



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, June 16, 2025 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting

Call to Order

Roll Call

Agenda Approval

Minutes Approval

- [1.](#) PB Draft Minutes 051925

Public Comment

New Business

- [1.](#) Case 25-10 Subdivision – Annie L Jones Co 1600/1612 Live Oak Street Preliminary & Final Plat
- [2.](#) Case #25-11 Enclave @ Beaufort Club - Preliminary Plat.

Commission / Board Comments

Staff Comments

Adjourn



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Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, May 19, 2025 - Train Depot, 614 Broad Street, Beaufort, NC 28516
Minutes

Call to Order

Chair Neve called the May 19th, 2025 Planning Board meeting to order at 6:00 p.m.

Roll Call

The Secretary conducted the roll call for the meeting.

Members Present: Ryan Neve, Chair; Becky Bowler, Vic Fasolino, Clark Patton

Members Absent: Tammy Hunsucker, George Stanziale, Jeff Vreugdenhil

A quorum was declared with four members present.

Town Staff Present: Kyle Garner, Planning Director; Mr. Arey Grady, Town Attorney; Ms. Laurel Anderson, Board Secretary

Agenda Approval

Member Bowler made the motion to approve the agenda and Member Patton made the second. Chair Neve took a vote that was unanimously approved.

Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Clark Patton

Minutes Approval

Member Patton made the motion to approve the minutes and Member Bowler made the second. Chair Neve took a vote that was unanimously approved.

Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Clark Patton

Public Comment

Chair Neve then asked if anyone would like to speak. There were no public comments.

New Business

1. Case #25-03 400 Airport Road Hangar 72 – Site Plan

Mr. Garner gave the Staff Report and stated the applicant wishes to construct an 8,500 sq. ft. airplane hangar on lot 72 at the Michael J. Smith airport. The existing land use is Airport & Hangar Facility and the size of the requested hangar at 8,500 sq. ft. requires site plan approval. There is no parking or landscaping and a stormwater plan is included.

The Board discussed the property owner being Carteret County and noted they have already approved the site plan. Landscaping around hangars is not desired as those areas are kept clear for safety reasons, though perimeter landscaping can be discussed if the airport expands in the future.

Member Fasolino made the motion to recommend approval and Member Bowler made the second. Chair Neve took a vote that was approved.

Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Clark Patton

2. Case #25-07 Site Plan – Boys and Girls Club at 497 Campen Road

Mrs. Eitner gave the Staff Report to recommend to the Board of Commissioners approval or denial of the proposed site plan for construction of a new Boys and Girls Club facility at the undeveloped parcel of land at 497 Campen Road (behind Beaufort Middle School). The current zoning district is R-20 and requested use is Government/Non-Profit Owned/ Operated Facilities & Services, which is a permitted use in R-20. She gave an overview of the site plan and noted the considerable amount of landscaping and the 80 parking spaces in the parking lot which is aligned with the driveway cut across the street with Eastport Apartments.

The Board discussed the sidewalk, speed bumps, the landscape plans, concerns with crosswalk safety for children and also sewer allocation for the Boys and Girls Club.

The representative of the Boys and Girls Club, Kevin Varnell, explained that the location of the crosswalk was chosen by the Town’s public safety officers during the April 29th Technical Review Committee meeting.

After further discussion the Board requested additional consideration for the following items: pedestrian access through the parking lot from the sidewalk/crosswalk to the front door, consider child movement and use of the proposed relocated crosswalk, and consider a 4-way stop sign at the driveway entrances.

Member Patton made the motion to recommend approval and consider pedestrian access through the parking lot from the sidewalk/crosswalk to the front door, child movement and use of the proposed relocated crosswalk, and a 4-way stop sign at the driveway entrances and Member Bowler made the second. Chair Neve took a vote that was approved.

Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Clark Patton

3. Case #25-09 Beaufort Bar SUP Outdoor Operation 410 Live Oak Street

Mrs. Eitner gave the Staff Report to recommend to the Board of Commissioners approval or denial of the proposed special use permit for outdoor operation of Beaufort Bar at 410-A Live Oak Street. Beaufort Bar was established in July 2024, which is an indoor tavern/bar/pub and as such is a permitted use in the General Business (B-1) zoning district. The plan to allow outdoor operation includes the addition of a 630 sq ft canopy surrounded by open fencing (comprised of 50% openings). The canopy dripline and fencing are proposed to extend up to the property line as allowed by LDO Section 6.F. and Section 19.E.

Mr. Thagard, owner and applicant, gave a presentation during which he explained that he would add a 10’x 3’ planter box for beautification. His goals include expanding the operating square footage and providing a quieter area outside for patrons where pets and families are welcome.

The Board discussed the canopy, the outside opening, outside capacity, landscape lighting, and closing off the existing driveway apron and replacing with a curb for safety reasons.

Member Fasolino made the motion to recommend approval as presented and Member Patton made the second. Chair Neve took a vote that was approved.

Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Clark Patton

4. Unified Development Ordinance (UDO) Project Update

Mrs. Eitner gave an update on the progress of the UDO, stating that currently we are in Module 1, in year 1 of a 3-year project. Current focus is on resilience, impervious coverage standards, low-impact development, stormwater retrofit, the non-intensification zone, potential regulation of increased construction standards, and shoreline management ordinances. Public outreach opportunities are planned and the Town website is being kept updated with all information.

Commission / Board Comments

The Board expressed their appreciation for the outstanding presentations by the applicants and the updates to the UDO.

Staff Comments

Mr. Garner noted there is current legislation in the NC House involving the Extraterritorial Jurisdiction and he also gave updates on grant applications the department is currently working on.

Adjourn

Member Patton made the motion to adjourn and Member Bowler made the second. Chair Neve took a vote that was unanimously approved.

Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Clark Patton

Chair Neve then declared the meeting adjourned at 7:20 p.m.

Ryan Neve, Chair

Laurel Anderson, Board Secretary



Town of Beaufort, NC

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**Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, June 16, 2025 – Train Depot**

AGENDA CATEGORY: New Business
SUBJECT: Case 25-10 Subdivision – Annie L Jones Co
1600/1612 Live Oak Street Preliminary & Final Plat

BRIEF SUMMARY:

To recommend to the Board of Commissioners approval or denial of the proposed subdivision preliminary & final plat of 1600/1612 Live Oak Street.

REQUESTED ACTION:

Presentation and discussion of proposed subdivision
Recommendation to Board of Commissioners to approve or deny the subdivision

EXPECTED LENGTH OF PRESENTATION:

15 Minutes

SUBMITTED BY:

Michelle Eitner
Town Planner

BUDGET AMENDMENT REQUIRED:

N/A



STAFF REPORT



To: Planning Board Members
From: Michelle Eitner, Town Planner
Date: June 9, 2025
Case No. 25-10 Subdivision – Annie L Jones Co 1600/1612 Live Oak Street Preliminary & Final Plat

THE REQUEST: To recommend to the Board of Commissioners approval or denial of the proposed subdivision preliminary & final plat of 1600/1612 Live Oak Street.

INFORMATION:

Location: 1600 & 1612 Live Oak Street (McDonalds & adjacent vacant lot)
Property Owner: Annie L Jones Company Inc
Applicant: Tidewater Associates Inc
Zoning District: General Business (B-1)
Size: 3.65 total acres, subdivided into two: 1.45 acres - Tract 1 and 2.2 acres - Tract 2
Existing Land Use: Tract 1 = McDonalds, Tract 2 = vacant lot
Proposed Land Use: No proposed improvements or changes with this subdivision request
Future Land Use: Compact/Multi-Family Neighborhood
Utilities: Town Water and Sewer; on-site stormwater retention established to accommodate stormwater for both lots, to be maintained jointly

OPTIONS:

1. Recommend approval of the preliminary and final subdivision plat
2. Recommend approval of the Site Plan with conditions to bring it into compliance with the LDO
3. Recommend denial of the Site Plan based on specific failures to comply with the LDO.
4. Table the recommendation pending additional information necessary to make a decision

ATTACHMENTS:

- Attachment A – Staff Report
- Attachment B – Vicinity Map
- Attachment C – Zoning Map
- Attachment D – Application Package with Site Plans

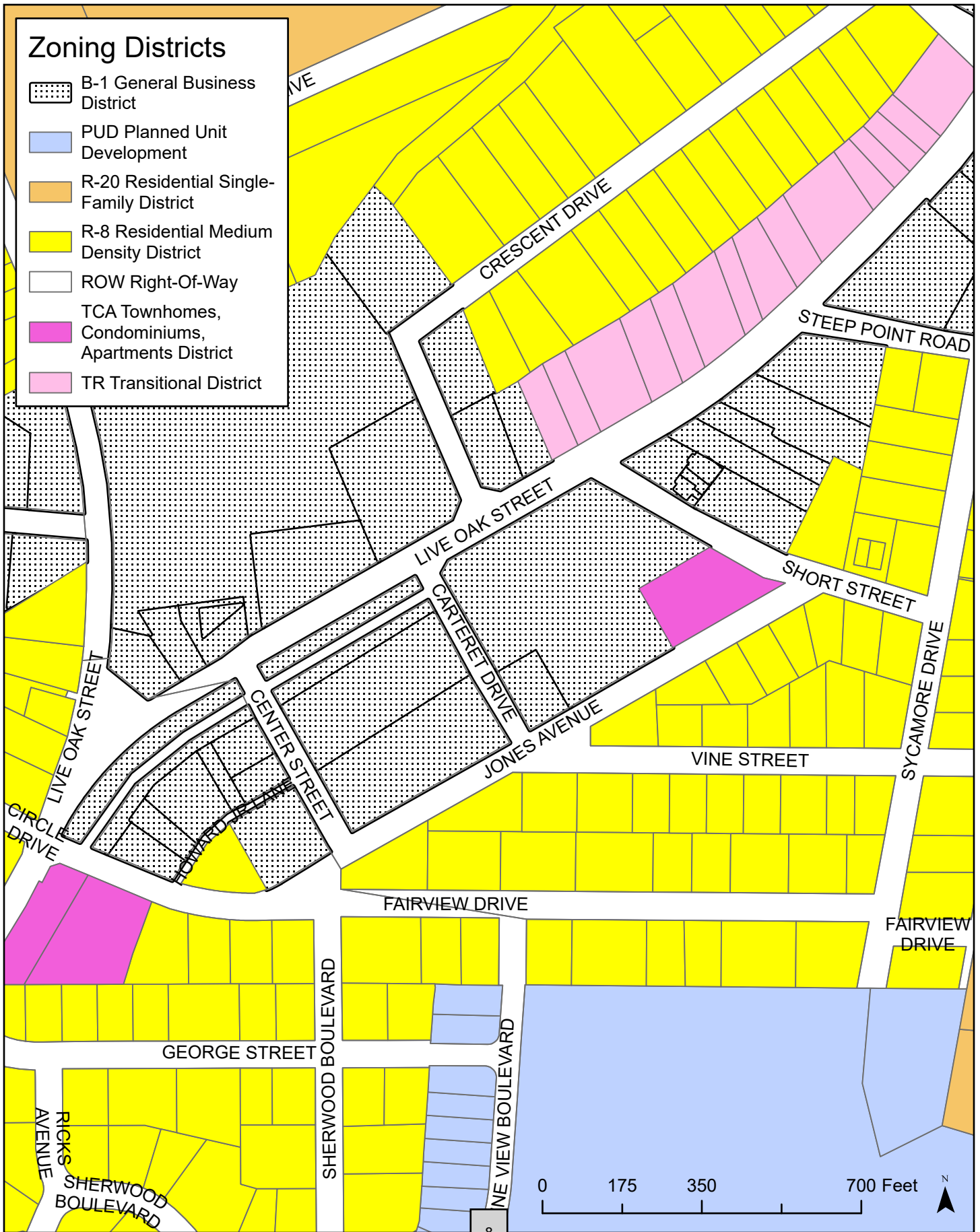
STAFF COMMENTS:

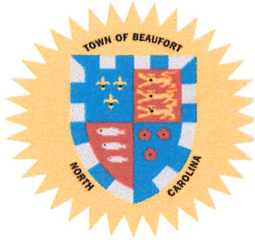
This request is to subdivide one parcel into two parcels. McDonalds is currently leasing the area of Tract 1 and wishes to purchase the property. The remaining Tract 2 is not proposed for development or further subdivision at this time. No extension of utilities, streets, or bicycle/pedestrian facilities is proposed. The Technical Review Committee reviewed this project virtually and had no comments on the proposed subdivision. Staff recommends that the proposed preliminary and final plat subdivision meets requirements of the Land Development Ordinance.

Case 25-10 Subdivision - Annie L Jones Co 1600 & 1610 Live Oak Street
Vicinity Map



Case 25-10 Subdivision - Annie L Jones Co 1600 & 1610 Live Oak Street Zoning Map





APPLICATION FOR A PRELIMINARY SUBDIVISION PLAT

Instructions:

Please complete the form below and include all required attachments, including the \$250.00 application fee and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed but will be returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

APPLICANT INFORMATION

Applicant Name: Tidewater Associates Inc
Applicant Address: 1069A Cedar Point Blvd, Cedar Point, NC 28594
Phone Number: 252-393-6101 Email: jedmondson@tidewaterenc.com

Property Owner Name: Annie L Jones Company Inc
Address of Property Owner: 1532 Heritage Links Dr, Wake Forest, NC 27587
Phone Number: _____ Email: annieljonesco@gmail.com

PROPERTY INFORMATION

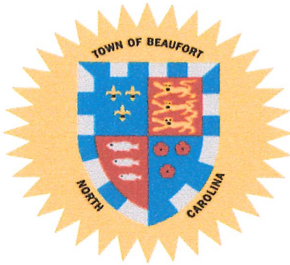
Property Address: 1600/1612 Live Oak Street, Beaufort, NC 28516
15-Digit PIN #: 730616736205000730616737394000 Lot/Block #: Block 73
Size of Property (in square feet or acres): 3.65 **Current Zoning:** B-1
Applicant Signature: [Signature] Date of Signature: 4-28-20
Property Owner Signature (if different than above): [Signature] Date of Signature: 4-28-20

An application fee of **\$250.00**, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials must be received by Town Staff at least 15 working days prior to a regularly scheduled Planning Board meeting date.

Please refer to the Town's **Subdivision Ordinance**, and all other pertinent sections of the Ordinance for the information required to accompany this application. We require one digital/electronic copy and one paper copy of any plans submitted for the preliminary plat

The Town's website address is www.beaufortnc.org.

OFFICE USE ONLY Revised 8/2020
Date: _____ Reviewed for Completeness By: _____
Received by: _____ Date Deemed Complete and Accepted: _____



APPLICATION FOR A FINAL SUBDIVISION PLAT

Instructions:

Please complete the form below and include all required attachments, including the **\$250.00 application fee** and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed but **will be** returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

APPLICANT INFORMATION

Applicant Name: Tidewater Associates Inc
Applicant Address: 1069A Cedar Point Blvd, Cedar Point, NC 28584
Phone Number: (252) 393-6101 Email: jedmondson@tidewaterenc.com

Property Owner Name: Annie L Jones Company Inc
Address of Property Owner: 1532 Heritage Links Dr, Wake Forest, NC 27587
Phone Number: _____ Email: annieljonesco@gmail.com

PROPERTY INFORMATION

Property Address: 1600/1612 Live Oak Street, Beaufort, NC 28516
15-Digit PIN: 730616736205000; 730616737394000 Lot/Block Number: Block 73
Size of Property (in square feet or acres): 3.65 Current Zoning: B-1

Applicant Signature: [Signature] (Tidewater Associates) Date of Applicant's Signature: 4/28/25
Property Owner Signature (if different than applicant): Annie L. Jones Company, Inc. [Signature] Date of Owner's Signature: 4/28/25

An application fee of \$250, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials must be received by Town Staff at least 15 business days prior to a Planning Board scheduled meeting date.

Please refer to the Town's **Subdivision Ordinance**, and all other pertinent sections in the Ordinance for the information required to accompany this application. We require an electronic/digital copy on one printed copy of any plans submitted for the final plat.
The Town's website address is www.beaufortnc.org.

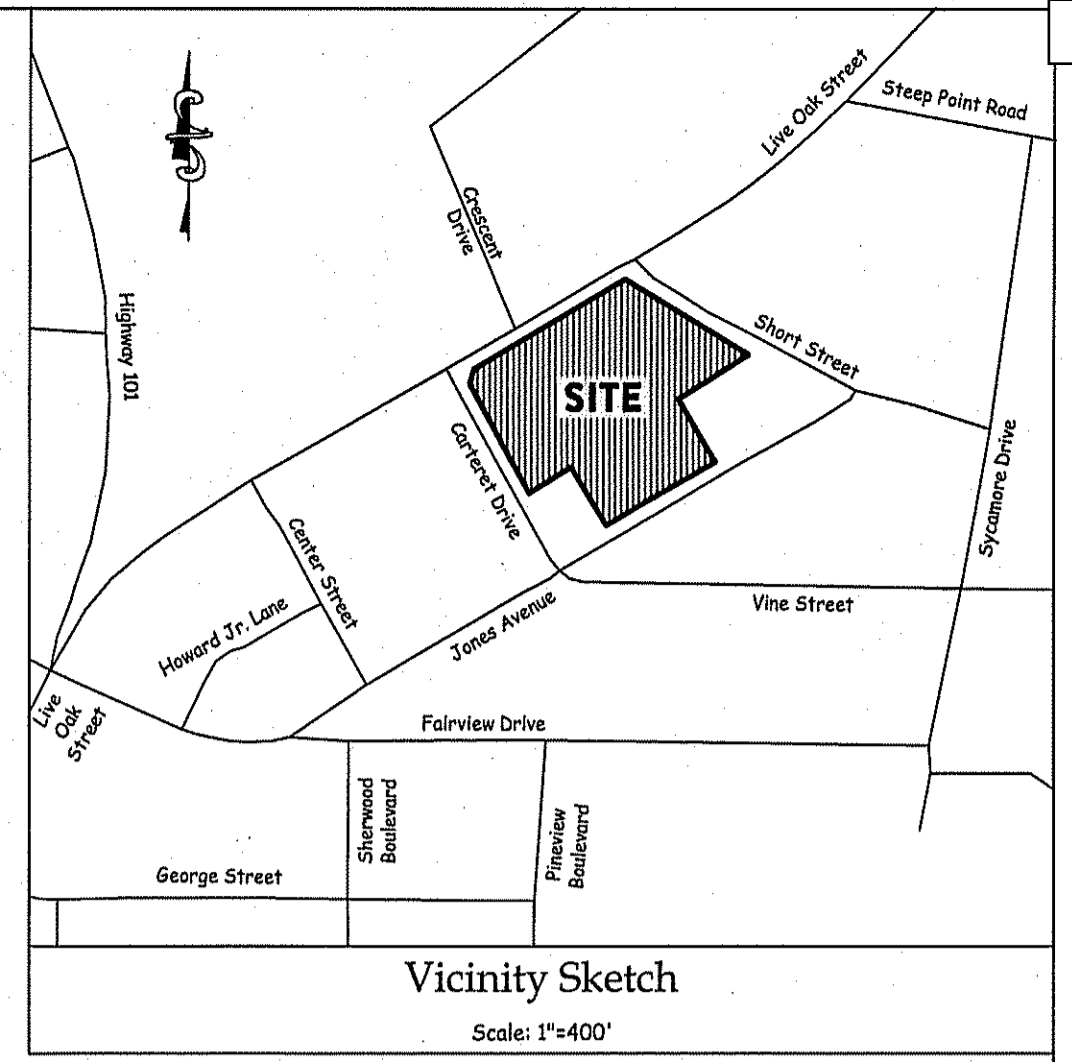
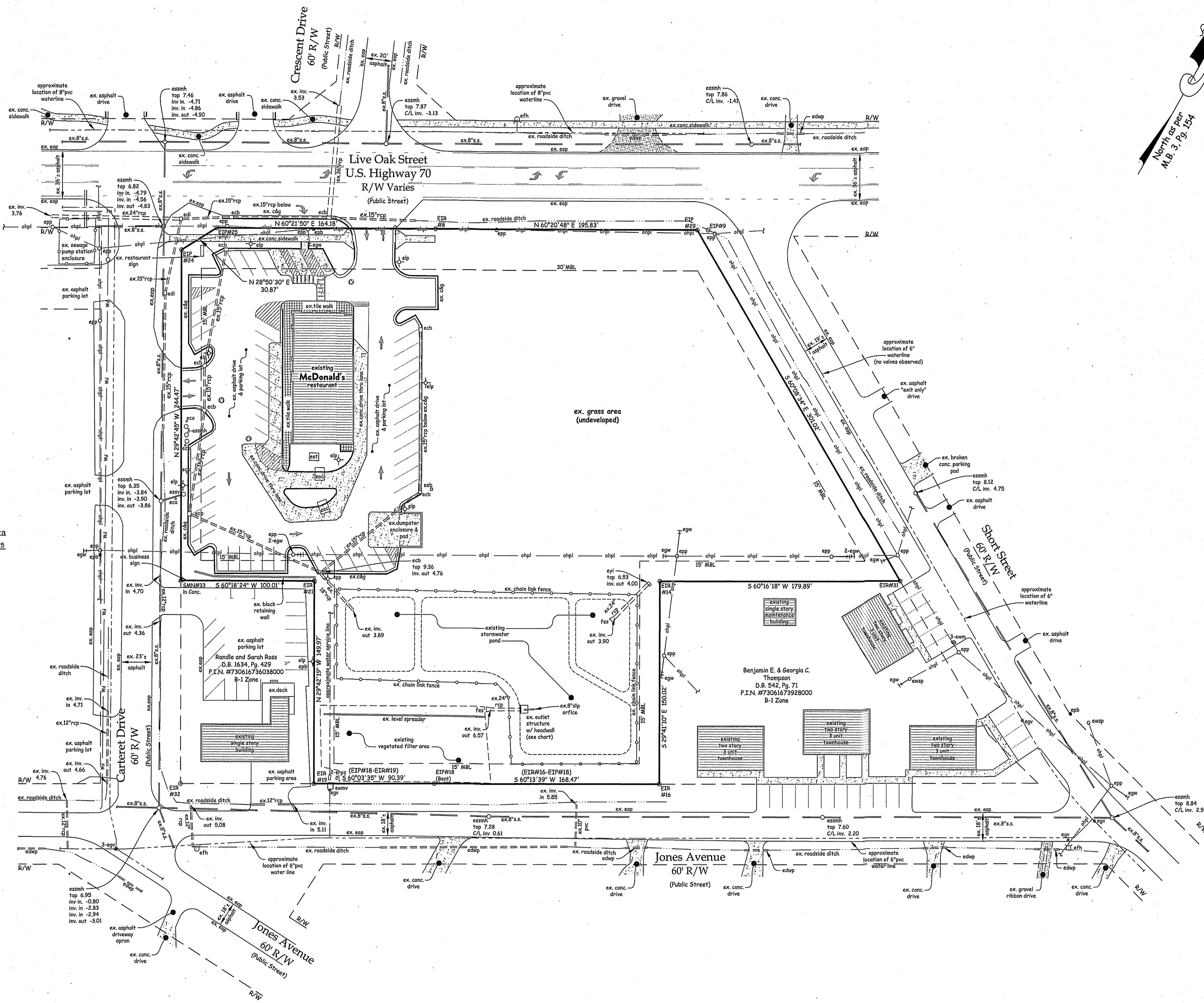
OFFICE USE ONLY Revised 08/2020
Date: _____ Reviewed for Completeness By: _____
Received by: _____ Date Deemed Complete and Accepted: _____

Legend

- c&g - Curb & Gutter
- C/L - Centerline
- D.B. - Deed Book
- ecb - Existing Catch Basin
- eco - Existing Cleanout
- edi - Existing Drainage Inlet
- edip - Existing Ductile Iron Pipe
- edwp - Existing Driveway Pipe
- eeb - Existing Electric Box
- eeft - Existing Electric Transformer
- efh - Existing Fire Hydrant
- egv - Existing Gate Valve
- EIP - Existing Iron Pipe
- EIR - Existing Iron Road
- egw - Existing Guy Wire
- elp - Existing Light Pole
- esc - Existing Overhead "Ordering" Drive Thru Canopy
- esp - Edge of Pavement
- etph - Existing Telephone Pedestal
- ep - Existing Power Pole
- erps - Existing Reduced Pressure Zone
- essmh - Existing Sanitary Sewer Manhole
- essv - Existing Sanitary Sewer Vent
- emwv - Existing Concrete Water Meter Vault
- eyi - Existing Yard Inlet
- ex - Existing
- inv. - Invert
- A.B. - Map Book
- M.B.L. - Minimum Building Line
- P.I.N. - Parcel Identification Number
- Pg. - Page
- pvc - Polyvinyl Chloride Pipe
- R/W - Right-of-Way
- rcp - Reinforced Concrete Pipe
- s.s. - Polyvinyl Chloride Sanitary Sewer Pipe
- SMN Set Map Nail
- Existing Concrete
- Existing Pointed Traffic Flow Arrow
- Existing Tile Pavers
- Handicap Parking Space
- Approximate/Existing Water Line
- Approximate Sewage Force Main
- Existing Chain Link Fence
- Existing Ditch
- Existing Overhead Power Line

Existing Pond Outlet Structure Data
per survey by Tidewater Associates, Inc. on 05.22.2025

headwall 9.79
top 8.54
2" pvc inv. 6.81
8" dip w/ gr inv. 1.54
24" top inv. out 6.88
inside bottom 0.68

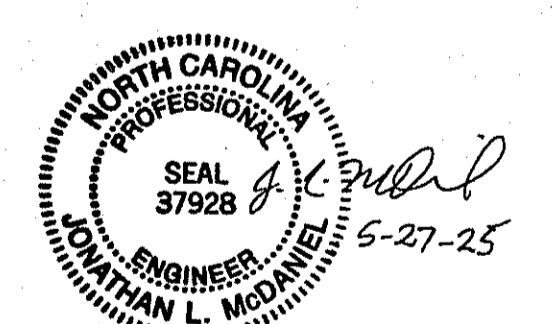


Tract Data:

| | |
|----------------------|------------------|
| Acres in Total Tract | 3.65 Ac. |
| Zone | B-1 Zone |
| Number of Lots | 1 |
| Existing Use | Restaurant |
| Water Service | Town of Beaufort |
| Sewer Service | Town of Beaufort |

P.I.N. #730616737394000
Deed Ref.: D.B. 585, Pg. 6
M.B. 3, Pg. 154

- General Notes:**
- There are no Areas of Environmental Concern (AEC) as defined by Coastal Area Management Act (CAMA) on this site.
 - Subject property is in Flood Zone Shaded X per FEMA CPN 375346 7306 J (Town of Beaufort), Effective July 16, 2003.
 - Boundary taken from a survey by Tidewater Associates, Inc. dated March 2025.
 - Existing conditions taken from a survey by Tidewater Associates, Inc. dated March 2025 & May 2025 and design plans for "McDonald's" by Commercial Site Design dated 07/30/09.
 - Adjoining property information per Carteret County Tax Records.
 - All distances are horizontal ground, U.S. Survey Feet.
 - No record search done by, or furnished to surveyor in regard to zoning, setbacks, easements or restrictions.
 - Existing utility lines may infer the existence of an easement.
 - The GPS portion of the boundary work was performed to third order, Class I, F&CC specifications. The coordinates were obtained by Real Time Kinematic Differential GPS Observations using Carlson Survey Grade BRx7 GPS Unit, NCGS RTK Network Adjustments to NC Grid NAD' 83, 2011.



Existing Conditions Plan

SUBDIVISION OF JONES VILLAGE
Remaining Portion of Map Book 3, Page 154

Town of Beaufort, Carteret County, North Carolina

Owner:
Annie L. Jones Company, Inc.
1532 Heritage Links Drive
Wake Forest, North Carolina 27857
(919) 880-8862

DATE: 05/27/2025

SCALE: 1" = 40'

TIDEWATER ASSOCIATES, INC.
Consulting Engineers - Land Surveyors - Land Planners
Cedar Point, North Carolina
1069A Cedar Point Boulevard
Phone (252) 393-6101 - www.TidewaterENC.com
Firm License Number: F-0108

0 20 40 80 120 FEET

COGO: 22549.ed
Project: 22549
Filename: 1612LiveOakSt-ExConditions.dwg
Drawn by: JJS
Job No.: 5250211-8807

Legend:

- C/L - Centerline
- CP - Computed Point
- D.B. - Deed Book
- EA - Existing Axle
- EIP - Existing Iron Pipe
- EIR - Existing Iron Rod
- Ex. - Existing
- M.B. - Map Book
- ohpl - Overhead Power Line
- Pg. - Page
- PP - Power Pole
- R/W - Right-of-way
- SIR - Set Iron Rod
- SMN - Set Mag Nail
- ① - Proposed Lot

I hereby certify that I am the owner of the property shown and described herein, which is located in the subdivision jurisdiction of the Town of Beaufort and that I hereby adopt this plan of subdivision with my free consent, established minimum building setback lines, and dedicate all streets, alleys, walks, parks, and other sites and easements to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer, storm sewer and Water lines to the Town of Beaufort.

Date _____ Owner(s) _____

Certificate of approval of the design and installation of streets, utilities, and other required improvements. I hereby certify that all streets, utilities and other required improvements have been installed in an acceptable manner and according to the Town of Beaufort specifications and standards in the Remaining Portion of Jones Village Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Beaufort have been received, and that the filing fee for this plat, in the amount of \$ N/A has been paid.

Date _____ Town Manager _____

Certificate of Approval for Recording

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Beaufort, North Carolina, and that this plat has been approved by the Board of Commissioners for recording in the office of the Register of Deeds of Carteret County.

Date _____ Town Clerk, Beaufort _____

Certification of Approval by the Planning Board

The Beaufort Planning Board hereby approves the final plat for the Remaining Portion of Jones Village subdivision.

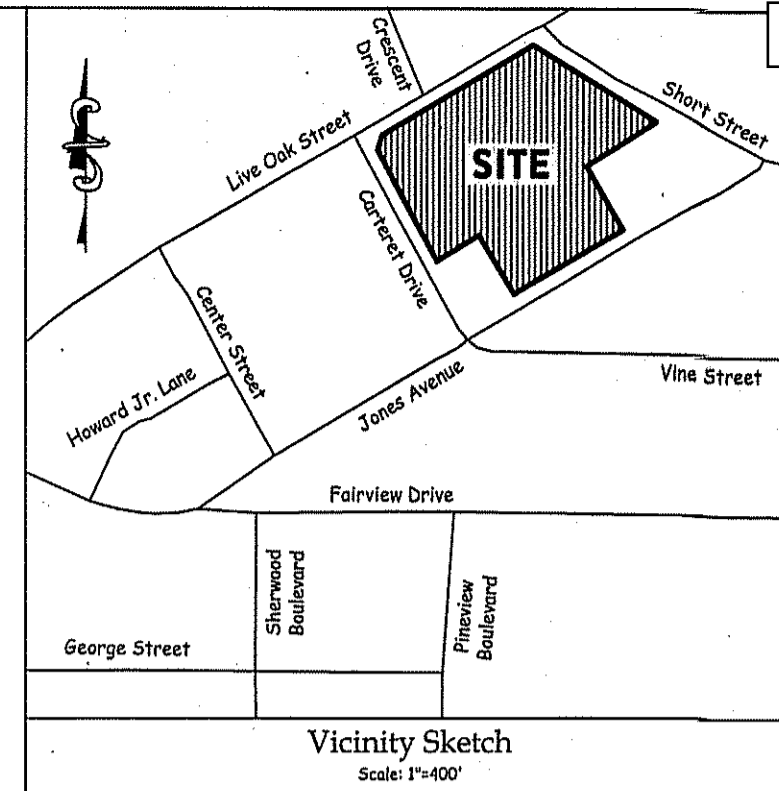
Date _____ Chairman, Beaufort Planning Board _____

I, Jonathan L. McDaniel, Professional Land Surveyor L-5682, certify to one of the following as indicated:

- a. That the survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
- b. That the survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.
- c. Any one of the following:
 1. That the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. For the purposes of this subsection, an "existing parcel" or "existing easement" is an area of land described in a single, legal description or legally recorded subdivision that has been or may be legally conveyed to a new owner by deed in its existing configuration.
 2. That the survey is of an existing feature, such as a building or other structure, or natural feature, such as a watercourse.
 3. That the survey is a control survey. For the purposes of this subsection, a "control survey" is a survey that provides horizontal or vertical position data for support or control of other surveys or for mapping. A control survey, by itself, cannot be used to define or convey rights or ownership.
 4. That the survey is of a proposed easement for a public utility as defined in G.S. 62-3.
- d. That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exemption or exception to the definition of subdivision.
- e. That the information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

PRELIMINARY

Jonathan L. McDaniel, PLS, L-5682



I, Jonathan L. McDaniel, certify that this map was drawn under my supervision from an actual survey (Deed and Plat references as shown hereon), made under my supervision, completed on 03/20/2025, that the ratio of precision or positional accuracy is 0.1", that the boundaries not surveyed are shown as broken lines drawn from sources noted, that this map was prepared in accordance with G.S. 47-30 as amended, this map was prepared for recording purposes.

Witness my original signature, license number and seal this _____ day of _____ In the Year of our Lord 2025.

PRELIMINARY

Jonathan L. McDaniel, PLS, L-5682

NORTH CAROLINA.....CARTERET COUNTY

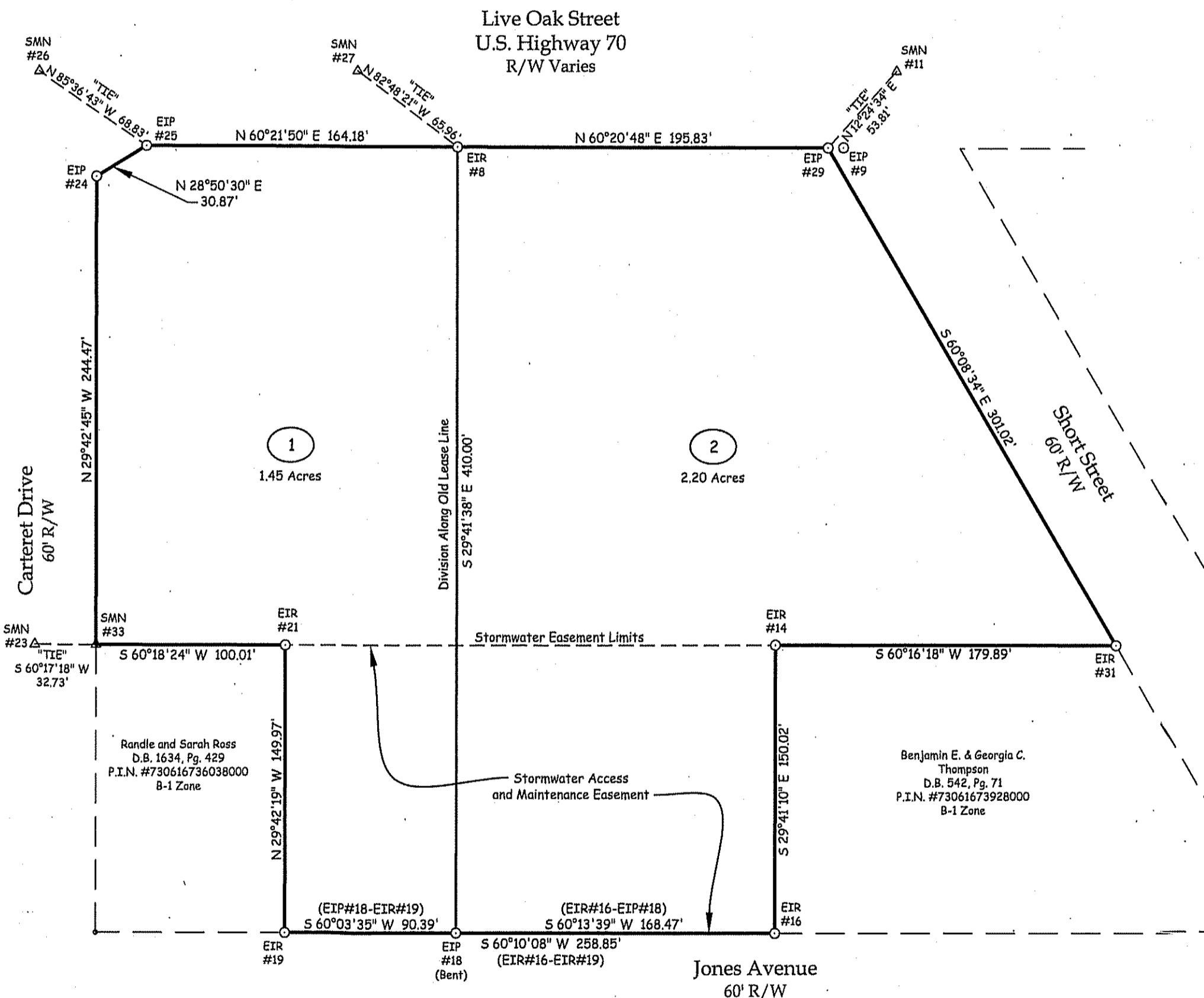
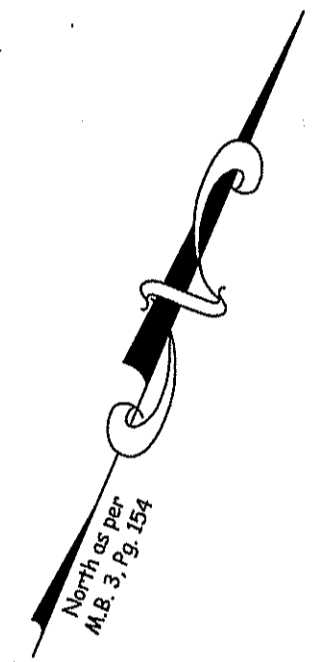
I, _____ Review Officer of CARTERET County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

Date _____ Review Officer _____

Filed for registration and recorded in Map Book _____ Page _____, this _____ day of _____, 2025, at _____ o'clock _____ M.

PRELIMINARY

Register of Deeds By _____



2 Lots
3.65 Acres
Deed Ref:
D.B. 585, Pg. 6
M.B. 3, Pg. 154
Pin #: 7306167394000
Zone: B-1

Final Plat

**SUBDIVISION OF JONES VILLAGE
Remaining Portion of Map Book 3, Page 154**

Town of Beaufort, Carteret County, North Carolina

Owner: **Annie L. Jones Company, Inc.**
1532 Heritage Links Drive
Wake Forest, NC 27587
919-880-8862

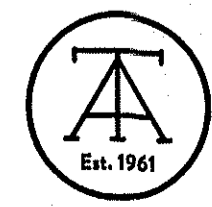
DATE: 04/22/2025



SCALE: 1" = 60"

TIDEWATER ASSOCIATES, INC.

Engineers - Surveyors - Planners
Cedar Point, North Carolina
1069A Cedar Point Blvd.
Phone: (252) 393-6101 - www.TidewaterENC.com
N.C. Firm License Number: F-0108



NOTES:

1. Subject Property will be in Flood Zone "X" Per FIRM CPN 375346 7306 J (Town of Beaufort) Effective: 07/16/2003
2. No record search done by or furnished to surveyor in regards to zoning, setbacks, easements or restrictions.
3. All distances are horizontal ground, U.S. survey feet.
4. Area calculated by coordinates.
5. Adjoining property Information per Carteret County Tax Records.
6. No NCDOT R/W monuments found.

COGO: 22549.erd
Project: Annie L. Jones Co., Inc.
Filename: 22549.dwg
Drawn By: JLM

Draft of Proposed Stormwater Easement 5.23.25.2

Prepared by and return to: _____

STATE OF NORTH CAROLINA
COUNTY OF CARTERET

STORMWATER, CROSS ACCESS, AND
MAINTENANCE EASEMENT AGREEMENT

This STORMWATER, CROSS ACCESS, AND MAINTENANCE EASEMENT AGREEMENT ("**Agreement**") is made this _____ day of _____, 2025 (the "**Effective Date**"), by **ANNIE L. JONES COMPANY, INC.**, a North Carolina corporation ("**Company**") and its successor and assigns, and **McDONALD'S REAL ESTATE COMPANY**, a Delaware corporation ("**McDonald's**") and its successors and assigns. Company and McDonald's are referred to hereinafter individually as a "**Party**" and, collectively, as the "**Parties**". The Parties agree as follows:

RECITALS

A. Company is the fee simple owner of that certain parcel of real property located at the corner of Live Oak Street and Short Street in Beaufort, Carteret County, North Carolina, containing approximately 2.20 acres, identified as "Lot 2" on that certain subdivision plat recorded in the Carteret County Registry as Instrument Number _____, as more particularly described on Exhibit A attached hereto and incorporated herein by reference ("**Company Property**").

B. McDonald's is the fee simple owner of that certain parcel of real property located at the corner of Live Oak Street and Carteret Drive in Beaufort, Carteret County, North Carolina, containing approximately 1.45 acres, identified as "Lot 1" on that certain subdivision plat recorded in the Carteret County Registry as Instrument Number _____, as more particularly described on Exhibit B attached hereto and incorporated herein by reference ("**McDonald's Property**").

C. The State of North Carolina has issued a State Stormwater Management Permit, Permit Number SW8 090620 for the Company Property and McDonald's Property (the "**Permit**"). As part of the Permit an engineered storm water management facility ("**Stormwater Facilities**") was constructed on, and currently serves, both the Company Property and the McDonald's Property as shown on Exhibit D attached hereto and incorporated herein by reference. Restrictive Covenants related to the Permit and Stormwater Facilities were recorded in Book 1356, Page 329, Carteret County Registry ("**Covenants**"). In connection with the use and maintenance of the Stormwater Facilities, the Parties have agreed to grant (i) certain non-exclusive easements over,

across, under, upon and through their respective properties, for the benefit of the other Party, subject to and in accordance with the terms and conditions set forth herein and (ii) an irrevocable license, coupled with a non-exclusive easement, to use the Stormwater Facilities and all related facilities located in the easement area. No additional charge or fee of any type shall be charged for this license.

D. In connection with the use of the Company Property and McDonald's Property, the Parties have agreed to grant a reciprocal cross-access easement over, across, upon and through portions of their respective properties, subject to the terms and conditions set forth herein.

NOW, THEREFORE, for an in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. EASEMENT GRANT

A. CROSS ACCESS EASEMENT

i. *Grant of Easement.* Company hereby grants, devises and conveys to McDonald's for the benefit of McDonald's, its successors and assigns, and the McDonald's Property, and McDonald's hereby grants, devises and conveys to Company for the benefit of Company, its successors and assigns, and the Company Property, a perpetual non-exclusive easement (the "**Access Easement**") for vehicular and pedestrian ingress and egress, over, across and through that certain area designated as "proposed cross access easement" as depicted on Exhibit C attached hereto and incorporated herein by reference (the "**Access Easement Area**") in order to access Live Oak Street . TO HAVE AND TO HOLD such rights, privileges and easements, forever, subject to the terms and conditions hereinafter set forth.

ii. *Scope and Exclusions.* Neither Party shall block or erect any barrier within the Access Easement Area which would prevent the free flow of pedestrian and vehicular traffic between the Company Property and McDonald's Property.

iii. *Maintenance and Repair of Access Easement Area.* Each Party shall be responsible, at their own expense, for all costs and expenses involved with the maintenance of those portions of the Access Easement Area located on their respective properties which shall include, without limitation, the responsibility to pave, repair and maintain in good condition such portions of the Access Easement Area. All work performed by a Party with respect to the Access Easement Area shall be done in a good, workmanlike manner, and free of material defects. In addition, all portions of the properties affected or disturbed by performance of the maintenance obligations set forth herein shall be restored following the completion thereof to the condition existing immediately prior to such maintenance work to the extent reasonably possible, utilizing generally accepted landscaping and engineering practices.

B. STORMWATER EASEMENTS AND PERMIT

i. *Grant of Easement.* Company hereby grants, devises and conveys to McDonald's for the benefit of McDonald's, its successors and assigns, and the McDonald's Property, and McDonald's hereby grants, devises and conveys to Company for the benefit of Company, its successors and assigns, and the Company Property, (1) a perpetual non-

exclusive easement (the “**Stormwater Easement**”) over, through, under and across those certain areas designated as “_____” as depicted on Exhibit D attached hereto and incorporated herein by reference (the “**Stormwater Easement Area**”) for the purpose of accessing, maintaining, repairing, rebuilding, operating and patrolling the Stormwater Facilities and for the drainage and detention of storm and surface water runoff and (2) an irrevocable license to use the Stormwater Facilities and all related facilities located in the Stormwater Easement Area. TO HAVE AND TO HOLD such rights, privileges and easements, forever, subject to the terms and conditions hereinafter set forth.

ii. *Maintenance and Repair of Stormwater Facilities.*

- a. McDonald’s shall be primarily responsible at its sole cost and expense, but subject to reimbursement by the Company as set forth herein, for the ongoing (i) maintenance, repair and replacement obligations of the Stormwater Facilities, and McDonald’s agrees to maintain such facilities in good working order and condition, and to make any necessary repairs or replacements thereto; (ii) compliance of the Stormwater Facilities with the Permit and Covenants, including without limitation the annual inspection fee; and (iii) mowing and landscaping of the Stormwater Easement Area (collectively, “**Maintenance Charges**”).
- b. Company shall be responsible for fifty percent (50%) of the Maintenance Charges. For all routine Maintenance Charges, Company shall reimburse McDonald’s on an annual basis within thirty (30) days after receipt of written request. For any non-routine and unexpected Maintenance Charges, Company shall reimburse such amount to McDonald’s on an ongoing basis within thirty (30) days after receipt of written request. With each written request for reimbursement, McDonald’s shall provide to Company a detailed breakdown of the Maintenance Charges for which reimbursement is being sought. If Company fails to pay such amount to McDonald’s within such 30-day period, McDonald’s may, at McDonald’s sole option, have a lien for unpaid Maintenance Charges, together with interest at the lower of: (1) the rate of 10% per annum, or (2) the maximum rate permissible from time to time under applicable law, from the date of the expenditure or the date when it becomes due to the date of payment in full, placed upon the title of the Company Property by McDonald’s recording a lien claim and notice. The provisions of this paragraph will be in all respects subject and subordinate to the lien of any mortgages or deeds of trust at any time or from time to time on the Company Property and the rights of the holder or holders of any mortgages or deeds of trust.
- c. In the event McDonald’s fails to fulfill its obligations related to the Stormwater Facilities, Company shall have the right, but not the obligation, to take all steps necessary to maintain and operate the same in accordance with this Agreement, the Permit and the Covenants. McDonald’s shall be responsible for fifty percent (50%) of the Maintenance Charges incurred by Company in exercising its self-help rights pursuant to this Section 1(B)(ii)(c). In such event, Company shall provide to McDonald’s a written request for reimbursement, which request shall include a detailed breakdown of the Maintenance Charges for which reimbursement is being sought. If McDonalds fails to pay such amount to Company within thirty (30) days of receiving a written request to pay,

Company, at Company's sole option, may have a lien for unpaid Maintenance Charges, together with interest at the lower of: (1) the rate of 10% per annum, or (2) the maximum rate permissible from time to time under applicable law, from the date of the expenditure or the date when it becomes due to the date of payment in full, placed upon the title of the McDonald's Property by Company recording a lien claim and notice. The provisions of this paragraph will be in all respects subject and subordinate to the lien of any mortgages or deeds of trust at any time or from time to time on the McDonald's Property and the rights of the holder or holders of any mortgages or deeds of trust.

- d. All work performed by a Party with respect to the Stormwater Easement Area shall be done in a good, workmanlike manner, and free of material defects. In addition, all portions of the properties affected or disturbed by performance of the maintenance obligations set forth herein shall be restored following the completion thereof to the condition existing immediately prior to such maintenance work to the extent reasonably possible, utilizing generally accepted landscaping and engineering practices.

2. INDEMNIFICATION

Each Party, with respect to its property, shall comply with all provisions in this Agreement and shall pay, reimburse, indemnify, defend, and hold the other Party harmless from and against all claims, demands, actions, losses, actual damages (excluding consequential and punitive damages), liabilities, and expenses (including reasonable attorneys' fees) arising out of, resulting from, or in any way connected or related to (i) a Party's failure to comply with all provisions in this Agreement, or (ii) the use by a Party of the easements granted by this Agreement, except to the extent any claims, demands, actions, losses, damages, liabilities, and expenses (including reasonable attorneys' fees) are caused or contributed to by the negligent, intentional, or willful acts or omissions of the indemnified Party. Notwithstanding anything to the contrary herein, with respect to the easements granted herein, the costs and expenses of any maintenance or repairs necessitated by the negligence or intentionally wrongful act of any Party, or any of its tenants, employees, agents, occupants, customers, officers, suppliers, lenders, visitors, managers, affiliates, contractors, mortgagees, guests, invitees or licensees, shall be borne solely by such Party. Each Party will give prompt and timely notice to the other Party of any claim made or suit or action commenced which in any way would result in indemnification under this Article.

3. DEFAULT; REMEDIES

In the event of any failure by either Party to perform, fulfill or observe any agreement to be performed, fulfilled or observed by under this Agreement, and such failure continues for thirty (30) days, or immediately in situations involving potential danger to the health or safety of persons in, on or about the parcels or any portion of any part of such parcel, in each case after written notice specifying such, the other Party, at its election, may cure such failure or breach for and on behalf of the non-performing Party, and any amount which is expended for such purpose, or which will otherwise be due by the non-performing Party, will be paid to other performing Party on demand, without contest, upon delivery of an invoice, together with interest at the lower of (i) the rate of 10% per annum, or (ii) the maximum rate permissible from time to time under applicable law, from the date of the expenditure to the date of payment in full. If the performing Party is not reimbursed within 30 days from the date of nonperforming Party's receipt of the invoice, the performing Party may, at its sole discretion, have a lien for unpaid costs placed upon title of property belonging to the nonperforming Party by recording a lien claim and notice. The provisions of this paragraph

will be in all respects subject and subordinate to the lien of any mortgages or deeds of trust at any time or from time to time on the parcels and the rights of the holder or holders of any mortgages or deeds of trust.

In the event of a violation or threat thereof of any of the provisions of this Agreement regarding the easements, each Party agrees that such violation or threat thereof may cause the non-defaulting Party to suffer irreparable harm and such non-defaulting Party and their tenants and other occupants may have no adequate remedy at law. As a result, in the event of a violation or threat thereof of any such provisions of this Agreement, the non-defaulting Party, in addition to all remedies available at law or otherwise under this Agreement, shall be entitled to injunctive or other equitable relief to enjoin a violation of such provisions or threat thereof.

The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity; provided, however, no breach or default under any of the provisions of this Agreement shall entitle any Party to cancel, rescind, or otherwise terminate this Agreement, or any covenant, easement, right or privilege under this Agreement. No breach or default under this Agreement shall defeat or render invalid the lien of any mortgage or deed of trust upon any property, or portion thereof, made in good faith for value, but the easements, rights, privileges, covenants, and conditions of this Agreement shall be binding upon and effective against any Party of such property covered hereby whose title thereto is acquired by foreclosure, deed in lieu of foreclosure, or otherwise.

4. WARRANTIES OF TITLE

Each Party, for its self and it successors and assigns covenants with the other, its successors and assigns, that it is seized of the lands described herein in fee simple and has the right to grant the easements conveyed herein; that the same are free and clear of encumbrances except as set forth in the public records, and that each will warrant and defend the title to the same against the lawful claims of all persons claiming by or through the other party.

5. COVENANTS RUNNING WITH THE LAND

It is intended that each of the easements, privileges, benefits, covenants, conditions, rights, obligations and other provisions of this Agreement, including the benefits and burdens, shall run with the land and create equitable servitudes in favor of the property benefited thereby and are binding upon and inure to the benefit of the heirs, assigns, licensees, invitees, successors, tenants, employees and personal representatives of the parties.

6. MISCELLANEOUS

- A. Construction. The rule of strict construction does not apply to this Agreement which shall be given a reasonable construction so that the intention of the parties to convey a commercially usable right of enjoyment is carried out.
- B. Attorneys' Fees. In the event any Party institutes any legal action or proceeding for the enforcement of any right or obligation contained in this Agreement, the prevailing Party, after a final adjudication, shall be entitled to recover its out-of-pocket costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.
- C. Amendment. The Parties agree that the provisions of this Agreement may be modified or amended, in whole or in part, or terminated, only by the written consent of all then record

owners of the Company Property and McDonald's Property, evidenced by a document that has been fully executed and acknowledged by all such record owners and recorded in the Carteret County Register of Deeds.

