



## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Historic Preservation Regular Meeting 6:00 PM Tuesday, March 03, 2026 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting**

---

#### **Call to Order**

#### **Roll Call**

#### **Agenda Approval**

#### **Minutes Approval**

- [1.](#) HPC Draft Minutes 010626

#### **Administration of Oaths**

#### **Items of Consent**

- [1.](#) Approval of the Order for 217 Front Street, 122 Queen Street & 131 Turner Street – Certificate of Appropriateness

#### **New Business**

- [1.](#) Case # 26 - 02 618 Ann St - Side Porch Enclosure
- [2.](#) Case # 26-05 907 Ann Street- Historic Plaque
- [3.](#) Case # 26-06 117 Ann Street - Roof Replacement
- [4.](#) Case # 26-07 105 Front Street - Perimeter Wall, Elevation of Garage & Tree Preservation
- [5.](#) Case # 26-08 114 Ann Street - West Side Addition, Wall Installation & Landscaping

#### **Commission / Board Comments**

#### **Staff Comments**

#### **Adjourn**



**Town of Beaufort, NC**  
701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Regular Meeting**  
**6:00 PM Tuesday, January 6<sup>th</sup> 2026 - Train Depot, 614 Broad Street, Beaufort, NC 28516**  
**Minutes**

---

**Call to Order**

Chair McCune called the January 6<sup>th</sup>, 2026 Beaufort Historic Preservation Commission regular meeting to order at 6:00 p.m.

**Roll Call**

Members Present: Joyce McCune, Chair; Bradley Hedrick, Vice-Chair; Bradley Cummins, Kris Davis, Tyler Tennant

Members Absent:, Marissa Morris, Jessica Sabiston

A quorum was declared with five members present.

Staff Present: Mr. Kyle Garner, Planning Director; Mr. Brad Fockler, Code Enforcement Officer; Mr. Arey Grady, Town Attorney; Ms. Laurel Anderson, Board Secretary

**Agenda Approval**

*Vice-Chair Hedrick made the motion to approve the Agenda as presented and Member Tennant made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

**Minutes Approval**

1. HPC Draft Minutes 120225

*Vice-Chair Hedrick made the motion to approve the Minutes as presented and Member Cummins made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

### **Administration of Oaths**

Chair McCune gave the Quasi-Judicial Statement as follows: This hearing is a quasi-judicial evidentiary hearing. That means it is like a court hearing. State law sets specific procedures and rules concerning how this board must make its decision. The board must base its decision upon competent, relevant and substantial evidence in the record. It is a decision constrained by the standards in the ordinance and based on the facts presented. All applications for Certificates of Appropriateness must be consistent with the Design Guidelines for the Beaufort Historic District & Landmarks; however, regardless of compliance with these Design Guidelines, the HPC will not approve a COA that is not congruous with the special nature of the Beaufort Historic District as a whole. If you will be speaking as a witness, please focus on the facts and standards, not personal preference or opinion. Participation is limited. This meeting is open to the public. Everyone is welcome to watch. Parties with standing have rights to participate fully. Parties may present evidence, call witnesses and make legal arguments. Parties are limited to the applicant, the local government and individuals who can show they will suffer special damages. Other individuals may serve as witnesses when called by the board. For certain topics, this board may hear opinion testimony from expert witnesses. Individuals providing expert opinion must be qualified as experts and provide the factual evidence upon which they base their expert opinion. Witnesses must swear or affirm their testimony.

Secretary Anderson then administered the Oath to Kyle Garner.

### **Items of Consent**

1. Approval of the Order for 314 Ann Street – Certificate of Appropriateness

*Vice-Chair Hedrick made the motion to approve the Order as presented and Member Davis made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

### **New Business**

1. Case # 25-37 – 217 Front Street – New Brick Walk & Steps

Chair McCune introduced Case #25-37 and asked for the Staff Report. Mr. Garner stated that the applicant wishes to remove the existing concrete walk and steps and replace them with brick and noted that Mr. Brian Daniel of Brian Daniel Construction was representing the applicant and had brought a brick sample board to show, which he passed to the commission members.

Mr. Garner explained that the current steps and walkway are solid concrete and the owners want to replace them with brickwork.

Secretary Anderson administered the Oath to Brian Daniel.

Chair McCune noted for the record that the brick board sample was of General Shale Buckingham Tudor.

Mr. Daniel added that they would be removing the walkway and the steps to the house and replacing them with brick, but leaving the steps down to the front sidewalk as is, putting a concrete base down and setting brick and not pavers. The wing walls on the stairs would be left or repaired as necessary.

Chair McCune asked if there were any parties with standing who wished to comment and there were none.

*Chair McCune asked for a motion for a Finding of Fact for Case #25-37. Vice-Chair Hedrick made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for Case #25-37, move that the Commission concludes that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Landscaping Guidelines 8.1.9, 8.1.11.*

*Member Davis made the second and Chair McCune took a vote that was approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #25-37.

*Vice-Chair Hedrick made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the Commission conclude that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #25-37 be issued for the proposed work.*

*Member Davis made the second and Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

Chair McCune then declared Case #25-37 closed.

## 2. Case #26-01 122 Queen St – Beaufort Style Fence

Chair McCune introduced Case #26-01 and asked if any members needed to recuse themselves. Seeing none, she asked Mr. Garner for an overview of the case.

Mr. Garner stated that this was a request for a Beaufort-style fence across the frontage of the property and the agenda packet contained specifics pertaining to type, color, and material. The request comes at the end of a major renovation at 122 Queen Street by Eddie Cameron Construction.

Secretary Anderson administered the Oath to Eddie Cameron.

Mr. Cameron stated that the homeowners had revised the fence plan from undulating to all level to match the houses on each side in order to fit in more with the neighborhood. The fence placement would go across the front, down the driveway, and then back to the house just past the porch.

Chair McCune clarified the change from the application which had stated varying heights not to exceed four feet high to the fence having no varying height, and Mr. Cameron agreed and added the fence would be 36 inches tall with 2 by 2 pickets painted white with a pyramid style top.

Chair McCune asked if there were any parties with standing who wished to comment.

Secretary Anderson administered the Oath to Kevin McHugh, 124 Queen Street.

Mr. McHugh stated that he had had concerns about the undulating fence design but gave his full support to the updated design.

*Chair McCune asked for a motion for a Finding of Fact for Case #26-01. Vice-Chair Hedrick made the following*

*motion: Having reviewed the record and having considered all evidence submitted and oral testimony for Case #26-01, move that the Commission concludes that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Fences and Walls Guidelines 8.2.2, 8.2.3, 8.2.7 with the condition that the fence shall not exceed 36” in height and will be straight across and not undulating.*

*Member Tennant made the second and Chair McCune took a vote that was approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #26-01.

*Member Davis made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the Commission conclude that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #26-01 be issued for the proposed work.*

*Vice-Chair Hedrick made the second and Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

Chair McCune then declared Case #26-01 closed.

### 3. Case #26-03 131 Turner Street – Signage, Paint, Windows & Glass Storefront

Chair McCune introduced Case #26-03 and asked if any members needed to recuse themselves. Seeing none, she asked Mr. Garner for an overview of the case.

Mr. Garner stated that this was a request to install a new 5.5 Sq. Ft. (36” X 22”) hanging sign and change the exterior color of the building for the new Watermark bookstore.

There was a short discussion regarding the acceptable size of the sign and the existing bracket where the sign would hang.

Secretary Anderson administered the Oath to John Engelhard.

There was further discussion on the sign material and Mr. Engelhard suggested the sign be made of hard density polyurethane but could be made of wood if the Commission preferred.

Chair McCune asked if there were any parties with standing who wished to comment and there were none.

*Chair McCune asked for a motion for a Finding of Fact for Case #26-03. Member Cummins made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for Case #26-03, move that the Commission concludes that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Paint and Exterior Colors Guidelines 6.7.2, 6.7.4; Brickwork and Masonry Guidelines 6.3.9; Signage Guidelines 8.6.1, 8.6.2, 8.6.3, 8.6.5.*

*Vice-Chair Hedrick made the second and Chair McCune took a vote that was approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #26-03.

*Member Davis made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the Commission conclude that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #26-03 be issued for the proposed work.*

*Member Tennant made the second and Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

**Commission / Board Comments**

Chair McCune and other commission members expressed their grief at the town’s loss of the historic Duncan House.

**Staff Comments**

Mr. Garner noted the HPC had an almost record number of cases during 2025. He also gave a quick update on the Standards subcommittee which would be meeting this Friday and has been making great progress towards updating the current Historic Guidelines. He noted that a draft to the commission would be forthcoming in the next few months.

**Adjourn**

*Member Cummins made the motion to adjourn and Vice-Chair Hedrick made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair Hedrick, Bradley Cummins, Kris Davis, Tyler Tennant*

Chair McCune declared the January 6<sup>th</sup>, 2025 meeting adjourned at 6:30 p.m.

---

Chair, Joyce McCune

---

Board Secretary, Laurel Anderson



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission  
6:00 P.M. March 3, 2026 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** Consent

**SUBJECT:** Approval of the Order for 217 Front Street, 122 Queen Street & 131 Turner Street – Certificate of Appropriateness

**BRIEF SUMMARY:**

As part of the new General Statutes (160D), prior to Evidentiary Hearing Orders being signed and sent to the applicant/property owners, the Board in which conducted the hearing is to review the order for accuracy.

The staff has consulted with the Town Attorney and now asks that the Historic Commission Members review the orders for such accuracy and be prepared to make a motion to recommend approval of the Order or to approve with Commission recommended changes.

**REQUESTED ACTION:**

Review the order for such accuracy and be prepared to make a motion to recommend approval of the Order or to approve with Commission recommended changes.

**EXPECTED LENGTH OF PRESENTATION:**

0 Minutes (Presentation from Staff)

**SUBMITTED BY:**

Kyle Garner, AICP Planning Director

**BUDGET AMENDMENT REQUIRED:**

N/A



Town of Beaufort  
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516  
252-728-2141 • 252-728-3982 fax  
[www.beaufortnc.org](http://www.beaufortnc.org)

February 3, 2026

Brian Daniel Construction, Inc.  
224 Florida Park Road  
Newport, N.C. 28570

RE: Case # 25-37 217 Front Street – New Brick Walk and Steps

Dear Sirs:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate  
CC: Wilco Holdings, LLC

Mayor Sharon Harker  
Commissioner Melvin Cooper • Commissioner Paula Gillikin  
Commissioner John LoPiccolo • Commissioner Lucky Oliver • Commissioner Sarah Spiegler  
Town Manager Matt Zapp



TOWN OF BEAUFORT, NC  
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on January 6, 2026 to consider a Certificate of Appropriateness (“COA”) application submitted by Brian Daniel Construction, Inc. for Case # 25-37 217 Front Street – New Brick Walk and Steps and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on January 6, 2026, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

*Landscaping Guidelines*

8.1.9. Planting strips between the public sidewalks and the street edge shall be preserved and remain predominantly ground covers or tree plantings. Small walkways will be permitted on these strips if the proposed walkway aligns with the walkway leading from the front door or main entrance of the structure to the sidewalk. New walkways shall not exceed a width of four (4) feet. Paving, filling, or otherwise altering this strip within the district is not appropriate.

8.1.11 Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color and finish to existing historic sidewalks.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for Case # 25-37 217 Front Street – New Brick Walk and Steps

This the 3<sup>rd</sup> day of February, 2026.

\_\_\_\_\_  
Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



Town of Beaufort  
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516  
252-728-2141 • 252-728-3982 fax  
[www.beaufortnc.org](http://www.beaufortnc.org)

February 3, 2026

Eddie Cameron Construction  
P.O. Box 1647  
Morehead City, NC 28557

RE: Case # 26-01 122 Queen Street – Beaufort Style Fence

Dear Mr. Cameron:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate

cc: Jack & Allison McNairy



TOWN OF BEAUFORT, NC

ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on January 6, 2026, to consider a Certificate of Appropriateness (“COA”) application submitted by Eddie Cameron Construction for **CASE # 26-01 122 QUEEN STREET – BEAUFORT STYLE FENCE** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on January 6, 2026, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

*Fences and Walls Guidelines*

8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material, and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view.

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

8.2.7. Contemporary or utilitarian fence materials are not appropriate for fences in the public view. Inappropriate materials include: plastic, vinyl, chain link, wire, and all other modern materials. The use of modern fencing is permitted for rear yards only, in areas not seen from the public view, using vinyl-coated chain link (dark green or black), standard chain link or heavy wire (“hog wire”). Use plantings such as ivy, climbing roses, jasmines, or other vines to hide wire fences.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 26-01 122 QUEEN STREET – BEAUFORT STYLE FENCE WITH THE CONDITION THAT THE FENCE WILL NOT EXCEED 36” TALL AND THAT THE TOP OF THE FENCE WILL BE STRAIGHT ACROSS OF CONSISTENT HEIGHT, NOT UNDULATING.**

This the 3<sup>rd</sup> day of February 2026

\_\_\_\_\_  
Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



Town of Beaufort  
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516  
252-728-2141 • 252-728-3982 fax  
[www.beaufortnc.org](http://www.beaufortnc.org)

February 3, 2026  
Owens Construction, Inc.  
828 West Beaufort Road  
Beaufort, NC 28516

RE: Case # 26-03 – 131 Turner Street – Signage, Paint, Windows & Glass Storefront

Dear Sirs:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate

CC: Watermark Book, LLC

Mayor Sharon Harker  
Commissioner Melvin Cooper • Commissioner Paula Gillikin  
Commissioner John LoPiccolo • Commissioner [redacted]ucky Oliver • Commissioner Sarah Spiegler  
Town Ma [redacted] 12 [redacted]att Zapp



TOWN OF BEAUFORT, NC  
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on January 6, 2026 to consider a Certificate of Appropriateness (“COA”) application submitted by Owens Construction Inc. for **CASE # 26-03 – SIGNAGE, PAINT, WINDOWS & GLASS STOREFRONT** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on January 6, 2026, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

*Paint and Exterior Colors Guidelines*

6.7.2 Determine the building’s style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building’s architectural features.

6.7.4 Old paint should not be removed by sandblasting or other abrasive or destructive methods. The removal of all paint layers down to the bare wood in preparation for repainting is not recommended.

*Brickwork and Masonry Guidelines*

6.3.9. Avoid painting masonry surfaces that were not painted historically. When painting masonry that has been previously painted, use acrylic latex paints for best durability.

*Signage Guidelines*

861. Use traditional materials found in the district, such as wood and metal for new signage. Substitute materials that have the appearance of wood are allowed. Plastic signs, flashing signs, or portable mobile signs, except those listed in item 9, are not allowed in the historic district. Interior neon signs larger than 10” by 18” that are located within five (5) feet of a window or glass door on an exterior wall and are so placed as to be seen from the outside are not allowed. INTERNAL GLASS MOUNTED SIGNS ARE NOT SUBJECT TO BHPC REVIEW.

862. Place signs so that they do not visually overwhelm the building or streetscape or damage or obscure character defining architectural details. Recognize that maximum signage allowances granted by the Beaufort Zoning Ordinance may be inappropriate in the context of the building or site under review.

863. Signs on commercial buildings are preferred to be located in a signboard frieze located above the display windows. In this location the sign serves as a boundary between the upper and lower façade.

8.6.5 Use simple, clear graphics and lettering styles in sign design.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 26-03 – SIGNAGE, PAINT, WINDOWS & GLASS STOREFRONT**).

This the 3<sup>rd</sup> day of February, 2026.

---

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, February 3, 2026 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 26 - 02 618 Ann St - Side Porch Enclosure

**BRIEF SUMMARY:**  
The applicant wishes to install a side porch enclosure (Pollock Street Side) at 618 Ann Street.

**REQUESTED ACTION:**  
Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**  
10 Minutes

**SUBMITTED BY:**  
Kyle Garner

**BUDGET AMENDMENT REQUIRED:**  
N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** January 26, 2026  
**Case No.** Case # 26 - 02 618 Ann St - Side Porch Enclosure

**Request:** Enclose Side Porch – Pollock Street Side

**Applicant:** Owens Construction, Inc.  
 828 West Beaufort Road  
 Beaufort, NC

**Property Information:**

**Owners:** Judy Currin  
**Location:** 618 Ann Street  
**PIN#:** 730506295942000

**Project Information:**

According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 618 Ann Street, circa 1910. **E. R. Guthrie House.** 2-Story, gable and wing, Queen Anne house with plain siding, 2 interior brick chimneys, and 2/2 sash. Front pedimented gable has 2- story cutaway bay. 1-story porch has turned posts and railing and roof balustrade.

- The only information we have on file is from 1997.

**Proposed work:**

- See Attachment from Applicant

**Material:**

- See Information from Applicant.

**Color:**

See Attached Description from Applicant.

**Attachments:**

- Vicinity Map
- List of adjacent property owners used for mailing notifications.
- COA application and supporting materials supplied by applicant.

**Porches and Entrances Guidelines**

6.5.1. Retain and preserve historic porches, entrances and doorways including related features such as railings, posts or columns, ceilings, steps, lattice, flooring, piers, ornamental trim, and other character defining elements.

6.5.4. The enclosure or other alteration of original or historic front porches is not appropriate in the historic district. The enclosure of porches at the rear, or other areas not seen from the public view, is appropriate if the enclosure is designed and constructed in a manner that preserves the historic character and features of the porch.

6.5.7. Use architectural details and ornamentation that are compatible with the style, period, and detailing of the porch and structure. Such features as new metal columns or wrought iron posts, over-scaled columns with elaborate capitals, metal or plastic balustrades are not allowed. The creation of a false historical appearance, such as adding Victorian ornament to a plain early 20<sup>th</sup> century porch, is not appropriate.

**Window and Door Guidelines**

6.4.2. Repair existing historic windows and doors where possible, rather than replacing entire window or door units. Use techniques such as wood epoxies and wood patches to repair and strengthen deteriorated wood elements. Replace only those elements that cannot be repaired. Reproduction glass is desirable but not required.

6.4.3. Use replacement windows and doors that match the existing historic elements as closely as possible. Wood windows should be replaced with wood windows. If replacement windows or doors are required, consider first replacing only the deteriorated element, such as a single sash or door, rather than the entire frame or unit. Any new replacements shall match the original in all dimensions, materials, and detailing as closely as possible.

6.4.7. New windows must match original in overall size and opening area and should have three dimensional muntins with either true divided lights (TDL) or three dimensional grilles on both the interior and exterior sides (SDL). Snap-in grilles or grilles between glass are not appropriate for windows visible from public view.

6.4.10. New window and door openings shall not alter the historic character of the building or cause damage to historic materials or other significant architectural features. They must be detailed and sized to be compatible with the existing structure.

## Decks on Historic Buildings Guidelines

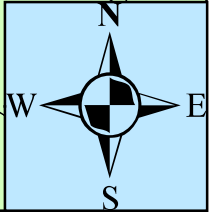
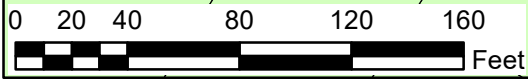
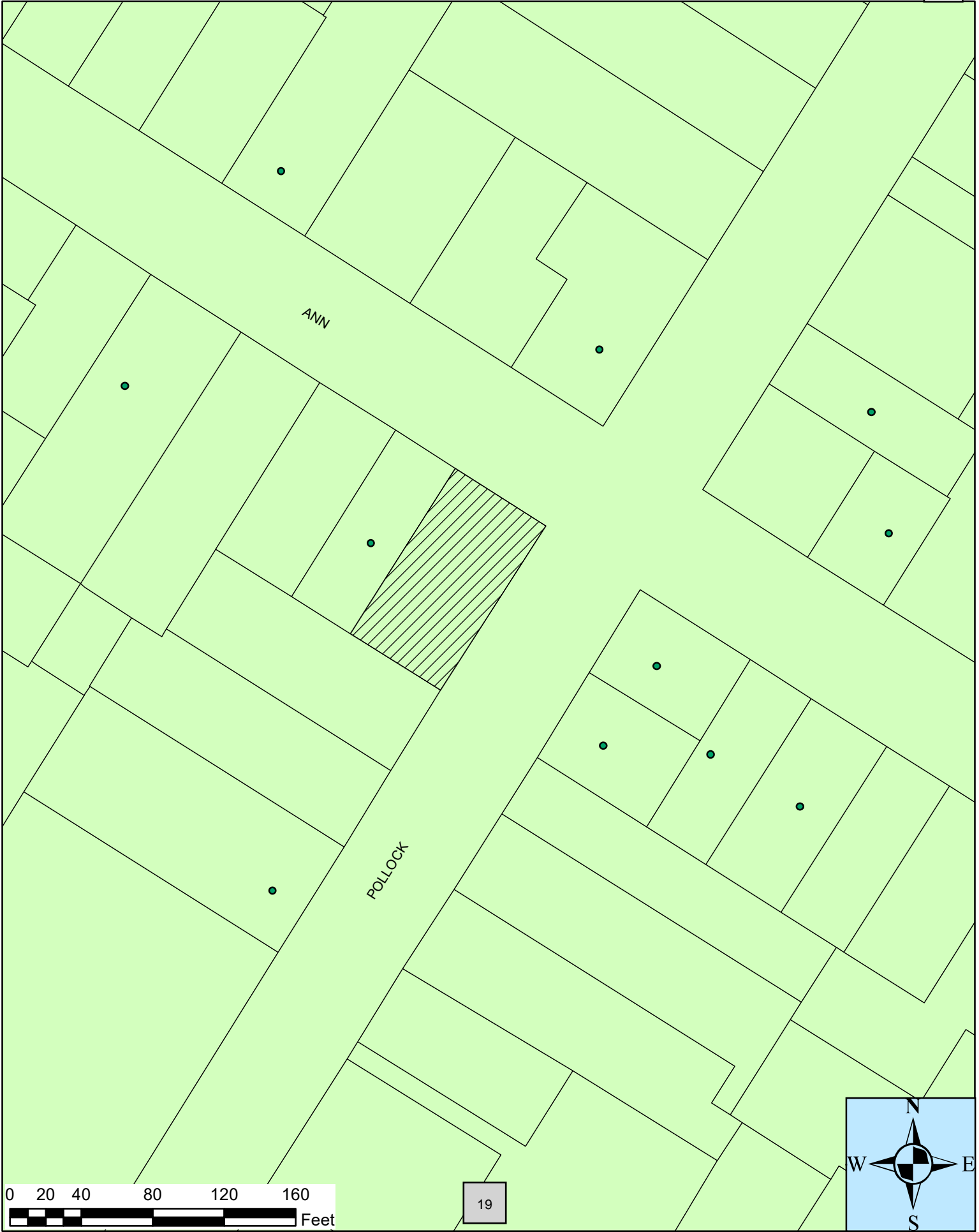
- 7.9.1 Locate decks. only on the rear ground level of historic buildings or other ground-floor level where the deck is not visible from public view.
- 7.9.2. Design decks to eliminate physical or visual damage to significant historic architectural features.
- 7.9.3. Decks should be attached to the historic building so that they may be removed without significant damage.
- 7.9.4. Provide proper flashing and other details to reduce or eliminate moisture damage to the historic structure.

## Landscaping Guidelines

- 8.1.11. Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color and finish to existing historic sidewalks.

## Additions to Historic Buildings Guidelines

- 7.8.1 Where possible, locate new additions at the side or rear so that they have a minimal impact on the façade and other primary elevation of the affected building or adjacent properties.
- 7.8.2. The overall proportions of a new addition should be compatible with the existing building in height, scale, size and massing so as not to over power it visually. A new addition should never be taller or wider than the original structure unless required by code or a non-aesthetic functional requirement. Observe the principle of “additive massing” where the original structure remains dominant and the additions are adjoining and smaller masses.
- 7.8.3. The design elements of a new addition should be compatible with the existing building in terms of materials, style, color, roof forms, massing proportion and spacing of doors and windows, details, surface texture, and location. Contemporary adaptations of the original which clearly look like an addition and reflect the period of construction are encouraged.
- 7.8.4. Additions should be constructed so that they can be removed from the original building in the future without irreversible damage to significant features.
- 7.8.6. Wood windows are most appropriate for new additions within the historic district; however, substitute window materials are acceptable for new additions provided the proposed windows meet the requirements set forth in the WINDOWS AND DOORS guidelines.
- 7.8.7. Rooflines of new additions should be similar in form, pitch, and eave height to the roofline of the original building.



**OWNER**

**Mailing Address**

BRASIER CHRIS E	2807 DEVON RD DURHAM, NC 27707
CURRIN JAMES BARON ETUX JUDY H	618 ANN STREET BEAUFORT, NC 28516
GURLEY MILLIE ADAMS	3400 WINDSOR WAY DURHAM, NC 27707
MOORE VIRGINIA CHADWICK L/T	114 POLLOCK STREET BEAUFORT, NC 28516
OXHOLM REBECCA B	7301 BAY HILL COURT RALEIGH, NC 27615
PEAL MARGARET ELIZABETH	619 ANN ST BEAUFORT, NC 28516
RAWLINS BENJAMIN III ETUX JUDI	6416 LAKEREST CT RALEIGH, NC 27612
REED G GRAY ETUX DEBORAH	122 DRAKE ROAD HAMPSTEAD, NC 28443
TILLER GABRIEL CODY	3929 BROWNING PLACE RALEIGH, NC 27609



828 West Beaufort Road  
Beaufort, NC 28516  
P/F 252.504.3163  
www.occ-usa.com

Re: 618 Ann St  
Currin Residence - Statement of Work

Owens Construction wanted to give a further in-depth statement regarding the work to be performed at the above-mentioned address. It is our intention to expand on the existing deck located on the side of the home. That expansion will not increase further than the existing footprint of the home on that side, meaning, it will not extend past the corner of the main portion of the home nor will it extend further than the corner of the existing addition. Second, it is our intention to increase the living space of the existing addition of the home by enclosing in an additional 5 ft. This is the reason for expanding the porch area around it. Lastly, it should be noted, the handrail above our newly enclosed space is purely cosmetic to bring a symmetry in look and style to what exists on the front of the home, just further adding continuity and minimizing the appearance of an add-on. Our goal is to make it appear as this has always been apart of the original home.

Respectfully,

A handwritten signature in black ink that reads "John Engelhard". The signature is written in a cursive, flowing style.

John Engelhard  
Project Manager

**CERTIFICATE OF APPROPRIATENESS APPLICATION  
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



**Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

**APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: Owens Construction, Inc.

Applicant Address: 828 West Beaufort Rd., Beaufort, NC 28516

Business Phone: 252-504-3163 Email/Cell: john@occ-usa.com/252-622-1475

Property Owner Name: Judy Currin

Address of Property: 618 Ann St

Phone Number: 252-717-9861 Email/Cell: judyhcurrin@gmail.com

**PROJECT INFORMATION**

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

Enclosure of side porch entrance of home.

