



## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 PM Tuesday, November 05, 2019 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting**

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**Call to Order**

**Roll Call**

**Agenda Approval**

**Minutes Approval**

1. Draft Minutes of October 1, 2019

**Administration of Oaths**

**Public Comment**

**Old Business**

1. Case # 19-21 Queen Street - Driveway.

**New Business**

1. Case # 19-22 217 Front St, Rear Addition.
2. Case # 19-23 Gallants Landing – Install Elevated Lift
3. Case # 19-24 120 Moore Street – Revision to approved COA

**Commission / Board Comments**

**Staff Comments**

**Adjourn**



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### **Town of Beaufort Historic Preservation Commission Regular Meeting**

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**6:00 PM Tuesday, November 05, 2019 – Train Depot, 614 Broad Street, Beaufort, NC  
28516**

### **Monthly Meeting**

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**AGENDA CATEGORY:** Minutes Approval  
**SUBJECT:** Draft Minutes of October 1, 2019

**BRIEF SUMMARY:**

Draft Minutes of October 1, 2019

**REQUESTED ACTION:**

Approval of minutes as presented or amended

**EXPECTED LENGTH OF PRESENTATION:**

Five minutes

**SUBMITTED BY:**

Denice Winn

**BUDGET AMENDMENT REQUIRED:**

No



Town of Beaufort  
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516  
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**TOWN OF BEAUFORT**  
**HISTORIC PRESERVATION COMMISSION REGULAR MEETING**  
OCTOBER 1, 2019  
TOWN HALL, 6:00 P.M.

The Town of Beaufort Historic Preservation Commission held its regularly scheduled meeting on Tuesday, October 1, 2019 at 6:00 p.m. at the Train Depot located at 614 Broad Street, Beaufort, N.C.

**Members Present:**

Laura Chadwick-Sicklin  
Nancy Francis-Heckman  
Joyce McCune  
Heather Poling, Vice-Chair  
Janet Woodward

**Staff Present:**

Kyle Garner, Planning Director  
Jeremy Ganey, Code Enforcement Official  
Debbie Graham, Commission Secretary  
Dee Winn, Secretary  
Commissioner Ann Carter  
Town Attorney Jill Quattlebaum

**1. CALL TO ORDER/ PLEDGE OF ALLEGIANCE.**

Vice Chair Poling called the meeting to order and asked all those in attendance to stand and join in the Pledge of Allegiance.

**2. ROLL CALL.**

Secretary Graham called roll and declared a quorum present for the meeting. Chair Robert Terwilliger informed staff he would not be in attendance for the meeting. Member Stephens was also absent from the meeting.

**3. AGENDA ADOPTION.**

As Case 19-16 was withdrawn by the applicant prior to the meeting, a motion was made to remove it from the agenda. The motion was seconded with the vote unanimous in favor of the motion.

A motion was made to approve the agenda as amended. The motion was seconded and the vote was 5 in favor and 0 opposed and so the amended agenda was approved.

**4. MINUTES APPROVAL.**

A motion was made and seconded to approve the August 6, 2019 minutes as offered.

**5. ADMINISTRATION OF OATHS.**

The Chair indicated this is a quasi-judicial meeting and all those planning on giving testimony or presenting evidence during the public hearing(s) will need to be administered the oath. The secretary administered the oath to those giving testimony during the consideration of new applications.

Then the Vice Chair entered the following documents into the record: (1) the *Beaufort National Register Historic District Comprehensive Survey (A Resurvey of the 1970 Survey)* compiled by Ruth

Little, 1997; (2) *Beaufort, An Album of Memories* by Jack Dudley; (3) the *Design Guidelines for the Beaufort Historic District & Landmarks* (1994, Revised 2008); (4) the Town of Beaufort *Land Development Ordinance* (adopted 2013); (5) the 2018 NC Building Code Chapter 34, Existing Buildings and Structures, Section 3409 on Historic Buildings; and (6) the *Town of Beaufort Comprehensive Plan Update*, prepared by the East Carolina Council of Governments (adopted 2012).

## 6. CONSIDERATION OF NEW APPLICATIONS.

### A. Case #19-20 – 612 Broad Street – Exterior Renovations and Modifications to the Beaufort Police Department Annex Building

Vice Chair Poling gave the following statement: This hearing is a quasi-judicial evidentiary hearing which means it is like a court hearing. State law sets specific procedures and rules concerning how this Commission makes its decision. These rules are different from other types of land use decisions like rezoning cases. The Commission must base its decision upon competent, relevant and substantial evidence in the record – a quasi-judicial decision is not a popularity contest. It is a decision constrained by the standards in the ordinance and based on the facts presented. If you are speaking as a witness, please focus on the facts and standards, not personal preference or opinion. Participation is limited. This meeting is open to the public and everyone is welcome to watch. Parties with standing have rights to participate fully and those parties may present evidence, call witnesses and make legal arguments. Parties are limited to the applicant, the local government and individuals who can show they will suffer special damages. Other individuals may serve as witnesses when called by the Commission. For certain topics, this Commission may hear opinion testimony from expert witnesses who must be qualified as experts and provide factual evidence upon which they base their expert opinion. After giving the statement, the Vice Chair opened the public hearing.

Applicants Mark Eakes and Jeremy Ganey were present at the meeting to discuss the application. Mr. Eakes stated the building is currently vacant. He added they wish to match the colors and patterns of the Police Station Building on Pollock Street by using pure white paint (and they had a sample of the paint), as well as stuccoing over the block veneer on the building. He disclosed they will use hardiboard siding, in a horizontal fashion, from the windows down to the ground. He said they will remove the windows on the west side of the building and block up the holes. He testified they will replace the glass door with a metal door and relocate the door closer to the east end of the building on the front/north side of the building. Mr. Eakes revealed that on the back of the building/south side, they would replace the glass door with a metal door. The windows on the east side of the building will be replaced with one new window, which will be vinyl, he added. Then he expressed that the windows on the west side of the building would be removed and only one window would go back into the building.

In summary, Mr. Eakes stated the front of the building would have two windows and one door; the west side of the building would remove one window and fill in the window hole but put a new window in one of the existing holes; the rear of the building has already had a window closed in (prior to this application) and they will use paint and stucco to make the window opening less obvious and also change out the glass door with a metal door; and on the east side of the building they will remove one window and fill in the window hole and then replace one window.

Member Francis-Heckman interrupted Mr. Eakes to ask if the noise on the outside of the building (people talking) could be stopped as the noise was distracting. A member of the audience said she would take care of it and she did.



Mr. Eakes stated he would be happy to answer any questions. Member McCune asked if the paint color being sprayed onto the building would be the same as on the Police Department. Mr. Eakes said it would as he had someone from Sherwin-Williams come out and color match the paint on the Police Department building.

Member McCune stated the roof is in bad shape. Mr. Eakes agreed and said someone was coming out soon to assess all three roofs, both police station buildings and the Depot, as they all three had sustained damage from the recent hurricanes.

Vice Chair Poling thanked the applicants, Mr. Eakes and Mr. Ganey, for their testimony and asked if there were others who wished to speak on this matter.

Member Francis-Heckman stated she appreciated the thoroughness of the application.

Hearing nothing further, the Vice Chair stated that the Commission, having reviewed the record and after considering all the evidence submitted as well as the oral testimony for **Case 19-20** (612 Broad Street – Exterior Renovations and Modifications to the Beaufort Police Department Annex building) given during the public hearing on this item this evening, moved that the Commission conclude that the application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks:

- *Brickwork and Masonry Guidelines* as submitted in the Staff report;
- *Window and Door Guidelines* as submitted in the Staff report;
- *Paint and Exterior Colors Guidelines* as submitted in the Staff report;
- *Wood Siding, Trim and Ornament Guidelines* as submitted in the Staff report;

Member Chadwick Sicklin seconded the motion with the vote being 5 in favor and 0 opposed and the motion on the finding of facts was approved.

Vice Chair Poling stated that based upon the foregoing findings of fact, she moved that the Commission conclude that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case 19-20 be issued for the proposed work. Member Chadwick-Sicklin seconded the motion with the vote being unanimous in favor of the motion and the COA was approved.

The Vice Chair closed the public hearing on this item.

**B. Case #19-21 – 209 Queen Street – Install Brick Driveway Pavers**

Vice Chair Poling asked if the applicant was present. She turned to Staff and the Attorney for guidance. Mr. Garner stated typically this item would be tabled.

Member Francis-Heckman made a motion to table this item. Member Chadwick-Sicklin seconded the motion. The vote was unanimous in favor of the motion to table this item.

**7. PUBLIC COMMENTS.**

None

**8. COMMISSION COMMENTS.**

Member Francis-Heckman called attention to the Beaufort Woman's Club Craftsman Style Architecture Tour slated for Saturday, October 26<sup>th</sup> from 10 AM to 5 PM. She added she is interested in the architecture and history of Beaufort's Craftsman style homes at 10:30 AM, 1:30 PM and 3:30 PM at the Train Depot and there is no charge for this presentation. She added she is quite interested in the Tour also. Member Woodward already has tickets and thinks the Commission should attend and gather for the lecture. Mr. Garner stated he wants to run this by

the Town Manager and see if Commission participants would get CLG credits for attending the lecture. Member Francis-Heckman asked how other members feel about this. Member McCune added she is planning on attending as well. Mr. Garner said Commission members needed to attend as individuals so as not to appear to be there as a Board. He is also checking to see if members who purchase tickets could be reimbursed.

Member Francis-Heckman said in the 100 block of Front Street, at the dock area, there is a new gate, not original to the fencing which has signs on the gate and she does not think they have come before the Commission for the signage.

Member Francis-Heckman added new windows are going in at 122 Front Street and she does not feel they are like for like windows. Mr. Garner stated he knows about the project and actually likes the windows and they are like for like as we have the paperwork for a minor works.

Member Francis-Heckman brought up the project on Sunset Lane saying that it looks abandon. Member McCune noticed they straightened up the fence after the last hurricane. Member Chadwick Sicklin added the site is still a mess. Member Francis-Heckman expressed this area is a popular area for tourist either walking or biking and this site is an eyesore. Mr. Ganey responded and said the contractor should be picking up the pace in November. He added they moved the superintendent off of this site to complete a job on another site. He testified the contractor has plenty of time left on the permit. Member Woodward asked about the length of the permit. Mr. Ganey responded it is good for one year after any inspection.

Vice Chair Poling asked if someone could supersede the HPC on the demolition of a historic structure (she was referring to a house on Broad Street). Mr. Garner replied the Town could send them a letter of violation. He asked if she had discussed this project with the property owner. The Vice Chair replied she had. Mr. Garner stated she would have to recuse herself if this comes before the Commission and warned about ex parte communications.

## 9. STAFF COMMENTS.

Mr. Garner stated the following:

- There is a training opportunity coming up in Edenton on Historic Cemeteries. It will include the background on how to maintain them and how to repair the old head stones. The workshop will be on October 28<sup>th</sup> and he will get the information out to the Commission via email.
- The application for the Grant to re-write the HPC is being reviewed by the Town's Attorneys. Hopes to be able to put this out for Bids soon and get information out to the Commission via email.
- On November 1<sup>st</sup> or 2<sup>nd</sup> in the afternoon, there is going to be a webinar for members on the resiliency. The webinar will be 1½ to 2 hours long and we may be able to get CLG credit hours for attendance. More to come.
- Introduction of Dee Winn, new administrative assistant. She has to cram a lot of information in in a short amount of time. Her background is as a licensed paralegal and she worked with Social Services for 15 years. Dee is actually from Beaufort.

Member Woodward asked about demolition by neglect. Mr. Garner said it is used differently than regular demolition. Demolition by neglect, he stated, has regulatory requirements for the demolition of historic structures. He said the HPC had a workshop with a woman from Washington, NC on this topic several years ago and after hearing the presentation, the Commission decided it was not what they wanted. He added our historic district does not have a lot of structures that need to be demolished. Member Woodward asked about other areas of Town and asked if the Town has a procedure. Mr. Garner replied the Town does have a procedure of sending written notices to property owners where neglected structures are located. He

revealed Mr. Ganey has been responsible for over 20 structures being demolished. Member Woodward requested more information. Mr. Garner said he would be happy to get it to her.

Member Woodward asked if there was anything that could be done about derelict properties that do not have addresses numerals on them. Mr. Garner said it is not something that is in the NC Building Code except for new structures. He stated when they were in Ocracoke a few weeks ago doing assessments, the biggest problem they had was finding houses without property numbers. He added this is also a public safety issue and he thought the Police Chief or the Fire Chief was going to submit something on this soon, like a fundraiser they had several years ago. Member Woodward hoped the project would be better than the one a few years ago as those numbers were unsightly. Mr. Garner said he is more aware of house numbers since returning from Ocracoke.

#### **10. ADJOURNMENT**

A motion was made and seconded to adjourn with the vote unanimous in favor of adjournment.

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Heather Poling, Vice Chair

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Debbie Graham, Commission Secretary



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### **Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 P.M. November 5, 2019 – 614 Broad Street**

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**AGENDA CATEGORY:** Old Business  
**SUBJECT:** Case # 19-21 Queen Street - Driveway.

**BRIEF SUMMARY:**

Request to Install Brick Driveway Pavers at 209 Queen St

**REQUESTED ACTION:**

Conduct Public Hearing  
Discussion  
Motion on Finding of Fact  
Motion on COA

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP, Planning Director  
**Date:** September 24, 2019  
**Case No.:** 19-21

**Request:** Install Brick Driveway Pavers

**Applicant** Donald and Virginia Eitner  
 162 Camp Morehead Drive  
 Morehead City NC 28557

**Property Information:**

**Owners:** Donald and Virginia Eitner  
**Location:** 209 Queen Street  
**PIN:** 730617203496000

**Project Information:** In August of 2017 the Historic Commission approved a COA to demolish the existing structure at 209 Queen Street due to structure conditions.

In February of 2018 the Historic Commission issued a COA for a new structure that could be considered a replica of the Craftsman Style that was there previously.

**Proposed work:**

- Install Concrete Driveway Runners

**Attachments:**

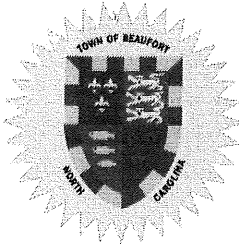
- COA Application
- Vicinity Map
- List of Adjacent Property Owners
- Site Plan & Material Samples from Applicant
- Photos

## **Guidelines:**

### **Off-street Parking Guidelines (page117)**

- 8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

# **CERTIFICATE OF APPROPRIATENESS APPLICATION** **FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



## **Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$50.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Town Hall at 252-728-2142 if there are any questions.

## **APPLICANT/OWNER INFORMATION**

Please print!

Applicant Name: DONALD & VIRGINIA EITNER  
 Applicant Address: 209 Queen St. Beaufort NC 28516  
 Business Phone: \_\_\_\_\_ Email/Cell: virginia.eitner@gmail.com  
252-671-1771  
 Property Owner Name: AS ABOVE  
 Address of Property: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_ Email/Cell: \_\_\_\_\_

## **PROJECT INFORMATION**

Detailed description of the Proposed Project (please attach additional pages if necessary):

PUT PAVERS IN DRIVEWAY  
PUT IN PAVER WALKWAY to Gazebo

Estimated Cost of Project: \$ 3500 Driveway  
850 pavers

Year House Built: 2019

Applicant Signature

Date

Property Owner Signature (if different than above)

Date

*An application fee of \$50.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

## **OFFICE USE ONLY**

Received by: JB  
 Date: 09/09/19

Reviewed for Completeness: \_\_\_\_\_  
 Date Deemed Completed and Accepted: \_\_\_\_\_

## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

### **1. Items required for ALL projects:**

- ☒ A list all adjacent property owners (with mailing addresses).
- ☒ Photographs of the streetscape, the site, and existing buildings to be impacted.
- ☒ A site plan showing dimensions of both existing and proposed conditions.
- ☒ A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

### **2. Items required as applicable to project:**

- ☐ A description of any planned demolition.
- ☐ An indication of all trees to be replaced and/or removed.
- ☐ A landscaping plan indicating major planting materials.
- ☐ Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- ☒ All types of building material samples.
- ☐ If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

### **3. Additional items required (only) for new Signage:**

- ☐ A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- ☐ A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

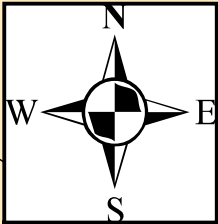
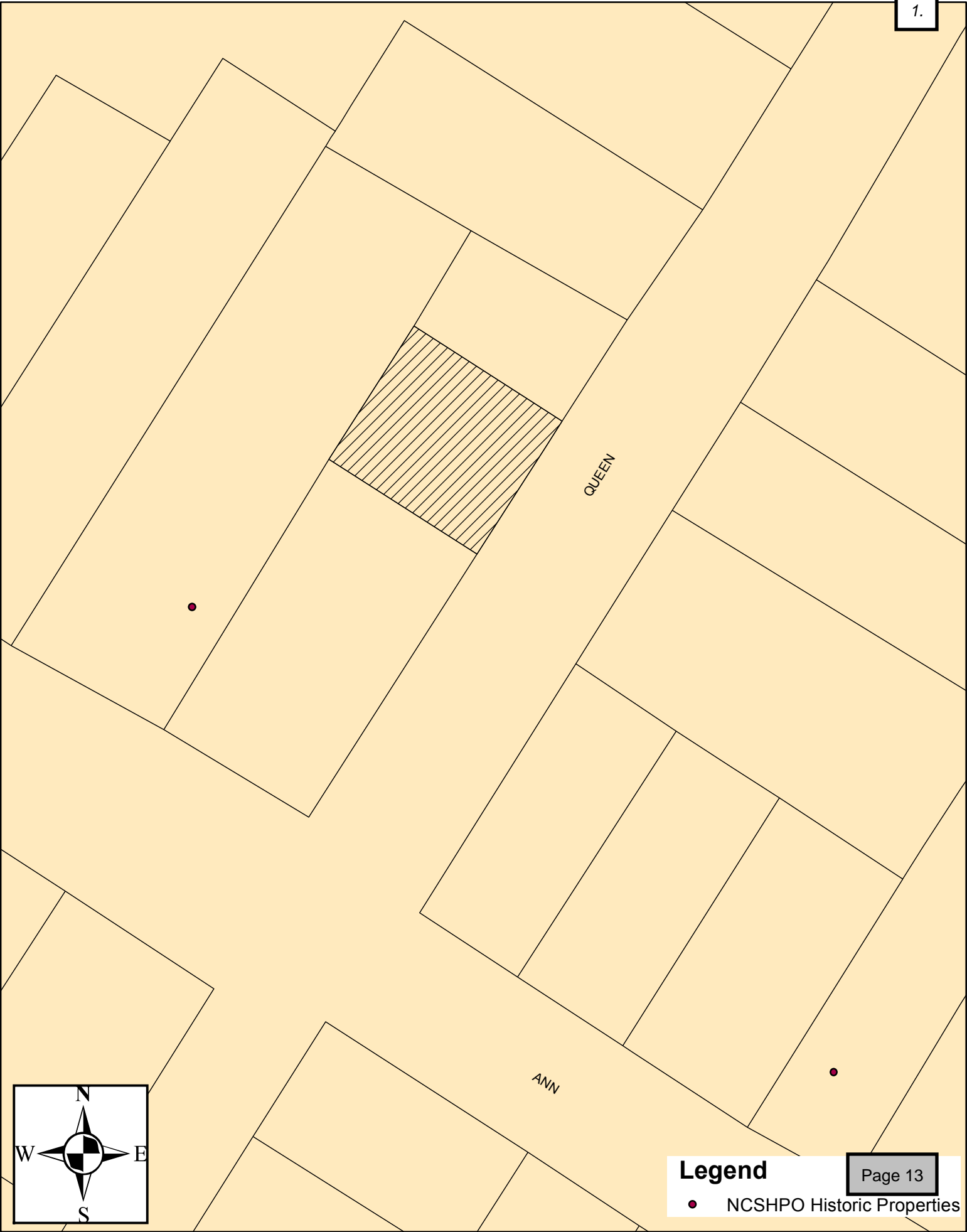
- 4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.
- 5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a building permit for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [j.ganey@beaufortnc.org](mailto:j.ganey@beaufortnc.org).*



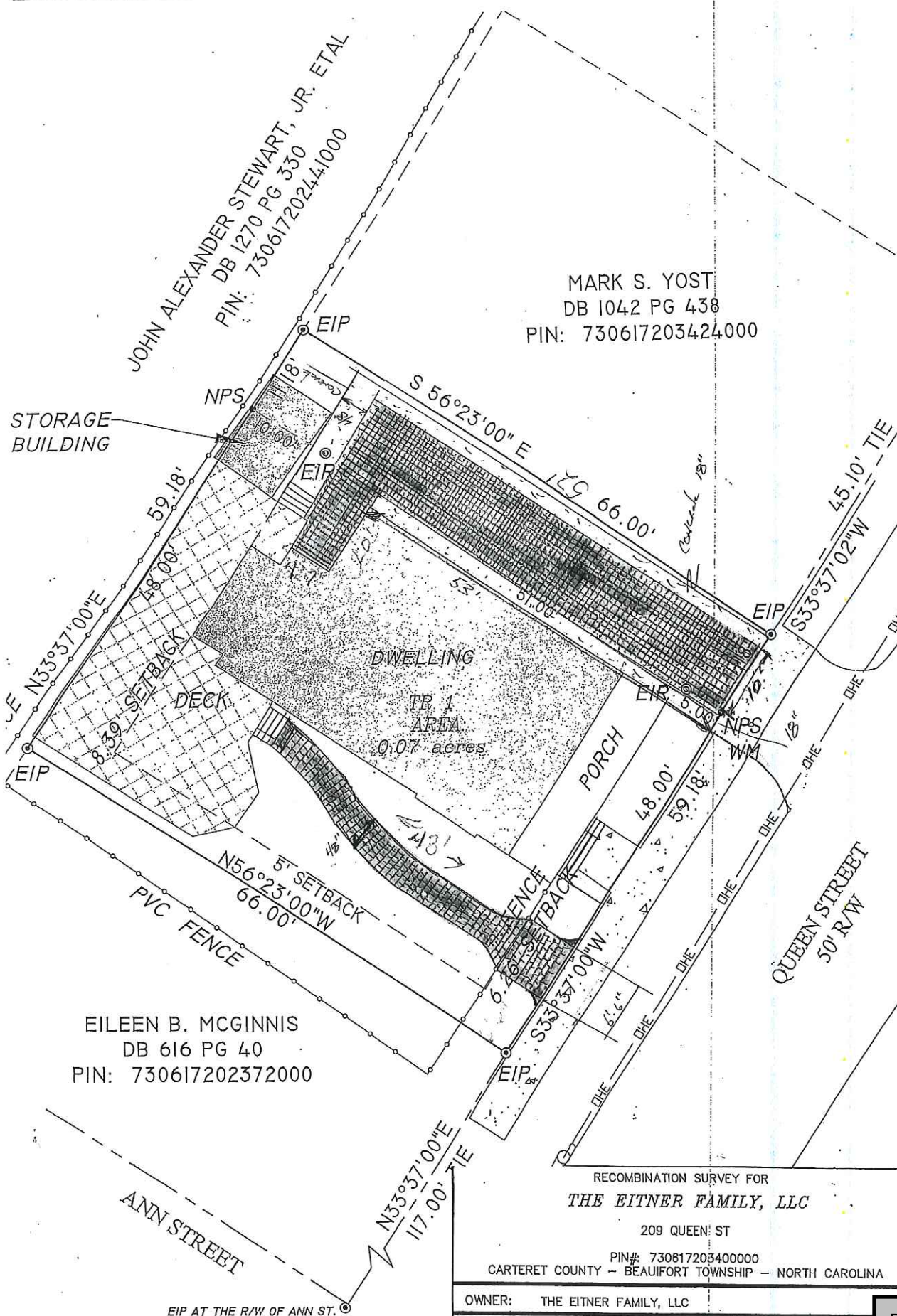
BHPC Case 19-21 209 Queen Street



Legend

- NCSHPO Historic Properties

OWNER	MAIL_HOUSE	MAIL_ST	MAIL_CITY	MAIL_STATE	MAIL_ZI5
MCGINNIS,EILEEN B	14171	STANFORD CT	LOS ALTOS	CA	94022
PRITCHETT, L/T BESSIE SPELL	208	QUEEN ST	BEAUFORT	NC	28516
PURVIS CHAPEL CHURCH	210	QUEEN STREET	BEAUFORT	NC	28516
YOST,MARK S	2026	SAINT ANDREWS ROAD	GREENBORO	NC	27408



## DUBLIN COBBLE® PAVER



## APPLICATIONS:



## PRICING:

\$\$

A true classic, its gently distressed surface and antiqued edges whisper quiet, timeless sophistication. Smaller than Bergerac and featuring a wide array of shapes, Dublin Cobble® creates a casually elegant, time-worn look recalling the hand-laid stone of centuries-old Mediterranean villas.