- D. Consents. Wherever in this Agreement the consent or approval of a Party or any other party is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld, conditioned or delayed. The consent of a Party under this Agreement, to be effective, must be expressly given in writing and delivered to the requesting Party pursuant to the notice provisions contained below.
- E. No Waiver. No waiver of any default of any obligation by any party subject to this Agreement shall be implied from any omission by any other Party to take any action with respect to such default.
- F. No Agency. Nothing in this Agreement shall be deemed or construed by any party to this Agreement, or by any third person, to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the Parties subject to this Agreement.
- G. Severability. Each provision of this Agreement and the application thereof to the properties are hereby declared to be independent of and severable from the remainder of this Agreement. If any provision contained in this Agreement shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not, to the greatest extent permitted by applicable law, affect the validity or enforceability of the remainder of this Agreement. Ownership of all of the properties subject to this Agreement by the same person or entity shall not terminate this Agreement nor in any manner affect or impair the validity or enforceability of this Agreement.
- H. Entire Agreement; Terms Used. This Agreement contains the complete understanding and agreement of the Parties subject to this Agreement with respect to all matters referred to herein. As used herein, terms in the masculine gender shall include the neuter and the feminine, and the singular shall include the plural, as the context may require. The captions and headings in this Agreement are for convenience and reference only, and they shall in no way be held to explain, modify, or construe the meaning of the terms of this Agreement. Time is of the essence with respect to the obligations and other provisions of this Agreement.
- I. Notices. Notices or other communication required under this Agreement shall be in writing and shall be sent by (1) certified or registered mail, return receipt requested, or (2) national overnight courier company. Notices shall be sent to the then current record owner of the respective property at the address of record with the Carteret County Tax Office or such or such other address as either Party furnishes to the other, in writing Notice shall be deemed given upon receipt or refusal to accept delivery.
- J. Governing Law. The laws of the State of North Carolina shall govern the interpretation, validity, performance and enforcement of this Agreement.
- K. Estoppel Certificates. Each Party, within thirty (30) days of its receipt of a written request from the other Party, shall from time to time provide the requesting Party a certificate binding upon such Party stating: (i) to the best of such Party's knowledge, reciting whether any party to this Agreement is in default or violation of this Agreement and, if so, identifying

such default or violation; and (ii) confirming this Agreement is in full force and effect and identifying any amendments to the Agreement as of the date of such certificate; and (iii) reciting other factual matters related directly to the status of the easements created by this Agreement reasonably requested by the requesting Party.

- L. Representations. The undersigned each hereby warrants and represents that (i) it has full right, power, and authority to execute and deliver this Agreement on behalf of the Party indicated, (ii) that this Agreement has been duly executed and delivered on behalf of such Party indicated, and (iii) this Agreement constitutes the valid and binding agreement of such Party so indicated. Each Party that owns any part of the property described herein covenants with the other parties that it owns its Tract in fee simple, and that its property is free and clear of any liens or encumbrances which could have priority over the easements and rights herein, other than those specifically subordinated hereto.

- M. Counterparts. This Agreement may be executed and delivered in any number of counterparts, each of which so executed and delivered will be deemed to be an original and all of which together shall constitute one and the same instrument. The exchange of executed counterparts of this Agreement shall constitute effective execution and delivery of this Agreement.

- N. Exhibits. This Contract includes the following Exhibits, which govern over conflicting provisions (if any) of this Agreement, and are made an integral part of this Agreement and fully incorporated by reference:

- Exhibit A: Legal Description of Company Property
- Exhibit B: Legal Description of McDonald's Property
- Exhibit C: Access Easement Area
- Exhibit D: Stormwater Facility Easement Area

[intentionally blank; signatures and acknowledgements follow]

IN WITNESS WHEREOF, the Parties have caused this Agreement to be duly executed as of the day and year first above written.

COMPANY:

ANNIE L. JONES COMPANY, INC.,
a North Carolina corporation

By: _____

Name: _____

Title: _____

STATE OF NORTH CAROLINA

COUNTY OF _____

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document for the purpose stated therein and in the capacity indicated: _____.

Date: _____, 2025.

Notary Public: _____

Printed Name: _____

My commission expires: _____

[SEAL]

MCDONALD'S:

McDONALD'S REAL ESTATE COMPANY,
a Delaware corporation

By: _____

Name: _____

Title: _____

STATE OF _____

COUNTY OF _____

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document for the purpose stated therein and in the capacity indicated: _____.

Date: _____, 2025.

Notary Public: _____

Printed Name: _____

My commission expires: _____

[SEAL]

EXHIBIT A

Company Property

Being all of Lot 2, as shown on that plat captioned "Subdivision of Jones Village Remaining Portion of Map Book 3, Page 154" prepared by Tidewater Associates, Inc. dated April 22, 2025 and recorded in File # _____, Carteret County Register of Deeds.

[Legal description to be updated based on recorded plat.]

EXHIBIT B

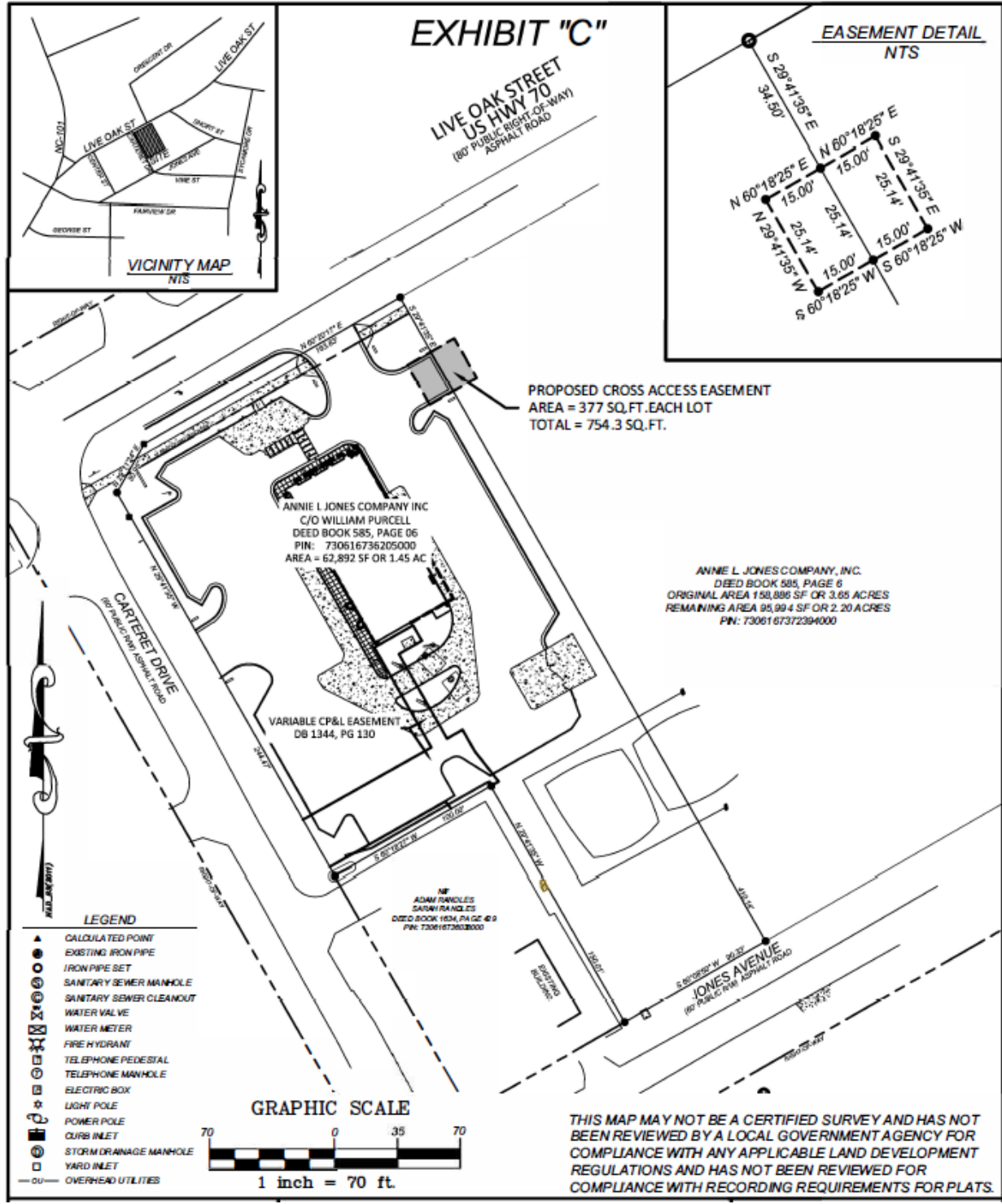
McDonald's Property

Being all of Lot 1, as shown on that plat captioned "Subdivision of Jones Village Remaining Portion of Map Book 3, Page 154" prepared by Tidewater Associates, Inc. dated April 22, 2025 and recorded in File # _____, Carteret County Register of Deeds.

[Legal description to be updated based on recorded plat.]

EXHIBIT C

Access Easement Area





Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Beaufort Planning Board Regular Meeting
6:00 PM Monday, June 16, 2025 – 614 Broad Street- Train Depot**

AGENDA CATEGORY: New Business

SUBJECT: Case #25-11 Enclave @ Beaufort Club - Preliminary Plat.

BRIEF SUMMARY:

The applicant wishes to subdivide a 25.93 Acre Tract into 84 Lots. (79 for Single Family Residential & 5 lots for Open Space)

REQUESTED ACTION:

Discussion on Proposed Preliminary Plat

EXPECTED LENGTH OF PRESENTATION:

15 Minutes

SUBMITTED BY:

Kyle Garner, AICP
Planning & Inspections Director

BUDGET AMENDMENT REQUIRED:

N/A

PLANNING STAFF REPORT

To: Planning Board Members
From: Kyle Garner, AICP, Town Planner
Date: June 9, 2025
Project Enclave @ Beaufort Club - Preliminary Plat

THE QUESTION: Subdivide a 25.93 Acre Tract into 84 Lots (79 for Single Family Residential & 5 lots for Open Space)

BACKGROUND: This site is part of the original PUD from the early 2000’s and was originally labeled as Parcel “B” on the original Master Plan

On November 25th, 2024, the Board of Commissioners, during their monthly workshop, approved sewer allocation for the Enclave in the amount of 12,600 gallons per day and placed a condition that the final plat will not be approved until the agreed upon second point of access is provided from Cedar Avenue through Windswept.

This plan also shows 2.02 acres of open/recreation space which is more than the 1.69 acres required.

Additionally, the Town’s Technical Review Committee has reviewed these plans for consistency with Town design specifications.

| | |
|-----------------------|---|
| Location: | Beaufort Club |
| Owners: | Beaufort Investment Holdings LLC |
| Requested Action: | Subdivide a 25.93 Acre Tract into 84 Lots |
| Existing Zoning | PUD |
| Size: | 25.93 acres |
| Average Lot Size: | 10,151 ft ² |
| Amount of Open Space: | 2.02 Acres |
| Existing Land Use: | Undeveloped |
| Core Land Use Plan: | Suburban Residential |

SPECIAL INFORMATION: Copies of these plans have been provided to the Carteret County School System.

Public Utilities:
Water: Existing - Town of Beaufort
Sanitary Sewer: Existing - Town of Beaufort

Enclave @ Beaufort Club

Location: Beaufort Club

Page: 2

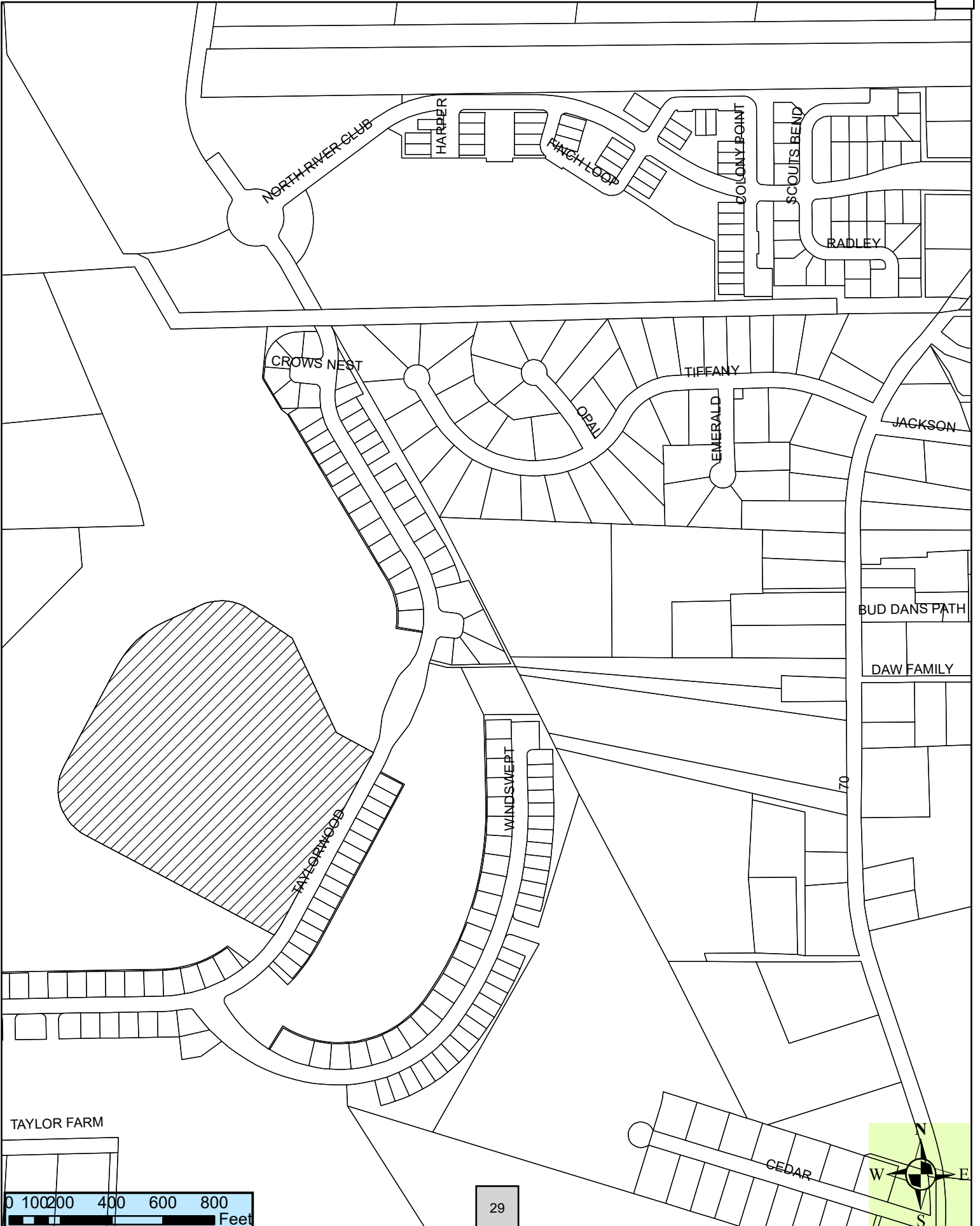
OPTIONS:

- 1. Recommend approval of the Preliminary Plat for Enclave @ Beaufort Club.
- 2. Table the request
- 3. Deny the request.

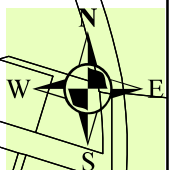
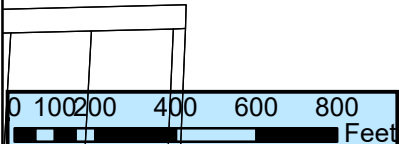
ATTACHMENTS:

- 1. Vicinity Map
- 2. Preliminary Plat
- 3. Land Use Plan Sections

Vicinity Map - Case #25-11 Enclave @ Beaufort Club - Preliminary Plat



TAYLOR FARM

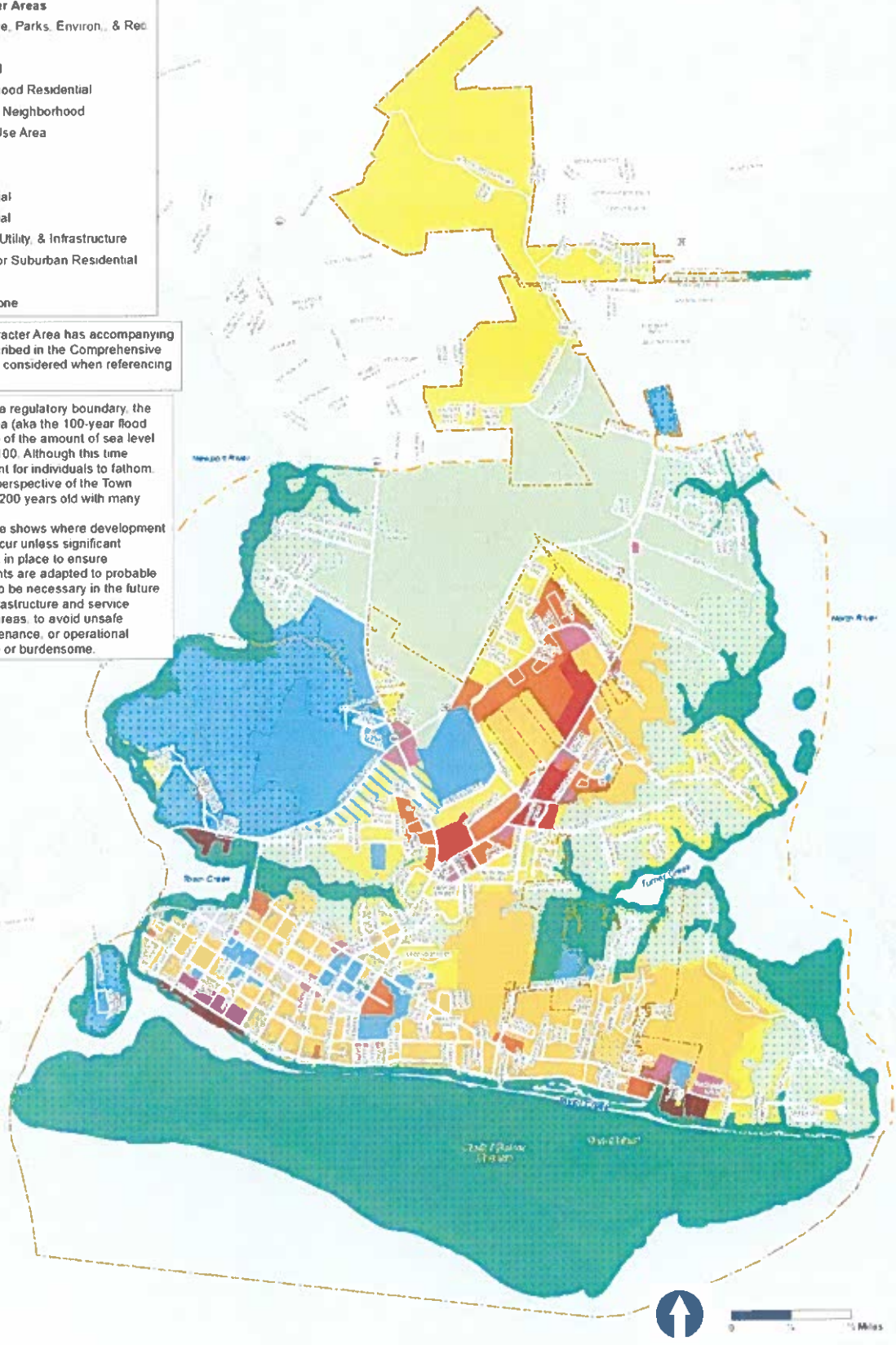


Future Land Use Map

- Beaufort Corporate Limits
- Extra Territorial Jurisdiction (ETJ)
- Future Land Use Character Areas**
- Conserv., Open Space, Parks, Environ., & Rec.
- Rural/Working Lands
- Suburban Residential
- Traditional Neighborhood Residential
- Compact/Multi-family Neighborhood
- Cedar Street Mixed Use Area
- Village Commercial
- Commercial Center
- Downtown Commercial
- Waterfront Commercial
- Employment Center, Utility, & Infrastructure
- Employment Center or Suburban Residential
- Right of Way
- Non-Intensification Zone

Each Future Land Use Character Area has accompanying description and criteria described in the Comprehensive Land Use Plan that must be considered when referencing this map.

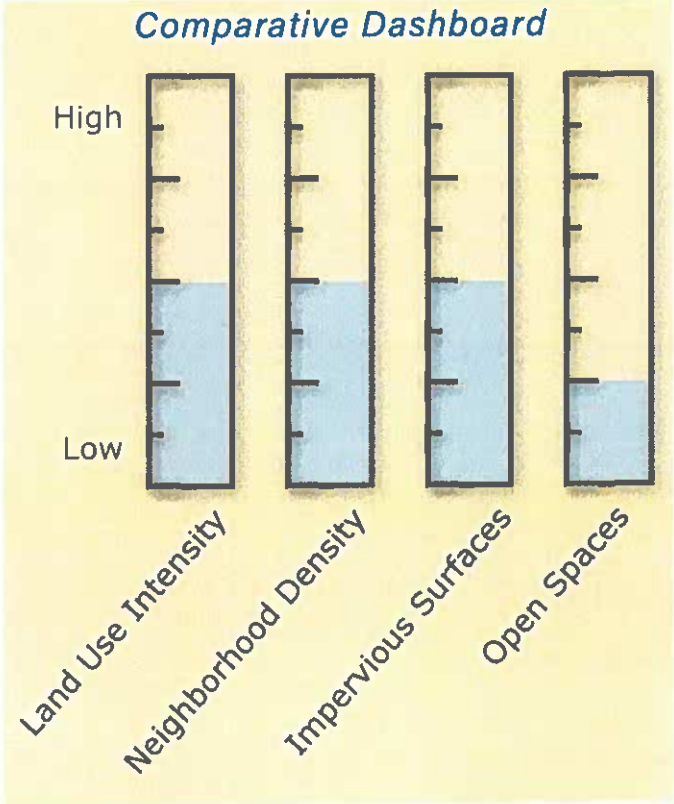
In addition to already being a regulatory boundary, the 1% annual flood chance area (aka the 100-year flood plain) is also fairly indicative of the amount of sea level rise expected by the year 2100. Although this time horizon may seem too distant for individuals to fathom, it is not so distant from the perspective of the Town itself (which is already over 200 years old with many 100+ year old buildings). The Non-Intensification Zone shows where development intensification should not occur unless significant protective measures are put in place to ensure infrastructure and investments are adapted to probable future conditions. It may also be necessary in the future for the Town to abandon infrastructure and service provision in some of these areas, to avoid unsafe conditions, excessive maintenance, or operational liabilities that are too unsafe or burdensome.



Suburban Residential

General Description:

These neighborhoods typically have larger lots or shared open spaces and common areas with a lower overall residential density than in the Traditional Neighborhood. The neighborhoods are still walkable from house to house, but most households probably depend primarily on automobiles for daily trips. Off-street parking is typical of a suburban residential neighborhood and various configurations exist. Residential densities typically range from around 1-3 dwellings per acre, although some developments will exceed that either in localized areas (especially if there are shared open spaces, amenities, or common areas) or overall. In neighborhoods with larger lots, open space is generally on private lots rather than communal.



Streets and Circulation:

These neighborhoods have medium levels of connectivity with low volume, low speed routes. Effort should be made to increase connectivity except in instances where it would excessively harm environmentally sensitive areas. Block lengths should not exceed 650' on a side unless absolutely unavoidable. Pedestrian facilities should be provided on at least one side of every street. Bicycles can share lanes on low volume streets, but on arterials dedicated (and preferably separated) facilities should be provided.

EXAMPLE USES:

Typical Uses

Primarily single family detached residential, with an occasional mix of other highly compatible residential uses scattered throughout, including duplexes, accessory dwellings, and garage apartments. Sometimes, but more rarely, there may also be duplex neighborhoods.

Uses if Context Appropriate

- » Institutional uses (churches, schools, hospital, government, etc)
- » Accessory dwellings
- » House-scale multi-family residential, patio homes, or small townhome developments - very occasionally.

SITE CONSTRUCTION PLANS FOR ENCLAVE AT BEAUFORT CLUB TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA 2025

SITE DATA TABLE

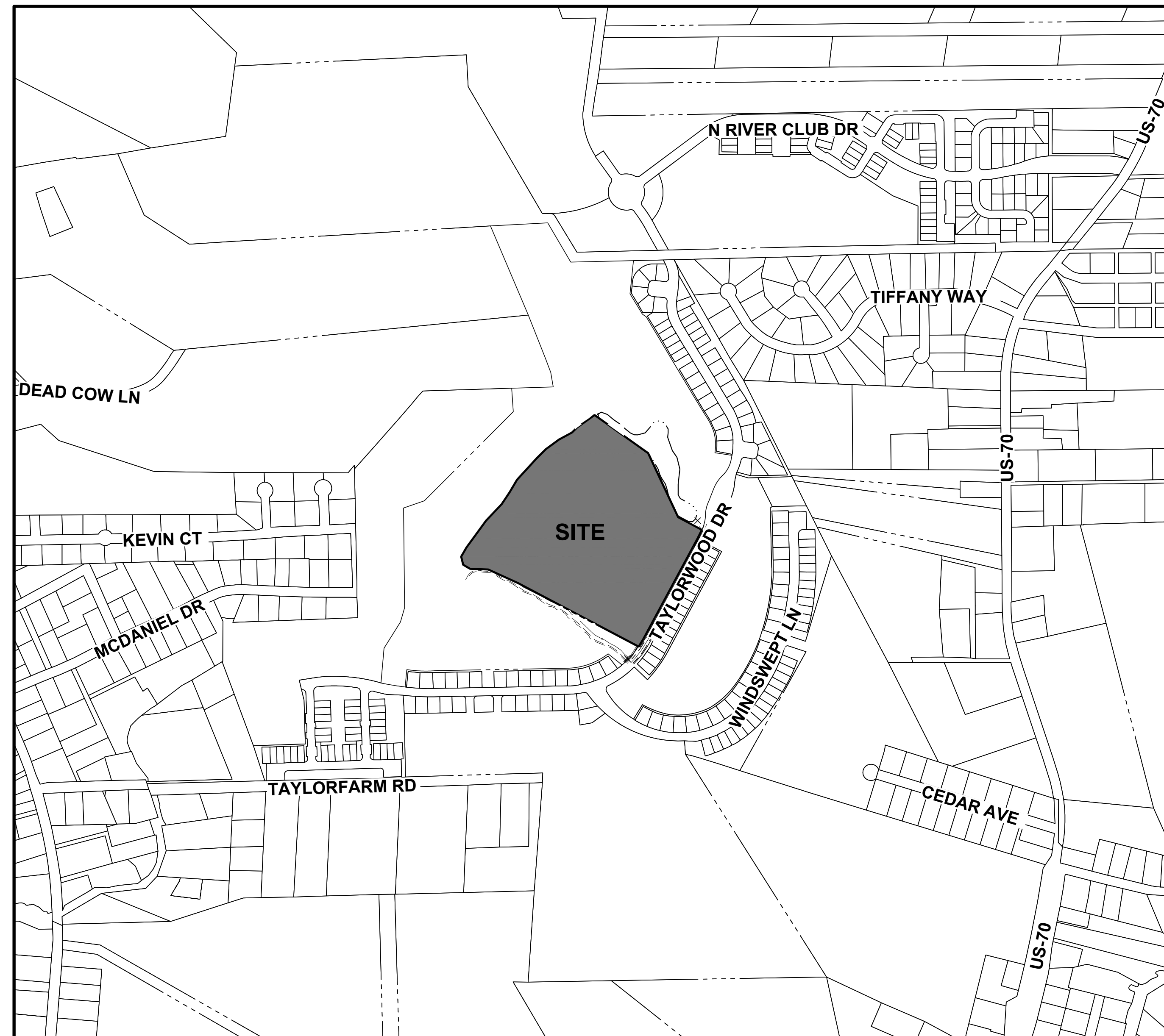
| | |
|---------------------------------------|-----------------------------------|
| PROPERTY INFORMATION: | |
| PIN: | 730704847177000 & 730704841599000 |
| ADDRESS: | TAYLORWOOD DRIVE |
| EXISTING SITE AREA (730704847177000): | 22.52 ACRES |
| EXISTING SITE AREA (730704841599000): | 3.41 ACRES OF 54.40 ACRES |
| TOTAL PROPOSED SITE AREA: | 25.93 ACRES |
| | |
| OPEN SPACE LOTS: | 5 |
| SINGLE FAMILY LOTS: | 79 |
| TOTAL PROPOSED LOTS: | 84 |
| | |
| OPEN SPACE AREA: | 2.02 ACRES |
| SINGLE FAMILY LOT AREA: | 18.41 ACRES |
| R/W DEDICATION: | 5.50 ACRES |
| TOTAL SITE AREA: | 25.93 ACRES |
| | |
| PROPOSED STREET LINEAR FOOTAGE: | 4920' |
| | |
| BUILT UPON AREA: | |
| WITHIN R/W (PAVEMENT/SIDEWALK) | 126,650 SF; 2.91 AC |
| LOT MAXIMUM (4,500± SF PER LOT) | 378,000 SF; 8.67 AC |
| TOTAL: | 504,650 SF; 11.58 AC |
| | |
| BUA PERCENTAGE: | 44.67% |
| | |
| ZONING INFORMATION: | |
| EXISTING ZONING: | PUD |
| | |
| SETBACKS: | |
| FRONT | 20' |
| REAR | 10' |
| SIDE | 5' |
| SIDE (CORNER) | 10' |

FLOOD NOTE

By graphic plotting, this property is located in Zone "X" (Areas determined to be outside of the 100-year flood plain) by the Federal Emergency Agency on Flood Insurance Rate Map, Community Panel No. 3720730700, with an effective date of July 16, 2003, in Carteret County, North Carolina. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

GENERAL NOTES

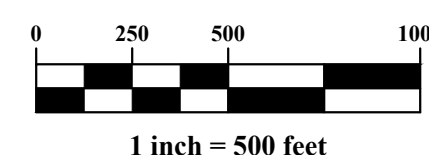
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF BEAUFORT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND/OR ARCHITECT.
- ALL STREETS SHALL BE PUBLIC.
- ALL UTILITIES SHALL BE UNDERGROUND.
- EACH LOT SHALL BE SERVED BY TOWN OF BEAUFORT PUBLIC WATER.
- EACH LOT SHALL BE SERVED BY TOWN OF BEAUFORT PUBLIC SANITARY SEWER.
- NCEQ AND NCDOT PERMITS SHALL BE OBTAINED AS APPLICABLE.
- A COMMUNITY ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE AREAS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE TOWN OF BEAUFORT LAND DEVELOPMENT ORDINANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.



VICINITY MAP

SCALE: 1" = 500'

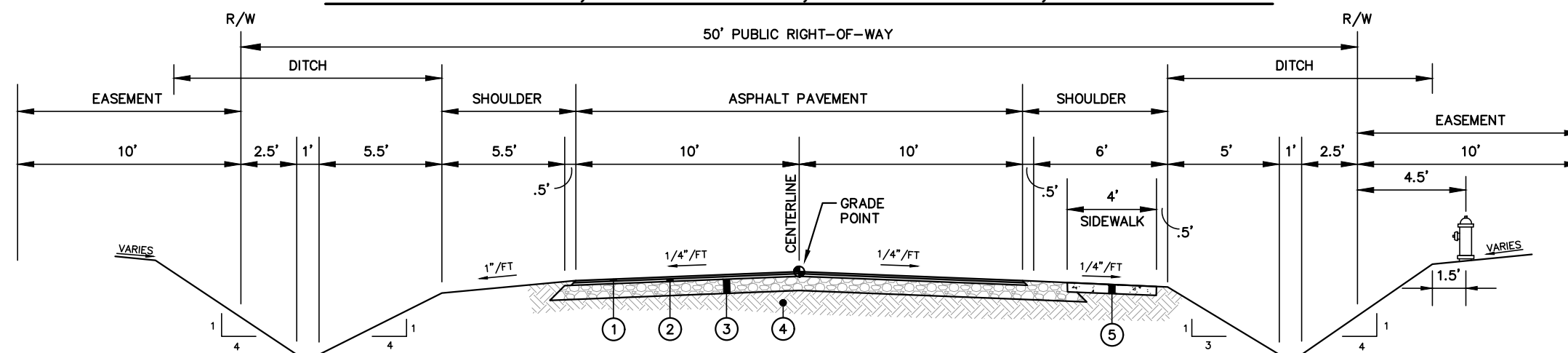
GRAPHIC SCALE



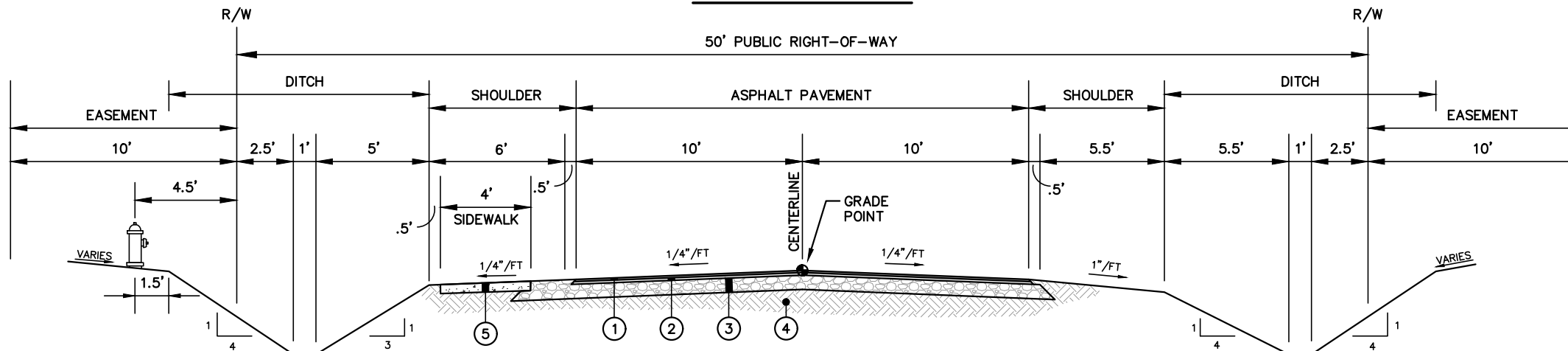
Sheet List Table

| Sheet Number | Sheet Title |
|--------------|--------------------------------|
| C.0.0 | COVER SHEET |
| C.1.0 | EXISTING CONDITIONS PLAN |
| C.2.0 | DEMOLITION PLAN |
| C.3.0 | SITE PLAN |
| C.4.0 | UTILITY PLAN |
| C.5.0 | PLAN & PROFILE - STREET A |
| C.5.1 | PLAN & PROFILE - STREET A |
| C.5.2 | PLAN & PROFILE - STREET A |
| C.5.3 | PLAN & PROFILE - STREET B |
| C.5.4 | PLAN & PROFILE - STREET C |
| C.5.5 | PLAN & PROFILE - STREET D & E |
| C.6.0 | OVERALL GRADING PLAN |
| C.6.1 | GRADING & DRAINAGE PLAN |
| C.6.2 | GRADING & DRAINAGE PLAN |
| C.6.3 | GRADING & DRAINAGE PLAN |
| C.6.4 | GRADING & DRAINAGE PLAN |
| C.7.0 | EROSION CONTROL PLAN - PHASE 1 |
| C.7.1 | EROSION CONTROL PLAN - PHASE 2 |
| C.7.3 | EROSION CONTROL DETAILS |
| C.7.4 | EROSION CONTROL DETAILS |
| C.8.0 | STANDARD DETAILS |
| C.8.1 | STANDARD DETAILS |
| C.8.2 | AIRVAC DETAILS |
| C.8.3 | AIRVAC DETAILS |
| C.8.4 | AIRVAC DETAILS |
| C.8.5 | AIRVAC DETAILS |
| C.8.6 | AIRVAC DETAILS |

ASHWOOD DRIVE, TUPELO LANE, SEAFOAM WAY, SEAPINE LANE



ENCLAVE WAY



LOCAL SUBDIVISION STREET CROSS SECTION

SCALE: NONE

- ① 1-1/2" ASPHALT CONCRETE, TYPE S9.5C
- ② 1-1/2" ASPHALT CONCRETE, TYPE S9.5C
- ③ 8" CRUSHED AGGREGATE BASE
- ④ SUBGRADE COMPACTION
- ⑤ 4" CONCRETE SIDEWALK, MIN. 3,000 PSI

NOTES:

- PAVEMENT SECTIONS IN ACCORDANCE WITH GEOTECHNICAL ENGINEER REPORT.
- AT A MINIMUM, DESIGN AND CONSTRUCTION OF ASPHALT PAVEMENT SYSTEM IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- AGGREGATE BASE COURSE (ABC) SPECIFIED IN SECTION 520
- ASPHALT CONCRETE SURFACE AND INTERMEDIATE COURSES (TYPE SF 9.5B, TYPE I-19.0B) SPECIFIED IN SECTION 610.
- SUBGRADE COMPACTION TO AT LEAST 98 PERCENT OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY.

| | | |
|---|---|--|
| <p>OWNER BEAUFORT INVESTMENT HOLDINGS LLC 3301 BENSON DRIVE, SUITE 103 RALEIGH, NORTH CAROLINA 27609 PHONE: 919-863-1000</p> | <p>DEVELOPER DEWITT CAROLINAS, INC. 3301 BENSON DRIVE, SUITE 103 RALEIGH, NORTH CAROLINA 27609 PHONE: 919-863-1000</p> | <p>ENGINEER ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 102 CARY, NORTH CAROLINA 27511 PHONE: 919-481-6290</p> |
| | | |

SITE CONSTRUCTION PLANS
 TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
 FOR
DEWITT CAROLINAS
COVER SHEET

Issue Dates:
 02/21/2025: SKETCH PLAN SUBMITTAL
 04/25/2025: SITE CONSTRUCTION SUBMITTAL
 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2
 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3

Date: 06/05/2025
 Scale: 1" = 500'
 Drawn By: JLB
 Checked By: JDW
 Project Number:
 22-0016-742
 Drawing Number:
C.0.0

PLAN PREPARED BY:
 FIRM # C-2796

 ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmayne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.5127

PLAN PREPARED FOR:

MISCELLANEOUS NOTES

Areas calculated by coordinate geometry. All distances are horizontal ground distances.

Basis of Bearing NC GRID 1983, 2011 Adjustment Horizontal Datum.

Boundary information shown hereon was prepared from an actual field survey and from existing records as referenced hereon.

There is no observable evidence of this site being used as a solid waste dump, dump or any kind of sanitary land fill.

Party walls with relation to adjoining properties were not observed.

At the time of survey there was no observable evidence of recent earthmoving work, building construction or building additions.

At the time of the survey was no observable evidence or provided information on proposed changes in street right-of-way lines.

This survey does not include nor depict any environmental evaluations by this office. At the time of the survey no evidence of wetlands were observed.

Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of underground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.

Coordinates shown on this plot were derived by Real Time Network (RTN) Global Positioning System (GPS). This results in NAD 1983, 2011 Adjustment (CORS 96) using the continually operating reference stations (CORS) maintained by the North Carolina Geodetic Survey, Class A Survey, 0.10 feet positional accuracy, VRS Field Procedure, Geoid 18.

FLOOD NOTE

By graphic plotting, this property is located in Zone "X" (Areas determined to be outside of the 100-year flood plain) by the Federal Emergency Agency on Flood Insurance Rate Map, Community Panel No. 37207307004, with an effective date of July 16, 2003, in Carteret County, North Carolina. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

STATEMENT OF ENCROACHMENTS

None apparent.

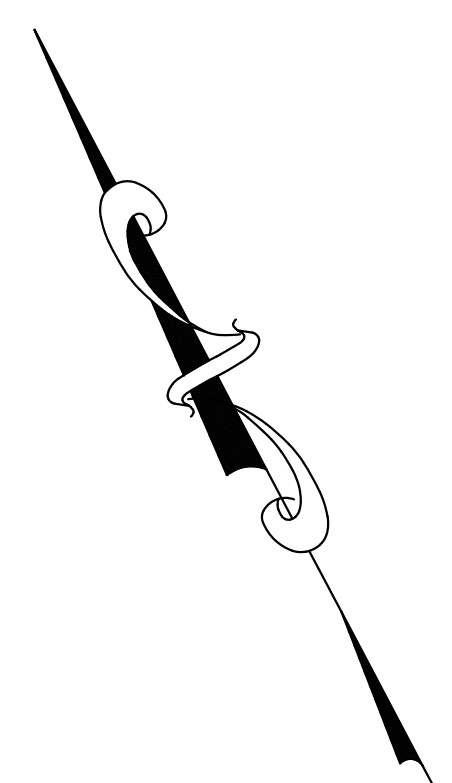
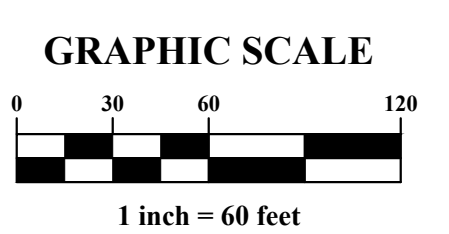
LEGEND

- Iron Pipe Found
- ✕ PK Nail Found
- ▲ RR Spike Found
- Monument Box
- ⊥ Sign
- Catch Basin
- ⊠ Curb Inlet W / Grate
- ⊞ Water Meter
- ⊢ Utility Line Marker
- Iron Pin Set
- ✕ PK Nail Set
- △ Calculated Point
- ⊞ Monument
- ⊞ Utility Pole (PP)
- ⊞ Fire Hydrant
- ⊞ Water Valve
- ⊞ Telecom Pedestal
- ⊞ Electric Box Flush
- Sanitary Cleanout
- Treeline
- OHE Overhead Electric
- ST Storm Sewer
- SA Sanitary Sewer
- WA Waterline
- X X Fence Line
- Easement Line
- Buffer/Setback
- Right of Way
- Boundary Line
- T Telecom Line
- G Gas Line



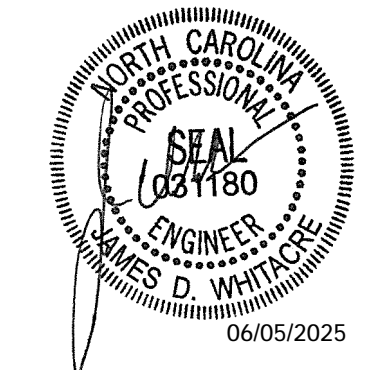
| LINE | DISTANCE | BEARING |
|------|----------|-------------|
| L1 | 163.50' | S62°00'51"E |
| L2 | 55.75' | S26°41'44"W |
| L3 | 700.00' | S28°20'16"W |
| L4 | 53.83' | S31°11'45"W |
| L5 | 834.96' | N62°11'59"W |
| L7 | 437.56' | N28°04'42"E |
| L9 | 151.98' | N65°09'25"E |
| L11 | 199.22' | S55°59'15"E |
| L12 | 407.69' | S25°04'41"E |

| NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD DIST. |
|-----|------------|---------|---------|---------------|-------------|
| C1 | 090°16'44" | 200.00' | 315.13' | N17°03'38"W | 283.53' |
| C2 | 037°04'41" | 400.00' | 258.85' | N46°37'04"E | 254.36' |
| C3 | 058°51'19" | 200.00' | 205.44' | S85°24'55"E | 196.53' |



51 Kilmoyne Drive
Suite 102
Cary, North Carolina 27511
PH 919.481.6290
fax 919.336.6171

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS



SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
EXISTING CONDITIONS PLAN

| | |
|--------------|---|
| Issue Dates: | 02/21/2025: SKETCH PLAN SUBMITTAL |
| | 04/25/2025: SITE CONSTRUCTION SUBMITTAL |
| | 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 |
| | 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 |

| | |
|-----------------|--------------|
| Date: | 06/05/2025 |
| Scale: | 1" = 60' |
| Drawn By: | JLB |
| Checked By: | JW |
| Project Number: | 22-0016-742 |
| Drawing Number: | C.1.0 |

MISCELLANEOUS NOTES

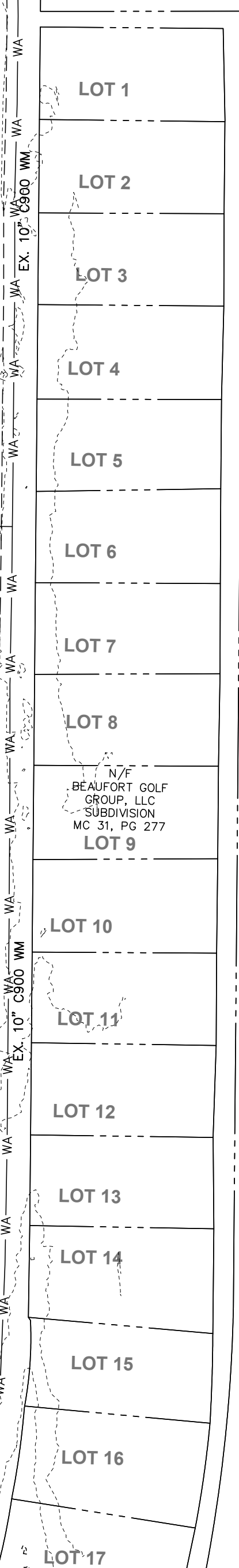
Areas calculated by coordinate geometry. All distances are horizontal ground distances.
 Basis of Bearing NC GRID 1983, 2011 Adjustment Horizontal Datum.
 Boundary information shown hereon was prepared from an actual field survey and from existing records as referenced hereon.
 There is no observable evidence of this site being used as a solid waste dump, dump or any kind of sanitary land fill.
 Party walls with relation to adjoining properties were not observed.
 At the time of survey there was no observable evidence of recent earthmoving work, building construction or building additions.
 At the time of the survey was no observable evidence or provided information on proposed changes in street right-of-way lines.
 This survey does not include nor depict any environmental evaluations by this office. At the time of the survey no evidence of wetlands were observed.
 Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of underground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.
 Coordinates shown on this plot were derived by Real Time Network (RTN) Global Positioning System (GPS). This results in NAD 1983, 2011 Adjustment (CORS 96) using the continually operating reference stations (CORS) maintained by the North Carolina Geodetic Survey, Class A Survey, 0.10 feet positional accuracy, VRS Field Procedure, Geoid 18.

FLOOD NOTE

By graphic plotting, this property is located in Zone "X" (Areas determined to be outside of the 100-year flood plain) by the Federal Emergency Agency on Flood Insurance Rate Map, Community Panel No. 3720730700J, with an effective date of July 16, 2003, in Carteret County, North Carolina. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

LEGEND

- Iron Pipe Found
- ⊗ PK Nail Found
- ⊗ RR Spike Found
- ⊗ Monument Box
- ⊗ Sign
- ⊗ Catch Basin
- ⊗ Curb Inlet W / Grate
- ⊗ Water Meter
- ⊗ Utility Line Marker
- Iron Pin Set
- ⊗ PK Nail Set
- ⊗ Calculated Point
- ⊗ Monument
- ⊗ Utility Pole (PP)
- ⊗ Fire Hydrant
- ⊗ Water Valve
- ⊗ Telecom Pedestal
- ⊗ Electric Box Flush
- Sanitary Cleanout
- Treeline
- OHE Overhead Electric
- ST Storm Sewer
- SA Sanitary Sewer
- WA Waterline
- X X Fence Line
- Easement Line
- Buffer/Setback
- Right of Way
- Boundary Line
- T Telecom Line
- G Gas Line
- ⊗ EXISTING TREE (TO BE REMOVED)
- EXISTING DITCH (TO BE REMOVED)



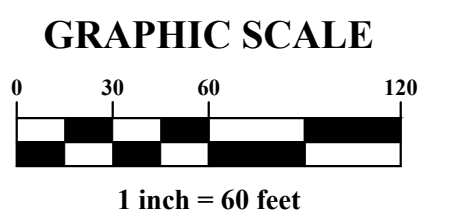
N/F BEAUFORT INVESTMENT HOLDINGS LLC
 DB/PG 1751/357
 PIN: 730704847177000
 PB 31, PG 62
 25.684 Acres

N/F BEAUFORT GOLF GROUP, LLC
 SUBDIVISION
 MC 31, PG 277

BEAUFORT GROUP, LLC
 DB/PG 1451/543
 PIN: 730704835724000
 PB 30, PG 556

| LINE | DISTANCE | BEARING |
|------|----------|-------------|
| L1 | 163.50' | S62°00'51"E |
| L2 | 55.75' | S26°41'44"W |
| L3 | 700.00' | S28°20'16"W |
| L4 | 53.83' | S31°11'45"W |
| L5 | 834.96' | N62°11'59"W |
| L7 | 437.56' | N28°04'42"E |
| L9 | 151.98' | N65°09'25"E |
| L11 | 199.22' | S55°59'15"E |
| L12 | 407.69' | S25°04'41"E |

| NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD DIST. |
|-----|------------|---------|---------|---------------|-------------|
| C1 | 090°16'44" | 200.00' | 315.13' | N17°03'38"W | 283.53' |
| C2 | 037°04'41" | 400.00' | 258.85' | N46°37'04"E | 254.36' |
| C3 | 058°51'19" | 200.00' | 205.44' | S85°24'55"E | 196.53' |



PLAN PREPARED BY:
 FIRM # C-2798

51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.6171

PLAN PREPARED FOR:

SITE CONSTRUCTION PLANS
 TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
 FOR
DEWITT CAROLINAS
DEMOLITION PLAN

Issue Dates:

| | |
|-------------|-------------------------------|
| 02/21/2025: | SKETCH PLAN SUBMITTAL |
| 04/25/2025: | SITE CONSTRUCTION SUBMITTAL |
| 05/09/2025: | SITE CONSTRUCTION SUBMITTAL 2 |
| 06/05/2025: | SITE CONSTRUCTION SUBMITTAL 3 |

| | |
|-----------------|--------------|
| Date: | 06/05/2025 |
| Scale: | 1" = 60' |
| Drawn By: | JLB |
| Checked By: | JW |
| Project Number: | 22-0016-742 |
| Drawing Number: | C.2.0 |

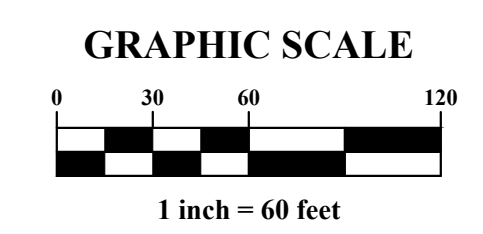
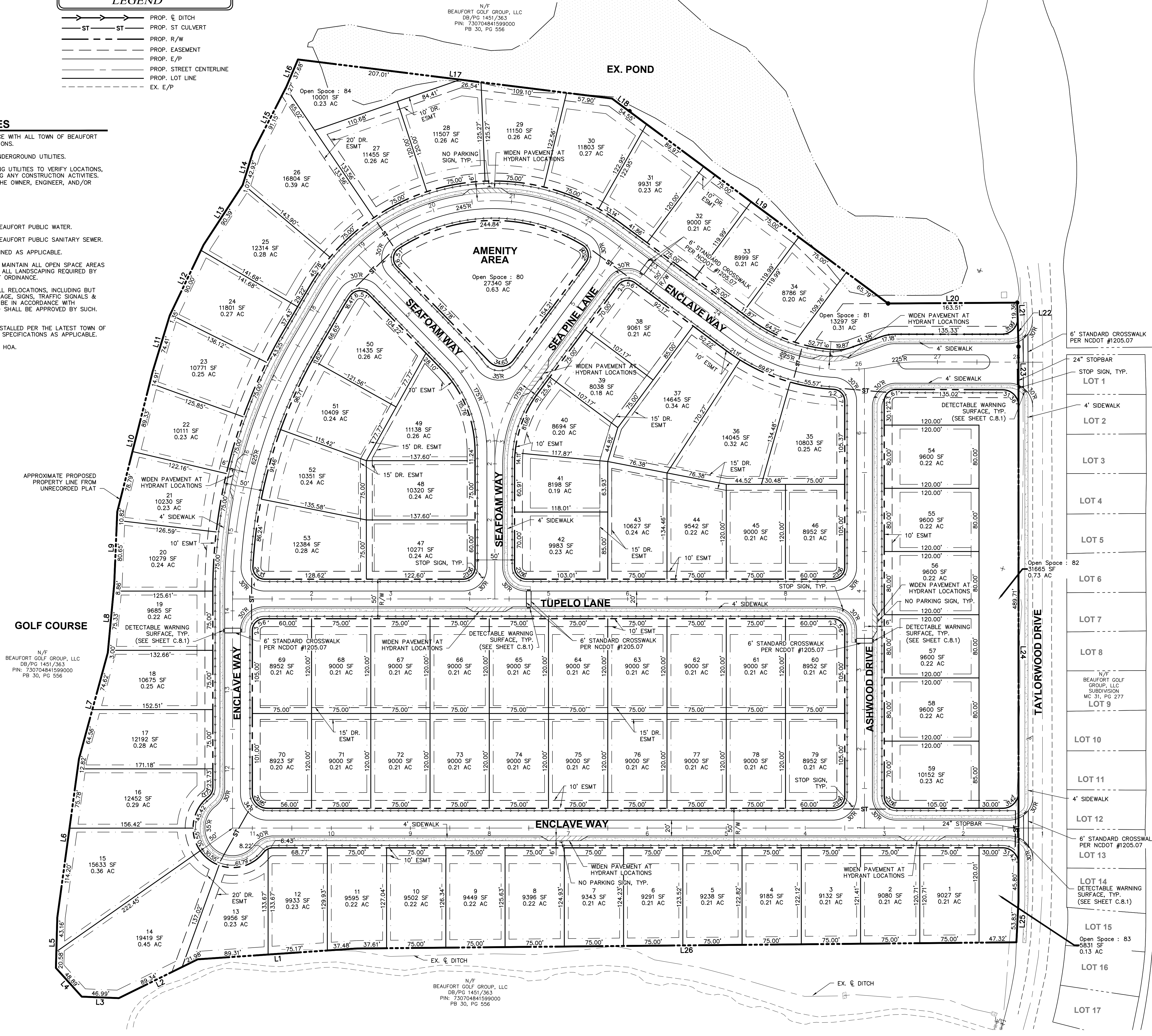
| LEGEND | |
|--------|-------------------------|
| | PROP. E DITCH |
| | PROP. ST CULVERT |
| | PROP. R/W |
| | PROP. EASEMENT |
| | PROP. E/P |
| | PROP. STREET CENTERLINE |
| | PROP. LOT LINE |
| | EX. E/P |

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF BEAUFORT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND/OR ARCHITECT.
- ALL STREETS SHALL BE PUBLIC.
- ALL UTILITIES SHALL BE UNDERGROUND.
- EACH LOT SHALL BE SERVED BY TOWN OF BEAUFORT PUBLIC WATER.
- EACH LOT SHALL BE SERVED BY TOWN OF BEAUFORT PUBLIC SANITARY SEWER.
- NCDEQ AND NCDOT PERMITS SHALL BE OBTAINED AS APPLICABLE.
- A COMMUNITY ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE AREAS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE TOWN OF BEAUFORT LAND DEVELOPMENT ORDINANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED PER THE LATEST TOWN OF BEAUFORT, NCDOT & MUTCD STANDARD AND SPECIFICATIONS AS APPLICABLE.
- DRAINAGE EASEMENTS TO BE MAINTAINED BY HOA.

