



## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Planning Board Regular Meeting 6:00 PM Monday, May 19, 2025 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting**

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#### **Call to Order**

#### **Roll Call**

#### **Agenda Approval**

#### **Minutes Approval**

- [1.](#) PB Draft Minutes 042125

#### **Public Comment**

#### **New Business**

- [1.](#) Case #25-03 400 Airport Road Hanger 72 - Site Plan.
- [2.](#) Case 25-07 Site Plan – Boys & Girls Club at 497 Campen Road
- [3.](#) Case 25-09 Beaufort Bar SUP Outdoor Operation 410 Live Oak Street
- [4.](#) UDO Project Update

#### **Commission / Board Comments**

#### **Staff Comments**

#### **Adjourn**



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**Town of Beaufort Planning Board Regular Meeting**  
**6:00 PM Monday, April 21, 2025 - Train Depot, 614 Broad Street, Beaufort, NC 28516**  
**Minutes**

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**Call to Order**

Chair Neve called the April 21<sup>st</sup>, 2025 Planning Board meeting to order at 6:00 p.m.

**Roll Call**

The Secretary conducted the roll call for the meeting.

Members Present: Ryan Neve, Chair; Becky Bowler, Vic Fasolino, Tammy Hunsucker, George Stanziale, Jeff Vreugdenhil

Members Absent: Clark Patton

A quorum was declared with six members present.

Town Staff Present: Kyle Garner, Planning Director; Mr. Arey Grady, Town Attorney; Ms. Laurel Anderson, Board Secretary

**Agenda Approval**

*Member Bowler made the motion to approve the agenda and Member Fasolino made the second. Chair Neve took a vote that was unanimously approved.*

*Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Tammy Hunsucker, George Stanziale, Jeff Vreugdenhil*

**Election of Officers**

Town Attorney Arey Grady opened the floor for nominations for Chair.

*Member Vreugdenhil nominated Ryan Neve for Chair and Member Bowler made the second. Member Stanziale made the motion to close nominations for Chair and Member Fasolino made the second. Mr. Grady took a vote that was unanimously approved.*

*Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Tammy Hunsucker, George Stanziale, Jeff Vreugdenhil*

*Mr. Grady took a vote for Ryan Neve for the position of Chair 2 at was unanimously approved.*

*Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Tammy Hunsucker, George Stanziale, Jeff Vreugdenhil*

Town Attorney Arey Grady opened the floor for nominations for Vice-Chair.

*Member Vreugdenhil nominated Vic Fasolino for Vice-Chair. Member Bowler nominated George Stanziale for Vice-Chair. Chair Neve made the motion to close nominations for Chair and Member Stanziale made the second.*

*Member Fasolino declined the nomination for Vice-Chair.*

*Mr. Grady took a vote for George Stanziale for Vice-Chair that was unanimously approved.*

*Voting yea: Chair Neve, Becky Bowler, Vic Fasolino, Tammy Hunsucker, George Stanziale, Jeff Vreugdenhil*

**Minutes Approval**

*Vice-Chair Stanziale made the motion to approve the agenda and Member Fasolino made the second. Chair Neve took a vote that was unanimously approved.*

*Voting yea: Chair Neve, Vice-Chair Stanziale, Becky Bowler, Vic Fasolino, Tammy Hunsucker, Jeff Vreugdenhil*

**Public Comment**

Chair Neve then asked if anyone would like to speak.

Mr. Matt Zapp, Town Manager for the Town of Beaufort, introduced himself to the Board and thanked them for their service.

Ally Kristan, 444 Meeting St, spoke regarding saving the live oak tree on the 406 Live Oak mixed-use site plan.

**New Business**

- 1. Case #25-02 406 Live Oak Street Mixed-Use Site Plan

Chair Neve introduced the application and Member Fasolino requested recusal.

*Member Bowler made the motion to recuse Member Fasolino and Vice-Chair Stanziale made the second. Chair Neve took a vote that was unanimously approved.*

*Voting yea: Chair Neve, Vice-Chair Stanziale, Becky Bowler, Vic Fasolino, Tammy Hunsucker, Jeff Vreugdenhil*

Mr. Garner gave the Staff Report and noted for the Planning Board to recommend to the Board of Commissioners approval or denial of the proposed site plan for mixed-use redevelopment at 406 Live Oak Street. The request includes three 1080sf “commercial rental store” units on the ground floor and three 1100sf rental apartments (one 1-bedroom unit, two 2-bedroom units) on the top floor. In particular, parking is on-site and no loading/unloading space is shown (LDO Section 13.J.5 alternate design requested). Under landscaping/buffering, type A opaque buffer is required along the east property line (LDO Section 19.C.4.b.iii alternate design requested).

The Board discussed the number of parking spaces, the loading/unloading and landscape alternate LDO requests, the commercial parking requirements, the buffer, and the amount of time it takes for applications to be thoroughly reviewed.

The applicant, Mr. Fasolino, explained the number of parking spaces is 9 because there are 6 units (1 ½ parking spaces per unit in the Cedar Street Mixed Use zoning district). He then discussed the buffer alternate design request and the Board requested more information regarding the large live oak tree on the property. Mr. Fasolino explained that the tree is 39’ onto the property and the trunk is 6’ in from the property line. The tree is 44’ wide and his plans are to remove it. He read a letter from David Styron, a local certified arborist, who recommended removing the tree due to many reasons including paving the parking lot around it. The Board expressed concerns that removing such a large tree would set a precedent in town and

discussed LDO provisions for tree preservation. There was further discussion and ultimately they suggested that cedar trees be planted along Cedar St and live oak trees be planted along Live Oak St in place of the live oak tree.

Mr. Fasolino then clarified that the parking lot would be paved with asphalt as pervious surfaces would require vacuuming and stormwater requirements were met.

*Member Vreugdenhil made the motion to recommend approval contingent to the landscaping species being native that are in the landscape plan and approval of the requested alternate designs: LDO Section 13.J.5 and LDO Section 19.C.4.b.iii and Member Bowler made the second. Chair Neve took a vote that was approved.*

*Voting yea: Chair Neve, Vice-Chair Stanziale, Becky Bowler, Tammy Hunsucker, Jeff Vreugdenhil*

*Member Bowler made the motion to allow Member Fasolino to return to the Board and Member Vreugdenhil made the second. Chair Neve took a vote that was approved.*

*Voting yea: Chair Neve, Vice-Chair Stanziale, Becky Bowler, Tammy Hunsucker, Jeff Vreugdenhil*

2. Case #25-08 Front Street Village Phase III Site Plan

Mr. Garner gave the Staff Report to recommend to the Board of Commissioners approval or denial of the proposed site plan for Front Street Village Phase III that includes a 14-unit townhome development totaling 11,390 sq. feet and two commercial structures totaling 9,600 sq. feet. The townhomes are for rental only and are not for sale. The Technical Review Committee has agreed the project meets their requirements and have no further comments and Planning staff agree the project meets the criteria required in the LDO. The development already has secured its sewer allocation. Mr. Garner’s presentation showed the samples for the exterior siding colors.

In answer to the Board’s question of the townhomes converting to being for sale in the future, Town Attorney Mr. Grady explained that the land would be subdivided and each unit condominium-ized. Mr. Garner also explained that the original Planned Unit Development (PUD) development agreement stated that as long as the project was active the ordinance it was approved under would be used.

Mr. John Wade, Arendell Engineers, explained that vinyl siding would be used on both the commercial and rental buildings. Mr. Bucky Oliver, applicant, stated that the intent of the project was not for short-term VRBO-type vacation rentals. In response to the Board’s questions he explained, with no warrants or representations, that it was an employee benefit for employee retention but potentially not limited only to their employees. The Board commended him for providing the benefit of workforce housing.

In answer to questions regarding materials, Mr. Oliver explained that they had changed to vinyl siding from Hardiboard after seeing how the quality had improved so drastically.

*Member Bowler made the motion to approve as presented and Vice-Chair Stanziale made the second. Chair Neve took a vote that was approved.*

*Voting yea: Chair Neve, Vice-Chair Stanziale, Becky Bowler, Vic Fasolino, Tammy Hunsucker, Jeff Vreugdenhil*

**Commission / Board Comments**

The Board expressed their appreciation for the staff and the excellent packet and presentation. Member Bowler thanked the applicant for bringing workforce housing. Member Fasolino said that the town staff definitely did not rubber-stamp site plans and does a great job investigating all details. Member Hunsucker thanked the Board for their patience, and Vice-Chair Stanziale thanked Mr. Garner and expressed his appreciation for the detailed presentation and Chair Neve agreed.

**Staff Comments**

Mr. Garner noted that there are a number of bills in legisla 4 dealing with planning issues and Mr. Grady may be asked to

explain how those could impact the Board's decisions.

**Adjourn**

*Member Fasolino made the motion to adjourn and Member Bowler made the second. Chair Neve took a vote that was unanimously approved.*

*Voting yea: Chair Neve, Vice-Chair Stanziale, Becky Bowler, Vic Fasolino, Tammy Hunsucker, Jeff Vreugdenhil*

Chair Neve then declared the meeting adjourned at 7:30 p.m.

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Ryan Neve, Chair

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Laurel Anderson, Board Secretary

DRAFT

DRAFT

1.



**Town of Beaufort, NC**

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**Beaufort Planning Board Regular Meeting  
6:00 PM Monday, May 19, 2025 – 614 Broad Street- Train Depot**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case #25-03 400 Airport Road Hanger 72 - Site Plan.  
**BRIEF SUMMARY:**  
The applicant wishes to construct a 8,500 sq. ft. airplane hangar on lot 72 of the airport.

**REQUESTED ACTION:**  
Discussion on Proposed Site Plan

**EXPECTED LENGTH OF PRESENTATION:**  
15 Minutes

**SUBMITTED BY:**  
Kyle Garner, AICP  
Planning & Inspections Director

**BUDGET AMENDMENT REQUIRED:**  
N/A



# STAFF REPORT



**To:** Planning Board Members  
**From:** Kyle Garner, Planning Director  
**Date:** May 12, 2025  
**Case No.** 25-03 400 Airport Road Hanger 72 - Site Plan

**THE REQUEST:** To recommend to the Board of Commissioners approval or denial of the proposed site plan for an 8,500 sq. ft. airplane hangar at Michael J. Smith airfield.

**INFORMATION:**

Location: 400 Airport Road  
Property Owner: Carteret County (Applicant – Jeffery McCann)  
Zoning District: IW – Industrial Warehouse  
Existing Land Use: Airport  
Adjoining Uses/Zoning: North: Single-family residential uses zoned R-20  
West: Newport River  
East: a mix of single family residential and commercial uses  
South: US 70 By-pass

**PUBLIC UTILITIES & WORKS:**

Water: Town of Beaufort  
Sanitary Sewer: Town of Beaufort

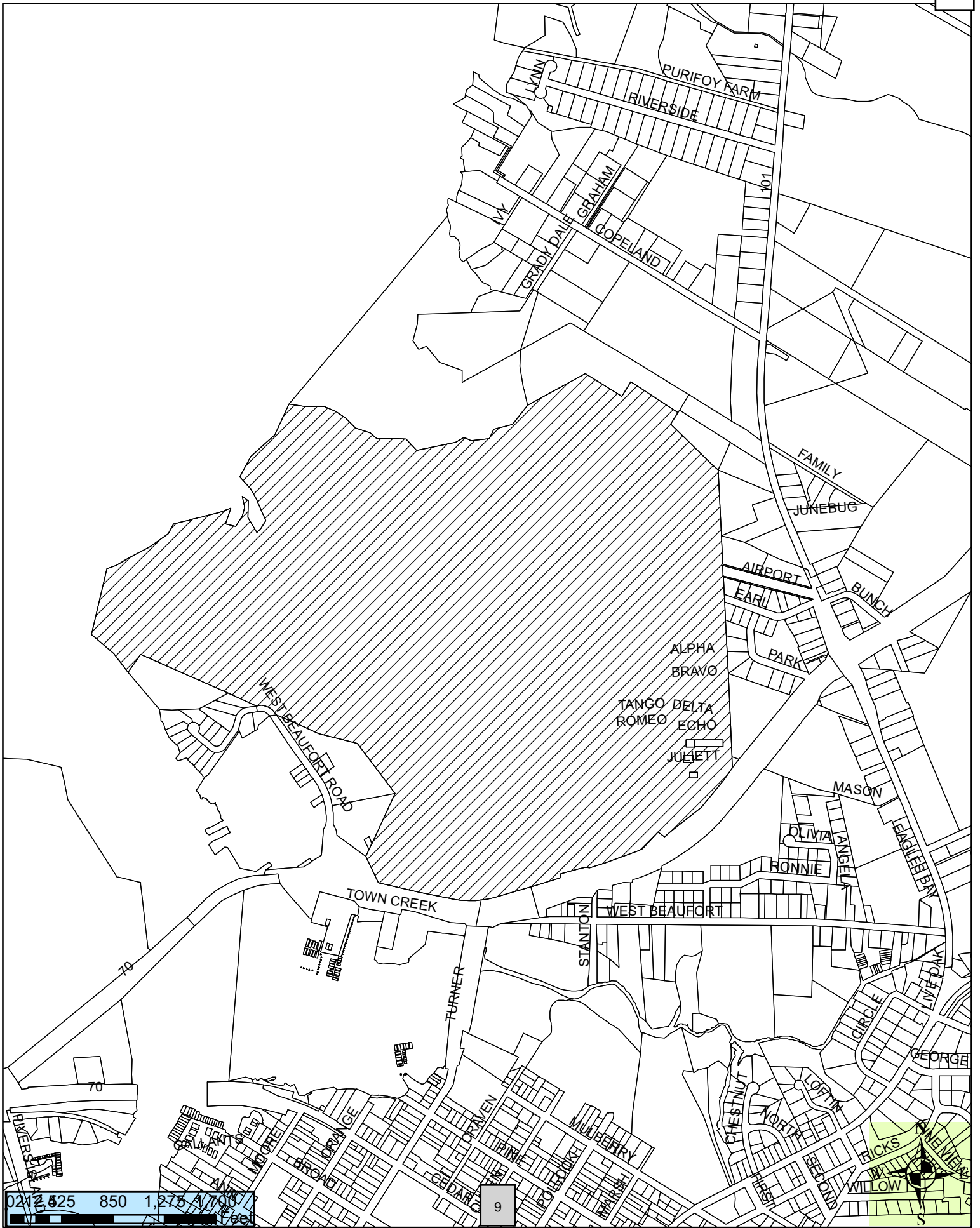
**OPTIONS:**

1. Recommend approval of the Site Plan
2. Recommend denial of the Site Plan based on specific failures to meet the requirements of the LDO.

**ATTACHMENTS:**

- Attachment A – Staff Report
- Attachment B – Vicinity Map
- Attachment C – Hanger Location (Boxed Area)
- Attachment D – Airport Master Plan
- Attachment E – Stormwater Plan for Hanger 72

# Vicinity Map - Case #25-03 400 Airport Road Hanger 72 - Site Plan





NCCOA APPROVAL STAMP

CARTERET COUNTY-BEAUFORT AIRPORT AUTHORITY

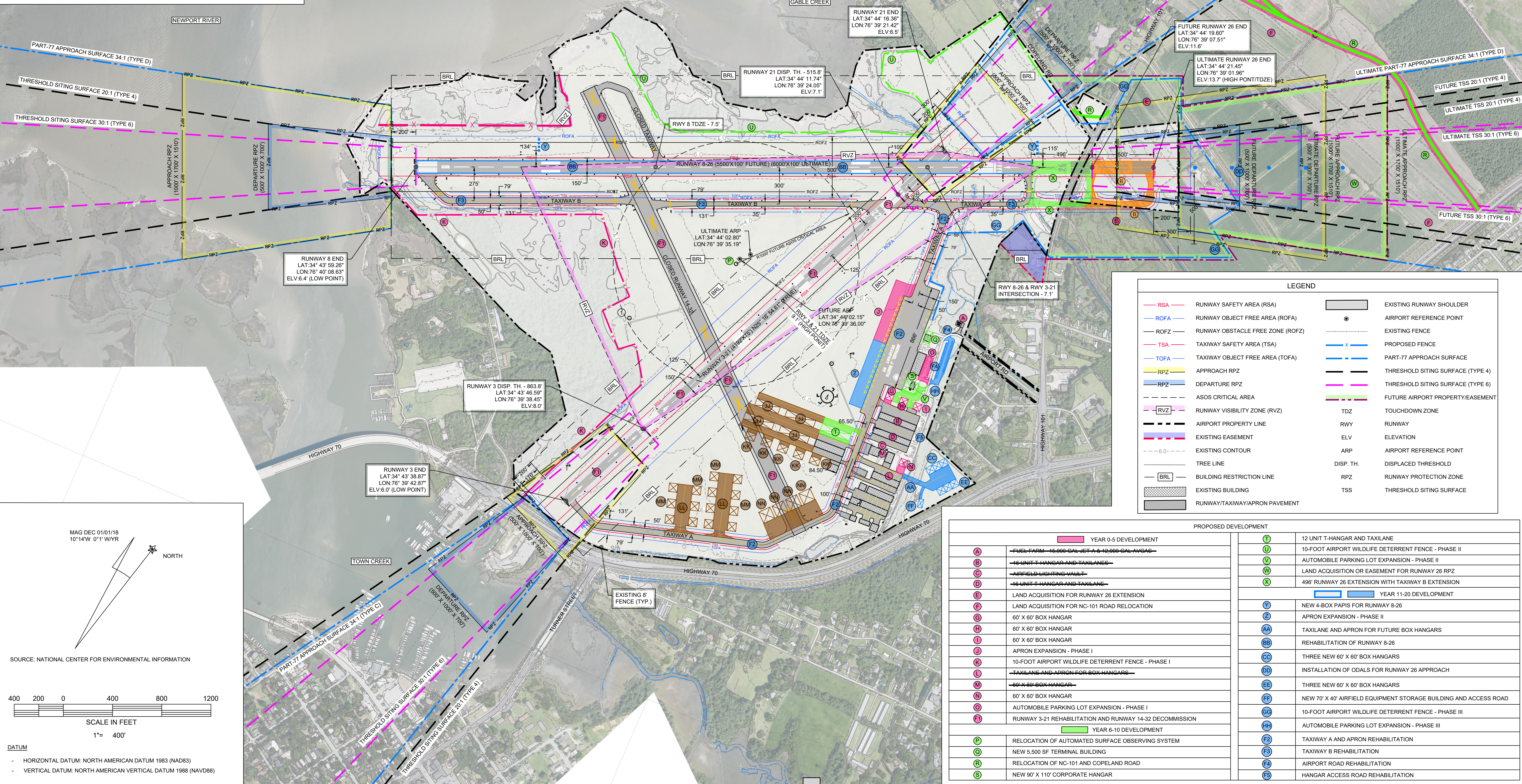
APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

NOTE

NO MODIFICATIONS TO STANDARDS REQUIRED

	ULTIMATE DEVELOPMENT (20+ YEARS)
	500' RUNWAY 26 EXTENSION WITH TAXIWAY B EXTENSION
	ON-DEMAND DEVELOPMENT
	T-HANGAR AND TAXILANE
	80' X 60' BOX HANGAR AND APRON
	CORPORATE HANGAR TAXILANE
	70' X 70' BOX HANGAR
	100' X 100' CORPORATE HANGAR AND APRON



MAG DEC 01/01/18  
10°14'W 0°11'WYR

NORTH

SOURCE: NATIONAL CENTER FOR ENVIRONMENTAL INFORMATION

400 200 0 400 800 1200

SCALE IN FEET

1" = 400'

DATUM

- HORIZONTAL DATUM: NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)

LEGEND

	RSA	RUNWAY SAFETY AREA (RSA)		EXISTING RUNWAY SHOULDER
	ROFA	RUNWAY OBJECT FREE AREA (ROFA)		AIRPORT REFERENCE POINT
	ROFZ	RUNWAY OBSTACLE FREE ZONE (ROFZ)		EXISTING FENCE
	TSA	TAXIWAY SAFETY AREA (TSA)		PROPOSED FENCE
	TOFA	TAXIWAY OBJECT FREE AREA (TOFA)		PART-77 APPROACH SURFACE
	RPZ	APPROACH RPZ		THRESHOLD SITING SURFACE (TYPE 4)
	RPZ	DEPARTURE RPZ		THRESHOLD SITING SURFACE (TYPE 6)
	RVZ	RUNWAY VISIBILITY ZONE (RVZ)		FUTURE AIRPORT PROPERTY/EASEMENT
	ASOS CRITICAL AREA	ASOS CRITICAL AREA		TDZ
	AIRPORT PROPERTY LINE	AIRPORT PROPERTY LINE		RWY
	EXISTING EASEMENT	EXISTING EASEMENT		ELV
	EXISTING CONTOUR	EXISTING CONTOUR		ARP
	TREE LINE	TREE LINE		DISP. TH.
	BRL	BUILDING RESTRICTION LINE		RPZ
	EXISTING BUILDING	EXISTING BUILDING		TSS
	RUNWAY/TAXIWAY/APRON PAVEMENT	RUNWAY/TAXIWAY/APRON PAVEMENT		

PROPOSED DEVELOPMENT

	YEAR 0-5 DEVELOPMENT		YEAR 11-20 DEVELOPMENT
	FUEL FARM 16,000 GAL VET A & 10,000 GAL AVGAC		12 UNIT T-HANGAR AND TAXILANE
	16 UNIT T-HANGAR AND TAXILANE		10-FOOT AIRPORT WILDLIFE DETERRENT FENCE - PHASE II
	AIRFIELD LIGHTING VAULT		AUTOMOBILE PARKING LOT EXPANSION - PHASE II
	16 UNIT T-HANGAR AND TAXILANE		LAND ACQUISITION OR EASEMENT FOR RUNWAY 26 RPZ
	LAND ACQUISITION FOR RUNWAY 26 EXTENSION		496' RUNWAY 26 EXTENSION WITH TAXIWAY B EXTENSION
	LAND ACQUISITION FOR NC-101 ROAD RELOCATION		
	60' X 60' BOX HANGAR		
	60' X 60' BOX HANGAR		
	60' X 60' BOX HANGAR		
	APRON EXPANSION - PHASE I		
	10-FOOT AIRPORT WILDLIFE DETERRENT FENCE - PHASE I		
	TAXILANE AND APRON FOR BOX HANGARS		
	60' X 60' BOX HANGAR		
	60' X 60' BOX HANGAR		
	AUTOMOBILE PARKING LOT EXPANSION - PHASE I		
	RUNWAY 3-21 REHABILITATION AND RUNWAY 14-32 DECOMMISSION		
	RELOCATION OF AUTOMATED SURFACE OBSERVING SYSTEM		
	NEW 5,500 SF TERMINAL BUILDING		
	RELOCATION OF NC-101 AND COPELAND ROAD		
	NEW 90' X 110' CORPORATE HANGAR		
			NEW 4-BOX PAPIS FOR RUNWAY 8-26
			APRON EXPANSION - PHASE II
			TAXILANE AND APRON FOR FUTURE BOX HANGARS
			REHABILITATION OF RUNWAY 8-26
			THREE NEW 60' X 60' BOX HANGARS
			INSTALLATION OF ODALS FOR RUNWAY 26 APPROACH
			THREE NEW 60' X 60' BOX HANGARS
			NEW 70' X 40' AIRFIELD EQUIPMENT STORAGE BUILDING AND ACCESS ROAD
			10-FOOT AIRPORT WILDLIFE DETERRENT FENCE - PHASE III
			AUTOMOBILE PARKING LOT EXPANSION - PHASE III
			TAXIWAY A AND APRON REHABILITATION
			TAXIWAY B REHABILITATION
			AIRPORT ROAD REHABILITATION
			HANGAR ACCESS ROAD REHABILITATION

TALBERT & BRIGHT  
ENGINEERING & PLANNING CONSULTANTS

4810 SHELLEY DRIVE  
WILMINGTON, NC 28405  
PHONE: 910-763-5350  
FAX: 910-762-6281

NC LICENSE NO. C-0713  
EMAIL: TBILL@TBILL.COM

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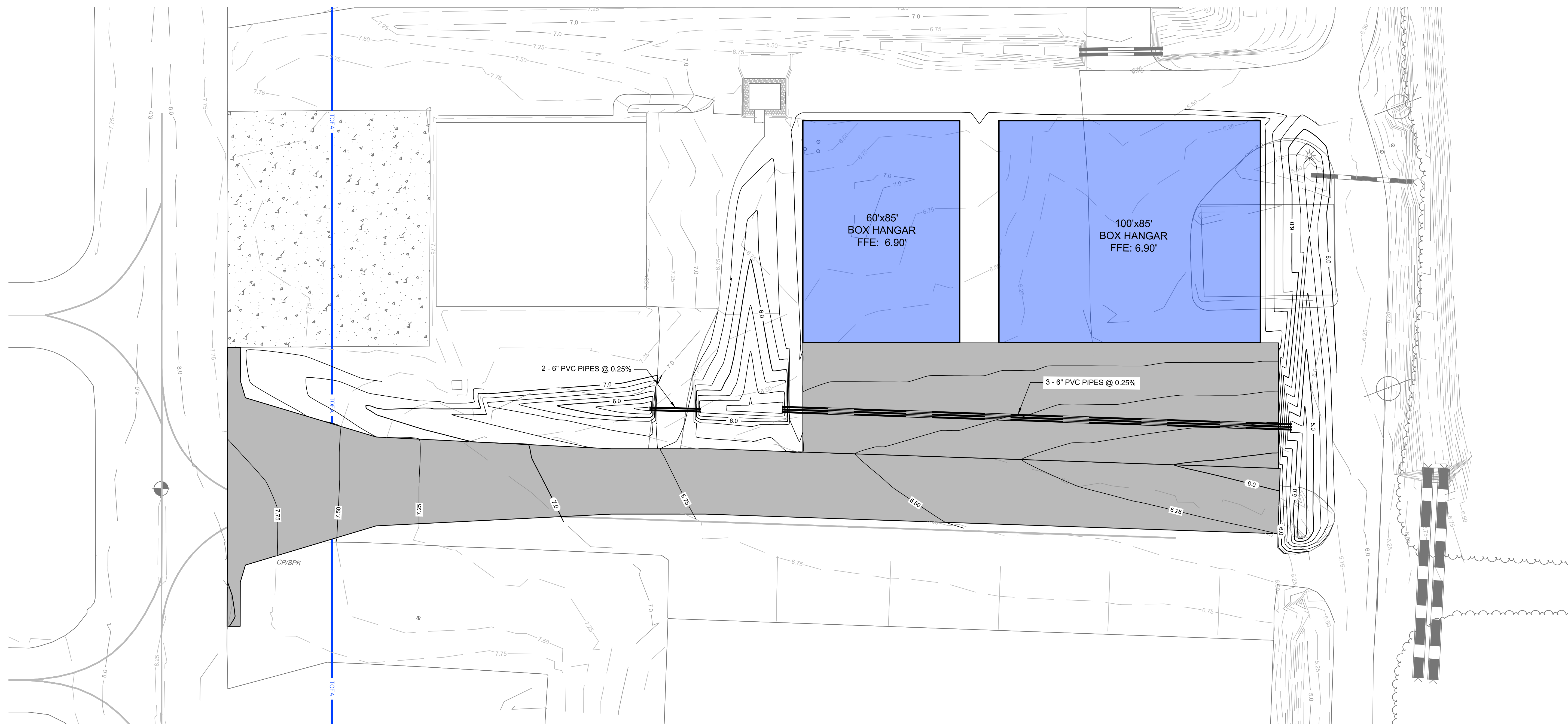
REVISIONS

REV. NO.	DESCRIPTION	DATE
1	PEN & INK CHANGES TO ADD INFIELD HANGAR DEVELOPMENT	APRIL 2024



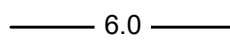
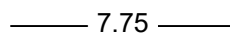



MICHEAL J. SMITH FIELD  
BEAUFORT, NORTH CAROLINA

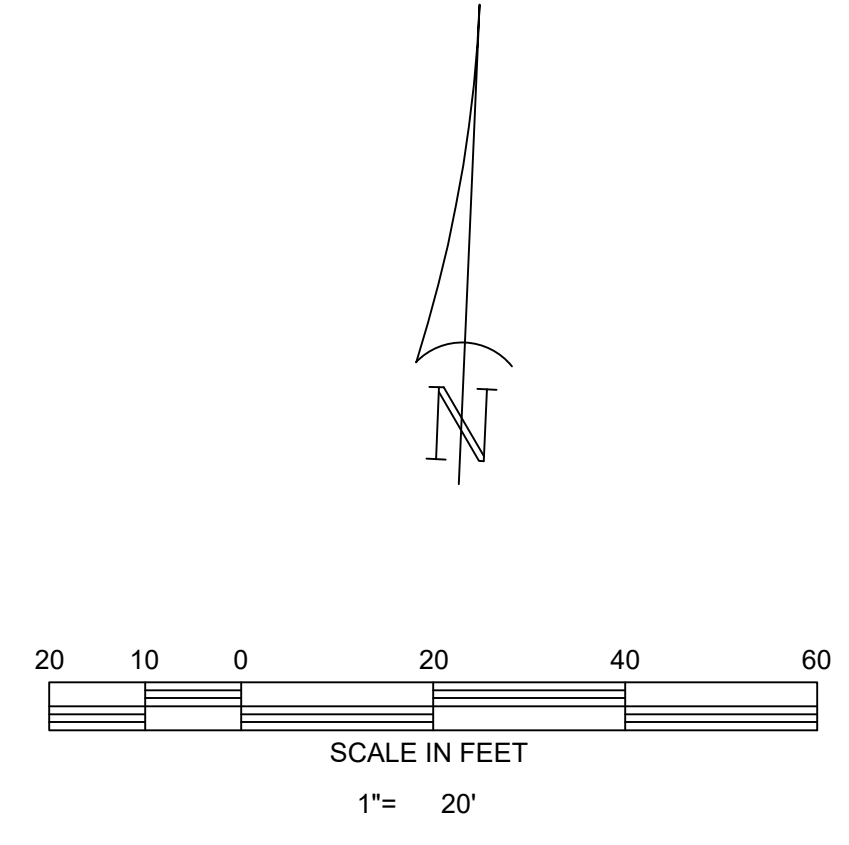
AIRPORT LAYOUT DRAWING - PROPOSED

Date	AUGUST 2020
Scale	1" = 400'
Drawn	NT
Checked	JMM
Project No.	2112-1702
Sheet No.	



