

Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516 252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, February 21, 2022 – Virtually Via Zoom Monthly Meeting

Call to Order

Roll Call

Agenda Approval

Minutes Approval

1. January 2022 Planning Board Minutes

Election of Officers

Public Hearing

1. Modify/Revise the Existing Planned Unit Development (PUD) for Beau Coast Subdivision

New Business

- 1. Preliminary Plat Beau East Village Phase 1
- 2. Case #22-06 Special Use Permit for a Mini-Storage facility at 2150 & 2176 Live Oak Street
- 3. Preliminary Plat for Salt Wynd Preserve Phase I

Public Comment

Commission / Board Comments

Staff Comments

Adjourn





Town of Beaufort, NC

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Town of Beaufort Planning Board Regular Meeting
6:00 PM Monday, January 18, 2022 - Held Virtually Via Zoom due to the COVID-19
Pandemic
Minutes

Call to Order

Chair Neve called the January 18, 2022 Planning Board meeting to order at 6:00pm.

Roll Call

Chair Neve asked Secretary Anderson to conduct a roll call.

In attendance: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, and Member Meelheim.

Secretary Anderson declared a quorum present.

Also present for the meeting were Commissioner Melvin Cooper, Commissioner John Hagle, Kyle Garner, Samantha Burdick, and Laurel Anderson.

Agenda Approval

Vice Chair Merrill made the motion to approve the agenda as presented and Member Meelheim made the second. Secretary Anderson took a roll call vote that was unanimous.

Voting yea: Chair Neve, Vice Chair Merrill, Member Bowler, Member Meelheim.

Minutes Approval

Member Bowler made the motion to approve the minutes as presented and Vice-Chair Merrill made the second. Secretary Anderson took a roll call vote that was unanimous.

Voting yea: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim.

Public Hearing

1. Case #22-02 - Rezone 1113 Live Oak Street totaling 0.258 Acres from R-8 to RS-5

Chair Neve opened Case No. 22-02 and Kyle Garner presented on behalf of staff. Chair Neve asked if there were any questions from the board.

DRAFT DRAFT

Member Merrill asked if present zoning ordinances would allow the owner to build a garage as noted in the rezoning application. Mr. Garner stated that one separate structure would be allowed and encouraged the Board to look at all uses that would be permitted under a rezoning. Chair Neve asked the dimensions of the lot and if it would be sub-divisible. Mr. Garner responded that it was possible.

Chair Neve asked the applicant if he had anything to add and Mr. Allen had no additions.

Member LoPiccolo asked if the rezoning request would fit with a future land use plan. Mr. Garner stated that it would not meet with the current land use plan.

Chair Neve asked for any further discussion and there being none, asked for a motion.

Member LoPiccolo made the motion to approve Case 22-02 and to amend the current land use plan to reflect that change, and Member Meelheim made the second. Secretary Anderson took a roll call vote that was unanimous.

Voting yea: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim.

New Business

2. Case #22-01 Special Use Permit for an Accessory Dwelling Unit at 308 Ann Street

Chair Neve opened Case No. 22-01 and Kyle Garner presented on behalf of staff. Chair Neve asked if there were any questions from the board.

Member LoPiccolo asked if there were any objections from the applicant's neighbors, and Mr. Garner responded that there were none. Member Bowler asked about permeable vs. impermeable surfaces, which Mr. Garner said came under the purview of the Beaufort Historic Commission.

Chair Neve asked about setbacks and Mr. Garner said that as the request was for residential use with 16' or less in height, the setback would be 5' from the rear. Ms. Afflerbach verified that the height of the building would be 15' 9.5".

Chair Neve asked if there were any further questions for staff or the applicant, and there being none he asked for a motion.

Member Bowler made the motion to approve Case 22-01 and Member Merrill made the second. Secretary Anderson took a roll call vote that was unanimous.

Voting yea: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim.

Public Comments

None.

Commission / Board Comments

None.

Staff Comments

Mr. Garner stated that elections would be held during the next month's meeting, and that three items had already been submitted for that meeting. The draft CAMA Land Use Plan would be brought to the March Planning Board meeting for their review. The zoning and subdivision ordinances would then be updated with the addition of new items including short-term rentals, which would set policy for the next ten to fifteen years.

DRAFT

DRAFT

1.

Adjourn

Member LoPiccolo made the motion to adjourn and Member Bowler seconded the motion. Secretary Anderson took a roll call that was unanimous.

Voting yea: Chair Neve, Vice Chair Merrill, Member Bowler, Member LoPiccolo, Member Meelheim.

Chair Neve then declared the meeting adjourned.

Chair Neve	
Board Secretary Anderson	



Town of Beaufort, NC

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Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, February 21, 2022 – Virtual Meeting via Zoom

AGENDA CATEGORY: Public Hearing

SUBJECT: Modify/Revise the Existing Planned Unit Development

(PUD) for Beau Coast Subdivision

BRIEF SUMMARY:

The applicant wishes to modify the following standards in the PUD Booklet Dated December 20, 2021 for Beaufort East Subdivision as follows:

- Revise the layout for the Beaufort East Village section of the PUD (now known as Beau Coast West) generally as follows:
- Relocate the planned amenity site eastward from near the Ricks Ave. entrance to the intersection of Leonda Drive and Freedom Park Road;
- Expand and revise the initial vision of the amenity center in the new location;
- Add alley loaded lots where before all lots where front loaded;
- Add on-street parking as needed (per approved street cross sections available via the PUD);
- Revised lot types as follows (see new tabulations on page 18 "Key Plan for Lot Types":
- Reduce project wide townhome lots by 82;
- Increase single family lots by 88.

REQUESTED ACTION:

Conduct Public Hearing

Recommendation to Board of Commissioners

EXPECTED LENGTH OF PRESENTATION:

30 Minutes

SUBMITTED BY:

Kyle Garner, AICP

Planning & Inspections Director

BUDGET AMENDMENT REQUIRED:

N/A



Staff Report

To:Planning BoardDate:2/14/2022From:Kyle Garner, AICPMeeting Date:2/21/2022

Case Number 22-05

Summary of Request:

Revised the layout for the Beaufort East Village section of the PUD (now known as Beau Coast West) generally as follows:

- Relocate the planned amenity site eastward from near the Ricks Ave. entrance to the intersection of Leonda Drive and Freedom Park Road:
- Expand and revise the initial vision of the amenity center in the new location;
- Add alley loaded lots where before all lots where front loaded;
- Add on-street parking as needed (per approved street cross sections available via the PUD);

Revised lot types as follows (see new tabulations on page 18 "Key Plan for Lot Types":

- Reduce project wide townhome lots by 82;
- Increase single family lots by 88.

Background

Location(s) & PIN Lennoxville Road (Multiple)

Owner Blue Treasure, LLC

Applicant Withers & Ravenel, Engineers

Current Zoning PUD

Lot(s) Size & Conforming

Conformity Status

Existing Land Use Water Well Site & Undeveloped

□ Yes

CAMA Future Land

Use Map

Low Density Residential

Amendment Required

Adjoining Land Use &

Zoning

North Undeveloped Future Tracts, zoned PUD & Single

Family Residential (Jones Village) Zoned R-8

SouthMulti & Single Family Residential, zoned PUDEastUndeveloped, zoned PUD & Freedom ParkWestSingle Family Residential, Zoned R-8 & RS-5

⊠ No

Special Flood Hazard	⊠ Yes	⊠ No
Area		

Public Utilities

Water \boxtimes Available \square Not Available Sewer \boxtimes Available \square Not Available

Additional Information Prior to the Public Hearing the applicant will give a history on the

project as well as status report.

Requested Action

1. Conduct Public Hearing

2. Discussion on request to amend the Master Plan for Beau

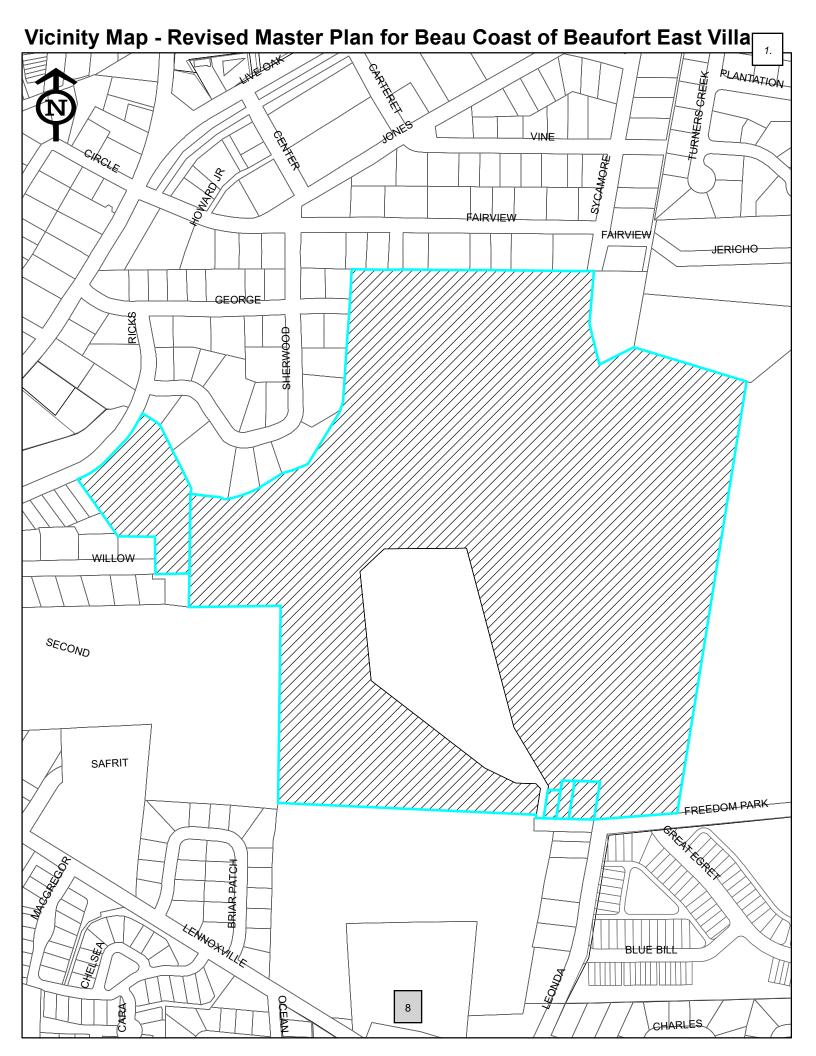
Coast

3. Recommendation to the Board of Commissioners regarding the amendments to the Master Plan for Beau Coast.

Attachments: Attachment – A - Vicinity Map

Attachment – B - PUD Amendment Cover Letter

 $Attachment-C - Revised \ PUD \ Zoning \ Master \ Plan \ Booklet$



<u>OWNER</u>	IAIL_HOU	MAIL_ST	MAIL_CITY	L_ST	AIL_ZVIAIL_ZI	MAIL_ADD2
BABCOCK,RICHARD JOHN JR	132	PLANTATION STREET	BEAUFORT	NC	6530 28516	
BAGDY,MALIA BARLOW	113	SHERWOOD BOULEVARD	BEAUFORT	NC	28516	
BARNES,CLINTON	310	FAIRVIEW DR	BEAUFORT	NC	28516	
BLUE TREASURE LLC			CARY	NC	27519	PO BOX 3557
BULLOCK,THOMAS M ETUX JANE	209	GEORGE ST	BEAUFORT	NC	28516	
CAVETT, WALLACE EUGENE	115	SHERWOOD BLVD	BEAUFORT	NC	1619 28516	
CHADWICK,MERITA CAROL	306	FAIRVIEW DRIVE	BEAUFORT	NC	28516	
COTTERMAN,RAYMOND E ETUX L/T	208	FAIRVIEW DR	BEAUFORT	NC	28516	
COX,EVELYN JOAN ETVIR CHARLES	302	GEORGE ST	BEAUFORT	NC	28516	
DEIULIIS,CHRISTOPHER ETUX	120	RICK AVE	BEAUFORT	NC	1641 28516	
DELVAUX,ANNE MARIE	500	FAIRVEIW DRIVE	BEAUFORT	NC	28516	
ELLISON,GEORGE C ETUX LAVERA	1106	LENNOXVILLE RD	BEAUFORT	NC	28516	
FERRUZZI,LIVIO ETUX MARIAGIULI	304	FAIRVIEW DR	BEAUFORT	NC	28516	
FITZPATRICK,CINDY	111	SHERWOOD BOULEVARD	BEAUFORT	NC	28516	
GRIMLEY,EDWARD ETAL TRUSTEE			BEAUFORT	NC	28516	PO BOX 32
HITCHCOCK,PATRICIA PEACH	118	WILLOW ST	BEAUFORT	NC	28516	
HOMAN, JAMES E ETUX ORIEL	200	FAIRVIEW DR	BEAUFORT	NC	28516	
IPOCK,JAMISON FODRIE	308	FAIRVIEW DR	BEAUFORT	NC	28516	
LENNON,JOSEPH ETUX DEVRA	123	MEL OAK DRIVE	CHAPEL HILL	NC	27516	
MANGUM,M BRANDON ETUX NANCY	/ 1514	GLEN EDEN DRIVE	RALEIGH	NC	27612	
MANN, DAVID E ETUX CYNTHIA Q	3409	MISTY LYNN COURT	FUQUAY VARINA	NC	27526	
MILLAR, VIRGINIA ETAL ELIZABETH	6	HARBOR ROAD	MARMORA	NJ	1824 08223	
MITCHELL,ROBIN			HAVELOCK	NC	28532	PO BOX 1883
OWENS,THOMAS STEPHEN	109	SHERWOOD BOULEVARD	BEAUFORT	NC	1619 28516	
PARKER,DAVID J	6292	ESTATE MAZARETJ	ST THOMAS	VI	00802	
PRANDONI,JOSE I ETUX MARISA E	112	RICKS AVENUE	BEAUFORT		1641 28516	
PRUDEN,MICHAEL LEE	301	GEORGE ST	BEAUFORT	NC	28516	
RICKS,CHRISTOPHER ALLEN	112	WILLOW ST	BEAUFORT	NC	28516	
RICKS,MICHAEL K ETUX LINDA	112	WILLOW ST	BEAUFORT	NC	28516	
SCHURDEVIN,KATHLEEN K	119	SHERWOOD BLVD	BEAUFORT	NC	28516	
SEABOARD MANAGEMENT LLC	35	TAMARAC AVE	PONTE VEDRA BEACH	FL	32081	
SHORT, DEBRA T	218	TAYLORWOOD DRIVE	BEAUFORT	NC	28516	
STOEHR,SALLY J	113A	SHERWOOD BLVD	BEAUFORT	NC	28516	



January 27, 2022

Mr. Kyle Garner Town of Beaufort Planning & Inspections Director 701 Front Street Beaufort, NC 28516

RE: Beau Coast PUD Amendment #6 - Dated December 20, 2021

Dear Mr. Garner,

Please find attached a Planned Unit Development Amendment (#6) dated December 20, 2021 for the Beaufort East Village Planned Unit Development. Digital and hard copies of the revised PUD Booklet and application are included with this submittal. The purpose of this amendment is as follows:

- Revised the layout for the Beaufort East Village section of the PUD (now known as Beau Coast West) generally as follows
 - Relocated the planned amenity site eastward from near the Ricks Ave. entrance to the intersection of Leonda Drive and Freedom Park Road;
 - o Expanded and revised the initial vision of the amenity center in the new location;
 - o Added alley loaded lots where before all lots where front loaded;
 - Added on-street parking as needed (per approved street cross sections available via the PUD);
- Revised lot types as follows (see new tabulations on page 18 "Key Plan for Lot Types":
 - o Reduced project wide townhome lots by 82;
 - o Increased single family lots by 88;
 - No net increase in total allowed density or total allowed lot count from existing PUD limits (791 units).
- Edited the Master Zoning Plan to show adjustments in the location of lot types;
- Edited Open Space plan to reflect the relocation of the Beau Coast West open space areas per new land use plan;
- Changed labeling from Beaufort East Village to Beau Coast West.

Please review these proposed amendment items and contact us with any questions.

Sincerely,

WithersRavenel

Don Mizelle

Director of Project Delivery



Town of Beaufort

701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516 252-728-2141 • 252-728-3982 fax www.beaufortnc.org

APPLICATION FOR AN AMENDMENT TO THE BEAUFORT ZONING MAP

Instructions:

Please complete the application below, include all the required attachments and the \$300.00 for Rezoning request with no Land Use Plan Change or \$400.00 for Rezoning Request with Land Use Plan Change and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390, Beaufort, N.C., 28516. Incomplete applications will not be processed and will be returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

APPLICANT INFORMATION Applicant Name: WithersRavenel Applicant Address: 219 Station Road Suite 101 Wilmington NC 28405 Phone Number: (910) 256-9277 Email: dmizelle@withersravenel.com Property Owner Name: Blue Treasure, LLC Address of Property Owner: PO Box 3557 Cary, NC 27519 Email: Karl@prestondev.com Phone Number: (919) 481-3000 **PROPERTY INFORMATION** Property Address: Lennoxville Road 15-Digit PIN: 731605005458000 Lot/Block Number: n/a Size of Property (in square feet or acres): 282 +/- acres Requested Zoning: PUD - Amendement Current Zoning: PUD Current Use of Property: Residential Vacant Commercial Other: Applicant Signature Date of Applicant's Signature 12-15-2021 Date of Owner's Signature

An application fee of \$300.00 for Rezoning request with no Land Use Plan Change or \$400.00 for Rezoning Request with Land Use Plan Change, either in cash, money order, or check made payable to the "Town of Beaufort," should accompany this application. Payments can be made in person on the day of submittal and at such time, a credit card can be used to make the payment. Credit card payments are subject to a 3% extra fee.

Please refer to the *Land Development Ordinance*, <u>Section 3</u> and all other pertinent sections for the information required to accompany this application.

REQUIRED ATTACHMENTS FOR AN AMENDMENT TO THE BEAUFORT ZONING MAP

Please provide the following as attachments to the zoning map amendment form:

- 1. A statement as to whether or not the proposed zoning amendment is consistent with the Beaufort Land Use Plan.
- 2. A statement as to how the zoning amendment will promote the public health, safety or general welfare of the Town of Beaufort.
- 3. Proof of ownership (For example: a copy of the deed or city tax statement).

If a property is owned by more than one individual or if multiple properties under different ownership are applying under one request, attach a statement and signatures indicating that all owners have given consent to request the zoning change.

- 4. An area map of property to scale which includes:
 - North Arrow;
 - All Property lines and accurate property line dimensions;
 - Adjacent streets and names;
 - Location of all easements;
 - Location of all structures:
 - Zoning classifications of all abutting properties.
- 5. Please submit one digital/electronic copy of any drawings or plans associated with the amendment. At least one paper copy of the drawings or plans should also be submitted.
- 6. A TYPED list all property owners (with addresses) within 100 feet of the boundary lines of all properties requested to be rezoned (notification of adjacent property owners by the Town is required by North Carolina law).

THE COMPLETE APPLICATION WITH SUPPORTING DOCUMENTATION IS DUE TO TOWN STAFF AT LEAST 15 WORKING DAYS PRIOR TO A SCHEDULED PLANNING BOARD MEETING.

The Town's website is **www.beaufortnc.org**.

OFFICE USE ONLY		Revised 08/2020
Received by:	Reviewed for Completeness By:	
Date:	Date Deemed Complete and Accepted:	

BEAUFORT EAST VILLAGE





PREPARED FOR: BLUE TREASURE, LLC





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	ii.	BC 39 B (2274 sq ft)	
	iii.	BC 39 C (2306 sq ft)	
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	i.	BEV 26 A (1927 sq ft)	
	ii.	BEV 26 B (1932 sq ft)	
	iii.	BEV 26 C (1896 sq ft)	
	iv.	BEV 26 D (1832 sq ft)	
3.	Single Family:	40' Wide 2 Car Garage Collection	31
	i.	BEV 40 A (2228 sq ft)	
	ii.	BEV 40 B (2335 sq ft)	
	iii.	BEV 40 C (2529 sq ft)	
	iv.	BEV 40 D (2791 sq ft)	
	V.	BEV 40 E (2925 sq ft)	

1.

Chapter 1. Planned Unit Development Elements

Introduction

The Existing Planned Unit Development

The Beaufort East Village Planned Unit Development (PUD) consists of approximately 283 acres of land situated between Taylor Creek and Turner's Creek in Beaufort, North Carolina. The existing PUD document was approved on September 8, 2008 by the Town of Beaufort Board of Commissioners and allowed for up to 671 total dwelling units with a mix of residential, commercial, and amenity uses. The vision for the PUD was centered upon creating "... a natural continuation of Beaufort, with new and exciting homes and amenities."

The PUD contains several design elements that emulate local land planning principals which serve to support the vision of a natural continuation of the town. Such elements include narrow pedestrian-oriented street designs with on-street parking, street trees, and sidewalks that encourage slow speed vehicular traffic. The position and orientation of the planned dwelling units relative to the public streetscape also supports the vision for the PUD.

A majority of the home sites are situated adjacent to natural areas or other open space features. The PUD is well connected internally with a system of pedestrian paths and sidewalks that allow for convenient access to various neighborhoods and amenities within Beaufort East Village.

Since the approval of Beaufort East Village in 2008, the following development activities have occurred:

- 16.05 acres of land and was dedicated to the Town of Beaufort for waste water utility sites and a well site and water tank sites;
- Construction of permitted wetland impacts was completed;
- Installation of landscaping and hardscapes for the future Shearwater Lane South corridor was completed; and
- Construction plans were approved by the Town of Beaufort for Phase 1A, 1B, and 1C of Beaufort East Village

The Proposed Planned Unit Development Amendment

Blue Treasure, LLC, the owners and developers of Beaufort East Village, propose to amend the existing PUD document to allow a greater variety of housing options for a wider range of potential residents. The introduction of specific types of attached single family (townhomes) lots into the PUD supports this effort.

The following general modifications to the existing PUD Master Plan are proposed:

- Reconfiguration of the internal street and lot layout to improve the overall project design;
- Increase in overall proposed density from 2.458 dwelling units per acre to 2.9 dwelling units per acre;
- Increase in open space area from 36% to 38%;
- Removal of the central commercial Town Center concept;
- Revision to the planned street cross-sections to provide wider sidewalks and additional on-street parking options; and
- Revisions to the Master Plan to reflect compliance with State stormwater/watershed standards. Incorporation of lower density development options within the Turner Creek watershed portion of the property and provisions for stormwater management devices (BMPs) to address pockets of higher density development within the project boundary.

Planned Unit Development master plans often evolve over the lifetime of the project to better meet the needs of the community and the ever-changing real estate market. This amendment seeks to update the 2008 Beaufort East Village PUD document so that it continues to meet the goals originally envisioned in 2008 while addressing the needs of today and beyond.







Page

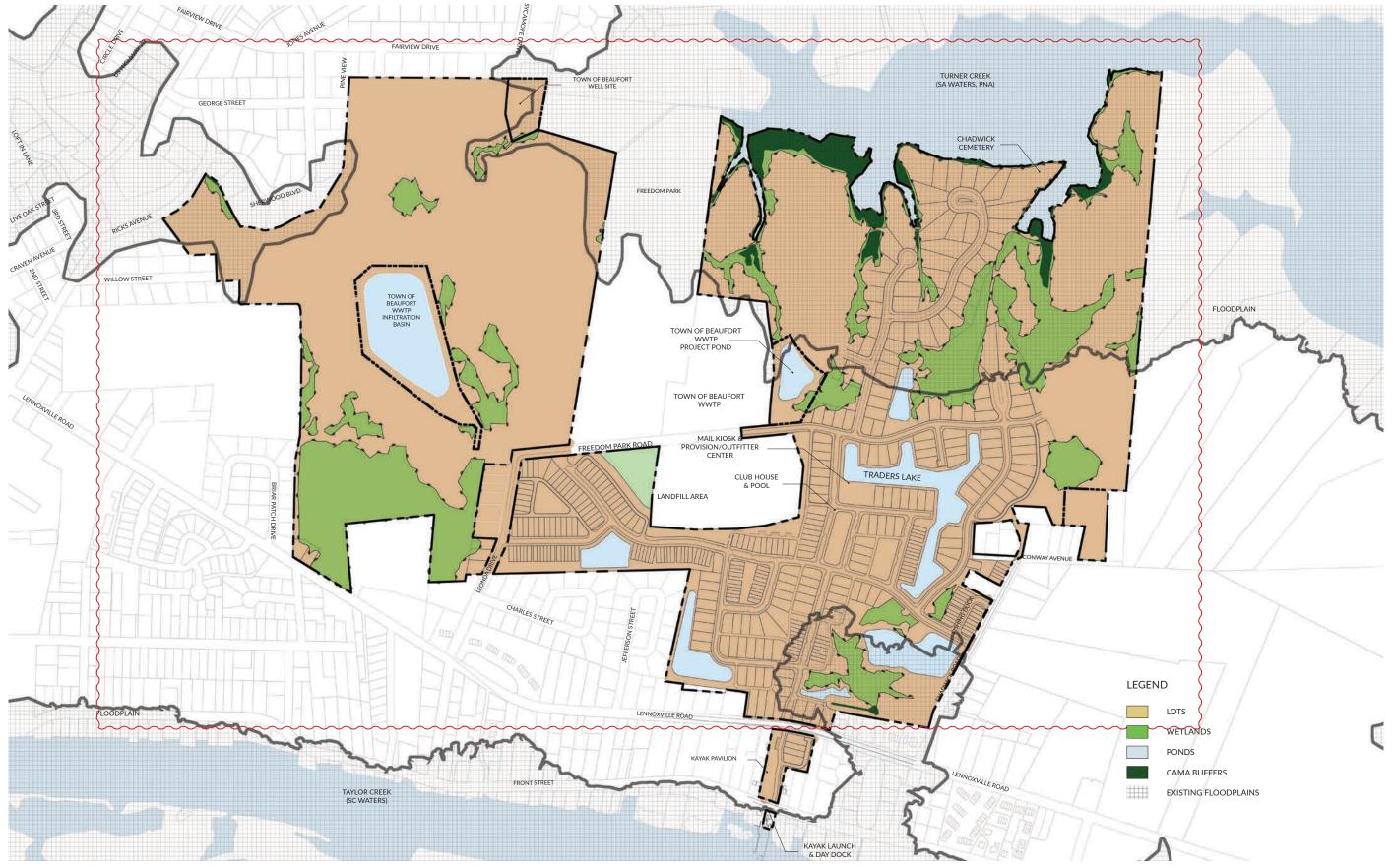
Aerial of the Site





All the drawings are conceptual and actual conditions may vary.

Existing Conditions Plan





Site Watershed Map

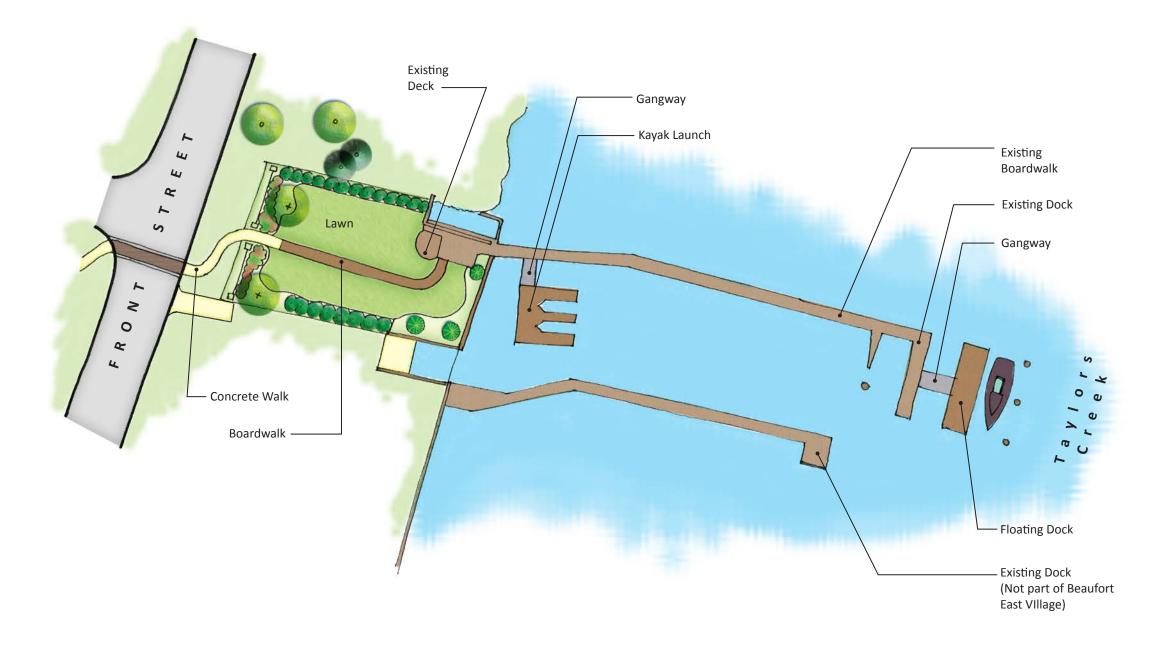




Conceptual Land Use Plan



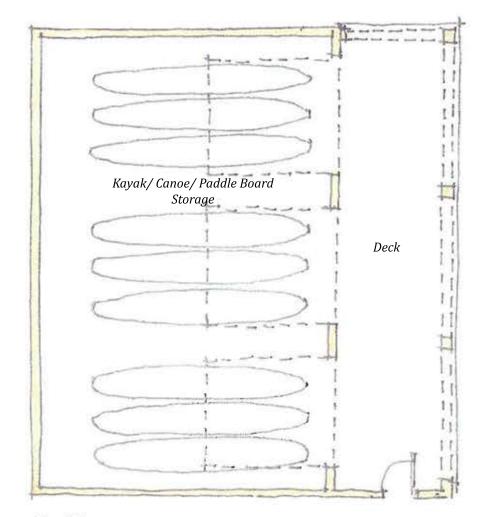








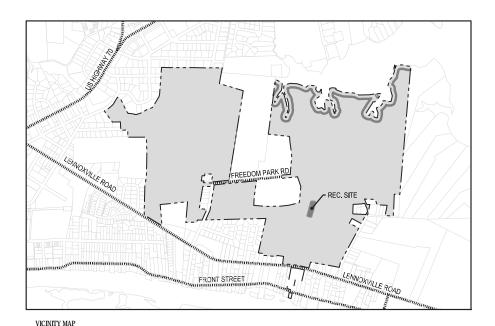




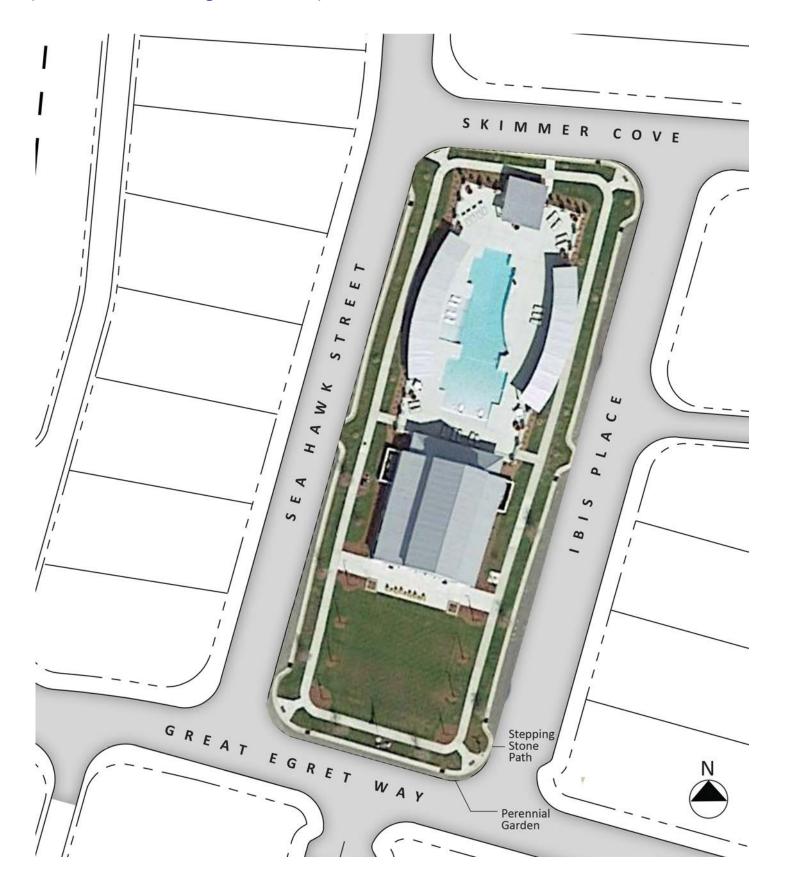
Floor Plan



Pool and Clubhouse Detail (Beau Coast Neighborhood)



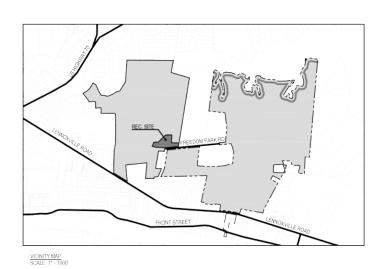


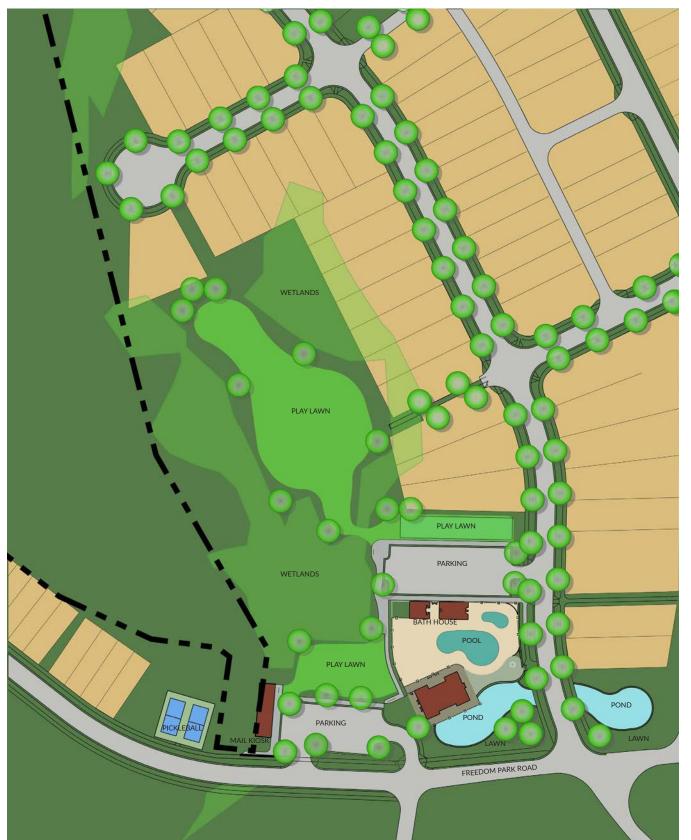




December 20, 2021

Conceptual Amenity Site Plan (Beau Coast West Neighborhood)









Conceptual architecture - Amenity Site (Beau Coast West Neighborhood)



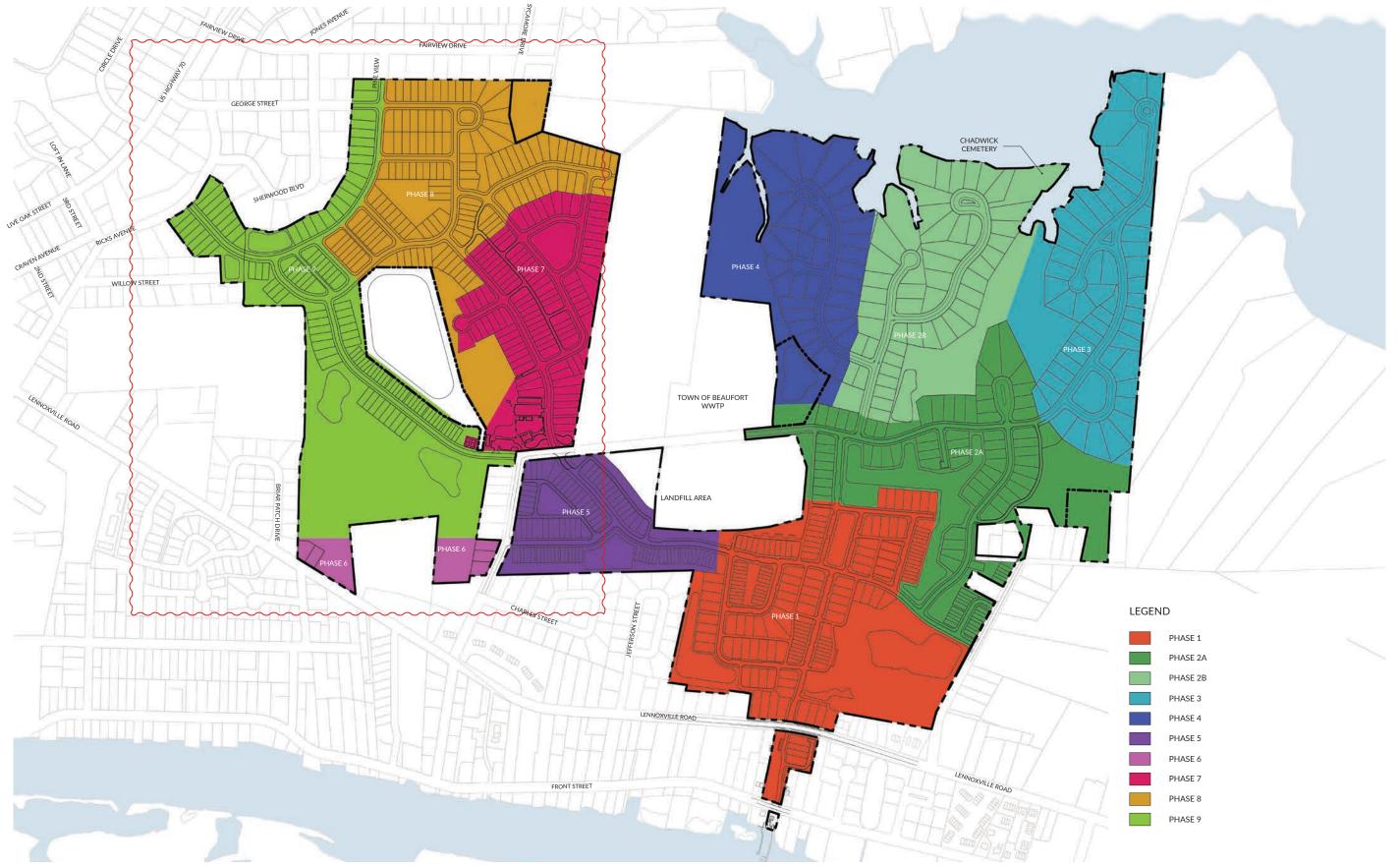






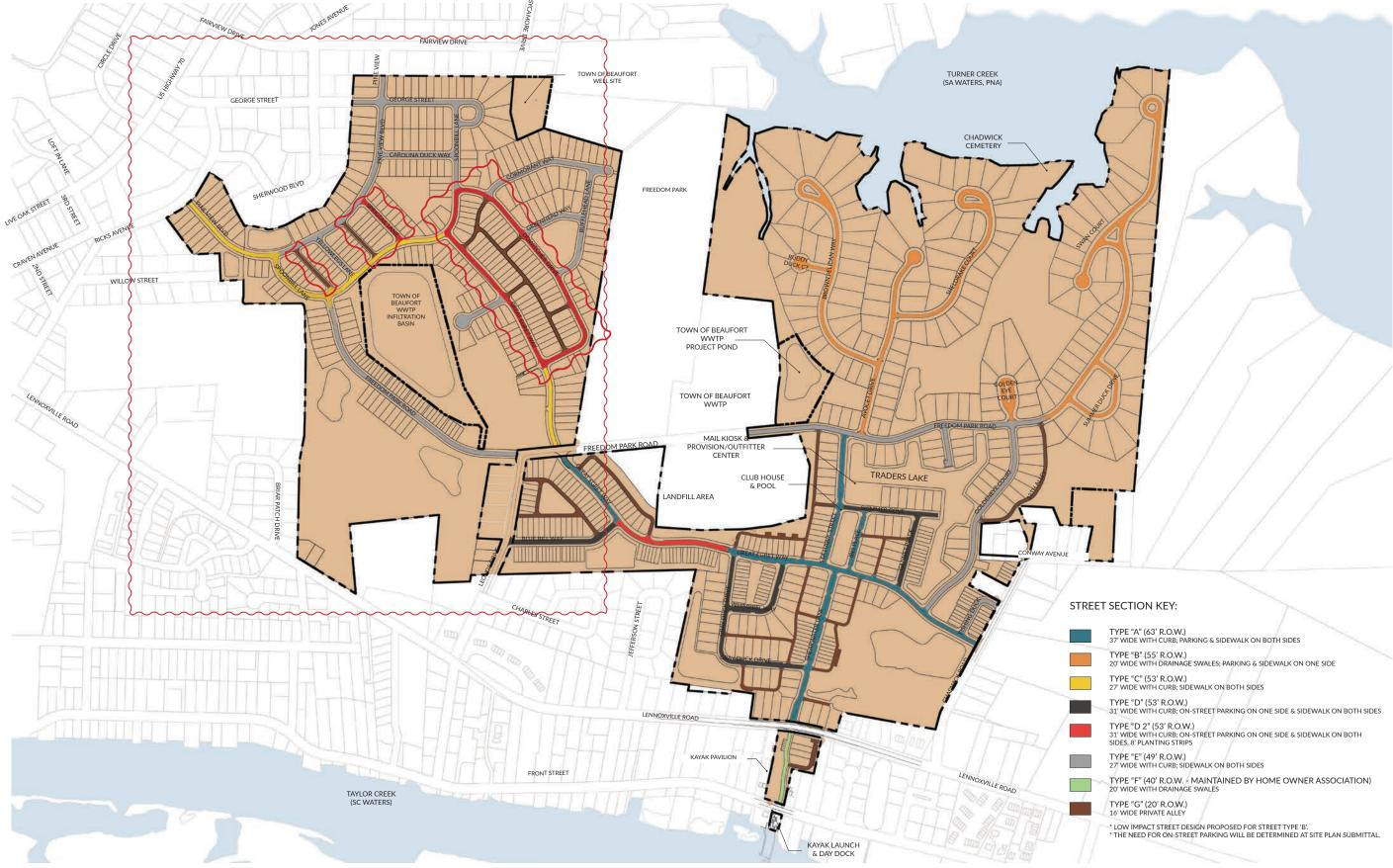


PUD Phasing Plan





Key Plan for Street Cross Sections

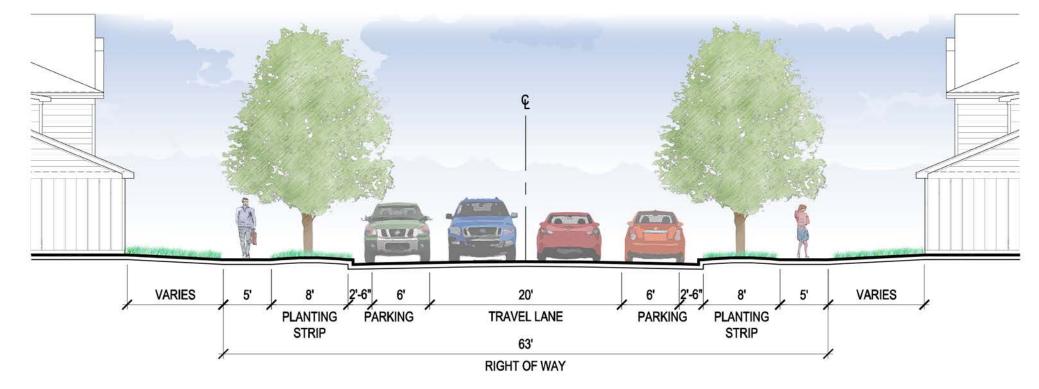




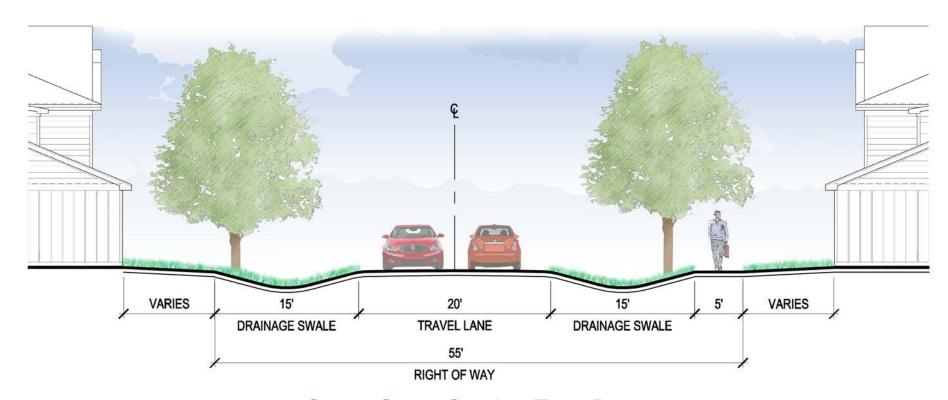
Street Cross Sections

1.

*NOTE: The need for on-street parking will be determined at site plan submittal.

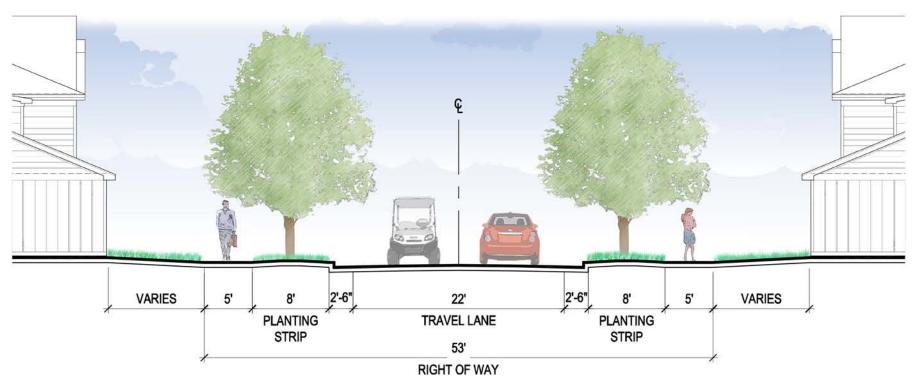


Street Cross Section Type A

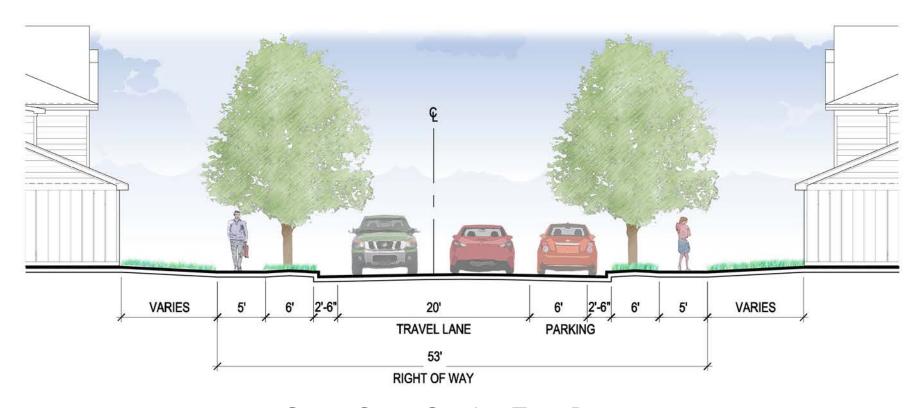


Street Cross Section Type B



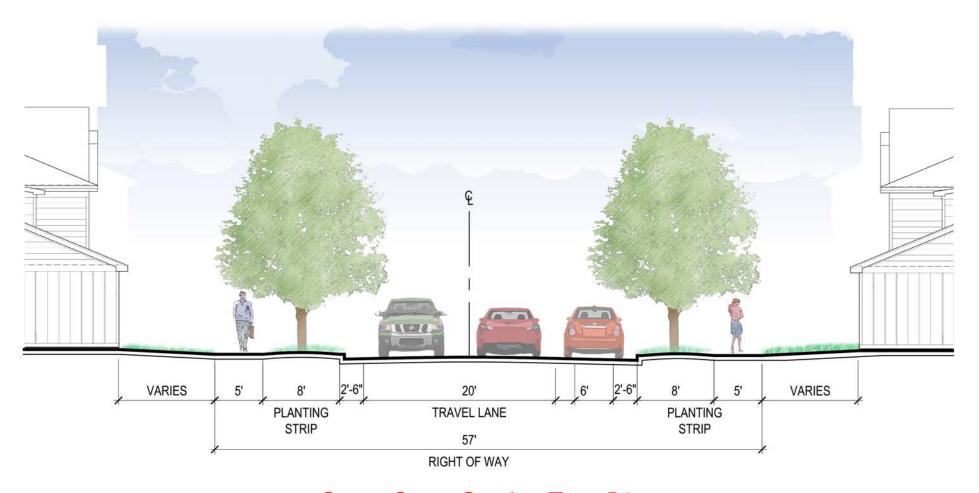


Street Cross Section Type C



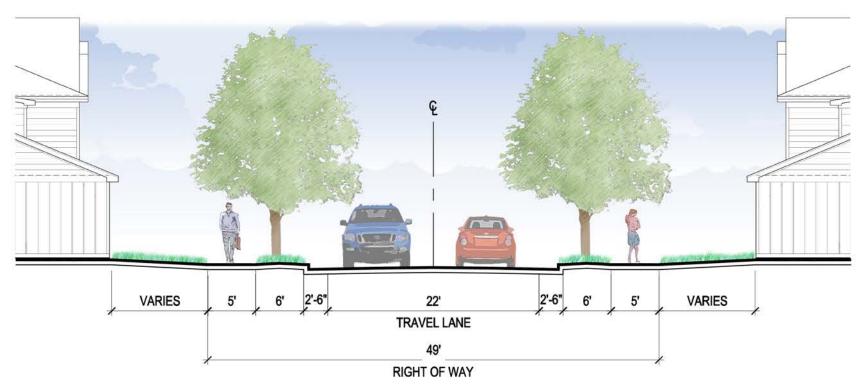
Street Cross Section Type D



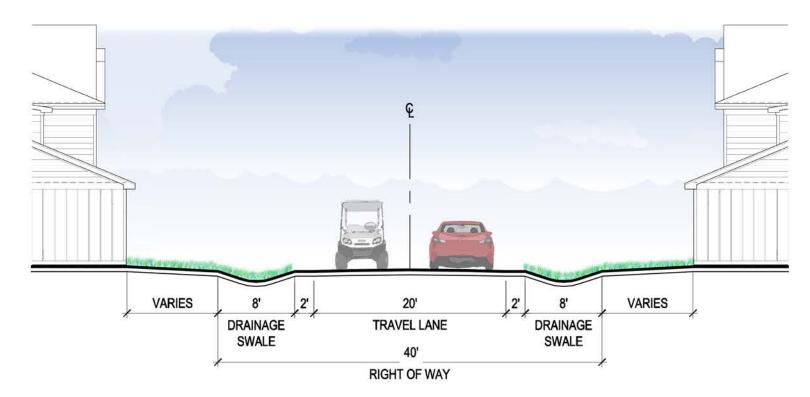


Street Cross Section Type D2

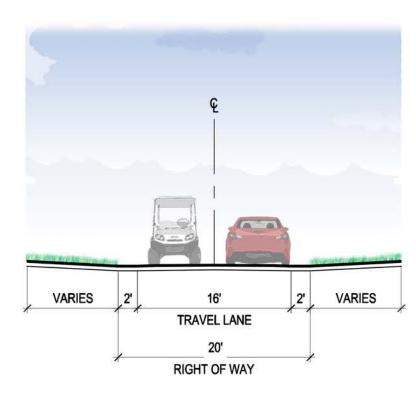
Street Cross Sections



Street Cross Section Type E



Street Cross Section Type F



Street Cross Section Type G

*NOTE: To be maintained by HOA



Permeable Paving Options

4° MIN. PERVIOUS CONCRETE
PER ACI 522.1-13 SPECIFICATION

MIN 3° WASHED NO 57 STONE

PERVIOUS CONCRETE SIDEWALK

DETAIL
NTS

2" MIN PERVIOUS ASPHALT
(TO MEET NCDOT 2012 STANDARD
SPECIFCATIONS - SECTION 652)

4" (100 mm) THICK WASHED NO. 57 STONE
OPEN-GRADED BASE

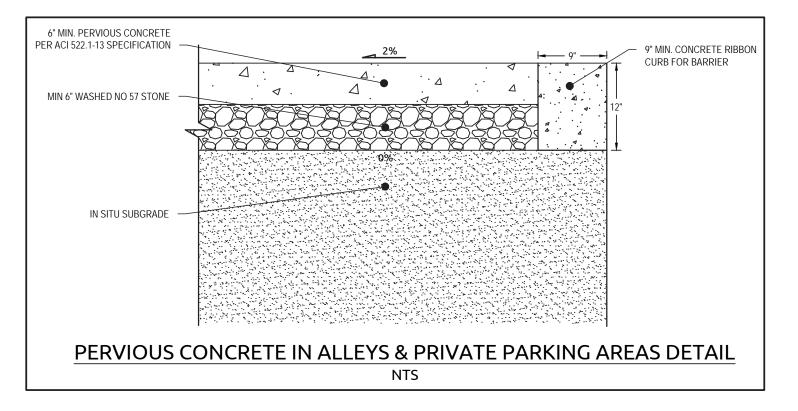
MIN 6" THICK NO. 2 WASHED STONE SUBBASE

GEOTEXTILE ON BOTTOM AND SIDES OF
OPEN-GRADED BASE

COMPACT SUBGRADE TO 95%
MODIFIED PROCTOR (ASTM D.1557)
IN ACCORDANCE WITH GEOTECHNICAL
ENGINEER'S RECOMMENDATIONS

PERVIOUS ASPHALT IN ALLEY AREAS DETAIL
NTS

The developer of Beaufort East Village PUD may elect to utilize these permeable paving options for the areas cited below. These permeable pavement options are not required to be used. Minor variations to these design specifications can be approved by Town engineering staff without a PUD amendment.

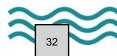




Key Plan for Lot Types



 $^{^{\}star}$ ONE-STORY DETACHED GARAGES W/O HABITABLE SPACE MAY HAVE 0' SIDE SETBACK



^{**} TOWNHOME BUILDING TO BUILDING SEPARATION IS A MINIMUM OF 10'.

Beau Coast Conceptual Lot Types



LOT TYPE A
BEAU COAST - 40' FRONT LOAD w/ DETACHED GARAGE

* OPTIONAL TWO-STORY GARAGE w/ HABITABLE SPACE SHALL HAVE THE SAME SETBACKS AS THE PRIMARY STRUCTURE



LOT TYPE B2 BEAU COAST - 4' SETBACK 32' REAR ALLEY LOAD

4' FRONT SETBACK

SIDEWALK

GREEN SPACE

ALLEY

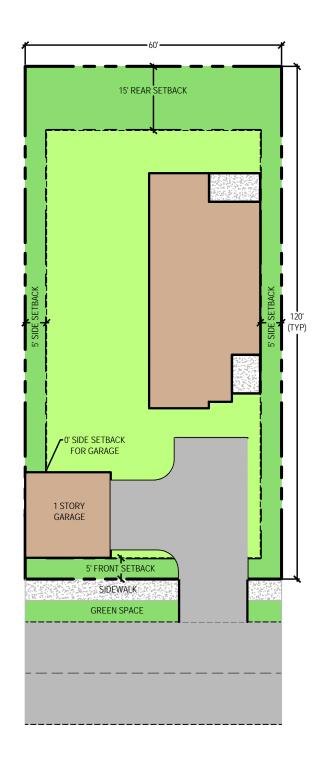
DEPTH VARIABLE

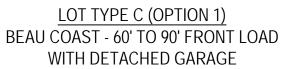
^{* *} The minimum widths and depths for the lot types contained in this PUD document, may exceed the minimum standards (ie. 40' lots may actaully be platted at 45')

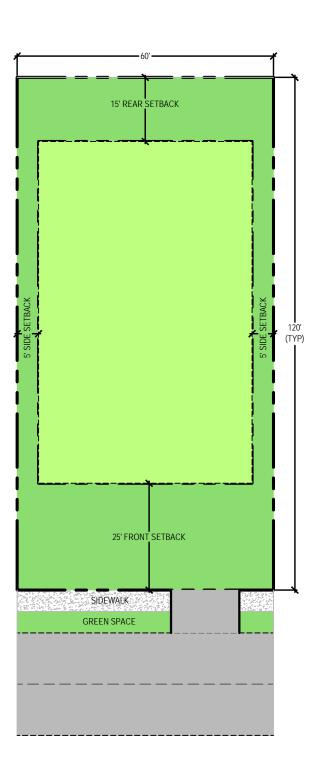


^{*} The conceptual single family lot types above may be placed anywhere within the PUD boundary so long as the home and lot configurations meet the setbacks and minimum lot dimensions and as set forth in the PUD document (Key Plan for lot types table of setbacks)

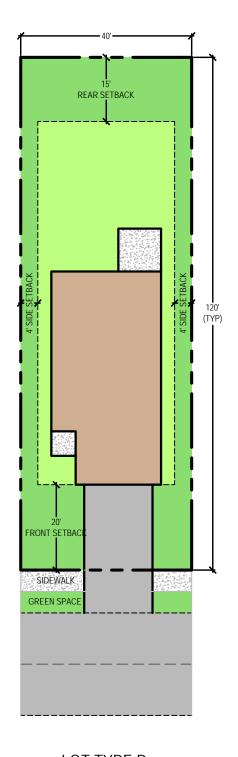
Beaufort East Village Conceptual Lot Types

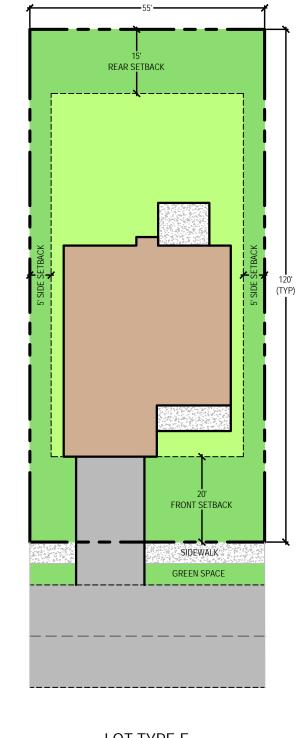






REAR SETBACK FRONT SETBAG SIDEWALK GREEN SPAC





LOT TYPE C (OPTION 2)
BEAU COAST - 60' TO 90'
FRONT LOAD

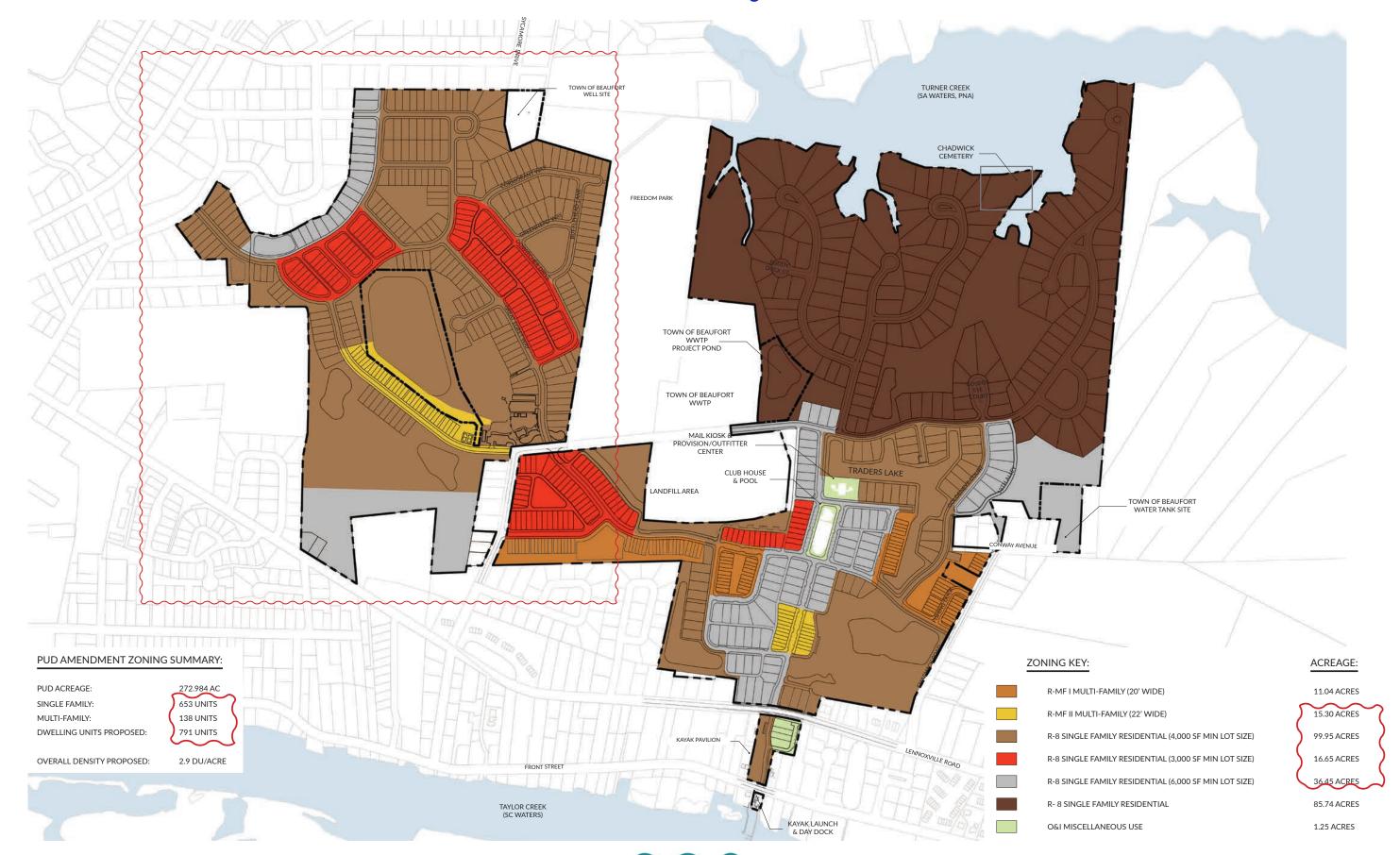
LOT TYPE D BEAUFORT EAST VILLAGE - 40' FRONT LOAD LOT TYPE D BEAU COAST - 40' FRONT LOAD

LOT TYPE E
BEAUFORT
EAST VILLAGE - 50' FRONT LOAD

^{*} The conceptual single family lot types above may be placed anywhere within the PUD boundary so long as the home and lot configurations meet the setbacks and minimum lot dimensions and as set forth in the PUD document (Key Plan for lot types table of setbacks)

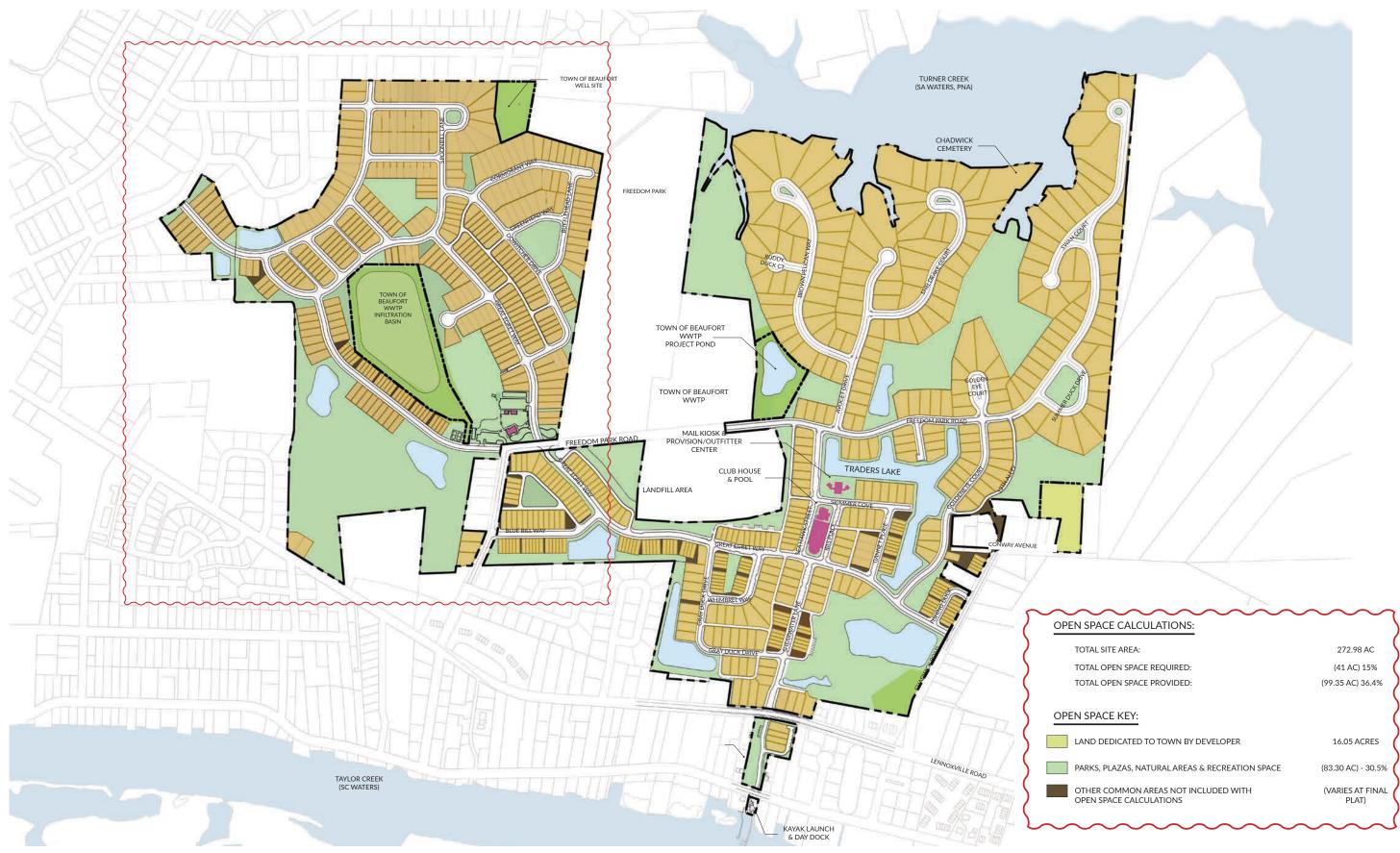


PUD Master Zoning Plan

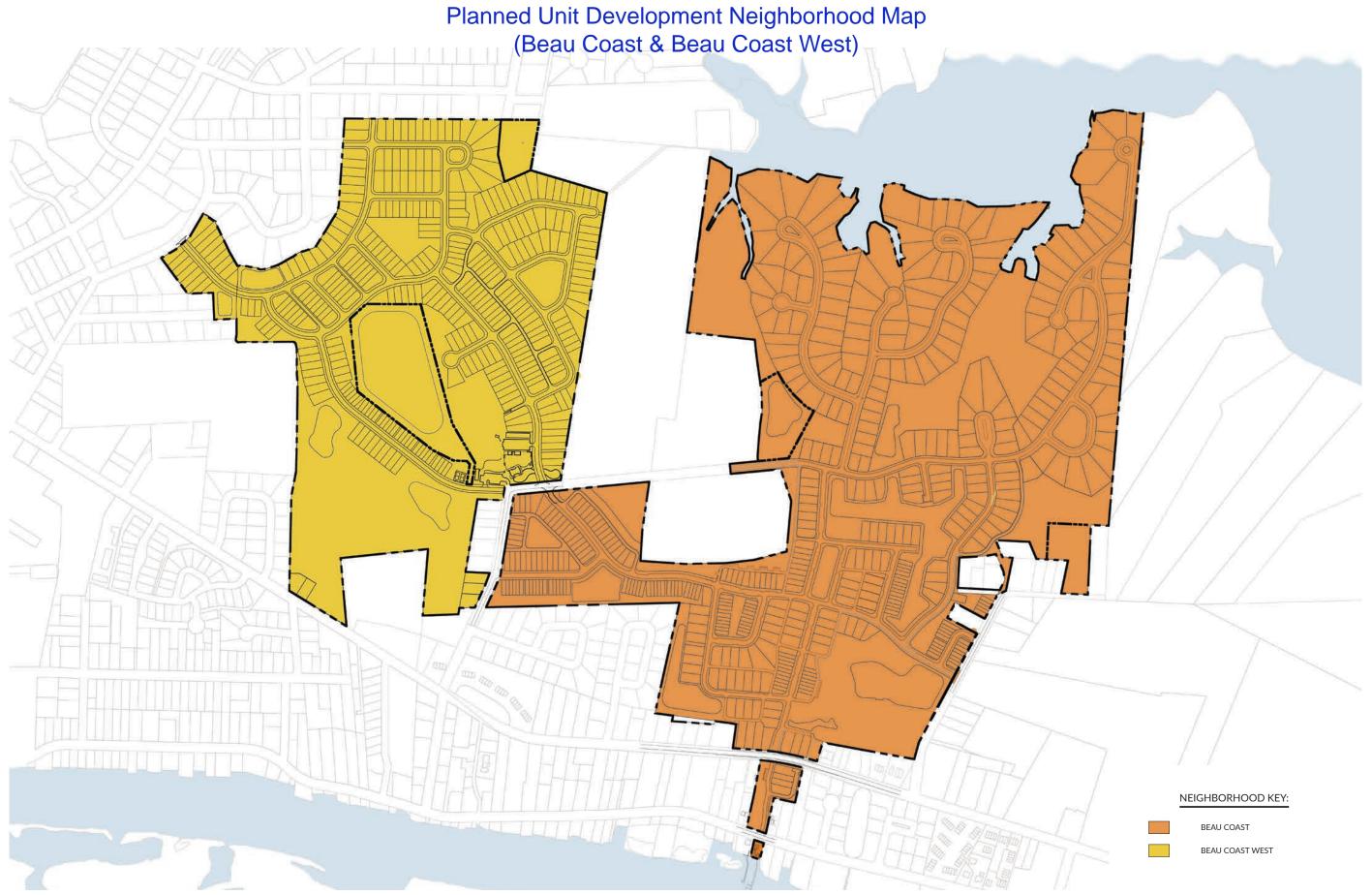




PUD Open Space Plan





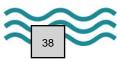




Chapter 2. Beau Coast Conceptual Product Types

Townhomes: 20' Wide Front Load 1 Car Garage Townhome Collection





December 20, 2021 Page

Townhomes: 22' Wide Rear Load 2 Car Garage Townhome Collection





Single Family: 24' Wide Detached Garage Cottage Collection Beau Coast Lot Type A



i. BC 24 A (1734 sq ft)



ii. BC 24 B (1763 sq ft)





iv. BC 24 D (2052 sq ft)



v. BC 24 E (2301 sq ft)



vi. BC 24 F (2416 sq ft)



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Single Family: 39' Wide Rear Load Garage Collection

Beau Coast Lot Type B



i. BC 39 A (2066 sq ft)



ii. BC 39 B (2274 sq ft)



iii. BC 39 C (2306 sq ft)



iv. BC 39 D (2630 sq ft)



v. BC 39 E (2964 sq ft)





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Single Family: 24' Wide Rear Load Garage Collection

Beau Coast Lot Type B2

Planter's Way





The Seaview





The Pollock







December 20, 2021

Chapter 3. Beaufort East Village Conceptual Types

Townhome: 22' Wide One Car Garage Townhome Collection





December 20, 2021 Pa

Single Family: 26' 2 Car Garage Collection Beaufort East Village Lot Type D



i. BEV 26 A (1927 sq ft)



ii. BEV 26 BT (1932 sq ft)



iii. BEV 26 C (1896 sq ft)



iv. BEV 26 D (1832 sq ft)



December 20, 2021

Single Family: 40' Wide 2 Car Garage Collection Beaufort East Village Lot Type E



i. BEV 40 A (2228 sq ft)



ii. BEV 40 B (2335 sq ft)



iii. BEV 40 C (2529 sq ft)



iv. BEV 40 D (2791 sq ft)



v. BEV 40 E (2925 sq ft)



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Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516 252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, February 21, 2022 – Virtual Meeting via Zoom

AGENDA CATEGORY: New Business

SUBJECT: Preliminary Plat - Beau East Village Phase 1

BRIEF SUMMARY:

The applicant wishes to subdivide a Subdivide a 41.79 Acre Tract into 108 Lots (79 Single-Family & 29 Townhouses). In addition to Planning Staff the Town Engineer and applicants Engineer will also be available to answer questions regarding the proposed infrastructure.

REQUESTED ACTION:

Recommendation to Board of Commissioners

EXPECTED LENGTH OF PRESENTATION:

10 Minutes

SUBMITTED BY:

Kyle Garner, AICP

Planning & Inspections Director

BUDGET AMENDMENT REQUIRED:

N/A

To: Town of Beaufort Planning Board

From: Kyle Garner, AICP, Town Planner

Date: January 25, 2022

Project Beaufort East Village Phase I – Preliminary Plat

THE QUESTION: Subdivide a 41.79 Acre Tract into 108 Lots (79 Single Family & 29

Townhome Lots)

BACKGROUND:

Location: Ricks Avenue, George & Leonda Drive

Owners: Blue Treasure, LLC

Requested Action: Subdivide a 41.16 acre tract into 108 lots

Existing Zoning PUD

Pin #: 7306207193750002, 730508796926000, 730619615640000

Size: 41.79 Acres
Amount of Wetlands Space: 13.97 Acres
Amount of Open Space: 23.68 Acres
Existing Land Use: Undeveloped

Adjoining Land Use & Zoning: North – By undeveloped residential, zoned PUD & Developed

residential, Zoned R-8

South – By residential developed property zoned R-8

East – By undeveloped residential, zoned PUD & Developed

residential, Zoned R-8

West – By residential developed property zoned R-8 & TCA

SPECIAL INFORMATION:

This Preliminary Plat was approved in August 2016 and expired in 2018. The plan was approved again in April of 2021 and has changed very little except for the location of the recreation site.

This is the first phase of development for the Planned Unit Development for Blue Treasure/Beaufort East Village that was approved in June of 2015. In 2015 the Commissioners placed six conditions on the request. As part of Beaufort East Village Phase I four of these conditions have been addressed and are as follows:

- 1. Perform a traffic study as a precondition of the development of Beaufort East Village. This item has been complete and a presentation given at the August 29, 2016 Board of Commissioner Workshop.
- 3. Create 20-foot buffers on Willow, Charles and Jefferson streets. *These buffers are shown on the development plans.*
- 4. Install a multi-use path from Ocean Street to Willow Street. *The location of the multi-use path is included in the development plans and will be installed per Town specs.*
- 5. Install sidewalks on Ricks Avenue, provided the Town assists with acquisition of easements. *The developer's engineers are working with Town Engineering staff to meet this condition.*

Beaufort East Village Phase I – Preliminary Plat Location: Ricks Avenue & Leonda Drive

Page: 2

Public Utilities & Works:

Town Water Town Sewer

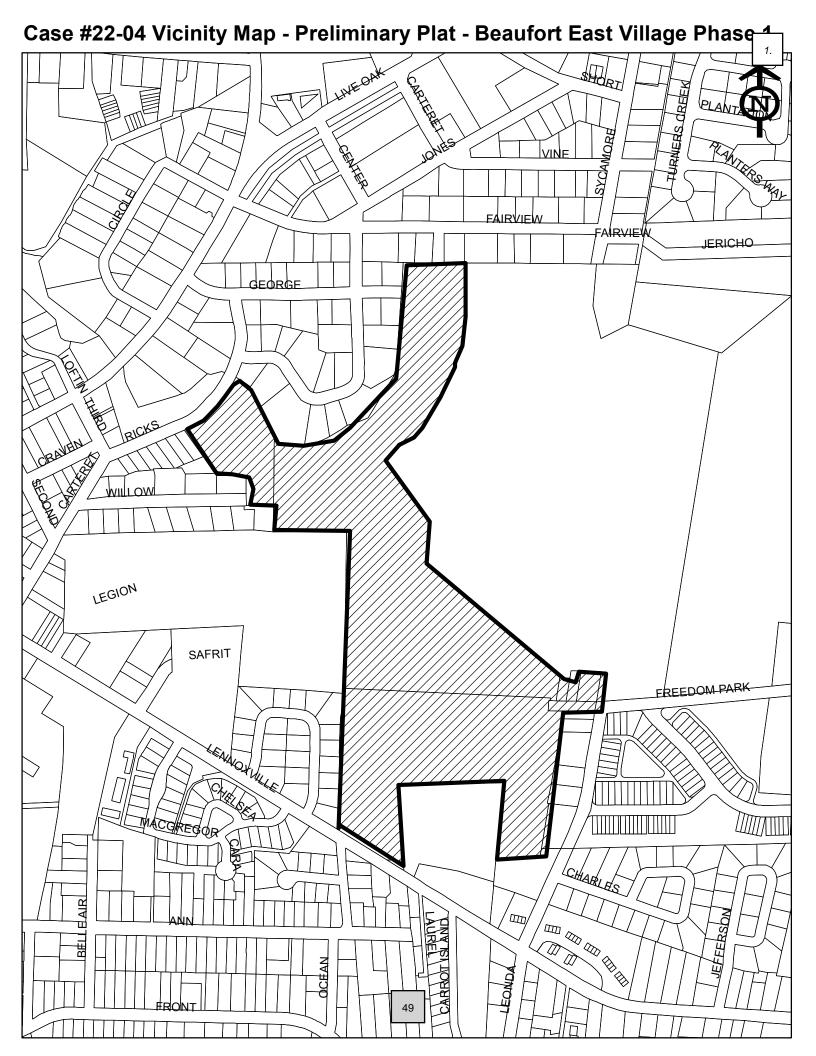
OPTIONS:

- 1. Approve the request as presented
- 2. Deny the request.
- 3. Table the request.

ATTACHMENTS:

Attachment – A – Vicinity Map

Attachment – B – Preliminary Plat Maps





Town Of Beaufort Board of Commissioners June 8, 2015, Regular Meeting minutes

The Town of Beaufort Board of Commissioners held its regularly scheduled meeting at 6 p.m. Monday, June 8, 2015, in the Train Depot, 614 Broad St., Beaufort, NC. Mayor Richard Stanley presided.

Members present were Marianna Hollinshed (Mayor Pro-Tem), Robert Campbell, John Hagle, Charles McDonald and Ann Carter. Staff present were Town Manager Charles Burgess, Assistant Town Manager Lauren Hermley, Town Attorney Jane Gordon, Town Clerk Jennifer Allen, Town Planner Kyle Garner, Fire Chief Larry Fulp, Deputy Finance Officer Christi Wood, Public Utilities Director Donovan Willis and Public Works Director Mark Eakes.

1. Call to Order/Pledge of Allegiance

Mayor Stanley called the meeting to order and asked all those in attendance to join in the Pledge of Allegiance.

2. Roll Call

Town Clerk Allen called roll and declared a quorum present at the meeting.

3. Inspirational Moment

Superintendent Patrick M. Kenney of Cape Lookout National Seashore (CLNS) spoke about the National Park Service's 100th anniversary in 2016, which coincides with the 50th birthday of CLNS, also in 2016. He explained to the Board and Mayor that at the national level, they've established the goal to connect and create the next generation of visitors, supporters and advocates, and he hopes the Town will continue be a key partner in that effort. He explained that a four-pronged approach was developed to celebrate both the NPS and CLNS. During that explanation, he shared that Beaufort has been an outstanding partner to CLNS since his arrival. He said that with the implementation of the visitor's center downtown and the establishment of the departure site for the ferry to Shackleford Banks and the Cape, they were able to move ferry than 35,000 visitors in 2014 from downtown Beaufort to the CLNS parks. Mr. Kenney added that part of the four-pronged approach included the Find Your Park national campaign as well as to host special programs and events.

