



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Historic Preservation Regular Meeting 6:00 PM Tuesday, August 06, 2024 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting

Call to Order

Roll Call

Agenda Approval

Minutes Approval

- [1.](#) HPC Draft Minutes 070224

Administration of Oaths

Items of Consent

- [1.](#) Approval of the Orders for 523 Front Street & 101 Ann Street – Certificate of Appropriateness

Old Business

- [1.](#) Case # 24-18 101 Ann St - Three Townhome Units

New Business

- [1.](#) Case #24-20 115 Front Street - Pavers
- [2.](#) Case # 24-19 201 Ann Street - Exterior Paint & Screening of Foundation

Closed Session

1. Pursuant to NCGS 143-318.11 (a) (3)

Commission / Board Comments

Staff Comments

Adjourn



Town of Beaufort, NC
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Town of Beaufort Historic Preservation Regular Meeting
6:00 PM Tuesday, July 2, 2024 - Train Depot, 614 Broad Street, Beaufort, NC 28516
Minutes

Call to Order

Chair McCune called the July 2nd, 2024 Beaufort Historic Preservation Commission regular meeting to order at 6:00 p.m.

Roll Call

Members Present: Joyce McCune, Chair; Bradley Hedrick, Vice-Chair; Bradley Cummins, Jonathan Haas, Marissa Morris

Members Absent: Tammy Hunsucker, Jessica Sabiston

A quorum was declared with five members present.

Staff Present: Mr. Kyle Garner, Planning Director, Ms. Jill Quattlebaum, Town Attorney; Mr. Jason Brinson, IT Director; Ms. Laurel Anderson, Board Secretary

Agenda Approval

Chair McCune notified the Board that Case #24-16 had requested to be tabled and removed from the Agenda to return at the September meeting.

Vice-Chair Hedrick made the motion to approve the amended Agenda and Member Cummins made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Minutes Approval

Vice-Chair Hedrick made the motion to approve the June 4th, 2024 Minutes as presented and Member Morris made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Administration of Oaths

Chair McCune gave the Quasi-Judicial Statement as follows: This hearing is a quasi-judicial evidentiary hearing. That means it is like a court hearing. State law sets specific procedures and rules concerning how this board must make its decision. The board must base its decision upon competent, relevant and substantial evidence in the record. A quasi-judicial decision is not a popularity contest. It is a decision constrained by the standards in the ordinance and based on the facts presented. All applications for Certificates of Appropriateness must be consistent with the Design Guidelines for the Beaufort Historic District & Landmarks; however, regardless of compliance with these Design Guidelines, the HPC will not approve a COA that is not congruous with the special nature of the Beaufort Historic District as a whole. If you will be speaking as a witness, please focus on the facts and standards, not personal preference or opinion. Participation is limited. This meeting is open to the public. Everyone is welcome to watch. Parties with standing have rights to participate fully. Parties may present evidence, call witnesses and make legal arguments. Parties are limited to the applicant, the local government and individuals who can show they will suffer special damages. Other individuals may serve as witnesses when called by the board. For certain topics, this board may hear opinion testimony from expert witnesses. Individuals providing expert opinion must be qualified as experts and provide the factual evidence upon which they base their expert opinion. Witnesses must swear or affirm their testimony. At this time, we will administer the oath for all individuals who intend to provide witness testimony.

Secretary Anderson then administered the Oath to Kyle Garner.

Items of Consent

1. Approval of the Orders for Case #24-14 400 Front Street, Case #24-15 100 Sunset Lane – Certificates of Appropriateness (COA)

Member Cummins made the motion to approve the Items of Consent as presented and Vice-Chair Hedrick made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Old Business

1. Case #24-02; 122 Craven Street – Window Replacement

Chair McCune introduced Case #24-02 and asked if any members needed to recuse themselves and hearing none, she asked for the Staff Report.

Mr. Garner stated that the applicant first appeared to the Commission in January of this year and the item was tabled so that a representative from the State Historic Preservation Office (SHPO) could evaluate the windows and offer advice as how to proceed. The applicant has since updated information that is included in the packet for the Commission's consideration as well as a description of the visit from Reid Thomas of the SHPO discussing options for the windows. Mr. Garner showed the specific proposed windows and where they would be located. He noted that the applicant had requested the Board move forward with a decision, and Mr. Garner also noted that he personally was not in attendance at the meeting in January when the application was first presented.

Secretary Anderson administered the Oath to the applicant, Brent Greenberg, and Robert Grote, Project Consultant for Andersen Windows.

Mr. Greenberg noted the noise level in the house was high through the windows, window rebuilds would take a long time, and most original leaded glass had been replaced already.

Vice-Chair Hedrick asked if there was a difference in the updated packet, Member Cummins asked why composite had been chosen over wood windows, and Chair 3 McCune asked about the makeup of the proposed composite

windows and the grids. There was further Board discussion regarding the applicant using wood windows and Mr. Grote showed a sample of the proposed composite window. Mr. Greenberg stated that he was willing to rebuild or replace the four front windows with wood replacement windows. There was still hesitation from the Board to approve the request with the composite materials.

Chair McCune asked if there were any parties with standing, and hearing none and no further questions, asked for a motion for a Finding of Fact against Case #24-02. Member Cummins made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #24-02, move that the Commission conclude that the pending application fails to meet the following design standards. Design Guidelines for the Beaufort Historic District and Landmarks: Window and Door Guidelines 6.4.1, 6.4.2, 6.4.3.

Vice-Chair Hedrick made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune then asked for a motion against a Certificate of Appropriateness for Case #24-02.

Member Morris made a motion to deny the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the Commission conclude that the proposed project is incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #24-02 not be issued for the proposed work.

Vice-Chair Hedrick made the second and Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune then declared Case #24-02 closed.

2. Case #24-12; 523 Front Street – Signage (Revised)

Chair McCune introduced Case #24-12 and asked for the Staff Report. Mr. Garner stated that in May of this year the applicant received a COA for wall signage; however, the sandwich board was not included with that application and noted this new request was to place a 6.25 sq. ft. sandwich board in front of the Sea Bags business at 523 Front Street.

Secretary Anderson administered the Oath to the applicant, Alex Landry, store manager at Sea Bags.

Ms. Landry explained that the sandwich board was currently in the entryway of the business and they would like to place it on the sidewalk in front of the business.

Chair McCune cautioned that the placement of the board stay close to the building so as not to become a trip hazard.

Hearing no further questions, Chair McCune asked for a motion for a Finding of Fact for Case #24-12. Member Cummins made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #24-12, move that the Commission concludes that the pending application meets the following design standards. Design Guidelines for the Beaufort Historic District and Landmarks: Signage Guidelines 8.6.1, 8.6.2, 8.6.5, 8.6.9.

Vice-Chair Hedrick made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Vice-Chair Hedrick made a motion to approve the Certificate of Appropriateness for Case #24-12 based on the following: Based upon the foregoing Findings of Fact, I move that the Commission conclude that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #24-12 be issued for the proposed work.

Member Morris made the second and Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune then declared Case #24-12 closed and notified Ms. Landry that the Minutes and Findings of Fact would be adopted at the next meeting and the COA would then be issued.

New Business

1. Case #24-17; 101 Middle Lane - Mixed-Use Building

Chair McCune notified the Board that she had been advised by Counsel to recuse herself as she was a member of the Beaufort Historical Association (BHA) board. Chair McCune asked for a vote for recusal and stated that Vice-Chair Hedrick would be taking over as Chair for Case #24-17. Ms. Quattlebaum explained that if the BHA were determined to not have standing then Chair McCune could be restored to the Board.

Member Cummins made the motion to recuse Chair McCune and Member Morris made the second. Vice-Chair Hedrick took a vote that was unanimously approved.

Voting yea: Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Acting Chair Hedrick asked Mr. Garner for the Staff Report. Mr. Richard Stanley, attorney for the BHA, asked for the case to be tabled until a survey could be obtained. After a brief discussion the HPC decided to move forward with the Staff Report.

Mr. Garner stated that the request was to construct a new mixed-use building at 101 Middle Lane on vacant property. He explained that the property has a zero foot lot line and the proposed building is three-story, mixed-use 35' high with the top two floors for residential use and the bottom floor for commercial use. Doors and windows are planned for the front and rear of the structure and solid brick on the sides with a flat roof.

The Board discussed the scope of the HPC and the Guidelines.

Secretary Anderson administered the Oath to the applicant, Jay Horton, Filter Design Studio.

There was discussion regarding massing and scale, visibility of the building from other streets, the surveyed property lines, encroachments from other properties, pedestrian access from the BHA, and parking requirements.

Acting Chair Hedrick asked if there were any parties with standing who would like to speak. Mr. Richard Stanley stated that he was a member of the BHA, two-time past president and served on their Board of Governors. Ms. Quattlebaum explained that to participate as a party in the action, a party has to be determined to have standing and that this was not a public hearing. She further explained to be a party with standing the party must be the owner of the property or the owner of a leasehold interest or a lessor, or they have to prove special damages unique to their property. Regarding other parties who do not have standing, the Board has the discretion to allow testimony if they believe the witness has competent material and substantial evidence to add to the matter at hand. The difference is the right to participate and the Board's discretion to allow a party without standing to participate.

Mr. Stanley stated that they would lose privacy and ability to walk through the property. There was Board discussion regarding which parties had standing and which parties did not.

The Board voted unanimously that the Beaufort Historic Association did not have standing in this matter.

Voting yea: Acting Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

As the BHA did not have standing Ms. Quattlebaum stated that Chair McCune could be restored to the Chair.

Member Cummins made the motion to restore Chair McCune and Member Morris made the second. Acting Chair Hedrick took a vote that was unanimously approved.

Voting yea: Acting Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune asked the public to keep their statements and questions within the HPC's scope only and to not repeat comments made by other participants.

Secretary Anderson then administered the Oath to Bill Snyder, current president of the BHA; Marina Bonaventura, representative of the Cru Bar; Barbara Paerl, owner of Fabricate; and Patricia Suggs, director of the BHA.

Participants discussed the BHA bus garage, pedestrian access, streetscape, encroachments, State Historic Preservation Office review, rooftop structures and usage, and the special nature of the historic district.

Mr. Horton addressed the concerns and opinions of the participants and stated for the record that he wanted to work with everyone. He also stated that the owners of the property in question had been under hardships from the other properties as well including encroachments from those properties, and that he had a sealed survey of the property and the BHA was welcome to obtain their own survey as well. He also stated that the roof would only be accessible from the third floor.

The Board considered Guidelines 7.1.1, 7.1.2, 7.6.1, 7.6.2 and felt that more information was needed in the application.

Member Cummins made the motion to table the application and have the applicant return with streetscape renderings in context, mechanicals, and showing landscaping on all sides and Member Morris made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

2. Case #24-18 Construct Three Townhome Units at 101 Ann Street

Chair McCune introduced Case #24-18 and asked if anyone needed to recuse themselves; hearing none she asked for the Staff Report. Mr. Garner stated that the request is to construct three townhome units at 101 Ann Street and this property is the former Beaufort Inn that received a COA for demo and is currently undeveloped. He showed a vicinity map identifying the property and elevations and submitted them into evidence along with his Staff Report and other information included with the agenda packet.

Mr. Horton, Filter Design Studio and applicant, explained that the three townhomes would be masonry sided and all pavement would be permeable.

The Board discussed the painted masonry, the grade and true elevation, landscaping, and the massing of glass on the Gallants Channel side noting Guidelines Form and Rhythm 7.6.2 and 7.6.3. Chair McCune read into the record

Guidelines Building Placement 7.1.5 which references a policy statement in Chapter 5 being: *“The vistas of Beaufort’s waterfront play a crucial role in defining the character of Beaufort’s Historic District. These include, but are not limited to: the sweeping vistas across Taylor’s Creek, Gallant’s Channel, and Town Creek; and views of the Historic District, particularly Front Street, from the water. An important factor in evaluating certificates of appropriateness for new construction and additions to existing structures will be the impact, from both the land and water on the vistas of Beaufort’s waterfront. Generally, new construction, or additions to existing structures, that encroaches into the vistas of Beaufort’s waterfront should be permitted only to the extent necessary to allow reasonable use of the property. In weighing the impact of new construction and additions to existing structures, the commission should consider the traditional setting or context of the subject property relating to the vistas of Beaufort’s waterfront.”*

There was further discussion regarding the setbacks, the different styles of the sides of the townhomes, possibly softening the glass façade on the Gallants Channel side, the view along Ann Street noting Landscaping Guidelines 8.1.7 and 8.1.14, and the mechanicals on the roof.

Town Attorney Ms. Quattlebaum noted for the record that there had been several concerns including CAMA, Army Corps of Engineers’ involvement, stormwater, and erosion and sediment control which had been redirected to the appropriate department and are not within the authority of the HPC. She advised prospective parties with standing that any testimony regarding those issues would not be competent and substantial material and this meeting was not the appropriate venue.

Chair McCune asked if there were any prospective parties with standing.

Secretary Anderson administered the Oath to Bradford Quick Chadwick, adjacent property owner at 111 Ann Street. Mr. Chadwick claimed special damages as a reduction in value as a result of the erosion and runoff from the townhomes. He later added odor, health, and security.

The Board voted unanimously that Mr. Chadwick did not have standing in this matter.

Chair McCune asked if there were any other witnesses who would like to speak. There were none.

Mr. Horton requested stabilizing the worksite and moving forward with the dock and bulkhead even if the COA were tabled.

Vice-Chair Hedrick made the motion to table the application with the exception of the docks and Member Morris made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune asked for a motion for a Finding of Fact for Case #24-18 for the docks only. Member Morris made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #24-18, move that the Commission concludes that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Docks, Piers, and Boardwalks Guidelines 8.7.1, 8.7.2.

Member Cummins made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Vice-Chair Hedrick made a motion to approve the Certificate of Appropriateness for Case #24-18 for the docks only based on the following: Based upon the foregoing Findings of Fact, I move that the Commission conclude that the proposed project is not incongruous with the special character of the historic district as a whole and that

a Certificate of Appropriateness for Case #24-18 be issued for the proposed work.

Member Morris made the second and Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune then declared Case #24-18 closed.

Board Comments

There were no Board comments.

Staff Comments

Mr. Garner explained the department’s summer intern’s historic district cataloguing project which would tie in with resilience and future staff reports. He again mentioned working with the State Historic Preservation Office to update the HPC’s Guidelines. Mr. Garner also reiterated that all Board members must speak clearly into their microphones during the meetings.

Commission / Board Comments

- a. The Board thanked Staff for the great packet.
- b. Chair McCune noted a few enforcement concerns around the historic district that were being worked on by Staff. She also mentioned Dorothea Dix hospital in Raleigh which had just received a grant for restoration and noted the importance of historic preservation.

Staff Comments

- a. Mr. Garner thanked the Commission members who had participated in the recent Certified Local Government training given by the State Historic Preservation Office.

Adjourn

Member Cummins made the motion to adjourn and Member Morris made the second. Chair McCune took a vote that was unanimously approved.

Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Jonathan Haas, Marissa Morris

Chair McCune declared the July 2nd, 2024 meeting adjourned at 9:20 p.m.

Chair, Joyce McCune

Board Secretary, Laurel Anderson



Town of Beaufort, NC

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**Town of Beaufort Historic Preservation Commission
6:00 P.M. August 6, 2024 – 614 Broad Street – Train Depot**

AGENDA CATEGORY: Consent

SUBJECT: Approval of the Orders for 523 Front Street & 101 Ann Street – Certificate of Appropriateness

BRIEF SUMMARY:

As part of the new General Statutes (160D), prior to Evidentiary Hearing Orders being signed and sent to the applicant/property owners, the Board in which conducted the hearing is to review the order for accuracy.

The staff has consulted with the Town Attorney and now asks that the Historic Commission Members review the orders for such accuracy and be prepared to make a motion to recommend approval of the Order or to approve with Commission recommended changes.

REQUESTED ACTION:

Review the order for such accuracy and be prepared to make a motion to recommend approval of the Order or to approve with Commission recommended changes.

EXPECTED LENGTH OF PRESENTATION:

0 Minutes (Presentation from Staff)

SUBMITTED BY:

Kyle Garner, AICP Planning Director

BUDGET AMENDMENT REQUIRED:

N/A



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August 6, 2024

Sea Bags, LLC
25 Custom House Wharf
Portland, ME 04101

RE: Case # 24-12 523 Front Street - Signage

To whom it may concern,

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair
Beaufort Historic Preservation Commission

Enclosed: COA Certificate

cc: Lawver Enterprises

Mayor Sharon Harker
Commissioner Bucky Oliver • Commissioner Melvin Cooper
Commissioner Paula Gillikin • Commissioner [redacted] LoPiccolo • Commissioner Sarah Spiegler
Town Manager [redacted] Todd Clark



TOWN OF BEAUFORT, NC
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on July 2, 2024, to consider a Certificate of Appropriateness (“COA”) application submitted by Seabags, LLC for **CASE #24 –12 523 FRONT STREET - SIGNAGE** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on July 2, 2024, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

Signage Guidelines

8.6.1. Use traditional materials found in the district, such as wood and metal for new signage. Substitute materials that have the appearance of wood are allowed. Plastic signs, flashing signs, or portable mobile signs, except those listed in item 9, are not allowed in the historic district. Interior neon signs larger than 10” by 18” that are located within five (5) feet of a window or glass door on an exterior wall and are so placed as to be seen from the outside are not allowed. INTERNAL GLASS MOUNTED SIGNS ARE NOT SUBJECT TO BHPC REVIEW.

