



## **Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - [www.beaufortnc.org](http://www.beaufortnc.org)

### **Town of Beaufort Historic Preservation Regular Meeting 6:00 PM Tuesday, January 09, 2024 - Train Depot, 614 Broad Street, Beaufort, NC 28516 Monthly Meeting**

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#### **Call to Order**

#### **Roll Call**

#### **Agenda Approval**

#### **Minutes Approval**

- [1.](#) HPC Draft Minutes 120523

#### **Administration of Oaths**

#### **Items of Consent**

- [1.](#) Approval of the Orders for 107 Sunset Lane, 100 Sunset Lane, 120 Craven Street & 121 Craven Street – Certificate of Appropriateness

#### **Old Business**

- [1.](#) Case # 23-07 308 Moore Street - Retaining Wall
- [2.](#) Case # 23-33 100 Sunset Lane - Fencing, Parking & Landscaping

#### **New Business**

- [1.](#) Case # 24-01 115 Front Street - Dock & Boat Lifts
- [2.](#) Case # 24-02 122 Craven Street - Window Replacement
- [3.](#) Case # 24-03 211 Turner Street - Window Addition
- [4.](#) Case # 24-05 112 Moore St - Landscaping, Gutters, Hardscape Repair

#### **Commission / Board Comments**

#### **Staff Comments**

#### **Adjourn**

DRAFT



**Town of Beaufort, NC**  
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**Town of Beaufort Historic Preservation Regular Meeting**  
**6:00 PM Tuesday, December 5, 2023 - Train Depot, 614 Broad Street, Beaufort, NC 28516**  
**Minutes**

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**Call to Order**

Chair McCune called the December 5, 2023 Beaufort Historic Preservation Commission regular meeting to order at 6:00 p.m.

**Roll Call**

Members Present: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker

Members Absent: Bradley Cummins

A quorum was declared with six members present.

Staff Present: Kyle Garner, Town Attorney Arey Grady, and Laurel Anderson.

**Agenda Approval**

*Vice-Chair Flowers made the motion to approve the Agenda and Member Hedrick made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

**Minutes Approval**

*Vice-Chair Flowers made the motion to approve the Agenda and Member Morris made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

**Administration of Oaths**

Chair McCune gave the Quasi-Judicial Statement and Secretary Anderson administered the Oath to Kyle Garner.

**Items of Consent**

*Vice-Chair Flowers made the motion to approve the Order for Cases #23-07 308 Moore Street, #23-26 107 Sunset Lane, #23-27 505 Front Street, #23-28 318 Orange Street, and #23-29 310 1/2 Orange Street and Member Huckabee made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

**New Business**

- 1. Case #23-30; 107 Sunset Ln – Fencing & Pavers

Chair McCune introduced Case #23-30 and asked if any members needed to recuse and hearing none, she asked for the Staff Report. Mr. Garner explained that Staff reviewed the application with the Town Attorneys, who could not verify from a preliminary title review that the Applicant is the owner of record of the 10’ wide drive where the proposed pavers are planned. Accordingly, and as announced during the October HPC meeting, the Applicant was required to either present evidence of ownership of the 10’ drive or present evidence of the consent of the owner of the drive (if other than the Applicant) to the portion of this application regarding the pavers. The Applicant has since withdrawn the portion of the application regarding the 10’ driveway and requested pavers.

He further explained that the applicant requested the installation of a 6’-tall white privacy fence along the west property line and to install a 3’ tall white picket fence along the Sunset Lane property line and along the driveway.

Secretary Anderson administered the Oath to the applicant’s architect and agent, Maggie Chalk. She stated that Mr. Flow was requesting the fences and had withdrawn the request for pavers. She noted that the neighbors had expressed concern regarding the improvements at Mr. Flow’s property, and stated that he had never intended to interrupt access to anyone’s property and he wanted to improve the appearance of the neighborhood.

Vice-Chair Flowers requested more information about the 6’ privacy louvered fence and Ms. Chalk explained the louvers were horizontal and on an angle, and there was a similar fence on another property nearby owned by Mr. Flow.

Chair McCune verified the fence would not intrude into the alleyway but would turn and become a 3’ fence and Ms. Chalk agreed.

Chair McCune asked if there were anyone else in the audience who would like to speak.

Secretary Anderson administered the Oath to Debra Ball, property manager for Barbara Askey who is the owner of 105 Sunset Lane. Ms. Ball expressed their concern with the height of the fence which would create a wall adjacent to 105 Sunset Lane and requested the height of the fence be lowered.

Member Hunsucker asked the visibility of the fence as seen from Sunset Lane, and Chair McCune explained that it was at the rear of the lot but could be seen from Sunset Lane. She then read Guideline 8.2.3 which states that “fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high.” Member Hunsucker noted that her interpretation was that the fence would be visible from Sunset Lane.

Member Hedrick asked about the orientation of the lot and Mr. Garner explained that it could be either on Sunset Lane or the other lane on the side but the house was addressed for Sunset Lane. Member Hedrick stated that the area could readily be seen, and Chair McCune and Town Attorney Grady agreed that as the next-door house had been demolished it was visible. Chair McCune then explained to the applicant that according to Guideline 8.2.3,

the fence should be no higher than 4 feet, but the application could be amended to update the fence height to 4 feet. The applicant agreed to amend the fence height.

*Chair McCune asked for a motion for a Finding of Fact for Case #23-30. Vice-Chair Flowers made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #23-30, move that the Commission conclude that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Fences and Walls 8.2.2, 8.2.3, with the condition that the fence on the west property line be no higher than 4 feet tall.*

*Member Huckabee made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #23-30.

*Member Huckabee made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #23-30 be issued for the proposed work with the condition that the fence on the west property line be no higher than 4 feet tall.*

*Member Hedrick made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then declared Case #23-30 closed and notified Ms. Chalk that the Minutes and Findings of Fact would be adopted at the next meeting and the COA would then be issued.

2. Case #23-31; 120 & 120A Craven St – Paint, Porch & Lighting

Chair McCune introduced Case #23-31 and asked if any members needed to recuse and hearing none, she asked for the Staff Report. Mr. Garner explained that the owner wishes to paint the front door, paint the porch ceiling and add exterior lights beside the front door at 120 & 120 A Craven Street.

Secretary Anderson administered the Oath to the applicant, Dina Santoro who is the trustee of the property. Ms. Santoro explained that they were working on repairs, updating the front door, and adding a sconce beside the door to provide extra lighting for safety.

Vice-Chair Flowers requested the actual paint sample which Mr. Garner entered into the record to show the Board the true paint color.

*Chair McCune asked for a motion for a Finding of Fact for Case #23-31. Vice-Chair Flowers made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #23-31, move that the Commission conclude that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Paint and Exterior Colors 6.7.2; Exterior Lighting 8.4.1, 8.4.2, 8.4.3, 8.4.5.*

*Member Morris made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #23-31.



