



## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, June 21, 2021 - Held Virtually via Zoom due to the COVID-19 Pandemic Monthly Meeting**

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#### **Call to Order**

#### **Roll Call**

#### **Agenda Approval**

#### **Minutes Approval**

- [1.](#) Minutes Approval from the May 17, 2021 Meeting

#### **Public Hearing**

- [1.](#) Request to Rezone 100 Fairview Drive and 1310 Live Oak Street from B-1 General Business to TCA Townhomes, Condominiums and Apartments
- [2.](#) Case #20-17 Special Use Permit for a Gas/Service Station at 1550 Lennoxville Road

#### **New Business**

- [1.](#) Site Plan – Front Street Village – Transportation Center
- [2.](#) Preliminary Plat – Front Street Village
- [3.](#) Final Plat – Palmetto Plantation @ Olde Beaufort Village, Phase 2
- [4.](#) Case #21-20 Final Plat – Live Oak Commons

#### **Public Comment**

#### **Commission / Board Comments**

#### **Staff Comments**

#### **Adjourn**



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**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, May 17, 2021 - Held Virtually via Zoom due to the COVID-19  
Pandemic  
Minutes**

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**Call to Order**

Chair Neve called the May 17, 2021 meeting to order at 6:00 p.m.

**Roll Call**

Present for the meeting were Ryan Neve, Ralph Merrill, John LoPiccolo, Paula Gillikin, and Diane Meelheim. Members not in attendance were Jeff Vreugdenhill and Aaron Willis. Secretary Winn informed the Board that Aaron Willis notified her of his absence earlier and declared a quorum present for the meeting.

Also present for the meeting were Kyle Garner, Kate Allen, Denice Winn, Town Attorney Arey Grady, Town Attorney Jill Quattlebaum, and Commissioner Hollinshed.

**Agenda Approval**

Chair Neve asked for any modifications to the agenda. Hearing none, he asked for a motion to approve the agenda as presented. Vice Chair Merrill made a motion to approve the agenda as presented. Member Meelheim made the second. Secretary Winn conducted a roll call vote which passed unanimously with five of five members present in favor.

**Minutes Approval**

- 1. Minutes Approval for the April 19, 2021 Planning Board Meeting

Chair Neve reminded the Board that a revised version of the minutes was sent out earlier in the afternoon and asked the Board for any additional modifications to the minutes as presented. Member Gillikin referenced a grammatical correction she submitted. Secretary Winn confirmed that the corrections were included in the revised minutes distributed earlier in the afternoon.

Member Gillikin made a motion to approve the minutes as amended. Member Meelheim made the second. Secretary Winn conducted a roll call vote. Five of five members present voted unanimously to approve the minutes as amended.

**Public Hearing**

1. Modify/Revise the Existing Planned Unit Development (PUD) for Front Street Village

Chair Neve opened discussion for Case Number 21-16, a PUD Amendment for Front Street Village.

Kyle Garner added that John Wade, Arendell Engineers, is in attendance and is the engineer that has been working on the project.

Kyle Garner presented the staff report on behalf of the Town. He explained that the request before the Board tonight is a modification to the PUD for Front Street Village (2500 Front Street). He added that a site plan and preliminary plat will be coming before the Board at the next Planning Board meeting.

Mr. Garner explained that the request tonight is for a zoning change from B-3 to R-8 for the expansion of single family residential lots. The B-3 zone originally included in portions of Phases II and III of the site included parking and is now proposed as single family residential. He explained that the owner is requesting a reduction in the overall parking spaces to 398, noting the original approval included 631 spaces, which would be a reduction of 233 parking spaces. He further added that the owner is requesting a reduction in the overall number of resort dwellings from 202 to seven; a reduction of 195 resort dwellings. Mr. Garner explained that the owner is requesting an expansion of the original 11 single family lots to a proposed thirty-four (34) single family lots for a total increase of 23 single family dwellings.

Mr. Garner presented the current zoning of the subject property and surrounding properties, as well as the future land use classifications of the surrounding properties. He also presented the original site plan that was approved in 2008.

Mr. Garner reminded the Board of height variances that were included in the initial approval. While the majority of structures in this PUD are limited to 35 feet in height, there are a few structures that were allowed up to 40 feet in height and are shown in blue/purple on slide 9 of the presentation. Mr. Garner also presented a spreadsheet showing Phases I, II, III, and IV as well as the status and any modifications made to the original proposal. Mr. Garner also pointed out that what is on the ground is quite in line with what was originally proposed.

Mr. Garner explained that planning staff reviewed the request and recommends approval as the current zoning and future land use plan are consistent with the proposed modification.

Chair Neve asked if the applicant or applicant's representative had anything more to add. Mr. Bucky Oliver thanked the Board for their time, noting that Mr. Garner's presentation hit all of the main points.

Chair Neve asked if any Board members had any questions for the applicant or town staff. Vice-Chair Merrill said that it is unclear exactly what area is being rezoned. He said that the packet materials indicated that it was 16.2 acres, while the presentation said that it was in Phase IV, but nothing was provided showing exact boundaries of the area requested to be rezoned. Mr. Garner explained that the area under consideration is actually in the northern portion of Phase III. He said that the original approval included parking spaces and additional resort style dwellings and as such were zoned commercial. He explained that the request is to modify the zoning to match what is in Phase II with single family dwellings.

Chair Neve asked if this would require a plat modification. Mr. Garner presented a slide showing the original approval. He explained that the area under consideration is the B-3 area on the north side of the property, as well as a portion of the RMF area to the northeast.

Mr. Garner added that a preliminary plat should be forthcoming on the agenda next month to reflect these changes. In addition, he added that a site plan for the transportation center is forthcoming.

Chair Neve asked if Mr. Garner's explanation satisfied his question. Vice Chair Merrill said that the boundaries are not clearly defined and should be. Mr. Oliver asked Mr. Garner if he could show the specific area under consideration. Mr. Garner showed the Board the proposed preliminary plat for the area and showed the areas under consideration with his mouse pointer. Chair Neve thanked Mr. Garner for the additional information. Mr. Garner suggested Mr. John Wade create a map clearly showing the proposed areas to be rezoned prior to the Board of Commissioner's meeting where it will consider the request.

Chair Neve asked if the Board had any additional questions for the applicant or town staff. Member Gillikin asked if the areas no longer proposed as development would remain open space or if there were other plans for it. Mr. Bucky Oliver said that the areas would remain natural, mainly due to the wetlands. Member Merrill asked the applicant to speak to the remaining parking spaces and the allocation thereof. Mr. Oliver said that the revised plans meet the necessary parking requirements based on the reduced number of overall dwellings. Chair Neve said that he anticipates seeing a reduction in impervious surface coverage on the forthcoming preliminary plat. Mr. Oliver agreed.

Chair Neve asked for a motion regarding the request. Member Merrill reiterated the need for a map showing the specific area being rezoned. Beyond that, Member Merrill said that he felt it was a good proposal.

Member Merrill made a motion to recommend approval of the request contingent upon the applicant providing a more detailed map clearly identifying the boundaries of the area to be rezoned prior to consideration by the Board of Commissioners, noting that the request does comply with the Future Land Use Map. Member Gillikin made the second. Secretary Winn conducted a roll call vote. The motion passed unanimously.

2. Case No. 21-13. Text Amendment modifying language in the Land Development Ordinance & Subdivision Ordinance to meet the Statutory Changes Per 160D.

Chair Neve explained that the text of this request is not up for debate, as it is based on the new 160D statutes. If approved, the request will then be vetted by the town attorney.

Mr. Kyle Garner provided a brief background of the changes before the Board, noting that the changes were made by the consultant, Stewart. He further added that the changes have not been fully vetted by the attorneys. He said that the deadline for compliance with the new statutes is July 1st, and that staff will request the Board of Commissioners authorize the attorney to review the proposed changes at the upcoming Work Session.

Mr. Garner said that he wanted to discuss/highlight a few proposed changes, some of which the Board has considered in the past. The first would be the additional requirement for an applicant to hold a neighborhood meeting as a part of any rezoning request. Mr. Garner explained that this is something staff currently recommends to applicants, but by making it a part of the ordinance, it would be required rather than optional.

Mr. Garner then explained permit choice. For example, if Member Meelheim submitted an application and staff is in the midst of a text amendment, the new law would give her the choice to use the ordinance as it was or as it was amended. Mr. Garner then provided a brief history of the planning statutes, noting that this is a big overhaul as there have not been many changes to the statutes regulating planning and development in decades.

Mr. Garner then gave a presentation regarding the 160D updates. (A copy of the presentation is included in the meeting packet materials and is incorporated herein by reference). Following the presentation, discussion ensued. Mr. Garner reiterated that the attorneys would review the document prior to its adoption.

Chair Neve asked the Board for any questions; there were none. Mr. Arey Grady, Town Attorney, agreed with Mr. Garner's presentation and added that there will likely be technical corrections going forward.

Chair Neve asked if anyone in attendance would like to speak for the public hearing. No members of the public asked to speak.

Vice Chair Merrill asked for clarification as Mr. Grady said that 160D is not law yet, but Mr. Garner said that it had to be adopted by July 1, 2021 to be in compliance. Mr. Grady explained that the statute was effective January 1, but allowed a six month grace period to implement the changes which ends July 1, 2021.

Member LoPiccolo asked if the proposed structure is required, or if there could be changes/additions going forward, noting that some of these changes bypass the Planning Board review. Mr. Garner thanked Member LoPiccolo for his question, and reiterated that the attorneys will be vetting the document. Mr. Grady added that there are some elements that are written in stone, but other elements do have flexibility depending on the jurisdiction's preference.

Vice Chair Merrill asked if, based on the changes in the ordinance, final plats would come before the Planning Board. Mr. Garner said that as it stands right now, subdivisions and site plans would be a quasi-judicial proceeding. Discussion ensued.

Member Gillikin made a motion to approve the text amendments as presented, contingent upon town attorney review. Member Meelheim seconded the motion. Secretary Winn conducted a roll call vote. The motion passed unanimously.

**New Business**

1. To recommend approval or denial to the Board of Commissioners for the Site Plan for East Port II Apartments proposing 48 apartment units (8-One bedrooms; 20-Two Bedrooms; and 20-Three bedrooms).

Mr. Garner gave a presentation on the request. He explained that the applicant wishes to construct three multi-family buildings that will contain 48 total units with a total square footage of 31,948 square feet. Mr. Garner added that the request would require sewer allocation through the Public Services Department based on the recently adopted sewer allocation policy. Mr. Garner then showed the proposed layout and landscaping plan of the proposal. He added that these are very similar to the existing units at Eastport at the Park. Staff has reviewed the request and believes that the proposal meets the design criteria required in the Land Development Ordinance and as such recommends approval of the request.

Chair Neve asked the applicant and the applicant's representative if they had anything else to add to the presentation. Mr. Chase Cullipher, The Cullipher Group, did not have anything additional to add, but added that he is available for any questions the Board may have. Discussion ensued. Chair Neve asked about the retaining wall shown on the plans. Mr. Cullipher said that the geotechnical recommended placing 2 feet of fill on the site, and the retaining wall will be in place for stormwater to drain properly.

Chair Neve asked for any additional questions or a motion on the request. Vice Chair Merrill made a motion to recommend approval of the site plan as presented, as well as the sewer allocation as requested. Member Meelheim seconded the motion. Secretary Winn conducted a roll call vote. The motion passed unanimously.

**Public Comment**

There were none.

**Commission / Board Comments**

Member Meelheim thanked staff for their hard work.

Member Gillikin said that the items on the agenda tonight were full of important things. She added that she is excited to see additional open space in Front Street Village, as well as the forthcoming affordable housing.

Chair Neve thanked staff for their efforts putting together such a thorough packet.

**Staff Comments**

Mr. Garner thanked the Board for their time and willingness to make challenging decisions. He added that the agenda next month will have at least two items, potentially more.

**Adjourn**

Member LoPiccolo made a motion to adjourn. Member Gillikin seconded the motion. Secretary Winn conducted a roll call vote. The motion passed unanimously.

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Ryan Neve, Chair

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Denice Winn, Board Secretary



# Staff Report

**To:** Planning Board  
**From:** Kate Allen

**Date:** 6/9/2021  
**Meeting Date:** 6/21/2021

## Case Number 21-18

**Summary of Request:**

Request to Rezone 100 Fairview Drive and 1310 Live Oak Street from B-1 General Business to TCA Townhomes, Condominiums and Apartments

### Background

**Location(s) & PIN**

1. 100 Fairview Drive (PIN 730615626574000)
2. 1310 Live Oak Street (PIN 730615625546000)

**Owner  
Applicant**

Beaufort Properties – NM, LLC  
Pamlico Limited Partnership

**Current Zoning**

B-1 General Business

**Lot(s) Size & Conformity Status**

1. 0.936 acres or 40,772.16 ft<sup>2</sup>  
Conforming Lot of Record  
Road Frontage – Fairview Drive 149.99’
2. 0.653 acres or 28,444.68 ft<sup>2</sup>  
Conforming Lot of Record  
Road Frontage – Live Oak Street 95.83’  
Road Frontage – Fairview Drive 309.01’

**Existing Land Use**

Vacant

**CAMA Future Land Use Map  
Amendment Required**

Medium Density Residential  
 Yes     No    High Density Residential

**Adjoining Land Use & Zoning**

**North**    B-1; Commercial  
**South**    R-8; Residential  
**East**     R-8; Residential  
**West**     R-8; Residential

**Special Flood Hazard Area**

Yes     No    Shaded X

**Public Utilities**

Water             Available             Not Available  
Sewer             Available             Not Available

**Additional Information**

See Staff Comments

**Requested Action**

Provide consistency statement and recommendation to the Board of Commissioners

## Staff Comments

The total area of the two lots combined is 1.589 acres (+/-). Based on the maximum density of 12 units per acre, the maximum number of units possible, if approved, is 19.

### The current **B-1 General Business District Standards**

Minimum Lot Size	5,000 Square Feet	Setbacks
Minimum Lot Width	60 Feet	Front 30 Feet
Maximum Building Height	40 Feet	Rear 15 Feet
Maximum Impervious	N/A	Side 15 Feet

### The requested **TCA Townhomes, Condominiums and Apartments District Standards**

Minimum Lot Size	2,750 Square Feet	Setbacks
Minimum Lot Width	80 Feet	Front 25 Feet
Maximum Building Height	35 Feet	Rear 30 Feet
Maximum Impervious	N/A	Side 8 Feet
		ROW Side 15 Feet

### Consistency Statement & CAMA Core Land Use Plan Amendment

In accordance with **NCGS § 160A-383**, the consistency statement must include one of the following:

- A statement recommending approval of the zoning amendment and describing its consistency with the CAMA Core Land Use Plan
- A statement recommending denial of the zoning amendment and describing its inconsistency with the CAMA Core Land Use Plan
- A statement recommending approval of the zoning amendment containing the following:
  - Declaration that the approval is also deemed an amendment to the CAMA Core Land Use Plan
  - An explanation of the change in conditions the board took into consideration when recommending approval

### CAMA Core Land Use Plan – Future Land Use Classifications

#### **Current: Medium Density Residential**

The Medium Density Residential classification is intended to delineate lands where the predominant land use is higher density single-family residential developments and/or two-family developments. The residential density within this classification is generally 3 to 5 dwelling units per acre. Minimum lot sizes vary from 8,000 to 10,000 square feet unless a larger minimum lot area is required by the health department for land uses utilizing septic systems. Land uses within Medium Density Residential-designated areas are generally compatible with the R-8, Medium Density Residential, R-8A Single-family Medium Density Residential Waterfront; R8-MH Residential Manufactured Home Park/Recreational Vehicle Park; and H-BD, Historic Business Zoning Districts. Public water



is widely available and sewer service is required to support the higher residential densities in this classification. Streets with the capacity to accommodate higher traffic volumes are also necessary to support Medium Density Residential development.

**Requested: High Density Residential**

The High Density Residential classification is intended to delineate lands where the predominant land use is higher density single-family residential developments and/or multifamily developments. The residential density within this classification is generally 6 to 16 dwelling units per acre. The minimum lot size is 2,750 square feet per unit unless a larger minimum lot area is required by the health department for land uses utilizing septic systems. Land uses within High Density Residential-designated areas are generally compatible with the RC-5, Residential Cluster Development and the RS-5, Residential Single-Family 5 Development Zoning Districts. Public water and sewer service is required to support the residential densities in this classification. Streets with the capacity to accommodate higher traffic volumes are also necessary to support High Density Residential development.

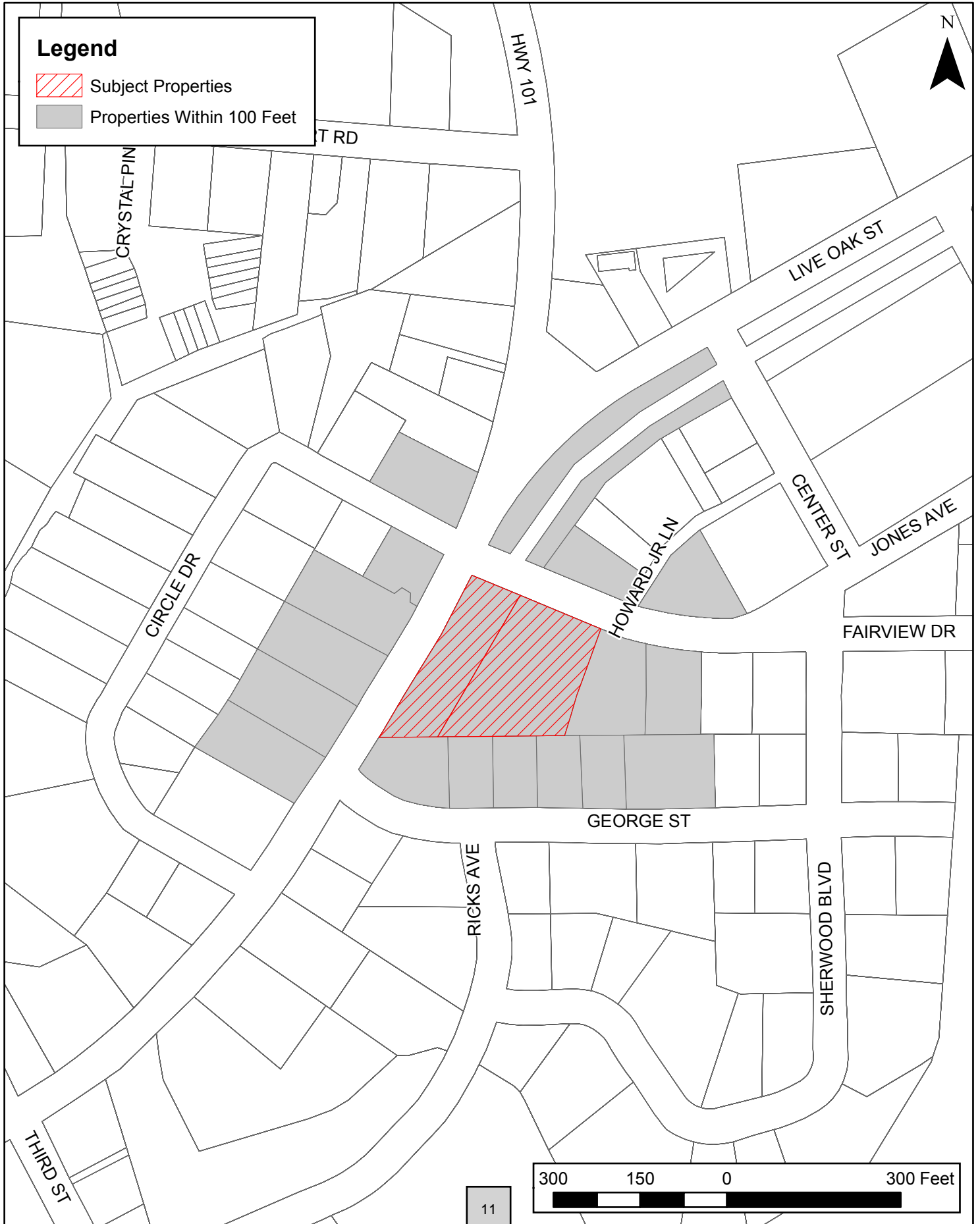
**Attachments:**

- 1. Property Owners Within 100 Feet
- 2. Vicinity Map
- 3. Aerial Map
- 4. Current Zoning Map
- 5. Future Land Use Map
- 6. Flood Hazard Areas Map
- 7. LDO Excerpts – B-1 General Business District
- 8. LDO Excerpts – TCA Townhomes, Condominiums and Apartments District
- 9. Application as Submitted

OWNER	MAILING ADDRESS	CITY STATE ZIP
ANNIE L JONES COMPANY INC	120 JERICHO DRIVE	BEAUFORT NC 28516
O'BERRY, WALTER S IV ETUX M.	127 CIRCLE DRIVE	BEAUFORT NC 28516
MORRIS FAMILY VENTURES LLC	PO BOX 12587	NEW BERN NC 28561
CROBAR, SANDRA K	128 CIRCLE DRIVE	BEAUFORT NC 28516
WPJS PROPERTIES LLC	PO BOX 88	WINTERVILLE NC 28590
RECKER, BRIAN E ETUX EMILY W	1311 LIVE OAK STREET	BEAUFORT NC 28516
BEAUFORT PROPERTIES-NM LLC	PO BOX 10189	WILMINGTON NC 28404
BEAUFORT PROPER HOLDINGS LLC	2441 HWY 70 E	BEAUFORT NC 28516
BICKLEY, JENNIFER LYNN	102 FAIRVIEW DRIVE	BEAUFORT NC 28516
BOYETTE, TRENT CHRISTIAN ETAL	104 FAIRVIEW ROAD	BEAUFORT NC 28516
DARRESS, ROBERT L ETUX MARIA L	1307 LIVE OAK STREET	BEAUFORT NC 28516
SCHMIDT, ALVA R ETUX DIANE	1305 LIVE OAK ST	BEAUFORT NC 28516
BULLOCK, THOMAS M ETUX JANE	209 GEORGE ST	BEAUFORT NC 28516
GARRIS, ROBERT J SR ETUX KAREN	108 POPLAR RIDGE ROAD	GOLDSBORO NC 27534
GARNER, EUGENE M JR ETUX DIANNE	173 JACKSON DRIVE	BEAUFORT NC 28516
DIXON, JOSEPH CARL	201 GEORGE STREET	BEAUFORT NC 28516
HILL, GEORGE STEPHEN	1904 SNOWY EGRET DRIVE	MOREHEAD CITY NC 28557
TARR, CYNTHIA RAE	1322 HWY 101	BEAUFORT NC 28516

# Vicinity Map

Case No. 21-18



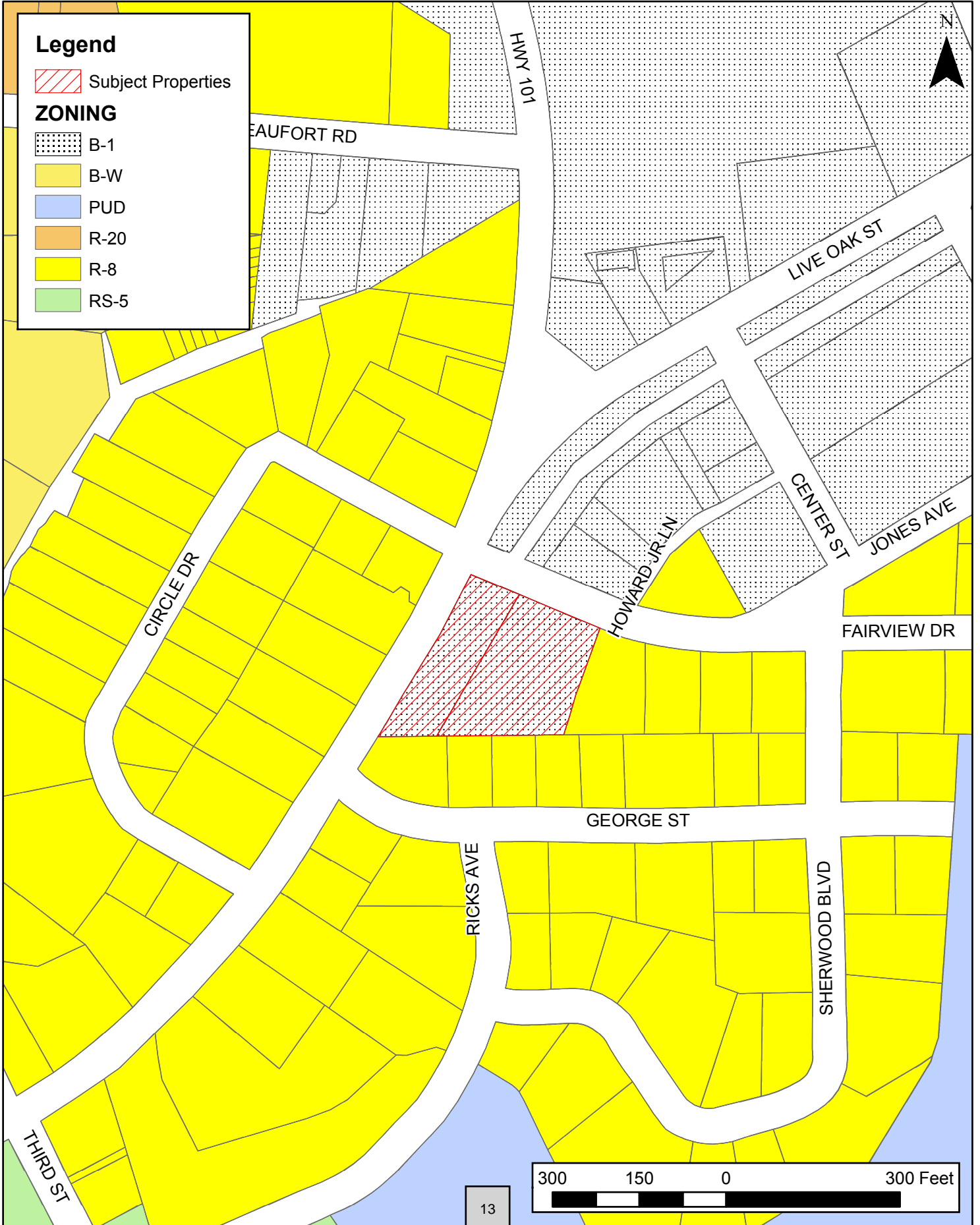
# Aerial Map

Case No. 21-18



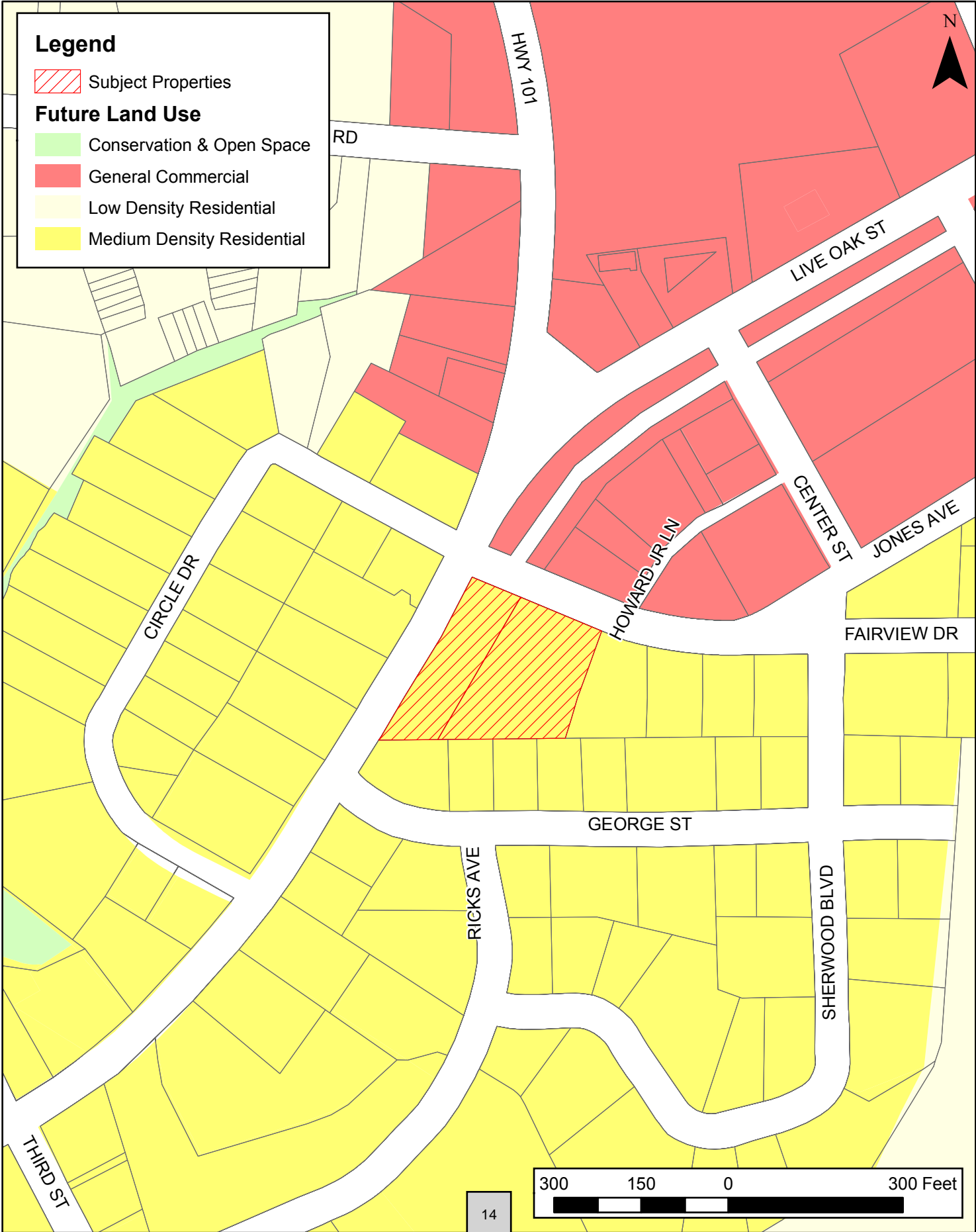
# Zoning Map

Case No. 21-18



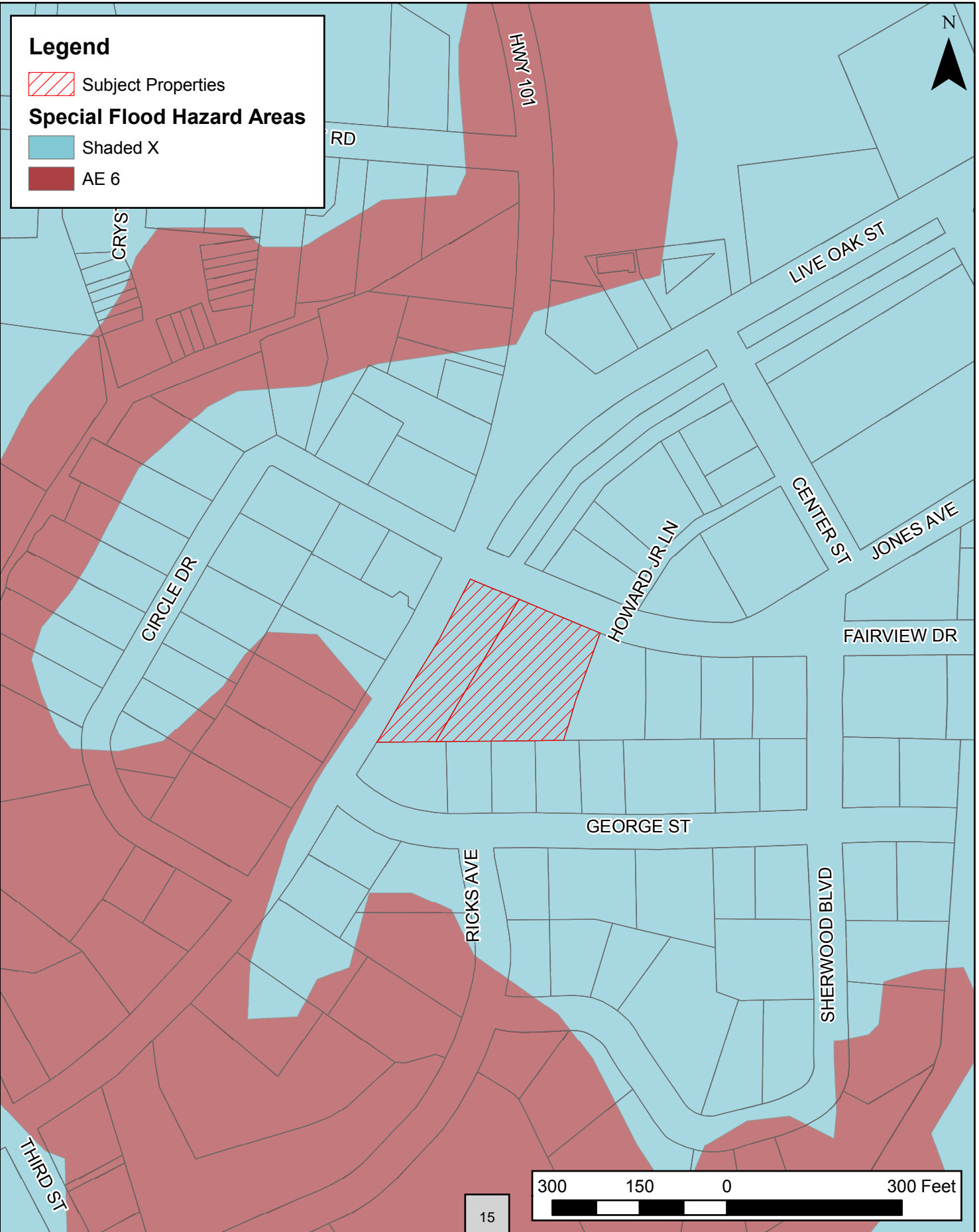
# Future Land Use Map

Case No. 21-18



# Special Flood Hazard Areas Map

Case No. 21-18



**C) B-1 General Business District.**

The General Business District is established as the district in which a wide variety of sales and service facilities may be provided to the general public. This district will be located throughout the Town's planning jurisdiction.

1) Minimum Lot Size.

All lots in the B-1 district shall be a minimum of five thousand square feet (5,000 ft<sup>2</sup>).

2) Minimum Lot Width.

All lots in the B-1 district shall have a minimum lot width of sixty feet (60') at the minimum building line.

3) Building Setback and Building Height Requirements and Limitations.

Subject to the exceptions allowed in this Ordinance, each structure on a lot in this zoning district shall be set back from the boundary lines of the lot at least the distances provided in the tables set forth in this section. The building height limitation in this district is provided in the tables set forth in this section.

**Table 9-5 Lot Requirements**

<i>District</i>	<i>Front Setback (Right-of-Way)</i>	<i>Rear Setback</i>	<i>Side Setback</i>	<i>Building Height Limitation</i>
B-1	30 feet	15 feet	15 feet	40 feet

4) Accessory Building Setback Requirements.

All accessory buildings must comply with the setback requirements as set forth in section 2-F of this Ordinance, section 6 of this Ordinance, section 15 of this Ordinance, and all sections of this Ordinance.

5) Permitted Uses.

- |                                       |                                                            |
|---------------------------------------|------------------------------------------------------------|
| Amusement Establishment               | Dry Boat Storage                                           |
| Antenna Co-Location on Existing Tower | Financial Institution                                      |
| Aquaculture                           | Government/Non-Profit Owned/Operated Facilities & Services |
| Assisted Living                       | Hospital                                                   |
| Athletic Field, Public                | Hotel or Motel                                             |
| Bed & Breakfast                       | Kennel, Indoor Operation Only                              |
| Boat Sales/Rentals                    | Library                                                    |
| Car Wash                              | Liquor Store                                               |
| Club, Lodge, or Hall                  | Moped/Golf Cart Sales/Rentals                              |
| Commercial Indoor Recreation Facility | Mortuary/Funeral Home/Crematorium                          |
| Community Garden                      | Motor Vehicle Sales/Rentals                                |
| Concealed (Stealth) Antennae & Towers | Museum                                                     |
| Convenience Store                     | Neighborhood Recreation Center, Public                     |
| Day Care Center                       | Nursing Home                                               |
| Dock                                  | Office: Business, Professional, or Medical                 |



Other Building-Mounted Antennae &  
Towers  
Outdoor Retail Display/Sales  
Park, Public  
Parking Lot  
Parking Structure  
Personal Service Establishment  
Pool Hall or Billiard Hall  
Produce Stand/Farmers' Market  
Public Safety Station  
Public Utility Facility  
Religious Institution  
Resource Conservation Area

Restaurant with Drive-Thru Service  
Restaurant with Indoor Operation  
Retail Store  
Satellite Dish Antenna  
Signs, Commercial Free-Standing  
Tavern/Bar/Pub with Indoor Operation  
Temporary Construction Trailer  
Theater, Small  
Transportation Facility  
Utility Minor  
Vehicle Charging Station  
Vehicle Service

6) Special Uses (*Special Uses* text may be found in section 20 of this Ordinance).

Adult-Oriented Retail Establishment  
Commercial Outdoor Amphitheater  
Commercial Outdoor Recreation  
Facility  
Commercial Waterfront Facility  
Gas/Service Station  
Golf Driving Range  
Hazardous Material Storage  
Kennel, Indoor/Outdoor Operation  
Manufacturing, Light  
Marina  
Microbrewery  
Microdistillery

Mini-Storage  
Mixed Use  
Outdoor Amphitheater, Public  
Outdoor Storage  
Preschool  
Restaurant with Outdoor Operation  
School, K-12  
School, Post-Secondary  
Tavern/Bar/Pub with Outdoor Operation  
Theater, Large  
Utility Facility  
Wholesale Establishment

## SECTION 8 Transitional Zoning Districts

### A) *TCA Townhomes, Condominiums, Apartments District.*

This district is established to provide a high density district in which the primary uses are multi-family residences and duplexes. Uses in this district which require potable water or sanitary sewer must be connected to both municipal water and municipal sewer.

1) Maximum Overall Density.

The TCA district shall have a maximum density of twelve units per acre.

2) Minimum Lot Size.

All lots in the TCA district shall be a minimum of two thousand, seven hundred, and fifty square feet (2,750 ft<sup>2</sup>) per dwelling unit.

3) Minimum Lot Width.

All lots in the TCA district shall have a minimum lot width of eighty feet (80') at the minimum building line.

4) Building Setback and Building Height Requirements and Limitations.

Subject to the exceptions allowed in this Ordinance, each structure on a lot in this zoning district shall be set back from the boundary lines of the lot at least the distances provided in the tables set forth in this section. The building height limitation in this district is provided in the tables set forth in this section.

**Table 8-1 Interior Lot Requirements**

<i>District</i>	<i>Front Setback (Right-of-Way)</i>	<i>Rear Setback</i>	<i>Side Setbacks</i>	<i>Building Height Limitation</i>
TCA	25 feet	25 feet	8 feet	35 feet

**Table 8-2 Corner Lot Requirements**

<i>District</i>	<i>Designated Front (Right-of-Way) Setback</i>	<i>Designated Side (Right-of-Way) Setback</i>	<i>Rear Setback</i>	<i>Side Setback</i>	<i>Building Height Limitation</i>
TCA	25 feet	15 feet	30 feet	8 feet	35 feet

**Table 8-3 Double Frontage Lot Requirements**

<i>District</i>	<i>Designated Front (Right-of-Way) Setback</i>	<i>Designated Rear (Right-of-Way) Setback</i>	<i>Side Setbacks</i>	<i>Building Height Limitation</i>
TCA	25 feet	15 feet	8 feet	35 feet

5) Accessory Building Setback Requirements.

All accessory buildings must comply with the lot setback requirements as set forth in section 2-F, section 6, section 15, and all the other sections of this Ordinance.

6) Covenants.

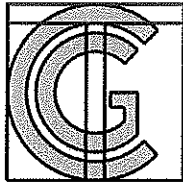
In any development proposing common areas, jointly-used structures, or private streets, restrictive and protective covenants which provide for party wall rights, harmony of external design, continuing maintenance of building exteriors, grounds, or other general use improvements and similar matters, shall be submitted to the Town and approved by the BOC. Condominium development must submit evidence of compliance with the North Carolina Condominium Act.

7) Permitted Uses.

Antenna Co-Location on Existing Tower	Home Occupation
Assisted Living	Neighborhood Recreation Center Indoor/Outdoor, Private
Athletic Field, Public	Neighborhood Recreation Center, Public
Carport	Nursing Home
Community Garden	Park, Public
Concealed (Stealth) Antennae & Towers	Public Safety Station
Dock	Public Utility Facility
Dormitory	Resource Conservation Area
Dwelling, Duplex/Townhome	Shed
Dwelling, Multi-Family	Signs, Commercial Free-Standing
Garage, Private Detached	Temporary Construction Trailer
Government/Non-Profit Owned/ Operated Facilities & Services	Utility Minor
Group Home	Vehicle Charging Station

8) Special Uses (*Special Uses* text may be found in section 20 of this Ordinance).

Athletic Field, Private	Restaurant with Indoor Operation
Dwelling, Single-Family	Restaurant with Outdoor Operation
Golf Course, Privately-Owned	Retail Store
Golf Driving Range	Satellite Dish Antennas
Hotel or Motel	School, Post-Secondary
Marina	Tavern/Bar/ Pub with Indoor Operation
Mixed Use	Tavern/Bar/ Pub with Outdoor Operation
Outdoor Amphitheater, Public	Theater, Small
Personal Service Establishment	Transportation Facility
Preschool	Utility Facility
Religious Institution	
Restaurant with Drive-Thru Service	



**THE CULLIPHER GROUP, P.A.**  
**ENGINEERING & SURVEYING SERVICES**

HESTRON PLAZA TWO  
151-A NC HWY 24  
MOREHEAD CITY, NC 28557  
P:(252) 773-0090  
F:(252) 773-0243

# LETTER OF TRANSMITTAL

To: \_\_\_\_\_  
Town of Beaufort \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE June 1, 2021
JOB NO. PM1070~012
ATTENTION Kyle Garner
RE: 100 Fairview Drive & 1310 Live Oak Street Rezoning Request

**WE ARE SENDING YOU:**

COPIES	DATE	NO.	DESCRIPTION
1	5/28/2021	30273831	Fee \$300.00
1	5/27/2021		Application for an Amendment to the Beaufort Zoning Map
1			Rezoning Request
12	5/27/2021	R.0	Rezoning Request B-1 to TCA Map

**THESE ARE TRANSMITTED as checked below:**

- For approval
- For your use
- As requested
- FOR BIDS DUE \_\_\_\_\_
- PRINTS RETURNED AFTER LOAN TO US
- Resubmit \_\_\_\_\_ copies for approval
- Submit \_\_\_\_\_ copies for distribution
- For review and comment

**REMARKS** Rezoning request for planning board approval. Please contact Ron Cullipher with any questions or comments. Thank you.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

COPY TO \_\_\_\_\_

SIGNED \_\_\_\_\_



Town of Beaufort  
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516  
252-728-2141 • 252-728-3982 fax  
www.beaufortnc.org

**APPLICATION FOR AN AMENDMENT TO THE  
BEAUFORT ZONING MAP**

**Instructions:**

Please complete the application below, include all the required attachments and the **\$300.00** for **Rezoning request with no Land Use Plan Change** or **\$400.00** for **Rezoning Request with Land Use Plan Change** and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

**APPLICANT INFORMATION**

Applicant Name: PAMPICO LIMITED PARTNERSHIP  
Applicant Address: 308 STEEP POINT ROAD BEAUFORT, NC 28516  
Phone Number: 252-723-9210 Email: JTAYLOR@BFTNC.GMAIL.COM

Property Owner Name: BEAUFORT PROPERTIES - NM, LLC  
Address of Property Owner: 131-B MILITARY LODGE RD WILMINGTON, NC 28405  
Phone Number: 910 256 2211 x 1125 Email: JASON@SWAINASSOCIATES.COM

**PROPERTY INFORMATION**

Property Address: 100 FAIRVIEW DR + 1310 LIVE OAK STREET  
15-Digit PIN: 730615626574000 + 730615625546000 Lot/Block Number: \_\_\_\_\_  
Size of Property (in square feet or acres): 0.936 acres + 0.653  
Current Zoning: B-1 Requested Zoning: TCA

Current Use of Property:  Residential  Vacant  Commercial  Other: \_\_\_\_\_  
Applicant Signature: [Signature] Date of Applicant's Signature: 5-27-2021  
Property Owner Signature (if different than applicant): [Signature] Date of Owner's Signature: 5/25/2021

An application fee of **\$300.00** for **Rezoning request with no Land Use Plan Change** or **\$400.00** for **Rezoning Request with Land Use Plan Change**, either in cash, money order, or check made payable to the "Town of Beaufort," should accompany this application. Payments can be made in person on the day of submittal and at such time, a credit card can be used to make the payment. Credit card payments are subject to a 3% extra fee.

# REZONING REQUEST

**1310 LIVE OAK ST & 100 FAIRVIEW DR.**

BEAUFORT, NORTH CAROLINA

CURRENT ZONING B-1 COMMERCIAL

PROPOSED ZONING TCA- TOWNHOMES, CONDOMINIUMS AND APARTMENTS

PROPERTY OWNER: BEAUFORT PROPERTIES- NM, LLC  
 PO BOX 10189  
 WILMINGTON, NC 28404

APPLICANT: PAMPLICO LIMITED PARTNERSHIP  
 JACK TAYLOR

PIN NO.S 730615625546000, 73061526574000

**BACKGROUND:** THESE PROPERTIES ARE THE FORMER LOCATION OF A GAS STATION THAT WAS DEMOLISHED SOMETIME AFTER 2004. THE PROPERTY HAS REMAINED VACANT SINCE THAT TIME. THESE PROPERTIES WERE A PORTION OF JONES VILLAGE AS PLATTED IN 1956. THE TOWN OF BEAUFORT APPEARS TO HAVE INSTALLED THEIR FIRST WASTEWATER TREATMENT PLANT IN 1969, WELL AFTER JONES VILLAGE WAS PLATTED. LOT SIZES IN THIS AREA WOULD HAVE REQUIRED SEPTIC SYSTEMS AT THAT TIME AND AS SUCH REQUIRED LARGER LOT SIZES TO ACCOMMODATE THE SEPTIC SYSTEMS.

THESE PROPERTIES ARE CURRENTLY ZONED B-1 WHICH ADJOINS R-8 PROPERTY TO THE EAST, SOUTH AND WEST (WEST BEING ACROSS LIVE OAK STREET) ALONG WITH B-1 PROPERTY TO THE NORTH. THE B-1 ZONE COMMERCIAL ZONE ALLOWS FOR A LOT OF HIGH INTENSITY USES WHILE THE PROPOSED TCA ZONING WOULD BE MORE RESTRICTIVE AND A BETTER TRANSITION ABUTTING THE R-8 ZONING.

**FUTURE LAND USE PLAN:** THE TOWN OF BEAUFORT FUTURE LAND USE PLAN SHOWS THIS AREA AS A MEDIUM DENSITY RESIDENTIAL AREA. SO, THE TRANSITION FROM COMMERCIAL TO RESIDENTIAL WAS IDENTIFIED AS A GOAL IN THE LATEST PLAN. THE MEDIUM DENSITY RESIDENTIAL IS DESCRIBED AS 3 TO 5 UNITS PER ACRE BUT DOESN'T SPECIFICALLY TAKE INTO ACCOUNT THAT PROPERTIES THAT HAVE MUNICIPAL SEWER CAPABILITY WOULD SUPPORT HIGHER DENSITIES. TCA ZONING DISTRICTS APPEAR TO HAVE BEEN CREATED AFTER THE CURRENT LAND USE PLAN. SEVERAL PROPERTIES HAVE BEEN REZONED TO TCA WITH DENSITIES UPTO 12 UNITS/ACRE. SHOULD THE REZONING BE APPROVED THE PLAN WOULD BE TO UTILIZE THE UPPER LIMITS OF THE ALLOWABLE DENSITY. THE LAND USE PLAN IS FROM 2006 AND THE NEW ZONING ORDINANCE WAS ADOPTED IN 2013 SO THE LUP DID NOT IDENTIFY THE OPPORTUNITIES FOR MORE FLEXIBILITY IN RESIDENTIAL USES.

**PROMOTE PUBLIC HEALTH, SAFETY OR GENERAL WELFARE FOR THE TOWN OF BEAUFORT:** THESE COMMERCIAL PROPERTIES IF REZONED TO TCA WOULD ALLOW MULTI-FAMILY DEVELOPMENT TO BE CONSTRUCTED TO CURRENT BUILDING CODES AND ZONING ORDINANCES WHICH ARE DESIGNED TO PROMOTE PUBLIC HEALTH AND SAFETY FOR THE TOWN OF BEAUFORT.

Property Owners within 100' of  
100 Fairview Drive (730615626574000) & 1310 Live Oak Street (730615625546000)

1. Annie L Jones Company Inc  
NCPIN: 730615627985000  
120 Jericho Drive  
Beaufort, NC 28516
2. Morris Family Ventures LLC  
NCPIN: 730615627791000  
PO Box 12587  
New Bern, NC 28561
3. WPJS Properties LLC  
NCPIN: 730615629659000  
PO Box 88  
Winterville, NC 28590
4. Bickley, Jennifer Lynn  
NCPIN: 730615628524000  
102 Fairview Drive  
Beaufort, NC 28516
5. Boyette, Trent Christian etal  
NCPIN: 730615629513000  
104 Fairview Drive  
Beaufort, NC 28516
6. Garris, Robert J Sr. etux Karen  
NCPIN: 730619628305000  
108 Poplar Ridge Road  
Goldsboro, NC 27534
7. Garner, Eugene M Jr. etux Dianne  
NCPIN: 730619627325000  
173 Jackson Drive  
Beaufort, NC 28516
8. Dixon, Joseph Carl  
NCPIN: 730619626345000  
201 George Street  
Beaufort, NC 28516
9. Hill, George Stephen  
NCPIN: 730619625376000  
1904 Snowy Egret Drive  
Morehead City, NC 28557
10. Tarr, Cynthia Rae  
NCPIN: 730619624396000  
1322 Hwy 101  
Beaufort, NC 28516
11. Schmidt, Alva R etux Diane  
NCPIN: 730619622319000  
1305 Live Oak Street  
Beaufort, NC 28516
12. Darress, Robert L etux Maria L  
NCPIN: 730619622486000  
1307 Live Oak Street  
Beaufort, NC 28516
13. Beaufort Proper Holdings LLC  
NCPIN: 730615623517000  
2441 Hwy 70 E  
Beaufort, NC 28516
14. Recker, Brian E etux Emily W  
NCPIN: 730615623655000  
1311 Live Oak Street  
Beaufort, NC 28516
15. Crobar, Sandra K  
NCPIN: 730615624752000  
128 Circle Drive  
Beaufort, NC 28516
16. O'Berry, Walter S IV etux M  
NCPIN: 730615624897000  
127 Circle Drive  
Beaufort, NC 28516



VICINITY MAP  
NOT TO SCALE

OWNER N/F  
CROBAR, SANDRA K  
NCPIN 730615624752000  
ZONED R8

OWNER N/F  
ANNIE L JONES COMPANY INC  
NCPIN 730615627985000  
ZONED B1

OWNER N/F  
MORRIS FAMILY VENTURES LLC  
NCPIN 730615627791000  
ZONED B1

OWNER N/F  
RECKER, BRIAN E  
ETUX EMILY W  
NCPIN 730615623655000  
ZONED R8

OWNER N/F  
BEAUFORT PROPER HOLDINGS LLC  
NCPIN 730615623517000  
ZONED R8

OWNER N/F  
DARRESS, ROBERT L  
ETUX MARIA L  
NCPIN 730619622486000  
ZONED R8

OWNER N/F  
TARR, CYNTHIA RAE  
NCPIN 730619624396000  
ZONED R8

OWNER N/F  
HILL, GEORGE STEPHEN  
NCPIN 730619625376000  
ZONED R8

OWNER N/F  
DIXON, JOSEPH CARL  
NCPIN 730619626345000  
ZONED R8

OWNER N/F  
GARNER, EUGENE M JR  
ETUX KAREN  
NCPIN 730619628305000  
ZONED R8

LIVE OAK STREET  
60' R/W

CAROLINA AVENUE  
UNDEVELOPED  
QUIT CLAIM DB1222 PG 74

FAIRVIEW DRIVE  
60' R/W

OLD LOT LINE

OLD LOT LINE

92.82 N83°13'22"W

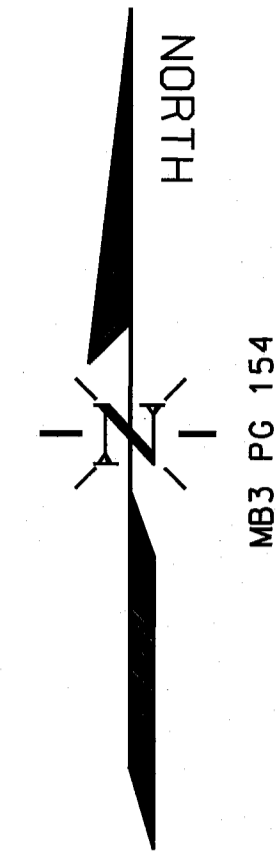
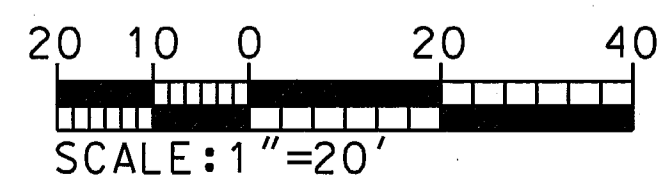
215.13 N83°13'22"W

80.19 N32°57'10"E

95.83 S61°44'26"E

149.99 S61°44'26"E

193.59 S27°53'01"W



COPY OF SURVEY PROVIDED TO THE CULLIPHER GROUP, P.A.,  
ENTITLED BOUNDARY SURVEY FOR TURTLE CREEK (PHASE III), LLC  
PREPARED BY TIMMONS GROUP ISSUED AND SEALED BY KENT J. FRANKLIN  
ON JUNE 14, 2007

REVISIONS:

No.	BY	DATE	DESCRIPTION

REZONING REQUEST B-1 TO TCA  
1310 LIVE OAK ST &  
100 FAIRVIEW DR.

BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

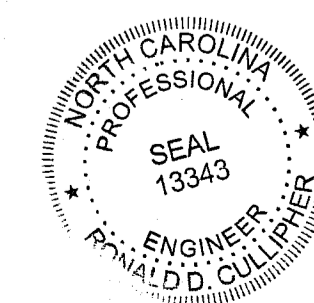
OWNER: BEAUFORT PROPERTIES-NM, LLC  
ADDRESS: PO BOX 10189  
WILMINGTON, NC 28404

DESIGNED: RDC  
DRAWN: RDC  
CHECKED: RDC  
APPROVED: RDC

THE CULLIPHER GROUP, P.A.  
ENGINEERING & SURVEYING SERVICES  
151A HIGHWAY 24  
MORRHEAD CITY, N.C. 28557  
(252) 373-0090 LICENSE NO. C-4482

RONALD D. CULLIPHER P.E.

DATE: 5/27/21  
SCALE: 1"=20'







**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, June 21, 2021 – Virtual Meeting via Zoom**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case #20-17 Special Use Permit for a Gas/Service Station at 1550 Lennoxville Road

**BRIEF SUMMARY:**

The applicant wishes to apply for a Special Use Permit for a Gas/Service Station for 1550 Lennoxville Road. A description of the operation is included the packet and Staff Report.

**REQUESTED ACTION:**

Recommendation to Board of Commissioners

**EXPECTED LENGTH OF PRESENTATION:**

20 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director

**BUDGET AMENDMENT REQUIRED:**

N/A

# PLANNING BOARD STAFF REPORT

**To:** Planning Board Members  
**From:** Kyle Garner, AICP, Planning Director  
**Date:** June 4, 2021  
**Case No.:** 21-17

**THE REQUEST:** Special Use Permit for Jim Dandy Community Store

**BACKGROUND:**

Location: 1550 Lennoxville Road  
Owner: Sara Austin  
Applicant: Jim Dandy Stores  
Requested Action: Provide Recommendation to Board of Commissioners  
CAMA Land Use: Medium Density Residential  
PIN: 730507699596000  
Size: .478 Acres  
Existing Land Use: Austin vet. Clinic  
Adjoining Land Use & Zoning: North - Single-Family Residences; Zoned R-8 (Briar Patch)  
South – Beaufort Walk Subdivision – Zoned TR (Transitional)  
West – The Oaks Subdivision - Zoned RC-5  
East – Single-Family Residences; Zoned R-8 (Ocean)

**SPECIAL INFORMATION:** This is an existing building and a vet business already exists. Prior to the vet office the site was previously used as a convenience store operation for over 20 years.

**Public Utilities:** Water Existing Service  
Sanitary Sewer Existing Service

**ACTION:**

1. Provide consistency statement to the Board of Commissioners; and
2. Provide comments, concerns and suggestions to the Board of Commissioners



**STAFF COMMENTS:**

This application is for a Special Use Permit for Gas/Service Station per the Light Industrial Zoning District. This is an existing building and a vet business already exists. Prior to the vet office the site was previously used as a convenience store operation for over 20 years. Even though the use is not consistent with the future land use plan the use is consistent with the current zoning in place with a Special Use Permit.

Section 6-F - Height & Area Supplements & Exceptions allows the encroachment of the canopy to the property line (Lennoxville Road) See Section 6-F Exhibit.

Section 20-B - Special Use Permits (Special Use Permit Application Procedures) requires a complete application to include a site plan.

**SECTION 20 Special Use Permit (*Town of Beaufort Land Development Ordinance*)**

**E) Required Findings**

1) In addition to any other findings or requirements as specified by any other section of this Ordinance, before any application for a special use may be granted or denied, the BOC shall make each of the following findings:

- a) The proposed use is an allowable special use in the zoning district it is being located within;
- b) The application is complete;
- c) The location and character of the use will be in conformity with the Town’s land use plan and other comprehensive planning elements;
- d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
- e) The proposed special use will not substantially injure the value of adjoining or abutting properties;
- f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and,
- g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.



## ***CAMA Core Land Use Plan***

Generally, growth and land development is anticipated to occur in all future land use categories except for the Conservation/Open Space classification. The type and density/intensity of projected development varies within each Future Land Use Map classification. Future Land Use projections are delineated in Figure 8, Future Land Use Map. The Future Land Use Map classifications are considered part of the Land Use Plan’s policy.

### **Future Land Use Map Classifications**

- **Medium Density Residential Classification.** The Medium/High Density Residential classification encompasses approximately 0.8 square miles (483 acres) or about 10 Percent of the total planning jurisdiction. The majority of the properties classified as Medium Density Residential are generally located immediately surrounding the Beaufort downtown area as well as north and east of the downtown area.
- The Medium Density Residential classification is intended to delineate lands where the predominant land use is higher density single-family residential developments and/or two-family developments. The residential density within this classification is generally 3 to 5 dwelling units per acre. Minimum lot sizes vary from 8,000 to 10,000 square feet unless a larger minimum lot area is required by the health department for land uses utilizing septic systems. Land uses within Medium Density Residential designated areas are generally compatible with the R-10, One or Two-family Residential; R-10MH, Single-family Residential and Manufactured Home; R-8, Medium Density Residential; and R-8A Single-family Medium Density Residential zoning districts. Public water is widely available and sewer service is required to support the higher residential densities in this classification. Streets with the capacity to accommodate higher traffic volumes are also necessary to support Medium Density Residential development.
- The Town’s goals and policies support the use of land in Medium Density-classified areas for single-family and two-family dwellings where adequate public utilities and streets are available or can be upgraded to support the higher residential densities encouraged in this classification.

### **Use of the Future Land Use Plan Map to Guide Development**

In preparing the Future Land Use Map, consideration was given to land development objectives and policies, land suitability, and the ability to provide the infrastructure to support growth and development. The Future Land Use Map depicts the general location of projected patterns of future land uses. The Future Land Use Map is a plan or guideline for the future.

The ultimate use and development of a particular parcel of land will be determined by property owners’ desires, overall market conditions, implementation tools employed by the Town to regulate land use and development (such as the Town’s zoning ordinance, subdivision regulations, flood hazard regulations), the absence of specific natural constraints to development, and the availability of the necessary infrastructure (water, sewer, roads, etc.) to support development. Consequently, even though the Future Land Use Map may indicate a specific projected use in a



particular location, many factors come into play to determine if the projected use is appropriate and the land can be developed as projected. Also, formal amendments to the zoning ordinance and subdivision ordinance will be required to specifically authorize the type of mixed use development envisioned in this Land Use Plan.

Achieving the projected patterns of land use indicated by the Future Land Use Map will be greatly impacted by timing. Much of the projected land use indicated on the Future Land Use Map will not come to fruition without market demand. Therefore, market and economic conditions must be conducive for growth and development. While the Land Use Plan attempts to provide a general expectation of growth based upon projected population change, it simply cannot predict the economic future. The demand for houses, businesses, industries, etc. will fluctuate widely with economic conditions.

The timing of the provision of infrastructure improvements, particularly water and sewer services and roads, will also have a tremendous impact on growth and development. Development will occur where infrastructure is available or can be made available to sustain that development. Consequently, achieving the Future Land Use Map land use projections will depend in large part upon if and when infrastructure is provided. The provision of public infrastructure depends upon the capability to provide the service and demand for the service. Economic climate will be a major factor in both the capability to make infrastructure available and the level of service demand (*Core Land Use Plan*, Section IV: Plan for the Future, pg. 100).

### **Guide for Land Use Decision Making**

The Land Use Plan, as adopted by the elected officials of the Town of Beaufort and as may be amended from time to time, will serve as the primary guide upon which to make land use policy decisions. Every land use policy decision, such as a rezoning request or approval of a conditional or special use permit, will be measured for consistency with the goals, policies, and recommendations of the Plan. The elected officials, Planning Board, Board of Adjustment, and Town staff should utilize the Land Use Plan as the basic policy guide in the administration of the zoning ordinance, subdivision regulations, and other land development regulatory tools. Persons involved in the land development business as well as the general public can also utilize the Land Use Plan to guide private decisions regarding land use and land development.

The policy statements and recommendations of the Land Use Plan can also be of assistance to the elected officials in making long-range decisions regarding such matters as the provision of municipal services, thoroughfare planning, storm water planning and management, implementation of economic development strategies, recreational facility planning, and preparation of capital and operating budgets.

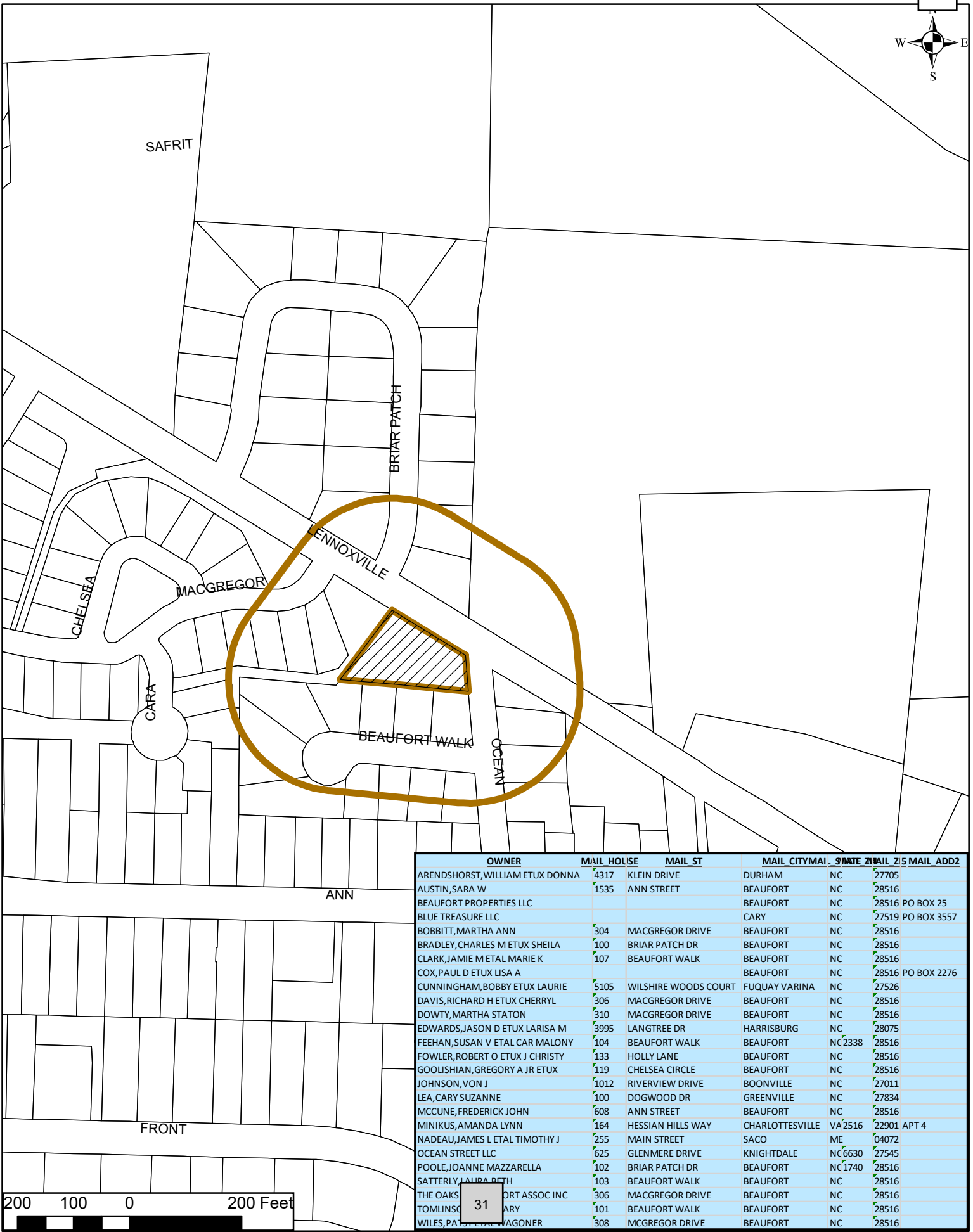
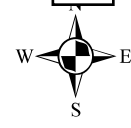
It should be noted, however, that the Land Use Plan is one of a variety of guides in making a public policy decision. The Plan should be viewed as a tool to aid in decision making and not as the final decision (*Core Land Use Plan*, Section V: Tools for Managing Development, pg. 102).



**Exhibits:**

- B- Vicinity Map
- C - Zoning Map
- D - CAMA Land Use Map
- E - Application
- F - Site Plan
- G - Elevation Drawing
- H - List of Property Owners within 200 feet
- I - Section 6-F (LDO)

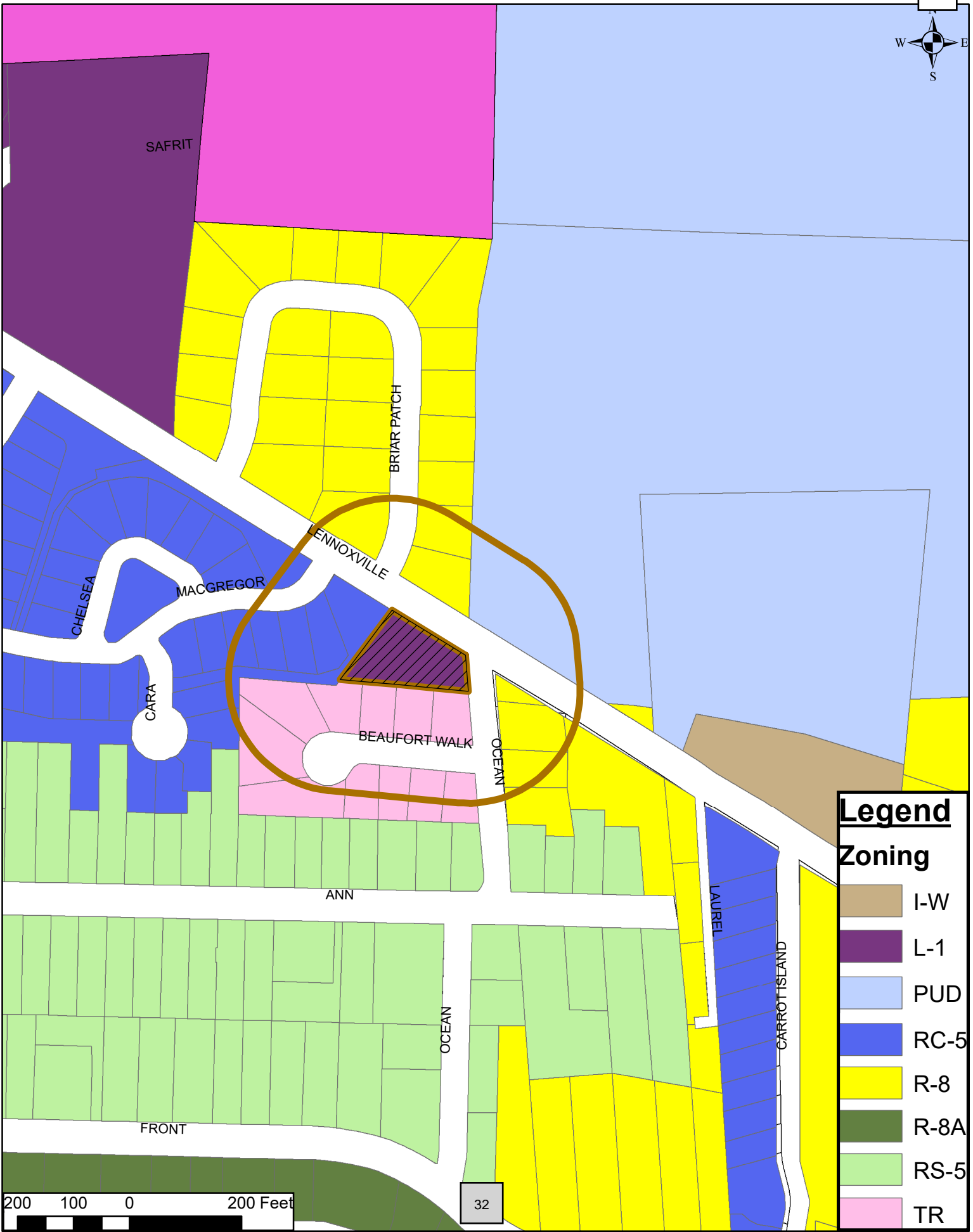
# Case 21-17 Special Use Permit - Vicinity Map With Owners Within 200 Feet



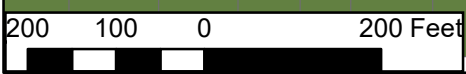
OWNER	MAIL HOUSE	MAIL ST	MAIL CITY/STATE	MAIL ZIP	MAIL ADD2
ARENDHORST, WILLIAM ETUX DONNA	4317	KLEIN DRIVE	DURHAM NC	27705	
AUSTIN, SARA W	1535	ANN STREET	BEAUFORT NC	28516	
BEAUFORT PROPERTIES LLC			BEAUFORT NC	28516	PO BOX 25
BLUE TREASURE LLC			CARY NC	27519	PO BOX 3557
BOBBITT, MARTHA ANN	304	MACGREGOR DRIVE	BEAUFORT NC	28516	
BRADLEY, CHARLES M ETUX SHEILA	100	BRIAR PATCH DR	BEAUFORT NC	28516	
CLARK, JAMIE M ETAL MARIE K	107	BEAUFORT WALK	BEAUFORT NC	28516	
COX, PAUL D ETUX LISA A			BEAUFORT NC	28516	PO BOX 2276
CUNNINGHAM, BOBBY ETUX LAURIE	5105	WILSHIRE WOODS COURT	FUQUAY VARINA NC	27526	
DAVIS, RICHARD H ETUX CHERRYL	306	MACGREGOR DRIVE	BEAUFORT NC	28516	
DOWTY, MARTHA STATON	310	MACGREGOR DRIVE	BEAUFORT NC	28516	
EDWARDS, JASON D ETUX LARISA M	3995	LANGTREE DR	HARRISBURG NC	28075	
FEEHAN, SUSAN V ETAL CAR MALONY	104	BEAUFORT WALK	BEAUFORT NC	28516	2338
FOWLER, ROBERT O ETUX J CHRISTY	133	HOLLY LANE	BEAUFORT NC	28516	
GOOLISHIAN, GREGORY A JR ETUX	119	CHELSEA CIRCLE	BEAUFORT NC	28516	
JOHNSON, VON J	1012	RIVERVIEW DRIVE	BOONVILLE NC	27011	
LEA, CARY SUZANNE	100	DOGWOOD DR	GREENVILLE NC	27834	
MCCUNE, FREDERICK JOHN	608	ANN STREET	BEAUFORT NC	28516	
MINIKUS, AMANDA LYNN	164	HESSIAN HILLS WAY	CHARLOTTESVILLE VA	2516	22901 APT 4
NADEAU, JAMES L ETAL TIMOTHY J	255	MAIN STREET	SACO ME	04072	
OCEAN STREET LLC	625	GLENMERE DRIVE	KNIGHTDALE NC	6630	27545
POOLE, JOANNE MAZZARELLA	102	BRIAR PATCH DR	BEAUFORT NC	28516	1740
SATTERLY, LAURA BETH	103	BEAUFORT WALK	BEAUFORT NC	28516	
THE OAKS	306	MACGREGOR DRIVE	BEAUFORT NC	28516	
TOMLINSON	101	BEAUFORT WALK	BEAUFORT NC	28516	
WILES, PAT	308	MCGREGOR DRIVE	BEAUFORT NC	28516	

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# Case 21-17 Special Use Permit - Zoning Map With Owners Within 200 Feet

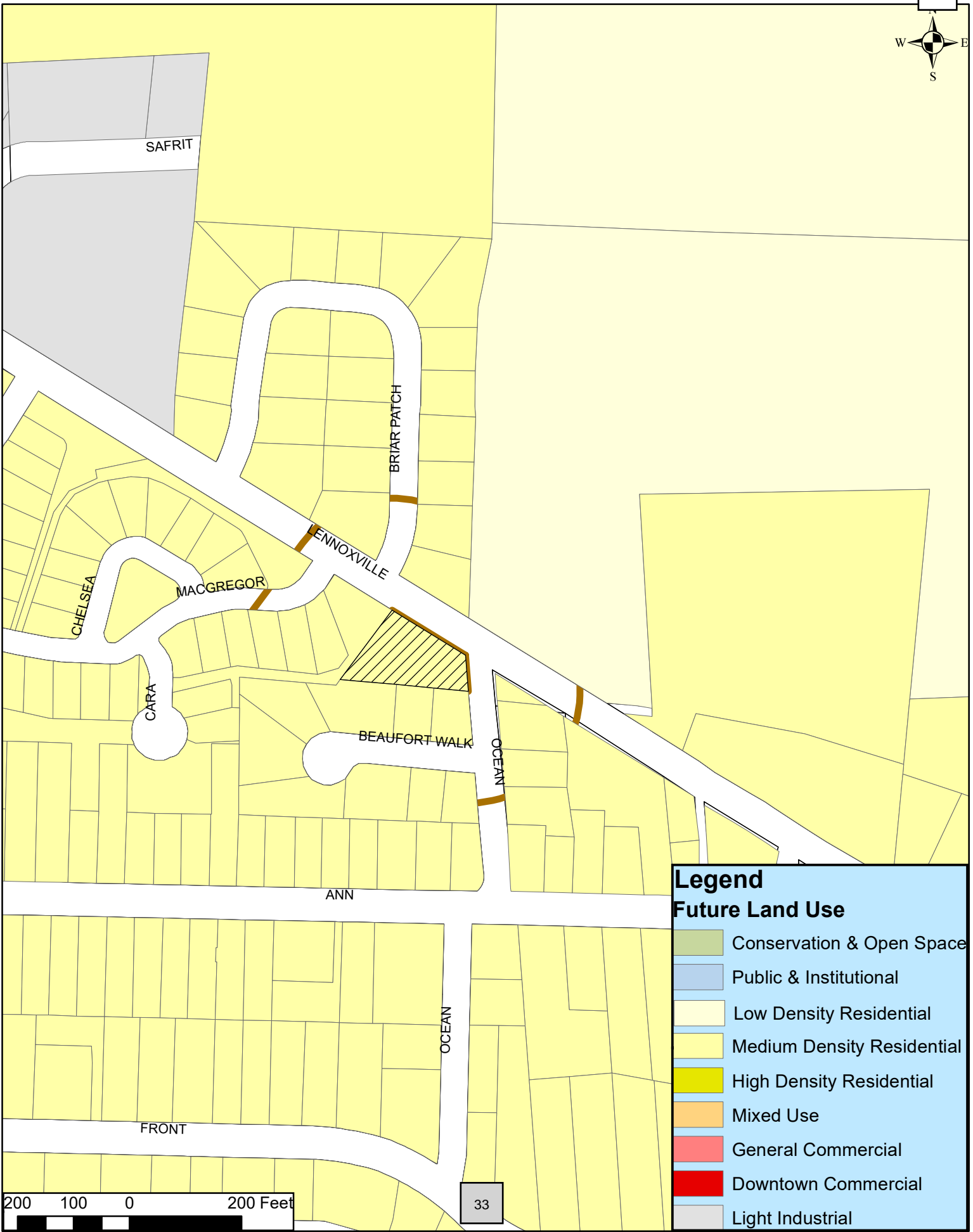
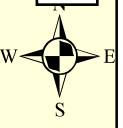


Legend	
Zoning	
	I-W
	L-1
	PUD
	RC-5
	R-8
	R-8A
	RS-5
	TR





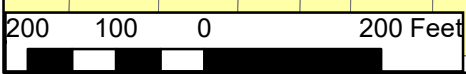
# Case 21-17 Special Use Permit - CAMA Map With Owners Within 200 Feet



**Legend**

**Future Land Use**

- Conservation & Open Space
- Public & Institutional
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Mixed Use
- General Commercial
- Downtown Commercial
- Light Industrial





### APPLICATION FOR A SPECIAL USE PERMIT

#### **Instructions:**

Please complete the form below including all required attachments, a **\$400.00 application fee**, and return to the Beaufort Town Hall; 701 Front Street; P.O. Box 390; Beaufort, N.C.; 28516. Incomplete applications will not be processed but will be returned to the applicant. Please call Planning and Inspections at (252) 728-2142 if there are any questions.

#### **APPLICANT INFORMATION**

Applicant Name: Jim Dandy Stores  
 Applicant Address: 812 Arendell Street Morehead City NC 28557  
 Phone Number: 252-247-6902 Email: jmdavisoil@outlook.com  
 Property Owner Name: Sara W. Austin  
 Address of Property Owner: 1550 Lennoxville Road Beaufort NC 28516  
 Phone Number: 252-838-9028 Email: N/A

#### **PROPERTY INFORMATION**

Property Address: 1550 Lennoxville Road Beaufort NC 28516  
 15-Digit PIN: 730507699596000 Lot/Block #: N/A  
 Size of Property (in square feet or acres): .478 Acres Current Zoning: L-1  
 Current Use of Property: Veterinarian Requested Use: Convenience Store

An application fee of **\$400.00**, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials must be received by Town Staff at least 15 working days prior to a regularly scheduled Planning Board meeting date.

Please refer to the Town's **Land Development Ordinance**, Sections 20 & 27, and all other pertinent sections of the Ordinance for information required to accompany this application. Any plans or documents submitted should be submitted in an electronic or digital format and one printed color copy of such documents submitted with the application.

The town's website address is [www.beaufortnc.org](http://www.beaufortnc.org).

J. M. [Signature]  
 Applicant Signature  
Sara W. Austin DVM  
 Property Owner Signature (if different than above)

5-17-21  
 Date of Applicant's Signature  
6-1-21  
 Date of Owner's Signature

OFFICE USE ONLY

Revised 8/2020

Date: \_\_\_\_\_

Reviewed for Completeness By: \_\_\_\_\_

Received by: \_\_\_\_\_

34 Date Deemed Complete and Accepted: \_\_\_\_\_

Members of the Beaufort Planning Board,

As part of a planned real estate purchase between Dr. Sara Austin and my family’s business, J.M. Davis Industries Inc. dba “Jim Dandy Stores” and “Davis Fuels”, I am pleased to apply for a special use permit for 1550 Lennoxville Road. Our intention is to adapt the existing Austin Veterinary Clinic building and parking area into a community store and filling station. This intended use is permissible within the current L-I zoning but requires a special use permit.

Our company was founded in 1939 by my grandfather, with its original location strategically positioned on the Beaufort waterfront where Still Water Café is today. In the years since we have slowly and purposefully grown through mergers and acquisitions remaining ever mindful to never lose focus of our values and our long standing commitment to the communities we support and call home. My mother is from Beaufort and grew up in the Easton House directly across from our old office. Previously a long-time resident of Ann Street, mom recently moved out to Olga Road to be closer to me (also on Olga) and my sister who recently bought in Tiffany Woods.

Since my childhood, Beaufort has undergone many subtle but significant changes. I remember at one point Beaufort had six convenience stores, 3 of which my family owned or operated. Over time, a combination of factors including planned highway improvements, more suitable uses, and unfavorable lease agreements left us without a location in our home town. I have been patiently searching for the right property to mark our return home, and I know I have found it at 1550 Lennoxville Road. The location is ideal for countless reasons but most notably for its proximity to a developed and ever-growing residential area that would undoubtedly benefit from our services. While we still own and operate 8 other locations, this store would be different in most every way to not only our other locations, but also to the traditional convenience store concept you likely are most familiar with. Our vision for this location is not as a typical “convenience store” but instead as a quaint community store with gasoline and diesel fuel as an additional offering. Our greatest commitment will be to create a store front stocked with goods and capable of services that fit our town in every visible and perceivable way.

As you are already aware, the Town of Beaufort is in critical need of an additional location to fuel vehicles with regular gasoline, non-ethanol gasoline, highway diesel, and even diesel exhaust fluid...all of which we intend to provide. Also, amongst our offering will be fresh, made to order biscuits and sandwiches, fried chicken for boaters, premium coffee and beverage offerings, snacks and all the daily essentials. We do not see value in extended hours of operation. We like to open early for our patrons that commute to Cherry Point or perhaps those that might be headed out fishing but we close early at night. Our outside lighting will be controlled by photo - cell sensors and adjusted to provide sufficient and safe lighting with minimal to zero effect on the surrounding properties during those hours they are switched on. In times of emergency such as hurricanes, we will be prepared to support our entire community, its residents, and most importantly our emergency services with all the goods and services detailed above powered by an existing, enclosed super quiet generator.

Additional improvements we intend to make include, but are not limited to, replacement of the old fence along the back property line, refreshed landscaping with native plants and trees, and a canopy to shelter our customers while they fuel their vehicles. Our focus will be to create and maintain a concept that fits seamlessly into the existing neighborhood while also providing daily and potentially critical needs to the town and its residents.

