



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, February 19, 2024 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting

Call to Order

Roll Call

Agenda Approval

Minutes Approval

1. PB Draft Minutes 011624

Election of Officers

Public Comment

Old Business

1. To recommend approval or denial to the Board of Commissioners for the proposed M&H Storage Site Plan

New Business

1. To recommend approval or denial to the Board of Commissioners for the proposed Maritime Museum Education Center Site Plan
2. To recommend approval or denial to the Board of Commissioners for the rezoning of the two parcels of Beaufort Village Condominiums on Lennoxville Road

Commission / Board Comments

Staff Comments

Adjourn



Town of Beaufort, NC
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Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, January 16, 2024 - Train Depot, 614 Broad Street, Beaufort, NC 28516
Minutes

Call to Order

Chair Merrill called the January 16, 2024 Planning Board meeting to order at 6:00 p.m.

Roll Call

Members Present: Chair Merrill, Vice Chair Meelheim, Member Bowler, and Member Stanziale

A quorum was declared with four members present.

Staff Present: Kyle Garner, Michelle Eitner, Town Attorney Arey Grady, and Laurel Anderson

Agenda Approval

Chair Merrill asked if there were any changes to the Agenda and hearing none, he asked for a motion.

Vice-Chair Meelheim made the motion to approve the agenda and Member Stanziale made the second. Chair Merrill took a vote that was unanimously approved.

Voting yea: Chair Merrill, Vice Chair Meelheim, Member Bowler, Member Stanziale

Minutes Approval

1. PB Draft Minutes for 121823

Member Stanziale made the motion to approve the Minutes and Member Bowler made the second. Chair Merrill took a vote that was unanimously approved.

Voting yea: Chair Merrill, Vice Chair Meelheim, Member Bowler, Member Stanziale

Public Comment

Chair Merrill opened public comments and asked if anyone 2 would like to speak. There were no public comments.

New Business

1. Case #23-10 Special Use Permit for an Accessory Dwelling Unit at 118 Orange Street

Ms. Eitner gave the Staff Report and explained that this application is for a Special Use Permit (SUP) for an Accessory Dwelling Unit (ADU) per the R-8 Zoning District for an existing accessory structure in the backyard which is proposed for renovation and addition in order to establish the ADU. The property owner has obtained a Certificate of Appropriateness (COA) from the Historic Preservation Commission (HPC). The request is consistent with the current and new Land Use Plans. Due to past concerns with Fire Department access to Accessory Dwelling Units, staff reached out to the Fire Marshal for preliminary review of the request. Fire Marshal Robert Smith replied, "I looked over this proposed addition and I have no issues with it." On the fourth page of Attachment F – Application Package, the applicant suggests that "This SUP application and ADU design plan has been approved by the Beaufort Historical Preservation Commission." This is incorrect – the Accessory Dwelling Unit use of the structure was not discussed with the Historic Preservation Commission. The HPC application materials refer to the structure as "detached structure" or "back building" and are provided for reference with the SUP application materials.

Member Stanziale asked if the rear setback met the code and Mrs. Eitner responded that it did.

Chair Merrill questioned if the accessory dwelling unit did not show plans for a kitchen area was it still considered a dwelling unit? Town Attorney Mr. Grady stated that the definition did not necessarily require a kitchen, and if it were not an ADU, what would it be? He noted that if it were not an ADU the SUP would not be required as it would just be an accessory building, and the applicant should be questioned as to the intended use.

Ms. Emrich, applicant and property owner, and Dempsey Hodges, contractor for the project, came to the podium and Ms. Emrich stated that the building would be used for family and not rented out. Member Stanziale pointed out there was a bedroom and bathroom but not kitchen. There was discussion regarding the meanings of accessory unit and accessory dwelling unit. It was noted that if the building was intended to have a kitchen, according to the Board, a SUP would be required.

Ms. Emrich stated that it was not their intention to include a kitchen. Mr. Grady clarified with Mrs. Emrich that if it did not include a kitchen the renovation could move forward with a building permit only. There was further discussion as to the meaning of accessory dwelling unit. Mr. Grady stated that if the Board would recommend approval the applicant could amend their site plan to include a kitchen to comply with the ADU definition as understood by Chair Merrill, and further stated that the ADU definition did not necessarily require a kitchen. Member Stanziale stated that if a kitchen were not included, the SUP was not necessary according to Chair Merrill, but if a kitchen would be added later a SUP would be required.

Member Stanziale asked if an accessory unit was an extension of the main house, would it need to be connected to the house. Mrs. Eitner explained that it was more of a concept of living space and did not need to be attached.

Hearing no further discussion, Chair Merrill asked for a motion.

Vice-Chair Meelheim made the motion to submit to the Board of Commissioners and recommend adoption as an accessory dwelling use with the understanding that the applicant will address the issue of the kitchen prior to submission to the Board of Commissioners.

The applicant noted her confusion at the kitchen requirement and the Board clarified that they would recommend approval of the SUP but if the applicant went forward to the Board of Commissioners (BOC) they would need to amend the plans to include a kitchen area. If they did not want to add a kitchen area and request a SUP then they could withdraw the application.

Member Stanziale made the second. Chair Merrill requested a roll call vote and Secretary Anderson took a vote that was unanimously verbally approved.

Voting yea: Chair Merrill, Vice Chair Meelheim, Member Bowler, Member Stanziale

2. Case #24-01 – Site Plan M&H Storage

Mrs. Eitner gave the Staff Report and explained the site currently is an undeveloped tract separated from the ABC Store at the frontage of the property. A Special Use Permit for Mini-Storage Facility was issued in 2022 to construct a 129,360sf mini storage facility including: 2 one-story climate-controlled mini storage prefabricated metal buildings, one with a 900sf office in it (49,680sf each); 1 one-story open air RV and boat parking prefabricated metal structure (30,000sf), paved driveways, parking spaces, and loading/unloading areas with two routes of ingress/egress connecting to the ABC Store parking lot and Beaufort Spring driveway (access easements already recorded); buffer landscaping on north and east property lines with 6'-tall opaque fence and 10'-wide Type A opaque landscaping buffer, vehicle accommodation area landscaping on the west property line adjacent to parking area, and a sidewalk along frontage of M&H Storage and ABC Store properties (within existing easement). Mrs. Eitner further pointed out that Mr. Clark, Town Manager, requested that the applicant consider coordinating stormwater management with the Town's newly purchased property directly west of the subject property.

Mrs. Eitner stated that a Special Use Permit without site plan was issued for the Mini-Storage Facility in August 2022. Two conditions were placed on the SUP: a five-year expiration date, and a requirement to resolve the boundary line dispute between the subject property and the eastern abutting property (Beaufort Spring Housing Association). This property line dispute was resolved in November 2022, rendering the SUP effective. This project meets the design criteria required in the LDO and staff recommends approval.

Vice-Chair Meelheim asked about the lighting and Mrs. Eitner explained that the landscaping would also help contain the light on the property, and Vice-Chair Meelheim further clarified that she was specifically asking about headlights of cars entering and leaving the property. Mr. Ron Cullipher of The Cullipher Group, representing the applicant, stated that the lighting would be security downlights installed on the storage buildings, as shown on the site plans, and the plans also showed there were no light poles. Chair Merrill stated that if any light issues were addressed up front there would be no complaints, and Mr. Cullipher noted that the plans clearly stated on Sheet 2 "shield light from adjoining property," and there was no street lighting, 20 ft poles, etc., and they had addressed the zoning ordinance in their plans.

Member Stanziale asked about the reference to combining stormwater management and Mr. Cullipher explained that the Town of Beaufort had recently acquired adjoining property and if it worked out the stormwater management could be combined.

Chair Merrill asked for a motion and then stated that the Planning Board had seen the site plan during two or three different meetings and it appeared that the driveway issues had been taken care of adequately and the original proposed access would go through the ABC store parking lot, and through the Planning Board's process that had been improved. Mrs. Eitner pointed out the access would still go through the ABC store property with a second access utilizing the adjoining Beaufort Springs apartment road. Member Stanziale then moved for approval and Chair Merrill then asked what the main access would be and Mr. Cullipher stated that either one could be and storage facilities had very low vehicle traffic. Member Bowler then asked to see the driveway entrances on the site map and then asked to clarify that there would be no boat storage. Mr. Cullipher stated that there would be boat storage at the rear of the property. Chair Merrill stated that he had not read the Planning Board prior minutes when the site plan was discussed but he thought the Board had done away with the access through the ABC store parking lot.

Member Stanziale stated that he was for as few access points on Live Oak St as possible and could not imagine the ABC store traffic volume was that busy. He also noted that DOT probably wouldn't give another access point that close on Live Oak St. After further discussion he asked Mr. Cullipher if he had needed to speak with DOT to add additional traffic to that access point and Mr. Cullipher replied that he did not.

Member Bowler asked how many boat trailer slots there would be and after some discussion it was determined there would be 38 slots with two larger bays.

Chair Merrill asked for a motion and Member Bowler made the motion to approve as submitted and seconded by Member Stanziale. Chair Merrill requested a roll call vote which did not pass.

Voting yea: Member Bowler, Member Stanziale

Voting nay: Chair Merrill, Vice-Chair Meelheim

Chair Merrill stated that the Board had a major objection to the ABC store parking lot access from the beginning of the process and through at least three meetings it was not acceptable to them. Mrs. Eitner asked if he was referring to the Special Use Permit or the subdivision of the property and Chair Merrill stated that he did not remember, but the Board found the access through the ABC parking lot objectionable.

Vice-Chair Meelheim made a motion to table the site plan until the issues were resolved.

Town Attorney Grady stated that Mrs. Eitner was giving very good guidance and if the site plan was denied the Board must specify the design criteria it did not meet, and in looking through the criteria he did not see any it did not meet. He further stated that this was a recommendation to the BOC who would take final action and it was good practice if not a legal requirement to articulate the provision in the LDO it did not meet.

Member Stanziale noted that if the site plan met all the requirements the Board could not deny it and Mr. Grady agreed. Mr. Grady explained that the motion to approve had failed which was a de facto denial of the plan and unless the plan had drastically changed since the SUP had been approved the Board must approve it as a recommendation to the BOC. He then read the LDO Section 18 which states “The plan shall first be reviewed by the Planning Board and shall be forwarded with comments and/or recommendations to the BOC for consideration,” and if the vote was not to approve it the Site Plan could move forward to the BOC with no approval or denial and articulating why. Chair Merrill asked if they were legally allowed to not approve it and Mr. Grady stated that the Planning Board made recommendations so the better question would be if the BOC could legally deny it, and if it fit in with the Ordinance the applicant was entitled to approval if the requirements were met, and until someone pointed out the requirements that were not met then the presumption was that they would get approval. Mr. Grady further explained that the Special Use Permit process was designed to capture more subjective elements such as access and traffic flow, so unless the plan had drastically changed from what had been approved through the SUP process - Chair Merrill interrupted and stated that it had drastically changed and one item that was driving subsequent meetings was the ABC parking lot access. Chair Merrill stated his surprise to see that access on the plans and he had not had time to research but agreed with Vice-Chair Meelheim’s motion to table so they could see if it met the requirements rather than the PB feel pressure to approve it when it went against everything they had been trying to accomplish.

Member Bowler said that if the Board did not approve it for the sake of clarity they needed to be super specific as to why it was not approved and asked if they tabled it could they see the comments and plans from the previous PB meetings to compare to what they were seeing tonight, and it wasn’t clear to her whether the site plan conformed to what they had approved before. Mrs. Eitner reminded her that it was not necessarily what the Planning Board approved but the Board of Commissioners, so even if the PB had discussed it if the BOC had not picked it up the PB couldn’t take it, and all the agenda minutes and packets were online and readily available for review.

Chair Merrill stated that if it was tabled they would have time to review and he seconded the motion.

Member Stanziale asked what was originally submitted as he wasn’t a member at that time and Mrs. Eitner explained that a site plan was not submitted for a Special Use Permit as it was just for the use. Chair Merrill stated that to the best of his recollection there was a plan submitted that showed access to the property going through the ABC parking lot. Mr. Grady said he remembered it as being a straight-up subdivision approval.

Member Stanziale asked Mr. Garner what he recalled and Mr. Garner stated his best recollection was the original request was just for the use and had a small conceptual drawing with two points of ingress and egress as requested by Public Safety, specifically the fire department, and Mr. Garner had recommended the two access points. Member Stanziale then asked Chair Merrill to explain his issue with the access point through the ABC store and Chair Merrill responded that he felt it was a safety issue. Member Stanziale repeated that he doubted DOT would allow another separate access point that close onto Live Oak Street. Chair Merrill said that Mr. Garner had stated a second access was required and Mr. Garner clarified that it had been a recommendation of Public Safety and if the Planning Board deemed that they would only recommend one driveway, he felt the applicant would be pleased they did not have to spend the extra money for the second access. He said Mrs. Eitner would verify the recommendation with Public Safety and it would be seen at the BOC meeting if they agreed with the removal of the second access. Vice-Chair Meelheim then stated she remembered the conversation regarding the two entrances.

Chair Merrill took a vote to table the site plan that was approved.

Voting nay: Member Stanziale

3. Case #24-02 - Davis Bay Final Plat

Mrs. Eitner gave the Staff Report and explained the applicant wished to subdivide two tracts totaling 20.08 acres into 4 lots (These lots would be served by Phase 3 of the Beau Coast Development) and the preliminary plat for this area was approved in January 2023 for installation of infrastructure improvements. She updated and corrected the Staff Report, noting that the property owner was now Blue Treasure and the map should show the property as within Town of Beaufort’s city limits. Town staff agrees this plat meets the requirements of the preliminary plat.

Member Stanziale asked how Lot 8C was accessed and Mr. Boyd explained that it would be accessed through the shared driveway across Lots 8B and 9C. Chair Merrill asked if the “hammerhead” section of the driveway was to satisfy Public Safety’s requirements and Mr. Boyd agreed.

Vice-Chair Meelheim made the motion to recommend approval and Member Stanziale made the second. Chair Merrill took a vote that was unanimously approved.

Voting yea: Chair Merrill, Vice Chair Meelheim, Member Bowler, Member Stanziale

Commission / Board Comments

Vice Chair Meelheim stated her appreciation for the amount of work the staff does and recommended the inclusion of prior minutes in agenda items.

Member Bowler reiterated the statements made by Vice-Chair Meelheim and asked for more training.

Chair Merrill also asked for more training.

Staff Comments

Mr. Garner gave an update on the Unified Development Ordinance process and stated that it would probably be moving forward this spring.

Vice-Chair Meelheim asked for an update on sidewalk projects. Mr. Garner asked that she send her request in an email so he could forward to Assistant Town Engineer Sam Bell for a progress report.

Mr. Garner requested the Board advise Ms. Anderson of any revisions to this meeting’s minutes before the next meeting.

Mr. Grady noted that training was given with some frequency and there had been recent training on the new 160-D standards recently.

Adjourn

Member Bowler made the motion to adjourn and Member Stanziale made the second. Chair Merrill took a vote that was unanimously approved.

Voting yea: Chair Merrill, Vice-Chair Meelheim, Member Bowler, Member Stanziale

Chair Merrill then declared the meeting adjourned.

DRAFT

Ralph Merrill, Chair

DRAFT

1.

Laurel Anderson, Board Secretary

DRAFT

DRAFT 1.



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**Beaufort Planning Board Regular Meeting
6:00 PM Monday, February 19, 2024 – 614 Broad Street – Train Depot**

AGENDA CATEGORY: Old Business

SUBJECT: To recommend approval or denial to the Board of Commissioners for the proposed M&H Storage Site Plan

BRIEF SUMMARY:

The Cullipher Group, agent for property owner M&H Storage LLC, has applied for site plan review to construct a 129,360sf mini storage facility including:

- 2 one-story climate-controlled mini storage prefabricated metal buildings, one with 900sf office (49,680sf each)
- 1 one-story open air RV and boat parking prefabricated metal structure (30,000sf)

A Special Use Permit was granted for the mini-storage use in August 2022. This review is just for the site plan.

REQUESTED ACTION:

Discussion on Proposed Site Plan

Recommendation to Board of Commissioners for Site Plan

EXPECTED LENGTH OF PRESENTATION:

15 Minutes

SUBMITTED BY:

Michelle Eitner

Town Planner

BUDGET AMENDMENT REQUIRED:

N/A

STAFF REPORT



To: Planning Board Members
From: Michelle Eitner, Town Planner
Date: February 19, 2024
Project 1783 Live Oak - Site Plan – M&H Storage

THE QUESTION: To recommend approval or denial to the Board of Commissioners for the proposed M&H Storage Site Plan

BACKGROUND: This site currently is an undeveloped tract separated from the ABC Store at the frontage of the property. A Special Use Permit for Mini-Storage Facility was issued in 2022. This administrative site plan review is the next step in the process. The Planning Board tabled this item pending additional information regarding the timeline of past approvals.

Location: 1783 Live Oak Street (1791 Live Oak is the ABC Store in front)
 Applicant: The Cullipher Group
 Owners: M&H Storage LLC
 Requested Action: To recommend approval or denial to the Board of Commissioners
 Existing Zoning: B-1
 PIN: 730612866063000
 Size: 7.47 acres
 Building Square Footage: 129,360 Square Feet
 Existing Land Use: Undeveloped

PUBLIC UTILITIES & WORKS:

Water: Town of Beaufort
 Sanitary Sewer: Town of Beaufort

OPTIONS:

1. Recommend approval of the Site Plan
2. Recommend denial of the Site Plan based on specific failures to meet requirements of the LDO.

Exhibits:

- Attachment A - Planning Board Staff Report
- Attachment B - Vicinity Map
- Attachment C - Site Plan – M&H Storage
- Attachment D - SUP Case 22-16 Signed Order
- Attachment E – Timeline of Approvals

Staff Comments:

The Cullipher Group, authorized agent for property owner M&H Storage LLC, has applied for site plan review to construct a 129,360sf mini storage facility including:

- 2 one-story climate-controlled mini storage prefabricated metal buildings, one with a 900sf office in it (49,680sf each)
- 1 one-story open air RV and boat parking prefabricated metal structure (30,000sf)
- Paved driveways, parking spaces, and loading/unloading areas with
- Two routes of ingress/egress connecting to the ABC Store parking lot and Beaufort Spring driveway (access easements already recorded)
- Buffer landscaping on north and east property lines with 6’-tall opaque fence and 10’-wide Type A opaque landscaping buffer
- Vehicle Accommodation Area landscaping on the west property line adjacent to parking area
- Sidewalk along frontage of M&H Storage and ABC Store properties (within existing easement)
- Stormwater conveyance and retention in accordance with NCDEQ State Stormwater Management Permit No. SW8070323 (joint with ABC Store property).
- Filling and grading in accordance with NCDEQ Approved Erosion & Sedimentation Control Plan CARTE-2024-007 (joint with ABC Store property).

The Technical Review Committee reviewed this project, provided comments, and requested additional information and revised site plans. Updated information and plans were provided. The Fire Marshal, Public Works Director, Public Utilities Director, and Assistant Town Engineer have confirmed that the updated project complies with applicable requirements.

The Town Manager requested that the applicant consider coordinating stormwater management with the Town’s newly purchased property directly west of the subject property. The applicant identified that they would like to move forward with their proposed development review at this time, but will consider joint stormwater management in the future, stating “We are open to discussion at the point the Town has a plan and a concept presented for them to review.”

A Special Use Permit without site plan was issued for the Mini-Storage Facility in August 2022. Two conditions were placed on the SUP: a five-year expiration date, and a requirement to resolve the boundary line dispute between the subject property and the eastern abutting property (Beaufort Spring Housing Association). This property line dispute was resolved in November 2022, rendering the SUP effective.

Conclusion

This project meets the design criteria required in the LDO and staff recommends approval.

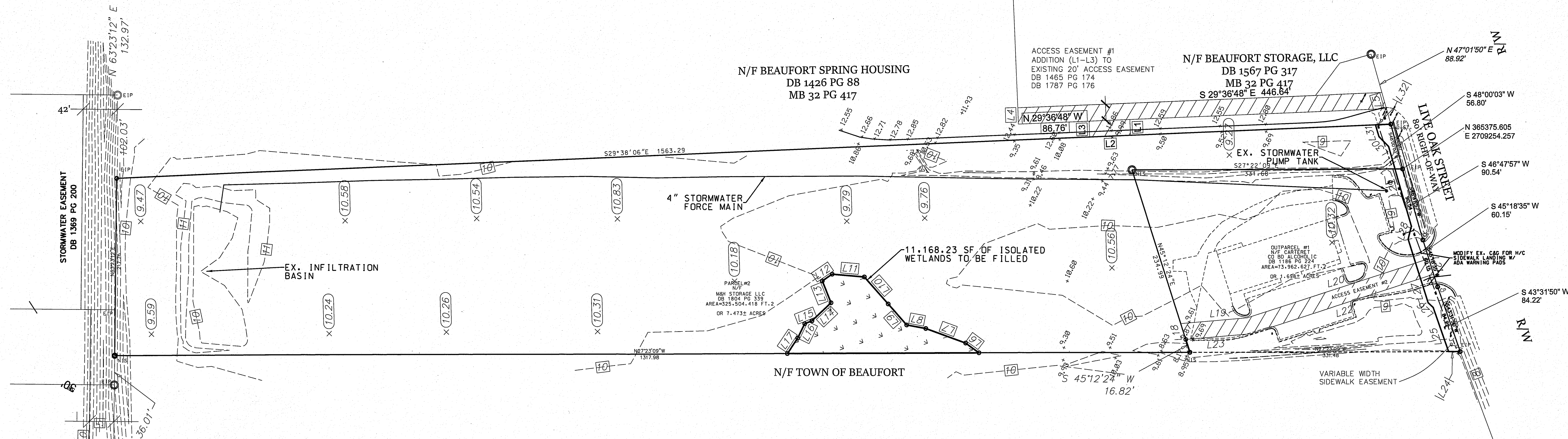
M & H Storage Site Plan Vicinity Map

1783 Live Oak Street





VICINITY MAP N.T.S.



ACCESS EASEMENT # 1 LINE TABLE

LINE #	LENGTH	DIRECTION
L1	19.34'	S 60°23'12\" W
L2	50.02'	N 29°38'06\" W
L3	19.36'	N 60°21'54\" E
L4	20.00'	N 60°55'06\" E
L5	20.56'	S 47°01'50\" W

ACCESS EASEMENT # 2 LINE TABLE

LINE #	LENGTH	DIRECTION
L18	20.49'	S 45°12'24\" W
L19	81.91'	N 32°13'43\" W
L20	233.95'	N 45°13'20\" W
L21	20.00'	N 45°18'35\" E
L22	236.05'	S 45°13'20\" E
L23	79.73'	S 32°13'43\" E

UTILITY EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
L24	14.29'	S 27°23'09\" E
L25	57.47'	S 43°31'50\" W
L26	8.57'	S 16°01'42\" W
L27	81.50'	S 45°18'35\" W
L28	16.40'	N 76°37'52\" E
L29	101.60'	S 46°47'57\" W
L30	17.05'	N 18°50'23\" E
L31	14.94'	S 46°26'19\" W
L32	18.81'	S 29°38'06\" E

WETLANDS LINE TABLE

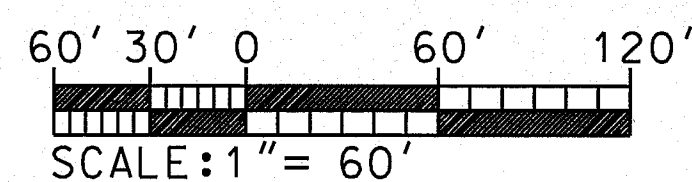
LINE #	LENGTH	DIRECTION
L6	20.38'	N 09°12'25\" E
L7	52.05'	N 07°06'08\" W
L8	23.81'	N 16°40'22\" W
L9	34.54'	N 21°36'05\" E
L10	44.21'	N 21°35'28\" E
L11	39.64'	N 22°16'13\" W
L12	14.76'	N 61°40'28\" W
L13	28.92'	S 40°55'14\" W
L14	32.31'	N 70°48'31\" W
L15	9.49'	N 48°45'39\" W
L16	19.60'	S 88°36'00\" W
L17	23.03'	N 83°25'32\" W

DRAWING INDEX

- SHEET C01 EXISTING CONDITIONS PLAN
- SHEET C02 SITE PLAN
- SHEET C03 EROSION CONTROL PLAN PHASE 1
- SHEET C04 EROSION CONTROL PLAN PHASE 2
- SHEET C05 GRADING AND DRAINAGE PLAN
- SHEET C06 UTILITY PLAN
- SHEET C07 BMP DETAILS
- SHEET C08 UTILITY DETAILS
- SHEET C09 GROUND STABILIZATION AND MATERIAL HANDLING
- SHEET C10 SELF INSPECTION, RECORDKEEPING, AND REPORTING

LEGEND

AC - ACRE	LF - LINEAR FEET
BLDG - BUILDING	MAX - MAXIMUM
BRG - BEARING	MBL - MINIMUM BUILDING LINE
CB - CATCH BASIN	MH - MANHOLE
CF - CUBIC FEET	MIN - MINIMUM
CL - CENTERLINE	N/F - NOW OR FORMERLY
DR - DRIVE	NTS - NOT TO SCALE
D1 - DROP INLET	O.C. - ON CENTER
DIP - DUCTILE IRON PIPE	R - RADIUS
EL - ELEVATION	RCP - REINFORCED CONCRETE PIPE
EIR - EX. IRON ROD	R/W - RIGHT-OF-WAY
EOP - EDGE OF PAVEMENT	SDMH - STORMDRAIN MANHOLE
EX - EXISTING	SH - SHEET
FE - FINISHED ELEVATION	SIR - SET IRON ROD
FES - FLARED END SECTION	STA - STATION
FF - FINISHED FLOOR	TC - TOP OF CURB
FT - FEET	TSW - TOP OF SIDEWALK
GV - GATE VALVE	TYP - TYPICAL
INV - INVERT	



REVISIONS:

NO.	BY	DATE	DESCRIPTION
1	RDC	12/6/23	TFC COMMENTS

NOTE: WETLAND AND TOPOGRAPHIC SURVEY BY STROUD ENGINEERING, PA

EXISTING CONDITIONS PLAN

M&H STORAGE

1783 LIVE OAK STREET

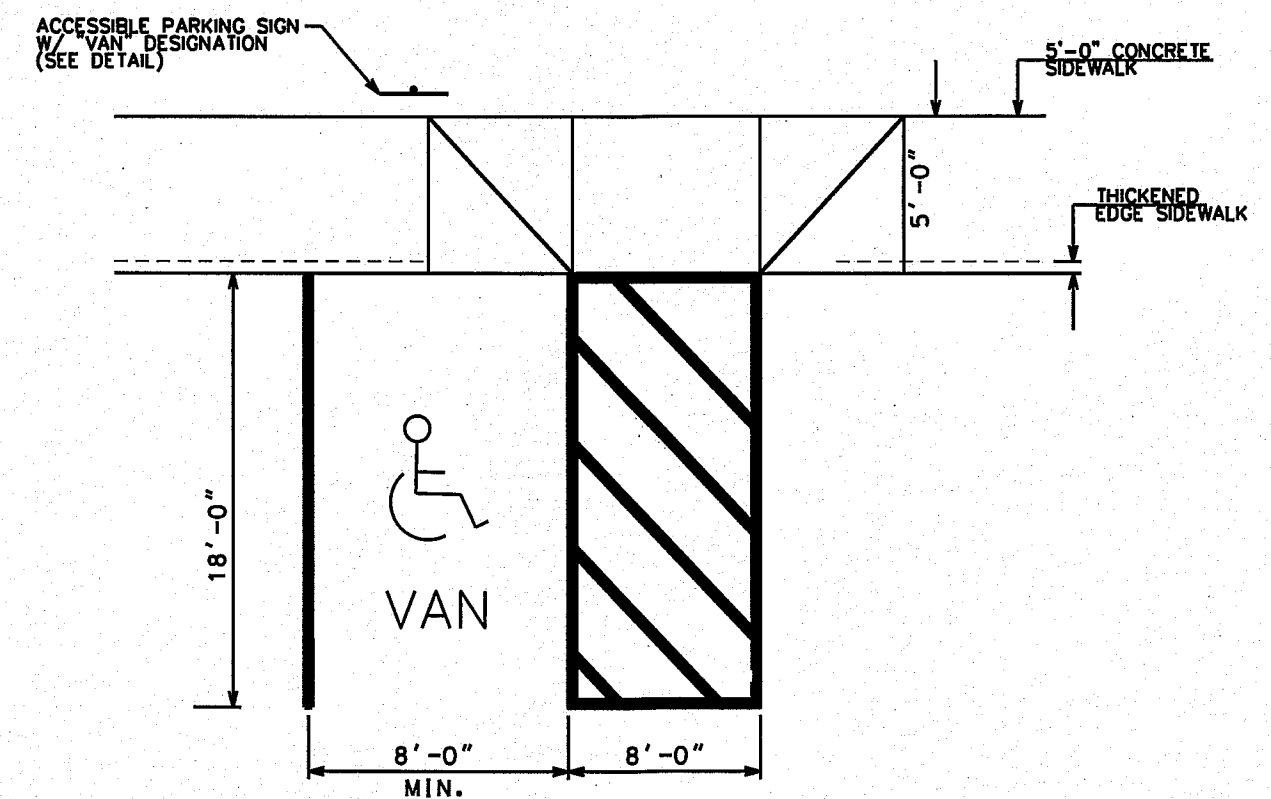
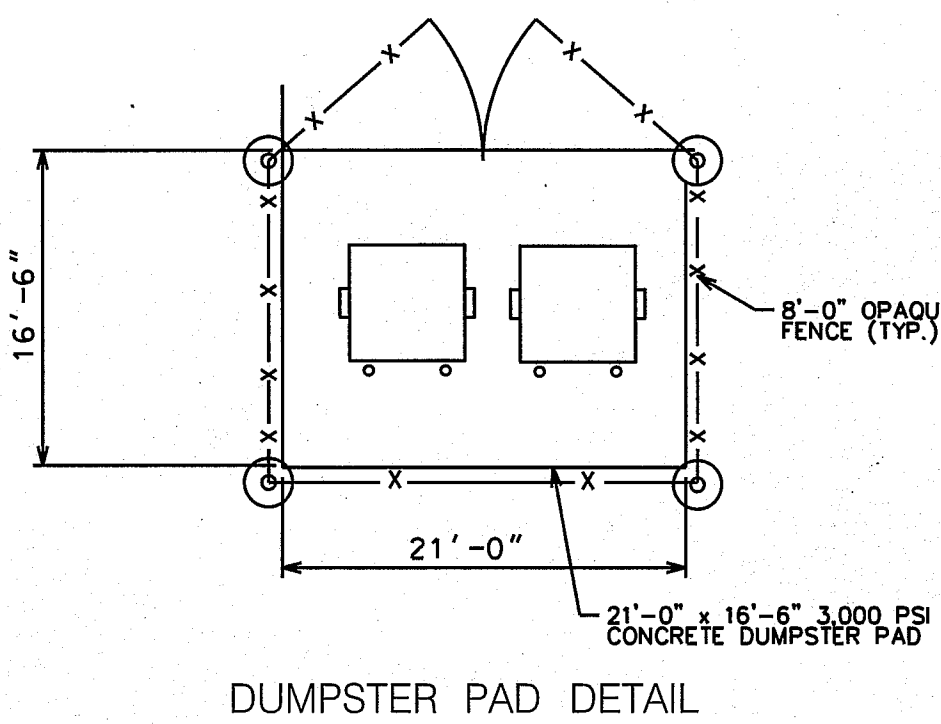
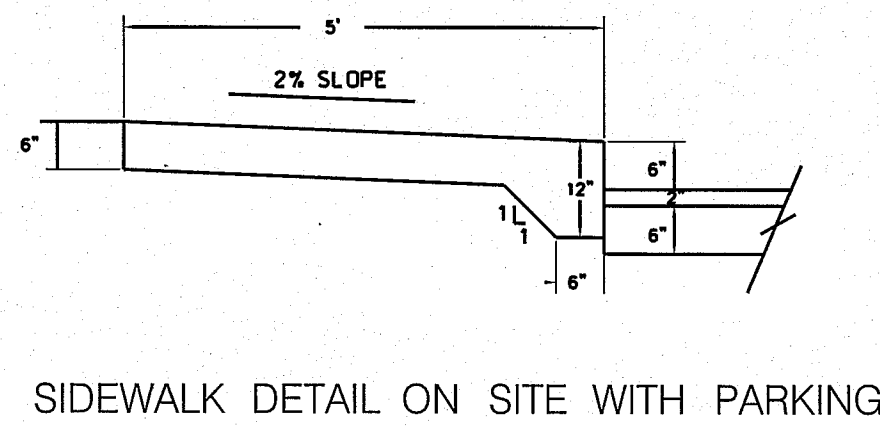
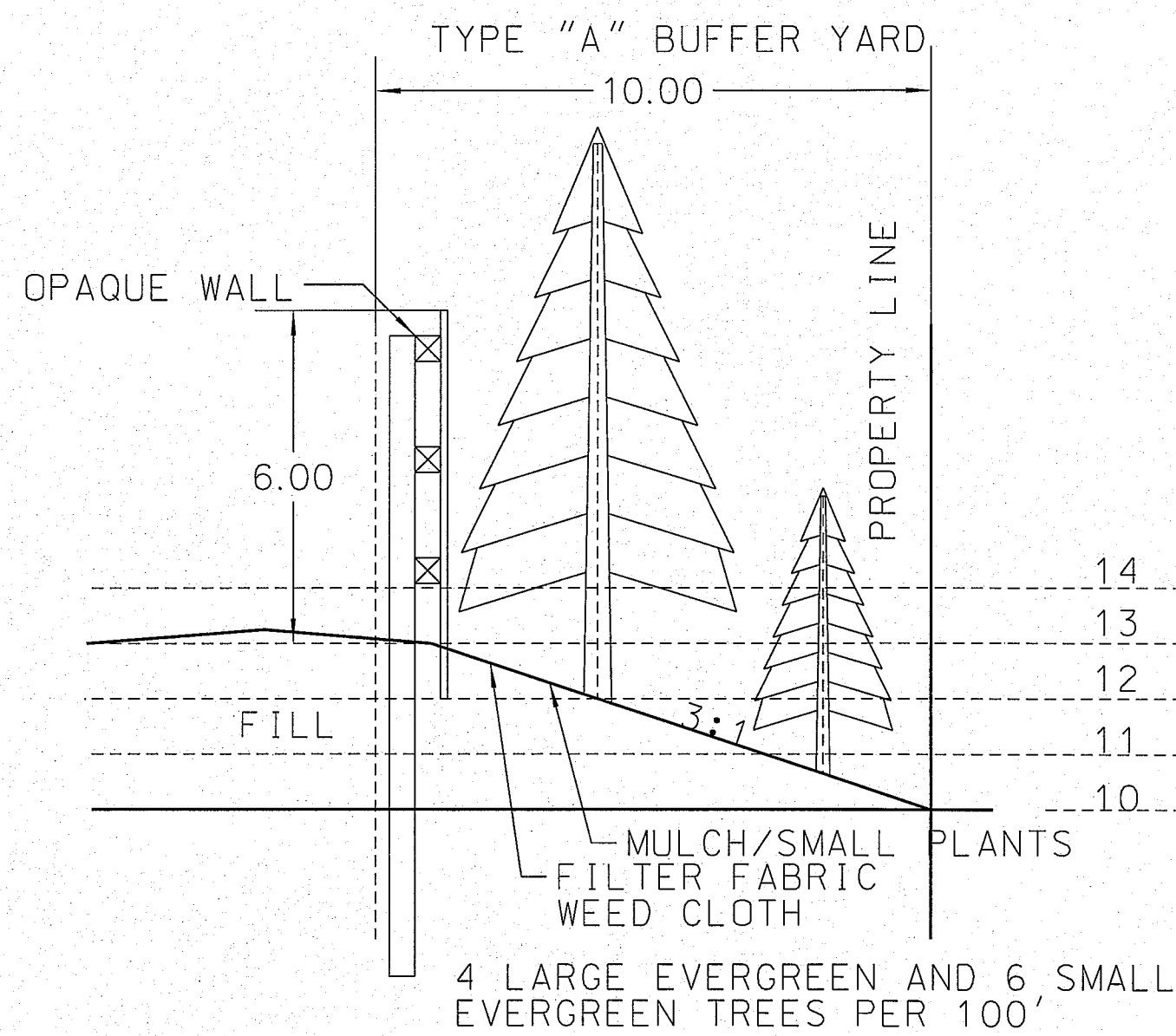
BEAUFORT TOWNSHIP, CARTERET COUNTY, NORTH CAROLINA

CLIENT: M&H STORAGE, LLC
 ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
 PHONE: 919-645-1660

DESIGNED: CDI
 DRAWN: CDI
 CHECKED: RDC
 APPROVED: RDC

DATE: 10/19/2023
 SCALE: 1" = 60'

RONALD D. CULLIPHER, P.E.



NOTES: GRADE SHALL NOT EXCEED 2.0% IN ANY DIRECTION WITHIN THE AREA OF ACCESSIBLE PARKING. SEE SHEET C-10 FOR RAMP AND SIGN DETAILS.

TYPICAL ACCESSIBILITY PARKING STALL LAYOUT (NTS)

CENTERLINE CURVE DATA

Curve No.	Chord Bearing	Chord Length (ft)	Length (ft)	Radius (ft)
1	N12°35'14"E	85.99	95.43	61
2	N15°01'00"E	56.63	62.15	42
3	N81°54'36"E	34.84	35.93	42
4	S73°15'55"E	60.32	67.29	42
5	S81°01'25"E	70.87	84.35	42
6	S53°04'36"E	26.01	26.90	30
7	S17°37'14"W	42.43	47.13	30
8	S72°11'04"W	42.27	46.90	30
9	S17°35'20"W	42.43	47.13	30
10	S72°23'45"E	42.41	47.10	30

SITE DATA

PIN: 730612866063000
 DEED BOOK/PAGE: DB 1792 PG 335
 MAP BOOK/PAGE: MB 34 PG 597
 OUTPARCEL #1 AREA = 1.10 AC
 PARCEL #2 AREA = 7.47 AC
 TOTAL AREA = 8.57 AC
 APPROXIMATE LAND DISTURBANCE AREA = 7.11 AC
 PROPOSED USE: BOAT/RV AND CLIMATE-CONTROLLED STORAGE
 FLOOD ZONE: NONE
 ZONE - B-1 GENERAL BUSINESS DISTRICT
 PROPOSED BUILDINGS
 (1) ONE-STORY 276' x 180' CLIMATE CONTROLLED MINI-STORAGE
 PREFABRICATED METAL BUILDINGS (49,680 SF EACH)
 (1) ONE-STORY 300' x 100' COVERED, OPEN AIR RV AND BOAT PARKING
 PREFABRICATED METAL STRUCTURE (30,000 SF)
 TOTAL BUILDING AREA = 129,360 SF
 SETBACKS:
 FRONT = 30'
 REAR = 15'
 SIDES = 5'
 DEED BOOK/PAGE = 1186-224
 PIN = 730612866063000
 MAP BOOK 34 PG 553
 SITE DRAINS TO TOWN CREEK. WATER CLASSIFICATION SC PART OF THE WHITE OAK RIVER BASIN
 THERE ARE NO SURFACE WATERS, PROTECTED VEGETATED SETBACKS, OR PROTECTED RIPARIAN BUFFERS LOCATED ON THE PROPERTY.
 STORAGE OF HAZARDOUS CHEMICALS SHALL BE PROHIBITED.
 PARKING REQUIREMENT- 1 SPC PER 250 SF OF OFFICE- 4 REQUIRED
 PARKING PROVIDED - 5 SPACES

STORMWATER INFORMATION

CURRENT STORMWATER PERMIT: SWB 070323
 IMPERVIOUS AREAS:
 OUTPARCEL #1 = 40,000 SF TO BE ALLOTTED (35,297 SF EXISTING)
 % IMPERVIOUS = 54.01%
 PARCEL #2
 PROPOSED DRIVES/PARKING = 77,851 SF
 PROPOSED BUILDINGS = 129,360 SF
 PROPOSED SIDEWALK = 336 SF
 PARCEL #2 IMPERVIOUS AREA = 207,360 SF
 % IMPERVIOUS = 63.72%
 TOTAL IMPERVIOUS AREA = 247,360 SF
 % IMPERVIOUS = 62.08%

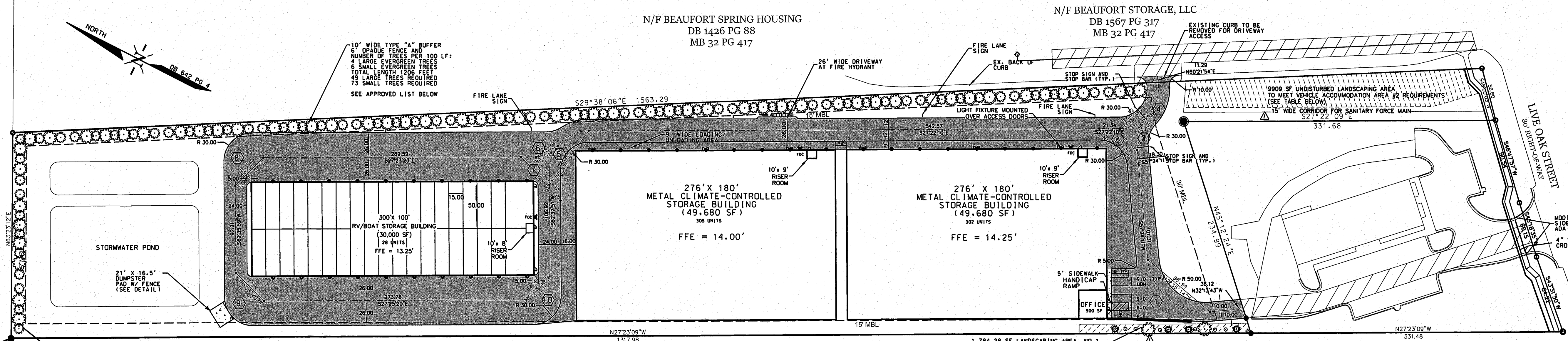
LANDSCAPING AND BUFFER YARD NOTES

VEHICULAR SURFACE AREA (VSA) = 77,851 SF
 BUILDING IMPERVIOUS AREAS = 129,360 SF
 CONCRETE S/W IMPERVIOUS AREAS = 336 SF
 TOTAL IMPERVIOUS AREA = 207,360 SF
 TOTAL TRACT AREA = 325,504.4 SF
 IMPERVIOUS SURFACE AREA RATIO = 0.63
 IMPERVIOUS SURFACE INTENSITY CLASSIFICATION = MODERATE
 GROUND COVER IN LANDSCAPE AREAS WILL CONSIST OF MULCH OR PINE STRAW.
 TYPE "A" BUFFER YARD REQUIREMENTS:
 NUMBER OF TREES REQUIRED FOR 1,206 LF OF 10' WIDE BUFFER
 LARGE EVERGREEN TREES = 49
 SMALL EVERGREEN TREES = 73
 6" TALL OPAQUE FENCE
 REFER TO TABLE BELOW FOR REQUIRED NUMBER OF PLANTINGS AND APPROVED PLANTINGS LIST PER TOWN OF BEAUFORT RULES

TYPE "A" BUFFER YARD DETAIL NTS

N/F BEAUFORT SPRING HOUSING
 DB 1426 PG 88
 MB 32 PG 417

N/F BEAUFORT STORAGE, LLC
 DB 1567 PG 317
 MB 32 PG 417



STORMWATER EASEMENT DB 1369 PG 200

10' WIDE TYPE "A" BUFFER
 6" OPAQUE FENCE AND NUMBER OF TREES PER 100 LF:
 4 LARGE EVERGREEN TREES
 6 SMALL EVERGREEN TREES
 TOTAL LENGTH 1206 FEET
 49 LARGE TREES REQUIRED
 73 SMALL TREES REQUIRED
 SEE APPROVED LIST BELOW

10' WIDE TYPE "A" BUFFER
 6" OPAQUE FENCE AND NUMBER OF TREES PER 100 LF:
 4 LARGE EVERGREEN TREES
 6 SMALL EVERGREEN TREES
 TOTAL LENGTH 1206 FEET
 49 LARGE TREES REQUIRED
 73 SMALL TREES REQUIRED
 SEE APPROVED LIST BELOW

LEGEND

AC	-	ACRE
BLOC	-	BUILDING
CB	-	CATCH BASIN
CF	-	CUBIC FEET
CL	-	CENTRAL LINE
DR	-	DRIVE
DI	-	DROP INLET
DIP	-	DUCTILE IRON PIPE
EL	-	ELEVATION
EIR	-	EDGE OF IRON ROD
EOP	-	EDGE OF PAVEMENT
EX	-	EXISTING
FE	-	FINISHED ELEVATION
FES	-	FLARED END SECTION
FF	-	FINISHED FLOOR
FT	-	FEET
GV	-	GATE VALVE
INV	-	INVERT
LF	-	LINEAR FEET
MAX	-	MAXIMUM
MBL	-	MINIMUM BUILDING LINE
MANH	-	MANHOLE
MIN	-	MINIMUM
N/P	-	NOW OR FORMERLY
NTS	-	NOT TO SCALE
D.C.	-	ON CENTER
R	-	RADIUS
R.C.P.	-	REINFORCED CONCRETE PIPE
R/W	-	RIGHT-OF-WAY
SDM	-	STORMDRAIN MANHOLE
SM	-	SHEET
SIR	-	SET IRON ROD
STA	-	STATION
TC	-	TOP OF CURB
TYP	-	TYPICAL
TSP	-	TOP OF SIDEWALK

LEGEND

[Symbol]	-	PROPOSED LANDSCAPE BUFFER
[Symbol]	-	PROPOSED INTERNAL LANDSCAPE AREA
[Symbol]	-	PROPOSED ASPHALT
[Symbol]	-	FIRE DEPARTMENT CONNECTION
[Symbol]	-	FENCE
[Symbol]	-	LARGE SHRUB
[Symbol]	-	SMALL SHRUB
[Symbol]	-	LARGE DECIDUOUS TREE
[Symbol]	-	SMALL DECIDUOUS TREE
[Symbol]	-	LIGHT FIXTURE ATTACHED TO BUILDING AT APPROXIMATELY 30" ON CENTER, SHIELD LIGHT FROM ADJOINER PROPERTY
[Symbol]	-	ACCESS DOOR

Special Characteristics Key

Code	Special Characteristics Key	Code	Special Characteristics Key
AW	Autumn flowering	S	Stately
AW	Attracts wildlife	SF	Spring flowering
D	Drought tolerant	ST	Salt tolerant
E	Evergreen	Suff	Summer flowering
F	Fragrant	TW	Tolerates wet areas
FC	Fall color	W	Resistant to wind damage
LL	Long-lived	WI	Winter interest
LM	Low maintenance	WJ	Weak wood
S	Stately	YU	Year-long interest

Native Shrubs

Common Name	Botanical Name	Special Characteristics*
American holly	<i>Coccoloba americana</i>	FC, SF-white, bushy berries (in fall), AW
Bear grass	<i>Yucca filamentosa</i>	E, SF-white, ST, AW
Coldwater palmetto	<i>Sabal palmetto</i>	E, SF, W
Carolina allspice	<i>Lindera benzoin</i>	FC, SF-white, berries, AW, F
Coastal dwarf azalea	<i>Rhododendron ellipticum</i>	SF-white, F, TW
Deborah (holly)	<i>Ilex coriaria</i>	E, SF-white, red berries, AW, F
Dwarf yucca	<i>Ilex vomitoria</i>	E, SF-white, AW, cullinary/leaves (tea)
Fraxinodendron	<i>Fraxinodendron</i>	E, SF-white, AW
Groundcover	<i>Fraxinodendron</i>	E, FC-white
Heart's-a-beg!	<i>Fraxinodendron</i>	SF-white, striking fruit, WI
High bush blueberry	<i>Vaccinium corymbosum</i>	FC, very early SF-white, AW
Hudonensis	<i>Fraxinodendron</i>	SF-white, WI, ST
Japanese holly	<i>Ilex glabra</i>	E, SF-white, berries, AW, F
New Jersey tea	<i>Ceanothus americanus</i>	SF-white, TW, AW
Red chokeberry	<i>Cornus amomum</i>	E, SF-white, AW, F
Smooth sumac	<i>Rhus glabra</i>	IA, SF-white, AW
Sparganium	<i>Yucca cadyana</i>	FC, SF-white, AW
St. John's wort	<i>Hypericum perforatum</i>	SF-white
Swamp honeysuckle	<i>Rhododendron viticosum</i>	SF-white, TW, AW
Swamp rose	<i>Rosa palustris</i>	SF-white, winter red hips, AW, TW
Sweet pepper bush	<i>Cornus amomum</i>	FC, SF-white, AW, ST
Sweet shrub	<i>Calycanthus floridus</i>	SF-rose, F
Southern magnolia	<i>Magnolia grandiflora</i>	E, large attractive pinecones
Southern red oak	<i>Quercus falcata</i>	AW, TW
Sweet gum	<i>Liquidambar styraciflua</i>	FC, leafless variety available
Sycamore	<i>Platanus occidentalis</i>	Exfoliating bark
Tulip poplar	<i>Liriodendron tulipifera</i>	Large SF-white, TW
Turkey oak	<i>Quercus turkeana</i>	FC, IA, TW, used in dyes
Water oak	<i>Quercus nigra</i>	AW

Small Native Trees

Common Name	Botanical Name	Special Characteristics*
Georgia fever tree (rare)	<i>Prostris bracteata</i>	SF-pink, YU
Loblolly bay	<i>Gordonia lasiantha</i>	SF-white, TW, semi-E
Parrotwood	<i>Alseodaphne virginiana</i>	SF-white, white fruit
Possumhaw	<i>Ilex decidua</i>	SF-white, AW, WI
Red buckeye	<i>Aesculus pavia</i>	Suff-Red
Redbud	<i>Cercis canadensis</i>	FC, FC-cherry-pink
Serviceberry	<i>Amelanchier canadensis</i>	Early SF-pink/white
Texas olive	<i>Chamaecyparis amarantha</i>	E, SF-white, ST, F
White mulberry	<i>Morus alba</i>	FC, Suff-white
White myrtle	<i>Myrica cerifera</i>	E, fragrant, AW, fragrant leaves
Wild hazel	<i>Corylus virginiana</i>	FC, early SF-orange/yellow
Yapoon holly	<i>Ilex vomitoria</i>	E, WI, red berries, SF-white, cullinary/leaves (tea), dwarf varieties up to 10'

Medium Native Trees

Common Name	Botanical Name	Special Characteristics*
Black cherry	<i>Prunus serotina</i>	SF-white, AW
Carolina cherry laurel	<i>Prunus caroliniana</i>	E, SF-white
Chinquapin	<i>Cornus florida</i>	SF-white, YU
Eastern red cedar	<i>Juniperus virginiana</i>	E, LM
Marguerite or Port oak	<i>Quercus margueritae</i>	AW
Parrot	<i>Alnus incana</i>	SF-moss, edible fruit
Red bay	<i>Persea borbonia</i>	E, fragrant cullinary leaves
Sassafras	<i>Sassafras albidum</i>	FC, SF-yellow, cullinary
Sourwood	<i>Liriodendron tulipifera</i>	FC, very early SF-white, AW
Sweet Bay magnolia	<i>Magnolia virginiana</i>	SF-white, F, semi-E

Large Native Trees

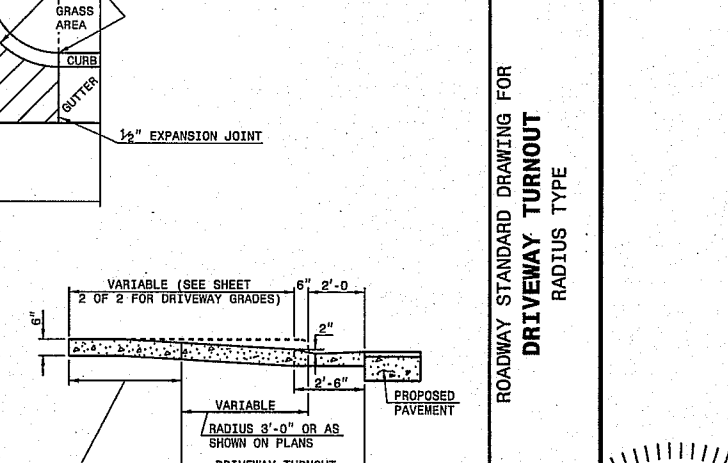
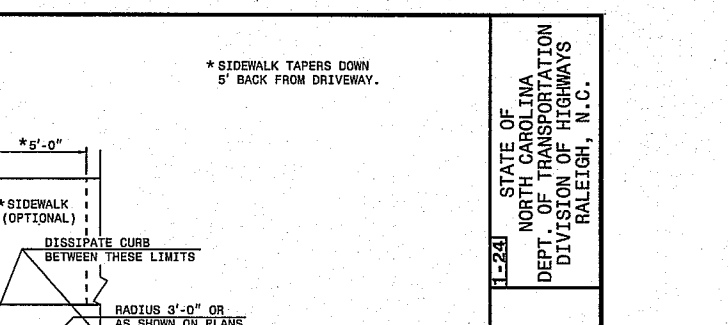
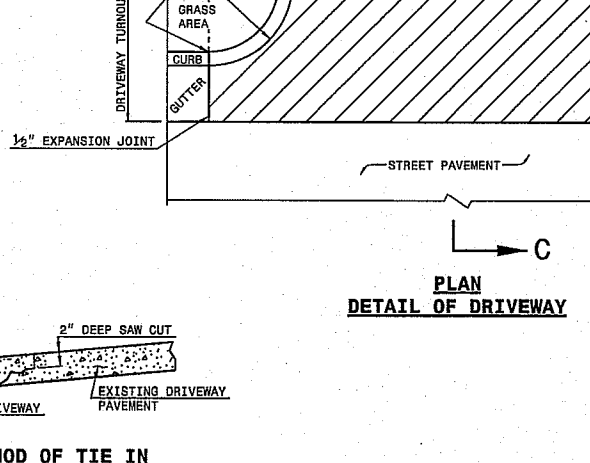
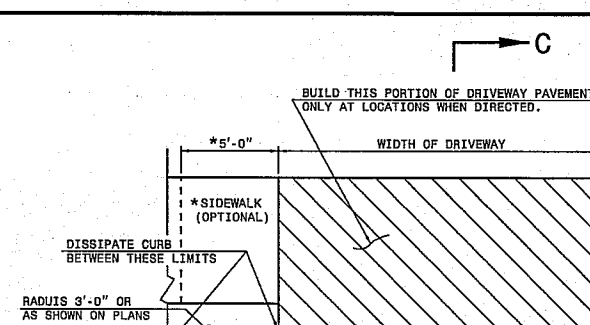
Common Name	Botanical Name	Special Characteristics*
American holly	<i>Ilex opaca</i>	E, SF-white, YU
Bald cypress	<i>Taxodium distichum</i>	FC, LI, TW
Laural oak	<i>Quercus laevis</i>	E, LI, S, AW
Live oak	<i>Quercus virginiana</i>	E, LI, S, AW
Longleaf pine	<i>Pinus palustris</i>	E, large attractive pinecones
Florida cypress	<i>Taxodium ascendens</i>	FC, LI, TW
Red maple	<i>Acer rubrum</i>	FC, E, TW
Southern magnolia	<i>Magnolia grandiflora</i>	E, large SF-white, F
Southern red oak	<i>Quercus falcata</i>	AW, TW
Sweet gum	<i>Liquidambar styraciflua</i>	FC, leafless variety available
Sycamore	<i>Platanus occidentalis</i>	Exfoliating bark
Tulip poplar	<i>Liriodendron tulipifera</i>	Large SF-white, TW
Turkey oak	<i>Quercus turkeana</i>	FC, IA, TW, used in dyes
Water oak	<i>Quercus nigra</i>	AW

REQUIRED LANDSCAPING AREA OF VAAS
 VAA - INCLUDING PARKING SPACES, DRIVEWAYS, LOADING AREAS, PARKING AREAS, AND OTHER CIRCULATION AREAS AND NOT INCLUDING BUILDING 77851 SF
 AREA OR ANY AREA WHICH WILL REMAIN COMPLETELY UNDEVELOPED =
 1,784.28 SF LANDSCAPING AREA NO. 1 FOR VEHICLE ACCOMMODATION AREA
 PROVIDE VAA PLANTINGS
 LARGE DECIDUOUS TREES 0.2/1000SF X 9342 SF = 2 TREES
 LARGE SHRUBS 0.4/1000SF X 9342 SF = 4 LARGE SHRUBS
 SMALL SHRUBS 0.6/1000SF X 9342 SF = 6 SMALL SHRUBS
 TABLE BELOW

Table 14.2 Minimum Installed Tree Dimensions

Tree Size Category (all trees at maturity size)	Minimum DBH	Minimum Height (at planting)
Small Trees, 10'-30' Tall (see Appendix A)	1"	4'
Medium Trees, 30'-50' Tall (see Appendix A)	1.5"	6'
Large Trees, 50' or Taller (see Appendix A)	2"	8'

REQUIRED VAA PLANTINGS
 LARGE DECIDUOUS TREES 0.2/1000SF X 9342 SF = 2 TREES
 LARGE SHRUBS 0.4/1000SF X 9342 SF = 4 LARGE SHRUBS
 SMALL SHRUBS 0.6/1000SF X 9342 SF = 6 SMALL SHRUBS

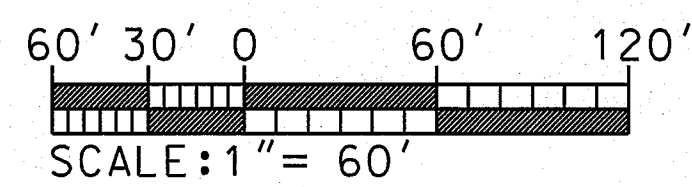


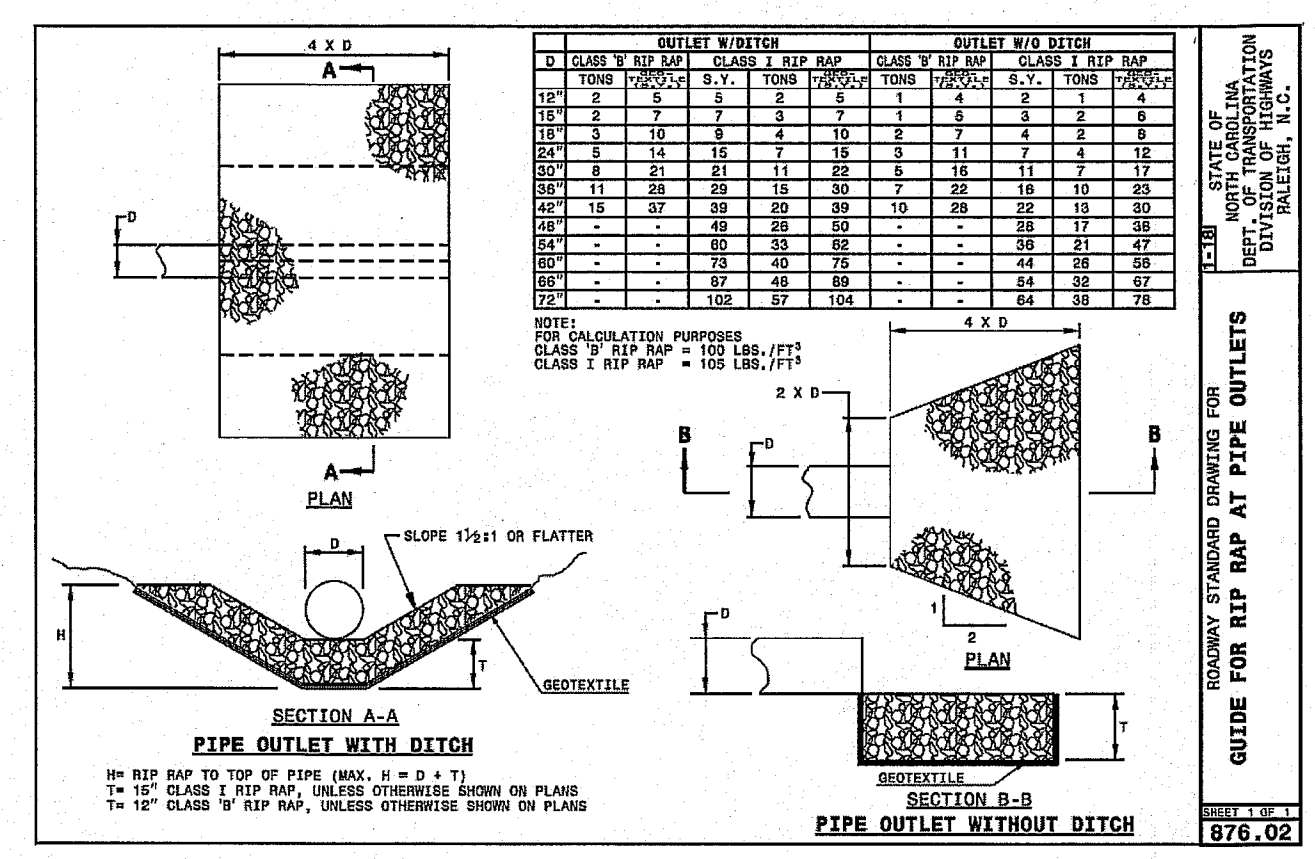
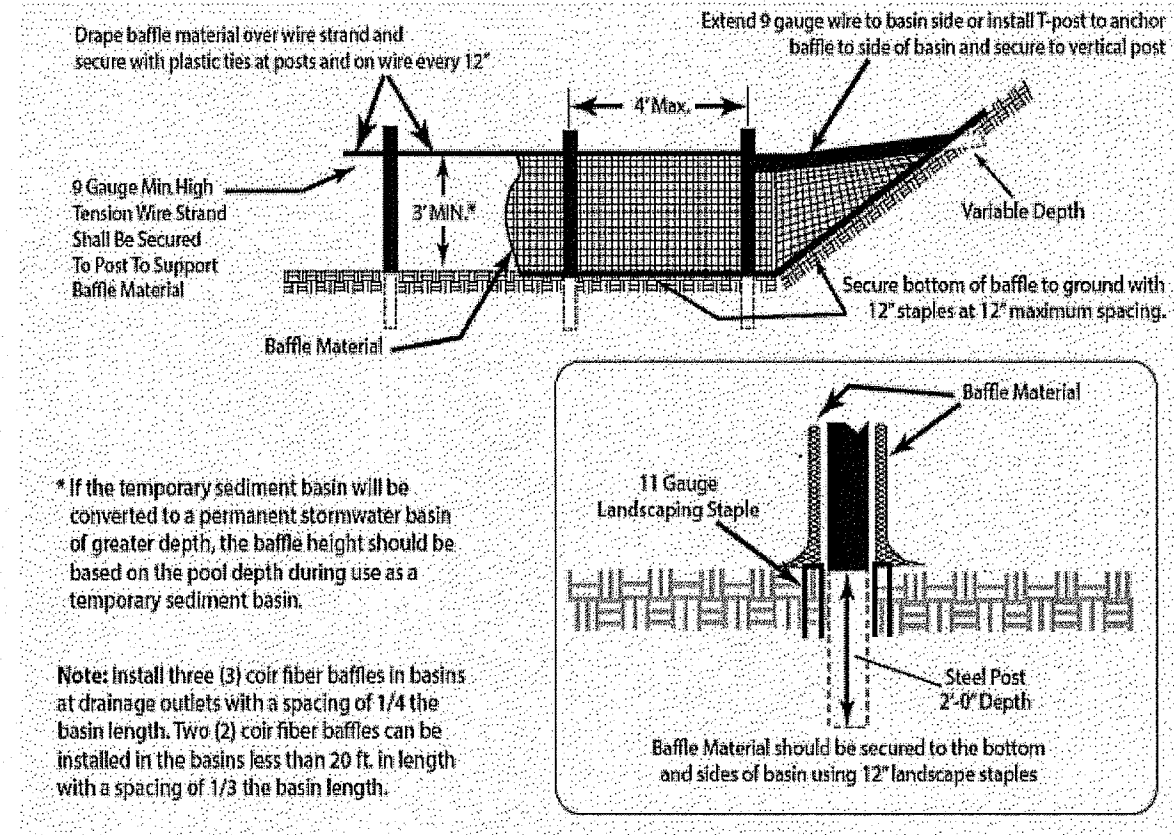
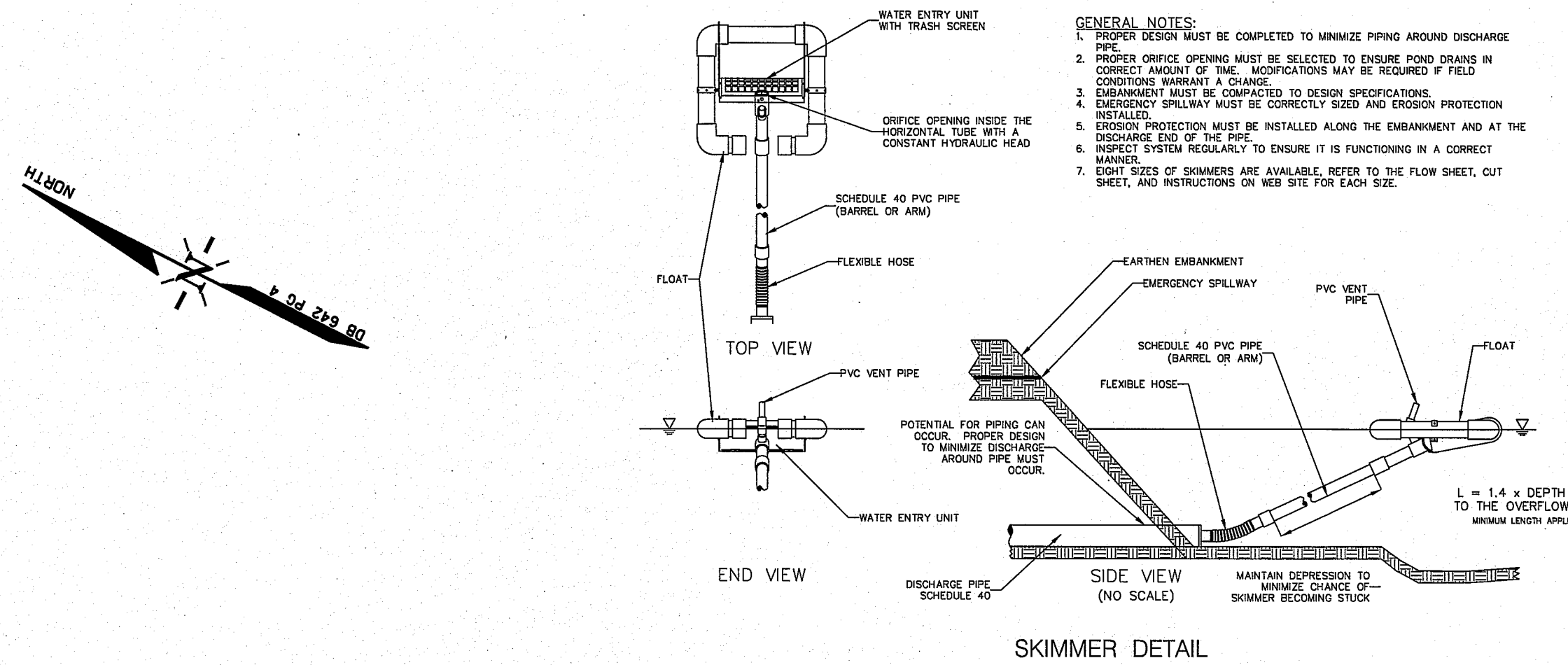
REVISIONS:

NO.	BY	DATE	DESCRIPTION
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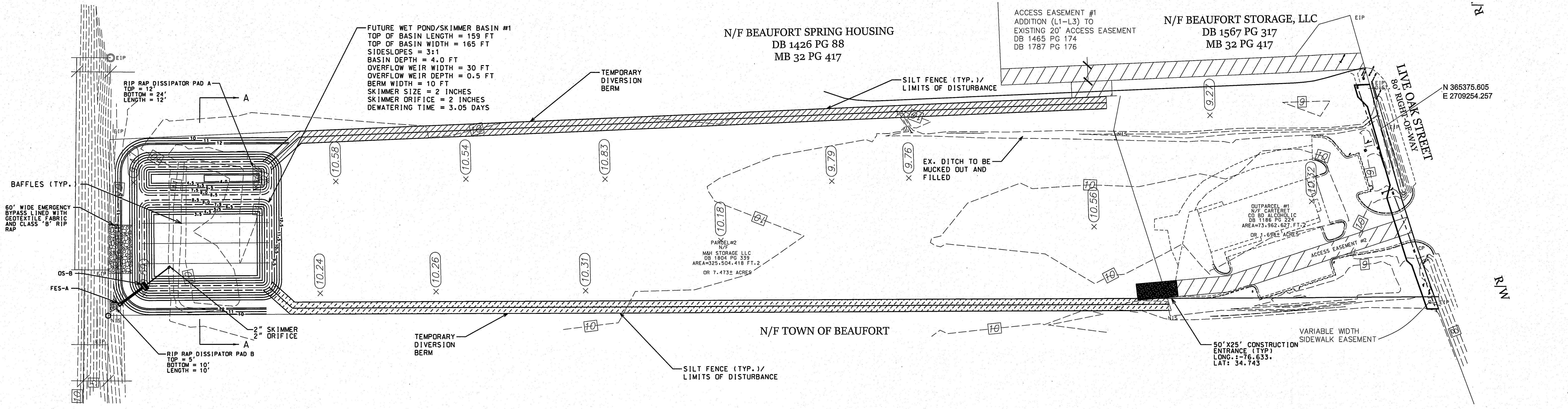
SITE AND LANDSCAPING PLAN
 1783 LIVE OAK STREET
 BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA
 CLIENT: M&H STORAGE, LLC
 ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
 PHONE: 919-645-1660
 DESIGNED: CDI
 DRAWN: CDI
 CHECKED: RDC
 APPROVED: RDC
 DATE: 10/19/2023
 SCALE: 1" = 60'
THE CULLIPHER GROUP, P.A.
 ENGINEERING & SURVEYING SERVICES
 1514 HIGHWAY 24 MOREHEAD CITY, N.C. 28557
 (252) 773-0090 LICENSE NO. C-4482
RONALD D. CULLIPHER P.E.

STORMWATER EASEMENT DB 1467 PG 270





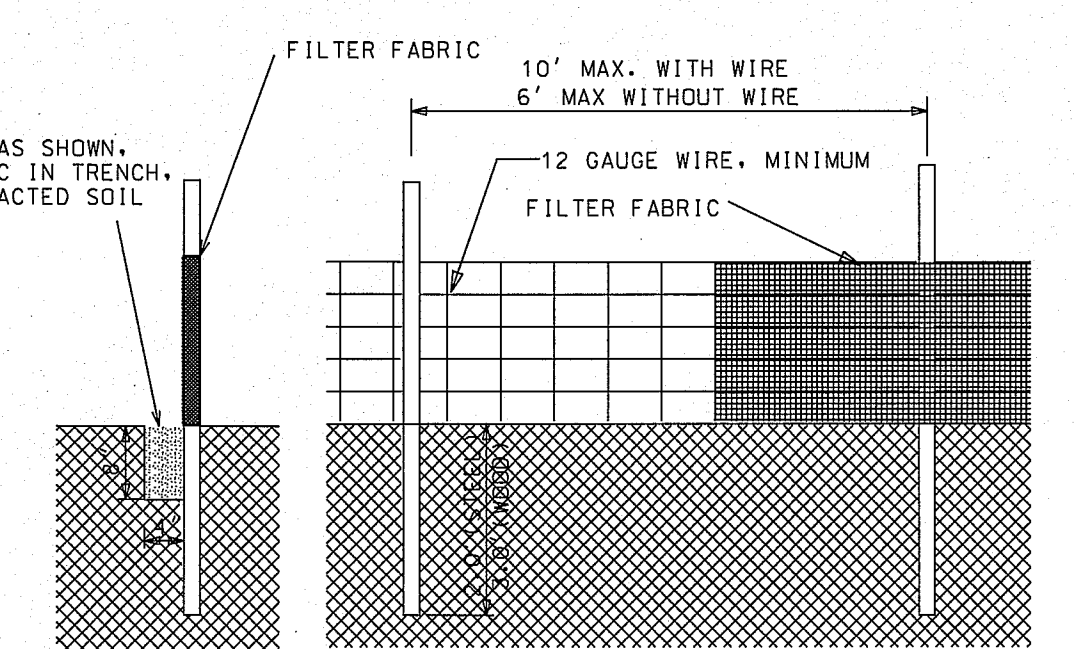
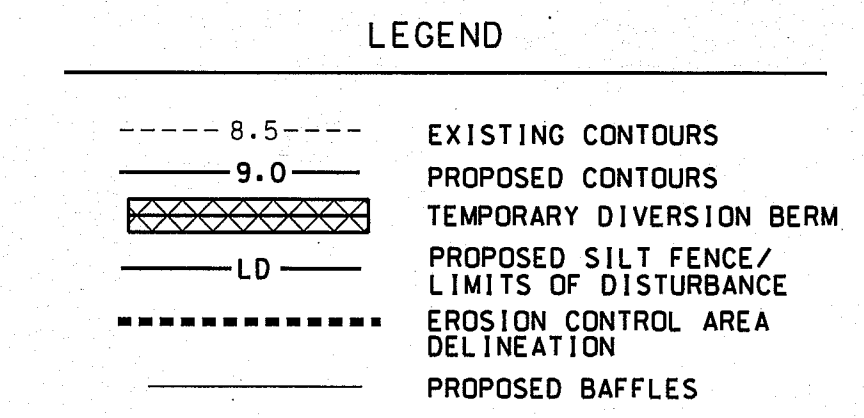
- NOTES:**
- FES-100 RIP RAP DISSIPATOR PAD SHALL CONSIST OF 32 S.Y. (20 TONS) OF CLASS 1 RIP RAP IN 15" LAYER OVER TOP OF 46 S.Y. OF GEOTEXTILE FABRIC.
 - FES-A RIP RAP DISSIPATOR PAD SHALL CONSIST OF 11 S.Y. (7 TONS) OF CLASS 1 RIP RAP IN 15" LAYER OVER TOP OF 17 S.Y. OF GEOTEXTILE FABRIC.



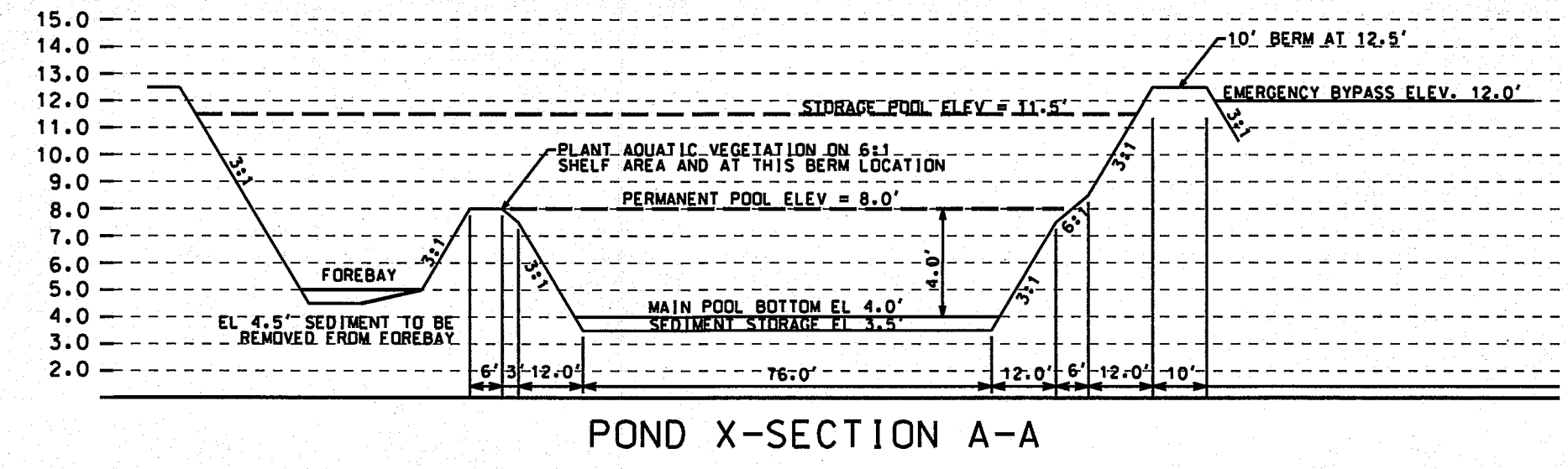
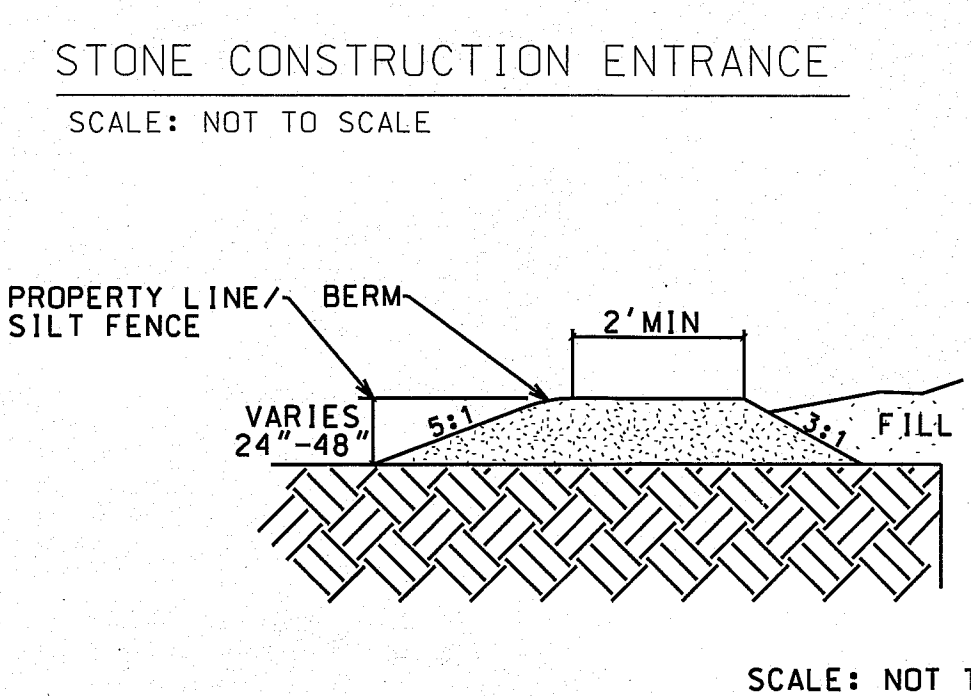
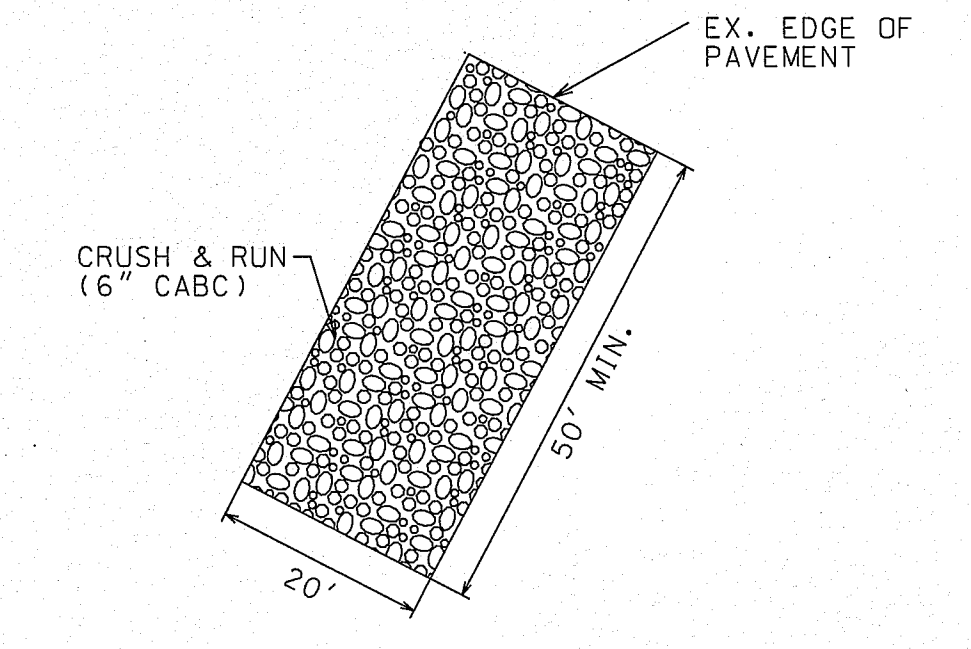
- CONSTRUCTION SEQUENCE - PHASE 1**
- INSTALL STONE CONSTRUCTION ENTRANCES.
 - CONTRACTOR SHALL INSTALL SILT FENCE, SILT FENCE OUTLETS, AND CHECK DAMS AS SHOWN ON THE APPROVED PLANS. SILT FENCE OUTLETS SHALL BE PLACED AT ALL LOCALIZED LOW POINTS ALONG THE SILT FENCE. CONTRACTOR SHALL LIMIT INITIAL CLEARING FOR INSTALLATION OF THESE DEVICES ONLY. CONSTRUCT FUTURE WET POND FOR SEDIMENT STORAGE BASIN.
 - INSTALL TEMPORARY DIVERSION BERMS AND SKIMMER BASIN.
 - BEGIN CLEARING AND GRUBBING BALANCE OF SITE.
 - BEGIN BRINGING IN FILL MATERIAL AND GRADING AS NECESSARY.
 - SEED SITE.

- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND EFFECTIVE OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL EVENT OR AT LEAST ONCE A WEEK. REPAIRS REQUIRED SHALL BE COMPLETED IMMEDIATELY TO THE DIMENSION AND FUNCTIONS INDICATED ON THE PLAN.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCING WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE FENCE SHALL BE REPLACED OR REPAIRED AS NECESSARY TO MAINTAIN BARRIER.
 - ALL SEEDING AREAS SHALL BE FERTILIZED, RESEEDING AND MULCHED AS NECESSARY ACCORDING TO THE CONTRACT DOCUMENTS TO ESTABLISH AND MAINTAIN A DENSE VEGETATIVE COVER.
 - ANY AREAS STEEPER THAN 3:1 SLOPE SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL PROVIDE TEMPORARY OR PERMANENT STABILIZATION WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

- EROSION CONTROL NOTES**
- NOTES**
- PERSON RESPONSIBLE FOR LAND DISTURBING ACTIVITY:
M&H STORAGE, LLC
3700 COMPUTER DRIVE SUITE 280
RALEIGH, NC 27609
 - BORROW ACTIVITY TO BE OBTAINED FROM A PERMITTED MINE.
 - ANY MATERIAL REMOVED FROM THE SITE MUST BE HAULED TO A PERMITTED SITE.
 - PROJECT SITE IS LOCATED WITHIN THE WHITE OAK RIVER BASIN.



- NOTES:**
- USE WIRE A MINIMUM OF 3/8" IN WIDTH, AND A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
 - USE FILTER FABRIC A MINIMUM OF 36" IN WIDTH AND FASTEN ADEQUATELY TO THE WIRES.
 - PROVIDE 5" STEEL POST OF THE SELF-FASTENER ANGLE STEEL TYPE, 4" DIAMETER PINE OR 2" DIAMETER OAK.
- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE REPLACE IMMEDIATELY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN EVENT TO REDUCE PRESSURE ON THE FENCE.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.



NO CONCRETE WASHDOWN ALLOWED
LAND DISTURBANCE = 7.11 AC

ALL DENUDED AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF BEING BROUGHT TO ROUGH FINAL GRADE

REVISIONS:

No.	BY	DATE	DESCRIPTION
1	RDC	12/6/23	TAC COMMENTS

EROSION CONTROL PHASE 1

M&H STORAGE
1783 LIVE OAK STREET

BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

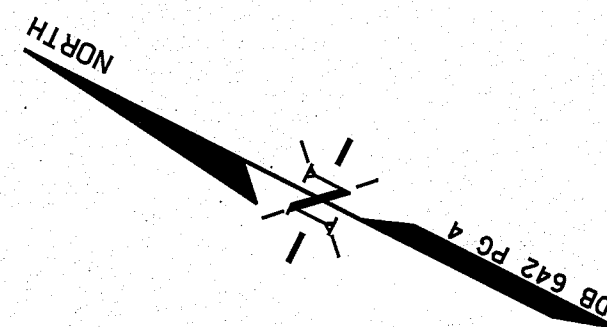
CLIENT: M&H STORAGE, LLC
ADDRESS: 3700 COMPUTER DRIVE SUITE 280
RALEIGH, NC 27609
PHONE: 919-645-1660

DESIGNED: CD1
DRAWN: CD1
CHECKED: RDC
APPROVED: RDC

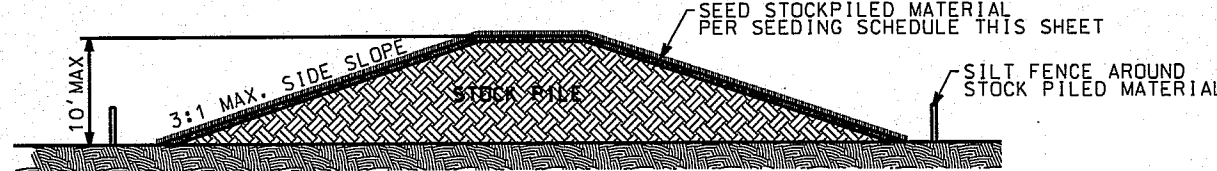
THE CULLIPHER GROUP P.A.
ENGINEERING & SURVEYING SERVICES
151A HIGHWAY 24
MOREHEAD CITY, N.C. 28557
LICENSE NO. C-4482

DATE: 10/19/2023
SCALE: 1" = 60'

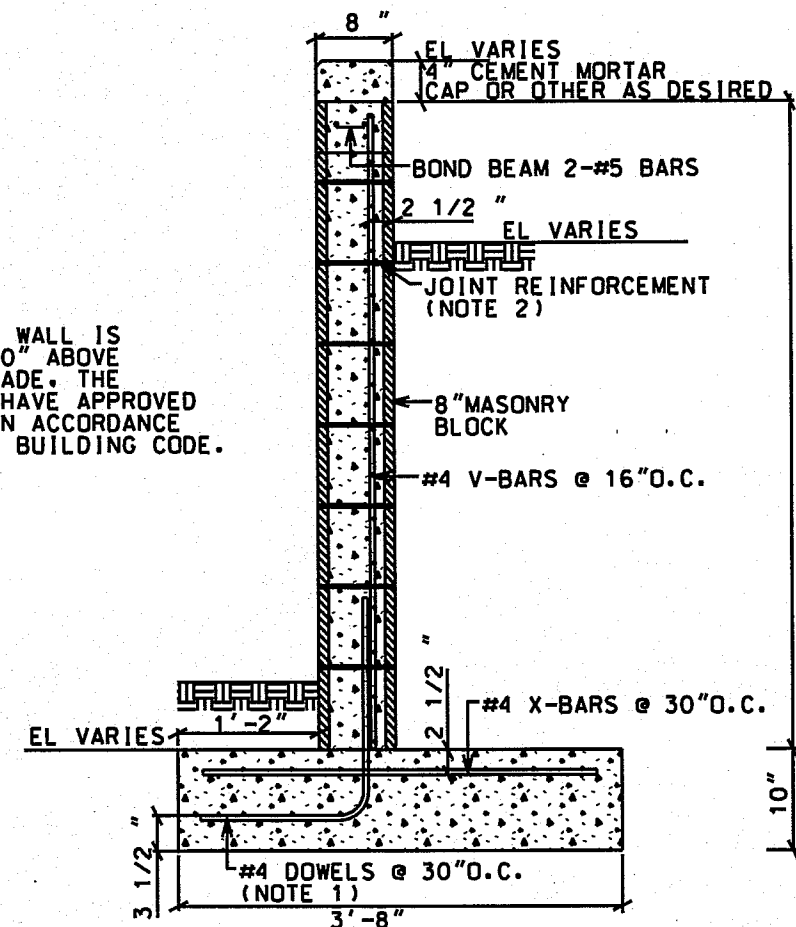
RONALD D. CULLIPHER P.E.



CONTRACTOR SHALL STOCK PILE SPOILS WITHIN THE LIMITS OF DISTURBANCE PER THIS DETAIL. IF REQUIRED.



STOCK PILE
SCALE: NOT TO SCALE



NOTE: WHERE WALL IS MORE THAN 30' ABOVE FINISHED GRADE, THE WALL SHALL HAVE APPROVED HANDRAILS IN ACCORDANCE WITH THE NC BUILDING CODE.

1. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
2. JOINT REINFORCEMENT CONSISTING OF 3 #4 LONGITUDINAL WIRES AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.

SCALE: NOT TO SCALE

SEED BED PREPARATION

LIME----- 2 TONS/AC
10-10-10----- 1,000 LBS/AC
SURFACE ROUGHENING: IF RECENT TILLAGE OPERATIONS HAVE RESULTED IN A LOOSE SURFACE, ADDITIONAL ROUGHENING MAY NOT BE REQUIRED EXCEPT TO BREAK UP LARGE CLODS. IF RAINFALL CAUSES THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING BY DISKING, RAKING OR HARROWING. GROOVE OR FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR BEFORE SEEDING.

TEMPORARY SEEDING MIXTURE

DECEMBER 1 - APRIL 15
RYE (GRAIN)----- 120 LBS/AC
KOBE LESPEDEZA (SCARIFIED)----- 50 LBS/AC
(OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE)
APRIL 15 - AUGUST 15
GERMAN MILLET----- 40 LBS/AC
AUGUST 15 - DECEMBER 30
RYE (GRAIN)----- 25 LBS/AC
(IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50LBS/AC KOBE.)

PERMANENT SEEDING MIXTURE

TALL FESCUE----- 60 LBS/AC
PENSACOLA BAHIA GRASS----- 50 LBS/AC
SERICEA LESPEDEZA----- 30 LBS/AC
KOBE LESPEDEZA----- 10 LBS/AC

1. FROM SEPTEMBER 1 - MARCH 1, USE UNSCARIFIED SERICEA SEED TO 30 LBS/AC
2. ON POORLY DRAINED SITES OMIT SERICEA AND INCREASE KOBE TO 40 LBS/AC
3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE TO 40 LBS/AC
4. BETWEEN APRIL 15 AND AUGUST 15, ADD 10 LB/AC GERMAN MILLET OR 15 LB/AC SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG 15, ADD 25 LB/AC RYE (GRAIN).

PERMANENT SEEDING MIXTURE (SWALES & DITCHES)

COMMON BERMUDAGRASS----- 80 LBS/AC

MULCHING

STRAW (WHEAT, OATS, BARLEY, RYE)----- 1-2 TONS/AC (AFTER SEEDING)
(STRAW QUALITY SHALL BE DRY, UNCHOPPED & UNWEATHERED)
ASPHALT TACK----- 200 GAL./TON OF MULCH

1. APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT. NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
2. A CHANNEL LINING MATERIAL (SEE DETAIL BELOW) SHALL COVER THE BOTTOM OF SWALES & DITCHES. THE LINING SHALL EXTEND ABOVE THE HIGHEST DEPTH OF FLOW WITHIN GIVEN CHANNEL. ON CHANNEL SIDE SLOPES ABOVE THIS HEIGHT APPLY STRAW AS PREVIOUSLY INSTRUCTED.

MAINTENANCE

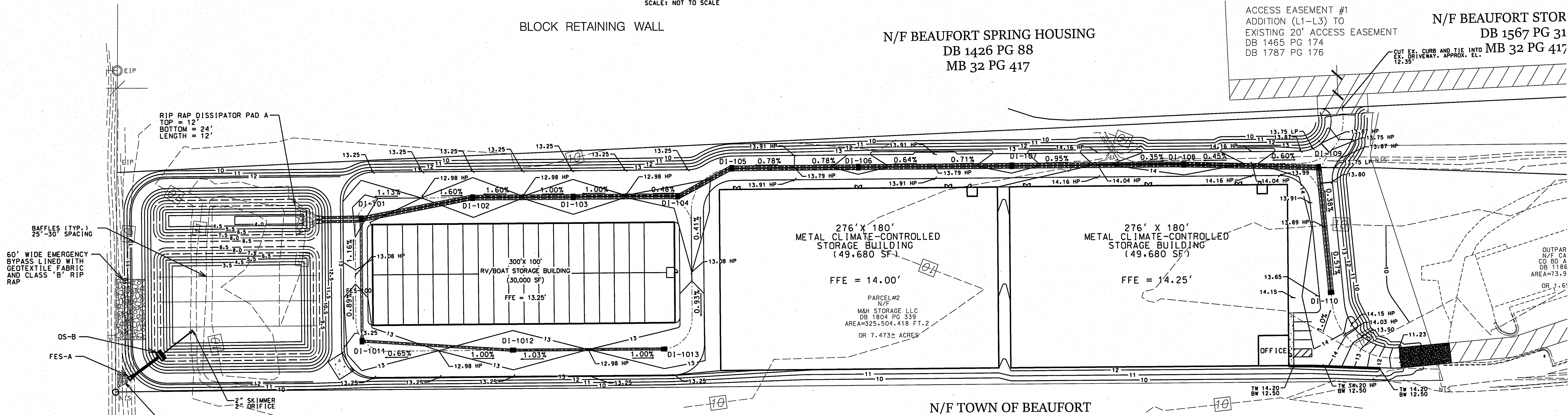
IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR WITH 500 LB/AC 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICEA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

BLOCK RETAINING WALL

N/F BEAUFORT SPRING HOUSING
DB 1426 PG 88
MB 32 PG 417

ACCESS EASEMENT #1
ADDITION (L1-L3) TO
EXISTING 20' ACCESS EASEMENT
DB 1465 PG 174
DB 1787 PG 176

N/F BEAUFORT STOR
DB 1567 PG 31
MB 32 PG 417



CONSTRUCTION SEQUENCE - PHASE 2

AS SITE COMES UP TO GRADE, CONTRACTOR SHALL INSTALL STORM DRAIN NETWORKS PER THE APPROVED PLANS. ALL STRUCTURES SHALL HAVE INLET PROTECTION PER DETAILS. INSTALL UTILITIES AND BEGIN BUILDING CONSTRUCTION.
STABILIZE SITE PER CIVIL SHEET - GROUND STABILIZATION DURING CONSTRUCTION.
WHEN SITE IS STABILIZED AND CONSTRUCTION IS NEAR COMPLETE, CALL NCDPO AND THE CULLIPHER GROUP, P.A. FOR SITE INSPECTION.
UPON APPROVAL, MUCK OUT SKIMMER BASIN AND CONVERT BASIN INTO STORMWATER DETENTION POND PER APPROVED PLANS.
STABILIZE ALL REMAINING SURFACES AND CALL FOR FINAL INSPECTION.