LINE TABLE

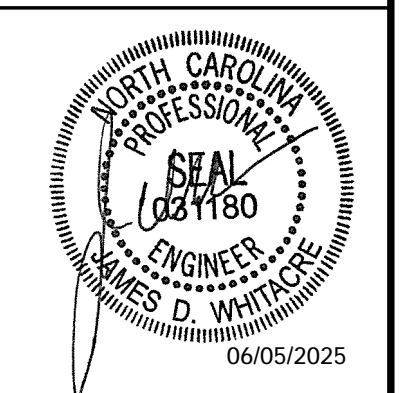
| LINE | DISTANCE | BEARING |
|------|----------|-------------|
| L1 | 201.96' | N65°32'55"W |
| L2 | 111.32' | N87°51'22"W |
| L3 | 46.99' | N59°21'20"W |
| L4 | 48.89' | N13°38'43"W |
| L5 | 63.74' | N29°56'14"E |
| L6 | 202.80' | N36°06'32"E |
| L7 | 139.18' | N43°32'30"E |
| L8 | 87.20' | N33°42'43"E |
| L9 | 91.47' | N30°43'20"E |
| L10 | 183.04' | N42°30'08"E |
| L11 | 74.41' | N45°18'56"E |
| L12 | 99.13' | N53°56'34"E |
| L13 | 90.39' | N61°30'10"E |
| L14 | 44.00' | N45°36'19"E |
| L15 | 92.42' | N55°32'28"E |
| L16 | 37.68' | N51°18'52"E |
| L17 | 400.55' | S54°34'26"E |
| L18 | 27.62' | S25°04'41"E |
| L19 | 407.69' | S25°04'41"E |
| L20 | 163.51' | S62°01'03"E |
| L21 | 19.36' | S26°41'44"W |
| L22 | 36.26' | S26°47'08"W |
| L23 | 74.61' | S28°17'29"W |
| L24 | 625.51' | S28°20'16"W |
| L25 | 53.83' | S31°11'45"W |
| L26 | 834.96' | N62°11'59"W |



PLAN PREPARED BY:
FIRM # C-2796

51 Kilmoyne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.336.5127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

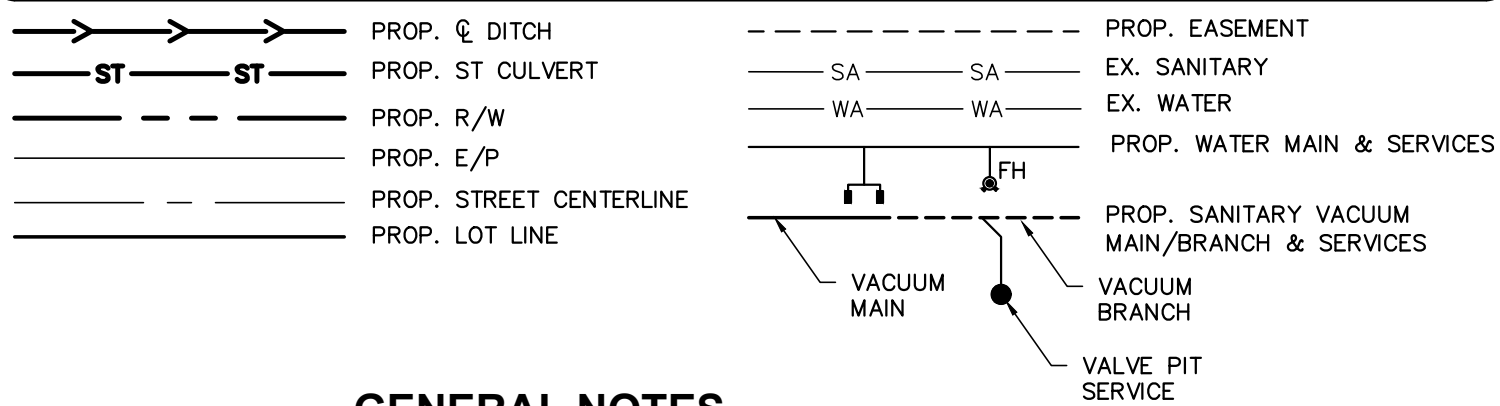


SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARRIET COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
SITE PLAN

| | |
|-----------------|---|
| Issue Dates: | 02/21/2025: SKETCH PLAN SUBMITTAL |
| | 04/25/2025: SITE CONSTRUCTION SUBMITTAL |
| | 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 |
| | 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 |
| Date: | 06/05/2025 |
| Scale: | 1" = 60' |
| Drawn By: | JLB |
| Checked By: | JDW |
| Project Number: | 22-0016-742 |
| Drawing Number: | C.3.0 |

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LEGEND

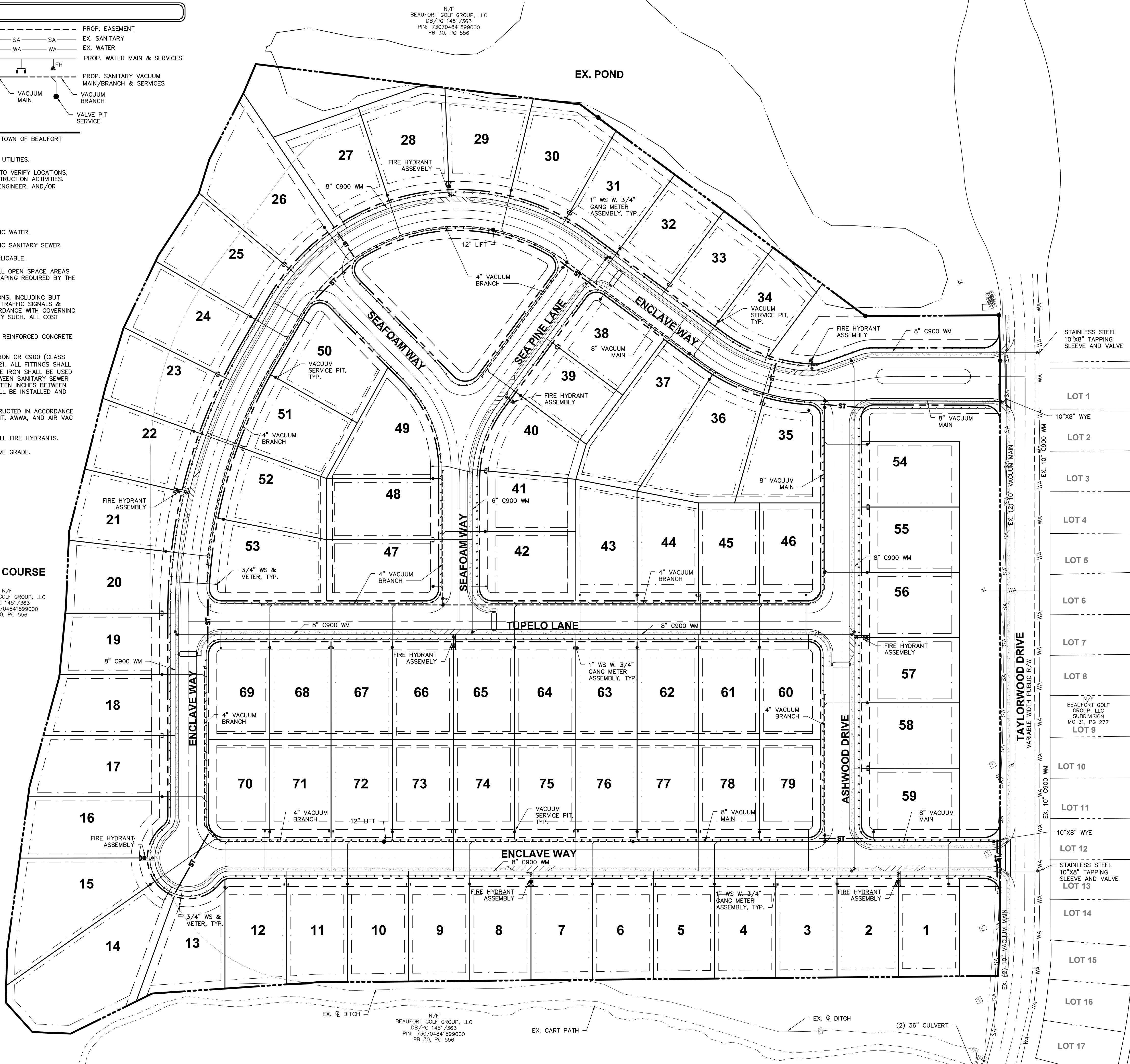


GENERAL NOTES

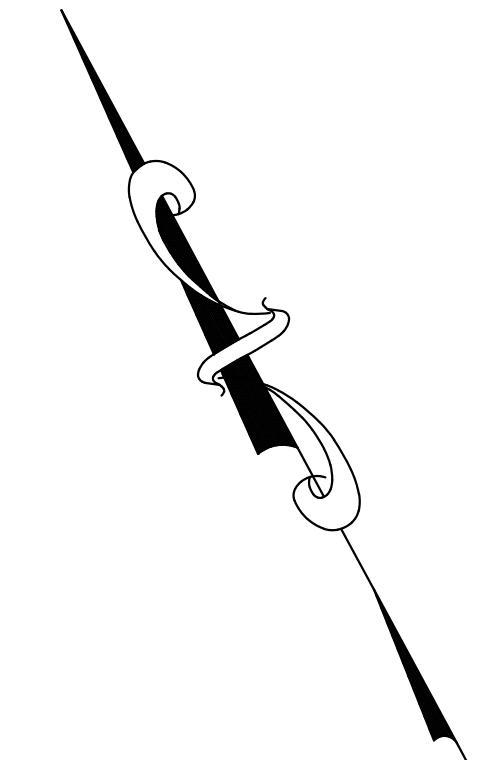
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF BEAUFORT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND/OR ARCHITECT.
4. ALL STREETS SHALL BE PUBLIC.
5. ALL UTILITIES SHALL BE UNDERGROUND.
6. EACH LOT WILL BE SERVED BY TOWN OF BEAUFORT PUBLIC WATER.
7. EACH LOT WILL BE SERVED BY TOWN OF BEAUFORT PUBLIC SANITARY SEWER.
8. NCDOT AND NCDOT PERMITS SHALL BE OBTAINED AS APPLICABLE.
9. A COMMUNITY ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE AREAS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE TOWN OF BEAUFORT LAND DEVELOPMENT ORDINANCE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
11. ALL STORM SEWER WITHIN THE RIGHT-OF-WAY SHALL BE REINFORCED CONCRETE PIPE.
12. WATERLINE SIX INCHES OR GREATER SHALL BE DUCTILE IRON OR C900 (CLASS 150). WATERLINE LESS THAN SIX INCHES SHALL BE SDR 21. ALL FITTINGS SHALL BE DUCTILE IRON (WITH GRIP RING CONNECTIONS). DUCTILE IRON SHALL BE USED WHERE SEPARATION IS LESS THAN EIGHTEEN INCHES BETWEEN SANITARY SEWER AND WATERLINE. WHERE SEPARATION IS LESS THAN EIGHTEEN INCHES BETWEEN WATERLINE AND STORM SEWER A CONCRETE CRADLE SHALL BE INSTALLED AND SEPARATION SHALL NOT BE LESS THAN SIX INCHES.
13. THE VACUUM SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL TOWN OF BEAUFORT PUBLIC WORKS DEPARTMENT, AWWA, AND AIR VAC STANDARDS AND SPECIFICATIONS.
14. LIGHT POLES TO BE INSTALLED A MINIMUM OF 3' FROM ALL FIRE HYDRANTS.
15. TOP OF VACUUM SERVICE PITS TO BE INSTALLED 4" ABOVE GRADE.

GOLF COURSE

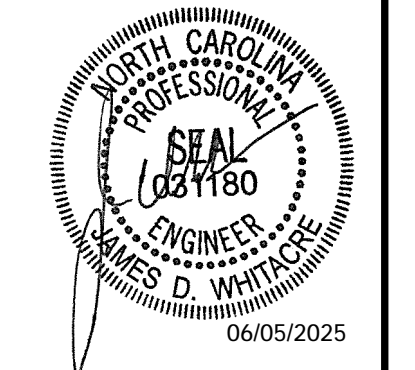
N/F BEAUFORT GOLF GROUP, LLC DB/PG 1451/363 PIN: 730704841599000 PB 30, PG 556



N/F BEAUFORT GOLF GROUP, LLC DB/PG 1451/363 PIN: 730704841599000 PB 30, PG 556



PLAN PREPARED BY: FIRM # C-2798
51 Kilmoyne Drive Suite 102 Cary, North Carolina 27511
ph 919.481.6290 fax 919.336.6127
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS



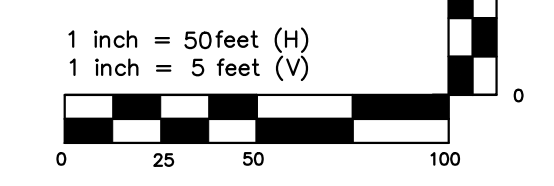
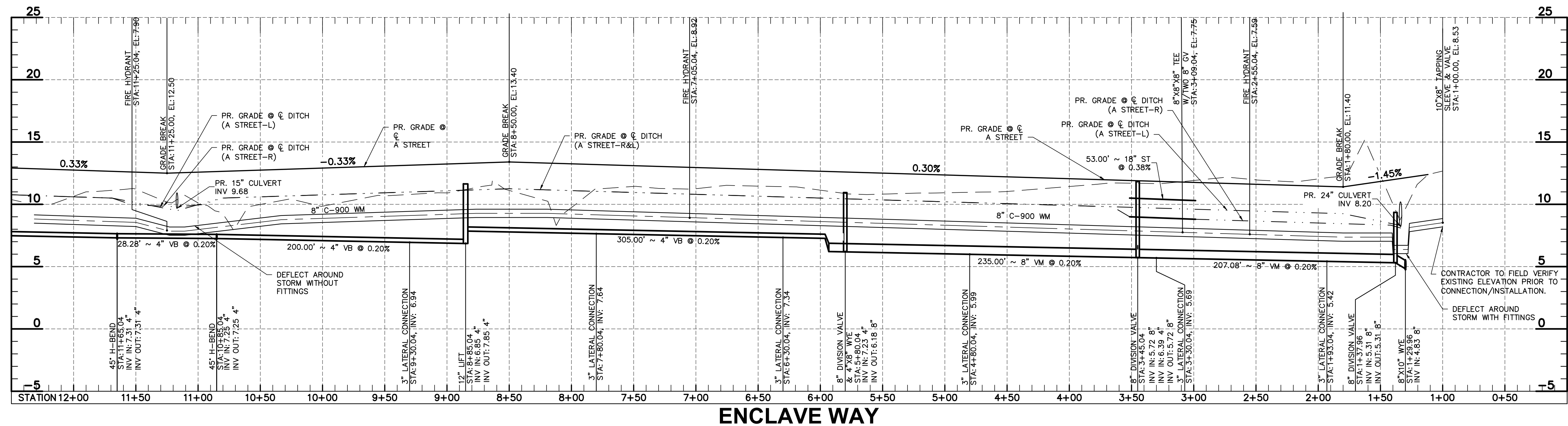
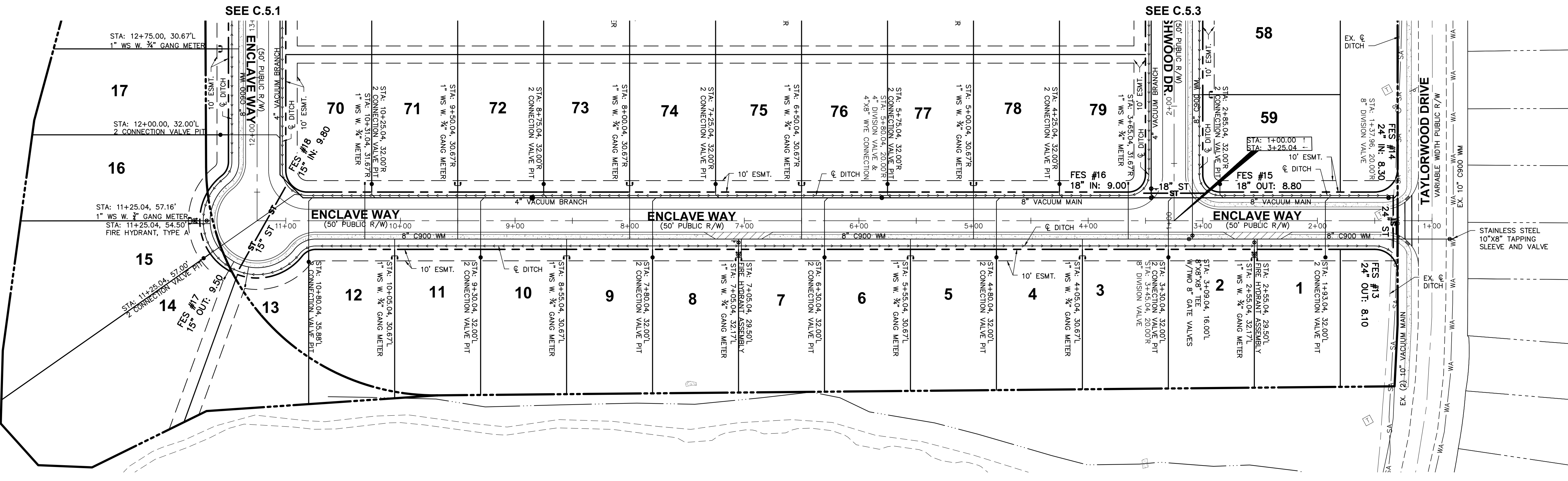
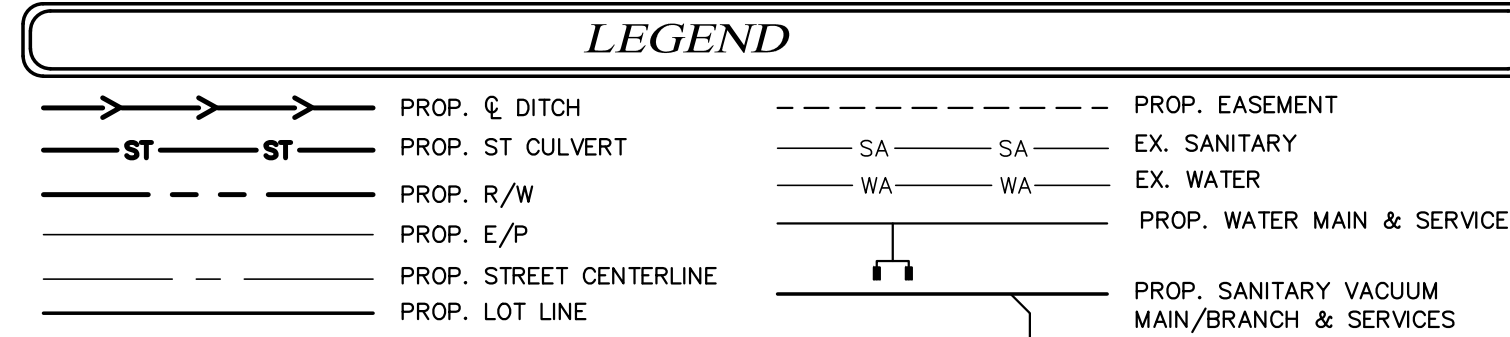
SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARRETER COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
UTILITY PLAN

Table with 2 columns: Issue Dates and Description. Includes dates from 02/21/2025 to 06/05/2025 and descriptions like SKETCH PLAN SUBMITTAL, SITE CONSTRUCTION SUBMITTAL 1, 2, 3.

Date: 06/05/2025
Scale: 1" = 60'
Drawn By: JLB Checked By: JDW
Project Number: 22-0016-742
Drawing Number: C.4.0

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF BEAUFORT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND/OR ARCHITECT.
- ALL STREETS SHALL BE PUBLIC.
- ALL UTILITIES SHALL BE UNDERGROUND.
- EACH LOT WILL BE SERVED BY TOWN OF BEAUFORT PUBLIC WATER.
- EACH LOT WILL BE SERVED BY TOWN OF BEAUFORT PUBLIC SANITARY SEWER.
- NCDOT AND NCDOT PERMITS SHALL BE OBTAINED AS APPLICABLE.
- A COMMUNITY ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE AREAS AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE TOWN OF BEAUFORT LAND DEVELOPMENT ORDINANCE.
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- ALL STORM SEWER WITHIN THE RIGHT-OF-WAY SHALL BE REINFORCED CONCRETE PIPE.
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- THE VACUUM SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL TOWN OF BEAUFORT PUBLIC WORKS DEPARTMENT, AWWA, AND AIR VAC STANDARDS AND SPECIFICATIONS.



PLAN PREPARED BY:
FIRM # C-2798

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fax 919.336.6177

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinass
dewitt

carolinass
NORTH CAROLINA PROFESSIONAL ENGINEERS
SEAL
06/05/2025
W. D. WHITAKER

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARRIET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

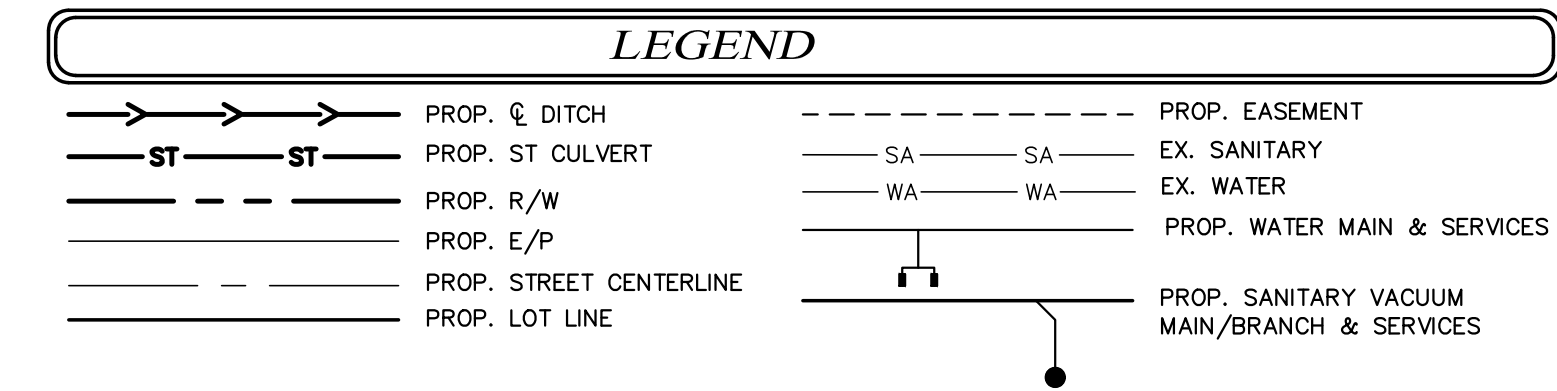
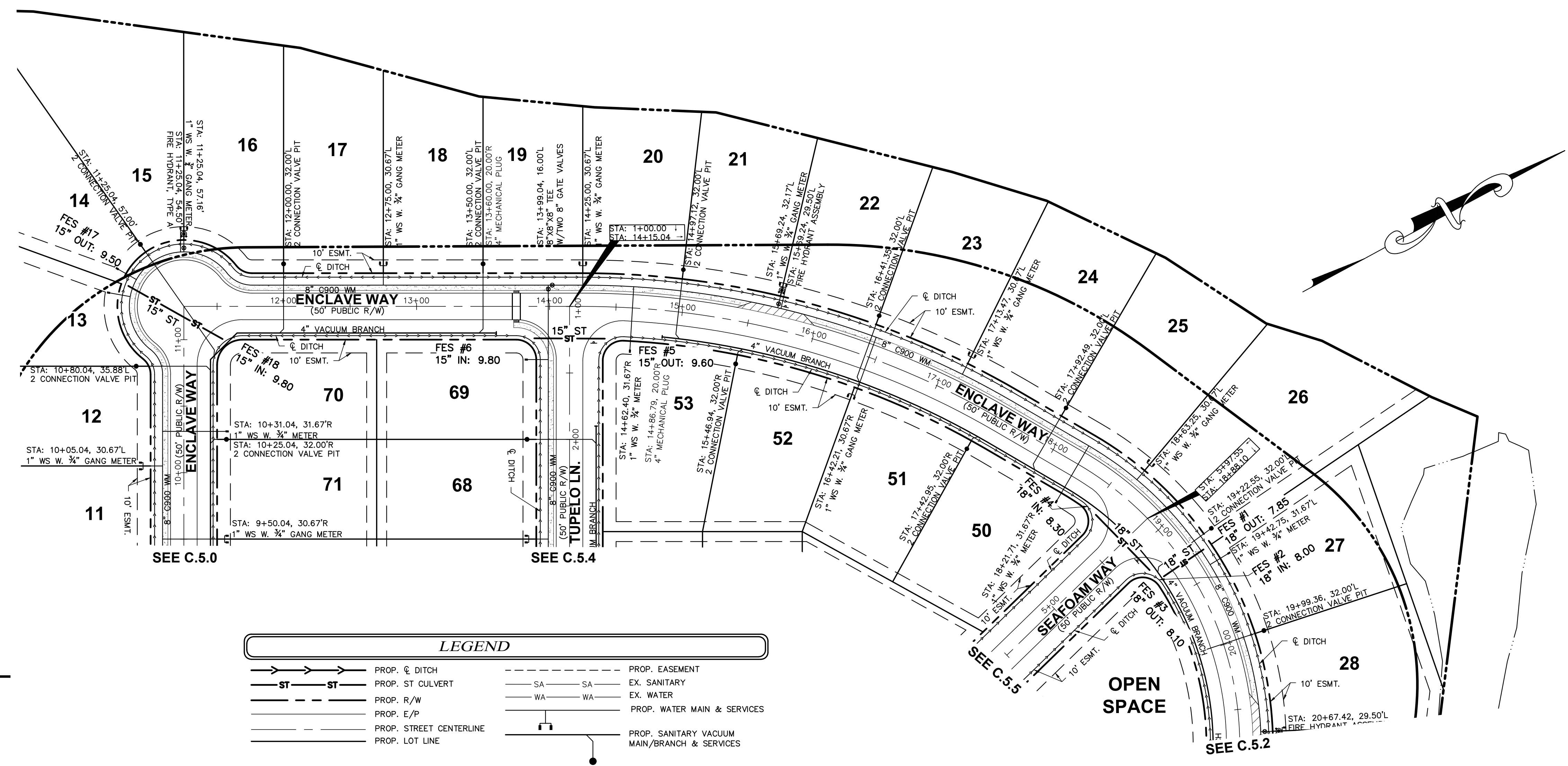
PLAN & PROFILE - ENCLAVE WAY

Issue Dates:
02/21/2025: SKETCH PLAN SUBMITTAL
04/25/2025: SITE CONSTRUCTION SUBMITTAL
05/09/2025: SITE CONSTRUCTION SUBMITTAL 2
06/05/2025: SITE CONSTRUCTION SUBMITTAL 3

Date: 06/05/2025
Scale: 1" = 50'
Drawn By: JWB
Checked By: JWB

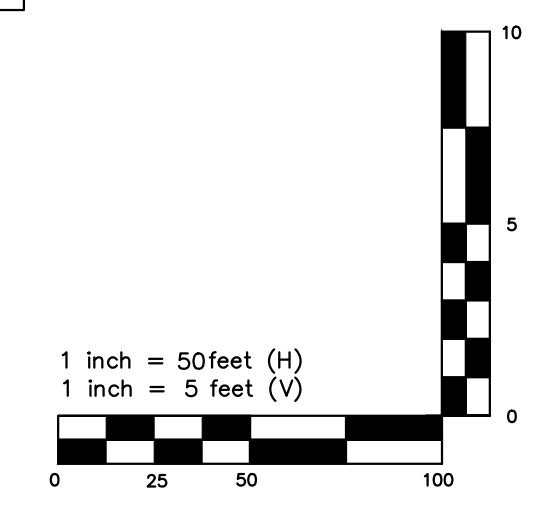
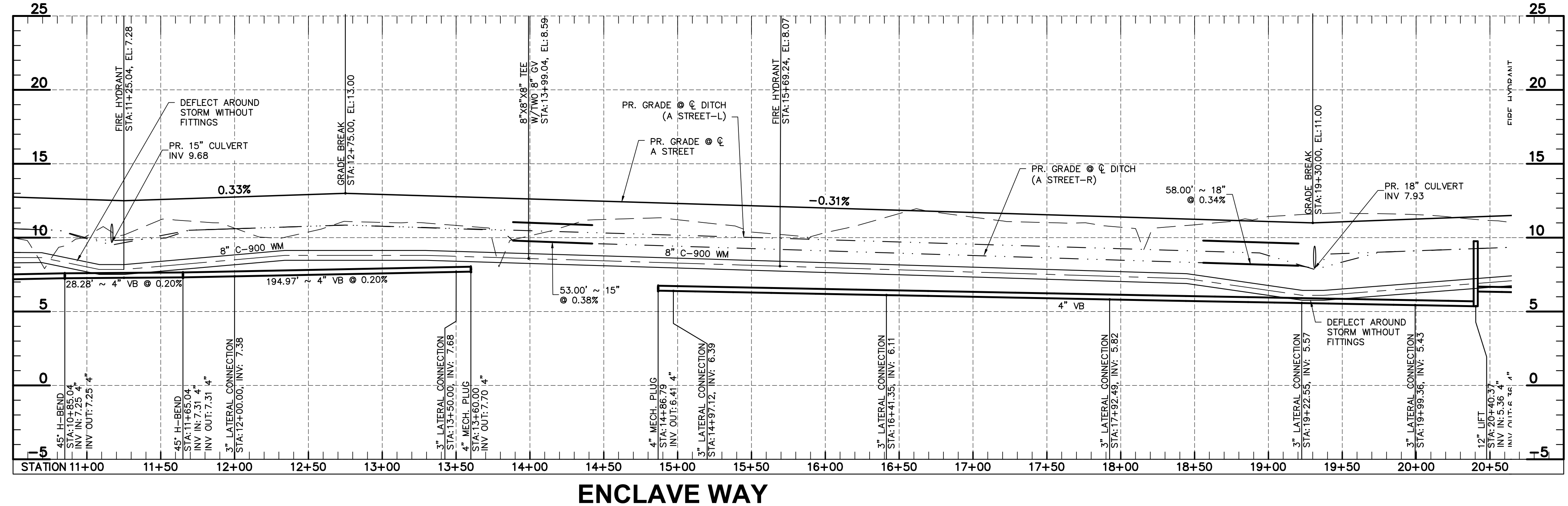
Project Number:
22-0016-742

Drawing Number:
C.5.0



GENERAL NOTES

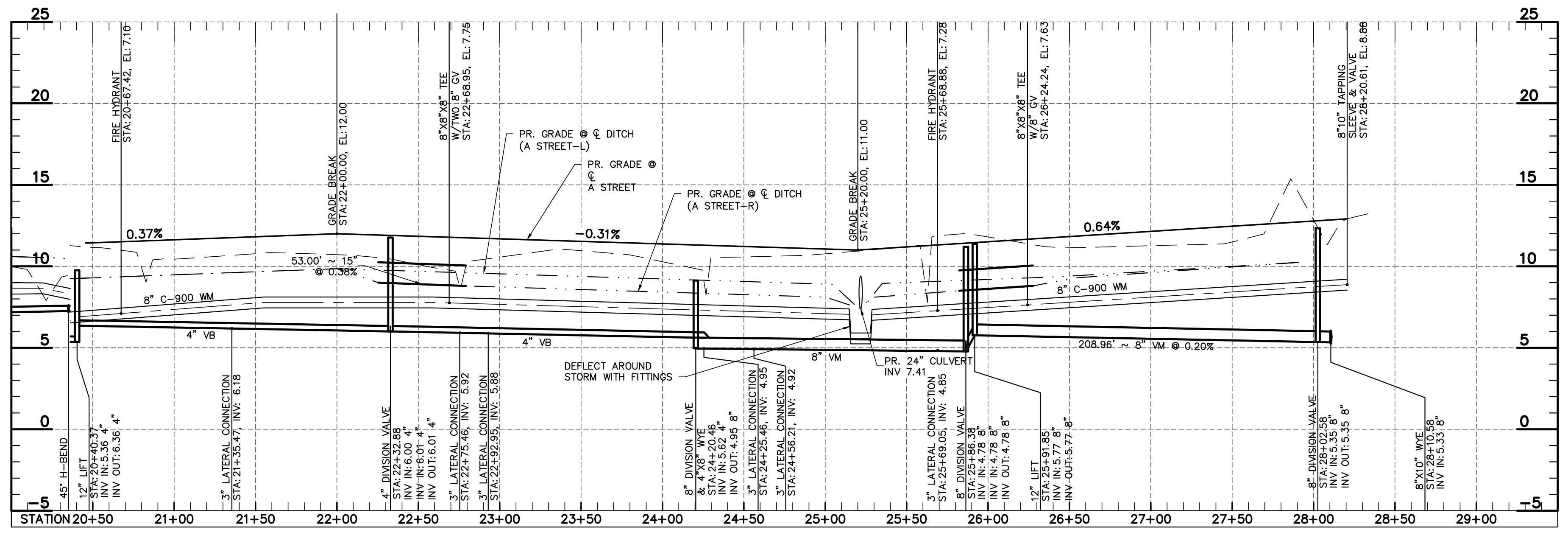
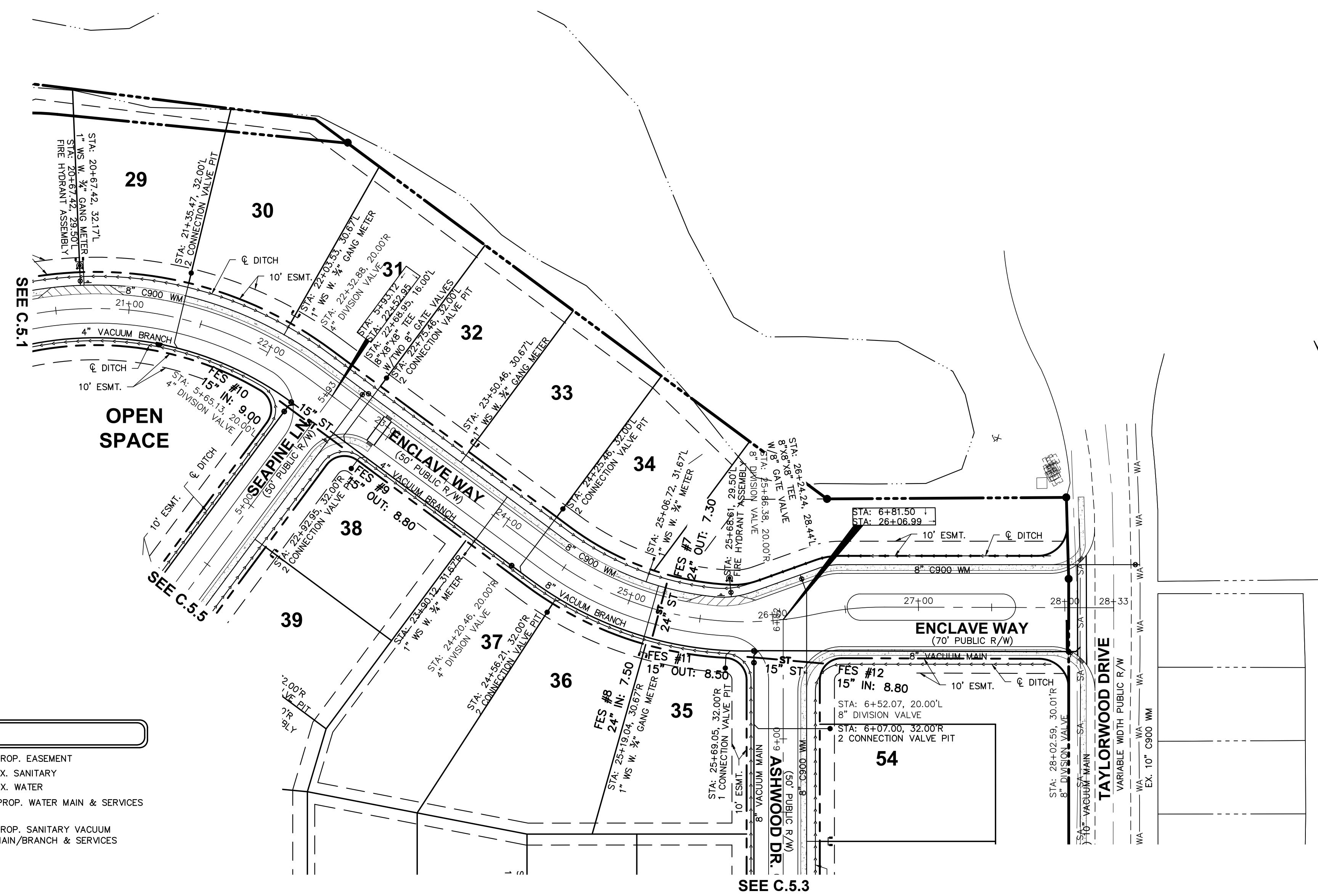
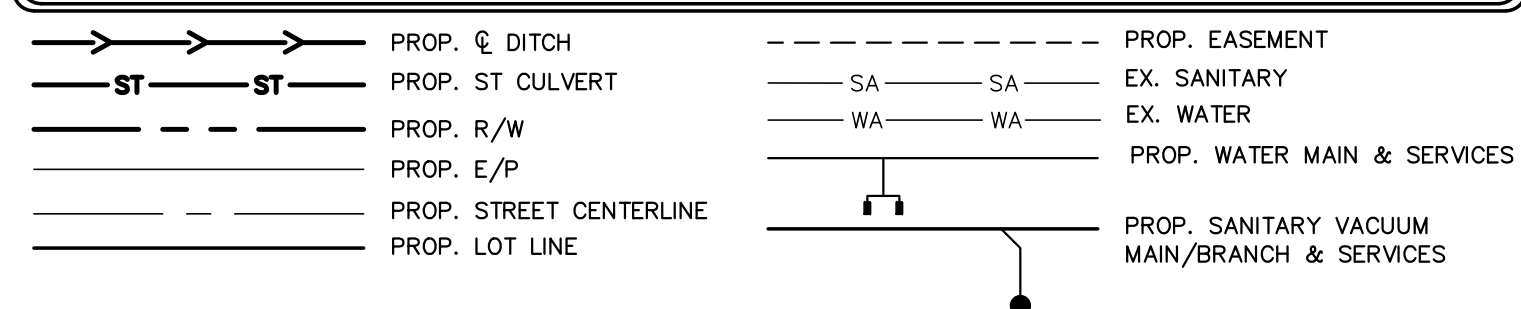
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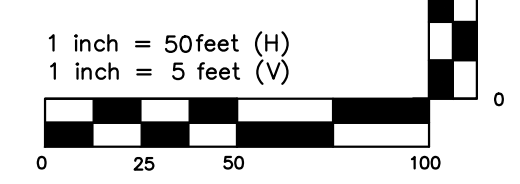
GENERAL NOTES

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LEGEND



ENCLAVE WAY



PLAN PREPARED BY:
FIRM # C-2798

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PLAN PREPARED FOR:

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

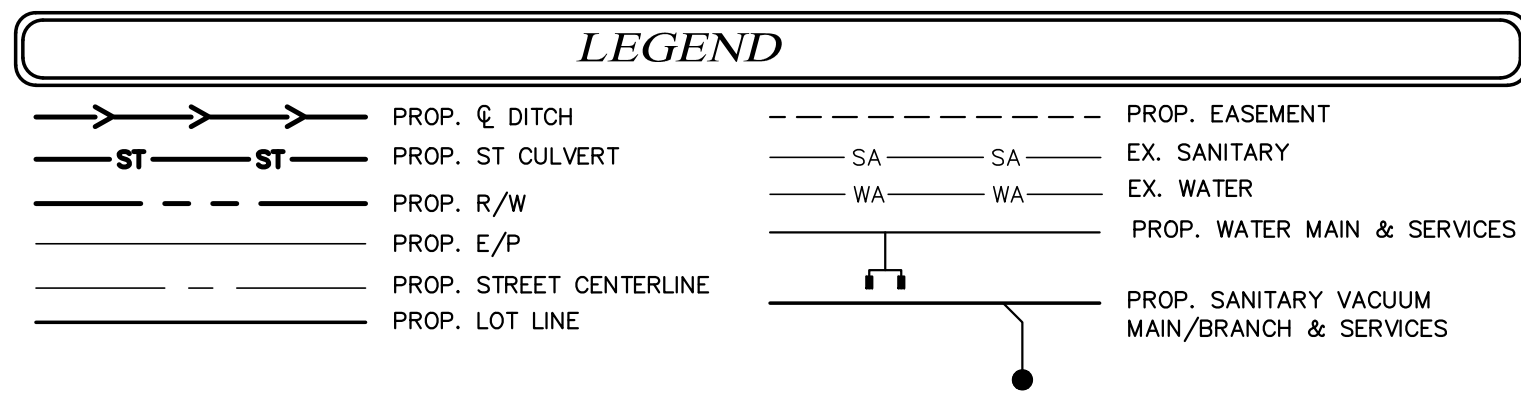
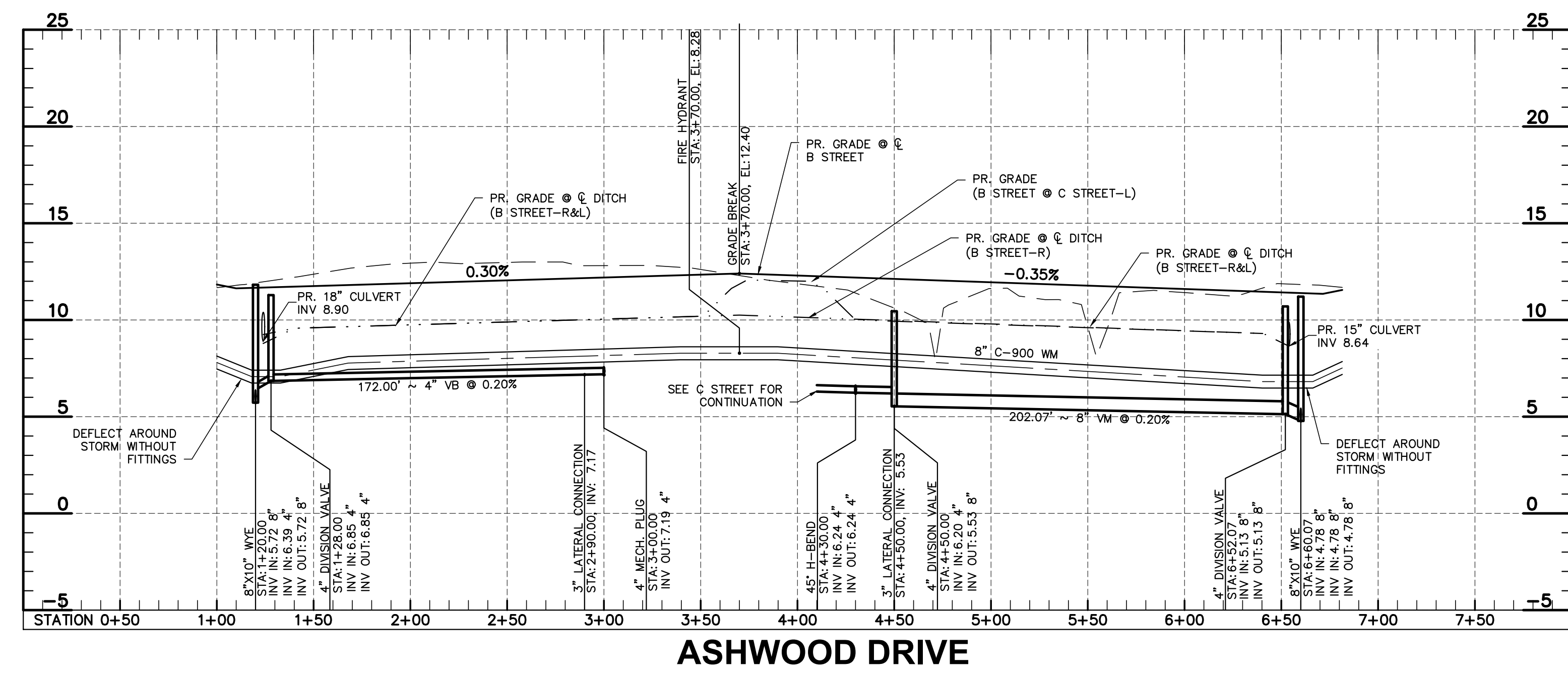
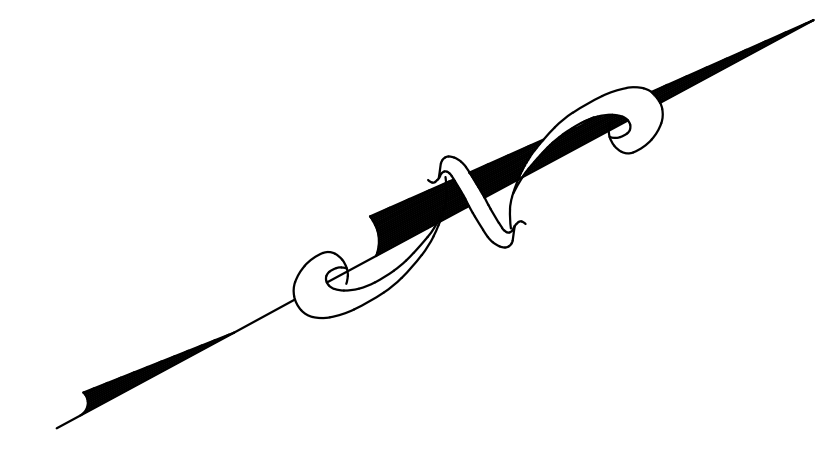
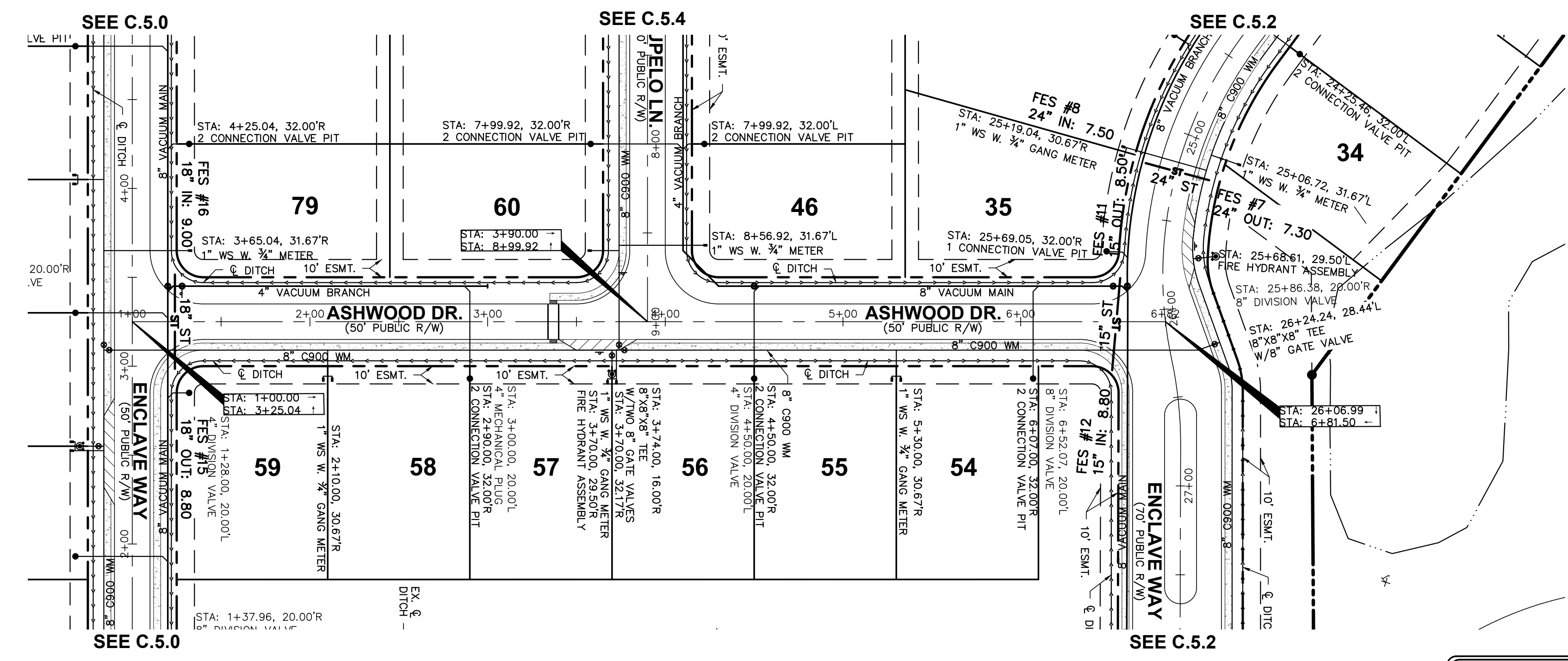
PLAN & PROFILE - ENCLAVE WAY

| | |
|--------------|---|
| Issue Dates: | 02/21/2025: SKETCH PLAN SUBMITTAL |
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| | |
|-------------|------------|
| Date: | 06/05/2025 |
| Scale: | 1" = 50' |
| Drawn By: | JLB |
| Checked By: | JWB |

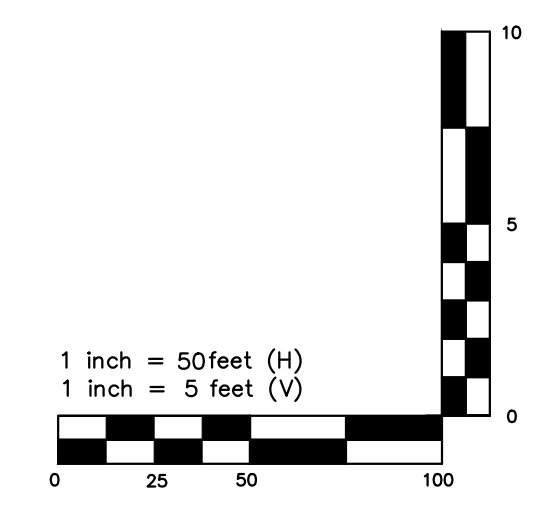
Project Number:
22-0016-742

Drawing Number:
C.5.2



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF BEAUFORT AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER, AND/OR ARCHITECT.
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PLAN PREPARED BY:
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ENGINEERS SURVEYORS

PLAN PREPARED FOR:

PLAN PREPARED FOR:

Issue Dates:
02/21/2025: SKETCH PLAN SUBMITTAL
04/25/2025: SITE CONSTRUCTION SUBMITTAL
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06/05/2025: SITE CONSTRUCTION SUBMITTAL 3

Date: 06/05/2025
Scale: 1" = 50'
1" = 5'

Drawn By: JLB
Checked By: JDW

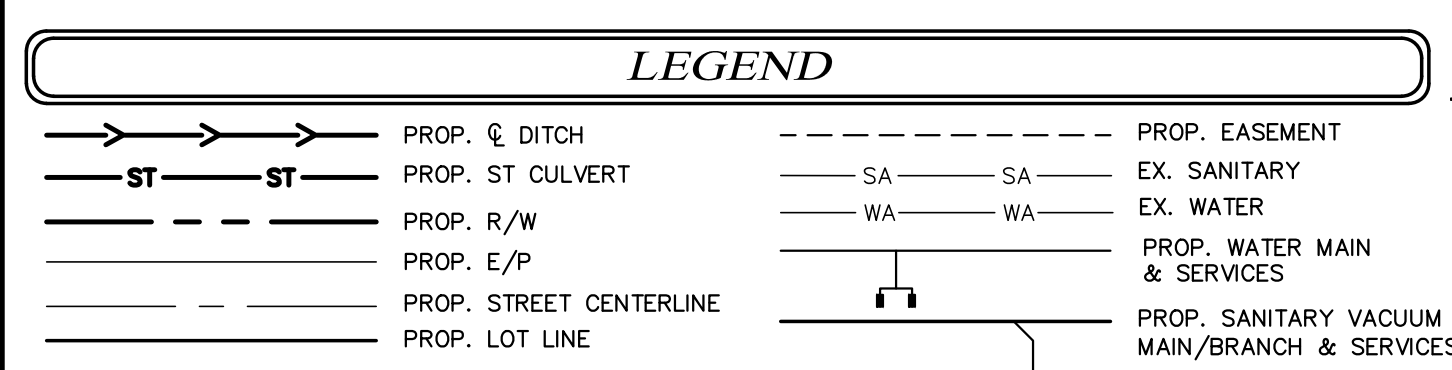
SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARRIETT COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