Estimated Cost of Project: \$ 105,000

Year House Built: 1910

John Engelhard  
Applicant Signature

16 December 2025  
Date

Judy Currin  
Property Owner Signature (if different than above)

16 December 2025  
Date

***An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.***

**OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

22 Deemed Completed and Accepted: \_\_\_\_\_

# **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

## **1. Items required for ALL projects:**

- A list of all Design Guidelines that apply to the application and a description of how proposed changes are consistent with the *Design Guidelines for the Beaufort Historic District & Landmarks*, which can be found at <https://www.beaufortnc.org/bc-hpc/page/design-guidelines-beaufort-historic-district-landmarks>
- A list of all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

## **2. Items required as applicable to project:**

- A description of any planned demolition.
- An indication of all trees to be replaced and/or removed.
- A landscaping plan indicating major planting materials.
- Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- All types of building material samples.
- If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

## **3. Additional items required (only) for new Signage:**

- A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

**4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.

**5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org).*

# DESIGN GUIDELINES FOR THE BEAUFORT HISTORIC DISTRICT & LANDMARKS

1994, REVISED 2008



# DESIGN GUIDELINES FOR BEAUFORT HISTORIC DISTRICT & LANDMARKS

PROJECT CONSULTANT  
TRC ENVIRONMENTAL INC.  
50101 GOVERNORS DRIVE, SUITE 250,  
CHAPEL HILL, NORTH CAROLINA 27517

PREPARED FOR:  
TOWN OF BEAUFORT  
215 POLLOCK STREET  
BEAUFORT, NORTH CAROLINA  
TERRI PARKER-EAKES, TOWN MANAGER

BEAUFORT HISTORIC PRESERVATION COMMISSION  
MAMRÉ WILSON, CHAIRMAN  
DAN KRAUTHEIM, VICE-CHAIRMAN  
WENDY DAVIDSON  
FRED MCCUNE  
MARNIE PARK  
LES SADLER  
GERHARDA SANCHEZ

BEAUFORT TOWN COMMISSIONERS  
RICHARD STANLEY, MAYOR  
ROBERT CAMPBELL  
MATH CHAPLAIN  
JOHN HAGLE  
MARIANNA HOLLINSHED  
CHARLES MCDONALD

ACKNOWLEDGEMENT: THE NANCY DUFFY RUSSELL PRESERVATION TRUST AND AN ANONYMOUS PRIVATE RESIDENT HAVE GENEROUSLY CONTRIBUTED TO THE WRITING OF THIS PUBLICATION. THE ACTIVITY THAT IS THE SUBJECT OF THIS PUBLICATION HAS BEEN FINANCED IN PART WITH FEDERAL FUNDS FROM THE NATIONAL PARK SERVICE, DEPARTMENT OF THE INTERIOR. HOWEVER, THE CONTENTS AND OPINIONS DO NOT NECESSARILY REFLECT THE VIEWS OR POLICIES OF THE DEPARTMENT OF THE INTERIOR, NOR DOES THE MENTION OF TRADE NAMES OR PRODUCTS CONSTITUTE ENDORSEMENT OR RECOMMENDATION BY THE DEPARTMENT.

## Frequently Asked Questions

**Who should use the Beaufort Historic District Guidelines?** Anyone who owns, rents, leases, sells or buys property, or who owns or operates a business in the locally designated Beaufort Historic District, or who owns an individual historic landmark should consult these guidelines. They are used by Town staff and the Beaufort Historic Preservation Commission. The guidelines are written for laymen, as well as for architects and other design professionals, contractors, builders, developers, real estate agents, business owners, and all those who have an interest in the preservation of Beaufort’s historic architectural heritage.

**Is my property within the locally designated Beaufort Historic District?** There are two historic districts in Beaufort—one of the National Register of Historic Places and one has been designated by the Beaufort Town Commissioners. Because listing in the National Register does not involve local regulation, these guidelines are for use only within the locally designated historic district. To verify whether a property is located within one or both Beaufort Historic Districts, please consult Chapter 2.

**What is the Historic Preservation Commission (HPC)?** The HPC, composed of seven Beaufort residents with a knowledge of and interest in historic preservation, is appointed by the Town Commissioners for three-year terms. There are five regular members and two alternate members. The HPC reviews and regulates changes in the locally designated historic district, including buildings and their setting, new construction and demolitions, major landscaping and tree removal, and all signs in the historic district. See Chapter 4.

**What is a Certificate of Appropriateness (COA)? What is the application process?** A COA is required before work can begin on exterior changes to buildings, their setting, and all signs in the historic district, as well as (but not limited to) such actions as new construction and demolitions, major landscaping and tree removal, and utility work in the historic district. The COA application is filed upon such time as all applicable town permits have been secured, with the exception of a building permit. The COA application can be obtained at Town Hall or downloaded from the Town’s website at <http://www.beaufortnc.org/Town+Departments/Planning+and+Inspections/default.aspx>. The completed application is reviewed by the Historic Preservation Commission at one of its regular meetings, where it can be approved, denied, or tabled for further investigation. See Chapter 3 for a detailed description and an easy-to-follow flow chart of the COA application process.

**I want to install storm doors and windows on my historic house. Do I need a COA?** There are some actions (including installation of storm doors and windows, window air conditioners, certain types of gutters, and side and rear fences), known as Minor Work Items that an owner can undertake under a simplified COA approval process. See Chapter 4 for a list of Minor Work Items.

**Are the rear of buildings and back yards in the historic district regulated?** In general, the HPC has purview over features (building facades, driveways and walks, and yards) visible from a public right-of-way. Actions occurring on the rear or non-visible sides of the property that are deleterious to the overall building or setting may come under HPC review.

**What style is my building? What architectural styles are common in Beaufort?** There are a number of prevalent historic architectural styles in Beaufort as well as vernacular house forms unique to Beaufort. Your house may be one or a combination of these. Consult Chapter 4 for illustrated examples of common historic architectural styles and forms in Beaufort.

**I hear a lot about Beaufort’s historic waterfront and other important vistas. What are these and why do they need to be preserved?** Beaufort’s waterfront and the vistas along many of its historic streets are among the most important defining features of the Beaufort Historic District and their preservation and protection are an important responsibility of the HPC. See Chapter 5 for a description of Beaufort’s waterfront and historic vistas and those factors property owners need to consider to protect these vistas for all of Beaufort’s citizens and visitors.

**I want to know what materials and features are typical for my building’s age in Beaufort.** Consult Chapter 6 for a discussion of what materials and architectural features are typical for such components as roofs, windows, doors, and porches on historic buildings in Beaufort.

**Is the installation of new vinyl or aluminum siding permitted in the historic district? What about cement fiber siding?** The use of substitute siding such as vinyl and aluminum on visible elevations of buildings and for new construction in the historic district is not allowed. However, the HPC will consider use of cement fiber siding on a case-by-case basis.

**What specific guidelines apply to commercial storefronts in the historic district?** See Chapter 6 for a discussion of the special features of commercial storefronts and their preservation.

**I want to add a wing to my house. Is this permitted?** Old buildings often grow to adapt to changing uses and circumstances. However, the changes should not destroy or detract from the architectural features that make the building significant in the first place. Consult Chapter 7 for guidelines on how to make your addition sensitive to the historic building and its surroundings.

**I’m building a new house in the historic district. Does it have to “look old?”** Effective historic district guidelines do not dictate certain architectural styles to be used for new construction in the Beaufort Historic District. Instead, they seek to encourage good contemporary design that is sensitive to its surroundings and Beaufort’s special architectural character. Consult Chapter 7 for a discussion of such features as scale, materials, rhythm, and proportion that go into designing a new building in the historic district.

**Are the Guidelines concerned with only buildings, or are such features as driveways, lighting, and signs regulated too?** The Beaufort Historic District is more than just a collection of old buildings. Thus, features of the overall setting of the historic district such as driveways and walks, fences, public landscaping, docks, and lighting also fall within the purview of the HPC. Consult Chapter 8 for a discussion of those items that contribute to the setting of the Beaufort Historic District

**Can individual landmarks and buildings within the historic district be demolished?** In certain circumstances, yes, although demolition is strongly discouraged. Consult Chapter 10 for actions a property owner can take to avoid this drastic action.

**I’m not familiar with such terms as a hip roof, portico, or Ionic column.** Consult Chapter 4 for a discussion of architectural styles in Beaufort; Chapter 6 for illustrations of the components of a residential building, a church, and a commercial building; and the Glossary of architectural terms.



View of the Beaufort waterfront, Front Street, and houses in the Beaufort Historic District.

# Table of Contents

Chapter 1. Introduction .....	1
Purpose of Design Guidelines .....	1
How to Use the Design Guidelines .....	2
Some Principles of Historic Design .....	3
Chapter 2. The Beaufort Historic District and Historic Landmarks .....	4
Beaufort National Register Historic District .....	4
Beaufort Historic District (Locally Designated) .....	6
Chapter 3. Historical Overview and Architectural Development of Beaufort.....	7
Historical Overview (1709-Present) .....	7
Architectural Development in Beaufort (1709-1950s).....	11
Historic Architectural Styles in Beaufort.....	13
Colonial, Georgian, and Federal Period .....	14
19th-Century Revival Styles—Greek, Gothic, Italianate, Queen Anne .....	16
20th-Century Styles .....	21
Chapter 4. Administration of the Beaufort Historic District and Historic Landmarks.....	25
Historic Preservation Legislation—Federal, State, and Local .....	25
Beaufort Historic Preservation Commission .....	25
Certificate of Appropriateness .....	26
Minor Work Items (COA Required with Town Staff Approval).....	27
Certificate of Appropriateness (COA) Application Process .....	30
Checklist of Materials Required for COA Application.....	33
Guidelines for Obtaining Historic Plaques in Beaufort .....	35
Plaque Guidelines:.....	35
Chapter 5. Protecting Beaufort’s Historic Vistas .....	36
Chapter 6. Guidelines for Rehabilitation of Individual Landmarks and Buildings in the Beaufort Historic District .....	38
Treatment Options: Preservation, Rehabilitation, Restoration, and Reconstruction.....	38
Residential Rehabilitation .....	40
Elements of a House.....	42
Elements of a Storefront .....	44
Roofs .....	44
Roof Guidelines.....	48
Exterior Walls .....	50
Wood Trim and Ornament.....	52
Wood Siding, Trim, and Ornament Guidelines.....	55
Substitute Wood Siding Policy.....	56
Brickwork and Masonry .....	57
Brickwork and Masonry Guidelines.....	59
Windows and Doors .....	60
Window and Door Guidelines.....	66
Porches and Entrances.....	68
Porches and Entrances Guidelines.....	72
Foundations .....	74
Foundations Guidelines .....	77
Paint and Exterior Colors .....	78
Historic Paint Colors in the Beaufort Historic District.....	80
Paint and Exterior Colors Guidelines .....	81

Accessibility and Life Safety ..... 82

Accessibility and Life Safety Guidelines ..... 83

Historic Storefront ..... 84

Historic Storefront Guidelines ..... 87

Chapter 7. New Construction and Additions in the Beaufort Historic District ..... 88

    New Construction ..... 88

    The Design Process for New Construction ..... 91

    New Construction-Commercial..... 97

    New Construction Guidelines ..... 98

    Additions to Historic Buildings ..... 100

    Additions to Historic Buildings Guidelines..... 102

    Decks on Historic Buildings..... 103

    Decks on Historic Buildings Guidelines..... 104

Chapter 8. Setting in the Beaufort Historic District ..... 105

    Landscaping..... 105

    Landscaping Guidelines ..... 107

    Fences and Walls Guidelines ..... 111

    Outside Utilities ..... 112

    Outside Utilities Guidelines ..... 113

    Exterior Lighting..... 114

    Exterior Lighting Guidelines ..... 115

    Off-Street Parking ..... 116

    Off-street Parking Guidelines..... 117

    Signage..... 118

    Signage Guidelines:..... 119

    Docks, Piers, and Boardwalks Guidelines..... 121

    Archaeology..... 122

    Archaeology Guidelines..... 123

Chapter 9. Relocation of Buildings into or out of the Beaufort Historic District ..... 124

    Relocation of Buildings Guidelines..... 126

Chapter 10. Demolition of Historic Landmarks and Buildings in the  
Beaufort Historic District..... 127

    Demolition of Buildings Guidelines..... 129

Glossary of Architectural Terms..... 130

# Chapter 1. Introduction

## Purpose of Design Guidelines

As one of the older towns in North Carolina, Beaufort holds a special place in both state and national history. Its historic core has been placed on the National Register of Historic Places, the nation’s listing of buildings, structures, and districts considered historically and architecturally significant. The National Register nomination written in 1974 for the Beaufort Historic District states:

*“The small town (Beaufort) extending back from the water in a traditional compact grid is remarkable for its undisturbed atmosphere, plan, and scale, and for its consistent and distinctive architectural fabric . . . The town is a unique and important part of the history and architectural character of America’s eastern seaboard.”*

Beaufort, and particularly the residents and business owners within its historic district, derive numerous benefits from historic district designation. These include the maintenance of an attractive and aesthetically pleasing built environment, an economically vibrant and attractive commercial district, retention of residential property values, protection against harmful and inappropriate land uses, and preservation of an established sense of community, basic to the health of any society. Residents also enjoy exceptional vistas of townscapes, seascapes, and the Beaufort waterfront that in many places have changed little over several centuries.

To protect the irreplaceable architectural character of the Beaufort Historic District, the Town of Beaufort, with the support of its citizens, has enacted a historic preservation ordinance, created a Historic Preservation Commission (HPC) to oversee changes and alterations within the historic district, and funded the writing and publication of historic design guidelines. These guidelines, revised in 2008, are used by the HPC, Town officials/staff, property owners, design professionals, contractors, builders, developers, business owners, and real estate agents in Beaufort.

These design guidelines for the Beaufort Historic District and Landmarks were developed to provide general recommendations and to outline procedures to guide the property owner, as well as the HPC, in the ongoing goal of historic preservation in Beaufort. The intent is to *guide* design decisions within the historic district. In addition, it is the intention of these guidelines, with the full support of the HPC, to promote excellence of design in both new construction and in the preservation and rehabilitation of existing historic buildings.

## How to Use the Design Guidelines

Users of these guidelines are encouraged to read them in their entirety. They can also reference selected sections in order to answer specific questions about the Beaufort Historic District and its administration; the repair, alteration, and rehabilitation of Beaufort's historic architecture; and new construction within the historic district.

- **Chapter 2** familiarizes readers with the physical boundaries of Beaufort's two historic districts, one nationally and the other locally designated.
- **Chapter 3** provides a useful overview of Beaufort's architectural history and an illustrated summary of its prevalent historic architectural styles.
- **Chapter 4** defines the responsibilities of the Beaufort Historic Preservation Commission (HPC), outlines the process of applying for a Certificate of Appropriateness (COA), and provides a flow-chart and check-list to guide property owners in this process.
- **Chapter 5** discusses the importance of historic vistas in Beaufort.
- **Chapter 6** provides guidelines for proposed changes to individual landmarks and buildings in the Beaufort Historic District.
- **Chapter 7** provides guidance for new construction and its integration within the Beaufort Historic District.
- **Chapter 8** discusses the setting of the historic district and individual landmarks and their preservation.
- **Chapters 9 and 10** discuss the topics of demolition and relocation within the Beaufort Historic District.
- The **Glossary** contains definitions of commonly used architectural terms.

## Some Principles of Historic Design

While these architectural design guidelines establish the context in which new construction and changes to buildings in the Beaufort Historic District are reviewed, they are meant to be applied on a case-by-case basis. Since circumstances vary from property to property, the HPC allows for a certain amount of flexibility. Nonetheless, a few principles form the basis for these historic architectural design guidelines:

- All design decisions about individual properties should be made in conjunction with what is appropriate for the surrounding properties and the historic district as a whole.
- Alteration of an historic structure should be consistent with the design of the original structure and of any later additions that are architecturally significant in their own right. Whenever possible, retention and maintenance of original features are encouraged over restoration and/or removal.
- Additions to a historic structure should be compatible with the characteristic massing and architectural features of that structure, and the characteristic structures of its immediate environs, and shall not destroy the main character defining elements of the structure. Any additions should be clearly distinguishable from the historic fabric and should be reversible.
- New construction should be designed to be compatible with its immediate historic surroundings. This is not done by prohibiting modern architectural design or by dictating one or two preferred historical styles for Beaufort. Instead, new construction should reflect the characteristic scale, massing, rhythm, proportions, and building traditions of the environs. Excellence of new design is always preferred to false pretences of antiquity.
- Demolition of individual landmarks and historic structures that contribute to the overall scale and significance of an historic district is strongly discouraged. Likewise, moving historic structures should be considered only as a last resort.

The character of Beaufort's Historic District is defined by both its many individual historic buildings (left) and streetscapes (right).



## Porches and Entrances

### Characteristics

Porches are the defining feature of Beaufort’s historic architecture. According to the Beaufort National Register Nomination, “there is scarcely a house to be found without a porch” in the town. Of all North Carolina’s coastal port towns, “only in Beaufort is nearly every streetscape a porchescape.” With porches playing such an important role in the town’s architecture, they must be regarded as a town treasure, to be maintained and preserved. In their many forms and variations, porches do indeed define much of the architectural character of the residential streets.

In the town’s antebellum houses, most porches were created by an extension of the main roofline, sometimes referred to as a “Beaufort” or coastal porch. Many of these were two stories in height. Later porches of the Victorian era and the early 20<sup>th</sup> century usually have separate rooflines with a shed or low hip roof. Nearly all of the porches in the historic district are built of wood, with most detailing and ornament likewise of wood. Floors were always made of tongue-and-groove boards. During the 18<sup>th</sup> and early 19<sup>th</sup> centuries, ceiling beams were often exposed and beaded, or finished with either plaster or wide tongue-and-groove boards. Victorian and later porch ceilings are usually covered with narrow beaded boards, traditionally painted a light blue.



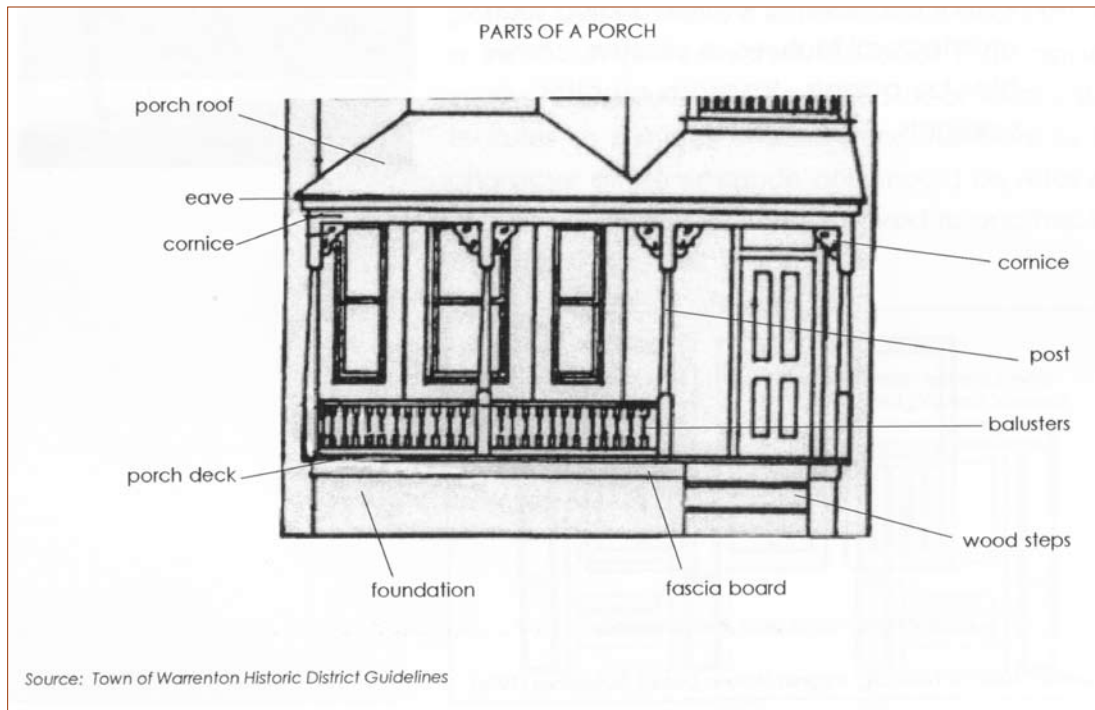
The typical porch of a coastal cottage is created by the roof extension on the front façade, such as in this 18<sup>th</sup> century house on Ann Street.



**A one-story porch with a flat roof and prominent squared posts or columns is typical of the Greek Revival style in Beaufort.**

Porches with squared posts and classical entablatures are typical of Greek Revival style houses. Deep wrap-around porches with such decorative trim as balustrades and brackets significantly expand the living space of Queen Anne style houses. Classical Revival style houses typically have two-story porches and columns with Ionic or Corinthian capitals. Bungalow style houses have porches as one of their most distinguishing features; their overhanging roofs often rest on short tapered posts on stone or brick bases.

The many elements of porches—the posts, columns, railings, cornices, and ornamental woodwork—all reflect the tastes and styles that were popular at the time of their construction. Porch details often provide the major stylistic features or embellishments on houses that are otherwise simple and unpretentious. Front porches were frequently altered or “updated” over time to reflect current architectural tastes. Thus, a number of houses in Beaufort date from the early 19<sup>th</sup> century but have Victorian or early 20<sup>th</sup> century porch detailing, providing excellent examples of the town’s architectural evolution and the continued importance of the porch.



Elements of a typical porch

A *porte cochere*, defined as a porch roof projecting over a driveway at the entrance of a building is an important design element of some early 20<sup>th</sup>-century houses. *Porte cocheres* often are visually integrated with the rest of the house through the use of similar architectural and decorative features and are often of the same building material as the main house. They are different from carports, which are often pre-fabricated, are a later addition to the main house, and are usually of a different building material from the main house. The building of carport additions to an historic house is not appropriate, unless it is added to the rear of a house and not visible from the street.



Character-defining features of this late 19<sup>th</sup>-century Queen Anne style porch in Beaufort include the turned posts and pilasters, the turned balustrade, the jig-sawn brackets, and the row of spindles below the eaves.

The unique characteristics and detailing of each porch should be preserved. Because of their importance to the historic character of the district, it is not appropriate to remove, enclose, or alter front porches in the name of cost or changing tastes. Side porches which can be seen from the public view should likewise be preserved and restored. Rear porches, often used for service and utility, may be enclosed, altered or remodeled for modern use.

Porches are subject to more weathering and water damage than most other elements of historic houses. For repairs and alterations, use only woods that are naturally rot-resistant for exposed surfaces—railings, posts, steps, etc.—and use galvanized or stainless steel fasteners. Pressure-treated tongue-and-groove pine is appropriate for flooring if it is kiln-dried following treatment. Concealing framing members should be made of standard pressure-treated pine. Provide adequate foundation ventilation under porches. Appropriate designs for foundation vents are described in the foundations section of this chapter.

**Note:** North Carolina’s building code requires a 36” handrail when the porch height is 32” or more above ground level. However, existing handrails in the Beaufort historic district are typically less than 36” high. New construction requires the current 36” height.

## Porches and Entrances Guidelines

- 6.5.1. Retain and preserve historic porches, entrances and doorways including related features such as railings, posts or columns, ceilings, steps, lattice, flooring, piers, ornamental trim, and other character defining elements.
- 6.5.2. Repair, rather than replace, historic porch and entrance elements, wherever feasible. Use repair techniques which preserve historic material, including patching, epoxy repair, reinforcing, or splicing-in of new wood in place of deteriorated sections. Replacement elements should match the original in size, shape, pattern, color, and texture.
- 6.5.3. Use appropriate materials in the repair and restoration of historic porches. Woods that are naturally rot-resistant or treated will provide the greatest durability for exposed elements such as railings, steps, flooring, and floor framing. The use of pressure-treated wood is appropriate when painted within six months. The use of substitute material that duplicates the look and patina, and architectural detail is allowed.
- 6.5.4. The enclosure or other alteration of original or historic front porches is not appropriate in the historic district. The enclosure of porches at the rear, or other areas not seen from the public view, is appropriate if the enclosure is designed and constructed in a manner that preserves the historic character and features of the porch.
- 6.5.5. Covering a porch with non-historic material such as vinyl or metal siding, or “winterizing” a screened porch by permanently attaching plastic sheeting is not permitted.
- 6.5.6. Using indoor-outdoor carpeting to weather-proof a porch floor is not permitted.
- 6.5.7. Use architectural details and ornamentation that are compatible with the style, period, and detailing of the porch and structure. Such features as new metal columns or wrought iron posts, over-scaled columns with elaborate capitals, metal or plastic balustrades are not allowed. The creation of a false historical appearance, such as adding Victorian ornament to a plain early 20<sup>th</sup> century porch, is not appropriate.
- 6.5.8. Removing a porch that is not repairable and not replacing it, or replacing it with a new porch that does not convey the same visual appearance on contributing historical properties is not permitted.
- 6.5.9. Reconstruct missing porches or porch details based on accurate documentation of such features. Such documentation may include: evidence found on the subject building; historic photographs; or compatible details found on another porch in the district of the same period and general style. The owner shall provide the commission with such documentation in the application for a Certificate of Appropriateness.
- 6.5.10. It is not appropriate to add new porches, entrances, or balconies to primary elevations or other areas of a building that are seen from the public view if none existed historically.

- 6.5.11. Collapsible gates on porches to restrain pets or young children are reviewed by the HPC on a case-by-case basis and should be truly temporary and removal. Permanent gates are reviewed by the HPC. Gates of any kind at the foot of porch steps create an unnecessary visual barrier and are not appropriate.
- 6.5.12. New handicapped access ramps and other modifications to improve access shall be designed so that the modifications are reversible and do not damage or obscure the buildings' architectural features or diminish its historic character. (SEE GUIDELINES FOR ACCESSIBILITY AND LIFE SAFETY).