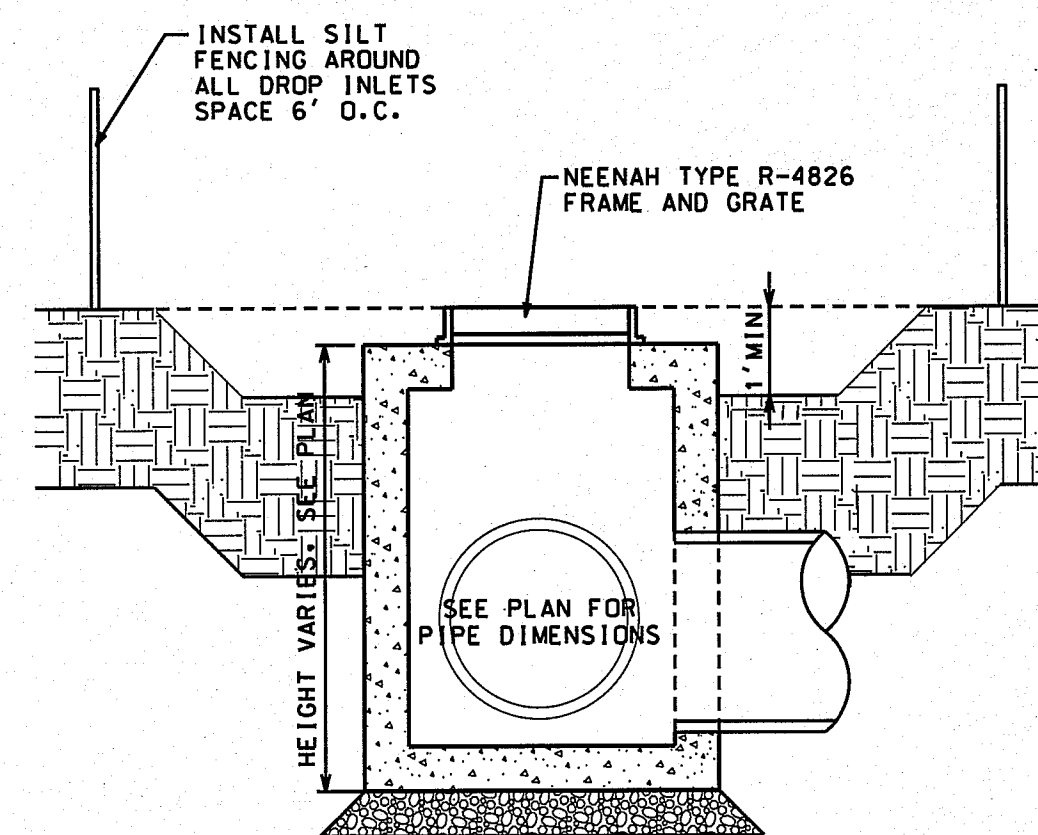
EROSION CONTROL NOTES

MAINTENANCE PLAN

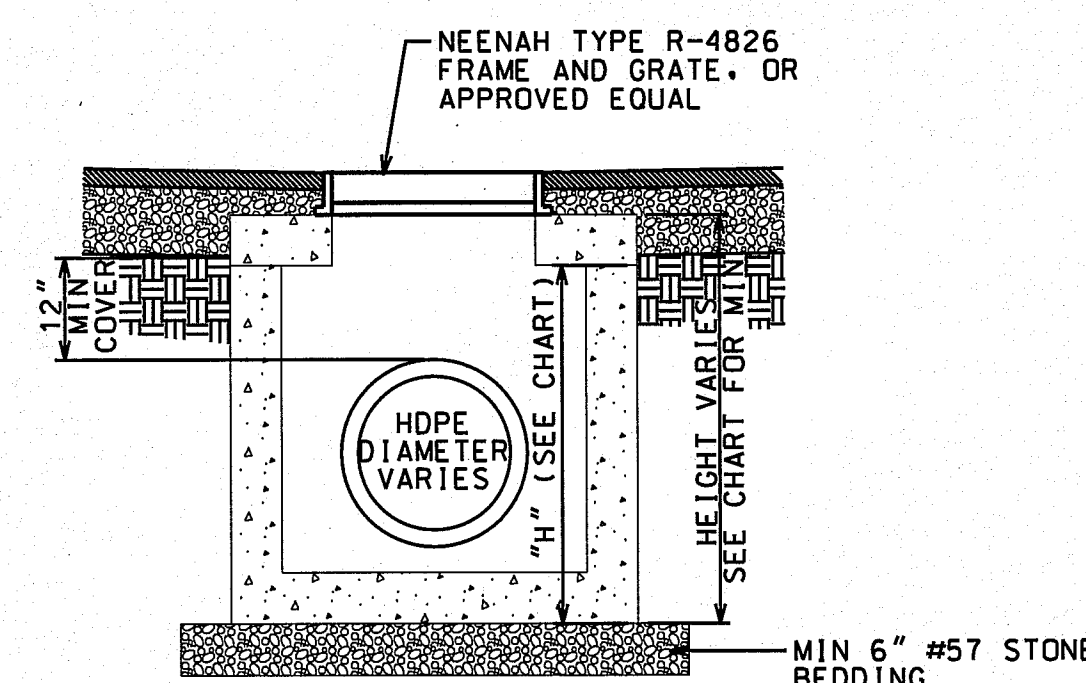
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND EFFECTIVE OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL EVENT OR AT LEAST ONCE A WEEK. REPAIRS REQUIRED SHALL BE COMPLETED IMMEDIATELY TO THE DIMENSION AND FUNCTIONS INDICATED ON THE PLAN.
2. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SEDIMENT FENCING WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. WHEN DAMAGED, THE FENCE SHALL BE REPLACED OR REPAIRED TO MAINTAIN BARRIER.
3. ALL SEEDING AREAS SHALL BE FERTILIZED, RESEEDED AND MULCHED ACCORDING TO THE CONTRACT DOCUMENTS TO ESTABLISH AND MAINTAIN A DENSE VEGETATIVE COVER.
4. ANY AREAS STEEPER THAN 3:1 SLOPE SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL PROVIDE TEMPORARY OR PERMANENT STABILIZATION WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

NOTES

1. PERSON RESPONSIBLE FOR LAND DISTURBING ACTIVITY:
M&H STORAGE, LLC
3700 COMPUTER DRIVE SUITE 280
RALEIGH, NC 27609
2. BORROW ACTIVITY TO BE OBTAINED FROM A PERMITTED MINE.
3. ANY MATERIAL REMOVED FROM THE SITE MUST BE HAULED TO A PERMITTED SITE.



**STORM STRUCTURE W/
INLET PROTECTION**
SCALE: NOT TO SCALE

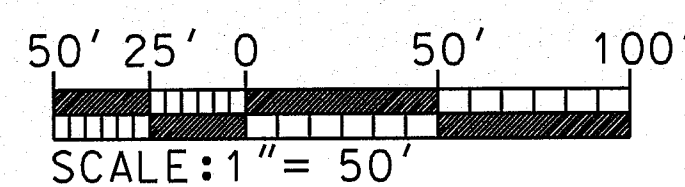


NOTE: ALL STORMDRAIN PIPING TO BE INSTALLED ON MINIMUM 6" CLASS 11 OR HIGHER GRANULAR FILL BEDDING

DIMENSION "H"	MAXIMUM PIPE DIAMETER		
	36" WALL	48" WALL	60" WALL
3'-6"	18"	18"	18"
4'-6"	24"	30"	30" OR DUAL 18"

DROP INLET

SCALE: NOT TO SCALE



LEGEND

-18.5-	EX. CONTOURS
-19.5-	PROPOSED CONTOURS
→	FLOW DIRECTION
HP	HIGH POINT
---	PROPOSED STORM DRAINAGE
CB	CATCH BASIN
D1	DROP INLET
SDMH	STORM DRAIN MANHOLE
OS	OUTLET STRUCTURE
TW 14.20 BW 12.50	TOP OF WALL BOTTOM OF WALL

REVISIONS:

No.	BY	DATE	DESCRIPTION
1	RDC	12/16/23	TRC COMMENTS

EROSION CONTROL PHASE 2

M&H STORAGE
1783 LIVE OAK STREET

BEAUFORT TWP., CARTER COUNTY, NORTH CAROLINA

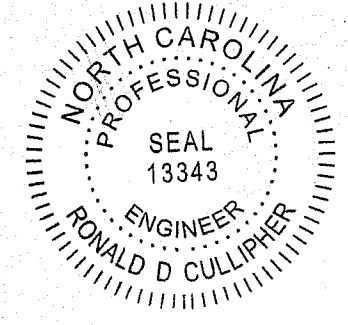
CLIENT: M&H STORAGE, LLC
ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
PHONE: 919-645-1660

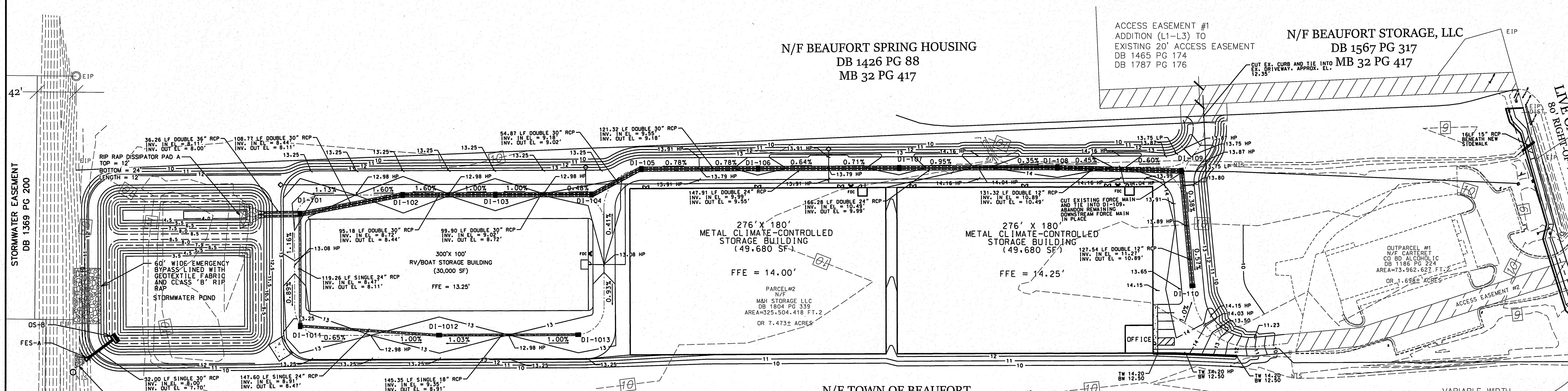
DESIGNED: CD1
DRAWN: CD1
CHECKED: RDC
APPROVED: RDC

THE CULLIPHER GROUP, P.A.
ENGINEERING & SURVEYING SERVICES
151A HIGHWAY 24
MOREHEAD CITY, N.C. 28557
LICENSE NO. C-4488

RONALD D. CULLIPHER, P.E.

DATE: 10/19/2023
SCALE: 1" = 50'





STORM PIPING DATA

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	LENGTH (FT)	SLOPE	PIPE DIA. (IN)	NUMBER OF PIPES
DI-110	DI-109	127.54	0.30%	12	2
DI-109	DI-108	131.32	0.30%	12	2
DI-108	DI-107	166.28	0.30%	24	2
DI-107	DI-106	147.91	0.30%	24	2
DI-106	DI-105	121.32	0.30%	30	2
DI-105	DI-104	54.87	0.30%	30	2
DI-104	DI-103	99.90	0.30%	30	2
DI-103	DI-102	95.18	0.30%	30	2
DI-102	DI-101	108.77	0.30%	36	2
FES-100	FES-A	32.00	0.94%	30	1
DI-1013	DI-1012	145.35	0.30%	24	1
DI-1012	DI-1011	147.60	0.30%	24	1
DI-1011	DI-101	119.26	0.30%	24	1

STORM STRUCTURE DATA

STRUCTURE	INVERT EL (FT)	RIM EL (FT)
DI-110	11.27	13.54
DI-109	10.89	13.65
DI-108	10.49	13.76
DI-107	9.99	13.86
DI-106	9.55	13.32
DI-105	9.18	13.31
DI-104	9.02	12.78
DI-103	8.72	12.48
DI-101	8.11	12.36
OS-B	8.00	
FES-A	7.70	
DI-1012	8.91	12.25
DI-1011	8.47	12.24
DI-101	8.11	

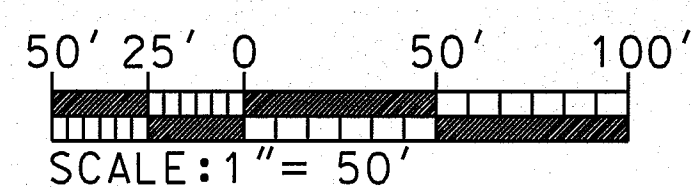
NOTE: STORAGE BUILDING DOWNSPOUTS SHALL BE PIPED TO DROP INLETS

LEGEND

- 18.5-- EX. CONTOURS
- 19.5- PROPOSED CONTOURS
- FLOW DIRECTION
- HP HIGH POINT
- PROPOSED STORM DRAINAGE
- CB CATCH BASIN
- DI DROP INLET
- SDMH STORM DRAIN MANHOLE
- OS OUTLET STRUCTURE
- TW 14.20 TOP OF WALL
- BW 12.50 BOTTOM OF WALL

REVISIONS:

NO.	BY	DATE	DESCRIPTION
1	RDC	12/6/23	TRC COMMENTS



GRADING AND DRAINAGE PLAN

M&H STORAGE
1783 LIVE OAK STREET

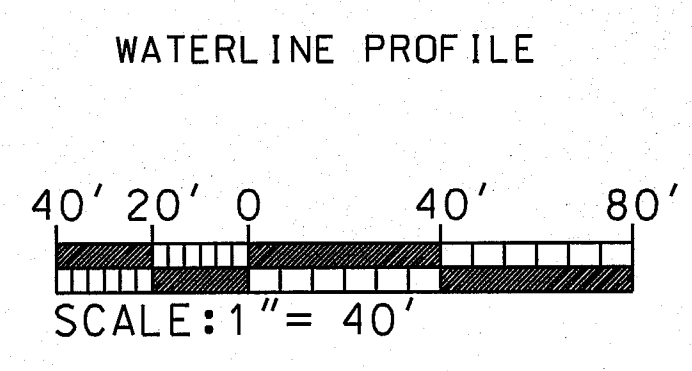
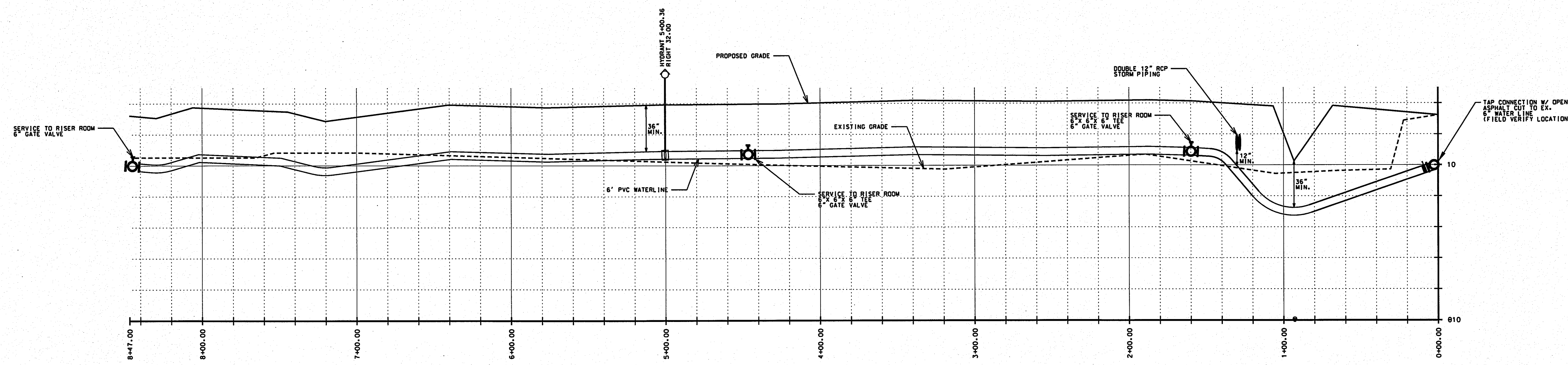
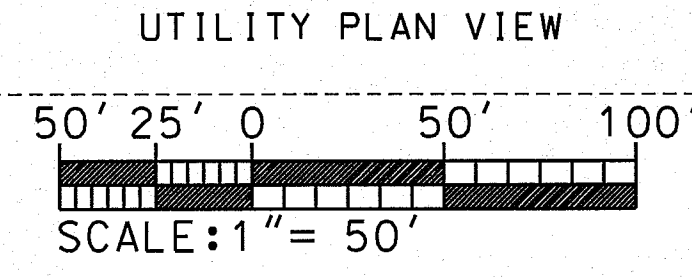
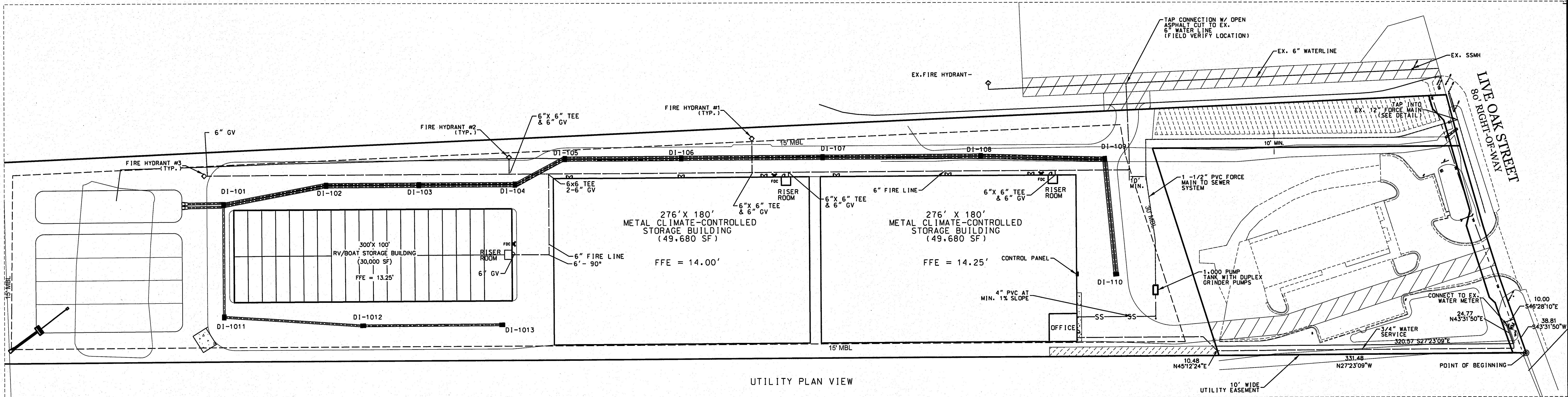
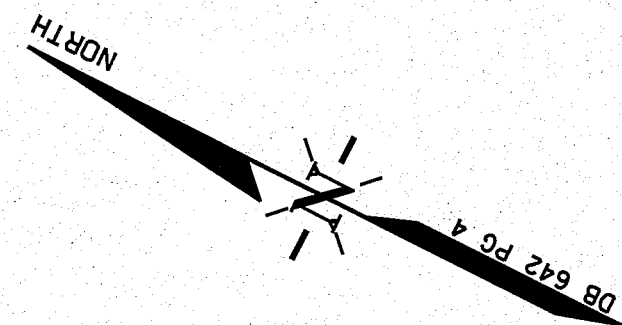
BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

CLIENT: M&H STORAGE, LLC
ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
PHONE: 919-645-1660

DESIGNED: CDI
DRAWN: CDI
CHECKED: RDC
APPROVED: RDC

DATE: 10/19/2023
SCALE: 1" = 50'

THE CULLIPHER GROUP P.A.
ENGINEERING & SURVEYING SERVICES
151A HIGHWAY 24
MOREHEAD CITY, N.C. 28557
LICENSE NO. C-4482
252-773-0090
RONALD D. CULLIPHER P.E.



LEGEND

- W — = EXISTING WATER
- W — = EXISTING FORCE MAIN
- W — = PROPOSED WATER
- W — = PROPOSED FORCE MAIN
- SS — = PROPOSED SEWER SERVICE

REVISIONS:

No.	BY	DATE	DESCRIPTION
1	RDC	12/6/23	TRC COMMENTS

NOTE: WETLAND AND TOPOGRAPHIC SURVEY BY STROUD ENGINEERING, PA

- NOTES:
- 1) FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 26'.
 - 2) THE UNOBSTRUCTED VERTICAL CLEARANCE SHALL NOT BE LESS THAN 13' 6".
 - 3) ALL UNDERGROUND PIPING AND THRUST BLOCKS MUST BE INSPECTED BY THE TOWN OF BEAUFORT FIRE MARSHAL PRIOR TO CONCEALMENT.
 - 4) PRESSURE TESTING AND FLUSHING FOR THE NEW FIRE LINE SHALL BE WITNESSED BY THE TOWN OF BEAUFORT FIRE DEPARTMENT.
 - 5) FIRE LANE SIGNAGE SHALL BE POSTED ON BOTH SIDES OF THE FIRE APPARATUS ROADS.
 - 6) ANY SECURITY OR ACCESS CONTROL GATES MUST COMPLY WITH UL325 AND ASTM F2200. THESE GATES SHALL HAVE A MEANS OF FOR EMERGENCY OPERATION SUCH AS SIREN ACTIVATION.

UTILITY PLAN

M&H STORAGE
1783 LIVE OAK STREET

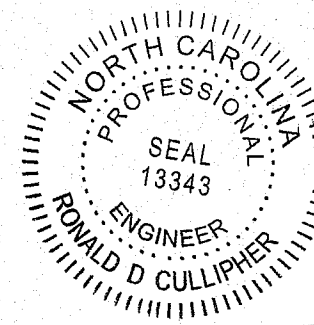
BEAUFORT TWSP., CARTERET COUNTY, NORTH CAROLINA

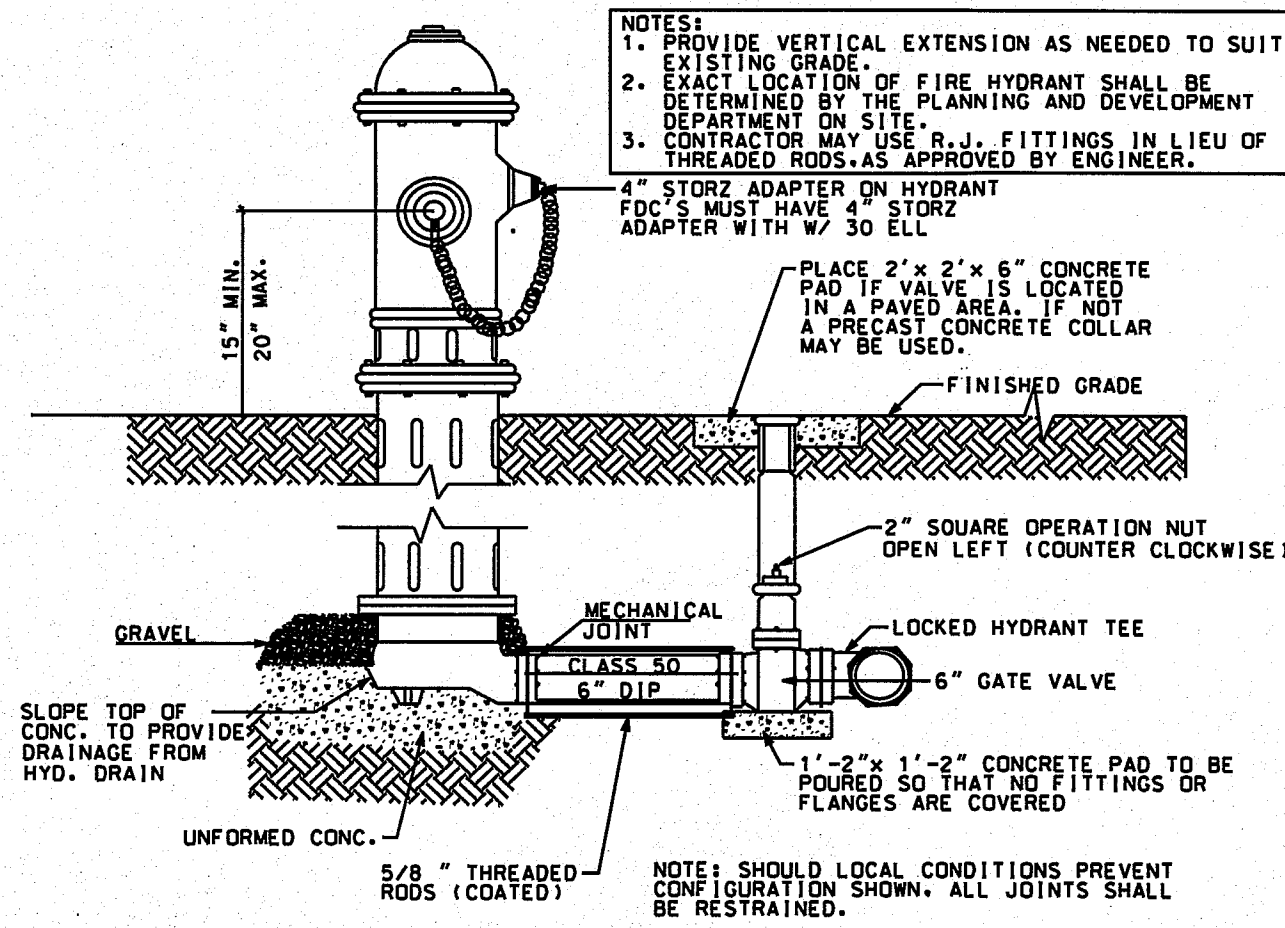
CLIENT: M&H STORAGE, LLC
ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
PHONE: 919-645-1660

DESIGNED: CDJ
DRAWN: CDJ
CHECKED: RDC
APPROVED: RDC

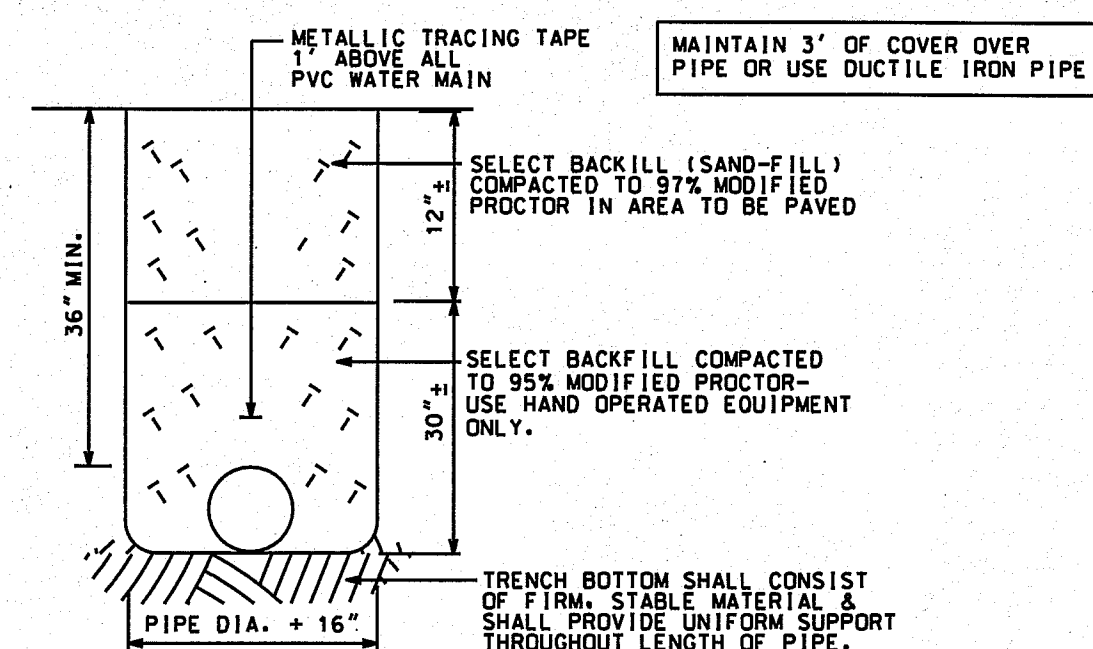
DATE: 10/19/2023
SCALE: AS NOTED

THE CULLIPHER GROUP, P.A.
ENGINEERING & SURVEYING SERVICES
151A HIGHWAY 24
MORRHEAD CITY, N.C. 28557
LICENSE NO. 0-4482
RONALD D. CULLIPHER, P.E.

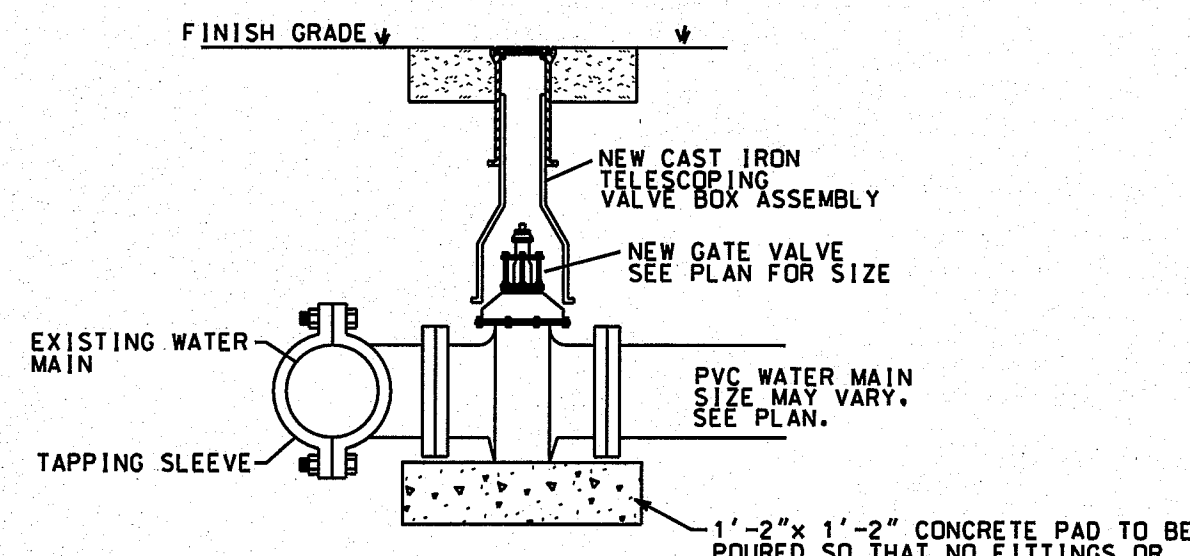




TYPICAL FIRE HYDRANT ASSEMBLY

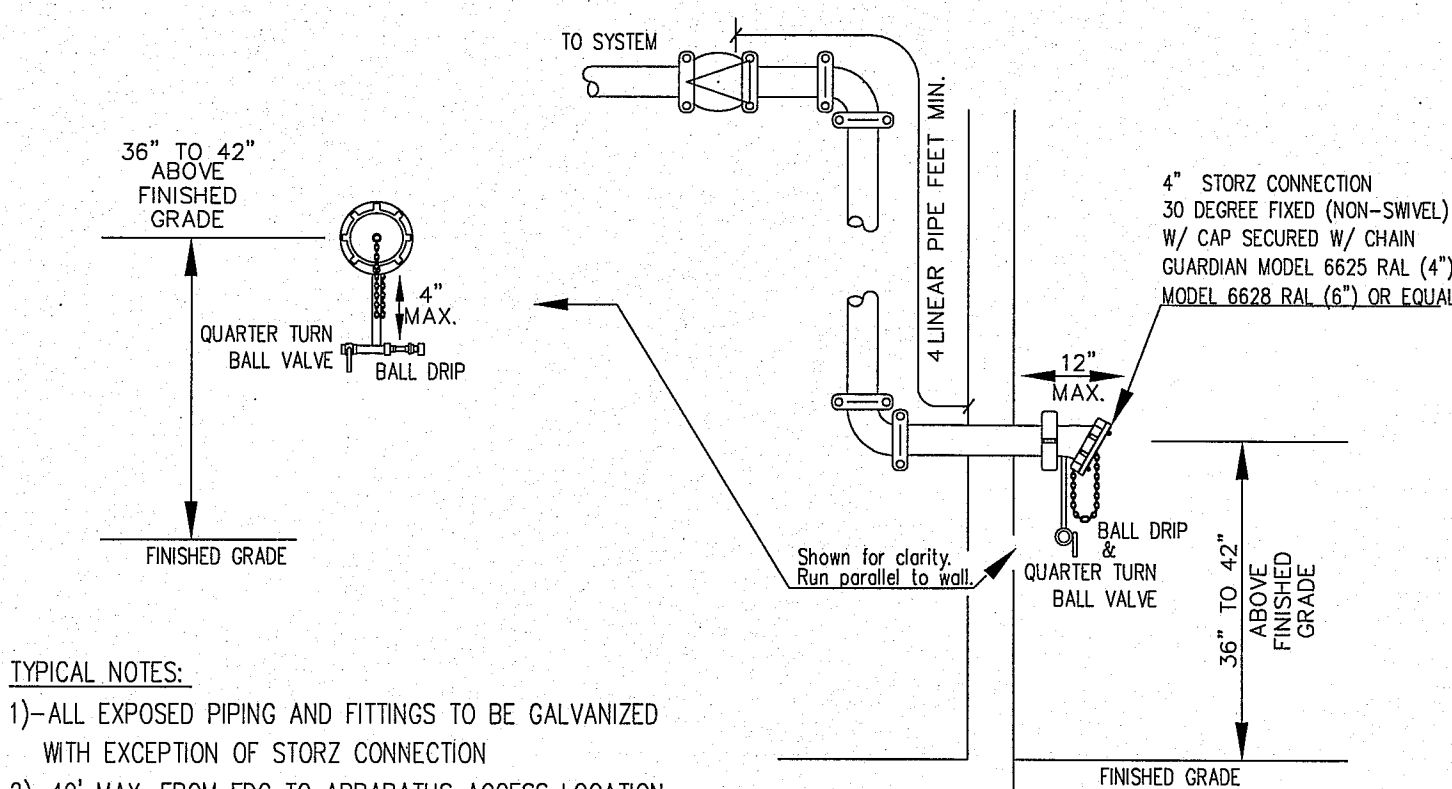


WATER PIPE TRENCH DETAIL AREA TO BE PAVED



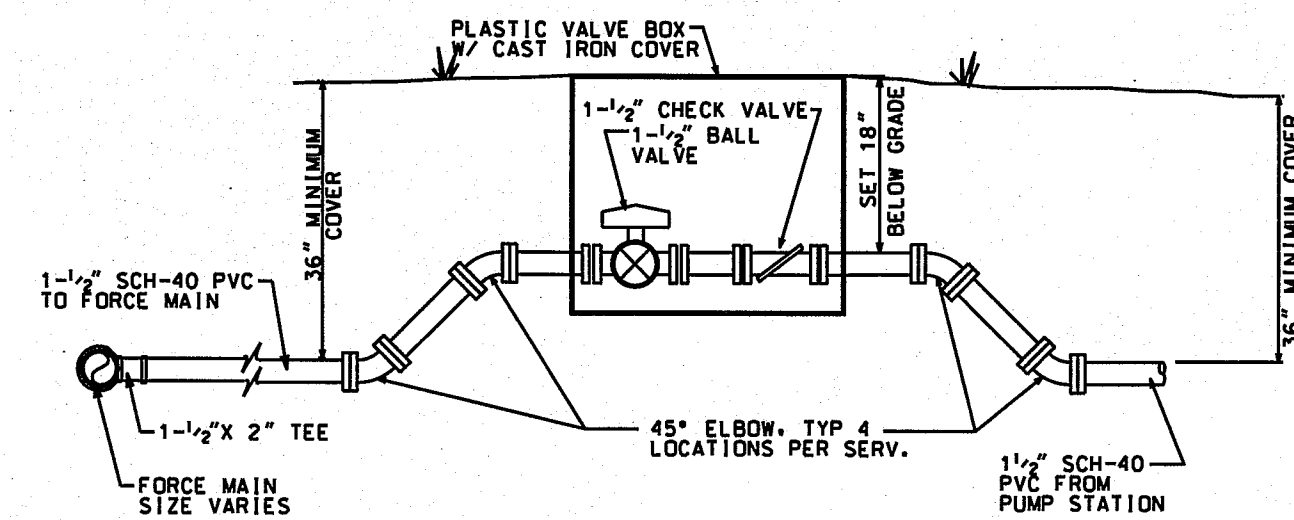
NOTE:
 BACKSIDE TAPPING OF EXISTING MAIN SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION OF TAP.

TAPPING DETAIL

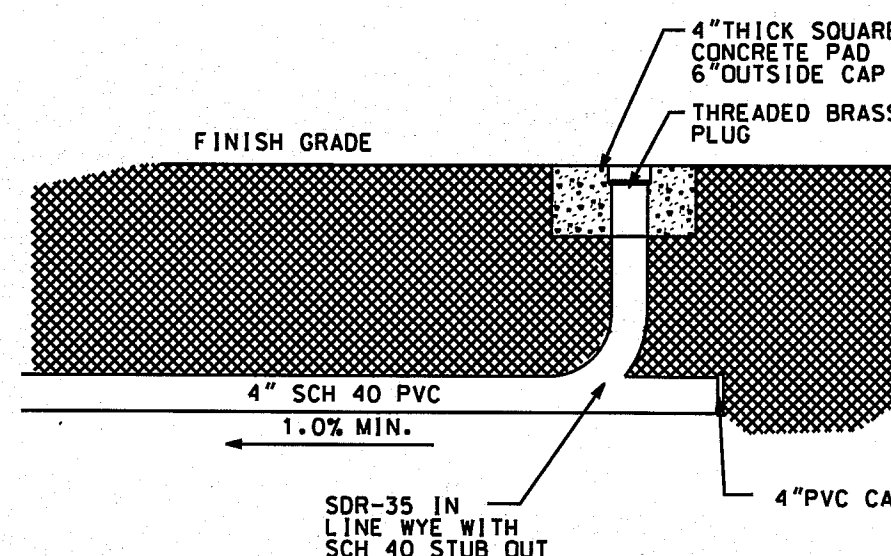


TYPICAL NOTES:
 1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
 2)-40" MAX. FROM FDC TO APPARATUS ACCESS LOCATION
 3)-FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
 4)-FOR HIGH RISE BUILDINGS USE SIAMESE

FLUSH FDC DETAIL



TYP. SERVICE CONNECTION

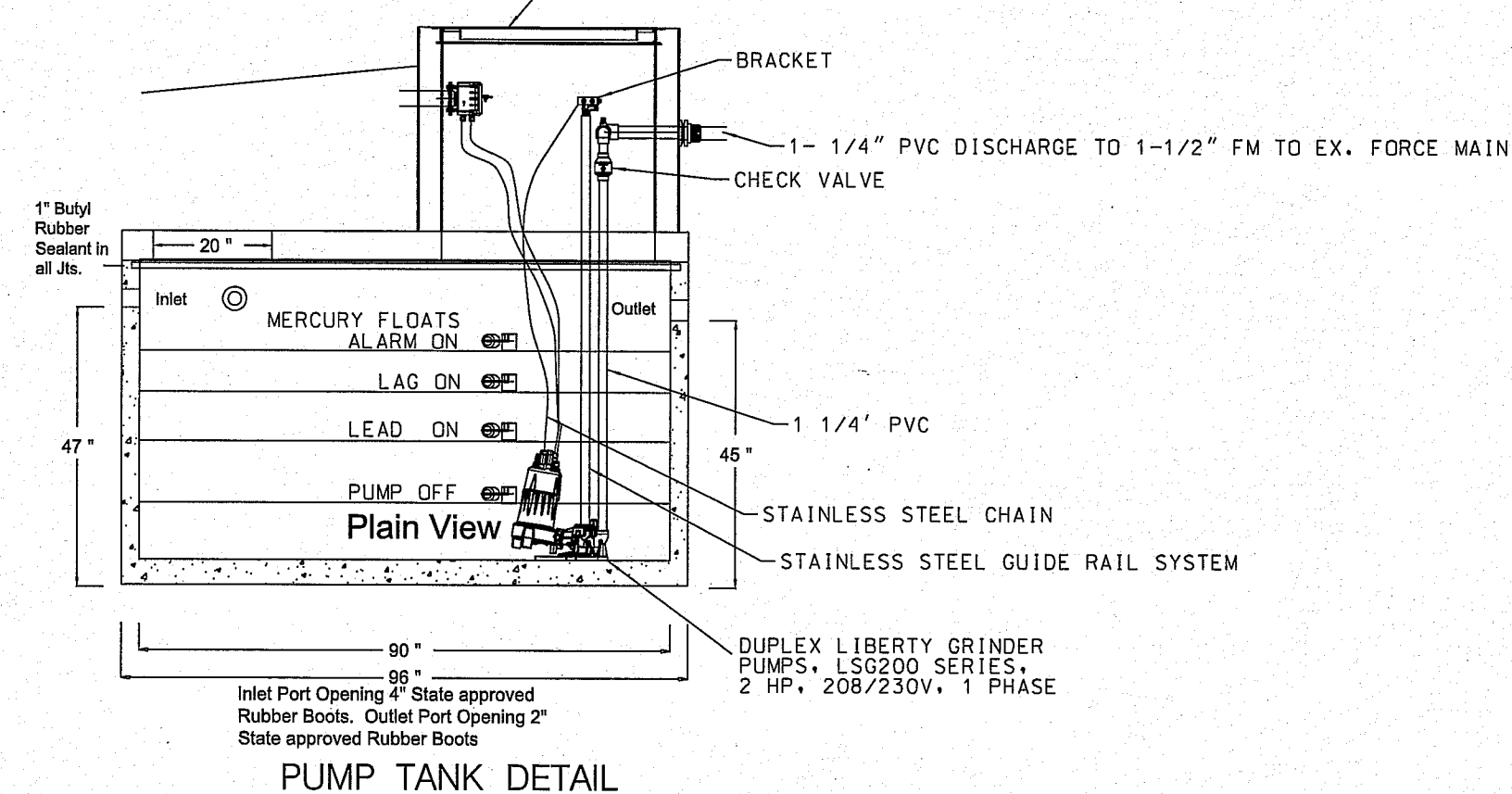
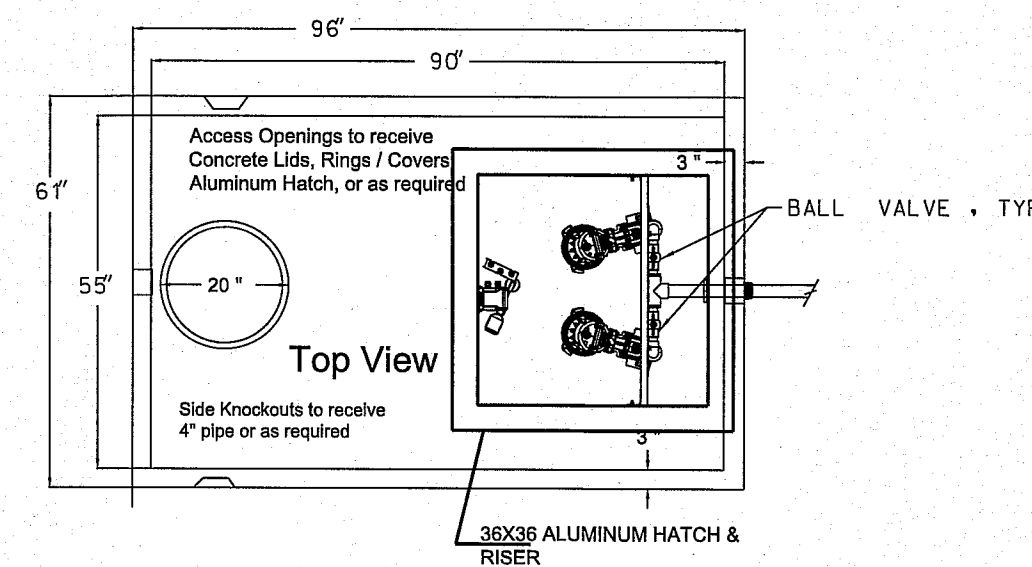
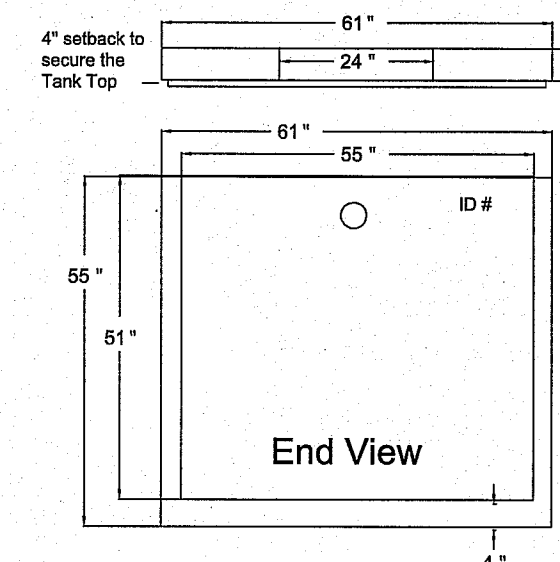


NOTE:
 1. INSTALL SQUARE CONCRETE PAD 6" OUTSIDE BRASS PLUG.
 2. IF LESS THAN 36" COVER, MAIN & SERVICE PIPE SHALL BE DUCTILE IRON PIPE.
 3. SERVICE LINES BETWEEN 14 FT AND 20 FT IN DEPTH SHALL REQUIRE CLASS 1 BEDDING IN ACCORDANCE WITH SPECIFICATIONS FOR FLEXIBLE PIPE SERVICE LINES.
 4. SERVICE LINES GREATER THAN 20 FT OR LESS THAN 3' FT IN DEPTH MUST BE DUCTILE IRON.

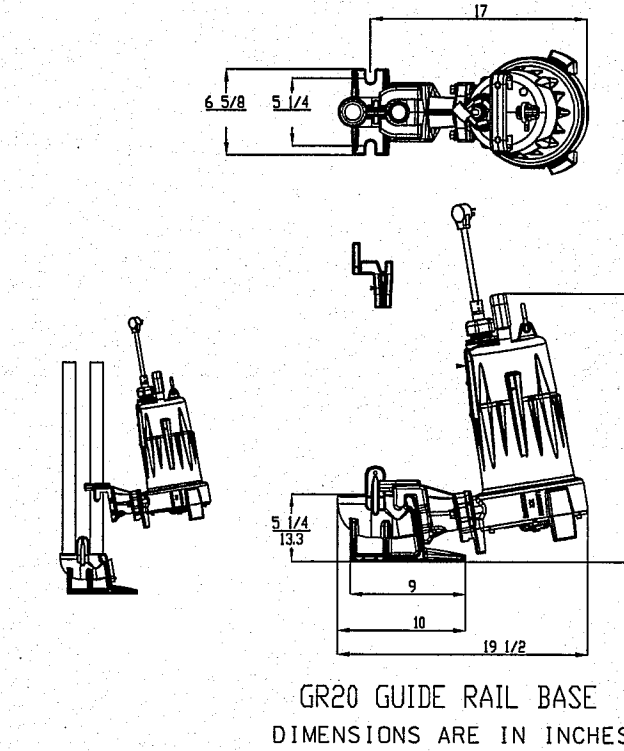
SANITARY SEWER SERVICE

PT - 214
 Date: 12-16-93
 Non Traffic Rated
 Liquid Capacity 1,028 Gallons
 18 gals. per inch
 Reinforcing Schedule: # 3 Grade 60 Rebar
 4500 PSI Concrete w/ State Approved Structural Fiber
 Est Weight 8200 lbs

Manufactured By
Blackwelder Tank Service, Inc.
 121 Stanton Hill Rd
 Carthage NC 28327
 Phone 919-718-5181
 Fax 919-775-2229
blackweldertank.com



PUMP TANK DETAIL



LIBERTY DETAILS

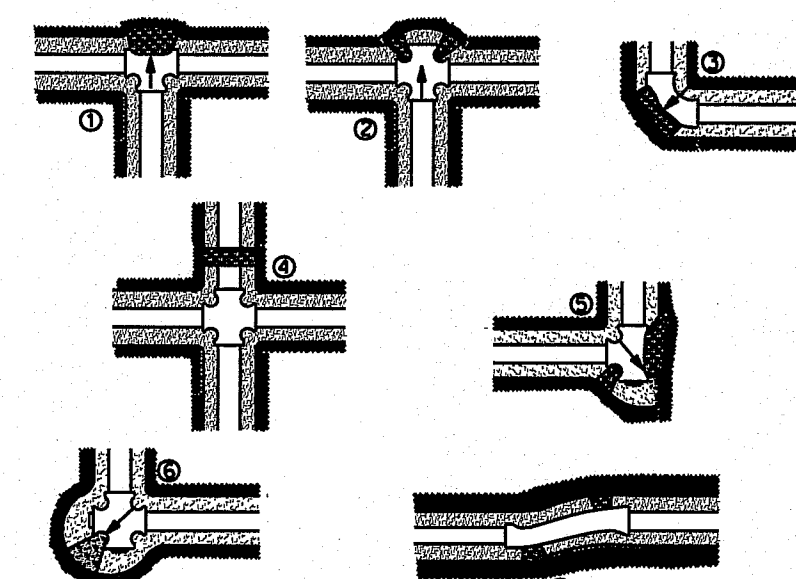
RESULTANT THRUST AT FITTING AT 150 P.S.I. WATER PRESSURE

NORMAL PIPE DIA.	TOTAL POUNDS			
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4"	2,700	3,800	2,100	1,100
5"	5,600	8,000	4,300	2,200
6"	9,700	13,600	7,400	3,600
8"	14,500	20,500	11,100	5,700
10"	20,500	29,000	15,700	8,000
12"	27,600	39,000	21,100	11,000
14"	35,700	50,400	27,300	14,000
16"	44,800	63,400	34,400	17,500
18"	55,000	77,800	42,100	21,500
20"	66,200	93,600	50,200	25,400
24"	78,500	111,000	60,000	31,600
30"	120,800	170,600	98,300	47,100
36"	172,800	274,400	132,300	67,500
42"	233,300	330,000	178,600	91,000
48"	304,000	430,000	232,700	118,600
54"	384,100	543,200	294,000	149,000

SOIL	BEARING LOAD (LB./SQ FT.)
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	2,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

TO DETERMINE THE SIZE OF A CONCRETE THRUST BLOCK, DIVIDE THE TOTAL FORCE BY THE BEARING VALUES OF THE SOIL. THE QUOTIENT WILL BE THE SIZE OF THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET. APPROXIMATE VALUES FOR VARIOUS TYPES OF SOILS ARE LISTED IN THE TABLE. NO RESPONSIBILITY CAN BE ASSUMED FOR THE ACCURACY OF THE DATA IN THIS TABLE DUE TO THE WIDE VARIATION OF BEARING LOAD CAPACITIES FOR EACH SOIL TYPE.

TYPES OF THRUST BLOCKING



1. THRU LINE CONNECTION. TEE
2. THRU LINE CONNECTION. CROSS USED AS TEE.
3. DIRECTION CHANGE. ELBOW
4. CHANGE LINE SIZE. REDUCER
5. DIRECTION CHANGE. TEE USED AS ELBOW
6. DIRECTION CHANGE. CROSS USED AS ELBOW
7. DIRECTION CHANGE

SEE BEAUFORT MANUAL FOR ADDITIONAL DETAILS ON THRUST BLOCKING

THRUST BLOCKING DETAIL

REVISIONS:

NO.	BY	DATE	DESCRIPTION

UTILITY DETAILS

M&H STORAGE
 1783 LIVE OAK STREET

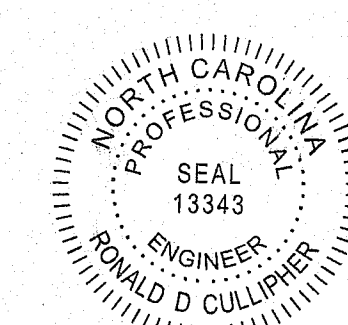
BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

CLIENT: M&H STORAGE, LLC
 ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
 PHONE: 919-645-1660

DESIGNED: CDI
 DRAWN: CDI
 CHECKED: RDC
 APPROVED: RDC

THE CULLIPHER GROUP, P.A.
 ENGINEERING & SURVEYING SERVICES
 151A HIGHWAY 24 MORRHEAD CITY, N.C. 28557
 (252) 773-0090 LICENSE NO. C-4482
 RONALD D. CULLIPHER, P.E.

DATE: 12/6/2023
 SCALE: NTS



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

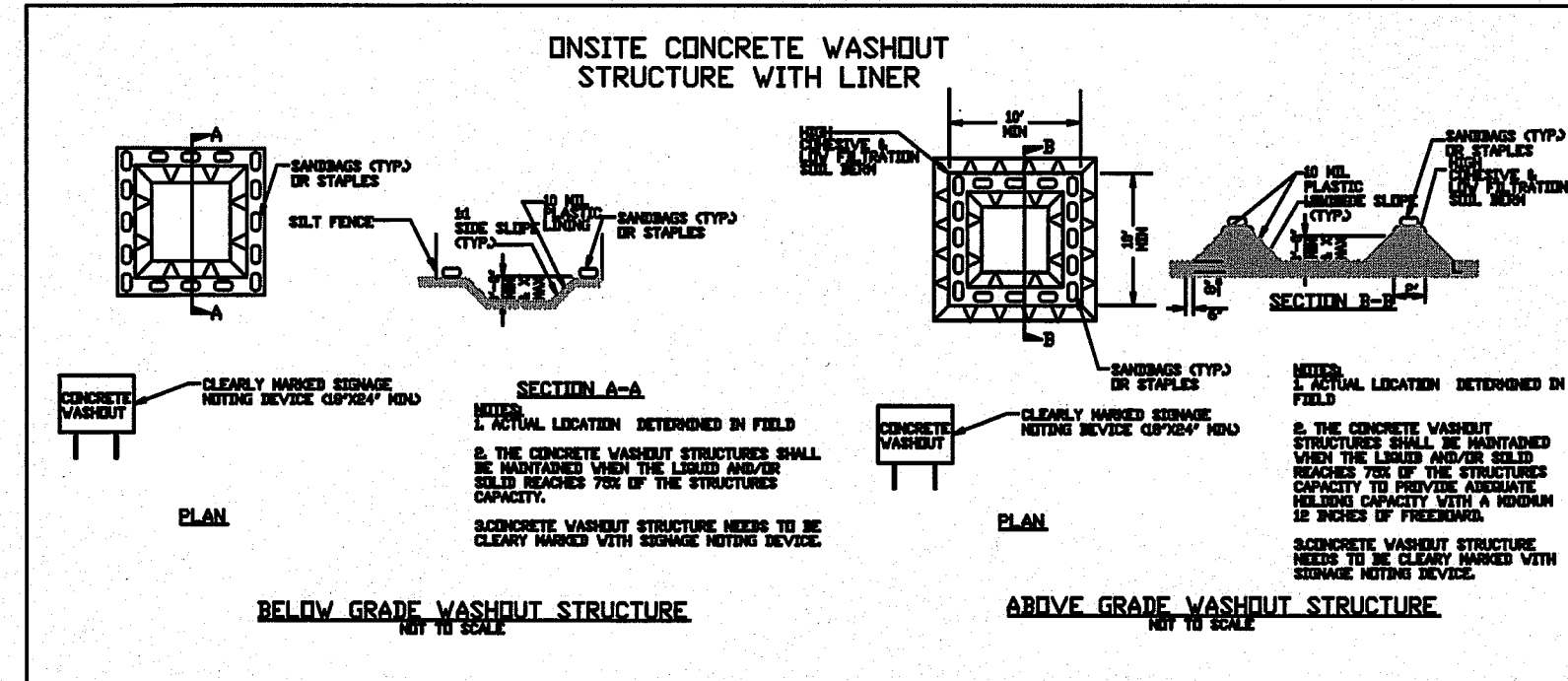
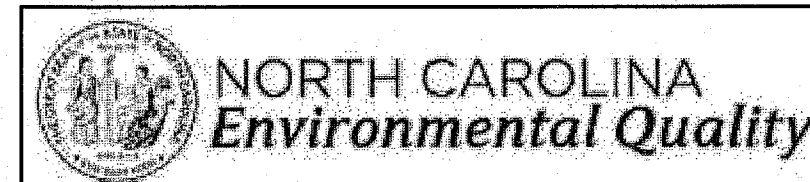
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

REVISIONS:

No.	BY	DATE	DESCRIPTION
1	RDC	11/22/23	TRC COMMENTS

GROUND STABILIZATION AND MATERIALS HANDLING

M&H STORAGE
1783 LIVE OAK STREET

BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA

CLIENT: M&H STORAGE, LLC
ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609
PHONE: 919-645-1660

DESIGNED: CD1
DRAWN: CD1
CHECKED: RDC
APPROVED: RDC

THE CULLIPHER GROUP, P.A.
ENGINEERING & SURVEYING SERVICES
151A HIGHWAY 24
MOREHEAD CITY, N.C. 28557
(252) 773-0090 LICENSE NO. C-4482
RONALD D. CULLIPHER, P.E.

DATE: 10/19/2023
SCALE: 1" = 50'

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- (c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that must be reported

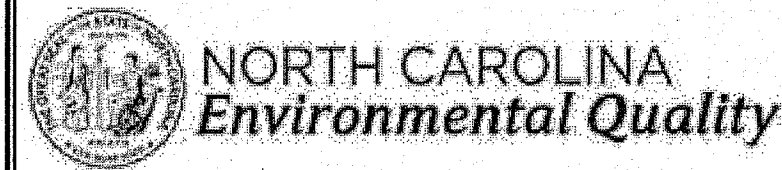
Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- (c) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland.	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the <u>NC 303(d) list</u> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above.	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

REVISIONS:

No.	BY	DATE	DESCRIPTION
1	RDC	11/22/23	THE COMMENTS

SELF INSPECTION, RECORDKEEPING, AND REPORTING M&H STORAGE 1783 LIVE OAK STREET BEAUFORT TWP., CARTERET COUNTY, NORTH CAROLINA	
CLIENT: M&H STORAGE, LLC ADDRESS: 3700 COMPUTER DRIVE SUITE 280 RALEIGH, NC 27609 PHONE: 919-645-1660	DESIGNED: CD1 DRAWN: CD1 CHECKED: RDC APPROVED: RDC
THE CULLIPHER GROUP P.A. ENGINEERING & SURVEYING SERVICES 151A HIGHWAY 24 MOREHEAD CITY, N.C. 28557 (262) 773-0090 LICENSE NO. C-4482 RONALD D. CULLIPHER P.E.	DATE: 10/19/2023 SCALE: 1" = 50'



TOWN OF BEAUFORT
ORDER APPROVING A SPECIAL USE PERMIT

The Board of Commissioners for the Town of Beaufort, having held an evidentiary hearing on June 27, 2022, to consider Case 22-16, an application for a special use permit submitted by the Carteret County ABC Board, to allow a Mini-Storage facility on the property located at 1791 Live Oak Street owned by the Carteret County ABC Board and identified by PIN # 730612856893000, Beaufort, NC, considering the standards outlined in the Town’s *Land Development Ordinance* (hereby known as “the *Ordinance*”), and having heard all of the evidence and arguments presented at the hearing, makes the following **FINDINGS OF FACT** and draws the following **CONCLUSIONS**:

1. It is the Board’s **CONCLUSION/FINDINGS OF FACT** after hearing testimony and reviewing the staff report and exhibits that:
 - a. The proposed use is an allowable special use in the B-1 Zoning District in which it is located;
 - b. The application is complete;
 - c. The location and character of the use will be in conformity with the Town’s Land Use Plan and other comprehensive planning elements;
 - d. Streets, driveways, parking lots, traffic control, and any other traffic circulation features have been designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
 - e. The proposed special use will not substantially injure the value of adjoining or abutting properties;
 - f. The proposed special use is compatible and in harmony with the adjoining land uses and the development patterns of the immediate area; and
 - g. The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.

2. It is the Board’s **CONCLUSION/FINDING OF FACT** after hearing testimony and reviewing the staff report and exhibits that the following conditions are reasonable and necessary to ensure that the use is consistent with the required findings in Paragraph 1 herein, as required by Section 20 (D)(5) of the Land Development Ordinance:
 - a. This Order Approving a Special Use Permit will expire 5 years from the date of the Town’s final review and approval of the project Site Plan; and
 - b. This Order Approving a Special Use Permit will not become effective until the existing property boundary line dispute between Carteret County ABC and Beaufort Spring Housing Association is resolved.

Therefore, on the basis of all the foregoing, **IT IS ORDERED** that the application for a **SPECIAL USE PERMIT BE APPROVED TO ALLOW THE CONSTRUCTION AND OPERATION OF A MINI-STORAGE FACILITY AT 1791 LIVE OAK STREET SUBJECT TO THE CONDITIONS STATED HEREIN.**

Ordered this 22nd day of August, 2022.

Sharon Harker

Mayor Sharon Harker
Chair



Elizabeth Lewis

Elizabeth Lewis
Town Clerk

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Superior Court of Carteret County within thirty (30) days after the date this order is served on you pursuant to N.C.Gen. Stat. Sec. 160D -1405(d).



TOWN OF BEAUFORT
PLANNING & INSPECTIONS DEPARTMENT
701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
(252) 728-2141
Fax (252) 728-3982
www.beaufortnc.org

Michelle Eitner
m.eitner@beaufortnc.org

Memorandum

To: Planning Board Members
From: Michelle Eitner, Town Planner
Date: February 5, 2024
Re: Timeline of Approvals for M&H Storage property

The site plan review for development of the M&H Storage property came before the Planning Board on January 16, 2024. There was confusion regarding prior approvals and conditions, so the recommendation from Planning Board was tabled until further information could be provided. The following timeline and accompanying documents outline the prior discussion on this proposed development. (Underline links to page.)

- **June 20, 2022 Planning Board meeting**
 - **#22-13 Preliminary/Final Plat** – Review of preliminary & final subdivision plat by TRC resulted in request to have a second driveway entrance through Beaufort Springs property in addition to proposed access easement through the front parcel. PB tabled decision pending formal access easement to use Beaufort Springs driveway. (Attachment A minutes page 3; Attachment B proposed plat)
 - **#22-16 Special Use Permit** – Review of proposed SUP without site plan. PB recommended approval of the SUP with conditions: light abatement to include headlights, noise control, number and size of boats, and sunset clause on the SUP. (Attachment A minutes pages 3-4)
- **July 11, 2022 Board of Commissioners meeting**
 - **#22-16 Special Use Permit** – BOC quasi-judicial hearing as review of proposed SUP without site plan. SUP was approved with two conditions: 5 year sunset clause and property boundary dispute resolution. (Attachment C minutes pages 12 – 14)
- **August 22, 2022 Board of Commissioners meeting**
 - **#22-16 Special Use Permit** – BOC signed evidentiary hearing order for SUP. (Attachment D SUP)
- **September 19, 2022 Planning Board meeting**
 - **#22-13 Preliminary/Final Plat** – PB reviewed boundary dispute resolution and proposed access easement agreement. Recommended approval contingent upon execution of easement agreement. (Attachment E minutes page 2; Attachment F proposed plat)
- **October 10, 2022 Board of Commissioners meeting**

- **#22-13 Preliminary/Final Plat** – Commissioners approve plat with PB’s recommended conditions: no signatures on final document until access easement is executed and a recorded survey is obtained. (Attachment G minutes page 2; Attachment H proposed plat)
- **January 16, 2024 Planning Board meeting**
 - **#24-01 Site Plan** – PB receives site plan for review and recommendation. Decision tabled pending additional historical information about prior project approvals.

The following attachments support this timeline:

- **Attachment A** - June 20, 2022 Planning Board meeting minutes
- **Attachment B** - Proposed plat from June 20, 2022 Planning Board meeting agenda packet
- **Attachment C** - July 11, 2022 Board of Commissioners meeting minutes
- **Attachment D** - August 22, 2022 Signed Special Use Permit
- **Attachment E** - September 19, 2022 Planning Board meeting minutes
- **Attachment F** - Proposed plat from September 19, 2022 Planning Board meeting agenda packet
- **Attachment G** - October 10, 2022 Board of Commissioners meeting minutes
- **Attachment H** - Proposed plat from October 10, 2022 Board of Commissioners meeting agenda packet
- **Attachment I** - Modified Driveway Easement recorded December 14, 2022



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, June 20, 2022 - Train Depot, 614 Broad Street, Beaufort, NC 28516
Minutes**

Call to Order

Chair Neve called the June 20, 2022 Planning Board meeting to order at 6:00 p.m.

Roll Call

Chair Neve asked Secretary Anderson to conduct a roll call.

In attendance: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim

Secretary Anderson declared a quorum present.

Member Vreugdenhil arrived after Minutes Approval and was present for the rest of the meeting.

Also present for the meeting were Kyle Garner, and Laurel Anderson.

Agenda Approval

Chair Neve asked if there were any changes to the Agenda and hearing none, he asked for a motion.

Member LoPiccolo made the motion to approve the agenda as presented and Vice-Chair Merrill made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim

Minutes Approval

- 1. PB Draft Minutes for 5.16.22

Chair Neve asked if there were any changes to the Minutes from the May 16, 2022 meeting and hearing none, he asked for a motion.

Vice-Chair Merrill made the motion to approve the minutes and Member Meelheim made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim

Public Comment

Chair Neve opened public comments and asked if anyone would like to speak.

Daphne Littiken, 102 Stanton Rd, Beaufort NC spoke regarding the need for workforce affordable housing.

Public Hearing

- 1. Pollock Street

Chair Neve introduced the public hearing for Pollock Street rezoning and asked Mr. Garner about the applicant withdrawing the application. Mr. Garner explained that the applicant decided to withdraw the request after speaking with some of the neighbors and hearing their concerns, and wanted to work with them to come up with a solution.

Vice-Chair Merrill asked Mr. Garner about the application and he explained that the applicant had originally looked at the Cedar Street mixed-use zoning but the neighbors were worried about the other possible uses included in that zoning. The applicant agreed to meet with the neighbors and discuss the options, such as townhomes, that everyone was more comfortable with.

New Business

- 1. Case# 22-12 AA Storage Site Plan

Chair Neve introduced Case# 22-12 and asked Mr. Garner about the application. Mr. Garner explained that this was the fourth time it had come before the Board and gave a summary of the application request to construct a Mini Storage facility totaling 150,567 square feet to include:

- 4 – one-story climate-controlled buildings, each totaling 24,000 square feet.
- 1 – one-story covered open air storage area totaling 52,967 square feet.
- 1 – two-story office totaling 1,600 square feet.

Additionally, as part of the Special Use Permit the applicant had agreed to install a 30-foot wide landscape buffer between the facility and adjoining residential properties along Piver Road. Mr. Garner stated that the site had already been annexed and rezoned and had already received a Special Use Permit for the Mini-Storage Facility. He noted that the project meets the design criteria required in the Land Development Ordinance (LDO), it had been fully reviewed by the town engineer, DOT, and staff; and the stormwater offsite of the area had been reviewed and approved, and staff recommended approval.

Member Bowler asked Mr. Garner if there had been any concerns submitted by adjacent property owners, and he answered that there were concerns regarding the stormwater component, and the applicant had submitted a full analysis of the off-site impact.

Chair Neve then asked the applicant if he would like to add anything. Mr. Chase Cullipher of the Cullipher Group, spoke on behalf of the Rosemyr Corporation. He stated that regarding the Department of Environmental Quality (DEQ) process, they had submitted and received their permit, and were anticipating the stormwater approval from DEQ.

Member Merrill asked about the stormwater collection, and Mr. Cullipher stated that there are downspouts to collect runoff to move to the pond, and there will be equal or less flow than the current runoff. Chair Neve commended the applicant for providing a 30-foot buffer and asked about other vegetation plans. Mr. Cullipher explained that they would add town-approved trees. Member Vreugdenhil stated his concern regarding the three close driveways.

Chair Neve closed discussion and asked for a motion.

Member Vreugdenhil made a motion to approve the Site Plan as presented and Vice-Chair Merrill made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

- 2. Case # 22-13 Preliminary Plat – 1791 Live Oak

Chair Neve introduced Case# 22-13 and asked Mr. Garner about the application. Mr. Garner gave a summary of the application request to subdivide a 8.3 acre tract into 2 lots. The submitted preliminary plat shows a property line gap which the property owners are engaged in resolving and due to this gap, the developer did not submit utility drawings. Mr. Garner explained that because the applicant is requesting a Special Use permit a full Site Plan will be required at a later date. The property line gap between the properties totals .884 acres, with an almost 57' road frontage. He pointed out that there is a small retention pond already at the back of the property.

1.

Member LoPiccolo asked Mr. Garner if the applicant would return when the survey was completed, and Josh Johnson of Stroud Engineering, representing the applicant, responded that the property line agreement was being currently worked on, adding that the utilities, site plan, and final design would be resolved.

Member Vreugdenhil asked how the mini storage would be accessed, and Mr. Johnson responded that the ABC store had agreed to access through their parking lot. Mr. Garner stated that the town's public safety requested that the driveway system for the housing area and existing mini-storage facility be used for access rather than the ABC store parking lot. Member Vreugdenhil clarified the applicant's request that the lot be divided with no street access to the back lot until the survey resolving the gap between the existing lots was completed, and that the Board could not consider a site plan until that time.

Vice-Chair Merrill stated that using the ABC store parking lot was not acceptable. After further discussion regarding the parking lot, Chair Neve asked Mr. Johnson if there was a formal agreement between the applicant and Beaufort Springs Apartments for use of their driveway. He stated that at this time, there was no formal agreement. Vice-Chair Merrill said the best configuration would be for the subdivided property to be accessed through an existing driveway, and the Board would need documentation granting access to the driveway.

Member Meelheim asked including the existing residents, how many cars would be accessing the shared driveway, and Mr. Johnson stated that information was not available at that time. Member Meelheim said that the existing residential neighbors had been used to a quiet environment and requested the applicant consider noise abatement.

Member Bowler asked if there would be mini storage and boat storage on the site. Mr. Johnson stated that the majority of the storage would be indoor climate-controlled but there would be some boat storage.

Chair Neve asked about a sidewalk, and Mr. Garner stated that the sidewalk was required as part of the final plat. Mr. Johnson said there would be connectivity across the gap area.

Vice-Chair Merrill made a motion to table Case# 22-13 until the applicant returned with an agreement to utilize the driveway. Member Meelheim made the second, and Chair Neve took a vote that was unanimous.

*Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim
Member Vreugdenhil*

3. Case# 22-16 Special Use Permit for a Mini-Storage facility at 1791 Live Oak Street

Mr. Garner introduced Case# 22-16 and stated that the property is part of a subdivision plat of the existing ABC Store property and is for the rear portion. If approved by the Board of Commissioners a full Site Plan, to include a stormwater management plan will be submitted after the decision of the Special Use Permit. The site plan will go through the Planning and Board of Commissioners for approval as part of that process.

Member Vreugdenhil stated that as the property is zoned B-1, the mini storage facility is a good use as it is low-density and is not very visible from the road. Member Meelheim asked for the Board to consider noise and light abatement, and Vice-Chair Merrill requested a buffer also. Member Bowler requested more information regarding the amount of boat storage and sizes of boats that would be using the shared driveway and turning into traffic onto Live Oak Street.

Vice-Chair Merrill voiced a concern regarding the proliferation of mini-storage facilities in the area and expressed a need for other commercial land uses, and suggested a possible corridor 300 feet from the highway. The Board discussed adding restrictions and guidance in the new Unified Development Ordinance

(UDO), and requested a text amendment be put on the next month's agenda. Member LoPiccolo suggested adding boat storage requirements to Planned Unit Development applications. 1.

Mr. Garner read the list of the Board's recommendations for the Board of Commissioners, including light abatement to include headlights, noise control, the number and size of boats, and issuing a sunset clause if the special use permit is approved.

Member Bowler requested that the storage of Recreational Vehicles (RV's) be addressed, and Mr. Johnson stated that any RV storage would be covered and enclosed. Chair Neve pointed out that RV's could only be stored at the site and not occupied.

Chair Neve closed discussion and asked for a motion.

Member Bowler made a motion to approve the special use permit to include the following recommendations:

1. *Light abatement to include headlights*
2. *Noise control*
3. *Number and size of boats*
4. *Sunset clause on the special use permit*

Member Meelheim made the second and Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Commission / Board Comments

Member Vreugdenhil complimented the staff on the packets. Member Merrill discussed requirements for mini-storage facilities to be sited off the highway. Member Meelheim stated that she appreciated the opportunity to discuss issues that had been raised. Chair Neve suggested the Board keep a list of items to be updated in the UDO.

Staff Comments

Mr. Garner gave an update on the Land Use Plan, stating that the draft had been fully revised and the Board of Commissioners had set a workshop date in July for review.

Adjourn

Member Vreugdenhil made the motion to adjourn and Member LoPiccolo made the second. Chair Neve took a vote that was unanimous.

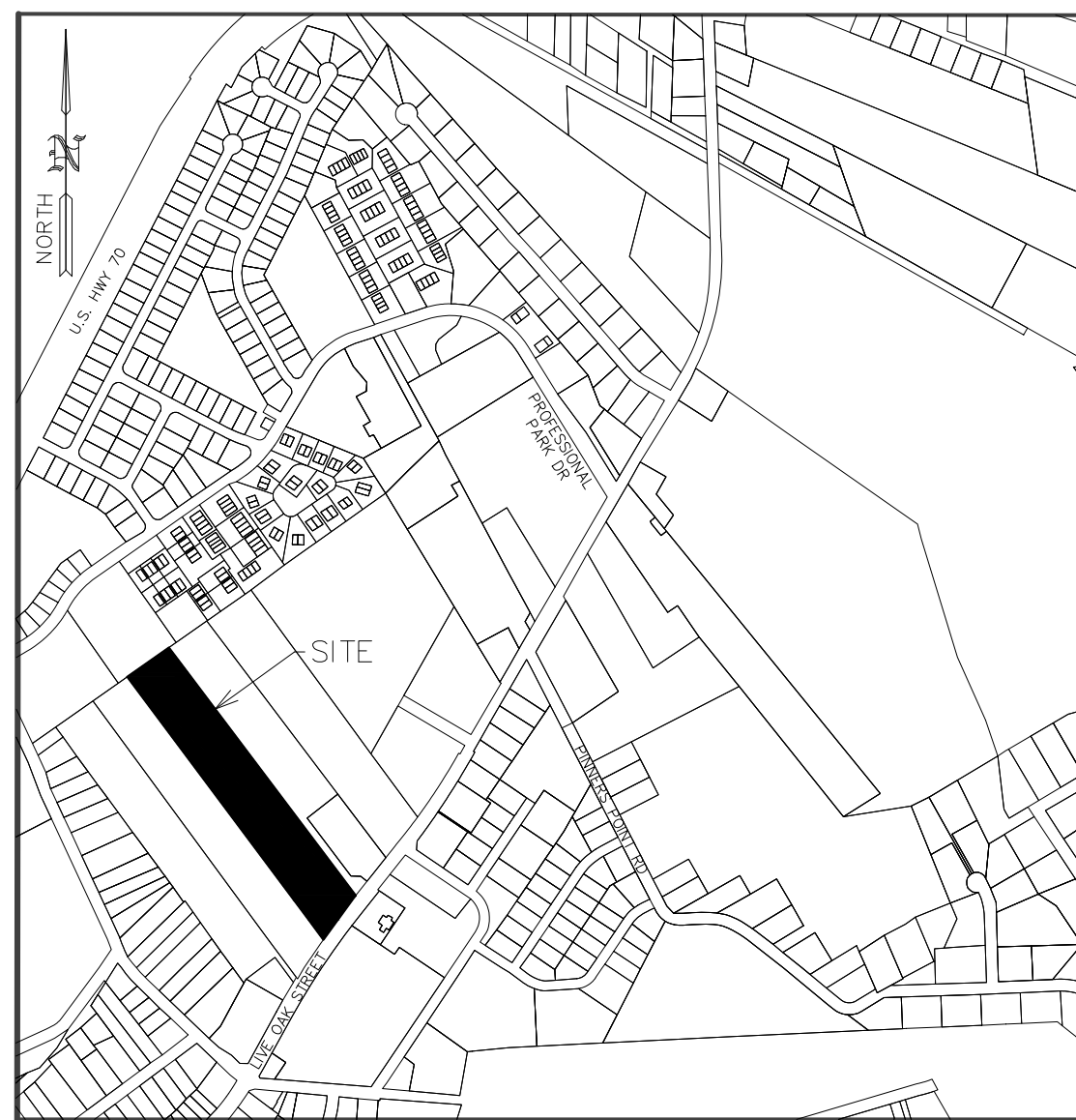
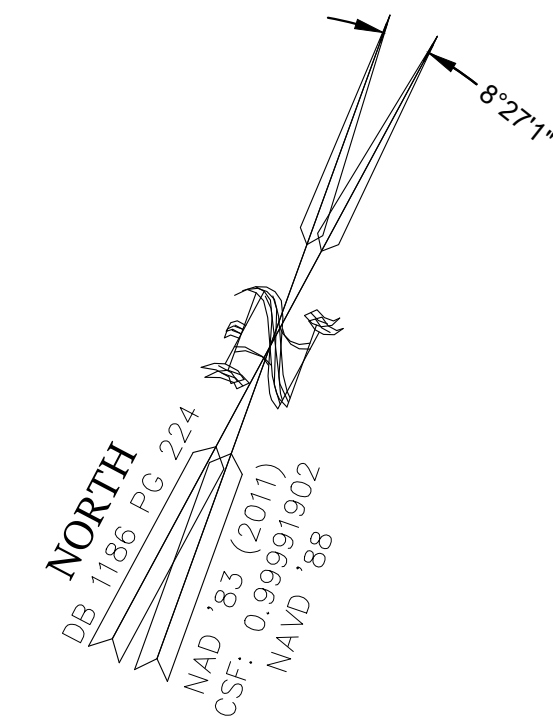
Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Chair Neve then declared the meeting adjourned.

Ryan Neve, Chair

Laurel Anderson, Board Secretary

PRELIMINARY NOT FOR SALES OR RECORDATION



VICINITY MAP (NOT TO SCALE)

LEGEND

- R/W= RIGHT-OF-WAY
- CP = COMPUTED POINT BY DEED
- EIP= EXISTING IRON PIPE
- EIR= EXISTING IRON ROD
- EPK= EXISTING PARKER NYLON NAIL
- ERRS= EXISTING RAILROAD SPIKE
- BOUNDARY LINE
- NON-SURVEYED LINE
- PLATTED BY DEED
- EX. RIGHT-OF-WAY
- EX. EASEMENT LINE

NOTES:

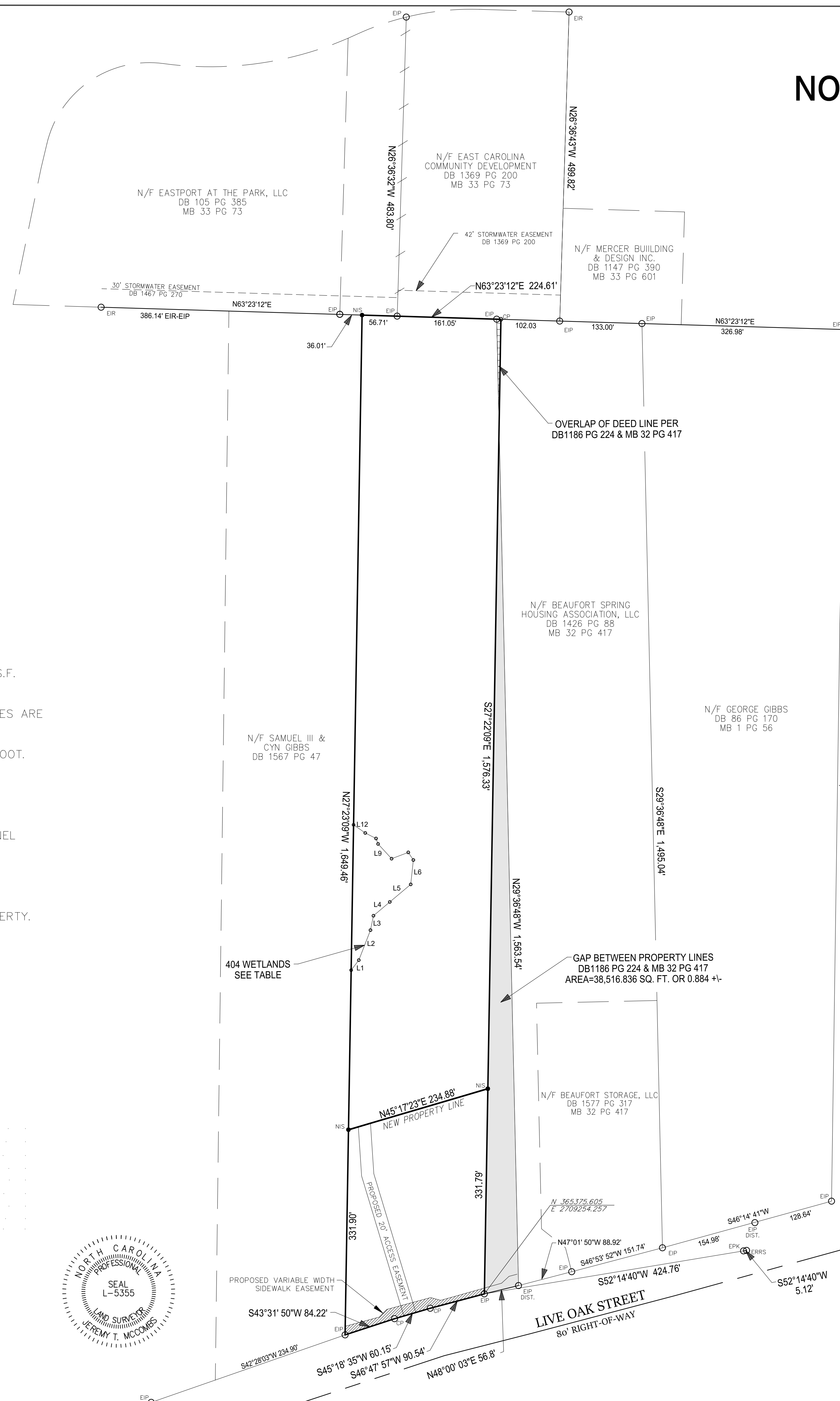
1. ALL AREAS CALCULATED BY COORDINATE GEOMETRY. AREA = 361,496.551 S.F. OR 8.30 +/- ACRES ON LAND.
2. ALL BEARINGS ARE BASED ON DEED BOOK 1186 PAGE 224 AND COORDINATES ARE BASED ON N.C. STATE PLANE COORDINATE SYSTEM; NAD 83 (2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. UNITS: US SURVEY FOOT.
4. THIS PARCEL IS ZONED B-1 PER THE TOWN OF BEAUFORT UNIFIED DEVELOPMENT ORDINANCES.
5. THIS PROPERTY IS LOCATED IN FLOOD ZONE DESIGNATIONS: SHADED "X" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FIRM PANEL 3720730600J, DATED 7/16/2003.
6. 404 WETLANDS DETERMINED BY THE U.S. ARMY CORPS OF ENGINEERS PER ACTION ID: SAW-2017-00741.
7. NO NGS HORIZONTAL MONUMENT WITHIN 2,000 FEET OF THE SUBJECT PROPERTY.

I, JEREMY T. MCCOMBS, CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY OF DESCRIPTION(S) AS RECORDED IN DEED BOOK 1186, PAGE 224. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS SUCH AND WERE PLOTTED FROM INFORMATION AS REFERENCED HEREON: DB 1567 BK 47; MB 31 PG 794; MB 32 PG 417; MB 33 PG 73; MB 33 PG 601 THAT THE RATIO OF PRECISION WAS 1:10,000+ AND THAT THE GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) WAS USED TO PERFORM A PORTION OF THIS SURVEY AND THE FOLLOWING INFORMATION WAS USED:

(1) CLASS OF SURVEY:	CLASS A
(2) POSITIONAL ACCURACY:	0.05'
(3) TYPE OF GPS SURVEY:	RTK
(4) DATES OF SURVEY:	1-5-2022
(5) DATUM/EPOCH:	NAD83(2011)
(6) PUBLISHED/FIXED -CONTROL USE:	NC RTN
(7) GEOID MODEL:	2018
(8) COMBINED GRID FACTOR(S):	0.999991902
(9) UNITS:	US SURVEY FOOT

I FURTHER CERTIFY THIS IS A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600) AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30(F)(11) AS AMENDED. WITNESS MY HAND AND SEAL THIS 26TH DAY OF MAY, A.D. 2022.

JEREMY T. MCCOMBS PLS L-5355



404 WETLAND TABLE

L1	N09°12'25\"E	20.38'
L2	N07°06'08\"W	52.05'
L3	N16°40'22\"W	23.81'
L4	N21°36'05\"E	34.54'
L5	N21°35'28\"E	44.21'
L6	N22°16'13\"W	39.64'
L7	N61°40'28\"W	14.76'
L8	S40°55'14\"W	28.92'
L9	N70°48'31\"W	32.31'
L10	N48°45'39\"W	9.49'
L11	S88°36'00\"W	19.60'
L12	N83°25'32\"W	23.03'

REFERENCES

- DEED BOOK 1567 PAGE 47
- MAP BOOK 1 PAGE 56
- MAP BOOK 30 PAGE 757
- MAP BOOK 31 PAGE 260
- MAP BOOK 31 PAGE 723
- MAP BOOK 31 PAGE 794
- MAP BOOK 31 PAGE 905
- MAP BOOK 32 PAGE 32
- MAP BOOK 32 PAGE 417
- MAP BOOK 32 PAGE 454
- MAP BOOK 31 PAGE 905
- MAP BOOK 32 PAGE 73
- MAP BOOK 33 PAGE 466
- MAP BOOK 33 PAGE 509
- MAP BOOK 33 PAGE 601

SUBDIVISION PLAT OF
TRACT #3 TOM GIBBS SUBDIVISION
REFERENCE: DB 1186 PG 224 PIN: 730612856893000
BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

OWNER: CARTERET CO BD OF ALCOHOLIC CO	SURVEYED: BB/AC
ADDRESS: 1791 LIVE OAK STREET BEAUFORT, NC 28516	DRAWN: JTM
STROUD ENGINEERING, P.A. 422 HIGHWAY 24 MOREHEAD CITY, N.C. 28557 (252) 247-7479 LICENSE NO.C-0647	APPROVED: JTM
	DATE: 06/09/2022
	SCALE: 1" = 100'

PM3071~001



Town of Beaufort, NC
701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Board of Commissioners
Regular Meeting
6:00 PM Monday, July 11, 2022
Train Depot, 614 Broad Street, Beaufort, NC 28516
Minutes**

Call to Order

Mayor Harker called the meeting to order at 6:00 p.m.

Roll Call

Elizabeth Lewis, Town Clerk, called the roll.

PRESENT:

Mayor Harker

Mayor Pro Tem Hagle

Commissioner Oliver

Commissioner Cooper

Commissioner Terwilliger

Commissioner Hollinshed

Agenda Approval

Commissioner Hagle made a motion to approve the agenda as presented.

The motion carried unanimously.

Public Comment

Martha Kenworthy, 109 Holly Lane in Beaufort, shared the following:

I am writing these questions and comments as one of the property owners listed on page 113 as residing within 100 feet of the named variance requested. This request is for Phase 2 of the Salt Wynd subdivision which has not been presented to town yet for approval. I am wondering how a cul-de-

sac variance can be considered when only Phase 1 has been approved and it is unknown what the Phase 2 plan and surrounding development will be. It looks like in the sketch submitted with this variance request, that the cul-de-sac will go to lots in 404 wetlands. I would request this variance be denied until the Phase 2 portion of the subdivision is approved and allowed to have public comment. Why is the subdivision plan not going to the Planning Board for approval? Mr. Garner states it is the staff's opinion the variance is not unique to the applicant's property, and in that there are wetlands throughout Beaufort that have impacted other streets. Is this now the standard in Beaufort? Is it okay for wetlands to be impacted by Town Streets? We have always been told when we moved into Howland Rock, the street that I live on (Holly Lane) was supposed to connect with Pinner Point Road but that was denied because it would go through a wetland. I believe that should still be the practice considered by the Town of Beaufort. As an adjoining property owner, I request the variance be denied when it comes up; I don't know that I could have spoken during that time, that is why I am speaking now. Perhaps it will be an appropriate variance but that is unknown because we don't know what Phase 2 is for that subdivision. Also, as you get to towards the end of that road the lots get narrower, more cramped between the flood area and wetlands, which could make it harder to get out during a storm. I am just not sure what the reasoning is for the additional length to that cul-de-sac.

Margaret Powell, 264 Glenda Drive in Beaufort, addressed the Town Manager and Board on cemetery concerns, particularly on the east side of Oceanview Cemetery. She noted she was speaking for concerned citizens of Beaufort. She had questions about the spacing of lots and driveways in the cemetery and suggested it was becoming a bit overloaded. She also expressed concern regarding the question of ownership on the east side of the cemetery, and the price associated with each plot.

Manager Report

Todd Clark, Town Manager, gave a report regarding recent and upcoming projects throughout Town. Below is a summary highlighting what was discussed.

“Trestle Walk” Project: The staff has met with the developers of the Mulberry Project and have received a favorable response from them to work with the Town to establish a multi-use path. This discussion will be incorporated into the presentation on the pending Mulberry Rezoning and PUD cases.

Harbor & Waterways Master Plan: The Harbor and Waterways Advisory Committee conducted a public meeting on June 23rd and received public comment on the first draft of the Master Plan. The committee is seeking further public feedback through a survey posted on the Town website.

Waterfront Asset Appraisals: As directed by the Board, the Town Manager is seeking qualified firms to perform an appraisal of Town owned assets surrounding the waterfront. The Town Manager will also work with the Board of Commissioners in the coming months to develop a strategy concerning the renewal of the waterfront lease, as the Board's input is crucial and will be needed to develop a plan before the end of this calendar year.

CAMA Land Use Plan Integrated with Resiliency Plan: The Board of Commissioners has a workshop scheduled for Thursday, July 14, 2022 to review the plan with staff. The Board of Commissioners will be asked to call for a public hearing for August 8, 2022.

Oceanview Cemetery Improvements: The Mayor as well as staff met at Oceanview Cemetery. to discuss needed improvements. Staff is currently working to develop a budget to make these improvements; a presentation to the Board of Commissioners will be made when a complete budget has been developed.

Space Needs Study: A scope of services has been developed and Greg Meshaw has had preliminary discussions with Oakley Collier Architects. Staff anticipates making a recommendation to the BOC to retain their services at an upcoming meeting.

Cedar Street Paving: The Town has made application for a Water Resources Development Grant for impervious concrete as part of the NCDOT paving project. This type of grant is administered by the Division of Water Resources which is part of the North Carolina Department of Environmental Quality. The grant parameters include a 50 percent match limit which means that the Town will be responsible

for providing \$195,500 of the (estimated) funding needed to construct the pervious pavement parki^{1.} lanes. To that end, it is important to know that the Coastal Federation has committed to matching the Town's contribution up to \$75,000 of the needed grant matching funds thereby reducing the Town's estimated contribution to \$120,500. Should the Town be successful in obtaining grant funding, staff anticipates execution of the funding documents by November.

LDO Re-Write and NCGS 160D Compliance: Funding for this project was included in the proposed FY 2023 budget. Kyle Garner and his staff will move forward with this project now that the budget has been adopted, but no sooner than the CAMA Landuse Plan Update has been completed.

USDA Funded Water and Sewer Infrastructure Projects: Greg Meshaw reports that the design and engineering is 90% complete. Staff anticipates the plans will go to the State of North Carolina for permitting review in August. Construction is anticipated in late winter or early spring of next year.

Comprehensive Street Resurfacing Projects: This project is scheduled to begin at the conclusion of our USDA Funded Water, Sewer and Stormwater Improvement Projects. Funding mechanisms still need to be determined.

High-Rate Infiltration Basin: Greg Meshaw reports that we are 75% complete with the design and engineering on this project.

Water and Sewer Transfers: As part of the motion to adopt the FY 2023 budget, the Board decided to address the issue of water and sewer reimbursements to the General Fund through the creation of a committee to determine a methodology/policy for such transfers. The Town Manager will be reviewing this with the Mayor to determine next steps toward accomplishing the goals of the Board and before the September deadline.

ADA Transition Plan: The Town Manager reports he anticipates staff will make a presentation to the BOC in August. The Town is required to have an ADA plan that sets forth specific goals to ensure compliance with State and Federal Regulations.

Mr. Clark initiated a conversation regarding the addition of two SRO positions in Beaufort. He explained there would be funding available through State grants and County contributions, noting one SRO position could receive funding up to \$49,000 per year.

Commissioner Hagle confirmed the grants were annually renewable.

Commissioner Hollinshed asked if the second batch of COVID funds could be used for any of the SRO positions or recently mentioned projects.

Commissioner Oliver noted currently, the Town receives \$33,333 for an SRO position at Beaufort Middle. He shared the County was applying for a grant that would provide additional funding for both Beaufort Elementary and Tiller School, potentially providing around \$50,000 for each position. He pointed out the bulk of the portion of cost associated with new officers is the vehicle and their equipment. He questioned the need for SRO's to have fully equipped police vehicles.

Paul Burdette, Police Chief, explained that all officers need to be a self-contained unit that can respond and be of service regardless of where the emergency might be. He noted it would be an asset to have the SRO position fully equipped and available to go to other schools or emergency situations as needed, explaining the officer is ultimately under the command of the Town of Beaufort Police Department.

Commissioner Cooper noted we did not have the all the funding yet and asked Mr. Clark if he had spoke with the County regarding the SRO positions.

Mr. Clark confirmed he had spoke with the County and noted they were committed to a portion of the funding. He explained the breakdown cost of a new officer, totaling approximately \$145,416.93 per officer, noting many of the cost would be upfront.

Commissioner Terwilliger pointed out these should be 12-month positions, not offered in 9-month term. He suggested the officers be cross trained in Marine Patrol to aid in that area of service in Town.

Commissioner Cooper asked how long the training was to be in the SRO position.

Chief Burdette explained in addition to being a certified Police Officer, they must complete a one-week course to become a certified SRO as well.

Mayor Harker asked how adding the positions would affect the budget overall.

Mr. Clark explained it was not budgeted for in the FY 2023 Budget; meaning other areas of the budget would be impacted by the expenses this fiscal year.

Commissioner Oliver suggested making a commitment to the SRO positions now, and have staff come back before the Board with a Budget Amendment to explain the impact of such expenses.

Commissioner Hollinshed pointed out there was about six weeks before school started, and in order to have an SRO trained and familiar with the schools, she was in favor of making the decision currently. She suggested it was something that was going to be required either way. She asked if there was any chance of obtaining funding from NOAA or any other agency that supports water safety, in terms of the potential Marine Patrol aspect of the positions.

Commissioner Oliver made a motion to approve two additional full-time SRO positions.

The motion passed unanimously.

Items of Consent

- 1. Historic Beaufort Road Race
- 2. Minutes

Commissioner Hagle made a motion to approve the Items of Consent.

The motion carried unanimously.

Items for Discussion and Consideration

- 1. Case # 22-12 AA Storage Site Plan

Kyle Garner, Planning and Inspections Director, presented the site plan review at 2176 Live Oak Street. He indicated the request was to construct a mini storage facility totaling 150,567 square feet and includes: (4) one-story climate-controlled buildings, each totaling 24,000 square feet; (1) one-story covered open air storage area totaling 52,967 square feet; and (1) two-story office totaling 1,600 square feet. He shared the applicant was the Cullipher Group for Rosemyr Corporation. Mr. Garner shared as part of the Special Use Permit, the applicant agreed to install a 30-foot-wide landscape buffer between the facility and adjoining residential properties along Piver Road. He confirmed the site had already been annexed, rezoned, and received a Special Use Permit for the Mini-Storage Facility. Mr. Garner noted in the engineer's plans for the project, he included the impacts of stormwater on down stream properties. Mr. Garner confirmed the project meets the designed criteria required in the LDO and the Planning Board staff recommended approval at their June 20th meeting. He noted the applicant and engineer were present to answer any questions from the Board.

Commissioner Hagle had questions about lighting and air condition noise from a neighboring standpoint.

Bill Coffey, with The Rosemyr Corporation, spoke on the site plan and addressed the lighting questions. He explained the lighting would be primarily be in the driveway and should not impact the neighbors on the back side. He said there would most likely be lighting on the corners of the building for safety precautions; they would be directed down. He noted they would be very mindful of surrounding neighbors. He explained the air condition units would be roof mounted, noting there had been no complaints about noise in other locations.

Commissioner Hollinshed asked if the security lights on the corner motion would be triggered.

Mr. Coffey said they would probably come on at dusk and go off at dawn. He noted the hours of operation were 7 am - 10 pm, unless the customer has 24-hour access. He explained where the office and gated areas would be located and noted there would be an onsite manager.

Commissioner Cooper confirmed stormwater had been engineered.

Commissioner Oliver suggested the use of down lighting, especially if they were LED lights.

Commissioner Hagle made a motion to approve the site plan as presented.

The motion carried unanimously.

2. FY 2023 Budget Amendment #1 and Capital Reserve Fund Amendment #13

Mr. Clark explained the request was to approve FY 2023 Budget Amendment #1 and Capital Reserve Fund Amendment #13 in the amount of \$60,000. This proposal was to construct water and sewer lines at the Pruitt Healthcare Facility. He noted this had been an item of discussion at the previous meeting and the Board instructed the Town Attorney to investigate the matter further, to determine whether the Town was obligated to provide funding.

Arey Grady, Town Attorney, shared after reviewing the records the Town has regarding the matter, it was apparent previous management made a promise to run water and sewer lines under Highway 70; he confirmed the property owner had an understanding it was the Town's obligation to fund the project.

Commissioner Oliver noted that this was presented as an economic incentive agreement offer in 2018; he asked Mr. Grady to confirm the policy would not change for future projects in terms of agreeing to provide assistance boring under the road, or with utility cost.

Mr. Grady said that it would not change the policy on a staff level regarding how they deal with water and sewer connections. He explained this was a isolated special situation and any future economic incentives would be on a case by case basis at the Board's discretion.

Commissioner Terwilliger made a motion to approve the FY2023 Budget Amendment #1 and Capital Reserve Fund Amendment #13.

Voting Yea: Commissioner Hagle, Commissioner Cooper, Commissioner Terwilliger, Commissioner Hollinshed.

Voting Nay: Commissioner Oliver

The motion carried with a 4-1 vote.

Commissioner Hollinshed made a motion to award the to Atlantic On-Site Development, LLC in the amount of \$59,337.00

Voting Yea: Commissioner Hagle, Commissioner Cooper, Commissioner Terwilliger, Commissioner Hollinshed.

Voting Nay: Commissioner Oliver

The motion carried with a 4-1 vote.

Public Hearing

- 1. Rezone 801 Mulberry Street totaling 15.87 acres from TR to PUD With Master Plan

Commissioner Hagle made a motion to open the floor for a Public Hearing.

The motion carried unanimously.

Mr. Garner presented Case # 22-11 and explained the request was to rezone 15.87 acres from Transitional (TR) zoning to Planned Unit Development (PUD) with a Master Plan, with 3.55 acres to be open space. He shared the proposed request included 5.5 Dwelling Units per acre, 42 Duplex Units, 36 Condominium Units, and 10 mixed use units. He pointed out the request did not include any variances from the standards of the ordinance or amendments to the CAMA Map. He noted the proposed density is close to the Medium Density of five units per acre, confirming staff received approval from the CAMA District Planner.