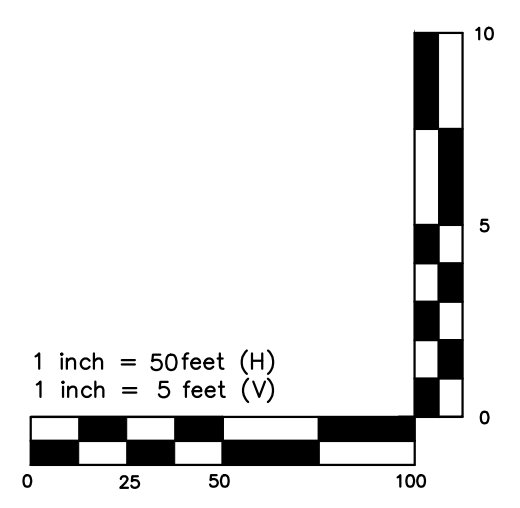
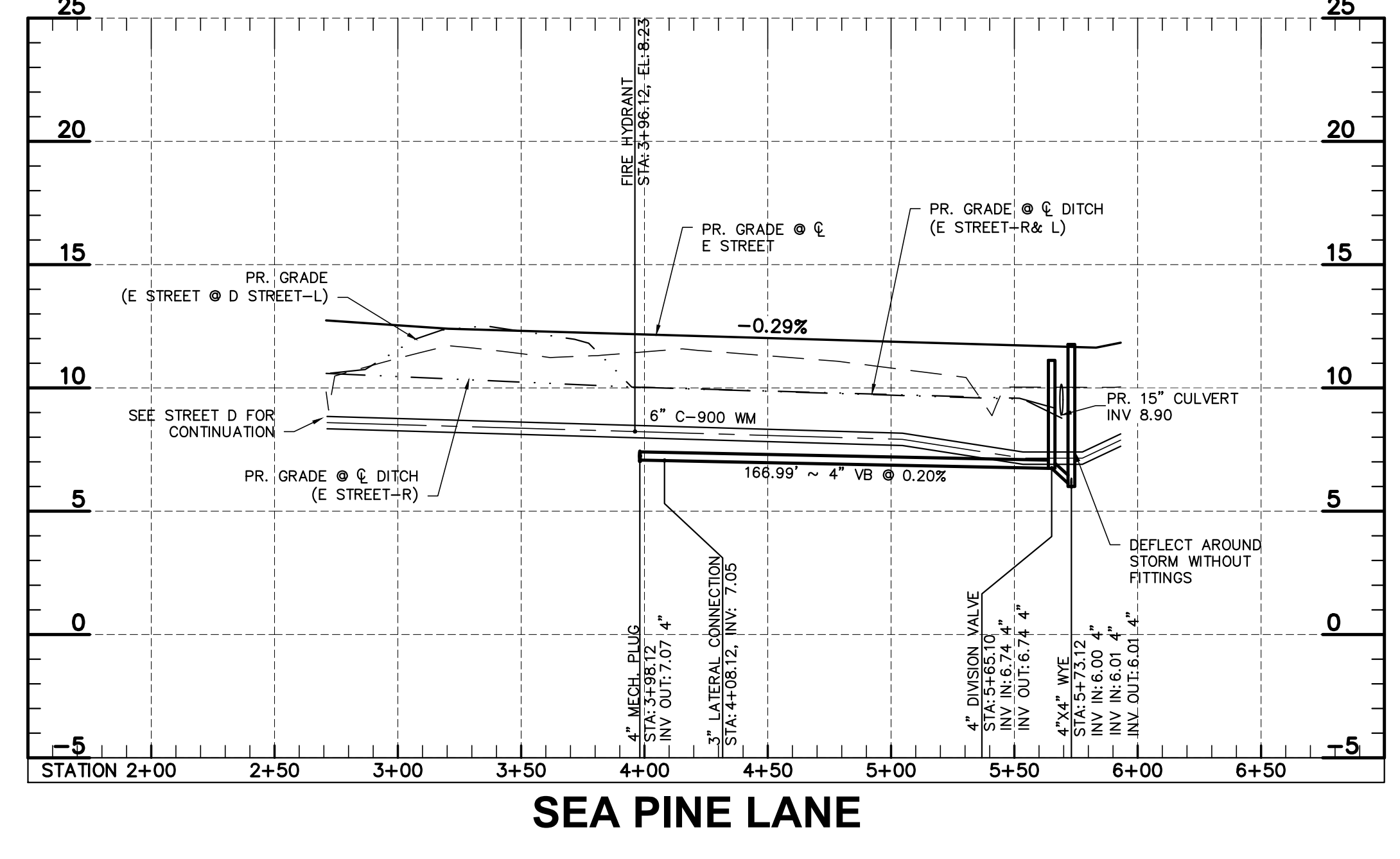
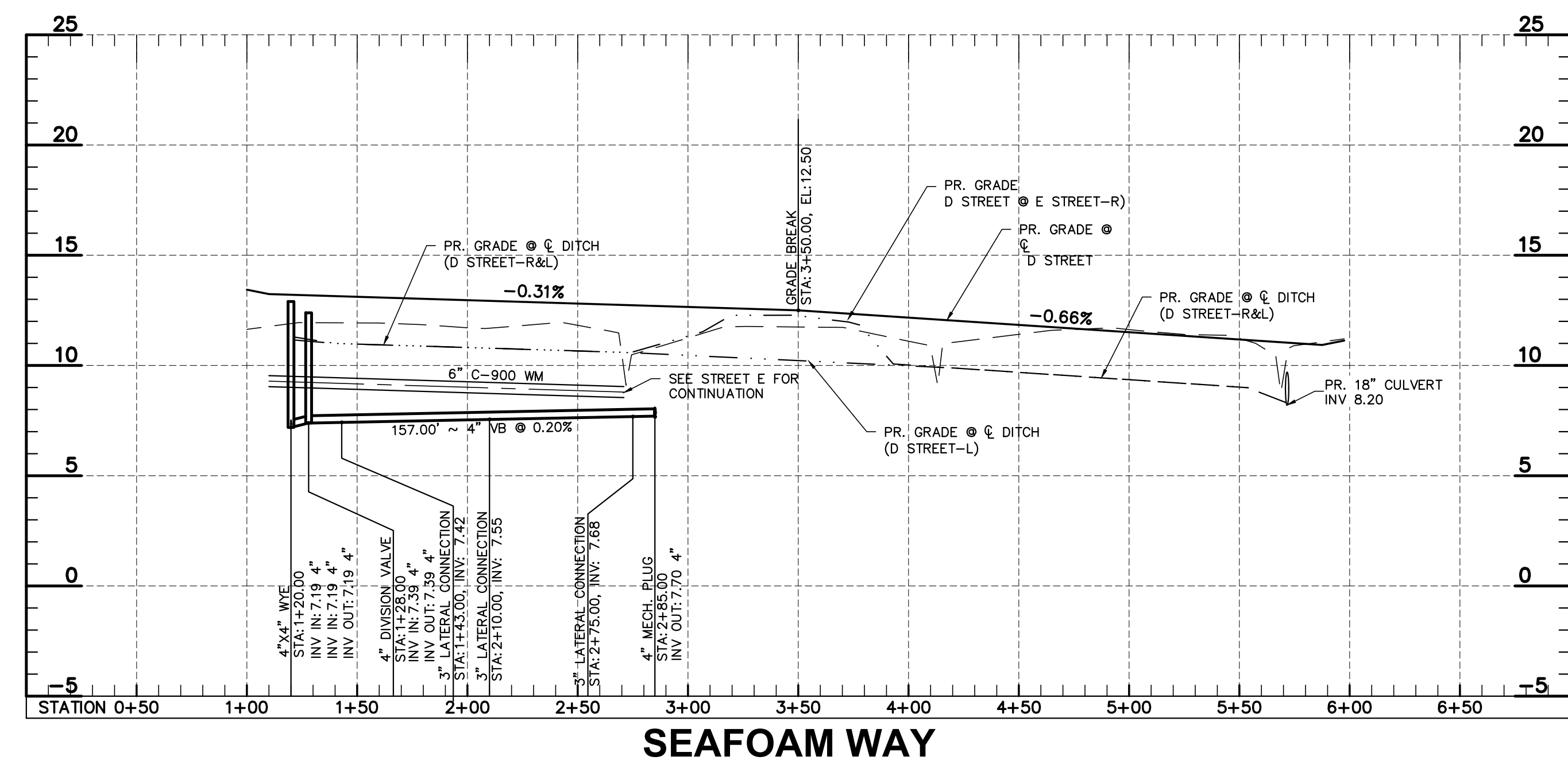
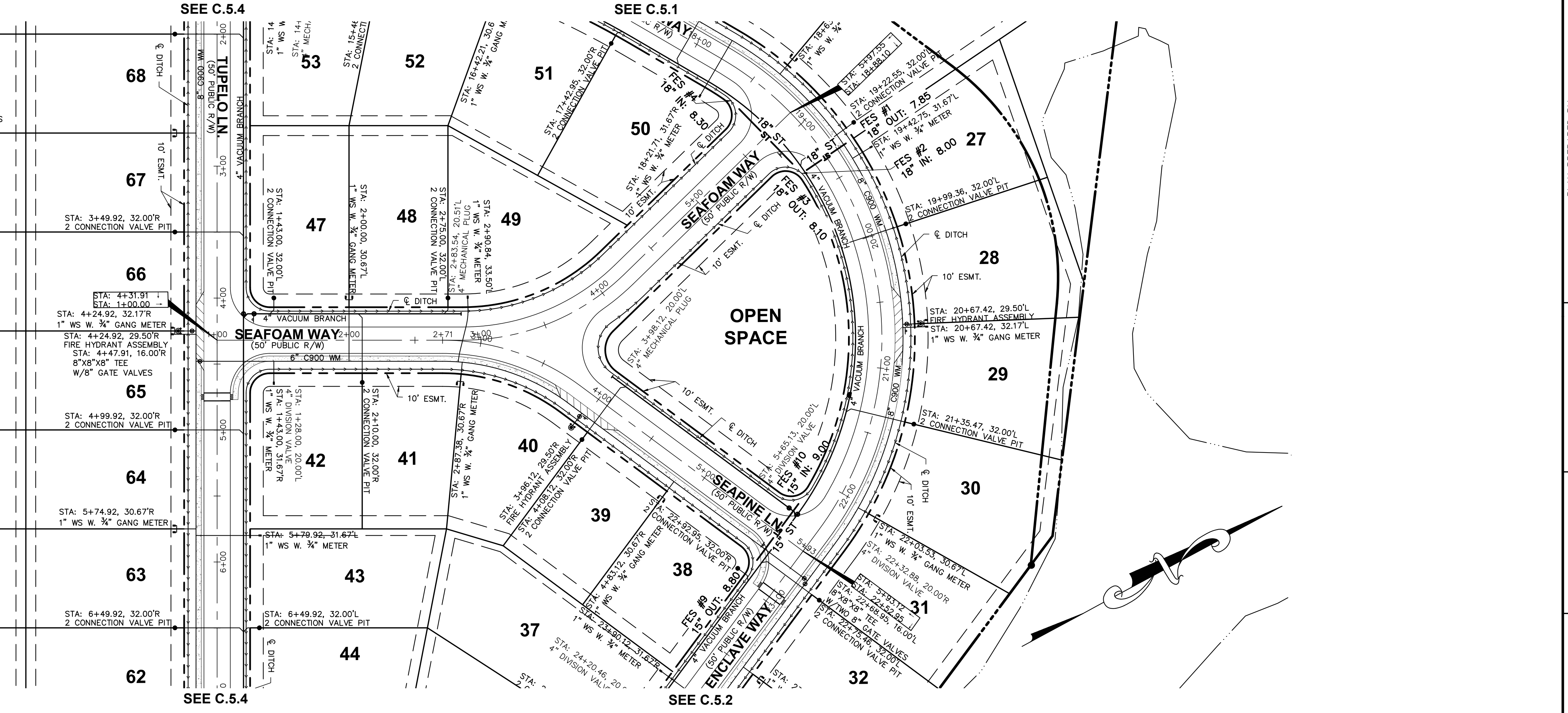
PLAN & PROFILE - ASHWOOD DRIVE

Project Number:
22-0016-742

Drawing Number:
C.5.3



- GENERAL NOTES**
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FIRM # C-2798

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fax 919.336.6127

PLAN PREPARED FOR:

06/05/2025

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

PLAN & PROFILE - SEAFOAM & SEAPINE

Issue Dates:
02/21/2025: SKETCH PLAN SUBMITTAL
04/25/2025: SITE CONSTRUCTION SUBMITTAL
05/09/2025: SITE CONSTRUCTION SUBMITTAL 2
06/05/2025: SITE CONSTRUCTION SUBMITTAL 3

Date: 06/05/2025
Scale: 1" = 50'
1" = 5 feet (V)

Drawn By: JLB Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.5.5

LEGEND

- MAJOR ROUTING PATH
- FINISHED FLOOR ELEVATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. DITCH
- PROP. ST CULVERT
- PROP. R/W
- PROP. STREET CENTERLINE
- PROP. LOT LINE
- PROP. EASEMENT
- EX. SANITARY
- EX. WATER
- PROP. WATER MAIN & SERVICES
- PROP. SANITARY VACUUM MAIN/BRANCH & SERVICES

STANDARD GRADING NOTES

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING PERIMETER DITCHES TO BE INSPECTED AND REPAIRED AND/OR CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING CONTOURS SHOWN AT 1 FOOT INTERVALS.

PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.

ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

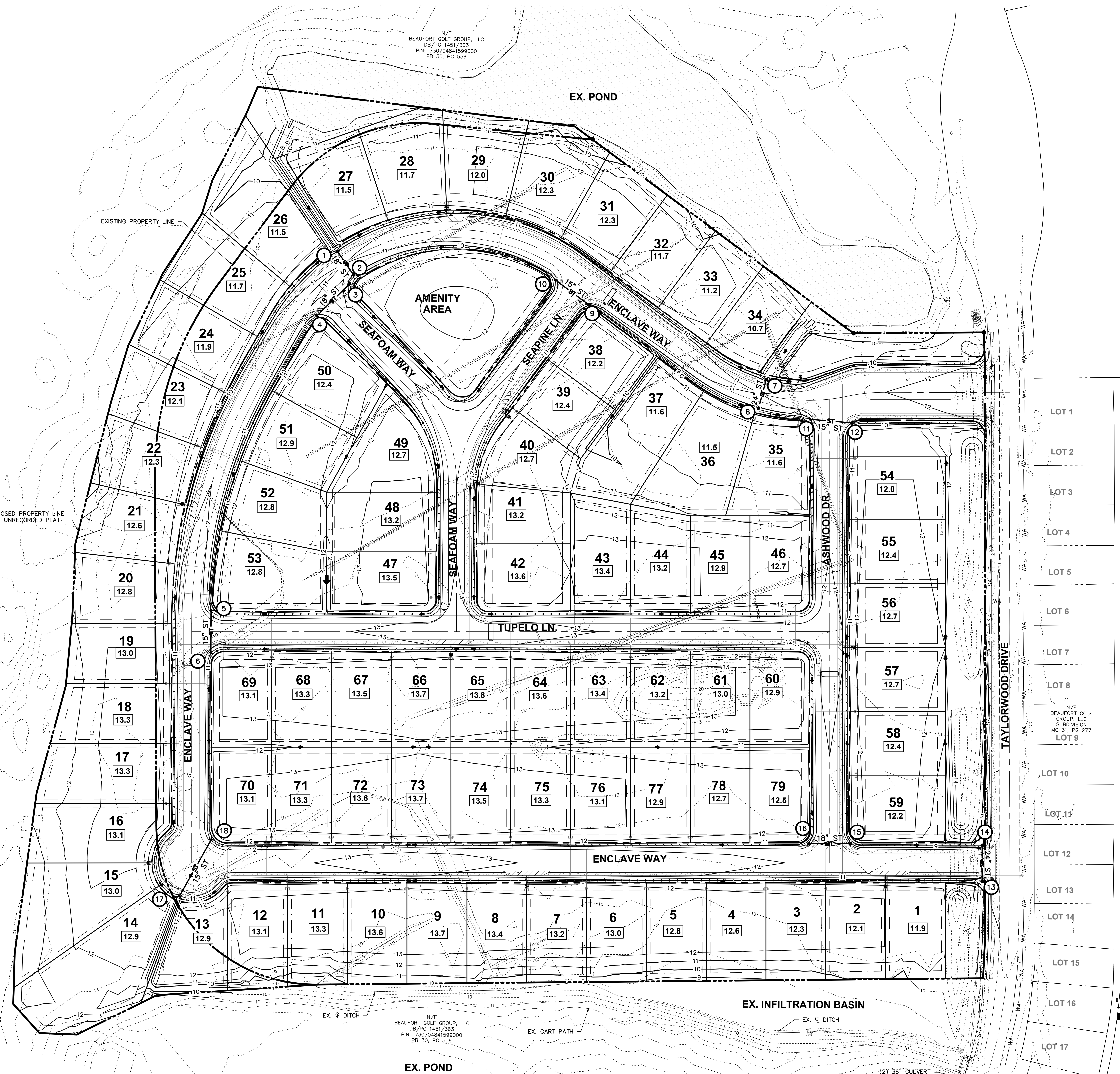
CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXX.XX.

GOLF COURSE

N/F
BEAUFORT GOLF GROUP, LLC
DB/PG 1451/363
PIN: 730704841599000
PB 30, PG 556



O:\22-0016-742\CD\Drawings\Site Construction\0016-742-Overall Grading Plan.dwg GR Jun 05, 2025 - 4:54:09pm Shucheson

PLAN PREPARED BY:
FIRM # C-2796

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ENGINEERS SURVEYORS

PLAN PREPARED FOR:

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

OVERALL GRADING PLAN

Issue Dates:

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| 02/21/2025: | SKETCH PLAN SUBMITTAL |
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| 06/05/2025: | SITE CONSTRUCTION SUBMITTAL 3 |

Date: 06/05/2025
Scale: 1" = 60'

Drawn By: JLB
Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.6.0



LEGEND

- ➔ MAJOR ROUTING PATH
- ➔ FLOW ARROW
- SPOT GRADE ELEVATION
- XX.XX FINISHED FLOOR ELEVATION
- XX.XX PROPERTY CORNER ELEVATION
- - - - - G.B. GRADE BREAK
- - - - - 875 EXISTING MAJOR CONTOUR
- - - - - 876 EXISTING MINOR CONTOUR
- - - - - 876 PROP. MAJOR CONTOUR
- - - - - 876 PROP. MINOR CONTOUR
- - - - - PROP. 6" DITCH
- - - - - ST ST PROP. ST CULVERT
- - - - - PROP. R/W
- - - - - PROP. STREET CENTERLINE
- - - - - PROP. LOT LINE
- - - - - PROP. EASEMENT
- - - - - SA SA EX. SANITARY
- - - - - WA WA EX. WATER
- - - - - PROP. WATER MAIN & SERVICES
- - - - - PROP. SANITARY VACUUM MAIN BRANCH & SERVICES

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CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

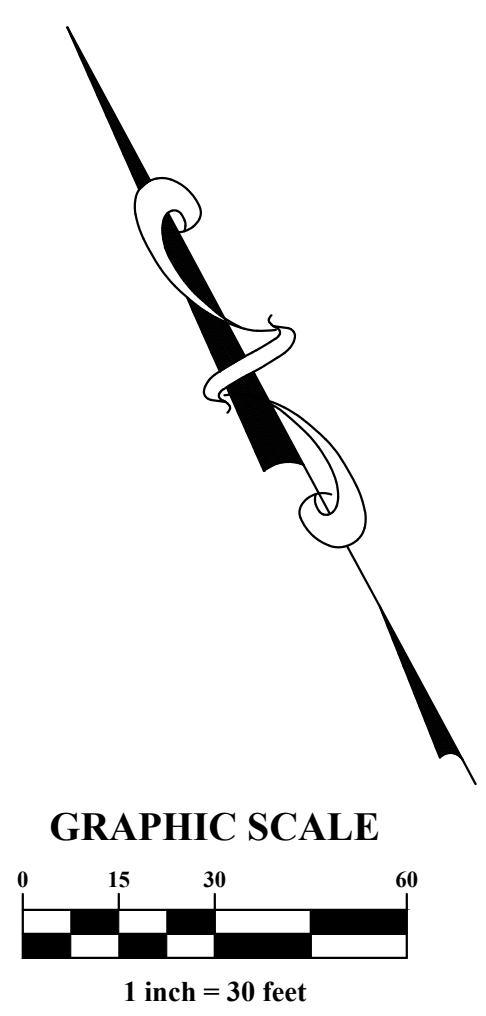
A MINIMUM OF SIX INCHES OF FALL FROM THE FINISHED GRADE AROUND ANY BUILDING TO THE ADJACENT SIDE YARD SWALE SHALL BE PROVIDED.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXXX.XX.

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS MAINTAINED BETWEEN ALL LOTS.



PLAN PREPARED BY:
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ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinass dewitt

SEAL
06/05/2025
KIM D. WHITMORE
ENGINEER

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

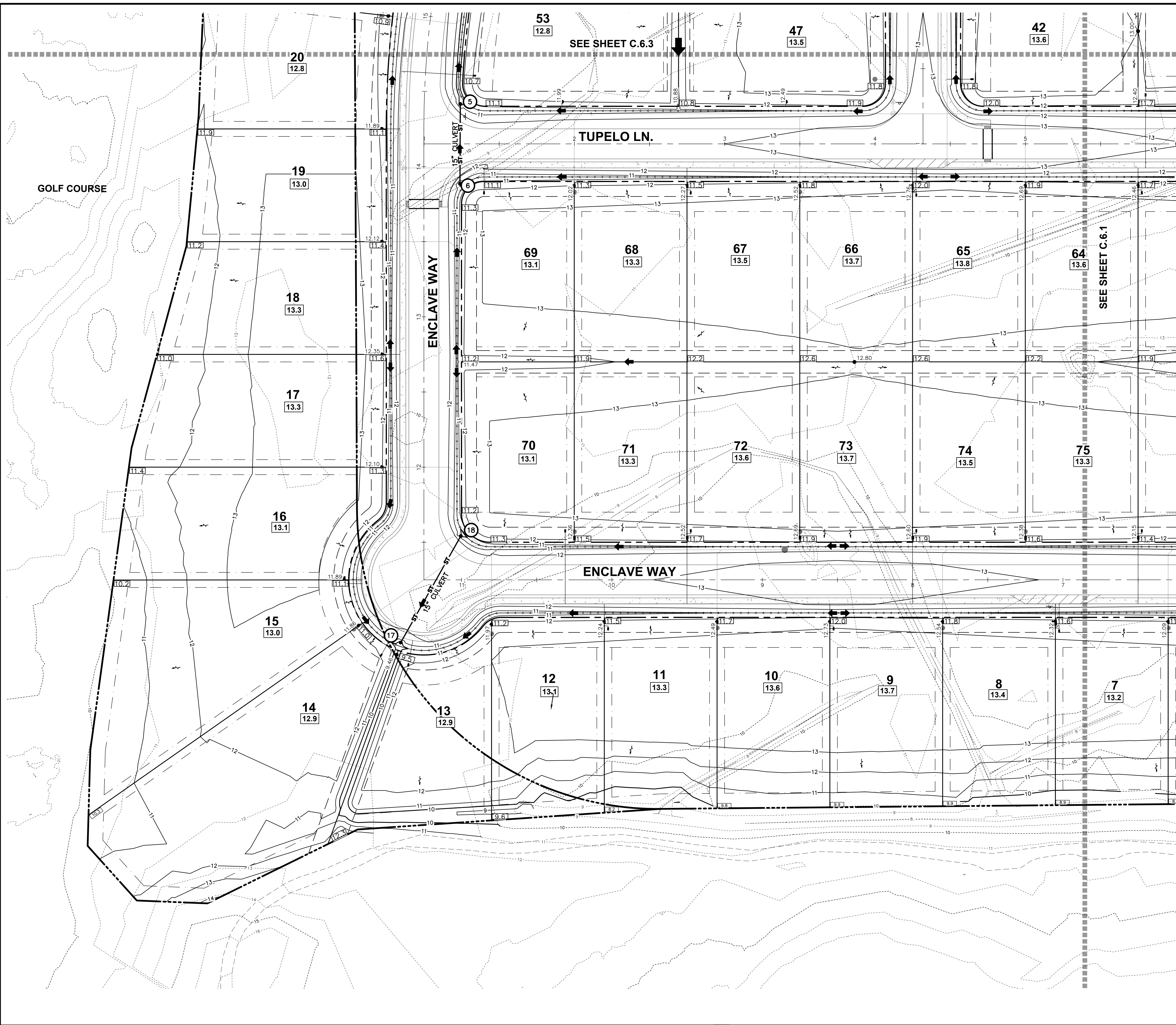
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

GRADING & DRAINAGE PLAN

| | |
|-----------------|---|
| Issue Dates: | 02/21/2025: SKETCH PLAN SUBMITTAL |
| | 04/25/2025: SITE CONSTRUCTION SUBMITTAL |
| | 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 |
| | 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 |
| Date: | 06/05/2025 |
| Scale: | 1" = 30' |
| Drawn By: | JLB |
| Checked By: | JDW |
| Project Number: | 22-0016-742 |
| Drawing Number: | C.6.1 |

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LEGEND

- ➔ MAJOR ROUTING PATH
- ➔ FLOW ARROW
- XX.XX SPOT GRADE ELEVATION
- XX.XX FINISHED FLOOR ELEVATION
- XX.XX PROPERTY CORNER ELEVATION
- G.B. GRADE BREAK
- 875--- EXISTING MAJOR CONTOUR
- 875--- EXISTING MINOR CONTOUR
- 875--- PROP. MAJOR CONTOUR
- 876--- PROP. MINOR CONTOUR
- ➔ PROP. DITCH
- ST ST PROP. ST CULVERT
- PROP. R/W
- PROP. STREET CENTERLINE
- PROP. LOT LINE
- PROP. EASEMENT
- SA SA EX. SANITARY
- WA WA EX. WATER
- PROP. WATER MAIN & SERVICES
- PROP. SANITARY VACUUM MAIN/BRANCH & SERVICES

STANDARD GRADING NOTES

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING PERIMETER DITCHES TO BE INSPECTED AND REPAIRED AND/OR CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING CONTOURS SHOWN AT 1 FOOT INTERVALS.

PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

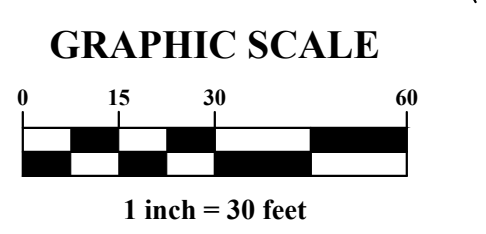
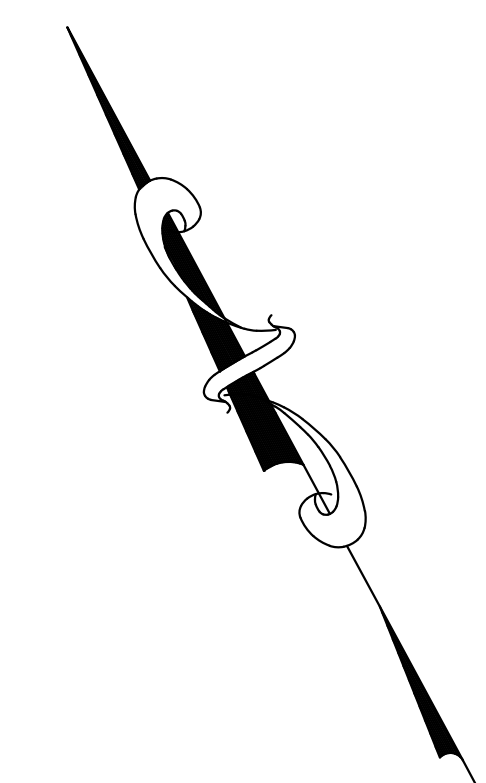
A MINIMUM OF SIX INCHES OF FALL FROM THE FINISHED GRADE AROUND ANY BUILDING TO THE ADJACENT SIDE YARD SWALE SHALL BE PROVIDED.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TCXXX.XX.

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS MAINTAINED BETWEEN ALL LOTS.



PLAN PREPARED BY:
FIRM # C-2796

51 Kilmoyne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6280
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ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinas dewitt

SEAL
NORTH CAROLINA PROFESSIONAL ENGINEER
No. 1180
KIM D. WHITLOCK
06/05/2025

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS

GRADING & DRAINAGE PLAN

Issue Dates:
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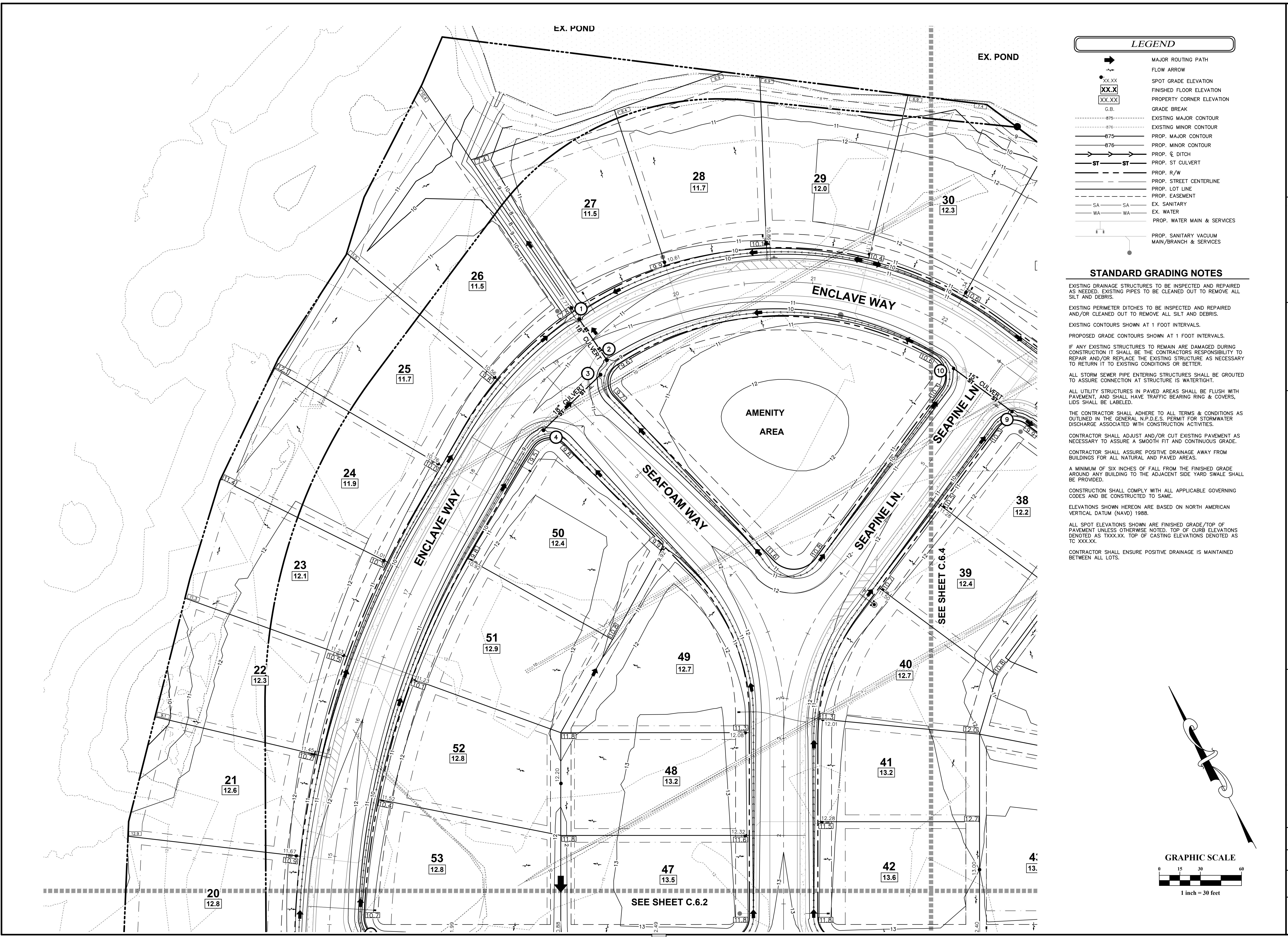
Date: 06/05/2025
Scale: 1" = 30'

Drawn By: JLB
Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.6.2

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LEGEND

- MAJOR ROUTING PATH
- FLOW ARROW
- SPOT GRADE ELEVATION
- FINISHED FLOOR ELEVATION
- PROPERTY CORNER ELEVATION
- G.B.
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. DITCH
- PROP. ST CULVERT
- PROP. R/W
- PROP. STREET CENTERLINE
- PROP. LOT LINE
- PROP. EASEMENT
- EX. SANITARY
- EX. WATER
- PROP. WATER MAIN & SERVICES
- PROP. SANITARY VACUUM MAIN/BRANCH & SERVICES

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GRAPHIC SCALE

1 inch = 30 feet

51 Kilmoyne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
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ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED BY:
FIRM # C-2796

PLAN PREPARED FOR:

SEAL
NORTH CAROLINA PROFESSIONAL ENGINEER
KIM D. WHITACRE
06/05/2025

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTER COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
GRADING & DRAINAGE PLAN

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| 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 | Checked By: JDW |
| 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 | Project Number: 22-0016-742 |
| | Drawing Number: C.6.3 |



LEGEND

- ➔ MAJOR ROUTING PATH
- ➔ FLOW ARROW
- XX.XX SPOT GRADE ELEVATION
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- ➔ PROP. 6" DITCH
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GRAPHIC SCALE

0 15 30 60

1 inch = 30 feet

PLAN PREPARED BY:
FIRM # C-2796

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ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinas
dewitt

NORTH CAROLINA
PROFESSIONAL
SEAL
021180
ENGINEER
KIMES D. WHITLOCK
06/05/2025

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTER COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
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GRADING & DRAINAGE PLAN

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| Checked By: | JDW |
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| Drawing Number: | C.6.4 |

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MISCELLANEOUS NOTES

Areas calculated by coordinate geometry. All distances are horizontal ground distances.
 Basis of Bearing NC GRID 1983, 2011 Adjustment Horizontal Datum.
 Boundary information shown hereon was prepared from an actual field survey and from existing records as referenced hereon.
 There is no observable evidence of this site being used as a solid waste dump, barge or any kind of sanitary land fill.
 Party walls with relation to adjoining properties were not observed.
 At the time of survey there was no observable evidence of recent earthmoving work, building construction or building additions.
 At the time of the survey was no observable evidence or provided information on proposed changes in street right-of-way lines.
 This survey does not include nor depict any environmental evaluations by this office. At the time of the survey no evidence of wetlands were observed.

Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of underground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.

Coordinates shown on this plot were derived by Real Time Network (RTN) Global Positioning System (GPS). This results in NAD 1983, 2011 Adjustment (CORS 96) using the continually operating reference stations (CORS) maintained by the North Carolina Geodetic Survey, Class A Survey, 0.033 feet positional accuracy, VRS Field Procedure, Geoid 18.

FLOOD NOTE

By graphic plotting, this property is located in Zone "X" (Areas determined to be outside of the 100-year flood plain) by the Federal Emergency Agency on Flood Insurance Rate Map, Community Panel No. 3720730700J, with an effective date of July 16, 2003, in Carteret County, North Carolina. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

STATEMENT OF ENCROACHMENTS

None apparent.

LIMITS OF DISTURBANCE
25.3 ACRES

EROSION CONTROL NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY NEW LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THIS PLAN.
- PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL HAVE THE APPROPRIATE UNDERGROUND UTILITIES LOCATED.
- THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBING AS WELL AS EXISTING IMPROVEMENTS SPECIFICALLY NOTE FOR PROTECTION ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES.
- EXPOSED SIDE SLOPS SHALL BE PLANTED OR PROVIDED WITH TEMPORARY GROUND COVER SUFFICIENT TO CONTROL EROSION WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS OF COMPLETION OF GRADING.
- IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF DEVELOPS DURING THE TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCING SHALL BE INSTALLED AS DIRECTED BY ENGINEER.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED, AND REPAIRED AS NECESSARY. THIS SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR OR OTHER ASSIGNEES AS DEEMED APPROPRIATE BY THE OWNER.
- ADDITIONAL SILT FENCING SHALL BE PROVIDED WHERE DISTURBANCE IS NECESSARY WITHIN 25' OF ANY AREA FOUND TO BE CLASSIFIED AS 404 WETLANDS, AS DIRECTED BY THE ENGINEER.

LEGEND

- Iron Pipe Found
- ⊗ PK Nail Found
- ⊗ RR Spike Found
- ⊗ Monument Box
- ⊗ Sign
- ⊗ Catch Basin
- ⊗ Curb Inlet W / Grate
- ⊗ Water Meter
- ⊗ Utility Line Marker
- Iron Pin Set
- ⊗ PK Nail Set
- ⊗ Calculated Point
- ⊗ Monument
- ⊗ Utility Pole (PP)
- ⊗ Fire Hydrant
- ⊗ Water Valve
- ⊗ Telecom Pedestal
- ⊗ Electric Box Flush
- Sanitary Cleanout
- Treeline
- OHE Overhead Electric
- ST Storm Sewer
- SA Sanitary Sewer
- WA Waterline
- X-X Fence Line
- Easement Line
- Buffer/Setback
- Right of Way
- Boundary Line
- Telecom Line
- G-G Gas Line
- SF SILT FENCE
- S/TP SILT & TREE PROTECTION FENCE
- TPF TREE PROTECTION FENCE
- LOD LIMITS OF DISTURBANCE
- > TEMPORARY DIVERSION DITCH/BERM

SKIMMER BASIN #1

DRAINAGE AREA = 8.007 ACRES
 DISTURBED AREA = 8.007 ACRES
 STORAGE VOL. REQD = (8.007*1800) = 14,413 CF
 STORAGE VOL. PROV = 14,948 CF

TRAP EFFICIENCY
 SURFACE AREA, AC ≥ (325)*Q25, CFS
 Q25 = CIA
 = (0.10)(9.96)(8.007)
 = 7.975 CFS
 SURFACE AREA REQUIRED: (325)*(7.975)
 = 2,592 SF
 SURFACE AREA PROVIDED: 4,165 SF

BASIN IS SIZED FOR ANNUAL CLEANOUT

STORAGE DIMENSIONS
 INTERIOR SIDE SLOPES: 3:1
 EXTERIOR SIDE SLOPES: 3:1
 BOTTOM ELEVATION: 7.5
 BOTTOM AREA: 6,365 SF
 TOP AREA: 8,628 SF
 DEPTH OF STORAGE: 2.0 FT
 VOLUME PROVIDED: 14,498 CF
 BERM ELEVATION: 10.0
 BERM WIDTH: 6 FT
 SPILLWAY ELEV: 9.5

FAIRCLOTH SKIMMER SPECIFICATIONS:
 VOLUME REQUIRED = 14,948 CF
 SKIMMER SIZE = 2.5 INCHES
 DRAW DRAWDOWN TIME = 3 DAYS
 ORIFICE RADIUS = 1.1 INCHES
 ORIFICE DIAMETER = 2.2 INCHES

SKIMMER BASIN #2

DRAINAGE AREA = 7.298 ACRES
 DISTURBED AREA = 7.298 ACRES
 STORAGE VOL. REQD = (7.298*1800) = 13,136 CF
 STORAGE VOL. PROV = 13,911 CF

TRAP EFFICIENCY
 SURFACE AREA, AC ≥ (325)*Q25, CFS
 Q25 = CIA
 = (0.10)(9.96)(7.298)
 = 7,269 CFS
 SURFACE AREA REQUIRED: (325)*(7,269)
 = 2,362 SF
 SURFACE AREA PROVIDED: 6,264 SF

BASIN IS SIZED FOR ANNUAL CLEANOUT

STORAGE DIMENSIONS
 INTERIOR SIDE SLOPES: 3:1
 EXTERIOR SIDE SLOPES: 3:1
 BOTTOM ELEVATION: 7.5
 BOTTOM AREA: 3,130 SF
 TOP AREA: 5,264 SF
 DEPTH OF STORAGE: 3.0 FT
 VOLUME PROVIDED: 13,911 CF
 BERM ELEVATION: 11.0
 BERM WIDTH: 6 FT
 SPILLWAY ELEV: 10.5

FAIRCLOTH SKIMMER SPECIFICATIONS:
 VOLUME REQUIRED = 13,911 CF
 SKIMMER SIZE = 2.5 INCHES
 DRAW DRAWDOWN TIME = 3 DAYS
 ORIFICE RADIUS = 1.1 INCHES
 ORIFICE DIAMETER = 2.2 INCHES

SKIMMER BASIN #3

DRAINAGE AREA = 6.891 ACRES
 DISTURBED AREA = 6.891 ACRES
 STORAGE VOL. REQD = (6.891*1800) = 12,404 CF
 STORAGE VOL. PROV = 12,671 CF

TRAP EFFICIENCY
 SURFACE AREA, AC ≥ (325)*Q25, CFS
 Q25 = CIA
 = (0.10)(9.96)(6.891)
 = 6,863 CFS
 SURFACE AREA REQUIRED: (325)*(6,863)
 = 2,231 SF
 SURFACE AREA PROVIDED: 5,455 SF

BASIN IS SIZED FOR ANNUAL CLEANOUT

STORAGE DIMENSIONS
 INTERIOR SIDE SLOPES: 3:1
 EXTERIOR SIDE SLOPES: 3:1
 BOTTOM ELEVATION: 9.5
 BOTTOM AREA: 3,091 SF
 TOP AREA: 5,455 SF
 DEPTH OF STORAGE: 3.0 FT
 VOLUME PROVIDED: 12,671 CF
 BERM ELEVATION: 12.0
 BERM WIDTH: 6 FT
 SPILLWAY ELEV: 11.5

FAIRCLOTH SKIMMER SPECIFICATIONS:
 VOLUME REQUIRED = 12,671 CF
 SKIMMER SIZE = 2.5 INCHES
 DRAW DRAWDOWN TIME = 3 DAYS
 ORIFICE RADIUS = 1.0 INCHES
 ORIFICE DIAMETER = 2.1 INCHES

SKIMMER BASIN #4

DRAINAGE AREA = 3.517 ACRES
 DISTURBED AREA = 3.517 ACRES
 STORAGE VOL. REQD = (3.517*1800) = 6,331 CF
 STORAGE VOL. PROV = 6,868 CF

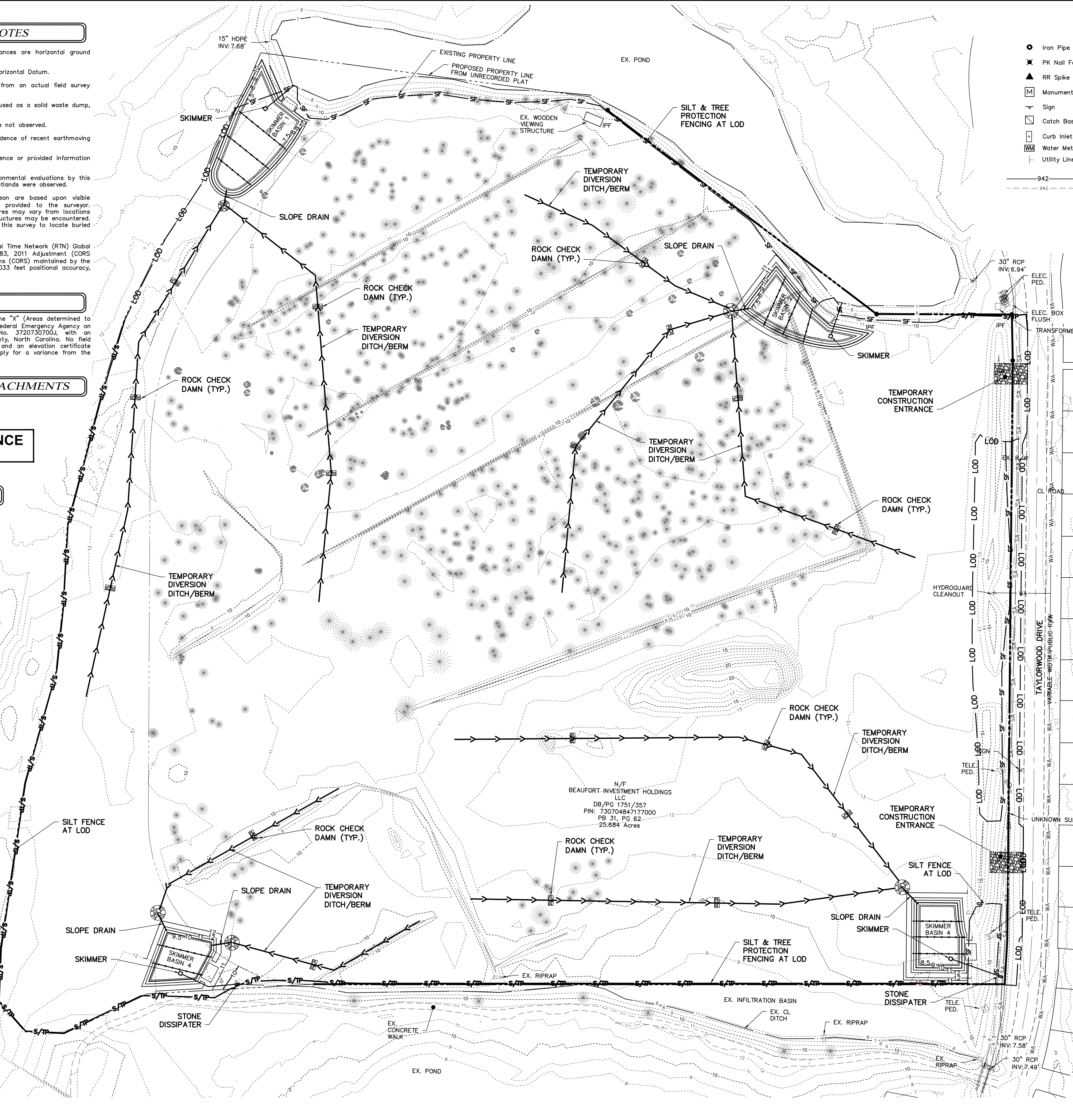
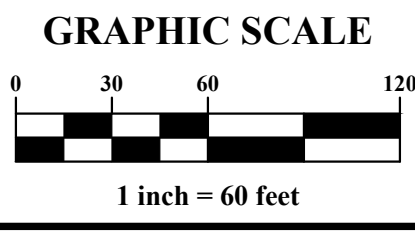
TRAP EFFICIENCY
 SURFACE AREA, AC ≥ (325)*Q25, CFS
 Q25 = CIA
 = (0.10)(9.96)(3.517)
 = 3,503 CFS
 SURFACE AREA REQUIRED: (325)*(3,503)
 = 1,138 SF
 SURFACE AREA PROVIDED: 4,142 SF

BASIN IS SIZED FOR ANNUAL CLEANOUT

STORAGE DIMENSIONS
 INTERIOR SIDE SLOPES: 3:1
 EXTERIOR SIDE SLOPES: 3:1
 BOTTOM ELEVATION: 9.5
 BOTTOM AREA: 2,887 SF
 TOP AREA: 4,142 SF
 DEPTH OF STORAGE: 2.0 FT
 VOLUME PROVIDED: 6,868 CF
 BERM ELEVATION: 12.0
 BERM WIDTH: 6 FT
 SPILLWAY ELEV: 11.5

FAIRCLOTH SKIMMER SPECIFICATIONS:
 VOLUME REQUIRED = 6,868 CF
 SKIMMER SIZE = 2.0 INCHES
 DRAW DRAWDOWN TIME = 3 DAYS
 ORIFICE RADIUS = 0.8 INCHES
 ORIFICE DIAMETER = 1.6 INCHES

- CONSTRUCTION SEQUENCE:**
- OBTAIN NCDEQ APPROVAL
 - INSTALL PROTECTION FENCING AND STAKE WORK LIMITS.
 - HOLD PRE-CONSTRUCTION MEETING
 - INSTALL CONSTRUCTION ENTRANCE.
 - PRIOR TO STARTING WORK WITHIN A SPECIFIED DRAINAGE AREA:
 - INSTALL APPLICABLE SKIMMER BASINS
 - INSTALL TEMPORARY DIVERSION DITCHES AND BERMS.
 - DEMOLISH EXISTING DITCHES AND VEGETATION
 - COMMENCE EARTHWORK
 - SEED, FERTILIZE AND WATER DISTURBED AREA TO STABILIZE.



O:\22-0016-742\NC DWA Production Drawings\Site Construction\0016-742-Erosion Control Plan - Phase 1.dwg - 4/5/2025 - 4:58:01pm - Shutcherson
 PHASE 1 - Jun 05, 2025 - 4:58:01pm - Shutcherson

PLAN PREPARED BY:
 FIRM # C-2798

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 ph 919.481.6290
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ADVANCED CIVIL DESIGN
 ENGINEERS & SURVEYORS

PLAN PREPARED FOR:
carolinass dewitt

SEAL
 06/05/2025
 NORTH CAROLINA PROFESSIONAL ENGINEERS
 JAMES D. WHITAKER

SITE CONSTRUCTION PLANS
 TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
 FOR
DEWITT CAROLINAS
EROSION CONTROL PLAN - PHASE 1

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Date: 06/05/2025
 Scale: 1" = 60'

Drawn By: JLB
 Checked By: JW

Project Number:
 22-0016-742

Drawing Number:
C.7.0

LEGEND

- Iron Pipe Found
- Iron Pin Set
- Sanitary Cleanout
- Overhead Electric
- Storm Sewer
- Sanitary Sewer
- Waterline
- Fence Line
- Easement Line
- Buffer/Setback
- Right of Way
- Boundary Line
- Telecom Line
- Gas Line
- Silt Fence
- Silt & Tree Protection Fence
- Tree Protection Fence
- Limits of Disturbance
- Temporary Diversion Ditch/Berm

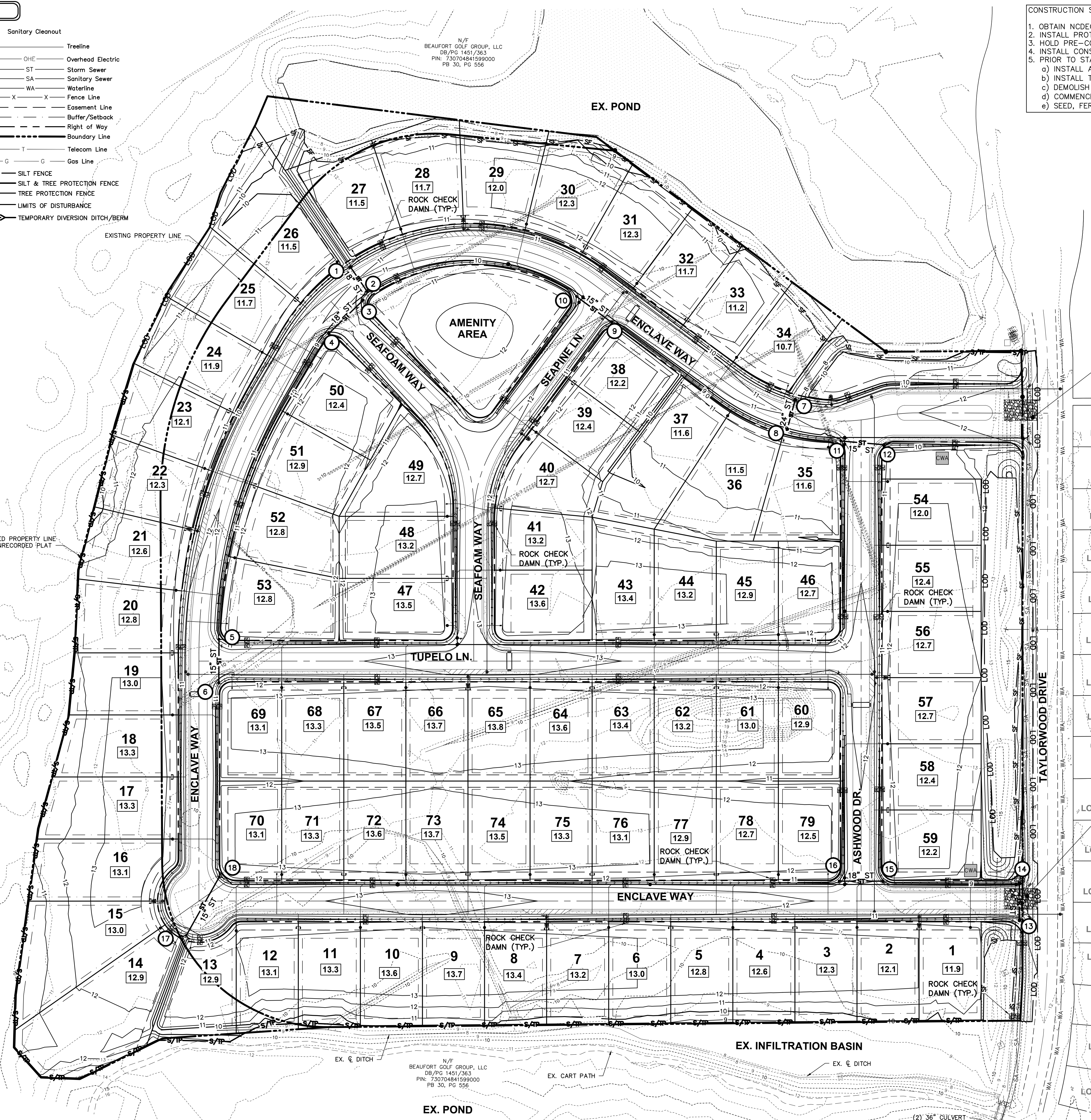
LIMITS OF DISTURBANCE
25.3 ACRES

EROSION CONTROL NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY NEW LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THIS PLAN.
- PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL HAVE THE APPROPRIATE UNDERGROUND UTILITIES LOCATED.
- THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBING AS WELL AS EXISTING IMPROVEMENTS SPECIFICALLY NOTE FOR PROTECTION ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES.
- EXPOSED SIDE SLOPS SHALL BE PLANTED OR PROVIDED WITH TEMPORARY GROUND COVER SUFFICIENT TO CONTROL EROSION WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS OF COMPLETION OF GRADING.
- IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF DEVELOPS DURING THE TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCING SHALL BE INSTALLED AS DIRECTED BY ENGINEER.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED, AND REPAIRED AS NECESSARY, THIS SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR OR OTHER ASSIGNEES AS DEMED APPROPRIATE BY THE OWNER.
- ADDITIONAL SILT FENCING SHALL BE PROVIDED WHERE DISTURBANCE IS NECESSARY WITHIN 25' OF ANY AREA FOUND TO BE CLASSIFIED AS 404 WETLANDS, AS DIRECTED BY THE ENGINEER.