# 618 Ann St.

# Adjacent Property

# Owners

**REED GRAY**

Physical Address: 616 Ann St., Beaufort, NC 28516

Mailing Address: 122 Drake Rd., Hampstead, NC 28443

**GABRIEL TILLER**

Physical Address: 113 Pollock St., Beaufort, NC 28516

Mailing Address: 3929 Browning Place., Raleigh, NC 27609

# 618 Ann Street

# Property Photos

South Facing Front of Home



North Facing back porch



East Facing back porch

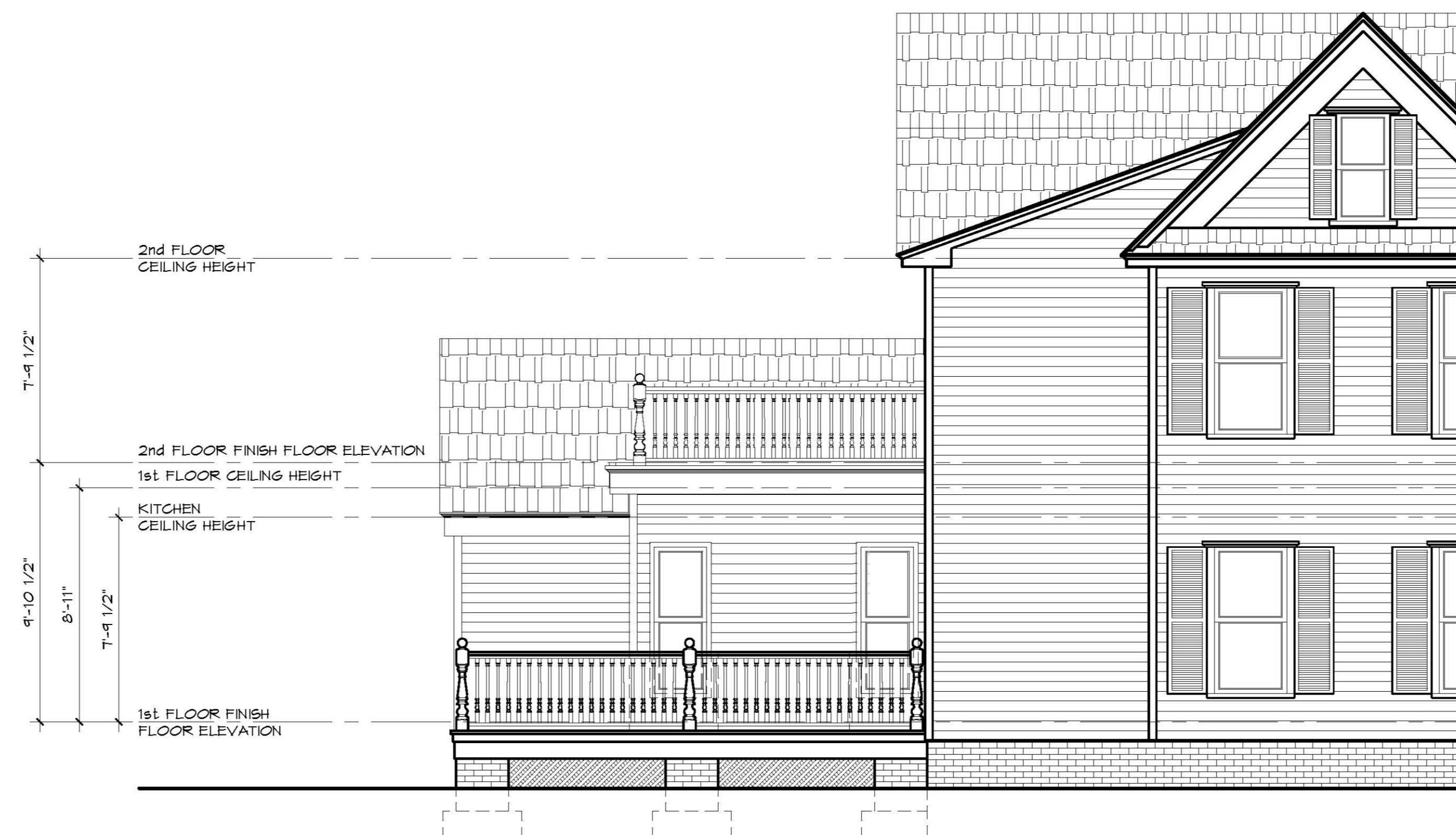


Former Porch enclosure









**WATER INTRUSION PREVENTION NOTES:**

1. WHERE BUILDING PAPER IS ABOVE FLASHING, PAPER SHALL LAP OVER TOP OF FLASHING.
2. WHERE BUILDING PAPER IS BELOW FLASHING, FLASHING SHALL LAP OVER TOP OF PAPER.
3. BUILDING PAPER SHALL LAP OVER TOP OF FLASHING ABOVE WINDOWS AND DOORS.
4. DO NOT CAULK THE BOTTOM FLANGE OF SELF FLASHING WINDOWS.
5. CAULKING SHALL BE SONNEBORN NP-1.
6. PROVIDE COPPER FLASHING ABOVE ALL EXTERIOR DOORS & WINDOWS, EXTERIOR ENVELOPE PENETRATIONS, ROOF/WALL INTERSECTIONS, AND AT ALL LOCATIONS REQUIRED TO PROVIDE PROTECTION, AND A WEATHER TIGHT STRUCTURE.
7. SEAL AROUND THE MOUNTING BOXES OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK SUCH THAT WIND DRIVEN RAIN CAN NOT PENETRATE BEHIND THE BUILDING PAPER OR SHEATHING.
8. PROVIDE WEATHER STRIPPING AT EXTERIOR DOORS.
9. DO NOT CAULK BOTTOM EDGE OF SIDING BOARDS.
10. DO NOT CAULK BOTTOM EDGE OF EXTERIOR WINDOW TRIM AT SILL.

**2 PARTIAL SIDE ELEVATION**  
A201 SCALE: 1/4"=1'-0"

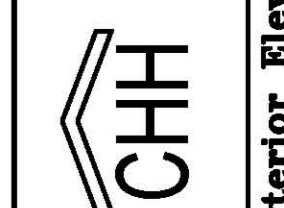


**1 REAR ELEVATION**  
A201 SCALE: 1/4"=1'-0"

**Curran Residence Renovation & Addition**  
618 Anne Street  
Beaufort, North Carolina 28516

**Christoph H. Hintze**  
105 Banks Street  
Morehead City, North Carolina 28557  
252-732-6083  
email: chh.drafting@gmail.com

**Christoph H. Hintze**  
Drafting Service



SHEET NO.

**A201**

OF



# 110 Orange Street

# MATERIALS

The roofing will be asphalt shingles matching both color and design as the existing.

All siding will match existing

Handrails and balusters will be wood.

Brick walkways will be Savannah brick:

## SAVANNAH



Photography is intended to show the general appearance of the brick color.

### A piece of the past.

Evocative of the worn cobblestone streets of Historic Savannah, GA, our Savannah brick is a gorgeous historic brick with a smooth red base, and charred black and off-white accents.

This tumbled brick is offered as part of Triangle Brick Company's Premium tier, providing our customers with a superior level of product quality and consistency unmatched by our competitors.

### BRICK SPECIFICATIONS

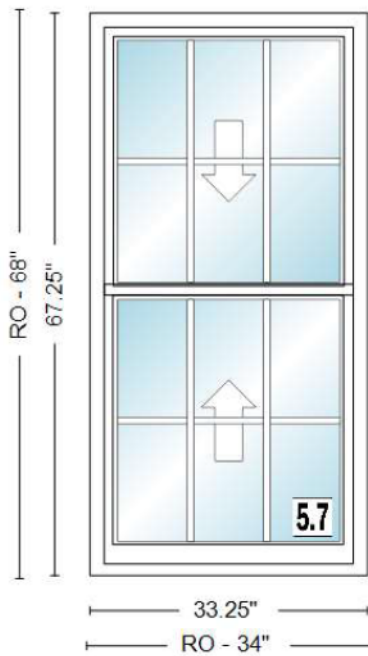
BRICK SIZE	DIMENSIONS INCHES (H x W x L)	NUMBER OF BRICK PER CUBE	APPROX DRY WEIGHT (each)	APPROX # PER SQ.FT.
FACE BRICK				
MODULAR	2 1/4 x 3 9/16 x 7 5/8	510	3.8 lbs	7
ENGINEER	2 3/4 x 3 9/16 x 7 5/8	410	4.7 lbs.	5.75

Complies with ASTM C-216, Grade SW, Type FBS. All brick are pre-blended then packaged using our Half Pack™ Technology.

# 110 Orange Street

## MATERIALS (continued)

Windows to be used are Anderson A Series



Room: None Assigned

Item	Qty	Operation
100-1	3	AA

RO Size = 34" x 68"

Unit Size = 33 1/4" x 67 1/4"

Comments:

A Series Double-Hung, Low-E4 SmartSun, Standard , Grilles: Finelight, Specified Equal Light, Contour Finelight Grille Profile, No Simulated Check Rail, 3/4", White, White, 3W2H

Instructions to Manufacturer:

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.27	0.18	YES

Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	29.1875	29.0000	5.88000



Curin Residence Addition.dwg, A101, 6/10/2025, 16:38:05

COPYRIGHT CHRISTOPH H. HINTZE DRAFTING SERVICE 2021. ALL RIGHTS RESERVED.

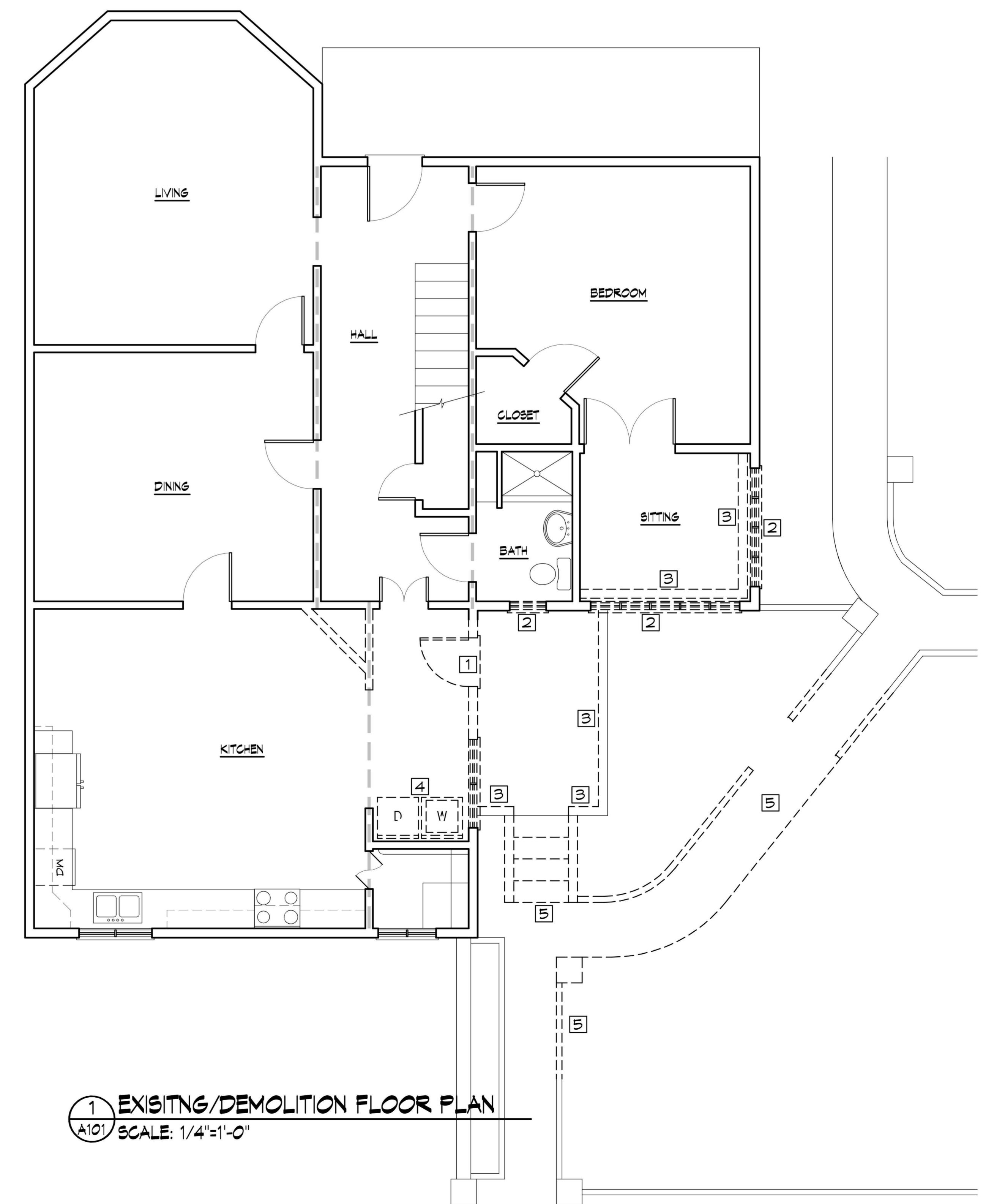
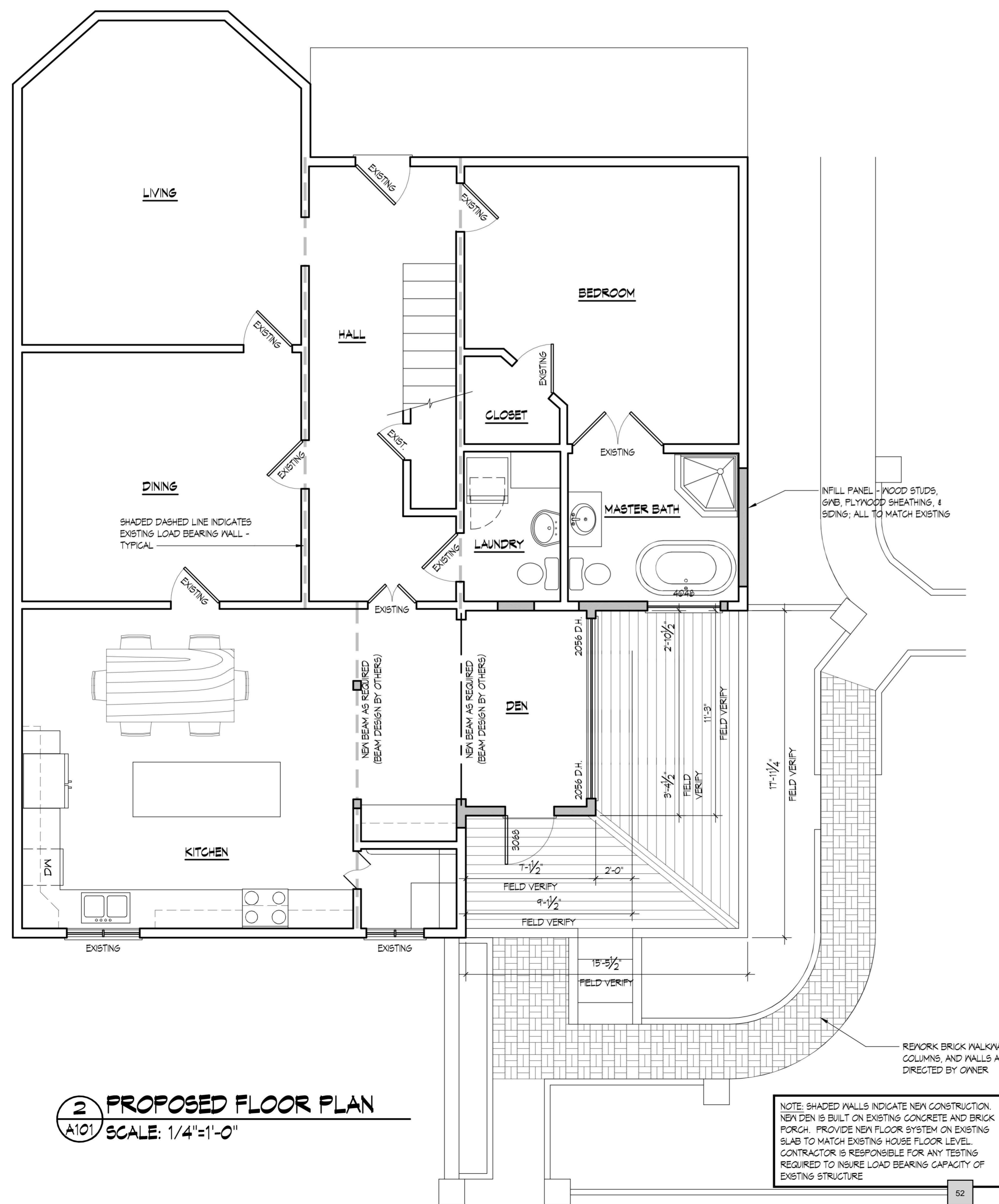
PROJECT NO.  
**2020004**

REVISIONS  
REVISION 1 - 12/22/2020  
REVISION 2 - 04/26/2021  
REVISION 3

ISSUED DATE:  
dd month yy

REVISION

- DEMOLITION NOTES**
- EXISTING WALL TO REMAIN
  - - - EXISTING WALL TO BE REMOVED
  - 1 REMOVE & DISCARD DOOR
  - 2 REMOVE & DISCARD WINDOW
  - 3 REMOVE & DISCARD GUARDRAIL
  - 4 REMOVE & DISCARD WASHER AND DRYER
  - 5 REMOVE & DISCARD EXISTING MASONRY STEPS AND SIDEWALK AS REQUIRED FOR ADDITION.



**Curin Residence Renovation & Addition**  
618 Anne Street  
Beaufort, North Carolina 28516

**Christoph H. Hintze**  
105 Banks Street  
Morehead City, North Carolina 28557  
252-732-6083  
email: chh.drafting@gmail.com

**Christoph H. Hintze**  
Drafting Service  
CHH  
First Floor Plan & Existing Floor Plan

SHEET NO.  
**A101**

NO PART OF THESE PLANS, DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS. USE OF THESE PLANS, DRAWINGS OR SPECIFICATIONS, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. ANY SUCH USE IS A VIOLATION OF FEDERAL LAW. CHRISTOPH H. HINTZE DRAFTING SERVICE WILL AGGRESSIVELY ENFORCE ITS OWNERSHIP RIGHTS, WILL SEEK LOST PROFITS, AND ENJOIN ANY REPRODUCTION HEREOF OR CONSTRUCTION UNDERTAKEN BY ANY PERSON.

PROJECT NO.  
**2020004**

REVIEWS  
REVIEW 1 - 12/22/2020  
REVIEW 2 - 04/26/2021  
REVIEW 3

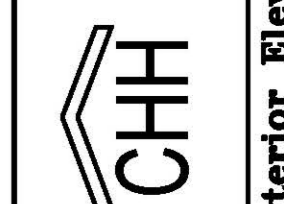
ISSUED DATE:  
dd month yy

REVISION

**Currin Residence Renovation & Addition**  
**618 Anne Street**  
**Beaufort, North Carolina 28516**

**Christoph H. Hintze**  
105 Banks Street  
Morehead City, North Carolina 28557  
252-732-6083  
email: chh.drafting@gmail.com

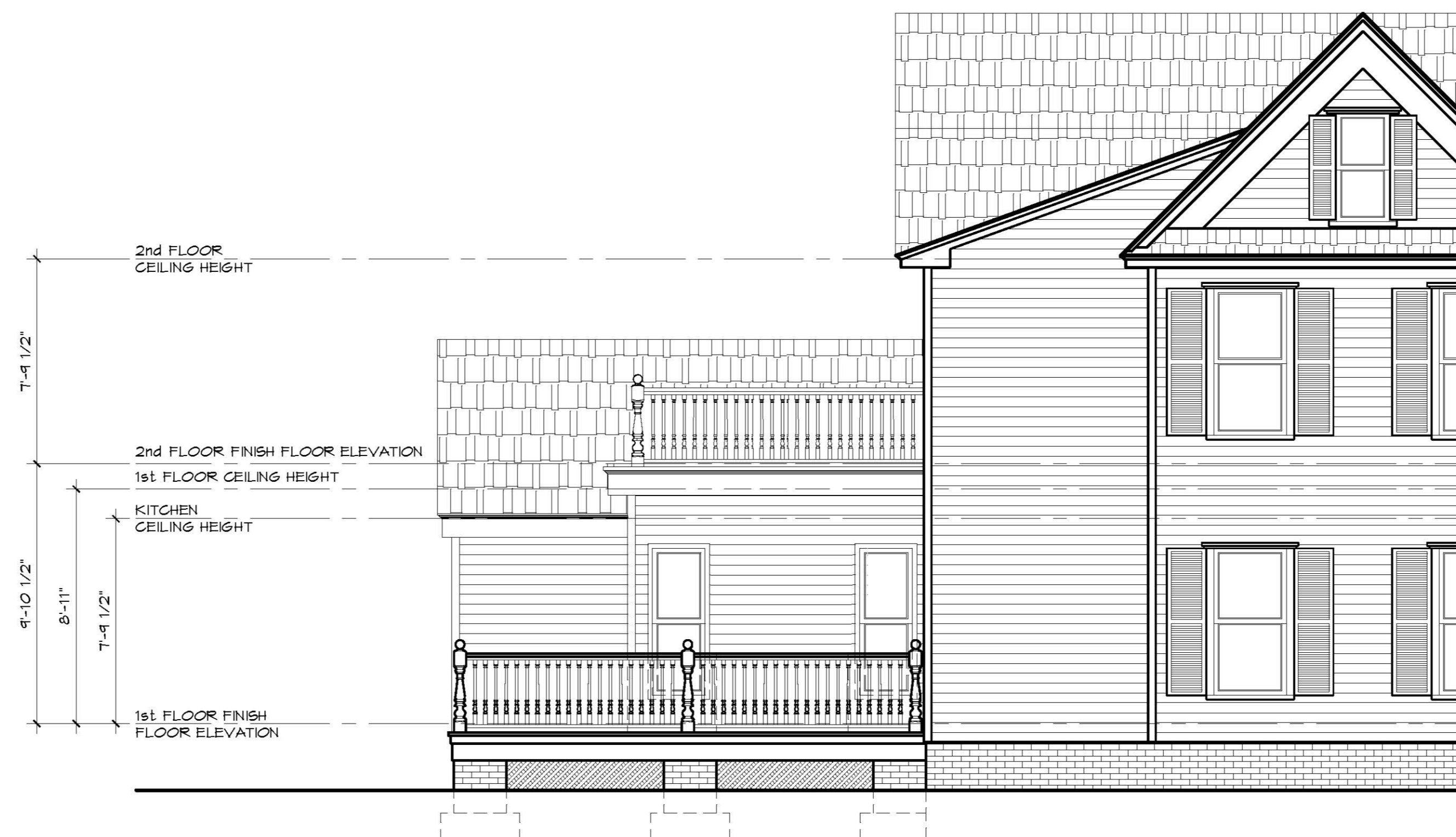
**Christoph H. Hintze**  
Drafting Service



SHEET NO.

**A201**

OF



**2 PARTIAL SIDE ELEVATION**  
A201 SCALE: 1/4"=1'-0"

**WATER INTRUSION PREVENTION NOTES:**

1. WHERE BUILDING PAPER IS ABOVE FLASHING, PAPER SHALL LAP OVER TOP OF FLASHING.
2. WHERE BUILDING PAPER IS BELOW FLASHING, FLASHING SHALL LAP OVER TOP OF PAPER.
3. BUILDING PAPER SHALL LAP OVER TOP OF FLASHING ABOVE WINDOWS AND DOORS.
4. DO NOT CAULK THE BOTTOM FLANGE OF SELF FLASHING WINDOWS.
5. CAULKING SHALL BE SONNEBORN NP-1.
6. PROVIDE COPPER FLASHING ABOVE ALL EXTERIOR DOORS & WINDOWS, EXTERIOR ENVELOPE PENETRATIONS, ROOF/WALL INTERSECTIONS, AND AT ALL LOCATIONS REQUIRED TO PROVIDE PROTECTION, AND A WEATHER TIGHT STRUCTURE.
7. SEAL AROUND THE MOUNTING BOXES OF ALL EXTERIOR LIGHT FIXTURES WITH CAULK SUCH THAT WIND DRIVEN RAIN CAN NOT PENETRATE BEHIND THE BUILDING PAPER OR SHEATHING.
8. PROVIDE WEATHER STRIPPING AT EXTERIOR DOORS.
9. DO NOT CAULK BOTTOM EDGE OF SIDING BOARDS.
10. DO NOT CAULK BOTTOM EDGE OF EXTERIOR WINDOW TRIM AT SILL.



**1 REAR ELEVATION**  
A201 SCALE: 1/4"=1'-0"





**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, March 3, 2026 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business

**SUBJECT:** Case # 26-05 907 Ann Street- Historic Plaque

**BRIEF SUMMARY:**

The owner wishes to obtain a Historic Plaque for the house at 907 Ann Street

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** March 3<sup>rd</sup>, 2026  
**Case No.:** 26-05

**Request:** Request for a Historic Plaque at 907 Ann Street

**Applicants:** Charles & Deborah Llewellyn  
 907 Ann Street  
 Beaufort, NC 28516

**Property Information:**

Owners: Same  
 Location: 907 Ann Street  
 PIN: 730506396415000

**Project Information:**

**C. 1924 House.** Stylish 1-story, 4-bay, bungalow has hipped roof, plain siding, wide eaves, and exposed rafter tails. 1 exterior brick chimney and 3/1, 4/1, and 5/1 sash. Hipped porch with tripled Doric columns and solid wood-shingled rail. Bay windows on front and side. On 1924 Sanborn Map. (SM).

This structure is located within the National Historic District not the Local Historic District.

**Proposed work:**

- Request for a Historic Plaque.

**Attachments:**

- Vicinity Map
- List of Adjacent Property Owners
- COA Materials submitted by the applicant

---

**Eligibility:**

1. Structure must be at least 100 years old.
2. Structure must not be subjected to extensive exterior remodeling nor be so altered that the architectural integrity of the structure no longer remains.

**Documentation:**

The documentation must be produced by the applicant. It is the responsibility of the applicant to do so or have done all the research necessary to provide the documentation to the Historic Preservation Commission. Included in the document should be:

Written proof of the date of construction, or the earliest date of reference in the tax records, to show that the structure existed. Any records can be used to substantiate the existence of the structure, including early maps of the area, or other comparable documentation (with verification by outside sources if necessary) at the Historic Preservation Commission’s discretion. In addition, there must be visible evidence of construction methods of the period. Other information to be included: photos of each side of the outside, photos of interior features used in determining age, scaled map of the lot on which the structure stands indicating all changes in lot by deed(s).

**Plaque Guidelines:**

**4.2.1**

If the request to obtain a plaque is granted, the applicant will receive written permission from the Beaufort Historic Preservation Commission. This permission will state the earliest name and date as determined by the Beaufort Historic Preservation Commission. No other information may be placed on the plaque.

