



## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Historic Preservation Regular Meeting 6:00 PM Tuesday, February 04, 2020 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting**

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#### **Call to Order**

#### **Roll Call**

#### **Agenda Approval**

#### **Minutes Approval**

- [1.](#) Approval of Minutes from January 7, 2020

#### **Administration of Oaths**

- [1.](#) Election and Swearing in of Officers

#### **Public Comment**

#### **New Business**

- [1.](#) Case 20-03 308, 312 & 314 Ann Street - Off Street Parking & Demo, Signage

#### **Old Business**

- [1.](#) Case 20-02 208 Cedar & 319 Orange Street - Parking, Landscaping & Lighting, Demolition

#### **Commission / Board Comments**

#### **Staff Comments**

#### **Adjourn**



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**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00pm, Tuesday, February 4, 2020, 614 Broad Street, Beaufort, NC 28516**

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**AGENDA CATEGORY:** Minutes Approval

**SUBJECT:** Approval of Minutes from January 7, 2020

**BRIEF SUMMARY:**

Draft Minutes from January 7, 2020

**REQUESTED ACTION:**

Approve as presented or amended

**EXPECTED LENGTH OF PRESENTATION:**

5 Minutes

**SUBMITTED BY:**

Denice Winn, Administrative Support Specialist for Planning and Inspections

**BUDGET AMENDMENT REQUIRED:**

No



## Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

### Town of Beaufort Historic Preservation Regular Meeting 6:00 PM Tuesday, January 07, 2020 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Minutes

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#### Call to Order

Chair Terwilliger called the meeting to order and asked all those in attendance to stand and join in the Pledge of Allegiance. He also requested that everyone stand in a moment of silence following the pledge in honor of Nancy Francis-Heckman.

#### Roll Call

Secretary Winn called roll and declared a quorum present for the meeting.

#### PRESENT

Legislator Joyce McCune  
Legislator Heather Poling  
Legislator Laura Sicklin  
Legislator John Stephens  
Legislator Robert Terwilliger  
Legislator Janet Woodward

#### Agenda Approval

A motion was made to approve the agenda as presented. The motions was seconded and it carried unanimously.

Motion made by Legislator Poling, Seconded by Legislator Sicklin.

Voting Yea: Legislator McCune, Legislator Poling, Legislator Sicklin, Legislator Stephens, Legislator Terwilliger, Legislator Woodward

#### Minutes Approval

A motion was made and seconded to approve the November 5, 2019 minutes as offered.

Motion made by Legislator McCune, Seconded by Legislator Poling.

Voting Yea: Legislator McCune, Legislator Poling, Legislator Sicklin, Legislator Stephens, Legislator

1. Draft Minutes of November 5, 2019

### Administration of Oaths

The Chair stated for those of who don't know and are here for the first time, the Town of Beaufort, Historical Preservation Committee is a Quasi-Judicial body. We are all appointed to certain terms by the Town representatives and as a Quasi-Judicial body we have certain rules and regulations that we have to follow concerning evidentiary information that's presented to us. All discussions that are made relative to the cases that are brought here this evening are done so based on the evidence presented here tonight and the witnesses that come before us. We are not allowed as a group to have any prior discussion amongst ourselves or amongst the members of the Town, in order to preview the information, if we do we need to recuse ourselves, so we try and very tightly mimic what happens in a court of law. We don't have rules that are exactly like a court of law but they try very closely to follow that to make sure the decisions made are based upon the specific guidelines that we are asked to follow and also that is presented here tonight, so I just wanted to give clarification.

Then the Chair entered the following documents into the record: (1) the *Beaufort National Register Historic District Comprehensive Survey (A Resurvey of the 1970 Survey)* compiled by Ruth Little, 1997; (2) *Beaufort, An Album of Memories* by Jack Dudley; (3) the *Design Guidelines for the Beaufort Historic District & Landmarks (1994, Revised 2008)*; (4) the Town of Beaufort *Land Development Ordinance* (adopted 2013); (5) the 2018 NC Building Code Chapter 34, Existing Buildings and Structures, Section 3409 on Historic Buildings; and (6) the *Town of Beaufort Comprehensive Plan Update*, prepared by the East Carolina Council of Governments (adopted 2012).

### Public Comment

Gary Currier of 115 Broad Street. Mr. Currier has concerns over the green trash cans that are popping up all over Beaufort. He stated he feels that the colors of the cans do not fit in with the historic nature of the Town. He stated that he knew that the HPC could probably do nothing about it but he wanted to make everyone aware. Chair Terwilliger stated that there was one possibly two commissioners present tonight. There were no other comments and Chair Terwilliger closed Public Comments.

### New Business

1. Case 20-01 519 Front Street - Signage & Siding

Kyle Garner, AICP, Planning Director presented the staff report along with the following attachments; 1) Area map, 2) List of adjacent property owners used for mailing notifications, and 3) COA application and supporting materials supplied by applicant.

Guidelines presented by staff were as follow: **Historic Store Front Guidelines (Page 87):** 6.9.1. Retain and preserve historic commercial storefronts and building facades, including display windows, entrance configurations, doors, transoms, bulkheads, windows cornices, parapets, and brickwork. **Signage Guidelines (Page 119):** 8.6.1. Use traditional materials found in the district, such as wood and metal for new signage. Substitute materials that have the appearance of wood are allowed. Plastic signs, flashing signs, or portable mobile signs, except those listed in item 9, are not allowed in the historic district. Interior neon signs larger than 10" by 18" that are located within five (5) feet of a window or glass door on an exterior wall and are so placed as to be seen from the outside are not allowed. INTERNAL GLASS MOUNTED SIGNS ARE NOT SUBJECT TO BHPC REVIEW. 8.6.2. Place signs so that they do not visually overwhelm the building or streetscape or damage or obscure character defining architectural details. Recognize that maximum signage allowances granted by the Beaufort Zoning Ordinance may be inappropriate in the context of the building or site under review. 8.6.3. Signs on commercial buildings are preferred to be located in a signboard frieze located above the display windows. In this location the sign serves as a boundary between the upper and lower façade. 8.6.5. Use simple, clear graphics lettering styles in sign design. **Paint and Exterior Colors Guidelines:** 6.7.2. Determine

building's style and period and consult with HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building's architectural features. 6.73. Masonry surfaces that have been previously unpainted, such as brick, stucco, or stone should not be painted if those surfaces are in good condition and if the painting is proposed for the purpose of color change only. The painting of certain masonry surfaces may be appropriate if the surfaces have been patched or marred by damage over time, and if the visual integrity of the surface has been compromised. Paint colors should reflect the base material where possible.

Project Information: The applicant wishes to install a 20 square foot attached sign. The amount of signage allowed for this property is 44 square feet, so the amount requested is less than allowed in the LDO. The other request is to use fiber cement on the lower front facade to match adjacent structures.

In the District survey (November 1997), updated by Ruth Little, the structure at 519 Front Street is described as Commercial Building c. 1930 - 1-story red brick building contains 2 stores with beveled and recessed entrances and plate glass storefronts. Features decorative brickwork, castellated parapets and concrete block roof-line coping. 519 is previously Biggs Shoe Store. Built between 1924 and 1941.

Proposed Work: Install a new 20 square foot attached sign that was once used at 113 Turner Street (COA Approved in 2014) and add fiber cement siding and some paint. Material: C-Bond Aluminum (Metal) Sign, Fiber Cement and sample has been submitted.

Mr. Garner gave a report on where the sign had previously been and that they were moving it to this new location for the store. He explained that the applicant had submitted samples of the materials that are to be used with the application and he handed each piece to the board for their review. Mr. Garner explained to the board that other buildings in the area have also used fiber cement board on the exterior.

Board Member Sicklin asked Mr. Garner about what was originally in the area that the fiber cement board is going to be used. Mr. Garner stated that what is currently there was not original to the structure. Board Member McCune requested clarification on the colors and Mr. Garner stated that the applicant would have more of that information. Board Member Stephenson asked about the color going on the fiber cement board and Mr. Garner told him that the sample was painted with the color that is intended to be used. Chair Terwilliger asked what was previously at the bottom and Mr. Garner referred to the pictures that had been in the packet that were from 2007.

George Aswad - Applicant: Mr. Aswad stated that the material originally at the bottom was granite. It is cracked and that is why they want to cover it up. The land lord did not want the granite removed and there were only so many things that we could put over it. The fiber cement board will not be bolted on but put on with 5200 so it would be easy to remove. Mr. Aswad stated that for the sign they wanted to go with the green color, Option A, because it matches the door to the business.

Chair Terwilliger closed public testimony for case number 20-01 and open discussion between the members of the HPC. Board Member Sicklin stated that since the green is already there she didn't have a problem with the green. Board Member Woodward stated she loved the green and wanted to know what the applicant's preference was. Mr. Aswad stated the green and that is why it was Option A. No other concerns were noted by the members of the board.

Chair Terwilliger asked for a motion to be made for Findings of Facts in this matter.

Board Member Stephens: Having reviewed the record and having considered all of the evidence submitted and the oral testimony for case #20-01 I move the commission schedule the pending application meets the following design standards under the design guidelines for the Beaufort Historical District. For the grouping of Historic Storefront Guidelines, 6.9.1 and 6.9.2; Signage Guidelines 8.6.1, 8.6.2, 8.6.3, and 8.6.5 and Exterior Colors for the Guidelines 6.7.2 and 6.7.3. Chair Terwilliger requested clarification on the motion for Findings of Fact that the motions was Congruent with the Guidelines. Board Member Stephens, stated that was correct. Board Member Stephens also wanted to make sure that all were in agreement with the paint choice of

sample A. Chair Terwilliger stated that would be in the COA. Board Member Sicklin made a second and the motion passed unanimously. 1.

Board Member Stephens made the following motion for a COA: Based upon the foregoing Findings of Fact, I move the Commission conclude that the proposed project is not incongruous with special character of the Historical District as proposed and a COA for case #20-01 be issued with a proposed condition of option A with green trim is approved. Vice-Chair Poling made a second and the motion carried unanimously. Chair Terwilliger stated that the COA was approved and told the applicant that he should be hearing from the Town shortly with the appropriate paperwork. Chair Terwilliger closed case #20-01.

2. Case 20-02 208 Cedar & 319 Orange Street - Parking, Landscaping & Lighting

Kyle Garner, AICP, Planning Director presented the staff report along with the following attachments; 1) vicinity map, 2) Adjacent Property Owners list, and 3) COA Application, including photographs.

Guidelines presented by staff were as follows: **Landscaping Guidelines:** 8.1.4. Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina cherry laurel and sweet bay magnolia. **Staff Comments: All species of trees and shrubs are native of this area and are included in Appendix A of the Land Development Ordinance.** 8.1.5. All new plant materials selected for replanting or new planting in publicly visible areas should complement as much as possible those found on the site and in the surrounding area of the district. **Staff Comments: All species of trees and shrubs are native of this area and are included in Appendix A of the Land Development Ordinance.** 8.1.9. Planting strips between the public sidewalks and the street edge shall be preserved and remain predominantly ground covers or tree plantings. Small walkways will be permitted on these strips if the proposed walkway aligns with the walkway leading from the front door or main entrance of the structure to the sidewalk. New walkways shall not exceed a width of four (4) feet. Paving, filling, or otherwise altering this strip within the district is not appropriate. **Staff Comments: All species of trees and shrubs are native of this area and are included in Appendix A of the Land Development Ordinance.** 8.1.14. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, screening should not exceed height of three (3) feet at the street/sidewalk edge. (SEE OFF STREET PARKING GUIDELINES for more details) **Staff Comments: A fencing detail is included in the plans as well as landscaping. Fences and Walls Guidelines:** 8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view. **Staff Comments: A fencing detail is included in the plans as well as landscaping.** 8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage. 8.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of three (3) feet at the street/sidewalk edge. (SEE OFF-STREET PARKING GUIDELINES for more details) 8.2.7. Contemporary or utilitarian fence materials are not appropriate for fences in the public view. Inappropriate materials include plastic, vinyl, chain link, wire, and all other modern materials. The use of modern fencing is permitted for rear yards only, in areas not seen from the public view, using vinyl-coated chain link (dark green or black), standard chain link or heavy wire ("hog wire"). Use plantings such as ivy, climbing roses, jasmines, or other vines to hide wire fences. **Exterior Lighting Guidelines:** 8.4.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site. 8.4.2. Choose lighting sources that generate a soft white light instead of a more inter

yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor fluorescent light sources. 8.4.5. All lighting should be directed toward the property for which it is intended and should not spill over onto adjacent properties. **Off-street Parking Guidelines:** 8.5.1. Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate. 8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity. 8.5.3. Site new parking areas in interior or rear lot locations where possible. 8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site. 8.5.5. Integrate pedestrian scale lighting into parking areas to avoid excessive glare and illumination to adjoining properties. See EXTERIOR LIGHTING guidelines and the Beaufort Zoning Ordinance for further details on lighting standards. 8.5.6. Incorporate existing mature trees into new parking areas. Avoid the placement of impervious surface materials such as asphalt and concrete in areas below the canopy crown of the tree. Use turf stone, gravel, marl, or other pervious materials in these areas. 8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed. **Demolition of Buildings Guidelines:** 10.1.1. Choose demolition only as a last resort. Property owners of contributing buildings should design the replacement building to reflect the demolished building's height, scale, massing and location. Applicants will have a heavy burden to demonstrate to the HPC that a replacement building with different height, scale, massing as the previously existing building is congruous with the Historic District. 10.1.2. Document the historic resource prior to demolition. Documentation shall take the form of black and white photographs, and color digital photographs of the building, structure, or site's principal elevations, architectural elements (both in exterior and interior), and special features. Measured drawings of the resource may also be required. The HPC shall determine on a case-by-case basis the extent of documentation required and the parties responsible for producing such documentation. The documentation shall be submitted to the HPC and become a permanent record of the Town of Beaufort. 10.1.3. Salvage architectural features and building materials for reuse or study. Contact antique dealers and used building supply establishments to arrange for removal. Consider donations of items to interested non-profit organizations or museums or the NC-SHPO. 10.1.4. Minimize ground-disturbing activities during demolition to avoid damage to potential unknown Archaeological resources. 10.1.5. Retain mature trees on site. 10.1.6. Clean the site thoroughly of all building debris and leave the lot properly graded and seeded.

Property Information: Owner(s): Betty Apperson Location: 208 Cedar Street and 319 Orange Street

Project Information: In June 2019, a COA was tabled pending additional information on the structures to be demolished and a recommendation from the Planning Board. In November 2019, the Beaufort Board of Commissioners approved the site plan for the Compass project. The original application was withdrawn from the applicant at the request of the Town because the timing would have allowed an approval of the request without returning to the HPC. In the District Survey, updated by Ruth Little, the structure at 200 Cedar is described as a Gas Station/Used Car Dealership c. 1980. Originally built as a gas station and convenience store, but now serving as "Ham Man's Buy, Sell, or Trade" used car lot. Rectangular brick and glass store with a flat roof under a large metal canopy.

Chair Terwilliger made a statement concerning the number of people who were in attendance and who would like to speak. He stated that he wanted to talk about a couple of guidelines in order to make the meeting run more smoothly. He stated that this is a brand new case and has nothing to do with the prior case submitted. He stated the second thing he would like to talk about are there are five elements to be considered in this matter: 1) Whether or not this is a historic area, the demolition of buildings, a waiver of the one year for demolition, 2) the parking lot and materials to be used, 3) lighting, 4) landscaping and 5) fencing. Those are the only items that are t

discussed during the meeting. Chair Terwilliger stated that there were currently one possible other approvals still pending from other agencies but that did not preclude the meeting happening and the matter being heard. Chair Terwilliger also stated that he had been included in an email that was circulated by concerned folks in town, he started reading it, deleted it and then consulted with the Town's attorneys regarding it. He stated that what he read part of it but it had not influenced his ability to hear the matter. 1.

Vice-Chair Poling stated that due to her business dealings with the owners of the property that she would request to be recused. Board Member McCune made the motion, it was seconded by Board Member Sicklin and the motion carried unanimously.

Mr. Garner presented the Staff report for the Town and requested that it along with all of the attachments be accepted as part of the official record. Mr. Garner went through each of the slides and explained what the applicant was requesting to do with the demolition, landscaping, fencing, lighting and parking lot. Mr. Garner explained that as part of the process the applicants had to file for a CAMA permit and that was still pending with needing approval from the NC Wild Life Commission. Mr. Garner did have information from the State Historical Preservation, Ramona Bartose, that they did not have any issue with the demo of the structures, the parking lot or the landscaping as submitted. Board Members had discussions and questions for Mr. Garner concerning each of the items that was presented.

Chair Terwilliger opened the discussion to the public. Craig Hamilton, 116 Moore Street. Mr. Hamilton's major concern was over the fencing and the height of the fencing. John Flowers, 321 Orange Street. Mr. Flowers major concerns was the lighting and the lighting drifting to his property. He did have questions concerning the fence and style of the fence. Donna Davis, 322 Orange Street, Ms. Davis wanted it on the record that she lives on Orange Street and did not receive a letter concerning this meeting. Anna DeButts, 320 Orange Street. Ms. DeButts stated that a lot of her questions and concerns had been answered through Mr. Garner's presentation, but she still had a few comments and questions concerning the lighting, landscaping and fencing. Ms. DeButts stated she is fully in support of the demolition of the buildings. Ms. DeButts also stated that the residents are very thankful that the openings for the parking lot on Orange Street and Moore Street have been closed. Steve Mills, 311 Orange Street, stated he has concerns about the lighting in the parking lot and how the height of the poles could reflect the light into the upstairs bedroom. Board Member Sicklin asked Mr. Garner if the proposed height of the poles had to do with 18 Wheelers potentially coming in and out of the parking lot and Mr. Garner that he didn't believe a truck that size could get into the parking lot. Dick DeButts, 320 Orange Street. Mr. DeButts stated that several of his concerns had already been answered. Mr. Debutts stated that he felt that the decision on this parking lot would set a precedence for future parking lots in the Town of Beaufort. He also had concerns about irrigation for the landscaping and keeping the fence maintained. Mr. DeButts had concerns over the maintenance of the grounds as he said the mowing of the property had not been maintained. Mike Baldwin spoke on behalf of the applicant to address the concerns heard from the residents. He addressed the type of lighting and stated they were open to 12' poles and were not tied in to 16' poles, as well as speaking to ground lighting. He explained the drainage and how they had improved it to make it better. He stated they were open to the fencing and using whatever type the HPC thought was best for the project. He talked about the landscaping and types of plants, shrubs and trees that would be used. After questions from the HPC to Mr. Baldwin, for further clarification on lighting, fencing, landscaping and demolition, Chair Terwilliger closed the public discussion. Board Member Woodward made a motion to table the matter until the February 4, 2020 HPC meeting in order for Chair Terwilliger to meet with Mr. Garner and complete a list for the applicant to have answered and have ready for the next meeting. Board Member Sicklin made a second and the motion carried unanimously. Chair Terwilliger closed case #20-02.

Board Member McCune made a motion to have Vice-Chair Poling reinstated and Board Member Sicklin made a second, the motion carried unanimously.



Board Member Stephens, stated he felt all the concerns had been covered. Board Member McCune stated she was going to ride by the area once she left the meeting to take a look. Board Member Sickin stated was thinking of doing that also. Mr. Garner requested that they do that separately. Vice Chair Poling asked about the status of the Guideline Reviews and about the structure on Front Street docks that was "missing" and who approves work on those structures. Mr. Garner stated that the structure wasn't missing but was being repaired and there was a Minor Works issued for it. Board Member Woodward stated that she was really going to Miss Nancy, she was such an asset to this board and to this town. She was a very friendly person and knowledgeable and it is going to be hard to replace her. Chair Terwilliger thanked the residents for the way that they presented the information at the meeting. He stated that he is hoping that when we come back in 30 days that all will see a plan that they have been looking for. He also stated that Nancy was a real asset to the board and that she was one of the longest standing members. He stated that she will be missed.

**Staff Comments**

Mr. Garner stated that Nancy would have enjoyed the last item, she would have had fun with that.

Board Member Stephens asked Mr. Garner if they were technically allowed to take an application if all of the CAMA guidelines had not been met and Mr. Garner deferred to the Town attorneys to answer. Jill Quatlebaum, counsel for the Town of Beaufort stated that a decision could be made before the issuance of the CAMA permit.

Mr. Garner answer Vice Chair Poling's question concerning the Guidelines and that they are looking at two different firms. Chair Terwilliger and Board of Commission Member Marianna Hollinshed are helping with this process. He stated the he and Chair Terwilliger would like each of the members of the HPC to sit down with the consultant, once they have been picked, and go over their questions with the firm.

Board Member McCune had asked about the progress on Sunset Lane and Mr. Garner addressed that by saying he and Mr. Ganey have been in contact with the contractor and work is being done.

Mr. Garner addressed something that had been said during the meeting concerning "setting a precedence" in the Historic District. He said that this issue has been dealt with before and Attorney Quatlebaum has provided two training's with this mentioned in both of them. Nothing sets a precedence in the Historic District.

Mr. Garner spoke about the landscaping and the types of trees and shrubs proposed for the parking lot that was the agenda.

Mr. Garner stated that Nancy was a tremendous asset to the board and he asked each of them to start thinking of someone who would have the passion of Nancy to take her place. He stated that they would not be advertising right away but they would to do it soon.

**Adjourn**

A motion was made with a second to adjourn and the motion carried unanimously.

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Chair Bob Terwilliger

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Denice Winn, Commission Secretary



**Town of Beaufort, NC**

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**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00pm, Tuesday, February 4, 2020, 614 Broad Street, Beaufort, NC 28516**

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**AGENDA CATEGORY:** Election and Swearing in of Officers

**SUBJECT:** Election and Swearing in of Officers

**BRIEF SUMMARY:**

Election and Swearing in of Officers

**REQUESTED ACTION:**

Approve as presented or amended

**EXPECTED LENGTH OF PRESENTATION:**

5 Minutes

**SUBMITTED BY:**

Denice Winn, Administrative Support Specialist for Planning and Inspections

**BUDGET AMENDMENT REQUIRED:**

No



## Town of Beaufort, NC

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### Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 PM 2/04/20 – 614 Broad Street – Train Depot

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case 20-03 308, 312 & 314 Ann Street - Off Street Parking & Demo, Signage

**BRIEF SUMMARY:**

Beaufort First Baptist Church has submitted a request to demolish the existing structures (308 Ann St.), and install new fencing, signage, above ground utilities and landscaping for 308, 312 & 314 Ann Street (the existing parking lot and grounds. Enter Text Here

**REQUESTED ACTION:**

Conduct Public Hearing  
Finding of Fact  
Decision on Certificate of Appropriateness

**EXPECTED LENGTH OF PRESENTATION:**

20 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** January 21, 2020  
**Case No.** 20-03

**Request:** Demolition of an existing structures (308 Ann St.), install fencing, signage, above ground utilities and landscaping for 308, 312 & 314 Ann Street.

**Applicant:** First Baptist Church Beaufort  
 403 Ann Street.  
 Beaufort, NC 28516

**Property Information:**

**Owners:** Same as Applicant  
**Location:** 308, 312 & 314 Ann Street

**Project Information:**

In May 2010, a COA was issued to the Town of Beaufort for signage at the points of ingress & egress associated with Parking within the Baptist Church Lot at 312 & 314 Ann Street. The approved signs were 12” wide and 20’ tall on C-Bond Aluminum (metal).

In the District Survey, updated by Ruth Little, the structure at 308 Ann Street is not mentioned.

**Material:**

- (Samples to be provided in Letter dated January 13, 2020 from Darden J. Eure III Architect (MBF))

**Color:**

Color samples are also in Letter dated January 13, 2020.

**Attachments:**

- Vicinity Map
- Adjacent Property Owners list
- COA Application, including photographs

## Staff Findings:

### Landscaping Guidelines

8.1.4. Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina cherry laurel and sweet bay magnolia.

8.1.5. All new plant materials selected for replanting or new planting in publicly visible areas should complement as much as possible those found on the site and in the surrounding area of the district.

8.1.9. Planting strips between the public sidewalks and the street edge shall be preserved and remain predominantly ground covers or tree plantings. Small walkways will be permitted on these strips if the proposed walkway aligns with the walkway leading from the front door or main entrance of the structure to the sidewalk. New walkways shall not exceed a width of four (4) feet. Paving, filling, or otherwise altering this strip within the district is not appropriate.

8.1.14. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, screening should not exceed height of three (3) feet at the street/sidewalk edge. (SEE OFF STREET PARKING GUIDELINES for more details)

### Fences and Walls Guidelines

8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view.

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

8.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of three (3) feet at the street/sidewalk edge. (SEE OFF-STREET PARKING GUIDELINES for more details)

8.2.7. Contemporary or utilitarian fence materials are not appropriate for fences in the public view. Inappropriate materials include plastic, vinyl, chain link, wire, and all other modern materials. The use of modern fencing is permitted for rear yards only, in areas not seen from the public view, using vinyl-coated chain link (dark green or black), standard chain link or heavy wire (“hog wire”). Use plantings such as ivy, climbing roses, jasmines, or other vines to hide wire fences.

## Off-street Parking Guidelines

8.5.1. Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.

8.5.6. Incorporate existing mature trees into new parking areas. Avoid the placement of impervious surface materials such as asphalt and concrete in areas below the canopy crown of the tree. Use turf stone, gravel, marl, or other pervious materials in these areas.

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

## Signage Guidelines: (Page 119)

8.6.1. Use traditional materials found in the district, such as wood and metal for new signage. Substitute materials that have the appearance of wood are allowed. Plastic signs, flashing signs, or portable mobile signs, except those listed in item 9, are not allowed in the historic district. Interior neon signs larger than 10" by 18" that are located within five (5) feet of a window or glass door on an exterior wall and are so placed as to be seen from the outside are not allowed. **INTERNAL GLASS MOUNTED SIGNS ARE NOT SUBJECT TO BHPC REVIEW.**

8.6.2. Place signs so that they do not visually overwhelm the building or streetscape or damage or obscure character defining architectural details. Recognize that maximum signage allowances granted by the Beaufort Zoning Ordinance may be inappropriate in the context of the building or site under review.

8.6.5. Use simple, clear graphics and lettering styles in sign design.

## Demolition of Buildings Guidelines

10.1.1. Choose demolition only as a last resort. Property owners of contributing buildings should design the replacement building to reflect the demolished building's height, scale, massing and location. Applicants will have a heavy burden to demonstrate to the HPC that a replacement building with different height, scale, massing as the previously existing building is congruous with the Historic District.

10.1.2. Document the historic resource prior to demolition. Documentation shall take the form of black and white photographs, and color digital photographs of the building, structure, or site's principal elevations, architectural elements (both in exterior and interior), and special features. Measured drawings of the resource may also be required. The HPC shall determine on a case-by-case basis the extent of documentation required and the parties responsible for producing such documentation. The documentation shall be submitted to the HPC and become a permanent record of the Town of Beaufort.

10.1.3. Salvage architectural features and building materials for reuse or study. Contact antique dealers and used building supply establishments to arrange for removal. Consider donations of items to interested non-profit organizations or museums or the NC-SHPO.

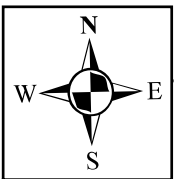
10.1.4. Minimize ground-disturbing activities during demolition to avoid damage to potential unknown Archaeological resources.

10.1.5. Retain mature trees on site.

10.1.6. Clean the site thoroughly of all building debris and leave the lot properly graded and seeded.

# BHPC Case 20-03 308, 312 & 314 Ann Street

1.



**Legend**

- NCHPOp

16



<u>OWNER</u>	<u>AIL_HOU</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>AIL_ST</u>	<u>MAIL_ZI4</u>	<u>MAIL_ZI5</u>	<u>MAIL_ADD2</u>
MOSIER,WILLIAM H ETUX LAURA R	305	ANN ST	BEAUFORT	NC		28516	
MOSIER,DAVID W JR ETAL	305	ANN ST	BEAUFORT	NC		28516	
TAYLOR,NELSON W III ETUX PATRI	311	ANN ST	BEAUFORT	NC		28516	
AQUADRO,CHARLES ETUX GERALD	3	PINEWOOD AVE	SAVANNAH	GA		31406	
COLLINS,RICHARD A JR			ATLANTIC BEACH	NC		28512	PO BOX 986
BEAUFORT HISTORICAL ASSOCIATION	150	TURNER STREET	BEAUFORT	NC		28516	
BEAUFORT INVESTMENTS LLP	608	ANN ST	BEAUFORT	NC		28516	
STATE OF NORTH CAROLINA	1321	MAIL SERVICE CENTER	RALEIGH	NC	1321	27699	
STEPHENSON,CATHERINE POTTER	116	ORANGE STREET	BEAUFORT	NC		28516	
GOELLNER,ALBERT J ETUX RUTH	118	ORANGE STREET	BEAUFORT	NC		28516	
HOLLINSHED,MARIANNA BEFFA	208		BEAUFORT	NC		28516	PO BOX 269
FIRST BAPTIST CHURCH BEAUFORT	403	ANN ST	BEAUFORT	NC		28516	
EURE, DARDEN J. III AIA NCARB	317-C	POLLOCK STREET	NEW BERN	NC		28560	



January 21, 2020

Mr. Kyle Garner, AICP  
Planning & Inspections Director  
Beaufort Town Hall  
701 Front Street  
PO Box 390  
Beaufort, NC 28516

[k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org)

**RE: Parking Modifications**  
**308 Ann Street**  
Beaufort, Carteret County  
MBFA No: 1946

Dear Kyle:

Enclosed herewith please find one original of Application for a Certificate of Appropriateness for a major work. An electronic file is forwarded for your use under a separate communication.