The Mayor introduced Elizabeth Venant, 114 Ann St., and Bill Riff, bridge tender for Grayden Paul Bridge, to talk about saving the control console for Grayden Paul Bridge. Ms. Venant stated that rather than let the control console be disposed of by DOT, she hoped it could be saved in some way and be displayed in an interactive exhibit. Mr. Riff explained to the Board, Mayor and public his idea for a memorial. He detailed the inner workings of the machine and how it could be an interactive exhibit. The Mayor said that Town staff would look into it.

4. Agenda Approval

Mayor Stanley indicated that he had been asked to amend the agenda by moving Item of Consent 6E. Consider approval of the Capital Project Budget Ordinance for the construction of a new fire station, to Items of Discussion and Consideration and made Item 9D. Commissioner Campbell made a motion to approve the agenda as amended. The vote was unanimous.

5. Public Comment

Richard McLaughlin, 301 Pine St., requested road maintenance on Pine Street to ease the flooding within his development. Mr. Burgess said that Town staff was in discussion with NCDOT to see how the bridge construction will affect the area where Turner and Pine streets meet.

6. Items of Consent

Commissioner Hagle made a motion to approve the Items of Consent as amended. The vote was five to zero in favor of the motion. The following items were approved: 6A. The minutes for the May 11, 2015, meeting, May 27, 2015, work session and June 2, 2015, budget work session; 6B. Kenneth Gooding's re-election to the Firemen's Relief Fund Board; 6C. FY 2015 Budget Amendments No. 9, No. 10 and No. 11; 6D. The audit contract for Fiscal

Year Ending June 30, 2015; and 6F. The agreement between the Town of Beaufort and CodeWright Planners LLC for professional services in connection with a new zoning district project for the Highway 70/101 transportation corridor.

8. Public Hearing

A. Receive comments and consider approval for a rezoning request to revise a Planned Unit Development (PUD) Master Plan for Beaufort East Village comprised of 17 parcels totaling 282.99 acres. The following parcels are included in the request: Pin No.730508796926000, Pin No.730620719375000, Pin No.730619615640000, Pin No.731605005458000, Pin No. 730508989438000, Pin No. 730508988360000, Pin No.730508989229000, Pin No.730507794405000, Pin No.730620802188000, Pin No.730620803332000, Pin No.730620906114000, Pin No. 731505080533000, Pin No. 730620707970000, Pin No. 731517197843000, Pin No.730620824249000, Pin No.731505087756000 and Pin No.731617000613000. The proposal is available at www.beaufortnc.org/for-the-people/citizens-Boards/planning-Board.

Commissioner Hollinshed made a motion to open the public hearing. The vote was five to zero in favor.

Town Planner Kyle Garner presented on Case No. 15-05 a Power Point presentation, which is incorporated by reference and hereby made a part of these minutes. The request is for a Planned Unit Development amendment for the Beaufort East Village Master Plan. The total acreage is 282.99 acres for the property on Lennoxville Road. He said that the request for the increase of total number of lots - 120 different dwellings - is split almost 50/50 between Beau Coast and Beaufort East Village. Mr. Garner went on to say that during the May 18, 2015, Planning Board meeting, the item was reviewed by Planning Board members and they asked for conditions to be placed on the overall proposal. One condition is that the current buffering standards in the LDO be applied. There was also a request that a formal relationship between the Town, developer and Carteret County Parks and Recreation be formed as it relates to Freedom Park, which lies between the developments.

Karl Blackley, president of Preston Development Co., 100 Weston Estates Way, Cary, NC 27513, explained that the project was approved in 2008. On May 5, 2015, there was a joint meeting between the Planning Board and Board of Commissioners, where he presented the development amendment. He echoed Mr. Garner regarding going before the Planning Board May 18, 2015, and receiving approval with the aforementioned conditions. He presented a Power Point presentation, which is incorporated by reference and hereby made a part of these minutes, highlighting the proposed amendments to the revisions of the plan approved in 2008. Mr. Blackley explained that the company intended to purchase as much local material and use local craftsmen as much as possible.

Mr. Blackley introduced traffic engineer Mike Horn with Kimley-Horn and Associates, Inc., 333 Fayetteville St., Raleigh. Mr. Horn conducted the original traffic study on this project in 2009, which was when Beaufort East Village and Front Street Village both submitted construction drawings. The traffic study was for both projects.

Mr. Horn stated that the originally approved plan was for 671 units. The requirement by NCDOT was to put turn lanes on Lennoxville Road to be to able accommodate those 671 units. He said they're asking for 120 additional units. He clarified what the addition would mean from a traffic standpoint and discussed peak hours with the 671 units compared to what the peak hours will be with the 120 additional units. He explained that in his review of this minor increase to the traffic report, he did not see that it would change any of the findings of his traffic study. Board members asked Mr. Horn questions, including Commissioner Hollinshed who requested a mini-traffic study in that area. Mr. Blackley said they would be amenable to doing that and asked that if that is something the Board wished, he would like that to be a condition of any construction drawing approval in the Ricks Avenue area. A discussion about the impact on traffic of the new bridge was also held with Mr. Horn. Commissioner Hagle asked about the increased traffic on George, Ricks, Fairview and other streets in that area. The Board again discussed with Mr. Blackley and Mr. Horn a new traffic study of the Ricks Avenue area prior to approval of construction plans.

Mayor Stanley asked for comments from the public.

Paula Gillikin, 106 Carteret Ave., said she believes Preston Development did their due diligence in preparing the development plan for Beau Coast and Beaufort East Village that complies and sometimes exceeds local, state and federal requirements, for which she thanks them. She continued that she lives in the neighborhood and is concerned the increase in traffic is going to have a significant effect on the quality of life in the area.

She feels now is the time to address current concerns about safety in the neighborhoods but also the significant increase in traffic.

Pat Hitchcock, 118 Willow St., explained that she walks in that neighborhood and agrees that traffic has increased, adding she doesn't feel like she'll be able to walk once traffic increases more because there's no sidewalks. She hopes that there will be a solution. She also is concerned the retention pond next to her property will smell and have mosquitos. Ms. Hitchcock said that she called the NC Coastal Federation and was told a rain garden was a solution to the retention pond. She also wanted to address that Mr. Blackley said there would be affordable housing from \$175,000 to \$200,000. She feels that it is not affordable housing in Carteret County and that many people who live here would not be able to afford those homes. She cited some statistics about salaries in the county.

Daphne Littiken, 136 Charles St., thanked Karl Blackley and the Olivers for caring about Beaufort. She said that the Town needs tax revenue to take care of its infrastructure and the Commissioners have done a good job to try to keep taxes down. She brought up that she thought the boathouse was going to be chocolate brown but it's just the trim. She said she mentioned that because she didn't want the plans being shown now to show one way and turn out to be something else later. She said she was sad to see that the large green acreage and wildlife sanctuary is no longer in Beaufort but did want to thank them for including green space and increasing the green space though it includes landfill area. Ms. Littiken said she was happy Beaufort will have more sidewalks and wishes that Lennoxville would be included. She also thanked the developers for removing the town center and addressing the stormwater issue. She continued that her main worry is the traffic increase and would prefer they remove rather than add 120 new units. Her request is for all to be cognizant of the special, historical, characteristic town of Beaufort and to avoid a generic look.

Gerola Sanchez, 311 Fairview Drive, explained she moved to Fairview Drive to be in a quiet place and that's what it is at this time, with space for pedestrians and bicyclists, but if there's a large increase in traffic, those things would be impossible. She said she was told that dump trucks were supposed to use Lennoxville but recently saw dump trucks using Fairview and turning into what looked like to her an access road to Beaufort East Village. If there are going to be dump trucks using the narrow, barely two-car roads, Ms. Sanchez continued, there's going to be accidents. She said they were also told there would be a buffer behind the homes on the even-numbered side on Fairview Drive but she didn't see that on the map. She stated that she'd like to know if that is still there, and if so, how high the buffer would be. Ms. Sanchez also expressed concern about flooding in her neighborhood. She said it would be worse with the development. She also asked if space has been set aside for another elementary school to accommodate families.

Jim Hunt, 121 Carrot Island Lane, told the Board and Mayor that his comments were related to the 2009 traffic study. He said he had three points to make to encourage the Board to delay some approval of this process. The first point is that the traffic study only deals with intersections of the major streets and does not address the smaller streets. His second point is that there's a shift from recreational housing to residential housing and with the shift, there will be a substantial increase in trips. His third point was related to the bridge, which is barely considered in the 2009 report. What is commented on, he stated, is that it is going to shift the emphasis of traffic to exit in the western side of the development through these small streets of Ricks, George and Third. These streets are small without sidewalks and lines. He suggests that the Board get this firmly in writing what will happen to these streets prior to approval.

Sharon Birmingham, 190 Chadwick Road, spoke on behalf of herself and her husband, Andy, residents and business owners in Beaufort. She said that they purchased their property on Chadwick with the full knowledge of the proposed project. The well-planned development of this property brings additional tax base to the town and county and many amenities, she continued. She added that they also appreciate and support the amendment for this particular change and increase in townhomes, which may lend itself to more permanent residents. She said that they're pleased that this development will impact and improve dependable sewer and water to that town that have marginal or failing well and septic systems.

Suzanne Lea, 206 Ocean St., explained that at the Planning Board meeting (May 18, 2015), it was mentioned as a possibility to add a bike path to the PUD near Ocean Street and Lennoxville Road. She wanted to suggest to Mr. Blackley and the Commissioners that a path that could be part of a bike path be inserted along the perimeter of the property with an access point for pedestrians and cyclists.

Gary Mercer, 1301 Lennoxville Road, said that he went through a similar experience as Preston Development 15-18 years ago regarding approval of his developments. Mr. Mercer said that he encountered a lot of public

response about not wanting population and traffic growth in Beaufort but he did build 750 new, affordable homes that brought in new residents. He elaborated that the definition of affordable housing changes daily but as builders, they try to do their best to provide what is needed and the market determines its success. Mr. Mercer also said that regarding traffic, he anticipates with the new bridge that the number of vehicles going through downtown will be less because 60 percent or better of travelers will continue on the bridge. He thinks that they are the pick of the litter in developers, that it is an excellently planned project and they have the assets to make it work.

Kathy Schurdevin, 119 Sherwood Blvd., said she had concerns in two areas, one of which had been addressed already: traffic out of Beau Coast. She wanted to reinforce concern about the increase of the numbers of units, which she counted to be an additional 63 units. With the increase in number of units, there's an increase in trips because these will be more residential than vacation homes, she explained. She stated that she also had not heard anyone talk about the direction residents will be traveling out of the development. Her other concern was that while she liked what she saw in the 2008 plan, which contained input by Historical Concepts architectural firm and used the coastal vernacular found in Beaufort architecture, but now she's seeing a complete disconnect between the design shown in the 2008 plan and what is shown in the 2015 amendment. She asked what happened to the well-thought out sense of place that was there before.

Bucky Oliver, Front Street Village, said he was there to support the revision of the existing Beaufort East Village PUD. He said he felt like he was blessed to speak from multiple perspectives. As an investor, Front Street Village participated with the applicant in providing \$3 million in planning efforts leading to what is now believed to be a permanent solution to Beaufort's sewer problems. As a developer, they partnered with the applicant during conceptual planning, traffic studies and other activities to assure the communities are complementary. And he spoke as resident. In all three of these perspectives, he wanted to be sure to share that he felt the applicant has been considerate of concerns, professional in application and presentation, fair to deal with, generous and a good citizen. He also addressed some of the economics. Beaufort attracted material investments in North River, Beaufort East Village and Front Street Village in the early, pre-recession 2000s, in the nearly 10 years all three investments are financially sound, alive and poised for success. As these three developments fulfill their vision over the next 10-15 years, Beaufort's \$2.6 million, 2015 property tax revenue will increase by nearly 36 percent, \$937,000 based on Beaufort East Village alone. Utilities will at least become affordable for the citizens and jobs and commerce will flourish. He closed with the comment that the Board's approval will facilitate Beaufort's success.

Susan Schmidt, 1527 Ann St., is concerned about biking safely through Jones Village. She asked, if half of 282 acres is wetland, that instead of 2.99 dwelling units per acre, is the more appropriate density six dwelling units per acre? Speaking as a board member of Carteret Crossroads, they're very concerned about diminishing the quality of the healthy primary nursery area of Turner's Creek. Also, she added that Beaufort has potholes and more traffic will shred the roads. She cited a landscape architect and planner who advised a town to stop growing so that its residents could evacuate safely. She's also very sad at the loss of the forest as a natural habitat and swamp forest that acts as a sponge to keep the rest of Beaufort from flooding. She advises against increasing density.

Rachel Godfrey, 1108 Ann St., also expressed concerns about the wetlands. She asked if there's been an environmental impact study on this property because of the considerable amount of wetlands and would like to know what the Beaufort Code is for the setback for wetlands. Her last question was if the developer plans to leave any of the old trees on the property.

Leonard Safrit, owner of Safrit Building Supply on Lennoxville Road, wanted to talk about an environmental issue. He gave his background and referenced his time as Carteret County Soil and Water Conservation Supervisor, when he learned about nonpoint source pollution. This project (Beaufort East Village) has been approved by every environmental agency. All of that doesn't matter unless you consider the second issue, and that's will the project manager follow the environmental rules. That issue is tied to the financial abilities and integrity of the developer. He said he's seen a lot of fly-by-night developers come through the area but the developers before the Board are the very opposite of fly by night. He said he first saw their work in the Raleigh/Cary area in the late 1990s and these folks are the real deal. He said that this development is going to happen, we need good quality people to do it and he urged their consideration.

Commissioner Hollinshed made a motion to close the public hearing. The vote was five to zero in favor.

Commissioner Hollinshed asked to take a brief recess to allow for Mr. Blackley's team to prepare answers to questions posed during the public hearing.

Mayor Stanley called the meeting back to order and gave Mr. Blackley the opportunity to answer questions.

Mr. Blackley said that the questions were divided into three categories. He explained that lined up to speak on specific topics were traffic engineer Mike Horn with Kimley-Horn and Associates, Inc., Troy Beasley, wetlands specialist with Withers and Ravenel engineering and surveying firm based in Wilmington, and Don Mizelle, land planner.

Mr. Horn read the two conditions that the applicant is willing to make on behalf of Beaufort East Village. The applicant is committing to perform a traffic study on neighborhood streets in the Jones Village area at the time of construction approval for the first phase of development in Beaufort East Village. The second portion is that the applicant is committing to adding sidewalks at phase one of Beau Coast on the property along Lennoxville Road and that it includes both Blue Treasure and Front Street.

Troy Beasley, senior environmental scientist for Withers and Ravenel, addressed the comments made during the Public Hearing regarding wetlands. One comment made that he responded to was that half of the 200-plus acres is wetlands but he stated that was not true. There are 44.8 acres of wetlands within in the project and of the 45 acres of wetlands on site, 44 are being preserved. He said the total impact for the entire development is less than an acre total. There is no intent on any additional wetland impact, he continued. Other points he addressed included concerns about impact to the primary nursery area to Turner's Creek. Preston Development will provide every property owner with a copy of the NC Coastal Federation's guide to landscaping their yard. With this provision, every property owner has the opportunity to landscape their yard in a way that's as environmentally sensitive as possible. Also protecting the primary nursery is the NC Stormwater rules, he continued. They're not allowed to discharge stormwater outside of the site, Mr. Beasley stated, and have to contain all of the runoff internally. Adding, the project will not contribute to additional flooding. A stormwater pond neither creates nor prevents flooding, Mr. Beasley clarified. With the design of the stormwater plan, they have to meet all the requirements of the existing stormwater permit for the entire Beaufort East Village. They're only allowed a set amount of impervious surfaces and there will not be any additional impervious area above what was previously permitted but will actually be less with these revisions.

Mayor Stanley referred to a comment made during the public hearing about the potential smell from a retention pond near a resident's home. Mr. Beasley said that through the state stormwater permits, there are operation and maintenance agreements to keep the ponds regularly maintained and treated. Eventually, the HOA will take over the stormwater pond permits, which will require the HOA to regularly maintain the stormwater ponds. The state sets the stormwater pond maintenance and conducts site reviews to make sure the maintenance is being conducted.

Mr. Blackley also commented on the stormwater ponds. He said they're regulated by the state. Preston Development also seeds the HOA with money to maintain these stormwater ponds. Preston Development will control the development through the phases. At such time, they will turn the development over to the HOA, and Preston Development will preload a bank account for every basin.

Mr. Mizelle brought a few items before the Board that were mentioned during the public hearing. First, he addressed buffers. On the plans submitted on the official document in May 2015, they did not have any permanent buffers specified. At the Planning Board meeting, the applicant agreed to offer as a condition of approval to install buffers where there are townhomes backing up to existing single-family homes on Charles, Jefferson and Willow streets. He said that while they cannot give details as to what it will look like until the plans are drawn, they do plan to buffer those areas with a 20-foot buffer. The BMP stormwater pond was mentioned. Mr Mizelle explained that these are all preliminary designs and that he hopes there is enough room to move the stormwater ponds away from the property line and add an additional buffer so they won't be against the property line. That's the intent, and there's plenty of time to vet those details out, he continued. Regarding the Multi-use path, Mr. Mizelle said it was discussed during the Planning Board meeting as well. The applicant will commit to adding a multi-use path and bicycle path along the eastern property line. He added that Preston Development has also committed to doing off-site sidewalks along Ricks Avenue – if it goes right or left outside of the development is to be determined. The only caveat is that they'll need the Town's help to secure easements and right-of-ways to put in the sidewalk connections. If those easements can be secured, Preston will commit to building that section of sidewalk. Backtracking to buffers, he said they're willing to do a 10-foot buffer along the boundaries with Freedom Park.

Mayor Stanley gave the Board the opportunity to make comments.

Commissioner Carter said, in response to the aversion to growth, that she grew up in Beaufort in the 1940s and early 1950s and it was dead and if it wasn't dead, it was dying. She said she was the happiest when she and her husband moved back in the 1970s and watched Beaufort come alive. She said growth is what keeps us healthy, happy and what keeps everybody here.

Commissioner McDonald said he was impressed to hear from the community, and from those who live in the adjourning areas that came in front of the Board to present their concerns. He said he's even more impressed with the developers responding to their concerns and being willing to do what was asked of them by the public. He said he thinks it is up to the Board to see that the citizens are taken care of and that the developers live up to their agreement and he thinks that they can do those things.

Commissioner Hollinshed said that they gave the task of looking at the preliminary changes to the Planning Board that was approved with two conditions. This is a community that has planned for their growth and what they want to contribute back into Beaufort. The tax base needs to be re-enforced. She said she agreed with Commissioner Carter that you cannot stop it, you go with someone who has made an exceptional effort to provide the town with amenities and a share of infrastructure. She said she would like to incorporate, if the Board goes for a motion, some of the promises that were made.

Commissioner Hagle said that the project has been on their plate for seven or eight years and have all been through the period of the serious economic downtown. What he's seen is that they're doing the best they can to manage the project in the right way and retain the best parts of Beaufort. He does agree that some conditions need to put on the motion to address the issues discussed. Commissioner Hagle was also pleased to hear that there will be a traffic study of neighborhood streets to help better manage the increase of traffic.

Commissioner Campbell expressed his concern about the increase in traffic. He said he's not sure how much the traffic study will do to alleviate that increase. One thing they've talked about in the past that they should still consider is if Lennoxville Road is eventually connected to Turner Street, he feels it would help with traffic out of the development. Commissioner Campbell continued that he's glad to hear the concerns of the citizens and he thinks the developers are doing the best they can to answer them, which he appreciates.

Mayor Stanley gave the Board time to contemplate what action they wanted to take and read the conditions as he understood them.

The developer is willing to:

- 1. Perform a traffic study as a precondition of the development of Beaufort East Village.
- 2. Install sidewalks on Lennoxville Road and Front Street within Beau Coast boundaries.
- 3. Create 20-foot buffers on Willow, Charles and Jefferson streets.
- 4. Install a multi-use path from Ocean Street to Willow Street.
- 5. Install sidewalks on Ricks Avenue, provided the Town assists with acquisition of easements.
- 6. Create 10-foot buffers on lots adjoining Freedom Park.

Commissioner Hagle asked about Freedom Park and said he'd prefer, rather than having the formal agreement mentioned at the Planning Board meeting, having a condition for Preston Development to work with the Town manager and the county manager to see what can be done to improve the park.

Mr. Blackley said he questioned the formal agreement but is willing to work with the Town manager and County manager to meet to discuss Freedom Park and that can be a condition.

The Mayor added as a condition for Preston Development to be willing to consider improvements to Freedom Park in consultation with the Town and County.

Commissioner Carter moved to approve with conditions as stated and she commends the developer to go the extra mile. All were in favor.

B. Receive comments and consider approval of the Pamlico Sound Hazard Mitigation Plan.

Commissioner Hagle made a motion to open the public hearing. All were in favor.

Town Planner Garner presented to the Board information via Power Point regarding the Pamlico Sound Hazard Mitigation Plan, which is incorporated by reference and hereby made a part of these minutes. Mr. Garner said this was a regional plan and Carteret is partnering with Craven, Pamlico, Beaufort and Hyde counties. He covered several points of the HMP for the Board. The plan can be accessed at www.pamlicosoundhmp.com.

Mayor Stanley reiterated that for FEMA reimbursement, the Board must approve the plan.

The Mayor asked for any comments from the public. No comments were made.

Commissioner Hollinshed made a motion to close the public hearing. The vote was five to zero in favor of the motion.

Commissioner Campbell made a motion to adopt the plan. The vote was unanimous.

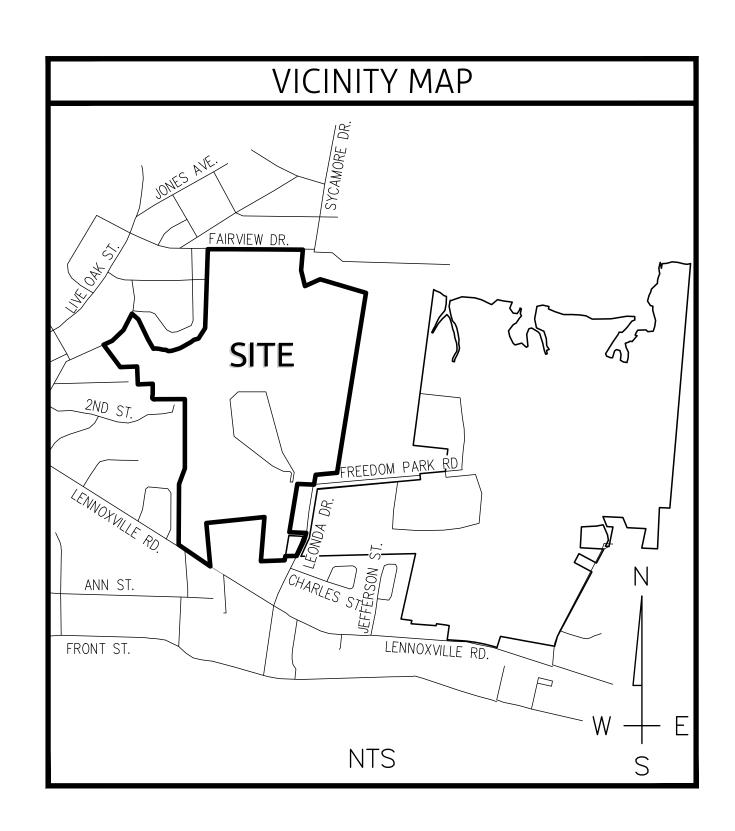
CONSTRUCTION DRAWINGS FOR

BEAUFORT EAST VILLAGE

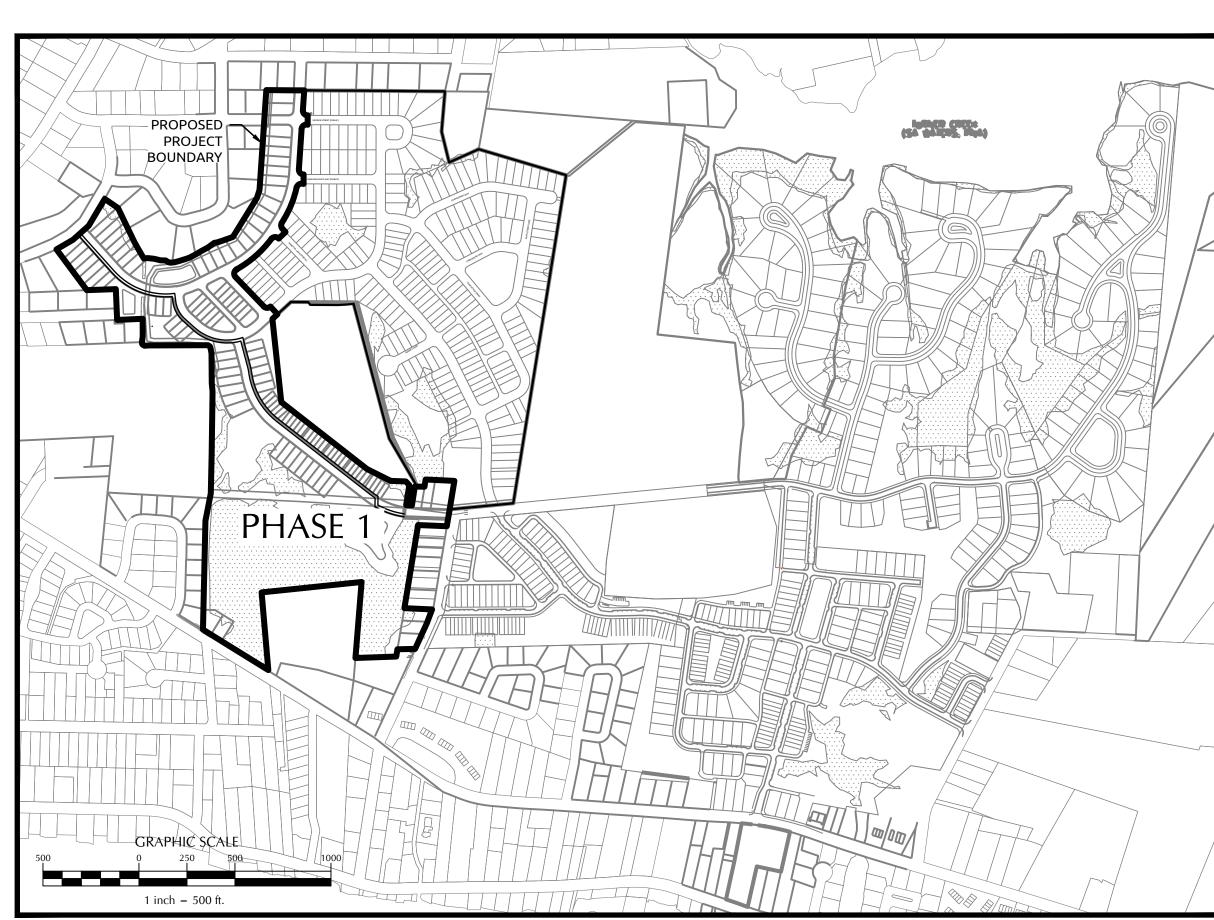
PHASE 1

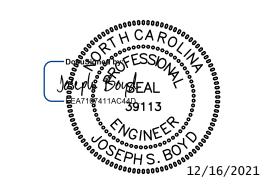
BEAUFORT, NC

DECEMBER 2021



LEGEND					
LINETYPE DESCRIPTION		LINETYPE DESCRIPTION			
EXISTING WATERLINE	w	PROPOSED UNDERGROUND ELECTRIC	————UE———		
PROPOSED WATERLINE	w	EXISTING GASLINE	— — G — — —		
EXISTING STORM DRAINAGE		PROPOSED GASLINE	G		
PROPOSED STORM DRAINAGE	-	SILT FENCE	SF		
EXISTING SANITARY SEWER	— — — SS— — —	FENCE			
PROPOSED SANITARY SEWER	ss	TREE PROTECTION	ТР		
EXISTING FORCE MAIN	—— —— FM—— —— ——	SWALE			
PROPOSED FORCE MAIN	FM	RIGHT-OF-WAY			
EXISTING ELECTRIC (OVERHEAD)	— — Е — — —	EXISTING WETLANDS			
PROPOSED ELECTRIC (OVERHEAD)	Ε	1' CONTOUR			
EXISTING UNDERGROUND ELECTRIC	— — UE— — —	5' CONTOUR			
EXISTING EASEMENT		PROPOSED EASEMENT			





PREPARED BY:



219 Station Road, Suite 101 | Wilmington, NC 28405 | t: 910.256.9277 | license #: C-0832 | www.withersravenel.com

INDEX OF SHEETS

ET NO. SHEET TITLE

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- C-2 EXISTING CONDITIONS
- C-3 SUBDIVISION PLAN
- 4 -----
- C-4 ZONING & LOT USE PLAN
- C-5 UTILITY PLAN
- C-6 OVERALL DRAINAGE PLAN
- C-7 EROSION CONTROL PLAN
- C-8 PINE VIEW BLVD. PLAN & PROFILE STA. 0+00 TO 13+00
- C-9 PINE VIEW BLVD STA. 13+00 TO 19+89 AND GEORGE ST. STA. 10+00 TO 2+50 PLAN & PROFILE
- C-10 SPOONBILL LANE PLAN & PROFILE STA. 0+00 TO 7+13
- C-11 FREEDOM PARK RD. PLAN & PROFILE STA. 0+00 TO 13+00
- C-12 FREEDOM PARK RD. PLAN & PROFILE STA. 13+00 TO 15+75 & YELLOWLEGS LANE PLAN & PROFILE
- C-13 PS-1 TO MH-1 SEWER RUN PLAN & PROFILE
- C-14 LENNOXVILLE ROAD AND LEONDA DRIVE SEWER EXTENSIONS PLAN & PROFILE
- P-1 SKIMMER BASIN & BMP #7A WET DETENTION POND DETAILS
- P-2 BMP#7B & BMP #7C WET DETENTION POND DETAILS
- P-3 BMP#7D WET DETENTION POND DETAILS
- L1.0 OVERALL LANDSCAPE PLAN
- L1.1 LANDSCAPE PLAN
- L1.2 LANDSCAPE PLAN
- L1.3 LANDSCAPE PLAN DETAILS
- S-1 PRELIMINARY STREET LIGHTING PLAN
- D-1 ROADWAY & STORM DRAIN DETAILS
- D-2 ROADWAY DETAILS
- D-3 WATER DETAILS
- D-4 WATER & SEWER DETAILS
- D-5 SEWER, STORM & ROADWAY DETAILS
- -6 WATER, SEWER & STORM DETAILS
- D-7 EROSION CONTROL DETAILS
- PS-1 PUMP STATION GENERAL NOTES
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- PS-5 PUMP STATION SECTION DETAIL
 PS-6 PUMP STATION DETAILS
- PS-7 PUMP STATION ELECTRICAL PLAN & DETAILS
- PS-8 PUMP STATION ELECTRICAL PLAN & DETAILS
- PS-9 PUMP STATION TRANSFORMER PAD DETAILS
- PS-10 PUMP STATION MISCELLANEOUS DETAILS
- PS-11 PUMP STATION MISCELLANEOUS DETAILS
- PS-12 PUMP STATION MISCELLANEOUS DETAILS

DEVELOPER/OWNER

BLUE TREASURE, LLC

100 WESTON ESTATES WAY CARY, NORTH CAROLINA 27513 919-481-3000

ATTN: KARL BLACKLEY

- $1.\quad$ THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE TOWN OF BEAUFORT, CARTERET COUNTY, AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANY TIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT. THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH DEMLR-WILMINGTON REGIONAL OFFICE AND NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO THE MEETING.

GENERAL NOTES:

- THE TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY ATLANTIC COAST SURVEY, PLLC. PO BOX 12588, WILMINGTON, NC 28405, TEL. (910) 292-4889.
- WETLAND DELINEATION BY LAND MANAGEMENT GROUP, INC. ENVIRONMENTAL CONSULTANTS, PO BOX 2522, WILMINGTON, NC 28402, TEL. (910) 452-0001. WETLAND LOCATION BY WITHERS RAVENEL, INC. USING TRIMBLE PRO XR GPS RECEIVER CAPABLE OF SUB-METER ACCURACY.
- FEMA FLOOD DESIGNATIONS ON THIS PROPERTY TAKEN FROM FIRM PANEL #3720731600J, 3720731500J, 3720730600J, AND 3720730500J, DATED JULY 16, 2003.
- THERE ARE NO KNOWN U.S. LISTED DEPARTMENT OF INTERIOR'S NATIONAL REGISTER OF HISTORICAL PLACES, "HISTORICAL PROPERTY" PURSUANT TO G.S. CHAPTER 160A, ARTICLE 19, PART 3 ,OR A "HISTORIC DISTRICT" DESIGNATED BY A LOCAL ORDINANCE PURSUANT TO G.S. CHAPTER 160A-400.4 WITHIN THIS PROJECT.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE NCDOT.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE OR BURNED IF PROPER PERMITS ARE
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- 10. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHT-OF-WAYS AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET TOWN AND/OR NCDOT STANDARDS. CROSSWALKS TO BE PAINTED TO MEET HIGH VISIBILITY STANDARDS.
- 12. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 13. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 14. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 15. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING SHALL BE REPLACED.
- 16. THE HOMEOWNERS ASSOCIATION WILL MAINTAIN THE TREES AND GRASS IN THE RIGHT OF WAY.
- 17. DURING CONSTRUCTION, COPIES OF NPDES AND SIMILAR MAINTENANCE REPORTS ARE TO BE SUBMITTED TO THE TOWN ON AT LEAST A OUARTERLY BASIS. AFTER PROJECT COMPLETION. THE HOMEOWNERS ASSOCIATION WILL TAKE RESPONSIBILITY OF SUBMITTING SUCH MAINTENANCE REPORTS TO THE TOWN.

DEMOLITION NOTES:

REVISED PER TOWN OF BEAUFORT COMMENTS

UPDATED PER LOT & ROAD REVISIONS

REVISED EC SEQUENCE OF CONSTRUCTION PER COMMENTS | 12-19-16 | JSB

- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- 10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.

Date | By

7-6-16 JSB

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

Drawn By

Checked By

NTS

9/14/15

EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION MEASURES
- 2. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY THE N.C.D.E.M.L.R.
- 3. WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SODDED AND PLANTED AREAS UNTIL FINAL APPROVAL BY N.C.D.E.M.L.R
- 4. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- 5. WET DETENTION BASINS TO BE USED AS SEDIMENT TRAPS DURING LAND DISTURBING ACTIVITIES

SEQUENCE OF CONSTRUCTION:

- 1. FLAG THE CLEARING LIMITS AND INSTALL ALL SILT AND TREE PROTECTION FENCE.
- HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION, NOTIFY DEMLR-WILMINGTON REGIONAL OFFICE AT (910) 796-7215 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION BEGINNING.
- 3. INSTALL TEMPORARY CONSTRUCTION ENTRANCE ON FREEDOM PARK ROAD AND SILT FENCE.
- CLEAR AND REMOVE FROM SITE ALL TREES, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
- INSTALL TEMPORARY SKIMMER AND SEDIMENT BASINS.
- INSTALL TEMPORARY DIVERSION DITCHES TO DIRECT RUNOFF TO THE SKIMMER AND SEDIMENT BASINS
- 7. ROUGH GRADE THE REMAINING AREA WITHIN THE DESIGNATED CLEARING LIMITS.
- INSTALL STORM DRAINAGE, INCLUDING INLET PROTECTION, SANITARY SEWER AND WATER AS SHOWN ON THE PLANS. ALL TRENCHES SHALL BE BACKFILLED AND STABILIZED DAILY.
- DIRECT RUNOFF FROM ROADWAY INTO STORM DRAINAGE SYSTEM. REMOVE TEMPORARY DIVERSION DITCHES AS NEEDED FOR ROADWAY CONSTRUCTION. AFTER DITCH REMOVAL, CONTRACTOR SHALL VERIFY STORM WATER IS ROUTED THROUGH A BASIN OR SILT FENCE PRIOR TO LEAVING SITE.
- 10. COMPLETE FINE GRADING SITE.
- 11. MAINTAIN SEDIMENTATION AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 12. REQUEST FINAL APPROVAL OF GROUND COVER BY THE EROSION CONTROL INSPECTOR.
- 13. ONCE SITE IS FULLY STABILIZED, REMOVE ALL REMAINING TEMPORARY MEASURES AND IMMEDIATELY REPAIR, DRESS-OUT, AND SEED & MULCH THESE AREAS. REMOVE SEDIMENT FROM BASINS 7A, 7B, 7C AND 7D.

MAINTENANCE PLAN

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
- SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE.
- INLET PROTECTION DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT. DAMAGED SILT FENCE SHALL BE REPLACED AND GRAVEL SHALL BE CLEANED OR REPLACED WHEN INLET NO LONGER DRAINS PROPERLY.
- ALL SEEDED AREAS WILL BE FERTILIZED. RESEEDED AS NECESSARY. AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED PER THE GROUND STABILIZATION TABLE. ALL OTHER AREAS WILL BE STABILIZED WITHIN 14 WORKING DAYS.
- 7. SEDIMENT WILL BE REMOVED FROM AROUND TEMPORARY ROCK CHECK DAMS ONCE A WEEK AND AFTER EVERY RAIN EVENT.

STABILIZATION NOTES

- 1. SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES TO RESTRAIN EROSION.
- 2. ALL OTHER DISTURBED AREAS SHALL BE PLANTED OR OTHERWISE PROVIDED PERMANENT GROUND COVER WITHIN 14 WORKING DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT WHICHEVER PERIOD IS SHORTER.

GROUND STABILIZATION						
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS				
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE				
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE				
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED				
SLOPES FLATTER THAN 3:1	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH				
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NO NE (EXCEPT FOR PERIMETERS AND HQW ZONES)				

Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section 11.B(2)(b))

GRADING & STORMWATER MANAGEMENT NOTES:

- 1. STORMWATER MANAGEMENT WILL MEET BOTH THE STATE OR NORTH CAROLINA AND TOWN OF BEAUFORT REQUIREMENTS.
- 2. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- 3. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
- UPON PROJECT COMPLETION AND AFTER WARRANTY PERIOD, THE HOMEOWNERS ASSOCIATION WILL MAINTAIN AND BE RESPONSIBLE FOR ALL STORMWATER BMP'S AND ALL PIPING LOCATED IN THE RIGHT OF WAY.

SITE NOTES

- 1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- 2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- 3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- 5. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- 7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- 8. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AND TOWN OF BEAUFORT UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 9. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER AND TOWN OF BEAUFORT FOR REVIEW, NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER AND TOWN OF BEAUFORT.
- 10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE. OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
- 11. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION
- 12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY, AND LOCAL CODES.
- 13. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- 14. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

PERMANENT SEEDING SCHEDULE - MIXTURE 5CP

Seeding Mixture

SPECIES

RATE (LB/ACRE) 10-20

RATE (LB/ACRE)

CENTIPEDE GRASS

MARCH - JUNE Soil Amendments

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

DO NOT MULCH.

FERTILIZE VERY SPARINGLY - 20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

Seeding Mixture

WINTER AND EARLY SPRING

<u>SPECIES</u>	RATE (LB/A
Rye (GRAIN)	120
ANNUAL LESPEDEZA (KOBE IN PIEDMONT	50
AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	

OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.

<u>SPECIES</u> RATE (LB/ACRE) GERMAN MILLET

RYE (GRAIN)

COASTAL PLAIN - DEC.1-APR. 15 - LATE WINTER AND EARLY SPRING APRIL 15 - AUG. 15 - SUMMER AUG. 15 - DEC. 30 - FALL

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

Soil amendments

Seeding dates

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS

A MULCH ANCHORING TOOL.

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

EXISTING UTILITY NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- 2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

UTILITY CONTACTS:

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.

NOTICE REQUIRED:

- 1. ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY CONTRACT PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.
- 2. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT 1-800-632-4949

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE

UTILITY NOTES:

- 1. ALL UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS, AND TELEPHONE SHALL BE INSTALLED UNDERGROUND.
- 2. WATER AND SEWER SERVICES CAN NOT BE ACTIVATED ON NEW MAINS UNTIL THE ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY THE PUBLIC WATER SUPPLY SECTION OF NCDEQ, AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY SECTION OF N.C.D.E.N.R.
- 3. IF CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- 4. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THIS WIRE IS TO BE ACCESSIBLE IN ALL VALVE AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- 6. SOLID WASTE DISPOSAL TO BE SERVED BY TOWN, AND PROVIDED BY INDIVIDUAL WASTE BINS FOR EACH LOT.

FIRE & LINE SAFETY NOTES:

- 1. LANDSCAPING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- 2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- 3. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
- 4. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 5. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.

TRAFFIC NOTES

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- 2. ANY BROKEN OR MISSING SIDEWALK PANELS AND/OR CURBING SHALL BE REPLACED.

BEAUFORT EAST VILLAGE PHASE 1 Beaufort

IMPROVEMENTS WITHIN DRAINAGE AREA #7 Carteret County

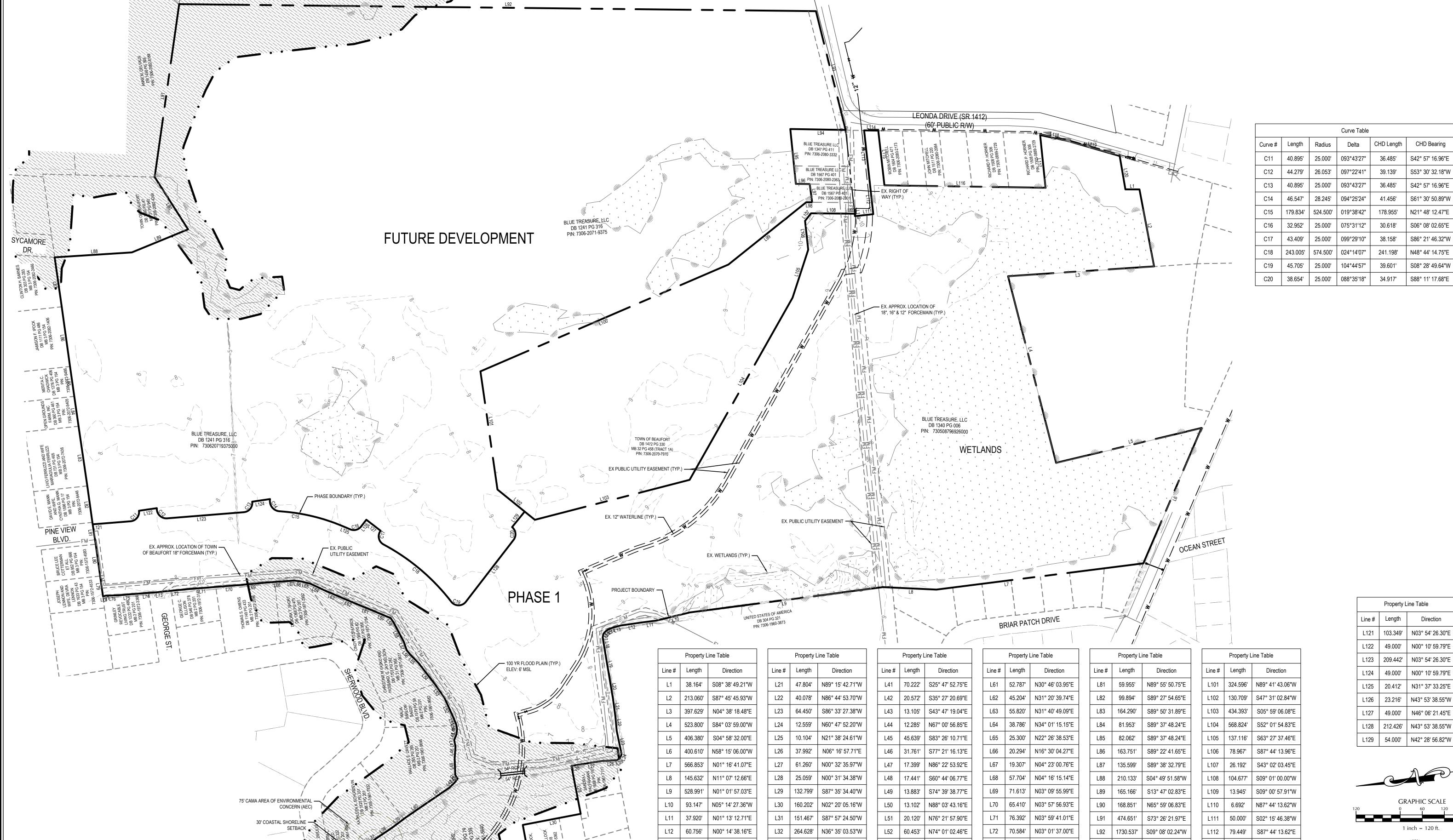
North Carolina



C-1

1410 Commonwealth Drive, Suite 101 | Wilmington, NC 28403 | t: 910.256.9277 | license #: C-0832 | www.withersravenel.com

PROJECT NOTES



L13 | 23.107' | N06° 36' 42.30"W

L14 | 12.729' | N14° 05' 21.99"W

L16 | 9.146' | N42° 33' 13.59"W

L17 | 9.252' | N71° 10' 18.24"W

L18 | 43.041' | S89° 07' 23.37"W

L19 | 65.574' | S88° 54' 58.99"W

L15 8.862'

L33 | 99.685' | N59° 55' 34.45"E

L34 | 109.610' | N48° 04' 19.07"E

L35 | 162.701' | N30° 43' 09.07"E

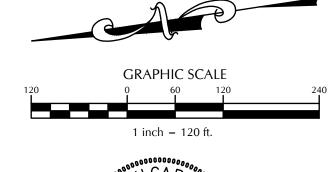
L36 | 83.918' | S55° 32' 23.57"E

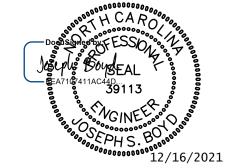
L37 | 31.633' | S26° 15' 05.32"E

L38 | 45.879' | S25° 22' 32.02"E

S28° 15' 37.19"E

L39 46.967'





9-20-16 JSB ADDED ADDITIONAL EX. 12" & 16" FORCEMAINS 9/14/15 UPDATED PER LOT & ROAD REVISIONS

BEAUFORT EAST VILLAGE PHASE 1
IMPROVEMENTS WITHIN DRAINAGE AREA #7 North Carolina



L53 | 41.697' | N63° 33' 59.35"E

L54 74.938' N60° 37' 47.63"E

L55 31.987' N54° 03' 26.19"

L58 | 57.827' | N70° 38' 50.96"E

L59 | 15.368' | N65° 04' 09.29"E

L60 | 43.817' | N31° 27' 57.71"E

L73 | 16.224' | N01° 00' 19.04"E

L74 | 55.214' | N04° 27' 19.36"E

L75 | 46.758' | N03° 30' 50.72"E

L76 | 35.695' | N07° 02' 58.67"E

L78 | 3.743' | N03° 52' 54.62"E

S89° 24' 02.42"E

L79 | 55.777' |

L94 | 150.149' | N09° 26' 52.08"E

L99 | 270.911' | N30° 12' 02.24"W

L100 | 733.798' | N14° 48' 56.01"W

L96 37.762'

L97 50.000'

16.081'



L113 | 149.703' | S87° 44' 07.69"E

L114 | 38.563' | S09° 25' 17.94"W

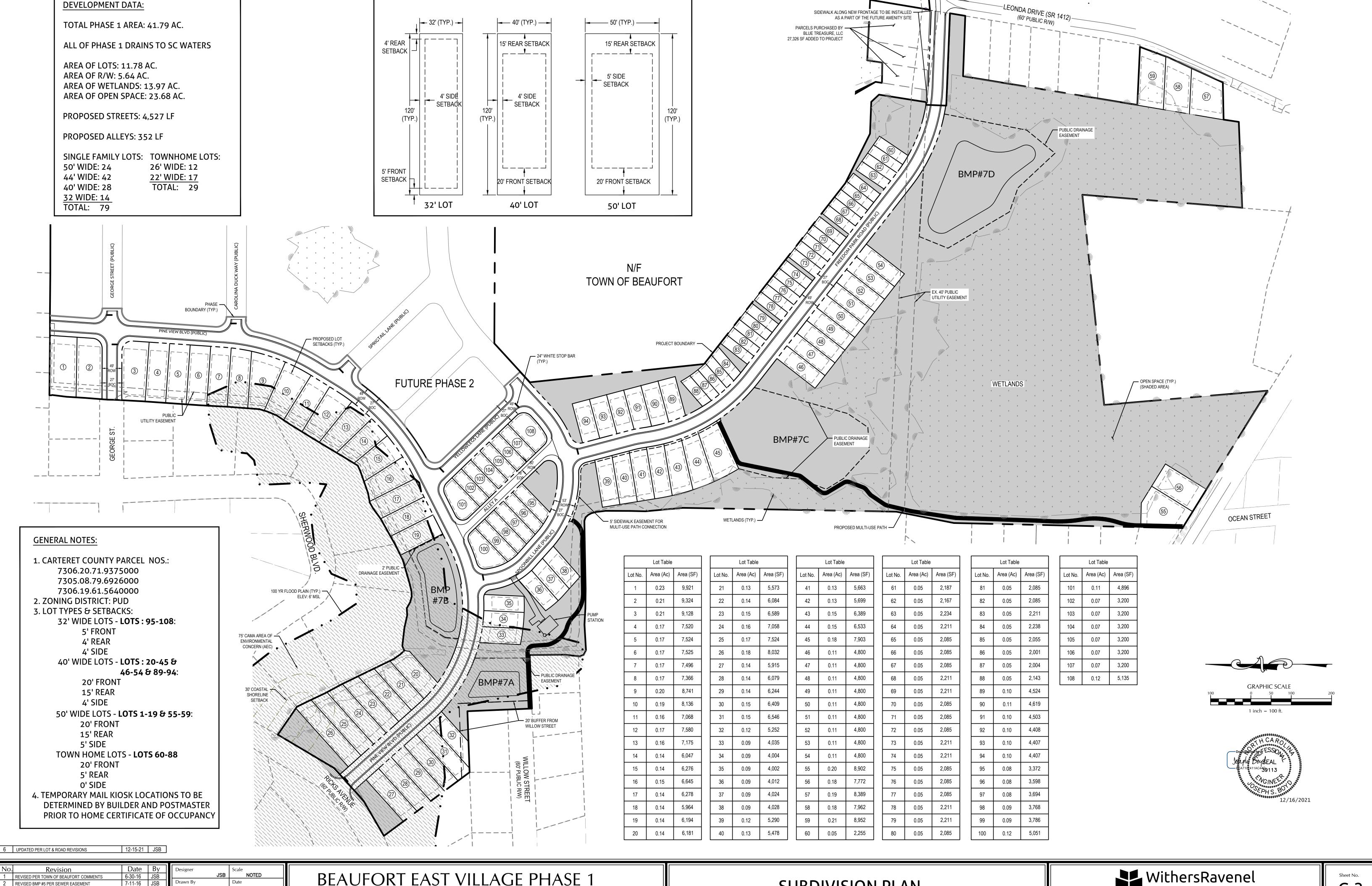
L115 | 149.715' | N87° 52' 42.06"W

L117 | 144.040' | S87° 22' 50.43"E

L118 | 75.023' | S20° 22' 22.17"W

L119 | 148.657' | S24° 41' 46.86"W

L120 | 92.030' | S88° 46' 49.09"W



7-11-16 JSB

BEAUFORT EAST VILLAGE PHASE 1 IMPROVEMENTS WITHIN DRAINAGE AREA #7 North Carolina **Carteret County** Beaufort





North Carolina

4 UPDATED PER LOT & ROAD REVISIONS

Checked By

Carteret County

Withers Ravenel
Engineers | Planners | Surveyors

EX. CONNECTION TO 12" WATERLINE ——
SEE PLANS BY ARENDELL ENGINEERS
FOR CONTINUATION OF WATERLINE 12-15-21 JSB

EXISTING FORCE MAIN PROPOSED FORCE MAIN 1" WATER SERVICE

4" SANITARY SEWER SERVICE



6 UPDATED PER LOT & ROAD REVISIONS

Checked By WATERLINE REVISION

BEAUFORT EAST VILLAGE PHASE 1 North Carolina Carteret County

UTILITY PLAN

▲ WithersRavenel

C-5

North Carolina

STORM DRAIN & GRADING UPDATES

Checked By

North Carolina

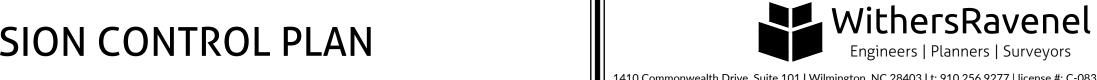
REVISED BMP #5 PER SEWER EASEMENT

BEAUFORT EAST VILLAGE PHASE 1 REVISED DWIT #31 EN SEWEN EAGEMENT 711-10 00B

REVISED CONSTRENT. & ADDED DIST. AREA FOR SEWER EXT. 9-20-16 JSB

REVISED PER NCDEMLR EC COMMENTS 12-19-16 JSB

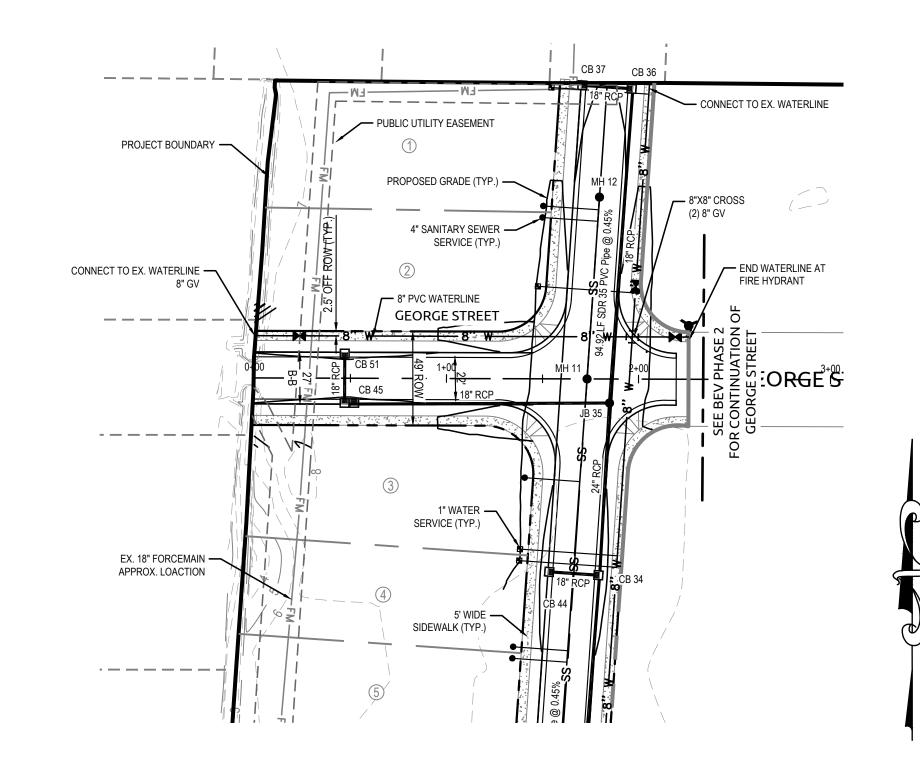
UPDATED PER LOT & ROAD REVISIONS 12-15-21 JSB Checked By Carteret County

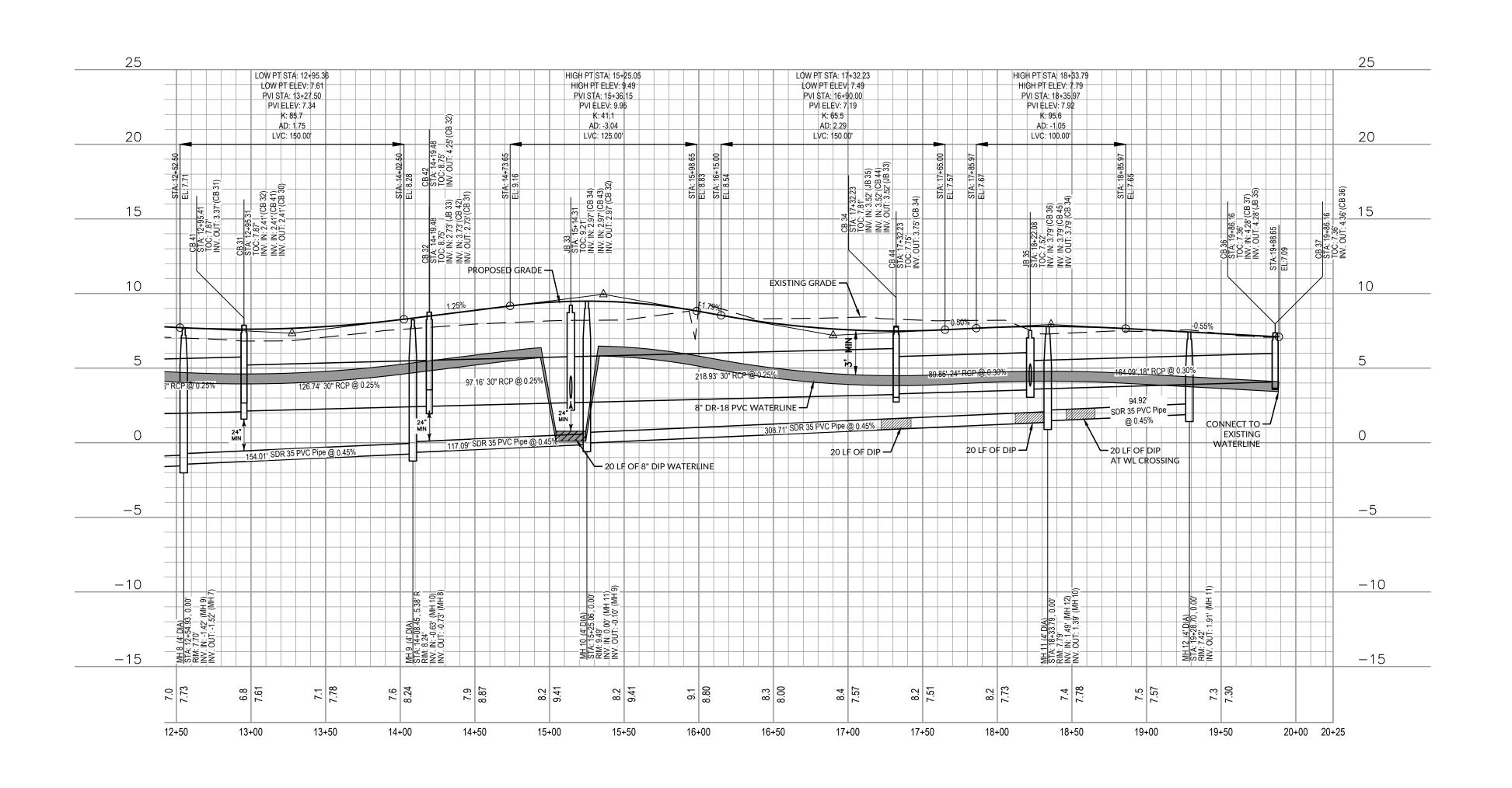


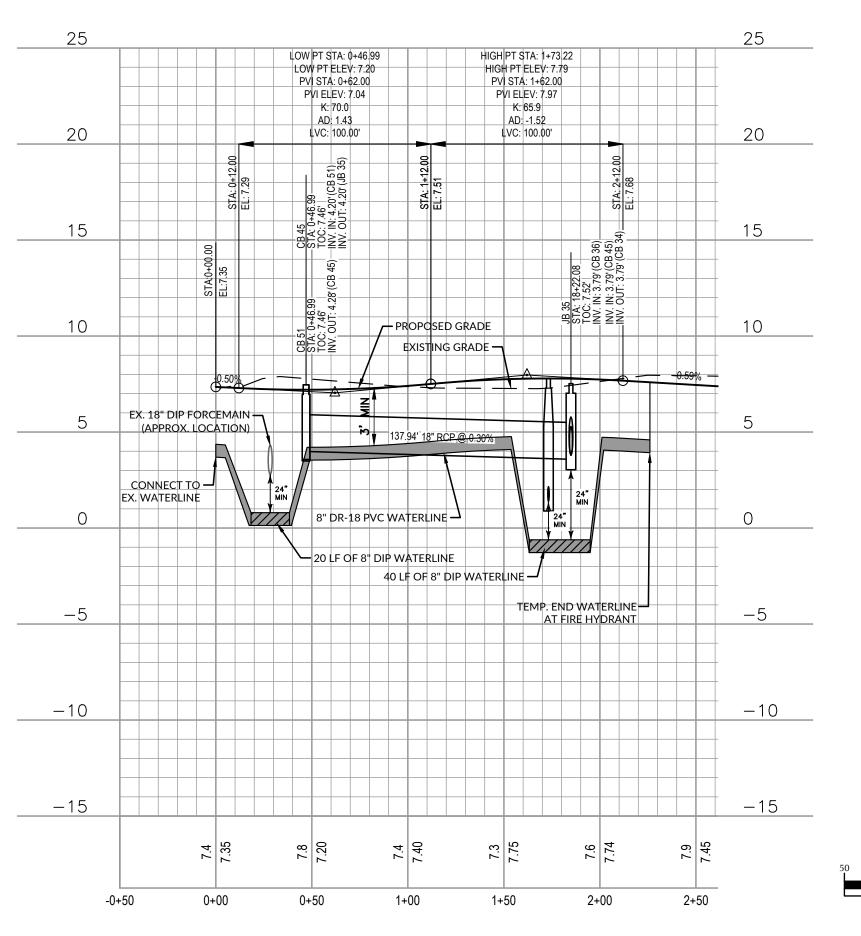
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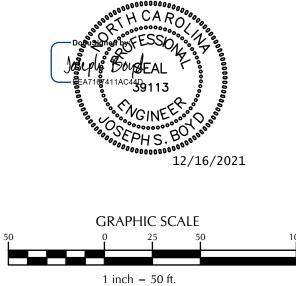
Carteret County

North Carolina









SCALE:

1" = 50' HORIZ.

1" = 5' VERT.

No.RevisionDateByDesignerScale1REVISED PER TOWN OF BEAUFORT COMMENTS6-30-16JSB2REVISED BMP #5 PER SEWER EASEMENT7-11-16JSB312" WL, STORM DRAIN & GRADING UPDATES9-29-19JSB4UPDATED PER LOT & ROAD REVISIONS12-15-21JSB
Checked By
Job No.

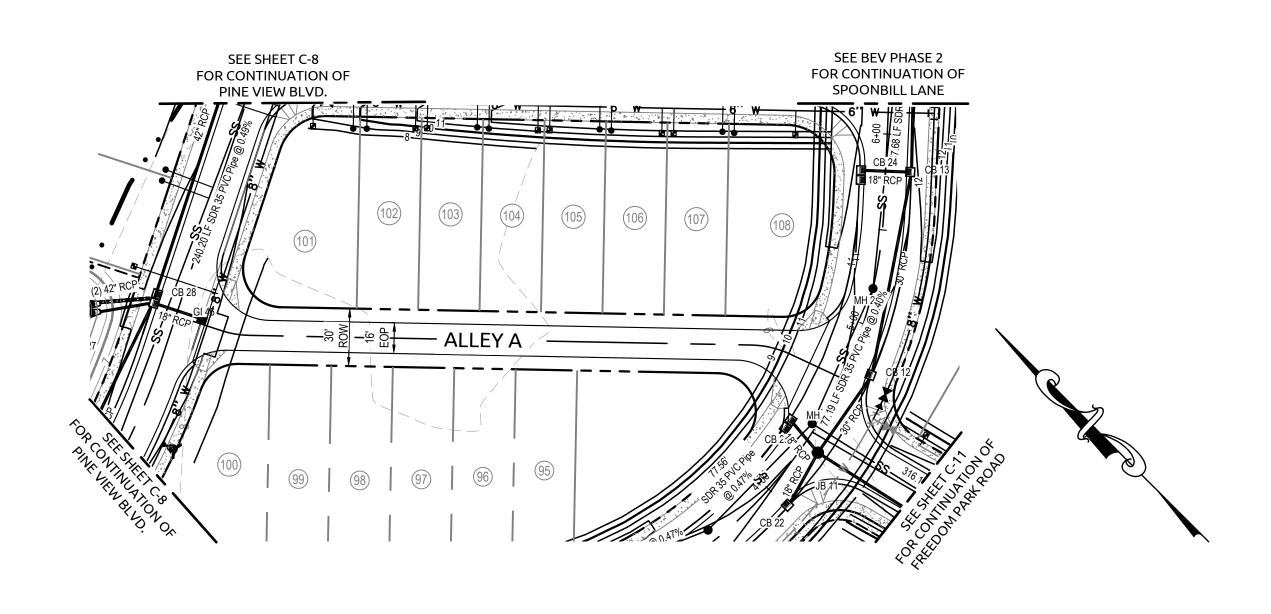
BEAUFORT EAST VILLAGE PHASE 1

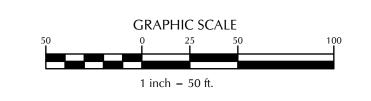
Carteret County

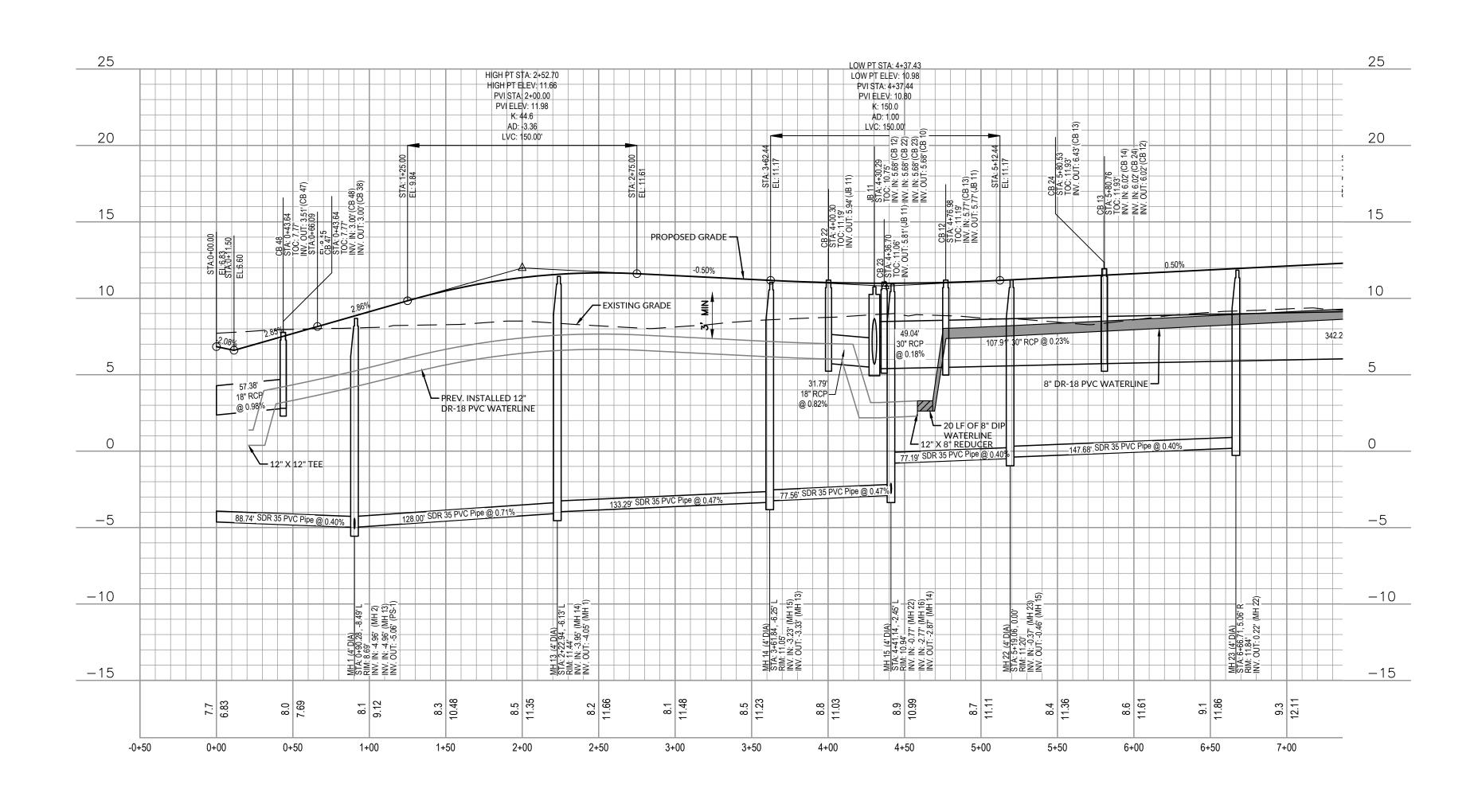
PINE VIEW BLVD STA. 13+00 TO 19+89 AND GEORGE ST. STA. 0+00 TO 2+50 PLAN & PROFILE

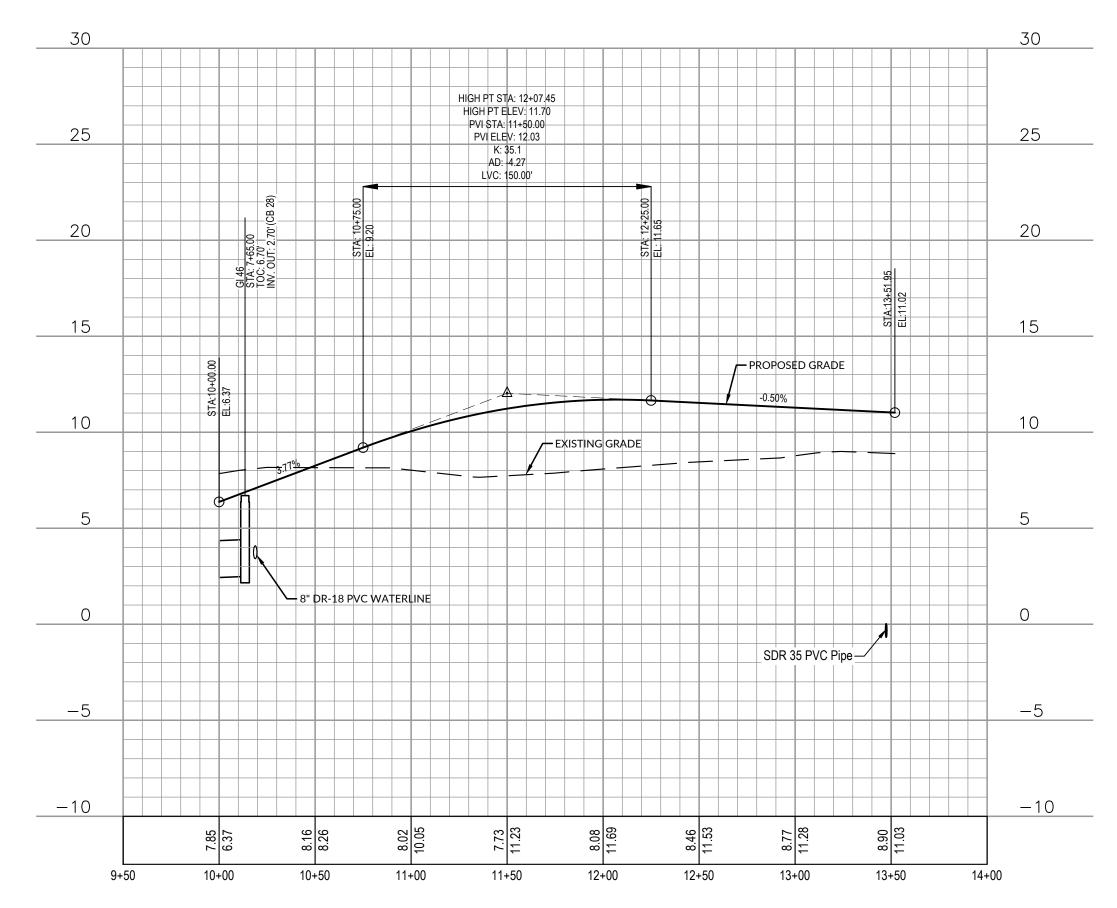
Withers Ravenel
Engineers | Planners | Surveyors

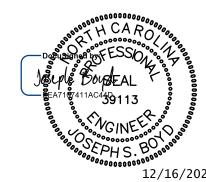
Sheet No.











SCALE:

1" = 50' HORIZ.

1" = 5' VERT.

1 REVISED PER FORCEMAIN SEWER EASEMENT
2 WATERLINE REVISION
3 12" WL, STORM DRAIN & GRADING UPDATES
4 UPDATED PER LOT & ROAD REVISIONS

 Date
 By

 7-11-16
 JSB

 2-16-18
 JSB

 9-29-19
 JSB

 12-15-21
 JSB

Designer

JSB

NOTED

Date

Date

9/14/15

Checked By

JSB

9/14/15

Checked By

JSB

O2080076 20

BEAUFORT EAST VILLAGE PHASE 1

SPOONBILL LANE PLAN & PROFILE STA. 0+00 TO 7+13

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Sheet No. **C-10**

North Carolina

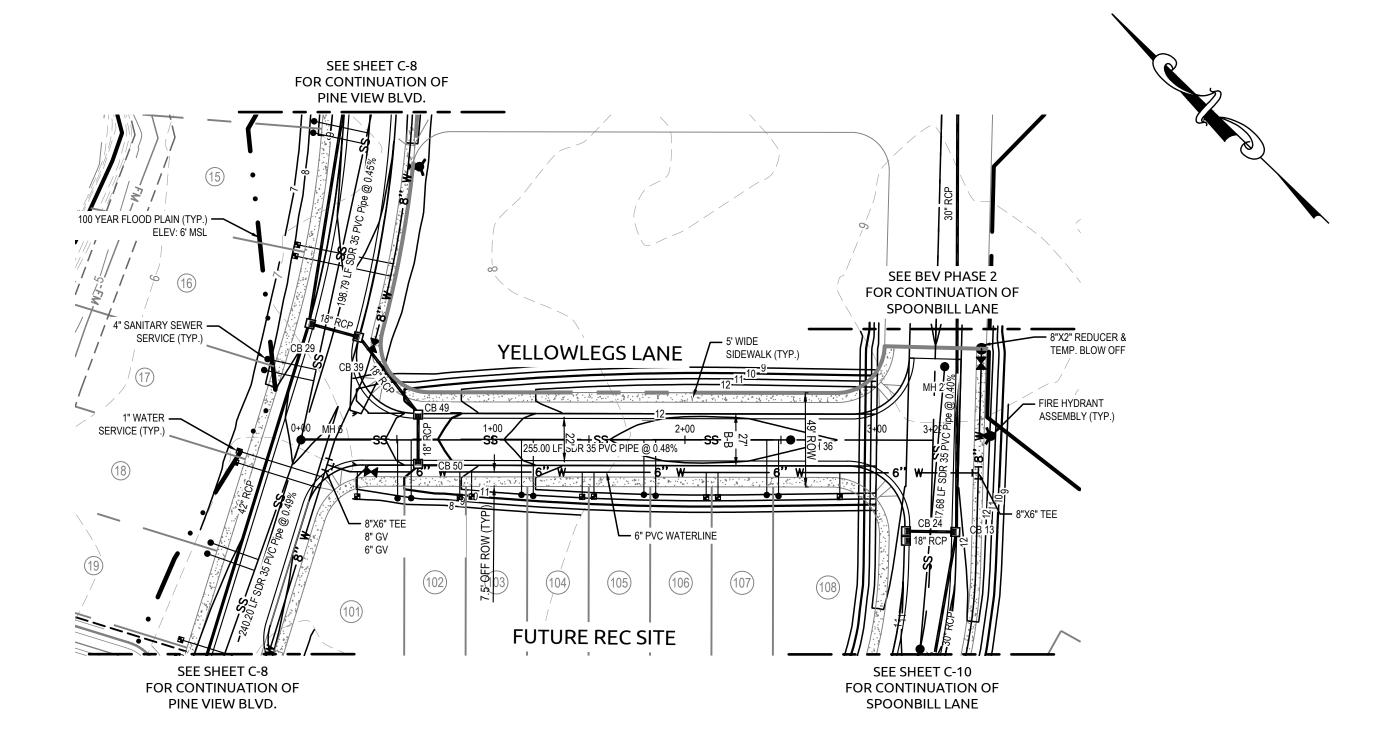
Carteret County

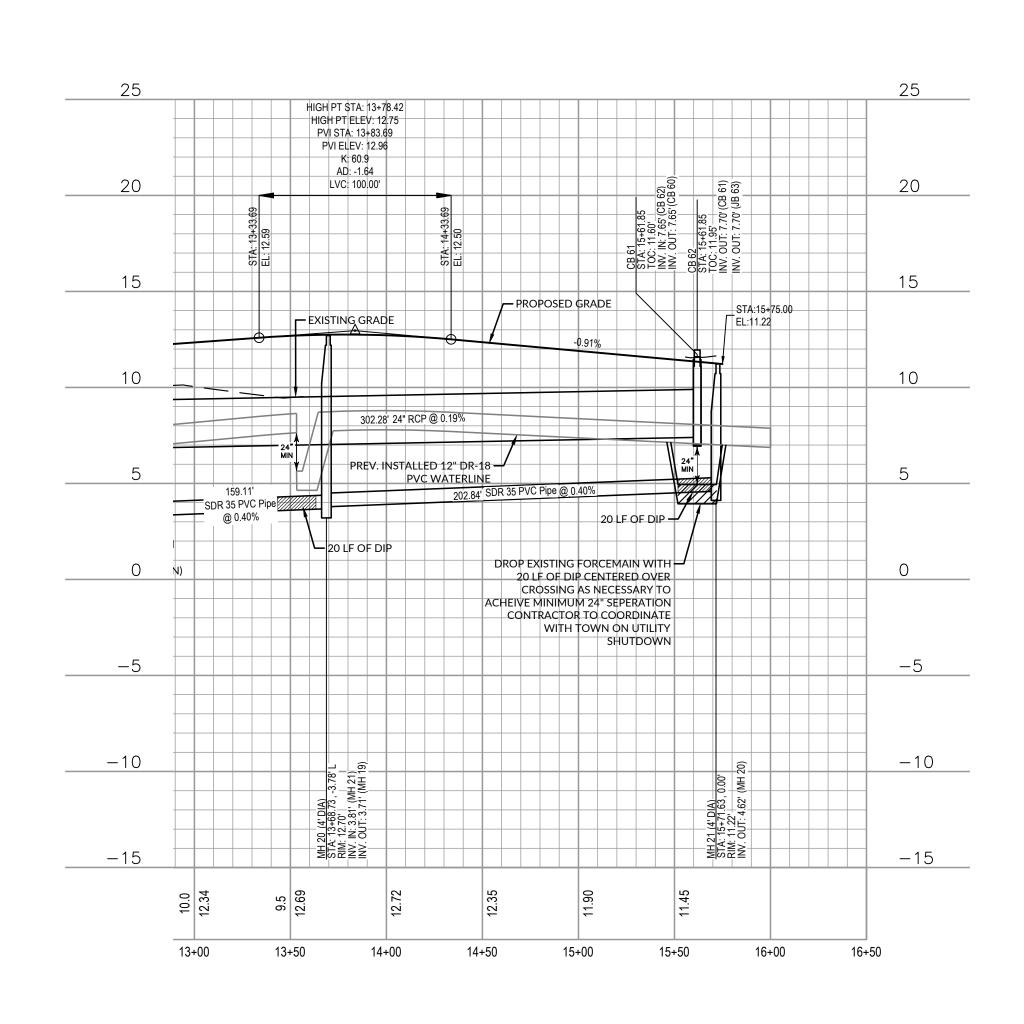
STA. 0+00 TO 13+00

WATERLINE REVISION

12" WL, STORM DRAIN & GRADING UPDATES

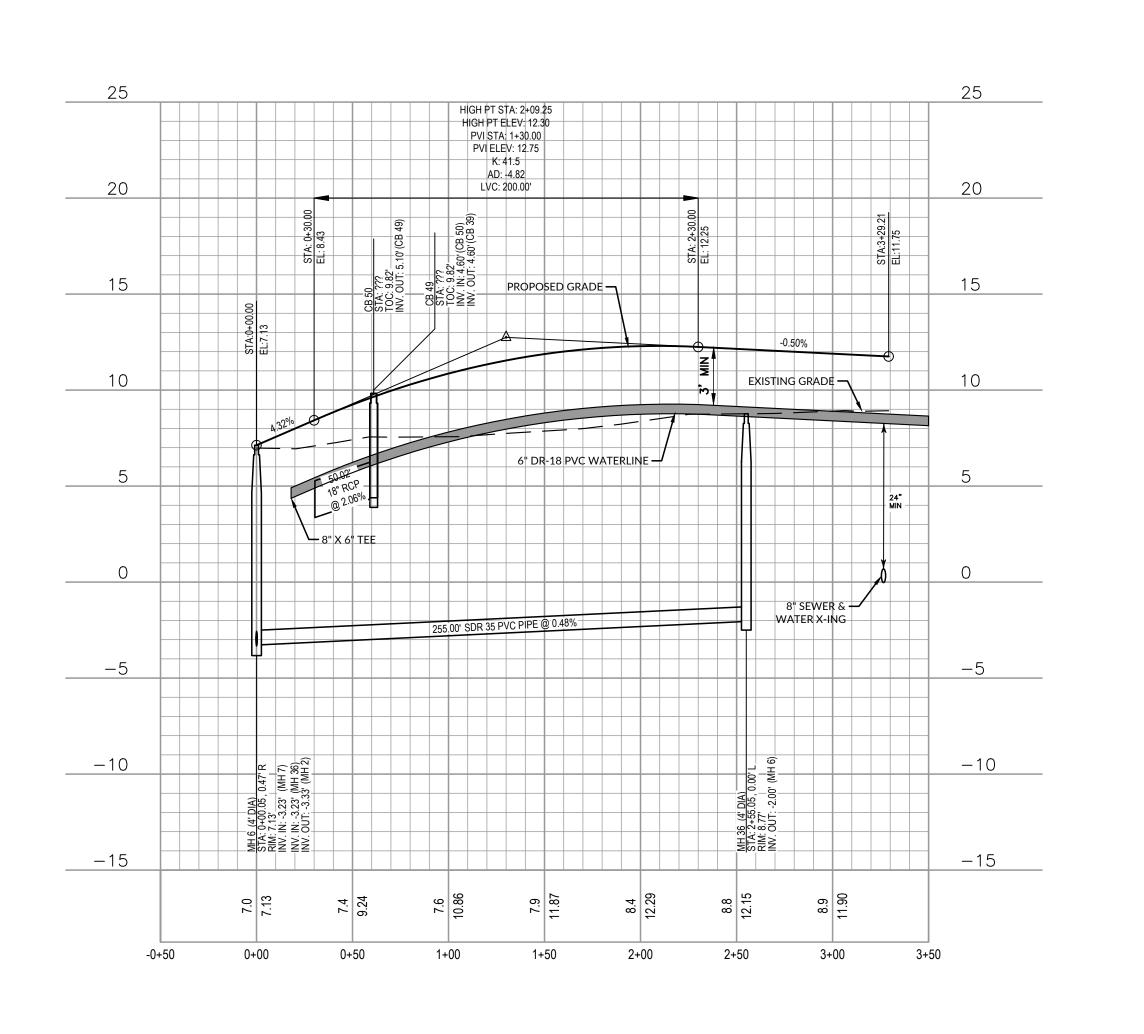
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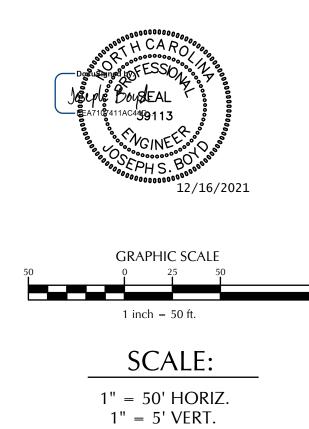




Carteret County

North Carolina





6 UPDATED PER LOT & ROAD REVISIONS 12-15-21 JSB

Revision Date By
REVISED PER TOWN OF BEAUFORT COMMENTS 6-30-16 JSB
UPDATED EX. EASEMENT & EX FORCEMANS 9-20-16 JSB
REVISED PER NCPWS COMMENTS 03-27-17 JSB
WATER INF REVISION 2-16-18 JSB
UNOTED

Designer

Scale

JSB
NOTED

Date

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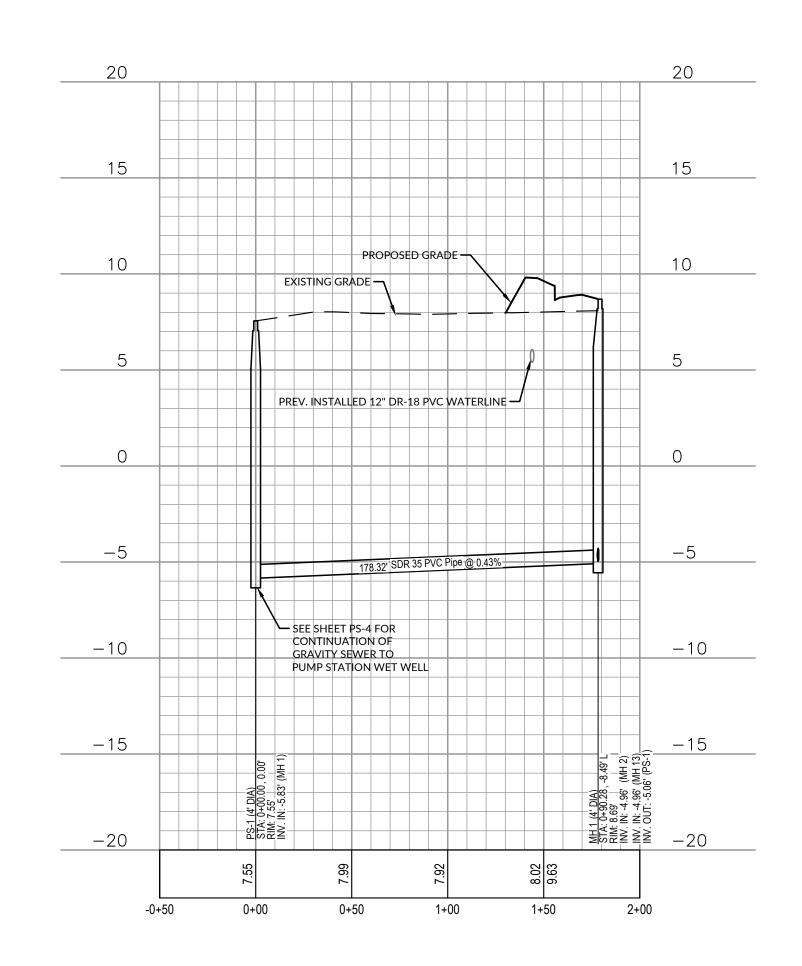
JSB
9/14/15
Checked By
Job No.