**4.2.2**

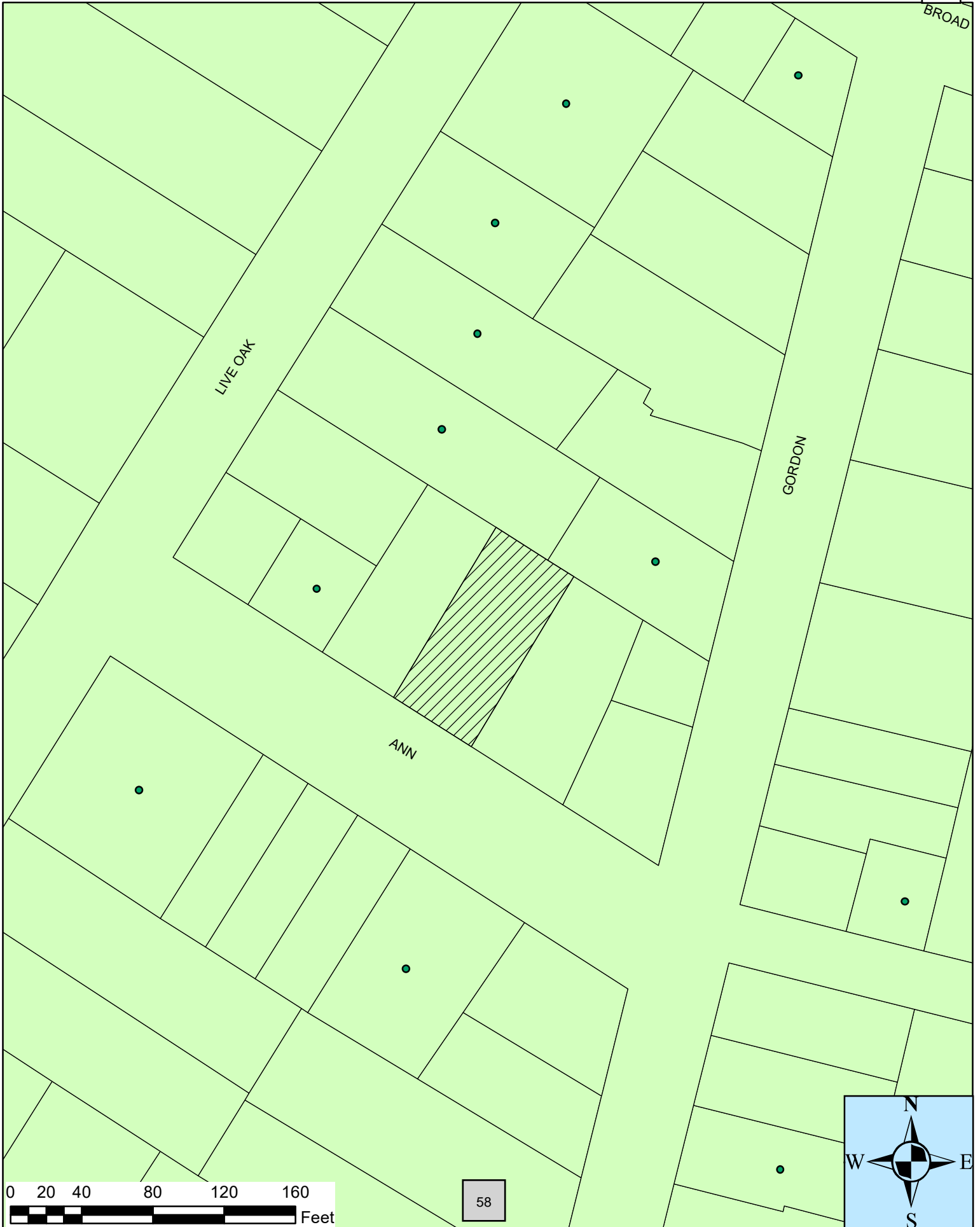
The applicant will be responsible for all expenses of obtaining the plaque and its maintenance. Once a plaque is received by the applicant, it is the responsibility of the owner not to make changes that would alter the architectural integrity of the structure.

**4.2.3**

The plaque should be to the exact specifications of the Historic Preservation Commission. If future changes not appropriate to the original documentation which govern the issued plaque occur, the Commission has the right to request the removal of the plaque.

# Case # 26-05 907 Ann Street- Historic Plaque

2.



**OWNER**

909 ANN STREET LLC  
FORRESTER THOMAS A JR  
HARTMAN MICHAEL W ETUX PATRICI  
NORRIS LEE ETAL GERDA STEIN  
READ STEPHANIE CRISPIN  
SEARLES GEORGIANA M  
SMITH JOHN TUCKER  
THE BRONWYN B LLEWELLYN REV TR

**FullMailin**

2401 FRONT ST BEAUFORT, NC 28516  
204 LIVE OAK ST BEAUFORT, NC 28516  
912 ANN STREET BEAUFORT, NC 28516  
221 WESTPARK DRIVE RALEIGH, NC 27605  
910 ANN ST BEAUFORT, NC 28516  
1800 WOODBURN RD DURHAM, NC 27705  
209 GORDON ST BEAUFORT, NC 28516  
C/O CHARLES & DEBORAH LLEWELLYN 907 ANN ST BEAUFORT, NC 28516

907 Ann Street  
Beaufort, North Carolina 28516

January 22, 2026

Historic Preservation Commission  
Town of Beaufort  
701 Front Street  
Beaufort, NC 28516

Dear Historic Preservation Commission:

We, the owners of the Capt. Ned Lewis house, located at 907 Ann Street in Beaufort, request the Beaufort Historical Association to help us obtain a Historic Plaque for our home. The house was included in the Beaufort Historical Association Old House and Garden tours in 2019 and 2024, and the 2025 Christmas Tour.

At the Lewis family’s suggestion, we request the plaque read “Capt. Ned Lewis house”. As we haven’t been able to find a firm date of construction, we suggest “c. 1919”, which is when the last of the land was deeded to the owner/builder Edward Stanley Lewis.

Please find attached documentation supporting our request according to the guidelines. Please let us know what is further required.

We look forward to working with you on this project.

Sincerely,



Charles Llewellyn  
charles.llewellyn@gmail.com



Deborah Llewellyn  
deborah.llewellyn@gmail.com

Attachments:

1. Application
2. The Capt. Ned Lewis House, notes from Charles Llewellyn
3. Avendale House ad from *Houses by Mail, A guide to Houses from Sears, Roebuck and Company*. John Wiley, 1986. Pg 242.
4. “Capt. Ned – A Local Success Story” by Stephen Goodwin. *The Researcher/Winter* 2004.
5. 2026 Photos
6. Copies of Deeds

7. Copy of latest Survey
8. Undated photo of 907 Ann Street with original porch steps, from Lewis family
9. Undated Photo of Capt. Ned, from Lewis family

**APPLICATION FOR STRUCTURE HISTORIC PLAQUES**

DIRECTIONS: "USING THE GUIDELINES FOR OBTAINING PLAQUES"  
PLEASE ANSWER THE FOLLOWING QUESTIONS AND  
GIVE PERTINENT INFORMATION.

1. **Property Owner(s)**  
Charles Elroy Llewellyn III and Deborah Llewellyn  
\_\_\_\_\_  
  
Address  
907 Ann Street, Beaufort NC 28516  
\_\_\_\_\_  
  
Telephone number  
Charles (919) 599-2147    Deborah (252) 646-1661  
\_\_\_\_\_
2. **Address of Property**  
907 Ann Street  
\_\_\_\_\_
3. **Year building/structure was built**  
1919  
\_\_\_\_\_
4. **Builder's name (if known)**  
Edward Stanley Lewis  
\_\_\_\_\_
5. **Architect's name (if known)**  
Sears and Roebuck Company  
\_\_\_\_\_
6. **First Owner (if known)**  
Edward Stanley Lewis  
\_\_\_\_\_
7. **Describe architectural style of building**  
American Arts and Craft Bungalow. Listed by Sears and Roebuck as "The Avondale"  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
8. **Important or interesting facts about the building/structure (can be answered on a sheet of paper.)**  
See attached

Application for Historic Plaque-  
Page 2

9. Please attach documentation regarding age and style of structure as well as current pictures of the front. If an early picture of the building/structure is available, please include it.

See attached

10. What visible evidence of construction methods of the period can be found?

All walls, windows, doors, moulding, hinges are original Sears.

---

---

---

---

11. What records can be used to substantiate the existence of this structure?

Deeds and census records

---

Lewis Family: Contact Libby McCarthy Email: [lnmcarthy1@gmail.com](mailto:lnmcarthy1@gmail.com)

---

Phone: (252) 732-5354

---

**ADJACENT PROPERTY OWNERS**

Name: Lee Noris  
Address: 905 Ann Street  
Phone: (919) 637-7587

Name: Charles (Bucky) Oliver  
Address: 909 Ann Street  
Phone: (919) 349-5588

Name: Thomas Forrester  
Address: 204 Live Oak Street  
Phone: \_\_\_\_\_

Name: John Smith  
Address: 207 Gordon Street  
Phone: \_\_\_\_\_

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

## **GUIDELINES FOR OBTAINING PLAQUES**

(from the *Design Guidelines for the Beaufort Historic District & Landmarks*)

### **PURPOSE:**

1. To identify structures worthy of note.
2. To encourage recognition of this fact by preservation and appreciation.
3. To become aware of other historic facts through the research required to obtain a plaque.

### **ELIGIBILITY:**

1. Structure must be at least 100 years old.
2. Structure must not be subjected to extensive exterior remodeling nor be altered so that the architectural integrity of the structure no longer remains.

### **PROCEDURE:**

Formal written request is to be submitted to the Beaufort Historic Preservation Commission (BHPC). In the request should be the documentation as outlined below.

### **DOCUMENTATION:**

The documentation requested in this application, must be produced by the applicant. It is the responsibility of the applicant to do or have done all the research necessary to provide the documentation to the Beaufort Historic Preservation Commission. Included in the documentation should be:

- Written proof of the date of construction or the earliest date of reference in the tax records to show that the structure existed.
- Any records can be used to substantiate the existence of the structure, including early maps of the area, or other comparable documentation (with verification by outside sources if necessary) at the Commission's discretion. In addition, there must be visible evidence of construction methods of the period.
- Other information to be included: photos of each side the outside, photos of interior features used in determining age, scaled map of the lot on which the structure stands indicating all changes in lot by deed(s).

### **PLAQUE GUIDELINES:**

- 4.1.1 If the request to obtain a plaque is granted, the applicant will receive a written letter from the Beaufort Historic Preservation Commission. The letter will state the earliest name and date as determined by the Commission. No other information may be placed on the plaque.
- 4.1.2 The applicant will be responsible for the expenses of the plaque for and its maintenance. Once a plaque is received by the applicant, it is the responsibility of the owner/applicant not to make changes that would alter the architectural integrity of the plaqued structure.
- 4.1.3 The plaque should be to the exact specifications of the Commission. If future changes of the plaqued structure not appropriate to the original documentation which govern the plaque issued, the Commission has the right to request the removal of the plaque.

## The Capt. Ned Lewis House c 1919

This house was built around 1919 by Edward Stanley Lewis. Capt. Ned was born in poverty in 1875 in Beaufort and orphaned at age six. He never attended school and was illiterate his whole life. Ned had to struggle to stay alive and try to keep his siblings together. Family lore says that he had no shoes and had to wrap his feet with cardboard bound by rags in the winter. He began working as a child on fishing boats in the Menhaden fleet. Ned excelled at his job and eventually earned his Coast Guard Captains license. He made enough to rent and later buy the house at 905 Ann St. (next door) to reunite his family.

The house was owned the Smiths, who lived across the street at 912 Ann Street, plaqued as "William h. Smith house c1874", and owned several houses on this block. Ned and the Smith's daughter, Nettie, became sweethearts and fell in love. When he proposed marriage, Nettie's parents flatly rejected him as a poor illiterate renter, unsuitable for their family's status. After their marriage in 1905, Nettie moved into the 905 house with the Lewis family and Ned promised his bride to build her a fine home. He began purchasing the land on the vacant lot at 907 Ann St. in 1911, and 1919, according to county records. He then mail-ordered an Avondale Sears Modern Home from Sears Robuck, which cost \$1,242 probably in 1919. It arrived on two boxcars with a 76 page instruction manual. Ned hired someone to read the instructions to him and built the house himself. A testament of his love to Nellie!

The Sears Avendale House was advertised in the Sears catalogue as "A fine example of a modern bungalow, conveniently arranged, perfectly lighted and ventilated with a great many large windows. Pronounced a success by practical builders. The colonial columns and balustrade work are up-to-date features which are only being used only in high-priced homes."

The house changed hands several times after Ned's death in 1962:

DATE	FROM	TO
10/8/1968	Lewis estate	James M. Fleming
12/22/1992	James M Fleming	Judson College
6/15/1993	Judson College	Mildred Holt
3/25/1998	Mildred I. Holt	Richard McGavern & Ellen Kirby

11/9/06 Richard McGavern & Steven & Christine Klein  
Ellen Kirby

9/14/22 Steven & Christine Klein Charles & Deborah Llewellyn

All the owners took great care to preserve the fine American Craftsman aspects of Ned’s original house, including the stain glass windows, moldings and door hinges. Modifications to the original blueprint include:

- Closing in the open passage between the Living Room and Dining room with two glass front cases and French doors. This was probably done to keep the fireplace heated living room warm. Date: unknown
- Originally the steps leading up to the front porch went out to the sidewalk. These were replaced by a landing with steps going down each side. Date: unknown, (See photo of original steps and construction debris still exists under the porch).
- There are double ceilings throughout the first floor, with the second ceiling a couple of inches below the first. Date: Unknown.
- The steps from the back porch go straight North. This may have been done in the original construction.
- A stairway and door were installed on the North side of the Dining room leading up to an unfinished attic.
- The Dining room was further shortened with a coat closet added to the passageway.
- The third bedroom was changed into a second bath room, expanding the size of the kitchen. These three changes were probably done at the same time.
- The kitchen was completely upgraded and renovated by the Klines in 2021/2023.
- A “She Shed” out building was constructed North of the house and a concrete driveway was poured, wrapping around to the back of the house. Date: unknown.
- A chain link fence was raised between the house and the neighbors to the East. Date: unknown.
- Electrical, plumbing and heating systems have been upgraded. The fireplace was converted to gas logs. Date: Unknown.
- Storm windows were added to the original double hung windows. Date: Unknown
- The crawlspace was insulated and floor insulation removed by the Klines. Date: 2020
- Solid foam insulation was installed by the Klines to use the attic as an office. Date 2020.

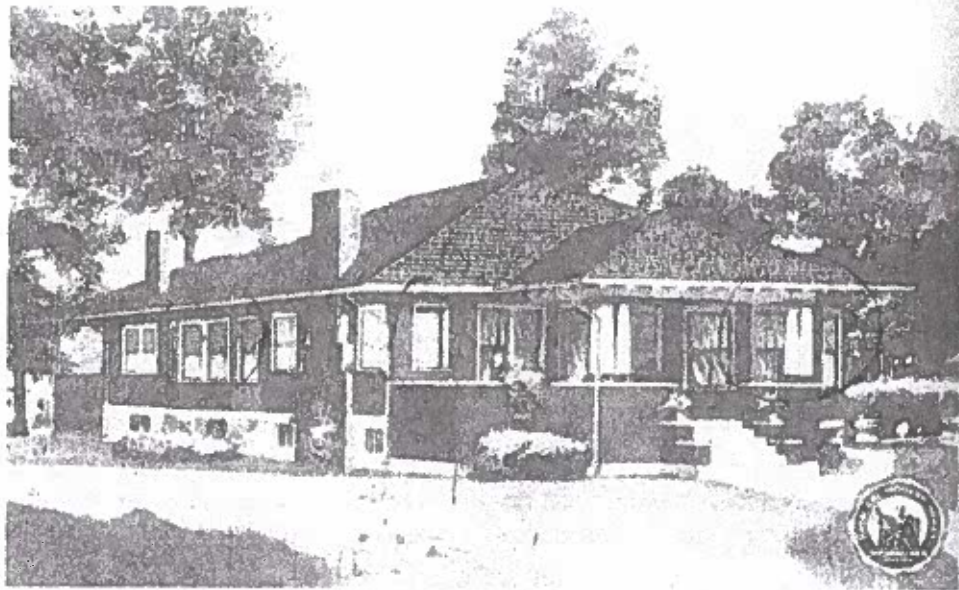
Charles and Deborah Llewellyn purchased the property in 2022 from Steve and Christine Kline. They made the following modifications in 2023.

- Finished off the attic by added dormers on the east and west side, leveling and flooring the space and steps with reclaimed heart pine, adding a full bath, kitchenette and built-in bookcase. Original or reproduced doors, molding, and hinges were used throughout. A French glass door was installed at the foot of the attic stairs.
- The concrete Driveway was replaced with a permeable brick drive extending to the back of the house
- A wooden Beaufort fence was installed, over a brick wall.
- A brick carriage house was added on the North side of the property as a woodworking shop, with electricity which was extended to the "She Shed".
- A built-in grill and sink were added to the West of the She Shed.
- An outdoor shower was added to the North East corner of the house.
- A swim spa was added to the north of the house with a deck leaded from the second bedroom with a French door replacing an original window.
- The Master Bathroom was remodeled, reducing the size of the existing windows to allow a walk-in shower. All trim molding, doors and hinges replicated or replaced with originals found in the attic or crawlspace.

Except for the attic dormers, none of the renovations done by the Llewellyns have altered the original appearance of the home from the street.

Charles Llewellyn  
January 2026

# THE AVONDALE



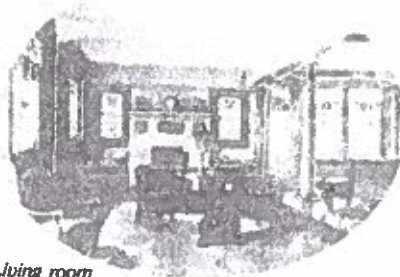
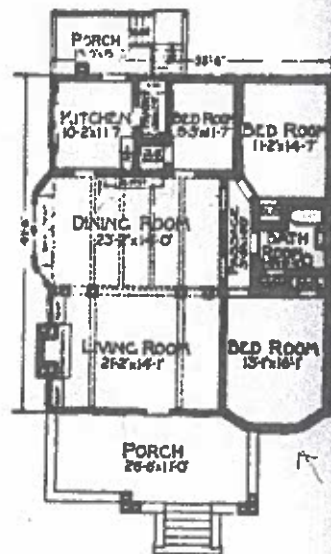
A fine example of a modern bungalow, conveniently arranged, perfectly lighted and ventilated with a great many large windows. Pronounced a success by practical builders. The colonial columns and balustrade work are up-to-date features which are being used only in high-priced houses.

**Details and features:** Front porch with hipped roof and tapered columns; front door glazed with beveled plate glass. Fireplace flanked by window seats and colored leaded art glass in living room; beamed ceiling in living and dining rooms; built-in buffet and mirror in dining room.

**Years and catalog numbers:** 1911 (151); 1912 (151); 1913 (151); 1916 (264P151, 2006); 1917 (C2006, C151); 1918 (2006); 1921 (7006); 1922 (17006)

**Price:** \$1,198 to \$2,657

**Locations:** Greeley, Colo.; Shelton, Conn.; Des Plaines, Ill.; Culver, Ind.; Ames, Iowa; Wichita, Kans.; Mexico, Ky.; Boston, Mass.; Breckenridge, Mich.; Marks, Miss.; Lewiston, Mo.; Alliance, Neb.; Ithaca, N.Y.; Coats, N.C.; Dayton, Ohio; Ridgway, Pa.; Elroy, Wis.



Living room



Capt. Ned - A Local Success Story.

## CAPT. NED - A LOCAL SUCCESS STORY By Stephen Goodwin

The story of Edward Stanley Lewis begins on July 19, 1875, which is the date of his birth in Beaufort, N. C., to Elijah H. and Edith Hamilton Lewis. His parents died when Edward was about ten years of age. Luckily, a family in Beaufort, David Edward (Ed) Robinson and his wife, Mary, took him in and raised him along with their own family. Because their home on Gordon Street was not large enough to accommodate another person, the Robinsons built a small room in their attic for young Edward to live.

Times were not easy for Edward Lewis during his early years. He did not attend school at all, having to work and earn money at whatever jobs he could find. At the age of thirteen, he was working on a boat owned by Captain John Beveridge. One of the jobs Edward had as a youth was as a cabin boy on a lumber barge working the waters of Carteret County- Oystering was another way he was able to make money. Edward could not afford to have a pair of boots, so during the winter months he would wrap his feet in newspapers and then put each of them in burlap bags, securing the bags to his legs so that his feet would be as warm as possible.

From the beginning of his early career, working on the water became a definite part of Edward's life. Not only did it provide a necessary source of income, it was the life he grew to love and enjoy. As he grew older, Edward was able to advance as he took on more responsible jobs. He made many trips helping to ferry yachts from New York to Miami and return. He later became a popular pilot on this circuit. In addition, Edward became involved in sports fishing and captained party boats out of Beaufort.

As another way of earning an income, Edward spent a lot of hours working with the men and boats

involved with taking vessels into and out of the Beaufort Bar. His maritime skills and work experience enabled him to obtain a captain's license, with his last license being issued at the age of seventy-one. This spoke very well for a once orphaned youth with absolutely no classroom education. Somewhere along the waterway of life, Edward was bestowed with the moniker "Capt. Ned", a nickname that would be with him for the remainder of his life and even today.

In 1905, Edward married Nettie L. Smith. Together they were to have three children: Violet, born in 1906, and twins, William and Fred, born in 1908. The family lived in Beaufort. Their last residence was a large Sears-Roebuck built home, which was located on Ann Street.

The call of the water continued to play a major role in the life of Capt. Ned. He became involved with menhaden fishing, working at different capacities on local boats. He soon worked his way up to captain, with his first boat being the Sadie E. Culver, fishing out of E. W. Levering's Gallant's Point factory. As he had proved in his past endeavors, Capt. Ned was also a successful menhaden fisherman. During his career he was the captain of nine other menhaden vessels: Wyona, W. A. McIntosh, W. A. Mace, Parkins, J- Earle Morris, Doswell S. Edwards, Benjamin L. Bishop, West Beaufort, and the Evelyn L. Willis. During his fishing career, Capt. Ned not only worked the waters off North Carolina, he also fished out of Fernandina, Florida, and Port Monmouth, New Jersey. He was respected by his crew, being recognized as a fair, impartial and demanding captain.

Following World War II, the United States Navy sold a number of wooden submarine chasers, some of which made their way into us- the menhaden indus-

The Researcher/Winter 2004

fry. About this time, Mr. F. R. Bell, a well known druggist in Beaufort, and Mr. Alonzo Willis, who was involved with the Standard Oil Marine facility along the Beaufort waterfront, decided to purchase one of the military vessels and go into the menhaden fishing business. They turned the task of converting the military vessel into a menhaden fisherman over to Capt. Ned. This he did successfully. In addition, the two owners were able to get him to serve as captain of the newly converted Evelyn L. Willis during her first year of fishing. He had a good year with the boat, which was Capt. Ned's last year of fishing.

During his later years, Capt. Ned was known by many people in the community for his care and concern for others. It was not unusual for those in need to seek him out for aid and assistance. He financed the start-up of at least one business in Beaufort, allowing a young businessman the opportunity for a successful livelihood. The good captain never forgot his meager beginnings and what it meant to be poor.

Capt. Ned died at his home on January 11, 1962. The epitaph on his grave very appropriately states the following:

The form that fills this silent grave  
Once tossed on ocean's rolling wave But,  
in a port securely fast  
Has dropped his anchor here at last.

Sources:

Family of William Lewis  
Capt. Charlie C. Lewis, Beaufort, NC  
North Carolina Maritime Museum, Beaufort, N. C.  
Ralph Robinson, Beaufort, NC

Capt. Ned Lewis House  
907 Ann Street



Street View



Left Side

Capt. Ned Lewis House  
907 Ann Street



Back Side



Right Side

**907 Ann St. Beaufort, NC**

**Part of I-36 NEW TOWN**

<u>BOOK</u>	<u>PAGE</u>	<u>DATE</u>	<u>GRANTOR</u>	<u>GRANTEE</u>
1864124		8/20/25	Charles Llewellyn III	Charles Llewellyn III trust
1779300		9/14/22	Steven & Christine Klein	Charles Llewellyn III
1197367		11/9/06	Richard McGavern & Ellen Kirby	Steven & Christine Klein
821	61	3/25/1998	Mildred I. Holt	Richard McGavern & Ellen Kirby
715	222	6/15/1993	Judson College	Mildred Holt
705	372	12/22/1992	James M Fleming	Judson College
305	316	10/8/1968	Fred G. Lewis, Elsie Lewis William Lewis, Grace Lewis Violet L. Willis, J. Webster Willis	James M. Fleming & Elizabeth Pugh Fleming
29	282	11/3/1919	Graham & Mary Alice Duncan	Edward Lewis
29	281	11/3/1919	William E. & Emma Guthrie	Graham W. Duncan
24	556	01/15/1919	Cecil W & Hattie Parkins	Ed Lewis
WW	331	07/12/1901	T.M. & Laura R. Thomas	Edward Lewis

book WW

State of North Carolina }  
Carter County

This Deed made this the 12th day of July 1901, by J.M. Thomas and Laura P. Thomas of Carter County, and State of North Carolina of the first part, to Edward Lewis, of Carter County and State of North Carolina, of the second part; Witness my hand said J.M. Thomas, and Laura P. Thomas, in consideration of fifty dollars, to them paid by Edward Lewis, the receipt of which is hereby acknowledged, have bargained and sold, and by these presents do bargain, sell and convey to said Edward Lewis and his heirs and assigns, a certain tract or parcel of land in Carter County State of North Carolina, adjoining the lands of the late Elijah Fullford on the north - Harriet Henry on the east and others, bounded as follows, viz: Beginning at the South east corner of James Congleton's line which - running parallel with said line is 99 feet from the South west corner of lot number 36 New Town, Beaufort, N.C. running thence easterly parallel with said line 49 1/2 feet thence northerly 55 feet to Elijah Fullford's line; thence with said Elijah Fullford's line, thence northerly 49 1/2 feet to James Congleton's North East corner; thence southerly with James Congleton's line 55 feet to the beginning see and from Allen to Mason, wife to J.M. Thomas, recorded in Book N.W. page 199. Records of Carter County. To have and to hold the aforesaid tract or parcel of land, and all privileges and appurtenances thereto belonging to the said, Edward Lewis and his heirs and assigns, to his only use and behoof forever, and the said J.M. Thomas, and Laura P. Thomas, covenant with said Edward Lewis, and his heirs and assigns, that they are seized of said premises in fee, and her right to convey is full and simple; that the same are free and clear from all incumbrances, and that they will warrant and defend the said title to the same against the claims of all persons, whomsoever. In testimony whereof, the said J.M. Thomas & Laura P. Thomas, have hereunto set their hands and seals, the day and year above written.

attest  
L. A. Garner

J. M. Thomas (Seal)  
Laura P. Thomas (Seal)

State of North Carolina }  
Carter County

I L. A. Garner Clerk of the Superior Court, hereby certify that J.M. Thomas and Laura P. Thomas, his wife personally appeared before me this day and acknowledged the due execution of the annexed deed of conveyance; and the said Laura P. Thomas being by me privately examined, separately and apart from her said husband, touching her voluntary execution of the same doth state that she signed the same freely and voluntarily, without fear or compulsion of her said husband, or any other person, and that she doth still voluntarily assent thereto; Let the same with this certificate be registered; Witness my hand and seal this 12th day of July A.D. 1901.