We welcome any questions, comments, or concerns that may arise during the review process. Thank you kindly for your consideration of this request,

James Morton Davis III, President  
Jim Dandy Stores and Davis Fuels

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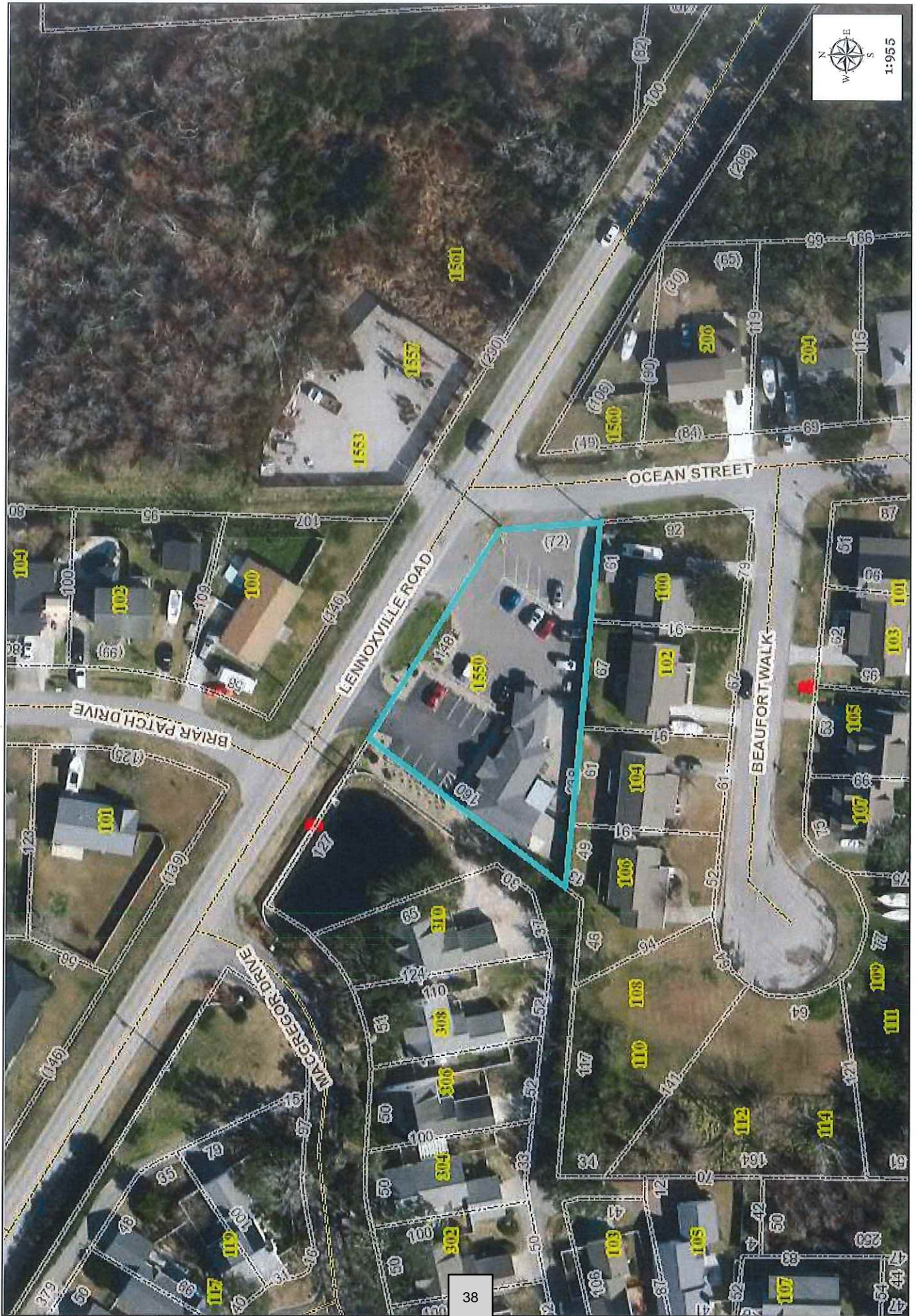
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Jim Dandy Stores and Davis Fuels

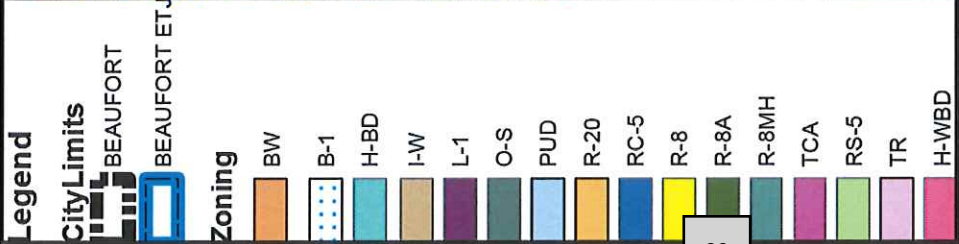
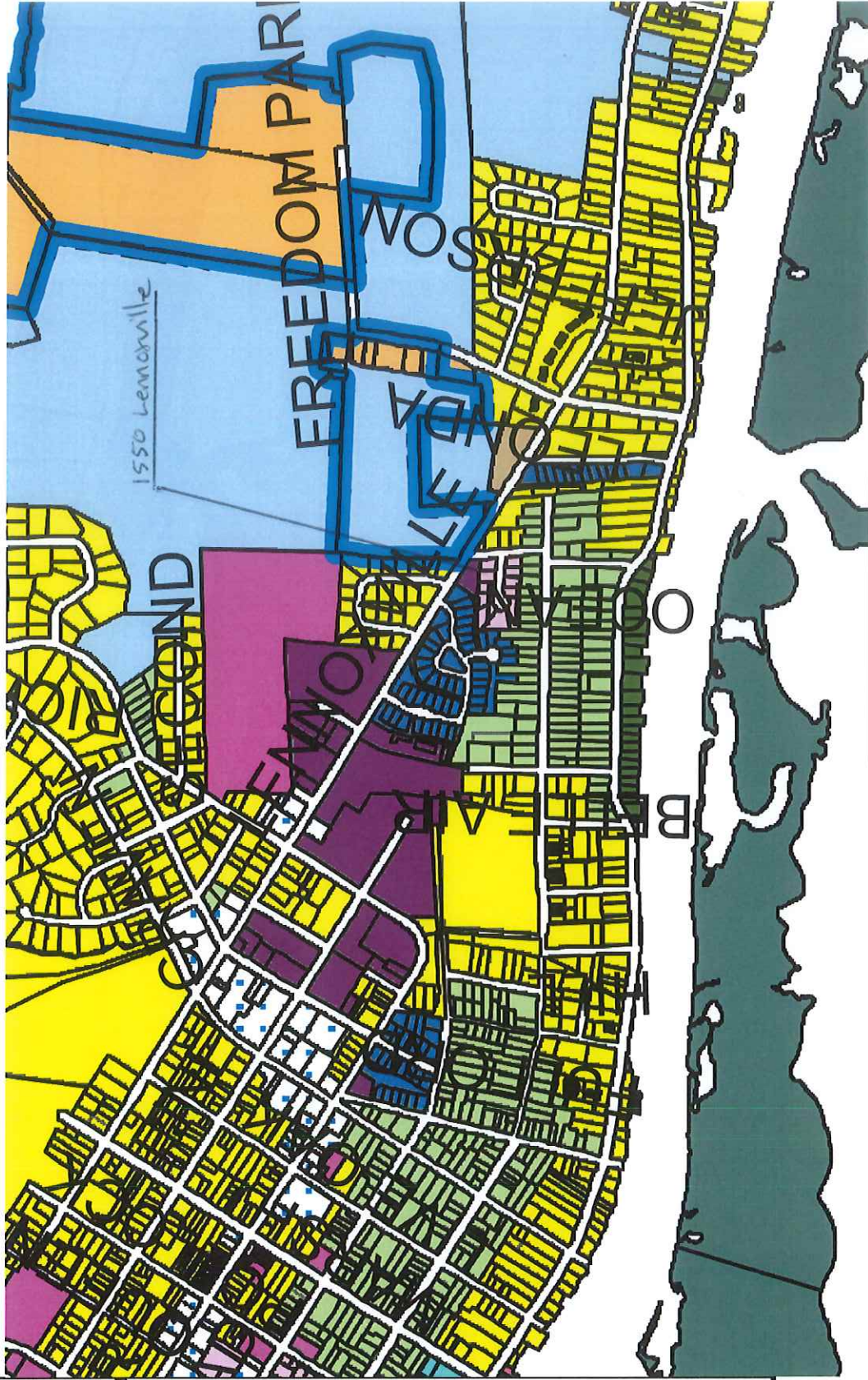


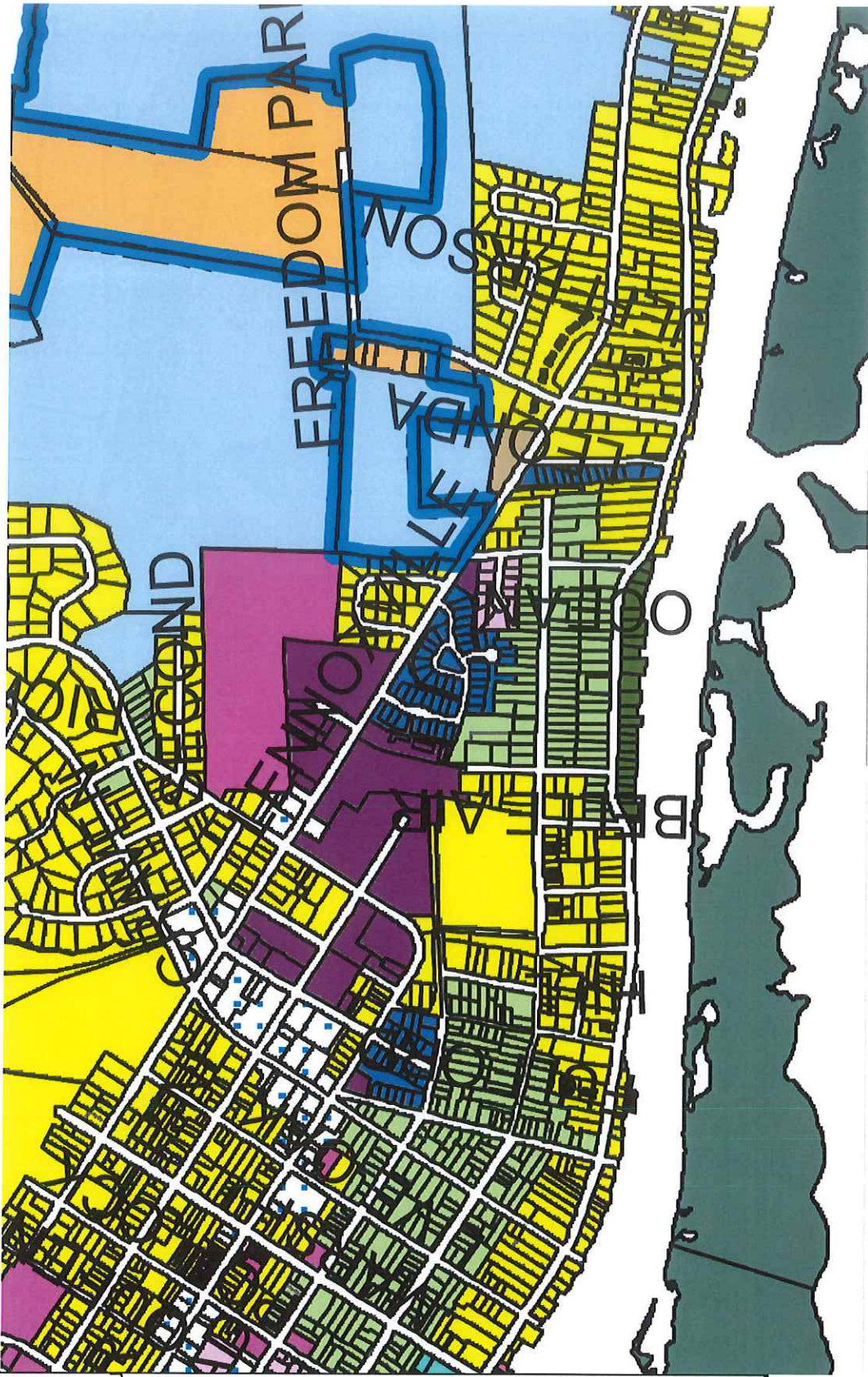
# Carteret County, N.C.



June 1, 2021

The information displayed by this website is prepared for the inventory of real property found within its jurisdiction and is compiled from recorded deeds, plats, and other public records and data. Users of this information are hereby notified that the aforementioned public printing sources should be consulted for verification of the information contained on this site. Carteret County assumes no legal responsibility for the information contained on this site. Carteret County does not guarantee that the data and map services will be available to users without interruption or error. Furthermore, Carteret County may modify or remove map services and access methods at will.

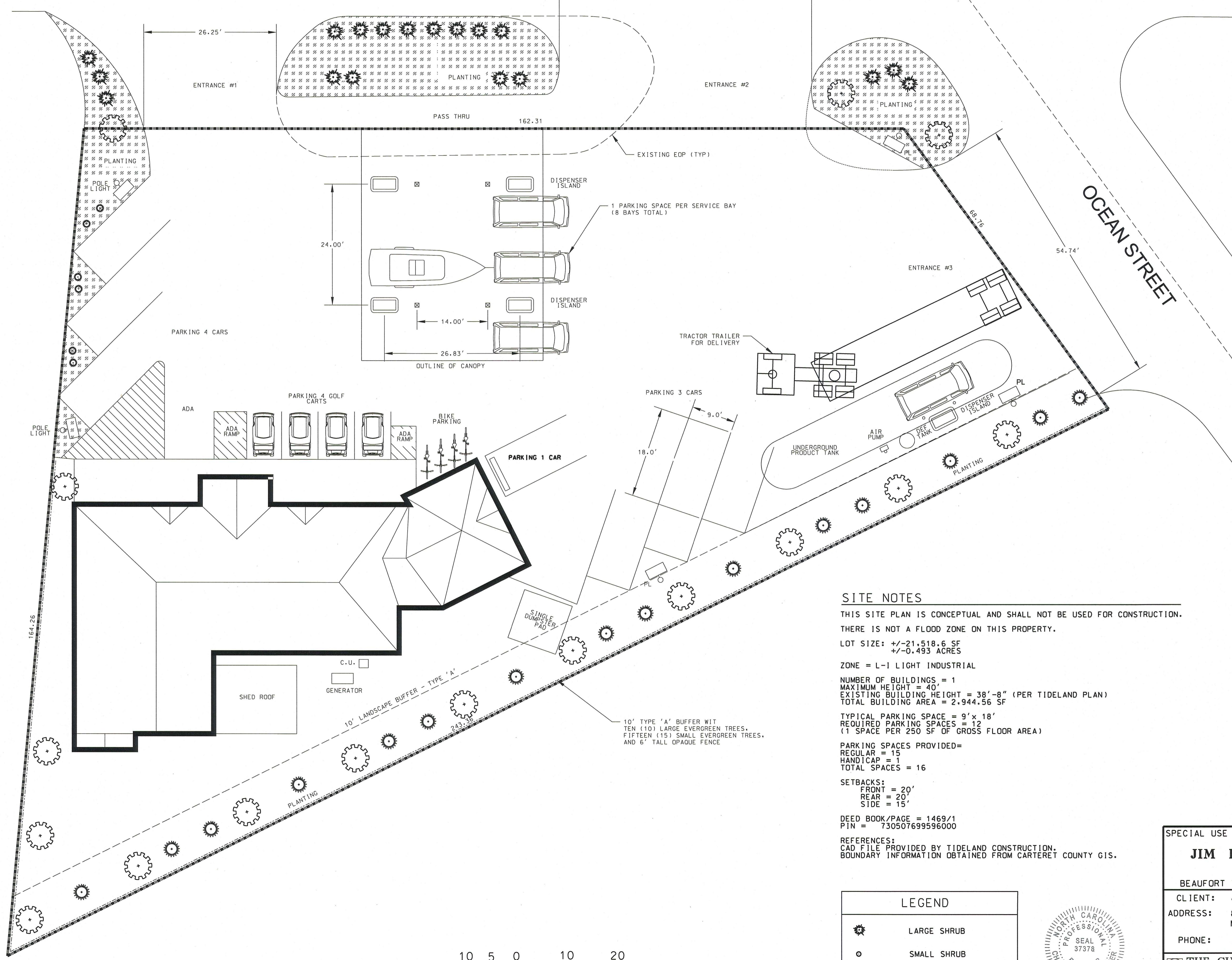
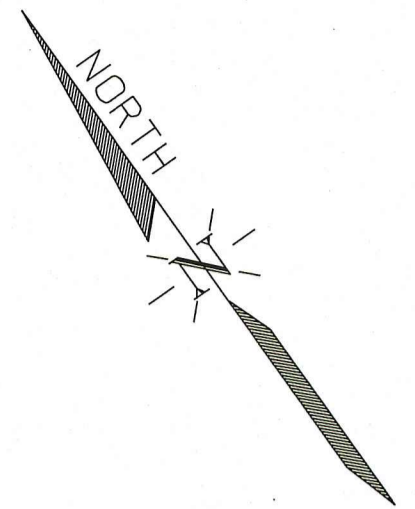








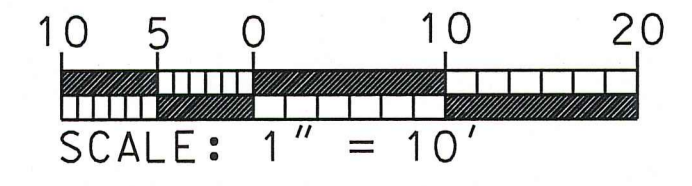
LENNOXVILLE ROAD  
SR 1310



**SITE NOTES**

THIS SITE PLAN IS CONCEPTUAL AND SHALL NOT BE USED FOR CONSTRUCTION.  
 THERE IS NOT A FLOOD ZONE ON THIS PROPERTY.  
 LOT SIZE: +/-21,518.6 SF  
 +/-0.493 ACRES  
 ZONE = L-1 LIGHT INDUSTRIAL  
 NUMBER OF BUILDINGS = 1  
 MAXIMUM HEIGHT = 40'  
 EXISTING BUILDING HEIGHT = 38'-8" (PER TIDELAND PLAN)  
 TOTAL BUILDING AREA = 2,944.56 SF  
 TYPICAL PARKING SPACE = 9' x 18'  
 REQUIRED PARKING SPACES = 12  
 (1 SPACE PER 250 SF OF GROSS FLOOR AREA)  
 PARKING SPACES PROVIDED=  
 REGULAR = 15  
 HANDICAP = 1  
 TOTAL SPACES = 16  
 SETBACKS:  
 FRONT = 20'  
 REAR = 20'  
 SIDE = 15'  
 DEED BOOK/PAGE = 1469/1  
 PIN = 730507699596000  
 REFERENCES:  
 CAD FILE PROVIDED BY TIDELAND CONSTRUCTION.  
 BOUNDARY INFORMATION OBTAINED FROM CARTERET COUNTY GIS.

LEGEND	
	LARGE SHRUB
	SMALL SHRUB
	LARGE DECIDUOUS TREE



REVISIONS:			
No.	BY	DATE	DESCRIPTION

**SPECIAL USE SITE PLAN**

**JIM DANDY COMMUNITY STORE**  
 1550 LENNOXVILLE ROAD  
 BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

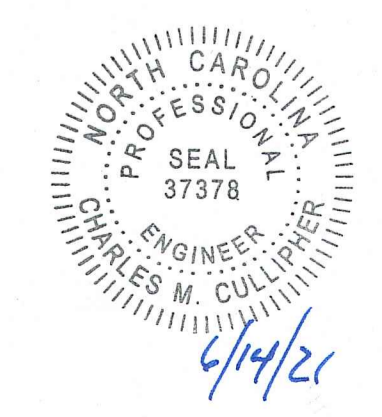
CLIENT: J.M. DAVIS INDUSTRIES, INC  
 ADDRESS: 812 ARENDELL ST.  
 MOREHEAD CITY, NC 28557  
 PHONE: (252)247-6902

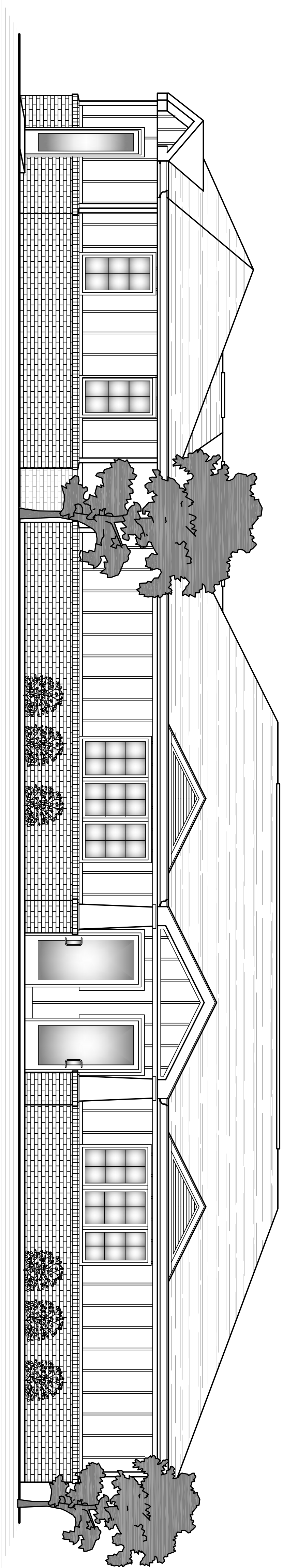
DESIGNED:  
 DRAWN:  
 CHECKED: CMC  
 APPROVED: CMC

**THE CULLIPHER GROUP P.A.**  
 ENGINEERING & SURVEYING SERVICES  
 151A HIGHWAY 24  
 MOREHEAD CITY, N.C. 28557  
 (252) 778-0090 LICENSE NO. C-4482

CHARLES M. CULLIPHER P.E.

DATE: 6/14/21  
 SCALE: 1"=10'





EXISTING FRONT ELEVATION OF AUSTIN VETERINARY  
SCALE: 1/4" = 1'-0"

42

REVISIONS		
NO.	DATE	BY



PAUL SUTTON  
(P): 252-524-1644  
(E): psutton@tidelandco.com

WILL CLARK  
(P): 252-814-7979  
(E): wclark@tidelandco.com

A NEW PROPOSED SITE PLAN FOR:  
**JIM DANDY #4**

AUSTIN VETERINARY 1550 LENNOXVILLE ROAD BEAUFORT, NORTH CAROLINA

DATE	06.01.2021
SCALE	AS NOTED
DRAWN BY	JBC
<b>B1</b>	

<u>OWNER</u>	<u>AIL_HOU</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>L_SMAIL_Z</u>	<u>MAIL_ZI</u>	<u>MAIL_ADD2</u>
ARENDSHORST,WILLIAM ETUX DONNA	4317	KLEIN DRIVE	DURHAM	NC	27705	
AUSTIN,SARA W	1535	ANN STREET	BEAUFORT	NC	28516	
BEAUFORT PROPERTIES LLC			BEAUFORT	NC	28516	PO BOX 25
BLUE TREASURE LLC			CARY	NC	27519	PO BOX 3557
BOBBITT,MARTHA ANN	304	MACGREGOR DRIVE	BEAUFORT	NC	28516	
BRADLEY,CHARLES M ETUX SHEILA	100	BRIAR PATCH DR	BEAUFORT	NC	28516	
CLARK,JAMIE M ETAL MARIE K	107	BEAUFORT WALK	BEAUFORT	NC	28516	
COX,PAUL D ETUX LISA A			BEAUFORT	NC	28516	PO BOX 2276
CUNNINGHAM,BOBBY ETUX LAURIE	5105	WILSHIRE WOODS COURT	FUQUAY VARINA	NC	27526	
DAVIS,RICHARD H ETUX CHERRYL	306	MACGREGOR DRIVE	BEAUFORT	NC	28516	
DOWTY,MARTHA STATON	310	MACGREGOR DRIVE	BEAUFORT	NC	28516	
EDWARDS,JASON D ETUX LARISA M	3995	LANGTREE DR	HARRISBURG	NC	28075	
FEEHAN,SUSAN V ETAL CAR MALONY	104	BEAUFORT WALK	BEAUFORT	NC 2338	28516	
FOWLER,ROBERT O ETUX J CHRISTY	133	HOLLY LANE	BEAUFORT	NC	28516	
GOOLISHIAN,GREGORY A JR ETUX	119	CHELSEA CIRCLE	BEAUFORT	NC	28516	
JOHNSON,VON J	1012	RIVERVIEW DRIVE	BOONVILLE	NC	27011	
LEA,CARY SUZANNE	100	DOGWOOD DR	GREENVILLE	NC	27834	
MCCUNE,FREDERICK JOHN	608	ANN STREET	BEAUFORT	NC	28516	
MINIKUS,AMANDA LYNN	164	HESSIAN HILLS WAY	CHARLOTTESVILLE	VA 2516	22901	APT 4
NADEAU,JAMES L ETAL TIMOTHY J	255	MAIN STREET	SACO	ME	04072	
OCEAN STREET LLC	625	GLENMERE DRIVE	KNIGHTDALE	NC 6630	27545	
POOLE,JOANNE MAZZARELLA	102	BRIAR PATCH DR	BEAUFORT	NC 1740	28516	
SATTERLY,LAURA BETH	103	BEAUFORT WALK	BEAUFORT	NC	28516	
THE OAKS AT BEAUFORT ASSOC INC	306	MACGREGOR DRIVE	BEAUFORT	NC	28516	
TOMLINSON,RITA MARY	101	BEAUFORT WALK	BEAUFORT	NC	28516	
WILES,PATSY ETAL WAGONER	308	MCGREGOR DRIVE	BEAUFORT	NC	28516	

## SECTION 6 Height and Area Exceptions and Supplements

The following requirements or regulations qualify or supplement, as the case may be, the zone regulations or requirements appearing elsewhere in this Ordinance.

### A) *Allowed Projections into Required Yards.*

Certain architectural features, fences, walls, and hedges may project into required yards as follows as long as the corner lot visibility provisions as specified in subsection D of this section shall be observed;

- 1) Cornices, eaves, and sills – not more than two feet (2') into any required yard;
- 2) Balconies, bay windows, and chimneys – not more than three feet (3') into any required yard;
- 3) Planted buffer strips, hedges, fences, or walls, not exceeding four feet (4') in height, shall be exempt from the front yard and front building setback line requirements of this Ordinance;
- 4) Planted buffer strips, hedges, fences, or walls, not exceeding six feet (6') in height, erected in side and rear yards shall be exempt from the yard and building setback requirements of this Ordinance; and,
- 5) Open or enclosed fire escapes, outside stairways, balconies, and other necessary unenclosed projections, protruding into a minimum yard not more than thirty-two inches (32") may be permitted where such projections are so placed as not to obstruct the light and ventilation.
- 6) Paved driveways and walkways at grade as long as all impervious surface limits are met.
- 7) Trees, shrubs, and vegetation.
- 8) Every part of a required yard shall be open from its lowest point to the sky unobstructed except as permitted in sections A- 1 through A-7 of this subsection.
- 9) When adjacent lots of record are under single control by a lease agreement or a combination of ownership and lease agreement, temporary structures such as manufactured homes, manufactured offices, utility buildings, accessory buildings, etc., may extend across any common lot line(s) of the adjacent lots of record under such lease agreement. The location of such structures shall not conflict with any off-street parking requirements, on-site traffic circulation, or other applicable regulatory codes. Upon the expiration of the lease agreement, such structure must be removed to conform to the standard side or rear yard setbacks of the district within sixty days of expiration of the lease agreement.

### B) *Vacant Lot Exceptions.*

If a vacant lot is adjacent to an existing lot containing an existing dwelling on the lot, and such dwelling is situated less than the required front building setback line, the required minimum front building setback line for the vacant lot shall be a line projected along the front wall of the main building to the adjacent lot and across the vacant lot. In cases where existing dwellings are situated on both sides of the vacant lot and each exists less than the

required minimum front building setback line, the required minimum front building setback line for the vacant lot shall not be less than the average of the two front building setbacks of the existing dwellings.

**C) Board Action.**

In the case of a housing project consisting of a group of two or more buildings to be constructed on a plot of ground of at least two acres and not subdivided into the customary streets and lots, and where the existing or contemplated street and layout makes it impractical to apply the requirements of this Ordinance to the individual buildings in such housing project(s), the application of such requirements for such housing project(s) may be adjusted by the Board of Adjustment (BOA) in a manner which will be in harmony with the characteristics of the neighborhood, will substantially insure the same kind of occupancy, when the density of land use will be no higher than allowed by this Ordinance , and a standard of open space will be at least as high as required by this Ordinance in the district in which such proposed project is to be located. In no case shall the BOA authorize a use, a building height, or a building area prohibited in the district where the housing project is to be located, provided; however, the BOA shall not exercise the authority permitted by this subsection unless or until the Board of Commissioners (BOC) has approved such housing project(s) after receiving a recommendation from the planning board.

**D) Height Restrictions.**

- 1) Height restrictions will be determined by the specific zoning district whether inside the Town corporate limits or within the ETJ area.
- 2) Fixtures and architectural features which are not capable of occupation, such as chimneys, cupolas, domes, elevator shafts, heating and air conditioning equipment, solar collectors, and similar equipment, fixtures and devices and antennae, and which extend no more than ten feet (10') above the highest point on the structure, shall be allowed if the base of such architectural feature or fixture has a square footage which is ten percent (10%) or less than the square footage of the highest habitable floor on the structure.
- 3) Any nonconforming residential structure in a specific zoning district which exceeds the height limitation for its specific zoning district and is damaged or destroyed by fire, flood, wind, or act of God, may be rebuilt to the dimension of such building or structure as it existed prior to the damage or destruction and according to the North Carolina State Building Codes.
- 4) Any building or structure in existence on the effective date of this Ordinance may be raised the minimum amount necessary to bring the structure into compliance with the prescriptive minimum flood elevation as determined by the National Flood Insurance program regulations, notwithstanding raising such building or structure will increase its overall height above the building height limitations established herein.

**E) Exemptions.**

In addition to those fixtures and architectural features allowed to extend above the maximum height limits provide in subsection D-2 of this section, the following are also exempted from the building height limit established in this Ordinance:

- 1) School gymnasiums,
- 2) The Carteret County Courthouse,
- 3) Public utility poles and towers (except towers may be subject to other limits or procedures in this Ordinance),
- 4) Municipal and public water towers,
- 5) Permitted communication towers,
- 6) Bell towers, steeples, and spires on structures used for religious purposes, elevator shafts, chimneys, and similar structural appendages not intended for occupancy or storage;
- 7) Flagpoles.

**F) Canopies.**

A canopy in a conforming nonresidential land use which is totally or partially supported by a structural pillar (upright support), such as but not limited to a canopy over gasoline pumps, may extend to the street right-of-way line or property line of a nonresidential use or nonresidential zone, provided such pillar is located at least ten feet (10') from a property line and the canopy is open on all four sides. Any side of a canopy may be enclosed provided the enclosed side meets the required building setback lines established herein.





**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, June 21, 2021 – Virtual Meeting via Zoom**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Site Plan – Front Street Village – Transportation Center

**BRIEF SUMMARY:**

The applicant wishes to construct a 16,500 square foot Transportation Center as approved as part of the original PUD approval in 2008. Elevation Drawings for the center were approved in 2014 and are included as attachments in this proposal. As part of the Town’s new sewer allocation policy the applicant is requesting 100 gallons of allocation for this project that has already been taken into consideration by the Towns Engineer. In addition to Planning Staff, the Town Engineer and Fire Chief have reviewed the plans for compliance. The applicants Engineer will also be available to answer questions regarding the proposed transportation center.

**REQUESTED ACTION:**

Recommendation to Board of Commissioners

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director

**BUDGET AMENDMENT REQUIRED:**

N/A



# STAFF REPORT



**To:** Planning Board Members  
**From:** Kyle Garner, AICP, Town Planner  
**Date:** June 15, 2021  
**Project** 2361 Lennoxville Road– Site Plan – Front Street Village – Transportation Center

---

**THE QUESTION:** To recommend approval or denial to the Board of Commissioners for the Site Plan for the “Transportation Center” for Front Street Village.

**BACKGROUND:** This site currently is used as a gravel parking facility for the Beaufort Hotel & Bistro as well as the Dry Stack Facilities

Location:	2361 Lennoxville Road
Owners:	Front Street Village, LLC
Requested Action:	To recommend approval or denial to the Board of Commissioners
Existing Zoning	PUD (Planned Unit Development)
Pin #:	731505185229000, 731505187504000
Size:	5.76 acres (250,906 sq. ft.)
Building Square Footage:	16,500 Square Feet
Existing Land Use:	Gravel parking facility

**PUBLIC UTILITIES & WORKS:**

Water:	Town of Beaufort
Sanitary Sewer:	Town of Beaufort

**OPTIONS:**

1. Recommend approval of the Site Plan
2. Recommend denial of the Site Plan based on specific failures to meet requirements of the LDO.

**ATTACHMENTS:**

- A. Vicinity Map
- B. Site Plan – Transportation Center
- C. Elevation Drawings
- D. 2014 Approval Letter for Elevation Drawings

**Staff Comments:**

The applicant wishes to construct a 16,500 square foot Transportation Center as approved as part of the original PUD approval in 2008. Elevation Drawings for the center were approved in 2014 and are included as attachments in this proposal. As part of the Town’s new sewer allocation policy the applicant is requesting 100 gallons of allocation for this project that has already been taken into consideration by the Towns Engineer. In addition to Planning Staff, the Town Engineer and Fire Chief have reviewed the plans for compliance.

**Conclusion**

This project meets the design criteria required in the LDO as the street system and storm water system will be private and the responsibility of the Owners Association.

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# FRONT STREET VILLAGE TRANSPORTATION CENTER-SITE PLAN-PHASE II AND PRELIMINARY PLAT PHASE IV BEAUFORT, NORTH CAROLINA

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

THIS DRAWING IS THE PROPERTY OF  
ARENDELL ENGINEERS AND IS NOT TO  
BE REPRODUCED OR USED FOR ANY  
PROJECT IN WHOLE OR IN PART  
WITHOUT EXPRESS WRITTEN  
PERMISSION.

PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: NOT TO SCALE  
DATE: 03/29/2021



1004 Arendell Street  
Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

www.arendellengineers.com

North Carolina Certification No. C-1509

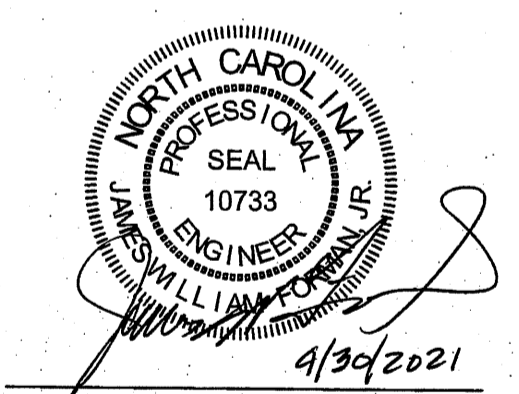
OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:

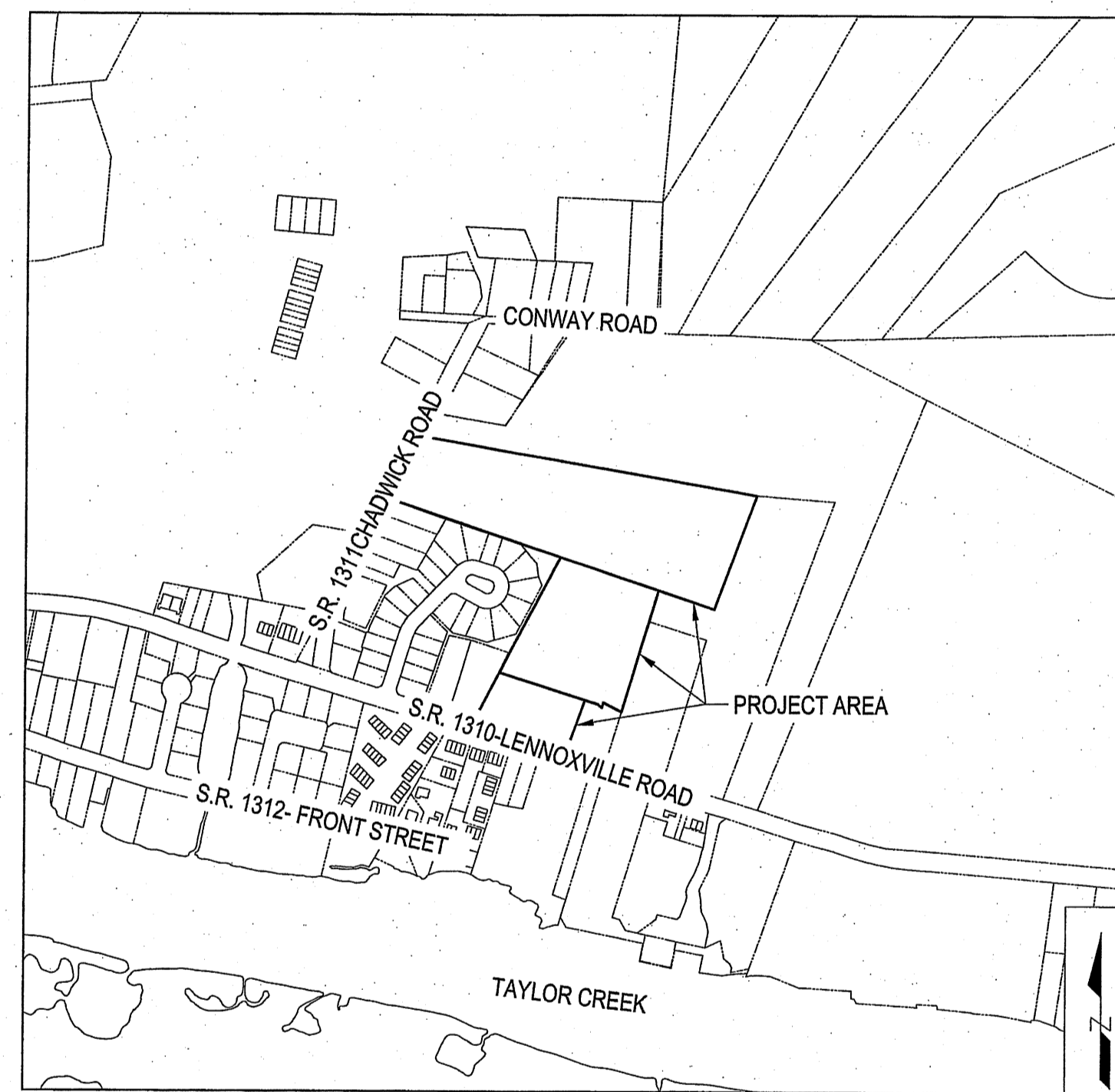
2 COVER SHEET



NO.	DATE	BY	REVISION	TOWN COMMENTS	TOWN COMMENTS
1	04/08/21	JJW			
2	04/30/21	JJW			

SHEET NO:  
**C1**  
OF: 18  
JOB NO.  
19138

## CARTERET COUNTY



VICINITY MAP

SCALE: 1" = 500'

### TOWN OF BEAUFORT SITE DATA BLOCK OF FEATURES

PROPOSED USE: 34 SINGLE FAMILY HOMES AND TRANSPORTATION CENTER  
 SQUARE FOOTAGE PROPOSED: 34 SINGLE FAMILY HOMES WITH APPROXIMATELY 2,000 SF FOOTPRINT  
 TRANSPORTATION CENTER WITH APPROXIMATELY 16,500 SF FOOTPRINT  
 SITE ZONING: PUD, TRANSPORTATION CENTER B-1, RESIDENTIAL LOTS R-8  
 TOTAL LOT ACREAGE: 16.20 ACRES NORTH OF LENNOXVILLE ROAD  
 ACREAGE TO BE DISTURBED: 11.55 ACRES NORTH OF LENNOXVILLE ROAD  
 FLOOD ZONE: ZONE X  
 DEVELOPMENT PARKING REQUIRED: SEE PARKING SUMMARY TABLE  
 DEED BOOK/PAGE NUMBER: 1259:443, 1645:118, 1510:484  
 PARCEL ID NUMBER: 731505187915000, 731505284836000, 731505187504000, 731505185229000  
 STREET LENGTHS  
 EAST GREAT EGRET WAY: 1,255 LF  
 RUNWAY ROAD: 1,000 LF

### PARKING SUMMARY TABLE - THROUGH PHASE IV

Total Gross Parking Spaces				
PHASE I	Location	Units	Requirement	Total Spaces
South Drystack Chandlery		213 Slips	1 Space per 4 Slips	53
	Upstairs	2,247 Square Feet	22.5 Spaces per 1,000 SF	51
	Downstairs	2,286 Square Feet	3.5 Spaces per 1,000 SF	8
	Office	2 Employees	2 Spaces	2
			Total	114
PHASE IIC & IID	Location	Units	Requirement	Total Spaces
Guest Wing	Rooms	129	1 Space per Room +5	134
	Employees	9 per Day Shift	1 per Employee	9
Bistro	Ballroom	4,477 Square Feet	22.5 Spaces per 1,000 SF	101
	1st Floor Porch Terrace	±96 Seats	1 Space per 4 Seats	24
	2nd Floor Porch/Terrace			
	4 Bridal Suites	4 Suites	1 Space per Room	4
	Bistro & Bar	±96 Seats	1 Space per 4 Seats	24
Residential Units	Board Room	325 Square Feet	22.5 Spaces per 1,000 SF	7
		7 Units	1.5 Spaces per Unit	11
Employees incl. Transportation Center (Phase I & II, Minus Inn)		20 Employees	1 per Employee	20
			Total	334
PHASE IIIA	Location	Units	Requirement	Total Spaces
North Drystack		237 Slips	1 Space per 4 Slips	59
PHASE IV	Location	Units	Requirement	Total Spaces
34 Residential Lots		34 Units	2 spaces per Unit	68
			Phases I, II, III, & IV Total	575
Reductions				
PHASE 1	Location	Parking Spaces Allocated	Reduction	Total Reduction
South Drystack Chandlery		53	0.9 per Space	48
	Upstairs	51	0.4 per Space	20
	Downstairs	8	0.4 per Space	3
			Total	71
PHASE 2	Location	Parking Spaces Allocated	Reduction	Total Reduction
Bistro		160	0.35 per Space	56
			Total	56
PHASE IIIA	Location	Parking Spaces Allocated	Reduction	Total Spaces
North Drystack		59	0.9 per Space	53
			Phases 1, 2, & 3A Reduction Total	180
Required Parking Spaces for Phases I, II, III, & IV				
		Gross Parking Required (Spaces)	575	
		Reductions	180	
		<b>Total</b>	<b>395</b>	
		<b>Spaces Provided</b>	<b>398</b>	

### DRAWINGS

COVER SHEET NOTES AND ABBREVIATIONS EXISTING CONDITIONS PHASE IV PRELIMINARY PLAN & PHASE II-SITE PLAN -TRANSPORTATION CENTER GRADING PLAN UTILITY PLAN EAST GREAT EGRET WAY SEWER A PLAN & PROFILE - STA 0+00 TO 5+48 EAST GREAT EGRET WAY SEWER A PLAN & PROFILE - STA 5+48 TO 10+11 SEWER B PLAN AND PROFILE RUNWAY ROAD PLAN AND PROFILE STATIONS 0+00 TO 4+65 RUNWAY ROAD PLAN AND PROFILE STATIONS 4+65 TO 10+00 UTILITY DETAILS LANDSCAPING PLAN DIMENSIONS PLAN EROSION AND SEDIMENT CONTROL PLAN EROSION AND SEDIMENT CONTROL DETAILS DETAILS SHEET 1 OF 2 DETAILS SHEET 2 OF 2	C1 OF 18 C2 OF 18 C3 OF 18 C4 OF 18 C5 OF 18 C6 OF 18 C7 OF 18 C8 OF 18 C9 OF 18 C10 OF 18 C11 OF 18 C12 OF 18 C13 OF 18 C14 OF 18 C15 OF 18 C16 OF 18 C17 OF 18 C18 OF 18
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### PROJECT DATA

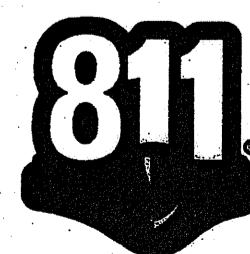
NAME OF PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

PREPARED BY:  
ARENDELL ENGINEERS  
1004 ARENDELL STREET  
MOREHEAD CITY, NC 28557  
PHONE: (252) 622-4338  
EMAIL: BILL@ARENDELLENGINEERS.COM

OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28570

SURVEYOR:  
JAMES I. PHILLIPS LAND SURVEYING  
PO BOX 2103  
379 ARRINGTON RD,  
BEAUFORT, NC 28516  
PHONE: (252) 728-5848  
EMAIL: JIP3@COSTALNET.COM

DATUMS:  
VERTICAL: NAVD88  
HORIZONTAL: NC STATE PLANE COORDINATE SYSTEM



Know what's below.  
Call before you dig.

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PROJECT IN WHOLE OR IN PART  
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**GENERAL NOTES:**

- PROJECT IS LOCATED IN THE WHITE OAK RIVER BASIN.
- LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES AND FACILITIES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF LOCATION IS NOT VERIFIED. BEFORE STARTING WORK, CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF DAMAGE TO ABOVE GROUND AND UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PRESERVE ANY PROPERTY MARKER PIPES, IRONS, OR MONUMENTS.
- WASTE OR EXCESS MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- TESTING AND INSPECTION OF COMPACTION AND MATERIALS SHALL BE BY AN INDEPENDENT TESTING AGENCY DESIGNATED AND PAID FOR BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING TESTING REQUIRED BY THE CONTRACT DOCUMENTS.
- NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT.

**CONSTRUCTION SEQUENCE**

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH REGULATORY PERSONNEL ONE WEEK BEFORE BEGINNING GRADING OR GROUND DISTURBING ACTIVITIES AT THE SITE. CONTACT NCDEQ 910-796-7215.
- INSTALL TEMPORARY SILT FENCING AND CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER OR LAND QUALITY PERSONNEL.
- INSTALL STORMWATER SYSTEM INCLUDING DROP INLETS AND AT THE SAME TIME THE DROP INLET PROTECTION AND OUTLET PROTECTION AS INDICATED ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER OR LAND QUALITY PERSONNEL.
- FILL AND GRADE SITE AS REQUIRED AND INSTALL EITHER PERMANENT OR TEMPORARY STABILIZATION WITHIN 14 DAYS
- ESTIMATED TIME BETWEEN BEGINNING WORK AND FINAL STABILIZATION - 9 MONTHS TO COMPLETION.

**EROSION CONTROL MEASURES MAINTENANCE PLAN**

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND EFFECTIVE OPERATIONS FOLLOWING EVERY RUNOFF PRODUCING RAINFALL EVENT OR AT LEAST ONCE PER WEEK. REPAIRS REQUIRED SHALL BE COMPLETED IMMEDIATELY TO THE DIMENSION AND FUNCTIONS INDICATED ON THE PLANS.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCING WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE FENCE SHALL BE REPLACED OR REPAIRED AS NECESSARY TO MAINTAIN AN EFFECTIVE BARRIER.
- ALL AREAS SHALL BE FERTILIZED & SEEDED AS NECESSARY TO OBTAIN AND MAINTAIN A VIGOROUS DENSE TURF COVER.
- CONTACT PERSON RESPONSIBLE FOR MAINTENANCE IS BUCKY OLIVER, OWNER, (919) 349-5588.

**EROSION & SEDIMENT CONTROL NOTES:**

- CONTACT THE NCDEQ, LAND QUALITY SECTION, ONE WEEK PRIOR TO LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED AT THE SITE.
- DISTURBED AREAS ARE DELINEATED ON THE DRAWINGS AND DETERMINED BY DIGITAL METHODS. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THE PLANS, BUT NOT LIMITED TO OFFSITE BORROW AND DISPOSAL AREAS, CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL BY THE LAND QUALITY SECTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED FOR DAMAGE AND EFFECTIVE OPERATIONS FOLLOWING EVERY RAINFALL EVENT OR AT LEAST ONCE PER WEEK. REPAIRS SHALL BE COMPLETED IMMEDIATELY TO DIMENSION AND FUNCTIONS INDICATED ON THE PLANS
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NECESSARY TO MAINTAIN EROSION AND CONTROL AS DETERMINED BY THE OWNER, ENGINEER, OR REGULATORY PERSONNEL.
- ALL DISTURBED AREAS TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- DURING DEWATERING ACTIVITIES, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE OR DIRECTED TO EXISTING EROSION CONTROL MEASURE.
- CONSTRUCTION ACTIVITIES SHALL MEET CONDITIONS OF DWQ GENERAL CONSTRUCTION PERMIT (NCG01). COMPLIANCE SHALL MEET THE FOLLOWING CONDITIONS:

1) GROUND STABILIZATION:	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
SITE AREA DESCRIPTION PERIMETER DIKES, SWALES, DITCHES, AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

2) BUILDING WASTES HANDLING:

- NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS.
- DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION, AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
- EARTHEN MATERIAL STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
- CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.
- SOIL STORAGE OR STOCKPILE AREAS SHALL BE LOCATED 50 FT. FROM STORM DRAIN INLETS AND SWALES OR DITCHES.

PROPOSED SPOT ELEVATION

**TEMPORARY STABILIZATION SEEDING SCHEDULE**

**SEED BED PREPARATION**

LIME	2 TONS/AC
10-10-20	1,000 LBS/AC
0-20-0	500 LBS/AC (AFTER SEEDING)
ASPHALT TACK	200 GAL/TON OF MULCH

**SEEDING MIXTURE**

(FEBRUARY 1 - APRIL 30)

TALL FESCUE	50 LBS/AC
PENSACOLA BAHIAGRASS	10 LBS/AC
KOREAN OR KOBE LESPEDEZA (SCARIFIED)	50 LBS/AC

(MAY 1 - AUGUST 31)

TALL FESCUE	50 LBS/AC
WEEPING LOVEGRASS	5 LBS/AC
KOREAN OR KOBE LESPEDEZA (SCARIFIED)	50 LBS/AC
BROWNTOP MILLET	25 LBS/AC

(SEPTEMBER 1 - JANUARY 31)

TALL FESCUE	60 LBS/AC
KOREAN OR KOBE LESPEDEZA (UNSCARIFIED)	60 LBS/AC
RYE (GRAIN)	25 LBS/AC

FOR SLOPES 2:1 OR STEEPER, ADD 30 LBS/AC SERICEA LESPEDEZA  
AND 15 LBS WEEPING LOVEGRASS

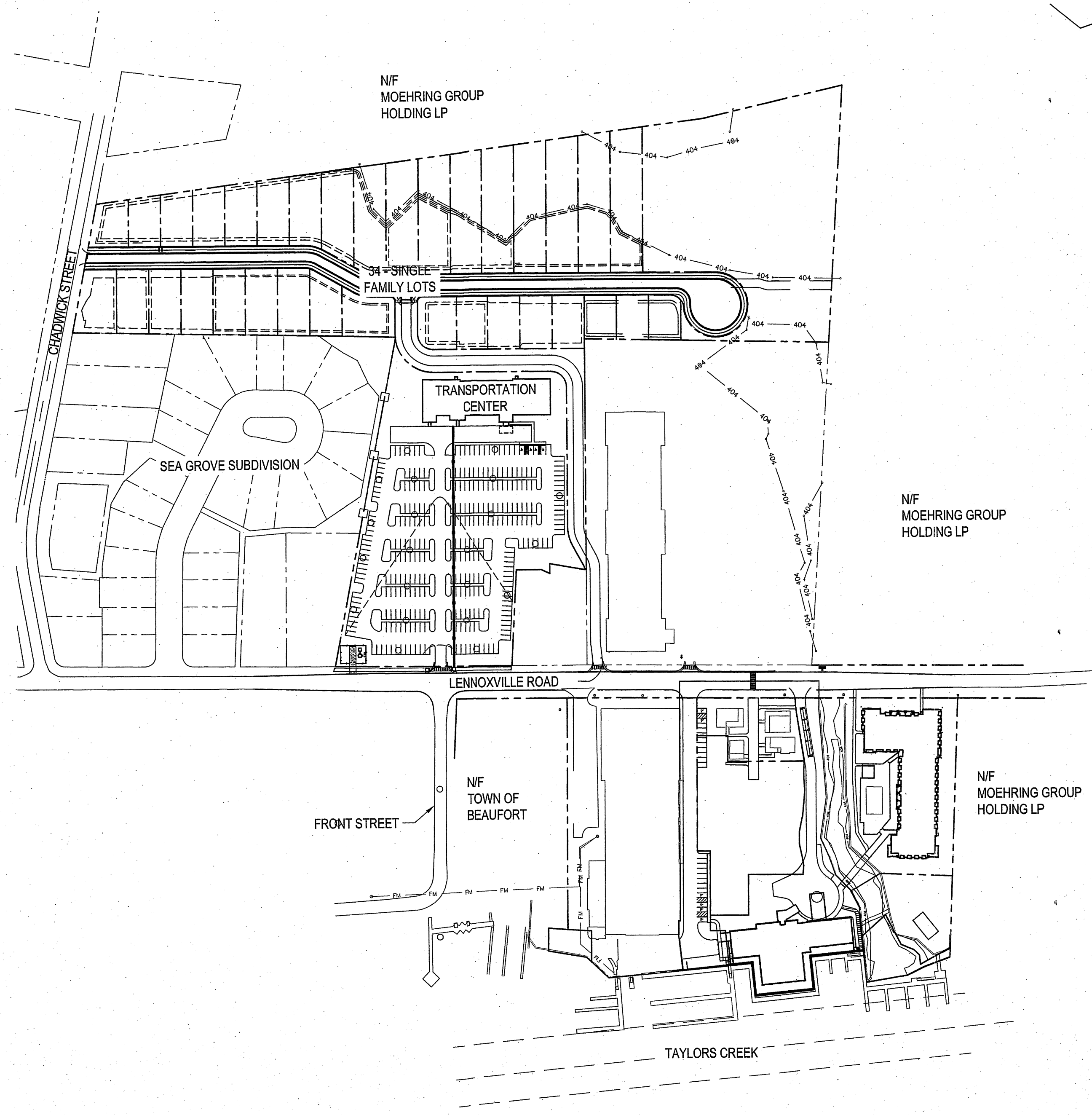
**LANDSCAPING MIXTURE**

(JANUARY 1 - MARCH 31)

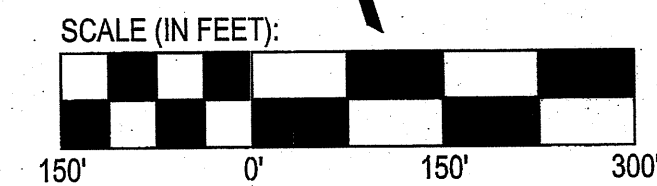
COMMON BERMUDAGRASS (UNHULLED)	20 LBS/AC
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(APRIL 1 - JULY 31)

COMMON BERMUDAGRASS (HULLED)	12 LBS/AC
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**VICINITY MAP**  
SCALE: 1" = 150'



**LEGEND**

⊕ CENTERLINE	— — — — — CENTERLINE	AC ACRE
† EXISTING FIRE HYDRANT	..... 5' ..... EXISTING ELEVATION CONTOUR	DIP DUCTILE IRON PIPE
□ SEWER DOGHOUSE MANHOLE	— □ — □ — □ — FENCELINE	EX EXISTING
○ SEWER MANHOLE	— DA — DA — DA — LIMITS OF DISTURBANCE	F/F FACE OF CURB TO FACE OF CURB
• SEWER SERVICE	— — — — — PROPERTY LINE	LF LINEAR FEAT
■ WATER SERVICE	— — — — — 5.00' — — — — — PROPOSED ELEVATION CONTOUR	MH MANHOLE
	— SS — SS — SS — SANITARY SEWER GRAVITY MAIN	N/F NOW OR FORMERLY
	— FM — FM — FM — SANITARY SEWER FORCE MAIN	PVC POLYVINYL CHLORIDE
	— SF — SF — SF — SILT FENCE	R RADIUS
	— W — W — W — WATERLINE	ROW RIGHT OF WAY
	— 404 — 404 — 404 — 404 — 404 — WETLANDS BOUNDARY	STA STATION
		W/ WITH
		WL WATERLINE
		∅ DIAMETER
		⊕ PROPOSED SPOT ELEVATION

**PROJECT MANAGER:** JWF

**DESIGNED:** JJW

**DRAWN BY:** JJW

**CHECKED:** JWF

**SCALE:** N/A

**DATE:** 03/29/2021

**ARENDELL ENGINEERS**  
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Fax: (252) 622-4505

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North Carolina Certification No. C-1509  
OWNER:

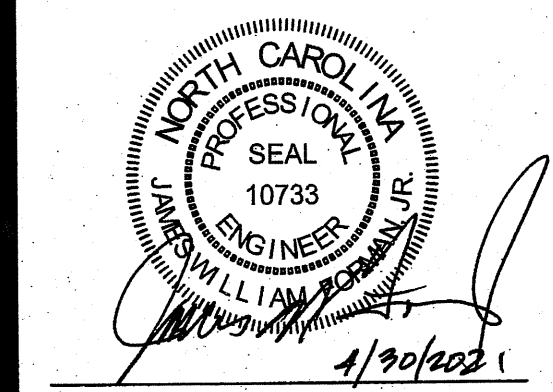
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

**PROJECT:**  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

**DRAWING:**

NOTES AND ABBREVIATIONS

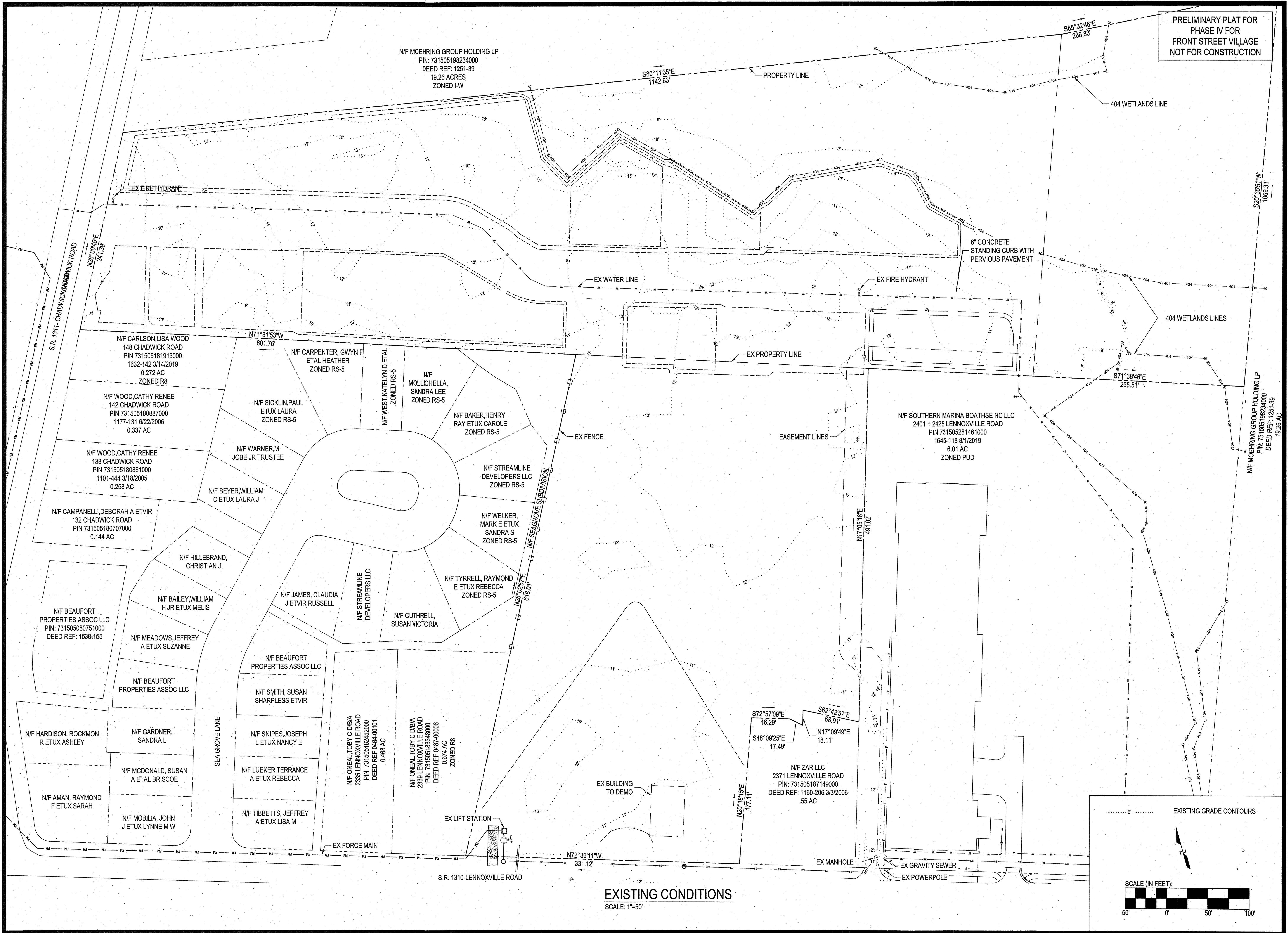


NO.	DATE	BY	REVISION
1	04/08/21	JJW	TOWN COMMENTS
2	04/30/21	JJW	TOWN COMMENTS

**SHEET NO:**

**C2**

OF: 18  
JOB NO. 19138



PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
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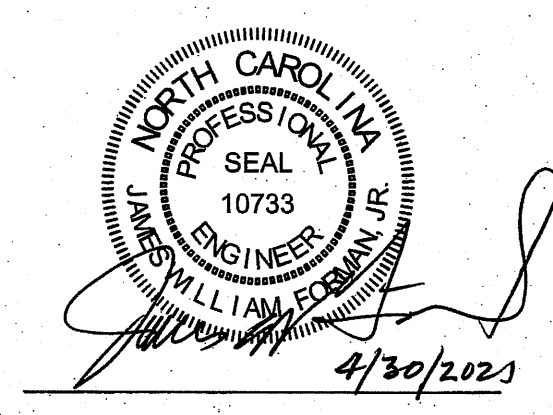
PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021

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BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

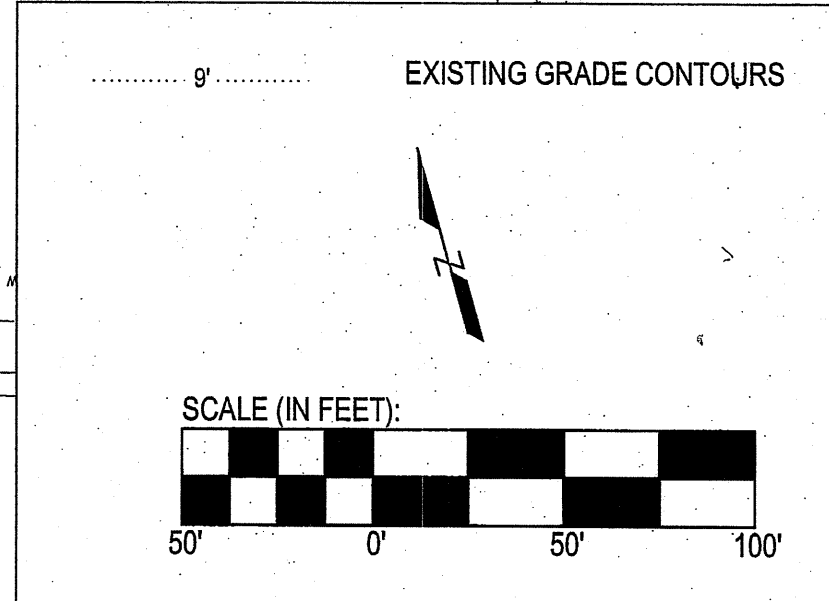
CARTERET COUNTY, NC  
DRAWING:  
EXISTING CONDITIONS



NO.	DATE	BY	REVISION
1	04/08/21	JWJ	TOWN COMMENTS
2	04/30/21	JWJ	TOWN COMMENTS

SHEET NO:  
**C3**  
OF: 18  
JOB NO. 19138

EXISTING CONDITIONS  
SCALE: 1"=50'



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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021



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 Morehead City, NC 28557  
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 Fax: (252) 622-4505

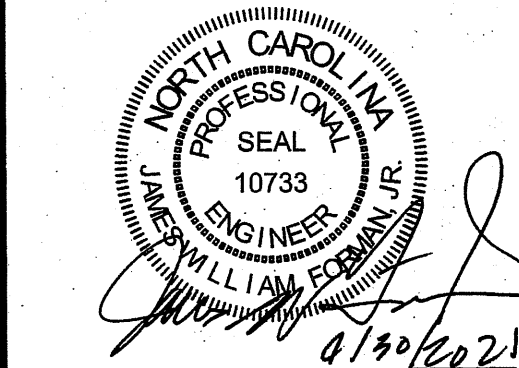
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 North Carolina Certification No. C-1509  
 OWNER:

FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTER COUNTY, NC

DRAWING:  
 PHASE IV PRELIMINARY PLAT  
 & PHASE II-SITE PLAN-  
 TRANSPORTATION CENTER

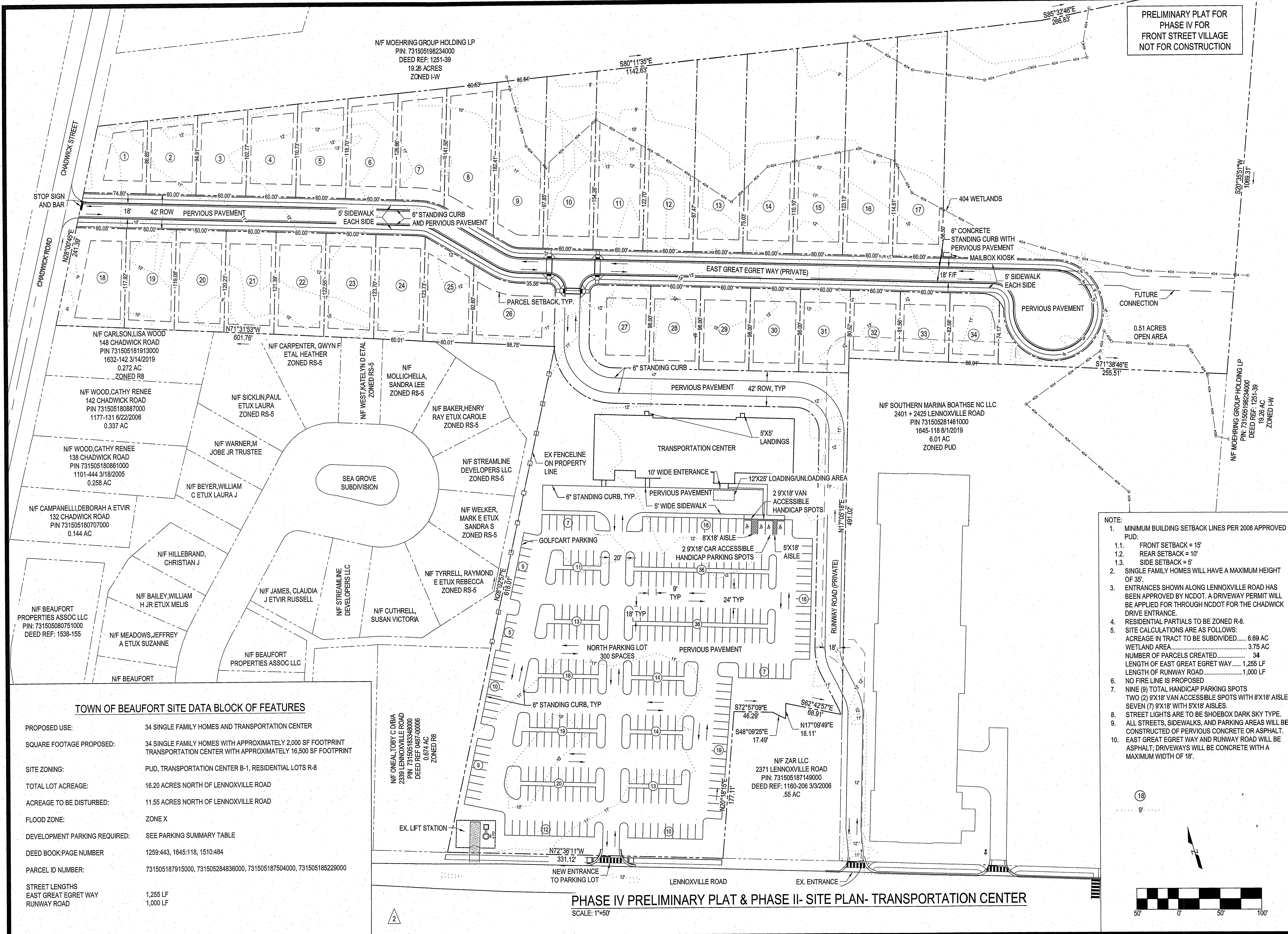


NO.	DATE	BY	REVISION	TOWN COMMENTS	TOWN COMMENTS
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2	04/30/21	JJW			

SHEET NO:

C4

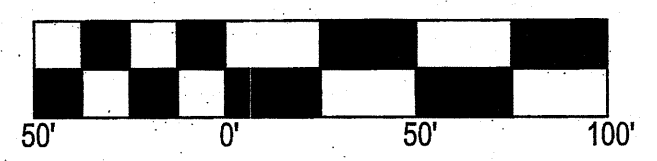
OF: 18  
 JOB NO. 19138



PRELIMINARY PLAT FOR  
 PHASE IV FOR  
 FRONT STREET VILLAGE  
 NOT FOR CONSTRUCTION

- NOTE:
- MINIMUM BUILDING SETBACK LINES PER 2008 APPROVED PUD:
    - FRONT SETBACK = 15'
    - REAR SETBACK = 10'
    - SIDE SETBACK = 5'
  - SINGLE FAMILY HOMES WILL HAVE A MAXIMUM HEIGHT OF 35'.
  - ENTRANCES SHOWN ALONG LENNOXVILLE ROAD HAS BEEN APPROVED BY NCDOT. A DRIVEWAY PERMIT WILL BE APPLIED FOR THROUGH NCDOT FOR THE CHADWICK DRIVE ENTRANCE.
  - RESIDENTIAL PARTIALS TO BE ZONED R-8.
  - SITE CALCULATIONS ARE AS FOLLOWS:  
 ACREAGE IN TRACT TO BE SUBDIVIDED..... 6.69 AC  
 WETLAND AREA..... 3.75 AC  
 NUMBER OF PARCELS CREATED..... 34  
 LENGTH OF EAST GREAT EGRET WAY..... 1,255 LF  
 LENGTH OF RUNWAY ROAD..... 1,000 LF
  - NO FIRE LINE IS PROPOSED
  - NINE (9) TOTAL HANDICAP PARKING SPOTS  
 TWO (2) 9'X18' VAN ACCESSIBLE SPOTS WITH 8'X18' AISLE  
 SEVEN (7) 9'X18' WITH 5'X18' AISLES.
  - STREET LIGHTS ARE TO BE SHOEBOX DARK SKY TYPE.
  - ALL STREETS, SIDEWALKS, AND PARKING AREAS WILL BE CONSTRUCTED OF PERVIOUS CONCRETE OR ASPHALT.
  - EAST GREAT EGRET WAY AND RUNWAY ROAD WILL BE ASPHALT; DRIVEWAYS WILL BE CONCRETE WITH A MAXIMUM WIDTH OF 18'.

18



TOWN OF BEAUFORT SITE DATA BLOCK OF FEATURES

PROPOSED USE:	34 SINGLE FAMILY HOMES AND TRANSPORTATION CENTER
SQUARE FOOTAGE PROPOSED:	34 SINGLE FAMILY HOMES WITH APPROXIMATELY 2,000 SF FOOTPRINT TRANSPORTATION CENTER WITH APPROXIMATELY 16,500 SF FOOTPRINT
SITE ZONING:	PUD, TRANSPORTATION CENTER B-1, RESIDENTIAL LOTS R-8
TOTAL LOT ACREAGE:	16.20 ACRES NORTH OF LENNOXVILLE ROAD
ACREAGE TO BE DISTURBED:	11.55 ACRES NORTH OF LENNOXVILLE ROAD
FLOOD ZONE:	ZONE X
DEVELOPMENT PARKING REQUIRED:	SEE PARKING SUMMARY TABLE
DEED BOOK/PAGE NUMBER	1259-443, 1645-118, 1510-484
PARCEL ID NUMBER:	731505187915000, 731505284836000, 731505187504000, 731505185229000
STREET LENGTHS	
EAST GREAT EGRET WAY	1,255 LF
RUNWAY ROAD	1,000 LF

PHASE IV PRELIMINARY PLAT & PHASE II-SITE PLAN- TRANSPORTATION CENTER

SCALE: 1"=50'

PRELIMINARY PLAT FOR  
 PHASE IV FOR  
 FRONT STREET VILLAGE  
 NOT FOR CONSTRUCTION

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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021



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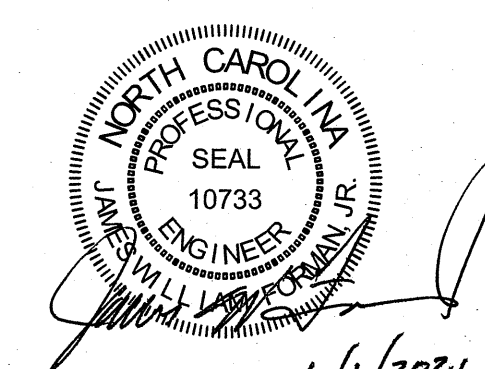
OWNER:  
 FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:

3 GRADING PLAN



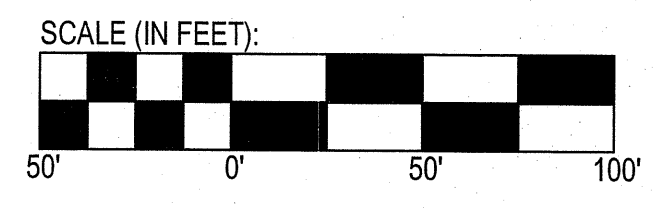
NO.	REVISION	BY	DATE
1	TOWN COMMENTS	JJW	04/08/21
2	TOWN COMMENTS	JJW	04/30/21
3	TOWN COMMENTS	JJW	06/01/21

SHEET NO:

C5

OF: 18  
 JOB NO. 19138

GRADING PLAN  
 SCALE: 1"=50'





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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021



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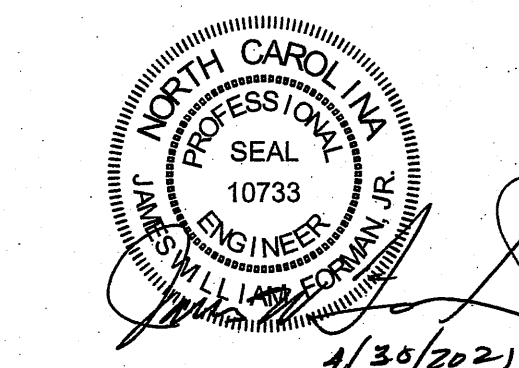
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 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

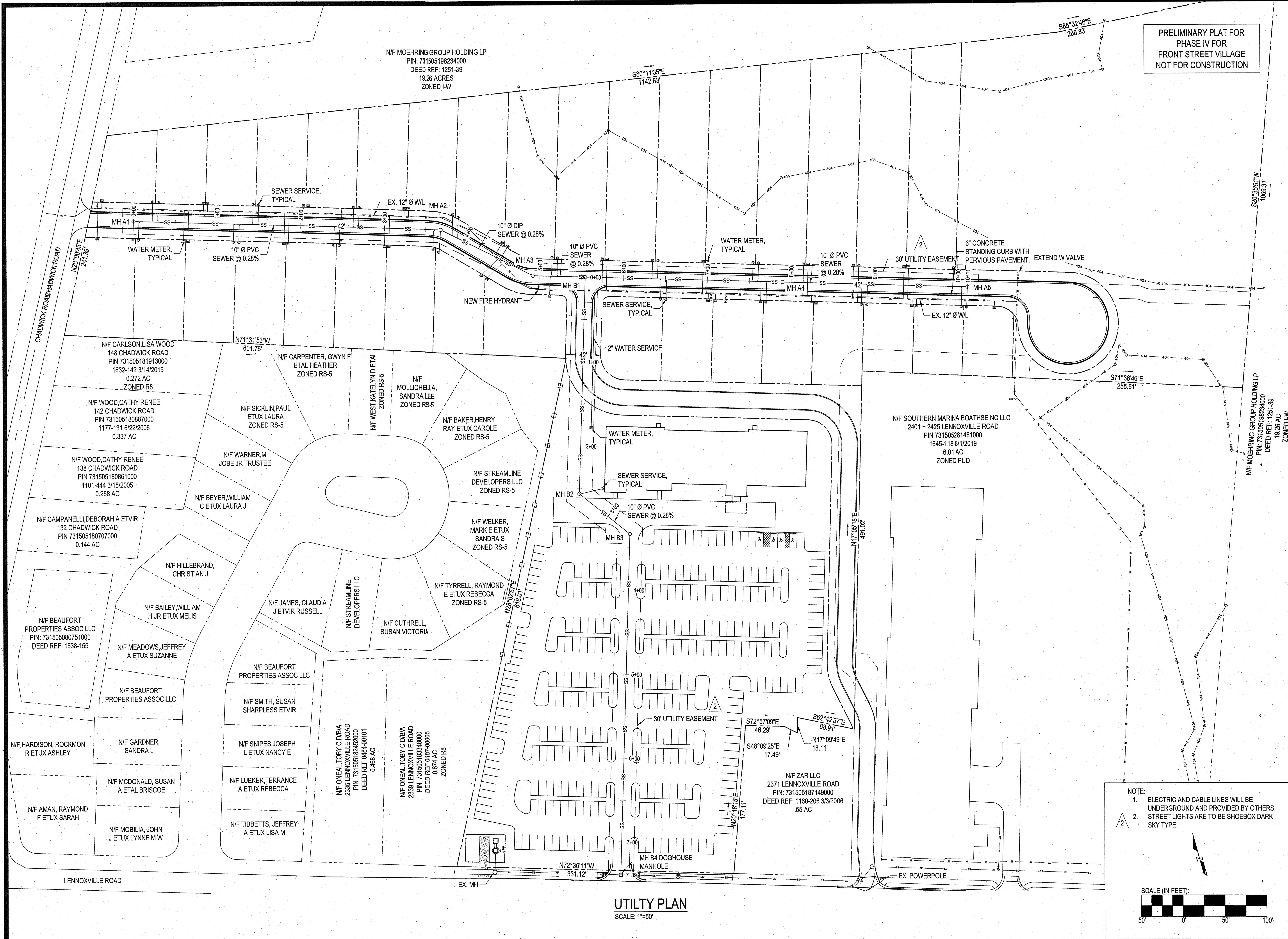
CARTERET COUNTY, NC

DRAWING:  
 UTILITY PLAN



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

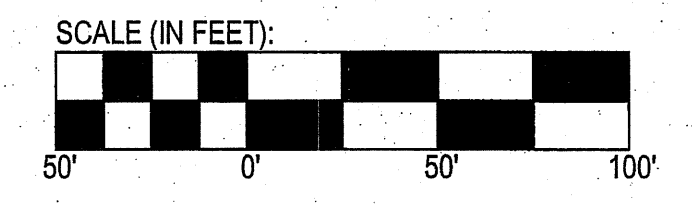
SHEET NO:  
**C6**  
 OF: 18  
 JOB NO.: 19138



PRELIMINARY PLAT FOR  
 PHASE IV FOR  
 FRONT STREET VILLAGE  
 NOT FOR CONSTRUCTION

UTILITY PLAN  
 SCALE: 1"=50'

NOTE:  
 1. ELECTRIC AND CABLE LINES WILL BE UNDERGROUND AND PROVIDED BY OTHERS.  
 2. STREET LIGHTS ARE TO BE SHOEBACK DARK SKY TYPE.



PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PERMISSION.

PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30'  
DATE: 03/29/2021

**ARENDELL ENGINEERS**  
CIVIL - COASTAL - ENVIRONMENTAL

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(252) 622-4338  
Fax: (252) 622-4505

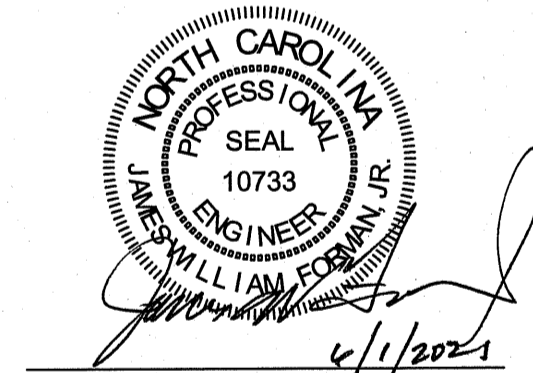
www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
EAST GREAT EGRET WAY SEWER A  
PLAN & PROFILE  
STATIONS 0+00 TO 6+50



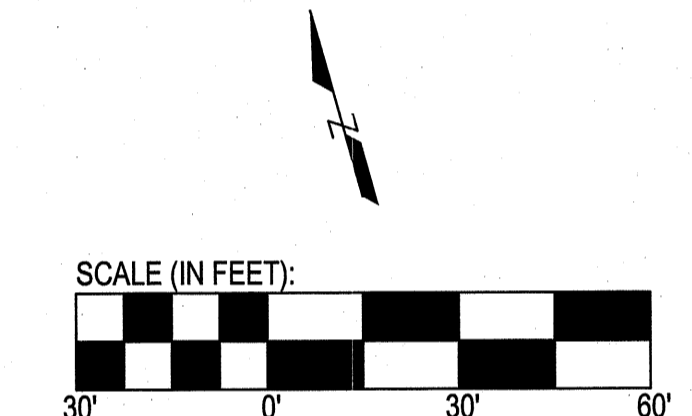
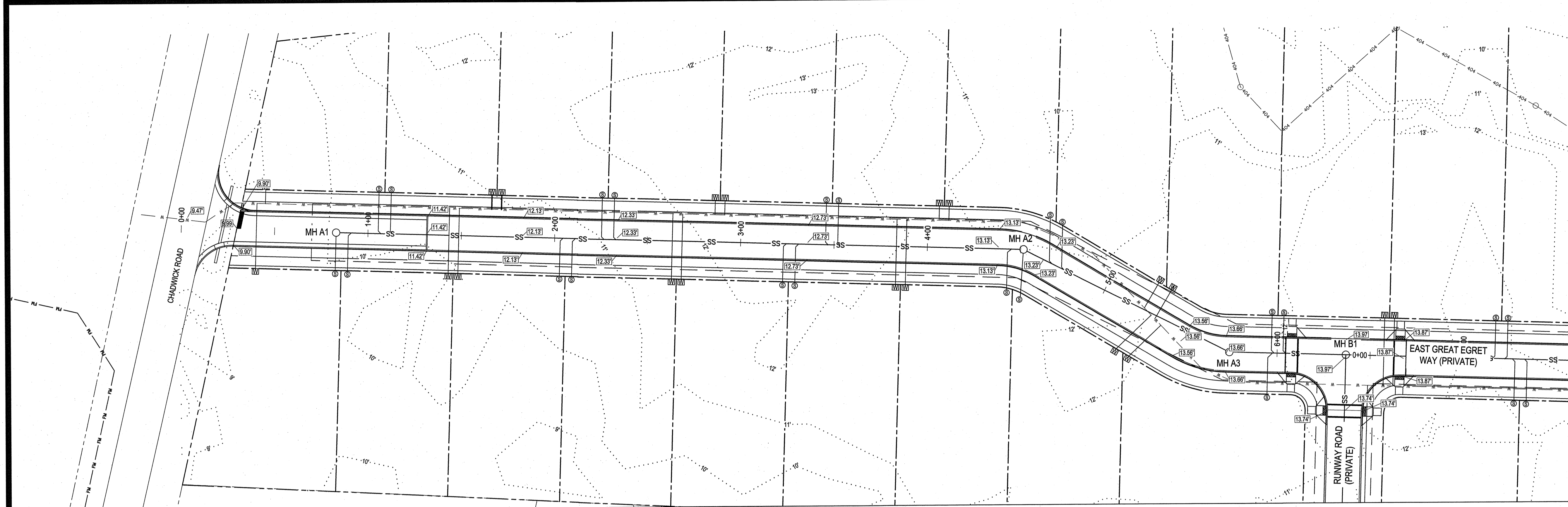
NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	06/01/21	JJW

SHEET NO:

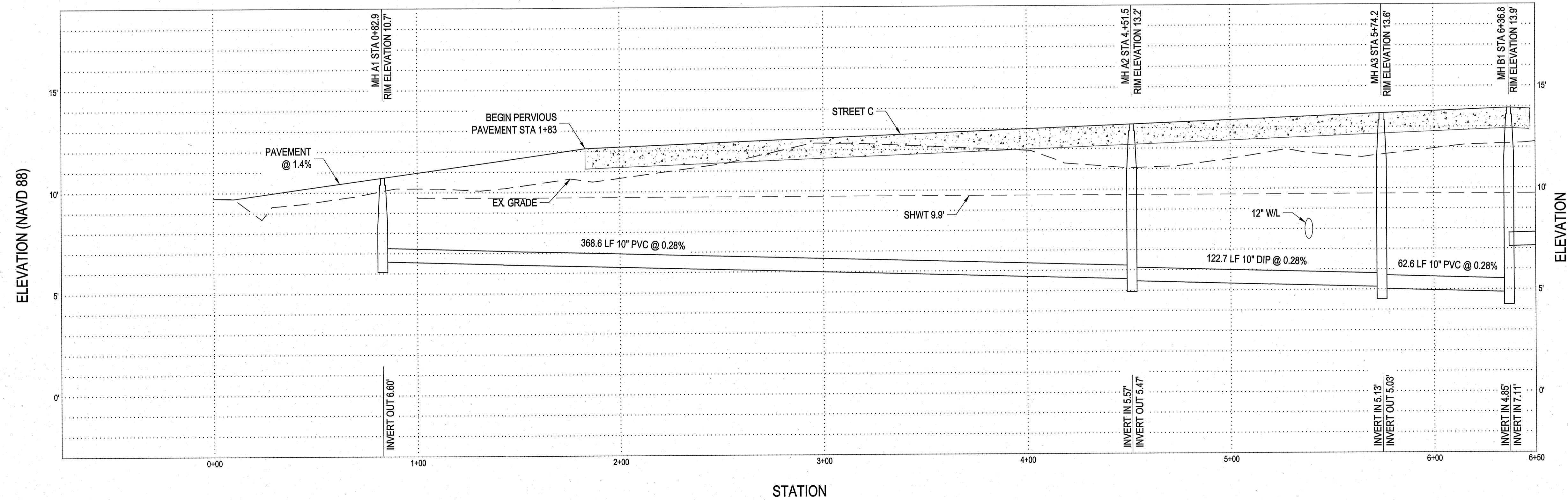
**C7**

OF: 18  
JOB NO. 19138

**EAST GREAT EGRET WAY SEWER A PLAN - STA 0+00 TO 6+50**  
SCALE: 1" = 30'



**EAST EGRET WAY SEWER A PROFILE - STA 0+00 TO 6+50**  
SCALE: V 1"=3'; H 1"=30'



PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PERMISSION.

PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30'  
DATE: 03/29/2021

**ARENDELL ENGINEERS**  
CIVIL - COASTAL - ENVIRONMENTAL

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Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

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OWNER:

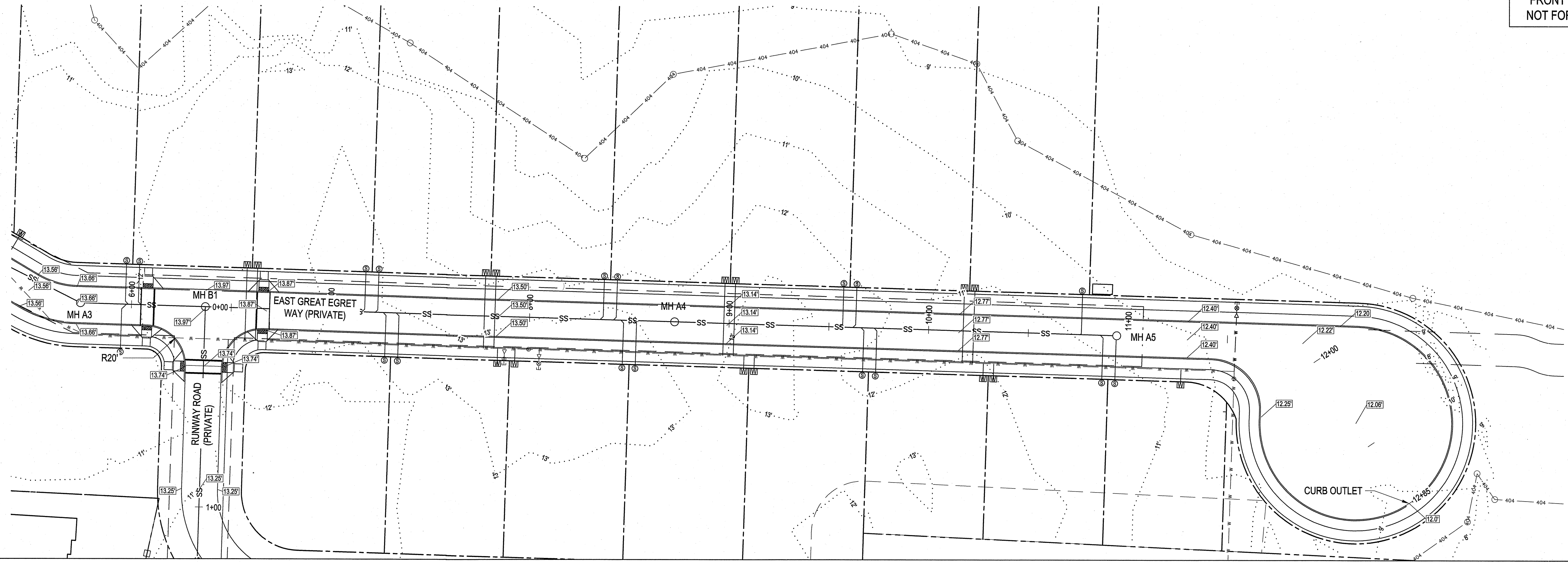
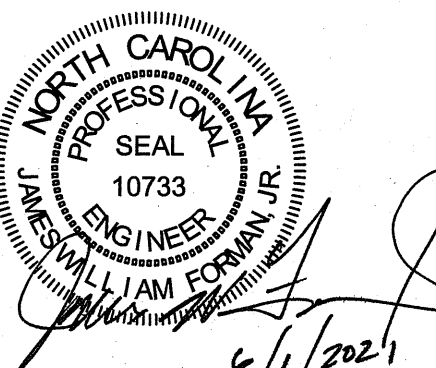
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

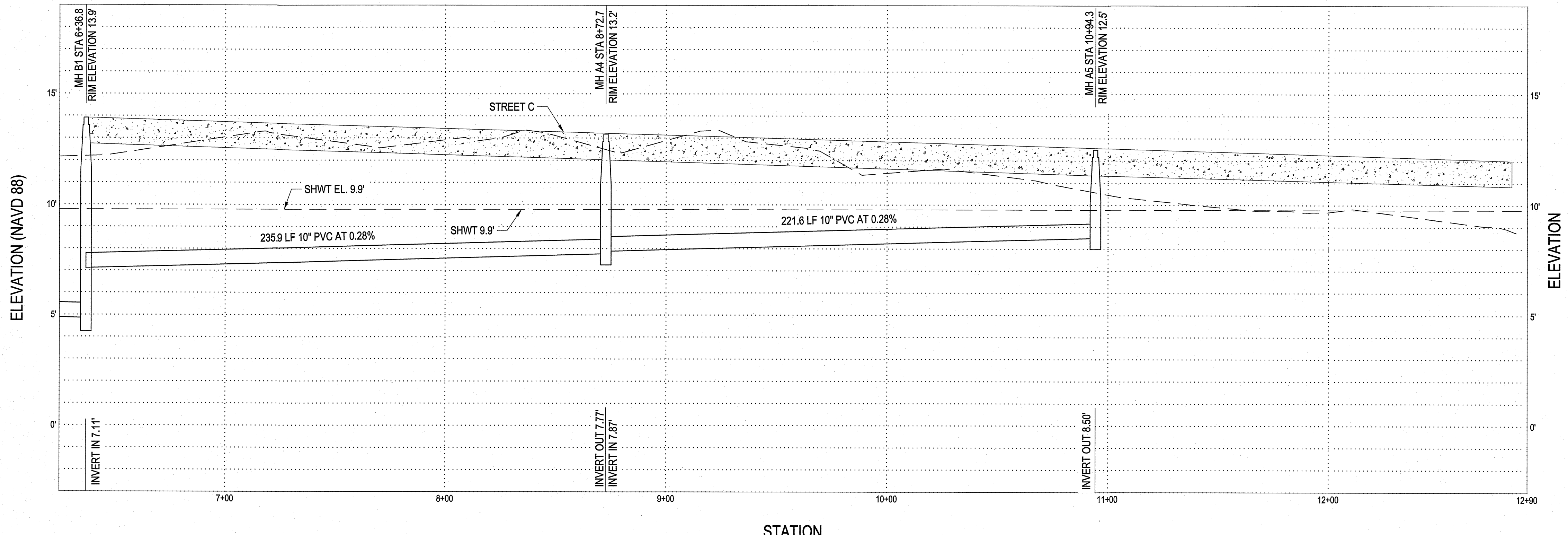
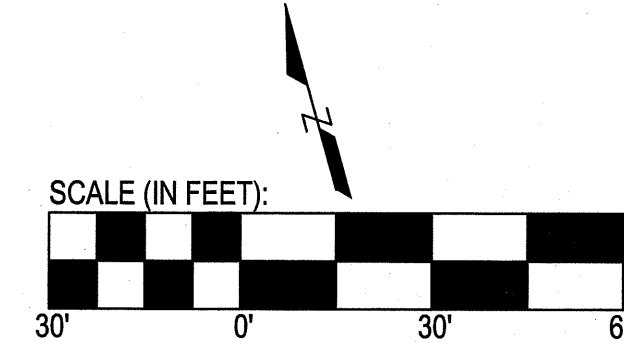
CARTERET COUNTY, NC

DRAWING:

EAST GREAT EGRET WAY SEWER A  
PLAN AND PROFILE  
STATIONS 6+50 TO 12+85



EAST GREAT EGRET WAY SEWER A PLAN - STA 6+50 TO 12+85  
SCALE: 1" = 30'



EAST GREAT EGRET WAYSEWER A PROFILE - STA 6+50 TO 12+85  
SCALE: V 1"=3'; H 1"=30'

NO.	REVISION	BY	DATE
1	TOWN COMMENTS	JJW	04/08/21
2	TOWN COMMENTS	JJW	04/30/21
3	TOWN COMMENTS	JJW	06/01/21

SHEET NO:  
**C8**  
OF: 18  
JOB NO. 19138

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30'  
DATE: 03/29/2021

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(252) 622-4338  
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North Carolina Certification No. C-1509

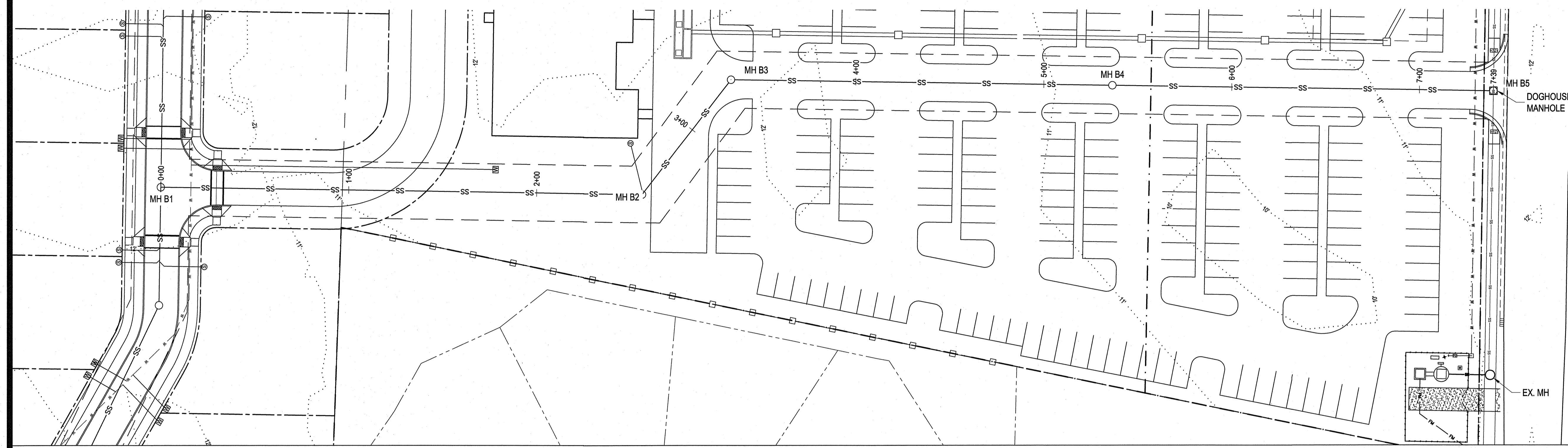
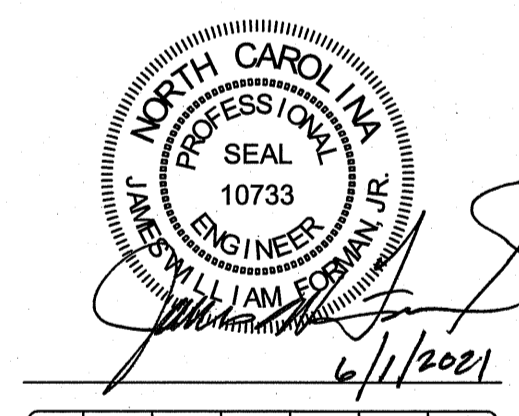
OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

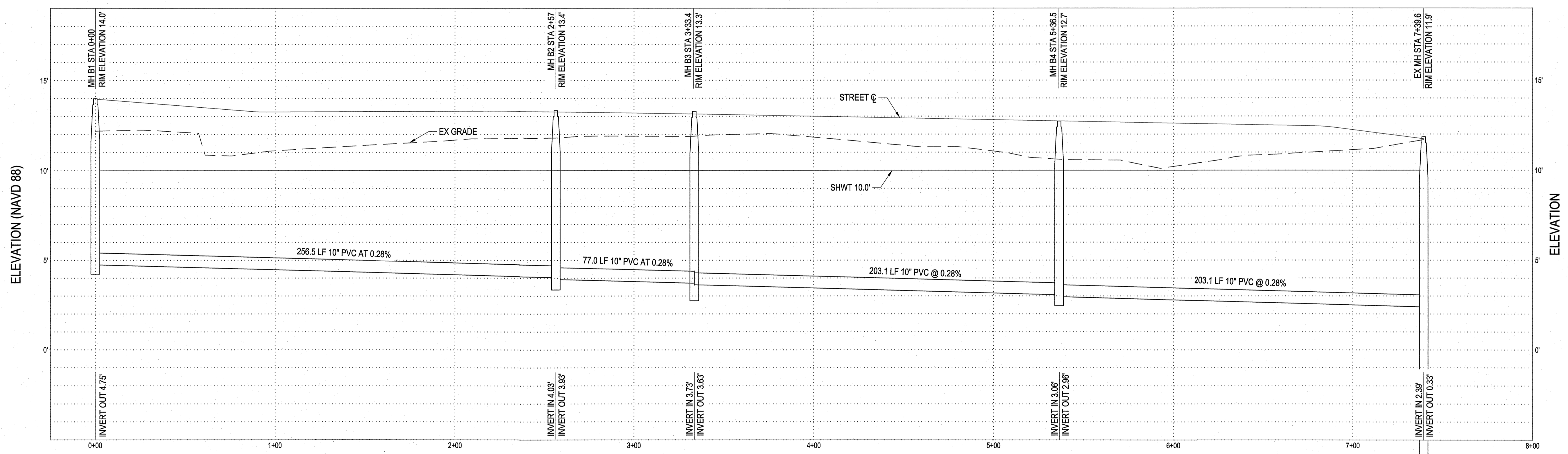
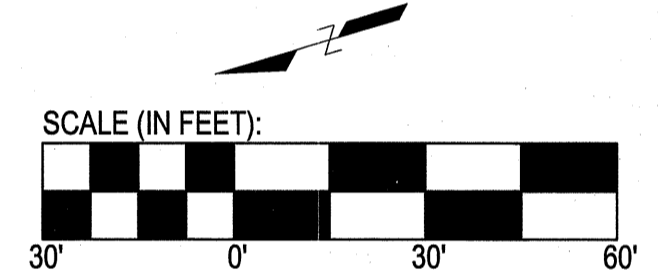
CARTERET COUNTY, NC

DRAWING:

SEWER B PLAN AND PROFILE



SEWER B PLAN  
SCALE: 1" = 30'



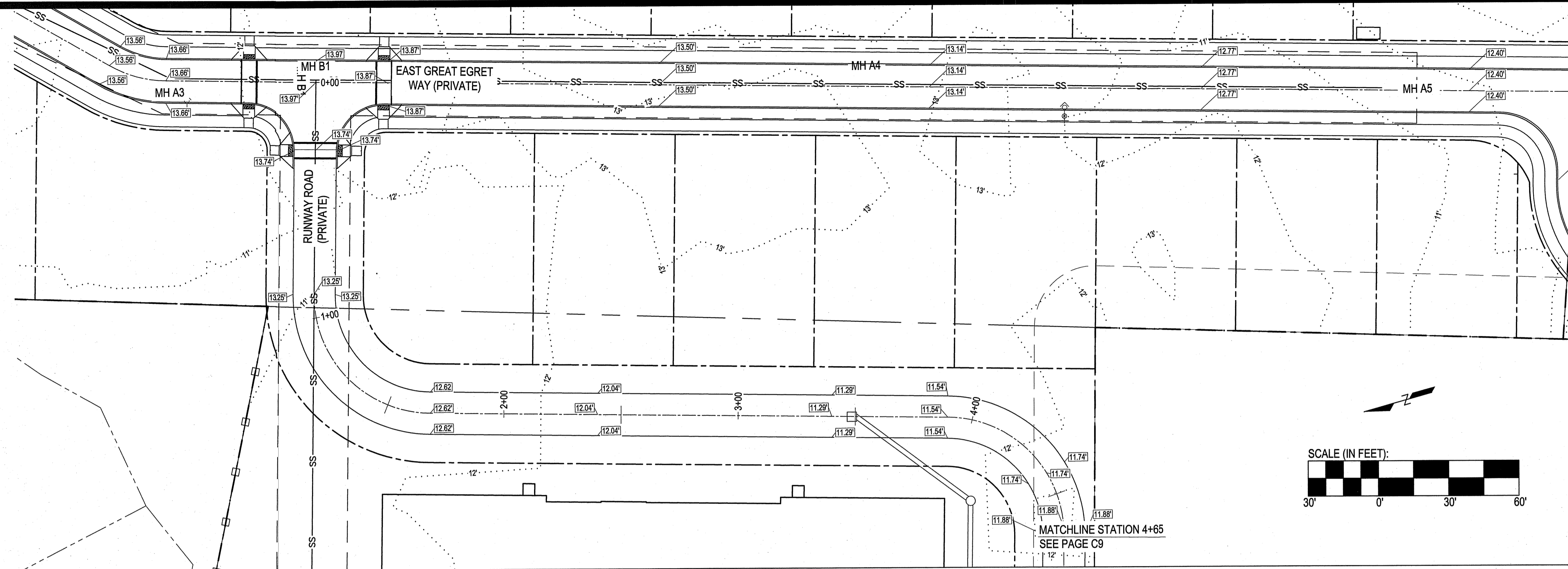
SEWER B PROFILE  
SCALE: V 1" = 30'; H 1" = 30'

NO.	REVISION	BY	DATE
1	TOWN COMMENTS	JJW	04/08/21
2	TOWN COMMENTS	JJW	04/30/21
3	TOWN COMMENTS	JJW	06/01/21

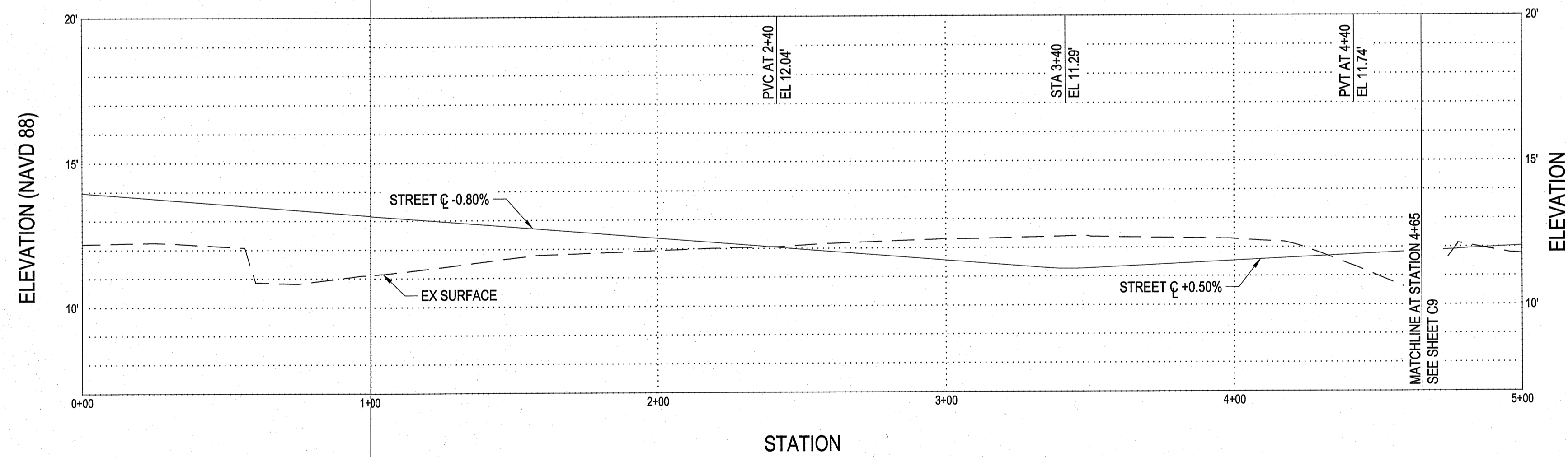
SHEET NO:

C9

OF: 18  
JOB NO. 19138



PLAN VIEW- RUNWAY ROAD STATIONS 0+00 TO 4+65  
SCALE: 1"=30'



PROFILE VIEW- RUNWAY ROAD STATIONS 0+00 TO 4+65  
SCALE: V 1"=3' / H 1"=30'

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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30'  
DATE: 03/29/2021



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Fax: (252) 622-4505

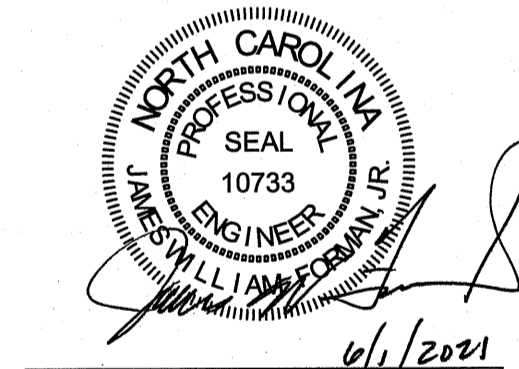
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North Carolina Certification No. C-1509  
OWNER:

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2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
3 RUNWAY ROAD  
PLAN AND PROFILE  
STATIONS 0+00 TO 4+65



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	06/01/21	JJW

SHEET NO:  
**C10**

OF: 18  
JOB NO. 19138

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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 30'  
 DATE: 03/29/2021



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 Fax: (252) 622-4505

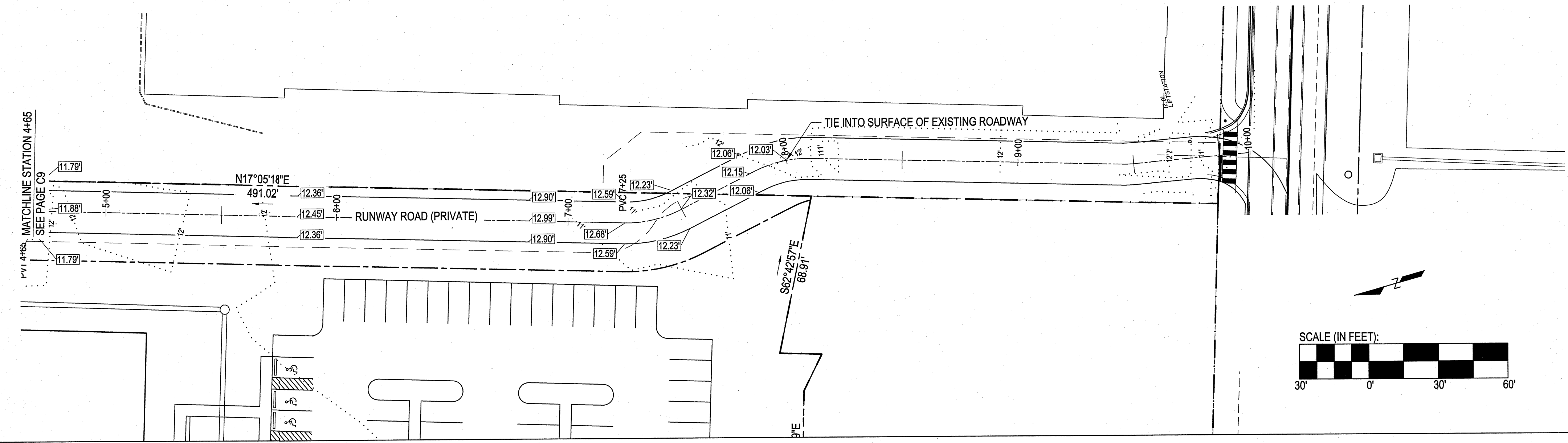
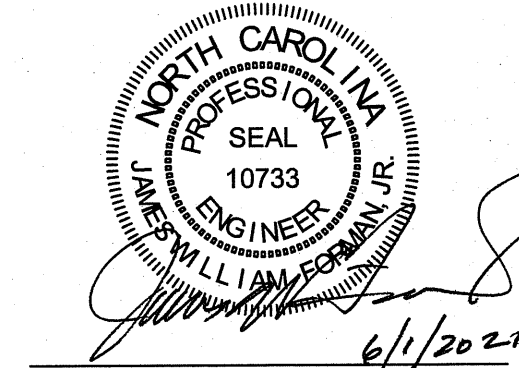
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 North Carolina Certification No. C-1509  
 OWNER:

FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

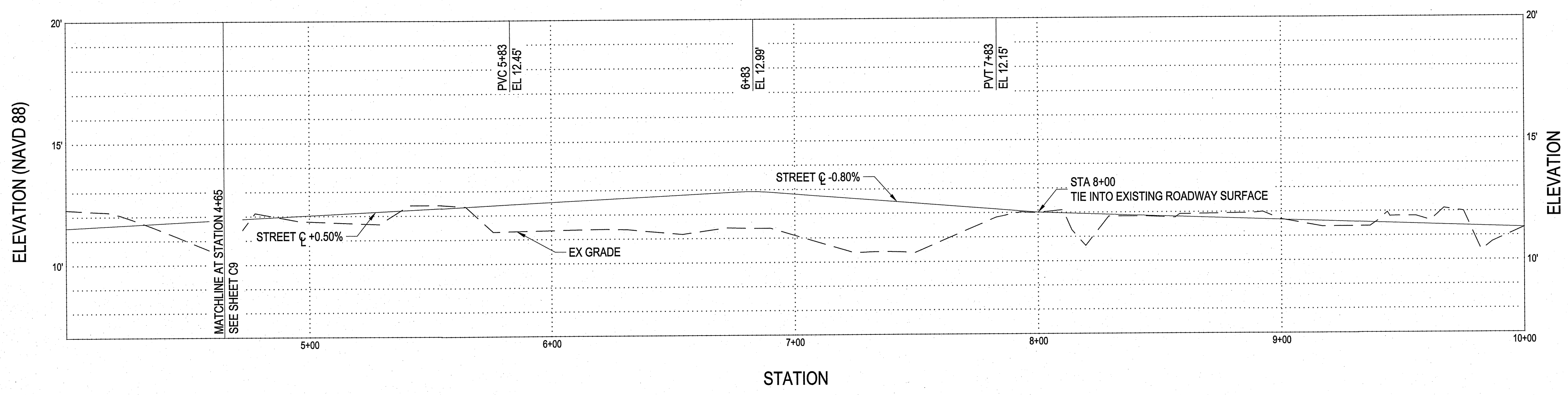
PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 3 RUNWAY ROAD  
 PLAN AND PROFILE  
 STATIONS 4+65 TO 10+00



PLAN VIEW- RUNWAY ROAD STATIONS 4+65 TO 10+00  
 SCALE: 1"=30'



PROFILE VIEW- RUNWAY ROAD STATIONS 4+65 TO 10+00  
 SCALE: V 1"=3' / H 1"=30'

NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	06/01/21	JJW

SHEET NO:  
**C11**

OF: 18  
 JOB NO. 19138

PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30"  
DATE: 03/29/2021

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Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

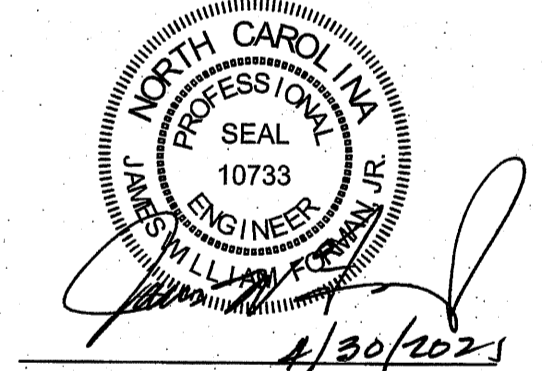
www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
UTILITY DETAILS



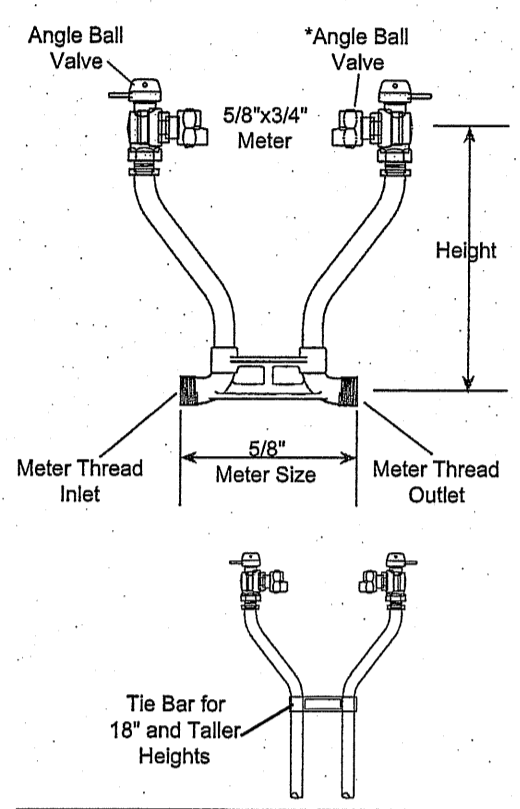
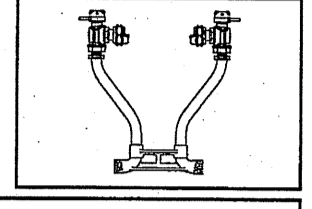
NO.	REVISION	DATE	BY	COMMENTS
1		04/08/21	JWF	TOWN COMMENTS
2		04/30/21	JWF	TOWN COMMENTS

SHEET NO:  
**C12**  
OF: 18  
JOB NO. 19138

**SUBMITTAL INFORMATION**

**40 Series Resetter - (VBB42-xxW-BI-NL style)**

ANGLE BALL VALVE BY ANGLE BALL VALVE (5/8" X 3/4" METER)  
5/8" METER THREAD INLET AND OUTLET



HEIGHT (INCHES)	APPROX. WT. LBS.	CATALOG NUMBER	DISUBMITTED ITEM(S)
7	3.3	VBB42-7W-BI-NL	
9	3.5	VBB42-9W-BI-NL	
12	3.7	VBB42-12W-BI-NL	
15	3.9	VBB42-15W-BI-NL	
18	4.6	VBB42-18W-BI-NL	
21	4.8	VBB42-21W-BI-NL	
24	5.1	VBB42-24W-BI-NL	
27	5.3	VBB42-27W-BI-NL	
30	5.6	VBB42-30W-BI-NL	

The Angle Ball Valve is a one-way directional valve designed for the inlet side of the meter and should not be used as a customer shut-off on the customer side of the meter.

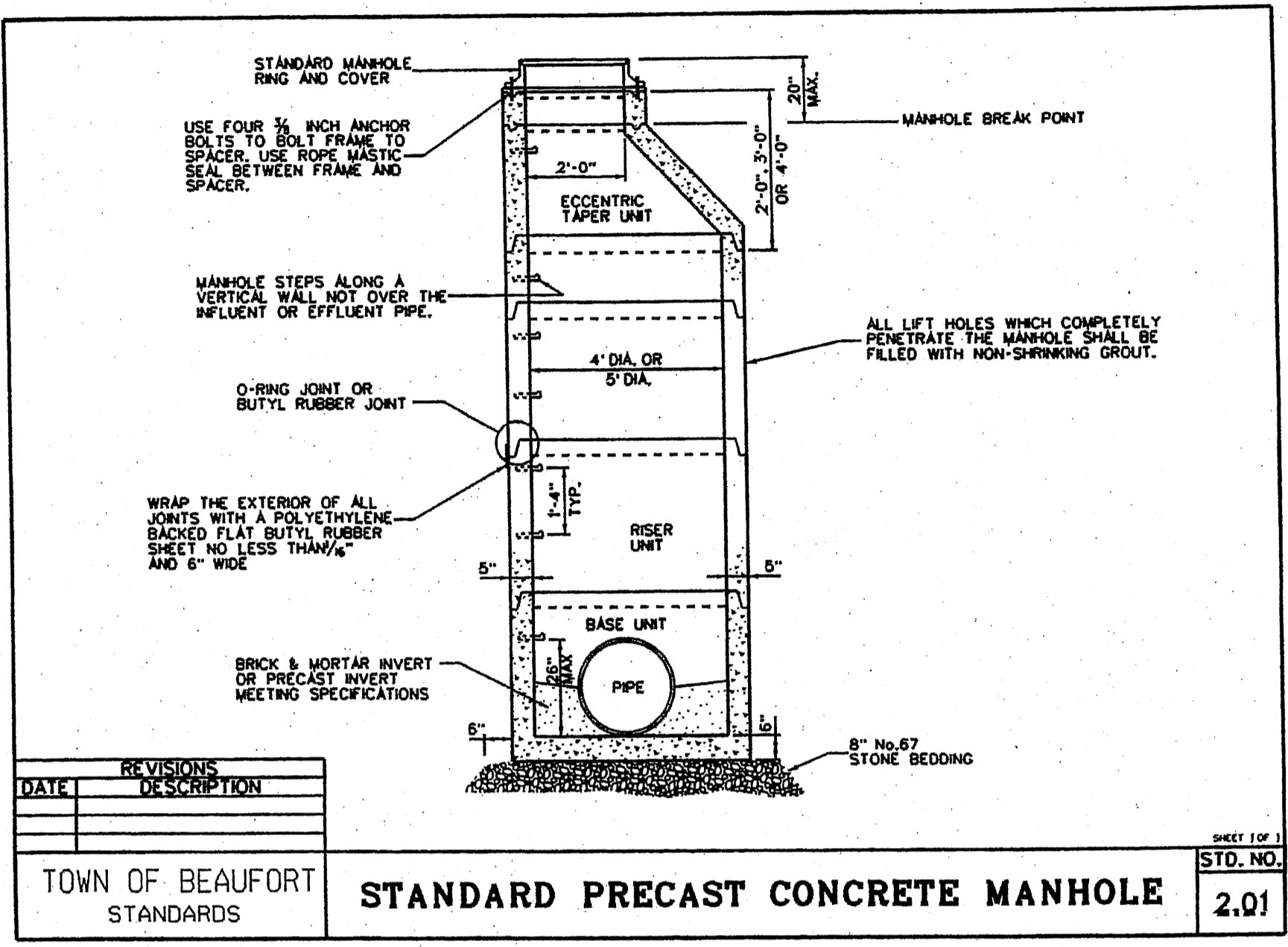
Bottom Bar Meter Thread Size	
INLET	OUTLET
5/8"	5/8"

- FEATURES**
- All brass that comes in contact with potable water conforms to AWWA Standard C800 (UNS NO C89833)
  - Brass components that do not come in contact with potable water conform to AWWA Standard C800 (ASTM B-62 and ASTM B-584, UNS NO C83600 - 85-5-5-4)
  - The product has the letters "NL" cast into the main body for proper identification
  - Saddle nuts hold the meter in place for tightening
  - Tie Bar is standard for 18" and taller resetter heights (40 Series)
  - Conforms to AWWA C700 for Meter Threads
  - 13/16" Copper risers provide more flow capacity
  - All Ford Setters are assembled with lead-free solder
  - Copper conforms to ASTM B-75, Copper Alloy #122
  - 5/8" meter thread on bottom bar

The Ford Meter Box Company considers the information in this submittal form to be correct at the time of publication. Item and option availability, including specifications, are subject to change without notice. Please verify that your product information is current.

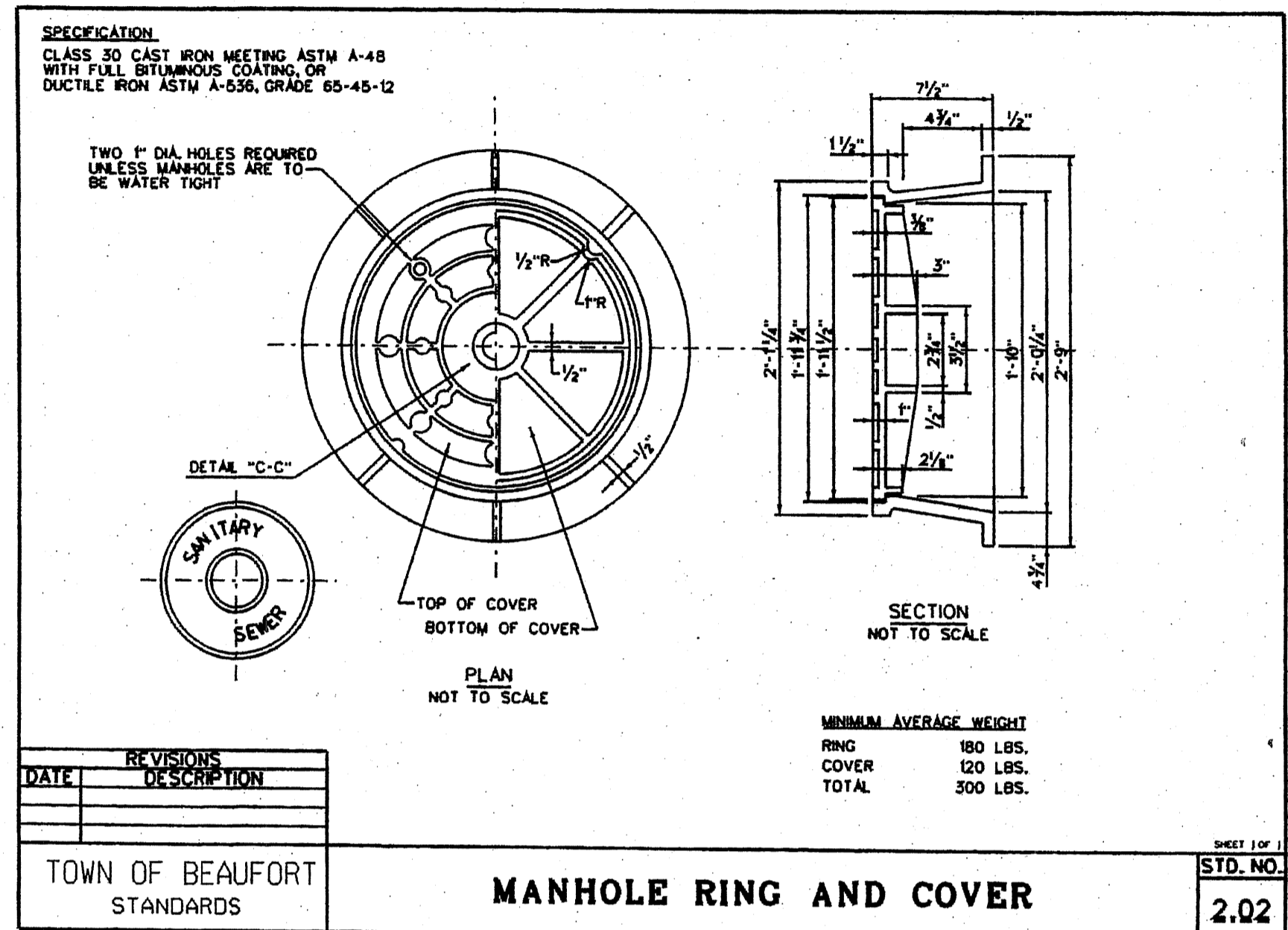
**The Ford Meter Box Company, Inc.**  
P.O. Box 443, Wabash, Indiana U.S.A. 46992-0443  
Phone: 260-563-3171 / Fax: 260-526-3487  
Overseas Fax: 260-563-0167  
http://www.fordmeterbox.com

Submitted By:  
06/22/12



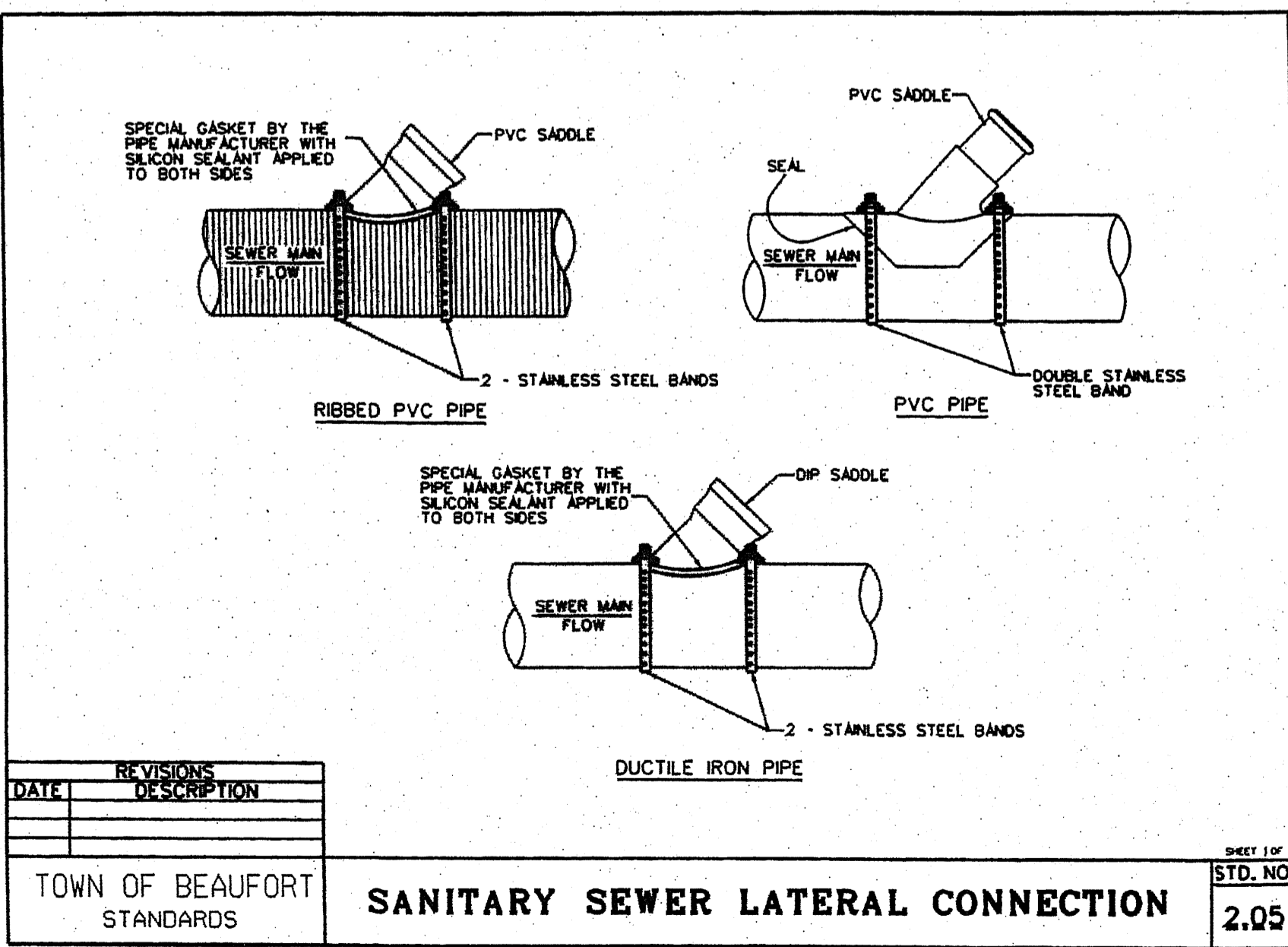
DATE	REVISIONS	DESCRIPTION	STANDARD NO.
			2.01

TOWN OF BEAUFORT STANDARDS



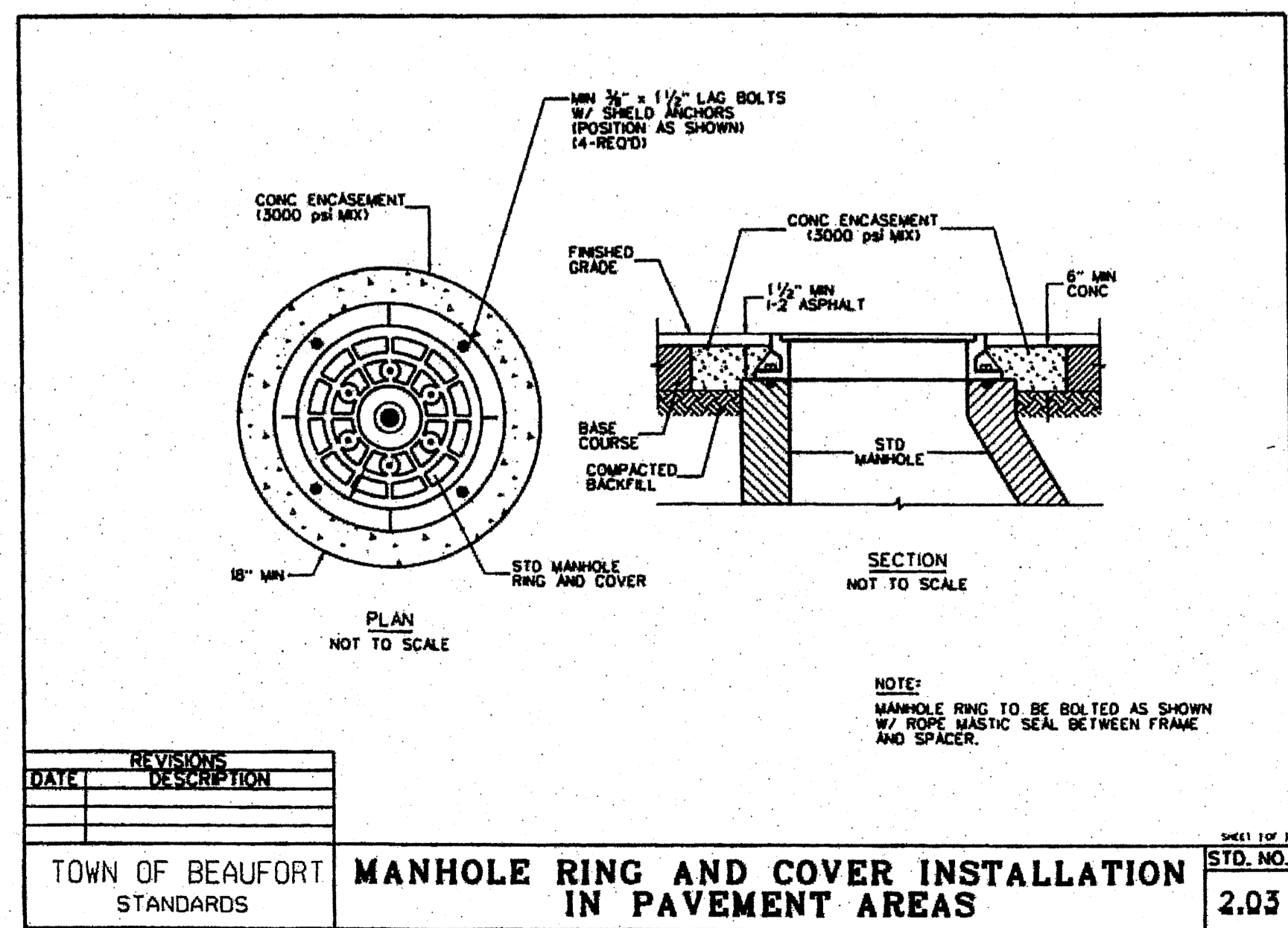
DATE	REVISIONS	DESCRIPTION	STANDARD NO.
			2.02

TOWN OF BEAUFORT STANDARDS



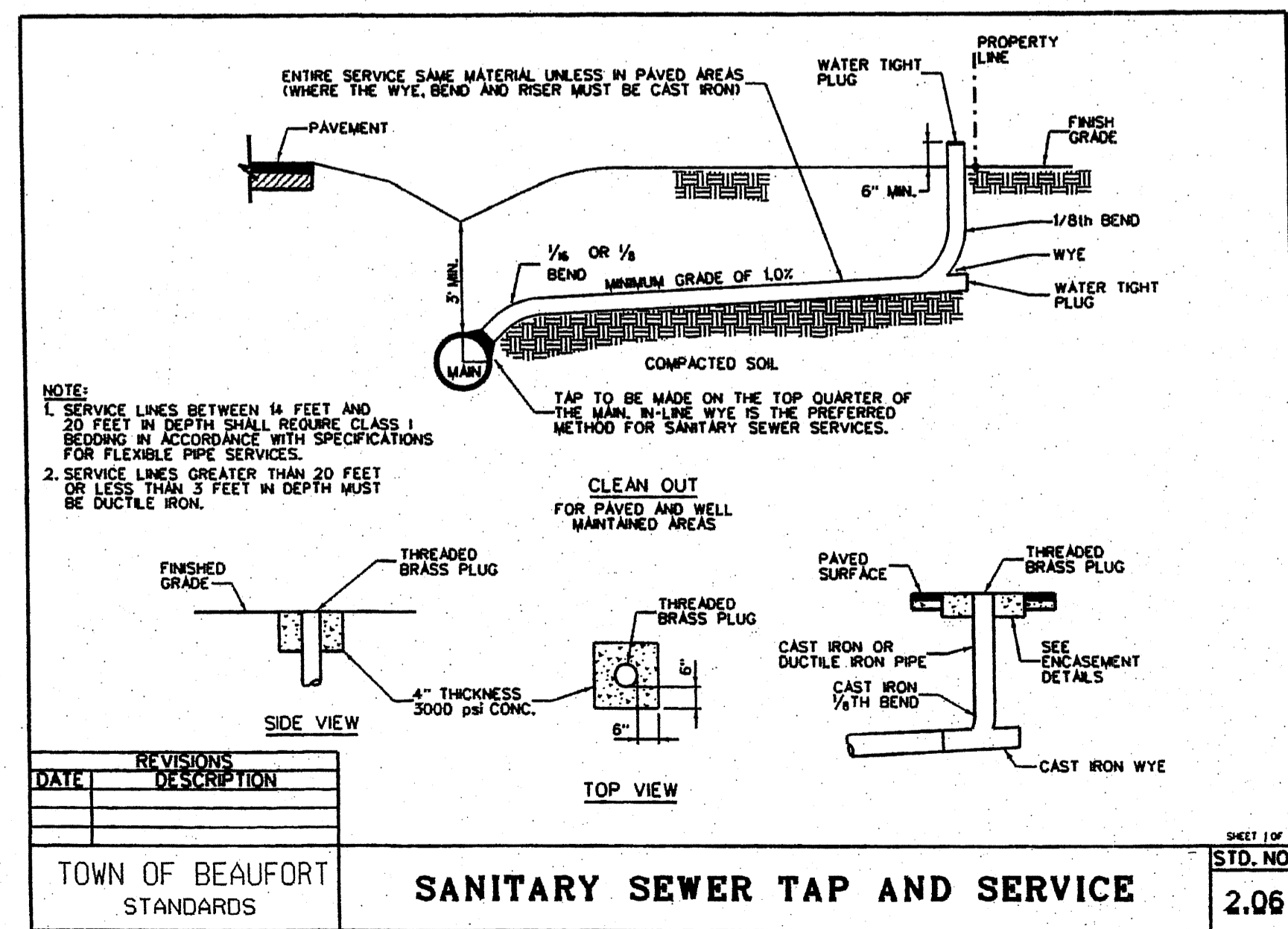
DATE	REVISIONS	DESCRIPTION	STANDARD NO.
			2.05

TOWN OF BEAUFORT STANDARDS



DATE	REVISIONS	DESCRIPTION	STANDARD NO.
			2.03

TOWN OF BEAUFORT STANDARDS



DATE	REVISIONS	DESCRIPTION	STANDARD NO.
			2.06

TOWN OF BEAUFORT STANDARDS

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021



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Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

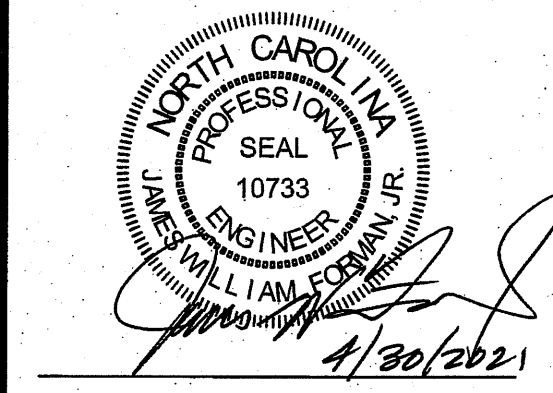
www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
LANDSCAPING PLAN



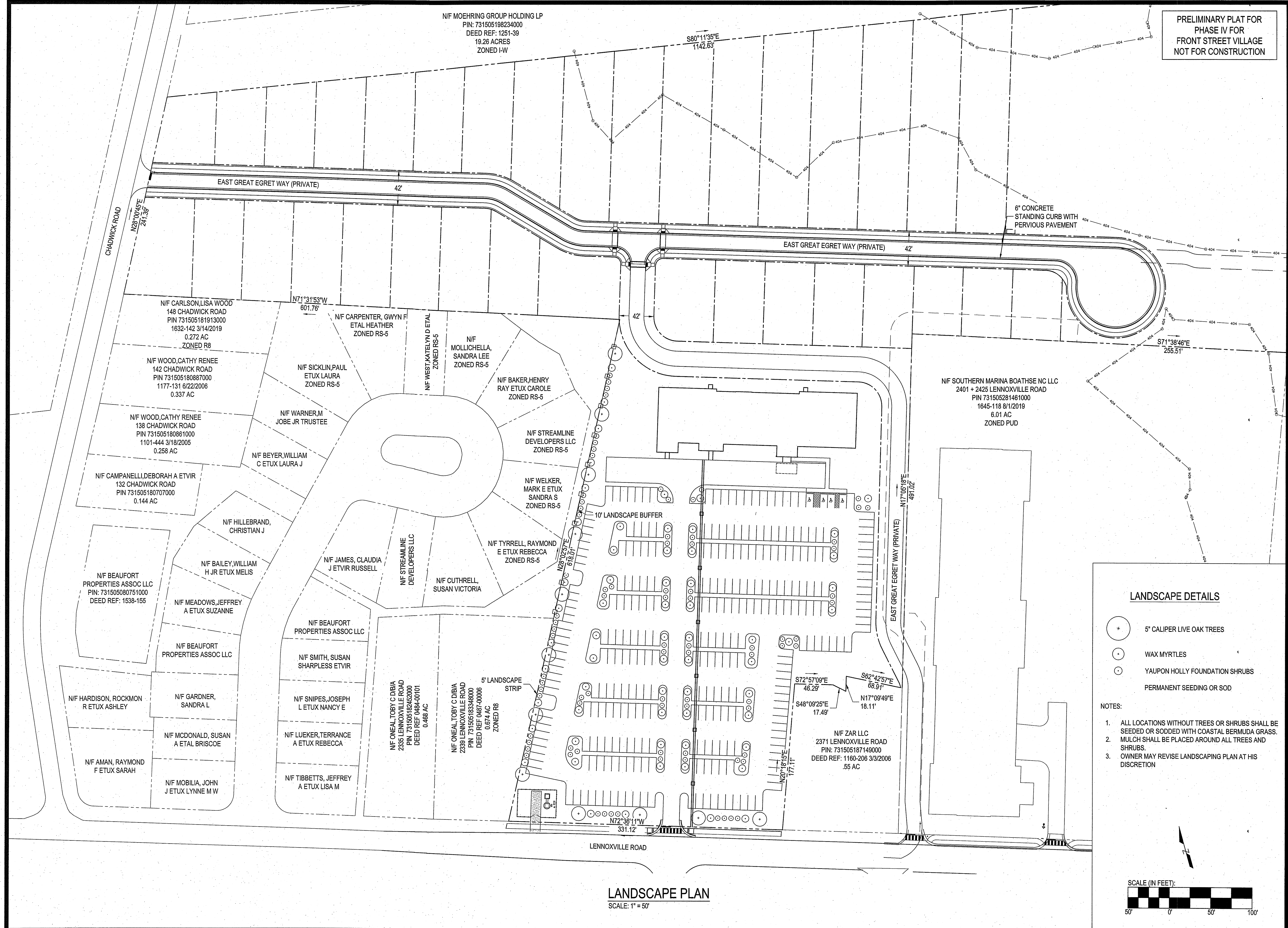
LANDSCAPE DETAILS

- ⊕ 5" CALIPER LIVE OAK TREES
  - ⊙ WAX MYRTLES
  - ⊙ YAUPON HOLLY FOUNDATION SHRUBS
- PERMANENT SEEDING OR SOD

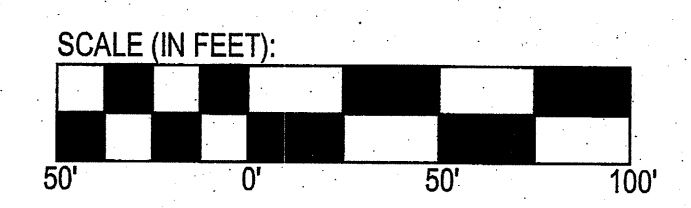
- NOTES:
- ALL LOCATIONS WITHOUT TREES OR SHRUBS SHALL BE SEEDED OR SODDED WITH COASTAL BERMUDA GRASS. MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS.
  - OWNER MAY REVISE LANDSCAPING PLAN AT HIS DISCRETION

NO.	REVISION	DATE	BY	TOWN COMMENTS
1		04/08/21	JJW	
2		04/30/21	JJW	

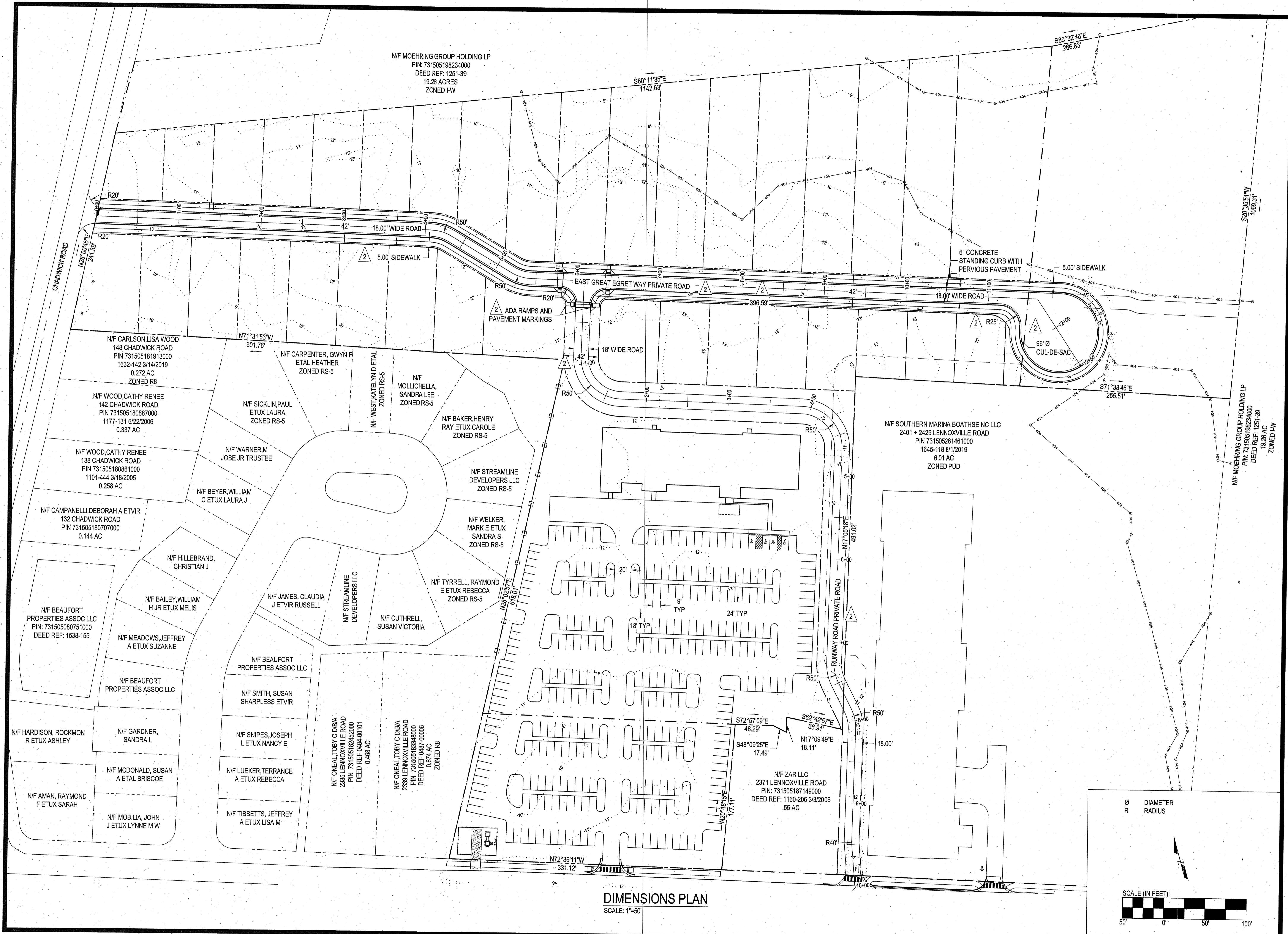
SHEET NO:  
**C13**  
OF: 18  
JOB NO. 19138



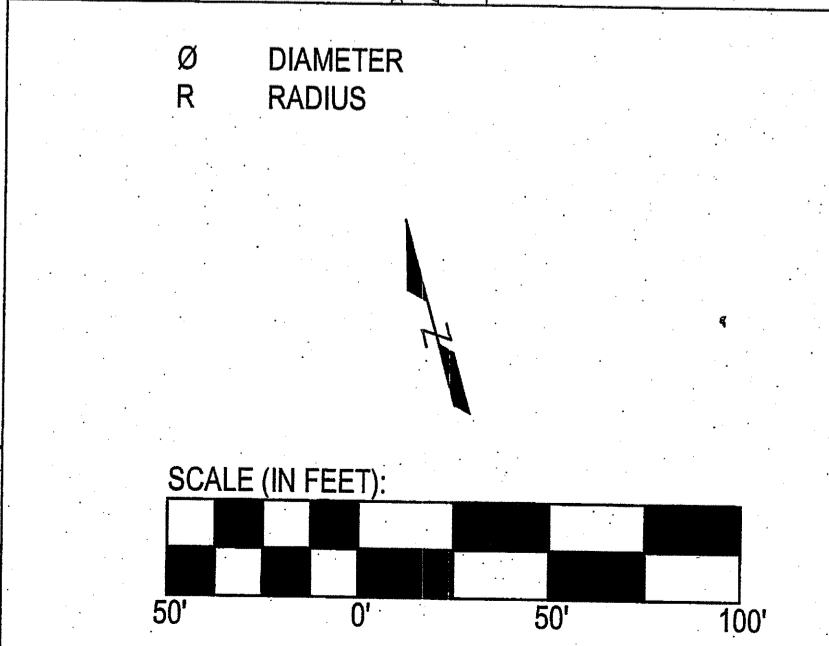
LANDSCAPE PLAN  
SCALE: 1" = 50'







**DIMENSIONS PLAN**  
SCALE: 1"=50'



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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021

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 Morehead City, NC 28557  
 (252) 622-4338  
 Fax: (252) 622-4505

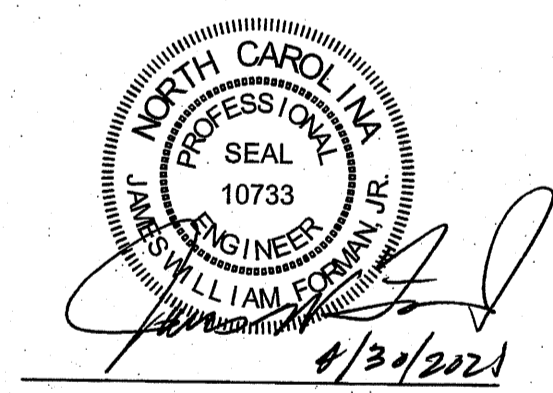
www.arendellengineers.com  
 North Carolina Certification No. C-1509  
 OWNER:

FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 DIMENSIONS PLAN

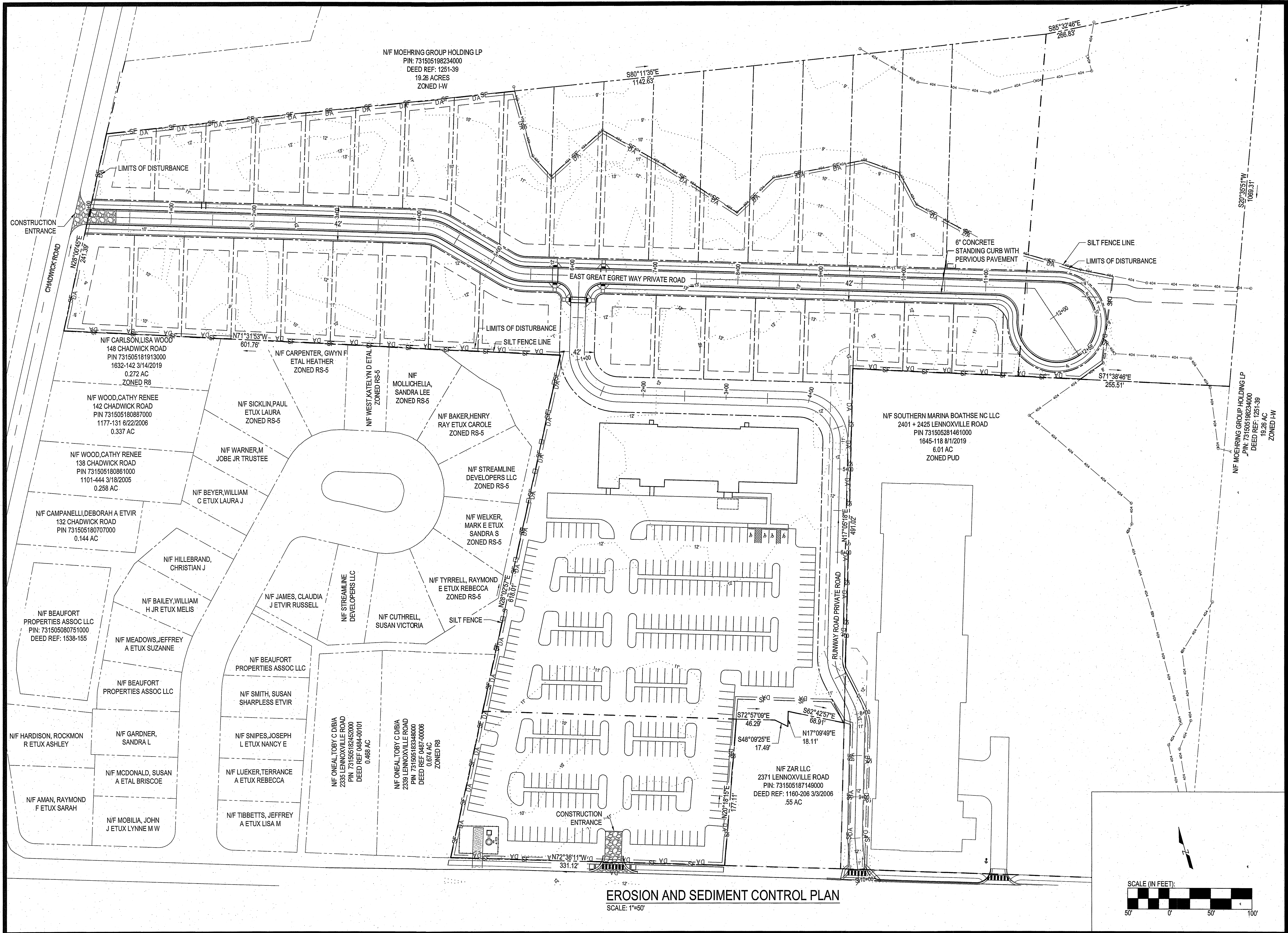


NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

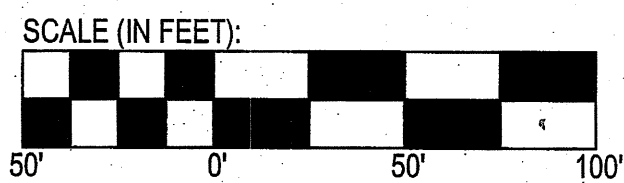
SHEET NO:

**C14**

OF: 18  
 JOB NO. 19138



**EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1"=50'



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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021



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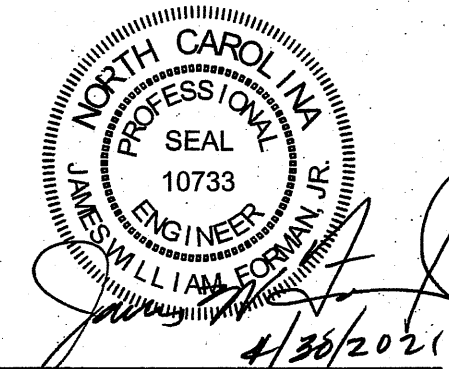
www.arendellengineers.com  
 North Carolina Certification No. C-1509  
 OWNER:

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 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 EROSION AND SEDIMENT CONTROL  
 PLAN



NO.	REVISION	BY	DATE	TOWN COMMENTS
1		JW	04/08/21	
2		JW	04/30/21	

SHEET NO:  
**C15**  
 OF: 18  
 JOB NO. 19138

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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: NTS  
 DATE: 03/29/2021



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 Morehead City, NC 28557  
 (252) 622-4338  
 Fax: (252) 622-4505

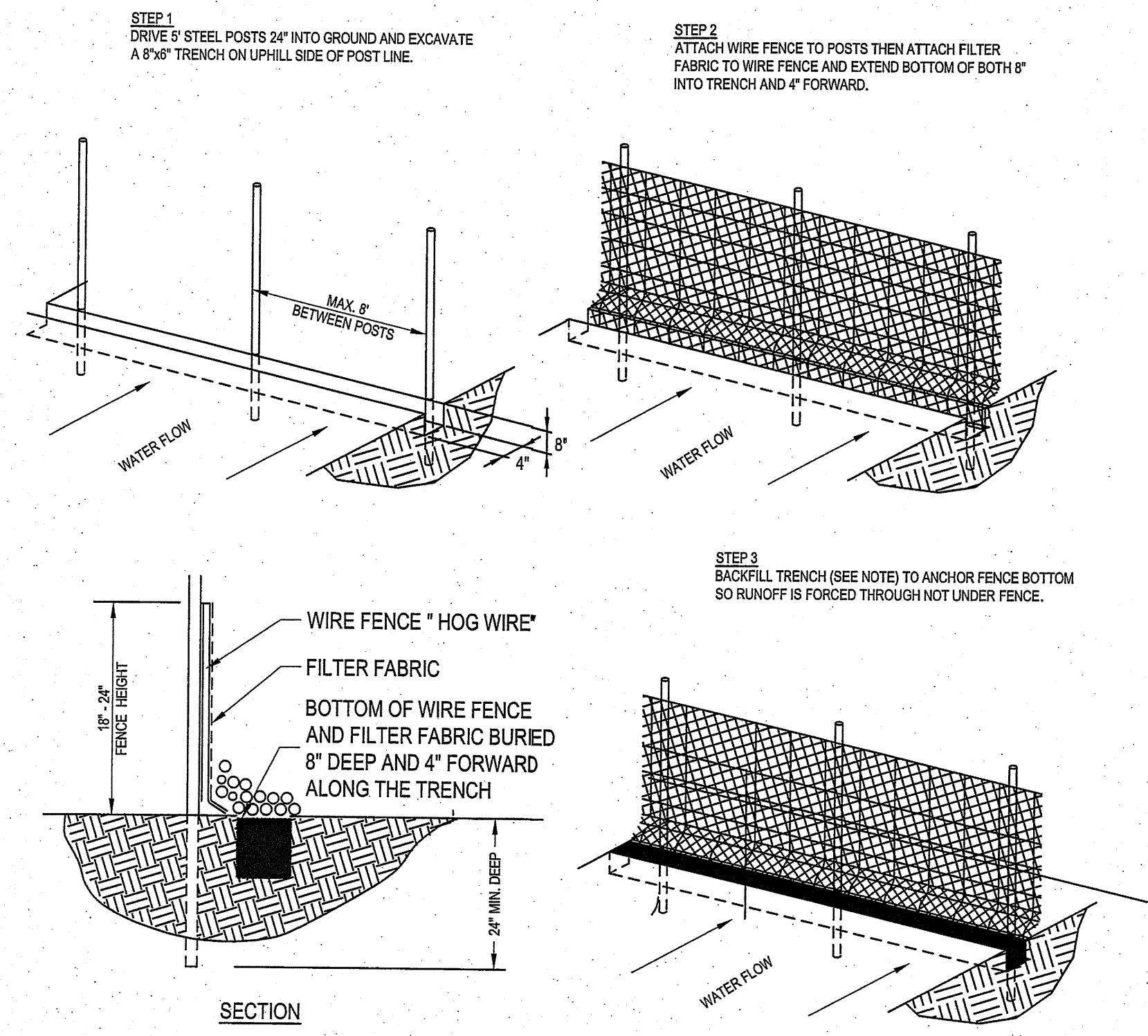
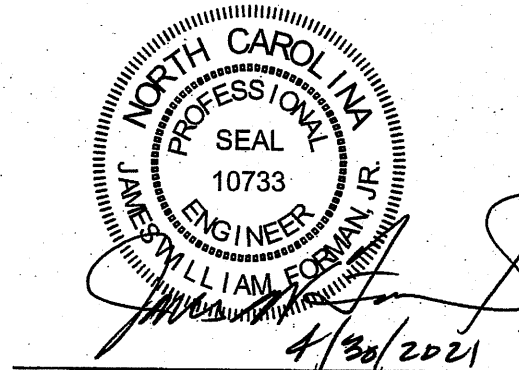
www.arendellengineers.com  
 North Carolina Certification No. C-1509

OWNER:  
 FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

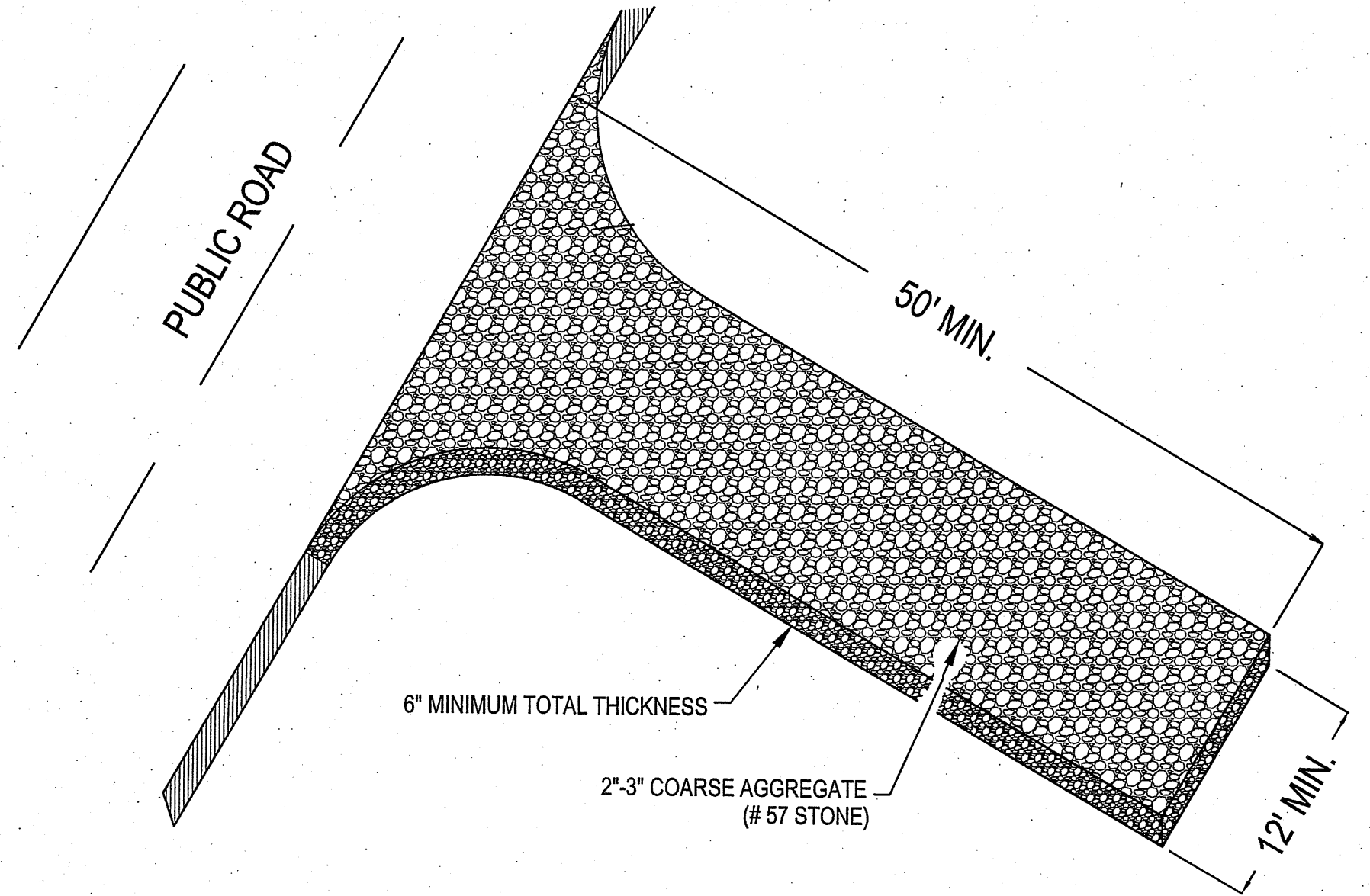
CARTERET COUNTY, NC

DRAWING:  
 EROSION AND SEDIMENT  
 CONTROL DETAILS



NOTES:  
 1. SEE EROSION CONTROL GENERAL NOTES.  
 2. FILTER FABRIC BOTTOM SHALL BE PLACED 8" IN TRENCH AND 4" FORWARD AND SECURED BY EITHER WASHED STONE EXTENDING A MINIMUM OF 6" ABOVE GROUND LEVEL OR TAMPED SOIL BACKFILL MATERIAL TO GROUND LEVEL OR HIGHER.