FREEDOM PARK RD. STA. 13+00 TO 15+75 AND YELLOWLEGS LANE PLAN & PROFILE

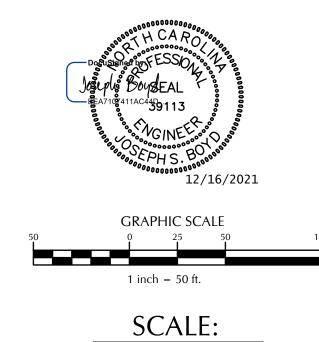
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Sheet No. **C-12**

k:\08\08-0970\080976.20-beaufort east village ph 1\CAD\CONSTRUCTION SHETIS.dwg- Wednesday, December 15, 2021 2:37:12 PM -



North Carolina



1" = 50' HORIZ. 1" = 5' VERT.

 Date
 By

 7-11-16
 JSB

 9-29-20
 JSB
 No. Revision

1 REVISED PER FORCEMAIN SEWER EASEMENT 12" WL, STORM DRAIN & GRADING UPDATES UPDATED PER LOT & ROAD REVISIONS

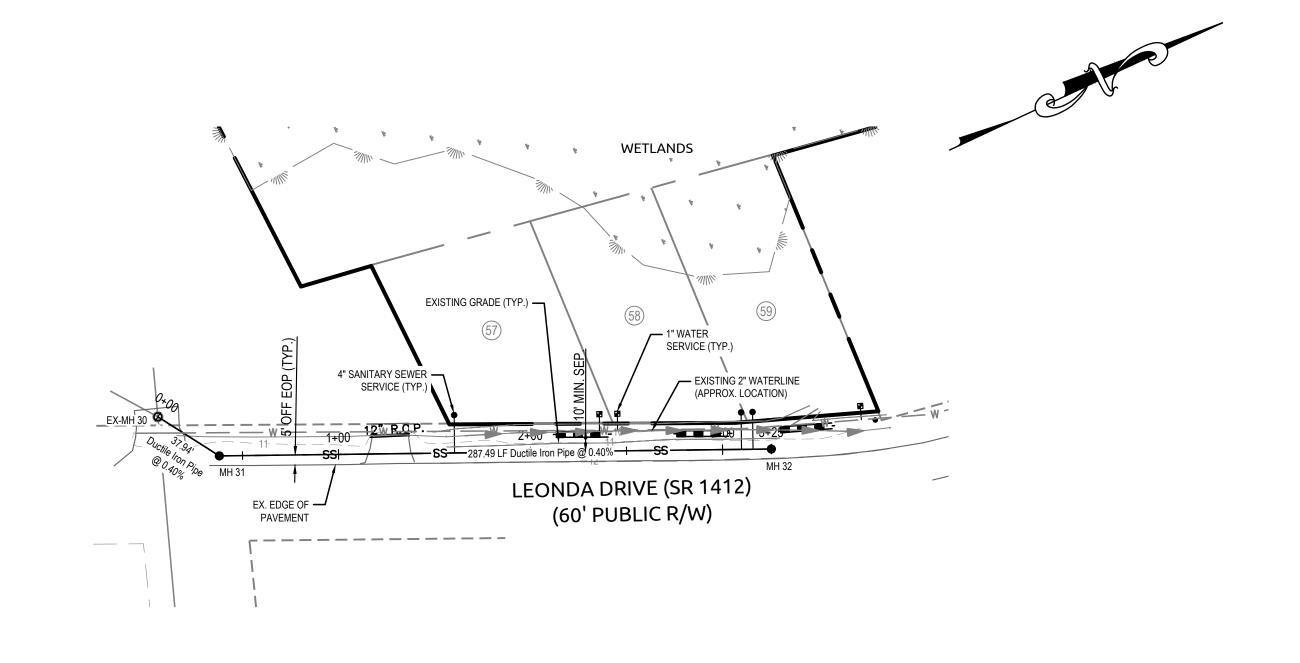
BEAUFORT EAST VILLAGE PHASE 1

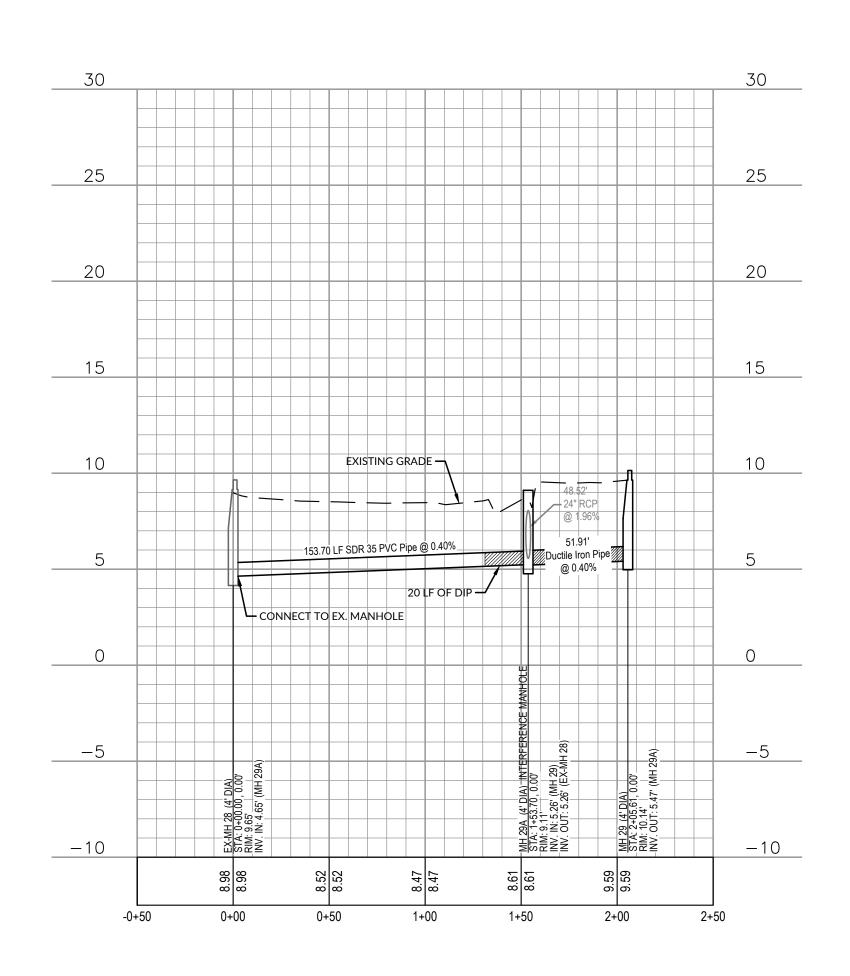
Carteret County

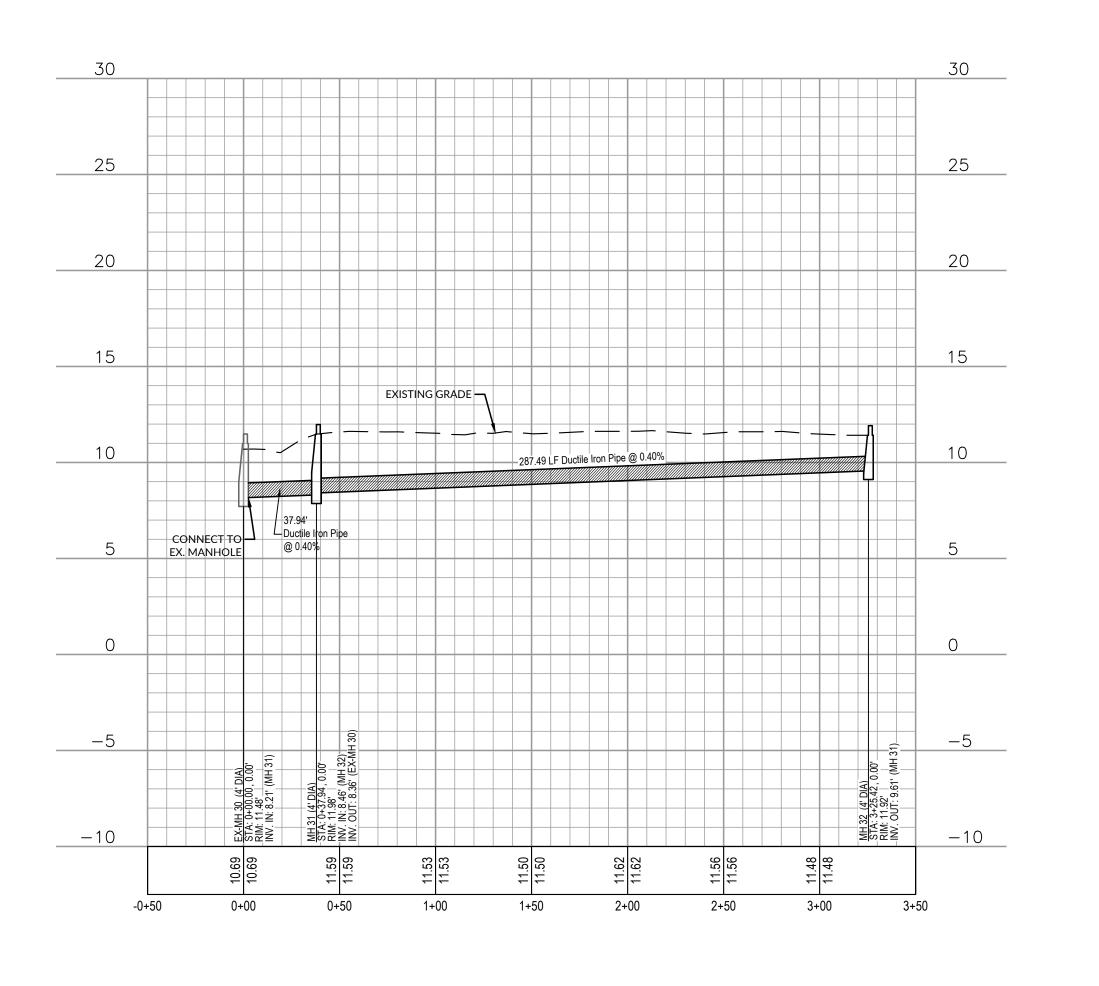
PS-1 TO MH-1 SEWER RUN PLAN & PROFILE

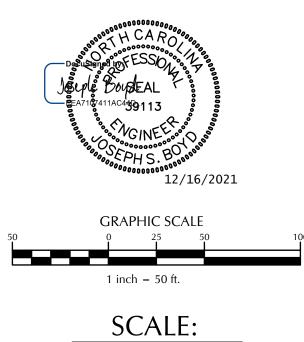
▲ WithersRavenel

C-13









1" = 50' HORIZ. 1" = 5' VERT.

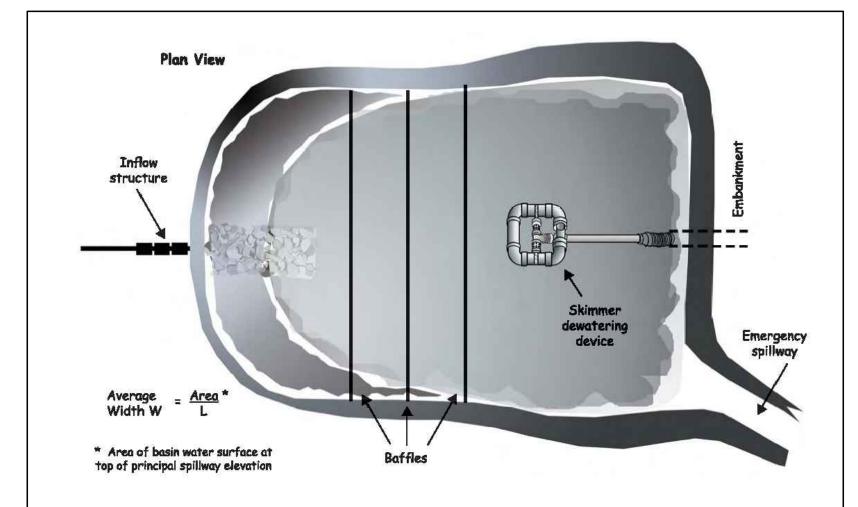
LENNOXVILLE ROAD AND LEONDA DRIVE SEWER EXTENSIONS & WATER SERVICE PLAN & PROFILE

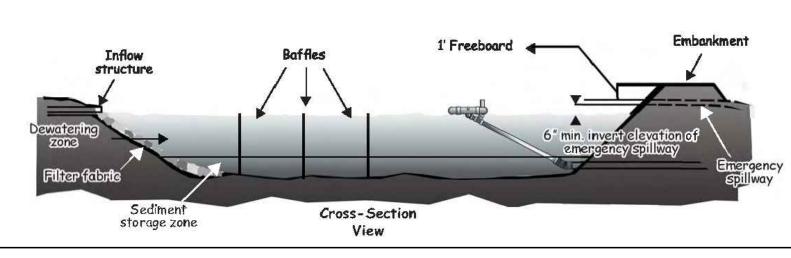
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Carteret County

North Carolina





SKIMMER BASIN DETAIL NTS

TEMPORARY SKIMMER BASIN DIMENSION TABLE

SKIMMER BASIN #1

NOTES:

1. ALL SIDE SLOPES OF THE SKIMMER BASIN ARE TO BE AT 2:1 GRADE AND SHALL BE STABILIZED WITHIN 7 DAYS.

2. SEE EROSION CONTROL DETAILS FOR MORE INFORMATION.

SKIMMER BASIN MAINTENANCE:

INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.

REPAIR THE BAFFLES IF THEY ARE DAMAGED. RE-ANCHOR THE BAFFLES IF WATER IS FLOWING UNDERNEATH OR AROUND THEM.

IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.

IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.

CHECK THE FABRIC LINED SPILLWAY FOR DAMAGE AND MAKE ANY REQUIRED REPAIRS WITH FABRIC THAT SPANS THE FULL WIDTH OF THE SPILLWAY. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE SKIMMER AND POOL AREAS.

FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

> 1/2" HOLES IN UNDERSIDE

PROFILE

20' BUFFER FROM — WILLOW STREET **STORMWATER POND NOTES:** NORMAL POOL -1. REMOVE ACCUMULATED SEDIMENTS FROM BOTH _6.5= 2. SEE LANDSCAPE PLAN FOR POND PLANTINGS. 3. PONDS SHALL BE PUMPED OUT FOR MAINTENANCE IF **POND MAINTENANCE:** TEMPORARY SKIMMER TO BE USED — DURING CONSTRUCTION ACTIVITIES INSPECT SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SEE SHEET P-1 FOR DETAILS SIGNIFICANT (1/2) INCH OR GREATER) RAINFALL EVENT AND BMP 4 OUTLET STRUCTURE -REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH. PLACE REMOVED SEDIMENT IN AN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA. - 20' WIDE EMERGENCY SPILLWAY WETLANDS - - - - - RIP RAP-ENERGY DISSIPATER

VEGETATIVE SHELF SHALLOW WATER EMERGENT COMMUNITY MINIMUM REQUIREMENT: 1,000 PLANTS & MIN. 3

COMMON NAME

DUCK POTATO

LIZARD'S TAIL

PICKEREL WEED

SPECIES (50 PLANTS PER 200 SF)

BOTANICAL NAME

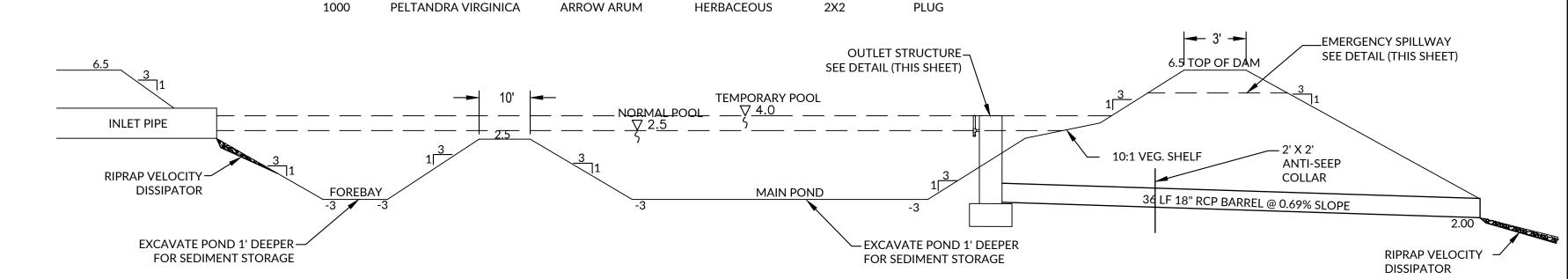
SAGITTARIA LATIFOLIA

SAURURUS CERNIUUS PONTEDERIA CORDATA

PROPOSED PLANTINGS:

1000

BMP #7A SITE PLAN



HERBACEOUS

HERBACEOUS

HERBACEOUS

SPACING (FT) MIN. PLANT

2X2

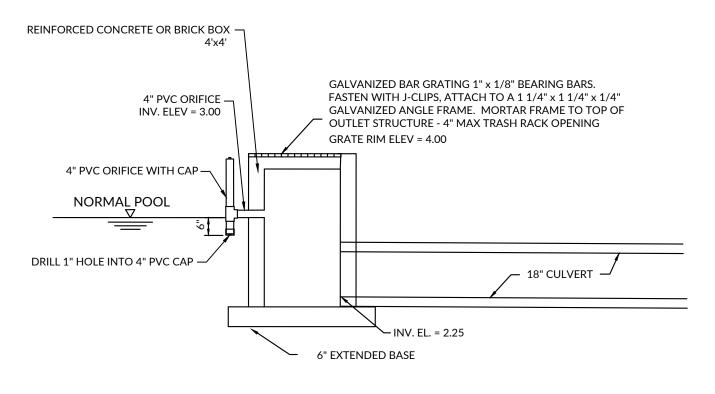
2X2

PLUG

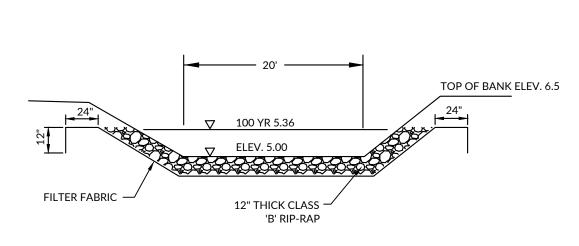
PLUG

PLUG

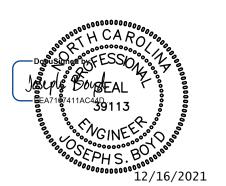
STORMWATER MANAGEMENT BMP #7A SECTION



BMP #7A OUTLET STRUCTURE DETAIL



BMP #7A EMERGENCY SPILLWAY



FOREBAY AND MAIN POND AT COMPLETION OF

THEY EVER NEED TO BE DRAINED.

1 inch = 20 ft.

CONSTRUCTION.

SKIMMER DETAIL NTS

BOTTOM SURFACE

PROFILE

SKIMMER BASIN #1

NUMBER

BMP #7A BMP #7B

BMP #7C BMP #7D

TEMPORARY SKIMMER SIZING TABLE

WATER SURFACE

REVISED PER TOWN SW COMMENTS 4-17-17 JSB REVISED BMPS PER NCDEQ SW COMMENTS 9/14/15 UPDATED PER LOT & ROAD REVISIONS Checked By

SKIMMER BASIN & BMP #7A WET DETENTION POND DETAILS

▲ WithersRavenel Engineers | Planners | Surveyors

BEAUFORT EAST VILLAGE PHASE 1
IMPROVEMENTS WITHIN DRAINAGE AREA #7
Carteret County North Carolina

1410 Commonwealth Drive, Suite 101 | Wilmington, NC 28403 | t: 910.256.9277 | license #: C-0832 | www.withersravenel.com

UPDATED PER LOT & ROAD REVISIONS

BEAUFORT EAST VILLAGE PHASE 1
IMPROVEMENTS WITHIN DRAINAGE AREA #7 North Carolina

9/14/15

Checked By

BMP #7B & BMP #7C WET DETENTION POND DETAILS



STORMWATER POND NOTES:

 REMOVE ACCUMULATED SEDIMENTS FROM BOTH FOREBAY AND MAIN POND AT COMPLETION OF CONSTRUCTION.

2. SEE LANDSCAPE PLAN FOR POND PLANTINGS.

3. PONDS SHALL BE PUMPED OUT FOR MAINTENANCE IF THEY EVER NEED TO BE DRAINED.

POND MAINTENANCE:

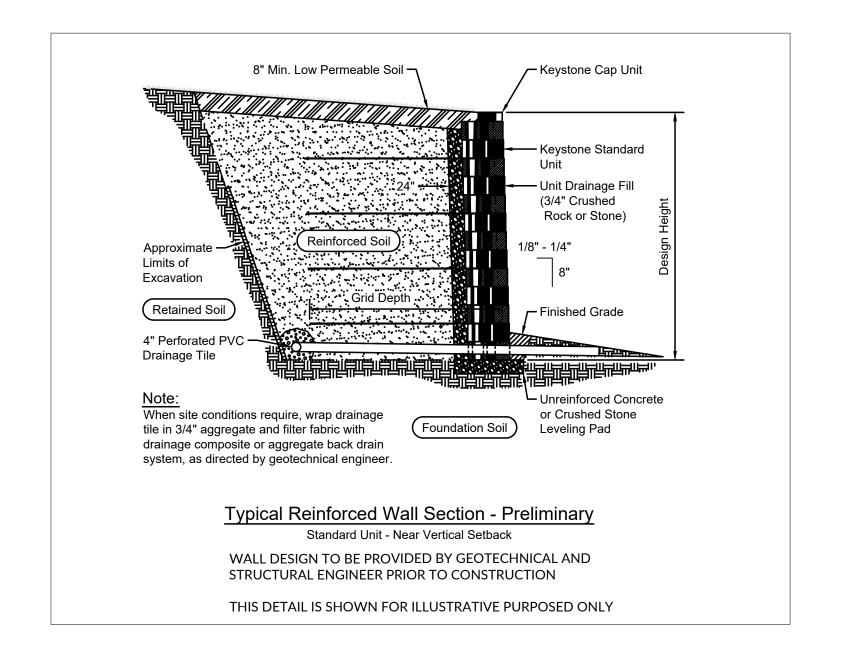
INSPECT SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (½ INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH. PLACE REMOVED SEDIMENT IN AN AREA WITH SEDIMENT CONTROLS.

CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.

VEGETATIVE SHELF SHALLOW WATER EMERGENT COMMUNITY MINIMUM REQUIREMENT: 2,110 PLANTS & MIN. 3 SPECIES (50 PLANTS PER 200 SF)

PROPOSED PLANTINGS:

				SPACING (FT)	MIN. PLANT
QUA.	BOTANICAL NAME	COMMON NAME	LAYER	ON-CENTER	SIZE
1025	SAGITTARIA LATIFOLIA	DUCK POTATO	HERBACEOUS	2X2	PLUG
1000	SAURURUS CERNIUUS	LIZARD'S TAIL	HERBACEOUS	2X2	PLUG
1000	PONTEDERIA CORDATA	PICKEREL WEED	HERBACEOUS	2X2	PLUG
1000	PELTANDRA VIRGINICA	ARROW ARUM	HERBACEOUS	2X2	PLUG





No. Revision

1 REVISED BMPS PER NCDEQ SW COMMENTS
2 EXPANDED SPILLWAY WIDTH FROM 30' TO 35'
3 UPDATED PER LOT & ROAD REVISIONS

Date

12-15-21 JSB

Designer

Scale

NOTED

Drawn By

Date

JSB

9/14/15

Checked By

Job No.

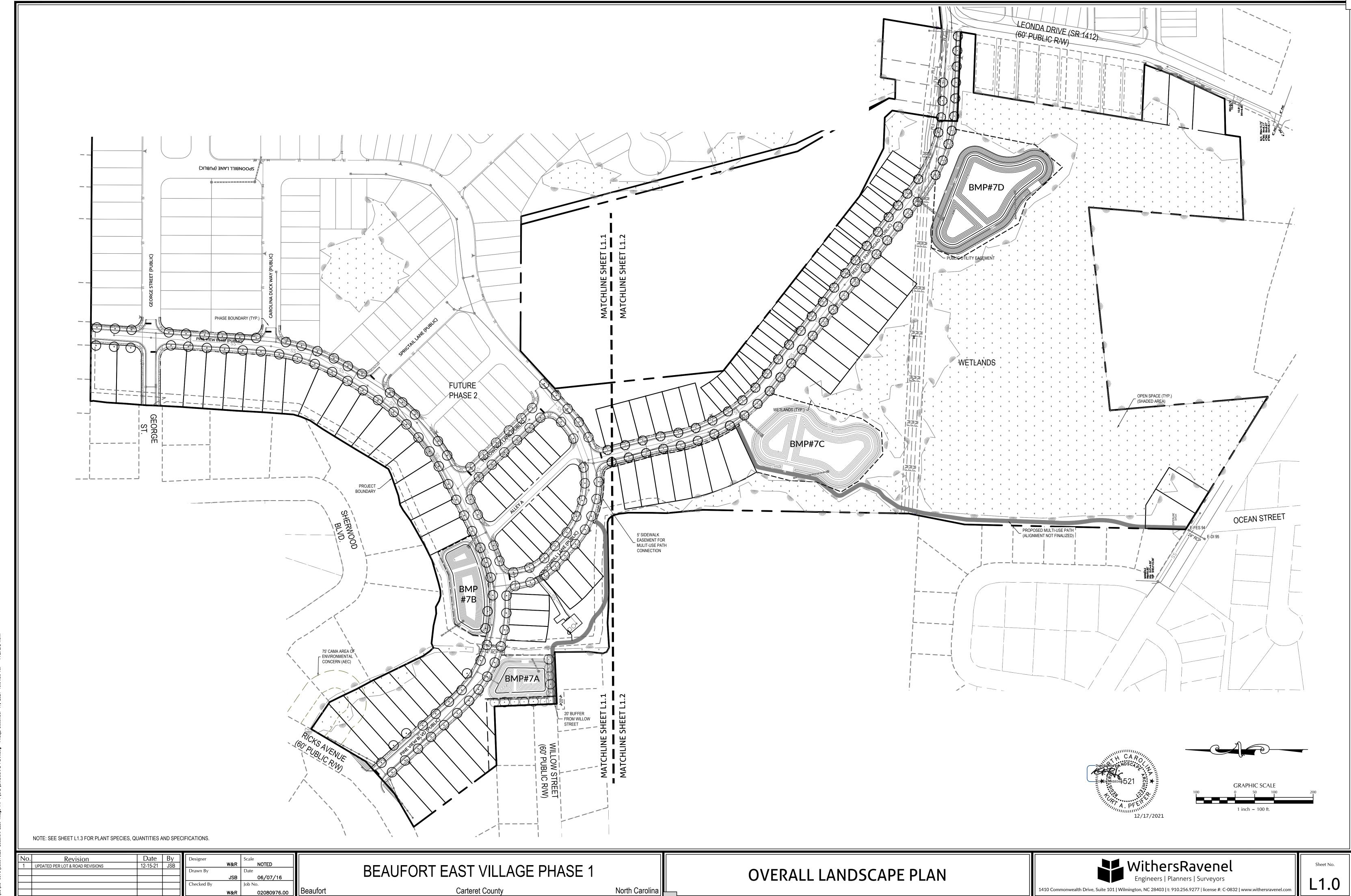
BEAUFORT EAST VILLAGE PHASE 1
IMPROVEMENTS WITHIN DRAINAGE AREA #7
Ufort Carteret County North Carolina

(SIDE VIEW) NTS

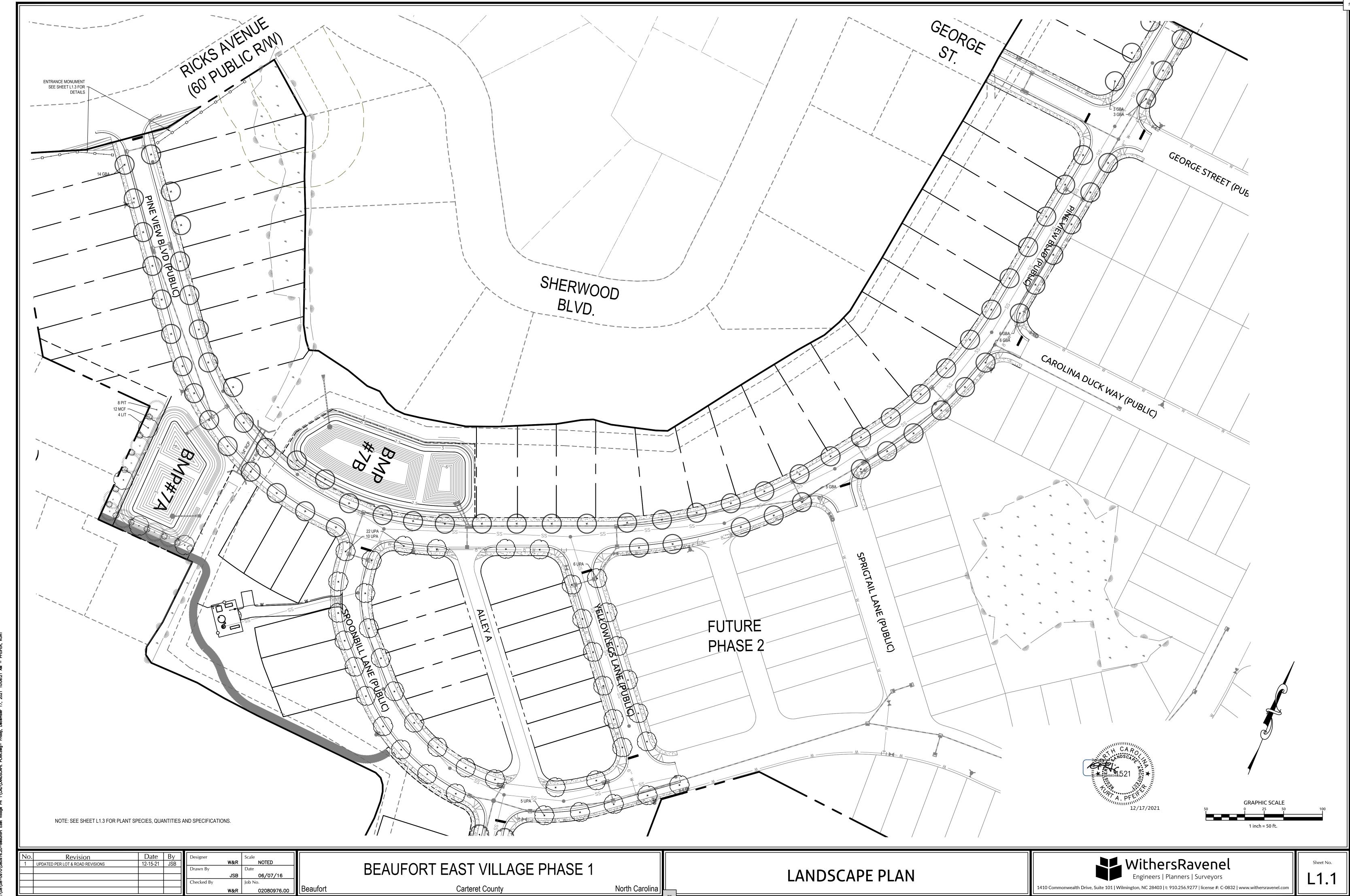
BMP #7D WET DETENTION POND DETAILS

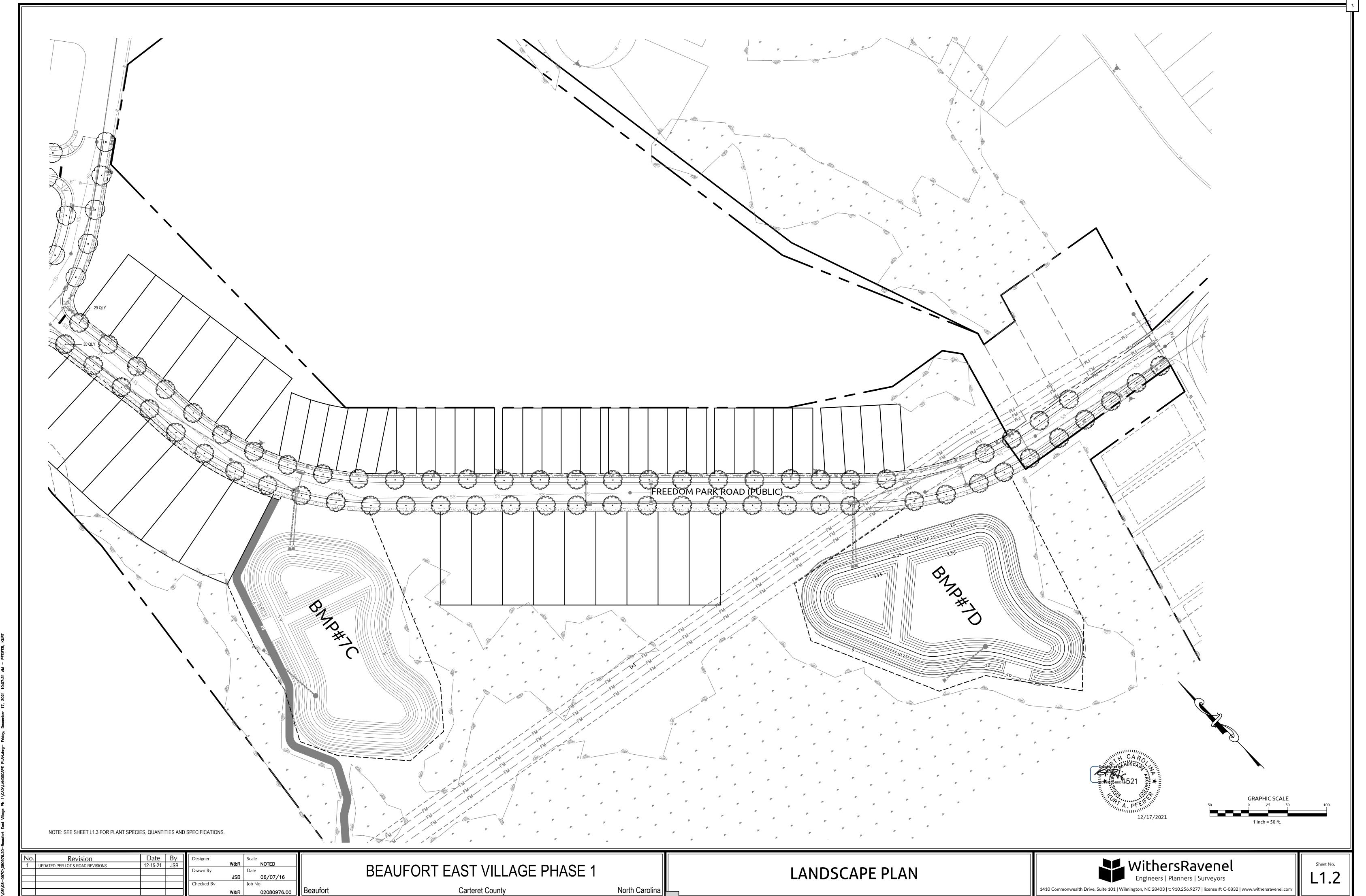
Withers Ravenel
Engineers | Planners | Surveyors

1410 Commonwealth Drive, Suite 101 | Wilmington, NC 28403 | t: 910.256.9277 | license #: C-0832 | www.withersravenel.com



RNO8-0970/080978.20—Beaufort East Village Ph. 1/CaD/LANDSCAPF PLAN dwa- Eriday, December 17, 2021 10:04:36 AM - PFFIFFR KLIRT





- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING ROADWAY GEOMETRY, GRADING, ETC., REFER TO THE ROADWAY LAYOUT AND GRADING PLANS. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THIS
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- TREE PROTECTION FENCE SHALL SURROUND ALL EXISTING PLANTINGS AND EXISTING BUFFER AREAS.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). ALL HVAC SYSTEMS AND TRASH BINS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DUMPSTER AND RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- BRANCHES OF TREES EXISTING AND PROPOSED INSIDE R.O.W. SHALL BE MAINTAINED TO NOT IMPACT SAFE MOVEMENT OF TRAFFIC.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, TELEPHONE, GAS, CABLE, OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OR REAR YARD AREAS OF THE SITE AND SHALL BE SCREENED TO THE MAXIMUM EXTENT POSSIBLE WITH EVERGREEN SHRUBS. PLANTINGS SHALL ALLOW FOR A MINIMUM 5 FEET CLEARANCE AROUND THE STRUCTURE TO ALLOW
- FOR ACCESS. PLANTING SHALL ALLOW FOR 10 FEET OF CLEARANCE WHERE THERE IS A DOOR OR LOCK. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY. 10. ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A.N.L.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", 2004 OR LATER EDITION.
- 11. ALL TREES AND SHRUBS SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES. 12. ALL TREES TO BE A MINIMUM OF 2" CALIPER AND 8' HEIGHT AT TIME OF INSTALLATION.
- 3. TURF VARIETY, WHETHER SEED OR SOD, SHALL BE DETERMINED BY OWNER.
- 14. ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION. 15. PINE STRAW MULCH SHALL BE PROVIDED IN ALL LANDSCAPE BEDS TO A DEPTH OF 4".
- 16. PRUNING SHALL ONLY CONSTITUTE THE THINNING OF BRANCHES AND FOLIAGE (NOT ALL END TIPS) TO RETAIN THE NORMAL PLANT SHAPE. NEVER CUT AND EVERGREEN LEADER.

LANDSCAPE MAINTENANCE

THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:

- THE LAWN AREA WILL BE MOWED AS NEEDED TO PROVIDE A NEAT AND UNIFORMLY FINISHED LAWN.
- FOR AREAS INACCESSIBLE TO MOWERS, A STRING TRIMMER WILL BE USED TO CUT GRASS TO SAME HEIGHT AS MOWER. CURB, SIDEWALK, AND BED EDGES WILL BE MECHANICALLY EDGED AS NEEDED TO PROVIDE A NEAT AND UNIFORM APPEARANCE.
- ALL DEBRIS WILL BE REMOVED FROM TURF PRIOR TO MOWING AND FROM TURF AND PAVEMENT AREAS FOLLOWING EDGING. THE ENTIRE LAWN WILL BE CORE AERIFIED IN THE FALL.
- SEEDING AND FERTILIZATION WILL BE PERFORMED IN CONJUNCTION WITH AERIFICATION.
- THE LAWN AREA WILL BE OVERSEEDED (TYPE DEPENDING ON TURF SELECTION) AT A RATE OF 75 POUNDS PER ACRE. THE TURF WILL BE FERTILIZED THREE TIMES DURING THE YEAR (MARCH, SEPTEMBER, AND NOVEMBER). A SLOW RELEASE NITROGEN PRODUCT WILL BE USED AT A RATE OF 1-2 POUNDS OF NITROGEN PER 100

PLANT BEDS AND SMALL ORNAMENTAL TREES

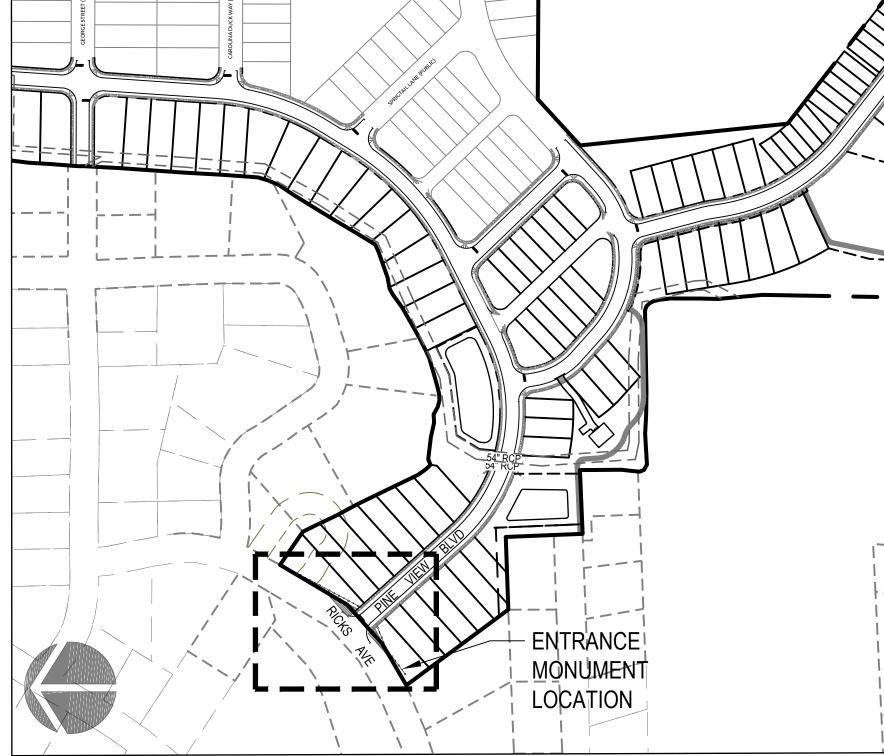
- ALL PLANT BEDS WILL BE SPRAYED AND WEEDED BY HAND TO MAINTAIN THEM FREE OF WEEDS AT ALL TIMES.
- ALL SHRUBS WILL BE FERTILIZED AS REQUIRED WITH A SLOW-RELEASE FERTILIZER AT A RATE ACCORDING TO PLANT TYPE. ALL TREES WILL BE FERTILIZED BY DEEP ROOT FEEDING WITH A SLOW-RELEASE FERTILIZER DESIGNED TO FEED FOR TWO YEARS.
- ALL SHRUBS AND TREES WILL BE PRUNED WITH HAND PRUNERS TO ENCOURAGE GROWTH AND REMOVE DEAD MATERIAL. REPLACE PINE STRAW MULCH ANNUALLY.
- FORMAL HEDGES WILL BE TRIMMED TO AN INVERT 'V' SHAPE TO ENCOURAGE LOW LIMB STRUCTURE AND DENSE GROWTH.
- AN I.P.M. (INTEGRATED PEST MANAGEMENT) PROGRAM WILL BE ESTABLISHED AND IMPLEMENTED.

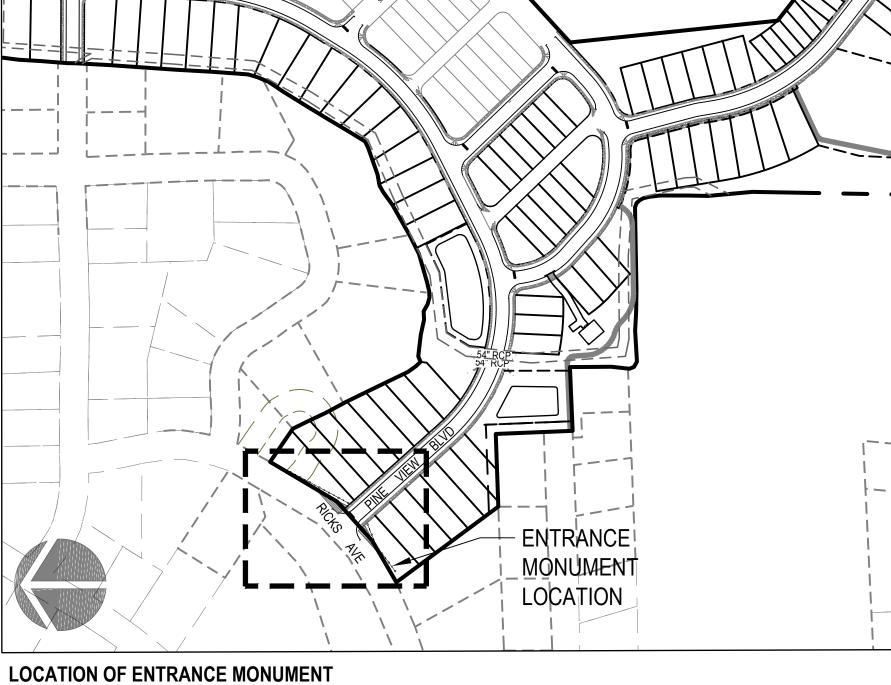
LEAVES AND NATURAL AREAS

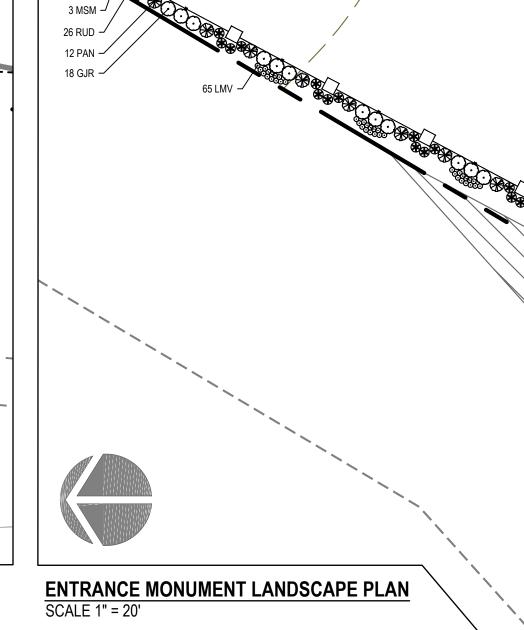
ALL LEAVES WILL BE REMOVED FROM THE LAWN AREAS WEEKLY AND FOUR TIMES A YEAR FROM THE PLANT BEDS. LEAVES MAY BE PLACED IN ADJACENT WOODED AREAS . NATURAL AREAS WILL BE MAINTAINED FREE OF BRUSH AND WEEDS WITHIN THE FIRST 10 FEET OF THE NATURAL AREA.

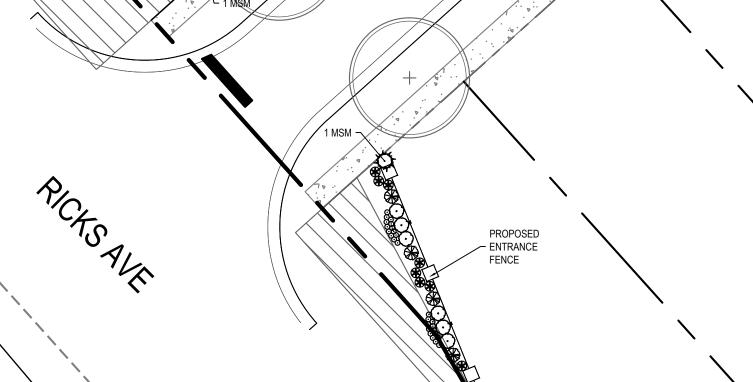
BEAU COAST PHASE I - MASTER PLANT SCHEDULE										
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	NOTES		
	75	GBA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	B&B	2 1/2"	12'-14'	MATCHED		
	34	PIT	Pinus taeda	Loblolly Pine	B&B	2 1/2"	12'-14'	MATCHED		
TREES	64	QLY	Quercus lyrata	Overcup Oak	B&B	2 1/2"	12'-14'	MATCHED		
	42	UPA	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	B&B	2 1/2"	12'-14'	MATCHED		
	5	LIT	Liriodendron tulipifera	Tulip Poplar	B&B	2 1/2"	12'-14'	MATCHED		
						·				
SHRUBS	12	MCF	Myrica cerifera	Wax Myrtle	CONT.	3 Gal.	18"-24"	MATCHED; 3' O.C.		

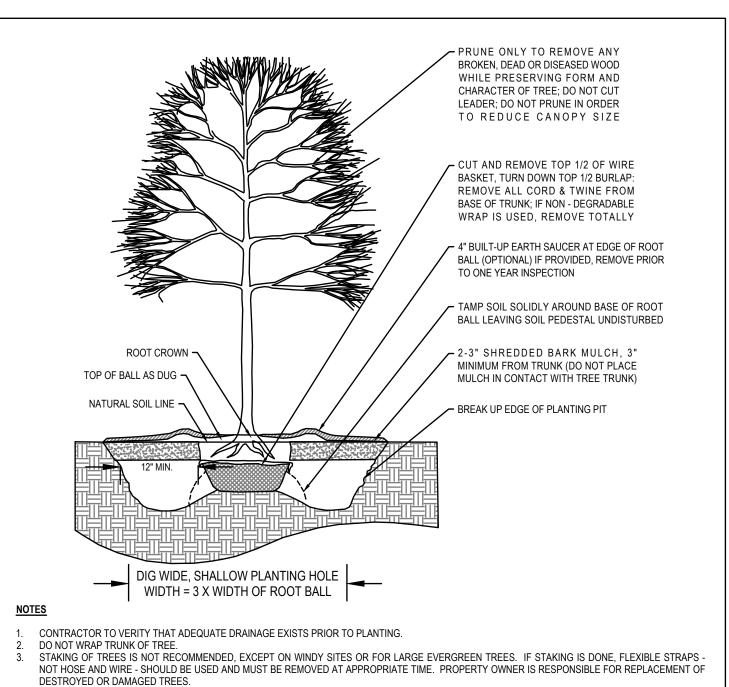
BEAU COAST PHASE I - ENTRANCE MONUMENT PLANT SCHEDULE 06.07.2016										
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	NOTES		
SHRUBS & ORNAMENTAL	22	PAN	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass.	CONT.	3 Gal.	18"-24"	MATCHED; 3' O.C.		
	33	GJR	Gardenia jasminoides 'Radicans'	Trailing Dwarf Gardenia	CONT.	3 Gal.	12"-18"	MATCHED; 3' O.C.		
GRASSES	8	MSM	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	CONT.	3 Gal.	24"-36"	MATCHED; 4' O.C.		
GROUNDCOVER	130	LMV	Liriope Muscari 'Variegata'	Variegated Liriope	CONT.	1 Gal.		MATCHED; 1' O.C.		
	46	RUD	Rudbeckla fulgida 'Goldstrum'	Black-eyed Susan	CONT.	1 Gal.		MATCHED; 3' O.C.		







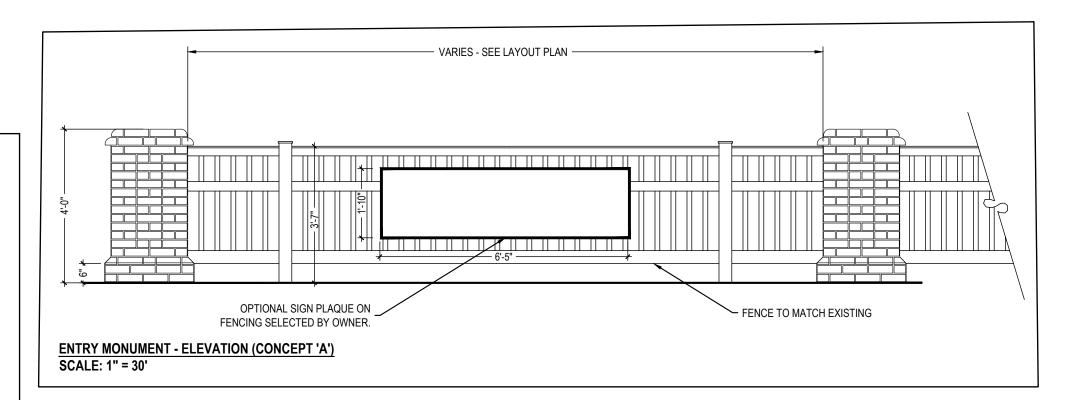


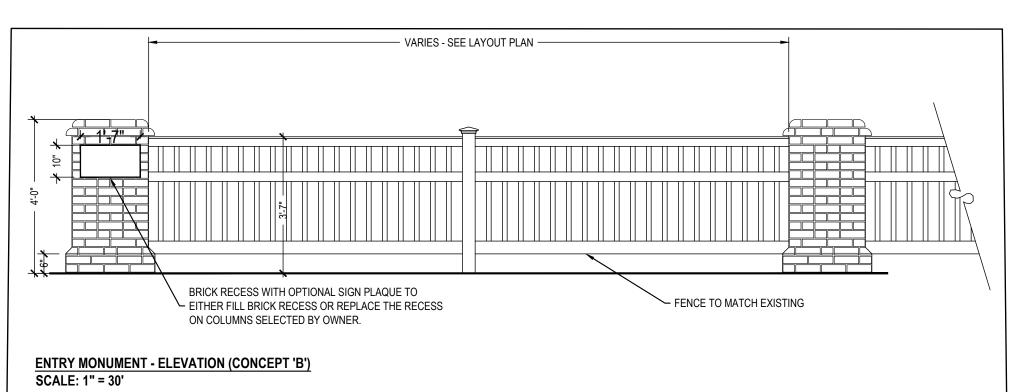


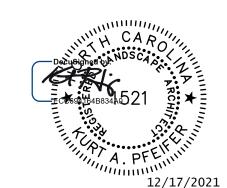
ALL TREES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE

SET TOP OF ROOT BALL 1"-2" ABOVE FINISHED GRADE FOLD BURLAP DOWN INTO -GROUND. SET TOP OF BALL ✓ 2-3" SHREDDED BARK FLUSH WITH FINISHED GRADE MULCH-DO NOT PLACE AGAINST TRUNK BACKFILL: AMEND THE TOP 6" BY TINCORPORATING 1" - 1.5" COMPOSTED PLANT - PULL ROOTS OUT GROUND BARK OR OTHER SUITABLE OF BALL, OR CUT SIDES ORGANIC MATTER OR PROVIDE NATIVE OIL WITH A MINUMUM OF 5% HUMIC MATTER FIRM PEDESTAL UNDER ROOT BALL BREAK UP EDGE OF PLANTING PIT * 12" DEEP-CULTIVATE ENTIRE PLANTING AREA AS SINGLE BED WHEN PLANTING MULTIPLES (FOR LARGER SHRUB ROOT BALLS, MAKE 4" DEEPER THAN ROOT BALL)

- ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK
- PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.). SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED. SHEET PREPARATION OF BEDS IS HIGHLY PREFERRED TO INDIVIDUAL DUG HOLE.S.
- SHRUB/GROUNDCOVER PLANTING DETAIL







Date By 12-15-21 JSB UPDATED PER LOT & ROAD REVISIONS Beaufort

AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).

5. TREES WITH ROOT FLARE COVERED BY MORE THAN 1.5" OF SOIL WILL BE REJECTED PRIOR TO INSTALLATION.

BEAUFORT EAST VILLAGE PHASE 1

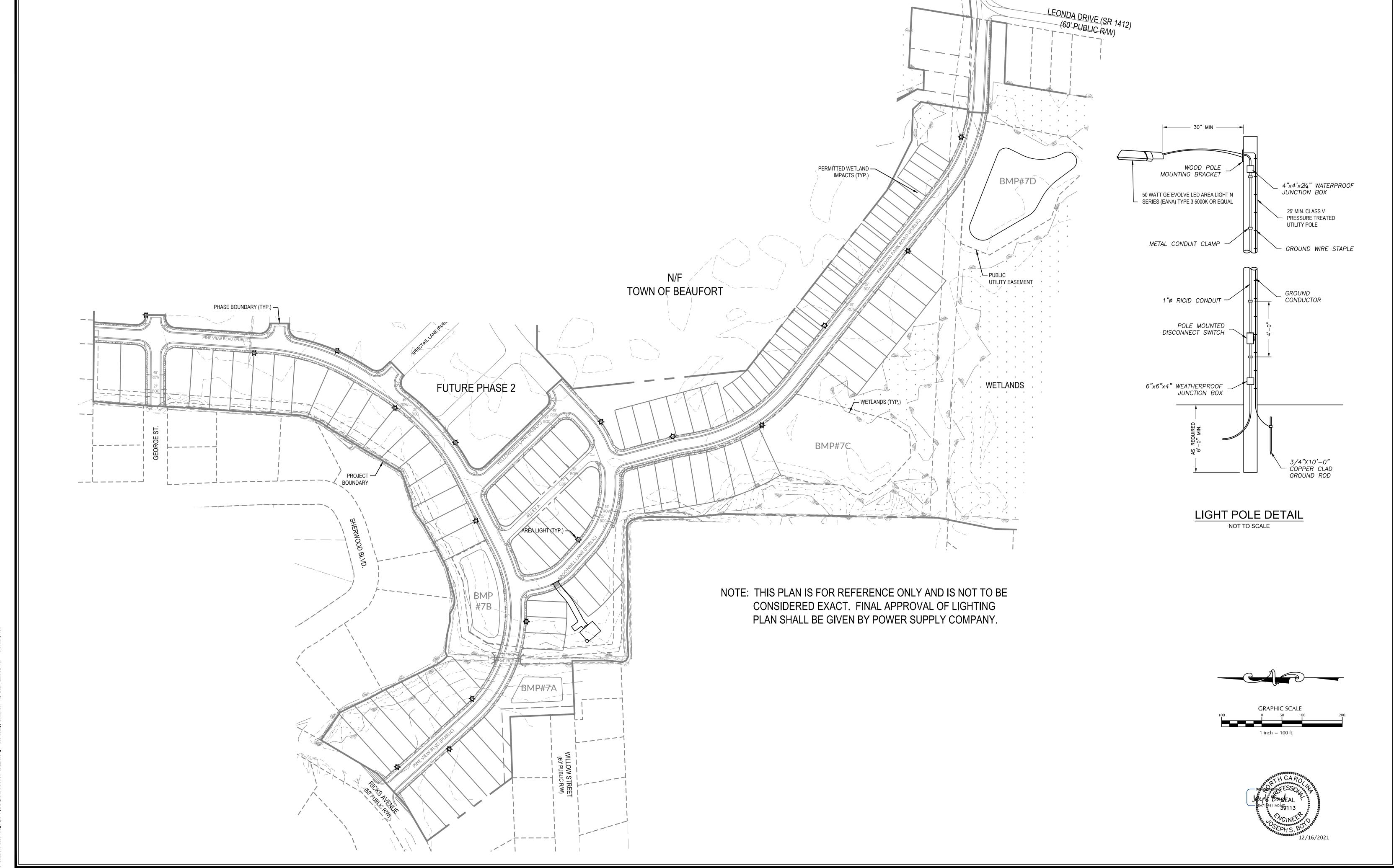
Carteret County

LANDSCAPE DETAILS



TREE PLANTING DETAIL

North Carolina



North Carolina

BEAUFORT EAST VILLAGE PHASE 1

Carteret County

PRELIMINARY STREET LIGHTING PLAN

▲ WithersRavenel

STORM SYSTEM DATA											
DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	LENGTH	SLOPE	MATERIAL	DOWNSTREAM INVERT	UPSTREAM INVERT				
JB 63	CB 62	24	44.09	-0.25%	Reinforced Concrete Pipe	7.81	7.70				
-E-FES 94	E-DI 95	24	48.52	1.96%	Reinfereed Concrete Pipe	5.73	6.68				
CB 15	CB 15A	18	26.79	0.75%	RCP	6.89	7.09				
CB 61	CB 62	24	27.00	0.19%	Reinforced Concrete Pipe	7.65	7.70				
CB 60	CB 61	24	302.28	0.19%	Reinforced Concrete Pipe	7.07	7.65				
CB 59	CB 60	36	27.00	0.11%	Reinforced Concrete Pipe	7.04	7.07				
CB 53	CB 59	36	144.03	0.12%	Reinforced Concrete Pipe	6.87	7.04				
CB 54	CB 58	18	27.00	0.59%	RCP	7.21	7.37				
CB 53	CB 57	18	27.02	2.15%	RCP	6.87	7.45				
CB 55	CB 56	24	27.00	0.19%	Reinforced Concrete Pipe	7.38	7.43				
CB 54	CB 55	24	83.74	0.20%	Reinforced Concrete Pipe	7.21	7.38				
CB 53	CB 54	30	261.39	0.13%	Reinforced Concrete Pipe	6.87	7.21				
FES 52	CB 53	36	81.94	0.15%	Reinforced Concrete Pipe	6.75	6.87				
CB 45	CB 51	18	27.00	0.30%	RCP	4.20	4.28				
JB 35	CB 45	18	137.94	0.30%	RCP	3.79	4.20				
CB 34	CB 44	18	27.00	0.85%	RCP	3.52	3.75				
JB 33	CB 43	18	179.81	0.75%	RCP	2.97	4.31				
CB 32	CB 42	18	27.00	1.93%	RCP	3.73	4.25				
CB 31	CB 41	18	27.00	3.56%	RCP	2.41	3.37				
CB 30	CB 40	18	27.00	0.93%	RCP	3.67	3.92				
CB 49	CB 50	18	27.00	1.85%	RCP	4.60	5.10				
CB 39	CB 49	18	50.02	2.06%	RCP	3.57	4.60				
CB 29	CB 39	18	27.23	1.84%	RCP	3.07	3.57				
CB 28	GI 46	18	27.00	0.41%	RCP	2.59	2.70				
CB 47	CB 48	18	27.00	1.89%	RCP	3.00	3.51				
CB 38	CB 47	18	57.38	0.98%	RCP	2.44	3.00				
CB 28	CB 38	18	134.46	1.00%	RCP	1.09	2.44				
CB 36	CB 37	18	27.00	0.30%	RCP	4.28	4.36				
JB 35	CB 36	18	164.09	0.30%	RCP	3.79	4.28				
	JB 35	24	89.85	0.30%	Reinferced Cenerate Pipe	3.52	3.79				
JB 33	CB 34	30	218.93	0.25%	Reinforced Concrete Pipe	2.97	3.52				
CB 32	JB 33	30	97.16	0.25%	Reinforced Concrete Pipe	2.73	2.97				
CB 31	CB 32	30	126.74	0.25%	Reinforced Concrete Pipe	2.41	2.73				
CB 30	CB 31	36	97.50	0.25%	Reinforced Concrete Pipe	2.17	2.41				
CB 29	CB 30	36	240.87	0.25%	Reinforced Concrete Pipe	1.57	2.17				
CB 28	CB 29	42	192.10	0.25%	Reinforced Concrete Pipe	1.09	1.57				
- FE3 27	CB 28	42	34.56	0.26%	Reinforced Concrete Pipe	1.00	1.09				
CB 25	CB 26	18	26.97	1.00%	RCP	7.30	7.57				
CB 14	CB 25	18	51.99	1.15%	RCP	6.70	7.30				
CB 13	CB 24	18	27.00	1.52%	RCP	6.02	6.43				
JB 11	CB 23	18	22.75	0.57%	RCP	5.68	5.81				
JB 11	CB 22	18	31.79	0.82%	RCP	5.68	5.94				
CB 10	CB 21	18	27.02	0.19%	RCP	5.47	5.52				
- CB 9	CB 20	18	27.01	0.19%	RCP	5.12	5.17				
 CB 18	CB 19	18	90.68	0.15%	RCP	7.54	7.68				
CB 17	CB 18	18	117.30	0.15%	RCP	7.36	7.54				
	CB 17	18	109.23	0.16%	RCP	7.19	7.36				
 CB 15	GB 16	24	151.99	0.20%	Reinferced Concrete Pipe	6.89	7.19				
- CB 14	CB 15	24	95.11	0.20%	Reinferced Cenerate Pipe	6.70	6.89				

			STOR	M SYS	ΓΕΜ DATA	STORM SYSTEM DATA												
DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	LENGTH	SLOPE	MATERIAL	DOWNSTREAM INVERT	UPSTREAM INVERT											
CB 12	CB 13	30	107.91	0.23%	Reinforced Concrete Pipe	5.77	6.02											
JB 11	CB 12	30	49.04	0.18%	Reinforced Concrete Pipe	5.68	5.77											
CB 10	JB 11	36	142.23	0.15%	Reinforced Concrete Pipe	5.47	5.68											
CB 9	CB 10	42	258.26	0.14%	Reinforced Concrete Pipe	5.12	5.47											
FES 8	CB 9	42	74.62	0.16%	Reinforced Concrete Pipe	5.00	5.12											
CB 2	CB 6	18	22.32	3.49%	RCP	2.12	2.90											
CB 3	CB 7	18	21.95	0.59%	RCP	2.81	2.94											
CB 4	CB 5	18	21.93	0.23%	RCP	3.20	3.25											
CB 3	CB 4	18	128.90	0.30%	RCP	2.81	3.20											
CB 2	CB 3	24	230.11	0.30%	Reinforced Concrete Pipe	2.12	2.81											
FES 1	CB 2	36	40.99	0.29%	Reinforced Concrete Pipe	2.00	2.12											
DOUBLE	CULVERT	54	65.98	1.71%	Reinforced Concrete Pipe	-0.19	0.94											
DOUBLE	CULVERT	54	65.98	1.71%	Reinforced Concrete Pipe	-0.19	0.94											

- STRIKE THROUGH DENOTES STORM PIPE NOT TO BE INSTALLED AS A PART OF BEV PHASE 1

CONSTRUCTION SPECIFICATION

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIPRAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.

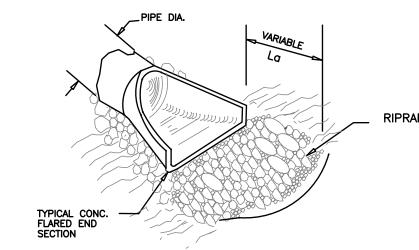
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.

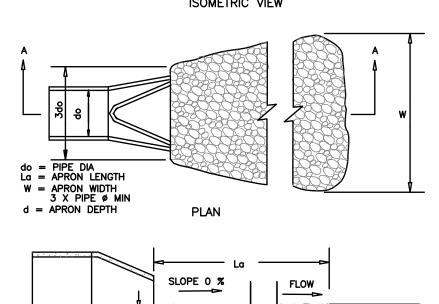
3. EXERCISE CARE IN RIPRAP PLACEMENT TO AVOID DAMAGE TO 4. PLACE RIPRAP ON ZERO GRADE - TOP OF RIPRAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.

5. RIPRAP TO BE HARD, ANGULAR, WELL GRADED CLASS B

EROSION CONTROL STONE. 6. IMMEDIATELY AFTER CONSTRUCTION STABILIZED ALL DISTURBED AREAS WITH VEGETATION AS SHOWN IN VEGETATIVE

INSPECT RIP RAP DISSIPATERS WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.





8 oz/sy Nonwoven Filter Fabric SEE SCHEDULE BELOW FOR DIMENSIONS

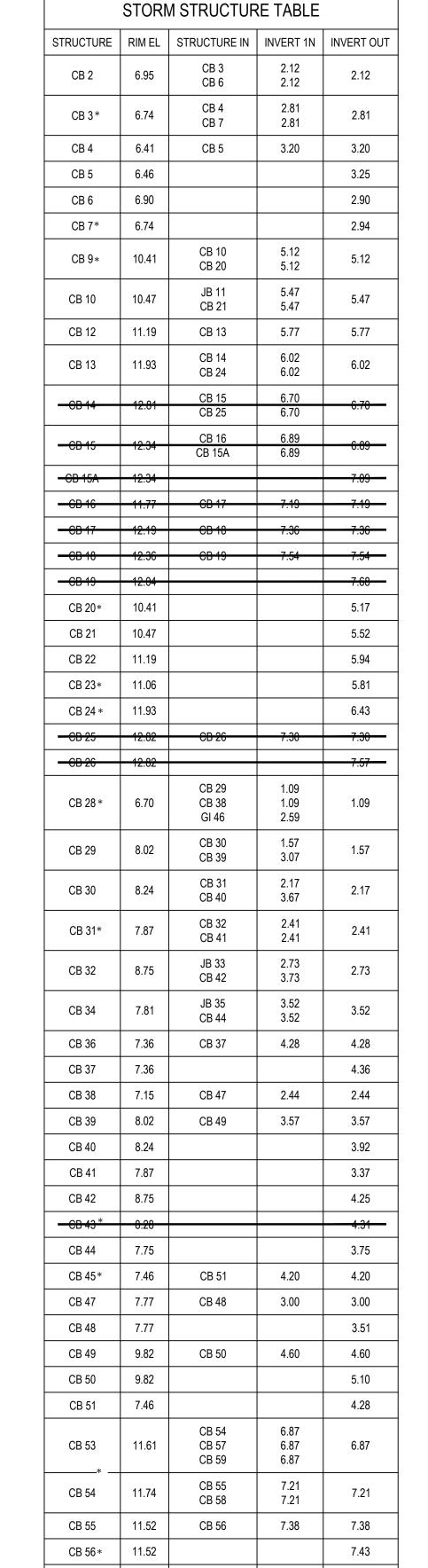
3. A filter blanket (filter fabric) shall be

ENERGY DISSIPATOR SCHEDULE

ENERGY DISSIPATOR NO.	PIPE DIAMETER (in)	APRON THICKNESS (in)	La (ft)	WIDTH (ft)	3do	RIPRAP SIZE
BMP 5 OUTLET	18	18	10	10	5	CLASS B
BMP 6 OUTLET	18	24	15	17	5	CLASS 1
BMP 7 OUTLET	18	24	10	12	5	CLASS 1
BMP 8 OUTLET	18	24	10	12	5	CLASS 1
FES 1	30	24	16	19	8	CLASS 1
FES 8	(2) 30	24	18	21	16	CLASS 1
FES 27	(2) 30	24	18	21	16	CLASS 1
FES 52	(2) 24	24	14	16	12	CLASS 1

RIP RAP ENERGY DISSIPATER

N.T.S.

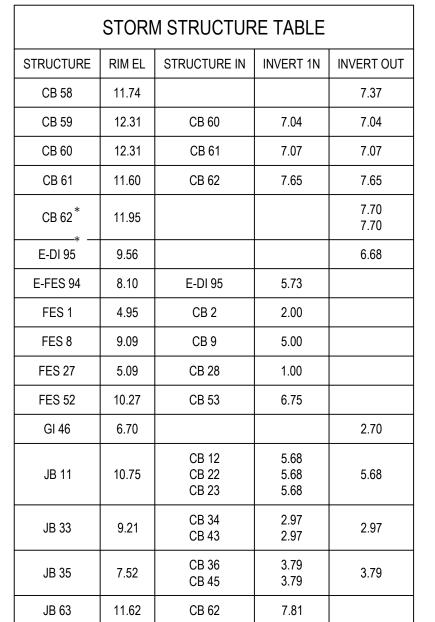


* DENOTES A DOUBLE BOX STORM STRUCTURE

STORM DRAIN MATERIAL NOTE:

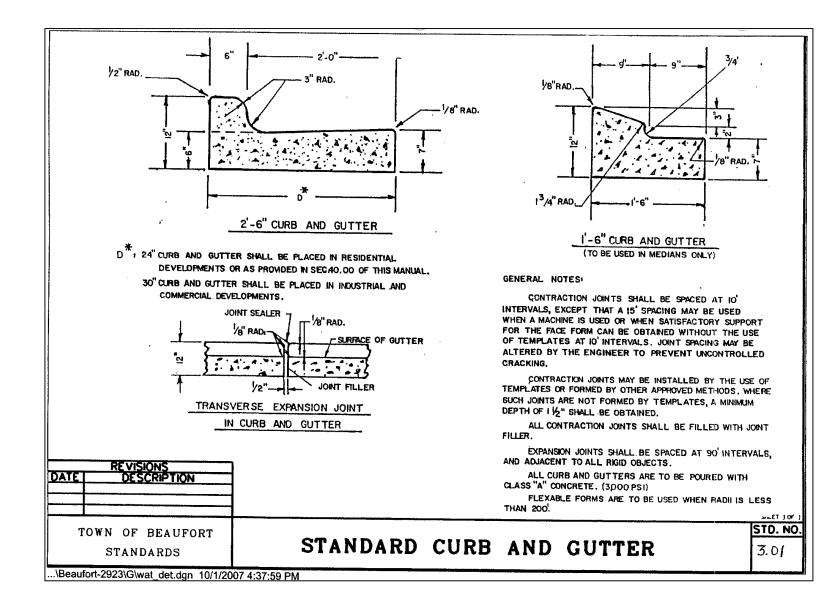
CB 57

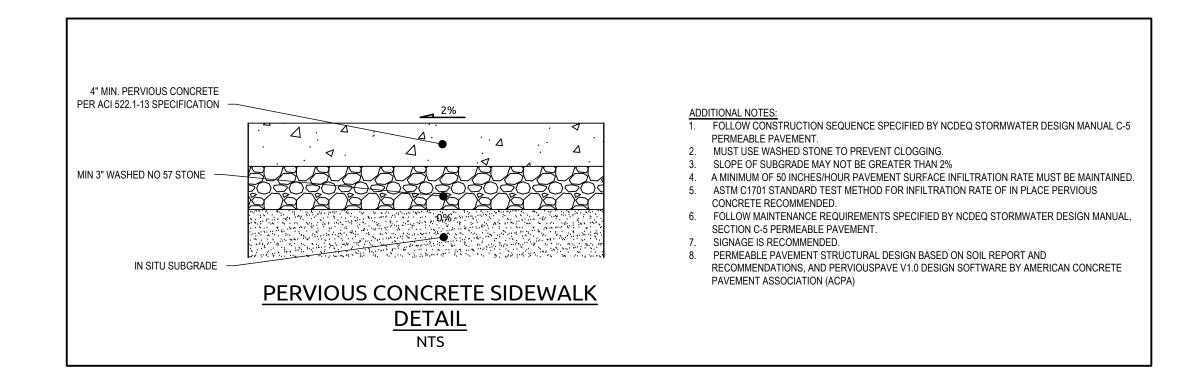
1. ADS MATERIAL FOR STORM DRAIN PIPING CAN BE USED IN LIEU OF RCP IF REQUEST IS SUBMITTED AND THEN APPROVED BY THE ENGINEER.