GOLF COURSE

N/F
BEAUFORT GOLF GROUP, LLC
DB/PG 1451/363
PIN: 730704841599000
PB 30, PG 556



- CONSTRUCTION SEQUENCE:
- OBTAIN NCOEQ APPROVAL
 - INSTALL PROTECTION FENCING AND STAKE WORK LIMITS.
 - HOLD PRE-CONSTRUCTION MEETING
 - INSTALL CONSTRUCTION ENTRANCE.
 - PRIOR TO STARTING WORK WITHIN A SPECIFIED DRAINAGE AREA:
 - INSTALL APPLICABLE SKIMMER BASINS
 - INSTALL TEMPORARY DIVERSION DITCHES AND BERMS.
 - DEMOLISH EXISTING DITCHES AND VEGETATION
 - COMMENCE EARTHWORK
 - SEED, FERTILIZE AND WATER DISTURBED AREA TO STABILIZE.

PLAN PREPARED BY:
FIRM # C-2796

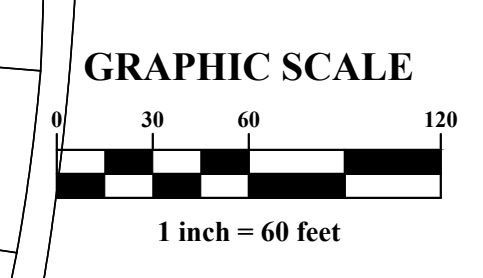
51 Kilmayne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.336.5127

ENGINEERS SURVEYORS

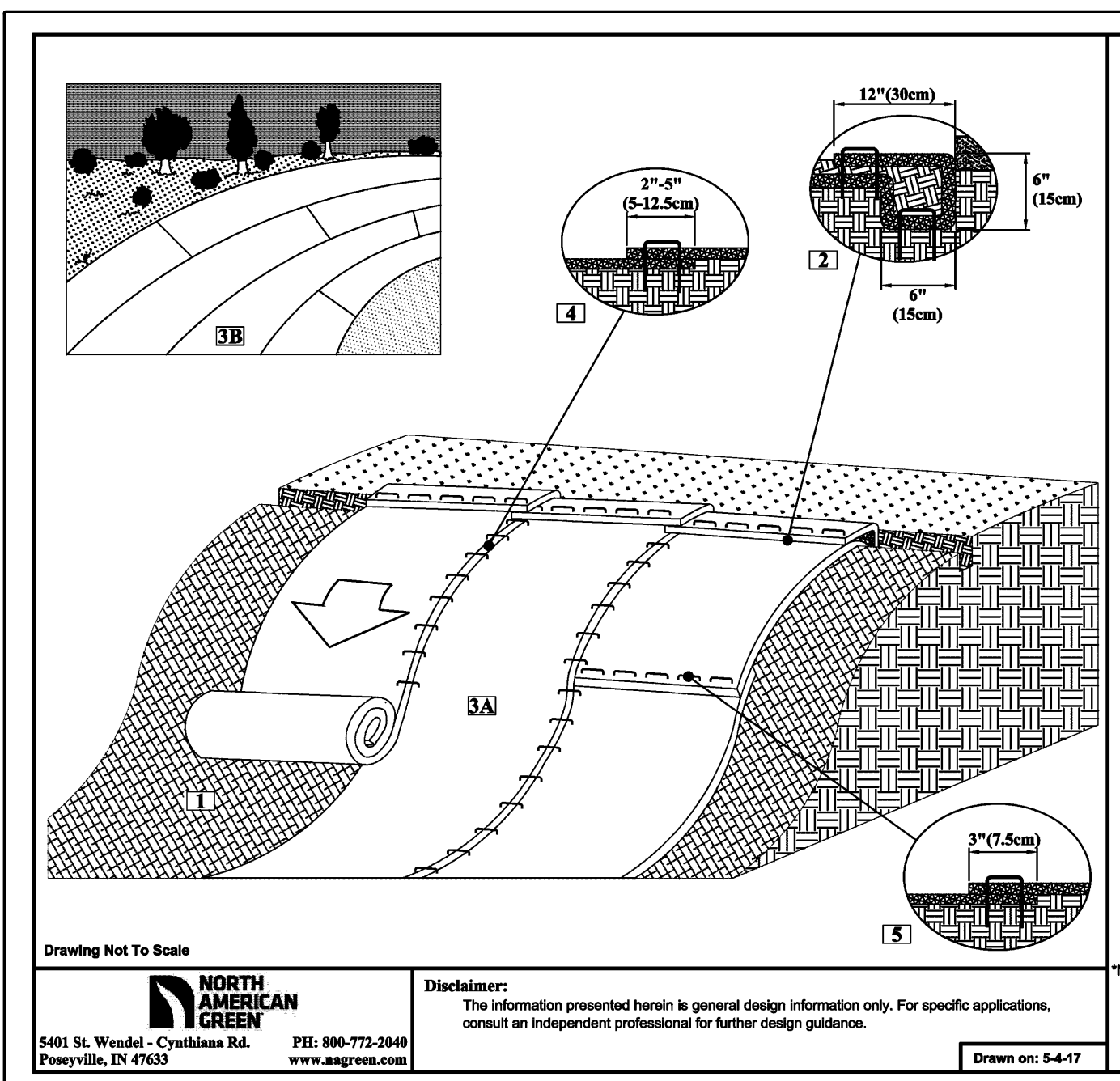
PLAN PREPARED FOR:

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTER COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
EROSION CONTROL PLAN - PHASE 2

| | |
|-----------------|---|
| Issue Dates: | 02/21/2025: SKETCH PLAN SUBMITTAL |
| | 04/25/2025: SITE CONSTRUCTION SUBMITTAL |
| | 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 |
| | 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 |
| Date: | 06/05/2025 |
| Scale: | 1" = 60' |
| Drawn By: | Checked By: |
| JLB | JDW |
| Project Number: | 22-0016-742 |
| Drawing Number: | C.7.1 |



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SLOPE INSTALLATION DETAIL

- Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the RECPs in a 6" (15cm) deep X 6" (15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/staples spaced approximately 12" (30cm) apart in the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12" (30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/staples spaced approximately 12" (30cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern guide.
- The edges of parallel RECPs must be stapled with approximately 2" (5-12.5cm) overlap, depending on the RECPs type.
- Consecutive RECPs applied down the slope must be end over end (Shingle style) with an approximate 5" (12.5cm) overlap. Staple through overlapped area, approximately 10" (25cm) apart across entire RECPs width.

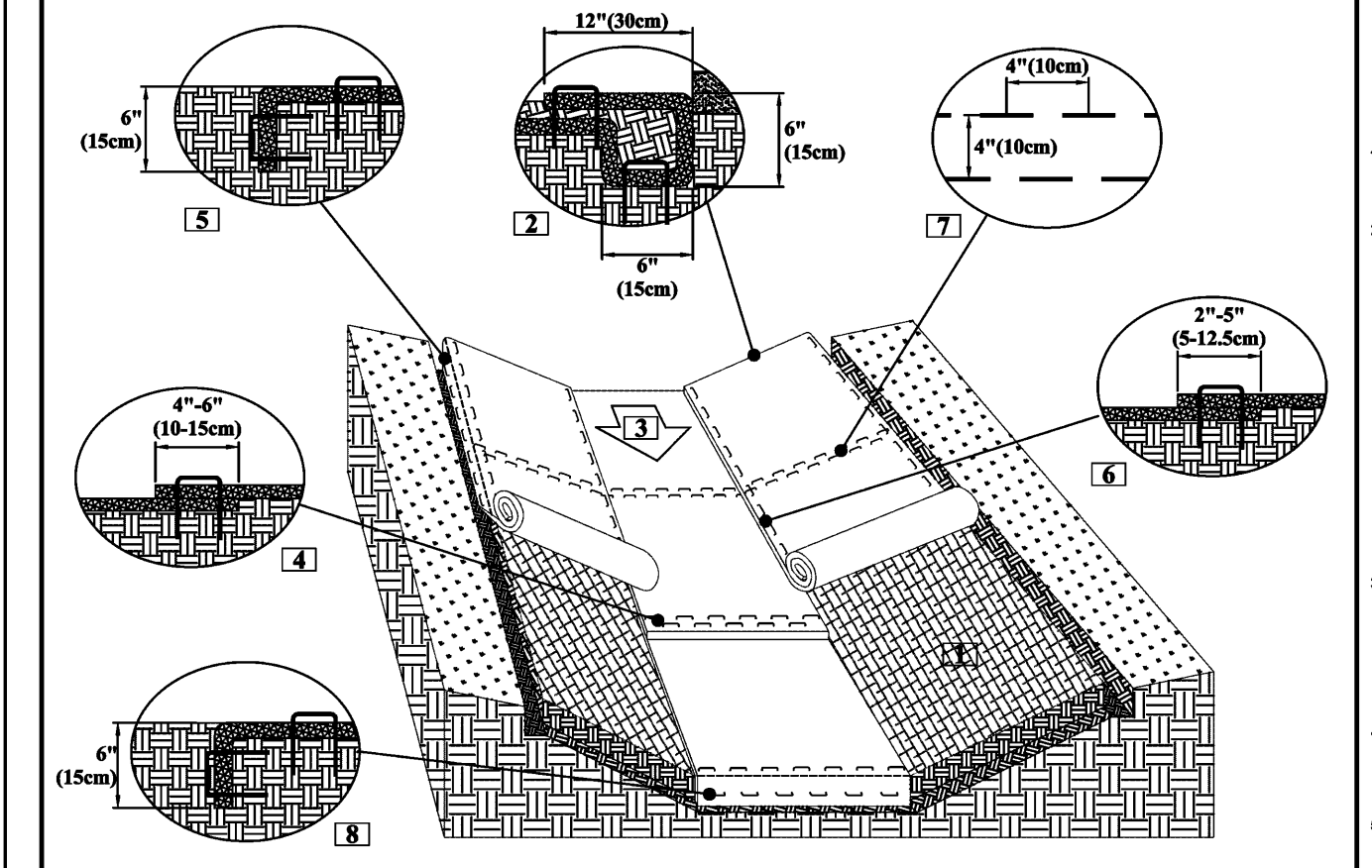
NOTE: In loose soil conditions, the use of staple or staple lengths greater than 6" (15cm) may be necessary to properly secure the RECPs.

Drawing Not To Scale

NORTH AMERICAN GREEN
5481 St. Wendel - Cavitts Rd.
Poseyville, IN 47632
TEL: 800-773-2044
www.nagreen.com

Disclaimer: The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 5-4-17



CHANNEL INSTALLATION DETAIL

- Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the channel by anchoring the RECPs in a 6" (15cm) deep X 6" (15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Use Shovelmate mat at the channel outlet as needed. Anchor the RECPs with a row of staples/staples spaced approximately 12" (30cm) apart in the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12" (30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/staples spaced approximately 12" (30cm) apart across the width of the RECPs.
- Roll center RECPs in direction of water flow in bottom of channel. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/staples in appropriate locations as shown in the staple pattern guide.
- Place consecutive RECPs side over end (Shingle style) with a 4"-6" (10-15cm) overlap. Use a double row of staples staggered 4" (10cm) apart and 4" (10cm) on center to secure RECPs.
- Full length edge of RECPs at top of side slopes must be anchored with a row of staples/staples spaced approximately 12" (30cm) apart in a 6" (15cm) deep X 6" (15cm) wide trench. Backfill and compact the trench after stapling.
- The width of the RECPs must be overlapped approximately 2" (5-12.5cm) depending on RECPs type and staked.
- For low channel applications a staple check slot is recommended at 30 to 40 feet (9-12m) intervals. Use a double row of staples staggered 6" (15cm) apart and 6" (15cm) on center over entire width of the channel.
- The width of the RECPs must be anchored with a row of staples/staples spaced approximately 12" (30cm) apart in a 6" (15cm) deep X 6" (15cm) wide trench. Backfill and compact the trench after stapling.

CRITICAL POINTS
A. Overlaps and Seams
B. Projected Water Line
C. Channel Bottom/Slope Vertices

NOTE: Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

****In loose soil conditions, the use of staple or staple lengths greater than 6" (15cm) may be necessary to properly secure the RECPs.**

Drawing Not To Scale

NORTH AMERICAN GREEN
5481 St. Wendel - Cavitts Rd.
Poseyville, IN 47632
TEL: 800-773-2044
www.nagreen.com

Disclaimer: The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 5-4-17

SEEDING SCHEDULE

PERMANENT SEEDING

| DATE | TYPE | PLANTING RATE |
|-------------------|-------------------|------------------|
| SEPT. 1 - MAY 1 | CENTPEDE | 5LBS/ACRE |
| FEB. 15 - APRIL 1 | INDIAN WOODDOTS* | 1.5-2.5 LBS/ACRE |
| FEB. 15 - APRIL 1 | VIRGINIA WLD RYE* | 4-6 LBS/ACRE |

*ADDITIONAL MIX WITH OTHER SPECIES, SEE TABLE 6.11.d FROM CHAPTER 6 OF THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DEC. 1 - APRIL 1 SWITCHGRASS* 2.5-3.5 LBS/ACRE
 DEC. 1 - APRIL 1 INDIAN GRASS* 5-7 LBS/ACRE
 SEPT. 1 - NOV. 1 INDIAN WOODDOTS* 1.5-2.5 LBS/ACRE
 SEPT. 1 - NOV. 1 VIRGINIA WLD RYE* 4-6 LBS/ACRE

*ADDITIONAL MIX WITH OTHER SPECIES, SEE TABLE 6.11.d FROM CHAPTER 6 OF THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

LIMING - APPLY ACCORDING TO SOIL TEST RECOMMENDATIONS. IF UNKNOWN, APPLY GROUND AGRICULTURAL LIMESTONE AT THE RATE OF 1-1.5 TONS/ACRE ON CORASE-TEXTURED SOILS AND 2-3 TONS/ACRE ON FINE TEXTURED SOILS.

FERTILIZER - BASE APPLICATIONS RATES ON SOIL TEST RECOMMENDATIONS. IF UNKNOWN, APPLY A 10-10-10 GRADE FERTILIZER AT 700-1,000 LBS/ACRE.

TEMPORARY SEEDING

| DATE | TYPE | PLANTING RATE |
|-------------------|--|---|
| DEC. 1 - APRIL 15 | RYE (GRAIN) ANNUAL LESPEDEZA (KOBE)* MULCH | 120 LBS/ACRE 50 LBS/ACRE 4,000 LBS/ACRE |

*OMIT LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE.
 -FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

APRIL 15 - AUG. 15 GERMAN MILLET 40 LBS/ACRE
 -FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

AUG. 15 - DEC. 30 RYE (GRAIN) 120 LBS/ACRE
 -FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.
 -TOP DRESS WITH 50 LBS/ACRE OF NITROGEN IN MARCH.
 -IF EXTENDING TEMPORARY COVER BEYOND JUNE 15, OVERSEE WITH 50 LBS/ACRE KOBE IN LATE FEBRUARY EARLY MARCH.

ADDITIONAL SEEDING STANDARDS

- FOR AN AREA OF LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICABLE, BUT IN NO CASE LATER THAN SEVEN DAYS AFTER COMPLETION OF GRADING. FOR AN AREA OF LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE NOT BEEN COMPLETED, TEMPORARY GROUND COVER SHALL BE PROVIDED AS FOLLOWS:
 - FOR AN AREA WITH NO SLOPE, TEMPORARY GROUND COVER SHALL BE PROVIDED FOR THE AREA IF IT HAS NOT BEEN DISTURBED FOR A PERIOD OF 14 DAYS.
 - FOR AN AREA OF MODERATE SLOPE, TEMPORARY GROUND COVER SHALL BE PROVIDED FOR THE AREA IF IT HAS NOT BEEN DISTURBED FOR A PERIOD OF 10 DAYS. FOR PURPOSES OF THIS SUBDIVISION, "MODERATE SLOPE" MEANS AN INCLINED AREA, THE INCLINATION OF WHICH IS LESS THAN OR EQUAL TO THREE UNITS OF HORIZONTAL DISTANCE TO ONE UNIT OF VERTICAL DISTANCE.
 - FOR AN AREA OF STEEP SLOPE, TEMPORARY GROUND COVER SHALL BE PROVIDED FOR THE AREA IF IT HAS NOT BEEN DISTURBED FOR A PERIOD OF SEVEN DAYS. FOR PURPOSES OF THIS SUBDIVISION, "STEEP SLOPE" MEANS AN INCLINED AREA, THE INCLINATION OF WHICH IS GREATER THAN THREE UNITS OF HORIZONTAL DISTANCE TO ONE UNIT OF VERTICAL DISTANCE.

STABILIZATION TIMEFRAMES

| SITE AREA DESCRIPTION | STABILIZATION | TIMEFRAME EXCEPTIONS |
|---|---------------|--|
| Perimeter dikes, swales, ditches, slopes | 7 days | None |
| High Quality Water (HQW) Zones | 7 days | None |
| Slopes steeper than 3:1 | 7 days | If slopes are 10 FT or less in length and are not steeper than 2:1, 14 days are allowed. |
| Slopes 3:1 or flatter | 14 days | 7 days for slopes greater than 50 FT in length. |
| All other areas (slopes flatter than 4:1) | 14 days | None, except for perimeters and HQW Zones. |

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCGO1 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO1 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

| Site Area Description | Stabilize within this many calendar days after ceasing land disturbance | Timeframe variations |
|--|---|--|
| (a) Perimeter dikes, swales, ditches, and perimeter slopes | 7 | None |
| (b) High Quality Water (HQW) Zones | 7 | None |
| (c) Slopes steeper than 3:1 | 7 | If slopes are 10' or less in length and are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed |
| (d) Slopes 3:1 to 4:1 | 14 | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones unless there is zero slope |
| (e) Areas with slopes flatter than 4:1 | 14 | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones unless there is zero slope |

NOTE: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

| Temporary Stabilization | Permanent Stabilization |
|---|---|
| <ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rollered erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting | <ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabric such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rollered erosion control products with grass seed |

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the **NC DWR List of Approved PAMS/Flocculants**.
 - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 - Apply flocculants at the concentrations specified in the **NC DWR List of Approved PAMS/Flocculants** and in accordance with the manufacturer's instructions.
 - Provide ponding area for containment of treated Stormwater before discharging off-site.
 - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
 - Provide drip pans under any stored equipment.
 - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
 - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
 - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
 - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
 - Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
 - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
 - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
 - Anchor all lightweight items in waste containers during times of high winds.
 - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
 - Dispose waste off-site at an approved disposal facility.
 - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
 - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Contain liquid wastes in a control area and place appropriately for the needs of site.
 - Containment must be labeled, sited and placed appropriately for the needs of site.
 - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
 - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
 - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
 - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
 - Provide stable stone access point when feasible.
 - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on undisturbed soils for temporary or permanent control needs.



NCGO1 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

| Inspect | Frequency (during normal business hours) | Inspection records must include: |
|--|--|---|
| (1) Rain gauge maintained in good working order | Daily | Daily rainfall amounts; If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (are this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-measuring device approved by the Division. |
| (2) E&S Measures | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | 1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indicator of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective actions taken. |
| (3) Stormwater outfalls (SDCs) | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | 1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken. |
| (4) Perimeter of site | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to stop or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases. |
| (5) Streams or wetlands onsite or offsite (where applicable) | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(i) of this permit. |
| (6) Ground stabilization measures | After each phase of grading | 1. The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible. |

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours:

| Item to Document | Documentation Requirements |
|---|---|
| (a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan. | Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation. |
| (b) A phase of grading has been completed. | Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase. |
| (c) Ground cover is located and installed in accordance with the approved E&S plan. | Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications. |
| (d) The maintenance and repair requirements for all E&S measures have been performed. | Complete, date and sign an inspection report. |
| (e) Corrective actions have been taken to E&S measures. | Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action. |

2. Additional Documentation to be Kept on Site

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the E&S plan and all inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.41)

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

| Occurrence | Reporting Timeframes (After Discovery) and Other Requirements |
|--|--|
| (a) Visible sediment deposition in a stream or wetland | <ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. |
| (b) Oil spills and release of hazardous substances per item 1(b)-(c) above | <ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. |
| (c) Anticipated bypasses (40 CFR 122.41(m)(3)) | <ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass. |
| (d) Unanticipated bypasses (40 CFR 122.41(m)(3)) | <ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. |
| (e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(i)(7)) | <ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(i)(8)). Division staff may waive the requirement for a written report on a case-by-case basis. |



NCGO1 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

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PLAN PREPARED BY: FIRM # C-2796

51 Kilmayne Drive Suite 102 Cary, North Carolina 27511 ph 919.481.6290 fax 919.336.5127

ADVANCED CIVIL DESIGN ENGINEERS & ARCHITECTS

PLAN PREPARED FOR: SITE CONSTRUCTION PLANS TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA ENCLAVE AT BEAUFORT CLUB FOR DEWITT CAROLINAS EROSION CONTROL DETAILS

Issue Dates: 02/21/2025: SKETCH PLAN SUBMITTAL 04/25/2025: SITE CONSTRUCTION SUBMITTAL 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3

Date: 06/05/2025 Scale: NO SCALE

Drawn By: Checked By: JLB JDW

Project Number: 22-0016-742

Drawing Number: C.7.3

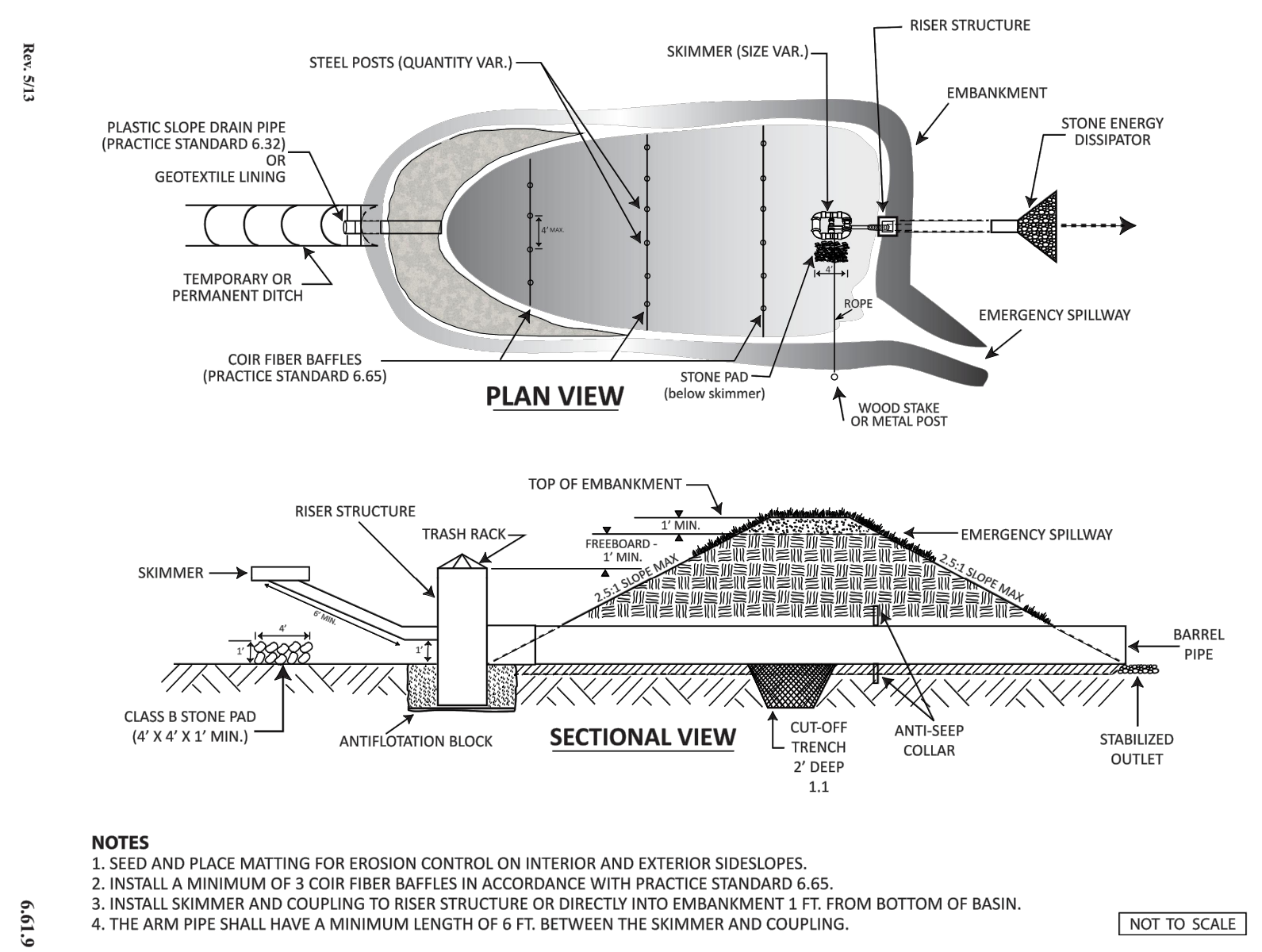
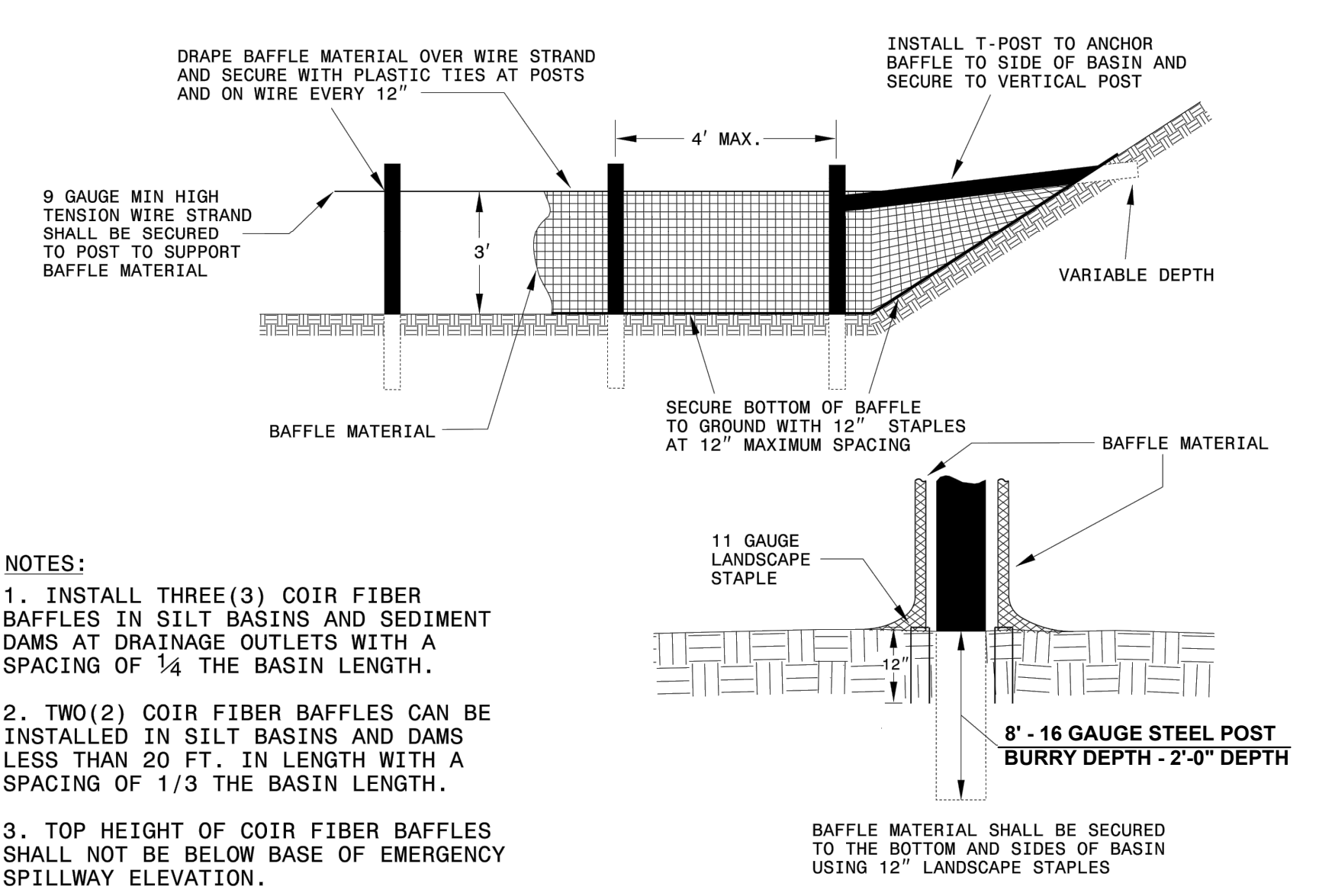


Figure 6.1d Sediment Basin (with Riser Barrel Pipe)

- NOTES**
- SEED AND PLACE MATTING FOR EROSION CONTROL ON INTERIOR AND EXTERIOR SIDESLOPES.
 - INSTALL A MINIMUM OF 3 COIR FIBER BAFFLES IN ACCORDANCE WITH PRACTICE STANDARD 6.65.
 - INSTALL SKIMMER AND COUPLING TO RISER STRUCTURE OR DIRECTLY INTO EMBANKMENT 1 FT. FROM BOTTOM OF BASIN.
 - THE ARM PIPE SHALL HAVE A MINIMUM LENGTH OF 6 FT. BETWEEN THE SKIMMER AND COUPLING.

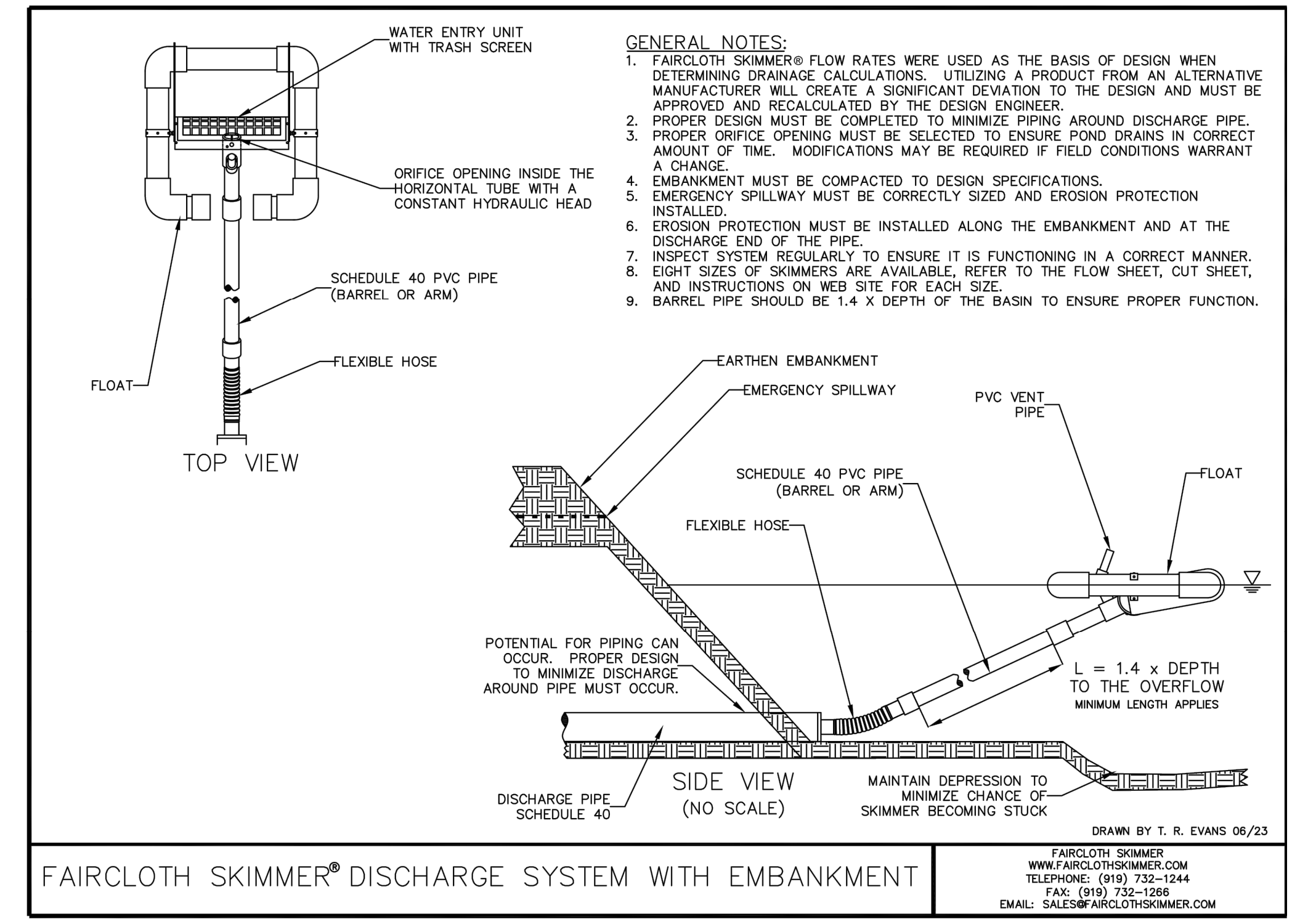
NOT TO SCALE



- NOTES:**
- INSTALL THREE(3) COIR FIBER BAFFLES IN SILT BASINS AND SEDIMENT DAMS AT DRAINAGE OUTLETS WITH A SPACING OF 1/4 THE BASIN LENGTH.
 - TWO(2) COIR FIBER BAFFLES CAN BE INSTALLED IN SILT BASINS AND DAMS LESS THAN 20 FT. IN LENGTH WITH A SPACING OF 1/3 THE BASIN LENGTH.
 - TOP HEIGHT OF COIR FIBER BAFFLES SHALL NOT BE BELOW BASE OF EMERGENCY SPILLWAY ELEVATION.

COIR FIBER BAFFLE DETAIL

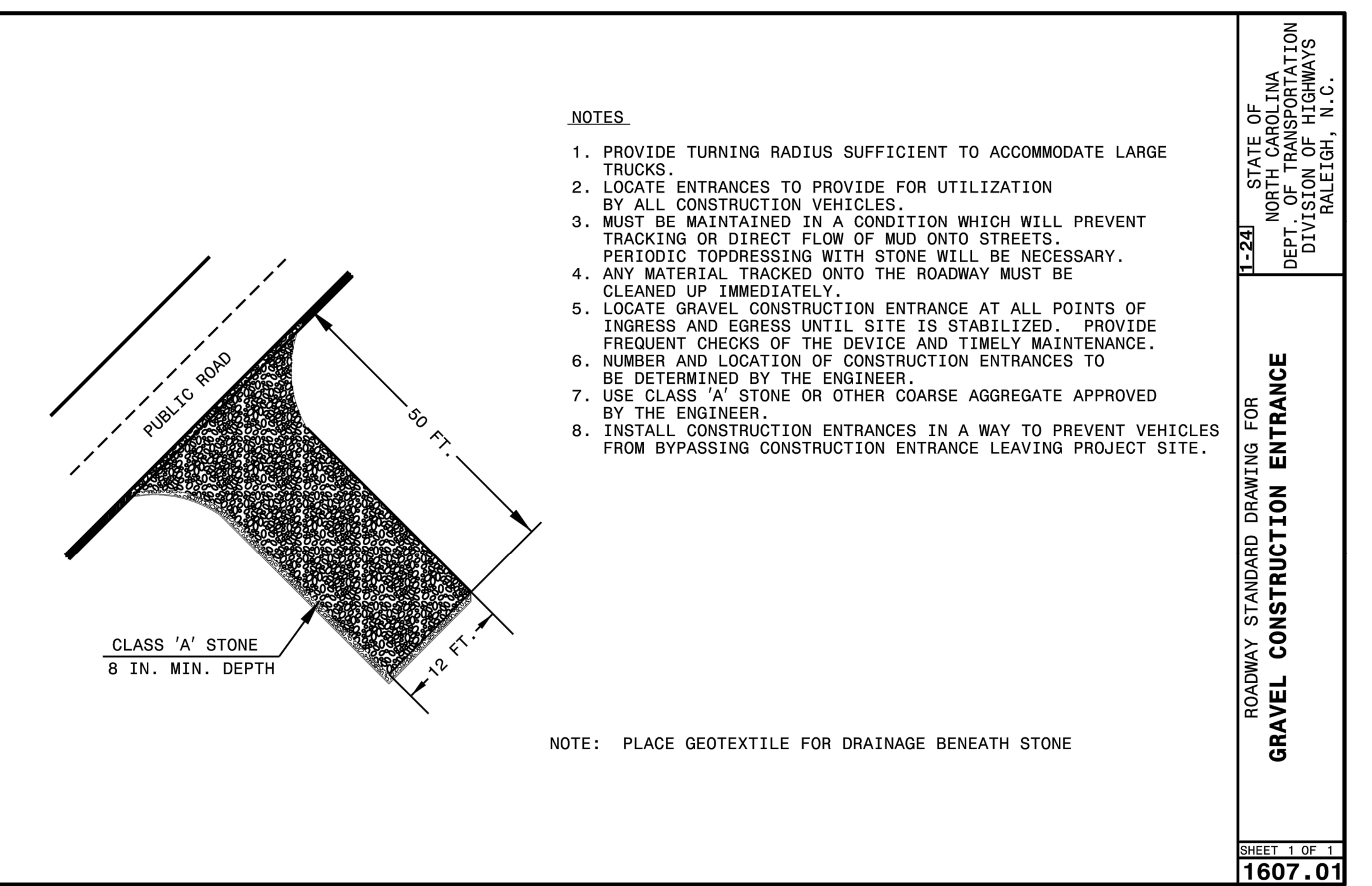
NO SCALE



- GENERAL NOTES:**
- FAIRCLOTH SKIMMER® FLOW RATES WERE USED AS THE BASIS OF DESIGN WHEN DETERMINING DRAINAGE CALCULATIONS. UTILIZING A PRODUCT FROM AN ALTERNATIVE MANUFACTURER WILL CREATE A SIGNIFICANT DEVIATION TO THE DESIGN AND MUST BE APPROVED AND RECALCULATED BY THE DESIGN ENGINEER.
 - PROPER DESIGN MUST BE COMPLETED TO MINIMIZE PIPING AROUND DISCHARGE PIPE.
 - PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
 - EMBANKMENT MUST BE COMPACTED TO DESIGN SPECIFICATIONS.
 - EMERGENCY SPILLWAY MUST BE CORRECTLY SIZED AND EROSION PROTECTION INSTALLED.
 - EROSION PROTECTION MUST BE INSTALLED ALONG THE EMBANKMENT AND AT THE DISCHARGE END OF THE PIPE.
 - INSPECT SYSTEM REGULARLY TO ENSURE IT IS FUNCTIONING IN A CORRECT MANNER.
 - EIGHT SIZES OF SKIMMERS ARE AVAILABLE, REFER TO THE FLOW SHEET, CUT SHEET, AND INSTRUCTIONS ON WEB SITE FOR EACH SIZE.
 - BARREL PIPE SHOULD BE 1.4 X DEPTH OF THE BASIN TO ENSURE PROPER FUNCTION.

FAIRCLOTH SKIMMER® DISCHARGE SYSTEM WITH EMBANKMENT

FAIRCLOTH SKIMMER
WWW.FAIRCLOTHSKIMMER.COM
TELEPHONE: (919) 732-1244
FAX: (919) 732-1266
EMAIL: SALES@FAIRCLOTHSKIMMER.COM



- NOTES**
- PROVIDE TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS.
 - LOCATE ENTRANCES TO PROVIDE FOR UTILIZATION BY ALL CONSTRUCTION VEHICLES.
 - MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY.
 - ANY MATERIAL TRACKED ONTO THE ROADWAY MUST BE CLEANED UP IMMEDIATELY.
 - LOCATE GRAVEL CONSTRUCTION ENTRANCE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED. PROVIDE FREQUENT CHECKS OF THE DEVICE FOR TIMELY MAINTENANCE.
 - NUMBER AND LOCATION OF CONSTRUCTION ENTRANCES TO BE DETERMINED BY THE ENGINEER.
 - USE CLASS 'A' STONE OR OTHER COARSE AGGREGATE APPROVED BY THE ENGINEER.
 - INSTALL CONSTRUCTION ENTRANCES IN A WAY TO PREVENT VEHICLES FROM BYPASSING CONSTRUCTION ENTRANCE LEAVING PROJECT SITE.

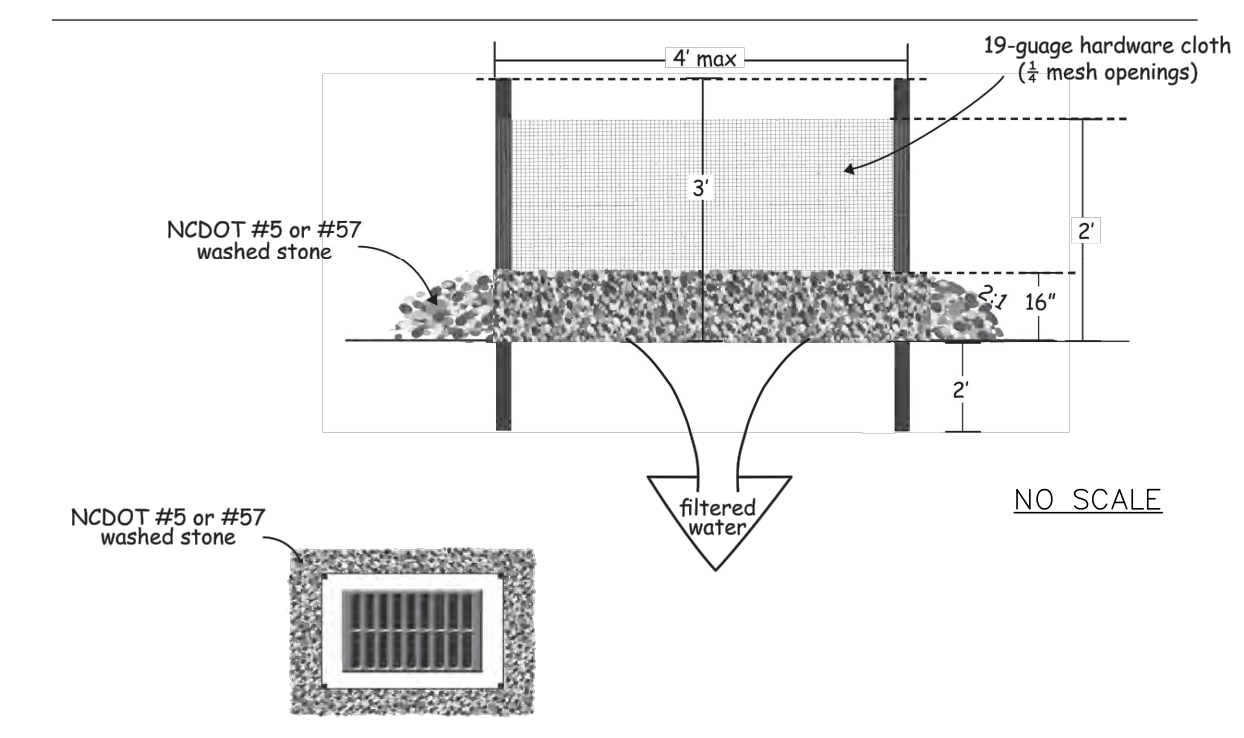


Figure 6.51a Hardware cloth and gravel inlet protection

- Construction Specifications**
- Uniformly grade a shallow depression approaching the inlet.
 - Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
 - Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Placing a 2-foot flap of the wire mesh under the gravel for anchoring is recommended.
 - Place clean gravel (NCDOT #57 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
 - Once the contributing drainage area has been stabilized, remove accumulated sediment, and establish final grading elevations.
 - Compact the area properly and stabilize it with groundcover.

Maintenance
Inspect inlets at least weekly and after each significant (1/2 inch or greater) rainfall event. Clear the mesh wire of any debris or other objects to provide adequate flow for subsequent rains. Take care not to damage or undercut the wire mesh during sediment removal. Replace stone as needed.

References
Inlet Protection
6.52, Block and Gravel Inlet Protection
6.54, Rock Doughnut Inlet Protection
North Carolina Department of Transportation
Standard Specifications for Roads and Structures

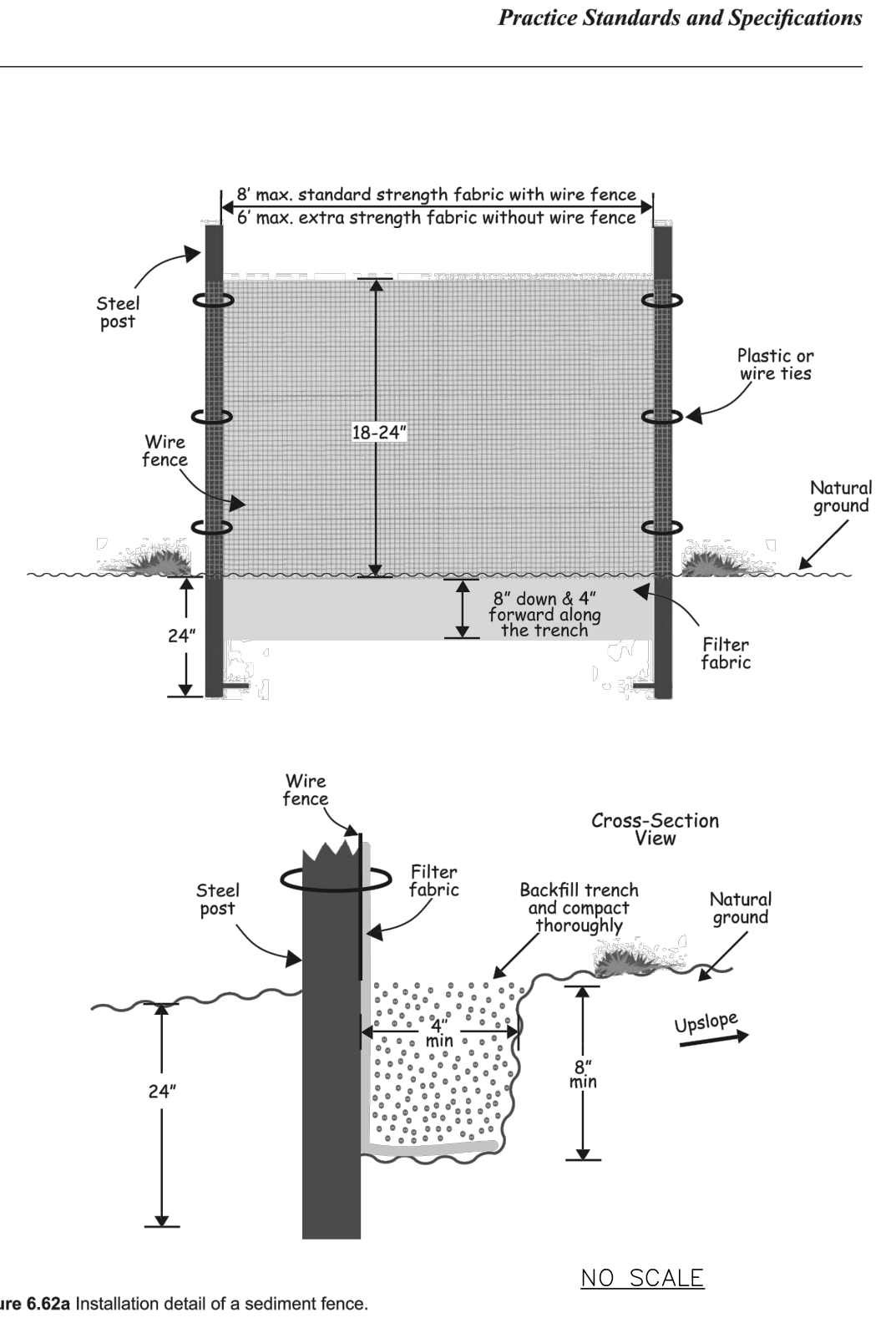


Figure 6.62a Installation detail of a sediment fence.