**LEGEND**

	EXISTING 1' CONTOUR
	EXISTING 0.25' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 0.25' CONTOUR
	PROPOSED STORM DRAIN PIPE
	PROPOSED HMA PAVEMENT
	PROPOSED HANGAR



**TALBERT & BRIGHT**  
 ENGINEERING & PLANNING CONSULTANTS  
 4810 SHELLEY DRIVE  
 WILMINGTON, NC 28405  
 PHONE: 910-762-6281  
 FAX: 910-762-5550  
 EMAIL: TBILM@TBILM.COM  
 NC LICENSE NO. C-0713

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REV. NO.	DESCRIPTION	DATE

CARTERET COUNTY- BEAUFORT AIRPORT AUTHORITY  
 MICHAEL J. SMITH, FIELD, BEAUFORT, NORTH CAROLINA  
**HANGAR LAYOUT AND PERMITTING ASSISTANCE**  
**HANGAR SITE PLANS - 1**

Date	OCTOBER 2021
Scale	1" = 20'
Drawn	JE
Checked	RRF
Project No.	2112-2103
Sheet No.	C-1



**Town of Beaufort, NC**

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252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, May 19, 2025 – Train Depot**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case 25-07 Site Plan – Boys & Girls Club at 497 Campen Road

**BRIEF SUMMARY:**

To recommend to the Board of Commissioners approval or denial of the proposed site plan for construction of a new Boys and Girls Club facility at 497 Campen Road

**REQUESTED ACTION:**

Presentation and discussion of proposed site plan  
Recommendation to Board of Commissioners to approve or deny the site plan

**EXPECTED LENGTH OF PRESENTATION:**

15 Minutes

**SUBMITTED BY:**

Michelle Eitner  
Town Planner

**BUDGET AMENDMENT REQUIRED:**

N/A



# STAFF REPORT



**To:** Planning Board Members  
**From:** Michelle Eitner, Town Planner  
**Date:** May 19, 2025  
**Case No.** 25-07 Site Plan – Boys & Girls Club at 497 Campen Road

**THE REQUEST:** To recommend to the Board of Commissioners approval or denial of the proposed site plan for construction of a new Boys and Girls Club facility at 497 Campen Road (behind Beaufort Middle School)

**INFORMATION:**

Location: 497 Campen Road (behind Beaufort Middle School)  
Property Owner: Carteret County Schools  
Applicant: Boys & Girls Club of the Coastal Plain (leaseholder)  
Zoning District: Residential Single-Family District (R-20)  
Size: 5.22a (extent of leased area of 38.5a parcel)  
Existing Land Use: Vacant area  
Proposed Land Use: Boys & Girls Club (“Government/Non-Profit Owned/ Operated Facilities & Services” permitted use in R-20)  
Adjoining Uses/Zoning: North: Hwy 70 and vacant land (TCA)  
 West: Vacant lands (B-1 and R-20)  
 East: Eastport Apartments (TCA)  
 South: Beaufort Middle School (R-20)  
Utilities: Town Water and Sewer

**OPTIONS:**

1. Recommend approval of the Site Plan
2. Recommend approval of the Site Plan with conditions to bring it into compliance with the LDO
3. Recommend denial of the Site Plan based on specific failures to comply with the LDO.
4. Table the recommendation pending additional information necessary to make a decision

**ATTACHMENTS:**

- Attachment A – Staff Report
- Attachment B – Vicinity Map
- Attachment C – Zoning Map
- Attachment D – Application
- Attachment E – Site Plans

**STAFF COMMENTS:**

The Boys and Girls Club project at 497 Campen Road is represented by the following development team:

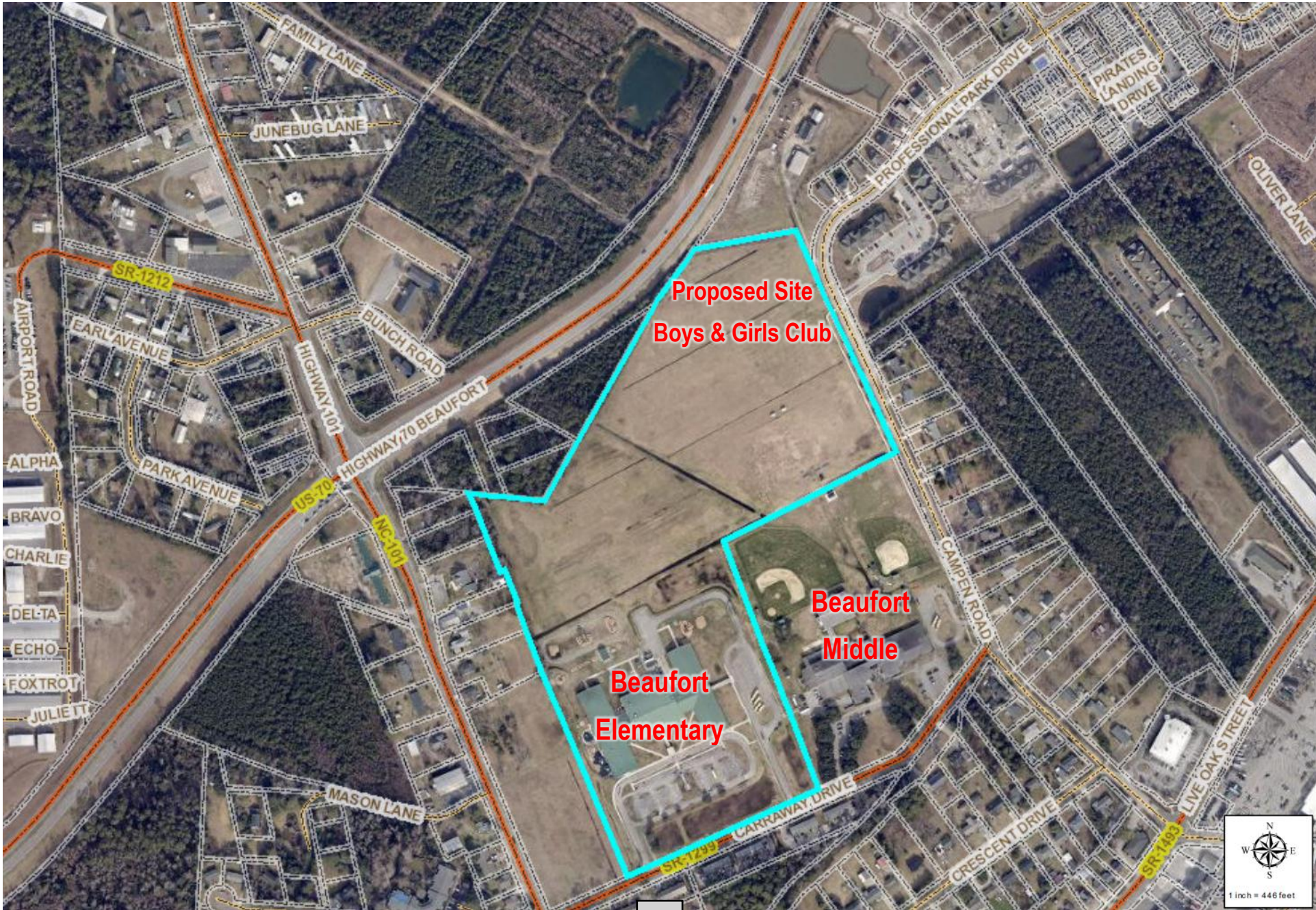
- Developer: Boys and Girls Clubs of the Coastal Plain
- Property Owner: Carteret County Schools
- Architect: Oakley Collier Architects
- Civil Engineer: Stocks Engineering
- Surveyor: Stokes Surveying and Mapping

The Boys and Girls Clubs of the Coastal Plain propose to establish a new facility at 497 Campen Road behind Beaufort Middle School. This facility, on 5.22 acres of land leased from the Carteret County Schools, includes:

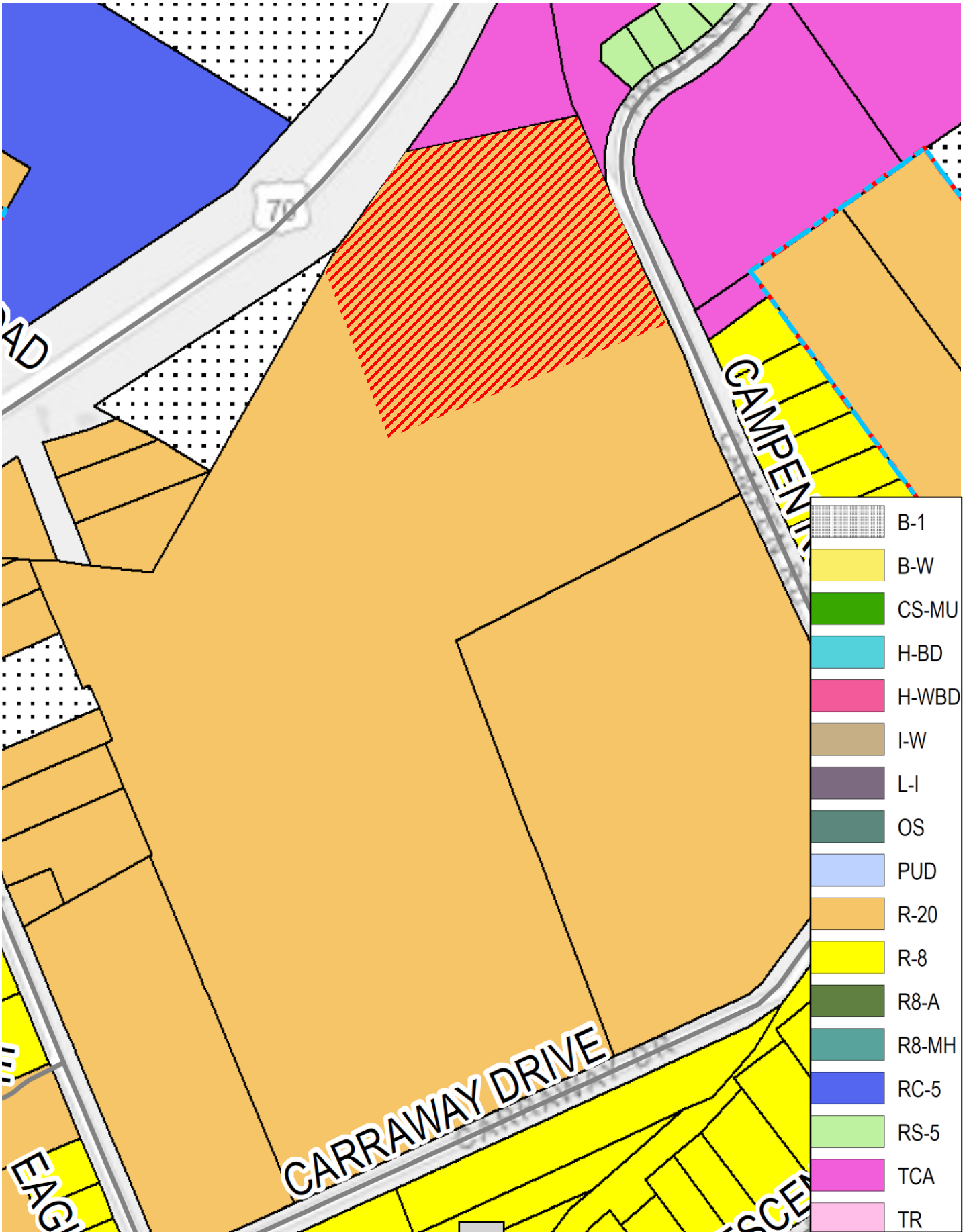
- A 21,400 square foot single-story building with reception area, classrooms, kitchen, indoor basketball court, and separate teen area
- Outdoor basketball court with storage building
- Playground, multi-surface area, and raised garden planters
- Field area (outdoor soccer, etc.)
- Sidewalk to connect to and extend existing sidewalks along the west side of Campen Road
- Removal of existing speed bump and create new raised crosswalk as requested by the Town
- 5,272sf Vehicle Accommodation Area landscaping including 4 Red Maple trees, 6 Live Oak trees, and 11 Dwarf Yaupon Holly shrubs – all species listed in LDO Section 14.E Native Shrubs and Trees of Carteret County
- 80 parking spaces in parking lot aligned with driveway cut across the street
- 2 dumpsters with screening to match building
- Erosion control, grading, and drainage for state permitting (applications submitted)

The Technical Review Committee met on April 29<sup>th</sup> to review the project. Following minor revisions on the plans, all departments have approved the plans to move forward for Planning Board review.

# Case 25-07 Attachment B – Vicinity Map



# Case 25-07 Attachment C – Zoning Map





**APPLICATION FOR SITE PLAN REVIEW**

**Instructions:**

Please complete the application below including all required attachments and the **application fee of \$300.00** and return to the Beaufort Town Hall, 701 Front Street or P.O. Box 390; Beaufort, N.C., 28516. Incomplete applications will not be processed but **will be** returned to the applicant. Please contact Planning and Inspections at 252-728-2142 if there are any questions.

**APPLICANT INFORMATION**

Applicant/Company Name: Boys and Girls Club of the Coastal Plain  
 Applicant Address: 621 West Fire Tower Road, Winterville, NC 28590  
 Applicant Phone Number(s): 252-355-2345  
 Applicant Email Address: mholtzman@bgccp.com

**PROPERTY INFORMATION**

Property Owner Name: County of Carteret  
 Property Owner Address: 302 Courthouse Square, Suite 200, Beaufort  
 Property Owner Phone(s): 252-728-8450  
 Property Owner Email Address: Sharon.Griffin@carteretcountync.gov  
 Property Address: 110 Carraway Dr, Beaufort, NC 28516  
 PIN # and Block #: 7306-1564-9861-000 (portion)  
 Size of property (in sq. ft. or acres): 5.22 Current Zoning: R-20  
 Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Property Owner Signature\*: \_\_\_\_\_ Date: \_\_\_\_\_  
*\*Property owner signature needed if different person than the applicant. In lieu of a signature here, a signed note from the owner is acceptable.*

An **application fee of \$300.00**, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials **must** be received by Town Staff at least 15 working days prior to a regularly scheduled Planning Board meeting date.

Please refer to the **Land Development Ordinance**, Section 18, for the submission procedures and list of materials needed to submit with this application. All plans and drawings submitted should be submitted in an electronic or digital copy and at least one paper color copy of such plans and drawings submitted.

The Town's website is [www.beaufortnc.org](http://www.beaufortnc.org).

**OFFICE USE ONLY** Revised 08/2020

Date: \_\_\_\_\_ Reviewed for completeness by: \_\_\_\_\_  
 Received by: \_\_\_\_\_ Date deemed complete/accepted: \_\_\_\_\_



# BEAUFORT BOYS AND GIRLS CLUB CAMPEN ROAD BEAUFORT, NORTH CAROLINA

OAKLEY  
COLLIER  
ARCHITECTS  
OCA ARCHITECTS  
109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500  
305 W. Martin Street, Raleigh, NC 27601

NEW CONSTRUCTION FOR:  
BEAUFORT BOYS and  
GIRLS CLUB  
CAMPEN ROAD  
BEAUFORT, NC

### CONTACT INFORMATION

PLANNING/ZONING: TOWN OF BEAUFORT  
701 FRONT STREET  
BEAUFORT, NC 28516  
  
252-459-4511

WATER & SEWER: TOWN OF BEAUFORT  
301 FREEDOM PARK ROAD  
BEAUFORT, NC 28516  
  
(252) 241-3525

### INDEX OF SHEETS

- COVER COVER SHEET
- CE-1.0 EXISTING CONDITIONS
- CE-2.0 SITE AND UTILITY PLAN
- CE-3.0 GRADING PLAN
- CE-4.0 SCM DETAIL SHEET
- CE-5.0 LANDSCAPE PLAN
- CE-6.0 EROSION CONTROL PLAN
  
- D-01 EROSION CONTROL DETAILS
- D-02 EROSION CONTROL DETAILS
- D-03 NPDES SHEETS
- D-04 NPDES SHEETS
- D-05 SITE NOTES AND DETAILS
- D-06 UTILITY DETAILS
- D-07 BEAUFORT DETAILS

### SITE INFORMATION

LOCATION: ..... OFF CAMPEN ROAD  
 COUNTY: ..... CARTERET COUNTY  
 TOTAL SITE ACREAGE: ..... ±5.22 Ac.  
 ZONING: ..... R-20  
 MINIMUM BUILDING SETBACKS:  
 FRONT: ..... 30'  
 SIDE: ..... 15'  
 REAR: ..... 25'  
 MAXIMUM BUILDING HEIGHT ..... NA  
 EXISTING USE: ..... VACANT  
 PROPOSED USE: ..... CIVIC CLUB  
 TOTAL BUILDING SIZE: ..... 21,400 Sq. Ft.  
 PARKING REQUIRED:  
 MINIMUM PARKING: ..... 80 SPACES  
 PARKING PROVIDED:  
 REGULAR 9x18' ..... 77  
 H.C. (REGULAR) ..... 2  
 H.C. (VAN ACCESSIBLE) ..... 1  
 TOTAL PROVIDED: ..... 80  
 PIN: ..... 7306-1564-9861-000 (PORTION)  
 EX. IMPERVIOUS AREA: ..... 0 Ac.  
 PRO. IMPERVIOUS AREA: ..... 77,017 S.F. (33.91%)  
 LANDSCAPE AREA: ..... 150,149 S.F. (66.09%)

PRELIMINARY NOT FOR CONSTRUCTION

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### Owner/Developer:

**BOYS AND GIRLS CLUBS of the COASTAL PLAIN**

 621 WEST FIRE TOWER ROAD  
 WINTERVILLE, NC 28590  
 CONTACT: MARK HOLTSMAN  
 PHONE: (252) 355-2345

### Civil Engineer:



Contact: J. Michael Stocks, PE  
mstocks@stocksengineering.com  
License Number: 19843

### Surveyor:

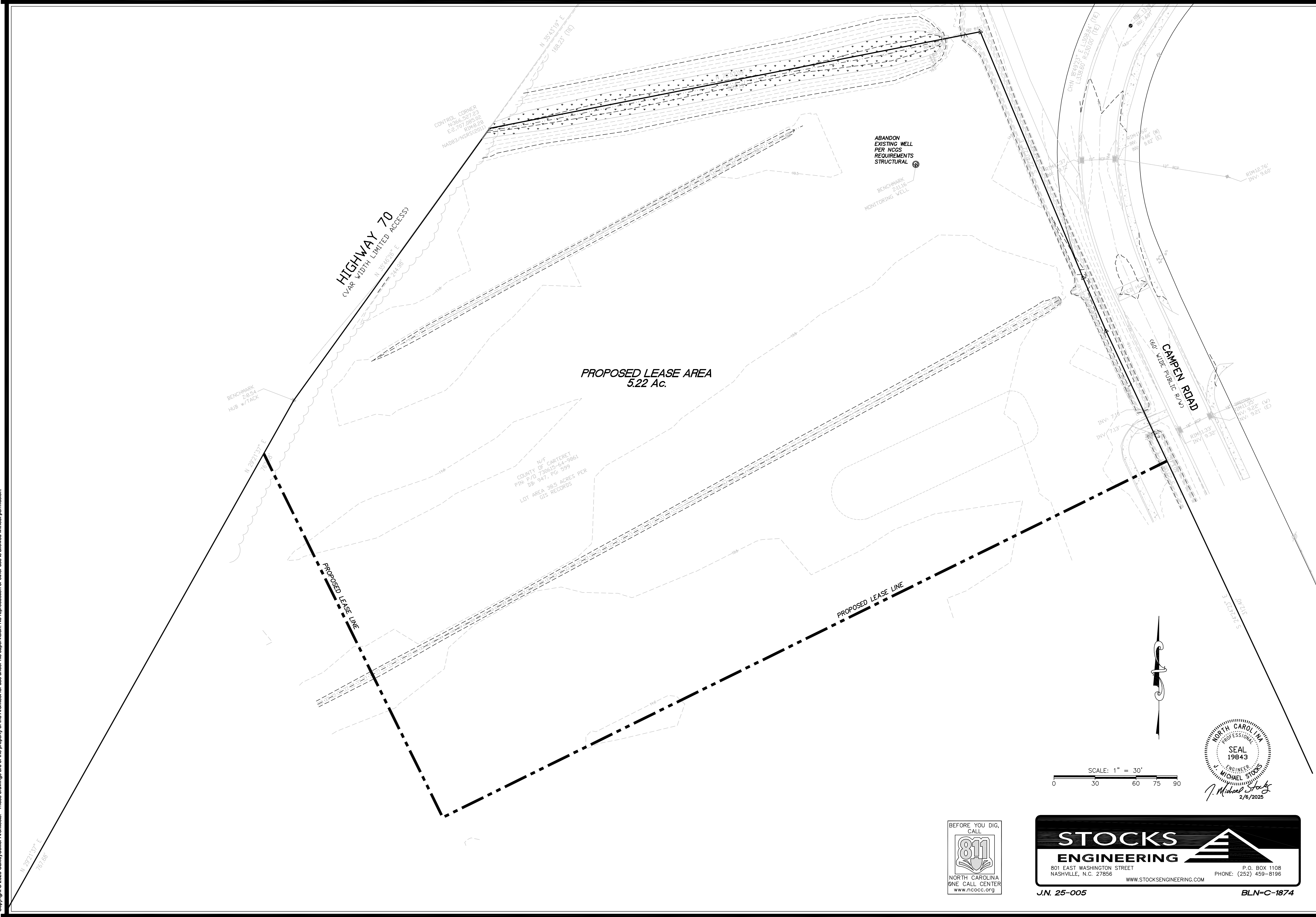
**STOKES SURVEYING and MAPPING**

1425-105 B ROCK QUARRY ROAD  
RALEIGH, NC 27610  
CONTACT: MIKE STOKES, PLS  
PHONE: (919) 971-7897

GENERAL NOTE:  
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions	Description	Date
Date	Project No.	
02/06/25	00000	
Drawn By	Sheet No.	
TL		
Checked By		
JKV	COVER	
	Sheet Title	
	EXISTING CONDITIONS	

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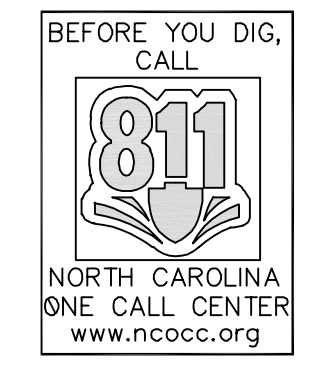
**BEAUFORT BOYS and  
GIRLS CLUB**  
CAMPEN ROAD  
BEAUFORT, NC

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Revisions	
Description	Date
Date	Project No.
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Drawn By	Sheet No.
TL	CE1.0
Checked By	Sheet Title
JKV	EXISTING CONDITIONS