*Member Huckabee made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #23-31 be issued for the proposed work.*

*Member Morris made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then declared Case #23-31 closed and notified Ms. Santoro that the Minutes and Findings of Fact would be adopted at the next meeting and the COA would then be issued.

3. Case #23-33 100 Sunset Ln – Fencing, Driveway & Exterior Lighting

Chair McCune introduced Case #23-33 and asked if any members needed to recuse themselves and hearing none, she asked for the Staff Report. Mr. Garner explained that the owners wished to install fencing, pavers, landscaping, and exterior lighting at 100 Sunset Lane.

Secretary Anderson administered the Oath to the applicant’s architect, Jay Horton of Filter Design Studio. He stated that the owner was requesting a 4’ picket fence around the entire property, pavers to match existing, a 6’ lamp post at the front door with a copper fixture, and landscaping.

Vice-Chair Flowers asked about the brightness of the light in the lamppost and Mr. Horton stated that it would mimic gas lighting.

Chair McCune asked about the 16 Mary Nell hollies requested in the landscaping design and Mr. Horton said they would be planted tightly together and they could reach a height of 20’ at maturity. She also asked how far the fence would be from the edge of the pavement, and Mr. Horton replied that it would be from 7 to 8’ from the street and there would be room for pedestrian access. Chair McCune also asked about the proposed double gate and Mr. Horton stated that the gate was specifically for maintenance and possibly golf cart access, and it was a lawn and not for car parking. After a short discussion regarding the possible amendment of the application Chair McCune stated that she was not comfortable with the growth height of the hollies.

Vice-Chair Flowers asked about the distance between the fence and the edge of the concrete, and Mr. Horton stated that it varied but it was just over 5’.

Chair McCune pointed out the Landscaping Guidelines 8.1.5 and the hollies creating a wall especially near the narrow lane. Mr. Horton suggested other plants and Chair McCune reiterated her concern regarding the height of the hollies on the frontage of the property. They agreed that dwarf yaupon would be a good replacement for the Mary Nell hollies in that area.

*Chair McCune asked if there were any parties with standing, and hearing none and no further questions, asked for a motion for a Finding of Fact for Case #23-33. Vice-Chair Flowers made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #23-33, move that the Commission conclude that the pending application meets the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Fences and Walls Guidelines 8.2.2, 8.2.3, 8.2.6; Off-Street Parking 8.5.1, 8.5.2, 8.5.3, 8.5.4, 8.5.5, 8.5.6, 8.5.7; Landscaping Guidelines 8.1.2, 8.1.3, 8.1.4, 8.1.5, 8.1.6, 8.1.7, 8.1.14; Exterior Lighting 8.4.1, 8.4.2, 8.4.3, 8.4.5; with the condition that the Mary Nell Hollies on the west side are changed to Dwarf Yaupon Hollies.*

*Member Hedrick made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #23-33.

*Member Hedrick made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #23-33 be issued for the proposed work, with the condition with the condition that the Mary Nell Hollies on the west side are changed to Dwarf Yaupon Hollies.*

*Vice-Chair Flowers made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then declared Case #23-33 closed and notified Mr. Horton that the Minutes and Findings of Fact would be adopted at the next meeting and the COA would then be issued.

4. Case #23-35 121 Craven St – Brick Walkway

Chair McCune introduced Case #23-35 and asked if any members needed to recuse themselves and hearing none, she asked for the Staff Report. Mr. Garner explained that the owner wished to remove the existing concrete walk and replace it with brick pavers.

Vice-Chair Flowers clarified that the steps would also be replaced.

Secretary Anderson administered the Oath to the applicants and property owners, Norm and Heather Sink. Mr. Sink explained that the stairs would also be demolished as they were cracked and hazardous but they would leave the brick casements on each side. They would rebuild Savannah brick steps and also demo the concrete walkway and use the same requested brick pavers.

Vice-Chair Flowers asked if the raised sidewalk curbs would be left and Mr. Sink said that they would not be, and Member Hedrick discussed the possible reasons for the raised curbs.

*Chair McCune asked if there were any parties with standing, and hearing none and no further questions, asked for a motion for a Finding of Fact for Case #23-35. Vice-Chair Flowers made the following motion: Having reviewed the record and having considered all evidence submitted and oral testimony for case #23-35, move that the Commission conclude that the pending application fails to meet the following design standards under the Design Guidelines for the Beaufort Historic District and Landmarks: Landscaping 8.1.10, 8.1.11; Demolition of Buildings 10.1.1, 10.1.2, 10.1.3.*

*Member Huckabee made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then asked for a motion for a Certificate of Appropriateness for Case #23-35.

*Member Morris made a motion to approve the Certificate of Appropriateness based on the following: Based upon the foregoing Findings of Fact, I move that the proposed project is not incongruous with the special character of the historic district as a whole and that a Certificate of Appropriateness for Case #23-35 be issued for the proposed work.*

*Vice-Chair Flowers made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune then declared Case #23-35 closed and notified the applicants that the Minutes and Findings of Fact would be adopted at the next meeting and the COA would then be issued.

5. 2024 Historic Commission Meeting and Submittal Calendar

Ms. Anderson stated that no dates had been moved due to competing holidays on the 2024 calendar.

*Member Huckabee made a motion to approve the 2024 Historic Commission Meeting and Submittal Calendar and Vice-Chair Flowers made the second.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

**Commission / Board Comments**

- a. Member Morris mentioned the upcoming Historic Resilience workshop which would be held in New Bern.
- b. Member Hedrick followed up on the previous meeting’s discussion regarding an approval process for completed COA’s. Mr. Garner explained that there was now a process in place to go into the field to check on the status of COA’s and Minor Works, and the department can also track COA’s in the new permit portal.
- c. Member Hunsucker thanked Chair McCune for her observations regarding Sunset Lane, and asked when the new Guidelines would be available.
- d. Chair McCune thanked Mr. Grady for being at the meeting and wished everyone a Merry Christmas.

**Staff Comments**

- a. Mr. Garner informed the Board that the Certified Local Government yearly report had been submitted and the Commission had heard about 53 cases throughout the year.
- b. He also reminded the Commission about the upcoming Historic Resilience workshop in New Bern on December 7<sup>th</sup>, how important the training would be, and that Beaufort had been one of two model communities in the state and had already begun the resiliency process.
- c. The Historic Resiliency Standards will be distributed at the workshop and will be included in the new Historic Preservation Standards. The HPC members will be emailed the latest copy of the Standards draft to review and comment on.