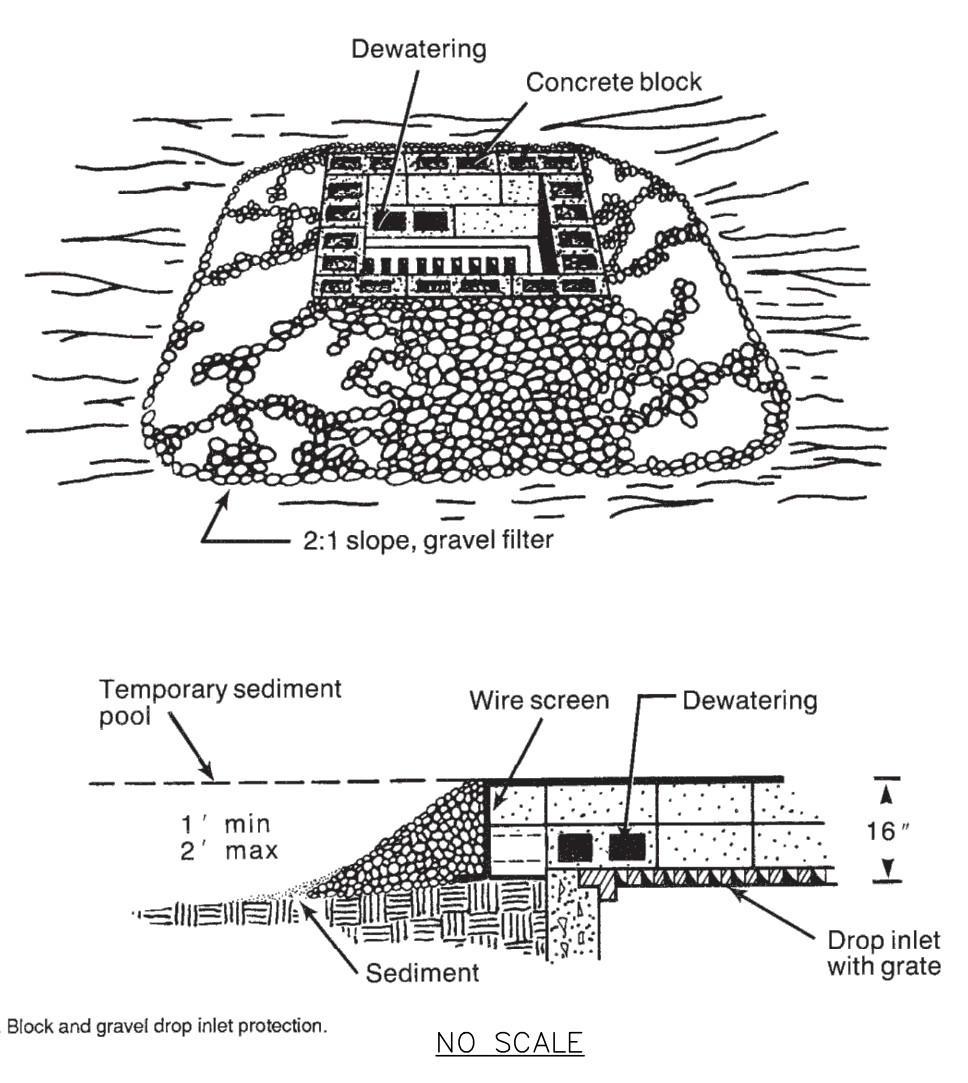
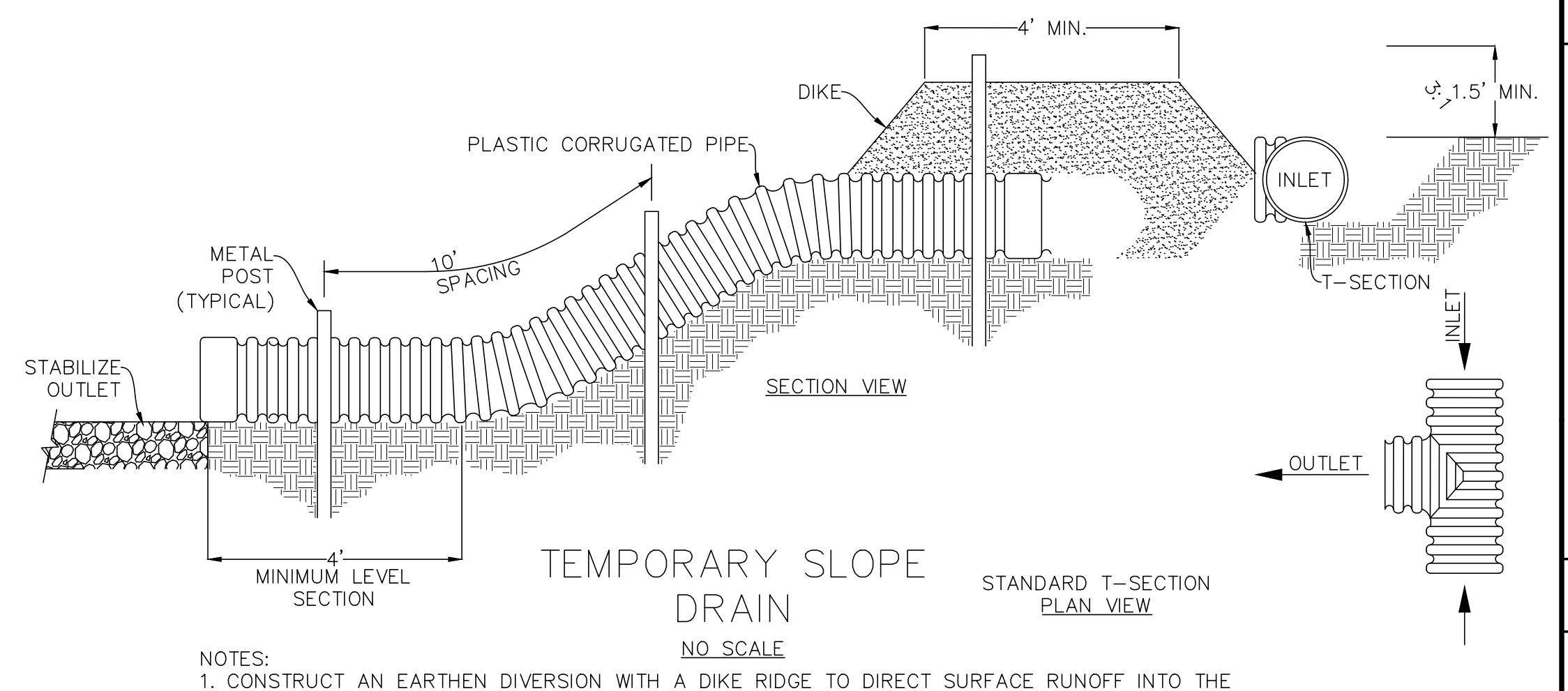


Figure 6.52a Block and gravel drop inlet protection.

- Construction Specifications**
- Lay one block on each side of the structure on its side in the bottom row to allow pool drainage. The foundation should be excavated at least 2 inches below the crest of the storm drain. Place the bottom row of blocks against the edge of the storm drain for lateral support and to avoid washouts when overflow occurs. If needed, give lateral support to subsequent rows by placing 2 x 4 wood studs through block openings.
 - Carefully fit hardware cloth or comparable wire mesh with 1/2-inch openings over all block openings to hold gravel in place.
 - Use clean gravel, 3/4- to 1/2-inch in diameter, placed 2 inches below the top of the block on a 2:1 slope or flatter and smooth it to an even grade. DOT #57 washed stone is recommended.



- NOTES:**
- CONSTRUCT AN EARTHEN DIVERSION WITH A DIKE RIDGE TO DIRECT SURFACE RUNOFF INTO THE TEMPORARY SLOPE DRAIN.
 - MAKE THE HEIGHT OF THE RIDGE OVER THE DRAIN CONDUIT A MINIMUM OF 1.5 FEET AND AT LEAST 6 INCHES HIGHER THAN THE ADJOINING RIDGE ON EITHER SIDE.
 - THE LOWEST POINT OF THE DIVERSION RIDGE SHOULD BE A MINIMUM OF 1 FOOT ABOVE THE TOP OF THE DRAIN TO ALLOW THE DESIGN FLOW TO FREELY ENTER THE PIPE.
 - PROTECT THE OUTLET OF THE SLOPE DRAIN FROM EROSION.
 - MINIMUM PIPE DIAMETER = 10-INCH PIPE

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ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR: **carolinass dewitt**

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
SEAL
06/05/2025
KIMBERLY D. WHITMAN
REGISTERED PROFESSIONAL ENGINEER

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTER COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
EROSION CONTROL DETAILS

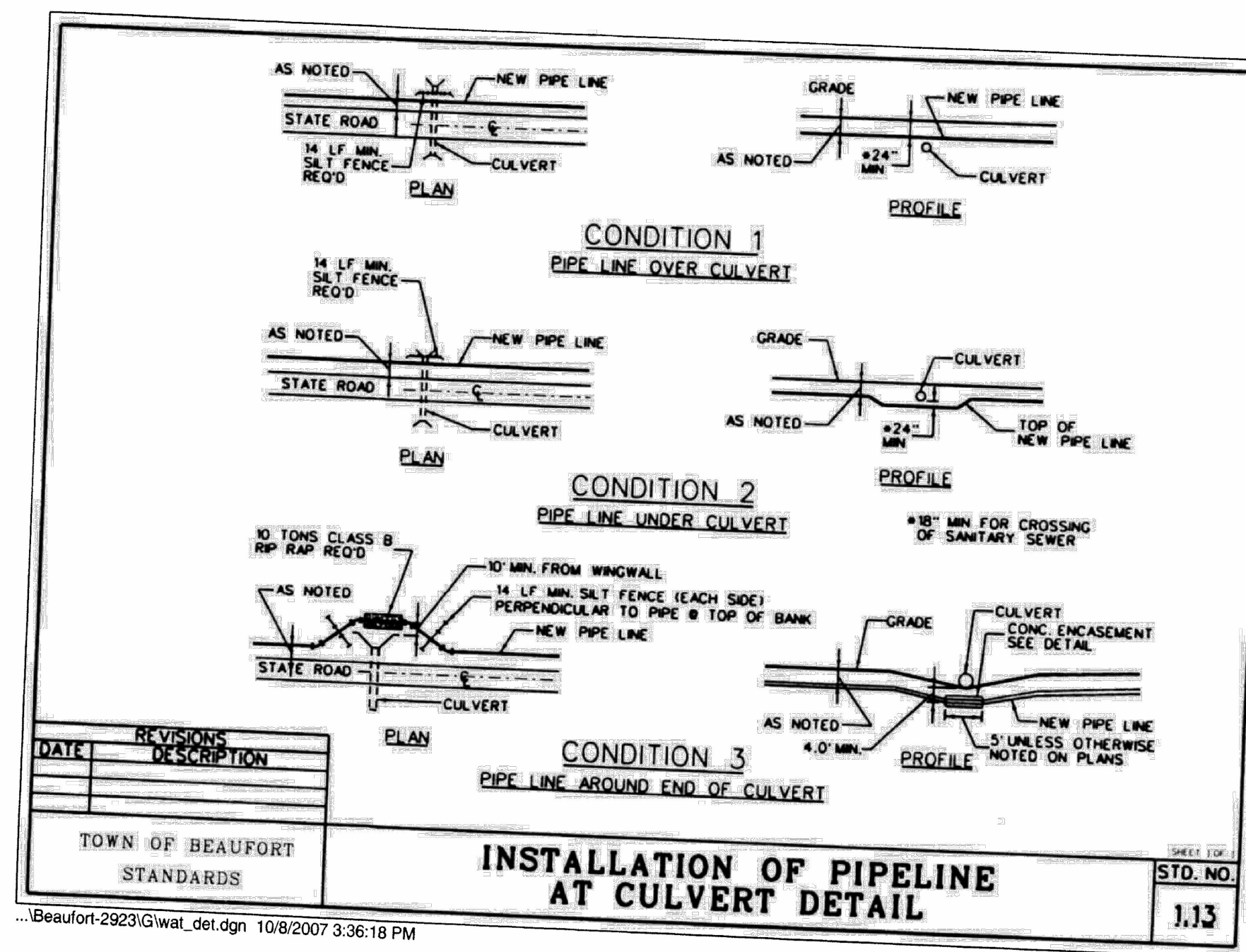
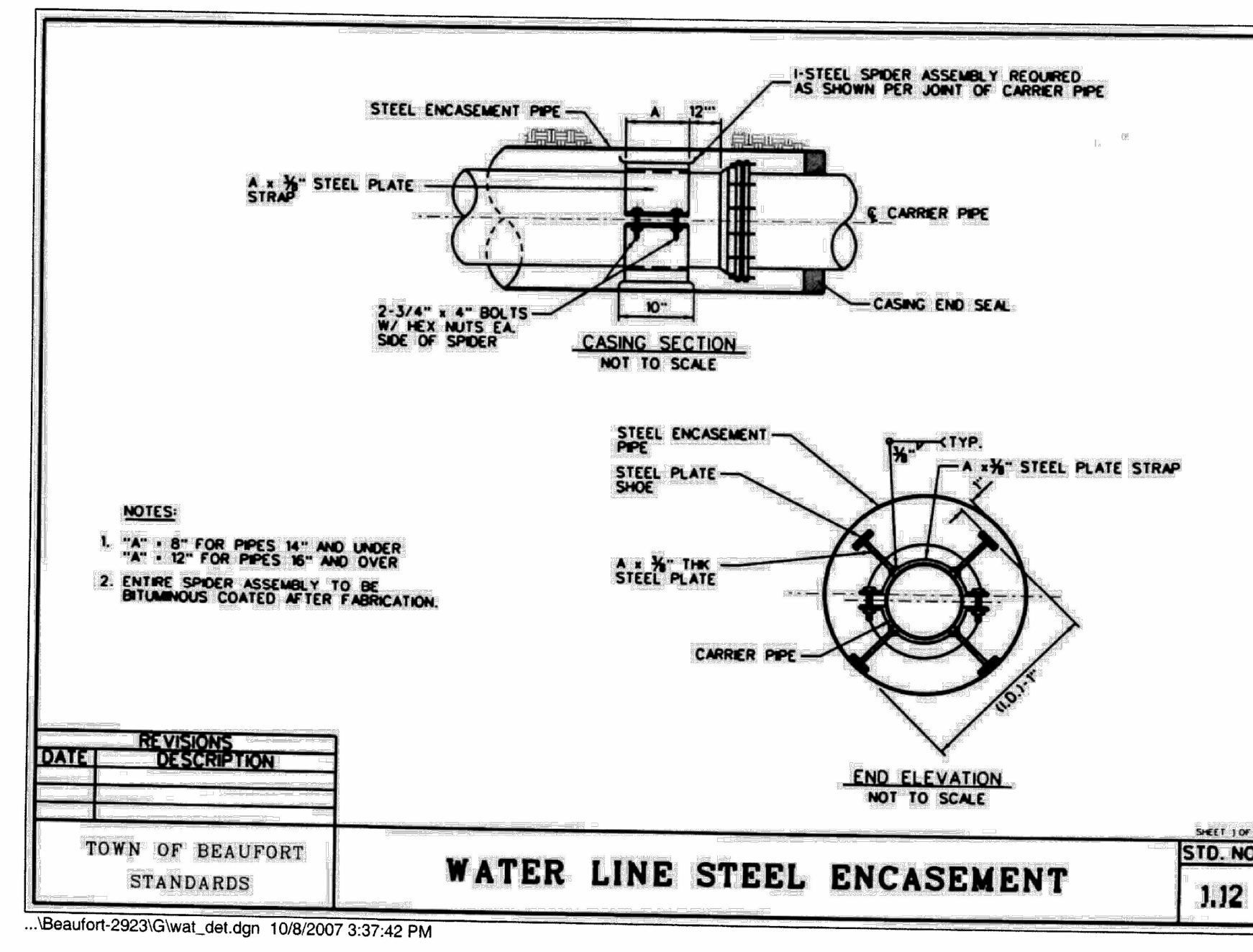
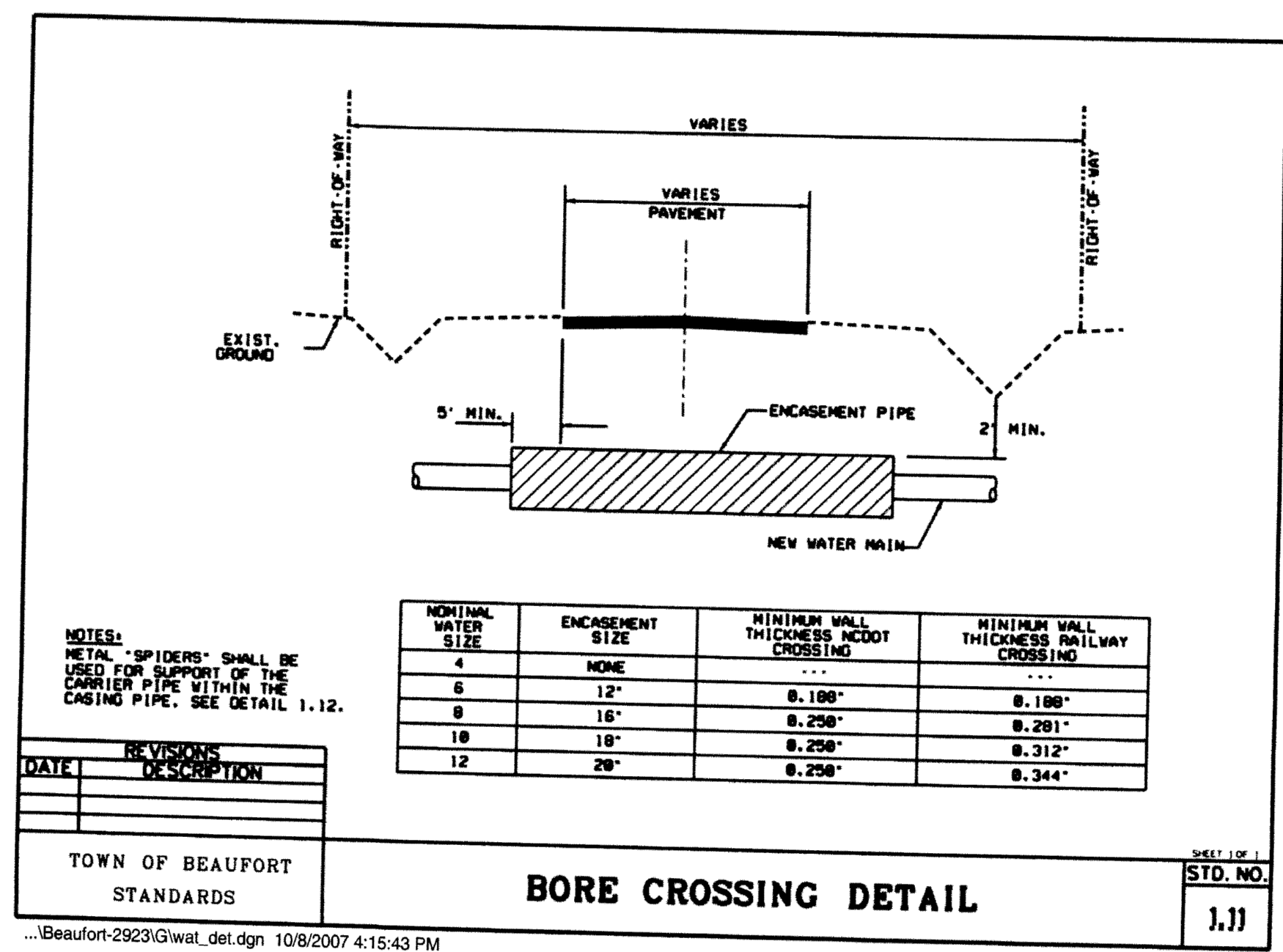
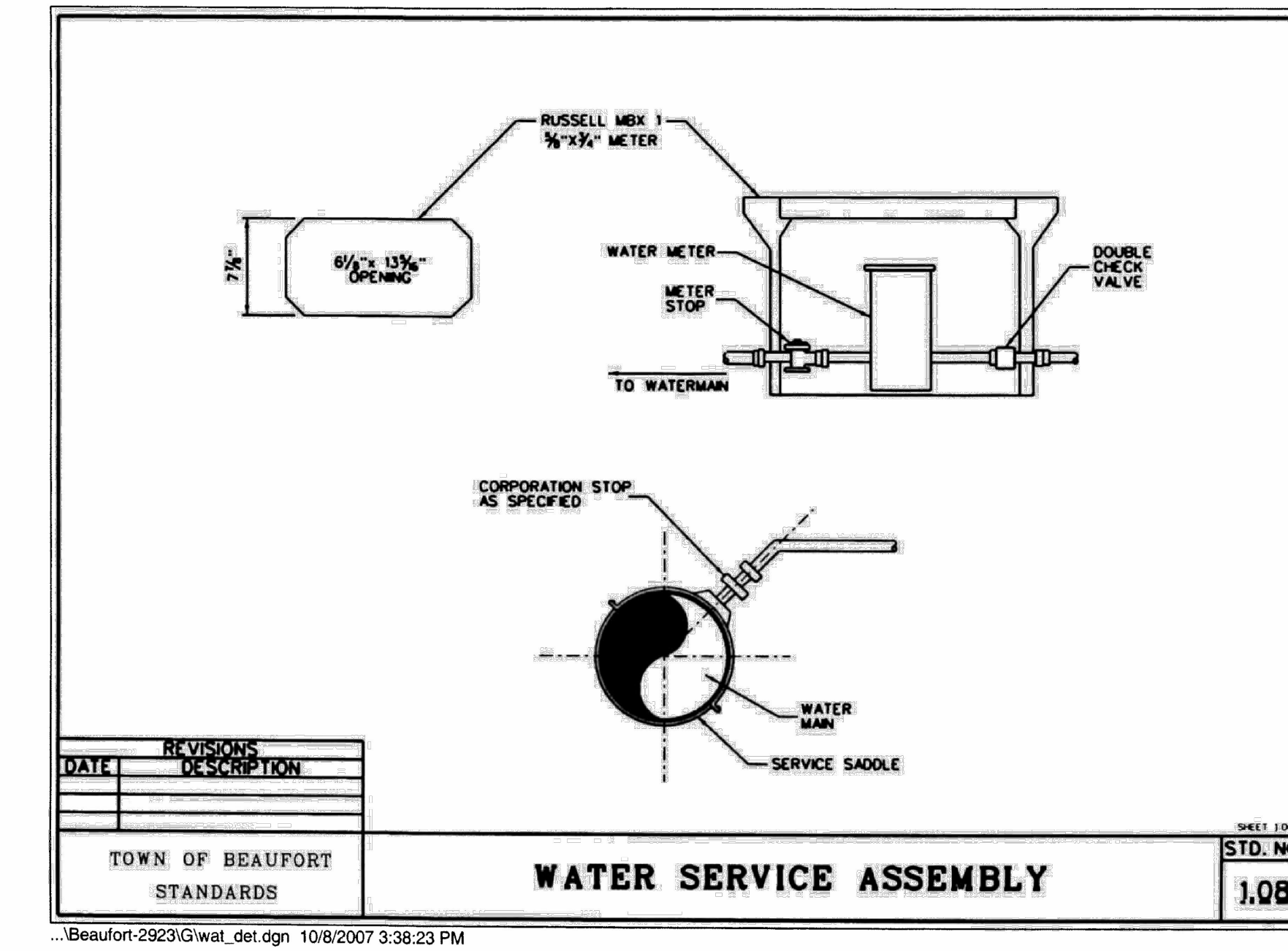
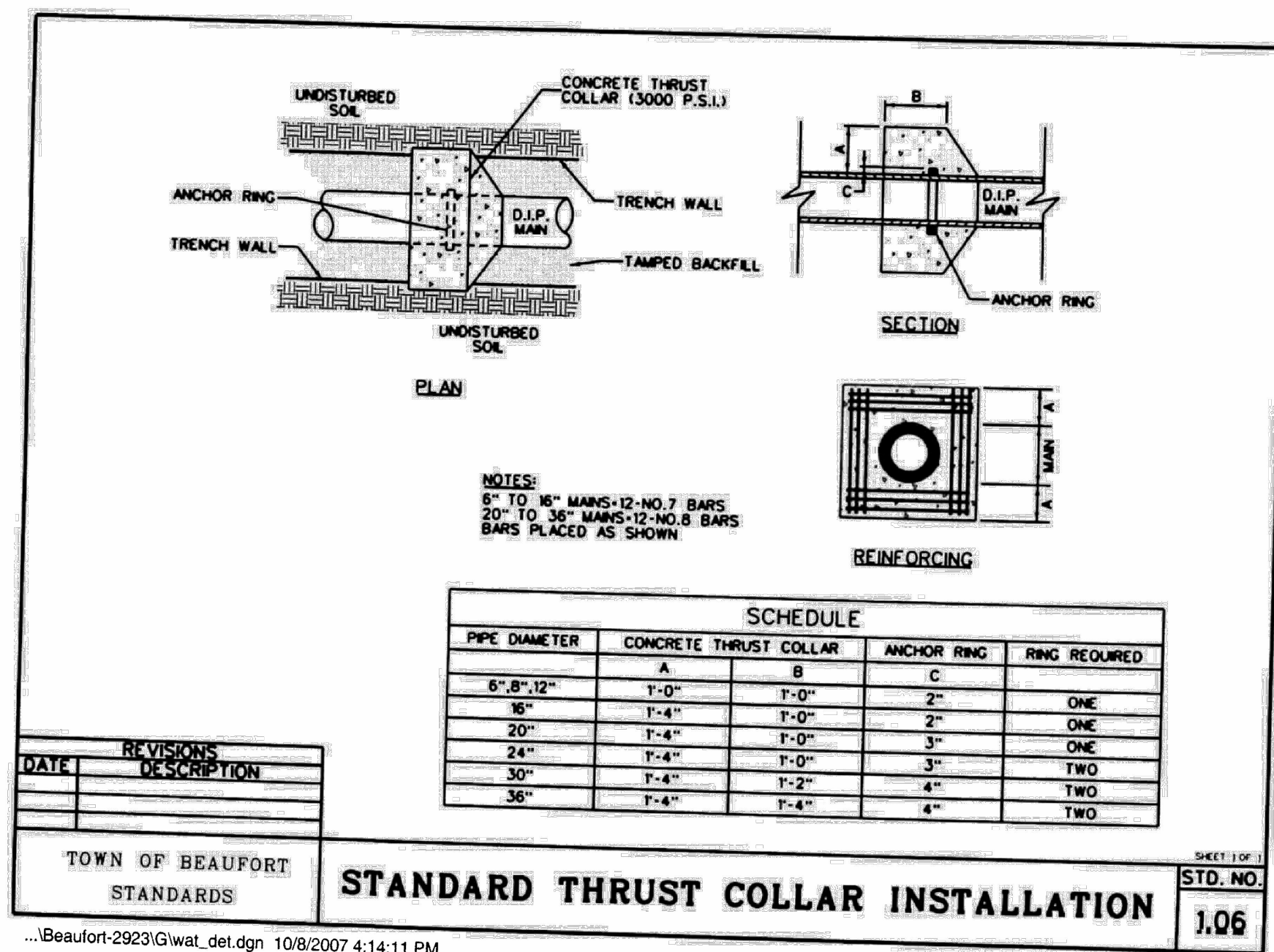
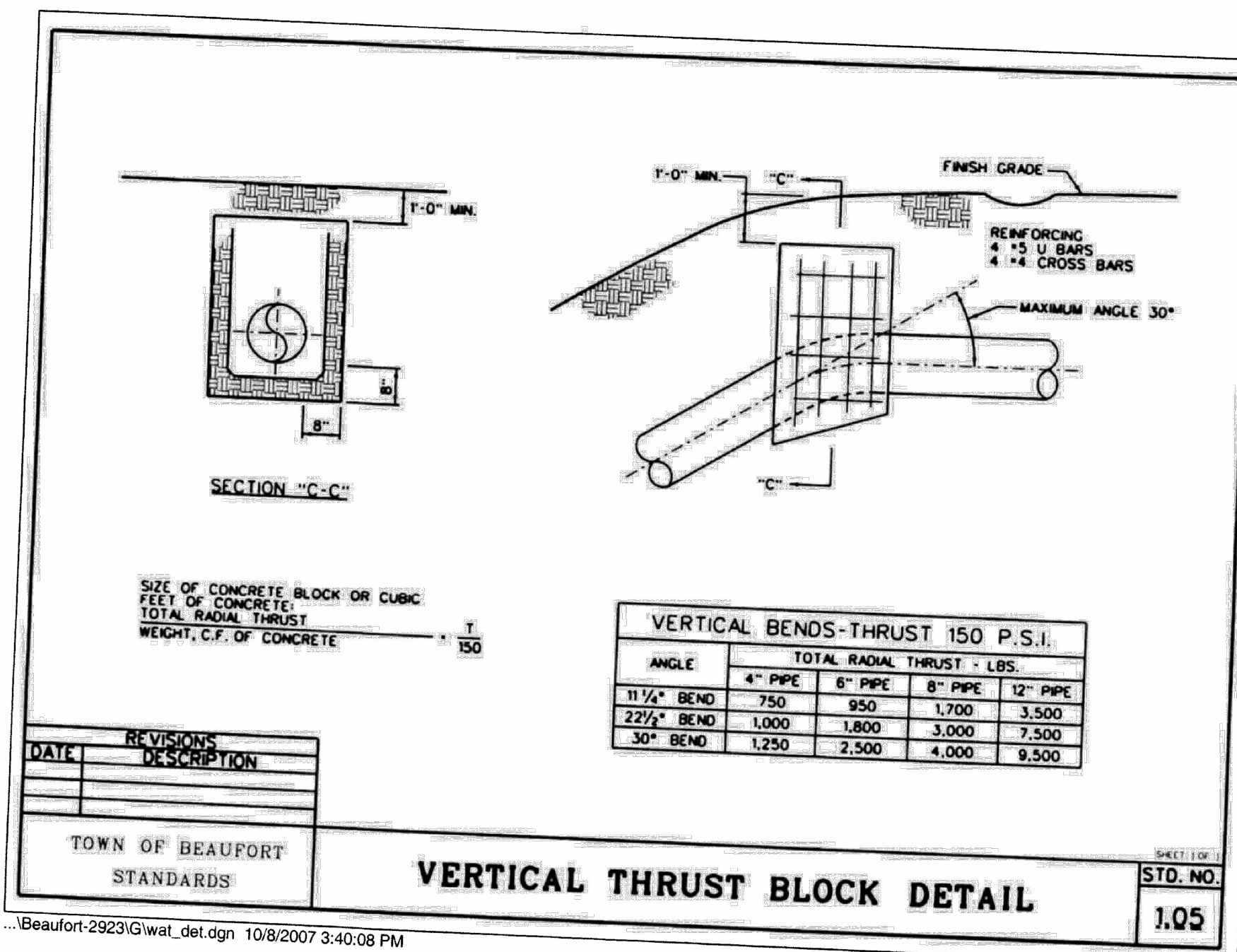
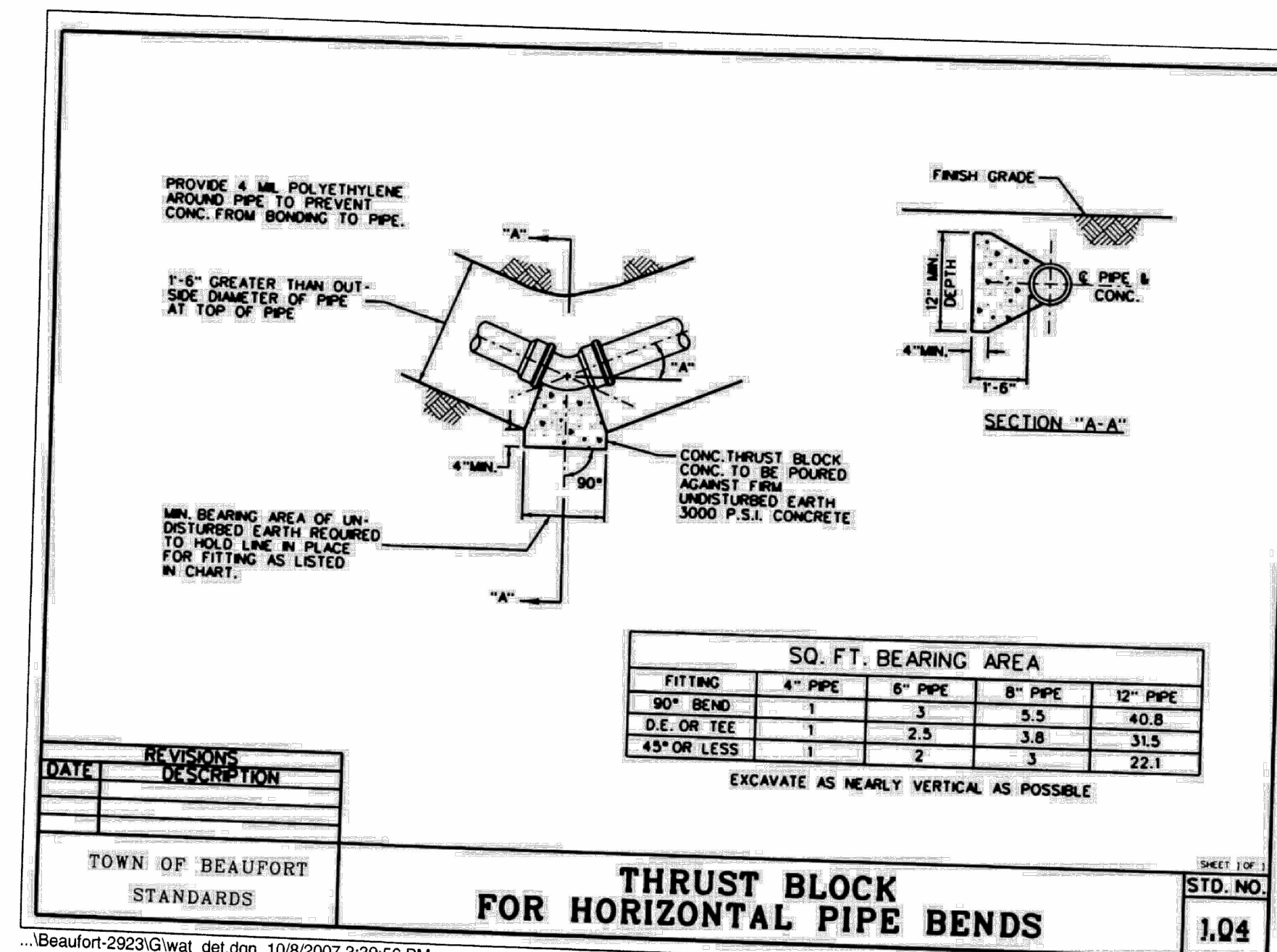
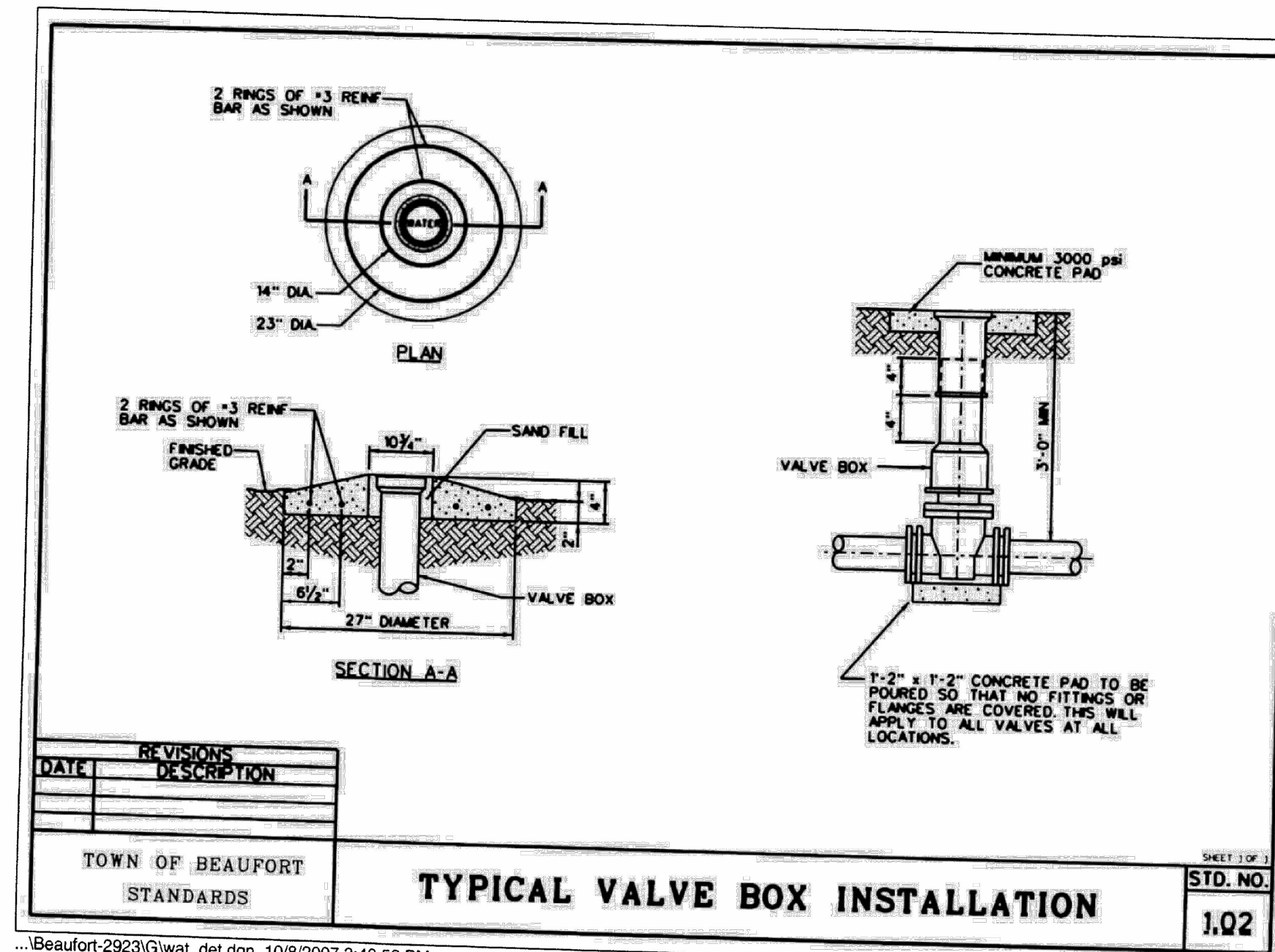
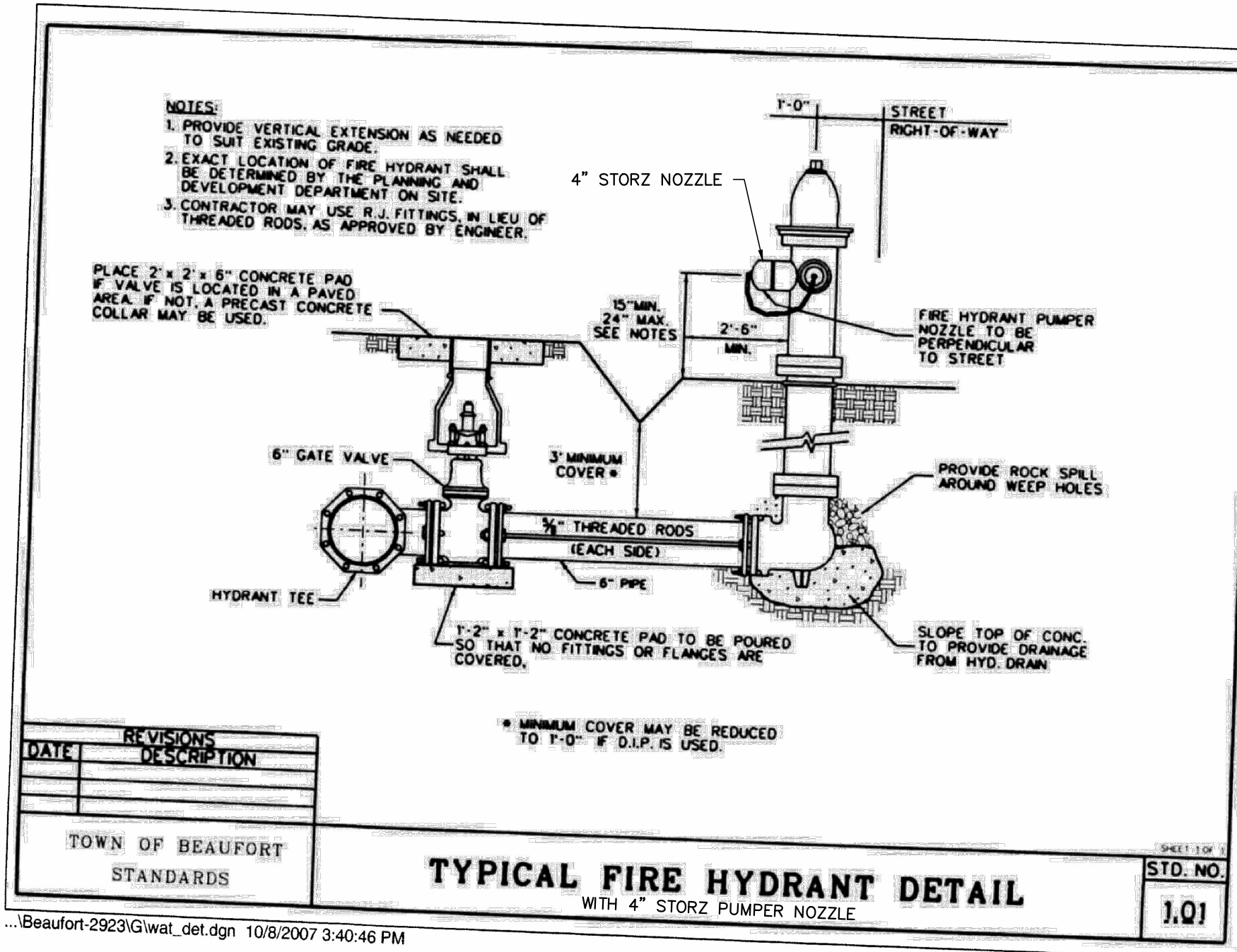
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04/25/2025: SITE CONSTRUCTION SUBMITTAL
05/09/2025: SITE CONSTRUCTION SUBMITTAL 2
06/05/2025: SITE CONSTRUCTION SUBMITTAL 3

Date: 06/05/2025
Scale: NO SCALE

Drawn By: JLB Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.7.4



PLAN PREPARED BY:
FIRM # C-2796

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ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
carolinass dewitt

SEAL
06/05/2025
KIM D. WHITAKER
REGISTERED PROFESSIONAL ENGINEER
NORTH CAROLINA

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
STANDARD DETAILS

Issue Dates:
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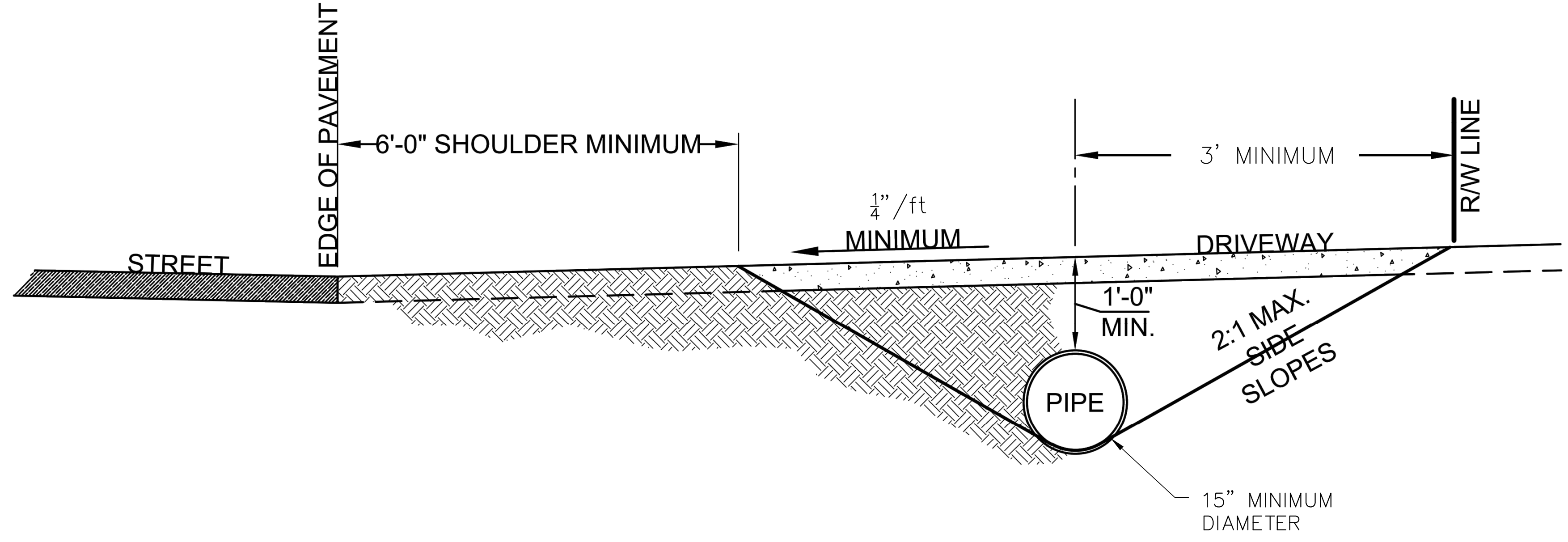
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Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.8.0

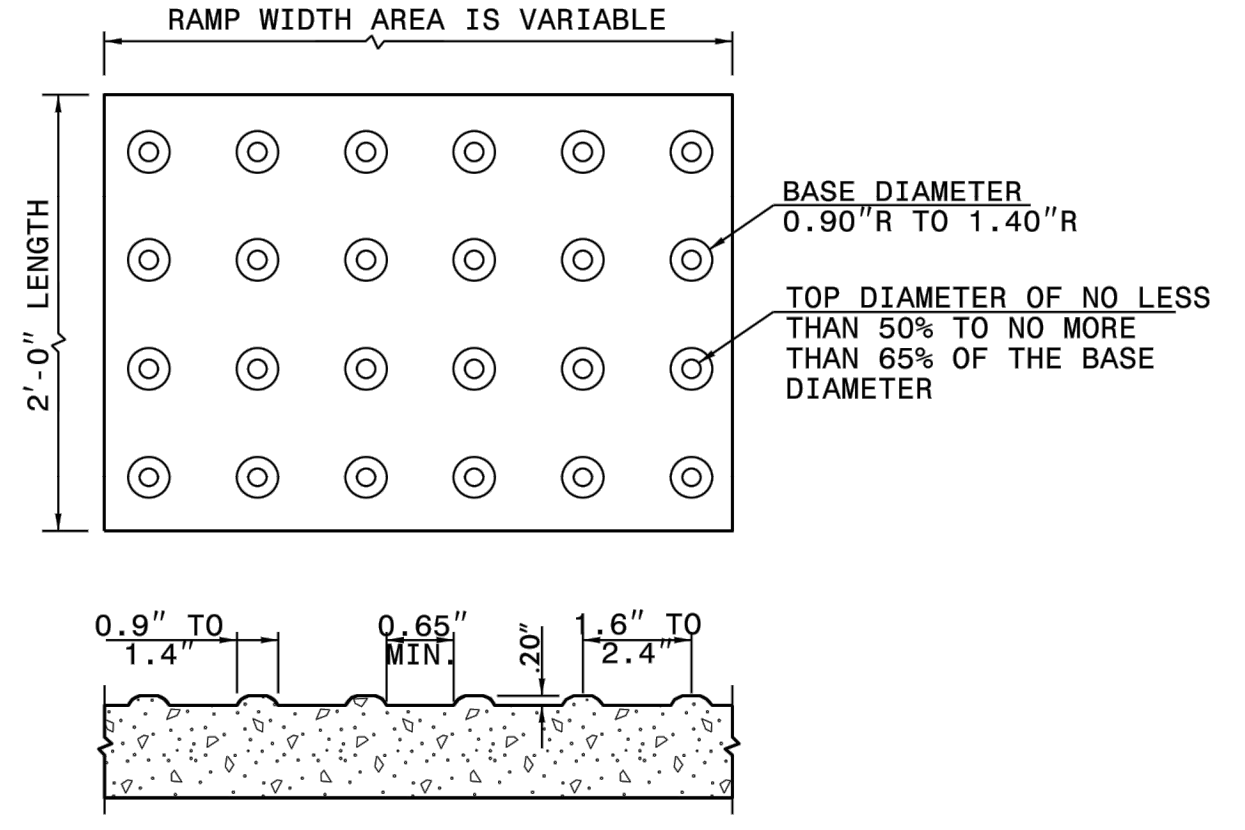
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|--|--|--|--|
| CONTINUOUS LINES | 10'-30'/SP SKIP LINE <small>UNLESS OTHERWISE SHOWN, USE 10'-30'/SP SKIPS FOR SKIP LANE LINES AND SKIP CENTER LINES.</small> | 2'-6'/SP MINI-SKIP LINE <small>UNLESS OTHERWISE SHOWN, USE 2'-6'/SP MINI-SKIPS FOR LINE LINE EXTENSIONS THROUGH INTERSECTIONS, EDGE LINE EXTENSIONS THROUGH INTERSECTIONS AND BICYCLE LANE EXTENSIONS.</small> | STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C. |
| | 3'-3'/SP MINI-SKIP LINE <small>UNLESS OTHERWISE SHOWN, USE 3'-3'/SP MINI-SKIPS FOR THE WHITE EDGE LINE EXTENSION AT ROUNDABOUTS.</small> | 3'-9'/SP MINI-SKIP LINE <small>UNLESS OTHERWISE SHOWN, USE 3'-9'/SP MINI-SKIPS FOR MINI-SKIP LANE LINES, LINE EXTENSIONS THROUGH TAPERS, AND MINI-SKIPS USED FOR BICYCLE LANE LINES.</small> | |
| GENERAL NOTES: 1- USE 6" LANE, EDGE, AND CENTER LINES ON ALL FULL CONTROL OF ACCESS FACILITIES AND OTHER ROUTES AS DIRECTED BY THE ENGINEER. 2- LANE LINES INDICATED AS "WIDE" ON THE ROADWAY STANDARD DRAWINGS SHALL BE AT LEAST TWICE THE WIDTH OF THE NORMAL LINE. 3- GORE LINES SHALL BE TWICE THE WIDTH OF THE NORMAL LINE. | | | ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS LINE TYPES AND OFFSETS SHEET 1 OF 2 1205.01 |

| | | | |
|---|---|---|---|
| CROSSWALK PLACEMENT GUIDANCE | DETAIL 'A' - DUAL CURB RAMP | DETAIL 'B' - SINGLE DIAGONAL CURB RAMP | STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C. |
| | DETAIL 'C' - HI-VISIBILITY CROSSWALK | GENERAL NOTES: 1- USE THE DETAILS ABOVE AND THE FOLLOWING NOTES FOR GUIDANCE IN PLACING CROSSWALK MARKINGS. REFER TO NCOTD ROADWAY STANDARD DRAWINGS, MUTCD AND ADA STANDARDS FOR ADDITIONAL GUIDANCE. 2- THE LOCATION AND TYPE OF CROSSWALK MARKINGS SHOWN ON THE ABOVE DETAILS ARE FOR REFERENCE ONLY. LOCATE CROSSWALK MARKINGS AS SHOWN ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER. THE CROSSWALK MARKING TYPE, STANDARD OR HI-VISIBILITY, SHALL BE INSTALLED AS SPECIFIED ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER. 3- THE STANDARD CROSSWALK IS TWO WHITE 6" MIN. TRANSVERSE LINES WITH A 6" MIN. GAP BETWEEN THE LINES. THE HI-VISIBILITY CROSSWALK IS WHITE 24" MAX. WIDE LONGITUDINAL LINES WITH 24" MIN. GAPS BETWEEN LINES. SEE DETAIL 'C'. HI-VISIBILITY CROSSWALKS SHOULD BE A MINIMUM OF 4' WIDE. CURB RAMP MARKINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARES. 4- STOP BARS SHOULD BE PLACED A 4' MIN. IN ADVANCE OF NEAREST CROSSWALK LINE. 5- SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL IS 4' MIN. 6- BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4' X 4' MIN. SHALL BE PROVIDED WITHIN THE MARKINGS. 7- SINGLE DIAGONAL CURB RAMP WITH FLARED SIDES SHALL HAVE A SEGMENT OF CURB 2' MIN. LONG LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING, SEE DETAIL 'B'. 8- CURB RAMP MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST NCOTD ROADWAY STANDARD DRAWINGS. CURB RAMP THROUGH MEDIAN ISLANDS, SINGLE RAMP AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR DETAILS ON A SPECIAL DESIGN. | |
| GENERAL NOTES: 1- USE THE DETAILS ABOVE AND THE FOLLOWING NOTES FOR GUIDANCE IN PLACING CROSSWALK MARKINGS. REFER TO NCOTD ROADWAY STANDARD DRAWINGS, MUTCD AND ADA STANDARDS FOR ADDITIONAL GUIDANCE. 2- THE LOCATION AND TYPE OF CROSSWALK MARKINGS SHOWN ON THE ABOVE DETAILS ARE FOR REFERENCE ONLY. LOCATE CROSSWALK MARKINGS AS SHOWN ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER. THE CROSSWALK MARKING TYPE, STANDARD OR HI-VISIBILITY, SHALL BE INSTALLED AS SPECIFIED ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER. 3- THE STANDARD CROSSWALK IS TWO WHITE 6" MIN. TRANSVERSE LINES WITH A 6" MIN. GAP BETWEEN THE LINES. THE HI-VISIBILITY CROSSWALK IS WHITE 24" MAX. WIDE LONGITUDINAL LINES WITH 24" MIN. GAPS BETWEEN LINES. SEE DETAIL 'C'. HI-VISIBILITY CROSSWALKS SHOULD BE A MINIMUM OF 4' WIDE. CURB RAMP MARKINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARES. 4- STOP BARS SHOULD BE PLACED A 4' MIN. IN ADVANCE OF NEAREST CROSSWALK LINE. 5- SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL IS 4' MIN. 6- BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4' X 4' MIN. SHALL BE PROVIDED WITHIN THE MARKINGS. 7- SINGLE DIAGONAL CURB RAMP WITH FLARED SIDES SHALL HAVE A SEGMENT OF CURB 2' MIN. LONG LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING, SEE DETAIL 'B'. 8- CURB RAMP MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST NCOTD ROADWAY STANDARD DRAWINGS. CURB RAMP THROUGH MEDIAN ISLANDS, SINGLE RAMP AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR DETAILS ON A SPECIAL DESIGN. | | | ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS PEDESTRIAN CROSSWALKS SHEET 1 OF 2 1205.07 |



DRIVEWAY CULVERT DETAIL

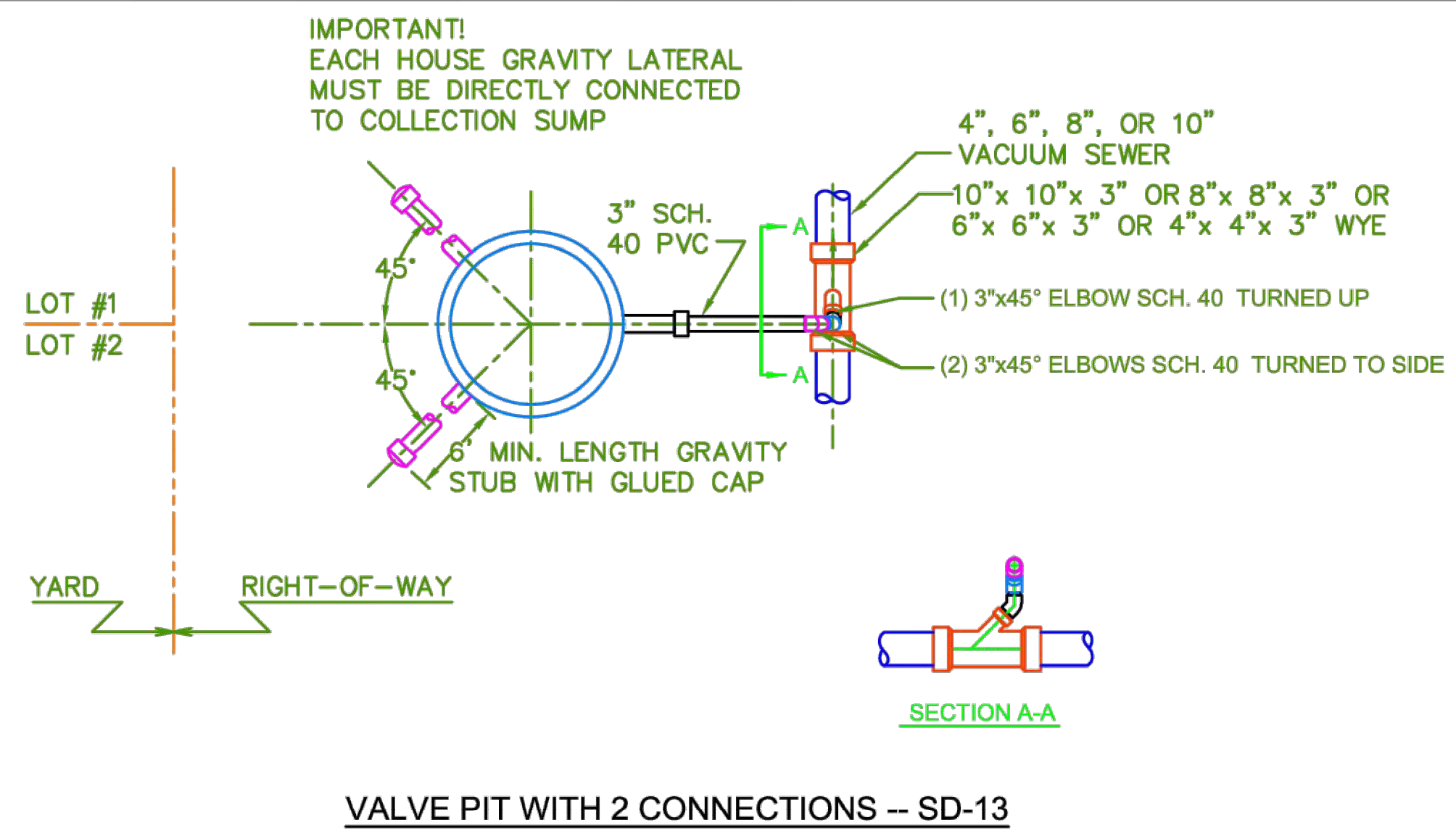
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 DETECTABLE WARNING SURFACE SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
 DETECTABLE WARNING SURFACE SHALL CONTRAST VISIBLY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.