This package consists of the following:

1. Check No. 15524 in the amount of \$50.00 made payable to the Town of Beaufort
2. Application for a Certificate of Appropriateness
3. Drawings in 24 inch by 36 inch format, twelve sheets
4. Adjacent property owners, two sheets. MBF Architects, P.A. has advised Beaufort First Baptist Church to notify each owner and briefly describe the work to be undertaken

Predominant materials proposed the project are as follows:

1. Asphalt paving with white paint striping and concrete wheel stops. Landscaping includes Type A Screens/Buffers for zoning compliance as well as vehicle screening at rights of way
2. Dimensional lumber for fencing is stained white with an opaque finish. Fencing is a component of Type A Screens/Buffers for zoning compliance as well as vehicle screening at rights of way
3. Outside utilities consisting of an electrical meter base on steel supports and pedestal mounted payment kiosk. Utilities are screened with fencing and landscaping. Meter base color is grey. Steel supports are galvanized steel, grey color. Pedestal mounted payment kiosk is stainless steel, satin finish
4. Aluminum signs for "Enter" and "Exit Only." Placards are 1 foot, six inches wide by 1 foot, 0 inches tall with 8 inch black letters on a white background

Any appurtenant maintenance required for adjacent constructions encountered throughout the course of work is replacement in kind.

Materials not included in the application are as follows:

1. No lighting is included in the work
2. No replacement of demolished structures is included in the work

Guidelines incorporated into the design are as follows:

1. The approach via Turner Street is an important historic vista requiring street trees, Page 36. A combination of street trees, small trees and low shrubs delineate the property lines at rights of way complying with Guidelines 8.1.4 and 8.1.5. The design retains and protects mature plantings complying with Guidelines 8.1.8, 8.5.4, 8.5.6 and 10.1.5
2. The work requested employs standards for rehabilitation, which "acknowledge the need to alter and/or add to a ... property to meet continuing or changing uses," Page 39
3. Paint selections are appropriate for not drawing unnecessary attention to the site complying with Guidelines 6.7.2 and 8.2.1. Opaque stain finish is white
4. Construction materials are used in traditional ways complying with Guidelines 7.3.3 and 8.6.1
5. Utilities are located and screened with landscaping and fencing complying with Guidelines 8.1.12, 8.1.13, 8.3.1 and 8.3.5. Electrical wiring and network cabling are distributed on site in below grade conduit complying with 8.3.6. Meter base color is grey. Supports are galvanized steel, grey color. Pedestal mounted payment kiosk is stainless steel, satin finish. Finishes comply with 8.3.3
6. Parking is screened with landscaping and fencing complying with Guidelines 8.1.14, 8.5.1 and 8.5.2
7. Fencing is a commonly recognized style used to delineate property lines at rights of way and as an element in Type A Screens/Buffers for zoning, complying with Guidelines 8.2.2 and 8.2.6. The fence height proposed is 3 feet, 0 inches complying with Guidelines 8.1.4 and 8.2.6, which is less than the required zoning height. We request that the rear yard remain at 3 feet, 0 inches in height because there is no structure for which a logical transition point to a higher fence can be established as suggested in Guideline 8.2.3
8. Signage is mounted on fencing so as not to obstruct pedestrian views or clutter historic vistas complying with Guideline 8.6.7. Signs are free of graphics and include simple lettering styles and inconspicuous colors complying with Guideline 8.6.5
9. Demolition of the residence at 308 Ann Street is requested with a waiver of the 365 Day delay period because the early 1970s construction is not concurrent with the Coastal Cottage; Beaufort Style Cottage; Georgian; Federal; Revivals-Greek, Gothic, Italianate, Queen Anne; or Bungalow styles prevalent from the 1720s through the 1920s that define the character of the Beaufort Historical District. Reference Pages 13 through 23. Furthermore, the residence has an attached garage, where the HPC would likely find that a detached garage located in a secondary or tertiary area of visual concern complying with Guideline 7.1.3 is more appropriate and congruous with the guidelines. MBF Architects, P.A. has advised Beaufort First Baptist Church to seek sources for architectural salvage complying with 10.1.3. Demolition utilizes methods that minimize ground disturbances complying with Guideline 10.1.4. The site is cleaned of debris, finely graded and seeded complying with Guideline 10.1.6

Please place this item on the agenda for the forthcoming regular meeting of February 4, 2020.

Sincerely,



Darden J. Eure, III, AIA, NCARB

[eure@mbfarchitects.com](mailto:eure@mbfarchitects.com)

**MBF Architects, P.A.**

### CERTIFICATE OF APPROPRIATENESS APPLICATION FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT



#### **Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$50.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Town Hall at 252-728-2142 if there are any questions.

#### **APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: FIRST BAPTIST CHURCH BEAUFORT

Applicant Address: 308 ALOW STREET BEAUFORT NC 28561

Business Phone: (252) 728-4879 Email/Cell: \_\_\_\_\_

Property Owner Name: FIRST BAPTIST CHURCH BEAUFORT

Address of Property: 308 ALOW STREET BEAUFORT NC 28561

Phone Number: (252) 728-4879 Email/Cell: \_\_\_\_\_

#### **PROJECT INFORMATION**

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

Estimated Cost of Project: \$ 50,000

Year House Built: EARLY 1970

*[Signature]*  
Applicant Signature DARREN J. BURR, III  
AIA, NCARB  
FOR FIRST BAPTIST CHURCH

14-JAN-20  
Date

*[Signature]*  
Property Owner Signature (if different than above) JOHN LAMPROS

14-JAN-20  
Date

*An application fee of \$50.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

#### **OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

Date Deemed Completed and Accepted: \_\_\_\_\_

## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

### **1. Items required for ALL projects:**

- A list all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

### **2. Items required as applicable to project:**

- A description of any planned demolition.
- An indication of all trees to be replaced and/or removed.
- A landscaping plan indicating major planting materials.
- Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only. -WHITE, NO SAMPLE
- All types of building material samples.
- If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

### **3. Additional items required (only) for new Signage:**

- A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

**4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.

**5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a building permit for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [j.ganey@beaufortnc.org](mailto:j.ganey@beaufortnc.org).*

## CHECKLIST OF MATERIALS REQUIRED FOR COA APPLICATION

1.  If a project involves the reconstruction of an earlier feature of a historic structure, good documentation is required of the prior existence of that feature.
2.  If a project involves replacing existing features of a historic structure, justification for replacement and a description and/or sample of the new material(s) must be furnished.
3. YES Photographs of site and existing building.
4. YES Detailed plans showing both existing and proposed conditions and elevations of proposed buildings.
5. YES Site plan with dimensions showing both existing and proposed conditions.
6. YES Completed adjacent property owners form (on back of application).
7. YES Landscaping plans indicating major plant materials.
8. YES Indication of tree removal if necessary.
9. YES Description of all building materials (siding, roofing material, windows, door, etc.).
10.  Material samples.
11. YES Exterior paint color samples for projects involving any change in exterior color.
12. YES Indication of any planned demolition. WHITE FENCE
13. YES Streetscape photographs.

### FOR SIGNS:

14. YES Dimensions of the sign.
15. YES A drawing indicating size and type of lettering and overall design.
16. YES Colors to be used. WHITE BACKGROUND w/ BLACK LETTERS
17. YES Location of the sign on the structure.
18. YES Materials sign will be made of.

### FOR HOUSE PLAQUES:

19.  See guidelines on page 35.
20.  Name, date suggested, and research submitted with photos.

# Carteret County, N.C.



1.



January 10, 2020

23

The information displayed by this website is prepared for the inventory of real property found within this jurisdiction and is compiled from recorded deeds, plats, and other public records and data. Users of this information are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this site. Carteret County assumes no legal responsibility for the information contained on this site. Carteret County does not guarantee that the data and map services will be available to users without interruption or error. Furthermore, Carteret County may modify or remove map services and access methods at will.

<b>ADJACENT PROPERTY OWNERS</b>		
<b>NUMBER</b>	<b>STREET</b>	<b>OWNER</b>
305	ANN STREET	MOSIER,WILLIAM H ETUX LAURA R
306	ANN STREET	HOLLINSHED,MARIANNA BEFFA
307	ANN STREET	MOSIER,DAVID W JR ETAL
308	ANN STREET	FIRST BAPTIST CHURCH BEAUFORT
311	ANN STREET	TAYLOR,NELSON W III ETUX PATRI
312	ANN STREET	FIRST BAPTIST CHURCH BEAUFORT
313	ANN STREET	AQUADRO,CHARLES ETUX GERALD
314	ANN STREET	FIRST BAPTIST CHURCH BEAUFORT
315	ANN STREET	COLLINS,RICHARD A JR
403	ANN STREET	FIRST BAPTIST CHURCH BEAUFORT
315	FRONT STREET	STATE OF NORTH CAROLINA
116	ORANGE STREET	STEPHENSON,CATHERINE POTTER
118	ORANGE STREET	GOELLNER,ALBERT J ETUX RUTH
133	TURNER STREET	BEAUFORT INVESTMENTS LLP
138	TURNER STREET	BEAUFORT HISTORICAL ASSOCIATION
148	TURNER STREET	BEAUFORT HISTORICAL ASSOCIATION
150	TURNER STREET	BEAUFORT HISTORICAL ASSOCIATION



# PARKING MODIFICATIONS

FIRST BAPTIST CHURCH BEAUFORT  
308 ANN STREET  
BEAUFORT, CARTERET COUNTY

PARKING MODIFICATIONS  
FIRST BAPTIST CHURCH BEAUFORT  
BEAUFORT, CARTERET COUNTY

**SYMBOL LEGEND**

6"

DIMENSIONS SHOWN THUSLY ARE TO THE FACE OF THE ELEMENT BEING DIMENSIONED (WALL, FRAME, ETC.)

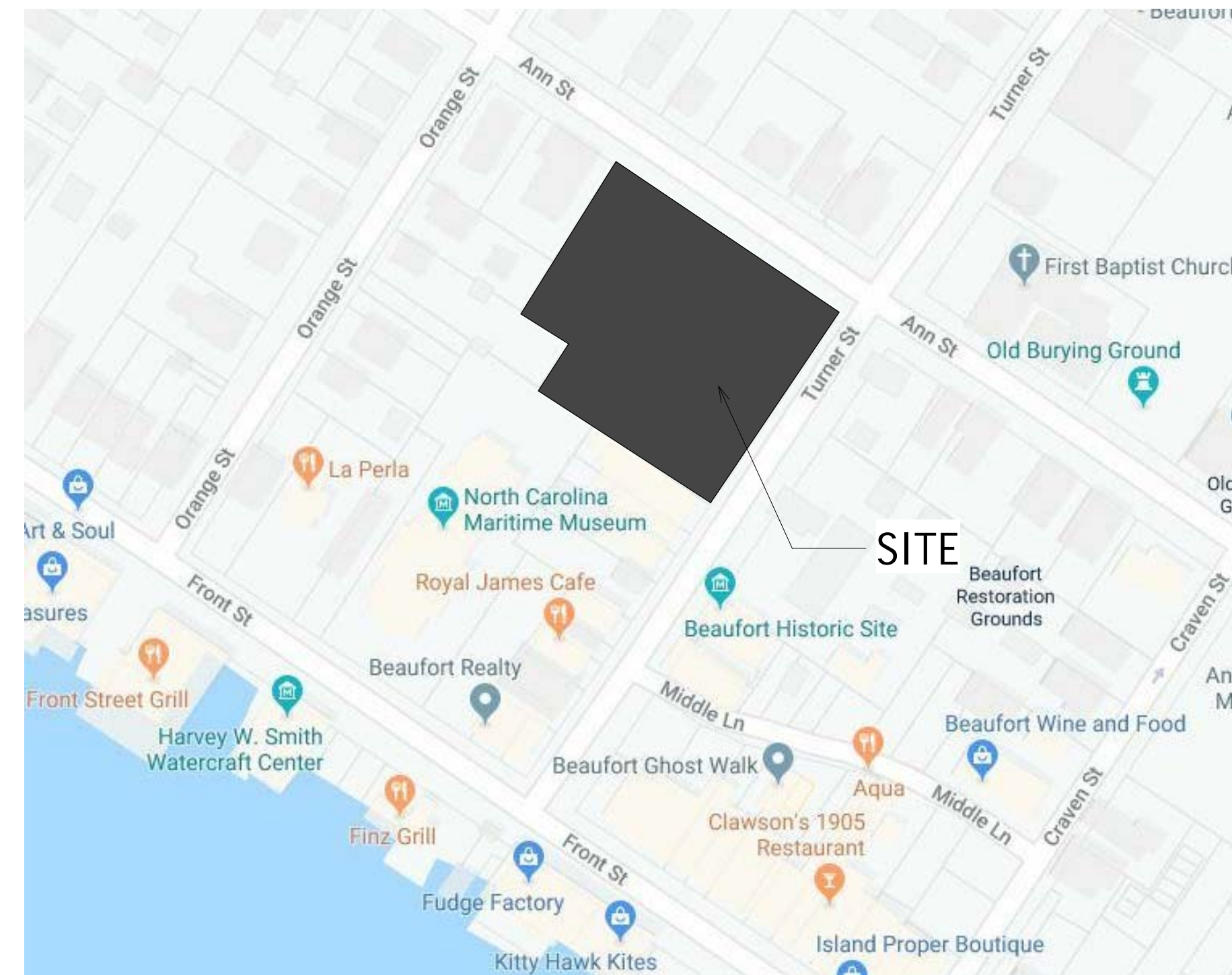
Name Elevation ELEVATION DESIGNATION

SECTION MARK

ENLARGED PLAN/DETAIL MARK

DESIGN NORTH

NOTE: LEGEND APPLIES TO ALL ARCHITECTURAL SHEETS



A3 VICINITY MAP

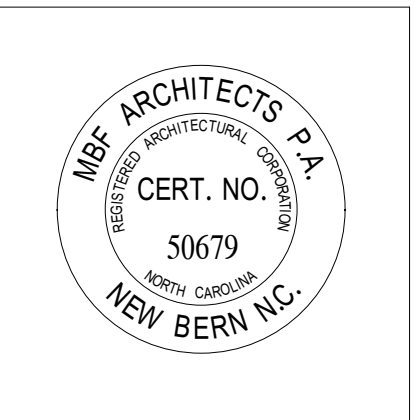
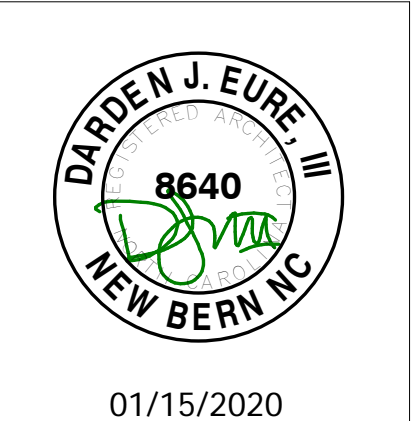
**INDEX OF DRAWINGS**

SHEET NUMBER	PLATE NO	SHEET NAME
1 OF 12	G-001	TITLE SHEET
2 OF 12	PL100	DEMOLITION SITE PLAN
3 OF 12	PL101	PHOTO DOCUMENTATION
4 OF 12	PL102	PHOTO DOCUMENTATION
5 OF 12	PL103	CONSTRUCTION SITE PLAN
6 OF 12	PL104	LANDSCAPE PLAN
7 OF 12	PL105	DETAILS
8 OF 12	PL106	PAY STATION DETAILS
9 OF 12	PL107	SITE SURVEY
10 OF 12	PL108	PARSONAGE DOCUMENTS
11 OF 12	PL109	PARSONAGE DOCUMENTS
12 OF 12	PL110	PARSONAGE DOCUMENTS

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REVISIONS #	DATE	DESCRIPTION










01/15/2020



MBFA No: 1946  
TITLE SHEET

**G-001**  
SHEET 1 OF 12

**EXISTING SITE PLAN LEGEND**

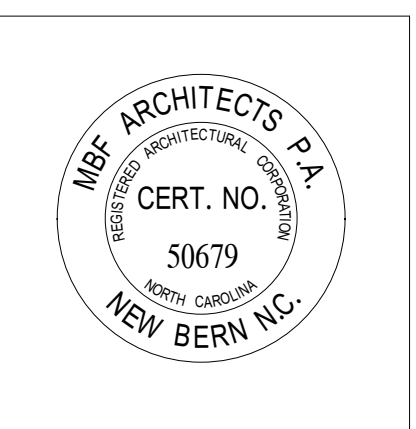
-  TREE TO BE REMOVED
-  TRAFFIC DIRECTIONAL ARROW ON PAVEMENT
-  EXISTING FENCE TO BE DEMOLISHED
-  PROPERTY LINE
-  REMOVE/DEMOLISH
-  DEMOLISH PAVEMENT
-  CONCRETE
-  EXISTING ROAD / SIDEWALK
-  X#  
XX### REFERENCE TO DETAIL AND SHEET NUMBER WHERE PHOTO WAS TAKEN

**PARKING MODIFICATIONS**  
FIRST BAPTIST CHURCH BEAUFORT  
BEAUFORT, CARTERET COUNTY

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REVISIONS #	DATE	DESCRIPTION

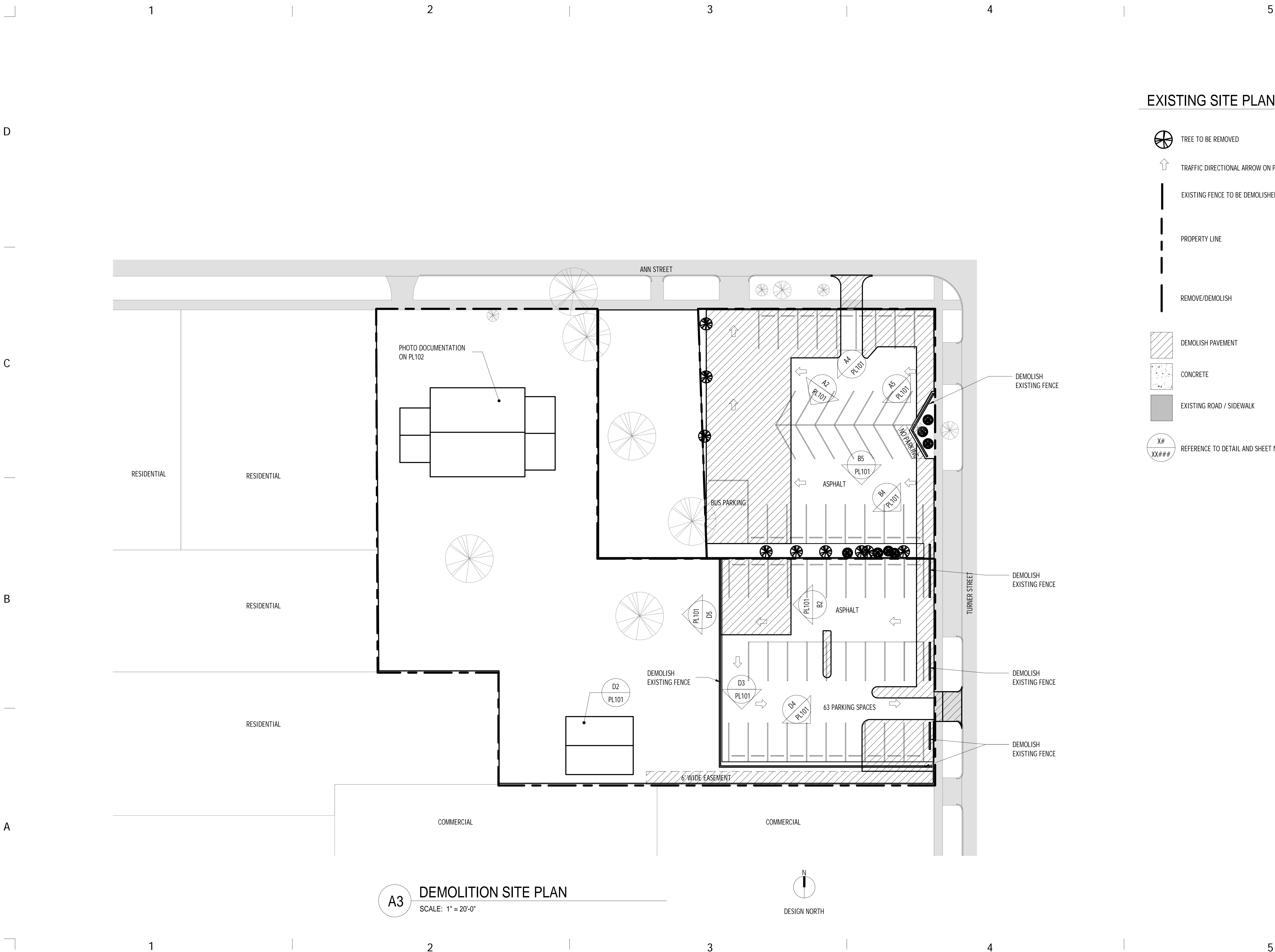
01/15/2020



MBFA No: 1946

**DEMOLITION SITE PLAN**

**PL100**  
SHEET 2 OF 12



**A3 DEMOLITION SITE PLAN**  
SCALE: 1" = 20'-0"

D

C

B

A



D2 PHOTO DOCUMENTATION



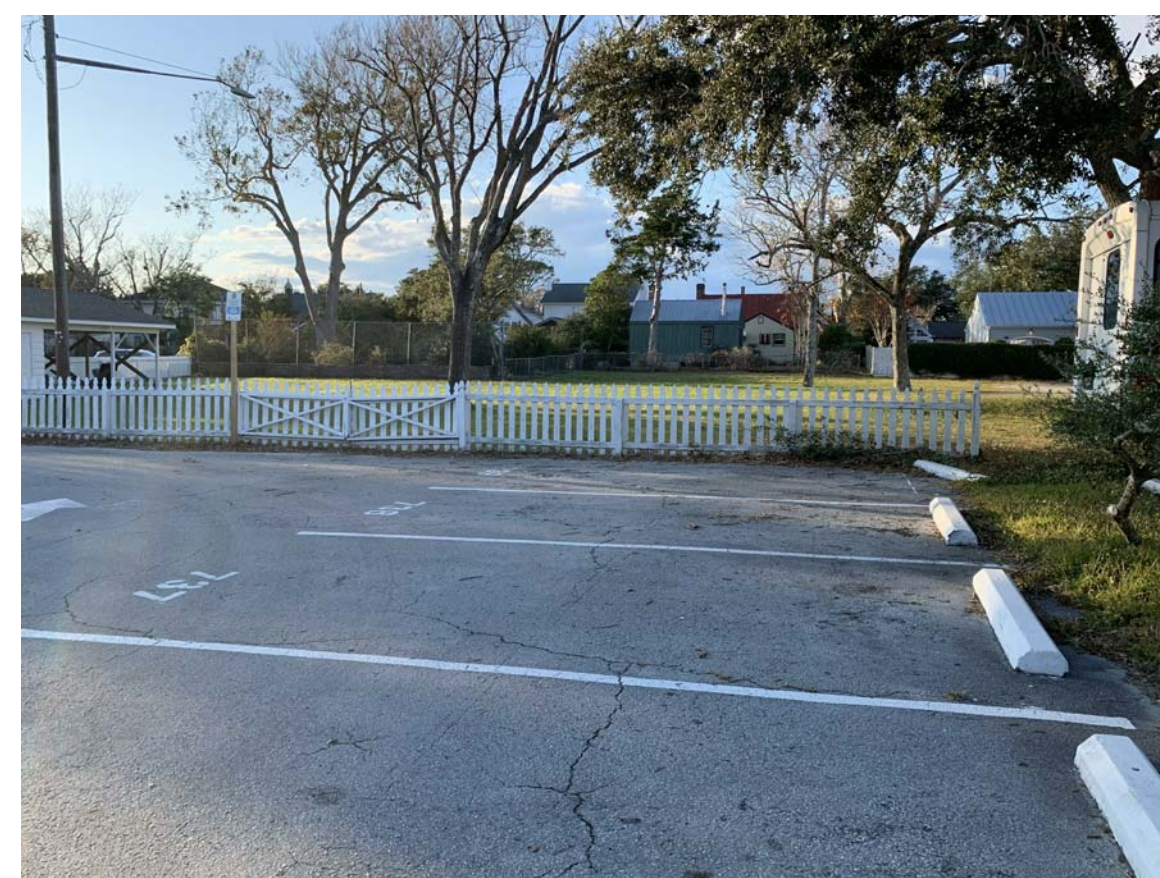
D3 PHOTO DOCUMENTATION



D4 PHOTO DOCUMENTATION



D5 PHOTO DOCUMENTATION



B2 PHOTO DOCUMENTATION



B4 PHOTO DOCUMENTATION



B5 PHOTO DOCUMENTATION



A2 PHOTO DOCUMENTATION



A4 PHOTO DOCUMENTATION



A5 PHOTO DOCUMENTATION

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REVISIONS #	DATE	DESCRIPTION

01/15/2020



MBFA No: 1946

PHOTO DOCUMENTATION

1

2

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5



D1 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



D2 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



C2 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



B3 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



B4 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



C3 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



C4 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



C5 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



A2 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



A3 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



B1 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



B2 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



A1 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



A4 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"



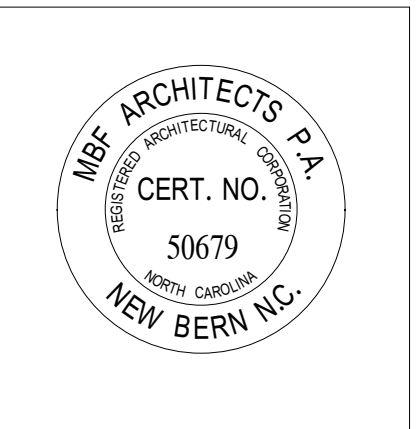
A5 PHOTO DOCUMENTATION  
SCALE: 12" = 1'-0"

NOTES:  
PHOTO DOCUMENTATION SHEET PL102 PERTAINS TO THE PARSONAGE  
AT 308 ANN STREET FOR WHICH DEMOLITION HAS BEEN REQUESTED

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REVISIONS #	DATE	DESCRIPTION

01/15/2020



MBFA No: 1946  
PHOTO DOCUMENTATION

**PL102**  
SHEET 4 OF 12

1

2

3

4

5

### SITE CODE COMPLIANCE


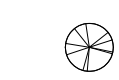



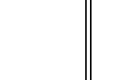





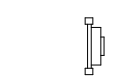

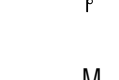
#### TOWN OF BEAUFORT, NC LAND DEVELOPMENT ORDINANCE REFERENCES

**SECTION 13.D**  
TABLE 13-2 MINIMUM DIMENSIONAL STANDARDS FOR PARKING SPACES AND AISLES.  
90° PARKING ANGLE IS REQUIRED TO BE 9 FEET WIDE, 18 FEET DEEP WITH A 24 FOOT WIDE AISLE. WHEEL STOP PLACEMENT IS TO BE 2 FEET 6 INCHES FROM THE FRONT OF THE SPACE

**SECTION 19.D.1**  
TABLE 19-4 TYPE OF SCREENING/BUFFERING REQUIRED BETWEEN ADJACENT LAND USES. NONRESIDENTIAL ABUTTING RESIDENTIAL LAND USES REQUIRES A TYPE "A" BUFFER

**SECTION 19.C.1**  
TABLE 19-1 "TYPE A" SCREEN/BUFFER YARD. MINIMUM PLANTS PER 100 LINEAR FEET FOR A 10 FOOT WIDE BUFFER YARD REQUIRES:  
- 4 LARGE TREES (EVERGREEN)  
- 6 SMALL TREES (EVERGREEN)  
- 6 FOOT OPAQUE FENCE, OR ALTERNATIVE HEIGHT SUBJECT TO HPC APPROVAL