**Adjourn**

*Member Huckabee made the motion to adjourn and Vice-Chair Flowers made the second. Chair McCune took a vote that was unanimously approved.*

*Voting yea: Chair McCune, Vice-Chair John Flowers, Bradley Hedrick, Ian Huckabee, Marissa Morris, and Tammy Hunsucker*

Chair McCune declared the December 5<sup>th</sup>, 2023 meeting adjourned at 7:23 p.m.

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Chair, Joyce McCune

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Board Secretary, Laurel Anderson



**Town of Beaufort, NC**

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**Town of Beaufort Historic Preservation Commission  
6:00 P.M. January 2, 2024 – 614 Broad Street – Train Depot**

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**AGENDA CATEGORY:** Consent

**SUBJECT:** Approval of the Orders for 107 Sunset Lane, 100 Sunset Lane, 120 Craven Street & 121 Craven Street – Certificate of Appropriateness

**BRIEF SUMMARY:**

As part of the new General Statutes (160D), prior to Evidentiary Hearing Orders being signed and sent to the applicant/property owners, the Board in which conducted the hearing is to review the order for accuracy.

The staff has consulted with the Town Attorney and now asks that the Historic Commission Members review the orders for such accuracy and be prepared to make a motion to recommend approval of the Order or to approve with Commission recommended changes.

**REQUESTED ACTION:**

Review the order for such accuracy and be prepared to make a motion to recommend approval of the Order or to approve with Commission recommended changes.

**EXPECTED LENGTH OF PRESENTATION:**

0 Minutes (Presentation from Staff)

**SUBMITTED BY:**

Kyle Garner, AICP Planning Director

**BUDGET AMENDMENT REQUIRED:**

N/A



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January 2, 2024

Victor Flow  
18 Graylyn Place Court  
Winston Salem, NC 27106

RE: Case # 23-30 107 Sunset Lane – Fencing

Dear Mr. Flow:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate



TOWN OF BEAUFORT, NC  
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on December 5, 2023 to consider a Certificate of Appropriateness (“COA”) application submitted by Victor Flow for **CASE # 23-30 107 SUNSET LANE – FENCING** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on December 5, 2023, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material, and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view.

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 23-30 107 SUNSET LANE – FENCING with the condition that the height of the fence on the west side of the property be limited to 4 feet.**

This the 2nd day of January 2024

\_\_\_\_\_  
Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



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January 2, 2024

Jay Horton (Filter Design Studio PLLC)  
707 Bridges Street  
Morehead City, NC 28557

RE: Case # 23-33 100 Sunset Lane - Fencing, Driveway & Exterior Lighting

Dear Mr. Horton:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate

cc: Sunset Lane Properties, LLC

Mayor Sharon Harker  
Commissioner John Hagle • Commissioner Marianna Hollinshed  
Commissioner Bucky Oliver • Commissioner [redacted] in Cooper • Commissioner Bob Terwilliger  
Town Manager [redacted] Todd Clark





TOWN OF BEAUFORT, NC  
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on December 5, 2023 to consider a Certificate of Appropriateness (“COA”) application submitted by Jay Horton (Filter Design Studio PLLC) for **CASE # 23-33 100 SUNSET LANE - FENCING, DRIVEWAY & EXTERIOR LIGHTING** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on December 5, 2023, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

*Fences and Walls Guidelines*

8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material, and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view.

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

8.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of three (3) feet at the street/sidewalk edge. (SEE OFF-STREET PARKING GUIDELINES for more details)

*Off-street Parking Guidelines*

8.5.1 Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.

8.5.5. Integrate pedestrian scale lighting into parking areas to avoid excessive glare and illumination to adjoining properties. See EXTERIOR LIGHTING guidelines and the Beaufort Zoning Ordinance for further details on lighting standards.

8.5.6. Incorporate existing mature trees into new parking areas. Avoid the placement of impervious surface materials such as asphalt and concrete in areas below the canopy crown of the tree. Use turf stone, gravel, marl, or other pervious materials in these areas.

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

*Landscaping Guidelines*

8.1.1. Preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.

8.1.2. Preserve and maintain the individual components and historic features that contribute to Beaufort’s historic character, including mature trees, ornamental trees, and hedge rows.

8.1.4. Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina cherry laurel and sweet bay magnolia.

8.1.6. Palms, banana trees and other tropical type landscape materials should not dominate the landscape palette. Sabal palms may be used as a minor landscape element. Likewise, any use of other tropical style plant materials that can be viewed from the public property should be limited to a minor complementary presence. Traditional plant materials including live oak trees, deciduous shade, and understory trees (service berry or dogwood) and broadleaf evergreen and deciduous shrubs should dominate the landscape.

8.1.7. Maintain the relationship between the mass/proportion of the building and open space within the context of the streetscape for new construction, additions, and landscape.

8.1.10. Contemporary edging or border materials, such as exposed landscape timbers, railroad ties, pre-cast concrete, plastic, or other substitute material borders are not appropriate in areas seen from the public view.

*Exterior Lighting Guidelines*

8.4.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site.

8.4.2. Choose lighting sources that generate a soft white light instead of a more intensive yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor or fluorescent light sources.

8.4.3. Avoid placing fixtures in areas that will obscure or damage character-defining architectural elements or site features.

8.4.5. All lighting should be directed toward the property for which it was intended and should not spill over onto adjacent properties.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 23-33 100 SUNSET LANE - FENCING, DRIVEWAY & EXTERIOR LIGHTING** with the **condition that on the west side of the property Dwarf Yaupon Holly be substituted for the Mary Nell Holly, Little Gem Magnolia, and Muhly Grass proposed in the application.**

This the 2nd day of January 2024

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Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



Town of Beaufort  
701 Front St. • P.O. Box 390 • Beaufort, N.C. 28516  
252-728-2141 • 252-728-3982 fax  
[www.beaufortnc.org](http://www.beaufortnc.org)

January 2, 2024

Dina Santoro  
2603 One Iron Street  
Morehead City, NC 28557

RE: Case # 23-31 120 & 120 A Craven Street - Paint, Porch & Lighting

Dear Ms. Santoro:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate

Mayor Sharon Harker  
Commissioner John Hagle • Commissioner Marianna Hollinshed  
Commissioner Bucky Oliver • Commissioner [redacted] in Cooper • Commissioner Bob Terwilliger  
Town Manager [redacted] Todd Clark



TOWN OF BEAUFORT, NC  
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on December 5, 2023 to consider a Certificate of Appropriateness (“COA”) application submitted by Dina Santoro for **CASE # 23-31 120 & 120 A CRAVEN STREET - PAINT, PORCH & LIGHTING** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following CONCLUSION:

Based upon the testimony, evidence, and record before the HPC on December 5, 2023, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

*Paint and Exterior Colors Guidelines*

6.7.2. Determine the building’s style and period and consult with the HPC or reference sources for the most appropriate paint colors. Use paint colors that are appropriate for the style and period of the subject property and that accentuate the building’s architectural features.