8.6.2. Place signs so that they do not visually overwhelm the building or streetscape or damage or obscure character defining architectural details. Recognize that maximum signage allowances granted by the Beaufort Zoning Ordinance may be inappropriate in the context of the building or site under review.

8.6.5. Use simple, clear graphics and lettering styles in sign design.

8.6.9 The use of a sandwich board, back-to-back sign or v-board is allowed in the historic district on a limited basis and must not contribute to visual clutter of the streetscape nor impede the flow of pedestrian traffic. No more than one (1) sandwich board, back-to-back sign or v-board per business is allowed. Signs of either type must be considered as a portion of the overall allowable square footage for each individual building. The signs must conform to the basic guidelines for signage including color, material, style, graphics and placement. Sandwich boards, back-to-back boards or v-boards may not exceed twelve (12) square feet on either side, for a total of twenty-four (24) square feet for the whole sign. The sign may not exceed four (4) feet in height. Signs of this type must be removed from outside the location at the close of the business day. The use of plastic for sandwich boards, back-to-back signs or v-boards is not allowed.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 24-12 523 FRONT STREET – SIGNAGE**.

This the 6th day of August 2024

Joyce McCune, Chair
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



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August 6, 2024

Jay Horton (Filter Design Studio, PLLC)
707 Bridges Street
Morehead City, NC 28557

RE: Case # 24-18 101 Ann Street – Three Townhome Units – Dock Renovation

Dear Mr. Horton:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for the dock portion of your project only as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair
Beaufort Historic Preservation Commission

Enclosed: COA Certificate

cc: Sunset Lane Properties, LLC

Mayor Sharon Harker
Commissioner John Hagle • Commissioner Marianna Hollinshead
Commissioner Bucky Oliver • Commissioner [redacted] in Cooper • Commissioner Bob Terwilliger
Town Manager [redacted] Todd Clark



TOWN OF BEAUFORT, NC
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on July 2, 2024, to consider a Certificate of Appropriateness (“COA”) application submitted by Jay Horton for **CASE # 24-18 101 ANN STREET – THREE TOWNHOME UNITS – DOCK RENOVATION** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on July 2, 2024, we find that the portion of the application submitted for the dock renovation only meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

Docks, Piers, and Boardwalks Guidelines

8.7.1 Use a design that is simple, functional, and utilitarian. Traditional docks were built of post-and-lintel construction, using wood pilings, cross-members, and decking. Avoid the use of railings or other non-historic features that extend above the deck floor line, unless required by law for safety reasons. Avoid lighting fixtures that are too prominent or that are not utilitarian and functional in appearance.

8.7.2 Built in features such as pavilions, gazebos, screened rooms or other types of roofed structures such as boat sheds are not appropriate.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 24-18 101 ANN STREET – THREE TOWNHOME UNITS – DOCK RENOVATION** relative to **the portion of the application pertaining to the proposed dock renovation only.**

This the 6th day of August 2024

Joyce McCune, Chair
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



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**Town of Beaufort Historic Preservation Commission Regular Meeting
6:00 PM Tuesday, August 6, 2024 – 614 Broad Street – Train Depot**

AGENDA CATEGORY: New Business

SUBJECT: Case #24-20 115 Front Street - Pavers

BRIEF SUMMARY:

The applicant is requesting to install pervious pavers in the rear of the structure off Sunset Lane.

REQUESTED ACTION:

Conduct Quasi- Judicial Hearing

EXPECTED LENGTH OF PRESENTATION:

10 Minutes

SUBMITTED BY:

Kyle Garner

BUDGET AMENDMENT REQUIRED:

N/A



BHPC STAFF REPORT



To: BHPC Members
From: Kyle Garner, AICP
Date: July 29, 2024
Case No. Case #24-20 115 Front Street - Pavers

Request: Rear parking Area with pervious Pavers
Applicant: Jay Horton (Filter Design Studio)
 707 Bridges Street
 Morehead City, NC 28557

Property Information:

Owners: Candlewood Investments LLC
Location: 115 Front Street
PIN#: 730617003801000

Project Information: See Attached info 115 Front Street SOG that contains Ruth Littles description of the property as well as previous COA information. This attachment is part of the resiliency project with the UNC School of Government & State Historic preservation Office.

Proposed work:

Install pervious pavers in the rear of the structure off Sunset Lane.

Material:

See Application

Color:

See Application

Foundations Guidelines:

6.6.1. Retain and preserve original and historic foundations and related elements wherever possible, including: pier size, vents, grilles, lattice, materials, and other significant details.

Off-street Parking Guidelines

8.5.1 Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.

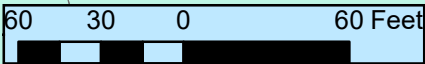
8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

Case #24-20 115 Front Street - Pavers

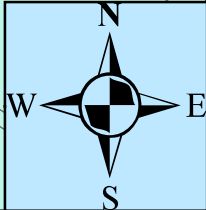
1.

Legend

- NCHPOpoints
- Tax_Parcel_Data



18



<u>OWNER</u>	<u>MAIL_HOUS</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>MAIL_ST/MAIL_Z</u>	<u>MAIL_Z15</u>	<u>MAIL_ADD2</u>
COPLAND,JASON C ETAL SPENCER	3156	ABINGDON PLACE	BURLINGTON	NC	27215	
CRAMER,ADELE B	809	DEVON PLACE	ALEXANDRIA	VA	22314	
HOOPER,CHRISTOPHER T TRUSTEE	109	WYNDHAM DR	GARNER	NC	7531 27529	
LITTLEWOOD,GEORGE F ETUX PAGE	113	FRONT STREET	BEAUFORT	NC	28516	
MANSON HOUSE ASSETS LLC	553	CAROLINA MDWS VILLA	CHAPEL HILL	NC	27517	
SUNSET LANE PROPERTIES LLC			ROCKY MOUNT	NC	27802	PO BOX K



HPC Application
Certificate of Appropriateness
Proposed Driveway

Applicant Filter Design Studio PLLC
Contractor DJ Rose & Son
Project Address 115 Front St., Beaufort, NC 28516

Table of Contents

1. Certificate of Appropriateness
2. Scope of Work
3. Project Specifications
4. Guidelines
5. Adjacent Property Owners Information
6. Proposed Materials
7. Site Plan

**CERTIFICATE OF APPROPRIATENESS APPLICATION
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



Instructions:

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

APPLICANT/OWNER INFORMATION

Please print!

Applicant Name: Jay Horton - Filter Design Studio, PLLC

Applicant Address: 707 Bridges Street, Morehead City, NC 28557

Business Phone: 252-622-4119 Email/Cell: jay@filterdesignstudio.com

Property Owner Name: Candlewood Investments LLC

Address of Property: 115 Front Street, Beaufort, NC

Phone Number: _____ Email/Cell: _____

PROJECT INFORMATION

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

Please see attached narrative.

Estimated Cost of Project: \$ 10,000

Year House Built: 1910


Applicant Signature

July 15th, 2024
Date

Property Owner Signature (if different than above)

Date

An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at www.beaufortnc.org. The Commission meets regularly on the first Tuesday of the month unless it is a holiday.

OFFICE USE ONLY

Received by: _____

Reviewed for Completeness: _____

Date: _____

22 Deemed Completed and Accepted: _____

Project Description:

This proposed project includes the installation of Dublin Cobble Modular pavers for driveways and walkways, located at 115 Front Street, Beaufort, NC 28516. We aim to create an inviting, visually pleasing, and practical environment, one that compliments the site, that is located in the Historic District.

The intent is to infuse the timeless elegance of the Beaufort, North Carolina style into the property. Dublin Cobble Modular pavers will grace the driveways and walkways, offering both durability and an inviting, old-world charm. Our vision encompasses a harmonious blend of form and function, transforming this property into a welcoming and visually captivating space.

Project Specifications:

See drawings and comments within each applicable guideline below.

Guidelines

Paint and Exterior Colors Guidelines

7.3.3. Use materials in traditional ways. New materials should appear as if they were applied in a traditional manner so as to convey the same visual appearance as historically used and applied building materials.

Materials will be used in traditional ways. New materials will appear as if they were applied in a traditional manner to convey the same visual appearance as historically used and applied building materials.

Texture and Color

7.5.1. Create in new construction a similar degree of texture that is found in contributing buildings in the historic district. Texture is the relief on a building surface that is achieved through use and interaction of a variety of building materials and shapes. Materials such as weatherboard siding, decorative fish-scale shingles, and beaded-board porch ceilings are examples of wooden architectural elements that have different physical and visual qualities and contribute to the “texture” of a building surface.

New pavers will provide a similar degree of texture that is found in contributing sidewalks and pavers in the historic district, and match other walks and drives off of middle lane.

Form and Rhythm

7.6.1. Design new construction that reflects the basic shapes and forms on the block and in the historic district.

The new pavers will reflect basic shapes and forms on the block and throughout the historic district.

Landscaping

7.7.1. Retain and protect mature trees during construction.

No damage is anticipated to mature trees during construction.

Landscaping Guidelines

8.1.2. Preserve and maintain the individual components and historic features that contribute to Beaufort's historic character, including: mature trees, ornamental trees, and hedge rows.

Existing trees will remain and proposed plantings to be in keeping with the district

8.1.3. Preserve and maintain mature street trees. When removal or replacement is necessary, replace with long lived tree species with large canopies that will provide a similar canopy and form as a street tree. Replacement tree species should be appropriate for the district. Suggested species include: oak, sycamore, pecan, maple, ginkgo (male only), Chinese elm, cedar (juniper) , hickory, Yaupon holly or American holly.

No trees will be removed; evergreen hollies to be used as screen and Little Gem Magnolia to accent

8.1.7. Maintain the relationship between the mass/proportion of the building and open space within the context of the streetscape for new construction, additions and landscape.

The relationship between the mass/proportion of the building and open space within the context of the streetscape will be maintained.

8.1.11. Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color, and finish to existing historic sidewalks.

Dublin Cobbler Modular pavers will be used, which were used and approved by the Beaufort Historic Commission for the drive and walkways of the adjacent property.

Off-Street Parking Guidelines

8.5.1. Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

The proposed driveway will take place in the rear yard, coming off of sunset lane, and will complement and remain consistent with the historical character defining features found in its original existing structure as well as surrounding structures.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

Parking area will be located to the rear, of the property.

8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.

There will be no removing of trees or other landscape elements that contribute to the historic character of a site.

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

Dublin Cobbler Modular pavers will be used to match Sunset Lane Project, which was previously approved by the Beaufort Historic Commission. See materials below.

Adjacent Property Owners

PARCEL NUMBER: 730617002865000

OWNER: LITTLEWOOD, GEORGE
F ETUX PAGE

PHYSICAL ADDRESS: 113 FRONT ST
BEAUFORT

MAILING ADDRESS: 113 FRONT STREET
BEAUFORT NC 28516

PARCEL NUMBER: 730617003895000

OWNER: COPLAND, JASON
C ETAL

PHYSICAL ADDRESS: 117 FRONT ST
BEAUFORT

MAILING ADDRESS: 3156 ABINGDON
PLACE
BURLINGTON NC
27215

PARCEL NUMBER: 730617004925000

OWNER: SUNSET LANE
PROPERTIES
LLC

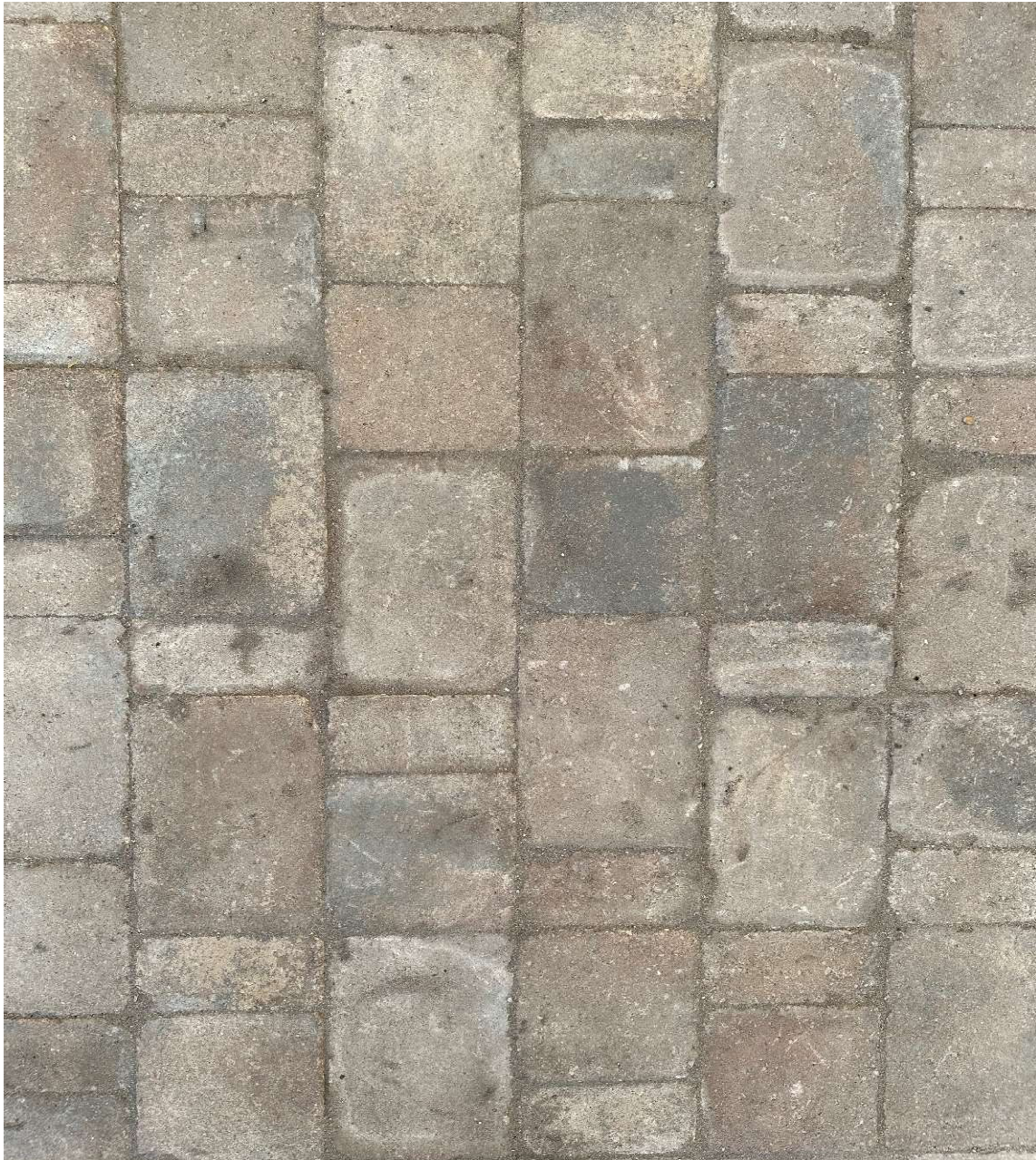
PHYSICAL ADDRESS: 100 SUNSET LN
BEAUFORT