Mr. Garner reported, as requested by the Board, staff met with the developer and their engineer on June 3, 2022; he shared the below highlights of the conversation:

- The developer will provide a 15-foot-wide easement along the eastern portion of the property to the wood line, and they will provide an easement through the wood line to the County property on the west. The Town has agreed that when the trail is constructed, they will install a fence at the rear of the proposed residential lots to provide privacy and a barrier.
- Mr. Garner also shared at their May 16, 2022 meeting, the Planning Board recommended unanimously the Rezoning to PUD with Master Plan and attached three recommended conditions:
- The developer work with the Town to provide an easement or dedication of a multi-use path area for the construction of a multi-use trail as included in the adopted Bicycle & Pedestrian Plan.
- The buffer area identified on the master plan be retained as a natural and that the density shown on the Master Plan is not exceeded.

- The mixed-use structures be submitted as site plans for review by the Planning Board and Board of Commissioners.

Mr. Garner shared some maps regarding the project and noted the applicant/engineer was present and available to answer questions.

Commissioner Hagle had questions regarding future maintenance of the proposed open space and roads within the development.

Ron Cullipher with the Cullipher Group explained initially the developer would be responsible those duties would eventually transfer to the HOA. He also noted the extension of Marsh Street would be public and the other internal drives would be private.

Commissioner Oliver noted some of the property was in the 100 Year Floodplain and asked what mitigation efforts would be taken to handle that.

Mr. Cullipher explained they would be raising the site to keep the structures above floodplain requirements, while also meeting all Town rules and regulations of the road system.

Mayor Harker asked if there was anyone in the audience who wished to speak during the Public Hearing.

Logan Louis, 900 Cedar Street in Beaufort, suggested several benefits of an affordable housing zoning ordinance. He discussed potential statistics associated with the proposed rezoning and future project, if affordable housing was taken into consideration. He requested the Commissioners include a condition to any motion made; such condition would require the property owner meet and discuss in good faith with the Beaufort Housing Coalition, the possibility of voluntarily complying with the draft Town of Beaufort affordable housing zoning ordinance and involve the Town staff if and only when voluntary compliance is likely.

Commissioner Hagle made a motion to close the Public Hearing.
The motion carried unanimously.

Commissioner Cooper expressed the need for affordable housing in Beaufort. He made a motion that Ballou-Lewis Properties, owner of 801 Mulberry Street, have a discussion with Beaufort Housing Coalition regarding affordable housing.

Voting Yea: Commissioner Cooper

Voting Nay: Commissioner Oliver, Commissioner Hagle, Commissioner Terwilliger, Commissioner Hollinshed

The motion was denied with a 1-4 vote.

Commissioner Hagle made a motion to approve the rezoning request at 801 Mulberry Street, along with the plan and conditions recommended by the Planning Board.

The motion carried unanimously

Quasi-Judicial Proceeding

1. Variance Request for Salt Wynd Preserve Cul-de-sac Length

Commissioner Hollinshed made a motion to open the Evidentiary Hearing.

The motion carried unanimously.

Mayor Harker shared the following statement:

This hearing is a quasi-judicial evidentiary hearing. That means it is like a court hearing. State law sets specific procedures and rules concerning how this Board must make its decision. The Board of Commissioners must base its decision upon competent, material and substantial evidence in the record. A quasi-judicial decision is a decision constrained by the standards in the Subdivision Ordinance and state statutes and based on the facts presented. Any variance granted must meet the criteria established by the Town's Subdivision Ordinance and state statutes. If you will be speaking as a witness, please focus on the facts and standards, not personal preference or opinion. The Board of Commissioners shall hear relevant information from the parties with standing, as set forth in North Carolina General Statutes 160D-406 and 1402. At the sole discretion of the Board of Commissioners, other witnesses who do not have standing may present competent, material, and substantial evidence that is not repetitive. Parties may appear in person, by designee, or by attorney to present information relevant to the requirements of the Ordinance. Parties may present evidence, call witnesses and make legal arguments. The Board of Commissioners, acting through the Mayor, may subpoena witnesses and compel the production of evidence. For certain topics, the Board of Commissioners may hear opinion testimony from expert witnesses. Individuals providing expert opinion must be qualified as experts and provide the factual evidence upon which they base their expert opinion. Witnesses must swear or affirm their testimony.

Mayor Harker asked if there were any individuals that wished to testify as a witness, not associated with the Town or the applicant.

There were none.

Mayor Harker asked if there were any individuals who believe they qualify as parties with standing.

There were none.

Mayor Harker asked the Town Clerk to administer the oath to the Town's representative and the applicant.

Ms. Lewis administered the oath to Kyle Garner and Josh Johnson.

Mayor Harker called for disclosures by Commissioners of any ex parte communication, bias and conflicts of interest.

There were none.

Mr. Garner presented Case #22-05 as a variance request from the Town's Subdivision Ordinance. He explained the request was an extension of street for a cul-de-sac greater than 500 feet, to 765 feet, for Salt Wynd Preserve Phase 2. He noted the staff report included in the meeting packet references a request of 750 feet, but it should be 765

feet. He shared and discussed the attached associated maps that are entered as part of the record, see *Exhibit A*.

Mr. Garner continued by presenting the facts of the case as listed below:

- The property is zoned R-20 (Residential 20)
- The proposed length of Salt Wynd Point is 765 feet, which is more than allowed, per Section 9.16 of the Town's Subdivision Ordinance.
- There is an area of wetlands to the south.
- There are other cul-de-sacs longer than 500 feet, however they are part of Planned Unit Developments
- Legal Notices were Published on June 29th & July 6th and the sign was posted June 30th.

Mr. Garner reviewed the findings required to grant a variance and noted that staff stands behind the ordinance requirement of limiting the street length of a cul-de-sac to 500 feet, suggesting an alternate design could be done to encompass the 500 feet maximum length.

Commissioner Cooper noted he believed they should stand behind the ordinances.

Commissioner Terwilliger asked why 500 feet was the selected length.

Mr. Garner suggested it was a typical standard throughout subdivisions in North Carolina, pointing out ingress/egress must be considered from a safety standpoint.

Commissioner Terwilliger noted Mr. Garner mentioned an alternative design could be done and asked if he believed that design would encompass the same number of parcels.

Mr. Garner said he believed it could be done close to the same number of parcels, but emphasized he was not an engineer nor a designer.

Commissioner Oliver asked for confirmation on procedure, noting the property was in the ETJ and the plans had not yet been approved; he asked Mr. Grady if they could consider this request now.

Mr. Grady confirmed there was not an issue with the Board of Commissioners considering the variance request even though the Planning Board has not acted on the plat yet. He explained it was the applicant's choice as to which request to pursue first.

Commissioner Oliver asked questions regarding the future street access on the road being discussed.

Mr. Garner explained it had been submitted as part of the preliminary plat and there was not any future roads on the property to the north of it, as it is undeveloped.

Josh Johnson suggested the map Mr. Garner was referencing was not the map submitted with the proposed variance application and the correct map was on page 110.

Mr. Garner said he felt confident both maps did not meet the 500 feet requirement.

Mr. Johnson apologized for the confusion and noted two maps were submitted, one with the requested variance and the other than Mr. Garner reference, which had a future stubbed out street to an undeveloped parcel. He explained the stubbed out section left a 500 foot span to the cul-de-sac at the end; they felt that may meet the Town's criteria. He said it did include one additional lot in the configuration. Mr. Johnson went on to reference that the Town Ordinance states the variance allots for deviation as necessitated by topography, noting there was wetlands to the southern and property line to the north, and a jurisdictional tributary that stretches all the way to Live Oak Street. He explained they did not want to cross wetlands to access the property.

Commissioner Hagle said the map they were looking at was also 765 feet, just as Mr. Garner's map referenced, noting they were essentially the same, except for the removal of the future street.

Mr. Johnson confirmed that was correct.

Commissioner Oliver clarified Mr. Johnson's request was for the Board to consider as described by Kyle, the street at 765 feet.

Mr. Johnson confirmed the 765 feet but again referenced the depiction on page 110 of the meeting packet. He explained they would like to have the open space with the eye brow loop at the front of the property. He shared the property had been requested for annexation, the application had been submitted, and they had received the okay from the Fire Marshall regarding the extended cul-de-sac.

Commissioner Hagle asked for clarity on why a longer street was needed.

Mr. Johnson explained they could utilize the full extend of the peninsula of properties that are isolated by wetlands, without having to cross the wetlands for access.

Commissioner Hagle asked if they would lose lots if the street was shorter.

Mr. Johnson confirmed that was correct, approximately four lots.

Commissioner Hollinshed asked for clarity on how someone would get to the proposed street.

Mr. Johnson confirmed it would be through Bay Court.

Commissioner Cooper questioned why the request was submitted before the plat was approved.

Mr. Johnson explained Town staff advised them to seek the variance approval through the Board of Commissioners, before taking the preliminary plat to the Planning Board.

Commissioner Terwilliger suggested it was difficult to find a reason to approve the variance, simply because there is not a general loss of the property if denied, meaning there is no hardship. He noted the guidelines for granting a variance are very clear, and he did not believe the Town Ordinance would allow the Board to approve the request.

Commissioner Oliver asked what the length of the highlighted yellow area on page 110 represented.

Mr. Johnson explained the length incorporated a 100 foot diameter cul-de-sac, with the start of the cul-de-sac to the intersection of Bay Court being 765 feet.

Commissioner Hollinshed made a motion to close the Evidentiary Hearing.
The motion carried unanimously.

Mayor Harker read the four Findings of Fact for a Variance:

- Unnecessary hardship would result from the strict application of the Ordinance. (It is not necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property.)
- The hardship results from conditions that are peculiar to the property, such as location, size, or topography. (Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.)
- The hardship did not result from actions taken by the applicant or the property owner (the act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship).
- The requested variance is consistent with the spirit, purpose, and intent of the regulation, such that public safety is secured, and substantial justice is achieved.

Commissioner Terwilliger said having reviewed the record and having considered all evidence submitted and oral testimony for Case #22-05 I move that the Board of Commissioners conclude the application fails to meet the following standards for a variance and a variance is not appropriate because the following standards have not been met: (a) The request does not demonstrate an unnecessary hardship would result from the strict application of the Ordinance. (b) The hardships results from conditions that are not unique to this property and are fairly ubiquitous throughout the area, so there is no specific hardship that results. (c) The hardship does not result from actions taken by the applicant or the property owner; it is not their fault there is nothing there. (d) The requested variance is not consistent with the spirit, purpose, and intent of the regulation, such that public safety is secured and substantial justice is achieved; the Ordinance states 500 feet and the applicant has not demonstrated any reason to go against the Ordinance.

The motion carried unanimously.

Commissioner Hagle made a motion to deny the variance based on the Finding of Facts as all four points do not support the variance. 1.

The motion carried unanimously.

2. Case #22-16 Special Use Permit for a Mini-Storage facility at 1791 Live Oak Street

Commissioner Terwilliger made a motion to open the Evidentiary Hearing.

The motion carried unanimously.

Mayor Harker read the following statement:

This hearing is a quasi-judicial evidentiary hearing. That means it is like a court hearing. State law sets specific procedures and rules concerning how this Board must make its decision. The Board of Commissioners must base its decision upon competent, material and substantial evidence in the record. A quasi-judicial decision is a decision constrained by the standards in the Land Development Ordinance and based on the facts presented. All applications for special use permits must be consistent with the Land Development Ordinance for the Town of Beaufort and whether the special use is appropriate in the proposed location. If you will be speaking as a witness, please focus on the facts and standards, not personal preference or opinion. The Board of Commissioners shall hear relevant information from the parties with standing, as set forth in North Carolina General Statutes 160D-406 and 1402. At the sole discretion of the Board of Commissioners, other witnesses who do not have standing may present competent, material, and substantial evidence that is not repetitive. Parties may appear in person, by designee, or by attorney to present information relevant to the requirements of the Ordinance. Parties may present evidence, call witnesses and make legal arguments. The Board of Commissioners, acting through the Mayor, may subpoena witnesses and compel the production of evidence. For certain topics, the Board of Commissioners may hear opinion testimony from expert witnesses. Individuals providing expert opinion must be qualified as experts and provide the factual evidence upon which they base their expert opinion. Witnesses must swear or affirm their testimony. At this time, we will administer the oath for all individuals who intend to provide witness testimony.

Mayor Harker explained the Town would open up the case and confirmed the applicant was present to speak as well.

Mayor Harker asked if there was anyone in the audience who wished to be a witness.

There were none.

Mayor Harker asked if there was anyone in the audience who wished to participate as a party with standing.

There were none.

Mayor Harker asked the Town Clerk to administer the oath to the Town's representative and the applicant.

Ms. Lewis administered the oath to Kyle Garner and Josh Johnson.

Mayor Harker called for disclosures by Commissioners of any ex parte communication, bias and conflicts of interest.

There were none.

Mr. Garner presented Case #22-16, a Special Use Permit for a Mini Storage facility at 1791 Live Oak. He noted the acreage as 8.51 acres and applicant as Carteret County ABC. He shared Public Notice was provided to surrounding property owners, signs were posted, and legal advertisement was published on June 29, 2022 and July 6, 2022. He shared a zoning and vicinity map, confirming the property is zoned B-1. Mr. Garner shared an additional map that he noted was a survey, not a site-plan or vicinity map. He said there appeared a property line issue that both owners were in the process of resolving, confirming the applicant was aware and could speak to it. He shared at the June Planning Board Meeting, the Preliminary & Final Flats were tabled until the applicant could show that they had approval to use adjacent property access. *All presentation documents are attached and part of the record as Exhibit B.*

Commissioner Hagle confirmed the access would be off Live Oak onto the north east side of the ABC Store, on the existing driveway.

Commissioner Hollinshed asked Mr. Garner to speak on the dispute over the property line.

Mr. Garner suggested it was not uncommon for there to be a small discrepancy, but noted the Board could put a condition on the Special Use Permit that would not allow it to go into effect until the dispute over the property line was settled.

Commissioner Terwilliger agreed that condition should be placed on the Special Use Permit if approved. He noted there were multiple storage units in the area, questioning the continued need for them.

Commissioner Cooper shared similar concerns regarding the number of storage units in Beaufort.

Commissioner Oliver suggested also attaching a condition that addressed access to the property, in connection with the property line that was in question.

Josh Johnson confirmed there was a gap present along the property line, noting the owners had engaged with attorneys to get a property line agreement in place. He shared there was a letter confirming agreement of an access easement from the driveway to the north; the ABC Store as part of contract and terms of sale, has agreed to an access easement through the southern side of their parking lot as well. He noted the access on the north side was not depicted on the map provided in the meeting packet, but it would be a combined access for emergency vehicles to have two places to get through. He pointed out there were many communities that did not allow boat storage parking in their driveways or on the streets, noting the need for storage buildings. He shared about one-third of the property was going to be indoor boat storage; 40 units, 50x15. He confirmed his client was prepared to meet all of the recommendations set forth by the Planning Board but did request the Sunset Clause be no less than 5 years due to the mitigation

process. He shared the Planning Board thought it was an appropriate use and liked that was on the back of the property.

Commissioner Hollinshed made a motion to close the Evidentiary Hearing.

The motion was approved unanimously.

Commissioner Hagle said having reviewed the record and having considered all evidence submitted and oral testimony for Case #22-16, I move that the Board of Commissioners conclude the pending application meets the following standards under the Land Development Ordinance for the Town of Beaufort and is appropriate in the proposed location and has met the following:

- a) The proposed use is an allowable special use in the zoning district it is being located within;
- b) The application is complete;
- c) The location and character of the use will be in conformity with the Town’s land use plan and other comprehensive planning elements;
- d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with the current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
- e) The proposed special use will not substantially injure the value of adjoining or abutting properties;
- f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and
- g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.

The motion carried unanimously.

Commissioner Terwilliger said based upon the foregoing Findings of Fact, I move that the Board of Commissioners conclude that the proposed special use is compliant with the requirements of Section 20 of the Land Development Ordinance and that the special use application for case #22-16 be approved.

The motion carried unanimously.

Commissioner Terwilliger made a motion for the Board of Commissioners to attach the following conditions to the approval of Case #22-16 Special Use Permit that was discussed previously; those conditions are: 1) Attach a Sunset Clause that would expire 5 years from the final review of the plans; 2) That the approval would not take effect until such time as the property boundary dispute that is currently in play is settled appropriately.

The motion carried unanimously.

3. Case # 22-11 PUD Old Beaufort Elementary School - SUP

Commissioner Hagle made a motion to go into the Evidentiary Hearing.

The motion carried unanimously.

Mayor Harker read the following statement:

This hearing is a quasi-judicial evidentiary hearing. That means it is like a court hearing. State law sets specific procedures and rules concerning how this Board must make its decision. The Board of Commissioners must base its decision upon competent, material and substantial evidence in the record. A quasi-judicial decision is a decision constrained by the standards in the Land Development Ordinance and based on the facts presented. All applications for special use permits must be consistent with the Land Development Ordinance for the Town of Beaufort and whether the special use is appropriate in the proposed location. If you will be speaking as a witness, please focus on the facts and standards, not personal preference or opinion. The Board of Commissioners shall hear relevant information from the parties with standing, as set forth in North Carolina General Statutes 160D-406 and 1402. At the sole discretion of the Board of Commissioners, other witnesses who do not have standing may present competent, material, and substantial evidence that is not repetitive. Parties may appear in person, by designee, or by attorney to present information relevant to the requirements of the Ordinance. Parties may present evidence, call witnesses and make legal arguments. The Board of Commissioners, acting through the Mayor, may subpoena witnesses and compel the production of evidence. For certain topics, the Board of Commissioners may hear opinion testimony from expert witnesses. Individuals providing expert opinion must be qualified as experts and provide the factual evidence upon which they base their expert opinion. Witnesses must swear or affirm their testimony. At this time, we will administer the oath for all individuals who intend to provide witness testimony.

Mayor Harker explained the Town would open up the case and confirmed the applicant was present to speak as well.

Mayor Harker asked if there was anyone in the audience who wished to be a witness. There were none.

Mayor Harker asked if there was anyone in the audience who wished to participant as a party with standing. There were none.

Mayor Harker asked the Town Clerk to administer the oath to the Town's representative and the applicant.

Ms. Lewis administered the oath to Kyle Garner and Ron Cullipher.

Kyle Garner presented Case #22-11 at 801 Mulberry Street. He explained the Special Use Request was for multiple uses in the PUD: duplexes, condominiums, mixed use, event center, and catering kitchen/restaurant. He shared there are no permitted uses by right and the applicant must request each use be approved as a Special Use Permit.

Commissioner Hollinshed asked if they could be approved as a blanket or was separating the uses required.

Mr. Garner confirmed a blanket was acceptable.

Ron Cullipher shared he was representing Ballou-Lewis Properties who was requesting approval of the Special Use Permit for the uses that were previously mentioned, noting those uses are all incorporated as part of the site plan. He said they feel the plan fits in with the neighborhood and meets all of the criteria for the required findings.

Commissioner Cooper asked if it would be possible to have a conversation with the Beaufort Housing Coalition.

Mr. Cullipher said he was aware of the request and explained his clients would have to make that decision.

Commissioner Oliver emphasized there was a certain portion of the property in the 100 Year Floodplain, and asked what recommendations Mr. Cullipher would make to the developer to mitigate any problems that may be in that area.

Mr. Culliper recommended elevating the site above the floodplain.

Commissioner Hagle made a motion to close the Evidentiary Hearing.

The motion passed unanimously.

Commissioner Hagle said having reviewed the record and having considered all evidence submitted and oral testimony for Case #22-11, I move that the Board of Commissioners conclude the pending application meets the following standards under the Land Development Ordinance for the Town of Beaufort and is appropriate in the proposed location and has met the following:

- a) All of the proposed uses that are in the application are allowable special uses in the zoning district it is being located within;
- b) The application is complete;
- c) The location and character of the uses will be in conformity with the Town’s land use plan and other comprehensive planning elements;
- d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with the current traffic engineering standards and Town regulations and found to be adequate for the proposed special uses;
- e) The proposed special uses will not substantially injure the value of adjoining or abutting properties;
- f) The proposed special uses will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and
- g) The proposed uses will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.

The motion carried unanimously.

Commissioner Hollinshed said based upon the foregoing findings of fact, I move that the Board of Commissioners conclude that the proposed special use is compliant with the requirements of Section 20 of the Land Development Ordinance and that the special use application for Case #22-11 be approved, provided that the following conditions are made: 1) That in good faith, the developers negotiate with the Town of Beaufort, some

type of agreement on the Trestle Walk property; 2) That the fence be installed by the Town of Beaufort as part of the Trestle Walk project, after an agreement is in place.

The motion carried unanimously.

Mayor/Commissioner Comments

Commissioner Hagle commended those who attended and helped facilitate the Independence Day Parade. He shared he as excited to hear the Bulkhead Channel Dredging project was on schedule, as other projects happening throughout Town. He expressed the need for all those on the street to be patient and share the road.

Commissioner Hollinshed also applauded hard work and the great turn out for the 4th of July Parade. She noted the pedestrian signs that have been added to the corner of several crosswalks seem to be helping.

Commissioner Cooper expressed his gratitude to the Fire Department for the Raising of the Flag Ceremony prior to the 4th of July Parade start. He shared a recent tour he took of the Rachel Carson Reserve and noted the importance of preserving that area.

Commissioner Terwilliger made a motion that the Town staff be directed to develop a plan and move forward expeditiously with this implementation to: 1) convert the intersection of Live Oak and Ann Street from a two-way stop to a full four-way stop sign 2) install signage at the intersection of Live Oak and Broad Street that clearly states that traffic must yield to pedestrians in crosswalks.

The motion passed unanimously.

Commissioner Terwilliger made a motion that the Town staff be directed to develop the modifications needed for the LDO and subdivision ordinance to ensure that all request coming before the Planning Board are required to obtain approval from the Board of Commissioners. The draft of the revised language should be presented to the Board of Commissioners at the August Work Session Meeting, for the appropriate review and consideration.

The motion passed unanimously.

Commissioner Oliver commended those in Town who helped make the 4th of July events run smoothly, specifically Susan Sanders. He requested an update on the house located at 104 Chestnut Street.

Mr. Garner shared there was movement on the property, noting the grass has been cut and repairs have been made on the structure. He said the Town was working with them and they were putting together a plan of anticipated improvements; reporting they had been given 30 days to comply, which would roughly be at the end of August. He shared it was still in the foreclosure process, but the agency knew the Town was taking a serious stance.

Commissioner Hagle noted the structure at 111 Fulford Street was decaying quickly and needed to be addressed by Town Staff.

Mayor Harker also expressed her thanks to Town Staff and others who were involved in all of the 4th of July festivities. She too noted the pedestrian signs located at various crosswalks were proving to be successful. She ended by speaking about the need for affordable housing, suggesting there are many older homes in the area that could be repaired rather than demolished.

Adjourn

Commissioner Hagle made a motion to adjourn the meeting at 9:16 p.m.

The motion carried unanimously.

Sharon Harker, Mayor

Elizabeth Lewis, Town Clerk



TOWN OF BEAUFORT
ORDER APPROVING A SPECIAL USE PERMIT

The Board of Commissioners for the Town of Beaufort, having held an evidentiary hearing on June 27, 2022, to consider Case 22-16, an application for a special use permit submitted by the Carteret County ABC Board, to allow a Mini-Storage facility on the property located at 1791 Live Oak Street owned by the Carteret County ABC Board and identified by PIN # 730612856893000, Beaufort, NC, considering the standards outlined in the Town’s *Land Development Ordinance* (hereby known as “the *Ordinance*”), and having heard all of the evidence and arguments presented at the hearing, makes the following **FINDINGS OF FACT** and draws the following **CONCLUSIONS**:

1. It is the Board’s **CONCLUSION/FINDINGS OF FACT** after hearing testimony and reviewing the staff report and exhibits that:
 - a. The proposed use is an allowable special use in the B-1 Zoning District in which it is located;
 - b. The application is complete;
 - c. The location and character of the use will be in conformity with the Town’s Land Use Plan and other comprehensive planning elements;
 - d. Streets, driveways, parking lots, traffic control, and any other traffic circulation features have been designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
 - e. The proposed special use will not substantially injure the value of adjoining or abutting properties;
 - f. The proposed special use is compatible and in harmony with the adjoining land uses and the development patterns of the immediate area; and
 - g. The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.

2. It is the Board’s **CONCLUSION/FINDING OF FACT** after hearing testimony and reviewing the staff report and exhibits that the following conditions are reasonable and necessary to ensure that the use is consistent with the required findings in Paragraph 1 herein, as required by Section 20 (D)(5) of the Land Development Ordinance:
 - a. This Order Approving a Special Use Permit will expire 5 years from the date of the Town’s final review and approval of the project Site Plan; and
 - b. This Order Approving a Special Use Permit will not become effective until the existing property boundary line dispute between Carteret County ABC and Beaufort Spring Housing Association is resolved.

Therefore, on the basis of all the foregoing, **IT IS ORDERED** that the application for a **SPECIAL USE PERMIT BE APPROVED TO ALLOW THE CONSTRUCTION AND OPERATION OF A MINI-STORAGE FACILITY AT 1791 LIVE OAK STREET SUBJECT TO THE CONDITIONS STATED HEREIN.**

Ordered this 22nd day of August, 2022.

Sharon Harker

Mayor Sharon Harker
Chair



Elizabeth Lewis

Elizabeth Lewis
Town Clerk

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Superior Court of Carteret County within thirty (30) days after the date this order is served on you pursuant to N.C.Gen. Stat. Sec. 160D -1405(d).



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, September 19, 2022 - Train Depot
614 Broad Street, Beaufort, NC 28516
Minutes**

Call to Order

Chair Neve called the September 19, 2022 Planning Board meeting to order at 6:00 p.m.

Roll Call

Members Present: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim

Members Absent: Member Willis

A quorum was declared with five members present.

Staff Present: Kyle Garner, Town Engineer Greg Meshaw, Fire Chief Tony Ray, Town Attorney Arey Grady, and Laurel Anderson.

Agenda Approval

Chair Neve asked if there were any changes to the Agenda.

Member LoPiccolo made the motion to approve the agenda as presented and Member Bowler made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Minutes Approval

- 1. PB Draft Minutes for 8.15.22

Chair Neve asked if there were any changes to the Minutes from the August 15, 2022 meeting.

Member Meelheim made the motion to approve the minutes and Vice-Chair Merrill made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Public Comment

Chair Neve opened public comments asked if anyone would like to speak.

Logan Louis, 900 Cedar St, Beaufort, commented regarding the Salt Wynd final plat and Salt Wynd pervious pavement streets and sidewalks and requested the Town monitor the maintenance and cleaning of the pavement to prevent dirty runoff to the creek.

Harriett Altman, 103 Leonda Dr, Beaufort, commented on concerns with the town’s sewage discharge and infrastructure degradation.

Virginia Ferri, 102 Leonda Dr, Beaufort, commented on Board of Commissioners’ concerns with the proposed updated CAMA Land-Use Plan and requested the Planning Board slow down approving new developments.

Martha Kenworthy, 109 Holly Ln, Beaufort, commented on the need for traffic studies to support new developments.

Old Business

- 1. Case# 22-13 Preliminary/Final Plat – 1791 Live Oak

Chair Neve opened old business and requested the applicant address the access agreement. Josh Johnson of Stroud Engineering stated that the ABC Board now officially owned the sliver of land between their property and Beaufort Springs, and Beaufort Storage and Beaufort Springs had agreed to add the ABC store property to their existing access easement agreement, and he had provided a letter of intent from the property owner that it would be executed upon subdivision approval.

Vice-Chair Merrill made a motion to approve the Preliminary/Final Plat for 1791 Live Oak contingent upon easement agreement being agreed to by all parties, provided to the Town, and a copy of the warranty deed also being provided to the Town. Member Meelheim made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Mr. Garner stated that when the deed was recorded and the easement agreement signed, they would be emailed to the members of the Planning Board.

New Business

- 1. Preliminary Plat – Beau East Village Phases 2 & 3

Chair Neve opened new business and Mr. Garner explained that the applicant, Blue Treasure, wished to subdivide a 44.09-acre tract into 230 lots (162 single family & 68 townhome lots). These are the last two phases of development for the Planned Unit Development (PUD) for Blue Treasure/Beaufort East Village that was approved in June of 2015. In 2015 the Commissioners placed six conditions on the request, and the following conditions that are germane to Phases 2 & 3 have been addressed and are as follows:

- 1. Perform a traffic study as a precondition of the development of Beaufort East Village: This item has been completed and a presentation given at the August 29, 2016 Board of Commissioner Workshop.
- 6. Create 10-foot buffers on lots adjoining Freedom Park: A Type “A” Buffer is shown on landscaping sheets L1.2 & 1.3.

Mr. Garner further stated that in April of 2022 the Board of Commissioners, as part of a PUD amendment, required that a 10-foot buffer also be installed on lots adjoining Fairview Road. A Type “A” Buffer is shown on landscaping sheets L1.2 & 1.3. 1.

Member Meelheim asked about the density of homes and possible issues with evacuation. Mr. Garner stated that originally there were only two points of ingress and egress but currently there were seven or eight points, and traffic impact analysis showed the projections were less than originally anticipated. Vice-Chair Merrill asked about connectivity with Jones Village and the impact on that existing neighborhood, higher density, and the lack of sidewalks.

Member Bowler asked how new development applications were measured against the Town’s existing infrastructure, specifically traffic, fire, police, and air quality. Mr. Garner stated that air quality was not typically measured but there was a consultant’s report on traffic impacts, and applications were fully reviewed by the pertinent department heads. Member Bowler then asked if the Board could request a 3rd party infrastructure study and Town Attorney Grady stated it could only be requested if it were in the ordinance.

Member LoPiccolo asked about the recreation fees paid by the developer and Mr. Garner responded that they had not paid as part of the original agreement as they would provide their own entertainment areas. Member Vreugdenhil asked if the entire PUD had less than six dwellings per acre, and if there was a PUD lifespan. Mr. Garner stated that the PUD had less than that number and there was no PUD lifespan but all revision requests were processed like a new special use permit, and this particular PUD had six or seven revisions which had provided that number of opportunities for improvement.

Member Merrill felt that the Board had been pressured into not requiring suggested changes, and Mr. Garner responded that some improvements had been made such as in April a dense buffer had been added. Member Vreugdenhil referred to Member Bowler’s concerns about infrastructure impacts and stated that even high-density residential developments had low hard infrastructure demands as compared to industrial developments. He further explained that the town had a multi-tiered review process and Mr. Meshaw, the town engineer, could not permit developments that exceeded the town’s current hard infrastructure capacity.

After further Board discussion, Don Mizelle and Joe Boyd of WithersRavenel addressed interconnectivity and stated that there were six access point in this phase and the traffic impact study was completed and had been reviewed and approved by DOT. Mr. Boyd addressed 3rd party studies and stated that there were checks and balances through permit and state approval and other permitting that was required.

Chair Neve suggested that the proposed Chinese Elm, Chinese Pistashe, and Swamp Oak trees in the landscape plan be exchanged for other trees native to the area.

Vice-Chair Merrill made a motion to table the Preliminary Plat for Beau East Village Phases 2 & 3 until the old traffic study had been reviewed, and Member Merrill made the second. Chair Neve took a vote that failed.

Voting yea: Vice-Chair Merrill, Member Meelheim

Voting nay: Chair Neve, Member Bowler, Member LoPiccolo, Member Vreugdenhil

Member Vreugdenhil made a motion to approve the Preliminary Plat for Beau East Village Phases 2 & 3 based on the previous approval of the PUD and the approved revision in May that slightly reduced the number of lots, and that the improvements are completed prior to selling lots. Member LoPiccolo made the second. Chair Neve took a vote that passed.

Voting yea: Chair Neve, Member Bowler, Member LoPiccolo, Member Vreugdenhil

Voting nay: Vice-Chair Merrill, Member Meelheim

Vice-Chair Merrill requested the original traffic impact study and Mr. Garner said that as it was 500-600 pages it would be emailed to the Board as a Dropbox link.

Mr. Garner stated the applicant requesting subdividing a 37.06-acre tract into 47 single-family residential lots. The applicant has chosen to request to bond the infrastructure improvement and has submitted cost estimates for the complete cost of improvements totaling \$3,153,123.36, and recreation fee payment in the amount of \$5,527.20 is required prior to final plat recordation.

Mr. Meshaw stated the bond estimate as reviewed by the engineer of record was very conservative in favor of the town as the unit prices were on the upper end of the scale. Chair Neve asked if the development would meet the stormwater requirements if they did not use pervious materials, and Mr. Meshaw explained that the pervious limit was 12% and the pervious pavement helped to meet that requirement. Member LoPiccolo asked about the maintenance of the pervious roads, and Mr. Garner explained that as these were private roads the HOA was responsible and the Board could make maintenance a condition of approval. He further stated that all new Salt Wynd building permits would be required to include an engineer’s report on stormwater management, and those permits would be reviewed by Mr. Meshaw.

Member Vreugdenhil clarified the town would maintain the water and sewer and the lift stations, and Mr. Garner agreed and further explained they would be dedicated to the town once they had passed inspection and that generator backup is required.

Mr. Johnson stated that once the developer exited, the HOA covenants required common areas, sidewalks, and roads, including yearly sweeping and vacuuming of pervious surfaces, be maintained by the HOA.

Member Vreugdenhil made a motion to approve the Final Plat for Salt Wynd Preserve Phase 1 based on the previous approval of the preliminary plat and the Town’s acceptance of a bond according to an engineer’s estimate to install improvements. Member Bowler made the second. Chair Neve took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

3. Preliminary Plat for Salt Wynd Preserve Phase 2

Mr. Garner stated that the applicant was applying to subdivide a 27.25-acre tract into 36 single-family lots and they had submitted an annexation application and sewer allocation for Phase 2, and the applicant’s request for a variance regarding the length of a cul-de-sac had been denied by the Board of Commissioners.

A proposed 1685-foot reverse hammerhead cul-de-sac which will provide connectivity with a future street was discussed, and Fire Chief Tony Ray requested that the fire hydrant located at the end be moved to the front of the cul-de-sac to the intersection of lots 77 and 78.

Chair Neve asked if there would be pedestrian or bicycle access between Wild Lupine Point and Pearl West Drive, and Mr. Johnson stated that a pedestrian boardwalk was being discussed, and a driven-pile boardwalk was recommended by the Army Corps of Engineers.

Member Vreugdenhil requested that a walkway be shown on the future plan if the plat were approved.

Member LoPiccolo made a motion to approve the Preliminary Plat for Salt Wynd Preserve Phase 2 with the condition that a walkway be built between Wild Lupine Point and Pearl West Drive over the entire sanitary easement and Member Bowler made the second.

Chair Neve made the second and took a vote that was unanimous.

Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Members Vreugdenhil thanked the applicant for reducing the density from the original proposal, and that they continue evaluate construction traffic in and out of the development and promote safety for existing residents.

Member Bowler also thanked the applicant for listening to the Board’s and public’s suggestions, and there was the potential for being a model of a low-impact development.

Chair Neve and Member LoPiccolo thanked the staff for putting together the comprehensive packet with all

Staff Comments

Mr. Garner notified the Board of the following:

- 1. Upcoming meetings would contain rezoning, the property beside the Food Lion, parcel B at the Beaufort Club, and possible small subdivisions.
- 2. Possible upcoming Planning Board training.
- 3. Upcoming discussion of the status of the UDO.

Town Attorney Arey Grady discussed the Unified Development Ordinance project and Mr. Garner requested the Board compile their lists of requested updates to the policy.

Adjourn

Member Vreugdenhil made the motion to adjourn and Member LoPiccolo made the second. Chair Neve took a vote that was unanimous.

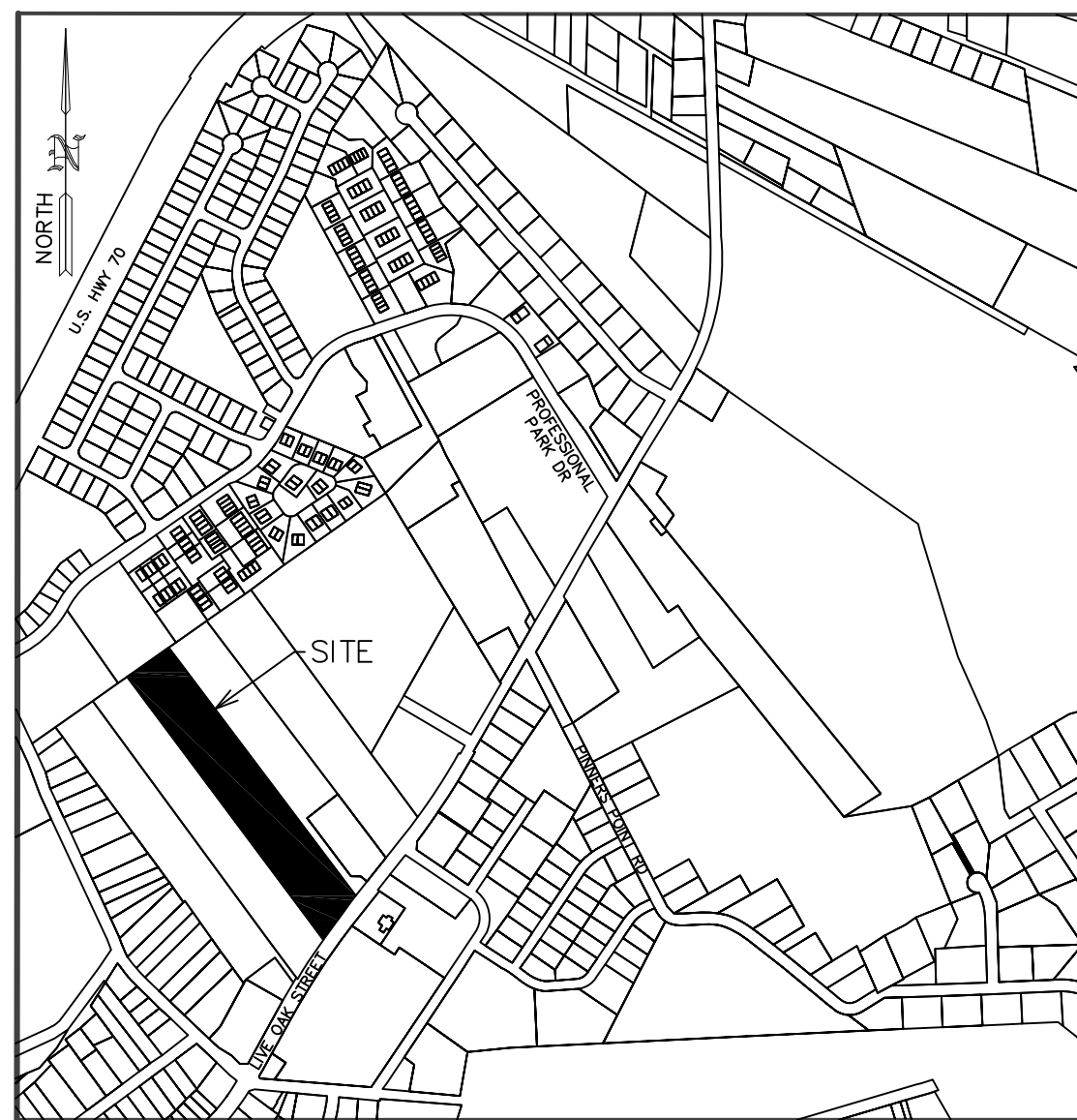
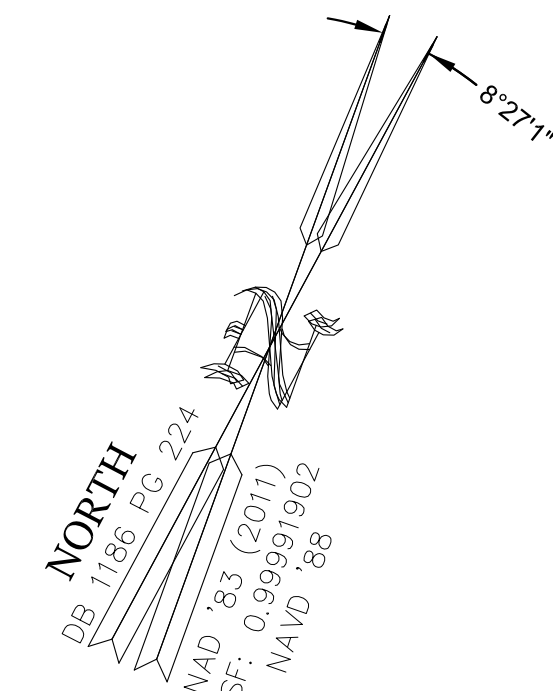
Voting yea: Chair Neve, Vice-Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim, Member Vreugdenhil

Chair Neve then declared the meeting adjourned.

Ryan Neve, Chair

Laurel Anderson, Board Secretary

PRELIMINARY NOT FOR SALES OR RECORDATION



VICINITY MAP (NOT TO SCALE)

LEGEND

- R/W= RIGHT-OF-WAY
- CP= COMPUTED POINT BY DEED
- EIP= EXISTING IRON PIPE
- EIR= EXISTING IRON ROD
- EPK= EXISTING PARKER NYLON NAIL
- ERRS= EXISTING RAILROAD SPIKE

- BOUNDARY LINE _____
- NON-SURVEYED LINE _____
- PLATTED BY DEED _____
- EX. RIGHT-OF-WAY _____
- EX. EASEMENT LINE _____

NOTES:

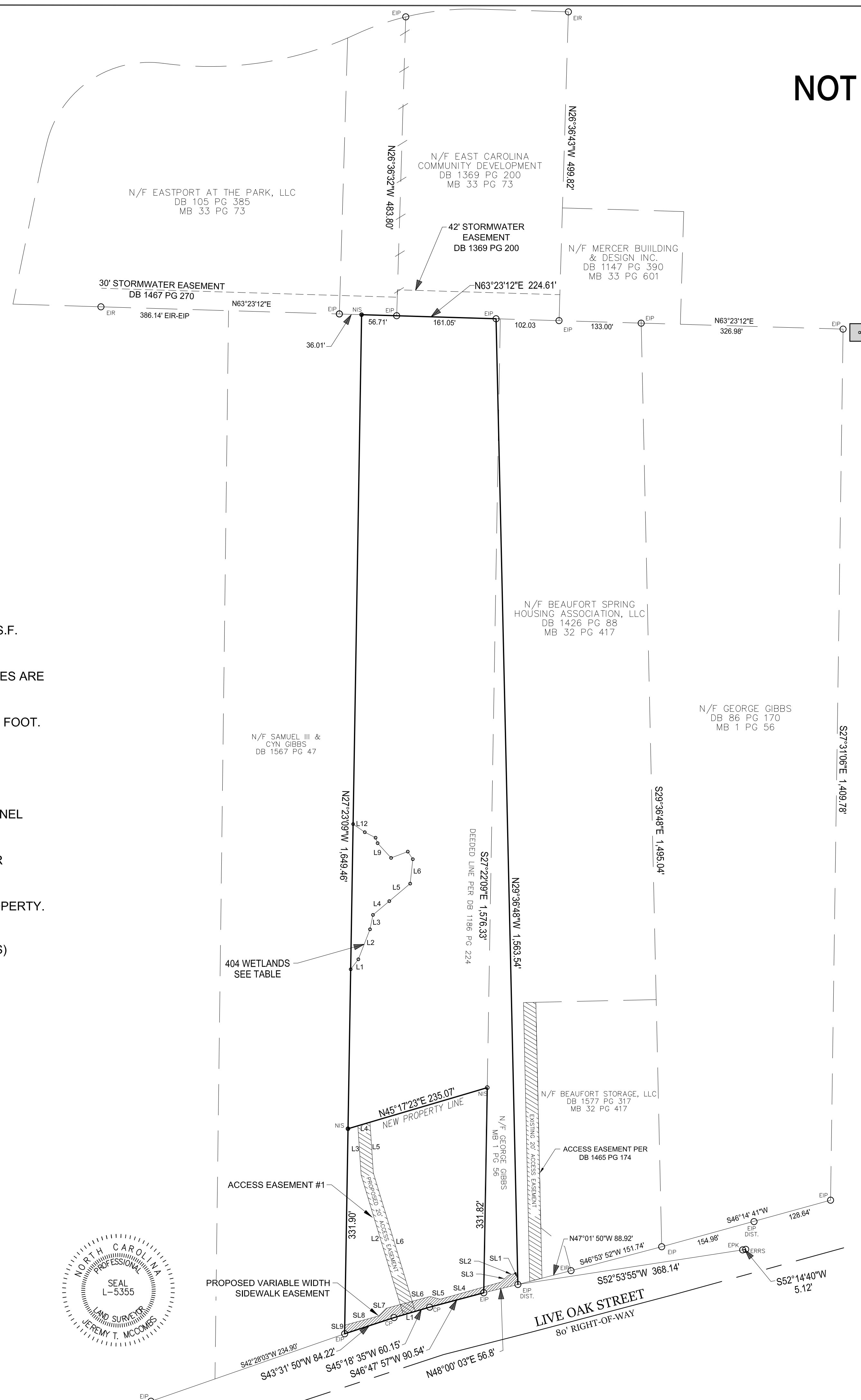
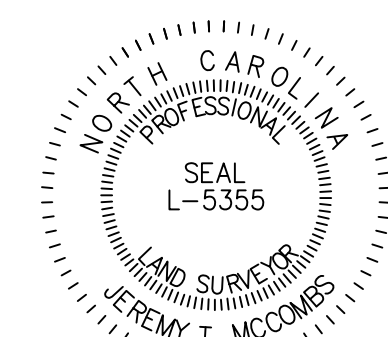
1. ALL AREAS CALCULATED BY COORDINATE GEOMETRY. AREA = 361,496.551 S.F. OR 8.30 +/- ACRES ON LAND.
2. ALL BEARINGS ARE BASED ON DEED BOOK 1186 PAGE 224 AND COORDINATES ARE BASED ON N.C. STATE PLANE COORDINATE SYSTEM; NAD 83 (2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. UNITS: US SURVEY FOOT.
4. THIS PARCEL IS ZONED B-1 PER THE TOWN OF BEAUFORT UNIFIED DEVELOPMENT ORDINANCES.
5. THIS PROPERTY IS LOCATED IN FLOOD ZONE DESIGNATIONS: SHADED "X" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FIRM PANEL 3720730600J, DATED 7/16/2003.
6. 404 WETLANDS DETERMINED BY THE U.S. ARMY CORPS OF ENGINEERS PER ACTION ID: SAW-2017-00741.
7. NO NGS HORIZONTAL MONUMENT WITHIN 2,000 FEET OF THE SUBJECT PROPERTY.

I, JEREMY T. MCCOMBS, CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY OF DESCRIPTION(S) AS RECORDED IN DEED BOOK 1186, PAGE 224. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS SUCH AND WERE PLOTTED FROM INFORMATION AS REFERENCED HEREON: DB 1567 BK 47; MB 31 PG 794; MB 32 PG 417; MB 33 PG 73; MB 33 PG 601 THAT THE RATIO OF PRECISION WAS 1:10,000+ AND THAT THE GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) WAS USED TO PERFORM A PORTION OF THIS SURVEY AND THE FOLLOWING INFORMATION WAS USED:

(1) CLASS OF SURVEY:	CLASS A
(2) POSITIONAL ACCURACY:	0.05'
(3) TYPE OF GPS SURVEY:	RTK
(4) DATES OF SURVEY:	1-5-2022
(5) DATUM/EPOCH:	NAD83(2011)
(6) PUBLISHED/FIXED -CONTROL USE:	NC RTN
(7) GEOID MODEL:	2018
(8) COMBINED GRID FACTOR(S):	0.99991902
(9) UNITS:	US SURVEY FOOT

I FURTHER CERTIFY THIS IS A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600) AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30(F)(11) AS AMENDED. WITNESS MY HAND AND SEAL THIS 26TH DAY OF MAY, A.D. 2022.

JEREMY T. MCCOMBS PLS L-5355



SIDEWALK EASEMENT TABLE

SL1	18.98'	N29°38'06"E
SL2	15.49'	N46°30'29"E
SL3	16.38'	N18°54'32"E
SL4	102.21'	N45°57'46"E
SL5	17.02'	S76°42'01"E
SL6	73.31'	N46°30'29"E
SL7	17.20'	N16°05'57"E
SL8	57.17'	N46°30'29"E
SL9	13.95'	N27°37'34"E

ACCESS EASEMENT #1 TABLE

L1	20.00'	S45°18'35"W
L2	236.47'	N45°09'07"W
L3	79.70'	N32°09'18"W
L4	20.49'	N45°17'23"E
L5	81.88'	N32°09'18"W
L6	234.35'	N45°09'07"W

404 WETLAND TABLE

L1	N09°12'25"E	20.38'
L2	N07°06'08"W	52.05'
L3	N16°40'22"W	23.81'
L4	N21°36'05"E	34.54'
L5	N21°35'28"E	44.21'
L6	N22°16'13"W	39.64'
L7	N61°40'28"W	14.76'
L8	S40°55'14"W	28.92'
L9	N70°48'31"W	32.31'
L10	N48°45'39"W	9.49'
L11	S88°36'00"W	19.60'
L12	N83°25'32"W	23.03'

REFERENCES

- DEED BOOK 1567 PAGE 47
- MAP BOOK 1 PAGE 56
- MAP BOOK 30 PAGE 757
- MAP BOOK 31 PAGE 260
- MAP BOOK 31 PAGE 723
- MAP BOOK 31 PAGE 794
- MAP BOOK 31 PAGE 905
- MAP BOOK 32 PAGE 32
- MAP BOOK 32 PAGE 417
- MAP BOOK 32 PAGE 454
- MAP BOOK 31 PAGE 905
- MAP BOOK 32 PAGE 73
- MAP BOOK 33 PAGE 466
- MAP BOOK 33 PAGE 509
- MAP BOOK 33 PAGE 601

SUBDIVISION PLAT OF
TRACT #3 TOM GIBBS SUBDIVISION
REFERENCE: DB 1186 PG 224 PIN: 730612856893000
BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

OWNER: CARTERET CO BD OF ALCOHOLIC CO	SURVEYED: BB/AC
ADDRESS: 1791 LIVE OAK STREET BEAUFORT, NC 28516	DRAWN: JLJ
	APPROVED:
STROUND ENGINEERING, P.A. 422 HIGHWAY 24 MOREHEAD CITY, N.C. 28557 (252) 247-7479 LICENSE NO.C-0647	DATE: 9/1/2022
	SCALE: 1" = 100'
	PM3071~001



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Board of Commissioners
Regular Meeting
6:00 PM Monday, October 10, 2022
Train Depot, 614 Broad Street
Beaufort, NC 28516
Minutes**

Call to Order/Pledge of Allegiance

Mayor Sharon Harker called the meeting to order at 6:00 p.m. and invited all to join in reciting the Pledge of Allegiance.

Roll Call

Elizabeth Lewis, Town Clerk, called the roll.

PRESENT:

Mayor Harker

Mayor Pro Tem Hagle

Commissioner Oliver

Commissioner Cooper

Commissioner Terwilliger

Commissioner Hollinshed

Agenda Approval

Commissioner Hagle made a motion to approve the agenda as presented.

The motion carried unanimously.

Public Comment

Pearlie Oden, 1100 Pine Street (Apart B) in Beaufort, questioned the ownership of the Oceanview Cemetery, specifically on the east side. She also asked if there was a plan to close the cemetery.

The Mayor confirmed there was no plan to close the cemetery at this time and asked the Town Attorney, Arey Grady to address the ownership question.

Mr. Grady discussed deeds associated with Oceanview Cemetery. He explained the Town's position and noted they had been performing maintenance on the property for many years, because they exercised their right to take authority over the cemetery through State Statue.

Margaret Powell, 264 Glenda Drive (Unit 1) in Beaufort, also spoke about the Oceanview Cemetery questioning ownership and sharing history. She discussed background on the cemetery through deed references and past committee involvement. She requested a meeting of the Mayor and several Town officials to discuss her concerns regarding ownership of the cemetery; she asked that other citizens who were interested be invited as well.

Mayor Harker confirmed she would be in touch with Ms. Powell in efforts to set up a meeting.

Presentations

- 1. Beaufort Housing Authority- Dick DeButts
 - Dick DeButts, Chairman of the Beaufort Housing Authority gave a presentation on future efforts to transform the Housing Authority's owned and controlled low-income housing units into a Public Private Partnership with Winn Developers. A copy of the presentation is incorporated as part of the meeting minutes.
 - Rachel Carroll, Director of the Beaufort Housing Authority, provided an annual financial update, noting there were no Audit findings for fiscal year ending 2021.

Items of Consent

- 1. Minutes- August 22nd & 24th, September 12th & 26th
 - 2. Proposed 2023 Board of Commissioners Meeting Schedule
- Commissioner Hagle made a motion to approve the items of consent as presented.
The motion carried unanimously.

Items for Discussion and Consideration

- 1. Case # 22-13 Final Plat – 1791 Live Oak
 - Kyle Garner, Planning & Inspections Director, shared the staff report regarding Case # 22-13, Final Plat for 1791 Live Oak. He explained the Planning Board's recommendation from their September 19, 2022 meeting, that being a decision on the final plat with the condition that the final plat should not be signed or recorded until the access easement is signed and executed. He noted that at the prior Work Session meeting, the Board requested additional maps, and those maps were included in the meeting packet for review.
 - Commissioner Oliver asked if there would be a recordable survey required at some point.
 - Mr. Garner confirmed there would be a survey required. He asked Josh Johnson to speak on a prior property dispute.
 - Mr. Johnson confirmed the property line dispute had been resolved, and the owners of the mini storage were building on property they owned. He also confirmed there would be a final survey to confirm the property lines.
 - Commissioner Hagle made a motion to approve the Final Plat, with the conditions recommended by the Planning Board: no signatures on the final document until the easement has been executed as well as a recorded survey has been obtained.
 - The motion passed unanimously.

2. Case #22-19 Final Plat – Salt Wynd Preserve (Phase I)

Mr. Garner explained the applicant was requesting to subdivide a 37.06-acre tract into 47 single-family residential lots. He also shared there was an infrastructure improvement bond associated with the project, totaling \$3,153,123.36. He noted recreation fees in the amount of \$5,527.20 will need to be paid prior to Final Plat recordation.

Commissioner Oliver confirmed the number was 46 single-family homes and one larger lot, noting the importance of keeping a correct count of the residential lots.

Commissioner Hagle made several comments about the stormwater system associated with the development. He shared his concerns regarding the construction and maintenance of the pervious pavement stormwater design, noting he did not want the Town to be faced with future flooding issues.

Commissioner Terwilliger commented on the proposed Homeowners Association (HOA) rules, regulations and guidelines put together by the developer; he suggested they were strict and thorough. He shared his concerns of the Town being in a position to monitor any funds or performance of HOA's, noting it would be demanding on resources, time and money. He suggested hardy inspections and oversight of the development process.

Commissioner Hollinshed agreed with Commissioner Terwilliger's comments and pointed out there was a document in the meeting packet that addressed each homeowner's responsibilities.

Commissioner Hagle noted the restrictions on individual lots were separate from the maintenance of streets and sidewalks. He discussed the importance of following proper construction guidelines to ensure the stormwater system was effective in the development.

Sam Bell, Assistant Town Engineer, discussed the permeable pavement construction process, sharing examples of similar projects throughout Town and noting the maintenance required to keep those areas functioning properly.

Mr. Johnson addressed Commissioner Hagle's concerns, sharing the construction process would be monitored through North Carolina Department of Environmental Quality (NC DEQ); he noted infiltration testing must take place before a stormwater permit is issued. He explained a field official from NC DEQ would do a site-visit to test the infiltration rate and determine whether the system is functional. He also shared as part of the permitting process, the developer must supply a notarized operation and maintenance agreement that will be in the name of the HOA, which will address periodic inspections of the system.

Commissioner Hagle made a motion to approve the final plat, subject only to confirmation that the restrictive covenants contain the requirement that the State stormwater permits be properly maintained.

The motion carried unanimously.

Public Hearing

1. Voluntary Annexation (Salt Wynd Phase II)

Commissioner Oliver made a motion to open the Public Hearing.

The motion carried unanimously.

Ms. Lewis shared on September 26, 2022, a Certificate of Sufficiency regarding the petitions for voluntary annexation submitted by Beaufort Agrihood, LLC was presented to the Board. Public Notice of the October 10th Public Hearing was published in the Carteret County News-Times on September 28, 2022 and October 5, 2022. Ms. Lewis explained that staff was requesting a Public Hearing be conducted on the question of voluntary

annexation of several portions the following parcels: 731609153648000; 731609161556000; 731609167703000. She noted if approved, the draft ordinance attached in the meeting packet will need to be adopted.

Mr. Grady commented on the draft ordinance, explaining the conditions listed within the document. He noted that the ordinances associated with Phase I and Phase II of the Salt Wynd Project both reference Exhibit A, which is a legal description that must be provided before the documents recorded; both annexations will be effective when all of the conditions are met and the documents are filed at the Register of Deeds.

Commissioner Cooper asked if this was the entire area that would require annexation, or if there would be additional phases coming before the Board of Commissioners for approval.

Beth Clifford, applicant, the request before the Board would be the final annexation request associated with the Salt Wynd project.

Commissioner Oliver noted a portion of the property is in a floodplain, and asked if the design of those areas addressed mitigation requirements for stormwater and flooding.

Mr. Johnson confirmed a portion of the development was in the floodplain. He explained any development within that flood zone would have to meet all Town Ordinances and obtain proper building permits.

Mayor Harker asked if there was anyone in the audience that wished to speak on the question of voluntary annexation.

There was none.

Commissioner Hagle made a motion to close the Public Hearing.

The motion carried unanimously.

Commissioner Hagle made a motion to approve the annexation and proposed draft ordinance to extend the corporate limits of the Town of Beaufort.

The motion carried unanimously.

2. Case # 22-21 Subdivision Text Amendment - Preliminary Plat Process

Commissioner Hollinshed made a motion to open the Public Hearing.

The motion carried unanimously.

Mr. Garner explained the proposed Subdivision Text Amendment would change the Preliminary Plat process, allowing the Board of Commissioners to have final approval on all Preliminary Plats.

Mayor Harker asked if anyone in the audience wished to make a comment on the proposed Text Amendment.

There was none.

Commissioner Hagle made a motion to close the Public Hearing.

The motion carried unanimously.

Commissioner Terwilliger made a motion to adopt the proposed Subdivision Text Amendment as presented.

The motion carried unanimously.

Manager Report

Todd Clark, Town Manager, provided a monthly report that highlighted upcoming events and projects happening throughout Town. He share the detailed Manger's Report can be accessed on the Town's website by visiting: <https://www.beaufortnc.org/boardofcommissioners/page/managers-report>.

He also informed the group of a new webpage recently added to the Town's website, which lists current projects and status updates for each. He shared that page can be accessed on the Town's website by visiting: <https://www.beaufortnc.org/boardofcommissioners/page/managers-report>

Mayor/Commissioner Comments

Commissioner Hollinshead thanked all staff members who were involved with the 2022 National Night Out event, noting there was an excellent turnout.

Commissioner Cooper thanked Fire Chief Ray and Rachel Johnson for their help educating the community on ways to donate in response to Hurricane Ian. He also commended the Police Department on a successful National Night Out. He expressed the importance of citizen participation and thanked those who were at the meeting.

Commissioner Oliver shared that he recently attended a conference focusing on the opioid crisis within Carteret County. He expressed his concerns on the matter and noted the importance of staying involved in efforts to help cure the epidemic.

Commissioner Hagle shared he recently read a NCDOT Improvement Plan that noted four future projects for the Town of Beaufort. He noted there were several safety articles on the Town's website, under the Police Department's page, and encouraged everyone to read those articles. He reminded the group of White Cane Awareness Day, which takes place on October 15th.

Commissioner Terwilliger had no comments.

Mayor Harker shared that she had started an initiative called "Reading with the Mayor". For the month of October, she partnered with the Beaufort Old Towne Rotary to read and provide books to 2nd grade students at Beaufort Elementary and Tiller School. She acknowledged several staff members and thanked them for their efforts to ensure the Town was safe during Tropical Storm Ian. She also noted the great success of Beaufort Police Department during the National Night Out event.

Closed Session

- 1. Pursuant to NCGS 143-318.11 (a) (3)

Commissioner Hagle made a motion to enter closed session, pursuant to NCGS 1430318.11 (a) (3).

The motion carried unanimously.

Adjourn

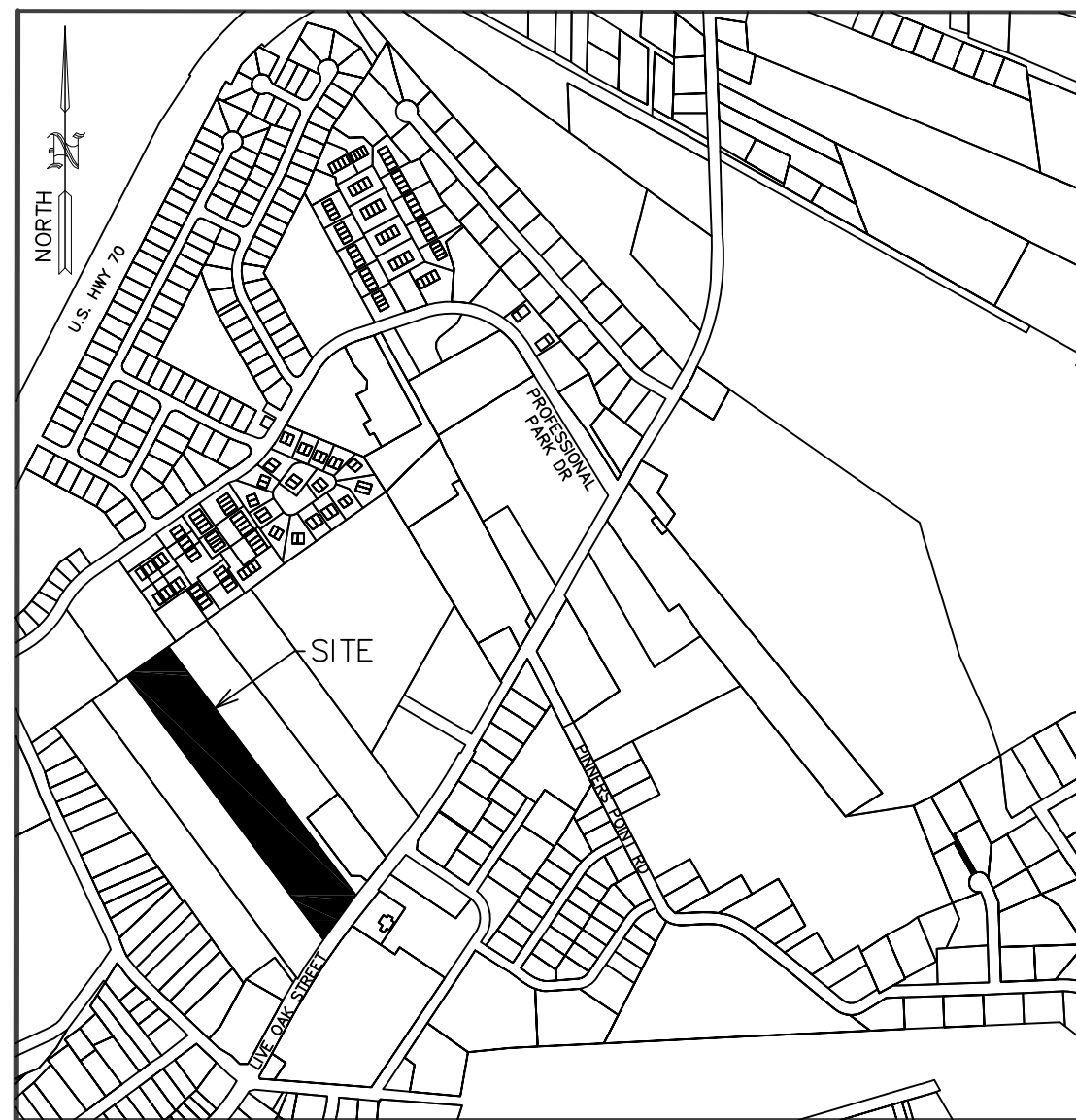
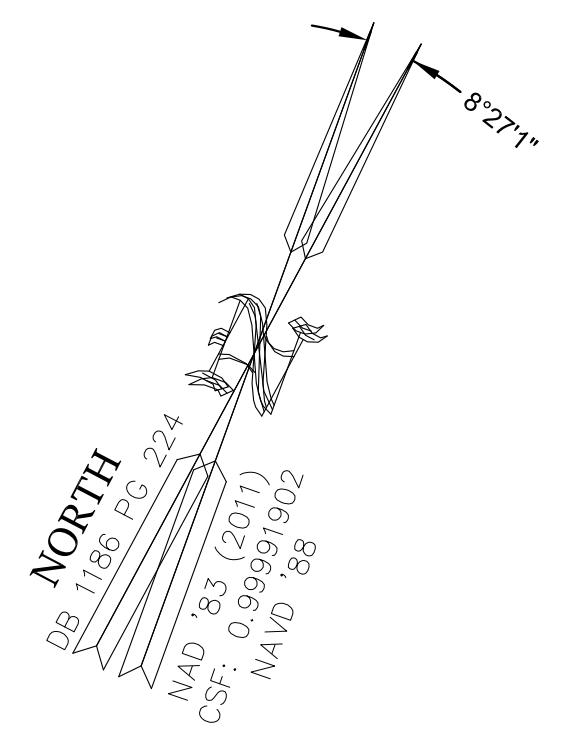
Commissioner Hagle made a motion to adjourn the meeting at 8:35 p.m.

The motion carried unanimously.

Sharon Harker, Mayor

Elizabeth Lewis, Town Clerk

PRELIMINARY NOT FOR SALES OR RECORDATION



VICINITY MAP (NOT TO SCALE)

LEGEND

- R/W= RIGHT-OF-WAY
- CP= COMPUTED POINT BY DEED
- EIP= EXISTING IRON PIPE
- EIR= EXISTING IRON ROD
- EPK= EXISTING PARKER NYLON NAIL
- ERRS= EXISTING RAILROAD SPIKE
- BOUNDARY LINE
- NON-SURVEYED LINE
- PLATTED BY DEED
- EX. RIGHT-OF-WAY
- EX. EASEMENT LINE

NOTES:

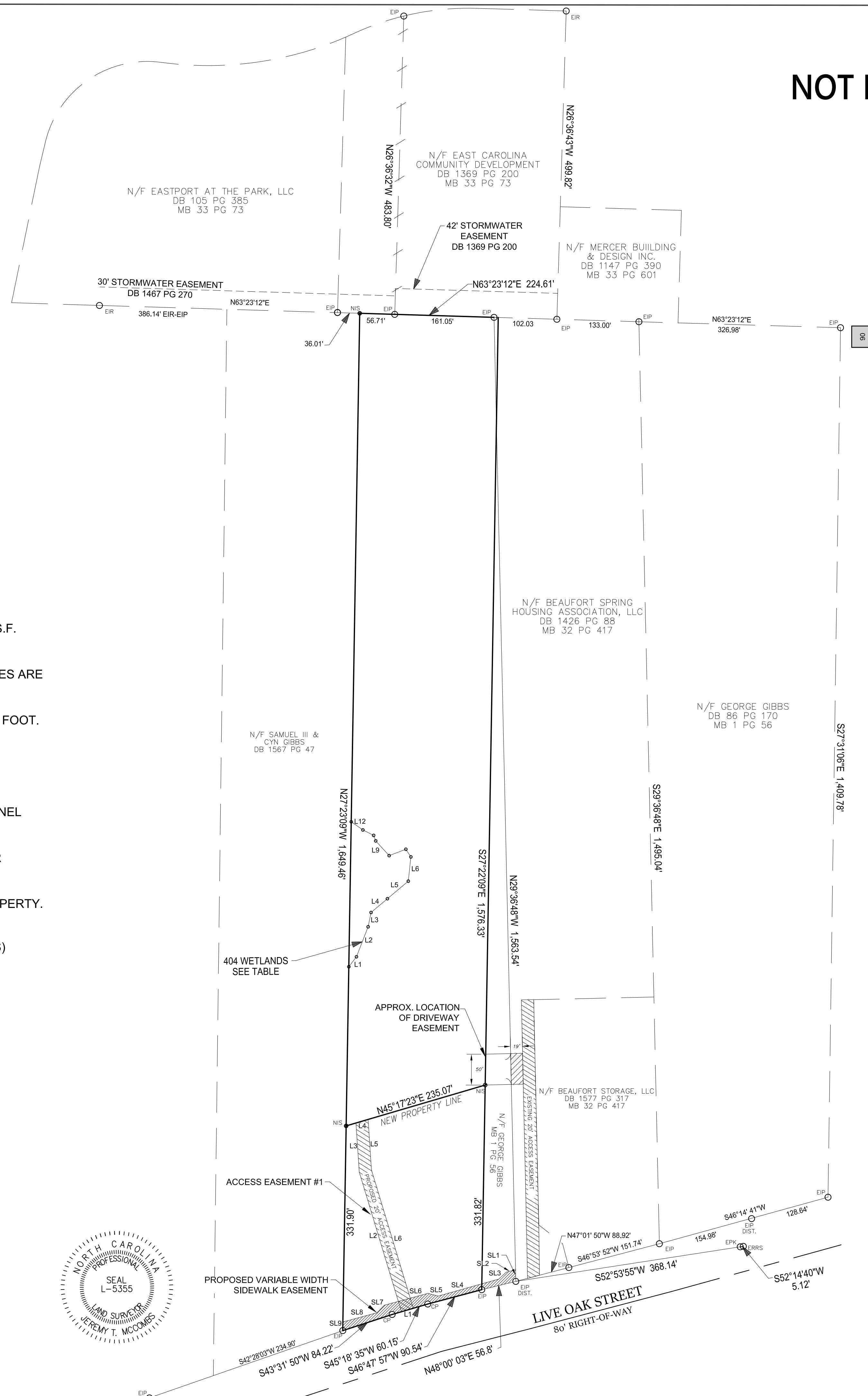
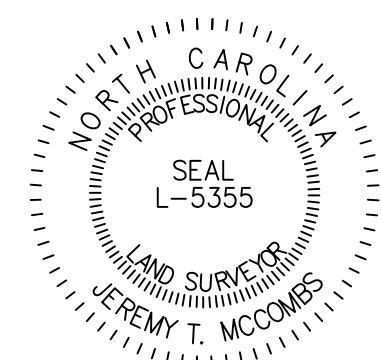
1. ALL AREAS CALCULATED BY COORDINATE GEOMETRY. AREA = 361,496.551 S.F. OR 8.30 +/- ACRES ON LAND.
2. ALL BEARINGS ARE BASED ON DEED BOOK 1186 PAGE 224 AND COORDINATES ARE BASED ON N.C. STATE PLANE COORDINATE SYSTEM; NAD 83 (2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. UNITS: US SURVEY FOOT.
4. THIS PARCEL IS ZONED B-1 PER THE TOWN OF BEAUFORT UNIFIED DEVELOPMENT ORDINANCES.
5. THIS PROPERTY IS LOCATED IN FLOOD ZONE DESIGNATIONS: SHADED "X" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FIRM PANEL 3720730600J, DATED 7/16/2003.
6. 404 WETLANDS DETERMINED BY THE U.S. ARMY CORPS OF ENGINEERS PER ACTION ID: SAW-2017-00741.
7. NO NGS HORIZONTAL MONUMENT WITHIN 2,000 FEET OF THE SUBJECT PROPERTY.

I, JEREMY T. MCCOMBS, CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY OF DESCRIPTION(S) AS RECORDED IN DEED BOOK 1186, PAGE 224. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS SUCH AND WERE PLOTTED FROM INFORMATION AS REFERENCED HEREON: DB 1567 BK 47; MB 31 PG 794; MB 32 PG 417; MB 33 PG 73; MB 33 PG 601 THAT THE RATIO OF PRECISION WAS 1:10,000+ AND THAT THE GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) WAS USED TO PERFORM A PORTION OF THIS SURVEY AND THE FOLLOWING INFORMATION WAS USED:

- | | |
|-----------------------------------|----------------|
| (1) CLASS OF SURVEY: | CLASS A |
| (2) POSITIONAL ACCURACY: | 0.05' |
| (3) TYPE OF GPS SURVEY: | RTK |
| (4) DATES OF SURVEY: | 1-5-2022 |
| (5) DATUM/EPOCH: | NAD83(2011) |
| (6) PUBLISHED/FIXED -CONTROL USE: | NC RTN |
| (7) GEOID MODEL: | 2018 |
| (8) COMBINED GRID FACTOR(S): | 0.99991902 |
| (9) UNITS: | US SURVEY FOOT |

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JEREMY T. MCCOMBS PLS L-5355



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SL1	18.98'	N29°38'06"E
SL2	15.49'	N46°30'29"E
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SL9	13.95'	N27°37'34"E

ACCESS EASEMENT #1 TABLE

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L4	20.49'	N45°17'23"E
L5	81.88'	N32°09'18"W
L6	234.35'	N45°09'07"W

ACCESS EASEMENT #2 TABLE

L1	136.65'	N27°22'09"W
L2	43.88'	S45°17'23"W
L3	125.04'	S29°38'12"E
L4	36.96'	N60°21'54"E

404 WETLAND TABLE

L1	N09°12'25"E	20.38'
L2	N07°06'08"W	52.05'
L3	N16°40'22"W	23.81'
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L12	N83°25'32"W	23.03'

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SUBDIVISION PLAT OF
TRACT #3 TOM GIBBS SUBDIVISION
REFERENCE: DB 1186 PG 224 PIN: 730612856893000
BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

OWNER: CARTERET CO BD OF ALCOHOLIC CO	SURVEYED: BB/AC
ADDRESS: 1791 LIVE OAK STREET BEAUFORT, NC 28516	DRAWN: JTM
STROUD ENGINEERING, P.A. 422 HIGHWAY 24 MOREHEAD CITY, N.C. 28557 (252) 247-7479 LICENSE NO.C-0647	APPROVED: JTM
	DATE: 07/27/2022
	SCALE: 1" = 100'

PM3071~001



FILE # 1787176

FOR REGISTRATION REGISTER OF DEEDS
Karen S. Hardesty
Carteret County, NC
December 14, 2022 03:48 PM
EMMA MOD 8 P
FEE: \$26.00
FILE # 1787176

✓ This Instrument Was Prepared By:
C. R. Wheatly, III
Wheatly Law Group, PA
710 Cedar Street, Beaufort, NC 28516

MODIFICATION OF DRIVEWAY EASEMENT

STATE OF NORTH CAROLINA
COUNTY OF CARTERET

THIS MODIFICATION OF DRIVEWAY EASEMENT made and entered into this 29th day of November, 2022 by and between Beaufort Spring Housing Associates, LLC, A North Carolina Limited Liability Company, (hereinafter “Beaufort Spring”); and Beaufort Storage, LLC, A North Carolina Limited Liability Company, (hereinafter “Beaufort Storage”) and The Carteret County Board of Alcoholic Control, A Body Politic of Carteret County, North Carolina, (hereinafter “ABC”) and M & H Storage, LLC, A North Carolina Limited Liability Company, (hereinafter “M & H”);

WITNESSETH:

WHEREAS, Beaufort Spring is the owner of a certain tract or parcel of land situate in Beaufort Township, Carteret County, North Carolina, containing approximately 6.403 acres, as shown as Lot Number 2 on that particular map entitled “Beaufort Spring” prepared by Baldwin Design Consultants, P.A., and recorded in Map Book 32, Page 417, Carteret County Registry;

WHEREAS, Beaufort Storage is the owner of certain properties, which are designated as Lot Number 1, on that map entitled “Beaufort Spring” prepared by Baldwin Design Consultants, P.A., and recorded in Map Book 32, Page 417, Carteret County Registry; and

WHEREAS, ABC is the owner of certain tract or parcel of land, which is located adjacent to the property of Beaufort Spring as shown on that map in Map Book 32, Page 417, Carteret County Registry and ABC is going to convey a portion of its property which lies to the rear of the existing ABC building to M & H; and

WHEREAS, M & H desires and is need of an easement over the existing road on the Beaufort Spring Housing Associates, LLC property; and

WHEREAS, Beaufort Spring and Beaufort Storage, entered into a Joint Driveway Easement Agreement, Drainage Easement and Agreement to Convey Easement for Ingress and Egress, Drainage and Utility Connections, which is recorded in Book 1465, Page 174, Carteret County Registry; and

WHEREAS, said agreement provides for the joint use of a driveway which would lie to the north of the property of ABC; and

WHEREAS, Beaufort Spring and Beaufort Storage have agreed to allow ABC, their successors and assigns, to be M & H, to utilize the existing driveway on the property of Beaufort Spring. That in addition thereto there will be a portion of said property of Beaufort Spring which said easement will be utilized for the property of ABC and the tract that is to be conveyed to M & H; and

THAT, said easement area is shown on Exhibit "A" which map is recorded in Map Book 34, Page 553, Carteret County Registry, which is attached and incorporated herein; and

THEREFORE, Beaufort Spring, for in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby and grant to ABC and M & H, a perpetual Non-Exclusive Easement in that hatched area as shown on Exhibit "A" which is attached and incorporated herein, for ingress, egress and regress and for utilities; and

WHEREAS, once ABC, its successors and assigns, which will be M & H, utilize said easement shall be responsible for their prorated share of maintenance for that portion of said road or easement utilized by M & H; and

THAT, the proportional share for maintenance shall be as follows: Lot 1 (1.8636 acres at 12%) Beaufort Storage; Lot 2 (6.403 acres at 44%) Beaufort Spring; the adjacent acreage (6.586 acres at 44%) M & H Storage; and

THAT, it is further agreed that in the event M & H does not pay its proportional share of maintenance when demand is made by Beaufort Spring and same is not paid within ninety (90) days after demand, M & H right to utilize said easement terminates;

WHEREAS, the utilization of the area as shown on Exhibit "A", will in no way interfere with any of the storm water or drainage of Beaufort Spring and Beaufort Storage.

WHEREAS, all of the entities above name are entitled to utilize said easement, do

hereby consent and join in on the execution of this agreement.

IN WITNESS WHEREOF, said party sets its hand and seal this day and year first above written.

Signature Pages to Follow

Beaufort Spring Housing Associates, LLC
By: LIHTC Managers, LLC, Managing Member

By: [Signature] (SEAL)
Lyle D. Gardner, Member-Manager

State of North Carolina
County of ~~Carteret~~ WAKE

I, the undersigned Notary Public of the County and State aforesaid, certify that Lyle D. Gardner personally appeared before me this day and acknowledged that he is a Member-Manager of LIHTC Managers, LLC, A North Carolina Limited Liability Company, and further acknowledged the due execution of the foregoing document.

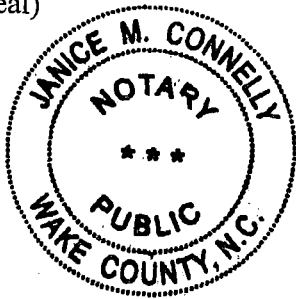
Witness my hand and Notarial stamp or seal this 29 day of November, 2022.

My Commission Expires:

8-11-2027

(Affix Seal)

[Signature]
Notary Public



By: Timothy G. Morgan (SEAL)
Timothy G. Morgan, Manager

State of North Carolina
County of ~~Carteret~~ WAKE

I, the undersigned Notary Public of the County and State aforesaid, certify that Timothy G. Morgan personally appeared before me this day and acknowledged that he is a Manager of LIHTC Managers, LLC, A North Carolina Limited Liability Company, and further acknowledged the due execution of the foregoing document.

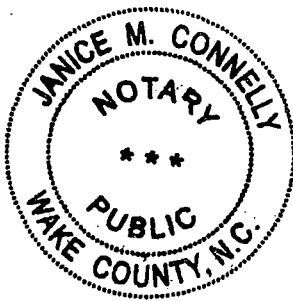
Witness my hand and Notarial stamp or seal this 29 day of November, 2022.

My Commission Expires:

8-11-2027

(Affix Seal)

Janice M Connelly
Notary Public



By: Warren Benton (SEAL)
Warren Benton, Manager
Beaufort Storage, LLC

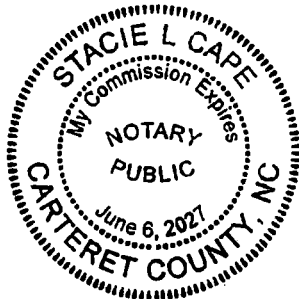
State of North Carolina
County of Carteret

I, the undersigned Notary Public of the County and State aforesaid, certify that Warren Benton personally appeared before me this day and acknowledged that he is a Manager of Beaufort Storage, LLC, A North Carolina Limited Liability Company, and further acknowledged the due execution of the foregoing document.

Witness my hand and Notarial stamp or seal this 30 day of November, 2022.

Stacie L Cape
Notary Public

My Commission Expires:
June 6, 2027
(Affix Seal)



By: George E. Wheatly (SEAL)
George E. Wheatly, Chairman
The Carteret County Board of Alcoholic
Control

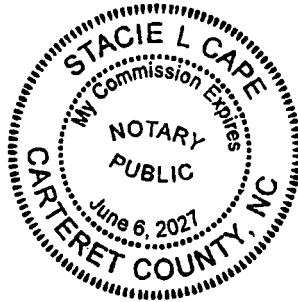
State of North Carolina
County of Carteret

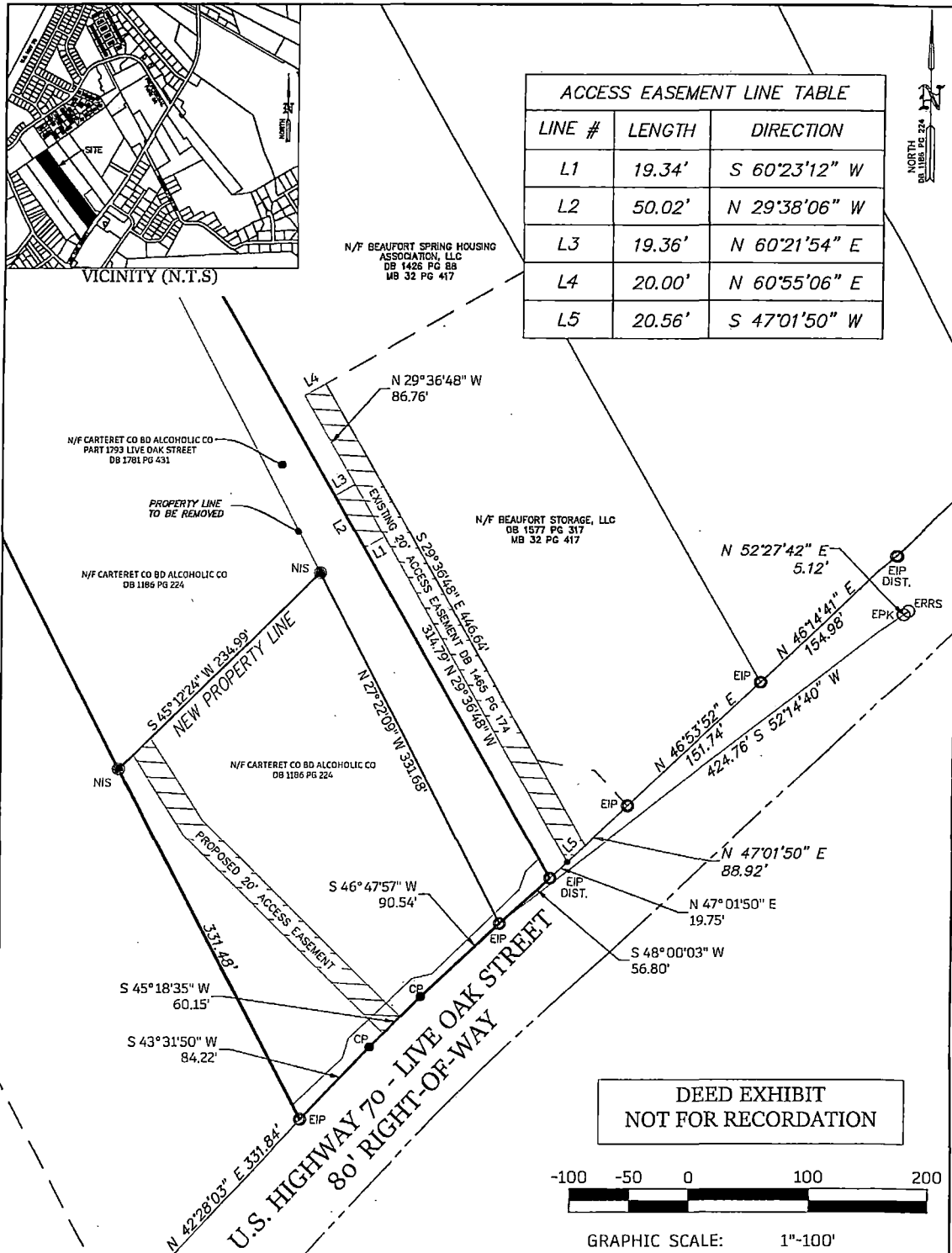
I, the undersigned Notary Public of the County and State aforesaid, certify that George E. Wheatly personally appeared before me this day and acknowledged that he is the Chairman of The Carteret County Board of Alcoholic Control, A Body Politic of Carteret County, North Carolina, and further acknowledged the due execution of the foregoing document.

Witness my hand and Notarial stamp or seal this 5 day of December, 2022.

My Commission Expires:
June 6, 2027
(Affix Seal)

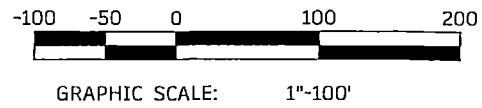
Stacie L. Cape
Notary Public





ACCESS EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	19.34'	S 60°23'12" W
L2	50.02'	N 29°38'06" W
L3	19.36'	N 60°21'54" E
L4	20.00'	N 60°55'06" E
L5	20.56'	S 47°01'50" W

DEED EXHIBIT
NOT FOR RECORDATION



I, JEREMY T. MCCOMBS, CERTIFY THAT THIS MAP WAS COMPLETED UNDER MY DIRECTION AND RESPONSIBLE CHARGE FROM A SURVEY UNDER MY DIRECT SUPERVISION; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN REFERENCES HEREON; THAT THIS MAP MEETS THE REQUIREMENTS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA" (21 NCAC 56.1600).

WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE 1ST DAY OF NOVEMBER, 2022.

PRELIMINARY
PROFESSIONAL LAND SURVEYOR L- 5355
PROJECT NO. PM3071-001

DEED EXHIBIT FOR:
**TRACT #3 TOM GIBBS SUBDIVISION;
LOTS #1 & #2 BEAUFORT SPRING**

REFERENCES:
DB 1186 PG 224 PIN: 730612856893000;
DB 1577 PG 317 PIN: 730612951684000;
DB 1426 PG 88 PIN: 730612867148000

BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

STROUD ENGINEERING, P.A.
422 HIGHWAY 24
MOREHEAD CITY, NC 28557
(252) 247-7479
LICENSE NO. C-0647

This map may not be a certified survey and has not been reviewed by a local government agency for compliance with any applicable land development regulations and has not been reviewed for compliance with recording requirements for plats.



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Beaufort Planning Board Regular Meeting
6:00 PM Monday, February 19, 2024 – 614 Broad Street – Train Depot**

AGENDA CATEGORY: New Business

SUBJECT: To recommend approval or denial to the Board of Commissioners for the proposed Maritime Museum Education Center Site Plan

BRIEF SUMMARY:

Joseph Boyd, PE of WithersRavenel, agent for leaseholder Maritime Heritage Foundation, has applied for site plan review to construct a Maritime Museum Education Center with associated site improvements.

REQUESTED ACTION:

Discussion on Proposed Site Plan
Recommendation to Board of Commissioners for Site Plan

EXPECTED LENGTH OF PRESENTATION:

15 Minutes

SUBMITTED BY:

Michelle Eitner
Town Planner

BUDGET AMENDMENT REQUIRED:

N/A

STAFF REPORT



To: Planning Board Members
From: Michelle Eitner, Town Planner
Date: February 19, 2024
Project Maritime Education Center

THE QUESTION: To recommend approval or denial to the Board of Commissioners for the proposed Maritime Education Center site plan

BACKGROUND:

Location: 293 West Beaufort Road Extension
Applicant: Joseph Boyd, PE of WithersRavenel, for Maritime Heritage Foundation
Property Owner: Maritime Heritage Foundation, via long-term lease from the State of North Carolina
Requested Action: To recommend approval or denial to the Board of Commissioners
Existing Land Use: 2,460sf Bonehenge building
Proposed Land Use: Add 8,688sf Maritime Education Center
Parcel Information: Tract 1 – 730613140379000 – Zoning B-W – 25.54 acres
Tract 2 – 730613144542000 – Zoning R-20 – 0.12 acres (Bonehenge)
Tract 3 – 730613147310000 – Zoning B-W – 3.27 acres

PUBLIC UTILITIES & WORKS:

Water: Town of Beaufort
Sanitary Sewer: Town of Beaufort

OPTIONS:

1. Recommend approval of the Site Plan
2. Recommend denial of the Site Plan based on specific failures to meet requirements of the LDO.

ATTACHMENTS:

Attachment B – Vicinity Map
Attachment C – Site Plans – Beaufort Maritime Education Center

Staff Comments:

Joseph Boyd, PE of WithersRavenel, agent for leaseholder Maritime Heritage Foundation, has applied for site plan review to construct a Maritime Museum Education Center.

This project is the first anticipated phase of development on these sites. The second phase will include a new Maritime Museum, of which the outline is shown on the site plans. This phase is anticipated for proposal in five to ten years, but this first phase sets the stage and provides some of the infrastructure for the next phase.

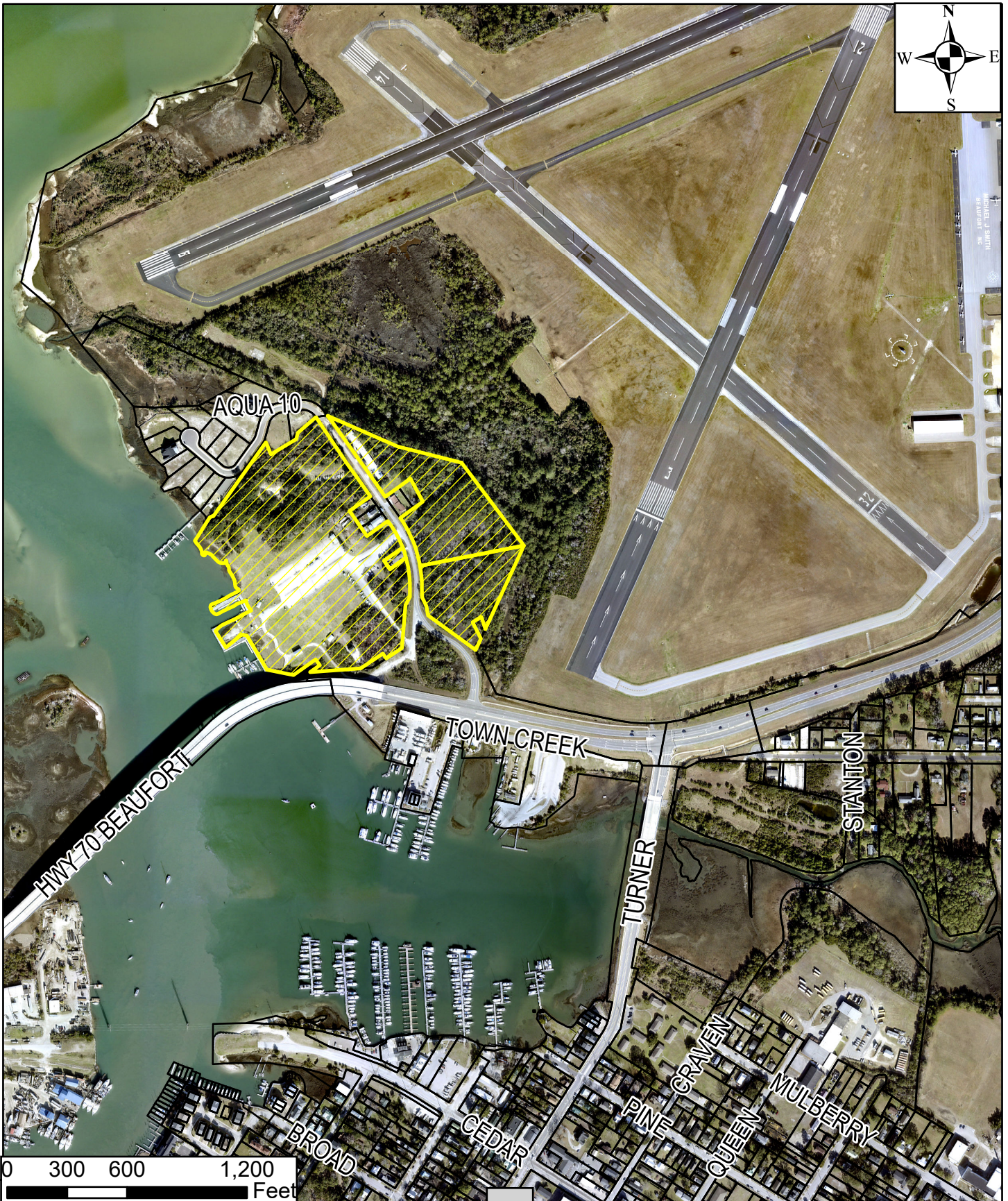
The developer is working with the Town and NCDOT to coordinate sidewalks under the bridge and along the south side of Highway 70 to connect to the existing sidewalks at the west side of Turner. Connection between this project and the existing sidewalk network is preferred to sidewalks along West Beaufort Road Extension with no connections. These improvements are proposed as part of the second phase of development for this site.

In addition to Planning Staff, the Staff Engineer, Public Utilities Director, and Fire Marshal have reviewed the plans for compliance.

Conclusion

This project meets the design criteria required in the LDO and staff recommends approval.

Maritime Museum Education Center Site Plan Vicinity Map 293 West Beaufort Road



SURVEY NOTES:

- THE FOLLOWING INFORMATION WAS USED FOR THE EXISTING SURVEY:
 - COORDINATE SYSTEM: NORTH CAROLINA STATE PLANE FOOT
 - PROJECT HORIZONTAL DATUM: NAD 83/2011
 - VERTICAL DATUM: NAVD 88
 - COORDINATE UNITS: US SURVEY FEET
 - VERTICAL UNITS: US SURVEY FEET
- PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN AS PROVIDED BY JAMES I. PHILLIPS LAND SURVEYING, DATED SEPTEMBER 10, 2022.
- WETLANDS, STREAMS, AND RIPARIAN BUFFERS SHOWN AS DELINEATED BY THE DAVEY RESOURCE GROUP AND MAPPED BY WITHERSRAVENEL, DATED JULY 18, 2023.
- PROPERTY DOES FALL WITHIN FEMA FLOODPLAIN PER FEMA FIRM 3720730600J, EFFECTIVE DATE JULY 16, 2003.
- NO DETERMINATION HAS BEEN MADE BY THE SURVEYOR AS TO THE FOLLOWING: UNDERGROUND STORAGE FACILITIES, UNDERGROUND UTILITIES, GRAVES, CEMETERIES, BURIAL GROUNDS, HAZARDOUS WASTE DEPOSITS OR MATERIALS.
- SURVEY CONTROL POINTS PROVIDED IN NC STATE PLANE COORDINATES. ALL PROPOSED COORDINATES ARE GROUND COORDINATES. THE CONTRACTOR'S SURVEYOR IS RESPONSIBLE FOR ANY CONVERSIONS NEEDED FOR THE STAKEOUT OF THE PROPOSED GROUND COORDINATES SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ADDITIONAL CONTROLS THAT MAY BE NEEDED THROUGHOUT THE PROJECT.

GENERAL NOTES:

- WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, TOWN OF BEAUFORT STANDARDS AND SPECIFICATIONS, GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS AT THE TIME OF PLAN APPROVAL. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS OR PLANS, THE MOST STRINGENT SHALL GOVERN, UNLESS OTHERWISE NOTED IN THESE PLANS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID AND COMMENCING WORK.
- ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL, TOWN OF BEAUFORT AND STATE REGULATIONS, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OSHA ACT.
- THE CONTRACTOR SHALL CALL "811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE UNDERGROUND UTILITIES. ALL UTILITIES AND FACILITIES ARE NOT NECESSARILY SHOWN. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE MAY BE REQUIRED.
- ANY UTILITIES AND EXISTING SITE ELEMENTS (I.E. SIGNS, ROADWAYS, PATHS, STRUCTURES, NATURAL VEGETATION, OTHER EXISTING STRUCTURE ITEMS, ETC.) DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S WORKERS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- CONTRACTOR SHALL MAKE EVERY EFFORT TO PRESERVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A NORTH CAROLINA LICENSED LAND SURVEYOR SHALL REPLACE, AT THE CONTRACTOR'S EXPENSE, PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES DESTROYED BY THE CONTRACTOR.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM DISTURBANCE TO THE OWNER, ADJACENT PROPERTIES AND THE PUBLIC. CONTRACTOR SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
- ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EXECUTED EASEMENTS ON THE JOB SITE AT ALL TIMES.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.
- WETLANDS SHOWN SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) OR NC DIVISION OF COASTAL MANAGEMENT (DCM) OR NC DIVISION OF WATER RESOURCES (DWR), AS APPLICABLE.
- ANY WETLANDS THAT ARE TEMPORARILY IMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO PRE-CONSTRUCTION GRADE AND SEEDED WITH A WETLAND SEED MIX IN ACCORDANCE WITH THE SEDIMENT & EROSION CONTROL PLAN.

- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
- ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE AND ADA STANDARDS FOR ACCESSIBLE DESIGN.
- TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LAB AND THE PAYMENT OF EACH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENT OF THE NCDOT AND MUNICIPAL SPECIFICATIONS.