**TEMPORARY SILT FENCE**  
 SCALE: NOT TO SCALE



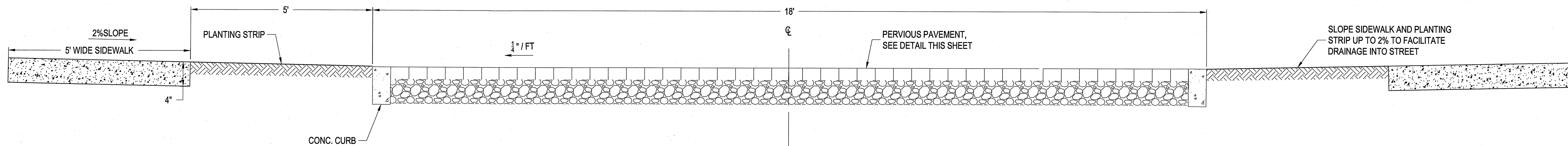
**CONSTRUCTION ENTRANCE**  
 SCALE: NOT TO SCALE

**EROSION AND SEDIMENT CONTROL DETAILS**  
 NOT TO SCALE

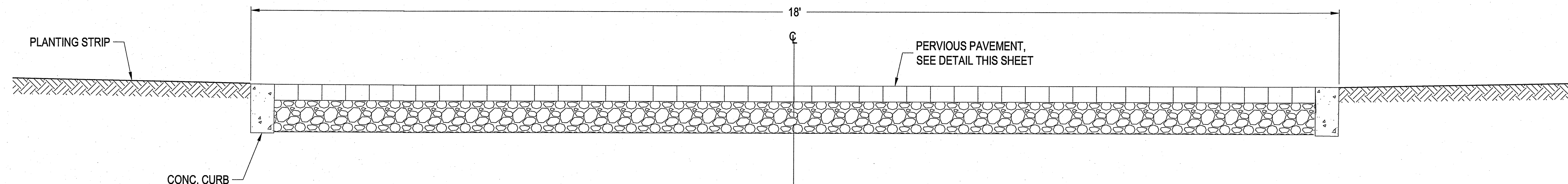
NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO:  
**C16**

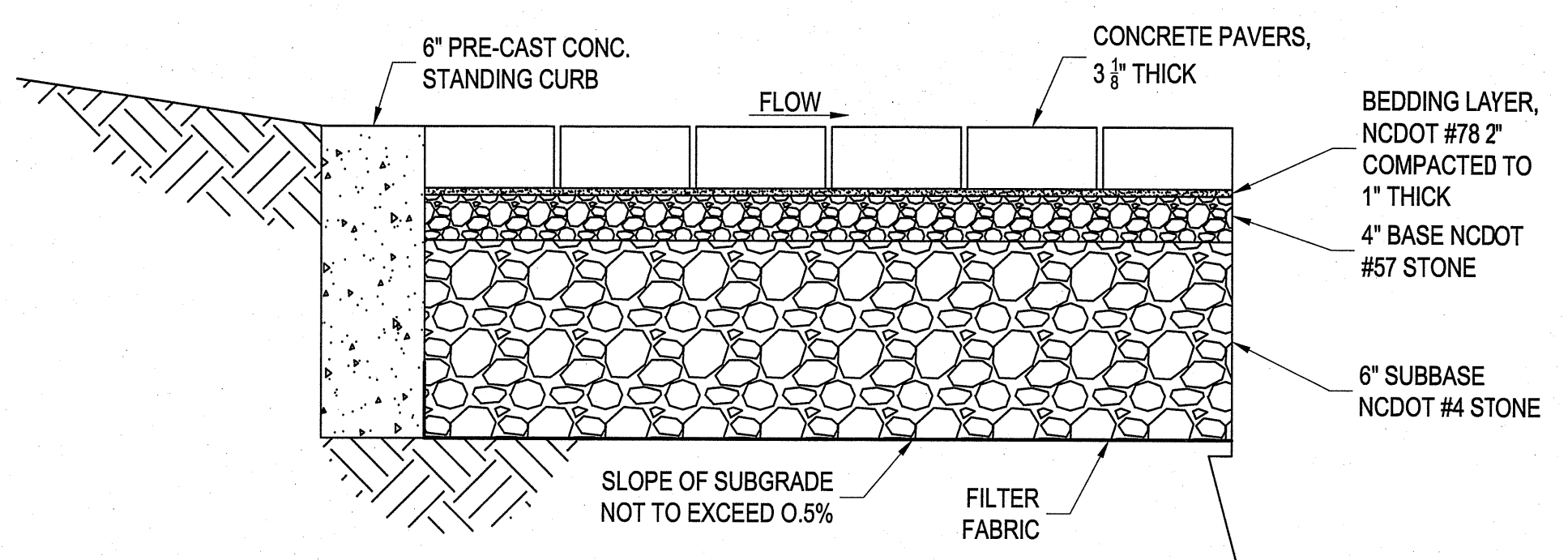
OF: 18  
 JOB NO.: 19138



**EAST GREAT EGRET WAY - TYPICAL SECTION**  
SCALE: NOT TO SCALE



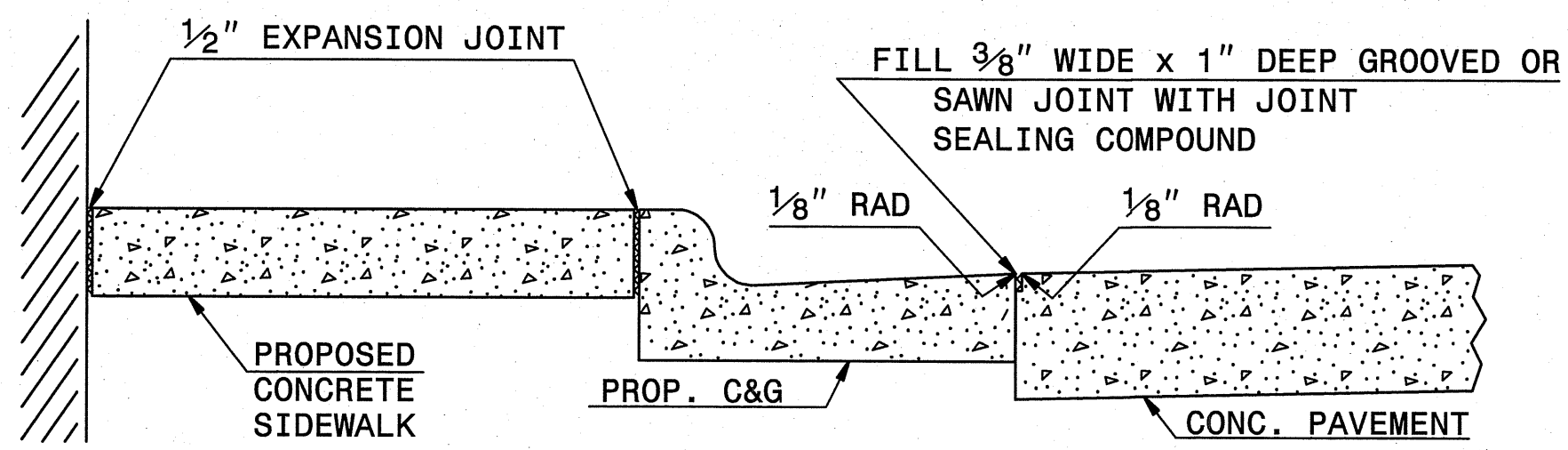
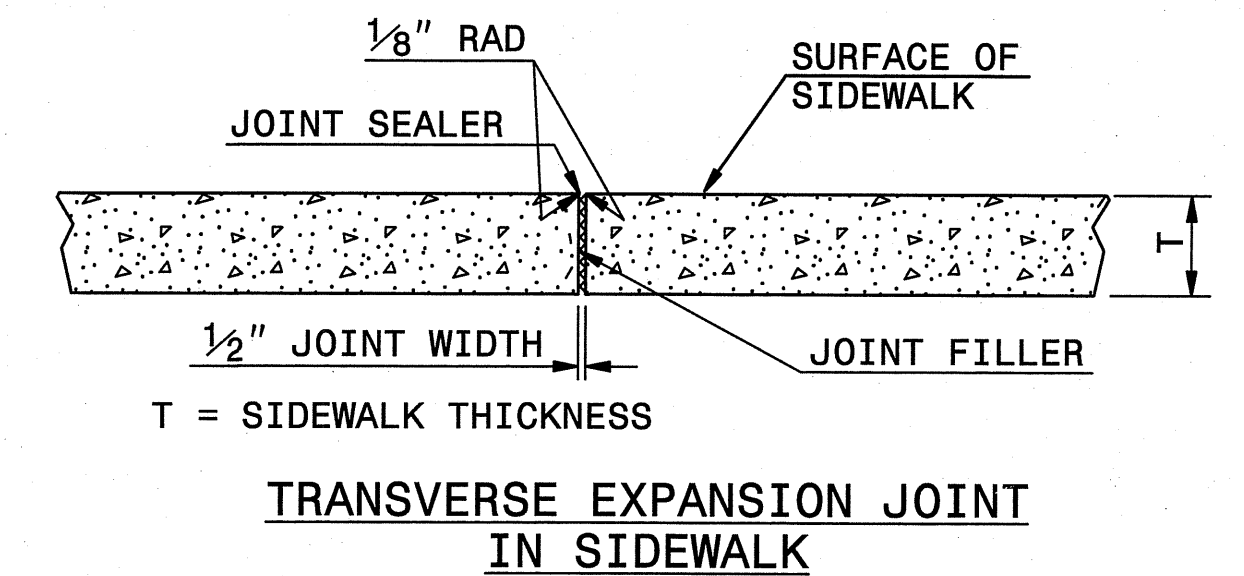
**RUNWAY ROAD - TYPICAL SECTION**  
SCALE: NOT TO SCALE



- NOTES:
- REMOVE TOP 12" OF DEBRIS AND MIXED SOIL TYPES DEPOSITED AS WASTE MATERIALS. REPLACE WITH A MEDIUM TO FINE SAND MATERIAL GRADE, AND COMPACT TO SUBGRADE ELEVATION. CONTRACTOR SHALL IDENTIFY SOURCE OF FILL MATERIALS AND THE MATERIALS BE APPROVED BY THE ENGINEER AND/OR SOIL SCIENTIST.
  - PERVIOUS PAVEMENT STRUCTURE SHALL BE PLACED ON A MINIMUM OF 12" OF FINE/MEDIUM SAND OF EITHER EXISTING OR FILL.
  - PERVIOUS PAVERS TO SUPPORT H20 LOADING.

**PERVIOUS PAVEMENT DETAIL**  
SCALE: NOT TO SCALE

ES:  
CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.  
PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADII IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.  
SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK

**SIDEWALK DETAILS**  
NOT TO SCALE

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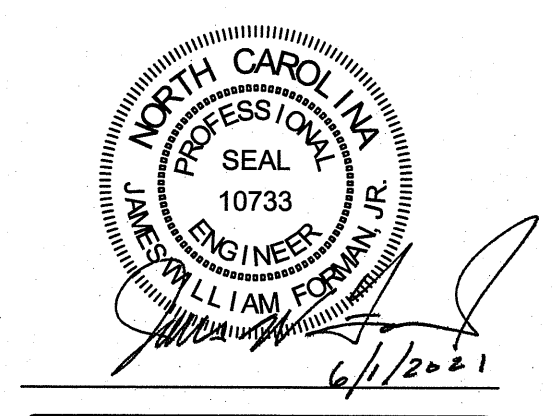
PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: NTS  
DATE: 03/29/2021

**ARENDELL ENGINEERS**  
CIVIL - COASTAL - ENVIRONMENTAL  
1004 Arendell Street  
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OWNER:  
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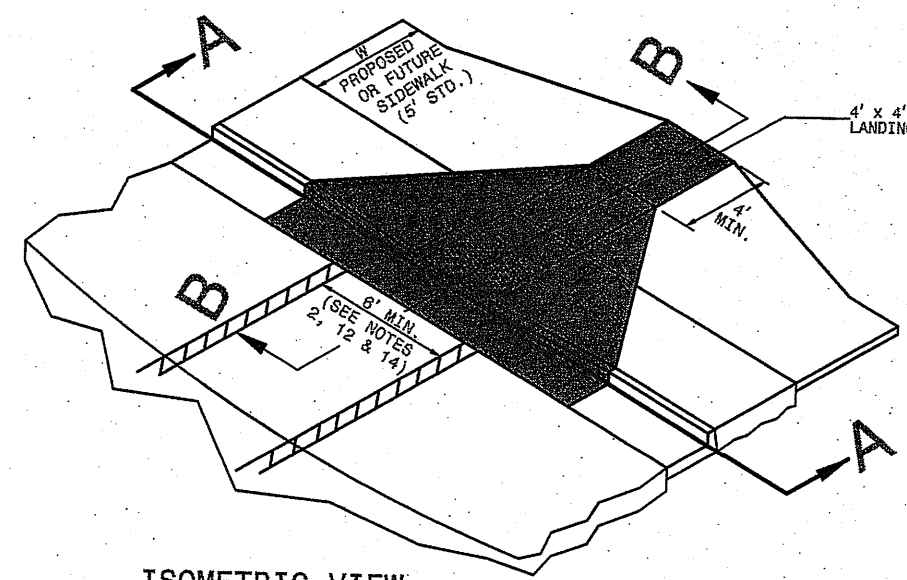
PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA  
CARTERET COUNTY, NC

DRAWING:  
DETAILS  
SHEET 1 OF 2



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	08/01/21	JJW

SHEET NO:  
**C17**  
OF: 18  
JOB NO.: 19138

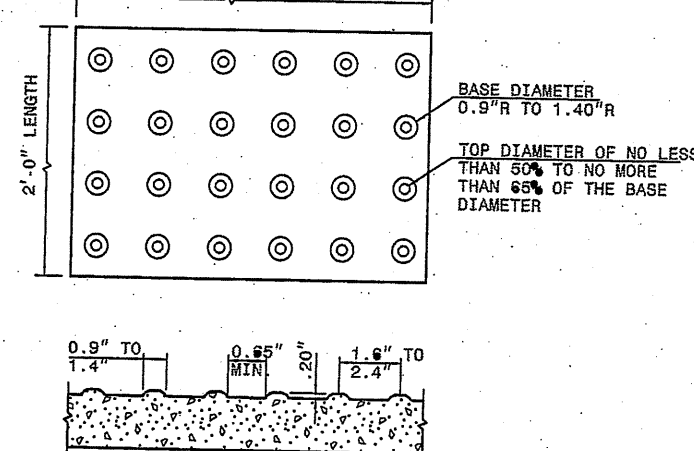


ISOMETRIC VIEW

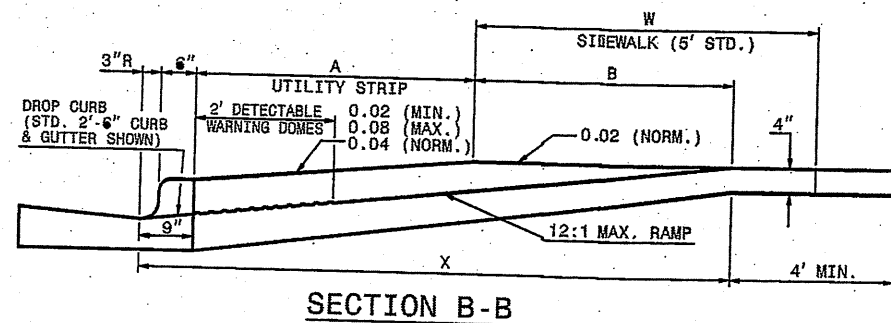
PAY LIMITS FOR CURB RAMP

- NOTES:
1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
  2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBLY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.

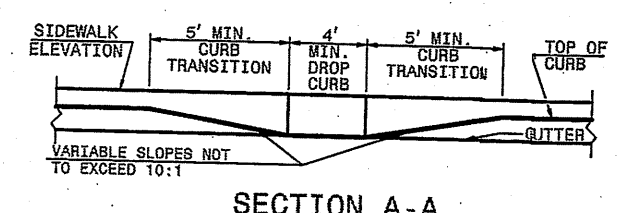
RAMP WIDTH AREA IS VARIABLE



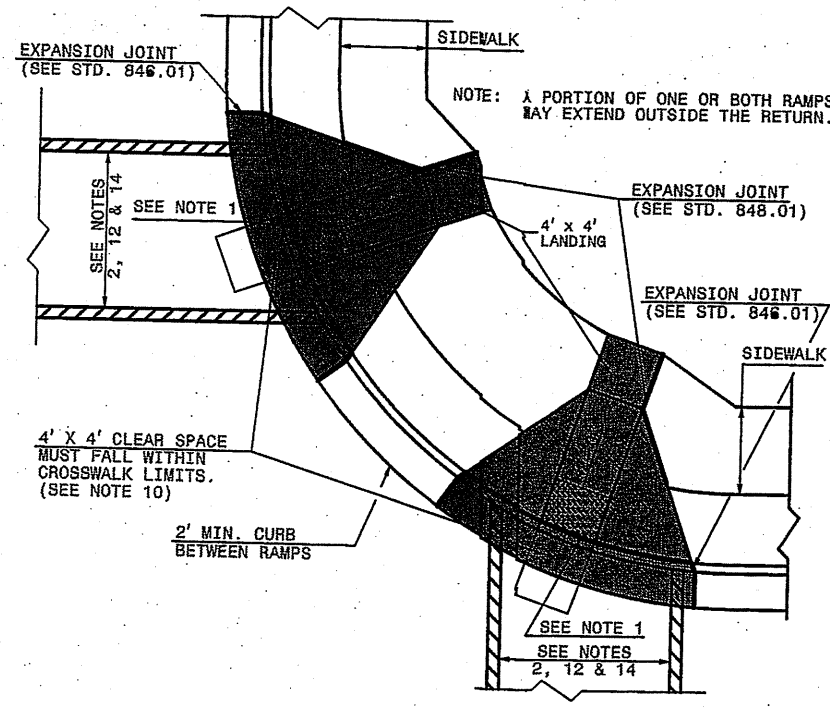
DETECTABLE WARNING DOMES



SECTION B-B



SECTION A-A



PLAN VIEW

W	A	W+A+B	X	B
2'	0"	5'	5'	0"
3'	0"	6'	6'	0"
4'	0"	7'	7'	0"
5'	0"	8'	8'	0"
6'	0"	9'	9'	0"
7'	0"	10'	10'	0"
8'	0"	11'	11'	0"
9'	0"	12'	12'	0"
10'	0"	13'	13'	0"
11'	0"	14'	14'	0"
12'	0"	15'	15'	0"
13'	0"	16'	16'	0"
14'	0"	17'	17'	0"
15'	0"	18'	18'	0"
16'	0"	19'	19'	0"
17'	0"	20'	20'	0"
18'	0"	21'	21'	0"
19'	0"	22'	22'	0"
20'	0"	23'	23'	0"
21'	0"	24'	24'	0"
22'	0"	25'	25'	0"
23'	0"	26'	26'	0"
24'	0"	27'	27'	0"
25'	0"	28'	28'	0"
26'	0"	29'	29'	0"
27'	0"	30'	30'	0"
28'	0"	31'	31'	0"
29'	0"	32'	32'	0"
30'	0"	33'	33'	0"
31'	0"	34'	34'	0"
32'	0"	35'	35'	0"
33'	0"	36'	36'	0"
34'	0"	37'	37'	0"
35'	0"	38'	38'	0"
36'	0"	39'	39'	0"
37'	0"	40'	40'	0"
38'	0"	41'	41'	0"
39'	0"	42'	42'	0"
40'	0"	43'	43'	0"
41'	0"	44'	44'	0"
42'	0"	45'	45'	0"
43'	0"	46'	46'	0"
44'	0"	47'	47'	0"
45'	0"	48'	48'	0"
46'	0"	49'	49'	0"
47'	0"	50'	50'	0"
48'	0"	51'	51'	0"
49'	0"	52'	52'	0"
50'	0"	53'	53'	0"
51'	0"	54'	54'	0"
52'	0"	55'	55'	0"
53'	0"	56'	56'	0"
54'	0"	57'	57'	0"
55'	0"	58'	58'	0"
56'	0"	59'	59'	0"
57'	0"	60'	60'	0"

- B = X (+4")  
 B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (6.25% SLOPE).  
 \* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.  
 \*\* BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 0.04.

STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CURB RAMP**  
 PROPOSED CURB AND GUTTER

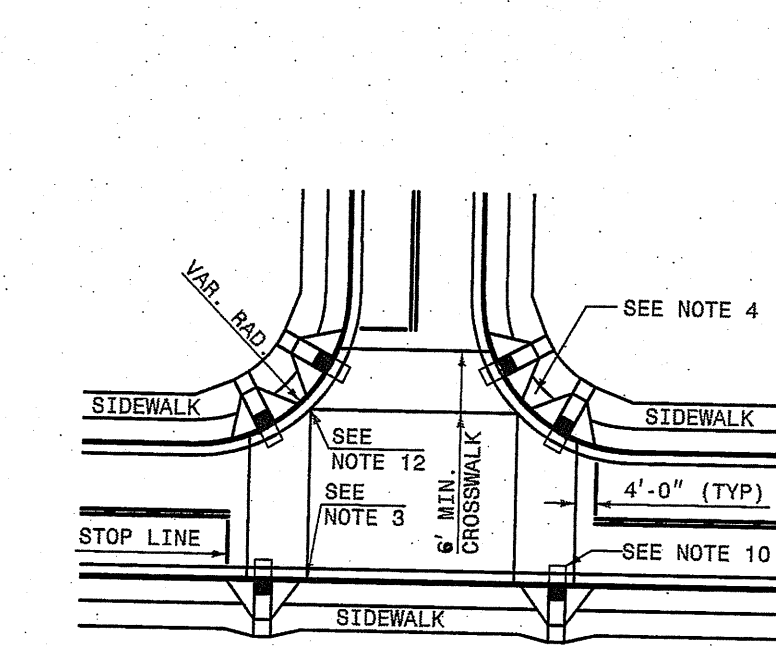
SHEET 1 OF 3  
**848.05**

- NOTES:
1. CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
  2. LOCATE CURB RAMP AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMP OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
  3. COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
  4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
  5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
  6. TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
  7. CONSTRUCT CURB RAMP A MINIMUM OF 4' WIDE.
  8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
  9. ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMP WILL BE 2% MAXIMUM.
  10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
  11. CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
  12. CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
  14. SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
  15. CURB RAMP WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
  16. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
  17. PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
  18. CURB RAMP THROUGH MEDIAN ISLANDS, SINGLE RAMP AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

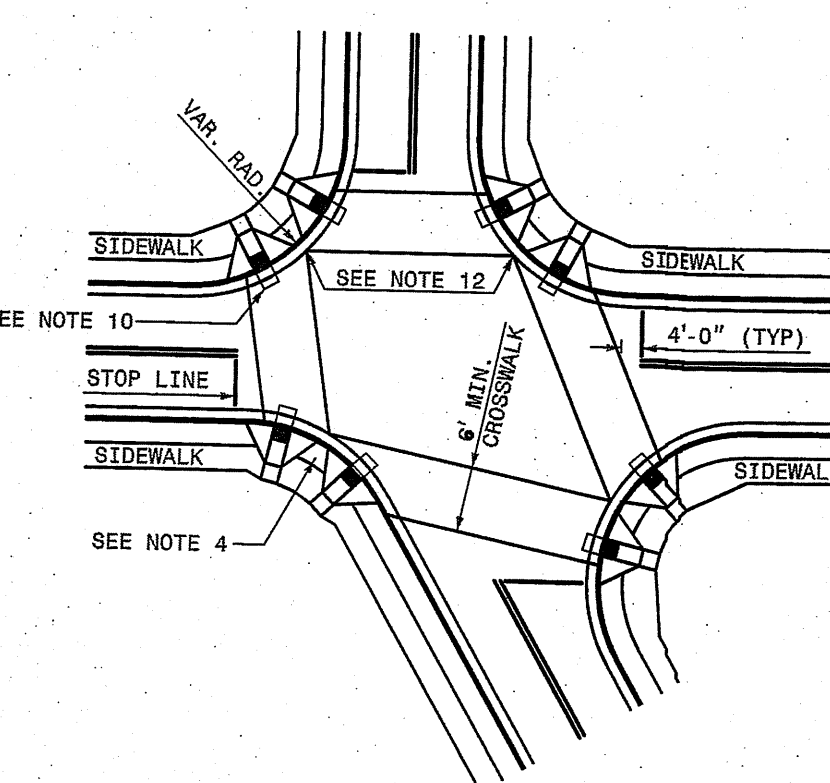
STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CURB RAMP**  
 NOTES

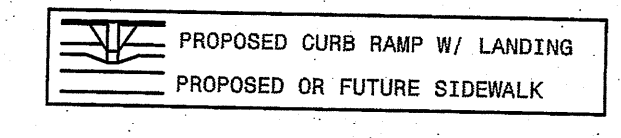
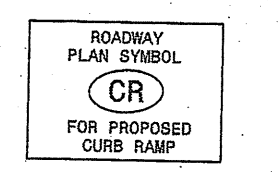
SHEET 3 OF 3  
**848.05**



DETAIL SHOWING TYPICAL LOCATION OF CURB RAMP, PEDESTRIAN CROSSWALKS AND STOP LINES FOR TEE INTERSECTIONS



DETAIL SHOWING TYPICAL LOCATION OF CURB RAMP, PEDESTRIAN CROSSWALKS AND STOP LINES

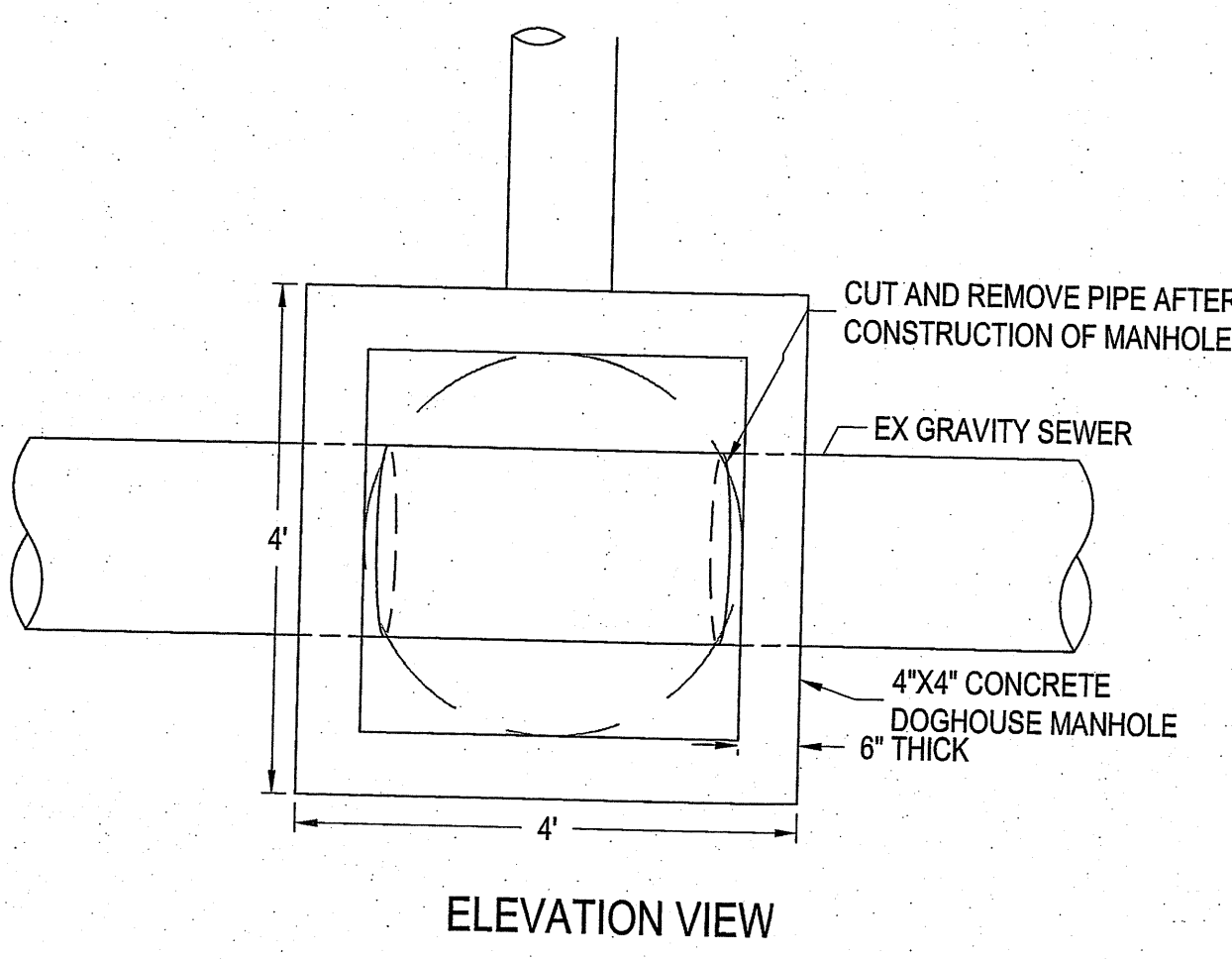


ALLOWABLE LOCATIONS  
 DUAL RAMP RADII.....ANY

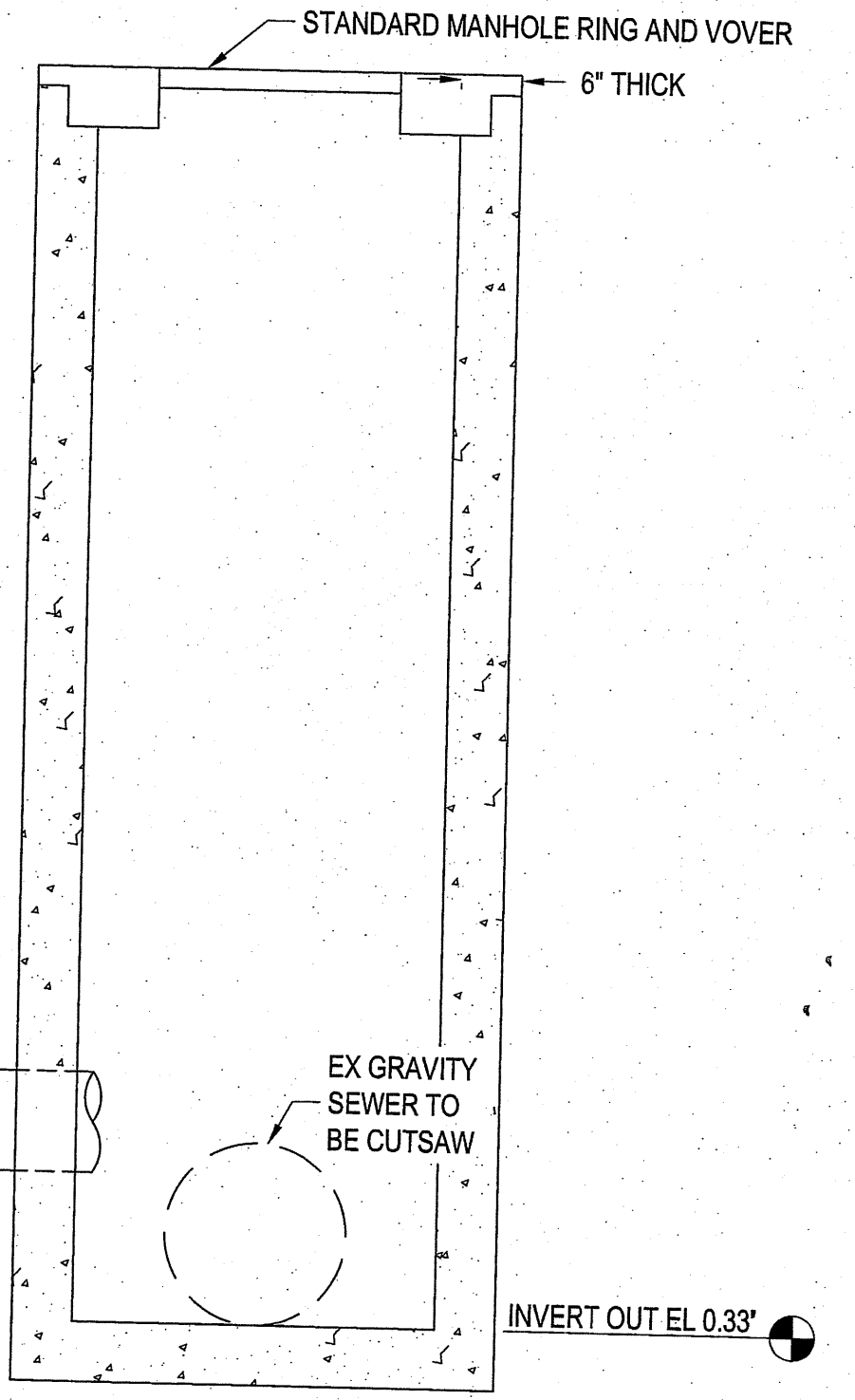
STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
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 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CURB RAMP**  
 PROPOSED CURB AND GUTTER

SHEET 2 OF 3  
**848.05**



ELEVATION VIEW



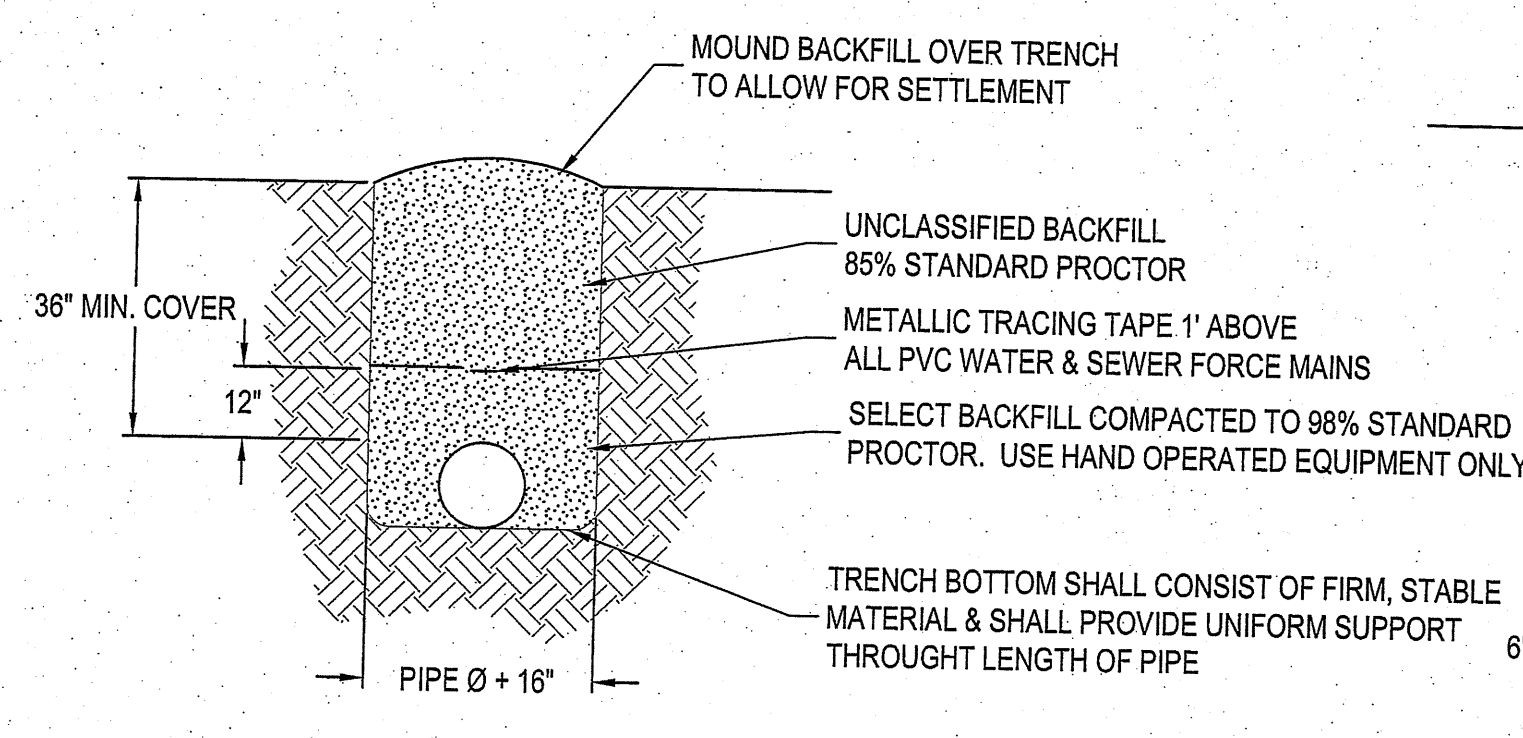
SECTION VIEW

NEW 10" GRAVITY SEWER  
 INVERT IN EL. 1.23'

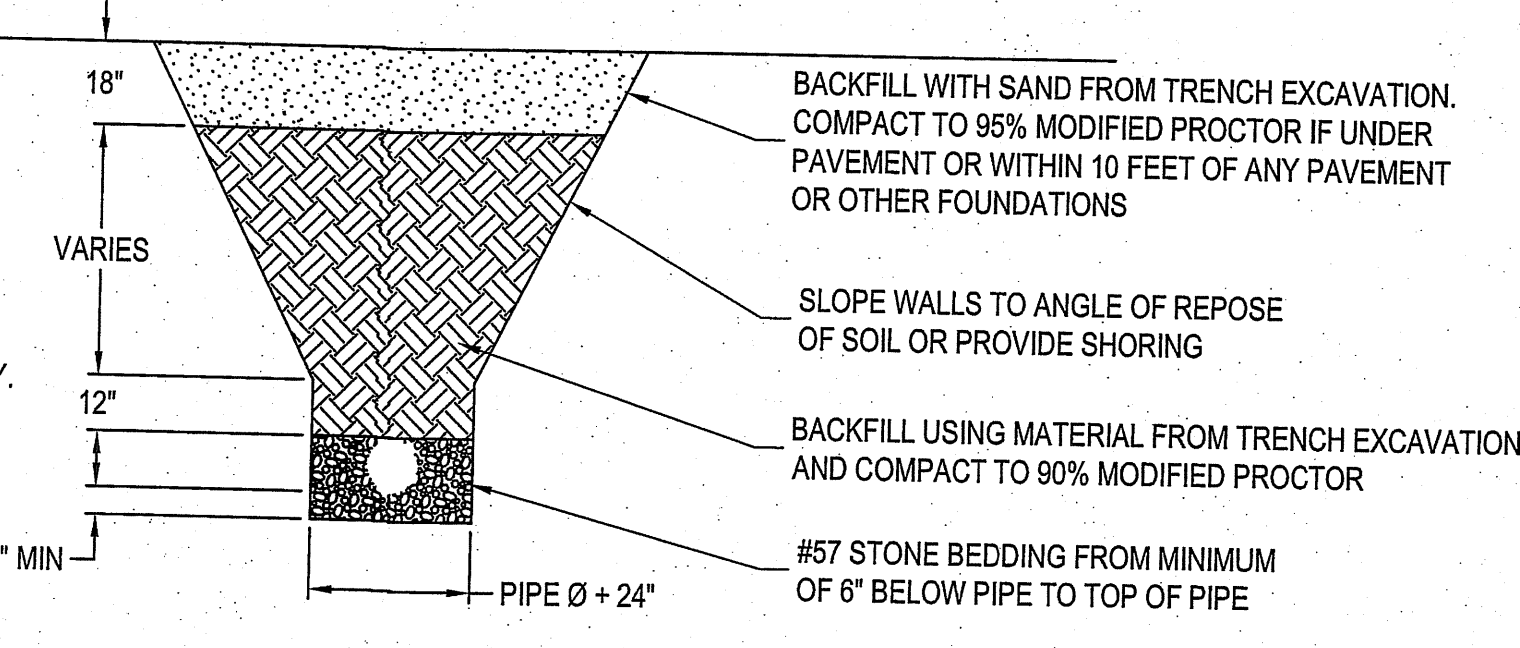
EX GRAVITY SEWER TO BE CUTSAW

INVERT OUT EL. 0.33'

DOG HOUSE DETAILS  
 SCALE: 1"=1'-0"



PIPE TRENCH OUTSIDE PAVED AREA  
 SCALE: NOT TO SCALE



GRAVITY SEWER PIPE TRENCH DETAIL  
 SCALE: NOT TO SCALE

NOTE: FOR MULTIPLE PIPES, PROVIDE 18" MINIMUM SEPARATION.

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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: NTS  
 DATE: 03/29/2021

**ARENDELL ENGINEERS**  
 CIVIL - COASTAL - ENVIRONMENTAL  
 1004 Arendell Street  
 Morehead City, NC 28557  
 (252) 622-4338  
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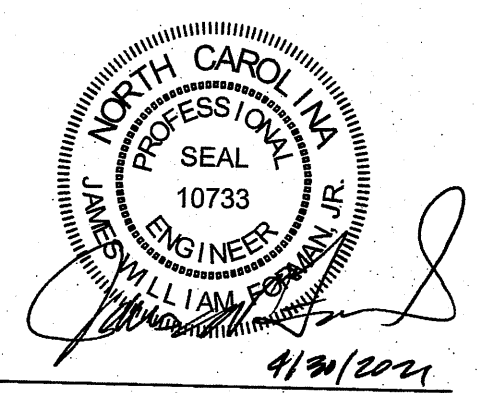
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 PLAN-PHASE II  
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 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 DETAILS  
 SHEET 2 OF 2



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO:

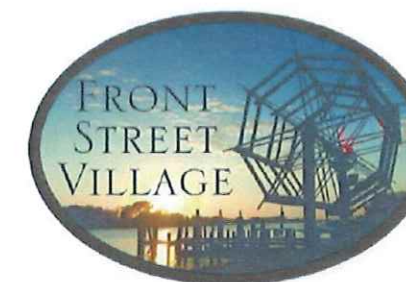
**C18**

OF: 18  
 JOB NO.  
 19138



# TRANSPORTATION CENTER STAINED CYPRESS BOARD & BATTEN

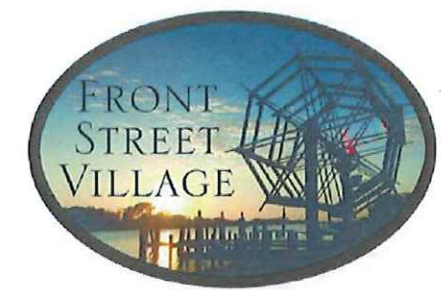
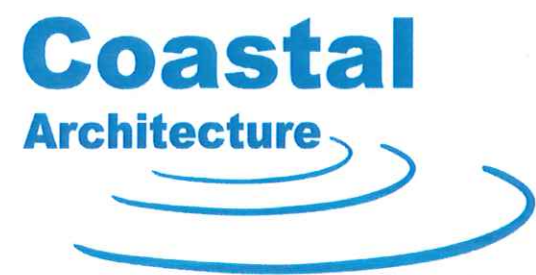
ORIGINAL SUBMITTAL  
19 NOV. 2012





# TRANSPORTATION CENTER STAINED CYPRESS BOARD & BATTEN

REVISED 27 OCTOBER 2014



**REVISED FOOTPRINT**  
(27 OCT. 2014)

**REVISED FOOTPRINT**  
(27 OCT. 2014)

**ORIGINAL FOOTPRINT**  
(19 NOV. 2012)

**REVISED FOOTPRINT**  
(27 OCT. 2014)

**REVISED FOOTPRINT**  
(27 OCT. 2014)

**FRONT STREET VILLAGE  
TRANSPORTATION CENTER  
REVISED FOOTPRINT**

COVERED AREA  
(NO PERIMETER  
WALL)

COVERED AREA  
(NO PERIMETER  
WALL)

TOILET  
326 S.F.

ELEVATOR/MECH.  
255 S.F.

STAIRS  
308 S.F.

STAIRS  
308 S.F.

PORTE  
COCHERE  
ALIGNMENT

STAIRS  
269 S.F.

received  
10/28/14

FOOTPRINT

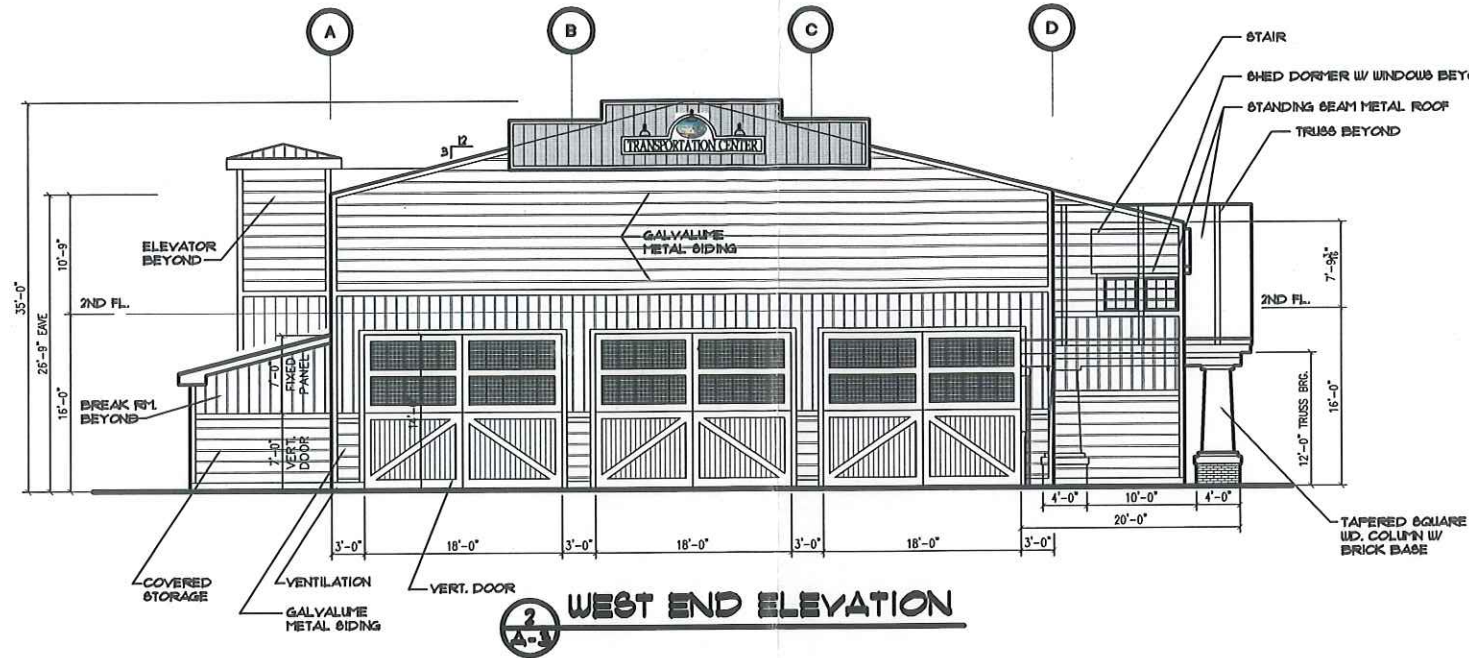
12027

ISSUED: 10/27/14  
DWG BY: MLR  
CKD BY: LDD

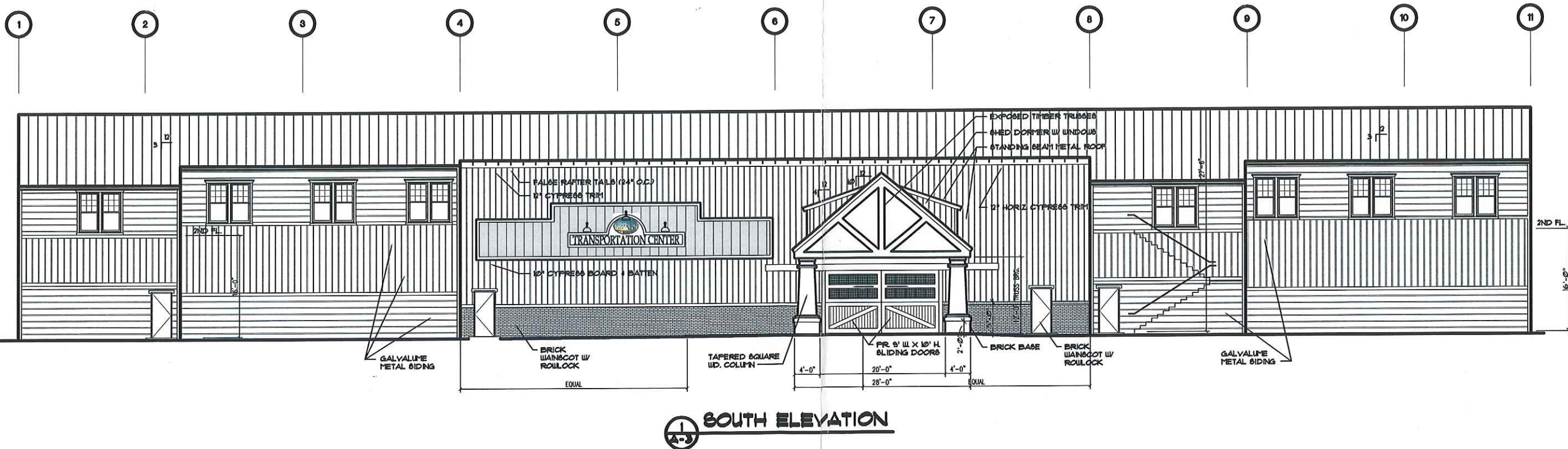
REVISIONS

SHEET NO.  
FP  
OF





2 WEST END ELEVATION  
A-3



1 SOUTH ELEVATION  
A-3

**TOWN OF BEAUFORT**  
**Planning and Inspections Department**  
 215 Pollock Street, P.O. Box 390  
 Beaufort, N.C. 28516  
 (252) 728-2142, (252) 728-3982 fax  
 www.beaufortnc.org

December 9, 2014

Mr. Lee Dixon  
 Coastal Architecture  
 4206 Bridges Street Ext.  
 Morehead City, NC 28557

**RE: Front Street Village – PUD – Revision to Building Elevation for the Proposed Transportation Center Phase II-C &D – Beaufort NC**

Dear Mr. Dixon:

The Beaufort Board of Commissioners met on Monday, December 8, 2014, and approved your proposed revision to the proposed Transportation Center building plan to include the shifting of the vehicle entrance/exit to align with Front Street as per NCDOT request as well as the addition of second floor windows and stairs as shown on the submitted elevation drawings. Prior to construction we request that all State environmental permits be submitted to us as well as any other pertinent permits. We also require that prior to beginning any construction, your general contractor meet with the Town’s Public Works Director and Building Inspector.

If you have any questions, please e-mail me at [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org) or call (252) 728-2142.

Sincerely,



Kyle Garner, AICP  
 Town Planner



Kyle Garner, AICP, Town Planner



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, June 21, 2021 – Virtual Meeting via Zoom**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Preliminary Plat – Front Street Village

**BRIEF SUMMARY:**

The applicant wishes to subdivide a 10.44 Acre Tract into 34 Lots Single-Family. As part of the Town’s new sewer allocation policy the applicant is requesting 12,240 gallons of allocation for this project that has already been taken into consideration by the Towns Engineer. In addition to Planning Staff the applicants Engineer will also be available to answer questions regarding the proposed infrastructure.

**REQUESTED ACTION:**

Recommendation to Board of Commissioners

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director

**BUDGET AMENDMENT REQUIRED:**

N/A



# STAFF REPORT

**To:** Beaufort Planning Board Members  
**From:** Kyle Garner, AICP, Town Planner  
**Date:** June 11 2021  
**Project:** Front Street Village Phase IV – Preliminary Plat

**THE QUESTION:** Subdivide a 10.44 Acre Tract into 34 Lots

**BACKGROUND:**

Location:	Chadwick Road
Owners:	Front Street Village, LLC
Requested Action:	Subdivide a 10.44 acre tract into 34 lots
Existing Zoning	PUD (R-8)
Size:	10.44 Acres
Existing Land Use:	Undeveloped
Adjoining Land Use & Zoning:	North & East – By undeveloped property owned by Atlantic Veneer, zoned IW – Industrial Warehouse South – By vacant commercial property zoned PUD (B-1) to be used as the Transportation Center for Front Street Village West – Across Chadwick Road by Beau Coast Development, Zoned PUD

**SPECIAL INFORMATION:**

These plans were originally included in the 2008 approved PUD and the design/layout has changed very slightly. As part of the Town’s new sewer allocation policy the applicant is requesting 12,240 gallons of allocation for this project that has already been taken into consideration by the Towns Engineer. It should be noted that the streets and storm water system are to be private and will be maintained by the Home Owners Association. Additionally staff request that a note to that affect be included on the Final Plat and in the neighborhood covenants for the proposed subdivision. In addition to Planning Staff, the Town Engineer and Fire Chief have reviewed the plans for compliance.

**Public Utilities & Works:**

Water:	Town Water
Sanitary Sewer:	Town Sewer

**OPTIONS:**

1. Approve the request as presented.
2. Deny the request.

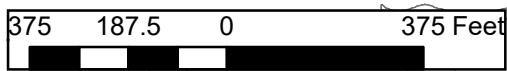
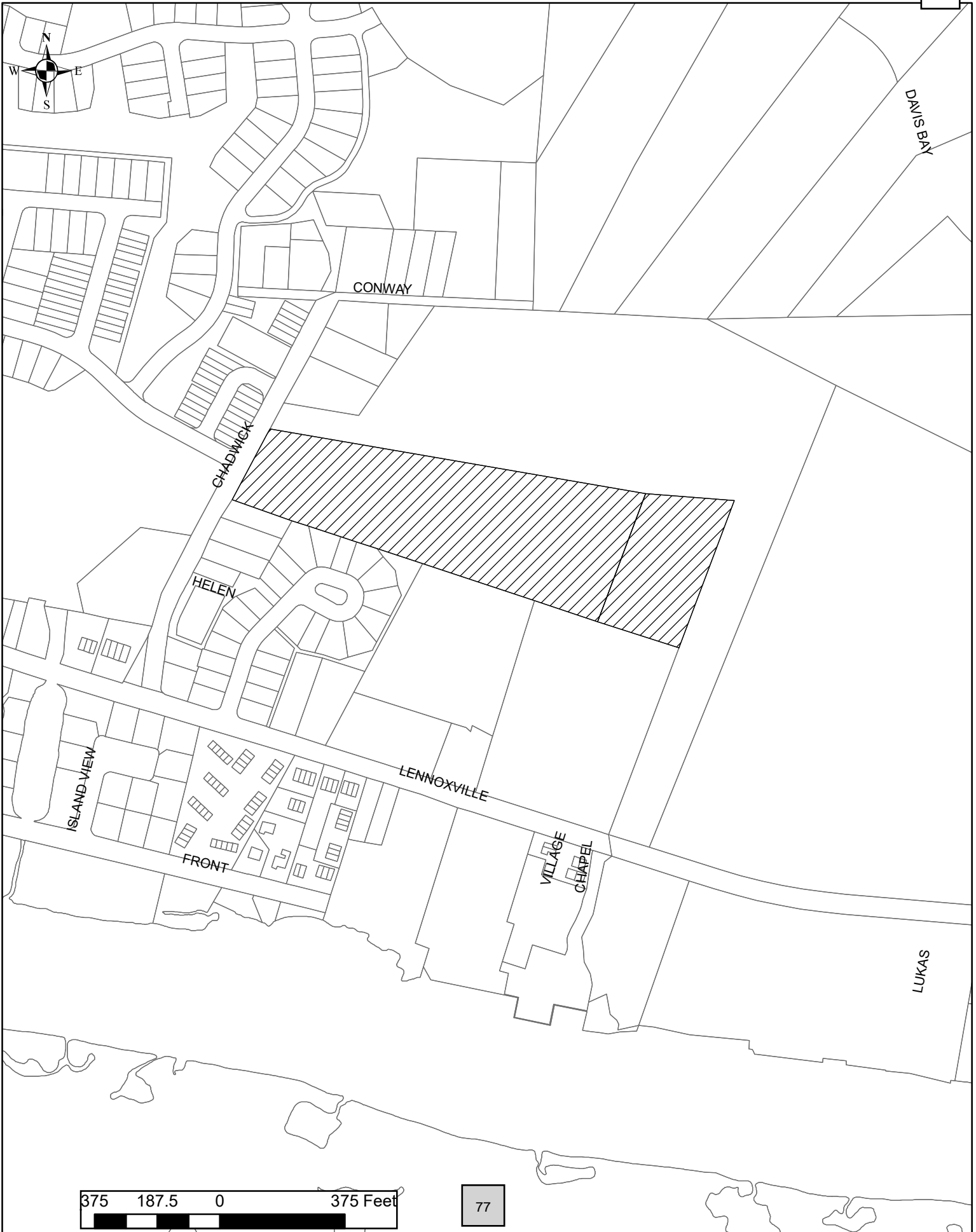
**ATTACHMENTS:**

- Attachment A - Vicinity Map
- Attachment B – Preliminary Plat

**Attachment C – Applicant Information**

\\BEAUFORT-SERVER\Town Hall Share\Planning & Inspecting Share\04 - Planning Board\2021\06.21.2021\Case # 21-12 Preliminary Plat - Front Street Village - Phase IV\Preliminary Plat - Front Street Village - Phase IV.doc

# Preliminary Plat - Front Street Village - Phase IV



# FRONT STREET VILLAGE TRANSPORTATION CENTER-SITE PLAN-PHASE II AND PRELIMINARY PLAT PHASE IV BEAUFORT, NORTH CAROLINA

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

THIS DRAWING IS THE PROPERTY OF  
ARENDELL ENGINEERS AND IS NOT TO  
BE REPRODUCED OR USED FOR ANY  
PROJECT IN WHOLE OR IN PART  
WITHOUT EXPRESS WRITTEN  
PERMISSION.

PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: NOT TO SCALE  
DATE: 03/29/2021



1004 Arendell Street  
Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

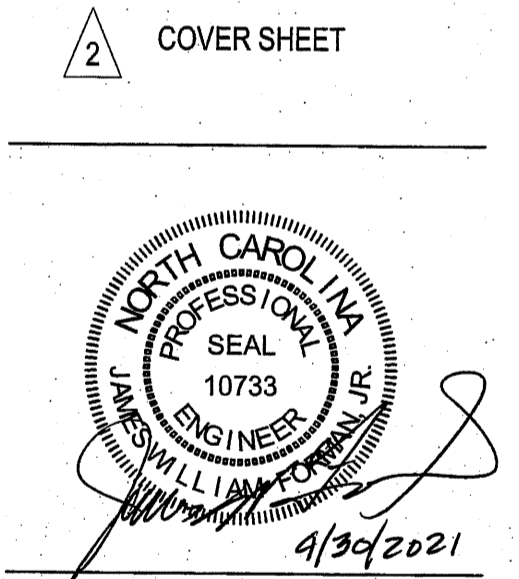
www.arendellengineers.com  
North Carolina Certification No. C-1509

OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

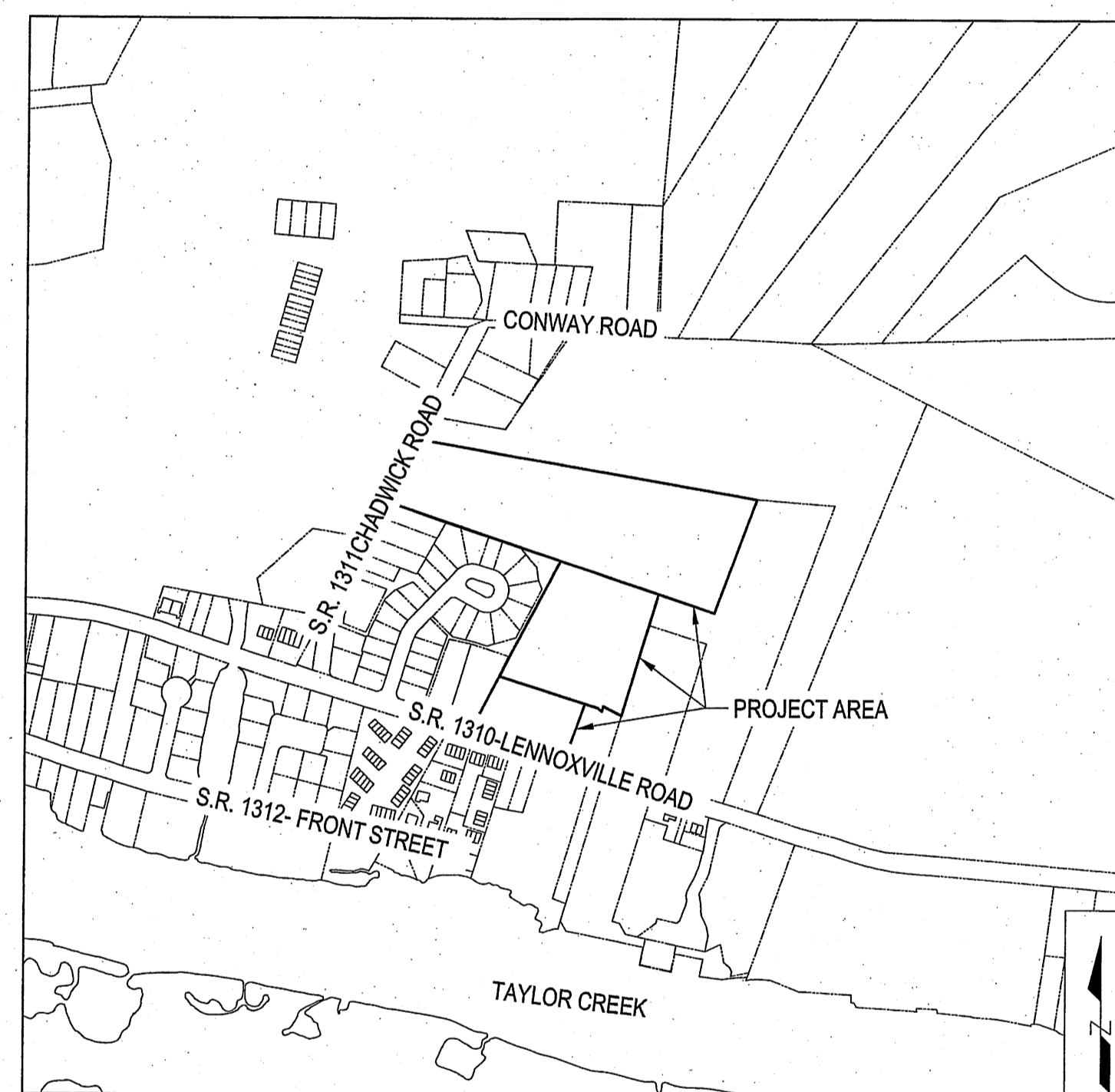
DRAWING: 2 COVER SHEET



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO: C1  
OF: 18  
JOB NO. 19138

## CARTERET COUNTY



VICINITY MAP  
SCALE: 1" = 500'

### TOWN OF BEAUFORT SITE DATA BLOCK OF FEATURES

PROPOSED USE: 34 SINGLE FAMILY HOMES AND TRANSPORTATION CENTER  
 SQUARE FOOTAGE PROPOSED: 34 SINGLE FAMILY HOMES WITH APPROXIMATELY 2,000 SF FOOTPRINT  
 TRANSPORTATION CENTER WITH APPROXIMATELY 16,500 SF FOOTPRINT  
 SITE ZONING: PUD, TRANSPORTATION CENTER B-1, RESIDENTIAL LOTS R-8  
 TOTAL LOT ACREAGE: 16.20 ACRES NORTH OF LENNOXVILLE ROAD  
 ACREAGE TO BE DISTURBED: 11.55 ACRES NORTH OF LENNOXVILLE ROAD  
 FLOOD ZONE: ZONE X  
 DEVELOPMENT PARKING REQUIRED: SEE PARKING SUMMARY TABLE  
 DEED BOOK/PAGE NUMBER: 1259:443, 1645:118, 1510:484  
 PARCEL ID NUMBER: 731505187915000, 731505284836000, 731505187504000, 731505185229000  
 STREET LENGTHS  
 EAST GREAT EGRET WAY: 1,255 LF  
 RUNWAY ROAD: 1,000 LF

### PARKING SUMMARY TABLE - THROUGH PHASE IV Total Gross Parking Spaces

PHASE I	Location	Units	Requirement	Total Spaces
South Drystack Chandlery		213 Slips	1 Space per 4 Slips	53
	Upstairs	2,247 Square Feet	22.5 Spaces per 1,000 SF	51
	Downstairs	2,286 Square Feet	3.5 Spaces per 1,000 SF	8
	Office	2 Employees	2 Spaces	2
<b>Total</b>				<b>114</b>
<b>PHASE IIC &amp; IID</b>				
	Location	Units	Requirement	Total Spaces
Guest Wing	Rooms	129	1 Space per Room +5	134
	Employees	9 per Day Shift	1 per Employee	9
Bistro	Ballroom	4,477 Square Feet	22.5 Spaces per 1,000 SF	101
	1st Floor Porch Terrace	±96 Seats	1 Space per 4 Seats	24
	2nd Floor Porch/Terrace			
	4 Bridal Suites	4 Suites	1 Space per Room	4
	Bistro & Bar	±96 Seats	1 Space per 4 Seats	24
Board Room	325 Square Feet	22.5 Spaces per 1,000 SF	7	
Residential Units		7 Units	1.5 Spaces per Unit	11
Employees incl. Transportation Center (Phase I & II, Minus Inn)		20 Employees	1 per Employee	20
<b>Total</b>				<b>334</b>
<b>PHASE IIIA</b>				
	Location	Units	Requirement	Total Spaces
North Drystack		237 Slips	1 Space per 4 Slips	59
<b>PHASE IV</b>				
	Location	Units	Requirement	Total Spaces
34 Residential Lots		34 Units	2 spaces per Unit	68
<b>Phases I, II, III, &amp; IV Total</b>				<b>575</b>
<b>Reductions</b>				
	Location	Parking Spaces Allocated	Reduction	Total Reduction
PHASE 1 South Drystack Chandlery		53	0.9 per Space	48
	Upstairs	51	0.4 per Space	20
	Downstairs	8	0.4 per Space	3
<b>Total</b>				<b>71</b>
PHASE 2 Bistro		160	0.35 per Space	56
	<b>Total</b>			
<b>PHASE IIIA</b>				
	Location	Parking Spaces Allocated	Reduction	Total Spaces
North Drystack		59	0.9 per Space	53
<b>Phases 1, 2, &amp; 3A Reduction Total</b>				<b>180</b>
<b>Required Parking Spaces for Phases I, II, III, &amp; IV</b>				
	Gross Parking Required (Spaces)	575		
	Reductions	180		
	<b>Total</b>	<b>395</b>		
	<b>Spaces Provided</b>	<b>398</b>		

### DRAWINGS

COVER SHEET NOTES AND ABBREVIATIONS EXISTING CONDITIONS PHASE IV PRELIMINARY PLAN & PHASE II-SITE PLAN -TRANSPORTATION CENTER GRADING PLAN UTILITY PLAN EAST GREAT EGRET WAY SEWER A PLAN & PROFILE - STA 0+00 TO 5+48 EAST GREAT EGRET WAY SEWER A PLAN & PROFILE - STA 5+48 TO 10+11 SEWER B PLAN AND PROFILE RUNWAY ROAD PLAN AND PROFILE STATIONS 0+00 TO 4+65 RUNWAY ROAD PLAN AND PROFILE STATIONS 4+65 TO 10+00 UTILITY DETAILS LANDSCAPING PLAN DIMENSIONS PLAN EROSION AND SEDIMENT CONTROL PLAN EROSION AND SEDIMENT CONTROL DETAILS DETAILS SHEET 1 OF 2 DETAILS SHEET 2 OF 2	C1 OF 18 C2 OF 18 C3 OF 18 C4 OF 18 C5 OF 18 C6 OF 18 C7 OF 18 C8 OF 18 C9 OF 18 C10 OF 18 C11 OF 18 C12 OF 18 C13 OF 18 C14 OF 18 C15 OF 18 C16 OF 18 C17 OF 18 C18 OF 18
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### PROJECT DATA

NAME OF PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

PREPARED BY:  
ARENDELL ENGINEERS  
1004 ARENDELL STREET  
MOREHEAD CITY, NC 28557  
PHONE: (252) 622-4338  
EMAIL: BILL@ARENDELLENGINEERS.COM

OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28570

SURVEYOR:  
JAMES I. PHILLIPS LAND SURVEYING  
PO BOX 2103  
379 ARRINGTON RD.  
BEAUFORT, NC 28516  
PHONE: (252) 728-5848  
EMAIL: JIP3@COSTALNET.COM

DATUMS:  
VERTICAL: NAVD88  
HORIZONTAL: NC STATE PLANE COORDINATE SYSTEM



Know what's below.  
Call before you dig.

PRELIMINARY PLAT FOR PHASE IV FOR FRONT STREET VILLAGE NOT FOR CONSTRUCTION

GENERAL NOTES:

- PROJECT IS LOCATED IN THE WHITE OAK RIVER BASIN.
- LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES AND FACILITIES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF LOCATION IS NOT VERIFIED. BEFORE STARTING WORK, CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF DAMAGE TO ABOVE GROUND AND UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PRESERVE ANY PROPERTY MARKER PIPES, IRONS, OR MONUMENTS.
- WASTE OR EXCESS MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- TESTING AND INSPECTION OF COMPACTION AND MATERIALS SHALL BE BY AN INDEPENDENT TESTING AGENCY DESIGNATED AND PAID FOR BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING TESTING REQUIRED BY THE CONTRACT DOCUMENTS.
- NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT.

CONSTRUCTION SEQUENCE

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH REGULATORY PERSONNEL ONE WEEK BEFORE BEGINNING GRADING OR GROUND DISTURBING ACTIVITIES AT THE SITE. CONTACT NCDEQ 910-796-7215.
- INSTALL TEMPORARY SILT FENCING AND CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER OR LAND QUALITY PERSONNEL.
- INSTALL STORMWATER SYSTEM INCLUDING DROP INLETS AND AT THE SAME TIME THE DROP INLET PROTECTION AND OUTLET PROTECTION AS INDICATED ON THE PLANS OR AS INSTRUCTED BY THE ENGINEER OR LAND QUALITY PERSONNEL.
- FILL AND GRADE SITE AS REQUIRED AND INSTALL EITHER PERMANENT OR TEMPORARY STABILIZATION WITHIN 14 DAYS
- ESTIMATED TIME BETWEEN BEGINNING WORK AND FINAL STABILIZATION - 9 MONTHS TO COMPLETION.

EROSION CONTROL MEASURES MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND EFFECTIVE OPERATIONS FOLLOWING EVERY RUNOFF PRODUCING RAINFALL EVENT OR AT LEAST ONCE PER WEEK. REPAIRS REQUIRED SHALL BE COMPLETED IMMEDIATELY TO THE DIMENSION AND FUNCTIONS INDICATED ON THE PLANS.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCING WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE FENCE SHALL BE REPLACED OR REPAIRED AS NECESSARY TO MAINTAIN AN EFFECTIVE BARRIER.
- ALL AREAS SHALL BE FERTILIZED & SEEDED AS NECESSARY TO OBTAIN AND MAINTAIN A VIGOROUS DENSE TURF COVER.
- CONTACT PERSON RESPONSIBLE FOR MAINTENANCE IS BUCKY OLIVER, OWNER, (919) 349-5588.

EROSION & SEDIMENT CONTROL NOTES:

- CONTACT THE NCDEQ, LAND QUALITY SECTION, ONE WEEK PRIOR TO LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED AT THE SITE.
- DISTURBED AREAS ARE DELINEATED ON THE DRAWINGS AND DETERMINED BY DIGITAL METHODS. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THE PLANS, BUT NOT LIMITED TO OFFSITE BORROW AND DISPOSAL AREAS, CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL BY THE LAND QUALITY SECTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED FOR DAMAGE AND EFFECTIVE OPERATIONS FOLLOWING EVERY RAINFALL EVENT OR AT LEAST ONCE PER WEEK. REPAIRS SHALL BE COMPLETED IMMEDIATELY TO DIMENSION AND FUNCTIONS INDICATED ON THE PLANS
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NECESSARY TO MAINTAIN EROSION AND CONTROL AS DETERMINED BY THE OWNER, ENGINEER, OR REGULATORY PERSONNEL.
- ALL DISTURBED AREAS TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- DURING DEWATERING ACTIVITIES, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE OR DIRECTED TO EXISTING EROSION CONTROL MEASURE.
- CONSTRUCTION ACTIVITIES SHALL MEET CONDITIONS OF DWQ GENERAL CONSTRUCTION PERMIT (NCG01). COMPLIANCE SHALL MEET THE FOLLOWING CONDITIONS:

1) GROUND STABILIZATION:	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
SITE AREA DESCRIPTION	7 DAYS	NONE
PERIMETER DIKES, SWALES, DITCHES, AND SLOPES		
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

2) BUILDING WASTES HANDLING:

- NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS.
- DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION, AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
- EARTHEN-MATERIAL STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
- CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.
- SOIL STORAGE OR STOCKPILE AREAS SHALL BE LOCATED 50 FT. FROM STORM DRAIN INLETS AND SWALES OR DITCHES.

PROPOSED SPOT ELEVATION

TEMPORARY STABILIZATION SEEDING SCHEDULE

SEED BED PREPARATION

LIME	2 TONS/AC
10-10-20	1,000 LBS/AC
0-20-0	500 LBS/AC (AFTER SEEDING)
ASPHALT TACK	200 GAL/TON OF MULCH

SEEDING MIXTURE

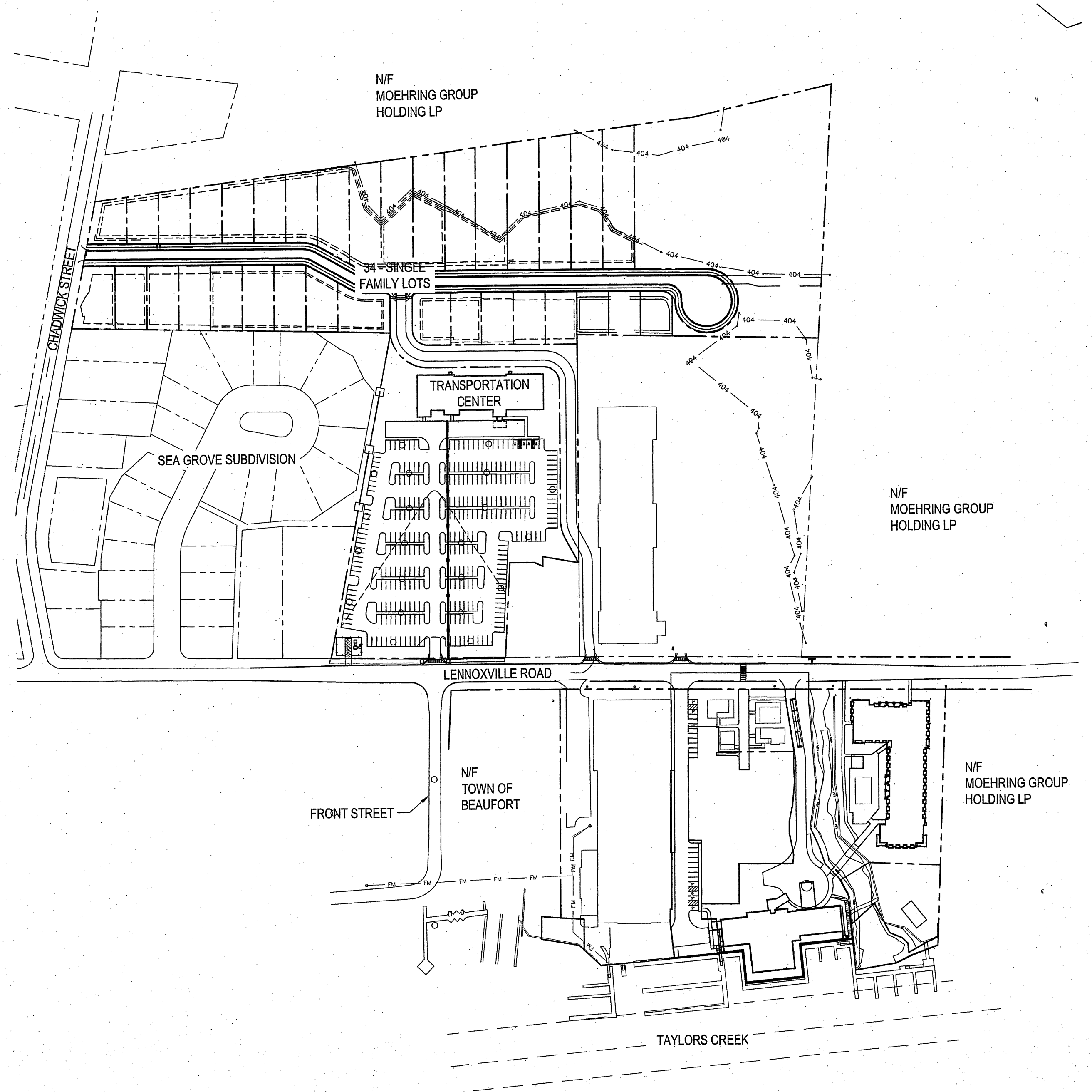
(FEBRUARY 1 - APRIL 30)	
TALL FESCUE	50 LBS/AC
PENSACOLA BAHIAGRASS	10 LBS/AC
KOREAN OR KOBE LESPEDEZA (SCARIFIED)	50 LBS/AC

(MAY 1 - AUGUST 31)	
TALL FESCUE	50 LBS/AC
WEEPING LOVEGRASS	5 LBS/AC
KOREAN OR KOBE LESPEDEZA (SCARIFIED)	50 LBS/AC
BROWN TOP MILLET	25 LBS/AC

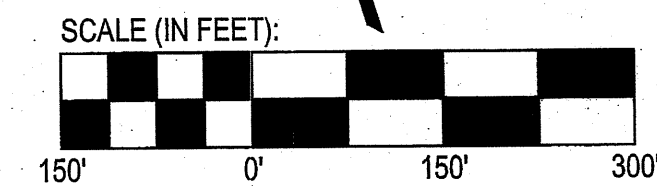
(SEPTEMBER 1 - JANUARY 31)	
TALL FESCUE	60 LBS/AC
KOREAN OR KOBE LESPEDEZA (UNSCARIFIED)	60 LBS/AC
RYE (GRAIN)	25 LBS/AC
FOR SLOPES 2:1 OR STEEPER, ADD 30 LBS/AC SERICEA LESPEDEZA AND 15 LBS WEEPING LOVEGRASS	

LANDSCAPING MIXTURE

(JANUARY 1 - MARCH 31)	
COMMON BERMUDAGRASS (UNHULLED)	20 LBS/AC
(APRIL 1 - JULY 31)	
COMMON BERMUDAGRASS (HULLED)	12 LBS/AC



VICINITY MAP SCALE: 1" = 150'



LEGEND

⊕ CENTERLINE	— — — — — CENTERLINE	AC ACRE
† EXISTING FIRE HYDRANT	..... 5' ..... EXISTING ELEVATION CONTOUR	DIP DUCTILE IRON PIPE
□ SEWER DOGHOUSE MANHOLE	— □ — □ — □ — FENCELINE	EX EXISTING
○ SEWER MANHOLE	— DA — DA — DA — LIMITS OF DISTURBANCE	F/F FACE OF CURB TO FACE OF CURB
• SEWER SERVICE	— — — — — PROPERTY LINE	LF LINEAR FEAT
■ WATER SERVICE	— — — — — 5.00' — — — — — PROPOSED ELEVATION CONTOUR	MH MANHOLE
	— SS — SS — SS — SANITARY SEWER GRAVITY MAIN	N/F NOW OR FORMERLY
	— FM — FM — FM — SANITARY SEWER FORCE MAIN	PVC POLYVINYL CHLORIDE
	— SF — SF — SF — SILT FENCE	R RADIUS
	— W — W — W — WATERLINE	ROW RIGHT OF WAY
	— 404 — 404 — 404 — 404 — 404 — WETLANDS BOUNDARY	STA STATION
		W WITH
		WL WATERLINE
		∅ DIAMETER
		— 5.00' — PROPOSED SPOT ELEVATION

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PROJECT MANAGER: JWF

DESIGNED: JJW

DRAWN BY: JJW

CHECKED: JWF

SCALE: N/A

DATE: 03/29/2021



1004 Arendell Street  
Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

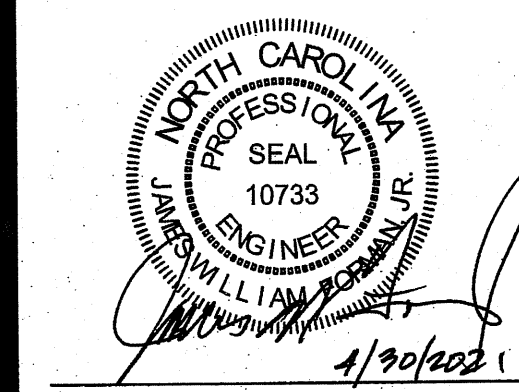
www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
NOTES AND ABBREVIATIONS



NO.	DATE	BY	REVISION
1	04/08/21	JJW	TOWN COMMENTS
2	04/30/21	JJW	TOWN COMMENTS

SHEET NO:

C2

OF: 18  
JOB NO. 19138

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021



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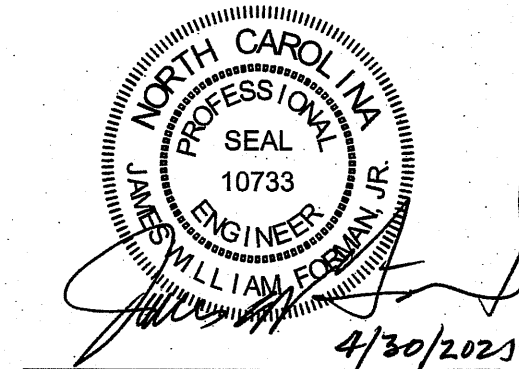
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PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

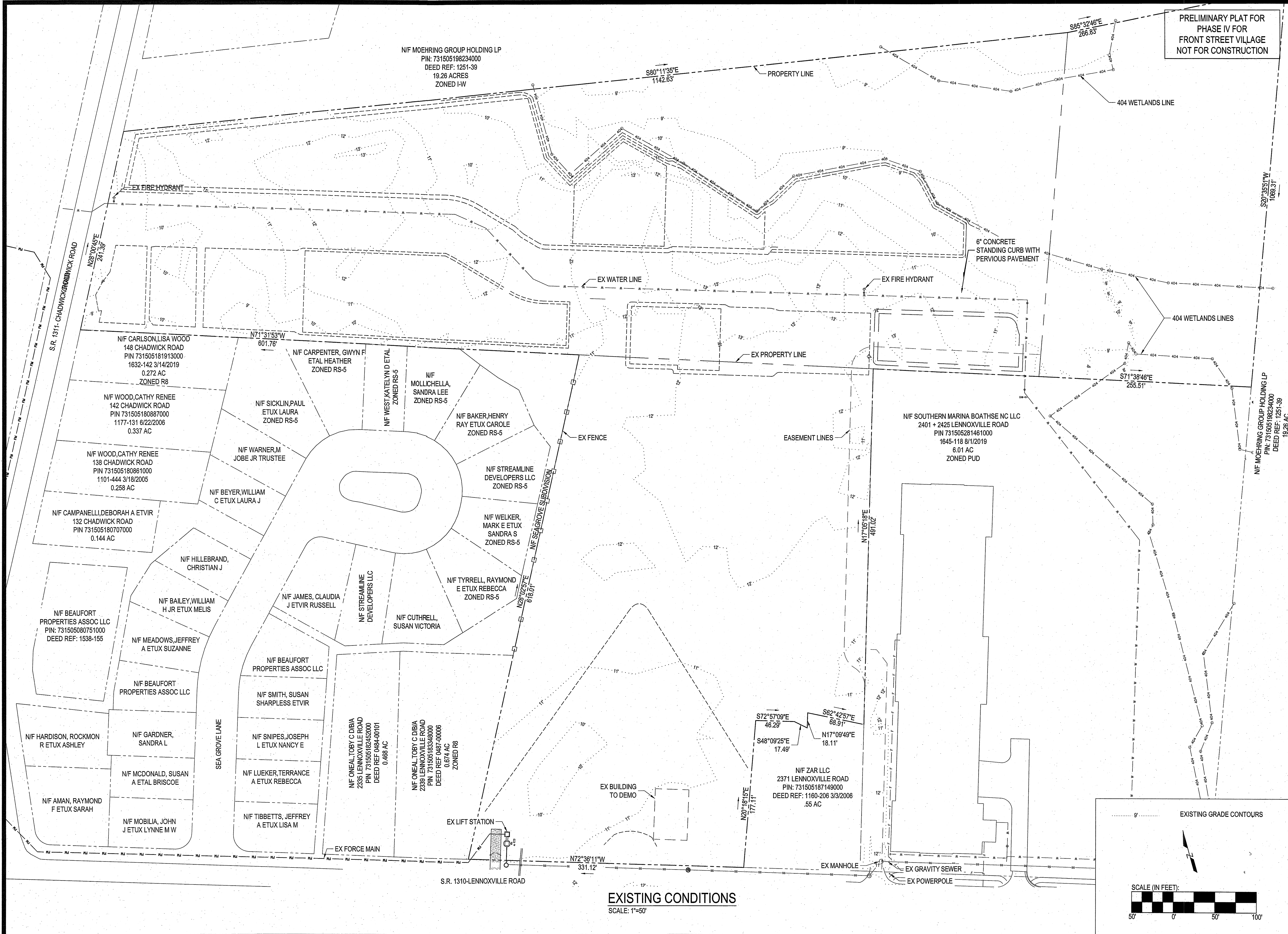
CARTERET COUNTY, NC

DRAWING:  
EXISTING CONDITIONS

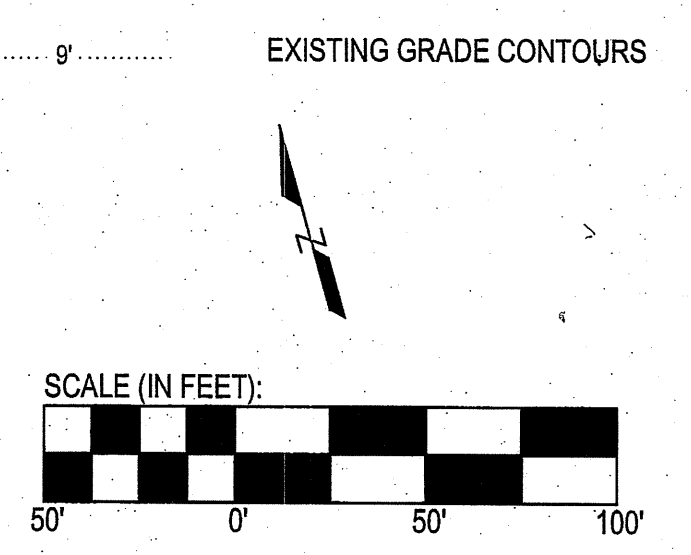


NO.	DATE	BY	REVISION
1	04/08/21	JWJ	TOWN COMMENTS
2	04/30/21	JWJ	TOWN COMMENTS

SHEET NO:  
**C3**  
OF: 18  
JOB NO. 19138



EXISTING CONDITIONS  
SCALE: 1"=50'





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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021



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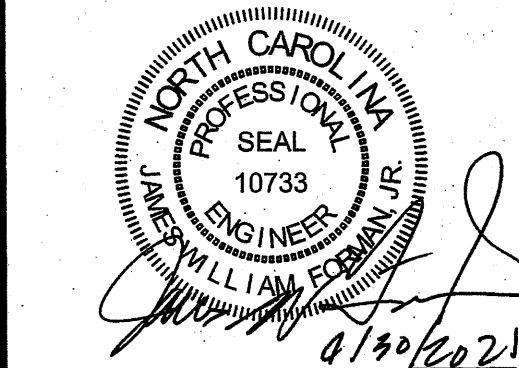
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OWNER:

FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTER COUNTY, NC

DRAWING:  
PHASE IV PRELIMINARY PLAT  
& PHASE II-SITE PLAN-  
TRANSPORTATION CENTER



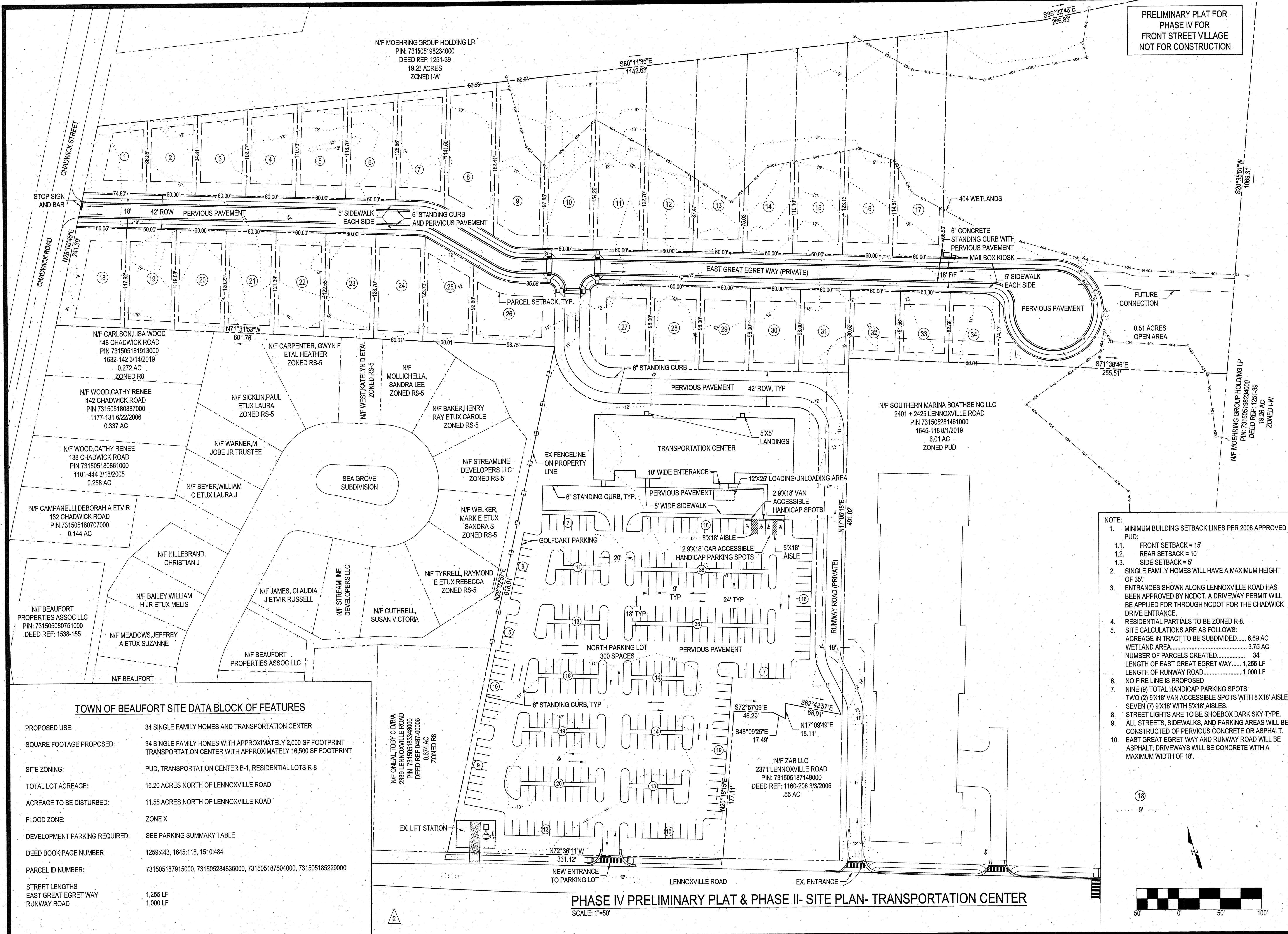
- NOTE:
- MINIMUM BUILDING SETBACK LINES PER 2008 APPROVED PUD:
    - FRONT SETBACK = 15'
    - REAR SETBACK = 10'
    - SIDE SETBACK = 5'
  - SINGLE FAMILY HOMES WILL HAVE A MAXIMUM HEIGHT OF 35'.
  - ENTRANCES SHOWN ALONG LENNOXVILLE ROAD HAS BEEN APPROVED BY NCDOT. A DRIVEWAY PERMIT WILL BE APPLIED FOR THROUGH NCDOT FOR THE CHADWICK DRIVE ENTRANCE.
  - RESIDENTIAL PARTIALS TO BE ZONED R-8.
  - SITE CALCULATIONS ARE AS FOLLOWS:  
ACREAGE IN TRACT TO BE SUBDIVIDED..... 6.69 AC  
WETLAND AREA..... 3.75 AC  
NUMBER OF PARCELS CREATED..... 34  
LENGTH OF EAST GREAT EGRET WAY..... 1,255 LF  
LENGTH OF RUNWAY ROAD..... 1,000 LF
  - NO FIRE LINE IS PROPOSED
  - NINE (9) TOTAL HANDICAP PARKING SPOTS  
TWO (2) 9'X18' VAN ACCESSIBLE SPOTS WITH 8'X18' AISLE  
SEVEN (7) 9'X18' WITH 5'X18' AISLES.
  - STREET LIGHTS ARE TO BE SHOEBOX DARK SKY TYPE.
  - ALL STREETS, SIDEWALKS, AND PARKING AREAS WILL BE CONSTRUCTED OF PERVIOUS CONCRETE OR ASPHALT.
  - EAST GREAT EGRET WAY AND RUNWAY ROAD WILL BE ASPHALT; DRIVEWAYS WILL BE CONCRETE WITH A MAXIMUM WIDTH OF 18'.