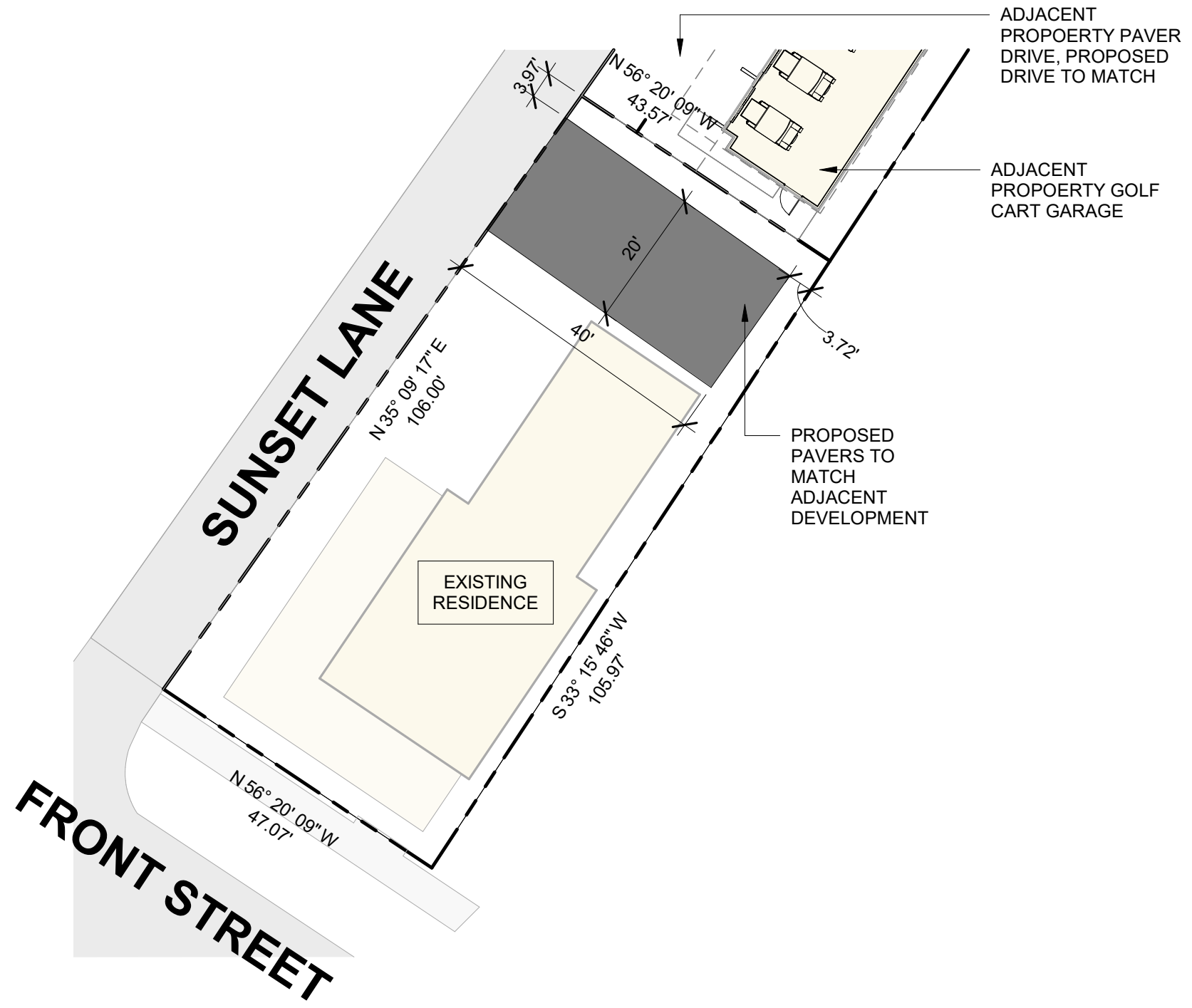
MAILING ADDRESS: PO BOX K
ROCKY MOUNT
NC 27802

Proposed Materials

1. Dublin Cobble Modular Pavers

Dublin Cobble Modular Pavers



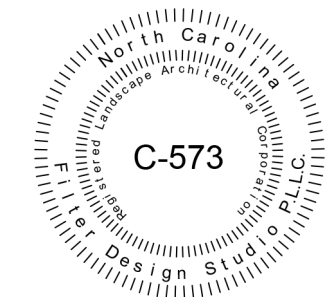
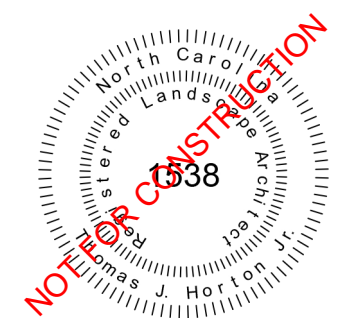


ADJACENT PROPOERTY PAVER DRIVE, PROPOSED DRIVE TO MATCH

ADJACENT PROPOERTY GOLF CART GARAGE

PROPOSED PAVERS TO MATCH ADJACENT DEVELOPMENT



EXISTING RESIDENCE



Proposed Cart Garage
100 Sunset Lane

LA100
Site Plan



Resource Name And Address	District	Flood Zone	EC	Ruth Little Survey Info	Structure Photo	Plaque Photo
Fulford House 115 Front St. CR0151	L	AE-6		Fulford House. 2-Story, 5-bay house with pyramidal roof has plain siding, Palladian windows in the gable ends, 2/2 sash with molded capitals, and 2 interior chimneys. 2-Story wrap-around porch with turned posts and railing, and entrance with sidelights and transom. On Gray's 1882 map this was the site of the early Custom House. A new one was built on Turner St. in 1908, and this house built on the site soon after. (Gray's map, SM)		

Resource Name Address & State Historic #	Factor 1	Factor 2	Factor 3	Factor 4	Factor 5	Factor 6	Factor 7	Community Value	
	National Register Designation Pts.	Local Historic Designation Pts	Local Historic Value Pts.	Public Sentiment Pts.	Equity Pts.	Economic Importance Pts.	Degree Of Integrity Pts	Total Pts.	
	Fulford House 115 Front St. CR0151								

<u>Documented Changes</u>	
<u>2008:</u>	<ul style="list-style-type: none">• Removal of a magnolia tree in the yard.• Remove the 'small' room on the back of the house and rebuild with same roof line as present single-story part of the house using wood like the present single story currently has.
<u>2021:</u>	<ul style="list-style-type: none">• COA for Window/Door replacement• Renovate front of home moving steps, front porch, shutters, siding, paint, chimney, garage doors.• COA for "Bump-Out" and Outside Staircase
<u>2022:</u>	<ul style="list-style-type: none">• Application for Historic Plaque• COA for Landscape Plan• New Fence on South Side of Property
<u>2023:</u>	<ul style="list-style-type: none">• Install 40' Picket Fence along N, E, and W sides of property
<u>2024:</u>	<ul style="list-style-type: none">• Install 2 New Floating Docks and 2 New Boat Lifts



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting
6:00 PM Tuesday, August 6, 2024 – 614 Broad Street – Train Depot**

AGENDA CATEGORY: New Business
SUBJECT: Case # 24-19 201 Ann Street - Exterior Paint & Screening of Foundation

BRIEF SUMMARY:
The applicant is requesting to change the exterior paint color of the house and install lattice screening in four locations of the foundation.

REQUESTED ACTION:
Conduct Quasi- Judicial Hearing

EXPECTED LENGTH OF PRESENTATION:
10 Minutes

SUBMITTED BY:
Kyle Garner

BUDGET AMENDMENT REQUIRED:
N/A



BHPC STAFF REPORT



To: BHPC Members
From: Kyle Garner, AICP
Date: July 29, 2024
Case No. Case # 24-19 201 Ann Street - Exterior Paint & Screening of Foundation

Request: Exterior Paint & Screening of Foundation

Applicant: Eric Lindstrom
 125 Ann Street
 Beaufort, NC 28516

Property Information:

Owners: Hay Loft Investments LLC
 Location: 201 Ann Street
 PIN#: 730617018291000

Project Information: According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 201 Ann Street, circa 1817. **J.A. Davis House.** 2½-Story, 3 bay, side gable house with engaged double porch, plain siding, large, gable-end stuccoed chimney, 9/6 and 6/6 sash. Although porch has 20th century replacement posts, the sawn work, which resembles paper dolls, probably dates from the late 19th century. Built by prominent local builder James A. Davis, the house has one of Beaufort’s rare basements. According to tradition, it was used by the Union Provost Marshall during the Civil War. (Wrenn file)
 NC Shed. c. 1997. 1-Story, side gabled shed currently under construction.

Per page 18 of Ruth Little’s survey this house is one of fifteen that is an intact examples of the *two-story Beaufort-style house* traditionally dated from c. 1709 to the 1830s remain in the district.

Proposed work:

Paint Exterior of structure with different color than existing & replace four rotten screens in foundation with lattice screens.

Material:

See Application

Color:
See Application

Foundations Guidelines:

6.6.1. Retain and preserve original and historic foundations and related elements wherever possible, including: pier size, vents, grilles, lattice, materials, and other significant details.

6.6.5. For infilling between existing brick piers, construct a curtain wall that is recessed approximately 1” to 2” back from the outer face of the piers so the original piers stand out; use this treatment for both old and new foundations. Flush foundations and infill are not appropriate. Concrete block may be used only if covered with a veneer of brick or sand-finished stucco. Leave foundations under porches open wherever possible to promote air circulation to prevent rot and deterioration; use wood lattice or grilles to enclose.

6.6.6. Wood grilles or lattice are appropriate for infill if compatible with the period or style of the structure. Stock lightweight lattice is not appropriate in areas in the public view.

Paint and Exterior Colors

6.7.2. Determine the building’s style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building’s architectural features.

6.7.4. Old paint should not be removed by sandblasting or other abrasive or destructive methods. The removal of all paint layers down to the bare wood in preparation for repainting is not recommended.

6.7.5. A natural wood stained surface that was historically painted is not appropriate.



<u>OWNER</u>	<u>AIL_HOUS</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>IL_ST/MAIL_ZIP</u>
BARBARY LANE LLC	233	OLD STREET	FAYETTEVILLE	NC 28301
HAY LOFT HOLDING LLC	233	OLD STREET	FAYETTEVILLE	NC 28301
PAUL,ALLAN	403	GLASCOCK ST	RALEIGH	NC 27604
RODRIGUEZ,ANTONIO B ETUX PATRI	207	MOORE STREET	BEAUFORT	NC 28516
ST PAULS EPISCOPAL CHURCH	209	ANN STREET	BEAUFORT	NC 28516
TALBOT,DAVID C ETUX ADELIN C	120	MOORE STREET	BEAUFORT	NC 28516
TUTAK,CHRISTOPHER N ETUX HEIDI	131	ANN STREET	BEAUFORT	NC 28516

**CERTIFICATE OF APPROPRIATENESS APPLICATION
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



Instructions:

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

APPLICANT/OWNER INFORMATION

Please print!

Applicant Name: Eric Lindstrom

Applicant Address: 125 Ann Street Beaufort NC 28516

Business Phone: 910-322-2679 Email/Cell: ERIC@SFLA.BIZ

Property Owner Name: Hay Loft Investments LLC / Eric Lindstrom Member-Manager

Address of Property: 201 Ann Street - James Davis House

Phone Number: 910-322-2679 Email/Cell: ERIC@SFLA.BIZ

PROJECT INFORMATION

Detailed description of the Proposed Project *(please attach additional pages if necessary):*

Project is to repaint the exterior of the structure, repairing any rotted or damaged wood with like wood and replacing the (4) rotted plywood screens West side of the structure with a wood latice type screen.

Estimated Cost of Project: \$ 24,000.00

Year House Built: 1817

Applicant Signature

7/9/24

Date

Property Owner Signature (if different than above)

Date

An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at www.beaufortnc.org. The Commission meets regularly on the first Tuesday of the month unless it is a holiday.

OFFICE USE ONLY

Received by: _____

Reviewed for Completeness: _____

Date: _____

Deemed Completed and Accepted: _____

REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)

Please provide the following along with this checklist form, with the COA application:

1. Items required for ALL projects:

- A list of all Design Guidelines that apply to the application and a description of how proposed changes are consistent with the *Design Guidelines for the Beaufort Historic District & Landmarks*, which can be found at <https://www.beaufortnc.org/bc-hpc/page/design-guidelines-beaufort-historic-district-landmarks>
- A list of all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

2. Items required as applicable to project:

- NA A description of any planned demolition.
- NA An indication of all trees to be replaced and/or removed.
- NA A landscaping plan indicating major planting materials.
 - Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
 - All types of building material samples.
- NA If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

3. Additional items required (only) for new Signage:

- NA A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
 - NA A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.
- 4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.
- 5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.

If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at k.garner@beaufortnc.org.

Paint and Exterior Applicable Colors Guidelines

6.7.2. Determine the building’s style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building’s architectural features.

Structure fall into the Federal Period (1780-1830) when colors moved away from the robust colors of the Georgian period to lighter colors.

6.7.3. Masonry surfaces that have been previously unpainted, such as brick, stucco, or stone should not be painted if those surfaces are in good condition and if the painting is proposed for the purpose of color change only. The painting of certain masonry surfaces may be appropriate if the surfaces have been patched or marred by damage over time, and if the visual integrity of the surface has been compromised. Paint colors should reflect the base material where possible.

All masonry components of the existing foundation will be maintained. Existing masonry foundation piers are painted and unpainted and will only be cleaned.

6.7.4. Old paint should not be removed by sandblasting or other abrasive or destructive methods. The removal of all paint layers down to the bare wood in preparation for repainting is not recommended.

Sandblasting and abrasive removal methods will not be used. Paint is to be hand scraped and will only be scraped to the wood where paint is loose or missing from the wood. Any exposed wood will be primed with an oil based primer.

Applicable Foundations Guidelines

6.6.1. Retain and preserve original and historic foundations and related elements wherever possible, including: pier size, vents, grilles, lattice, materials, and other significant details.

All masonry components of the existing foundation will be maintained. Existing masonry foundation piers are painted and unpainted and will only be cleaned. Where more recent painted plywood infill has been place between the brick foundation piers, new wood grilles are proposed and will be set back from the face of the existing brick piers

6.6.6. Wood grilles or lattice are appropriate for infill if compatible with the period or style of the structure. Stock lightweight lattice is not appropriate in areas in the public view.

The existing deteriorated plywood infill panels will be replace dwith a recessed wood grill assembly. All wood material will be ¾” material and not lightweight material. See attached detail drawings of grills

201 Ann Street - List of adjoining neighbors

CHRIS & HEIDI TUTAK
131 ANN STREET
BEAUFORT NC 28516

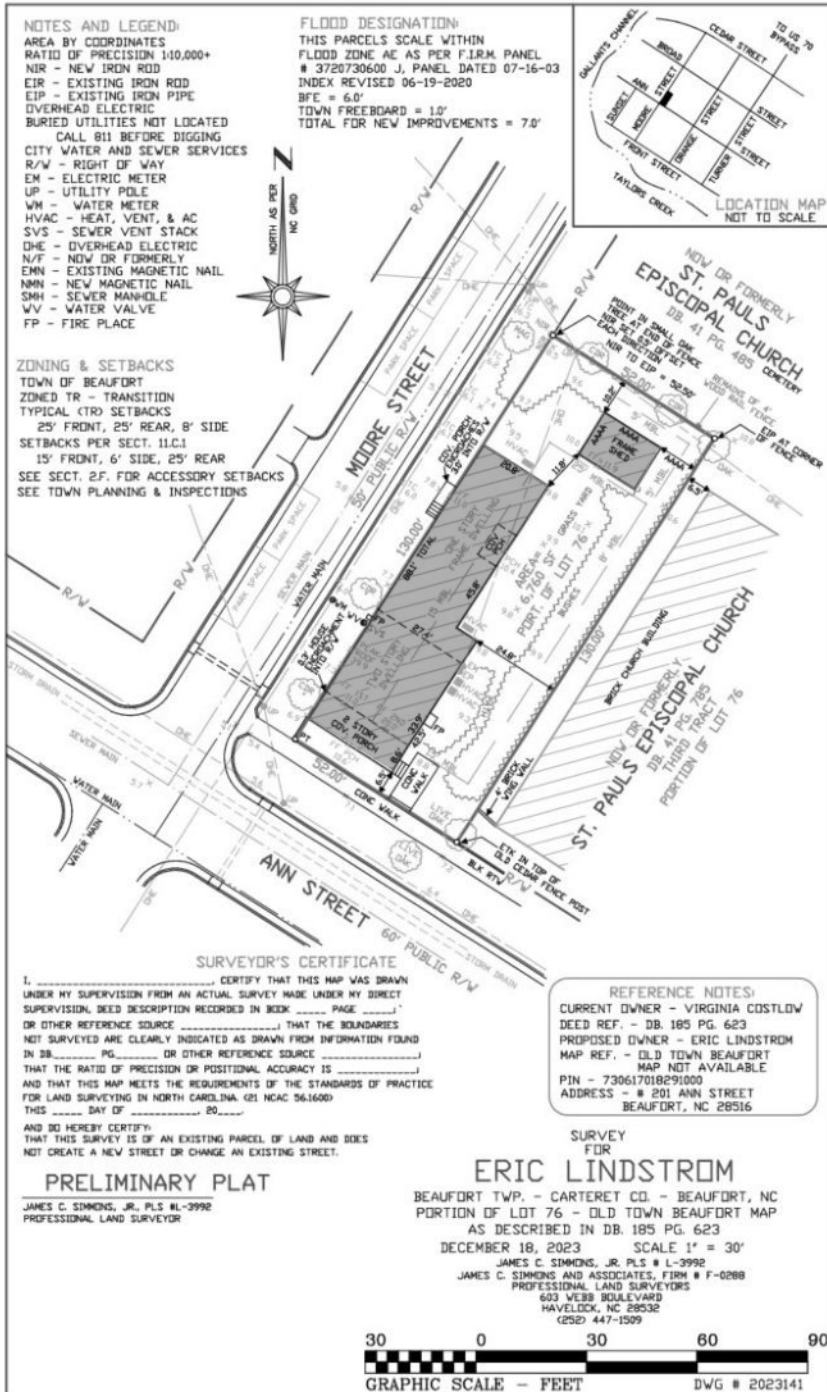
ALLAN PAUL
117 MOORE STREET
BEAUFORT NC 28516