### SITE PLAN LEGEND

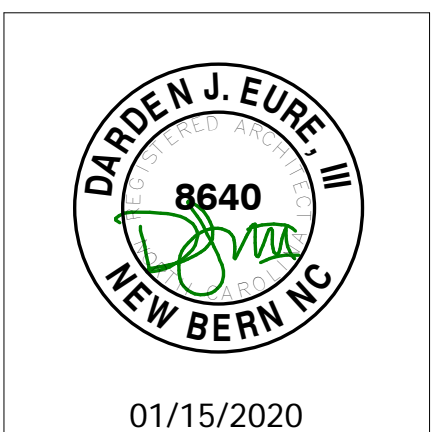
-  LARGE TREE (NATIVE)
-  SMALL TREE (NATIVE)
-  SHRUBS (NATIVE)
-  TRAFFIC DIRECTIONAL ARROW ON PAVEMENT
-  PAYMENT KIOSK
-  3 FOOT HIGH OPAQUE FENCE
-  PROPERTY LINE
-  CONCRETE
-  EXISTING ROAD / SIDEWALK
-  ELECTRICAL METER BASE ON STEEL SUPPORT STRUACTURE
-  ACCESSIBLE PARKING SYMBOL
-  ACCESSIBLE PARKING SIGN
-  M MULCH
-  G GRASS

**PARKING MODIFICATIONS**  
 FIRST BAPTIST CHURCH BEAUFORT  
 BEAUFORT, CARTERET COUNTY

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REVISIONS #	DESCRIPTION
	DATE

01/15/2020



MBFA No: 1946

CONSTRUCTION  
SITE PLAN

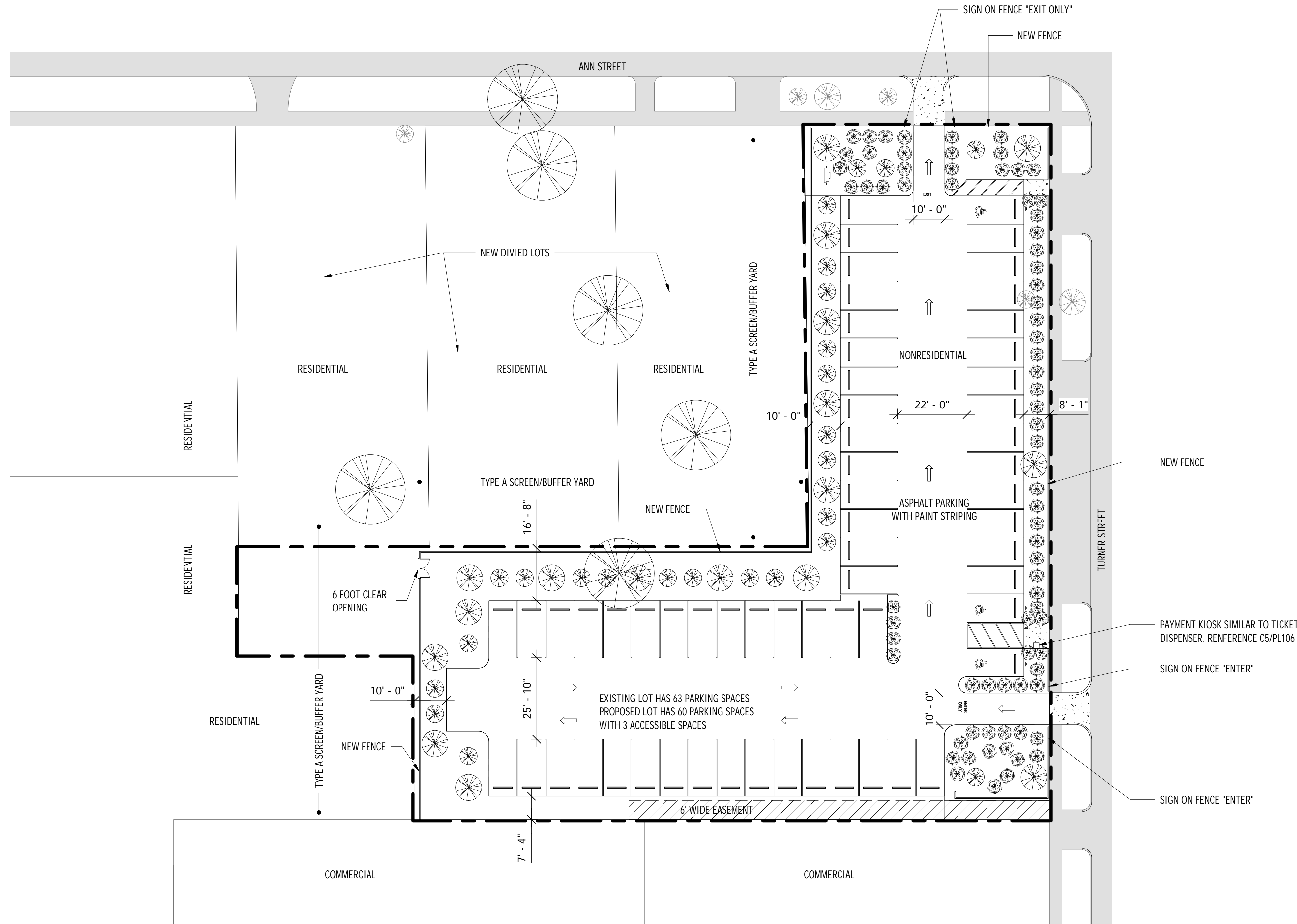
**PL103**  
SHEET 5 OF 12

D

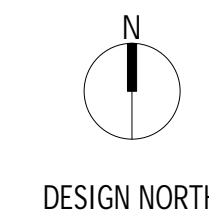
C

B

A



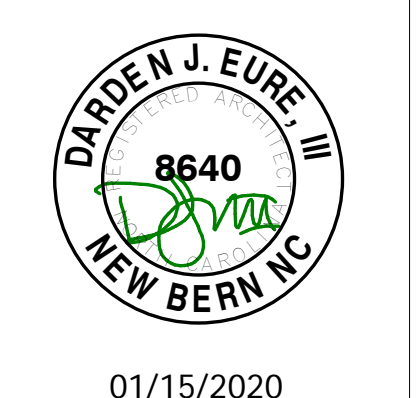
**A3 CONSTRUCTION SITE PLAN**  
SCALE: 1" = 20'-0"



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01/15/2020



MBFA No: 1946

LANDSCAPE PLAN

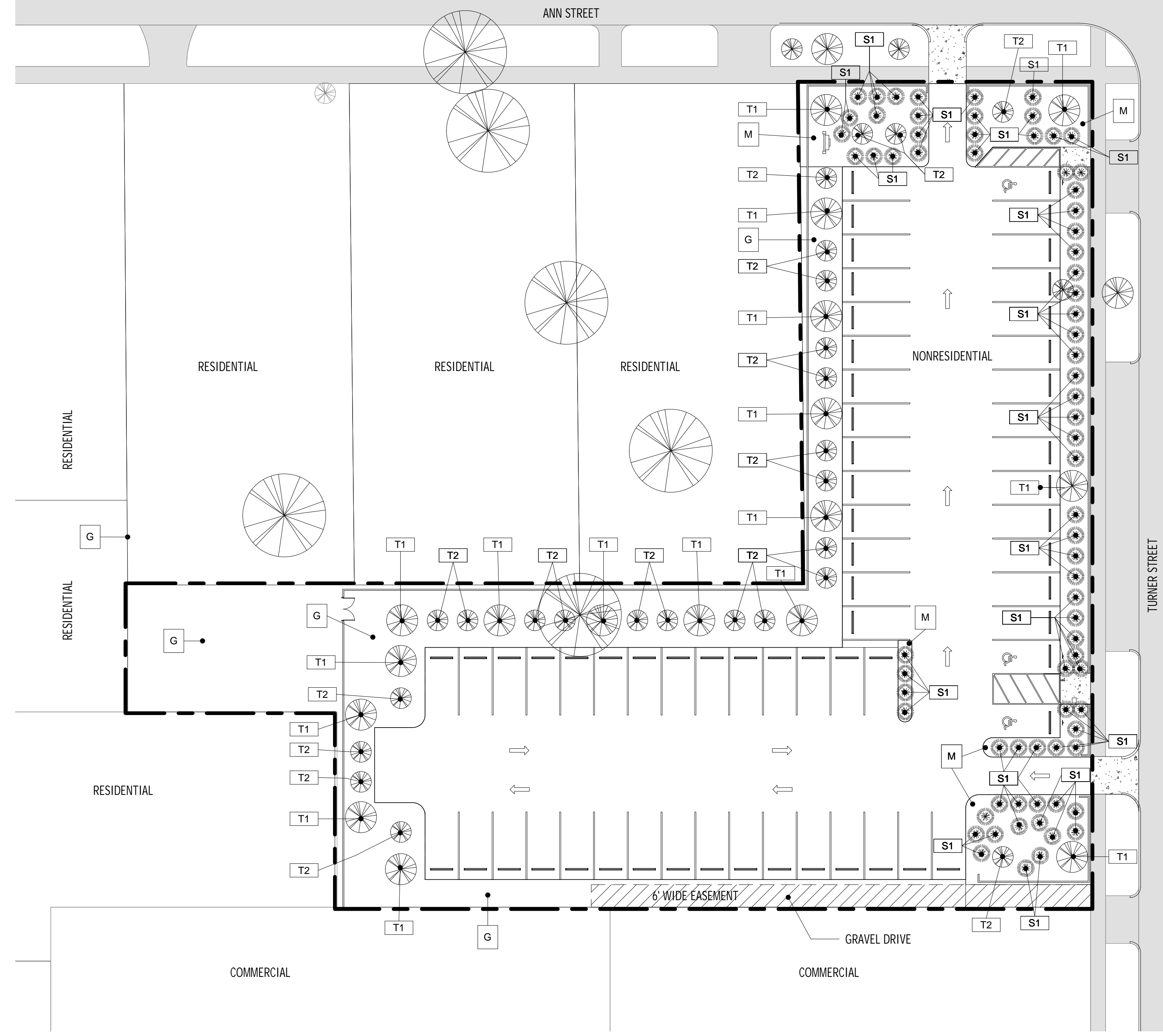
**PL104**

SHEET 6 OF 12

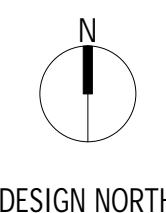
**SITE PLAN LEGEND**

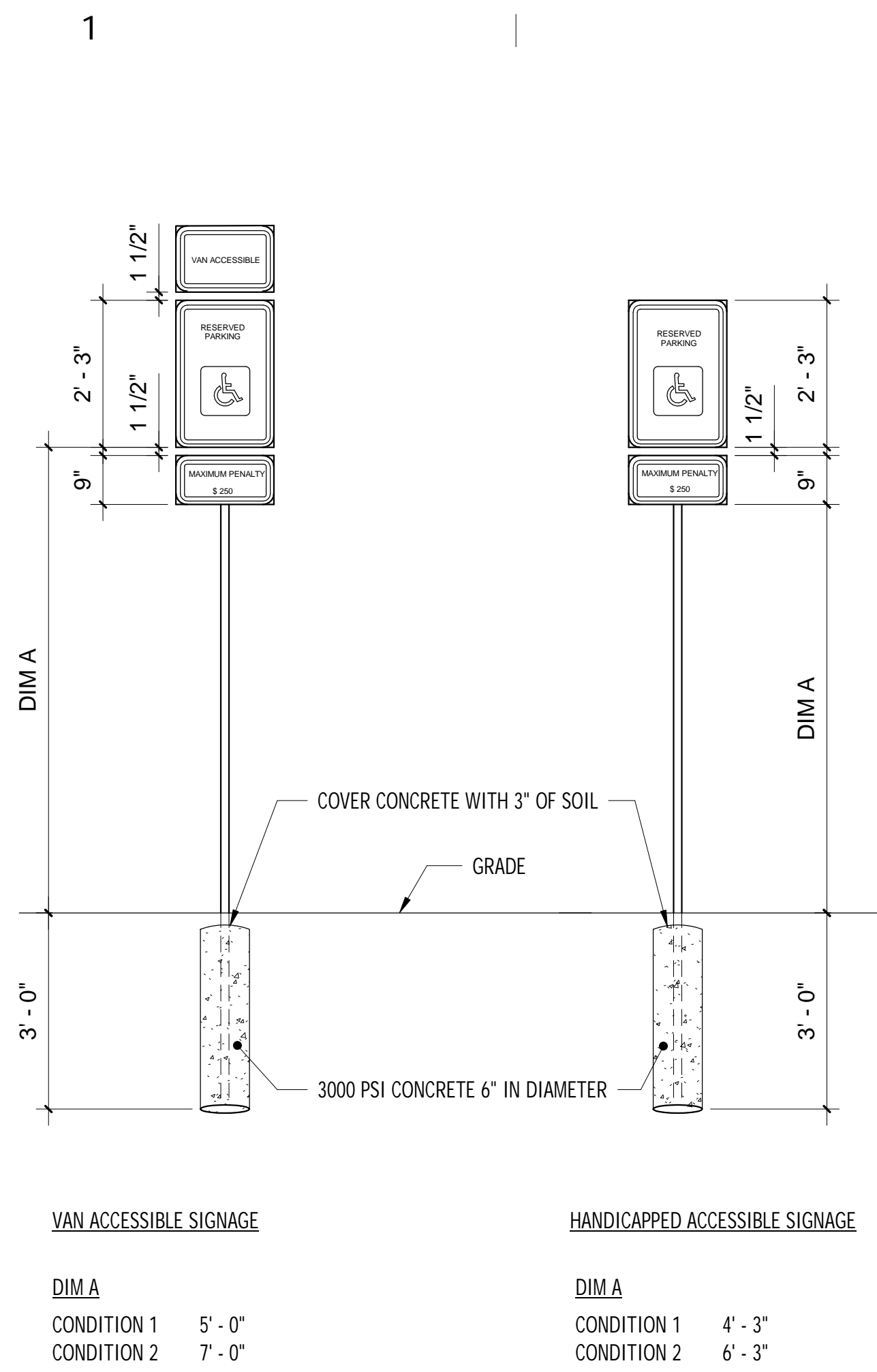
- LARGE TREE (NATIVE)
- SMALL TREE (NATIVE)
- SHRUBS (NATIVE)
- TRAFFIC DIRECTIONAL ARROW ON PAVEMENT
- PAYMENT KIOSK
- 3 FOOT HIGH OPAQUE FENCE
- PROPERTY LINE
- CONCRETE
- EXISTING ROAD / SIDEWALK
- ELECTRICAL METER BASE ON STEEL SUPPORT STRUCTURE
- ACCESSIBLE PARKING SYMBOL
- ACCESSIBLE PARKING SIGN
- MULCH
- GRASS

Planting Schedule	
Type Mark	Type
S1	DWARF YAUPON HOLLY, HYDRANGEA
T1	LIVE OAK, WATER OAK
T2	GRAPE MYRTLE

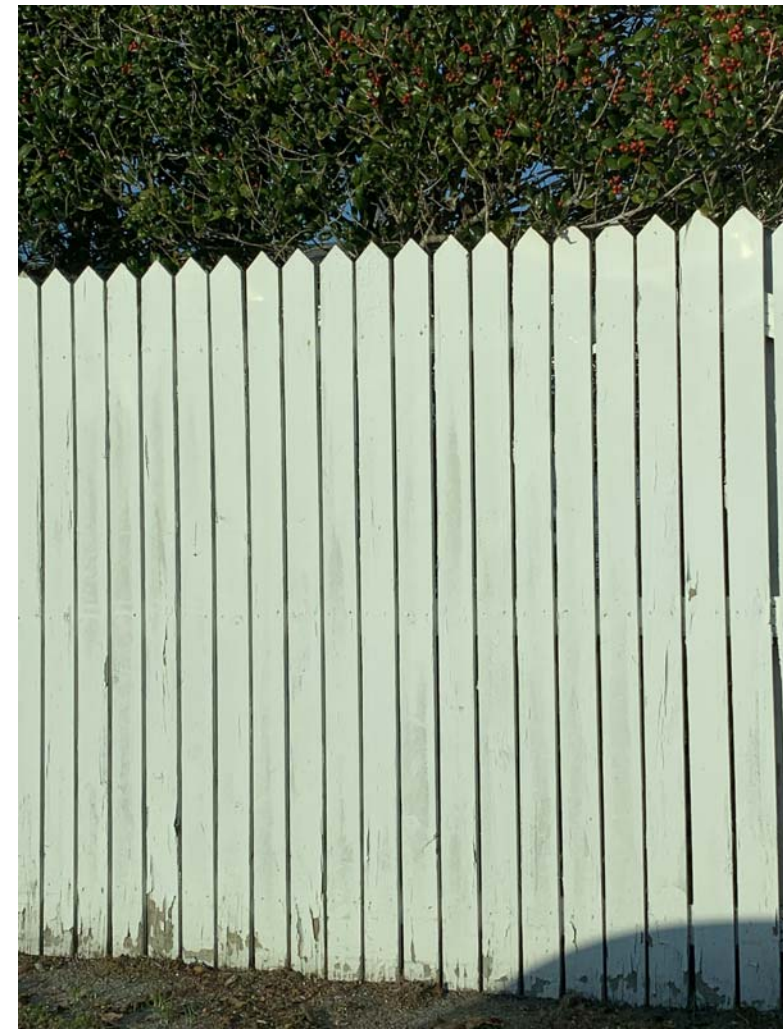


**A3 LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"

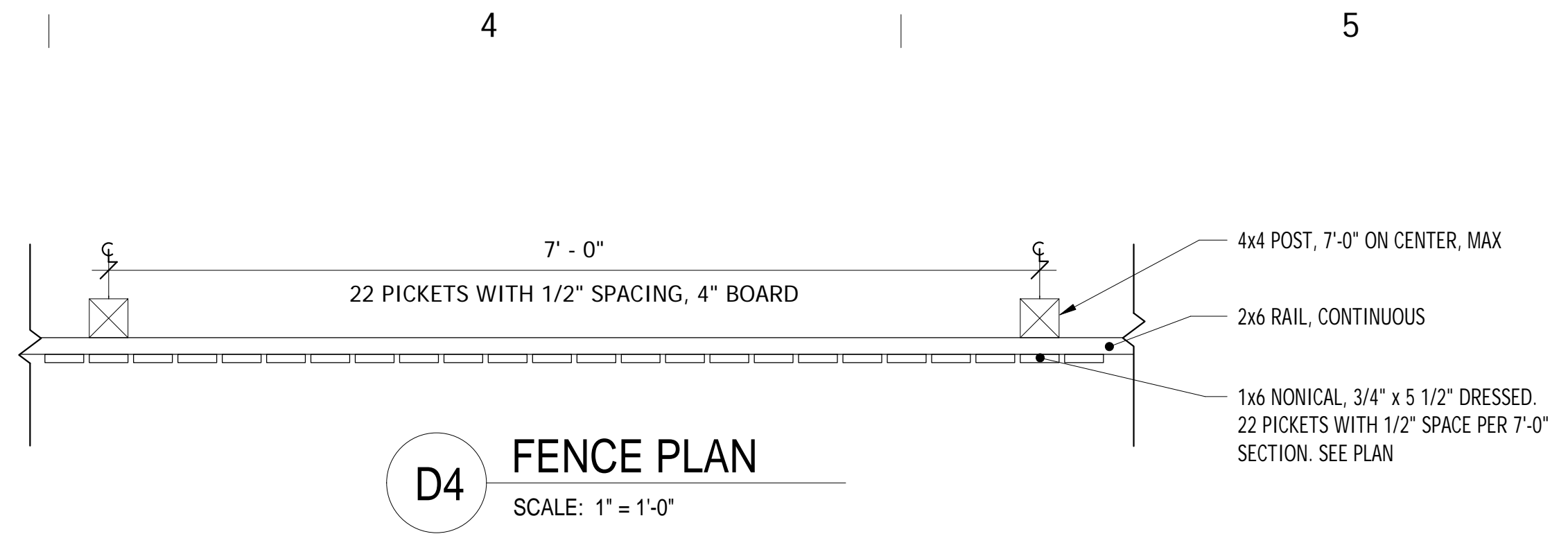




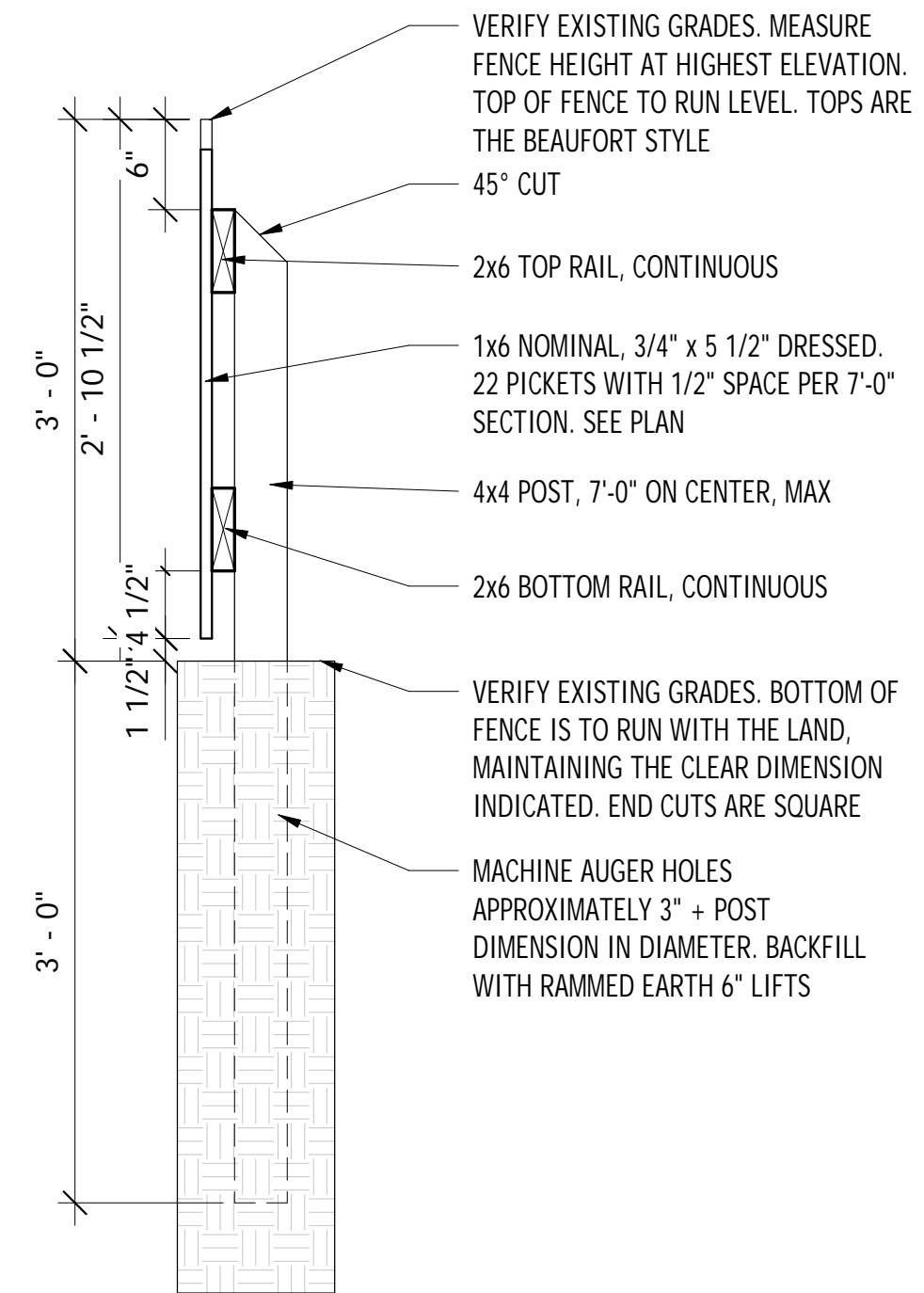
**C1 ACCESSIBLE SIGNAGE MOUNTING HEIGHTS**  
SCALE: 1/2\"/>