DEMOLITION NOTES:

- CONTRACTOR SHALL COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN, REMOVE OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO SERVICE OF ANY KIND.
- EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- SAW CUTS OF EXISTING PAVEMENTS, CURBS, GUTTERS AND SIDEWALKS SHALL PRODUCE A NEAT VERTICAL EDGE.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
- ALL PERMITS REQUIRED FOR THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PRIOR TO THE START OF DEMOLITION ACTIVITIES.

STORM DRAINAGE NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF BEAUFORT STANDARDS AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING, BUT NOT LIMITED TO THE HORIZONTAL AND VERTICAL LOCATION OF STRUCTURES AND UTILITIES CROSSING THE STORM SEWER PIPE.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER DRAINAGE SYSTEM.
- ALL STORM SEWER PIPE SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED.
- IF THERE ARE DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS RELATED TO WHERE THE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER. AFTER NOTIFICATION TO ENGINEER AND OWNER, THE CONTRACTOR SHALL PERFORM THE AGREED UPON FIELD ADJUSTMENTS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
- ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN.

GRADING NOTES:

- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES, ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WETLANDS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER IN WRITING OF ANY DISCREPANCIES OR CONCERNS.
- ALL SOILS USED FOR BACKFILL SHALL BE FREE OF UNSATISFACTORY MATERIALS INCLUDING ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION AND OTHER DELETERIOUS MATTER. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE. REFER TO FINAL GEOTECHNICAL REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT. IF ANY, THE CONTRACTOR SHALL CONSULT WITH THE SITE GEOTECHNICAL ENGINEER PRIOR TO BACKFILL PLACEMENT TO VERIFY BACKFILL MEETS PROJECT REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
- MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT TO THE OWNER AND PROJECT GEOTECHNICAL ENGINEER THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A NORTH CAROLINA CERTIFIED MATERIALS TESTING LABORATORY AND CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA REPRESENTING THE LABORATORY.

- ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- RETAINING WALLS OR MECHANICALLY STABILIZED EARTH WALLS SHALL BE DESIGNED AND CONSTRUCTED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA AND COMPLY IN ALL ASPECTS WITH THE NC BUILDING CODE.
- CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS REQUIRED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION RELATED TO BLASTING AND SAFETY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. DEWATERING SHALL BE INCIDENTAL TO GRADING OPERATIONS.
- MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. SEE GROUND COVER REQUIREMENTS WITHIN THESE PLANS OR CONSULT THE MUNICIPAL EROSION CONTROL SPECIALIST.
- THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND ELECTRIC UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES UNLESS OTHERWISE SHOWN ON THE PLANS.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- REFERENCE STRUCTURAL DRAWINGS, SPECIFICATIONS, GEOTECHNICAL REPORT, AND/OR DIRECTIVES PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.

TREE PROTECTION NOTES:

- ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH TREE PROTECTION FENCE AS INDICATED ON THE PLANS TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.
- NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT USE, SOIL OR DEBRIS REMOVAL OR STOCKPILING, TRENCHING; OR DISPOSAL OF ANY LIQUIDS.
- APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
- IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
- TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

UTILITIES NOTES:

- GENERALLY, FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF TESTING SERVICES AND COORDINATION WITH UTILITY OWNER.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN.
- THE CONTRACTOR SHALL REPORT, IN WRITING ANY UTILITY CONFLICTS TO THE ENGINEER IMMEDIATELY UPON DISCOVERING CONFLICTS.
- PRIOR TO UTILITY RELOCATION, REMOVAL OR ABANDONMENT, THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY PROVIDERS. KNOWN UTILITY PROVIDER INFORMATION IS CONTAINED ON THIS PLAN SHEET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO SERVICE OF ANY KIND.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 3 FEET ON ALL PROPOSED WATER LINES. THREE FEET SHALL BE MEASURED TO THE BOTTOM OF THE PROPOSED SUBGRADE WITHIN PAVED AREAS.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 3 FEET ON ALL PROPOSED SANITARY LINES. THREE FEET SHALL BE MEASURED TO THE BOTTOM OF THE PROPOSED SUBGRADE WITHIN PAVED AREAS.
- THE CONTRACTOR SHALL MAINTAIN SEPARATION OF WATER MAIN FROM SANITARY SEWER PIPING IN ACCORDANCE WITH THOSE DISTANCES SPECIFIED BY STATE AND/OR LOCAL CODE OR A MINIMUM OF 10 FEET HORIZONTAL OR 18 INCHES VERTICAL DISTANCE.

- THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION OF ALL PROPOSED POWER AND COMMUNICATION LINES AND ASSOCIATED APPURTENANCES.

UTILITY CONTACT INFORMATION:

WATER AND SANITARY SEWER SERVICE:
 PROVIDER: TOWN OF BEAUFORT
 ADDRESS: 701 FRONT STREET
 CONTACT: GREGORY MESHAW, PE
 PHONE: 252-528-8769
 EMAIL: G.MESHAW@BEAUFORTNC.ORG

EROSION & SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL INSTALL EROSION CONTROLS IN ORDER WITH THE SEQUENCE PROVIDED.
- CONTRACTOR SHALL ENSURE GRADING OPERATIONS ARE CONDUCTED IN A MANNER THAT DOES NOT ALLOW ANY SEDIMENT TO DRAIN OFFSITE OR INTO WATERCOURSES.
- A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT THE LOCATIONS SHOWN ON THE DRAWINGS AND AT EACH POINT OF CONSTRUCTION ACCESS.
- CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL MEASURES.
- IF STORM CROSS DRAINAGE CANNOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE STORM DRAINAGE PIPE SHALL BE USED TO CROSS WET WEATHER CHANNELS, EXCLUDING ANY PROTECTED WETLANDS OR STREAMS.
- ALL STORM DRAINAGE PIPE SHALL BE PROTECTED AS SHOWN ON THE PLANS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE RIPRAP LINED DISSIPATOR PADS AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE POSITIVE DRAINAGE. SEE PLANS FOR DIMENSIONS AND DETAILS.
- PERMANENT GROUND COVER SHALL BE ESTABLISHED PER APPROVED NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT AN EROSION CONTROL PERMIT AND ANY OTHER RELATED PERMITS ARE SECURED FOR ANY OFF-SITE WASTE OR BORROW AREAS, UNLESS OTHERWISE STATED IN THE PROJECT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL AGREEMENTS WITH LANDOWNERS FOR PLACEMENT OF WASTE SOIL OR REMOVAL OF BORROW. OFF-SITE PERMITS AND AGREEMENTS SHALL EXIST PRIOR TO CONSTRUCTION ACTIVITIES ON WASTE OR BORROW AREAS.
- SOILS CONTAMINATED WITH ANY CHEMICAL, METAL OR PETROLEUM CONTAMINATION SHALL NOT BE TRANSPORTED ONTO THE PROPERTY AS BORROW / FILL SOILS. CONTAMINATED SOILS, IF DISCOVERED ON THE PROPERTY SHALL NOT BE TRANSPORTED OFFSITE WITHOUT TESTING, PERMITTING AND/OR OTHER REGULATORY APPROVALS COMMENSURATE WITH THE TYPE OF CONTAMINATION AND LOCATION.
- TEMPORARY DIVERSIONS ARE TO REMAIN IN PLACE UNTIL THE STORM DRAINAGE SYSTEM IS IN PLACE, THE UPSTREAM AREA IS STABILIZED AND/OR APPROVAL FROM MUNICIPAL EROSION CONTROL INSPECTOR IS RECEIVED.

SEQUENCE OF CONSTRUCTION:

- INSTALL CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE AND TREE PROTECTION FENCE AS SHOWN ON PLANS.
- CLEAR AND REMOVE FROM SITE ALL NOTED STRUCTURES, PAVEMENT, TREES, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN DESIGNATED CLEARING LIMITS.
- INSTALL/UPDATE NOTED EROSION CONTROL DEVICES INCLUDING SEDIMENT BASINS, SKIMMER BASINS, AND TEMPORARY DIVERSION DITCHES.
- GRADE SITE AND INSTALL UTILITIES AS SHOWN ON PLANS. ALL TRENCHES SHALL BE BACKFILLED AND STABILIZED DAILY.
- REMOVE TEMPORARY DIVERSION DITCHES AS NEEDED FOR SITE CONSTRUCTION. AFTER DITCH REMOVAL, CONTRACTOR SHALL VERIFY STORM WATER IS ROUTED THROUGH A VEGETATED SWALE OR SILT FENCE PRIOR TO LEAVING SITE.
- PLANT GRASS OVER ALL GRADED AREAS AS NOTED IN STABILIZATION NOTES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION MEASURES.
- WHEN DEWATERING THE TEMPORARY BASINS, SEDIMENT FILTER BAGS SHALL BE USED AS SHOWN ON THE PLAN. SEDIMENT BAGS TO BE CONTINUOUSLY MONITORED DURING OPERATION.
- DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY THE ENGINEER.
- WATER, FERTILIZE, MOW, AND MAINTAIN SPRIGGED, SODDED, AND PLANTED AREAS UNTIL FINAL APPROVAL BY THE STATE OF NORTH CAROLINA.
- PERIMETER MEASURES MUST BE LEFT IN PLACE UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED. AFTER SITE IS PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND PROVIDE PERMANENT SEEDING WHERE TEMPORARY MEASURES HAVE BEEN REMOVED AND GROUND COVER IS NOT ADEQUATE. SEDIMENT BASINS MAY NOT BE REMOVED OR CONVERTED TO PERMANENT BMPs UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED.
- WHEN THE PROJECT IS COMPLETE, THE PERMITTEE SHALL CONTACT DELMR TO CLOSE OUT THE E&S PLAN.

CN PROJ #: 10145
SCD ID #: 2326530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

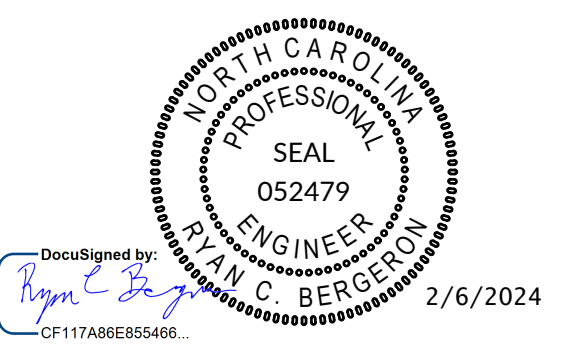
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

GENERAL NOTES

C0.01

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145

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EROSION AND SEDIMENT CONTROL NOTES:
EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

1. EROSION AND SEDIMENT CONTROL (ESC) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR.
2. CONTACT THE DEMLR WILMINGTON REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO COMMENCING THE LAND-DISTURBING ACTIVITY.
3. PER NPDES REQUIREMENTS, A RAIN GAUGE, SELF-INSPECTIONS RECORDS, PERMIT, CERTIFICATE OF COVERAGE, AND S&E PLAN ARE REQUIRED TO BE MAINTAINED ON SITE AND ACCESSIBLE DURING INSPECTION. IT IS RECOMMENDED THAT THESE ITEMS BE PLACED IN A PERMITS BOX AT THE BEGINNING OR ENTRANCE OF PROJECT.
4. THE CONTRACTOR SHALL CONDUCT SELF-INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES AND COMPLETE THE FOLLOWING COMBINED SELF-INSPECTION FORM FOUND ON THE DEMLR WEBSITE: [HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/EROSION-SEDIMENT-CONTROL/FORMS](https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms). TWELVE MONTHS OF COMPLETE INSPECTION FORMS SHALL BE KEPT ON-SITE AND AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS RECOMMENDED A COPY BE KEPT IN A PERMITS BOX.
5. SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF GREATER THAN 1 INCH. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED. ALL ESC MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.

MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY ONE INCH RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. SEDIMENT WILL BE REMOVED FROM BASINS WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE.
5. INLET PROTECTION DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT. DAMAGED SILT FENCE SHALL BE REPLACED AND GRAVEL SHALL BE CLEANED OR REPLACED WHEN INLET NO LONGER DRAINS PROPERLY.
6. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 7-14 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
7. SEDIMENT WILL BE REMOVED FROM AROUND TEMPORARY ROCK CHECK DAMS ONCE A WEEK AND AFTER EVERY RAIN EVENT.

STABILIZATION NOTES

1. SLOPES LEFT EXPOSED WILL, WITHIN 7-14 CALENDAR DAYS OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES TO RESTRAIN EROSION.
2. ALL OTHER DISTURBED AREAS SHALL BE PLANTED OR OTHERWISE PROVIDED PERMANENT GROUND COVER WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT WHICHEVER PERIOD IS SHORTER.

BUILDING WASTES HANDLING

1. NO LIQUID WASTES OR PARTS THEREOF SHALL BE DISCHARGED INTO STREAM OR STORM DRAINS.
2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
3. EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

INSPECTIONS

1. INSPECT RAIN GAUGE & INSPECTIONS AFTER 1" RAIN EVENT.
2. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
3. INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
4. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
5. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

NPDES-SPECIFIC PLAN SHEETS NOTES

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE ELUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT NOT PART OF THE APPROVED PLANS FOR THE PURPOSED OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

GROUND STABILIZATION CHART		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
DIKES, SWALES, DITCHES, AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HOW ZONES.

SEEDING NON-WETLAND AREAS

A. TEMPORARY NON-WETLAND SEEDING

1. SEEDING SCHEDULE

TEMPORARY SEEDING OF NON-WETLAND AREAS		
DATES	SEED MIXTURE SPECIES	APPLICATION RATE (LB/ACRE)
JAN 1 – MAY 1	RYE GRAIN	120
	SWITCHGRASS	50
MAY 1 – AUG 15	GERMAN MILLET	40
AUG 15 – DEC 30	RYE GRAIN	120
2. SOIL AMENDMENTS
 - a. FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LBI/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBI/ACRE 10-10-10 FERTILIZER.
3. MULCH
 - a. APPLY 4,000 LBI/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
4. MAINTENANCE
 - a. WINTER, EARLY SPRING, AND SUMMER
 - 1) REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.
 - b. FALL
 - 1) REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LBI/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15 OVERSEED WITH 50 LBI/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.
5. TEMPORARY SEEDING MUST BE FOLLOWED UP WITH PERMANENT SEEDING AS SOON A PRACTICAL.

B. PERMANENT NON-WETLAND SEEDING

1. SEED ALL DISTURBED AREAS OF CONSTRUCTION.
2. NO SEEDING SHOULD BE UNDERTAKEN IN WINDY OR UNFAVORABLE WEATHER, WHEN THE GROUND IS TOO WET TO RAKE EASILY, WHEN IT IS IN A FROZEN CONDITION, OR TOO DRY.
3. THE SUBGRADE OF ALL AREAS TO BE SEEDED SHALL BE RAKED AND ALL RUBBISH, STICKS, ROOTS, AND STONES LARGER THAN 2 INCHES SHALL BE REMOVED.
4. THE SUBGRADE SHALL BE SCARIFIED OR OTHERWISE LOOSENEED TO A MINIMUM DEPTH OF 4 INCHES.
5. APPLY GROUND AGRICULTURAL LIMESTONE AT A RATE OF 3,000 - 4,000 LBI/ACRE.
6. APPLY 10-10-10 FERTILIZER AT A RATE OF 1,000 LBI/ACRE. FERTILIZER SHALL BE UNIFORMLY SPREAD AND DISKED OR ROTO, TILLED TO A DEPTH OF AT LEAST 4 INCHES.
7. PERMANENT SEEDING
 - a. IMMEDIATELY FOLLOWING THIS PREPARATION, PERMANENT SEED SHALL BE UNIFORMLY APPLIED AND LIGHTLY RAKED INTO THE SURFACE. LIGHTLY ROLL THE SURFACE AND WATER WITH FINE SPRAY. PERMANENT SEED SHALL BE APPLIED AT THE FOLLOWING RATES:

PERMANENT SEEDING OF NON-WETLAND AREAS		
DATES	SEED MIXTURE SPECIES	APPLICATION RATE (LB/ACRE)
APR 15 – JUN 30	BERMUDA GRASS	25
MAY 1 – SEP 1	SWITCHGRASS	40
SEP 1 – APR 1	TALL FESCUE	120
SEP 1 – MAY 1	BIG BLUESTEM	80
 - b. THE BEST SEEDING DATES ARE BETWEEN SEPTEMBER 1 THROUGH SEPTEMBER 30 AND FEBRUARY 15 THROUGH MARCH 20.
 - c. POSSIBLE SEEDING DATES ARE BETWEEN SEPTEMBER 1 THROUGH OCTOBER 31 AND FEBRUARY 15 THROUGH APRIL 30.
 - d. BETWEEN APRIL 15 AND AUGUST 15, ADD 10 LBI/ACRE GERMAN MILLET OR 15 LBI/ACRE OF SUDANGRASS.
 - e. PRIOR TO MAY 1 OR AFTER AUGUST 15 ADD 25 LBI/ACRE RYE (GRAIN).
8. APPLY MULCH AT A RATE OF 4,000 LBI/ACRE.
9. APPLY TACKIFIER AT A RATE OF 10 GAL/1,000FT2.
10. THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION. RESEEDING SHALL BE DONE IF AND WHEN NECESSARY UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA SEEDED.
11. ON SLOPES, THE CONTRACTOR SHALL PROVIDE AGAINST WASHOUTS BY AN APPROVED METHOD. ANY WASHOUT THAT OCCURS SHALL BE REGRADED AND RESEEDED AT THE CONTRACTOR'S EXPENSE UNTIL GOOD SOD IS ESTABLISHED.

SEEDING WETLAND AREAS

A. TEMPORARY WETLAND SEEDING

1. SEEDING SCHEDULE

TEMPORARY SEEDING OF WETLAND AREAS		
DATES	SEED MIXTURE SPECIES	APPLICATION RATE (LB/ACRE)
JAN 1 – MAY 1	RYE GRAIN	120
MAY 1 – AUG 15	GERMAN MILLET	40
AUG 15 – DEC 30	RYE GRAIN	120
2. SOIL AMENDMENTS
 - a. FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LBI/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBI/ACRE 10-10-10 FERTILIZER.
3. MULCH
 - a. APPLY 4,000 LBI/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
4. MAINTENANCE
 - a. WINTER, EARLY SPRING, AND SUMMER
 - 1) REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.
 - b. FALL
 - 1) REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LBI/ACRE OF NITROGEN IN MARCH.
5. TEMPORARY SEEDING MUST BE FOLLOWED UP WITH PERMANENT SEEDING AS SOON A PRACTICAL.

B. PERMANENT WETLAND SEEDING

1. SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN.
2. AREAS TO BE SEEDED SHALL BE RIPPED AND SPREAD WITH AVAILABLE TOPSOIL 6" DEEP. TOTAL SEEDBED PREPARED DEPTH SHALL BE 9" TO 8" DEEP.
3. LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION. SURFACE FOR FINAL SEEDBED PREPARATION, AT FINISH GRADES SHOWN, SHALL BE REASONABLY SMOOTH.
4. PROVIDE AGRICULTURAL LIME AT RATE REQUIRED TO BRING SOIL ACIDITY TO A PH OF 6, ACCORDING TO SOIL TEST REPORT.
5. LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.
6. APPLY 10-20-10 COMMERCIAL FERTILIZER AT THE RATE OF 20 LBS/1,000FT2 FOR COOL SEASON MIX (SEE SCHEDULE).
7. IMMEDIATELY FOLLOWING THIS PREPARATION THE SEED SHALL BE UNIFORMLY APPLIED AND LIGHTLY RAKED INTO THE SURFACE. LIGHTLY ROLL THE SURFACE AND WATER WITH FINE SPRAY. SEED SHALL BE A MIX OF THE FOLLOWING SPECIES TO BE APPLIED AT THE FOLLOWING RATES:

PERMANENT SEEDING OF WETLAND AREAS		
DATES	SEED MIXTURE SPECIES	APPLICATION RATE (LB/ACRE)
DEC 1 – APR 1	SWITCHGRASS (CARTHAGE)	3.5
DEC 1 – APRIL 15	SMARTWEED	2.0
DEC 1 – MAY 1	SOFT RUSH	2.5
DEC 1 – MAY 1	FOX SEDGE	2.5

THE SEED SHOULD BE A MIXTURE OF ALL SPECIES FOR A TOTAL APPLICATION RATE OF 14.5 LB/ACRE)
8. CONTRACTOR SHALL BE REQUIRED TO PROVIDE A PERMANENT MIXTURE ACCORDING TO THE SCHEDULE.
9. TEMPORARY CROPS MUST BE INCORPORATED PRIOR TO SEEDING OF PERMANENT MIXTURES.
10. COVER CROPS OR TEMPORARY CROPS MUST BE MOWED AT PROPER TIME TO PREVENT SEED HEADS FROM MATURING. WHEAT MAY BE HARVESTED.
11. APPLY MULCH AT A RATE OF 4,000 LBI/ACRE.
12. IF HYDROSEEDED, USE VIRGIN PAPER MULCH ONLY.
13. WETLANDS CROSSINGS SHALL BE COVERED WITH "TERRA JUTE" EROSION CONTROL NETTING OR EQUAL INSTALLED PER MANUFACTURER DIRECTIONS.

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ # : 10145
SOD ID # : 23-26530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

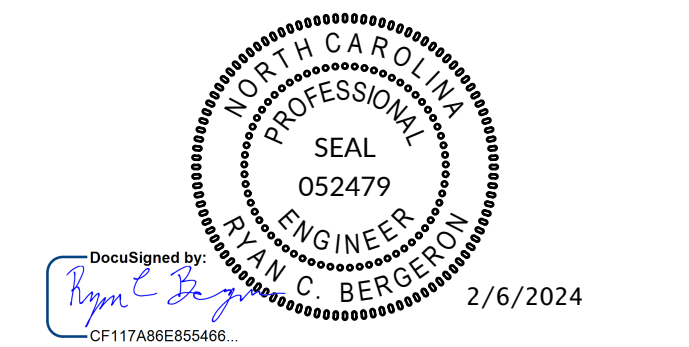
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	REVISION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

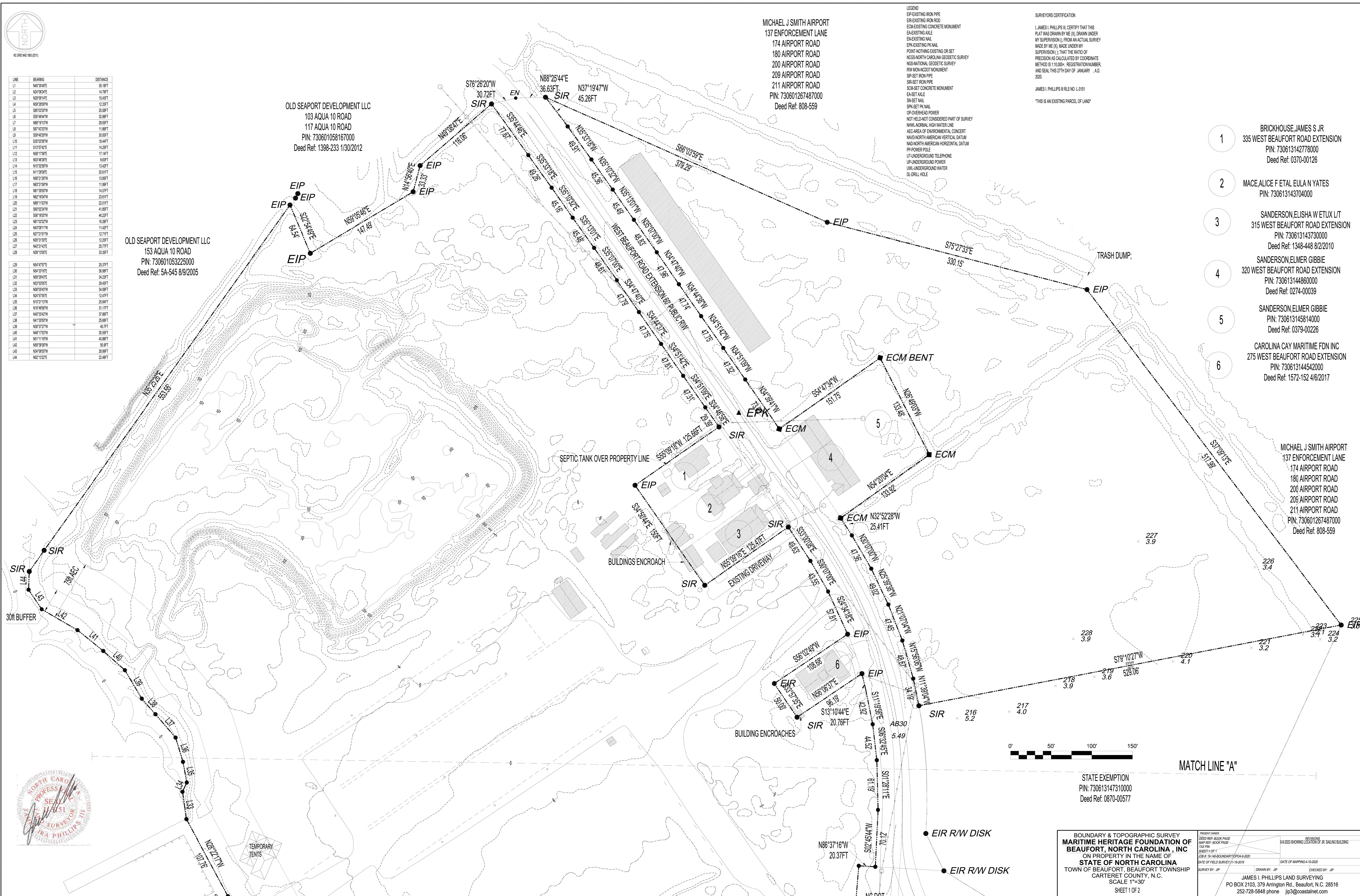
GENERAL NOTES

C0.02

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS



LINE	BEARING	DISTANCE
L1	N82°04'E	20.98 FT
L2	N82°04'E	15.98 FT
L3	N82°04'E	15.48 FT
L4	N82°04'E	12.98 FT
L5	N82°04'E	11.98 FT
L6	N82°04'E	11.48 FT
L7	N82°04'E	10.98 FT
L8	N82°04'E	10.48 FT
L9	N82°04'E	9.98 FT
L10	N82°04'E	9.48 FT
L11	N82°04'E	8.98 FT
L12	N82°04'E	8.48 FT
L13	N82°04'E	7.98 FT
L14	N82°04'E	7.48 FT
L15	N82°04'E	6.98 FT
L16	N82°04'E	6.48 FT
L17	N82°04'E	5.98 FT
L18	N82°04'E	5.48 FT
L19	N82°04'E	4.98 FT
L20	N82°04'E	4.48 FT
L21	N82°04'E	3.98 FT
L22	N82°04'E	3.48 FT
L23	N82°04'E	2.98 FT
L24	N82°04'E	2.48 FT
L25	N82°04'E	1.98 FT
L26	N82°04'E	1.48 FT
L27	N82°04'E	0.98 FT
L28	N82°04'E	0.48 FT

OLD SEAPORT DEVELOPMENT LLC
103 AQUA 10 ROAD
117 AQUA 10 ROAD
PIN: 730601058167000
Deed Ref: 1398-233 130/2012

OLD SEAPORT DEVELOPMENT LLC
153 AQUA 10 ROAD
PIN: 730601053225000
Deed Ref: 5A-545 89/2005

MICHAEL J SMITH AIRPORT
137 ENFORCEMENT LANE
174 AIRPORT ROAD
180 AIRPORT ROAD
200 AIRPORT ROAD
209 AIRPORT ROAD
211 AIRPORT ROAD
PIN: 730601267487000
Deed Ref: 808-559

- 1 BRICKHOUSE, JAMES S JR
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613142778000
Deed Ref: 0370-00126
- 2 MACE, ALICE F ETAL, EULA N YATES
PIN: 730613143704000
- 3 SANDERSON, ELISHA W ETUX LUT
315 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143730000
Deed Ref: 1348-448 82/2010
- 4 SANDERSON, ELMER GIBBIE
320 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144860000
Deed Ref: 0274-00039
- 5 SANDERSON, ELMER GIBBIE
PIN: 730613145814000
Deed Ref: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144542000
Deed Ref: 1572-152 4/6/2017

MICHAEL J SMITH AIRPORT
137 ENFORCEMENT LANE
174 AIRPORT ROAD
180 AIRPORT ROAD
200 AIRPORT ROAD
209 AIRPORT ROAD
211 AIRPORT ROAD
PIN: 730601267487000
Deed Ref: 808-559

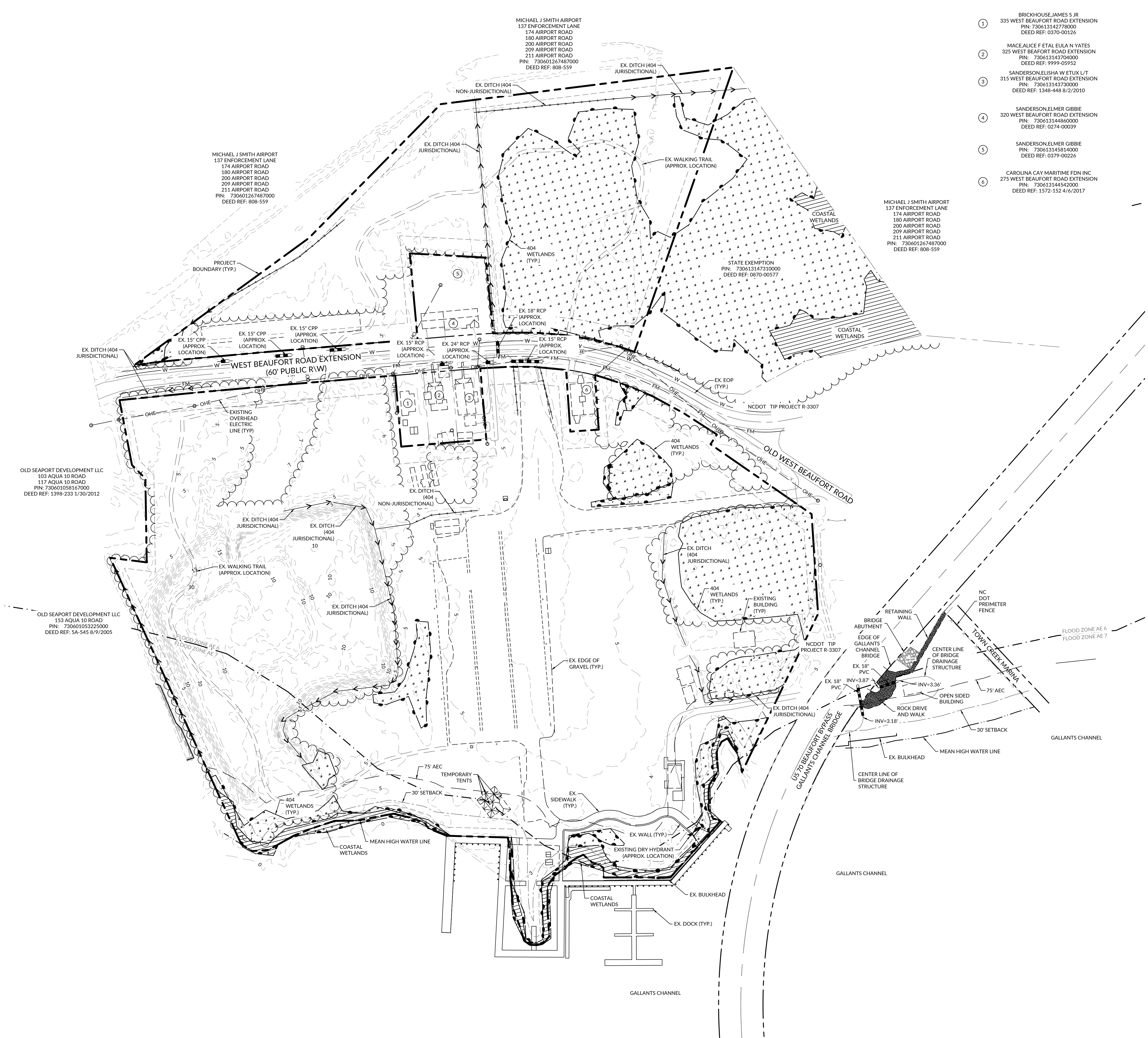
BOUNDARY & TOPOGRAPHIC SURVEY
MARITIME HERITAGE FOUNDATION OF BEAUFORT, NORTH CAROLINA, INC
ON PROPERTY IN THE NAME OF
STATE OF NORTH CAROLINA
TOWN OF BEAUFORT, BEAUFORT TOWNSHIP
CARTERET COUNTY, N.C.
SCALE 1"=30'
SHEET 1 OF 2

DESIGNED BY: JIP
DRAWN BY: JIP
DATE OF SURVEY: 11-19-2019
DATE OF PLOTTING: 01-30-2024
JAMES I. PHILLIPS LAND SURVEYING
PO BOX 2103, 379 Arrington Rd., Beaufort, N.C. 28516
252-728-5848 phone jip3@coastalnet.com

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

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D
C
B
A



NOTES

1. EXISTING CONDITIONS SURVEY PROVIDED BY JAMES I. PHILLIPS LAND SURVEYING, P.O. BOX 2103, 279 ABBINGTON ROAD, BEAUFORT, NC 28516, 252-728-5848 (PHONE), JIP9@COASTALNET.COM
2. PROJECT LIES WITHIN FEMA FLOOD ZONE AE 6 & FEMA PANEL 3202709600 (UNDES APPEAL PART OF COASTAL MODEL UPDATE LETTER OF FINAL DETERMINATION NOT EXPECTED TO BE ISSUED FOR 1-2 YEARS)
3. BRICKHOUSE JAMES S JR, 335 WEST BEAUFORT ROAD EXTENSION, PIN: 730613142778000, DEED REF: 0370-00126
4. MACE ALICE F ETAL EULA N YATES, 325 WEST BEAUFORT ROAD EXTENSION, PIN: 730613143704000, DEED REF: 9999-00992
5. SANDERSON ELISHA W ETUX L/T, 315 WEST BEAUFORT ROAD EXTENSION, PIN: 730613143730000, DEED REF: 1348-448 8/2/2010
6. SANDERSON ELMER GIBBIE, 320 WEST BEAUFORT ROAD EXTENSION, PIN: 730613144860000, DEED REF: 0274-00039
7. SANDERSON ELMER GIBBIE, PIN: 730613145814000, DEED REF: 0379-00226
8. CAROLINA CAY MARITIME FDN INC, 275 WEST BEAUFORT ROAD EXTENSION, PIN: 730613144540000, DEED REF: 1572-152 4/6/2017

EXISTING CONDITIONS LEGEND

SYMBOL	DESCRIPTION
---	ADJOINER
---	BOUNDARY
---	BUILDING
---	CONCRETE
---	CURB LINE
---	EASEMENT
---	EDGE OF PAVEMENT
---	FENCE
---	FORCE MAIN
---	GRAVEL
---	OVERHEAD ELECTRIC
---	PAVEMENT STRIPING
---	RIGHT OF WAY
---	SANITARY SEWER PIPE
---	STORM PIPE
---	DITCH (404 JURISDICTIONAL)
---	DITCH (404 NON-JURISDICTIONAL)
---	WATER MAIN
---	WETLAND
---	COASTAL WETLAND
---	FIRE HYDRANT
---	LIGHT POLE
---	POWER POLE
---	SEWER MANHOLE

CN PROJ #: 10145
SCD ID #: 23-26330-01A
DESIGNER

CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028
CIVIL ENGINEER
WithersRavenel
219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL
NORTH CAROLINA
PROFESSIONAL
SEAL
052479
ENGINEER
R. C. BERGSON
2/6/2024

SUBMITTAL
FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET
OVERALL EXISTING CONDITIONS PLAN

C1.00

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB
CN 10145

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-2633-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

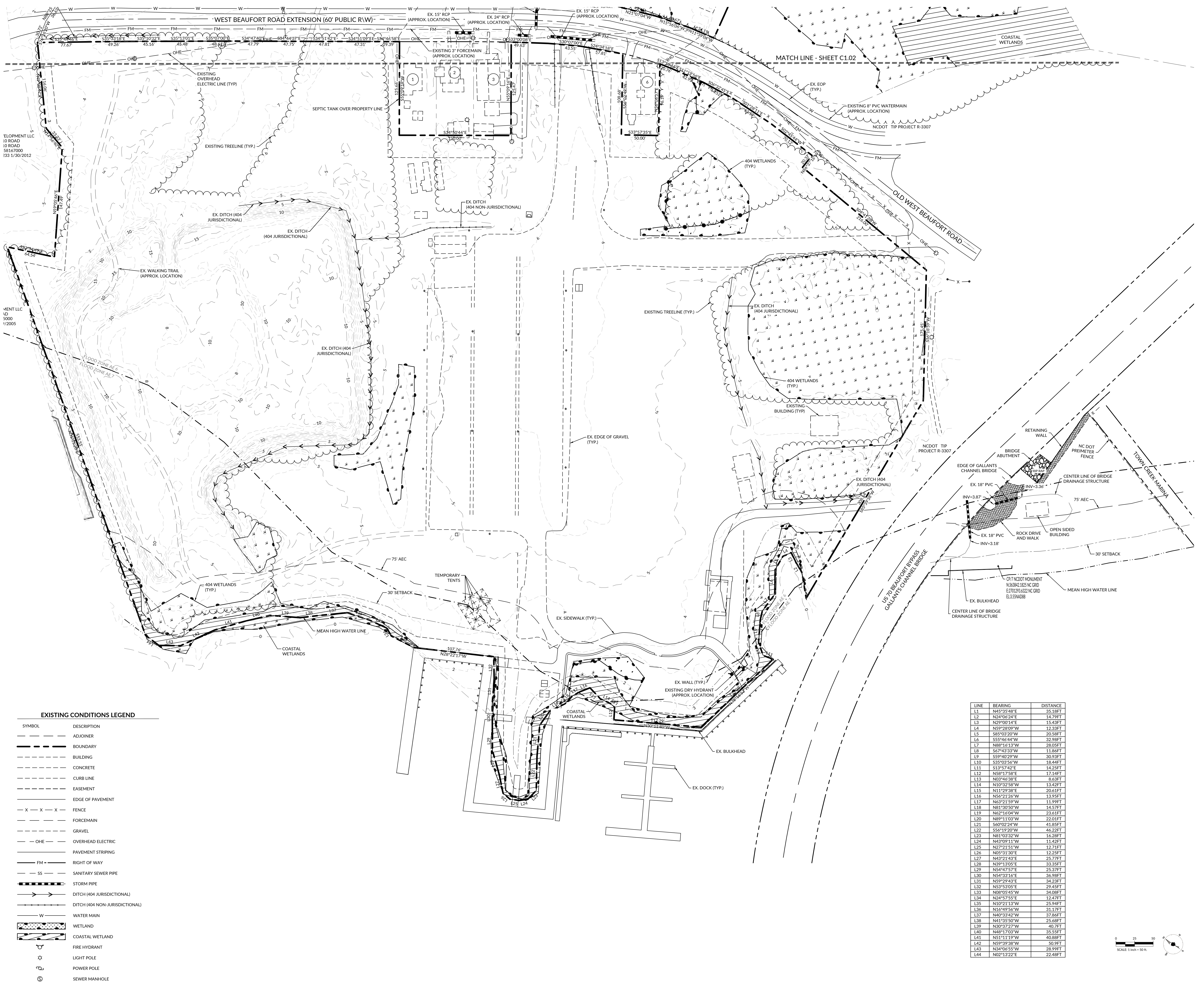
SHEET

EXISTING CONDITIONS PLAN

C1.01

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

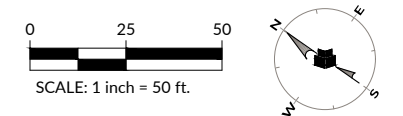
CN 10145



EXISTING CONDITIONS LEGEND

SYMBOL	DESCRIPTION
---	ADJOINER
---	BOUNDARY
---	BUILDING
---	CONCRETE
---	CURB LINE
---	EASEMENT
---	EDGE OF PAVEMENT
-X-X-X-	FENCE
---	FORCEMAIN
---	GRAVEL
---	OVERHEAD ELECTRIC
---	PAVEMENT STRIPING
FM	RIGHT OF WAY
SS	SANITARY SEWER PIPE
---	STORM PIPE
---	DITCH (404 JURISDICTIONAL)
---	DITCH (404 NON-JURISDICTIONAL)
W	WATER MAIN
---	WETLAND
---	COASTAL WETLAND
⊙	FIRE HYDRANT
⊙	LIGHT POLE
⊙	POWER POLE
⊙	SEWER MANHOLE

LINE	BEARING	DISTANCE
L1	N45°35'48"E	35.18FT
L2	N24°06'24"E	14.79FT
L3	N29°00'0"E	15.33FT
L4	N59°28'09"W	12.33FT
L5	S85°03'20"W	20.58FT
L6	S55°46'44"W	32.98FT
L7	N88°16'13"W	28.05FT
L8	S67°43'33"W	11.86FT
L9	S59°02'29"W	30.33FT
L10	S55°05'54"W	18.44FT
L11	S13°57'42"E	14.25FT
L12	N58°17'58"E	17.48FT
L13	N03°46'38"E	8.63FT
L14	N10°32'58"W	13.42FT
L15	N11°02'38"E	20.61FT
L16	N56°21'26"W	13.95FT
L17	N63°21'59"W	11.99FT
L18	N81°50'59"W	14.57FT
L19	N62°16'04"W	23.61FT
L20	N89°11'03"W	22.01FT
L21	S60°02'28"W	41.85FT
L22	S56°19'20"W	46.22FT
L23	N81°03'32"W	16.28FT
L24	N43°09'11"W	11.32FT
L25	N27°21'51"W	12.71FT
L26	N05°31'30"E	12.25FT
L27	N40°21'44"E	25.73FT
L28	N39°13'05"E	33.35FT
L29	N54°47'57"E	25.37FT
L30	N54°03'14"E	36.98FT
L31	N59°29'43"E	34.23FT
L32	N53°33'05"E	29.45FT
L33	N08°05'41"W	34.88FT
L34	N24°57'53"E	12.47FT
L35	N10°21'13"W	25.94FT
L36	N16°44'25"W	31.37FT
L37	N40°33'42"W	37.86FT
L38	N41°35'59"W	25.48FT
L39	N03°02'22"W	40.73FT
L40	N48°17'03"W	35.55FT
L41	N51°11'59"W	40.88FT
L42	N59°09'38"W	50.91FT
L43	N34°06'55"W	28.99FT
L44	N02°13'22"E	22.48FT



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Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-26330-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

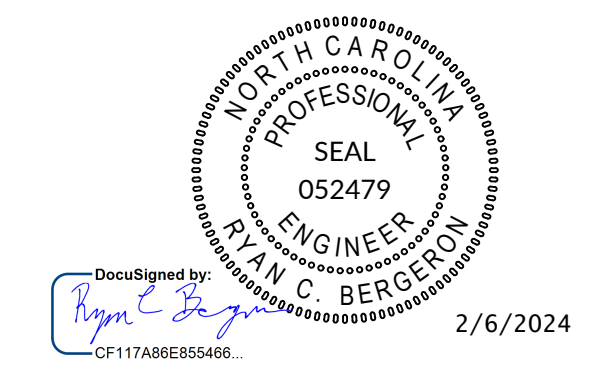
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

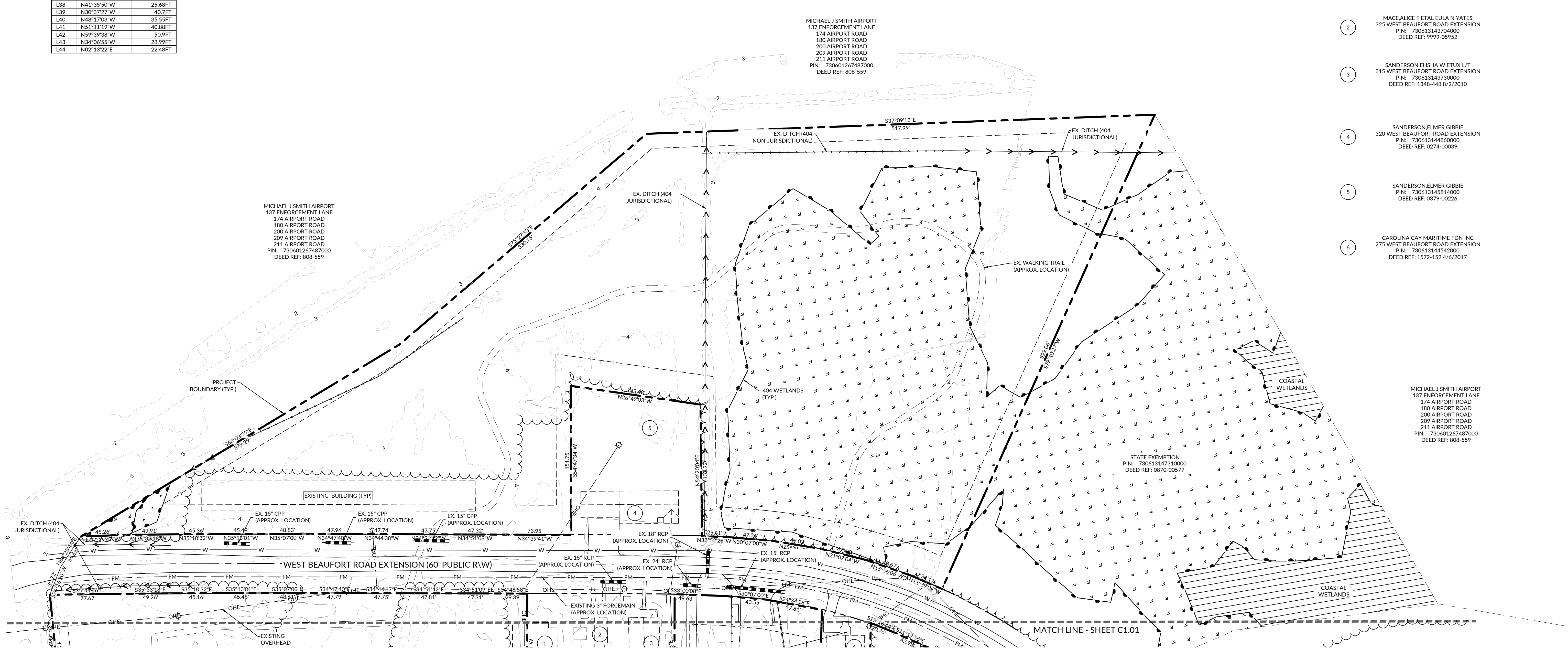
EXISTING CONDITIONS PLAN

C1.02

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

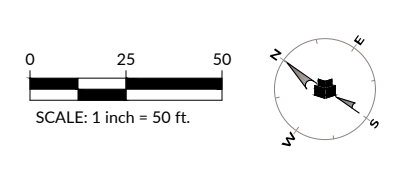
CN 10145

LINE	BEARING	DISTANCE
L1	N45°35'48"E	35.18FT
L2	N24°06'24"E	14.79FT
L3	N29°00'14"E	15.43FT
L4	N59°28'09"W	12.33FT
L5	S85°02'30"W	20.58FT
L6	S55°46'44"W	32.98FT
L7	N88°16'13"W	28.05FT
L8	S62°42'33"W	11.86FT
L9	S59°40'29"W	30.93FT
L10	S35°03'56"W	18.44FT
L11	S13°37'42"E	14.25FT
L12	N58°17'58"E	17.14FT
L13	N05°46'38"E	8.63FT
L14	N10°32'38"W	13.42FT
L15	N11°29'38"E	20.61FT
L16	N56°21'26"W	13.95FT
L17	N62°21'39"W	11.99FT
L18	N81°30'50"W	14.57FT
L19	N62°16'04"W	23.61FT
L20	N89°11'03"W	22.01FT
L21	S40°02'24"W	41.85FT
L22	S56°19'20"W	46.22FT
L23	N81°03'32"W	16.38FT
L24	N43°09'11"W	11.42FT
L25	N27°21'51"W	12.71FT
L26	N05°31'30"E	12.25FT
L27	N43°21'43"E	25.77FT
L28	N39°13'05"E	33.35FT
L29	N54°47'37"E	25.27FT
L30	N54°33'16"E	36.98FT
L31	N59°29'43"E	34.23FT
L32	N53°53'05"E	29.45FT
L33	N08°05'45"W	34.08FT
L34	N24°57'15"E	12.47FT
L35	N10°21'12"W	25.94FT
L36	N16°49'56"W	31.17FT
L37	N40°33'42"W	37.84FT
L38	N41°35'00"W	25.68FT
L39	N30°37'27"W	40.72FT
L40	N48°17'03"W	35.55FT
L41	N51°11'17"W	40.88FT
L42	N59°39'38"W	50.92FT
L43	N34°06'55"W	28.99FT
L44	N02°13'22"E	22.48FT



EXISTING CONDITIONS LEGEND

SYMBOL	DESCRIPTION
---	ADJOINER
---	BOUNDARY
---	BUILDING
---	CONCRETE
---	CURB LINE
---	EASEMENT
---	EDGE OF PAVEMENT
- X - X - X -	FENCE
---	FORCEMAIN
---	GRAVEL
---	OVERHEAD ELECTRIC
---	PAVEMENT STRIPING
FM	RIGHT OF WAY
SS	SANITARY SEWER PIPE
---	STORM PIPE
---	DITCH (404 JURISDICTIONAL)
---	DITCH (404 NON-JURISDICTIONAL)
W	WATER MAIN
---	WETLAND
---	COASTAL WETLAND
---	FIRE HYDRANT
---	LIGHT POLE
---	POWER POLE
---	SEWER MANHOLE



Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 23-26330-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

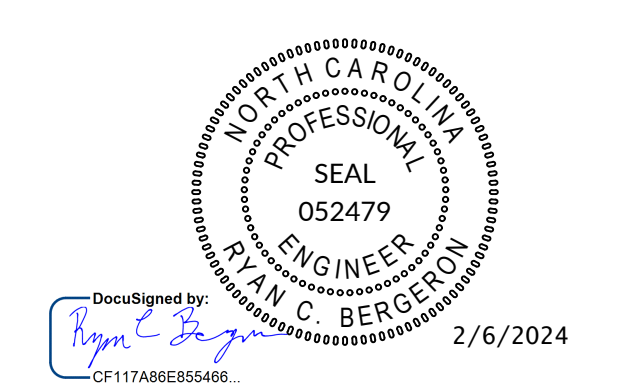
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER ARCHITECT COMMENTS
4	02/05/2024	COMMENTS

KEY PLAN

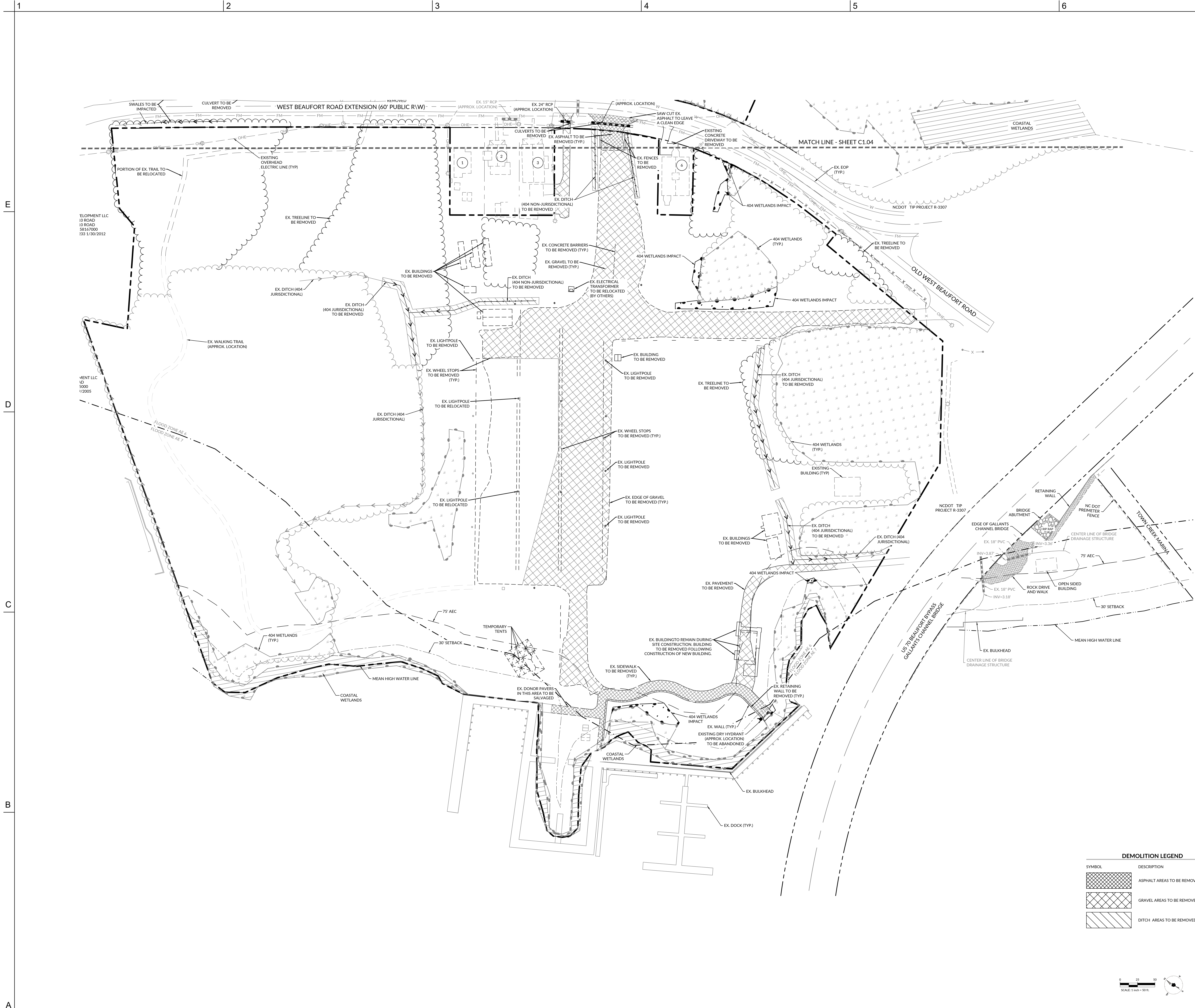
SHEET

DEMOLITION PLAN

C1.03

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145



W:\2022\100222477 - Beaufort Maritime Museum\CD\CD\Drawings\Site\Construction\CD\DEMOLITION.dwg - Title: February 6, 2024 13:26:24 PM - REVISION: 83

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER ARCHITECT COMMENTS
4	02/05/2024	COMMENTS

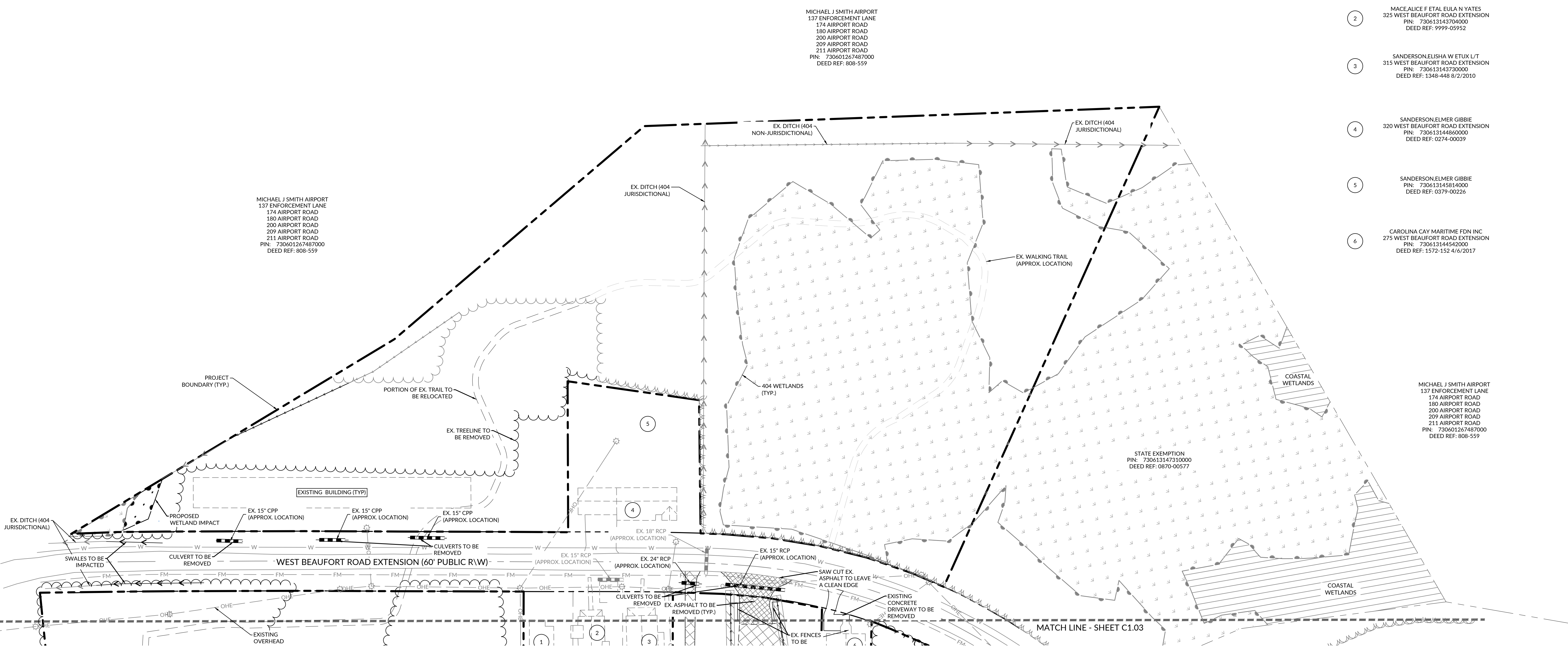
KEY PLAN

SHEET
DEMOLITION PLAN

C1.04

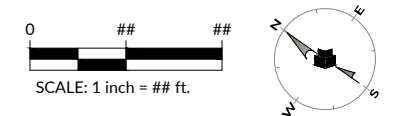
DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

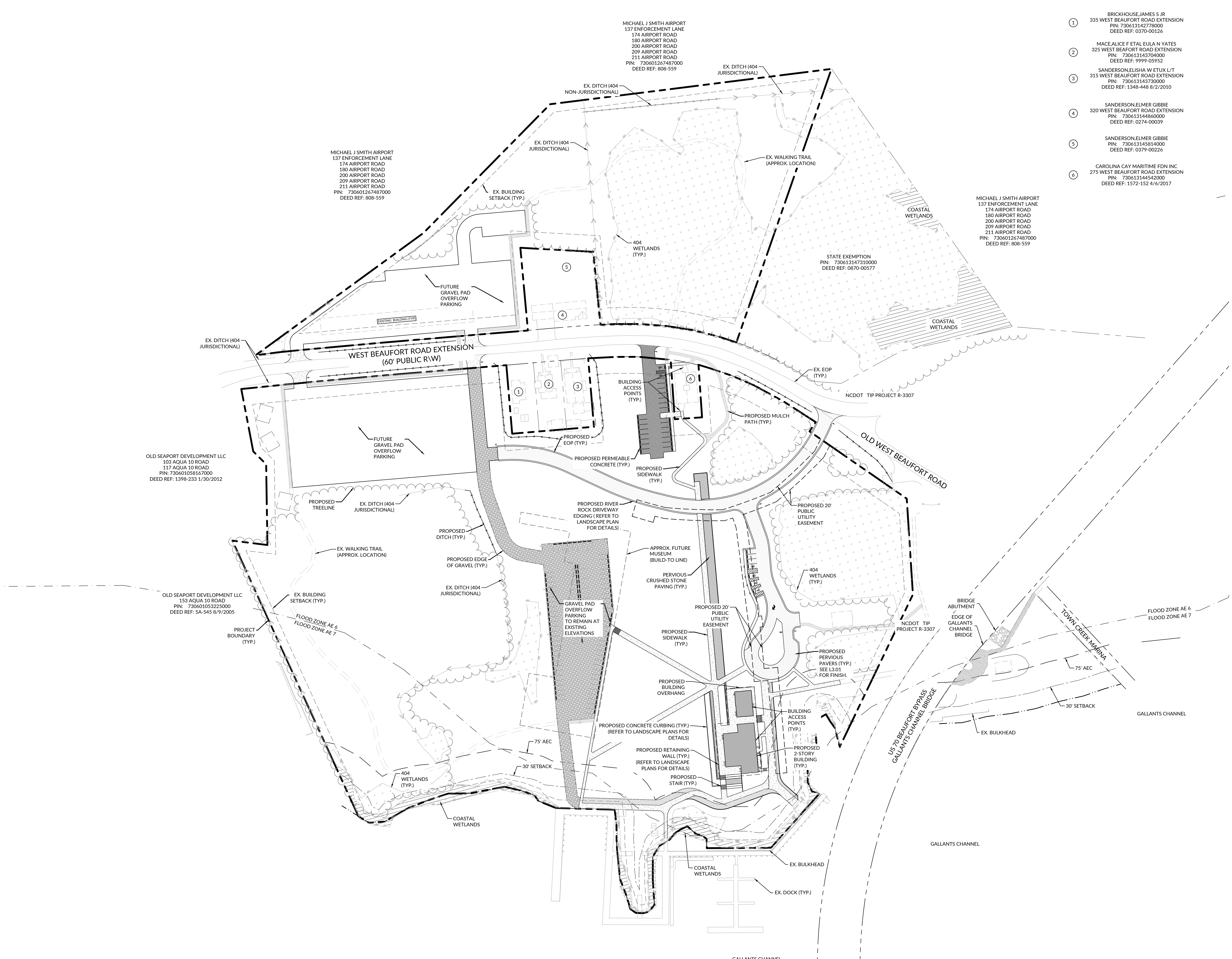
CN 10145



DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	ASPHALT AREAS TO BE REMOVED
	GRAVEL AREAS TO BE REMOVED
	DITCH AREAS TO BE REMOVED





- ① BRICKHOUSE JAMES S JR
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613142778000
DEED REF: 0370-00126
- ② MACEAUCE F ETAL EULA N YATES
325 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143704000
DEED REF: 9999-00992
- ③ SANDERSON ELISHA W ETUX L/T
315 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144523000
DEED REF: 1348-448 8/2/2010
- ④ SANDERSON ELMER GIBBIE
320 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144840000
DEED REF: 0274-00039
- ⑤ SANDERSON ELMER GIBBIE
PIN: 730613145814000
DEED REF: 0379-00226
- ⑥ CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144540000
DEED REF: 1572-152 4/6/2017

2. THE TOWN AS A PART OF THE FINAL THE TOWN OF BEAUFORT RECOMMENDATION ANALYSIS (TIA) BE PERFORMED PRIOR TO FUTURE MUSEUM BUILDING PHASE.
3. ALL PERVIOUS HARDSCAPE SURFACE THE DEVELOPER AND PROPERTY OW BEAUFORT IS NOT RESPONSIBLE FOR PERVIOUS PAVEMENT, ETC.

MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-26530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

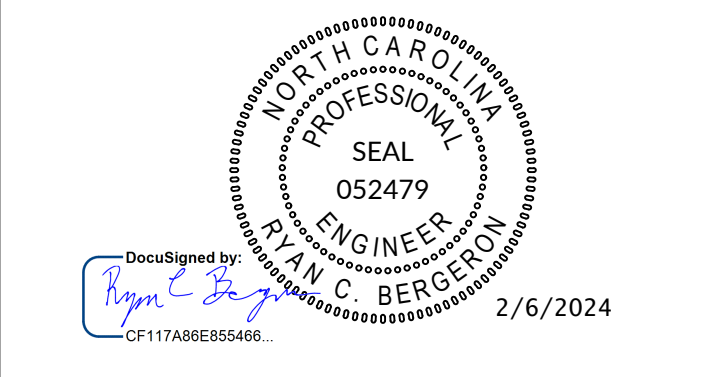
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
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4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

OVERALL SITE PLAN

C2.00

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

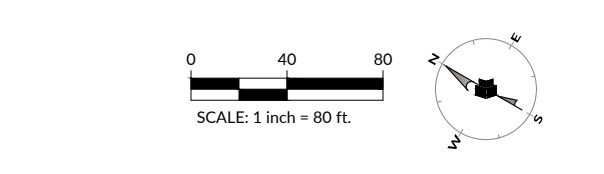
CN 10145

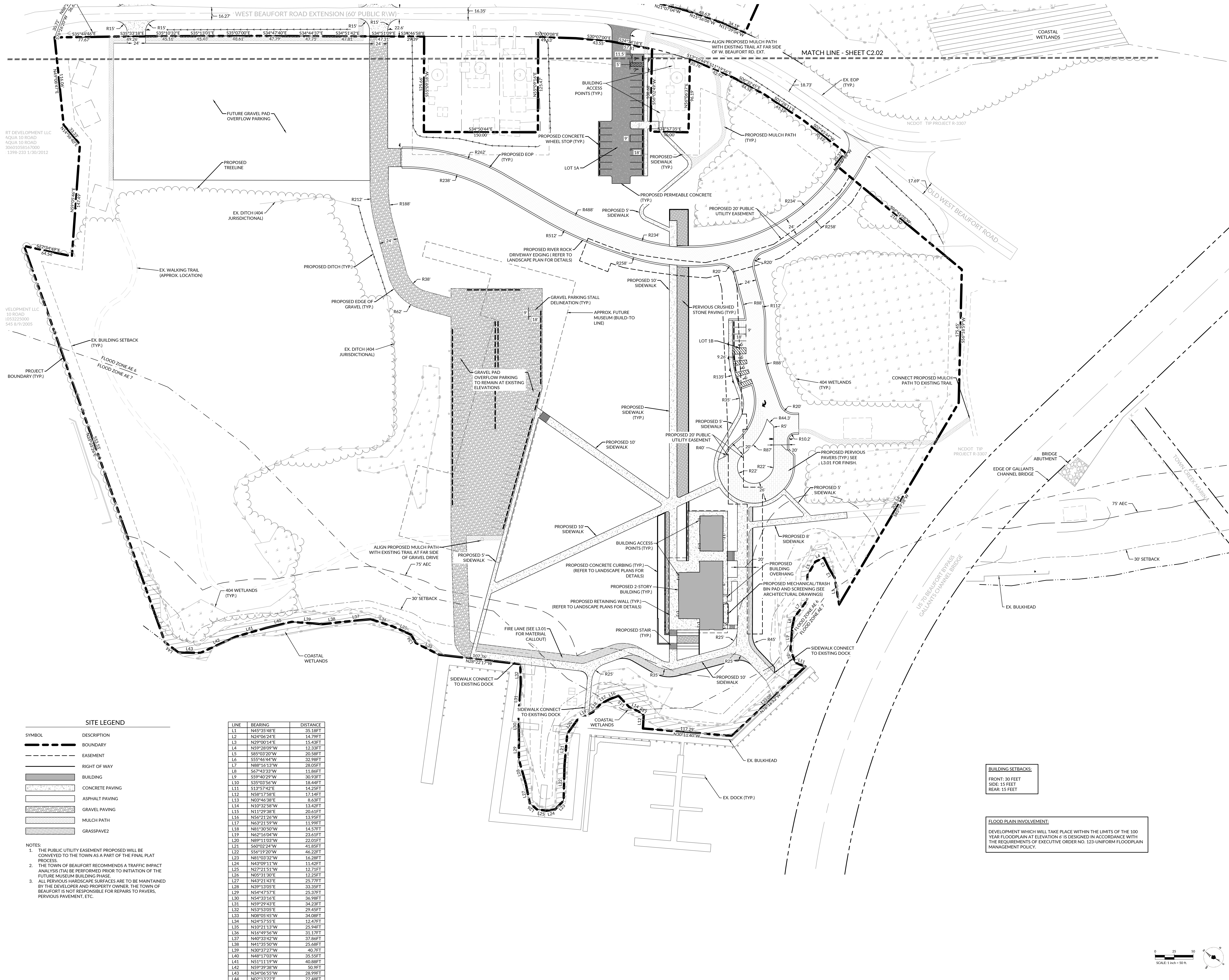
BUILDING SETBACKS:
FRONT: 30 FEET
SIDE: 15 FEET
REAR: 15 FEET

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6 IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.

SITE LEGEND

SYMBOL	DESCRIPTION
---	BOUNDARY
- - - -	EASEMENT
---	RIGHT OF WAY
[Solid Grey]	BUILDING
[Light Grey]	CONCRETE PAVING
[Dark Grey]	ASPHALT PAVING
[Stippled]	GRAVEL PAVING
[Dotted]	MULCH PATH
[Cross-hatched]	GRASSPAVE2





SITE LEGEND

SYMBOL	DESCRIPTION
---	BOUNDARY
- - - -	EASEMENT
---	RIGHT OF WAY
[Solid Grey]	BUILDING
[Diagonal Lines]	CONCRETE PAVING
[Horizontal Lines]	ASPHALT PAVING
[Vertical Lines]	GRAVEL PAVING
[Stippled]	MULCH PATH
[Cross-hatched]	GRASSPAVE2

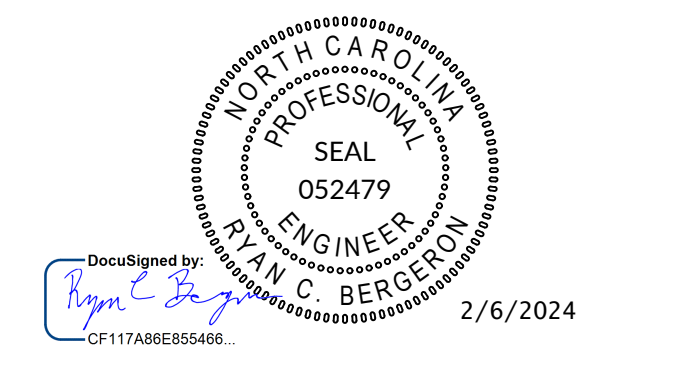
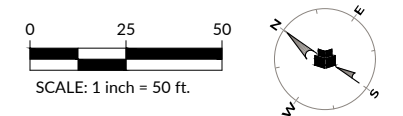
NOTES

1. THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
2. THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
3. ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.

LINE	BEARING	DISTANCE
L1	N45°20'48"E	25.98FT
L2	N24°06'34"E	14.79FT
L3	N29°00'14"E	15.43FT
L4	N59°28'09"W	12.38FT
L5	S85°03'20"W	20.58FT
L6	S55°46'44"W	32.98FT
L7	N88°16'13"W	28.05FT
L8	S67°43'33"W	11.86FT
L9	S59°40'29"W	30.93FT
L10	S59°03'46"W	18.46FT
L11	S13°57'42"E	14.25FT
L12	N58°17'58"E	17.14FT
L13	N03°46'08"E	8.63FT
L14	N10°32'58"W	13.42FT
L15	N11°29'38"E	20.61FT
L16	N56°21'04"W	13.95FT
L17	N63°21'59"W	11.99FT
L18	N81°30'50"W	14.57FT
L19	N62°14'04"W	23.61FT
L20	N89°11'03"W	22.01FT
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L23	N81°03'32"W	16.28FT
L24	N43°09'11"W	11.42FT
L25	N27°21'51"W	12.71FT
L26	N05°51'30"E	12.25FT
L27	N43°21'43"E	25.77FT
L28	N39°13'01"E	33.35FT
L29	N54°47'57"E	25.37FT
L30	N54°33'14"E	36.98FT
L31	N59°29'43"E	34.23FT
L32	N53°53'05"E	29.45FT
L33	N06°05'45"W	34.08FT
L34	N24°57'53"E	12.67FT
L35	N10°21'13"W	25.94FT
L36	N16°49'56"W	31.17FT
L37	N40°33'42"W	37.86FT
L38	N41°35'50"W	25.68FT
L39	N30°37'27"W	40.77FT
L40	N48°17'02"W	35.55FT
L41	N51°11'19"W	40.88FT
L42	N59°39'38"W	50.99FT
L43	N34°06'53"W	28.99FT
L44	N02°13'22"E	22.48FT

BUILDING SETBACKS:
 FRONT: 30 FEET
 SIDE: 15 FEET
 REAR: 15 FEET

FLOOD PLAIN INVOLVEMENT:
 DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.

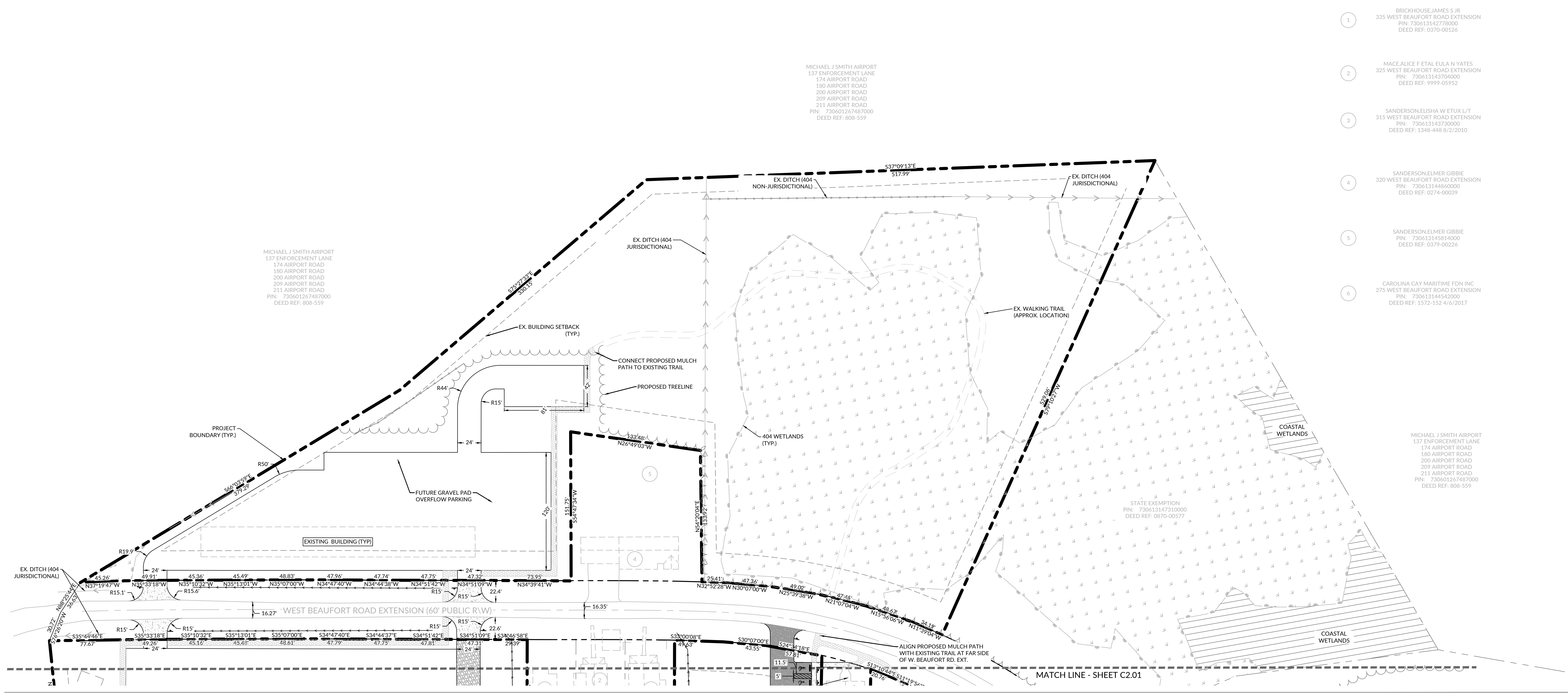


REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

REVISIONS

1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS



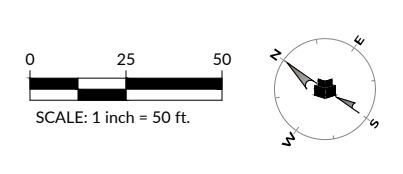
SITE LEGEND

SYMBOL	DESCRIPTION
	BOUNDARY
	EASEMENT
	RIGHT OF WAY
	BUILDING
	CONCRETE PAVING
	ASPHALT PAVING
	GRAVEL PAVING
	MULCH PATH
	GRASSPAVE2

NOTES:
1. THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
2. THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
3. ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.

BUILDING SETBACKS
FRONT: 30 FEET
SIDE: 15 FEET
REAR: 15 FEET

FLOOD PLAIN INVOLVEMENT
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-26330-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

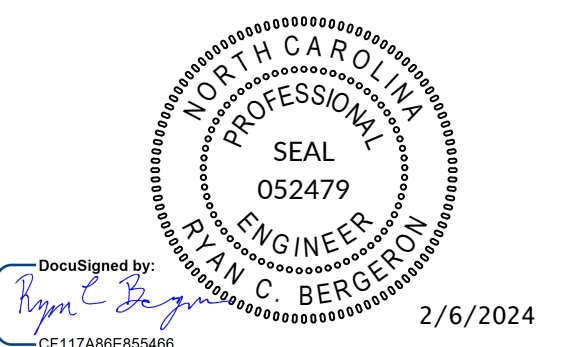
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

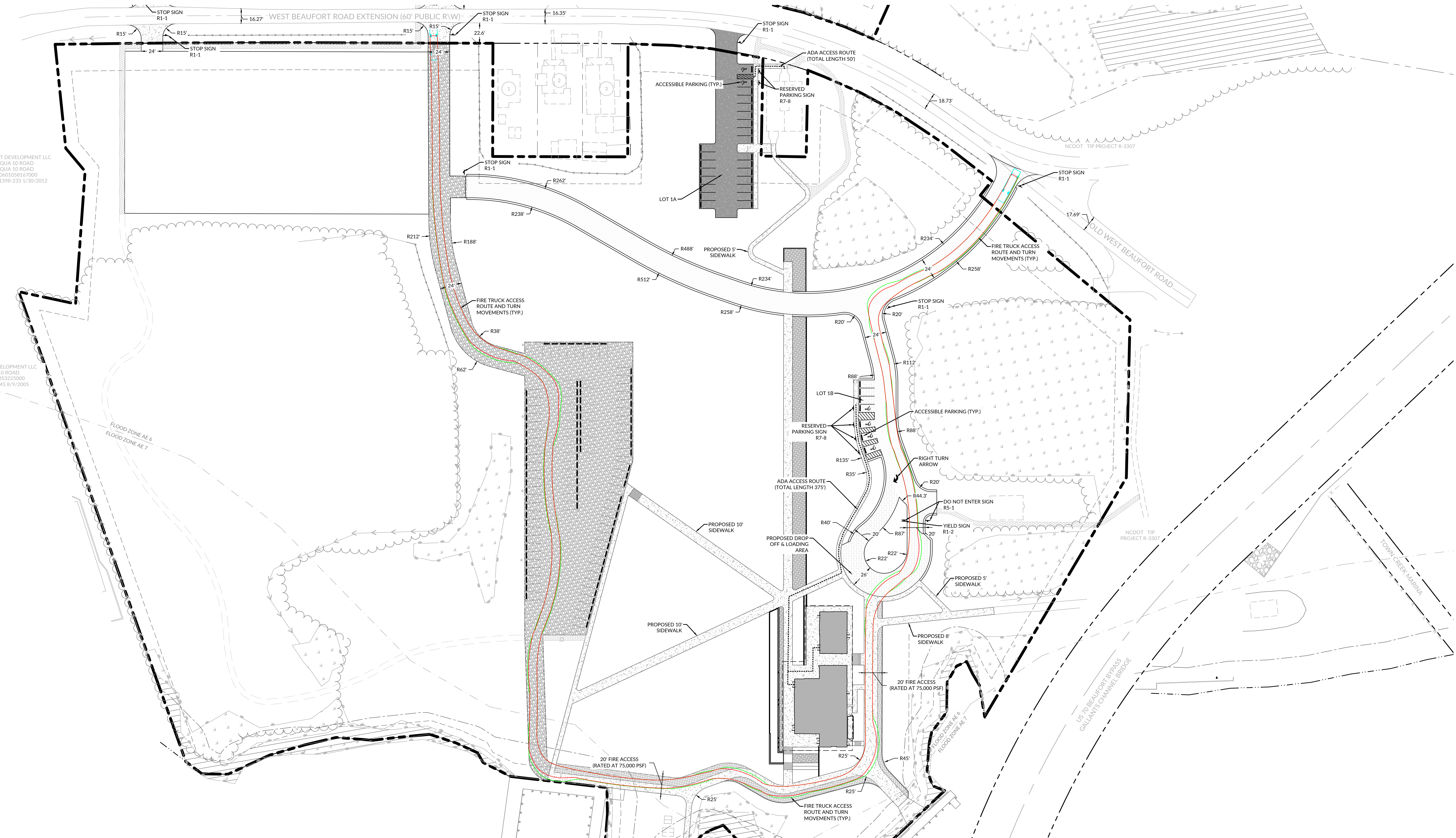
SHEET

SIGNAGE AND ACCESS PLAN

C2.03

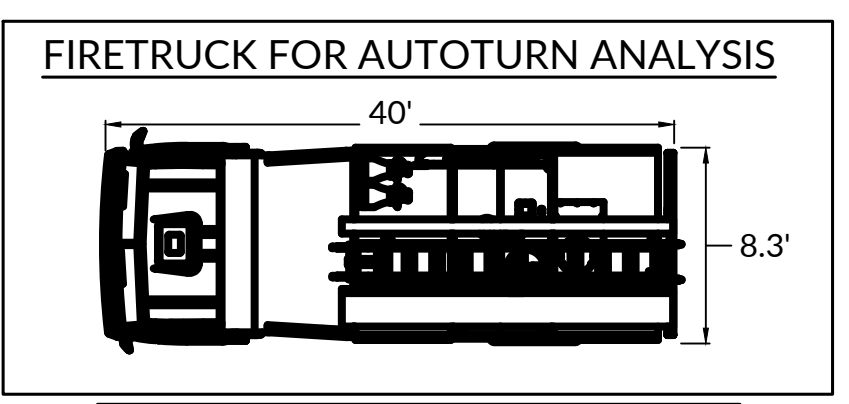
DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145



SITE LEGEND

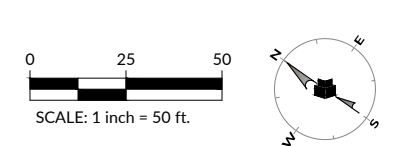
SYMBOL	DESCRIPTION
(Dashed line)	BOUNDARY
(Dotted line)	EASEMENT
(Solid line)	RIGHT OF WAY
(Grey fill)	BUILDING
(Diagonal lines)	CONCRETE PAVING
(Horizontal lines)	ASPHALT PAVING
(Vertical lines)	GRAVEL PAVING
(Stippled fill)	MULCH PATH
(Cross-hatched fill)	GRASSPAVEZ
(Octagon with 'STOP')	STOP SIGN R1-1
(Triangle with 'YIELD')	YIELD SIGN R1-2
(Square with 'P' and wheelchair icon)	RESERVED PARKING SIGN R7-8
(Square with 'DO NOT ENTER')	DO NOT ENTER SIGN R5-1



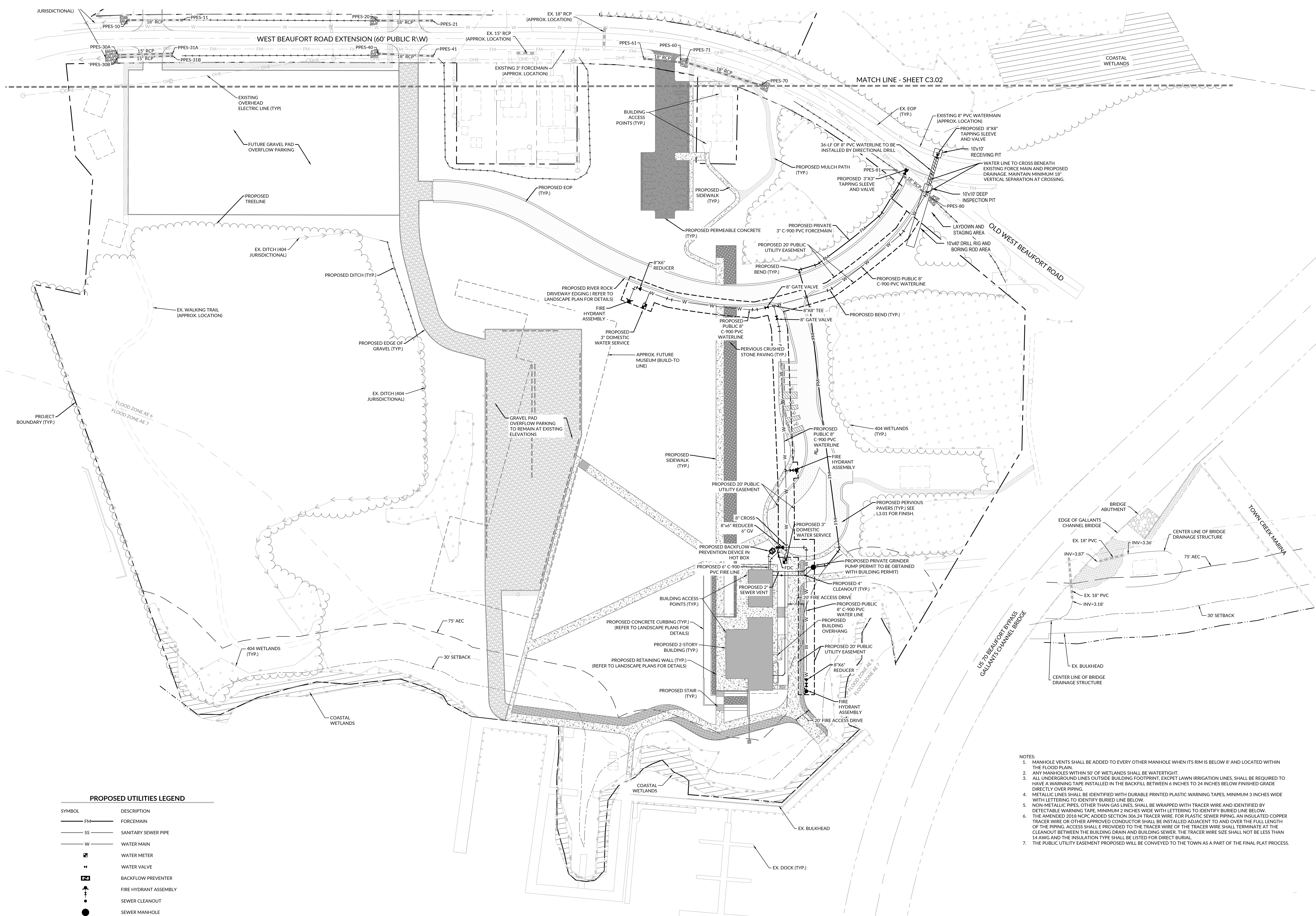
NOTE:
ALL FIRE ACCESS ROUTES ARE TO BE RATED AT 75,000 PSF.

BUILDING SETBACKS:
FRONT: 30 FEET
SIDE: 15 FEET
REAR: 15 FEET

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



W:\2023\1010224171 - Beaufort Maritime Museum (C2.03) (Drawing) - Rev 02/05/2024\C2.03_Signage and Access Plan - February 6, 2024 10:38:33 AM - REVISION 2

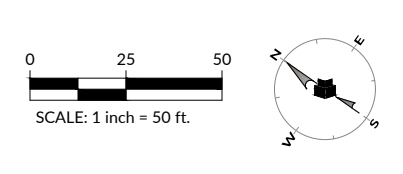


PROPOSED UTILITIES LEGEND

SYMBOL	DESCRIPTION
FM	FORCEMAIN
SS	SANITARY SEWER PIPE
W	WATER MAIN
⊠	WATER METER
⊕	WATER VALVE
⊠	BACKFLOW PREVENTER
⊕	FIRE HYDRANT ASSEMBLY
⊕	SEWER CLEANOUT
●	SEWER MANHOLE

- NOTES:**
1. MANHOLE VENTS SHALL BE ADDED TO EVERY OTHER MANHOLE WHEN ITS RIM IS BELOW 8' AND LOCATED WITHIN THE FLOOD PLAIN.
 2. ANY MANHOLES WITHIN 50' OF WETLANDS SHALL BE WATER-TIGHT.
 3. ALL UNDERGROUND LINES OUTSIDE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6 INCHES TO 24 INCHES BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 4. METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 5. NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE WRAPPED WITH TRACER WIRE AND IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 6. THE AMENDED 2003 NCEC ADDED SECTION 906.24 TRACER WIRE FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OF THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
 7. THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.

FLOOD PLAIN INVOLVEMENT:
 DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
 SCD ID #: 23-2633-01A

DESIGNER

CLARK NEXSEN
 421 NORTH HARRINGTON STREET, SUITE 600
 RALEIGH, NORTH CAROLINA 27603
 919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

219 STATION ROAD, SUITE 101
 WILMINGTON, NORTH CAROLINA 28405
 910-256-9277
 WWW.WITHERSRAVENEL.COM
 WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL
 FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
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4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET
UTILITY PLAN

C3.01

DESIGN: RCB
 DRAWN: TMG
 REVIEW: RCB
 CN 10145

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-26530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

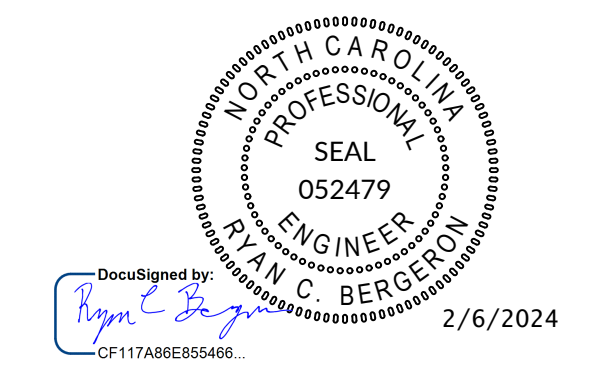
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
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WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

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KEY PLAN

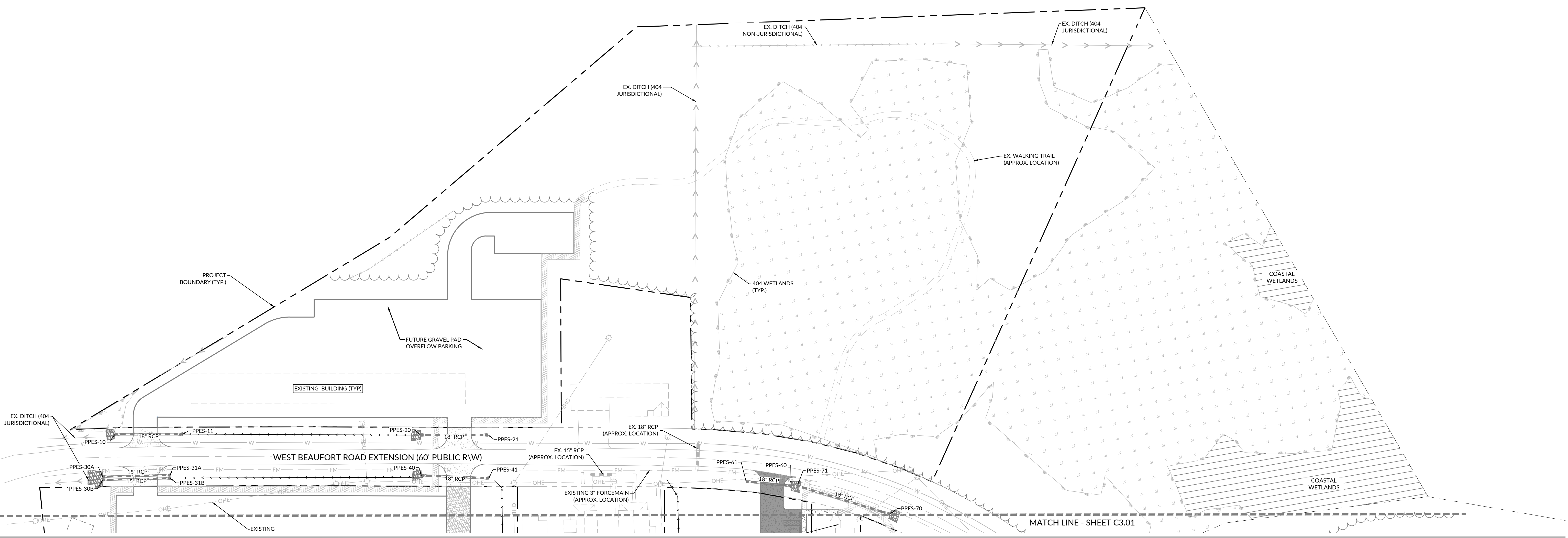
SHEET

UTILITY PLAN

C3.02

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145

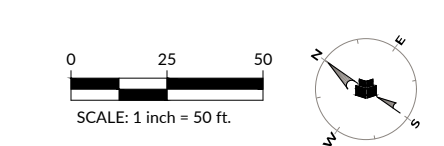


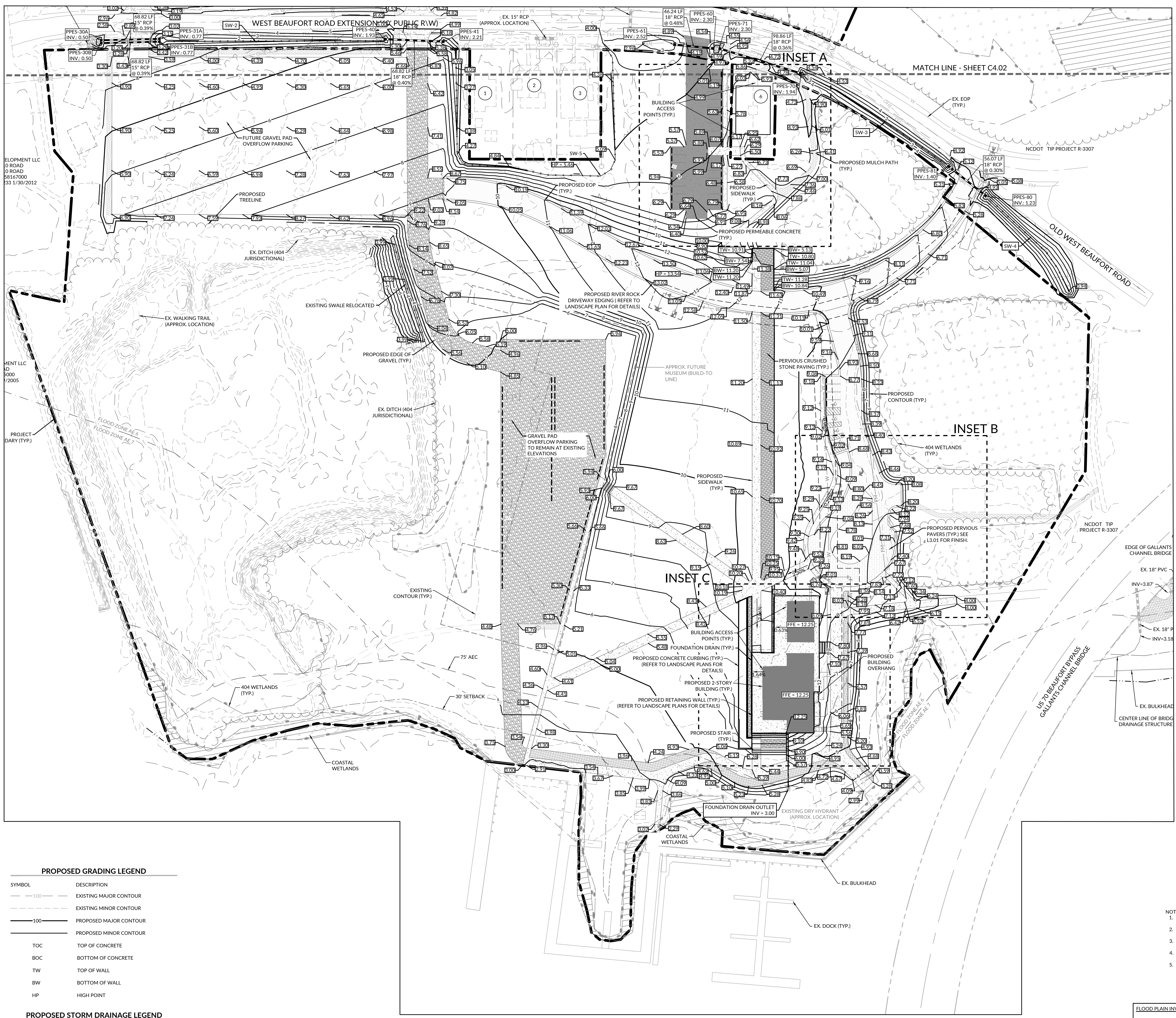
PROPOSED UTILITIES LEGEND

SYMBOL	DESCRIPTION
FM	FORCEMAIN
SS	SANITARY SEWER PIPE
W	WATER MAIN
W	WATER METER
W	WATER VALVE
W	BACKFLOW PREVENTER
W	FIRE HYDRANT ASSEMBLY
W	SEWER CLEANOUT
W	SEWER MANHOLE

- NOTES:**
- MANHOLE VENTS SHALL BE ADDED TO EVERY OTHER MANHOLE WHEN ITS RIM IS BELOW 8' AND LOCATED WITHIN THE FLOOD PLAIN.
 - ANY MANHOLES WITHIN 50' OF WETLANDS SHALL BE WATERTIGHT.
 - ALL UNDERGROUND LINES OUTSIDE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6 INCHES TO 24 INCHES BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 - METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE WRAPPED WITH TRACER WIRE AND IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - THE AMENDED 2018 NCEM ADDED SECTION 306.24 TRACER WIRE FOR PLASTIC SEWER PIPING. AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE. THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
 - THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION # IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.