BARBARY LANE LLC
205 MOORE STREET
233 OLD STREET
FAYETTEVILLE NC 28301

TONY & PATRICIA RODRIGUEZ
207 MOORE STREET
BEAUFORT NC 28516

ST. PAULS EPISCOPAL CHURCH
209 ANN STREET
BEAUFORT NC 28516

201 Ann Street - Site Plan/Survey



201 Ann Street - Historic Photos from 1961



1961 J.J.358

Corner of Ann & Moore looking down West side



APR 61



1961 J.J.358

Area where foundation screens to be replaced between brick piers

201 Ann Street - Existing Photos



Corner of Ann & Moore looking down West side



Ann Street looking East



Area where foundation screens to be replaced between brick piers



Moore Street looking South

201 Ann Street - Proposed Paint Colors



Grand Teton White
OC-132

PRIMARY SIDING

November Rain
2142-60

TRIM

Essex Green
HC-188

**SHUTTERS, PORCH
FLOORS & FOUNDATION
SCREENS**

Pleasant Valley
696

PORCH CEILING

Amber
168

ENTRY DOORS

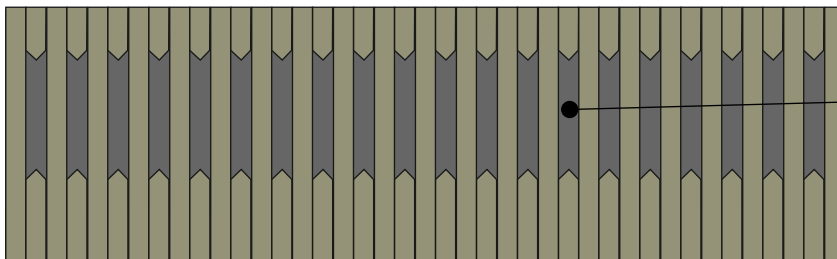
201 Ann Street - Proposed Foundation Painted Wood Screen



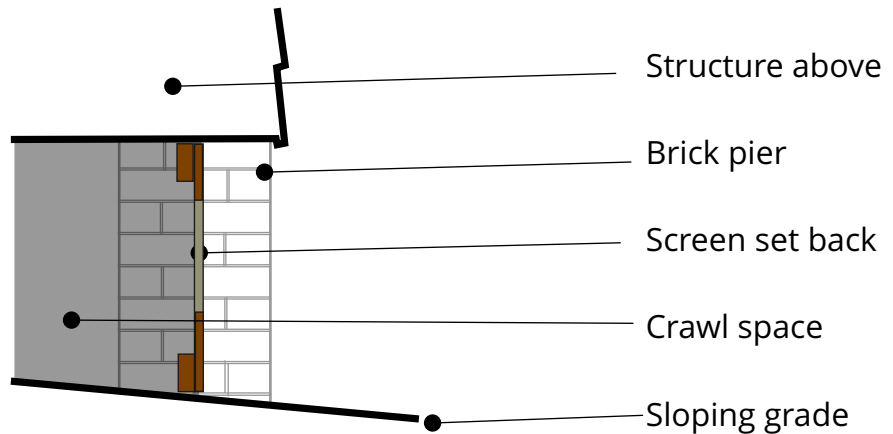
Similar wood foundation screens between brick piers along Front Street



Typical screen elevation & section



Alternating 1x2 open face member with 2x4 backup. Wood to be kiln dried pressure treated





Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting
6:00 PM Tuesday, August 6, 2024 – 614 Broad Street – Train Depot**

AGENDA CATEGORY: Old Business
SUBJECT: Case # 24-18 101 Ann St - Three Townhome Units

BRIEF SUMMARY:

This item was tabled as the Commission requested the applicant to revise the west elevations to make it in keeping with the district. The applicant has made revisions that they believe meet wishes of the commission. As a note a landscape plan is not included in this application but will be a separate application as the applicant will work in tandem with the Town on the south landscape plan to retain as many trees and landscaping as possible.

REQUESTED ACTION:

Conduct Quasi- Judicial Hearing

EXPECTED LENGTH OF PRESENTATION:

10 Minutes

SUBMITTED BY:

Kyle Garner, AICP

BUDGET AMENDMENT REQUIRED:

N/A



BHPC STAFF REPORT



To: BHPC Members
From: Kyle Garner, AICP
Date: June 24, 2024
Case No. 24-18

Request: Construct Three Townhome Units at 101 Ann Street
Applicant: Jay Horton (Filter Design Studio PLLC)
 707 Bridges Street
 Morehead City, NC 28557

Property Information:
Owners: Sunset Lane Properties, LLC
Location: 101 Ann Street
PIN#: 730617013566000

Project Information: This property is the former Beaufort Inn that received a COA for demo and is currently an undeveloped property.

Proposed work:

- See Application from Applicant

Material:

- See Application & Staff Information Table

Color:

- See Application

New Construction Guidelines

Building Placement

7.1.1 Maintain a similar front, side, and rear yard setback to other contributing historic buildings on the block and/or side of the street.

7.1.2 Maintain the pattern of building, separation and lot coverage that is found on the block and/or side of the street.

7.1.4 Minimize ground disturbance during new construction to avoid unnecessary damage to unknown archaeological resources.

7.1.5. For new construction on Beaufort’s waterfront, minimize any negative impact on historic vistas and conform designs to the policy statements in Chapter 5.

Building Height/Scale

7.2.1 New construction shall not exceed thirty-five feet in height.

7.2.2 Make the scale of the proposed building compatible with the scale of contributing structures on the block or side of street.

7.2.3 Design the proportion (the ratio of height to width) of the proposed new building and its architectural elements to be consistent with the proportion of contributing buildings and their associated architectural elements on the block or side of street.

7.2.4 Use windows and doors in new construction that are compatible in proportion, shape, location, pattern, and size with windows and doors of contributing buildings on the block or side of street.

Materials

7.3.1 Keep the siding and trim material of the proposed building consistent with materials traditionally used on the immediate block and in the historic district. Wood siding, wood shingles, and brick were common sheathing materials and should be used.

7.3.2. The use of substitute products such as vinyl, aluminum and pressed board siding and other modern-day products marketed to imitate traditional building materials are not allowed. Smooth fiber cement siding may be used on a case-by-case basis. Use of fiber-cement lap siding may be approved for use on new structures. In all circumstances every effort shall be made to ensure that new structures and the application of modern-day products achieve compatibility with existing historic buildings that define the character of the Beaufort Historic District.

7.3.3 Use materials in traditional ways. New materials should appear as if they were applied in a traditional manner so as to convey the same visual appearance as historically used and applied building materials.

Details

7.4.1 Use of architectural details on the building that complement the architectural details of contributing structures on the block and/or side of the street.

7.4.2 Provide a date brick or other exterior date identification marker on all new construction to assist future generations in the dating of buildings.

Texture and Color

7.5.1 Create in new construction a similar degree of texture that is found in contributing buildings in the historic district. Texture is the relief on a building surface that is achieved through use and interaction of a variety of building materials and shapes. Materials such as weatherboard siding, decorative fish-scale

shingles and bead-board porch ceilings are examples of wooden architectural elements that have different physical and visual qualities and contribute to the texture of a building surface.

Form and Rhythm

7.6.1 Design new construction that reflects the basic shapes and forms on the block and in the historic district.

7.6.2 Maintain consistency with style of buildings and contributing structures found on the block a/or side of street. Roof forms commonly found in the historic district include gable varieties with an average pitch of 7/12 or greater and hipped roofs in the residential areas and flat roofed buildings in the late 19th and early 20th century commercial downtown.

7.6.3 Maintain similar percentages and patterns of window and door openings consistent with the style of buildings. Openings which vary considerably from the established patterns found on the block in which the new construction is placed will tend to have a disruptive effect on the desired harmony of the streetscape.

Landscaping Guidelines

8.1.1. Preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.

8.1.2. Preserve and maintain the individual components and historic features that contribute to Beaufort’s historic character, including mature trees, ornamental trees, and hedge rows.

8.1.5. All new plant materials selected for replanting or new planting in publicly visible areas should complement as much as possible those found on the site and in the surrounding area of the district.

8.1.7. Maintain the relationship between the mass/proportion of the building and open space within the context of the streetscape for new construction, additions, and landscape.

8.1.8. New construction and additions should be sited in locations that will not require the removal of mature plantings, if possible.

8.1.12. Utility wires, including power, telephone and cable should be placed underground whenever substantial utility construction takes place. Above ground utility boxes, fixtures, and equipment should be located in inconspicuous locations and should be screened from view.

Outside Utilities Guidelines

8.3.1. Locate utilities, vents and meter boxes and other utility connections in side or rear yards and screen from public view with plantings, fencing, or other means.

8.3.2. Locate roof ventilators, antennas, solar panels, and satellite dishes in areas not visible from public view. Satellite dishes exceeding 24” in diameter shall not be installed in the historic district.

Exterior Lighting Guidelines

8.4.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site.

8.4.2. Choose lighting sources that generate a soft white light instead of a more intensive yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor or fluorescent light sources.

8.4.3. Avoid placing fixtures in areas that will obscure or damage character-defining architectural elements or site features.

8.4.5. All lighting should be directed toward the property for which it was intended and should not spill over onto adjacent properties.

Off-street Parking Guidelines

8.5.1. Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

Roof Guidelines

6.1.3 New roofing materials should be compatible with either the existing or original roofing material. Match the historic material as closely as possible in color, shape, size, and texture. Asphalt or fiberglass-asphalt shingles are acceptable substitutes for standing-seam tin, wood shingles, or metal shingles. Any distinctive patterns of shingles or slates shall be retained and/or replicated exactly. Galvanized standing-seam with a large “agricultural” ridge, usually for ventilation, is not acceptable in the historic district. Instead, use standing seam metal with a crimped edge.

6.1.6 Install new gutters without damaging or obscuring architectural features. It is inappropriate to replace concealed, built-in gutter systems with modern exposed gutters. Gutters of all materials except copper shall have a painted finish. Half-round gutters are appropriate for most contributing properties. Wood gutters may be appropriate for certain period restoration projects. Replacement of gutters is usually reviewed as a Minor Works item.

Wood Siding, Trim, and Ornament Guidelines

6.2.11. The use of fiber cement siding may be approved for new structures, non-historic structures, and additions to historic structures not visible from public streets or waterways.

Brickwork and Masonry Guidelines

6.3.9. Avoid painting masonry surfaces that were not painted historically. When painting masonry that has been previously painted, use acrylic latex paints for best durability.

Window and Door Guidelines

6.4.7. New windows must match original in overall size and opening area and should have three dimensional muntins with either true divided lights (TDL) or three dimensional grilles on both the interior and exterior sides (SDL). Snap-in grilles or grilles between glass are not appropriate for windows visible from public view.

6.4.11. Avoid the placement of metal awnings over windows and doors. Fabric awnings may be used if the house originally or historically had them. Install awnings in such a manner that they do not conceal architectural features or damage historic building fabric. Choose colors and patterns that harmonize with the building and do not compete with it.

Foundations Guidelines

6.6.4. New vents or access doors should be centered between piers. Use inconspicuous vents, such as black iron or dark plastic, rather than unpainted aluminum. Locate access doors and other new openings in areas not visible from public view.

6.6.5. For infilling between existing brick piers, construct a curtain wall that is recessed approximately 1” to 2” back from the outer face of the piers so the original piers stand out; use this treatment for both old and new foundations. Flush foundations and infill are not appropriate. Concrete block may be used only if covered with a veneer of brick or sand-finished stucco. Leave foundations under porches open wherever possible to promote air circulation to prevent rot and deterioration; use wood lattice or grilles to enclose.

6.6.6. Wood grilles or lattice are appropriate for infill if compatible with the period or style of the structure. Stock lightweight lattice is not appropriate in areas in the public view.

6.6.10. Locate new utilities and mechanical equipment such as package unit furnaces, heat pumps, and air conditioning coils at the rear or other areas not seen from public view. Utilities should never be located at the front of a structure or site. Provide screening with plantings, fences, or plant treatments.

Paint and Exterior Colors Guidelines

6.7.2. Determine the building’s style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building’s architectural features.

Fences and Walls Guidelines

8.2.1. Retain and preserve historic fence and wall material wherever possible. If replacement is necessary, use new material that matches the historic material in composition, size, shape, color, pattern, and texture.

8.2.2. Design new fences that are compatible with the associated building, sit, e and streetscape in height, proportion, scale, color, texture, material, and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view.

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

8.2.4. Historic retaining walls should be preserved. New low walls are appropriate only where a sharp change in grade exists, and shall not exceed a height of two (2) feet. Such walls should be constructed of brick or concrete block covered with a true sand-finish stucco.

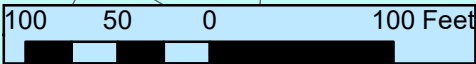
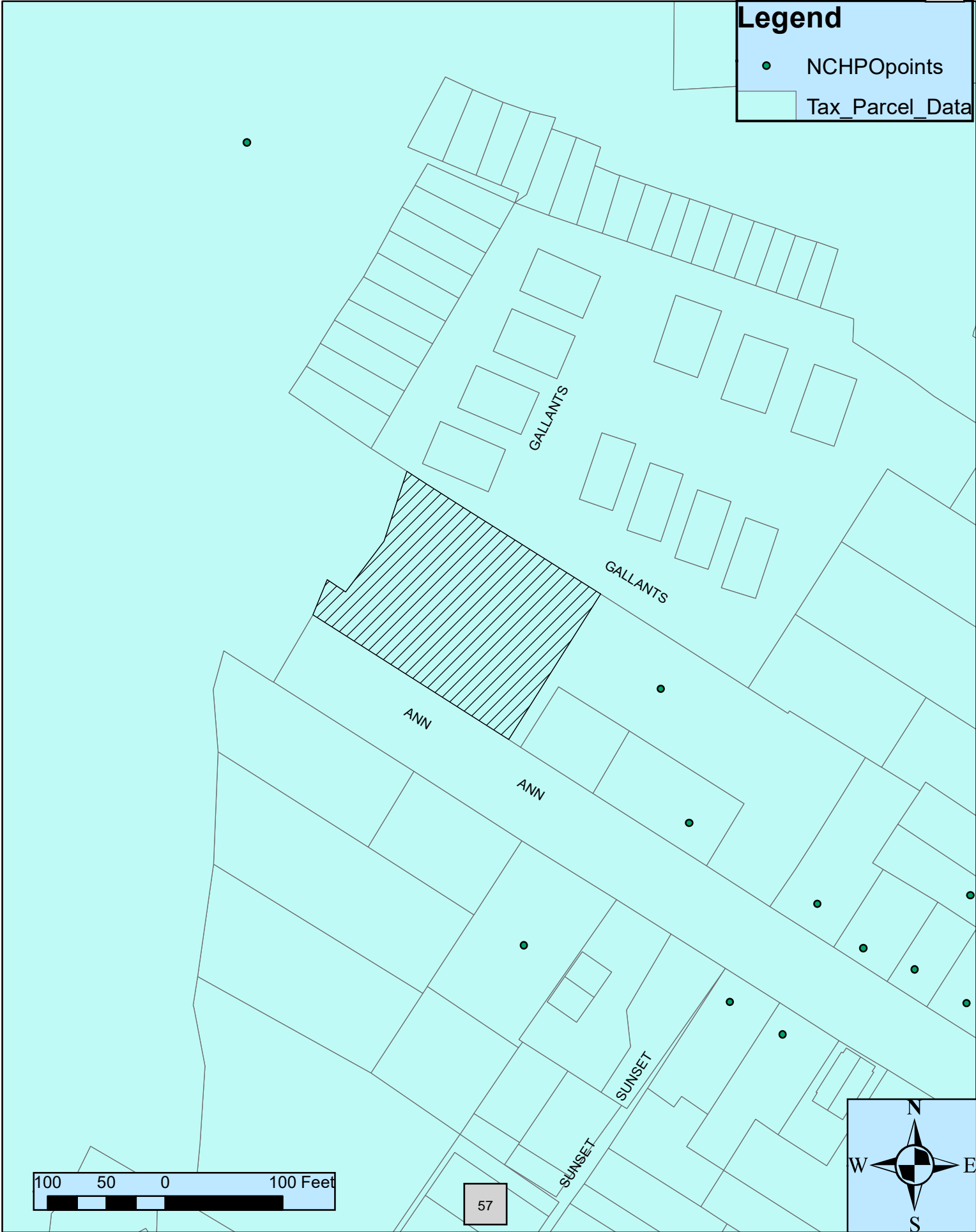
8.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of three (3) feet at the street/sidewalk edge. (SEE OFF-STREET PARKING GUIDELINES for more details)

Docks, Piers, and Boardwalks Guidelines

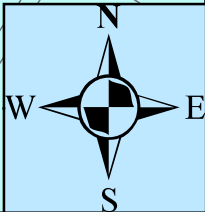
8.7.1 Use a design that is simple, functional, and utilitarian. Traditional docks were built of post-and-lintel construction, using wood pilings, cross-members, and decking. Avoid the use of railings or other non-historic features that extend above the deck floor line, unless required by law for safety reasons. Avoid lighting fixtures that are too prominent or that are not utilitarian and functional in appearance.