*Exterior Lighting Guidelines*

8.4.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site.

8.4.2. Choose lighting sources that generate a soft white light instead of a more intensive yellow or orange light. Metal halide bulbs will achieve the desired effect instead of sodium vapor or fluorescent light sources.

8.4.3. Avoid placing fixtures in areas that will obscure or damage character-defining architectural elements or site features.

8.4.5. All lighting should be directed toward the property for which it was intended and should not spill over onto adjacent properties.

THEREFORE, IT IS ORDERED based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 23-31 120 & 120 A CRAVEN STREET - PAINT, PORCH & LIGHTING**.

This the 2nd day of January 2024

\_\_\_\_\_  
Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



Town of Beaufort  
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252-728-2141 • 252-728-3982 fax  
[www.beaufortnc.org](http://www.beaufortnc.org)

January 2, 2024

Heather & Jerome Sink  
310 Hedrick Street  
Beaufort, NC 28516

RE: Case # 23-35 121 Craven Street - Brick Walkway

Dear Mr. and Mrs. Sink:

Beaufort's Historic Preservation Commission wishes to thank you for your recent application for a Certificate of Appropriateness regarding the property referenced above which is in the Town's Historic District. We appreciate you taking the time to come before the Commission, as well as your willingness to work with us to preserve the distinctive character of Beaufort. Your commitment will help ensure the many historic and cultural resources that we enjoy today will be preserved for future generations.

You have been issued a Certificate of Appropriateness for your project as specified on the enclosed certificate. Please read it carefully. As you proceed with your project, you must comply with all the specifications stated, including provisions in the relevant Historic District Guidelines enumerated on the certificate. Please note the COA must be visibly displayed at the site during the entire duration of the project. Also note that a building permit with the Town may be needed depending on the scope of the work.

Your certificate is valid for the work which must begin within six (6) months from the date of issuance of the COA by the Commission and must be completed no later than one year thereafter. An extension of the COA can be granted upon the Town receiving a written request from the applicant prior to the application expiration date. An extension may only be granted once for a time period of six additional months if the work has been started but not completed within the one-year validation period. Upon completion of your project please contact our office in case an inspection of the project is required.

Thank you for the thought and care that you have dedicated to your project. Your contribution to the preservation of Beaufort's Historic District is greatly appreciated.

Sincerely,

Joyce McCune, Chair  
Beaufort Historic Preservation Commission

Enclosed: COA Certificate



TOWN OF BEAUFORT, NC  
ORDER GRANTING A CERTIFICATE OF APPROPRIATENESS

The Historic Preservation Commission for the Town of Beaufort, N.C. (“HPC”), having held an evidentiary hearing on December 5, 2023, to consider a Certificate of Appropriateness (“COA”) application submitted by Heather and Jerome Sink for **CASE # 23-35 121 CRAVEN STREET - BRICK WALKWAY** and having heard all of the evidence, testimony, and arguments presented during the evidentiary hearing on this item and having the material(s) submitted to the HPC from the applicant, makes the following **CONCLUSION**:

Based upon the testimony, evidence, and record before the HPC on December 5, 2023, we find that the application submitted meets the following design standards under the Design Guidelines for the Beaufort Historic District & Landmarks [revised 2008]:

*Landscaping Guidelines*

8.1.11. Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color, and finish to existing historic sidewalks.

**THEREFORE, IT IS ORDERED** based on the application submitted, the testimony given during the evidentiary hearing and the foregoing findings of fact, the HPC concludes that the proposed project is congruous with the special character of the Historic District as a whole and that a Certificate of Appropriateness be **ISSUED** for **CASE # 23-35 121 CRAVEN STREET - BRICK WALKWAY**.

This the 2nd day of January 2024

\_\_\_\_\_  
Joyce McCune, Chair  
Beaufort Historic Preservation Commission

NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Beaufort Board of Adjustment within 30 days after the date this order is served on you.



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, January 9, 2024 – 614 Broad Street – Train Depot**

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**AGENDA CATEGORY:** Old Business  
**SUBJECT:** Case # 23-07 308 Moore Street - Retaining Wall

**BRIEF SUMMARY:**

While working on the new home at 308 Moore Street the owner has determined that the installation of a retaining wall will aid in not pushing more stormwater on the northern properties. This is the second set of revisions to the original plan (See Staff Report).

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

20 Minutes

**SUBMITTED BY:**

Kyle Garner

**BUDGET AMENDMENT REQUIRED:**

N/A





# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, Planning Director  
**Date:** December 22, 2023  
**Case No.** 23-07

**Request:** Retaining Wall

**Applicant:** Craven Gardner Design & Build  
 301 East Fort Macon Road  
 Atlantic Beach, NC 28512

**Property Information:**

**Owners:** Ben Lapsley  
**Location:** 308 Moore Street  
**PIN#:** 730617113608000

**Project Information:**

In March 2023 the Commission approved the construction of a new structure at 308 except for the metal roof which was tabled.

In October 2023 the Commission approved a COA to::

- Painted front door color.
- Elimination of diamond pattern from gable window mullions and garage door
- Shingle the garage instead of metal roofing.
- Change back of garage window to door (with window)
- Elimination of part of front yard fence
- Straighten walkway from front door to street.
- Increase rear privacy fence from 66” to 72”.

**Proposed work:**

- See Attachment from Applicant

**Material:**

- See Information from Applicant.

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**Color:**

See Attached Description from Applicant.

**Attachments:**

- Vicinity Map
- List of adjacent property owners used for mailing notifications.
- COA application and supporting materials supplied by applicant.

### Fences and Walls Guidelines

8.2.4. Historic retaining walls should be preserved. New low walls are appropriate only where a sharp change in grade exists and shall not exceed a height of two (2) feet. Such walls should be constructed of brick or concrete block covered with a true sand-finish stucco.

# Case # 23-07 308 Moore Street - Retaining Wall

1.