[FIND CONTRACTORS AND DEALERS](#)

## COLORS

## SPECS

## PATTERNS



Ardennes Grey



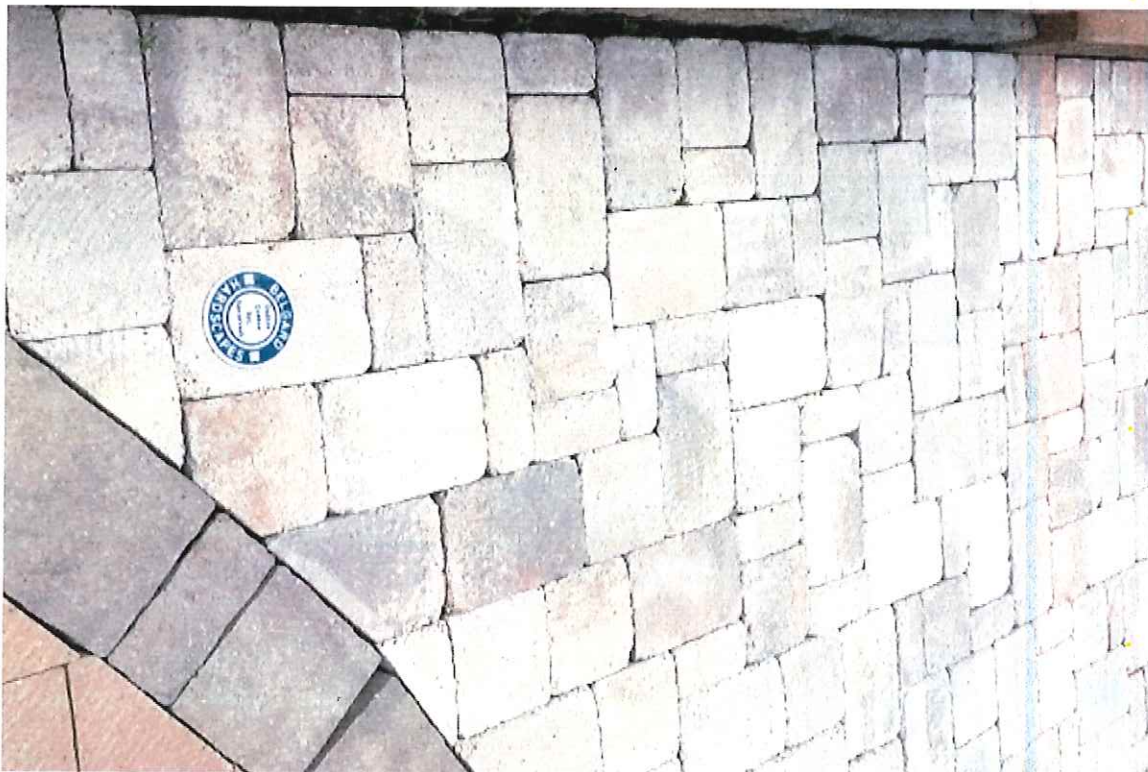
Avondale



Carriage House



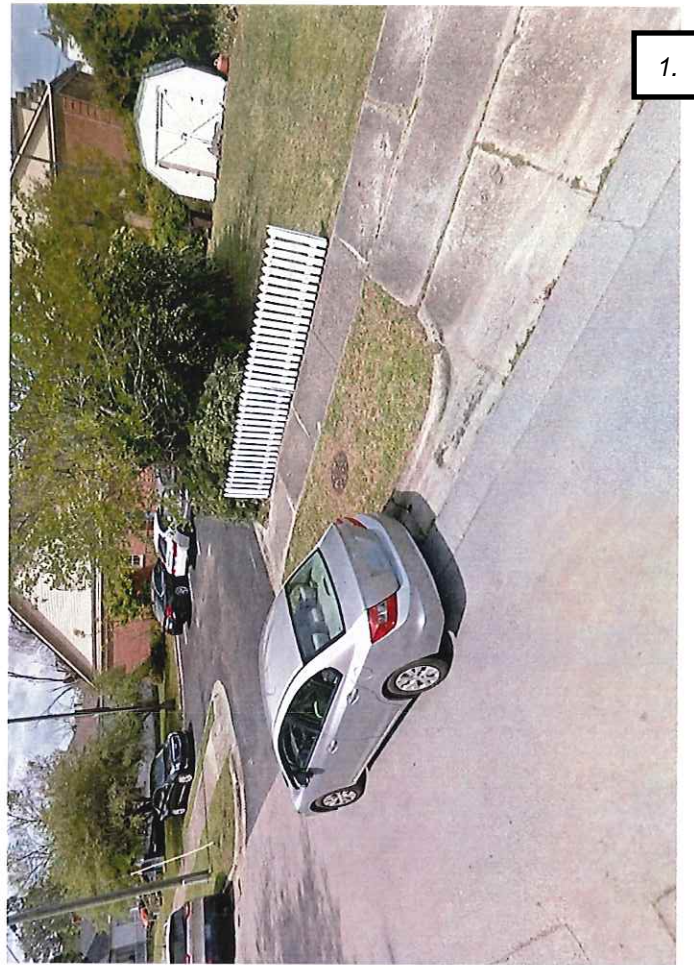
Fossil Belge













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### **Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 P.M. November 5, 2019 – 614 Broad Street**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 19-22 217 Front St, Rear Addition.

**BRIEF SUMMARY:**  
Proposed 2-Story Rear Addition for 217 Front Street

**REQUESTED ACTION:**  
Conduct Public Hearing  
Discussion  
Motion on Finding of Fact  
Motion on COA

**EXPECTED LENGTH OF PRESENTATION:**  
10 Minutes

**SUBMITTED BY:**  
Kyle Garner, AICP  
Planning & Inspections Director



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP, Planning Director  
**Date:** October 7, 2019  
**Case No.:** 19-22

**Request:** Proposed 2-Story Rear Addition for 217 Front Street

**Applicant** Ned T Grady  
 P.O. Box 1435  
 Kinston, NC 28503

**Property Information:**

**Owners:** Wilco Holdings, Inc.  
**Location:** 217 Front Street  
**PIN:** 730617007585000

**Project Information:** In September of 2012 the Historic Commission approved a COA to repair the widows walk (original to structure) and addition of a screened porch.

In July of 2017 a COA was issued to demolish the rear storage and construct a new detached garage.

**Proposed work:**

- See Attached Elevation Drawings

**Attachments:**

- COA Application
- Vicinity Map
- List of Adjacent Property Owners
- Survey
- Project Description
- Elevation Drawings
- Window Information
- Photos



## **Guidelines:**

### **Additions to Historic Buildings Guidelines (page 102)**

7.8.1. Where possible, locate new additions at the side or rear so that they have a minimal impact on the façade and other primary elevation of the affected building or adjacent properties.

7.8.2. The overall proportions of a new addition should be compatible with the existing building in height, scale, size and massing so as not to overpower it visually. A new addition should never be taller or wider than the original structure unless required by code or a non-aesthetic functional requirement. Observe the principle of “additive massing” where the original structure remains dominant and the additions are adjoining and smaller masses.

7.8.3. The design elements of a new addition should be compatible with the existing building in terms of materials, style, color, roof forms, massing proportion and spacing of doors and windows, details, surface texture, and location. Contemporary adaptations of the original which clearly look like an addition and reflect the period of construction are encouraged.

7.8.4. Additions should be constructed so that they can be removed from the original building in the future without irreversible damage to significant features.

7.8.6. Wood windows are most appropriate for new additions within the historic district; however, substitute window materials are acceptable for new additions provided the proposed windows meet the requirements set forth in the WINDOWS AND DOORS guidelines.

7.8.7. Rooflines of new additions should be similar in form, pitch, and eave height to the roofline of the original building.

7.8.8. Foundations should be similar to or compatible with the existing foundations in material, color, detailing, and height. SEE FOUNDATIONS GUIDELINES.

7.8.9. Consider in your plan older additions or other alterations to existing buildings that have acquired significance over time when planning and building a new addition.

### **Off-street Parking Guidelines (page 117)**

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

## Exterior Lighting Guidelines

8.4.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site.

8.4.2. Choose lighting sources that generate a soft white light instead of a more intensive yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor or fluorescent light sources.

8.4.3. Avoid placing fixtures in areas that will obscure or damage character-defining architectural elements or site features.

## Accessibility and Life Safety Guidelines

6.8.1. Locate fire exits, stairs, landings, and ramps so that they are compatible with the character of the building or site. For example, wheelchair ramps may replicate a railing detail on a building or be of a simple design that allows it to blend discreetly with its surroundings. Such elements should be painted to tie in with the structure.

Application for a  
Certificate of Appropriateness  
Garage & Addition - 217 Front Street



Applicant: Will & Kristy Harvey  
Design Professional: AMP'd Engineering, PLLC, Athan Parker, PE  
Builder/General Contractor: Ned T Grady INC

### Table of Contents:

1. Certificate of Appropriateness Application & Adjacent Property Owners
2. Previously approved project
3. Project Description
4. Photos of project location and adjacent garage similar design
5. Site Plan/Landscaping Locations
6. Elevation of proposed garage
7. Proposed materials of construction



## **CERTIFICATE OF APPROPRIATENESS APPLICATION FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**

### **Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$50.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Town Hall at 252-728-2142 if there are any questions.

### **APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: NED T GRADY, INC

Applicant Address: PO BOX 1435, KINSTON, NC 28503

Business Phone: 252-521-5795 Email/Cell: NEDGRADY63@GMAIL.COM

Property Owner Name: WILKO HOLDINGS, LLC

Address of Property: 217 FRONT STREET, BEAUFORT NC 28516

Phone Number: 252-916-6931 Email/Cell: KRISTYWHARVEY@GMAIL.COM

### **PROJECT INFORMATION**

Detailed description of the Proposed Project (please attach additional pages if necessary):  
ADD ON TO THE NORTH SIDE OF THE EXISTING HOME - NEW ATTACHED 16X16 GARAGE WITH UPPER STORY ON-SUITE. PROJECT ALSO INCLUDES ADDING BATHROOM AND CLOSET SPACE ABOVE EXISTING KITCHEN AND SCREEN PORCH - ALL OF PROPOSED ADDITIONS TO THE NORTH SIDE OF THE HOME NOT EASILY VIEWED FROM FRONT STREET.

Estimated Cost of Project: \$ 130,000

Year House Built: 1907

DocuSigned by:

*[Signature]*

9B4245698EF942F...

Applicant Signature

8/12/2019

Date

DocuSigned by:

*[Signature]*

8/12/2019

Property Owner Signature (if different than above)

Date

**An application fee of \$50.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.**

### **OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

Date Deemed Completed and Accepted: \_\_\_\_\_



**REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

**1. Items required for ALL projects:**

- ☐ A list all adjacent property owners (with mailing addresses).
- ☐ Photographs of the streetscape, the site, and existing buildings to be impacted.
- ☐ A site plan showing dimensions of both existing and proposed conditions.
- ☐ A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

**2. Items required as applicable to project:**

- ☐ A description of any planned demolition.
- ☐ An indication of all trees to be replaced and/or removed.
- ☐ A landscaping plan indicating major planting materials.
- ☐ Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- ☐ All types of building material samples.
- ☐ If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

**3. Additional items required (only) for new Signage:**

- ☐ A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- ☐ A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

**4. At least one set of materials, in color, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.**

**5. The applicant or a representative for the applicant must be present at the meeting for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.**

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a building permit for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [j.ganey@beaufortnc.org](mailto:j.ganey@beaufortnc.org).*

Adjacent Property Owners:

- George & Carroll Page – 215 Front Street
  - PO Box 831589, Dallas, TX 75283
- George Linnemeier – 221 Front Street
  - 5921 Seabright Rd, Springfield, VA 22152
- James Neely – 225 Front Street
  - 846 Neely Rd, Asheboro, NC 27203
- Daniel Stetka – 113 Orange St
  - 1113 Orange St, Beaufort, NC 28516
- JBL Properties, LLC – 216 Front Street
  - PO Box K, Rocky Mount, NC 27802



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** August 21, 2012  
**Case No.** 12-31

**Request:** Exterior Renovations to existing structure

**Applicant:** William S. Harvey, Jr.  
 107 Sunshine Court  
 Beaufort, NC 28516

**Property Information:**

**Owners:** William S. Harvey, III  
**Location:** 217 Front Street  
**PIN#:** 730617007585000

**Project Information:** This application has many different elements to it. The applicant has supplied various samples that should aid in discussion and deliberation.

**Proposed work:**

- Exterior Renovations

**Material:**

- Various Materials - See Application

**Color:** Included in Packet/ Beaufort Green

**Attachments:**

- COA Application
- Photographs of existing conditions
- Site Plan – Included in application
- Applicants Drawings and Samples of work to be done.
- Adjacent property owners



### **Request – Exterior Renovations**

- **Add shutters to all single windows. Shutters to be wood louvered and painted “Beaufort Green”.**
- **Replace 2 Pines at Front Curb with 2 Crepe Myrtles (Exhibit P-2)**
- **Remove Storage Building (Exhibit P-2)**
- **Add a wood picket fence to the front (Exhibit P-1)**
- **Remove Magnolia in rear yard (Exhibit P-1)**
- **Remove Handicap Ramp from rear of structure and add a 14’ by 12’ screened porch (Exhibit P-1 & P-3)**
- **Replace multiple sash windows at existing rear addition with 1over1 (1/1) to match original windows (Exhibit P-4)**
- **Replace metal Storm Door at front entry with a Full Lite Wood Storm Door. Paint new storm door and front door Beaufort green. (Exhibit P-5)**
- **Paint front porch ceiling “Carolina Blue” (Exhibit P-5)**
- **Reduce the size of the frieze board at rake on the Front Gable. Install a slightly larger circle head with drip above the flashing. (Exhibit P-5)**
- **Center front step rails on porch columns. (Exhibit P-5)**
- **Replace rusted out front door lighting with Brass Ships Lanterns. (Exhibit P-5)**

## Staff Findings:

1. Guideline 6.4.3 (pg. 66)—Window and Door Guidelines:

*Use replacement windows and doors that match the existing historic elements as closely as possible. Wood windows should be replaced with wood windows. If replacement windows or doors are required, consider first replacing only the deteriorated element, such as a single sash or door, rather than the entire frame or unit. Any new replacements shall match the original in all dimensions, materials, and detailing as close as possible. Based on the application the applicant is requesting one over one window to match the existing windows of the structure. The applicant has not stated the material to be used. Vinyl windows may not be in keeping with the existing windows.*

2. Guideline 6.4.5 (pg. 66)—Window and Door Guidelines:

*Replacement of historic windows and doors for the sole purpose of improved thermal performance is not appropriate. Wood, or appropriately painted metal storm windows and doors should be used. Based on the application it appears that the storm door will be made of wood and be full-lite and painted Beaufort Green.*

3. Guideline 6.4.7 (pg. 66)—Window and Door Guidelines:

*New Windows must match original in overall size and opening area and should have three dimensional muntins with either true divided lights (TDL) or three dimensional grilles on both the interior and exterior sides. Snap-in grilles or grilles between the glass are not appropriate for windows visible from public view. Based on the application it appears that the size of the windows will match however, there is no information provided on the type of light dividing devise.*

4. Guideline 6.4.8 (pg. 66)—Window and Door Guidelines:

*Use storm doors to improve energy efficiency where needed. New storm doors should be compatible with the original exterior doors and with the style and period of the structure. Wood storm doors of the full view or large single-pane type are most appropriate because they do not obscure the original doors. Louvered wood doors are also appropriate. Storm doors should be the full-view type and have a paint finish in a color that is compatible with the colors of the structure. The standard "colonial" type storm door with scalloped trim and cross-buck bottom half is not permitted. Wood screen doors should be appropriate for the period and style of the structure. Based on the application it appears that the storm door will be made of wood and be full-lite and painted Beaufort Green. A sample of the door has not been submitted.*

5. Guideline 6.4.9 (pg. 66)—Window and Door Guidelines:

*Preserve and repair original or historic shutters. It is appropriate to add louvered shutters to a historic structure if there is evidence that it once had blinds. All shutters shall be installed so that they will fit the window frame opening if closed and shall be of correct proportions for each window. Blinds shall be provided with operable hardware, consisting of hinges, pintles and holdbacks located in the appropriate postions. Shutters may be operable or fixed. Shutters made of synthetic or substitute materials that duplicate the look, appearance and patina of wood may be allowed. They should not be nailed or screwed onto*



*the building surface. Based on the application it appears that the shutters will be wood louvered and painted green. There is no mention of how they are to be attached.*

6. Guideline 6.4.10 (pg. 67)—Window and Door Guidelines:

*New window and door openings shall not alter the historic character of the building or cause damage to historic materials or other significant architectural features. They must be detailed and sized to be compatible with the existing structure. Based on the application it appears that the new window locations on the rear of the structure should not damage any historic materials or architectural features and meet the character of the existing structure.*

7. Guideline 6.7.2 (pg. 81)—Paint and Exterior Color Guidelines:

*Determine the buildings style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the buildings architectural features. Staff Commentary: The applicant has chosen Beaufort Green which is consistent with the period and the existing color.*

8. Guideline 6.5.1 (pg. 72)—Porches and Entrances Guidelines:

*Retain and preserve historic porches, entrances and doorways including related features such as railings, post or columns, ceilings, steps, lattice, flooring, piers, ornamental trim, and other character defining elements. Staff Commentary: The applicant states that they wish to move the existing porch rail out to center on the existing porch columns.*

9. Guideline 6.5.4 (pg. 72)—Porches and Entrances Guidelines:

*The enclosure or other alteration of original or historic front porches is not appropriate in the historic district. The enclosure of porches at the rear, or other areas not seen from the public view, is appropriate if the enclosure is designed and constructed in a manner that preserves the historic character and features of the porch. Staff Commentary: The application states and shows a new rear screened porch where the former handicap ramp was located.*

10. Guideline 7.8.1 (pg. 102) - Additions to Historic Buildings Guidelines

*Where possible, locate new additions at the side or rear so that they have a minimal impact on the façade and other primary elevation of the affected building or adjacent properties. Staff Commentary: The proposed screened porch is located within the rear yards and cannot be seen from public right-of-way.*

11. Guideline 7.8.2 (pg. 102) - Additions to Historic Buildings Guidelines

*The overall proportions of a new addition should be compatible with the existing building in height, scale, size and massing so as not to overpower it visually. A new addition should never be taller or wider than the original structure unless required by code or a non-aesthetic functional requirement. Observe the principle of additive massing where the original which clearly look like and addition and reflect the period of construction are encouraged. Staff Commentary: Based on what is presented in the packet the proposed*



*enclosure appears to be of scale, size and massing compared to the overall size of the existing structure.*

12. Guideline 7.8.3 (pg. 102) - Additions to Historic Buildings Guidelines

*The design elements of a new addition should be compatible with the existing buildings in terms of materials, style, color, roof forms, massing proportion and spacing of doors and windows, details, surface texture, and location. Contemporary adaptations of the original which clearly look like an addition and reflect the period of construction are encouraged.*

**Staff Commentary; Based on what is submitted in the application it appears that enclosure is compatible with the existing structure including materials, style, color and roof forms, as well as massing and the location of proposed doors and windows.**

13. Guideline 7.8.4 (pg. 102) - Additions to Historic Buildings Guidelines

*Additions should be constructed so that they can be removed from the original building in the future without irreversible damage to significant features. **Staff Commentary; Based on the submittal the screened porch should be easily removed.***

14. Guideline 7.8.5 (pg. 102) - Additions to Historic Buildings Guidelines

*Vinyl, aluminum, or pressed wood are not appropriate on additions to historic buildings.*

**Staff Commentary; Based on the application the screened porch materials are not noted however the colors of the post and rails are to be painted white. .**

15. Guideline 7.8.6 (pg. 102) - Additions to Historic Buildings Guidelines

*Wood windows are most appropriate for new additions within the historic district; however, substitute window materials are acceptable for new additions provided the proposed windows meet the requirements set forth in the Windows & Doors guidelines. **Staff Commentary; Information has not been included by the applicant regarding the window material and appears to be consistent with the guidelines.***

16. Guideline 7.8.7 (pg. 102) - Additions to Historic Buildings Guidelines

*Rooflines of new additions should be similar in form, pitch, and eave height to the roofline of the original building. **Staff Commentary; Based on the submitted drawings staff believes that the rooflines are consistent with the existing structure.***

17. Guideline 8.1.3 (Page 107) – Landscaping Guidelines

*Preserve and maintain mature street trees. When removal or replacement is necessary, replace with long lived tree species with large canopies that will provide a similar canopy and form as a street tree. Replacement tree species should be appropriate for the district. Suggested species include: oak, sycamore, pecan, ginkgo (male only), Chinese Elm, cedar (juniper) hickory, yaupon holly or American Holly. **Staff Commentary; Based on the application the existing trees along Front Street are pines which are not recommended as proper street trees and the applicant wishes to replace them with Crape Myrtle. However the Magnolia tree in the rear of the property is mature and the applicant has not indicated what would replace it if allowed to be removed.***

18. Guideline 8.1.4 (Page 107) – Landscaping Guidelines

*Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina Cherry laurel and sweet bay magnolia. **Staff Commentary; Based on the application the applicant wishes to plant Crepe Myrtle within the planting strip which is consistent with adjacent properties.***

19. Guideline 8.1.5 (Page 107) – Landscaping Guidelines

*All new plant materials selected for replanting or new planting in publicly visible areas should complement as much as possible those found on the site and in the surrounding area of the district. **Staff Commentary; Based on the application the Crepe Myrtle within the planting strip would be consistent with adjacent planted areas.***