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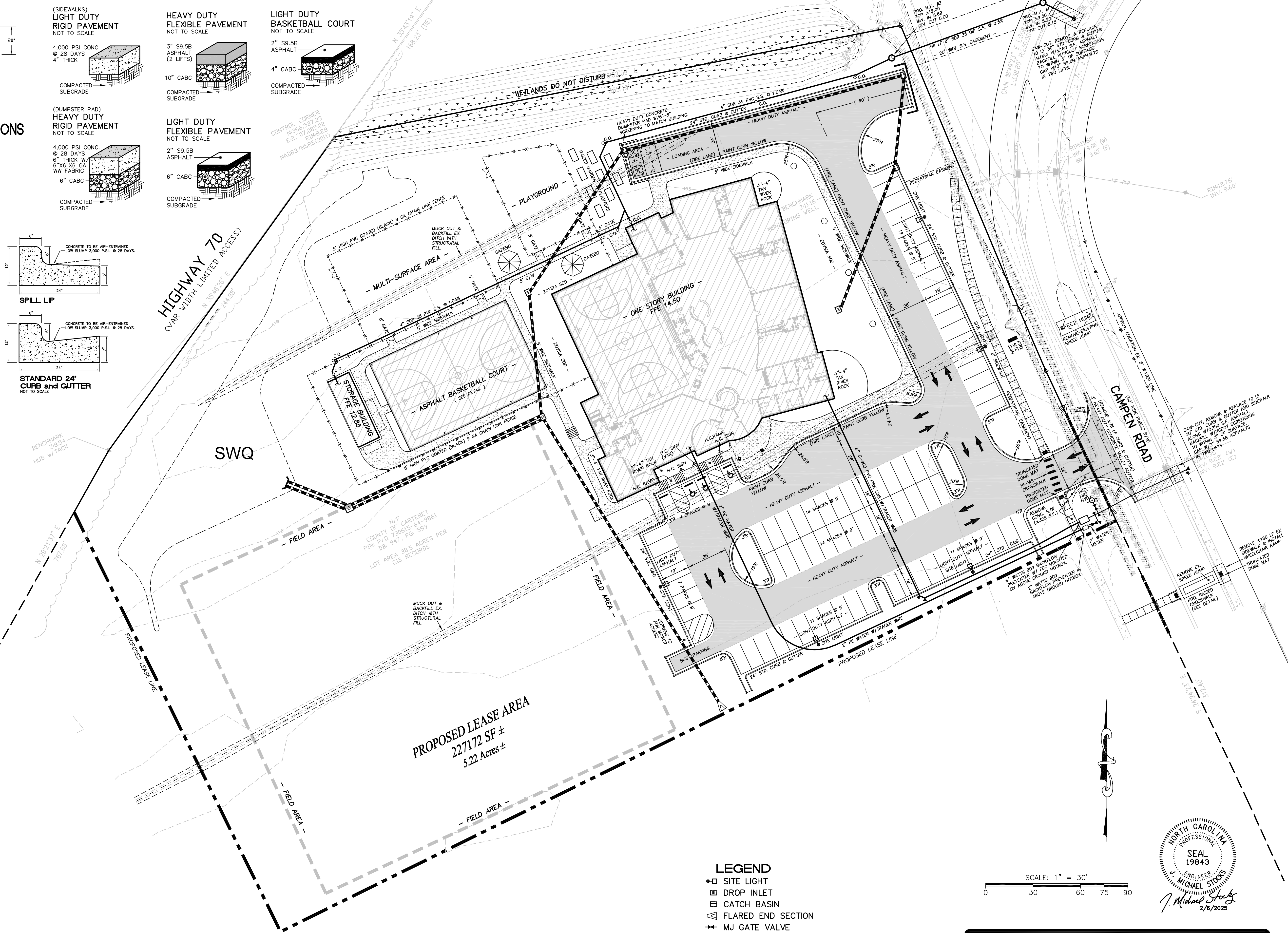
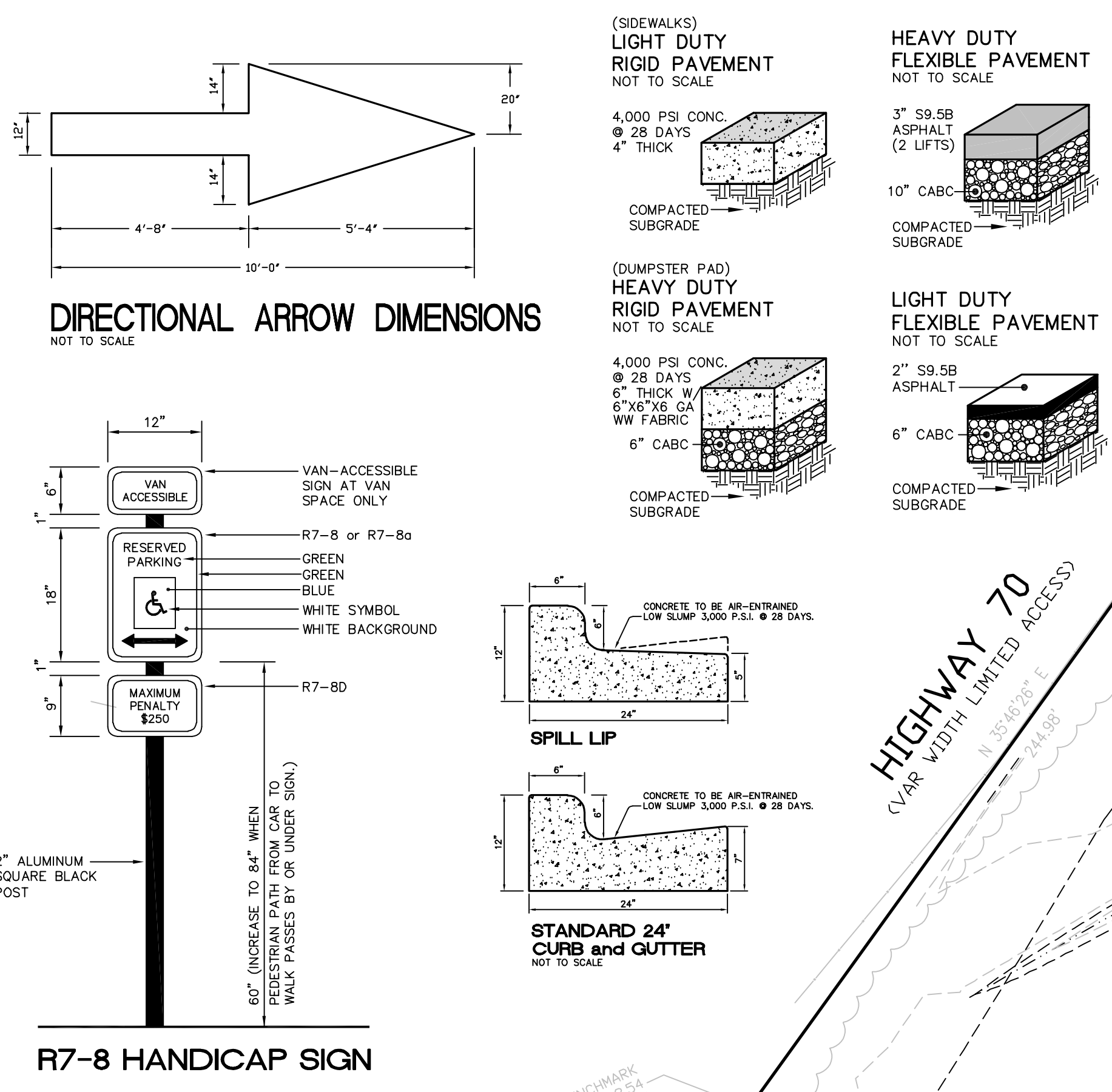
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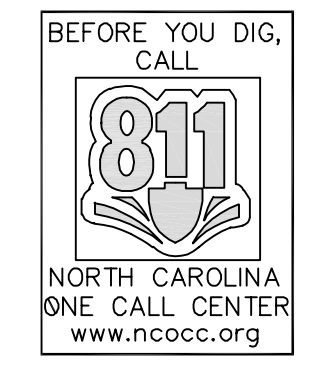
J.N. 25-005

BLN-C-1874



**PROPOSED LEASE AREA**  
 227172 SF ±  
 5.22 Acres ±

- LEGEND**
- SITE LIGHT
  - DROP INLET
  - CATCH BASIN
  - △ FLARED END SECTION
  - ⊕ MJ GATE VALVE
  - ⊕ FIRE HYDRANT
  - ⊕ THRUST BLOCKING
  - ⊕ SEWER CLEANOUT
  - BOLLARD LIGHTS
  - 5' HIGH PVC COATED CHAIN LINK FENCE



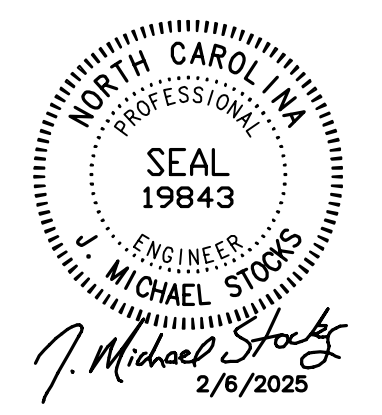
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**OCA ARCHITECTS**

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 CAMPEN ROAD  
 BEAUFORT, NC

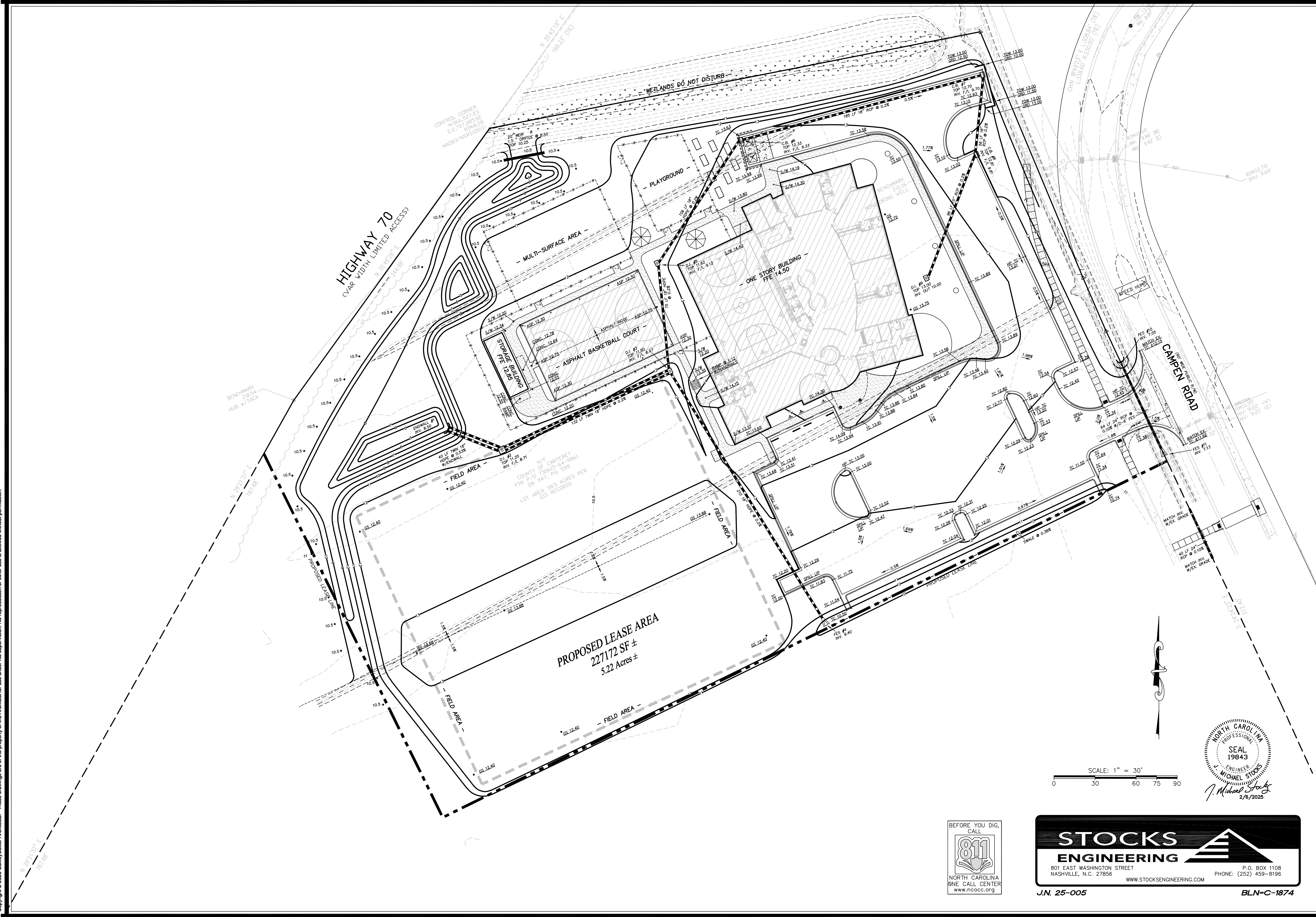
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Date	Project No.	
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	Sheet Title	
	SITE & UTILITY PLAN	

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PROPOSED LEASE AREA  
 227172 SF ±  
 5.22 Acres ±

SCALE: 1" = 30'  
 0 30 60 75 90

NORTH CAROLINA  
 PROFESSIONAL ENGINEER  
 SEAL  
 19843  
 MICHAEL STOCKS  
 2/6/2025



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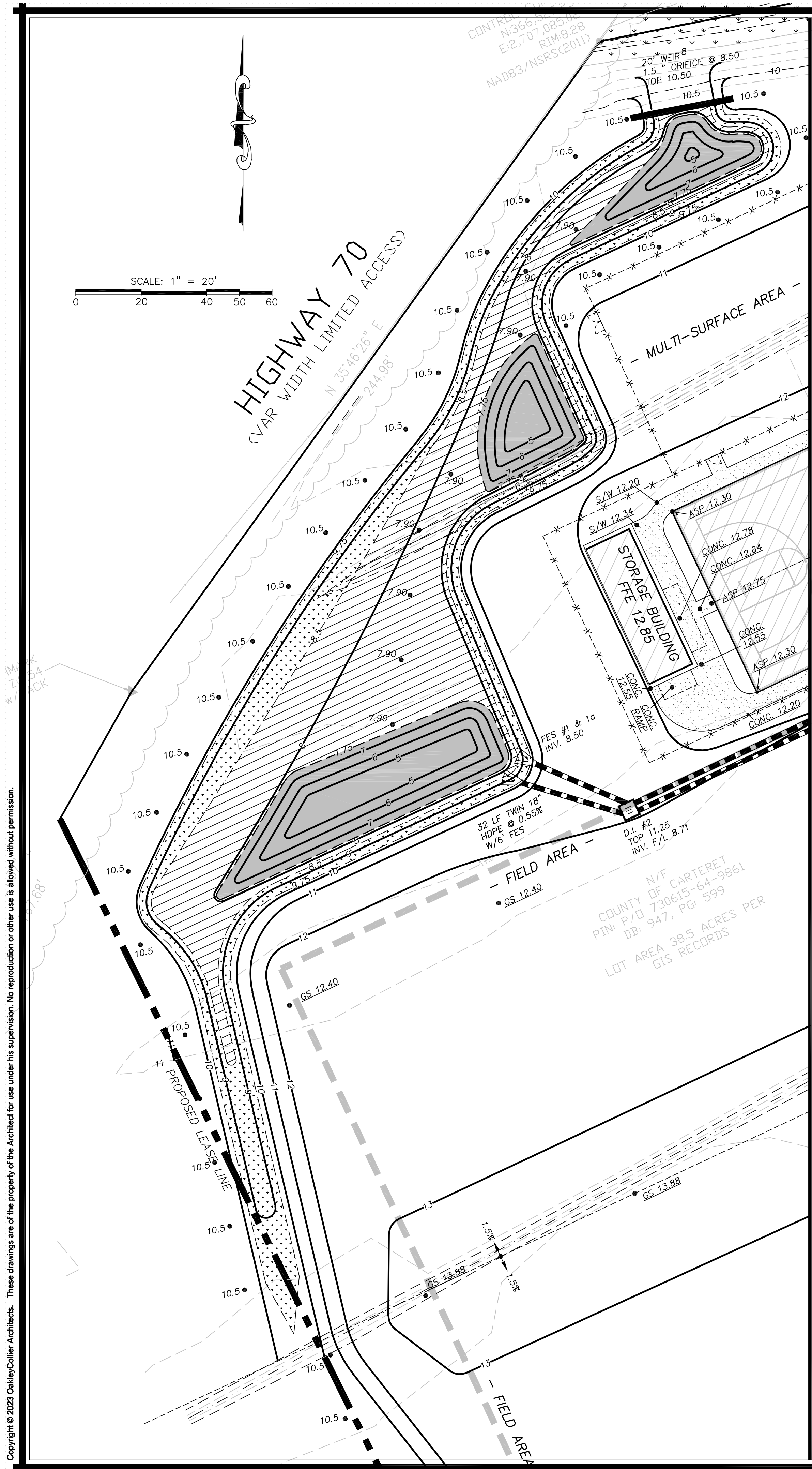
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Revisions	Description	Date

Date	Project No.
02/06/25	00000
Drawn By	Sheet No.
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JKV	
Sheet Title	
GRADING & DRAINAGE PLAN	



**VEGETATED SHELF LANDSCAPE PLAN**

CHOOSE A MINIMUM OF 5 OF THE FOLLOWING SPECIES FOR EACH AREA W/NO MORE THAN 33% OF ANY SPECIES. PLANTS SHALL BE IN 4" CONTAINERS.

**SHALLOW WATER (BELOW PERM. POOL) (MIN. 1612 PLANTS)**

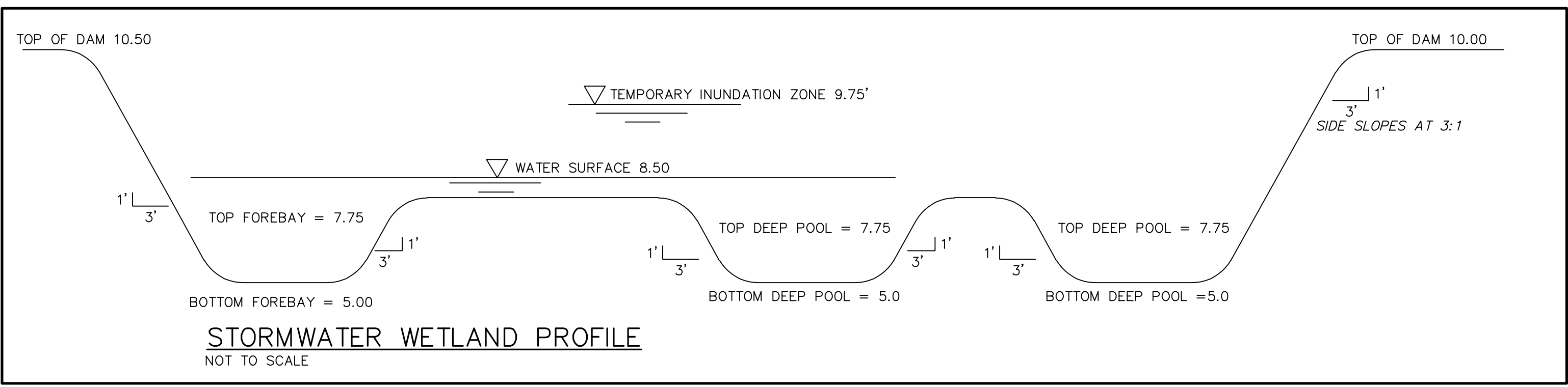
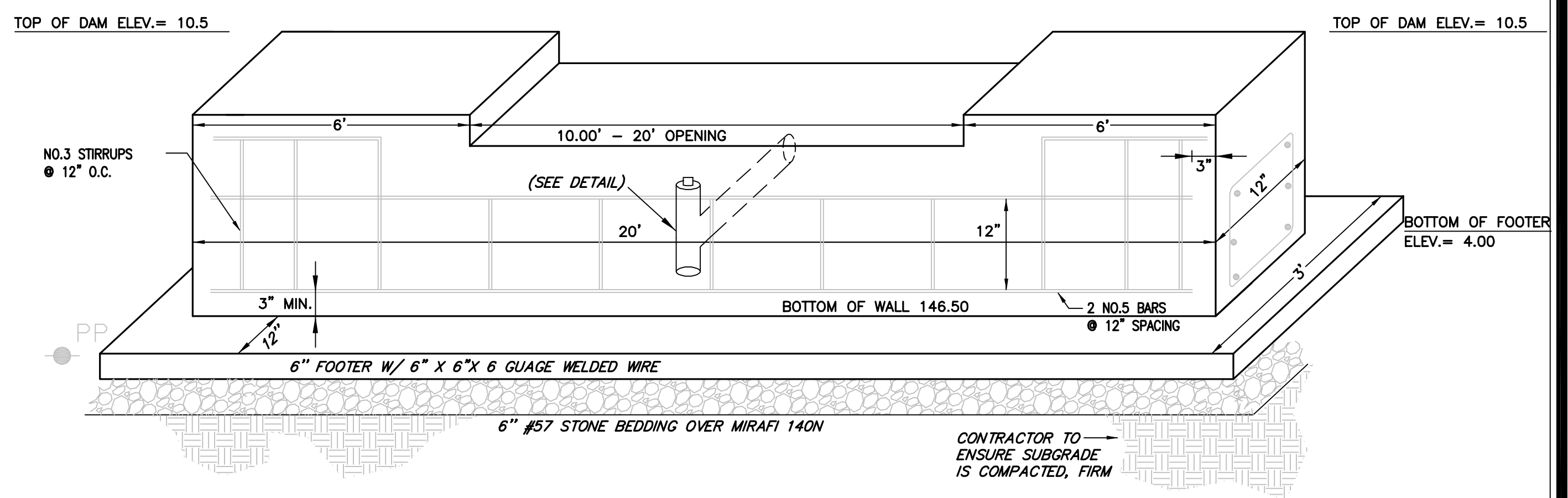
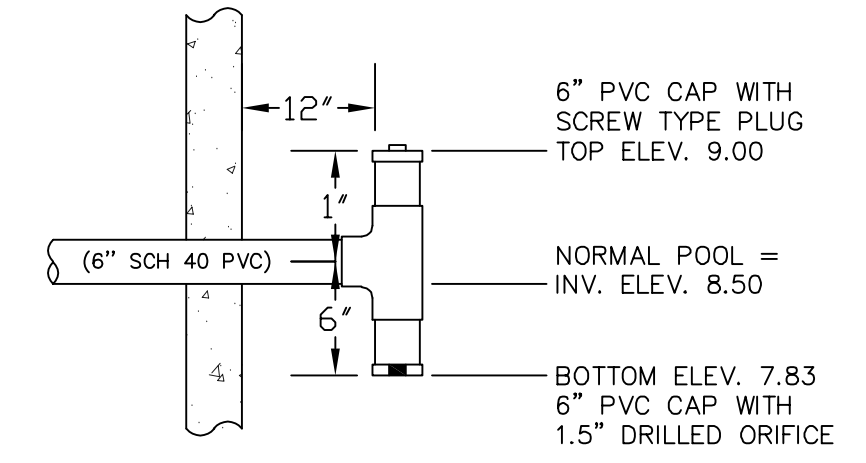
Botanical Name	Common Name
Iris virginica	Blue flag iris
Ludwigia spp.	Primrose willow
Peltandra virginica	Arrow arum
Pontederia cordata	Pickerelweed
Sagittaria latifolia	Duck Potato
Sagittaria lancifolia	Bulltongue

**SHALLOW LAND (ABOVE PERM. POOL) (MIN. 1098 PLANTS)**

Botanical Name	Common Name
Chelone glabra	White Turtlehead
Eupatoriadelphus dubius	Dwarf Joe Pye Weed
Kosteletzkya virginica	Seashore Mallow
Lobelia cardinalis	Cardinal flower
Lobelia siphilitica	Great blue Lobelia
Rhynchospora colorata	Starrush whitetop

**STAGE/STORAGE TABLE**

STAGE	ELEVATION	CONTOUR AREA (SF)	INCREMENTAL STORAGE (CF)	TOTAL STORAGE (CF)
0.00	8.50	10,220	0	0
0.50	9.00	12,336	5,639	5,639
1.50	10.00	16,040	14,188	19,827
2.00	10.50	20,890	9,233	29,060



**WETLAND AREA**

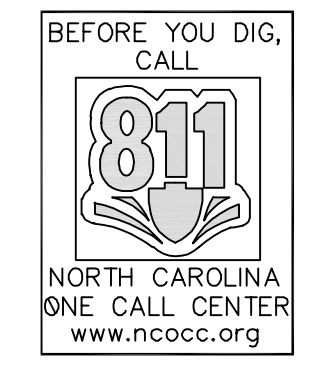
- FOREBAY 2,072 S.F. (11.61%)
- NON-FOREBAY 1,695 S.F. (14.19%)
- SHALLOW WATER 6,448 S.F. (44.15%)
- TEMP. INUNDATION ZONE 4,389 S.F. (30.05%)
- 14,604 Sq. Ft.**

NOTE: CONTRACTOR TO COMPACT BOTTOM OF POND TO ENSURE INFILTRATION IS LESS THAN 0.01 IN./HR. OR IMPORT IMPERMEABLE CLAY AS NEEDED.

NOTE: A PORTABLE PUMP SHALL BE USED DURING MAINTENANCE AND EMERGENCIES. THE DRAWDOWN PUMP RATE SHOULD ALLOW FOR THE SCM TO BE DRAWN DOWN OVER A 3 DAY OF LONGER PERIOD TO PREVENT THE COLLAPSE OF THE SATURATED SIDE SLOPES.

PLANTING NOTE: PLANTINGS SHALL BE EVENLY SPACED TO COVER THE ENTIRE POND AREA EXCLUDING THE FOREBAY AND OUTLET DEEP POOL. ALL AREAS TO RECEIVE PLANTS SHALL HAVE 12" OF TOPSOIL.

The pH, compaction, and other attributes of the first 12-inch depth of the soil shall be adjusted if necessary to promote plant establishment and growth.