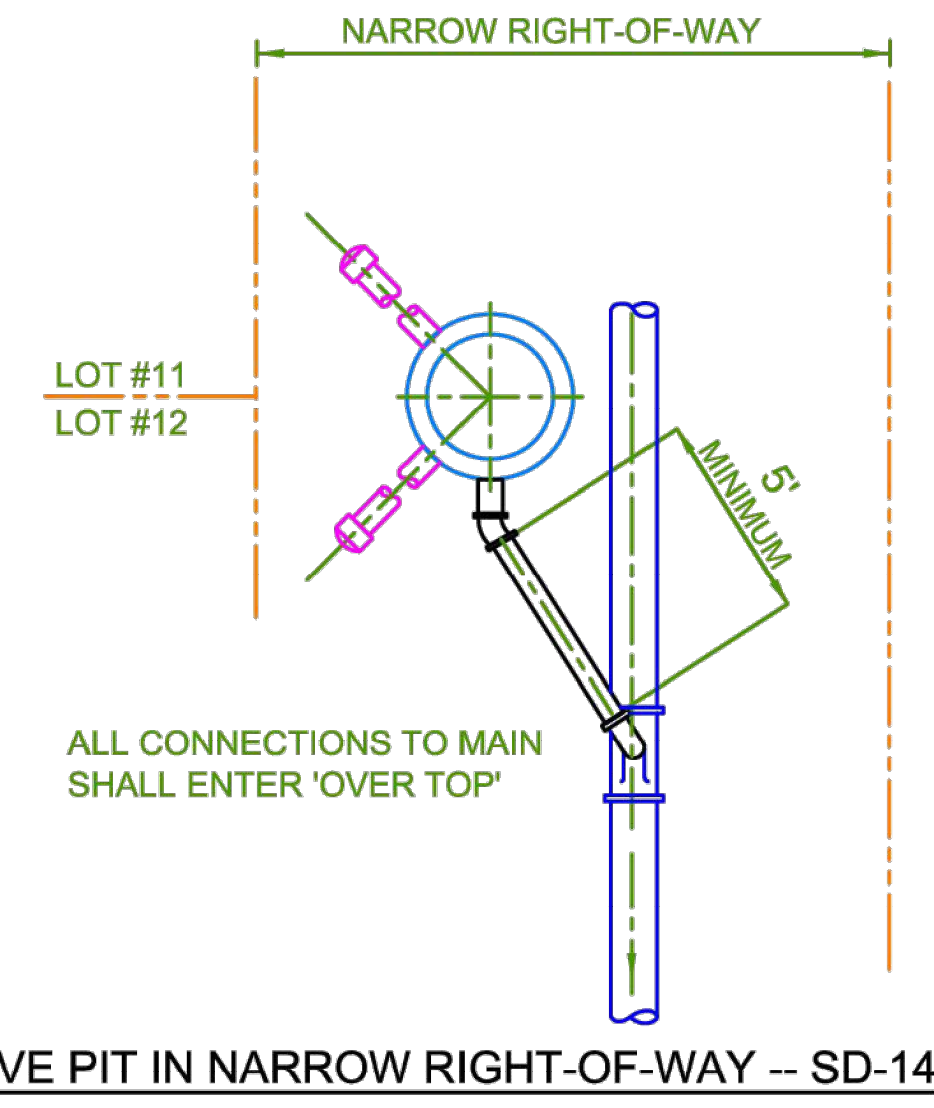
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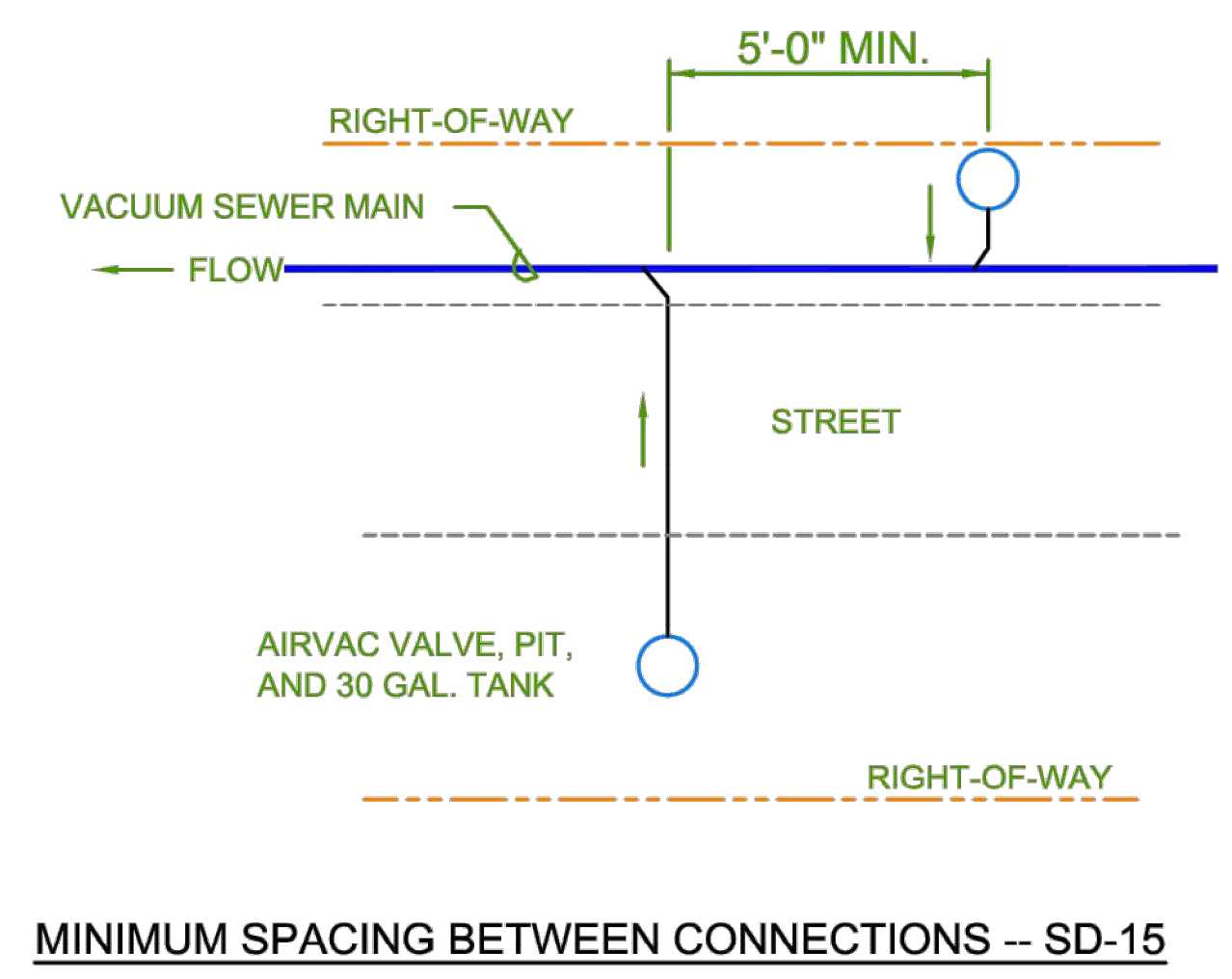
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| PLAN PREPARED BY: FIRM # C-2796 51 Kilmoyne Drive Suite 102 Cary, North Carolina 27511 ph 919.481.6290 fax 919.336.5127 ENGINEERS SURVEYORS |
| PLAN PREPARED FOR: NORTH CAROLINA PROFESSIONAL SEAL 06/05/2025 KIM D. WHITLOCK ENGINEER |
| SITE CONSTRUCTION PLANS TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA ENCLAVE AT BEAUFORT CLUB FOR DEWITT CAROLINAS STANDARD DETAILS |
| Issue Dates: 02/21/2025: SKETCH PLAN SUBMITTAL 04/25/2025: SITE CONSTRUCTION SUBMITTAL 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 |
| Date: 06/05/2025 Scale: NO SCALE |
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| Project Number: 22-0016-742 |
| Drawing Number: C.8.1 |



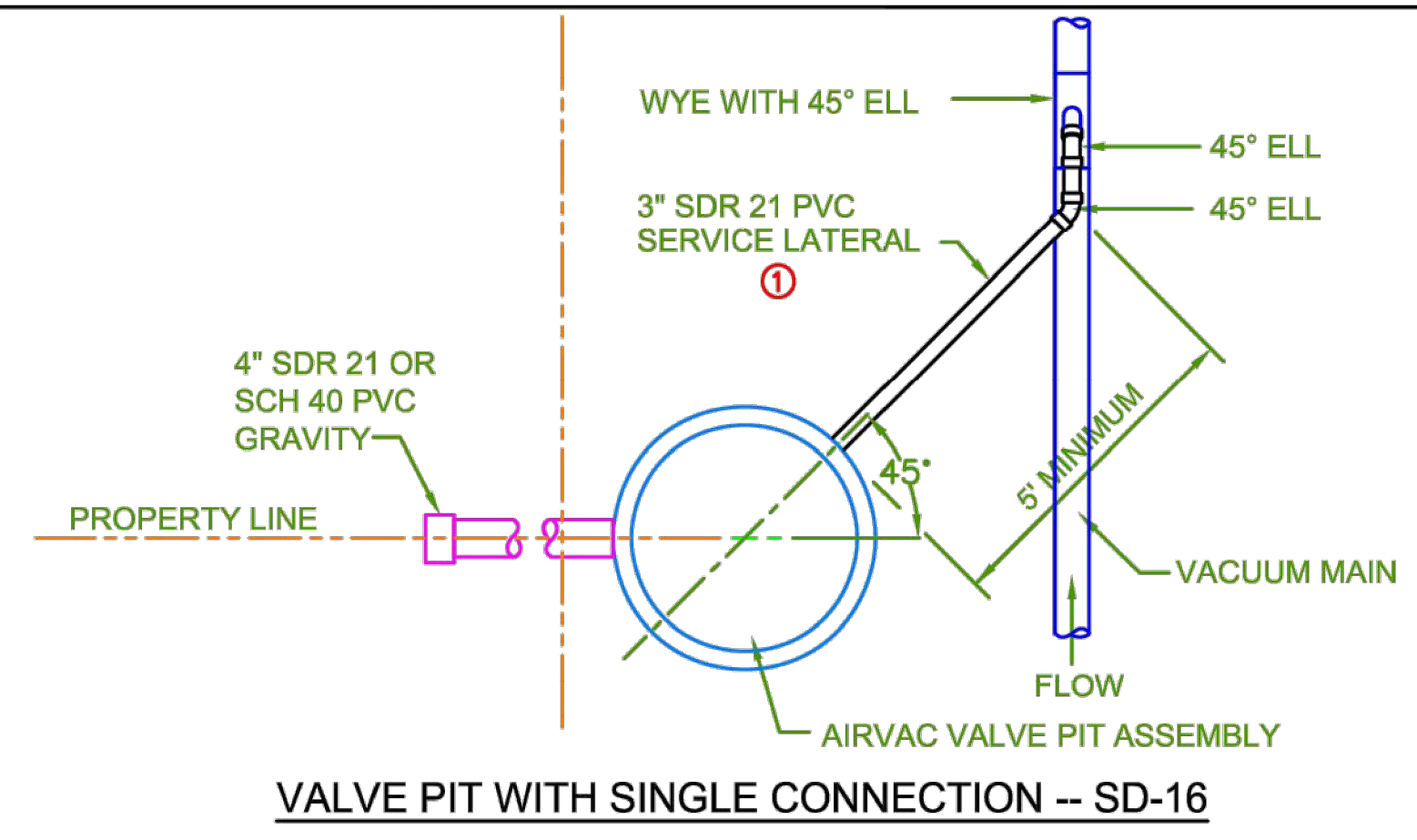
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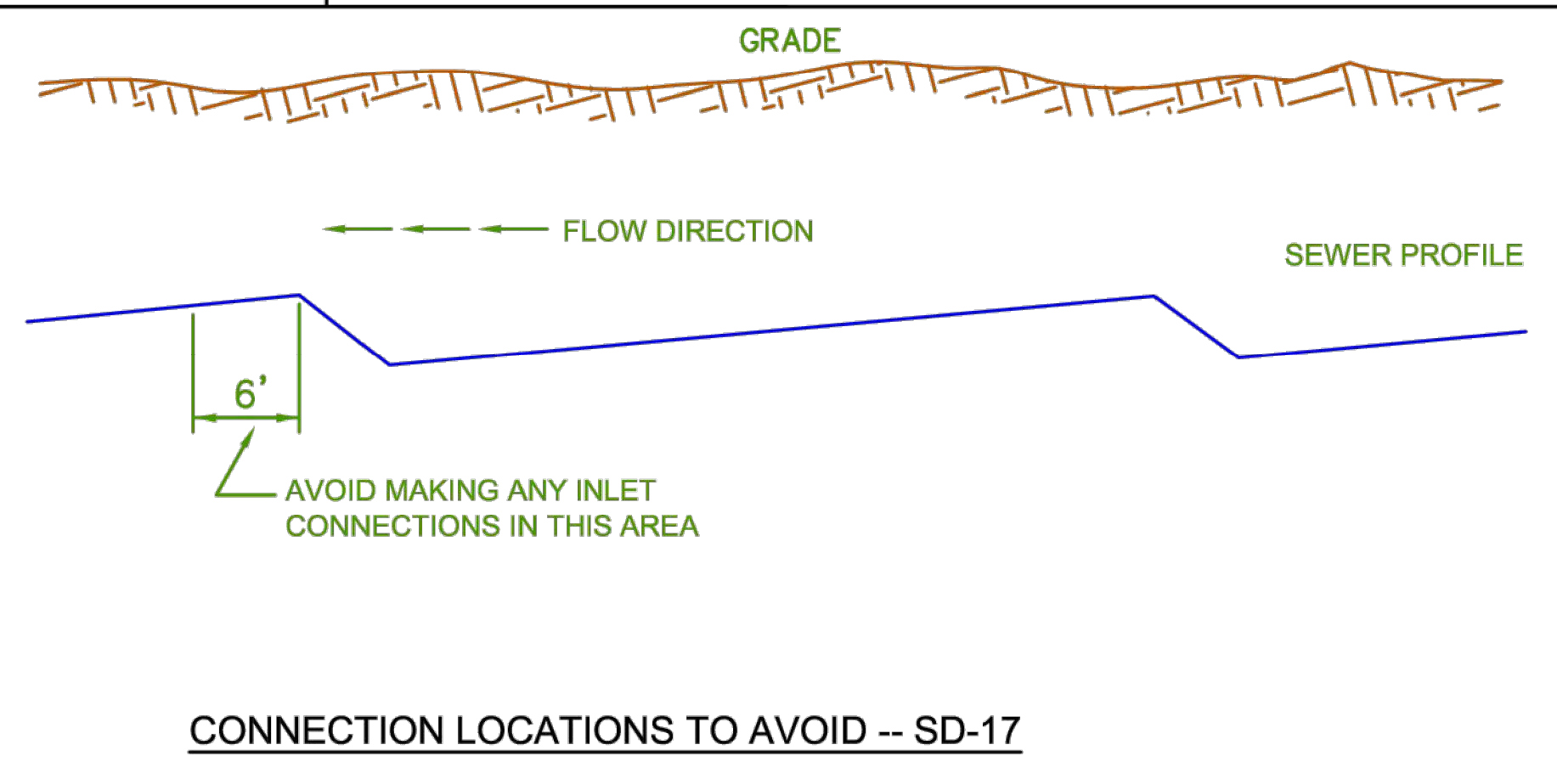
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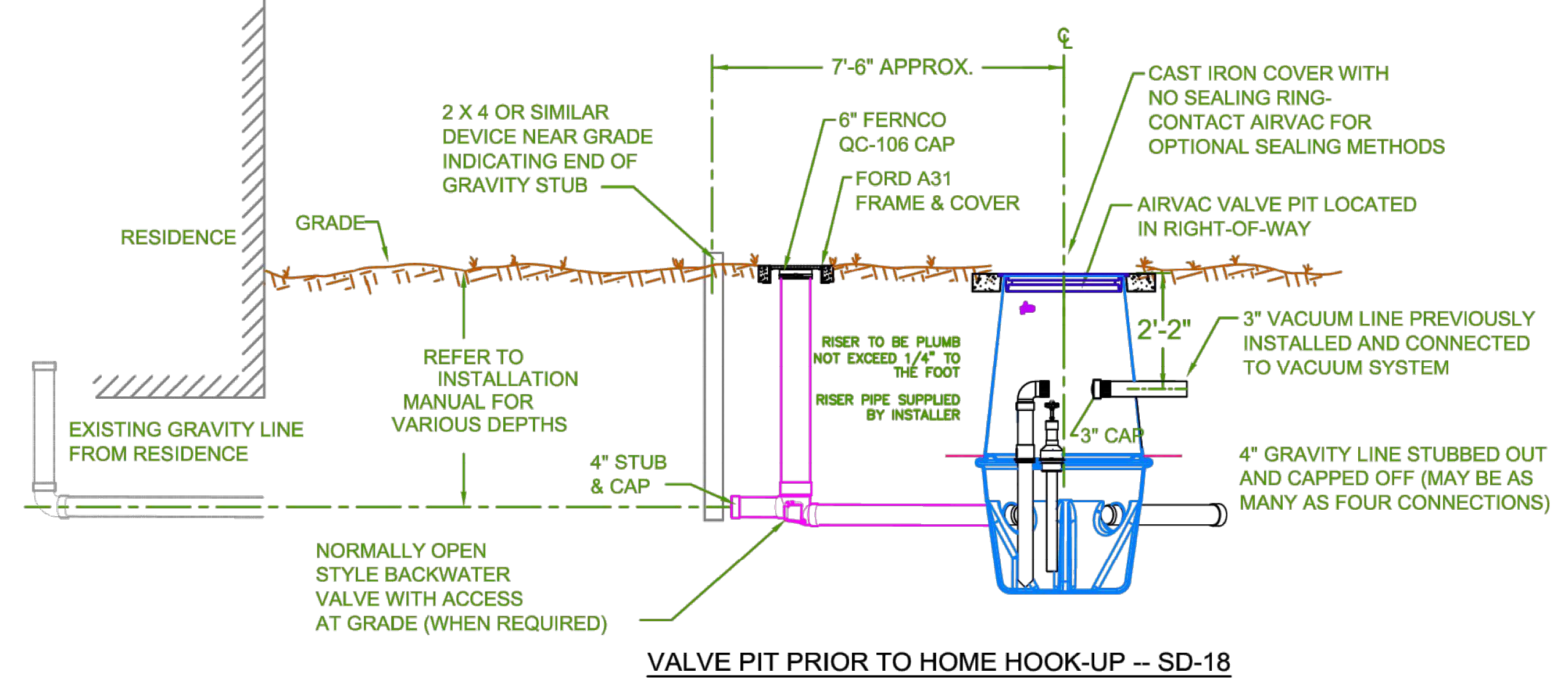
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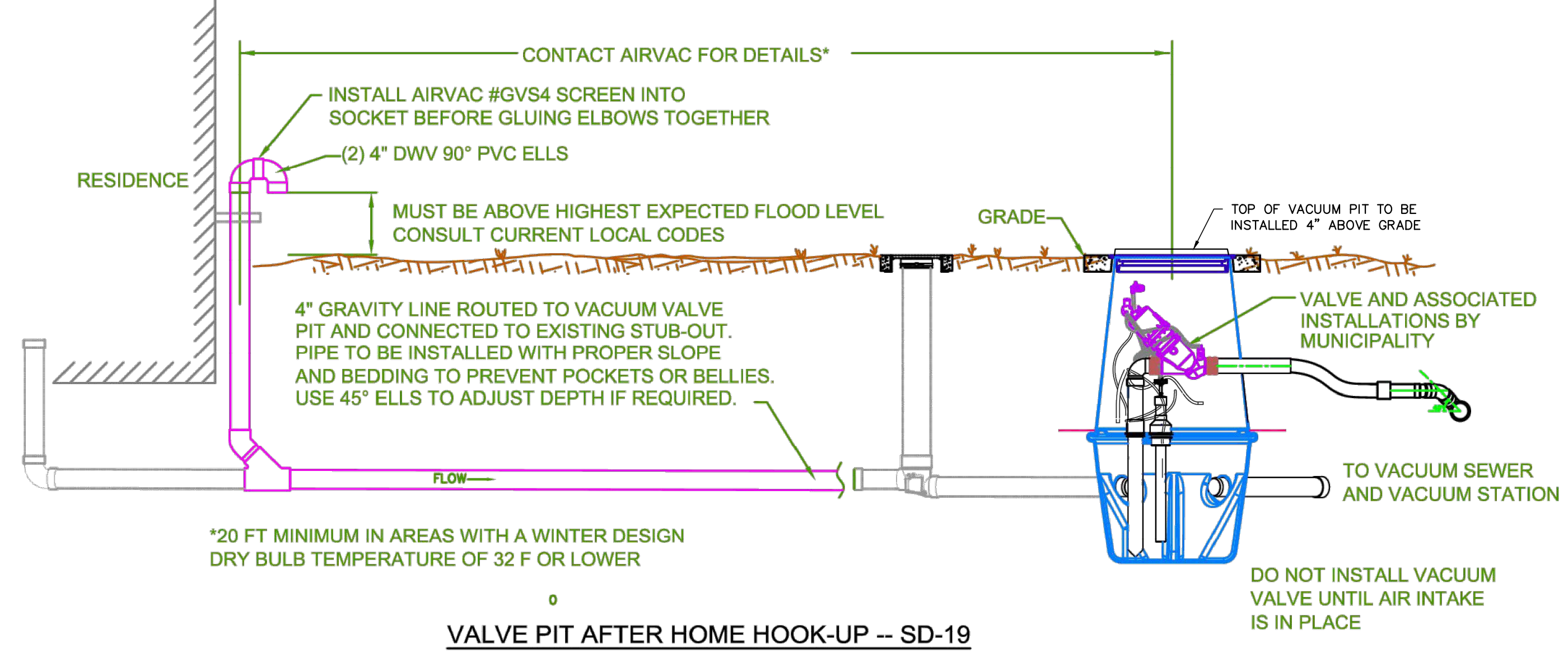
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CONNECTION LOCATIONS TO AVOID -- SD-17



VALVE PIT PRIOR TO HOME HOOK-UP -- SD-18



VALVE PIT AFTER HOME HOOK-UP -- SD-19

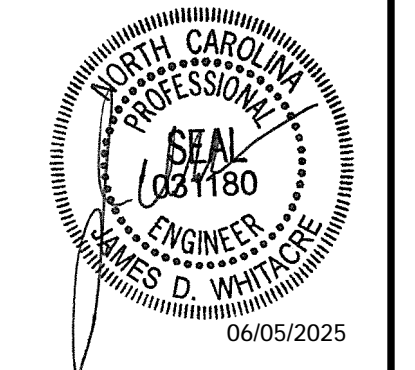
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ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinass
dewitt



SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
AIRVAC DETAILS

Issue Dates:

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Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.8.2

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Airvac

Vacuum Technology Systems

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| NO. | | REVISIONS | DATE | DESIGN BY | DATE | SCALE | DRAWING NO. |
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AIRVAC PROJECT NOTES

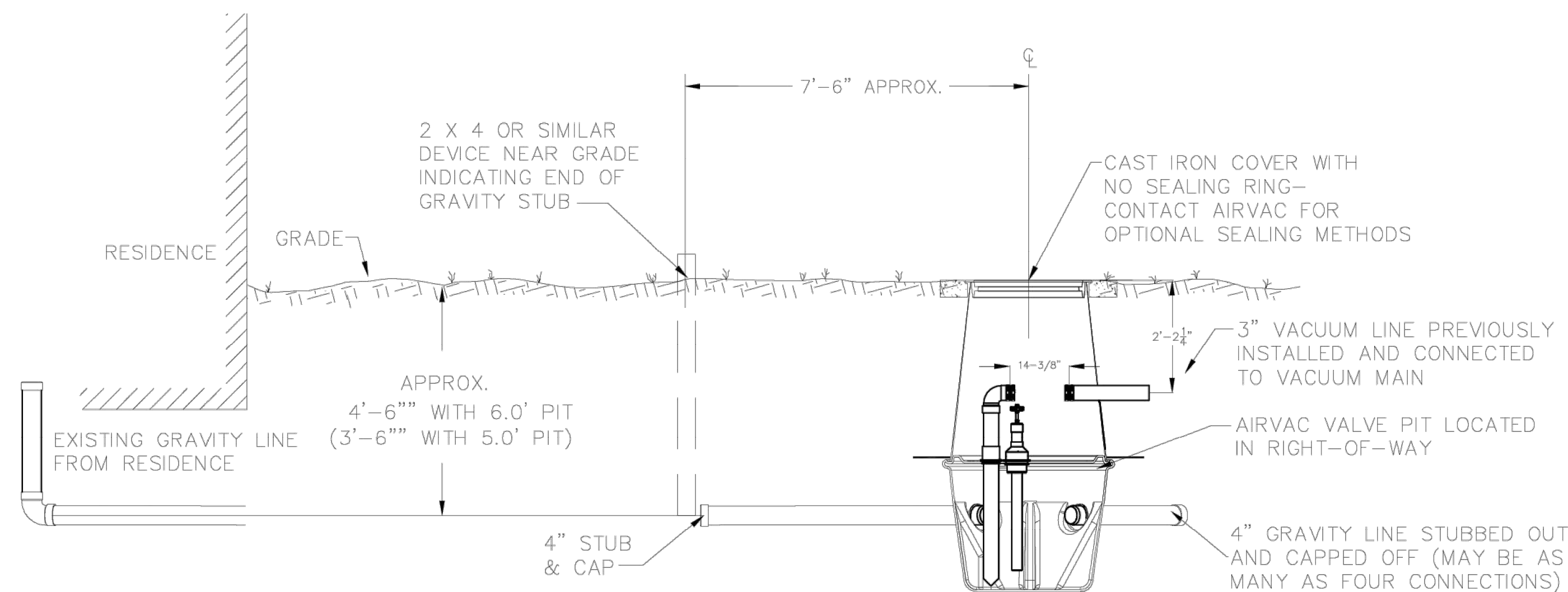
- 1 SCREENS ARE REQUIRED AT AIR INTAKE PIPES (VENT). VENTS SHALL CONTAIN IDENTIFICATION OR NAME AND PHONE NUMBER FOR EMERGENCY CONTACT (BY TOWN DURING HOME CONSTRUCTION).
- 2 VENTS SHALL BE PLACED 2' ABOVE THE 100-YEAR BASE FLOOD ELEVATION (9.0 MSL, NAVD 88)
- 3 THE CONTRACTOR SHALL PROVIDE 4" SCH 40 PVC (5' LENGTH) WITH CAP AND MARKING POST (TREATED 2x4 POST EXTENDING TO GRADE).

VACUUM CONTROL VALVES AND CAPPED SERVICE CONNECTION STUBOUT (WITH SCREENED VENT) SHALL BE INSTALLED WITHIN THE VACUUM PITS DURING SYSTEM INSTALLATION (BY UTILITY CONTRACTOR).

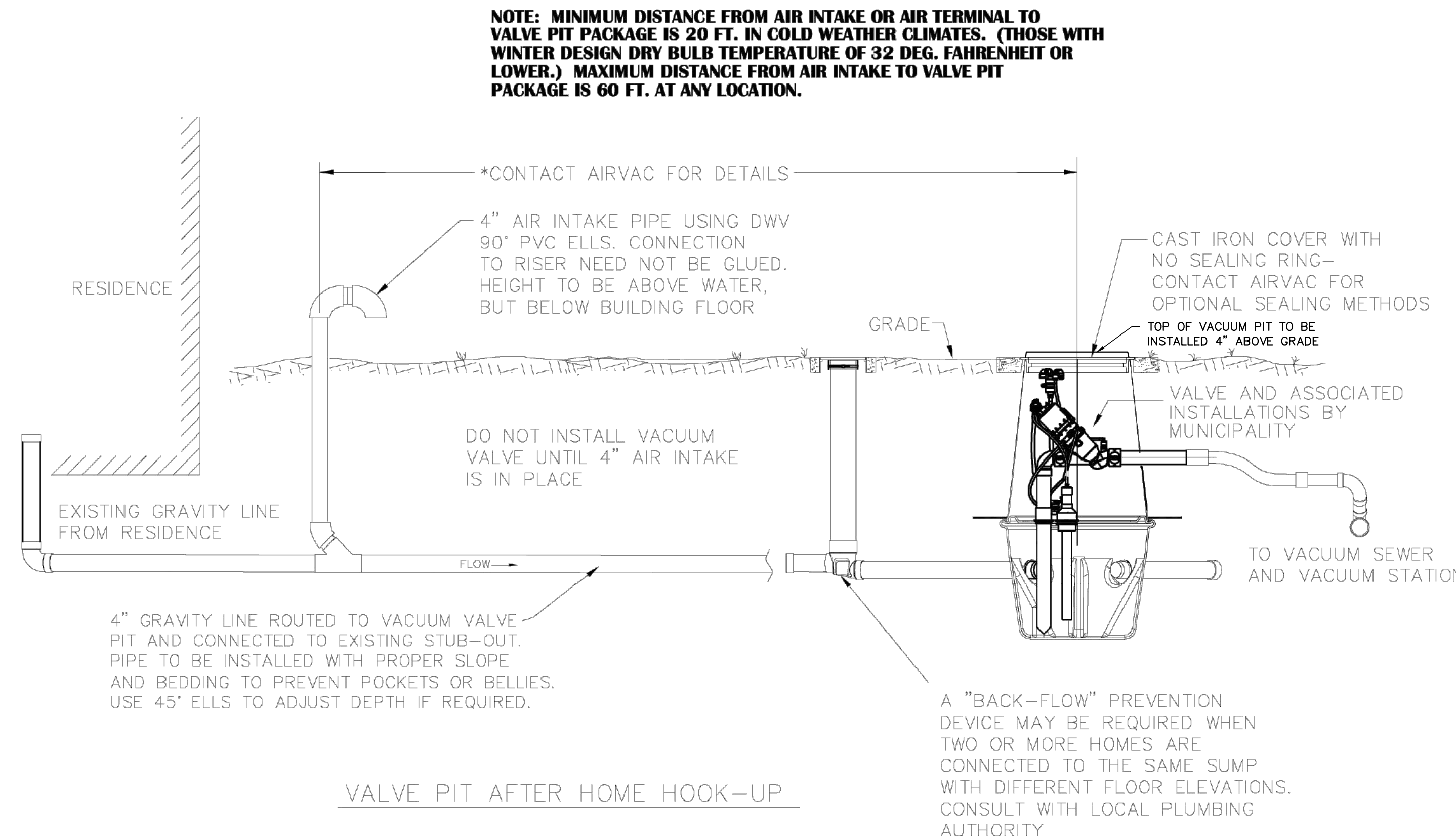
A. ALL LATERALS WILL BE INSTALLED BY PLUMBERS HAVING ATTENDED A MANDATORY INSTALLATION WORKSHOP TO BE SPONSORED BY THE TOWN OF BEAUFORT.

B. AT THE TIME OF THE HOME BUILDING PERMIT REQUEST, THE TOWN SHALL DETERMINE IF THE RESIDENCE TO BE SERVED WILL REQUIRE A NORMALLY OPEN BACKFLOW PREVENTER. IF THE SCREENED VENT IS BELOW THE LOWEST FIXTURE IN THE BUILDING AND/OR ADJACENT BUILDING SERVED BY THE SAME VALVE PIT, THEN A TOWN APPROVED, NORMALLY OPEN, BACKFLOW PREVENTER MAY BE REQUIRED.

C. ALL WORK PROVIDED BY THE PLUMBING CONTRACTOR SHALL BE INSPECTED BY THE TOWN PRIOR TO BACKFILLING THE TRENCH. IT IS ANTICIPATED THAT THE SCREENED VENT MAY BE RELOCATED DURING ACTUAL HOME CONSTRUCTION. TOWN INSPECTION WILL ALSO BE REQUIRED FOR RELOCATION OF THE SCREENED VENT.



VALVE PIT PRIOR TO HOME HOOK-UP



VALVE PIT AFTER HOME HOOK-UP

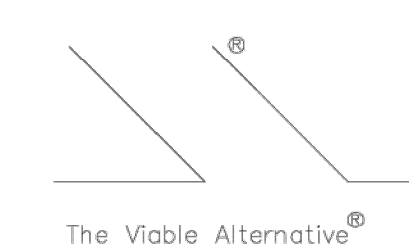
NOTE: MINIMUM DISTANCE FROM AIR INTAKE OR AIR TERMINAL TO VALVE PIT PACKAGE IS 20 FT. IN COLD WEATHER CLIMATES. (THOSE WITH WINTER DESIGN DRY BULB TEMPERATURE OF 32 DEG. FAHRENHEIT OR LOWER.) MAXIMUM DISTANCE FROM AIR INTAKE TO VALVE PIT PACKAGE IS 60 FT. AT ANY LOCATION.

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| | | | |
|--|--------------------|-----------------------|--------------------|
| TITLE HOME-TO-2 PIECE VALVE PIT CONNECTION DETAIL | | | |
| CLIENT AIRVAC ----- STANDARD | | | |
| DRAWN BY SHL | DATE 2/12/2016 | SCALE 1/4" = 1'-0" | DRAWING NO. 7-S |
| DESIGN BY DLM | COPYRIGHT © AIRVAC | | |

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |

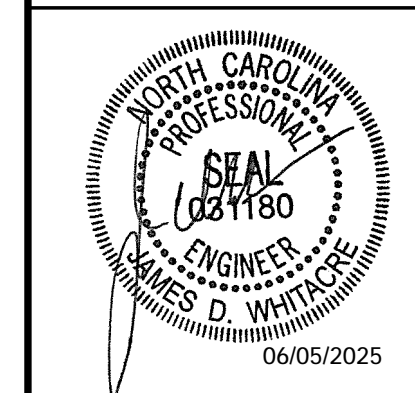
PLAN PREPARED BY:
FIRM # C-2796

51 Kilmoyne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
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ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinass
dewitt



SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
AIRVAC DETAILS

Issue Dates:

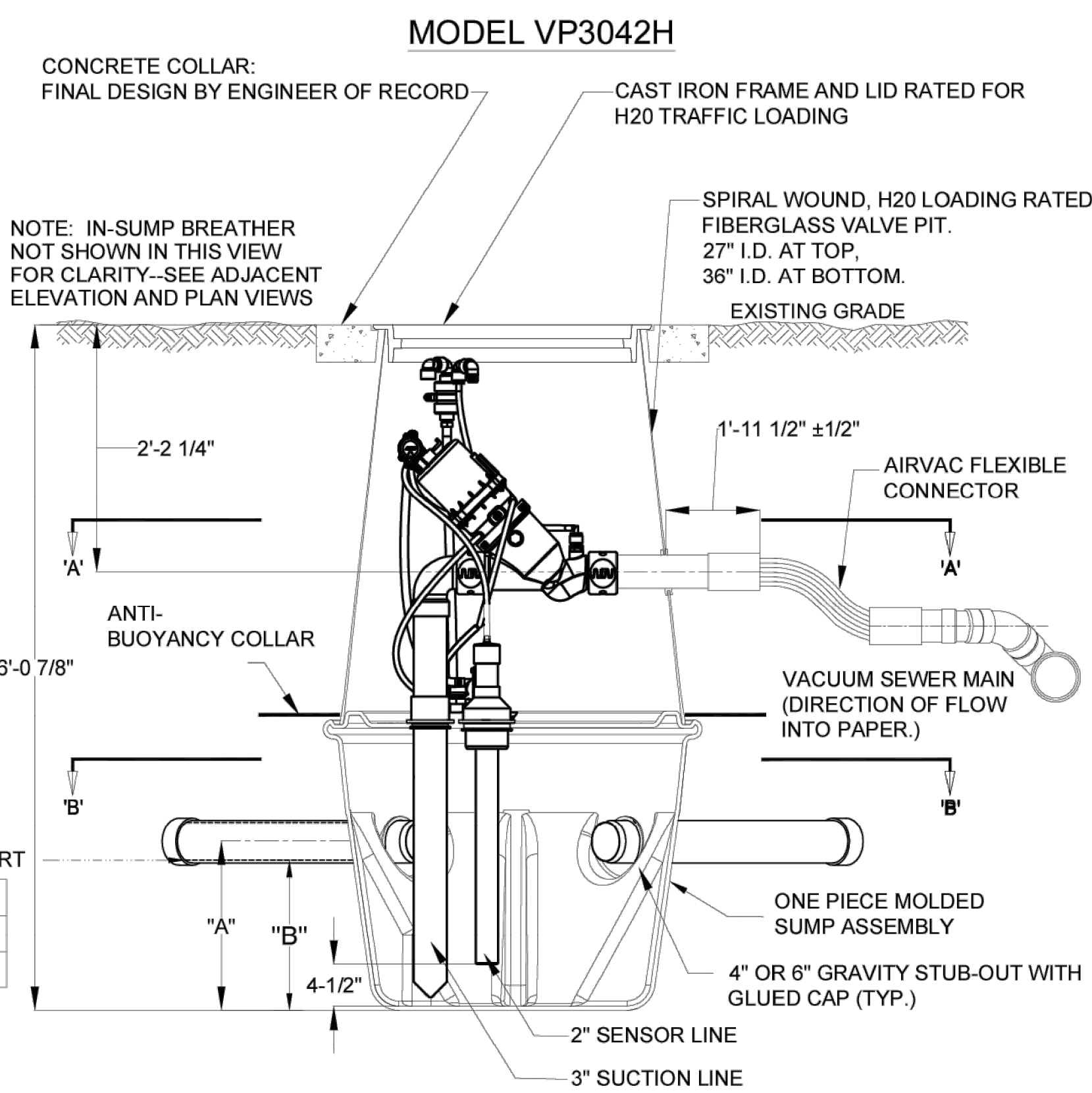
| |
|---|
| 02/21/2025: SKETCH PLAN SUBMITTAL |
| 04/25/2025: SITE CONSTRUCTION SUBMITTAL |
| 05/09/2025: SITE CONSTRUCTION SUBMITTAL 2 |
| 06/05/2025: SITE CONSTRUCTION SUBMITTAL 3 |

Date: 06/05/2025
Scale: NO SCALE

Drawn By: JLB
Checked By: JDW

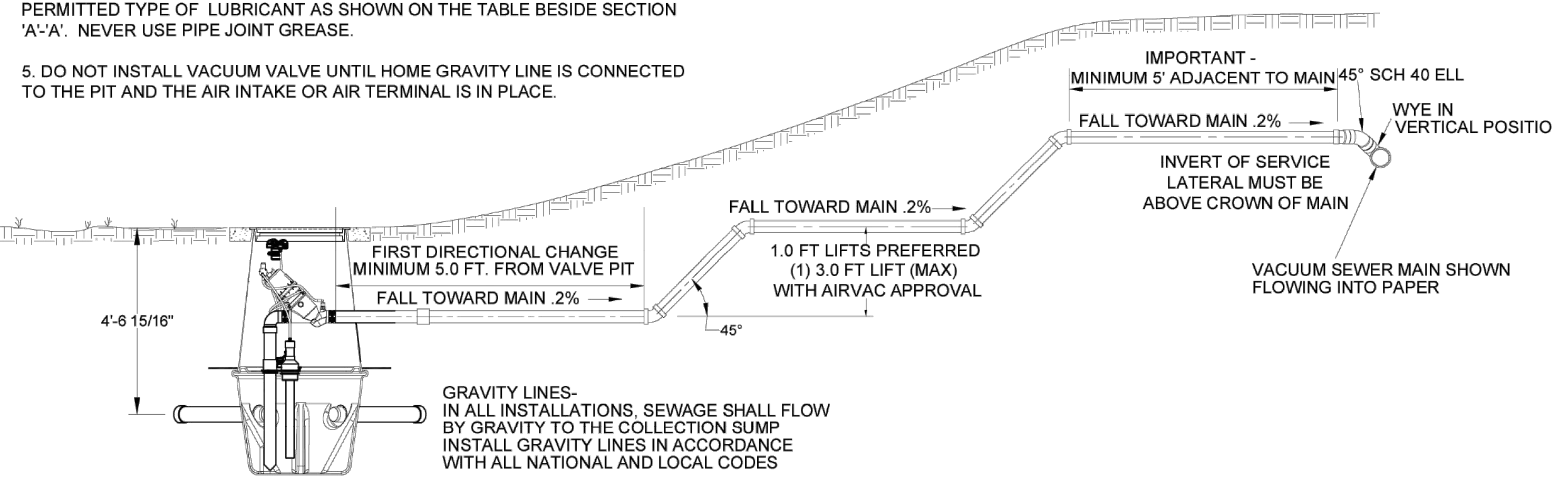
Project Number:
22-0016-742

Drawing Number:
C.8.3

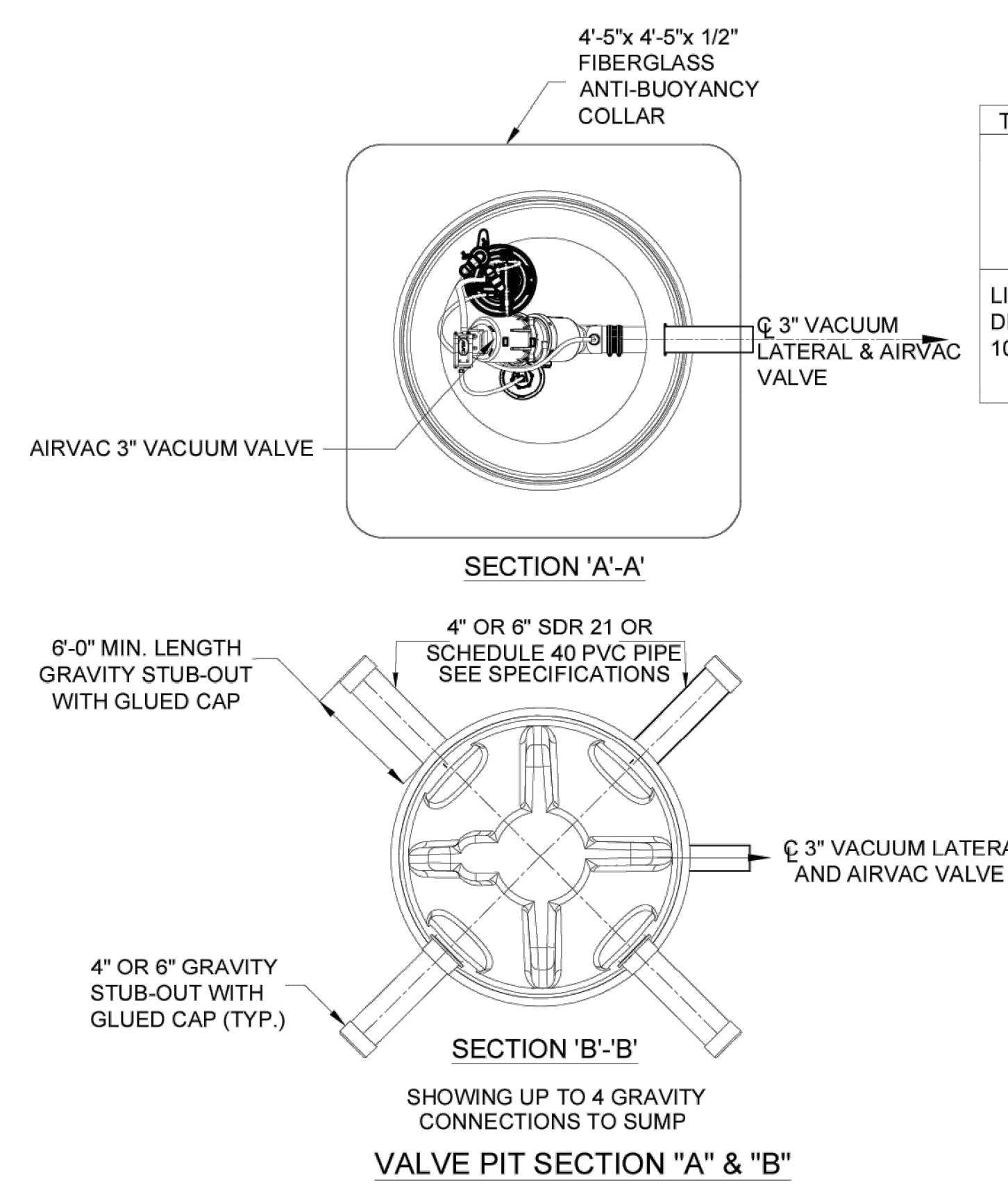


| | 4" GRAVITY | 6" GRAVITY |
|---------|------------|------------|
| DIM "A" | 18" - 24" | 19" - 24" |
| DIM "B" | 16" - 22" | 16" - 21" |

- NOTES:
1. ALL GROMMETS FOR VALVE PIT AND SUMP SUPPLIED BY AIRVAC.
 2. ALL HOLES IN VALVE PIT AND PIT BOTTOM ARE FACTORY CUT. ALL GRAVITY LINE CONNECTION OPENINGS IN THE SUMP ARE FIELD CUT.
 3. ONLY HOMES OR APARTMENTS WHOSE LOWER FLOOR ELEVATIONS ARE THE SAME SHOULD BE CONNECTED TO A COMMON VACUUM VALVE PIT INSTALLATION. SOME LOCAL CODES MAY REQUIRE THE INSTALLATION OF A BACKFLOW PREVENTER IN THE HOME OWNERS' GRAVITY LINES. WITH MULTIPLE FLOOR APARTMENTS, EACH FLOOR LEVEL SHOULD BE SERVICE BY ITS OWN VACUUM VALVE PIT PACKAGE.
 4. WHEN INSTALLING ANY PIPE THROUGH A GROMMET, USE ONLY THE PERMITTED TYPE OF LUBRICANT AS SHOWN ON THE TABLE BESIDE SECTION 'A-A'. NEVER USE PIPE JOINT GREASE.
 5. DO NOT INSTALL VACUUM VALVE UNTIL HOME GRAVITY LINE IS CONNECTED TO THE PIT AND THE AIR INTAKE OR AIR TERMINAL IS IN PLACE.

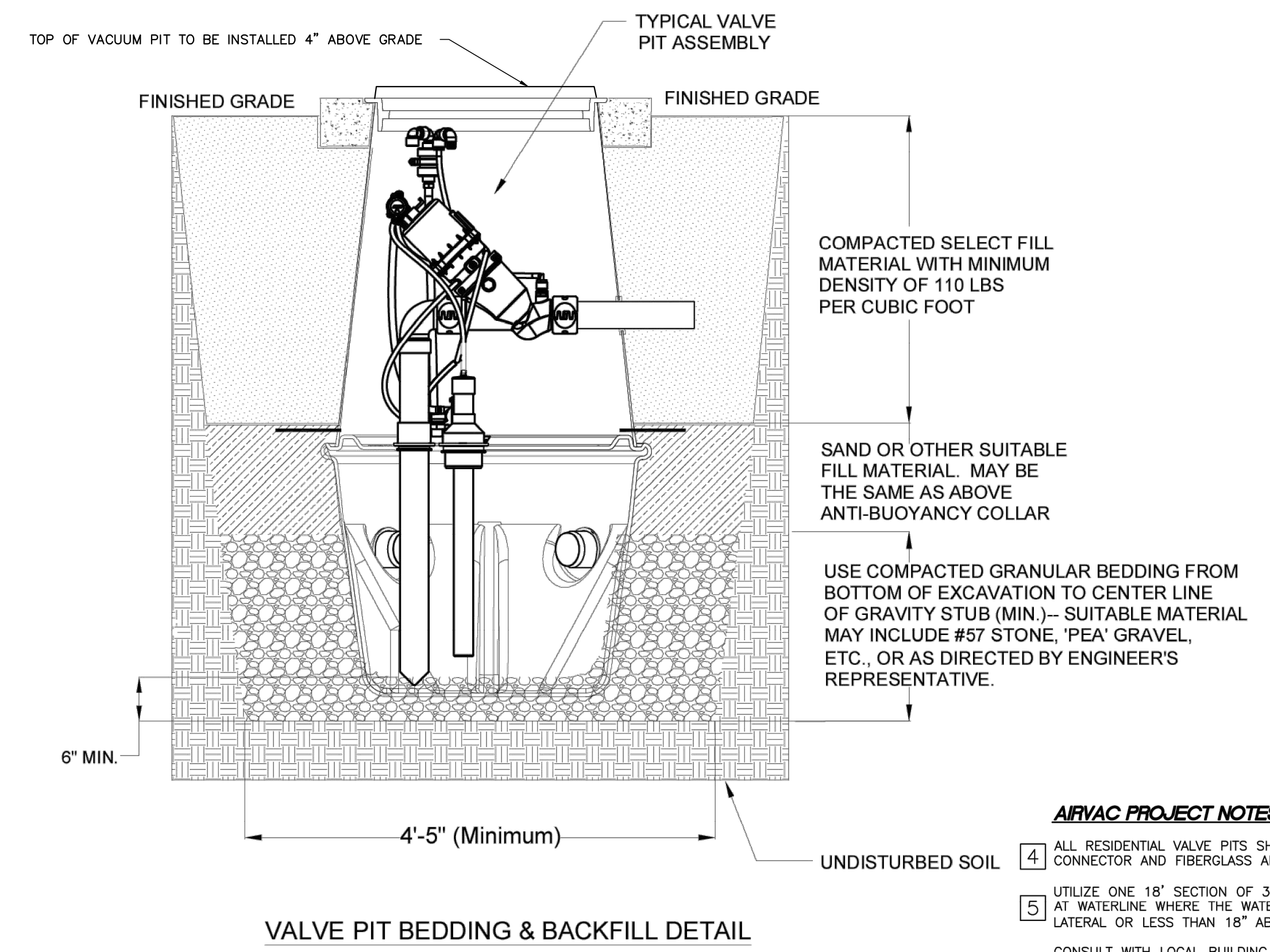


LIFT DETAILS FOR 3" SERVICE LATERAL



INSTALLING PIPE THROUGH A GROMMET

| TYPE OF LUBRICANT | PERMITTED | WHERE USED |
|--|--|--|
| PIPE LUBRICANT PER ANS/NSF STANDARD #61 | EITHER WATER SOLUBLE OR NON-WATER SOLUBLE IS PERMITTED | GROMMETS FOR GRAVITY STUB-OUTS AND VACUUM SERVICE LATERALS (ALL VALVE PITS) |
| LIQUID DISHWASHING DETERGENT DILUTED 10-20% IN WATER | PIPE LUBRICANT NOT PERMITTED | GROMMETS FOR SUCTION & SENSOR PIPES AND IN-SUMP BREATHER (2-PIECE PITS ONLY) |



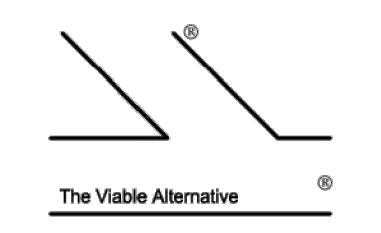
- AIRVAC PROJECT NOTES**
- 4 ALL RESIDENTIAL VALVE PITS SHALL UTILIZE THE FLEXIBLE CONNECTOR AND FIBERGLASS ANTI-BUOYANCY COLLAR.
 - 5 UTILIZE ONE 18' SECTION OF 3" DUCTILE IRON PIPE CENTERED AT WATERLINE WHERE THE WATERLINE IS BELOW THE SANITARY LATERAL OR LESS THAN 18" ABOVE IT.
 - 6 CONSULT WITH LOCAL BUILDING INSPECTOR TO DETERMINE IF A BACKFLOW PREVENTER IS NECESSARY WHERE THE VENT PIPE OPENING IS ABOVE THE LOWEST FINISH FLOOR OF ANY DWELLING CONNECTED TO THE RECEIVING VACUUM PIT.