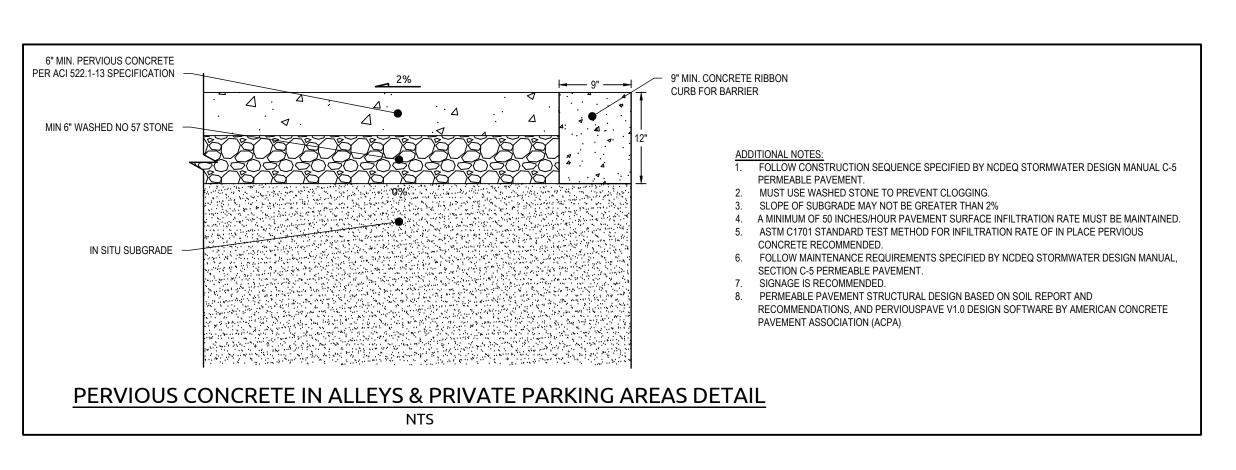


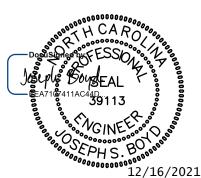
* DENOTES A DOUBLE BOX STORM STRUCTURE

- STRIKE THROUGH DENOTES STRUCTURE NOT TO BE INSTALLED AS A PART OF BEV PHASE 1









Date REVISED PER TOWN OF BEAUFORT COMMENTS 8-1-16 JSB REVISED PER BMP NUMBER CHANGE & SD UPDATES 9/14/15 STORM DRAIN & GRADING UPDATES Checked By UPDATED PER LOT & ROAD REVISIONS

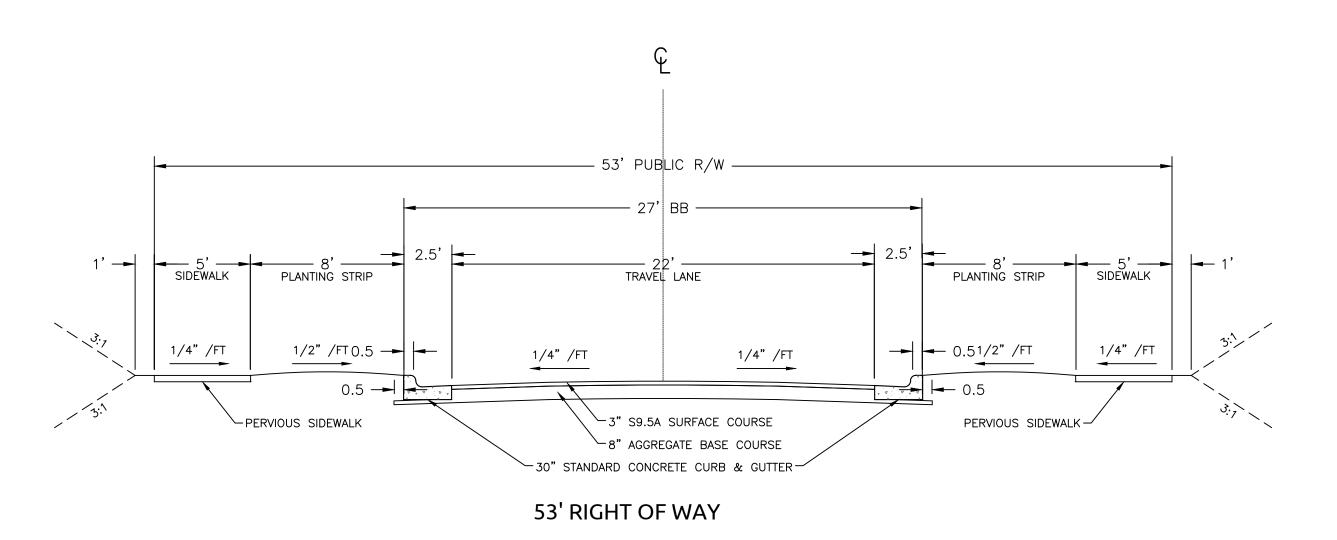
30 342.26 0.20% Reinforced Concrete Pipe

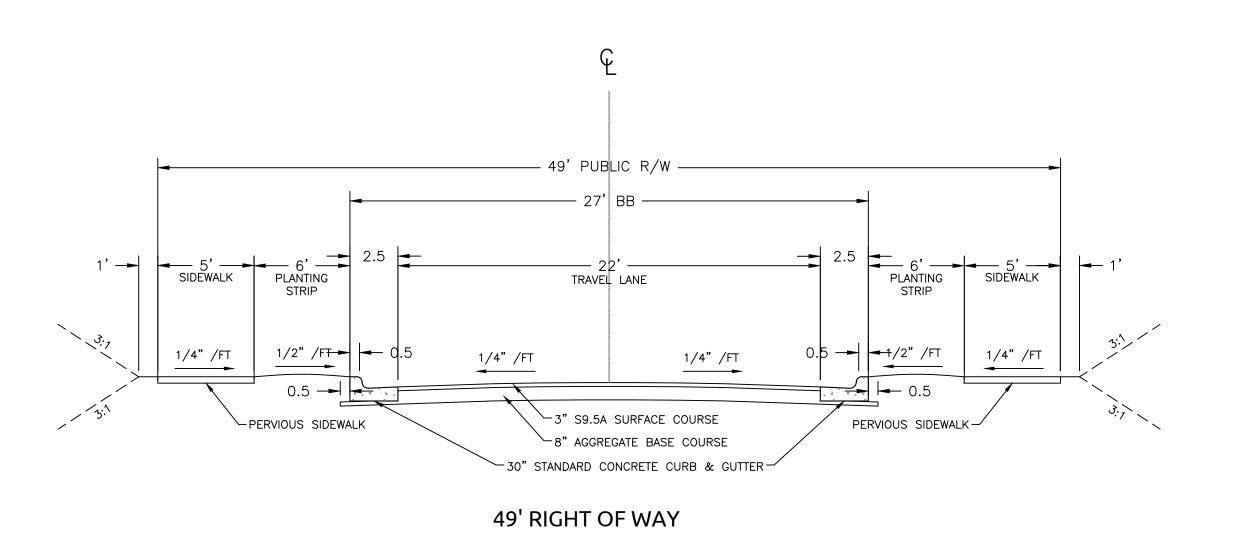
BEAUFORT EAST VILLAGE PHASE 1
IMPROVEMENTS WITHIN DRAINAGE AREA #7 **Carteret County** North Carolina Beaufort





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ROAD CROSS SECTIONS

N.T.S.



No.	Revision	Date	Ву	[Designer		Scale
1	REVISED PER TOWN OF BEAUFORT COMMENTS	7-6-16	JSB			JSB	NOTED
2	REVISED PER BMP NUMBER CHANGE & SD UPDATES	8-1-16	JSB	[Drawn By		Date
3	STORM DRAIN & GRADING UPDATES	9-29-19	JSB	L		JSB	9/14/15
4	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB		Checked By		Job No.
						JJW	02080976.20

ROADWAY CONSTRUCTION NOTES:

AND COMPACTION DENSITY.

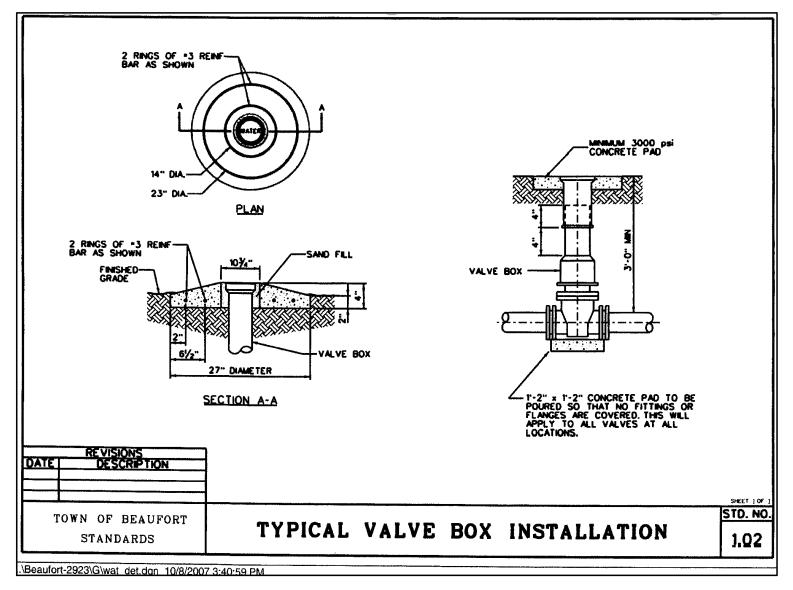
1. ONLY LAY 1.5" LAYER OF ASPHALT DURING CONSTRUCTION AND UPON

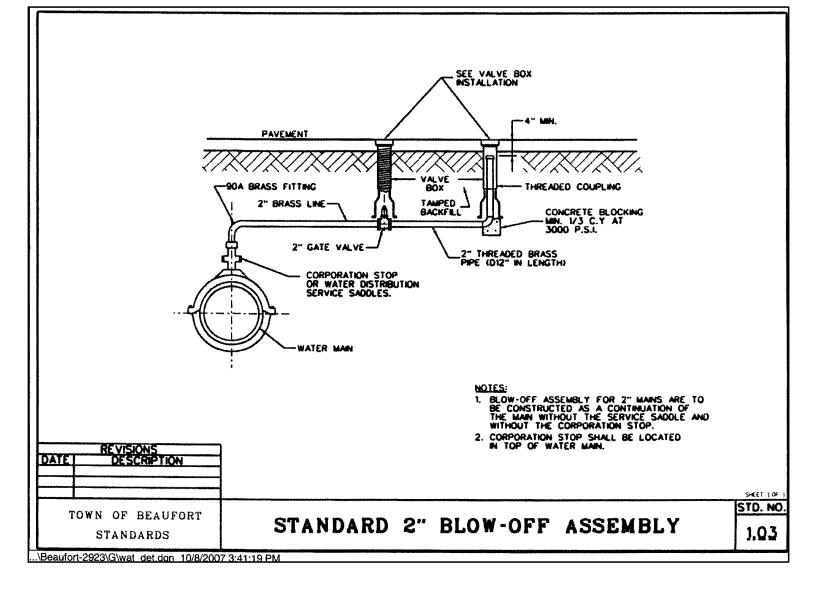
HEAVY TRAFFIC ADD THE ADDITIONAL 1.5" LAYER.

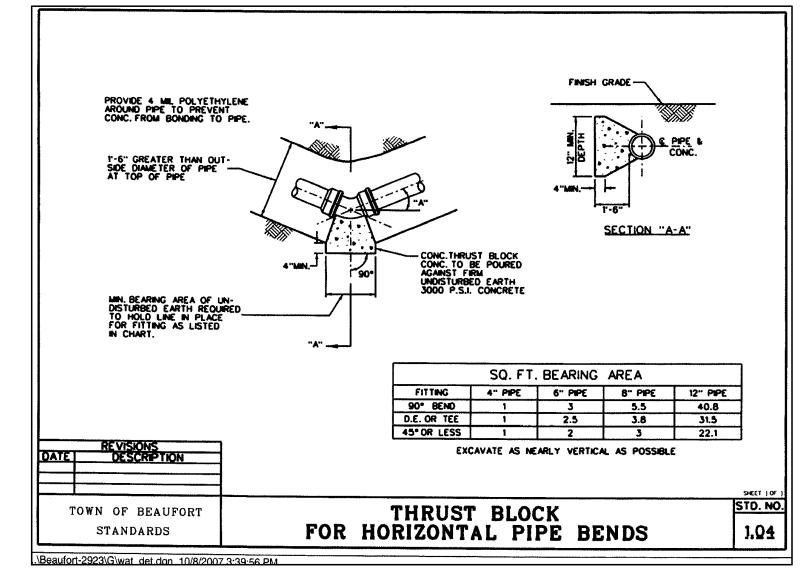
SUBSTANTIAL COMPLETION OR WHEN ACCESS IS DETERMINED FOR

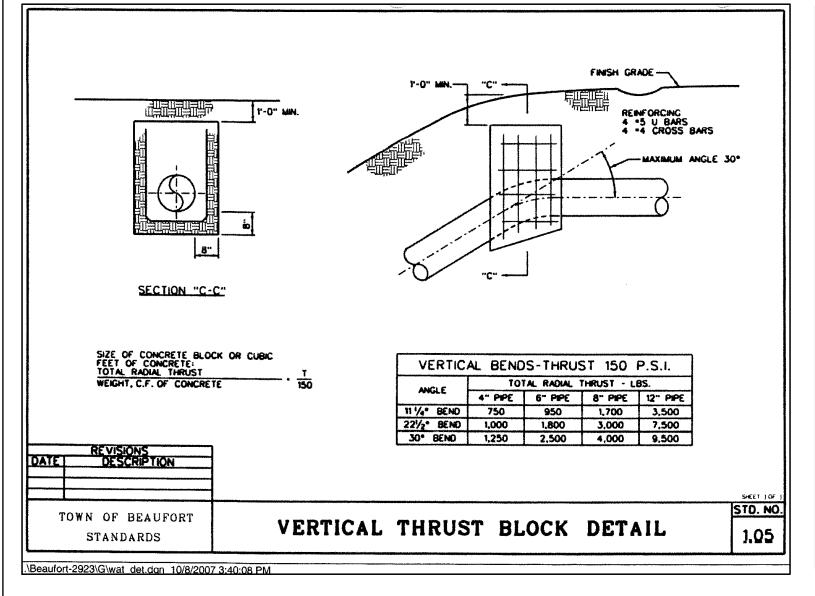
2. IN ADVANCE OF ALL PAVING AND SIDEWALK POURS, PUBLIC WORKS SHALL BE NOTIFIED FOR A SITE INSPECTION AND ALL ROADWAYS WILL HAVE A

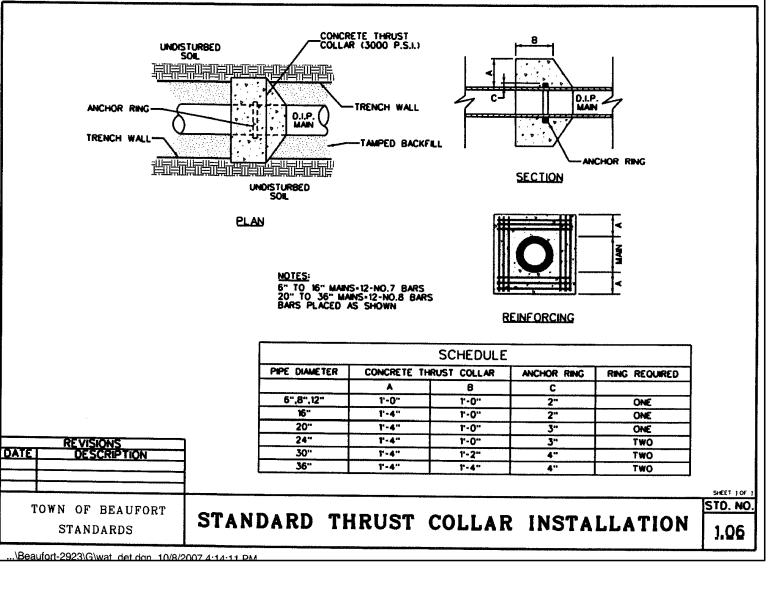
PROOF ROLL, WITH ENGINEER REPORTS TO COVER DEPTHS OF STONE

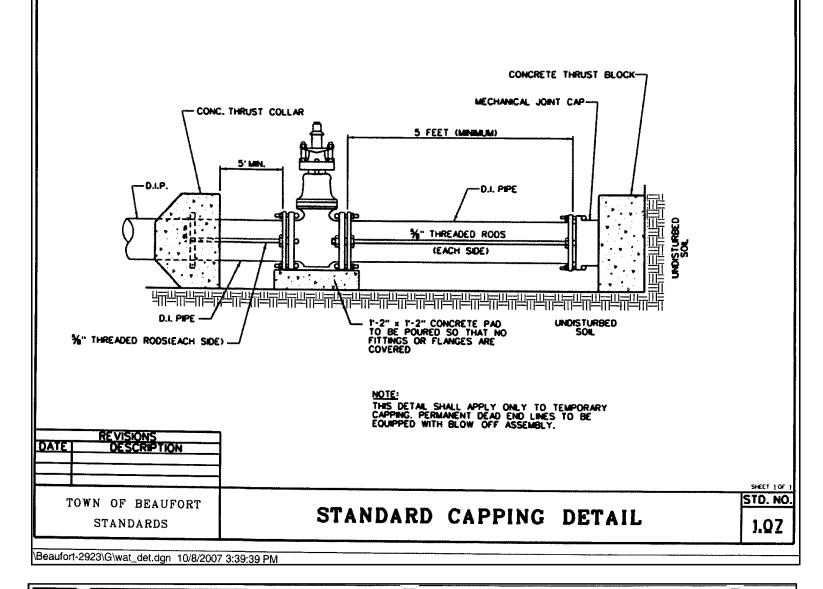


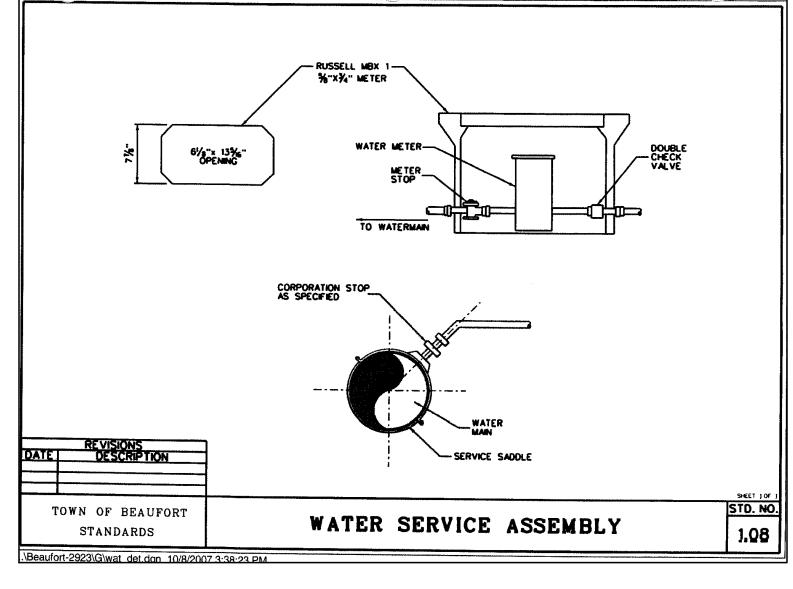


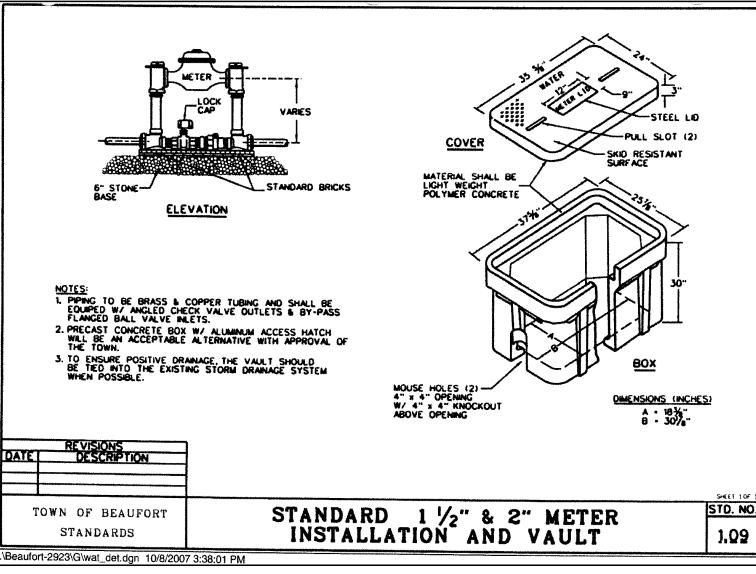


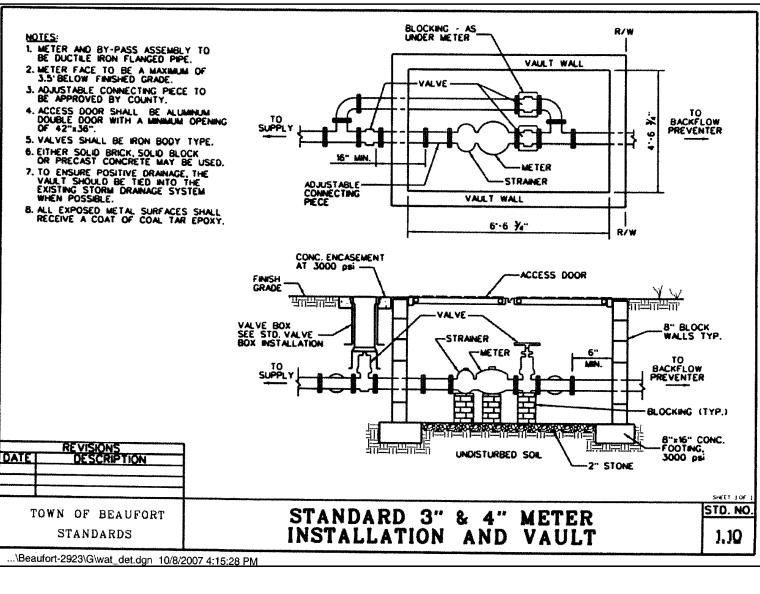


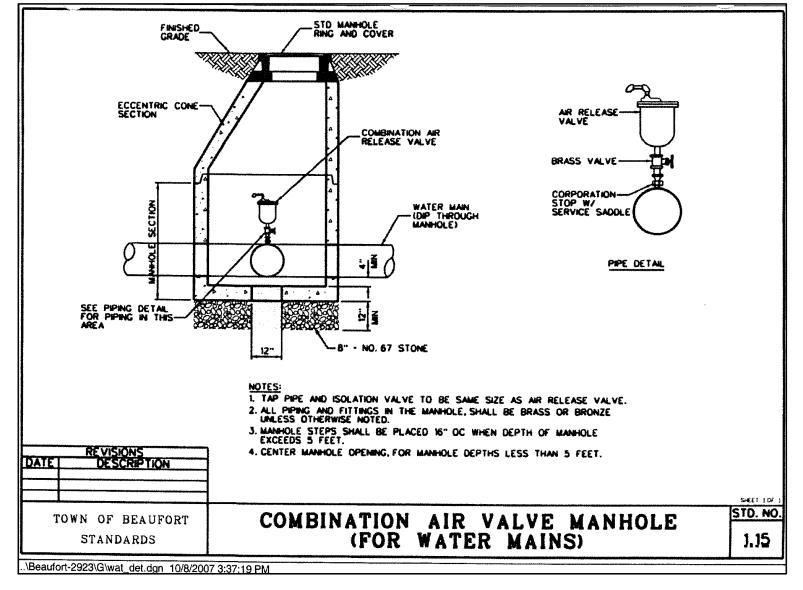


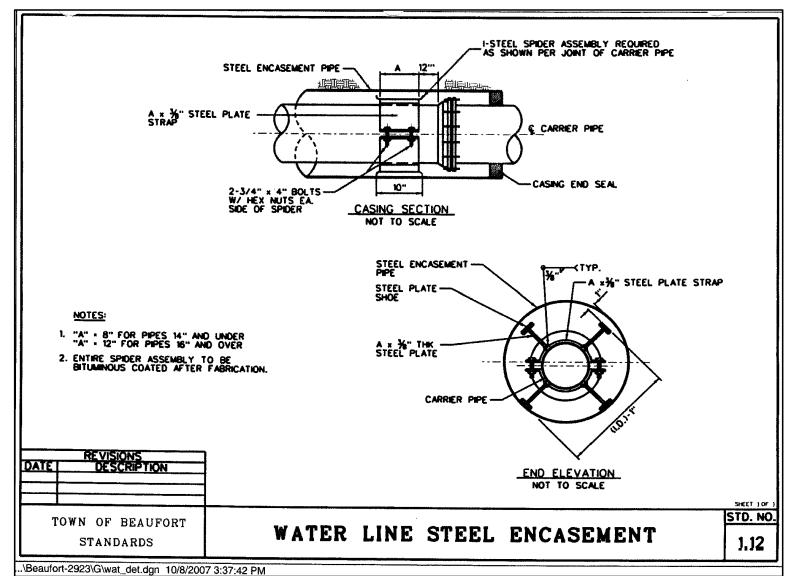




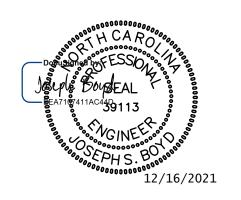








TYPICAL DETAILS NOTE: THE TYPICAL DETAILS ON THIS SHEET WERE DESIGNED AND PREPARED BY OTHERS.

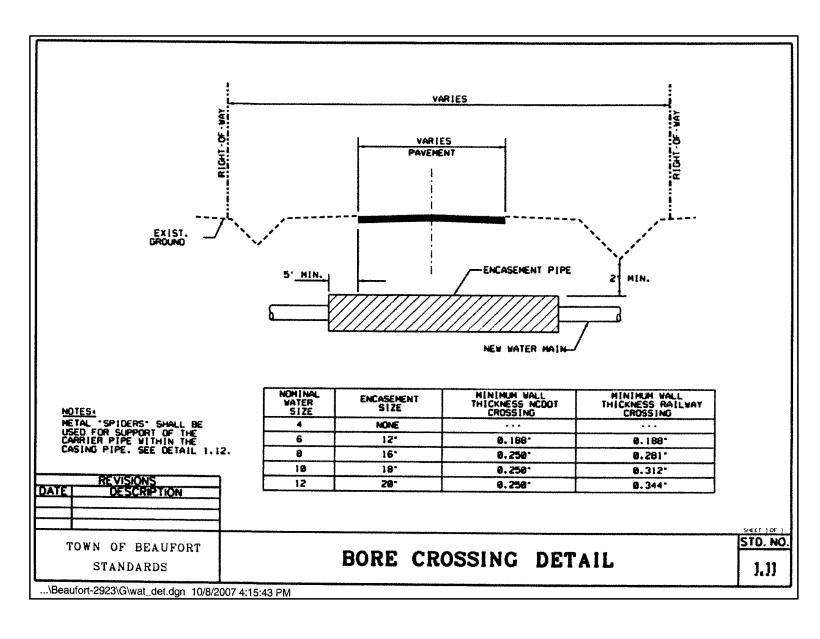


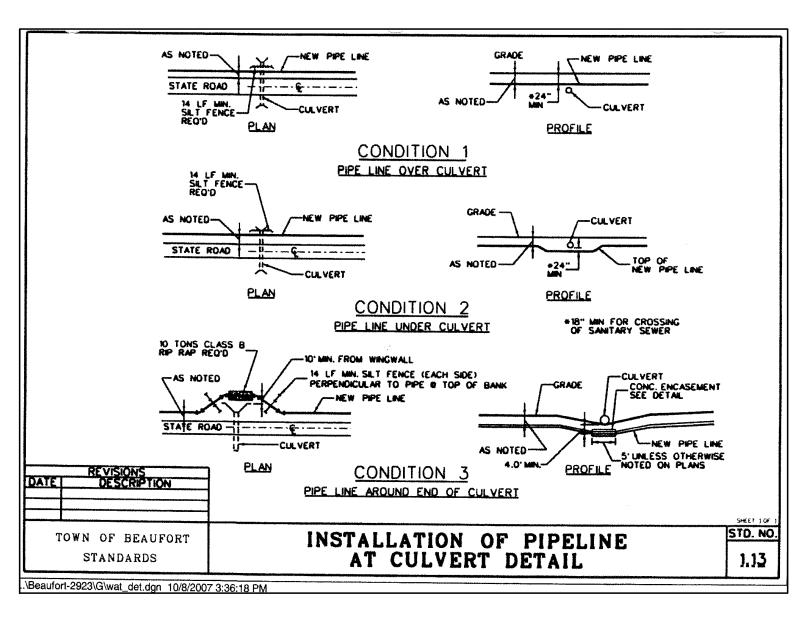
o.	Revision	Date	Ву	Designer		Scale
	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB		JSB	NTS
				Drawn By		Date
				·	JSB	9/14/15
				Checked By		Job No.
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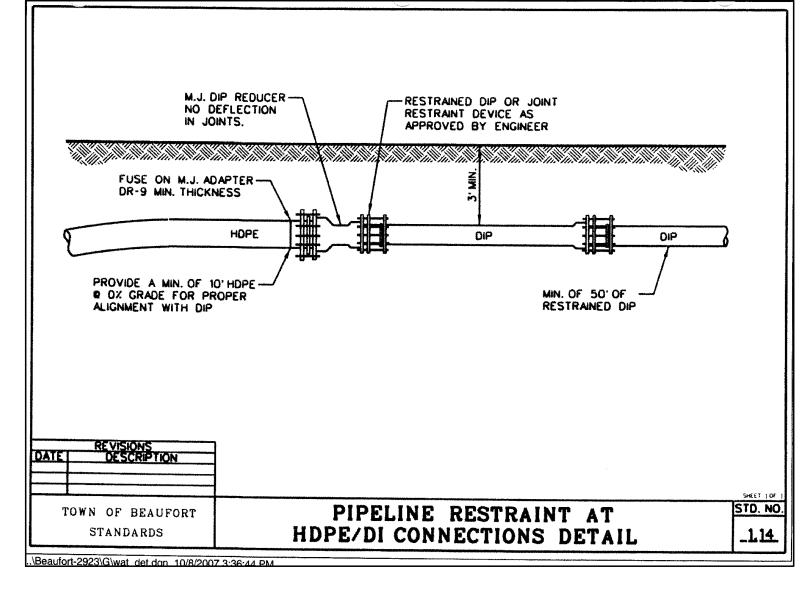
BEAUFORT EAST VILLAGE PHASE 1

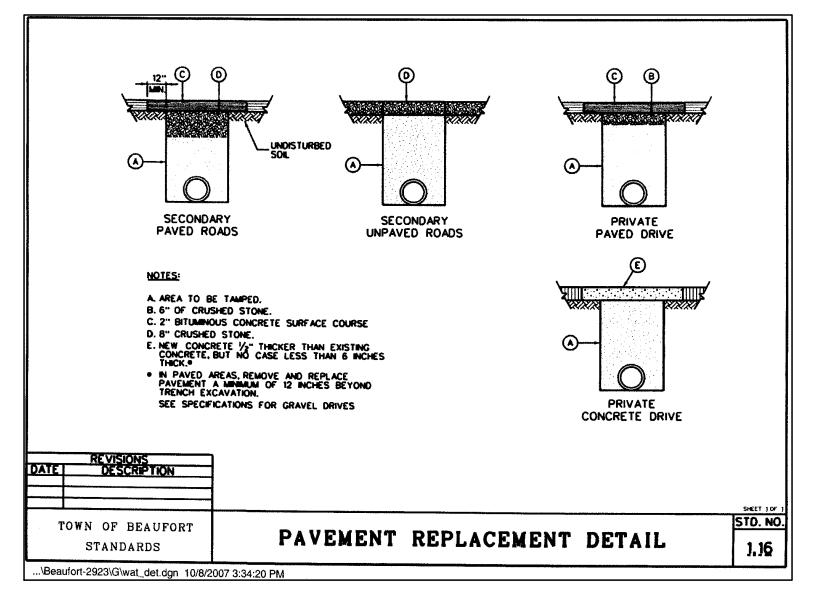


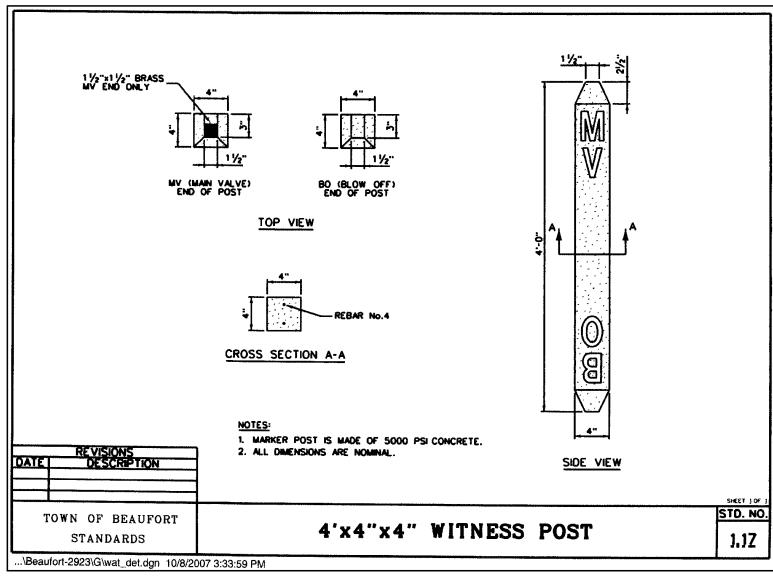


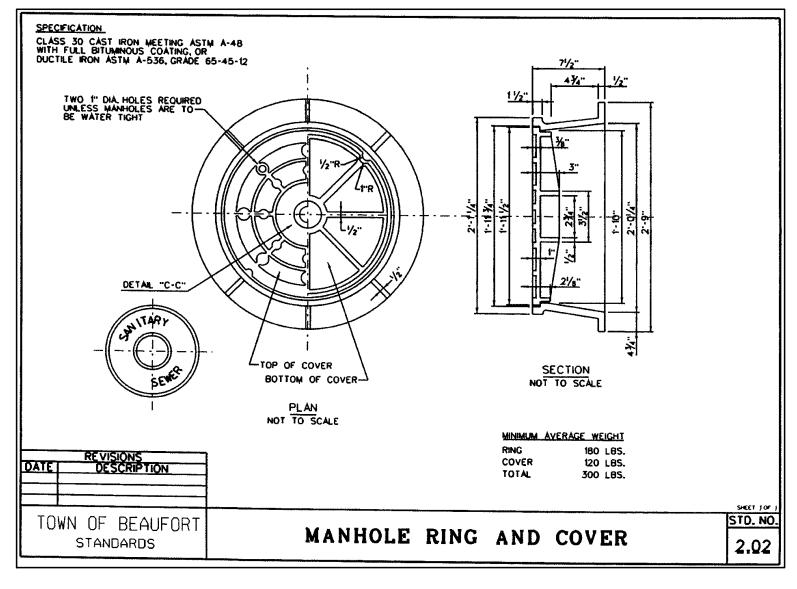


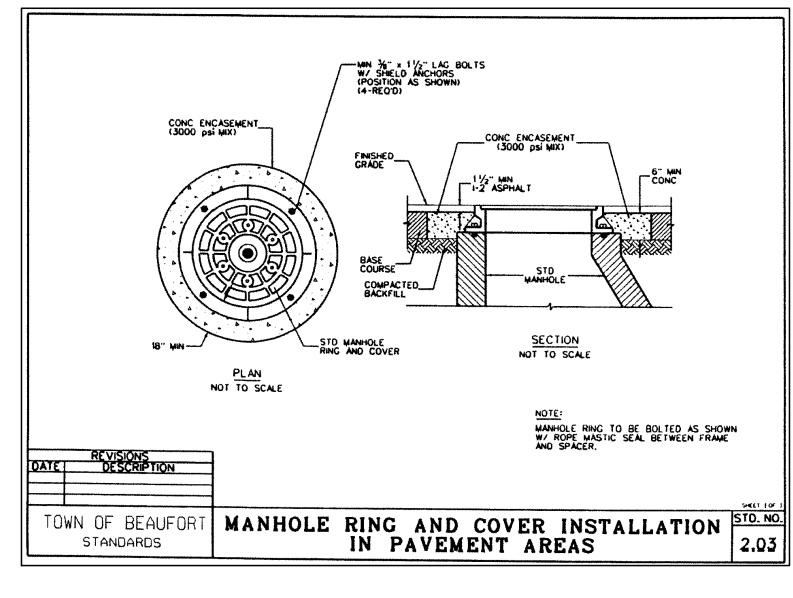


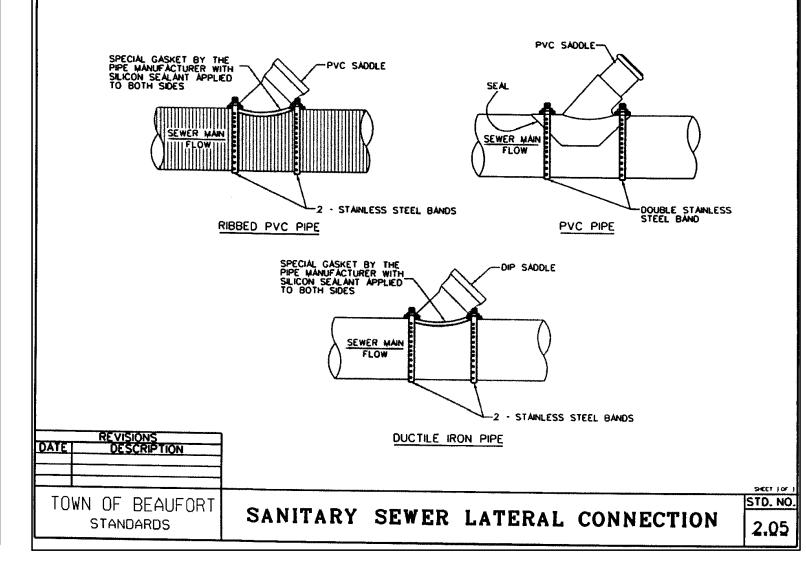


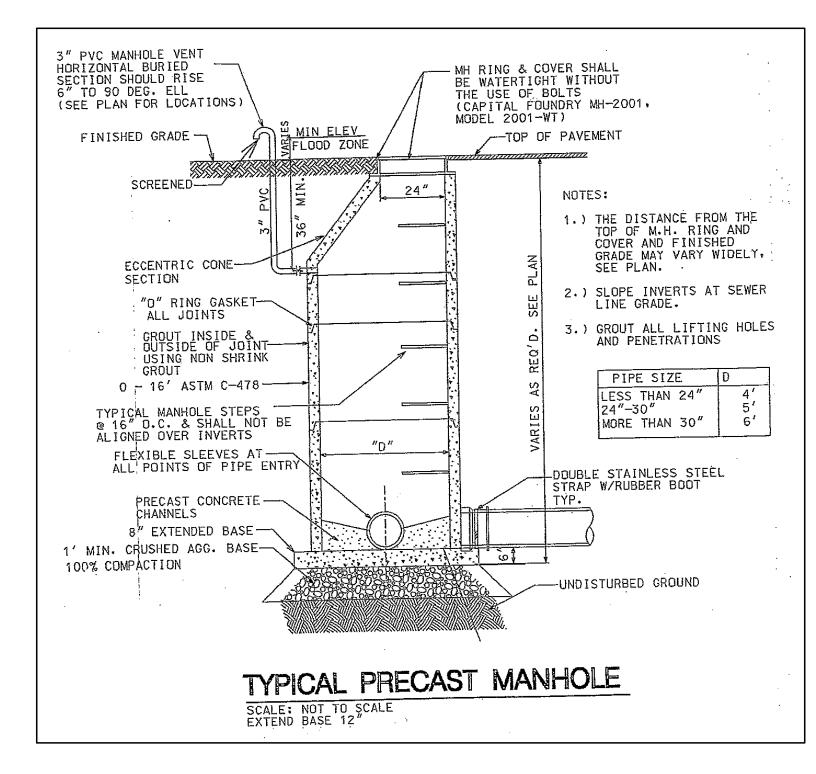


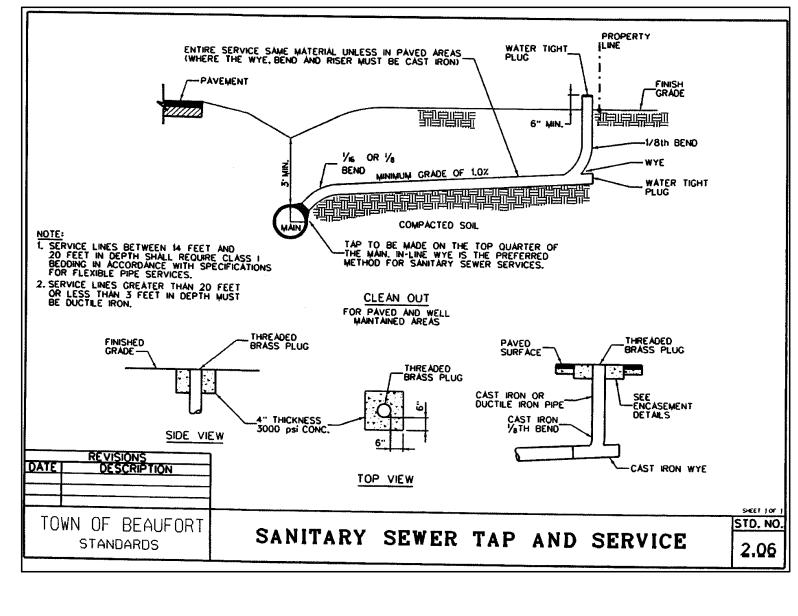


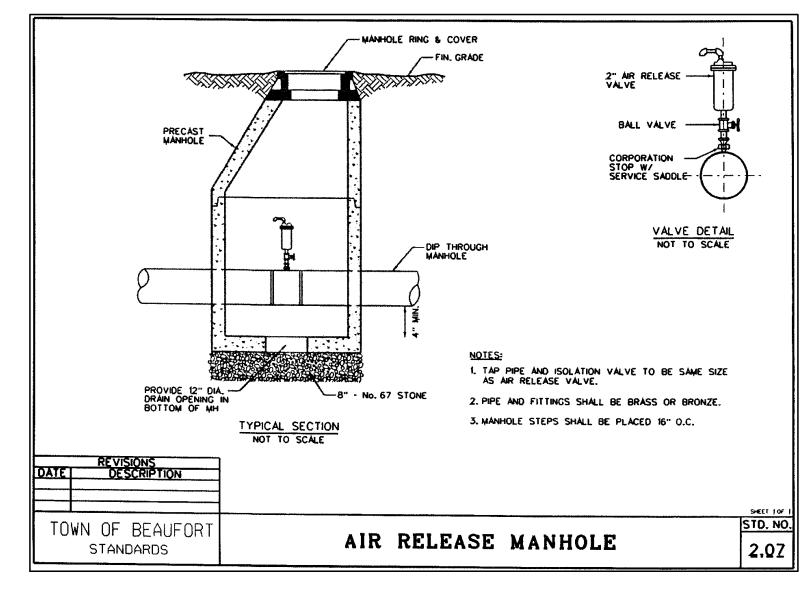


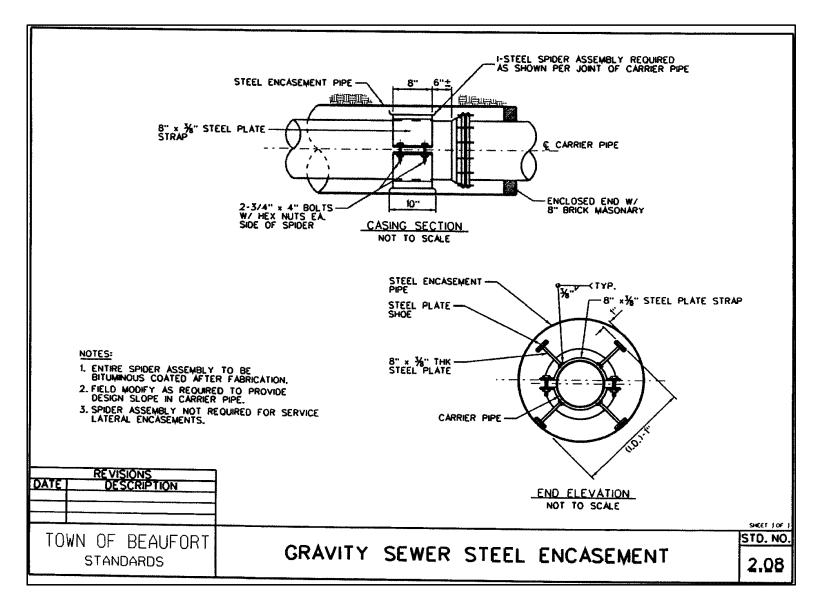












TYPICAL DETAILS NOTE: THE TYPICAL DETAILS ON THIS SHEET WERE DESIGNED AND PREPARED BY OTHERS.



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o.	Revision	Date	Ву		Designer		Scale
	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB			JSB	NTS
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						JJW	02080976.20

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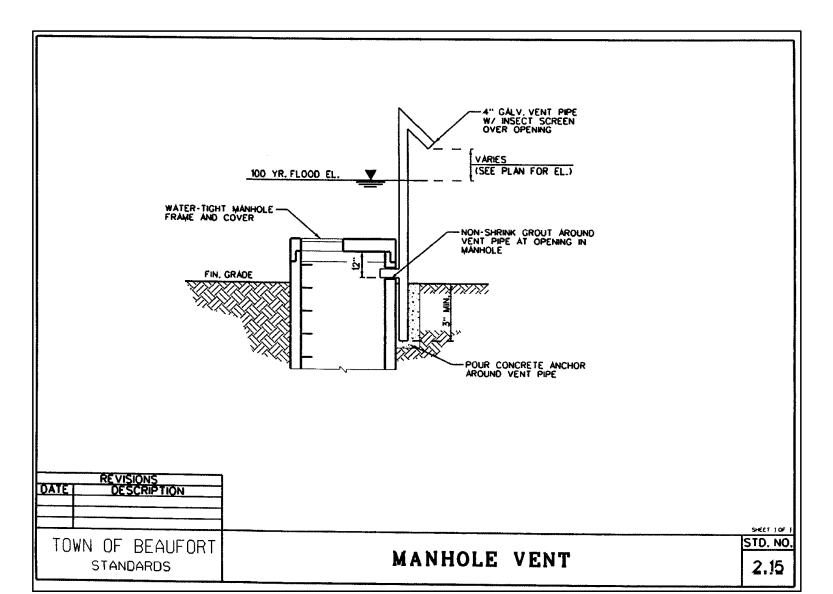
BEAUFORT EAST VILLAGE PHASE 1

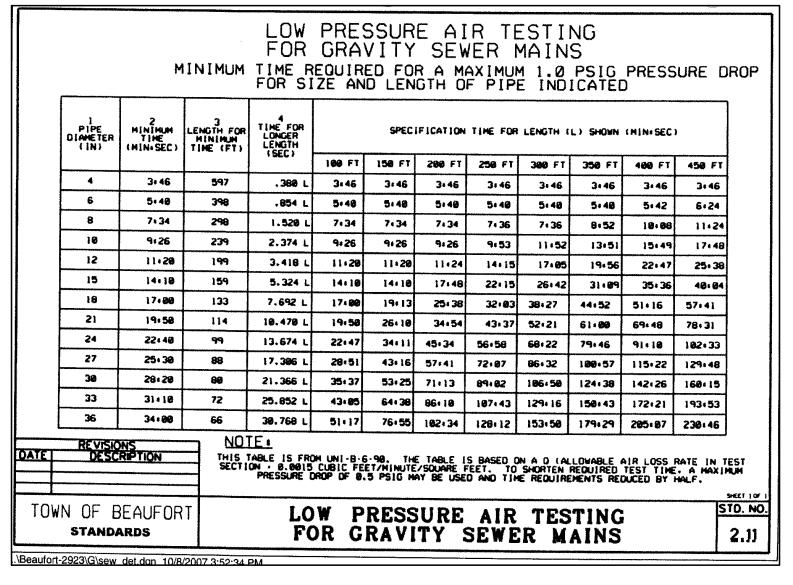
Carteret County

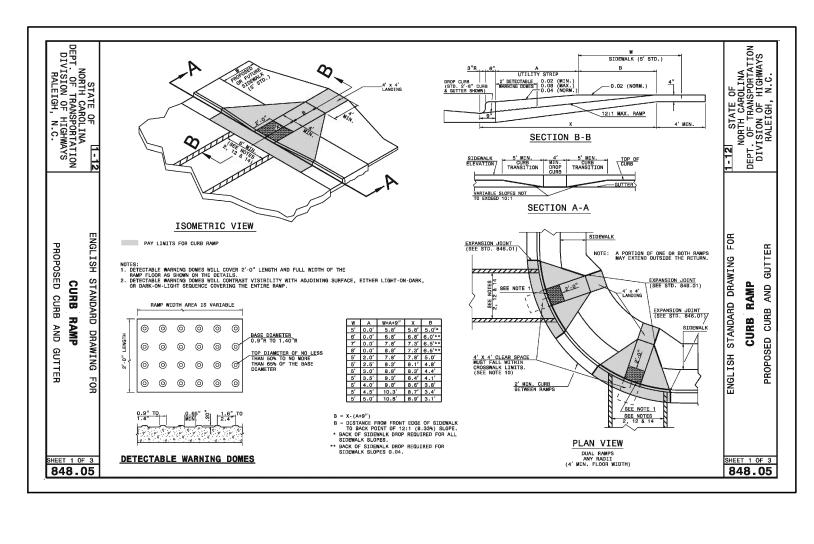
WATER & SEWER DETAILS

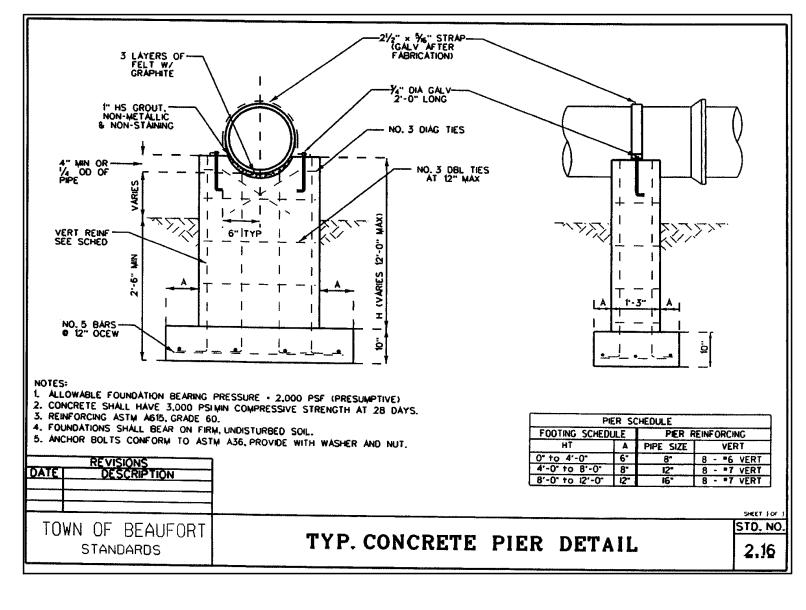
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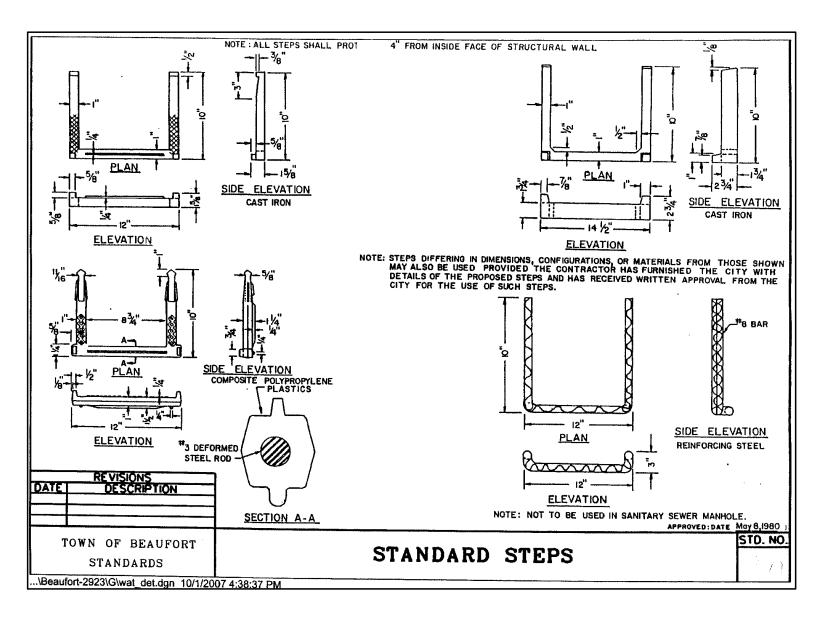
North Carolina

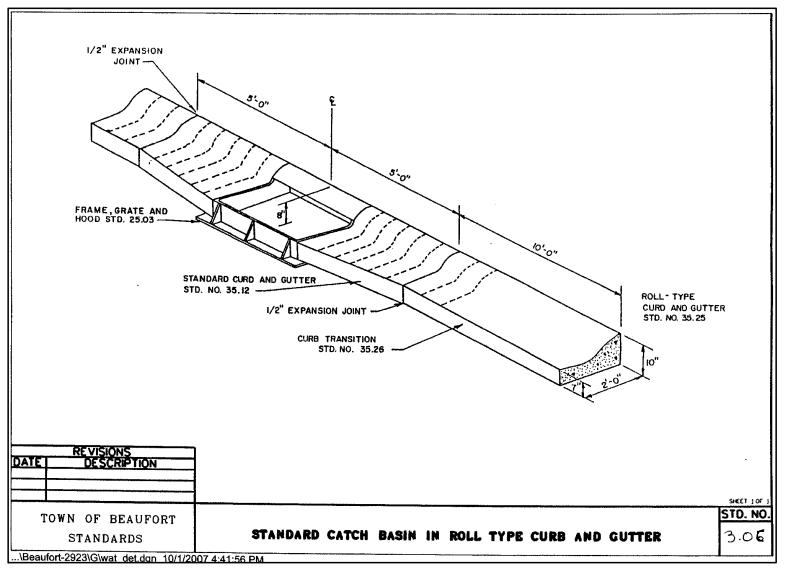


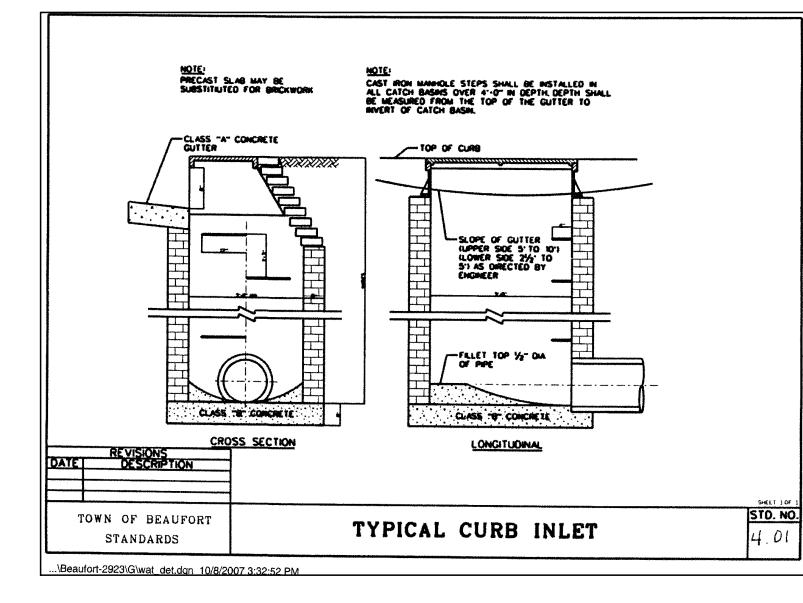


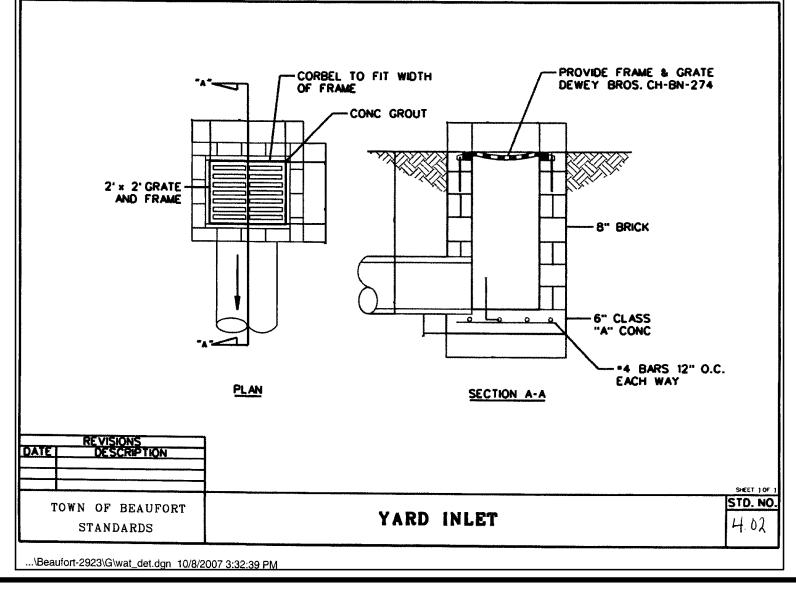


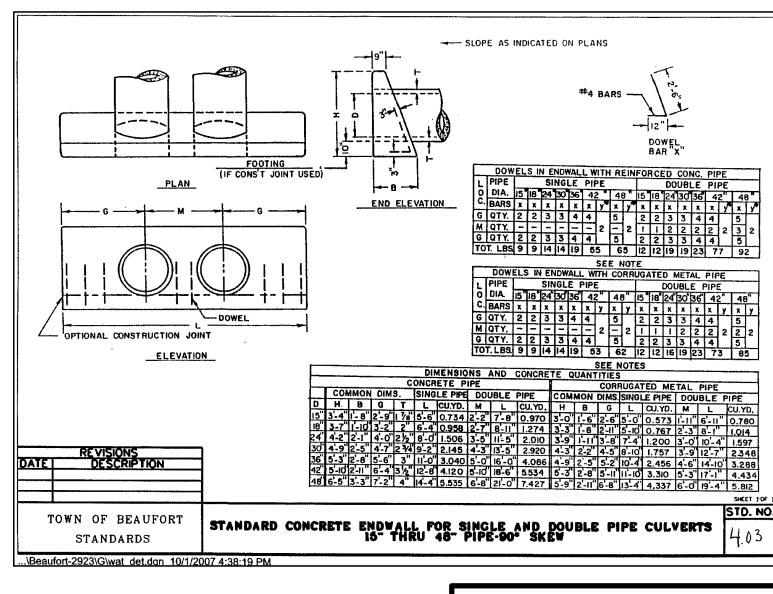


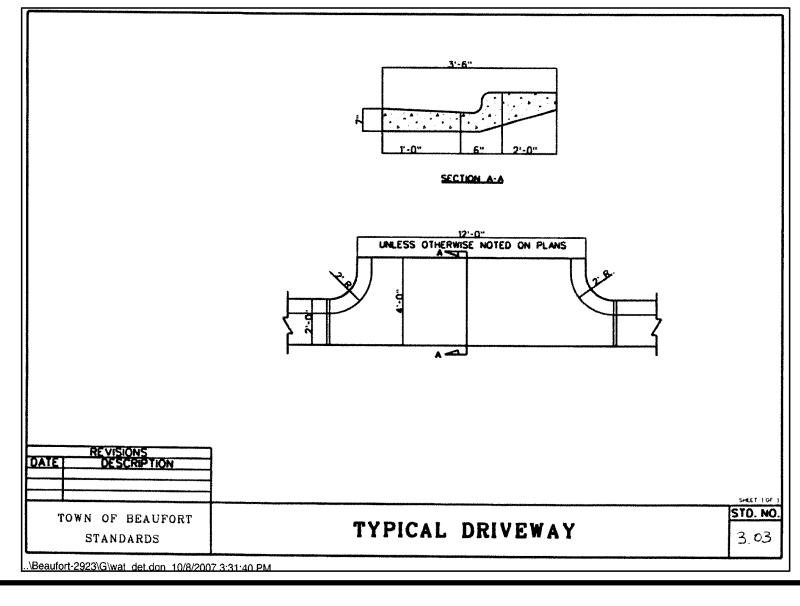


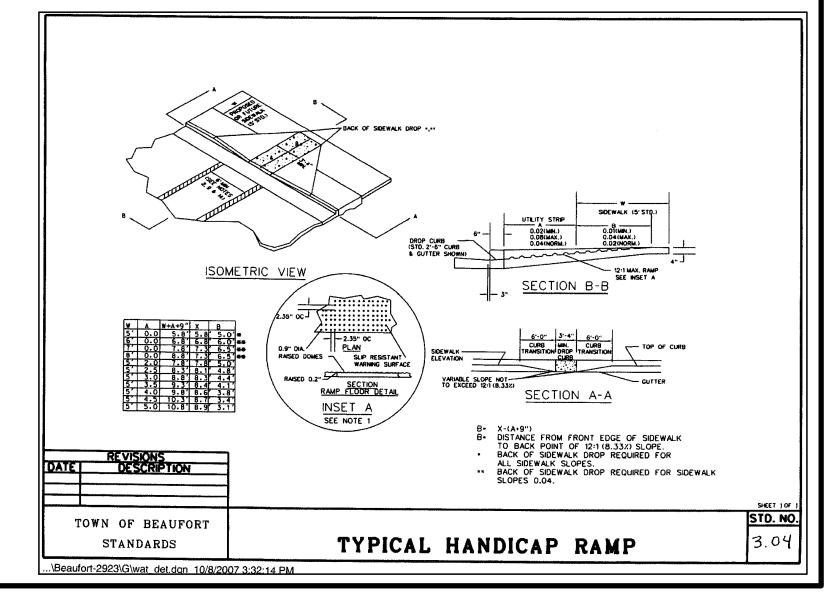


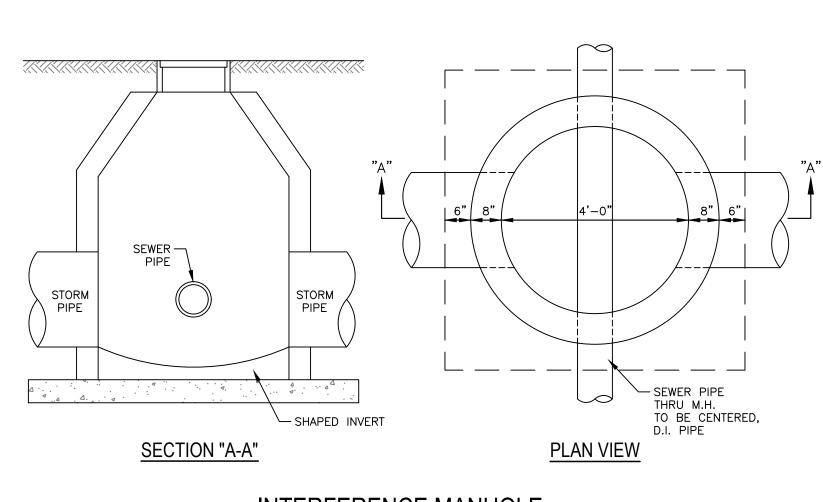












INTERFERENCE MANHOLE STRUCTURE DETAIL

TYPICAL DETAILS NOTE: THE TYPICAL DETAILS ON THIS SHEET WERE DESIGNED AND PREPARED BY OTHERS.



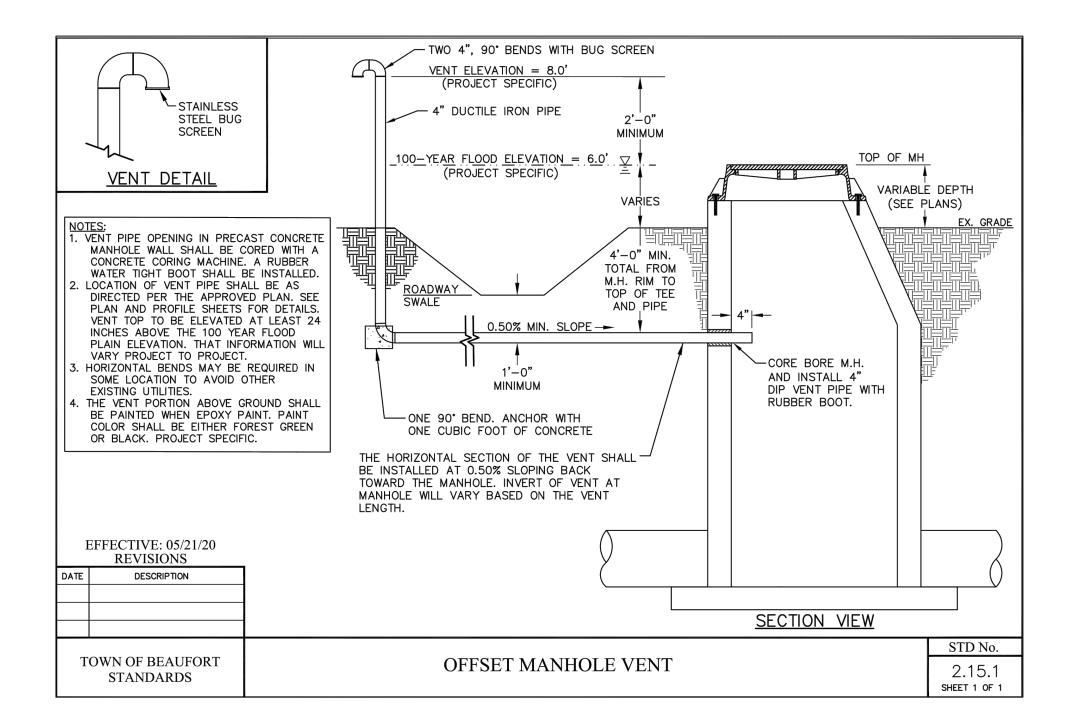
No.	Revision	Date	Ву	Designe	er	Scale
1	REVISED PER TOWN OF BEAUFORT COMMENTS	7-6-16	JSB		JSB	NTS
2	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB	Drawn I	Зу	Date
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				Checked	d By	Job No.
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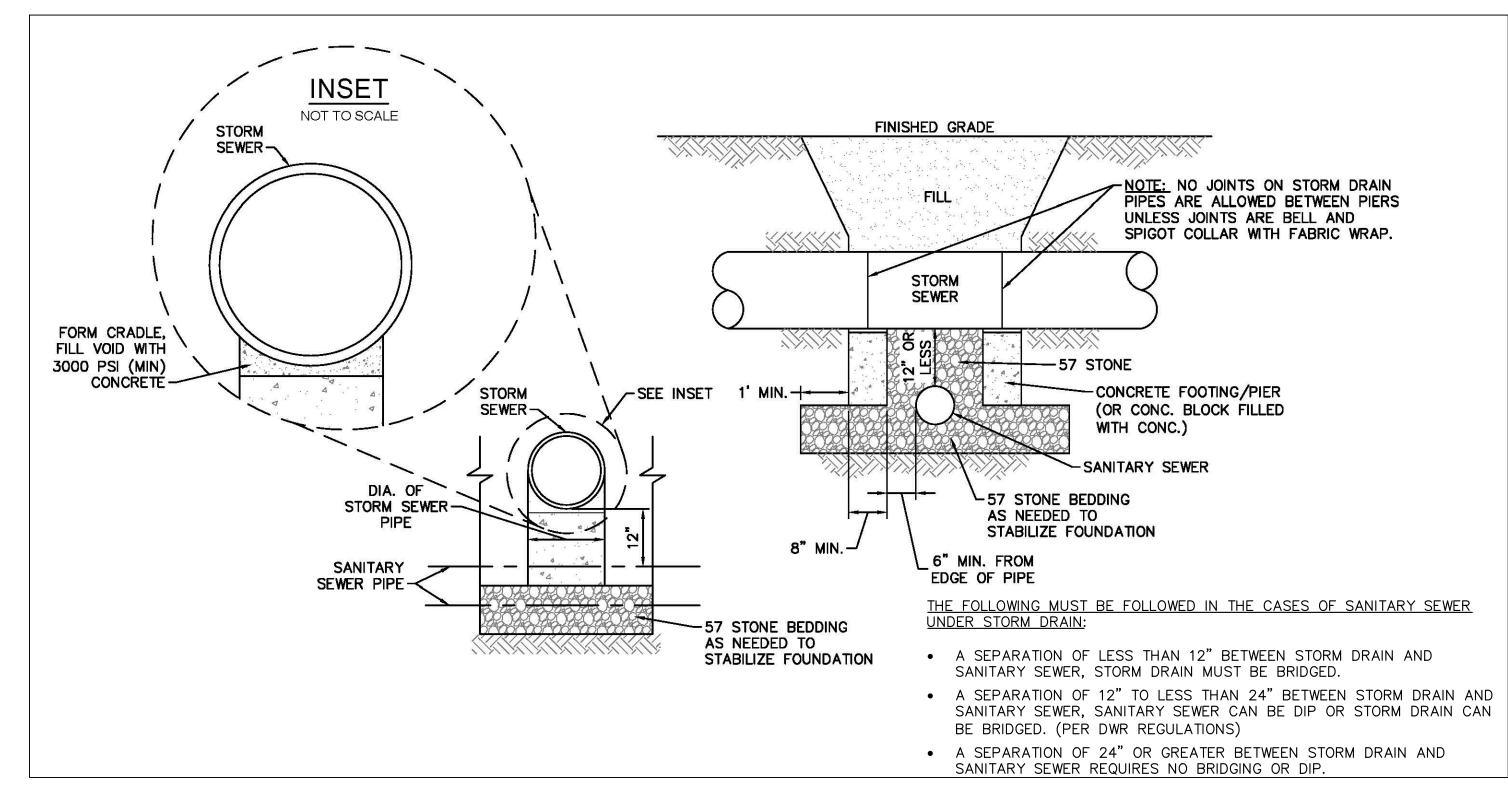
BEAUFORT EAST VILLAGE PHASE 1 IMPROVEMENTS WITHIN DRAINAGE AREA #7 **Carteret County**

North Carolina

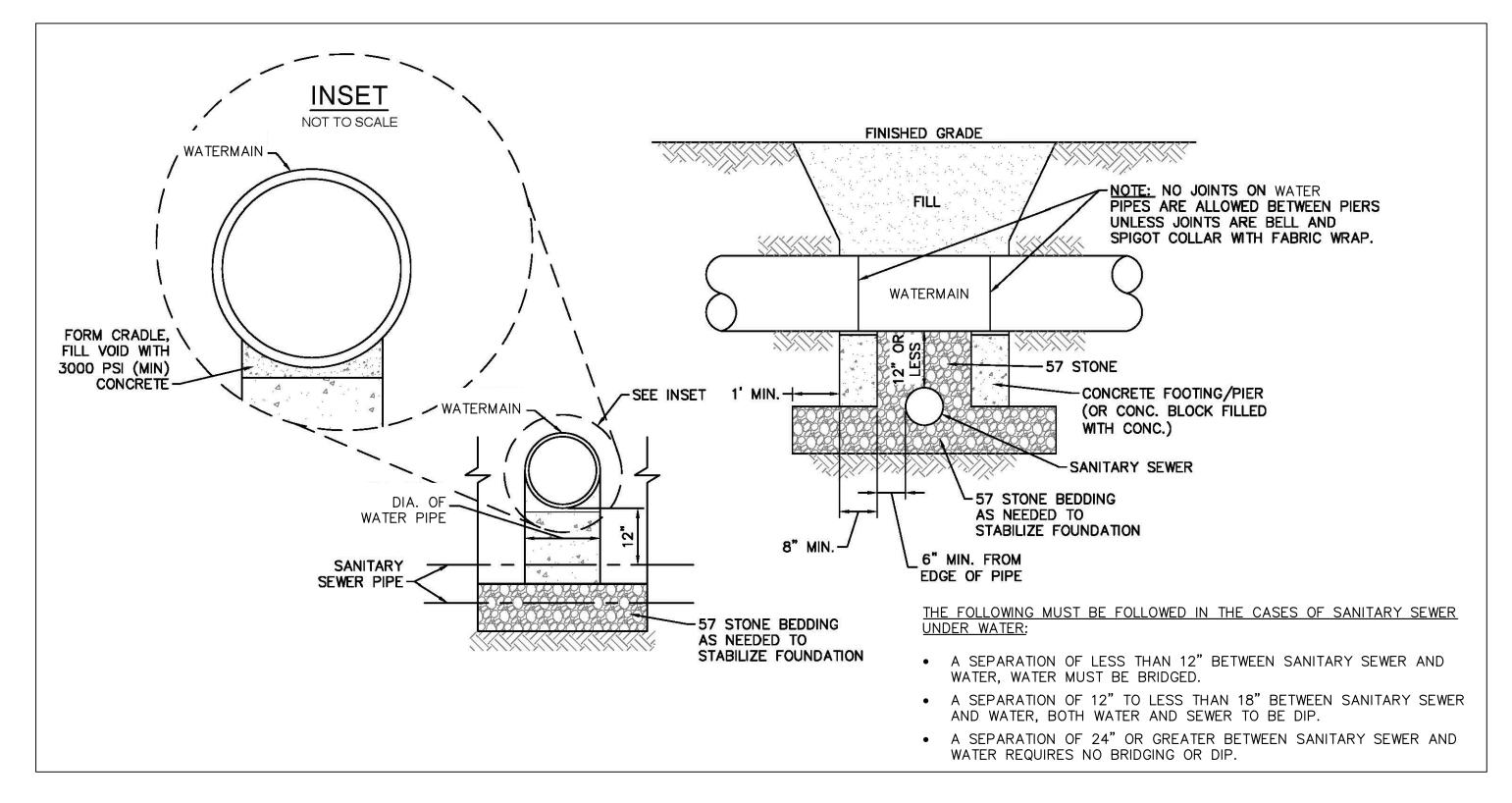
SEWER, STORM & ROADWAY DETAILS



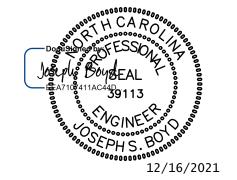




STRUCTURAL BRIDGING DETAIL FOR STORMWATER OVER SANITARY SEWER INSTALLATIONS WITH LESS THAN 12" SEPARATION N.T.S.







lo.	Revision	Date	Ву	Designer	Scale	
	REVISED PER TOWN OF BEAUFORT COMMENTS	7-6-16	JSB	JSB	NTS	II REALII
)	ADDED OFFSET MANHOLE VENT DETAIL	9-27-20	JSB	Drawn By	Date	
}	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB	JSB	9/14/15	II IMPR
				Checked By	Job No.	
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BEAUFORT EAST VILLAGE PHASE 1
IMPROVEMENTS WITHIN DRAINAGE AREA #7
Carteret County No

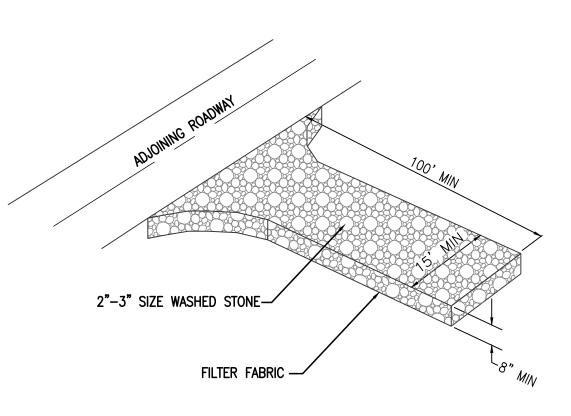
WATER, SEWER & STORM DETAILS



D-6

ACCOMMODATE LARGE TRUCKS.

- 3. MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING, OR DIRECT FLOW, OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY.
- 4. ANY MATERIAL WHICH MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
- 5. APPLICABLE AT ALL POINTS OF INGRESS EGRESS UNTIL SITE IS STABILIZED. FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE MUST BE PROVIDED.
- 6. WHEN TEMPORARY CONSTRUCTION ENTRANCES ARE LOCATED ON PAVED SURFACES, PLACE MINIMUM OF 2" OF SCREENINGS OR SAND TO HELP FACILITATE IN CLEAN-UP AND SITE RESTORATION.



TEMPORARY CONSTRUCTION ENTRANCE

─7 1/2" OZ. FILTER FABRIC NOTE 1 <u>MAINTENANCE</u> INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

12 GAGE

10 GAGE

LINE WIRES-

LINE WIRES-

SHOULD THE FABRIC OF THE SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

--8'-0" O.C. MAX---

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE NTS

FILTER FABRIC TO BE

BY THE ENGINEER

STANDARD METAL POSTS 2'-0" IN GROUND

57 WASHED STONE PLACED TO A HEIGHT OF

12"-18" MINIMUM ABOVE TOP OF BOX

STANDARD CATCH BASIN/YARD INLET PROTECTION

GALVANIZED HARDWARE WIRE

2:1 SIDE SLOPES (MAX.

ANCHOR

MATTING/NETTING IN

A 12" TRENCH

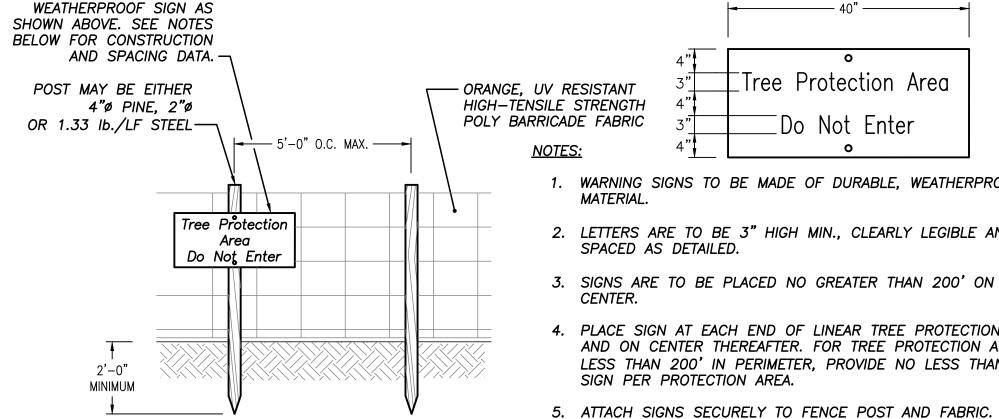
BURIED UNDER EXIST. GRADE OR AS REQUIRED

1) STEEL POSTS TO BE BURIED A MINIMUM OF 2'-0"

2) INSTALL SILT FENCE WHERE SHOWN ON DRAWINGS

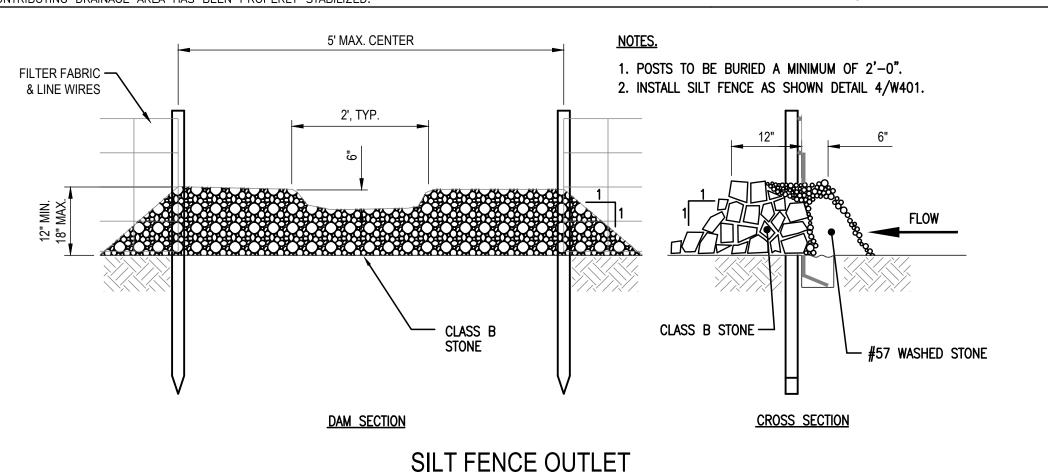
AND MAINTAIN UNTIL COMPLETION OF GRADING

BACKFILL-



Tree Protection Area Do Not Enter 1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF

- 2. LETTERS ARE TO BE 3" HIGH MIN., CLEARLY LEGIBLE AND
- SPACED AS DETAILED.
- 4. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREA AND ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS
- LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
- MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.



NTS

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS.

TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL.

REPLACE STONE AS NEEDED.