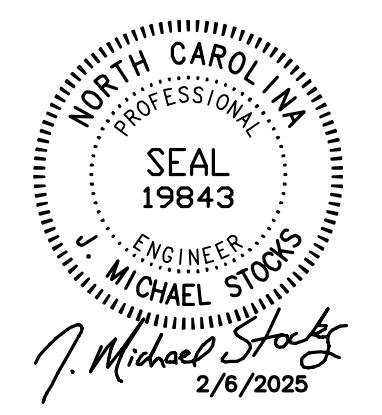


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**BEAUFORT BOYS and GIRLS CLUB**  
 CAMPEN ROAD  
 BEAUFORT, NC

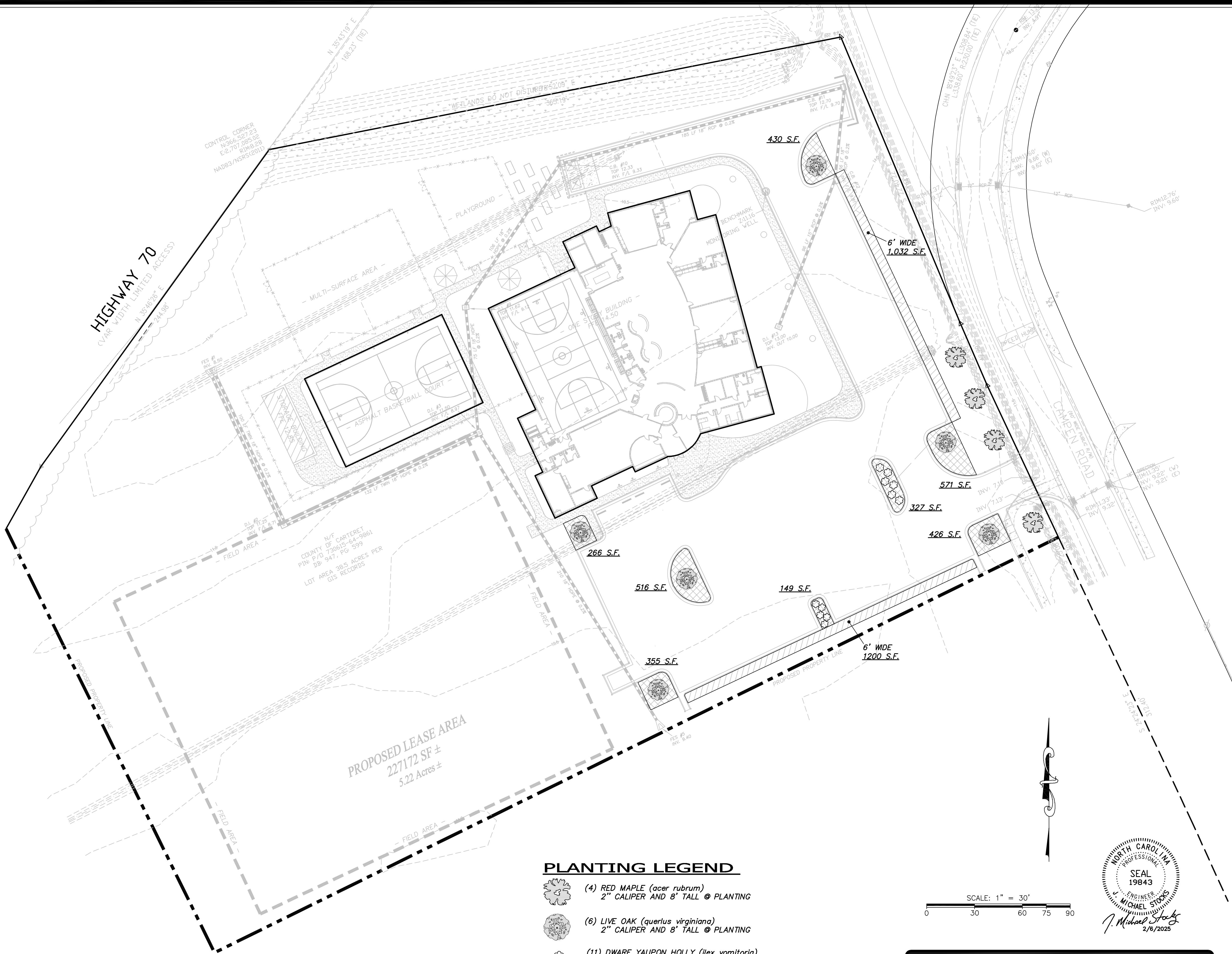
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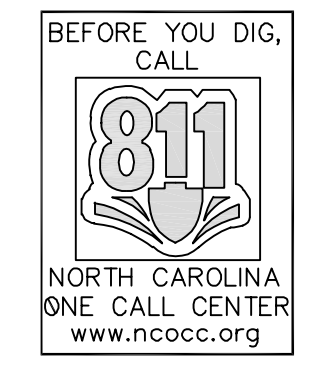
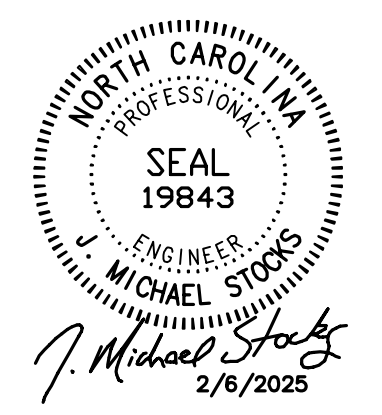
Revisions	Description	Date
Date: 02/06/25	Project No: 00000	
Drawn By: TL	Sheet No: CE4.0	
Checked By: JKV	Sheet Title: SCM DETAIL SHEET	

1. Including parking spaces, driveways, loading areas, parking aisles, and other circulation areas and not including building area or any area which will remain completely undeveloped, calculate square footage of the VAA	42,253 sq. ft.
2. Required landscaping percentage.	12%
3. For required landscaping area, multiply line 1 by line 2.	5,070 sq. ft.
4. Interior landscaping percentage.	50%
5. For the required landscaping in the interior of the VAA, multiply line 3 and line 4.	2,535 sq. ft.
6. Existing landscaping area, if any, to be retained in and around the VAA.	-- sq. ft.
7. Subtract line 3 from line 6. This is the landscape area required.	5,070 sq. ft.
8. Total amount of impervious surface area on the lot including building area, parking spaces, driveways, loading areas, parking aisles, and other circulation areas and not including any area which will remain completely undeveloped.	77,017 sq. ft.
9. Total development impact area (Do not include areas in wetlands or flood plains)	227,166 sq. ft.
10. For Impervious Surface Ratio (ISR), divide line 1 by line 2:	34%
11. Including parking spaces, driveways, loading areas, parking aisles, and other circulation areas and not including building area or any area which will remain completely undeveloped, calculate the square footage of the VAA.	42,253 sq. ft.
12. Deciduous trees needed (use ISR from line 11 above to determine ISI ratio): For High ISR, enter 0.0003; For Moderately High ISR, enter 0.00025; For Moderate ISR, enter 0.00020; For Low ISR, enter 0.00016.	7 Trees
13. Shrubs needed (use ISR from line 11 above to determine ISI ratio): For High ISR, enter 0.0030; For Moderately High ISR, enter 0.0020; For Moderate ISR, enter 0.0010; For Low ISR, enter 0.0003.	13 Shrubs
14. Is the amount of parking more than what is prescribed in Section 13	If YES go to line 15 If NO stop here
15. For extra trees required, multiply line 12 by 0.05:	-- Trees
16. For extra shrubs required, multiply line 13 by 0.05:	-- Shrubs
17. Subtotal (deciduous trees) add line 12 & line 15:	7 Trees
18. Subtotal (shrubs) add line 13 & line 16:	13 Shrubs
19. A minimum of 30% of the parking is provided in the side or rear of the building	YES
20. VAAs are distinctly divided into smaller units. (each less than 25,000 sq. ft.)	NO
21. Stormwater detention pond is incorporated with the landscaping elements	NO
22. A minimum of 20% of the total VAAs are paved using paving grids	NO
23. Total number of boxes checked in lines 19 through 22:	1
24. Reduction multiplier: Multiply line 23 by 0.05 (5% reduction in required landscaping)	5%
25. Street trees planted at rate of 1 per 30' of street.	YES
26. Evergreen shrubs screen VAAs from adjacent lots and street rights-of-way	NO
27. Adequate provisions have been made for pedestrian and bike traffic by installing walkways, bikeways, bicycle parking, and other similar facilities within the VAAs	NO
28. Total number of boxes checked in lines 25-27:	1
29. Reduction in landscaping: Multiply line 28 by 0.1 (10% reduction in required landscaping)	10%
30. Total Exemptions - add line 24 & line 29:	15%
31. For the reduction in the number of deciduous trees required, multiply line 17 and line 30:	1 Trees
32. For the reduction in the number of shrubs required, multiply line 18 and line 30:	2 Shrubs
33. Deciduous Trees: Subtract line 31 from line 17:	6 Trees
34. Shrubs: Subtract line 32 from line 18:	11 Shrubs



- PLANTING LEGEND**
- (4) RED MAPLE (*acer rubrum*)  
2" CALIPER AND 8' TALL @ PLANTING
  - (6) LIVE OAK (*quercus virginiana*)  
2" CALIPER AND 8' TALL @ PLANTING
  - (11) DWARF YAUPON HOLLY (*ilex vomitoria*)  
18" HIGH @ PLANTING
  - INTERIOR LANDSCAPING (3,040 S.F.)
  - EXTERIOR LANDSCAPING (2,232 S.F.)
  - TOTAL LANDSCAPING AREA (5,272 S.F.)**

SCALE: 1" = 30'



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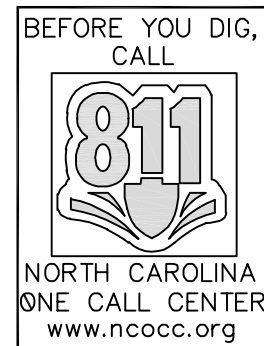
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 CAMPEN ROAD  
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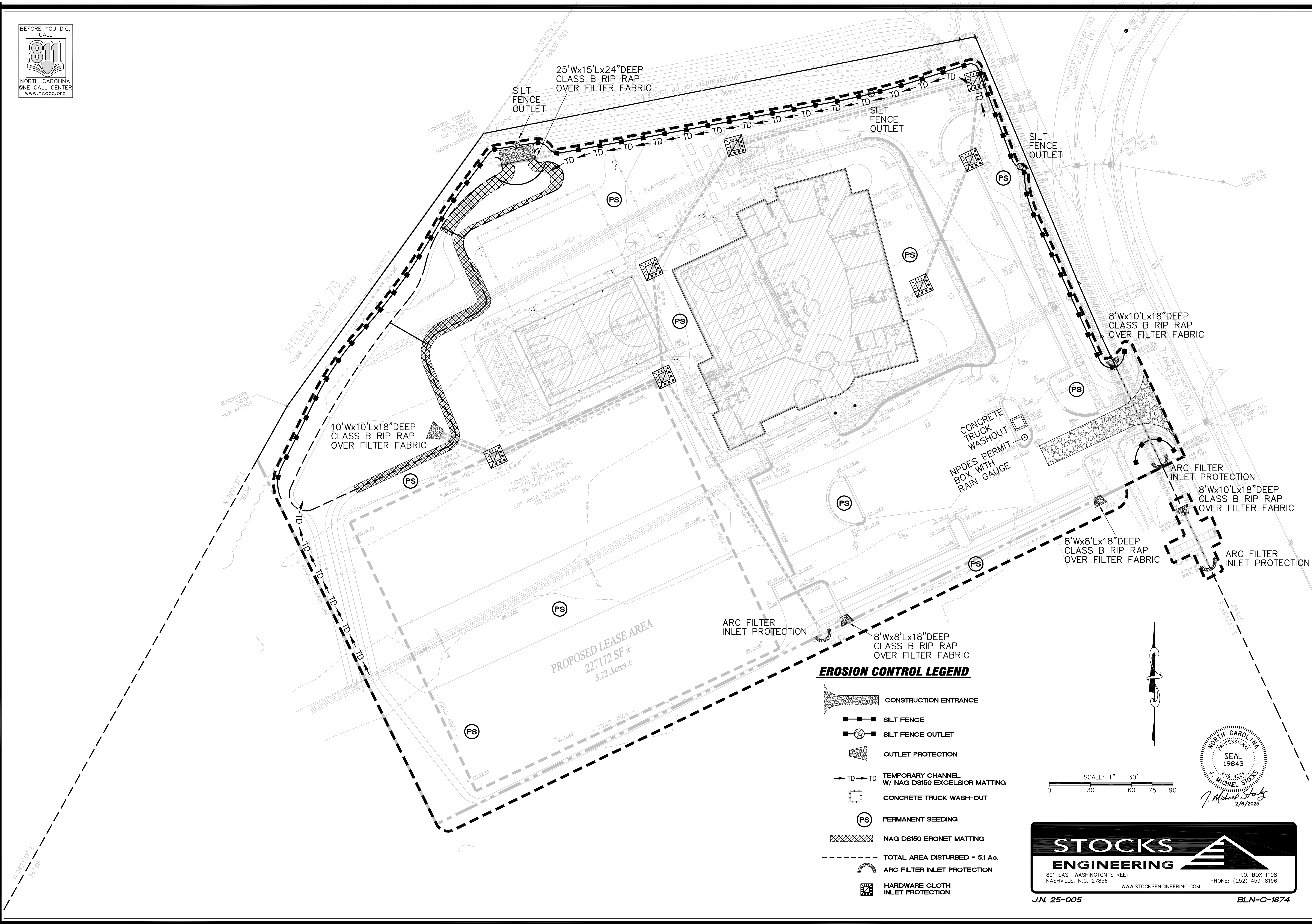
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Date	Project No.	
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Drawn By	Sheet No.	
TL		
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Sheet Title	LANDSCAPE PLAN	



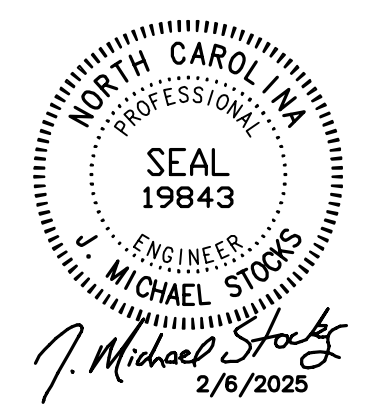
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**EROSION CONTROL LEGEND**

- CONSTRUCTION ENTRANCE
- SILT FENCE
- SILT FENCE OUTLET
- OUTLET PROTECTION
- TD → TD TEMPORARY CHANNEL W/ NAG DS150 EXCELSIOR MATTING
- CONCRETE TRUCK WASH-OUT
- PS PERMANENT SEEDING
- NAG DS150 ERONET MATTING
- TOTAL AREA DISTURBED = 5.1 Ac.
- ARC FILTER INLET PROTECTION
- HARDWARE CLOTH INLET PROTECTION

SCALE: 1" = 30'  
0 30 60 75 90



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Revisions	
Description	Date
Date: 02/06/25	Project No: 00000
Drawn By: TL	Sheet No: CE6.0
Checked By: JKV	
Sheet Title: EROSION CONTROL PLAN	

**EROSION AND SEDIMENTATION CONTROL NARRATIVE**

**PROJECT DESCRIPTION**  
The purpose of this project is for the construction of a new EMS Station. The project is owned by Franklin County. The site is currently vacant. Approximately 1.59 acres will be disturbed during construction.

The project is scheduled to begin construction in Summer 2024 with project completion and final stabilization by Spring 2025. The erosion and sediment control program for this project will include the installation of a suitable construction entrance, silt fence, silt fence outlets, inlet protection, skimmer basins, temporary diversions, skimmer basin and seeding of the site.

**ADJACENT PROPERTY**  
The adjacent property is vacant/municipal.  
**SOILS**  
The soil at this site is a sandy loam.

**EROSION AND SEDIMENT CONTROL MEASURES**  
All vegetative and structural erosion and sediment control practices shall be constructed and maintained by the contractor according to these plans and specifications and the minimum standards of the Dept. of Environmental Management, Land Quality Section and City of Clayton. The contractor shall also follow any additional requirements as outlined by the Project Engineer.

- Structural Practices**
- Vehicle wheels shall be clean when leaving the site to prevent the tracking of mud on paved roads.
  - Construction Road Stabilization: Construction traffic shall be limited to stabilized areas. At a minimum, a temporary gravel construction entrance shall be provided as shown on this drawing.
  - Silt Fence: Silt fences shall be provided where shown and as needed on the site plan. These barriers shall be used to contain sediment.
  - Rip Rap/Gravel Filter Sediment Basins: Construct basin to the shape and dimensions shown in the details. The basin is to be placed below the existing ditch flow line by 2' with the berm built above as dimensioned.

**Vegetative Practices (Ground Stabilization)**

Site Area Description:	Stabilization Time Frame:	Stabilization Time Frame Exceptions:
Perimeter dikes, swales, ditches & slopes.	7 Days	None
High Quality Water (HQW) Zones.	7 Days	None
Slope steeper than 3:1	7 Days	None
Slopes 3:1 or flatter.	10 Days	7 Days for slopes greater than 50 feet in length.

**Seeding Schedule**

**Ongoing Activity** Land left exposed shall be planted or otherwise provided with temporary ground cover, devices, or structures sufficient to restrain erosion within the applicable time period after completion of any phase of grading or period of inactivity as follows: seven (7) days for steep slope or inclination, ten (10) days for a moderate slope, fourteen (14) days for land with no slope or inclination. For purposes of this section, a moderate slope means an inclined area, the inclination of which is less than or equal to three (3) units of horizontal distance to one (1) unit of vertical distance; and a steep slope means an inclined area, the inclination of which is greater than three (3) units of horizontal distance to one (1) unit of vertical distance. No other criteria apply.

**Completed Activity** For any area of land-disturbing activity where grading activities have been completed, temporary or permanent ground cover sufficient to restrain erosion shall be provided as soon as practicable, but in no case later than seven (7) days after completion of grading.

- Management Strategies**
- Perimeter measures are to be installed prior to grubbing or grading.
  - Tail Ditches shall be stabilized immediately following their construction. As an alternate, rock check dams may be provided at their outlets and/or the terminal downstream end of disturbance until ground cover is implemented.
  - Stockpile and/or waste areas must be maintained within the limits of the areas protected by the proposed measures and otherwise temporarily seeded if to be left stockpiled over 15 days.
  - Construction shall be planned so that grading operations can begin and end as quickly as possible.
  - Silt Fences shall also be installed prior to or as a first step in construction.
  - The Contractor shall be responsible for the installation and maintenance of all erosion and sediment control practices.

**Vegetative Ground Cover**  
Immediately following grading, all areas shall receive either permanent or temporary seeding, as applicable, as follows:

**TEMPORARY SEEDING SPECIFICATIONS**

BETWEEN MAY 1 AND AUGUST 15, ADD 40 LB/ACRE GERMAN MILLET. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 120 LB/ACRE RYE (GRAIN).

FALL IS BEST FOR TALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVERSEEDING OF KOBE LESPEDEZAS OVER THE FALL SEEDED TALL FESCUE IS VERY EFFECTIVE. USE UNHULLED BERMOUDAGRASS SEED IN FALL.

**SOIL AMENDMENTS**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST. IF SANDY SOILS APPLY AGRICULTURAL GRADE LIME AT A RATE OF 2 TONS/ACRE. IF CLAY SOILS APPLY AGRICULTURAL GRADE LIME AT 3 TONS/ACRE. IF SOIL TEST IS NOT AVAILABLE APPLY 1,000 LBS/ACRE OF 10-10-10 FERTILIZER.

**MULCH**

APPLY 4,000 LB/ACRE GRAIN STRAW, OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR MULCH BY TACKING WITH ASPHALT AT A RATE OF 400 GALLONS/ACRE. ROVING OR NETTING. NETTING IS THE PREFERRED ANCHORING METHOD ON STEEP SLOPES.

**MAINTENANCE**

REFERFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**PERMANENT SEEDING SPECIFICATIONS**

FESCUE - 200 Lbs./Ac.  
CENTIPEDE - 20 Lbs./Ac.

**SOIL AMENDMENTS**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST.

**MAINTENANCE**

IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERFERTILIZE THE SECOND YEAR. ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 LB/ACRE 10-10-10 FERTILIZER. MOW AS NEEDED. REPLACE, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

**Maintenance**

- Reseed and mulch bare spots larger than 9 square feet (limited to 5% maximum of site area).
- Maintain all seeded areas until uniform stand is acceptable.
- If growth is not established by final project inspection, continue specified attention until the stand is acceptable.
- Correct and repair all undue settling and erosion within 1 year after final inspection.
- Remove from the site, all erosion control structures after complete stabilization at end of construction period.
- Remove silt from sediment pits and from behind check dams when silt is within half depth of the pit or spillway. Dispose of in an area where silt cannot re-enter pit / trap.

**Calculations**

The practice utilized for the proposed site did require formal calculations. Calculations have been provided.

**OWNER**

Franklin County  
113 Market Street  
BUNN, NC 27549

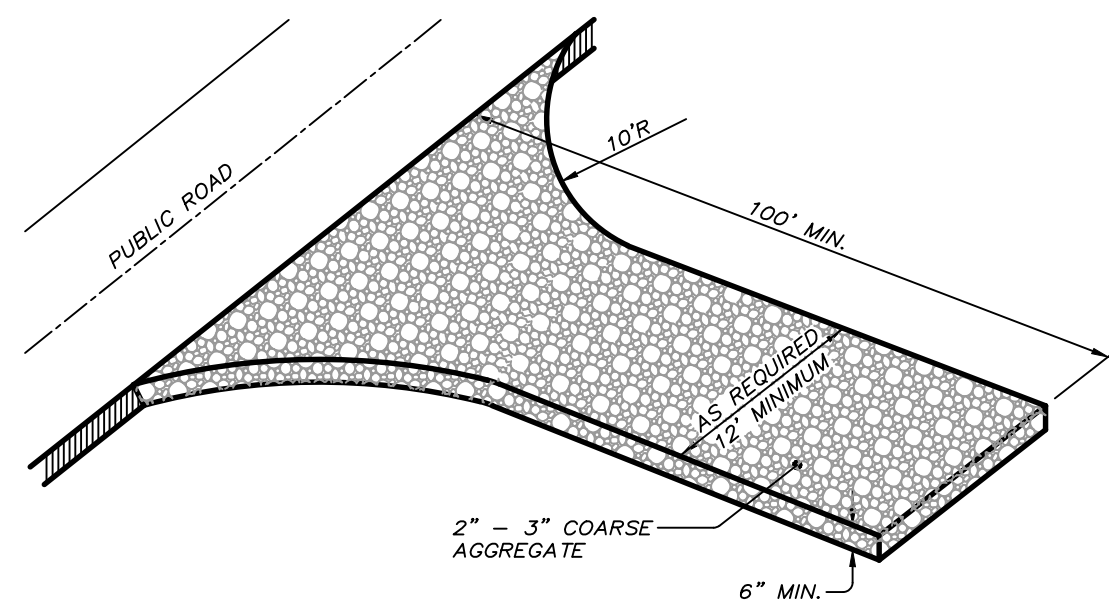
**Maintenance Notes:**

- Follow chart for timelines of when to apply temporary seeding.
- Maintain all erosion control measures daily and reseed disturbed areas as needed.
- Inspect all erosion control measures weekly and after each rainfall event. Repair as needed.

**GENERAL NOTES:**

- All Stockpile areas shall be a minimum of 100' away from surface waters and inside the perimeter EC Measures.
- All Concrete Washout areas shall be a minimum of 100' away from surface waters and inside the perimeter EC Measures.
- If an offsite soil spoil or borrow site is utilized, then the disturbed area for the spoil/borrow site must be included in the land-disturbance plan and permit unless the spoil/borrow site already has a land-disturbance permit.