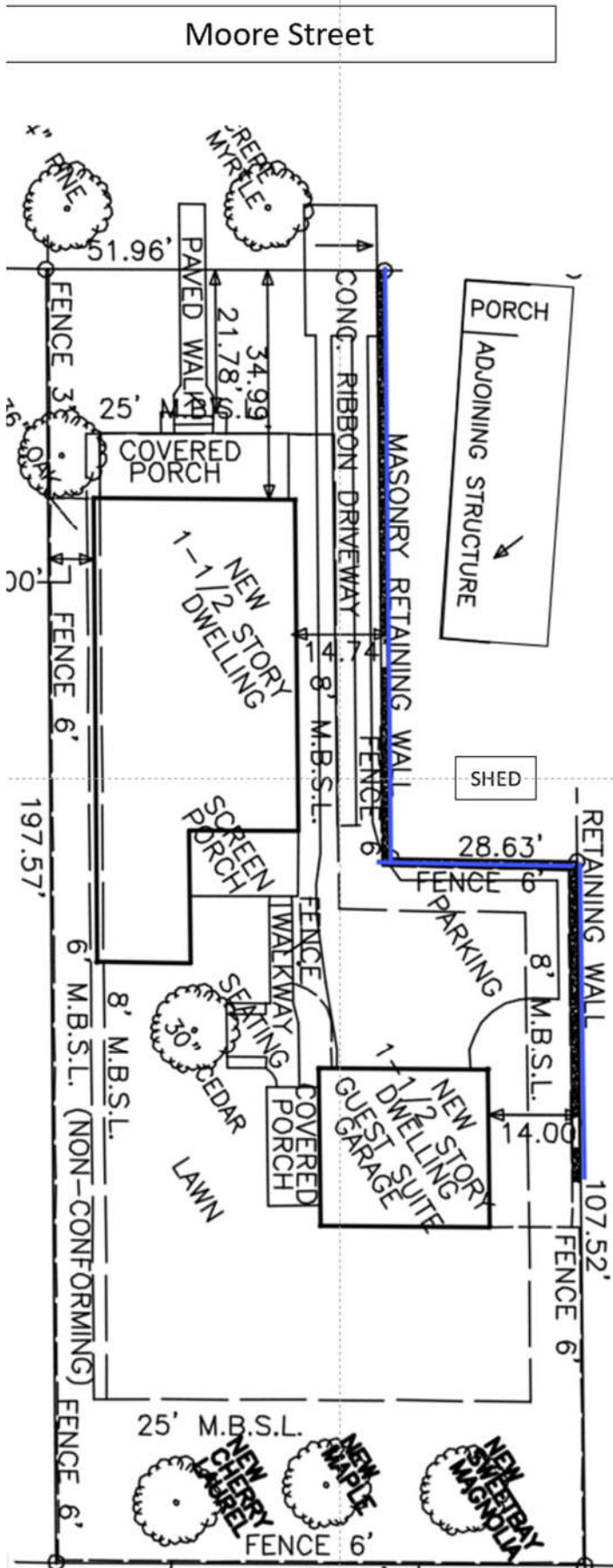
**Legend**

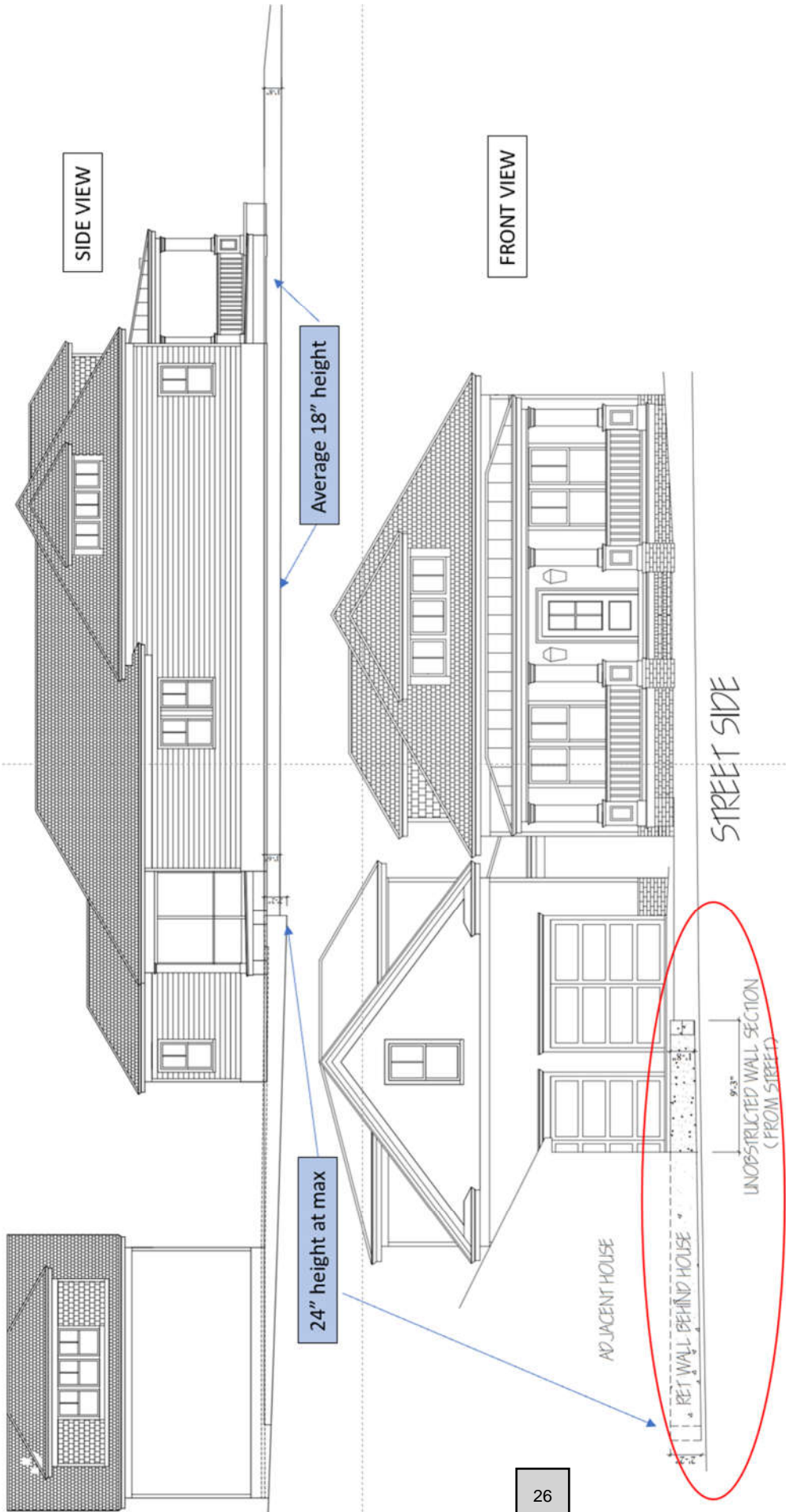
- NCHPOpoints
- Tax\_Parcel\_Data



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<u>OWNER</u>	<u>AIL_HOU</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>IL_ST</u>	<u>AIL_ZI</u>	<u>MAIL_ZI</u>	<u>MAIL_ADD2</u>
FAULKNER,CHRISTOPHER L ETAL TR	1823	W. FRIENDLY AVE	GREENSBORO	NC		27403	
HOLLAND,LAURA ELLEN	305	MOORE STREET	BEAUFORT	NC	1814	28516	
LAPSLEY,BENJAMIN ETUX TAMARA	102	LIONS MOUTH COURT	CARY	NC		27518	
MILLS,STEPHEN D ETUX ETAL			SNOW CAMP	NC		27349	PO BOX 520
SOUTHGATE MANAGEMENT LLC	305	MOORE STREET	BEAUFORT	NC		28516	
TUTTLE,JOHN R JR ETUX NANCY			ATLANTIC BEACH	NC		28512	PO BOX 83
VICK,WILLIAM TEMPLE	144	NORTH HARBOR DRIVE	BEAUFORT	NC		28516	
WILSON,MAMRE	302	MOORE STREET	BEAUFORT	NC		28516	









Materials List:  
Belgard Diamond Pro – Timberline Color  
Concrete Block



Retaining wall will generally follow where silt fence sits today.