PROPOSED GRADING LEGEND

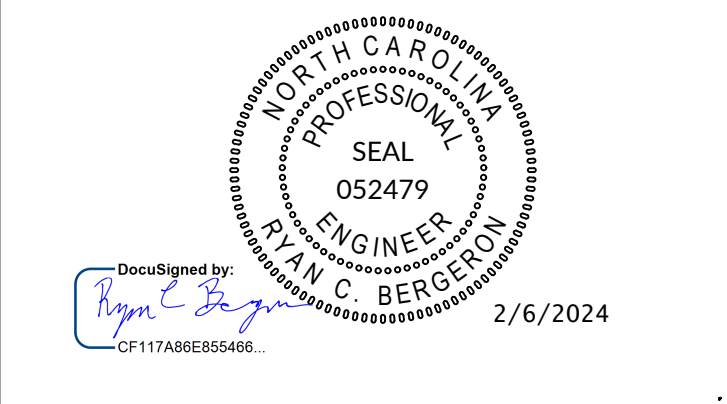
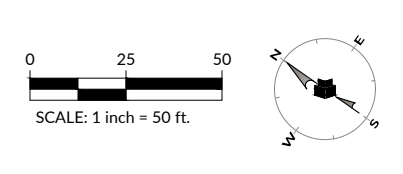
SYMBOL	DESCRIPTION
---100---	EXISTING MAJOR CONTOUR
------	EXISTING MINOR CONTOUR
—100—	PROPOSED MAJOR CONTOUR
— — —	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

PROPOSED STORM DRAINAGE LEGEND

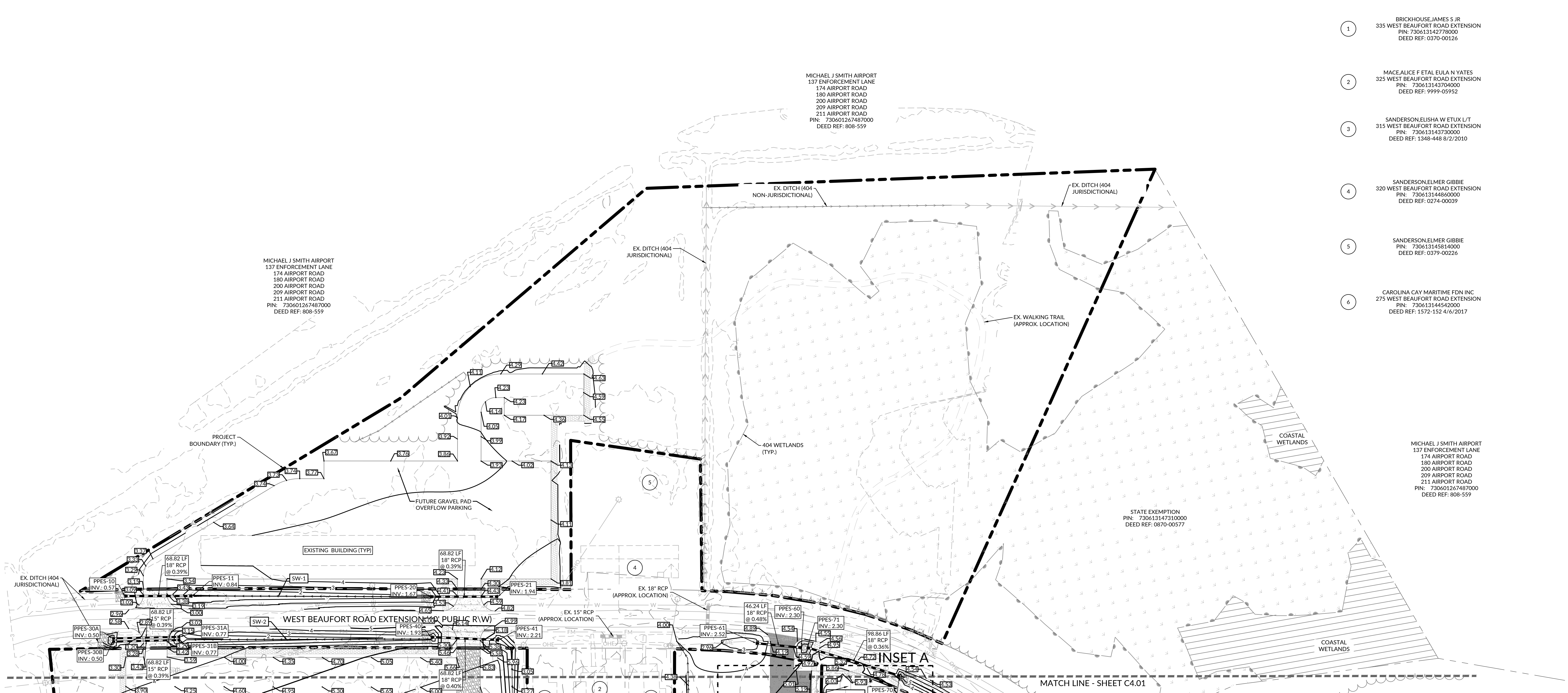
SYMBOL	DESCRIPTION
—	STORM PIPE
▭	FLARED END SECTION (FES)
▭	RIP RAP DISSIPATER

- NOTE:**
1. ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
 2. SEE SHEET C6.01 FOR CHART WITH VELOCITY DISSIPATER DETAILS.
 3. SEE SHEET C6.02 FOR DITCH CROSS SECTION DETAILS.
 4. SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
 5. ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

FLOOD PLAIN INVOLVEMENT:
 DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



NO.	DATE	DESCRIPTION
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2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS



PROPOSED GRADING LEGEND

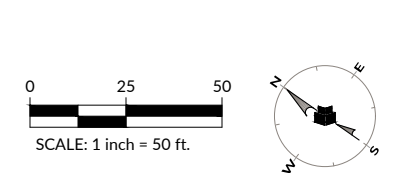
SYMBOL	DESCRIPTION
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

PROPOSED STORM DRAINAGE LEGEND

SYMBOL	DESCRIPTION
---	STORM PIPE
---	FLARED END SECTION (FES)
---	RIP RAP DISSIPATER

- NOTE:**
- ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
 - SEE SHEET C4.01 FOR CHART WITH VELOCITY DISSIPATER DETAILS.
 - SEE SHEET C4.02 FOR DITCH CROSS SECTION DETAILS.
 - SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
 - ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

FLOOD PLAIN INVOLVEMENT:
 DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 4' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



- BRICKHOUSE JAMES S JR
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613142778000
DEED REF: 0370-00126
- MAKELICE F ETAL EULA N YATES
325 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143704000
DEED REF: 9999-00952
- SANDERSON ELSHA W ETUX L/T
315 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143730000
DEED REF: 1348-448 8/2/2010
- SANDERSON ELMER GIBBIE
320 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144680000
DEED REF: 0274-00039
- SANDERSON ELMER GIBBIE
PIN: 730613145814000
DEED REF: 0379-00226
- CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144630000
DEED REF: 1572-152 4/6/2017

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SDD ID #: 23-26330-01A
DESIGNER:

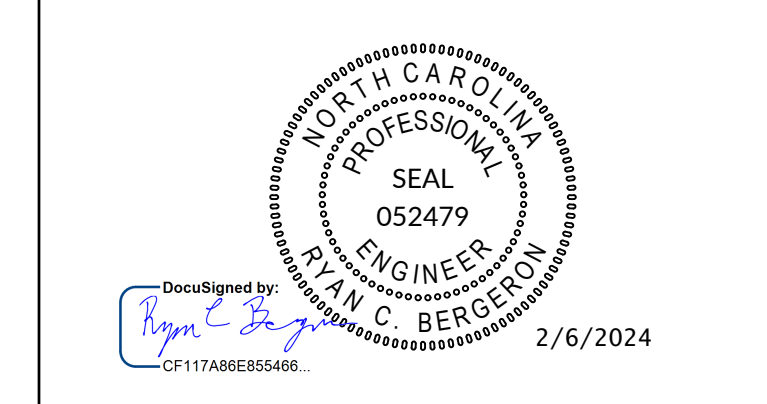
CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER
WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

GRADING & DRAINAGE PLAN

C4.02

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB
CN 10145

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 23-26530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

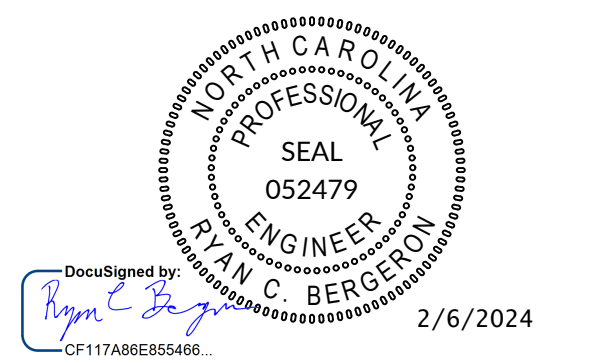
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

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4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

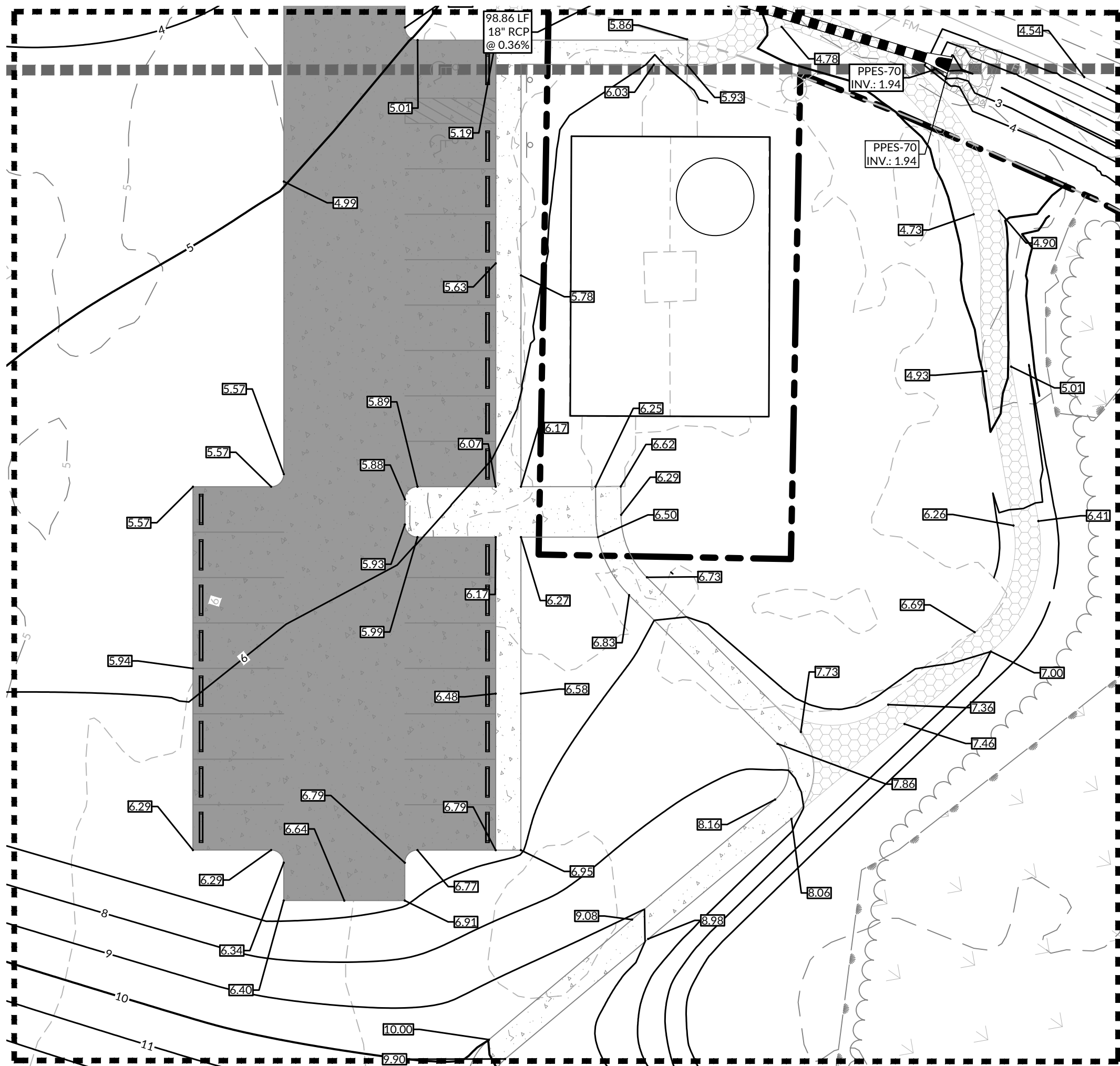
SHEET

GRADING ENLARGEMENT

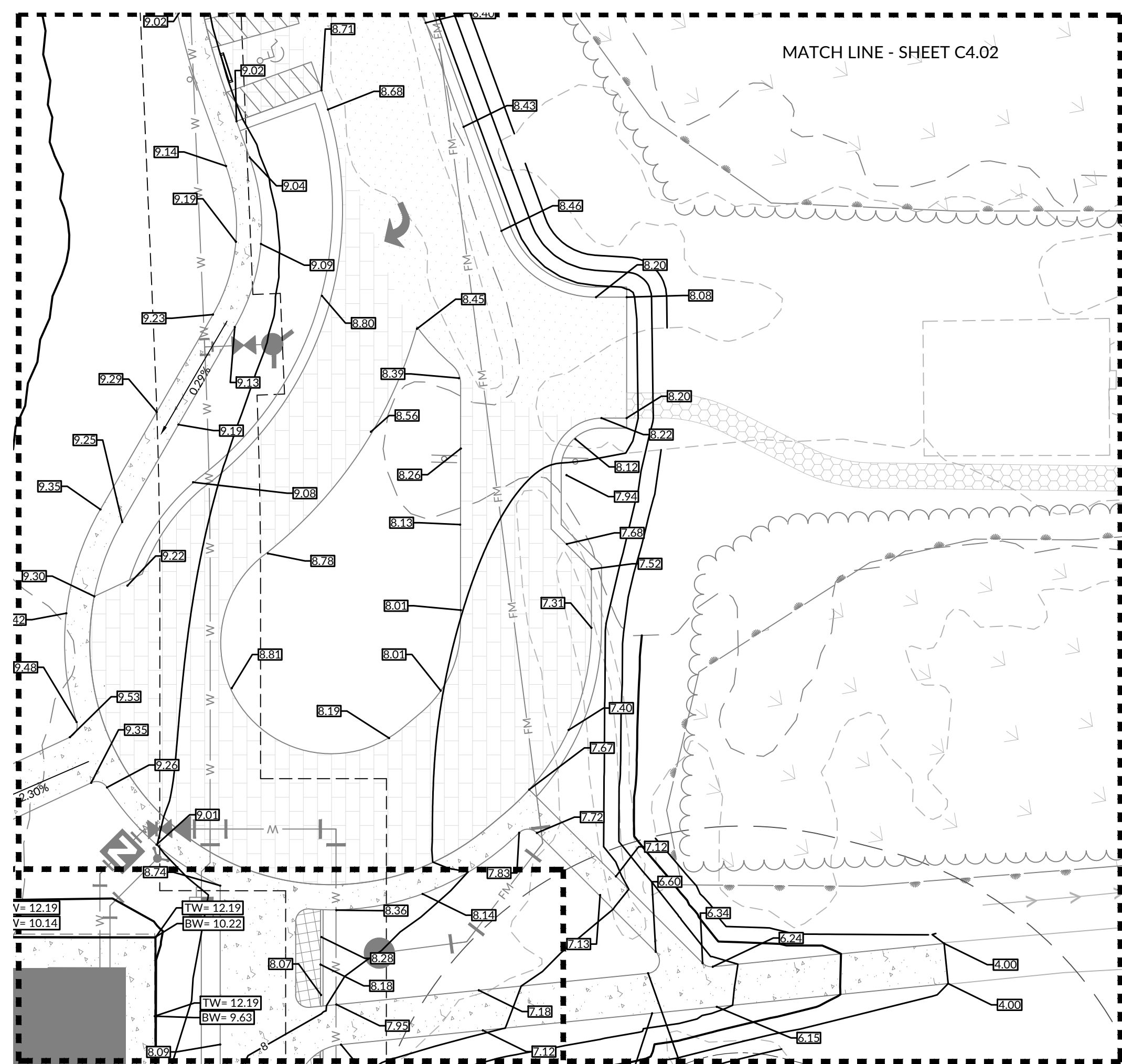
C4.03

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

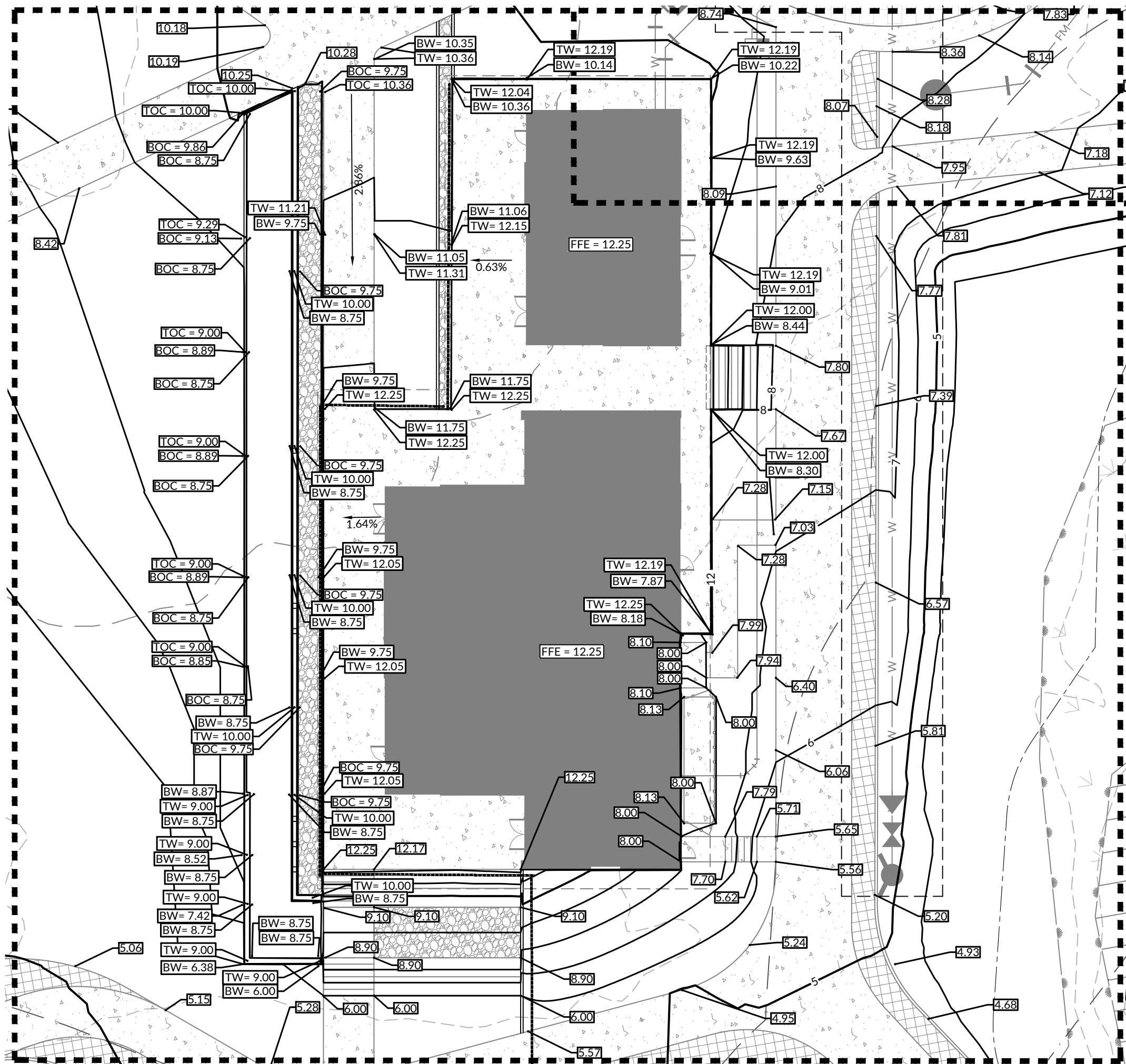
CN 10145



INSET A



INSET B



INSET C

PROPOSED GRADING LEGEND

SYMBOL	DESCRIPTION
---	EXISTING MAJOR CONTOUR
- - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
- - -	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

PROPOSED STORM DRAINAGE LEGEND

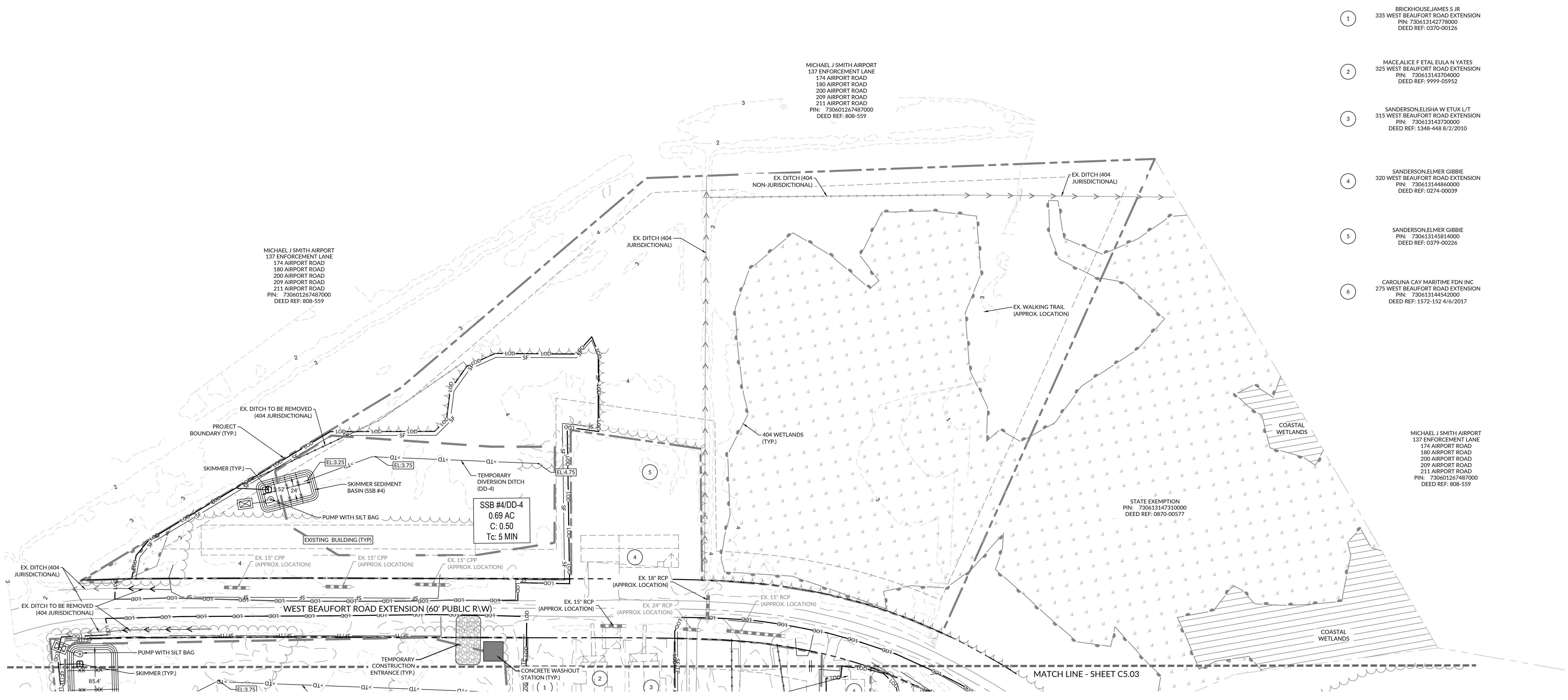
SYMBOL	DESCRIPTION
---	STORM PIPE
▭	FLARED END SECTION (FES)
▭	RIP RAP DISSIPATOR

- NOTE:
- ALL RCP IS TO BE CLASS II UNLESS OTHERWISE NOTED.
 - SEE SHEET C6.03 FOR CHART WITH VELOCITY DISSIPATER DETAILS.
 - SEE SHEET C6.02 FOR DITCH CROSS SECTION DETAILS.
 - SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
 - ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

FLOODPLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.

EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	SILT FENCE
---	SILT/TREE PROTECTION FENCE
---	TEMPORARY DIVERSION DITCH
[Pattern]	TEMPORARY CONSTRUCTION ENTRANCE
[Square]	TEMPORARY CONCRETE WASHOUT



- 1 BRICKHOUSE, JAMES S JR
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613142778000
DEED REF: 0370-00126
- 2 MACE, ALICE F ET AL, EULA N YATES
322 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143704000
DEED REF: 9999-00952
- 3 SANDERSON, ELSHA W ETUX, L/T
315 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143730000
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON, ELMER GIBBIE
320 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144860000
DEED REF: 0274-00039
- 5 SANDERSON, ELMER GIBBIE
PIN: 730613145814000
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613145452000
DEED REF: 1572-152 4/6/2017

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SDD ID #: 23-26330-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

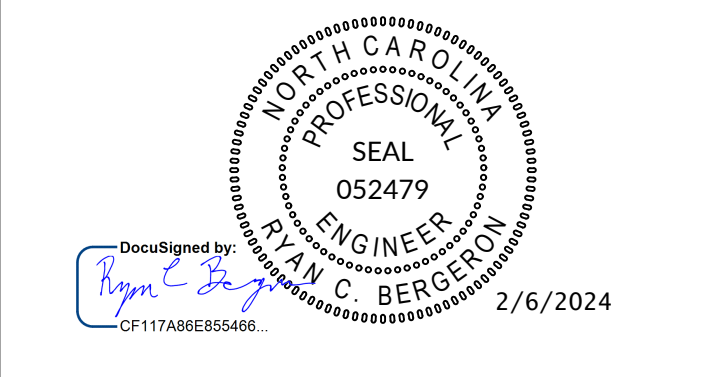
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



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PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
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3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	COMMENTS

KEY PLAN

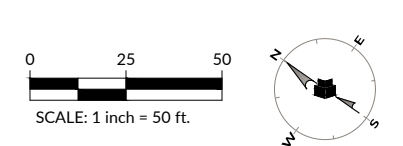
SHEET

EROSION CONTROL PLAN (STAGE 1)

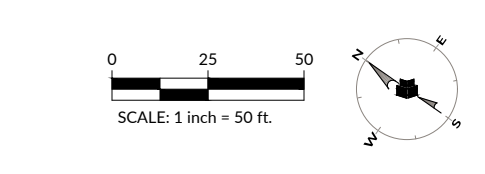
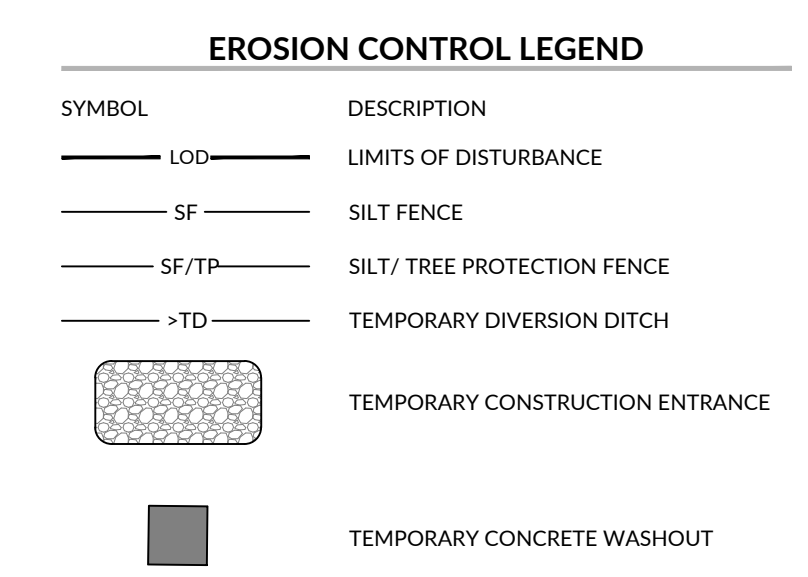
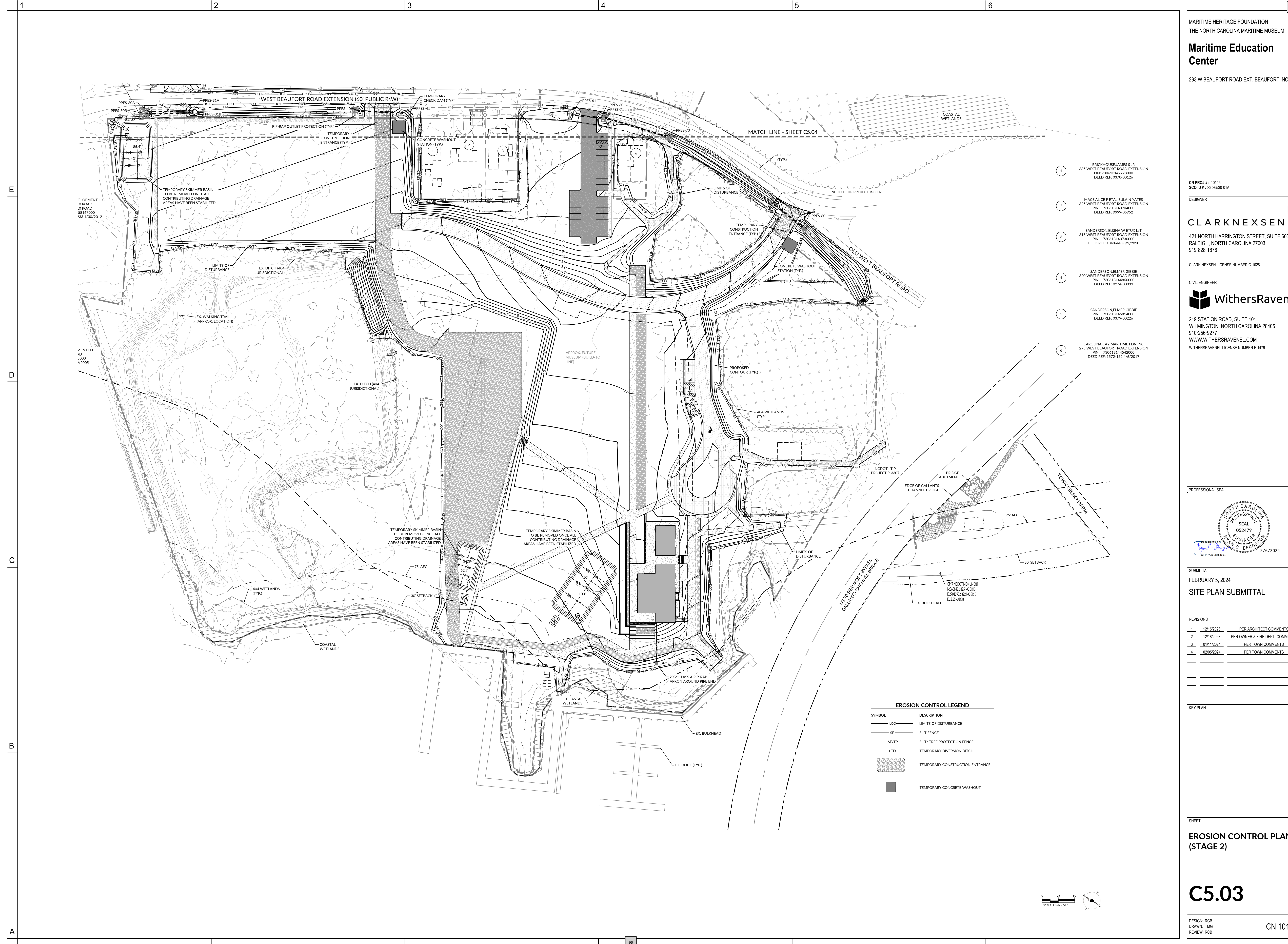
C5.02

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145

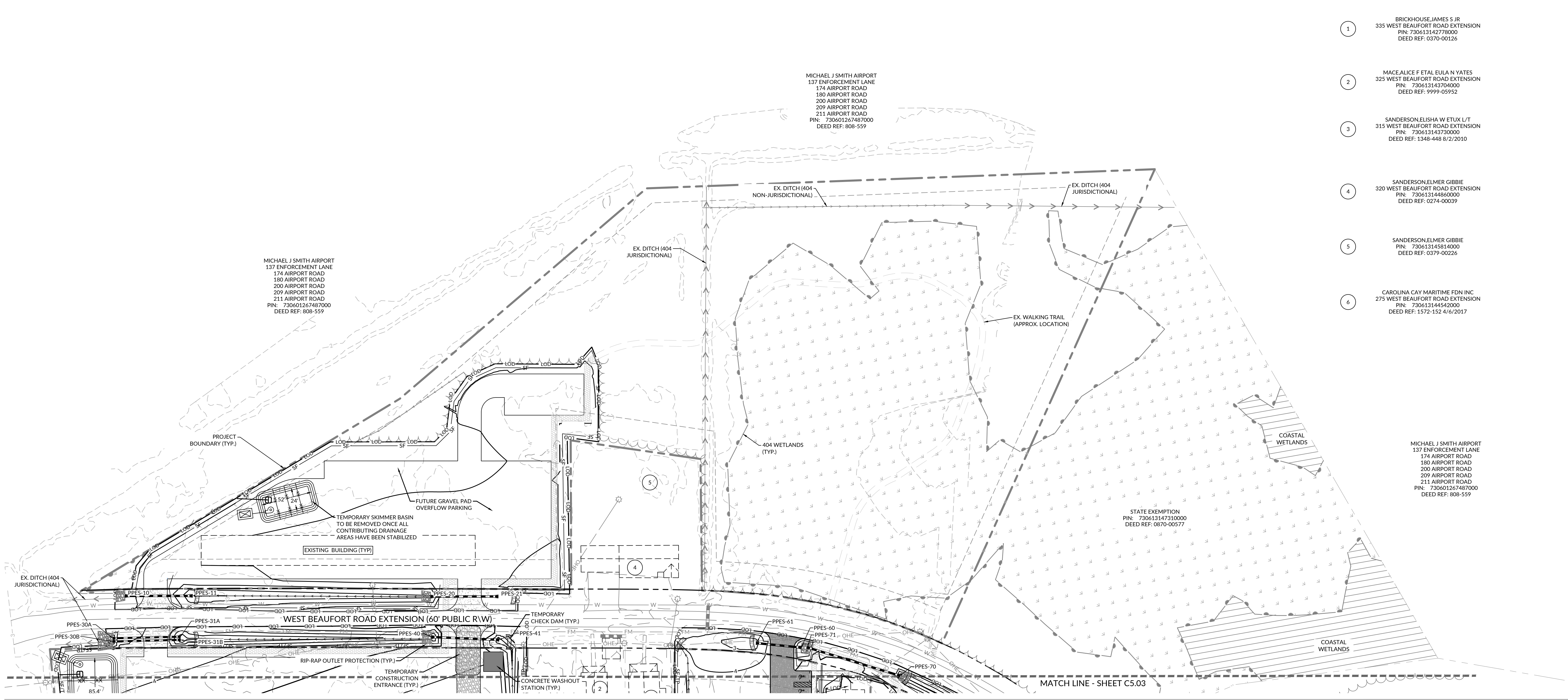


NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS



EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
LOC	LIMITS OF DISTURBANCE
SF	SILT FENCE
SF/TP	SILT / TREE PROTECTION FENCE
TD	TEMPORARY DIVERSION DITCH
	TEMPORARY CONSTRUCTION ENTRANCE
	TEMPORARY CONCRETE WASHOUT



- 1 BRICKHOUSE, JAMES S JR
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613142778000
DEED REF: 0370-00126
- 2 MACEALICE F ETAL, EULA N YATES
325 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143704000
DEED REF: 9999-00952
- 3 SANDERSON, ELSHA W ETUX L/T
315 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143730000
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON, ELMER GIBBIE
320 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144680000
DEED REF: 0274-00039
- 5 SANDERSON, ELMER GIBBIE
PIN: 730613145814000
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613146450000
DEED REF: 1572-152 4/6/2017

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

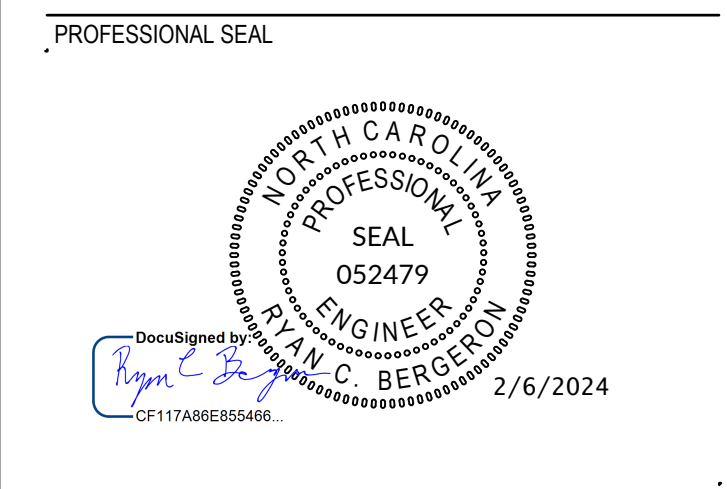
CN PROJ #: 10145
SOD ID #: 23-26330-01A
DESIGNER:

CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER
WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479



SUBMITTAL
FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

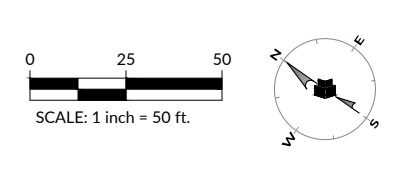
NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

EROSION CONTROL PLAN (STAGE 2)

C5.04

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB
CN 10145





NO.	DATE	REVISION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

Date: _____ Page: _____

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG-01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG-01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	
	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(A) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(B) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10 feet or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(d) Slopes 3:1 to 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
Temporary grass seed covered with straw or other mulches and tackifiers.	Perennial mulches and tackifiers
Hydroseeding	Geotextile fabrics such as permanent soil reinforcement matting
Roll-on erosion control products with or without temporary grass seed	Strikes or other permanent plantings covered with mulch
Appropriately applied straw or other mulch	Uniform and evenly distributed ground cover sufficient to restrain erosion
Plastic sheathing	Structural methods such as concrete, asphalt or retaining walls
	Roll-on erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the site being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-water cover and surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint warehouses at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad 10 feet from the building.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

ON-SITE CONCRETE WASHOUT STRUCTURE WITH LINER

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this sheet.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. As a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify the location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

NCG-01 GROUND COVER & MATERIALS HANDLING

Date: _____ Page: _____

**PART II SECTION G ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be determined by the permittee. Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The EASC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the EASC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (3) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those untested days (this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "0". The permittee may use another rain-monitoring device approved by the Division.
(2) EASC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	1. Identification of the measures inspected 2. Date and Time of the inspection 3. Name of the person performing the inspection 4. Indication of whether the measures were operating properly 5. Description of maintenance needs for the measure 6. Description, Evidence, and date of corrective actions taken
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	1. Identification of the discharge outfalls inspected 2. Date and Time of the inspection 3. Name of the person performing the inspection 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration 5. Indication of visible sediment leaving the site 6. Description, Evidence, and date corrective actions taken
(4) Perimeter of Site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	If visible sedimentation is found outside site limits, then record the following shall be made: 1. Action taken to clean up or stabilize sediment that has left the site limits 2. Description, Evidence and date of corrective actions taken 3. An explanation as to the actions taken to control future releases
(5) Streams or wetlands onsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	If the stream or wetland has increased visible sedimentation or has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, Evidence and date of corrective actions taken 2. Records of required reports to the appropriate Division Regional Office per Part III, Section C, Item(2)(a) of the permit
(6) Ground Stabilization Measures	After each phase of grading	1. The phase of grading (installation of permanent EASC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided (the required time frame or assurance that they will be provided as soon as possible).

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

SECTION B: RECORDKEEPING

1. EASC Plan Documentation
The approved EASC plan as well as any approved deviation shall be kept on the site. The approved EASC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EASC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Document Requirements
(a) Each EASC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EASC plan.	Initial and date each EASC measure on a copy of the approved EASC plan or complete, date and sign an inspection report that lists each EASC measure shown on the approved EASC plan. This documentation is required upon the initial installation of the EASC measures as modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EASC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EASC plan.	Initial and date a copy of the approved EASC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all EASC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EASC measures.	Initial and date a copy of the approved EASC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
In addition to the EASC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained For Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

SECTION C: SELF-INSPECTION, RECORDKEEPING AND REPORTING

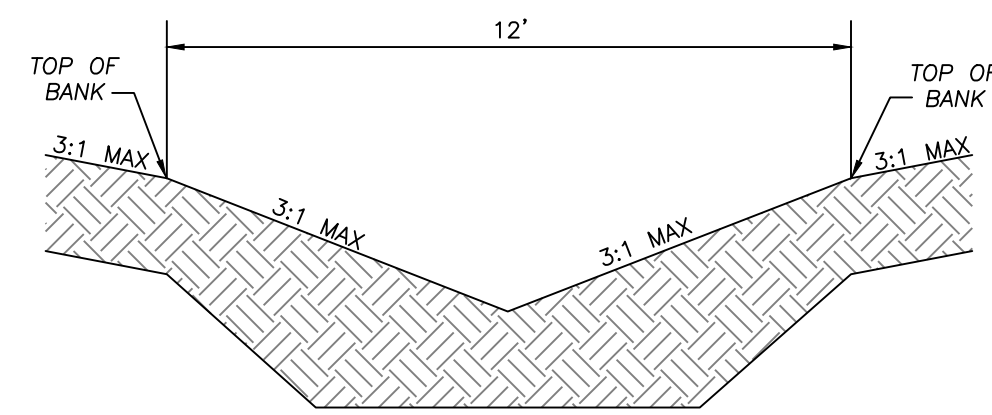
1. Occurrences that Must be Reported
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.65.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

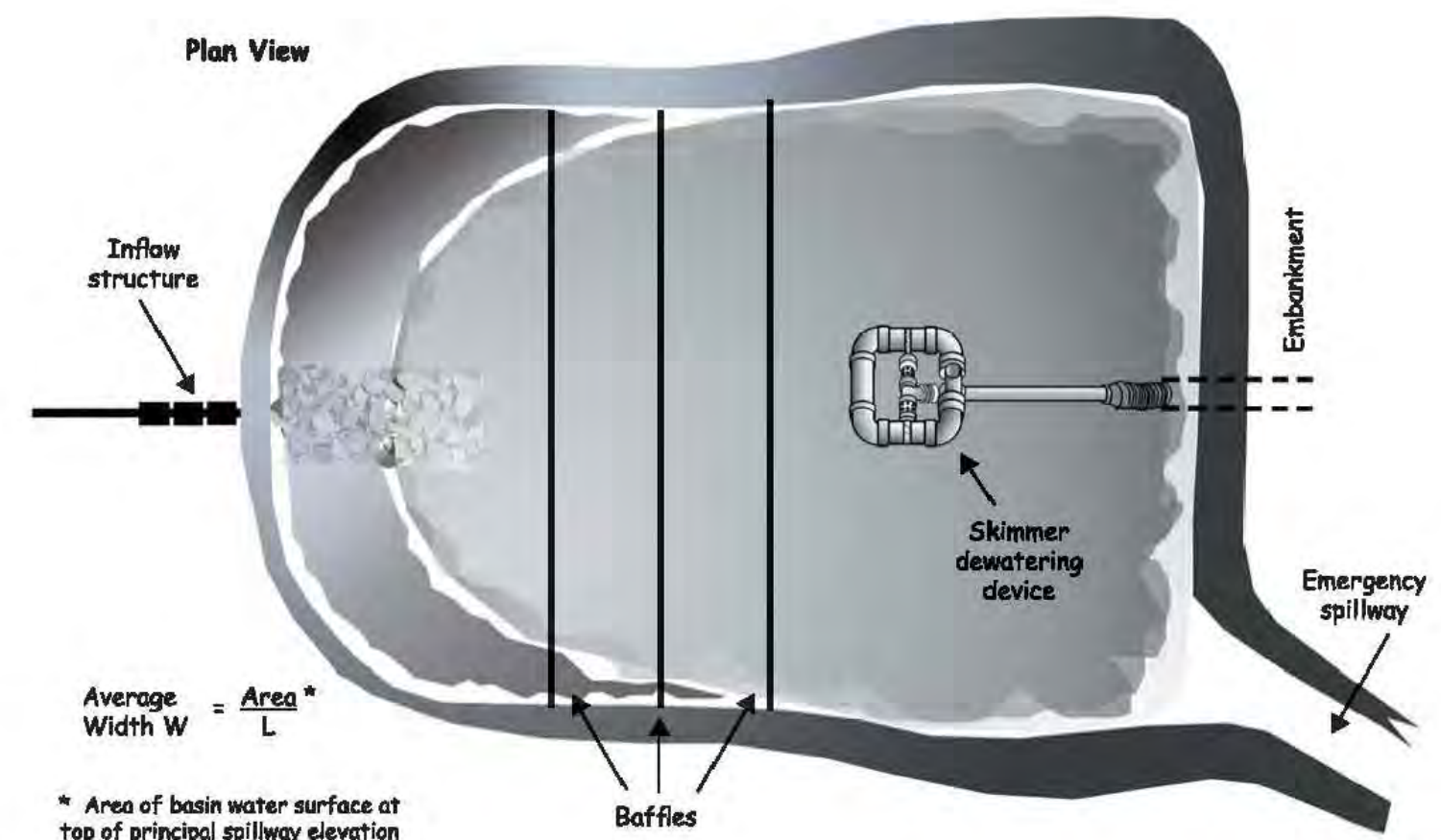
Occurrence	Reporting Timeframe (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	• Within 24 hours, an oral or electronic notification. • Within 7 Calendar Days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and releases of hazardous substances per item 1(b)(1)-(3) above	• Within 24 Hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	• Within 24 Hours, an oral or electronic notification • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(k)(7)]	• Within 24 Hours, an oral or electronic notification • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

NCG-01 SELF INSPECTION



12' TRIANGULAR SWALE CROSS SECTION DETAIL
NOT TO SCALE

PERMANENT SWALE INFORMATION													
CHANNEL I.D.	DRAINAGE AREA (AC)	WEIGHTED 'C' COEFFICIENT	CHANNEL FLOW (CFS)	CHANNEL SLOPE (%)	CHANNEL FLOW DEPTH (FT)	CHANNEL MINIMUM DEPTH (FT)	CHANNEL BOTTOM WIDTH (FT)	CHANNEL SIDE SLOPES	CHANNEL VELOCITY (FPS)	ALLOWABLE VELOCITY (FPS)	CHANNEL SHEAR STRESS (PSF)	ALLOWABLE SHEAR STRESS (PSF)	DITCH LINING
SW-1	0.48	0.62	2.53	1.00	0.72	1.22	0.00	3:1	1.32	8.00	0.45	2.10	NAG SC150BN OR EQUAL
SW-2	1.53	0.85	11.00	1.00	0.59	1.09	0.00	3:1	8.18	10.00	0.37	2.25	NAG C125BN OR EQUAL
SW-3	0.45	0.43	1.66	1.00	0.65	1.15	0.00	3:1	1.03	5.00	0.41	1.60	NAG S75BN OR EQUAL
SW-4	0.96	0.27	2.20	1.00	0.67	1.17	0.00	3:1	1.31	5.00	0.42	1.60	NAG S75BN OR EQUAL
SW-5	1.16	0.53	5.25	0.79	0.50	1.00	0.00	3:1	7.10	8.00	0.24	2.10	NAG SC150BN OR EQUAL



SKIMMER BASIN MAINTENANCE:

INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.

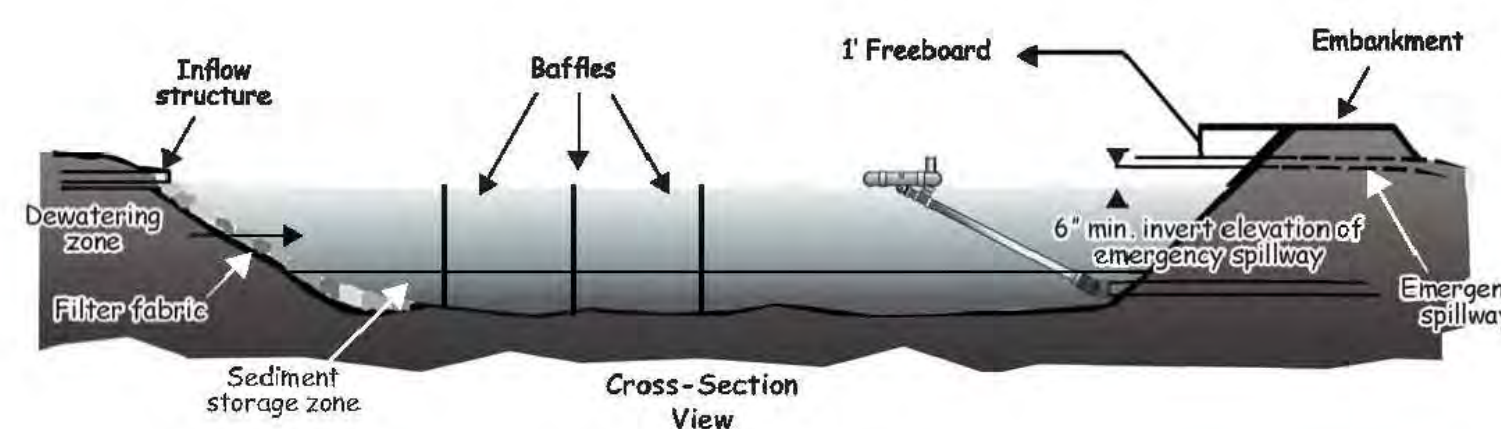
REPAIR THE BAFFLES IF THEY ARE DAMAGED. RE-ANCHOR THE BAFFLES IF WATER IS FLOWING UNDERNEATH OR AROUND THEM.

IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.

IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.

CHECK THE FABRIC LINED SPILLWAY FOR DAMAGE AND MAKE ANY REQUIRED REPAIRS WITH FABRIC THAT SPANS THE FULL WIDTH OF THE SPILLWAY. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE SKIMMER AND POOL AREAS.

FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

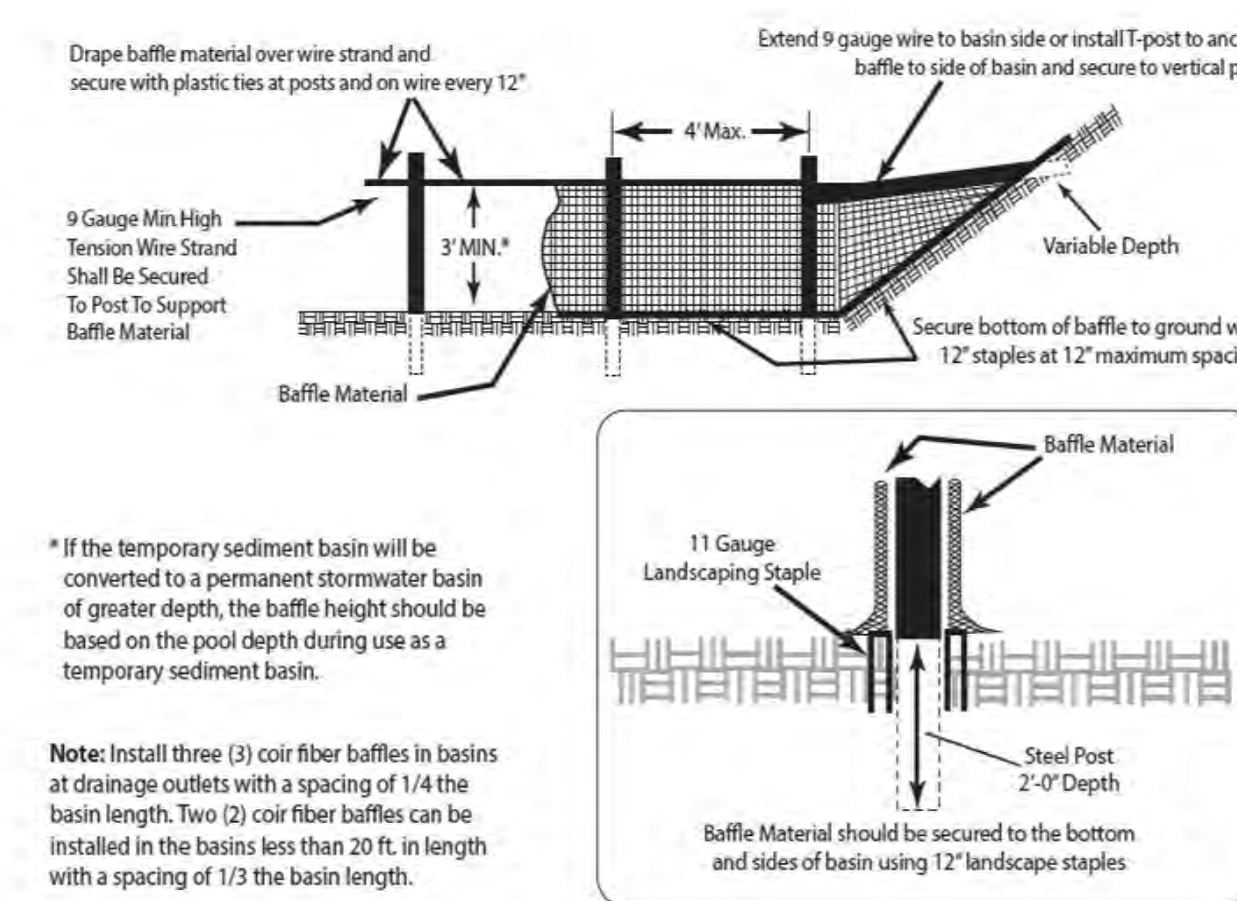


SKIMMER BASIN DETAIL
NTS

TEMPORARY SKIMMER BASIN AND ORIFICE DESIGN SUMMARY																
BASIN	TYPE	DRAINAGE AREA (AC)	DISTURBED AREA (AC)	C VALUE	PEAK FLOW (CFS)	DEPTH (FT)	LENGTH (FT)	WIDTH (FT)	WEIR LENGTH (FT)	VOLUME REQUIRED (CF)	VOLUME PROVIDED (CF)	SURFACE AREA REQUIRED (SF)	SURFACE AREA PROVIDED (SF)	SKIMMER SIZE (IN)	ORIFICE SIZE (IN)	Dewatering Time (DAYS)
SSB #1	SKIMMER	2.92	2.32	0.44	10.87	4.0	100.0	50.0	10	4,176	9,928	4,727	5,547	2.5	1.75	3.07
SSB #2	SKIMMER	2.28	2.00	0.41	7.98	4.5	62.7	34.3	8	3,600	5,675	3,473	5,250	2.0	1.5	2.67
SSB #3	SKIMMER	1.15	0.42	0.50	4.88	4.0	85.4	43.0	5	756	4,309	2,124	2,542	1.5	1.5	2.34
SSB #4	SKIMMER	0.69	0.69	0.50	2.93	4.3	52.0	24.0	3	1,242	3,074	1,274	1,712	1.5	1	3.76

NOTES:

- ALL SIDE SLOPES OF THE SKIMMER BASIN ARE TO BE AT 3:1 GRADE AND SHALL BE STABILIZED WITHIN 7 DAYS.
- SEE EROSION CONTROL DETAILS FOR MORE INFORMATION.



MAINTENANCE

INSPECT BAFFLES AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

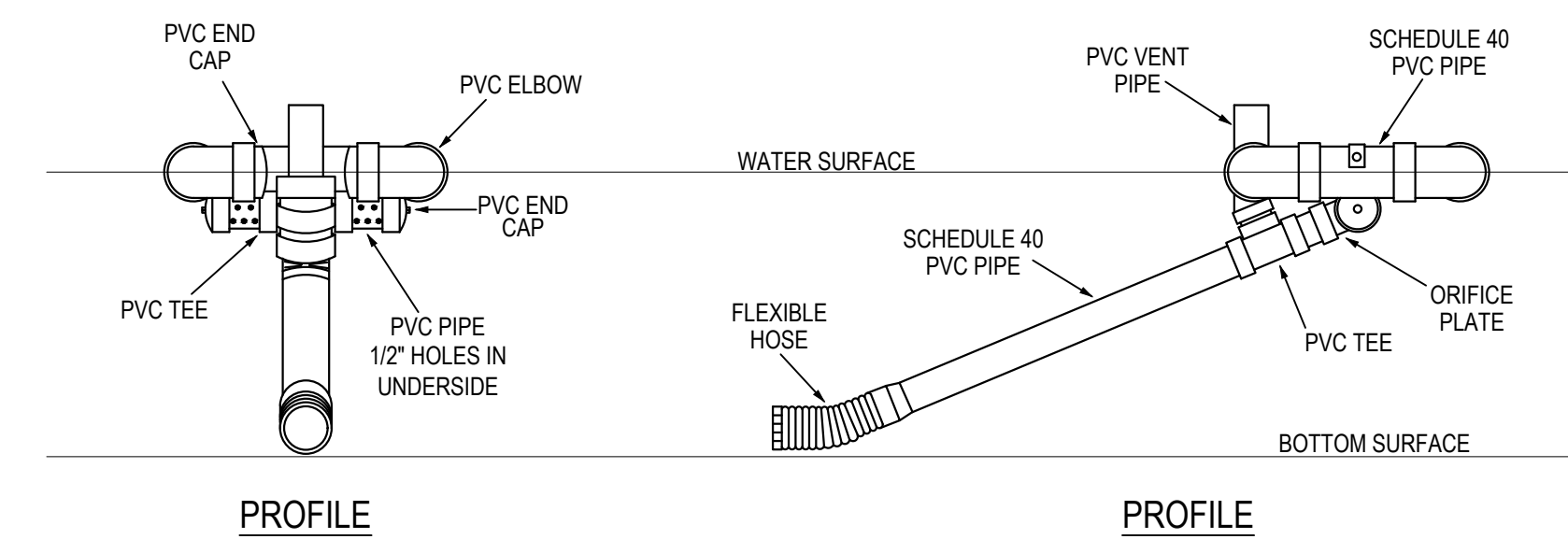
REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.

AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNDESIRABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

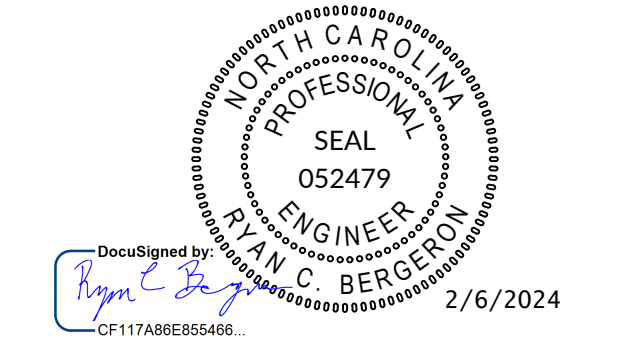
CONSTRUCTION SPECIFICATION

- GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
- INSTALL POSTS OR SAW HORSES ACROSS THE WIDTH OF THE SEDIMENT TRAP.
- STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24 INCHES, SPACED AT A MAXIMUM OF 4 FEET APART, AND INSTALLED UP THE SIDES OF THE BASIN AS WELL. THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERM.
- INSTALL AT LEAST THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT.
- WHEN USING POSTS, ADD A SUPPORT WIRE OR ROPE ACROSS THE TOP OF THE BASIN TO PREVENT SAGGING.
- WRAP POROUS MATERIAL LIKE JUTE BACKED BY COIR MATERIAL OVER A SAWHORSE OR THE TOP WIRE. HAMMER REBAR INTO THE SAWHORSE LEGS FOR ANCHORING. THE FABRIC SHOULD HAVE FIVE TO TEN PERCENT OPENINGS IN THE WEAVE. ATTACH FABRIC TO A ROPE AND A SUPPORT STRUCTURE WITH 225 TIES, WIRE, OR STAPLES.
- THE BOTTOM AND SIDES OF THE FABRIC SHOULD BE ANCHORED IN A TRENCH OR RINNEO WITH 8 INCH EROSION CONTROL MATTING STAPLES.
- DO NOT SPICE THE FABRIC, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN.

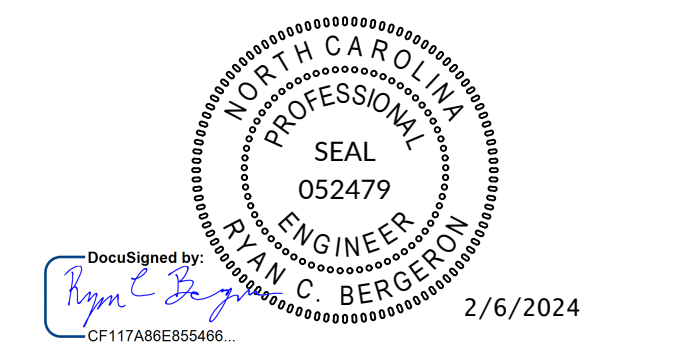
POROUS BAFFLE INSTALLATION DETAIL



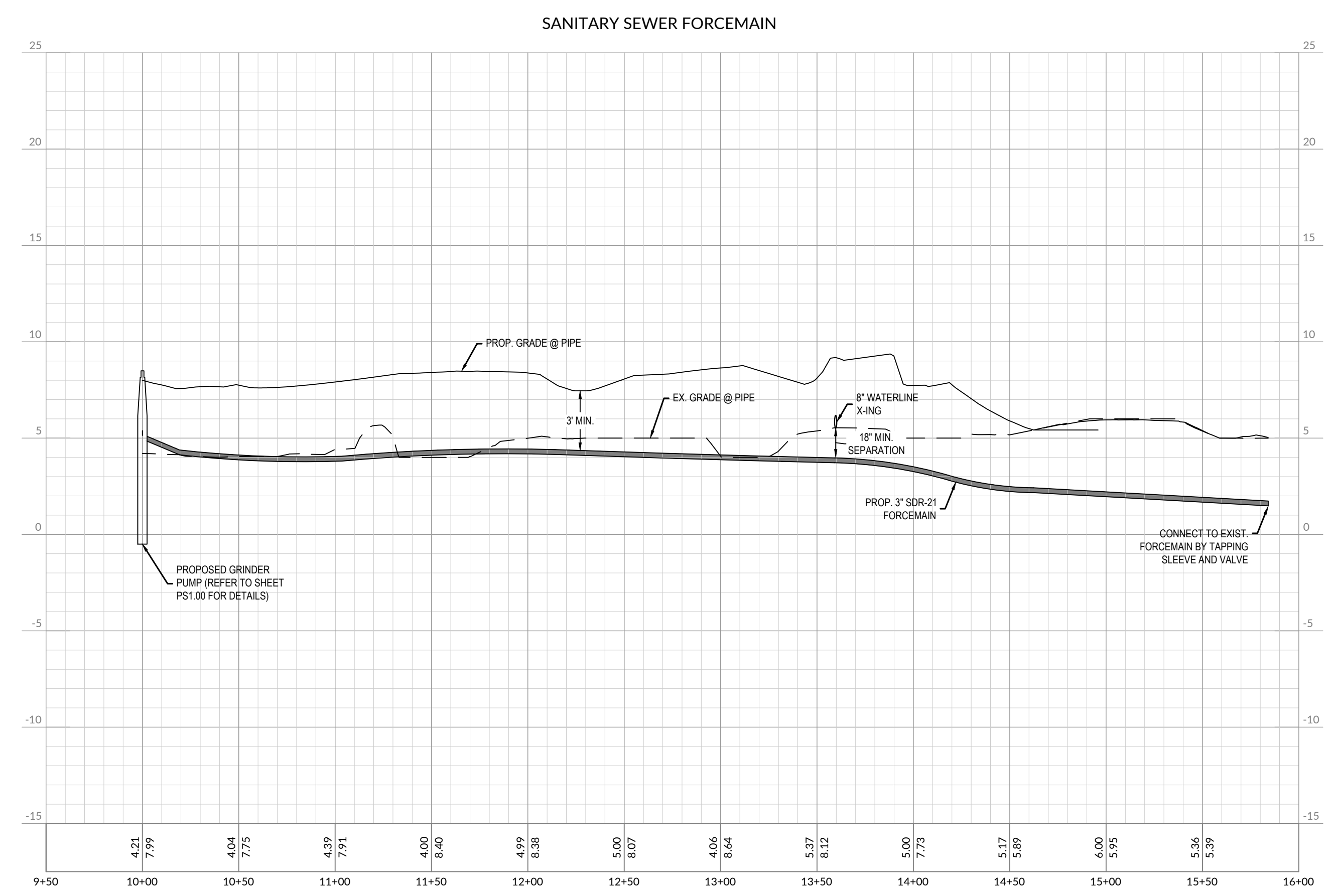
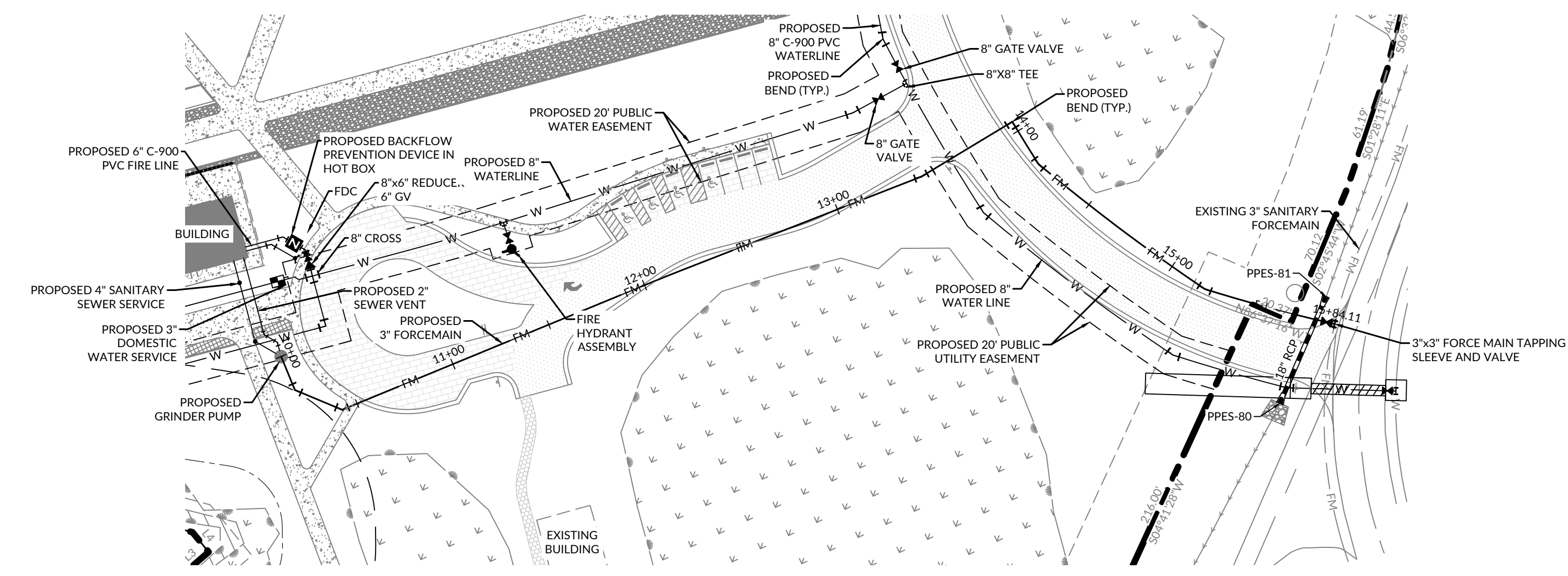
FAIRCLOTH SKIMMER DETAIL
NTS



NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS



REVISIONS		
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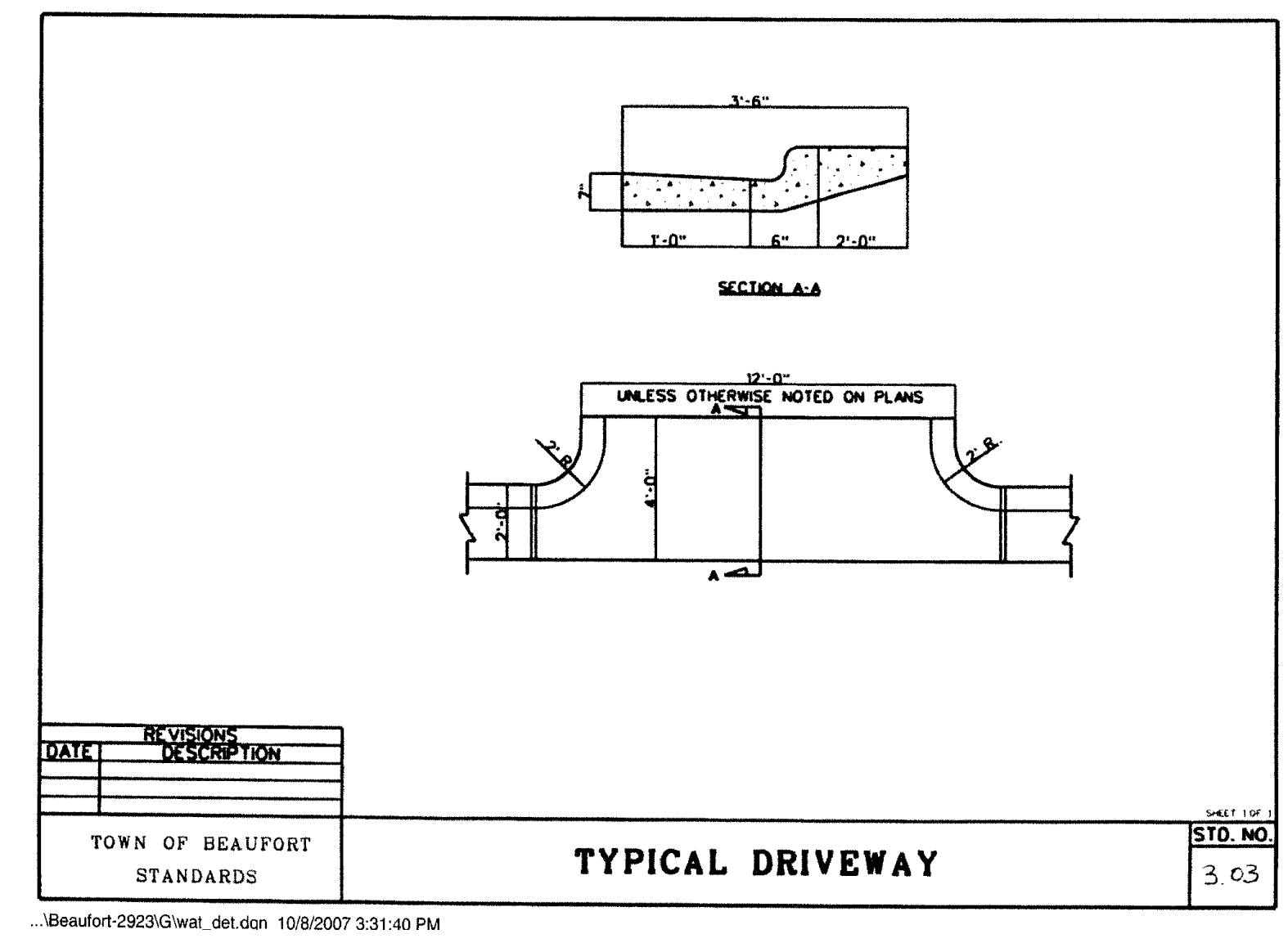
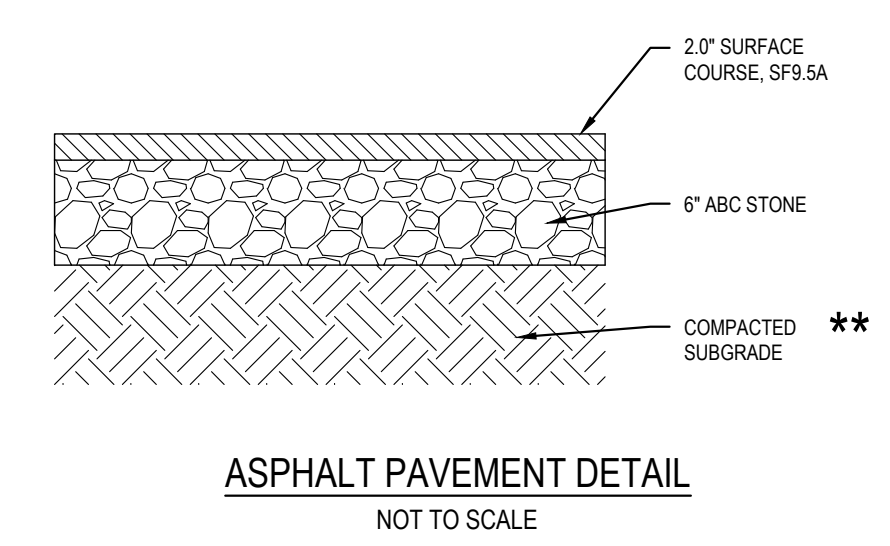
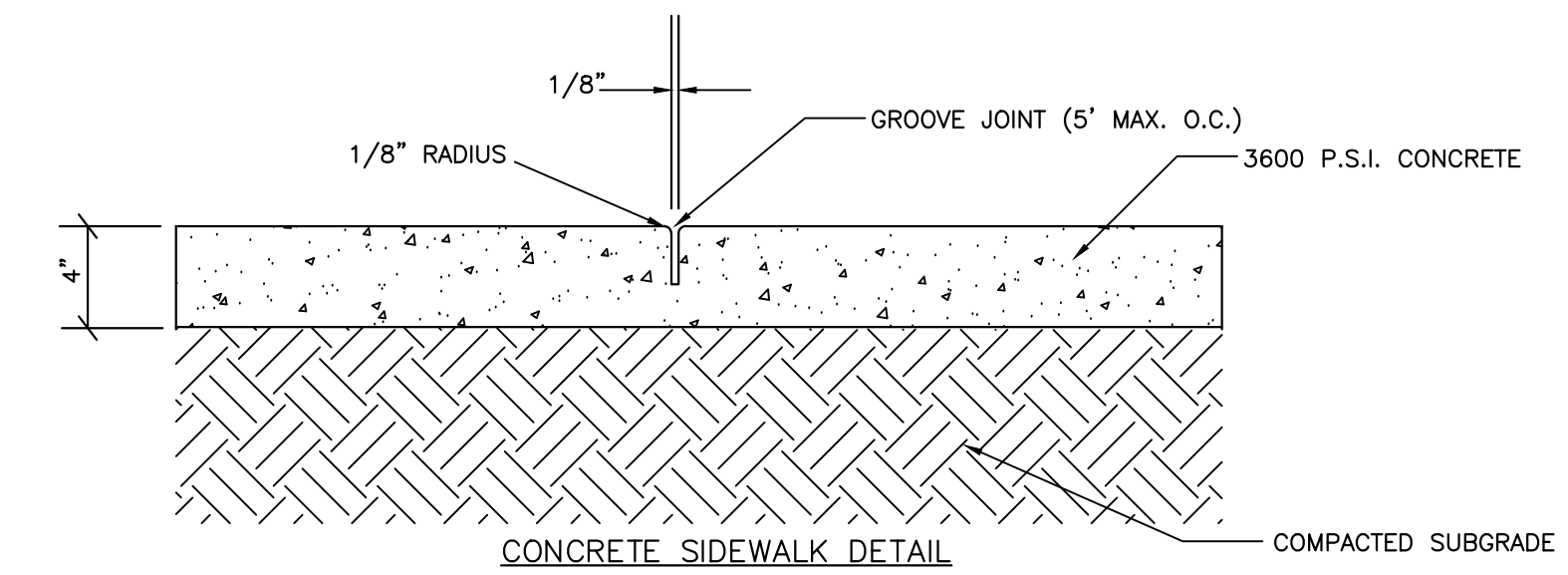
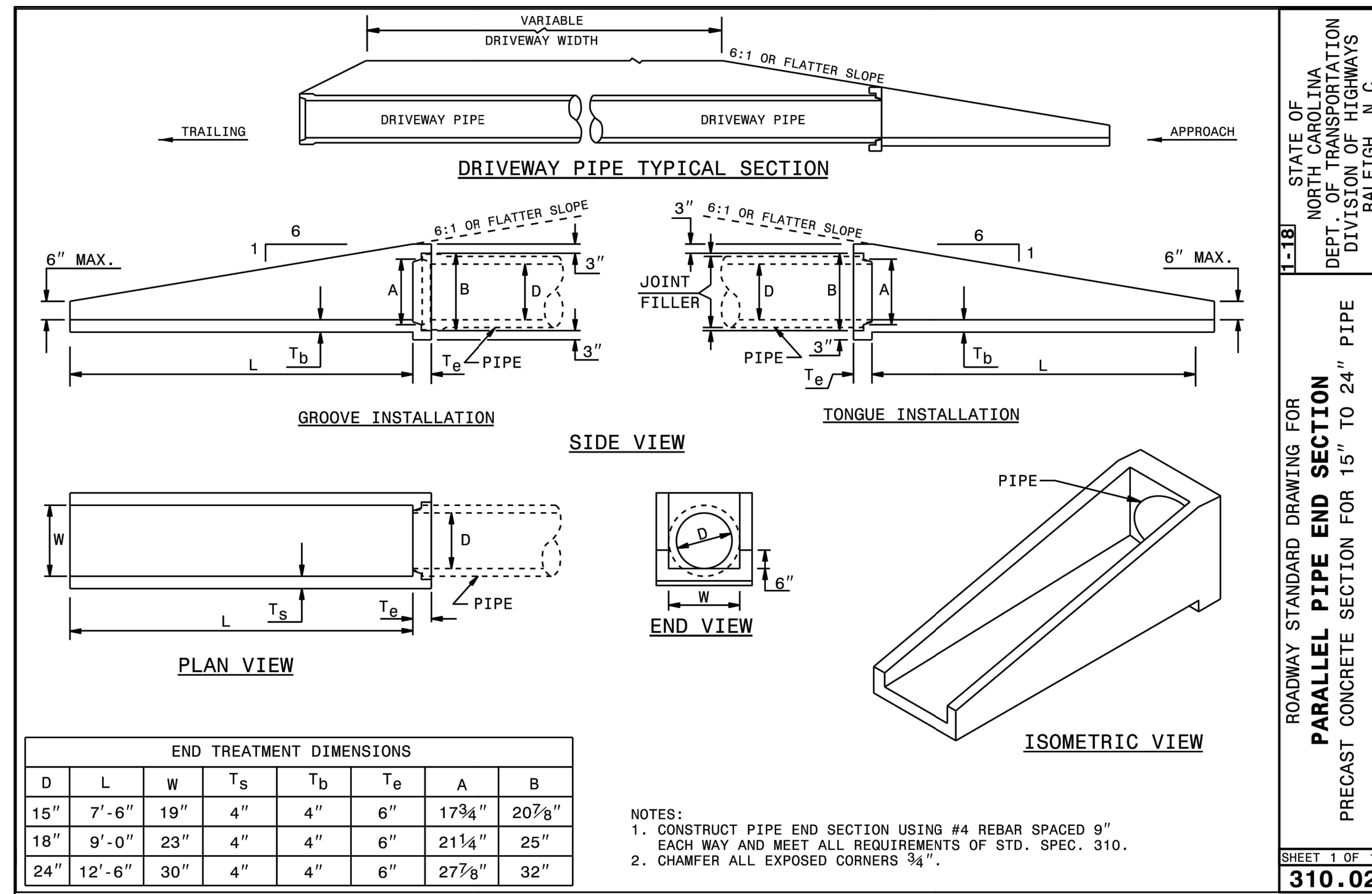
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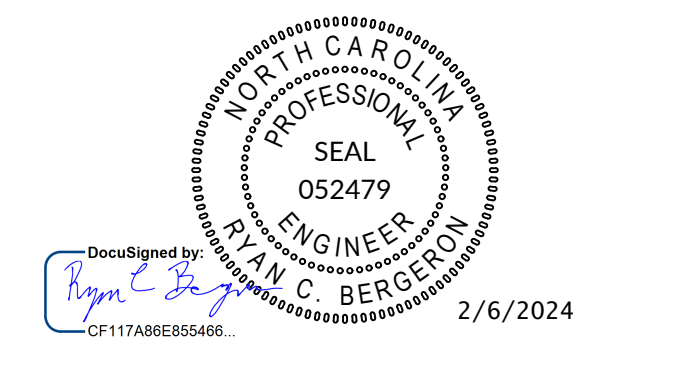
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PROFESSIONAL SEAL



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 FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

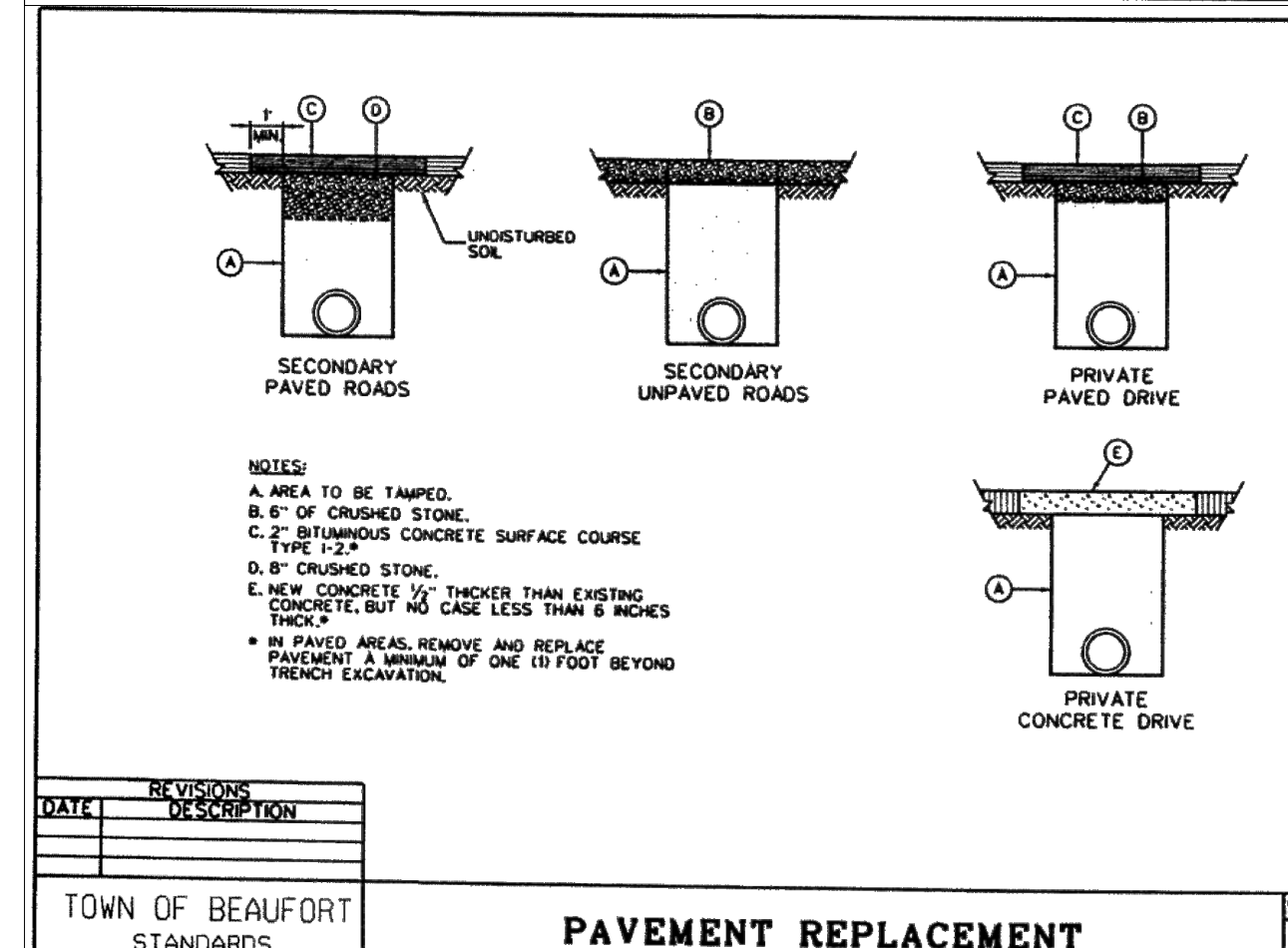
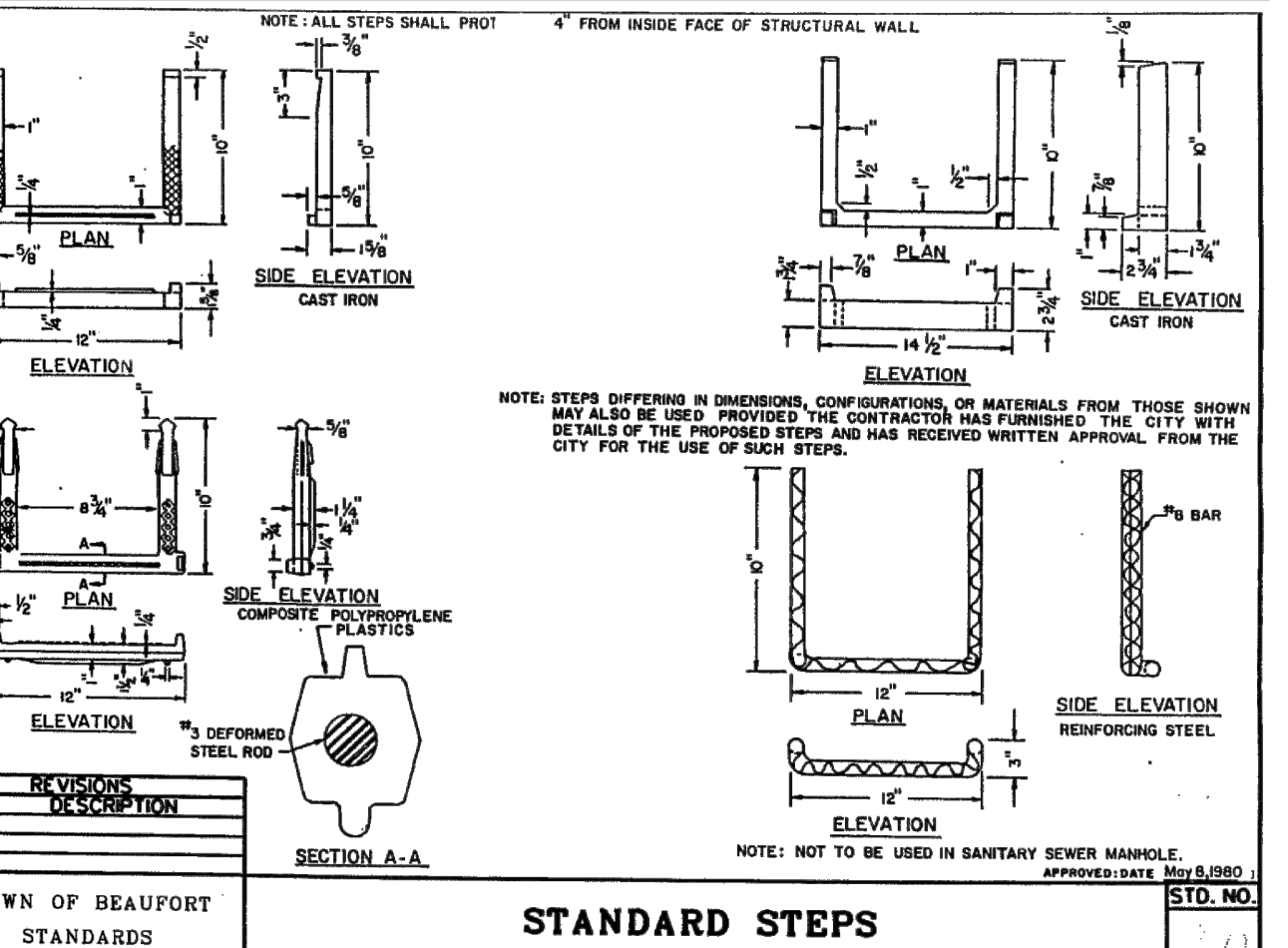
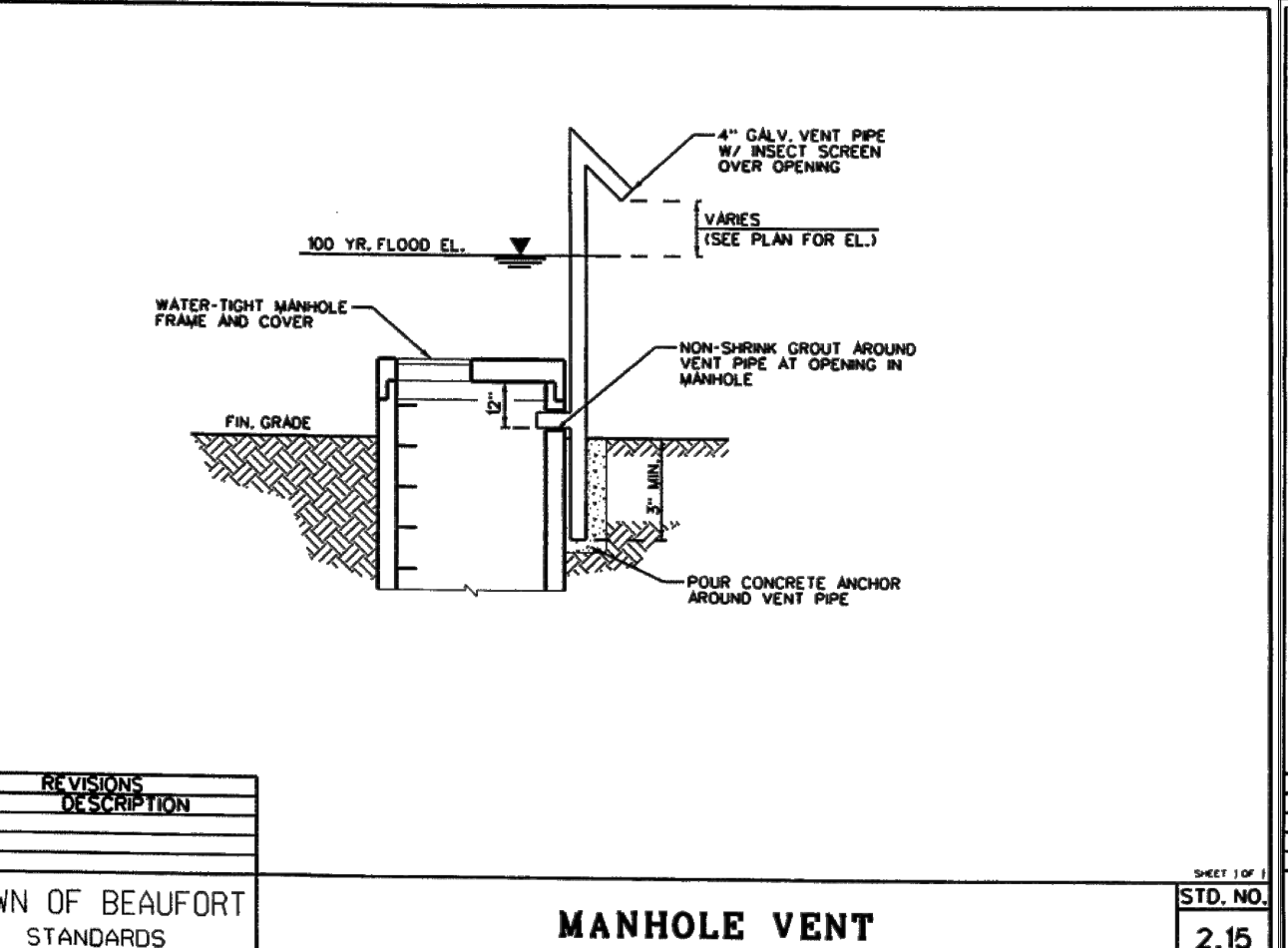
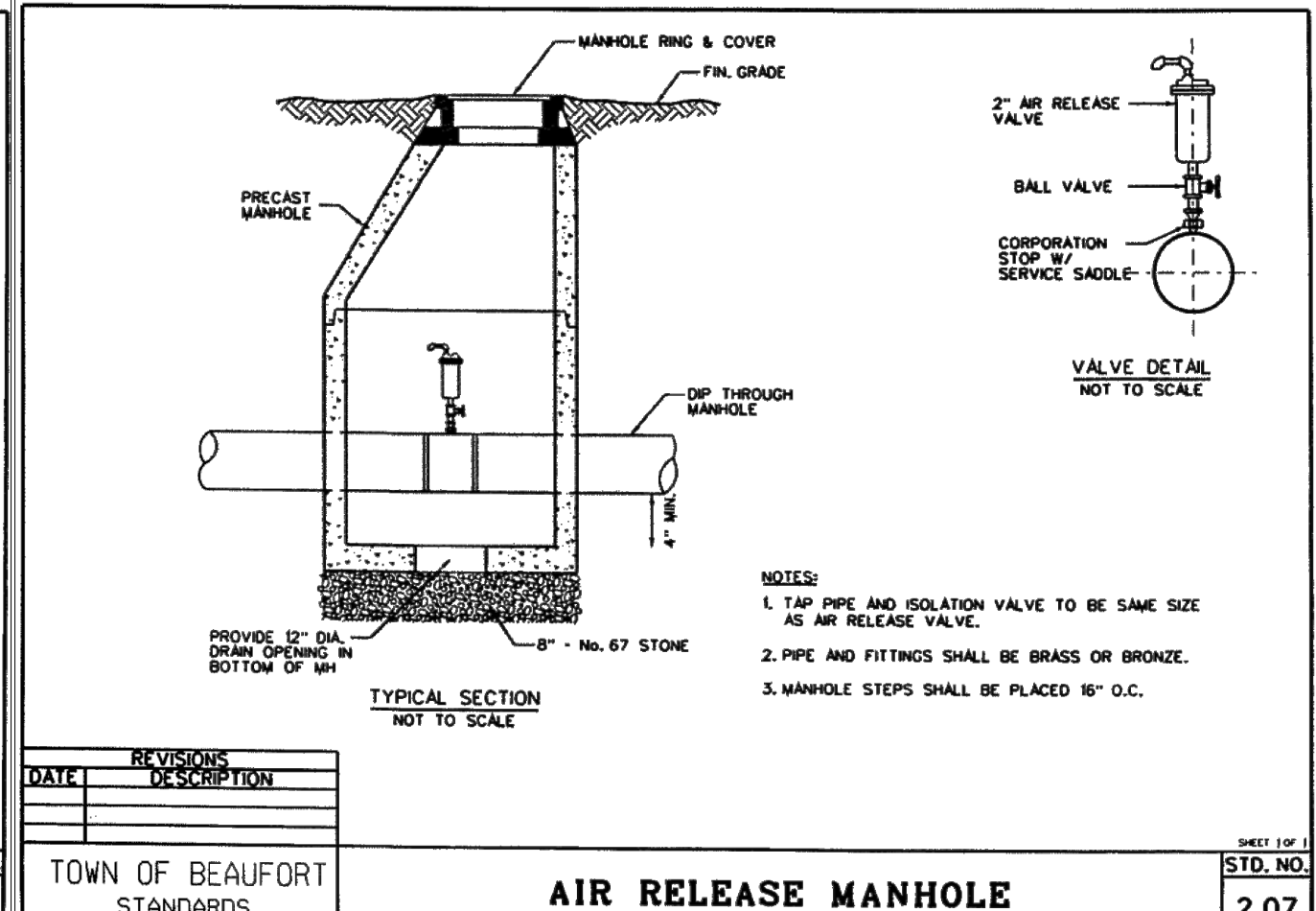
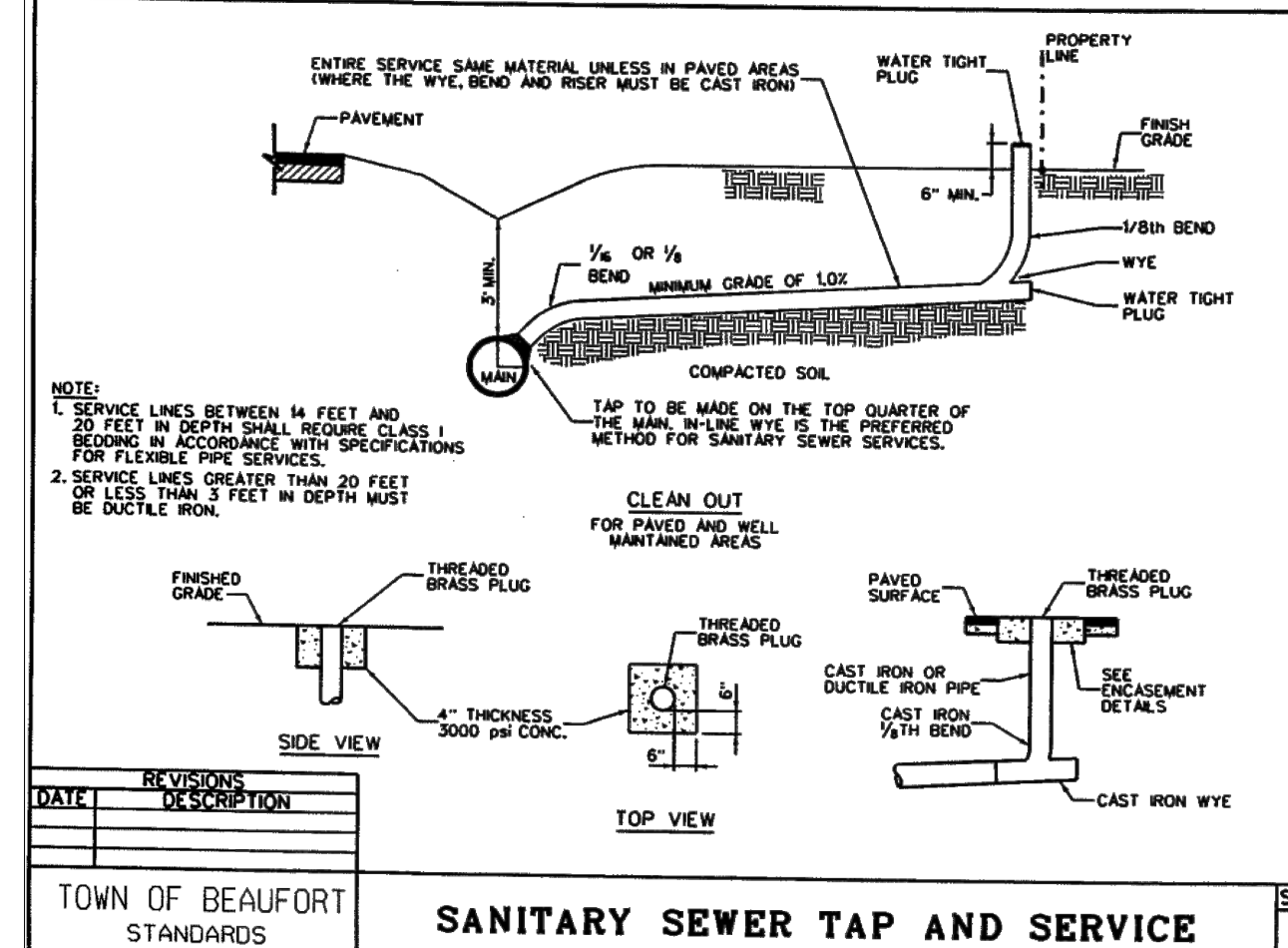
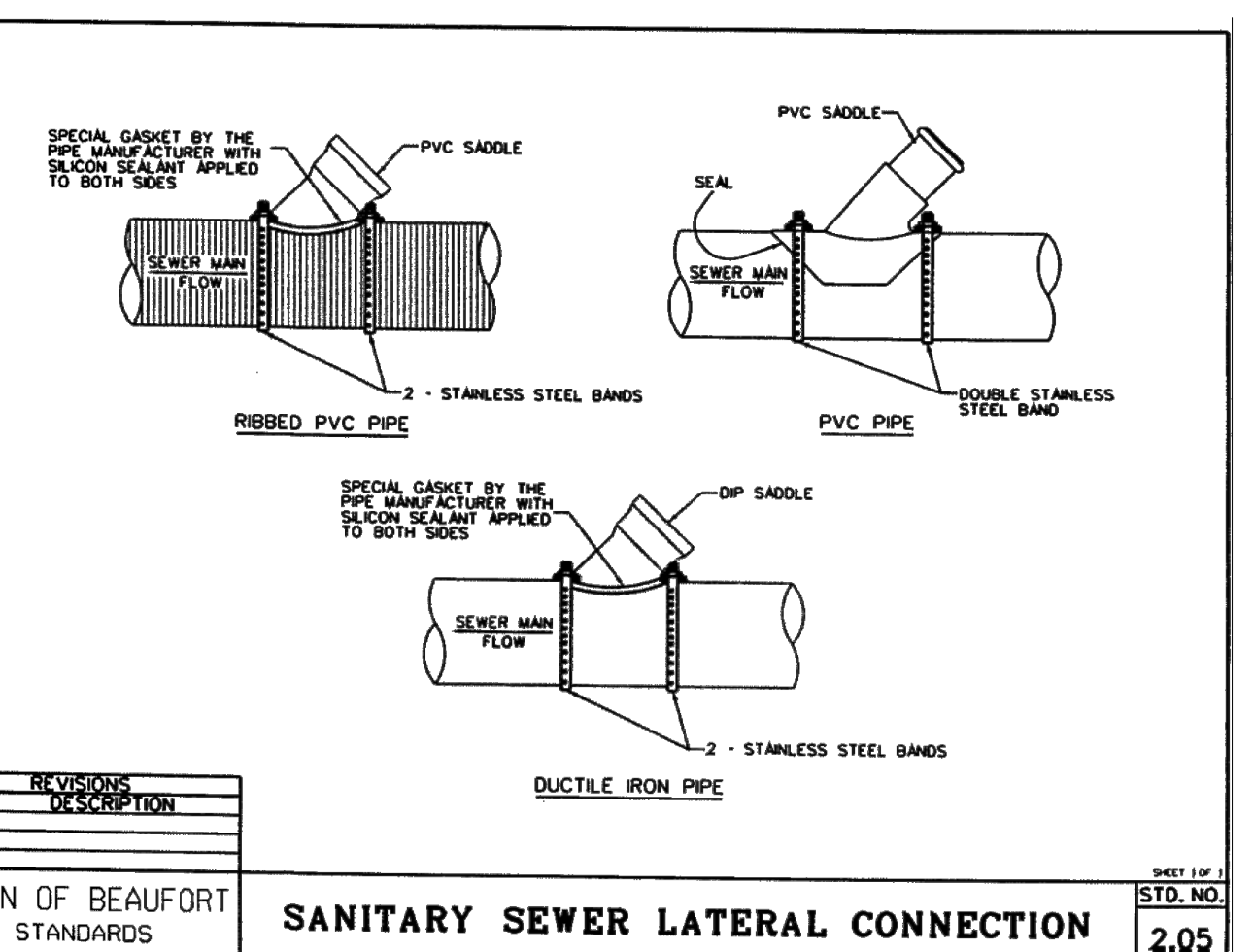
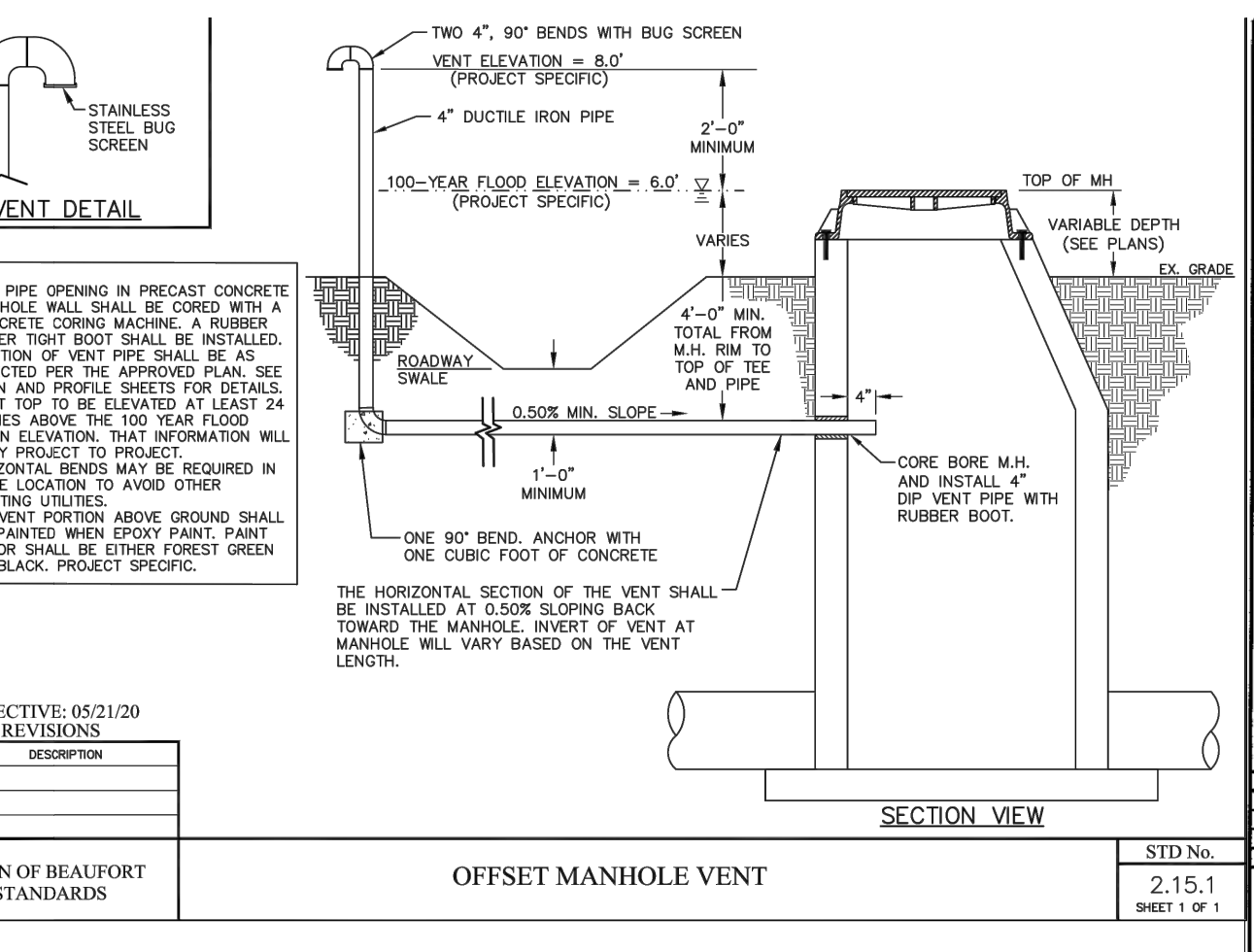
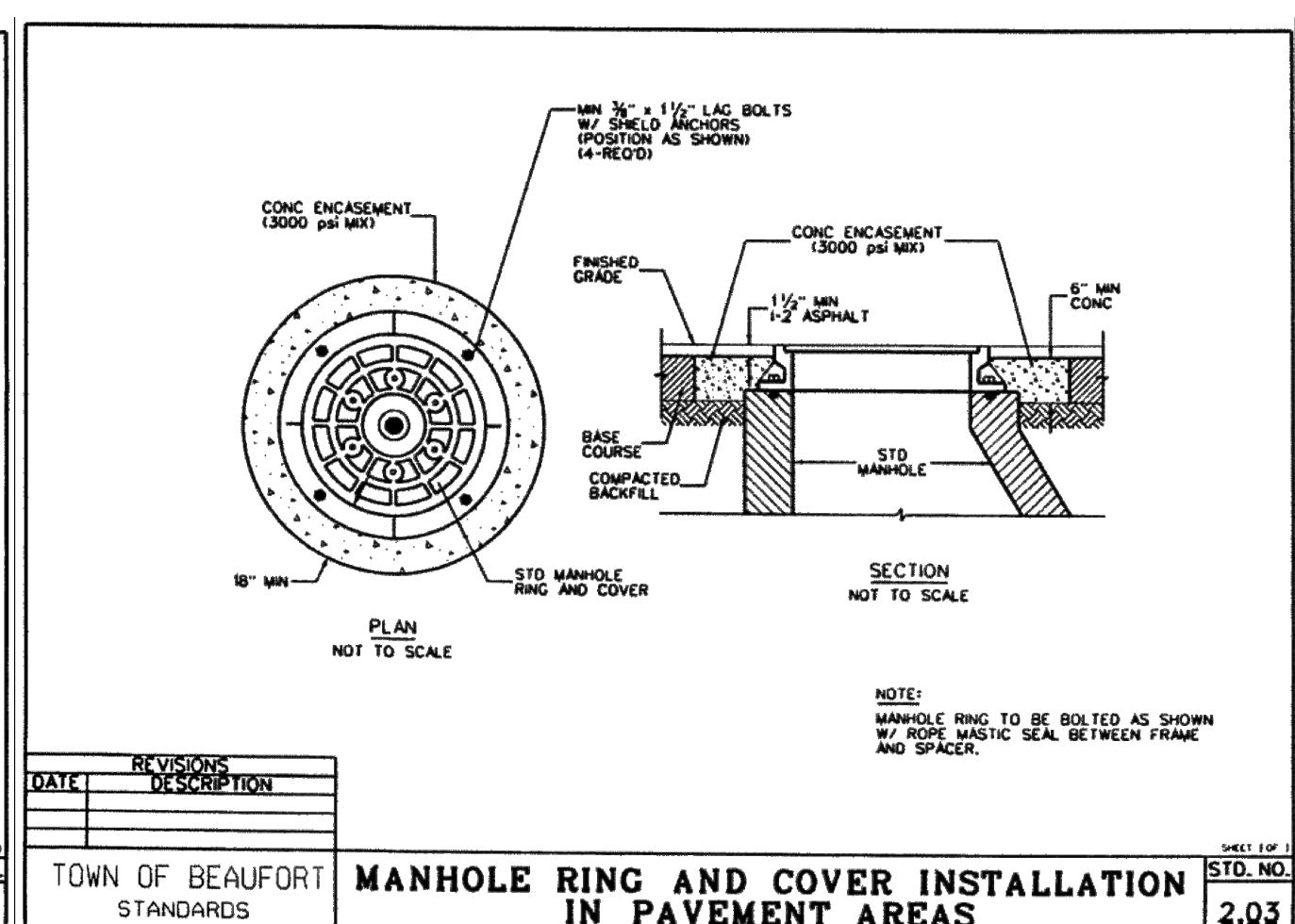
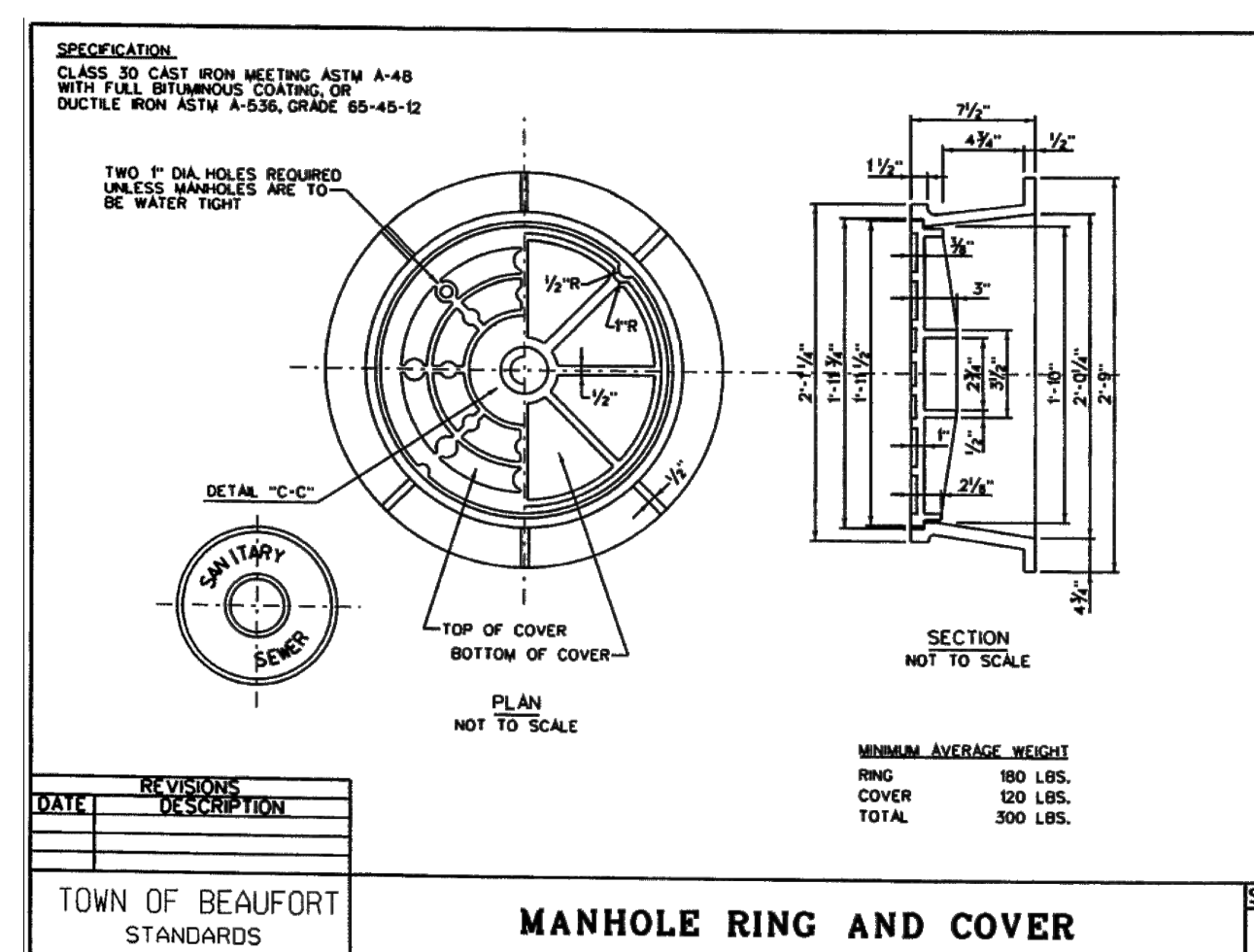
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KEY PLAN