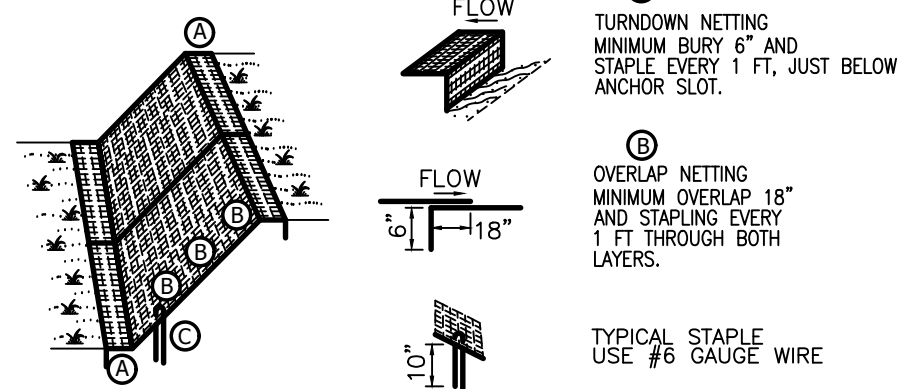
**CONSTRUCTION ENTRANCE**  
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
  - PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
  - PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
  - USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

**MAINTENANCE:**  
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED OUT TO PUBLIC ROADWAYS.

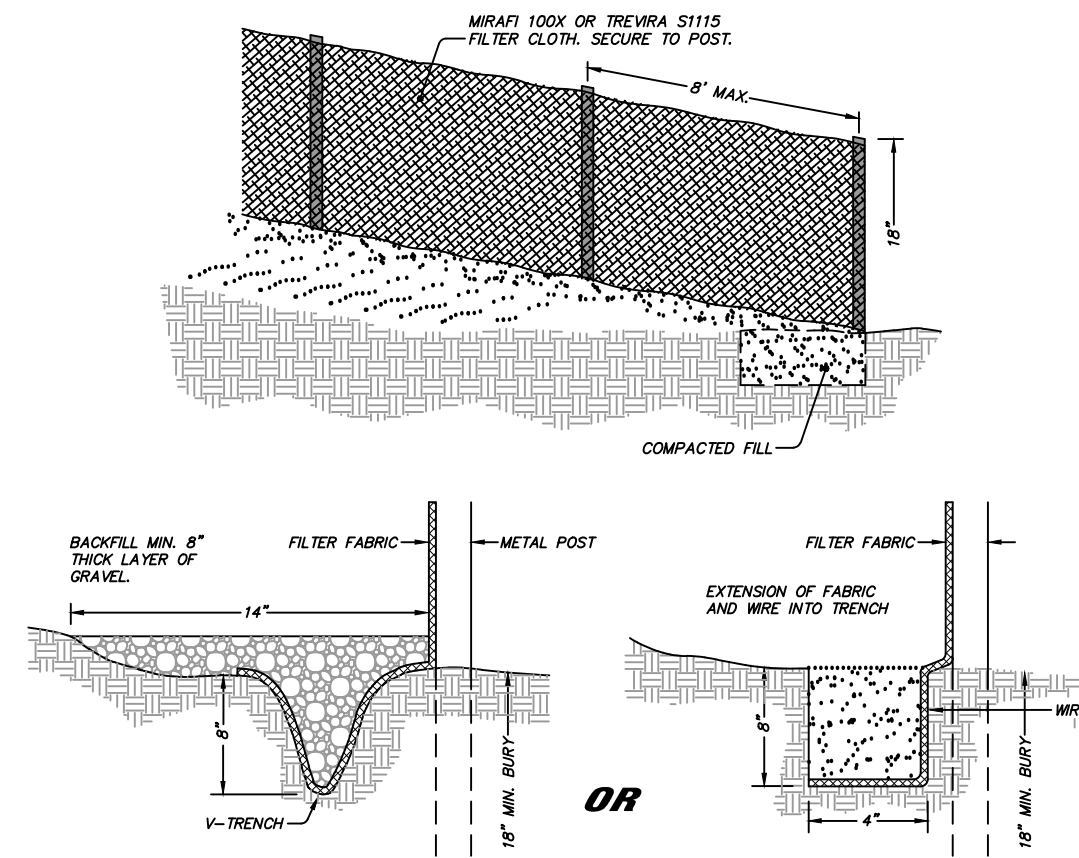
**EXCELSIOR MATTING**  
NOT TO SCALE



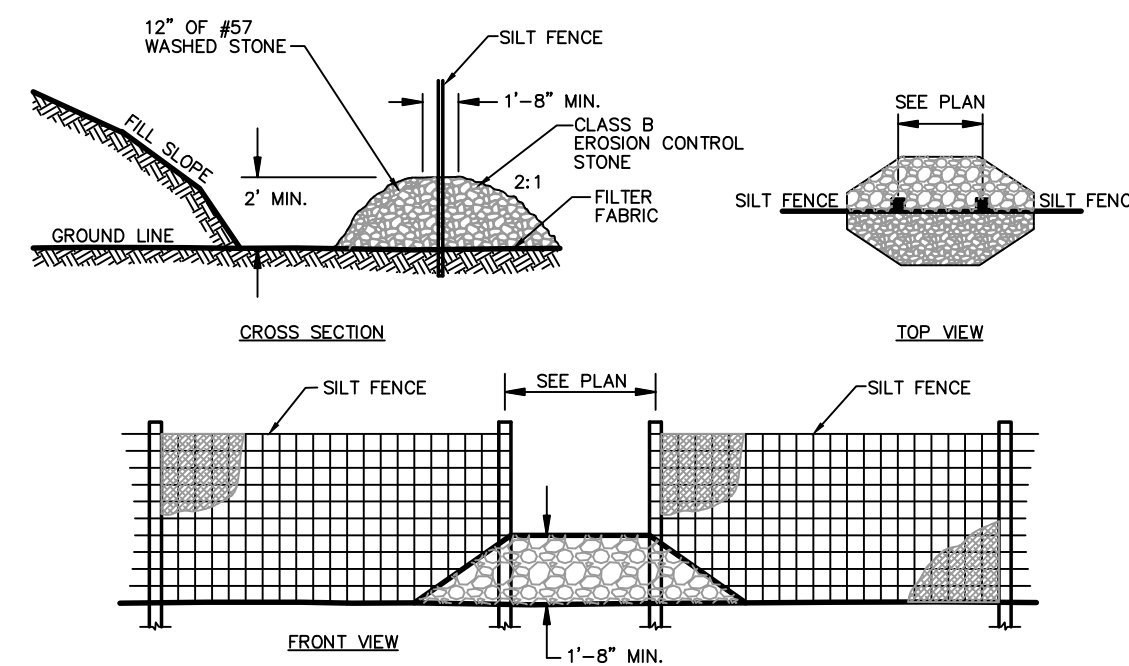
**GENERAL NOTES:**

- Apply seed, and tack with rs or crs liquid emulsified asphalt at a rate equal to 10 gal. per 1000 s.f. Cover w/excelsior matting.
- Staple every 24" along perimeter edges and overlaps. Staple every 36" to 48" randomly to secure netting.
- Roll out netting in the direction of water flow. Do not stretch.

**SILT FENCE**  
NOT TO SCALE



**SILT FENCE OUTLET**  
NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS:**

- CONSTRUCT THE SEDIMENT BARRIER OF STANDARD OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS.
- ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE GROUND SURFACE. (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
- SUPPORT STANDARD FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
- WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
- EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
- EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
- BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
- DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

**MAINTENANCE:**

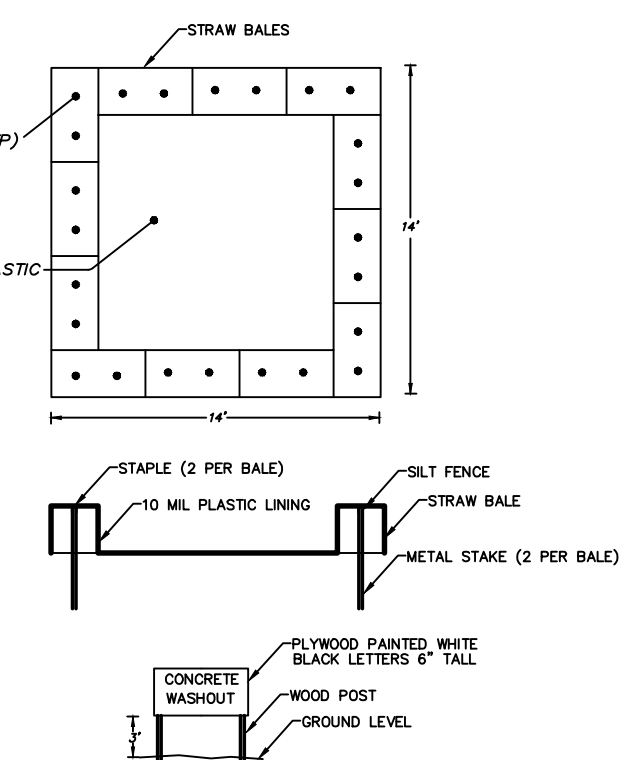
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPAIR IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**CONSTRUCTION SPECS:**

- CLEAR & GRUB THE AREA AROUND THE SILT FENCE OUTLET AND PROPERLY DISPOSE OF DEBRIS.
- PLACE GRAVEL TO THE SPECIFIC GRADE AS SHOWN PER THE DETAIL.
- PROPERLY OVERLAP STONE BEYOND EDGES OF SILT FENCE OPENING.

**MAINTENANCE:**

INSPECT OUTLETS WEEKLY AND AFTER EACH RAIN EVENT. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR AS NEEDED. CAREFULLY CHECK OUTLETS FOR EROSION AND REPAIR IMMEDIATELY. ENSURE THERE IS NO SCOURING APPARENT DOWNSTREAM OF OUTLET. IMMEDIATELY STABILIZE ANY AREAS THAT NEED REPAIR.

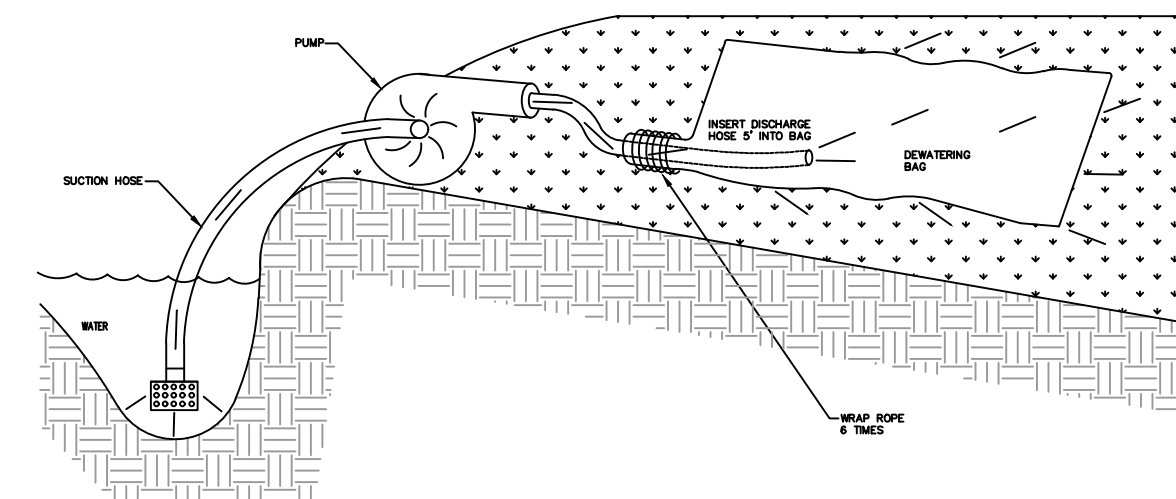


- CONSTRUCTION SPECIFICATIONS:**
- CONCRETE WASHOUT SIGN SHALL BE INSTALLED NO FURTHER THAN 25' FROM THE FACILITY AND SHALL BE VISIBLE TO ALL CONSTRUCTION TRAFFIC.
  - POLYETHYLENE SHEETING SHALL BE 10 MILS FREE OF HOLES, TEARS, OR LEAKS.

**MAINTENANCE:**

FACILITY SHALL NOT BE FILLED MORE THAN 12" FROM THE TOP BEFORE DISPOSING OF CONCRETE. CONCRETE SHALL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS MATERIALS ON THE SITE OR MAY BE BROKEN UP AND USED AS FILL IN NON-STRUCTURAL AREAS.

**CONCRETE TRUCK WASHOUT**  
NOT TO SCALE



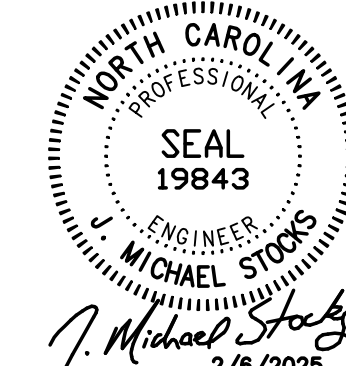
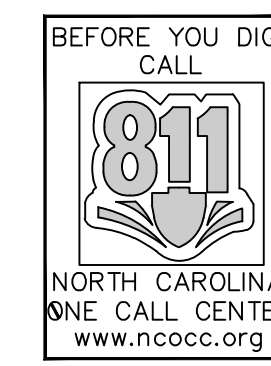
**Installation and Use:**

- Place Dewatering Bag on the ground or on a trailer over a relatively level, stabilized area.
- Insert discharge pipe a minimum of 5ft, inside dewatering bag and secure with a rope wrapped 6 times around the snout over a 6 inch width of the bag.
- Replace Dewatering Bag when half full of sediment or when the sediment has reduced the flow rate of the pump discharge to an impractical amount.

**Maintenance and Disposal:**

- Remove and dispose of accumulated sediment away from waterways or environmentally sensitive areas. Silt, open Sediment Bag and remove accumulated sediment. Dispose of bag at an appropriate recycling or solid waste facility. OR; as directed by engineer or inspector.

**DEWATERING BAG**  
SCALE: N.T.S.



**STOCKS ENGINEERING**  
801 EAST WASHINGTON STREET NASHVILLE, TN 27856  
P.O. BOX 1108 PHONE: (252) 459-8196  
WWW.STOCKSENGINEERING.COM

J.N. 25-005

BLN-C-1874

**OAKLEY COLLIER ARCHITECTS**  
OCA ARCHITECTS  
109 Condliewood Road, Rocky Mount, NC 27804 (P) 252.937.2500  
305 W. Martin Street, Raleigh, NC 27601

**BEAUFORT BOYS and GIRLS CLUB**  
NEW CONSTRUCTION FOR:  
CAMPEN ROAD  
BEAUFORT, NC

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

**GENERAL NOTE:**  
Prior to construction start, Contractor shall verify & be responsible for all dimensions.

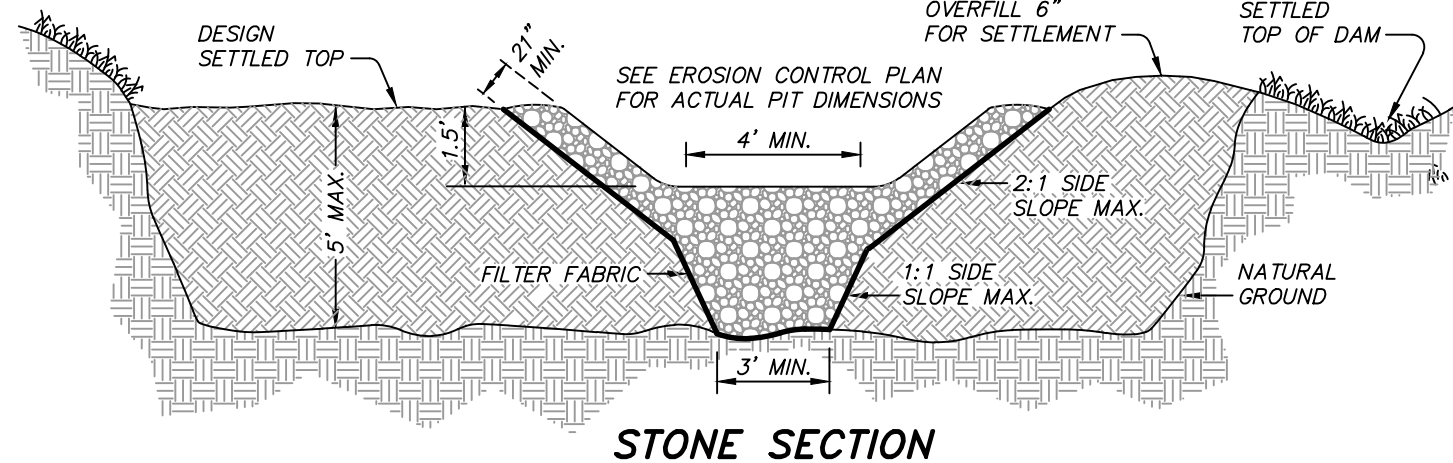
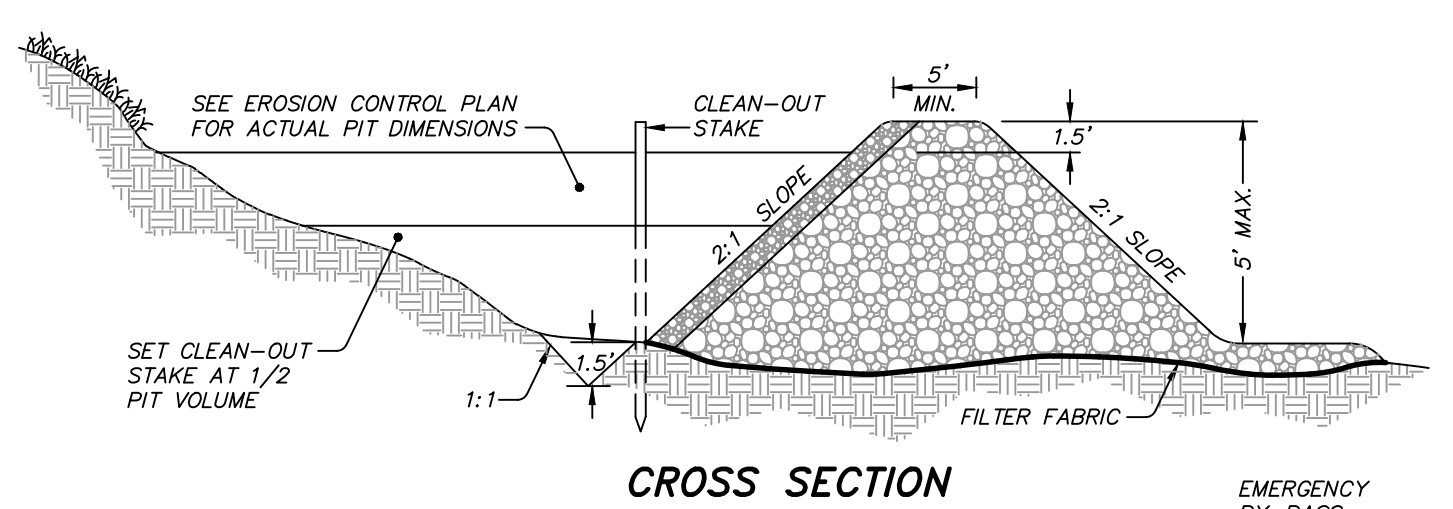
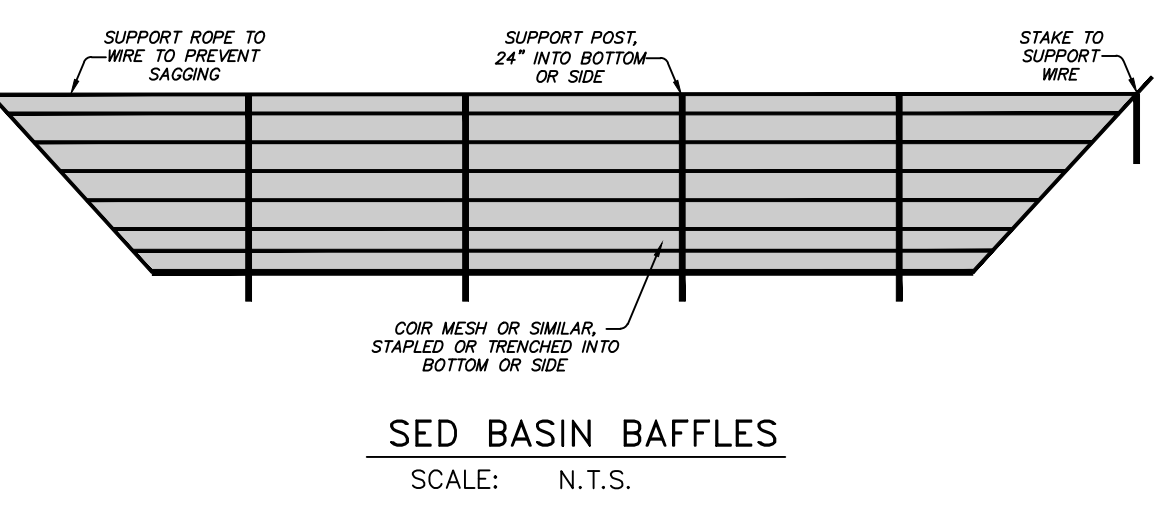
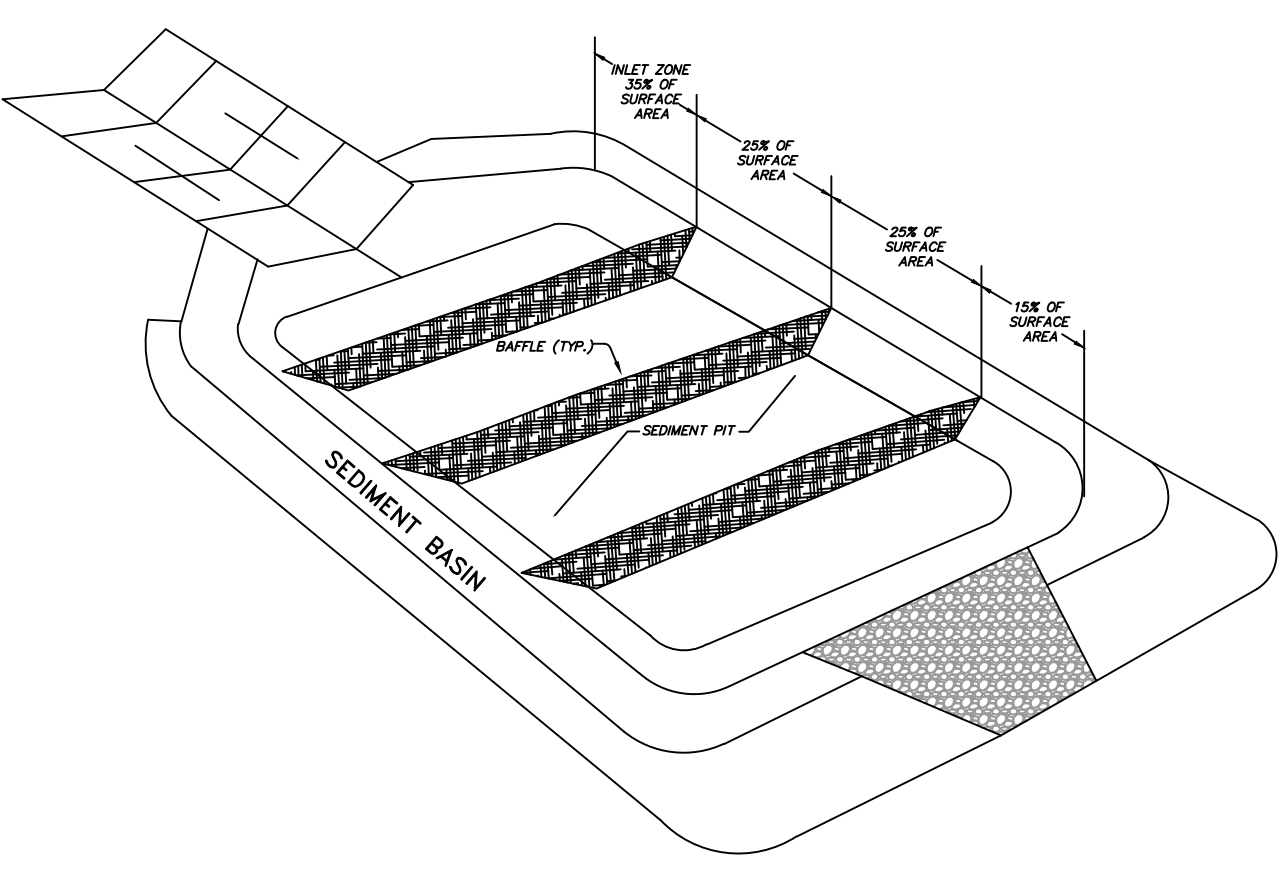
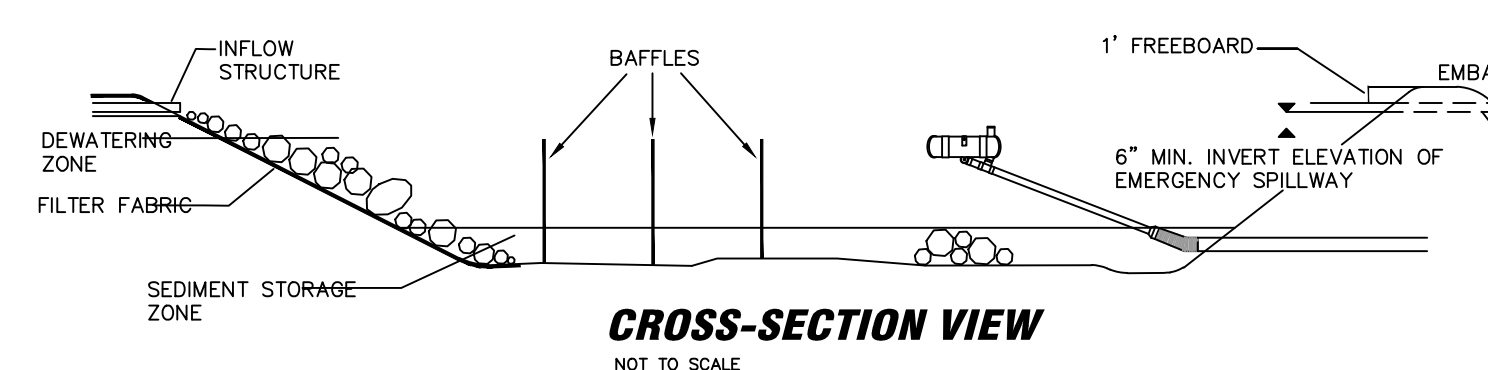
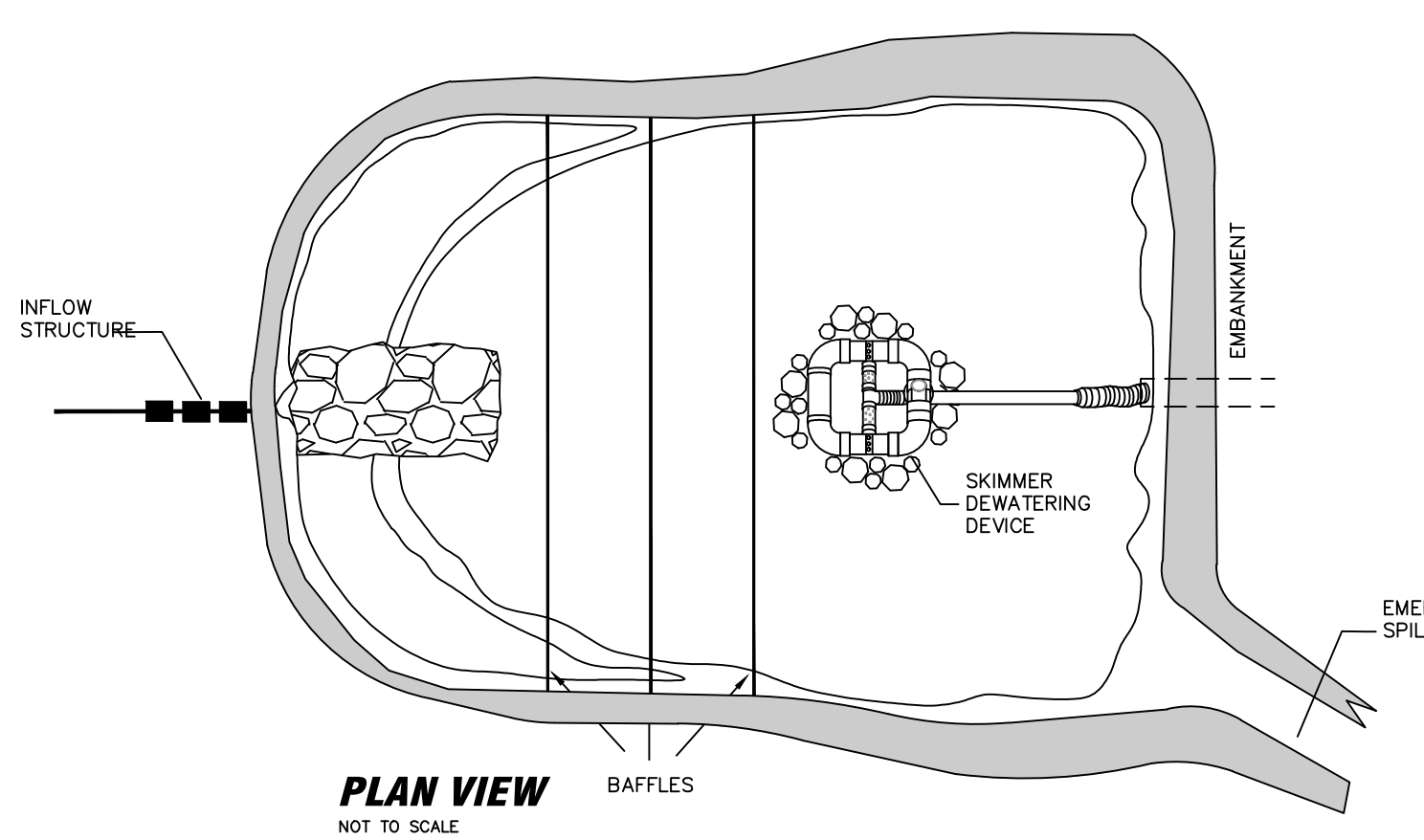
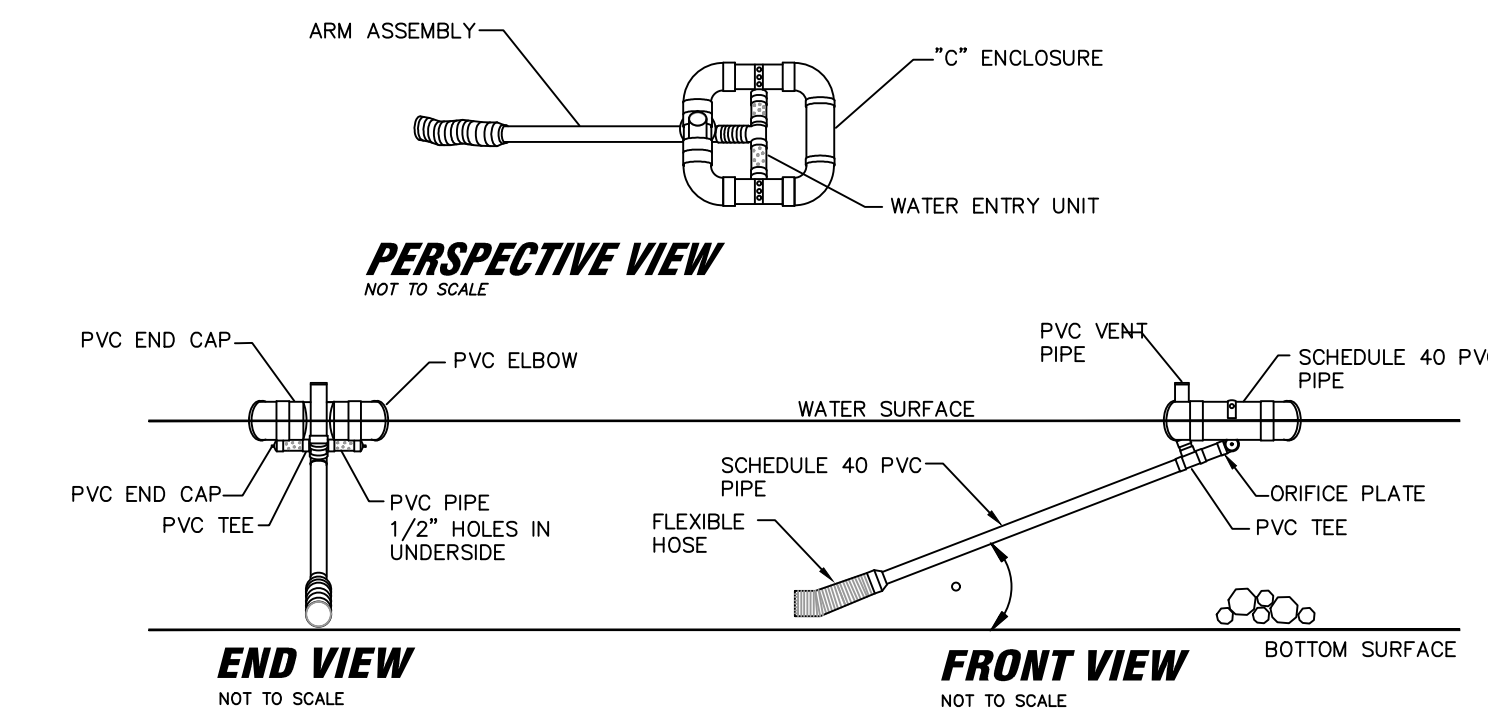
Revisions	Description	Date