L. A. Garner  
Clerk Superior Court.



Book 29 - Page 280

STATE OF NORTH CAROLINA - Carteret County

THIS DEED, Made this 29th day of December, 1911, by James Johnson and wife, Willie Johnson of Carteret County and State of North Carolina, of the first part, to Willie Jenkins of Carteret County and State of North Carolina, of the second part: WITNESSETH, That said James Johnson and wife, the receipt of which is hereby acknowledged, have bargained and sold, and by these presents do bargain, sell and convey to said Willie Jenkins and heirs and assigns, a certain tract or parcel of land in Carteret County, State of North Carolina adjoining the lands of John Williams and Ned Lewis and others, bounded as follows, viz: Being Part Lot No 36 West Town, Receipt No. and known as the homestead house and lot of David Henry decd.

Rec 514 Stamp

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges and appurtenances thereto belonging, to the said Willie Jenkins and his heirs and assigns, to have only use and behoof forever.

And the said parties of the first part covenant with said parties of the second part their heirs and assigns, that they will warrant and defend the said title to the same against the claims of all persons whomsoever.

IN TESTIMONY WHEREOF, the said parties of the first part have hereunto set their hands and seals, the day and year first above written. James Johnson (Seal) Willie Johnson (Seal)

NORTH CAROLINA - Carteret County.

I, Mary P. Bell, in and for said county and State, do hereby certify that James Johnson and Willie Johnson, his wife, personally appeared before me this day and acknowledged the due execution of the foregoing deed of conveyance and the said being privately examined, separate and apart from her said husband, touching her voluntary execution of the same, doth state that she signed the same freely and voluntarily, without fear or compulsion of her said husband or any other person, and that she doth still voluntarily assent thereto. Let the same, with this certificate, be registered. Witness my hand and seal, this 29 day of Dec, 1911. Mary P. Bell, Notary Public

NORTH CAROLINA - Carteret County.

I, in and for said county and State, do hereby certify that personally appeared before me this day and acknowledged the due execution of the foregoing instrument, for the purposes therein expressed. Let the same, with this certificate, be registered. Witness my hand and seal, this day of 19.

NORTH CAROLINA - Carteret County. The execution of the foregoing instrument was this day proven before me by the oath and examination of the subscribing witness thereto. Let the same, with this certificate, be registered. this day of 19.

NORTH CAROLINA - CARTERET COUNTY. The foregoing certificate of: James Johnson of Carteret County, is adjudged to be correct. Let the instrument, with this certificate, be registered. Witness my hand and official seal, this 4th day of December, 1911. H. J. Rieppert, Clerk Superior Court.

Filed for registration Dec 4, 1911. Registered Dec 5, 1911.

book 29

281

STATE OF NORTH CAROLINA—Carteret County

THIS DEED, Made this 1st day of November, 1919; by William E. Guthrie  
and wife Emma Guthrie  
of Carteret County and State of North Carolina, of the first part, to  
of Richard M. Mowbray County and State of North Carolina, of the second part:  
WITNESSETH, That said James H. the first part  
in consideration of Ten Dollars and other good and valuable considerations Dollars, to  
them paid by part of second part the receipt of which is hereby acknowledged, has  
bargained and sold, and by these presents do bargain, sell and convey to said Richard M. Mowbray  
his heirs and assigns, a certain tract or parcel of land in Carteret County, State of North Carolina  
adjoining the lands of John Williams and Ned Jones

and others, bounded as follows, viz:  
Part of Lot No 36 New Town Belmont N.C. and known as the  
Harrison's home and lot of David Henry being 49 1/2 feet of land  
the running back parallel with South St. 50 feet

Dec 5th 1919

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges and appurtenances thereto belonging, to the said  
part of second part heirs and assigns, to them only use and behoof forever.

And the said part of the first part by themselves and their heirs executors and assigns in several  
covenant with said part of the first part heirs and assigns, that they  
shall defend the said title to the same against the claims of all persons whomsoever.

In TESTIMONY WHEREOF, the said part of the first part  
have hereunto set their hand and seal, the day and year first above written.

William Guthrie (Seal)  
Emma Guthrie (Seal)

Attest: \_\_\_\_\_ (Seal)

NORTH CAROLINA, Carteret County.

I, Joe Arthur Notary Public in and for said county and State, do hereby  
certify that William Guthrie and Emma Guthrie his wife, personally appeared  
before me this day and acknowledged the due execution of the foregoing deed of conveyance; and the said Emma Guthrie  
being by me privately examined, separate and apart from her said husband, touching her voluntary execution of the same, doth state that she signed the same freely and  
voluntarily, without fear or compulsion of her said husband or any other person, and that she doth still voluntarily assent thereto. Let the same, with this certificate,  
be registered.

Witness my hand and official seal, this 9 day of Nov, 1919.  
Joe Arthur Notary Public

NORTH CAROLINA, \_\_\_\_\_ County.

I, \_\_\_\_\_ in and for said county and State, do hereby  
certify that \_\_\_\_\_ personally appeared before me this day and acknowledged the due execution of  
the foregoing instrument, for the purposes therein expressed. Let the same, with this certificate, be registered.  
Witness my hand and \_\_\_\_\_ seal, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

NORTH CAROLINA, \_\_\_\_\_ County.  
The execution of the foregoing instrument was this day proven before me by the oath and examination of  
the subscribing witness thereto. Let the same, with this certificate, be registered.  
this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

NORTH CAROLINA—CARTERET COUNTY.  
The foregoing certificate of Joe Arthur of Carteret County,  
is adjudged to be correct. Let the instrument, with this certificate, be registered.  
Witness my hand and official seal, this 1st day of November, 1919.  
H. J. Purpus Clerk Superior Court.

Filed for registration Nov 3d, 1919. Registered Nov 5, 1919.

book 29

STATE OF NORTH CAROLINA—Carteret County

THIS DEED Made this 24 day of December 1919 by Abraham W. Hancock and Mary Alice Hancock his wife of Carteret County and State of North Carolina of the first part, to Edward Lewis of Carteret County and State of North Carolina of the second part:

WITNESSETH, That said party of the first part in consideration of Ten Dollars, to them paid by said party of the second part, the receipt of which is hereby acknowledged, has bargained and sold, and by these presents do bargain, sell and convey to said party of the second part, heirs and assigns, a certain tract or parcel of land in Carteret County, State of North Carolina adjoining the lands of John Williams and Ned Lewis and others, bounded as follows, viz:

Being part of Lot No. 26, West Side, Block No. 10 and 11, as shown on the map of said block, same being 1912 lot on Ann Street, running north parallel with said lot No. 15, 15 ft.

Rec 574 Stamp

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges and appurtenances thereto belonging, to the said party of the second part, heirs and assigns, to them only use and behoof forever.

And the said party of the first part, in testimony and that she is executing and conveying with said party of the second part, heirs and assigns, that they are seized of said premises in fee, and have full right to convey in fee simple; that the same are free and clear from all encumbrances, and that they warrant and defend the said title to the same against the claims of all persons whomsoever.

In Testimony Whereof the said Abraham W. Hancock and Mary Alice Hancock his wife, hereunto set their hands and seal, the day and year first above written.

Abraham W. Hancock (Seal)
Mary Alice Hancock (Seal)
(Seal)

Attest: NORTH CAROLINA, Carteret County.

I, Joe Gordon Notary Public, in and for said county and State, do hereby certify that Abraham W. Hancock and Mary Alice Hancock, his wife, personally appeared before me this day and acknowledged the due execution of the foregoing deed of conveyance; and the said Mary Alice Hancock, being by me privately examined, separate and apart from her said husband, touching her voluntary execution of the same, doth state that she signed the same freely and voluntarily, without fear or compulsion of her said husband or any other person, and that she doth still voluntarily assent thereto. Let the same, with this certificate, be registered.

Witness my hand and official seal, this 2 day of Dec 1919. Joe Gordon Notary Public

NORTH CAROLINA, in and for said county and State, do hereby certify that personally appeared before me this day and acknowledged the due execution of the foregoing instrument, for the purposes therein expressed. Let the same, with this certificate, be registered. Witness my hand and seal, this day of 19

NORTH CAROLINA, The execution of the foregoing instrument was this day proven before me by the oath and examination of the subscribing witnesses thereto. Let the same, with this certificate, be registered. this day of 19

NORTH CAROLINA—CARTERET COUNTY. The foregoing certificate of Joe Gordon Not of Carteret County, is adjudged to be correct. Let the instrument with this certificate, be registered. Witness my hand and official seal, this day of 1919. Clerk Superior Court

Filed for registration Nov 3 1919 Registered Nov 5 1919

*Bank (US Bank)*

*907 Ann St.  
Beaufort*

WARRANTY DEED - Without Private Examination Herald Printing Co., Morehead City, N. C.

NORTH CAROLINA, Carteret County.

THIS DEED, Made this 27th day of September A. D. 1968  
by Fred G Lewis and wife, Elsie M Lewis; William E Lewis and wife, Grace H Lewis; and Violet L Willis and husband, J Webster Willis

of Carteret County and State of North Carolina  
of the first part, to James Mercer Fleming and wife, Elizabeth Pugh Fleming

of Carteret County and State of North Carolina  
of the second part;

WITNESSETH, That said parties of the first part  
in consideration of ten Dollars,  
to them paid by the parties of the second part  
the receipt of which is hereby acknowledged, ha ve bargained and sold, and by these presents do grant, bargain, sell  
and convey to said parties of the second part  
their heirs and assigns, a certain tract or parcel of land in Carteret  
County, State of North Carolina more particularly described as follows:

In Beaufort Township, BEGINNING at the Southwest corner of the W H Smith heirs' lot on the North side of Ann Street; thence Northwardly with the W H Smith heirs' West line 110 feet to Nora Gilbert's South line; thence with Nora Gilbert's South line Westwardly 51.6 feet more or less to the Dudley North-east corner; thence Southwardly with the Dudley East line 110 feet to the North side of Ann Street; thence with the North side of Ann Street Eastwardly 51.6 feet more or less to the point of BEGINNING. See the following deeds for title reference: Book WW page 331; Book 24 page 556; Book 29 page 281; Book 29 page 282, all of record in the Carteret County Registry. Being 146.4 feet from the Northeast corner of the intersection of Live Oak Street and Ann Street.

CARTERET COUNTY 21199 STATE OF NORTH CAROLINA OCT-9-68 Real Estate Excise Tax RE. 10715 09.00

TO HAVE AND TO HOLD the aforesaid tract or parcel of land, and all privileges and appurtenances thereto belonging, to the said parties of the second part, their heirs and assigns, to their only use and behoof forever.

*9.00*

And the said parties of the first part  
for them sel ves and their heirs, executors and administrators, covenant with said parties of the second part, their heirs and assigns, that they are seized of said premises in fee and ha ve right to convey in fee simple; that the same are free and clear from all encumbrances and that they do hereby forever warrant and will forever defend the sold title to the same against the claims of all persons whatsoever.

IN TESTIMONY WHEREOF, the said parties of the first part  
have hereunto set their hands and seal s, the day and year first above written.  
Fred G Lewis (SEAL) William E Lewis (Seal)  
Elsie M Lewis (SEAL) Grace H Lewis (SEAL)  
Violet L Willis (SEAL) J Webster Willis (SEAL)

STATE OF NORTH CAROLINA, Carteret County.  
I, Sheila S Johnson Notary Public, do hereby certify that Fred G Lewis, Elsie M Lewis, William E Lewis, Grace H Lewis, Violet L Willis, and J Webster Willis personally appeared before me this day and acknowledged the due execution of the annexed deed of conveyance.  
Witness my hand and notarial seal, this 27th day of October, A. D. 1968.  
My commission expires Jan. 11, 1970 Sheila S Johnson (SEAL)

STATE OF NORTH CAROLINA.  
Prepared The foregoing certificate of Willie S Johnson  
by Notary Public of Carteret County, State of North Carolina, is certified to be correct, and the instrument, with the certificate required,  
Wiley H. Taylor, Jr. in my hand and official seal, this 27th day of October, 1968.

BEAUFORT, N. C.  
Filed for registration on the 28th day of October, 1968, at 11:05 o'clock, P. M.  
and duly recorded in the office of the Register of Deeds of Carteret County, N. C.  
Wiley H. Taylor, Jr. Register of Deeds

*Bank (US Bank)*

*907 Ann St.  
Beaufort*

WARRANTY DEED - Withed Private Examination Herald Printing Co., Morehead City, N. C.

NORTH CAROLINA, Carteret County.  
THIS DEED, Made this 27th day of September A. D. 1968.  
by Fred G Lewis and wife, Elsie M Lewis; William E Lewis and wife, Grace H Lewis; and Violet L Willis and husband, J Webster Willis  
of Carteret County and State of North Carolina  
of the first part, to James Mercer Fleming and wife, Elizabeth Pugh Fleming  
of Carteret County and State of North Carolina  
of the second part;

WITNESSETH, That said parties of the first part  
in consideration of ten Dollars,  
to them sold by the parties of the second part  
the receipt of which is hereby acknowledged, ha ye bargained and sold, and by these presents do grant, bargain, sell  
and convey to said parties of the second part  
their heirs and assigns, a certain tract or parcel of land in Carteret  
County, State of North Carolina were particularly described as follows:

*Sept 27, 1968  
\$10*

In Beaufort Township, BEGINNING at the Southwest corner of the W H Smith heirs' lot on the North side of Ann Street; thence Northwardly with the W H Smith heirs' West line 110 feet to Nora Gilbert's South line; thence with Nora Gilbert's South line Westwardly 51.6 feet more or less to the Dudley North-east corner; thence Southwardly with the Dudley East line 110 feet to the North side of Ann Street; thence with the North side of Ann Street Eastwardly 51.6 feet more or less to the point of BEGINNING. See the following deeds for title reference: Book WW page 331; Book 24 page 556; Book 29 page 281; Book 29 page 282, all of record in the Carteret County Registry. Being 146.4 feet from the Northeast corner of the intersection of Live Oak Street and Ann Street.



TO HAVE AND TO HOLD the aforesaid tract or parcel of land, and all privileges and appurtenances thereto belonging, to the said parties of the second part, their heirs and assigns, to their only use and behoof forever.

*900*

And the said parties of the first part  
for them sel yes and their heirs, executors and administrators, covenant with said parties of the second part, their heirs and assigns, that they are seized of said premises in fee and ha ye right to convey in fee simple; that the same are free and clear from all encumbrances and that they do hereby forever warrant and will forever defend the said title in the same against the claims of all persons whatsoever.

IN TESTIMONY WHEREOF, the said parties of the first part  
have hereunto set their hands and seal on the day and year first above written.  
Fred G Lewis (SEAL) William E Lewis (Seal)  
Elsie M Lewis (SEAL) Grace H Lewis (SEAL)  
Violet L Willis (SEAL) J Webster Willis (SEAL)

STATE OF NORTH CAROLINA, Carteret County.  
I, Stella S. Johnson Notary Public, do hereby certify that Fred G Lewis, Elsie M Lewis, William E Lewis, Grace H Lewis, Violet L Willis, and J Webster Willis personally appeared before me this day and acknowledged the due execution of the annexed deed of conveyance.  
Witness my hand and notarial seal, this 27th day of September, 1968.  
My commission expires Jan 11, 1970 Stella S. Johnson (SEAL)

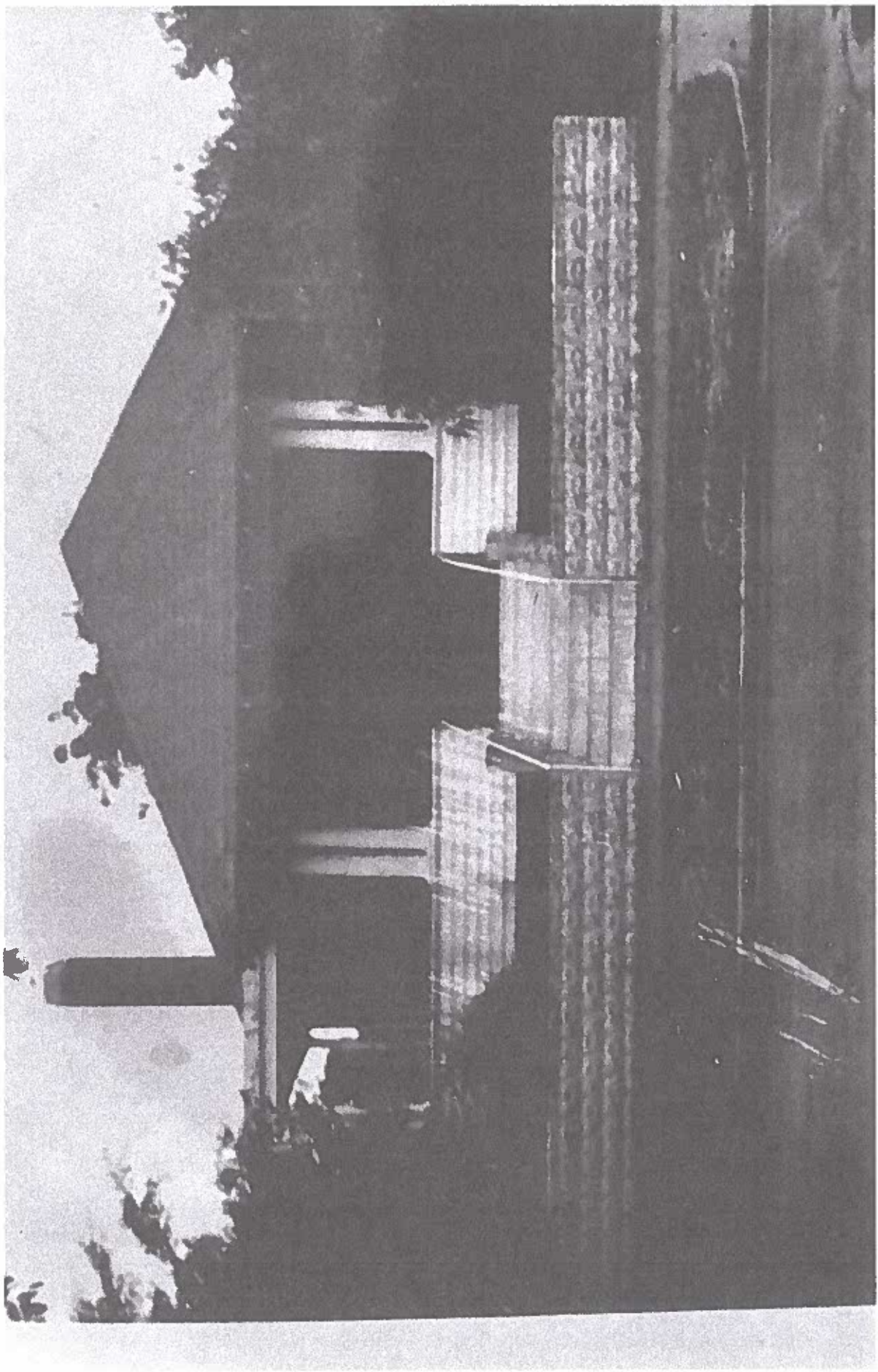
STATE OF NORTH CAROLINA.  
I, Wiley H. Taylor Notary Public of Carteret County, State of North Carolina, do hereby certify that the foregoing certificate of Stella S. Johnson is correct and true to the best of my knowledge and belief.  
Wiley H. Taylor (SEAL)

BEAUFORT, N. C.  
Filed for registration on the 28th day of October, 1968, at 11:05 o'clock, P.  
and duly recorded in the office of the Register of Deeds of Carteret County, N. C.  
Laughlin Johnson  
Register of Deeds

*B*

*Bl. 305 Pg. 316*









**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, March 3, 2026 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 26-06 117 Ann Street - Roof Replacement

**BRIEF SUMMARY:**  
The applicant wishes to remove the existing metal roof and replace it with asphalt shingles.

**REQUESTED ACTION:**  
Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**  
10 Minutes

**SUBMITTED BY:**  
Kyle Garner

**BUDGET AMENDMENT REQUIRED:**  
N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** February 20, 2026  
**Case No.** Case # 26-06 117 Ann Street - Roof Replacement

**Request:** Removal of Metal Roof and replace with Asphalt Shingles

**Applicant:** Owens Construction, Inc.  
 828 West Beaufort Road  
 Beaufort, NC

**Property Information:**

Owners: Will Ziglar  
 Location: 117 Ann Street  
 PIN#: 730617015329000

**Project Information:**

According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 117 Ann Street, circa 1910. **Chadwick House.** Large, handsome, Greek Revival house built with a side-hall plan in 1858 and enlarged to five bay center hall plan c. 1910. The 2-story front-gabled house has plain siding, a boxed cornice, interior brick chimneys, 6/6 sash, and engaged pedimented double porch with paneled Doric posts and sawn work railing. Front door has 2-pane transom. (Wrenn file)

- 2006 a COA was issued for a Beaufort Style Fence.

**Proposed work:**

- See Attachment from Applicant

**Material:**

- See Information from Applicant.

---

**Color:**

See Attached Description from Applicant.

**Attachments:**

- Vicinity Map
- List of adjacent property owners used for mailing notifications.
- COA application and supporting materials supplied by applicant.

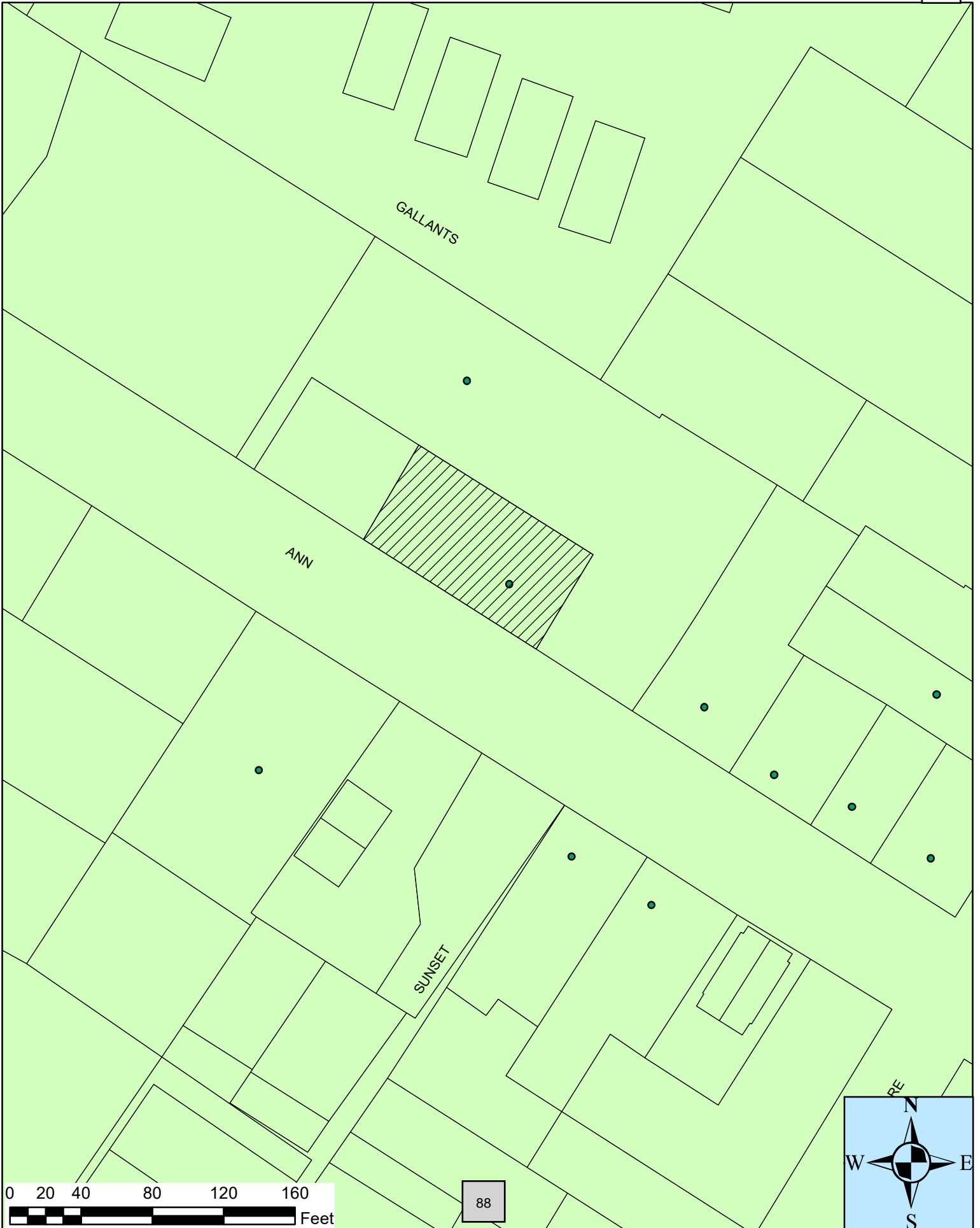
**Roof Guidelines**

6.1.1 Preserve original and significant later roof forms, shapes, and major roof architectural elements such as dormers, gables, chimneys, and eave overhangs. It is not appropriate to make alterations to the front or other primary portions of the roof of a contributing structure if that roof slope can be seen from public view.

6.1.2 Preserve, maintain, and repair historic roofing details and materials such as slate, standing seam metal, and tile. Replace in-kind only, if necessary, due to deterioration or damage. Replace only the damaged or deteriorated portion using materials identical to the original if possible.

6.1.3 New roofing materials should be compatible with either the existing or original roofing material. Match the historic material as closely as possible in color, shape, size, and texture. Asphalt or fiberglass-asphalt shingles are acceptable substitutes for standing-seam tin, wood shingles, or metal shingles. Any distinctive patterns of shingles or slates shall be retained and/or replicated exactly. Galvanized standing-seam with a large “agricultural” ridge, usually for ventilation, is not acceptable in the historic district. Instead, use standing seam metal with a crimped edge.

# Case # 26-06 117 Ann Street - Roof Replacement



**OWNER**

VIC FLOW, JR  
CHADWICK BRADFORD Q  
REVELS RAY V JR  
YOST MARK S  
ZIGLAR WILLIAM R ETUX MEGAN

**FullMailin**

114 ANN STREET BEAUFORT, NC 28516  
4003 HALCYON DR HUNTERSVILLE, NC 28078  
120 ANN STREET BEAUFORT, NC 28516  
2026 SAINT ANDREWS ROAD GREENBORO, NC 27408  
117 ANN STREET BEAUFORT, NC 28516

### **CERTIFICATE OF APPROPRIATENESS APPLICATION FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



#### **Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$50.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Please contact Town Hall at 252-728-2142 if there are any questions.

#### **APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: Owens Construction, Inc.

Applicant Address: 828 West Beaufort Road, Beaufort NC 28516

Business Phone: 252-504-3163 Email/Cell: office@occ-usa.com

Property Owner Name: William and Megan Ziglar

Address of Property: 117 Ann St

Phone Number: \_\_\_\_\_ Email/Cell: 917-751-7772

#### **PROJECT INFORMATION**

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

Removal of existing metal roof on main roof elevation of main house. Removal of shingle roof underneath existing metal roof. Replacement of main roof with asphalt shingles.