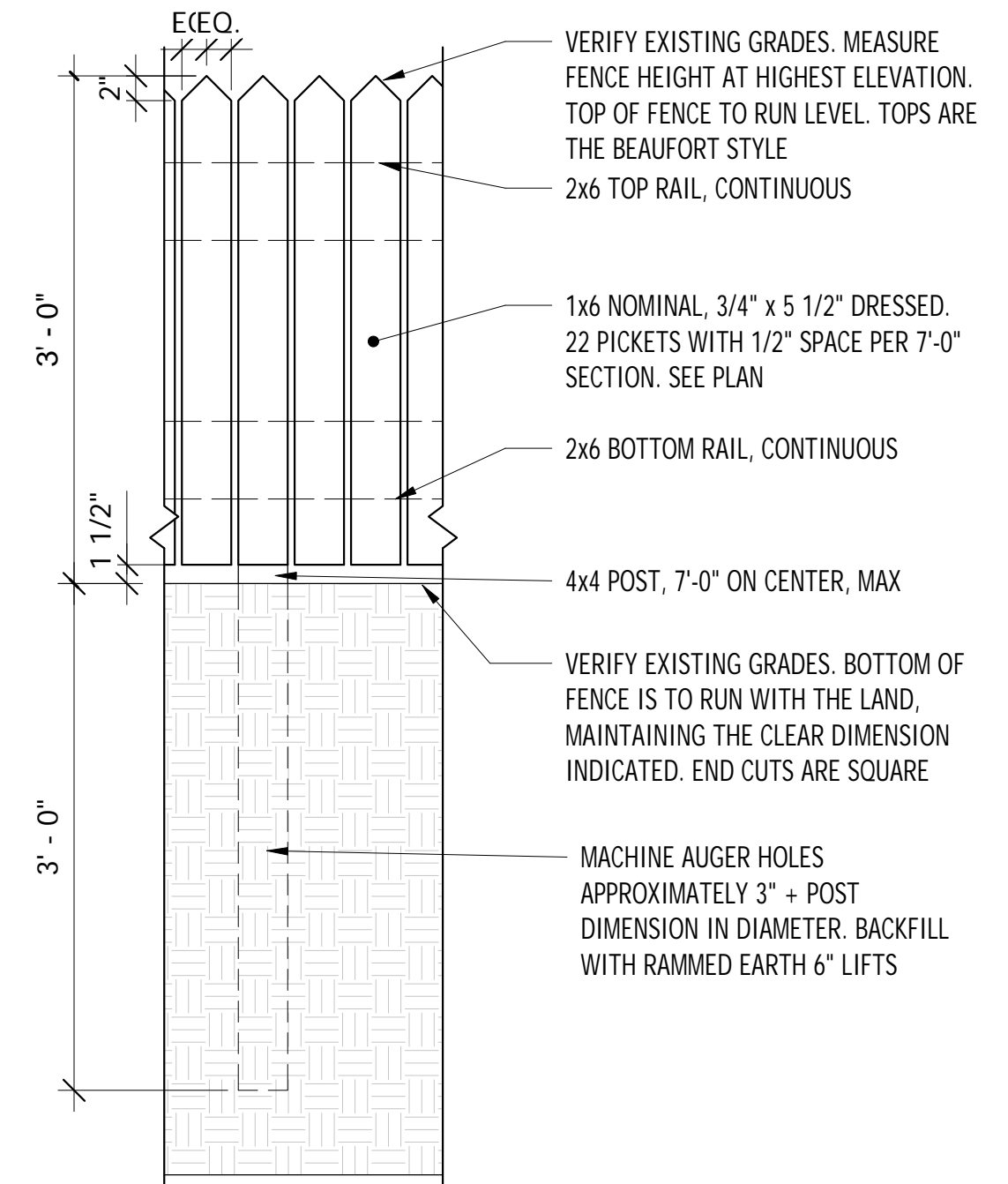
**C3 BEAUFORT STYLE FENCE EXAMPLE**



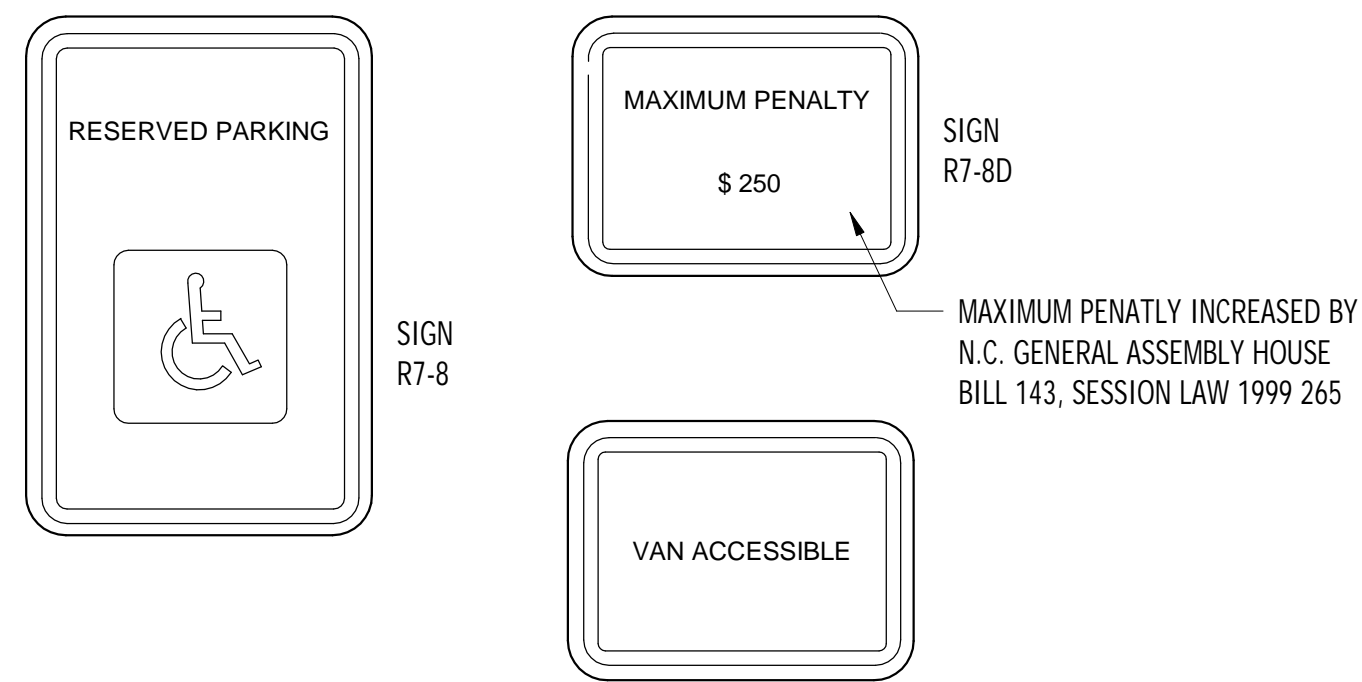
**D4 FENCE PLAN**  
SCALE: 1\"/>



**C4 FENCE SECTION**  
SCALE: 1\"/>

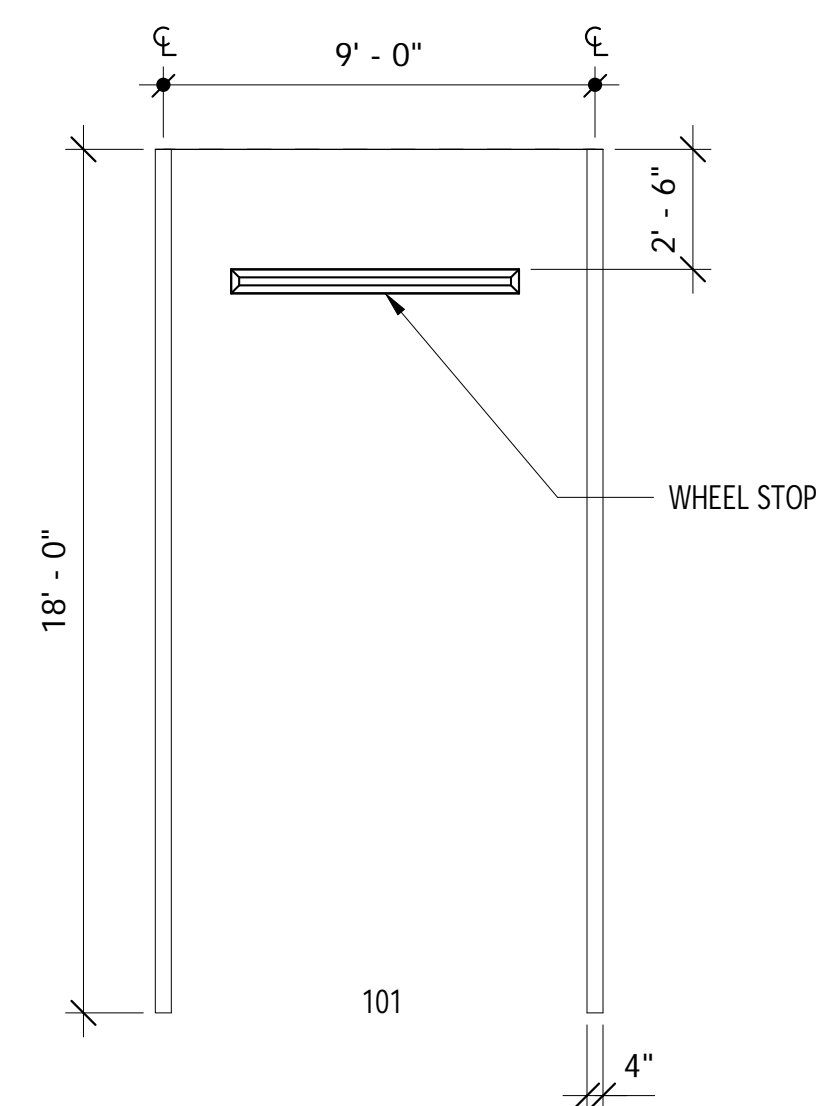


**C5 FENCE ELEVATION**  
SCALE: 1\"/>

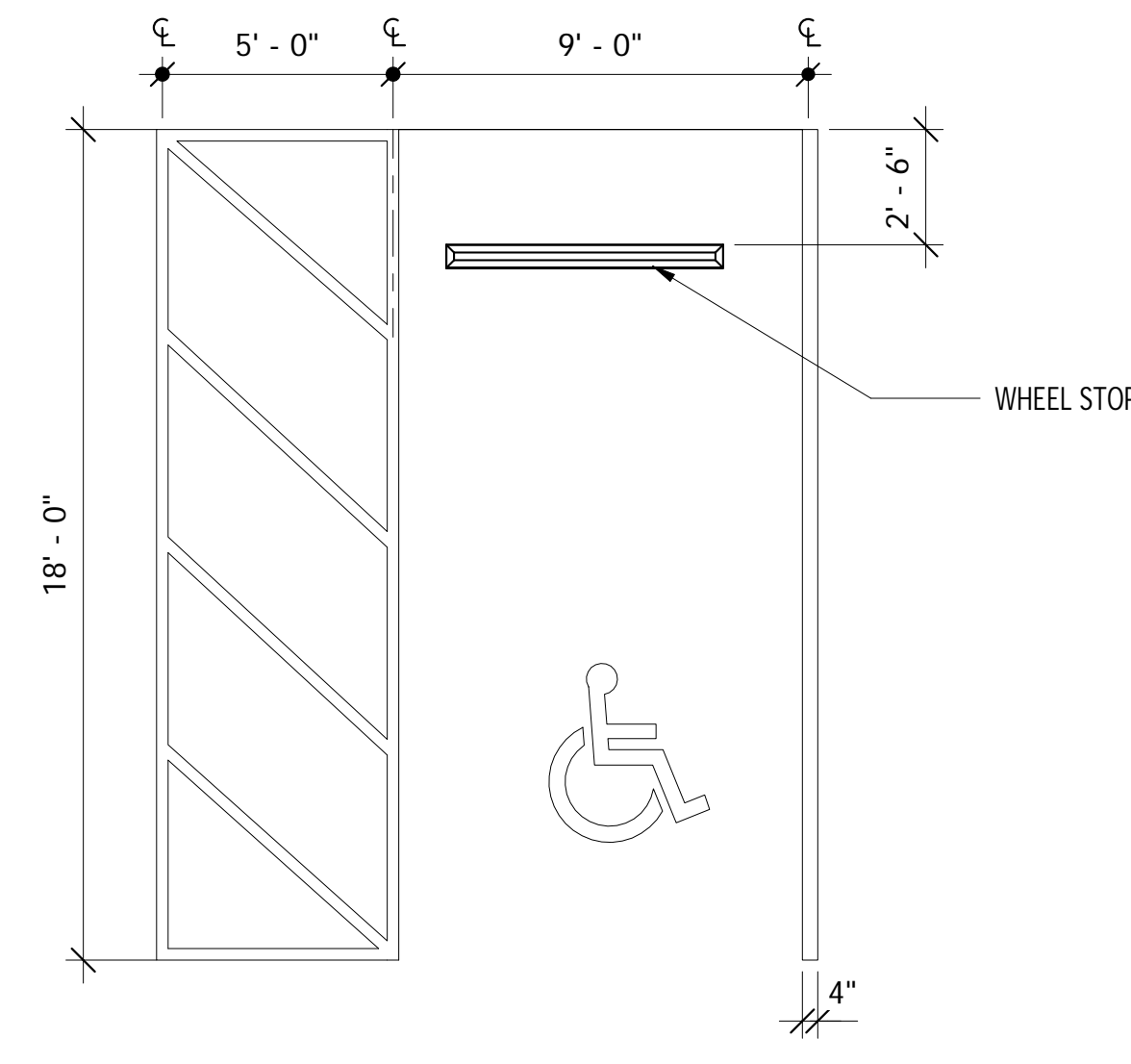


NOTES:  
1. REFERENCE SECTION 4.1.2, NCSBC, VOL-1C

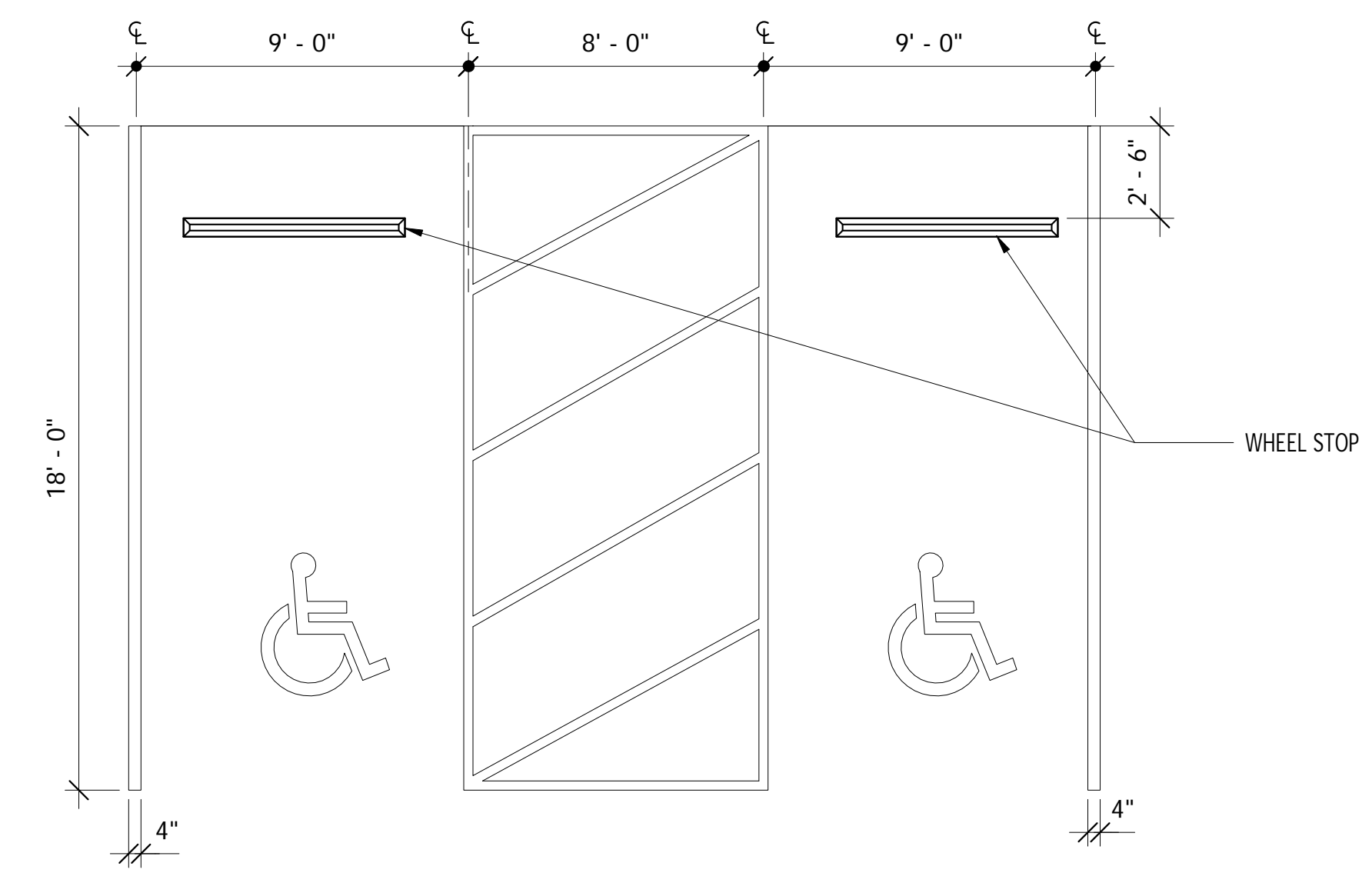
**A1 ACCESSIBLE SIGNAGE**  
SCALE: 3/4\"/>



**A2 PARKING SPACE**  
SCALE: 1/4\"/>



**A3 SINGLE ACCESSIBLE PARKING SPACE**  
SCALE: 1/4\"/>



**A5 ACCESSIBLE PARKING SPACE WITH CENTER AISLE**  
SCALE: 1/4\"/>

**PARKING MODIFICATIONS**  
FIRST BAPTIST CHURCH BEAUFORT  
BEAUFORT, CARTERET COUNTY

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DETAILS

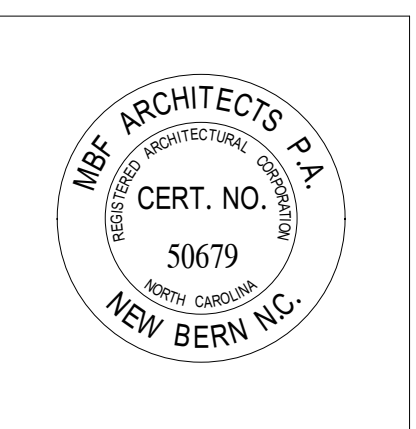
**PL105**

SHEET 7 OF 12

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PAY STATION  
DETAILS

**PL106**  
SHEET 8 OF 12

1

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D

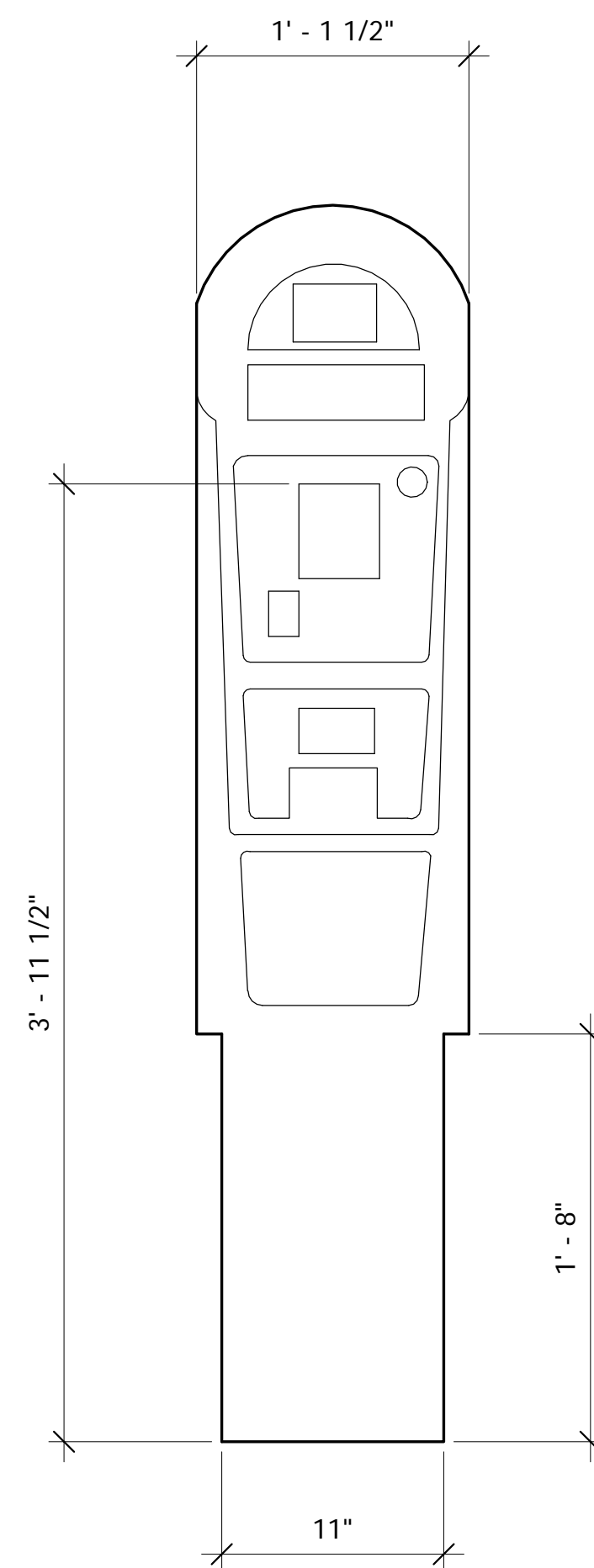
C

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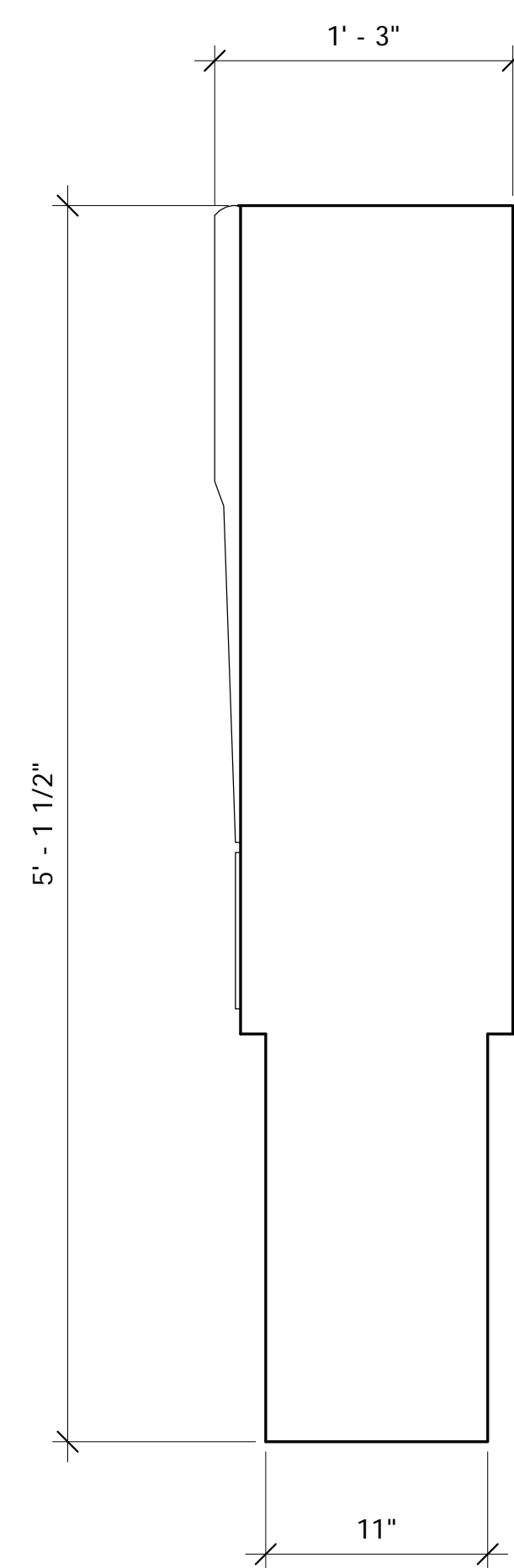
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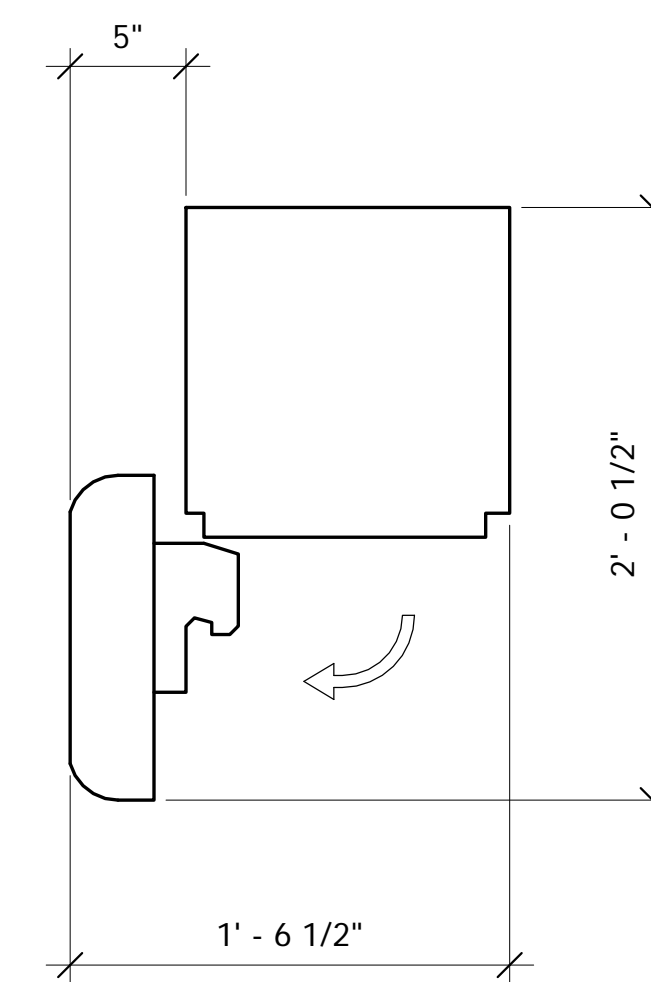
**B1 LABEL PLACEMENT**  
SCALE: 1 1/2" = 1'-0"



**FRONT ELEVATION**



**SIDE ELEVATION**



**PLAN OPEN DOOR CLEARANCE**

**A4 PAYMENT KIOSK**  
SCALE: 1 1/2" = 1'-0"

1

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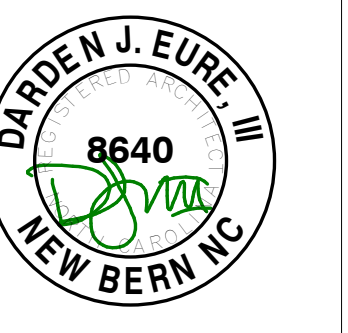


**PARKING MODIFICATIONS**  
FIRST BAPTIST CHURCH BEAUFORT  
BEAUFORT, CARTERET COUNTY

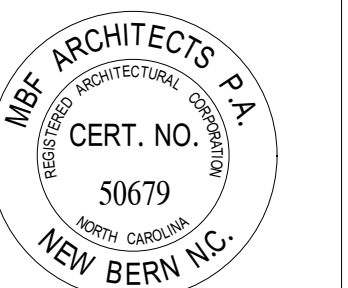
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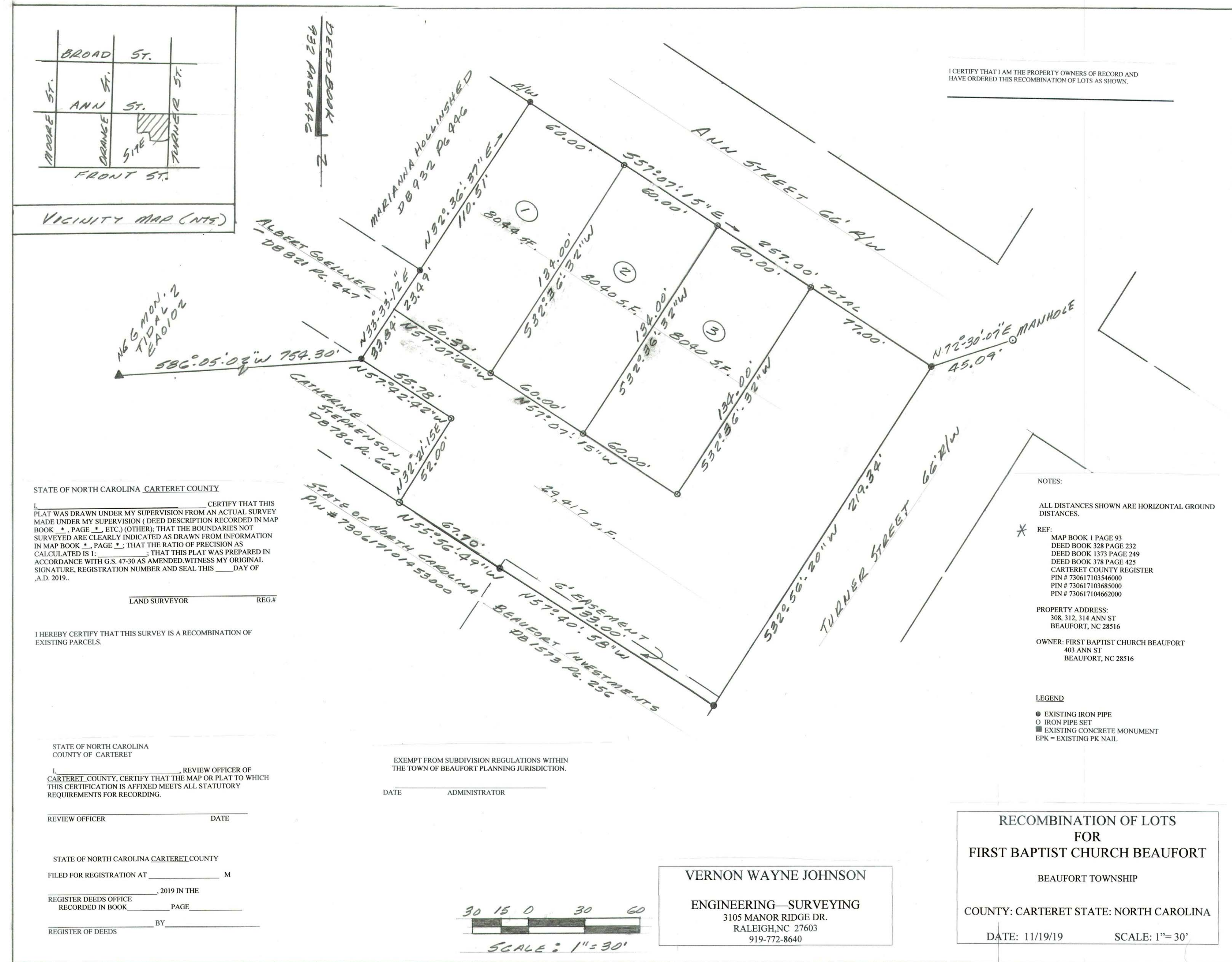