Date	Project No.
02/06/25	00000
Drawn By	Sheet No.
TL	
Checked By	D-01
JKV	
	Sheet Title
	EROSION CONTROL DETAILS

### SKIMMER SEDIMENT BASIN

NOT TO SCALE

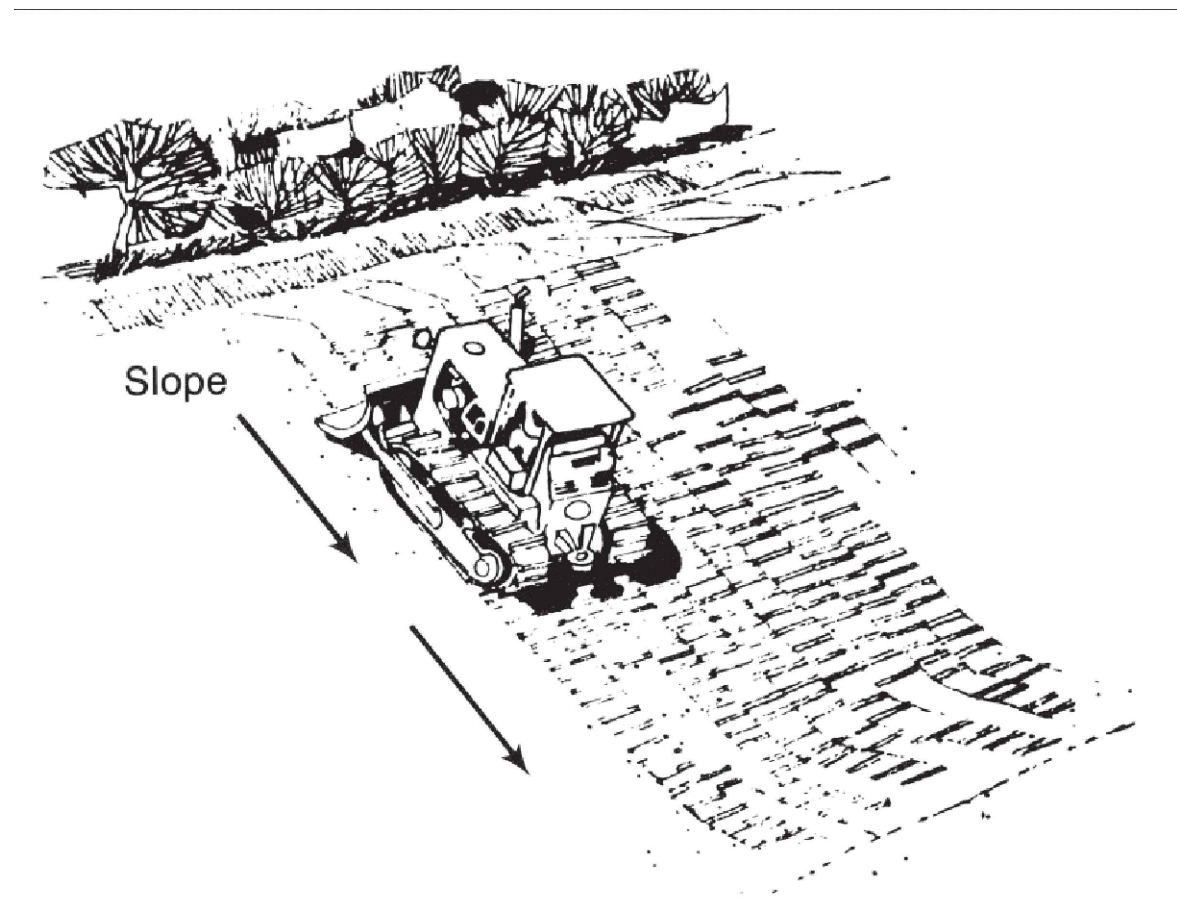


### GENERAL NOTES:

1. Clear, grub, and strip the area under the embankment of all vegetation and root mat. Remove all surface soil containing high amounts of organic matter and stockpile or dispose of it properly. Haul all objectionable material to the designated disposal area. Place temporary sediment control measures below basin as needed.
2. Ensure that fill material for the embankment is free of roots, woody vegetation, organic matter, and other objectionable material. Place the fill in lifts not to exceed 9 inches, and machine compact it. Over fill the embankment 6 inches to allow for settlement.
3. Shape the basin to the specified dimensions. Prevent the skimming device from settling into the mud by excavating a shallow pit under the skimmer or providing a low support under the skimmer of stone or timber.
4. Place the barrel (typically 4-inch Schedule 40 PVC pipe) on a firm, smooth foundation of impervious soil. Do not use pervious material such as sand, gravel, or crushed stone as backfill around the pipe. Place the fill material around the pipe spillway in 4-inch layers and compact it under and around the pipe to at least the same density as the adjacent embankment. Care must be taken not to raise the pipe from the firm contact with its foundation when compacting under the pipe haunches. Place a minimum depth of 2 feet of compacted backfill over the pipe spillway before crossing it with construction equipment. In no case should the pipe conduit be installed by cutting a trench through the dam after the embankment is complete.
5. Assemble the skimmer following the manufacturers instructions, or as designed.
6. Lay the assembled skimmer on the bottom of the basin with the flexible joint at the inlet of the barrel pipe. Attach the flexible joint to the barrel pipe and position the skimmer over the excavated pit or support. Be sure to attach a rope to the skimmer and anchor it to the side of the basin. This will be used to pull the skimmer to the side for maintenance.
7. Earthen spillways - Install the spillway in undisturbed soil to the greatest extent possible. The achievement of planned elevations, grade, design width, and entrance and exit channel slopes are critical to the successful operation of the spillway. The spillway should be lined with laminated plastic or impermeable geotextile fabric. The fabric must be wide and long enough to cover the bottom and sides and extend onto the top of the dam for anchoring in a trench. The edges may be secured with 8-inch staples or pins. The fabric must be long enough to extend down the slope and exit onto stable ground. The width of the fabric must be one piece, not joined or spliced; otherwise water can get under the fabric. If the length of the fabric is insufficient for the entire length of the spillway, multiple sections, spanning the complete width, may be used. The upper section(s) should overlap the lower section(s) so the water cannot flow under the fabric. Secure the upper edge and sides of the fabric in a trench with staples or pins.
8. Inlets. Discharge water into the basin in a manner to prevent erosion. Use temporary slope drains or diversions with outlet protection to divert sediment-laden water to the upper end of the pool area to improve basin trap efficiency.
9. Erosion control - Construct the structure so that the disturbed area is minimized. Divert surface water away from bare areas. Complete the embankment before the area is cleared. Stabilize the emergency spillway embankment and all other disturbed areas above the crest of the principal spillway immediately after construction.
10. Install porous baffles as specified.
11. After all the sediment-producing areas have been permanently stabilized, remove the structure and all the unstable sediment. Smooth the area to blend with the adjoining areas and stabilize properly.

### SEDIMENT BASIN

SCALE: N.T.S.



### CONSTRUCTION SPECIFICATIONS:

- Fill Slope**
1. Stair-step grade or groove cut slopes with a gradient steeper than 3:1. Grooving uses machinery to create a series of ridges and depressions that run across the slope (on the contour). Groove using any appropriate implement that can be safely operated on the slope, such as disks, tillers, spring harrows, or the teeth on a front-end loader bucket. Do not make such grooves less than 3 inches deep nor more than 15 inches apart.
  2. Use stair-step grading on any erodible material soft enough to be ripped with a bulldozer. Slopes consisting of soft rock with some subsoil are particularly suited to stair-step grading.
  3. Make the vertical cut distance less than the horizontal distance, and slightly slope the horizontal position of the 'step' in toward the vertical wall.
  4. Do not make individual vertical cuts more than 2 feet in soft materials or more than 3 feet in rocky materials.
- Cut Slope**
1. Place fill slopes with a gradient steeper than 3:1 in lifts not to exceed 9 inches, and make sure each lift is properly compacted. Ensure that the face of the slope consists of loose, uncompacted fill 4 to 6 inches deep. Use grooving, as described above, to roughen the face of the slopes, if necessary.
  2. Do not blade or scrape the final slope face.

**Limit roughening with tracked machinery to sandy soils to avoid undue compaction of the soil surface. Tracking is generally not as effective as the other roughening methods described. Operate tracked machinery up and down the slope to leave horizontal depressions in the soil. Do not back-blade during the final grading operation.**

**MAINTENANCE:**  
Periodically check the seeded slopes for rills and washes. Fill these areas slightly above the original grade, then reseed and mulch as soon as possible.

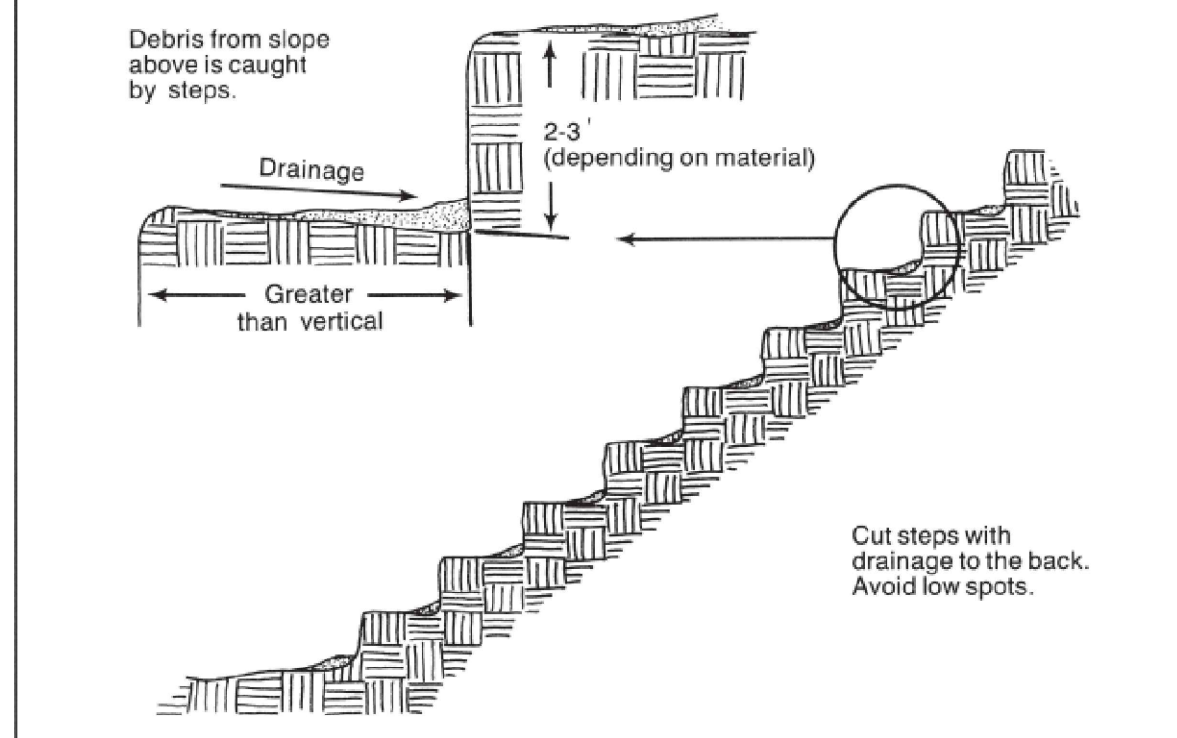


Figure 6.03b Stair stepping on slopes (modified from Va SWCC).

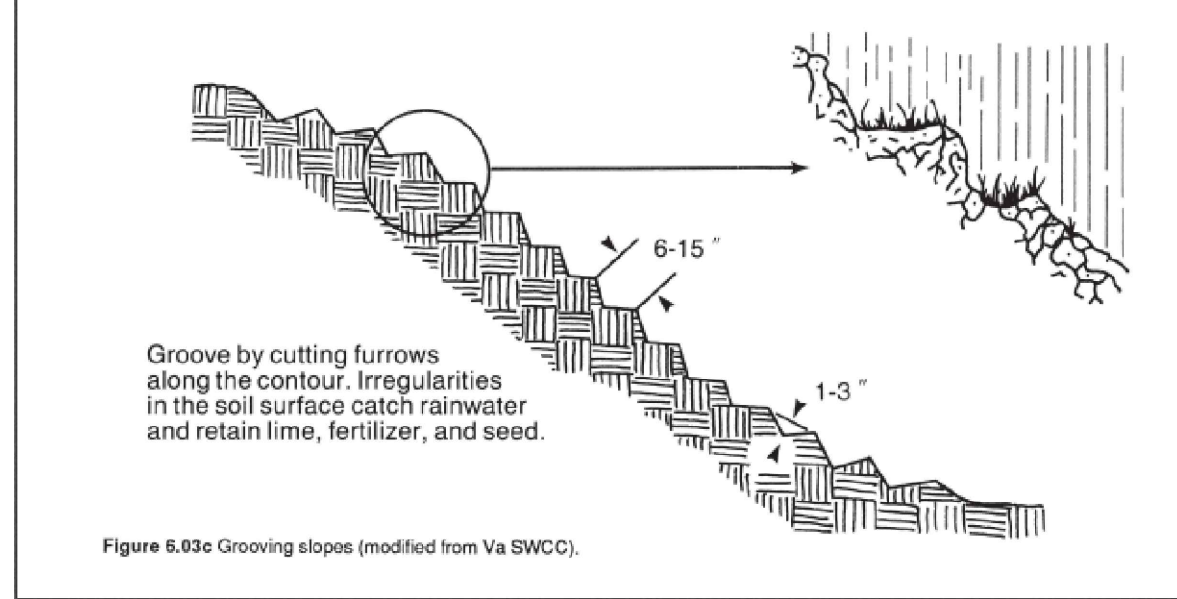
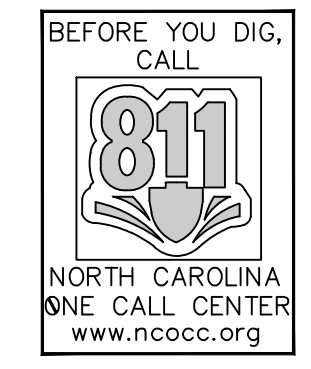


Figure 6.03c Grooving slopes (modified from Va SWCC).



**STOCKS ENGINEERING**

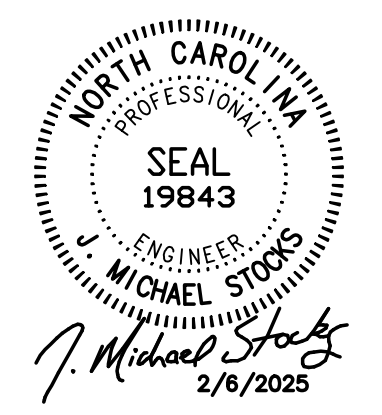
801 EAST WASHINGTON STREET NASHVILLE, N.C. 27856

P.O. BOX 1108 PHONE: (252) 459-8196

WWW.STOCKSENGINEERING.COM

J.N. 25-005

BLN-C-1874



OAKLEY COLLIER ARCHITECTS  
OCA ARCHITECTS

109 Condlow Road, Rocky Mount, NC 27804 (P) 252.937.2500  
303 W. Martin Street, Raleigh, NC 27601

BEAUFORT BOYS and GIRLS CLUB  
CAMPEN ROAD  
BEAUFORT, NC

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

**GENERAL NOTE:**  
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions	Description	Date

Date	Project No.
02/06/25	00000
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TL	D-02
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JKV	
	Sheet Title
	EROSION CONTROL DETAILS

**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

- 1. Occurrences that Must be Reported**  
Permittees shall report the following occurrences:
- (a) Visible sediment deposition in a stream or wetland.
  - (b) Oil spills if:
    - They are 25 gallons or more,
    - They are less than 25 gallons but cannot be cleaned up within 24 hours,
    - They cause sheen on surface waters (regardless of volume), or
    - They are within 100 feet of surface waters (regardless of volume).
  - (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
  - (d) Anticipated bypasses and unanticipated bypasses.
  - (e) Noncompliance with the conditions of this permit that may endanger health or the environment.
- 2. Reporting Timeframes and Other Requirements**  
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>• If the stream is named on the <a href="#">NC 303(d) list</a> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>• <b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).</li> <li>• Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**  
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**  
In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**  
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol style="list-style-type: none"> <li>1. Identification of the measures inspected,</li> <li>2. Date and time of the inspection,</li> <li>3. Name of the person performing the inspection,</li> <li>4. Indication of whether the measures were operating properly,</li> <li>5. Description of maintenance needs for the measure,</li> <li>6. Description, evidence, and date of corrective actions taken.</li> </ol>
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol style="list-style-type: none"> <li>1. Identification of the discharge outfalls inspected,</li> <li>2. Date and time of the inspection,</li> <li>3. Name of the person performing the inspection,</li> <li>4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration,</li> <li>5. Indication of visible sediment leaving the site,</li> <li>6. Description, evidence, and date of corrective actions taken.</li> </ol>
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: <ol style="list-style-type: none"> <li>1. Actions taken to clean up or stabilize the sediment that has left the site limits,</li> <li>2. Description, evidence, and date of corrective actions taken, and</li> <li>3. An explanation as to the actions taken to control future releases.</li> </ol>
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: <ol style="list-style-type: none"> <li>1. Description, evidence and date of corrective actions taken, and</li> <li>2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.</li> </ol>
(6) Ground stabilization measures	After each phase of grading	<ol style="list-style-type: none"> <li>1. The phase of grading (installation of perimeter E&amp;SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover).</li> <li>2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.</li> </ol>

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART II, SECTION G, ITEM (4)**  
**DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Rolled erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Rolled erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

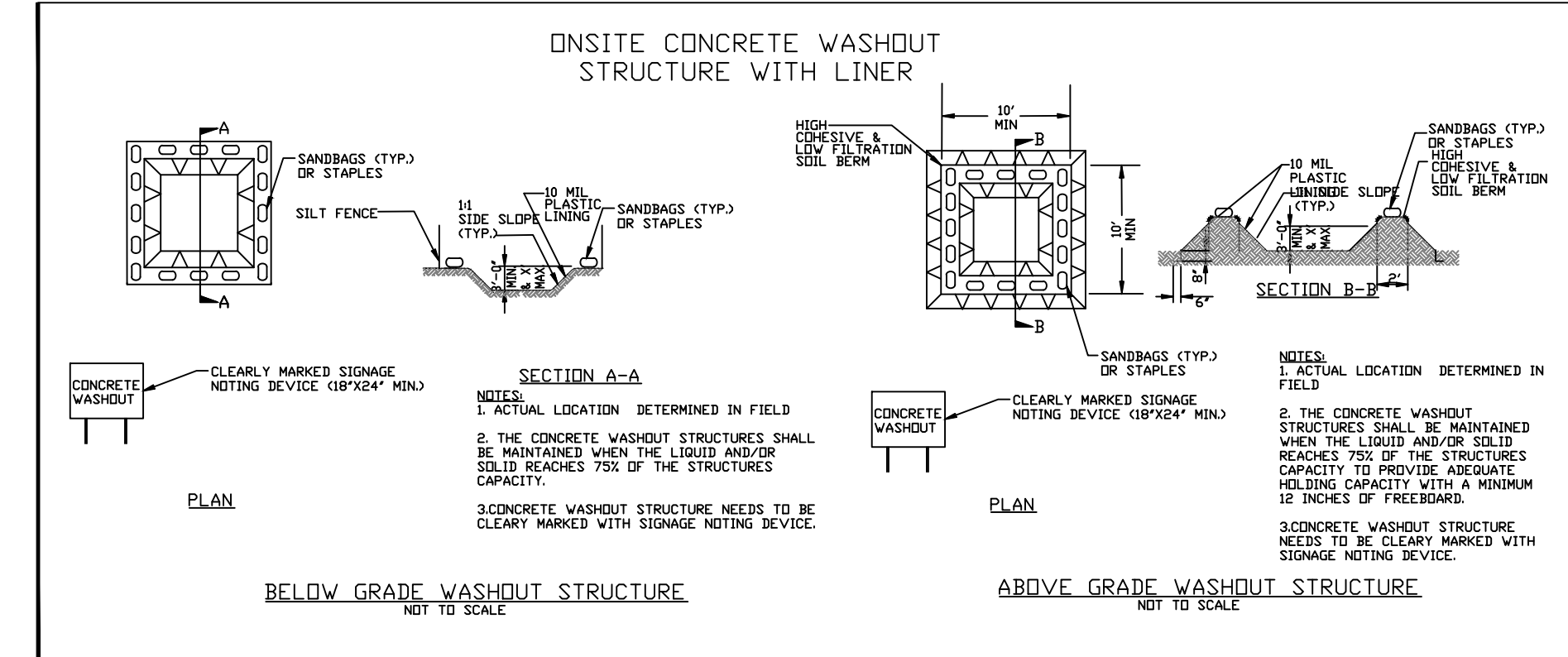
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

**OAKLEY COLLIER ARCHITECTS**  
 109 Condlow Road, Rocky Mount, NC 27804 (P) 252.937.2500  
 305 W. Martin Street, Raleigh, NC 27601

**BEAUFORT BOYS and GIRLS CLUB**  
 CAMPEN ROAD  
 BEAUFORT, NC

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

GENERAL NOTE:  
 Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions	Description	Date

Date	Project No.
02/06/25	00000
Drawn By	Sheet No.
TL	D-04
Checked By	
JKV	
Sheet Title	
NPDES SHEETS	





**CARRIER PIPE**

NOMINAL DIAMETER	OUTSIDE DIAMETER	OUTSIDE DIAMETER	WALL THICKNESS	OUTSIDE DIAMETER	WALL THICKNESS
6" & UNDER	6.90"	12 3/4"	0.188"	12 3/4"	0.188"
8"	9.05"	16"	0.281"	16"	0.250"
10"	11.10"	20"	0.344"	20"	0.250"
12"	13.20"	24"	0.375"	24"	0.250"
14"	15.30"	28"	0.438"	28"	0.312"
16"	17.40"	30"	0.469"	30"	0.312"
18"	19.50"	30"	0.469"	30"	0.312"
20"	21.60"	42"	0.625"	42"	0.500"
24"	25.80"	42"	0.625"	42"	0.500"

\*DIMENSIONS ARE WITHOUT COATINGS

**NOTES:**

- INSTALLATION BY DRY BORE & JACKING.
- BORE TO RUN FROM RIGHT-OF-WAY TO RIGHT-OF-WAY UNLESS APPROVED OTHERWISE BY TOWN OF BEAUFORT.
- GREASE ENCASMENT PIPE AS REQUIRED FOR EASE OF INSTALLATION.
- STEEL PIPE TO BE 35,000 PSI MIN. YIELD STRENGTH, GRADE B.
- SKIDS TO BE INSTALLED, MANUFACTURED BY ITT GRINNELL, CHARLOTTE, N.C. / SPIDER MANUFACTURING, DURHAM, N.C. / APS CASING SPACERS BY ADVANCED PRODUCTS SYSTEMS INC., LAFAYETTE, LA. / OR APPROVED EQUAL.