North Carolina

SEEDBED PREPARATION

- 1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- 2. RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
- 3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- 4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL.
- 5. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- 6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- 7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- 8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME FERTILIZER AND
- 9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS

SLOPES (MAX.)

JOIN STRIPS BY ANCHORING

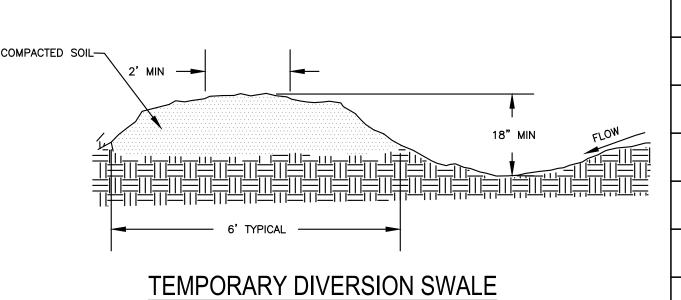
AND OVERLAPPING

IN CHANNELS, ROLL OUT STRIPS OF MATTING/NETTING PARALLEL TO THE DIRECTION OF FLOW AND OVER THE PROTECTIVE MULCH

MATTING/NETTING PLACEMENT

18" OVERLAP-

- CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATES COMBINATIONS ARE POSSIBLE.
- * TEMPORARY-RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING.



POROUS BAFFLE

OUTLET

TREE PROTECTION FENCE

TD#	DRAINAGE AREA (AC)	RUNOFF COEFFICIENT	SLOPE (%)	CONSTRUCTED DEPTH (FT)	NORMAL DEPTH (FT)	TOP WIDTH (FT)	VELOCITY (FPS)
1	1.25	0.35	0.25	1.5	1.2	6	1.39
2	1.15	0.35	0.25	1.5	1.1	6	1.36
3	1.00	0.35	0.25	1.5	1.1	6	1.31
4	0.85	0.35	0.25	1.5	1.0	6	1.26
5	1.51	0.35	0.25	1.5	1.3	6	1.46
6	1.37	0.35	0.25	1.5	1.2	6	1.42

TEMPORARY DIVERSION BERMS

MAINTENANCE

INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVED THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

MAINTENANCE

INSPECT BAFFLES AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.

AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

CONSTRUCTION SPECIFICATION

TOP OF THE BERM.

- GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE. INSTALL POSTS OR SAW HORSES ACROSS THE WIDTH OF THE SEDIMENT TRAP. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24 INCHES, SPACED AT A MAXIMUM OF 4 FEET APART, AND INSTALLED UP THE SIDES OF THE BASIN AS WELL. THE TOP OF THE FABRIC SHOULD BE 6 INCHES HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE
- 4. INSTALL AT LEAST THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. 5. WHEN USING POSTS, ADD A SUPPORT WIRE OR ROPE ACROSS THE TOP OF THE MEASURE TO PREVENT
- 6. WRAP POROUS MATERIAL, LIKE JUTE BACKED BY COIR MATERIAL, OVER A SAWHORSE OR THE TOP WIRE. HAMMER REBAR INTO THE SAWHORSE LEGS FOR ANCHORING. THE FABRIC SHOULD HAVE FIVE TO TEN PERCENT OPENINGS IN THE WEAVE. ATTACH FABRIC TO A ROPE AND A SUPPORT STRUCTURE WITH ZIP
- TIES, WIRE, OR STAPLES. 7. THE BOTTOM AND SIDES OF THE FABRIC SHOULD BE ANCHORED IN A TRENCH OR PINNED WITH 8 INCH
- EROSION CONTROL MATTING STAPLES. 8. DO NOT SPLICE THE FABRIC, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN.

POROUS BAFFLE INSTALLATION DETAIL

Beautort

NTS ADDED TEMP. DIVERSION SWALES PER NCDEMLR COMMENTS Drawn By UPDATED PER LOT & ROAD REVISIONS 9/14/15 Checked By Job No.

PERSPECTIVE VIEW

Carteret County

EROSION CONTROL DETAILS



BEAUFORT EAST VILLAGE PHASE 1

EROSION CONTROL NOTES

- 1. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL STANDARDS AND PRACTICES PRESCRIBED BY THE STATE OF NORTH CAROLINA, WAKE COUNTY AND THE TOWN OF KNIGHTDALE WHERE STANDARDS AND PRACTICES CONFLICT, THE MORE STRINGENT SHALL APPLY.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES SHOWN ON THE APPROVED PLAN.
- 3. ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN 7 WORKING DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT SEEDING AND MULCHING SHALL BE PERFORMED FOLLOWING COMPLETION OF THE INSTALLATION OF THE PUMP STATION AND APPURTENANCES.
- 4. SLOPES SHALL BE NO STEEPER THAN 2:1 FOR VEGETATIVE COVER.
- 5. THE CONTRACTOR SHALL FAITHFULLY MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO ENSURE THAT NO SILT LEAVES THE PROJECT SITE AND ENTERS ANY NATURAL STREAM OR WATERWAY.
- 6. RECEIVING WATERCOURSE: ATLANTIC OCEAN.
- 7. 100 YEAR FLOOD ELEVATION AT PUMP STATION = 6.0'
- 8. TOTAL DISTURBED AREA FOR PUMP STATION AND ACCESS ROAD IS APPROXIMATELY 0.20 ACRES

CONSTRUCTION SEQUENCE

- OBTAIN COPY OF LAND DISTURBING PERMIT FROM WAKE COUNTY ENVIRONMENT SERVICES.
- 2. PRIOR TO THE START OF CONSTRUCTION, INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES.
- OBTAIN A CERTIFICATE OF COMPLIANCE THROUGH ON-SITE INSPECTION BY WAKE COUNTY ENVIRONMENT SERVICES.
- 4. PROCEED WITH INSTALLATION OF PUMP STATION.

INSPECTOR, OWNER, OR ENGINEER.

- 5. AT THE END OF EACH WORKDAY, BACKFILL ALL TRENCHES AND TOP WITH NOT LESS THAN 8-INCHES CABC. BROOM SWEEP ASPHALT PAVEMENT TO REMOVE SOIL RESIDUE. EXCESS SOIL WILL BE DISPOSED OF OFF SITE IN A LEGAL MANNER.
- 6. CLEAN CONTROL MEASURES AFTER EACH RAINFALL EVENT. 7. REMOVE SEDIMENT FROM CURB INLET SEDIMENT FILTERS, CHECK DAMS AND FROM BEHIND SILT FENCES WHEN DIRECTED BY
- 8. STABILIZE SITE WITHIN IN 7 DAYS ON PERIMETER AREAS AND SLOPES GREATER THAN 3:1 AND WITHIN 14 DAYS ON OTHER AREAS, SEE SHEET 28 FOR DETAILED TIME TABLE,
- 9. PROVIDE SEEDING AND MULCHING AT THE END OF EACH WORK DAY WHERE INDIVIDUAL LOTS ARE DISTURBED FOR THE RECONNECTION OF WATER AND SEWER SERVICES.
- 10. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 11. REQUEST FINAL APPROVAL OF GROUND COVER BY WAKE COUNTY ENVIRONMENT SERVICES INSPECTOR.
- 12. WHEN AUTHORIZED BY WAKE COUNTY ENVIRONMENT SERVICES INSPECTOR, REMOVE EROSION AND SEDIMENTATION CONTROL MEASURES AND STABILIZE AREAS FORMERLY OCCUPIED BY THESE MEASURES.

RELATION OF WATER MAINS AND SEWERS

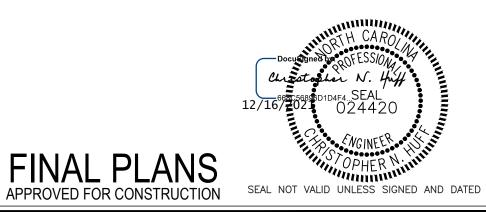
- LATERAL SEPARATION OF SEWERS AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT LATERAL SEPARATION -- IN WHICH CASE:
- (1) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR
- THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- CROSSING A WATER MAIN OVER A SEWER: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION--IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

GENERAL NOTES

- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- 2. CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL CONFORM TO THE STATE OF NORTH CAROLINA AND THE TOWN OF
- BEAUFORT STANDARDS. ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND TOWN BEFORE EQUIPMENT IS ORDERED.
- 4. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY CONFLICTS, ERRORS, AMBIGUITIES, OR DISCREPANCIES THAT ARE DISCOVERS IN THE CONTRACT DOCUMENTS AND SHALL ABIDE TO THE SOLUTION PROVIDED BY THE ENGINEER AND THE TOWN.
- ALL KNOWN UTILITIES HAVE BEEN LOCATED FROM THE INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCURATELY LOCATE BOTH HORIZONTALLY AND VERTICALLY ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION (ONE CALL CENTER 811 OR 1-800-632-4949). ALL COSTS ASSOCIATED WITH ANY DAMAGE TO KNOWN OR UNKNOWN EXISTING UTILITIES RESULTING FROM THE CONTRACTOR'S FAILURE TO ADEQUATELY PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION SHALL BE BORNE SOLELY BY THE CONTRACTOR.
- CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.
- CONTRACTOR SHALL CLEAR AND GRUB ALL UTILITY EASEMENTS, AS DIRECTED BY THE OWNER, TO INSTALL NEW UTILITIES. ON ROADWAY RIGHT-OF-WAYS, THE CONTRACTOR SHALL ONLY REMOVE THE TREES MARKED ON THE PLANS AND SHALL MAKE EVERY EFFORT DURING CONSTRUCTION TO PROTECT THE TREES THAT WILL NOT BE REMOVED.
- EXISTING BUILDING LOCATIONS ARE APPROXIMATE AND SHOWN FOR INFORMATION ONLY.

6" OF CABC SHALL BE USED AS PERMANENT REPAIR ON GRAVEL DRIVEWAYS.

- CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, PAVED OR UNPAVED, TO EXISTING OR BETTER CONDITIONS IF DISTURBED DURING
- 10. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL NECESSARY EROSION CONTROL MEASURES WHETHER OR NOT SHOWN ON THE PLANS TO PROTECT ADJACENT CREEKS, RIVERS, ROADWAYS, ETC. FROM SILT AND EROSION.
- 11. DISRUPTION TO ANY UTILITY SHALL BE COORDINATED WITH THE AFFECTED PROPERTY OWNER.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK. THERE WILL BE NO ADDITIONAL OR SEPARATE PAY ITEM FOR THIS WORK UNLESS SPECIFICALLY CALLED OUT IN THE BID FORM. ANY RELOCATION OF EXISTING UTILITIES MUST BE COORDINATED WITH THE AFFECTED UTILITY COMPANY.
- 13. THE CONTRACTOR SHALL SUPPORT ALL UTILITY POLES AS NECESSARY. THE CONTRACTOR SHALL COORDINATE UTILITY POLE SUPPORT WITH THE APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR SHALL RESTORE/REPLACE ALL SIGNS, MAILBOXES, ETC. ENCOUNTERED DURING CONSTRUCTION TO ORIGINAL
- 15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THE EXISTING GRADE UNLESS OTHERWISE NOTED ON THE
- 16. ALL DRIVEWAYS SHALL BE REPAIRED AS SOON AS CONSTRUCTION HAS PASSED. A MINIMUM OF 6" OF CABC SHALL BE USED FOR TEMPORARY REPAIR ON ASPHALT AND CONCRETE DRIVEWAYS UNTIL PERMANENT REPAIR CAN BE COMPLETED AND A MINIMUM OF
- CONTRACTOR SHALL REPLACE WITH NEW ALL DRIVEWAY PIPES AND OTHER DRAINAGE PIPES/CULVERTS THAT ARE DISTURBED WHILE INSTALLING THE UTILITIES. ALL PIPE/CULVERTS SHALL MEET THE REQUIREMENTS OF NCDOT AND OR THE TOWN OF
- 18. ROADS ARE ASPHALT UNLESS OTHERWISE NOTED.
- ALL ROADWAY DITCHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AND CONFORM TO NCDOT REQUIREMENTS. ALL DITCHES SHALL BE LINED WITH EROSION CONTROL MATTING UNLESS OTHERWISE
- 20. THE CONTRACTOR SHALL REMOVE EXISTING FENCING AS REQUIRED TO INSTALL NEW UTILITIES AND REPLACE WITH NEW FENCING OF THE SAME TYPE. TEMPORARY FENCING SHALL BE INSTALLED AS REQUIRED TO CONTAIN LIVESTOCK DURING CONSTRUCTION.
- 21. ALL EXCAVATED MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE DURING UTILITY INSTALLATION. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SEDIMENT AND EROSION CONTROL MEASURES TO CONTROL RUN-OFF. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF LEGALLY.
- 22. ALL STREAM CROSSINGS SHALL UTILIZE CLEAN WASHED STONE. SOIL OF ANY TYPE WILL NOT BE PERMITTED IN ANY STREAM
- 23. CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND SHALL INSTALL TRAFFIC SAFETY MEASURES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 24. SITE SHALL BE STABILIZED, SEEDED AND MULCHED, AND PAVED AS INDICATED IN THE EROSION CONTROL NOTES PRIOR TO FINAL
- 25. POSITIVE DRAINAGE SHALL BE PROVIDED FOR THE CONSTRUCTION AREA THROUGHOUT THE CONSTRUCTION PERIOD
- 26. CONTRACTOR SHALL PROVIDE PROPER OIL POLLUTION PREVENTION MEASURES TO MINIMIZE THE IMPACT OF DIESEL FUEL TO THE ENVIRONMENT. MEASURES SHALL BE IN ACCORDANCE WITH STATE AND LOCAL LAWS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EXCESS SOIL FROM THE JOB SITE AND SHALL BE REQUIRED TO OBTAIN PROPER PERMITS FROM THE STATE.
- 28. ALL GRID COORDINATES SHOWN ON THE DRAWINGS ARE BASED UPON HORIZONTAL GROUND DISTANCES FROM NCGS MONUMENTS. NO SCALE FACTORS HAVE BEEN USED. THESE COORDINATES SHOULD BE USED FOR CONSTRUCTION PURPOSED ONLY.
- 29. INSTALL FORCE MAIN AT THE ELEVATIONS SHOWN ON THE DRAWINGS.
- ANTI-SEEP COLLARS SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS AND BE CONSTRUCTED OF CLASS B CONCRETE
- PROVIDE SEEDING AND MULCHING AT THE END OF EACH WORK DAY WHERE INDIVIDUAL LOTS ARE DISTURBED FOR THE RECONNECTION OF WATER AND SEWER SERVICES.
- 32. SURVEY IS PROVIDED BY WITHERS & RAVENEL
- 33. VERTICAL DATUM ARE NGVD 1988 AND HORIZONTAL DATUM IS NAD 1983.



Revision **AS SHOWN** UPDATED PER LOT & ROAD REVISIONS CNH Checked By Job No. Town of Beaufort

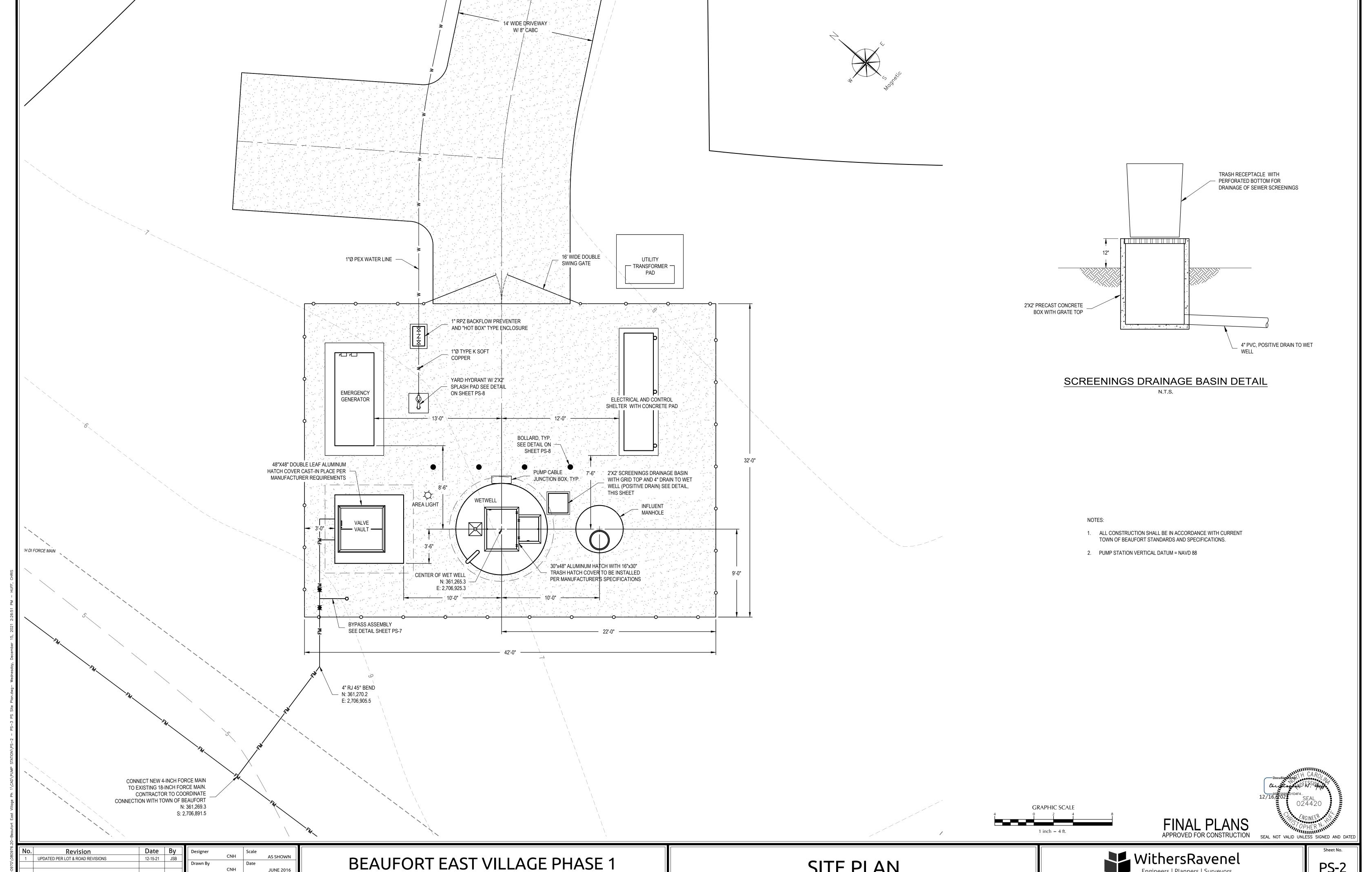
BEAUFORT EAST VILLAGE PHASE 1

Carteret County

PUMP STATION GENERAL NOTES



North Carolina



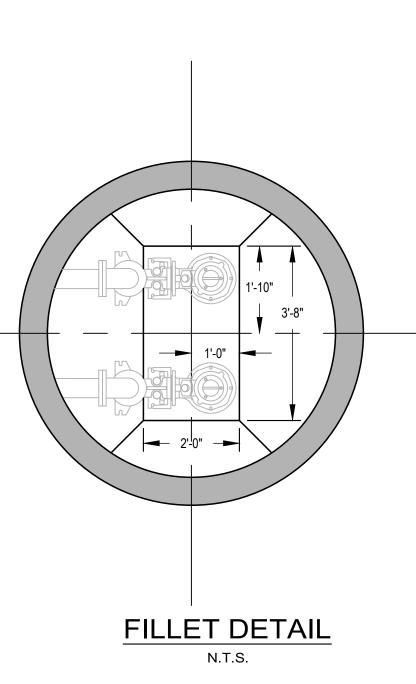
North Carolina Carteret County

Checked By

Town of Beaufort

Engineers | Planners | Surveyors 115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: C-0832 |

PUMP STATION PLAN



Town of Beaufort

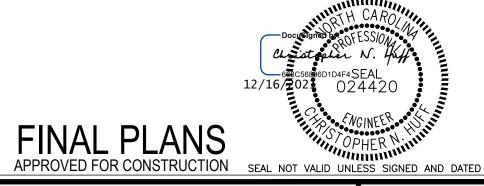
- () KEY NOTES
- 1 4" FL DIP
- 2 4" S.S. VENT PIPE WITH S.S INSECT SCREEN
- 3 2" CONDUIT WITH ABOVE GROUND JUNCTION BOX, TYP.
- 4" FL 90° BEND
- 5 4" FL PLUG VALVE W/ HANDWHEEL
- 6 4" FL CHECK VALVE
- 7 4" FL RESTRAINED DISMANTLING COUPLING
- 8 4" FL x RJ PIPE
- 9 4" RJ x PE PIPE
- 3" DIP DRAIN LINE (SLOPE 1/4" PER FOOT)
- 11) SUBMERSIBLE PUMP
- 12) STEEL ADJUSTABLE PIPE SUPPORT
- 4" RJ PLUG VALVE W/ VALVE NUT AND BOX

North Carolina

- 14 3" FLAP VALVE
- 15) PUMP LEVEL PROBE ROD (TYP.)

- 16 S.S. LIFT CABLE (EACH PUMP) SEE NOTE 12
- 17) INTERMEDIATE GUIDE RAIL SUPPORT (EACH PUMP)
- (18) 8" INFLUENT SEWER
- 19 PIPE SUPPORT IN WETWELL (EACH PUMP)
- 20 LINK SEAL OR NON-SHRINK GROUT
- 21) 4" RJ TEE
- 22) STEPS
- 23) 4" RJ 90° BEND
- 24 4" RJ PIPE
- 25 ALUMINUM TRASH BASKET ASSEMBLY (SEE SHEET PS-5)
- 26 S.S. CABLE HANGER (SEE SHEET PS-5)
- 27 FILLET
- 0-100 PSI PRESSURE GAUGE, 4" DIAL W/ SHUTOFF VALVE AND SNUBBER
- 29) 2" SCH. 40 304 S.S GUIDE RAIL (2 RAILS PER PUMP)

- 1. SPOOL PIPE BETWEEN CHECK VALVE AND PLUG VALVE IN VALVE VAULT SHALL BE 8-INCH MIN. LENGTH TO ALLOW INSTALLATION OF BOLTS.
- 2. DAVIT CRANE SHALL BE THERN SERIES 5110, HAVE A MINIMUM LOAD CAPACITY OF 1,000 LBS, OR APPROVED EQUAL (NOT SHOWN ON THIS PLAN, SEE SHEET PS-5 FOR ADDITIONAL INFORMATION).
- 3. HATCH SAFETY NETTING SHALL BE HATCH NET AS MANUFACTURE BY SAFE APPROACH, INC. OR APPROVED EQUAL.
- 4. ALL HARDWARE IN WETWELL AND VALVE VAULT SHALL BE 316 STAINLESS STEEL.
- SEE ELECTRICAL SHEETS FOR ADDITIONAL DETAILS.
- NO UNI-FLANGE OR DRESSER COUPLING IN WET WELL.
- 7. ALL PIPE CONNECTIONS TO BE FLANGED PRESSURE CLASS 350 DIP UNLESS
- 8. PROVIDE S.S. "O" OR "D" RINGS @ 5' INTERVALS ON ALL LIFT CHAINS.
- 9. ALL PENETRATIONS INTO PRECAST STRUCTURES SHALL BE DONE BY CORE DRILLING AND PIPES SHALL BE SEALED WITH NON-SHRINK GROUT, LINK-SEALS OR OTHER APPROVED MEANS TO MAKE A WATER TIGHT SEAL.
- 10. CONTRACTOR SHALL VERIFY SIZE OF WETWELL ACCESS HATCH TO DETERMINE IF HATCH SIZE ON PLANS WILL ACCOMMODATE SELECTED PUMP AND TRASH BASKET.
- 11. INTERIOR OF WET WELL SHALL RECEIVE 2 COATS OF KOPPERS "SUPER SERVICE BLACK" OR A SUITABLE COAL TAR EPOXY OF AT LEAST 24-MILS THICKNESS.
- 12. EACH PUMP LIFT CHAIN SHALL CONSIST OF THE FOLLOWING: TWO FEET OF STAINLESS STEEL CABLE CONNECTED TO THREE FEET 5/16 IN STAINLESS STEEL CHAIN THEN BACK TO STAINLESS STEEL CABLE TO THE TOP OF THE WET WELL WITH THREE FEET EXTENDED BEYOND THE HATCH.
- 13. ALL PUMPS AND CONTROL PANELS SHALL BE MANUFACTURED BY FLYGT.



Revision **AS SHOWN** UPDATED PER LOT & ROAD REVISIONS CNH Checked By Job No.

BEAUFORT EAST VILLAGE PHASE 1

Carteret County

PLAN DETAIL



PS-4

PUMP STATION SECTION

North Carolina

No. Revision

1 UPDATED PER LOT & ROAD REVISIONS

12-15-21 JSB

Designer

CNH

AS SHOWN

Drawn By

CNH

CNH

JUNE 2016

Checked By

Job No.

JJW

2080976.20

BEAUFORT EAST VILLAGE PHASE 1

Carteret County

Town of Beaufort

SECTION DETAIL

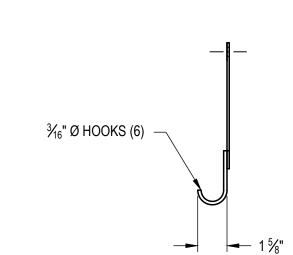


FINAL PLANS

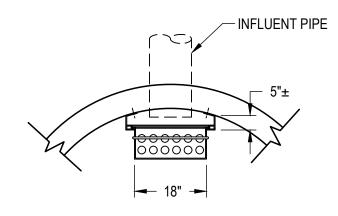
PS-5

SEAL NOT VALID UNLESS SIGNED AND DATE

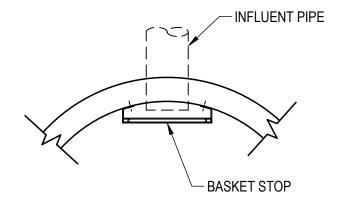
- 1. CABLE HANGER TO BE 316 STAINLESS STEEL.
- 2. CABLE HANGER SHALL BE SUPPLIED WITH 6 HOOKS.
- 3. CABLE HANGER CAN BE EITHER WALL OR ACCESS FRAME



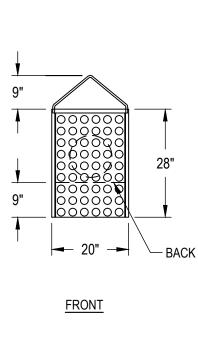
- 1. THE TRASH BASKET SYSTEM SHALL BE MODEL B1A AS MANUFACTURED BY HALLIDAY PRODUCTS, INC. OF ORLANDO, FLORIDA OR EQUAL.
- 2. THE TRASH BASKET SHALL BE OF THE PERFORATED SCREEN STYLE BASKET, HAVING 2" HOLES
- 3. THE BASKET SHALL BE OF .080" ALUMINUM WITH ALUMINUM TRACKING ANGLES AS PART OF THE
- 4. THE GUIDE RAILS SHALL BE EXTRUDED ALUMINUM CHANNELS SIZED TO FACILITATE EASY OPERATION OF THE BASKET.
- 5. AN ALUMINUM BASKET STOP SHALL BE SUPPLIED AT THE BOTTOM OF GUIDE RAIL ASSEMBLY.
- 6. BASKET HOIST CABLE TO BE 1/4" S.S. AND PERMANENTLY ATTACHED TO THE BASKET.

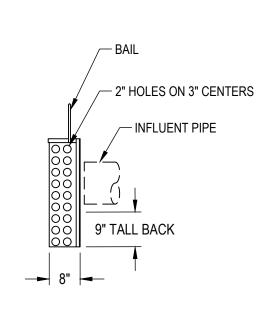


ASSEMBLED SECTION

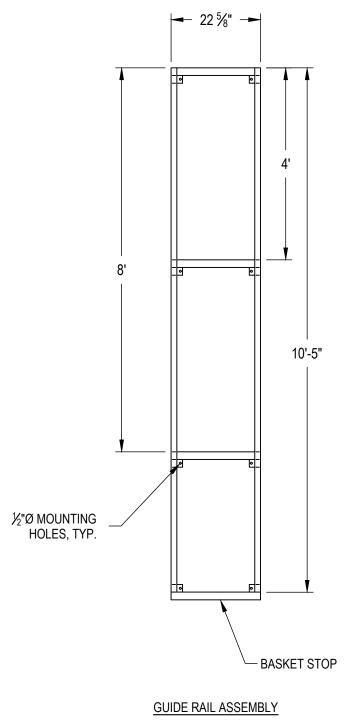


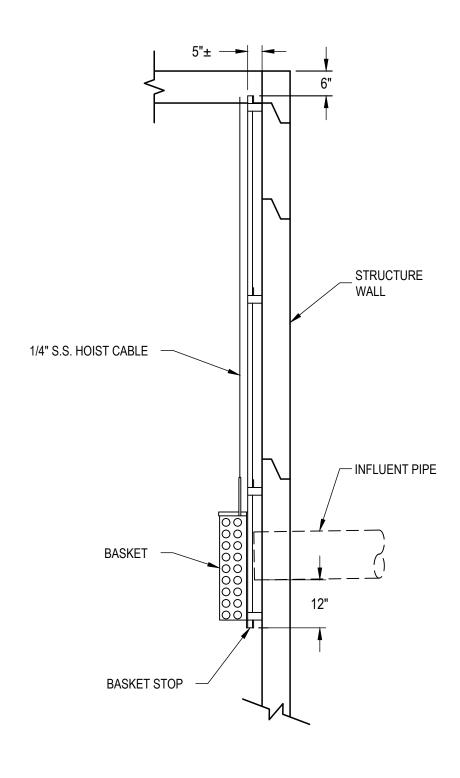
WALL SECTION





SIDE



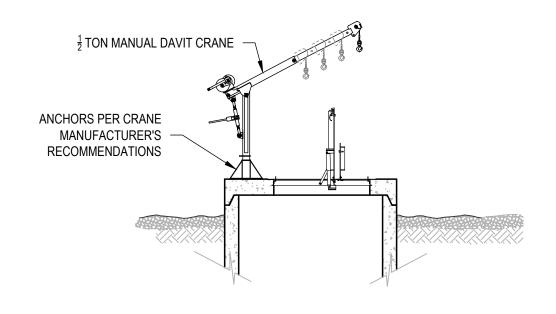


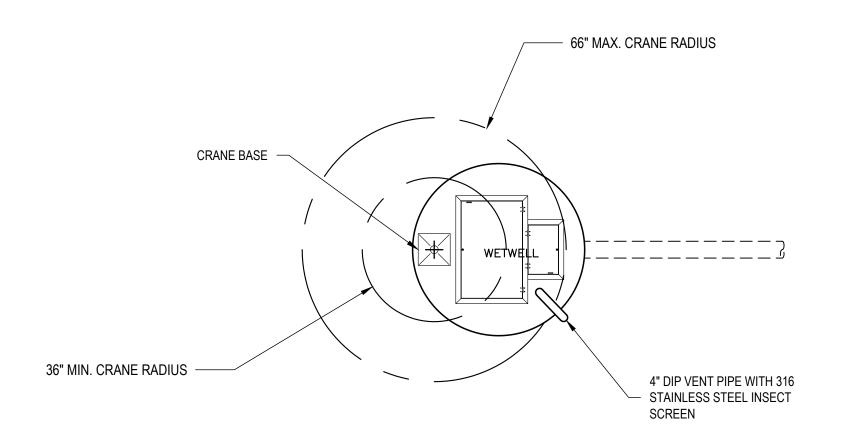
TRASH BASKET ASSEMBLY



 $\frac{1}{2}$ " Mounting

1 3/8" - 51/2" - 31/4"





DAVIT CRANE



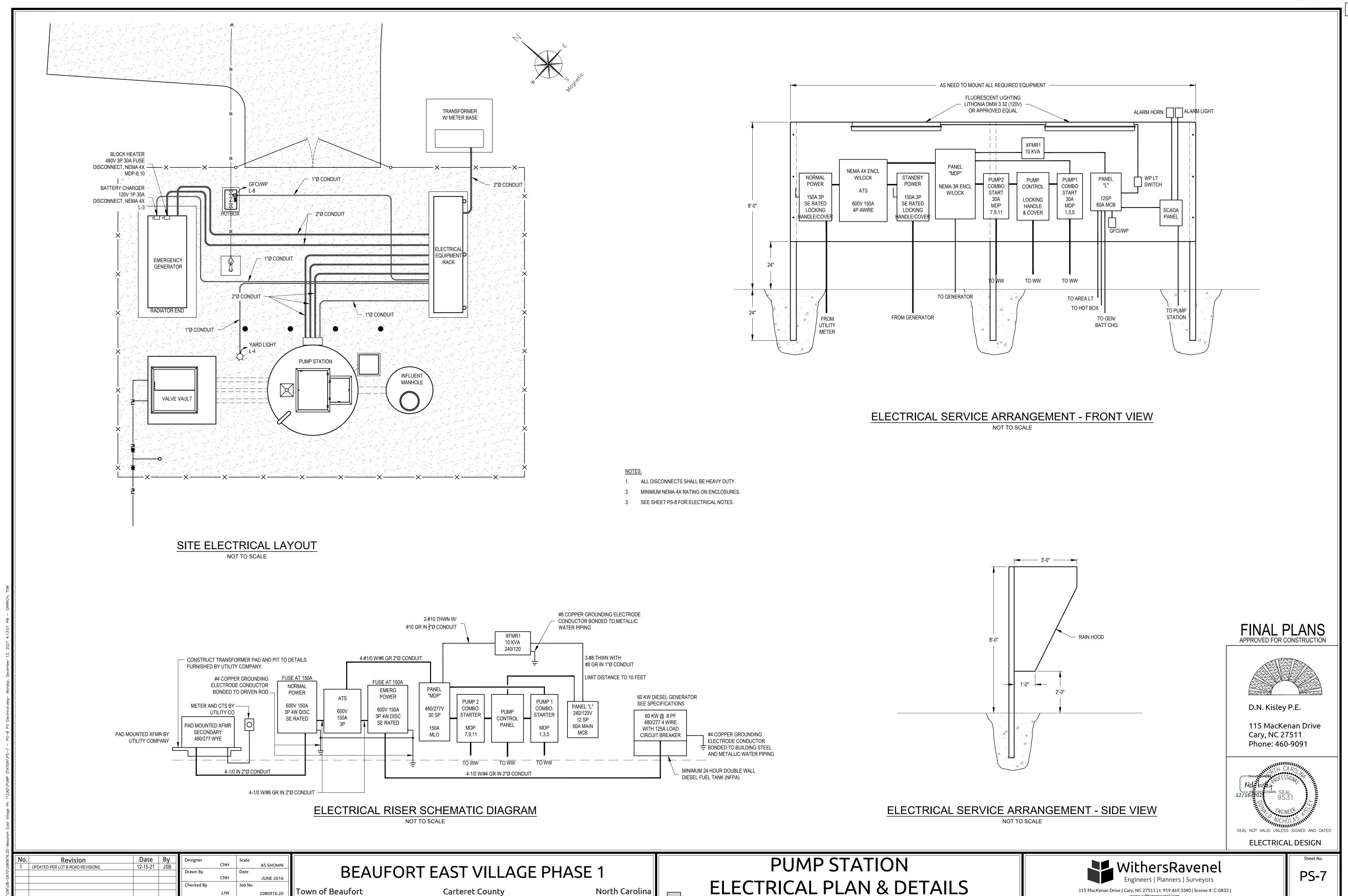


Ī	Revision	Date	Ву	Designer		Scale	
T	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB		CNH		AS SHOWN
t				Drawn By		Date	
t					CNH		JUNE 2016
t				Checked By		Job No.	

BEAUFORT EAST VILLAGE PHASE 1

Town of Beaufort North Carolina Carteret County





1																				
OC D	Schedule PANEL "L" Pevices: BREAKERS Devicements: 12 SPACE 60 MCB	1 Pha e Family: BOLT		Wire Bus Ratii		unting: SU	,	ge LG: 120 re: NEMA 4) 6KA 1 Phas												
CKT	DESCRIPTION/	*LOAD	*Cl	RITERI	A	TOTAL	DE144 D160	DEVICE		Р	DEVICE		DE144 D160	TOTAL	*LOAD	*CF	RITERI	A	DESCRIPTION/	СКТ
NO	LOCATION	TYPE	EA	QTY	DEM		REMARKS	AMPS	Р	Н	AMPS	Р	REMARKS	VA	TYPE	EA	QTY	DEM		NO
01	DIALER/SCADA	GEN			1	500	2#12 W/#12GR	20	1	Α	20	1	2#12W #12GR	1000	RECP			3	RECEPTACLES	02
03	BATTERY CHARGER	GEN			1	1500	2#12 W/#12GR	20	1	В	20	1	2#12W #12GR	500	LTS			1	YARD LIGHT	04
05	PUMP CONTROL PANEL	GEN			1	500	2#12 W/#12GR	20	1	Α	20	1	2#12W #12GR	500	LTS			1	SHELTER LIGHT	06
07										В	20	1	2#12W #12GR	1000	LTS			1	нот вох	08
09										Α										10
11										В										12
	USE LOADS: PHASE A VA AL LOADS: DESIGN KVA DESIGN FLA	3,000 3.0 25.0	ſ	PHASE	B VA	3,00 3.0 25.0														

PS=PUMP STATION VENDOR GS=GENERATOR/ATS SUPPLIER EC=ELECTRICAL CONTRACTOR

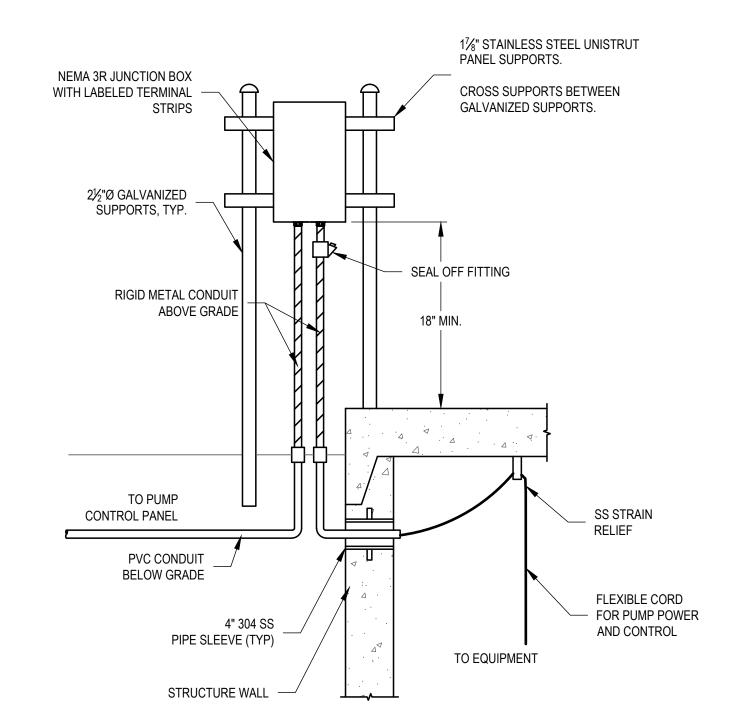
CBOX Channel	Alarm Type	Alarm Status for Circuit	Wire Color Cable 1	Wire Color Cable 2	Responsib	le Party
4	HIGH LEVEL ALARM	CLOSED	RED	RED	FURNISH	PS
1	HIGH LEVEL ALARIVI	CLOSED	KED	KED	INSTALL	EC
0	LOW LEVEL ALARM	CLOSED	\\/\!\\\		FURNISH	PS
2	LOW LEVEL ALAKWI	CLOSED	WHITE		INSTALL	EC
3	PUMP #1 HIGH TEMP	CLOSED	BLACK		FURNISH	PS
J	TOWN #TTHOTTIEWN	OLOGED	BLACK		INSTALL	EC
4	PUMP #2 HIGH TEMP	CLOSED	GREEN		FURNISH	PS
4	TOWN #2111GHTEWN	CLOSED	GREEN		INSTALL	EC
5	PUMP#1-SEAL FAILURE	CLOSED	BLACK		FURNISH	PS
ວ 	1 OWI #1-OLAL I AILONL	OLOGED	DLACK		INSTALL	EC
c	PUMP#2-SEAL FAILURE	CLOSED	BLUE		FURNISH	PS
6	1 OWN #2-OLAL I AILONE	OLOGED	BLUE		INSTALL	EC
7	PUMP #1 RUN FAILURE	CLOSED		RED	FURNISH	GS
, 	PUMP #1 RUN FAILURE	OLOGED		INLU	INSTALL	EC
8	PUMP #2 RUN FAILURE	CLOSED		DI ACK	FURNISH	GS
0	1 OWN #2 NOW I AILONE	CLUSED		BLACK	INSTALL	EC
9	GENERATOR RUNNING	CLOSED		DDOWN	FURNISH	GS
<u> </u>	NO ALARMS	CLOSED		BROWN	INSTALL	EC
10	GENERATOR START FAIL	OPEN		WHITE	FURNISH	GS
10	GENERATOR STAIR	OFEN		VVIIII	INSTALL	EC
11	POSITION SWITCH ON ATS	OPEN		BLUE	FURNISH	GS
11	STATION ON COMMERCIAL POWER	UPEN		DLUE	INSTALL	EC

Town of Beaufort

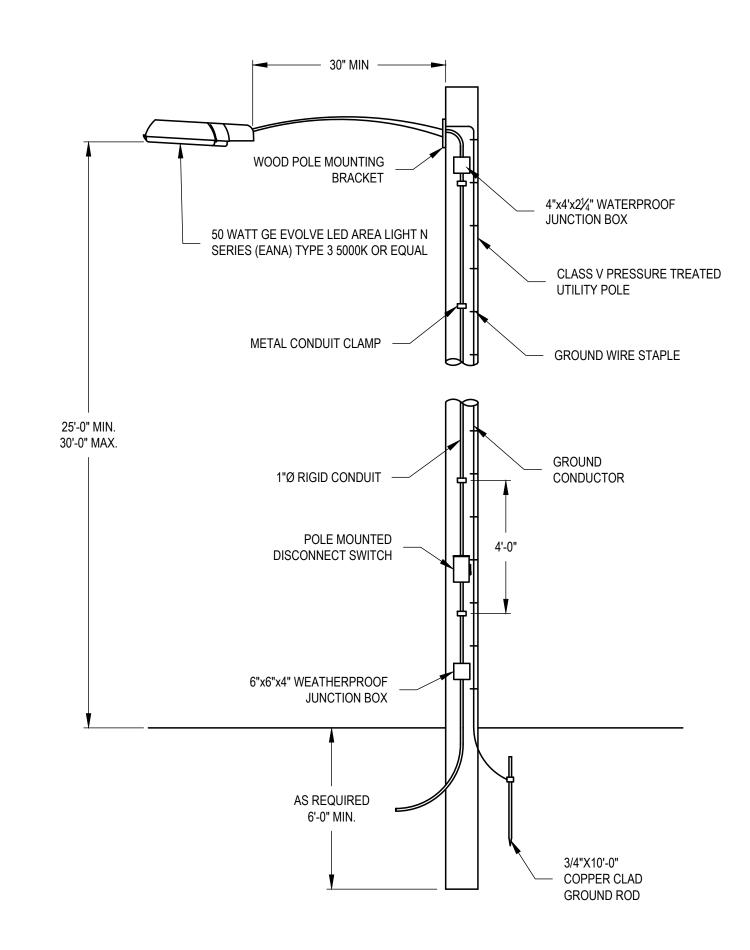
NOTES:

- JB ABOVE GROUND JUNCTION BOX TO JOIN EQUIPMENT BRANCH CIRCUIT TO FLEXIBLE LEADS. BOX TO BE WATER PROOF. SEAL FLEXIBLE CABLE ENTRY INTO BOX WITH SEALOFF FITTING (GAS TIGHT). INSTALL KELLUMS CORD GRIPS AT TOP OF STRUCTURES TO SUPPORT VERTICAL SECTIONS OF EQUIPMENT FEED CABLE.
- JBC ABOVE GROUND JUNCTION BOX TO JOIN EQUIPMENT CONTROLS TO FLEXIBLE CONTROL WIRE. INSTALL ADEQUATE SIZED WATERTIGHT PVC CONDUIT BELOW GRADE TO EQUIPMENT CONTROL PANELS AS REQUIRED.

North Carolina



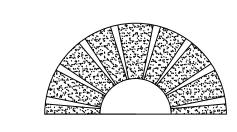
JUNCTION BOX NOT TO SCALE



LIGHT POLE DETAIL NOT TO SCALE

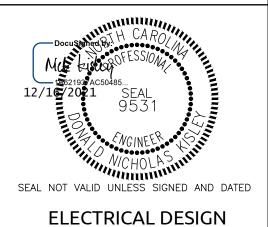
- 1. CONTRACTOR SHALL PROVIDE A COMPLETE SET OF SHOP DRAWINGS FOR ENGINEERS APPROVAL.
- ALL ELECTRICAL WORK SHALL CONFORM TO LATEST NATIONAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- THE ELECTRICAL COMPONENTS WERE DESIGNED BASED ON PUMP MOTORS WITH A RATING OF 10-HP WITH ACROSS THE LINE STARTERS.
- 4. PUMPS TO HAVE STAGGERED START SO THAT ONLY 1 PUMP CAN BE STARTED AT ANY 1 TIME WITH A MINIMUM 5 SECOND ADJUSTABLE DELAY.
- CONTRACTOR SHALL COORDINATE AND PAY FOR ELECTRICAL SERVICE AND TRANSFORMER TO BE INSTALLED BY
- 6. OVERCURRENT DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, WHEN IN IT'S HIGHEST POSITION, IS NOT MORE THAN 5'-6" ABOVE FFE OF EQUIPMENT PAD. A PERMANENT WORKING PLATFORM COMPLETE WITH STEPS AND HANDRAILS MAY BE REQUIRED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. THE PLATFORM MUST COMPLY WITH ALL OSHA REQUIREMENTS.
- THE GENERATOR SHALL INCLUDE A SOUND ATTENUATING ENCLOSURE AND HOSPITAL GRADE SILENCER. THE GENERATOR SHALL HAVE A SOUND RATING OF LESS THAN 70 DBA AT A DISTANCE OF 7 METERS FROM THE OPERATING EQUIPMENT.
- CONTRACTOR TO PROVIDE FUEL FOR TESTING THE GENERATOR. THE FUEL TANK SHALL BE TOPPED OFF AFTER ACCEPTANCE OF THE STATION.
- 6. ALL ABOVE GRADE CONDUIT SHALL BE RIGID METALLIC. MEYERS HUBS SHALL BE USED AT ALL PANEL
- 10. CONDUIT NUMBER AND SIZE ARE APPROXIMATE. CONTRACTOR TO VERIFY CONDUIT SIZE AND ENSURE ITS ADEQUACY FOR ITS INTENDED PURPOSE.
- 11. EACH CONDUIT FROM WET WELL MUST HAVE A SEAL OFF BEFORE ENTERING A NEMA 4X 316 STAINLESS STEEL
- 12. USE NON-HARDENING MATERIAL IN CONDUIT SEALS ENTERING JUNCTION BOX.
- BOTTOM OF JUNCTION BOX(ES) SHALL BE A MINIMUM 18" ABOVE GROUND LEVEL.
- 14. ALL ENCLOSURES SHALL BE NEMA 3R S.S. OR BETTER.
- 15. ALL DISCONNECTS SHALL BE HEAVY DUTY.
- 16. ALARM HORN AND LIGHT ARE ACTIVATED ANYTIME THE TELEMETRY INITIATES AN ALARM. SILENCER FOR ALARM HORN SHALL BE LOCATED IN PUMP CONTROL PANEL.
- 17. CONTROL PANEL SHALL BE INSTALLED WITH AUTOMATIC ALARM DIALER MEETING TOWN OF BEAUFORT
- 18. ALL FIELD WIRING AND CONNECTIONS BETWEEN PUMPS AND FLOAT SWITCHES AND CONTROL PANEL BY
- 19. ALL TRANSFORMERS ARE THREE PHASE GENERAL PURPOSE DRY TYPE FOR OUTDOOR USE UNLESS OTHERWISE
- 20. FURNISH AND INSTALL SUITABLY SIZED EQUIPMENT GROUNDING CONDUCTORS IN ALL FEEDERS AND BRANCH CIRCUITS.
- 21. SOLIDLY GROUND ALL TRANSFORMERS TO DRIVEN ROD(S). ALL DISCONNECTS SHALL BE RATED FOR THE VOLTAGE OF THE SYSTEM IN WHICH THEY ARE INSTALLED AND SHALL BE HEAVY DUTY FUSIBLE TYPE UNLESS
- 22. PANEL LAYOUT IS SCHEMATIC ONLY. CONTRACTOR SHALL DETERMINE LENGTH AND HEIGHT OF ELECTRICAL EQUIPMENT RACK, PROVIDED DIMENSIONS ARE FOR REFERENCE ONLY. MAINTAIN 4" MIN. CLEARANCE BETWEEN PANELS AND WEATHER HOOD SIDES.
- 23. EQUIPMENT RACK BACKING PLATE TO BE ¹/₄" THICK ALUMINUM. MOUNT TO 4-INCH GALVANIZED STEEL POSTS WITH STAINLESS STEEL NUT, BOLTS, AND WASHERS.
- ELECTRICAL EQUIPMENT SHALL BE MOUNTED TO THE ALUMINUM BACKING PLATE WITH NYLON SPACERS & STAINLESS STEEL NUTS, BOLTS & WASHERS.
- ALL POSTS EMBEDDED IN CONCRETE SHALL BE COATED WITH BITUMINOUS PAINT
- NO EQUIPMENT SHALL BE MOUNTED LESS THAN 36" ABOVE FINISHED GRADE. MINIMUM CLEARANCE FROM WORK
- LIGHT TO STANDING PAD SHALL BE 7'-6". 27. NO PANELS SHALL EXTEND BEYOND BACK PANEL.

FINAL PLANS APPROVED FOR CONSTRUCTION



D.N. Kisley P.E.

115 MacKenan Drive Cary, NC 27511 Phone: 460-9091



▲! WithersRavenel Engineers | Planners | Surveyors

Carteret County

INTRODUCTION
THE INFORMATION CONTAINED IN THIS DOCUMENT HAS BEEN PREPARED TO ASSIST BOTH DUKE ENERGY PERSONNEL AND DUKE ENERGY CUSTOMERS IN THE APPLICATION, INSTALLATION, AND CONSTRUCTION OF FOUNDATIONS (CONCRETE PADS) FOR ALL THREE-PHASE PAD-MOUNTED TRANSFORMERS. THIS INFORMATION IS INTENDED TO PROVIDE CLEAR DISTINCTIONS BETWEEN THE RESPONSIBILITIES OF DUKE ENERGY AND OF THE CUSTOMER, HOWEVER, IN ALL CASES, IT IS CRITICAL TO MAINTAIN AN OPEN DIALOG BETWEEN DUKE ENERGY AND THE CUSTOMER REGARDING CONDUCTOR QUANTITIES, CONDUIT SIZES AND LOCATIONS, CONNECTIONS. AND ELECTRICAL LOAD REQUIREMENTS. THIS WILL ENSURE THAT THE PROPER DIMENSIONS ARE USED FOR THE

PAD TYPE REQUIREMENTS
THE "PIT PAD" SHALL BE USED FOR ALL THREE-PHASE PAD-MOUNTED TRANSFORMER INSTALLATIONS IN THE DUKE ENERGY CAROLINAS WEST (DEC), DUKE ENERGY MIDWEST (DEM) AND THE NON-COASTAL DUKE ENERGY CAROLINAS EAST (DEP) TERRITORIES. IN THE DUKE ENERGY FLORIDA (DEF) AND COASTAL DEP TERRITORIES, A "FLAT PAD" SHALL BE USED.

RE ARE TWO DIFFERENT SIZE PADS FOR THREE-PHASE PAD-MOUNTED TRANSFORMERS. THE PAD SIZE SHALL BE DETERMINED BASED ON THE PARAMETERS SPECIFIED IN THE TABLE BELOW.

TRANSFORMER SIZE	TRANSFORMER PRIMARY VOLTAGE CLASS	PAD SIZE	PIT PAD DWG.	FLAT PAD DWG.
300KVA AND BELOW	25 KV AND BELOW	SMALL	PAGE 3	PAGE 5
500KVA - 5000KVA	25 KV AND BELOW	LARGE	PAGE 4	PAGE 6
ΔΙΙ	35KV	LARGE	PAGE 4	PAGE 6

SECONDARY BUS ENCLOSURE REQUIREMENTS
A SEPARATE SECONDARY BUS ENCLOSURE IS REQUIRED WHENEVER THE CUSTOMER IS INSTALLING MORE THAN

THE MAXIMUM ALLOWABLE NUMBER OF SECONDARY CONDUCTORS PER PHASE. SEE THE "SERVICE REQUIREMENTS

TOMER IS RESPONSIBLE FOR PROVIDING AND INSTALLING THE CONCRETE THREE-PHASE PAD-MOUNTED TRANSFORMER PAD ACCORDING TO THE SPECIFICATIONS OUTLINED IN THIS DOCUMENT. THE CUSTOMER MAY CHOOSE TO CONSTRUCT (FORM AND POUR) THE PAD ON-SITE OR PURCHASE AND INSTALL A PRE-CAST PAD FROM AN APPROVED SUPPLIER. THE CUSTOMER MUST PROVIDE AND INSTALL THE PRIMARY AND SECONDARY CONDUITS INTO THE WINDOW OPENING OF THE PAD ACCORDING TO THE SPECIFICATIONS

THE CUSTOMER IS RESPONSIBLE FOR CONTACTING A DUKE ENERGY REPRESENTATIVE TO INSPECT AND APPROVE THE PAD TO BE USED. IF USING A PRE-CAST PAD, CONTACT THE DUKE ENERGY REPRESENTATIVE AFTER INSTALLATION SO THAT THE CORRECT PAD CAN BE CONFIRMED AND VERIFIED THAT IT IS IN THE CORRECT LOCATION AND LEVEL. IF CONSTRUCTING THE PAD ON-SITE. THE DUKE ENERGY REPRESENTATIVE MUST BE CONTACTED TO INSPECT THE FORM OF THE PAD, INCLUDING REBAR, PRIOR TO POURING THE CONCRETE.

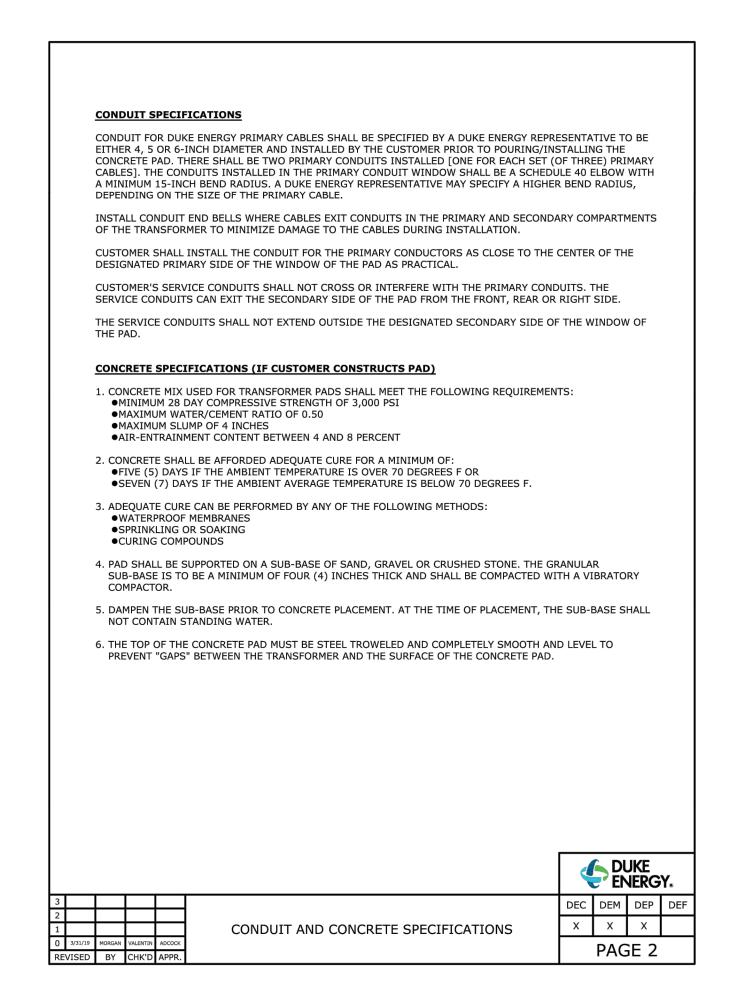
THE CUSTOMER IS ALSO RESPONSIBLE FOR INFORMING THE DUKE ENERGY REPRESENTATIVE THE NUMBER, SIZE, AND TYPE OF SECONDARY CONDUCTORS THAT WILL BE INSTALLED. (EXAMPLE: 500-MCM COPPER, 600-VOLT INSULATED, 90-DEGREE C-RATED, FOUR (4) CONDUCTORS PER PHASE).

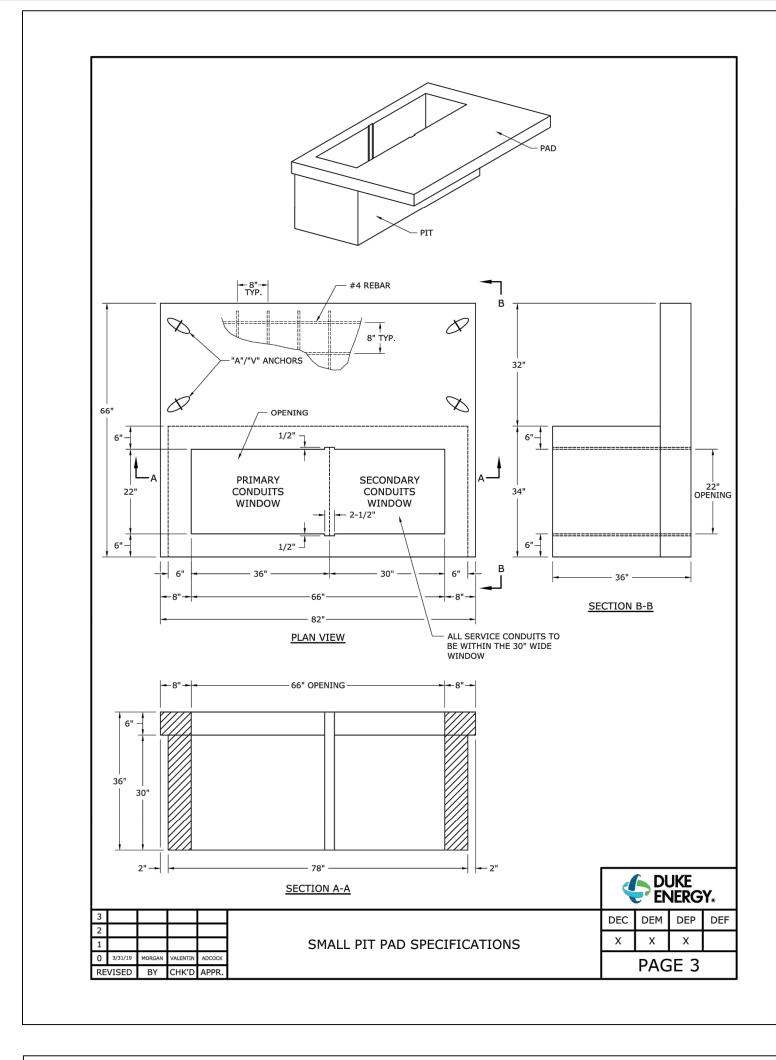
<u>DUKE ENERGY RESPONSIBILITIES</u>
PROVIDE AND INSTALL THE GROUND ROD(S) PRIOR TO THE INSTALLATION OF THE PAD-MOUNTED TRANSFORMER. PROVIDE AND INSTALL THE PAD-MOUNTED TRANSFORMER. PROVIDE AND INSTALL THE CONNECTORS TO TERMINATE THE PRIMARY AND SECONDARY CONDUCTORS TO THE TRANSFORMER TERMINALS.

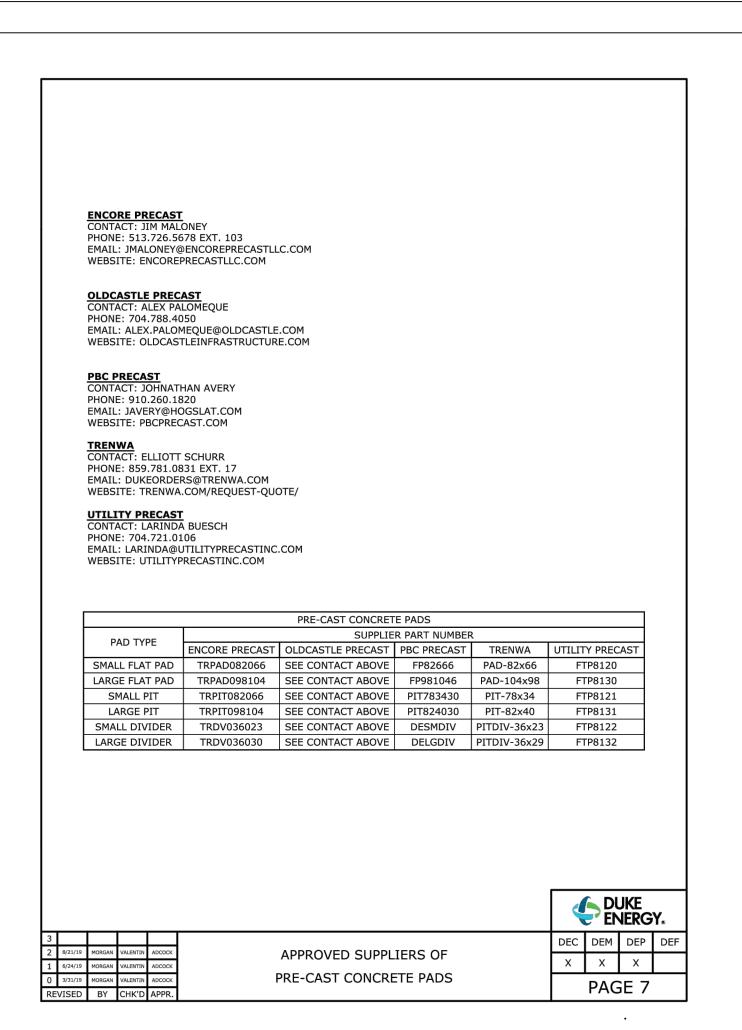
INTRODUCTION, REQUIREMENTS AND

RESPONSIBILITIES

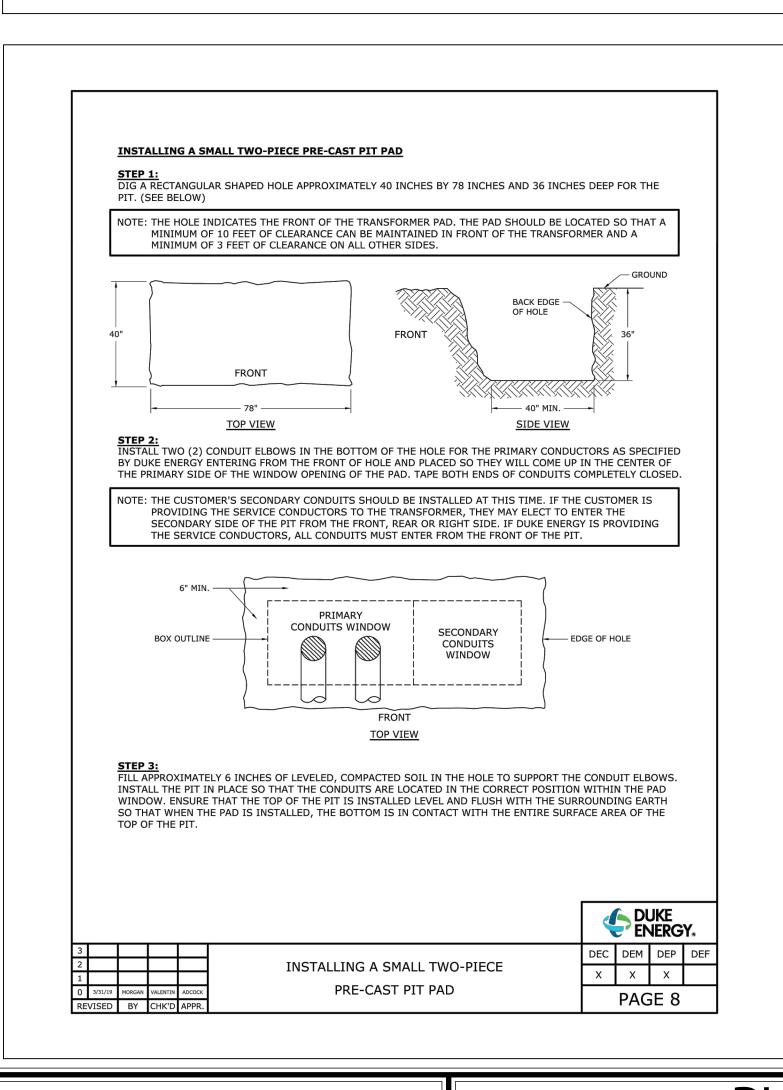
V		JKE VERG	Y _*					
DEC	DEM	DEP	DEF					
Х	Х	Х						
PAGE 1								

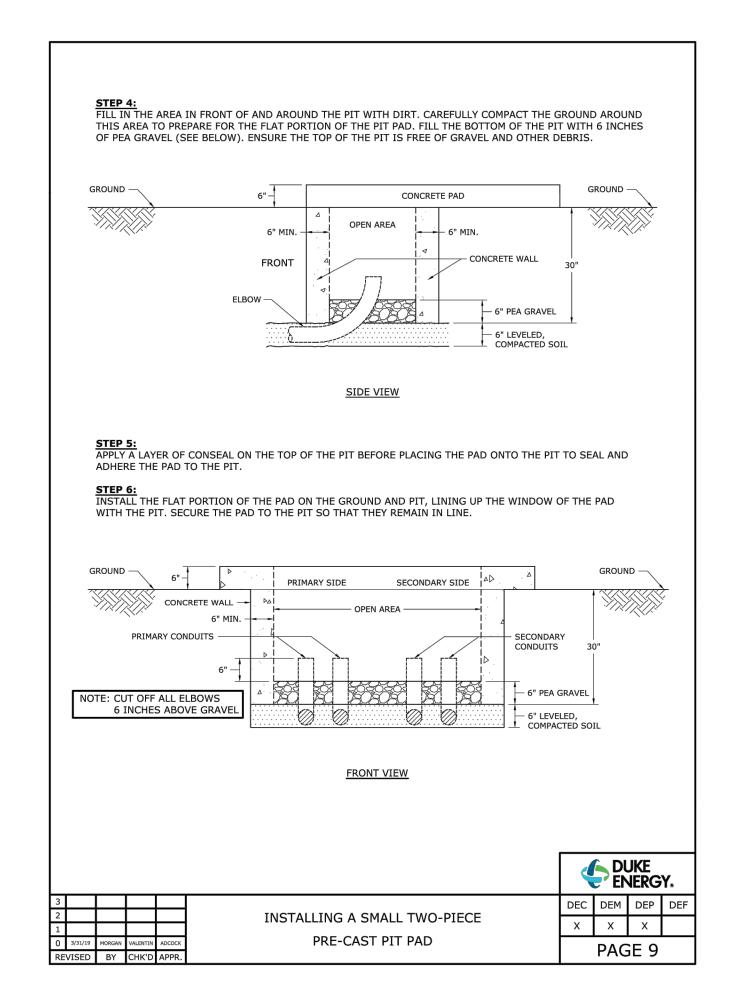


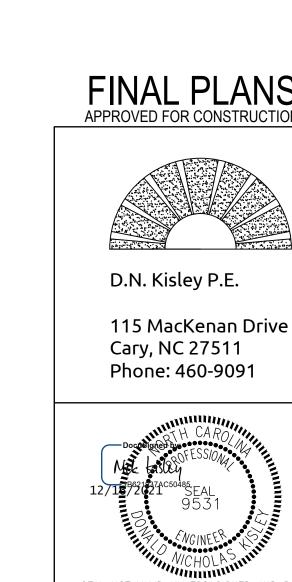




Town of Beaufort







ο.	Revision	Date	Ву	Designer		Scale	
	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB		CNH		AS SHOWN
				Drawn By		Date	
					CNH		JUNE 2016
				Checked B	у	Job No.	
					JJW		2080976.20

BEAUFORT EAST VILLAGE PHASE 1

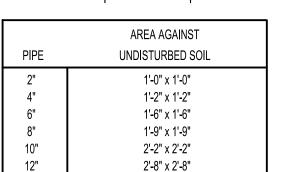
Carteret County

PUMP STATION TRANSFORMER PAD DETAILS

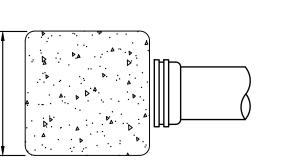


ELECTRICAL DESIGN

North Carolina



PLACE 20 GA. GALV. SHEET BETWEEN PLUG AND BLOCKING



PLUGGED END OF PIPE OR FITTING

AREA AGAINST

UNDISTURBED SOIL

1'-0" x 1'-0"

1'-2" x 1'-2"

1'-6" x 1'-6"

1'-9" x 1'-9"

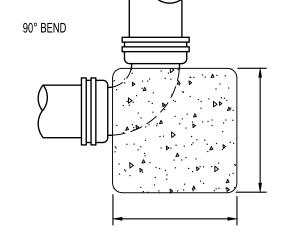
2'-2" x 2'-2"

2'-8" x 2'-8"

6"Ø STEEL BOLLARD CONCRETE FILLED
AND PAINTED SAFETY YELLOW

- FILLED HOLE WITH 3,000 PSI CONCRETE

Town of Beaufort



AREA AGAINST

UNDISTURBED SOIL

1'-0" x 1'-0"

1'-0" x 1'-0"

1'-3" x 1'-3"

2'-0" x 2'-0"

2'-6" x 2'-6"

3'-0" x 3'-0"

. /

		AREA AGAINST
	PIPE	UNDISTURBED SOIL
	2"	1'-0" x 1'-0"
	4"	1'-0" x 1'-0"
	6"	1'-3" x 1'-3"
	8"	1'-6" x 1'-6"
	10"	2'-0" x 2'-0"
	12"	2'-3" x 2'-3"

AREA AGAINST UNDISTURBED SOIL 1'-0" x 1'-0" 1'-0" x 1'-0" 1'-0" x 1'-0" 1'-2" x 1'-2" 1'-6" x 1'-6" 1'-8" x 1'-8"

NOTES:

- 1. EITHER CONCRETE THRUST BLOCKING OR MECHANICAL RESTRAINTS ARE TO BE USED WHERE THERE IS A FITTING AND CHANGE OF LINE SIZE.
- 2. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- 3. NO CONCRETE SHALL BE PLACED ON PIPE JOINT.
- 4. HEAVY DUTY PLASTIC SHALL BE WRAPPED AROUND JOINT WHERE CONCRETE BLOCKING IS USED.
- 5. PIPING LESS THAN 2" IN DIAMETER SHALL HAVE THE SAME REQUIREMENTS AS 2" DIAMETER PIPE.

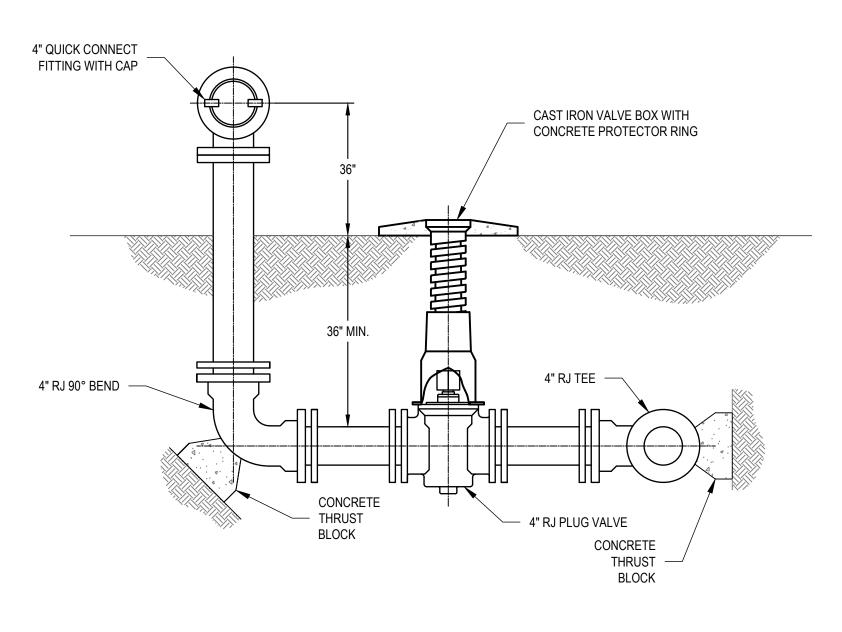
CONCRETE THRUST BLOCKING NOT TO SCALE SIPHON BREAK NOTE: HOSE BIB SHALL ACCOMMODATE STANDARD 3/4" GARDEN HOSE 24" MIN. - 1"Ø GALV. PIPE WITH THREADED ENDS - SPLASH SLAB TO BE 2' SQ. BY 4" THK. 1 CF #57 WASHED STONE 24" MINIMUM COVER 1"Ø TYPE "K" SOFT COPPER WITH THREADED TO COMPRESSION FITTING AT HYDRANT.

YARD HYDRANT - NONFREEZE TYPE

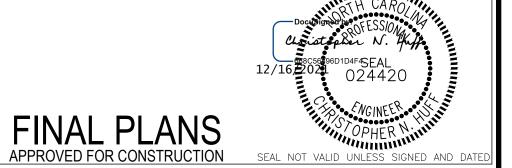
NOT TO SCALE

North Carolina

PROPOSED 4" FORCE MAIN 4" FLANGED _ 90° BEND 4" RJ PLUG VALVE, TYP. COORDINATE ORIENTATION WITH OWNER NOTE: 1. CONFIRM CONNECTION TYPE AND ORIENTATION WITH OWNER. FROM PUMP STATION



EMERGENCY BYPASS CONNECTION DETAIL



BEAUFORT EAST VILLAGE PHASE 1

Carteret County

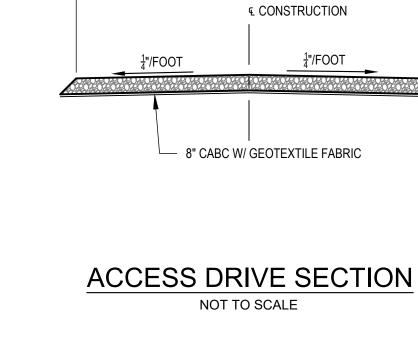
PUMP STATION MISCELLANEOUS DETAILS

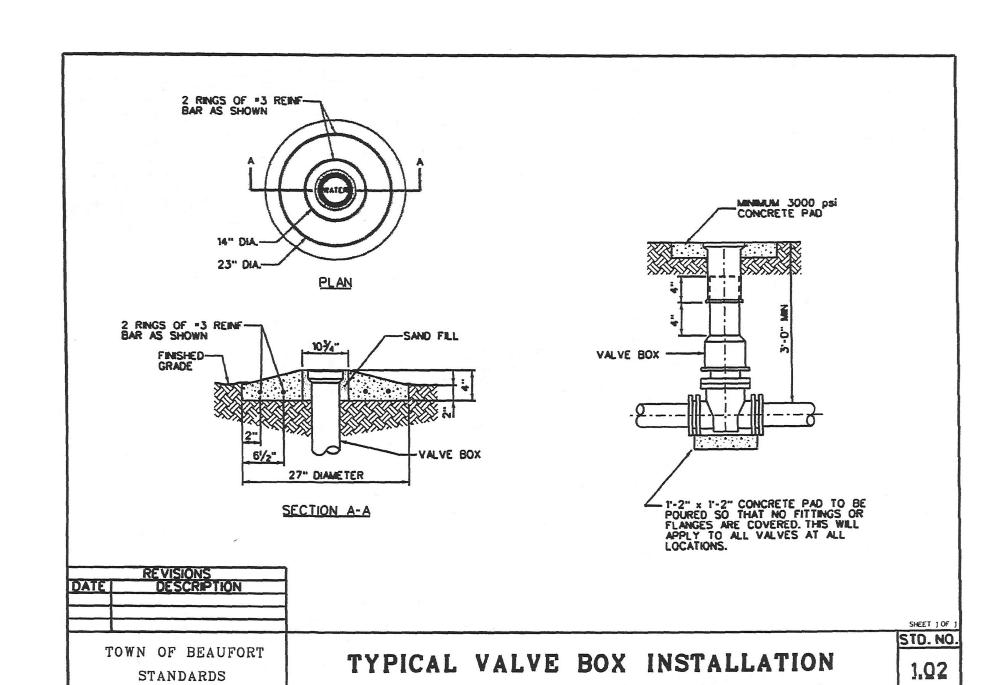


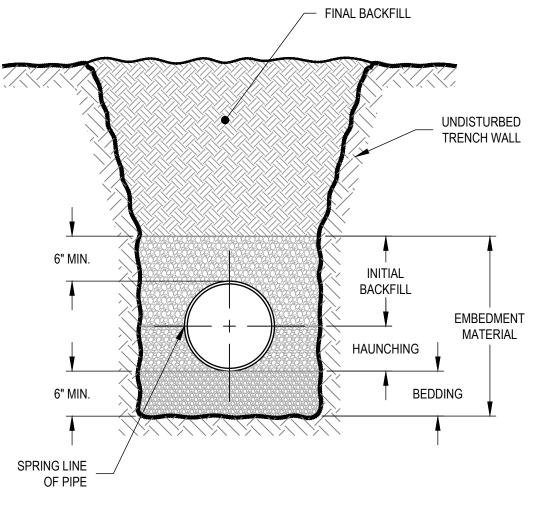
Revision **AS SHOWN** UPDATED PER LOT & ROAD REVISIONS Checked By

BOLLARD

NOT TO SCALE







TRENCH CROSSING SECTION

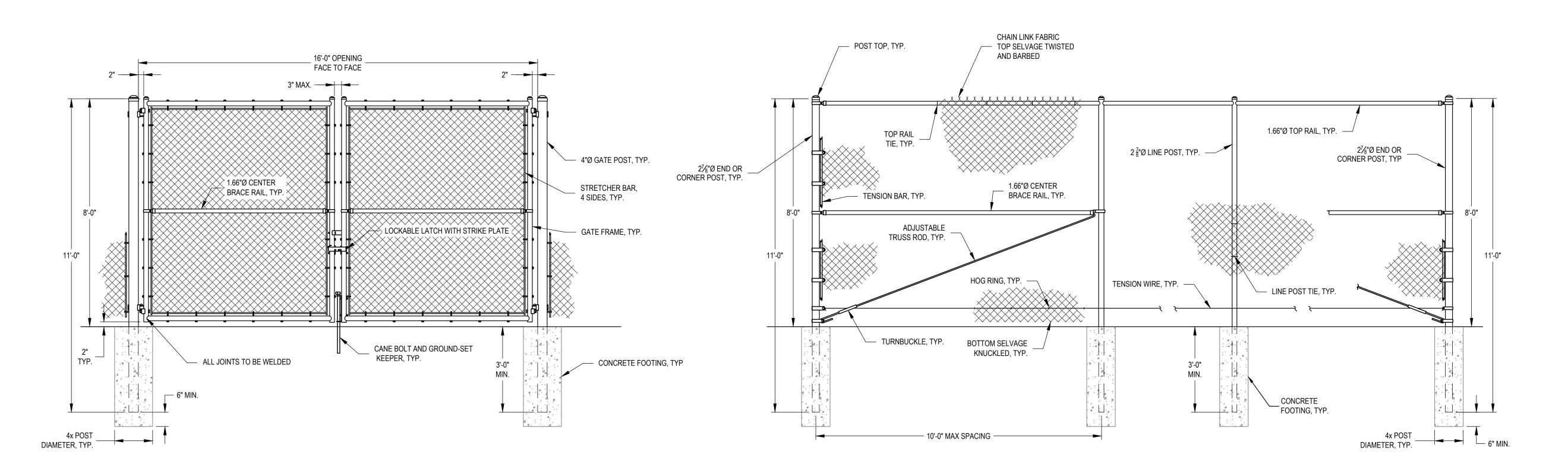
NOTES:

- 1. FOR FLEXIBLE PIPE EMBEDMENT MATERIAL MAY BE EITHER CLASS I OR CLASS II.
- 2. FOR SEMI-RIGID PIPE, EMBEDMENT MATERIAL MAY BE CLASS I, CLASS II OR CLASS III.
- 3. EMBEDMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY FOR CLASS I AND CLASS II MATERIALS, AND A MINIMUM OF 95% STANDARD PROCTOR DENSITY FOR CLASS III.