Tallest section of wall will be behind rear shed with limited visibility from Moore St.



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, January 9, 2024 – 614 Broad Street – Train Depot**

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**AGENDA CATEGORY:** New Business  
**SUBJECT:** Case # 23-33 100 Sunset Lane - Fencing, Parking & Landscaping

**BRIEF SUMMARY:**

The applicant wishes to install fencing, a new parking area with pavers and landscaping, at 100 Sunset Lane.

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner, AICP

**BUDGET AMENDMENT REQUIRED:**

N/A





# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP  
**Date:** December 22, 2023  
**Case No.** 23-33

**Request:** Install fencing, pavers & landscaping, at 100 Sunset Lane  
**Applicant:** Jay Horton (Filter Design Studio PLLC)  
 707 Bridges Street  
 Morehead City, NC 28557

**Property Information:**  
**Owners:** Sunset Lane Properties, LLC  
**Location:** 100 Sunset Lane  
**PIN#:** 730617004925000

**Project Information:** According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 100 Sunset Lane, circa 1970. House. 2-Story, front gable house with wood shake walls and 8/8 sash. NC Garage. c. 1970. 1-Story wood-shingled garage. (*This structure was demolished before 2018*)

At the December 2023 HPC meeting the Commission discussed a revised landscaping and parking plan with the applicant. Since the meeting the applicant has submitted a new plan which includes a detailed fencing plan, shrub species along Sunset Lane and a new parking area near the structure.

- Proposed work:**
- Install fencing.
  - Install new pavers.
  - Install exterior lighting & landscaping
  -

- Material:**
- See Application

- Color:**
- See Application

### Fences and Walls Guidelines

8.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material, and design. Substitute fence materials are not allowed along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not allowed in public view.

8.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to six (6) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible, and no more than half the depth of the yard forward of the principal structure. Avoid attaching a portion of the fence to a building because of possible termite damage.

8.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of three (3) feet at the street/sidewalk edge. (SEE OFF-STREET PARKING GUIDELINES for more details)

### Off-street Parking Guidelines

8.5.1 Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.

8.5.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.

8.5.3. Site new parking areas in interior or rear lot locations where possible.

8.5.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.

8.5.5. Integrate pedestrian scale lighting into parking areas to avoid excessive glare and illumination to adjoining properties. See EXTERIOR LIGHTING guidelines and the Beaufort Zoning Ordinance for further details on lighting standards.

8.5.6. Incorporate existing mature trees into new parking areas. Avoid the placement of impervious surface materials such as asphalt and concrete in areas below the canopy crown of the tree. Use turf stone, gravel, marl, or other pervious materials in these areas.

8.5.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use bricks, stone, or metal to contain loose paving materials. Landscaping timbers, railroad ties, and concrete or plastic edging are not allowed.

### Landscaping Guidelines

8.1.1. Preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.

8.1.2. Preserve and maintain the individual components and historic features that contribute to Beaufort’s historic character, including mature trees, ornamental trees, and hedge rows.

8.1.4. Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina cherry laurel and sweet bay magnolia.

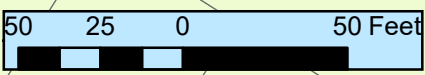
8.1.6. Palms, banana trees and other tropical type landscape materials should not dominate the landscape palette. Sabal palms may be used as a minor landscape element. Likewise, any use of other tropical style plant materials that can be viewed from the public property should be limited to a minor complementary presence. Traditional plant materials including live oak trees, deciduous shade, and understory trees (service berry or dogwood) and broadleaf evergreen and deciduous shrubs should dominate the landscape.

8.1.7. Maintain the relationship between the mass/proportion of the building and open space within the context of the streetscape for new construction, additions, and landscape.

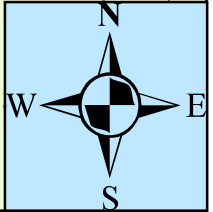
8.1.10. Contemporary edging or border materials, such as exposed landscape timbers, railroad ties, pre-cast concrete, plastic, or other substitute material borders are not appropriate in areas seen from the public view.

**Legend**

- NCHPOpoints
- Tax\_Parcel\_Data



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<u>OWNER</u>	<u>MAIL_HOU</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>L ST</u>	<u>MAIL_ZI</u>	<u>MAIL_ADD2</u>
APPERSON,ZACHARY V ETAL			LA GRANGE	NC	28551	PO BOX 625
BEACON STREET BRADLEY LLC	3126	SUSSEX RD	RALEIGH	NC	27607	
BOWEN,MARY ELIZABETH WARD	109	GREENSVIEW DRIVE	CARY	NC	27518	
CANDLEWOOD INVESTMENTS LLC			ROCKY MOUNT	NC	27804	PO BOX K
COPLAND,JASON C ETAL	3156	ABINGDON PLACE	BURLINGTON	NC	27215	
MOORE,NANCY WASHINGTON	113	MOORE STREET	BEAUFORT	NC	2128 28516	

**CERTIFICATE OF APPROPRIATENESS APPLICATION  
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



**Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

**APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: Jay Horton- Filter Design Studio PLLC

Applicant Address: 707 Bridges Street, Morehead City, NC 28557

Business Phone: 252-622-4119 Email/Cell: jay@filterdesignstudio.com

Property Owner Name: Sunset Lane Properties LLC

Address of Property: 100 Sunset Lane, Beaufort, NC 28512

Phone Number: \_\_\_\_\_ Email/Cell: \_\_\_\_\_

**PROJECT INFORMATION**

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

A proposed historical Beaufort style white picket fence.

\*A better detailed description will be included in the narrative and will be attached to the application.