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SCALE: Not To Scale  
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REVISION DATE: SEP. 2022  
SHEET # 1 of 1

**PLAN VIEW**

**SECTION A-A**

**NOTES:**

- CONCRETE BLOCKING IS TO BE FORMED TO ENSURE ACCESSIBILITY TO FITTINGS AND POURED AGAINST UNDISTURBED EARTH.
- FITTINGS ARE TO BE COMPLETELY WRAPPED WITH PLASTIC, PRIOR TO POURING CONCRETE.
- CONCRETE TO BE MINIMUM 3,000 PSI. @ 28 DAYS.

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SHEET # 1 of 1

**CONCRETE THRUST BLOCKING SCHEDULE**

FITTING SIZE	TEE/PLUG	BEARING AREA IN SQUARE FEET	MIN. CU. YARDS CONCRETE	CONCRETE SCHEDULE VERTICAL BENDS	ANCHOR ROD SIZE
4"	1	2	1	1	1
6"	3	3	2	1	1
8"	4	6	3	2	2
10"	7	9	5	3	3
12"	9	12	7	4	4
14"	12	17	9	5	5
16"	16	22	12	6	6
18"	20	27	15	8	8
20"	24	34	18	10	10
24"	34	48	26	14	14
30"	53	75	41	21	21
36"	77	108	59	30	30

**NOTES:**

- MINIMUM BEARING AREA (IN SQUARE FEET) AGAINST UNDISTURBED TRENCH WALL OF SAND.
- AREAS SHOWN ARE FOR 150 PSI TEST PRESSURE. IF TEST PRESSURE IS OTHER THAN 150 PSI, ADJUST AREA OF REACTION BACKING IN DIRECT PROPORTION.
- OTHER SOIL CONDITIONS: CEMENTED SAND OR HARD PAN - MULTIPLY ABOVE BY 0.5; GRAVEL OR HARD DRY CLAY - MULTIPLY ABOVE BY 0.7; SOFT CLAY - MULTIPLY ABOVE BY 2.0.

MISC. - SECURE ALL FITTINGS WITH APPROVED HARDNESS OR TIE ROD CLAMPS, WITH CONCRETE REACTION BACKING THE SAME AS LISTED FOR SAND CONDITIONS.

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REVISION DATE: JUN. 2016  
SHEET # 1 of 1

**SECTION A-A**  
PARABOLIC CROWN

**PLAN VIEW**

**NOTES:**

- FABRICATION, REFLECTIVITY, SIZE AND PLACEMENT SIGNS SHALL COMPLY WITH THE MUTCD, LATEST ADDITION.
- RAISED CROSSWALKS SHALL BE LOCATED MID-BLOCK (EDGE OF RAMP AT LEAST 20' FROM INTERSECTION) AND SHALL NOT BE PLACED OVER MANHOLES, GATE VALVES, JUNCTION BOXES, ETC.

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SCALE: Not To Scale  
DETAIL # 33 11-01  
REVISION DATE: NOV. 2021  
SHEET # 1 of 1

**NOTES:**

- FIRE HYDRANT TO BE OILED & GREASED AND CAP TO BE SPRAYED (NON-PETROLEUM - BASED) AFTER INSTALLATION.
- DO NOT LOCATE HYDRANTS IN SIDEWALKS OR BLOCK PEDESTRIAN FLOW.
- WEDGE ACTION RESTRAINT GLAND JOINT RESTRAINTS ARE PREFERRED, AND MAY BE USED WITH THE RODS. MINIMUM OF (2) 3/4" DIAMETER STAINLESS STEEL OR COLD DIPPED GALVANIZED RODS.
- FIRE HYDRANT TO BE A MINIMUM OF 5' FROM ALL DRIVEWAY ENTRANCES OR AS APPROVED BY PUBLIC SERVICES DIRECTOR.
- FIRE HYDRANT PUMPER OUTLET TO BE PROVIDED WITH 4.5"X5" STORZ ADAPTER, WITH LOCKING CAP

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REVISION DATE: SEP. 2022  
SHEET # 1 of 2

HYDRANT MAKE	MUELLER	CLOW (M&H)	DARLING	US PIPE
CAT No.	A-423 SUPER CENTURION 250	F-2545 MEDALLION	8848	SENTINEL 250

PAINTING REQUIREMENTS	COLOR
BONNET, CAPS	FEDERAL SAFETY RED
BARREL	FEDERAL SAFETY RED
APPROVED PAINT (2 COATS)	

**NOTES:**

- FIRE HYDRANT TO BE OILED & GREASED AND CAP TO BE SPRAYED (NON-PETROLEUM - BASED) AFTER INSTALLATION.
- DO NOT LOCATE HYDRANTS IN SIDEWALKS OR BLOCK PEDESTRIAN FLOW.
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REVISION DATE: SEP. 2022  
SHEET # 2 of 2

**TYPICAL EYE BOLT**

**NOTES:**

- IN LIEU OF RODDED FITTINGS, CONTRACTOR MAY USE WEDGE ACTION RESTRAINT GLAND JOINT RESTRAINT ON FITTINGS.
- NO DISCHARGE FROM BLOW-OFF SHOULD GO DIRECTLY INTO A CREEK.
- PROVIDE EROSION AND SEDIMENTATION CONTROL FOR DISCHARGE.
- NO PLASTIC OR GALVANIZED SCREW FITTINGS BEFORE VALVE. FOR MAINS LARGER THAN 12", USE 6" DIP BLOW-OFF-ASSEMBLY. NO PLASTIC SCREW FITTINGS PERMITTED IN ASSEMBLY.

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DETAIL # 33 12-20  
REVISION DATE: MAR. 2023  
SHEET # 1 of 1

**NOTES:**

- FABRICATION, REFLECTIVITY, SIZE AND PLACEMENT SIGNS SHALL COMPLY WITH THE MUTCD, LATEST ADDITION.
- RAISED CROSSWALKS SHALL BE LOCATED MID-BLOCK (EDGE OF RAMP AT LEAST 20' FROM INTERSECTION) AND SHALL NOT BE PLACED OVER MANHOLES, GATE VALVES, JUNCTION BOXES, ETC.

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REVISION DATE: NOV. 2021  
SHEET # 1 of 1

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OCA ARCHITECTS  
109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500  
305 W. Martin Street, Raleigh, NC 27601

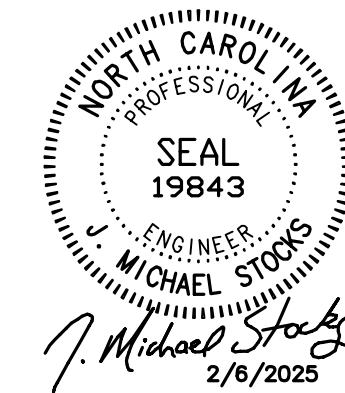
BEAUFORT BOYS and GIRLS CLUB  
CAMPEN ROAD  
BEAUFORT, NC

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

GENERAL NOTE:  
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Date	Project No.
02/06/25	00000
Drawn By	Sheet No.
TL	
Checked By	
JKV	
Sheet Title	



**STOCKS ENGINEERING**

801 EAST WASHINGTON STREET  
NASHVILLE, N.C. 27856  
WWW.STOCKSENGINEERING.COM

P.O. BOX 1108  
PHONE: (252) 459-8196

J.N. 25-005  
BLN-C-1874



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, May 19, 2025 – Train Depot**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case 25-09 Beaufort Bar SUP Outdoor Operation  
410 Live Oak Street

**BRIEF SUMMARY:**

To recommend to the Board of Commissioners approval or denial of the proposed special use permit for outdoor operation of Beaufort Bar

**REQUESTED ACTION:**

Presentation and discussion of special use permit request  
Recommendation to Board of Commissioners to approve or deny the special use permit

**EXPECTED LENGTH OF PRESENTATION:**

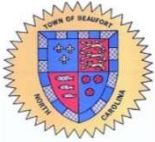
15 Minutes

**SUBMITTED BY:**

Michelle Eitner  
Town Planner

**BUDGET AMENDMENT REQUIRED:**

N/A



# STAFF REPORT



**To:** Planning Board Members  
**From:** Michelle Eitner, Town Planner  
**Date:** May 19, 2025  
**Case No.** 25-09 Special Use Permit – Beaufort Bar outdoor operation at 410 Live Oak Street

**THE REQUEST:** To recommend to the Board of Commissioners approval or denial of the proposed special use permit for outdoor operation at Beaufort Bar at 410-A Live Oak Street.

**INFORMATION:**

**Location:** 416 Live Oak Street Unit A  
**Property Owner:** Zachos Man LLC (Zach Manousardis)  
**Zoning District:** General Business (B-1) with Live Oak Street Corridor Overlay  
**LUP Future Land Use:** Employment Center, Utility, & Infrastructure  
**Size:** 0.24 acres / 10,560sf  
**Existing Land Use:** Commercial – Indoor Bar  
**Proposed Land Use:** Commercial – Indoor/Outdoor Bar  
**Adjoining Uses/Zoning:** North: Commercial - multiple tenants (B1)  
 West: Four Seasons Heating & Air (B-1) and single-family residential (B-1)  
 East: Town of Beaufort Public Works (B-1) and Duke Progress Energy Substation (B-1)  
 South: No Name Pizza (B-1)  
**Utilities:** Water and wastewater provided by Town

**OPTIONS:**

1. Recommend approval of the special use permit as presented
2. Recommend approval of the special use permit with conditions to bring the proposal into compliance with the Required Findings
3. Recommend denial of the special use permit based on specific failures to meet requirements
4. Table the recommendation pending additional information necessary to make a decision

**ATTACHMENTS:**

- Attachment A – Staff Report
- Attachment B – Vicinity Map
- Attachment C – Zoning Map
- Attachment D – Application and Narrative
- Attachment E – Site Plan
- Attachment F – Special Use Permits (Especially Section 20.E.1 Required Findings)
- Attachment G – Comprehensive and CAMA Land Use Plan Future Land Use Map & Classification

**STAFF COMMENTS:**

Mike Thagard, has applied for a special use permit for outdoor operation of Beaufort Bar at 410-A Live Oak Street. Beaufort Bar was established in July 2024, which is an indoor tavern/bar/pub and as such is a permitted use in the General Business (B-1) zoning district. The applicant is now seeking to add outdoor operation to Beaufort Bar, which would require a special use permit to operate.

The plan to allow outdoor operation includes addition of a 630sf canopy surrounded by open fencing (comprised of 50% openings). The canopy dripline and fencing are proposed to extend up to the property line as allowed by LDO Section 6.F. and Section 19.E.

No additional landscaping, buffering, or parking is required as a result of this expansion (less than 20% increase in existing gross floor area).

LDO Section 20.C identifies, “The Planning Board will review and make recommendations regarding all applications for a special use permit.” The Special Use Permit Required Findings are included in the agenda packet for consideration.



Case 25-09 Attachment C – Zoning Map





## **APPLICATION FOR A SPECIAL USE PERMIT**

### **Instructions:**

Please complete the form below including all required attachments, a **\$400.00 application fee**, and return to the Beaufort Town Hall; 701 Front Street; P.O. Box 390; Beaufort, N.C.; 28516. Incomplete applications will not be processed but will be returned to the applicant. Please call Planning and Inspections at (252) 728-2142 if there are any questions.

### **APPLICANT INFORMATION**

Applicant Name: Michael Thagard

Applicant Address: 2629 Lennoxville Rd. Beaufort NC 28516

Phone Number: 252 732-5919 Email: nebeaufortbar@gmail.com

Property Owner Name: Zacharias Manousaridis

Address of Property Owner: 3511 Country Club Rd. Morehead City NC 28557

Phone Number: 252-725-4405 Email: Zaxos123@yahoo.com

### **PROPERTY INFORMATION**

Property Address: 410 Live Oak St. Unit A Beaufort NC 28516

15-Digit PIN: 730618402514000 Lot/Block #: \_\_\_\_\_

Size of Property (in square feet or acres): 6490 sq ft Current Zoning: B-1

Current Use of Property: Bar w/ indoor operation Requested Use: Bar w/ outdoor operation

An application fee of **\$400.00**, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit card payment can be made in person at Town Hall). The complete application, payment, and supporting materials must be received by Town Staff at least 15 working days prior to a regularly scheduled Planning Board meeting date.

Please refer to the Town's **Land Development Ordinance**, Sections 20 & 27, and all other pertinent sections of the Ordinance for information required to accompany this application. Any plans or documents submitted should be submitted in an electronic or digital format and one printed color copy of such documents submitted with the application.

The town's website address is [www.beaufortnc.org](http://www.beaufortnc.org).

[Signature]  
Applicant Signature

4/7/25  
Date of Applicant's Signature

[Signature]  
Property Owner Signature (if different than above)

4/7/25  
Date of Owner's Signature

#### OFFICE USE ONLY

Revised 8/2020

Date: 4/17/25  
Received by: ME&LA

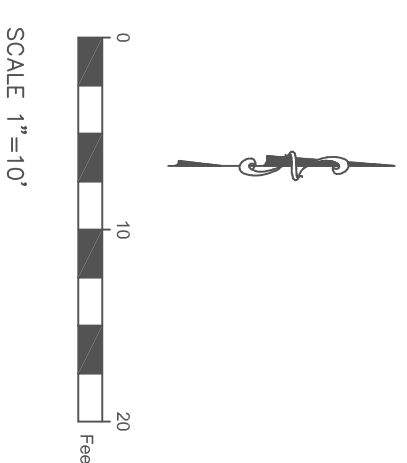
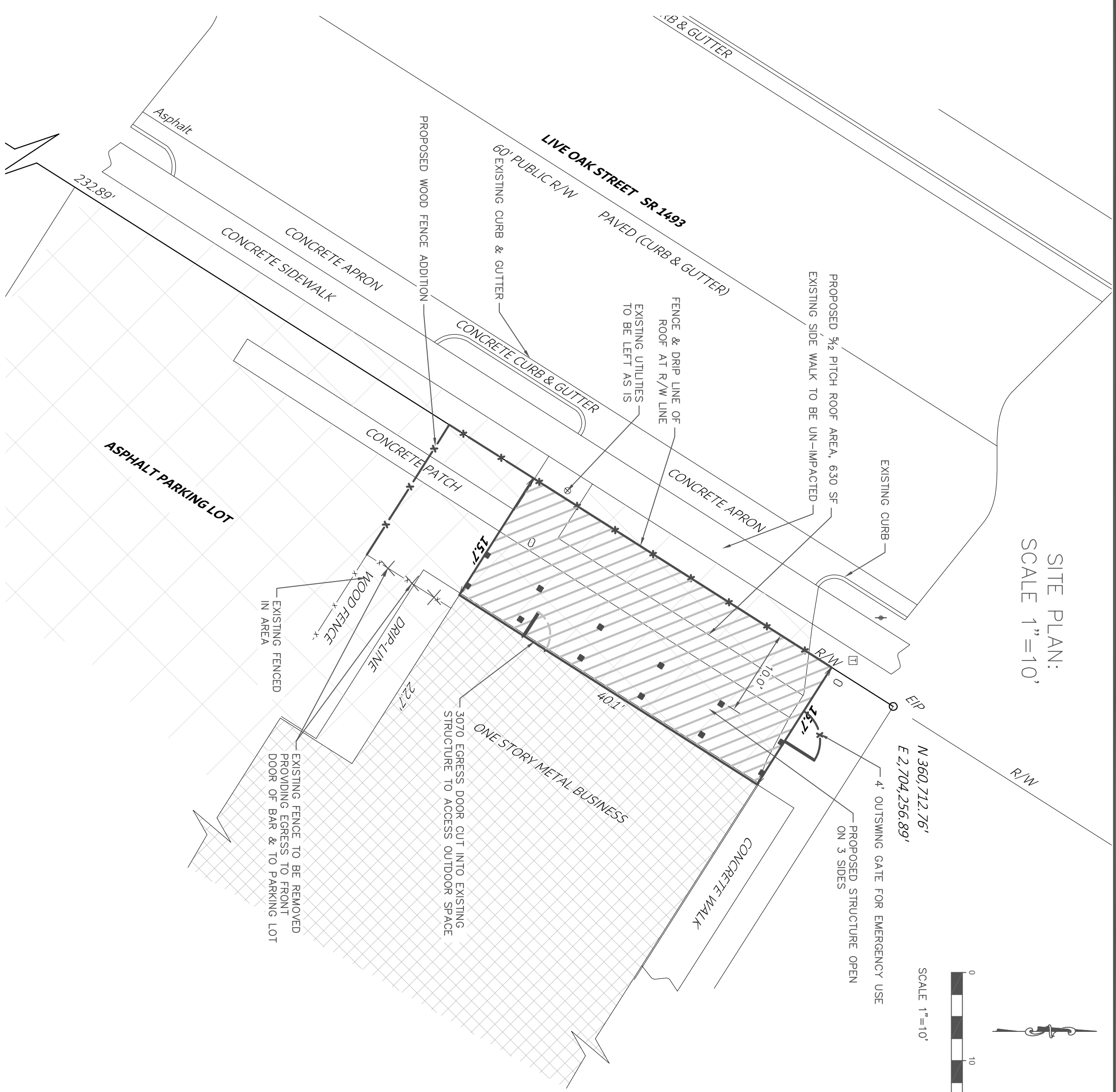
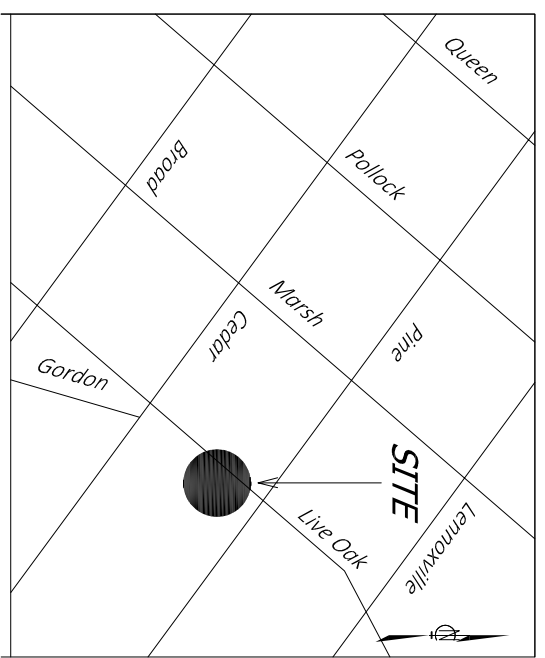
Reviewed for Completeness By: \_\_\_\_\_

Date Deemed Complete and Accepted: \_\_\_\_\_

- a) The proposed use is an allowable special use in the zoning district it is being located within;**
  - a. Beaufort Bar located at 410 Live Oak Street, Beaufort NC 28516 is zoned B-1, in the General Business District. The General Business District is established as the district in which a wide variety of sales and service facilities may be provided to the general public. In the B-1 General Business District, the permitted uses include Tavern/Bar/Pub with Indoor Operation as well as special uses for Tavern/Bar/Pub with Outdoor Operation.
- b) The application is complete;**
- c) The location and character of the use will be in conformity with the Town’s Comprehensive and CAMA Land Use Plan and other comprehensive planning elements;**
  - a. The Town of Beaufort’s Existing Land Use Map shows Beaufort Bar’s address to be in Commercial, Office, Service and Mixed’ use area. Commercial land use designation was applied to any property where commerce such as service, retail, sales, or office work is the primary use. This includes hotels, stores, medical offices, marinas, boat slips, and small office buildings. This is less than 4% of the total acreage. Future Land Use map shows Beaufort Bar’s address to be in the Employment Center, Utility, and infrastructure area. With Beaufort Bar being a business, that’s not in a neighborhood, has no open spaces surrounding the address, and is prime for high intensity, it is able to have the special use of outdoor operation. The Beaufort Bars proposed plan supports the towns Small Area Plan with a social and attractive space that is walkable and bicycle friendly, also supporting the Bicycle/Pedestrian Plan. The existing zoning as B-1 and the towns proposed future land use plan has zoning as general commercial.
- d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;**
  - a. There will be no changes to the streets, driveways, and parking lots, with Beaufort Bars outdoor operation. The area for outdoor operation will include a fence to separate outdoor area and parking lot. The current area for outdoor operation doesn’t currently contain any labeled parking so there will be no change to the current parking and traffic circulation. There has been no issues with parking since our opening date of July 5<sup>th</sup> 2024. Our parking lot is used by 2 other businesses that have little overlapping operating hours. Any

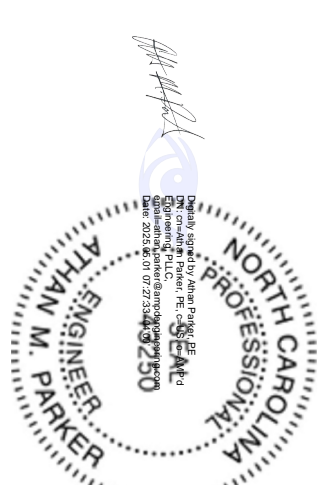
increase in demand from an outside operation would be little to no issue for traffic control and circulation.

- e) The proposed special use will not substantially injure the value of adjoining or abutting properties;**
  - a. The outdoor operation is designed in a way that enhances the visual appeal of the property rather than detracts from it. There will be clean and decorative design with some enhancing lighting and materials to give the area a more vibrant and appealing streetscape, potentially even increasing property values in the area. Outdoor operations are often seen as amenities that can enhance the attractiveness of a business, leading to more customers and visitors. Increased foot traffic to Beaufort Bar can support nearby businesses and help revitalize the area, potentially benefiting surrounding property owners. A lively, well-designed outdoor space can make the area more desirable, potentially attracting higher-value businesses or customers, and thereby increasing the overall value of neighboring properties.
- f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and,**
  - a. Beaufort Bar is situated within a commercial district with restaurants and other commercial businesses. The proposed outdoor operation aligns with the surrounding land use, which can support activities such as dining and outdoor seating. Since the surrounding area is already developed for commercial purposes, an outdoor patio is an appropriate use that is consistent with the neighborhood's character.
- g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.**
  - a. The outdoor operation space will comply with all safety codes, including fire regulations, sanitation, and proper waste management. A well-maintained, safe, and hygienic space will further ensure that there are no health or safety concerns that would negatively impact surrounding properties.

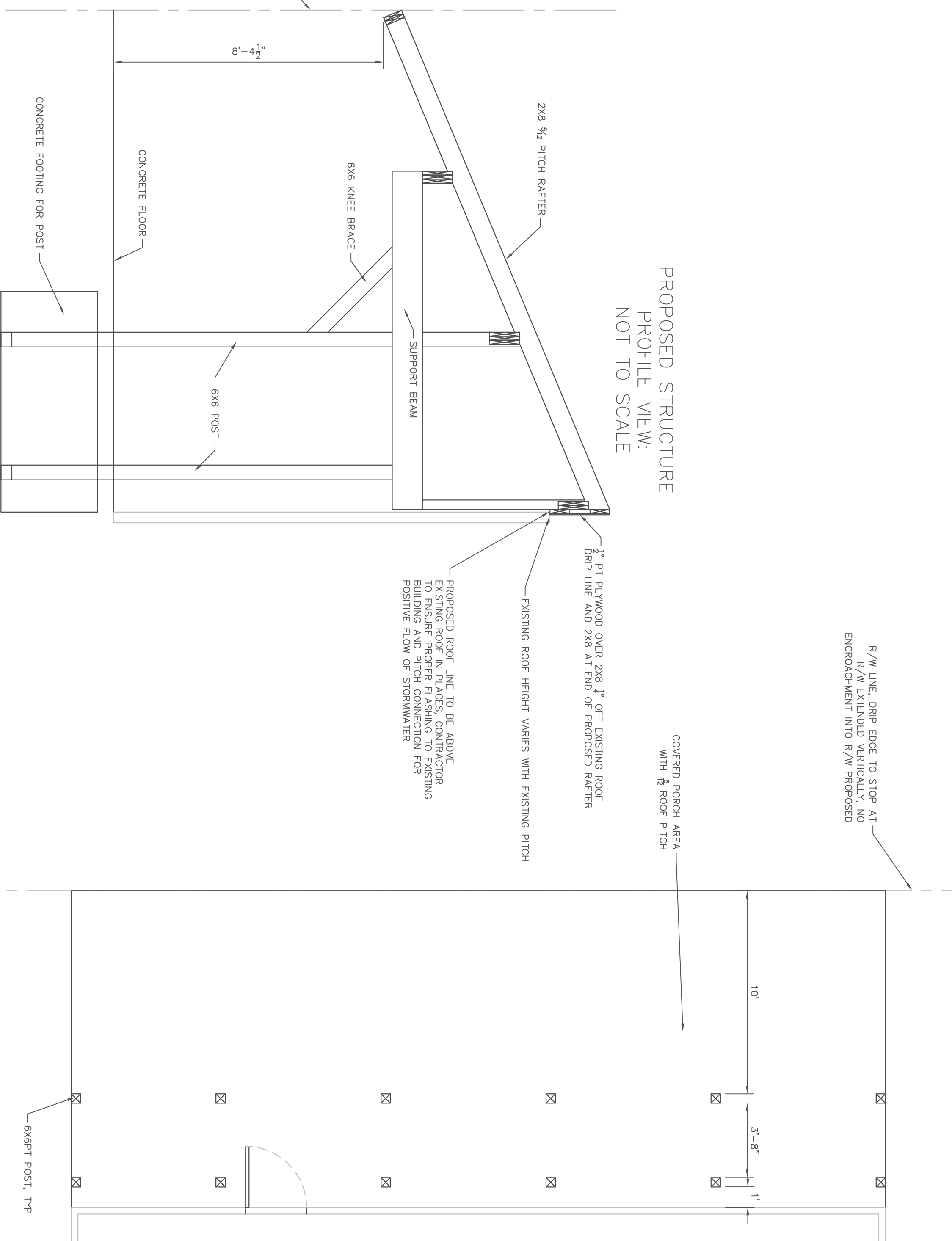


- GENERAL NOTES:**
- CONSTRUCTION TO BEGIN ONLY AFTER ALL PERMITS HAVE BEEN ISSUED BY THE TOWN OF
  - PROPOSED COVERED PATIO AREA TO EXTEND FROM EXISTING STRUCTURE TO THE R/W. ALL
  - SUPPORT PILING TO REMAIN TO FROM R/W.
  - PROPERTY INFORMATION:
  - 1.1. PLAT REF. WM-5208 4/15/2021
  - 1.2. PLAT REF. WM-5208 4/15/2021
  - THE PROPERTY IS WITHIN THE LOWER LIVE OAK STREET CORRIDOR OVERLAY DISTRICT, B-1
  - ZONING: ZONING GOAL USE PERMIT DESIRED IS FOR OUTDOOR BAR USE
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY THE ENGINEER SHOULD ATTEMPT MODIFICATIONS. IT IS THE DUTY OF THE CONTRACTOR TO VERIFY ALL PERMITS ARE APPROVED, APPROVED PLANS BEING USED AND EXISTING CONDITIONS MATCH PLAN.
  - MARCH 3, 2025. ONLY PROPOSED THAT OF THE FENCE IN AREA OUTSIDE OF PROPOSED
  - DRAIN LINE OF ROOF AND UNDER DRAIN LINE. 42% SLOPE. ALL IMPERVIOUS CONCRETE OR
  - ASPHALT COVERS AREA. CONCRETE WILL BE PLACED BACK IN AREA UNDER ROOF AREA AND WITHIN FENCED IN AREA.