20. Guideline 8.2.1 (Page 111) – Fences and Walls Guidelines

*Retain and preserve historic fence and wall material wherever possible. If replacement is necessary, use new material that matches the historic material in composition, size, shape, color, pattern, and texture. **Staff Commentary; Based on the application there is an existing Beaufort type fence which the applicant wishes to replace with another just like it but match the height of the neighbors fence. The fence would be made of wood and painted white per exhibit P-1.***

21. Guideline 8.2.2 (Page 111) – Fences and Walls Guidelines

*Design new fences that are compatible with the associated building, site, and streetscape in height, proportion, scale, color, texture, material and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view. **Staff Commentary; Based on what was submitted the new fence is to be a Beaufort type fence which should meet the criteria of this design guideline.***

22. Guideline 8.2.3 (Page 111) – Fences and Walls Guidelines

*Fences and walls shall not exceed a height of four feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six feet high. The transition between low and front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage. **Staff Commentary; Based on what was submitted the new fence and retaining wall may be more than four feet in height but would possibly match adjacent property owners walls and fences.***



23. Guideline 8.4.1 (Page 115) – Exterior Lighting Guidelines

*Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site. **Staff Commentary; Based on the application new Brass Ships Lanterns are to be installed on the front porch and replace the existing fixtures. Staff is unsure if these would complement or be obtrusive to the existing structure.***

24. Guideline 8.4.2 (Page 115) – Exterior Lighting Guidelines

*Choose lighting sources that generate a soft white light instead of a more intensive yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor or fluorescent light sources. **Staff Commentary; The application does not mention what type of lighting source is to be used for the Brass Ships Lanterns.***

25. Guideline 8.4.3 (Page 115) – Exterior Lighting Guidelines

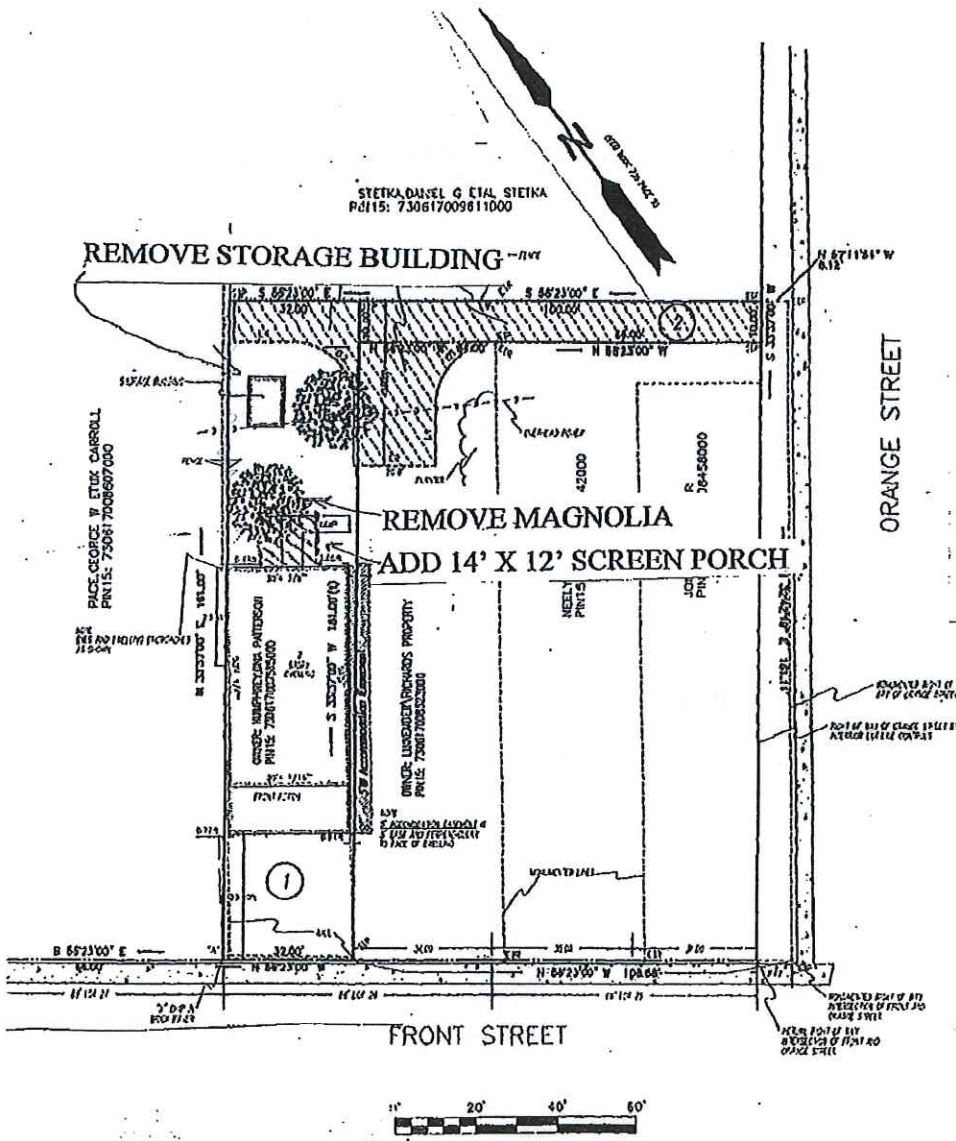
*Avoid placing fixtures in areas that will obscure or damage character-defining architectural elements or site features. **Staff Commentary; Staff does not know if the placement of the fixtures will obscure or damage the character defining elements or features of the structure.***

26. Guideline 6.2.1 (Page 55) – Wood Siding, Trim, and Ornament Guidelines

*Preserve and maintain existing original wood siding, trim, ornamentation, and other wood decorative elements. **Staff Commentary; based on the application the front gable frieze is to be reduced which Staff does not know if this is acceptable or not.***

27. Guideline 6.7.2 (Page 81) – Paint and Exterior Colors Guidelines

*Determine the building's style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building's architectural features. **Staff Commentary; based on the application the painting of the porch ceiling sky blue is consistent with the guidelines on page 78 and should be consistent with this guideline.***



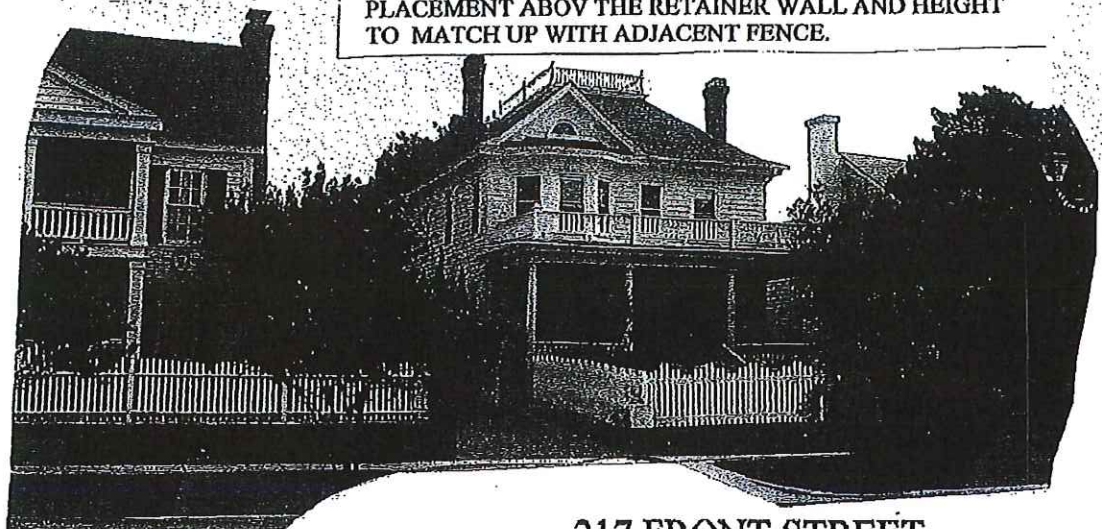
ADJACENT PROPERTY OWNERS

GEORGE AND CARROLL PAGE  
215 FRONT STREET

MARJORE LINNEMEIR  
221 FRONT STREET

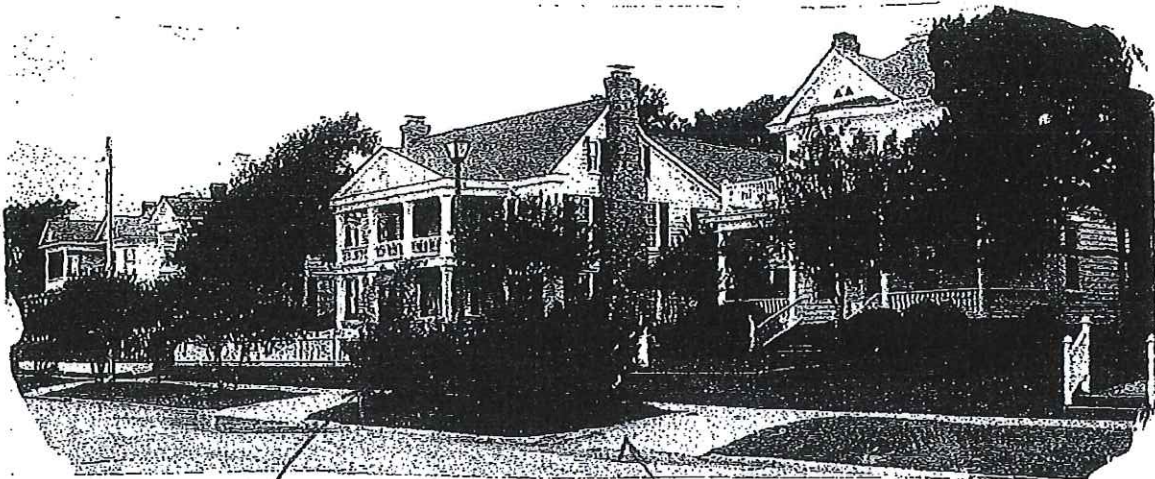
DANIEL STETKA  
117 ORANGE STREET

ADD A WOOD "BEAUFORT STYLE" PICKET FENCE  
PAINTED WHITE AT THE FRONT YARD. PLACEMENT  
PLACEMENT ABOVE THE RETAINER WALL AND HEIGHT  
TO MATCH UP WITH ADJACENT FENCE.

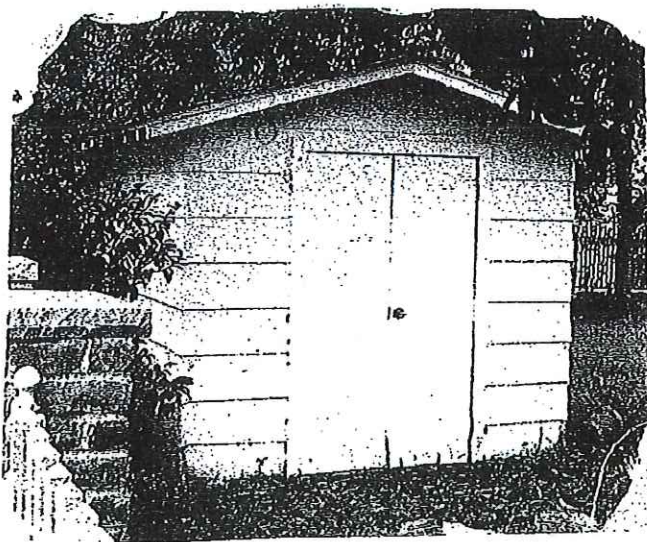


217 FRONT STREET





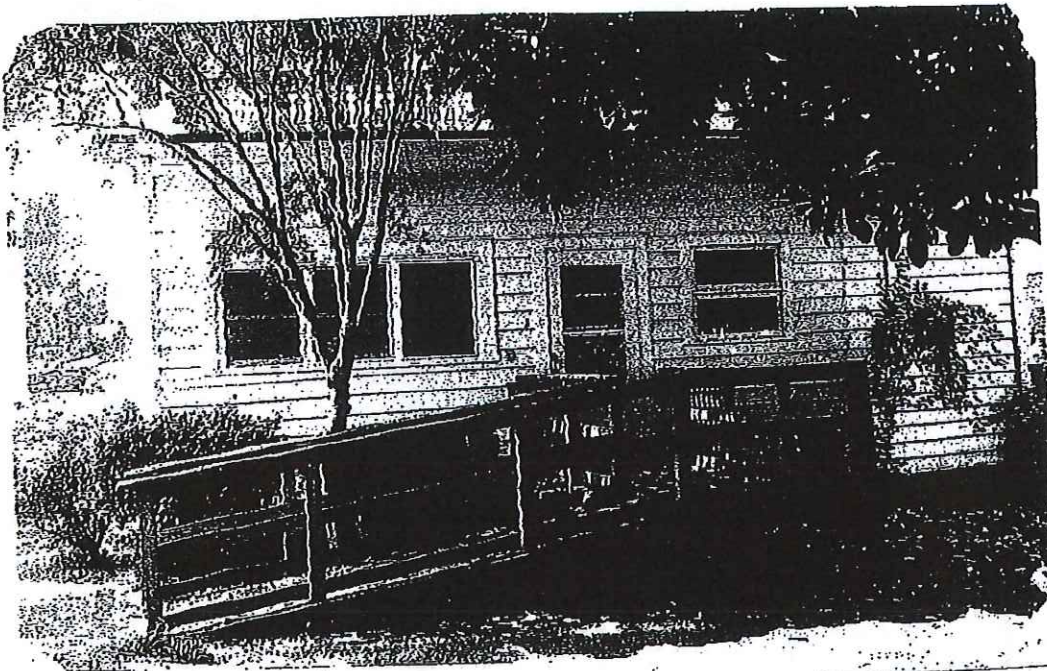
REPLACE 2 PINE TREES  
WITH CREPE MYRTLES



REMOVE STORAGE BUILDING

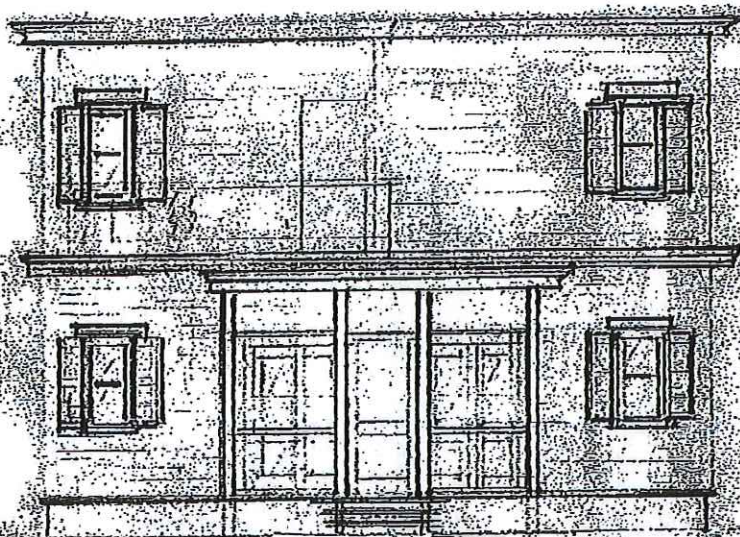


# REAR ELEVATION



EXISTING

PROPOSED

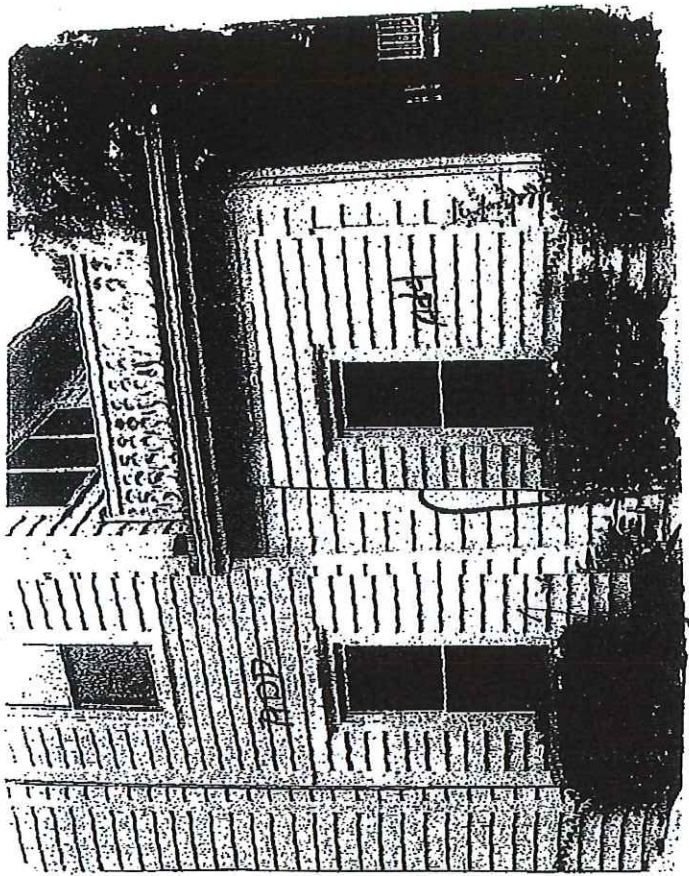
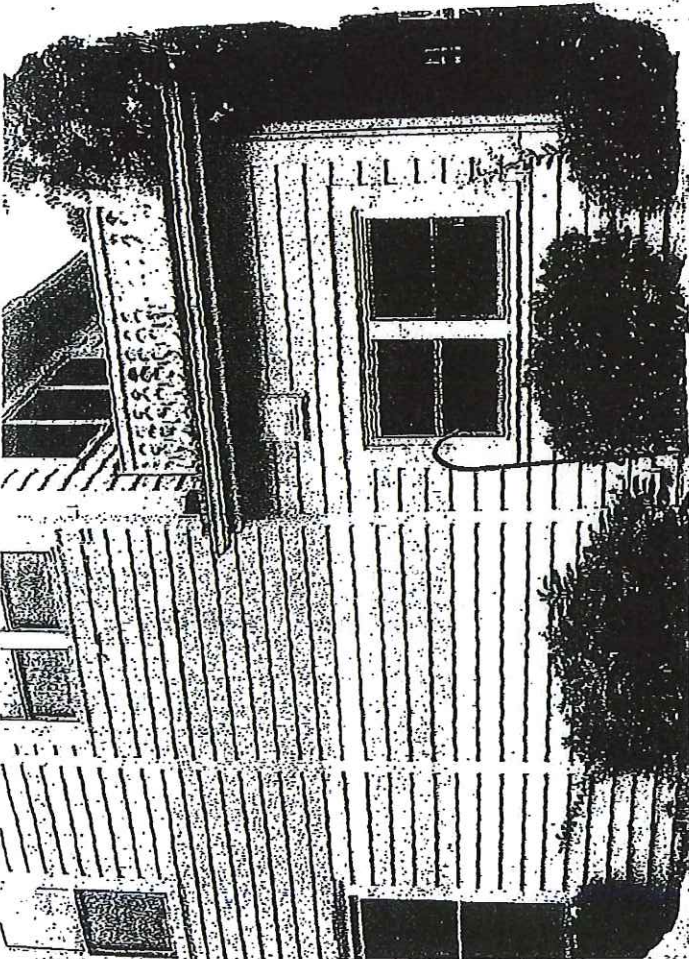


REMOVE HC RAMP & STEPS

CHANGE WINDOWS  
ADD SCREEN PORCH  
ADD 2 PR DOORS TO SCREEN PORCH  
ALL PORCH POSTS & RAILS  
PINE PAINTED WHITE  
PORCH CORNICE TO MATCH EXISTING

8'-0" 14'-0" 8'-0"



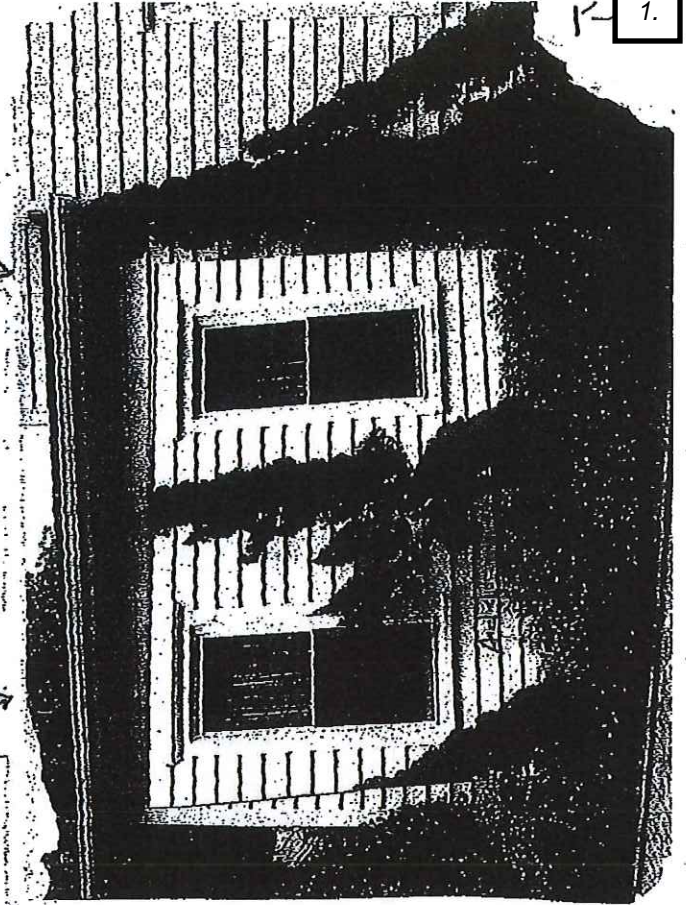
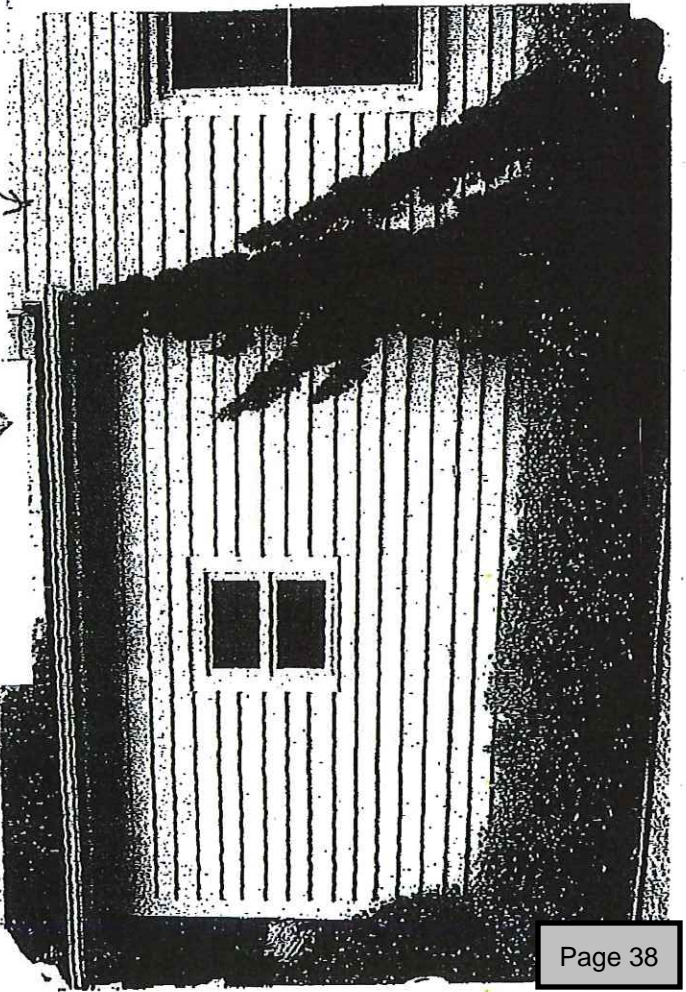