Estimated Cost of Project: \$ 6,000

Year House Built: 2021

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner Signature (if different than above)

\_\_\_\_\_  
Date

***An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.***

**OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

**34** Deemed Completed and Accepted: \_\_\_\_\_

## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

### **1. Items required for ALL projects:**

- A list of all Design Guidelines that apply to the application and a description of how proposed changes are consistent with the *Design Guidelines for the Beaufort Historic District & Landmarks*, which can be found at <https://www.beaufortnc.org/bc-hpc/page/design-guidelines-beaufort-historic-district-landmarks>
- A list of all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

### **2. Items required as applicable to project:**

- A description of any planned demolition.
- An indication of all trees to be replaced and/or removed.
- A landscaping plan indicating major planting materials.
- Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- All types of building material samples.
- If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

### **3. Additional items required (only) for new Signage:**

- A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

**4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.

**5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org).*





HPC Application  
Certificate of Appropriateness  
Proposed Driveway and Walkway

Applicant            Filter Design Studio PLLC  
Contractor           D.J. Rose & Son, Inc.



## Table of Contents

1. Certificate of Appropriateness
2. Scope of Work
3. Project Specifications
4. Guidelines
5. Adjacent Property Owners Information
6. Site Plan
7. Landscape Plan
8. Proposed Materials

## Project Description:

With the installation of Dublin Cobble Modular pavers for driveways and walkways, we aim to create an inviting, visually pleasing, and practical environment, one that compliments the site located in the Historic District.

The intent is to infuse the timeless elegance of the Beaufort, North Carolina style into the property. Dublin Cobble Modular pavers will grace the driveways and walkways, offering both durability and an inviting, old-world charm. Our vision encompasses a harmonious blend of form and function, transforming this property into a welcoming and visually captivating space.

## Project Specifications:

See drawings and comments within each applicable guideline below.

## Guidelines

### Paint and Exterior Colors Guidelines

**7.3.3. Use materials in traditional ways. New materials should appear as if they were applied in a traditional manner so as to convey the same visual appearance as historically used and applied building materials.**

Materials will be used in traditional ways. New materials will appear as if they were applied in a traditional manner in order to convey the same visual appearance as historically used and applied building materials.

## Landscaping

### **7.7.1. Retain and protect mature trees during construction.**

No damage is anticipated to mature trees during construction.

## Landscaping Guidelines

### **8.1.1. Preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.**

Proposed landscaping is Historically relevant and in keeping with the district.

### **8.1.2. Preserve and maintain the individual components and historic features that contribute to Beaufort's historic character, including: mature trees, ornamental trees, and hedge rows.**

Existing trees will remain and proposed plantings to be in keeping with the district.

### **8.1.3. Preserve and maintain mature street trees. When removal or replacement is necessary, replace with long lived tree species with large canopies that will provide a similar canopy and form as a street tree. Replacement tree species should be appropriate for the district. Suggested species include: oak, sycamore, pecan, maple, ginkgo (male only), Chinese elm, cedar (juniper) , hickory, Yaupon holly or American holly.**

No trees will be removed; evergreen hollies to be used as screen and Little Gem Magnolia to accent.

### **8.1.11. Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color, and finish to existing historic sidewalks.**

See Site Plan

### **8.1.14. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, screening should not exceed height of three (3) feet at the street/sidewalk edge. (SEE OFF STREET PARKING GUIDELINES for more details)**

See Planting Plan

## Adjacent Property Owners

PARCEL NUMBER: 730617002865000  
 OWNER: LITTLEWOOD, GEORGE F ETUX PAGE  
 PHYSICAL ADDRESS: 113 FRONT ST  
 BEAUFORT  
 MAILING ADDRESS: 113 FRONT STREET  
 BEAUFORT NC 28516  
 LEGAL DESCRIPTION: L FRONT ST TOWN OF BEAUFORT  
 DEED REF: 1701-096  
 PLAT REFERENCE: -  
 NEIGHBORHOOD: 590005

PARCEL NUMBER: 730617001940000  
 OWNER: WOOTEN, WILLIAM B ETUX MARGARET  
 PHYSICAL ADDRESS: 105 FRONT ST  
 BEAUFORT  
 MAILING ADDRESS: 282 MCNAIR RD  
 TARBORO NC 27886  
 LEGAL DESCRIPTION: LOTS 1 4 UHF DEVELOPMENT GROUP  
 DEED REF: 1699-485  
 PLAT REFERENCE: 31-684  
 NEIGHBORHOOD: 590005

PARCEL NUMBER: 730617003925000  
 OWNER: FLOW, VICTOR IVAN JR  
 PHYSICAL ADDRESS: 95 SUNSET LN  
 BEAUFORT  
 MAILING ADDRESS: 18 GRAYLYN PLACE CT  
 WINSTON SALEM NC 27106  
 LEGAL DESCRIPTION: LOT SUNSET LANE TOWN OF BEAUFORT  
 DEED REF: 1706-030  
 PLAT REFERENCE: -  
 NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617013077000  
OWNER: SUNSET LANE TOWNHOUSES  
PHYSICAL ADDRESS 0  
MAILING ADDRESS: 18 GRAYLYN PLACE CT  
WINSTON SALEM NC 27106  
LEGAL DESCRIPTION: COMMON AREA SUNSET LANE TOWNHS  
DEED REF: 1696-209  
PLAT REFERENCE: 23-6  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617013060000  
OWNER: FLOW,VICTOR IVAN JR  
PHYSICAL ADDRESS 97 SUNSET LN  
BEAUFORT  
MAILING ADDRESS: 18 GRAYLYN PLACE CT  
WINSTON SALEM NC 27106  
LEGAL DESCRIPTION: L1 SUNSET LANE TOWNHOMES  
DEED REF: 1696-209  
PLAT REFERENCE: 23-6  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617013074000  
OWNER: FLOW,VICTOR IVAN JR  
PHYSICAL ADDRESS 99 SUNSET LN  
BEAUFORT  
MAILING ADDRESS: 18 GRAYLYN PLACE CT  
WINSTON SALEM NC 27106  
LEGAL DESCRIPTION: L2 SUNSET LANE TOWNHOMES.  
DEED REF: 1696-209  
PLAT REFERENCE: 23-6  
NEIGHBORHOOD: 590003