O:\22-0016-742NC\DWG\Production Drawings\SITE CONSTRUCTION\0016-742-Standard Details.dwg AIRVAC DETAILS 3 Jun 05 2025 - 4:56:31pm Shucheson



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Vacuum Technology Systems



| | | |
|---|---|------------|
| 4 | REMOVED SURGE SUPPRESSOR -SHL- | 7/13/2022 |
| 3 | REVISED GRAVITY LINE DRILLING DIMENSION -SHL- | 2/24/2022 |
| 2 | REPLACED WITH NEW BREATHER -SHL- | 7/10/2020 |
| 1 | UPDATED TITLE BLOCK, NOTES, FONT, ETC -SHL- | 11/13/2019 |

| TITLE | | DATE | | SCALE | | DRAWING NO. | |
|------------------------|-----|-----------|-----------|----------|--|-------------|---------|
| 2 PIECE 6FT HYBRID PIT | | 2/12/2018 | | NO SCALE | | V/P H-1 | |
| DRAWN BY | SHL | DATE | 2/12/2018 | SCALE | | DRAWING NO. | V/P H-1 |

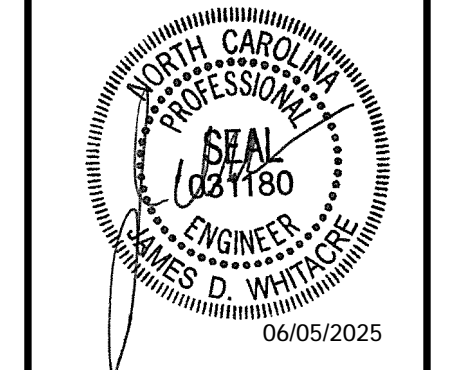
PLAN PREPARED BY:
FIRM # C-2796

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ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinass dewitt



SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
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AIRVAC DETAILS

Issue Dates:

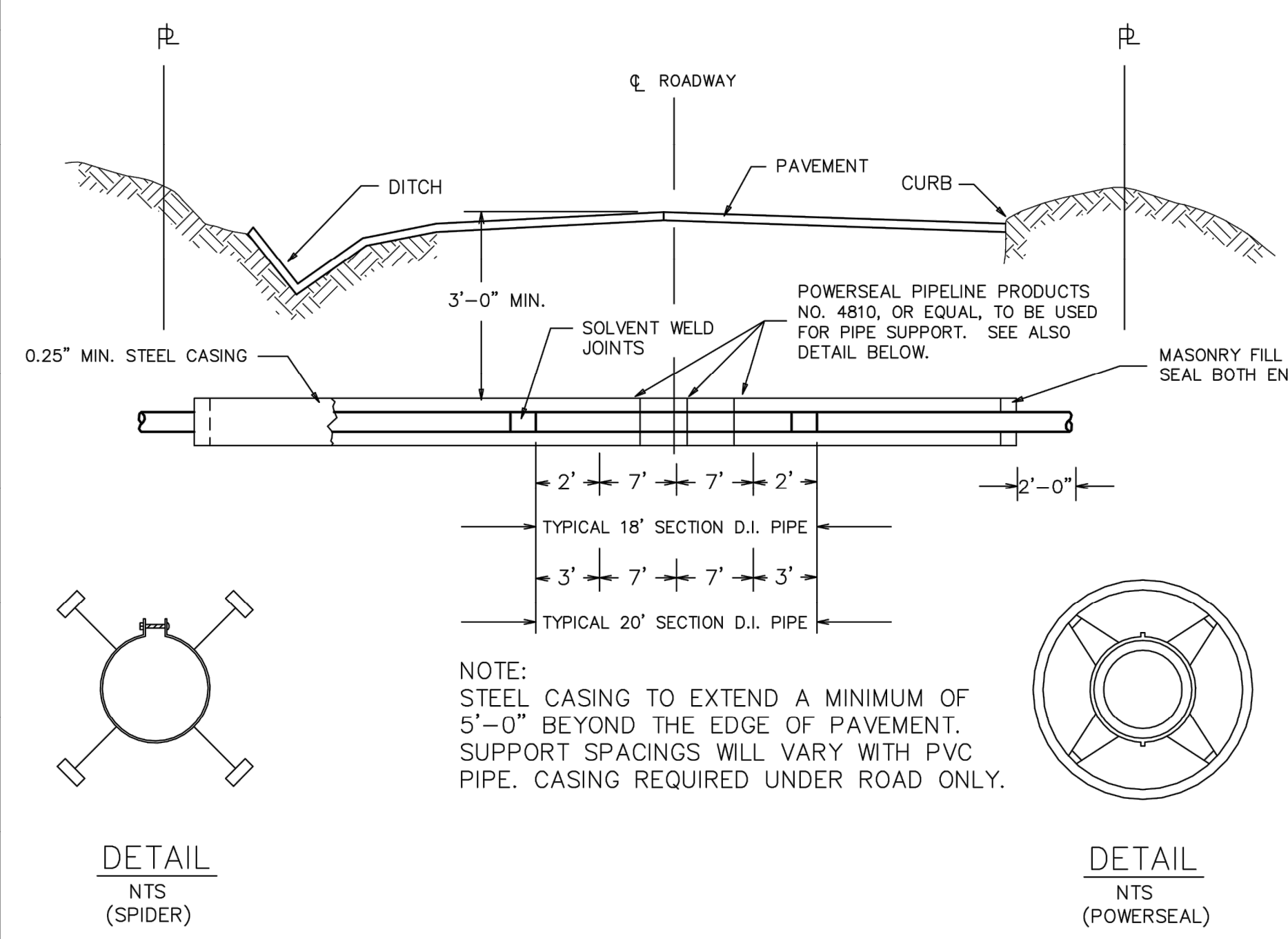
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| 04/25/2025: | SITE CONSTRUCTION SUBMITTAL |
| 05/09/2025: | SITE CONSTRUCTION SUBMITTAL 2 |
| 06/05/2025: | SITE CONSTRUCTION SUBMITTAL 3 |

Date: 06/05/2025
Scale: NO SCALE

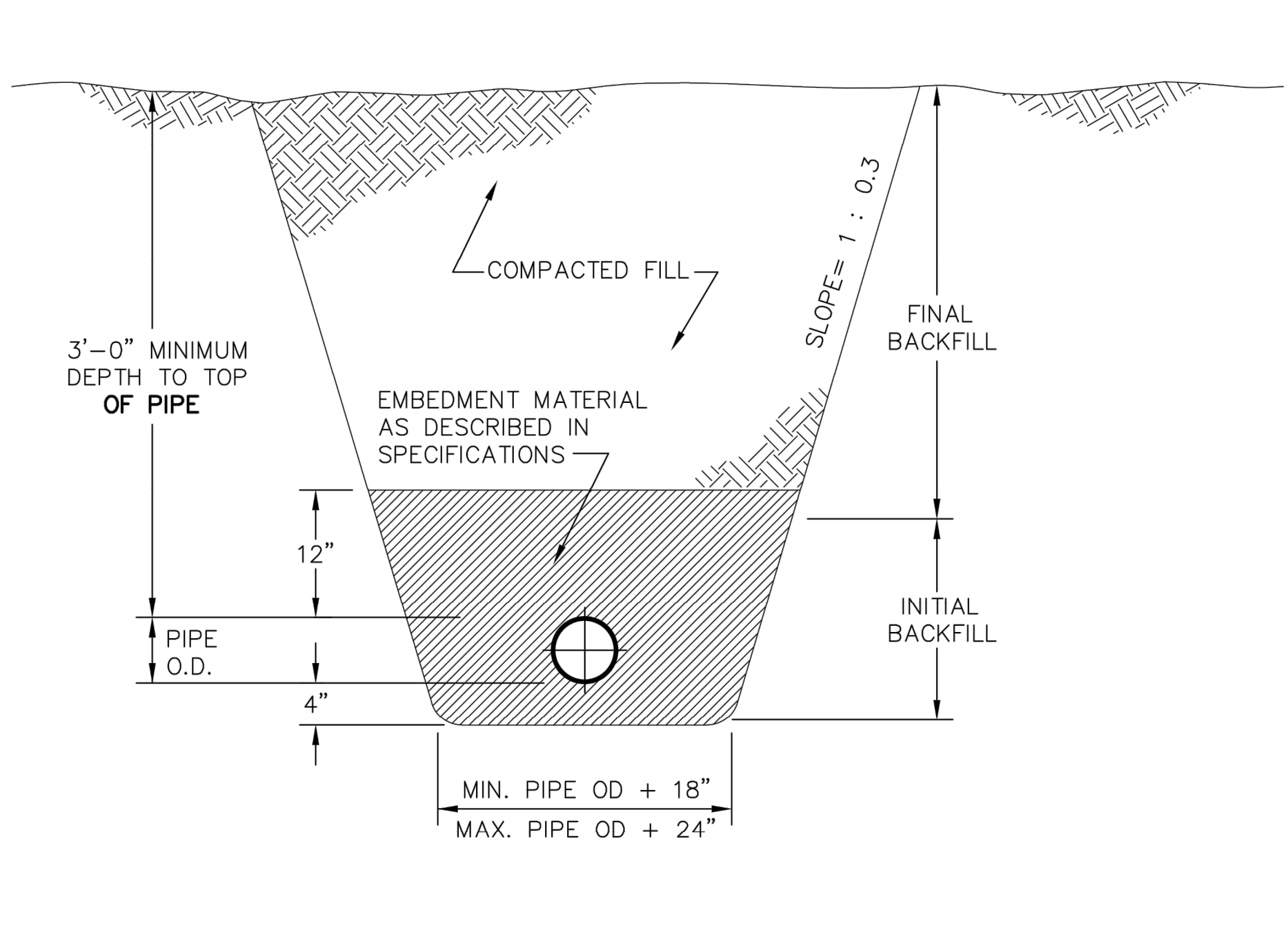
Drawn By: JLB
Checked By: JDW

Project Number:
22-0016-742

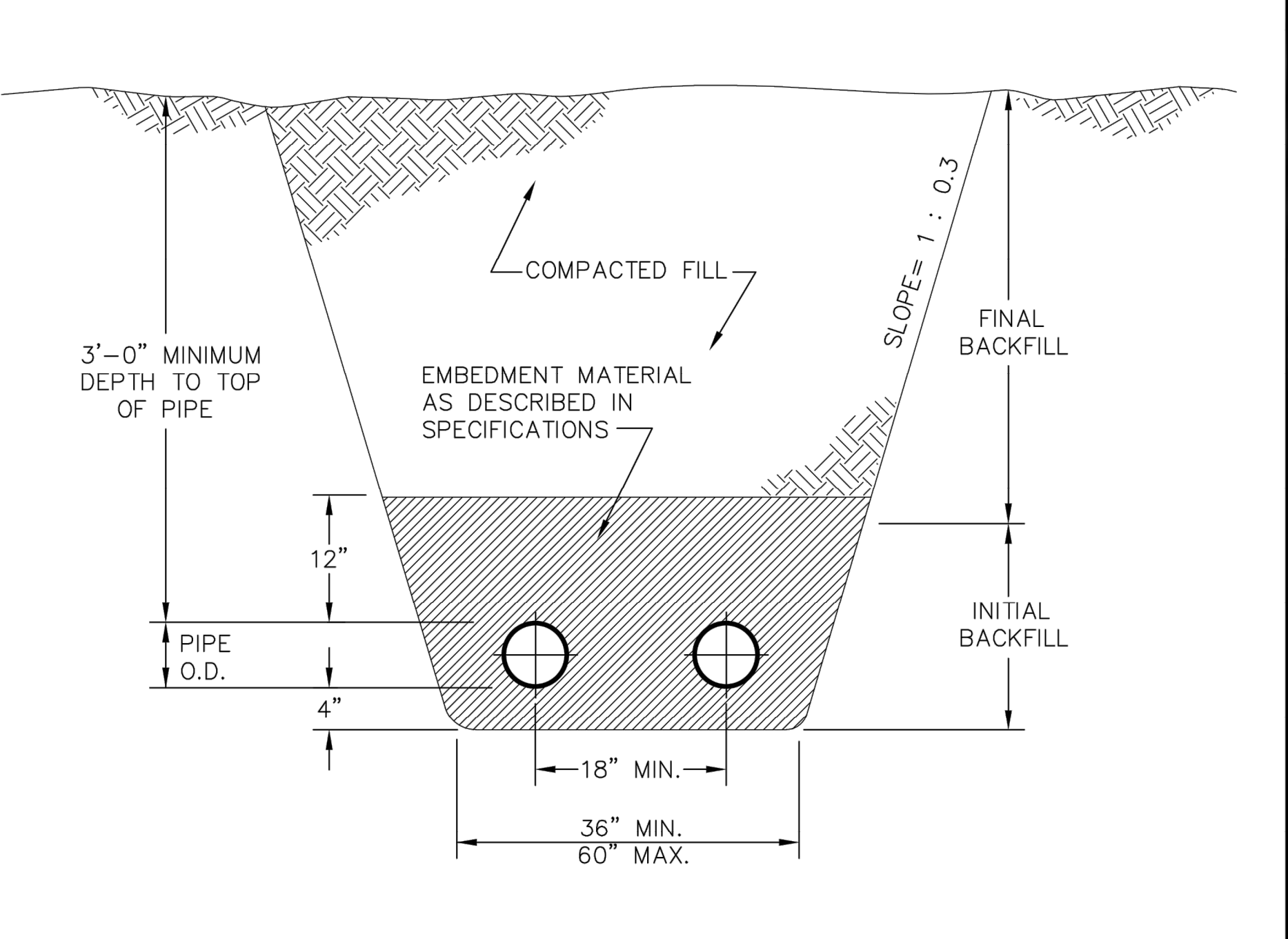
Drawing Number:
C.8.4



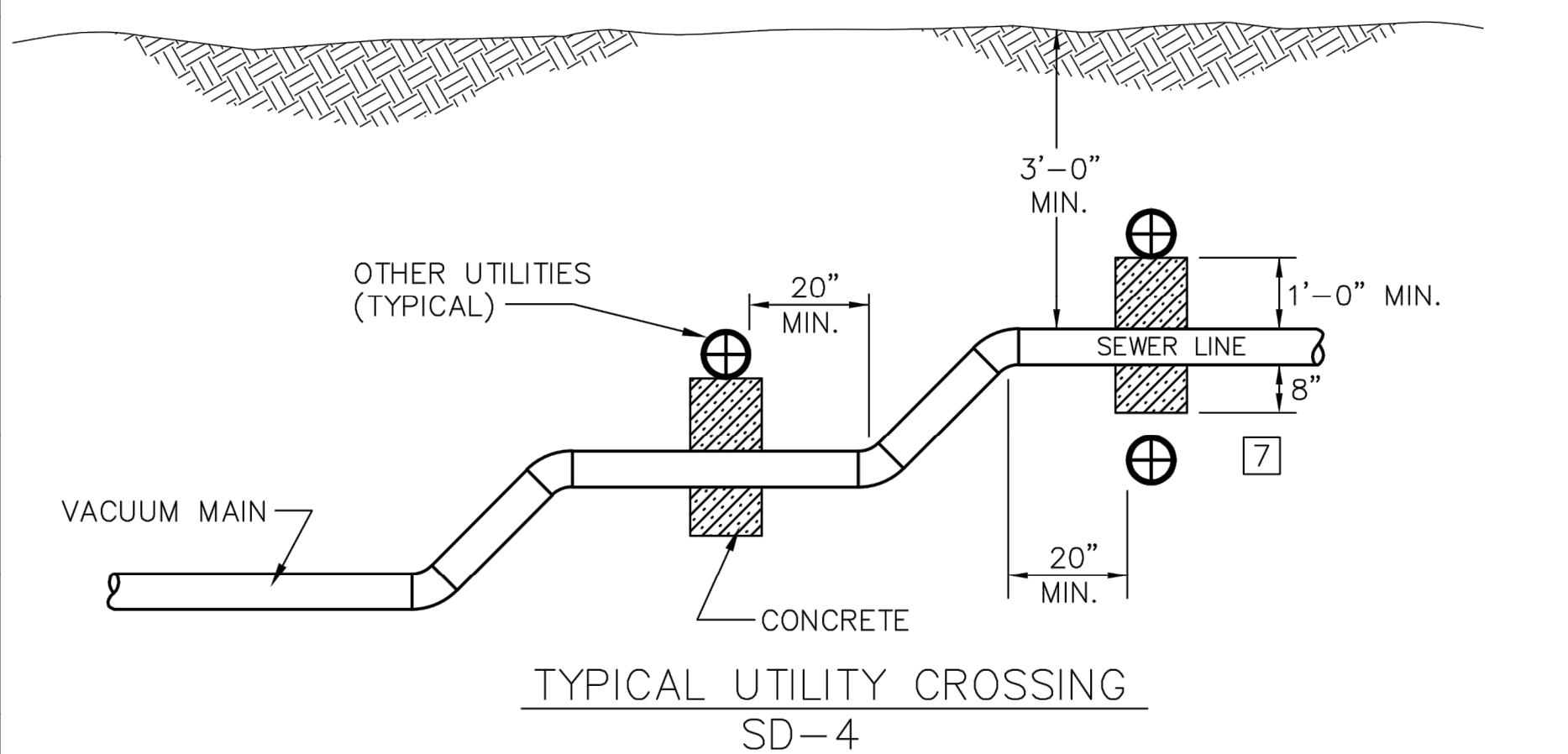
TYPICAL JACK AND BORE DETAIL



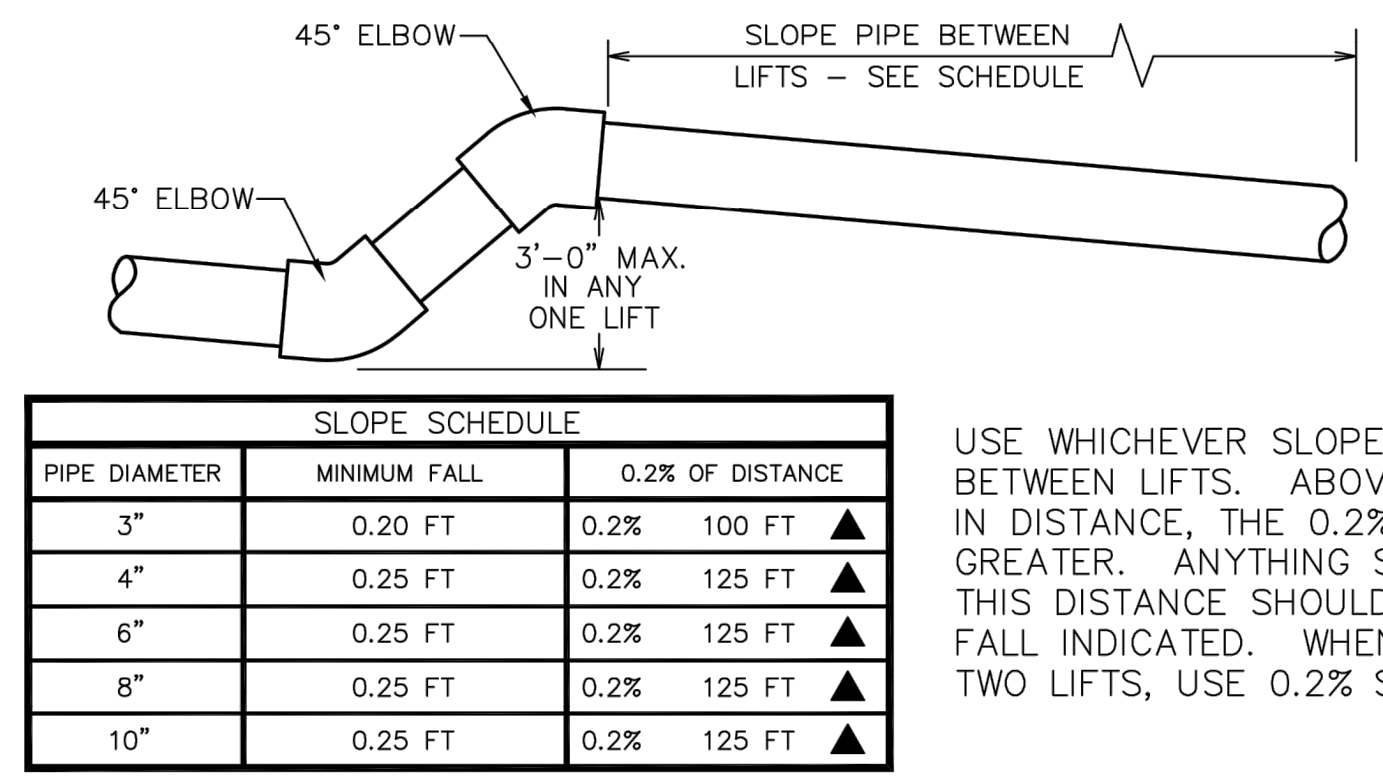
TYPICAL TRENCH SECTION SD-2



TYPICAL TRENCH SECTION (2-LINE) SD-3



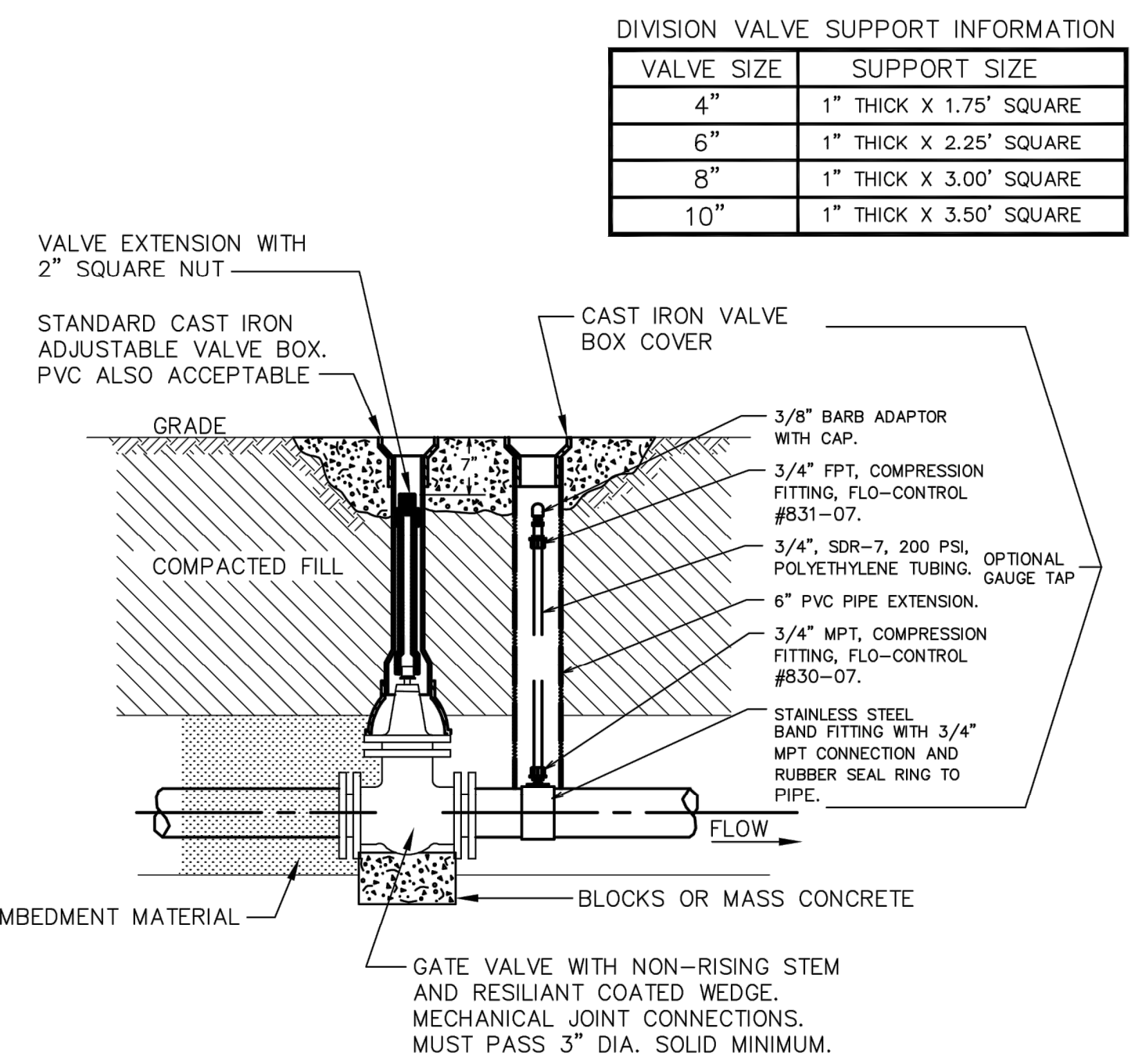
TYPICAL UTILITY CROSSING SD-4



| SLOPE SCHEDULE | | | |
|----------------|--------------|------------------|----------|
| PIPE DIAMETER | MINIMUM FALL | 0.2% OF DISTANCE | |
| 3" | 0.20 FT | 0.2% | 100 FT ▲ |
| 4" | 0.25 FT | 0.2% | 125 FT ▲ |
| 6" | 0.25 FT | 0.2% | 125 FT ▲ |
| 8" | 0.25 FT | 0.2% | 125 FT ▲ |
| 10" | 0.25 FT | 0.2% | 125 FT ▲ |

USE WHICHEVER SLOPE IS GREATER BETWEEN LIFTS. ABOVE THIS LENGTH ▲ IN DISTANCE, THE 0.2% SLOPE IS GREATER. ANYTHING SHORTER THAN THIS DISTANCE SHOULD USE MINIMUM FALL INDICATED. WHEN NOT BETWEEN TWO LIFTS, USE 0.2% SLOPE.

LIFT DETAIL AND SLOPE SCHEDULE SD-5



| DIVISION VALVE SUPPORT INFORMATION | |
|------------------------------------|-------------------------|
| VALVE SIZE | SUPPORT SIZE |
| 4" | 1" THICK X 1.75' SQUARE |
| 6" | 1" THICK X 2.25' SQUARE |
| 8" | 1" THICK X 3.00' SQUARE |
| 10" | 1" THICK X 3.50' SQUARE |

DIVISION VALVE AND OPTIONAL GAUGE TAP SD-7

LIFTS:

- MINIMUM SLOPE BETWEEN LIFTS 0.20% X LENGTH OR 0.25 FT. FALL, WHICHEVER IS GREATER (FOR 4" AND LARGER VACUUM LINES).
- FOR 3" SERVICE LATERALS, MINIMUM SLOPE BETWEEN LIFTS = 0.2% X LENGTH OR 0.20 FEET FALL, WHICHEVER IS GREATER.
- MINIMUM SPACING BETWEEN LIFTS = 20'-0".
- MAXIMUM ELEVATIONS IN ANY ONE LIFT = 3'-0".

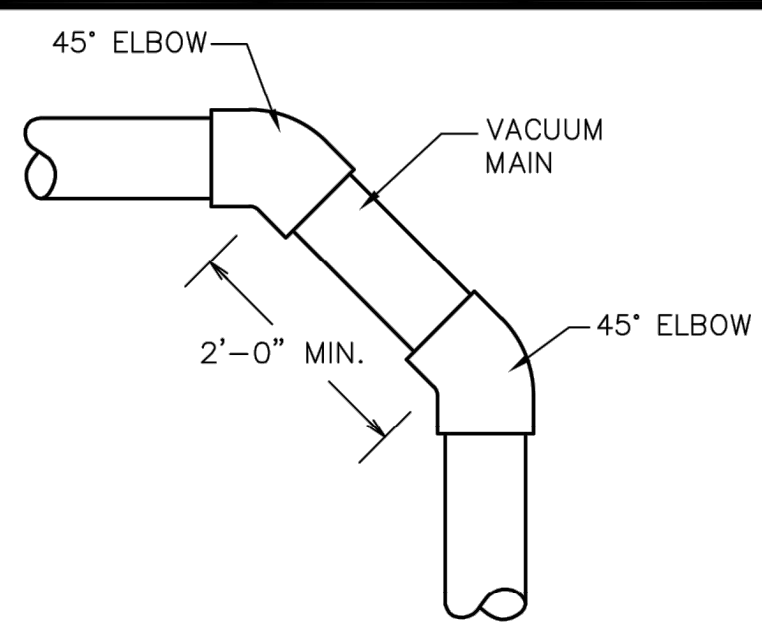
GENERAL NOTES:

SERVICE LINES

- MINIMUM LENGTH OF PIPING FROM MAIN TO VALVE PIT = 5'-0".
- SLOPE FROM VALVE PIT TO MAIN=2" OR 0.20% FALL (WHICHEVER IS GREATER).
- MINIMUM DISTANCE FROM VALVE PIT TO LIFT IN SERVICE LINE = 5'-0".
- MINIMUM DISTANCE FROM LIFT IN SERVICE LINE TO CROSSOVER CONNECTION=5'-0".

CROSSOVER CONNECTIONS (SERVICE LINE OR BRANCH CONNECTION TO MAIN)

- MINIMUM SPACING BETWEEN ANY TWO CROSSOVER CONNECTIONS = 5'-0".
- MINIMUM DISTANCE FROM TOP OF LIFT TO ANY CROSSOVER CONNECTION= 6'-0".
- ALL CROSSOVER CONNECTIONS MUST ENGER OVER TOP OF THE MAIN (EVE IN VERTICAL POSITION OR 45 DEGREE ALTERNATE ALIGNMENT).
- LONG TURN 90° PERMITTED AS PART OF CROSSOVER TO MAIN CONNECTION AT MAIN LINE ONLY.



CHANGE IN DIRECTION SD-6

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| NO. | REVISIONS | DATE |
|-----|--|----------|
| 4 | MODIFIED NOTES (BMB) | 12/04/01 |
| 3 | SCH. 40 PRESSURE FITTINGS ADDED TO SD-5 & SD-6 (BMB) | 10/20/00 |
| 2 | REVISED LIFT DETAIL AND SLOPE SCHEDULE | 2/18/00 |
| 1 | REVISED SD-5, DELETED 12" PIPE, ADDED 4" PIPE | 8/03/99 |

STANDARD LINE DETAILS

DATE: 06/05/2025
SCALE: NOT TO SCALE
DRAWING NO. 3

DRAWN BY: ROB/MDM/BMB
DESIGN BY: MAT

DATE: AUG. 08, 1998
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FIRM # C-2796

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ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinass dewitt

SEAL
06/05/2025

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SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
AIRVAC DETAILS

Issue Dates:

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| 06/05/2025: | SITE CONSTRUCTION SUBMITTAL 3 |

Date: 06/05/2025
Scale: NO SCALE

Drawn By: JLB
Checked By: JDW

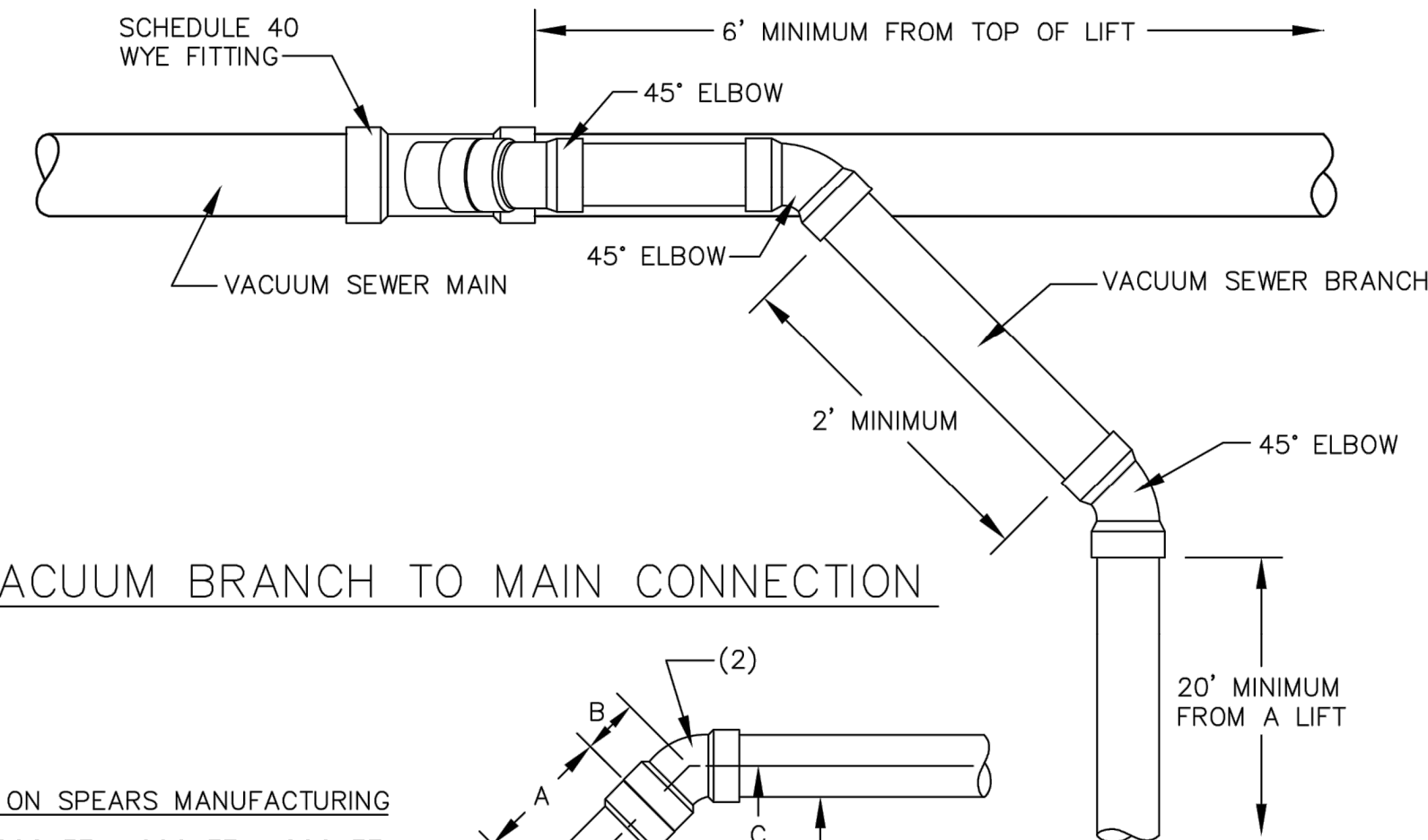
Project Number:
22-0016-742

Drawing Number:
C.8.5

AIRVAC PROJECT NOTES

5 GAUGE TAPS SHALL BE PROVIDED DOWN STREAM OF ALL VACUUM MAIN/BRANCH VALVES.

7 MAINTAIN MINIMUM SEPERATION AS REQUIRED BY LOCAL AND STATE REGULATIONS.

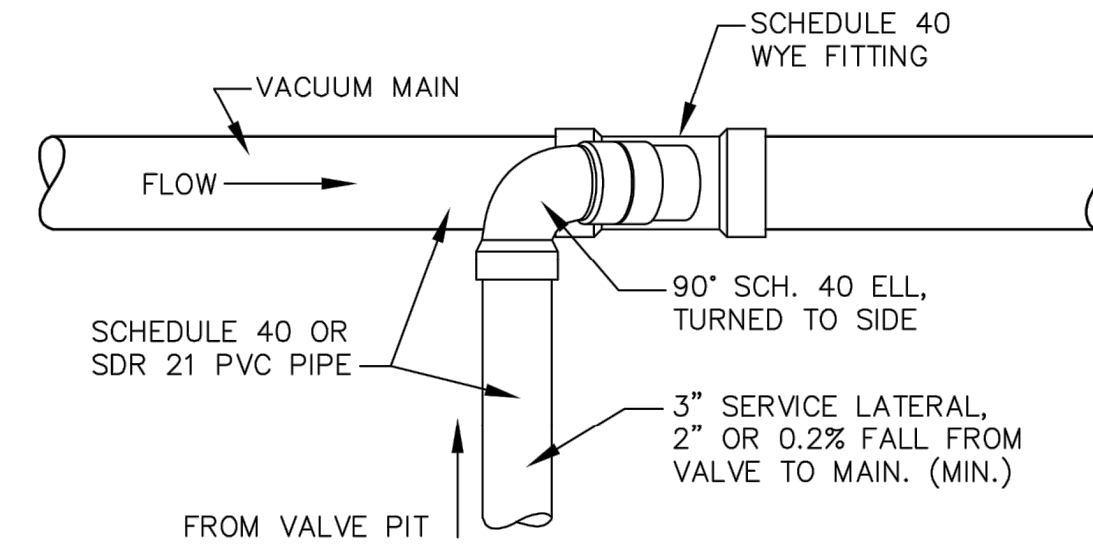


VACUUM BRANCH TO MAIN CONNECTION

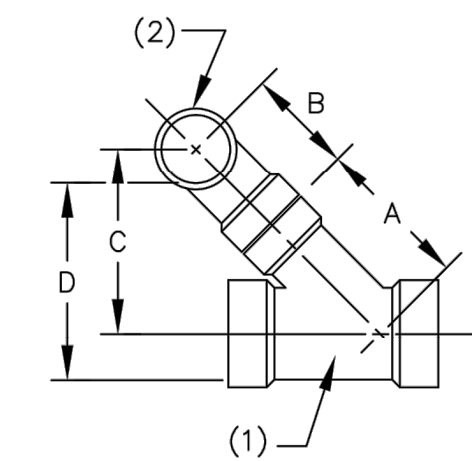
DIMENSIONS BASED ON SPEARS MANUFACTURING
 (1) 45 DEG WYE, SOCKET x SOCKET x SOCKET
 (2) 45 DEG ELL, SOCKET x SOCKET

| WYE SIZE | A | B | C | D- INVERT |
|--------------|---------|----------|--------|-----------|
| 4 x 4 x 4 | 8 3/4" | 3 5/16" | 8.53" | 0.71' |
| 4 x 4 x 3 | 9 1/4" | 3 1/16" | 8.70" | 0.73' |
| 6 x 6 x 6 | 12 1/8" | 5 9/16" | 12.5" | 1.04' |
| 6 x 6 x 4 | 10" | 3 5/16" | 9.41" | 0.78' |
| 6 x 6 x 3 | 10 1/2" | 3 1/16" | 9.59" | 0.80' |
| 8 x 8 x 8 | 18 3/4" | 6 13/16" | 18.07" | 1.52' |
| 8 x 8 x 6 | 16 1/4" | 5 9/16" | 15.42" | 1.30' |
| 8 x 8 x 4 | 14 1/4" | 3 5/16" | 12.42" | 1.05' |
| 8 x 8 x 3 | 13" | 3 1/16" | 11.36" | 0.99' |
| 10 x 10 x 10 | 22 3/8" | 8 19/32" | 21.90" | 1.89' |
| 10 x 10 x 8 | 20 1/4" | 6 13/16" | 19.13" | 1.61' |
| 10 x 10 x 6 | 17 3/4" | 5 9/16" | 16.46" | 1.42' |
| 10 x 10 x 4 | 15 3/4" | 3 5/16" | 13.48" | 1.18' |
| 10 x 10 x 3 | 14 3/4" | 3 1/16" | 12.33" | 1.08' |

VACUUM BRANCH TO MAIN LINE CONNECTION
SD-8



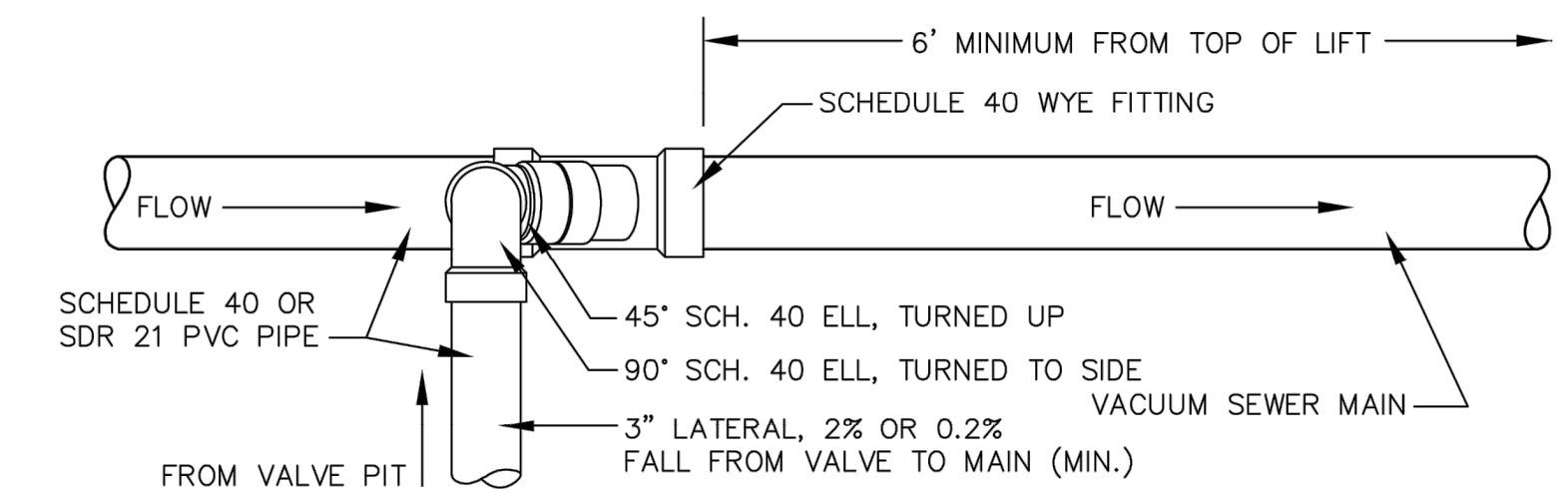
VALVE PIT TO MAIN CONNECTIONS



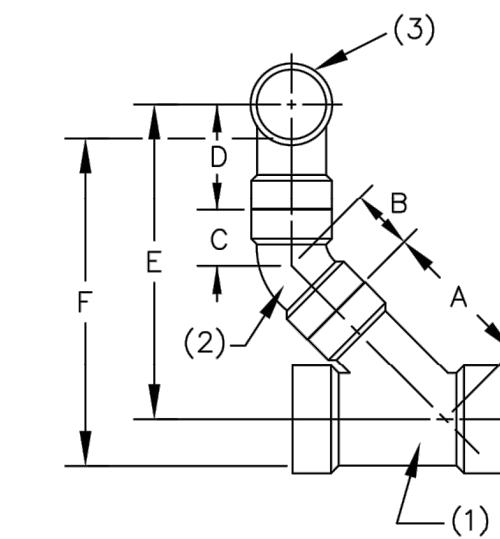
DIMENSIONS BASED ON SPEARS MANUFACTURING
 (1) 45 DEG WYE, SOCKET x SOCKET x SOCKET
 (2) 90 DEG ELL, SOCKET x SOCKET

| WYE SIZE | A | B | C | D- INVERT |
|-------------|---------|----------|--------|-----------|
| 4 x 4 x 3 | 9 1/4" | 3 25/32" | 9.32" | 0.78' |
| 6 x 6 x 3 | 10 1/2" | 3 25/32" | 10.21" | 0.85' |
| 8 x 8 x 3 | 13" | 3 25/32" | 11.86" | 1.00' |
| 10 x 10 x 3 | 14 3/8" | 3 25/32" | 12.84" | 1.10' |

VACUUM SERVICE LATERAL TO MAIN OR BRANCH CONNECTION
SD-9



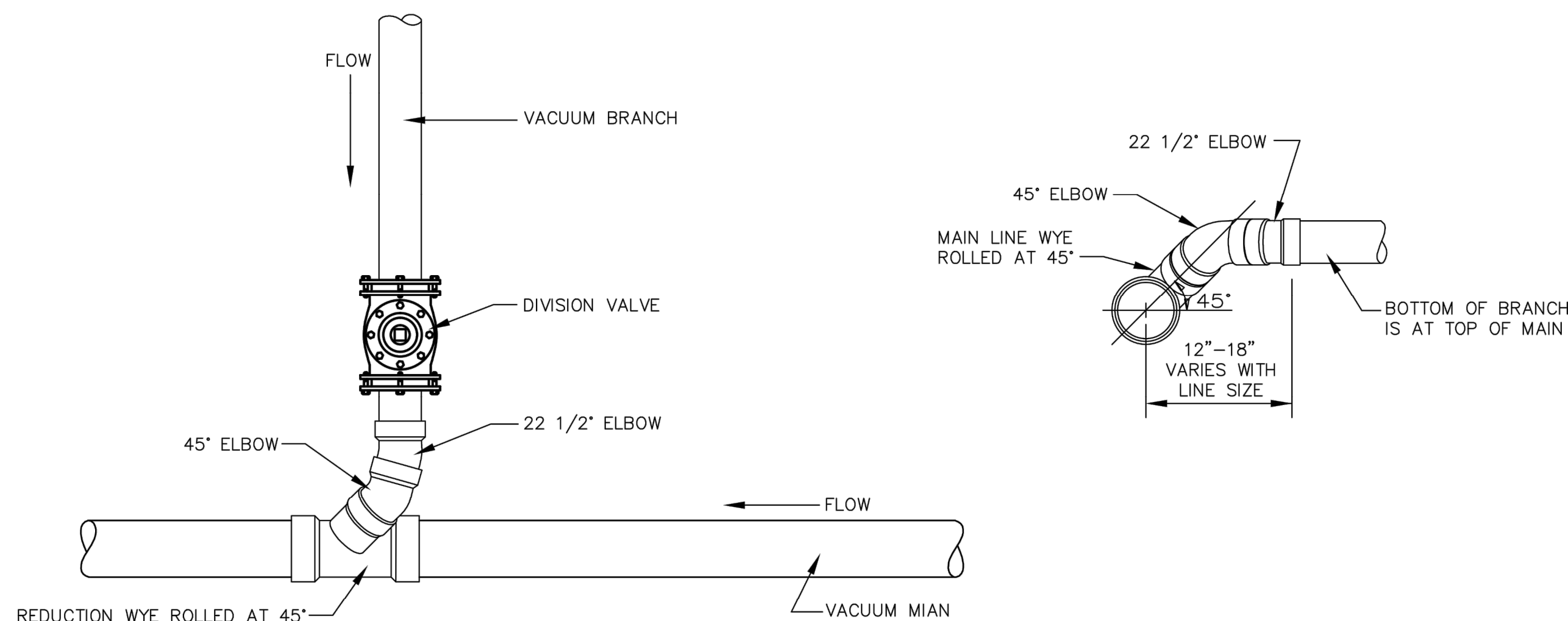
VALVE PIT TO MAIN CONNECTIONS



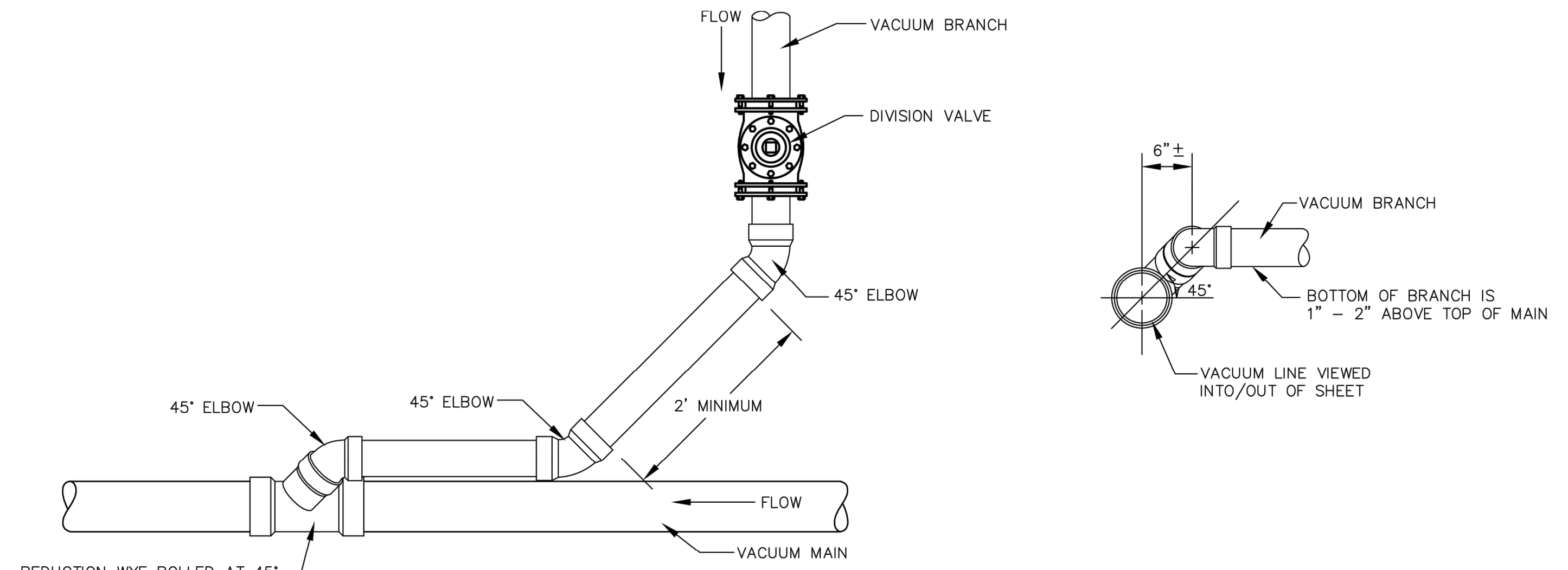
DIMENSIONS BASED ON SPEARS MANUFACTURING
 (1) 45 DEG WYE, SOCKET x SOCKET x SOCKET
 (2) 45 DEG ELL, SOCKET x SOCKET
 (3) 90 DEG ELL, SOCKET x SOCKET

| WYE SIZE | A | B | C | D | E | F- INVERT |
|-------------|---------|---------|---------|----------|--------|-----------|
| 4 x 4 x 3 | 9 1/4" | 3 1/16" | 3 1/16" | 3 25/32" | 15.55" | 1.31' |
| 6 x 6 x 3 | 10 1/2" | 3 1/16" | 3 1/16" | 3 25/32" | 16.43" | 1.38' |
| 8 x 8 x 3 | 13" | 3 1/16" | 3 1/16" | 3 25/32" | 18.20" | 1.53' |
| 10 x 10 x 3 | 14 3/8" | 3 1/16" | 3 1/16" | 3 25/32" | 19.17" | 1.62' |

VALVE SERVICE CONNECTIONS
SD-10



ALTERNATE VACUUM BRANCH TO MAIN LINE CONNECTION
SD-11

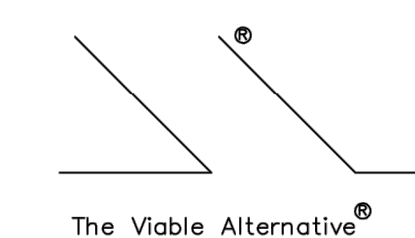


ALTERNATE VACUUM BRANCH TO MAIN LINE CONNECTION
SD-12

AIRVAC VACUUM SEWER SYSTEMS

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| 1 | | REVISED TABLES AND PIPING | 7/12/98 | DATE | | DRAWN BY | | DATE | | SCALE | | DRAWING NO. | |
|-----|--|---------------------------|---------|---------|--|--------------|--|--------------|--|--------------------|--|---------------|--|
| NO. | | REVISIONS | | DATE | | DESIGN BY | | DATE | | SCALE | | DRAWING NO. | |
| 1 | | REVISED TABLES AND PIPING | | 7/12/98 | | DRAWN BY ROB | | DATE 1/25/99 | | SCALE NOT TO SCALE | | DRAWING NO. 4 | |

LINE CONNECTION DETAILS

AIRVAC STANDARD

PLAN PREPARED BY:
FIRM # C-2798

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ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

carolinas
dewitt

SEAL
021180
NORTH CAROLINA PROFESSIONAL ENGINEER
D. WHITAKER
06/05/2025

SITE CONSTRUCTION PLANS
TOWN OF BEAUFORT, CARTER COUNTY, NORTH CAROLINA
ENCLAVE AT BEAUFORT CLUB
FOR
DEWITT CAROLINAS
AIRVAC DETAILS

Issue Dates:

| | |
|-------------|-------------------------------|
| 02/21/2025: | SKETCH PLAN SUBMITTAL |
| 04/25/2025: | SITE CONSTRUCTION SUBMITTAL |
| 05/09/2025: | SITE CONSTRUCTION SUBMITTAL 2 |
| 06/05/2025: | SITE CONSTRUCTION SUBMITTAL 3 |

Date: 06/05/2025
Scale: NO SCALE

Drawn By: JLB
Checked By: JDW

Project Number:
22-0016-742

Drawing Number:
C.8.6