01/15/2020



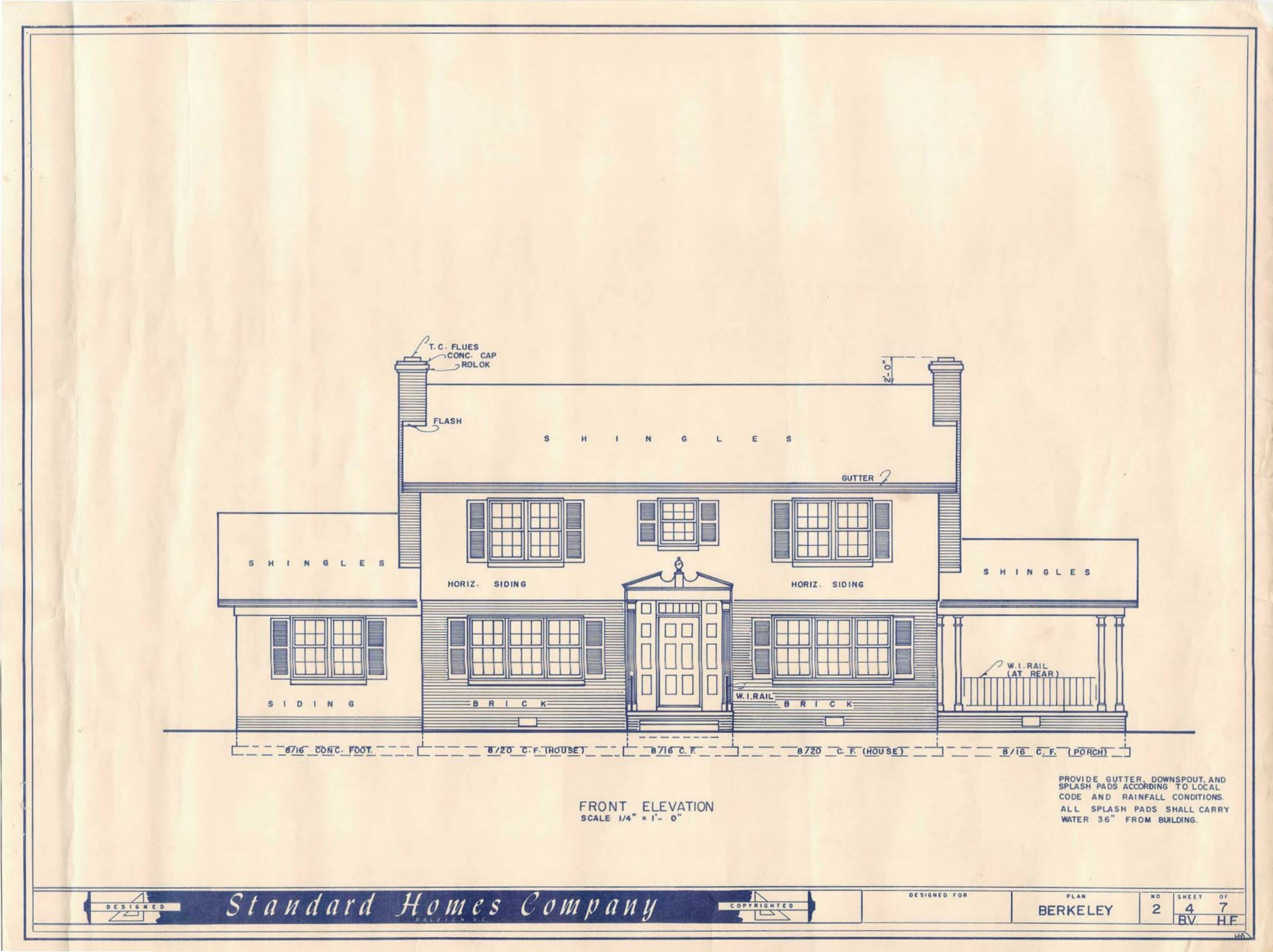
MBFA No: 1946  
SITE SURVEY

**PL107**  
SHEET 9 OF 12

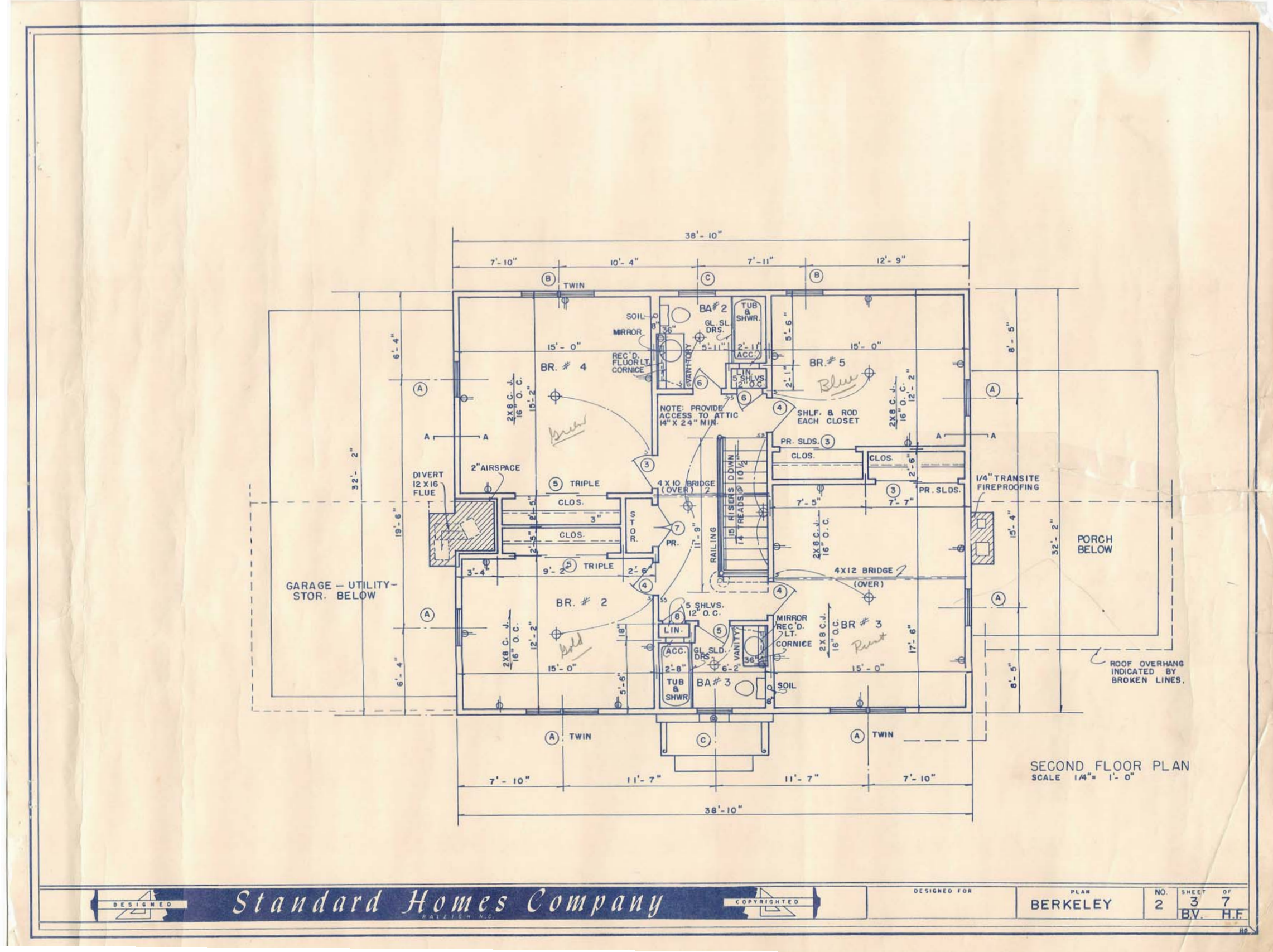


**A3 SITE SURVEY**  
SCALE: 1"= 30'-0"

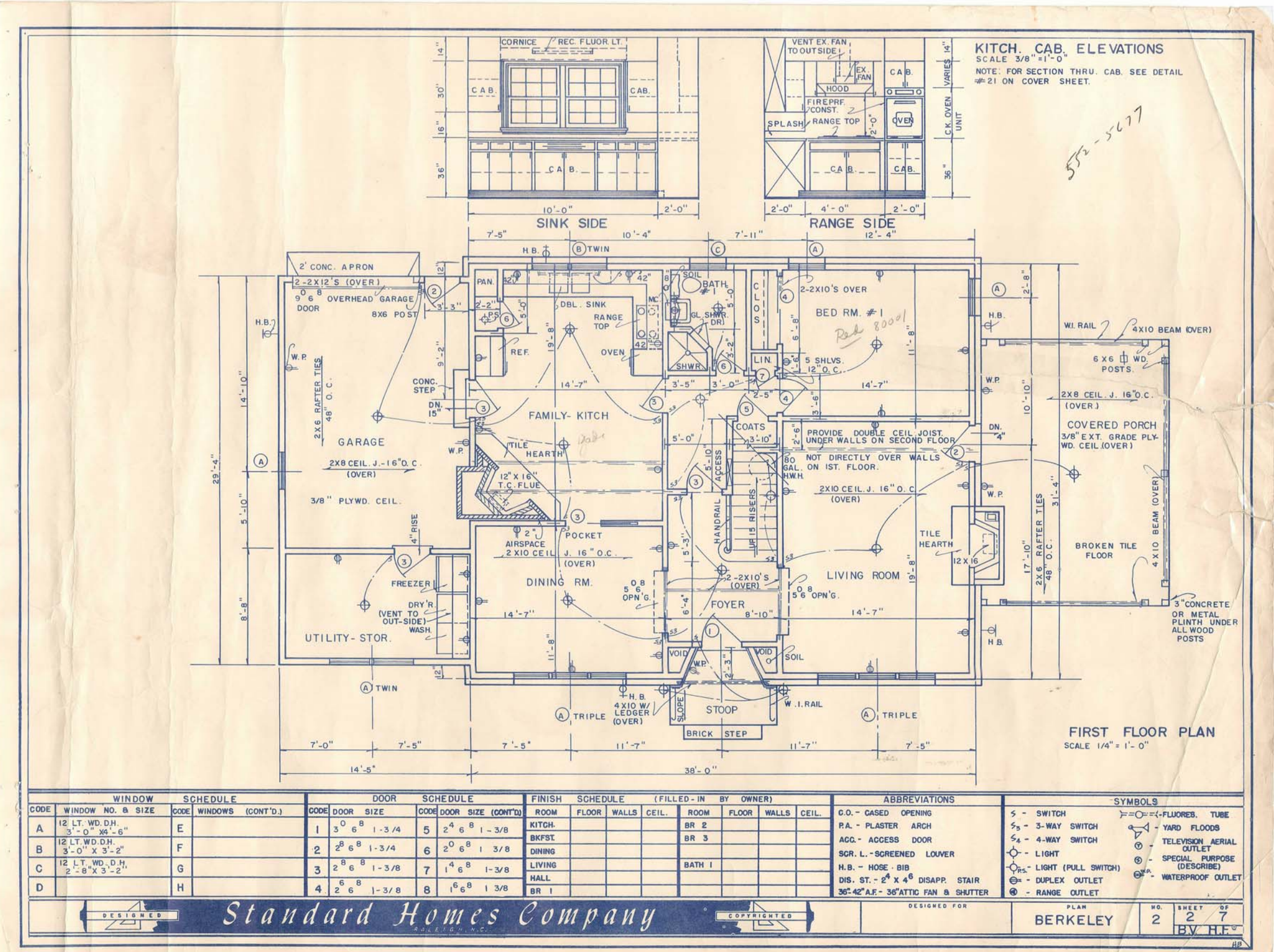
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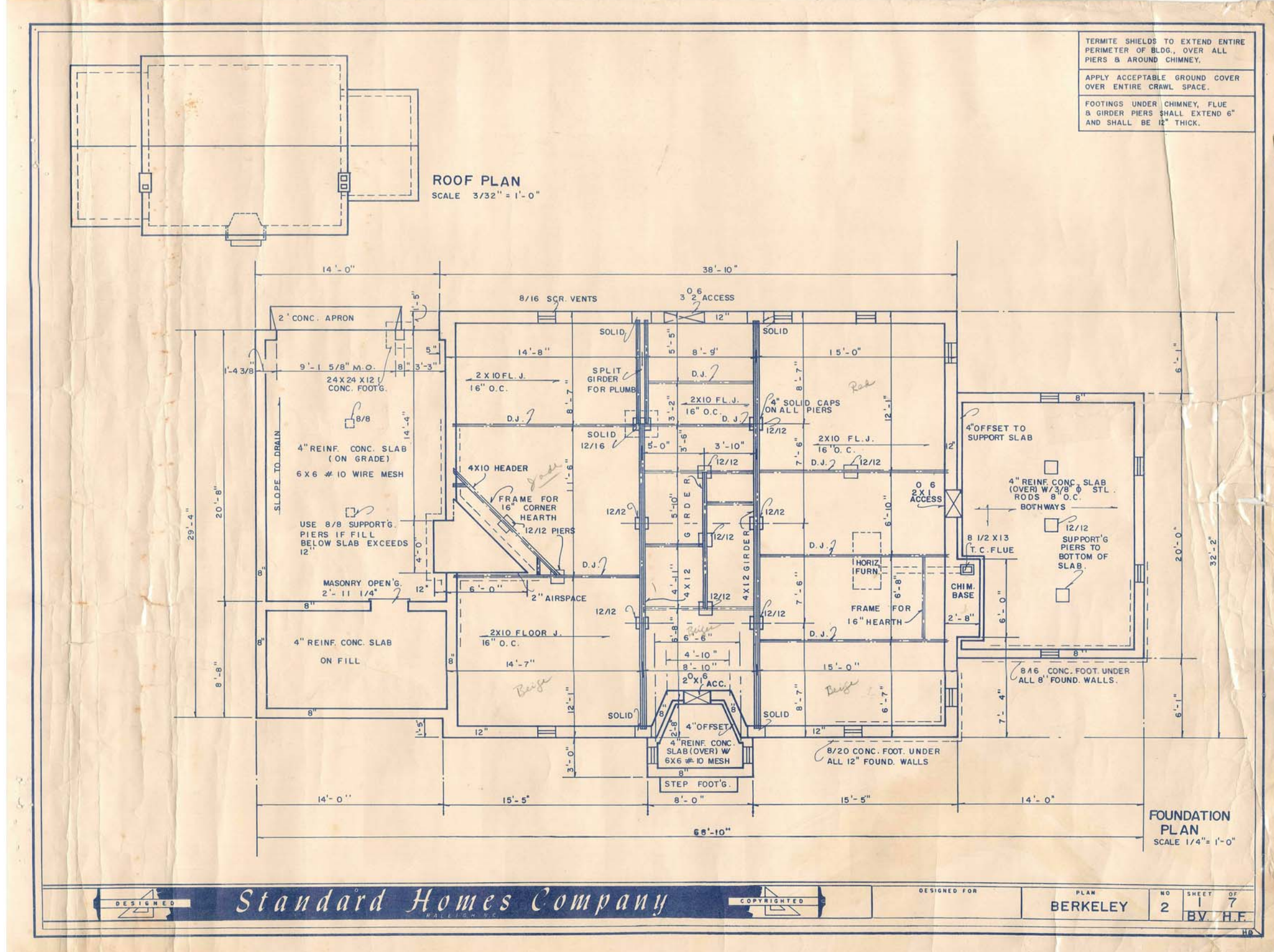
D2 PARSONAGE DOCUMENT



D4 PARSONAGE DOCUMENT



A2 PARSONAGE DOCUMENT



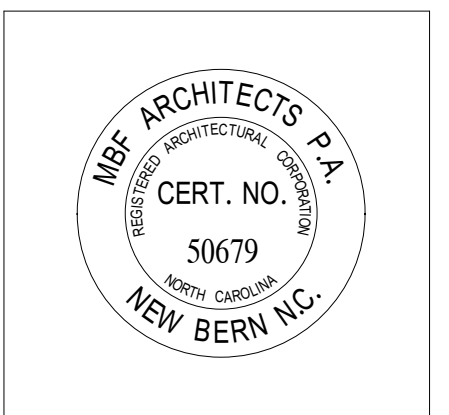
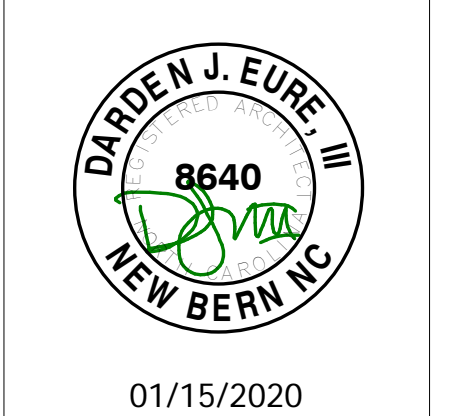
A4 PARSONAGE DOCUMENT

**PARKING MODIFICATIONS**  
FIRST BAPTIST CHURCH BEAUFORT  
BEAUFORT, CARTERET COUNTY

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PARSONAGE DOCUMENTS

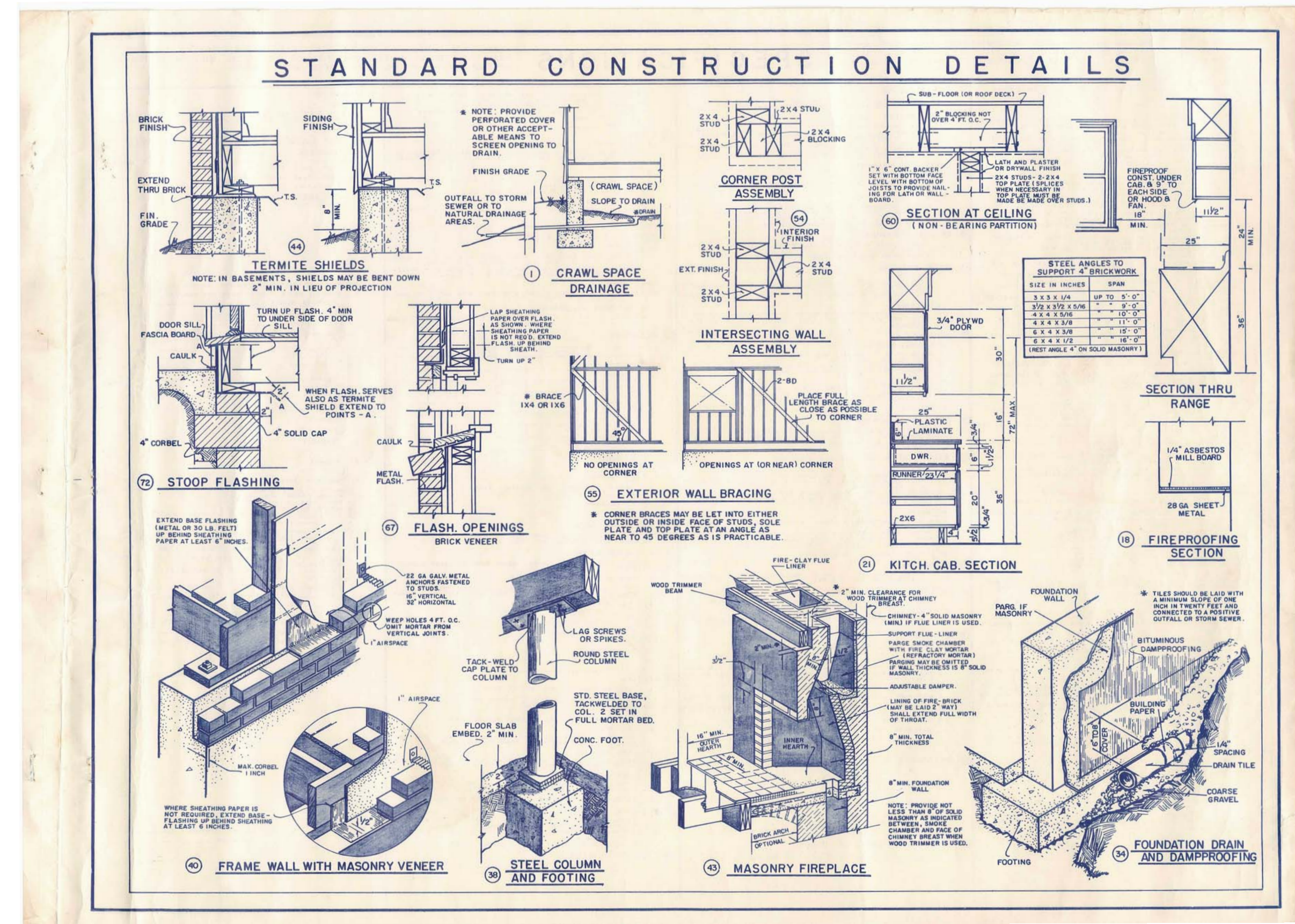
**PL108**  
SHEET 10 OF 12

D

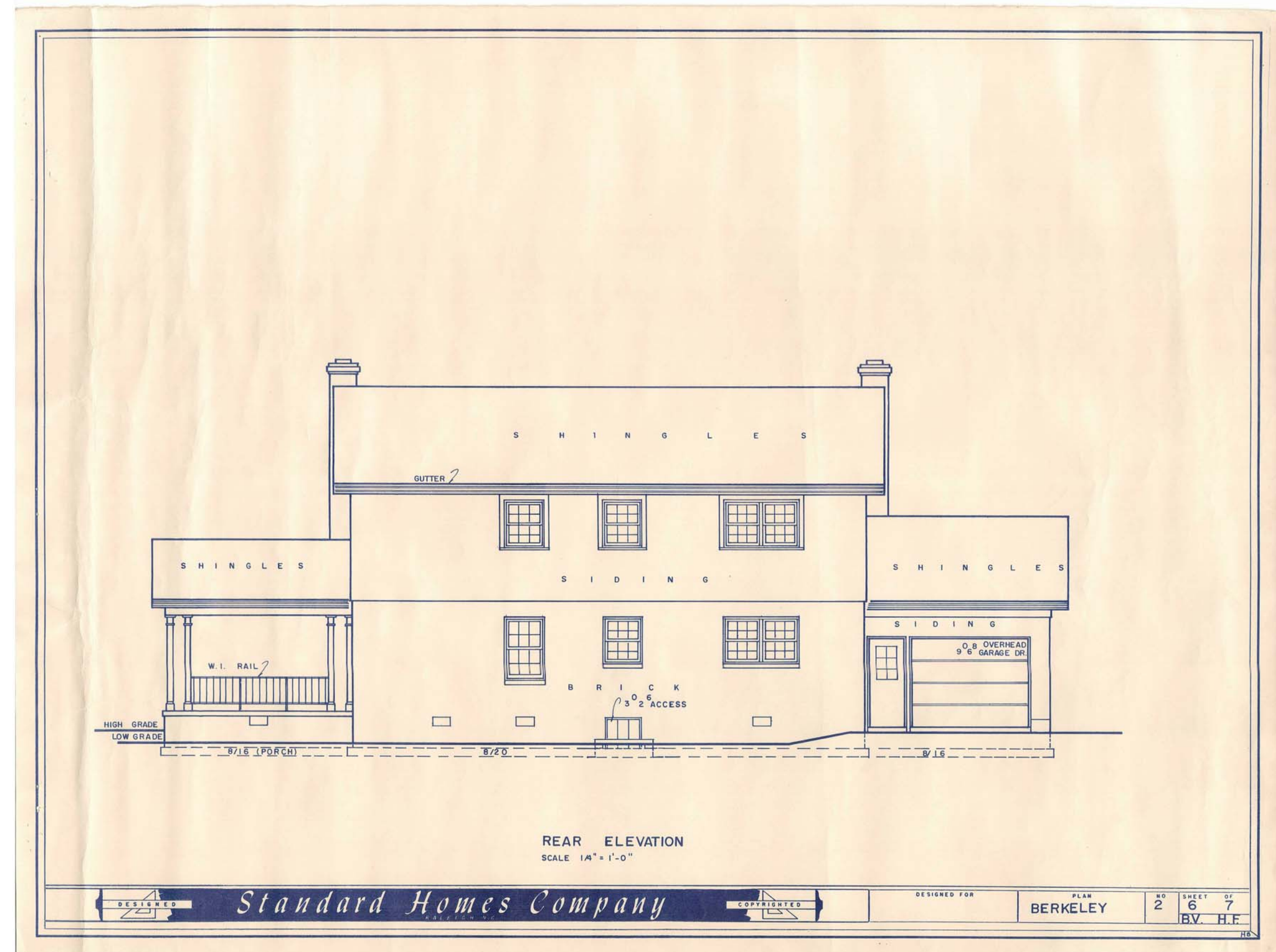
C

B

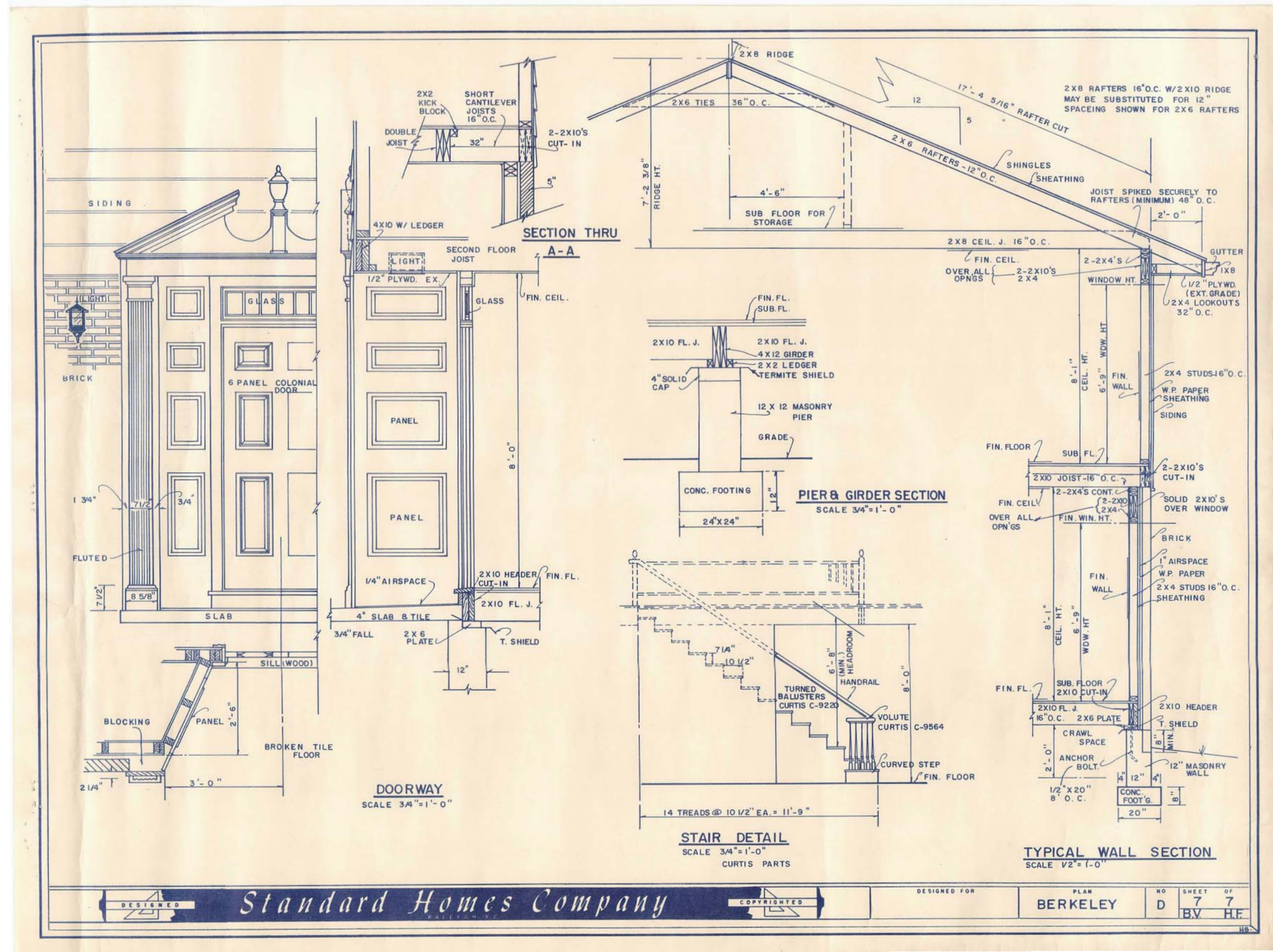
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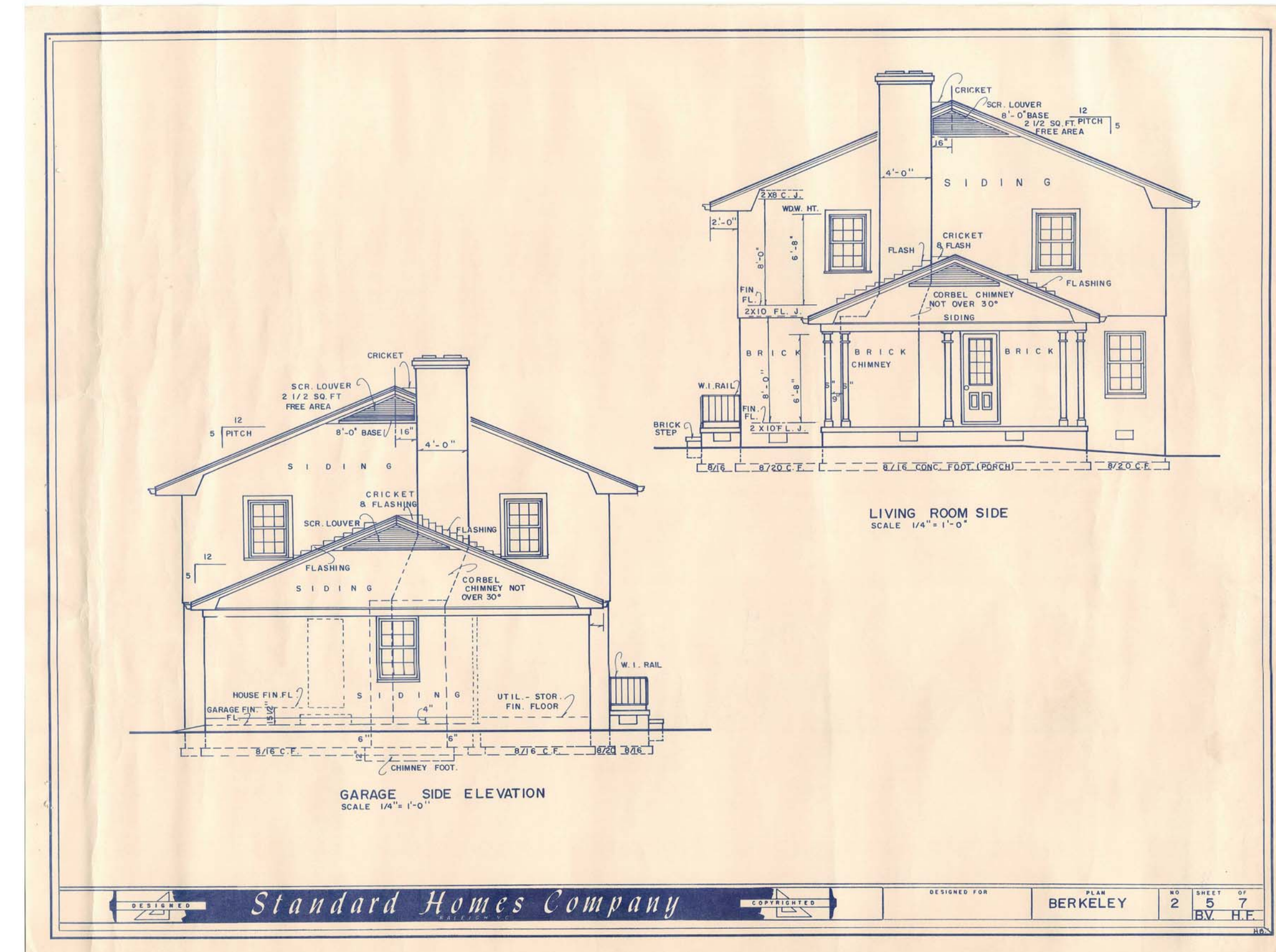
D2 PARSONAGE DOCUMENT



A2 PARSONAGE DOCUMENT



D4 PARSONAGE DOCUMENT

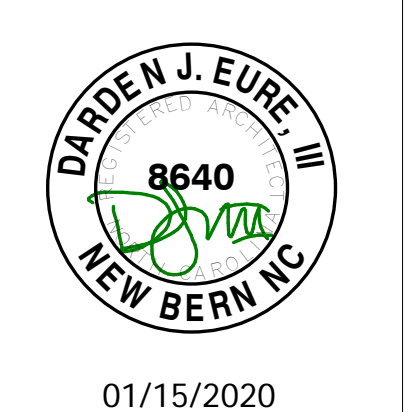


A4 PARSONAGE DOCUMENT

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PARSONAGE DOCUMENTS

PL109

SHEET 11 OF 12

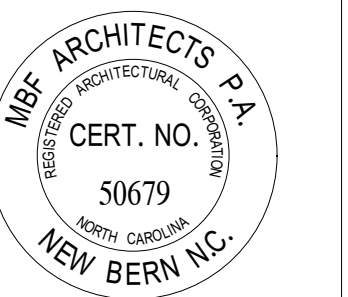
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MBFA No: 1946

PARSONAGE DOCUMENTS

**PL110**

SHEET 12 OF 12

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C

B

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**SPECIFICATIONS**

THESE SPECIFICATIONS ARE INTENDED TO SUPPLEMENT ALL ITEMS NOT SHOWN ON THIS OWNER/CONTRACTOR TO FILL IN ALL BLANKS. ALL APPLICABLE ITEMS WILL THEN BE CONSIDERED AS PART OF PLANS & SPECIFICATIONS.