EXISTING ↗

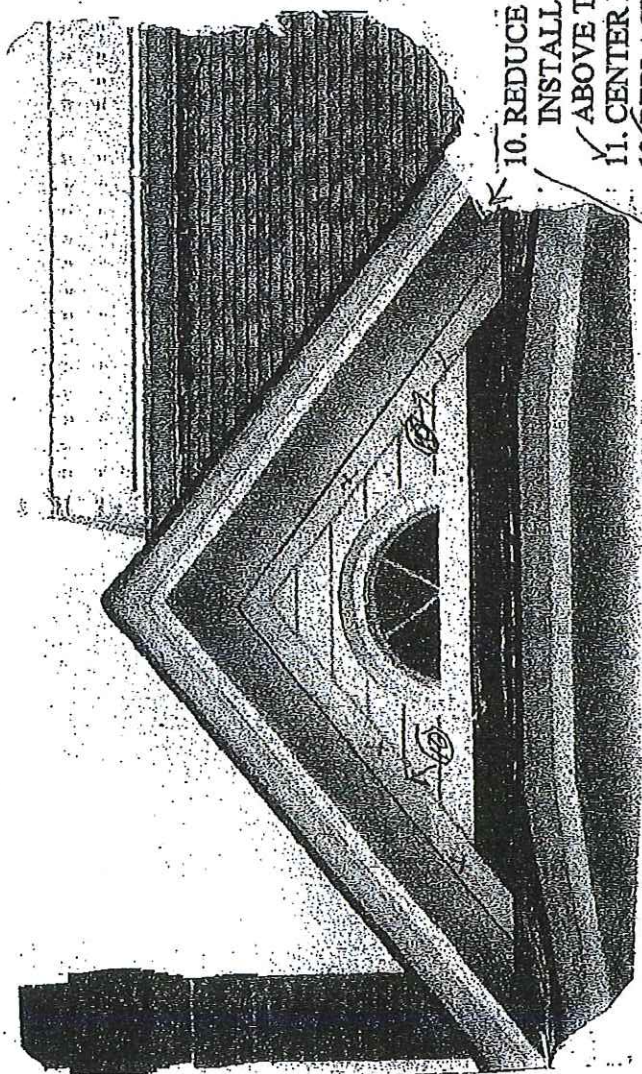
↖ REAR NW CORNER  
↘ REAR SW CORNER

PROPOSED ↗

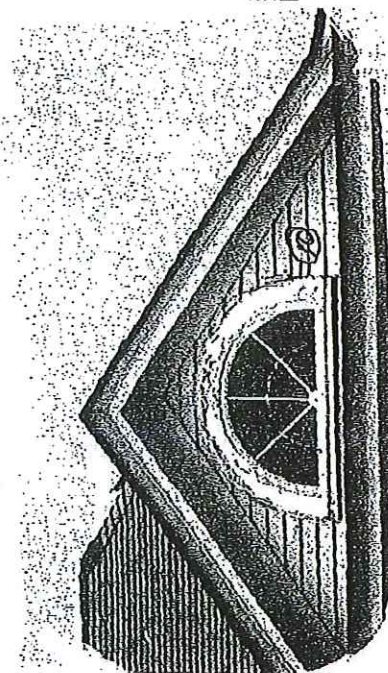
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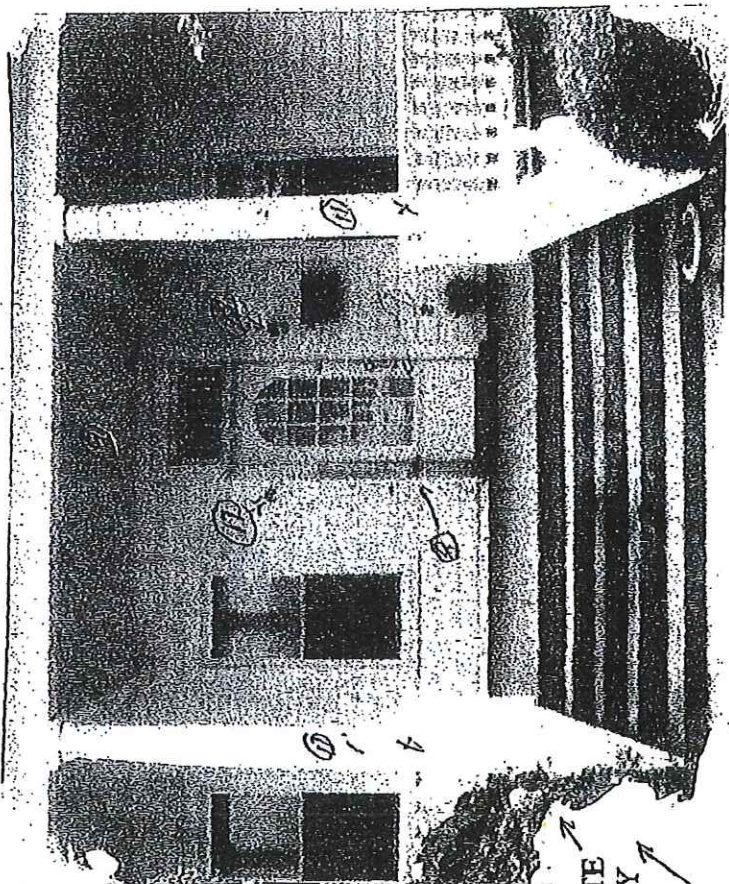




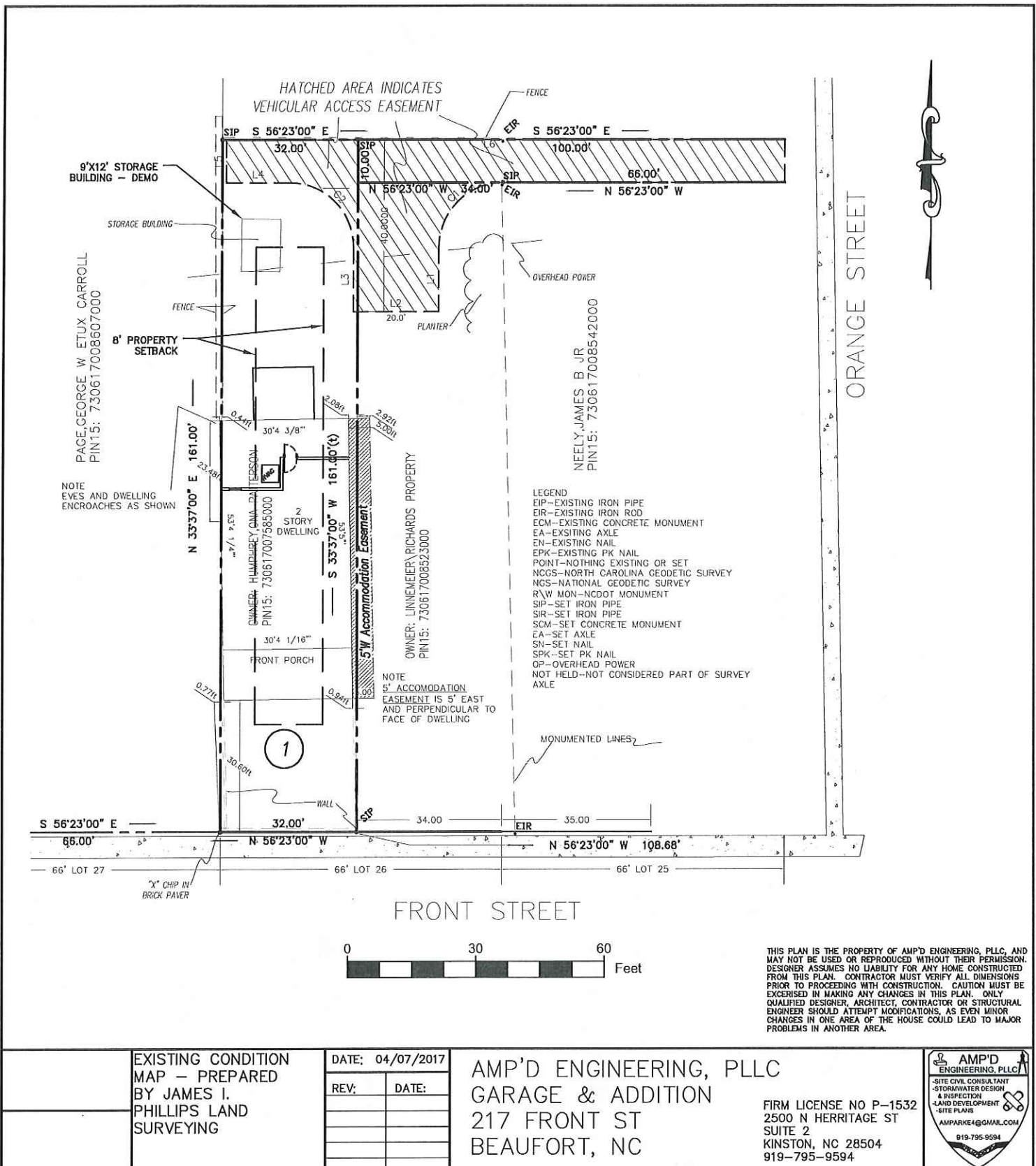
10. REDUCE SIZE OF FRIEZE BOARD AT RAKE ON THE FRONT GABLE.  
INSTALL SLIGHTLY LARGER CIRCLE HEAD WINDOW WITH DRIP  
ABOVE THE FLASHING.
11. CENTER FRONT STEP RAILS ON PORCH COLUMNS.
12. REPLACE RUSTED OUT FRONT DOOR LIGHTING WITH BRASS SHIP'S  
LATERNS. ↘



- REPLACE METAL STORM DOOR AT FRONT ENTRY WITH FULL LITE  
WOOD STORM DOOR. PAINT NEW STORM DOOR & FRONT ENTRY  
DOOR "BEAUFORT GREEN".
- PAINT FRONT PORCH BEAD BOARD CEILING "CAROLINA BLUE"

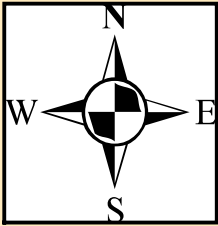
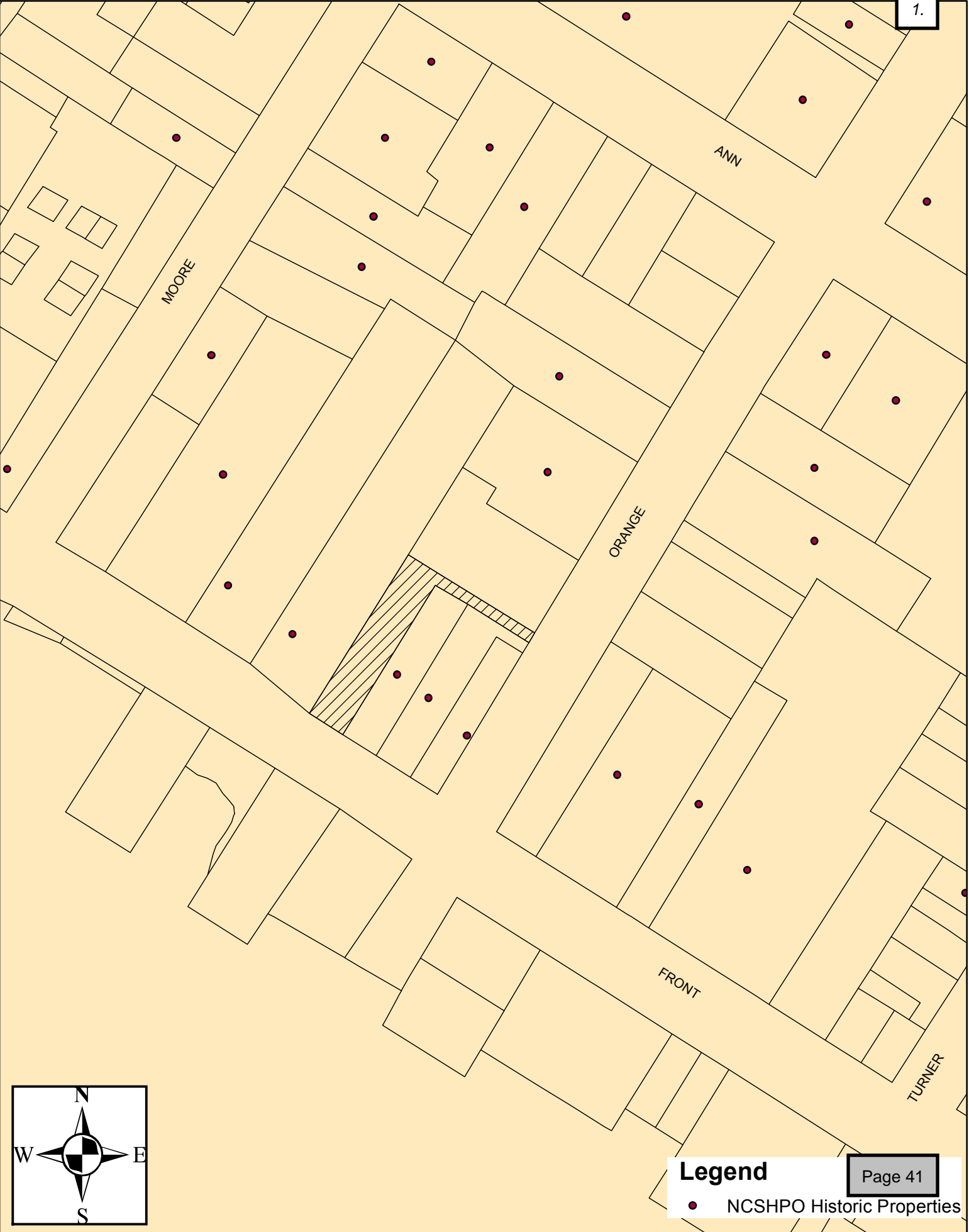






BHPC Case 19-22 217 Front Street

1.



Legend

- NCSHPO Historic Properties



OWNER	MAIL_HOUSE	MAIL_ST	MAIL_CITY	MAIL_STATE	MAIL_ZIP4	MAIL_ZIP5	MAIL_ADD2
JBH PROPERTIES LLC			ROCKY MOUNT	NC		27802	PO BOX K
LINNEMEIER,GEORGE HENR II ETAL	5921	SEABRIGHT ROAD	SPRINGFIELD	VA		22152	
NEELY,JAMES B JR	846	NEELY RD	ASHEBORO	NC		27203	
PAGE,GEORGE W ETUX CARROLL			DALLAS	TX	1589	75283	PO BOX 831589
STETKA,DANIEL G ETAL MARY L TR	146	AMITY ST APT 2	BROOKLYN	NY		11201	
WILKO HOLDINGS LLC	801	PLAZA BOULEVARD	KINSTON	NC		28501	



AMP'D ENGINEERING, PLLC  
FIRM LICENSE NO P-1532  
PO BOX 4580  
EMERALD ISLE, NC 28594  
athan.parker@ampdengineering.com  
919-795-9594

OWNER:  
WILKO HOLDINGS, LLC  
1005 HARVEY CIRCLE  
KINSTON, NC 28501

**GARAGE &  
ADDITION**  
GARAGE BUILDING & ADDITION TO  
EXISTING HOME  
BEAUFORT, NC

DATE:  
1/28/2019

REV: DATE:  
2/21/2019

SHEET:  
1 - SITE PLAN

THIS PLAN IS THE PROPERTY OF AMP'D ENGINEERING, PLLC, AND MAY NOT BE USED OR REPRODUCED WITHOUT THEIR PERMISSION. DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR OR STRUCTURAL ENGINEER SHOULD ATTEMPT MODIFICATIONS, AS EVEN MINOR CHANGES IN ONE AREA OF THE STRUCTURE COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.

## LEGEND:

CO  
PB  
SS

CONSTRUCTION BOUNDARY/LAND  
DISTURBANCE (LD)  
CLEAN OUT (SEWER)  
DOWN SPOUT (OS)  
EXISTING POWER POLE  
SEWER MANHOLE  
PROPERTY SET BACK

## GENERAL NOTES:

1. EXISTING CONDITIONS SHOWN AND LOT INFORMATION TAKEN FROM SURVEY TITLED SURVEY FOR BOUNDARY AND EASEMENT SURVEY FOR ESTATE OF ONA P HUMPHREY BY JAMES I. PHILLIPS LAND SURVEYING, P.A., DATED 6-27-2012 AND CARTERET COUNTY GIS INTERACTIVE MAP.
2. SITE IS ZONED R-8.
3. SITE IS LOCATED WITHIN THE SHADED X FLOOD ZONE. FEMA FIRM AREA NUMBER 3720730600J, EFFECTIVE 7/16/2003, PANEL 7306.
4. PROJECT ADDRESS IS 217 FRONT ST, BEAUFORT NC.
5. PARCEL IDENTIFICATION NUMBER 730617007585000 DB 1431 PG 346.
6. LOT SIZE 0.118 ACRES (5,152 SF).
7. NO GRADING PROPOSED AT THIS TIME TO ALTER EXISTING SITE GRADE.
8. EXISTING ROOF DOWNSPOUTS DRAIN TO SURFACE OR ARE DISCONNECTED AND NO LONGER FUNCTIONING PER SITE INVESTIGATION.
9. EXISTING AREA WHERE GARAGE IS PROPOSED AND BREEZEWAY ARE PARKING AREAS WITH GRAVEL. AREA IS ASSUMED TO BE IMPERVIOUS THEREFORE NO ADDITIONAL IMPERVIOUS AREA ADDED.
10. LAND DISTURBANCE (LD) IS KEPT TO A MINIMUM, DISTURBING JUST WHAT IS NEEDED TO DEMO EXISTING STORAGE SHED, CONSTRUCT THE BUILDING, AND CONSTRUCT STAIRS FOR PROPOSED GARAGE.

## ZONING NOTES:

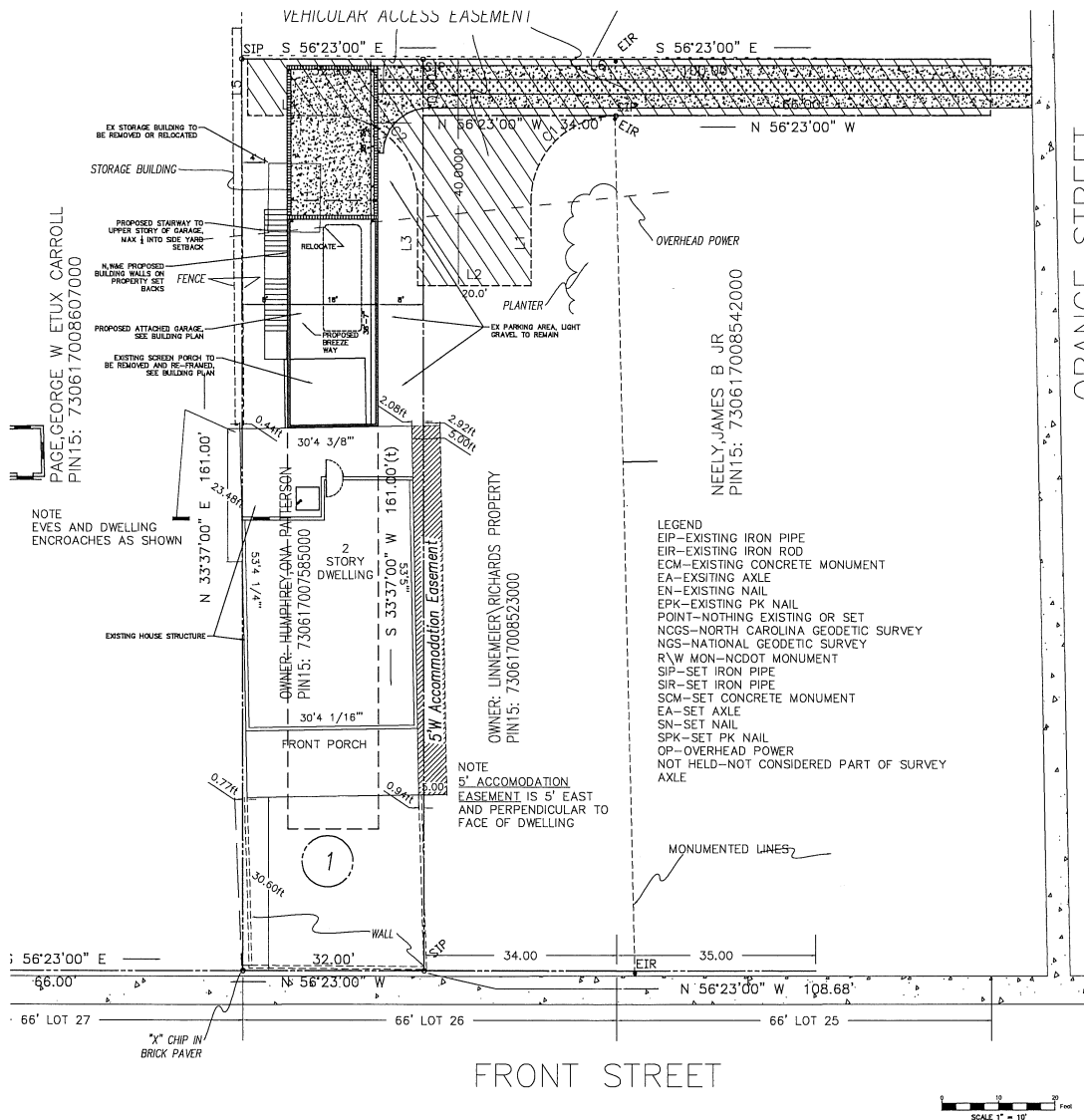
R-8 DISTRICT REQUIREMENTS - INTERIOR LOT:

FRONT SETBACK (RIGHT-OF-WAY)	25 FEET
REAR SETBACK	25 FEET
SIDE SETBACK	8 FEET
BUILDING HEIGHT LIMITATION	35 FEET

## PERMITTED USE:

GARAGE, PRIVATE DETACHED

PROPERTY IS WITHIN THE LOCAL HISTORIC DISTRICT



**Project Description:**

The goal of this project is to increase the useable space for the owner on the current property all the while keeping a historic look and feel. We are proposing adding on to the back of the existing home 36'7"x16' two story addition to include a garage, den on first floor, office on second floor and an additional bedroom on the second floor as well as finishing roof space above the existing kitchen. To accommodate the addition, the existing screen porch shall be removed. The project also calls for constructing a concrete ribbon driveway from Orange Street to the property, and repairing existing widows walk, both of which were previously approved by the historic commission. The most recent approval included a 16'x16' detached garage which was not constructed.

The proposed addition will be located within the zoning required setbacks. The proposed addition does not intend to be visible from either Front Street or Orange Street. As a part of the addition project only one overhead power utility line will be affected. This power line will need to be coordinated to be relocated prior to construction.