Legend

- NCHPOpoints
- Tax_Parcel_Data



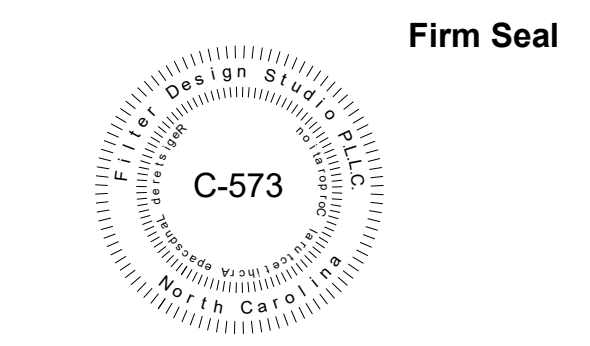
57



<u>OWNER</u>	<u>MAIL_HOUSE</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>MAIL_STATE</u>	<u>MAIL_ZIP</u>
ALDERON CORPORATION	120	TURNER ST	BEAUFORT	NC	28516
BEAUFORT HIST ASSOCIATION INC	150	TURNER STREET	BEAUFORT	NC	28516
PAERL, BARBARA H ET VIR HANS W	100	HOLLY LANE	BEAUFORT	NC	28516
FLYBRIDGE VENTURES LLC		411 FRONT STREET	BEAUFORT	NC	28516



Architecture | Planning | Landscape Architecture



Architecture
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 Landscape Architect: Thomas "Jay" Horton
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 Email: jay@filterdesignstudio.com

IMPERVIOUS AREA CALCULATIONS

101 ANN STREET BEAUFORT, N.C. 28516
 PARCEL ID # 30617013566000

EXISTING CONDITIONS SITE DATA

TOTAL AREA IN LOT	0.631 ACRES (27,486.36 SQFT)
LOT AREA FOR CALCULATIONS BASED ON GIS	9,592.70 SQFT
EXISTING STRUCTURES	10,826.42 SQFT
EXISTING WALKS/DRIVE	20,419.12 SQFT
TOTAL IMPERVIOUS ON SITE	75%
EXISTING LOT AREA IN AEC	11,767.14 SQFT
IMPERVIOUS AREA IN AEC	8,480.72 SQFT
TOTAL % COVERAGE IN AEC	73%
EXISTING LOT AREA IN 30' CAMA	5,035.31 SQFT
IMPERVIOUS AREA IN 30' CAMA	3,520.53 SQFT
TOTAL % COVERAGE IN 30' CAMA	70%

PROPOSED CONDITIONS SITE DATA

TOTAL AREA IN LOT	0.631 ACRES (27,486.36 SQFT)
LOT AREA FOR CALCULATIONS BASED ON GIS	10,092.54 SQFT
PROPOSED RESIDENCE	249.36 SQFT
PROPOSED (IMPERVIOUS) WALKS/DRIVE	249.36 SQFT
TOTAL IMPERVIOUS ON SITE	38%
EXISTING LOT AREA IN AEC	11,851.63 SQFT
IMPERVIOUS AREA IN AEC	6,485.98 SQFT
TOTAL % COVERAGE IN AEC	55%
LOT AREA IN 30' CAMA	5,119.83 SQFT
IMPERVIOUS AREA IN 30' CAMA	1,689.60 SQFT
TOTAL % COVERAGE IN 30' CAMA	34%

Proposed Impervious Area

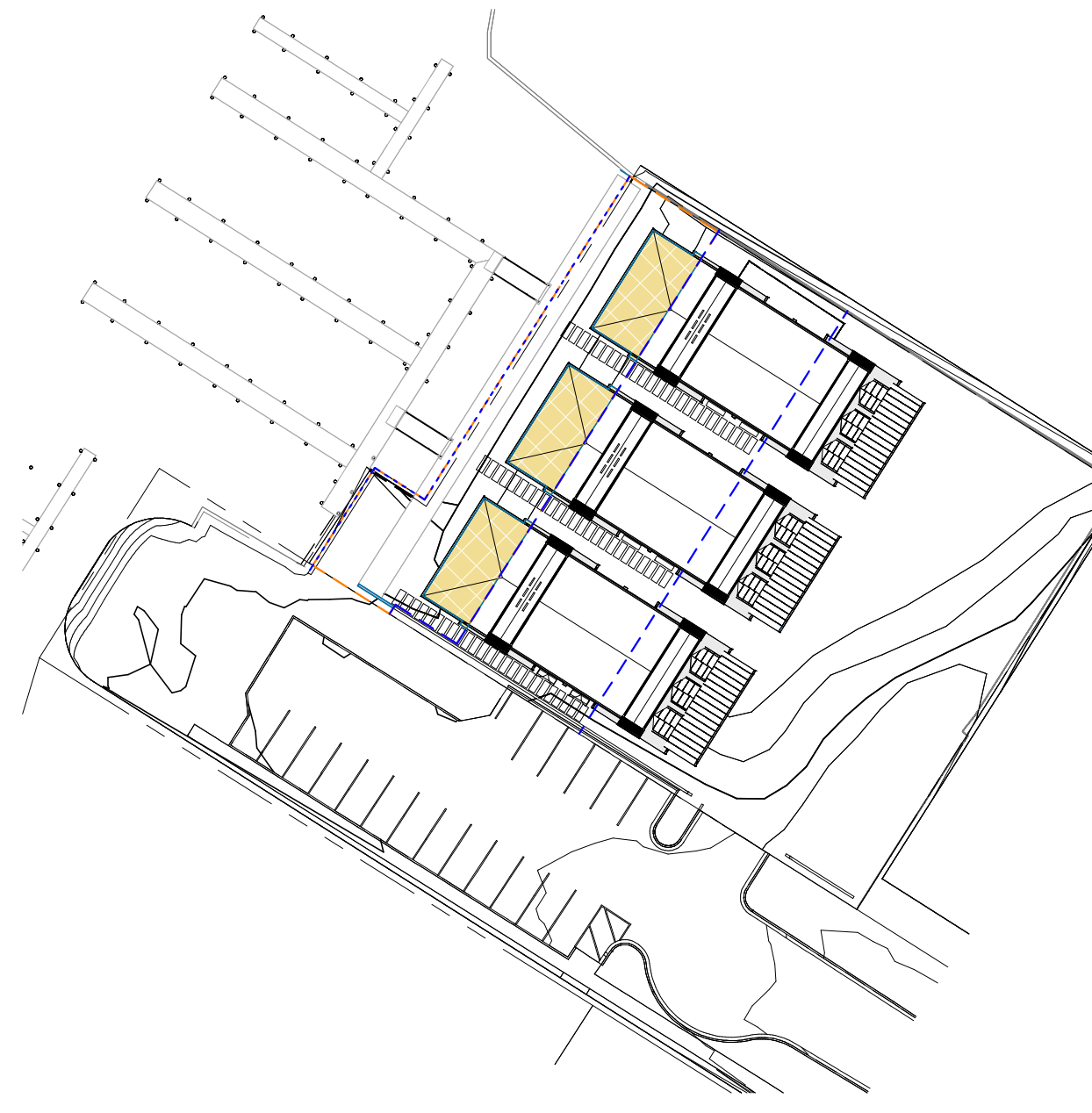
Name	Area
Residence	10092.54 SF
Site Walls/Elements	249.36 SF
Total	10341.90 SF

Proposed AEC Impervious Area

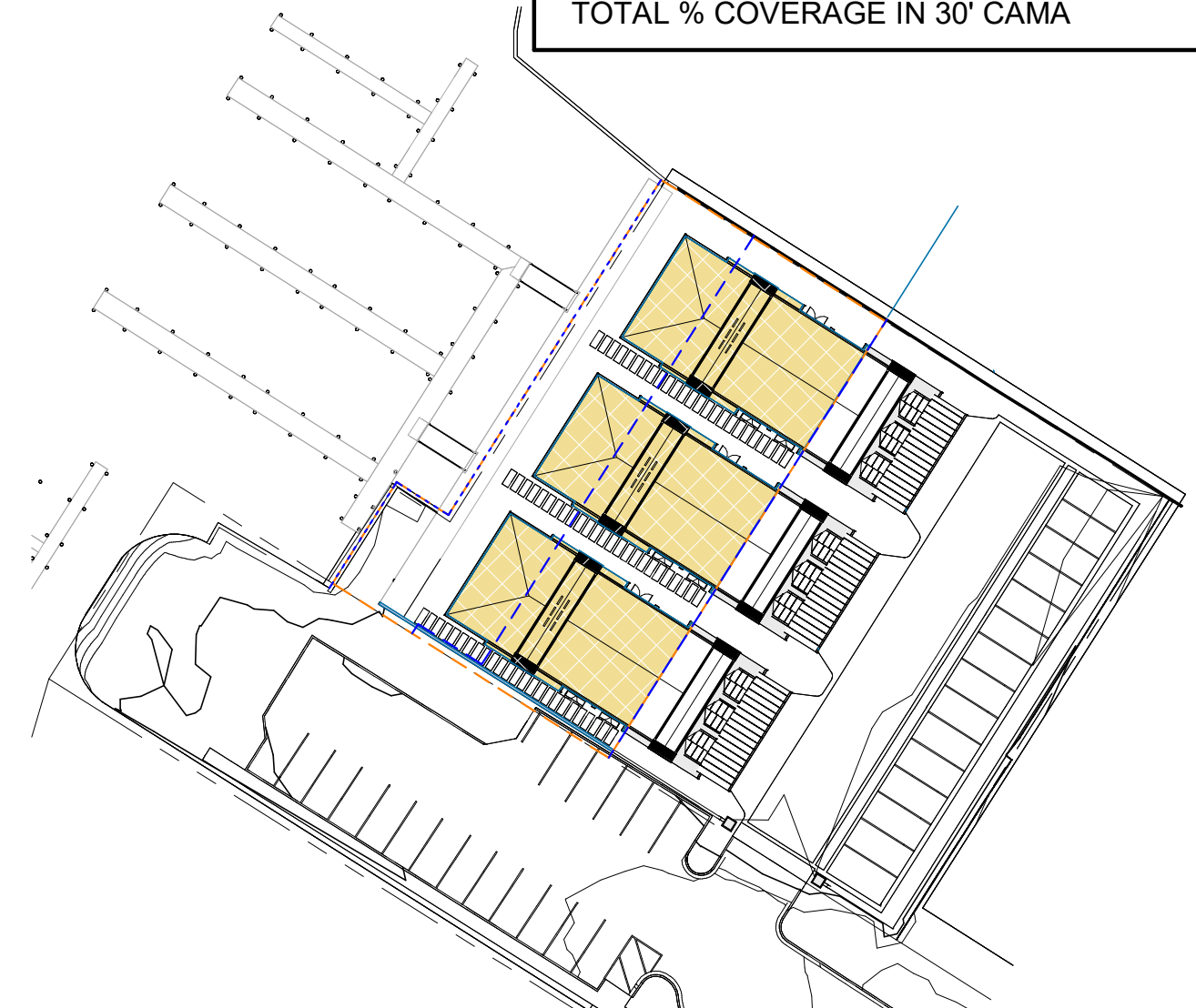
Name	Area
Residence	6435.75 SF
Site Walls/Elements	50.23 SF
Total	6485.98 SF

Proposed CAMA Impervious Area

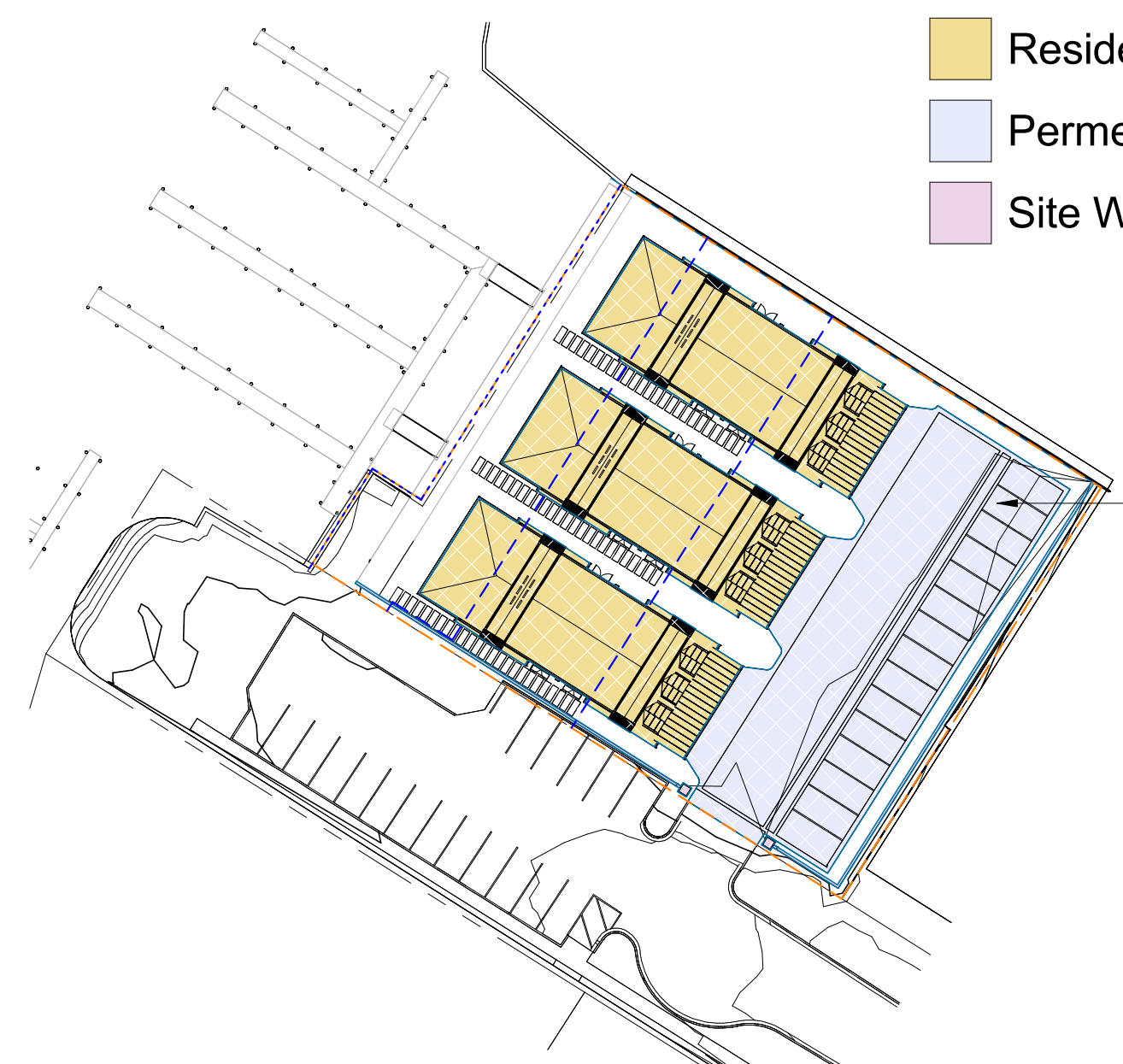
Name	Area
Residence	1681.71 SF
Site Walls/Elements	7.89 SF
Total	1689.60 SF



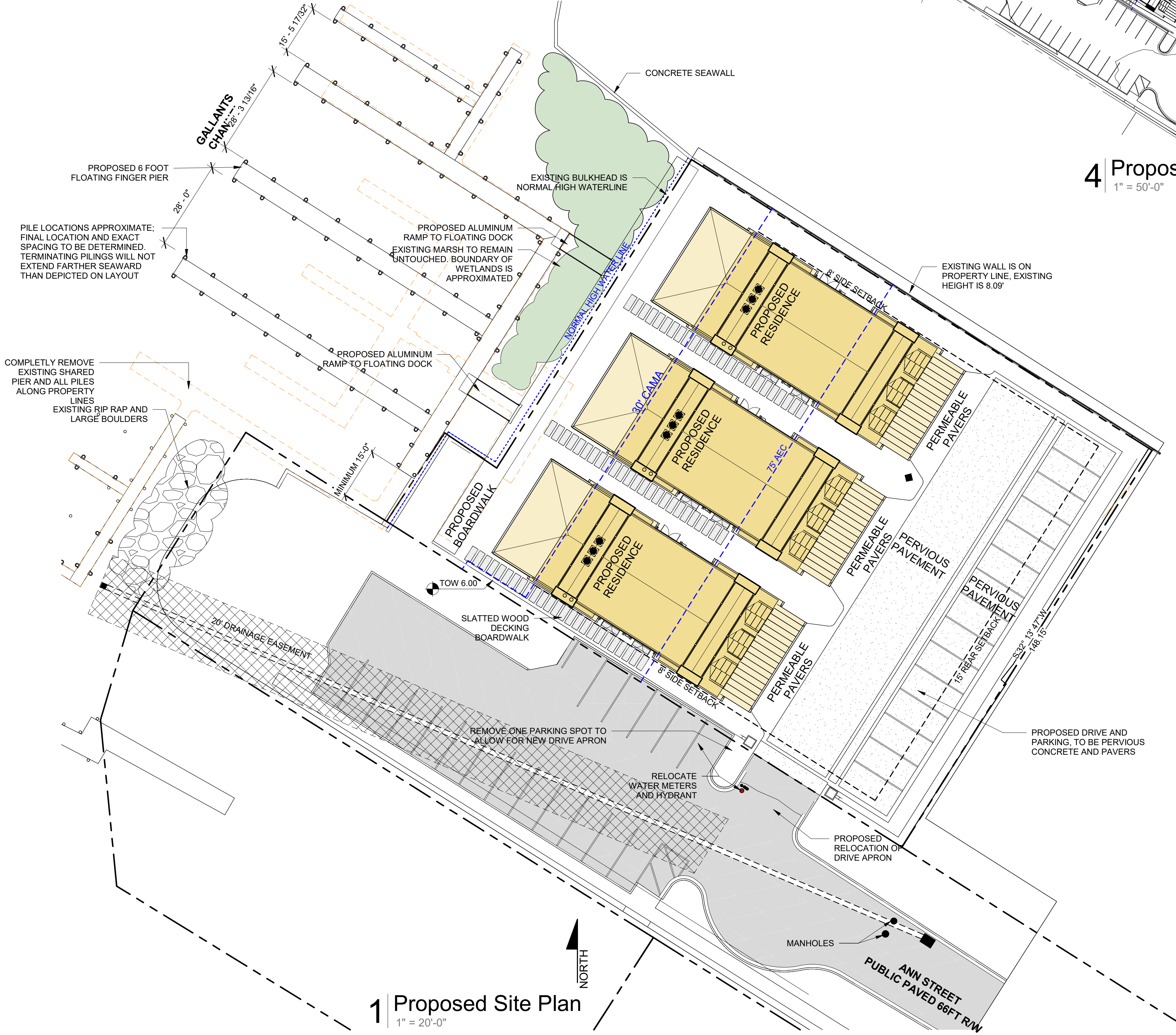
4 Proposed CAMA Area
1" = 50'-0"