Estimated Cost of Project: \$ 35,000

Year House Built: 1858

John Engelhard  
Applicant Signature

10 February 2026  
Date

Megan Ziglar  
Property Owner Signature (if different than above)

10 February 2026  
Date

*An application fee of \$50.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

#### **OFFICE USE ONLY**

Received by: \_\_\_\_\_  
Date: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_  
Date Deemed Completed and Accepted: \_\_\_\_\_

## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

**1. Items required for ALL projects:**

- A list all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

**2. Items required as applicable to project:**

- A description of any planned demolition.
- An indication of all trees to be replaced and/or removed.
- A landscaping plan indicating major planting materials.
- Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- All types of building material samples.
- If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

**3. Additional items required (only) for new Signage:**

- A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

**4. At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.**

**5. The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.**

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [j.ganey@beaufortnc.org](mailto:j.ganey@beaufortnc.org).*

# Adjacent Property Owners

## **Mark Yost**

Physical Address: 115 Ann St., Beaufort, NC 28516

Mailing Address: 2026 Saint Andrews Rd., Greensboro, NC 27408

## **Bradford Chadwick**

Physical Address: 110 MOORE STREET BEAUFORT, NC 28516

Mailing Address: 4003 Halcyon Dr., Huntersville, NC 28078

# 117 Ann St. Beaufort, NC 28516

## Property Photos



North Facing Front of Main home



East Side of Main Home



West Side of Main Home

# DESIGN GUIDELINES FOR THE BEAUFORT HISTORIC DISTRICT & LANDMARKS

1994, REVISED 2008



# DESIGN GUIDELINES FOR BEAUFORT HISTORIC DISTRICT & LANDMARKS

PROJECT CONSULTANT  
TRC ENVIRONMENTAL INC.  
50101 GOVERNORS DRIVE, SUITE 250,  
CHAPEL HILL, NORTH CAROLINA 27517

PREPARED FOR:  
TOWN OF BEAUFORT  
215 POLLOCK STREET  
BEAUFORT, NORTH CAROLINA  
TERRI PARKER-EAKES, TOWN MANAGER

BEAUFORT HISTORIC PRESERVATION COMMISSION  
MAMRÉ WILSON, CHAIRMAN  
DAN KRAUTHEIM, VICE-CHAIRMAN  
WENDY DAVIDSON  
FRED MCCUNE  
MARNIE PARK  
LES SADLER  
GERHARDA SANCHEZ

BEAUFORT TOWN COMMISSIONERS  
RICHARD STANLEY, MAYOR  
ROBERT CAMPBELL  
MATH CHAPLAIN  
JOHN HAGLE  
MARIANNA HOLLINSHED  
CHARLES MCDONALD

ACKNOWLEDGEMENT: THE NANCY DUFFY RUSSELL PRESERVATION TRUST AND AN ANONYMOUS PRIVATE RESIDENT HAVE GENEROUSLY CONTRIBUTED TO THE WRITING OF THIS PUBLICATION. THE ACTIVITY THAT IS THE SUBJECT OF THIS PUBLICATION HAS BEEN FINANCED IN PART WITH FEDERAL FUNDS FROM THE NATIONAL PARK SERVICE, DEPARTMENT OF THE INTERIOR. HOWEVER, THE CONTENTS AND OPINIONS DO NOT NECESSARILY REFLECT THE VIEWS OR POLICIES OF THE DEPARTMENT OF THE INTERIOR, NOR DOES THE MENTION OF TRADE NAMES OR PRODUCTS CONSTITUTE ENDORSEMENT OR RECOMMENDATION BY THE DEPARTMENT.

## Frequently Asked Questions

**Who should use the Beaufort Historic District Guidelines?** Anyone who owns, rents, leases, sells or buys property, or who owns or operates a business in the locally designated Beaufort Historic District, or who owns an individual historic landmark should consult these guidelines. They are used by Town staff and the Beaufort Historic Preservation Commission. The guidelines are written for laymen, as well as for architects and other design professionals, contractors, builders, developers, real estate agents, business owners, and all those who have an interest in the preservation of Beaufort’s historic architectural heritage.

**Is my property within the locally designated Beaufort Historic District?** There are two historic districts in Beaufort—one of the National Register of Historic Places and one has been designated by the Beaufort Town Commissioners. Because listing in the National Register does not involve local regulation, these guidelines are for use only within the locally designated historic district. To verify whether a property is located within one or both Beaufort Historic Districts, please consult Chapter 2.

**What is the Historic Preservation Commission (HPC)?** The HPC, composed of seven Beaufort residents with a knowledge of and interest in historic preservation, is appointed by the Town Commissioners for three-year terms. There are five regular members and two alternate members. The HPC reviews and regulates changes in the locally designated historic district, including buildings and their setting, new construction and demolitions, major landscaping and tree removal, and all signs in the historic district. See Chapter 4.

**What is a Certificate of Appropriateness (COA)? What is the application process?** A COA is required before work can begin on exterior changes to buildings, their setting, and all signs in the historic district, as well as (but not limited to) such actions as new construction and demolitions, major landscaping and tree removal, and utility work in the historic district. The COA application is filed upon such time as all applicable town permits have been secured, with the exception of a building permit. The COA application can be obtained at Town Hall or downloaded from the Town’s website at <http://www.beaufortnc.org/Town+Departments/Planning+and+Inspections/default.aspx>. The completed application is reviewed by the Historic Preservation Commission at one of its regular meetings, where it can be approved, denied, or tabled for further investigation. See Chapter 3 for a detailed description and an easy-to-follow flow chart of the COA application process.

**I want to install storm doors and windows on my historic house. Do I need a COA?** There are some actions (including installation of storm doors and windows, window air conditioners, certain types of gutters, and side and rear fences), known as Minor Work Items that an owner can undertake under a simplified COA approval process. See Chapter 4 for a list of Minor Work Items.

**Are the rear of buildings and back yards in the historic district regulated?** In general, the HPC has purview over features (building facades, driveways and walks, and yards) visible from a public right-of-way. Actions occurring on the rear or non-visible sides of the property that are deleterious to the overall building or setting may come under HPC review.

**What style is my building? What architectural styles are common in Beaufort?** There are a number of prevalent historic architectural styles in Beaufort as well as vernacular house forms unique to Beaufort. Your house may be one or a combination of these. Consult Chapter 4 for illustrated examples of common historic architectural styles and forms in Beaufort.

**I hear a lot about Beaufort’s historic waterfront and other important vistas. What are these and why do they need to be preserved?** Beaufort’s waterfront and the vistas along many of its historic streets are among the most important defining features of the Beaufort Historic District and their preservation and protection are an important responsibility of the HPC. See Chapter 5 for a description of Beaufort’s waterfront and historic vistas and those factors property owners need to consider to protect these vistas for all of Beaufort’s citizens and visitors.

**I want to know what materials and features are typical for my building’s age in Beaufort.** Consult Chapter 6 for a discussion of what materials and architectural features are typical for such components as roofs, windows, doors, and porches on historic buildings in Beaufort.

**Is the installation of new vinyl or aluminum siding permitted in the historic district? What about cement fiber siding?** The use of substitute siding such as vinyl and aluminum on visible elevations of buildings and for new construction in the historic district is not allowed. However, the HPC will consider use of cement fiber siding on a case-by-case basis.

**What specific guidelines apply to commercial storefronts in the historic district?** See Chapter 6 for a discussion of the special features of commercial storefronts and their preservation.

**I want to add a wing to my house. Is this permitted?** Old buildings often grow to adapt to changing uses and circumstances. However, the changes should not destroy or detract from the architectural features that make the building significant in the first place. Consult Chapter 7 for guidelines on how to make your addition sensitive to the historic building and its surroundings.

**I’m building a new house in the historic district. Does it have to “look old?”** Effective historic district guidelines do not dictate certain architectural styles to be used for new construction in the Beaufort Historic District. Instead, they seek to encourage good contemporary design that is sensitive to its surroundings and Beaufort’s special architectural character. Consult Chapter 7 for a discussion of such features as scale, materials, rhythm, and proportion that go into designing a new building in the historic district.

**Are the Guidelines concerned with only buildings, or are such features as driveways, lighting, and signs regulated too?** The Beaufort Historic District is more than just a collection of old buildings. Thus, features of the overall setting of the historic district such as driveways and walks, fences, public landscaping, docks, and lighting also fall within the purview of the HPC. Consult Chapter 8 for a discussion of those items that contribute to the setting of the Beaufort Historic District

**Can individual landmarks and buildings within the historic district be demolished?** In certain circumstances, yes, although demolition is strongly discouraged. Consult Chapter 10 for actions a property owner can take to avoid this drastic action.

**I’m not familiar with such terms as a hip roof, portico, or Ionic column.** Consult Chapter 4 for a discussion of architectural styles in Beaufort; Chapter 6 for illustrations of the components of a residential building, a church, and a commercial building; and the Glossary of architectural terms.



View of the Beaufort waterfront, Front Street, and houses in the Beaufort Historic District.

# Table of Contents

- Chapter 1. Introduction ..... 1
  - Purpose of Design Guidelines ..... 1
  - How to Use the Design Guidelines ..... 2
  - Some Principles of Historic Design ..... 3
- Chapter 2. The Beaufort Historic District and Historic Landmarks ..... 4
  - Beaufort National Register Historic District ..... 4
  - Beaufort Historic District (Locally Designated) ..... 6
- Chapter 3. Historical Overview and Architectural Development of Beaufort..... 7
  - Historical Overview (1709-Present) ..... 7
  - Architectural Development in Beaufort (1709-1950s) ..... 11
  - Historic Architectural Styles in Beaufort..... 13
    - Colonial, Georgian, and Federal Period ..... 14
    - 19th-Century Revival Styles—Greek, Gothic, Italianate, Queen Anne ..... 16
    - 20th-Century Styles ..... 21
- Chapter 4. Administration of the Beaufort Historic District and Historic Landmarks..... 25
  - Historic Preservation Legislation—Federal, State, and Local ..... 25
  - Beaufort Historic Preservation Commission ..... 25
  - Certificate of Appropriateness ..... 26
  - Minor Work Items (COA Required with Town Staff Approval)..... 27
  - Certificate of Appropriateness (COA) Application Process ..... 30
  - Checklist of Materials Required for COA Application ..... 33
  - Guidelines for Obtaining Historic Plaques in Beaufort ..... 35
  - Plaque Guidelines:..... 35
- Chapter 5. Protecting Beaufort’s Historic Vistas ..... 36
- Chapter 6. Guidelines for Rehabilitation of Individual Landmarks and Buildings in the Beaufort  
Historic District ..... 38
  - Treatment Options: Preservation, Rehabilitation, Restoration, and Reconstruction..... 38
  - Residential Rehabilitation ..... 40
    - Elements of a House ..... 42
    - Elements of a Storefront ..... 44
    - Roofs ..... 44
    - Roof Guidelines..... 48
    - Exterior Walls ..... 50
    - Wood Trim and Ornament..... 52
    - Wood Siding, Trim, and Ornament Guidelines ..... 55
    - Substitute Wood Siding Policy ..... 56
    - Brickwork and Masonry ..... 57
    - Brickwork and Masonry Guidelines ..... 59
    - Windows and Doors ..... 60
    - Window and Door Guidelines..... 66
    - Porches and Entrances..... 68
    - Porches and Entrances Guidelines ..... 72
    - Foundations ..... 74
    - Foundations Guidelines ..... 77
    - Paint and Exterior Colors ..... 78
    - Historic Paint Colors in the Beaufort Historic District..... 80
    - Paint and Exterior Colors Guidelines ..... 81

Accessibility and Life Safety ..... 82

Accessibility and Life Safety Guidelines ..... 83

Historic Storefront ..... 84

Historic Storefront Guidelines ..... 87

Chapter 7. New Construction and Additions in the Beaufort Historic District ..... 88

    New Construction ..... 88

    The Design Process for New Construction ..... 91

    New Construction-Commercial ..... 97

    New Construction Guidelines ..... 98

    Additions to Historic Buildings ..... 100

    Additions to Historic Buildings Guidelines ..... 102

    Decks on Historic Buildings ..... 103

    Decks on Historic Buildings Guidelines ..... 104

Chapter 8. Setting in the Beaufort Historic District ..... 105

    Landscaping ..... 105

    Landscaping Guidelines ..... 107

    Fences and Walls Guidelines ..... 111

    Outside Utilities ..... 112

    Outside Utilities Guidelines ..... 113

    Exterior Lighting ..... 114

    Exterior Lighting Guidelines ..... 115

    Off-Street Parking ..... 116

    Off-street Parking Guidelines ..... 117

    Signage ..... 118

    Signage Guidelines: ..... 119

    Docks, Piers, and Boardwalks Guidelines ..... 121

    Archaeology ..... 122

    Archaeology Guidelines ..... 123

Chapter 9. Relocation of Buildings into or out of the Beaufort Historic District ..... 124

    Relocation of Buildings Guidelines ..... 126

Chapter 10. Demolition of Historic Landmarks and Buildings in the  
Beaufort Historic District ..... 127

    Demolition of Buildings Guidelines ..... 129

Glossary of Architectural Terms ..... 130

## Roof Guidelines

- 6.1.1 Preserve original and significant later roof forms, shapes, and major roof architectural elements such as dormers, gables, chimneys, and eave overhangs. It is not appropriate to make alterations to the front or other primary portions of the roof of a contributing structure if that roof slope can be seen from public view.
- 6.1.2 Preserve, maintain, and repair historic roofing details and materials such as slate, standing-seam metal, and tile. Replace in-kind only if necessary due to deterioration or damage. Replace only the damaged or deteriorated portion using materials identical to the original if possible.
- 6.1.3 New roofing materials should be compatible with either the existing or original roofing material. Match the historic material as closely as possible in color, shape, size, and texture. Asphalt or fiberglass-asphalt shingles are acceptable substitutes for standing-seam tin, wood shingles, or metal shingles. Any distinctive patterns of shingles or slates shall be retained and/or replicated exactly. Galvanized standing-seam with a large “agricultural” ridge, usually for ventilation, is not acceptable in the historic district. Instead, use standing seam metal with a crimped edge.
- 6.1.4 Retain historic roof-top features such as ornamental eaves, cornices, rake-boards, dormers, gables, chimneys, finials, cresting, steeples, belfries, cupolas, and railings that add to the overall architectural character of a structure. All original and significant later features should be preserved and restored, rather than removed. The design of any new roof features should be based on documentary evidence and are compatible with both the building and surrounding buildings.
- 6.1.5 Contemporary or non-historic roof features may be installed on areas of the roof not seen from the public view or on other non-character defining secondary roofs. Included are skylights, roof-mounted vents, dormers, chimneys, antennas, and solar collectors. These are not permitted when their installation or later removal would damage or destroy a significant roof feature. In certain instances, new dormers may be permitted on side or rear elevations if their design is compatible with the building and the roofline.
- 6.1.6 Install new gutters without damaging or obscuring architectural features. It is inappropriate to replace concealed, built-in gutter systems with modern exposed gutters. Gutters of all materials except copper shall have a painted finish. Half-round gutters are appropriate for most contributing properties. Wood gutters may be appropriate for certain period restoration projects. Replacement of gutters is usually reviewed as a Minor Works item.
- 6.1.7 Ridge vents, where needed, shall be of the low-profile type and shall not diminish the original design of the roof or destroy any character-defining architectural details. Other vents, such as gable vents and roof-mounted vents, should be installed so as not to be visible from the public view where possible. In the event that they must be visible, they should be installed to respect the architectural details and character of the subject building.

- 6.1.8 It is not appropriate to create a false sense of historical development by making changes to roofs, such as adding conjectural features lacking insufficient historical, pictorial, or physical documentation.
- 6.1.9 Avoid altering the existing roof pitch or introducing a new roof pitch.
- 6.1.10 Avoid using a substitute material for the replacement of a deteriorated historic element that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible.
- 6.1.11 Avoid constructing additional stories resulting in an altered appearance.

# LANDMARK<sup>®</sup> SERIES

Designer Roofing Shingles



105

*Landmark, shown in Weathered Wood*



*NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee an identical match of the actual product color to the graphic representations throughout this publication.*



# Trust Your Home to Landmark®

Few things in this world are as precious as the place that you call home. It is much more than just a house. It's the foundation from which you build your life. That's why having a roof that gives your home long-lasting curb appeal and protection from the elements is so important. At CertainTeed, our benchmark for success is our customers' total peace of mind. And we wouldn't have it any other way.

Our dedication to making the highest-quality roofing systems continues to earn the respect of top building professionals. And our product portfolio offers the widest variety of design and color options in the industry. It's no wonder that more than a million homeowners across North America choose CertainTeed each year.

And the job doesn't stop once the roof goes on. Every CertainTeed product is backed by our industry-leading manufacturer's warranty, allowing you to rest confidently and comfortably for years to come.


 High-Quality, Reliable Choice
 +
 
 Industry-Best Warranty
 +
 
 Century of Trusted Performance
 =
 PEACE OF MIND

Landmark, shown in Charcoal Black

Technology that protects the beauty of your roof and strengthens its performance.





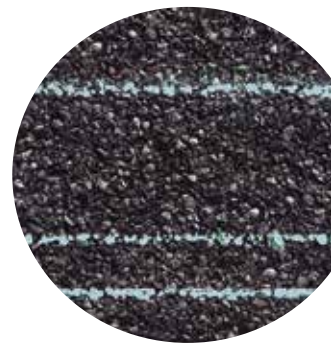
# NailTrak<sup>®</sup>

Fast, Accurate, Visible

The new and improved **NailTrak** nailing line, a feature on CertainTeed designer shingles.

Now **NailTrak** is brighter than ever before, with high-visibility lines that stand out whether it's daybreak or dusk.

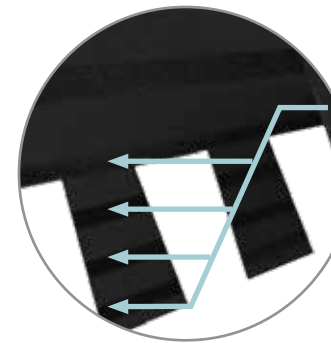
**NailTrak** removes the guesswork with three separately defined lines, creating a large area to guide your nailing and a smaller area for extreme steep-slope applications.



# QuadraBond<sup>™</sup>

Advanced Layering

CertainTeed's specially formulated adhesive adheres shingle layers at four points, more than any other manufacturer. This superior bond provides greater protection against shingle delamination to maximize performance over the life of the shingle in any climate.



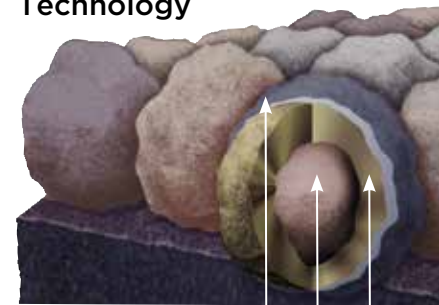
# StreakFighter<sup>®</sup>

Algae Resistance

The ultimate in stain protection.

Those streaks you see on other roofs in your neighborhood? That's algae, and it's a common eyesore on roofing throughout North America. CertainTeed's **StreakFighter** technology uses the power of science to repel algae before it can take hold and spread. **StreakFighter's** granular blend includes naturally algae-resistant copper, helping your roof maintain its curb appeal and look beautiful for years to come.

**Granule with StreakFighter Technology**



Ceramic coating  
Mineral core  
Copper layer

Diagram for illustrative purposes only.

# CertaSeal<sup>™</sup>

Uplift Protection

**CertaSeal<sup>™</sup>** is a fast-activating modified asphalt sealant with a 20-year record of proven performance. Designed to seal shingles together upon installation, it protects roofs from wind uplift and shingle blow-off so that homes stay safe and dry. It's also engineered to remain flexible after installation, unlike harder sealants that can dry out and crack over time.





# The Trusted Classic

## LANDMARK®

Owning a Landmark roof brings peace of mind. Landmark's dual-layered construction and exceptional durability provide long-lasting protection for your home.

- Dual-layered for extra dimensionality and protection from the elements
- Offers the widest array of colors in the industry
- Independently certified as meeting the highest quality standards for roofing



*Georgetown Gray*



Scan code for more information

# LANDMARK® COLOR PALETTE



Cobblestone Gray



Georgetown Gray



Weathered Wood



Moire Black



Charcoal Black



Heather Blend



Driftwood



Colonial Slate



Pewterwood



Burnt Sienna



Resawn Shake



Hunter Green



# Strength with Style

## LANDMARK®

- Dual-layer durability
- Industry-best lifetime limited warranty
- 10-year **StreakFighter®** algae-resistance warranty

## LANDMARK® PRO

- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year **StreakFighter®** algae-resistance warranty

## NORTHGATE® ClimateFlex®

- UL Classified to UL 2218 Class 4 Impact Resistance
- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year **StreakFighter®** algae-resistance warranty

## LANDMARK® PREMIUM

- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year **StreakFighter®** algae-resistance warranty



## LANDMARK SERIES

### SPECIFICATIONS

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate

*For U.S. building code compliance, see product specification sheets.*

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

#### Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

#### Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

#### Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

#### Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.
- UL Class 2218 for NorthGate **ClimateFlex®**

#### Impact Resistance:

- UL certified to meet UL 2218 Class 4 (NorthGate **ClimateFlex®**)

#### Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

### WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications
- **StreakFighter®** algae-resistance warranty (10-year – Landmark, 15-year – Landmark PRO, NorthGate **ClimateFlex®** and Landmark Premium)
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

*See actual warranty for specific details and limitations.*

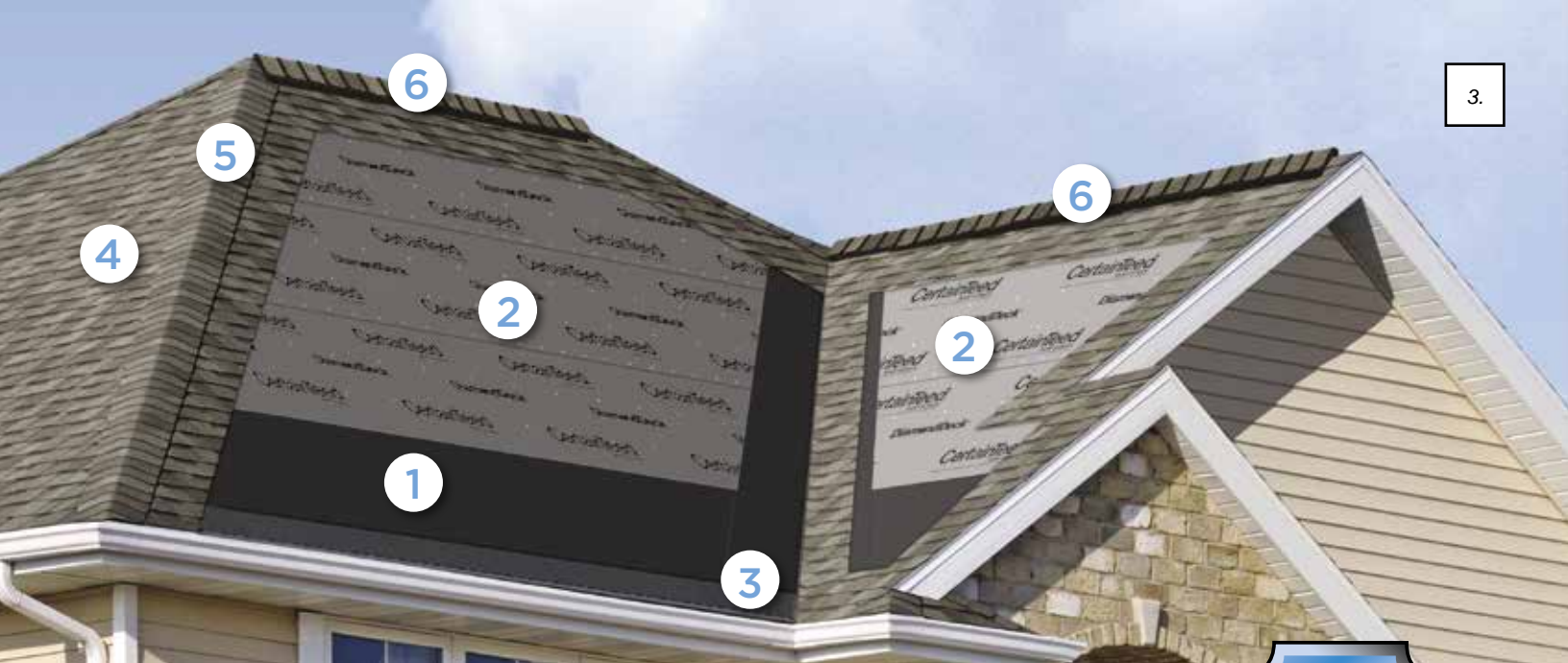
# Product Comparison

	Traditional Designer Shingle Style	Industry Leading Granule Adhesion	Warranty Duration	Algae Warranty Coverage	Product Weight
<b>Landmark</b>	✓	✓	<b>Lifetime</b>	<b>10-Year</b>	✓
Landmark PRO	✓	✓	Lifetime	15-Year	✓✓
NorthGate <b>ClimateFlex</b> ®	✓	✓	Lifetime	15-Year	✓✓
Landmark Premium	✓	✓	Lifetime	15-Year	✓✓✓



Depth/ Dimensional Appearance	<b>NailTrak</b>	Max Def Colors	<b>ClimateFlex</b> Technology (Cold Weather Installation)	<b>ClimateFlex</b> Technology (Impact Resistance)	Value Rating
✓	✓				Good
✓✓	✓	✓			Better
✓✓	✓	✓	✓	✓	Best
✓✓	✓	✓			Best





# Integrity Roof System™

A COMPLETE APPROACH TO LONG LASTING BEAUTY AND PERFORMANCE



With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System combines key elements that help ensure you have a well-built roof for long-lasting performance.

## 1. Waterproofing Underlayment

The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.

## 2. Water-Resistant Underlayment

Provides a protective layer over the roof deck and acts as a secondary barrier against leaks.

## 3. Starter Shingles

Starter Shingles are the first course of shingles that are installed and designed to work in tandem with the roof shingles above for optimal shingle sealing and performance.

## 4. Shingles

Choose from a variety of Good-Better-Best styles to complement any roof design and fit your budget.

## 5. Hip & Ridge Caps

Available in numerous profiles, these accessories are used on the roof's hip and ridge lines for a distinctive finishing touch to your new roof.

## 6. Ventilation

A roof that breathes is shown to perform better and last longer. Ridge Vents, in combination with Intake Vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in the summer and drier in the winter.

learn more at:

[certainteed.com/roofing](http://certainteed.com/roofing)

Landmark® Series  
available in  
areas shown



**CertainTeed**

CEILINGS • DECKING • FENCE • GYPSUM • PARTITION • RAILING • ROOFING • SIDING • TRIM  
20 Moores Road, Malvern, PA 19355 Professional: 800-990-9990 Consumer: 800-782-8777 [certainteed.com](http://certainteed.com)

118

©01/22 CertainTeed, Printed in the USA, Code No. 00-00-137-NA-EN



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, March 3, 2026 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 26-07 105 Front Street - Perimeter Wall, Elevation of Garage & Tree Preservation

**BRIEF SUMMARY:**  
The applicant wishes to install a two-foot-high perimeter wall and elevate the existing garage and preserve an existing tree.