The proposed addition has the intent to be similar in look and character from the existing house structure on the lot by utilizing similar items siding (Colonial Clapboard - wood), similar door design colonial/craftsman style doors, windows, boxing, exterior color to match existing house and roof materials. Roof pitch will be similar to existing structures that are adjacent to the property in that it will have gable ends with a shed roof projecting off the North side allowing for the garage door to be protected from rainfall events.

The addition to the existing house will not add additional roof area as the location where the addition is proposed is off the back of the house and currently has a flat rubber roof. There is currently a section of the roof that is closed in on the back of the house to the East, this section of the second story will be extend out closing in roof space. The existing roof area to be closed in shall utilize a gable roof pitch carried over from the garage as shown on the Elevation Plan View.

**Project Specifications:**

The project will be constructed off of a continuous concrete footer with brick exterior foundation wall to match the existing house as close as practicable. The proposed garage to be framed using light duty wood construction to meet 2018 NC Residential Building code for high wind zones.

Photos:

Street scape view from Front Street – shows that project is well screened from existing home



Street scape view from Front Street – Angle to try and see garage area and addition – area should not be greatly affected by garage or addition as the garage will not be very visible and the addition will blend into existing house





Streetscape view from Orange Street – view is blocked from existing garage adjacent to access easement – note you cannot see the existing storage shed



Adjacent lot – existing garage that our proposed design is similar to





Existing storage shed – previous approval for demo notice existing gravel around shed that is existing impervious area



Rear of Existing House – shows flat roof of screen porch (will be removed) and second story flat roof we will add onto





Flat roof section of existing 2<sup>nd</sup> story area enclosed off back of house – we propose to continue the gable roof line from the proposed garage to tie into existing roof line, our gable will be lower than the hip roof line shown here at the widowers walk.

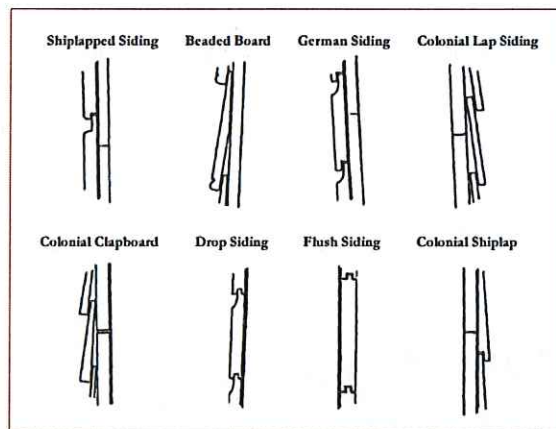


West side of addition – flat roof overhang will be removed and singing continuous vertical on the outside walls of the addition to match the existing house



## Materials:

- Foundation:
  - Exterior to have brick curtain wall to match existing brick as close as practicable
  - Interior wall to be parged CMU block
- Light duty wood construction
- Siding to match existing house siding



- Colonial Clapboard

- Windows
  - Marvin Integrity – as shown in the attached PDF
- Doors
  - Door style to match existing house, craftsman style doors
  - Fiberglass door is preferred & proposed, a second option is wood door
- Flashing to be copper
- Paint
  - See photos of existing house – propose to demo upstairs rear of house for addition and plan to take a piece of existing house and use for color sample upon

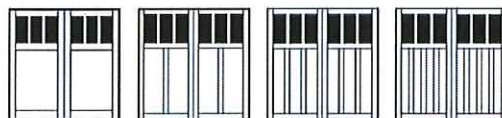
beginning construction. For this reason, exact color is not yet determined but will match existing house.

- Roof
  - Asphalt shingle to match existing house for main roof line
  - Overhang over garage door to be metallic and of a copper tone in color
- Exterior lights to be of an earth tone – not visible from either street
- Drive Way
  - Concrete ribbons to fill existing tire ruts – 30" concrete – 30" grass – 30" concrete. Concrete apron to remain from curb and gutter line to sidewalk.
- Garage Door

**Villa Madre Collection**



**Premium Construction - Squared Tops**



- Ortega 580Base
- Medina 580M
- Pizarro 580P
- Cruz 580C
- One of the above four options made out of wood and is a Signature Carriage door
- Painted white to match the house/proposed garage



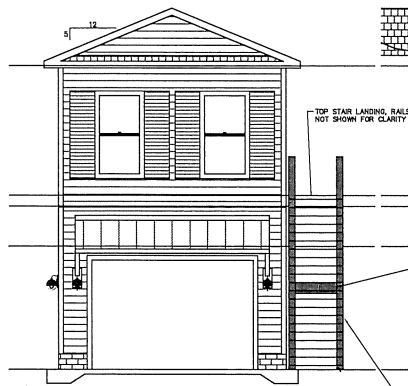
## GENERAL NOTES:

1. ALL WORK SHOULD ADHERE TO 2012 NC BUILDING CODE OR THE THEN CURRENT BUILDING CODE DURING CONSTRUCTION UNLESS OTHERWISE CALLED OUT WITHIN THESE PLANS.
2. DIMENSIONS SHOWN ARE TO STUDS.
3. DOOR AND WINDOW UNITS SHOULD BE SHOWN ON THE PLAN OR DETAIL.
4. DOWN STAIRS GOING HEIGHT TO MATCH EXISTING BUILDING SO THAT THE ROOF LINE OF THE EXISTING HOUSE FROM ABOVE MATCHES PROFILE OF EXISTING HOUSE TO GREATEST EXTENT POSSIBLE.
5. HARDY PLANKS SHOWN TO BE USED, MATCH PROFILE OF EXISTING HOUSE TO GREATEST EXTENT POSSIBLE.
6. CONTRACTOR ASSUMES RESPONSIBILITY FOR DIMENSIONAL PLACEMENT OF PROPOSED WALLS INDICATED ON DESIGN DRAWINGS. VARIATIONS FROM THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND OWNER. ROOM DIMENSIONS SHOWN ON PLAN ARE ROUGHED ESTIMATES.
7. ALL EXTERIOR LOWER WALL FRAMING TO BE 2X8 STUDS 16" O.C. AND ALL EXTERIOR UPPER WALL FRAMING TO BE 2X4 STUDS 16" O.C. UNLESS OTHERWISE NOTED.
8. CEILING AND WALLS TO RECEIVE 5" GYPSON BOARD UNLESS OTHERWISE NOTED.
9. ELECTRICAL SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR. ELECTRICAL WORK SHALL CONSIST OF INSTALLATION OF A COMPLETE SYSTEM BUT NOT LIMITED TO WORK SHOWN ON THIS PLAN. ELECTRICAL CONTRACTOR TO SUBMIT AND PAY FOR ALL PERMIT FEES, INSPECTIONS AND MAKE DEPOSITS AS REQUIRED. ELECTRICAL SYSTEM TO BE FED BY SUB-PANEL LOCATED WITHIN THE DETACHED GARAGE.
10. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, FEDERAL AND STATE CODES OR ORDINANCES HAVING JURISDICTION OVER SAME.
11. WALL SWITCHES TO BE MOUNTED 48" ABOVE FLOOR FINISH TO BOTTOM OF BOX, UNLESS OTHERWISE NOTED.

12. ELECTRICAL, CABLE AND TELEPHONE OUTLETS LOCATION TO BE APPROVED BY OWNER. HEIGHT MAY VARY DEPENDING UPON INTENDED USE.
13. ALL HVAC WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER AND SHALL MEET ALL THE REQUIREMENTS OF FEDERAL, STATE AND LOCAL CODES, INCLUDING THE BOARD OF HEALTH AND THE DEPARTMENT OF INDUSTRIAL REGULATIONS. THE WORK INCLUDED SHALL CONSIST OF THE DESIGN, FURNISHING AND INSTALLATION, TESTING AND GUARANTEES.
14. ALL INTERIOR FINISHES TO BE APPROVED BY OWNER INCLUDING BUT NOT LIMITED TO CASING, BASE BOARD, CROWN MOULDING, DOOR HARDWARE AND FURNITURE FINISHES.
15. ELEVATIONS ARE APPROXIMATE AND MAY ALTER DUE TO SITE CONDITIONS.
16. EXH POST TO BE PRESSURE TREATED. BARS, OTHER MEMBERS AND STAIR STRINGERS TO BE WARRANG NO 2 PINE, DECORATIVE BOARDS AND RAILS TO BE CHOSEN BY OWNER.
17. WINDOWS TO MATCH EXISTING HOUSE WINDOWS, ROUGH SIZING 3'6"-6'2".

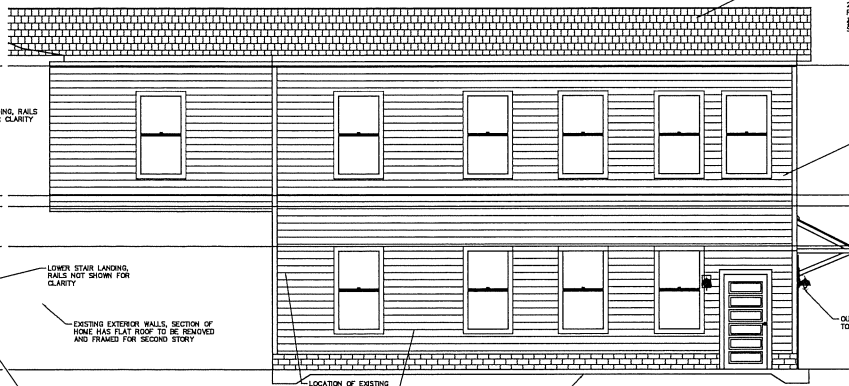
THIS PLAN IS THE PROPERTY OF AMP'D ENGINEERING, PLLC, AND MAY NOT BE USED OR REPRODUCED WITHOUT THEIR PERMISSION. DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR OR STRUCTURAL ENGINEER SHOULD ATTEMPT MODIFICATIONS, AS EVEN MINOR CHANGES IN ONE AREA OF THE STRUCTURE COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.

FRONT ELEVATION  
SCALE  $\frac{1}{4}"=1'$



DIMENSION MAY CHANGE DEPENDING ON FINAL OUTER WALL LOCATION, NORTH, WEST AND EAST WALLS OF PROPOSED GARAGE TO BE ON PROPERTY SET BACKS - REQUIRES SURVEYOR TO LOCATE BUILDING CORNERS

LEFT ELEVATION  
SCALE  $\frac{1}{4}"=1'$

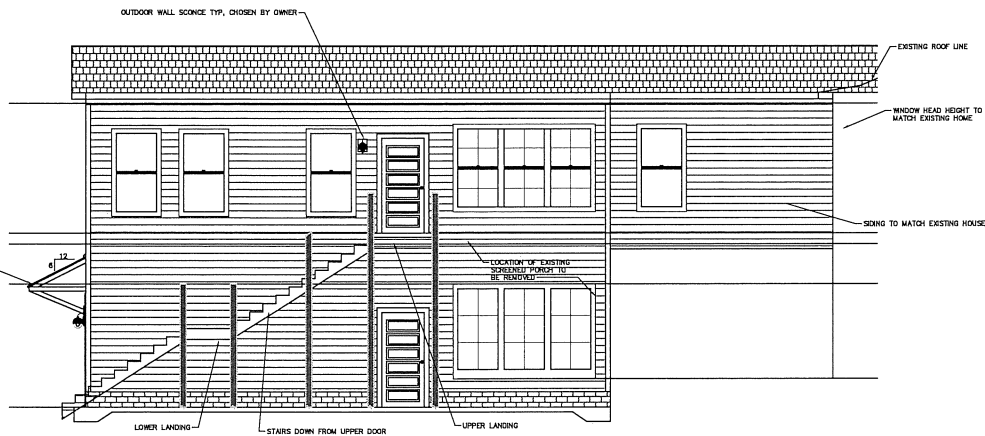


TYPICAL ROOF CONSTRUCTION:  
SHINGLES TO MATCH EXISTING HOUSE  
12\"/>

TYPICAL UPPER WALL CONSTRUCTION  
SHINGLES TO MATCH EXISTING HOUSE  
30\"/>

OUTDOOR RATED SCORCE  
TO BE CHOSEN BY OWNER

RIGHT ELEVATION  
SCALE  $\frac{1}{4}"=1'$



SHED ROOF OVER GARAGE  
DOOR MATERIAL TO BE  
EXTERIOR TONE IN COLOR OR  
MATCH EXISTING SHINGLES

NOTE: RAILS NOT SHOWN FOR  
CLARITY ON LANDING AND STAIR  
SYSTEM



AMP'D ENGINEERING, PLLC  
FIRM LICENSE NO P-1532  
PO BOX 4580  
EMERALD ISLE, NC 28594  
atton.parker@ampdengineering.com  
919-795-9594

OWNER:  
WILKO HOLDINGS, LLC  
1005 HARVEY CIRCLE  
KINSTON, NC 28501

GARAGE &  
ADDITION  
GARAGE BUILDING & ADDITION TO  
EXISTING HOME  
BEAUFORT, NC

DATE:  
1/28/2019

REV: DATE:  
FINALISE REVISIONS 2/21/2019

SHEET:  
3 - ELEVATION  
PLAN

# 217 FRONT ST ADDITION MARVIN INTEGRITY

Quote #: YKQ73Z1

A Proposal for Window and Door Products prepared for:

**End Customer:**

NED T GRADY INC  
3420 LAKEVIEW TRAIL  
KINSTON, NC 28504

Contact Name: NED GRADY

Phone: (252) 522-1555

**Job Site:**

28516

**Shipping Address:**

WINDOWS & MORE-MOREHEAD CITY  
128 E FORT MACON RD  
ATLANTIC BEACH, NC 28512

## Featuring products from:



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Phone: (252) 726-8181  
Fax: (888) 920-9236  
Email: jason@windowsandmorenc.com

This report was generated on 3/11/2019 3:31:28 PM using the Marvin Order Management System, version 0002.25.05 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 5

TOTAL UNIT QTY: 19

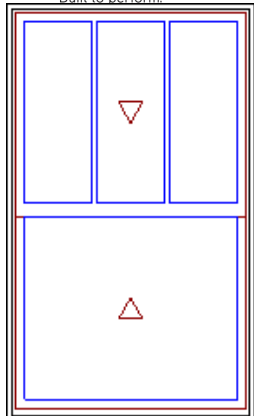
EXT NET PRICE: USD 20,100.36

LINE	MARK UNIT	BRAND	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	ADDITION GROUND	Integrity	Wood-Ultrex Traditional Double Hung CN 4268 RO 42 1/2" X 68 1/4"	587.04	4	2,348.16
4	ADDITION UPPER	Integrity	Wood-Ultrex Traditional Double Hung CN 3668 RO 36 1/2" X 68 1/4"	574.83	12	6,897.96
6	KRISTI OFFICE	Marvin	Clad Marvin Assembly RO 97" X 83 5/8"	4,435.78	1	4,435.78
7	DOWNSTAIRS	Marvin	Clad Marvin Assembly RO 97" X 83 5/8"	4,154.00	1	4,154.00
8		Marvin	Clad Ultimate Inswing French Door CN 3070 RO 38 7/16" X 86 1/2"	2,264.46	1	2,264.46

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: ADDITION GROUND	Net Price:		587.04
Qty: 4		Ext. Net Price:	USD	2,348.16



As Viewed From The Exterior

CN 4268  
RO 42 1/2" X 68 1/4"  
**Egress Information**  
Width: 38 3/8" Height: 28 33/64"  
Net Clear Opening: 7.60 SqFt  
**Performance Information**  
U-Factor: 0.28  
Solar Heat Gain Coefficient: 0.28  
Visible Light Transmittance: 0.48  
Condensation Resistance: 56  
CPD Number: MAR-N-272-00944-00001  
ENERGY STAR: NC  
**Performance Grade**  
Licensee #783  
AAMA/WDMA/CSA/101/ I.S.2/A440-08  
LC-PG50 1054X2127 mm (42X76.8 in)  
LC-PG50 DP +50/-50  
FL6525

Stone White Exterior  
Bare Pine Interior  
Integrity Traditional Double Hung  
Wood-Ultrex  
CN 4268  
Rough Opening 42 1/2" X 68 1/4"  
Top Sash  
IG  
Low E2 w/Argon  
Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless  
Rectangular - Special Cut 3W1H  
Stone White Ext - Bare Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
Bottom Sash  
IG - 1 Lite  
Low E2 w/Argon  
Stainless Perimeter Bar  
Beige Interior Weather Strip Package  
White Sash Lock  
PG Upgrade  
No Screen  
4 9/16" Jamb  
Nailing Fin  
\*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.  
\*\*\*Note: Unit Availability and Price is Subject to Change

Initials required

Seller: \_\_\_\_\_

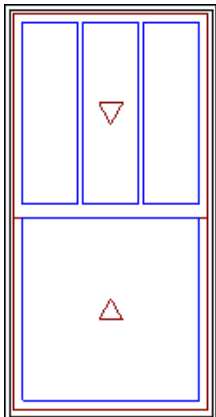
Buyer: \_\_\_\_\_

Line #4	Mark Unit: ADDITION UPPER	Net Price:		574.83
Qty: 12		Ext. Net Price:	USD	6,897.96



Stone White Exterior  
Bare Pine Interior  
Integrity Traditional Double Hung  
Wood-Ultrex  
CN 3668  
Rough Opening 36 1/2" X 68 1/4"  
Top Sash  
IG  
Low E2 w/Argon  
Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless  
Rectangular - Special Cut 3W1H  
Stone White Ext - Bare Int  
**Divided Lite Options are inconsistent across the panels of this unit. Ensure the correct Divided Lite Types have been selected.**  
Bottom Sash  
IG - 1 Lite  
Low E2 w/Argon





As Viewed From The Exterior

CN 3668

RO 36 1/2" X 68 1/4"

**Egress Information**

Width: 32 3/8" Height: 28 33/64"

Net Clear Opening: 6.41 SqFt

Sash Limiters and Window Opening Control Devices, when engaged, may reduce the egress opening dimensions of windows.

**Performance Information**

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.28

Visible Light Transmittance: 0.48

Condensation Resistance: 56

CPD Number: MAR-N-272-00944-00001

ENERGY STAR: NC

**Performance Grade**

Licensee #783

AAMA/WDMA/CSA/101/ I.S.2/A440-08

LC-PG50 1054X2127 mm (42X76.8 in)

LC-PG50 DP +50/-50

FL6525

Stainless Perimeter Bar  
Beige Interior Weather Strip Package  
White Sash Lock  
White Window Opening Control Device  
PG Upgrade  
No Screen  
4 9/16" Jamb  
Nailing Fin

\*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

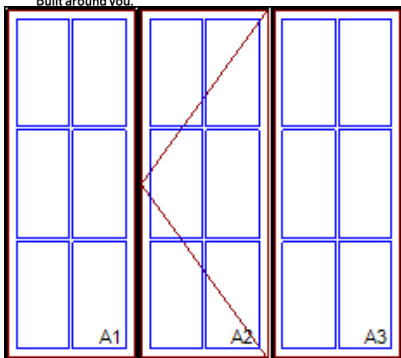
\*\*\*Note: Unit Availability and Price is Subject to Change

Initials required

Seller: \_\_\_\_\_

Buyer: \_\_\_\_\_

Line #6	Mark Unit: KRISTI OFFICE	Net Price:		4,435.78
Qty: 1		Ext. Net Price:	USD	4,435.78



As Viewed From The Exterior

RO 97" X 83 5/8"

**Egress Information A1, A3**

No Egress Information available.

**Egress Information A2**

Width: 24 57/64" Height: 78 1/64"

Net Clear Opening: 13.48 SqFt

**Performance Information A1, A2, A3**

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

Stone White Clad Exterior  
Bare Pine Interior  
3W1H - Rectangle Assembly  
Assembly Rough Opening  
97" X 83 5/8"

**Unit: A1**

Clad Ultimate Casement - Stationary

CN 3284

Rough Opening 33" X 83 5/8"

Frame Size 32" X 83 1/8"

Stone White Clad Sash Exterior

Bare Pine Sash Interior

IG - 3/4"

Tempered Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W3H

Stone White Clad Ext - Bare Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

White Weather Strip

Solid Wood Covers

**Unit: A2**

Clad Ultimate Casement - Left Hand

CN 3284

Rough Opening 33" X 83 5/8"

Frame Size 32" X 83 1/8"

CPD Number: MAR-N-342-13433-00001  
ENERGY STAR: NC, SC, S  
**Performance Grade A1, A2, A3**  
Licensee #918  
AAMA/WDMA/CSA/101/I.S.2/A440-08  
CW-PG50 914X2442 mm (36X96.13 in)  
CW-PG50 DP +50/-50  
FL10321  
**Performance Grade Mull**  
Licensee #917  
AAMA 450-10  
LC-PG40 2743X1308 mm (51.5X108 in)  
LC-PG40 DP 40  
**Performance Grade Overall Assembly**  
LC-PG40 DP

Stone White Clad Sash Exterior  
Bare Pine Sash Interior  
IG - 3/4"  
Tempered Low E3 w/Argon  
Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless  
Rectangular - Special Cut 2W3H  
Stone White Clad Ext - Bare Pine Int  
Ogee Interior Glazing Profile  
Standard Bottom Rail  
White Weather Strip  
White Folding Handle  
White Multi - Point Lock  
Stainless Steel Hardware  
Aluminum Screen  
Satin Taupe Surround  
Charcoal Fiberglass Mesh

Unit: A3  
Clad Ultimate Casement - Stationary  
CN 3284  
Rough Opening 33" X 83 5/8"  
Frame Size 32" X 83 1/8"  
Stone White Clad Sash Exterior  
Bare Pine Sash Interior  
IG - 3/4"  
Tempered Low E3 w/Argon  
Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless  
Rectangular - Special Cut 2W3H  
Stone White Clad Ext - Bare Pine Int  
Ogee Interior Glazing Profile  
Standard Bottom Rail  
White Weather Strip  
Solid Wood Covers  
Standard Mull Charge  
4 9/16" Jambs  
Nailing Fin

\*\*\*Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

\*\*\*Note: Unit Availability and Price is Subject to Change

Initials required

Seller: \_\_\_\_\_

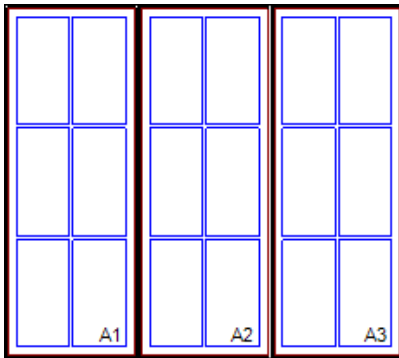
Buyer: \_\_\_\_\_

Line #7	Mark Unit: DOWNSTAIRS	Net Price:		4,154.00
Qty: 1		Ext. Net Price:	USD	4,154.00



Stone White Clad Exterior  
Bare Pine Interior  
3W1H - Rectangle Assembly  
Assembly Rough Opening  
97" X 83 5/8"

Unit: A1  
Clad Ultimate Casement - Stationary  
CN 3284  
Rough Opening 33" X 83 5/8"  
Frame Size 32" X 83 1/8"  
Stone White Clad Sash Exterior  
Bare Pine Sash Interior  
IG - 3/4"  
Tempered Low E3 w/Argon  
Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless



As Viewed From The Exterior

RO 97" X 83 5/8"

**Egress Information A1, A2, A3**

No Egress Information available.