NOTE: THE NUMBERING SYSTEM USED HERE CORRESPONDS TO STANDARD FINISH # 2005 B V A # 1845 SPECIFICATION FORM. IT WILL HELP OWNER/CONTRACTOR TO FILL OUT THESE GOVT. FORMS.

<p><b>1 EXCAVATION</b> SHALL BE DONE TO FIRM, UNDISTURBED SAND LAYER OR LEAST 6" BELOW FINISH GRADE UNLESS OTHERWISE NOTED.</p> <p><b>2 FOUNDATIONS</b></p> <p><b>A CONCRETE</b></p> <p>1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH UNLESS OTHERWISE NOTED.</p> <p>2. ALL CONCRETE SHALL BE PLACED AND FINISHED WITHIN THE SPECIFIED TIME FRAME.</p> <p>3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.</p> <p>4. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING TEMPERATURES.</p> <p><b>B BRICK</b></p> <p>1. ALL BRICK SHALL BE FULL BODY, HARD BURNED, AND CONFORM TO ASTM C 90.</p> <p>2. ALL BRICK SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN BRICKS.</p> <p>3. ALL BRICK SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>C CHIMNEY</b></p> <p>1. ALL CHIMNEYS SHALL BE CONSTRUCTED OF BRICK OR CONCRETE.</p> <p>2. ALL CHIMNEYS SHALL BE SET ON A FOUNDATION OF CONCRETE.</p> <p>3. ALL CHIMNEYS SHALL BE CAPPED WITH A METAL CAP.</p> <p><b>D FIREPLACE</b></p> <p>1. ALL FIREPLACES SHALL BE CONSTRUCTED OF BRICK OR CONCRETE.</p> <p>2. ALL FIREPLACES SHALL BE SET ON A FOUNDATION OF CONCRETE.</p> <p>3. ALL FIREPLACES SHALL BE CAPPED WITH A METAL CAP.</p> <p><b>3 EXTERIOR WALLS</b></p> <p><b>A CONCRETE</b></p> <p>1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH UNLESS OTHERWISE NOTED.</p> <p>2. ALL CONCRETE SHALL BE PLACED AND FINISHED WITHIN THE SPECIFIED TIME FRAME.</p> <p>3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.</p> <p>4. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING TEMPERATURES.</p> <p><b>B BRICK</b></p> <p>1. ALL BRICK SHALL BE FULL BODY, HARD BURNED, AND CONFORM TO ASTM C 90.</p> <p>2. ALL BRICK SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN BRICKS.</p> <p>3. ALL BRICK SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>C CHIMNEY</b></p> <p>1. ALL CHIMNEYS SHALL BE CONSTRUCTED OF BRICK OR CONCRETE.</p> <p>2. ALL CHIMNEYS SHALL BE SET ON A FOUNDATION OF CONCRETE.</p> <p>3. ALL CHIMNEYS SHALL BE CAPPED WITH A METAL CAP.</p> <p><b>D FIREPLACE</b></p> <p>1. ALL FIREPLACES SHALL BE CONSTRUCTED OF BRICK OR CONCRETE.</p> <p>2. ALL FIREPLACES SHALL BE SET ON A FOUNDATION OF CONCRETE.</p> <p>3. ALL FIREPLACES SHALL BE CAPPED WITH A METAL CAP.</p> <p><b>4 ROOFING</b></p> <p><b>A GABLE ROOFING</b></p> <p>1. ALL ROOFING SHALL BE 1/2" THICK, 24" X 36" GABLE ROOFING.</p> <p>2. ALL ROOFING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN ROOFING.</p> <p>3. ALL ROOFING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B FLAT ROOFING</b></p> <p>1. ALL ROOFING SHALL BE 1/2" THICK, 24" X 36" FLAT ROOFING.</p> <p>2. ALL ROOFING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN ROOFING.</p> <p>3. ALL ROOFING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>5 PARTITION FRAMES</b></p> <p><b>A WOOD PARTITION</b></p> <p>1. ALL WOOD PARTITIONS SHALL BE 1/2" THICK, 24" X 36" WOOD PARTITION.</p> <p>2. ALL WOOD PARTITIONS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN PARTITION.</p> <p>3. ALL WOOD PARTITIONS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B METAL PARTITION</b></p> <p>1. ALL METAL PARTITIONS SHALL BE 1/2" THICK, 24" X 36" METAL PARTITION.</p> <p>2. ALL METAL PARTITIONS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN PARTITION.</p> <p>3. ALL METAL PARTITIONS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>6 CEILING FRAMING</b></p> <p><b>A WOOD CEILING</b></p> <p>1. ALL WOOD CEILING SHALL BE 1/2" THICK, 24" X 36" WOOD CEILING.</p> <p>2. ALL WOOD CEILING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN CEILING.</p> <p>3. ALL WOOD CEILING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B METAL CEILING</b></p> <p>1. ALL METAL CEILING SHALL BE 1/2" THICK, 24" X 36" METAL CEILING.</p> <p>2. ALL METAL CEILING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN CEILING.</p> <p>3. ALL METAL CEILING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>7 ROOF FRAMING</b></p> <p><b>A RAFTERS</b></p> <p>1. ALL RAFTERS SHALL BE 1/2" THICK, 24" X 36" RAFTERS.</p> <p>2. ALL RAFTERS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN RAFTERS.</p> <p>3. ALL RAFTERS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B TRUSSES</b></p> <p>1. ALL TRUSSES SHALL BE 1/2" THICK, 24" X 36" TRUSSES.</p> <p>2. ALL TRUSSES SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN TRUSSES.</p> <p>3. ALL TRUSSES SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>8 ROOFING</b></p> <p><b>A GABLE ROOFING</b></p> <p>1. ALL ROOFING SHALL BE 1/2" THICK, 24" X 36" GABLE ROOFING.</p> <p>2. ALL ROOFING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN ROOFING.</p> <p>3. ALL ROOFING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B FLAT ROOFING</b></p> <p>1. ALL ROOFING SHALL BE 1/2" THICK, 24" X 36" FLAT ROOFING.</p> <p>2. ALL ROOFING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN ROOFING.</p> <p>3. ALL ROOFING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>9 QUINCY'S DOWNPOUTS</b></p> <p><b>A QUINCY'S DOWNPOUT</b></p> <p>1. ALL QUINCY'S DOWNPOUTS SHALL BE 1/2" THICK, 24" X 36" QUINCY'S DOWNPOUT.</p> <p>2. ALL QUINCY'S DOWNPOUTS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN DOWNPOUT.</p> <p>3. ALL QUINCY'S DOWNPOUTS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>10 WALL FINISH</b></p> <p><b>A PLASTER</b></p> <p>1. ALL PLASTER SHALL BE 1/2" THICK, 24" X 36" PLASTER.</p> <p>2. ALL PLASTER SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN PLASTER.</p> <p>3. ALL PLASTER SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B PAINT</b></p> <p>1. ALL PAINT SHALL BE 1/2" THICK, 24" X 36" PAINT.</p> <p>2. ALL PAINT SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN PAINT.</p> <p>3. ALL PAINT SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>11 DECORATING</b></p> <p><b>A DECORATING</b></p> <p>1. ALL DECORATING SHALL BE 1/2" THICK, 24" X 36" DECORATING.</p> <p>2. ALL DECORATING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN DECORATING.</p> <p>3. ALL DECORATING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>12 INTERIOR DOOR &amp; TRIM</b></p> <p><b>A INTERIOR DOOR</b></p> <p>1. ALL INTERIOR DOORS SHALL BE 1/2" THICK, 24" X 36" INTERIOR DOOR.</p> <p>2. ALL INTERIOR DOORS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN DOOR.</p> <p>3. ALL INTERIOR DOORS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B TRIM</b></p> <p>1. ALL TRIM SHALL BE 1/2" THICK, 24" X 36" TRIM.</p> <p>2. ALL TRIM SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN TRIM.</p> <p>3. ALL TRIM SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>13 WINDOWS</b></p> <p><b>A WINDOW</b></p> <p>1. ALL WINDOWS SHALL BE 1/2" THICK, 24" X 36" WINDOW.</p> <p>2. ALL WINDOWS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN WINDOW.</p> <p>3. ALL WINDOWS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B CASING</b></p> <p>1. ALL CASING SHALL BE 1/2" THICK, 24" X 36" CASING.</p> <p>2. ALL CASING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN CASING.</p> <p>3. ALL CASING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>14 ENTRANCES &amp; EXTERIOR DETAILS</b></p> <p><b>A ENTRANCE</b></p> <p>1. ALL ENTRANCES SHALL BE 1/2" THICK, 24" X 36" ENTRANCE.</p> <p>2. ALL ENTRANCES SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN ENTRANCE.</p> <p>3. ALL ENTRANCES SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B EXTERIOR DETAIL</b></p> <p>1. ALL EXTERIOR DETAILS SHALL BE 1/2" THICK, 24" X 36" EXTERIOR DETAIL.</p> <p>2. ALL EXTERIOR DETAILS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN EXTERIOR DETAIL.</p> <p>3. ALL EXTERIOR DETAILS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>15 CABINETS &amp; INTERIOR DETAILS</b></p> <p><b>A CABINET</b></p> <p>1. ALL CABINETS SHALL BE 1/2" THICK, 24" X 36" CABINET.</p> <p>2. ALL CABINETS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN CABINET.</p> <p>3. ALL CABINETS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B INTERIOR DETAIL</b></p> <p>1. ALL INTERIOR DETAILS SHALL BE 1/2" THICK, 24" X 36" INTERIOR DETAIL.</p> <p>2. ALL INTERIOR DETAILS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN INTERIOR DETAIL.</p> <p>3. ALL INTERIOR DETAILS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p>	<p><b>4 STAIRS</b></p> <p><b>A STAIR</b></p> <p>1. ALL STAIRS SHALL BE 1/2" THICK, 24" X 36" STAIR.</p> <p>2. ALL STAIRS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN STAIR.</p> <p>3. ALL STAIRS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B RAMP</b></p> <p>1. ALL RAMPS SHALL BE 1/2" THICK, 24" X 36" RAMP.</p> <p>2. ALL RAMPS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN RAMP.</p> <p>3. ALL RAMPS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>5 SPECIAL FLOORS &amp; WAINSCOTE</b></p> <p><b>A SPECIAL FLOOR</b></p> <p>1. ALL SPECIAL FLOORS SHALL BE 1/2" THICK, 24" X 36" SPECIAL FLOOR.</p> <p>2. ALL SPECIAL FLOORS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN SPECIAL FLOOR.</p> <p>3. ALL SPECIAL FLOORS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B WAINSCOTE</b></p> <p>1. ALL WAINSCOTE SHALL BE 1/2" THICK, 24" X 36" WAINSCOTE.</p> <p>2. ALL WAINSCOTE SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN WAINSCOTE.</p> <p>3. ALL WAINSCOTE SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>6 PLUMBING</b></p> <p><b>A PLUMBING</b></p> <p>1. ALL PLUMBING SHALL BE 1/2" THICK, 24" X 36" PLUMBING.</p> <p>2. ALL PLUMBING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN PLUMBING.</p> <p>3. ALL PLUMBING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B WATER SUPPLY</b></p> <p>1. ALL WATER SUPPLY SHALL BE 1/2" THICK, 24" X 36" WATER SUPPLY.</p> <p>2. ALL WATER SUPPLY SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN WATER SUPPLY.</p> <p>3. ALL WATER SUPPLY SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>C WASTE DISPOSAL</b></p> <p>1. ALL WASTE DISPOSAL SHALL BE 1/2" THICK, 24" X 36" WASTE DISPOSAL.</p> <p>2. ALL WASTE DISPOSAL SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN WASTE DISPOSAL.</p> <p>3. ALL WASTE DISPOSAL SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>D DRAIN SYSTEM</b></p> <p>1. ALL DRAIN SYSTEMS SHALL BE 1/2" THICK, 24" X 36" DRAIN SYSTEM.</p> <p>2. ALL DRAIN SYSTEMS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN DRAIN SYSTEM.</p> <p>3. ALL DRAIN SYSTEMS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>E WATER PIPING</b></p> <p>1. ALL WATER PIPING SHALL BE 1/2" THICK, 24" X 36" WATER PIPING.</p> <p>2. ALL WATER PIPING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN WATER PIPING.</p> <p>3. ALL WATER PIPING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>F DOMESTIC HOT WATER HEATER</b></p> <p>1. ALL DOMESTIC HOT WATER HEATERS SHALL BE 1/2" THICK, 24" X 36" DOMESTIC HOT WATER HEATER.</p> <p>2. ALL DOMESTIC HOT WATER HEATERS SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN DOMESTIC HOT WATER HEATER.</p> <p>3. ALL DOMESTIC HOT WATER HEATERS SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>7 HEATING</b></p> <p><b>A HEATING</b></p> <p>1. ALL HEATING SHALL BE 1/2" THICK, 24" X 36" HEATING.</p> <p>2. ALL HEATING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN HEATING.</p> <p>3. ALL HEATING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B GAS SERV</b></p> <p>1. ALL GAS SERV SHALL BE 1/2" THICK, 24" X 36" GAS SERV.</p> <p>2. ALL GAS SERV SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN GAS SERV.</p> <p>3. ALL GAS SERV SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>C OTHER</b></p> <p>1. ALL OTHER SHALL BE 1/2" THICK, 24" X 36" OTHER.</p> <p>2. ALL OTHER SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN OTHER.</p> <p>3. ALL OTHER SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>8 ELECTRIC WIRING</b></p> <p><b>A ELECTRIC WIRING</b></p> <p>1. ALL ELECTRIC WIRING SHALL BE 1/2" THICK, 24" X 36" ELECTRIC WIRING.</p> <p>2. ALL ELECTRIC WIRING SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN ELECTRIC WIRING.</p> <p>3. ALL ELECTRIC WIRING SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p> <p><b>B LIGHTING FIXTURES</b></p> <p>1. ALL LIGHTING FIXTURES SHALL BE 1/2" THICK, 24" X 36" LIGHTING FIXTURES.</p> <p>2. ALL LIGHTING FIXTURES SHALL BE LAYED IN A COURSE WITH A 1/2" GAP BETWEEN LIGHTING FIXTURES.</p> <p>3. ALL LIGHTING FIXTURES SHALL BE SET IN A MORTAR OF 1 PART PORTLAND CEMENT TO 3 PARTS SAND.</p>
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## Town of Beaufort, NC

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

### Town of Beaufort Historic Preservation Commission Regular Meeting 6:00 PM 2/04/20 – 614 Broad Street – Train Depot

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**AGENDA CATEGORY:** Old Business  
**SUBJECT:** Case 20-02 208 Cedar & 319 Orange Street - Parking,  
Landscaping & Lighting, Demolition

**BRIEF SUMMARY:**

At the meeting in January the board asked the applicant to provide an updated lighting plan that limits the amount of light on adjacent properties and revise the fencing plan to represent the request from adjacent property owners for Beaufort type fences. These items have been submitted by the applicant and are included in the packet.

**REQUESTED ACTION:**

Receive information on the Lighting & Fencing Plans  
Finding of Facts  
Decision on Certificate of Appropriateness

**EXPECTED LENGTH OF PRESENTATION:**

30 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** December 18, 2019  
**Case No.** 20-02

**Request:** Demolition of two existing structures, remove several existing trees, install fencing and landscaping and parking at Cedar Street.

**Applicant:** Beaufort Partners, LLC  
 1700-D East Arlington Blvd.  
 Greenville, NC 27858

**Property Information:**

**Owners:** Betty Apperson  
**Location:** 208 Cedar Street & 319 Orange Street

**Project Information:**

In June 2019, a COA was tabled pending additional information on the structures to be demolished and a recommendation from the Planning Board.

In November 2019, the Beaufort Board of Commissioners approved the site plan for the Compass project. The original application was withdrawn from the applicant at the request of the Town because the timing would have allowed an approval of the request without returning to the HPC.

In the District Survey, updated by Ruth Little, the structure at 200 Cedar is described as Gas Station/Used Car Dealership c. 1980. Originally built as a gas station and convenience store, but now serving as “Ham Man’s Buy, Sell, or Trade” used car lot. Rectangular brick and glass store with a flat roof under a large metal canopy.

**Material:**

- (Samples to be provided at BHPC)

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**Color:**

Color samples are to be presented during the meeting.

**Attachments:**

- Vicinity Map
- Adjacent Property Owners list
- COA Application, including photographs

## Staff Findings:

### Landscaping Guidelines

8.1.4. Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina cherry laurel and sweet bay magnolia. **Staff Comments: All species of trees and shrubs are native of this area and are included in Appendix A of the Land Development Ordinance.**

8.1.5. All new plant materials selected for replanting or new planting in publicly visible areas should complement as much as possible those found on the site and in the surrounding area of the district. **Staff Comments: All species of trees and shrubs are native of this area and are included in Appendix A of the Land Development Ordinance.**

8.1.9. Planting strips between the public sidewalks and the street edge shall be preserved and remain predominantly ground covers or tree plantings. Small walkways will be permitted on these strips if the proposed walkway aligns with the walkway leading from the front door or main entrance of the structure to the sidewalk. New walkways shall not exceed a width of four (4) feet. Paving, filling, or otherwise altering this strip within the district is not appropriate. **Staff Comments: All species of trees and shrubs are native of this area and are included in Appendix A of the Land Development Ordinance.**

8.1.14. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, screening should not exceed height of three (3) feet at the street/sidewalk edge. (SEE OFF STREET PARKING GUIDELINES for more details) **Staff Comments: A fencing detail is included in the plans as well as landscaping.**

### Fences and Walls Guidelines

8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view. **Staff Comments: A fencing detail is included in the plans as well as landscaping.**

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

8.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of three (3) feet at the street/sidewalk edge. (SEE OFF-STREET PARKING GUIDELINES for more details)



8.2.7. Contemporary or utilitarian fence materials are not appropriate for fences in the public view. Inappropriate materials include plastic, vinyl, chain link, wire, and all other modern materials. The use of modern fencing is permitted for rear yards only, in areas not seen from the public view, using vinyl-coated chain link (dark green or black), standard chain link or heavy wire (“hog wire”). Use plantings such as ivy, climbing roses, jasmines, or other vines to hide wire fences.

### Exterior Lighting Guidelines

8.4.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site.

8.4.2. Choose lighting sources that generate a soft white light instead of a more intensive yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor or fluorescent light sources.

8.4.5. All lighting should be directed toward the property for which it was intended and should not spill over onto adjacent properties.

### Off-street Parking Guidelines

8.5.1. Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.

8.5.5. Integrate pedestrian scale lighting into parking areas to avoid excessive glare and illumination to adjoining properties. See EXTERIOR LIGHTING guidelines and the Beaufort Zoning Ordinance for further details on lighting standards.

8.5.6. Incorporate existing mature trees into new parking areas. Avoid the placement of impervious surface materials such as asphalt and concrete in areas below the canopy crown of the tree. Use turf stone, gravel, marl, or other pervious materials in these areas.

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

## Demolition of Buildings Guidelines

10.1.1. Choose demolition only as a last resort. Property owners of contributing buildings should design the replacement building to reflect the demolished building's height, scale, massing and location. Applicants will have a heavy burden to demonstrate to the HPC that a replacement building with different height, scale, massing as the previously existing building is congruous with the Historic District.

10.1.2. Document the historic resource prior to demolition. Documentation shall take the form of black and white photographs, and color digital photographs of the building, structure, or site's principal elevations, architectural elements (both in exterior and interior), and special features. Measured drawings of the resource may also be required. The HPC shall determine on a case-by-case basis the extent of documentation required and the parties responsible for producing such documentation. The documentation shall be submitted to the HPC and become a permanent record of the Town of Beaufort.

10.1.3. Salvage architectural features and building materials for reuse or study. Contact antique dealers and used building supply establishments to arrange for removal. Consider donations of items to interested non-profit organizations or museums or the NC-SHPO.

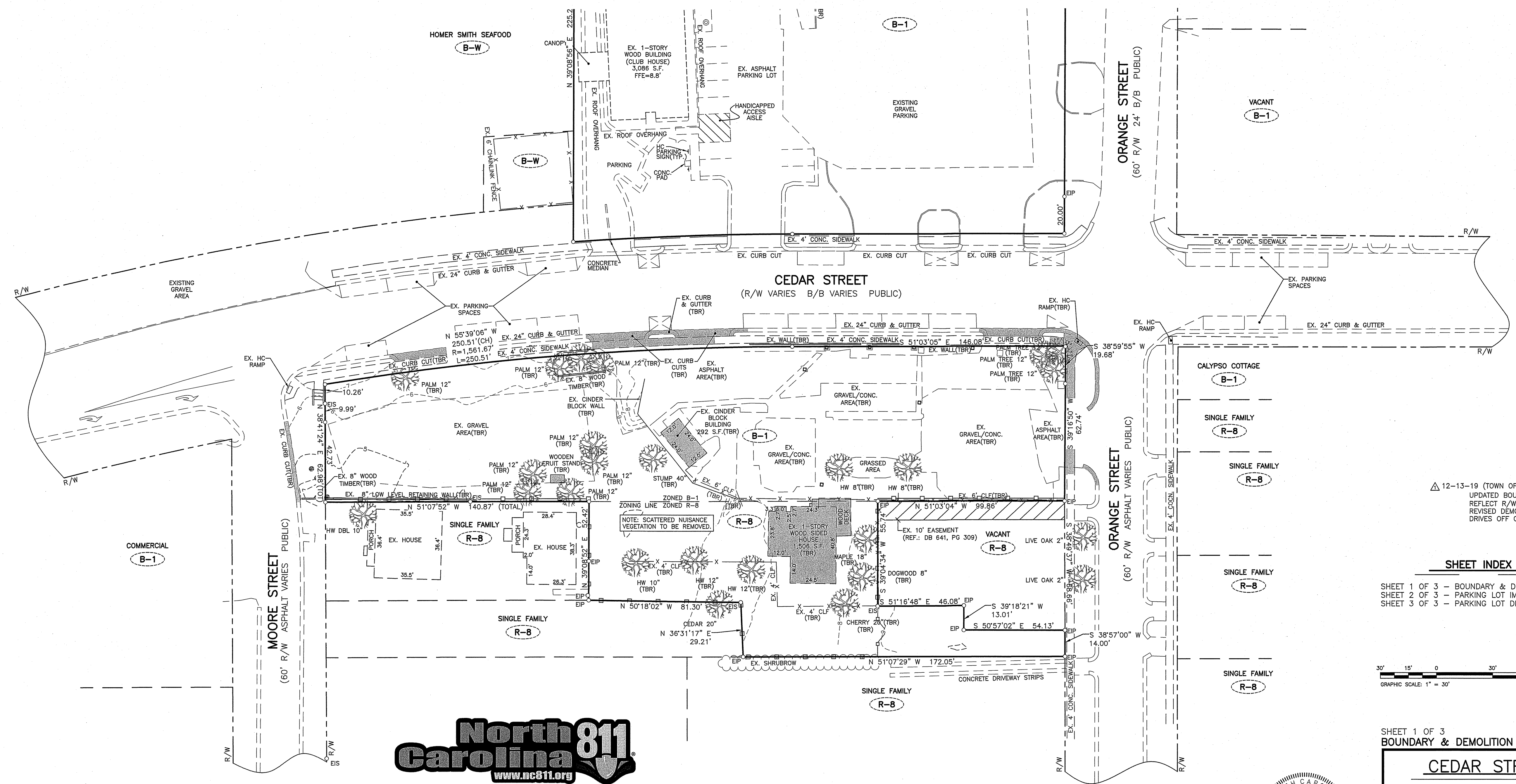
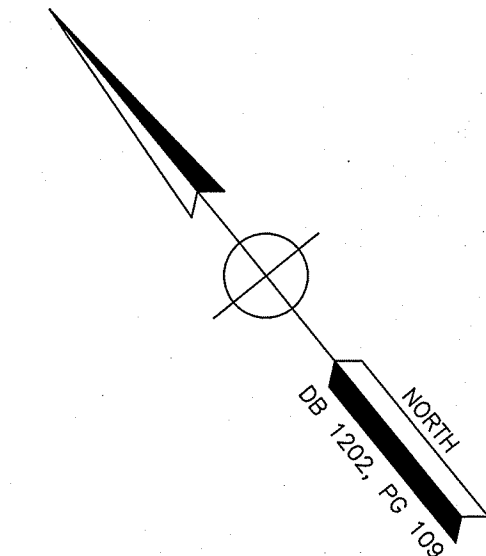
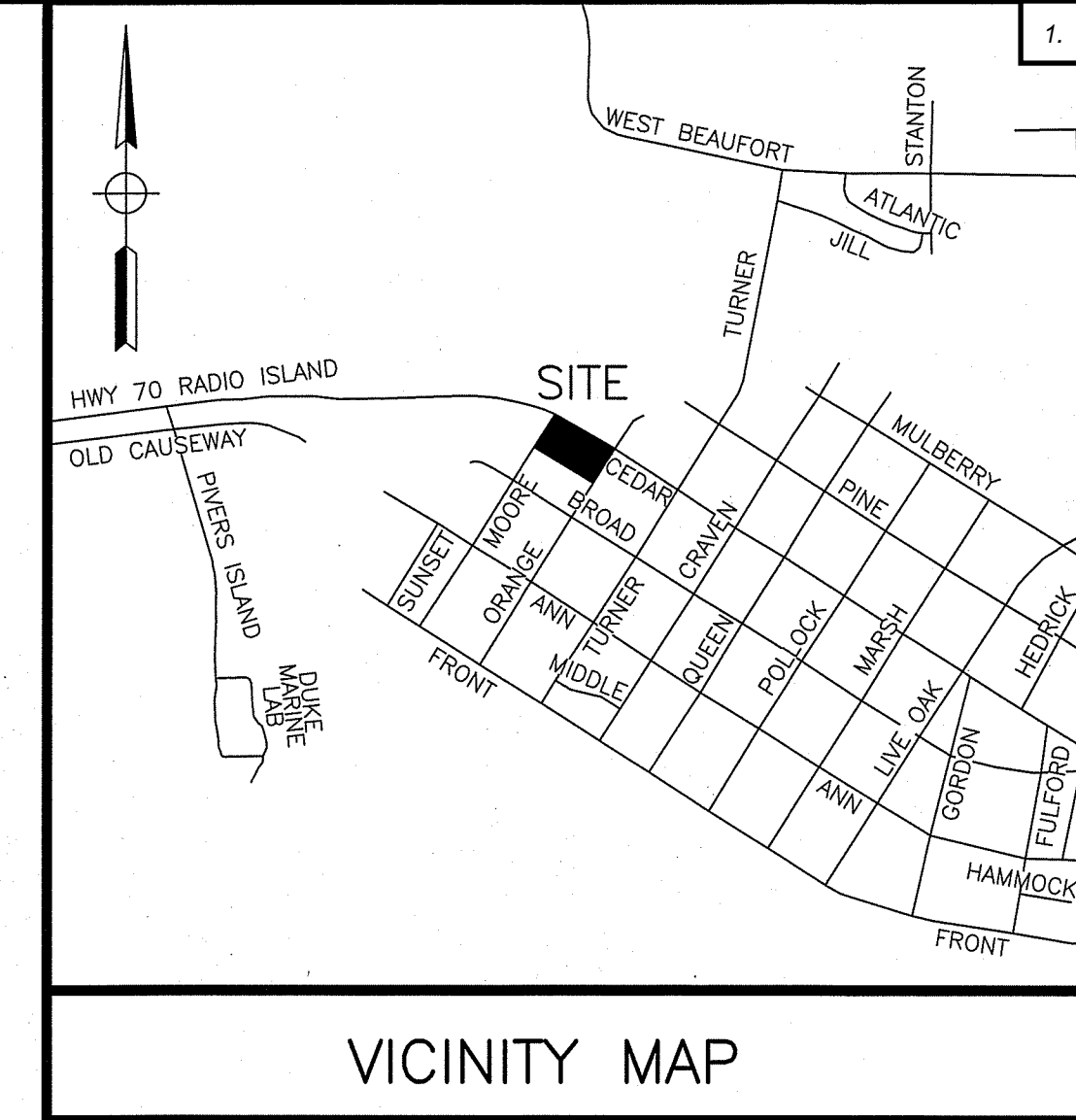
10.1.4. Minimize ground-disturbing activities during demolition to avoid damage to potential unknown Archaeological resources.