BEDDING FOR FLEXIBLE PIPE NOT TO SCALE



No.	Revision	Date	Ву	Designer		Scale	
1	UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB		CNH		AS SHOWN
				Drawn By		Date	
				-	CNH		JUNE 2016
				Checked By		Job No.	



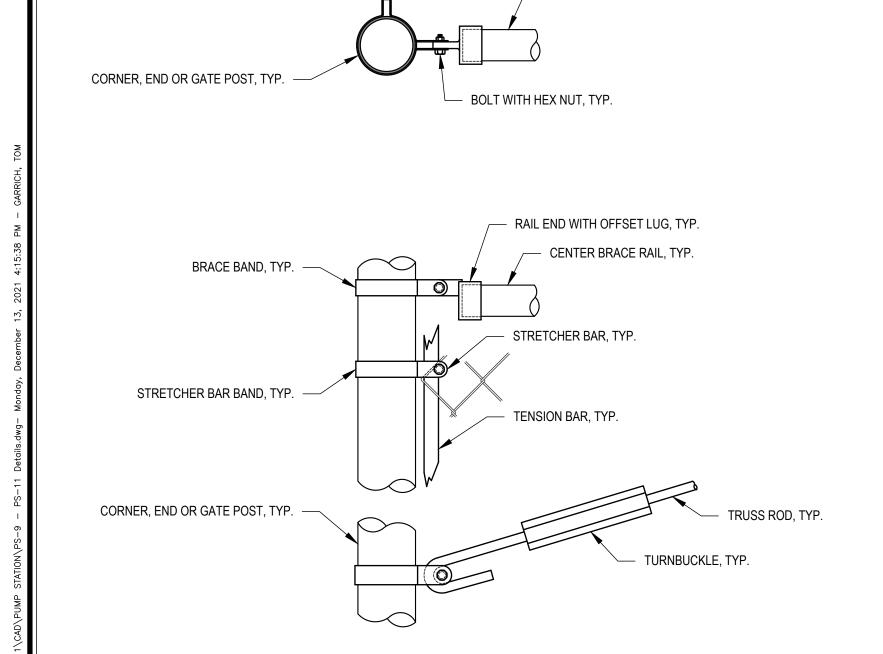
NOTES:

CENTER BRACE RAIL, TYP.

- 1. FENCE FABRIC, POSTS AND HARDWARE SHALL BE GALVANIZED AND VINYL COATED.
- 2. FENCE SHALL BE PROVIDED WITH VINYL SCREENING SLATS.
- 3. SEE PROJECT MANUAL FOR MATERIAL AND COMPONENT SPECIFICATIONS.

CHAIN LINK FENCE DETAIL

NOT TO SCALE



END, CORNER AND GATE POST

NOT TO SCALE

RAIL END WITH OFFSET LUG, TYP.

CENTER BRACE RAIL, TYP.

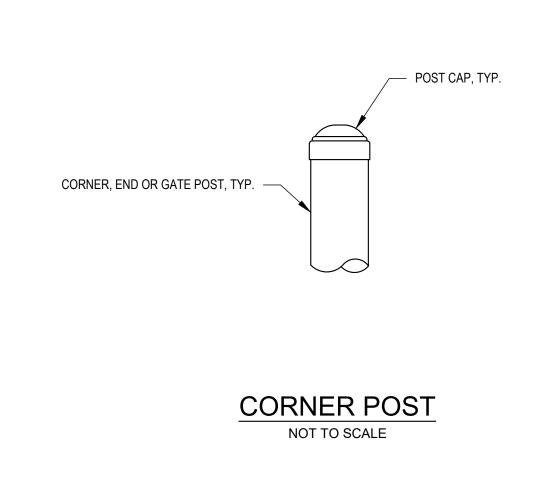
TRUSS ROD, TYP.

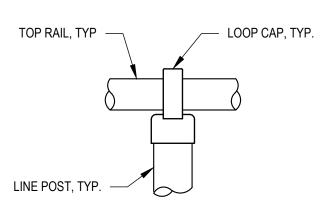
LINE POST, TYP.

LINE POST

NOT TO SCALE

CENTER BRACE RAIL, TYP. —





ROUND TERMINAL POST





Revision	Date	Ву	Designer		Scale	
UPDATED PER LOT & ROAD REVISIONS	12-15-21	JSB		CNH		AS SHOW
			Drawn By		Date	
				CNH		JUNE 201
			Checked By		Job No.	

BEAUFORT EAST VILLAGE PHASE 1

Town of Beaufort Carteret County North Carolina

PUMP STATION
MISCELLANEOUS DETAILS



PS-12



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516 252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, February 21, 2022 – Virtual Meeting via Zoom

AGENDA CATEGORY: New Business

SUBJECT: Case #22-06 Special Use Permit for a Mini-Storage facility at

2150 & 2176 Live Oak Street

BRIEF SUMMARY:

This property has been rezoned to B-1 with a CAMA Map Amendment to General Commercial. A full Site Plan, to include a stormwater management plan will be submitted after the decision of the Special Use Permit. The site plan will go through the Planning Board and Board of Commissioners for approval as part of that process.

REQUESTED ACTION:

Recommendation to Board of Commissioners

EXPECTED LENGTH OF PRESENTATION:

5 Minutes

SUBMITTED BY:

Kyle Garner, AICP

Planning & Inspections Director

BUDGET AMENDMENT REQUIRED:

N/A

PLANNING BOARD STAFF REPORT

To: Planning Board Members

From: Kyle Garner, AICP, Planning Director

Date: January 31, 2022

Case No.: 22-06

THE REQUEST: Special Use Permit for Mini-Storage

BACKGROUND:

Location: 2150 & 2176 Live Oak
Owner: Rosemyr Corporation
Applicant: The Cullipher Group

Requested Action: Provide Recommendation to Board of Commissioners

CAMA Land Use: General Commercial (Compliant)

PIN: 731605191929000, 731703102015000, 731605192705000

Size: 12.18 Acres

Existing Land Use: Vacant Lot – Former Convenient Store

Adjoining Land Use & Zoning: North – Single-Family with Manufactured Homes; Zoned R-20

South – Boat Storage Units – Zoned BW

West – Across Live Oak - Single Family Residences - Zoned R-20

East – Undeveloped Property; Zoned R-20

SPECIAL INFORMATION: This property has been rezoned to B-1 with a CAMA Map Amendment

to General Commercial. A full Site Plan, to include a stormwater management plan will be submitted after the decision of the Special Use Permit. The site plan will go through the Planning and Board of

Commissioners for approval as part of that process.

<u>Public Utilities:</u> Water Existing Service

Sanitary Sewer Existing Service

ACTION:

1. Provide consistency statement to the Board of Commissioners; and

2. Provide comments, concerns and suggestions to the Board of Commissioners



STAFF COMMENTS:

- This application is for a Special Use Permit for Mini Storage in a B-1 Zoning District.
- There are other Storage Facilities in the vicinity of the site.
- The request is consistent with the current Land Use Plan (See CAMA Land Use Map)

SECTION 20 Special Use Permit (*Town of Beaufort Land Development Ordinance***)**

E) Required Findings

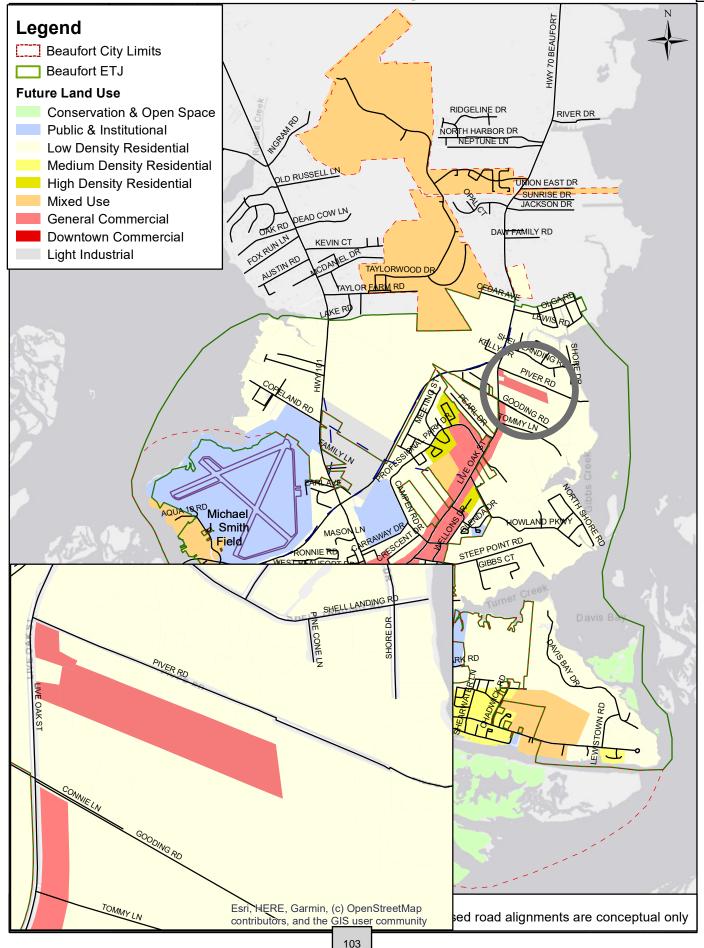
- 1) In addition to any other findings or requirements as specified by any other section of this Ordinance, before any application for a special use may be granted or denied, the BOC shall make each of the following findings:
 - a) The proposed use is an allowable special use in the zoning district it is being located within;
 - b) The application is complete;
 - c) The location and character of the use will be in conformity with the Town's land use plan and other comprehensive planning elements;
 - d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
 - e) The proposed special use will not substantially injure the value of adjoining or abutting properties;
 - f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and,
 - g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.

Exhibits:

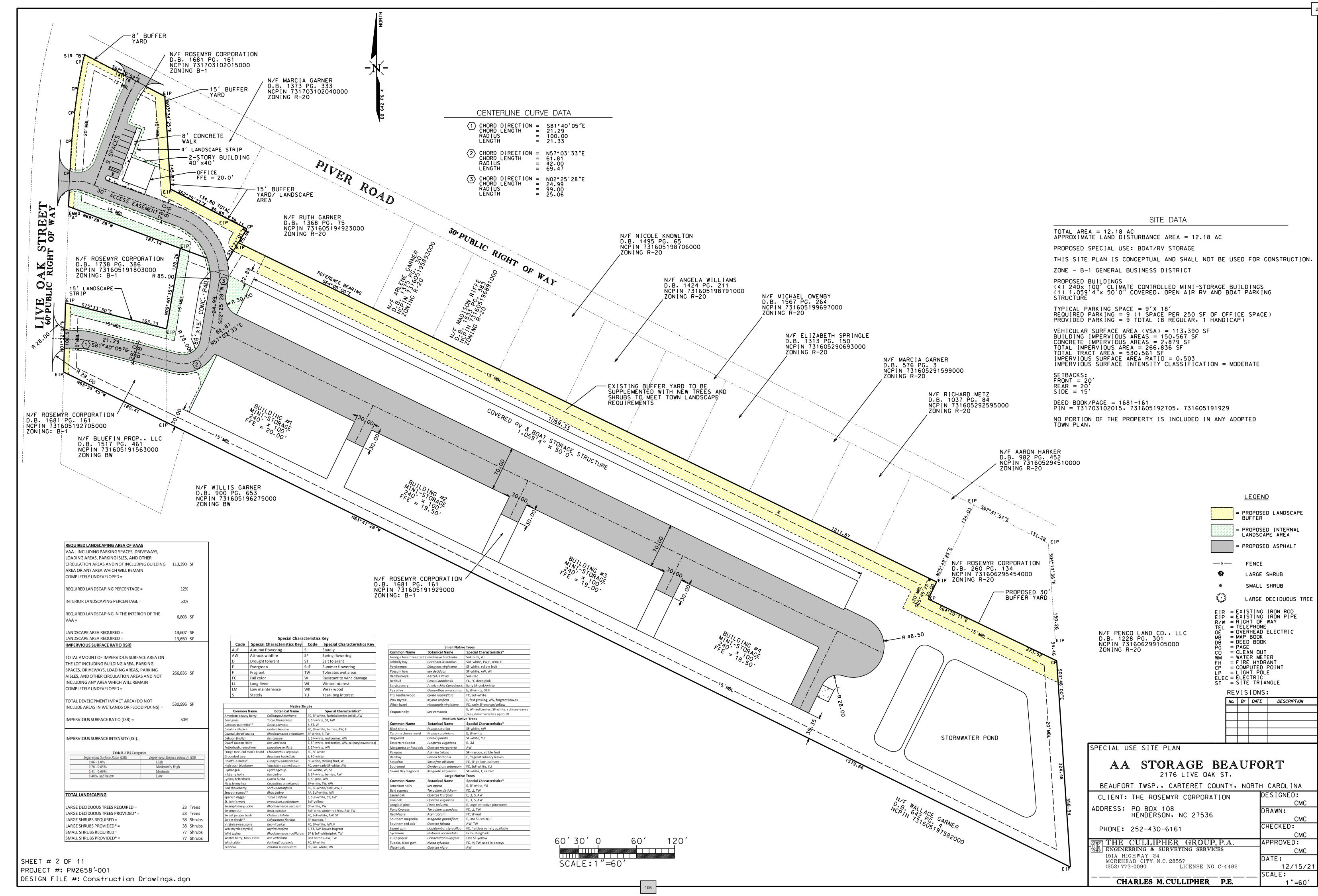
- B- Vicinity Map & Zoning Map
- C CAMA Land Use Map
- D List of Property Owners within 200 feet
- E Site Plan
- F Section 20 Special Use Permit Information



Case # 22-06 - Special Use Permit - Zoning & Vicinity Map -HWKZ.O.BEAUFORZ -WALLACE-RO--SHELL-LANDING-RD--PIVER-RD-CONNIELN GOODING RD ZONING B-1 B-W TR TOMMYLNR-20 102 R-8



<u>OWNER</u>	IAIL_HOU	MAIL_ST	MAIL_CITY	IL_S	TMAIL_Z	<u> </u>	MAIL_ADD2
BEACHEM,CEDRIC D	3600	SPRUELL DR	SILVER SPRING	SMD		20902	
BEACHEM,CYNTHIA CAROL	121	PIVER ROAD	BEAUFORT	NC		28516	
BEAUFORT RENAISSANCE LLC			BEAUFORT	NC		28516 PC	O BOX 799
BLUEFIN PROPERTIES LLC			BEAUFORT	NC		28516 PC	D BOX 677
DAVIS,DALE W ETUX KATHLEEN	133	PIVER ROAD	BEAUFORT	NC		28516	
DEAN,MELINDA PADEN	199	SHORE DR	BEAUFORT	NC		28516	
DIXON,CHRISTIAN	167	PIVER ROAD	BEAUFORT	NC		28516	
GARNER,ARLENE	148	PIVER ROAD	BEAUFORT	NC		28516	
GARNER,MARCIA LYNETTE	118	PIVERS RD	BEAUFORT	NC		28516	
GARNER,RUTH ANITA	134	PIVERS RD	BEAUFORT	NC		28516	
GARNER, WILLIS DE	2134	LIVE OAK STREET	BEAUFORT	NC		28516	
HARDING, WILLIAM A ETUX TRACY	685	SEA GATE DR	NEWPORT	NC	6275	28570	
HARKER,AARON B	218	PIVERS ROAD	BEAUFORT	NC		28516	
HENRY, DEVIN JAMAR ETUX JULIE	154	PIVER ROAD	BEAUFORT	NC		28516	
KISPERT, JAMIN ETAL PATRI GRANT	127	HOLLY LANE	BEAUFORT	NC		28516	
KNOWLTON, NICOLE A	166	PIVER ROAD	BEAUFORT	NC		28516	
MASON REVOCABLE LIVING TRUST	157	PIVER RD	BEAUFORT	NC		28516	
MASSINO,CATHY LOUISE	125	BAY DRIVE	SMYRNA	NC	9579	28579	
MAY,KATHERINE W ETVIR RICKY V	1897	NC 39 HWY S	LOUISBURG	NC	7104	27549	
MAY,RICKY V ETUX KATHERINE W	1897	NC 39 HWYS	LOUISBURG	NC	7104	27549	
METZ,RICHARD S ETUX SHARON	109	CEDAR AVENUE	BEAUFORT	NC		28516	
PENCO LAND COMPANY LLC			RALEIGH	NC		27619 P	O BOX 19691
PINER,DORAN GRAY JR	124	NORTH HARBOR DRIVE	BEAUFORT	NC		28516	
ROSEMYR CORPORATION			HENDERSON	NC		27536 PC	O BOX 108
ROWAN, WILLIAM III ETUX JULIANN	3098	JEFFERSON WOODS LANE	AMISSVILLE	VA		20106	
SPRINGLE,ELIZABETH BEVERIDGE	192	PIVER ROAD	BEAUFORT	NC		28516	
STORY,PAUL JACKSON JR	137	PIVER ROAD	BEAUFORT	NC		28516	
WILLIAMS,ANGELA BAKER ETAL	174	PIVERS ROAD	BEAUFORT	NC		28516	
WILLIAMS,SEAN T	111	PIVER ROAD	BEAUFORT	NC		28516	
WILLIAMS,SHARON	175	PIVER RD	BEAUFORT	NC		28516	
WILLIAMSON, TAMMY HARDISON	2158	US HIGHWAY 70 E	BEAUFORT	NC	7842	28516	



SECTION 20 Special Use Permits

A) General.

Special uses are practices which are not permitted by right in any zoning district in the Town of Beaufort, but may only be granted after due consideration by the Board of Commissioners (BOC). The consideration of a special use application is a quasi-judicial function requiring evidentiary hearings and specific findings of fact. Special use permits may only be granted by the BOC following a recommendation by the planning board and the quasi-judicial review process as stipulated in this section.

B) Special Use Permit Application Procedures.

- A written application for a special use permit in all zones shall be submitted to the Town's Planning and Inspections Department in accordance with the requirements of section 1-M of this Ordinance and all applicable administrative regulations. The application shall include:
 - a) A proposed use site plan which contains information documented in section 18-C of this Ordinance and the specific information features below:
 - i) A vicinity map and survey of the parcel which shall include the zoning and use of all adjacent properties;
 - ii) A legend identifying all symbols on the map;
 - iii) A North arrow and a scale;
 - iv) A preliminary design of the proposed use which shows all existing and proposed structures, parking layouts, driveways, buffering, landscaping, points of ingress and egress, easements, minimum building lines, and street rights-of-way;
 - v) A site data block of features which includes the proposed use(s), square footage of the proposed and existing structure(s), site zoning, total acreage, number of lots, minimum lot size, and average lot size;
 - vi) The map book, page number, and deed book information;
 - vii) A note stating whether any portion of the property is included in any adopted Town plan; and,
 - viii) Any other related information requested by Town staff, the planning board, or the BOC.
 - ix) All required environmental permit improvements needed for the property.
 - b) The special use permit sought; and,
 - c) Information supporting the existence of the required findings, and providing such plans or other relevant data as may be required by the Town.
- 2) Whenever an application is submitted for a special use permit in a residential zone, the applicant shall also include:
 - a) A narrative which illustrates the appropriateness of the proposed use in a residential zone. This narrative shall also describe all the architectural design features which make the proposed use and associated building compatible with the urban character of the residential neighborhood;
 - b) The submitted site plan shall also include all street front architectural elevation drawings to insure the building(s) compatibility with the surrounding residential structures; and,

- c) Additionally, the BOC and town staff may require a professional rendering or any other graphic illustration of the proposed structure.
- 3) The application shall be reviewed by town staff and submitted with comments and recommendation to the planning board for review. After the planning board makes its recommendation, the application shall be forwarded to the BOC for consideration.

C) Quasi-Judicial Proceeding Notification Requirements.

The Town shall schedule a quasi-judicial proceeding for the application and BOC consideration after reasonable opportunity for staff and planning board review by providing public notice no more than thirty days after receipt of the completed application. The notice of a quasi-judicial proceeding shall be given using the standards set forth is section 3-E of this Ordinance with the exception of the following:

- 1) The notice shall be given once a week for two successive calendar weeks and published in a newspaper having general circulation within Town. The first publishing shall not be less than ten days or not more than twenty-five days before the date affixed for the hearing. In computing such period, the day of publication is not to be included but the day of the hearing shall be included as documented.
- 2) All property owners within two hundred feet (200') of the lot boundaries on all sides of the subject lot as listed in the county tax records shall be mailed by the Town a notice of the quasi-judicial proceeding on the proposed special use application by first class mail at the address listed for such owners on the county tax abstracts. The notice shall identify the location and briefly describe the proposed special use. Section 3-E (2) of this Ordinance gives direction on when the notices shall be mailed.
- 3) The Town shall prominently post a sign giving notice of the quasi-judicial proceeding on or immediately adjacent to the subject area reasonably calculated to give public notice of the proposed special use public hearing not more than ten days prior to the hearing date. The wording of such sign should be similar to what is in section 3-E (4) of this Ordinance.

D) Procedures on Special Use Applications.

In considering whether to approve an application for a special use permit, the BOC shall proceed as follows:

- 1) The BOC shall hold the quasi-judicial proceeding and consider relevant information regarding whether the required findings under subsection E of this section exist and whether the special use is appropriate in the proposed location. The BOC shall hear relevant information from the applicant, adjoining property owners, the Town Manager, the planning board, planning officials, and any interested or affected members of the public. Parties may appear in person, by designee, or by attorney to present information relevant to the requirements of the Ordinance.
- 2) The BOC shall consider whether the application complies with each individual required finding specified in subsection E of this section. The BOC need not make the required findings at the time of the hearing and may call for additional information if needed. If the special use permit application is approved, the BOC motion shall contain language showing all the required findings under subsection E of this section have been met, and in the absence of specific findings, it shall be conclusively presumed the application complies with all the findings in subsection E of this section.
- 3) The BOC shall render a decision within a reasonable period of time not to exceed ninety days after holding the quasi-judicial proceeding for the proposed special use application.

The BOC need not issue a decision at the time of the hearing if additional information is needed and may continue said hearing until a later date.

- 4) If the application is found not to be in compliance with one or more of the required findings of subsection E of this section or any other applicable section of this Ordinance, the application shall be denied. Such motion shall specify the particular findings the application fails to meet. It shall be conclusively presumed the application complies with all requirements not noted by the BOC in their motion to deny the application.
- 5) Notwithstanding the specific requirements of this Ordinance, the BOC may impose additional conditions and reasonable requirements upon the requested special use permit in order to ensure the use is consistent with the required findings as specified under subsection E of this section. The BOC may place an expiration date on the special use permit if a building permit is not secured within a certain period of time. If the special use permit is not renewed periodically by the recipient of the permit, it will expire on the date given to the permit by the BOC.
- 6) After the BOC renders its decision on the special use permit application, the reasons for granting or denying the application shall be made in writing. A written copy of the conclusion(s) of the BOC about the facts of the case and the board's corresponding decision shall be forwarded to the applicant within ten days.

E) Required Findings.

- 1) In addition to any other findings or requirements as specified by any other section of this Ordinance, before any application for a special use may be granted or denied, the BOC shall make each of the following findings:
 - a) The proposed use is an allowable special use in the zoning district it is being located within;
 - b) The application is complete;
 - c) The location and character of the use will be in conformity with the Town's land use plan and other comprehensive planning elements;
 - d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
 - e) The proposed special use will not substantially injure the value of adjoining or abutting properties;
 - f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and,
 - g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.
- 2) The BOC shall make its findings based on "competent evidence" as described in N.C.G.S. 160A-393 (k) and will be cognizant the statute provides in part "competent evidence "shall not be deemed to include the opinion testimony of lay witnesses as to any of the following:
 - a) The use of property in a particular way would affect the value of other property.
 - b) The increase in vehicular traffic resulting from a proposed development would pose a danger to the public safety.

- c) Matters about which only expert testimony would generally be admissible under the rules of evidence.
- 3) Compatibility Standards for Special Uses in Residential Zones:
 In deciding whether the architectural elements of the proposed special use in a residential zone will be compatible with the adjoining buildings, the BOC shall review said proposal in reference to the following architectural elements:
 - a) Size (footprint);
 - b) Height;
 - c) Proportion and scale;
 - d) Roof shape(s);
 - e) Setbacks;
 - f) Location, size, and number of openings (doors and windows);
 - g) Materials;
 - h) Color; and,
 - i) Texture.

F) Special Use Guidelines.

- 1) Adult Establishments.
 - a) No building, structure, or any portion thereof nor any portion of a lot or parcel or property shall be used for an adult establishment at a location closer than one thousand feet (1000') from any other adult establishment; or closer than one thousand feet (1000') from any residentially zoned property, pre-school, child care, nursery school, day care, K-12 school, public playground, or church situated within the Town limits or the ETJ.
 - b) Plans are required and must show:
 - i) Locations of buildings and signs and the size of the plan;
 - ii) Proposed points of access and egress and patterns of circulation;
 - iii) Layout of parking spaces;
 - iv) Lighting plan inclusive of wattage and illumination; and,
 - v) Landscape plan.
- 2) Day Care Centers (Including Kindergarten).
 - a) One parking space shall be provided for each adult attendant and one parking space provided for every six children or fraction thereof.
 - b) Section 19 of this Ordinance gives the screening/buffering and fencing guidelines required for this application.
 - c) Plans are required and must show:
 - i) Location and approximate size of all existing and proposed structures and buildings within the site and on the lots adjacent thereto;
 - ii) Proposed points of access and egress and pattern of circulation;
 - iii) Layout of parking spaces;
 - iv) Location and extent of open play area(s);
 - v) Day care center shall provide one hundred square feet (100 ft²) of play area space per pupil.

- vi) Outdoor play area shall be enclosed by a solid or open fence or wall at least four feet (4') in height. Where the outdoor play area is directly adjacent to a residentially used or zoned lot, a solid fence or wall at least six feet (6') high or the maximum applicable fence or wall height limitation for the district or an open fence at least four feet high (4') and a screen planting designed to grow three feet (3') thick and six feet (6') high shall be created. The BOC may at its discretion, require additional screening/buffering and/or fencing elements to be located adjacent to abutting nonresidential land uses.
- vii) In residential districts, a day care center shall not be operated between the hours of 7:00 p.m. and 7:00 a.m. unless with written approval by the BOC.
- viii) Landscape plan.

3) Radio or Television Transmitter.

- a) Minimum lot area at least three acres in area.
- b) One parking space is required at the site.
- c) Plans are required and must show:
 - i) Location and approximate size of all existing and proposed structures within the site and within one thousand linear feet in all directions;
 - ii) Proposed points of access and egress;
 - iii) Proposed off-street parking spaces; and,
 - iv) Protective fencing at least six feet (6') high with three stands of barbed wire turned out and ten feet (10') from the perimeter of the antenna base shall be established.

4) Telecommunication Tower.

- a) Guy-wire towers shall not be permitted.
- b) Co-location towers shall be permitted.
- c) Height of communication towers shall be regulated by the Federal Aviation Administration (FAA).
- d) Communication towers are prohibited in front yards and shall be in compliance with the Telecommunication Act of 1996.
- e) Local governments have no ability to prohibit towers on the basis of environmental or health issues according to the Federal Radio Frequency Emission Standards.
- f) The BOC may deny a permit based upon a tower's influence on property value or aesthetics.
- g) A minimum lot size of one-half acre per tower shall be met; however, the Telecommunication Tower shall be placed on a lot of sufficient size, and in a position on the lot, if the tower falls, no part of it will fall onto adjacent property. Variances shall not be allowed.
- h) Landscaping and screening/buffering are required as approved by the planning board and according to section 15 and section 19 of this Ordinance.
- i) A six-foot (6') high protective barrier shall be required around the base of the tower. The barrier shall be a masonry wall, chain link fence, solid wood fence, or opaque barrier as described in section 19 of this Ordinance.
- j) Setback requirements shall be according to the district in which the tower is located.
- k) Towers shall be lighted to satisfy the FAA requirements.

- l) Towers shall be removed within ninety days following abandonment of such towers.
- m) Towers shall be removed by the property owner within one hundred eighty days following damage or termination of operation resulting in inoperable towers or towers where the owner of the tower shows no intent to repair said tower. Blown over towers shall also be removed by the owner of such tower under this guideline.
- n) Any advertising signage is strictly prohibited on towers.
- o) Towers shall be painted blue or gray if not otherwise required by the FAA.
- p) The owner must provide adequate insurance coverage for any potential damage caused by or caused to the tower.
- q) For permitting purposes, site plans are required as defined in section 18 of this Ordinance and shall show all of the following additional features:
 - i) Identification of intended user of tower.
 - ii) Documentation by registered engineer shows tower has sufficient structural integrity to accommodate more than one user.
 - iii) Statement from owner indicating his intent to allow shared use of the tower and how others will be accommodated.
 - iv) Evidence the property owners of residentially zoned/used property within three hundred feet of the base of the proposed tower, would be notified prior to the special use application being heard by the BOC.
 - v) Documentation which shows towers over a certain height are absolutely necessary for the provision of service (i.e., a tower up to one hundred ninety-six feet (196') cannot provide a reasonable level of service).
- r) The BOC shall determine if a tower is in harmony with the area and compatible with adjacent properties and may consider the aesthetic effects of the tower as well as mitigating factors concerning aesthetics. The BOC may disapprove a tower based on the grounds the aesthetic effects are unacceptable and a new site should be proposed. The following factors shall be considered:
 - Protection of the view in scenic areas, unique natural features, scenic roadways, historic sites, etc.
 - ii) Prevention of a concentration of towers in one certain area; and,
 - iii) Height, design, placement, and other characteristics could be modified to have a less intrusive visual impact.

5) Marinas.

The requirements below are for marinas and for proper disposal of sewage from boats:

- a) All slips over thirty feet (30') shall provide a permanent pump-out connection so a hose of not more than thirty feet (30') can reach the mid-point of the slip.
- b) Any vessel with a permanently installed marine sanitation devise shall be located so the holding tank can be pumped-out using a hose not to exceed thirty feet (30').
- c) Mobile pump-out equipment may not be used to meet the requirements of subsections 5a) and 5b) of this section.
- d) A marina may not charge marina tenants an additional fee to pump-out their holding tanks.
- e) When a T-head of a dock is unoccupied during regular business hours, the marina shall provide public access to the pump-out facility for a nominal fee.

6) Office: Small Business.

Property owners may be granted a special use permit for an Office: Small Business in a Residential Zoning District if identified as a *Small Business* as defined in section 4 of this Ordinance.

- a) In addition to application requirements outlined in subsection B of this section, special use permit applications must include the following:
 - i) Detailed narrative describing the activities associated with the requested use;
 - ii) Number of employees requested to work on site;
 - iii) Requested business hours of operation;
 - iv) Estimated number of clients served on site per day; and,
 - v) Detailed drawing or photographs, including measurements, of signage if requested.
- b) Signage will be reviewed by the BOC at the time of the special use permit and will meet the following standards:
 - i) Not more than one sign is permitted;
 - ii) Sign will not exceed an area of two square feet (2 ft²);
 - iii) Colors will be compatible with those of the structure and will not detract from the residential characteristics of the structure;
 - iv) Sign will be affixed flatly against the building; and,
 - v) Directly lighted and/or neon signage is not permitted.
- c) Conditions: The BOC may impose reasonable conditions as it deems necessary for the protection of the public health, general welfare, and public interest regarding:
 - i) <u>Compatibility</u>. The compatibility of the proposal, regarding both use and appearance, with the surrounding neighborhood;
 - ii) <u>Hours of Operation</u>. The frequency and duration of indoor/outdoor activities and the impact of the surrounding area;
 - iii) Noise. The added noise level created by activities associated with the request;
 - iv) Parking. The request will not generate a need for additional parking; and,
 - v) <u>Appearance</u>. The general appearance will not be adversely affected by the location of the proposed use on the property.



Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516 252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, February 21, 2022 – Virtual Meeting via Zoom

AGENDA CATEGORY: New Business

SUBJECT: Preliminary Plat for Salt Wynd Preserve Phase I

BRIEF SUMMARY:

The applicant wishes to Subdivide a 37.06 Acre Tract into 47 Lots (Single-Family). In addition to Planning Staff the Town Engineer and applicants Engineer will also be available to answer questions regarding the proposed infrastructure.

REQUESTED ACTION:

Recommendation to Board of Commissioners

EXPECTED LENGTH OF PRESENTATION:

20 Minutes

SUBMITTED BY:

Kyle Garner, AICP

Planning & Inspections Director

BUDGET AMENDMENT REQUIRED:

N/A

To: Beaufort Planning Board Members
From: Kyda Garner, AICD, Town Planner

Date: February 16, 2022

Project Salt Wynd Preserve Phase 1 – Preliminary Plat

Kyle Garner, AICP, Town Planner

THE QUESTION: Subdivide a 37.06 Acre Tract into 47 Single-Family Lots

BACKGROUND:

Location: Off Pinners Point Road

Owners: Beaufort Agrihood Development, LLC Requested Action: Subdivide a 37.06 acre tract into 47 lots

Existing Zoning R-20
Amount of Open Space: 2.39 Acres
Existing Land Use: Undeveloped

Adjoining Land Use & North – By Undeveloped property, Zoned R-20

Zoning: South – By single family residential in Howland Rock, Zoned R-20

East – By single family residential in Howland Rock, Zoned R-20 West – By single family residential along Pinners Point Road, R-20.

SPECIAL INFORMATION: This preliminary plat has been through the Town's Technical Review

Process and meets the design standards of the Subdivision Ordinance except for proposed sewer allocation calculations that are mentioned under the Public Utilities & Works Section of this item. (It is anticipated that this issue will be worked out prior to the meeting, and the Town's

Engineer can give an update.)

Additionally, the applicant has provided a copy of their driveway permit applications for NCDOT; a Soils Report and; a copy of "Draft" covenants

for this phase of the development.

Also included are environmental conditions maps of the area provided by

Town Staff.

As of the date of agenda preparation an application for annexation has **<u>not</u>** been submitted, which is critical in determining crucial water and

sewer service to the proposed development.

Public Utilities & Works:

Included in the packet is the Preliminary Plat showing comments from the Town's Engineer, Greg Meshaw, regarding the proposed sewer allocation numbers vs. the allocation application that was submitted for Phase I and other items that have been addressed through the development review process.

OPTIONS:

- 1. Approve the request with the condition that the effective date of official approval will take place once the Preliminary Plat is annexed into the corporate limits of the Town of Beaufort and that the applicant has a period of six months to accomplish this or the Preliminary Plat will be void.
- 2. Table the request per Article VII Section 3.06 of the Subdivision Ordinance. As per this section the Planning Board will be required to take action at that meeting.
- 3. Deny the application for Preliminary Plat based on specific criteria.

ATTACHMENTS:

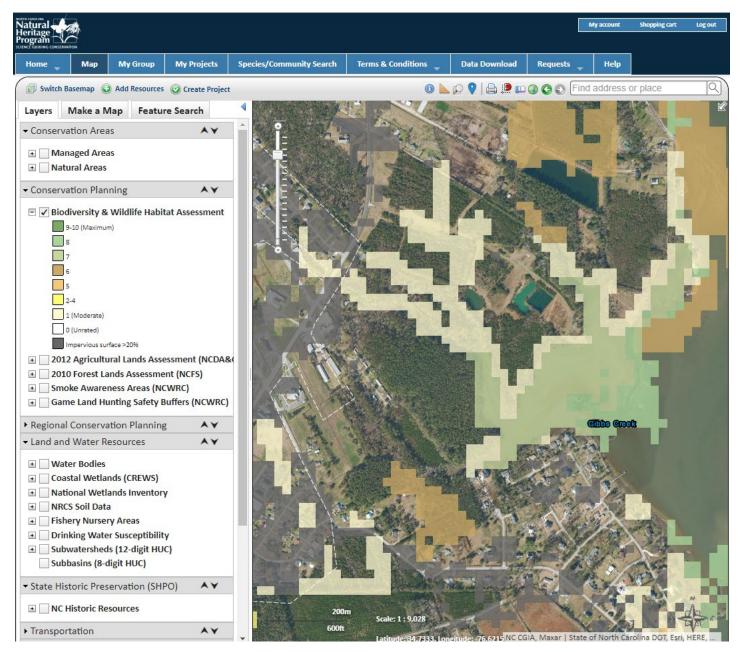
Vicinity Map
Environmental Conditions Map of Area
Preliminary Plat Submittal with Town Engineers Comments
NCDOT Driveway Permit Applications
Proposed Covenants
Soils Report



Environmental Conditions – Salt Wynd Preserve Subdivision

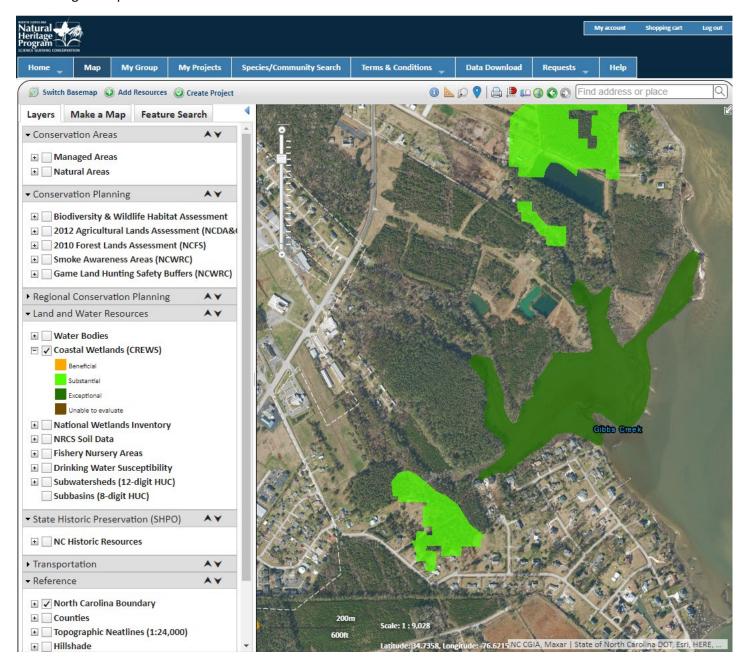
Natural Heritage Program Biodiversity & Wildlife Habitat Assessment

The Biodiversity and Wildlife Habitat Assessment is a map that represents the highest priority areas for conservation of wildlife habitat and biodiversity in North Carolina.



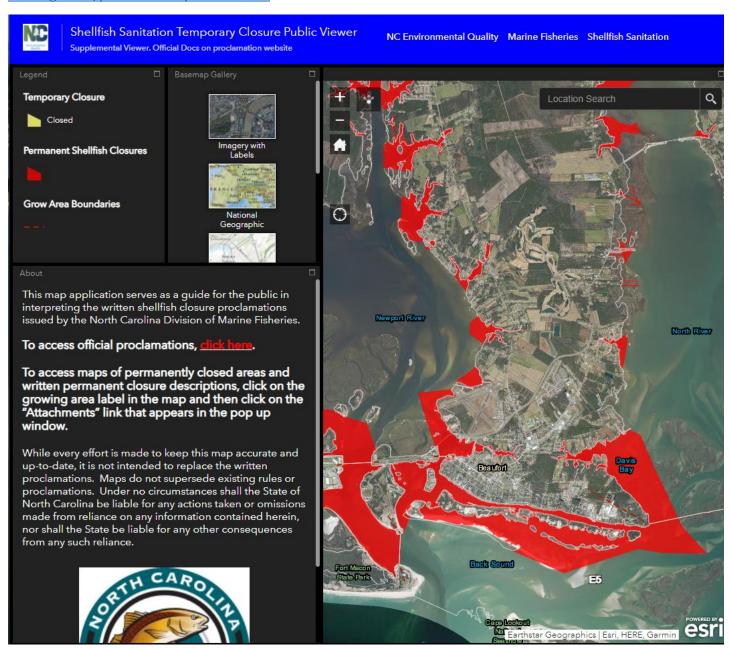
NC Coastal Region Evaluation of Wetland Significance (NC CREWS)

The North Carolina Coastal Region Evaluation of Wetland Significance, or NC-CREWS, is a watershed-based wetlands assessment looking at water quality, wildlife habitat, and hydrologic functions of individual wetlands aimed to illustrate the ecological importance of wetlands.



NC Marine Fisheries Shellfish Sanitation: Shellfish Harvesting Closures

This map illustrates the written shellfish closure proclamations issued by the NC Division of Marine Fisheries. Official proclamations can be found here: https://deq.nc.gov/about/divisions/marine-fisheries/rules-proclamations-and-size-and-bag-limits/polluted-area-proclamations



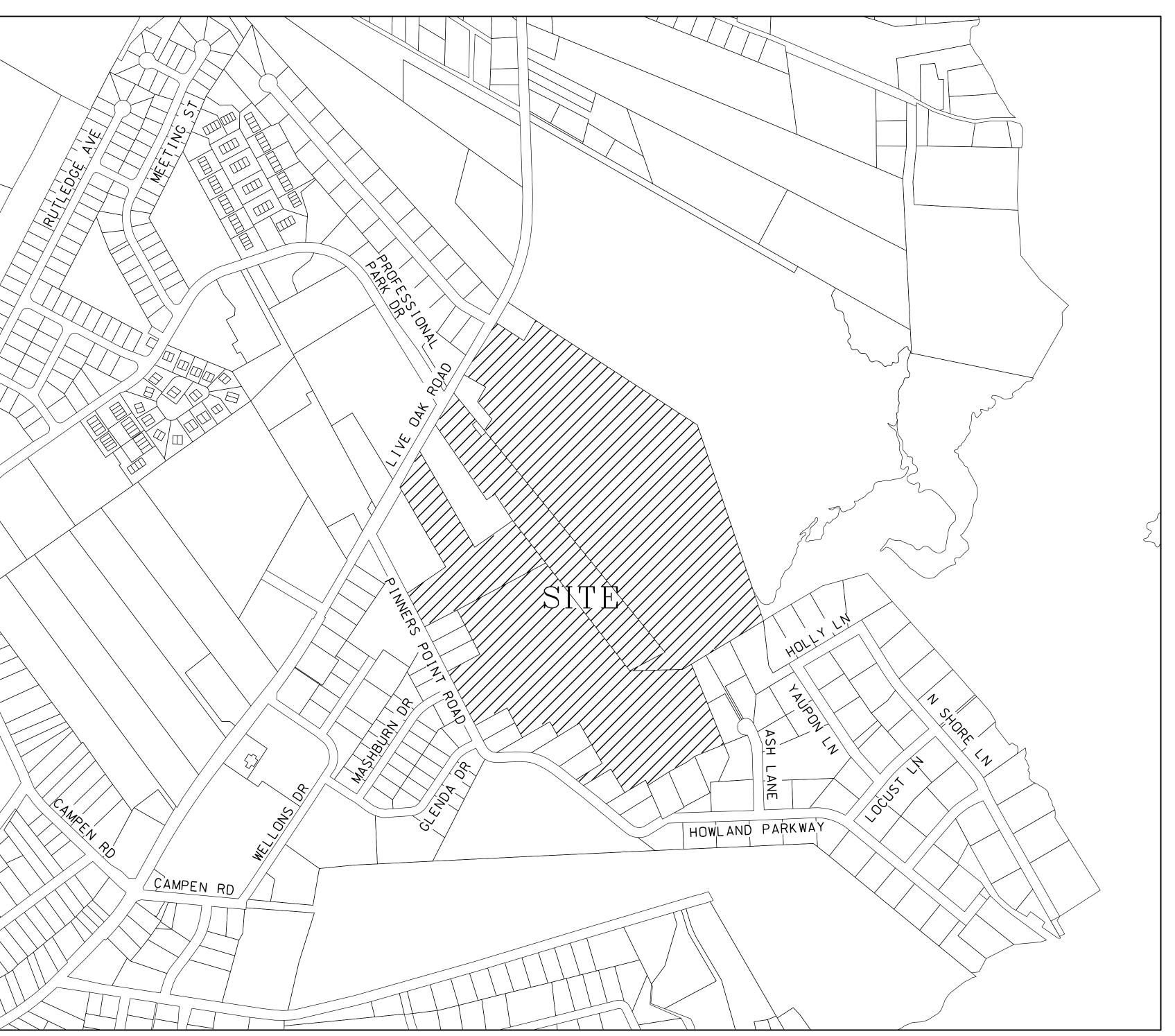
Public viewer available at:

https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html?id=5759aa19d7484a3b82a8e440fba643aa

- 1. WE NOTE THAT THE PUMP STATION CALCULATIONS ASSUME 4-BEDROOM RESIDENTIAL UNITS AT ALL OF THE PLANNED 82 LOTS. THIS IS NOT CONSISTENT WITH THE RECENTLY RECEIVED "WASTEWATER ALLOCATION REQUEST." THIS DOCUMENT STATES THAT THE FIRST PHASE OF 47 LOTS WILL HAVE FORTY 3-BEDROOM UNITS AND SEVEN 4-BEDROOM UNITS. THIS INCONSISTENCY NEEDS TO BE RESOLVED.
- 2. WE HAVE NO COMMENTS ABOUT THE STATE STORMWATER MANAGEMENT PERMIT APPLICATION FORM AND SUPPORTING DOCUMENTS EXCEPT FOR THAT IN ITEM 3 BELOW. WE ALSO HAVE NO COMMENTS CONCERNING THE STATE SEDIMENTATION PERMITTING MATERIALS PROVIDED.
- 3. THE JANUARY 21, 2022 LETTER REPORT BY CARL BONNER OF TERRACON DOES NOT ADDRESS THE SOILS SUITABILITY FOR INFILTRATION FROM PERVIOUS PAVEMENT. THE REPORT ONLY STATES THAT SOME AREAS APPEAR "TO BE SUITABLE FOR STREET SUBGRADES." IN ANOTHER AREA IT CALLS FOR REPLACEMENT OF SOILS SO AS TO BE "SUITABLE FOR STREET SUBGRADES." IT DOES NOT APPEAR THAT THESE STREETS ARE BEING PROPOSED AS PERMITTED STORMWATER CONTROL FEATURES WITHIN THE STATI STORMWATER PERMIT APPLICATION, AS SUCH WE HAVE NO OBJECTION TO THEIR CONSTRUCTION AS THEY ARE TO BE PRIVATE STREETS. WE DO HOWEVER, HAVE TO WONDER AS TO THE REASON WHY RECOMMENDATIONS SPECIFIC TO THE PLANNED SUBSURFACE AS A MEDIUM FOR INFILTRATION WAS NOT SOUGHT FROM THE GEOTECHNICAL ENGINEER.

SALT WYND PRESERVE PHASE ONE

BEAUFORT, CARTERET COUNTY, NORTH CAROLINA



VICINITY MAP

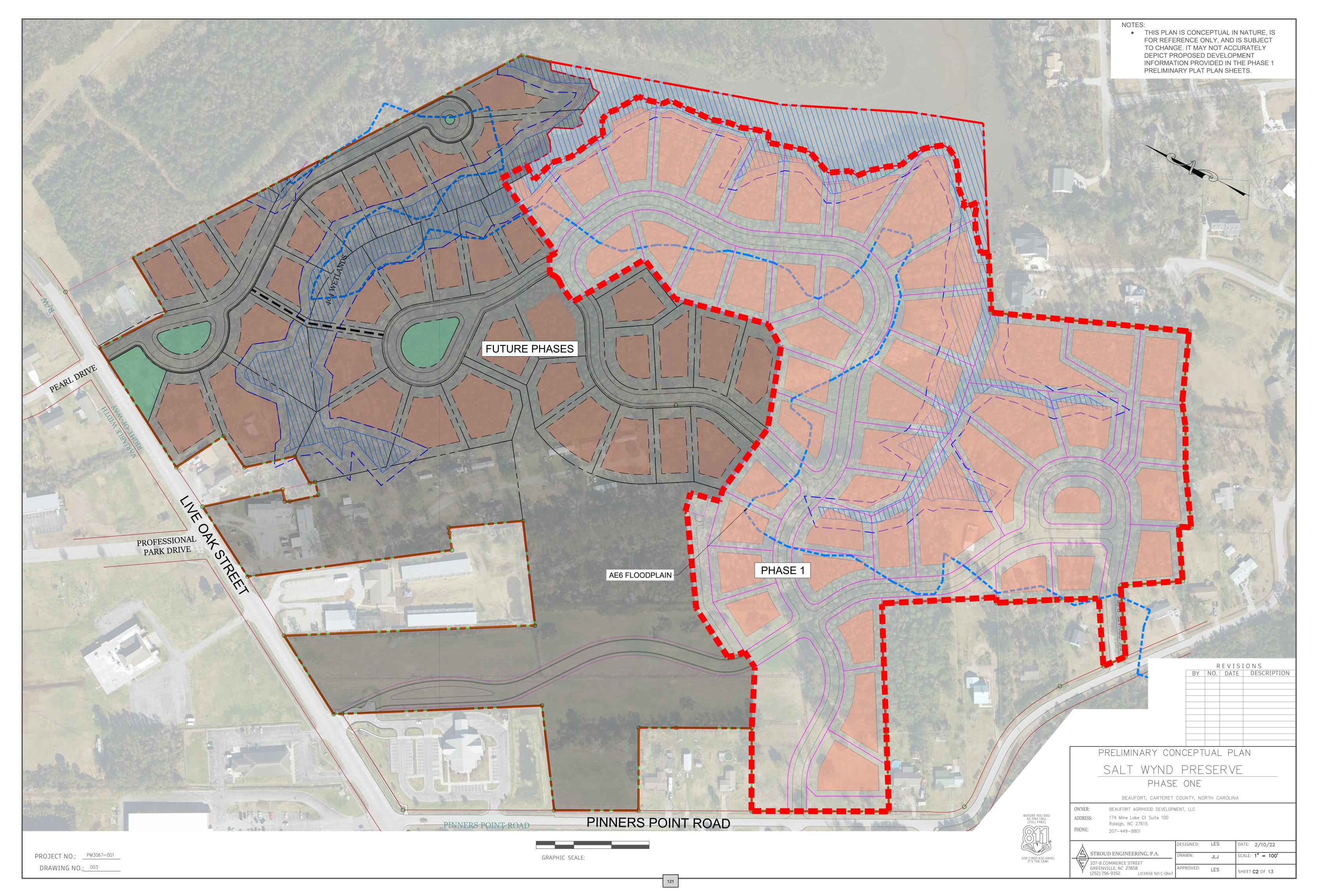
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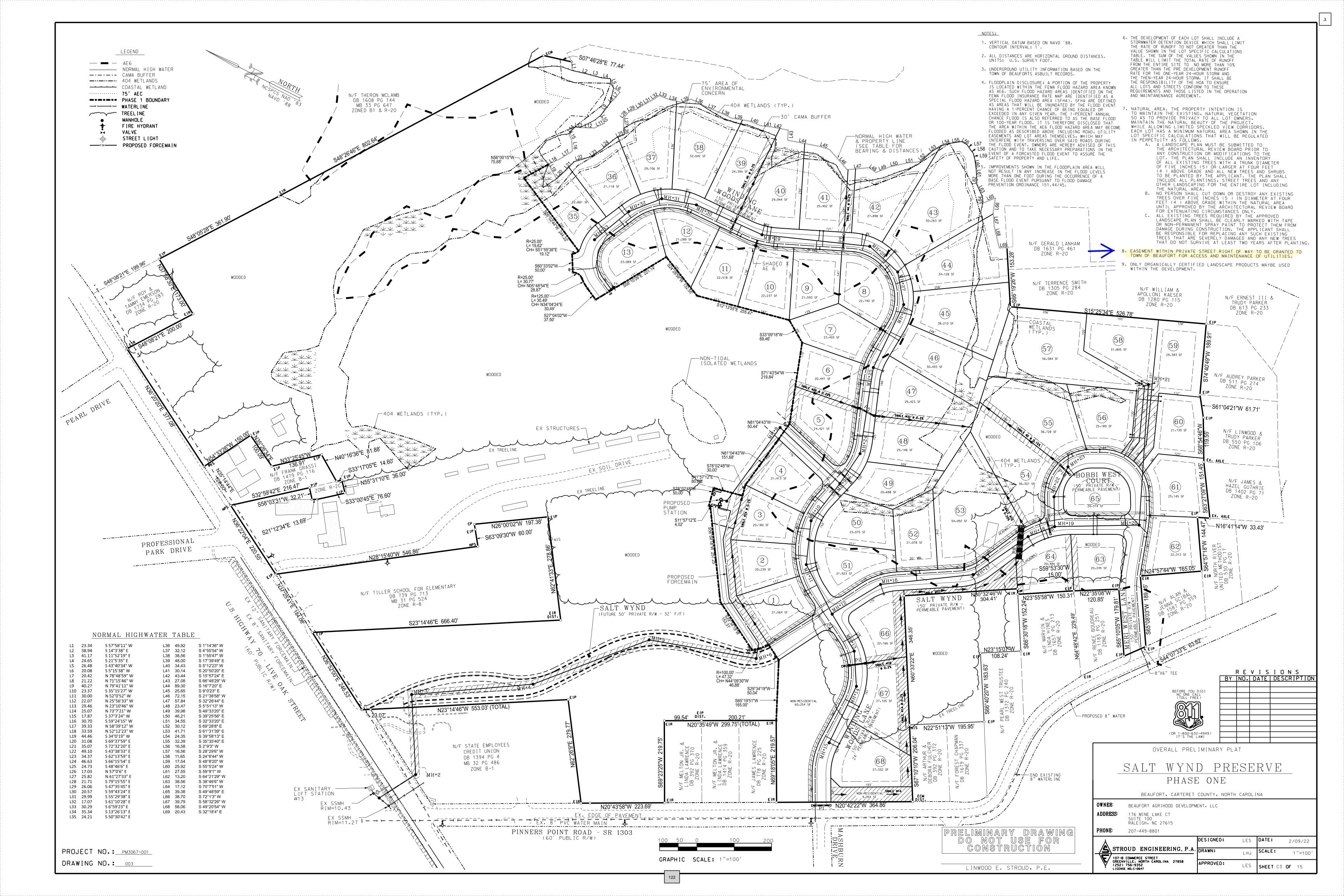
COMMENTS WITHIN BY:
GREG MESHAW, PE
PUBLIC SERVICES DIRECTOR/TOWN ENGINEER
FEBRUARY 14, 2022

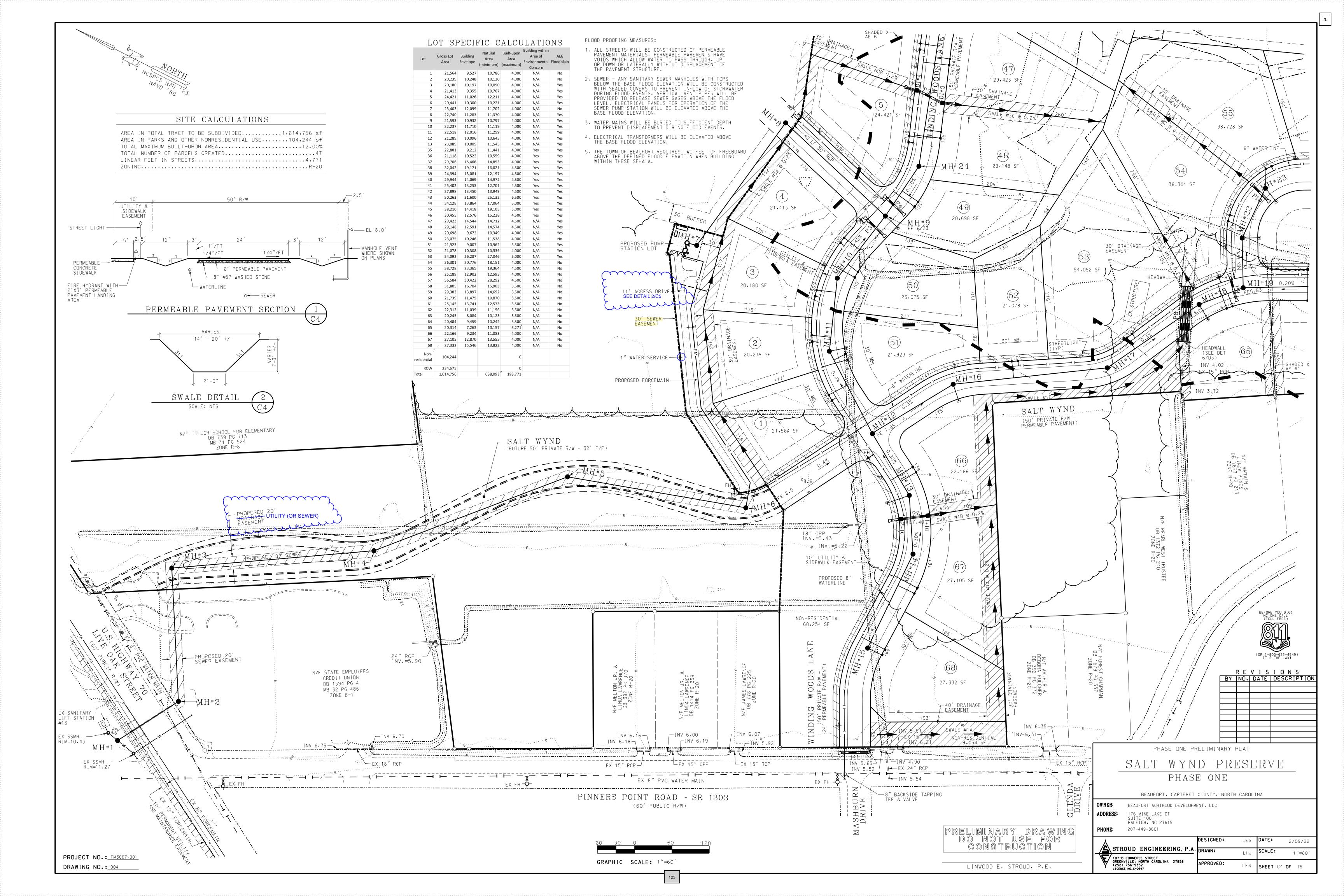
	SHEET INDEX
SHEET C1	COVERSHEET/SHEET INDEX
SHEET C2	PRELIMINARY CONCEPTUAL PLAN
SHEET C3	OVERALL PRELIMINARY PLAT
SHEET C4	PHASE ONE PRELIMINARY PLAT
SHEET C5	PHASE ONE PRELIMINARY PLAT
SHEET C6	PHASE ONE PRELIMINARY PLAT
SHEET C7	WINDING WOODS LANE PLAN & PROFILE
SHEET C8	WINDING WOODS LANE PLAN & PROFILE
SHEET C9	SALT WYND PLAN & PROFILE
SHEET C10	BOBBI CIRCLE PLAN & PROFILE
SHEET C11	GRAVITY SEWER OUTFALL (SALT WYND) PLAN & PROFILE
SHEET C12	FORCEMAIN PLAN & PROFILE
SHEET C13	PUMP STATION PLAN & DETAILS
SHEET C14	WATER DETAILS
SHEET C15	SEWER DETAILS
SHEET E1	PUMP STATION ELECTRICAL COVER
SHEET E2	PUMP STATION ELECTRICAL PLAN & SCHEDULES
SHEET E3	PUMP STATION ELECTRICAL DETAILS
SHEET E4	STREET LIGHTING PLAN
SHEET D1	DRAINAGE PLAN
SHEET D2	DRAINAGE AREA PLAN
SHEET D3	DRAINAGE DETAILS