3 Proposed AEC Area
1" = 50'-0"



2 Proposed Impervious Area
1" = 50'-0"



1 Proposed Site Plan
1" = 20'-0"

Impervious Area

- Residence
- Permeable Pavers
- Site Walls/Elements

7,606.58 SQFT OF PERMEABLE PAVERS & PERVIOUS CONCRETE NOT INCLUDED IN IMPERVIOUS AREA CALCULATIONS

No.	Description	Date

Preliminary Site Plan

Project number 22-023
 Date 05/01/24

LA101

Scale As indicated

Starfish
 101 Ann Street
 Beaufort, North Carolina

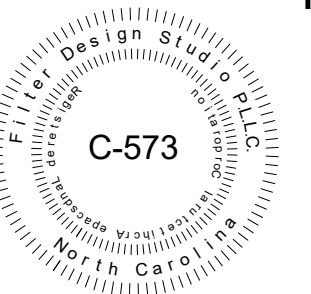
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Landscape Architect Seal



Firm Seal



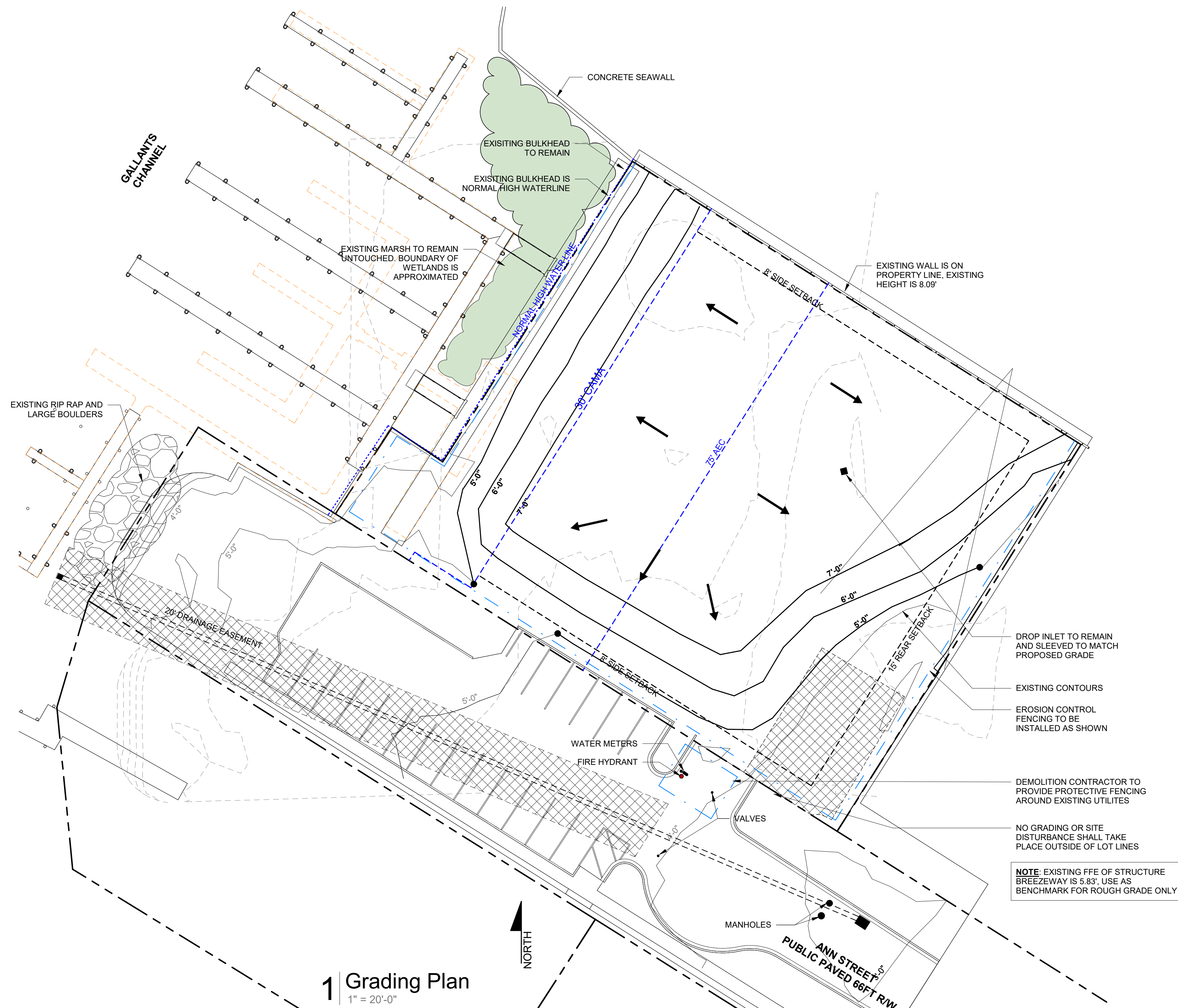
Architecture

Company: Filter Design Studio, P.L.L.C.
Architect: Ryan Edwards
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Phone: 252-622-4119
Email: ryan@filterdesignstudio.com

Landscape Architecture

Company: Filter Design Studio, P.L.L.C.
Landscape Architect: Thomas "Jay" Horton
Address: 707 Bridges Street, Morehead City, NC 28557
Phone: 252-622-4119
Email: jay@filterdesignstudio.com

- GRADING NOTES
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND/OR LANDSCAPE ARCHITECT IMMEDIATELY.
2. A MINIMUM OF 2% SLOPE SHALL BE MAINTAINED ON ALL PAVED AND LANDSCAPE SURFACES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL SURFACES SLOPE AWAY FROM THE BUILDING, WALKS AND WALLS AT A MINIMUM OF 2%. WALK SHALL NOT EXCEED 5% AS INDICATED ON PLAN.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UNDERGROUND UTILITY COMPANIES AND COORDINATING WITH OWNER TO DETERMINE THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK OPERATIONS. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT ALL EXISTING UTILITY LINES AND STRUCTURES SHALL REMAIN UNDISTURBED. SHOULD ANY DAMAGES OCCUR DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS/HER OWN EXPENSE.
4. ALL LANDSCAPE RELATED DRAIN PIPES 4" OR AS NOTED OTHERWISE SHALL BE SOLID PIPE WITH SMOOTH INTERIOR WALL AS INDICATED ON PLAN AND IN LEGEND.
5. ALL DRAINAGE PIPES SHALL HAVE A MINIMUM OF 2% SLOPE TO OUTFALL UNLESS NOTED OTHERWISE.
6. ALL DRAINAGE PRODUCTS SHALL BE MANUFACTURED BY NDS INC. (800) 726-1994 OR APPROVED EQUAL.
7. INSTALLATION OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
8. CONTRACTOR SHALL INCLUDE ALL MATERIALS AND LABOR TO BRING SITE TO PROPOSED GRADE.
9. CONTRACTOR SHALL NOT DISTURB EXISTING TREE ROOTS IN ANY MANNER AND SHALL CONSULT WITH LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION AND SHALL COORDINATE WITH OWNER ANY REMOVAL AND RELOCATION OF EXISTING VEGETATION.
10. CONTRACTOR SHALL VERIFY ALL EXISTING CONTOURS AND SPOT ELEVATIONS AND SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR PRIOR TO GRADING THE SITE.
11. CONTRACTOR SHALL STAKE PROVIDE PROTECTION AND "WELL" AROUND EXISTING DROP INLETS AND CURB INLETS. CONTRACTOR SHALL CONSULT WITH FILTER DESIGN STUDIO ON THE ROUTING OF THE DRAIN PIPES AND OUTFALL IN THE LAWN AREA PRIOR TO INSTALLATION IF APPLICABLE.
12. IF ROOF GUTTERS ARE USED, INSTALL DOWNSPOUT GUTTER DRAINS. ALL UNDERGROUND DRAINAGE SYSTEMS SHALL DAYLIGHT INTO NATURAL AREA OR CONNECT TO STORM SEWER SYSTEM IF AVAILABLE. CONTRACTOR SHALL VERIFY W/ OWNER IF EXISTING DOWNSPOUTS ARE CONNECTED AND CARRIED TO EITHER DAYLIGHT OR EXISTING STORM DRAINAGE. IF APPLICABLE.
13. CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY EROSION CONTROL MEASURES AND TREE PROTECTION AS REQUIRED. CONTRACTOR SHALL CONSULT THE NORTH CAROLINA EROSION CONTROL DESIGN MANUAL PRIOR TO INSTALLING ANY EROSION CONTROL DEVICES. LOCATION OF TREE PROTECTION AND EROSION CONTROL DEVICES IF INDICATED ON PLANS IS APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL TREES TO BE SAVED. ANY TREE DAMAGE INCLUDING BUT NOT LIMITED TO STORAGE OF MATERIALS, PARKING OF EQUIPMENT, UNNECESSARY GRADING OR NOT PROVIDING OR MAINTAINING ADEQUATE PROTECTION WITHIN THE DRIP ZONE WILL RESULT IN DAMAGES TO BE PAID BY CONTRACTOR TO OWNER.
14. CONTRACTOR SHALL INSTALL ENGINEERED "SANDY CLAY FILL" IN NO MORE THAN 6" LIFTS TO BRING SITE UP TO PROPOSED GRADE.
15. CONTRACTOR SHALL COMPACT ACCORDINGLY TO ACHIEVE A MINIMUM OF 95% PROCTOR DENSITY.
16. PROPOSED ROUGH GRADE IS SUGGESTIVE AND MAY REQUIRE FIELD CHANGES TO DIRECT RUNOFF.
17. RUNOFF CONVEYANCE TO REMAIN THE SAME POST DEVELOPMENT. CONTACT FILTER DESIGN STUDIO WITH ANY CONCERNS OR CHANGES.
18. CONTRACTOR TO CONSULT WITH LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY GRADING; CONTRACTOR NEEDS TO VERIFY SPOT ELEVATIONS.
19. PLEASE NOTE THAT CONVEYANCE OF STORMWATER RUNOFF REMAINS THE SAME AS THE PRE-DEVELOPED SITE. STORMWATER INFILTRATION ON CURRENT SITE IS STATED AT 8% IMPERVIOUS PREDEVELOPMENT. SEE CALCULATIONS ON SHEET LA101 FOR POST DEVELOPMENT NUMBERS.
20. SITE CONTRACTOR TO COORDINATE WITH TOWN OF BEAUFORT, NC ON EQUIPMENT STAGING AND SAFETY REQUIREMENTS



1 Grading Plan
1" = 20'-0"

Starfish

101 Ann Street
Beaufort, North Carolina

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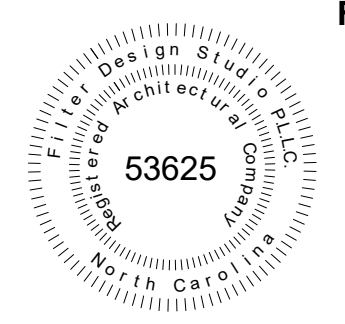
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Preliminary Stabilization Grading Plan
Project number: 22-023
Date: 04/30/24
LA104
Scale: As indicated

Architect Seal

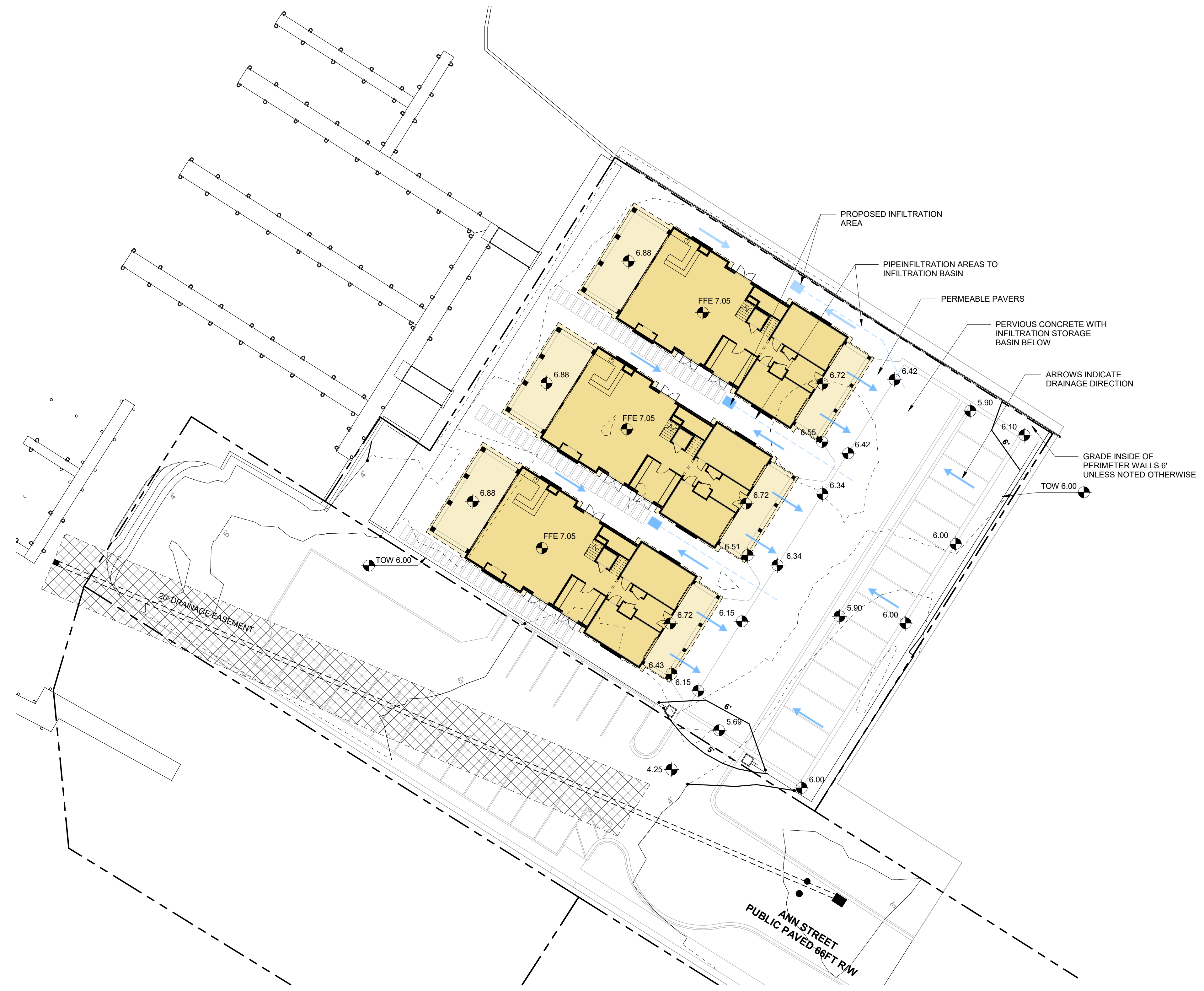


Firm Seal



Architecture
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 Architect: Ryan Edwards
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 Beaufort, North Carolina

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No.	Description	Date

Proposed Grading Plan

Project number: 22-023
 Date: 06/04/24

LA105

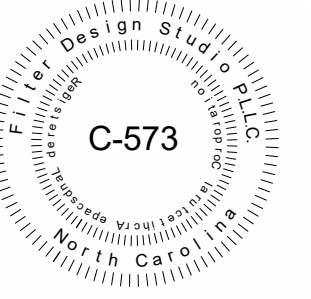
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1 Proposed Grading Plan
 1" = 20'-0"