10.1.5. Retain mature trees on site.

10.1.6. Clean the site thoroughly of all building debris and leave the lot properly graded and seeded.

SITE DATA	
TOTAL AREA IN TRACT	0.816 ACRE
ZONING CLASSIFICATION	B-1 & R-8

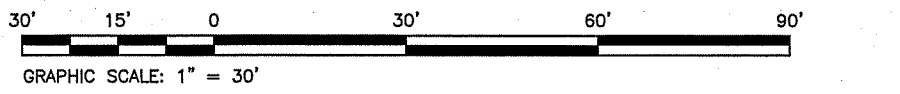
- LEGEND**
- ABS = ACRYLONITRILE-BUTADIENE-STYRENE
  - BB = BOTTOM OF BANK
  - B/B = BACK OF CURB TO BACK OF CURB
  - BC = BACK OF CURB
  - BD = BOLLARD
  - BFE = BASE FLOOD ELEVATION
  - BLD = BUILDING CORNER
  - BM = BENCH MARK
  - BMP = BEST MANAGEMENT PRACTICE
  - BO = BLOW OFF
  - BSP = BACTERIOLOGICAL SAMPLING POINT
  - BV = BALL VALVE
  - CATV = CABLE TELEVISION BOX
  - CB = CATCH BASIN
  - CLD = CENTERLINE DITCH
  - CLP = CENTERLINE PATH
  - CLR = CENTERLINE ROAD
  - CMP = CORRUGATED METAL PIPE
  - CO = CLEAN OUT
  - CONC = CONCRETE
  - CP = COMPACT PARKING SPACE
  - CPP = CORRUGATED PLASTIC PIPE
  - DI = DROP INLET
  - DIP = DUCTILE IRON PIPE
  - DS = DOWNSPOUT
  - DW = DRIVEWAY
  - ECM = EXISTING CONCRETE MONUMENT
  - EIA = EXISTING IRON AXLE
  - EIP = EXISTING IRON PIPE
  - EIS = EXISTING IRON STAKE
  - ELEC = ELECTRICAL
  - ELM = ELECTRIC METER BOX
  - ELMH = ELECTRIC MANHOLE
  - EP = EDGE OF PAVEMENT
  - EPKN = EXISTING PARKER KALON NAIL
  - ERRS = EXISTING RAILROAD SPIKE
  - ESCP = EXTRA STRENGTH CONCRETE PIPE
  - FES = FLARED END SECTION
  - FFE = FINISHED FLOOR ELEVATION
  - FH = FIRE HYDRANT
  - FIRM = FLOOD INSURANCE RATE MAP
  - FM = FORCE MAIN
  - FMV = FORCE MAIN VALVE
  - F/O = FIBER OPTIC MARKER
  - GM = GAS METER
  - GV = GAS VALVE
  - GUY = GUY WIRE
  - HB = HOSE BIB
  - ICV = IRRIGATION CONTROL VALVE
  - INV = INVERT
  - JB = JUNCTION BOX
  - LP = LIGHT POLE
  - LSA = LANDSCAPED AREA
  - MB = MAIL BOX
  - MBL = MINIMUM BUILDING LINE
  - MH = MANHOLE
  - MHW = MEAN HIGH WATER
  - MP = METAL PIPE
  - MW = MONITORING WELL
  - NTS = NOT TO SCALE
  - OUT = OUTLET CONTROL STRUCTURE
  - OUP = OVERHEAD UTILITY POLE
  - PH = PUMP HOUSE
  - PC = POINT OF CURVATURE
  - PCC = POINT OF COMPOUND CURVATURE
  - PGB = POINT OF BEGINNING
  - PRC = POINT OF REVERSE CURVATURE
  - PT = POINT OF TANGENCY
  - PVC = POLYVINYL CHLORIDE
  - RCP = REINFORCED CONCRETE PIPE
  - R/W = RIGHT-OF-WAY
  - SIP = SET IRON PIPE
  - SM = SET MAG NAIL
  - SPKN = SET PARKER KALON NAIL
  - SRRS = SET RAILROAD SPIKE
  - SS = SEWER SERVICE
  - SSMH = SANITARY SEWER MANHOLE
  - STMH = STORM SEWER MANHOLE
  - SV = SEWER VENT
  - SW = SIDEWALK
  - SWHDPE = SMOOTH WALL HDPE PIPE
  - SWPP = SMOOTH WALL PLASTIC PIPE
  - TB = TOP OF BANK (TOPO ONLY)
  - TBL = TOP OF BLOCK
  - TBR = TO BE REMOVED
  - TC = TOP OF CURB
  - TCONC = TOP OF CONCRETE
  - TG = TOP OF GRAVEL
  - TMH = TELEPHONE MANHOLE
  - TP = TOP OF PAVEMENT
  - TSW = TOP OF SIDEWALK
  - TMH = TELEPHONE MH
  - TOT = TOTAL
  - TPED = TELEPHONE PEDESTAL
  - TRANS = ELECTRICAL TRANSFORMER
  - TSP = TRAFFIC SIGNAL SUPPORT POLE
  - UTP = UTILITY POLE
  - VG = VALLEY GUTTER
  - WDL = WOODSLINE
  - WM = WATER METER BOX
  - WP = WETLAND POINT
  - WS = WRAPPED STEEL
  - WV = WATER VALVE
  - WV = NOT TO SCALE
  - WV = CLASS "B" STONE APRON
  - WV = CONSTRUCTION ENTRANCE/EXIT
  - WV = EXISTING OVERHEAD UTILITIES
  - WV = EXISTING SANITARY SEWER LINE
  - WV = SANITARY SEWER FORCE MAIN
  - WV = EXISTING WATER LINE
  - WV = LIMITS OF CONSTRUCTION
  - WV = UNDERGROUND COMMUNICATIONS LINE
  - WV = GAS LINE
  - WV = FIBER OPTIC LINE
  - WV = UNDERGROUND ELECTRICAL LINE
  - WV = UNDERGROUND CABLE
  - WV = SILT FENCE
  - WV = DRAINAGE EASEMENT
  - WV = RIPARIAN BUFFER
  - WV = SIGHT TRIANGLE
  - WV = SIGN EASEMENT
  - WV = ZONING CLASSIFICATION
  - WV = AREA TO BE DEMOLISHED
  - WV = EXISTING TREE



△ 12-13-19 (TOWN OF BEAUFORT COMMENTS)(NRW)  
 UPDATED BOUNDARY ON CEDAR STREET TO  
 REFLECT R/W CONVEYANCE  
 REVISED DEMOLITION DUE TO REMOVAL OF  
 DRIVES OFF OF MOORE & ORANGE STREETS

**SHEET INDEX**

SHEET 1 OF 3 - BOUNDARY & DEMOLITION PLAN
SHEET 2 OF 3 - PARKING LOT IMPROVEMENTS PLAN
SHEET 3 OF 3 - PARKING LOT DETAILS PLAN



Call 72 Hours Before You Dig!  
 1-800-632-4949

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

DEVELOPER: BEAUFORT PARTNERS, LLC  
 P.O. BOX 14165  
 NEW BERN, NC 28551  
 (252) 635-7476

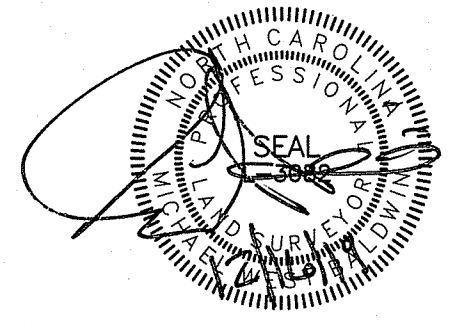
<b>Baldwin Design Consultants, PA</b> ENGINEERING - SURVEYING - PLANNING 1700-D EAST ARLINGTON BOULEVARD GREENVILLE, NC 27638 252.756.1390	DESIGNED: MWB DRAWN: NRW CHECKED: MWB	APPROVED: MWB DATE: 05/13/19 SCALE: 1" = 43'
---	---	--

SHEET 1 OF 3  
 BOUNDARY & DEMOLITION PLAN

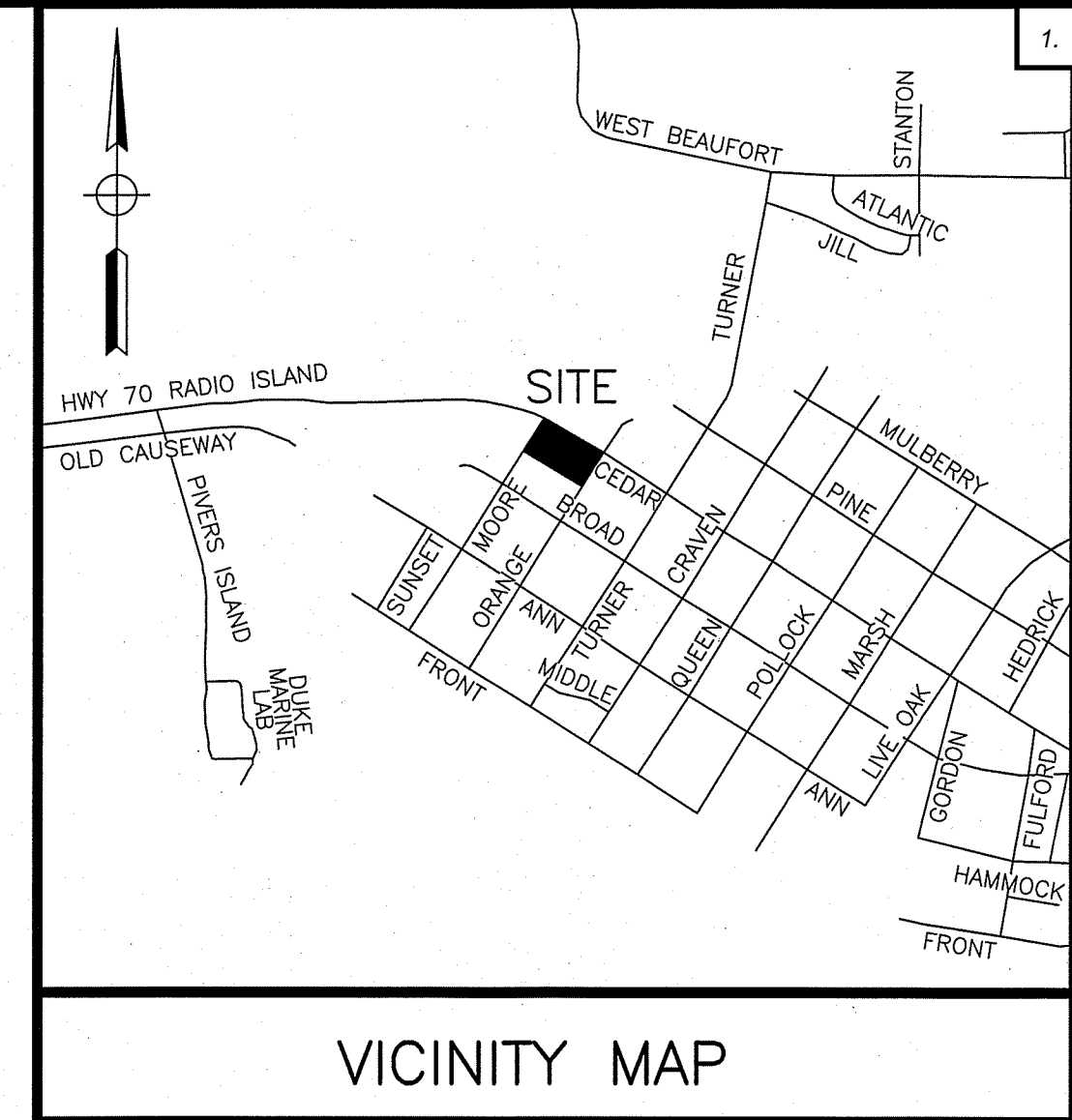
**CEDAR STREET PARKING LOT**

REFERENCE: DEED BOOK 879, PAGE 793 & DEED BOOK 937, PAGE 309 & DEED BOOK 1449, PAGE 1 OF THE CARTERET COUNTY REGISTER OF DEEDS  
 BEAUFORT, BEAUFORT TOWNSHIP, CARTERET COUNTY, N.C.

OWNER: BETTY APPERSON  
 ADDRESS: P.O. BOX 625  
 LAGRANGE, NC 28551  
 PHONE: (252) 559-0592



Y:\DRAWINGS\07-160 Beaufort Yacht Club\HOTEL-2017\CEDAR STREET PARKING LOT IMPROVEMENTS-REV.dwg Men, Dec. 16, 2019 9:51:18am RWELLS

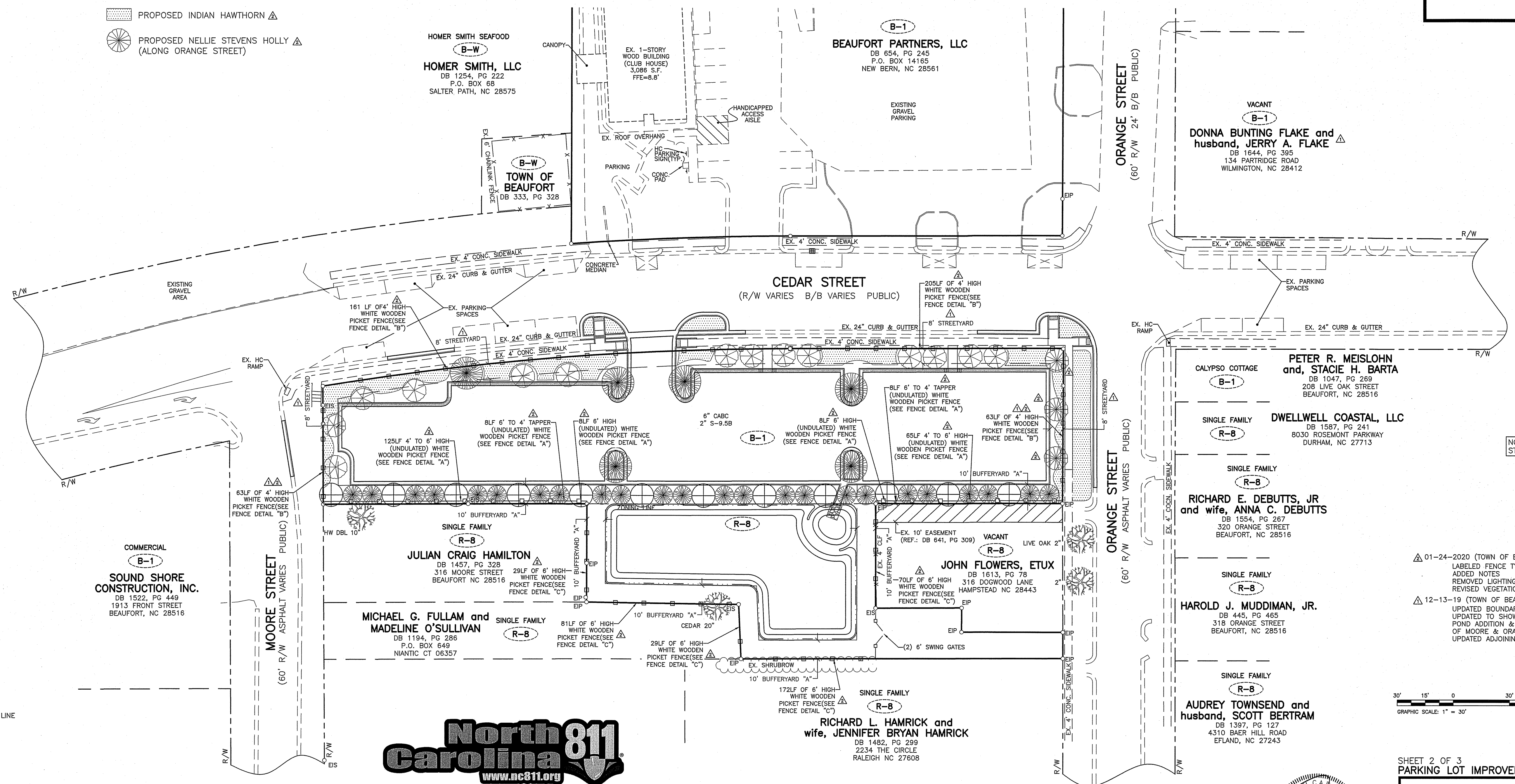


LEGEND

- ABS = ACRYLONITRILE-BUTADIENE-STYRENE
- BB = BOTTOM OF BANK
- B/B = BACK OF CURB TO BACK OF CURB
- BC = BACK OF CURB
- BD = BOLLARD
- BFE = BASE FLOOD ELEVATION
- BLD = BUILDING CORNER
- BM = BENCH MARK
- BMP = BEST MANAGEMENT PRACTICE
- BO = BLOW OFF
- BSP = BACTERIOLOGICAL SAMPLING POINT
- BV = BALL VALVE
- CATV = CABLE TELEVISION BOX
- CB = CATCH BASIN
- CLD = CENTERLINE DITCH
- CLP = CENTERLINE PATH
- CLR = CENTERLINE ROAD
- CMP = CORRUGATED METAL PIPE
- CO = CLEAN OUT
- CONC = CONCRETE
- CP = COMPACT PAVING SPACE
- CPP = CORRUGATED PLASTIC PIPE
- DI = DROP INLET
- DIP = DUCTILE IRON PIPE
- DS = DOWNSPIRE
- DW = DRIVEWAY
- ECM = EXISTING CONCRETE MONUMENT
- EA = EXISTING IRON AXLE
- EIP = EXISTING IRON PIPE
- EIS = EXISTING IRON STAKE
- ELEC = ELECTRICAL
- ELM = ELECTRIC METER BOX
- ELMH = ELECTRIC MANHOLE
- EP = EDGE OF PAVEMENT
- EPKH = EXISTING PARKER KALON NAIL
- ERRS = EXISTING RAILROAD SPIKE
- ESCP = EXTRA STRENGTH CONCRETE PIPE
- FES = FLARED END SECTION
- FPE = FINISHED FLOOR ELEVATION
- FH = FIRE HYDRANT
- FIRM = FLOOD INSURANCE RATE MAP
- FM = FORCE MAIN
- FMV = FORCE MAIN VALVE
- F/O = FIBER OPTIC MARKER
- GM = GAS METER
- GV = GAS VALVE
- GUY = GUY WIRE
- HB = HOSE BIB
- ICV = IRRIGATION CONTROL VALVE
- INV = INVERT
- JB = JUNCTION BOX
- LP = LIGHT POLE
- LSA = LANDSCAPED AREA
- MB = MAIL BOX
- MBL = MINIMUM BUILDING LINE
- MH = MANHOLE
- MHW = MEAN HIGH WATER
- MP = METAL PIPE
- MW = MONITORING WELL
- N/S = NOT TO SCALE
- OCS = OUTLET CONTROL STRUCTURE
- OUP = OVERHEAD UTILITY POLE
- PH = PUMP HOUSE
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVATURE
- POB = POINT OF BEGINNING
- PRC = POINT OF REVERSE CURVATURE
- PT = POINT OF TANGENCY
- PVC = POLYVINYL CHLORIDE
- RADIUS = RADIUS
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT-OF-WAY
- SIP = SET IRON PIPE
- SIN = SET MANHOLE
- SPKN = SET PARKER KALON NAIL
- SRRS = SET RAILROAD SPIKE
- SS = SEWER SERVICE
- SSMH = SANITARY SEWER MANHOLE
- STMH = STORM SEWER MANHOLE
- SV = SEWER VENT
- SW = SIDEWALK
- SWHDPE = SMOOTH WALL HDPE
- SWPPP = SMOOTH WALL PLASTIC PIPE
- TB = TOP OF BANK (TOPO ONLY)
- TBK = TOP OF BLOCK
- TBR = TO BE REMOVED
- TC = TOP OF CURB
- TCO = TOP OF CONCRETE
- TG = TOP OF GRAVEL
- TLMH = TELEPHONE MANHOLE
- TP = TOP OF PAVEMENT
- TSW = TOP OF SIDEWALK
- TLMH = TELEPHONE MH
- TOT = TOTAL
- TPED = TELEPHONE PEDESTAL
- TRANS = ELECTRICAL TRANSFORMER
- TSP = TRAFFIC SIGNAL SUPPORT POLE
- UTP = UTILITY POLE
- VG = VALLEY GUTTER
- WDL = WOODSLINE
- WM = WATER METER BOX
- WP = WETLAND POINT
- WS = WRAPPED STEEL
- WV = WATER VALVE
- /- = NOT TO SCALE
- CLASS "B" STONE APRON
- CONSTRUCTION ENTRANCE/EXIT
- EXISTING OVERHEAD UTILITIES
- EXISTING SANITARY SEWER LINE
- SANITARY SEWER FORCE MAIN
- EXISTING WATER LINE
- LIMITS OF CONSTRUCTION
- UNDERGROUND COMMUNICATIONS LINE
- GAS LINE
- FIBER OPTIC LINE
- UNDERGROUND ELECTRICAL LINE
- UNDERGROUND CABLE
- SILT FENCE
- DRAINAGE EASEMENT
- RIPARIAN BUFFER
- SIGHT TRIANGLE
- SIGN EASEMENT
- ZONING CLASSIFICATION
- AREA TO BE DEMOLISHED
- EXISTING TREE

LEGEND

- PROPOSED LIVE OAK
- PROPOSED FLOWERING DOGWOOD
- PROPOSED WAX MYRTLE
- PROPOSED AMERICAN HOLLY
- PROPOSED INDIAN HAWTHORN
- PROPOSED NELLIE STEVENS HOLLY (ALONG ORANGE STREET)



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- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
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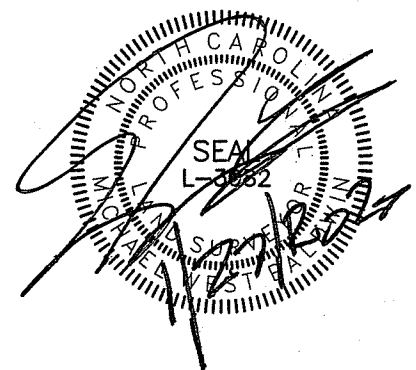
01-24-2020 (TOWN OF BEAUFORT COMMENTS)(NRW)  
LABELED FENCE TYPES AND LENGTHS  
ADDED NOTES  
REMOVED LIGHTING INFORMATION FROM PLANS  
REVISED VEGETATION TYPES  
12-13-19 (TOWN OF BEAUFORT COMMENTS)(NRW)  
UPDATED BOUNDARY ON CEDAR STREET TO  
UPDATED TO SHOW REVISED PARKING AND  
POND ADDITION & REMOVAL OF DRIVES OFF  
OF MOORE & ORANGE STREETS  
UPDATED ADJOINING PROPERTY OWNER

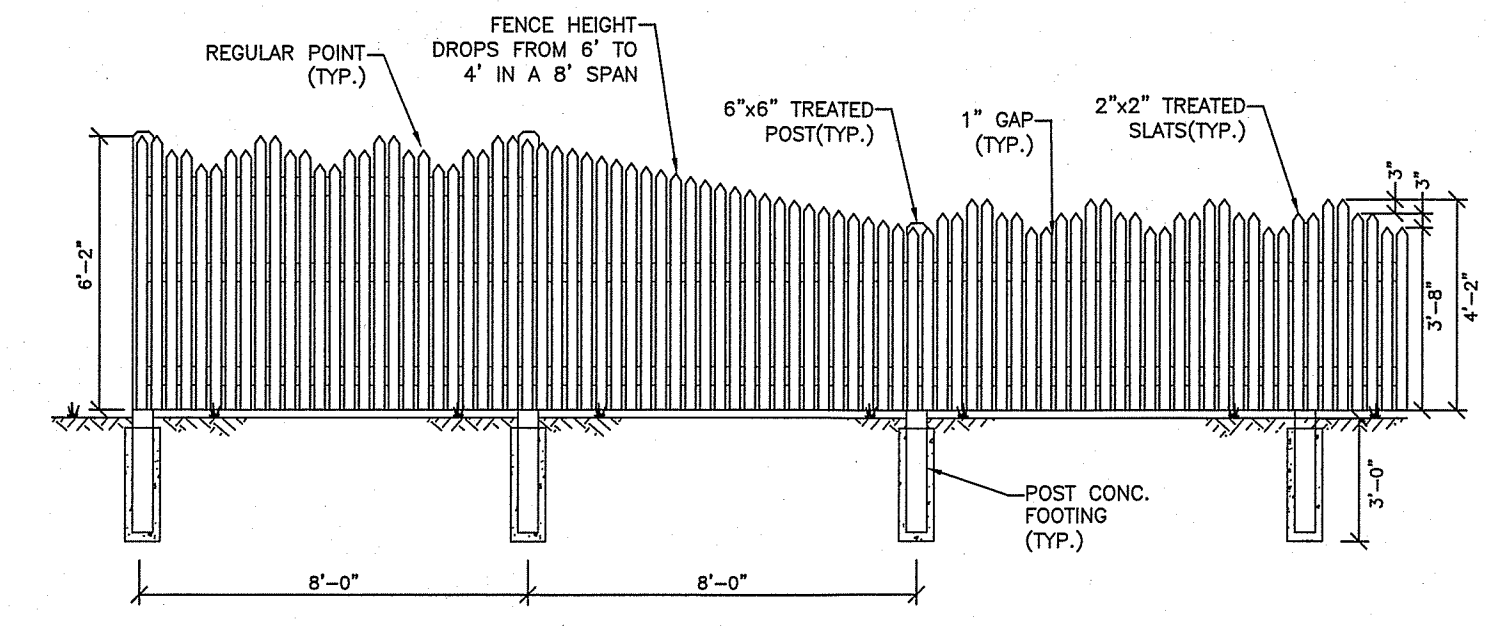
SHEET 2 OF 3  
PARKING LOT IMPROVEMENTS  
CEDAR STREET PARKING LOT  
REFERENCE: DEED BOOK 879, PAGE 793 & DEED BOOK 937, PAGE 309 & DEED BOOK 1449, PAGE 1 OF THE CARTERET COUNTY REGISTER OF DEEDS  
BEAUFORT, BEAUFORT TOWNSHIP, CARTERET COUNTY, N.C.  
OWNER: BETTY APPERSON  
ADDRESS: P.O. BOX 625  
LAGRANGE, NC 28551  
PHONE: (252) 559-0592

**Baldwin Design Consultants, PA**  
ENGINEERING - SURVEYING - PLANNING  
1700-3 EAST ARLINGTON BOULEVARD  
GREENVILLE, NC 27658 252.756.1390