SHEET
SITE DETAILS

C9.00

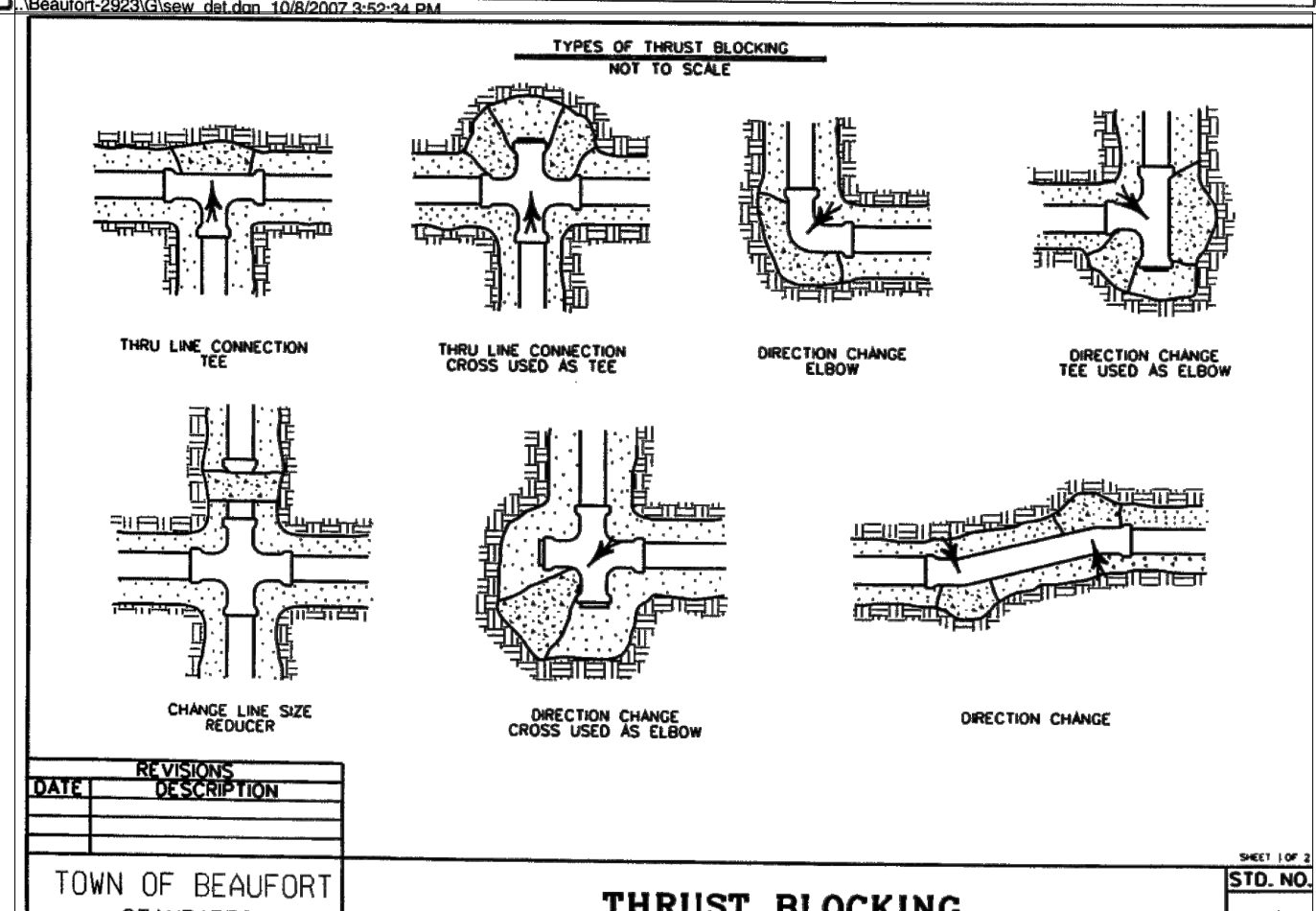
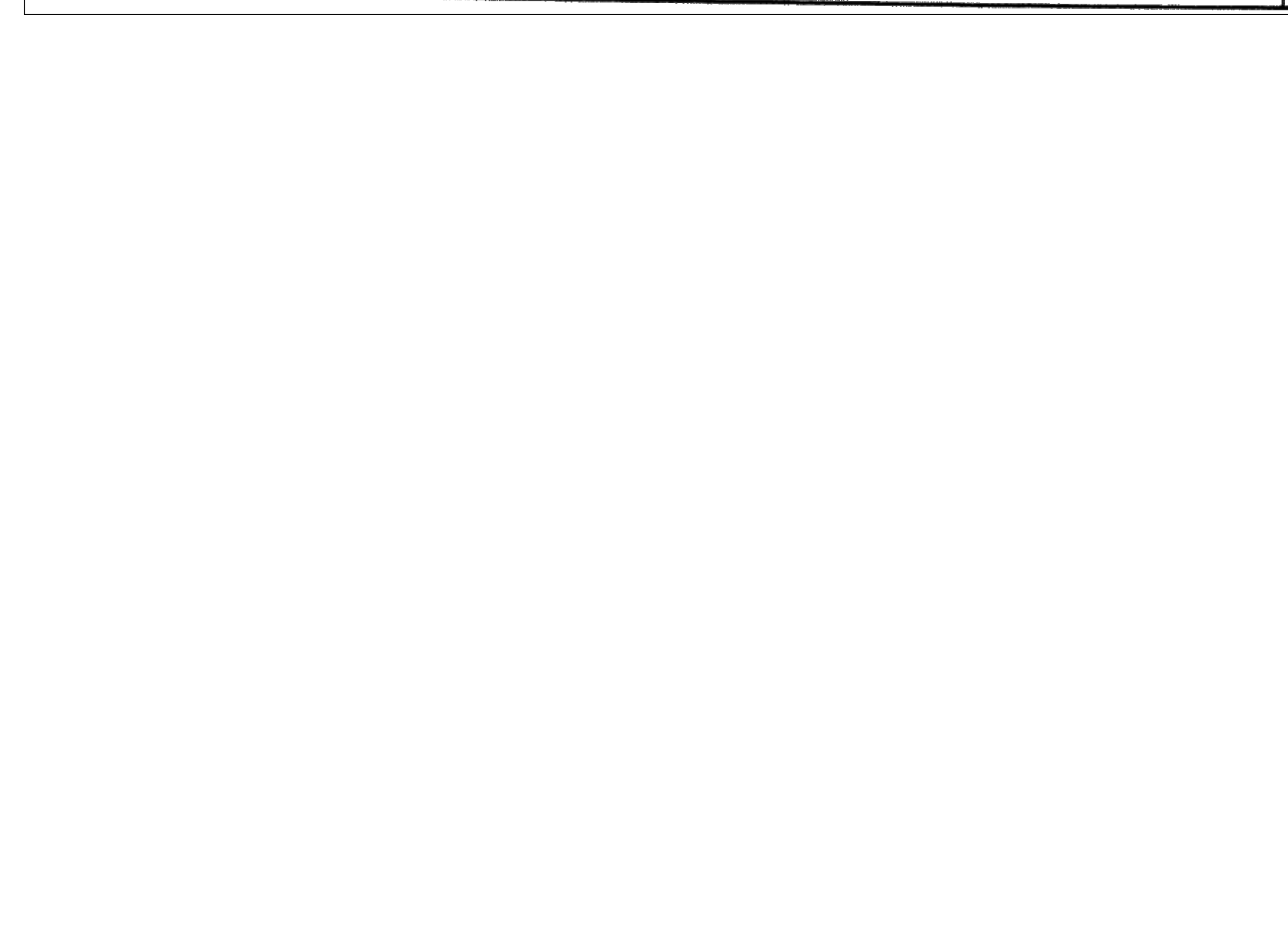
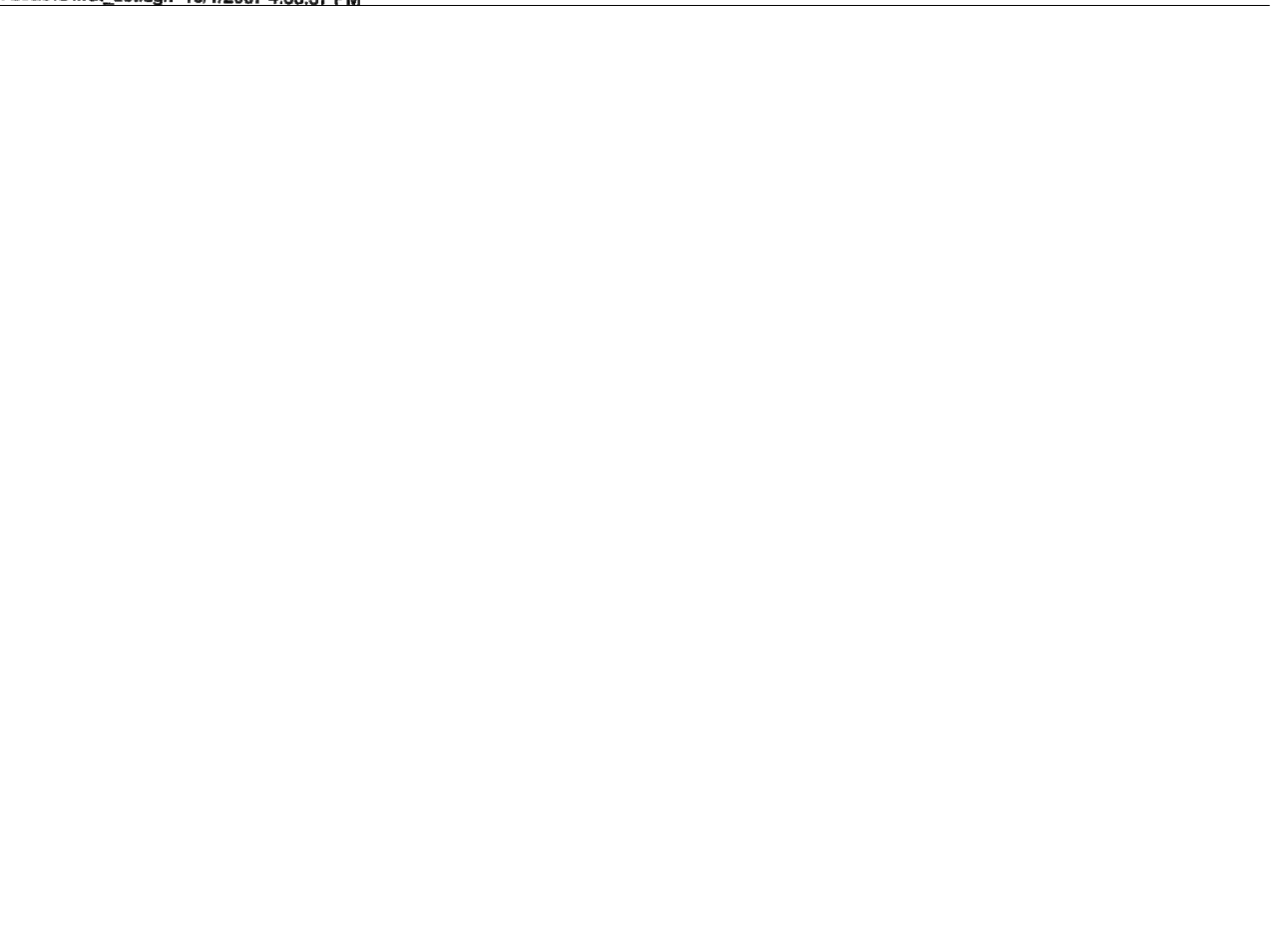
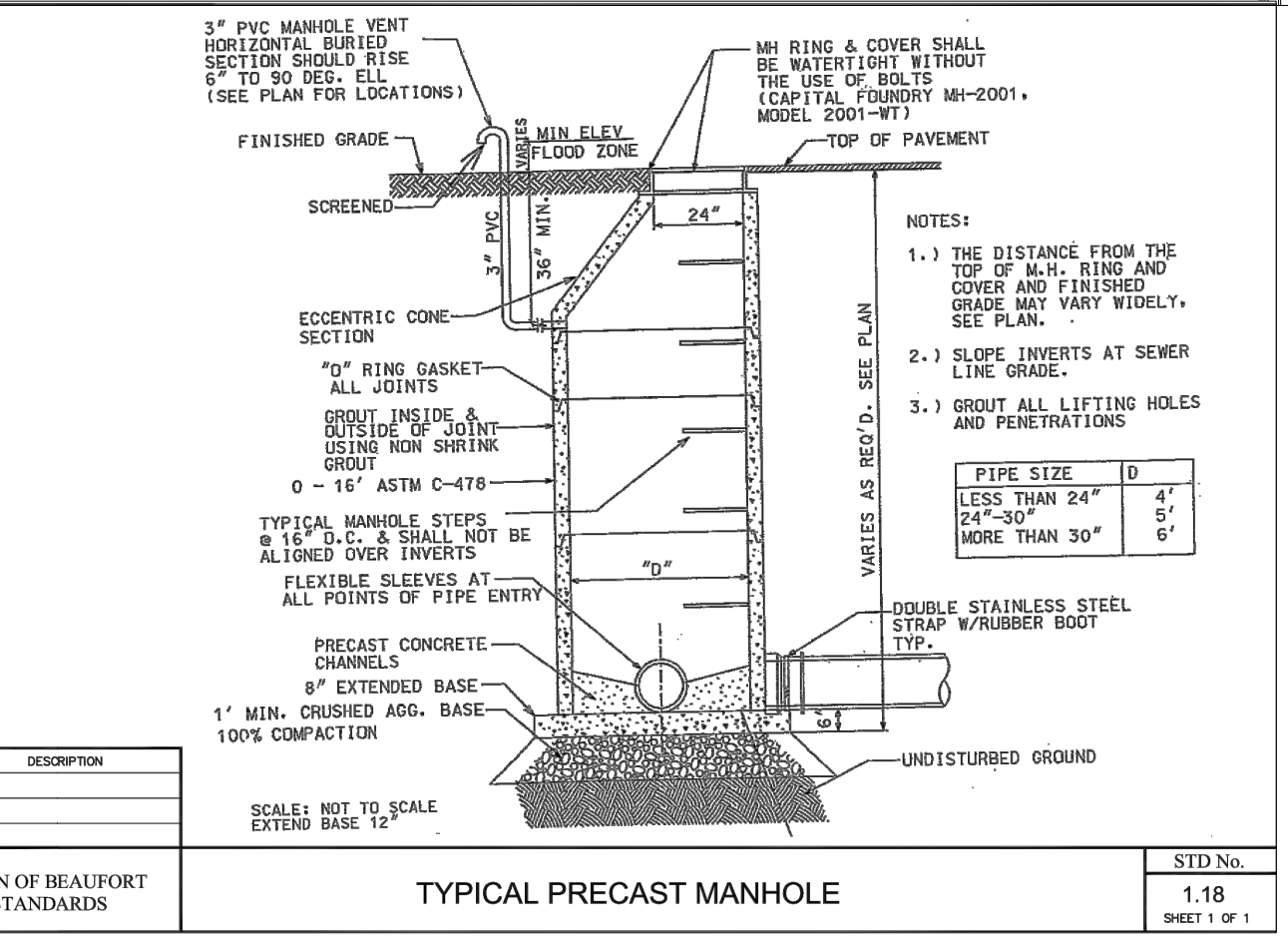


LOW PRESSURE AIR TESTING FOR GRAVITY SEWER MAINS
MINIMUM TIME REQUIRED FOR A MAXIMUM 1.0 PSIG PRESSURE DROP FOR SIZE AND LENGTH OF PIPE INDICATED

PIPE SIZE (IN)	MINIMUM LENGTH (MIN) (FT)	LENGTH TO TEST (FT)	SPECIFICATION TIME FOR LENGTH (L) SHOWN (MIN:SEC)												
			100 FT	150 FT	200 FT	250 FT	300 FT	350 FT	400 FT	450 FT	500 FT	550 FT			
4	3-48	597	3:08	L	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46
6	5-48	276	0:54	L	5:48	5:48	5:48	5:48	5:48	5:48	5:42	6:24			
8	7-24	276	1:52	L	7:24	7:24	7:24	7:26	7:26	8:52	18:00	11:24			
10	9-24	276	2:37	L	9:24	9:26	9:26	9:26	9:52	11:52	13:47	17:48			
12	11-24	176	3:43	L	11:28	11:28	11:28	11:24	14:18	17:00	19:50	22:47	25:26		
15	14-18	159	5:24	L	14:18	14:18	17:48	22:18	26:42	31:06	35:36	40:06			
18	17-00	123	7:42	L	17:00	17:12	25:36	32:02	38:27	44:52	51:16	57:41			
21	19-50	114	10:47	L	19:50	20:18	34:54	43:27	52:21	61:09	69:48	78:21			
24	22-47	93	13:07	L	22:47	34:11	45:24	56:58	68:22	79:46	91:18	102:53			
27	25-36	80	15:28	L	25:31	39:51	43:16	57:41	72:07	86:32	100:57	115:22	129:48		
30	28-28	80	21:36	L	30:37	53:25	71:13	89:02	106:50	124:38	142:26	160:15			
33	31-18	72	25:02	L	43:05	64:36	86:18	107:43	129:18	150:43	172:21	193:53			
36	34-00	66	30:58	L	51:17	78:50	102:34	126:12	153:58	179:27	204:07	230:48			

NOTE: THIS TABLE IS FROM UNIT 8-6-78. THE TABLE IS BASED ON A 0.1 GAL/MINUTE AIR LOSS RATE IN TEST SECTION. A 0.1 GAL/MINUTE AIR LOSS RATE IS THE MINIMUM REQUIRED TEST RATE. A MAXIMUM PRESSURE DROP IS 1.0 PSIG PER 100 FEET AND THE REQUIREMENTS REDUCED BY HALF.

STD. NO. 2.13



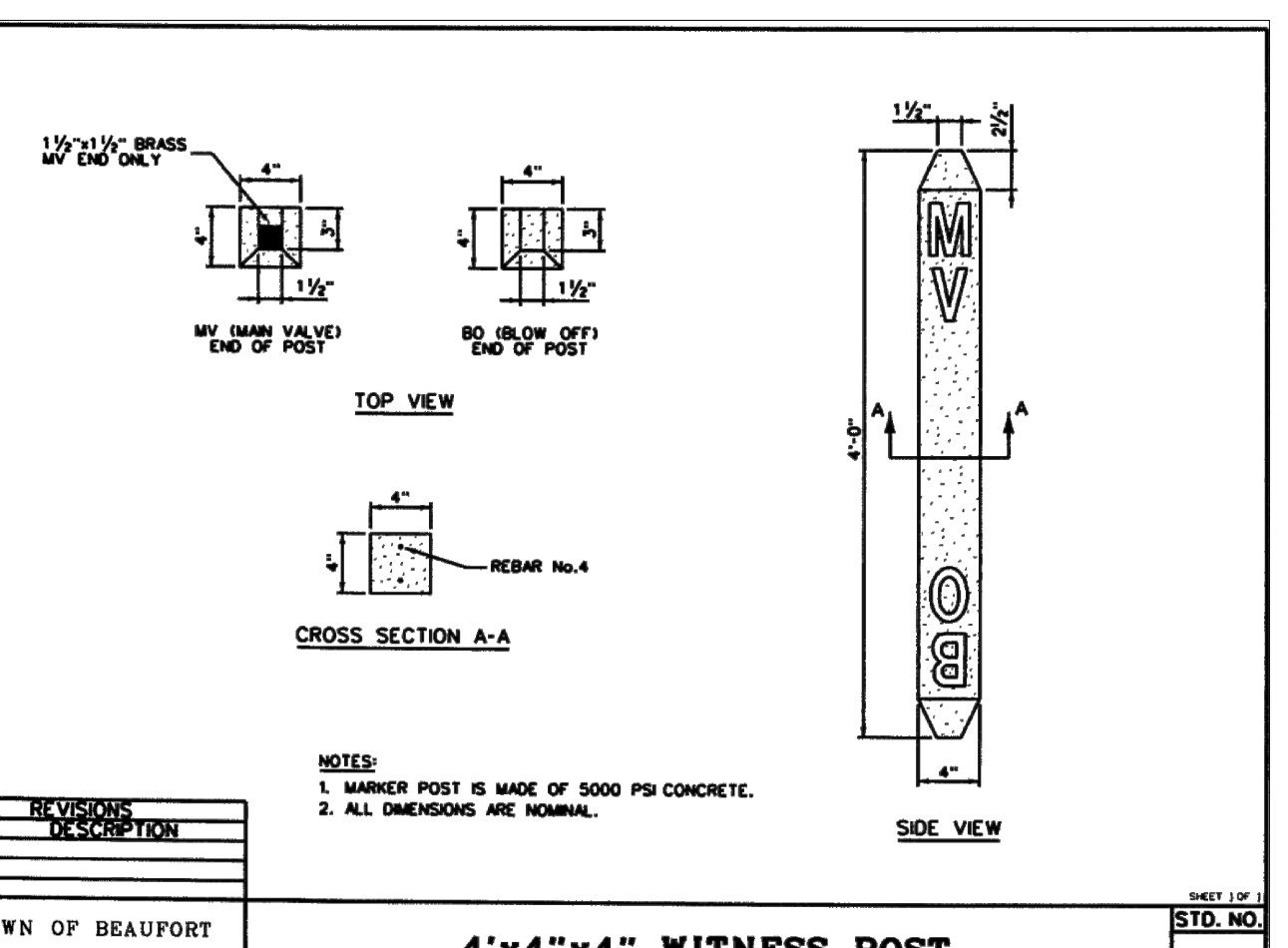
THRUST BLOCKING

RESULTANT THRUST AT FITTING AT 80 P.S.I. WATER PRESSURE

PIPE SIZE (IN)	DEAD END (LBS)	90° BEND (LBS)	45° BEND (LBS)	22 1/2° BEND (LBS)	11 1/4° BEND (LBS)
4"	2,700	3,800	2,100	1,100	530
6"	5,600	8,000	4,300	2,200	1,100
8"	9,100	12,600	7,400	3,900	1,900
10"	14,500	20,500	11,100	5,700	2,900
12"	20,500	29,000	15,700	8,000	4,000
14"	27,400	39,000	21,100	11,000	5,400
16"	35,100	50,400	27,300	14,000	7,000
18"	44,800	62,400	34,400	17,500	8,900
20"	55,000	77,000	42,100	21,500	10,900
24"	78,500	111,000	60,000	31,600	15,400
30"	129,000	179,000	92,300	47,100	23,600
36"	172,000	244,000	123,500	63,500	32,900
42"	233,300	330,000	170,600	91,000	45,700
48"	294,000	420,000	224,100	118,000	59,800
54"	364,100	513,200	274,000	144,000	73,300

NOTE: 1. TO DETERMINE THE SIZE OF A CONCRETE THRUST BLOCK FROM THE TABLE, LOCATE THE PIPE SIZE OF THE BRANCH AND OF THE THRU LINE BLOCK. 2. DETERMINE THE RESULTANT THRUST FROM THE TABLE. 3. THE SIZE OF THE THRUST BLOCK SHOULD BE AT LEAST AS LARGE AS THE THRUST INDICATED IN THE TABLE BELOW. 4. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 5000 PSI. 5. LEAVE JOINTS CLEAR OF CONCRETE. 6. JOINTS SHALL BE REINFORCED AROUND FITTING WHERE CONCRETE BLOCKING MAY BE REQUIRED.

STD. NO. 2.14



MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 23-2633-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

North Carolina Professional Engineer
SEAL 052479
R. C. BERGSON
2/6/2024

SUBMITTAL
FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
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KEY PLAN

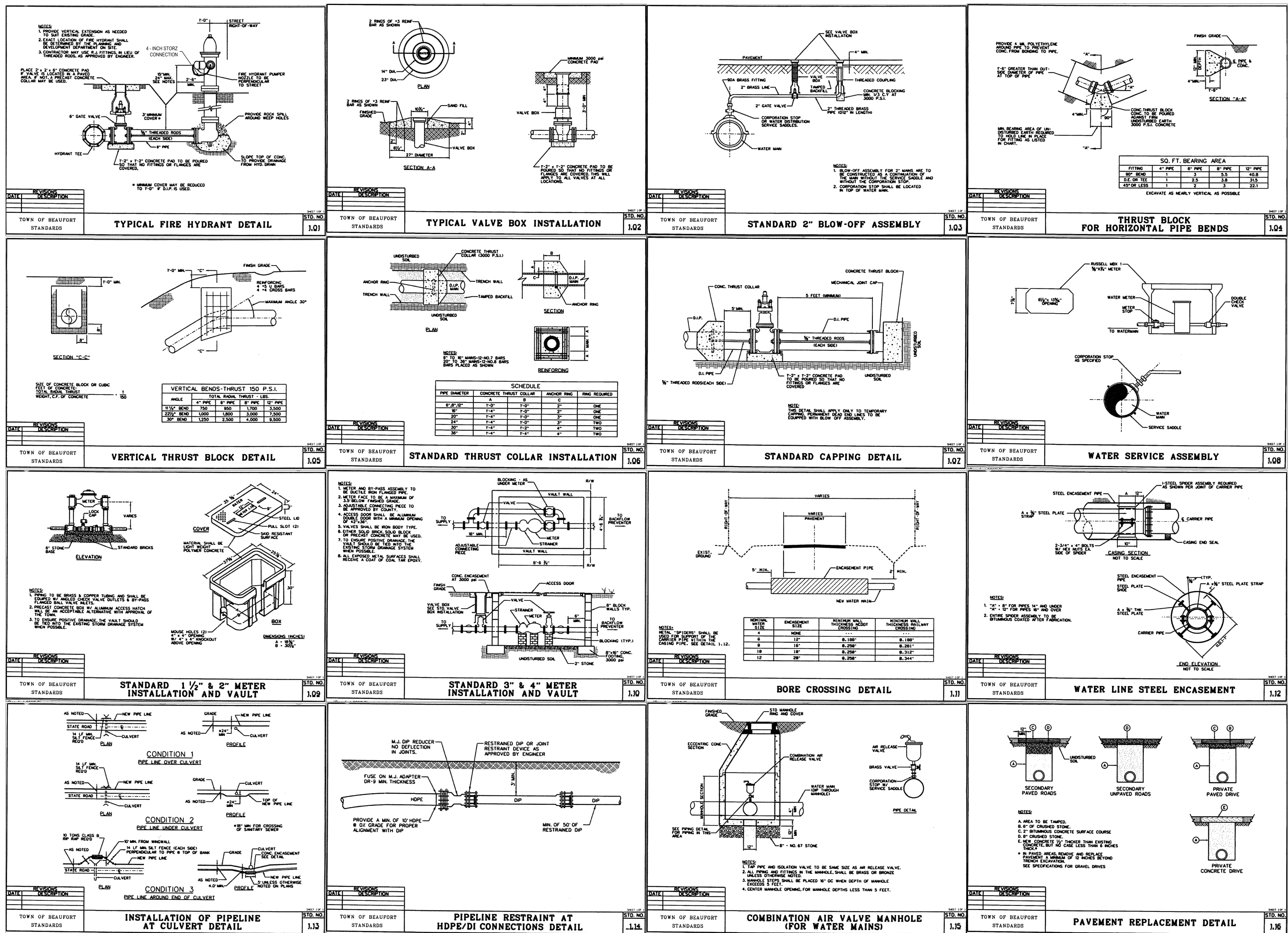
SHEET

SANITARY SEWER AND WATER DETAILS

C9.02

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145



MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center
293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 23-2633-01A

DESIGNER
CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER
WithersRavenel
219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL
NORTH CAROLINA PROFESSIONAL SEAL 052479 ENGINEER RAIN C. BERGSON 2/6/2024

SUBMITTAL
FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

REVISIONS

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KEY PLAN

SHEET
WATER DETAILS

C9.04

DESIGN: RCB
DRAWN: TMG
REVIEW: RCB

CN 10145

1
2
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100

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-26330-01A

DESIGNER

CLARK NEXSEN

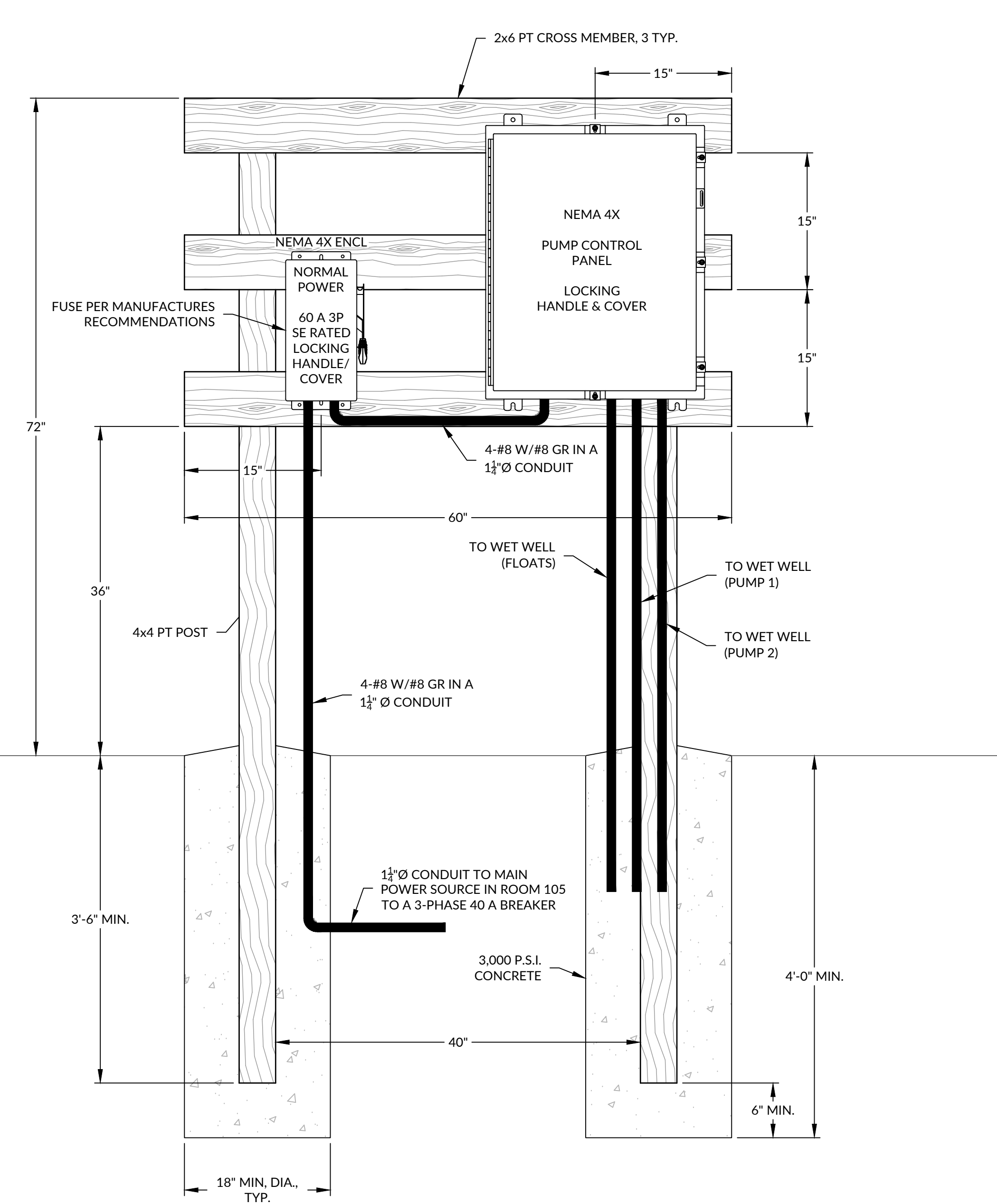
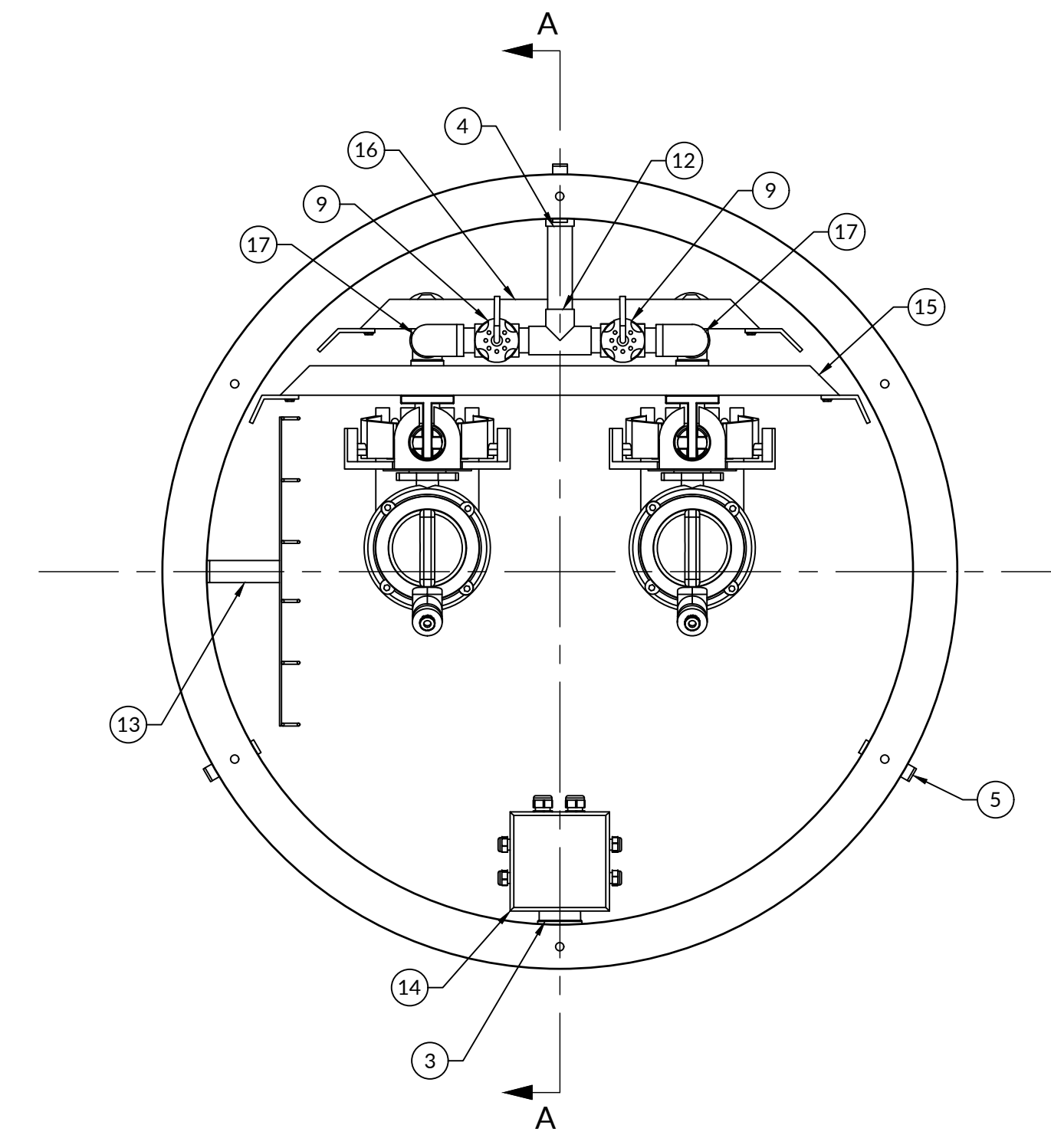
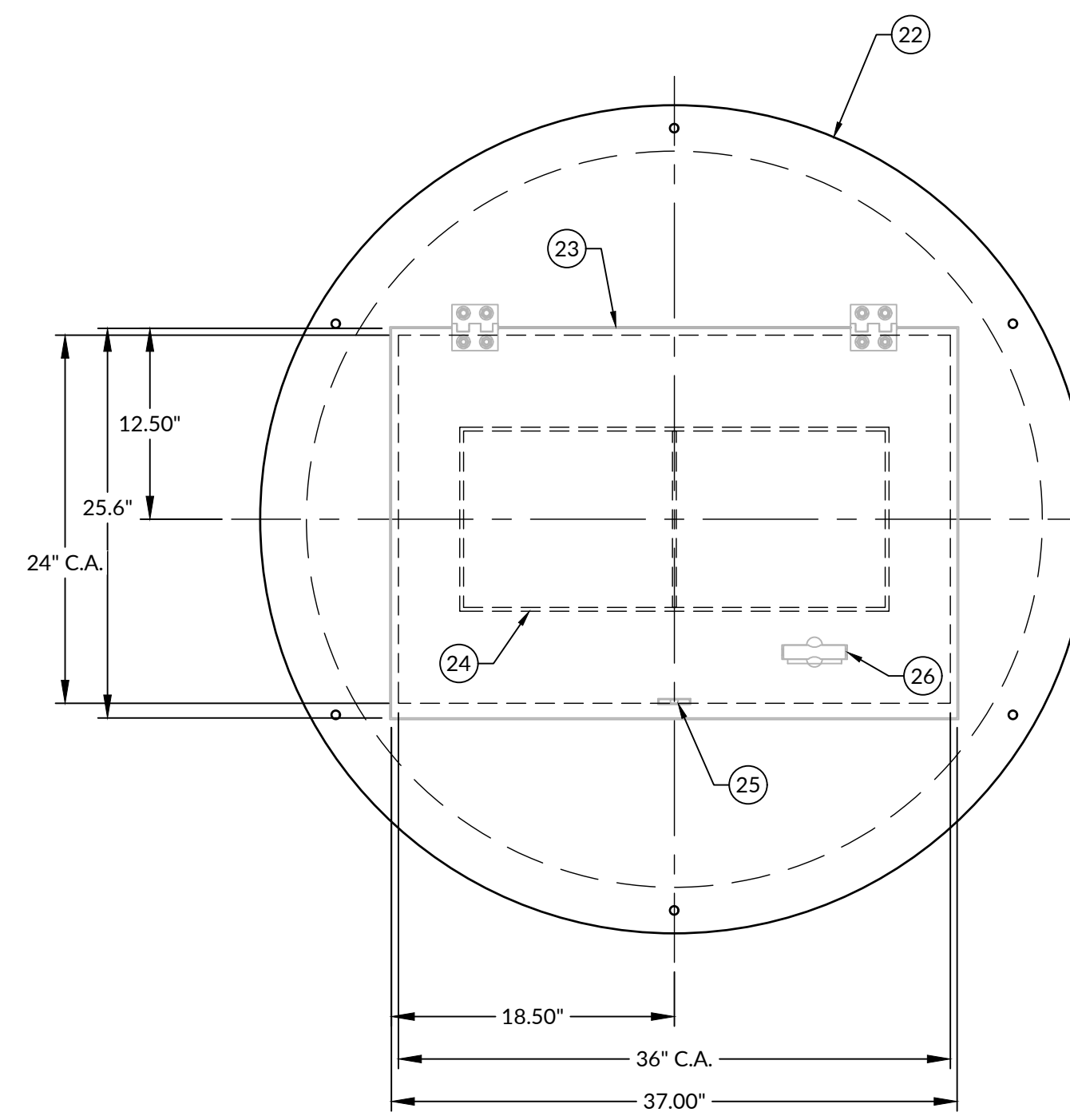
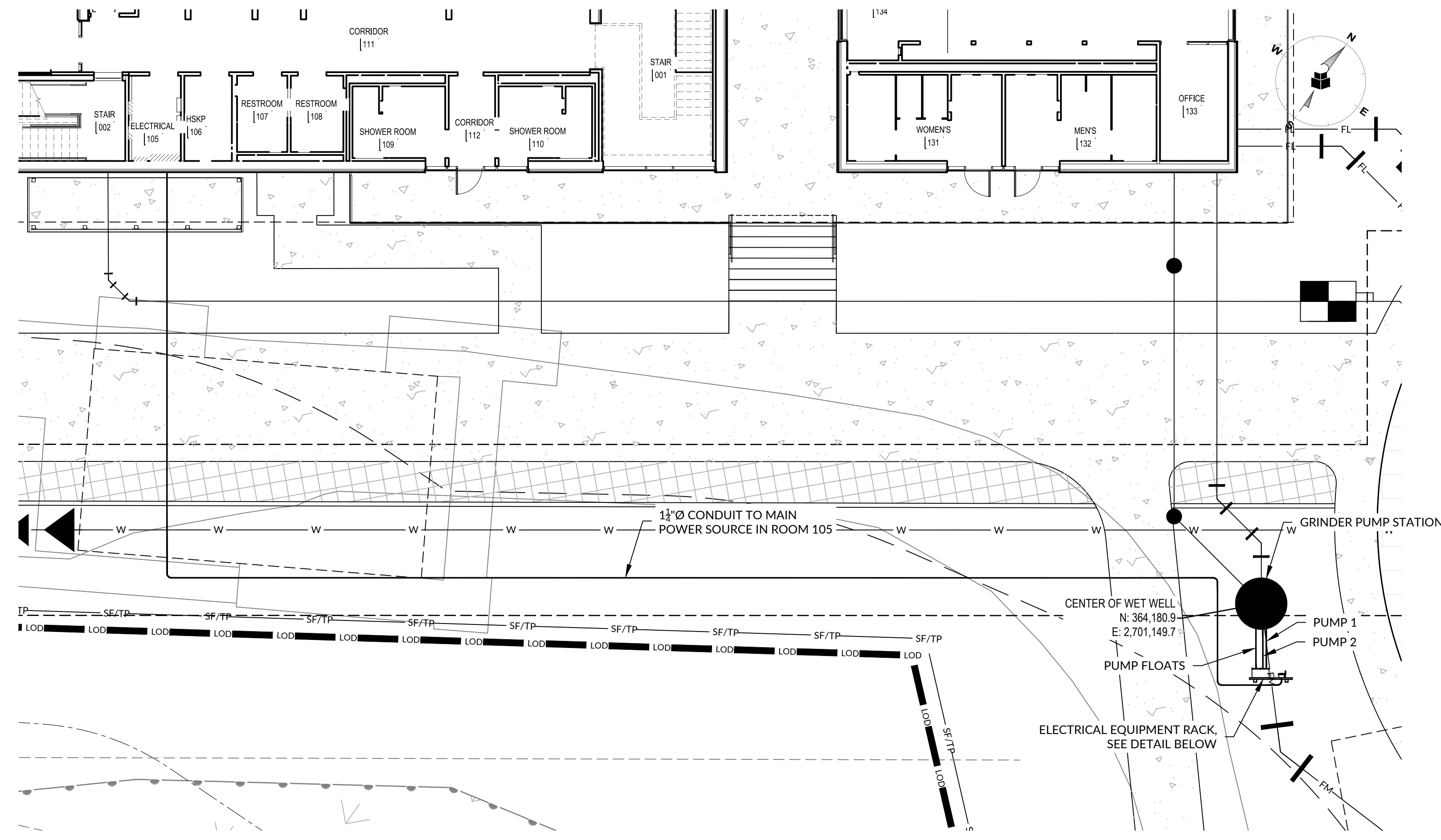
421 NORTH HARRINGTON STREET, SUITE 600
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919-828-1876

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CIVIL ENGINEER

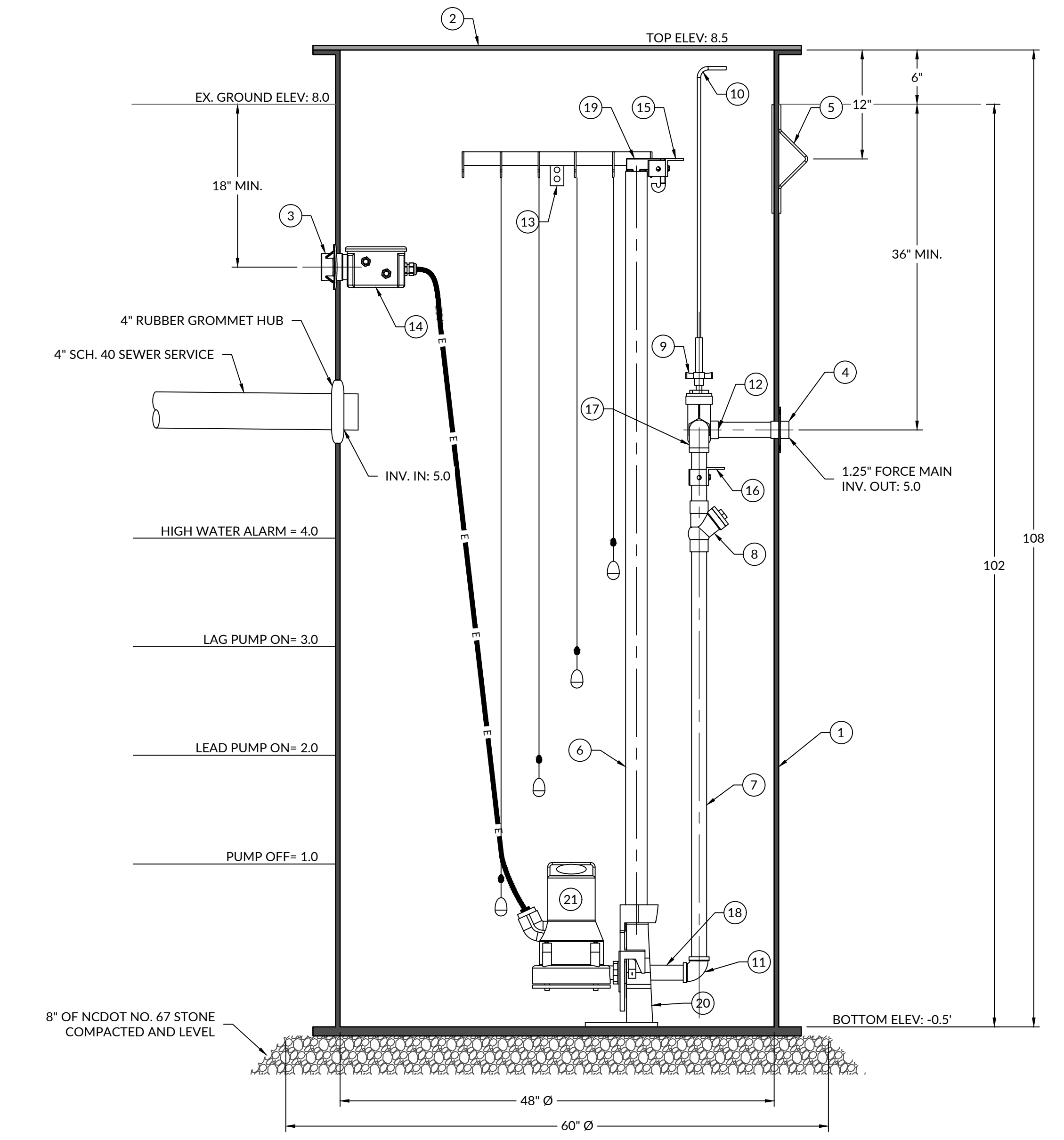


219 STATION ROAD, SUITE 101
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910-256-9277
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WITHERSRAVENEL LICENSE NUMBER F-1479



ITEM NO.	DESCRIPTION
1	48"Øx108" FIBERGLASS BASIN WITH FIBERGLASS ANTI-FLOAT RING
2	ALUMINUM ACCESS HATCH
3	2" NPT BOLT-ON COMPOSITE FG COUPLING
4	1½" STAINLESS STEEL COUPLING WELDED IN PLACE
5	STAINLESS STEEL MINI LIFTING LUG, 3 TYP.
6	2" 304 STAINLESS STEEL PUMP REMOVAL RAIL
7	1½" SCH. 80 PVC PIPE
8	1½" SCH. 80 PVC BALL CHECK VALVE (SW)
9	1½" SCH. 80 PVC GATE VALVE (SW)
10	304 SS VALVE EXTENSION HANDLE - 2.5' LONG FOR 1½" SYSTEM
11	1½" STAINLESS STEEL 90° ELBOW
12	1½" SCH80 PVC TEE (SW)
13	SS FLOAT BRACKET W/(6) HOOKS
14	6"x6"x4" DUPLEX J-BOX - NEMA 4X
15	ALUMINUM UPPER GUIDERAIL BRACE FOR 48" TANK
16	ALUMINUM BRACING FOR 48" BASIN
17	1½" SCH. 80 PVC 90 ELBOW
18	1½" 304 STAINLESS STEEL PIPE
19	GUIDE RAIL TOP SUPPORT
20	PUMP BASE
21	GRINDER PUMP
22	½" THICK ALUMINUM HATCH COVER ASSEMBLY
23	½" THICK ALUMINUM HATCH
24	½" x 2" ALUMINUM REINFORCING FLAT BAR
25	LOCK PLATE LOCKING PLATE
26	RECESSED ALUMINUM HANDLE

- NOTES:**
- CONTRACTOR SHALL PROVIDE A COMPLETE SET OF SHOP DRAWINGS FOR ENGINEERS APPROVAL.
 - ALL ELECTRICAL WORK SHALL CONFORM TO LATEST NATIONAL, STATE AND LOCAL CODES AND REQUIREMENTS.
 - THE ELECTRICAL COMPONENTS WERE DESIGNED BASED ON PUMP MOTORS WITH A MINIMUM RATING OF 2.4 HP WITH ACROSS THE LINE STARTERS.
 - PUMPS TO HAVE STAGGERED START SO THAT ONLY 1 PUMP CAN BE STARTED AT ANY 1 TIME WITH A MINIMUM 5 SECOND ADJUSTABLE DELAY.
 - ALL ABOVE GRADE CONDUIT SHALL BE RIGID METALLIC. MEYERS HUBS SHALL BE USED AT ALL PANEL CONNECTIONS.
 - CONDUIT NUMBER AND SIZE ARE APPROXIMATE. CONTRACTOR TO VERIFY CONDUIT SIZE AND ENSURE ITS ADEQUACY FOR ITS INTENDED PURPOSE.
 - ALL ENCLOSURES SHALL BE NEMA 4X OR BETTER AS SHOWN ON THE ELECTRICAL SERVICE ARRANGEMENT.
 - ALL DISCONNECTS SHALL BE 240V HEAVY DUTY FUSIBLE 3 POLE IN A NEMA 4X SS ENCLOSURE.
 - ALARM HORN AND LIGHT ARE ACTIVATED ANYTIME THE PUMP CONTROLS INITIATES AN ALARM. SILENCER FOR ALARM HORN SHALL BE LOCATED IN PUMP CONTROL PANEL.
 - ALL FIELD WIRING AND CONNECTIONS BETWEEN PUMPS, FLOAT SWITCHES AND CONTROL PANEL SHALL BE BY CONTRACTOR.
 - FURNISH AND INSTALL SUITABLY SIZED EQUIPMENT GROUNDING CONDUCTORS IN ALL FEEDERS AND BRANCH CIRCUITS.
 - EQUIPMENT RACK SHALL BE CONSTRUCTED OF #1 OR BETTER PRESSURE TREATED LUMBER.
 - ALL ASSEMBLY AND MOUNTING HARDWARE SHALL BE 316 STAINLESS STEEL MINIMUM.



PROFESSIONAL SEAL



SUBMITTAL
FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

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KEY PLAN

SHEET

GRINDER PUMP STATION DETAILS

PS1.00

DESIGN: CNH
DRAWN: CNH
REVIEW: DAM
CN 10145

W:\2024\100224171 - Beaufort Maritime Museum\CD\CD\Drawings\Gen\Construction\Pump Station\PS1.001.dwg 4:49 PM 2/5/2024

GRINDER PUMP STATION

PART 1 GENERAL

1.01. THE REQUIREMENT

- A. THIS SECTION SHALL COVER THE FURNISHING AND INSTALLATION OF THE INDIVIDUAL, PACKAGE-TYPE GRINDER PUMPING STATION AND ACCESSORIES, AS REQUIRED TO SERVE THE SINGLE-FAMILY RESIDENCE INDICATED ON THE DRAWINGS.
B. THE INSTALLATION SHALL CONSIST OF FULLY ASSEMBLED GRINDER PUMP PACKAGE, INCLUDING A DUAL (DUPEX) GRINDER PUMP AND MOTOR, BASIN ASSEMBLY, INTERNAL DISCHARGE PIPING, CHECK VALVE, SHUT OFF VALVE, QUICK-DISCONNECT SLIDE RAIL SYSTEM, LIFT CHAIN, HIGH WATER ALARM, FLOAT, STAINLESS STEEL LEVEL CONTROL BRACKET, JUNCTION BOX, INLET FITTING AND REMOTE ALARM PANEL.
C. THE PUMP BASIN SHALL BE A COMPLETELY FACTORY ASSEMBLED UNIT, REQUIRING ONLY MINOR ADJUSTMENTS AND REASSEMBLY IN THE FIELD.

1.02. SUBMITTALS

- A. SHOP DRAWINGS AND MANUFACTURER'S LITERATURE: THE PREFABRICATED FRP PUMP BASIN MANUFACTURER SHALL PREPARE SHOP DRAWINGS FOR THE COMPLETE PUMP BASIN INCLUDING STRUCTURAL AND OPENING DETAILS, EQUIPMENT MOUNTING AND LOCATION DETAILS, AND MANUFACTURER'S CUT SHEETS FOR EACH ITEM OF EQUIPMENT IN THE PUMP BASIN. THE MAIN COMPONENT OF THE SUBMITTALS SHALL BE AN 8 1/2" X 11" DRAWING OF THE COMPLETE PREFABRICATED FRP PUMP BASIN PREPARED BY THE MANUFACTURER. MANUFACTURERS' CUT SHEETS SHALL INDICATE CAPACITIES, DIMENSIONS, AND MATERIALS OF CONSTRUCTION FOR ALL EQUIPMENT IN THE PREFABRICATED FRP PUMP BASIN.

1.03. OPERATING AND MAINTENANCE MANUALS:

- A. THE PREFABRICATED FRP PUMP BASIN SUPPLIER SHALL PREPARE A COMPLETE OPERATIONS AND MAINTENANCE (O&M) MANUAL FOR THE COMPLETE PUMP BASIN. THE O&M MANUAL SHALL INCLUDE ROUTINE MAINTENANCE REQUIREMENTS AND SPARE PARTS LISTS FOR EACH MAJOR ITEM OF EQUIPMENT IN THE PUMP BASIN. THE NAMES AND TELEPHONE NUMBERS OF COMPANIES WHERE SPARE PARTS AND/OR TRAINED SERVICE TECHNICIANS ARE AVAILABLE SHALL ALSO BE INCLUDED FOR EACH ITEM OF EQUIPMENT.

1.04. DELIVERY AND HANDLING

- A. CONDITIONS FOR DELIVERY AND HANDLING:
1. THE MANUFACTURER OF THE PREFABRICATED PACKAGE-TYPE GRINDER PUMPING STATION SHALL COORDINATE WITH THE CONTRACTOR SO THAT THE STATION IS DELIVERED TO THE JOBSITE ON TIME FOR INSTALLATION. HANDLING INSTRUCTIONS SHALL BE PROVIDED BY THE PACKAGE STATION MANUFACTURER WITH THE CONTRACTOR TO INSURE PROPER HANDLING OF THE PACKAGE STATION. AFTER DELIVERY TO THE JOBSITE, THE CONTRACTOR SHALL STORE THE MOTOR CONTROL PANEL OFF THE GROUND IN A DRY LOCATION UNTIL IT IS MOUNTED AND SUPPLIED WITH ELECTRICAL SERVICE. THE CONTRACTOR SHALL ALSO ENSURE THAT ALL PUMP POWER AND CONTROL CABLES, AS WELL AS FLOAT CABLES, ARE PROTECTED FROM SUBMERGENCE UNTIL THEY ARE PROPERLY INSTALLED AND SEALED.

1.05. GUARANTEE

- A. THE PREFABRICATED PACKAGE-TYPE GRINDER PUMPING STATION MANUFACTURER SHALL GUARANTEE THE COMPLETE PREFABRICATED FRP PUMP BASIN TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF DELIVERY.

1.06. MANUFACTURER

- A. THE DUPEX GRINDER PUMP PACKAGE SHALL BE MANUFACTURED BY ABS, FLYGT, HYDRAMATIC, ZOELLER, OR APPROVED EQUAL.
B. OTHER MANUFACTURERS/VENDORS DESIRING TO FURNISH THE DUPEX PACKAGE PUMP STATIONS SHALL SUBMIT COMPLETE DESCRIPTIVE DATA ON THE PROPOSED PUMP TO THE ENGINEER NOT LESS THAN 14 DAYS PRIOR TO THE SCHEDULED BID OPENING TO ALLOW TIME FOR EVALUATION BY THE ENGINEER. THE ENGINEER SHALL THEN ISSUE AN ADDENDUM TO LIST THE MANUFACTURER OF PUMP STATIONS THAT ARE DEEMED ACCEPTABLE. PUMP STATIONS THAT ARE NOT PRE-APPROVED BY THE ENGINEER SHALL NOT BE USED.

PART 2 PRODUCTS

2.01. GRINDER PUMP

- A. DESCRIPTION & OPERATING CONDITIONS:
1. THE GRINDER PUMP SHALL BE CAPABLE OF GRINDING AND PUMPING RAW, UNSCREENED SEWAGE AT THE FOLLOWING OPERATING CONDITION:
a. CONDITION 1 - 20 GPM @ 88 FEET TDH
B. THE GRINDER UNIT SHALL BE CAPABLE OF SHEARING AND REDUCING TO A FINE SLURRY ALL MATERIAL NORMALLY FOUND IN DOMESTIC AND COMMERCIAL SEWAGE SUCH AS SANITARY NAPKINS, DISPOSABLE DIAPERS, CLOTH DIAPERS, WASH RAGS, WOOD, PLASTIC, ETC. THE SLURRY SHALL BE CAPABLE OF FREELY PASSING THROUGH A 1 1/2" PIPING SYSTEM INCLUDING CHECK AND GATE VALVES.
C. THE PUMP SHALL BE OF THE CENTRIFUGAL TYPE WITH THE ROTATING CUTTER MOUNTED ON THE PUMP SHAFT DIRECTLY AGAINST THE IMPELLER. THE STATIONARY CUTTER SHALL BE MOUNTED IN AN ADJUSTABLE BOTTOM PLATE. THE STATIONARY CUTTER SHALL HAVE SLOTS TO FACILITATE BETTER FLOW. THE BOTTOM PLATE SHALL BE CAST WITH GROOVES THREADING OUTWARD FROM THE CENTER OPENING OF THE PLATE TO THE OUTER DIAMETER. THE IMPELLER SHALL BE A MULTIPLE VANE CENTRIFUGAL TYPE. THE CUTTER MATERIAL SHALL BE SIMILAR TO AN ANSI 440C STAINLESS STEEL WITH THE ADDITION OF COBALT, VANADIUM, AND MOLYBDENUM FOR SUPERIOR ABRASION RESISTANCE AND A HARDNESS OF 58-62 ROCKWELL C. THE CUTTING ELEMENTS AND IMPELLER SHALL BE DESIGNED TO KEEP THE OVERHUNG LOAD DISTANCE TO A MINIMUM. ALL FASTENERS SHALL BE 304 STAINLESS-STEEL.
D. THE COMMON PUMP AND MOTOR SHAFT SHALL BE 420 STAINLESS-STEEL SUPPORTED ON THE IMPELLER END BY A HEAVY-DUTY SINGLE ROW BALL BEARING ON 1.0-2.5 HP PUMPS, OR A HEAVY-DUTY DOUBLE ROW BALL BEARING ON 3.5-4.0 HP PUMPS. THE OPPOSITE END OF THE SHAFT IS SUPPORTED ON A SEALED SINGLE ROW BALL BEARING. BALL BEARINGS SHALL BE DESIGNED FOR 50,000 HOURS B-10 LIFE.
E. SHAFT SEALS: EACH PUMP SHALL BE EQUIPPED WITH TWO (2) SEALS. THE LOWER SEAL (PUMP SIDE) SHALL BE OF THE MECHANICAL TYPE WITH SILICON CARBIDE FACES. THE UPPER SEAL SHALL BE A LIP TYPE SEAL. THE SEALS SHALL BE SEPARATED BY AN OIL

CHAMBER PROVIDING COOLING AND LUBRICATION OF THE SEALS, AND A BARRIER BETWEEN THE PUMPED FLUID, AND THE DRY MOTOR CHAMBER.

- F. SEAL FAILURE WARNING SYSTEM: AN ELECTRIC PROBE SHALL BE PROVIDED IN THE OIL CHAMBER TO DETECT THE PRESENCE OF WATER IN THE OIL. A SOLID-STATE DEVICE MOUNTED IN THE PUMP CONTROL PANEL OR IN A SEPARATE ENCLOSURE SHALL SEND A LOW VOLTAGE, LOW AMPERAGE SIGNAL TO THE PROBE. IF WATER ENTERS THE OIL CHAMBER IN SUFFICIENT QUANTITY TO WARRANT CONCERN, THE PROBE SHALL ACTIVATE A WARNING LIGHT IN THE CONTROL PANEL.

2.02. MOTOR

- A. THE PUMP MOTOR SHALL BE OF THE SUBMERSIBLE TYPE, RATED 2.5 HORSEPOWER, AND SHALL OPERATE ON 208 VOLT, 60 HZ, THREE-PHASE POWER. MOTOR SPEED SHALL BE 3,450 RPM. THE MOTOR SHALL BE CAPACITOR START; CAPACITOR RUN TYPE FOR HIGH STARTING AND RUNNING TORQUE.
B. THE ROTOR AND STATOR SHALL BE ENCLOSED IN A CAST IRON OUTER HOUSING. THE STATOR WINDING SHALL BE OF THE OPEN TYPE WITH CLASS B INSULATION, GOOD FOR 130°C (266°F) MAXIMUM OPERATING TEMPERATURE. THE WINDING HOUSING SHALL BE FILLED WITH CLEAN, HIGH DIELECTRIC OIL THAT LUBRICATES BEARINGS AND SEALS AND TRANSFERS HEAT FROM THE WINDINGS AND ROTOR TO THE OUTER SHELL. AIR-FILLED MOTORS, WHICH DO NOT HAVE SUPERIOR HEAT DISSIPATING CAPABILITIES OF OIL-FILLED MOTORS, SHALL NOT BE CONSIDERED EQUAL.
C. STATOR SHALL BE BOLTED TO SEAL PLATE FOR EASY MOTOR REPLACEMENT.
D. THE MOTOR SHALL HAVE A HEAT SENSOR THERMOSTAT AND OVERLOAD ATTACHED TO THE TOP END OF THE MOTOR WINDINGS TO STOP THE MOTOR IF THE MOTOR WINDING TEMPERATURE REACHES 200° F. THE HIGH TEMPERATURE SHUTOFF WILL CAUSE THE PUMP TO CEASE OPERATION, SHOULD A CONTROL FAILURE CAUSE THE PUMP TO RUN IN A "DRY" CONDITION. THE THERMOSTAT SHALL RESET AUTOMATICALLY WHEN THE MOTOR COOLS TO A SAFE OPERATING TEMPERATURE.

2.03. CORROSION PROTECTION

- A. ALL IRON CASTINGS SHALL BE PRE-TREATED WITH PHOSPHATE AND CHROMIC RINSE AND SHALL BE PAINTED BEFORE MACHINING, AND ALL MACHINED SURFACES EXPOSED TO THE SEWAGE SHALL BE RE-PAINTED. ALL FASTENERS SHALL BE TYPE 302 STAINLESS STEEL.

2.04. POWER CORD

- A. THE MOTOR POWER CORD SHALL BE 14-7 SOOW AND SHALL BE FASTENED BY MEANS OF A CORD GRIP IN THE TOP OF THE PUMP. THE TOP OF THE PUMP SHALL CONTAIN A WATERPROOF JUNCTION BOX WHICH WILL PROVIDE SPACE TO CONNECT POWER CORD TO THE MOTOR LEADS. THE MOTOR LEADS SHALL SEAL BETWEEN THE MOTOR HOUSING AND JUNCTION BOX BY MEANS OF A RUBBER COMPRESSION FITTING AROUND EACH WIRE. THE POWER CORD SHALL HAVE A GREEN CARRIER GROUND CONDUCTOR THAT ATTACHES TO THE MOTOR FRAME.

2.05. PUMP BASIN (WET WELL)

- A. FIBERGLASS REINFORCED POLYESTER PUMP BASIN: UNLESS OTHERWISE INDICATED THE PLASTIC TERMINOLOGY USED IN THIS SPECIFICATION SHALL BE IN ACCORDANCE WITH THE DEFINITIONS GIVEN IN AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) DESIGNATIONS D893 - DEFINITIONS OF TERMS RELATING TO PLASTICS.
B. THE PUMP BASIN SHALL BE 48" DIAMETER WITH DEPTH AS SHOWN IN THE DRAWINGS. THE BASIN SHALL BE MOLDED OF FIBERGLASS-REINFORCED POLYESTER RESIN MANUFACTURED BY THE LAY-UP AND SPRAY TECHNIQUE TO ASSURE THAT THE INTERIOR

OF SUFFICIENT LENGTH TO REACH THE JUNCTION BOX WITH NO SPLICES. LEVEL CONTROLS SHALL BE UL LISTED.

2.25. PUMP CONTROL PANEL

A. ENCLOSURE

- 1. THE CONTROL EQUIPMENT ENCLOSURE SHALL BE A NEMA 4x AND BE OF SUITABLE SIZE TO HOUSE ALL COMPONENTS FOR A DUPEX PUMP SET UP. A LOCKING HASP SHALL BE PROVIDED IN ADDITION TO SCREW CLAMP TYPE LATCHES. ENCLOSURE SHALL BE FABRICATED FROM 14-GAUGE STEEL. THE TOP OF THE ENCLOSURE SHALL SERVE AS A DRIP SHIELD AND THE SEAM FREE SIDES SHALL PREVENT RAIN AND SLEET FROM ENTERING. THE INNER PANEL SHALL BE MADE OF 12-GAUGE STEEL AND SHALL BE PAINTED WHITE. THE ENCLOSURE AND INTERIOR PANEL SHALL BE PAINTED WITH HEAT FUSED MODIFIED POLYESTER POWDER, ELECTROSTATICALLY APPLIED OVER A PHOSPHATIZED BASE.
B. HINGED INNER DOOR
1. AN INNER DOOR SHALL BE FURNISHED, OVERLOAD RESET PUSH BUTTONS, CIRCUIT BREAKERS, SWITCHES, AND PILOT LIGHTS SHALL BE THE ONLY COMPONENTS ACCESSIBLE WITH THE DOOR CLOSED. THE DOOR SHALL BE HINGED AND MAY BE OPENED WHEN SERVICE IS REQUIRED.
C. LINE TERMINAL BLOCK
1. TERMINAL BLOCK SHALL BE FURNISHED WITH PROPERLY SIZED LINE LUGS TO ACCEPT THE MAIN POWER SOURCE ENTERING THE CONTROL PANEL. LOAD LUGS SHALL BE ADEQUATE TO ACCEPT ALL REQUIRED LOAD SIDE WIRING REQUIREMENTS. ALL LIVE PARTS SHALL BE FULLY SHIELDED.
D. MOTOR CIRCUIT BREAKER (208 VAC)
1. A PROPERLY SIZED, MOLDED CASE, THERMAL-MAGNETIC CIRCUIT BREAKER SHALL BE PROVIDED FOR EACH PUMP MOTOR. LINE AND LOAD SIDES SHALL BE EQUIPPED WITH LUGS PROPERLY SIZED FOR THE HORSEPOWER AND CURRENT RATING OF THE MOTOR(S). THE MINIMUM INTERRUPTING RATING SHALL BE 18,000 RMS SYMMETRICAL AMPS BUT SHALL BE GREATER THAN THE AVAILABLE FAULT CURRENT.
2. MOTOR CIRCUIT BREAKERS TO HAVE AN INTEGRAL LOCKOUT FEATURE IN COMPLIANCE WITH THE LATEST REVISION OF THE NEC AND OSHA LOCKOUT/TAGOUT REQUIREMENTS.
E. TRANSFORMER PRIMARY CIRCUIT BREAKER
1. A PROPERLY SIZED, TWO-POLE, MOLDED CASE CIRCUIT BREAKER SHALL BE FURNISHED AHEAD OF THE CONTROL POWER 120-VAC POWER TRANSFORMER FOR SHORT CIRCUIT PROTECTION AND DISCONNECTING POWER TO THE TRANSFORMER. THE CIRCUIT BREAKER SHALL CONFORM TO THE SPECIFICATIONS FOR THE MOTOR CIRCUIT BREAKER(S).
F. CONTROL POWER TRANSFORMER
1. AN INDUSTRIAL QUALITY CONTROL TRANSFORMER SHALL BE FURNISHED TO PROVIDE CONTROL VOLTAGE. THE TRANSFORMER SHALL BE FURNISHED TO PROVIDE ADEQUATE KVA RATING TO PROVIDE 120-VAC POWER FOR ALL ITEMS REQUIRED IN THE CONTROL AND ALARM CIRCUITS. TRANSFORMER SHALL BE PROTECTED IN ITS SECONDARY BY PROPERLY SIZED FUSE AND/OR CIRCUIT BREAKER(S).
G. MOTOR CONTROLLER
1. THE MOTOR CONTROLLER SHALL BE "ACROSS THE LINE" STARTERS.

SURFACE IS SMOOTH AND RESIN RICH. THE BASIN SHALL HAVE A MINIMUM WALL THICKNESS OF 3/8 INCH. A TOP FLANGE AND ANTI-FLOTATION COLLAR EXTENDING A MINIMUM OF 4" BEYOND THE O.D. OF THE BASIN WALL SHALL BE PROVIDED.

- C. THE BOTTOM LAMINATE SHALL HAVE LESS THAN 0.375 INCHES OF CENTER ELASTIC DEFLECTION (DEFORMATION) WHEN IN SERVICE IN TOTALLY SUBMERGED CONDITIONS.

2.06. PHYSICAL PROPERTIES

- A. PUMP BASIN FRP WALL LAMINATE: THE PUMP BASIN FRP WALL LAMINATE MUST BE DESIGNED TO WITHSTAND WALL COLLAPSE OR BUCKLING BASED ON THE FOLLOWING ASSUMPTIONS AND THIRD-PARTY SPECIFICATIONS:
1. HYDROSTATIC PRESSURE OF 62.4 LBS. PER SQUARE FOOT
2. SATURATED SOIL WEIGHT OF 120 LBS. PER CUBIC FOOT
3. SOIL MODULUS OF 700 POUNDS PER SQUARE FOOT
4. PIPE STIFFNESS VALUES AS SPECIFIED IN ASTM D3753
B. THE PUMP BASIN FRP LAMINATE MUST BE CONSTRUCTED TO WITHSTAND OR EXCEED TWO TIMES THE ASSUMED LOADING ON ANY DEPTH OF THE PUMP BASIN.

2.07. PUMP BASIN TOP FLANGE

- A. THE PUMP BASIN TOP FLANGE SHALL HAVE AN OUTSIDE DIAMETER AT LEAST 4.0 INCHES GREATER THAN THE INSIDE DIAMETER OF THE WELL.
B. A SIX-HOLE PATTERN SHALL ACCOMMODATE THE MOUNTING OF A COVER WITH AT LEAST 0.375 INCHES IN DIAMETER 316 SERIES STAINLESS STEEL FASTENERS. NON-CORRODING STAINLESS STEEL THREADED INSERTS SHALL BE FULLY ENCAPSULATED WITH NON-CONTINUOUS MAT OR CHOPPED-STRAND GLASS FIBER REINFORCEMENT. THE INSERTS SHALL HAVE AN OFFSET TAB TO PREVENT STRIPPING OR SPINNING OUT WHEN REMOVING AND REINSERTING COVER FASTENERS.

2.08. STEEL ANTI-FLOTATION FLANGE

- A. THE STEEL ANTI-FLOTATION FLANGE SHALL BE CONSTRUCTED FROM 0.1875 INCHES THICK ASTM A36 STRUCTURAL STEEL PLATE, ENCAPSULATED IN AT LEAST 0.125 INCHES OF CHOPPED-STRAND GLASS FIBER REINFORCEMENT ON ALL SIDES. THE STEEL ANTI-FLOTATION FLANGE SHALL BE SQUARE WITH OUTSIDE DIMENSIONS OF AT LEAST 4.0 INCHES GREATER THAN THE PUMP BASIN INSIDE DIAMETER. THE STEEL ANTI-FLOTATION FLANGE SHALL BE ATTACHED TO THE PUMP BASIN BOTTOM WITH CHOPPED-STRAND GLASS FIBER REINFORCEMENT. THE CONTRACTOR SHALL PLACE THE PUMP BASIN ON A CONCRETE PAD AND COVER THE ENTIRE STEEL ANTI-FLOTATION FLANGE. THE AMOUNT OF GROUT SHALL BE SUFFICIENT TO PREVENT FLOTATION OF THE PUMP BASIN BASED ON THE JOBSITE CONDITIONS. THE STEEL ANTI-FLOTATION FLANGE SHALL NOT REQUIRE BOLT HOLES TO SECURE IT TO THE CONCRETE PAD.

2.09. PUMP QUICK DISCONNECT MOUNTING STUDS

- A. SHALL BE 316 STAINLESS STEEL THREADED STUDS OF AT LEAST 0.375 INCHES IN DIAMETER SHALL BE USED. THE STUDS SHALL FIRST BE THREADED INTO THE 0.1875" INCHES THICK ASTM A36 STRUCTURAL STEEL ANTI-FLOTATION FLANGE/BOTTOM OF THE PUMP BASIN AND THEN WELDED INTO PLACE. ONCE INSTALLED, THE STUDS SHALL BE SEALED WITH AT LEAST TWO LAYERS OF NON-CONTINUOUS GLASS FIBER MAT OR CHOPPED-STRAND GLASS FIBER REINFORCEMENT.

H. ELAPSED TIME METERS

- 1. SIX-DIGIT, NON-RESETTING ELAPSED TIME METERS SHALL BE MOUNTED IN THE CONTROL PANEL ENCLOSURE TO RECORD THE RUNNING TIME OF EACH PUMP.

I. CONDENSATION STRIP HEATER WITH THERMOSTAT

- 1. A STRIP HEATER SHALL BE FURNISHED TO PREVENT CONDENSATION WITHIN THE CONTROL PANEL ENCLOSURE. THE HEATER SHALL BE CONTROLLED BY A PANEL MOUNTED, ADJUSTABLE THERMOSTAT.
2. PHASE & VOLTAGE MONITOR
3. A PHASE FAILURE, REVERSAL AND UNDER VOLTAGE MONITOR SHALL BE SUPPLIED TO PREVENT THE MOTORS FROM RUNNING UNDER LOW VOLTAGE, PHASE LOSS, OR PHASE REVERSAL CONDITIONS. THE MONITOR SHALL LOCK OUT THE CONTROL CIRCUIT UNTIL THE PROBLEM IS CORRECTED AND AUTOMATICALLY RESET.

J. LIGHTNING ARRESTOR

- 1. SUITABLE LIGHTNING ARRESTORS SHALL BE PROVIDED TO PROTECT MOTORS AND CONTROL EQUIPMENT FROM LIGHTNING INDUCED LINE SURGES.

K. THRU - DOOR OVERLOAD RESET PUSH BUTTONS

- 1. OVERLOAD RESET PUSH BUTTONS SHALL BE PROVIDED FOR EACH OVERLOAD RELAY. PUSH BUTTONS SHALL BE MOUNTED SO THAT WITH THE INNER DOOR CLOSED, OVERLOAD RELAYS MAY BE RESET WITHOUT ENTERING HIGH VOLTAGE COMPARTMENT.

L. SWITCHES

- 1. HEAVY-DUTY INDUSTRIAL GRADE OIL-TIGHT SWITCHES SHALL BE PROVIDED FOR EACH PUMP FOR "HAND/OFF/AUTOMATIC" OPERATION SELECTION. ALL SWITCH COMPONENTS SHALL BE MADE OF CORROSION RESISTANT METALS AND POLYESTERS. CONTACT BLOCKS SHALL BE MADE OF SEE-THROUGH POLYCARBONATE FOR SIMPLIFIED INSPECTION OF CONTACTS. CAMS AND STROKERS SHALL BE TEFLON IMPREGNATED FOR ABRASION FREE SERVICE WITHOUT LUBRICATION. THE SWITCHES SHALL BE LABELED "H-O-A" AND HAVE A VOLTAGE RATING OF 120 VAC.

M. PILOT LIGHTS

- 1. FULL VOLTAGE HEAVY-DUTY INDUSTRIAL GRADE OIL-TIGHT PILOT LIGHTS SHALL BE PROVIDED. ALL PILOT LIGHT COMPONENTS SHALL BE MADE OF CORROSION RESISTANT METALS AND POLYESTERS. AN INSULATED SOCKET SHALL BE FURNISHED TO ELIMINATE THE POSSIBILITY OF SHOCK DURING BULB CHANGES. LENS SHALL BE MADE OF LEXAN AND GREEN IN COLOR. EACH PILOT LIGHT SHALL BE LABELED "PUMP 1" AND "PUMP 2"
N. SEAL FAIL ALARM CIRCUIT WITH TEST PUSH BUTTON

- 1. THE CONTROL PANEL SHALL BE EQUIPPED WITH A CONDUCTANCE ACTUATED CONTROL RELAY THAT SHALL RESPOND TO CURRENT FROM A MOISTURE SENSOR IN THE PUMP SEAL CHAMBER. RELAY CONTACTS SHALL BE RATED AT 16 AMPS MINIMUM. ALL MOLDED STRUCTURAL PARTS SHALL BE OF HIGH MECHANICAL AND DIELECTRIC STRENGTH, STRUCTURAL DIMENSIONALLY STABLE, ARC RESISTANT, THERMOSETTING PLASTIC. BASE PLATE SHALL BE HIGH STRENGTH, DIE CAST ALUMINUM ALLOY. SOLID-STATE TYPE RELAYS SHALL NOT BE CONSIDERED ACCEPTABLE FOR SEAL FAIL MONITORING APPLICATIONS. AN AMBER ALARM PILOT LIGHT SHALL ILLUMINATE UPON ALARM CONDITION. EACH PILOT LIGHT SHALL INCLUDE CONTACTS THAT

2.10. DISCHARGE COUPLING

- A. A 300 SERIES STAINLESS STEEL 1 1/2" NPT FULL COUPLING FULLY WELDED IN THE CENTER OF A 14-GAUGE 300 STAINLESS STEEL PLATE, SHALL BE FACTORY INSTALLED WITH AT LEAST 0.375 INCHES IN DIAMETER 316 STAINLESS STEEL FASTENERS. THE PUMP BASIN WALL PENETRATIONS SHALL BE SEALED WITH SILICONE SEALER. A SUFFICIENT QUANTITY AND TYPE OF "LINK-SEAL" TYPE MODULAR, MECHANICAL, INTER-LOCKING, SYNTHETIC RUBBER LINKS SHAPED TO CONTINUOUSLY FILL THE ANNULAR SPACE BETWEEN THE DISCHARGE PIPE AND THE ALUMINUM SLEEVE SHALL BE USED TO PROVIDE A HYDROSTATIC SEAL. THE ALUMINUM SLEEVE SHALL BE BOLTED ON THE PUMP BASIN WALL AND SEALED WITH A SILICONE SEALER.

2.11. ELECTRICAL COUPLING

- A. A 300 SERIES STAINLESS STEEL NPT FULL COUPLING FULLY WELDED IN THE CENTER OF A 14-GAUGE 300 SERIES STAINLESS STEEL PLATE, SHALL BE FACTORY INSTALLED WITH AT LEAST 0.375 INCHES IN DIAMETER 316 STAINLESS STEEL FASTENERS. THE PUMP BASIN WALL PENETRATIONS SHALL BE SEALED WITH SILICONE SEALER.

2.12. INLET HUB

- A. A 4" NOMINAL PIPE DIAMETER THERMOPLASTIC PIPE GROMMET SHALL BE FIELD INSTALLED BY THE CONTRACTOR IN A 5" DIAMETER HOLE IN THE PUMP BASIN WALL. THE PIPE GROMMET SHALL PROVIDE MECHANICAL SEAL AND SHALL NOT REQUIRE ANY SECONDARY SEALING MATERIALS.

2.13. FLOAT BRACKET

- A. THE FLOAT BRACKET SHALL BE FABRICATED FROM 300 SERIES STAINLESS STEEL WITH FOUR COMPRESSION STYLE CORD GRIPS TO MAINTAIN FLOAT LEVEL POSITION. IT SHALL BE FACTORY INSTALLED WITH AT LEAST 0.375 INCHES IN DIAMETER 316 STAINLESS STEEL FASTENERS. THE PUMP BASIN WALL PENETRATIONS SHALL BE SEALED WITH SILICONE SEALER.

2.14. VENTILATION:

- A. PUMP BASIN VENTILATION SHALL COMPLY WITH ALL APPLICABLE CODES.