Landscape Architect Seal



Firm Seal

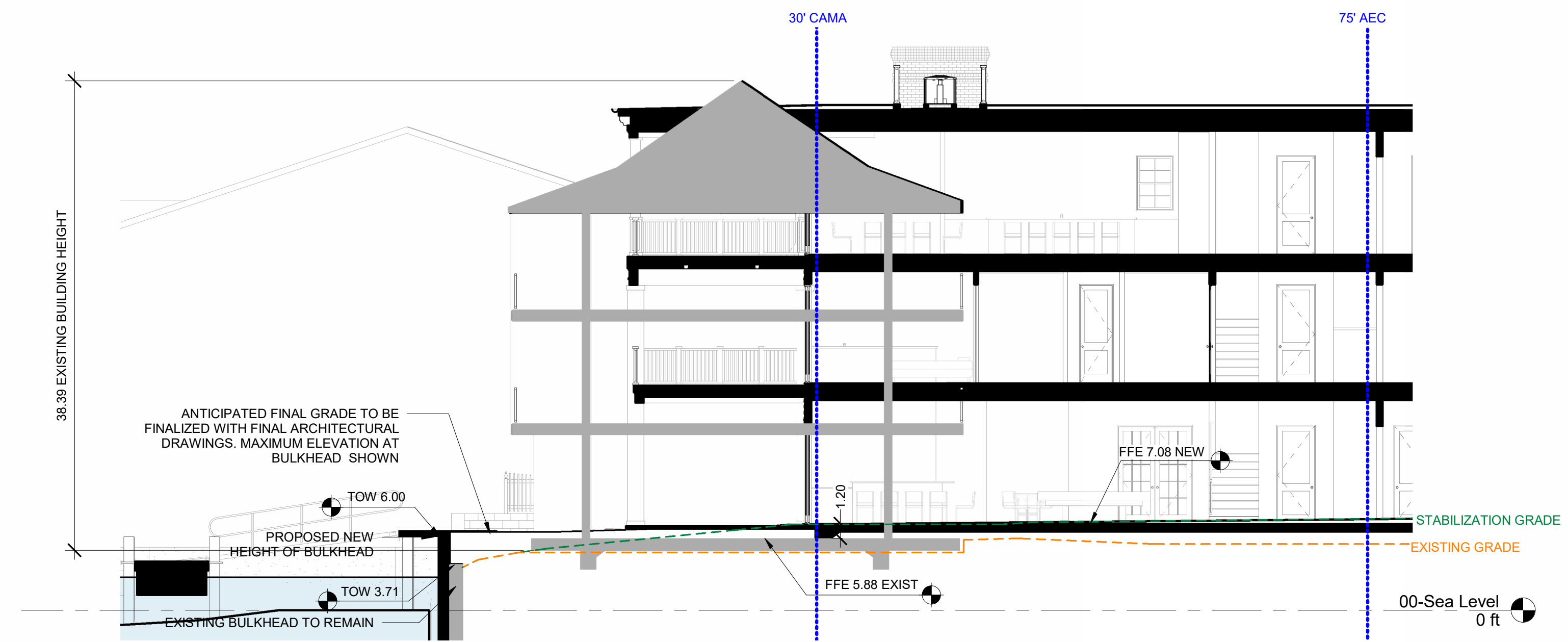


Architecture

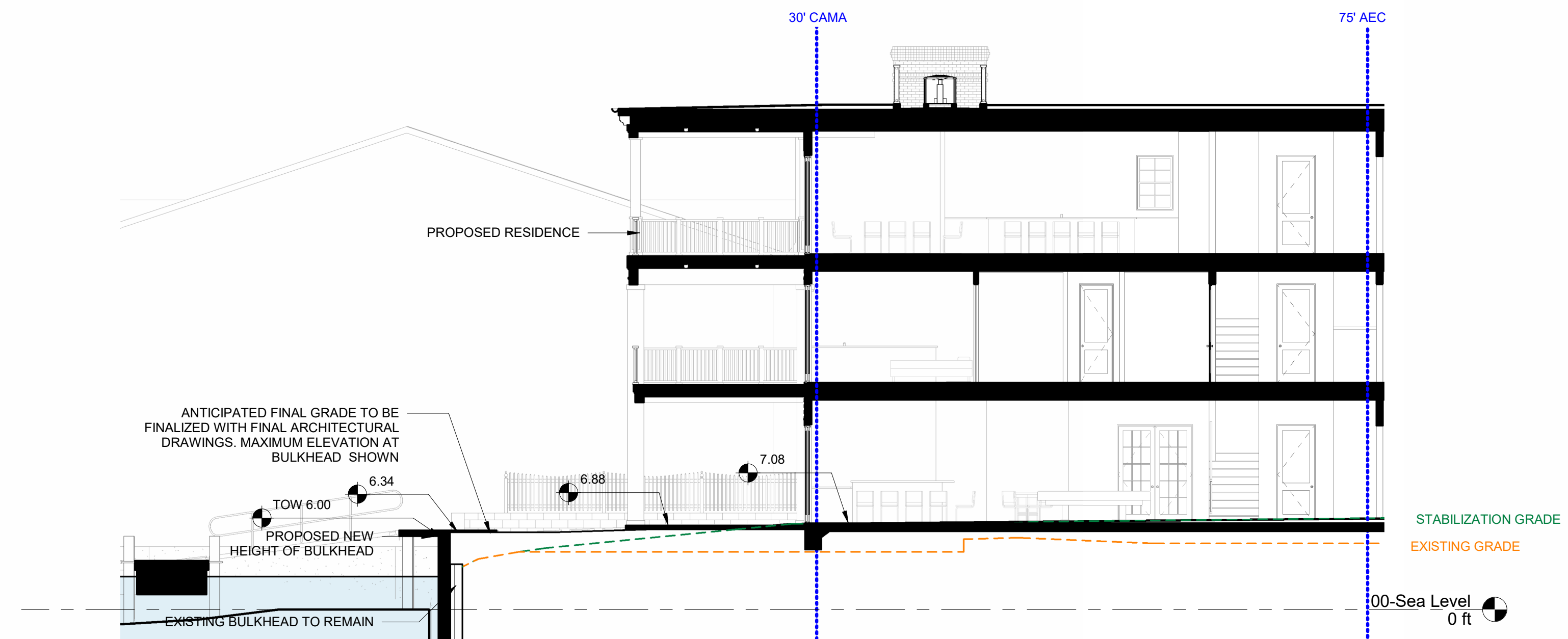
Company: Filter Design Studio, P.L.L.C.
 Architect: Ryan Edwards
 Address: 707 Bridges Street
 Morehead City, NC 28557
 Phone: 252-622-4119
 Email: ryan@filterdesignstudio.com

Landscape Architecture

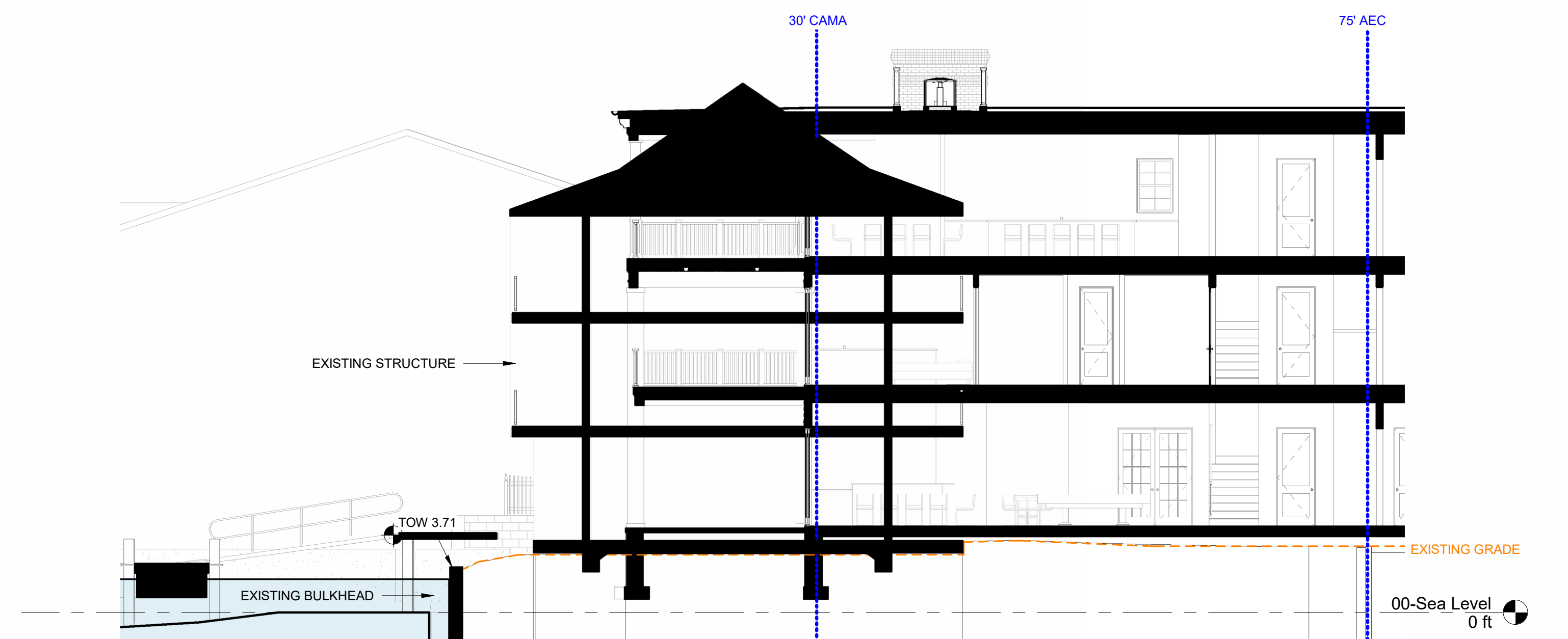
Company: Filter Design Studio, P.L.L.C.
 Landscape Architect: Thomas "Jay" Horton
 Address: 707 Bridges Street
 Morehead City, NC 28557
 Phone: 252-622-4119
 Email: jay@filterdesignstudio.com



3 Exhibit 1 - Proposed & Existing
 1/8" = 1'-0"



2 Exhibit 1 - Proposed
 1/8" = 1'-0"



1 Exhibit 1 - Existing
 1/8" = 1'-0"

Starfish

101 Ann Street
 Beaufort, North Carolina

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No.	Description	Date

Proposed Bulkhead Modification

Project number: 22-023
 Date: 2024-04-24

LA301

Scale: 1/8" = 1'-0"

Architect Seal



Firm Seal



Architecture

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Landscape Architecture

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Beaufort, North Carolina
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Area Schedule - Heated	
Name	Area

1st Floor	2385.57 SF
2nd Floor	2230.30 SF
3rd Floor	2073.36 SF
	6689.23 SF

Area Schedule - Unheated	
Name	Area

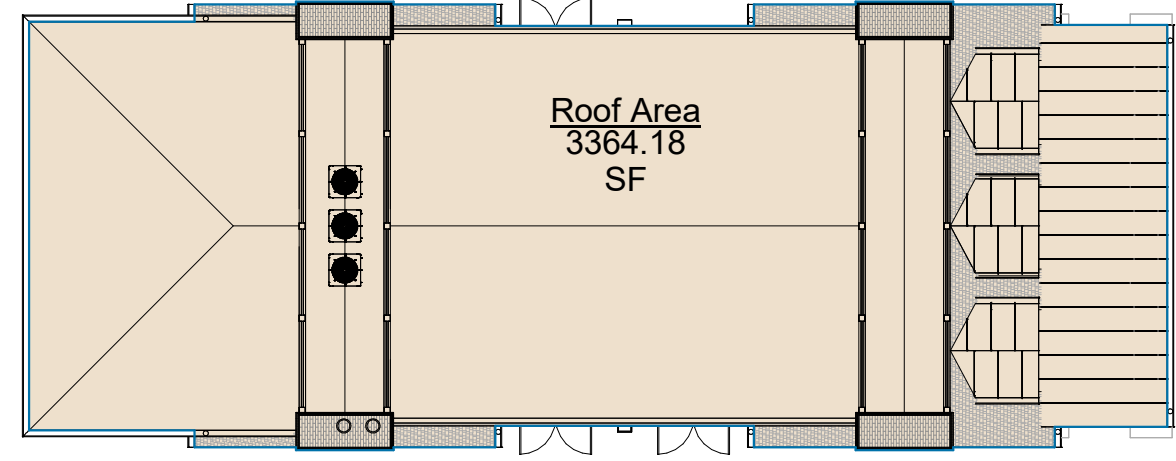
Porches	2067.01 SF
	2067.01 SF

Area Schedule - Combined Area	
Name	Area

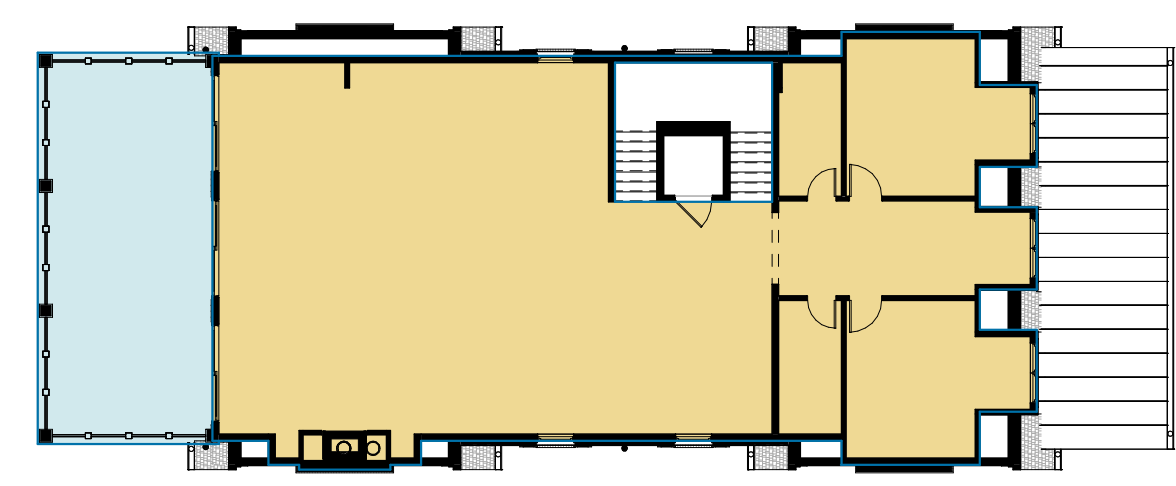
1st Floor	2385.57 SF
2nd Floor	2230.30 SF
3rd Floor	2073.36 SF
Porches	2067.01 SF
	8756.24 SF

Building Area Legend

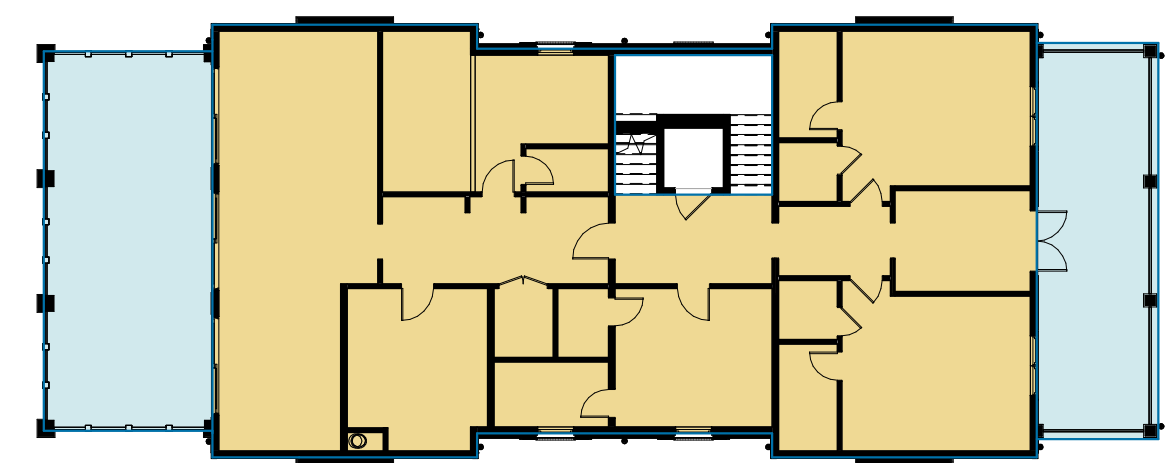
- 1st Floor
- Porches
- 2nd Floor
- Spa
- 3rd Floor
- Roof Area