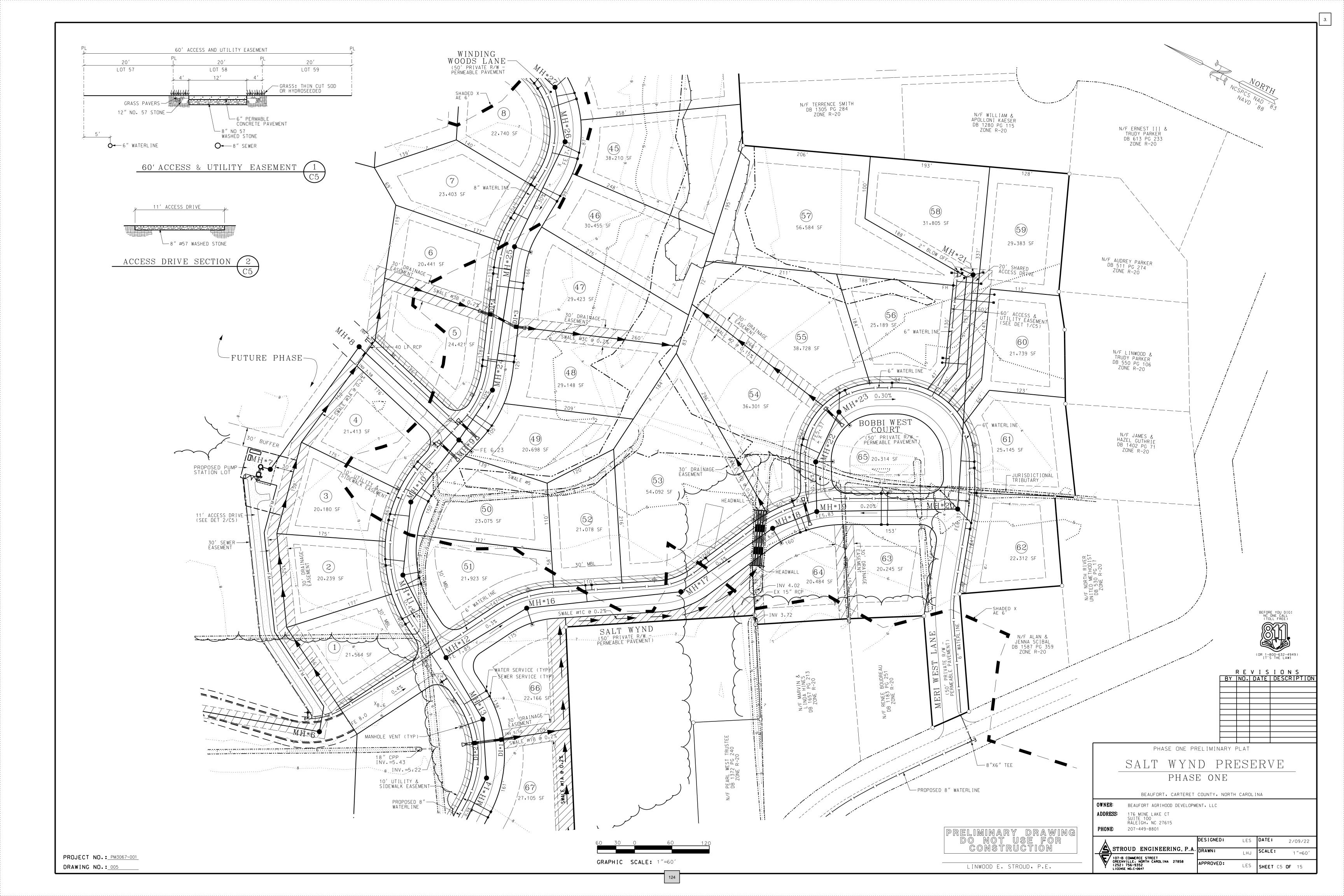


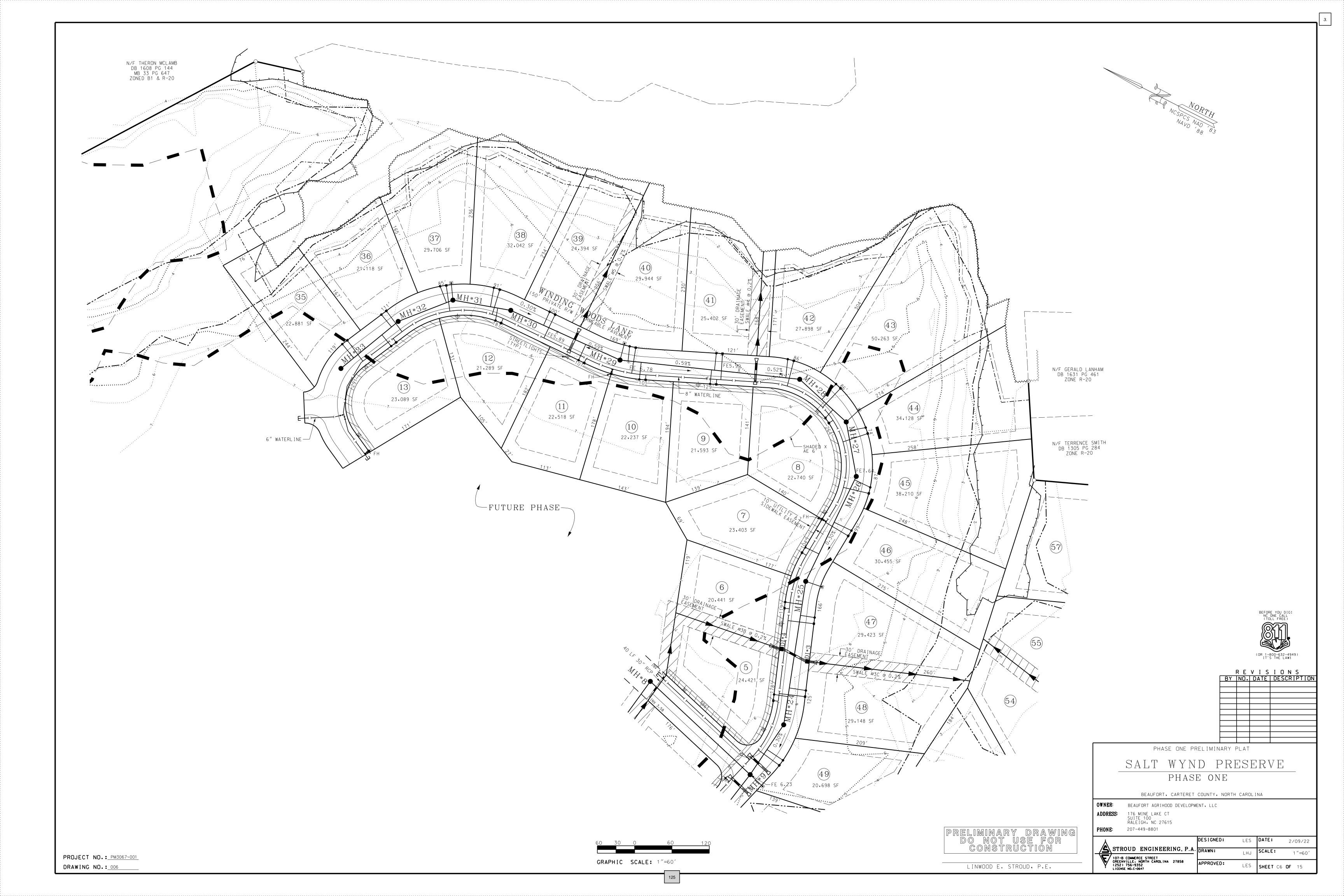


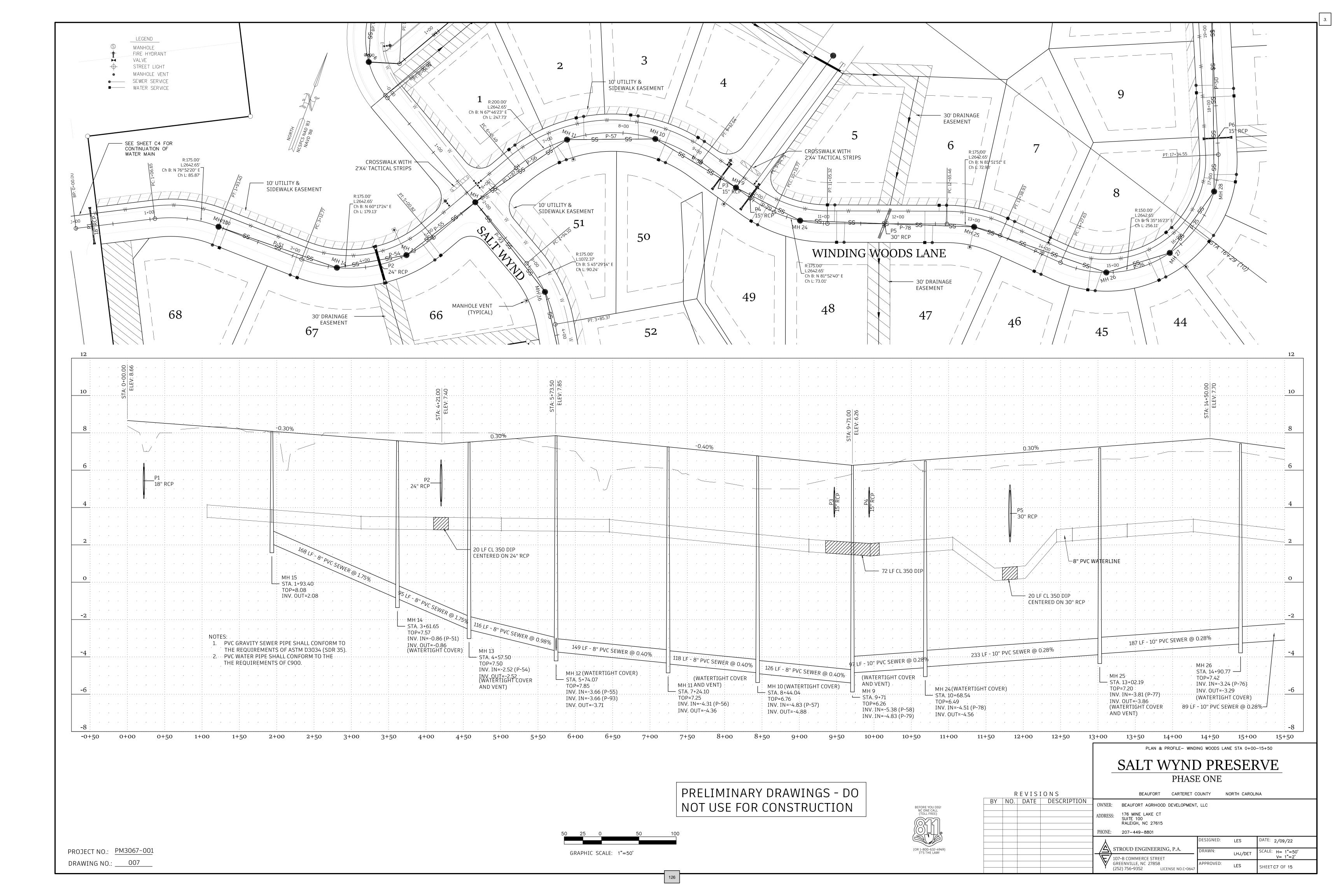


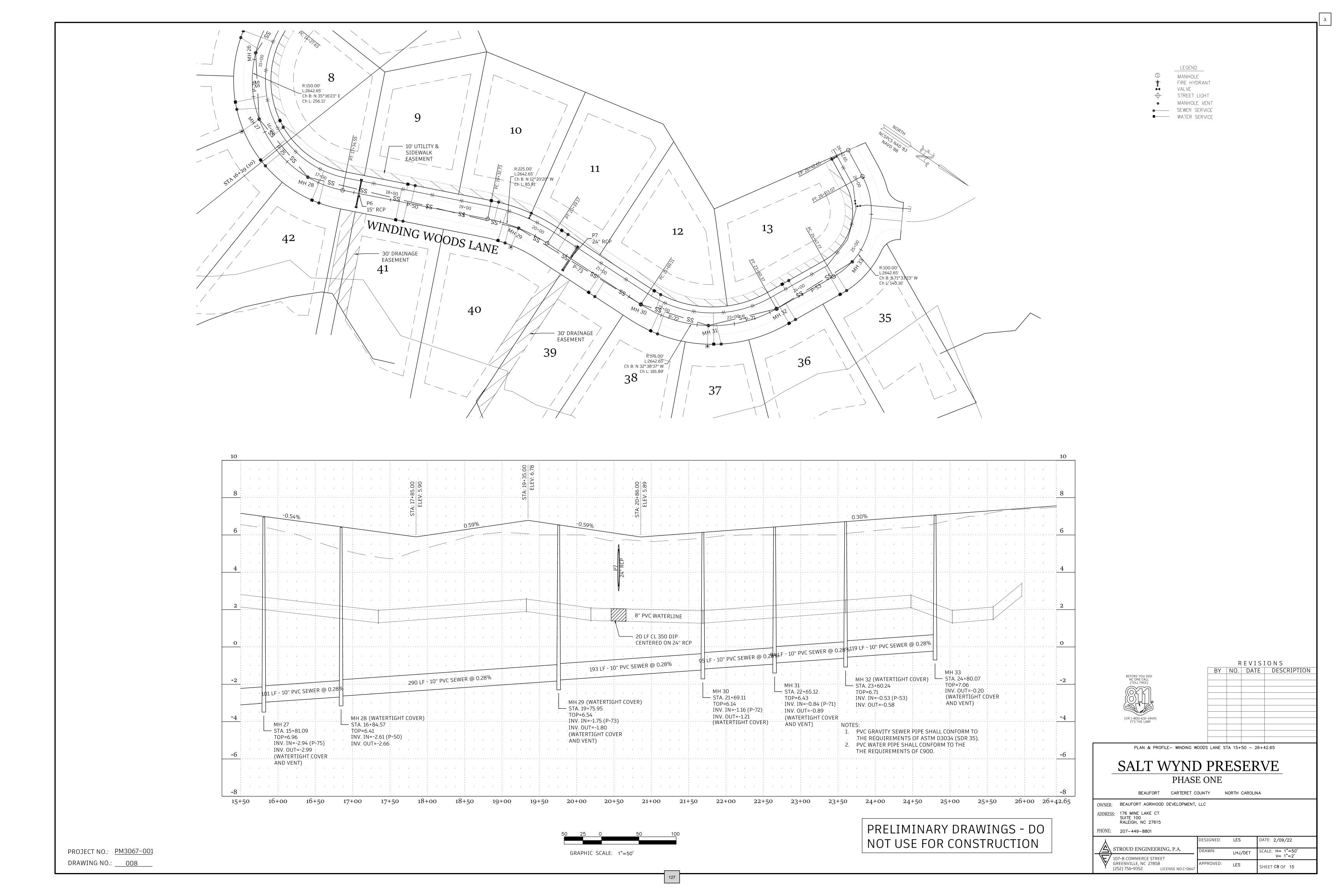


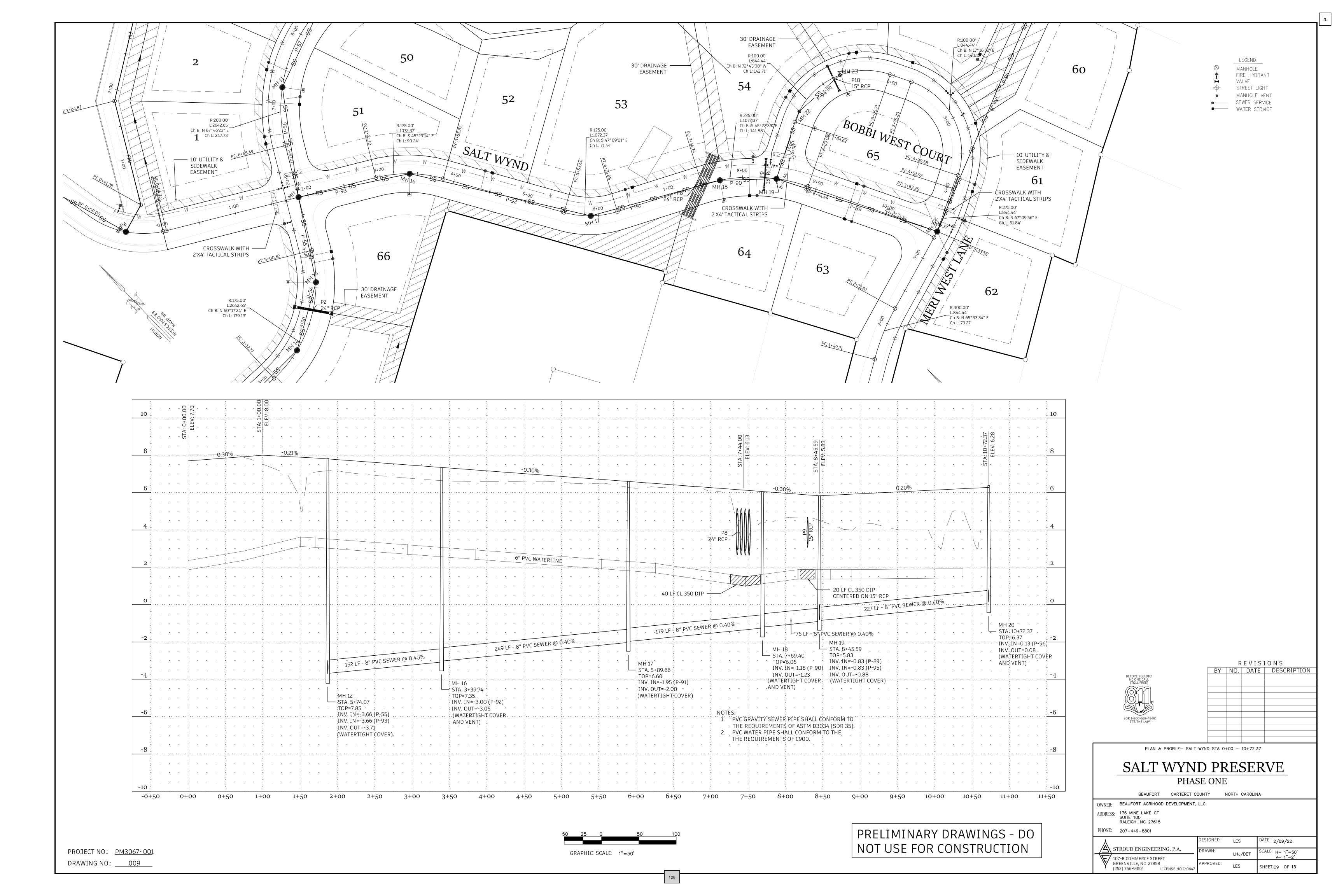


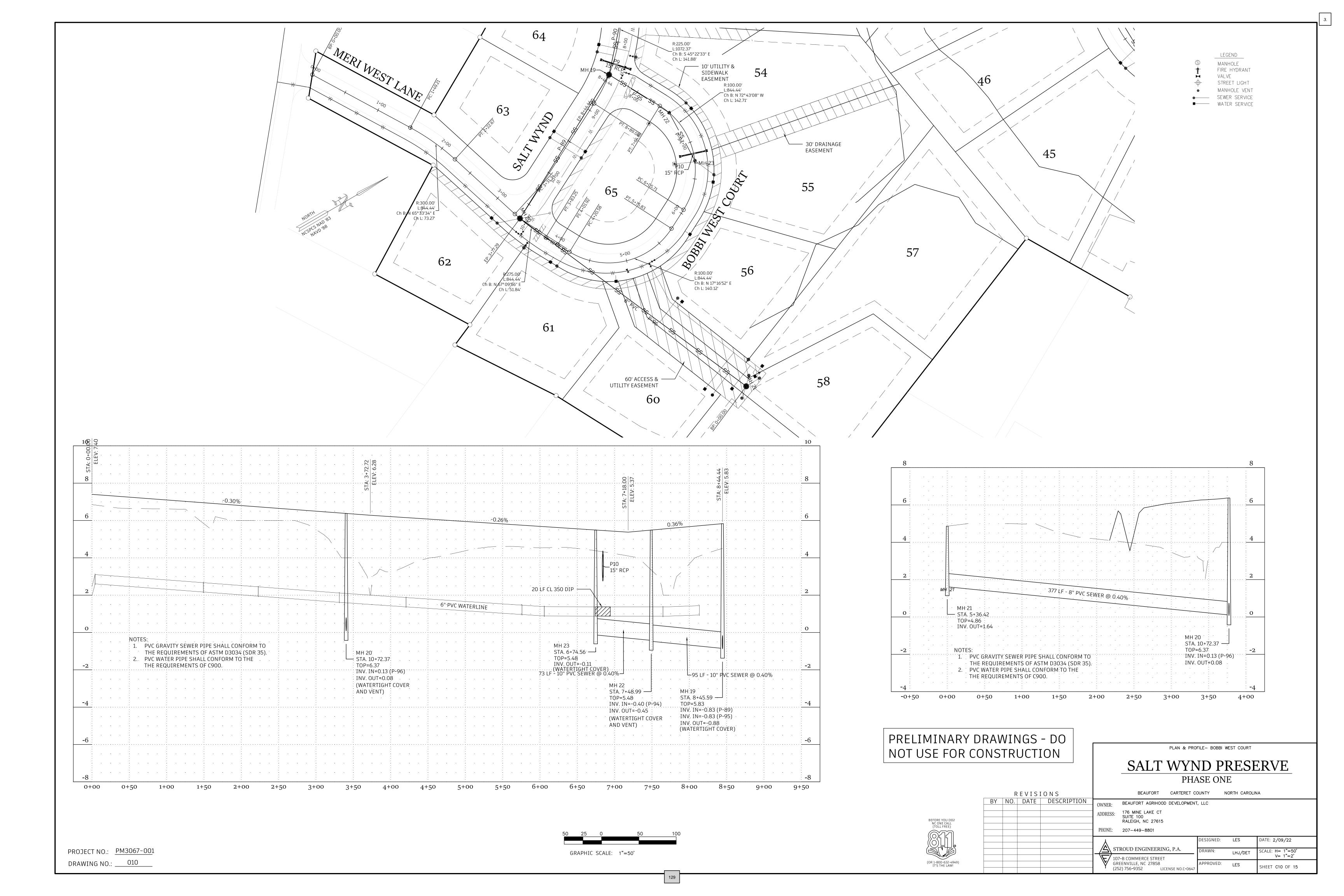


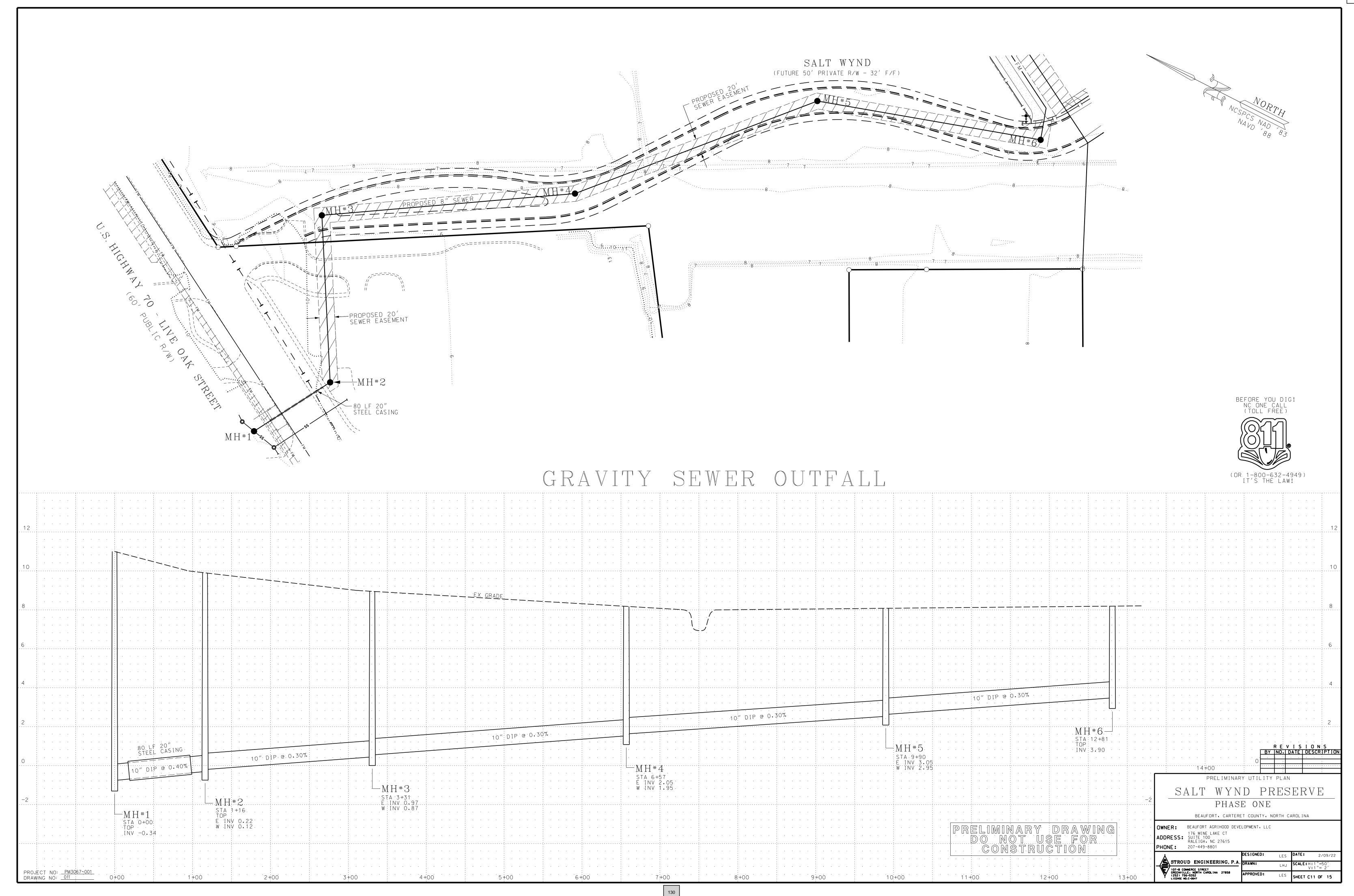


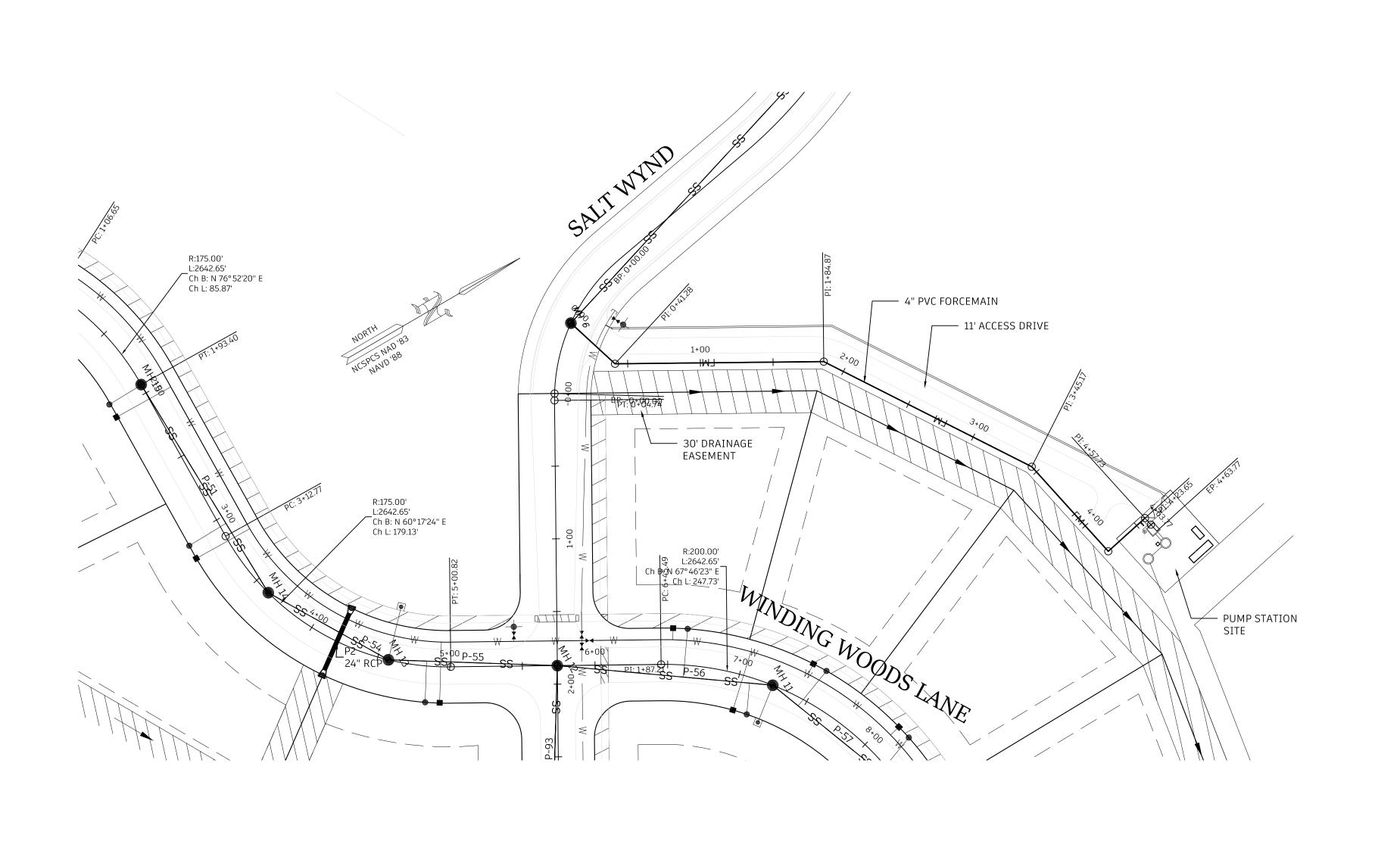


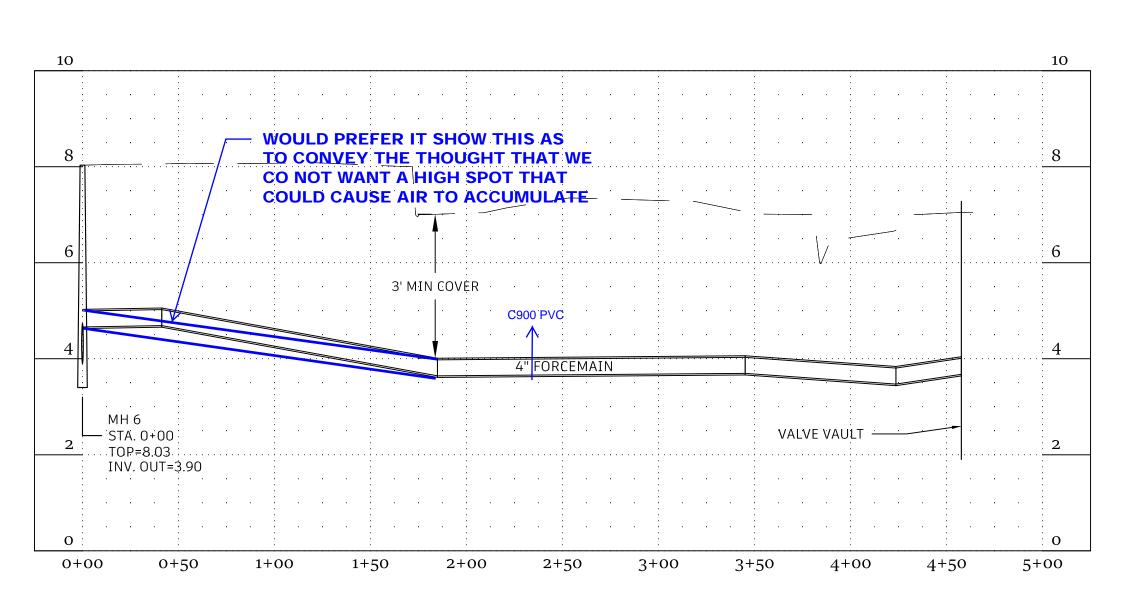












PRELIMINARY DRAWINGS - DO NOT USE FOR CONSTRUCTION

SALT WYND PRESERVE

PLAN & PROFILE- FORCEMAIN

PHASE ONE

BEAUFORT CARTERET COUNTY NORTH CAROLINA

REVISIONS

DATE DESCRIPTION

OWNER: BEAUFORT AGRIHOOD DEVELOPMENT, LLC

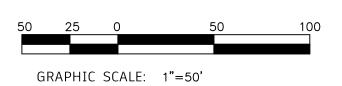
ADDRESS: 176 MINE LAKE CT
SUITE 100
RALEIGH, NC 27615

ADDRESS: 176 MINE LAKE SUITE 100 RALEIGH, NC 276
PHONE: 207-449-8801

LEGEND MANHOLE FIRE HYDRANT

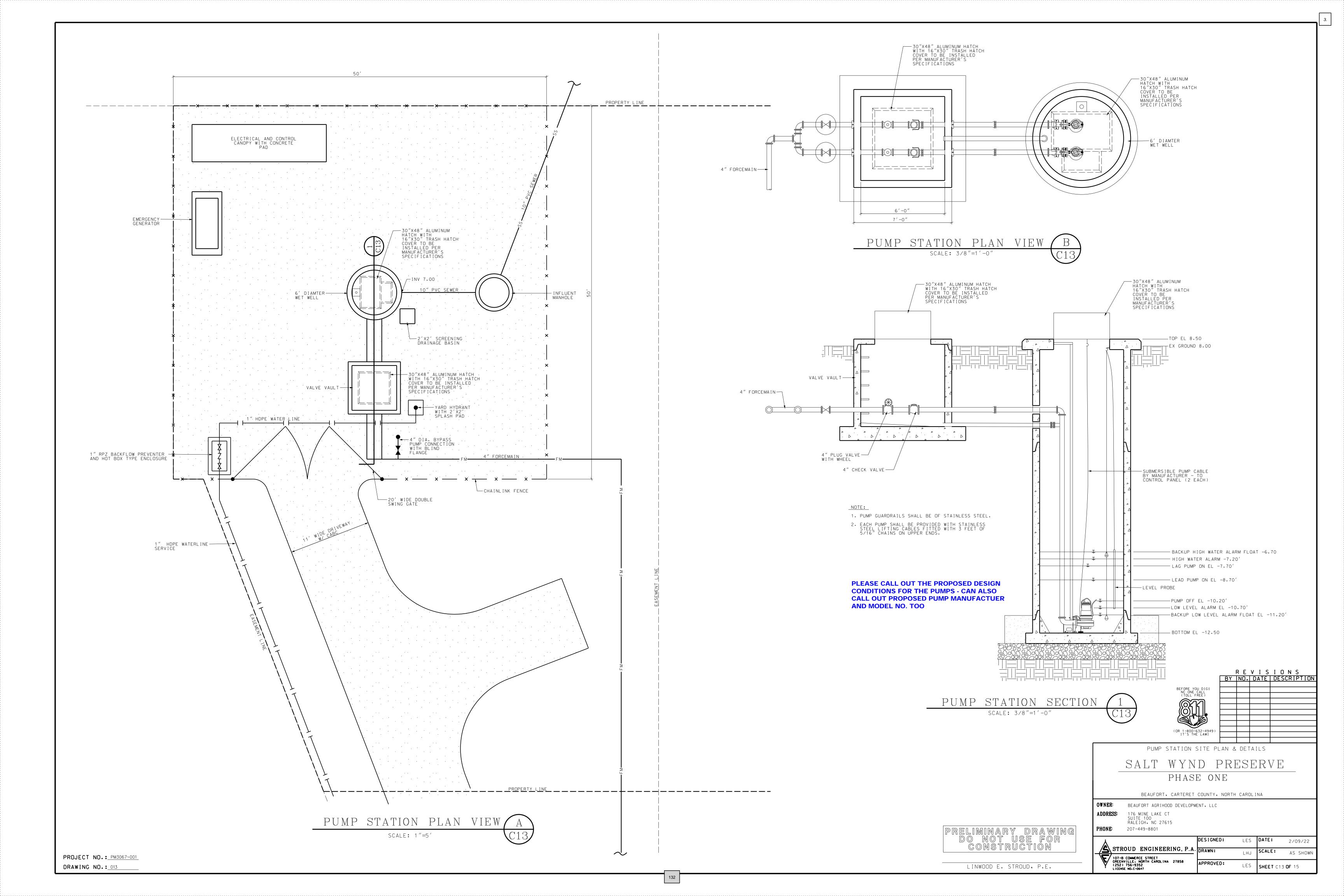
VALVE STREET LIGHT MANHOLE VENT

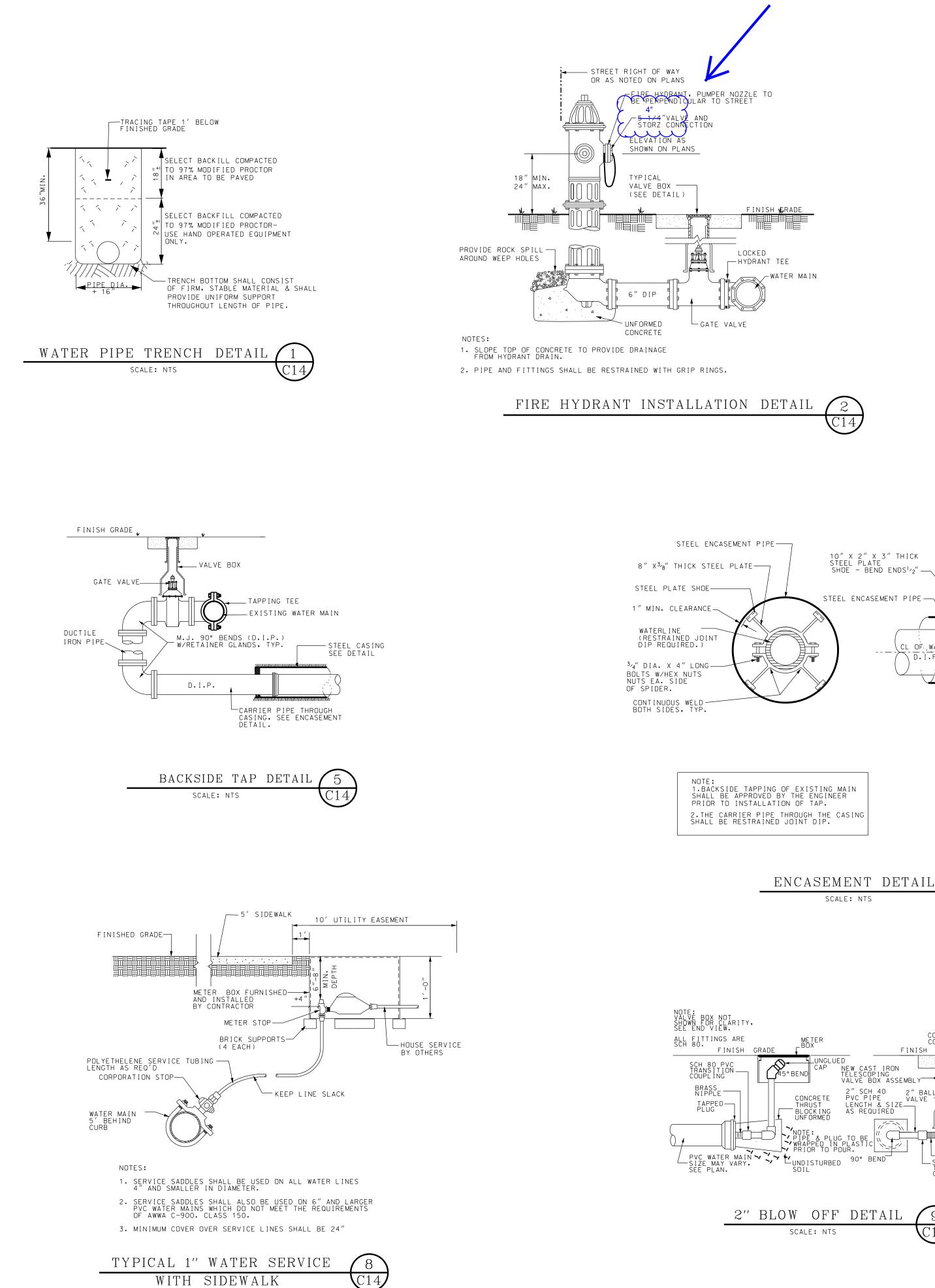
SEWER SERVICE
WATER SERVICE



PROJECT NO.: <u>PM3067~001</u>

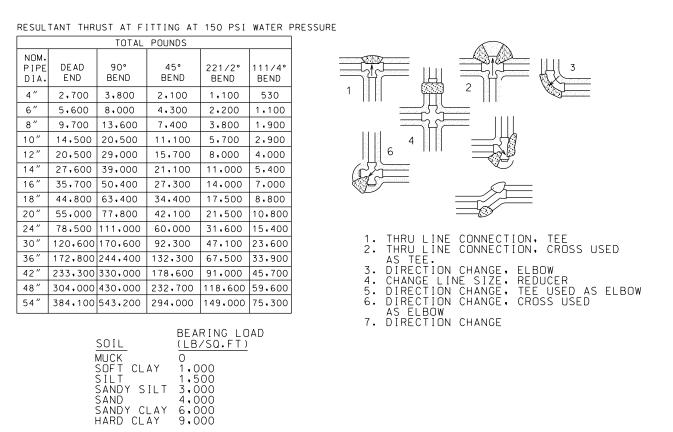
DRAWING NO.: <u>010</u>





PROJECT NO.: PM3067~001

DRAWING NO.: 014



NO RESPONSIBILITY CAN BE ASSUMED FOR THE ACCURACY OF THE DATA IN THIS TABLE DUE TO THE WIDE VARIATION OF BEARING LOAD CAPABILITIES FOR EACH SOIL TYPE.



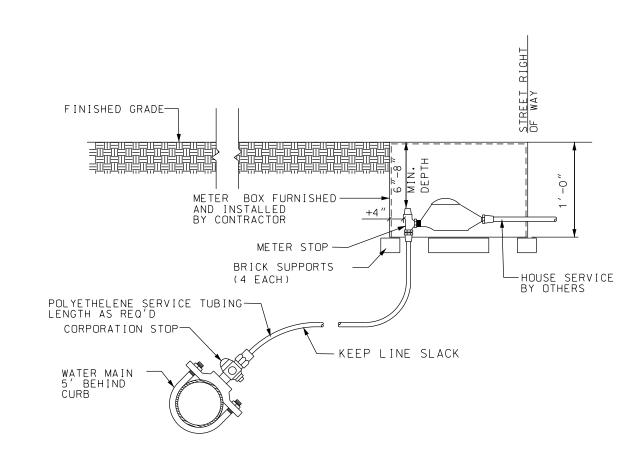
10" X 2" X 3" THICK STEEL PLATE SHOE - BEND ENDS1/2"

STEEL ENCASEMENT PIPE -

SCALE: NTS

2" SCH 40 2" PVC PIPE VA LENGTH & SIZE AS REQUIRED

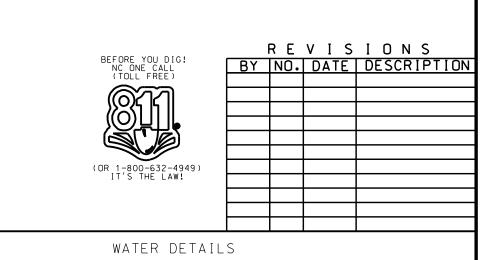
CONCRETE BUX—
COLLAR— UNGLUED
FINISH GRADE CAP—



- 1. SERVICE SADDLES SHALL BE USED ON ALL WATER LINES 4" AND SMALLER IN DIAMETER.
- 2. SERVICE SADDLES SHALL ALSO BE USED ON 6" AND LARGER PVC WATER MAINS WHICH DO NOT MEET THE REQUIREMENTS OF AWWA C-900. CLASS 150.
- 3. MINIMUM COVER OVER SERVICE LINES SHALL BE 24"

TYPICAL 1" WATER SERVICE





SALT WYND PRESERVE PHASE ONE

BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

FINISH GRADE

(3000 PSI)

VALVE BOX — CHARLOTTE UTL 274

OR TYLER 6855

-- NEW GATE VALVE

GATE VALVE & BOX

SCALE: NTS

PRECAST 6" THICK, CIRCULAR

IF VALVE BOX EXTENSION
IS REQUIRED USE CHARLOTTE

CONCRETE COLLAR/PAD

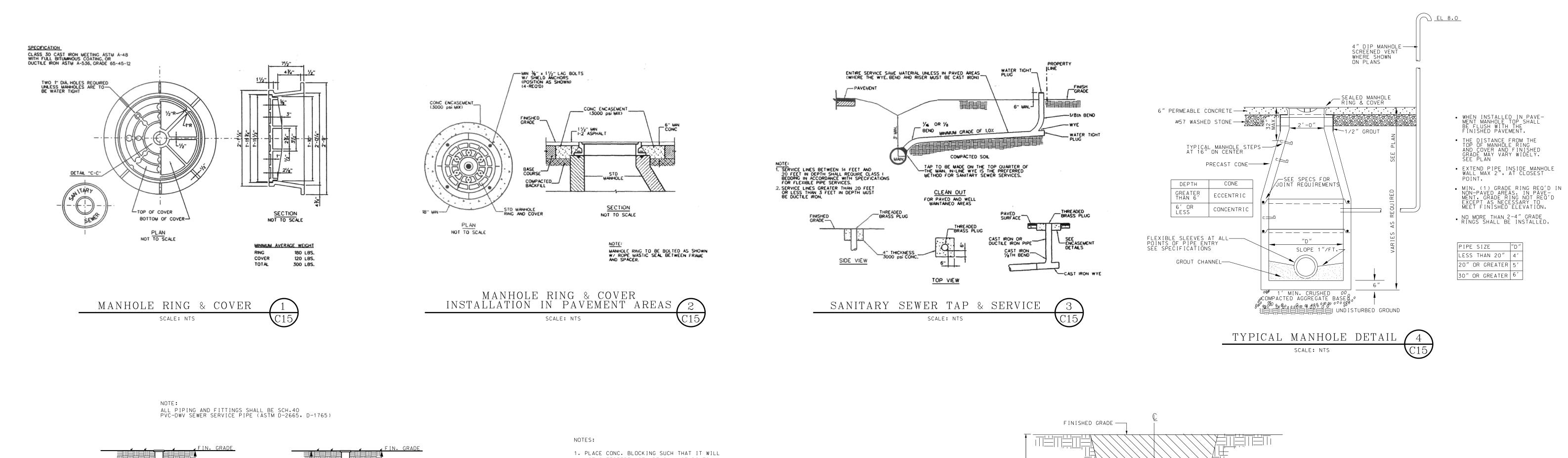
OWNER: BEAUFORT AGRIHOOD DEVELOPMENT, LLC 176 MINE LAKE CT SUITE 100 RALEIGH, NC 27615 PHONE:

207-449-8801

Α	DESIGNED: LES	DATE: 2/09/22
STROUD ENGINEERING, P.A.	DRAWN: LHJ	SCALE: NTS
GREENVILLE, NORTH CAROLINA 27858 (252) 756-9352 LICENSE NO.C-0647	APPROVED: LES	SHEET C14 OF 15

LINWOOD E. STROUD, P.E.

PRELIMINARY DRAWING DO NOT USE FOR



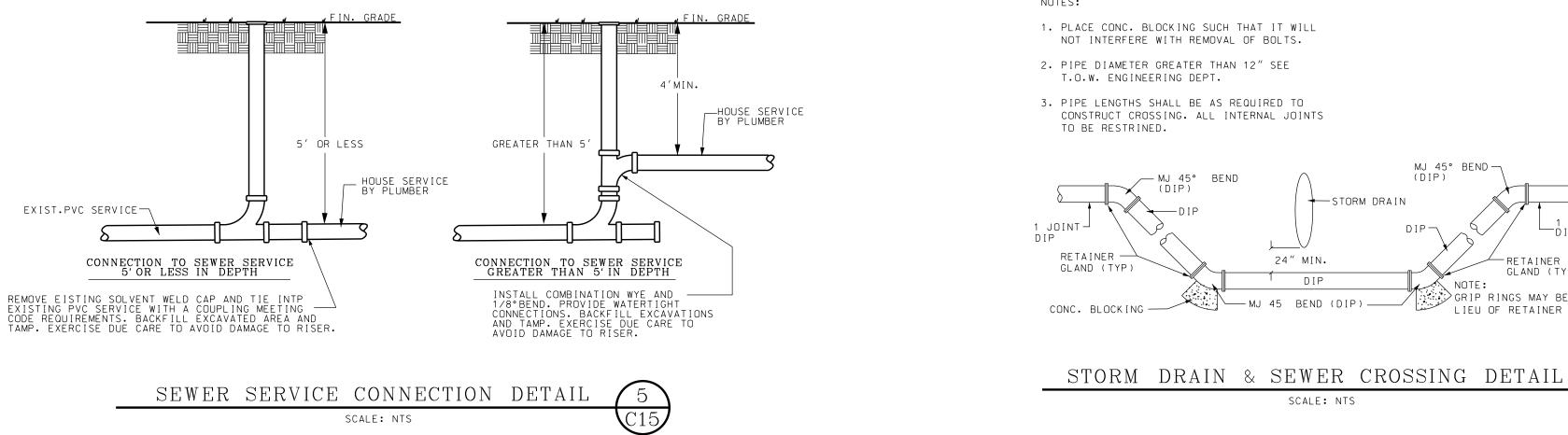
MJ 45° BEND — (DIP)

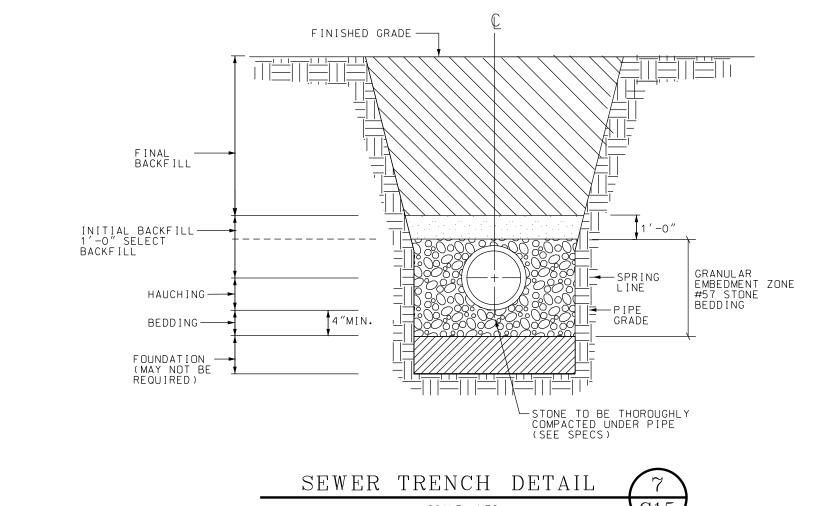
NOTE:

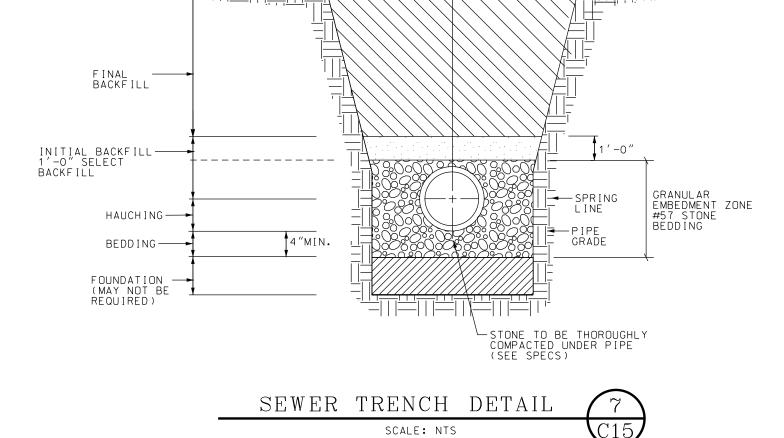
-RETAINER

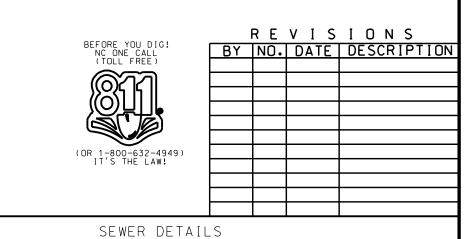
GRIP RINGS MAY BE USED IN LIEU OF RETAINER GLANDS.

GLAND (TYP)









SALT WYND PRESERVE PHASE ONE

BEAUFORT, CARTERET COUNTY, NORTH CAROLINA

OWNER: BEAUFORT AGRIHOOD DEVELOPMENT, LLC

176 MINE LAKE CT SUITE 100 RALEIGH, NC 27615 PHONE: 207-449-8801

LES DATE: DESIGNED: 1/28/22 STROUD ENGINEERING, P.A.

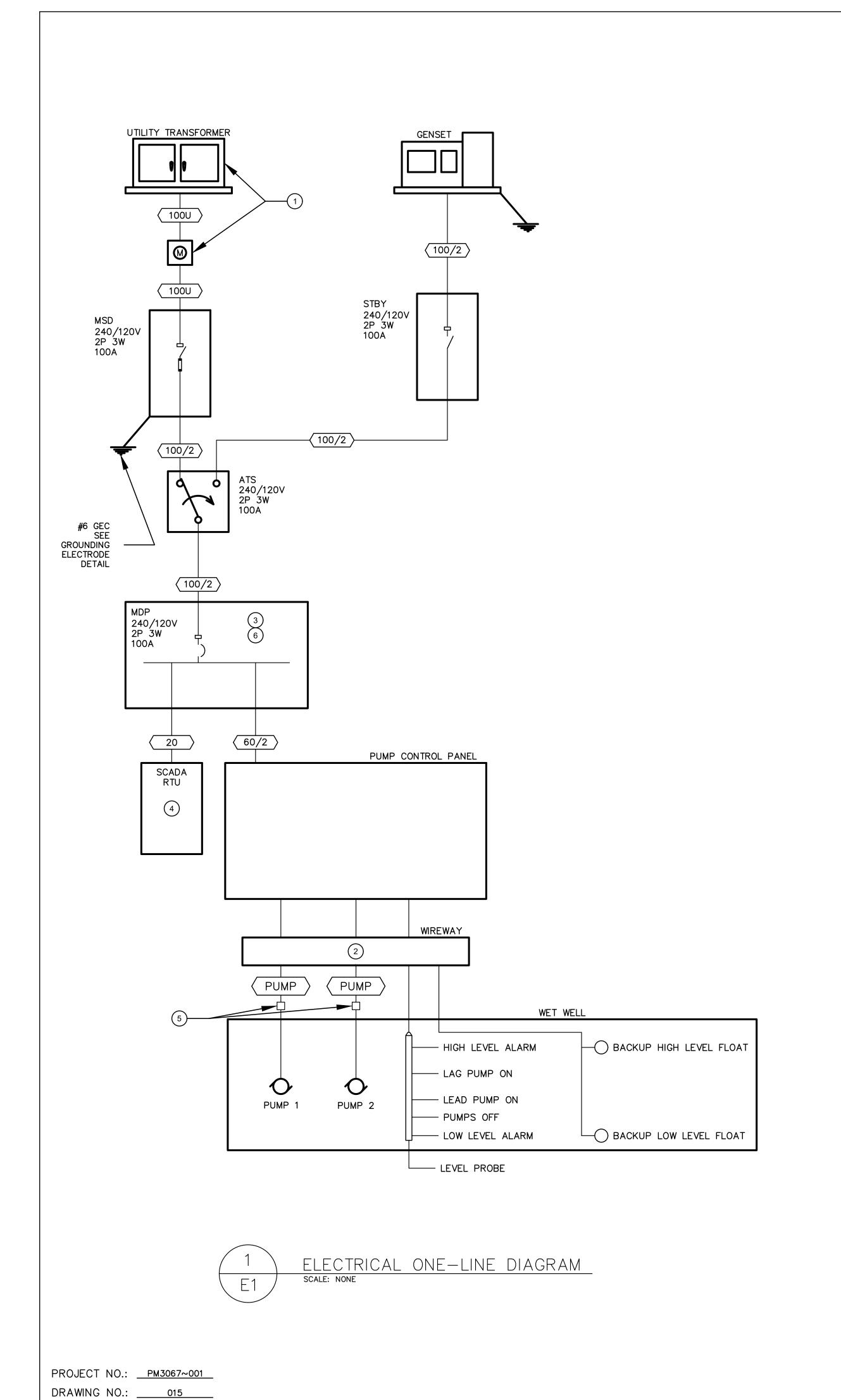
107-B COMMERCE STREET
GREENVILLE, NORTH CAROLINA 27858
(252) 756-9352
LICENSE NO.C-0647 SCALE: NTS LHJ APPROVED: LES SHEET C15 OF 15

PRELIMINARY DRAWING
DO NOT USE FOR
CONSTRUCTION

LINWOOD E. STROUD, P.E.

PROJECT NO.: PM3067~001

DRAWING NO.: 015

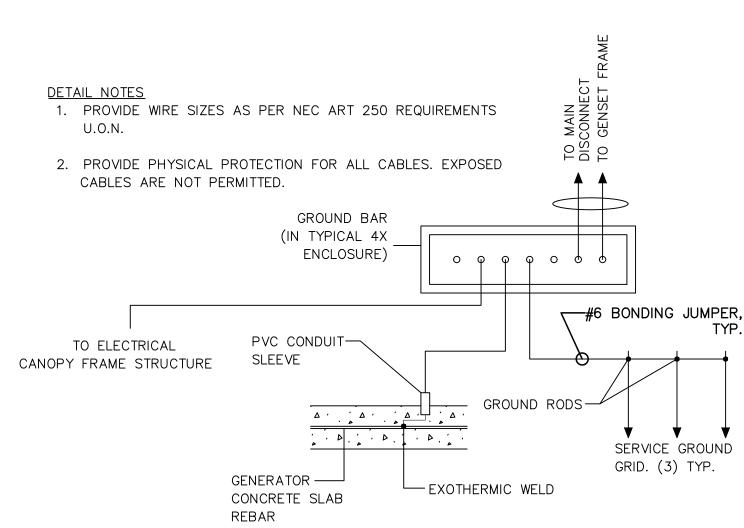


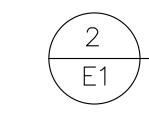
ELECTRICAL ONE-LINE DIAGRAM PLAN NOTES:

- 1. TRANSFORMER AND TRANSFORMER-MOUNTED METER PROVIDED BY POWER COMPANY. TRANSFORMER PAD FURNISHED BY POWER COMPANY, E.C. AND POWER COMPANY TO COORDINATE PAD LOCATION IF WITHIN FENCED AREA. E.C. SHALL PROVIDE PRIMARY AND SECONDARY CONDUIT WITHIN FENCED AREA. E.C. SHALL COORDINATE SECONDARY CONDUIT LOCATION WITH POWER COMPANY. E.C. SHALL PROVIDE SECONDARY CONDUCTORS AND 2-HOLE LUGS AS REQUIRED BY POWER COMPANY.
- 2. PROVIDE TAPS IN WIREWAY WITH LISTED COMPONENTS AS APPROVED BY AHJ.
- 3. SEE PANEL SCHEDULE FOR ADDITIONAL BRANCH CIRCUIT CONNECTIONS TO THIS PANEL.
- 4. SCADA RTU PROVIDED AND INSTALLED BY SCADA INTEGRATOR.
- 5. PROVIDE LISTED CONDUIT SEAL FOR ALL CONDUITS GOING TO WET WELL.
- 6. SEE SITE PLAN AND DETAILS FOR ADDITIONAL BRANCH CIRCUIT CONNECTIONS FROM THIS PANEL.

FEEDER SCHEDULE							
ID	FEEDER AMPS	CONDUIT AND FEEDER					
20	20	3/4"C,1#12,#12N,#12G					
60/2	60	3/4"C,2#4,#4N,#10G					
100/2	100	1-1/4°C,2#1,#1N,#8G					
100U	100	1-1/4"C,2#1,#1N					
PUMP		EC TO PROVIDE 3" CONDUIT AND INSTALLATION OF POWER CABLE TO PUMPS. POWER CABLE PROVIDED WITH PUMP.					

SIZING METHOD: COPPER, 60°C #12 THROUGH #1, 75°C 1/0 AND ABOVE





GROUNDING ELECTRODE DETAIL SCALE: NONE

PRELIMINARY DRAWING DO NOT USE FOR CONSTRUCTION

SYMBOL LEGEND:

 W

METER

____ UNDERGROUND LINE

<u>AF XX</u>

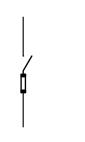
 $\overline{\mathsf{AT}\;\mathsf{XX}}$

 $\overline{\mathsf{AT}\;\mathsf{XX}}$



UTILITY TRANSFORMER

FUSED SWITCH



CIRCUIT BREAKER <u>AF XX</u>



GROUND

() GROUND ROD

• SPLICE OR TERMINAL STRIP CONNECTION

<u>ABBREVIATIONS:</u>

NTS NOT TO SCALE

C AMPS INTERRUPTING CAPACITY PB PULL BOX

AMP FUSE SE SERVICE ENTRANCE

FF ABOVE FINISHED FLOOR T TRANSFORMER

AFG ABOVE FINISHED GRADE TYP TYPICAL

AMP TRIP U.O.N. UNLESS OTHERWISE NOTED

AWG AMERICAN WIRE GAGE V VOLT

E.C. ELECTRICAL CONTRACTOR

W WATT

VIF VERIFY IN FIELD

KVA KILOVOLT AMPERE

GROUND

KW KILOWATT

MIN MINIMUM

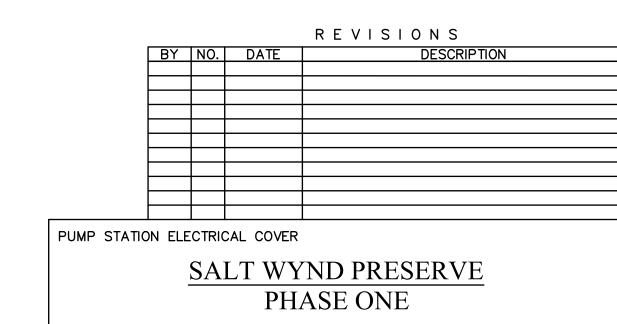
MM MILLIMETER

(N) NEW

NEC NATIONAL ELECTRIC CODE (NFPA 70)

NIC NOT IN CONTRACT

NL NIGHTLIGHT (UNSWITCHED CIRCUIT)



BEAUFORT CARTERET COUNTY NORTH CAROLINA

OWNER: BEAUFORT AGRIHOOD DEVELOPMENT, LLC
176 MINE LAKE CT
ADDRESS: SUITE 100
RALEIGH, NC 27615

ROUTH CAROLINA

DESIGNED: WGB

DRAWN: WGB

APPROVED: LMS

DATE: 02/10/2022

SCALE: AS NOTED

SHEET: E1 OF 4

STROUD ENGINEERING, P.A.

422 HIGHWAY 24 MOREHEAD CITY, NORTH CAROLINA 28557 (252) 247-7479

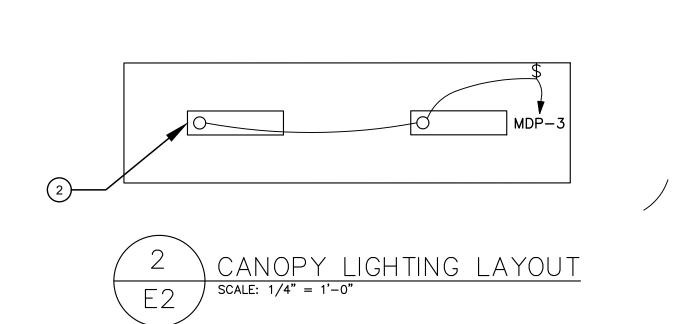
PHONE: (207) 449-8801

L. MICHAEL STROUD, P.E.

135

<i>EQUIPMENT</i>	r coni	NECTION	SCHE
CALLOUT	HP	VOLTS	AMPS
BATTERY CHARGER		120V 1P 2W	4
BLOCK HEATER		120V 1P 2W	15
HOT BOX HEATER		120V 1P 2W	16.67
PUMP 1	3 HP	240V 2P 2W	17

EDULEWIRE CALLOUT DISCONNECT DESCRIPTION NOTES 3/4"C,1#12,#12N,#12G CORD & PLUG 3/4"C,1#12,#12N,#12G CORD & PLUG 3/4"C,1#10,#10N,#10G CORD & PLUG PUMP CABLE SUPPLIED BY PUMP BREAKER IN ENCLOSED COMBINATION | 240 V 2P 2W MANUFACTURER SOFT-START CONTROLLER PUMP CABLE SUPPLIED BY PUMP PUMP 2 240V 2P 2W BREAKER IN ENCLOSED COMBINATION MANUFACTURER SOFT-START CONTROLLER



ELECTRICAL PLAN NOTES:

- ELECTRICAL SERVICE TRANSFORMER FURNISHED BY POWER COMPANY. E.C.SHALL PROVIDE TRANSFORMER PAD AND COORDINATE TRANSFORMER LOCATION. E.C. TO PROVIDE SECONDARY CONDUIT TO ELECTRICAL SERVICE METER LOCATION.
- FOR CANOPY LIGHT PROVIDE LITHONIA TYPE: "VAP- 4000LM FST WD MVOLT GZ10 50K 80CRI" OR APPROVED EQUAL CONTROL THROUGH SWITCH SHOWN ON ELECTRICAL CANOPY DETAIL.
- FOR YARD LIGHT PROVIDE VISIONAIRE TYPE: "RLX-1 T4L 30L 4K UNV GY PER 20kV" MOUNTED ON A LITHONIA: "SMAWL T20 US2 GALV" ARM OR APPROVED EQUAL. MOUNT ON POLE AT 20' AFG. PROVIDE CONNECTION WITH 34"CONDUIT.
- VERIFY ELECTRICAL REQUIREMENTS FOR "RPZ" ENCLOSURE HEATER.
- COORDINATE LOCATION AND DIRECTION OF SECONDARY CONDUIT INSTALLED BY E.C. WITH FINAL POWER COMPANY TRANSFORMER LOCATION.

PANEL SCHEDULE								
CALLOUT	VOLTS	BUS AMPS	MAIN DISCONNECT TYPE	MAIN DISCONNECT AMPS	MOUNTING	ENCLOSURE		
MDP	240/120V 2P 3W	100	BREAKER	100	SURFACE	NEMA 4X		

	ITING SI			BUS	S 240/120 AMPS 100 IRAL 100%		3W			AIC 22,000 MAIN BKR 10 LUGS STAND				
CKT #	CKT BKR	CIRCUIT	DESCRIPTION		LOAD A	KVA B	CKT #	CKT BKR	CIRCUIT	DESCRIPTION			LOAD A	KVA B
1 3 5 7 9 11 13 15 17	20/1 20/1 20/1 20/1 20/1 20/1 20/1 20/1	RECEPTA LIGHTING LIGHTING SPARE SPARE SPACE SPACE SPACE SPACE SPACE	1		0.18 0.198 0 0	0.168 0 0 0	2 4 6 8 10 12 14 16 18 20	60/2 20/1 20/1 20/1 30/1 20/1 20/1 20/2	GENERA	CONTROL PANI TOR BATTERY TOR BLOCK H	CHARGER		4.08 0.48 1.5 0	4.08 1.8 2 0
•		•							ТОТ	AL CONNECTE		HASE	6.44	8.05
	TING GEST MC	OTOR	0.366 4.08	0.458 1.02	(125%) (25%)		CONT TOTA	ORS PTACLES INUOUS L LOAD NCED LO		8.16 0.18 5.78	8.16 0.18 7.23 17 71 A	(100 (50% (125	% 10)	

	GENE	CRATOR SCH	EDULE	, ,	
	CALLOUT	VOLTS	KW	KVA	POWER FACTOR
[GENSET	240/120V 2P 3W	30	30	1

TRANSFER SWITCH SCHEDULE							
CALLOUT	TYPE	VOLTS	AMPS	NORMAL UPSTREAM DEVICE	EMERGENCY UPSTREAM DEVICE	NEMA	
ATS	AUTOMATIC	240/120V 2P 3W	100	MSD	STBY	NEMA 4X	

DISC	ONNECT SWI	TCH SCHED	ULE		
CALLOUT	TYPE	VOLTS	FRAME SIZE	BREAKER TRIP / FUSE RATING	ENCLOSURE
MSD	FUSED DISCONNECT	240/120V 2P 3W	100	100	NEMA 4X
STBY	DISCONNECT	240/120V 2P 3W	100	NONE	NEMA 4X

REVISIONS DESCRIPTION PUMP STATION ELECTRICAL PLAN AND SCHEDULES SALT WYND PRESERVE

NORTH CAROLINA

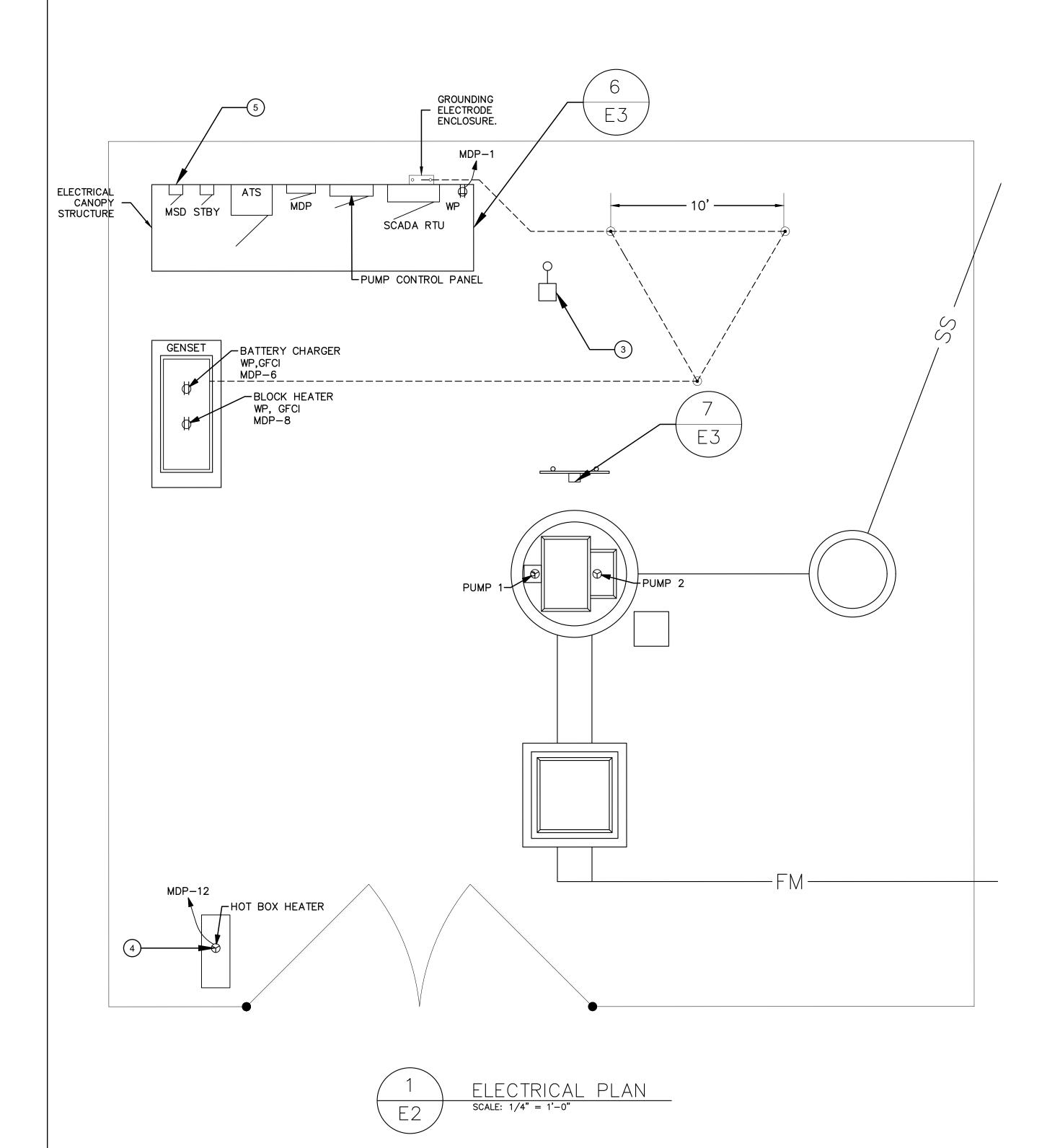
PHASE ONE CARTERET COUNTY BEAUFORT OWNER: BEAUFORT AGRIHOOD DEVELOPMENT, LLC DESIGNED: WGB
176 MINE LAKE CT
ADDRESS: SUITE 100
DRAWN: WGR

RALEIGH, NC 27615 PHONE: (207) 449-8801 APPROVED: LMS DATE: 02/10/2022 \wedge STROUD ENGINEERING, P.A.

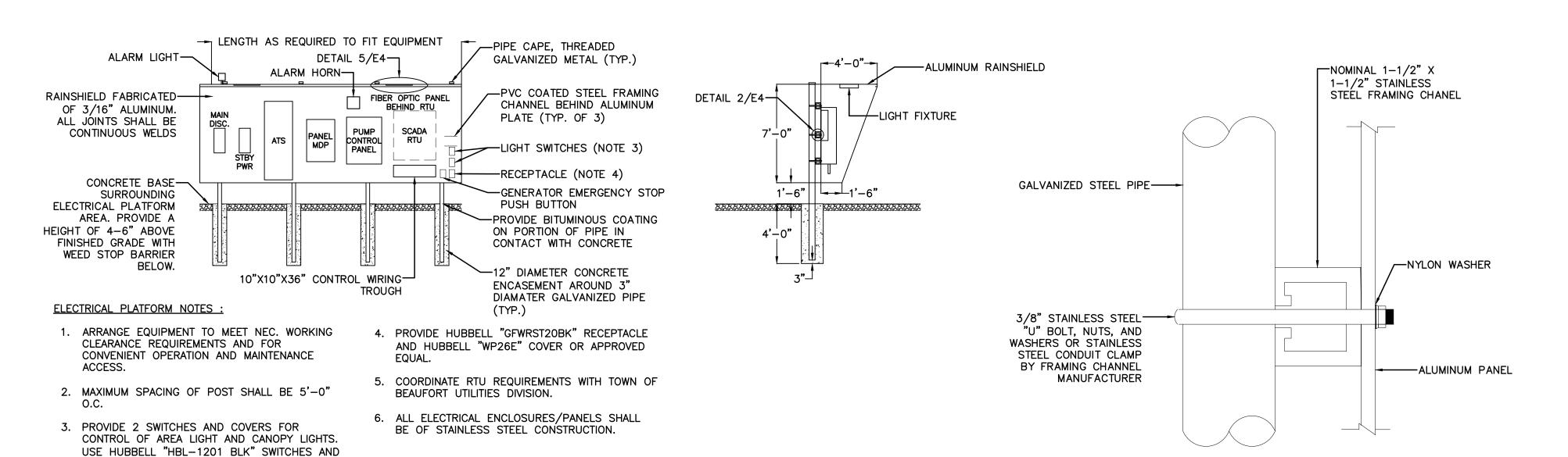
SCALE: AS NOTED 422 HIGHWAY 24 MOREHEAD CITY, NORTH CAROLINA 28557 (252) 247–7479 SHEET: E2 OF 4

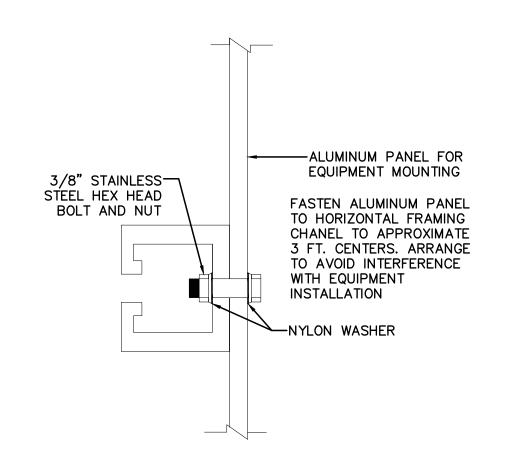
PRELIMINARY DRAWING DO NOT USE FOR CONSTRUCTION

L. MICHAEL STROUD, P.E.



PROJECT NO.: <u>PM3067~001</u> DRAWING NO.: 016





ELECTRICAL CANOPY FRONT AND SIDE VIEW

-ISOLATION MATERIAL -ALUMINUM EQUIPMENT-1/8" THICK BACK PANEL NEOPRENE/EPDM/SBR TAPE, CAROLINA TAPE AND SUPPLY CORP., HICKORY, NC ITEM #875 OR EQUAL -BACK PANEL OF ELECTRICAL EQUIPMENT **ENCLOSURE** 3/8" STAINLESS STEEL HEX HEAD BOLT AND NYLON WASHER

HUBBELL "HBL-7420" COVERS OR APPROVED

SCALE: 3/16" = 1'0"

CONTINUOUS WELD NOTES:

SCALE: NONE

3/16" ALUMINUM—

PANELS

EQUIPMENT RACK

1. PROVIDE SPLICE IF LENGTH OF EQUIPMENT RACK EXCEEDS STANDARD PANEL LENGTH.

2. DETAIL TYPICAL FOR TOP AND REAR PANEL ASSEMBLIES.

TOP ELECTRICAL CANOPY WELDING DETAIL SCALE: NONE

ELECTRICAL CANOPY PIPE TO FRAME CONNECTION DETAIL

-WELD PANELS TO PLATE

-CONTINUOUS WELD

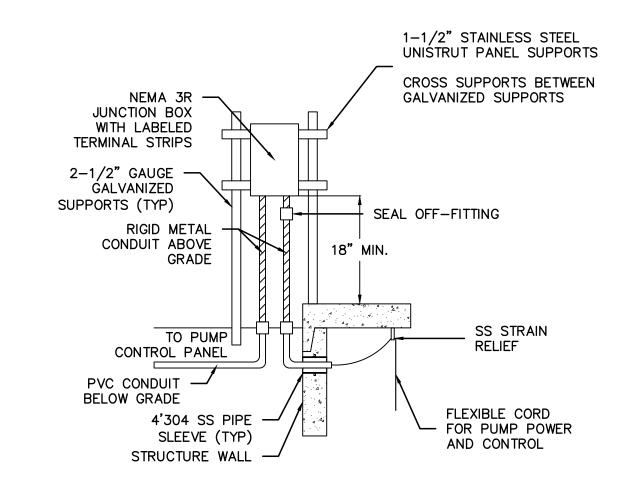
AND TO EACH OTHER.

WELD SHALL BE

-1/4" ALUMINUM PLATE CONTINUOUS FULL

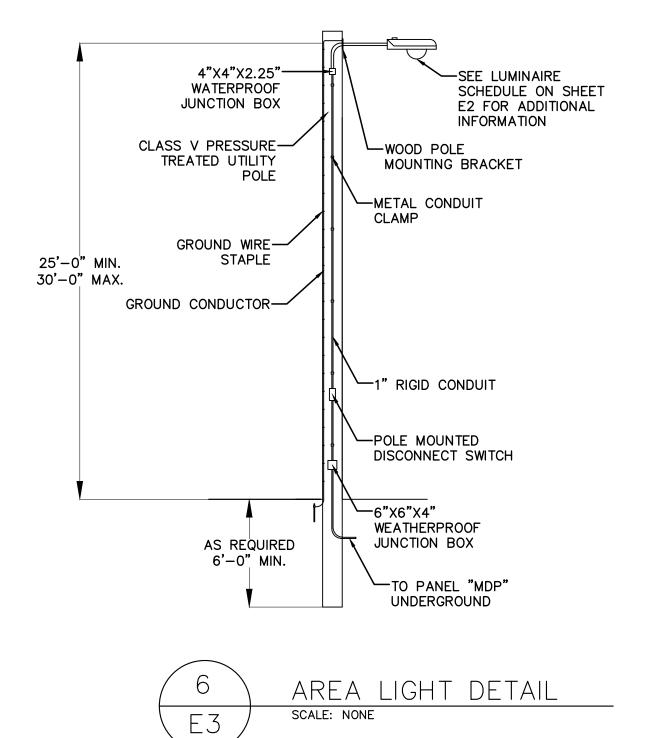
WIDTH OF PANELS

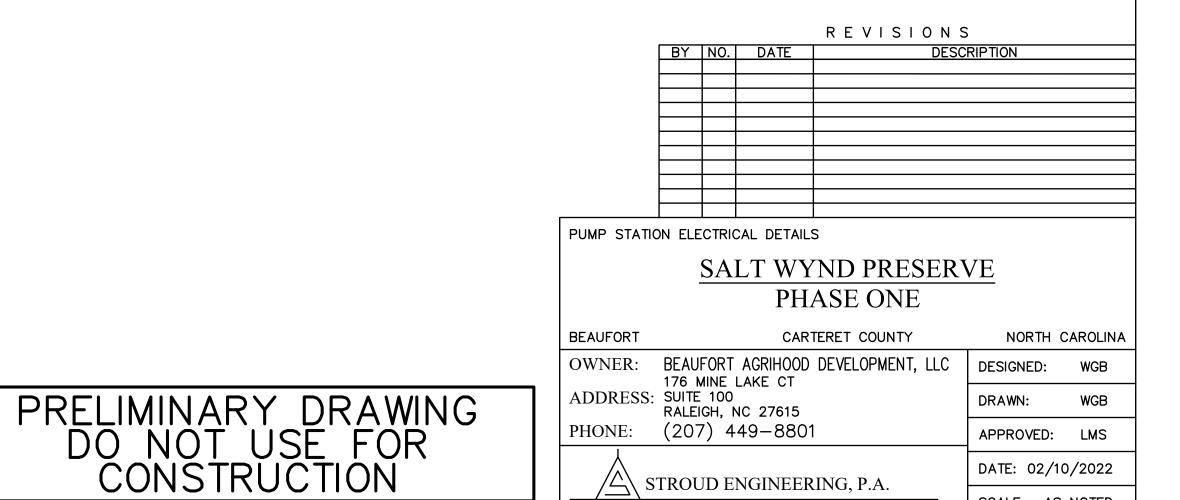
CONTINUOUS





ELECTRICAL CANOPY FRAME TO PANEL CONNECTION DETAIL SCALE: NONE





422 HIGHWAY 24 MOREHEAD CITY, NORTH CAROLINA 28557 (252) 247–7479

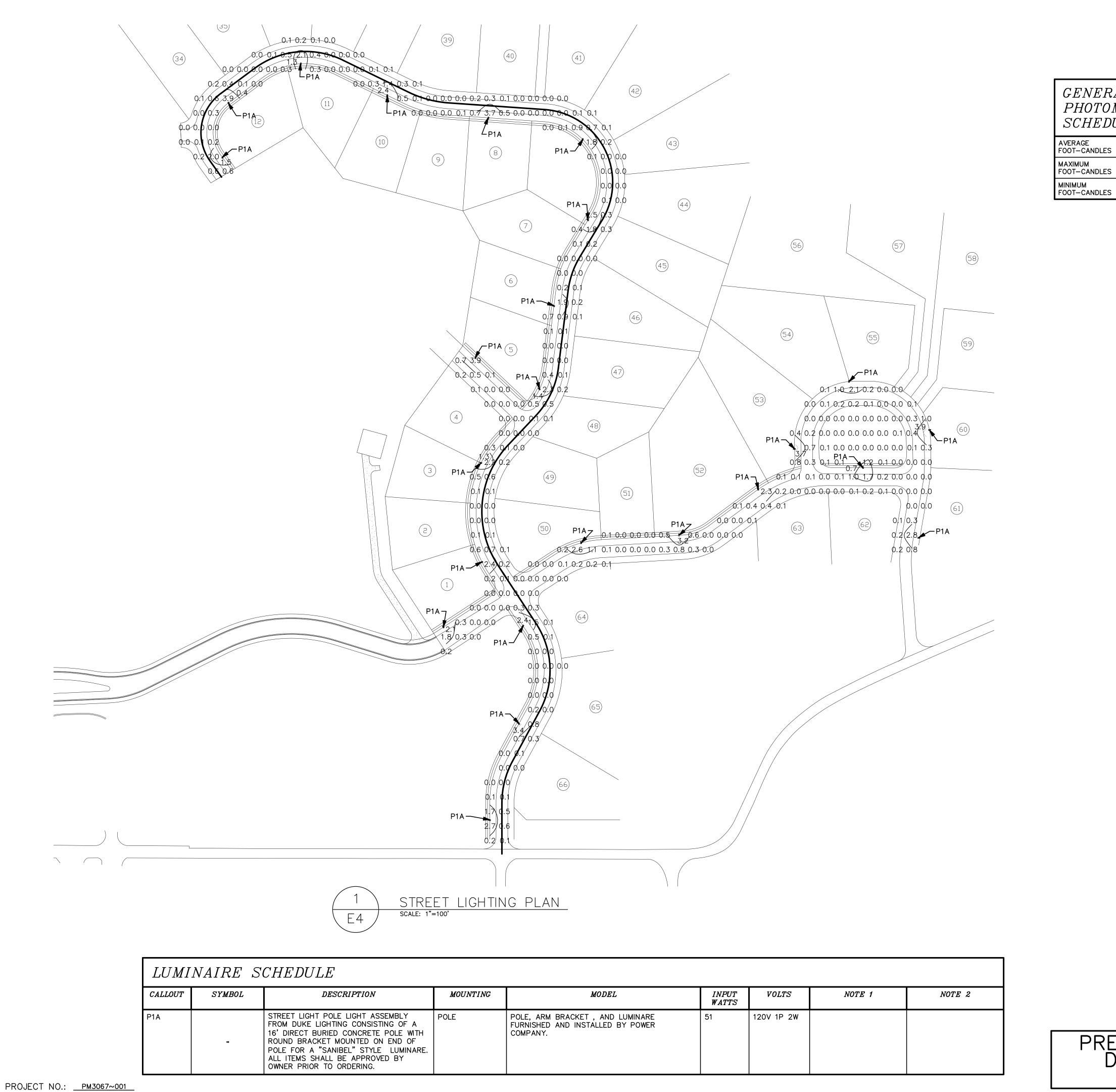
SCALE: AS NOTED

SHEET: E3 OF 4

BACK ELECTRICAL CANOPY PANEL WELDING DETAIL SCALE: NONE

PROJECT NO.: <u>PM3067~001</u> DRAWING NO.: 017

L. MICHAEL STROUD, P.E.



DRAWING NO.: 018

GENERAL*PHOTOMETRIC* SCHEDULEAVERAGE FOOT-CANDLES MAXIMUM FOOT-CANDLES

REVISIONS

STREET LIGHT DESIGN

SALT WYND PRESERVE PHASE ONE

BEAUFORT	CARTERET COUNTY	NORTH	CAROLINA
OWNER:	BEAUFORT AGRIHOOD DEVELOPMENT, LLC	DESIGNED:	SS
ADDRESS:		DRAWN:	SS
PHONE:	(207) 449-8801	APPROVED:	LMS
		DATE: 02/1	0/2022

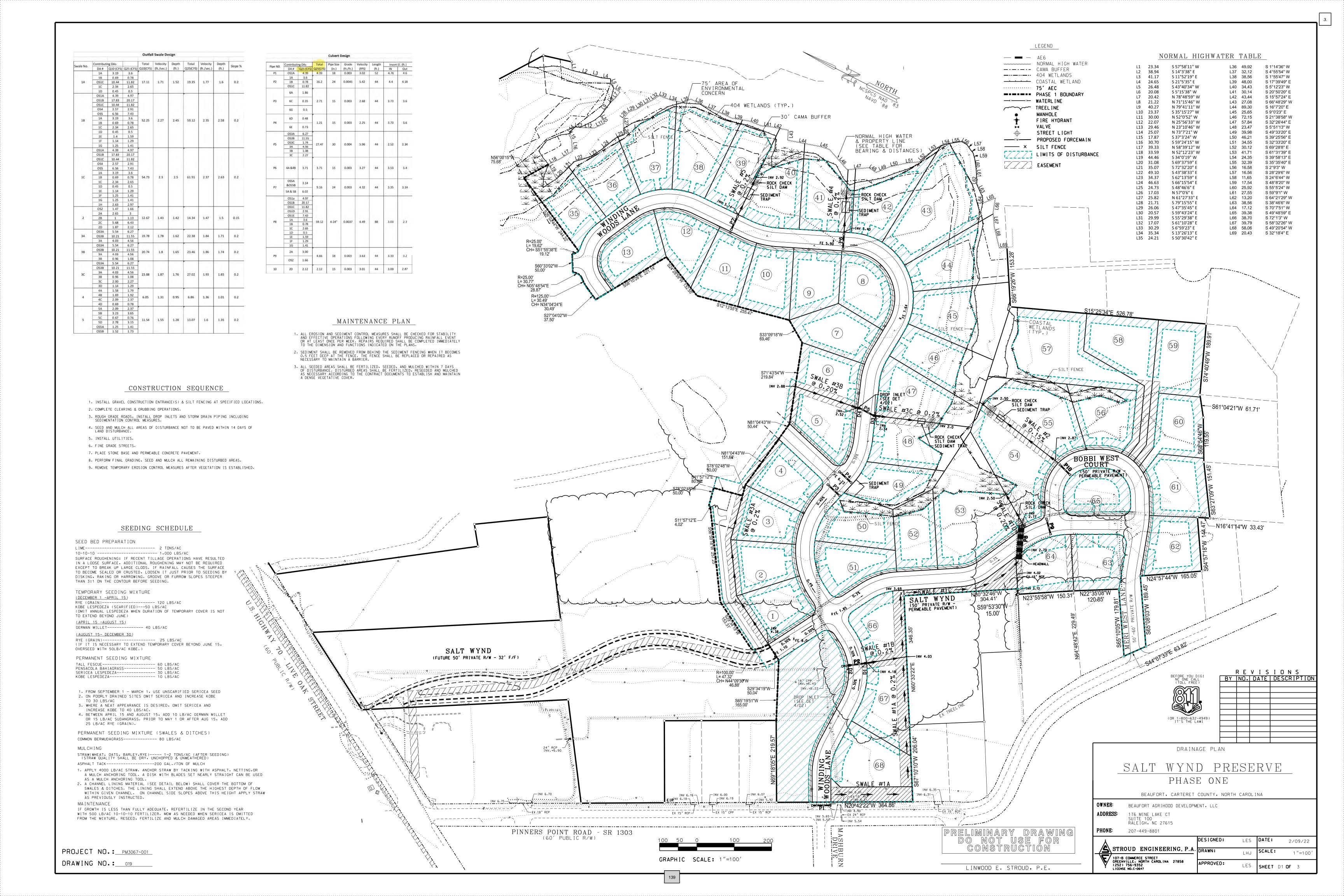
SCALE: AS NOTED

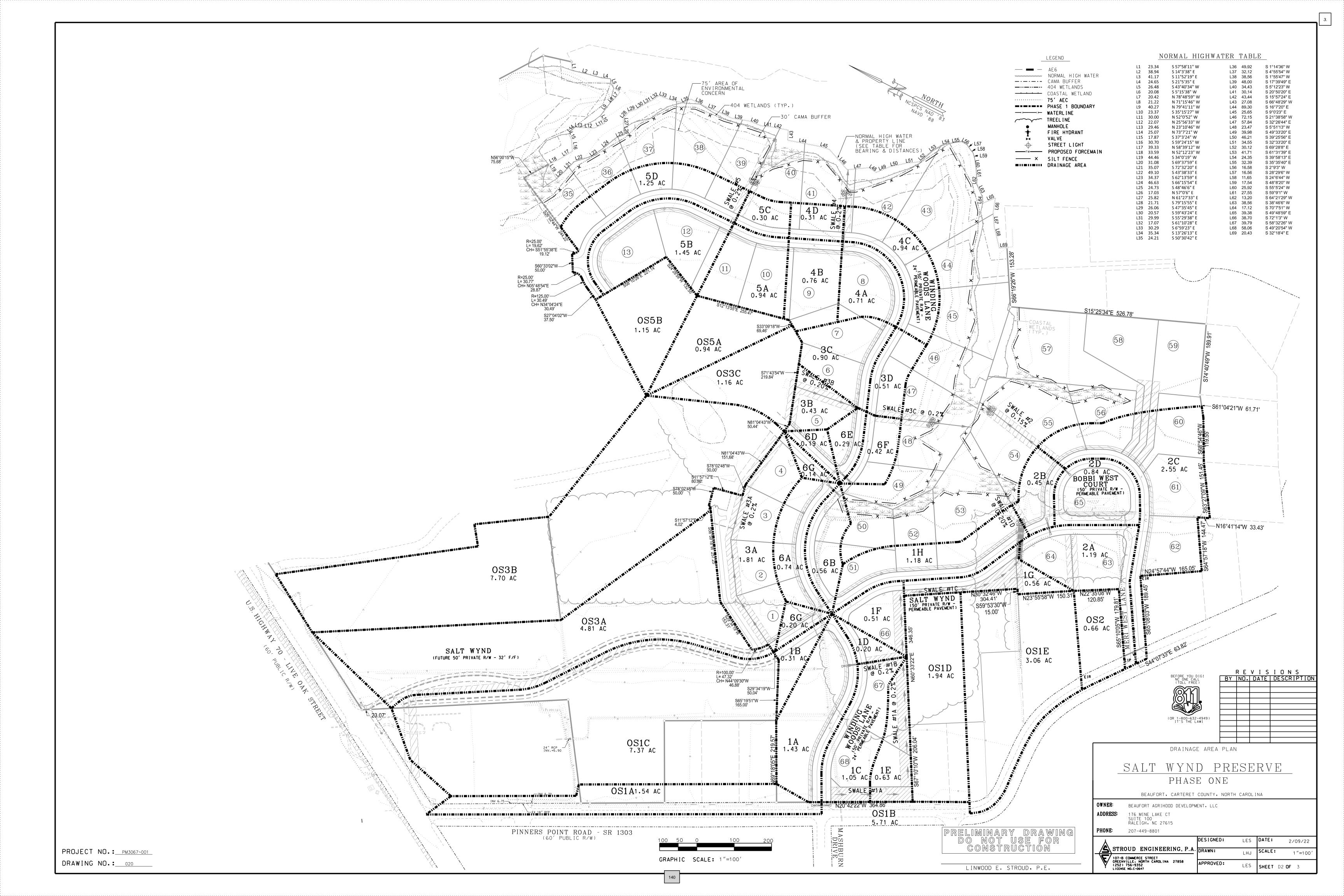
SHEET: E4 OF 4

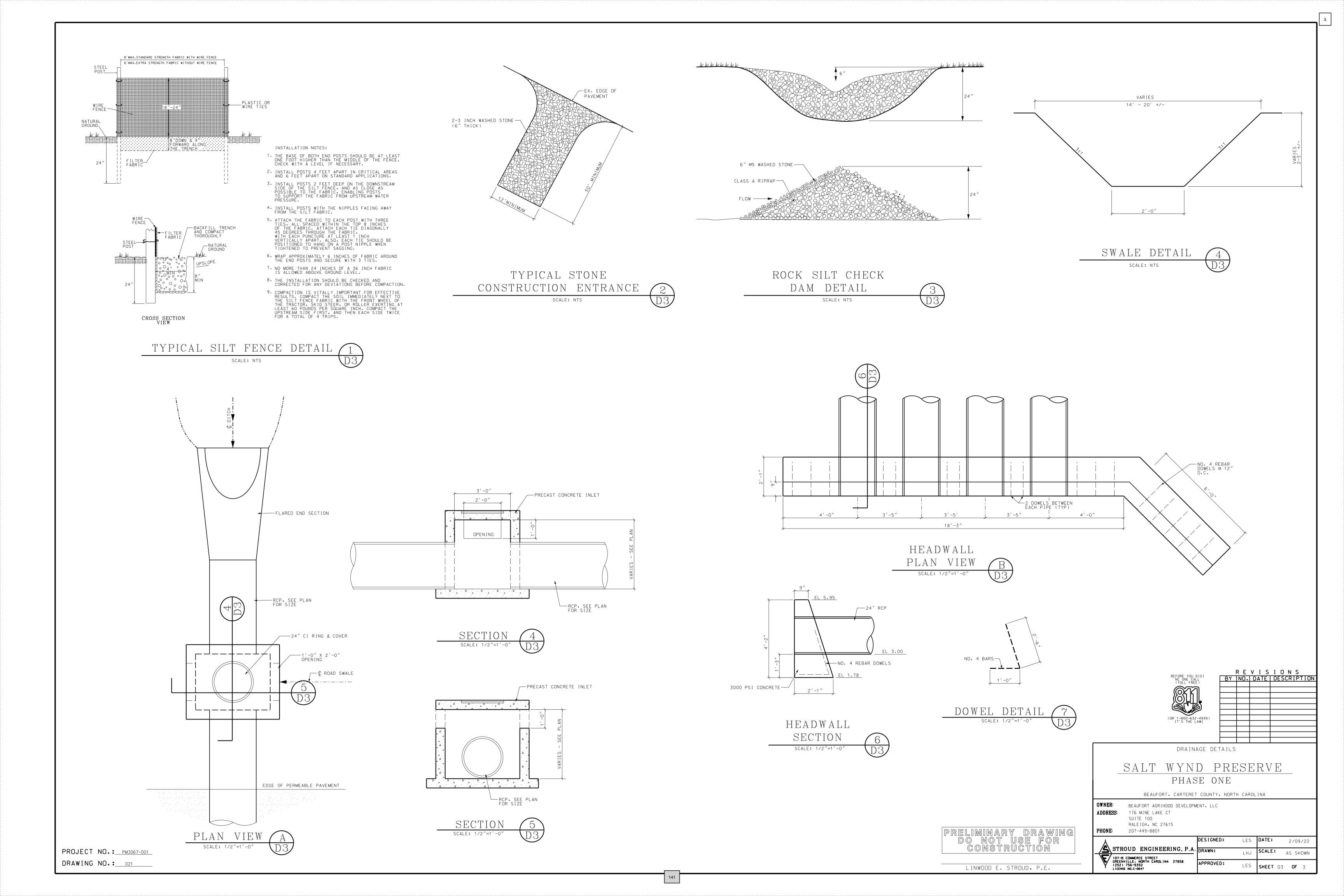
∕△∖ STROUD ENGINEERING, P.A.

422 HIGHWAY 24 MOREHEAD CITY, NORTH CAROLINA 28557 (252) 247–7479

PRELIMINARY DRAWING DO NOT USE FOR CONSTRUCTION





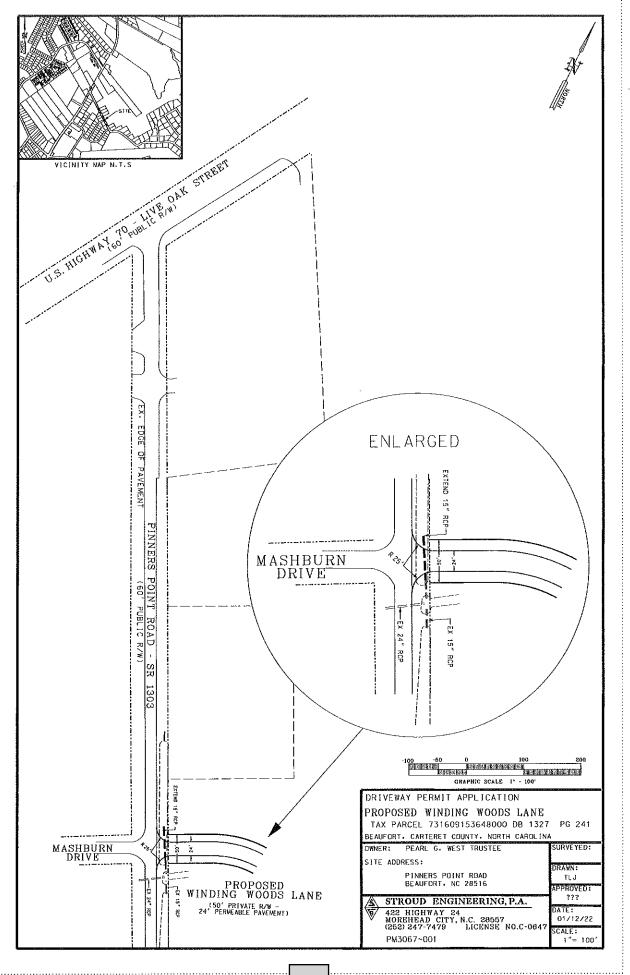


APPL	ICATION IDENTIFICATION	N.C. DEPARTMENT OF TRANSPORTATION		
Driveway Permit No.	Date of Application 1/24/2	22	STREET AND DRIVEWAY ACCESS	
County: Ca	arteret		PERMIT APPLICATION	
Development Same:	alt Wynd Preserve			
	LO	CATION OF PROI	PERTY:	
Route/Road: Pinr	ers Point Road (SR-1303)	and the transfer of the transfer to the transf		
Exact Distance 107	5 Miles	NSEW		
	Feet			
From the Intersection of Route SR1303 No.		and Route No.	U.S. Highway 70 Toward Howland Parkway	
Property Will Be Used I	For: Residential /Subdivision	Commercial	Educational Facilities TND Emergency Services	
Property:	is	is not w	vithin BeaufortCity Zoning Area.	
		AGREEMENT		

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s)
 located on public right-of-way will be considered the property of the North Carolina Department of Transportation,
 and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street
 construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.