2.15. SLIDE RAIL ASSEMBLY

- A. THE SLIDE RAIL ASSEMBLY SHALL INCLUDE PUMP QUICK DISCONNECT DISCHARGE ELBOW, SEALING FLANGE WITH RAIL GUIDE, UPPER GUIDERAIL BRACKET, LIFTING CABLE AND GUIDERAILS.

2.16. PUMP QUICK DISCONNECT (QDC) DISCHARGE ELBOW

- A. THE PUMP QUICK DISCONNECTS (QDC) DISCHARGE ELBOW, MADE OF CAST IRON, DESIGNED TO MOUNT DIRECTLY TO THE PUMP BASIN FLOOR, SHALL BE SUPPLIED FOR EACH PUMP. IT SHALL HAVE A STANDARD ANSI B16.1 125 LB. FLANGE, FLAT FACED AND DRILLED ON THE DISCHARGE SIDE WITH A MACHINED MATING PUMP CONNECTION. THE DESIGN SHALL BE SUCH THAT THE CONNECTION BETWEEN THE PUMP AND QDC IS MADE WITHOUT THE NEED FOR ANY NUTS, BOLTS, OR GASKETS.

2.17. SEALING FLANGE WITH RAIL GUIDE

- A. THE SEALING FLANGE WITH RAIL GUIDE SHALL BE MOUNTED ON EACH PUMP DISCHARGE. IT SHALL HAVE A MACHINED MATING FLANGE, WHICH MATCHES THE QDC DISCHARGE ELBOW. THE SEALING OF THIS PUMP AND DISCHARGE PIPING CONNECTION SHALL BE ACCOMPLISHED BY A SIMPLE LINEAR DOWNWARD MOTION OF THE PUMP ALONG THE GUIDERAILS CULMINATING WITH THE ENTIRE WEIGHT OF THE PUMPING UNIT SUPPORTED BY THE QDC DISCHARGE ELBOW.

2.18. UPPER GUIDERAIL BRACKET

- A. THE UPPER GUIDERAIL BRACKET, MADE FROM ASTM A283D STRUCTURAL STEEL, SHALL ALIGN AND SUPPORT THE TWO GUIDERAILS AT THE TOP OF THE PUMP BASIN. IT SHALL BOLT DIRECTLY TO THE HATCH FRAME (OR ALUMINUM UPPER GUIDERAIL BRACKET IN COMPLIANCE WITH THE LATEST REVISION OF THE NEC AND OSHA LOCKOUT/TAGOUT REQUIREMENTS) FOR SECURE RAIL INSTALLATION.

2.19. LIFTING CABLE

- A. THE LIFTING CABLE SHALL BE 300 SERIES STAINLESS STEEL WITH A DIAMETER OF AT LEAST 3/16" AND A NOMINAL BREAKING STRENGTH OF AT LEAST 2,500 POUNDS.

2.20. GUIDERAILS

- A. THE GUIDERAILS SHALL BE 2-INCH SCHEDULE 40, 300 SERIES STAINLESS STEEL PIPES. THERE SHALL BE TWO GUIDERAILS PER PUMP TO INSURE PROPER ALIGNMENT WITH THE QDC DISCHARGE ELBOW AND STATIONARY PIPING.

2.21. BASIN ACCESS HATCH

- A. THE ACCESS HATCH SHALL BE CONSTRUCTED OF 0.250 INCHES THICK MILL FINISH ALUMINUM DIAMOND PLATE WITH 316 STAINLESS STEEL HARDWARE. THE ACCESS HATCH SHALL HAVE A RECESSED HANDLE AND LOCKING PIN. THE HATCH SHALL BE HELD OPEN IN THE VERTICAL POSITION BY MEANS OF A HOLD OPEN ARM OF CORROSION RESISTANT DESIGN. THE COVER SHALL BE MOUNTED TO THE PUMP BASIN WITH AT LEAST SIX 316 STAINLESS STEEL FASTENERS OF AT LEAST 0.375 INCHES IN DIAMETER.

2.22. BALL CHECK VALVE

- A. BALL CHECK VALVES SHALL BE DESIGNED TO BE FULLY AUTOMATIC IN OPERATION AND SPECIFICALLY SUITED TO SERVE WHERE SOLIDS, FIBERS OR HIGHLY VISCOUS MATERIALS ARE ENCOUNTERED. BALL CHECK VALVES WILL HAVE ONE MOVING PART, THE BALL, WHICH MOVES AUTOMATICALLY OUT OF THE PATH OF FLOW, PROVIDING AN UNOBSTRUCTED SMOOTH FLOW THROUGH THE VALVE BODY. UPON DISCONTINUATION OF FLOW THE BALL AUTOMATICALLY ROLLS BACK TO THE CLOSED POSITION, PROVIDING A POSITIVE SEAL AGAINST BACK PRESSURE OR BACKFLOW. THE BALL CHECK VALVE SHALL BE CONSTRUCTED FORM CORROSION RESISTANT PVC WITH THREADED FEMALE X FEMALE NPT CONNECTION, AND A NITRILE (BUNA-NI) BALL. BALL CHECK VALVES SHALL BE DESIGNED TO BE MAINTENANCE FREE AND SUITED FOR INSTALLATION IN THE HORIZONTAL OR VERTICAL POSITION. IN THE HORIZONTAL POSITION 20 FEET OF STATIC HEAD IS RECOMMENDED FOR PROPER SEATING. IN THE VERTICAL POSITION 10 FEET IS RECOMMENDED. THE VALVE SHALL BE SO CONSTRUCTED THAT BY UNSCREWING AND LIFTING OFF THE COVER, THE BALL MAY BE REMOVED AND REPLACED WITHOUT REMOVING THE VALVE FROM THE LINE. BALL CHECK VALVES WILL HAVE A SINKING BALL.

2.23. SHUT OFF VALVE

- A. A PVC TRUE UNION BALL TYPE SHUT OFF VALVE WITH TEFLON SEATS SHALL BE FURNISHED AS AN INTEGRAL PART OF THE INTERNAL PIPE ASSEMBLY. IF THE DISCHARGE DEPTH IS MORE THAN 2 FEET FROM THE SURFACE AN EXTENSION HANDLE SHALL BE SUPPLIED.

2.24. LEVEL CONTROLS

- A. A HEAVY-DUTY FLOAT SWITCH TETHERED TO THE GRINDER PUMP SHALL CONTROL PUMP "ON" AND "OFF" WATER LEVEL. A FLOAT SWITCH SHALL ALSO CONTROL THE ALARM WATER LEVEL. BOTH LEVEL SWITCHES SHALL CONSIST OF SEALED CORROSION-RESISTANT FLOATS WITH SJOW/A OR SOW/A JACKETED CABLE. THE CABLES SHALL BE

OF SUFFICIENT LENGTH TO REACH THE JUNCTION BOX WITH NO SPLICES. LEVEL CONTROLS SHALL BE UL LISTED.

2.25. PUMP CONTROL PANEL

A. ENCLOSURE

- 1. THE CONTROL EQUIPMENT ENCLOSURE SHALL BE A NEMA 4x AND BE OF SUITABLE SIZE TO HOUSE ALL COMPONENTS FOR A DUPEX PUMP SET UP. A LOCKING HASP SHALL BE PROVIDED IN ADDITION TO SCREW CLAMP TYPE LATCHES. ENCLOSURE SHALL BE FABRICATED FROM 14-GAUGE STEEL. THE TOP OF THE ENCLOSURE SHALL SERVE AS A DRIP SHIELD AND THE SEAM FREE SIDES SHALL PREVENT RAIN AND SLEET FROM ENTERING. THE INNER PANEL SHALL BE MADE OF 12-GAUGE STEEL AND SHALL BE PAINTED WHITE. THE ENCLOSURE AND INTERIOR PANEL SHALL BE PAINTED WITH HEAT FUSED MODIFIED POLYESTER POWDER, ELECTROSTATICALLY APPLIED OVER A PHOSPHATIZED BASE.
B. HINGED INNER DOOR
1. AN INNER DOOR SHALL BE FURNISHED, OVERLOAD RESET PUSH BUTTONS, CIRCUIT BREAKERS, SWITCHES, AND PILOT LIGHTS SHALL BE THE ONLY COMPONENTS ACCESSIBLE WITH THE DOOR CLOSED. THE DOOR SHALL BE HINGED AND MAY BE OPENED WHEN SERVICE IS REQUIRED.
C. LINE TERMINAL BLOCK
1. TERMINAL BLOCK SHALL BE FURNISHED WITH PROPERLY SIZED LINE LUGS TO ACCEPT THE MAIN POWER SOURCE ENTERING THE CONTROL PANEL. LOAD LUGS SHALL BE ADEQUATE TO ACCEPT ALL REQUIRED LOAD SIDE WIRING REQUIREMENTS. ALL LIVE PARTS SHALL BE FULLY SHIELDED.
D. MOTOR CIRCUIT BREAKER (208 VAC)
1. A PROPERLY SIZED, MOLDED CASE, THERMAL-MAGNETIC CIRCUIT BREAKER SHALL BE PROVIDED FOR EACH PUMP MOTOR. LINE AND LOAD SIDES SHALL BE EQUIPPED WITH LUGS PROPERLY SIZED FOR THE HORSEPOWER AND CURRENT RATING OF THE MOTOR(S). THE MINIMUM INTERRUPTING RATING SHALL BE 18,000 RMS SYMMETRICAL AMPS BUT SHALL BE GREATER THAN THE AVAILABLE FAULT CURRENT.
2. MOTOR CIRCUIT BREAKERS TO HAVE AN INTEGRAL LOCKOUT FEATURE IN COMPLIANCE WITH THE LATEST REVISION OF THE NEC AND OSHA LOCKOUT/TAGOUT REQUIREMENTS.
E. TRANSFORMER PRIMARY CIRCUIT BREAKER
1. A PROPERLY SIZED, TWO-POLE, MOLDED CASE CIRCUIT BREAKER SHALL BE FURNISHED AHEAD OF THE CONTROL POWER 120-VAC POWER TRANSFORMER FOR SHORT CIRCUIT PROTECTION AND DISCONNECTING POWER TO THE TRANSFORMER. THE CIRCUIT BREAKER SHALL CONFORM TO THE SPECIFICATIONS FOR THE MOTOR CIRCUIT BREAKER(S).
F. CONTROL POWER TRANSFORMER
1. AN INDUSTRIAL QUALITY CONTROL TRANSFORMER SHALL BE FURNISHED TO PROVIDE CONTROL VOLTAGE. THE TRANSFORMER SHALL BE FURNISHED TO PROVIDE ADEQUATE KVA RATING TO PROVIDE 120-VAC POWER FOR ALL ITEMS REQUIRED IN THE CONTROL AND ALARM CIRCUITS. TRANSFORMER SHALL BE PROTECTED IN ITS SECONDARY BY PROPERLY SIZED FUSE AND/OR CIRCUIT BREAKER(S).
G. MOTOR CONTROLLER
1. THE MOTOR CONTROLLER SHALL BE "ACROSS THE LINE" STARTERS.

Maritime Education Center

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CN PROJ #: 10145 SCO ID #: 23-26363-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600 RALEIGH, NORTH CAROLINA 27603 919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101 WILMINGTON, NORTH CAROLINA 28405 910-256-9277 WWW.WITHERSRAVENEL.COM

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PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

SITE PLAN SUBMITTAL

REVISIONS

Table with 4 columns: Revision number, Date, Description, and Comments. Includes revisions for ARCHITECT COMMENTS, OWNER & FIRE DEPT. COMMENTS, TOWN COMMENTS, and TOWN COMMENTS.

KEY PLAN

SHEET

GRINDER PUMP STATION SPECIFICATIONS

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SHALL ALLOW TESTING THE SEAL FAILURE CIRCUIT AND PILOT LIGHT BULB BY PUSHING.

O. SEAL FAILURE CIRCUIT TEST PUSH BUTTON (ILLUMINATED)

- HEAVY-DUTY INDUSTRIAL GRADE OIL-TIGHT PUSH BUTTONS SHALL BE PROVIDED FOR EACH SUBMERSIBLE PUMP MOTOR. ALL PUSH BUTTON COMPONENTS SHALL BE MADE OF CORROSION RESISTANT METALS AND POLYESTERS. CONTACT BLOCKS SHALL BE MADE OF SEE-THROUGH POLYCARBONATE FOR SIMPLIFIED INSPECTION OF CONTACTS. AN INSULATED SOCKET SHALL BE FURNISHED TO ELIMINATE THE POSSIBILITY OF SHOCK DURING BULB CHANGES. LENS SHALL BE MADE OF LEXAN AND AMBER IN COLOR. THE PUSH BUTTONS SHALL BE LABELED "P1 SEAL FAIL" AND "P2 SEAL FAIL", AND HAVE A VOLTAGE RATING OF 120 VAC.

P. PUMP ALTERNATOR CIRCUIT (FOR DUPLEX PUMP OPERATION)

- THE ELECTRO-MECHANICAL ALTERNATOR RELAY SHALL BE OF INDUSTRIAL DESIGN SPECIFICALLY FOR USE IN PUMP APPLICATIONS. IT SHALL HAVE SINGLE-POLE DOUBLE-THROW HEAVY-DUTY 10-AMP SILVER CADMIUM OXIDE CONTACTS ENCLOSED IN A TRANSPARENT COVER. THE SNAP ACTION CONTACTS SHALL TRANSFER WHEN THE UNIT IS DE-ENERGIZED. THE CIRCUIT SHALL NEVER BE CLOSED OR OPENED WHILE THE CURRENT IS BEING CONDUCTED. THE ALTERNATOR CIRCUIT SHALL ALTERNATE THE LEAD PUMP POSITION BETWEEN THE THREE PUMPS AND SHALL ALLOW THE LAG PUMPS TO START IN RESPONSE TO A RISING WATER LEVEL IN THE PUMP BASIN.
- PUMP CONTROL PANEL TO UTILIZE A TIME DELAY ON THE START OF THE LAG PUMPS TO PREVENT ALL PUMPS FROM STARTING SIMULTANEOUSLY.
- THE ALTERNATOR SHALL HAVE THE CAPABILITY TO ALLOW THE OPERATOR TO MANUALLY SELECT WHICH PUMP(S) TO OPERATE.
- ALTERNATOR SHALL BE MANUFACTURED BY DIVERSIFIED ELECTRONICS OR APPROVED EQUAL. ALTERNATIVE MANUFACTURERS MUST BE APPROVED BY THE OWNER.

Q. CONTROL RELAY(S)

- PLUG-IN CONTROL RELAYS WITH 120-VAC COILS SHALL BE PROVIDED AS REQUIRED. CONTACT RATING SHALL BE 5-AMPS (MINIMUM). SOCKETS SHALL BE OF THE SAME MANUFACTURE AS THE RELAYS AND HOLD-DOWN CLIPS SHALL BE FURNISHED TO PREVENT RELAY FORM SLIDING OUT OF THE SOCKET.

PART 3 EXECUTION

3.01. INSTALLATION OF PACKAGE PUMP STATION

A. PRIOR TO INSTALLING THE PUMP BASIN, THE CONTRACTOR SHALL FIELD AND OBTAIN APPROVAL FROM THE ENGINEER/OWNER.

B. THE SITE SHALL BE CAREFULLY EXCAVATED TO THE REQUIRED DEPTH, AND THE BASIN SHALL BE PLACED ON A BED OF NO. 67 WASHED STONE, APPROXIMATELY 8-INCHES THICK. THE BASIN SHALL BE CAREFULLY PLACED TO ENSURE PLUMBNESS AND TO ENSURE THAT THE COVER WILL BE SLIGHTLY ABOVE THE SURROUNDING GRADE. NOT LESS THAN 10 CUBIC FEET OF CONCRETE SHALL THEN BE PLACED AROUND THE BASE OF THE BASIN TO SECURE THE UNIT AND TO PROVIDE THE REQUIRED RESISTANCE TO HYDROSTATIC UPLIFT.

C. FINAL CONNECTION TO THE INCOMING 6" SEWER SHALL NOT BE MADE UNTIL SUCH TIME AS ALL COLLECTION FACILITIES ARE COMPLETE AND READY FOR SERVICE.

D. THE CONTRACTOR SHALL COORDINATE THE WORK TO MINIMIZE INCONVENIENCE TO THE OTHER TRADES WORKING ON THE PROJECT. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL DRESS UP AND RE-SEED THE DISTURBED AREA TO THE COMPLETE SATISFACTION OF THE OWNER.

E. THE CONTRACTOR SHALL COMPLETE THE REQUIRED ELECTRICAL CONNECTION IN ACCORDANCE WITH THE ELECTRICAL SPECIFICATIONS AS PRESENTED BELOW.

3.02. ELECTRICAL WORK

A. THE CONTRACTOR SHALL PROVIDE 208 V, THREE-PHASE POWER SERVICE FROM THE FACILITIES' ELECTRICAL PANELS TO THE GRINDER PUMPING UNIT. IT IS ANTICIPATED THAT THE FACILITY WILL HAVE CAPACITY WITHIN THE PANEL(S) TO ENABLE THE INSTALLATION OF THE POWER CIRCUIT TO BE MADE TO THE PUMP.

B. THE CONTRACTOR SHALL VERIFY THAT SPACE IS PROVIDED IN THE EXISTING ELECTRICAL SERVICE FOR THE GRINDER PUMP PRIOR TO BEGINNING THE WORK AND DETERMINE IF THE EXISTING ELECTRICAL PANEL CAN ACCOMMODATE THE ADDITIONAL LOAD.

C. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER TRADES AND SHALL MAKE EVERY EFFORT TO PERFORM THE WORK TO THE COMPLETE SATISFACTION OF THE OWNER.

D. REGULATIONS AND CODES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL REGULATORY AUTHORITY, THE NORTH CAROLINA BUILDING CODE AND THE NATIONAL ELECTRIC CODE, LATEST EDITION, AS APPLICABLE. WORK SHOWN OR SPECIFIED MORE THAN SAID CODES SHALL BE PERFORMED AS INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS. WORK NOT EXPLICITLY DETAILED ON THE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE MADE TO CONFORM TO MINIMUM CODE STANDARDS AT NO ADDITIONAL EXPENSE TO THE OWNER.

3.03. OPERATION & MAINTENANCE MANUAL

A. THE CONTRACTOR SHALL SUPPLY THREE (3) PAPER COPIES AND TWO (2) DIGITAL COPIES OF COMPLETE, WRITTEN INSTRUCTIONS COVERING THE INSTALLATION, OPERATION, PROGRAMMING, AND MAINTENANCE OF THE GRINDER PUMPING STATION EQUIPMENT. THE MANUALS SHALL BE PROVIDED AT THE TIME OF STARTUP.

END OF SECTION

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919-828-1876

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CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
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PROFESSIONAL SEAL



SUBMITTAL
FEBRUARY 5, 2024
SITE PLAN SUBMITTAL

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KEY PLAN

SHEET
GRINDER PUMP STATION SPECIFICATIONS

PS2.01

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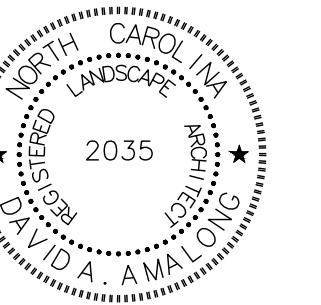
CONSULTANT



STEWART

233 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8750

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KEY PLAN

SHEET

OVERALL LAYOUT AND MATERIALS PLAN

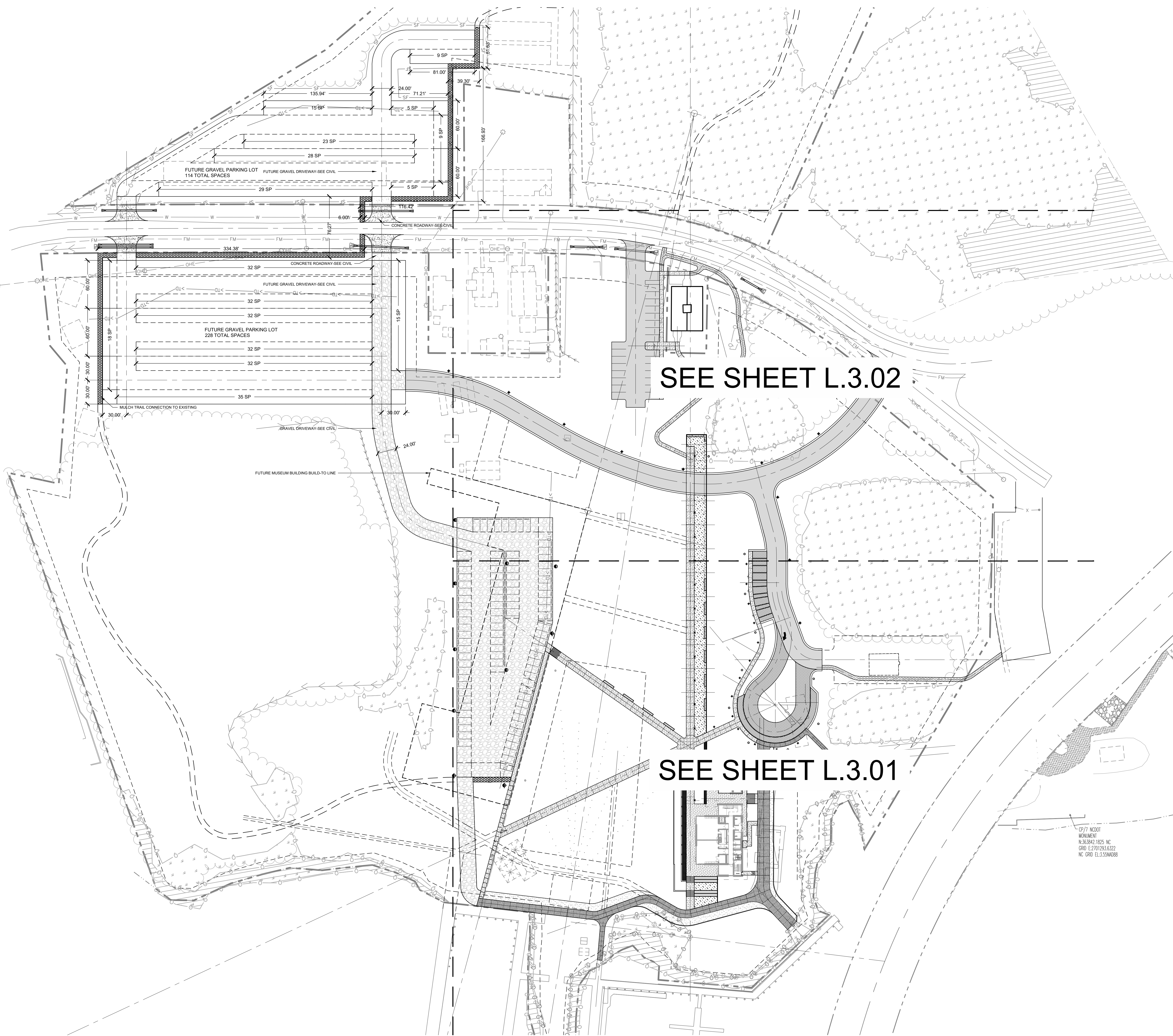
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PROJECT #: L22001

DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

CN 10145

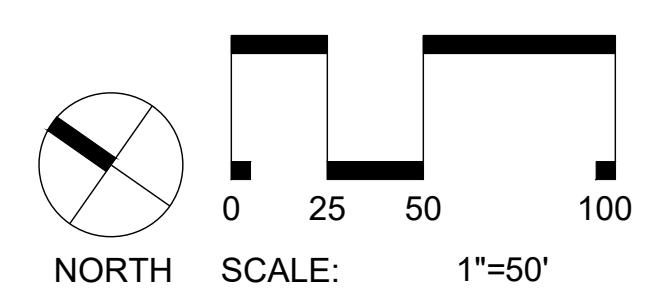
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SEE SHEET L.3.02

SEE SHEET L.3.01

ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.



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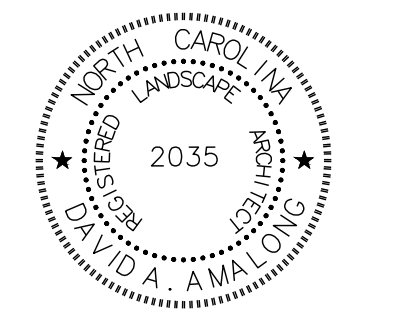
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233 S. WEST ST., #1100
RALEIGH, NC 27603
1 919.380.8750

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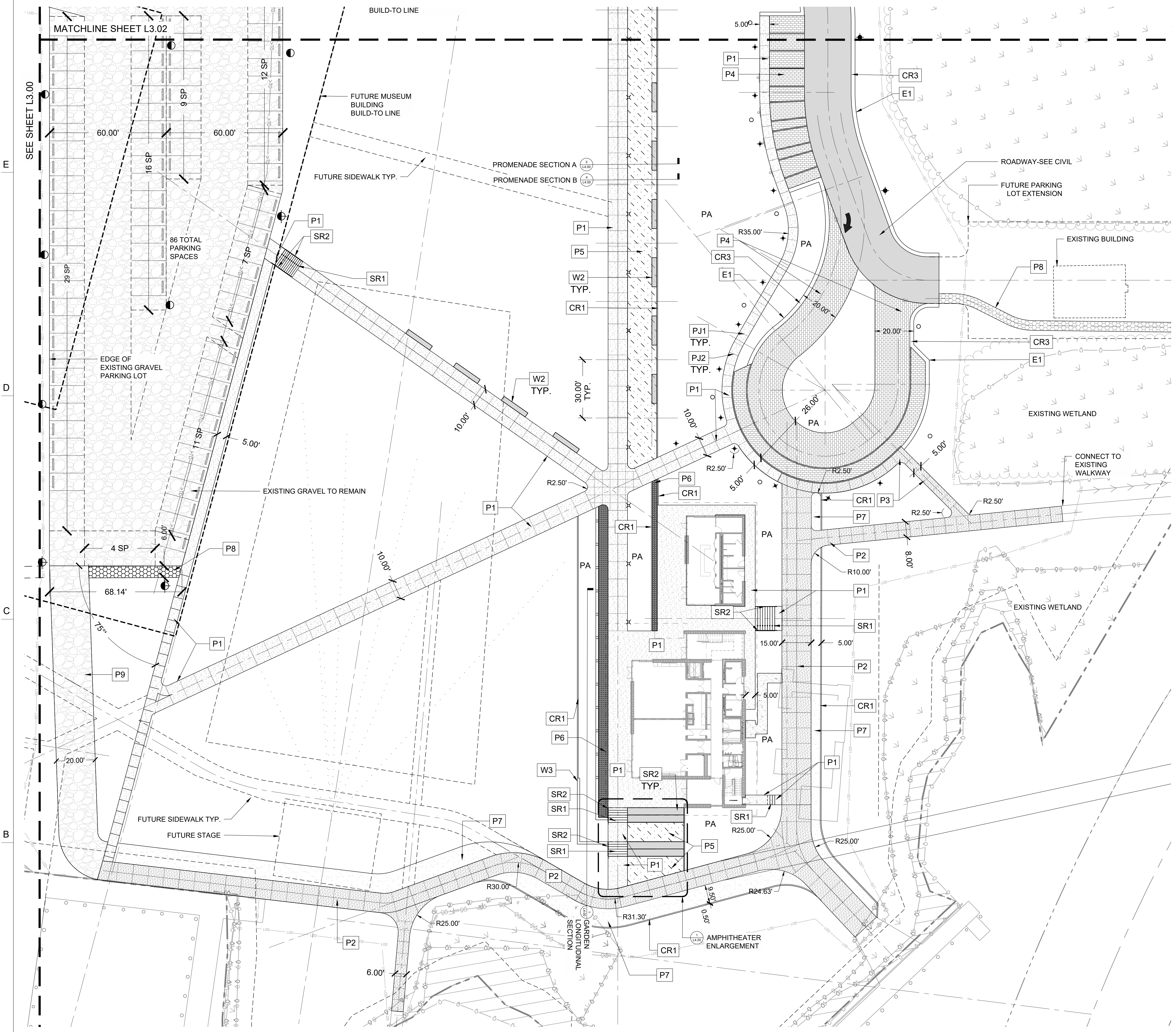
KEY PLAN

LAYOUT AND MATERIALS PLAN - ENARGEMENT

L3.01

PROJECT #: L22001
DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

CN 10145



FINISH SCHEDULE

P - PAVEMENT		
KEY NAME	DESCRIPTION	DETAIL REF
P1	CONCRETE PAVEMENT- PEDESTRIAN - SP. FINISH	6/L4.00
P2	CONCRETE PAVEMENT- VEHICULAR	5/L4.00
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/L4.00
P4	CONCRETE UNIT PAVERS - VEHICULAR	4/L4.10
P5	DECOMPOSED GRANITE	1/L4.10
P6	STONE BAND AT GARDEN EDGE	
P7	GRASSPAVE2	
P8	MULCH PATHWAY	

CR - CURBS AND RAMPS		
KEY NAME	DESCRIPTION	DETAIL REF
CR1	FLUSH CURB	2/L4.20
CR2	SIDEWALK APRON	
CR3	RIVER ROCK DRIVEWAY EDGE	6/L4.20
CR4	MOUNTABLE CURB	

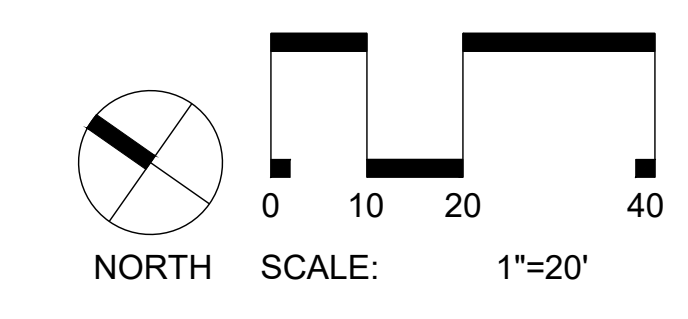
E - EDGING		
KEY NAME	DESCRIPTION	DETAIL REF
E1	STEEL EDGING	6/L4.20

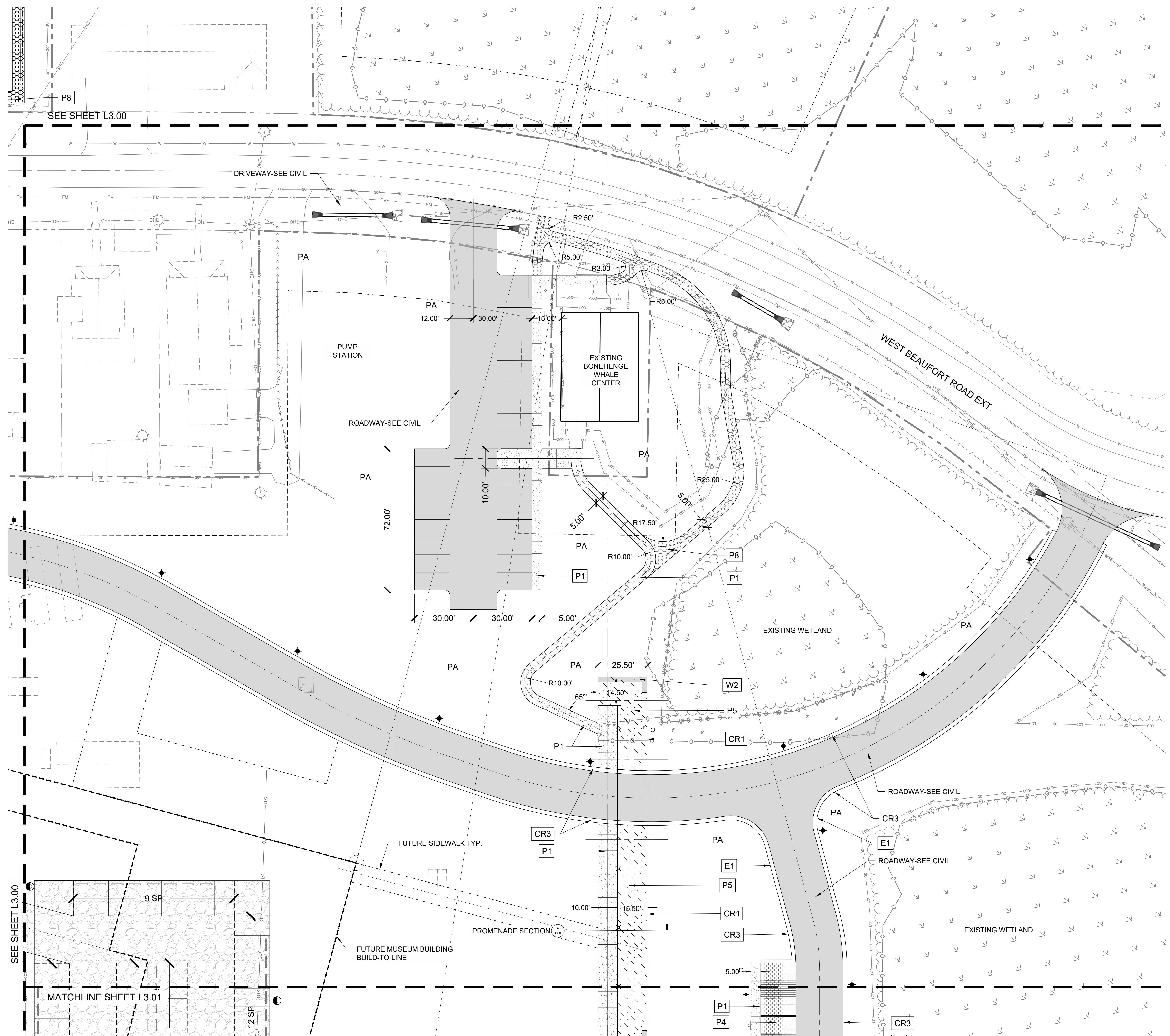
SR - STAIRS, RAMPS, AND RAILINGS		
KEY NAME	DESCRIPTION	DETAIL REF
SR1	CAST-IN-PLACE CONCRETE STAIRS	4/L4.10
SR2	METAL HANDRAILS - STAIRS	5/L4.10
SR3	CONCRETE ACCESSIBLE RAMP	
SR4	METAL HANDRAILS - RAMPS	

W - WALLS		
KEY NAME	DESCRIPTION	DETAIL REF
W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/L4.20
W2	CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/L4.20
W3	CIP CONCRETE GARDEN WALL	

L - LIGHTING		
KEY NAME	DESCRIPTION	DETAIL REF
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00
L2	DUKE POLE LIGHT FIXTURE - 10' HT.	L8.00
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00
L3	BOLLARD OPTION 3 - PROFILE	L8.00
L4	GROUND-MOUNTED LUMINAIRE	L8.00
L6	RECEPTACLE LOCATION	L8.00

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FINISH SCHEDULE

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P1	CONCRETE PAVEMENT - PEDESTRIAN - SP. FINISH	6/L4.00
P2	CONCRETE PAVEMENT - VEHICULAR	5/L4.00
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/L4.00
P4	CONCRETE UNIT PAVERS - VEHICULAR	4/L4.10
P5	DECOMPOSED GRANITE	1/L4.10
P6	STONE BAND AT GARDEN EDGE	
P7	GRASSPAVEZ	
P8	MULCH PATHWAY	

CR - CURBS AND RAMPS		
CR1	FLUSH CURB	2/L4.20
CR2	SIDEWALK APRON	
CR3	RIVER ROCK DRIVEWAY EDGE	6/L4.20
CR4	MOUNTABLE CURB	

E - EDGING		
E1	STEEL EDGING	6/L4.20

SR - STAIRS, RAMPS, AND RAILINGS		
SR1	CAST-IN-PLACE CONCRETE STAIRS	4/L4.10
SR2	METAL HANDRAILS - STAIRS	5/L4.10
SR3	CONCRETE ACCESSIBLE RAMP	
SR4	METAL HANDRAILS - RAMPS	

W - WALLS		
W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/L4.20
W2	CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/L4.20
W3	CIP CONCRETE GARDEN WALL	

L - LIGHTING		
KEY NAME	DESCRIPTION	DETAIL REF
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00
L2	DUKE POLE LIGHT FIXTURE - 10' HT.	L8.00
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00
L3	BOLLARD OPTION 3 - PROFILE	L8.00
L4	GROUND-MOUNTED LUMINAIRE	L8.00
L6	RECEPTACLE LOCATION	L8.00

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CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 800
RALEIGH, NORTH CAROLINA 27603
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CONSULTANT



203 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8750

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KEY PLAN

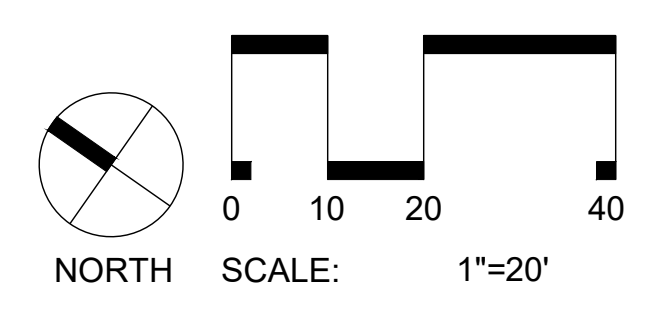
SHEET
LAYOUT AND MATERIALS PLAN - ENLARGEMENT

L3.02

PROJECT #: L22001

DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

CN 10145



FINISH SCHEDULE

P - PAVEMENT									
KEY NAME	DESCRIPTION	DETAIL REF	MATERIAL	COLOR	FINISH	SIZE	PRODUCT NAME/No.	SUPPLIER	REMARKS
P1	CONCRETE PAVEMENT- PEDESTRIAN - SP. FINISH	6/L4.00	CONCRETE	STANDARD GRAY	TABBY	4" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P2	CONCRETE PAVEMENT- VEHICULAR	5/L4.00	CONCRETE	STANDARD GRAY	LIGHT BROOM	6" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/L4.00	CONCRETE	STANDARD GRAY	LIGHT BROOM	4" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P4	CONCRETE UNIT PAVERS - VEHICULAR	4/L4.10	CONCRETE	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	HANOVER PREST PAVER	HANOVER	SAMPLES REQUIRED FOR APPROVAL BY LA
P5	DECOMPOSED GRANITE	1/L4.10	PAINT	STANDARD WHITE	N/A	PER DETAIL	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P6	STONE BAND AT GARDEN EDGE		RIVER ROCK	STANDARD		PER DETAIL	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P7	GRASSPAVE2		RECYCLED PLASTIC	N/A	N/A	10-12" BASE COURSE DEPTH	GRASSPAVE2	INVISIBLE STRUCTURES	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P8	MULCH PATHWAY		HARDWOOD MULCH	N/A	N/A	10-12" BASE COURSE DEPTH	GRASSPAVE2	INVISIBLE STRUCTURES	N/A

CR - CURBS AND RAMPS									
CR1	FLUSH CURB	2/L4.20	CONCRETE	STANDARD GRAY	LIGHT BROOM	4" THICK	DETECTABLE WARNING PAVERS		SAMPLES REQUIRED FOR APPROVAL BY LA
CR2	SIDEWALK APRON		CONCRETE	STANDARD GRAY	LIGHT BROOM	6" THICK	TRUNCATED DOMES	URBAN ACCESSORIES	SAMPLES REQUIRED FOR APPROVAL BY LA
CR3	RIVER ROCK DRIVEWAY EDGE	6/L4.20	RIVER ROCK	STANDARD GRAY	SMOOTH	4"-7"	N/A	N/A	SAMPLES REQUIRED FOR APPROVAL BY LA
CR4	MOUNTABLE CURB		CONCRETE	STANDARD GRAY	LIGHT BROOM	6" THICK	N/A	N/A	SAMPLES REQUIRED FOR APPROVAL BY LA

E - EDGING									
E1	STEEL EDGING	6/L4.20	WOOD	TO BE SELECTED	TO BE SELECTED	PER DETAIL	TO BE SELECTED	TO BE SELECTED	SAMPLES AND SHOP DRAWINGS REQUIRED FOR APPROVAL BY LA

SR - STAIRS, RAMPS, AND RAILINGS									
SR1	CAST-IN-PLACE CONCRETE STAIRS	4/L4.10	CONCRETE	STANDARD GRAY	LIGHT BROOM	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA
SR2	METAL HANDRAILS - STAIRS	5/L4.10	STEEL	BLACK	POWDERCOAT	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA
SR3	CONCRETE ACCESSIBLE RAMP		CONCRETE	STANDARD GRAY	LIGHT BROOM	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA
SR4	METAL HANDRAILS - RAMPS		STEEL	BLACK	POWDERCOAT	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA

W - WALLS									
W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/L4.20	PRE-CAST STONE, THERMORY ASH	GP-13	POLISHED	PER DETAIL	N/A	N/A	SAMPLES, SHOP DRAWINGS, AND WALL MOCK UP REQUIRED FOR APPROVAL BY LA
W2	CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/L4.20	PRE-CAST STONE, THERMORY ASH	GP-13	POLISHED	PER DETAIL	N/A	N/A	SAMPLES, SHOP DRAWINGS, AND WALL MOCK UP REQUIRED FOR APPROVAL BY LA
W3	CIP CONCRETE GARDEN WALL		PRE-CAST STONE	GP-13	POLISHED	PER DETAIL	N/A	N/A	SAMPLES, SHOP DRAWINGS, AND WALL MOCK UP REQUIRED FOR APPROVAL BY LA

L - LIGHTING									
KEY NAME	DESCRIPTION	DETAIL REF	MATERIAL	COLOR	FINISH	SIZE	PRODUCT NAME/No.	SUPPLIER	REMARKS
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00	PER DETAIL	BLACK	POWDERCOAT	12' HT.	MOTIVE	LANDSCAPEFORMS	BY OTHERS, LOCATION SHOWN ONLY
L2	DUKE POLE LIGHT FIXTURE - 10' HT	L8.00	PER DETAIL	BLACK	POWDERCOAT	10' HT.	MOTIVE	LANDSCAPEFORMS	BY OTHERS, LOCATION SHOWN ONLY
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00	PER DETAIL	PER DETAIL	POWDERCOAT	PER DETAIL	L209	LAMPAS	BY OTHERS, LOCATION SHOWN ONLY
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00	PER DETAIL	PER DETAIL	POWDERCOAT	PER DETAIL	BYSTEAD	POULSON	BY OTHERS, LOCATION SHOWN ONLY
L3	BOLLARD OPTION 3 - PROFILE	L8.00	PER DETAIL	PER DETAIL	POWDERCOAT	PER DETAIL	PROFILE	LANDSCAPEFORMS	BY OTHERS, LOCATION SHOWN ONLY
L4	GROUND-MOUNTED LUMINAIRE	L8.00	PER DETAIL	TO BE SELECTED	POWDERCOAT	N/A	GROUND MOUNTED LUMINAIRE	BEGA	BY OTHERS, LOCATION SHOWN ONLY
L6	RECEPTACLE LOCATION	L8.00	N/A	N/A	N/A	N/A	N/A	N/A	BY OTHERS, LOCATION SHOWN ONLY

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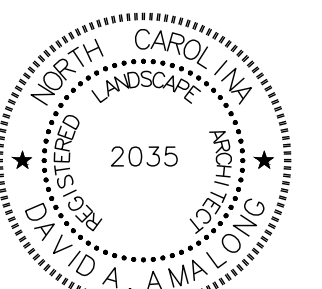
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KEY PLAN

SHEET

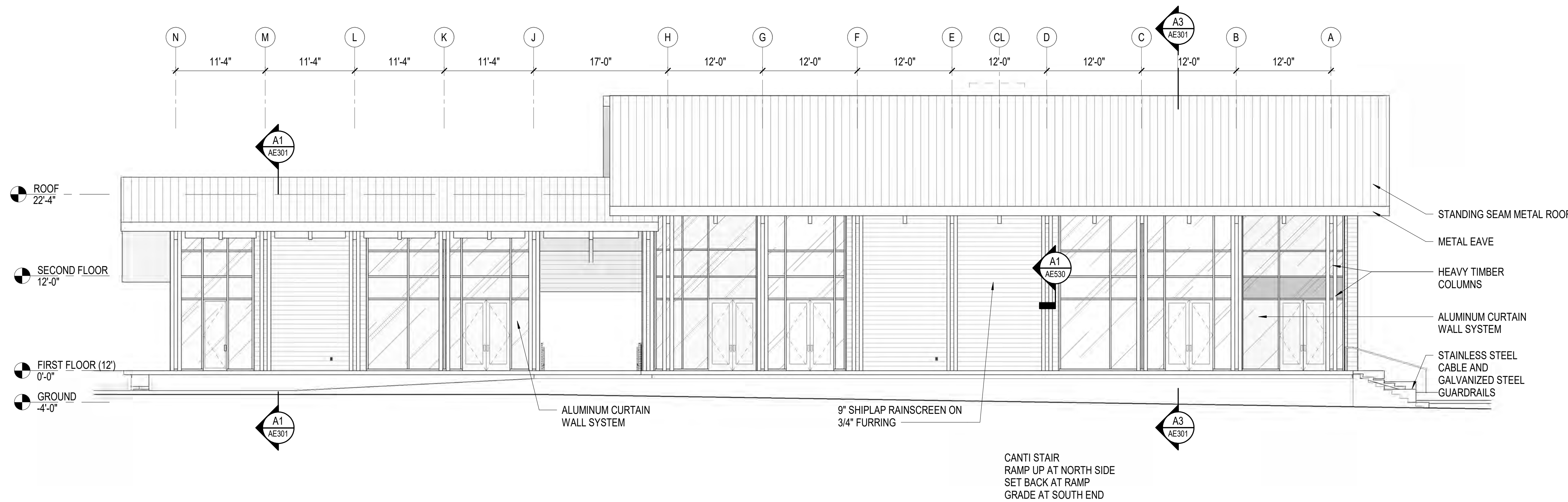
MATERIALS AND FINISH SCHEDULE

L3.03

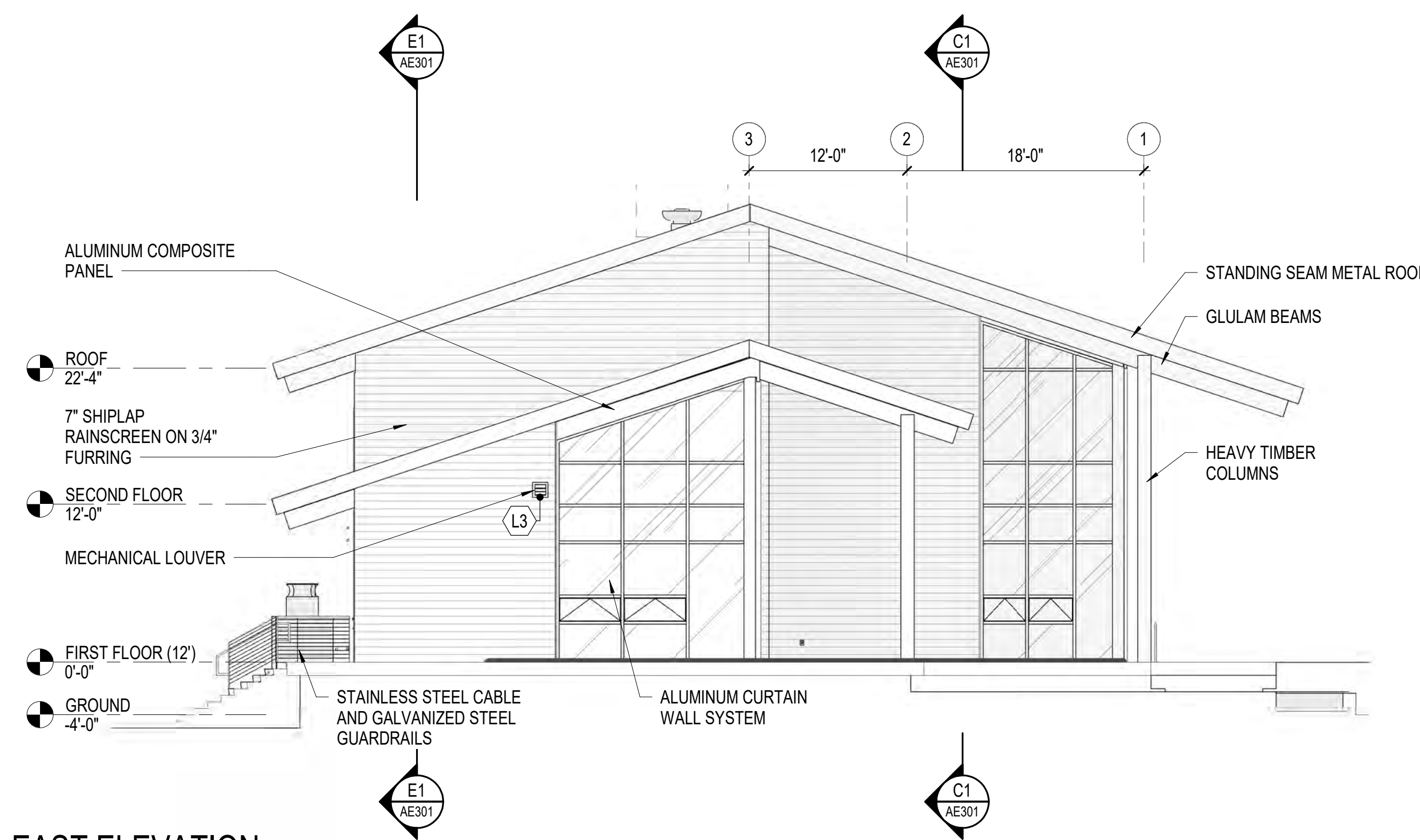
PROJECT #: L22001

DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

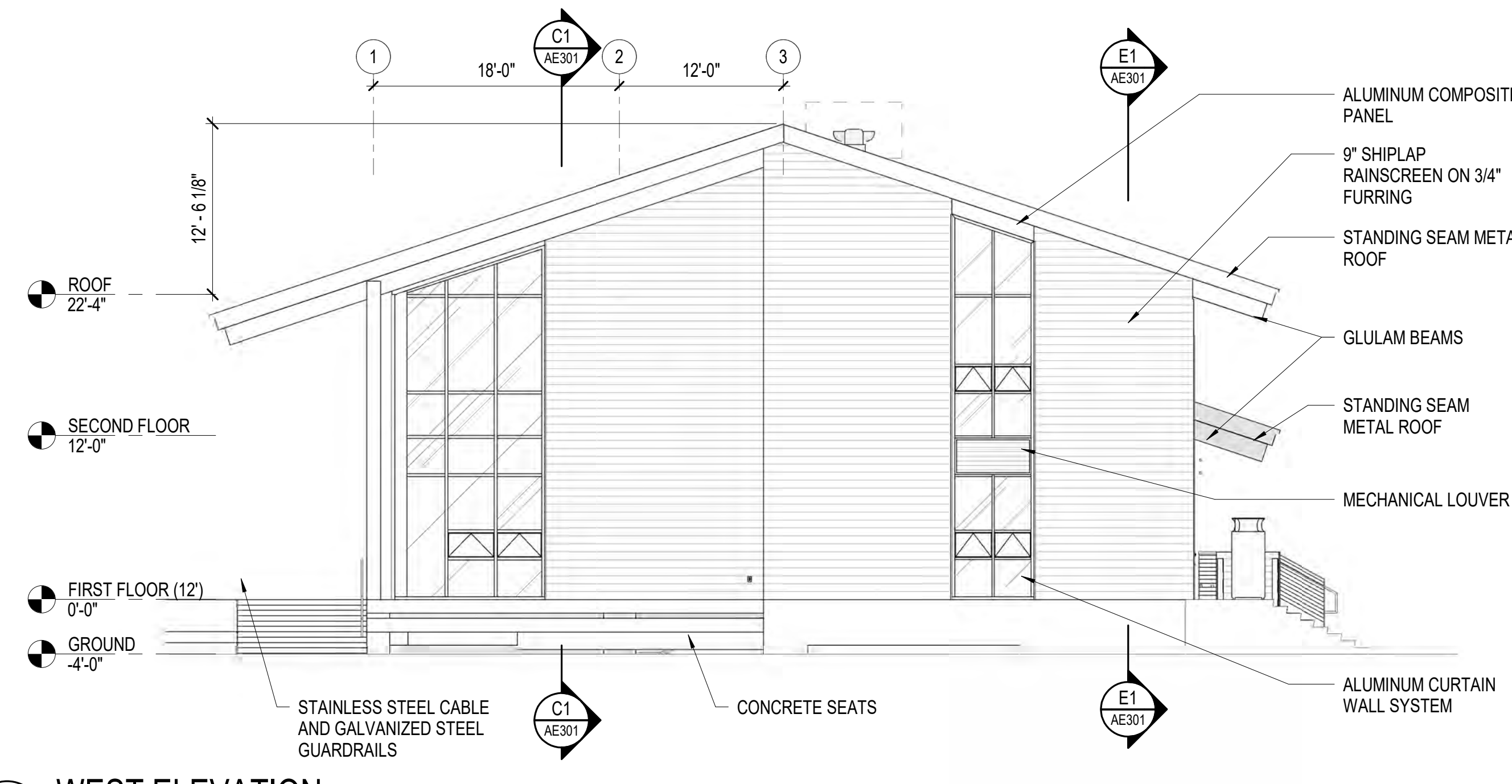
CN 10145



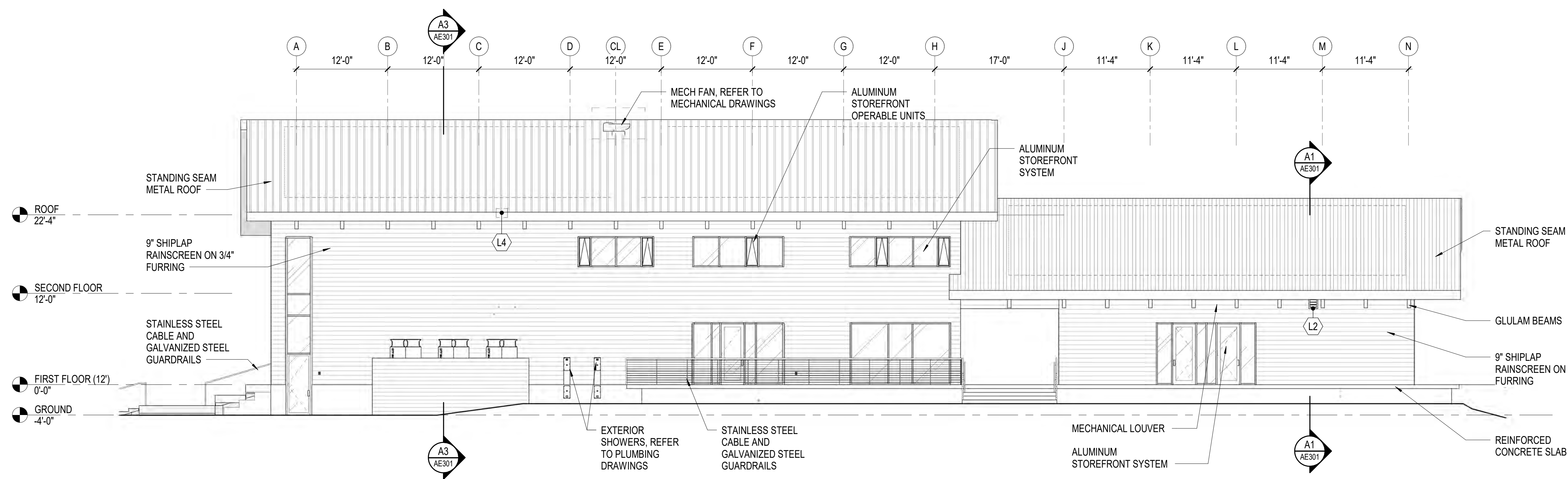
E1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



C1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



C3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A-001 FOR ARCHITECTURAL SYMBOLS LEGEND.
2. REFER TO SHEET AExxx FOR CURTAIN WALL, LOUVER, AND DOOR ELEVATIONS.
3. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
4. REFER TO AND COORDINATE WITH CIVIL AND LANDSCAPING DRAWINGS FOR ALL FINISHED GRADES.
5. HOLLOW METAL DOORS, FRAMES AND EXPOSED STEEL LINTELS TO BE PAINTED TO MATCH BRICK VENEER (COLOR TO BE SELECTED BY ARCHITECT).

MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ # : 10145

SCO ID # : 23-26530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

PROFESSIONAL SEAL

NOT FOR CONSTRUCTION

SUBMITTAL

DECEMBER 18, 2023

CONSTRUCTION DOCUMENTS

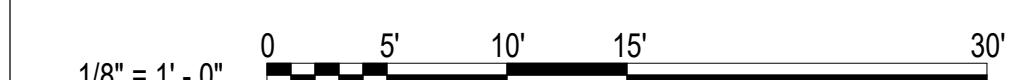
REVISIONS

KEY PLAN

SHEET
EXTERIOR ELEVATIONS

AE201

GRAPHIC SCALE(S)



DESIGN: DDK
DRAWN: AST/WMP
REVIEW: DDK

CN 10145

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 285

CN PROJ #: 10145
SDD ID #: 23-28530-01A

DESIGNER

CLARK NEXSEN

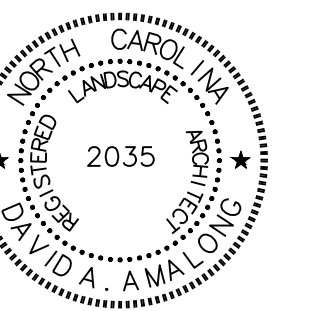
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT



PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENT
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

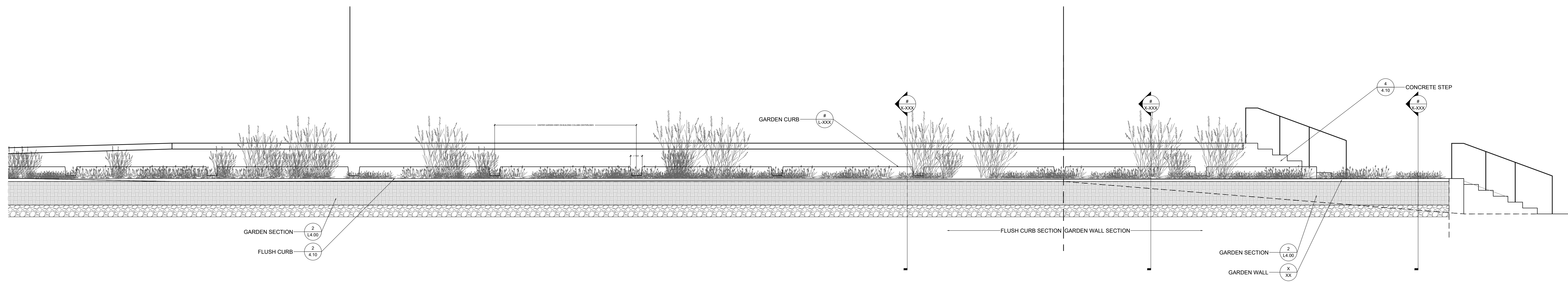
SHEET

SITE DETAILS

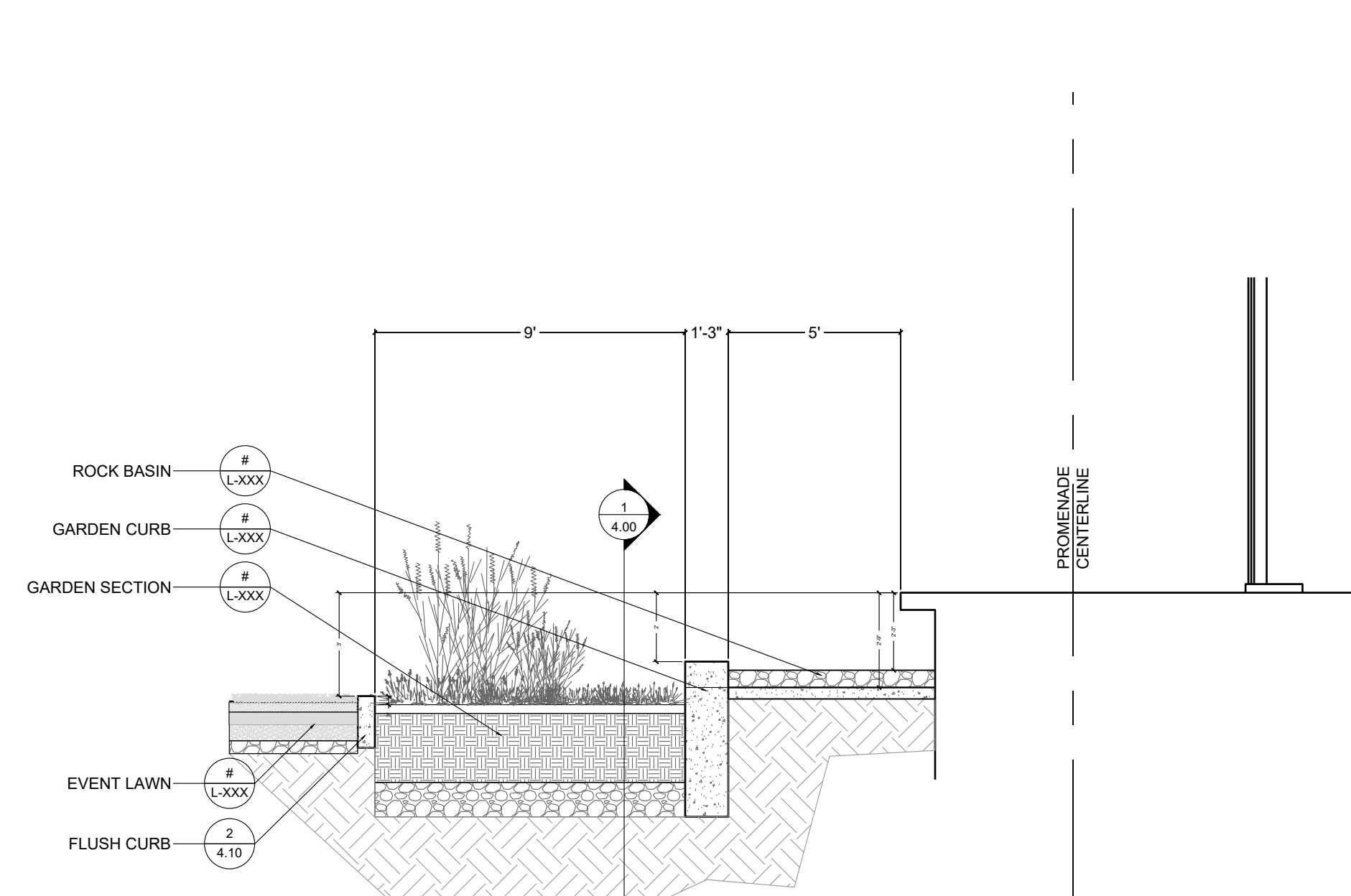
L4.00

PROJECT #: L22001
DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

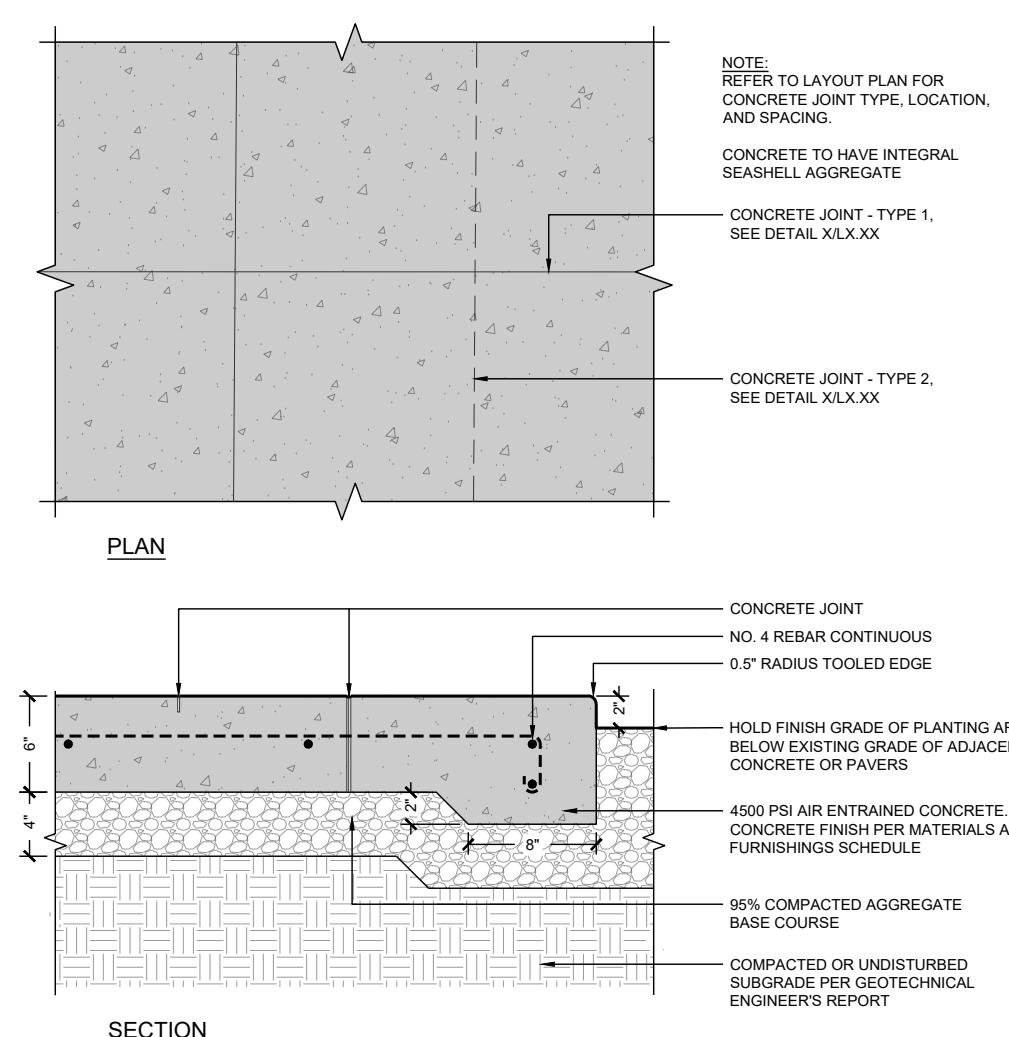
CN 10145



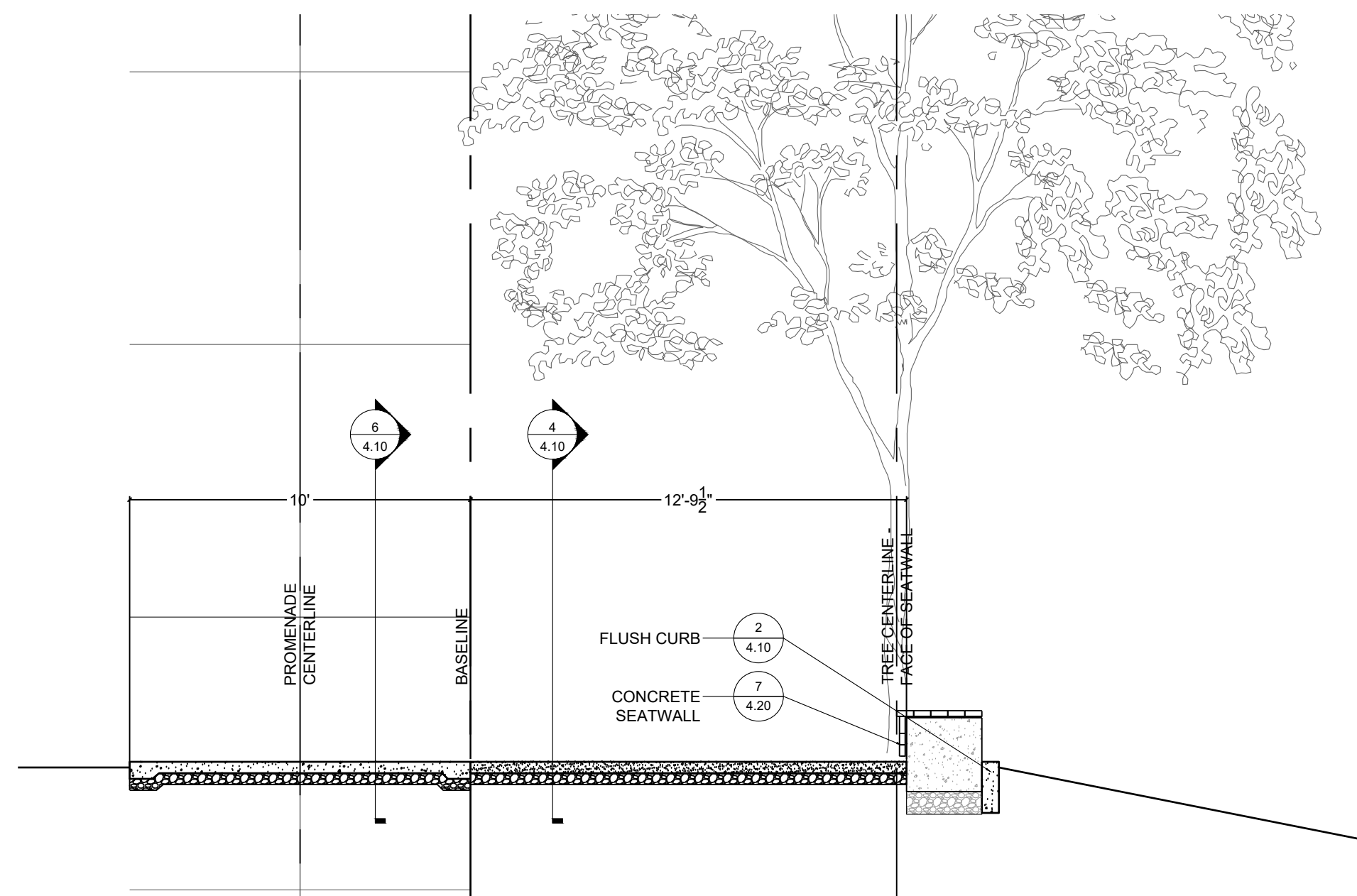
1 GARDEN LONGITUDINAL SECTION 1/4" = 1'-0"



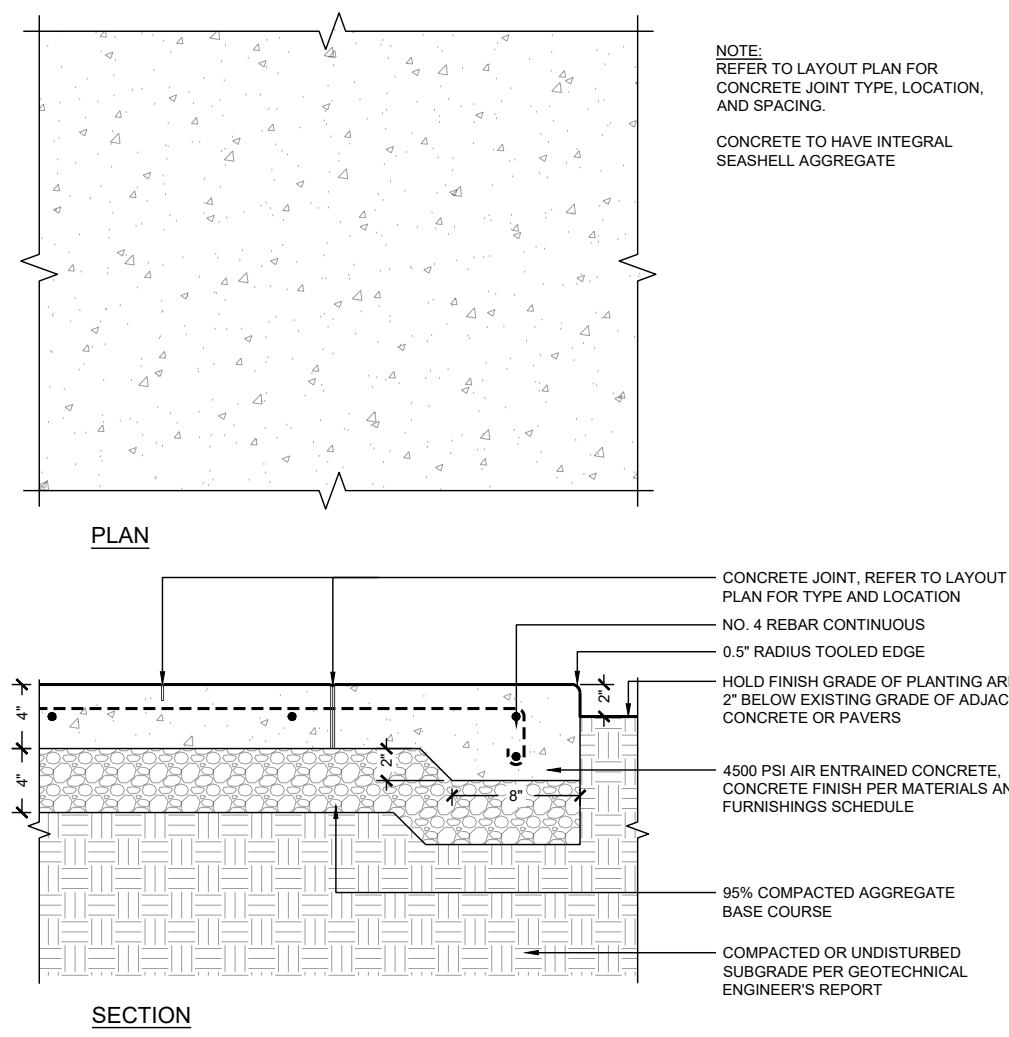
2 GARDEN CROSS SECTION 1/4" = 1'-0"



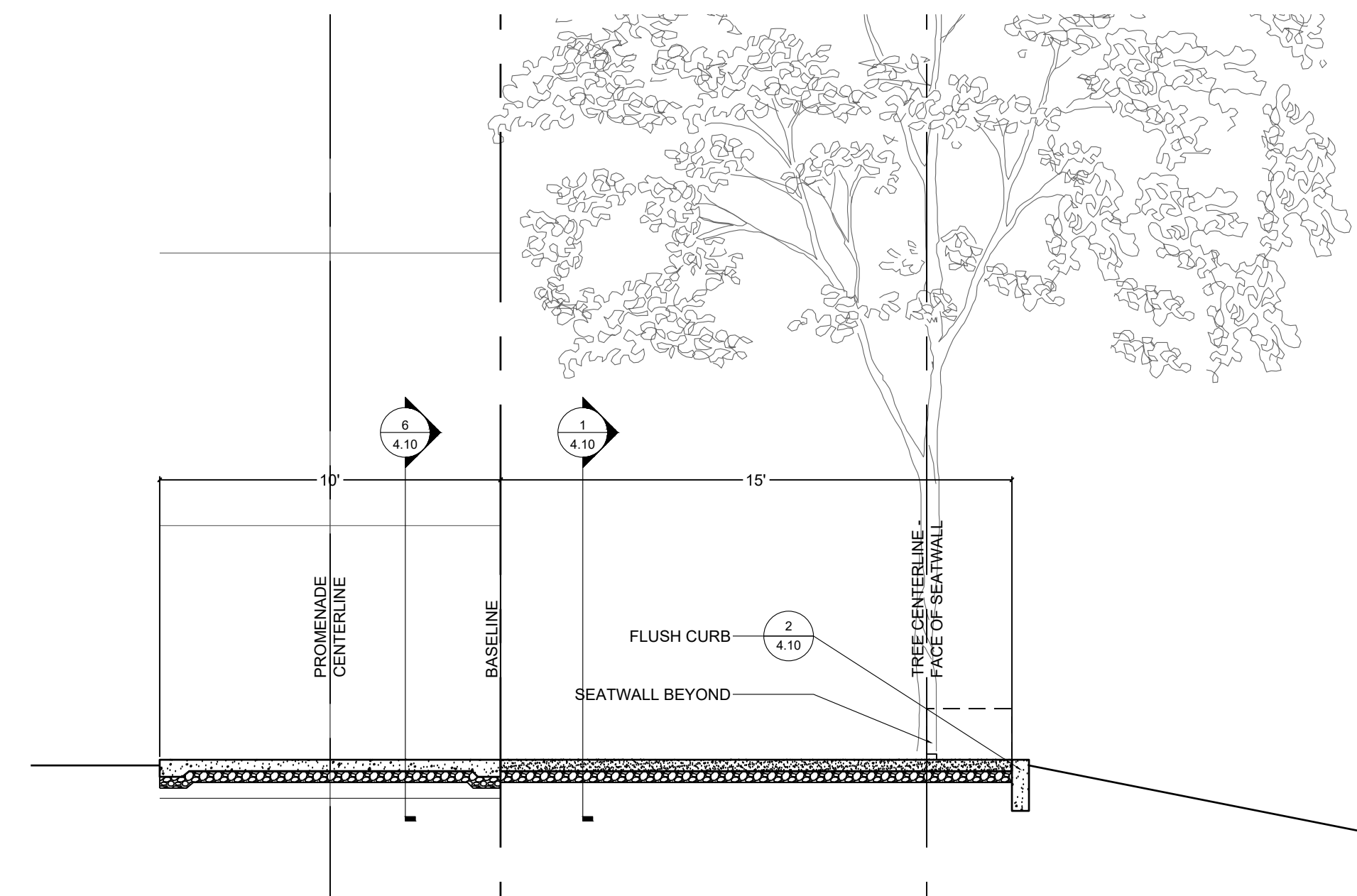
5 CONCRETE SIDEWALK-VEHICULAR SECTION 1" = 1'-0"



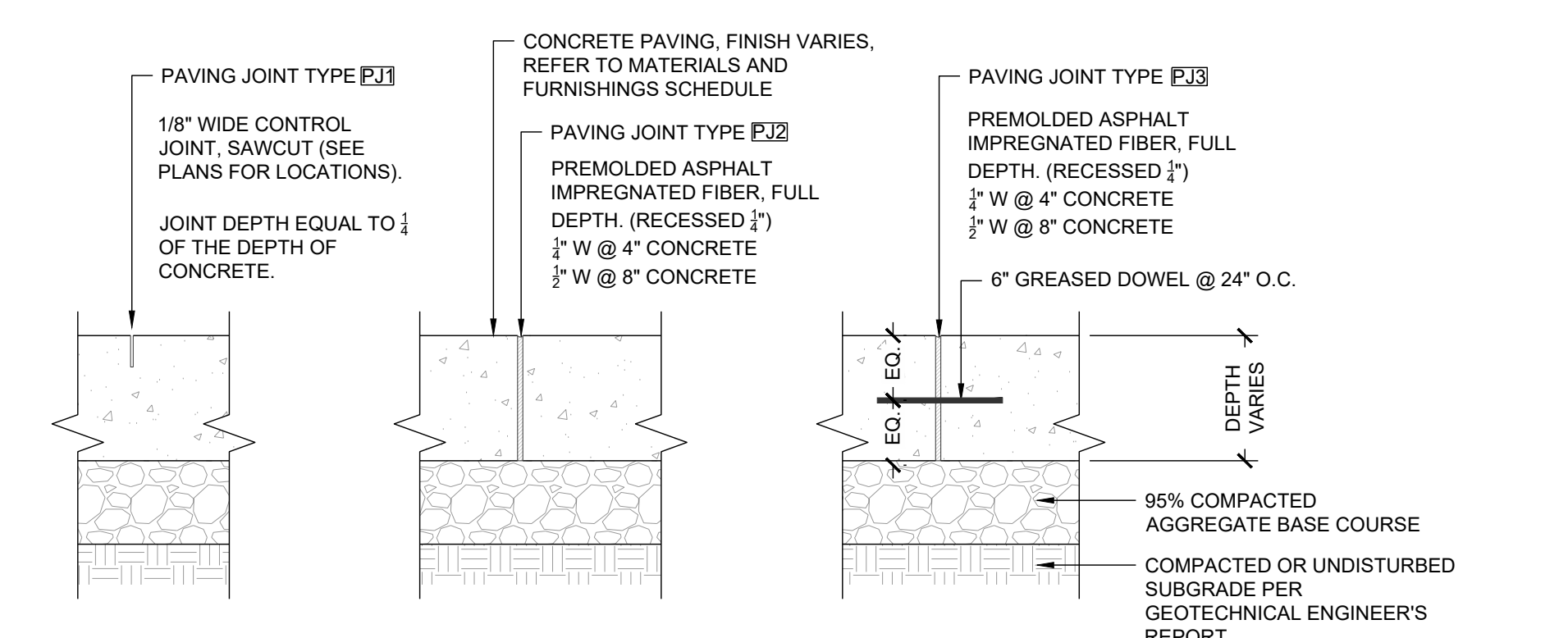
3 PROMENADE SECTION A SECTION 1/4" = 1'-0"



6 CONCRETE SIDEWALK-PEDESTRIAN SECTION 1" = 1'-0"

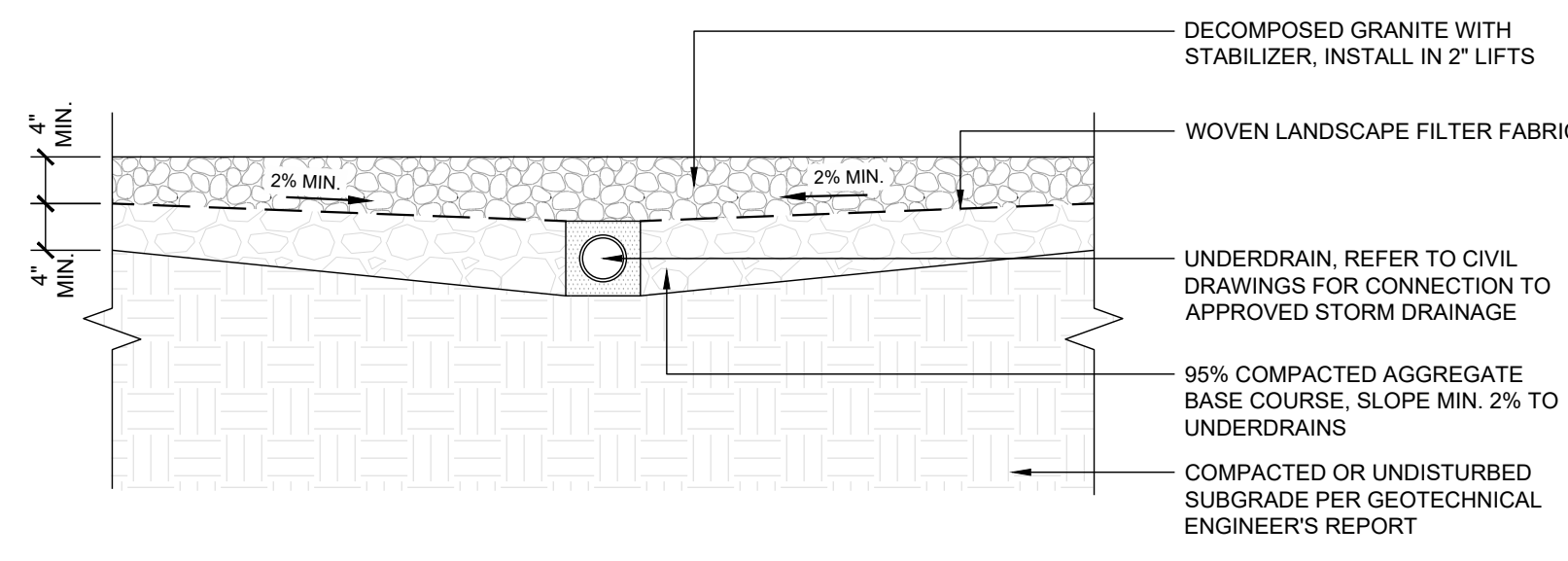


4 PROMENADE SECTION B SECTION 1/4" = 1'-0"



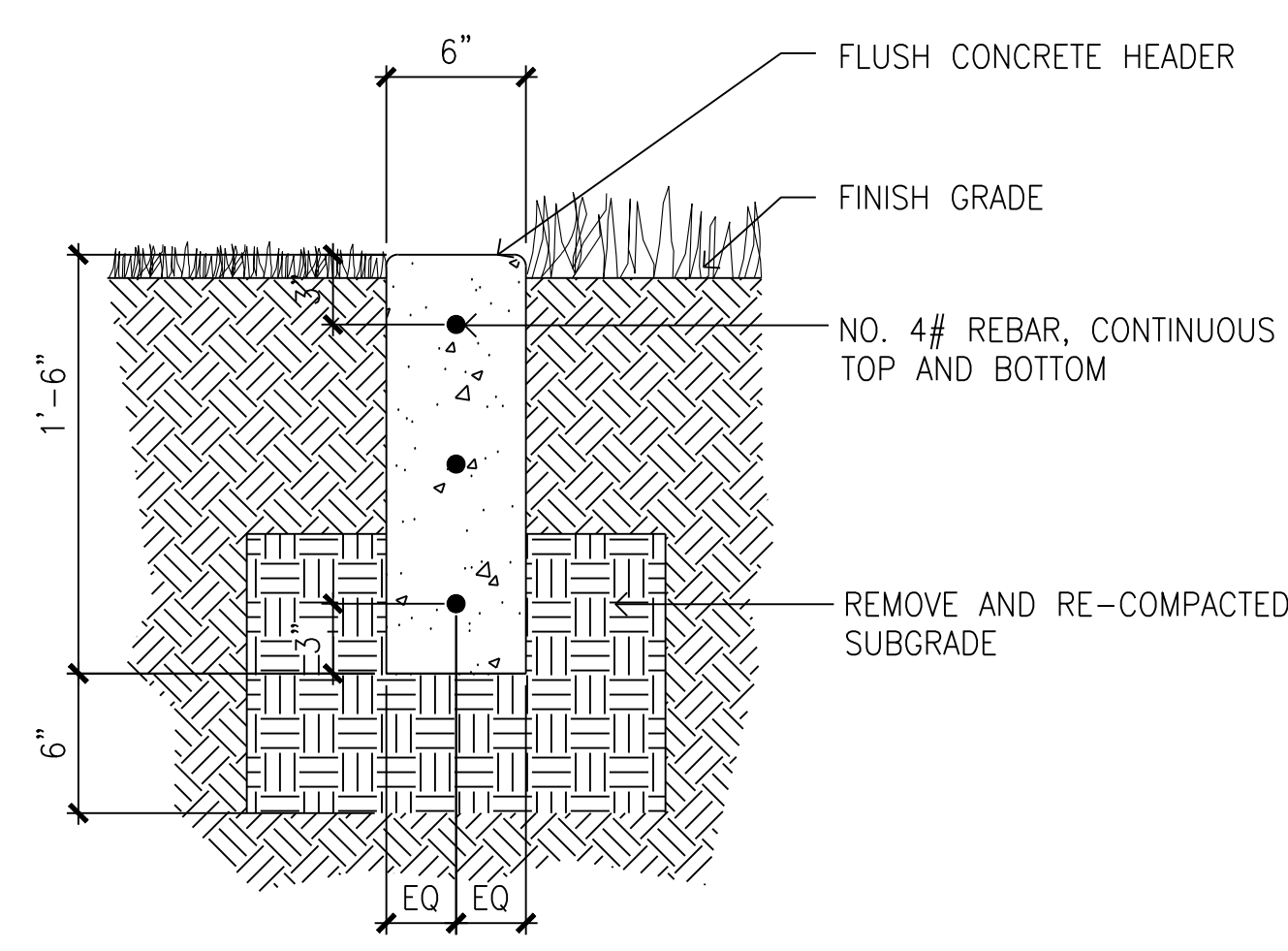
NOTES:
1. REFER TO PLAN FOR LAYOUT AND SPACING OF JOINTS.
2. EXPANSION JOINTS SHALL OCCUR AT ALL AREAS WHERE PAVEMENT MEETS WALLS / VERTICAL SURFACE AND AT ALL COLD JOINTS.

7 CONCRETE JOINTS SECTION NTS

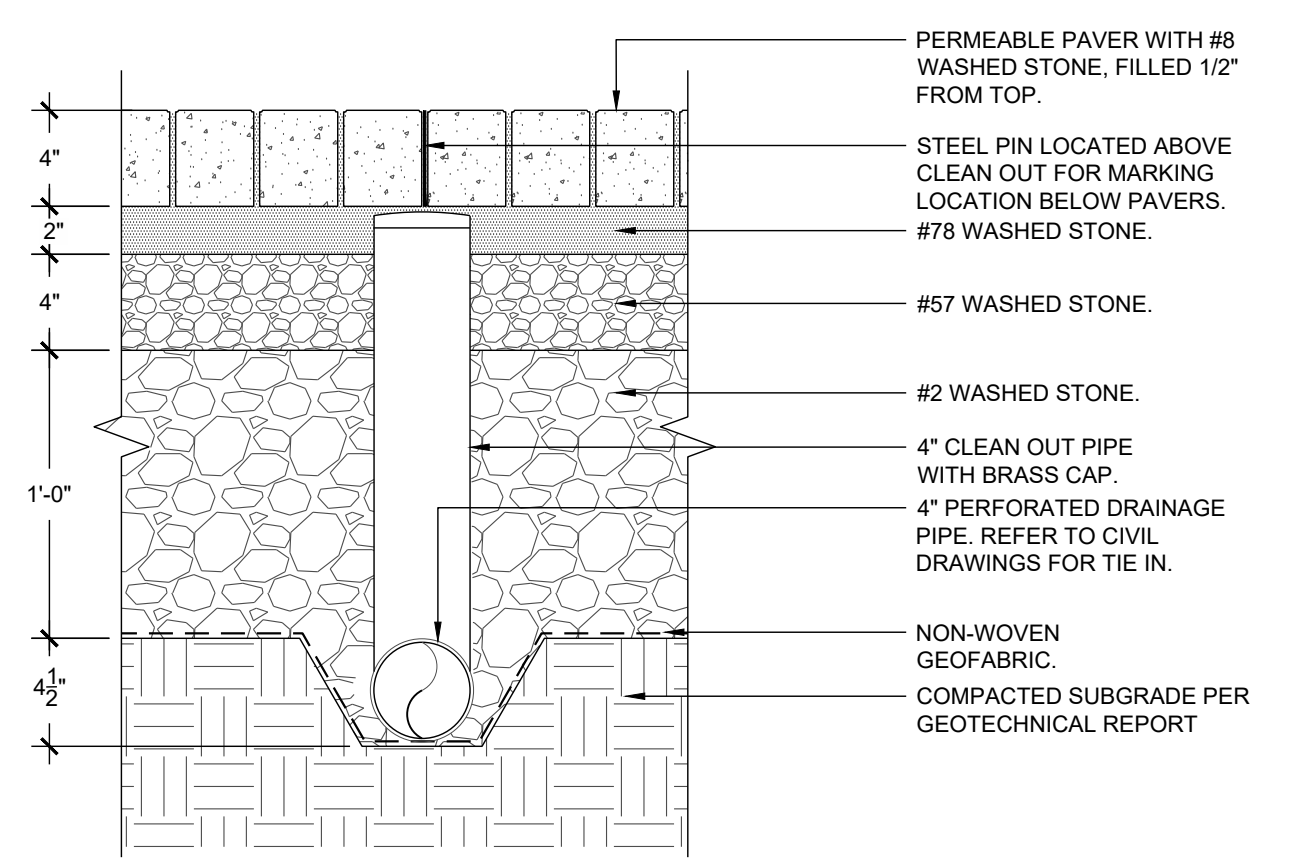


NOTE:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ENSURE POSITIVE DRAINAGE WITH A CROSS SLOPE OR CROWN SLOPE AT 1.5% - 2% MINIMUM.

1 DECOMPOSED GRANITE SECTION 3/4" = 1'-0"

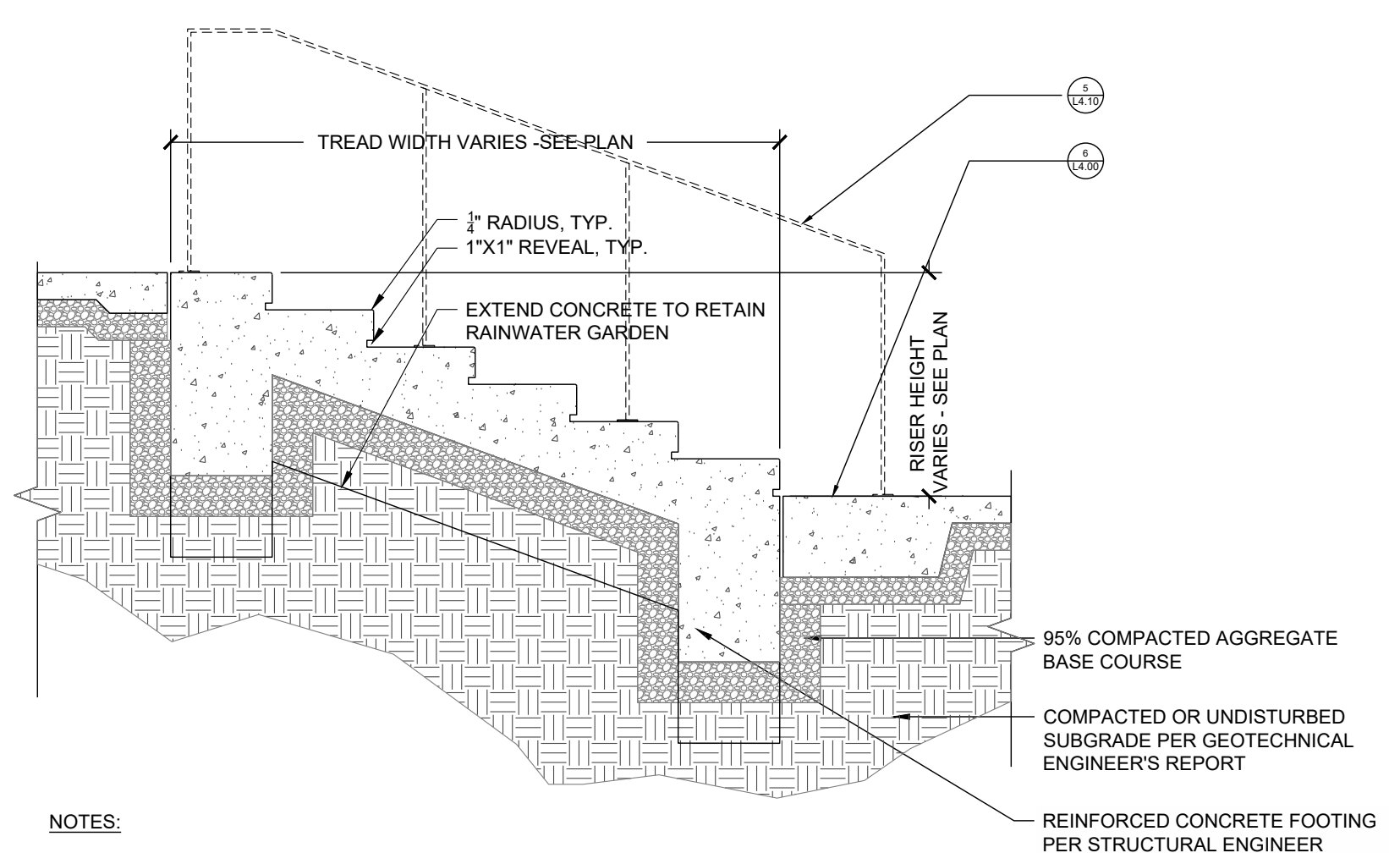


2 FLUSH CURB SECTION 1/2" = 1'-0"



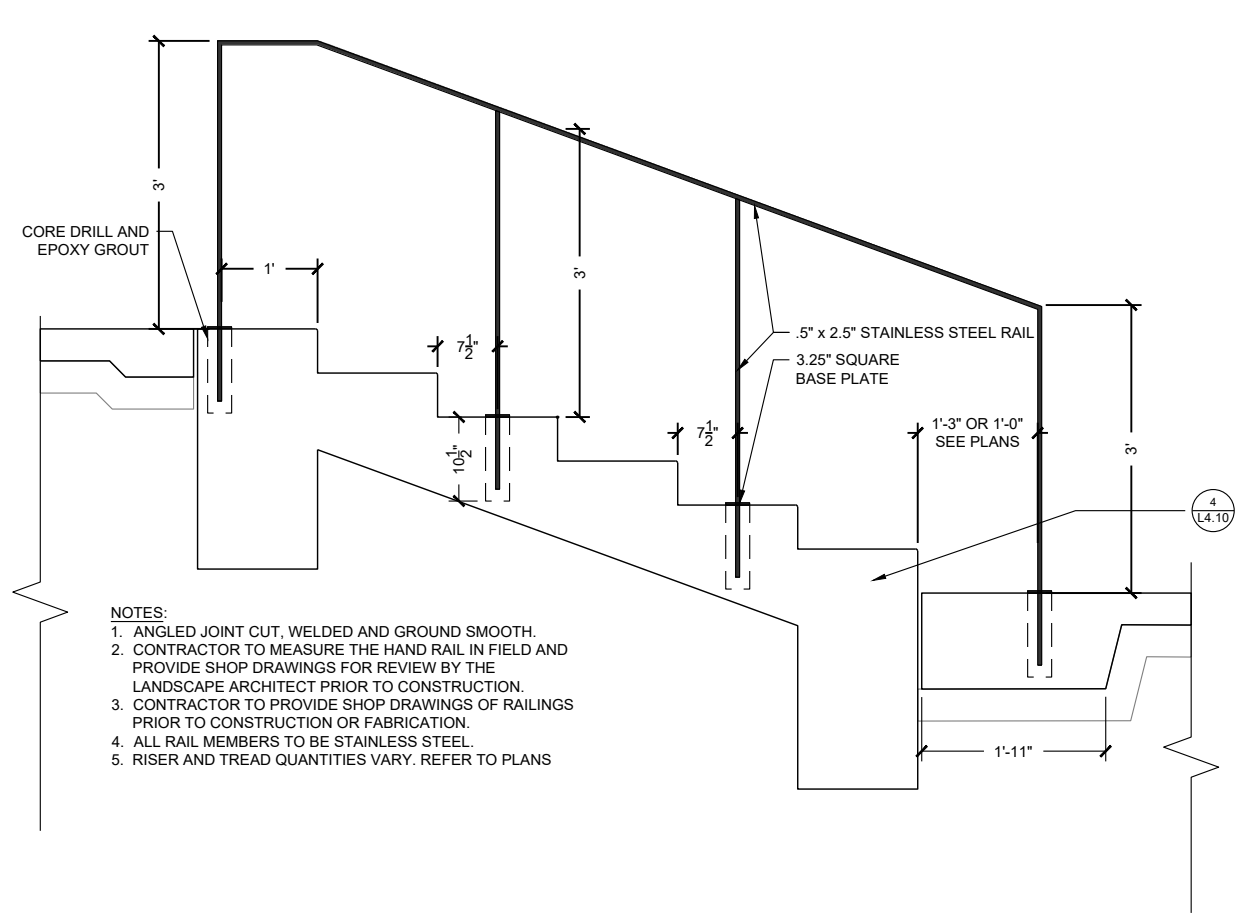
NOTES:
 1. SEE MATERIALS AND FURNISHINGS SCHEDULE FOR TYPE, COLOR, AND FINISH OF PAVER.
 2. SEE CIVIL DRAWINGS FOR LOCATION OF UNDER DRAINS AND CLEAN OUT PIPE LOCATIONS.
 3. SECTION CONFORMS TO NCDENR BMP MANUAL.
 4. CONTRACTOR TO PROVIDE INFILTRATION TESTING ON SOIL TO ENGINEER PRIOR TO CONSTRUCTION OF PAVER SYSTEM.