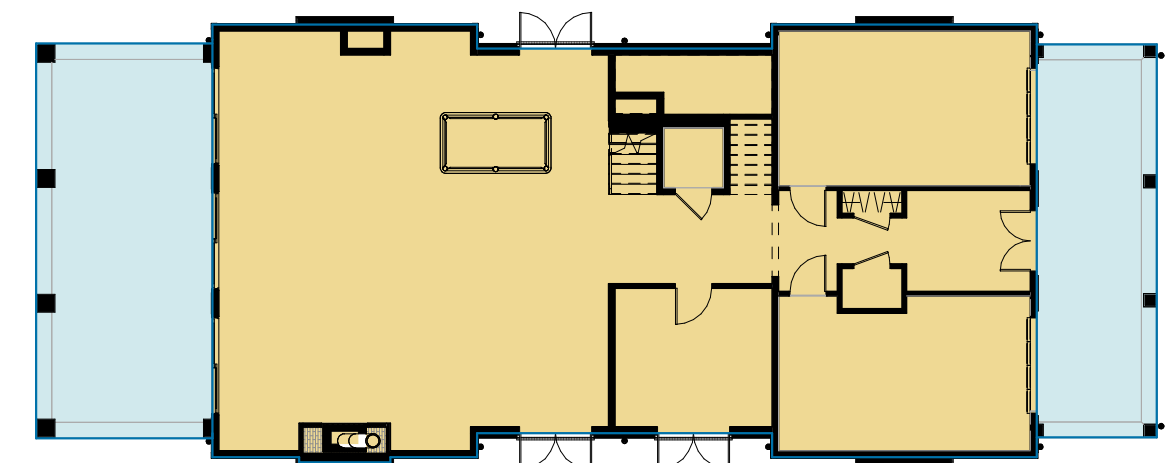
4 04-Roof Area
1/16" = 1'-0"



3 03-Third Floor
1/16" = 1'-0"



2 02-Second Floor
1/16" = 1'-0"



1 01-First Floor
1/16" = 1'-0"

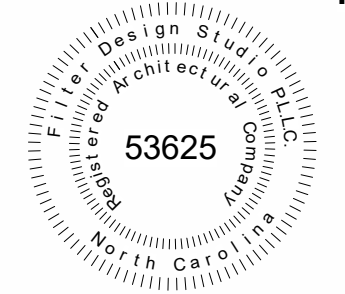
No.	Description	Date

Area Calculations	
Project number	22-023
Date	06/25/24
A002	
Scale	1/16" = 1'-0"

Architect Seal



Firm Seal

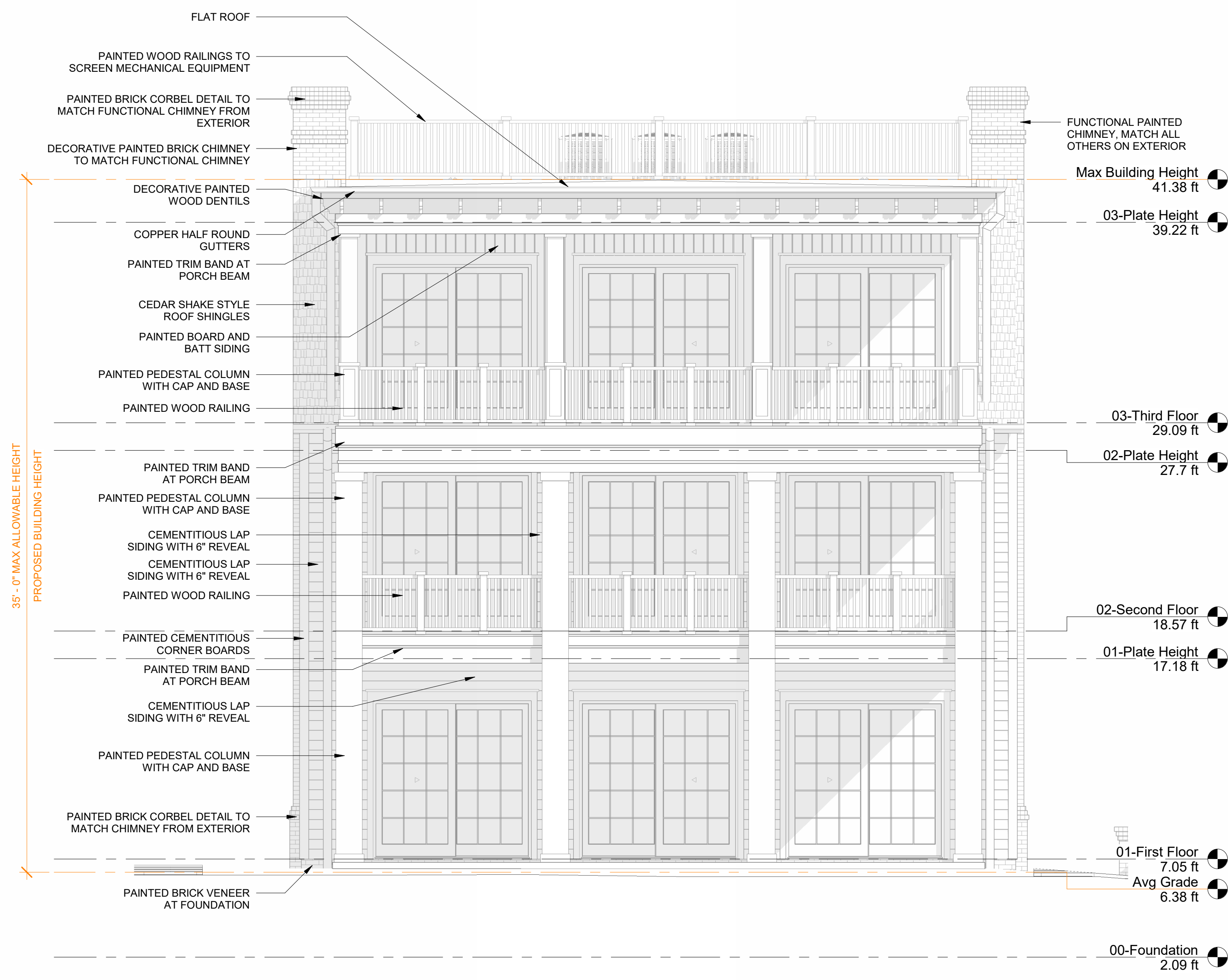


Architecture

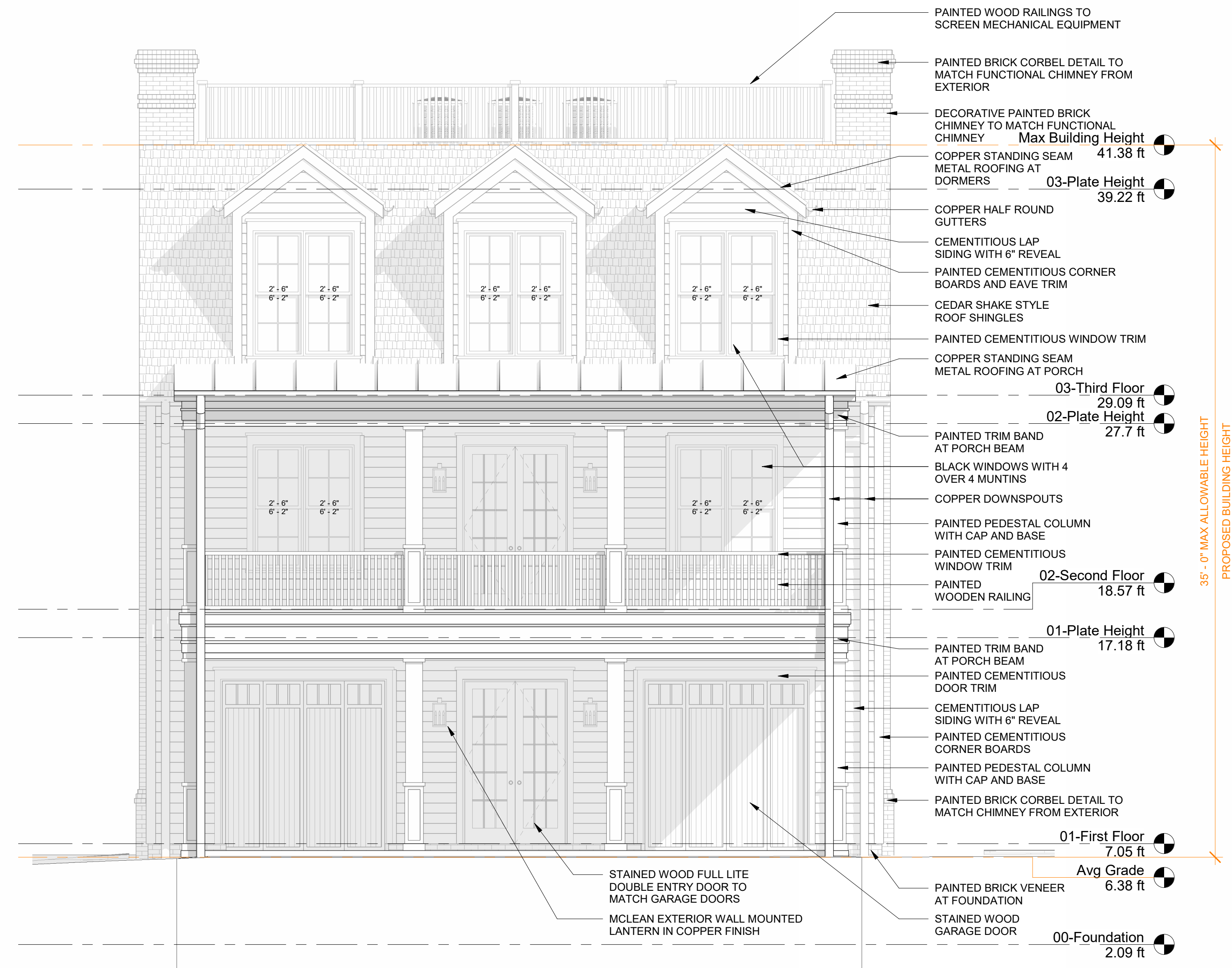
Company: Filter Design Studio, P.L.L.C.
 Architect: Ryan Edwards
 Address: 707 Bridges Street
 Morehead City, NC 28557
 Phone: 252-622-4119
 Email: ryan@filterdesignstudio.com

Landscape Architecture

Company: Filter Design Studio, P.L.L.C.
 Landscape Architect: Thomas "Jay" Horton
 Address: 707 Bridges Street
 Morehead City, NC 28557
 Phone: 252-622-4119
 Email: jay@filterdesignstudio.com



2 Rear
1/4" = 1'-0"



1 Front
1/4" = 1'-0"

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Beaufort, North Carolina

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No.	Description	Date

Exterior Elevations

Project number 22-023
 Date 05/28/24

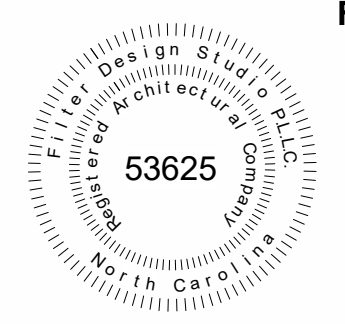
A201

Scale 1/4" = 1'-0"

Architect Seal

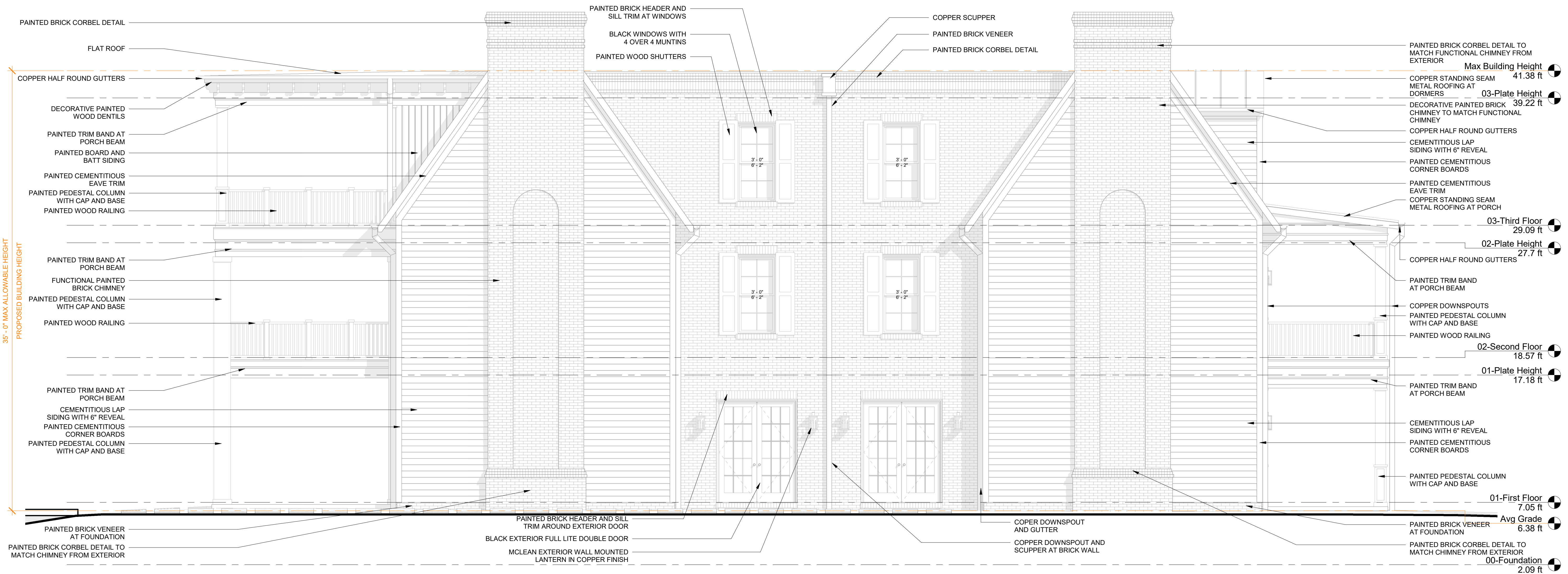


Firm Seal



Architecture
Company: Filter Design Studio, P.L.L.C.
Architect: Ryan Edwards
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Email: jay@filterdesignstudio.com



1 | Left
1/4" = 1'-0"

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No.	Description	Date

Exterior Elevations

Project number: 22-023
Date: 05/28/24

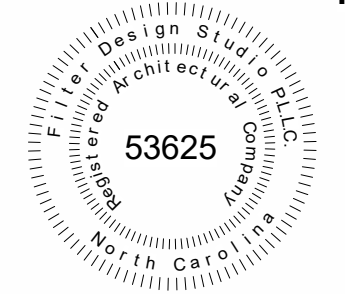
A203

Scale: 1/4" = 1'-0"

Architect Seal



Firm Seal



Architecture

Company: Filter Design Studio, P.L.L.C.
Architect: Ryan Edwards
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Landscape Architecture

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Email: jay@filterdesignstudio.com



2 | Rear Elevation
1/4" = 1'-0"

1 | Front Elevation
1/4" = 1'-0"

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No.	Description	Date

Rendered Elevations

Project number: 22-023
Date: 06/04/24

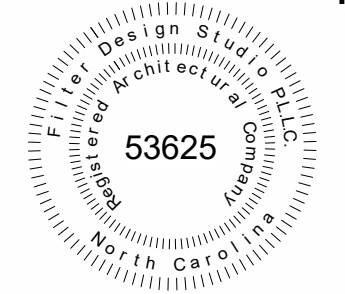
A204

Scale: 1/4" = 1'-0"

Architect Seal



Firm Seal



Architecture

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No.	Description	Date

Rendered Elevations

Project number: 22-023
 Date: 06/04/24

A205

Scale: 1/4" = 1'-0"

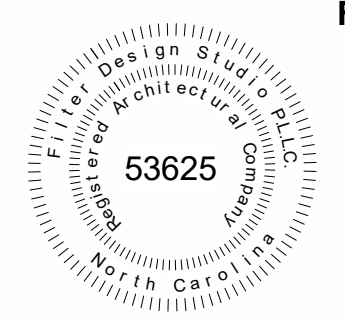


1 | Right Elevation
 1/4" = 1'-0"

Architect Seal



Firm Seal



Architecture

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35'-0" MAX ALLOWABLE HEIGHT PROPOSED BUILDING HEIGHT

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1 | Left Elevation
 1/4" = 1'-0"

No.	Description	Date

Rendered Elevations

Project number: 22-023
 Date: 06/04/24

A206

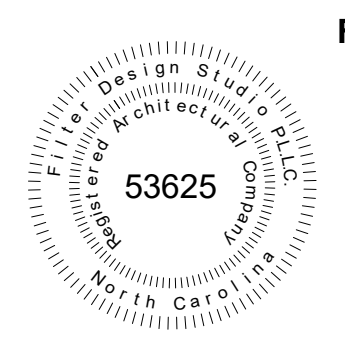
Scale: 1/4" = 1'-0"



Architect Seal



Firm Seal



Architecture

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No.	Description	Date

Exterior Renders

Project number: 22-023
 Date: 06/04/24

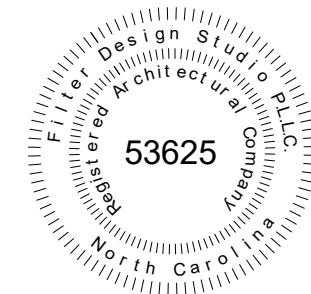
A207

Scale:

Architect Seal



Firm Seal



Architecture

Company: Filter Design Studio, P.L.L.C.
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No.	Description	Date

Exterior Renders

Project number: 22-023
 Date: 06/04/24

A208

Scale: _____