2004-07	NOTE: Submit Four Copies of Application to Local District Engineer, N.C. Department of Transportation							
	SIGNATURES OF APPLICANT							
A 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	PROPERTY OWNER (APPLICANT)		WITNESS	. The control of the channel of the section of the control of the				
COMPANY	Pearl G. West Trustee	NAME						
SIGNATURE		SIGNATURE		THE PARTY OF THE P				
ADDRESS	231 Pinners Point Road	ADDRESS						
	Beaufort, NC 28516 Phone No.			1000/A-Politic Andrew Stream Section 2014 (Section Medican Sec				
	AUTHORIZED AGENT		WITNESS					
COMPANY	Stroud Engineering, PA	NAME						
SIGNATURE		SIGNATURE						
ADDRESS	422 Highway 24	ADDRESS	422 Highway 24					

	Morehead City, NC 28557	Phone No.	2522477479	Morehead Ci	ity, NC 28557	
			APPROVALS			
APPLICATION	RECEIVED BY DISTRICT E	NGINEER				
	SIGNATURE			DATE		
APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)						
	SIGNATURE		TITLE	Sec. 10.	DATE	
APPLICATION	APPROVED BY NCDOT	<u> </u>				m magain masanana pi, ang ng nangs pags
Addressing and influence and an extension of the second and the se	SIGNATURE		TITLE		DATE	
INSPECTION B	Y NCDOT					
b/10	SIGNATURE	adar da kasta da Arabi (1944) (1944) (1944) (1944) (1944) (1944) (1944) (1944) (1944) (1944) (1944) (1944) (19	TITLE		DATE	
COMMENTS:	and the landscape of the control of	THE PERSON NAMED IN COLUMN TO THE PERSON NAMED TO THE PERSON NAMED TO THE PERSON NAMED TO THE PERSON NAMED TO				
			Notes and the second se		omen talakun sada oo adas t tirakut talak Piri k 1417/1917 PPRAKTI UPKI 1777K kasa	odanomo o lasterdamo tertumo conded a

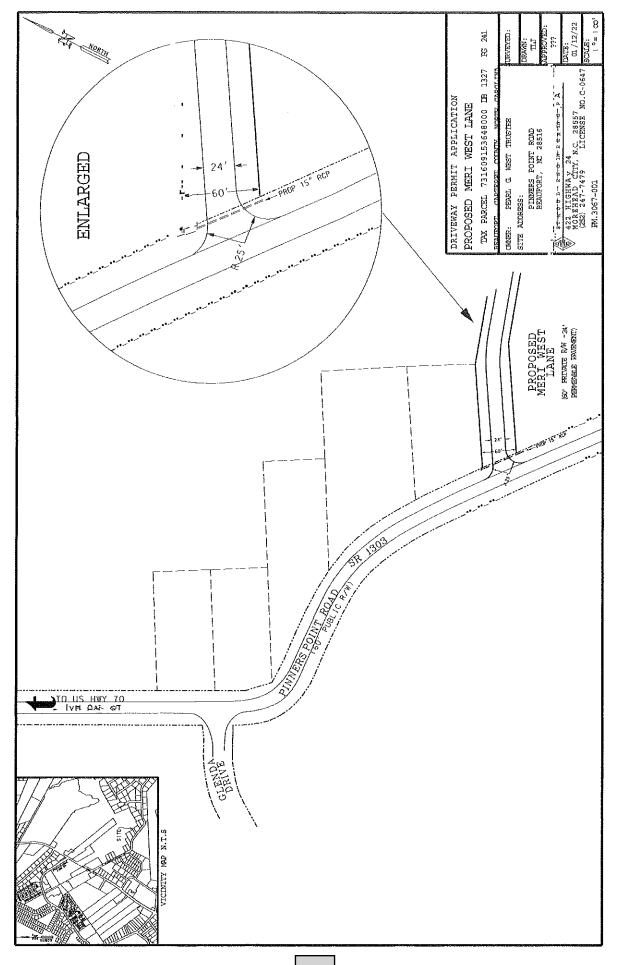


APPLICAT	ION IDENTIFICATIO	N.C. DEPARTMENT OF TRANSPORTATION			
Driveway Permit No.	Date of Application 1/24/2	2	STREET AND DRIVEWAY ACCESS		
County: Cartere	t	PERMIT APPLICATION			
Development Salt Wy	nd Preserve				
	LOC	ATION OF PRO	PERTY:		
Route/Road: Pinners P	oint Road (SR-1303)		The second of the second secon		
Exact Distance 2077	Miles	NSEW			
	Feet				
From the Intersection of Route SR1303 No.		and Route No.	U.S. Highway 70 Toward Howland Parkway		
Property Will Be Used For: Other	Residential /Subdivision	Commercial	Educational Facilities TND Emergency Services		
Property:	is	is not	within BeaufortCity Zoning Area.		
		AGREEMEN			

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- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
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2004-07	NOTE: Submit Four Copies of Application to Loca	N.C. Department of Transportation	TEB 65-04rev.					
	SIGNATURE	S OF APPLICA	NT					
	PROPERTY OWNER (APPLICANT)		WITNESS					
COMPANY	Pearl G. West Trustee	NAME						
SIGNATURE		SIGNATURE						
ADDRESS	231 Pinners Point Road	ADDRESS	ADDRESS					
ADDRESS 	Beaufort, NC 28516 Phone No.			P 60 to house your years of the state of the				
	AUTHORIZED AGENT		WITNESS					
COMPANY	Stroud Engineering, PA	NAME						
SIGNATURE		SIGNATURE		,				
ADDRESS	422 Highway 24	ADDRESS	422 Highway 24					

Morehead City, NC 28557	Phone No. 2522477479	Morehead City, NC 28557	
	APPROVALS		
APPLICATION RECEIVED BY DISTRICT EN	IGINEER	•	
SIGNATURE		DATE	V-1-1
APPLICATION APPROVED BY LOCAL GOV	ERNMENTAL AUTHORITY (when required)		
SIGNATURE	TITLE	DATE	
APPLICATION APPROVED BY NCDOT		e management gamma, menganing yang pengangan pengangan kalangan dan 4 kalangan 1 kacambara sa AFA dan bahar bantan managan men	
SIGNATURE	TITLE	DATE	"Take to "South Self-South About 1
INSPECTION BY NCDOT			· — · · · · · · · · · · · · · · · · · ·
SIGNATURE	TITLE	DATE	
COMMENTS:			



DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR SALT WYND PRESERVE

COUNTY OF CARTERET

This Declaration of Covenants, Conditions and Restrictions is made this XXX day of XXX, 2021, by Beaufort Agrihood Development, LLC, a North Carolina Limited Liability Company, herein "Declarant or Developer"; and any and all persons, firms and corporations hereafter acquiring any of the Lots within Salt Wynd Preserve Subdivision as shown on surveying plat prepared by James I. Phillips, RLS, and recorded in Map Book XXX, page XXX, Carteret County Registry;

WITNESSETH:

WHEREAS, Declarant, Beaufort Agrihood Development, LLC, is the owner of certain real property as conveyed to it by deed recorded in Book XXX, page XXX, Carteret County Registry, and Declarant has caused the property described therein to be subdivided into Lots for a Subdivision known as Salt Wynd Preserve, to be developed in three phases, and a plat for the subdivision is recorded in Map Book XXX, page XXX, Carteret County Registry, hereinafter called "Salt Wynd Preserve", or the "Property";

WHEREAS, Declarant desires to develop its property under a common and uniform set of Covenants and restrictions applicable to the Lots and property;

WHEREAS, Declarant intends to develop its property into a desirable residential Subdivision that is harmonious with its coastal environment, and Declarant intends to form a Homeowners' Association to enforce and maintain the attraction of the property and its amenities which include stormwater swales, entrance way, private roads, signage, street lighting and such other common areas and amenities that Declarant and/or the Homeowners' Association may provide for the general welfare and recreation of the Owners;

WHEREAS, it is in the mutual interest of the Declarant as well as every person, firm or corporation hereafter acquiring any of the Lots within Salt Wynd Preserve that these Covenants, conditions, easements, assessments, liens and restrictions governing and regulating the use and occupancy of Salt Wynd Preserve be established, fixed and set forth and declared to be Covenants running with the land;

WHEREAS, the Subdivision is part of a R20 zoned subdivision under the Town of Beaufort Zoning and Land Use Ordinances and the Town has imposed as part of the subdivision approval certain architectural requirements which must be adhered to;

WHEREAS, Declarant desires to preserve the value, amenities, desirability, and attractiveness of the Subdivision and to provide for the continued maintenance and operation of the common areas as may be provided therein;

NOW THEREFORE, in order to provide for the foregoing, the Declarant does hereby covenant and agree with all persons, firms or corporations now owning or hereafter acquiring any portion of Salt Wynd Preserve Subdivision, that the use of Lots in Salt Wynd Preserve Subdivision is hereby made subject to the following restrictions, Covenants, terms and conditions which shall run with said land and shall be binding on all property Owners within said Subdivision and their successors and assigns.

Article I - Definitions

As used throughout this Declaration, the following terms shall have the definitions set out herein as follows:

- A. "Amenities" shall mean the facilities constructed, erected, installed or set aside on the common areas for the use, benefit and enjoyment of members, including drainage easements, multi-modal paths, sidewalks, roadside swales, ditching, or recreation area(s), etc.
- B. "Association" shall mean and refer to Salt Wynd Preserve Owners' Association, Inc., a non-profit corporation organized and existing under the laws of the state of North Carolina, its successors and assigns, which is established for the administration, maintenance and regulation of the stormwater facilities, roads, sidewalks, paths, amenities and other common areas and facilities assigned to, purchased, or otherwise provided for by the Association for the use and enjoyment of members of the Association.
- C. "CAMA" shall mean the Coastal Area Management Act as set forth in North Carolina General Statute 113A-100 et seq., and any of the rules and regulations promulgated thereunder.
- D. "Committee" shall mean and refer to the Architectural Review Committee.
- E. "Commercial Truck" shall mean any 2 ton or greater motor vehicle.
- F. "Common Areas" shall mean and refer to any and all real property subject to this Declaration which is defined and bounded by properly referenced and recorded plats designated thereon as "common area(s)", "open space", "drainage easements", "sidewalks", "paths", ""Roadside Ditches", "streets", "Roads", "private easements" or driveways created by the Declarant to provide access to the streets or roads for more than one Lot, or any area that is set aside for the general use of the members. Common areas shall also include all real property and easement interests owned or assigned by the Association for the common use and enjoyment of members of the Association, which may include but are not limited to entrance ways and signage. (This list of possible amenities is for descriptive purposes only and does not bind the Declarant to construct any or all of said amenities.)
- G. "Declaration" shall mean and refer to this Declaration of Covenants, Conditions and Restrictions for Salt Wynd Preserve Subdivision, and any amendments thereto as recorded in the Carteret County Registry.
- H. "Declarant" shall mean and refer to Beaufort Agrihood Development, LLC, a North Carolina Limited Liability Company, its successors and assigns. "Declarant" and "Developer" are interchangeable and have the same definition.
- I. "Lot" shall mean and refer to any plot of land within Salt Wynd Preserve Subdivision with or without improvements thereon, which constitute or will constitute after construction of improvements, a single residential site as shown on the plats or plans for Salt Wynd Preserve Subdivision or amendments thereto, recorded in the Carteret County Registry.
- J. "Member" shall mean and refer to any person or other entity which holds membership in the Association.
- K. "Owner" shall mean and refer to the owner of record of fee simple interest in any Lot in the Subdivision, excluding those persons having such interest merely of the security interest for the performance of an obligation.
- L. "Person" shall mean and refer to a natural person, corporation, partnership, firm, association, trust or other legal entity. The use of the masculine pronoun shall include the neuter and feminine, and the use of the singular shall include the plural where the context so requires.

Article II - Properties Subject To This Declaration

Section 1. Applicability.

Lots 1 through 81 as shown on the map of Salt Wynd Preserve Subdivision referred to above are expressly made subject to the operation of these Covenants.

Section 2. Additional Lands.

Declarant at any time prior to December 31, 2031, reserves the right to add or bring additional phases, Lots, or lands under this Declaration by filing in the office of the Register of Deeds for Carteret County, North Carolina, either an applicable amendment or a supplementary Declaration of Covenants and restrictions with respect to the additional Lots, phases, or properties. Said amendments or supplemental Declaration would extend the scheme of development and the binding effect of these Covenants and restrictions on the additional property, and such amendments or supplementary Declarations may contain complementary additions and modifications of these Covenants and restrictions as may be necessary to reflect the different character of the added properties. In no event shall the supplementary declaration revoke, modify or add to these Covenants as they are applicable to the Lots set forth in Article 1 above.

Section 3. Reservations.

The Declarant reserves the right absolutely to change, alter or re-designate the allocated, planned, platted, or recorded use, area, or designation of any of the Lots shown on the map of Salt Wynd Preserve Subdivision recorded aforesaid so long as the Declarant retains title to the property involved, so long as any changes or alterations are in conformance with the Town of Beaufort's Subdivision and zoning ordinances, including, but not limited to the right to change, alter or redesignate roads, utility and drainage facilities, and to change, alter or redesignate such other present or proposed Lot lines and facilities as may, in the sole judgment of the Declarant, be necessary or desirable.

Article III - Association Memberships and Voting Rights

Declarant has heretofore incorporated Salt Wynd Preserve Owners' Association, Inc. for the benefit of Lot Owners within said Subdivision so as to provide for the maintenance, upkeep and repair of streets, stormwater easements and facilities, as well as the maintenance, upkeep and repair of drainage easements, amenities and common areas which are subject to the management and administration of the Association.

Section 1. Membership.

- (a) Every person or entity who is a record owner of a fee or undivided fee interest in any Lot which is subject by these Covenants to assessments by the Association shall be a member of the Association, subject to and bound by the Association's Articles of Incorporation, By-Laws, rules and regulations. The foregoing is not intended to include persons, or entities who hold an interest in any Lot merely as security for the performance of an obligation. Ownership of record of such Lot shall be the sole qualification for membership. When any Lot is owned of record in tenancy by the entireties, joint tenancy, or tenancy in common or by some other legal form of multiple Ownership, the membership (including the voting power arising therefrom) shall be exercised only as stipulated in Article 2 herein below.
- (b) During any period when a member shall be in default in the payment of any annual, special or other periodic assessment levied by the Association, the voting rights and right to the use of the common area or any other facilities which the Association may provide, may be suspended by the Board of Directors of the Association until such assessment is paid. In the event of violation by a member of any rules and regulations established by the Board of Directors of the Association, such member's voting and use rights may be suspended by the Board of Directors of the Association after a hearing at which the general requirements of due process shall be observed. Such hearing shall only be held by the Board of Directors of the Association (or a committee thereof) after giving the member ten (10) days prior written notice specifying the alleged violation and setting the time, place and

vote of the hearing. Determination of violation shall be made by majority vote of the board or the committee thereof.

(c) No membership fee shall be charged nor members be required to pay at any time any amount to carry on the business of the Association except to pay when due the charges, assessments, and special assessments levied upon each member's Lot as specified in the Declaration or as the members of the Association may from time to time adopt.

Section 2. Voting and Voting Rights.

- (a) The voting rights of the membership shall be appurtenant to the ownership of Lots. The ownership of each Lot by a person other than Declarant shall entitle its owner to one vote. The Association shall have two classes of voting membership as follows:
- (1) Class A Member. Class A members shall be all owners, other than the Declarant; however, the Declarant shall be a class A member to the extent provided in subparagraph 2 below. Class A members shall be entitled to one vote for each Lot owned.
- (2) Class B Members. The Class B member shall be the Declarant, and it shall be entitled to nine votes for each Lot in which it holds a fee or undivided fee interest; provided, the class B membership shall cease and be converted to class A membership on the happening of either of the following events, whichever first occurs:
- (i) Four (4) months after the total votes outstanding in the class A membership equal the total votes outstanding in the class B membership; or
 - (ii) On December 31, 2032.
- (b) When two or more persons hold an interest (other than a leasehold or security interest) in any Lot, all such persons shall be members. The vote for such Lot shall be exercised by one of such persons as proxy and nominee for all persons holding an interest in a Lot and in no event shall more than one (1) vote be cast with respect to any Lot (except with respect to Lots owned by Declarant), nor shall any fractional vote be cast.
- (c) Any member who is delinquent in the payment of any charges duly levied by the Association against any Lot owned by such member shall not be entitled to vote until all such charges, together with such reasonable penalties as the Board of Directors of the Association may impose, have been paid.
- (d) Members shall vote in person or by proxy executed in writing by the member. No proxy shall be valid after eleven (11) months from the date of its execution or upon conveyance by the member of his Lot. A corporate member's vote shall be cast by the president of the member corporation or by any other officer or proxy appointed by the president or designated by the Board of Directors of such corporation, which designation must be in writing.
- (e) Voting on all matters except the election of directors shall be by voice vote or by show of hands unless a majority of the members present at the meeting shall, prior to voting on any matter, demand a ballot vote on that particular matter. Where directors or officers are to be elected by the members, the solicitation of proxies for such elections may be conducted by mail.

Article IV - Common Area Property Rights

Section 1. Description of Association Common Areas.

The Association common areas shall initially consist of the stormwater swales, paths, drainage easements, streets and other areas designated "common area", as shown on the recorded plat. The streets are private and will be subject to maintenance by the Association. The stormwater drainage easements, paths, roadside ditches or swales that have been privately dedicated to the owners of Lots within said Subdivision and their heirs, successors and assigns, for the maintenance of adequate drainage of surface waters within the Subdivision. The Declarant has reserved the right in accordance with these Covenants to assign, lease or transfer or assign the drainage easements and facilities to governmental agencies or third parties for maintenance purposes.

Section 2. Ownership of Association Properties.

The Declarant by the recordation of the Salt Wynd Preserve plat has dedicated the streets within Salt Wynd Preserve Commons to the private use of Lot owners and their guests and invitees, and all Lot owners and their heirs, successors in interest and assigns, and members of the Association shall have the right of enjoyment of the street. The Association shall have the continuing obligation and duty to maintain said streets and roads. Title to the drainage easements located within the Subdivision is vested in the owner of each hot over which such drainage easement runs, but the Association shall have the continuing responsibility to maintain the drainage easements. Title to the roadside swales and drainage facilities shall be assigned to the Association and it shall be the responsibility of the Association to budget for, maintain, repair and replace the same as part of the common areas and in accordance with State and Local rules and regulations.

Section 3. Sidewalks, Paths, Area Lights, Privacy Fences, Entrance Way and Signage.

It shall be the responsibility of the Association to maintain and pay for all utility charges and maintenance expenses associated with any area lights not specifically assigned to a numbered Lot by a utility company, and the Association shall also maintain any privacy fences installed by the Declarant around a portion or all of the Subdivision boundaries or on any portions of the common areas, including the entrance way and Subdivision entrance signs, landscaping, walls, sidewalks, paths and utilities associated therewith.

Section 4. Easements of Enjoyment.

Every Lot owner shall have a right and easement of enjoyment in and to the common area properties and easements granted herein. Each owner may delegate, in accordance with the by-laws, his right of enjoyment to the common areas and facilities to the members of his family, his tenants, or contract purchasers who reside on the property. Said rights of use and enjoyment shall be subject to the following provisions:

- (a) The Association shall have the right to charge dues and assessments for the upkeep and maintenance of Association properties, streets, drainage easements, and other amenities which are the responsibility of the Association herein. Likewise, the Association shall have the right to charge dues and assessments for the construction, maintenance and/or replacement of any improvements on said common areas, and to provide for all types of insurance for the Association and its properties, and the upkeep and maintenance of drainage facilities, paths, sidewalks and other Subdivision amenities.
- (b) The Association shall have the right to suspend the right to the use of any Association properties by any member for any period during which any dues or assessments against such member are overdue and unpaid, and for a period not exceeding sixty (60) days for any infraction of rules and regulations established by the Association for the regulation and control of Association properties.

Likewise, the Association shall have the right to fine any member an amount not exceeding \$50.00 for each violation of rules and regulations established by the Association.

(c) The Association by rules and regulations established from time to time shall have the right to provide for the use and enjoyment of common areas and Association properties. This right to the use of Association properties shall extend to members of the Association and relatives of members who reside with and in the house of members, tenants of each member' Lots in the Subdivision so long as the tenancy exist, and contract purchasers of Lots in the Subdivision who reside on the Lot.

Section 5. Title to the Common Area.

The Declarant hereby Covenants that it will convey fee simple title to the common areas shown on the aforementioned recorded plat to the Association, free and clear of all encumbrances and liens, except utility, drainage easements, and easements to governmental authorities, at such time as 90% of the Lots have been sold.

Section 6. Parking and Use Regulations for Boats, Trailers, Etc.

The Association may regulate, prescribe and/or prohibit the parking and use of boats, trailers, motor homes, recreational vehicles, trucks and similar items on the common areas (including the provision of special facilities for which a reasonable charge may be made). No boats, trailers, motor homes, recreational vehicles or trucks shall be parked within the right of way of any street in or adjacent to this development.

Section 7. AE6 Floodplain Disclosure.

A portion of the Property is located within the FEMA flood hazard area known as AE6. Such Flood hazard areas identified on the FEMA Flood Insurance Rate Map are identified as a Special Flood Hazard Area (SFHA). SFHA are defined as the area that will be inundated by the flood event having a 1-percent chance of being equaled or exceeded in any given year. The 1-percent annual chance flood is also referred to as the base flood or 100-year flood. It is therefore disclosed that the lots identified within Exhibit D and Exhibit E that are within the AE6 flood hazard area may become flooded as described above including the roads, utility easements and lot areas themselves, which may interfere with traversing over said roads during the flood event. Owners are hereby advised of this caution and to take the necessary preparations in the event of a forecasted flood event to assure the safety of the property and life.

- Section 8. Operation and Maintenance of the Stormwater Management System. The Association shall be responsible for the maintenance, operation and repair of the Stormwater Management System. Maintenance of the Stormwater Management System(s) shall mean the exercise of practices which allow the systems to provide drainage, water storage, conveyance, or other stormwater management capabilities as permitted by the North Carolina Division of Coastal Management. The Association shall be responsible for such maintenance and operation of all elements of the Stormwater Management System located on common areas and Lots. Any repair or reconstruction of the Stormwater Management System shall be as permitted or, if modified as approved by the North Carolina Division of Coastal Management.
- (a) Compliance with Permit Conditions. The Association shall operate and maintain the Stormwater Management System in accordance with applicable permits. The permit conditions may include monitoring and record-keeping schedules and maintenance. The Association shall allocate sufficient funds in its budget for operation and maintenance of the Stormwater Management System and maintenance of any wetland mitigation areas unless and until the North Carolina Division of Coastal Management or other applicable governmental authority ("District") determines that the mitigation area(s) is or are successful in accordance with

- any applicable environmental resource permits for the Property. The Association shall be obligated to accept any and all obligations under applicable permits when requested by the Declarant.
- (b) Mitigation Areas. The Association shall maintain any areas designated on the Property as wetland mitigation areas. The Association shall comply with all applicable permit conditions for such areas, including monitoring and maintenance of wetland vegetation and replanting of wetland vegetation to meet required survival rates, if necessary. The Association shall also maintain any notices or signage in or near preservation areas if required by the District.
- (c) Construction Plans. Each Owner shall be responsible at the time of construction of any Improvement to comply with, and not violate, construction plans for the Stormwater Management System and shall comply with the applicable provisions of North Carolina Division of Coastal Management, et seq., and all other governmental regulations. All Owners shall be responsible for maintaining designed flow paths for side and rear drainage as shown in the permitted plans. If the constructed flow path is disturbed or modified, or if any Owner or Lot is not in compliance with any other provisions of the applicable permit(s) or applicable governmental regulations, the Association shall have the authority to enter the Lot, undertake whatever action may be necessary to bring the Lot into compliance, and pass an Individual Assessment for any associated expenses and damages.
- (d) Construction Limitations. No owner of any portion of the Property may construct or maintain any Improvement or perform any activity in the wetlands, wetland mitigation areas, buffer areas, upland conservation areas, and drainage easements described in the approved permit(s) and recorded Plat of any portion of the Property, unless allowed by applicable permits or approval is obtained from the District.
- (e) Vegetation and Buffers.
 - (a) Wetland Buffers. Wetland Buffers shall be maintained in their natural vegetated condition. Native vegetation removed or destroyed within the Wetland Buffers in violation of the requirements of North Carolina Division of Coastal Management shall be immediately restored at the sole expense of the Lot owner. Such areas shall be replanted with comparable native vegetative species as were removed or destroyed. Noxious, non-native, invasive, and dead plant material may be removed.
 - (b) Natural Area. The property intention is to maintain the existing, natural vegetation so as to provide privacy to all Lot owners, maintain the natural beauty of the project, while allowing limited speckled view corridors. Each lot has a minimum Natural Area defined that will be regulated in perpetuity as follows.
 - (a) A landscape plan must be submitted to the Architectural Review Board prior to any construction or modifications to the Lot. The plan shall include an inventory of all existing trees with a trunk diameter of five inches (5) or larger at four feet (4') above grade and all new trees and shrubs to be planted by the applicant. The plan shall include all plantings, street trees and any other landscaping for the entire lot including the Natural Area.
 - (b) No person shall cut down or destroy any existing trees over five inches (5") in diameter at four feet (4') above grade within the Natural Area until approved by the Architectural Review Board for extenuating circumstances only.

- (c)All existing trees required by the approved landscape plan shall be clearly marked with tape or non-permanent spray paint to protect them from damage during construction. The applicant shall be responsible for replacing any such existing trees that are severely damaged and any new trees that do not survive at least two years after planting.
- (f) Storm Water System Maintenance. The Declarant has constructed Storm Water System components upon certain Lots for the purpose of managing and containing the flow of excess surface water, if any, found upon such Lots from time to time. The Association shall be responsible formaintenance, operation, and repair of the Storm Water System components on the Lot. Maintenance, operation, and repair shall mean the exercise of practices, such as mowing and erosion repair, which allow the swales to provide drainage, water storage, conveyance or other stormwater management capabilities as permitted by the District. Filling, excavation, construction of fences or otherwise obstructing the surface water flow in the swales is prohibited. No alteration of the Storm Water System shall be authorized and any damage to any Storm Water System component, whether caused by natural or human induced phenomena, shall be repaired and the Storm Water System component returned to its former condition as soon as possible at the expense of the Owner(s) of the Lot(s) upon which the Storm Water System component is located. Storm Water System component shall be maintained in accordance with the permitted plans.
- (g) Use of Stormwater Management System. No person shall have the right to pump or otherwise remove any water from any Stormwater Management System for irrigation (excepting water stored on the owner's Lot within retention devices) or any other purpose unless an appropriate permitted by the District. No swimming is permitted and no boats or other motorized vehicles may be used (unless used by the Association or District for the purpose of inspection and maintenance of the system) in the Stormwater Management System.
- (h) Enforcement. The North Carolina Division of Coastal Management shall have the right to enforce, by a proceeding at law or in equity, the provisions contained in this Declaration which relate to the maintenance, operation, and repair of the Stormwater Management System.
- (i)Limitations on Amendments. Any amendment to this Declaration that alters the Stormwater Management System beyond maintenance in its original condition, including mitigation or preservation areas and the water management portions of the common areas, must have the prior approval of the North Carolina Division of Coastal Management.

Article V - Covenants for Dues and Assessments

Section 1. Monthly Assessments for Maintenance Fund.

For each Lot owned within Salt Wynd Preserve, each owner Covenants and agrees, and each subsequent owner of any such Lot Covenants and agrees, that by acceptance of a deed therefor whether or not it is so expressed in such deed, that the owner will pay to the Association the assessments and charges provided for in this Declaration.

(a) Every owner of a Lot in the Subdivision by the acceptance of a deed to the same, which shall be conclusively evidenced by the recording of a deed in the office of the Register of Deeds Covenants and agrees to pay to the Association such annual dues and assessments for maintenance and upkeep of Association properties, capital improvements and the construction of improvements and facilities on or to Association properties, and the administration of properties and facilities assigned to the Association for operation and management, as may established from time to time by the Board of Directors and membership of the Association. Such dues

and assessments together with interest at the legal rate of interest, costs and reasonable attorney's fees if the dues and assessments remain unpaid, shall be a continuing lien on each Lot against which said assessment is made until paid in full. Said dues and assessments shall also be the personal obligation of the owner of each Lot at the time the dues and assessments become due, and the personal obligation shall not pass to a successor in title unless expressly assumed by the successor. However, said dues and assessments shall be a lien on said Lot and a sale or transfer of any Lot shall not affect the lien for unpaid dues or special assessments against said Lot.

- (b) The dues and assessments shall be used exclusively for the purpose of maintaining and improving Subdivision roads, drainage ditches and easements, the maintenance and upkeep of Association properties, the construction of improvements and facilities thereon, the upkeep, maintenance, operation and management of properties or facilities owned, leased to or assigned to the Association in accordance with these Covenants, as well as the upkeep, maintenance and replacement of equipment, improvements in facilities thereon, and generally for the promotion of the recreational, health, safety and welfare of the membership. Additionally, the dues and assessments may be used for acquiring all types of property, casualty and liability insurance for the Association, and the dues and assessments may be used to fund any of the activities, powers and authority of the Association as the Association is authorized to do as a non-profit owners' association.
- (c) The Declarant shall have no obligation to pay dues and assessments for unsold Lots. As a Lot is sold in the Subdivision, the Declarant shall collect from each purchaser two months' assessments and dues at its then current rates as working capital which shall be paid to the Association, and the Declarant shall notify the Association as to the name and address of each purchaser. The obligation to pay dues shall commence as to all members purchasing Lots on the date the deed to the Lot from the Declarant shall be recorded.

Section 2. Maximum Monthly or Annual Assessments.

The Board of Directors is authorized to assess and collect its regular dues and assessments on either a monthly, quarterly, semi-annual, or annual basis. Until January 1 of the year immediately following the conveyance of the first Lot to an owner, the maximum annual assessments shall be \$XXX per Lot, per year pending further notification from the Association.

- (a) From and after January 1 of the year immediately following the conveyance of the first Lot to an owner, the maximum annual assessment may be increased each year not more than twenty (20%) percent above the maximum assessment for the previous year without a vote of the membership.
- (b) From and after January 1 of the year immediately following the conveyance of the first Lot to an owner, the maximum annual assessment may be increased above twenty (20%) percent by a majority vote of the members of the Association who are voting either in person or by proxy, at a meeting duly called for said purpose.
- (c) The Board of Directors may fix the annual assessment at an amount not in excess of the maximum.

Section 3. Special Assessments.

Special Assessments are assessments levied against all Owners proportionately to pay for unanticipated operating expenses, unanticipated maintenance, repair, or replacement of Association Property for which adequate reserves have not been collected, or to pay for any other unanticipated, unbudgeted monetary obligation of the Association.

Section 4. Individual Assessments.

Individual Assessments are assessments levied against a particular Lot owner and Lot for the purposes otherwise stated in the Governing Documents.

Section 4. Notice and Quorum for any Action Authorized Under Sections 2 and 3 Above.

Written notice of any meeting called for the purpose of taking any action authorized under Sections 2 or 3 above shall be sent to all members not less than ten (10) days nor more than twenty (20) days in advance of the meeting. At the first such meeting called, the presence of members or of proxies entitled to cast fifty-one (51%) percent of all the votes of the membership of the Association who are eligible to vote shall constitute a quorum. If the required quorum is not present, another meeting may be called subject to the same notice requirement, and the required quorum at the subsequent meeting shall be one-half of the required quorum at the preceding meeting. No such subsequent meeting shall be held more than sixty (60) days following the preceding meeting.

Section 5. Non-Payment of Assessments.

Any member failing to pay the annual, quarterly, monthly or special assessments and dues or any fees or charges authorized by the Association within a period of thirty (30) days after the billing thereof, shall be deemed to be in default. The Board of Directors shall cause to be filed in the Office of the Clerk of Superior Court or in the office of the Register of Deeds of Carteret County an instrument suitable for recordation which shall set for the name of the owner, the Lot description, the amount of the assessment, the date the assessment was due, and the fact that the Board of Directors has given the owner notice of said assessment and said owner has failed to pay said assessment. In addition to the assessment so stated, all amounts necessary for the collection of said assessment, including, but not limited to mailing costs, recording costs, and a reasonable attorney's fee incurred for the collection thereof, together with interest at the legal rate of interest, shall constitute a lien against said Lot and shall be due and payable from the delinquent owner.

Following the recordation of said lien, the Board of Directors is authorized to institute an appropriate action in a court having jurisdiction over the subject matter and the parties in order to collect the assessments, interest, costs and attorney's fees from the owners and in order to effect a sale of the property to satisfy the lien for the delinquent assessments and expenses.

Section 6. Subordination of the Lien to Mortgages.

The lien of the assessments provided for herein shall be subordinate to the lien of any first mortgage. The sale or transfer of any Lot shall not affect the assessment lien. Likewise, the sale or transfer shall not relieve the Lot owner from personal liability therefrom.

Section 7. Suspension or termination of voting rights.

In addition to any other rights the Association may have with regard to non-payment of assessments and dues, the payment of any assessments levied by the Association shall be a prerequisite to the exercise of any voting rights earlier provided for herein and for serving on the Board of Directors of the Association. Any member failing to pay the assessments or dues on his Lot so that the same thereafter become delinquent, shall be deemed ineligible to vote at any annual or special meeting of the membership and shall be deemed ineligible to serve on the Board of

Directors or as an officer of the Association so long as said delinquency continues.

Article VI - Architectural Control, Inspection and Use Restrictions

Declarant shall have the responsibility of enforcing the restrictions set forth in this Article prior to the formation of the Architectural Review Committee, which, upon appointment by the Board of Directors, shall assume and be responsible for enforcement. References in this Article to "Committee" shall mean Declarant until the Committee is appointed and references to "Declarant" shall include the Committee once it is appointed. The following architectural restrictions shall apply to each and every Lot now or hereafter subject to this Declaration:

Section 1. General Theme, Approval of Plans and Architectural Review Committee.

- (a) Town of Beaufort subdivision requirements. Attached as Exhibit C are the requirements and conditions imposed by the Town of Beaufort as a condition of approval of this development. All design and construction of a dwelling on any Lot shall be required to adhere to and comply with the architectural requirements.
- (b) Declarant has established as the general architectural theme and building design for the subdivision a coastal maritime and/or farmhouse design consisting primarily of clapboard siding, porches, pitched roofs and the like. Houses and residential structures of a contemporary design or era as well as houses constructed with flat roofs will be prohibited. Nothing herein shall be construed as dictating the type or quality of siding materials used so that hardiboard, wood, cedar shake and similar sidings will be allowed. Metal Roofs and architectural shingles are encouraged and may be required by the Committee. It is the Declarant's intent that specified architectural styles or designs be followed using materials as specified by the Committee or guidelines adopted, promulgated and enforced by said Committee. The Committee has the right to approve and specify materials that will be allowed and to specify and prohibit materials that will not be allowed, and to formulate guidelines for owners preparing to build residential structures.
- (c) No site preparation or initial construction, erection, or installation of any improvements, including, but not limited, to residences, outbuildings, landscaping, driveways, Lot clearing, fences, walls, signs, antennas and other structures, shall be undertaken upon the Lots unless the plans and specifications therefor, showing the nature, kind, shape, size, height, materials, and location of the proposed improvements on the Lot, including but not limited to, the house, decks, garage, driveways, parking areas, plants, shrubs, trees (including trees to be removed), wetland areas to be disturbed, and any other permanent structures or changes to be made to the Lot, shall have been first submitted to the Committee and expressly approved in writing. No subsequent alteration or modification which will result in an exterior, structural change to the residence, outbuilding, or significant changes to the landscaping may be undertaken on any of the Lots without the prior review and express written approval of the Committee.
- (d) In the event the Committee fails to approve or disapprove the site or design of any proposed improvements within sixty (60) days after plans and specifications have been submitted and received, approval will not be required, and the requirements of this Article will be deemed to have been fully met; provided, that the plans and specifications required to be submitted shall not be deemed to have been received by the Committee if they contain erroneous data or fail to present adequate information upon which the Committee can arrive at a decision.
- (e) The Committee and its representatives shall have the right, at its election, to enter upon any of the Lots during site preparation or construction, erection or installment of improvements, to inspect the work being undertaken and to determine that such work is being performed in conformity with the approved plans and

specifications an in a good and workmanlike manner, utilizing standard industry methods and good quality materials.

- (f) The approval of any such plans, specifications or other items submitted to the Committee pursuant to this Article shall not impose any liability or responsibility on the Committee or the Association with respect to either the compliance or non-compliance with any such plans, specifications, or other items (including any improvements or structures erected in accordance therewith) with applicable zoning ordinances, building codes or other governmental or quasi-governmental laws, ordinances, rules and regulations or defects in or arising from such plans, specifications or other items (including, without limitation, defects relating to engineering matters, structural and design matters and the quality or suitability of materials).
- (g) For so long as Declarant is a class B member of the Association, or until such time as the Declarant notifies the Board of Directors in writing of its desire to have the Association elect the members of the Committee, the Declarant shall serve as the Committee, and shall exercise the authority to approve plans and other matters set forth in this article. After Declarant divests itself of all Lots within the property, or so notifies the Association in writing, the Committee consisting of as many members as it chooses shall be appointed by the Board of Directors to serve for a term of one year or until their successors have been duly appointed in the event of the death, resignation or removal by the Board of Directors of a member of the Architectural Review Committee.
- (h) With the submission of the plans and specifications, the owner shall pay a non-refundable architectural review fee to the Declarant in such amount as may be established from time to time by the Declarant for the review of the plans and specifications, so long as the Declarant is acting as the Committee, and thereafter shall pay to the Board of Directors such fee as may be approved from time to time for architectural review of the plans and specifications by the Committee.
- (i) Basis for Denial of Plans. The Committee may base its denial upon purely aesthetic reasons so that the decision is arbitrary. Each Lot owner should meet with a representative of the Committee prior to submission of plans and the incurring of expenses in order to be informed and receive the architectural quidelines and the requirements for approval.
- (j) Architectural Guidelines. The guidelines shall be initially established, enforced and amended from time to time by the Declarant, and thereafter by the Committee after the Committee is appointed by the Board of Directors. At such time as the Board of Directors appoints members to the Committee, then the Board of Directors shall be the only agency under these Covenants that may amend the guidelines and such change or amendment shall require 75% approval of the full Board of Directors.

Section 2. Use Restrictions.

- (a) All numbered Lots shall be used for single family residential purposes only. No structures shall be constructed, altered, placed or permitted to remain on any Lot in the Subdivision unless the same is a single-family residence.
- (b) Mobile homes, recreational vehicles, trailers, manufactured homes, modular homes, tents and all other structures of a temporary character are expressly prohibited from being placed, put or maintained on any Lot at any time. Provided, this prohibition shall not apply to shelters used by a contractor or builder during the construction of a single-family dwelling so long as said temporary shelter is not used at any time as a resident and said temporary shelter is immediately removed following completion of the dwelling. As used herein, the term "mobile home" and "manufactured home" shall have those definitions and meanings set forth

in N.C. G.S. 41-2.5, N.C. G.S. 143-143.9(6), and N.C. G.S. 143-145(7). Provided, that the width and length of a manufactured home, or mobile home shall be irrelevant and inapplicable as it is the intent of these Covenants to prohibit manufactured homes, modular homes and mobile homes of all sizes regardless of length or width.

- (c) Only on-site stick built detached single-family homes first submitted to and approved by the Architectural Review Committee shall be permitted on any of the Lots within the Subdivision. A "modular" home which is defined herein as a prefabricated structure having floors, walls, ceilings, or roof composed of Articles or panels of varying size which have been fabricated prior to erection on a building foundation, may only be approved after the thorough review by the Architectural Review Committee to verify that the structure and aesthetics meet or exceed on-site stick built quality. Nothing herein shall prohibit pre-assembled and manufactured floor trusses, unfinished wall panels, or window or door components from being used. Pre-assembled and manufactured roof trusses are prohibited unless specifically approved by the Committee. No buildings or structures of any kind shall be permitted on any Lot within the Subdivision unless first submitted to and approved in advance by the Architectural Review Control Committee.
- (d) All fuel tanks or similar storage receptacles are prohibited from being exposed to view and shall be buried underground if possible, or such receptacles may be installed only within the main dwelling house, within a permitted accessory building, or within a screened area. Provided, the Declarant shall be permitted to erect, place or permit the placement of tanks, equipment and other apparati within the Subdivision for uses related to the provision of sewage, water and other utilities to the Subdivision.

Section 3. Minimum Building Requirements.

No residential structure shall be constructed on any of the residential Lots within the Subdivision unless the residential structure shall contain the minimum square feet of enclosed dwelling area prescribed for such residential structure. Each residential structure shall contain a minimum of 1500 square feet of enclosed dwelling area. As used herein the term "enclosed dwelling area" shall mean the total enclosed heated area within a dwelling, excluding garages, terraces, decks, unenclosed porches, and similar areas. In the event the Declarant specifies a higher minimum square footage of enclosed dwelling area in deeds to purchasers of Lots within the Subdivision than as set forth in this Section, then the higher minimum square footage figure set out in the deed shall be controlling and shall be complied with.

- (a) No building shall be erected or allowed to remain on any Lot in said Subdivision within 30 feet of the street abutting the front of each Lot or within 15 feet of any sideline of each Lot, within 10 feet of any side street, or within 25 feet of the rear Lot line, or as said setbacks may be shown on the recorded maps of the Subdivision, whichever is the greater amount of setback. Outbuildings other than the primary structure shall meet the zoning ordinance set back requirements. If due to topography, irregular Lot shape or similar factors directly related to other Lots within the Subdivision, the setbacks herein would create a hardship or burden on an owner, upon written application to the Committee, the Committee is authorized to vary said setbacks the minimum amount necessary in order to provide for a suitable and aesthetically pleasing structure on the subject Lot. However, any such variance by the Committee would be subject to prior approval by the Town of Beaufort or other governmental agency having authority over the issuance of building permits and enforcement of Subdivision or zoning setback requirements.
- (b) The exterior of all houses and other structures must be completed within twelve (12) months after construction is commenced, except under such circumstances where such completion is impossible or would result in great hardship to the owner or

builder due to strikes, fires, national emergency or natural calamities. No house may be occupied unless it has been built substantially in accordance with the approved plans and specifications as approved by the Committee and a certificate of completion has been issued by the appropriate governmental inspector. During all periods of construction, the Lot owner shall be responsible for providing suitable receptacles for debris, trash, building materials, and the like, and shall be responsible for insuring that trash and debris from construction activities does not move to or accumulate on adjoining properties, the Subdivision streets or roads, or common areas. Additionally, each Lot owner shall be responsible for the damages to Subdivision roads, utilities, and vegetation within the common areas, on adjoining Lots, or within the Subdivision roads and utility easements, as may be caused by the acts or omissions of each Lot owner's contractors, subcontractors, material suppliers, agents or employees.

- (c) Each Lot owner shall provide receptacles for garbage and trash in a screened area not generally visible from the road giving access to the premises, and the Declarant and/or Association may require the purchase and use of uniform specified roll-out containers meeting the requirements of the Town of Beaufort or contractor providing trash pickup services. All fuel tanks shall be underground if possible, or otherwise screened, and wood piles shall be enclosed within a fence, wall or plant screen so that the same shall not be visible from any street or residence in the Subdivision. All mailboxes and the house or street numbering system and identification letters shall be uniform as approved and specified by the Architectural Review Committee and Declarant.
- (d) Each Lot owner shall provide space for parking two automobiles off the street prior to the occupancy of any dwelling constructed on said Lot and automobiles shall not be parked on the streets within said Subdivision, except for special events approved by the Association.
- (e) Each Lot owner may be permitted, if approved by the Architectural Review Committee, the right to build, erect or maintain either a detached garage or one additional detached structure if the garage is attached to the main dwelling. Any detached structure to be used as a cabana or gazebo shall not exceed one story in height, and any detached building used as a garage shall not exceed one and a half stories in height. No detached building shall be used for any activity normally conducted as a business. Any cabana or gazebo shall be so located where the same does not interfere with the view of adjoining Lot owners as determined by the Architectural Review Committee. All detached buildings shall be prohibited from being constructed prior to the construction of the main dwelling, and all detached buildings shall comply with all setback requirements set forth herein for the main dwelling. Every detached building shall be built of the same quality and type of materials and so designed as to be compatible with the main dwelling house located on the same Lot. All detached buildings shall be located no closer to the street on which the Lot fronts than the detached single-family dwelling located thereon.
- (f) A minimum of 50% of the Lot area (including areas within easements which may require clearing) shall be set aside and preserved in order to reduce the amount of stormwater run-off and destruction of existing vegetation, herein known as "Natural Area". Each Lot owner shall be prohibited from cutting, killing, or otherwise providing for the removal either directly or indirectly of any tree on any Lot within the Subdivision exceeding four inches in diameter except for any tree or vegetation not within the Natural Area as may be required for the proposed improvements on the Lot, or suitable safety zone around the same, or driveway or view corridor, without the prior written approval of the Architectural Review Committee. Additionally, each Lot shall comply with the maximum amount of impervious surface allowed on each Lot herein know as Built-upon Area and contemplated in Exhibit D. Each Lot owner may only clear a 16' wide pervious driveway within the 30' front setback of the lot. The Architectural Review Committee is authorized to allow the cutting or removal of trees that are diseased

- or damaged, or constitute a potential damage to structures, automobiles or persons on the subject Lot or adjoined Lots. The Committee shall be guided by the intent of the Declarant herein that existing vegetation within the Natural Area be protected.
- (g) Clothes lines and television satellite disks exceeding twenty-four (24) inches in diameter are expressly prohibited. Any television satellite disk meeting the requirements of not exceeding 24 inches in diameter shall additionally be installed at a location to the rear of the main dwelling and screened appropriately with fencing or vegetation so that the same may not be seen or observed from the Subdivision street on which the Lot fronts.
- (h) The pickup of garbage, trash and refuse shall be in accordance with such rules and regulations as may be established from time to time by the Salt Wynd Preserve Owners' Association, Inc. and the Town of Beaufort and the Association and/or Town may require the purchase and use of rollout containers.
- (i) All driveways leading from the Subdivision road to the dwelling and/or structure located on said Lots shall be constructed of a pervious material as approved by the Architectural Review Committee. The layout of driveways so that the structures are hidden from the Subdivision road is highly recommended.
- (j) No campers, boats, recreational vehicles or commercial trucks shall be parked at any time on any Lot unless the same is enclosed within a garage or accessory building which has been approved by the Architectural Review Committee.
- (k) The only permitted access to each Lot from the Subdivision streets shall be over a driveway constructed over the drainage ditching and swales along the Subdivision roads which conforms to the slope of the existing swale. No Lot owner shall fill in or alter any of the drainage system, ditches or swales of the Subdivision without the written approval of the Declarant.
- (1) No wire or chain link fencing is permitted on any Lot or portion thereof. All other fencing materials shall be approved in advance by the Architectural Review Committee before being used or installed, and no fencing of any type shall be erected, placed or allowed to remain on the front Lot line or street side of any Lot unless the location, appearance and type of construction is first approved by the Committee.
- (m) Permanent above ground swimming and wading pools are prohibited. Portable "kiddie" pools are permitted.
- (n) An elevator located on the exterior of a house and visible from the street or adjoining Lots is prohibited.

Section 4. Nuisances, Inoperable Vehicles, Etc.

- (a) No unserviceable motor vehicles, appliances or other assorted junk and useless materials may be kept on any Lot. All Lots shall be maintained free and clear of rubbish and debris.
- (b) No noxious or offensive activity shall be carried on upon any Lot, nor shall anything be done thereon tending to cause embarrassment, discomfort, annoyance or a nuisance to the neighborhood. No horses, fowl, livestock or other animals shall be allowed on any of the Lots without prior approval and in accordance with Town of Beaufort restrictions, except that Lot owners actually residing upon their Lots may keep pets which are customarily domesticated, tame and considered house pets such as dogs, cats and birds. Pets will be on a leash and under the owner's control at all times.

(c) All buildings, structures and their appurtenances as well as the landscaping, sodding and appearance of each Lot including vacant Lots shall be maintained in a reasonable state of repair and aesthetically pleasing in appearance without unsightly weeds and similar conditions. In the event of damage to a building or other structure by fire or other casualty, the exterior of a building or structure shall be repaired within six (6) months or the building structure shall be demolished and the premises cleared of debris within six (6) months of the date the damage occurred. In the event a Lot owner fails to comply with the requirements of this paragraph and written notice is given by the Declarant or Board specifying manner of default by the owner and the owner thereafter fails to correct the conditions, the Declarant and Board may cure default by having the conditions corrected and the costs of the same may be assessed as a lien against the Lot and the Lot owner, and the lien may be enforced in the manner as set out in Article V above.

Section 5. Signage and Political Signs.

Without the prior written permission of the Architectural Review Committee, no sign of any character shall be displayed on any Lot except for a property identification sign not exceeding two square feet, and "for sale" signs not exceeding three square feet in size each that may only be placed by the Declarant. All signs must be professionally designed and built so that the appearance of signage is uniform. Nothing herein shall prohibit the Declarant from erecting, placing or maintaining such signs as may be deemed necessary or appropriate by the Declarant for carrying out the Declarant's identification and marketing of the Subdivision. Political signs may be displayed not earlier than 45 days before the day of the election and not more than 7 days after the election for which the signs are directed, and the Association Board may regulate the size and number of such signs that may be placed on an owner's Lot so long as the rules are not more restrictive than the Town of Beaufort's restrictions regarding the size and number of political signs on residential property. The Board shall adhere to the requirements of NCGS 47F-3-121, as amended with regard to such regulations.

Section 6. Subdividing.

Except as to any Lot still owned by the Declarant, no Lot shall be further subdivided, or its boundary lines changed, except with the prior written consent of the Declarant. Likewise, no Lot shall be used as a street, road, lane, way or easement over which access may be obtained from a Salt Wynd Preserve Subdivision Lot to adjacent properties without the specific written consent of the Declarant. In the event the Declarant hereafter determines it necessary to alter or change any boundary lines or Lot, then a revised plat of said Subdivision or Article thereof subject to the alteration or change shall be recorded, and all such Lots thereon shall be subject to the terms and conditions of these Covenants.

Section 7. Lot Re-combinations.

In the event an owner owns two adjoining Lots and builds one residential structure thereon so that an additional primary residential structure may not be constructed thereon, so that the owner effectively combines two Lots into one Lot, then the owner upon application to and approval by the Board of Directors, may be permitted to pay dues and assessments for only one Lot. Upon such approval by the Board of Directors, thereafter binding on future boards and the Owner's Association, the Lot owner's vote at any special or annual meeting shall be reduced from one vote per Lot to one total vote, and the minutes, records and membership list of the Association shall be so amended. Any further division of the recombined Lots thereafter or the sale of one or more parts of either Lot for future development will thereafter void such approval and the Board is thereafter authorized to collect dues and assessments for each Lot owned and the vote of the Lot owner shall be restored to one vote per Lot.

Section 8. Stormwater Restrictions on Built-Up Area and Related Restrictions.

In order to comply with the rules and regulations of the North Carolina Division of Coastal Management and other state agencies with regard to stormwater runoff and the State Stormwater Management Permit XXX as issued by the Division of Water Quality under NCAC-2H-10005, and to meet the Town of Beaufort's maximum impervious Lot coverage requirements under its ordinances, each owner of a Lot shall be restricted to maintain the Natural Area when clearing the Lot and constructing and using as "built-upon" area not more than the specified square footage of impervious coverage of each Lot within its boundaries as herein specified in Exhibit D, inclusive of that portion of the right-of-way between the front Lot line and the edge of the pavement, including structures, pavement (asphalt, concrete, gravel, brick, stone, slate and coquina) but not including raised, open wood decking or the water surface of swimming pools. "Built-upon area" is defined as that portion of a residential Lot that is covered with impervious or partially pervious cover including buildings, pavement, recreation facilities, etc., but not including open decking. The square footage per Lot as described in Exhibit D shall be the maximum built-upon area allocated to each Lot in the subdivision and any request for additional built-upon area in excess of the permitted amount will require an allocation from any remaining built-upon area available to the Property. For those Lots which contain CAMA's Area of Environmental Concern area, only the improvement(s) described in Exhibit will be permitted by the Committee and whereas DCM may calculate a different maximum Lot built-upon area, the governing Lot BUA shall be the more restrictive of the two numbers.

All runoff from built-upon areas on the Lot must drain into the permitted storm water system either through roof drain gutters, or grading the Lot. The State of North Carolina and the Town of Beaufort are third party beneficiaries to the provisions of this paragraph and may enforce the same through proceedings, in law or in equity. The filling in or piping of any vegetative conveyances (ditches, swales, etc.) associated with the Subdivision except for average driveway crossings, is strictly prohibited by any owner, Declarant or third-party person, firm or corporation.

Section 9. Compliance with Environmental Regulations.

The stormwater detention swales, drainage facilities, roads, utilities, Areas of Environmental Concern, common areas and other properties within the Subdivision shall be maintained at all times in a manner consistent with all town, state and federal agencies, and the State of North Carolina and the Town of Beaufort shall have standing to enforce the provisions of these Covenants with regard thereto. Any individual or entity found to be in noncompliance with the provisions of the stormwater management permit or the requirements of the stormwater rules is subject to enforcement procedures as set forth in Chapter 143, Article 21, North Carolina General Statutes. Alteration of the drainage as shown on the approved plans may not be undertaken without the concurrence of the Division of Water Quality.

Section 10. Wetlands.

Declarant has caused to be shown and delineated on a wetlands survey plat (herein wetlands survey) all wetland areas. All of the Properties subject to this Declaration shall also be subject to the special provisions herein relating to wetlands. Declarant shall have the authority and right to restrict and prohibit any future filing or other detrimental activities in the wetland areas which presently exist within the identified areas of the Property. Accordingly, all wetlands shown and delineated on the wetlands survey shall be maintained in perpetuity in their natural or mitigated condition unless written permission or consent is secured from Federal and/or State Agencies. No person or entity shall fill, grade, excavate, or perform any other land disturbing activities; nor cut, remove, or harm any

vegetation; nor construct any structures, nor allow animal grazing or watering or any other agricultural use on such conservation area, except with prior written consent. Benign structures, such as pile-supported walkways and/or docks, are allowed on Lots herein specified in Exhibit D and may be permissible only after reviewed and written consent is provided by the U.S. Army Corps of Engineers to the Owner and the Architectural Review Committee. This covenant may be enforced by both the State of North Carolina and the United States of America. These covenants and conditions are to run with the Property and shall be binding on the Declarant and all future owners of Lots and all parties claiming thereunder.

This Article shall not be amended or modified without the express written consent of the U.S. Army Corps of Engineers, Wilmington District.

Section 11. Rentals.

Only long-term rentals for periods of not less than three (3) continuous months of Lots and houses thereon shall be allowed. Rentals for periods less than three (3) months duration is prohibited.

Section 12. Vehicle Use.

The Association may regulate the type of vehicles that are used on the Subdivision's streets. Dirt bikes, mopeds and go-carts are prohibited. All golf carts must be driven by a licensed driver.

Section 13. Exclusive Right to Sell.

Until such time as described in Section 2a(2) when Declarant has converted its' remaining Class B shares into Class A shares, the Declarant shall have the exclusive right to list and sell all Properties with the Project. Each owner Covenants and agrees, and each subsequent owner of any such Lot Covenants and agrees to this section.

Section 14. Recreational Amenities.

Parks, recreational amenities and other common areas and facilities assigned to, purchased, or otherwise provided for by the Association for the use and enjoyment of members of the Association are provided on a first come, first serve basis for the sole use of Owners and their guests. At no time may these facilities be used by people outside of the Association at the invitation of Owners and/or their guests. The Committee may draft and enforce additional restrictions regarding these areas as may be required. Use of these facilities are a privilege and not a right of Owners within the Association if said Owner abuses said privilege, destroys common area property and/or monopolizes its use. All Owners and their guests waive all liability to the Association during their use of the common areas and facilities.

Article VII - Easements

Section 1. Utility Easements.

The Declarant reserves unto itself a perpetual, alienable and releasable easement and right-of-way on, over, under, through and upon the ground with men and equipment to erect, maintain, and inspect, repair and use electric and telephone poles, wires, cables, conduits, sewers, water mains and pipes and other suitable equipment for the conveyance and use of electricity, telephone equipment, gas, sewage, water and community utilities or conveniences in and over the front fifteen feet of each Lot and five feet along one side line of each Lot and such other areas as may be shown on the recorded map of the Subdivision, together with the right to cut drainways for surface water whenever action may appear to the Declarant to be necessary in or to maintain reasonable standards of health, safety and appearance.

These easements and rights-of-way expressly include the right to cut trees, bushes or shrubbery, grading of the soil, or to take similar actions reasonably necessary to provide economical and safe utility installation and to maintain reasonable standards of health, safety and appearance. The Declarant further reserves the right to assign said easements to one or more public or private water and/or sewer utility companies for service to each Lot in the future. The Declarant further reserves the right over the front fifteen feet of each Lot for sidewalk infrastructure.

Section 2. Street Lighting.

The Declarant reserves the right to subject the real property in this Subdivision to a contract with the utility company serving the property for the installation of underground electric cables which may require an initial contribution and/or the installation of street lighting, which will require a continuing monthly payment to the applicable electrical utility company by the owner of each lot or the Association.

Section 3. Drainage Easements.

Each Lot owner shall keep free and clear any and all drainage easements shown on the recorded map of the Subdivision, and each owner shall in no way obstruct, block or impede the flow of water through said drainage easements. In the event any Lot owner should obstruct, block or impede the flow of water through said drainage easements or allow said obstruction or blockage to remain so as to impede the flow of water, then the Declarant, Association of property owners, or one or other property owners within the Subdivision shall have the right to clear said drainage easements and to recover from the party responsible the cost of said clearing if said obstruction or blockage were the results of deliberate acts or negligence of the responsible party. Alteration of the drainage as shown on the approved plans may not take place without the concurrence of the North Carolina Division of Water Quality.

Section 4. Subdivision Identification Signs.

The Declarant reserves the right to place gates, signs, fencing, brick or stucco walls, or other appropriate structures identifying Salt Wynd Preserve Subdivision within the subdivision as well as one or more areas adjacent to or in close proximity to the intersection of all public access roads so as to identify said Subdivision and to protect the privacy and well-being of owners and residents. In the event any part of the walls, fencing or structures encroach onto any Lot, said encroachment may continue and the Declarant reserves the right to go on, over, under, through and upon the ground of such portion of the Lots as may be necessary in order to make repairs or alterations to said walls and signs.

Section 5. Stormwater Swales and Drainage Easements.

The recorded plat indicates stormwater swales, open spaces and drainage easements for the movement of stormwater. These facilities are privately dedicated to the owners of Lots within the subdivision for the placement and drainage of stormwater and it shall be the responsibility of the Association to maintain the drainage facilities, to clean out the same from time to time, to provide for and pay utility costs associated with operation of the same, and to assume all costs of operation and management of the same. The Association shall be obligated to establish a time schedule for permanent maintenance of the pond and drainage facilities in accordance with State of North Carolina and Town regulations, and to submit reports as required for management and operation of the same. Declarant at such time as management of the Association is turned over to the membership will transfer and convey said easements and areas to the Association.

Article IX - Covenants Run With the Land Rights of the State of North Carolina and Town of Beaufort

These Covenants and restrictions shall run with the land and inure to the benefit of the Lot owners for a term of twenty-five (25) years from the date this Declaration is recorded. Thereafter, said Covenants shall be automatically renewed and extended for successive periods of ten (10) years each. These Covenants and restrictions may be amended by an instrument executed by owners of Lots equaling or exceeding two-thirds of the Lots within said Subdivision. Any amendment adopted pursuant to this Article. must be properly recorded.

The State of North Carolina and the Town of Beaufort are made beneficiaries of these covenants to the extent necessary to maintain compliance with the stormwater maintenance permits issued in conjunction with this subdivision. The Covenants pertaining to stormwater may not be altered or rescinded without the express written consent of the State of North Carolina, Division of Water Quality, and the Town of Beaufort.

Article X - Violations

In the event of a violation or breach of any of these Covenants by any Lot owner or other person, the Declarant, Owners' Association or any one or more owners of Lots in the Subdivision, or any of them jointly or severally, shall have the right to proceed at law or in equity to compel compliance with the terms and conditions set forth herein and to prevent the violation or breach of these Covenants, and to recover damages as compensation for a breach or violation of these Covenants. Any failure to enforce any right, reservation, or conditions contained in these Covenants, however long continued, shall not be deemed a waiver of the right to do so hereafter as to the same breach, or as to a breach occurring prior or subsequent thereto, and shall not bar or affect its enforcement.

Article XI - Invalidation

The invalidation by a court or other public agency of any of the provisions of these Covenants shall not in any way affect any of the remaining provisions, and the same shall remain in full force and effect.

Article XII - Initial By-Laws of Salt Wynd Preserve Owners Association, Inc.

The initial by-laws adopted by the Board of Directors of said Association are set forth on Exhibit A to these Restrictive Covenants. All owners of Lots and the guests, families and invitees of regular members, shall be bound by and fully comply with the by-laws of said Association a well as the Articles of Incorporation of said Association attached as exhibit B. The Association shall have the authority to adopt amendments to the by-laws governing the business and affairs of the Association from time to time in the manner and procedures prescribed by the by-laws and Articles of Incorporation. The by-laws set forth the organization of the Board of Directors and officers, the time and manner of meetings of the Association, quorum and voting procedures, and other rights, powers, responsibilities, duties and obligations of the officers, directors and members of the Association.

The Association shall further have the authority to adopt from time to- time rules and regulations regarding the duties and responsibilities of the Association and its individual members with regard to the use, enjoyment, maintenance, ownership, upkeep and maintenance of Association properties and the purposes of the Association.

In witness whereof, the Declarant has executed this instrument on the day and year first above written.

BEAUFORT AGRIHOOD DEVELOPMENT, LLC

Ву:			
Member	Manager		
HOME	Hanager		

STATE OF NORTH CAROLINA COUNTY OF CARTERET

a Notary Public, in and for said County and state, do hereby certify that Beth Clifford Member Manager for Beaufort Agrihood Development, LLC, personally appeared before me this day and acknowledge the due execution of the foregoing instrument for and on behalf of Beaufort Agrihood Development, LLC and acknowledged the due execution of the foregoing and annexed instrument for the purposes therein expressed for and on behalf of the limited liability company.

Witness my hand and official seal or stamp this the day of XXX, 2021.

Notary public

My commission expires:

EXHIBIT A

By-Laws of Salt Wynd Preserve Owners Association, Inc.

Lot	Gross Lot Area	Building Envelope:	Natural Area (minimum)	Built-upon Area- (maximum)	Building within Area of Environmental Concern	AE6 Floodplain	
alami a ayyan yang bap L	21,571	9,527	10,786	4,000	11/4	No	
2	20,239	10,248	10,120	4,000	R/A	Tlo	
	20,180	10,197	10,690	4,000	n/A	Yes	
4	21,413	9,355	10,707	4,000	 18/A	Yes	
5	24,421		12,211	4,000	II/A	Yes	
6	20,441		10,221	4,000	IE/A	Yes	
7	23,403		11,702	4,000			
В					U/A	110	
	22,740		11, 370	4,000	н/л	Yes	
9	21,593		10,797	4,000	u/A	Yes	
10	22,237		11,119	4,000	N/A	Yes	
	22,518		11,259	4,000	ti/λ	Yes	
12	21,289		10,645	4,000	0/A	Yes	
13	23,089		11,545	4,000	II/A	Yes	
35	22,88)		11,441	4,000	Yes	Yes	
36	21,318		10,559	4,000	Yes	Yes	
37	29,706		14,853	4,500	You	Yes	
30	32,042		16,021	4,500	Yes	Yes	
39	24,394		12,197	4,000	Yes	Yes	
40	29,944		14,972	5,000	Yes	Yes	
41	25,402		12,701	5,000	Yes	Yes	
42	27,898		13,949	5,000	Yes	Yas	
43	50,263		25,132	6,500	Yes	Yes	
44	34,128		17,064	5,000	Yes	Yes	
45	38,210		19,105	5,000	Yes	Yes	
46	30,455		15,226	4,500	Yes	Yes	
47	29,423		14,712	4,500	N/A	Yes	
48	29,140	***************************************	14,574	4,500	II/A	Yes	
49	20,698		10,349	3,500	B/A	Yes	
50	23,075		11,538	3,500	0/A	No	
51	21,923		10,962				
				4,000	t!/A	Yes	
52	21,078		21,078	4,000	N/A	Yes	
53 [54,092		27,046	5,000	ti/A	Yes	
54	36,301		10,151	4,000	H/A	No .	
55	39,728		19,364	4,000	——————————————————————————————————————	Ho .	
56	25,189		12,595	3,500	II/A	No	
5?	56,584		28,292	4,500	A\t	No	
58	31,805		15,903	4,000	n/A	tto	
59	29,383		14,692	3,500	н/л	ţlo	
60	21,739		10,870	3,500	n/A	но	
61	25,145		12,573	3,500	и/л	llo	
62	22,312		11, 156	3,500	11/A	Ilo	
63	20,245		10, 123	3,500	n/A	Ilo	
64	20,484	and the same of th	10,242	3,500	II/A	No	
65	20,314		10,157	3,000	н/л	по	
66	22,166		11,083	4,000	N/A	По	
67	27,109		13,555	4,000	A/II	Ио	
68	27,645		13,823	4,000	A\u	llo	
og-residential Preserv		2, 2022		0			
id Preserv ROW	e CCRs Fet	3 6, 6066		ů.		Page 23	ΟÏ
	1,389,248		172	194,000			

Salt

EXHIBIT B

Articles of Association of Salt Wynd Preserve Owners Association, Inc.

EXHIBIT C
Subdivision Restrictions imposed by the Town of Beaufort

EXHIBIT D

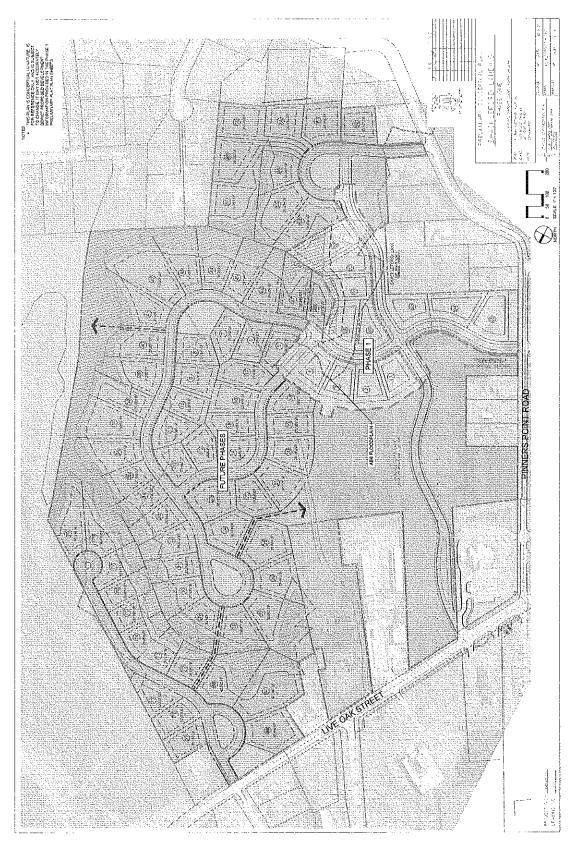
Lot Specific Requirements and Restrictions (in square footage)

¹ Gross Lot Area minus setbacks

² Synonymous with Impervious Coverage

³ Parks and non residential use

EXHIBIT E FEMA AE6 Floodplain





January 21, 2022

Beaufort Agrihood Development, LLC 312 Hendrick Street Beaufort, North Carolina 28516

Attn: Ms. Beth Clifford

Revised Report of Soil Subgrade Investigation

Proposed Shackleford Landing Agrihood Live Oak Street and Pinners Point Road

Beaufort, North Carolina

Terracon Project Number 72221001

Dear Ms. Clifford:

Re:

Terracon Consultants, Inc. is pleased to submit this Report of Soil Subgrade Investigation for the above referenced site. This assessment was performed in accordance with Terracon Proposal Number P72221001, dated January 5, 2022. It is our understanding that the work is required to assist with the design of pavements for the proposed subdivision, which may include permeable pavements. This report discusses the fieldwork performed, the laboratory tests assigned, the results of these tests and a short discussion of our findings.

1.0 FIELD EXPLORATION

The field exploration was performed on January 7, 2022. Four locations were designated for testing in accordance with a drawing provided by Stroud Engineering. The test locations, along the proposed street alignments, were located in the field using a hand-held GPS. The soil subgrade was explored by advancing hand auger borings for the purpose of determining the Seasonal High Water Table (SHWT) and to obtain representative soil samples for laboratory testing. At the time of our site visit, the site was a combination of open fields and thickly wooded areas. Paths had been cut through the wooded portions of the site that allowed for easier access.

A composite soil sample from Test Locations 1, 3 and 4 was obtained for laboratory testing. Test Location 2 was visually classified as a clayey sand, noticeably more clayey than the other samples, and was not included in the laboratory testing. The water table at this location was also higher than the other test locations.



Terracon Consultants, Inc. 314 Beacon Drive, Winterville, NC 28590
P [252] 353-1600 F [252] 353-0002 terracon.com Registered NC F-0869

Soil Subgrade Investigation

Shackleford Landing Agrihood Beaufort, NC January 21, 2022 # Terracon Project No. 72221001



SHWT at this location is at a depth of 26 inches. The water table at the time of testing was at 45 inches.

Test location 4 - According to the USDA Soil Survey of Carteret County, is mapped as an Altavista loamy fine sand, 0 to 2 percent slopes. This soil is moderately well drained, with moderate permeability. This test location was in the taller pine trees at what was perceived to be a higher elevation. At this location, orange and brown silty sand with gray mottles (redoximorphic colors) were encountered at a depth of 40 inches below grade. Based on our fieldwork, the SHWT at this location is at a depth of 40 inches. The encountered soils became increasingly clayey with depth. The water table at the time of testing was at 75 inches.

Boring logs and infiltration testing data are attached with this report.

4.0 DISCUSSION

Test locations 1, 3 and 4 encountered similar silty sand and appeared to be suitable for street subgrades.

Test location 2, which appeared to be at a lower elevation and near a drainage feature encountered a higher groundwater table. These soils, which were classified in the field as a clayey sand, will likely require moisture conditioning and/or undercutting and replacement in order to be suitable for street subgrades.

As always, we appreciate this opportunity to be of service. Should you have any questions regarding the services provided to date, or if we can be of further assistance, please contact us sincerely,
Terracon Consultants, Inc

Carl F. Bonner, PE

Principal / Office Manager

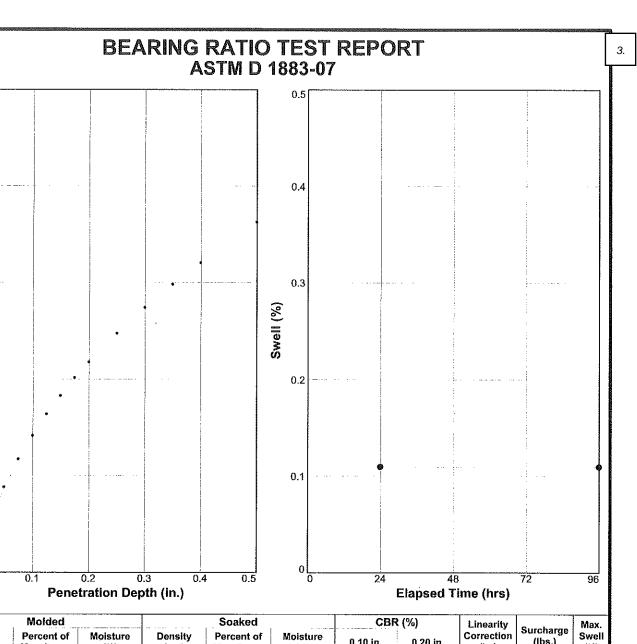
Branson Rogers

Geotechnical Professional

Attachments

Responsive m Resourceful m Reliable

4 - 43 - 59 5 5



	Molded			Soaked		CBI	₹ (%)	Linearity	C	Max.	
	Density (pcf)	Percent of Max. Dens.	Moisture (%)	Density (pcf)	Percent of Max. Dens.	0.10 in 0.20 in	Correction (in.)	Surcharge (lbs.)	Swell (%)		
1 😕	113.5	96	11.6	113.3	95.9	14.0	14.1	14.5	0,000	10	0.1
2 / 3 LI									TO THE PARTY OF TH		
1		-	Material	Description				Max.	Optimum	i T	·

Material Description	USCS	Max. Dens.	Optimum Moisture	LL	PI
m i i i e i		(pcf)	(%)		
Material Description Tan brown and gray clayey fine sand	SC	118.2	11.9	24	10

Project No: 72221001

500

400

300

200

100

Penetration Resistance (psi)

Project: Shackleford Landing Soil Testing

Location: Live Oak Street & Pinners Point Road; Beaufort, NC

Sample Number: 221001-1

Depth: 1-2.5 ft

Date: 1-12-22

BEARING RATIO TEST REPORT

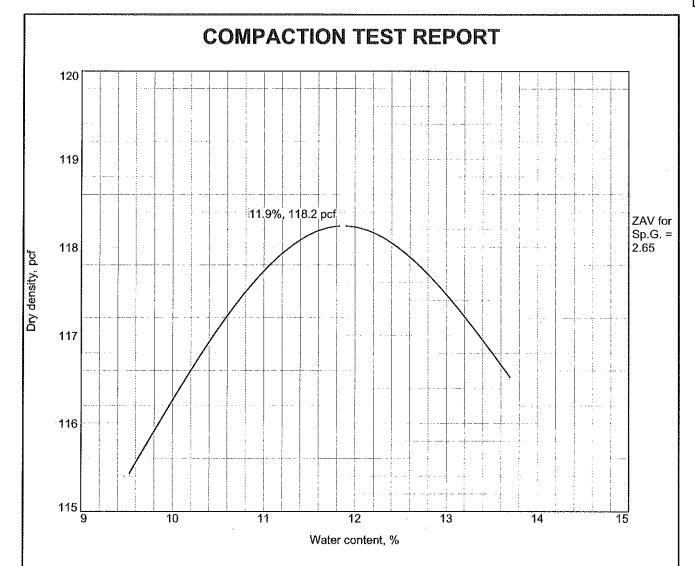
Terracon Consultants, Inc.

Test Description/Remarks:

ASTM D1883; Soaked

Proposed soil subgrade for street; Natural moisture is 17.7%

Figure CBR-1



Test specification: ASTM D 698-12 Method A Standard

Elev/	Classification		Nat.	C C		PI	% >	%<	
Depth	USCS	AASHTO	Moist.	Sp.G.	LL	171	#4	No.200	
1-2.5 ft	SC	A-2-4(0)	17.7%		24	10	0.0	29.7	

TEST RESULTS MATERIAL DESCRIPTION Tan brown and gray clayey fine sand Maximum dry density = 118.2 pcf Optimum moisture = 11.9 % Project No. 72221001 Client: Beaufort Agrihood Development, LLC Remarks: Project: Shackleford Landing Soil Testing Proposed soil subgrade for project street Live Oak Street & Pinners Point Road; Beaufort, NC 28516 Sample Number: 221001-1 Location: On site excavation Terracon Consultants, Inc. Winterville, North Carolina Figure 221001-1

Tested By: LW

Checked By: LW

	Est Control of the Co	BORING LO	G NO.	Test 2	Page 1	of 1	
PRC	OJECT: Shackleford Landing Soil Tes	sting	CLIENT:	Beaufort Agrihood Developmen Beaufort, NC			
SITE	E: Live Oak Street & Pinners Poi Beaufort, NC	int Road	-				
ဗ္ဗ L	OCATION See Exhibit A-2				·	回答	?
GRAPHIC LOG	.atitude: 34.7310° Longitude: -76.6312°			Approximate Surface Elev.: 4 (Et.) +/- OEPTH (Ft.)	WATER LEVEL	
<u>ኤ .</u> ያ	DEPTH TOPSOIL, 4 inches			ELEVATIO	N (Ft.)	> 0	-
11/ ₀	.3				3.5+/-		
	SILTY SAND (SM), dark gray						
	.0 CLAYEY SAND (SC), orangish yellow				3+/- 1		
					2		
2.	.5 Boring Terminated at 2.5 Feet				1.5+/-		
· Company Marketing and Asset Company of the Compan							
	Stratification lines are approximate. In-situ, the transition m SHWT= 12 inches ment Method:		viotion of Sala	Notes:			
Hand A		See Exhibit A-3 for desc procedures. See Appendix B for desi procedures and addition See Appendix C for expl abbreviations.	cription of labora al data (if any). lanation of symb	ratory bots and			
	WATER LEVEL OBSERVATIONS	Elevations were interpol site plan.	ated from a tope				
Z v	While sampling		a)(C(O	Boring Started: 01-07-2022 Boring	Completed: 0	1-07-2	C
				Drill Rig: Driller	:		_
		314 Bez Winterv	ille, NC	Project No.: 72221001 Exhibi	t: A-2		

			BORING LO	G NO.	Test	: 4	P:	age 1	of 1	
PR	OJECT	: Shackleford Landing Soil Te	esting	CLIENT:	Beauf Beauf	ort Agrihood Dev ort, NC	elopment, LL	C		
SIT	ľE;	Live Oak Street & Pinners Pe Beaufort, NC	oint Road			,				
GRAPHIC LOG)N See Exhibit A-2 4.7341° Longitude: -76.6301°				Approximate Surf	ace Elev.: 6 (Ft.) +/-	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE
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4.24	0.3 <u>SIL.T</u>	Y SAND (SM), gray					5.5+/-		ANNANAMAN PANANAMAN PANANAMANAMAN PANANAMAN PANANAMAN PANANAMAN PANANAMAN PANANAMAN PANANAMANAMANAMAN PANANAMANAMANAMANAMAN PANANAMAN PANANAMANAMANAMAN PANANAMANAMANAMANAMANAMANAMAN PANANAMANAMANAMANAMAN PANANAMANAMANAMA	
The second secon	1.0 <u>SILT</u>	Y SAND (SM), yellowish brown					5+/-	1 -	**************************************	***************************************
	2.0 SILT	Y SAND (SM), more clayey, orangish	brown				4+/-	2 -	-	Winds are a second
	3.5 CLA	YEY SAND (SC), brownish gray					2.5+/-	3 -	_	m)
								4	The state of the s	a property and the same of the
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							-0.5+/-	6 -	∇	
		ng Terminated at 6.25 Feet								
	Stratificati SHWT= 4	ion lines are approximate. In-situ, the transition 0 inches	may be gradual.							
Han	cement Meti d Auger onment Meti		See Exhibit A-3 for designocedures. See Appendix B for designocedures and addition See Appendix C for expabbreviations. Elevations were interpo	cription of labora nal data (if any). Nanation of symb	ools and	Notes:				
	WATE	ER LEVEL OBSERVATIONS	site plan			Boring Started: 01-07-2022	Boring Comple	 eted: 01	-07-20	 22
\square	While sa	mpling				Drill Rig:	Driller;			
			314 Be Winter	acon Dr ville, NC	Ī	Praject No.: 72221001	Exhibit: A	4		