**Performance Information A1, A2, A3**

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.4

Condensation Resistance: 58

CPD Number: MAR-N-342-13433-00001

ENERGY STAR: NC, SC, S

**Performance Grade A1, A2, A3**

Licensee #918

AAMA/WDMA/CSA/101/I.S.2/A440-08

CW-PG50 914X2442 mm (36X96.13 in)

CW-PG50 DP +50/-50

FL10321

**Performance Grade Mull**

Licensee #917

AAMA 450-10

LC-PG40 2743X1308 mm (51.5X108 in)

LC-PG40 DP 40

**Performance Grade Overall Assembly**

LC-PG40 DP

Rectangular - Special Cut 2W3H  
Stone White Clad Ext - Bare Pine Int  
Ogee Interior Glazing Profile  
Standard Bottom Rail  
White Weather Strip  
Solid Wood Covers

Unit: A2

Clad Ultimate Casement - Stationary

CN 3284

Rough Opening 33" X 83 5/8"

Frame Size 32" X 83 1/8"

Stone White Clad Sash Exterior

Bare Pine Sash Interior

IG - 3/4"

Tempered Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W3H

Stone White Clad Ext - Bare Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

White Weather Strip

Solid Wood Covers

Unit: A3

Clad Ultimate Casement - Stationary

CN 3284

Rough Opening 33" X 83 5/8"

Frame Size 32" X 83 1/8"

Stone White Clad Sash Exterior

Bare Pine Sash Interior

IG - 3/4"

Tempered Low E3 w/Argon

Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless

Rectangular - Special Cut 2W3H

Stone White Clad Ext - Bare Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

White Weather Strip

Solid Wood Covers

Standard Mull Charge

4 9/16" Jambs

Nailing Fin

\*\*\*Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

\*\*\*Note: Unit Availability and Price is Subject to Change

Initials required

Seller: \_\_\_\_\_

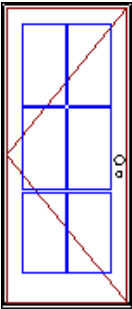
Buyer: \_\_\_\_\_

Line #8	Mark Unit:	Net Price:	2,264.46
Qty: 1		Ext. Net Price:	2,264.46

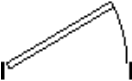


Stone White Clad Exterior  
Bare Pine Interior  
Clad Ultimate Inswing French Door 4 9/16" - X Left Hand  
CN 3070  
Rough Opening 38 7/16" X 86 1/2"  
Traditional Panels  
Glass Add For All Sash/Panels  
Stone White Clad Sash Exterior  
Bare Pine Sash Interior  
IG





Active



As Viewed From The Exterior

CN 3070

RO 38 7/16" X 86 1/2"

Egress Information

Width: 32 1/16" Height: 82 11/32"

Net Clear Opening: 18.34 SqFt

Performance Information

U-Factor: 0.3

Solar Heat Gain Coefficient: 0.14

Visible Light Transmittance: 0.29

Condensation Resistance: 62

CPD Number: MAR-N-392-60219-00001

ENERGY STAR: N, NC, SC, S

Performance Grade

Licensee #1077

AAMA/WDMA/CSA/101/I.S.2/A440-11

LC-PG40 1845X2731 mm (72.64X107.51 in)

LC-PG40 DP +40/-40

FL4809

- Tempered Low E3 w/Argon
- Stainless Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Stainless
- Rectangular - Special Cut 2W3H
- Stone White Clad Ext - Bare Pine Int
- Ogee Interior Glazing Profile
- Traditional Lever(s)
- Multi-Point Lock on Active Panel
- White Active Exterior Handle Set on Active Panel Keyed
- White Active Interior Handle Set on Active Panel
- Brass PVD Adjustable Hinges 3 Per Panel
- Beige Ultrex Sill
- Beige Weather Strip
- Bare Oak Sill Liner
- 4 9/16" Jambs
- Nailing Fin
- \*\*\*Note: The selected Interior Finish would allow Finger Joints to appear on secondary surfaces.
- \*\*\*Note: Unit Availability and Price is Subject to Change

Initials required

Seller: \_\_\_\_\_

Buyer: \_\_\_\_\_

Project Subtotal Net Price: USD	20,100.36
6.750% Sales Tax: USD	1,356.77
Project Total Net Price: USD	21,457.13

Terms and Conditions

## Product and Performance Information

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see [www.nfrc.org](http://www.nfrc.org).

NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.



## PURCHASE APPROVAL/SIGN OFF

**Project Subtotal Net Price: USD 20,100.36**  
**6.750% Sales Tax: USD 1,356.77**  
**Project Total Net Price: USD 21,457.13**

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

### BUYER:

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

### SELLER:

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_









## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 P.M. November 5, 2019 – 614 Broad Street**

---

**AGENDA CATEGORY:** New Business

**SUBJECT:** Case # 19-23 Gallants Landing – Install Elevated Lift

**BRIEF SUMMARY:**

Proposed Boat Lift Gallants Landing Slip #8

**REQUESTED ACTION:**

Conduct Public Hearing

Discussion

Motion on Finding of Fact

Motion on COA

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP

Planning & Inspections Director





# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP, Planning Director  
**Date:** October 16, 2019  
**Case No.:** 19-23

**Request:** Proposed Boat Lift Gallants Landing Slip #8

**Applicant** Edward Myers  
 P.O. Box 389  
 Beaufort, NC 28516

**Property Information:**

Owners: Same as Applicant  
 Location: Gallants Landing  
 PIN: 730617013709008

**Project Information:** On October 14, 2019 the applicant secured a CAMA permit to install a 13' X 13' Boat Lift for Slip #8 at Gallants Landing

The Gallants Landing Project was developed prior 2008 so Historic District Guidelines were not applied to this project at its construction.

**Proposed work:**

- Install a 13' X 13' Boat Lift for Slip #8 at Gallants Landing Concrete Driveway Runners

**Attachments:**

- COA Application (To Include CAMA Permit)
- Vicinity Map
- Vicinity Map #2
- List of Adjacent Property Owners
- Photos

## **Guidelines:**

### **Chapter 5. Protecting Beaufort's Historic Vistas**

*The vistas of Beaufort's waterfront play a crucial role in defining the character of Beaufort's Historic District. These include, but are not limited to: the sweeping vistas across Taylor's Creek, Gallant's Channel, and Town Creek; and views of the Historic District, particularly Front Street, from the water. An important factor in evaluating certificates of appropriateness for new construction and additions to existing structures will be the impact, from both the land and water on the vistas of Beaufort's waterfront. Generally, new construction, or additions to existing structures, that encroaches into the vistas of Beaufort's waterfront should be permitted only to the extent necessary to allow reasonable use of the property. In weighing the impact of new construction and additions to existing structures, the commission should consider the traditional setting or context of the subject property relating to the vistas of Beaufort's waterfront.*

#### **Docks, Piers, and Boardwalks Guidelines (Page 121)**

8.7.1. Use a design that is simple, functional, and utilitarian. Traditional docks were built of post and- lintel construction, using wood pilings, cross-members, and decking. Avoid the use of railings or other non-historic features that extend above the deck floor line, unless required by law for safety reasons. Avoid lighting fixtures that are too prominent or that are not utilitarian and functional in appearance.

8.7.2. Built in features such as pavilions, gazebos, screened rooms or other types of roofed structures such as boat sheds are not appropriate.

## CERTIFICATE OF APPROPRIATENESS APPLICATION FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT



### Instructions:

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$50.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Town Hall at 252-728-2142 if there are any questions.

### APPLICANT/OWNER INFORMATION

*Please print!*

Applicant Name: EDWARD & BARBARA MYERS

Applicant Address: PO BOX 389 BEAUFORT, NC

Business Phone: \_\_\_\_\_ Email/Cell: 252-22051

Property Owner Name: EDWARD & BARBARA MYERS

Address of Property: SLIP # 8 GALLANTS LANDING

Phone Number: \_\_\_\_\_ Email/Cell: \_\_\_\_\_

### PROJECT INFORMATION

Detailed description of the Proposed Project (please attach additional pages if necessary):

INSTALL A 13' X 13' BOAT LIFT.

PERMIT ATTACHED

Estimated Cost of Project: \$ 8,000.00

Year House Built: \_\_\_\_\_

Applicant Signature [Signature]

Date 10/17/19

Property Owner Signature (if different than above) \_\_\_\_\_

Date \_\_\_\_\_

*An application fee of \$50.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

### OFFICE USE ONLY

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

Date Deemed Completed and Accepted: \_\_\_\_\_



## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

### **1. Items required for ALL projects:**

- ☐ A list all adjacent property owners (with mailing addresses).
- ☐ Photographs of the streetscape, the site, and existing buildings to be impacted.
- ☐ A site plan showing dimensions of both existing and proposed conditions.
- ☐ A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

### **2. Items required as applicable to project:**

- ☐ A description of any planned demolition.
- ☐ An indication of all trees to be replaced and/or removed.
- ☐ A landscaping plan indicating major planting materials.
- ☐ Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- ☐ All types of building material samples.
- ☐ If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

### **3. Additional items required (only) for new Signage:**

- ☐ A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- ☐ A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

- 4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.
- 5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [j.ganey@beaufortnc.org](mailto:j.ganey@beaufortnc.org).*

**ADJACENT RIPARIAN PROPERTY OWNER STATEMENT**

I hereby certify that I own property adjacent to GALLANTS LANDING HOA's  
 (Name of Property Owner)  
 property located at O GALLANTS LANE  
 (Address, Lot, Block, Road, etc.)  
 on GALLANTS CHANNEL, in BEAUFORT NC, N.C.  
 (Waterbody) (City/Town and/or County)

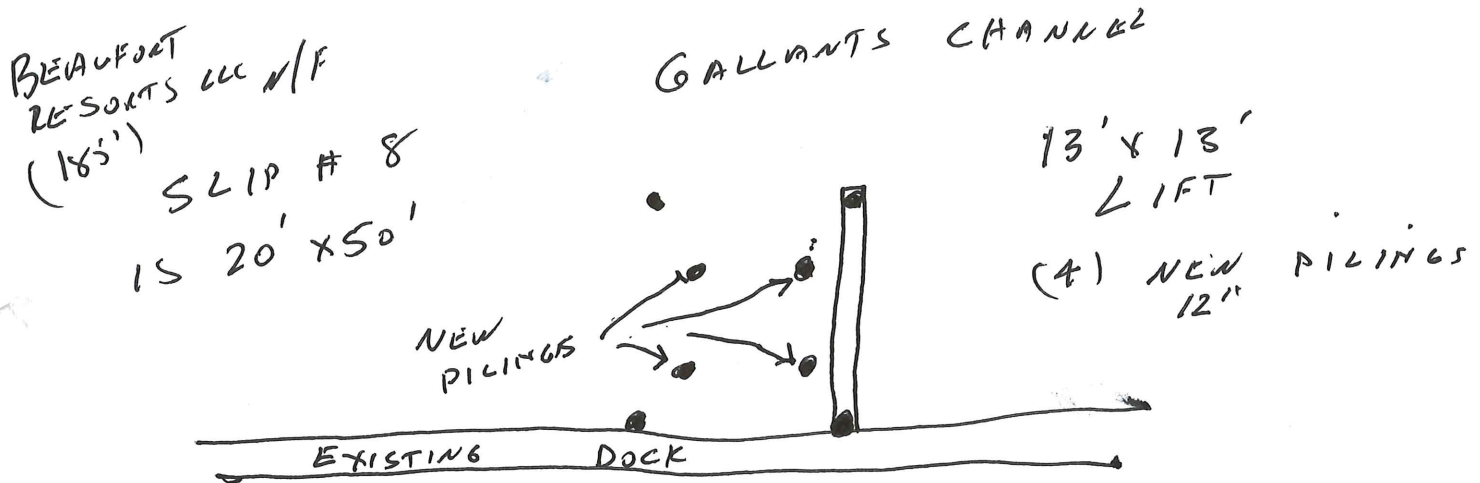
The applicant has described to me, as shown below, the development proposed at the above location.

\_\_\_\_\_ I have no objection to this proposal.

\_\_\_\_\_ I have objections to this proposal.

**DESCRIPTION AND/OR DRAWING OF PROPOSED DEVELOPMENT**

(Individual proposing development must fill in description below or attach a site drawing)

**WAIVER SECTION**

I understand that a pier, dock, mooring pilings, boat ramp, breakwater, boathouse, lift, or groin must be set back a minimum distance of 15' from my area of riparian access unless waived by me. (If you wish to waive the setback, you **must** initial the appropriate blank below.)

\_\_\_\_\_ I do wish to waive the 15' setback requirement.

\_\_\_\_\_ I do not wish to waive the 15' setback requirement.

**(Property Owner Information)**

[Signature]  
 Signature  
GALLANTS LANDING HOA  
 Print or Type Name  
14204 WYNFIELD CIRCLE  
 Mailing Address  
RALEIGH NC 27614  
 City/State/Zip  
919-215-4264  
 Telephone Number / email address

Date

**(Adjacent Property Owner Information)**

[Signature]  
 Signature\*  
Debra Parks  
 Print or Type Name  
101 Ann St.  
 Mailing Address  
Beaufort, NC 28516  
 City/State/Zip

Telephone Number / email address

10-7-19

Date\*

N/F  
 103  
 BRONN ST  
 LCC  
 (400')

# ADJACENT RIPARIAN PROPERTY OWNER STATEMENT

I hereby certify that I own property adjacent to GALLANTS LANDING HOA's  
 (Name of Property Owner)  
 property located at 0 GALLANTS LANE  
 (Address, Lot, Block, Road, etc.)  
 on GALLANTS CHANNEL, in BEAUFORT NC, N.C.  
 (Waterbody) (City/Town and/or County)

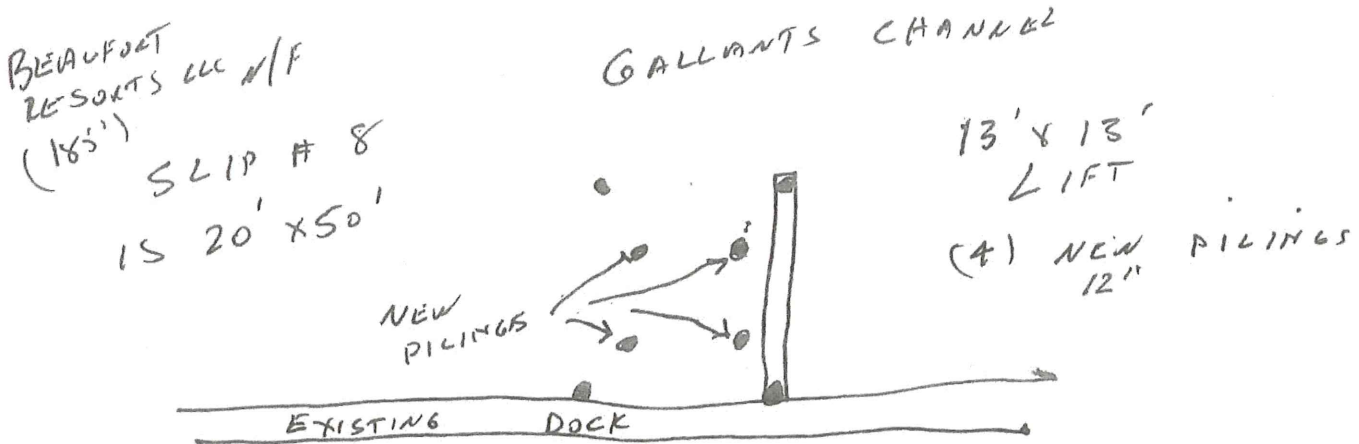
The applicant has described to me, as shown below, the development proposed at the above location.

☒ I have no objection to this proposal.

☐ I have objections to this proposal.

## DESCRIPTION AND/OR DRAWING OF PROPOSED DEVELOPMENT

(Individual proposing development must fill in description below or attach a site drawing)



## WAIVER SECTION

I understand that a pier, dock, mooring pilings, boat ramp, breakwater, boathouse, lift, or groin must be set back a minimum distance of 15' from my area of riparian access unless waived by me. (If you wish to waive the setback, you **must initial** the appropriate blank below.)

☐ I do wish to waive the 15' setback requirement.

☐ I do not wish to waive the 15' setback requirement.

### (Property Owner Information)

[Signature]  
 Signature  
GALLANTS LANDING HOA  
 Print or Type Name  
14204 WYNFIELD CIRCLE  
 Mailing Address  
RALEIGH NC 27614  
 City/State/Zip  
919-215-4264  
 Telephone Number / email address  
10/5/19  
 Date

### (Adjacent Property Owner Information)

[Signature]  
 Signature\*  
103 BROAD ST. LLC  
 Print or Type Name  
10501 CHARMFORD WAY  
 Mailing Address  
RALEIGH, NC 27615  
 City/State/Zip  
919-422-1201  
 Telephone Number / email address  
10/7/19  
 Date\*

N/F  
 103 BROAD ST  
 LLC  
 (400')

\*Valid for one calendar year after signature\*

(Revised Aug. 2014)



**CAMA / DREDGE & FILL  
GENERAL PERMIT**

No. 75272

A B C D

Previous permit #

Date previous permit issued

2.

☒ New ☐ Modification ☐ Complete Reissue ☐ Partial Reissue

As authorized by the State of North Carolina, Department of Environmental Quality and the Coastal Resources Commission in an area of environmental concern pursuant to 15A NCAC

Applicant Name

Address

City

Phone #

Authorized Agent

Affected

AEC(s):

ORW: yes / no

PNA yes / no

Project Location: County

Street Address/ State Road/ Lot #(s)

Subdivision

City

Phone #

Adj. Wtr. Body

Closest Maj. Wtr. Body

☒ Rules attached.

Type of Project/ Activity

Pier (dock) length

Fixed Platform(s)

Floating Platform(s)

Finger pier(s)

Groin length

number

Bulkhead/ Riprap length

avg distance offshore

max distance offshore

Basin, channel

cubic yards

Boat ramp

Boathouse/ Boatlift

Beach Bulldozing

Other

Shoreline Length

SAV: not sure yes no

Moratorium: n/a yes no

Photos: yes no

Waiver Attached: yes no

A building permit may be required by:

( Note Local Planning Jurisdiction)

Notes/ Special Conditions

Will ex. Deep trawling.

Beaufort

Boatlift shall be installed

with ex. Deep trawling.

See note on back regarding River Basin rules.

Edry Myers

Agent or Applicant Printed Name

Signature

20000

Application Fee(s)

6397

Check #

Heather Sh

Permit Officer's Printed Name

Signature

10/14/19

Issuing Date

2/14

Expiration Date

Page 71

Scale: 1" = 30'

(20' x 50' Slip)

#8

prop. 13' x 13'

Boatlift

gallants channel

ex. 27' slip

private market

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ex. 27' slip

private market



GALLANTS LANDING OWNERS ASSOC  
14204 WYNDFIELD CIRCLE  
RALEIGH NC 27615

103 BROAD ST LLC  
7706 SIX FORKS ROAD  
RALEIGH NC 27615

BEAUFORT RESORTS LLC  
3301 BENSON DRIVE #103  
RALEIGH NC 27609

# BHPC Case 19-23 Gallants Landing Boat Slip # 8

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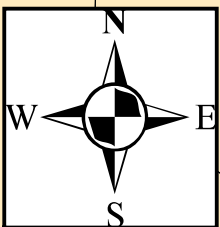
HWY 70 RADIO ISLAND

CEDAR

BROAD

GALLANTS

ANN



## Legend

• NCSHPO Historic Properties

Page 73

# BHPC Case 19-23 Gallants Landing Boat Slip # 8

2.



## Legend

● NCSHPO Historic Properties

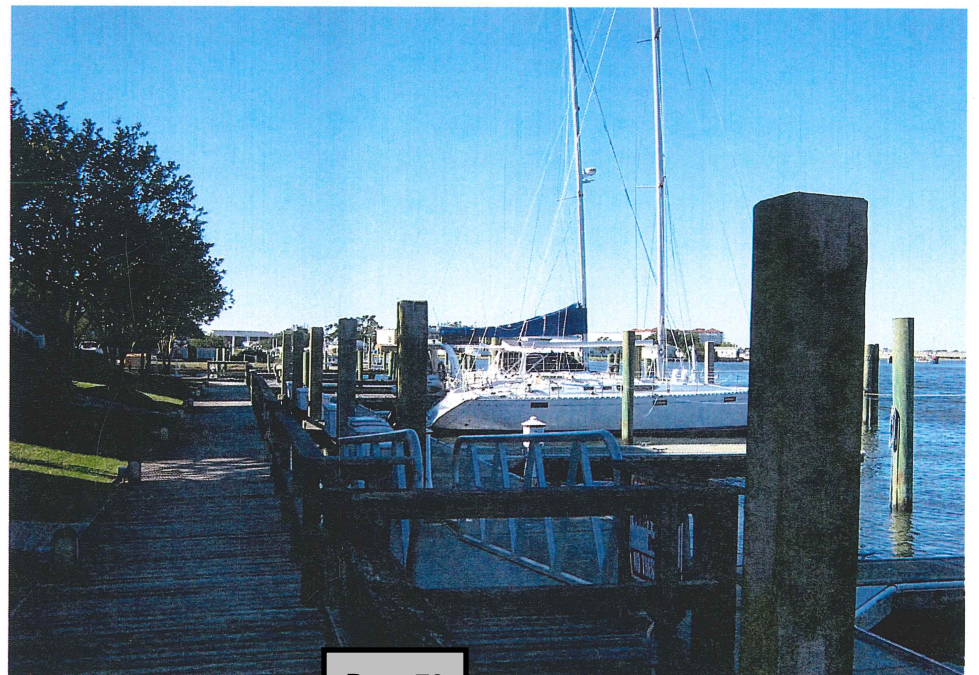
Page 74

NCSHPO



<u>OWNER</u>	<u>MAIL_HOUSE</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>MAIL_STATE</u>	<u>MAIL_ZIP4</u>	<u>MAIL_ZIP5</u>	<u>MAIL_ADD2</u>
BOLTON,WILLIAM E III ETUX KATY	591	HOWELL MILL RD	WAYNESVILLE	NC	3019	28786	
CHADWICK,RICHARD H JR ETUX BRE	106	GALLANTS LANE	BEAUFORT	NC		28516	
FOWLER,OMNIA FRED TRUST ETAL	516	STONEGATE LANE	WINSTON SALEM	NC		27104	
GALLANTS LANDING OWNERS ASSOC	14204	WYNDFIELD CIRCLE	RALEIGH	NC		27615	
MERIDIANS & PARALLELS LLC	7624	KENNEBEC DRIVE	CHAPEL HILL	NC		27517	
MYERS,EDWARD C ETUX BARBARA			BEAUFORT	NC		28516	PO BOX 389









## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 P.M. November 5, 2019 – 614 Broad Street**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 19-24 120 Moore Street – Revision to approved COA

#### **BRIEF SUMMARY:**

In July the HPC approved a COA for an addition to 120 Moore Street. Since the meeting the applicants have decided to reduce the size of the original addition request (by approximately 450 sq. ft.) and are asking for the HPC to consider a revised COA based on the submitted drawings with this application. The application states that the previously approved materials and specifications will remain the same.