NO.	DATE	BY	REVISION	TOWN COMMENTS	TOWN COMMENTS
1	04/08/21	JJW			
2	04/30/21	JJW			

SHEET NO:

C4

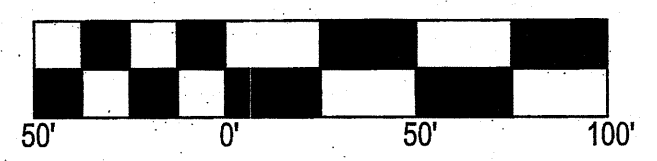
OF: 18  
JOB NO. 19138



**TOWN OF BEAUFORT SITE DATA BLOCK OF FEATURES**

PROPOSED USE:	34 SINGLE FAMILY HOMES AND TRANSPORTATION CENTER
SQUARE FOOTAGE PROPOSED:	34 SINGLE FAMILY HOMES WITH APPROXIMATELY 2,000 SF FOOTPRINT TRANSPORTATION CENTER WITH APPROXIMATELY 16,500 SF FOOTPRINT
SITE ZONING:	PUD, TRANSPORTATION CENTER B-1, RESIDENTIAL LOTS R-8
TOTAL LOT ACREAGE:	16.20 ACRES NORTH OF LENNOXVILLE ROAD
ACREAGE TO BE DISTURBED:	11.55 ACRES NORTH OF LENNOXVILLE ROAD
FLOOD ZONE:	ZONE X
DEVELOPMENT PARKING REQUIRED:	SEE PARKING SUMMARY TABLE
DEED BOOK/PAGE NUMBER	1259-443, 1645-118, 1510-484
PARCEL ID NUMBER:	731505187915000, 731505284836000, 731505187504000, 731505185229000
STREET LENGTHS	
EAST GREAT EGRET WAY	1,255 LF
RUNWAY ROAD	1,000 LF

PHASE IV PRELIMINARY PLAT & PHASE II-SITE PLAN- TRANSPORTATION CENTER  
SCALE: 1"=50'



PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PERMISSION.

PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021

**ARENDELL ENGINEERS**  
CIVIL - COASTAL - ENVIRONMENTAL  
1004 Arendell Street  
Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

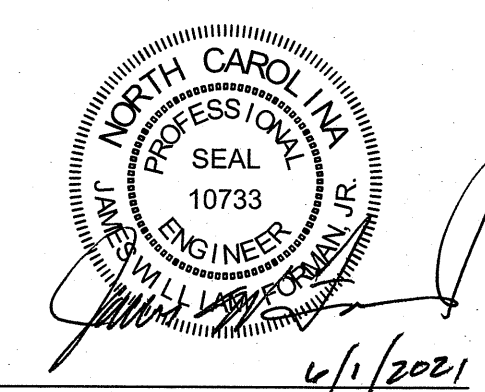
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:

3 GRADING PLAN



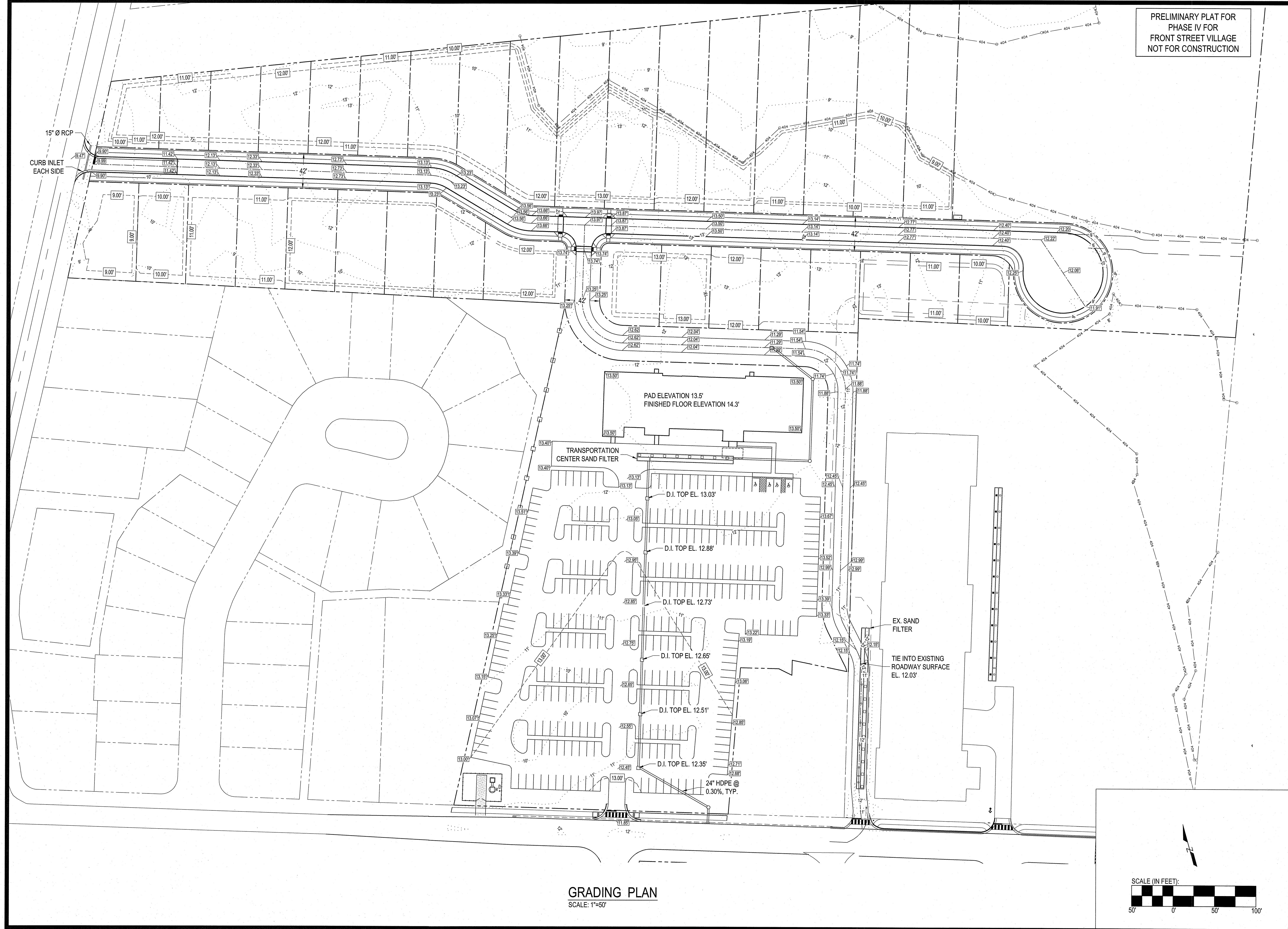
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2	TOWN COMMENTS	JJW	04/30/21
3	TOWN COMMENTS	JJW	06/01/21

SHEET NO:

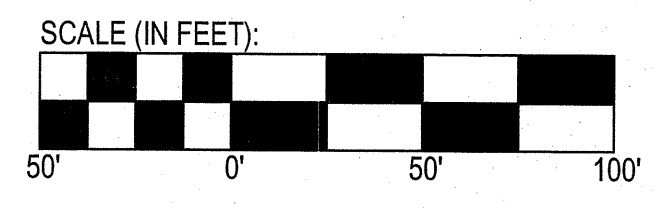
C5

OF: 18  
JOB NO.

19138



GRADING PLAN  
SCALE: 1"=50'



PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021



1004 Arendell Street  
Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

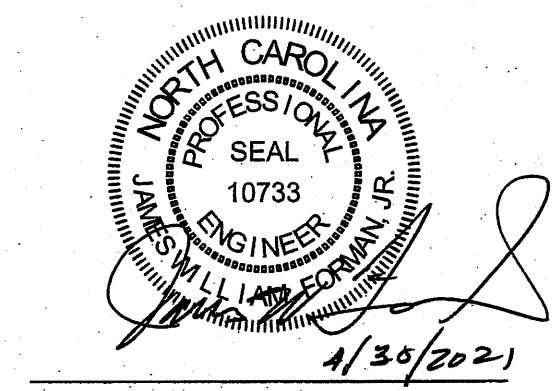
www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

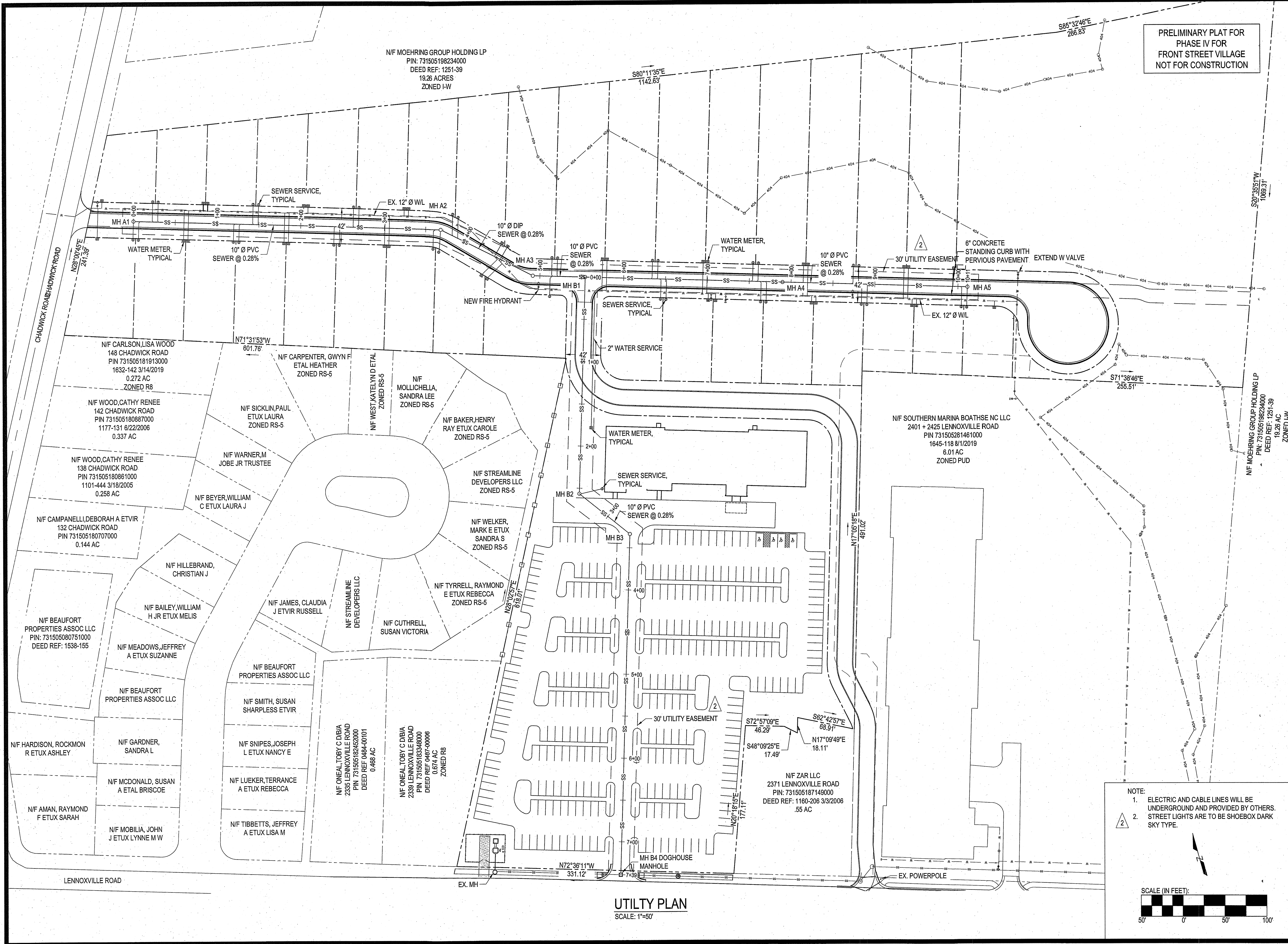
CARTERET COUNTY, NC

DRAWING:  
UTILITY PLAN



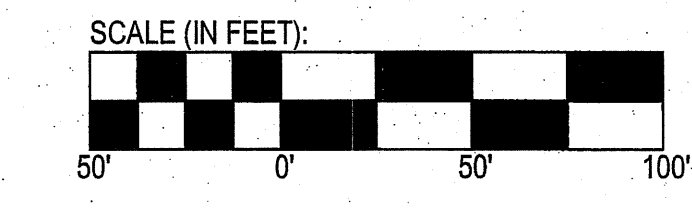
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1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO:  
**C6**  
OF: 18  
JOB NO.: 19138



UTILITY PLAN  
SCALE: 1"=50'

NOTE:  
1. ELECTRIC AND CABLE LINES WILL BE UNDERGROUND AND PROVIDED BY OTHERS.  
2. STREET LIGHTS ARE TO BE SHOEBACK DARK SKY TYPE.



PRELIMINARY PLAT FOR  
 PHASE IV FOR  
 FRONT STREET VILLAGE  
 NOT FOR CONSTRUCTION

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 PERMISSION.

PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 30'  
 DATE: 03/29/2021



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 Morehead City, NC 28557  
 (252) 622-4338  
 Fax: (252) 622-4505

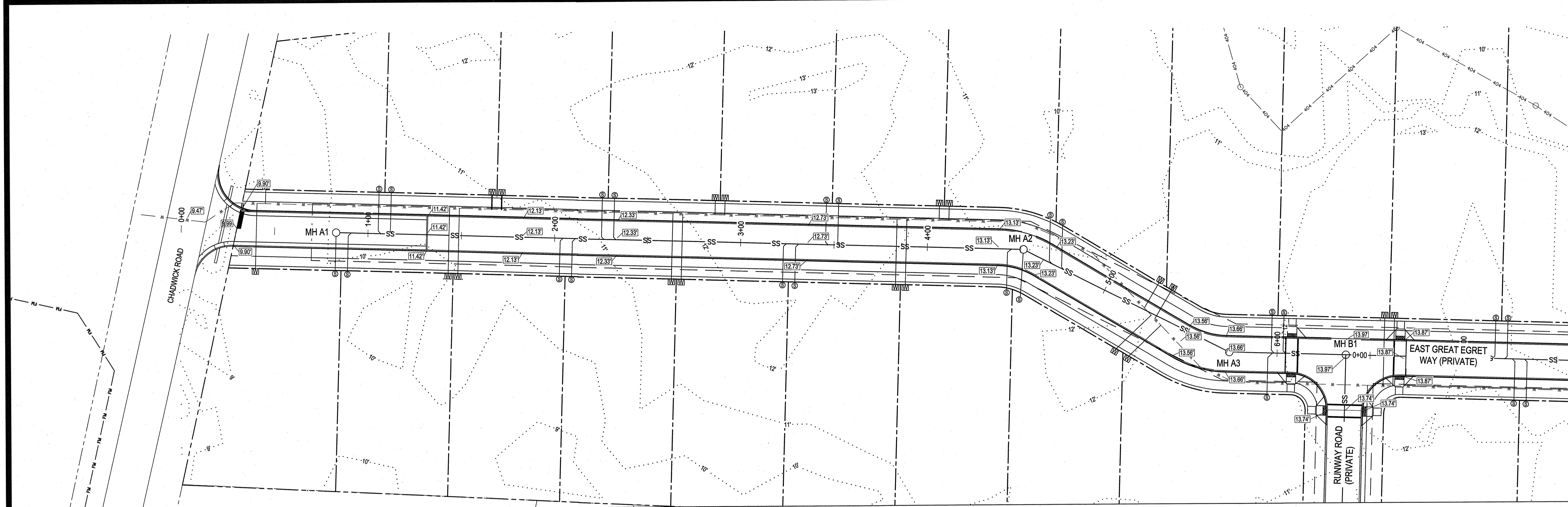
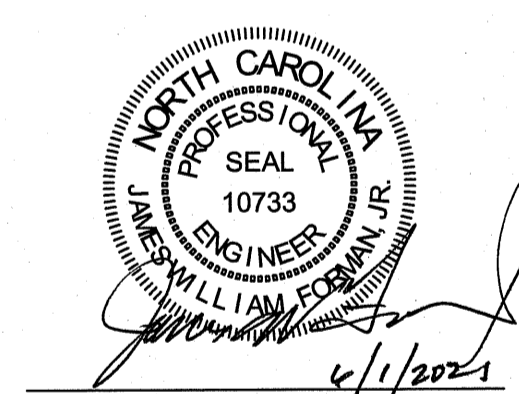
www.arendellengineers.com  
 North Carolina Certification No. C-1509  
 OWNER:

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 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

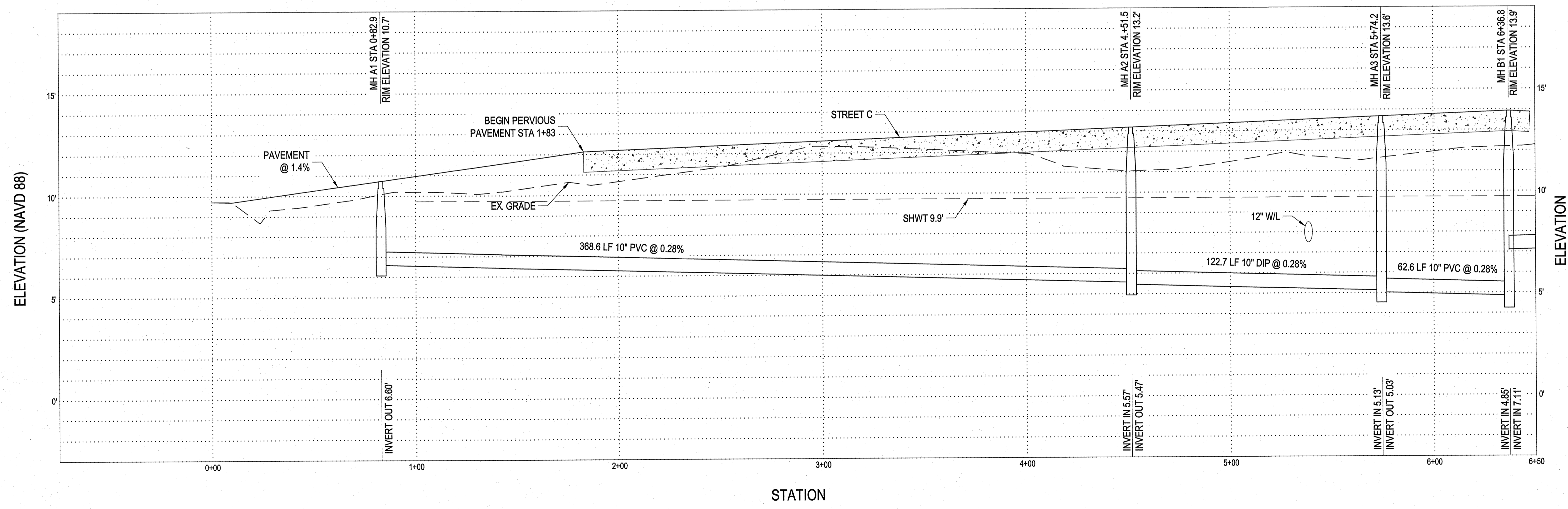
PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 EAST GREAT EGRET WAY SEWER A  
 PLAN & PROFILE  
 STATIONS 0+00 TO 6+50



EAST GREAT EGRET WAY SEWER A PLAN - STA 0+00 TO 6+50  
 SCALE: 1" = 30'

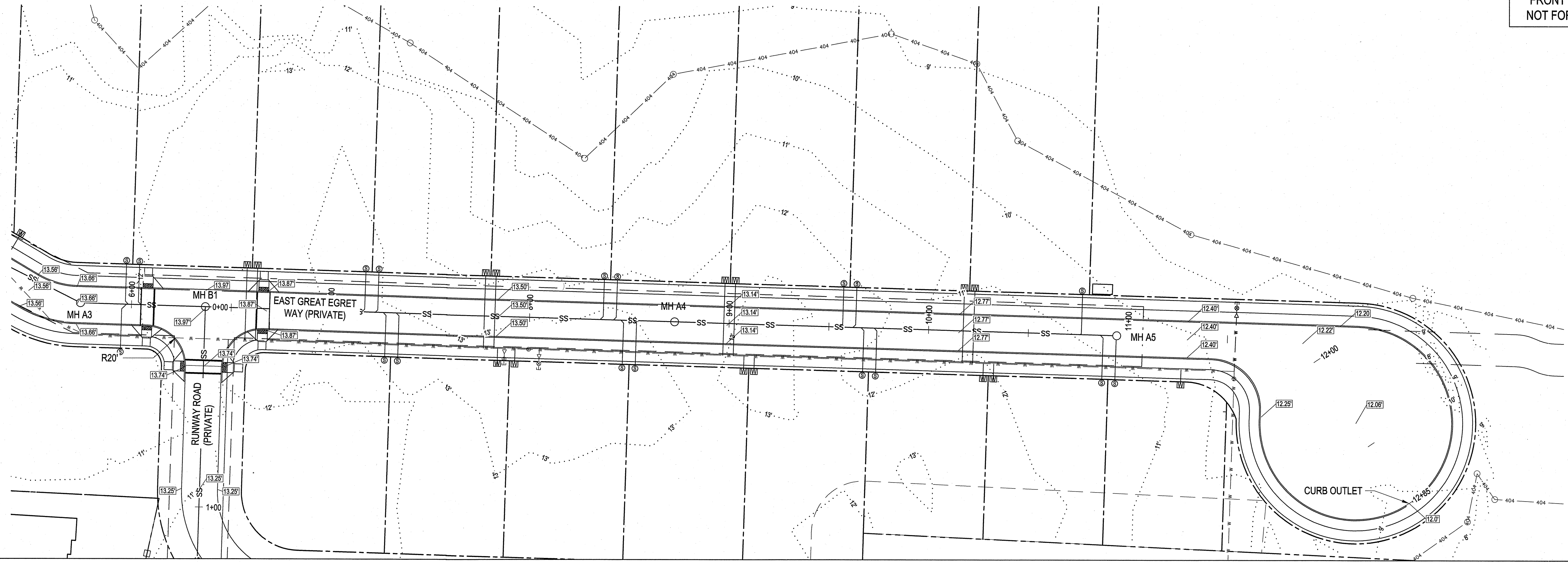


EAST EGRET WAY SEWER A PROFILE - STA 0+00 TO 6+50  
 SCALE: V 1"=3'; H 1"=30'

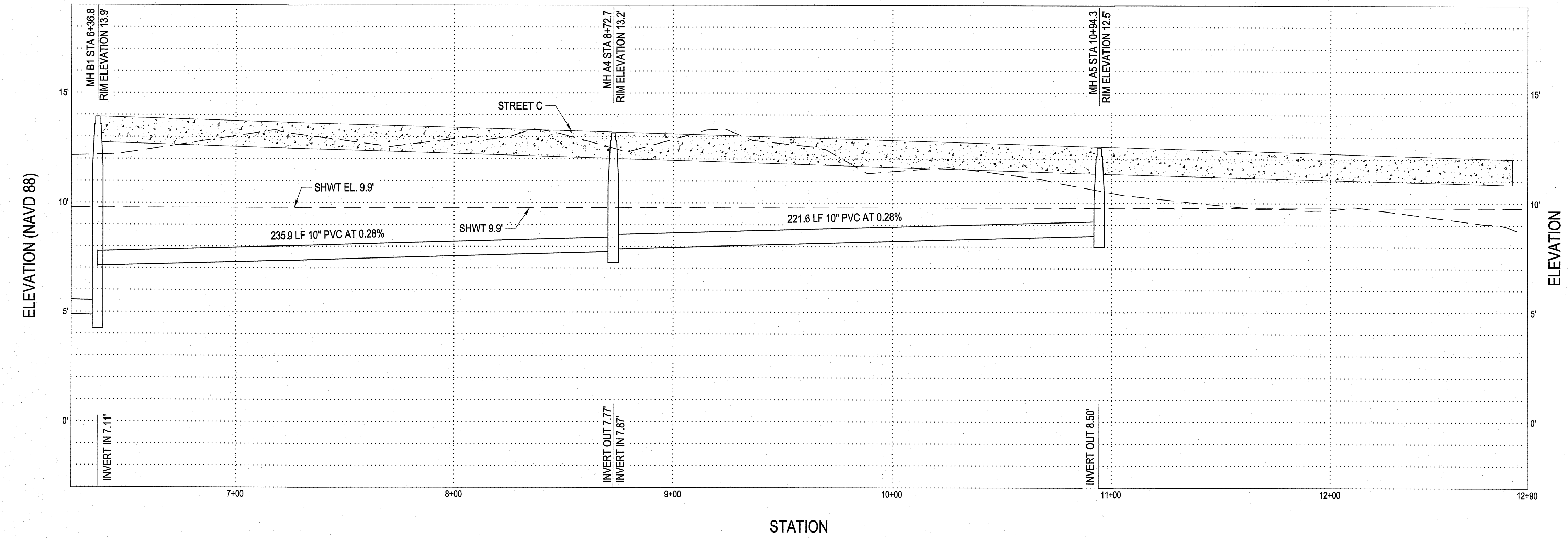
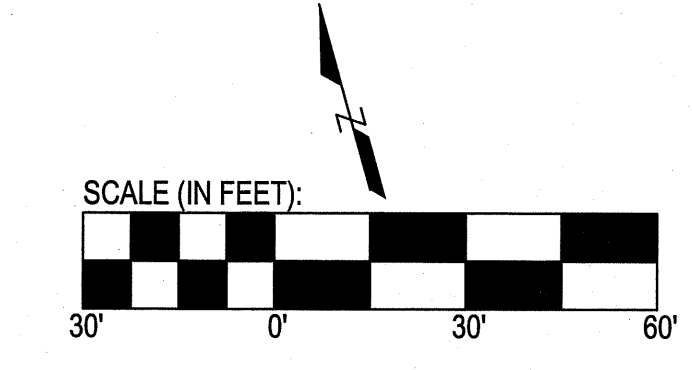
NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	06/01/21	JJW

SHEET NO:  
**C7**  
 OF: 18  
 JOB NO.  
 19138

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION



EAST GREAT EGRET WAY SEWER A PLAN - STA 6+50 TO 12+85  
SCALE: 1" = 30'



EAST GREAT EGRET WAYSEWER A PROFILE - STA 6+50 TO 12+85  
SCALE: V 1"=3'; H 1"=30'

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PERMISSION.

PROJECT MANAGER: JWF

DESIGNED: JJW

DRAWN BY: JJW

CHECKED: JWF

SCALE: 1" = 30'

DATE: 03/29/2021



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Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

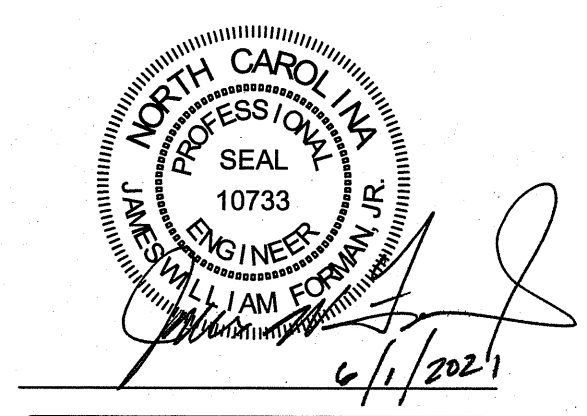
www.arendellengineers.com  
North Carolina Certification No. C-1509

OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
EAST GREAT EGRET WAY SEWER A  
PLAN AND PROFILE  
STATIONS 6+50 TO 12+85



NO.	REVISION	BY	DATE
1	TOWN COMMENTS	JJW	04/08/21
2	TOWN COMMENTS	JJW	04/30/21
3	TOWN COMMENTS	JJW	06/01/21

SHEET NO:  
**C8**

OF: 18

JOB NO. 19138

PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30'  
DATE: 03/29/2021

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Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

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North Carolina Certification No. C-1509  
OWNER:

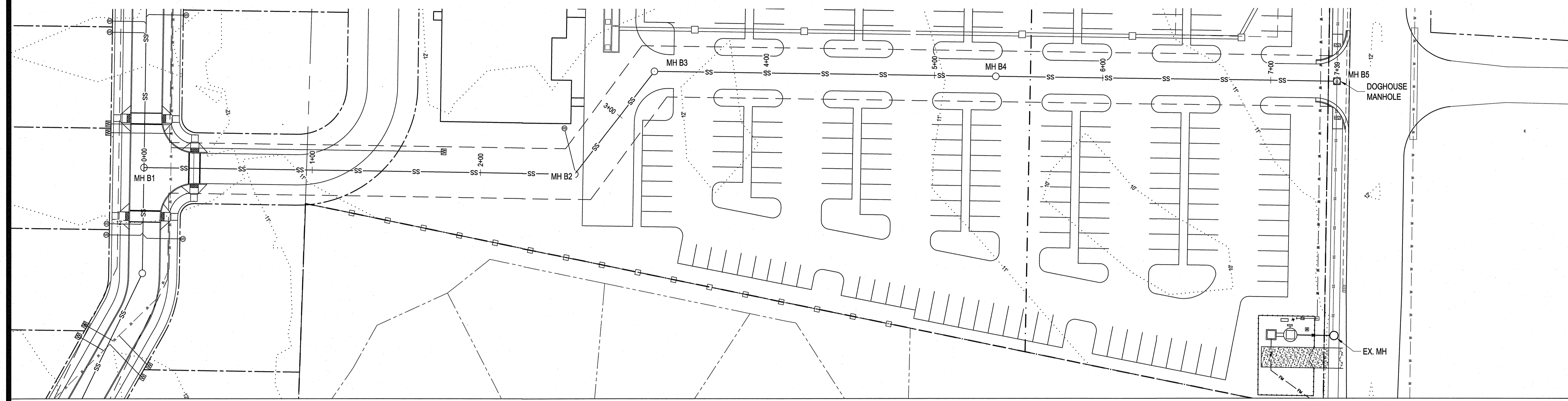
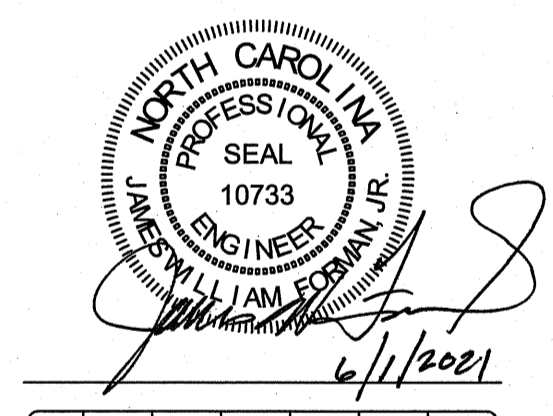
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

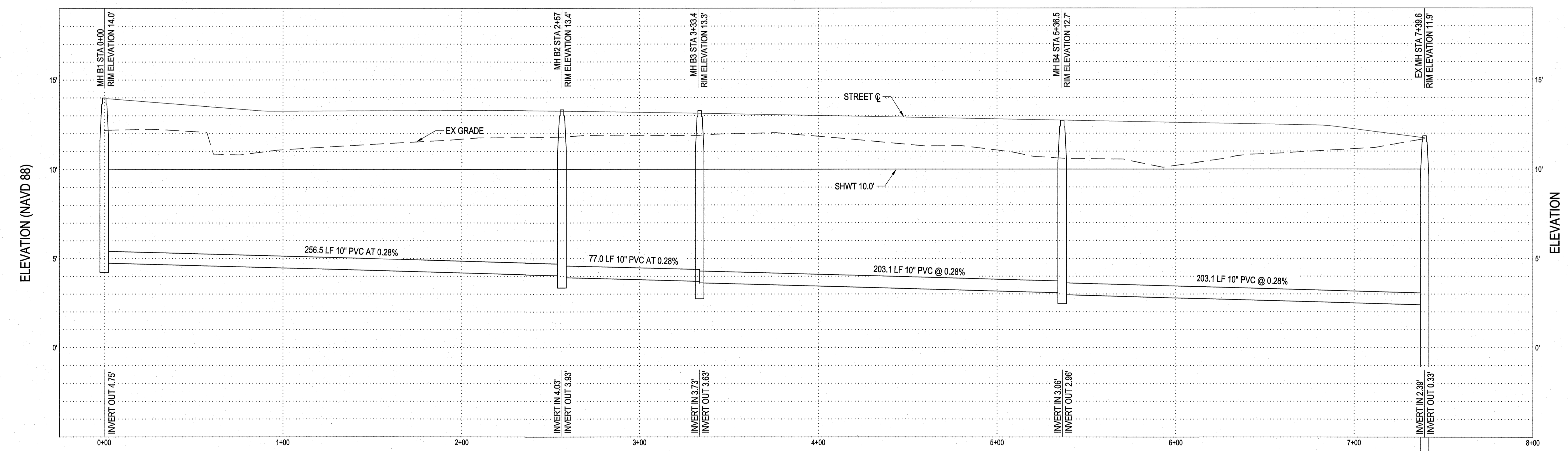
CARTERET COUNTY, NC

DRAWING:

SEWER B PLAN AND PROFILE



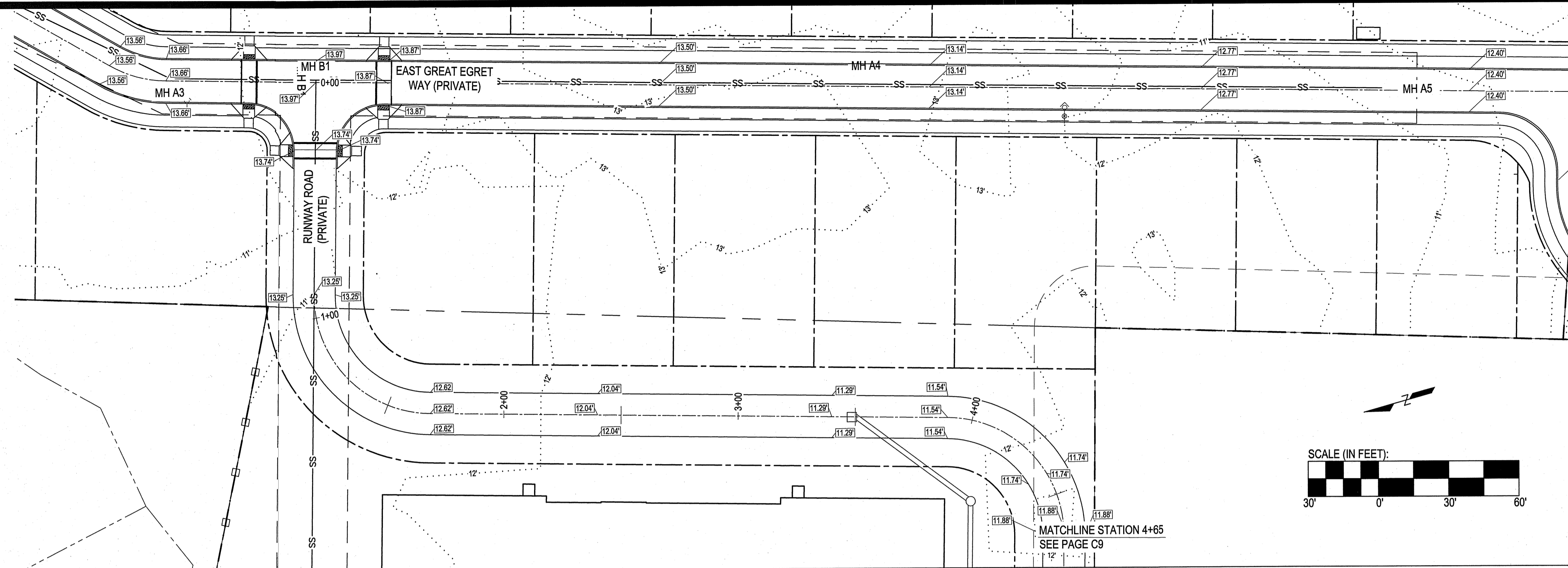
SEWER B PLAN  
SCALE: 1" = 30'



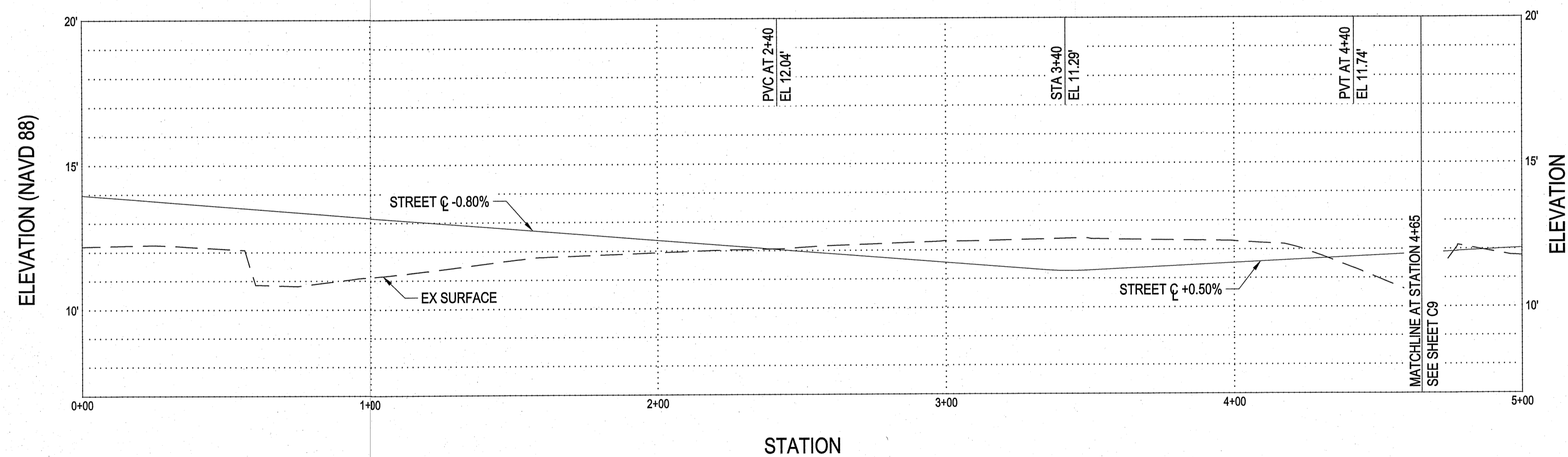
SEWER B PROFILE  
SCALE: V 1" = 30'; H 1" = 30'

NO.	REVISION	BY	DATE
1	TOWN COMMENTS	JJW	04/08/21
2	TOWN COMMENTS	JJW	04/30/21
3	TOWN COMMENTS	JJW	06/01/21

SHEET NO:  
**C9**  
OF: 18  
JOB NO. 19138



**PLAN VIEW- RUNWAY ROAD STATIONS 0+00 TO 4+65**  
SCALE: 1"=30'



**PROFILE VIEW- RUNWAY ROAD STATIONS 0+00 TO 4+65**  
SCALE: V 1"=3' / H 1"=30'

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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 30'  
 DATE: 03/29/2021



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 Fax: (252) 622-4505

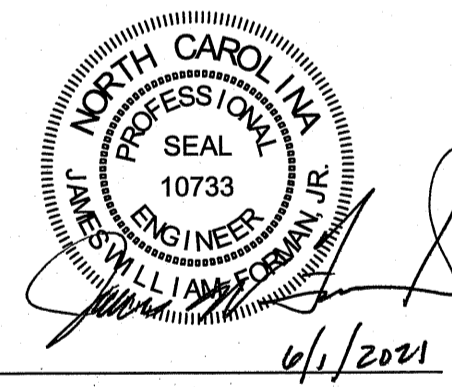
www.arendellengineers.com  
 North Carolina Certification No. C-1509  
 OWNER:

FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 3 RUNWAY ROAD  
 PLAN AND PROFILE  
 STATIONS 0+00 TO 4+65



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	06/01/21	JJW

SHEET NO:  
**C10**

OF: 18  
 JOB NO. 19138

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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 30'  
 DATE: 03/29/2021



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 Morehead City, NC 28557  
 (252) 622-4338  
 Fax: (252) 622-4505

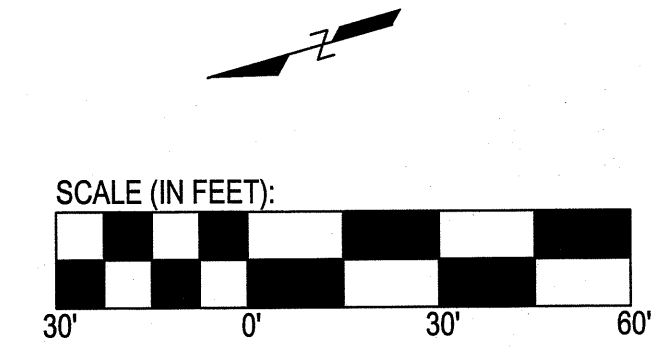
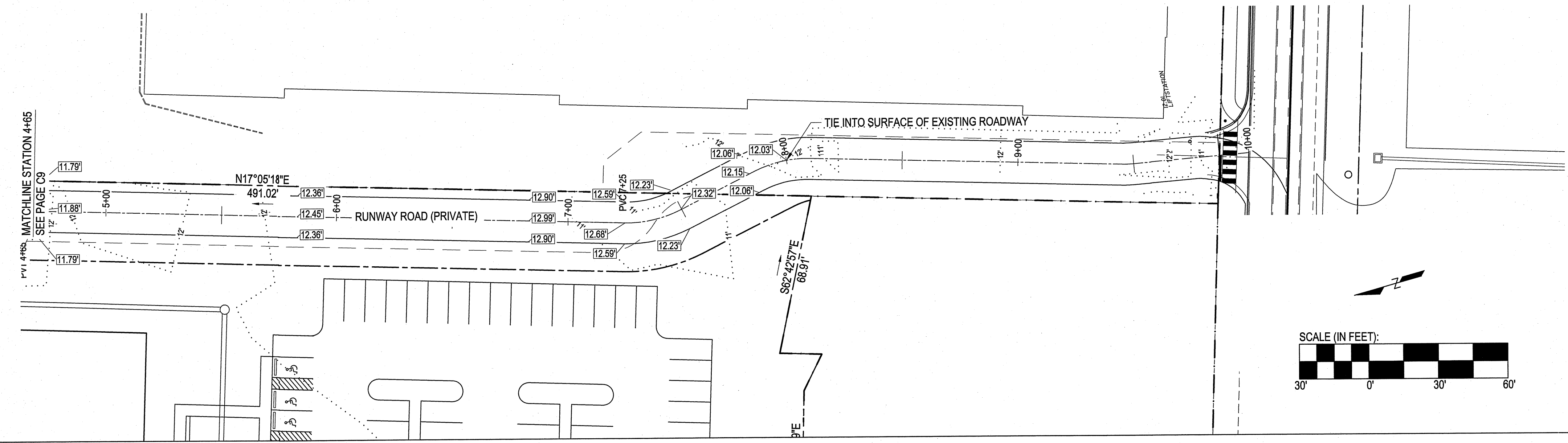
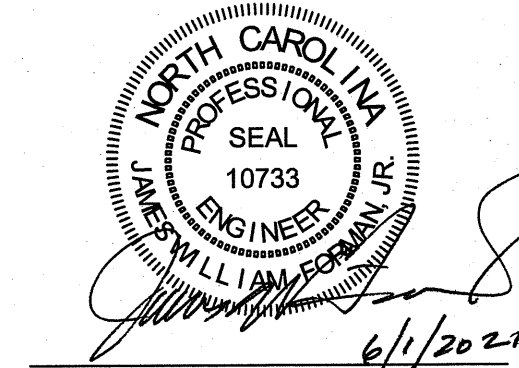
www.arendellengineers.com  
 North Carolina Certification No. C-1509  
 OWNER:

FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

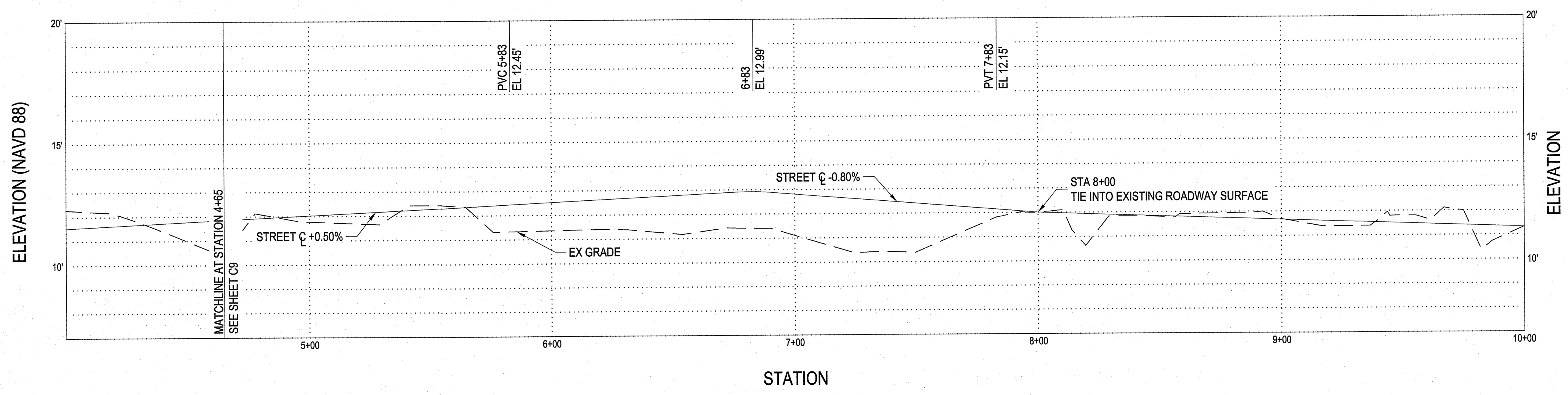
PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 3 RUNWAY ROAD  
 PLAN AND PROFILE  
 STATIONS 4+65 TO 10+00



PLAN VIEW- RUNWAY ROAD STATIONS 4+65 TO 10+00  
 SCALE: 1"=30'



PROFILE VIEW- RUNWAY ROAD STATIONS 4+65 TO 10+00  
 SCALE: V 1"=3' / H 1"=30'

NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	06/01/21	JJW

SHEET NO:  
**C11**  
 OF: 18  
 JOB NO. 19138



PRELIMINARY PLAT FOR  
PHASE IV FOR  
FRONT STREET VILLAGE  
NOT FOR CONSTRUCTION

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DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 30'  
DATE: 03/29/2021

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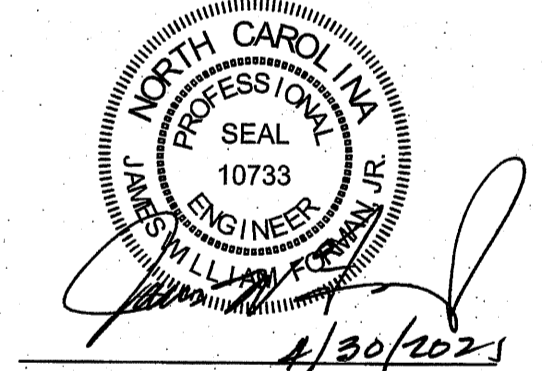
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2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
UTILITY DETAILS



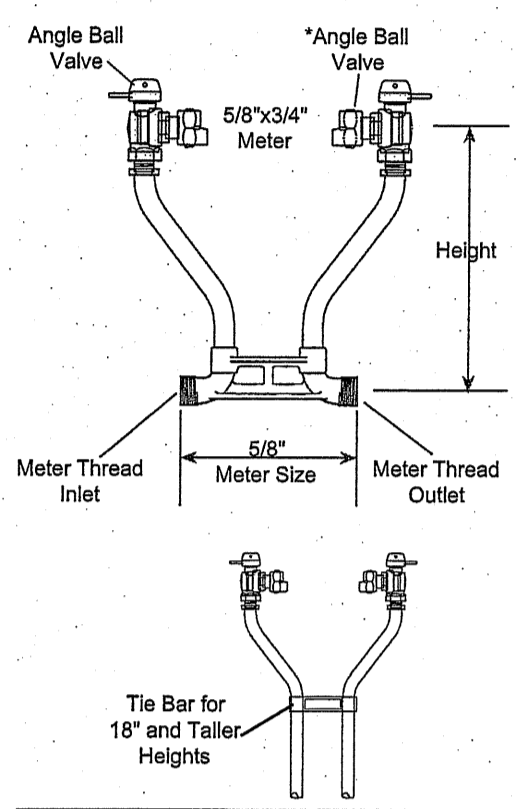
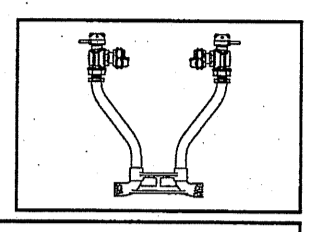
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1	04/08/21	JJW		TOWN COMMENTS
2	04/30/21	JJW		TOWN COMMENTS

SHEET NO:  
**C12**  
OF: 18  
JOB NO. 19138

**SUBMITTAL INFORMATION**

**40 Series Resetter - (VBB42-xxW-BI-NL style)**

ANGLE BALL VALVE BY ANGLE BALL VALVE (5/8" X 3/4" METER)  
5/8" METER THREAD INLET AND OUTLET



HEIGHT (INCHES)	APPROX. WT. LBS.	CATALOG NUMBER	DISUBMITTED ITEM(S)
7	3.3	VBB42-7W-BI-NL	
9	3.5	VBB42-9W-BI-NL	
12	3.7	VBB42-12W-BI-NL	
15	3.9	VBB42-15W-BI-NL	
18	4.6	VBB42-18W-BI-NL	
21	4.8	VBB42-21W-BI-NL	
24	5.1	VBB42-24W-BI-NL	
27	5.3	VBB42-27W-BI-NL	
30	5.6	VBB42-30W-BI-NL	

The Angle Ball Valve is a one-way directional valve designed for the inlet side of the meter and should not be used as a customer shut-off on the customer side of the meter.

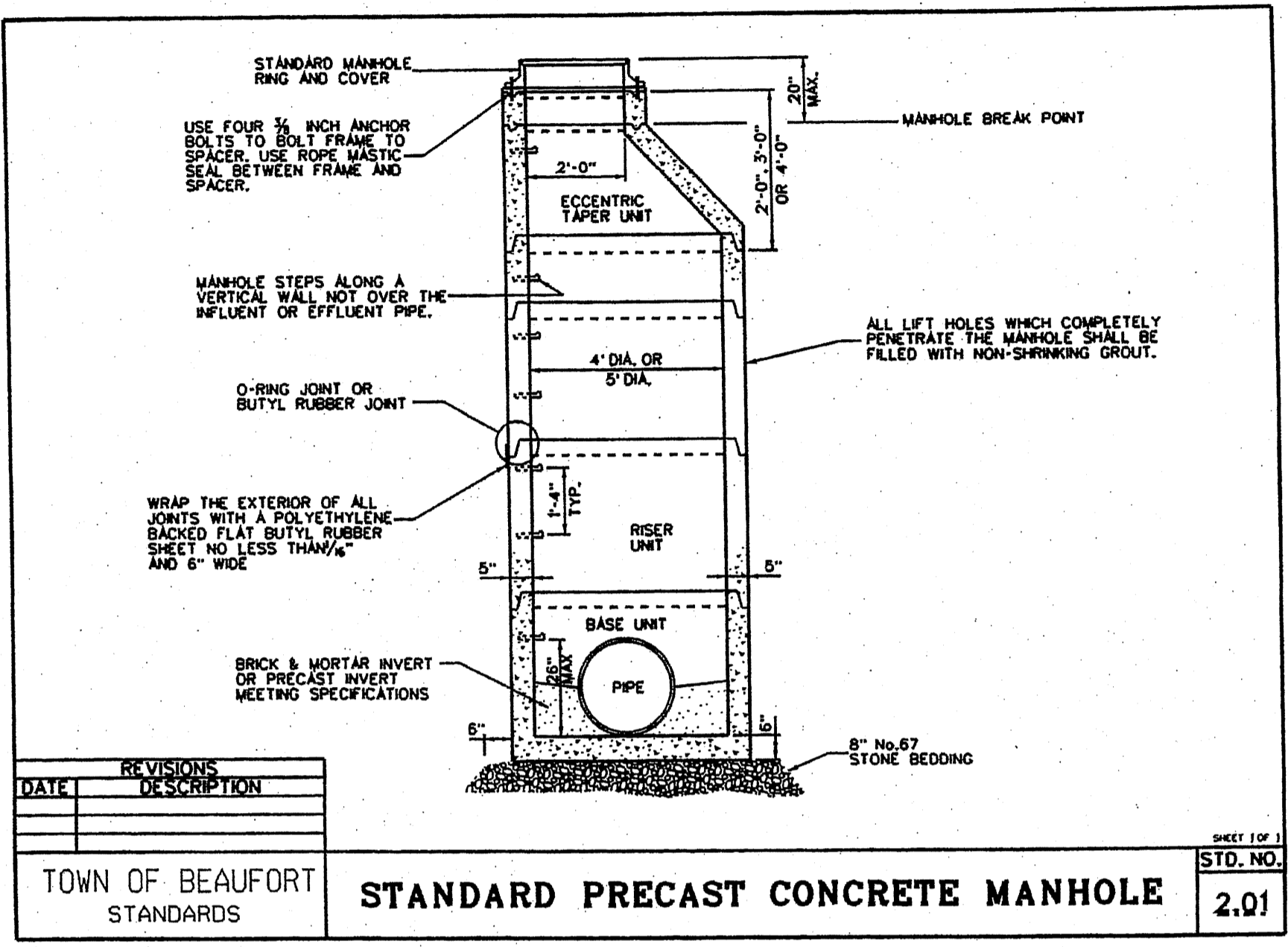
INLET	OUTLET
5/8"	5/8"

- FEATURES**
- All brass that comes in contact with potable water conforms to AWWA Standard C800 (UNS NO C89833)
  - Brass components that do not come in contact with potable water conform to AWWA Standard C800 (ASTM B-62 and ASTM B-584, UNS NO C83600 - 85-5-5-6)
  - The product has the letters "NL" cast into the main body for proper identification
  - Saddle nuts hold the meter in place for tightening
  - Tie Bar is standard for 18" and taller resetter heights (40 Series)
  - Conforms to AWWA C700 for Meter Threads
  - 13/16" Copper risers provide more flow capacity
  - All Ford Setters are assembled with lead-free solder
  - Copper conforms to ASTM B-75, Copper Alloy #122
  - 5/8" meter thread on bottom bar

The Ford Meter Box Company considers the information in this submittal form to be correct at the time of publication. Item and option availability, including specifications, are subject to change without notice. Please verify that your product information is current.

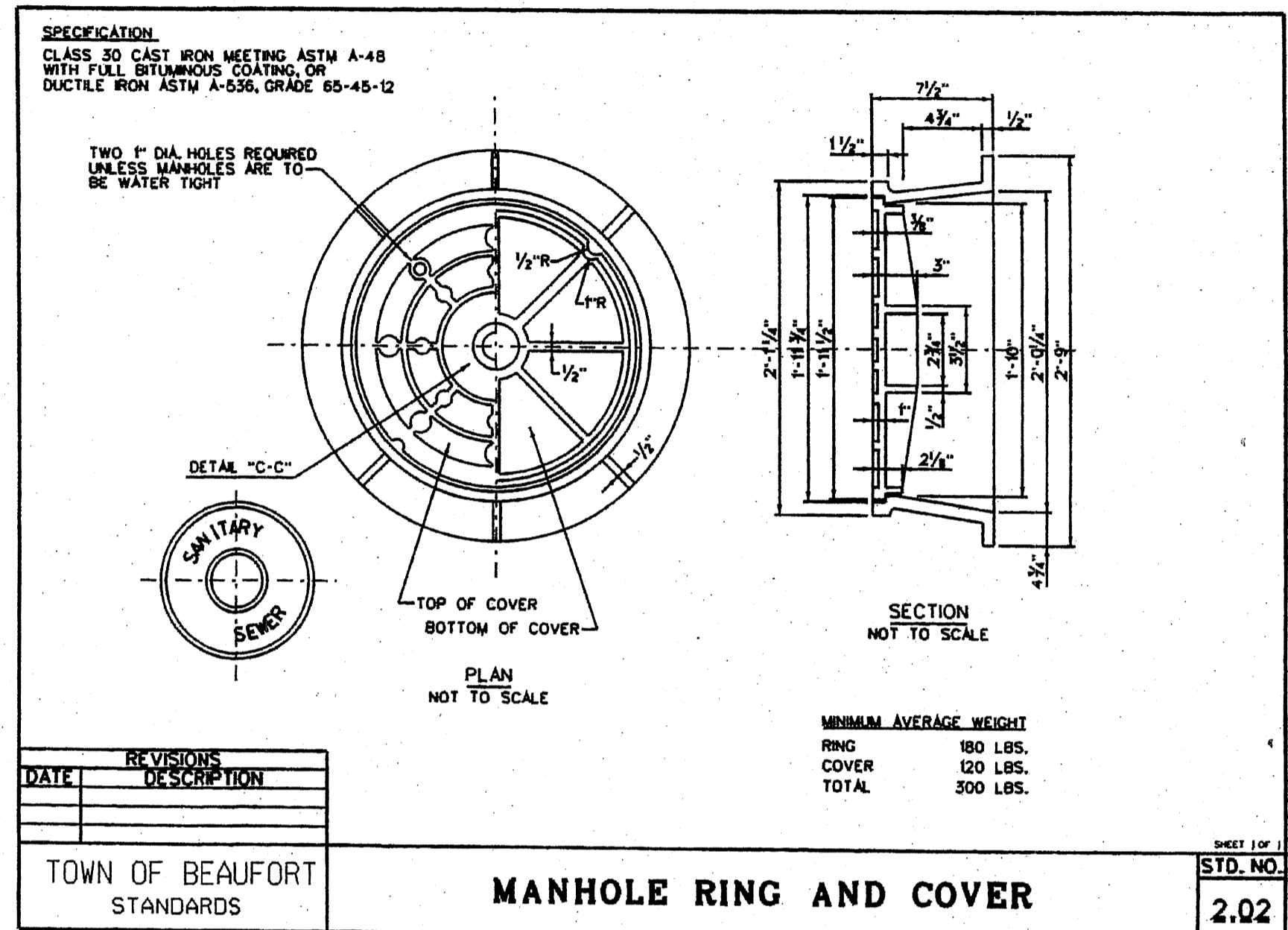
**The Ford Meter Box Company, Inc.**  
P.O. Box 443, Wabash, Indiana U.S.A. 46992-0443  
Phone: 260-563-3171 / Fax: 260-526-3487  
Overseas Fax: 260-563-0167  
http://www.fordmeterbox.com 06/22/12

Submitted By:



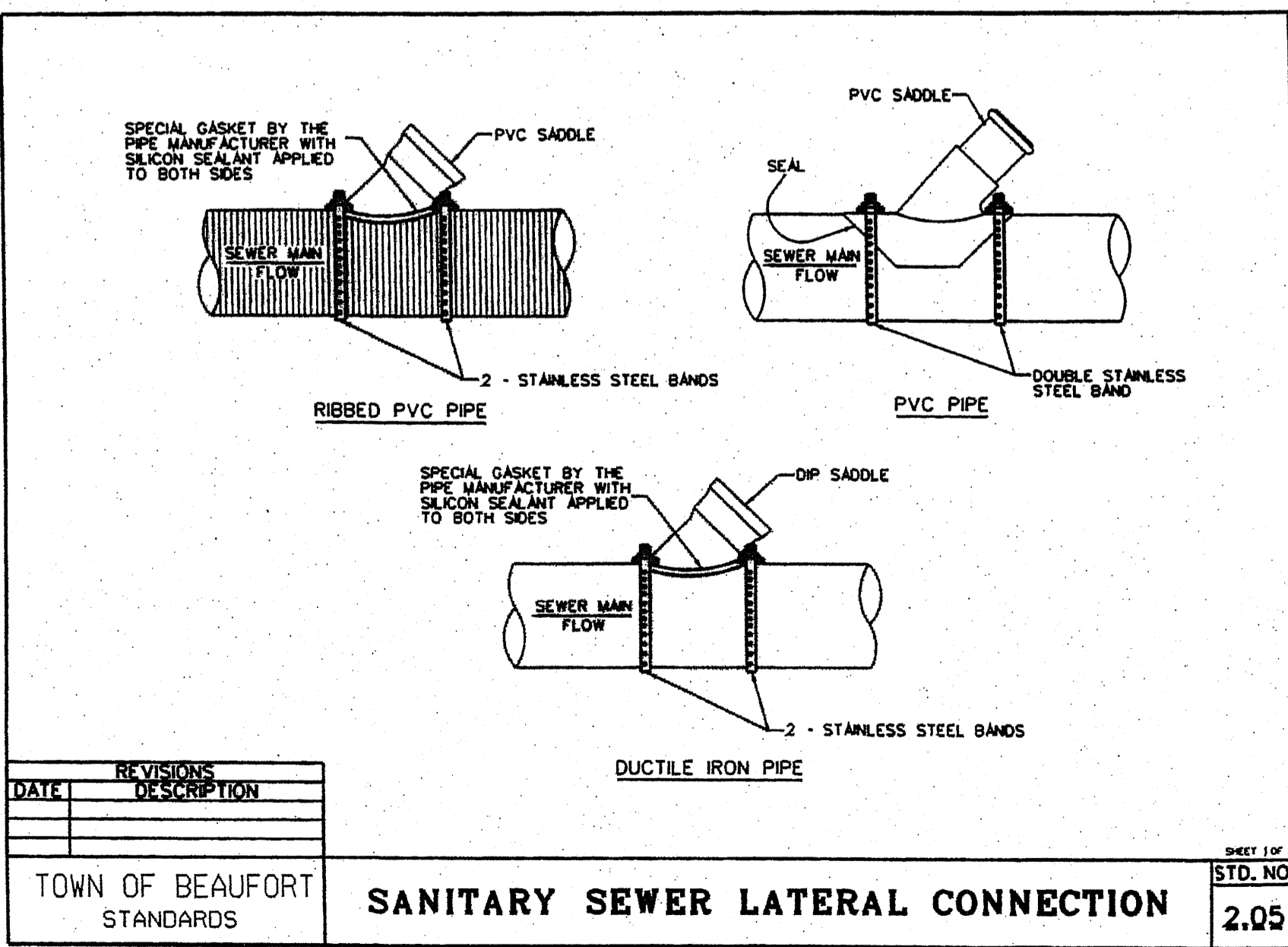
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			2.01

TOWN OF BEAUFORT STANDARDS



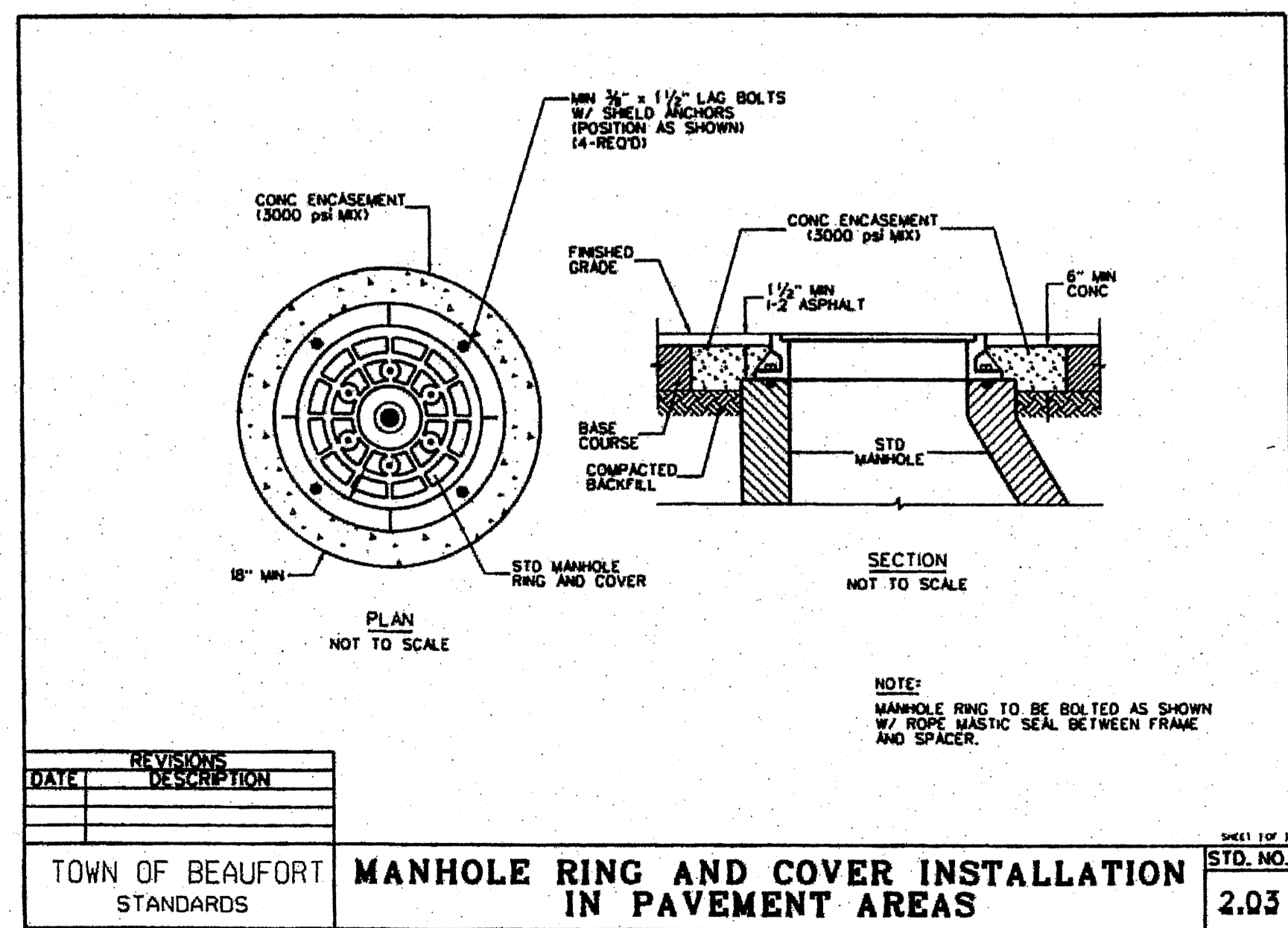
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TOWN OF BEAUFORT STANDARDS



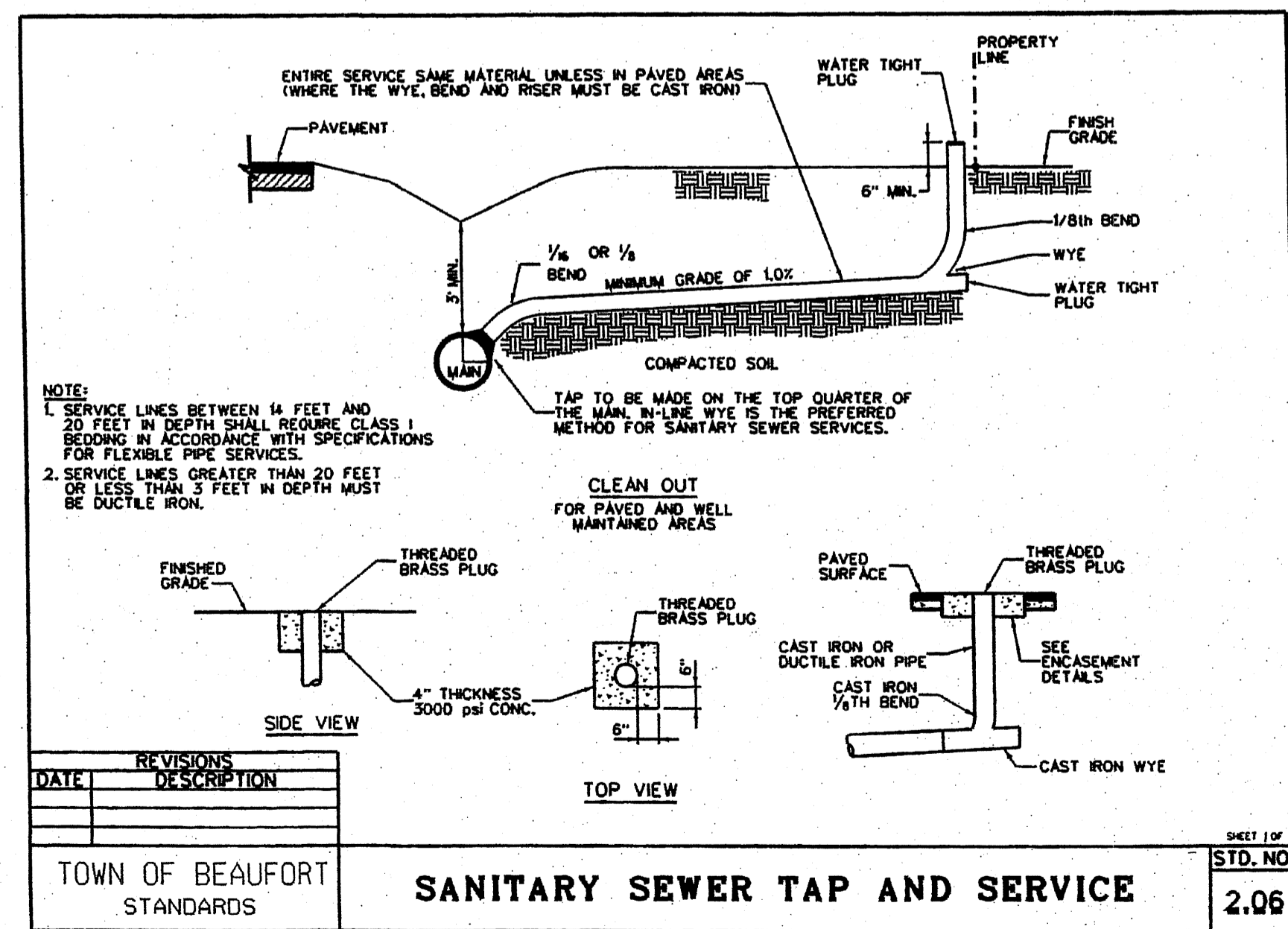
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			2.05

TOWN OF BEAUFORT STANDARDS



DATE	REVISIONS	DESCRIPTION	STD. NO.
			2.03

TOWN OF BEAUFORT STANDARDS



DATE	REVISIONS	DESCRIPTION	STD. NO.
			2.06

TOWN OF BEAUFORT STANDARDS

PRELIMINARY PLAT FOR PHASE IV FOR FRONT STREET VILLAGE NOT FOR CONSTRUCTION

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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: 1" = 50'  
DATE: 03/29/2021



1004 Arendell Street  
Morehead City, NC 28557  
(252) 622-4338  
Fax: (252) 622-4505

www.arendellengineers.com  
North Carolina Certification No. C-1509  
OWNER:

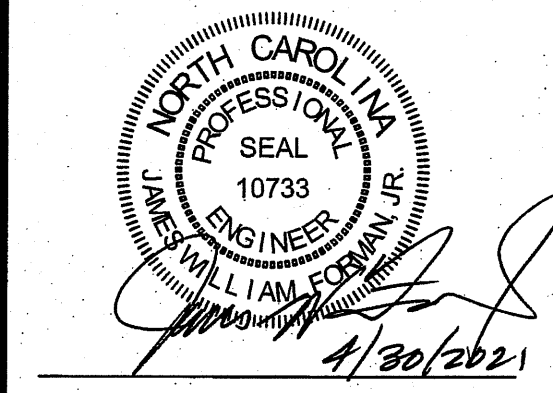
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:

LANDSCAPING PLAN



LANDSCAPE DETAILS

- ⊕ 5" CALIPER LIVE OAK TREES
  - ⊙ WAX MYRTLES
  - ⊙ YAUPON HOLLY FOUNDATION SHRUBS
- PERMANENT SEEDING OR SOD

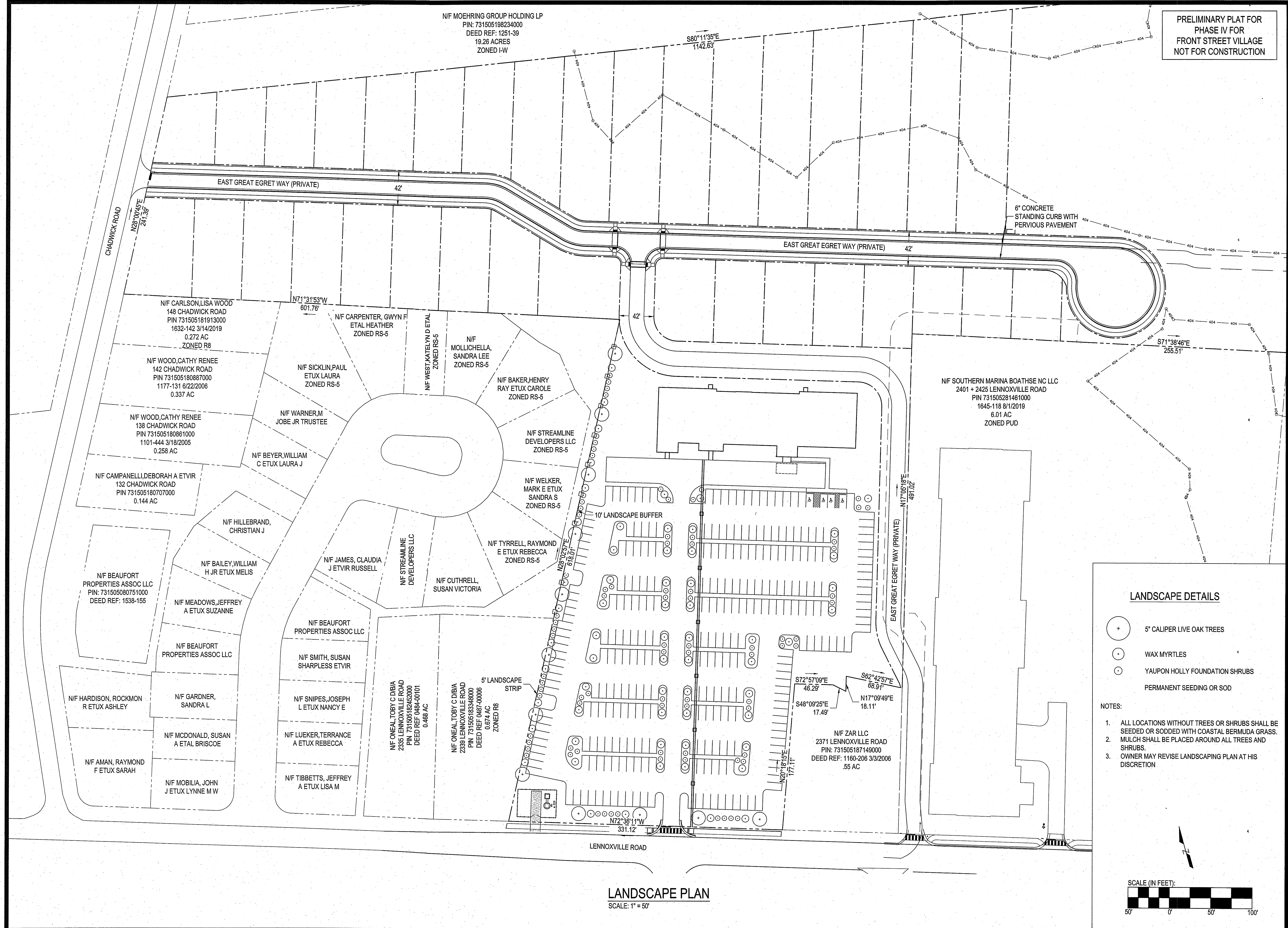
- NOTES:
- ALL LOCATIONS WITHOUT TREES OR SHRUBS SHALL BE SEEDED OR SODDED WITH COASTAL BERMUDA GRASS. MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS.
  - OWNER MAY REVISE LANDSCAPING PLAN AT HIS DISCRETION