**REQUESTED ACTION:**  
Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**  
30 Minutes

**SUBMITTED BY:**  
Kyle Garner

**BUDGET AMENDMENT REQUIRED:**  
N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** February 20, 2026  
**Case No.** Case # 26-07 105 Front Street - Perimeter Wall, Elevation of Garage & Tree Preservation

**Request:** The applicant wishes to install a two-foot-high perimeter wall and elevate the existing garage and preserve an existing tree.

**Applicant:** Filter Design Studio  
 707 Bridges Street  
 Morehead City, NC

**Property Information:**

**Owners:** William & Margaret Ann Wooten  
**Location:** 105 Ann Street  
**PIN#:** 730617001940000

**Project Information:**

This is the first phase in the project for the Duncan House since the fire. Primarily this phase is to stabilize the site and bring it up to Federal Flood Standards. This is now applicable since the structure was damaged more than 50% from the fire back in December.

**Proposed work:**

- See Attachment from Applicant

**Material:**

- See Information from Applicant.

**Color:**

See Attached Description from Applicant.

**Attachments:**

- Vicinity Map
- List of adjacent property owners used for mailing notifications.
- COA application and supporting materials supplied by applicant.

### Fences and Walls Guidelines

8.2.4. Historic retaining walls should be preserved. New low walls are appropriate only where a sharp change in grade exists, and shall not exceed a height of two (2) feet. Such walls should be constructed of brick or concrete block covered with a true sand-finish stucco.

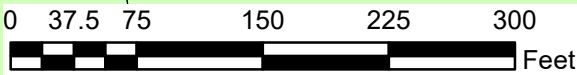
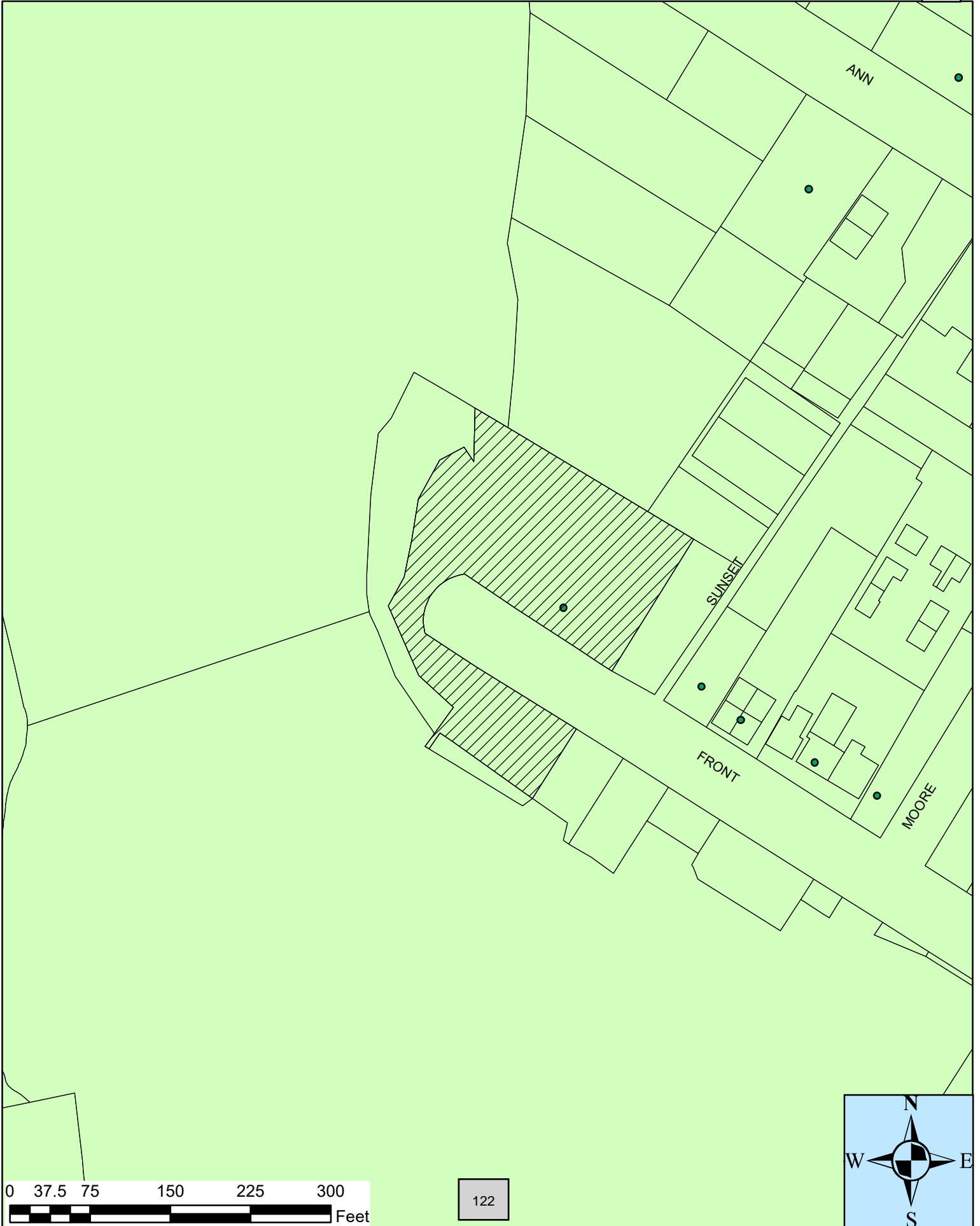
### Foundations Guidelines

6.6.9. The raising of a building’s foundation should be undertaken for sound structural and/or flood control reasons ONLY, and these reasons should be well-documented by flood maps, an architect or engineer’s report accompanying an owner’s COA application.

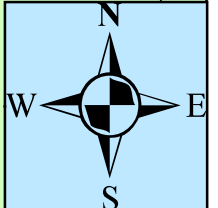
### Landscaping Guidelines

8.1.1. Preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.

8.1.2. Preserve and maintain the individual components and historic features that contribute to Beaufort’s historic character, including: mature trees, ornamental trees, and hedge rows.



122



**OWNER**

WOOTEN WILLIAM B  
LITTLEWOOD GEORGE F ETUX PAGE  
FLOW VICTOR IVAN JR

**FullMailin**

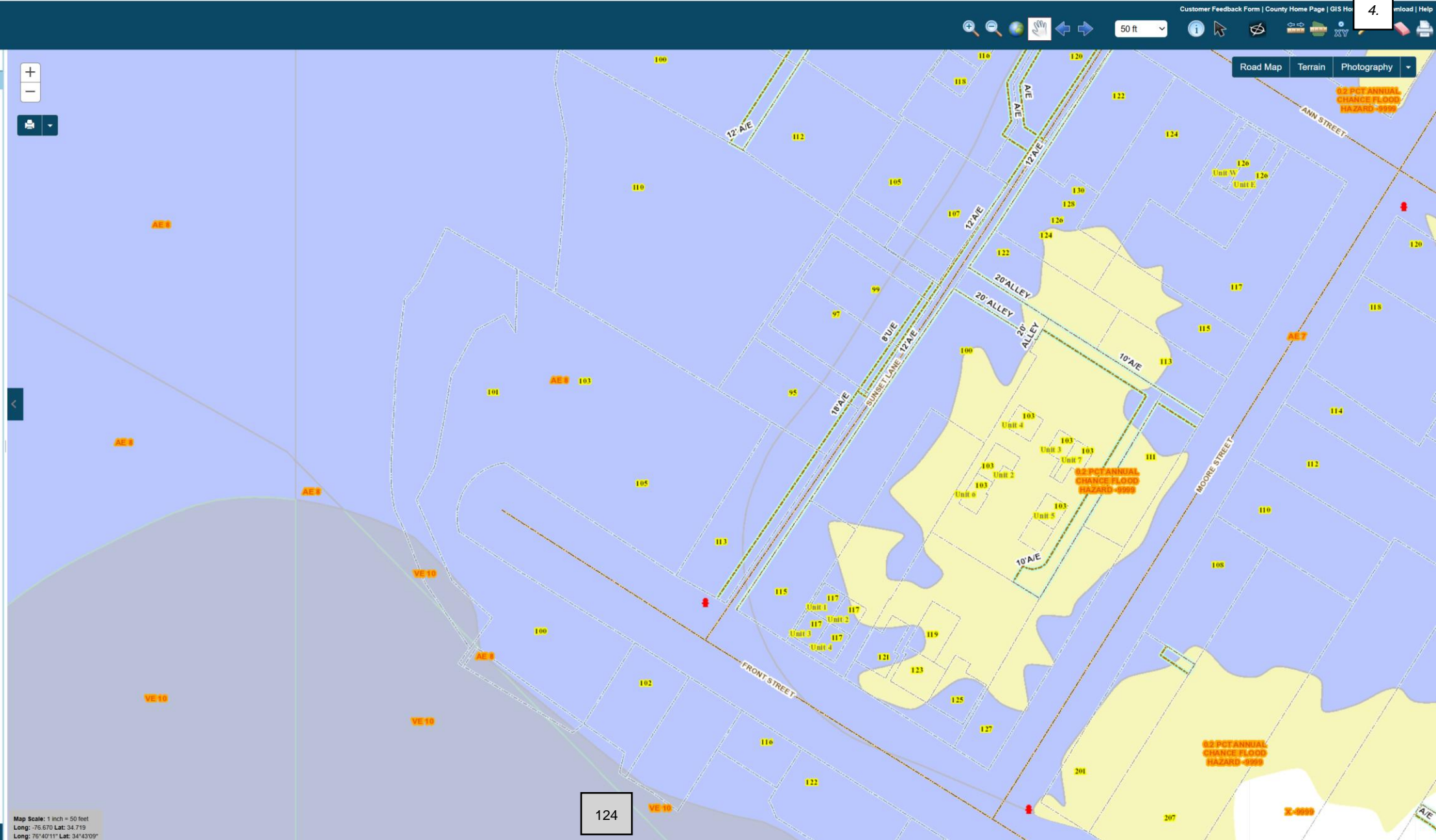
282 MCNAIR RD TARBORO, NC 27886  
113 FRONT STREET BEAUFORT, NC 28516  
114 ANN STREET BEAUFORT, NC 28516

Search Results Layers

Table of Contents

- Census 2020 Tract Data
- Census 2020 County Data
- Noise Contours - Bogue Field
- Accident Potential Zones - Bogue Field
- Elections**
  - Polling Locations
  - Commissioner Districts
  - Board of Education Districts
  - Voting Precincts
- Parks & Recreation**
  - Hiking/Biking Trails
  - Boat Access Points
  - Beach Access Points
  - Parks
  - Marinas
- Miscellaneous**
  - Solid Waste Centers
  - Post Offices
  - Libraries
  - Town Halls
  - County Offices
  - Building Footprints
  - Cemeteries
  - USPS Zipcodes
- Environmental**
  - FIRM Panels
  - Effective Flood Riverine Flood Cross Sections
  - Effective LIMWA
  - Effective LIMWA Area
  - Effective Flood Zones
  - Preliminary LIMWA
  - Preliminary LIMWA Area
  - Preliminary Flood Zones
  - FWS National Wetland Inventory
  - PUV Estimates
  - USDA Land Resource Areas
  - Soils
  - Contours/Bathy (ft)

Legend



124

HPC Application  
Certificate of Appropriateness  
Site Plan



Applicant	Filter Design Studio PLLC
Contractor	DJ Rose
Property Address	105 Front St. Beaufort, NC 28516



## Table of Contents

1. Certificate of Appropriateness
2. Project Description
3. Project Specifications
4. Adjacent Property Owners Information
5. Streetscape Photos
6. Supporting Evidence
7. Proposed Materials
8. Site Plan

**CERTIFICATE OF APPROPRIATENESS APPLICATION  
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



**Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

**APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: Jay Horton - Filter Design Studio  
Applicant Address: 707 Bridges Street, Morehead City, NC 28557  
Business Phone: 252-622-4119 Email/Cell: jay@filterdesignstudio.com

Property Owner Name: William B. Wooten and Margaret Wooten  
Address of Property: 105 Front Street, Beaufort, NC 28516  
Phone Number: \_\_\_\_\_ Email/Cell: \_\_\_\_\_

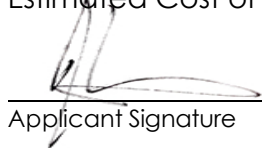
**PROJECT INFORMATION**

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

Please see the attached project description.

Estimated Cost of Project: \$ 200,000

Year House Built: NA

  
Applicant Signature

2/10/2026  
Date

\_\_\_\_\_  
Property Owner Signature (if different than above)

\_\_\_\_\_  
Date

*An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

**OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

**127** Deemed Completed and Accepted: \_\_\_\_\_



## Project Description:

The proposed project involves site stabilization and resiliency improvements to a property located within the Beaufort Historic District at 105 Front Street Beaufort, NC, following catastrophic fire damage to the existing principal structure. Due to the extent of damage sustained, demolition of the remaining fire-damaged structure is proposed.

To address coastal resiliency and flood mitigation requirements, a new 2-foot masonry perimeter wall is proposed along the property boundary to facilitate the placement of engineered fill and raise the finished grade in compliance with current floodplain and resiliency standards. This work is intended to improve long-term site performance while minimizing future flood risk.

A historic mulberry tree located on the property is proposed to be carefully excavated, boxed, and temporarily relocated during site work, with the intent to reinstall the tree at the new finished grade to preserve it, if feasible.

Additionally, the existing garage structure on site is proposed to be elevated in coordination with the site improvements to meet revised grade and flood elevation requirements while retaining the existing structure.

All work is proposed to be undertaken with sensitivity to the historic character of the Beaufort Historic District and in compliance with applicable preservation and coastal resiliency guidelines.



## **Project Specifications:**

Please see the attached site plan.

**Adjacent Property Owners:**

**PARCEL NUMBER:** [730617002865000](#)  
**OWNER:** LITTLEWOOD, GEORGE F ETUX PAGE  
**PHYSICAL ADDRESS:** 113 FRONT ST  
BEAUFORT  
**MAILING ADDRESS:** 113 FRONT STREET  
BEAUFORT NC 28516  
**LEGAL DESCRIPTION:** L FRONT ST TOWN OF BEAUFORT  
**DEED REF:** 1701-096  
**PLAT REFERENCE:** -  
**NEIGHBORHOOD:** [590005](#)

**PARCEL NUMBER:** [730617003925000](#)  
**OWNER:** FLOW, VICTOR IVAN JR  
**PHYSICAL ADDRESS:** 95 SUNSET LN  
BEAUFORT  
**MAILING ADDRESS:** 18 GRAYLYN PLACE CT  
WINSTON SALEM NC 27106  
**LEGAL DESCRIPTION:** LOT SUNSET LANE TOWN OF BEAUFORT  
**DEED REF:** 1706-030  
**PLAT REFERENCE:** -  
**NEIGHBORHOOD:** [590003](#)

## Photos of Streetscape:



South Facing Elevation of Duncan House

**Photos of Streetscape:**



Western View of Streetscape

## Photos of Streetscape:



Eastern View of Streetscape

**Photos of Streetscape:**



Southern View of Property Streetscape

**Supporting Evidence:**

The following images document adjacent properties along Front Street and are included to illustrate existing grade elevations, masonry walls, and established site conditions within the surrounding historic district. The proposed grade adjustments and masonry wall are intended to align with similar conditions present on nearby properties.



201 Front Street – Existing elevated grade relative to sidewalk and street.

**Supporting Evidence:**



207 Front Street – Existing masonry wall and elevated grade relative to sidewalk and street.

**Supporting Evidence:**



209 Front Street – Existing masonry wall and elevated grade relative to sidewalk and street.

## Supporting Evidence:



215 Front Street – Existing masonry wall and elevated grade relative to sidewalk and street.

**Supporting Evidence:**



217 Front Street – Existing masonry wall and elevated grade relative to sidewalk and street.



## **Proposed Materials:**

### **Perimeter Wall:**

Proposed 2-foot parged concrete masonry wall, to match surrounding historic masonry walls within the district. Wall height not to exceed 2 feet.

### **Site Grading:**

Engineered dirt fill to raise finished site grade in coordination with coastal resiliency and flood mitigation requirements. Fill to be concealed upon completion.

### **Existing Garage Structure:**

Existing garage to be elevated in conjunction with site work. Exterior materials and appearance remain unchanged at this time.

### **Tree Preservation:**

Existing historic mulberry tree to be carefully excavated, boxed, and temporarily relocated during site work, with intent to reinstall at the new finished grade if feasible.

All visible materials selected will be compatible with surrounding properties and with the historic character of the Beaufort Historic District.







**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, March 3, 2026 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 26-08 114 Ann Street - West Side Addition, Wall Installation & Landscaping

**BRIEF SUMMARY:**  
Addition of a lift in the rear of the structure with a 2-foot wall with landscaping.

**REQUESTED ACTION:**  
Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**  
10 Minutes

**SUBMITTED BY:**  
Kyle Garner

**BUDGET AMENDMENT REQUIRED:**  
N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** February 20, 2026  
**Case No.** Case # 26-08 114 Ann Street - West Side Addition, Wall Installation & Landscaping

**Request:** Addition of a lift in the rear of the structure with a 2 foot wall with landscaping

**Applicant:** Maggie Chalk, MK Chalk Architecture, PA.  
 105 Banks Street  
 Morehead City, NC

**Property Information:**

**Owners:** Vic Flow, Jr.  
**Location:** 114 Ann Street  
**PIN#:** 730617013296000

**Project Information:**

According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 114 Ann Street, circa 1845. **Buckman House.** Greek Revival side gable house, 3 bays wide, on a raised basement laid in common brick bond. Molded flush eaves with returns, 1 interior brick chimney, and 6/6 sash. Original pedimented stoop has paneled box posts and plain railing

**Proposed work:**

- See Attachment from Applicant

**Material:**

- See Information from Applicant.

**Color:**

See Attached Description from Applicant.

**Attachments:**

- Vicinity Map
- List of adjacent property owners used for mailing notifications.
- COA application and supporting materials supplied by applicant.

**Accessibility and Life Safety Guidelines**

6.8.1 Locate fire exits, stairs, landings, and ramps so that they are compatible with the character of the building or site. For example, wheelchair ramps may replicate a railing detail on a building or be of a simple design that allows it to blend discreetly with its surroundings. Such elements should be painted to tie in with the structure.

**Fences and Walls Guidelines**

8.2.4. Historic retaining walls should be preserved. New low walls are appropriate only where a sharp change in grade exists, and shall not exceed a height of two (2) feet. Such walls should be constructed of brick or concrete block covered with a true sand-finish stucco.

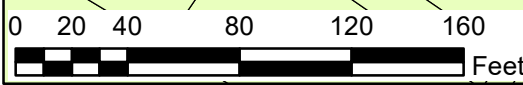
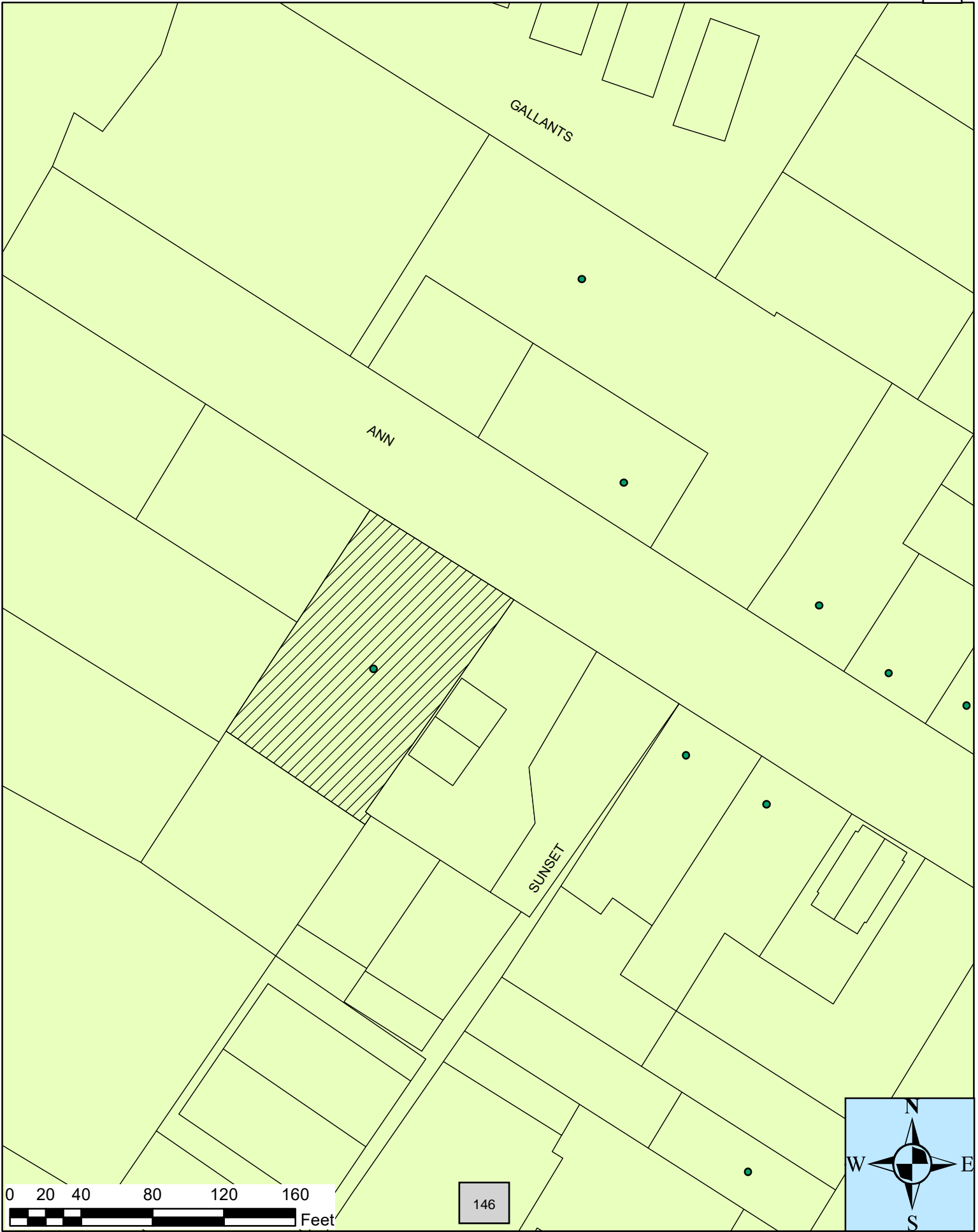
**Demolition of Buildings Guidelines**

10.1.2. Document the historic resource prior to demolition. Documentation shall take the form of black and white photographs, and color digital photographs of the building, structure, or site's principal elevations, architectural elements (both in exterior and interior), and special features. Measured drawings of the resource may also be required. The HPC shall determine on a case-by-case basis the extent of documentation required and the parties responsible for producing such documentation. The documentation shall be submitted to the HPC and become a permanent record of the Town of Beaufort..

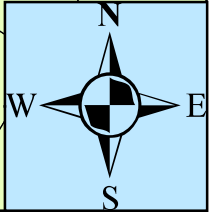
10.1.4. Minimize ground-disturbing activities during demolition to avoid damage to potential unknown archaeological resources.

10.1.5. Retain mature trees on site.

10.1.6. Clean the site thoroughly of all building debris and leave the lot properly graded and seeded.



146



**OWNER**

ARCURI GUY  
ASKEY BARBARA LEE TRUSTEE  
FLOW VICTOR I JR  
FROHBOSE FREDERICK A ETUX KELL  
KEESLER WILLIAM PRESNELL  
OSTROW GENE J ETUX T. WOODY  
YOST MARK S  
ZIGLAR WILLIAM R ETUX MEGAN

**FullMailin**

400 ROSLYN RD WINSTON SALEM, NC 27104  
182 TRANKILO STREET APT 604 BARRIGADA, GU 96913  
18 GRAYLYN PLACE CT WINSTON SALEM, NC 27106  
1608 PINECREST ROAD ROCKY MOUNT, NC 27803  
28 BRIAR ST NORWALK, CT 06854  
105 PATTON PL CHAPEL HILL, NC 27517  
2026 SAINT ANDREWS ROAD GREENBORO, NC 27408  
117 ANN STREET BEAUFORT, NC 28516

**CERTIFICATE OF APPROPRIATENESS APPLICATION  
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



**Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

**APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: Margaret K. Chalk, AIA, NCARB

Applicant Address: MK Chalk Architecture, PA, PO Box 622, 105 Banks St., Morehead City, NC 28557

Business Phone: (252) 726-3099 (office) (252)723-4010 (cell) Email/Cell: mkcarchitect@protonmail.com

Property Owner Name: Victor I. FLOW, Jr.

Address of Property: 114 Ann Street, Beaufort, NC

Phone Number: 336-813-2555 Email/Cell: roddy@triad.rr.com

**PROJECT INFORMATION**

Detailed description of the Proposed Project (please attach additional pages if necessary):

*SEE ATTACHED*

Estimated Cost of Project: \$ 250,000

Year House Built: 1845

*Margaret K. Chalk, Architect*  
Applicant Signature *Agent for Owner*

10 February 2026  
Date

Property Owner Signature (if different than above)

10 February 2026  
Date

*An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

**OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

148

Deemed Completed and Accepted: \_\_\_\_\_

CERTIFICATE OF APPROPRIATENESS APPLICATION  
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC  
DISTRICT

**PROJECT INFORMATION**

This property at 114 Ann Street is identified as the Buckman house, c.1845. Ruth Little’s survey of historic Beaufort architecture describes it as a “Greek Revival Side gable house, 3 bays wide, on a raised basement laid in common bond brick.”

Karen Safrit and Jean Kell’s 1977 pictorial book, Historic Beaufort, North Carolina, states that it is “built in the style of the South Carolina rice plantation houses with the basement above ground.”

At some time (unknown) during the life of the house, the raised basement was finished as a habitable space, and remains so. Other additions of unknown dates have also been made to the rear and west side of the house.

This Application requests a COA for :

- 1) Removal of the west side addition, which is shown on the Site Plan as “Carport”, “Utility”, and “Concrete Driveway.”
- 2) Repair west side elevation of main house block after removal of addition. Move low-overhead west side door to rear of house. Add Lift to rear wall of house for accessibility.
- 3) Replace existing wood siding with cedar lapped siding – keep same reveal.
- 4) Rebuild front steps, and refurbish front porch and shutters, keeping same colors.
- 5) Build 2’-0” high brick wall around 2 sides of property to protect basement from water intrusion during king tide events.
- 6) Landscape side yard and plant as a lawn to replace the carport and driveway additions after removal.

# REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)

Please provide the following along with this checklist form, with the COA application:

## 1. Items required for ALL projects:

- A list of all Design Guidelines that apply to the application and a description of how proposed changes are consistent with the *Design Guidelines for the Beaufort Historic District & Landmarks*, which can be found at <https://www.beaufortnc.org/bc-hpc/page/design-guidelines-beaufort-historic-district-landmarks>
- A list of all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

## 2. Items required as applicable to project:

- A description of any planned demolition. *SEE DEMOLITION Guidelines & SURVEY Notes.*
- An indication of all trees to be replaced and/or removed. *None - all saved.*
- A landscaping plan indicating major planting materials. *SITE PLAN*
- N/A*  Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- All types of building material samples.
- N/A*  If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

## 3. Additional items required (only) for new Signage:

- N/A*  A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

4. At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.

5. The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a building permit for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org).*

# REQUIRED ATTACHMENTS FOR A COA

## DESIGN GUIDELINES THAT APPLY TO THIS COA APPLIATION ARE:

### REHABILITATION, LANDSCAPING, AND DEMOLITION

---

#### CHAPTER 6.

#### WOOD SIDING, TRIM, AND ORNAMENT GUIDELINES

The basic architectural elements of this house are to remain unchanged, with only necessary repairs to preserve the original historic character, and the removal of a dilapidated modern carport wing.

6.2.1. Existing wood window shutters, trim, ornamentation, and other decorative elements will be cleaned, caulked, and painted same color as existing. Existing Clapboard wood Siding will be replaced with matching-profile Cedar clapboard siding, installed with the same original reveal, and painted matching white. Cedar is more rot-resistant, and was an original historic material for home construction in Beaufort, NC.

6.2.2. & 6.2.3. Historic wood elements will be preserved and repaired, and only replaced if too deteriorated to repair. Wood element replacement will only take place per the Guidelines.

6.2.4. Only the damaged portion of an historic wall will be replaced, not the whole wall.

6.2.5. Only hand-sanding and low-pressure washing will be used to prepare exterior surfaces for painting.

6.2.6. Paint stripping will not be conducted on this project unless historically documented. None is anticipated at this time.

6.2.7. Clapboard will be replaced with identical width and profile to match existing.

6.2.8. There are no plans to compromise the architectural integrity of this structure by concealing or removing existing features or decorative details.

6.2.9. No imitation or pressed wood, vinyl, or aluminum siding will be used on this project.

6.2.10. See 6.2.1 regarding Cedar Siding to be installed.

6.2.11. Not applicable.

6.2.12. Features such as cornices, brackets, pilasters, door and window moldings, pediments, medallions, dentil and modillion moldings, corner boards, or other character-defining architectural items will be removed.

6.2.13. Salvaged materials from other buildings and stock trim will not be used. Existing trim from another part of the building will not be used unless historically documented.

#### ACCESSIBILITY AND LIFE SAFETY GUIDELINES

6.8.1., 6.8.2., 6.8.3 – A lift will be added to the rear of the building. It will not compromise the appearance of the historic entrance porch, as it is on the rear, and not visible from Ann Street, and does not change any features of the front façade.

CHAPTER 8. FENCES AND WALLS GUIDELINES

8.2.1.,8.2.2.,8.2.3 No Fences are planned, and no historic fences are existing,

8.2.4. No historic walls exist. A new low brick wall is designed to be 2'-0" high, located just inside the north and west property lines, and protecting the property (finished basement) from an influx of water during king tides.

CHAPTER 10. DEMOLITION OF HISTORIC LANDMARKS AND BUILDINGS IN THE BEAUFORT HISTORIC DISTRICT.

10.1.1. & 10.1.2. The deteriorated attached carport/utility wing has no historical significance, is not a contributing building, and will not be replaced.

10.1.3. There are no architectural features to salvage. The carport wing was constructed with plain materials, and no architectural characteristics. It, in fact, clearly does not belong with the house period.

10.1.4. Ground disturbing will be minimized.

10.1.5. Mature trees will be retained on site.

10.1.6. The house lawn will be cleaned, graded, and seeded to enhance the historic house at 114 Ann Street.

Adjacent Property Owners of Victor I. Flow, Jr.  
114 Ann Street, Beaufort, NC  
Parcel No.: 730617013296000

97 Sunset Lane, Beaufort, NC  
Parcel No.: 730617013060000  
Flow, Victor Ivan Jr.  
18 Graylyn Place Court  
Winston Salem, NC 27106

99 Sunset Lane, Beaufort, NC  
Parcel No.: 730617013074000  
Flow, Victor Ivan Jr.  
18 Graylyn Place Court  
Winston Salem, NC 27106

Common Area  
Parcel No.: 730617013077000  
Sunset Lane Townhouses  
18 Graylyn Place Court  
Winston Salem, NC 27106

Vic Flow

105 Sunset Lane, Beaufort, NC  
Parcel No.: 730617014104000  
Askey, Barbara Lee Trustee  
182 Trankilo Street #604  
Barrigada, Guam 96913

120 Ann Street, Beaufort, NC  
Parcel No.: 730617014296000  
Bollinger, Clay Belin  
4600 Hickory Nut Ridge Road  
Granite Falls, NC 28630

Rick Monaco & David Bradley

120 Ann Street, Beaufort, NC  
Parcel No.: 730617015220000  
Revels, Ray V. Jr.  
120 Ann Street  
Beaufort, NC 28516

106 Ann Street, Beaufort, NC  
Parcel No.: 730617013335000  
Ostrow, Gene J & T. Woody  
105 Patton Place  
Chapel Hill, NC 27517

115 Ann Street, Beaufort, NC  
Parcel No.: 730617014444000  
Yost, Mark S.  
2026 St. Andrews Rd.  
Greensboro, NC 27408

117 Ann Street, Beaufort, NC  
Parcel No.: 730617015329000  
Ziglar, William R. & Megan  
117 Ann Street  
Beaufort, NC 28516

119 Ann Street, Beaufort, NC  
Parcel No.: 730617015464000  
Chadwick, Bradford Q.  
M. Bruce Chadwick Trust  
4003 Halcyon Drive  
Huntersville, NC 28078

122 Ann Street, Beaufort, NC  
Parcel No.: 730617015167000  
Flow, Eric B. & Megan T.  
8570 Brook Meadow Court  
Lewisville, NC 27023

124 Ann Street, Beaufort, NC  
Parcel No.: 730617016116000  
Hardesty, Jerry Jr. & Shelia  
124 Ann Street  
Beaufort, NC 28516

126 Ann Street, Beaufort, NC

Parcel No.: 730617016150000  
Mary Christina Baker & Caleb Richard Cunningham  
Carroll Lvg Trust  
125 Craven Street  
Beaufort, NC 28516

124-130 Sunset Lane, Beaufort, NC

Parcel No.: 730617015110000  
John & Joseph LLC  
325 Front Street  
Beaufort, NC 28516

122 Sunset Lane, Beaufort, NC

Parcel No.: 730617015033000  
Moore, Michael A & Moore, William M. Jerry Wordsworth  
113 Moore Street  
Beaufort, NC 28516

Alley way

Parcel No.: 730617014083000  
Candlewood Investments LLC Jerry Wordsworth  
c/o Douglas K. Martin  
PO Box K  
Rocky Mount, NC 27804

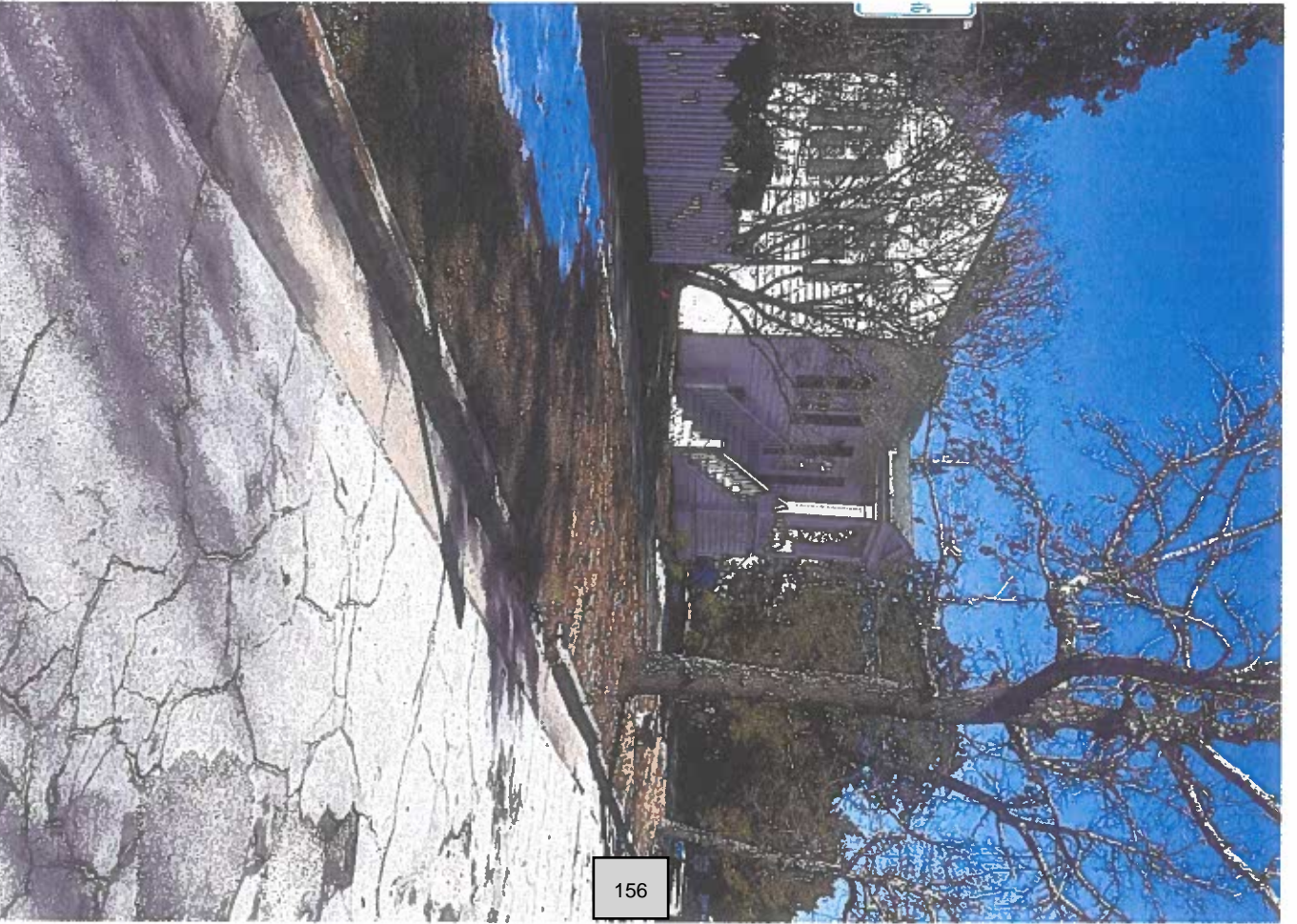
100 Sunset Lane, Beaufort, NC

Parcel No.: 730617014925000  
Sunset Lane Properties LLC Jerry Wordsworth  
PO Box K  
Rocky Mount, NC 27804



ANN ST.

STREETSQUARES



ANN ST.

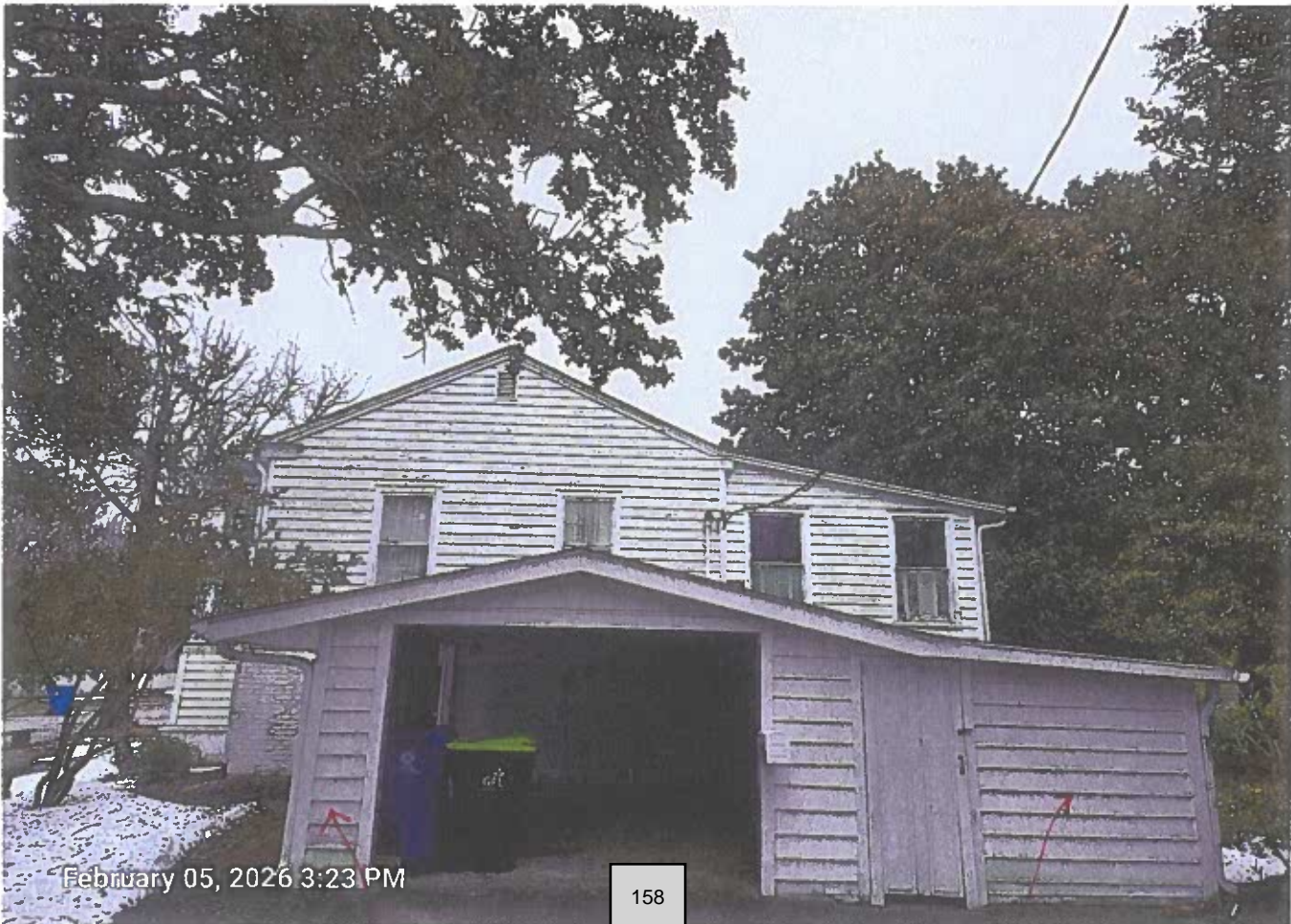
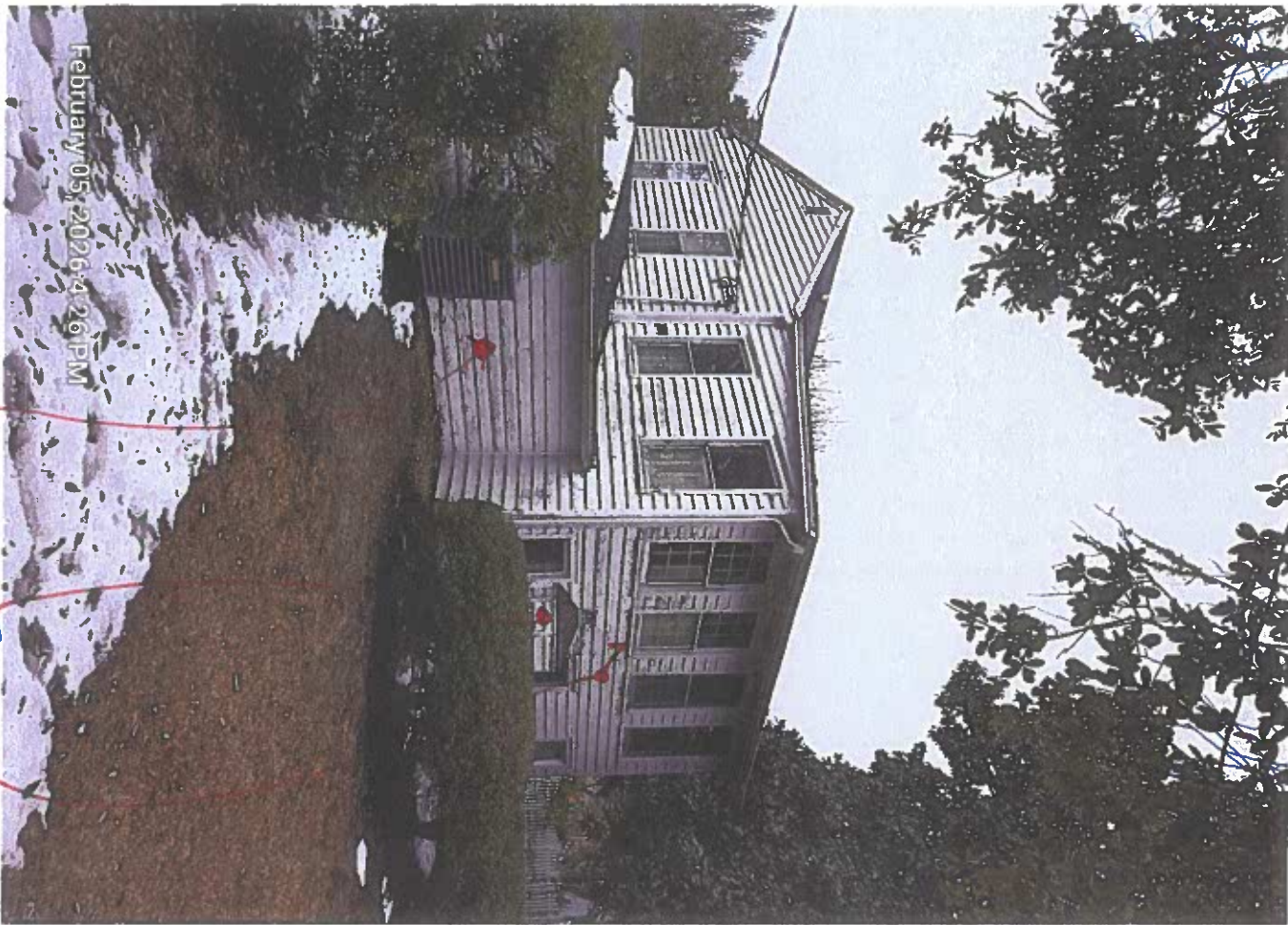


PRIVATE DRIVE

ST. GERTSIAVES



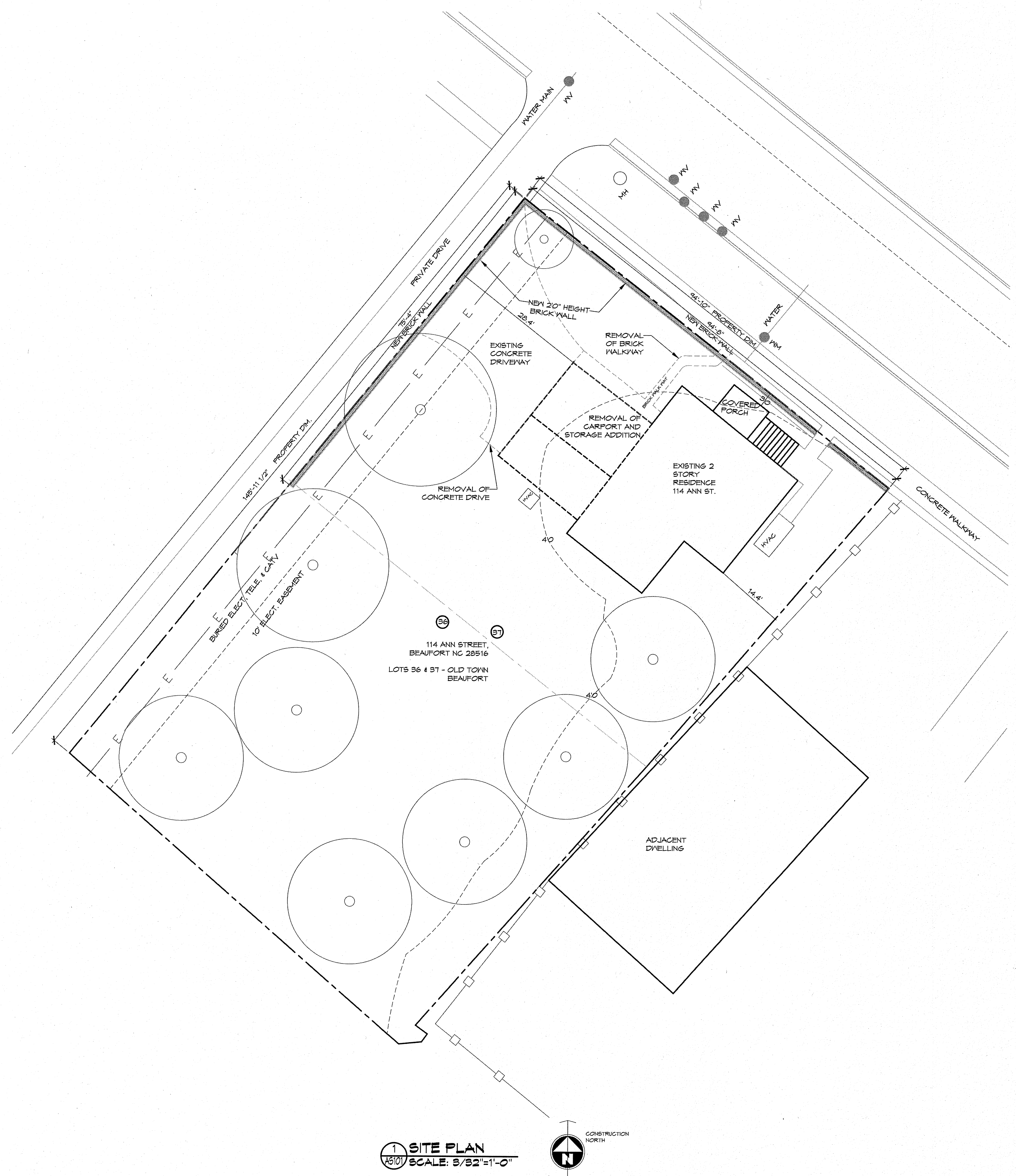
ANN ST.



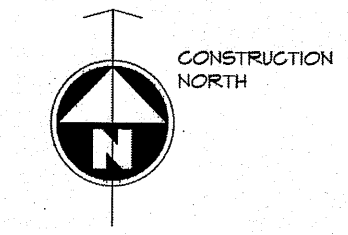
3.

# Description of Building Materials.

- 1. Cedar Lapped Siding - match existing profile & size. Paint white to match existing house.
  
- 2. Brick Retaining Wall – sample attached.

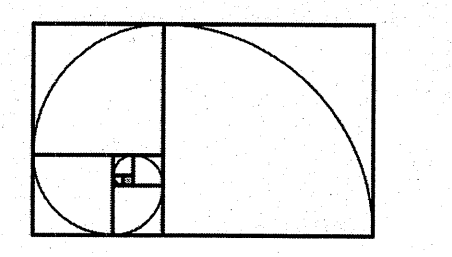


1 SITE PLAN  
 AS101 SCALE: 3/32"=1'-0"



THESE DRAWINGS AND SPECIFICATIONS REPRESENT AN INSTRUMENT OF SERVICE AND AS SUCH SHALL REMAIN IN OWNERSHIP WITH THE ARCHITECT. USE OR REPRODUCTION BY ANY MEANS, IN WHOLE OR IN PART, WITHOUT THE ARCHITECT'S CONSENT, IS PROHIBITED.

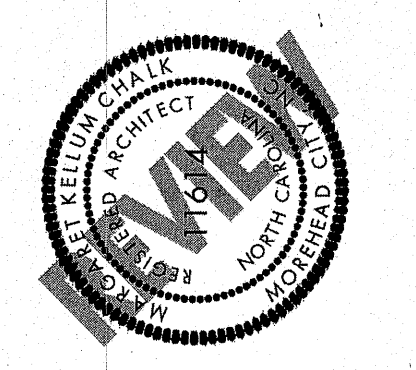
**PROGRESS SET**



**MKChalk**  
 Architecture P.A.  
 105 Banks Street Morehead City  
 North Carolina 28557  
 252 726-5387 252-726-3099  
 fax 252 726-1250 info@burnchalk.com

Consultants:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SEAL:



Revisions:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**FLOW RESIDENCE**  
 114 Ann Street  
 Beaufort NC, 28516  
 Project Number: 26001

OWNERS INITIALS  
 & DATE OF APPROVAL

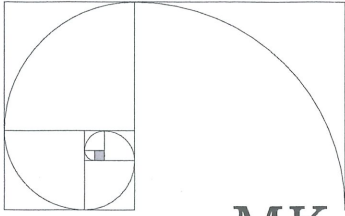
APPROVED BY OWNER DATE

APPROVED BY OWNER DATE

DATE: 02/10/2026  
 CHECK BY: MKC  
 DRAWN BY: CCE  
 SCALE: AS SHOWN  
 PROJECT PHASE: SD

**SITE PLAN**

**AS101**



## MK Chalk Architecture P.A.

---

105 banks street morehead city, north carolina 28557  
252 726-5387 252 726-3099 fax 252 726-1250 [info@burnchalk.com](mailto:info@burnchalk.com)  
[www.burnchalk.com](http://www.burnchalk.com)

### LETTER OF TRANSMITTAL

Project: FLOW RESIDENCE - 114 ANN STREET BEAUFORT, NC

Date: FEB 12<sup>TH</sup>, 2026

To: KYLE GARNER, TOWN PLANNER via EMAIL  
[K.GARNER@BEAFORTNC.ORG](mailto:K.GARNER@BEAFORTNC.ORG)

From: MAGGIE K. CHALK, ARCHITECT; CAROLINE BEATY,  
ARCHITECTURAL INTERN

Tel: (252) 726-3099  
Fax: (252) 726-1250  
Email: [mkcarchitect@protonmail.com](mailto:mkcarchitect@protonmail.com)  
[info@burnchalk.com](mailto:info@burnchalk.com)

Reference: Project Site Plan PDF

---

Message:

As requested, a copy of the PDF Site Plan for 114 Ann Street has been sent to [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org).

Thank you for your patience,

Maggie Chalk, Architect  
Caroline Beaty, Architectural Intern

Cc: Project File  
26001 Flow 114 Ann Street Transmittals