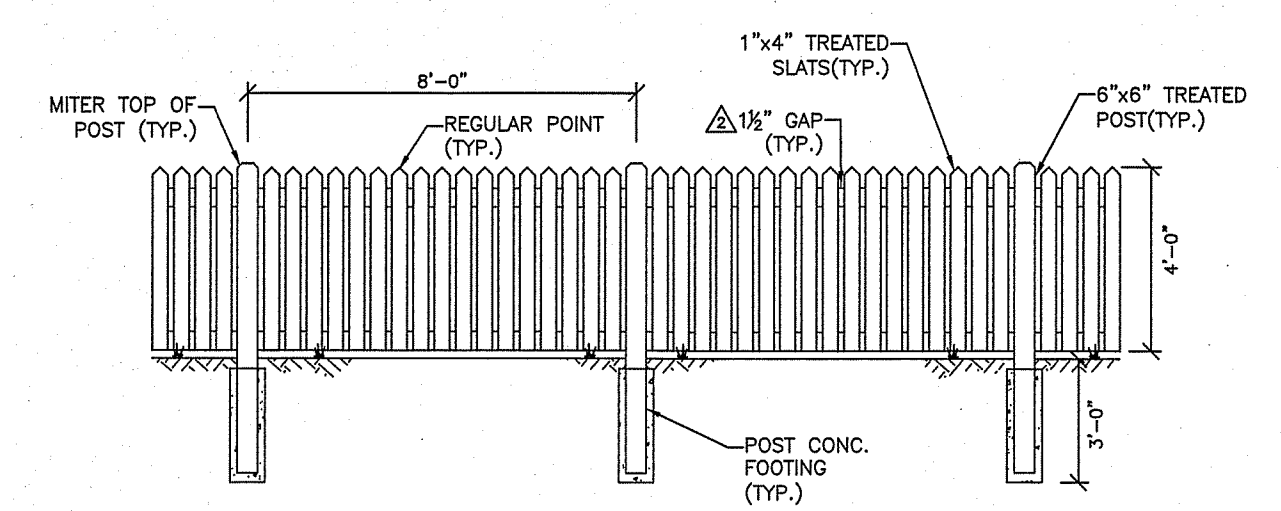
DESIGNED: MWB  
APPROVED: MWB  
DRAWN: NRW  
DATE: 05/13/19  
CHECKED: MWB  
SCALE: 1" = 3'

DEVELOPER: BEAUFORT PARTNERS, LLC  
P.O. BOX 14165  
NEW BERN, NC 28561  
(252) 635-7476

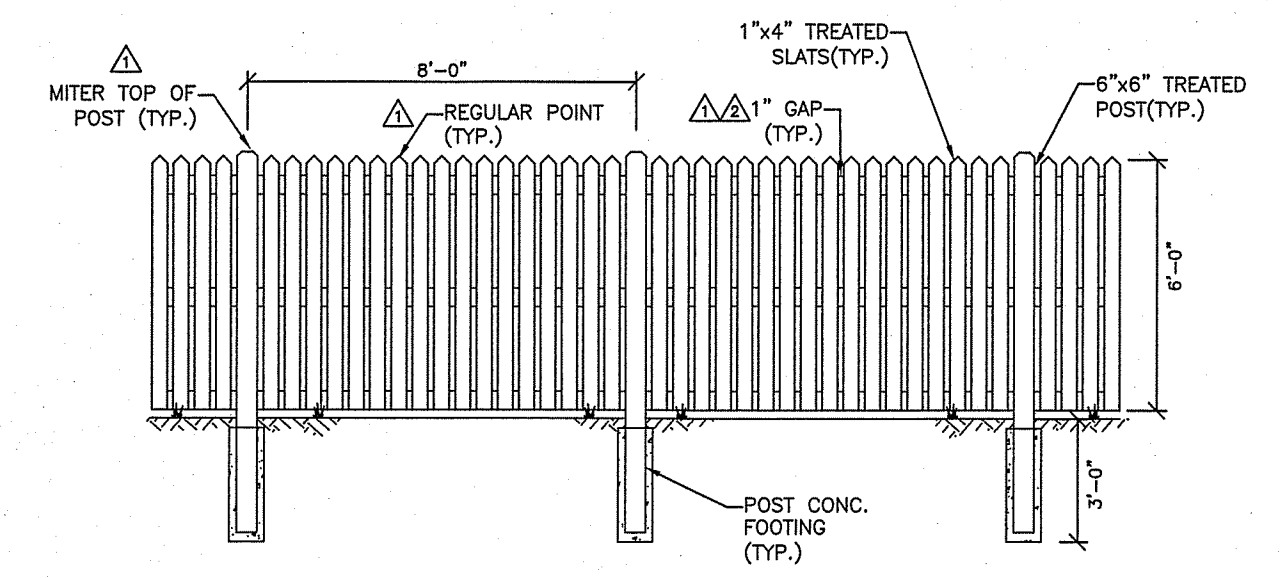




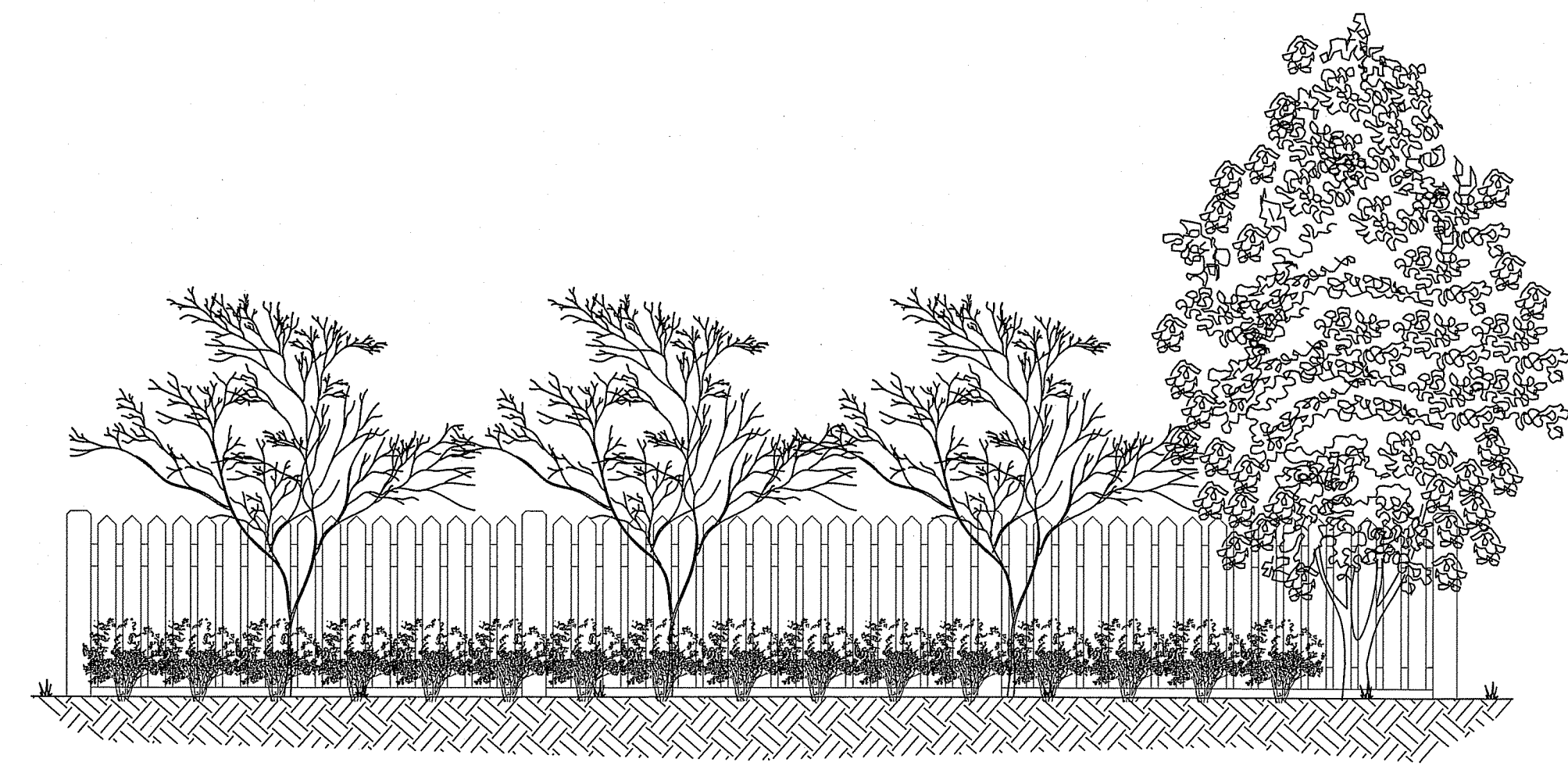
4' TO 6' (UNDULATED) FENCE DETAIL "A"  
(ALONG ADJOINING PROPERTY LINES)  
SCALE: N.T.S.



4' FENCE DETAIL "B"  
(ALONG ROAD FRONTAGE)  
SCALE: N.T.S.



6' WOOD PRIVACY FENCE DETAIL "C"  
(ALONG POND PERIMETER)  
SCALE: N.T.S.



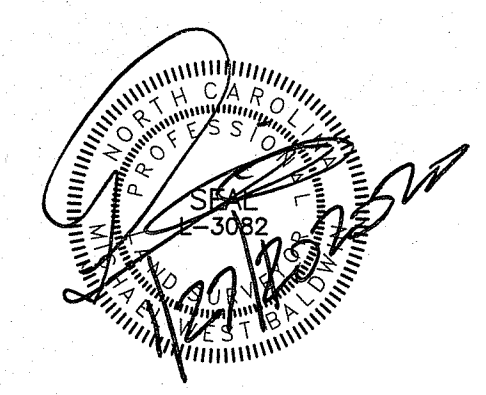
STREET ELEVATION VIEW (ALONG MOORE STREET)  
SCALE: N.T.S.

- ▲ 01-24-2020 (TOWN OF BEAUFORT COMMENTS)(NRW)  
REVISED AND ADDED DETAILS FOR FENCE TYPES  
UPDATED DECORATIVE LIGHT DETAIL NOTES  
REMOVED LIGHTING DETAILS
- ▲ 12-13-2019 (TOWN OF BEAUFORT COMMENTS)(NRW)  
REMOVED DETAILS FOR CHARGING STATIONS  
REVISED DETAILS FOR PRIVACY FENCE  
UPDATED DECORATIVE LIGHT DETAIL NOTES

SHEET 3 OF 3  
PARKING LOT DETAILS

**CEDAR STREET PARKING LOT**

REFERENCE: DEED BOOK 879, PAGE 793 & DEED BOOK 937, PAGE 309 & DEED BOOK 1449, PAGE 1 OF THE CARTERET COUNTY REGISTER OF DEEDS  
BEAUFORT, BEAUFORT TOWNSHIP, CARTERET COUNTY, N.C.  
OWNER: BETTY APPERSON  
ADDRESS: P.O. BOX 625  
LAGRANGE, NC 28551  
PHONE: (252) 559-0592



	DESIGNED: N/A	APPROVED: MWB
	DRAWN: NRW	DATE: 05/13/19
	CHECKED: MWB	SCALE: AS SHD



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2815 Coliseum Centre Drive, Suite 180

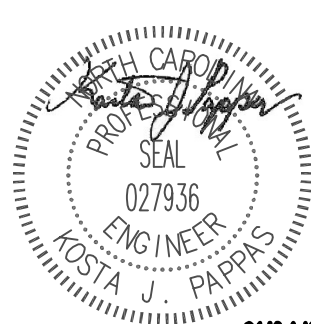
Charlotte, NC 28217

704.372.7755

www.vpce.com

CEDAR ST  
PARKING

BEAUFORT, NC



DISCLAIMER

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REVISION #      DATE

REVISION #	DATE

PROJECT #:      4833

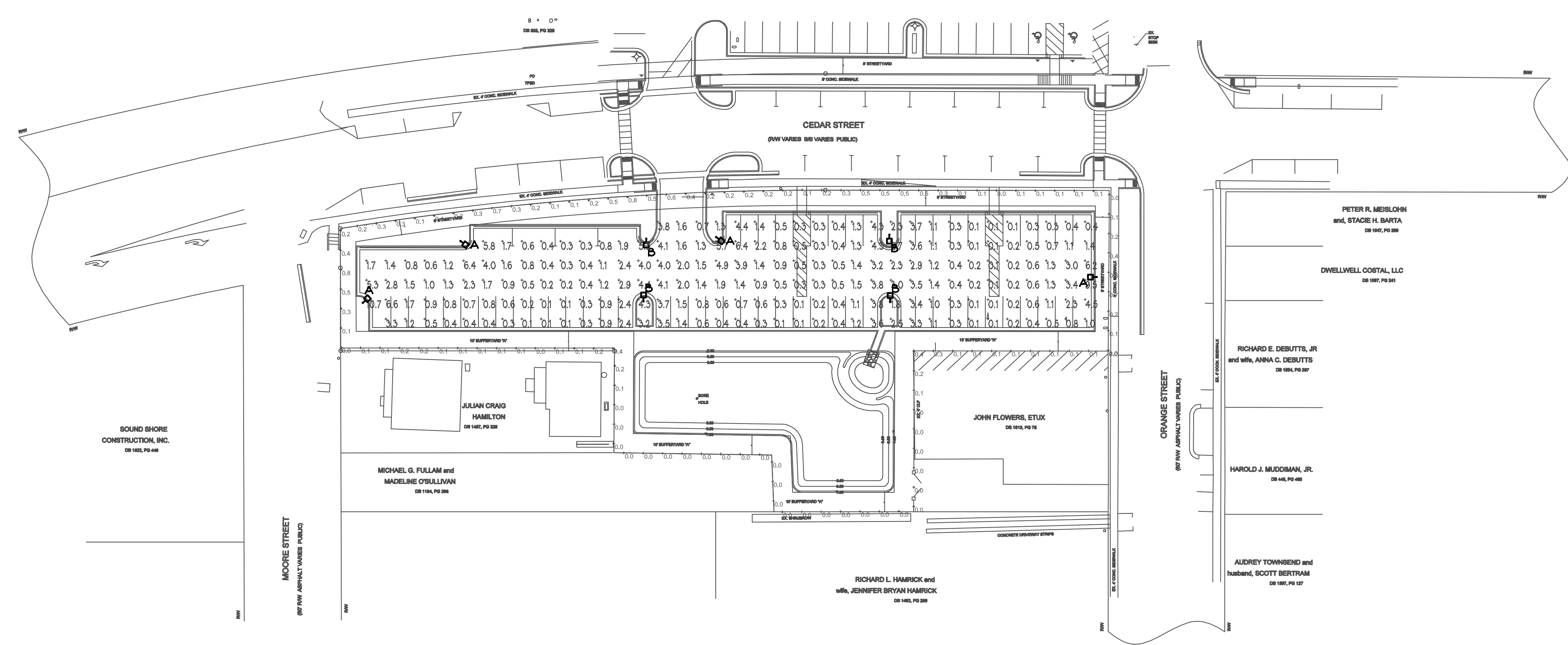
DATE:      01/24/2020

DRAWN BY:      JTE

CHECKED BY:      DP

SITE LIGHTING PLAN

ES1



1 SITE LIGHTING PLAN  
ES1 1" = 40'

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	-	1.6 fc	10.6 fc	0.1 fc	106.0:1	16.0:1
PROPERTY LINE	-	0.2 fc	0.8 fc	0.0 fc	N/A	N/A

SITE LIGHTING FIXTURE SCHEDULE							
SYMBOL OR TAG LETTER	MANUF.	CATALOG NUMBER	LAMP DATA		WATTS	MOUNTING	DESCRIPTION
			NO.	TYPE			
A	LSI	XDL5-FT-LED-S6-WW	1	LED	68.8	POLE TOP	12' - HEIGHT
B	LSI	XDL5-5-LED-S6-WW	1	LED	68.7	POLE TOP	12' - HEIGHT

# LED LIFESTYLE SMALL DECORATIVE AREA LIGHTS (XDLS)

1.



US patent 7,828,456 8,002,428, 8,177,386 8,434,893 8,567,983 and US & int'l. patents pending

**SMARTTEC™** - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature

**ENERGY SAVING CONTROL OPTION** - DIM - 0-10 volt dimming enabled with controls by others. BLS - Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.

**LEDS** - Select high-brightness LEDs in Cool White (5000K), Neutral White (4000K) or Warm White (3500K) color temperature. 70 CRI CW. 80 CRI NW and WW.

**DISTRIBUTION PATTERN** - Types 3, FT and 5. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.

**CROWN** - Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water- and dust-tight construction.

**SHADES** - Spun aluminum. Two shade styles available - A - Angle and B - Bell.

**OPTICAL UNIT** - Optical unit and aluminum door frame recessed into shade and sealed with one-piece silicone gasket. Clear tempered flat glass lens sealed with silicone gasket to door frame (includes pressure-stabilizing breather). Optical unit is tethered and provides access to driver. Door frame retaining fasteners are captive.

**BRACKETS** - Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.

**MOUNTING** - Classic Hook (CH), Side Arm (SA - 4" O.D. minimum pole top required), Wall Mount (W - for use with CH or SA style) and Universal Pole Clamp (UCL) available. See Steel Round Pole and Aluminum Round Pole data sheets for pole selection information. Side Arm pole mount requires 3" reduced drilling pattern. Classic hook mount requires a 4" O.D. pole or tenon.

**ELECTRICAL** - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (UE - 50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

**DRIVERS** - Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed.). Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F).

**FINISH** - Each fixture is finished with LSI's DuraGrip polyester powder coat process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.

**PHOTOMETRICS** - Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.

**SHIPPING WEIGHT (IN CARTON)** - 24 lbs. (10.8 kg)

**LISTINGS** - UL listed to U.S. and Canadian safety standards. Suitable for wet locations

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

		Lumens (Nominal)			Watts (Nominal)
		Type 3	Type FT	Type 5	
Cool White	SS	7100	6540	6220	71
	HO	9600	8990	8500	106
Neutral White	SS	6510	5840	5680	71
	HO	8810	7890	7780	106
Warm White	SS	4790	5170	5010	71
	HO	6460	6880	6740	106

LED Chips are frequently updated therefore values may increase.



# LED LIFESTYLE SMALL DECORATIVE AREA LIGHTS (XDLS)

## PRODUCT ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XDLSB 3 LED SS CW UE BLK CH S PCI120**

Prefix	Distribution	Light Source	Drive Current	Color Temp	Input Voltage	Finish	Mounting Style <sup>1,2</sup>	Mounting Configuration <sup>1,2</sup>	Options
XDLSA <sup>1</sup> Angle Shade	3 - Type III 5 - Type V FT - Forward Throw	LED	SS - Super Saver	CW - Cool White (5000K)	UE - Universal Electronic (120-277V)	BLK - Black	CH - Classic Hook	S - Single	DIM - 0-10 Volt Dimming (from external signal) <sup>5</sup> BLS - Bi-level Switching (from external 120-277V signal) <sup>5</sup> Button Type Photocells PCI120 - 120V PCI208-277V - 208-277V PCI347 - 347V
XDLSB <sup>1</sup> Bell Shade			HO - High Output	NW - Neutral White (4000K) WW - Warm White (3500K)		BRZ - Bronze WHT - White GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green	SA4 - Side Arm Mount for 4" O.D. Round Poles <sup>3</sup> SA5 - Side Arm Mount for 5" O.D. Round Poles <sup>3</sup> UCL4 - Universal Pole Clamp for 4" O.D. Round Poles UCL5 - Universal Pole Clamp for 5" O.D. Round Poles	D180 - Double D90 - Double <sup>4</sup> T90 - Triple <sup>4</sup> TN120 - Triple <sup>4</sup> Q90 - Quad <sup>4</sup> W - Wall Mount (For use with CH or Side Arm Mounting Style)	

ACCESSORY ORDERING INFORMATION		(Accessories are field installed)	
Description	Order Number	Description	Order Number
FK120 Single Fusing (120V)	FK120 <sup>6</sup>	DFK480 Double Fusing (480V)	DFK480 <sup>6</sup>
FK277 Single Fusing (277V)	FK277 <sup>6</sup>	FK347 Single Fusing (347V)	FK347 <sup>6</sup>
DFK208, 240 Double Fusing (208V, 240V)	DFK208, 240 <sup>6</sup>		

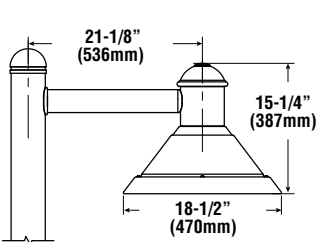
LUMINAIRE EPA CHART - XDLS	
Single	1.6
D180°	2.7
D90°	2.3
T90°	3.3
TN120°	3.4
Q90°	4.1

Note: Includes Bracket

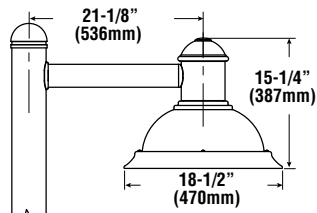
### FOOTNOTES:

- When ordering a multiple configuration (D180, etc.) order one fixture/bracket configuration per pole - i.e. order one XDLSB 3 LED SS CW UE BLK CH D180 PCI120 to receive two fixtures and one CH D180 bracket (see drawing on this page). See STEEL ROUND POLES and ALUMINUM ROUND POLES data sheets for pole ordering information.
- See Lifestyle Bracket ordering chart for Mounting Style/Configurations availability.
- 3- 3" reduced drilling pattern required.
- For use with SA4 and SA5 mounting styles only.
- DIM and BLS cannot be ordered together.
- Fusing must be located in the hand hole of pole.

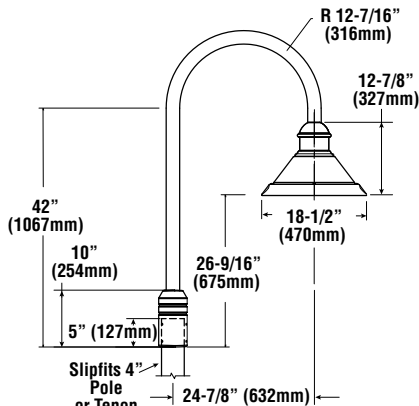
### DIMENSIONS



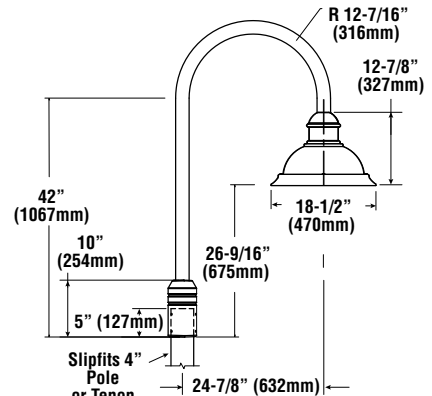
SIDE ARM (SA4 S) - ANGLE SHADE



SIDE ARM (SA4 S) - BELL SHADE

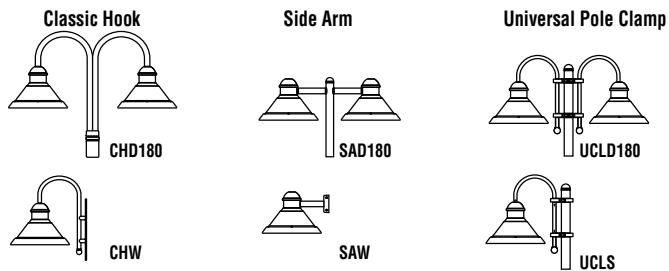


CLASSIC HOOK (CH S) - ANGLE SHADE



CLASSIC HOOK (CH S) - BELL SHADE

See Lifestyle Brackets and Mounts in outdoor section of latest Buyers Guide for details on other bracket sizes.





# LED LIFESTYLE SMALL DECORATIVE AREA LIGHTS (XDLS)

## BUG LISTING

### XDLS - TYPE 3

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	9603	106.1	91	B2-U0-G2
SS	CW	7096	71.4	99	B1-U0-G1

### XDLS - TYPE 5

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	8501	106	80	B3-U0-G1
	NW	7779	104	75	B3-U0-G1
SS	CW	6225	71	88	B3-U0-G1
	NW	5685	71	80	B2-U0-G1
	WW	5007	70	72	B2-U0-G1

### XDLS - TYPE FT

Drive Current	Color Temp.*	Lumens	Watts	LER	BUG Rating
HO	CW	8994	106	85	B1-U0-G2
	NW	7891	104	76	B1-U0-G2
SS	CW	6543	71	92	B1-U0-G2
	NW	5846	71	83	B1-U0-G2
	WW	5171	70	74	B1-U0-G1

\* Color Temperature: WW-3000K, NW-4000K, CW-5000K

**CEDAR STREET PARKING LOT  
CERTIFICATE OF APPROPRIATENESS APPLICATION NARRATIVE  
DECEMBER 17, 2019**

**PROJECT DESCRIPTION:** The project site is located off the southern right-of-way of Cedar Street between Moore Street and Orange Street, Beaufort, Beaufort Township, Carteret County, NC. The purpose of this project is to demolish 2 structures as soon as possible and then construct a new parking lot.

**ADJACENT PROPERTY:** Property is bounded on the north by Cedar Street, bounded on the east by Orange Street, bounded on the south by residential, and bounded on the west by Moore Street. Due to the proposed plan showing vegetative buffers and fencing, surrounding properties should not be adversely affected by this development.

**PROPOSED CONSTRUCTION DETAILS**

**DEMOLITION:**

Proposed demolition of two (2) existing structures that are not historic and request that if Certificate of Appropriateness is granted that the delay period of 365 days be waived for this process (see photos). All will comply with Article 10.1 of the Historic District Guidelines.

1. To our knowledge there are not any architectural artifacts to be salvaged since this site used to be a gas station and parking lot for auto sales.
2. Ground disturbance will be at a minimal and will be converted into a parking lot when completed.
3. The only mature trees on site are palms and we request to remove these.
4. The site will be cleaned and debris removed.

**LIGHTING:**

Proposed lighting will be dark sky of the Luminis SR125 variety. Lighting poles will be 16' high and black in color.

**FENCING:**

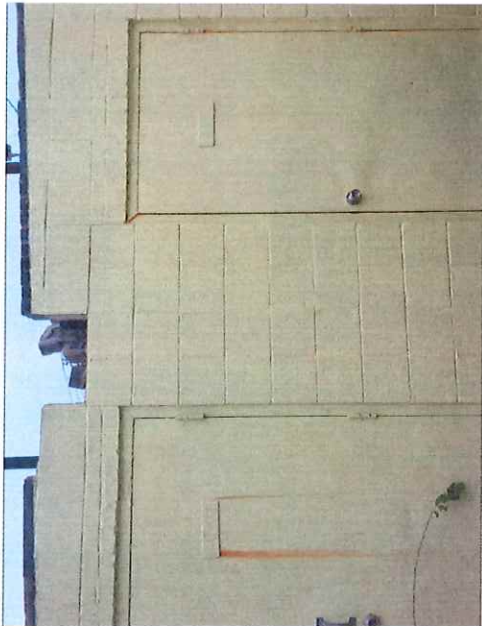
Proposed fencing will be Beaufort Style. Fencing will be 6' high, made of wood and Sherwin Williams SW7006 Extra White in color.

**LANDSCAPING:**

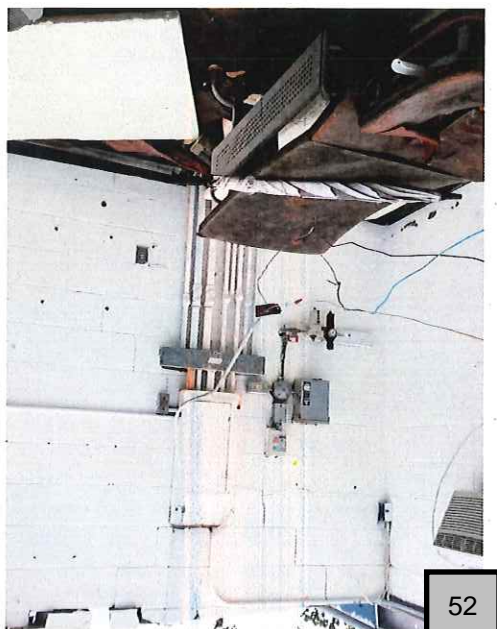
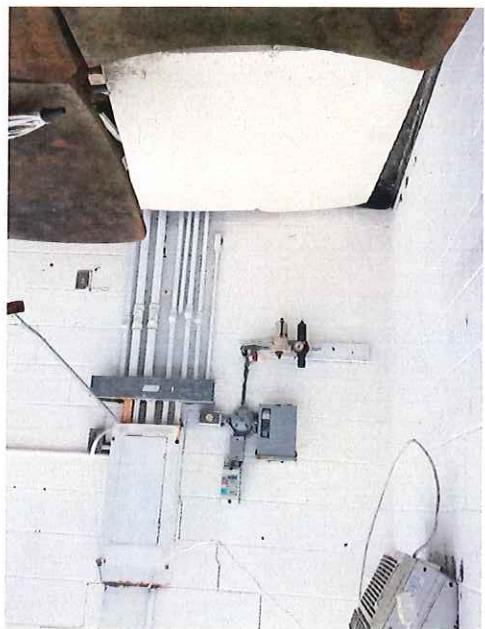
Proposed landscaping will consist of removal of existing palm trees not native to the area and replaced with 6 each Live Oak; 16 each Flowering Dogwood; 24 each Wax Myrtle; 12 each American Holly and multiple Coastal Dwarf Azalea.



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NP\_20150407\_01\_59\_11\_Prc



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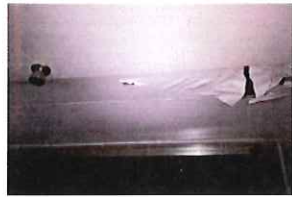
NP\_20150407\_02\_01\_55\_Prc



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NP\_20150407\_02\_03\_26\_Prc



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NP\_20150407\_02\_04\_19\_Prc



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NP\_20150407\_01\_41\_22\_Prc



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