NO.	REVISION	DATE	BY	TOWN COMMENTS
1		04/08/21	JJW	
2		04/30/21	JJW	

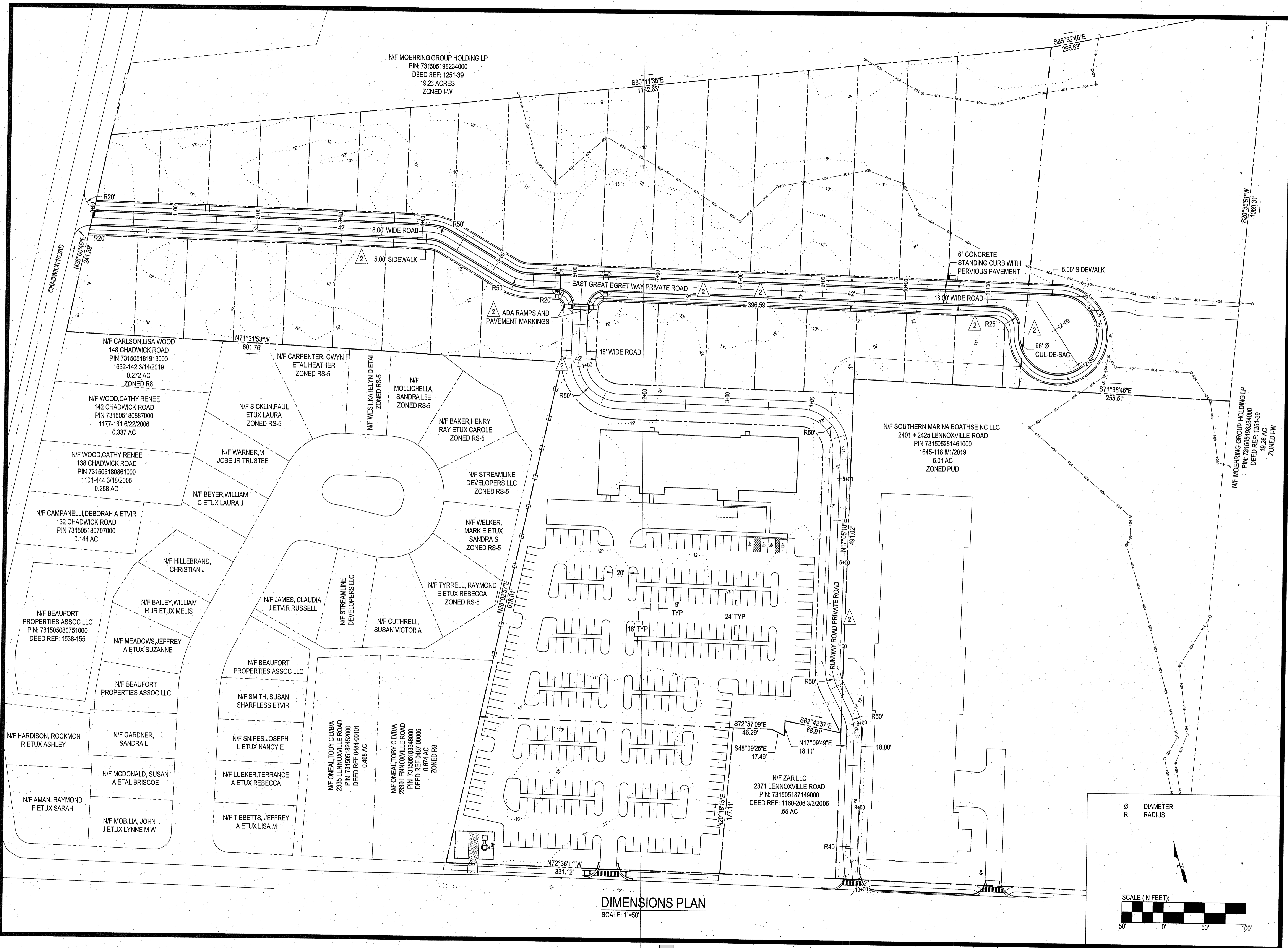
SHEET NO:

C13

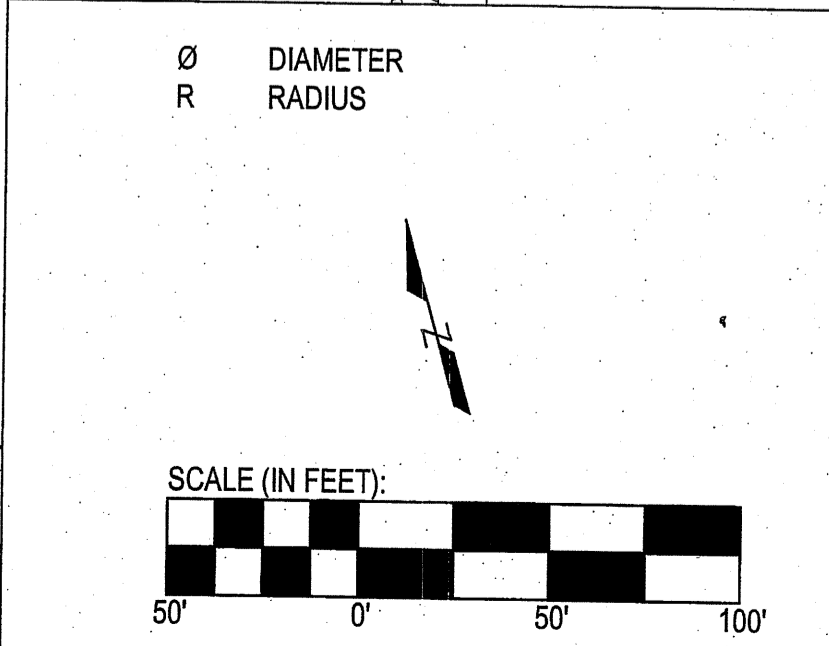
OF: 18  
JOB NO. 19138



LANDSCAPE PLAN  
SCALE: 1" = 50'



**DIMENSIONS PLAN**  
SCALE: 1"=50'



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PROJECT MANAGER: JWF  
 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021

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 CIVIL - COASTAL - ENVIRONMENTAL  
 1004 Arendell Street  
 Morehead City, NC 28557  
 (252) 622-4338  
 Fax: (252) 622-4505

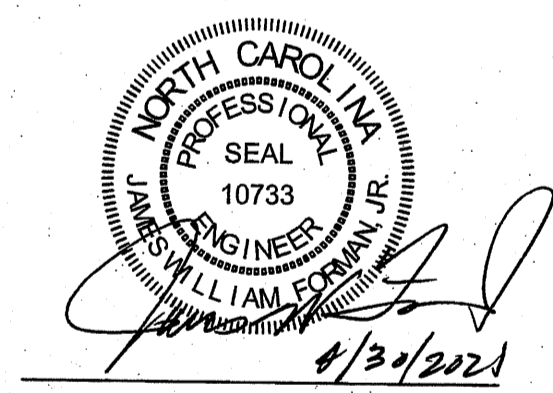
www.arendellengineers.com  
 North Carolina Certification No. C-1509  
 OWNER:

FRONT STREET VILLAGE, LLC  
 2400 LENNOXVILLE ROAD  
 BEAUFORT, NC 28516

PROJECT:  
 FRONT STREET VILLAGE  
 TRANSPORTATION CENTER-SITE  
 PLAN-PHASE II  
 AND PRELIMINARY PLAT PHASE IV  
 BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
 DIMENSIONS PLAN



NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO:

**C14**

OF: 18  
 JOB NO. 19138

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 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: 1" = 50'  
 DATE: 03/29/2021



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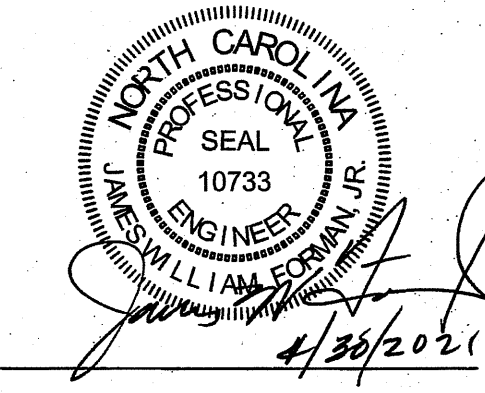
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 BEAUFORT, NC 28516

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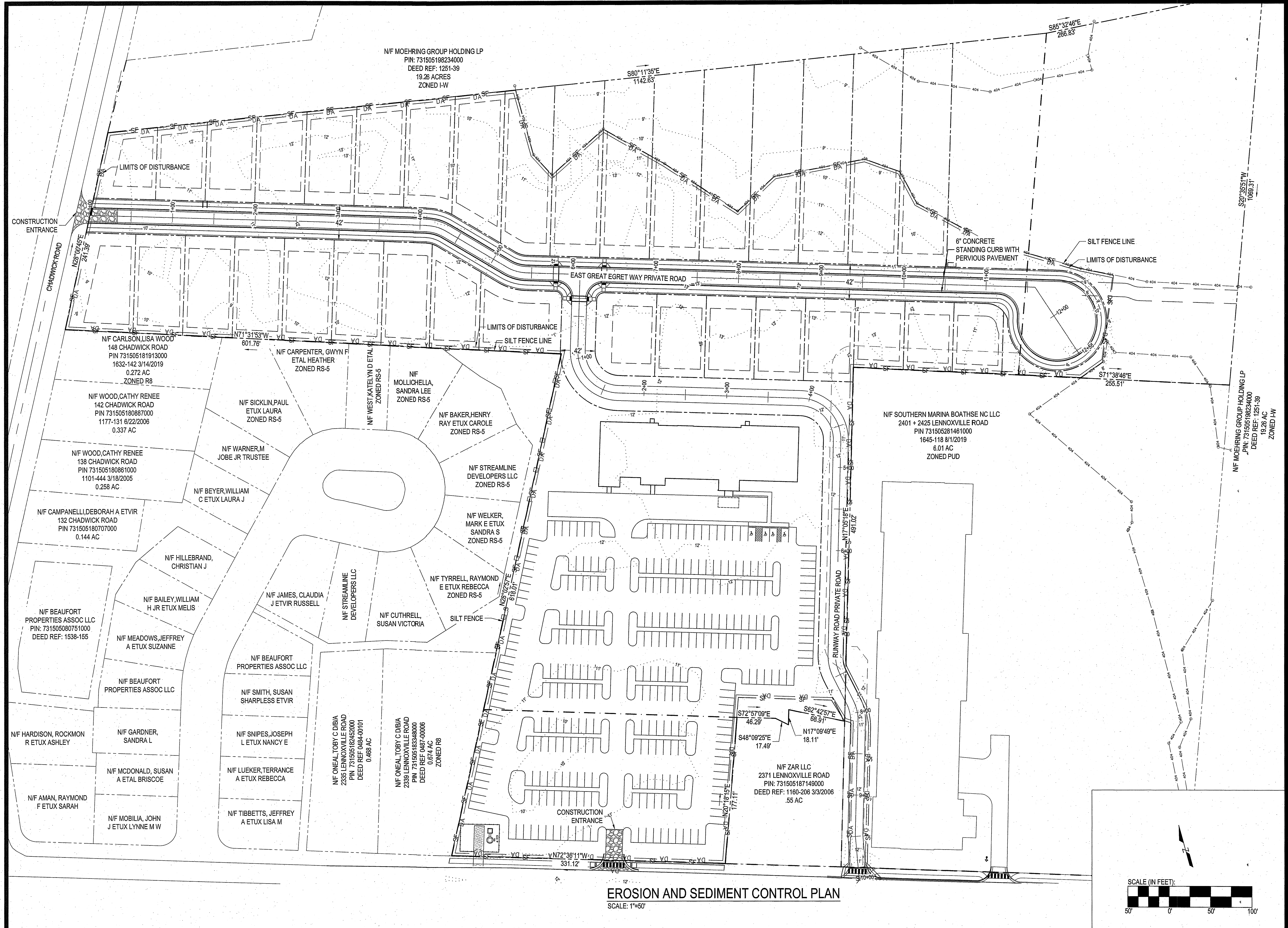
CARTERET COUNTY, NC

DRAWING:  
 EROSION AND SEDIMENT CONTROL  
 PLAN

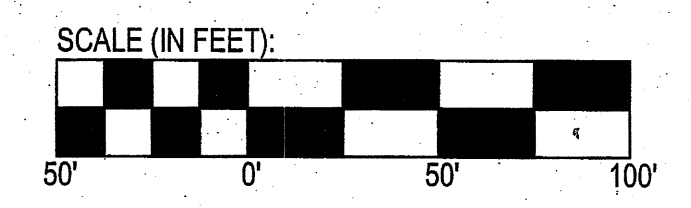


NO.	REVISION	BY	DATE	TOWN COMMENTS
1		JW	04/08/21	
2		JW	04/30/21	

SHEET NO:  
**C15**  
 OF: 18  
 JOB NO. 19138



**EROSION AND SEDIMENT CONTROL PLAN**  
 SCALE: 1"=50'



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 DESIGNED: JJW  
 DRAWN BY: JJW  
 CHECKED: JWF  
 SCALE: NTS  
 DATE: 03/29/2021

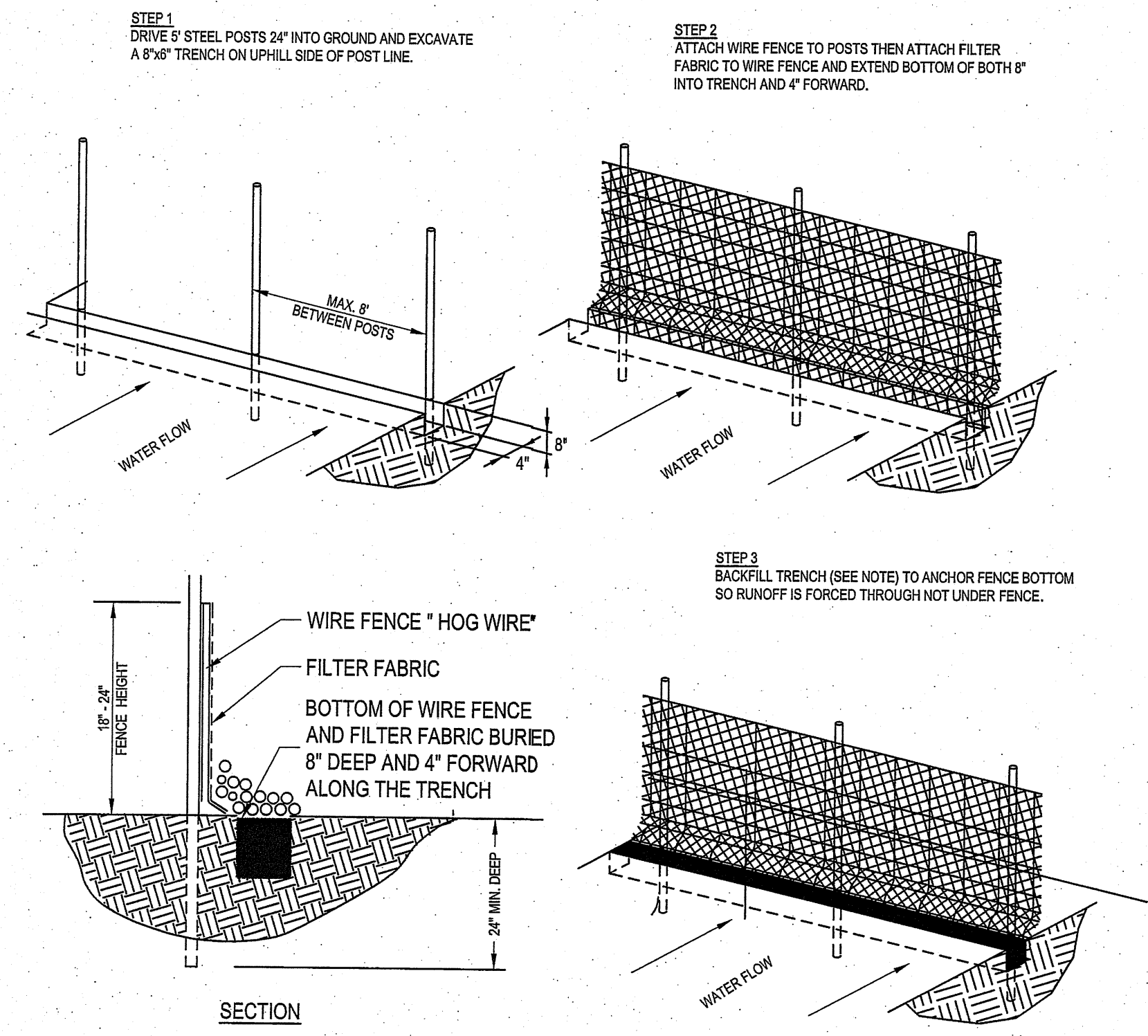
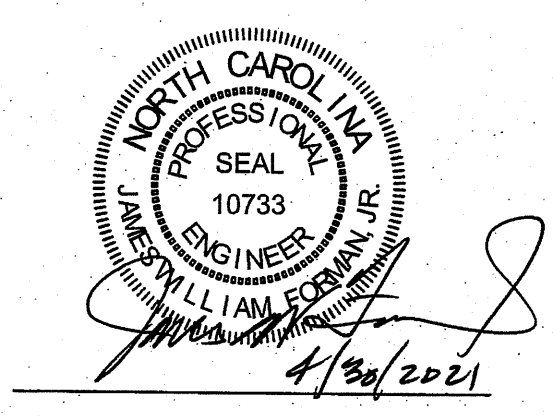
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 BEAUFORT, NC 28516

PROJECT:  
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 PLAN-PHASE II  
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 BEAUFORT, NORTH CAROLINA

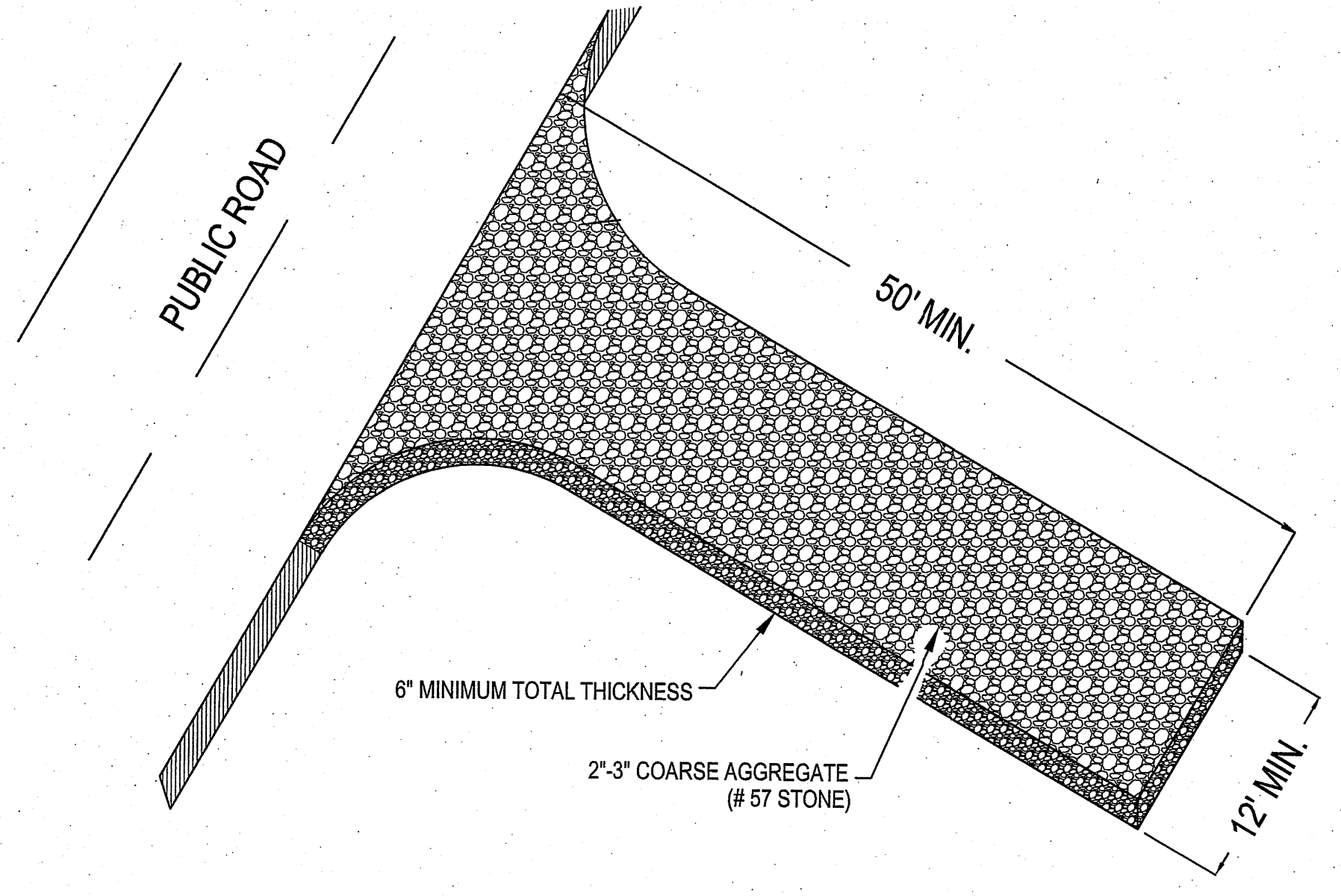
CARTERET COUNTY, NC

DRAWING:  
 EROSION AND SEDIMENT CONTROL DETAILS



NOTES:  
 1. SEE EROSION CONTROL GENERAL NOTES.  
 2. FILTER FABRIC BOTTOM SHALL BE PLACED 5" IN TRENCH AND 4" FORWARD AND SECURED BY EITHER WASHED STONE EXTENDING A MINIMUM OF 6" ABOVE GROUND LEVEL OR TAMPED SOIL BACKFILL MATERIAL TO GROUND LEVEL OR HIGHER.

**TEMPORARY SILT FENCE**  
 SCALE: NOT TO SCALE



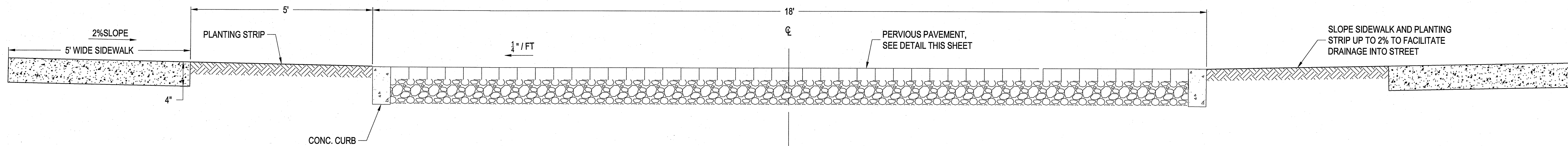
**CONSTRUCTION ENTRANCE**  
 SCALE: NOT TO SCALE

**EROSION AND SEDIMENT CONTROL DETAILS**  
 NOT TO SCALE

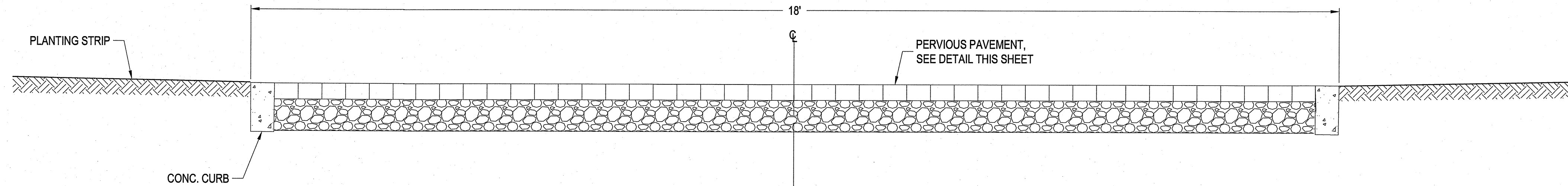
NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO:  
**C16**

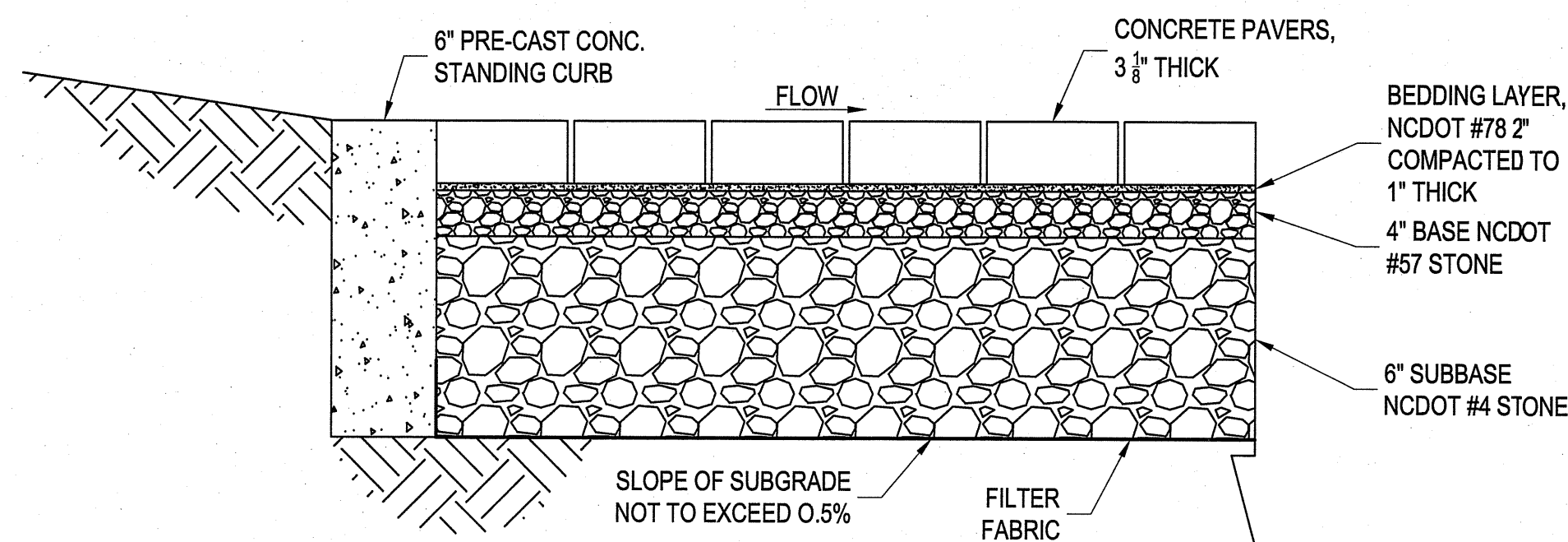
OF: 18  
 JOB NO.: 19138



**EAST GREAT EGRET WAY - TYPICAL SECTION**  
SCALE: NOT TO SCALE



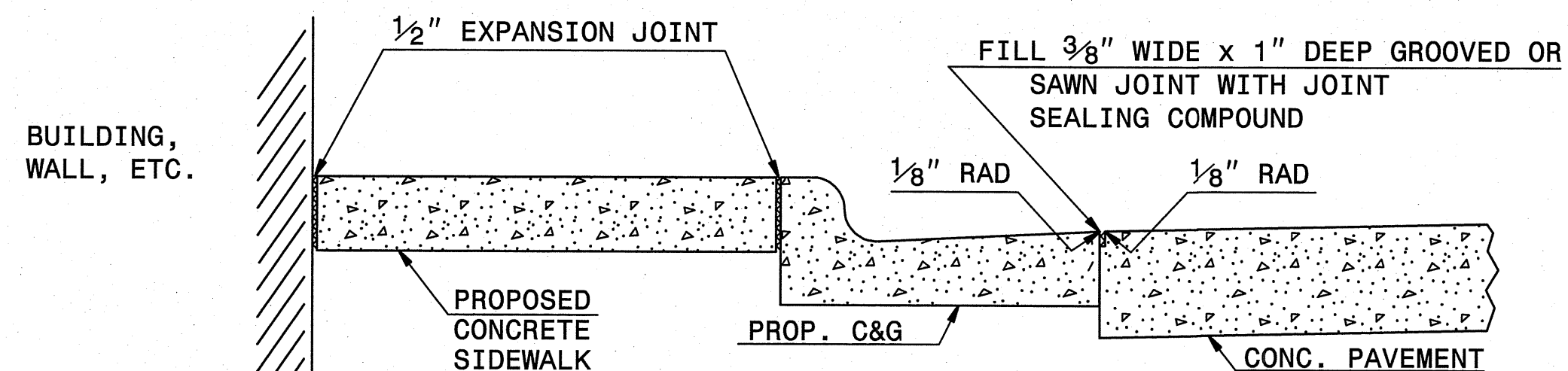
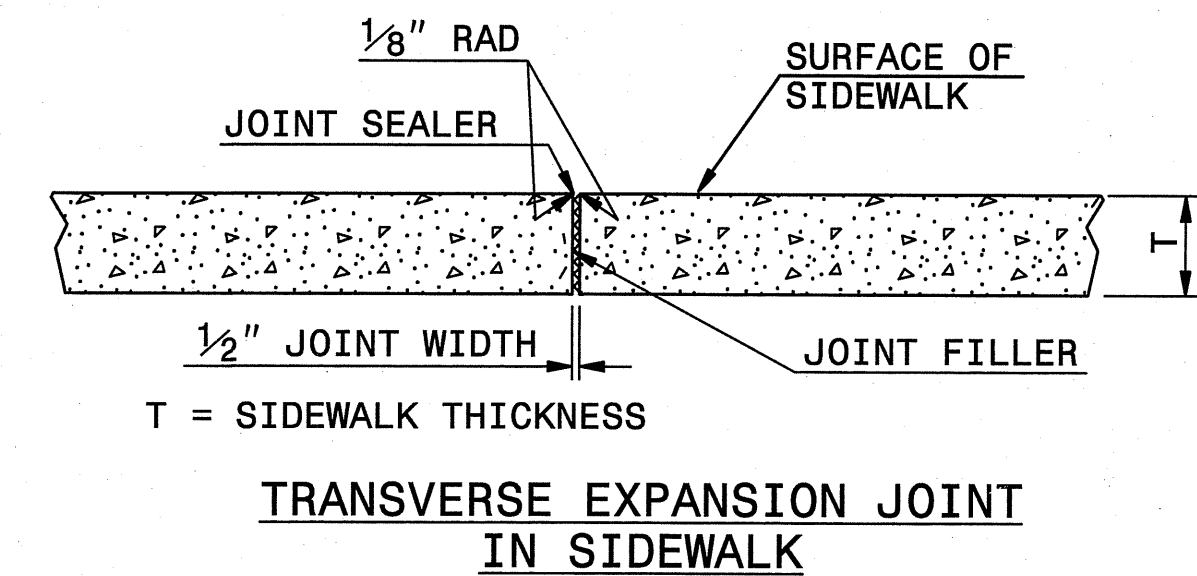
**RUNWAY ROAD - TYPICAL SECTION**  
SCALE: NOT TO SCALE



- NOTES:
- REMOVE TOP 12" OF DEBRIS AND MIXED SOIL TYPES DEPOSITED AS WASTE MATERIALS. REPLACE WITH A MEDIUM TO FINE SAND MATERIAL GRADE, AND COMPACT TO SUBGRADE ELEVATION. CONTRACTOR SHALL IDENTIFY SOURCE OF FILL MATERIALS AND THE MATERIALS BE APPROVED BY THE ENGINEER AND/OR SOIL SCIENTIST.
  - PERVIOUS PAVEMENT STRUCTURE SHALL BE PLACED ON A MINIMUM OF 12" OF FINE/MEDIUM SAND OF EITHER EXISTING OR FILL.
  - PERVIOUS PAVERS TO SUPPORT H20 LOADING.

**PERVIOUS PAVEMENT DETAIL**  
SCALE: NOT TO SCALE

ES:  
CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.  
PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADII IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.  
SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK

**SIDEWALK DETAILS**  
NOT TO SCALE

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PROJECT MANAGER: JWF  
DESIGNED: JJW  
DRAWN BY: JJW  
CHECKED: JWF  
SCALE: NTS  
DATE: 03/29/2021



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Morehead City, NC 28557  
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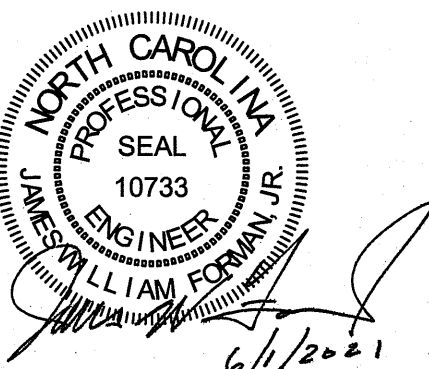
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North Carolina Certification No. C-1509

OWNER:  
FRONT STREET VILLAGE, LLC  
2400 LENNOXVILLE ROAD  
BEAUFORT, NC 28516

PROJECT:  
FRONT STREET VILLAGE  
TRANSPORTATION CENTER-SITE  
PLAN-PHASE II  
AND PRELIMINARY PLAT PHASE IV  
BEAUFORT, NORTH CAROLINA

CARTERET COUNTY, NC

DRAWING:  
DETAILS  
SHEET 1 OF 2

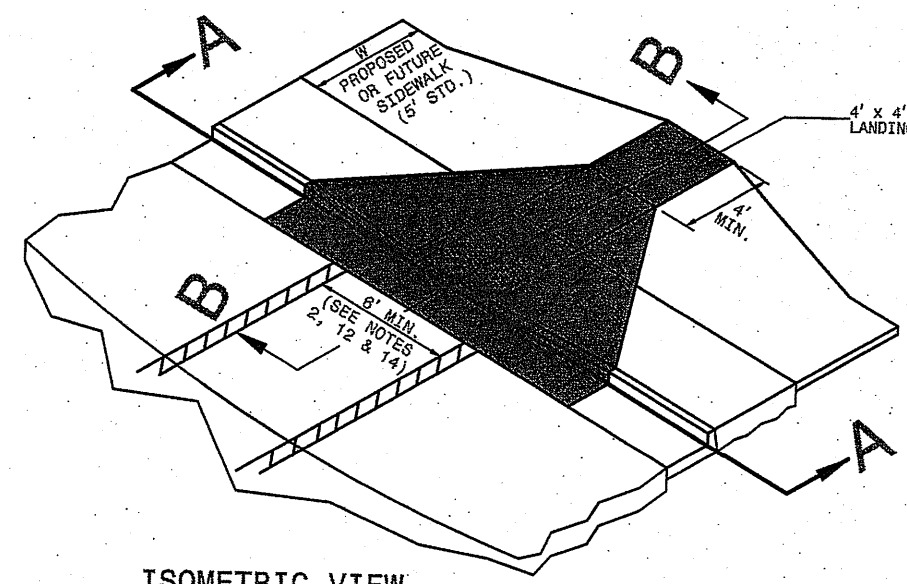


NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW
3	TOWN COMMENTS	08/01/21	JJW

SHEET NO:

**C17**

OF: 18  
JOB NO. 19138

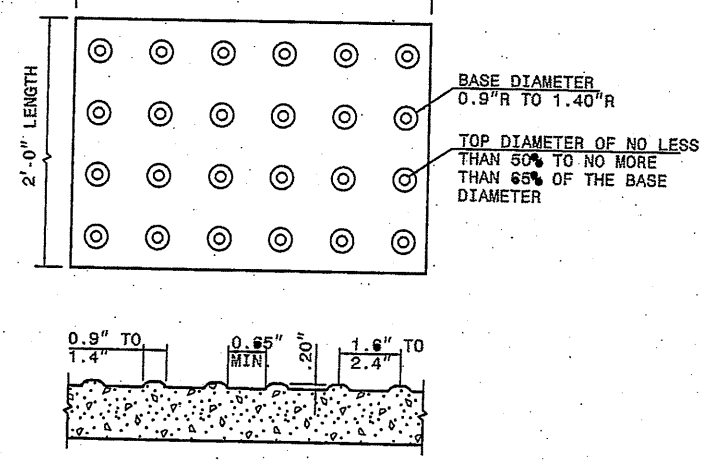


ISOMETRIC VIEW

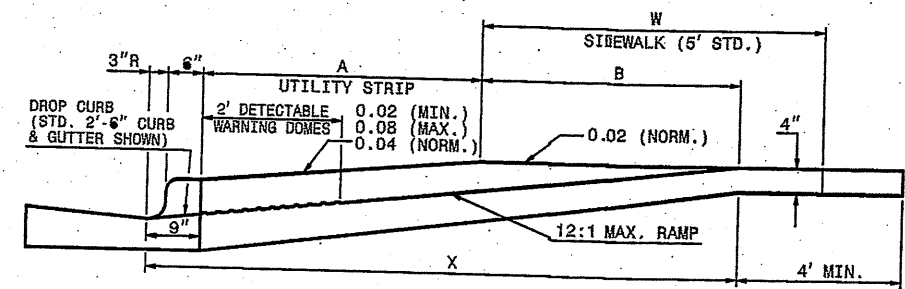
PAY LIMITS FOR CURB RAMP

- NOTES:
- 1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
- 2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBLY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.

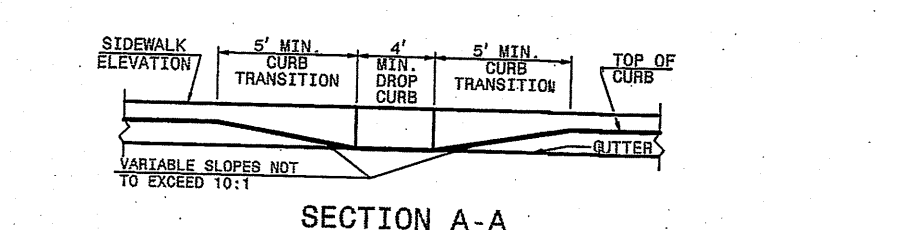
RAMP WIDTH AREA IS VARIABLE



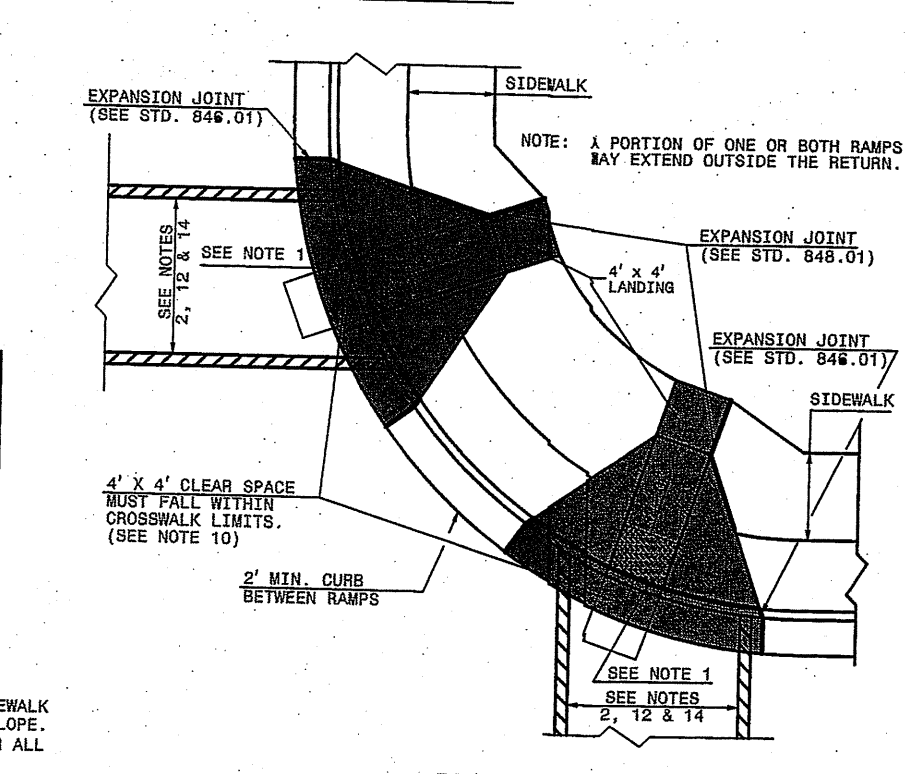
DETECTABLE WARNING DOMES



SECTION B-B



SECTION A-A



PLAN VIEW

W	A	W+A+8"	X	B
2'	0'	8'	5'	6'
3'	0'	11'	8'	9'
4'	0'	14'	11'	12'
5'	0'	17'	14'	15'
6'	0'	20'	17'	18'
7'	0'	23'	20'	21'
8'	0'	26'	23'	24'
9'	0'	29'	26'	27'
10'	0'	32'	29'	30'
11'	0'	35'	32'	33'
12'	0'	38'	35'	36'
13'	0'	41'	38'	39'
14'	0'	44'	41'	42'
15'	0'	47'	44'	45'
16'	0'	50'	47'	48'
17'	0'	53'	50'	51'
18'	0'	56'	53'	54'
19'	0'	59'	56'	57'
20'	0'	62'	59'	60'

B = X - (A+8")  
 B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (6.25% SLOPE).  
 \* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.  
 \*\* BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 0.04.

STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CURB RAMP**  
 PROPOSED CURB AND GUTTER

SHEET 1 OF 3  
**848.05**

- NOTES:
1. CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
  2. LOCATE CURB RAMP AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMP OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
  3. COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
  4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
  5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
  6. TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
  7. CONSTRUCT CURB RAMP A MINIMUM OF 4' WIDE.
  8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
  9. ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMP WILL BE 2% MAXIMUM.
  10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
  11. CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
  12. CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
  14. SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
  15. CURB RAMP WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
  16. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
  17. PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
  18. CURB RAMP THROUGH MEDIAN ISLANDS, SINGLE RAMP AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CURB RAMP**  
 NOTES

SHEET 3 OF 3  
**848.05**

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PROJECT MANAGER: JWF

DESIGNED: JJW

DRAWN BY: JJW

CHECKED: JWF

SCALE: NTS

DATE: 03/29/2021

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CARTERET COUNTY, NC

DRAWING:

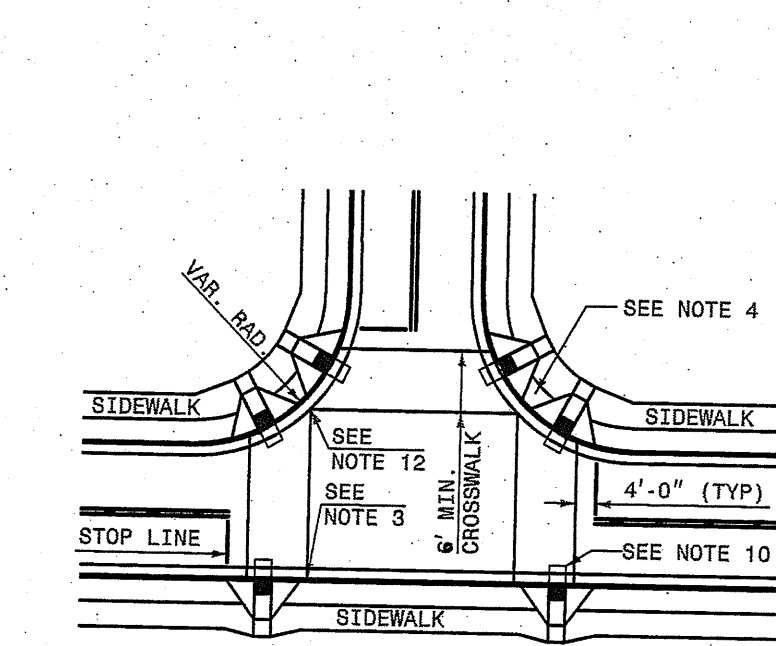
DETAILS  
 SHEET 2 OF 2

PROFESSIONAL SEAL  
 NORTH CAROLINA  
 JEFFREY W. FLETCHER  
 10733  
 4/29/2021

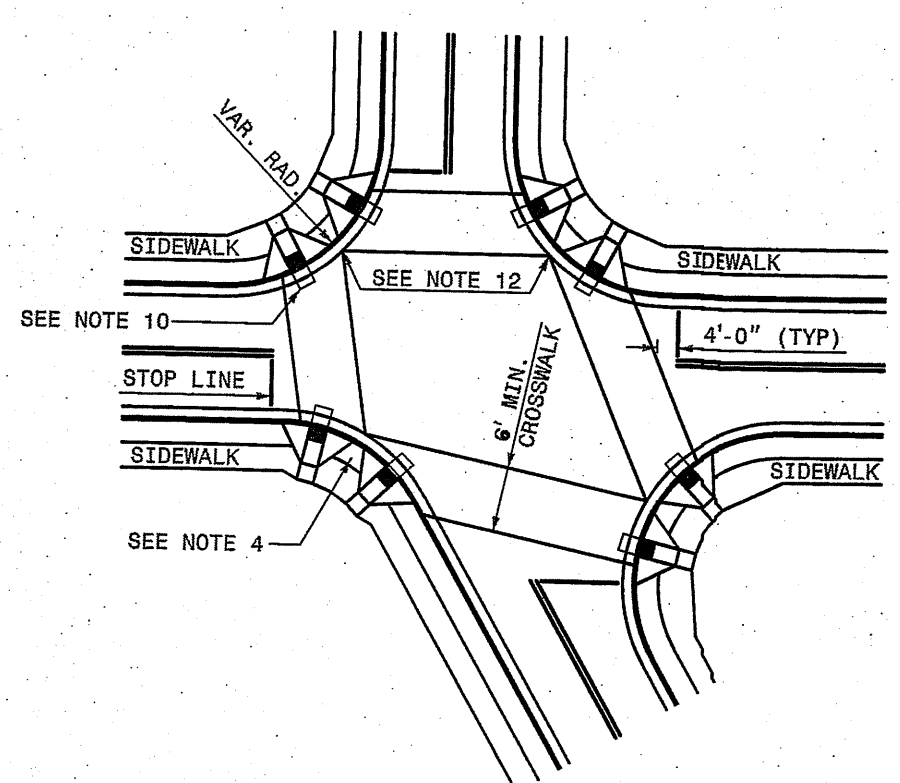
NO.	REVISION	DATE	BY
1	TOWN COMMENTS	04/08/21	JJW
2	TOWN COMMENTS	04/30/21	JJW

SHEET NO:  
**C18**

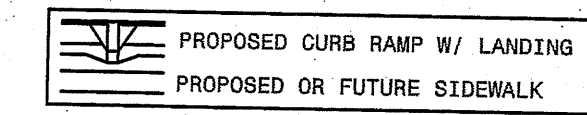
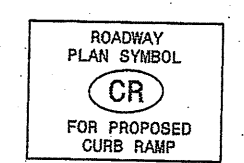
OF: 18  
 JOB NO. 19138



DETAIL SHOWING TYPICAL LOCATION OF CURB RAMP, PEDESTRIAN CROSSWALKS AND STOP LINES FOR TEE INTERSECTIONS



DETAIL SHOWING TYPICAL LOCATION OF CURB RAMP, PEDESTRIAN CROSSWALKS AND STOP LINES

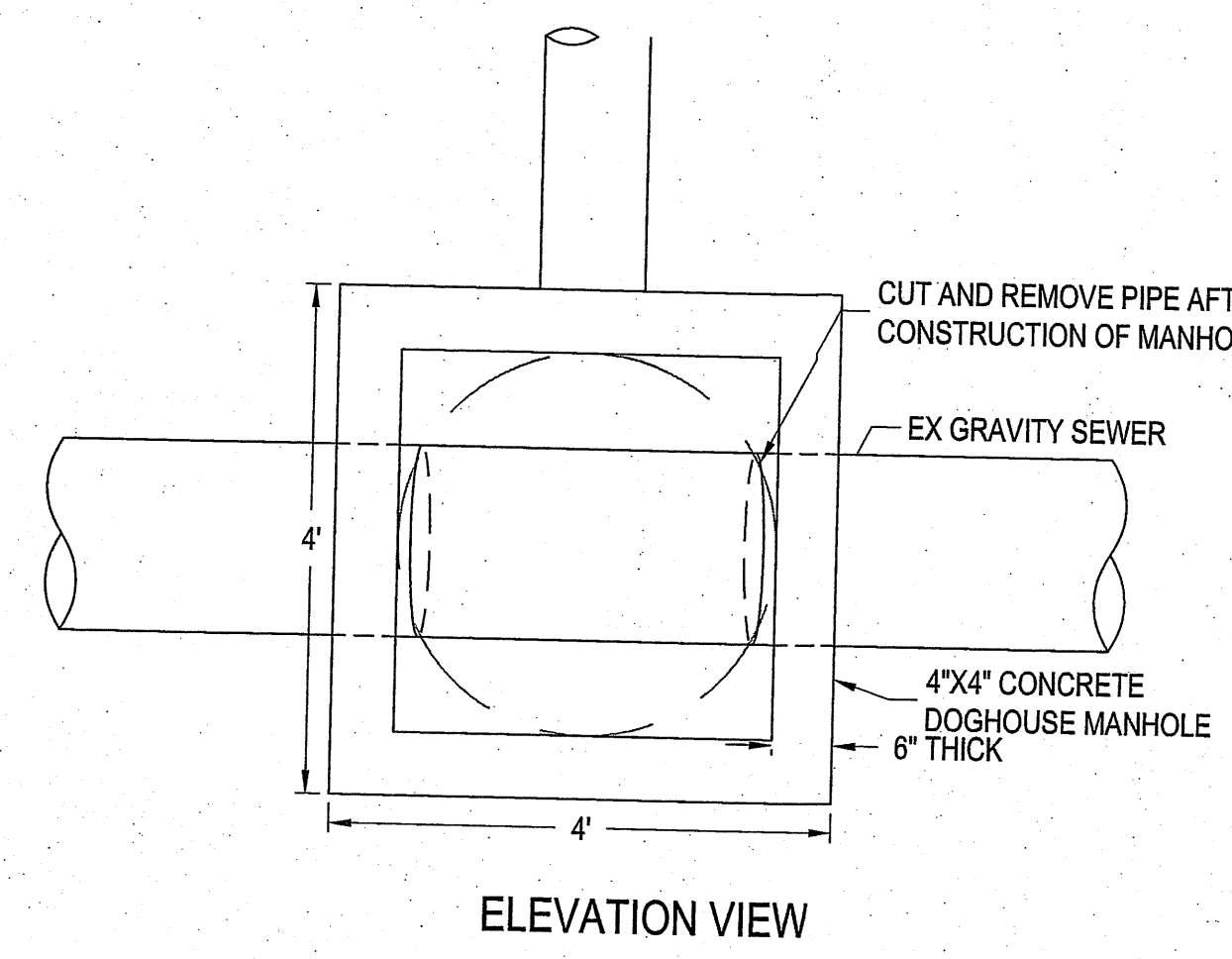


ALLOWABLE LOCATIONS  
 DUAL RAMP RADII.....ANY

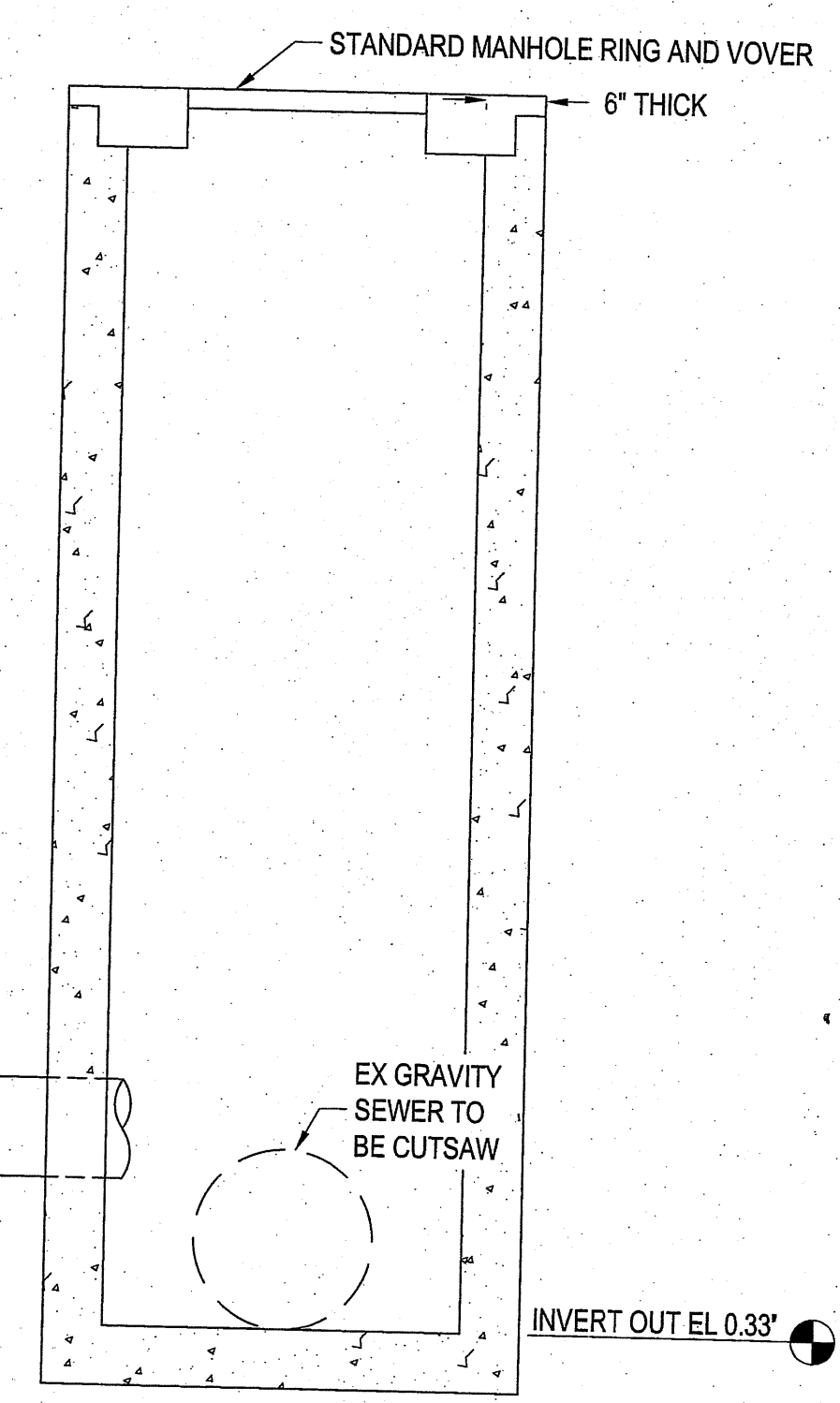
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 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CURB RAMP**  
 PROPOSED CURB AND GUTTER

SHEET 2 OF 3  
**848.05**

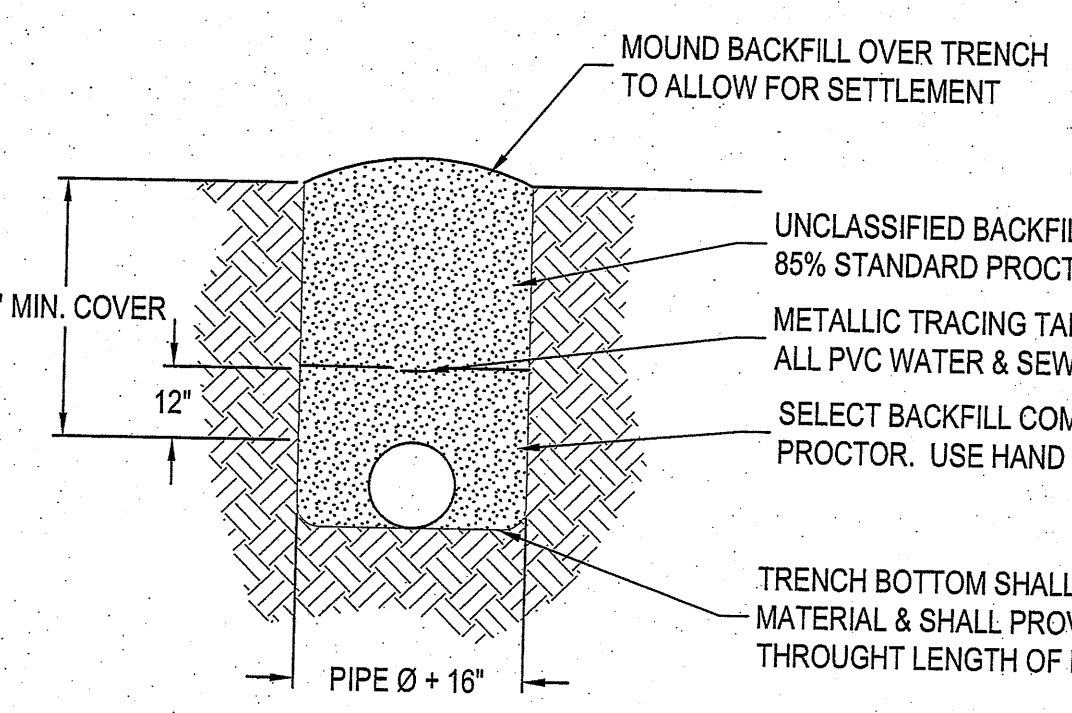


ELEVATION VIEW



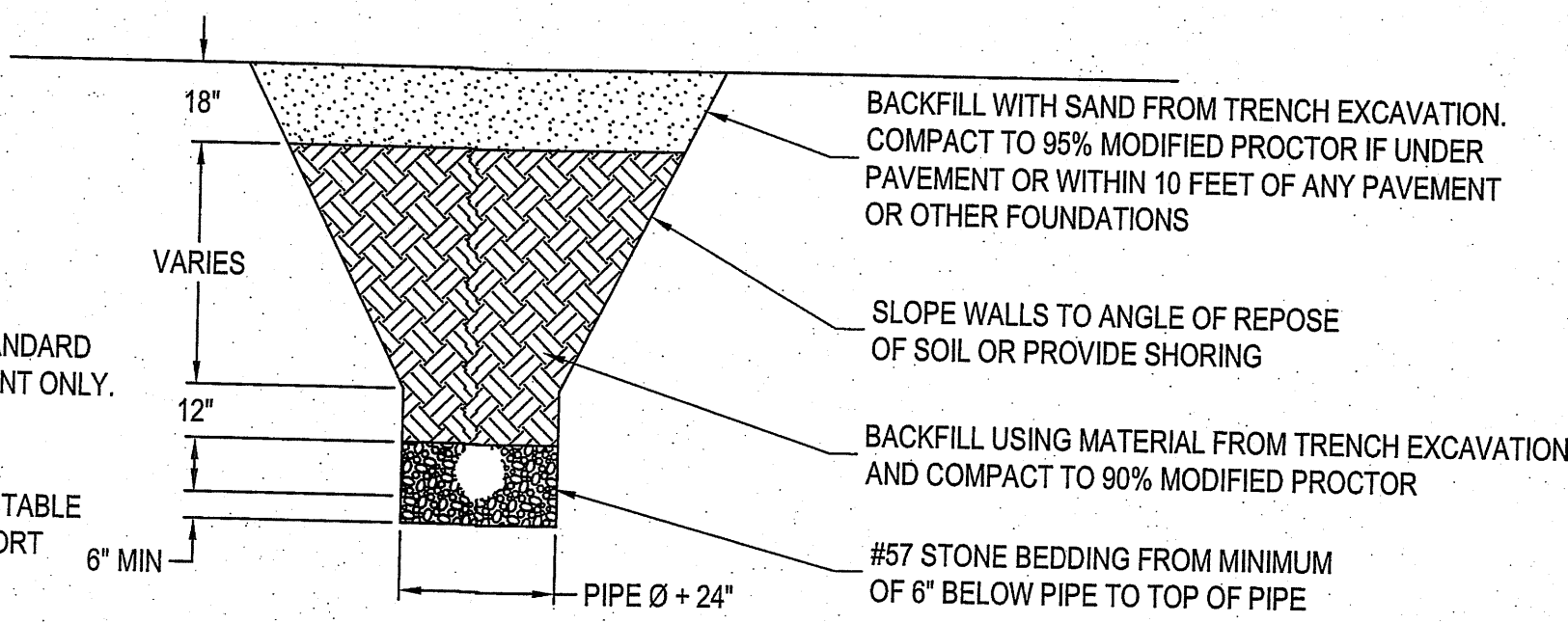
SECTION VIEW

DOG HOUSE DETAILS  
SCALE: 1"=1'-1/2"



PIPE TRENCH OUTSIDE PAVED AREA  
SCALE: NOT TO SCALE

NOTE: FOR MULTIPLE PIPES, PROVIDE 18" MINIMUM SEPARATION.



GRAVITY SEWER PIPE TRENCH DETAIL  
SCALE: NOT TO SCALE



April 30, 2021

Mr. Kyle Garner, Town Planner  
 Town of Beaufort  
 Planning and Inspections Department  
 701 Front Street  
 Beaufort, NC 28516

Phone: (252) 728-2142  
 Email: [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org)

**Re: *Front Street Village (19138)  
 Revision to PUD & Site Plan Submittal  
 Beaufort, North Carolina***

Dear Kyle:

On behalf of Front Street Village (FSV), please find enclosed the revised submittal documents for a modification to the current site plan approval for the transportation center and revision to the PUD for the development of 34 single-family lots for the referenced project. This submittal has been revised per the Town’s comments. The Owner is proposing modifications to the northern portion of the project.

The following revisions have been made based on the Town of Beaufort’s comments:

**PUD Modification Request/Zoning**

1. The Owner is requesting a zoning change from B-3 to R-8 for the expansion of the single family residential lots. The B-3 zoning originally included in portions of Phases II & III of the site which included parking and is now proposed as single family residential.
2. The Owner is requesting a reduction in the overall parking spaces to 398. The original PUD approval in 2008 included 631 spaces. This is a reduction of 233 parking spaces.
3. The Owner is requesting a reduction in the overall number of resort dwellings. If approved, there will only be seven (7) resort dwellings that are constructed south of Lennoxville Road. The approved PUD included 202 resort dwellings. This is a reduction of 195 resort dwellings.
4. The Owner is requesting an expansion of the original eleven (11) single family lots to a proposed thirty-four (34) single family lots, an increase of twenty-three (23) lots that were approved in the original 2008 PUD.
5. An Application for a Preliminary Subdivision Plat is included with this submittal.

**Revise Submitted Plans**

1. The title on Sheet C1 has been revised to “Front Street Village Transportation Center – Site Plan – Phase II with Preliminary Phase IV.”
2. The drawing title on Sheet C4 has been revised to Phase IV Preliminary Plat & Phase II – Site Plan – Transportation Center.



### **Preliminary Plat Revisions – Sheet C4**

1. The street names have been revised to “East Great Egret Way” and “Runway Road” and will remain private per the approved PUD.
2. Zoning has been labeled as R-8 for the single family lots.
3. Site calculations have been added to include the acreage in tract to be subdivided between lots 1 – 34 and the wetland area, total number of parcels created, and linear feet of the proposed streets.
4. A note has been added indicating that the street lights will be shoebox dark sky type.
5. The “Site Data Block” has been added to this sheet.
6. The seal of James W. Forman, Jr., P.E. has been added to this sheet and all applicable plan sheets.
7. The interior “B-1” zoning has been added to the site data block.
8. A concrete driveway approximately 20’ long and 18’ wide will be constructed for each residential unit.
9. Type of parking area surface has been added to the sheet.
10. No fire lanes are proposed in front of the transportation center.
11. Four (4) handicap parking spaces and dimensions have been added to the large parking lot south of the Transportation Center. In addition, there are twelve (12) handicap spaces located in the development south of Lennoxville Road.
12. The location of the loading/unloading zone has been added.
13. Access points for the transportation center have been added.
14. Traffic arrows for the streets and parking lot have been added.

### **Fire Department Comments**

1. The diameter of the cul-de-sac has been increased to 96’ in diameter.
2. The hammerhead roadway in front of the proposed Transportation Center is to be used to allow for truck access and turn-around.
3. The middle hydrant was mislabeled as existing and is currently shown as being proposed.

### **Town Engineer Comments**

1. Pervious pavement will be used in Transportation Center parking lot and all streets and sidewalks and has been designed to provide in-pavement storage capacity for the 1.5” designed rainfall. Overflow from the Transportation Center parking lot will be collected via catch basins and piped to the existing pipe network in Lennoxville Road. Runoff from the Transportation Center Building will be treated through a sand filter and piped to the Lennoxville Road pipe network.

The stormwater and grading plan proposed is shown as preliminary but meeting the State’s regulations. Final stormwater design will be completed once the Owner receives preliminary plat approval from the Town of Beaufort. A stormwater permit issued by the State of North Carolina will be applied for prior to land disturbing activities.

Preliminary runoff calculations are provided with this submittal for the three (3) drainage areas including the existing conditions and post-construction conditions. The use of pervious pavements will allow water to infiltrate into the ground and runoff from the houses will be directed towards the pervious pavement. Proposed contours are now shown on the plan and runoff from the site will not be directed towards neighboring properties.

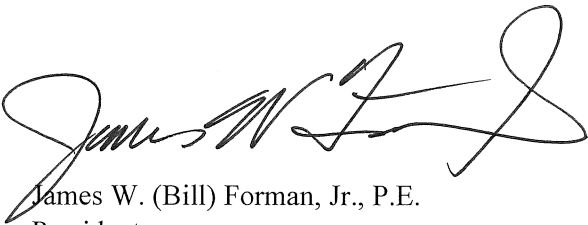
Ms. Kyle Garner  
Front Street Village (19138)  
Revision to PUD and Site Plan Submittal  
Beaufort, North Carolina

April 30, 2021  
Page 3 of 3

2. Sewer Allocation. Per the Second Amendment to Preannexation, Infrastructure, and Reimbursement Agreement and Agreement Relating to Preannexation, Infrastructure, and Reimbursement Agreement between the Town of Beaufort and Blue Treasure, LLC and Front Street Village, a total of 324,000 gallons per day of sewer would be allocated between the Blue Treasure development and Front Street Village. 115,668 gallons per day would be allocated to Front Street Village as stated in the Amendment. The cumulative total proposed wastewater flow for Front Street Village with this submittal is 53,233 gallons per day prior to any flow reduction factors being included. The wastewater flow estimate spreadsheet is included with this submittal.
3. Proposed contours are now shown on Sheet C5 – Grading Plan.
4. East Great Egret Way and Runway Road will remain private. The streets will have a width of 18’ with a 42’ right-of-way per the approved PUD in 2008.
5. A doghouse manhole detail has been included with the plans.
6. Water & sewer main trench details have been included with the plans.
7. ADA ramps have been added on either side of the intersection between East Egret Way and Runway Road.
8. Sheet C12 – Dimension Plan has been revised.

We appreciate your review of the enclosed documents at your earliest possible convenience. If you have any questions or need additional information concerning this submittal, please give me a call.

Sincerely,  
**ARENDELL ENGINEERS**



James W. (Bill) Forman, Jr., P.E.  
President

Attachments

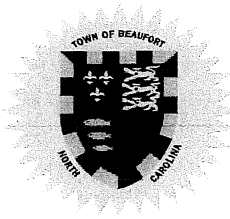
CC: Bucky Oliver, Front Street Village, LLC

ALLOCATED WASTEWATER FLOWS USED AS OF APRIL 30, 2021 <sup>(1)</sup>												
Facility	Wastewater Flows <sup>(1)</sup>	Units	Wastewater Flows		Phase 1 Flows	Phase 2A Flows	Phase 2B Flows	Phase 2C Flows	Phase 2D Flows	Phase 2E Flows	Phase 3A Flows	Phase 4 Flows
			gpd	Total								
<b>PHASES 1, 2, 3 &amp; 4</b>												
<b>Phase 1</b>												
<u>Boat Storage #1</u>												
Dry Storage - 213 slips w/o bathhouse	10 gpd/slip	213	10	2130	2130							
Boat House - 8 employees	25 gpd/employee/shift	8	25	200	200							
<u>Boat House</u>												
Convenience Store w/o food prep	250 gpd / plumbing fixture	9	250	2250	2250							
Caterers Kitchen - 455 s.f.	50 gpd / 100 s.f. of floor space	4.55	50	228	228							
Meeting Room & Covered Porch - 150 seats	Banquet Dining Hall - 30 gal/seat	150	30	4500	4500							
<b>Phase 1 Total Flow (gpd)</b>					<b>9,308</b>							
<b>Phase 2A</b>												
<u>Pool</u> - Pool users from Inn counted in Inn flows, Users from Marina Club <sup>(2)</sup>	10 gpd/person	20	10	200		200						
<u>Marina Slips</u>												
20 Full Service Slips	10 gpd/slip w/o bathhouse	20	10	200		200						
<u>Residential units</u>												
1000A 2 BR Unit	120 gpd/bedroom	2	120	240		240						
1000B 3 BR Unit	120 gpd/bedroom	3	120	360		360						
1001A 2BR Unit	120 gpd/bedroom	2	120	240		240						
1001B 3BR Unit	120 gpd/bedroom	3	120	360		360						
1002A 2BR Unit	120 gpd/bedroom	2	120	240		240						
1007A 2BR Unit	120 gpd/bedroom	2	120	240		240						
1007B 3BR Unit	120 gpd/bedroom	3	120	360		360						
<b>Phase 2A Total Flow (gpd)</b>					<b>2,440</b>							
<b>ALLOCATED WASTEWATER FLOWS REMAINING TO BE USED</b>												
							<b>2,040</b>					
<b>PHASES 2B, 2C, 2D, 2E, 3A AND 4</b>												
<b>Phase 2B</b>												
<u>Bistro</u>												
<u>Meeting space</u>												
Multi Purpose 1208 s.f.												
Ball Room 4673 s.f.												
Board Room 320 s.f.												
Total Meeting Space 6201 s.f.	5gpd/person	620	5	3,100			3,100					
Rooms, 4	120 gpd/room	4	120	480			480					
Offices - 10 employees	25 gpd/day/employee	10	25	250			250					
<u>Food &amp; Drink Facilities</u>												
Bar - 55 seats	20 gal/seat	55	20	1,100			1,100					
Restaurant - 146 seats	40 gal/seat	146	40	5,840			5,840					
Employees - 12	25 gpd/day/employee	12	25	300			300					
<u>Transportation &amp; Welcome Center</u>												
Reception Area & warehouse - 10 employees/shift	25 gpd/employee	10	25	250			250					
Golf cart barn - 10 employees	25 gpd/day/employee	10	25	250			250					
<b>Phase 2B Total Flow (gpd)</b>					<b>11,570</b>							
<b>Phase 2C</b>												
<u>Guest Wing</u>												
Rooms, 129	120 gpd/room	129	120	15,480				15,480				
Employees, maximum shift - 9 employees	25 gal/employee/shift	9	25	225				225				
<b>Phase 2C Total Flow (gpd)</b>					<b>15,705</b>							
<b>Phase 2D Multi-Family - Deleted from Project</b>												
<b>Phase 2D Total Flow (gpd)</b>					<b>0</b>							
<b>Phase 2E</b>												
<u>Residential units</u>												
1005A-2-BR Unit	120 gpd/bedroom	0	120	0								0
1005B-3-BR Unit	120 gpd/bedroom	0	120	0								0
1007A-2-BR Unit	120 gpd/bedroom	0	120	0								0
1007B-3-BR Unit	120 gpd/bedroom	0	120	0								0
1009A-2-BR Unit	120 gpd/bedroom	0	120	0								0
1009B-3-BR Unit	120 gpd/bedroom	0	120	0								0
1011A-2-BR Unit	120 gpd/bedroom	0	120	0								0
1011B-3-BR Unit	120 gpd/bedroom	0	120	0								0
1032-2BR-Unit	120 gpd/bedroom	0	120	0								0
1034A-2BR-Unit	120 gpd/bedroom	0	120	0								0
1034B-3-BR Unit	120 gpd/bedroom	0	120	0								0
<b>Phase 2E Total Flow (gpd)</b>					<b>0</b>							
<b>Phase 3A</b>												
<u>Boat Storage</u>												
Phase 3 - Dry stack - 237 boats	10 gpd/slip w/o bathhouse	237	10	2,370								2,370
<b>Phase 3A Total Flow (gpd)</b>					<b>2,370</b>							
<b>Phase 4</b>												
<u>Residential</u>												
82-1,600-SF-2-BR-units	120-gpd/bedroom	0	120	0								0
<u>Community Center</u>												
Public Bathrooms	325-gpd/fixture	0	325	0								0
<u>Residential - Single Family</u>												
Single family 34-3 BR units	360 gpd/unit	34	360	12,240								12,240
<b>Phase 4 Total Flow (gpd)</b>					<b>12,240</b>							
<b>PHASE TOTALS (gpd) <sup>(1)</sup></b>					<b>9,308</b>	<b>2,440</b>	<b>11,570</b>	<b>15,705</b>	<b>0</b>	<b>0</b>	<b>2,370</b>	<b>12,240</b>
<b>CUMMULATIVE PHASE TOTAL (gpd)<sup>(1)</sup></b>					<b>9,308</b>	<b>11,748</b>	<b>23,318</b>	<b>39,023</b>	<b>39,023</b>	<b>39,023</b>	<b>41,393</b>	<b>53,633</b>
<b>PHASE TOTALS WITH 33% FLOW REDUCTION (gpd)<sup>(2)</sup></b>					<b>6,204</b>	<b>1,627</b>	<b>7,713</b>	<b>10,469</b>	<b>0</b>	<b>0</b>	<b>1,580</b>	<b>8,159</b>
<b>CUMMULATIVE PHASE TOTAL W/33% REDUCTION <sup>(2)</sup></b>					<b>6,204</b>	<b>7,831</b>	<b>15,543</b>	<b>26,012</b>	<b>26,012</b>	<b>26,012</b>	<b>27,592</b>	<b>35,751</b>
<b>TOTAL FLOW TO LIFT STATION #1</b>					<b>9,508</b>							
<b>TOTAL FLOW TO LIFT STATION #2</b>					<b>15,905</b>							
<b>TOTAL FLOW TO LIFT STATION #3</b>					<b>31,685</b>							
<b>PROJECT TOTAL (gpd) <sup>(1)</sup></b>					<b>53,633</b>							
<b>PROJECT TOTAL WITH 33% FLOW REDUCTION (gpd) <sup>(2)</sup></b>					<b>35,755</b>							

<sup>(1)</sup> Wastewater flows in accordance with NCAC 15A 02T .0114

<sup>(2)</sup> 33% flow reduction achieved by use of flow reducing fixtures throughout the project

<sup>(3)</sup> Used allocation defined as use for facilities constructed, under construction, and proposed facilities.



**APPLICATION FOR A PRELIMINARY SUBDIVISION PLAT**

**Instructions:**

Please complete the form below and include all required attachments, including the \$250.00 application fee and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed but will be returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

**APPLICANT INFORMATION**

Applicant Name: FRONT STREET VILLAGE LLC

Applicant Address: 2400 LENNOXVILLE ROAD

Phone Number: 919-349-5588 Email: BUCKY@JETCRAFT.COM

Property Owner Name: FRONT STREET VILLAGE LLC

Address of Property Owner: 2400 LENNOXVILLE ROAD

Phone Number: 919-349-5588 Email: BUCKY@JETCRAFT.COM

**PROPERTY INFORMATION**

Property Address: 2361 LENNOXVILLE ROAD

15-Digit PIN #: 731505187915000, 731505187834000, Lot/Block #: 731505187504000, 731505185229000

Size of Property (in square feet or acres): 16.20 Current Zoning: PUD

[Signature]  
Applicant Signature \_\_\_\_\_ Date of Signature \_\_\_\_\_

Property Owner Signature (if different than above) \_\_\_\_\_ Date of Signature \_\_\_\_\_

An application fee of **\$250.00**, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials must be received by Town Staff at least 15 working days prior to a regularly scheduled Planning Board meeting date.

Please refer to the Town's **Subdivision Ordinance**, and all other pertinent sections of the Ordinance for the information required to accompany this application. We require one digital/electronic copy and one paper copy of any plans submitted for the preliminary plat  
The Town's website address is [www.beaufortnc.org](http://www.beaufortnc.org).

OFFICE USE ONLY Revised 8/2020

Date: \_\_\_\_\_  
Received by: \_\_\_\_\_

Reviewed for Completeness By: \_\_\_\_\_  
Date Deemed Complete and Accepted: \_\_\_\_\_



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, June 21, 2021 – Virtual Meeting via Zoom**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Final Plat – Palmetto Plantation @ Olde Beaufort Village,  
Phase 2

**BRIEF SUMMARY:**

The applicant wishes to subdivide a 1.11 Acre Tract into 4 Lots Single-Family. Sewer allocation, Bond & recreation Fee Information ins included in the Staff Report for this project. In addition to Planning Staff the applicants Engineer will also be available to answer questions regarding the proposed infrastructure.

**REQUESTED ACTION:**

Recommendation to Board of Commissioners

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director

**BUDGET AMENDMENT REQUIRED:**

N/A



# STAFF REPORT



**To:** Planning Board Members  
**From:** Kyle Garner, AICP, Town Planner  
**Date:** June 4, 2021  
**Case No.** 21-19 Palmetto Plantation @ Olde Beaufort Village, Phase 2 – Final Plat

**THE QUESTION:** Subdivide a 1.11 acre tract into 4 Single-Family Residential Lots.

**BACKGROUND:** The preliminary plat for this area was approved in July 2018 for installation of infrastructure improvements.

Location: Professional Park Drive  
 Owners: Mercer building & Design, Inc.  
 Requested Action: Subdivide a 1.11 Acre Tract into 4 Lots  
 Existing Zoning: RS-5  
 Size: 1.11 acres  
 Amount of Open Space: 0.00 Acres  
 Existing Land Use: Undeveloped

- SPECIAL INFORMATION:**
- As part of the Final Plat process the infrastructure can be either installed or bonded through a financial guarantee process to ensure completion of the project. The applicant has chosen to request to bond the infrastructure improvement and has submitted cost estimates for the complete cost of improvements totaling \$70,656.67 (See estimated cost of improvement sheet from engineer).
  - No sewer allocation request is being made for this project due to its approval prior to the January 11, 2021 Wastewater Allocation Policy’s adoption by the Board of Commissioners.
  - Since this project is part of a subdivision recreation fees will be required in the amount of \$ 806.40.

**Public Utilities:**  
 Water: Town Of Beaufort  
 Sanitary Sewer: Town Of Beaufort

Case No.: 21-19  
Location: Professional Park Drive

Page: 1

**OPTIONS:**

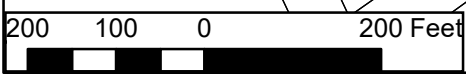
1. Recommend approval the Final Plat for Palmetto Plantation @ Olde Beaufort Village, Phase 2
2. Recommend approval the Bond Request for Palmetto Plantation @ Olde Beaufort Village, Phase 2
3. Deny the request

**Attachments:**

- Attachment A - Vicinity Map
- Attachment B - Final Plat for Palmetto Plantation @ Olde Beaufort Village, Phase 2
- Attachment C - Bond Estimates
- Attachment D – Approved Preliminary Plat for Palmetto Plantation @ Olde Beaufort Village, Phase 2

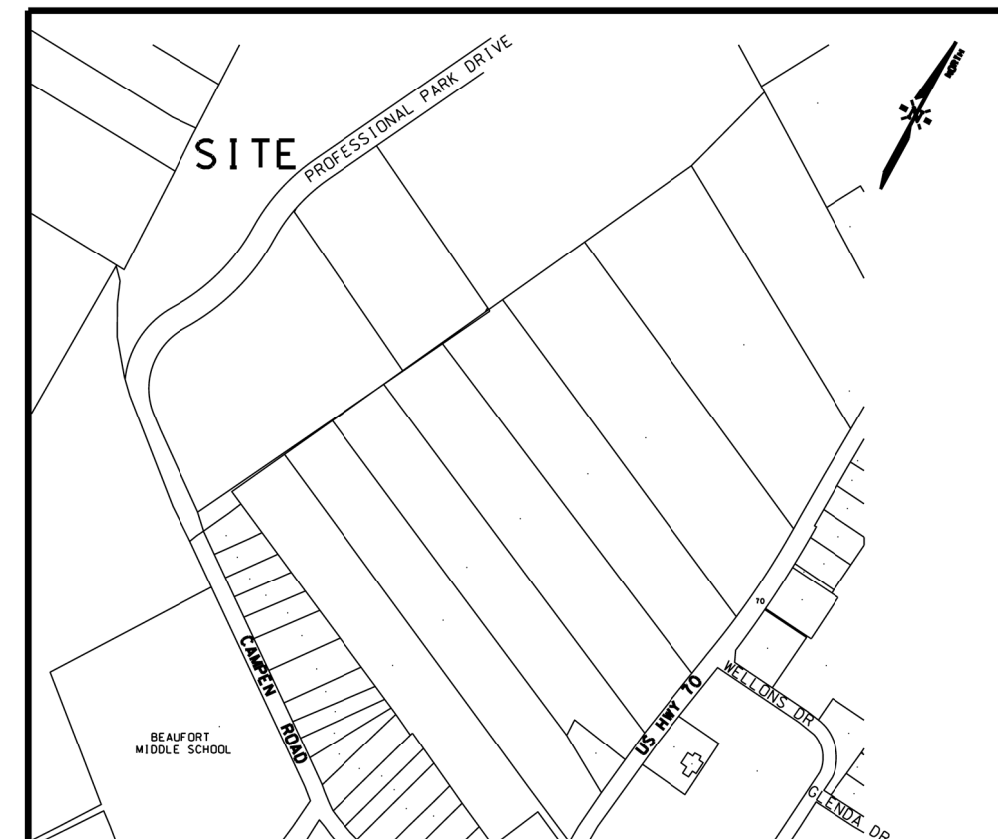
# Case 21-19 Final Plat - Vicinity Map for Palmetto Plantation@ OBV Ph. 2

3.



104





VICINITY MAP: BEAUFORT, NC  
NOT TO SCALE

- NOTES:
- 1) AREA BY COORDINATES.
  - 2) NO UTILITIES LOCATED OR SHOWN.
  - 3) 5/8" IRON RODS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
  - 4) NO GEODETIC CONTROL WITHIN 2000 FEET.
  - 5) 10 FOOT UTILITY EASEMENT ALONG THE RIGHT OF WAY OF ALL LOTS.

CURVE DATA				
#	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	450.00	45.98	45.96	S38°05'46"E
C2	400.00	22.85	22.85	S36°48'21"E

SETBACKS  
FRONT = 20'  
SIDE = 5'  
REAR = 15'  
CORNER SIDE = 10'

SITE DATA  
NUMBER OF LOTS = 4  
SMALLEST LOT AREA = 7,625.49 S.F.  
AVERAGE LOT AREA = 9,900.22 S.F.  
TOTAL AREA OF LOTS 1-3 & 9 = 0.91 ACRES  
STORMWATER AND DRAINAGE EASEMENT AREA = 0.20 ACRES  
TOTAL TRACT AREA = 1.11 ACRES.

CERTIFICATION OF APPROVAL BY THE PLANNING BOARD  
The Beaufort Planning Board hereby approves this final plat for the Palmetto Plantation @ Olde Beaufort Village, Phase 2 lots 1-3 & 9 subdivision.

DATE \_\_\_\_\_  
Chairman, Beaufort Planning Board \_\_\_\_\_

CERTIFICATE OF APPROVAL OF THE DESIGN AND INSTALLATION OF STREETS, UTILITIES, AND OTHER REQUIRED IMPROVEMENTS

I HEREBY CERTIFY THAT ALL STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE TOWN OF BEAUFORT'S SPECIFICATIONS AND STANDARDS FOR PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE PHASE 2 LOTS 1-3 & 9 THAT GUARANTEES THE INSTALLATION OF THE REQUIRED IMPROVEMENTS IN AN AMOUNT AND MANNER SATISFACTORY TO THE TOWN OF BEAUFORT HAVE BEEN RECEIVED AND THAT THE FILING FEE FOR THIS PLAT IN THE AMOUNT OF \$\_\_\_\_\_ HAS BEEN PAID.

DATE \_\_\_\_\_  
TOWN MANAGER \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, E. GLENN CORBETT, CERTIFY THAT THIS PLAT WAS DRAWN BY ME FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOKS REFERENCED) THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOKS REFERENCED ON THE FACE OF THIS PLAT; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:1,100,000; THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH GS 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS 2ND DAY OF MAY A.D. 2019.