#### **REQUESTED ACTION:**

- Conduct Public Hearing
- Discussion
- Motion on Finding of Fact
- Motion on COA

#### **EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

#### **SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director





# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** October 22, 2019  
**Case No.** 19-24

---

**Request:** Revise Approved COA to reduce the size (Sq. Ft) of proposed addition to 120 Moore Street

**Applicant:** David & Adeline Talbot

**Property Information:**

**Owners:** Same  
**Location:** 120 Moore Street  
**PIN#:** 730617018034000

**Project Information:** In July the HPC approved a COA for an addition to 120 Moore Street. Since the meeting the applicants have decided to reduce the size of the original addition request (by approximately 450 sq. ft.) and are asking for the HPC to consider a revised COA based on the submitted drawings with this application. The application states that the previously approved materials and specifications will remain the same.

**Attachments:**

- Vicinity Map
- Adjacent Property Owners list
- Application
- Survey
- COA Approved Elevation Drawings
- Elevation Drawings

## Roof Guidelines

6.1.9 Avoid altering the existing roof pitch or introducing a new roof pitch.

## Additions to Historic Buildings Guidelines

7.8.1. Locate new additions at the side or rear so that they have a minimal impact on the façade and other primary elevation of the affected building or adjacent properties.

7.8.2. The overall proportions of a new addition should be compatible with the existing building in height, scale, size and massing so as not to overpower it visually. A new addition should never be taller or wider than the original structure unless required by code or a non-aesthetic functional requirement. Observe the principle of “additive massing” where the original structure remains dominant and the additions are adjoining and smaller masses.

7.8.3. The design elements of a new addition should be compatible with the existing building in terms of materials, style, color, roof forms, massing proportion and spacing of doors and windows, details, surface texture, and location. Contemporary adaptations of the original which clearly look like an addition and reflect the period of construction are encouraged.

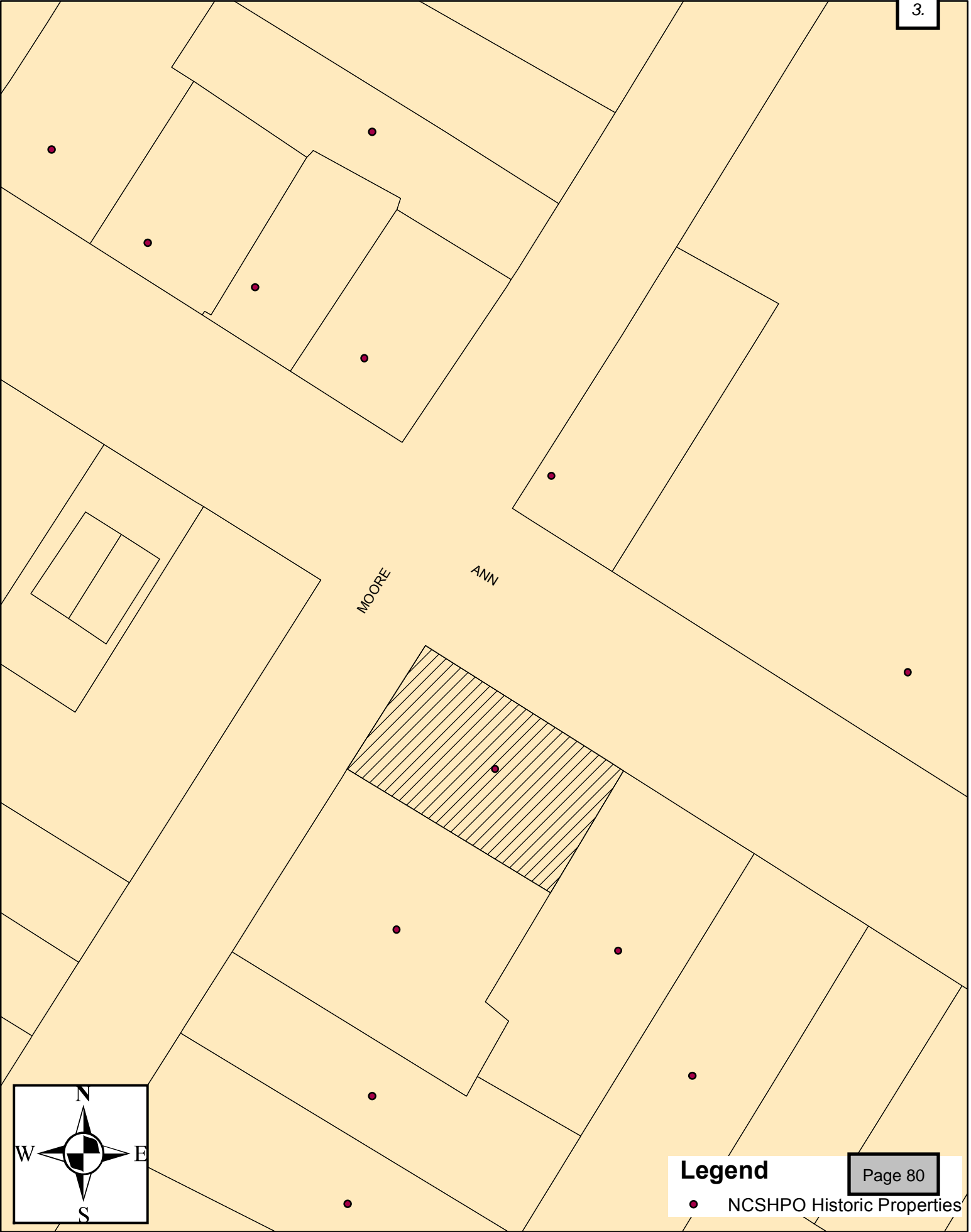
7.8.4. Additions should be constructed so that they can be removed from the original building in the future without irreversible damage to significant features.

7.8.6. Wood windows are most appropriate for new additions within the historic district; however, substitute window materials are acceptable for new additions provided the proposed windows meet the requirements set forth in the WINDOWS AND DOORS guidelines.

7.8.7. Rooflines of new additions should be similar in form, pitch, and eave height to the roofline of the original building.

7.8.8. Foundations should be similar to or compatible with the existing foundations in material, color, detailing, and height. SEE FOUNDATIONS GUIDELINES.

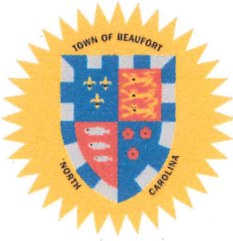
7.8.9. Consider in your plan older additions or other alterations to existing buildings that have acquired significance over time when planning and building a new addition.





<u>OWNER</u>	<u>MAIL_HOUSE</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>MAIL_STAT</u>	<u>MAIL_ZIP</u>
COSTLOW,VIRGINIA HERRMAN MASON	201	ANN STREET	BEAUFORT	NC	28516
JOHNSON,ZACKARY I ETAL HUNT	206	ANN STREET	BEAUFORT	NC	28516
PAUL,ALLAN	403	GLASCOCK ST	RALEIGH	NC	27604
RISSER,MARGARET PINER	304	LIVE OAK STREET	BEAUFORT	NC	28516
ST PAULS EPISCOPAL CHURCH	209	ANN STREET	BEAUFORT	NC	28516
TALBOT,DAVID C ETUX ADELINE C	120	MOORE STREET	BEAUFORT	NC	28516
TUTAK,CHRISTOPHER N ETUX HEIDI	131	ANN STREET	BEAUFORT	NC	28516

## CERTIFICATE OF APPROPRIATENESS APPLICATION FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT



### Instructions:

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$50.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and will be returned to the applicant. Please contact Town Hall at 252-728-2142 if there are any questions.

### APPLICANT/OWNER INFORMATION

*Please print!*

Applicant Name: Adeline and David Talbot

Applicant Address: 913 Ann Street, Beaufort, N.C. 28516

Business Phone: 336-312-5654 Email/Cell: atalbot@studiotraveler.com

Property Owner Name: See above

Address of Property: 120 Moore Street, Beaufort, N.C. 28516

Phone Number: See above Email/Cell: See above

### PROJECT INFORMATION

Detailed description of the Proposed Project (please attach additional pages if necessary):

Please see the attached drawings of proposed changes to 120 Moore renovation. Changes include retaining existing one-story ell to no extend south in the same plane intersecting with new one-story addition on south side of existing two-story portion of the house. All other materials and specifications remain the same.

Estimated Cost of Project: \$350,000 - 400,000

Year House Built: 1817

[Signature]  
Applicant Signature

October 15, 2019  
Date

[Signature]  
Property Owner Signature (if different than above)

10/15/19  
Date

An application fee of \$50.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.

### OFFICE USE ONLY

Received by: JG  
Date: 10/15/19

Reviewed for Completeness: \_\_\_\_\_  
Date Deemed Completed and Accepted: \_\_\_\_\_

## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

### **1. Items required for ALL projects:**

- ☐ A list all adjacent property owners (with mailing addresses).
- ☐ Photographs of the streetscape, the site, and existing buildings to be impacted.
- ☐ A site plan showing dimensions of both existing and proposed conditions.
- ☐ A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

### **2. Items required as applicable to project:**

- ☐ A description of any planned demolition.
- ☐ An indication of all trees to be replaced and/or removed.
- ☐ A landscaping plan indicating major planting materials.
- ☐ Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- ☐ All types of building material samples.
- ☐ If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

### **3. Additional items required (only) for new Signage:**

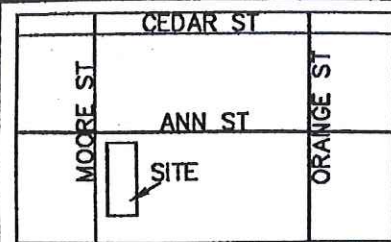
- ☐ A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- ☐ A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

- 4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.
- 5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [j.eganey@beaufortnc.org](mailto:j.eganey@beaufortnc.org).*





VICINITY MAP NOT TO SCALE

## LEGEND

IRS IRON ROD SET  
 IRF IRON ROD FOUND  
 N/F NOW OR FORMERLY  
 DB DEED BOOK  
 MB MAP BOOK  
 PG PAGE  
 R/W RIGHT OF WAY  
 \* \* \* FENCE LINE  
 OE OVERHEAD ELECTRIC

MOORE STREET  
50' R/W (PUBLIC)

55.01'  
N39°34'54"E

42.32'  
S03°52'54"W

TIE TO PK NAIL FOUND  
AT CENTERLINE  
INTERSECTION  
OF ANN ST  
AND MOORE ST

CONCRETE SIDEWALK

IRS

FENCE

FENCE

COVERED PORCH

HOUSE

99.00'

N49°38'00"W

CONCRETE SIDEWALK

S49°38'00"E

99.00'

(IN FEET)  
1 inch = 20 ft.

GRAPHIC SCALE



OWNER:  
RISSER, MARGARET PINER  
Deed Ref: 1599-379

OWNER:  
JOHNSON, ZACKARY I ETAL HUN  
Deed Ref: 1308-59

AREA=  
5,445 sq.ft.  
By Coordinates

S39°34'54"W

55.01'

ENCROACHMENT  
FENCE OVER LINE  
1.1'

ANN STREET  
66' R/W (PUBLIC)

I, THOMAS EDWARD STRICKLAND III, P.L.S. L-3776 CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OF LAND.

Thomas Edward Strickland III, 3/12/19  
THOMAS EDWARD STRICKLAND III L-3776  
L-3776

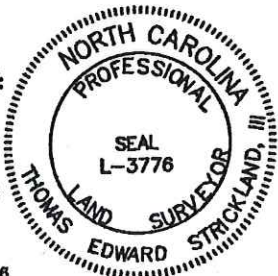
REGISTRATION NUMBER

CERTIFICATE OF SURVEY & ACCURACY:

I, THOMAS EDWARD STRICKLAND III, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK PAGE OR OTHER REFERENCE SOURCE DB 1300 PG 470) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAIN FROM INFORMATION IN BOOK PAGE OR OTHER REFERENCE SOURCE THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+ AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 08.1800).  
THIS DAY OF 3/12/19

Thomas Edward Strickland III, 3/12/19  
PROFESSIONAL LAND SURVEYOR

L-3776  
REGISTRATION NUMBER



REFERENCE: OWNER:  
DB 273 PG 243 PATRICIA A. HARDESTY

PHYSICAL SURVEY FOR  
Adeline C. and David C. Talbot  
TOWN OF BEAUFORT  
PART LOT 66 OLD TOWN

BEAUFORT TWSP., CARTERET COUNTY, N.C.

STRICKLAND SURVEYING, P.A.

4915 ARENDELL ST, STE J  
PMB 132  
MOREHEAD CITY, N.C. 28557  
919-717-0007 (C-1496)

THOMAS EDWARD STRICKLAND III P.L.S.

SURVEYED:  
3/6/19  
INV# / FB#  
5065  
DATE:  
3/12/19  
SCALE:  
1" = 20'

Key to setbacks  
(A) approx. 19 ft. from Moore St. property line  
(B) approx. 13 ft. from south property line  
(C) approx. 8 ft. from south property line  
(D) 20 ft. from Ann St. property line

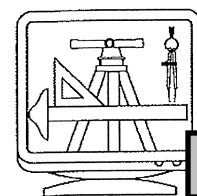
EXISTING



FRONT ELEVATION

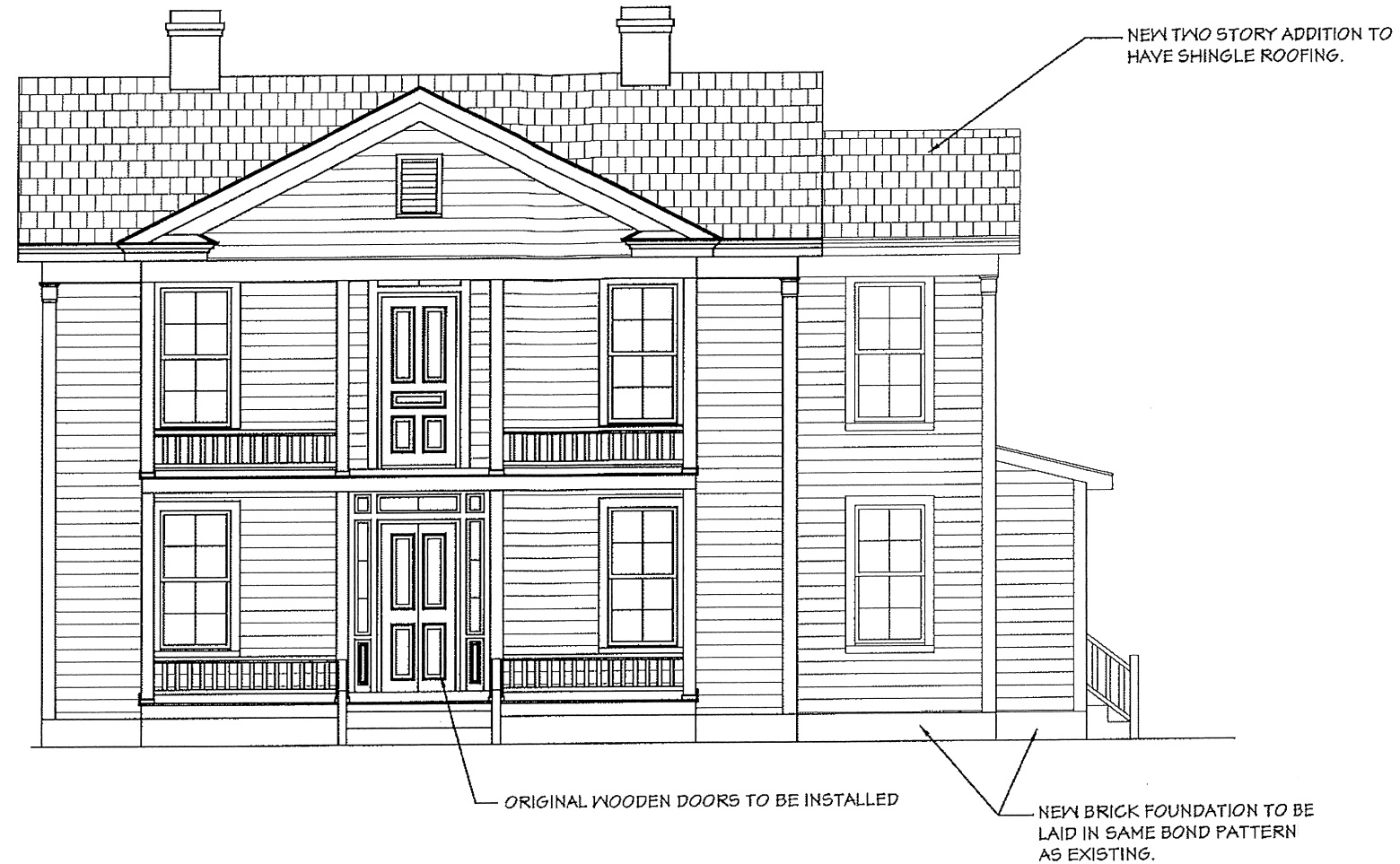
SHEET 1 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



**Front Street Home Designs, Inc**  
Beaufort, NC 28516  
(252) 725-1956

PROPOSED



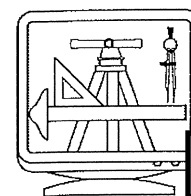
FRONT ELEVATION

NOTES:

1. ALL NEW SIDING TO BE WOOD.
2. ALL NEW TRIM TO BE WOOD.
3. ALL SIDING AND TRIM TO BE PAINTED WHITE.

SHEET 2 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



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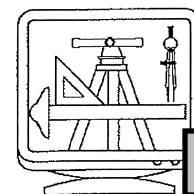
EXISTING



LEFT ELEVATION

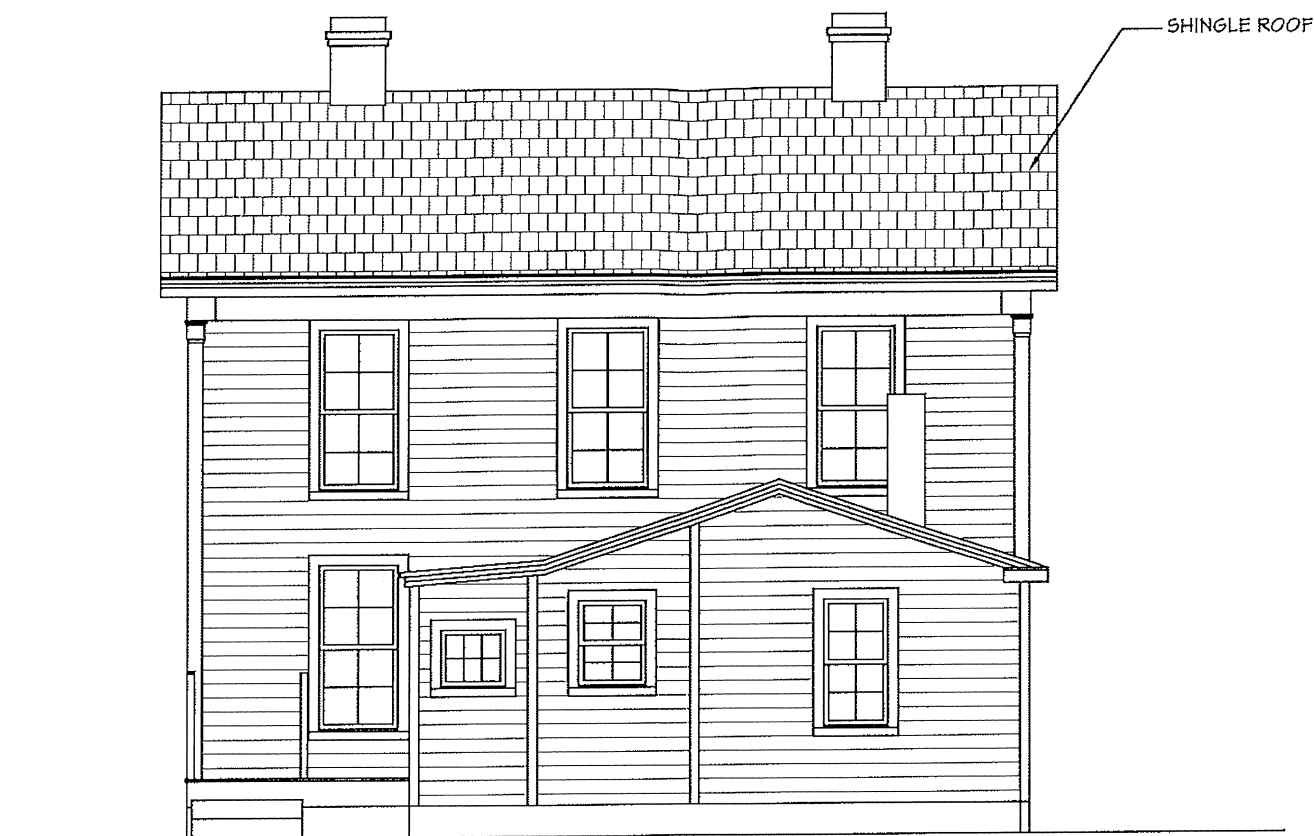
SHEET 3 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



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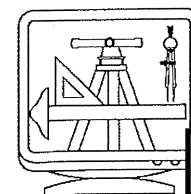
EXISTING



REAR ELEVATION

SHEET 5 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



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**Front Street Home Designs, Inc**  
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# PROPOSED



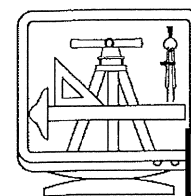
## REAR ELEVATION

SHEET 6 OF 8

### NOTES:

1. ALL NEW SIDING TO BE WOOD.
2. ALL NEW TRIM TO BE WOOD.
3. ALL SIDING AND TRIM TO BE PAINTED WHITE.

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



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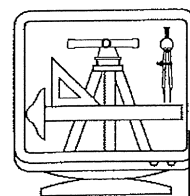
# EXISTING