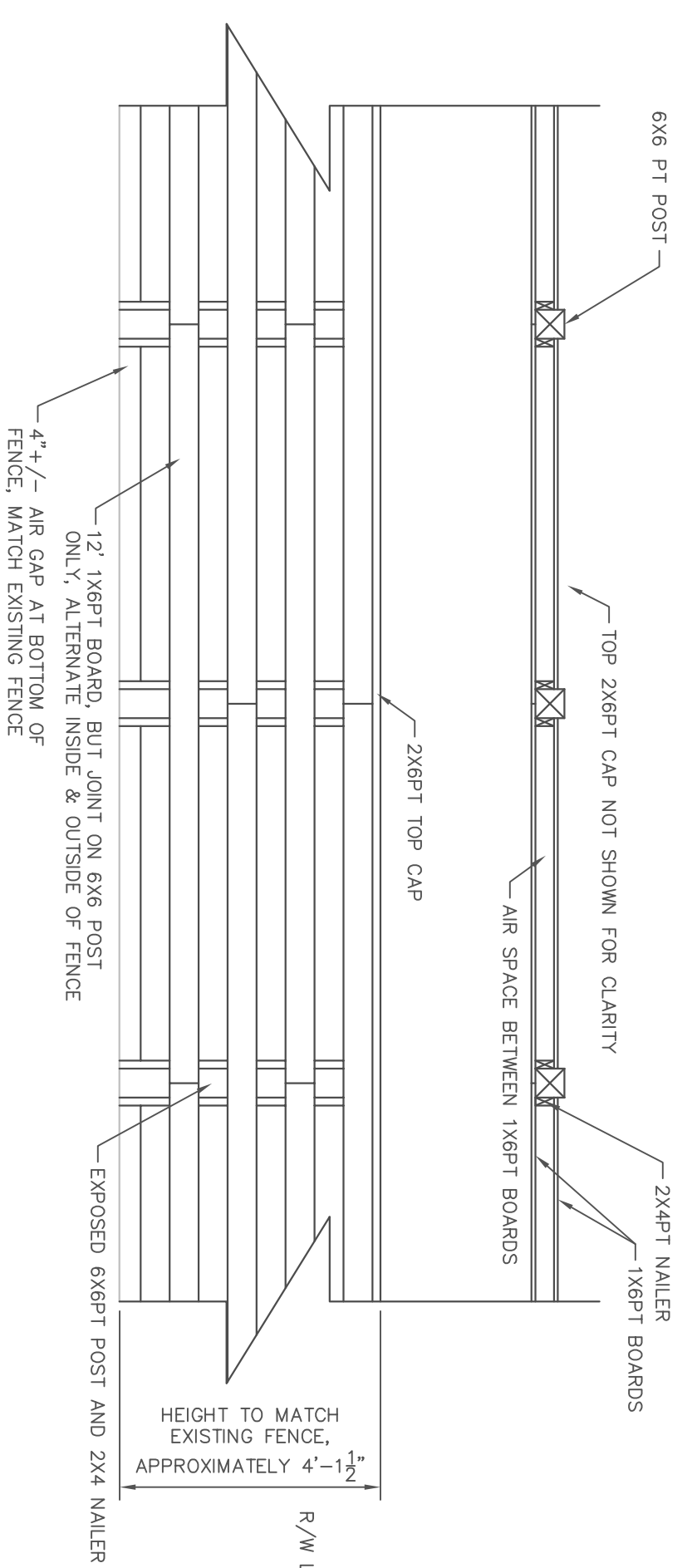
THIS PLAN IS THE PROPERTY OF AMP'D ENGINEERING, PLLC, AND MAY NOT BE USED OR REPRODUCED WITHOUT THEIR PERMISSION. DESIGNER ASSUMES NO LIABILITY FOR ANY CONSTRUCTION FROM THIS PLAN. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY THE ENGINEER SHOULD ATTEMPT MODIFICATIONS. IT IS THE DUTY OF THE CONTRACTOR TO VERIFY ALL PERMITS ARE APPROVED, APPROVED PLANS BEING USED AND EXISTING CONDITIONS MATCH PLAN.



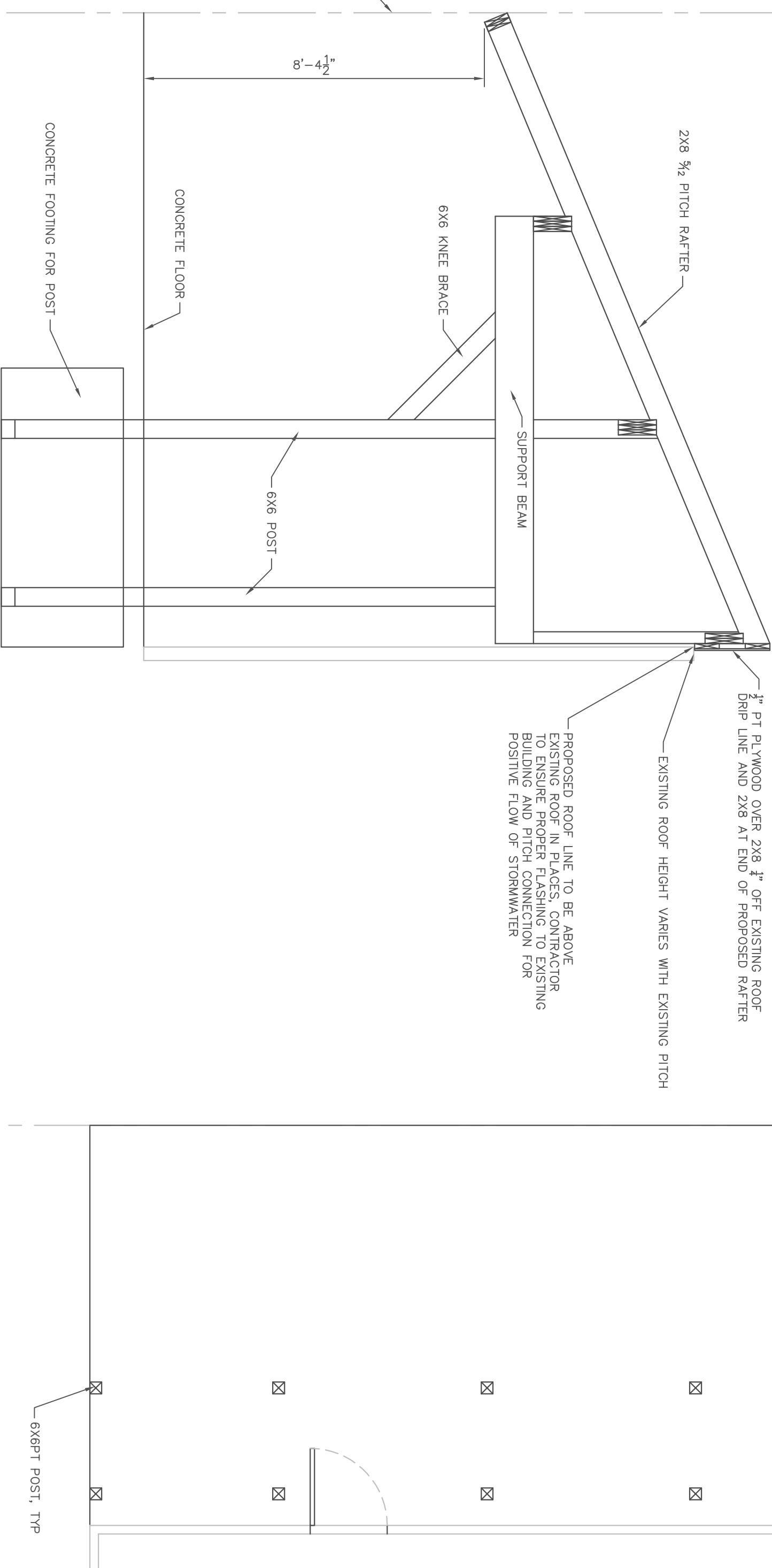
PROPOSED STRUCTURE  
PROFILE VIEW:  
SCALE 1/4"=1'



PROPOSED FENCE  
DETAIL:  
NOT TO SCALE



PROPOSED STRUCTURE  
PROFILE VIEW:  
NOT TO SCALE



AMP'D ENGINEERING, PLLC  
FIRM LICENSE NO P-1532  
PO BOX 4580  
EMERALD ISLE, NC 28594  
othon.parker@ampdengineering.com  
252-777-0141

PROJECT AREAS:  
PROPOSED ROOF: 630 SF  
FENCED AREA: 828 SF

OWNER:  
ZACHOS MAN, LLC  
408 LIVE OAK ST  
BEAUFORT, NC 28516

DEVELOPER/APPLICANT:  
BEAUFORT BAR  
MICHAEL THAGARD  
2629 LENNOXVILLE RD  
BEAUFORT, NC 28516  
252-732-5919

BEAUFORT  
BAR  
PROPOSED COVERED  
OUTDOOR PATIO TO SERVE  
THE BEAUFORT BAR  
410 LIVE OAK ST  
UNIT A  
BEAUFORT, NC

DATE: 4/3/2025

REV: DATE:  
ADD DETAIL FOR APPLICATION 4/17/2025  
THE COMMENTS 5/1/2025

SHEET:

SITE PLAN &  
BUILDING PLAN

SHEET NUMBER:  
1 OF 1

## SECTION 20 Special Use Permits

---

### A) *General.*

Special uses are practices which are not permitted by right in any zoning district in the Town but may only be granted after due consideration by the BOC. The consideration of a special use application is a quasi-judicial function to be conducted in accordance with the procedure set forth in Section 32, Quasi-Judicial Procedure. Special use permits may only be granted by the BOC following a recommendation by the Planning Board and the completion of the quasi-judicial review process by the BOC as outlined in Section 32.

A Special Use Permit is a permit issued to authorize development or land uses in a particular zoning district upon presentation of competent, material, and substantial evidence establishing compliance with one or more general standards requiring that judgment and discretion be exercised as well as compliance with specific standards.

### B) *Special Use Permit Application Procedures.*

- 1) A written application for a special use permit in all zones shall be submitted to the Town's Planning and Inspections Department in accordance with the requirements of Section 1 and Section 31 of this Ordinance and all applicable administrative regulations. The application shall include:
  - a) A proposed use site plan which contains information documented in Section 18(C) of this Ordinance and the specific information below:
    - i) A vicinity map and survey of the parcel which shall include the zoning and use of all adjacent properties;
    - ii) A legend identifying all symbols on the map;
    - iii) A North arrow and a scale;
    - iv) A preliminary design of the proposed use which shows all existing and proposed structures, parking layouts, driveways, buffering, landscaping, points of ingress and egress, easements, minimum building lines, and street rights-of-way;
    - v) A site data block of features which includes the proposed use(s), square footage of the proposed and existing structure(s), site zoning, total acreage, number of lots, minimum lot size, and average lot size;
    - vi) The map book, page number, and deed book information;
    - vii) A note stating whether any portion of the property is included in any adopted Town plan; and,
    - viii) Any other related information requested by Town staff, the Planning Board, or the BOC.
    - ix) All required environmental permit improvements needed for the property.
  - b) The special use permit sought; and,
  - c) Information supporting the existence of the required findings, and providing such plans or other relevant data as may be required by the Town.

- 2) Whenever an application is submitted for a special use permit in a residential zone, the applicant shall also include:
  - a) A narrative which illustrates the appropriateness of the proposed use in a residential zone. This narrative shall also describe all the architectural design features which make the proposed use and associated building compatible with the urban character of the residential neighborhood;
  - b) The submitted site plan shall also include all street front architectural elevation drawings to ensure the compatibility of the building(s) with the surrounding residential structures; and,
  - c) Additionally, the BOC and Town staff may require a professional rendering or any other graphic illustration of the proposed structure.
- 3) The application shall be reviewed by Town staff and submitted with comments and recommendation to the Planning Board for review. The Planning Board shall review the application for a special use permit and make a recommendation as to whether it should be approved or denied. After the Planning Board makes its recommendation, the application shall be forwarded to the BOC for consideration.

**C) *Quasi-Judicial Proceeding Notification Requirements.***

The Planning Board will review and make recommendations regarding all applications for a special use permit. The BOC shall schedule a quasi-judicial proceeding for the application and BOC consideration after reasonable opportunity for staff and Planning Board review. In considering the application, the BOC shall follow the procedures set forth in Section 32, Quasi-Judicial Procedure.

**D) *Procedures on Special Use Applications.***

In considering whether to approve an application for a special use permit, the BOC shall proceed as follows:

- 1) The BOC shall conduct an evidentiary hearing in accordance with the provisions of Section 32, Quasi-Judicial Procedure, herein. And consider relevant information regarding whether the required findings under Section 20(E) exist and whether the special use is appropriate in the proposed location.
- 2) The BOC shall consider whether the application complies with each individual required finding specified in Section 20(E). The BOC need not make the required findings at the time of the hearing and may vote to table the matter and request information if needed. If the special use permit application is approved, the BOC motion shall contain language showing all the required findings under Section 20(E) have been met, and in the absence of specific findings, it shall be conclusively presumed the application complies with all the findings in Section 20(E).
- 3) The BOC shall render a decision within a reasonable period of time not to exceed ninety days after holding the evidentiary hearing for the proposed special use application. The BOC need not issue a decision at the time of the hearing if additional information is needed and may table the matter until a later date.
- 4) If the application is found not to be in compliance with one or more of the required findings of Section 20(E) or any other applicable section of this Ordinance, the application shall be denied. Such motion shall specify the particular findings the application fails to meet.

- 5) Notwithstanding the specific requirements of this Ordinance, the BOC may impose additional conditions and reasonable requirements upon the requested special use permit in order to ensure the use is consistent with the required findings as specified under Section 20(E).
- 6) The BOC shall render its decision on the special use permit application, in writing, in accordance with the provisions of Section 32 herein.

**E) Required Findings.**

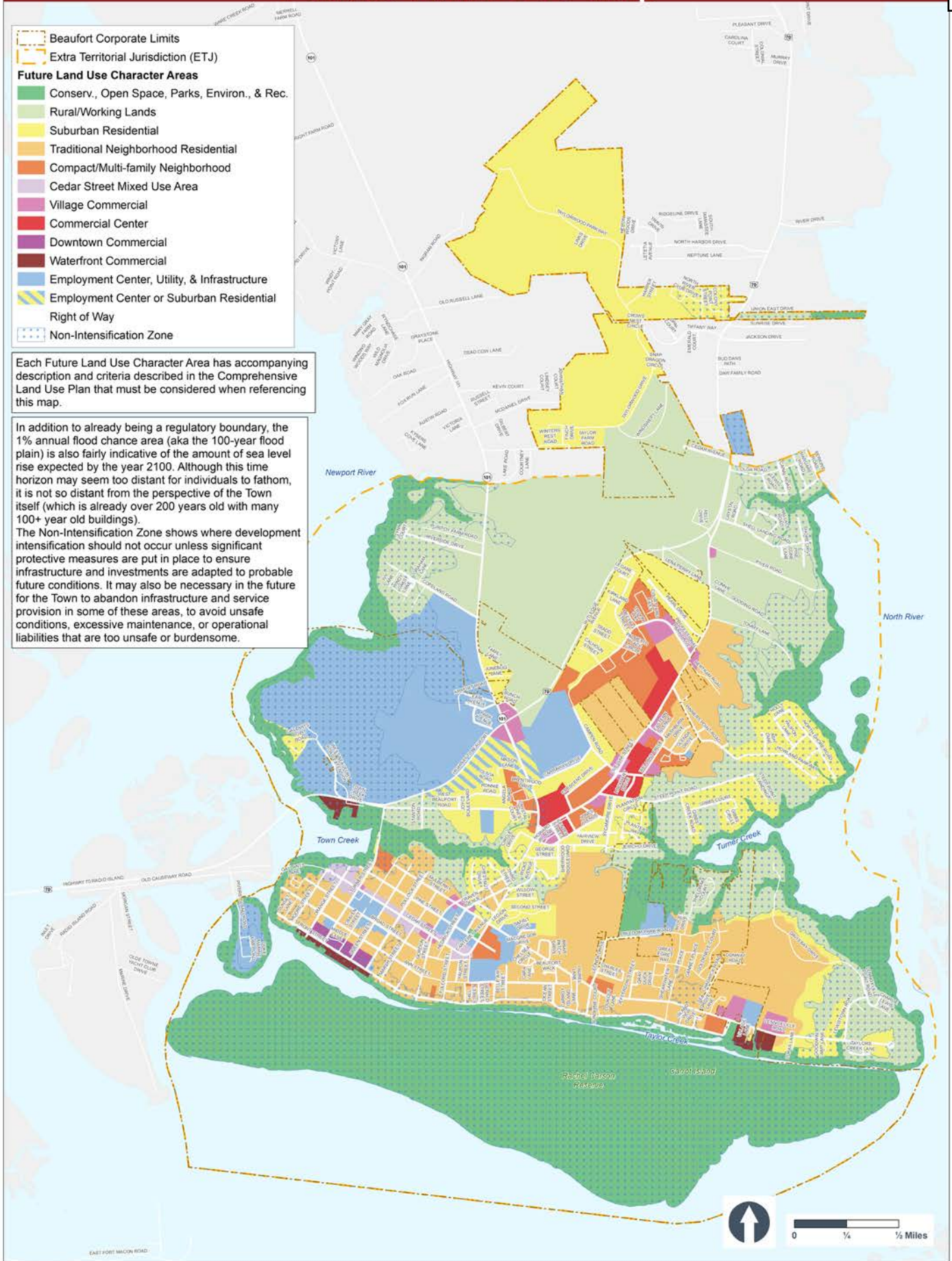
- 1) In addition to any other findings or requirements as specified by any other section of this Ordinance, before any application for a special use may be granted or denied, the BOC shall make each of the following findings:
  - a) The proposed use is an allowable special use in the zoning district it is being located within;
  - b) The application is complete;
  - c) The location and character of the use will be in conformity with the Town's Comprehensive and CAMA Land Use Plan and other comprehensive planning elements;
  - d) Streets, driveways, parking lots, traffic control, and any other traffic circulation features shall be designed and provided in accordance with current traffic engineering standards and Town regulations and found to be adequate for the proposed special use;
  - e) The proposed special use will not substantially injure the value of adjoining or abutting properties;
  - f) The proposed special use will be compatible and in harmony with adjoining land uses and the development patterns of the immediate area; and,
  - g) The proposed use will not materially endanger the public health or safety of the community if located where proposed and developed according to the submitted and approved plan.
- 2) The BOC shall make its findings based on "competent, material and substantial evidence" as described in N.C. Gen. Stat. §160D-406 in accordance with the procedures set forth in Section 32 herein.
- 3) Compatibility Standards for Special Uses in Residential Zones:  
In deciding whether the architectural elements of the proposed special use in a residential zone will be compatible with the adjoining buildings, the BOC shall review said proposal in reference to the following architectural elements:
  - a) Size (footprint);
  - b) Height;
  - c) Proportion and scale;
  - d) Roof shape(s);
  - e) Setbacks;
  - f) Location, size, and number of openings (doors and windows);
  - g) Materials;
  - h) Color; and,
  - i) Texture.

# Future Land Use Map

-  Beaufort Corporate Limits
-  Extra Territorial Jurisdiction (ETJ)
- Future Land Use Character Areas**
-  Conserv., Open Space, Parks, Environ., & Rec.
-  Rural/Working Lands
-  Suburban Residential
-  Traditional Neighborhood Residential
-  Compact/Multi-family Neighborhood
-  Cedar Street Mixed Use Area
-  Village Commercial
-  Commercial Center
-  Downtown Commercial
-  Waterfront Commercial
-  Employment Center, Utility, & Infrastructure
-  Employment Center or Suburban Residential
-  Right of Way
-  Non-Intensification Zone

Each Future Land Use Character Area has accompanying description and criteria described in the Comprehensive Land Use Plan that must be considered when referencing this map.

In addition to already being a regulatory boundary, the 1% annual flood chance area (aka the 100-year flood plain) is also fairly indicative of the amount of sea level rise expected by the year 2100. Although this time horizon may seem too distant for individuals to fathom, it is not so distant from the perspective of the Town itself (which is already over 200 years old with many 100+ year old buildings).  
 The Non-Intensification Zone shows where development intensification should not occur unless significant protective measures are put in place to ensure infrastructure and investments are adapted to probable future conditions. It may also be necessary in the future for the Town to abandon infrastructure and service provision in some of these areas, to avoid unsafe conditions, excessive maintenance, or operational liabilities that are too unsafe or burdensome.



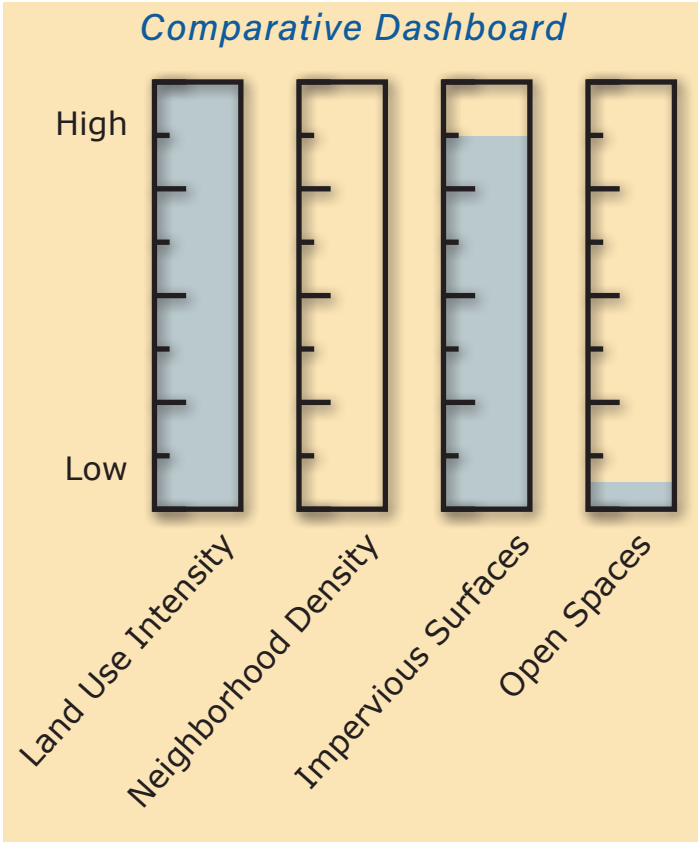
# Employment Center / Utility / Infrastructure

## General Description:

These employment-supporting land uses provide jobs and centers for economic growth. In many other Towns, these types of uses are heavily screened or separated from different uses, but in Beaufort they are typically pre-existing and/or are already closely located to neighboring structures. These areas should not be allowed to develop for lower intensity uses to infiltrate, since this type of land usually already has the unique combination of factors needed to support these higher intensity uses, and the value to the community of these larger employment-generating uses is significant.

## Streets and Circulation:

Because these uses have requirements that are often specific to the occupant, care should be taken at development to



## EXAMPLE USES:

### Typical Uses:

Offices, manufacturing, fabrication, and industrial uses, lumber yards or high intensity contractor’s offices, breweries and distilleries, transportation, logistics, and warehousing. Industrial-supportive commercial uses, such as wholesale operations. Larger institutional uses, such as hospitals or technical colleges involving industrial uses, but excluding non-intensive uses such as churches and primary and secondary schools.

### If Context Appropriate:

- » Institutional operations (government maintenance buildings, etc.), provided they

do not detract from the overall commercial nature of an area.

- » Some outside industrial operations may be permissible, depending on location and the extent of external impacts. Otherwise, indoor operations are preferable.
- » Lay-down yards and outdoor storage of heavy equipment or materials.
- » Storage of hazardous materials should only occur outside of areas susceptible to flooding. Best practices would exclude more than just areas in the 100-year floodplain to ensure the risk of environmental pollution is tightly managed.

## Employment Center / Utility/Infrastructure

maintain efficient traffic flow and cross access, while also respecting occupant needs. Automobiles and freight are prioritized over pedestrians, although pedestrian linkages may still be necessary in some locations. Streets are designed to accommodate larger vehicles and delivery trucks. Typically, blocks should not need to exceed 500' to 600', but in some locations (such as the old Atlantic Veneer campus) these areas have grown through the years with much larger block sizes.

### Other Concerns:

With the ever-present high demand for residential properties in coastal communities, it is difficult to argue against old industrial or manufacturing properties converting to residential neighborhoods. This is especially difficult if buildings are vacant and there is limited demand for manufacturing business space. However, it is important to realize that once these industrially-suited areas are lost they will likely never return. This may be tolerable and/or even appropriate, based on the specific situation, but it is a consideration to be discussed, especially given some community members' desire to diversify the employment base of the community away from a heavy reliance on tourism. If these properties are lost and demand for those uses still exists, it is likely new sites will be developed elsewhere, potentially not in Town limits.



*Examples of Employment Center/Utility/Infrastructure*



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Planning Board Regular Meeting  
6:00 PM Monday, May 19, 2025 – Train Depot**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** UDO Project Update

**BRIEF SUMMARY:**  
Staff will provide a brief update on the UDO Project

**REQUESTED ACTION:**  
Presentation and discussion of UDO Project

**EXPECTED LENGTH OF PRESENTATION:**  
15 Minutes

**SUBMITTED BY:**  
Michelle Eitner  
Town Planner

**BUDGET AMENDMENT REQUIRED:**  
N/A