3 PERMEABLE PAVER SECTION 1 1/2" = 1'-0"



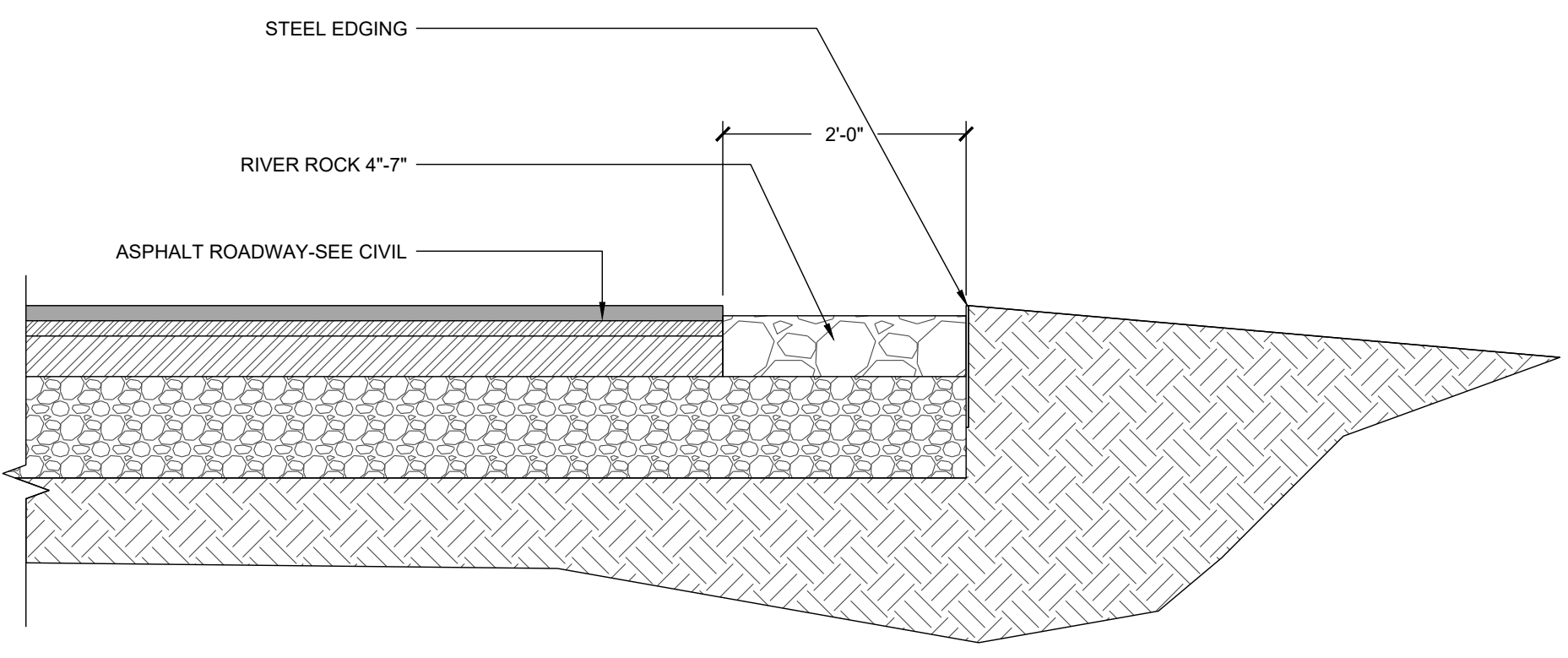
NOTES:
 1. RISER AND TREAD SIZES AND QUANTITIES VARY. REFER TO PLANS.

4 CONCRETE STEP SECTION 1/2" = 1'-0"

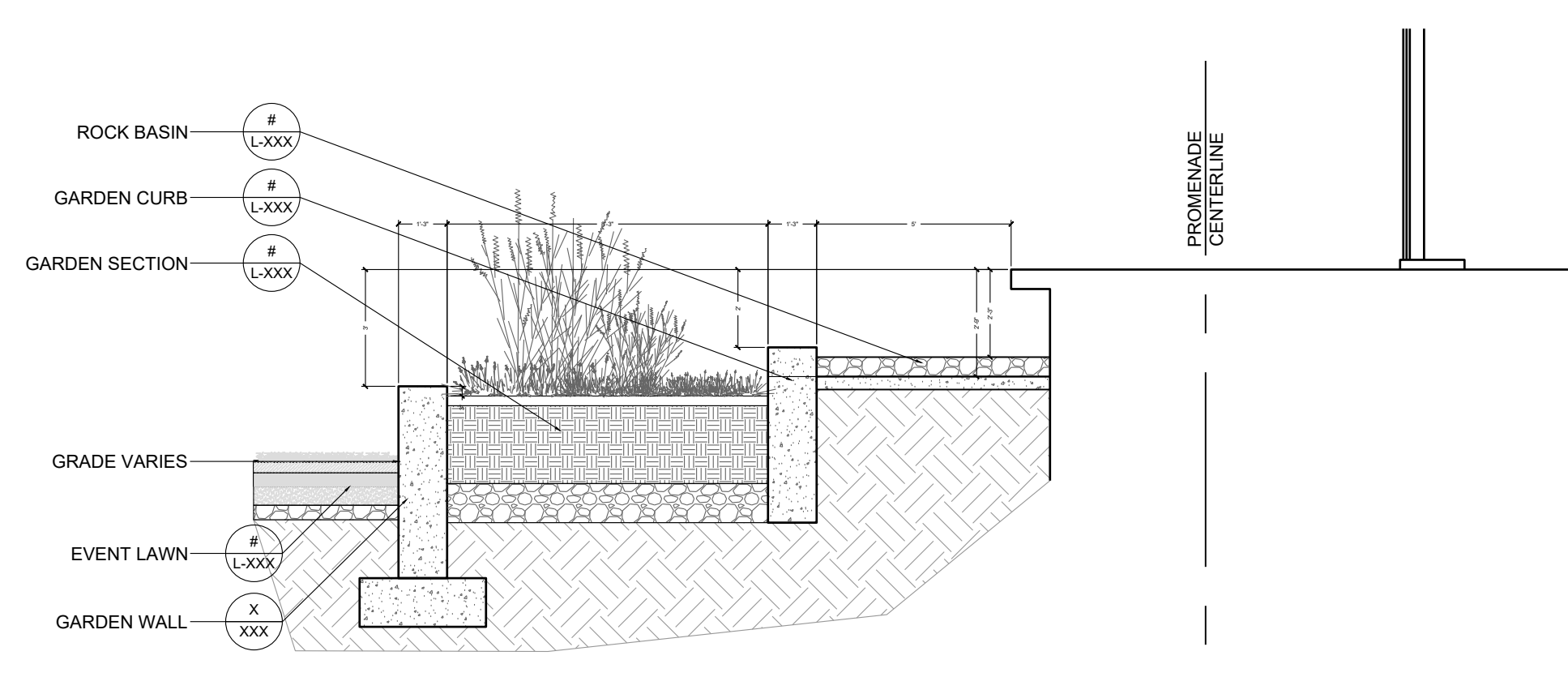


NOTES:
 1. WELDED JOINT OUT, WELDED AND GROUND SMOOTH.
 2. CONTRACTOR TO SQUARE THE HANDRAIL IN FIELD AND PROVIDE SHOP DRAWINGS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF RAILINGS PRIOR TO CONSTRUCTION OR FABRICATION.
 4. ALL RAIL MEMBERS TO BE STAINLESS STEEL.
 5. RISER AND TREAD QUANTITIES VARY. REFER TO PLANS.

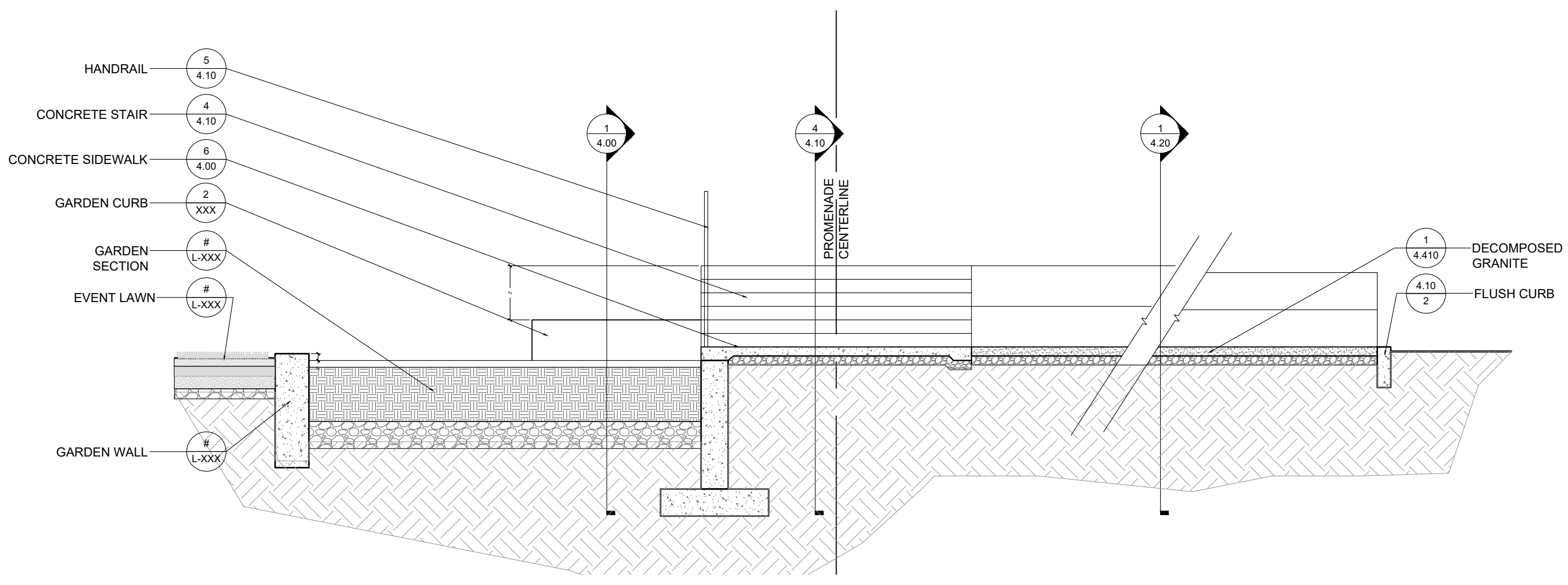
5 HANDRAIL SECTION 1/2" = 1'-0"



6 DRIVEWAY EDGE SECTION 3/4" = 1'-0"



7 GARDEN CROSS SECTION 1/4" = 1'-0"



8 GARDEN CROSS SECTION 1/4" = 1'-0"

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 285

CN PROJ #: 10145
 SCD ID #: 23-28530-01A
 DESIGNER:

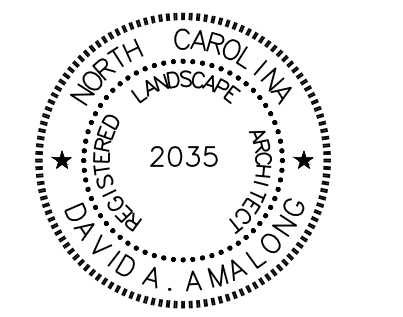
CLARK NEXSEN
 421 NORTH HARRINGTON STREET, SUITE 600
 RALEIGH, NORTH CAROLINA 27603
 919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT



PROFESSIONAL SEAL



SUBMITTAL
 FEBRUARY 5, 2024
 CONSTRUCTION DOCUMENTS

REVISIONS

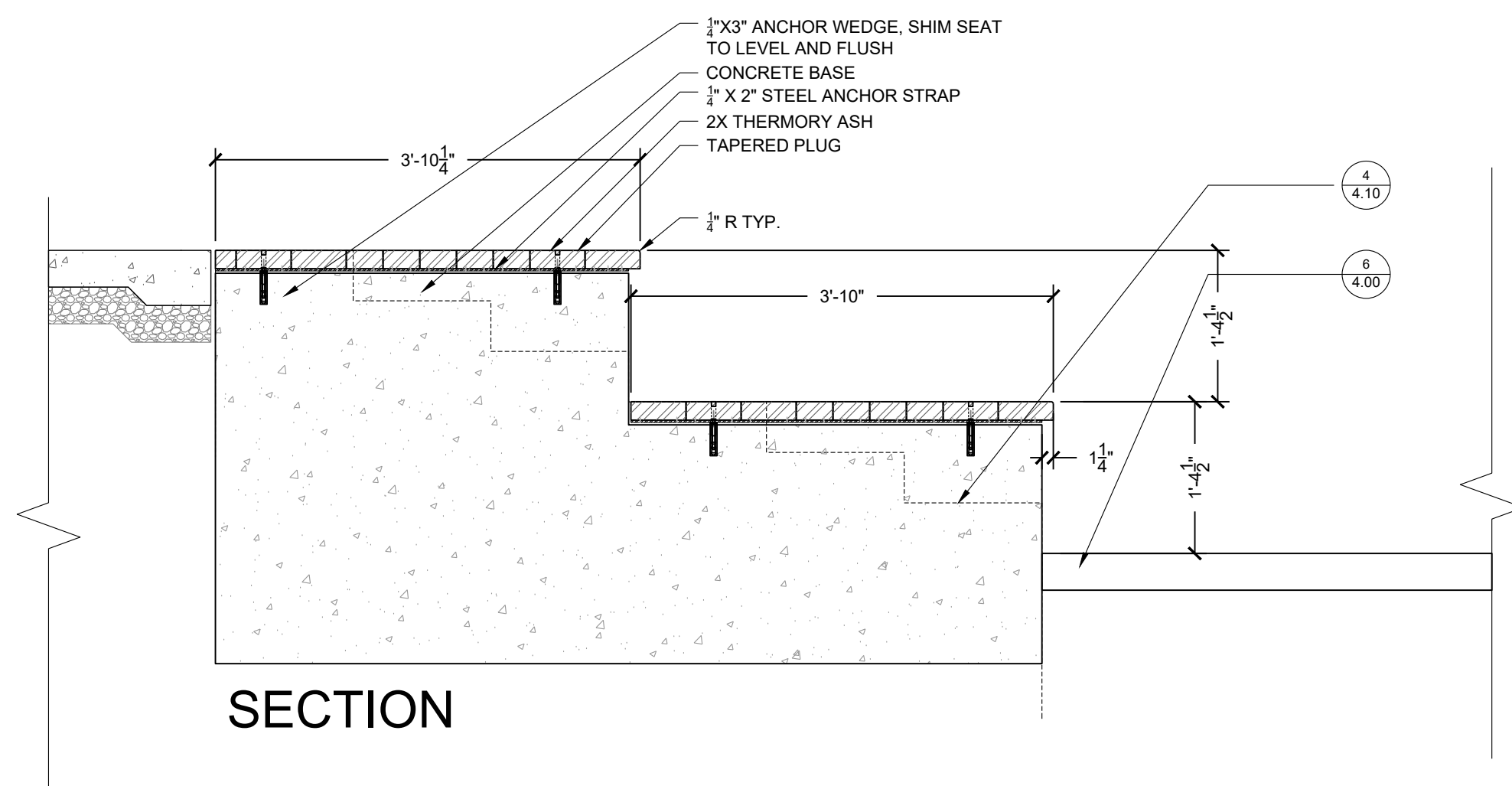
NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENT
3	01/11/2024	PER TOWN COMMENTS
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KEY PLAN

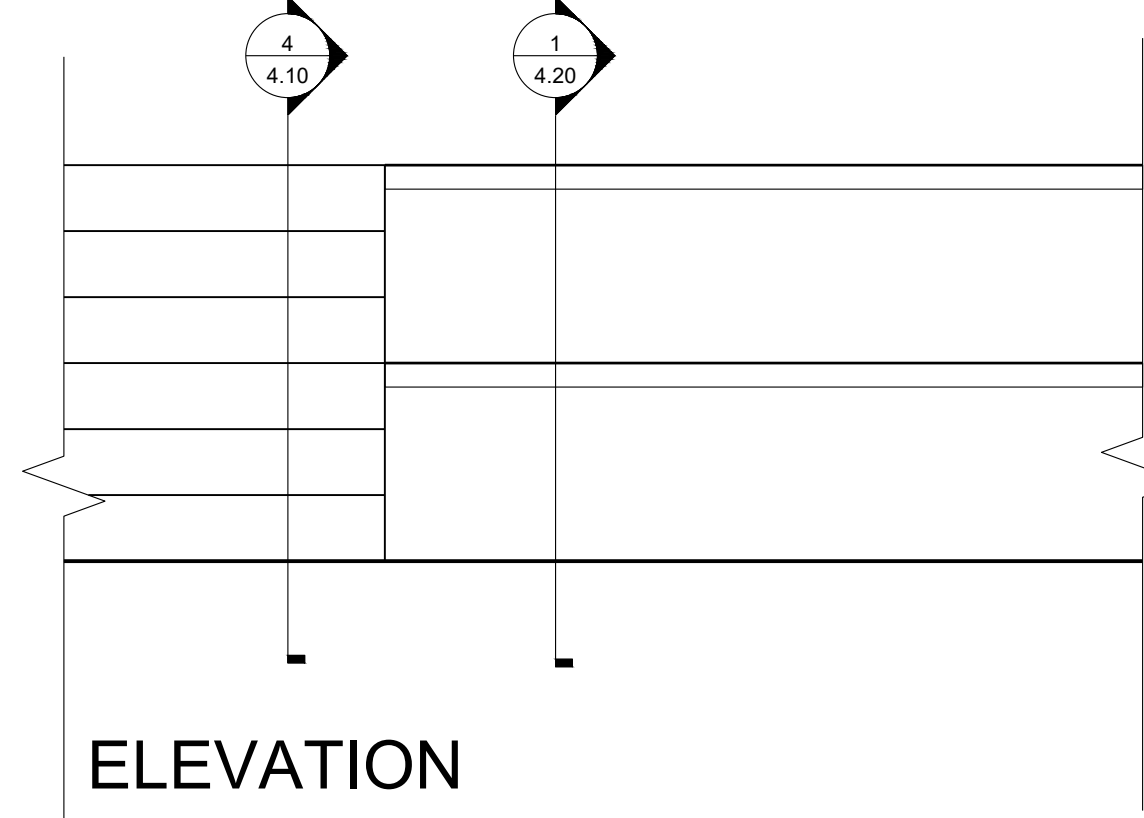
SHEET
SITE DETAILS

L4.10

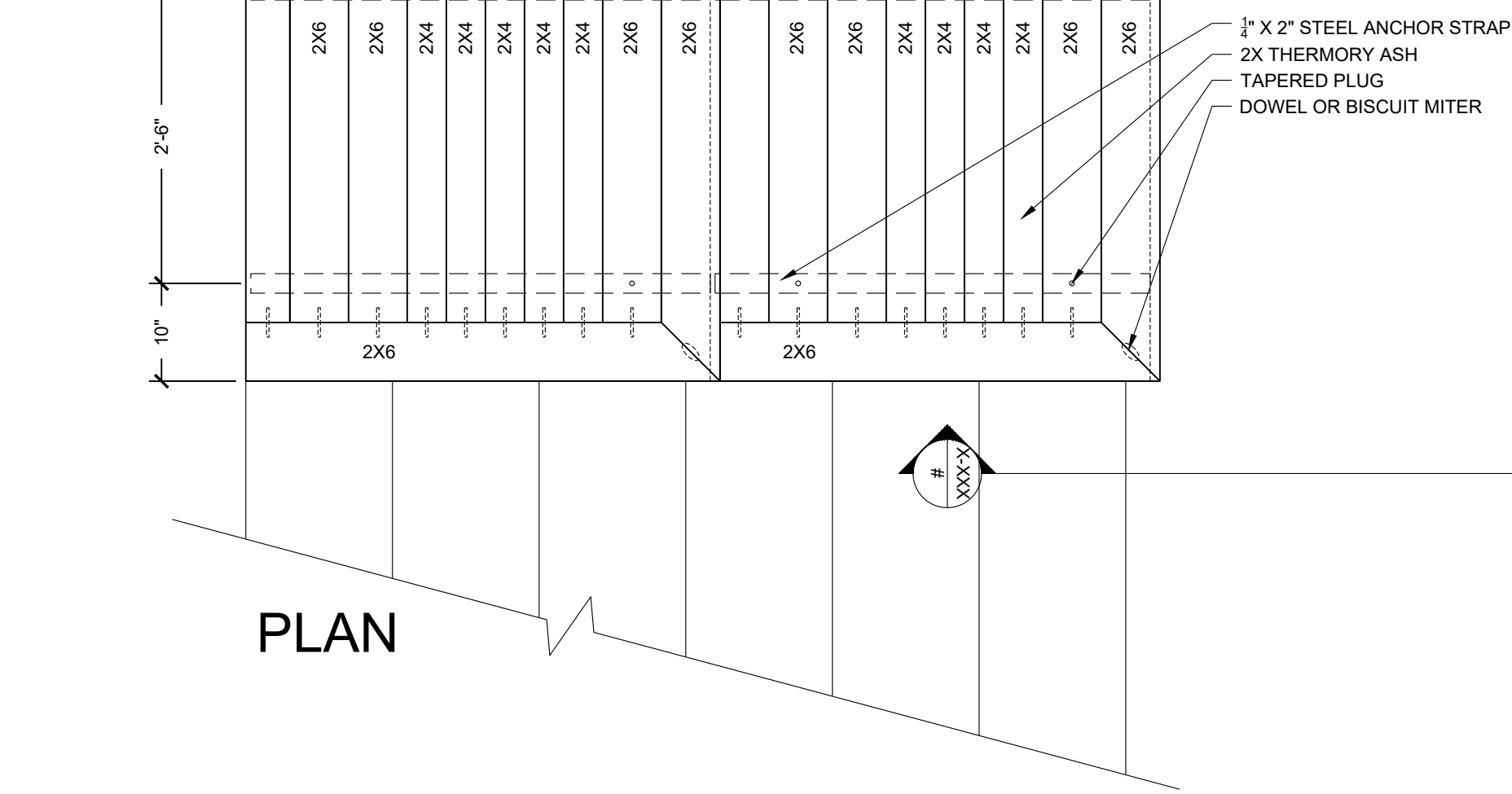
PROJECT #: L22001
 DESIGN: DA, GS
 DRAWN: KP
 REVIEW: DA
 CN 10145



SECTION



ELEVATION



PLAN

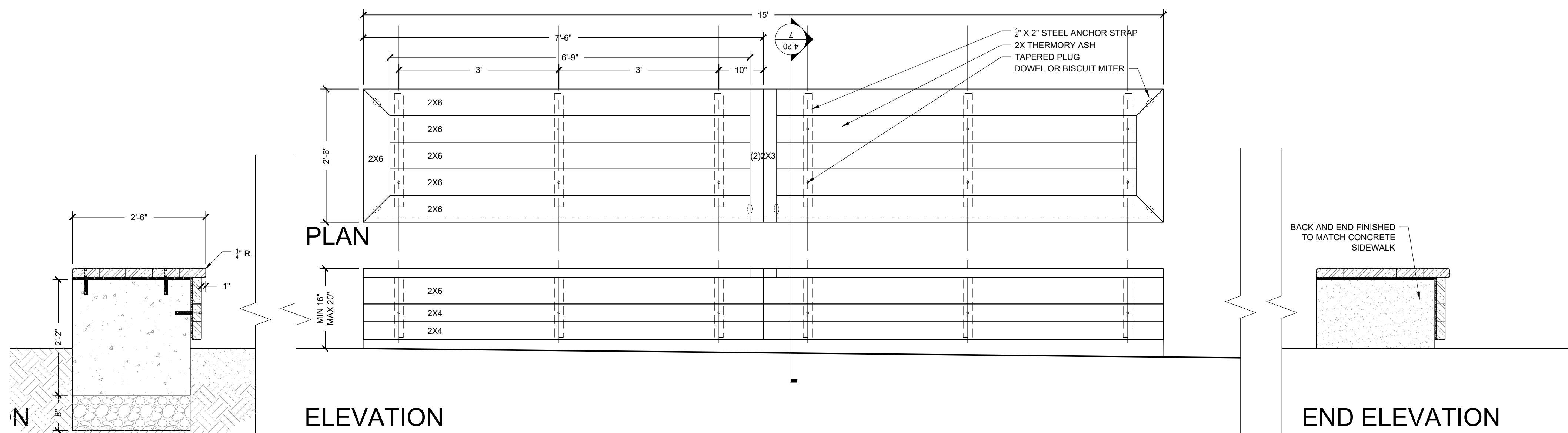
1 AMPHITHEATER SEATING 3/4" = 1'-0"



4 AMPHITHEATER SEATING NTS



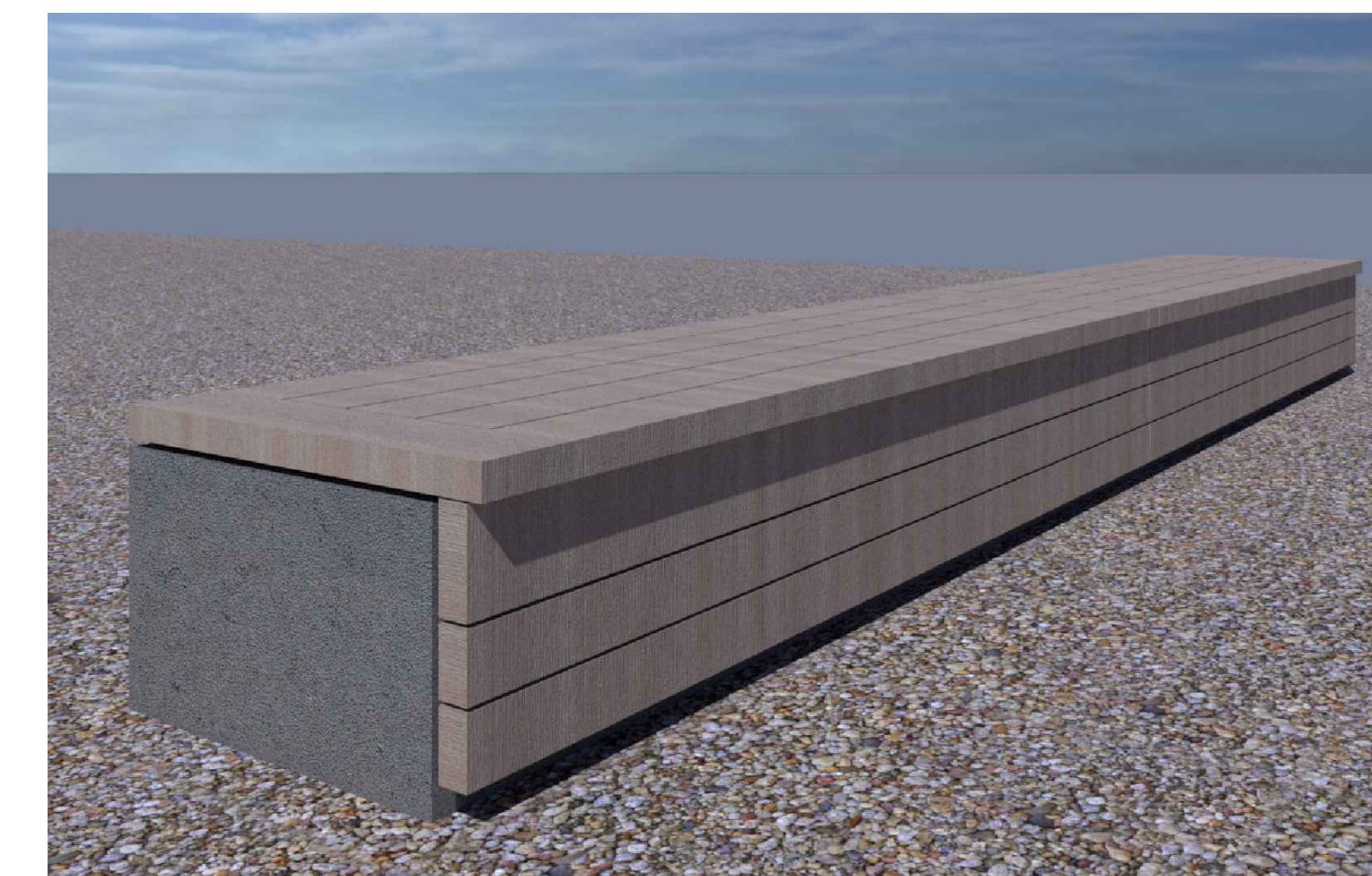
6 AMPHITHEATER SEATING NTS



PLAN

ELEVATION

END ELEVATION



7 SEATWALL NTS

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 285

CN PROJ #: 10145
SCD ID #: 23-28530-01A

DESIGNER:

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

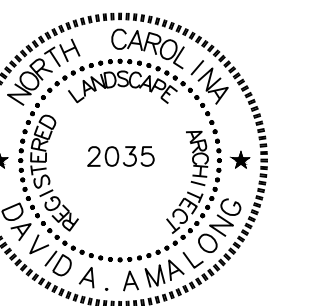
CONSULTANT



STEWART

223 S. WEST ST., #1150
RALEIGH, NC 27603
T 919.380.8758

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

CONSTRUCTION DOCUMENTS

SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENT
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

SITE DETAILS

L4.20

PROJECT #: L22001
DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

CN 10145

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 23-28533-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

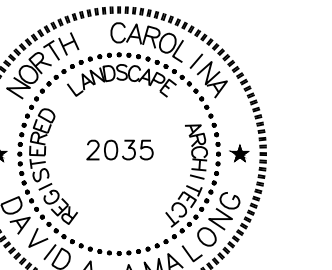
CONSULTANT



STEWART

223 S. WEST ST., #130
RALEIGH, NC 27603
T 919.380.8750

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
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3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

OVERALL PLANTING PLAN

L7.00

PROJECT #: L22001

DESIGN: DA, GS

DRAWN: KP

REVIEW: DA

CN 10145

LEGEND

SHRUB AND GRASS MIXES

TEMPORARY SEED

ENHANCED LANDSCAPE

- Longleaf Pine (*Pinus palustris*)
- Switchgrass (*Panicum virgatum*)
- Eastern Gamagrass (*Tripsacum dactyloides*)
- Little Bluestem (*Schizachyrium scoparium*)
- Sweet Pepperbush (*Clethra alnifolia*)

WETLAND TRANSITION

- 31.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 30.0% *Carex albolutescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 10.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 3.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 3.0% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Juncus tenuis*, NC Ecotype (Path Rush, NC Ecotype)
- 1.0% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)
- 0.5% *Scirpus cyperinus*, Coastal Plain NC Ecotype (Woolgrass, Coastal Plain NC Ecotype)
- 0.5% *Vernonia noveboracensis*, PA Ecotype (New York Ironweed, PA Ecotype)

GARDEN

- 40.4% *Schizachyrium scoparium*, Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
- 20.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 20.0% *Elymus virginicus*, Madison-NY Ecotype (Virginia Wildrye, Madison-NY Ecotype)
- 9.0% *Panicum clandestinum*, Tioga (Deertongue, Tioga)
- 5.5% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 4.0% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 0.5% *Carex scoparia*, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 0.3% *Juncus effusus* (Soft Rush)
- 0.3% *Juncus tenuis*, PA Ecotype (Path Rush, PA Ecotype)

COASTAL LANDSCAPE

- 29.0% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 15.5% *Sorghastrum nutans*, 'Holt' (Indiangrass, 'Holt')
- 15.0% *Panicum virgatum*, 'Carthage', NC Ecotype (Switchgrass, 'Carthage', NC Ecotype)
- 8.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 3.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 2.0% *Agrostis hyemalis*, Piedmont NC Ecotype (Winter Bentgrass, Piedmont NC Ecotype)
- 2.0% *Carex albolutescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 1.5% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 1.5% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Chamaecrista nictitans*, NC Ecotype (Sensitive Pea, NC Ecotype)
- 1.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 0.5% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)

TURF MIXES

EVENT LAWN

Stalok Fiber Reinforced Sod

TURFGRASS

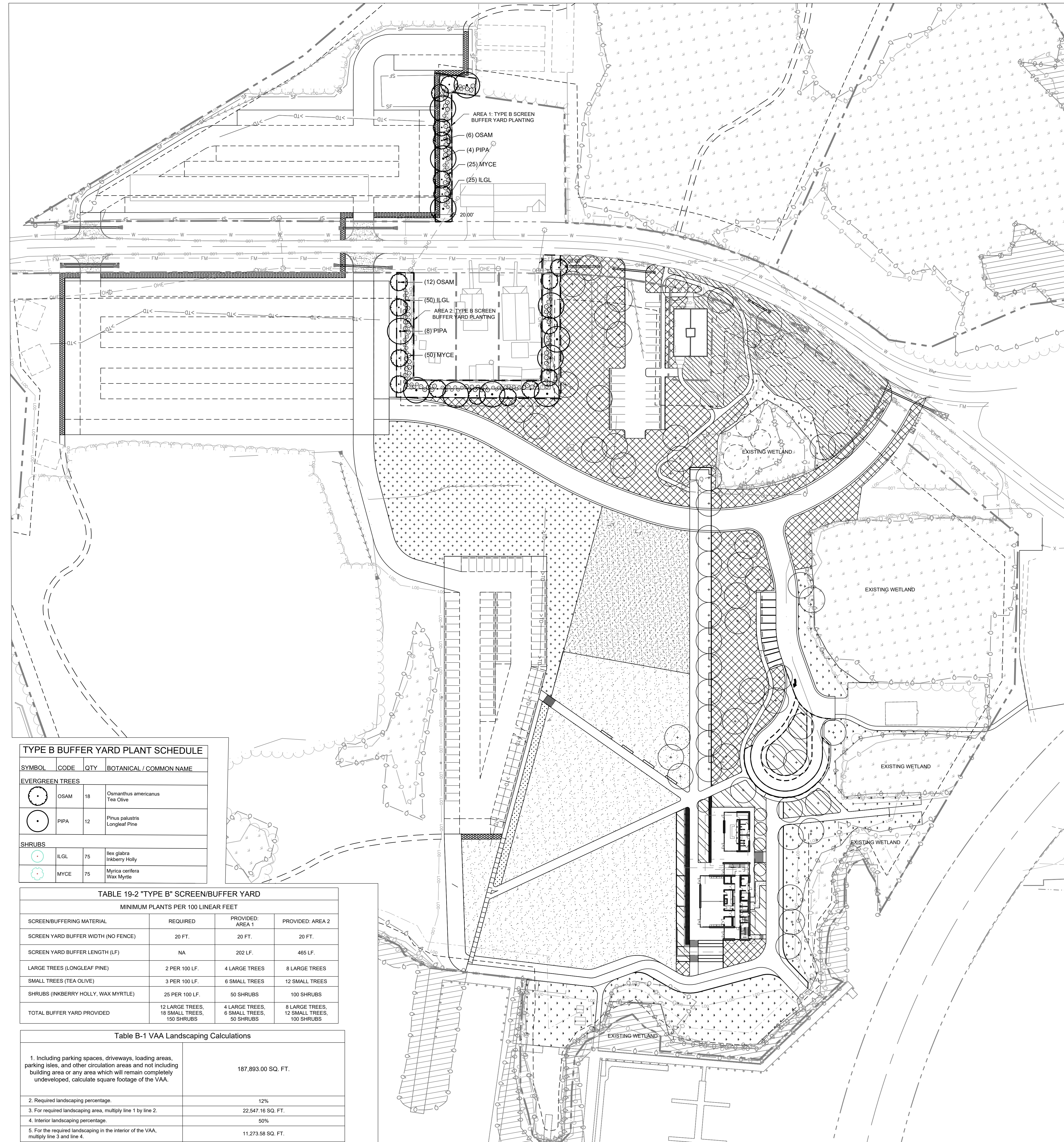
Seed

TREES

- Live Oak (*Quercus virginiana*)
- Bald Cypress (*Taxodium distichum*)
- American Hophornbeam (*Ostrya virginiana*)
- Longleaf Pine (*Pinus palustris*)
- Tea Olive (*Osmanthus americanus*)

SHRUBS

- Cherry Laurel (*Prunus caroliniana*)
- Southern Wax Myrtle (*Morella cerifera*)
- Sweet Pepperbush (*Clethra alnifolia*)
- Inkberry Holly (*Ilex glabra*)
- Wax Myrtle (*Myrica cerifera*)



TYPE B BUFFER YARD PLANT SCHEDULE

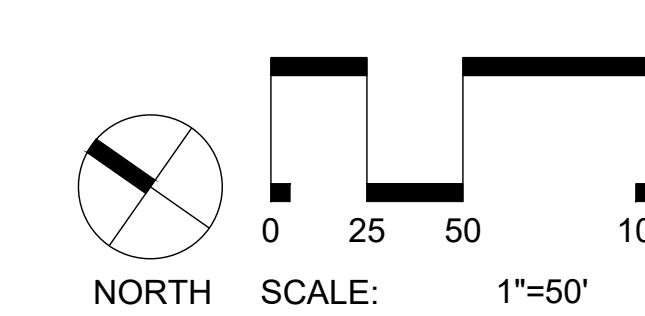
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
EVERGREEN TREES			
	OSAM	18	<i>Osmanthus americanus</i> Tea Olive
	PIPA	12	<i>Pinus palustris</i> Longleaf Pine
SHRUBS			
	ILGL	75	<i>Ilex glabra</i> Inkberry Holly
	MYCE	75	<i>Myrica cerifera</i> Wax Myrtle

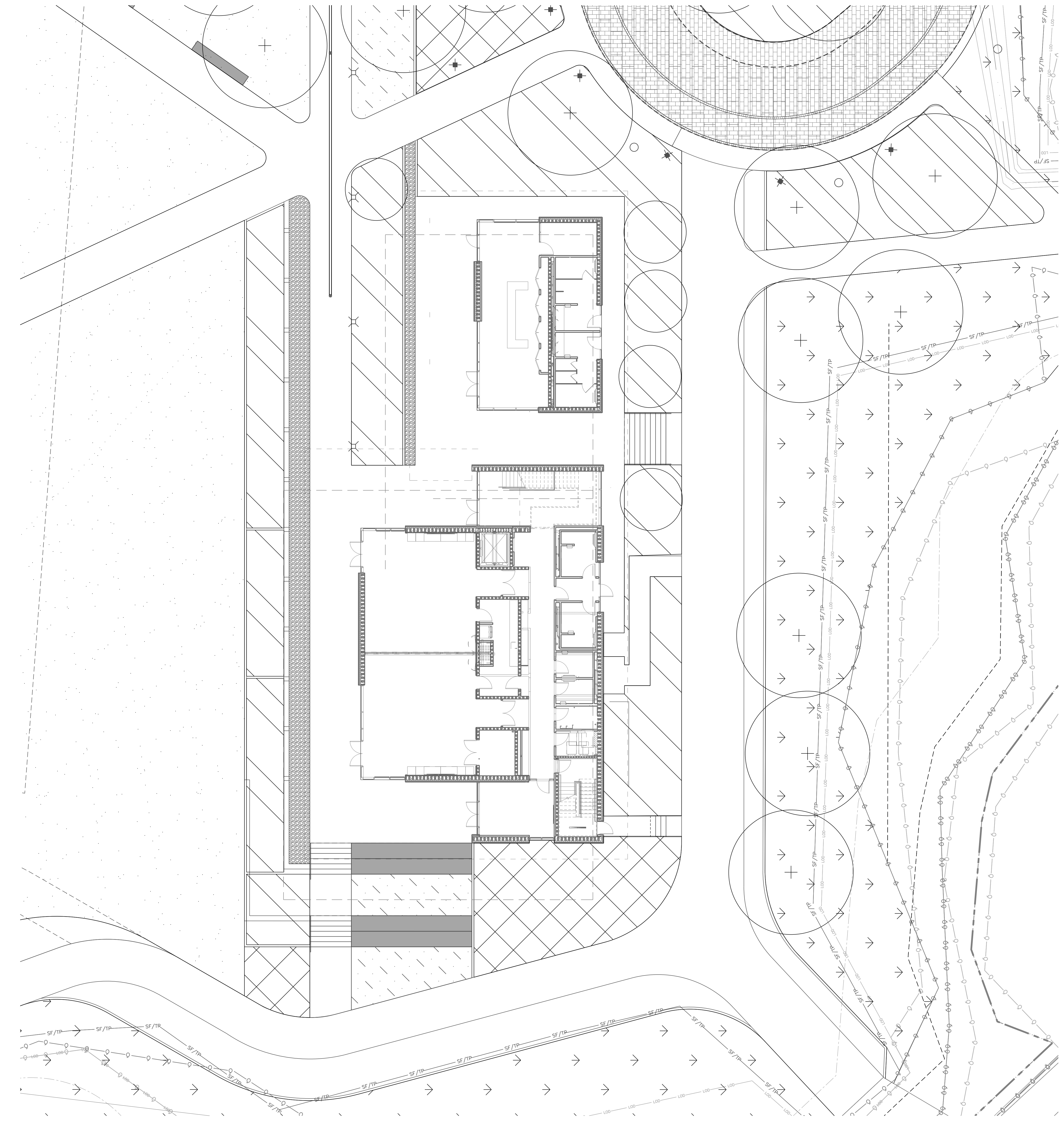
TABLE 19-2 "TYPE B" SCREEN/BUFFER YARD

MINIMUM PLANTS PER 100 LINEAR FEET			
SCREEN/BUFFERING MATERIAL	REQUIRED	PROVIDED: AREA 1	PROVIDED: AREA 2
SCREEN YARD BUFFER WIDTH (NO FENCE)	20 FT.	20 FT.	20 FT.
SCREEN YARD BUFFER LENGTH (LF)	NA	202 LF.	465 LF.
LARGE TREES (LONGLEAF PINE)	2 PER 100 LF.	4 LARGE TREES	8 LARGE TREES
SMALL TREES (TEA OLIVE)	3 PER 100 LF.	6 SMALL TREES	12 SMALL TREES
SHRUBS (INKBERRY HOLLY, WAX MYRTLE)	25 PER 100 LF.	50 SHRUBS	100 SHRUBS
TOTAL BUFFER YARD PROVIDED	12 LARGE TREES, 18 SMALL TREES, 150 SHRUBS	4 LARGE TREES, 6 SMALL TREES, 50 SHRUBS	8 LARGE TREES, 12 SMALL TREES, 100 SHRUBS

Table B-1 VAA Landscaping Calculations

1. Including parking spaces, driveways, loading areas, parking isles, and other circulation areas and not including building area or any area which will remain completely undeveloped, calculate square footage of the VAA.	187,893.00 SQ. FT.
2. Required landscaping percentage.	12%
3. For required landscaping area, multiply line 1 by line 2.	22,547.16 SQ. FT.
4. Interior landscaping percentage.	50%
5. For the required landscaping in the interior of the VAA, multiply line 3 and line 4.	11,273.58 SQ. FT.
6. Existing landscaping area, if any, to be retained in and around the VAA.	---
7. Subtract line 3 from line 6. This is the landscape area required.	22,547.16 SQ. FT.
TOTAL LANDSCAPE AREA PROVIDED	130,500.00 SQ. FT.





LEGEND

SHRUB AND GRASS MIXES

- TEMPORARY SEED**
- ENHANCED LANDSCAPE**
- Longleaf Pine (*Pinus palustris*)
- Switchgrass (*Panicum virgatum*)
- Eastern Gamagrass (*Tripsacum dactyloides*)
- Little Bluestem (*Schizachyrium scoparium*)
- Sweet Pepperbush (*Clethra alnifolia*)

WETLAND TRANSITION

- 31.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 30.0% *Carex albolutescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 10.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 3.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 3.0% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Juncus tenuis*, NC Ecotype (Path Rush, NC Ecotype)
- 1.0% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)
- 0.5% *Scirpus cyperinus*, Coastal Plain NC Ecotype (Woolgrass, Coastal Plain NC Ecotype)
- 0.5% *Vernonia noveboracensis*, PA Ecotype (New York Ironweed, PA Ecotype)

GARDEN

- 40.4% *Schizachyrium scoparium*, Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
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- 0.3% *Juncus effusus* (Soft Rush)
- 0.3% *Juncus tenuis*, PA Ecotype (Path Rush, PA Ecotype)

COASTAL LANDSCAPE

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- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 15.5% *Sorghastrum nutans*, 'Holt' (Indiangrass, 'Holt')
- 15.0% *Panicum virgatum*, 'Carthage', NC Ecotype (Switchgrass, 'Carthage', NC Ecotype)
- 8.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 3.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 2.0% *Agrostis hyemalis*, Piedmont NC Ecotype (Winter Bentgrass, Piedmont NC Ecotype)
- 2.0% *Carex albolutescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 1.5% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 1.5% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Chamaecrista nictitans*, NC Ecotype (Sensitive Pea, NC Ecotype)
- 1.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 0.5% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)

TURF MIXES

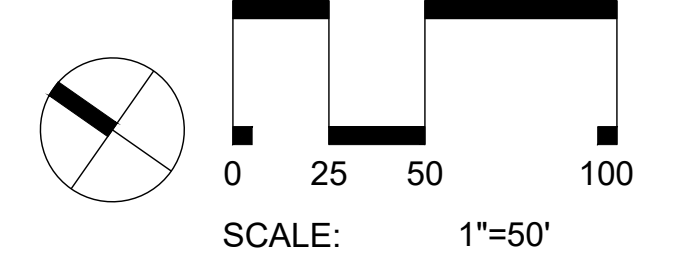
- EVENT LAWN**
- Stalok Fiber Reinforced Sod
- TURFGRASS**
- Seed

TREES

- Live Oak (*Quercus virginiana*)
- Bald Cypress (*Taxodium distichum*)
- American Hophornbeam (*Ostrya virginiana*)
- Longleaf Pine (*Pinus palustris*)
- Tea Olive (*Osmanthus americanus*)

SHRUBS

- Cherry Laurel (*Prunus caroliniana*)
- Southern Wax Myrtle (*Morella cerifera*)
- Sweet Pepperbush (*Clethra alnifolia*)
- Inkberry Holly (*Ilex glabra*)
- Wax Myrtle (*Myrica cerifera*)



Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 23-28530-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

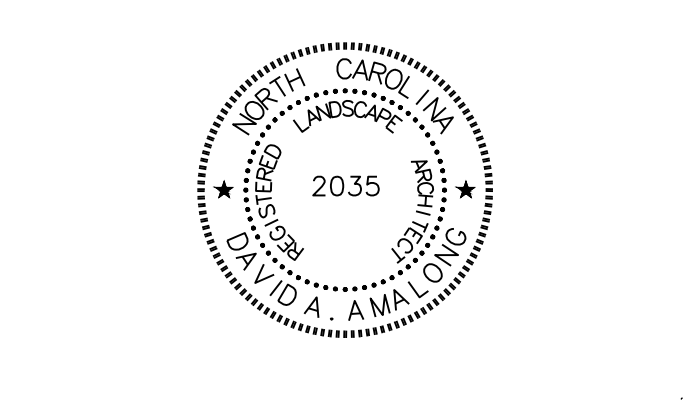
CONSULTANT



STEWART

223 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8750

PROFESSIONAL SEAL



SUBMITTAL

FEBRUARY 5, 2024
CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2023	PER ARCHITECT COMMENTS
2	12/18/2023	PER OWNER & FIRE DEPT. COMMENTS
3	01/11/2024	PER TOWN COMMENTS
4	02/05/2024	PER TOWN COMMENTS

KEY PLAN

SHEET

ENLARGED PLANTING PLAN

L7.01

PROJECT #: L22001
DESIGN: DA, GS
DRAWN: KP
REVIEW: DA



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, February 19, 2024 – Train Depot**

AGENDA CATEGORY: New Business
SUBJECT: To recommend approval or denial to the Board of Commissioners for the rezoning of the two parcels of Beaufort Village Condominiums on Lennoxville Road

BRIEF SUMMARY:

- Rezone the two parcels of Beaufort Village Condominiums on Lennoxville Road from R-8 to TCA.

REQUESTED ACTION:
Recommendation on Proposed Rezoning

EXPECTED LENGTH OF PRESENTATION:
15 Minutes

SUBMITTED BY:
Michelle Eitner
Planner

BUDGET AMENDMENT REQUIRED:
N/A



Staff Report

To: Planning Board
From: Michelle Eitner, Planner

Date: 1/31/2024
Meeting Date: 2/19/2024

Case Number 24-04

Summary of Request:

Rezone the two parcels of Beaufort Village Condominiums on Lennoxville Road from R-8 to TCA.

Background

PINs and Addresses

1. 730508893099000 – 1605 A-D, 1701 A-D, 1703 A-D, 1705 A-D, 1707 A-D, and 1709 A-D Lennoxville Road
2. 730508882954000 – 1711, 1713, 1715, and 1717 Lennoxville Road

Lot Sizes and Density

1. 730508893099000 – 24 units on 3 acres = 8 units/acre
2. 730508882954000 – 4 units on 0.57 acres = 7 units/acre

Owner

Leon Capital Ventures LLC (Michael Jones)

Applicant

Kate Allen with Mary Cheatham King Real Estate

Current Zoning

R-8

Existing Land Use

Condominium complex

CAMA Future Land Use Map Amendment Required

Compact/Multi-Family Neighborhood
 Yes No

Adjoining Land Use & Zoning

North See Attached Zoning Map of Area
South See Attached Zoning Map of Area
East See Attached Zoning Map of Area
West See Attached Zoning Map of Area

Special Flood Hazard Area

Yes No

Public Utilities

Water

Available Not Available

Sewer

Available Not Available

Additional Information

See Staff Comments

Requested Action

Provide recommendation to the Board of Commissioners to:

- Approve the request; or
- Deny the request

Staff Comments

These two tracts of land comprise the Beaufort Village Condominiums development at the northwest and northeast corners of the intersection of Lennoxville Road and Leonda Drive. Twenty-four of the condominiums were built in 1977 and the remaining four were built in 2007. Property owner Leon Capital Ventures LLC, represented by Kate Allen with Mary Cheatham King Real Estate, has requested a rezoning from R-8 to TCA. The existing multi-family use of the parcels is nonconforming in the current R-8 zoning district, but the properties would be rendered conforming if rezoned to TCA.

The Future Land Use Map of the current CAMA Core Land Use Plan classifies this property as Compact/Multi-family Neighborhood, which is consistent with the requested zoning of TCA Townhouses, Condominiums, and Apartments. No CAMA Plan amendment is required.

In accordance with **NCGS § 160D-604(d)**, when conducting a review of proposed zoning text or map amendments the Planning Board shall advise and comment on whether the proposed action is consistent with the Town of Beaufort Comprehensive and CAMA Land Use Plan that has been adopted and any other officially adopted plan that is applicable.

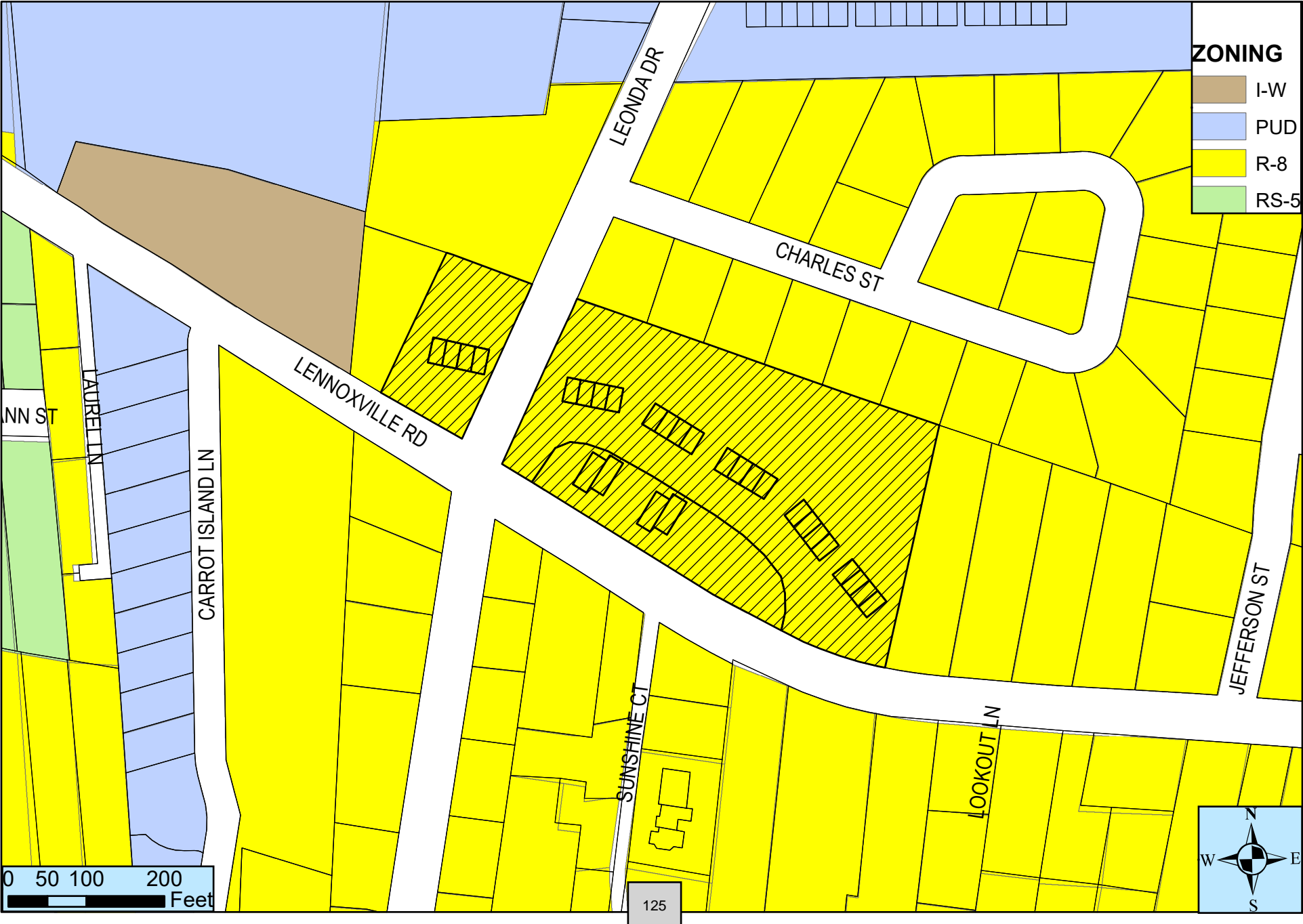
The Planning Board shall provide a written recommendation to the BOC that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed amendment is inconsistent with the Town of Beaufort Comprehensive and CAMA Land Use Plan shall not preclude consideration or approval of the proposed amendment by the BOC.

- Attachments:**
- Attachment B - Vicinity Map
 - Attachment C - Zoning Map
 - Attachment D - CAMA Future Land Use Map
 - Attachment E – Abutting Property Owners
 - Attachment F - Application Packet
 - Attachment G - Consistency Statement
 - Attachment H - LDO Sections (R-8 & TCA)
 - Attachment I - CAMA LUP Compact/Multi-Family Neighborhood Section

Case #24-04 Beaufort Village Condominiums Vicinity Map
Rezoning R-8 to TCA






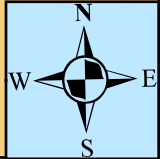
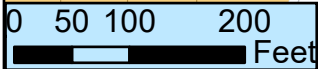
Case #24-04 Beaufort Village Condominiums Zoning Map Rezoning R-8 to TCA



Case #24-04 Beaufort Village Condominiums Vicinity Map Rezoning R-8 to TCA

Future Land Use Map
Future Land Use Character Areas

-  Traditional Neighborhood Residential
-  Compact/Multi-family Neighborhood
-  Right of Way



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Town of Beaufort
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516
252-728-2141 • 252-728-3982 fax
www.beaufortnc.org

Case #24-04 Beaufort Village Condominiums Abutting Neighbors Rezoning Request for R-8 to TCA

VALENTINE GINA M 50 BROOKVIEW DIRVE NEWNAN, GA 30265	LAAK PETER ETUX NICOLA 100 CHARLES STREET BEAUFORT, NC 28516
BROWN ROBERT L JR 102 CHARLES ST BEAUFORT, NC 28516	JOHNSON RONALD K ETUX KATHLEEN 108 LEONDA DRIVE BEAUFORT, NC 28516
SEELAUS EDWARD A 108 CHARLES STREET BEAUFORT, NC 28516	SOWERS CONSTANCE WARREN 109 LEONDA DRIVE BEAUFORT, NC 28516
GALES SHORE PROPERTIES LLC 175 GALES SHORE CIRCLE NEWPORT, NC 28570	MEDLIN MARK T ETUX LISA C 210 TRANSYLVANIA AVE RALEIGH, NC 27609
DENKINS MICHAEL ETUX CHRISTINA 608 CREEKSIDE DRIVE CLAYTON, NC 27520 7819	LARKINS DANIEL J ETUX LINDA E 723 WASHINGTON AVE LINDEN, NJ 0
HARRIS LAWRENCE W III ETUX ANN 1007 HARVEY ST RALEIGH, NC 27608	TAYLOR DAVID BRYAN II 1702 LENNOXVILLE ROAD BEAUFORT, NC 28516
CUTHRELL WILLIAM G JR 1811 LENNOXVILLE RD BEAUFORT, NC 28516	GRAFINGER MICHAEL ETUX JOANNE 2121 TIBWIN DRIVE RALEIGH, NC 27606
ROTCHFORD LAURIE ETVIR WILLIAM 3008 RUFFIN ST RALEIGH, NC 27607 4060	KIMRU INVESTMENTS LLC 4704 SAN JUAN CIRCLE MOREHEAD CITY, NC 28557
WOODHALL MICHAEL COLMAN PO BOX 2235 BEAUFORT, NC 28516	COSSON JAMIE GARY ETUX STACY PO BOX 2440 JULIAN, CA 92036
LEON CAPITAL VENTURES LLC 4004-105 BARRETT DRIVE RALEIGH, NC 27609 6620	



Town of Beaufort
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516
252-728-2141 • 252-728-3982 fax
www.beaufortnc.org

**APPLICATION FOR AN AMENDMENT TO THE
BEAUFORT ZONING MAP**

Instructions:

Please complete the application below, include all the required attachments and the **\$300.00 for Rezoning request with no Land Use Plan Change** or **\$400.00 for Rezoning Request with Land Use Plan Change** and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

APPLICANT INFORMATION

Applicant Name: Kate Allen
Applicant Address: 5420 Hwy 70, Morehead City, NC 28557
Phone Number: (919) 813-6677 Email: kate@marycheathamking.com

Property Owner Name: Leon Capital Ventures, LLC
Address of Property Owner: 4004-105 Barrett Dr. Raleigh, NC 27609
Phone Number: (919) 782-5246 Email: michael.jones@lekson.com

PROPERTY INFORMATION

Property Address: 1605, 1701, 1703, 1705, 1707, 1711, 1713, 1715, 1717 Lennoxville Road
15-Digit PIN: 730508893099000, 730508882954000 Lot/Block Number: _____
Size of Property (in square feet or acres): 2.01, 0.73 acres

Current Zoning: R-8 Requested Zoning: TCA

Current Use of Property: Residential Vacant Commercial Other: _____

[Signature] 1/26/24
Applicant Signature Date of Applicant's Signature

[Signature] 1/26/24
Property Owner Signature (if different than applicant) Date of Owner's Signature

An application fee of **\$300.00 for Rezoning request with no Land Use Plan Change** or **\$400.00 for Rezoning Request with Land Use Plan Change**, either in cash, money order, or check made payable to the "Town of Beaufort," should accompany this application. Payments can be made in person on the day of submittal and at such time, a credit card can be used to make the payment. Credit card payments are subject to a 3% extra fee.

Please refer to the *Land Development Ordinance*, [Section 3](#) and all other pertinent sections for the information required to accompany this application.

**REQUIRED ATTACHMENTS FOR AN AMENDMENT TO THE
BEAUFORT ZONING MAP**

Please provide the following as attachments to the zoning map amendment form:

1. A statement as to whether or not the proposed zoning amendment is consistent with the Beaufort Land Use Plan.
2. A statement as to how the zoning amendment will promote the public health, safety or general welfare of the Town of Beaufort.
3. Proof of ownership (For example: a copy of the deed or city tax statement).

If a property is owned by more than one individual or if multiple properties under different ownership are applying under one request, attach a statement and signatures indicating that all owners have given consent to request the zoning change.

4. An area map of property to scale which includes:
 - North Arrow;
 - All Property lines and accurate property line dimensions;
 - Adjacent streets and names;
 - Location of all easements;
 - Location of all structures;
 - Zoning classifications of all abutting properties.
5. Please submit one digital/electronic copy of any drawings or plans associated with the amendment. At least one paper copy of the drawings or plans should also be submitted.
6. A TYPED list all property owners (with addresses) within 100 feet of the boundary lines of all properties requested to be rezoned (notification of adjacent property owners by the Town is required by North Carolina law).

**THE COMPLETE APPLICATION WITH SUPPORTING
DOCUMENTATION IS DUE TO TOWN STAFF AT LEAST 15 WORKING
DAYS PRIOR TO A SCHEDULED PLANNING BOARD MEETING.**

The Town’s website is www.beaufortnc.org.

OFFICE USE ONLY

Revised 08/2020

Received by: _____

Reviewed for Completeness By: _____

Date: _____

Date Deemed Complete and Accepted: _____



Land Use Statement

Mr. Todd Clark, Town Manager
Town of Beaufort
701 Front Street
Beaufort, NC 28516

Re: Rezoning of 2 parcels located at the intersection of Lennoxville Road and Leonda Drive (PINs: 730508893099000 & 730508882954000)

The subject properties are identified in the Comprehensive and CAMA Land Use Plan (Adopted 12/12/22, CRC Certified 12/18/23) Future Land Use Map as Compact/Multi-family Neighborhood, which is consistent with the requested Townhomes, Condominiums, and Apartments District (TCA), as well as the existing land use of the subject properties.

Respectfully,

A handwritten signature in blue ink, appearing to read "K. Allen".

Kate Allen
Manager of Developments
Mary Cheatham King Real Estate



Zoning Amendment Statement

Mr. Todd Clark, Town Manager
Town of Beaufort
701 Front Street
Beaufort, NC 28516

Re: Rezoning of 2 parcels located at the intersection of Lennoxville Road and Leonda Drive (PINs: 730508893099000 & 730508882954000)

The subject properties, otherwise known as Beaufort Village Condominiums, are currently zoned R-8 Residential Medium District. The properties were originally developed in 1977, with renovations and construction of four additional units constructed in 2007. Approval of the requested zoning amendment from R-8 to TCA – Townhomes, Condominiums and Apartments District will remedy an existing nonconforming situation, as well as allow the property owner to potentially improve the property in accordance with the Town of Beaufort Land Development Ordinance, thus promoting the public health, safety and general welfare of the Town.

Respectfully,

A handwritten signature in blue ink, appearing to read 'KAL', is written over a faint blue line.

Kate Allen
Manager of Developments
Mary Cheatham King Real Estate



FILE # 1604078

FOR REGISTRATION REGISTER OF
Karen S. Hardesty
Carteret County, NC
March 29, 2018 03:55:12 PM
TRAVIS DEED 4 P
FEE \$26.00
NC REVENUE STAMP: \$6,400.00
FILE # 1604078

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$ 6,400.00

Parcel Identifier No. _____ Verified by _____ County on the ____ day of _____, 20__
By: _____

Mail/Box to: Ryan S. Renfrow, 5113-A US Highway 70, Morehead City, NC 28557

This instrument was prepared by: Richard L. Stanley, 601 Cedar St., Ste F, Beaufort, NC 28516 (NO TITLE EXAM)

Brief description for the Index: UNIT 1 through 28, Beaufort Village Condos, Beaufort Village Condominiums at Lenoxville Rd

THIS DEED made this 29th day of March, 2018, by and between

GRANTOR

Beaufort Village Properties Inc.
a North Carolina Corporation
106 Leonda Drive
Beaufort, NC 28516

GRANTEE

Leon Capital Ventures, LLC
a North Carolina Limited Liability Company
4004-105 Barrett Drive
Raleigh, NC 27609

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in the City of Beaufort, Beaufort Township, CARTERET County, North Carolina and more particularly described as follows:

EXHIBIT A

The property hereinabove described was acquired by Grantor by instrument recorded in Book 1099 page 3.
All or a portion of the property herein conveyed ___ includes or X does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book 10T page 317-324.

4

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions: Easements and restrictions of record.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

Beaufort Village Properties, Inc. (SEAL)
By: [Signature] (Entity Name) Print/Type Name:
Print/Type Name & Title: William M Hines, President (SEAL)
By: Print/Type Name:
Print/Type Name & Title: (SEAL)
By: Print/Type Name:
Print/Type Name & Title: (SEAL)

State of - County or City of
I, the undersigned Notary Public of the County or City of and State aforesaid, certify that personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this day of , 20.

My Commission Expires: Notary Public
(Affix Seal) Notary's Printed or Typed Name

State of - County or City of
I, the undersigned Notary Public of the County or City of and State aforesaid, certify that personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this day of , 20.

My Commission Expires: Notary Public
(Affix Seal) Notary's Printed or Typed Name

State of North Carolina - County or City of CARTERET
I, the undersigned Notary Public of the County or City of CARTERET and State aforesaid, certify that William M Hines personally came before me this day and acknowledged that he is the President of Beaufort Village Properties, Inc., a North Carolina or corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this 27 day of March, 2018.

My Commission Expires: 3-4-22 Notary Public
(Affix Seal) Notary's Printed or Typed Name

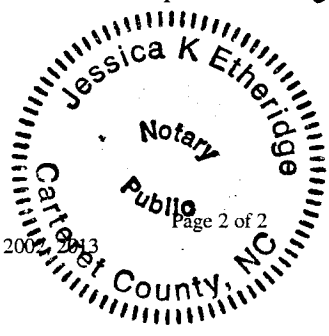


EXHIBIT "A"
LEGAL DESCRIPTION

Being all of Units 1 through 24 of Beaufort Village Condominiums at Lennoxville Road, Phase I, as the same is shown on the plats and engineering drawings recorded in Map Book 10T, pages 317-324, Carteret County, and as described in the Declaration of Condominium of Beaufort Village Condominium at Lennoxville Road recorded in Book 1255, Page 10, Carteret County Registry, as amended in Book 1497, Page 437, together with the 3.16% undivided interests declared therein to be appurtenant to said units in accordance with the amendment recorded in Book 1497, Page 437, Carteret County Registry.

Unit 5 was acquired by Beaufort Village Properties, Inc. by deed from Frank Parisi and Amanda Parisi Donovan recorded in Book 1604, Page 33, Carteret County Registry.

Unit 19 was conveyed to Beaufort Village Properties, Inc. by deed from W. Mac Hines and Fay M. Dawson recorded in Book 1604, Page 36, Carteret County Registry.

Being all of units 25, 26, 27 and 28 of Beaufort Village Condominiums at Lennoxville Road, Phase II, as shown on plats and engineering drawings recorded in Map Book 10T, Page 506, and as described in the Declaration of Condominium of Beaufort Village Condominium at Lennoxville Road recorded in Book 1255, Page 10, as amended by the First amendment adding units 25, 26, 27 and 28, together with the undivided interest of 6.04% for each unit declared therein to be appurtenant to said units.

There is further conveyed the 12 boat trailer spaces located in the two fenced in boat storage areas described as part of Phase I on Exhibit A to the Declaration of Condominium of Beaufort Village Condominium at Lennoxville Road recorded in Book 1255, Page 10.

The units conveyed herein are expressly made subject to the Declaration of Condominium of Beaufort Village Condominium at Lennoxville Road recorded in Book 1255, Page 10, as amended in Book 1497, Page 437, the Bylaws and Articles of Association for the Owners Association, utility easements, existing leases which are being assigned, and prorated 2018 city and county taxes.

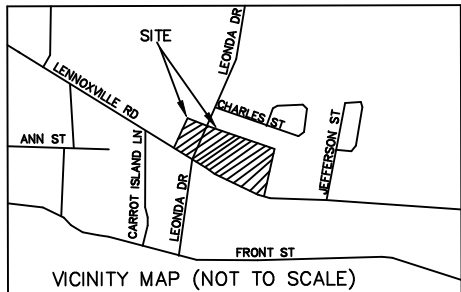
Property Addresses and Parcel Identification Numbers of the properties conveyed herein are shown on the attached Exhibit B.

Exhibit B

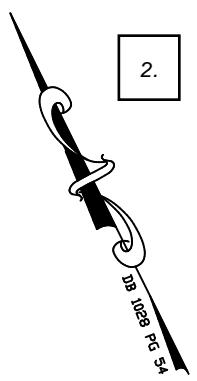
Beaufort Village Condominiums at Lennoxville Road

Property Address	Unit Number	Parcel ID No.	Percentage Interest in Common Area
1701 Lennoxville Rd	1	730508891152001	3.16%
	2	730508891152002	3.16%
	3	730508891152003	3.16%
	4	730508891152004	3.16%
1703 Lennoxville Rd	5	730508892068005	3.16%
	6	730508892068006	3.16%
	7	730508892068007	3.16%
	8	730508892068008	3.16%
1705 Lennoxville Rd	9	730508893052009	3.16%
	10	730508893052010	3.16%
	11	730508893052011	3.16%
	12	730508893052012	3.16%
1707 Lennoxville Rd	13	730508884935013	3.16%
	14	730508884935014	3.16%
	15	730508884935015	3.16%
	16	730508884935016	3.16%
1709 Lennoxville Rd	17	730508884898017	3.16%
	18	730508884898018	3.16%
	19	730508884898019	3.16%
	20	730508884898020	3.16%
1605 Lennoxville Rd	21	730508799187021	3.16%
	22	730508799187022	3.16%
	23	730508799187023	3.16%
	24	730508799187024	3.16%
1711 Lennoxville Rd	25	730508891052000	6.04%
1713 Lennoxville Rd	26	730508891072000	6.04%
1715 Lennoxville Rd	27	730508882937000	6.04%
1717 Lennoxville Rd	28	730508882957000	6.04%
Common Area - Phase 1	N/A	730508893099000	N/A
Common Area - Phase 2	N/A	730508882954000	N/A

TOTAL:**100.00%**



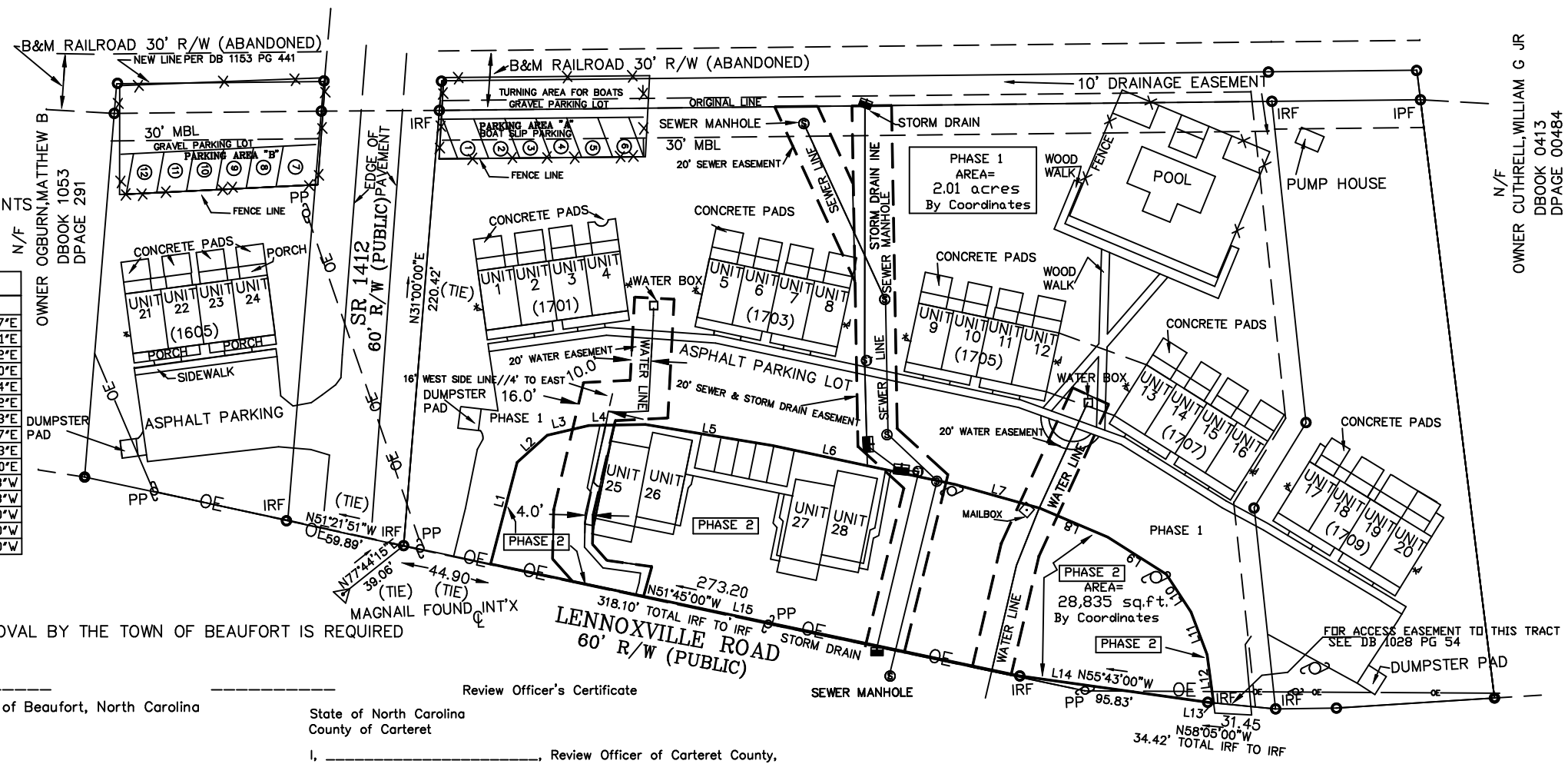
- LEGEND**
- CULVERT
 - IRF IRON ROD FOUND
 - IRS IRON ROD SET
 - IPF IRON PIPE FOUND
 - N/F NOW OR FORMERLY
 - DB DEED BOOK
 - MB MAP BOOK
 - PG PAGE
 - R/W RIGHT OF WAY
 - PP POWER POLE
 - OE OVERHEAD ELECTRIC
 - CP COMPUTED POINT
 - LIGHT POLE



PHASE 2 POINTS ARE COMPUTED POINTS UNLESS OTHERWISE SHOWN

PHASE 2 LINE TABLE

LINE	LENGTH	BEARING
L1	52.99	N40°57'47"E
L2	20.45	N74°16'11"E
L3	21.59	S76°53'42"E
L4	28.56	S64°43'50"E
L5	65.15	S54°16'54"E
L6	94.37	S51°40'32"E
L7	44.39	S48°00'03"E
L8	37.19	S40°38'27"E
L9	35.02	S31°19'03"E
L10	22.76	S06°53'20"E
L11	23.02	S05°36'53"W
L12	24.55	S18°40'08"W
L13	2.97	N58°05'00"W
L14	95.83	N55°43'00"W
L15	273.20	N51°45'00"W



I HEREBY CERTIFY THAT NO APPROVAL BY THE TOWN OF BEAUFORT IS REQUIRED FOR RECORDING OF THIS PLAT.

SUBDIVISION ADMINISTRATOR Town of Beaufort, North Carolina

State of North Carolina
County of Carteret

I, _____, Review Officer of Carteret County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Review Officer _____

Date _____

NORTH CAROLINA CARTERET COUNTY

FILED FOR REGISTRATION AT _____ M. ON THE _____ DAY OF _____

_____, AND RECORDED IN BOOK _____, PAGE _____, OFFICE OF THE REGISTER OF DEEDS, CARTERET COUNTY, NORTH CAROLINA.

PARCEL A, TRACTS 1,2&3 PER DB 1028 PG 54, PHASE 1 & 2 & 1/2 (15') OF 30' ABANDONED RAILROAD RIGHT OF WAY AS PER DB 1153 PG 441

THE PURPOSE OF THIS PLAT IS TO SHOW PHASE 2. PHASE 1 IS SHOWN FOR CLARITY ONLY.

I, THOMAS EDWARD STRICKLAND, III, PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION REFERENCED AS SHOWN ON THE FACE OF THIS PLAT); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES DRAWN FROM INFORMATION FOUND IN BOOK _____, PAGE _____ THAT THE RATIO OF PRECISION AS CALCULATED BY LATITUDES AND DEPARTURES IS 1:10,000 ±; AND ALL AREAS WERE CALCULATED BY COORDINATE COMPUTATION. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS _____ DAY OF _____, A.D., 20____.

THOMAS EDWARD STRICKLAND, III P.L.S.
L-3776
REGISTRATION NUMBER

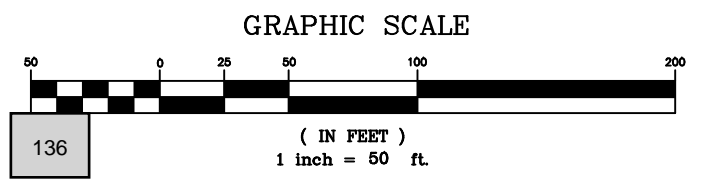
I, THOMAS EDWARD STRICKLAND, III, PROFESSIONAL LAND SURVEYOR L-3776, CERTIFY TO ONE OR MORE OF THE FOLLOWING AS INDICATED:

_____. 1.) THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND; AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET;

DATE _____ THOMAS EDWARD STRICKLAND, III P.L.S. 3776

Review Officer's Certificate

JERRY HARDESTY REGISTER OF DEEDS
BY _____ ASSISTANT DEPUTY



REFERENCE:
DB 1153 PG 441
DB 1099 PG 03

OWNER: MB 31 PG 60-SEWER & WATER EASEMENT
BEAUFORT VILLAGE PROPERTIES, INC.

AS BUILT SURVEY FOR
VILLAGE RENTAL COMPANY, LLC
**BEAUFORT VILLAGE CONDOMINIUMS
AT LENNOXVILLE ROAD, PHASE 2
UNITS 25-28**
BEAUFORT TWSP., CARTERET COUNTY, N.C.

STRICKLAND SURVEYING, P.A.	SURVEYED: 11/29/07
4915 ARENDELL ST, STE J, PMB 132 MOREHEAD CITY, N.C. 28557	INV# / FB#: 3888
(252) 727-1970 (C-1496)	DATE: 12/22/14
THOMAS EDWARD STRICKLAND III P.L.S.	SCALE: 1' = 50'

**Property Owners Within 100 Feet of PINs 730508893099000 &
730508882954000**

Owner & Address **Mailing Address (if different)**

Cosson, Jamie Gary etux Stacy

1603 Lennoxville Road
Beaufort, NC 28516

PO Box 2440
Julian, CA 92036

Gales Shore Properties LLC

201 Leonda Drive
Beaufort, NC 28516

175 Gales Shore Circle
Newport, NC 28570

Laak, Peter etux Nicola

100 Charles Street
Beaufort, NC 28516

Brown, Robert L. Jr.

102 Charles Street
Beaufort, NC 28516

Larkins, Daniel J etux Linda E

104 Charles Street
Beaufort, NC 28516

723 Washington Ave
Linden, NJ 07036

Rotchford, Laurie etvir William

106 Charles Street
Beaufort, NC 28516

3008 Ruffin Street
Raleigh, NC 27607

Seelaus, Edward A

108 Charles Street
Beaufort, NC 28516

Woodhall, Michael Colman

110 Charles Street
Beaufort, NC 28516

PO Box 2235
Beaufort, NC 28516

Denkins, Michael etux Christina

112 Charles Street
Beaufort, NC 28516

608 Creekside Drive
Clayton, NC 27520

Stinson, Laurie A

114 Charles Street
Beaufort, NC 28516

PO Box 126
Morehead City, NC 28557

Webb, Bobby L. Jr. etux Anita
1813 Lennoxville Road
Beaufort, NC 28516

Cuthrell, William G. Jr.
1811 Lennoxville Road
Beaufort, NC 28516

Harris, Lawrence W III etux Ann
1803 Front Street
Beaufort, NC 28516

1007 Harvey Street
Raleigh, NC 27608

Grafinger, Michael etux Joanne
1801 Front Street
Beaufort, NC 28516

2121 Tibwin Drive
Raleigh, NC 27606

Medlin, Mark T etux Lisa C
1709 Front Street
Beaufort, NC 28516

210 Transylvania Ave
Raleigh, NC 27609

Valentine, Gina M
112 Sunshine Court
Beaufort, NC 28516

50 Brookview Drive
Newnan, GA 30265

Kimru Investments LLC
113 Sunshine Court
Beaufort, NC 28516

4704 San Juan Circle
Morehead City, NC 28557

Taylor, David Bryan II
1702 Lennoxville Road
Beaufort, NC 28516

Johnson, Ronald K etux Kathleen
108 Leonda Drive
Beaufort, NC 28516

Sowers, Constance Warren
109 Leonda Drive
Beaufort, NC 28516

Wheatly, Claude R III etux Joyc
1602 Lennoxville Road
Beaufort, NC 28516

PO Box 811
Beaufort, NC 28516

Stone, H Ronald etux Mary F
1601 Lennoxville Road
Beaufort, NC 28516

110 Taylor Creek Lane
Beaufort, NC 28516



**TOWN OF BEAUFORT
PLANNING BOARD**

**RESOLUTION ADVISING THAT PROPOSED AMENDMENT
TO THE ZONING ORDINANCE IS IN ACCORDANCE
WITH ALL OFFICIALLY ADOPTED PLANS;
IS REASONABLE; AND IS IN THE PUBLIC INTEREST.**

WHEREAS, the North Carolina General Assembly has given the Town of Beaufort (“Town”) the authority to adopt and amend zoning and development regulation ordinances for the purpose of promoting the health, safety, morals, and general welfare of its citizens;

WHEREAS, N.C.G.S. §160D-604(d) requires the Town of Beaufort Planning Board shall advise and comment on whether the proposed action is consistent with the Town of Beaufort CAMA Core Land Use Plan that has been adopted and any other officially adopted plan that is applicable, and provide a written recommendation to the Board of Commissioners that addresses plan consistency and other matters as deemed appropriate by the Planning Board; and

WHEREAS, the Planning Board has in fact met to consider and evaluate the proposed amendments to the Ordinance; and

NOW THEREFORE, BE IT HEREBY RESOLVED, that the Planning Board finds that the proposed amendment to the Ordinance is in accordance with all officially adopted Town plans for the reasons stated in the Staff Report for Rezoning Case 24-04 attached hereto and incorporated herein by reference, and therefore recommends adoption by the Board of Commissioners. Specifically the Planning Board finds that the proposed amendment reasonable and in the public interest because it allows the continuation of the multi-family use that has been in place since 1977, is compatible with adjacent land uses, is consistent with the Future Land Use Map of the CAMA Core Land Use Plan, and is in furtherance of the Town plans, ordinances and regulations.

This Resolution is effective upon its adoption this 19th day of February 2024.

**TOWN OF BEAUFORT
PLANNING BOARD**

_____, Chairman

ATTEST:

_____, Secretary

o) Management of the Recreational Vehicle Park.

- i) It shall be unlawful for a person to park or store a manufactured home in a recreational vehicle park for longer than seven days. However, one manufactured home may be allowed within an RV park to be used as an office and/or residence of the persons responsible for the operation and maintenance of the park.
- ii) It shall be the duty of the operator of an RV park to keep an accurate ledger containing a record of all occupants of the RV park. The operator shall keep the ledger available at all times for inspection by law enforcement officials, public health officials, and other officials whose duties necessitate acquisition of the information contained in the ledger.
- iii) The ledger shall contain the following information:
 - Name and permanent address of the occupants of each space;
 - Dates entering and exiting the park; and,
 - The vehicle license plate number with the state of issuance for the license plate, make, and type of vehicle for each car, truck, camping vehicle, etc. staying within the RV park.

C) ***R-8 Residential Medium Density District.***

This residential zoning district is established as a medium density zoning district in which the principle use of the land is for single-family dwelling units. The regulations of this zoning district are intended to provide areas of the community for those persons desiring residences in relatively medium density areas. No buildings, houses, or structures, excepting noncommercial docks or piers as specified in Section 2(H) of this Ordinance, will be erected on the south side of Front Street in this district. Uses in this district which require potable water or sanitary sewer must be connected to both municipal water and municipal sewer.

1) Minimum Lot Size.

All lots in the R-8 district shall be a minimum of eight thousand square feet (8,000 ft²).

2) Minimum Lot Width.

All lots in the R-8 district shall have a minimum lot width of sixty feet (60') at the minimum building line.

3) Building Setback and Building Height Requirements and Limitations.

Subject to the exceptions allowed in this Ordinance, each structure on a lot in this zoning district shall be set back from the boundary lines of the lot at least the distances provided in the tables set forth in this section. The building height limitation in this district is provided in the tables set forth in this section.

Table 7-9 Interior Lot Requirements

<i>District</i>	<i>Front Setback (Right-of-Way)</i>	<i>Rear Setback</i>	<i>Side Setback</i>	<i>Building Height Limitation</i>
R-8	25 feet	25 feet	8 feet	35 feet

Table 7-10 Corner Lot Requirements

<i>District</i>	<i>Designated Front (Right-of-Way) Setback</i>	<i>Designated Side (Right-of-Way) Setback</i>	<i>Rear Setback</i>	<i>Side Setback</i>	<i>Building Height Limitation</i>
R-8	25 feet	20 feet	25 feet	8 feet	35 feet

Table 7-11 Double Frontage Lot Requirements

<i>District</i>	<i>Designated Front (Right-of-Way) Setback</i>	<i>Designated Rear (Right-of-Way) Setback</i>	<i>Side Setback</i>	<i>Building Height Limitation</i>
R-8	25 feet	15 feet	8 feet	35 feet

Where a lot extends across Front Street, the above setbacks shall apply to the portion of the lot north of Front Street. The docks or piers permitted on the south side of Front Street will be subject to an eight feet (8') side setback, or any more restrictive setback required by CAMA or the regulations promulgated thereunder.

4) Accessory Building Setback Requirements.

All accessory buildings shall comply with all setback provisions of this Ordinance, including but not limited to Section 2(F), Section 6 and Section 15 of this Ordinance.

5) Permitted Uses.

Antenna Co-Location on Existing Tower	Neighborhood Recreation Center, Indoor/Outdoor, Private
Athletic Field, Public	Neighborhood Recreation Center, Public
Carport	Park, Public
Community Garden	Public Utility Facility
Dock	Resource Conservation Area
Dwelling, Single-Family	Shed
Family Care Homes	Swimming Pool (Personal Use)
Garage, Private Detached	Temporary Construction Trailer
Government/Non-Profit Owned/Operated Facilities & Services	Utility Minor
Group Home	Vehicle Charging Station
Home Occupation	

6) Special Uses (*Special Uses* requirements may be found in Section 20 of this Ordinance).

Accessory Dwelling Unit	Marina
Athletic Field, Private	Outdoor Amphitheater, Public
Bed & Breakfast	Preschool
Cemetery/Graveyard	Produce Stand/Farmers' Market
Club, Lodge, or Hall	Public Safety Station
Concealed (Stealth) Antennae & Towers	Religious Institution
Day Care/Child Care Home	Satellite Dish Antenna
Golf Course, Privately-Owned	School, Post-Secondary
Golf Driving Range	Utility Facility

SECTION 8 Transitional Zoning Districts

A) *TCA Townhomes, Condominiums, Apartments District.*

This zoning district is established to provide a high-density district in which the primary uses are multi-family residences and duplexes. Uses in this district which require potable water or sanitary sewer must be connected to both municipal water and municipal sewer.

1) Maximum Overall Density.

The TCA district shall have a maximum density of twelve units per acre.

2) Minimum Lot Size.

All lots in the TCA district shall be a minimum of two thousand, seven hundred, and fifty square feet (2,750 ft²) per dwelling unit.

3) Minimum Lot Width.

All lots in the TCA district shall have a minimum lot width of eighty feet (80') at the minimum building line.

4) Building Setback and Building Height Requirements and Limitations.

Subject to the exceptions allowed in this Ordinance, each structure on a lot in this zoning district shall be set back from the boundary lines of the lot at least the distances provided in the tables set forth in this section. The building height limitation in this district is provided in the tables set forth in this section.

Table 8-1 Interior Lot Requirements

<i>District</i>	<i>Front Setback (Right-of-Way)</i>	<i>Rear Setback</i>	<i>Side Setbacks</i>	<i>Building Height Limitation</i>
TCA	25 feet	25 feet	8 feet	35 feet

Table 8-2 Corner Lot Requirements

<i>District</i>	<i>Designated Front (Right-of-Way) Setback</i>	<i>Designated Side (Right-of-Way) Setback</i>	<i>Rear Setback</i>	<i>Side Setback</i>	<i>Building Height Limitation</i>
TCA	25 feet	15 feet	30 feet	8 feet	35 feet

Table 8-3 Double Frontage Lot Requirements

<i>District</i>	<i>Designated Front (Right-of-Way) Setback</i>	<i>Designated Rear (Right-of-Way) Setback</i>	<i>Side Setbacks</i>	<i>Building Height Limitation</i>
TCA	25 feet	15 feet	8 feet	35 feet

5) Accessory Building Setback Requirements.

All accessory buildings shall comply with all setback provisions of this Ordinance, including but not limited to Section 2(F), Section 6 and Section 15 of this Ordinance.

6) Covenants.

In any development proposing common areas, jointly used structures, or private streets, restrictive and protective covenants which provide for party wall rights, harmony of external design, continuing maintenance of building exteriors, grounds, or other general use improvements and similar matters, shall be submitted to the Town and approved by the Town as part of the development approval process. Condominium development must submit evidence of compliance with the North Carolina Condominium Act.

7) Permitted Uses.

Antenna Co-Location on Existing Tower	Group Home
Assisted Living	Home Occupation
Athletic Field, Public	Neighborhood Recreation Center Indoor/Outdoor, Private
Carport	Neighborhood Recreation Center, Public
Community Garden	Nursing Home
Concealed (Stealth) Antennae & Towers	Park, Public
Dock	Public Safety Station
Dormitory	Public Utility Facility
Dwelling, Duplex/Townhome	Resource Conservation Area
Dwelling, Multi-Family	Shed
Family Care Homes	Signs, Commercial Free-Standing
Garage, Private Detached	Temporary Construction Trailer
Government/Non-Profit Owned/ Operated Facilities & Services	Utility Minor
	Vehicle Charging Station

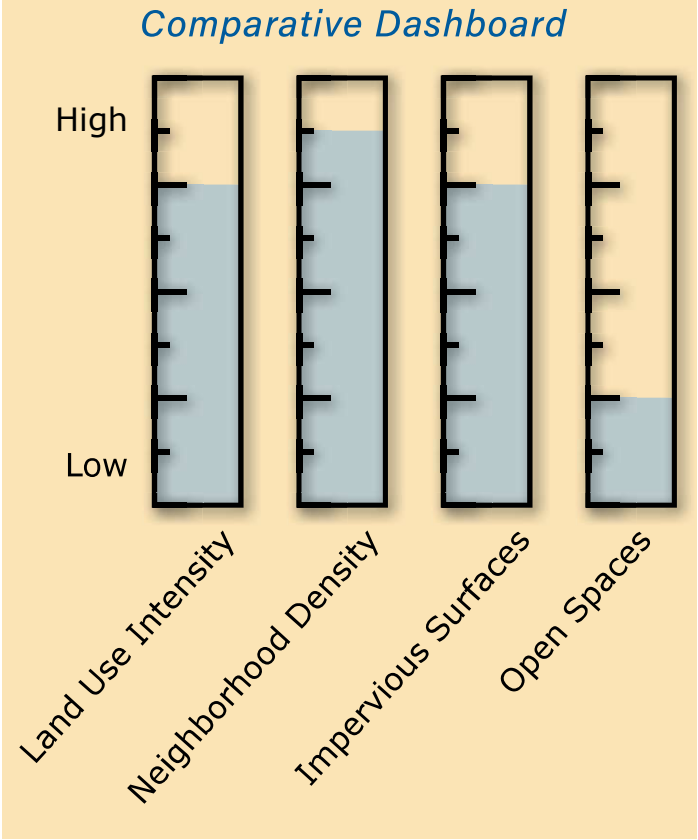
8) Special Uses (*Special Uses* requirements may be found in Section 20 of this Ordinance).

Athletic Field, Private	Restaurant with Indoor Operation
Dwelling, Single-Family	Restaurant with Outdoor Operation
Golf Course, Privately-Owned	Retail Store
Golf Driving Range	Satellite Dish Antennas
Hotel or Motel	School, Post-Secondary
Marina	Tavern/Bar/ Pub with Indoor Operation
Mixed Use	Tavern/Bar/ Pub with Outdoor Operation
Outdoor Amphitheater, Public	Theater, Small
Personal Service Establishment	Transportation Facility
Preschool	Utility Facility
Religious Institution	
Restaurant with Drive-Thru Service	

Compact/Multi-Family Neighborhood

General Description:

These higher density areas are appropriate for multi-family residential dwellings such as apartments, condominiums, townhomes, duplexes or other attached residential. Densities should be higher than all other residential districts and as such will require less land to accommodate more households. Where waterfront adjacent, buildings are likely to be oriented to the water with their backs turned to the street. In all other locations, structures should be pulled up to and oriented to the street (e.g. – individual entrances for ground floor units, stoops or porches, living areas located on the street side of the unit, etc.) with parking in the rear or internal to the development and not visible from the street. Balconies, porches, and decks should also be provided to encourage interaction with neighbors. When these higher density neighborhoods are designed in this way, it enhances public safety by providing a sense of “eyes on the street” while also encouraging the sense of community that residents value so much. These neighborhoods should also have adequate pedestrian facilities and convenient access to public, semi-public, or private open spaces and recreational facilities. Location adjacent to commercial centers is a win-win because



EXAMPLE USES:

Typical Uses:

Primarily higher density (relatively speaking) attached residential uses (apartments, condominiums, townhomes, patio homes, etc.) with duplexes also appropriate as long as they can be provided at high enough densities to be context appropriate. Single family residential and other low density uses should be discouraged as it does not create the density of households to support adjacent commercial areas.

If Context Appropriate:

- » Institutional uses (churches, primary or secondary schools, hospital, government buildings, etc.)
- » Hotels
- » House-scale multi-family residential and duplexes, if higher density
- » Low-intensity neighborhoods serving commercial uses on the corners of higher activity intersections

Compact / Multi-Family Neighborhood



Examples of Compact/Multi-Family Neighborhoods.

it promotes walkability and creates easy access for businesses to the customers that support them. Public sewer is a requirement, but long extensions to distant properties should be avoided unless higher density uses are specifically desired, planned for, and immediately anticipated to fill in the stretch between activity nodes.

Streets and Circulation:

Streets are typically low volume and prioritize pedestrians through the provision of wider sidewalks on both sides. Street trees soften the streetscape and further enhance pedestrian comfort. Street trees may be in tree grates where sidewalks are paved up to the curb – occurs when adjacent to on-street parking. Because of the high density of pedestrians and proximity to commercial centers, connectivity should be high, utilizing a grid network which very rarely has blocks longer than 500’-600’ on a side. On-street parking should be formalized (striping, landscaped tree islands every so often, etc.) and will typically serve visitors. Bicycles should have dedicated facilities but may share the vehicular travel lanes where speed limits and traffic volumes are low enough to accommodate them safely. Eventually, some of these areas may incorporate transit service. In the interim, it is important to consider centralized school bus stop locations.

Other Concerns:

In Beaufort, these higher density areas are often limited by density caps as well as minimum parking requirements and restrictions on structure height. Parking decks are typically not viable in the current market. These density-limiting factors reduce the potential for these areas to provide their maximum value in terms of maximizing public infrastructure investments (water, sewer, sidewalks, etc.), and being a potentially more affordable option for residents (less density means higher cost per dwelling because land costs are fixed). Clustering these higher density land uses directly adjacent to commercial nodes and public parks can maximize walkability and livability.