PROFESSIONAL LAND SURVEYOR L-3407

**SURVEYOR'S CERTIFICATE OF PURPOSE OF PLAT**

I, E. GLENN CORBETT, CERTIFY THAT THIS PLAT CREATES A SUBDIVISION OF LAND WITHIN THE TOWN OF BEAUFORT AND THAT THE TOWN OF BEAUFORT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

PROFESSIONAL LAND SURVEYOR  
LICENSE NUMBER L-3407

**LOT AREAS**

LOT 1 = 11,317.84 SF  
LOT 2 = 9,696.79 SF  
LOT 3 = 10,960.76 SF  
LOT 9 = 7,625.49 SF

REVISIONS:			
No.	BY	DATE	DESCRIPTION

REFERENCES:  
OWNER: N/F MERCER BUILDING & DESIGN, INC.  
D.B. 843 PG. 362  
NCPIN 730612765951000

FINAL PLAT  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
LOTS 1-3, & 9  
BEAUFORT TOWNSHIP, CARTERET COUNTY, NORTH CAROLINA

CLIENT: MERCER BUILDING & DESIGN, INC. SURVEYED: JH 05/02/21  
DRAWN:  
ADDRESS: 106-C PROFESSIONAL PARK DRIVE BEAUFORT, NC 28516 EGC  
PHONE: (252) 728-6636 APPROVED:

**THE CULLIPHER GROUP, P.A.** C-4482  
ENGINEERING & SURVEYING SERVICES  
DATE: 05/25/21  
SCALE: 1" = 30'

151-A NC HIGHWAY 24  
MOREHEAD CITY, NC 28557  
(252) 773-0090  
PRELIMINARY FOR REVIEW ONLY  
**E. GLENN CORBETT, P.L.S.**

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF BEAUFORT AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER, STORM SEWER AND WATER LINES TO THE TOWN OF BEAUFORT.

DATE \_\_\_\_\_

OWNER \_\_\_\_\_

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATION AS PART OF PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, FOR BEAUFORT, NORTH CAROLINA, AND THAT THIS PLAT HAS BEEN APPROVED BY THE BOARD OF COMMISSIONERS FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF CARTERET COUNTY.

DATE \_\_\_\_\_

TOWN CLERK OF BEAUFORT \_\_\_\_\_

**REVIEW OFFICER CERTIFICATION**

STATE OF NORTH CAROLINA

I, \_\_\_\_\_, REVIEW OFFICER OF CARTERET COUNTY CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

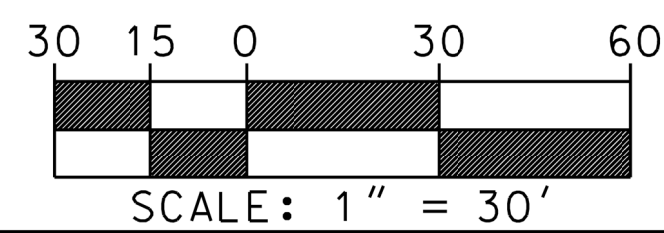
**REGISTER OF DEEDS CERTIFICATE**

FILED FOR REGISTRATION AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.  
RECORDED IN MAP BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
KAREN S. HARDESTY, REGISTER OF DEEDS

BY: \_\_\_\_\_ ASSISTANT DEPUTY

**LEGEND**

EIR	EXISTING IRON ROD
EIP	EXISTING IRON PIPE
EPK	EXISTING P/NAIL
ECM	EXISTING CONC. MON.
ERS	EXISTING E/P SPIKE
SIR	SET IRON ROD
CP	CALCULATED POINT
MHW	MEAN HIGH WATER
NW	NW OR FORMERLY
MB	MAP BOOK
DB	DEED BOOK
PC	PAGE
PP	POWER POLE
LP	LIGHT POLE
OE	OVERHEAD ELECTRIC
ELEC	ELECTRICAL PEDESTAL
TRANS	ELEC. TRANSFORMER
TEL	TELEPHONE PEDESTAL
TV	CABLE TV PEDESTAL
WM	WATER METER
CD	CLEAN OUT





### APPLICATION FOR A FINAL SUBDIVISION PLAT

#### Instructions:

Please complete the form below and include all required attachments, including the **\$250.00 application fee** and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed but **will be** returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

#### APPLICANT INFORMATION

Applicant Name: Mercer Building & Design, Inc

Applicant Address: 106-C Professional Park Drive, Beaufort, NC 28516

Phone Number: (252) 728-6636

Email: garym@mercerrealtyinc.com

Property Owner Name: Same

Address of Property Owner: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Email: \_\_\_\_\_

#### PROPERTY INFORMATION

Property Address: Not Listed

15-Digit PIN: 730612765951000

Lot/Block Number: \_\_\_\_\_

Size of Property (in square feet or acres): 1.11 acres

Current Zoning: RS-5

Applicant Signature \_\_\_\_\_

Gary A. Mercer, President  
Property Owner Signature (if different than applicant)

Date of Applicant's Signature \_\_\_\_\_

05-26-2021  
Date of Owner's Signature

An application fee of \$250, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials must be received by Town Staff at least 15 business days prior to a Planning Board scheduled meeting date.

Please refer to the Town's **Subdivision Ordinance**, and all other pertinent sections in the Ordinance for the information required to accompany this application. We require an electronic/ digital copy on one printed copy of any plans submitted for the final plat.

The Town's website address is [www.beaufortnc.org](http://www.beaufortnc.org).

#### OFFICE USE ONLY

Revised 08/2020

Date: \_\_\_\_\_

Reviewed for Completeness By: \_\_\_\_\_

Received by: \_\_\_\_\_

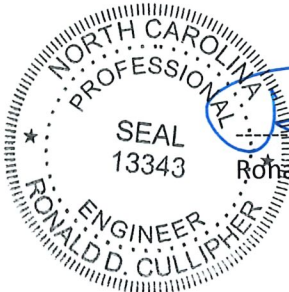
Date Deemed Complete and Accepted: \_\_\_\_\_



**THE CULLIPHER GROUP, P.A.**  
**ENGINEERING & SURVEYING SERVICES**

SURETY COST ESTIMATE  
PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE  
PHASE 2 LOTS 1-3 & 9

I.	WATER DISTRIBUTION SYSTEM		
	A. 6" PVC WATER	190 LF @ \$17.50/LF	\$3325.00
	B. FIRE HYDRANT ASSEMBLE	1 EA @ \$5500.00 EA	\$5500.00
	C. 2" TEMPORARY BLOW OFF	1 EA @ \$1500.00	\$1500.00
	D. WATER SERVICES	3 EA @ \$700.00	<u>\$2100.00</u>
		SUBTOTAL 1	\$12425.00
II.	SEWER COLLECTION SYSTEM		
	A. SEWER SERVICE	1 EA @ \$425.00/EA	\$ 425.00
III.	ROADWAY AND DRAINAGE		
	A. CATCH BASINS	3 EA @ \$1750.00 EA	\$5250.00
	B. DROP INLET	1 EA @ \$1500.00 EA	\$1500.00
	C. 15" RCP	187 LF @ \$27.00/LF	\$5049.00
	D. 24" RCP	187 LF @ \$43.00/LF	\$8041.00
	E. 5' SIDEWALKS	430 LF @ \$20.00/LF	\$8600.00
	F. 24" C&G	430 LF @ \$17.00/LF	\$7310.00
	G. SELECT FILL	380 CY @ \$12.00/CY	\$4560.00
	H. 6" STONE BASE	500 SY @ \$13.50/SY	\$6750.00
	I. 2" ASPHALT	500 SY @ \$16.50/SY	\$8250.00
	J. SEEDING	1 AC @ \$2500.00/AC	<u>\$2500.00</u>
		SUBTOTAL III.	\$57810.00
		SUBTOTAL I,II,III	\$70660.00
		SURETY MARKUP 25%	<u>\$17665.00</u>
		TOTAL	\$88325.00



*Ronald D. Cullipher*  
Ronald D. Cullipher, P.E.

*6/1/21*  
Date

**HESTRON PLAZA TWO**  
**151-A NC HWY 24**  
**MOREHEAD CITY, NC 28557**  
**(252) 773-0090**

# BOND ESTIMATE



Town of Beaufort  
701 Front Street  
Beaufort, NC 28516  
(252) 728-2141  
www.beaufortnc.org

PROJECT NAME:	PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE PH2 LOTS 1-3,9
OWNER:	MERCER BUILDING AND DESIGN INC
ENGINEER:	THE CULLIPHER GROUP, PA
ENGINEER PHONE NO.:	252-773-0090
ENGINEER EMAIL:	ron@tcgpa.com
DATE:	6/1/2021

**UNLESS OTHERWISE SPECIFIED ALL BONDS ARE FOR THE BODY OF THE PLAT**

## SIGNATURE AND SEAL OF SUBMITTING ENGINEER



I, Ronald D Cullipher a Registered Licensed Professional, do hereby verify that I have personally supervised the measurement thereof and that the quantities expressed herein represent an accurate measurement of the work to be completed on this project. This bond estimate covers all the infrastructure improvements on the project referenced above.

*Please sign below*

Ronald D Cullipher 6/1/21

STREET PAVEMENT	LINEAR FEET:	WIDTH:	UNIT COST (Dollars/SY)	TOTAL:
Final Asphalt Surface Course				\$ -
Initial Asphalt Surface Course				\$ -
Asphalt Intermediate Course				\$ -
Asphalt Base Course	204.5	22	16.5	\$ 8,248.17
Aggregate Base Course	204.5	22	\$ 13.50	\$ 6,748.50
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ 14,996.67</b>

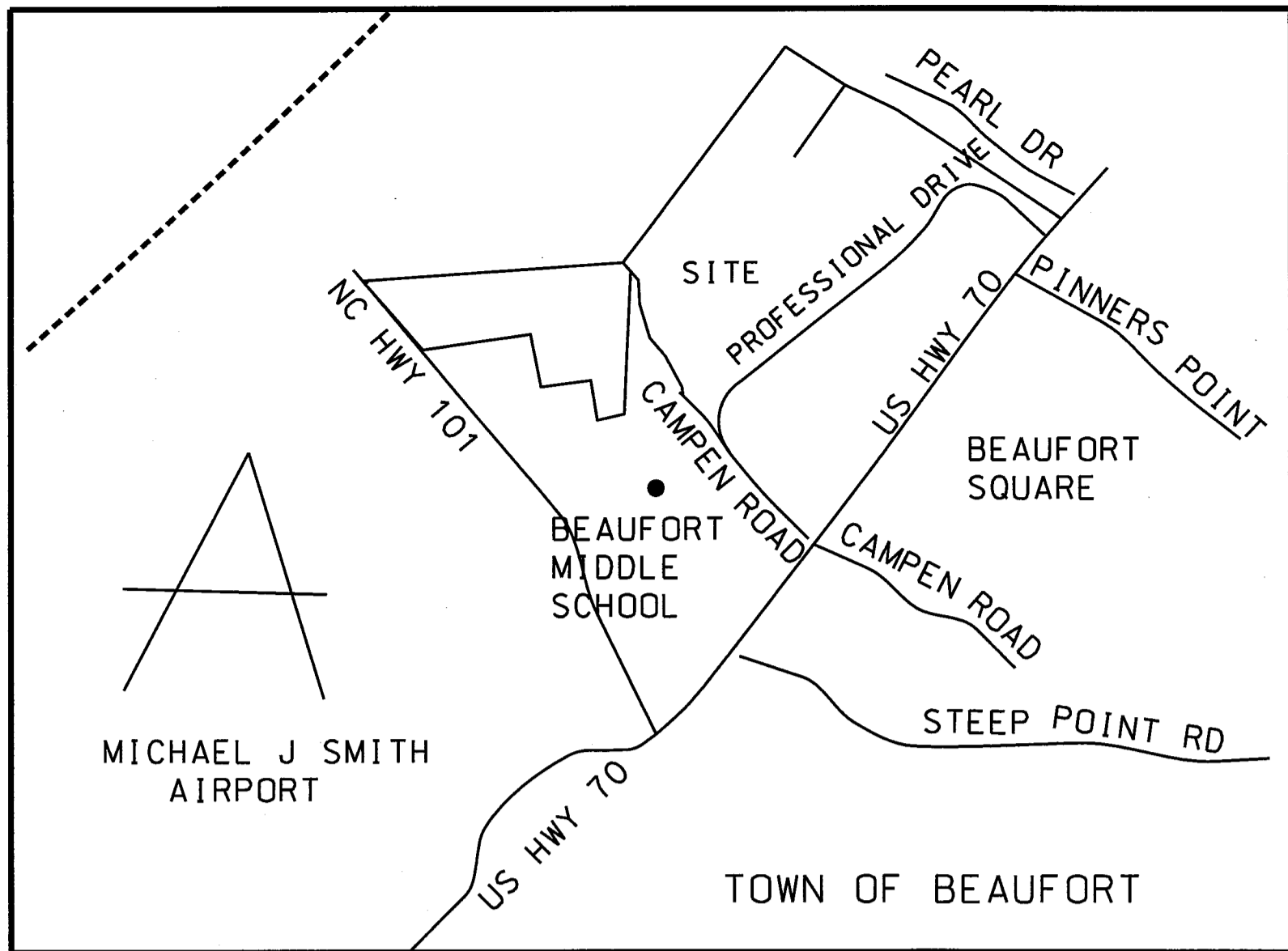
STREET INCIDENTALS	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
Street Signs		Each		\$ -
Street Trees (40' O.C.)		Each		\$ -
Street Lights		Each		\$ -
Pavement Striping		LF		\$ -
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ -</b>

CURBING & SIDEWALK:	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
2'-6" Standard Curb		LF		\$ -
2'-6" Rolled curb		LF		\$ -
4' Wide Sidewalk		LF		\$ -
5' Wide Sidewalk	430	LF	\$ 20.00	\$ 8,600.00
Driveway Aprons		Each		\$ -
Handicap Ramp		Each		\$ -
24" Rolled Curb	430	LF	\$ 17.00	\$ 7,310.00
				\$ -
			<b>Subtotal</b>	<b>\$ 15,910.00</b>

SANITARY SEWER	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
8" PVC Gravity Sewer		LF		\$ -
8" DIP Gravity Sewer		LF		\$ -
10" PVC Gravity Sewer		LF		\$ -
10" DIP Gravity Sewer		LF		\$ -
12" PVC Gravity Sewer		LF		\$ -
12" DIP Gravity Sewer		LF		\$ -
15" PVC Gravity Sewer		LF		\$ -
15" DIP Gravity Sewer		LF		\$ -
2" PVC Force Main		LF		\$ -
4" PVC Force Main		LF		\$ -
4" DIP Force Main		LF		\$ -
6" PVC Force Main		LF		\$ -
6" DIP Force Main		LF		\$ -
8" PVC Force Main		LF		\$ -
8" DIP Force Main		LF		\$ -
4'0" Dia. Manhole		LF		\$ -
5'0" Dia Manhole		LF		\$ -
Service Laterals, Main to Cleanout	1	Each	\$ 425.00	\$ 425.00
Pump Station		Lump Sum		\$ -
				\$ -
				\$ -
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ 425.00</b>

WATER	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
2" PVC Water Main		LF		\$ -
4" PVC Water Main		LF		\$ -
4" DIP Water Main		LF		\$ -
6" PVC Water Main	190	LF	\$ 17.50	\$ 3,325.00
6" DIP Water Main		LF		\$ -
8" PVC Water Main		LF		\$ -
8" DIP Water Main		LF		\$ -
10" PVC Water Main		LF		\$ -
10" DIP Water Main		LF		\$ -
12" PVC Water Main		LF		\$ -
12" DIP Water Main		LF		\$ -
2" Valve (includes Curb Box)		Each		\$ -
4" Valve (includes Curb Box)		Each		\$ -
6" Valve (includes Curb Box)		Each		\$ -
8" Valve (includes Curb Box)		Each		\$ -
10" Valve (includes Curb Box)		Each		\$ -
12" Valve (includes Curb Box)		Each		\$ -





VICINITY MAP: BEAUFORT, NC  
NOT TO SCALE

BOUNDARY CURVE DATA

R= 500.00 A= 135.43 CHD. DIST= 135.02 CHD. BRG= S47°10'08"W	R= 500.00 A= 153.66 CHD. DIST= 153.06 CHD. BRG= S52°11'08"W
R= 500.00 A= 97.28 CHD. DIST= 97.13 CHD. BRG= S33°58'36"W	R= 230.00 A= 79.77 CHD. DIST= 79.37 CHD. BRG= S51°03'16"W
R= 500.00 A= 131.98 CHD. DIST= 131.60 CHD. BRG= S35°49'11"W	

EASTBAY WAY  
CENTERLINE  
CURVE DATA

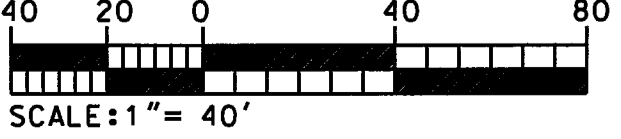
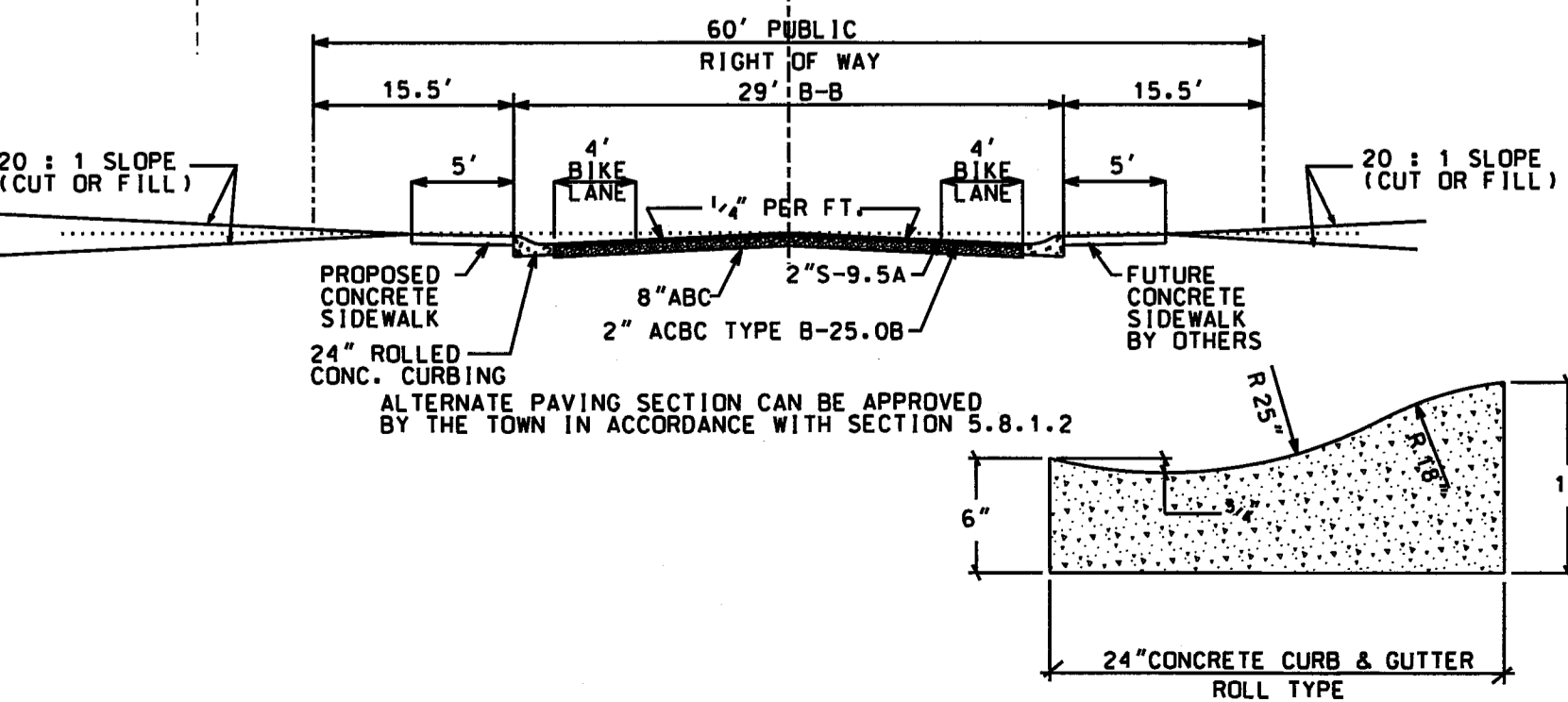
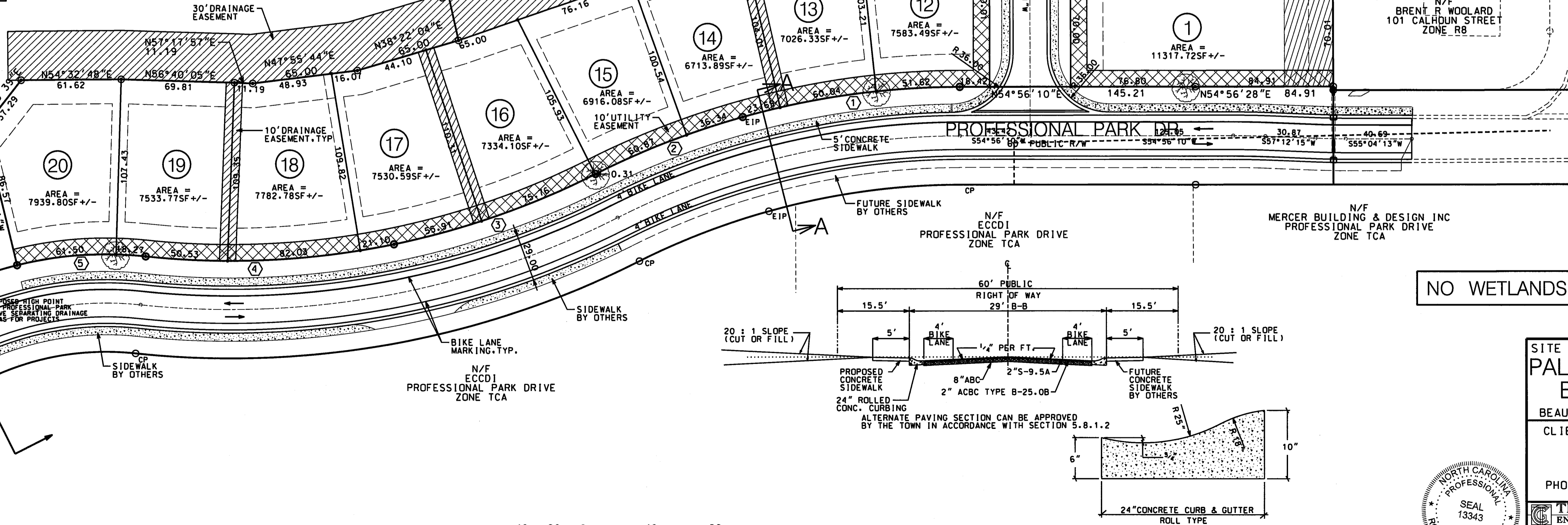
R= 425.00 A= 204.34 CHD. DIST= 202.38 CHD. BRG= N48°51'17"W
----------------------------------------------------------------------

**LEGEND**

A - ARC LENGTH	FT - FEET
AC - ACRE	GV - GATE VALVE
ABC - AGGREGATE BASE COURSE	INV - INVERT
BCSC - BITUMINOUS CONCRETE SURFACE COURSE	LF - LINEAR FOOT
BLDG - BUILDING	MAX - MAXIMUM
BRG - BEARING	MBL - MINIMUM BUILDING LINE
CB - CATCH BASIN	MIN - MINIMUM
CL - CUBIC FEET	N/F - NOW OR FORMERLY
CR - CENTERLINE	NTS - NOT TO SCALE
DR - DRIVE	D.C. - ON CENTER
DR - DROP INLET	R - RADIUS
EL - ELEVATION	RCP - REINFORCED CONCRETE PIPE
EIR - EX. IRON ROD	R/W - RIGHT-OF-WAY
EOP - EDGE OF PAVEMENT	SDMH - STORMWATER MANHOLE
EK - EXISTING	SH - SHEET
FE - FINISHED ELEVATION	SIR - SET IRON ROD
FF - FINISHED FLOOR	STA - STATION
FS - FINISHED SIDEWALK	TC - TOP OF CURB
FF - FINISHED FLOOR	TSW - TOP OF SIDEWALK
FF - FINISHED FLOOR	TYP - TYPICAL

**MERCER BUILDING & DESIGN INC.**  
106C PROFESSIONAL PARK DRIVE  
ZONE B-1

SILT FENCE	HANDICAP SPACE
LANDSCAPE POND FENCE	ROCK DOUGHNUT
STORMWATER/DRAINAGE EASEMENT	MEDIUM TREE (POST OAK)
UTILITY EASEMENT	
CONCRETE	
TRAFFIC FLOW	
FIRE HYDRANT	



PROFESSIONAL PARK DRIVE A-A  
SCALE: NOT TO SCALE  
NOTE: FOR EASTBAY WAY SEE DETAIL 1/7

**SITE DATA**

TOTAL TRACT AREA	8.24 ACRES
SINGLE FAMILY SUBDIVISION AREA	7.04 ACRES
TOTAL AREA W/ IN SINGLE FAMILY LOTS	4.48 ACRES
ZONE	RS-5
MAXIMUM 50' LOT COVERAGE	1.6
VARIABLE DENSITY FACTOR	0.18
ACREAGE AVERAGE PER LOT	0.22 ACRES
OPEN SPACE AREA	2.56 ACRES
AVERAGE FAMILY SIZE	2.01
REQUIRED RECREATIONAL SPACE	20x2.01x0.008x1.6 = 0.51 ACRES

PROF. PARK DRIVE	1.20 ACRES (AREA WITHIN R/W)
TOTAL NO. OF LOTS	20
TYPE OF LOTS	SINGLE FAMILY RESIDENTIAL
SMALLEST LOT SIZE	6713.89SF +/-
AVERAGE LOT SIZE	8252.79SF +/-
MAXIMUM BUILDING HEIGHT	35FT
LF IN STREETS	467.90LF
NEW STREET	
SETBACKS:	
FRONT	20.0'
R/W FRONT	20.0'
REAR	15.0'
SIDE	5.0'
STREET SIDE	10.0'

FLOOD ZONE X  
REF: FIRM COMMUNITY PLAN NO. 3720730600J  
EFFECTIVE DATE 7/16/13  
DEED BOOK/PAGE: 843/362  
PIN: 1306.12.76.9591

ADDITIONAL LANDSCAPING FOR DETENTION PONDS

- PER THE TOWN OF BEAUFORT'S LAND DEVELOPMENT ORDINANCE
- FENCING AROUND PONDS SHALL BE FOUR FEET (4') IN HEIGHT. IT SHALL BE STEEL OR ALUMINUM CHAIN LINK FENCE WITH BLACK OR GREEN VINYL COATING. ALL FENCES SHALL PROVIDE SECURABLE ENTRANCES/EXITS TO ALL OF THE SIDES OF THE FENCE. ACCESS FOR MAINTENANCE PERSONNEL AND EQUIPMENT AND TO PROVIDE FOR THE SAFETY OF CITIZENS.
  - LANDSCAPING REQUIREMENTS
    - SHRUBS REQUIRED EXCEPT FOR FENCE ENTRANCES, SHRUBS SHALL BE PROVIDED AROUND THE PERIMETER OF THE REQUIRED FENCE TO SCREEN THE PERIMETER OF THE POND. THE REQUIRED SHRUBS SHALL BE MAINTAINED AT A HEIGHT OF FOUR FEET (4'). THE PARTICULAR VARIETY OF SHRUB(S) TO BE USED TO SATISFY THIS REQUIREMENT SHOULD COME FROM THOSE LISTED AS TOLERANT OF WET CONDITIONS SHOWN IN THE TABLE ON THIS SHEET OR SHOULD OTHERWISE BE APPROVED IN WRITING BY THE TOWN.
    - TREES REQUIRED LARGE OR MEDIUM TREES SHALL BE PLACED OUTSIDE THE REQUIRED FENCING AT A RATE OF ONE PER FIFTY LINEAR FEET OF FENCING AROUND THE POND. THE PARTICULAR VARIETY OF LARGE OR MEDIUM TREE(S) TO BE USED TO SATISFY THIS REQUIREMENT SHOULD COME FROM THOSE LISTED AS TOLERANT OF WET CONDITIONS SHOWN IN THE TABLE ON THIS SHEET, OR SHOULD OTHERWISE BE APPROVED IN WRITING BY THE TOWN.

NOTES

- EXTERIOR LIGHTING TO BE PROVIDED AS REQUIRED
- ALL DRAINAGE AND UTILITY EASEMENTS, RIGHTS OF WAY AND FACILITIES BE DEDICATED AND RECORDED AT THE CARTERET COUNTY REGISTER OF DEEDS AS REQUIRED BY THE PUBLIC WORKS AND PUBLIC UTILITIES DEPARTMENTS.
- HYDRAULIC ANALYSIS PERFORMED ON EXISTING WATER SYSTEM BASED ON INFORMATION OBTAINED FROM THE TOWN OF BEAUFORT. FIRE FLOW DEMAND DOES NOT EXCEED THE AVAILABLE WATER SUPPLY & HYDRAULIC CONFORM TO THE TOWN OF BEAUFORT ISO STANDARDS. CLOSEST EXISTING HYDRANT LOCATED AT THE INTERSECTION OF CALHOUN AND PROFESSIONAL PARK DRIVE
- BOUNDARY, TOPOGRAPHICAL AND EXISTING FEATURES TAKEN FROM MAP PREPARED BY PHILIP A. COLLIER, PLS OF STROUD ENGINEERING, P.A., ENTITLED EAST CAROLINA COMMUNITY DEVELOPMENT INC. PROPERTY PROPOSED TRACTS A1 AND A2 DATED 11/3/14
- ALL STORMWATER FEATURES INCLUDING, STORM DRAINS, CATCH BASINS, DRAINAGE SWALES, DITCHES AND STORMWATER PONDS SHALL BE MANAGED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR ITS MAINTENANCE.

REVISIONS:

No.	BY	DATE	DESCRIPTION

**SITE & LANDSCAPE PLAN**  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA  
CLIENT: MERCER BUILDING & DESIGN, INC.  
106-C PROFESSIONAL PARK DRIVE  
BEAUFORT, NC 28516  
PHONE: (252) 728-6636

DESIGNED: RDC/GYT  
DRAWN: RDC/GYT  
CHECKED: RDC  
APPROVED: RDC

THE CULLIPHER GROUP, P.A.  
ENGINEERING & SURVEYING SERVICES  
191A HIGHWAY 24  
MOOREHEAD CITY, N.C. 28557  
(252) 573-0090 LICENSE NO. G-4482

DATE: 5/11/18  
SCALE: 1" = 40'

RONALD D. CULLIPHER P.E.

NOTE: ORIGINAL PLANS PREPARED BY STROUD ENGINEERING, P.A.

1/2 MILE FROM SA WATERS

CONCRETE PIPING SCHEDULE

PIPE	DIAMETER	LENGTH	%SLOPE
1*	15"	24'	0.25%
2	15"	136'	0.25%
3*	15"	24'	0.25%
4	15"	136'	0.25%
5*	15"	24'	0.25%
6	15"	104'	0.25%
7	15"	44'	0.25%
8	15"	128'	0.25%
9	15"	16'	0.25%
10	DUAL 15"	21'	0.25%
11	24"	188'	0.25%
12	15"	88'	0.25%
13	15"	76'	0.25%
14	18"	54'	0.25%
15	DUAL 24"	60'	1.60%

\*PIPES 1, 3 & 5 NOT IN CONTRACT

CATCH BASINS

CB	HOOD	INV
1*	11.69	9.23
2*	11.69	9.17
3*	12.21	9.75
4*	12.21	9.69
5*	12.50	10.04
6*	12.50	9.98
11	11.79	9.22
12	11.79	9.28
13	11.89	9.33
14	11.79	9.09
15	11.50	8.90

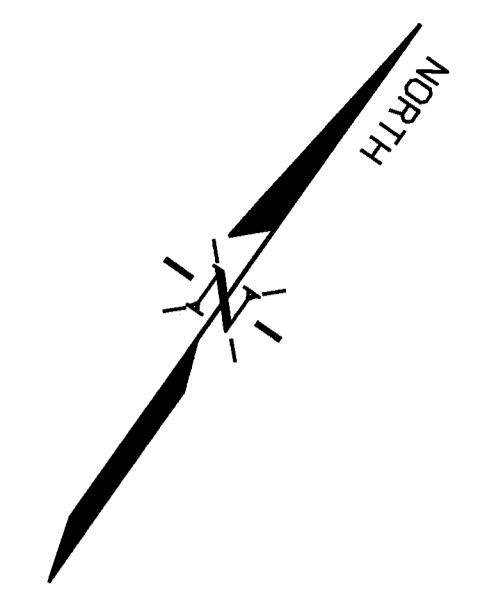
\*CATCH BASINS 1-6 NOT IN CONTRACT

DROP INLETS

DI	GRATE	INV
1	12.00	9.65
2	12.00	9.31

JUNCTION BOX

JB	RIM	INV
1	12.00	8.86



STORMWATER DATA

SUBDIVISION TRACT AREA = 7.04 +/- AC  
TRACT AREA WITHIN R/W = 1.2 +/- SF  
OFFSITE TRACT AREA = 2.16 +/- AC

DRAINAGE AREA #1

ONSITE DRAINAGE AREA = 276,762 SF (6.354AC)  
OFFSITE DRAINAGE AREA = 146,358 SF (3.360AC)

PROPOSED IMPERVIOUS

PALMETTO PLANTATION  
SIDEWALKS = 4,243 SF  
LOT BUA = 65,000 SF  
EASTBAY WAY = 17,458 SF  
SUBTOTAL = 86,701 SF

OUTPARCEL 1 = 47,000 SF

PROFESSIONAL PARK DRIVE  
SIDEWALKS = 4,581 SF  
ROAD = 21,252 SF  
SUBTOTAL = 25,833 SF

FUTURE MISCELLANEOUS = 46,634 SF

TOTAL = 211,560 SF

PROPOSED % IMPERVIOUS = 48.73%

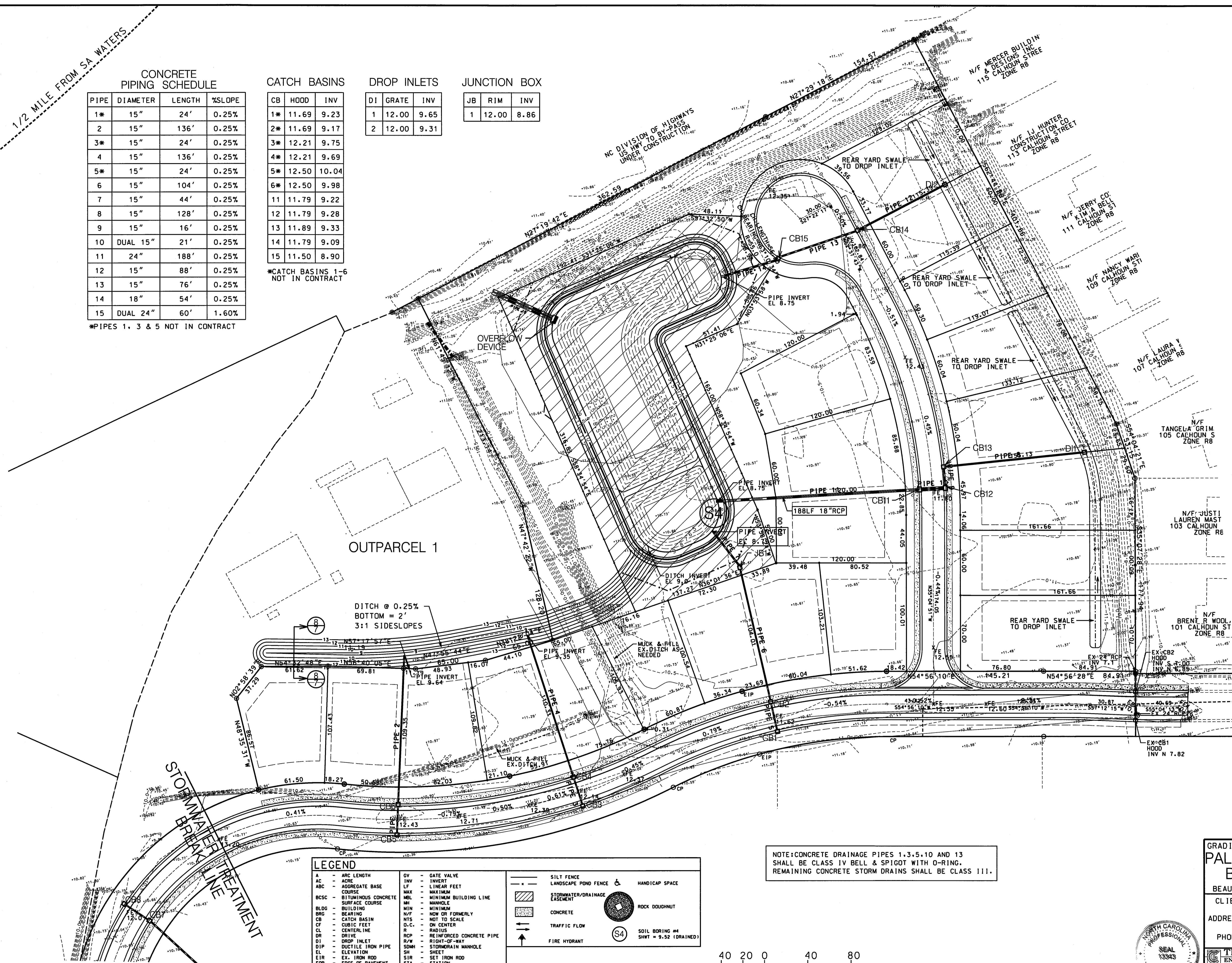
DRAINAGE AREA #2

OFFSITE DRAINAGE AREA = 30,000 SF (0.69AC)

PROPOSED IMPERVIOUS

PROFESSIONAL PARK DRIVE  
SIDEWALKS = 4,581 SF  
ROAD = 4,009 SF  
TOTAL = 5,392 SF

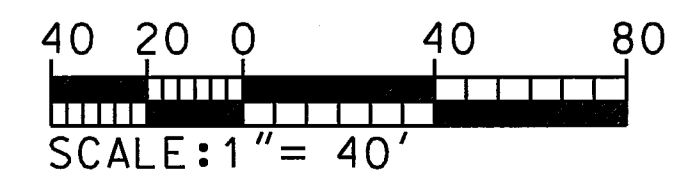
PROPOSED % IMPERVIOUS = 17.97%



LEGEND

A	- ARC LENGTH	GV	- GATE VALVE	SILT FENCE	- SILT FENCE
AC	- ACRE	INV	- INVERT	LANDSCAPE POND FENCE	- LANDSCAPE POND FENCE
ABC	- AGGREGATE BASE COURSE	LF	- LINEAR FEET	STORMWATER/DRAINAGE EASEMENT	- STORMWATER/DRAINAGE EASEMENT
BSCC	- BITUMINOUS CONCRETE SURFACE COURSE	MBL	- MINIMUM BUILDING LINE	CONCRETE	- CONCRETE
BLOG	- BUILDING BEARING	MH	- MANHOLE	TRAFFIC FLOW	- TRAFFIC FLOW
BRG	- BEARING	MIN	- MINIMUM	FIRE HYDRANT	- FIRE HYDRANT
CB	- CATCH BASIN	N/F	- NOW OR FORMERLY		
CF	- CUBIC FEET	NTS	- NOT TO SCALE		
CL	- CENTERLINE	O.C.	- ON CENTER		
DR	- DRIVE	R	- RADIUS		
DI	- DROP INLET	RCP	- REINFORCED CONCRETE PIPE		
DIP	- DUCTILE IRON PIPE	R/W	- RIGHT-OF-WAY		
EL	- ELEVATION	SOM	- STORMRAIN MANHOLE		
EIR	- EX. IRON ROD	SH	- SHEET		
EDP	- EDGE OF PAVEMENT	SI	- SET IRON ROD		
EX	- EXISTING	STA	- STATION		
FE	- FINISHED ELEVATION	TC	- TOP OF CURB		
FES	- FLARED END SECTION	TSM	- TOP OF SIDEWALK		
FF	- FINISHED FLOOR	TYP	- TYPICAL		
FH	- FIRE HYDRANT				

NOTE: CONCRETE DRAINAGE PIPES 1, 3, 5, 10 AND 13 SHALL BE CLASS IV BELL & SPIGOT WITH O-RING. REMAINING CONCRETE STORM DRAINS SHALL BE CLASS III.



REVISIONS:

No.	BY	DATE	DESCRIPTION
1	GT	3/17/15	NOEARR COMMENTS
2	GT	3/30/15	NOEARR COMMENTS
3	GT	5/11/15	LOWERED ROAD

GRADING AND STORMWATER MANAGEMENT PLAN  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA  
CLIENT: MERCER BUILDING & DESIGN, INC.  
ADDRESS: 106-C PROFESSIONAL PARK DRIVE, BEAUFORT, NC 28516  
PHONE: (252) 728-6636

DESIGNED: RDC/GYT  
DRAWN: RDC/GYT  
CHECKED: RDC  
APPROVED: RDC

THE CULLIPHER GROUP, P.A.  
ENGINEERING & SURVEYING SERVICES  
151A HIGHWAY 24, MOREHEAD CITY, N.C. 28557  
(252) 773-0090 LICENSE NO. C-4482  
RONALD D. CULLIPHER, P.E.

DATE: 5/11/18  
SCALE: 1" = 40'

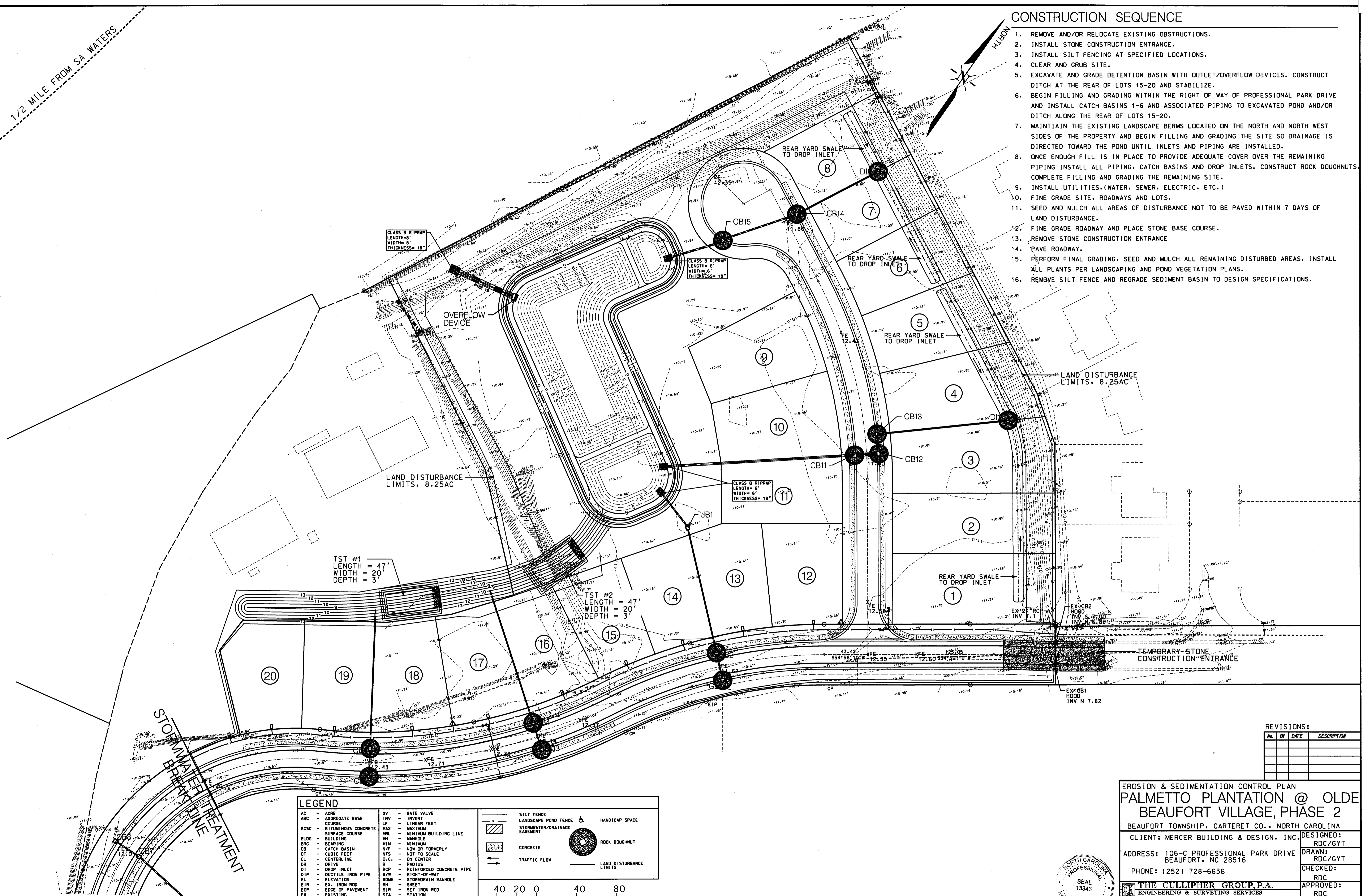
SHEET #2 OF 7  
PROJECT #: PM322-27~001  
DESIGN FILE #: PM322/PM322-27~001/PM322-27~001 CONSTRUCTION.DGN



1/2 MILE FROM SA WATERS

CONSTRUCTION SEQUENCE

1. REMOVE AND/OR RELOCATE EXISTING OBSTRUCTIONS.
2. INSTALL STONE CONSTRUCTION ENTRANCE.
3. INSTALL SILT FENCING AT SPECIFIED LOCATIONS.
4. CLEAR AND GRUB SITE.
5. EXCAVATE AND GRADE DETENTION BASIN WITH OUTLET/OVERFLOW DEVICES. CONSTRUCT DITCH AT THE REAR OF LOTS 15-20 AND STABILIZE.
6. BEGIN FILLING AND GRADING WITHIN THE RIGHT OF WAY OF PROFESSIONAL PARK DRIVE AND INSTALL CATCH BASINS 1-6 AND ASSOCIATED PIPING TO EXCAVATED POND AND/OR DITCH ALONG THE REAR OF LOTS 15-20.
7. MAINTAIN THE EXISTING LANDSCAPE BERMS LOCATED ON THE NORTH AND NORTH WEST SIDES OF THE PROPERTY AND BEGIN FILLING AND GRADING THE SITE SO DRAINAGE IS DIRECTED TOWARD THE POND UNTIL INLETS AND PIPING ARE INSTALLED.
8. ONCE ENOUGH FILL IS IN PLACE TO PROVIDE ADEQUATE COVER OVER THE REMAINING PIPING INSTALL ALL PIPING, CATCH BASINS AND DROP INLETS. CONSTRUCT ROCK DOUGHNUTS. COMPLETE FILLING AND GRADING THE REMAINING SITE.
9. INSTALL UTILITIES. (WATER, SEWER, ELECTRIC, ETC.)
10. FINE GRADE SITE, ROADWAYS AND LOTS.
11. SEED AND MULCH ALL AREAS OF DISTURBANCE NOT TO BE PAVED WITHIN 7 DAYS OF LAND DISTURBANCE.
12. FINE GRADE ROADWAY AND PLACE STONE BASE COURSE.
13. REMOVE STONE CONSTRUCTION ENTRANCE
14. PAVE ROADWAY.
15. PERFORM FINAL GRADING, SEED AND MULCH ALL REMAINING DISTURBED AREAS. INSTALL ALL PLANTS PER LANDSCAPING AND POND VEGETATION PLANS.
16. REMOVE SILT FENCE AND REGRADE SEDIMENT BASIN TO DESIGN SPECIFICATIONS.



**LEGEND**

AC - ACRE	GV - GATE VALVE	—	SILT FENCE	♿	HANDICAP SPACE
ABC - AGGREGATE BASE COURSE	INV - INVERT	▨	LANDSCAPE POND FENCE	○	ROCK DOUGHNUT
BCSC - BITUMINOUS CONCRETE SURFACE COURSE	LF - LINEAR FEET	▨	STORMWATER/DRAINAGE EASEMENT	—	LAND DISTURBANCE LIMITS
BLDG - BUILDING	ML - MAXIMUM	▨	CONCRETE	→	TRAFFIC FLOW
BRG - BEARING	MIN - MINIMUM	▨	TRAFFIC FLOW	—	
CB - CATCH BASIN	N/F - NOW OR FORMERLY	▨			
CF - CUBIC FEET	NTS - NOT TO SCALE	▨			
CL - CENTERLINE	OC - ON CENTER	▨			
DR - DRIVE	R - RADIUS	▨			
DI - DROP INLET	RCP - REINFORCED CONCRETE PIPE	▨			
DIP - DUCTILE IRON PIPE	R/W - RIGHT-OF-WAY	▨			
EL - ELEVATION	SDM - STORMWATER MANHOLE	▨			
EIR - EX. IRON ROD	SH - SHEET	▨			
EOP - EDGE OF PAVEMENT	SIR - SET IRON ROD	▨			
EX - EXISTING	STA - STATION	▨			
FE - FINISHED ELEVATION	TC - TOP OF CURB	▨			
FES - FLARED END SECTION	TST - TEMPORARY SEDIMENT TRAP	▨			
FF - FINISHED FLOOR	TSW - TOP OF SIDEWALK	▨			
FT - FEET	TYP - TYPICAL	▨			

40 20 0 40 80  
SCALE: 1" = 40'

REVISIONS:

No.	BY	DATE	DESCRIPTION

EROSION & SEDIMENTATION CONTROL PLAN  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
 BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA  
 CLIENT: MERCER BUILDING & DESIGN, INC. DESIGNED: RDC/GYT  
 ADDRESS: 106-C PROFESSIONAL PARK DRIVE BEAUFORT, NC 28516 DRAWN: RDC/GYT  
 PHONE: (252) 728-6636 CHECKED: RDC  
**THE CULLIPHER GROUP, P.A.** APPROVED: RDC  
 ENGINEERING & SURVEYING SERVICES  
 151A HIGHWAY 24 MOREHEAD CITY, N.C. 28557  
 (252) 773-0090 LICENSE NO. C-4482  
*Ronald D. Cullipher* 5/11/18  
**RONALD D. CULLIPHER P.E.** SCALE: 1" = 40'

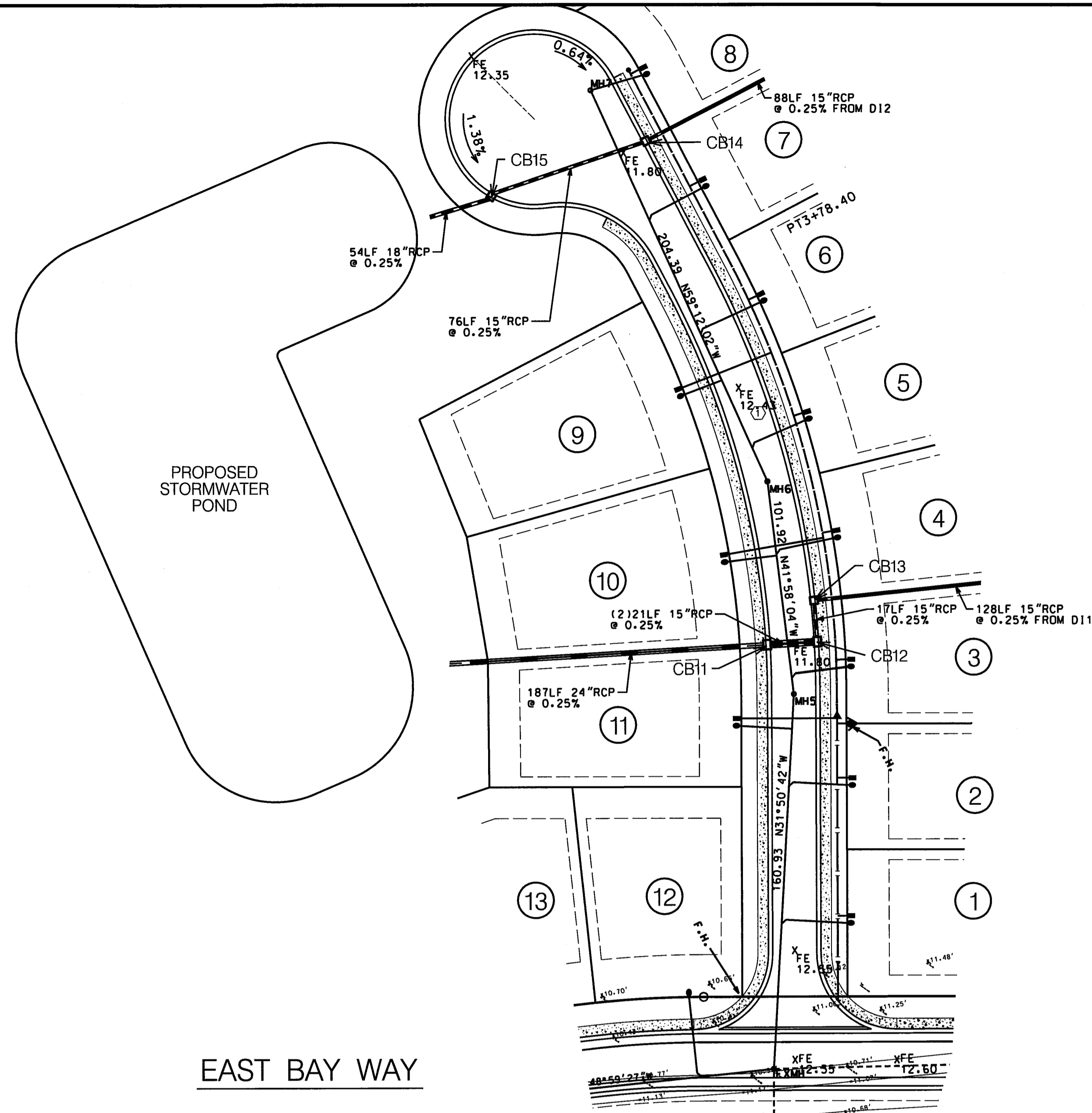
SHEET #3 OF 7  
 PROJECT #: PM322-27~001  
 DESIGN FILE #: PM322/PM322-27~001/PM322-27~001 CONSTRUCTION.DGN

NOTE: ORIGINAL PLANS PREPARED BY STROUD ENGINEERING, P.A.

LEGEND							
A	- ARC LENGTH	FT	- FEET		SILT FENCE		HANDICAP SPACE
AC	- AGGREGATE BASE COURSE	GV	- GATE VALVE		LANDSCAPE POND FENCE		ROCK DOUGHNUT
BCSC	- BITUMINOUS CONCRETE SURFACE COURSE	INV	- INVERT		STORMWATER/DRAINAGE EASEMENT		MEDIUM TREE (POST DARK)
BLDG	- BUILDING	LF	- LINEAR FEET		UTILITY EASEMENT		
BRG	- BEARING	MAX	- MAXIMUM		CONCRETE		
CB	- CATCH BASIN	M/L	- MINIMUM BUILDING LINE		TRAFFIC FLOW		
CF	- CUBIC FEET	M	- MANHOLE		FIRE HYDRANT		
CL	- CENTERLINE	N/F	- NOW OR FORMERLY				
DR	- DRIVE	NTS	- NOT TO SCALE				
DI	- DROP INLET	D.C.	- ON CENTER				
DIP	- DUCTILE IRON PIPE	R	- RADIUS				
EL	- ELEVATION	RCP	- REINFORCED CONCRETE PIPE				
EIR	- EX. IRON ROD	RD	- RIGHT-OF-WAY				
EDP	- EDGE OF PAVEMENT	SDMH	- STORMDRAIN MANHOLE				
EX	- EXISTING	SN	- SHEET				
FE	- FINISHED ELEVATION	SIR	- SET IRON ROD				
FES	- FLEED END SECTION	STA	- STATION				
FF	- FINISHED FLOOR	TC	- TOP OF CURB				
FH	- FIRE HYDRANT	TSW	- TOP OF SIDEWALK				
		TYP	- TYPICAL				

**NOTES**

1. ALL SEWER PIPE TO BE SDR35 AND WATER MAINS TO BE SDR21 UNLESS OTHERWISE NOTED. SEWER MAIN MATERIAL CHANGES MUST BE MADE WITH MECHANICAL JOINT SLEEVES.
2. MAINTAIN A MINIMUM COVER OF 36" OVER WATER MAIN & SEWER FORCEMAIN LINES OR USE DUCTILE IRON PIPE. IN NO CASE SHALL THE WATER MAIN PROVIDE LESS THAN 30" COVER, EVEN IF DUCTILE IRON IS USED.
3. SEE DETAIL 17 ON SHEET 7 FOR CROSSING REQUIREMENTS.
4. CONTRACTOR SHALL SUBMIT MATERIALS TO BE USED FOR APPROVAL TO THE TOWN PRIOR TO WORK BEING DONE.
5. ALL MATERIALS AND LABOR SHALL BE TO THE TOWN AND STATE STANDARDS.
6. ALL SEWER SERVICE TAPS ARE TO BE INLINE WYES.
7. ALL SEWER SERVICE PIPE TO BE 4" SCH 40 PVC, INSTALLED WITH CLEAN OUTS. EACH CLEAN OUT MUST BE SET TO FINAL GRADE IN A CAST IRON BOX WITH SUPPORT BRICKS.



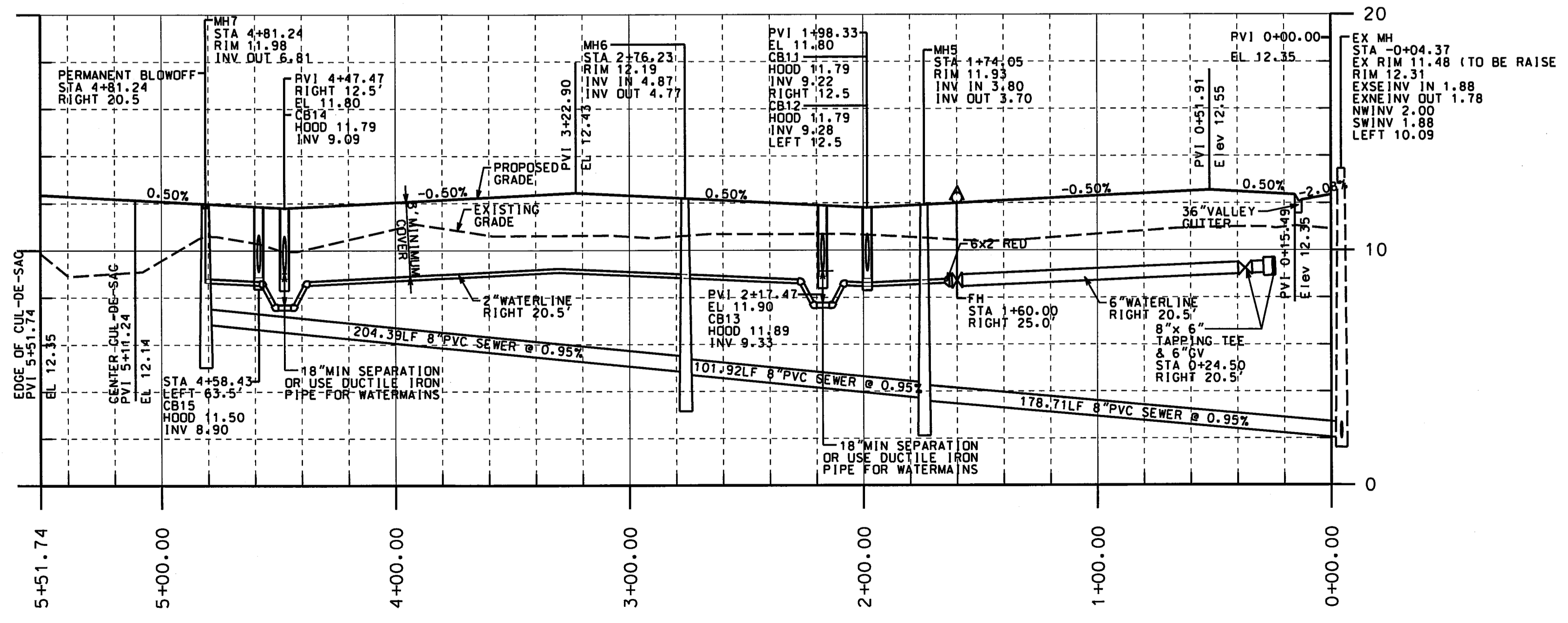
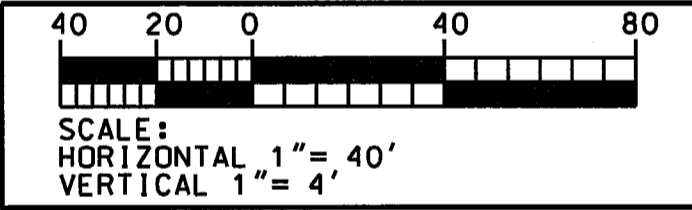
EAST BAY WAY

**CATCH BASINS**

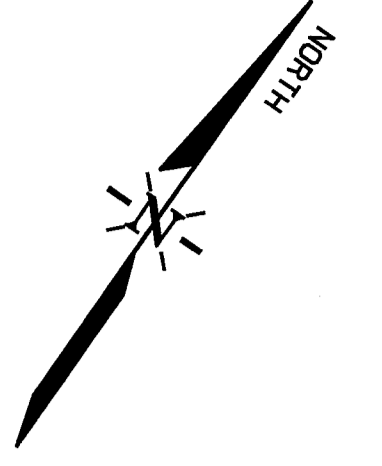
CB	HOOD	INV
11	11.79	9.22
12	11.79	9.28
13	11.89	9.33
14	11.79	9.09
15	11.50	8.90

**CURVE DATA**

LENGTH	= 204.34
RADIUS	= 425.00
CHORD LENGTH	= 202.38
CHORD DIRECTION	= N48°51'17"W



EAST BAY WAY



REVISIONS:

NO.	DATE	DESCRIPTION
1	2/27/15	PER COMMENTS
2	5/17/15	LOWER ROAD

DESIGNED: RDC  
CHECKED: RDC  
DRAWN: RDC/GYT  
APPROVED: GYT  
SCALE: AS NOTED  
DATE: 2/1/15

CLIENT: MEEGER BUILDING & DESIGN, INC.  
ADDRESS: 106-C PROFESSIONAL PARK DR  
BEAUFORT, NC 28516  
PHONE: (252) 728-6636

PLAN & PROFILE - EAST BAY WAY  
PALMETTO PLANTATION  
AT OLDE BEAUFORT  
VILLAGE, PHASE 2  
BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA

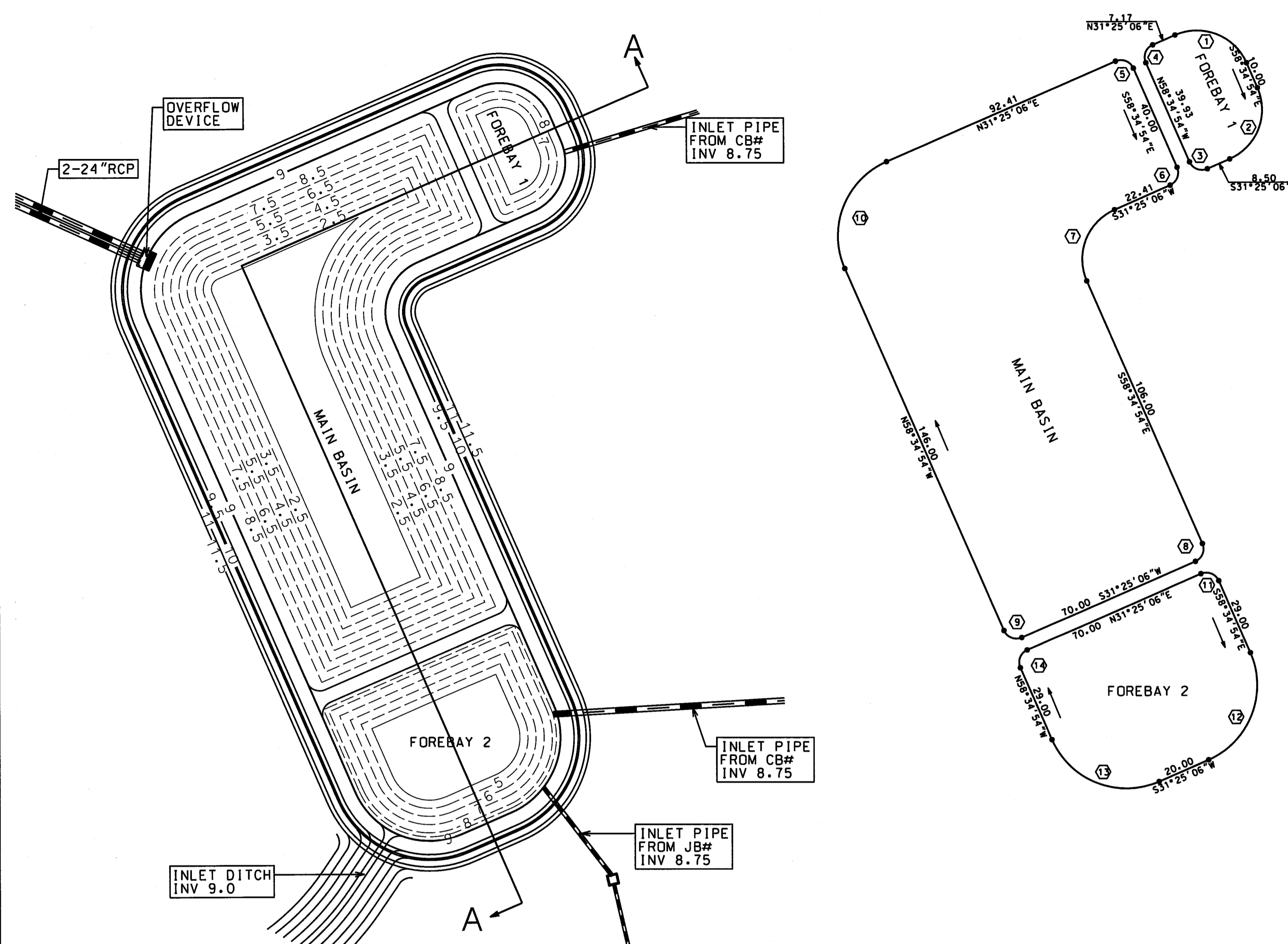
NOTE: ORIGINAL PLANS PREPARED BY STROUD ENGINEERING, P.A.

THE CULLIPHER GROUP, P.A.  
ENGINEERING & SURVEYING SERVICES  
151A HIGHWAY 24  
BEAUFORT, N.C. 28527  
(252) 728-0080  
LICENSE NO. C-4482

Ronald D. Cullipher  
5/1/18  
RONALD D. CULLIPHER, P.E.

SCALE: HORIZONTAL 1"= 40'  
VERTICAL 1"= 4'

SHEET NO.: 4 OF 7



**FOREBAY 1 AT PERMANENT POOL**

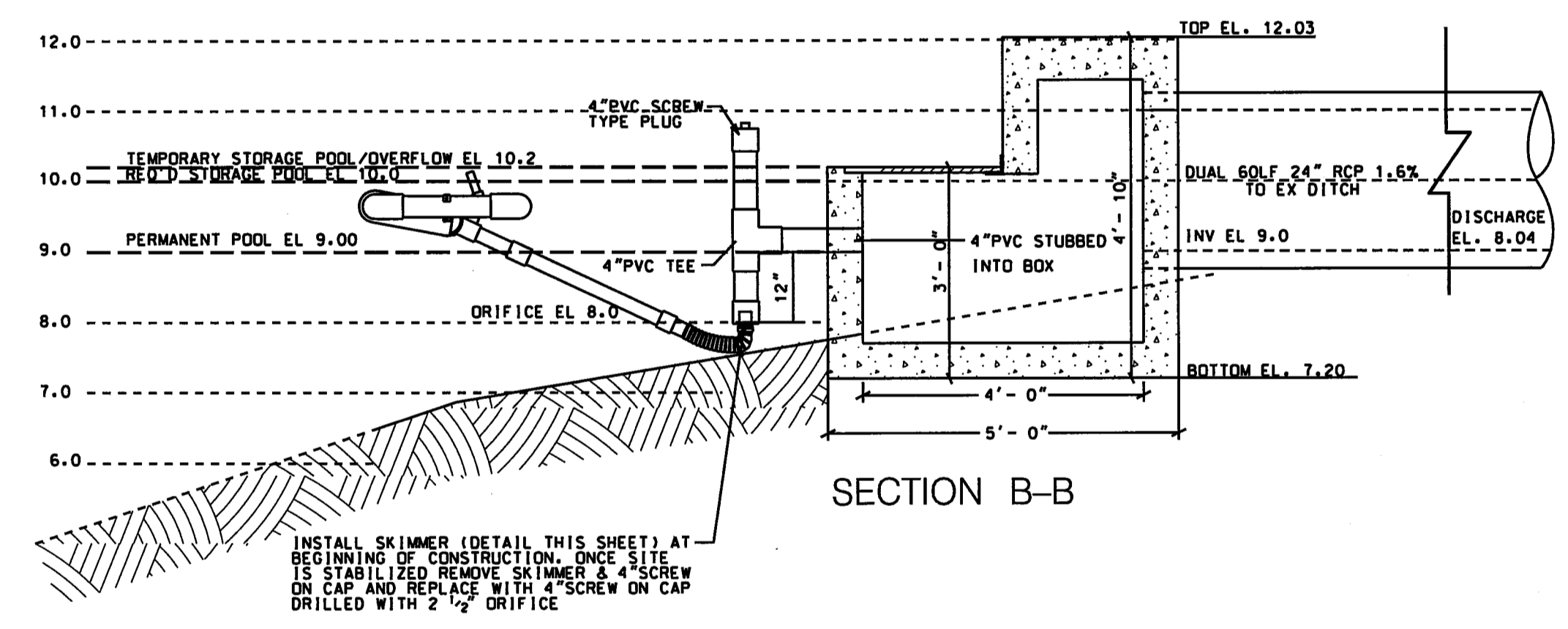
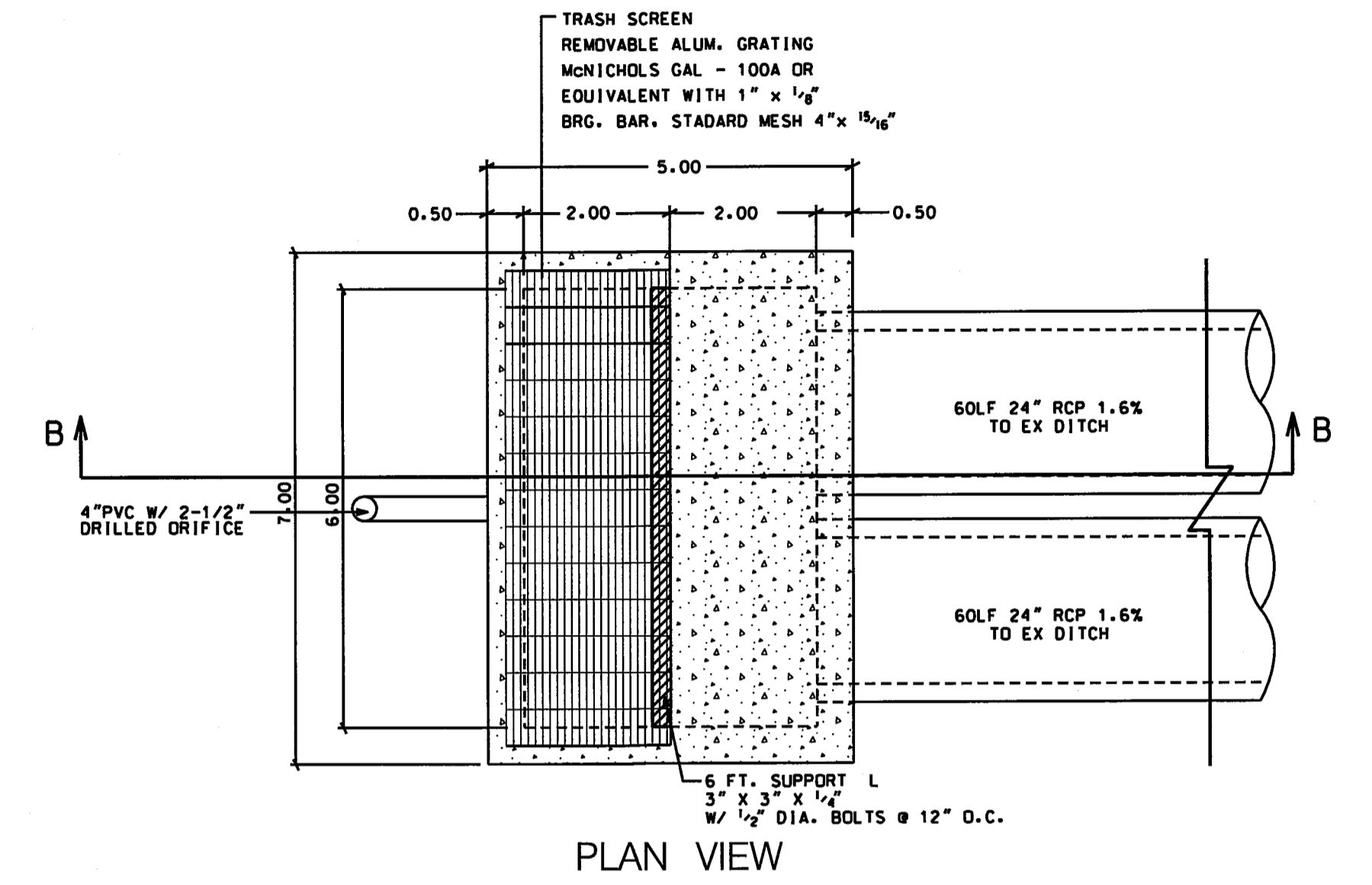
LENGTH ① = 31.42	LENGTH ④ = 7.85
RADIUS = 20.00	RADIUS = 5.00
CHORD LENGTH = 28.28	CHORD LENGTH = 7.07
CHORD DIRECTION = N76°25'06"E	CHORD DIRECTION = N13°34'54"W
LENGTH ② = 31.42	LENGTH ⑤ = 7.85
RADIUS = 20.00	RADIUS = 5.00
CHORD LENGTH = 28.28	CHORD LENGTH = 7.07
CHORD DIRECTION = S13°34'54"E	CHORD DIRECTION = S76°25'06"W
LENGTH ③ = 7.85	LENGTH ⑥ = 7.85
RADIUS = 5.00	RADIUS = 5.00
CHORD LENGTH = 7.07	CHORD LENGTH = 7.07
CHORD DIRECTION = S76°25'06"W	CHORD DIRECTION = S13°34'54"E

**MAIN BASIN AT PERMANENT POOL**

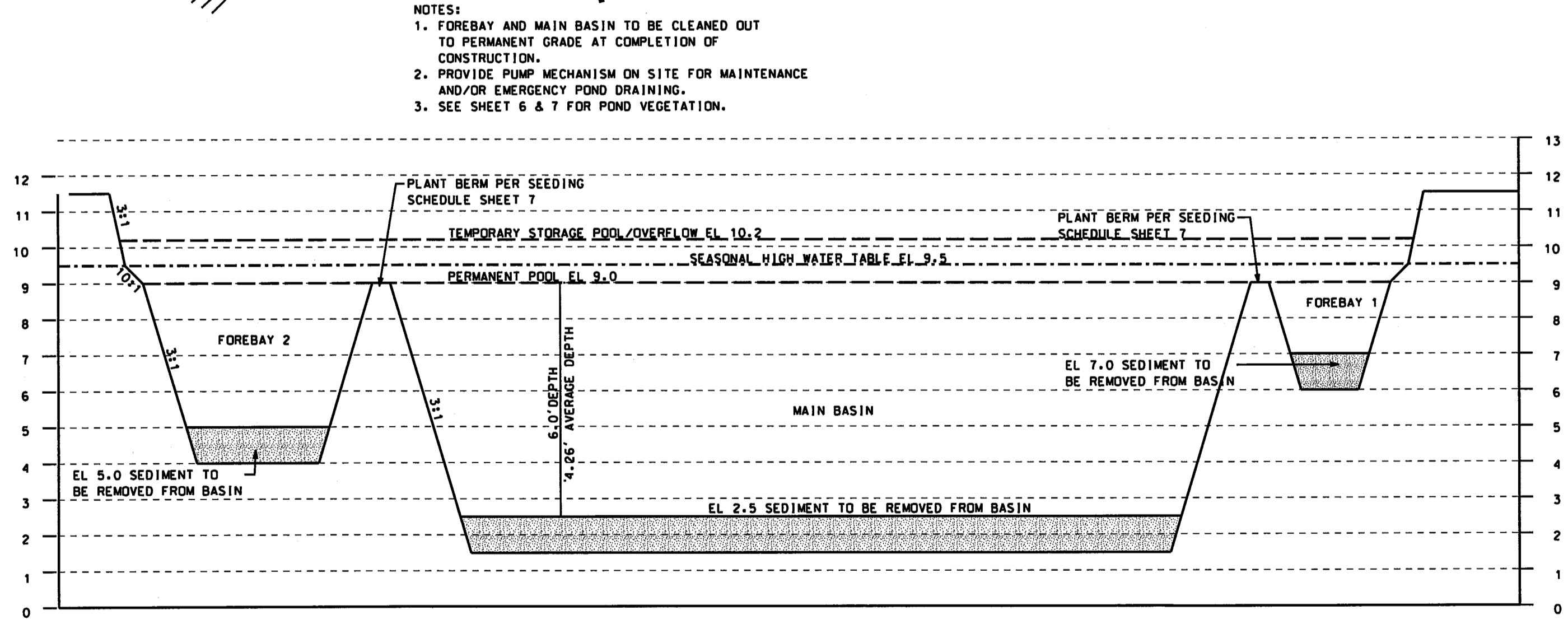
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CHORD DIRECTION = N76°25'06"E	CHORD DIRECTION = S13°34'54"W
LENGTH ⑥ = 7.85	LENGTH ⑨ = 7.85
RADIUS = 5.00	RADIUS = 5.00
CHORD LENGTH = 7.07	CHORD LENGTH = 7.07
CHORD DIRECTION = S13°34'54"E	CHORD DIRECTION = S76°25'06"W
LENGTH ⑦ = 31.42	LENGTH ⑩ = 47.12
RADIUS = 20.00	RADIUS = 30.00
CHORD LENGTH = 28.28	CHORD LENGTH = 42.43
CHORD DIRECTION = S13°34'54"E	CHORD DIRECTION = N13°34'54"W

**FOREBAY 2 AT PERMANENT POOL**

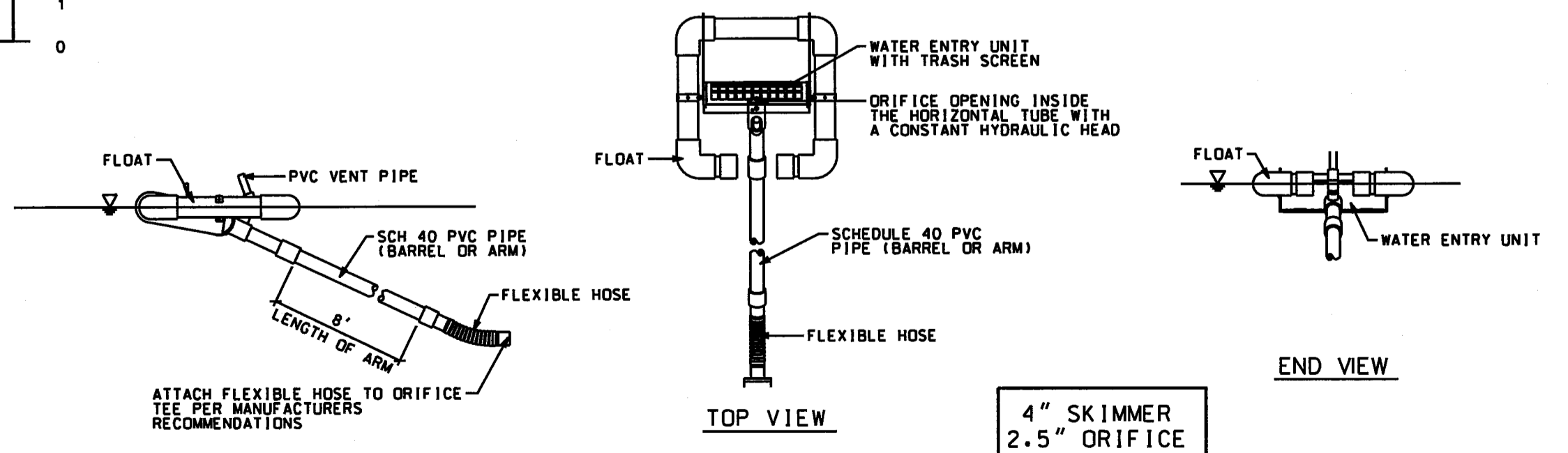
LENGTH ⑪ = 7.85	LENGTH ⑬ = 7.85
RADIUS = 5.00	RADIUS = 5.00
CHORD LENGTH = 7.07	CHORD LENGTH = 7.07
CHORD DIRECTION = N76°25'06"E	CHORD DIRECTION = N13°34'54"W
LENGTH ⑫ = 47.12	LENGTH ⑭ = 47.12
RADIUS = 30.00	RADIUS = 30.00
CHORD LENGTH = 42.43	CHORD LENGTH = 42.43
CHORD DIRECTION = S13°34'54"E	CHORD DIRECTION = S76°25'06"W



**OVERFLOW DEVICE**  
SCALE: 1" = 2'



**POND X-SECTION A-A**  
SCALE: V: 1" = 3', H: 1" = 30'



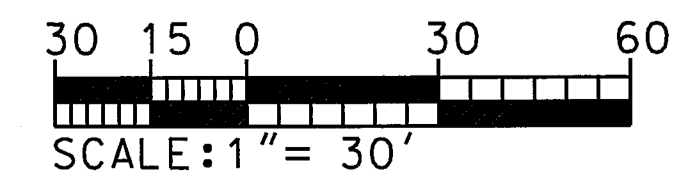
**FAIRCLOTH SKIMMER**

SCALE: NOT TO SCALE  
J. W. FAIRCLOTH & SON, INC.  
WWW.FAIRCLOTHSKIMMER.COM  
TELEPHONE: (919) 732-1244  
FAX: (919) 732-1266

REVISIONS:

No.	BY	DATE	DESCRIPTION

**POND DETAILS**  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA  
CLIENT: MERCER BUILDING & DESIGN, INC. DESIGNED: RDC  
ADDRESS: 106-C PROFESSIONAL PARK DRIVE DRAWN: RDC  
BEAUFORT, NC 28516  
PHONE: (252) 728-6636 CHECKED: RDC  
**THE CULLIPHER GROUP, P.A.** APPROVED: RDC  
ENGINEERING & SURVEYING SERVICES  
151A HIGHWAY 24  
MOREHEAD CITY, N.C. 28557  
(252) 773-0090 LICENSE NO. C-4482  
DATE: 5/11/18  
SCALE: 1" = 30'



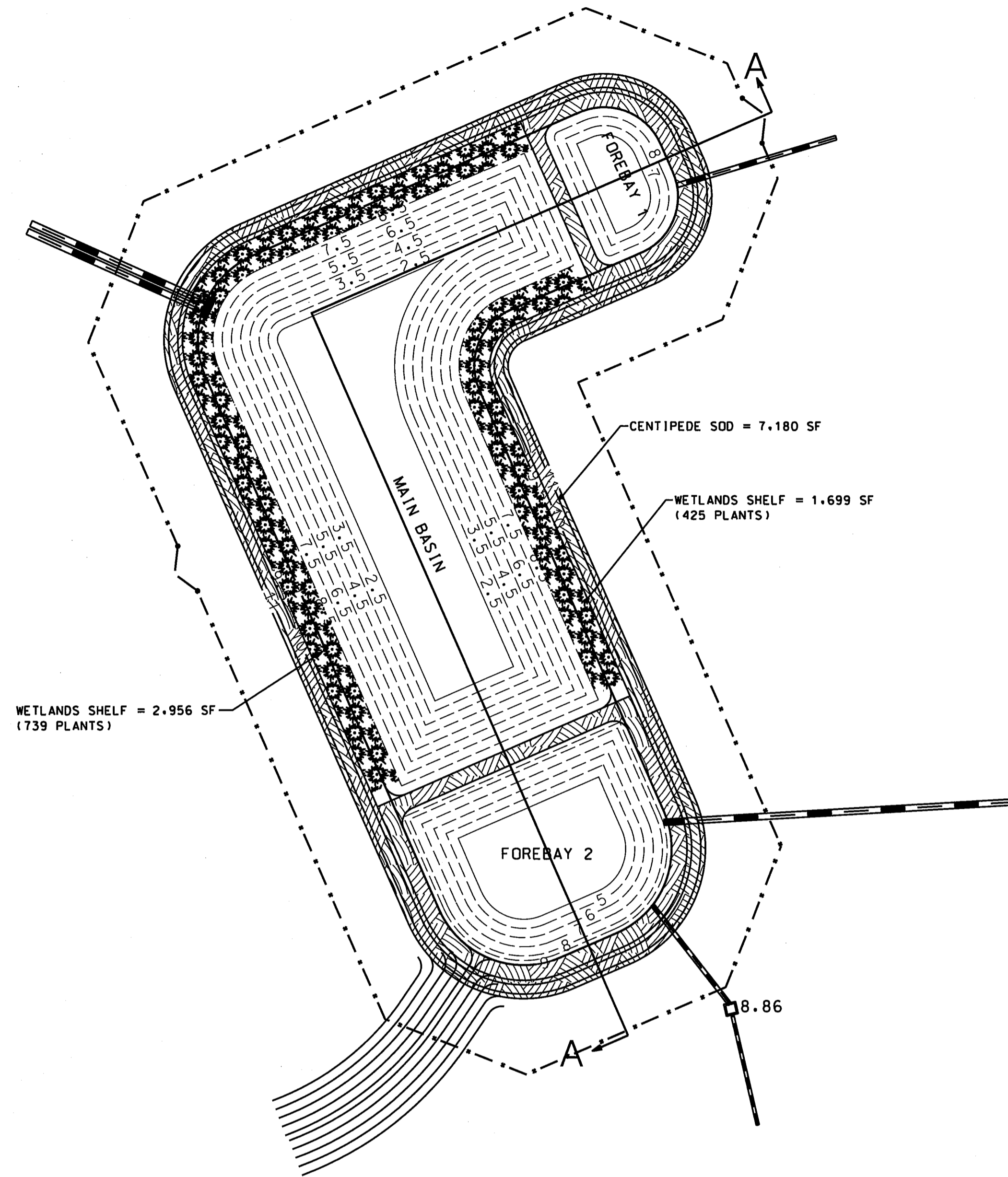
# WETLAND PLANT RECOMMENDATIONS

## LEGEND

-  WETLANDS PLANTS
-  CENTIPEDE SOD

MINIMUM PLANT MATERIAL QUANTITIES AND PLANT SIZES PER 200 SF OF SHELF AREA (MINIMUM OF 3 SPECIES):

1. 50 HERBACEOUS PLANTS AT LEAST 4 CUBIC-INCH CONTAINER = 1164 HERBACEOUS PLANTS (SPECIES SHOWN ON THIS SHEET)



SHALLOW WATER	
BOTANICAL NAME	COMMON NAME
<b>HERBACEOUS PLANTS</b>	
ACORUS SUBCORDATUM	SWEETFLAG
ALISMA SUBCORDATUM	WATER PLANTAIN
HYDROLEA QUADRIVALVIS	WATERPOD
IRIS VIRGINICA	BLUE FLAG IRIS
JUNCUS EFFUSUS VAR. PYLAEI OR SOLUTUS	SOFT RUSH
LUDWIGIA SPP.	PRIMROSE WILLOW
PELTANDRA VIRGINICA	ARROW ARUM
PONTEDERIA CORDATA	PICKERELWEED
SAGITTARIA LATIFOLIA	DUCK POTATO
SAGITTARIA LANCIFOLIA	BULLTONGUE
SAURURUS CERNUUS	LIZARD'S TAIL
SCHOENOPLECTUS TABERNAEMONTANI	SOFT STEM BULRUSH
SCHOENOPLECTUS AMERICANUS	THREE-SQUARE BULRUSH
SCHOENOPLECTUS PUNGENS VAR. PUNGENS	
SCIRPUS CYPERINUS	WOOLGRASS
ZIZANIOPSIS MILIACEA	GIANT CUTGRASS

SHALLOW LAND	
BOTANICAL NAME	COMMON NAME
<b>HERBACEOUS PLANTS</b>	
ASCLEPIAS INCARNATA	SWAMP MILKWEED
CAREX TENERA	OUILL SEDGE
CHELONE GLABRA	WHITE TURTLEHEAD
EUPATORIUM ADALPHI DUBIUS	DWARF JOE PYE WEED
EUPATORIUM ADALPHI FISTULOSUS	JOE PYE WEED
EUPATORIUM ADALPHI MACULATUS	SPOTTED TRUMPETWEED
HIBISCUS COCCINEUS	SCARLET ROSE MALLOW
HIBISCUS LAEVIS	HALBERDLEAF ROSEMALLOW
KOSTELETZKYA VIRGINICA	SEASHORE MALLOW
LOBELIA CARDINALIS	CARDINAL FLOWER
LOBELIA ELONGATA	LONGLEAF LOBELIA
LOBELIA SIPHILITICA	GREAT BLUE LOBELIA
RHYNCHOSPORA COLORATA	STARRUSH WHI TETOP
SACCHARUM BALDWINI	NARROW PLUMEGRASS

VEGETATION SCHEDULE			
WETLAND AREA	SO FT IN WETLAND AREA	PLANT CATEGORY	* PLANTS OF CATEGORY IN WETLAND AREA
WETLANDS PLANTS	4653	HERBACEOUS PLANTS	1164

**PLANT REQUIREMENTS:**

- SELECT PLANTS FROM THE WETLAND PLANT LIST ABOVE.
- A MINIMUM OF THREE (3) DIVERSE SPECIES OF SHALLOW WATER EMERGENT AND SHALLOW LAND HERBACEOUS VEGETATION.
- A MINIMUM TWO-YEAR WARRANTY PERIOD STIPULATING REQUIREMENTS FOR PLANT SURVIVAL/REPLACEMENT. AT THE END OF THE FIRST YEAR AND AGAIN AT THE END OF THE TWO-YEAR WARRANTY PERIOD, ALL PLANTS THAT DO NOT SURVIVE MUST BE REPLACED.
- THE DESIGN FOR PLANTINGS SHALL MINIMIZE THE NEED FOR HERBICIDES, FERTILIZERS, PESTICIDES, OR SOIL AMENDMENTS AT ANY TIME BEFORE, DURING AND AFTER CONSTRUCTION AND ON A LONG TERM BASIS. PLANTINGS SHALL BE DESIGNED TO MINIMIZE THE NEED FOR MOWING, PRUNING AND IRRIGATION.
- PLANT MATERIAL SHOULD BE PURCHASED FROM A SIMILAR PROVENANCE OR LOCAL SOURCE TO ENSURE SURVIVABILITY.