## RIGHT ELEVATION

SHEET 7 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



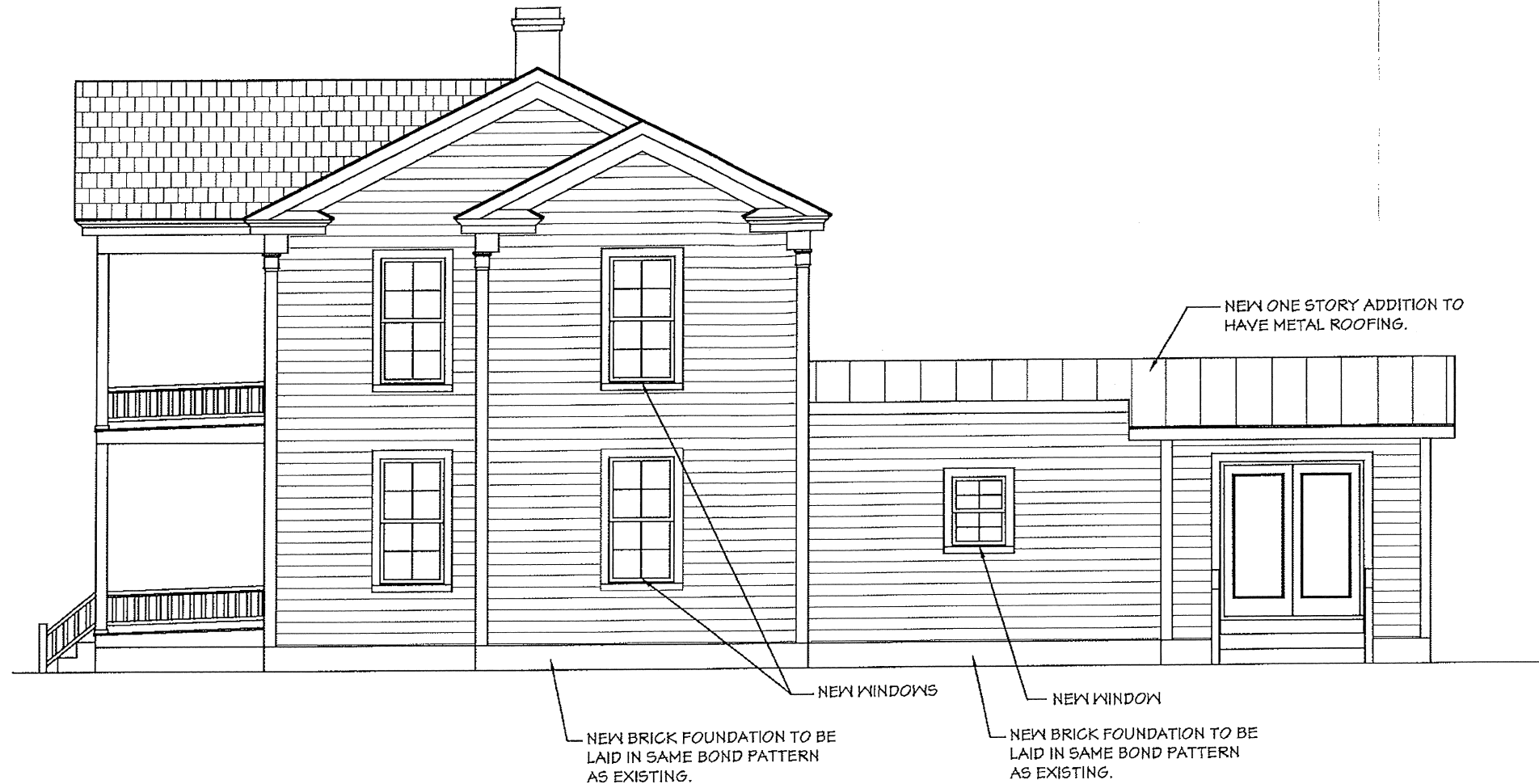
**Front Street Home Designs, Inc**

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PROPOSED



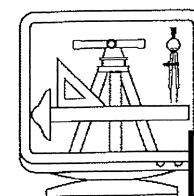
RIGHT ELEVATION

NOTES:

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SHEET 8 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



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(252) 725-1956

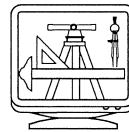
EXISTING



FRONT ELEVATION

SHEET 1 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516



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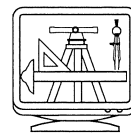
FRONT ELEVATION

NOTES:

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SHEET 2 OF 8

TALBOT RESIDENCE  
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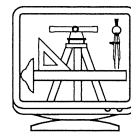
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RIGHT ELEVATION

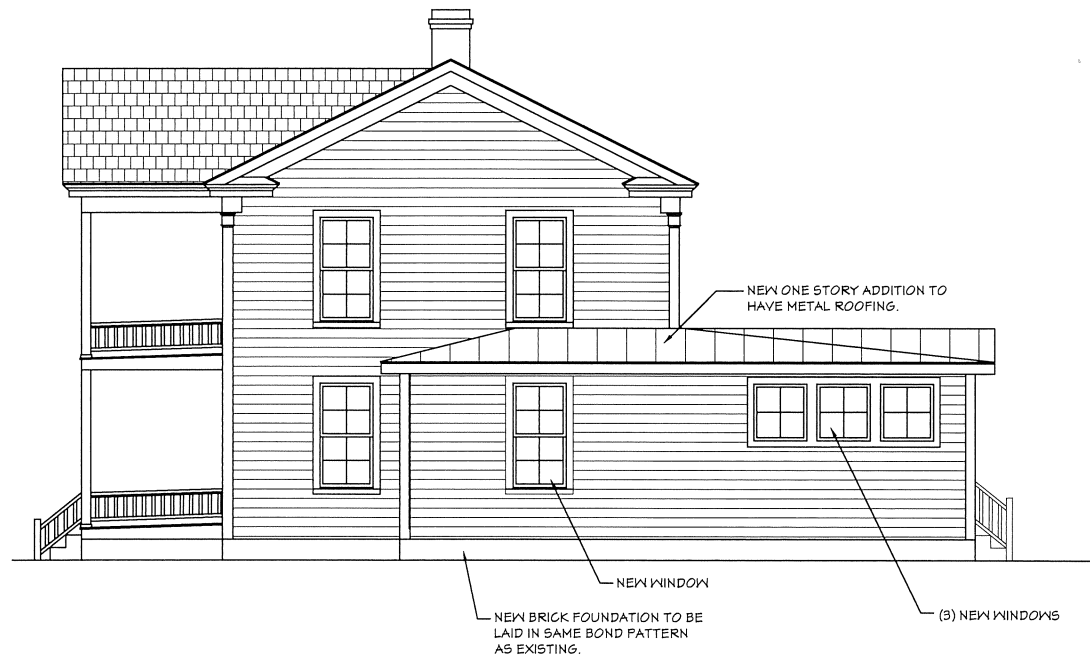
SHEET 7 OF 8

TALBOT RESIDENCE  
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## PROPOSED



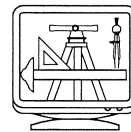
## RIGHT ELEVATION

SHEET 8 OF 8

### NOTES:

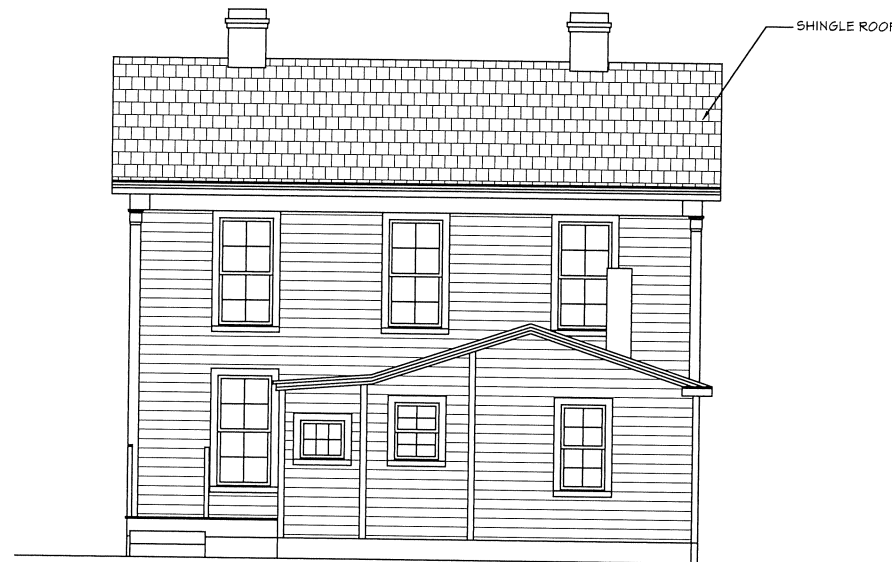
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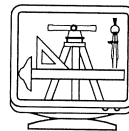
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REAR ELEVATION

SHEET 5 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
BEAUFORT, NC 28516

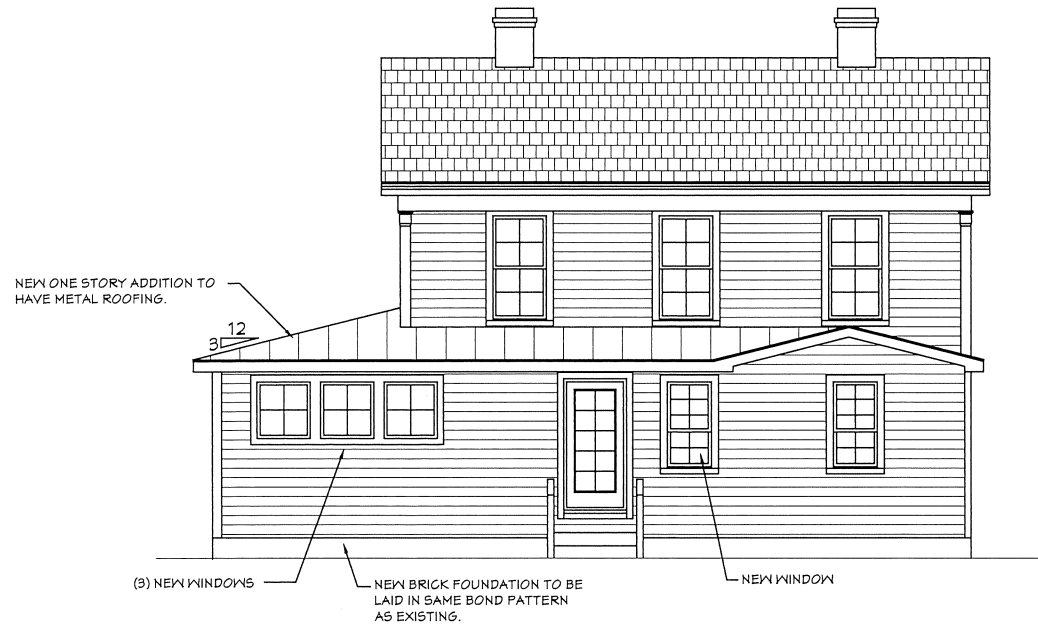


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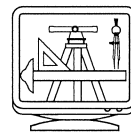
## REAR ELEVATION

SHEET 6 OF 8

NOTES:

1. ALL NEW SIDING TO BE WOOD.
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TALBOT RESIDENCE  
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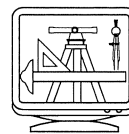
EXISTING



LEFT ELEVATION

SHEET 3 OF 8

TALBOT RESIDENCE  
120 MOORE STREET  
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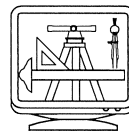
LEFT ELEVATION

SHEET 4 OF 8

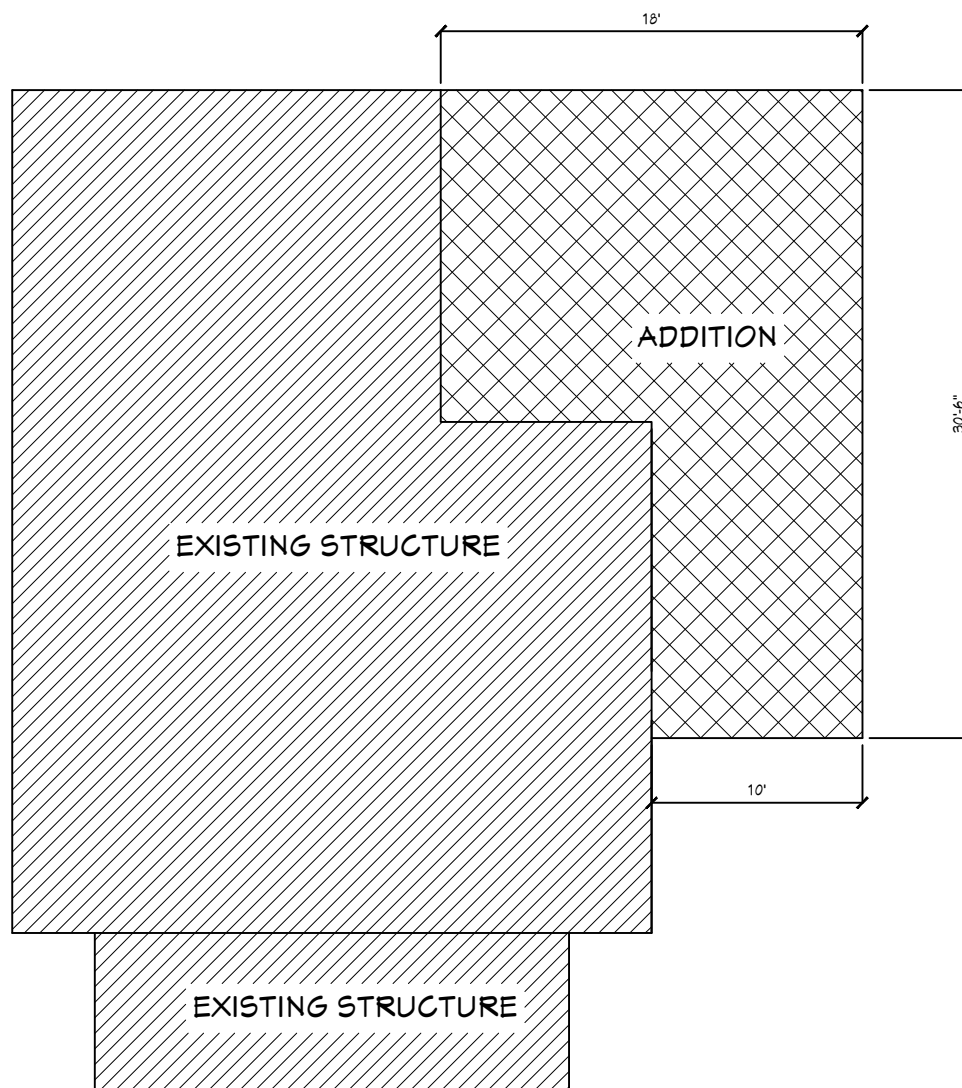
NOTES:

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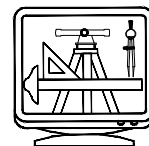
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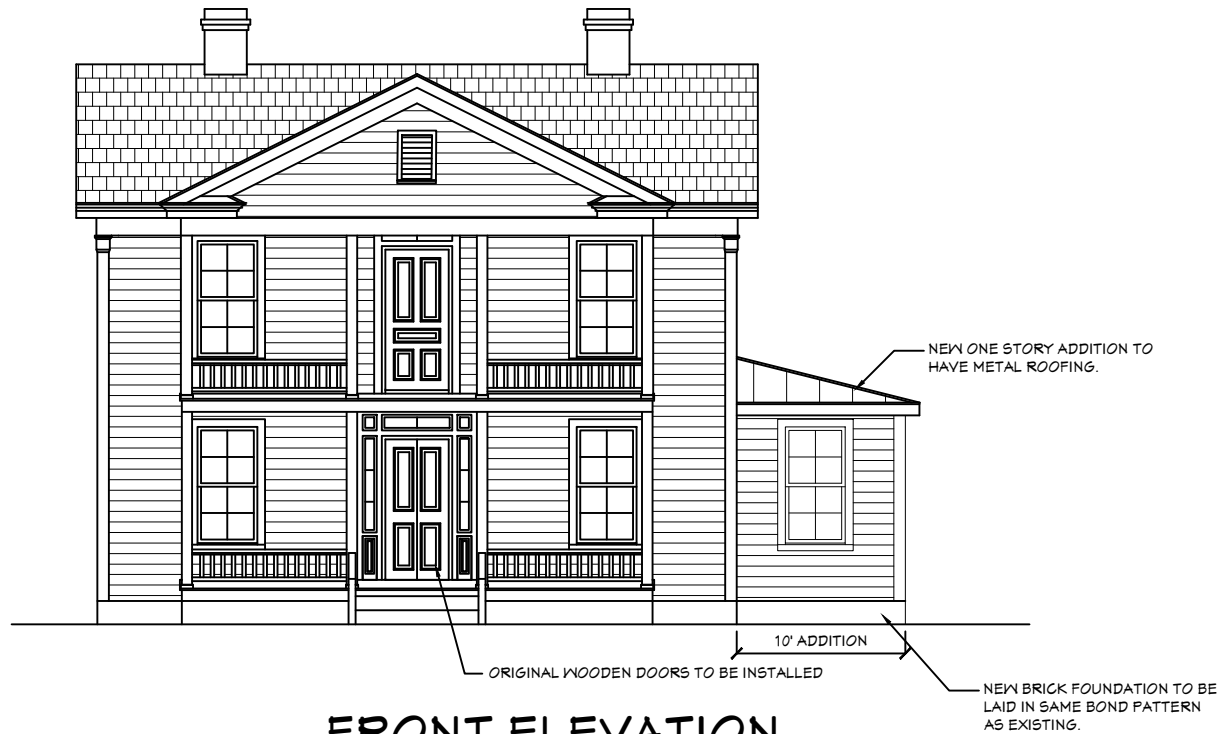
Beaufort, NC 28516

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# PROPOSED



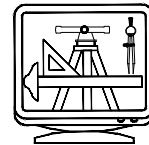
## FRONT ELEVATION

### NOTES:

1. ALL NEW SIDING TO BE WOOD.
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SHEET 2 OF 8

TALBOT RESIDENCE  
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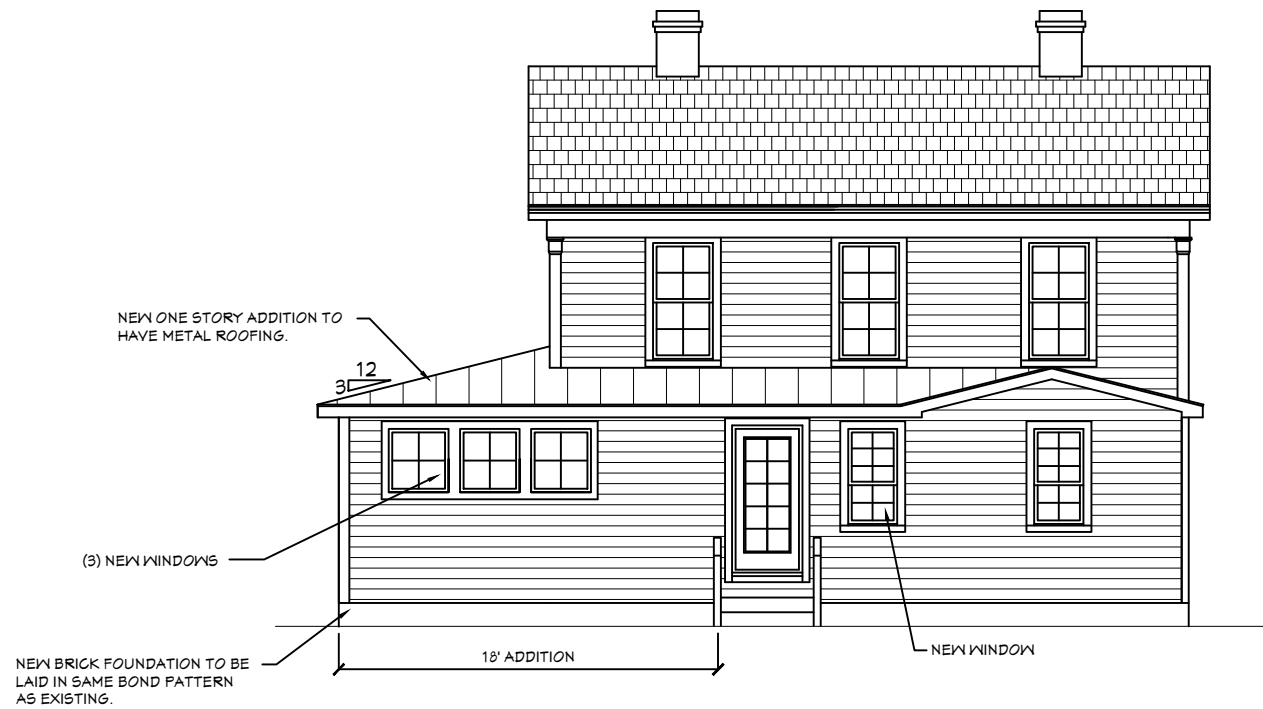
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# PROPOSED

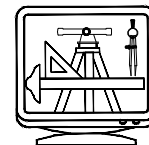


## REAR ELEVATION

- NOTES:
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SHEET 6 OF 8

TALBOT RESIDENCE  
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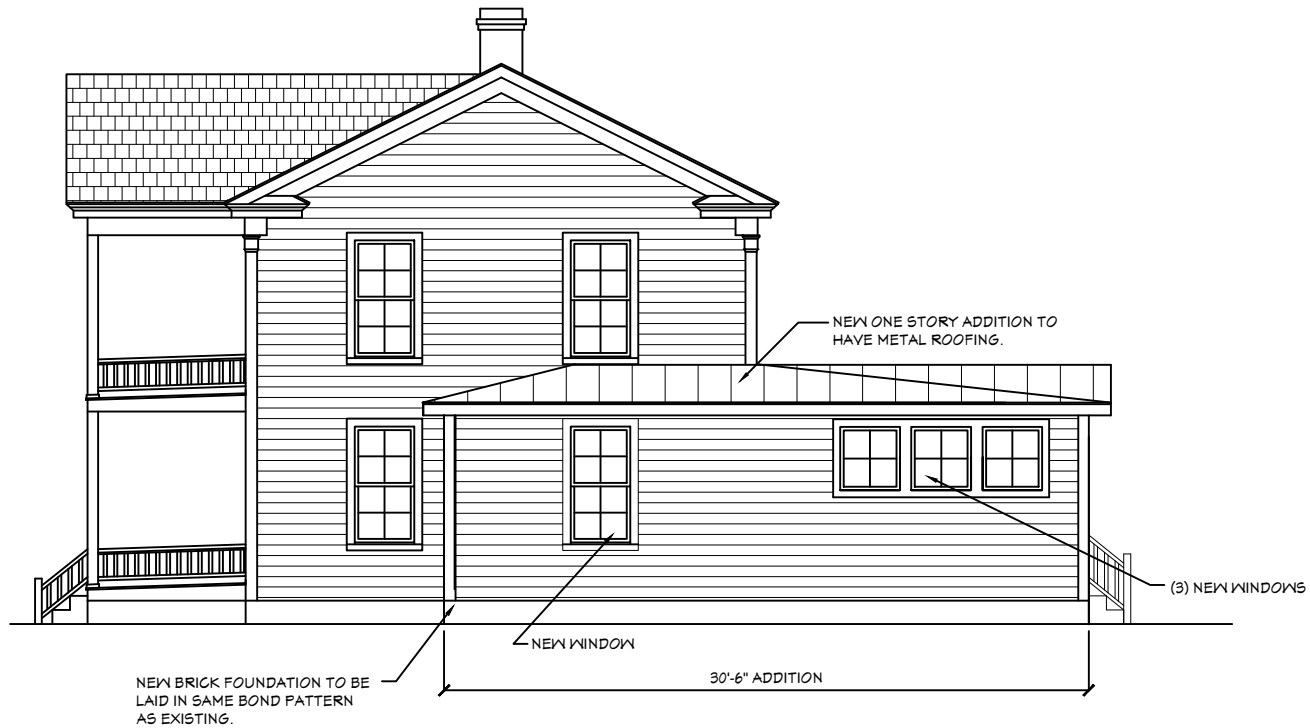
**Front Street Home Designs, Inc**

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## PROPOSED



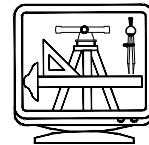
## RIGHT ELEVATION

### NOTES:

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SHEET 8 OF 8

TALBOT RESIDENCE  
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