**GENERAL NOTES:**

- TOPSOIL FROM THE SITE WILL BE SPREAD ACROSS THE SHALLOW WATER AND SHALLOW LAND ZONES PRIOR TO PLACEMENT OF PLANTS.
- WET DETENTION BASINS SHOULD INCORPORATE SEVERAL (MINIMUM OF THREE (3) DIVERSE SPECIES OF SHALLOW WATER EMERGENT AND SHALLOW LAND HERBACEOUS VEGETATION ON THE VEGETATED SHELF.
- SPACING SHOULD BE APPROXIMATELY 24" - 36" CENTERS, YIELDING COVERAGE IN APPROXIMATELY 1-2 YEARS, RESPECTIVELY.
- TURF GRASS SHOULD BE MAINTAINED ON THE TOPS OF BERMS AND ON THE EXTERIOR SLOPES OF CONTAINMENT BERMS.

**SOIL SPECIFICATIONS**

SOILS USED WITHIN A STORMWATER BMP MUST ADHERE TO THE FOLLOWING REQUIREMENTS:

- THE SOIL MIX MUST BE UNIFORM AND FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR MATERIAL GREATER THAN 2 INCHES.
- SOIL TEXTURE OF THE MIX USED FOR STORMWATER WETLANDS SHOULD BE LOAMY SAND, WITH NO MORE THAN 10% CLAY (USDA SOIL TEXTURAL CLASSIFICATION).
- A MINIMUM ORGANIC CONTENT OF 10% BY DRY WEIGHT FOR AREAS PLANTED WITH WOODY SPECIES AND 5% FOR TURF AREAS.
- THE PH SHOULD BE BETWEEN 5.5 AND 7.0. IF THE PH FALLS OUTSIDE OF THIS RANGE, IT MAY BE MODIFIED WITH LIME TO INCREASE THE PH OR IRON SULFATE AND SULFUR TO LOWER THE PH. THE LIME OR IRON SULFATE MUST BE MIXED UNIFORMLY INTO THE SOIL PRIOR TO USE.
- TOPSOIL STOCKPILE LOCATION (IF USING ON-SITE SOILS) OR SOURCE OF TOPSOIL IF IMPORTED TO THE SITE. SOIL ANALYSIS FOR ALL TOPSOIL TO BE USED WITHIN A BMP FACILITY.

**PLANTING SPECIFICATIONS:**

- FOR EROSION CONTROL PLANTING AND BANK STABILIZATION (UPLAND AREA) FOLLOW EROSION CONTROL SEEDING SCHEDULE.
- UTILIZE A 90-DAY SLOW RELEASE FERTILIZER TABLET FOR PLANTS.
- PLACE 3 OR 4 INCHES OF QUALITY TOPSOIL TO THE SHALLOW LAND AND SHALLOW WATER REGIONS. THE PROJECT CAN UTILIZE THE EXISTING TOPSOIL BY STOCK PILING ON SITE AND AMENDING SOIL AS NECESSARY BASED ON SOIL ANALYSIS RESULTS.
- THE DETENTION POND MUST BE STABILIZED WITHIN 14 DAYS OF CONSTRUCTION. CONSIDER CONSTRUCTION SEQUENCING SO THAT PLANTS CAN BE PLANTED AND THE POND CAN BE BROUGHT ONLINE WITHIN 14 DAYS.

**PLANTING SEASONS:**

HERBACEOUS PLANTS (SHALLOW LAND).....OCTOBER TO JUNE  
 HERBACEOUS PLANTS (SHALLOW WATER)....APRIL TO JUNE (RECOMMENDED)  
 MID-SEPTEMBER TO MID-OCTOBER  
 GRASSES.....YEAR ROUND

PLANTING OUT OF SEASON IS NOT RECOMMENDED. IF CONSTRUCTION SCHEDULE AND PLANTING SCHEDULE DO NOT CORRESPOND, STABILIZE BANKS (UPLAND AREA AND SHALLOW LAND) WITH APPROPRIATE TEMPORARY COVER CROP AND EROSION CONTROL MATTING UNTIL APPROPRIATE PLANTING SEASON.

PLANTS SHOULD BE INSTALLED AS LARGE DRIFTS (I.E. MASSES OF A SINGLE SPECIE) WITHIN THEIR RESPECTIVE PLANTING AREA. OVERLAPPING OR WEAVING OF THE PLANTING AREA EDGES IS RECOMMENDED.

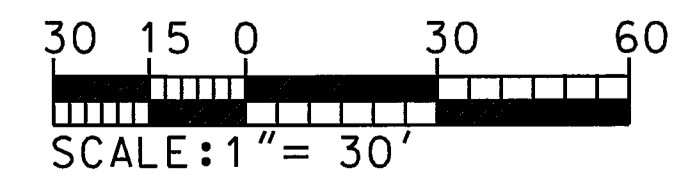
ALL PLANTS SHALL BE DIRECTLY DESCENDED FROM INDIVIDUALS GROWING WILD WITHIN 100 MILES OF THE PROJECT SITE. IF SUITABLE STOCK CANNOT BE OBTAINED, PLANTS OF OTHER GENETIC PROVENANCE MAY BE UTILIZED WITH THE APPROVAL OF THE LOCAL REGULATORY AGENCY.

IRRIGATION MAY BE NECESSARY FOR SHALLOW LAND AND WATER ZONES IF PROLONGED DROUGHT DRAWS WATER LEVELS 6" OR MORE BELOW NORMAL POOL DURING THE FIRST SUMMER FOLLOWING PLANT INSTALLATION.

DO NOT PLANT CATTAILS. CATTAILS, ALTHOUGH A WETLAND PLANT, PROVIDE A HAVEN FOR MOSQUITOES AND WILL TAKE OVER AND CROWD OUT OTHER VITAL VEGETATION.

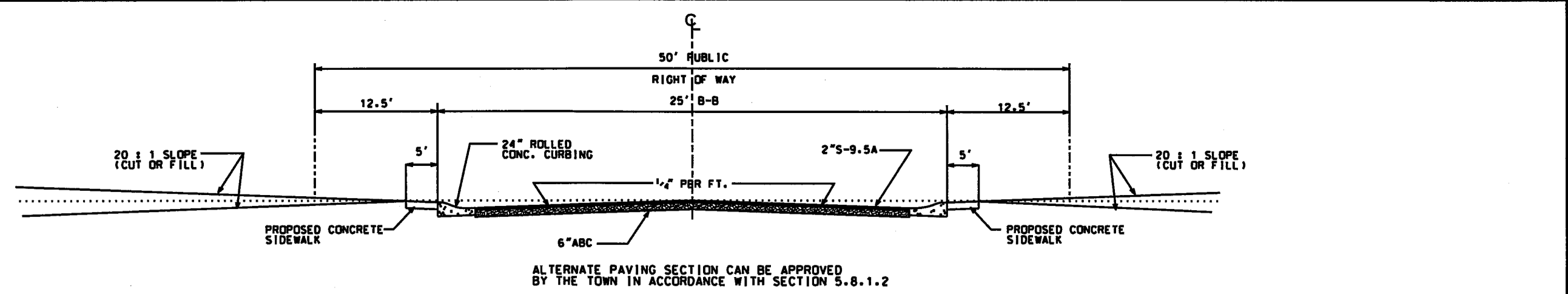
**REVISIONS:**

No.	BY	DATE	DESCRIPTION

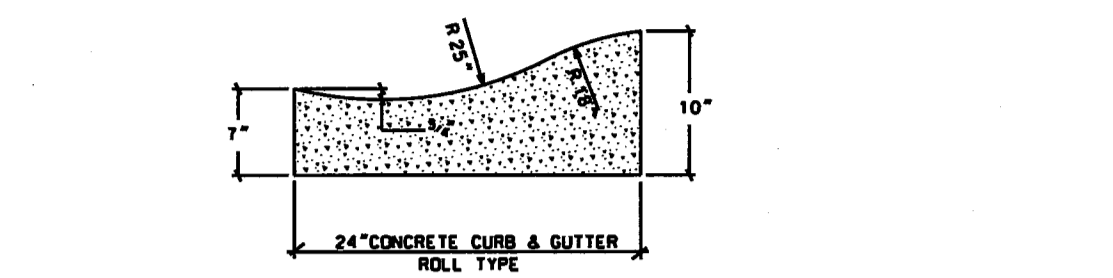


NOTE: ORIGINAL PLANS PREPARED BY STROUD ENGINEERING, P.A.

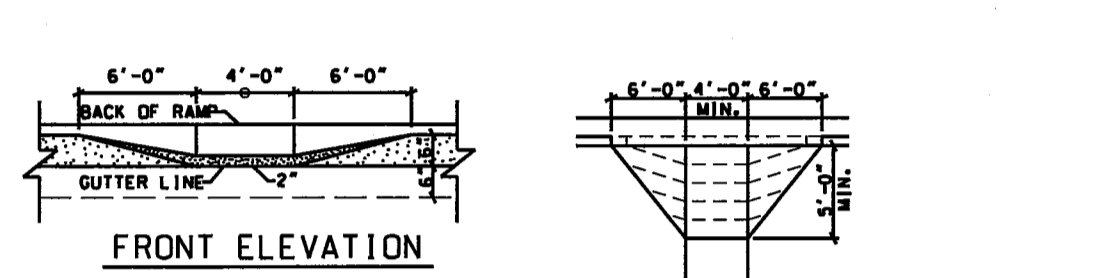
POND VEGETATION PLAN  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
 BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA  
 CLIENT: MERCER BUILDING & DESIGN, INC. DESIGNED: RDC  
 ADDRESS: 106-C PROFESSIONAL PARK DRIVE BEAUFORT, NC 28516 DRAWN: RDC  
 PHONE: (252) 728-6636 CHECKED: RDC  
**THE CULLIPHER GROUP, P.A.** APPROVED: RDC  
 ENGINEERING & SURVEYING SERVICES  
 101A HIGHWAY 24 MOREHEAD CITY, N.C. 28557  
 (252) 775-0090 LICENSE NO. C-4482  
 DATE: 5/11/18  
 SCALE: 1" = 30'  
 RONALD D. CULLIPHER P.E.



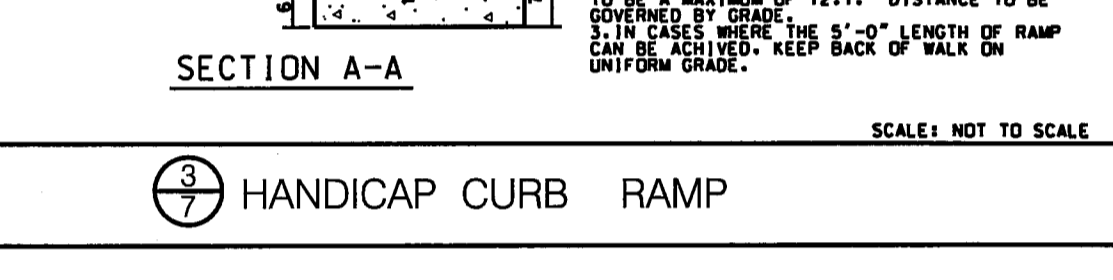
**1 EASTBAY WAY TYPICAL STREET SECTION**  
SCALE: NOT TO SCALE



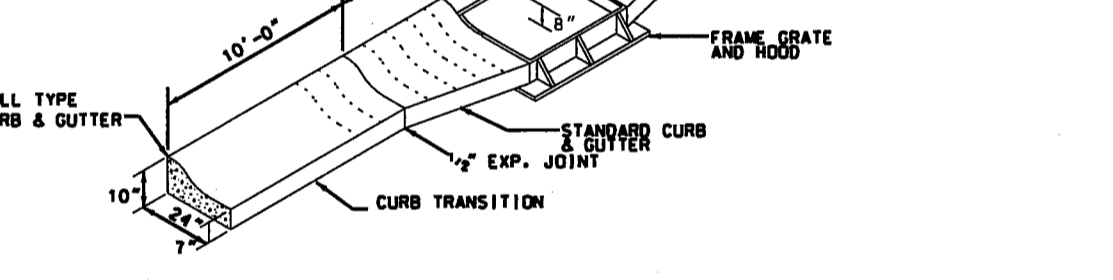
**2 ROLL TYPE CURB AND GUTTER**  
SCALE: NOT TO SCALE



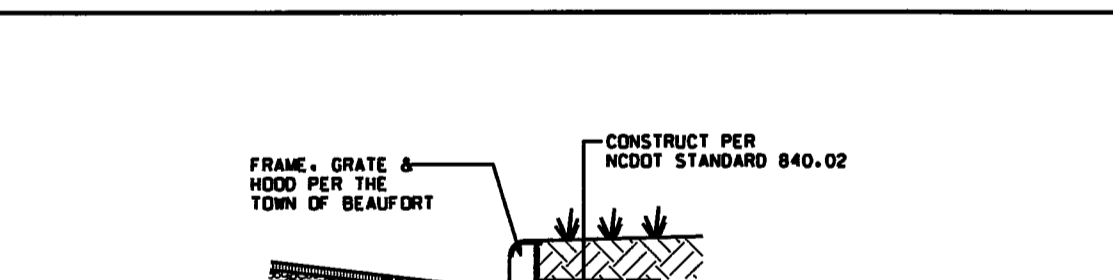
**3 HANDICAP CURB RAMP**  
SCALE: NOT TO SCALE



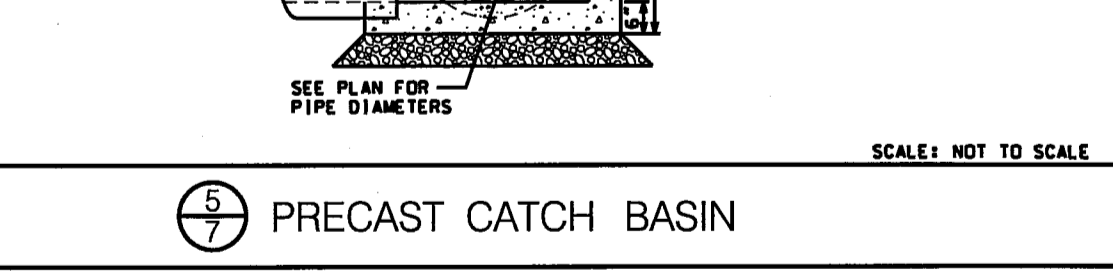
**4 CURB TRANSITION DETAIL**  
SCALE: NOT TO SCALE



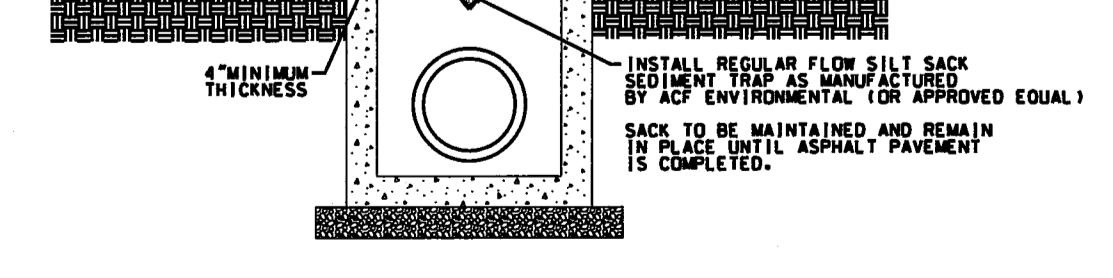
**5 PRECAST CATCH BASIN**  
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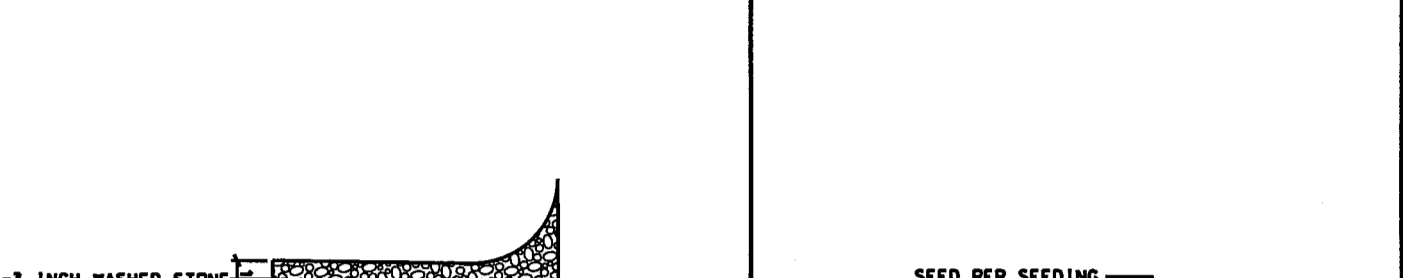
**6 ROCK DOUGHNUT TEMPORARY INLET PROTECTION**  
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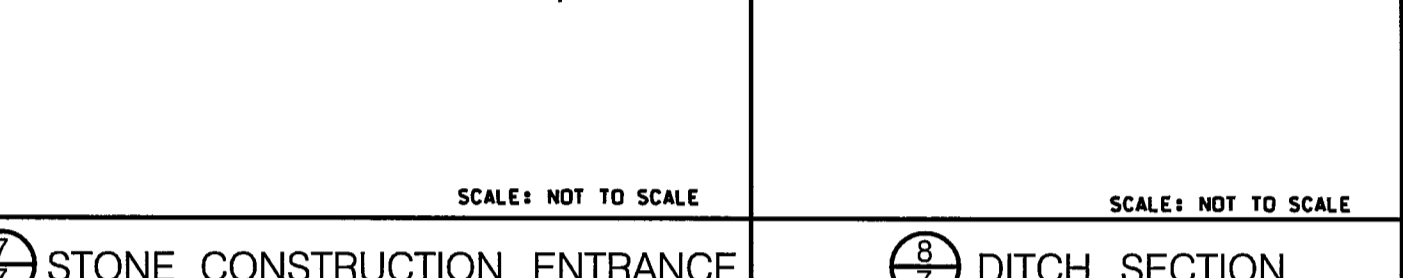
**7 WATER PIPE TRENCH DETAIL OUTSIDE PAVED AREA**  
SCALE: NOT TO SCALE



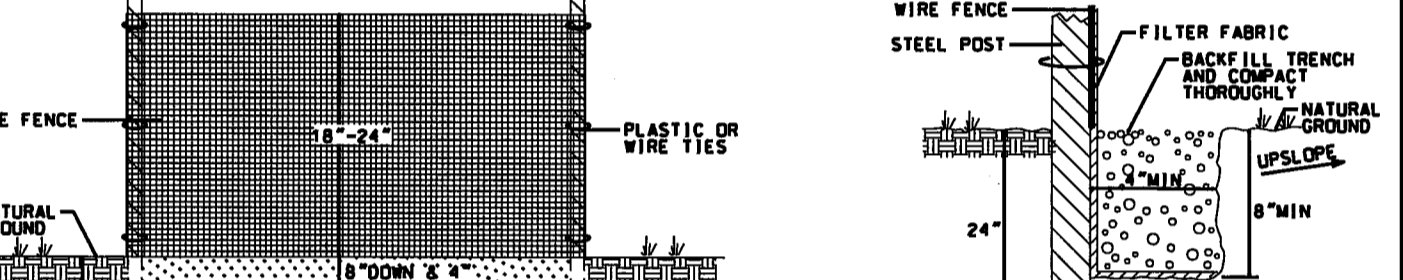
**8 WATER PIPE TRENCH DETAIL AREA TO BE PAVED**  
SCALE: NOT TO SCALE



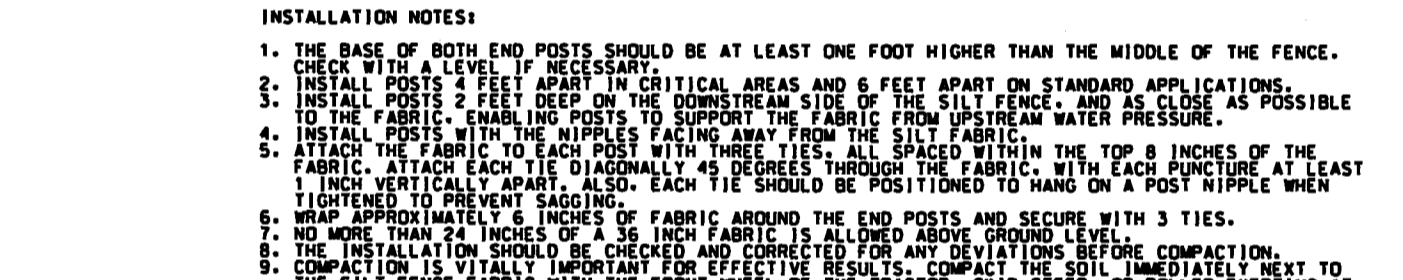
**9 STONE CONSTRUCTION ENTRANCE**  
SCALE: NOT TO SCALE



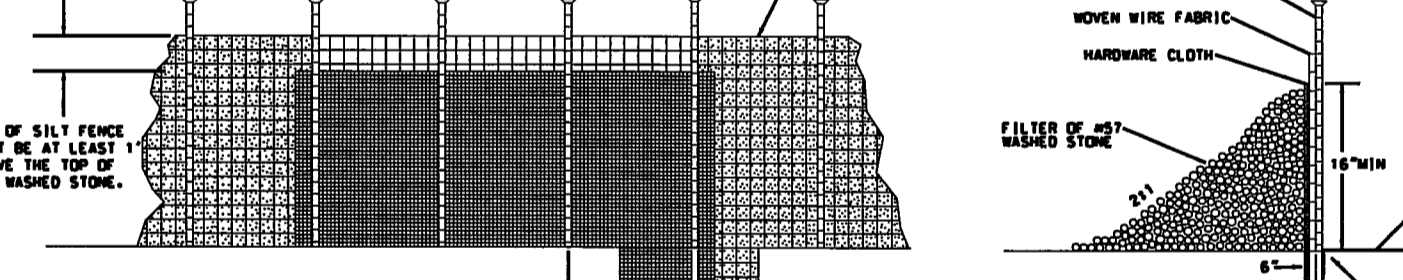
**10 DITCH SECTION**  
SCALE: NOT TO SCALE



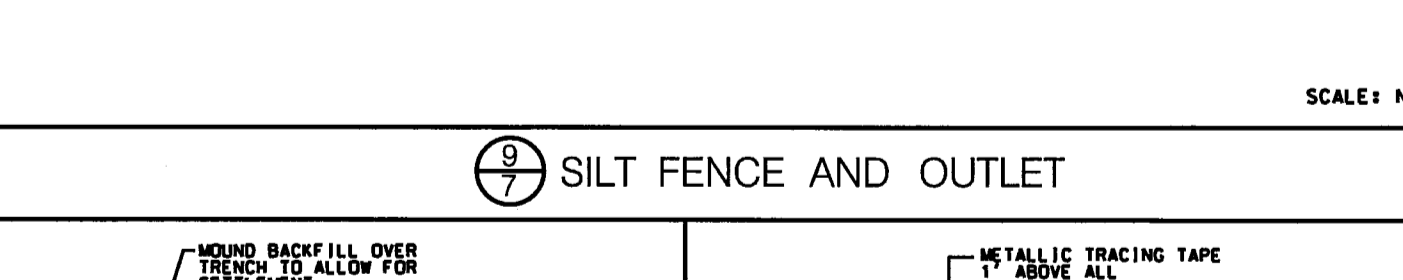
**11 SILT FENCE AND OUTLET**  
SCALE: NOT TO SCALE



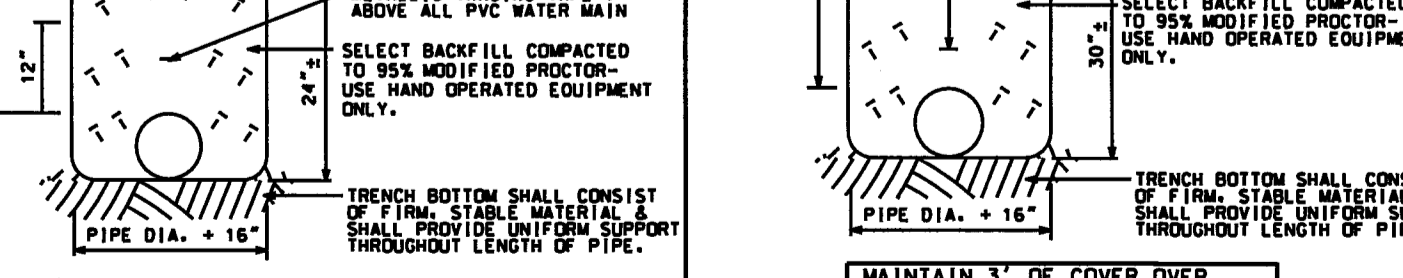
**12 SEWER PIPE TRENCH**  
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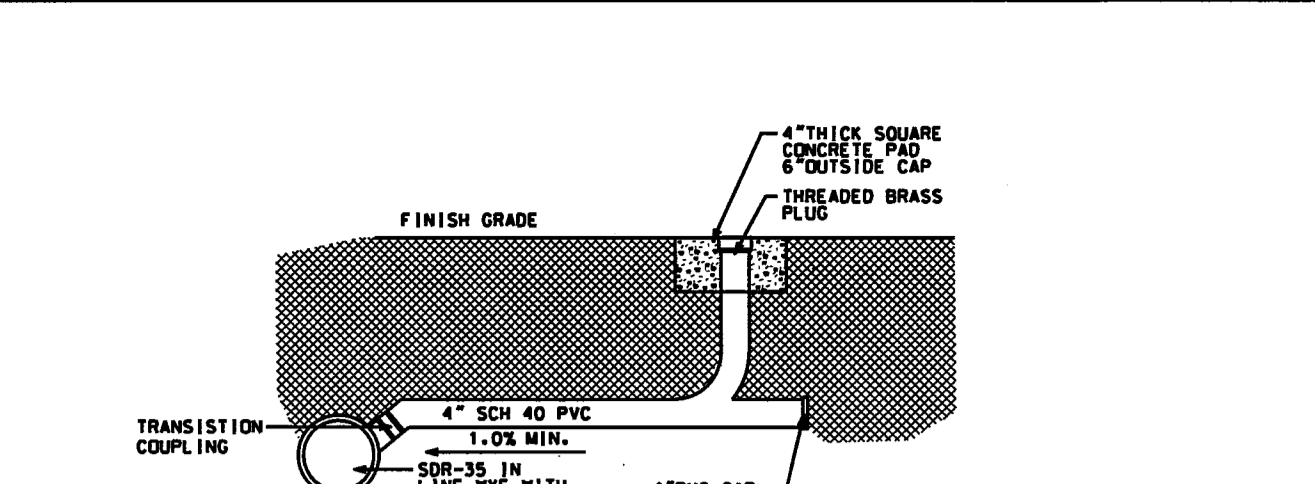
**13 SEEDING SCHEDULE**  
SCALE: NOT TO SCALE



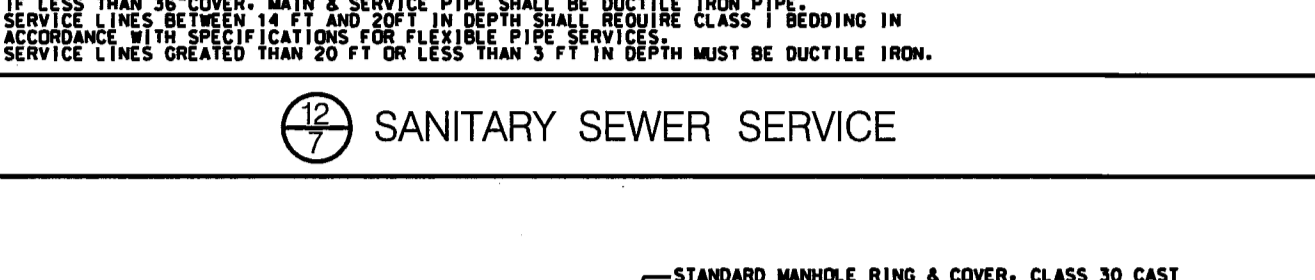
**14 TYPICAL PRECAST MANHOLE**  
SCALE: NOT TO SCALE



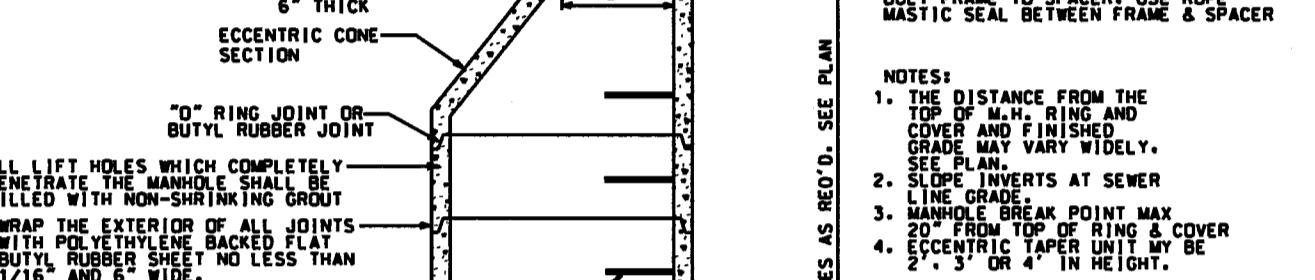
**15 SANITARY SEWER SERVICE**  
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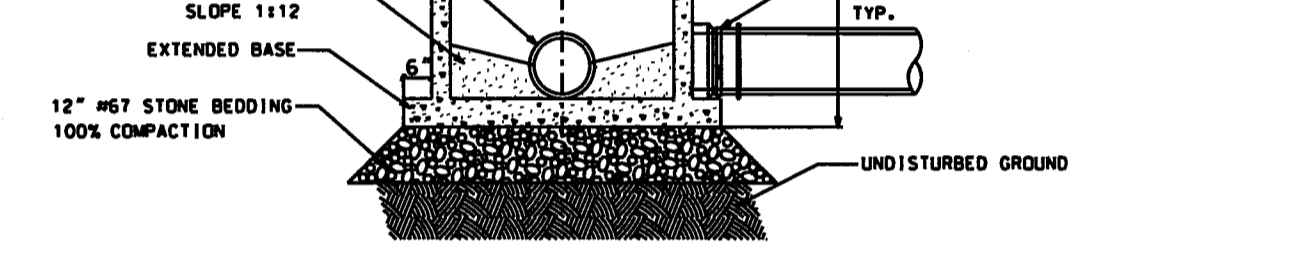
**16 THURST BLOCKING DETAIL**  
SCALE: NOT TO SCALE



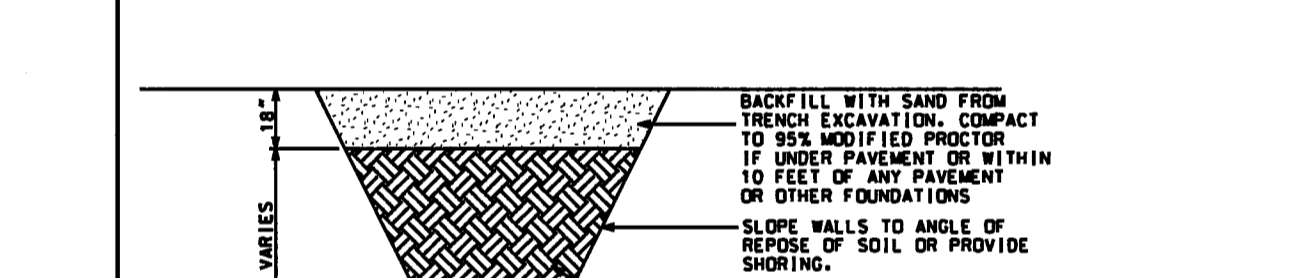
**17 WATER UNDER STORM SEWER**  
SCALE: NOT TO SCALE



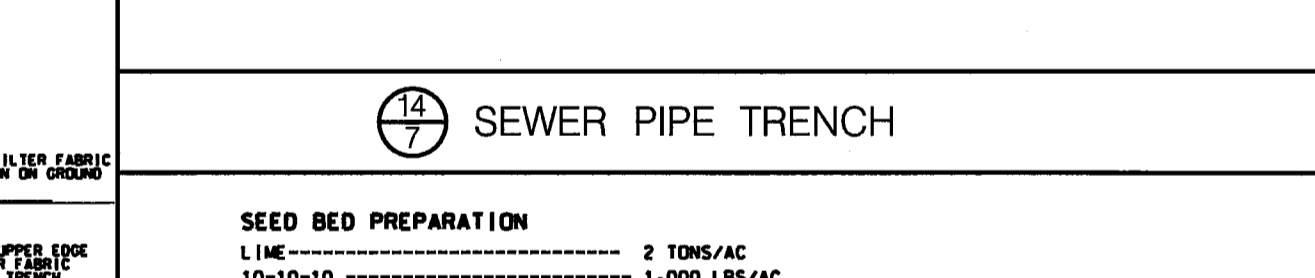
**18 WATER OVER SEWER GREATER THAN 18\"/>**



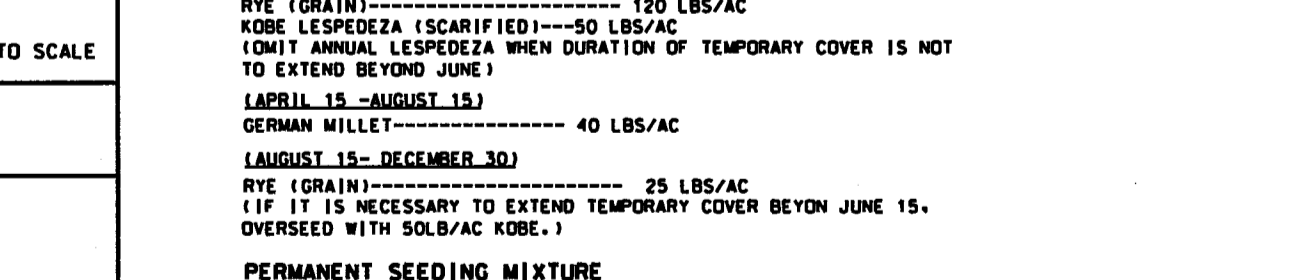
**19 WATER OVER SEWER LESS THAN 18\"/>**



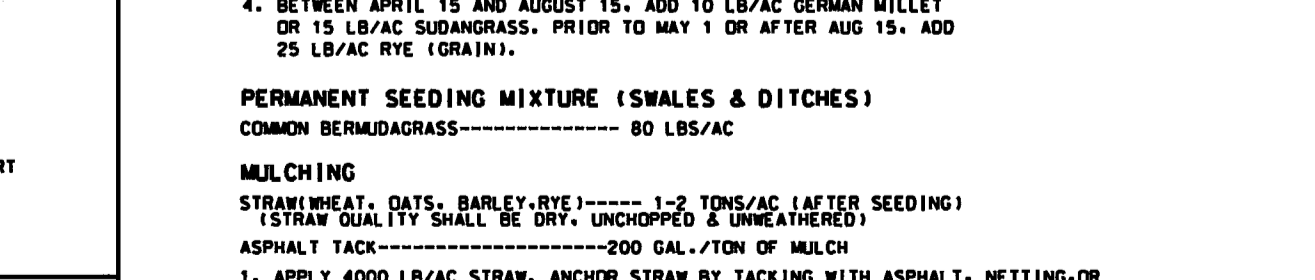
**20 CROSSING DETAILS**  
SCALE: NOT TO SCALE



**21 TEMPORARY SEDIMENT TRAP**  
SCALE: NOT TO SCALE

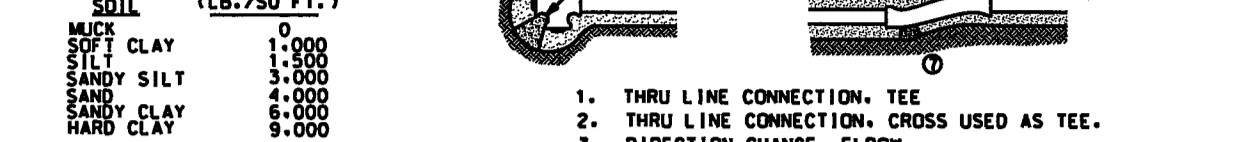


**22 NEW GATE VALVE & VALVE BOX DETAIL**  
SCALE: NOT TO SCALE



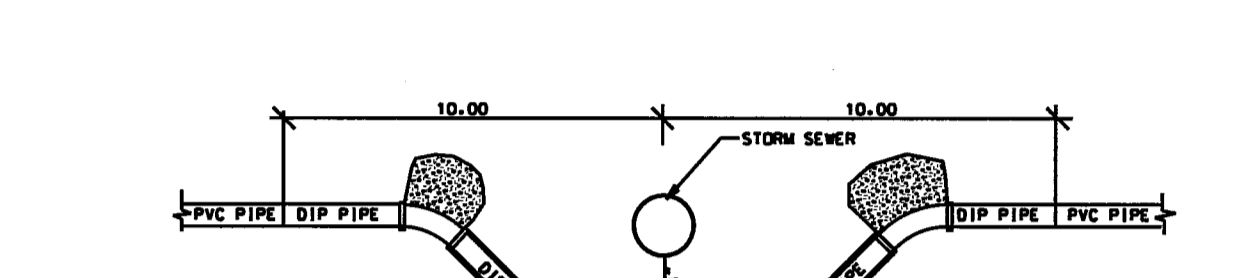
**23 TAPPING DETAIL**  
SCALE: NOT TO SCALE

RESULTANT THRUST AT FITTING AT 150 P.S.I. - WATER PRESSURE		TOTAL PRESSURE	
PIPE DIA.	PIPE WALL THICKNESS	PIPE DIA.	PIPE WALL THICKNESS
4"	1.100	2.100	1.100
6"	1.400	2.800	1.100
8"	1.700	3.500	1.100
10"	2.000	4.200	1.100
12"	2.300	4.900	1.100
14"	2.600	5.600	1.100
16"	2.900	6.300	1.100
18"	3.200	7.000	1.100
20"	3.500	7.700	1.100
24"	4.200	9.100	1.100
30"	5.000	10.500	1.100
36"	5.800	11.900	1.100
42"	6.600	13.300	1.100
48"	7.400	14.700	1.100
54"	8.200	16.100	1.100
60"	9.000	17.500	1.100

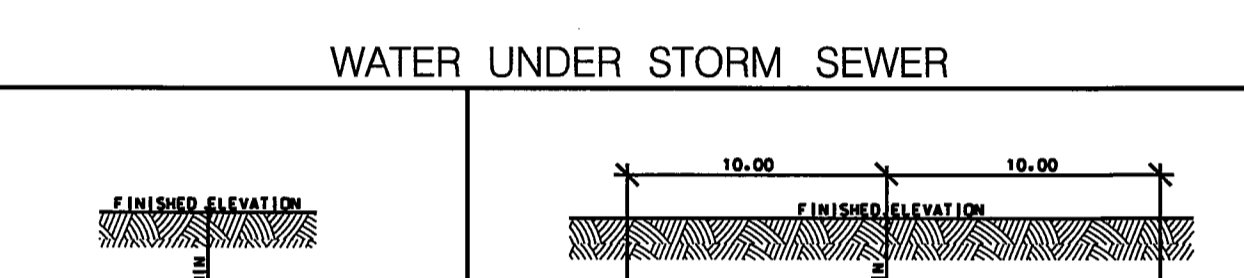


- THRU LINE CONNECTION, TEE
- THRU LINE CONNECTION, CROSS USED AS TEE
- DIRECTION CHANGE, ELBOW
- CHANGE LINE SIZE, REDUCER
- DIRECTION CHANGE, TEE USED AS ELBOW
- DIRECTION CHANGE, CROSS USED AS ELBOW
- DIRECTION CHANGE

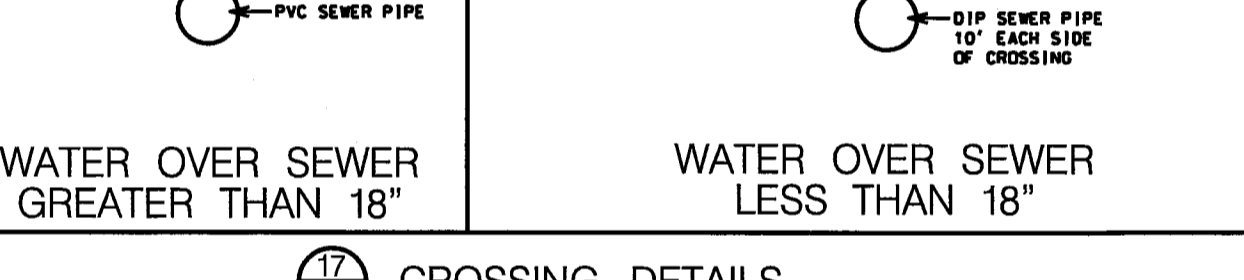
TO DETERMINE THE SIZE OF A CONCRETE THRUST BLOCK, DIVIDE THE TOTAL FORCE BY THE BEARING VALUES OF THE SOIL. THE RESULTANT WILL BE THE SIZE OF THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET. APPROXIMATE VALUES FOR VARIOUS TYPES OF SOILS ARE LISTED IN THE TABLE. NO RESPONSIBILITY CAN BE ASSUMED FOR THE ACCURACY OF THE DATA IN THIS TABLE DUE TO THE WIDE VARIATION OF BEARING LOAD CAPACITIES FOR EACH SOIL TYPE.



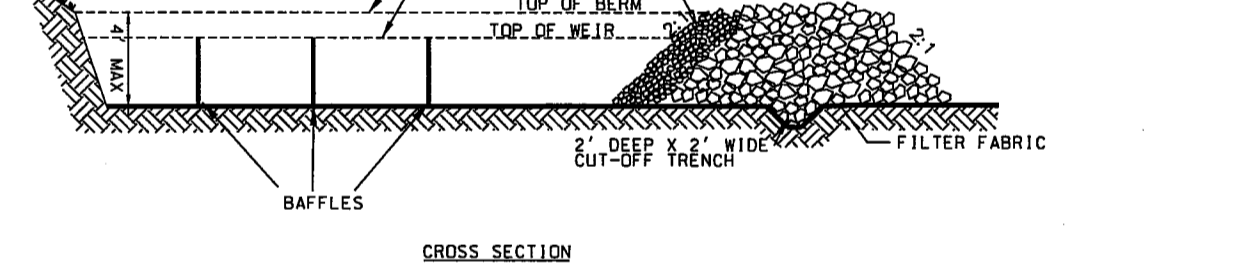
**17 WATER UNDER STORM SEWER**  
SCALE: NOT TO SCALE



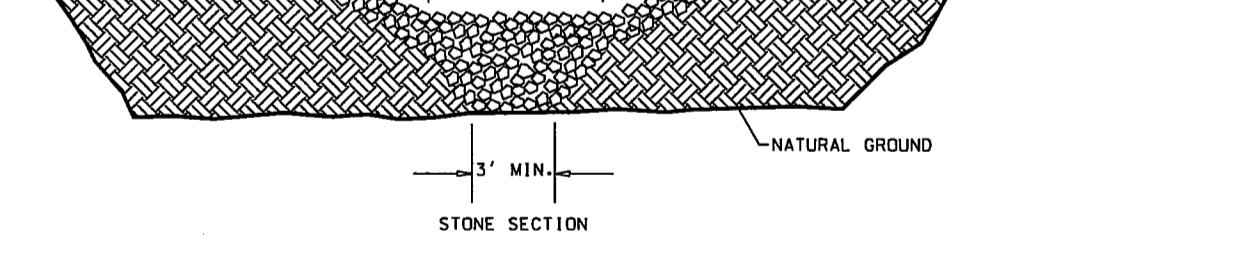
**18 WATER OVER SEWER GREATER THAN 18\"/>**



**19 WATER OVER SEWER LESS THAN 18\"/>**



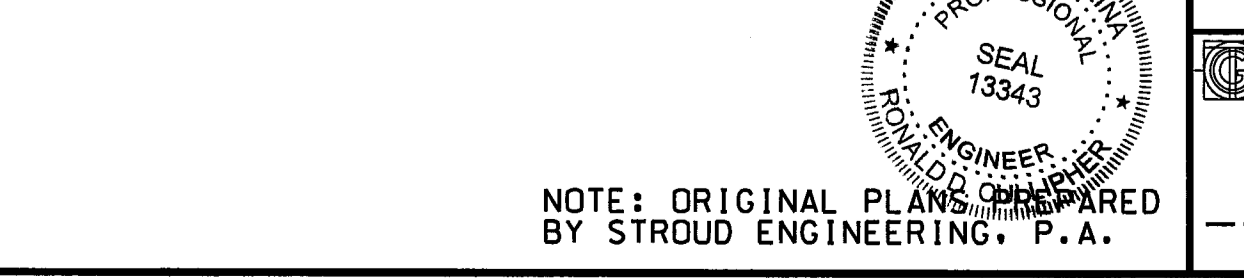
**20 CROSSING DETAILS**  
SCALE: NOT TO SCALE



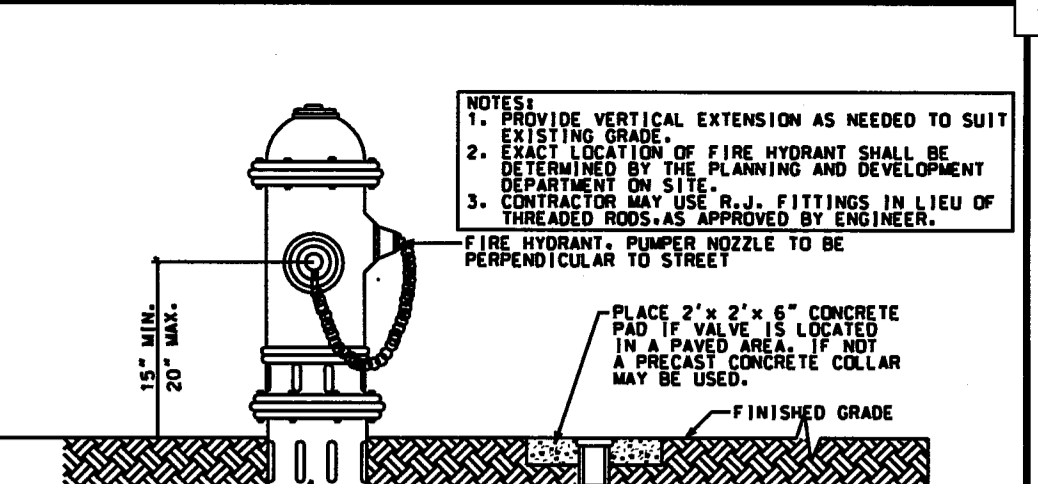
**21 TEMPORARY SEDIMENT TRAP**  
SCALE: NOT TO SCALE



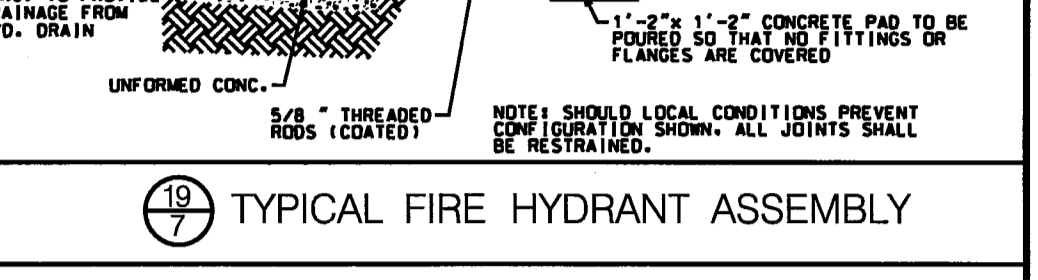
**22 NEW GATE VALVE & VALVE BOX DETAIL**  
SCALE: NOT TO SCALE



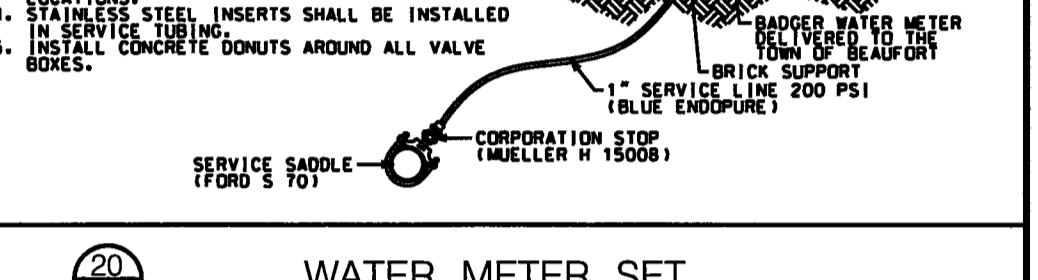
**23 TAPPING DETAIL**  
SCALE: NOT TO SCALE



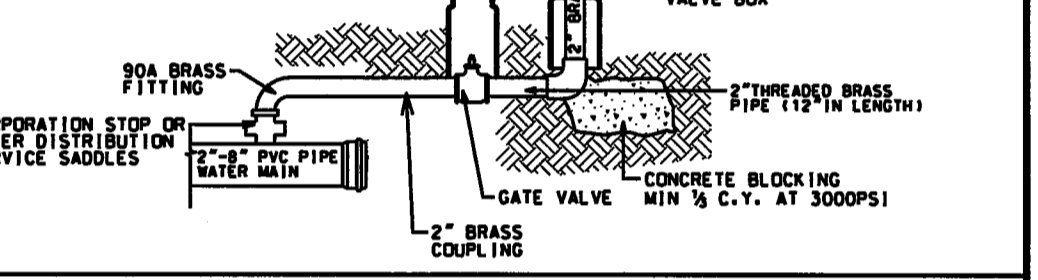
**18 TYPICAL FIRE HYDRANT ASSEMBLY**  
SCALE: NOT TO SCALE



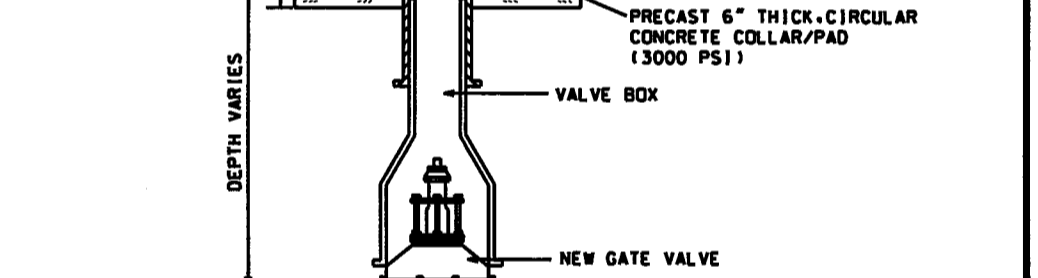
**19 WATER METER SET**  
SCALE: NOT TO SCALE



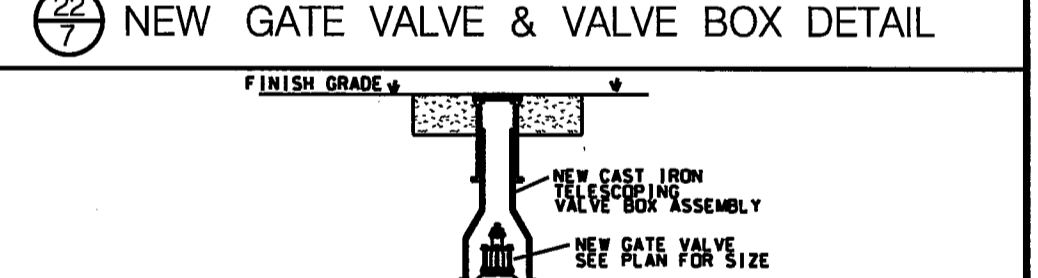
**20 TYPICAL PERMANENT BLOW OFF**  
SCALE: NOT TO SCALE



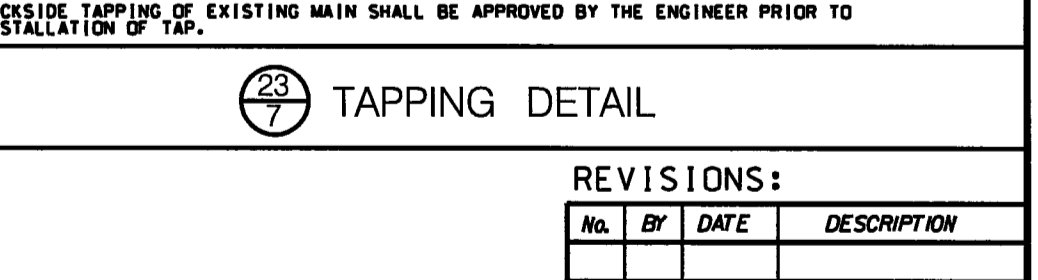
**21 CROSSING DETAILS**  
SCALE: NOT TO SCALE



**22 TEMPORARY SEDIMENT TRAP**  
SCALE: NOT TO SCALE



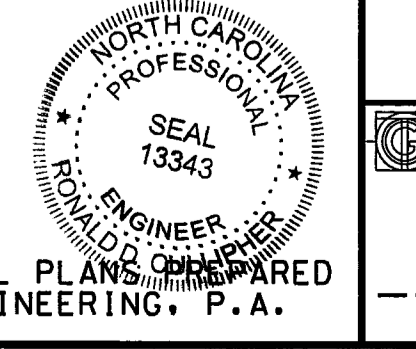
**23 NEW GATE VALVE & VALVE BOX DETAIL**  
SCALE: NOT TO SCALE



**24 TAPPING DETAIL**  
SCALE: NOT TO SCALE

REVISIONS:			
No.	BY	DATE	DESCRIPTION

DETAILS  
**PALMETTO PLANTATION @ OLDE BEAUFORT VILLAGE, PHASE 2**  
BEAUFORT TOWNSHIP, CARTERET CO., NORTH CAROLINA  
CLIENT: MERCER BUILDING & DESIGN, INC. DESIGNED: RDC  
ADDRESS: 106-C PROFESSIONAL PARK DRIVE BEAUFORT, NC 28516 DRAWN: RDC  
PHONE: (252) 728-6636 CHECKED: RDC  
**THE CULLIPHER GROUP, P.A.** APPROVED: RDC  
ENGINEERING & SURVEYING SERVICES  
151A HIGHWAY 24 MORRISVILLE, N.C. 28657 DATE: 5/11/18  
LICENSE NO. C-4482  
**RONALD D. CULLIPHER P.E.** SCALE: AS NOTED



NOTE: ORIGINAL PLANS PREPARED BY STROUD ENGINEERING, P.A.



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, June 21, 2021 – Virtual Meeting via Zoom**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case #21-20 Final Plat – Live Oak Commons

**BRIEF SUMMARY:**

The Cullipher Group has submitted the Final Plat for Live Oak Commons showing a 1.28 acre tract into 8 single-family lots. Also, the applicant has submitted Bond information to consider as well as a recreation fee in lieu of in the amount of \$1,843.20.

**REQUESTED ACTION:**

Recommendation to Board of Commissioners

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP  
Planning & Inspections Director

**BUDGET AMENDMENT REQUIRED:**

N/A



# STAFF REPORT



**To:** Planning Board Members  
**From:** Kyle Garner, AICP, Town Planner  
**Date:** June 4, 2021  
**Case No.** 21-20 Live Oak Commons – Final Plat

**THE QUESTION:** Subdivide a 1.28 acre tract into 8 Single-Family Residential Lots.

**BACKGROUND:** The preliminary plat for this area was approved in September 2020 for installation of infrastructure improvements.

Location: 1107 & 1111 Live Oak Street  
 Owners: New Vision Trust  
 Requested Action: Subdivide a 1.28 Acre Tract into 8 Lots  
 Existing Zoning: RS-5  
 Size: 1.28 acres  
 Amount of Open Space: N/A  
 Existing Land Use: Undeveloped

- SPECIAL INFORMATION:**
- As part of the Final Plat process the infrastructure can be either installed or bonded through a financial guarantee process to ensure completion of the project. The applicant has chosen to request to bond the infrastructure improvement and has submitted cost estimates for the complete cost of improvements totaling \$18,533.33 (See estimated cost of improvement sheet from engineer).
  - No sewer allocation request is being made for this project due to its approval prior to the January 11, 2021 Wastewater Allocation Policy’s adoption by the Board of Commissioners.
  - Since this project is part of a subdivision recreation fees will be required in the amount of \$1,843.20.

**Public Utilities:**  
 Water: Town Of Beaufort  
 Sanitary Sewer: Town Of Beaufort

Page: 1

**OPTIONS:**

1. Recommend approval the Final Plat for Live Oak Commons
2. Recommend approval the Bond Request for Live Oak Commons
3. Deny the request

**Attachments:**

- Attachment A - Vicinity Map
- Attachment B - Final Plat for Live Oak Commons
- Attachment C - Bond Estimates



# Case 21-20 Vicinity Map - Final Plat - Live Oak Commons

4.



121

**CERTIFICATION OF APPROVAL BY THE PLANNING BOARD**

THE BEAUFORT PLANNING BOARD HEREBY APPROVES THIS FINAL PLAT FOR LIVE OAK COMMONS, LOTS 1-8.

DATE \_\_\_\_\_  
CHAIRMAN, BEAUFORT PLANNING BOARD \_\_\_\_\_

**CERTIFICATE OF APPROVAL OF THE DESIGN AND INSTALLATION OF STREETS, UTILITIES, AND OTHER REQUIRED IMPROVEMENTS**

I HEREBY CERTIFY THAT ALL STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE TOWN OF BEAUFORT'S SPECIFICATIONS AND STANDARDS FOR LIVE OAK COMMONS LOTS 1-8, THAT GUARANTEES OF THE INSTALLATION OF THE REQUIRED IMPROVEMENTS IN AN AMOUNT AND MANNER SATISFACTORY TO THE TOWN OF BEAUFORT HAVE BEEN RECEIVED AND THAT THE FILING FEE FOR THIS PLAT IN THE AMOUNT OF \$-\_\_\_\_\_ HAS BEEN PAID.

DATE \_\_\_\_\_  
TOWN MANAGER \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF BEAUFORT AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, PARKS AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER, STORM SEWER AND WATER LINES TO THE TOWN OF BEAUFORT.

DATE \_\_\_\_\_  
OWNER \_\_\_\_\_

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS AS PART OF GALLANTS POINT FOR BEAUFORT, NORTH CAROLINA, AND THAT THIS PLAT HAS BEEN APPROVED BY THE BOARD OF COMMISSIONERS FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF CARTERET COUNTY.

DATE \_\_\_\_\_  
TOWN CLERK OF BEAUFORT \_\_\_\_\_

**REVIEW OFFICER CERTIFICATION**

STATE OF NORTH CAROLINA \_\_\_\_\_ REVIEW OFFICER OF CARTERET COUNTY  
CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

**REGISTER OF DEEDS CERTIFICATE**

FILED FOR REGISTRATION AT \_\_\_\_\_ O' CLOCK  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.  
RECORDED IN MAP BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
KAREN S. HARDESTY, REGISTER OF DEEDS

BY: \_\_\_\_\_ ASSISTANT DEPUTY

**SURVEYOR'S CERTIFICATE**

I, E. GLENN CORBETT, CERTIFY THAT THIS PLAT WAS DRAWN BY ME FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOKS REFERENCED); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOKS REFERENCED ON THE FACE OF THIS PLAT; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH GS 41-30 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

PROFESSIONAL LAND SURVEYOR L-3407 \_\_\_\_\_

**SURVEYOR'S CERTIFICATE OF PURPOSE OF PLAT**

I, E. GLENN CORBETT, CERTIFY THAT THIS PLAT CREATES A SUBDIVISION OF LAND WITHIN THE TOWN OF BEAUFORT AND THAT THE TOWN OF BEAUFORT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-3407 \_\_\_\_\_

**SITE DATA**

ZONING RS-5  
NUMBER OF LOTS = 8  
SMALLEST LOT AREA = 5099.75 S.F.  
AVERAGE LOT AREA = 6237.83 S.F.  
MAXIMUM LOT COVERAGE = 50%  
FLOOD ZONES = ZONE X AND ZONE AE6  
FIRM COMMUNITY PANEL NO. 3720730600J EFFECTIVE DATE 7/16/13  
TOTAL AREA OF LOTS 1-8 = 1.15 ACRES  
AREA WITHIN PRIVATE RIGHT OF WAY = 5838.80 S.F.  
TOTAL TRACT AREA = 1.28 ACRES.  
SETBACKS  
FRONT 20' MBL  
SIDE 5' MBL  
REAR 15' MBL  
REAR 20' MBL LOFTIN LANE  
SIDE 10' (LIVE OAK STREET)

N/F  
JO ANN CANNON  
NCPIN 730619514938000  
DB 1397 PG264  
ZONE R-8

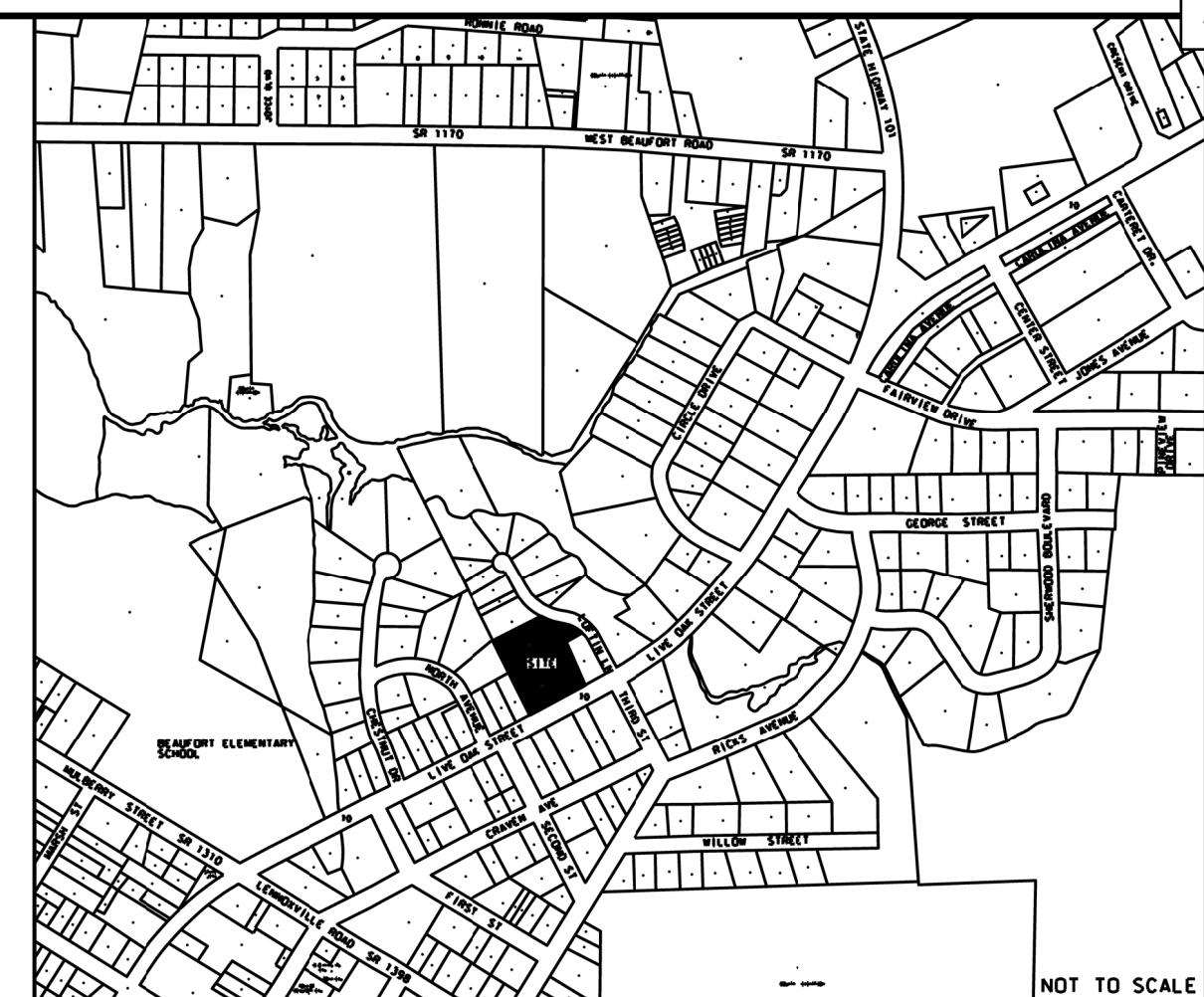
N/F  
DWIGHT YELTON ETUX PATRICIA  
NCPIN 730619513860000  
DB 1389 PG138  
ZONE R-8

N/F  
LYNN B SWANN ETAL HELEN MILLER  
NCPIN 730619514669000  
DB 1645 PG122  
ZONE R-8

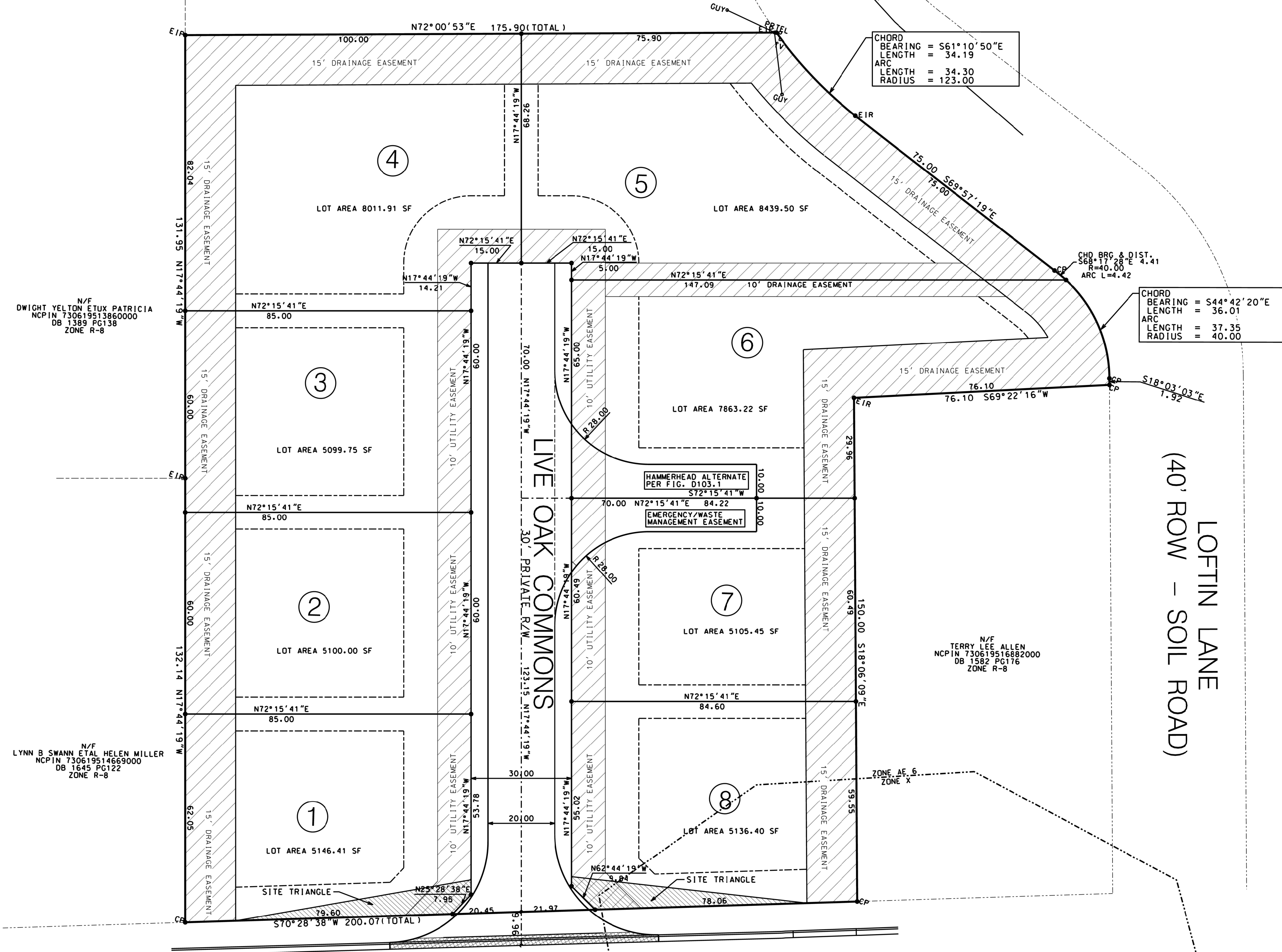
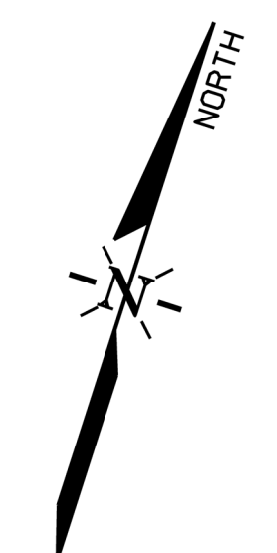
CHORD  
BEARING = S61°10'50"E  
LENGTH = 34.19  
ARC  
LENGTH = 34.30  
RADIUS = 123.00

CHORD  
BEARING = S44°42'20"E  
LENGTH = 36.01  
ARC  
LENGTH = 37.35  
RADIUS = 40.00

N/F  
TERRY LEE ALLEN  
NCPIN 730619516820000  
DB 1582 PG176  
ZONE R-8



VICINITY MAP



US HWY 70  
(60' ROW - LIVE OAK STREET)

BEFORE YOU DIG!  
NC ONE CALL  
(TOLL FREE)



(OR 1-800-632-4949)  
IT'S THE LAW!

**REVISIONS:**

No.	BY	DATE	DESCRIPTION

PIN NO. S  
730619516709000  
730619515723000  
730619515910000  
ADDRESS: 1107 & 1111 LIVE OAK ST  
101 LOFTIN LANE

FINAL PLAT

# LIVE OAK COMMONS

BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

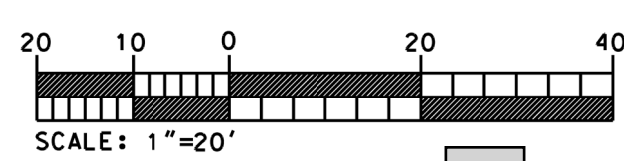
CLIENT: NEW VISION TRUST CUSTODIAN  
FBO WALTER D. BRADY IRA

ADDRESS: 805 FRONT STREET  
BEAUFORT, NC 28516


PHONE: 252-241-2780

**THE CULLIPHER GROUP, P.A.**  
ENGINEERING & SURVEYING SERVICES  
101A HIGHWAY 24  
MORHEAD CITY, N.C. 28557  
(252) 773-0900 LICENSE NO. C-4482  
PRELIMINARY FOR REVIEW ONLY  
E. GLENN CORBETT, PLS DATE

SURVEYED BY: JH  
DRAWN: RDC  
CHECKED: EGC  
APPROVED: EGC  
DATE: 5/26/21  
SCALE: 1"=20'




# BOND ESTIMATE

 <p>Town of Beaufort 701 Front Street Beaufort, NC 28516 (252) 728-2141 www.beafortnc.org</p>	PROJECT NAME:	LIVE OAK COMMONS
	OWNER:	NEW VISION TRUST CUSTODIAN FBO WALTER D. BRADY, IRA
	ENGINEER:	THE CULLIPHER GROUP, P.A.
	ENGINEER PHONE NO.:	252-773-0090
	ENGINEER EMAIL:	ron@tcgpa.com
	DATE:	6/1/2021

UNLESS OTHERWISE SPECIFIED ALL BONDS ARE FOR THE BODY OF THE PLAT

## SIGNATURE AND SEAL OF SUBMITTING ENGINEER

	<p>I, <u>Ronald D Cullipher</u> a Registered Licensed Professional, do hereby verify that I have personally supervised the measurement thereof and that the quantities expressed herein represent an accurate measurement of the work to be completed on this project. This bond estimate covers all the infrastructure improvements on the project referenced above.</p> <p><i>Please sign below</i></p> <p style="text-align: center;"><u>Ronald D Cullipher</u>      <u>6/1/21</u></p>
------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

STREET PAVEMENT	LINEAR FEET:	WIDTH:	UNIT COST (Dollars/SY)	TOTAL:
Final Asphalt Surface Course	260	20	\$ 16.50	\$ 9,533.33
Initial Asphalt Surface Course				\$ -
Asphalt Intermediate Course				\$ -
Asphalt Base Course				\$ -
Aggregate Base Course				\$ -
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ 9,533.33</b>

STREET INCIDENTALS	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
Street Signs		Each		\$ -
Street Trees (40' O.C.)		Each		\$ -
Street Lights		Each		\$ -
Pavement Striping		LF		\$ -
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ -</b>

CURBING & SIDEWALK:	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
2'-6" Standard Curb		LF		\$ -
2'-6" Rolled curb		LF		\$ -
4' Wide Sidewalk		LF		\$ -
5' Wide Sidewalk	150	LF	\$ 20.00	\$ 3,000.00
Driveway Aprons		Each		\$ -
Handicap Ramp		Each		\$ -
				\$ -
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ 3,000.00</b>

SANITARY SEWER	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
8" PVC Gravity Sewer		LF		\$ -
8" DIP Gravity Sewer		LF		\$ -
10" PVC Gravity Sewer		LF		\$ -
10" DIP Gravity Sewer		LF		\$ -
12" PVC Gravity Sewer		LF		\$ -
12" DIP Gravity Sewer		LF		\$ -
15" PVC Gravity Sewer		LF		\$ -
15" DIP Gravity Sewer		LF		\$ -
2" PVC Force Main		LF		\$ -
4" PVC Force Main		LF		\$ -
4" DIP Force Main		LF		\$ -
6" PVC Force Main		LF		\$ -
6" DIP Force Main		LF		\$ -
8" PVC Force Main		LF		\$ -
8" DIP Force Main		LF		\$ -
4'0" Dia. Manhole		LF		\$ -
5'0" Dia Manhole		LF		\$ -
Service Laterals, Main to Cleanout		Each		\$ -
Pump Station		Lump Sum		\$ -
Testing and Final As-builts	1	Lump Sum	\$ 3,000.00	\$ 3,000.00
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ 3,000.00</b>

WATER	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
2" PVC Water Main		LF		\$ -
4" PVC Water Main		LF		\$ -
4" DIP Water Main		LF		\$ -
6" PVC Water Main		LF		\$ -
6" DIP Water Main		LF		\$ -
8" PVC Water Main		LF		\$ -
8" DIP Water Main		LF		\$ -
10" PVC Water Main		LF		\$ -
10" DIP Water Main		LF		\$ -
12" PVC Water Main		LF		\$ -
12" DIP Water Main		LF		\$ -
2" Valve (includes Curb Box)		Each		\$ -
4" Valve (includes Curb Box)		Each		\$ -
6" Valve (includes Curb Box)		Each		\$ -
8" Valve (includes Curb Box)		Each		\$ -
10" Valve (includes Curb Box)		Each		\$ -
12" Valve (includes Curb Box)		Each		\$ -

Fire Hydrant (includes Hydrant Leg & Valve)		Each		\$ -
Vaults		Each		\$ -
Manholes		Each		\$ -
Fittings		Lump Sum		\$ -
Service Connections (includes Tap, Service Tubing, Meter Box and Meter Setter)		Each		\$ -
Testing and Final As-Builts`	1	Lump Sum	\$ 3,000.00	\$ 3,000.00
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ 3,000.00</b>

DRAINAGE	QUANTITY:	UNIT:	UNIT COST:	TOTAL:
15" RCP		LF		\$ -
15" Dual Wall HDPE		LF		\$ -
15" Dual Wall Polypropylene		LF		\$ -
18" RCP		LF		\$ -
18" Dual Wall HDPE		LF		\$ -
18" Dual Wall Polypropylene		LF		\$ -
24" RCP		LF		\$ -
24" Dual Wall HDPE		LF		\$ -
24" Dual Wall Polypropylene		LF		\$ -
30" RCP		LF		\$ -
30" Dual Wall HDPE		LF		\$ -
30" Dual Wall Polypropylene		LF		\$ -
36" RCP		LF		\$ -
36" Dual Wall HDPE		LF		\$ -
36" Dual Wall Polypropylene		LF		\$ -
42" RCP		LF		\$ -
42" Dual Wall HDPE		LF		\$ -
42" Dual Wall Polypropylene		LF		\$ -
48" RCP		LF		\$ -
48" Dual Wall HDPE		LF		\$ -
48" Dual Wall Polypropylene		LF		\$ -
15" FES		Each		\$ -
18" FES		Each		\$ -
24" FES		Each		\$ -
30" FES		Each		\$ -
36" FES		Each		\$ -
42" FES		Each		\$ -
48" FES		Each		\$ -
Curb Inlet		Each		\$ -
Yard Inlet		Each		\$ -
Manhole (0'-6' Deep)		Each		\$ -
				\$ -
				\$ -
				\$ -
			<b>Subtotal</b>	<b>\$ -</b>

**TOTAL ESTIMATE ⇒ \$18,533.33**