PARCEL NUMBER: 730617014131000  
OWNER: FLOW,VICTOR ETUX  
PHYSICAL ADDRESS: 107 SUNSET LN  
BEAUFORT  
MAILING ADDRESS: 18 GRAYLYN PLACE CT  
WINSTON SALEM NC 27106  
LEGAL DESCRIPTION: PART L38 OLD TOWN BEAUFORT.  
DEED REF: 1801-386  
PLAT REFERENCE: -  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617014104000  
OWNER: ASKEY,BARBARA LEE TRUSTEE  
PHYSICAL ADDRESS: 105 SUNSET LN  
BEAUFORT  
MAILING ADDRESS: 182 TRANKILO STREET  
APT 604  
TAMUNING,GUAM 96913  
LEGAL DESCRIPTION: PART L38 OLD TOWN BEAUFORT.  
DEED REF: 1759-359  
PLAT REFERENCE: -  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617015033000  
OWNER: MOORE,MICHAEL A ETAL WILLIAM M  
PHYSICAL ADDRESS: 122 SUNSET LN  
BEAUFORT  
MAILING ADDRESS: 113 MOORE STREET  
BEAUFORT NC 28516  
LEGAL DESCRIPTION: PART L38 OLD TOWN BEAUFORT.  
DEED REF: 1773-075  
PLAT REFERENCE: -  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617015110000  
OWNER: JOHN & JOSEPH LLC  
PHYSICAL ADDRESS 124 SUNSET LN  
BEAUFORT  
MAILING ADDRESS: 325 FRONT STREET  
BEAUFORT NC 28516  
LEGAL DESCRIPTION: L2 J C DAVIS  
DEED REF: 1373-341  
PLAT REFERENCE: 30-373  
NEIGHBORHOOD: 590001

PARCEL NUMBER: 730617016012000  
OWNER: DUNCAN,JOHN N III ETAL  
PHYSICAL ADDRESS 115 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 115 MOORE ST  
BEAUFORT NC 28516  
LEGAL DESCRIPTION: PART L38 OLD TOWN BEAUFORT MOORE STREET  
DEED REF: 0785-00840  
PLAT REFERENCE: -  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617006918000  
OWNER: MOORE,MICHAEL A ETAL WILLIAM M  
PHYSICAL ADDRESS 113 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 113 MOORE STREET  
BEAUFORT NC 28516  
LEGAL DESCRIPTION: PART L38 OLD TOWN BEAUFORT.  
DEED REF: 1773-074  
PLAT REFERENCE: -  
NEIGHBORHOOD: 590003

PARCEL NUMBER: 730617005955000  
OWNER: BEACON STREET BRADLEY LLC  
PHYSICAL ADDRESS 0  
MAILING ADDRESS: 3126 SUSSEX RD  
RALEIGH NC 27607  
LEGAL DESCRIPTION: COMMON AREA BRADLEY HOUSE COND OS  
DEED REF: 1177-038  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617005903000  
OWNER: ELLINGTON,JOHNS N ETUX ETAL  
PHYSICAL ADDRESS 103 4 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 5721 WINTHROP DRIVE  
RALEIGH NC 27612  
LEGAL DESCRIPTION: UNIT 4 BRADLEY HOUSE CONDOS  
DEED REF: 1778-058  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617004879000  
OWNER: GLASGOW,MOLLY H ETVIR THOMAS B  
PHYSICAL ADDRESS 103 2 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 2806 O'BERRY STREET  
RALEIGH NC 27607  
LEGAL DESCRIPTION: UNIT 2 BRADLEY HOUSE CONDOS  
DEED REF: 1647-185  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617004867000  
OWNER: DURSO,LEE ETAL K SHAVER  
PHYSICAL ADDRESS: 103 6 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 652 WALTERS DRIVE  
WAKE FOREST NC 27587  
LEGAL DESCRIPTION: UNIT 6 BRADLEY HOUSE CONDOS  
DEED REF: 1741-374  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617005931000  
OWNER: BRADLEY HOUSE UNIT 3 LLC  
PHYSICAL ADDRESS: 103 3 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 103 MOORE STREET UNIT 3  
BEAUFORT NC 28516  
LEGAL DESCRIPTION: UNIT 3 BRADLEY HOUSE CONDOS  
DEED REF: 1741-028  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617005940000  
OWNER: ODOM,KELLY ETVIR BRIAN ENGLISH  
PHYSICAL ADDRESS: 103 7 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 2640 DAVIS STREET  
RALEIGH NC 2030 27608  
LEGAL DESCRIPTION: UNIT 7 BRADLEY HOUSE CONDOS  
DEED REF: 1655-114  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617005826000  
OWNER: WELBORN,DARRELL ETUX PAT LYNN  
PHYSICAL ADDRESS 103 5 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 3903 PAYNE ROAD  
HIGH POINT NC 27265  
LEGAL DESCRIPTION: UNIT 5 BRADLEY HOUSE CONDOS  
DEED REF: 1610-222  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617005814000  
OWNER: CAPLAN,JASON ALAN  
PHYSICAL ADDRESS 103 1 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 131 OLD PAMLICO BCH RD W  
BELHAVEN NC 9104 27810  
LEGAL DESCRIPTION: UNIT 1 BRADLEY HOUSE CONDOS  
DEED REF: 1726-024  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

PARCEL NUMBER: 730617004850000  
OWNER: FLEET,CLIFFORD III ETUX FRAN  
PHYSICAL ADDRESS 0  
MAILING ADDRESS: 512 SOMERSET AVENUE  
RICHMOND VA 23226  
LEGAL DESCRIPTION: COMM AREA PH.1 DAVIS BOARDING HOUSE  
CONDOS  
DEED REF: 1495-471  
PLAT REFERENCE: 10T-188  
NEIGHBORHOOD: 900169

PARCEL NUMBER: 730617004743000  
OWNER: SMITH,GORDON III ETUX BEVERLY  
PHYSICAL ADDRESS 125 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 3323 ALLEGHANY DRIVE  
RALEIGH NC 27609  
LEGAL DESCRIPTION: UNIT A PH. 1 DAVIS BOARDING HOUSE CONDOS  
DEED REF: 1472-143  
PLAT REFERENCE: 10T-183  
NEIGHBORHOOD: 900169

PARCEL NUMBER: 730617004713000  
OWNER: FLEET,CLIFFORD III ETUX FRAN  
PHYSICAL ADDRESS 123 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 512 SOMERSET AVENUE  
RICHMOND VA 23226  
LEGAL DESCRIPTION: UNIT B PH. 1 DAVIS BOARDING HOUSE CONDOS  
DEED REF: 1495-471  
PLAT REFERENCE: 10T-188  
NEIGHBORHOOD: 900169

PARCEL NUMBER: 730617003786000  
OWNER: TOWNSEND,ELIZABETH M ETVIR  
PHYSICAL ADDRESS 121 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 121 FRONT ST  
BEAUFORT NC 2143 28516  
LEGAL DESCRIPTION: UNIT C PH. 1 DAVIS BOARDING HOUSE CONDOS  
DEED REF: 1622-125  
PLAT REFERENCE: 10T-183  
NEIGHBORHOOD: 900169

PARCEL NUMBER: 730617004728000  
OWNER: LANTERI, ANNE T  
PHYSICAL ADDRESS: 119 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 119 FRONT STREET  
BEAUFORT NC 2143 28516  
LEGAL DESCRIPTION: UNIT D PH. 1 DAVIS BOARDING HOUSE CONDOS  
DEED REF: 1488-447  
PLAT REFERENCE: 10T-188  
NEIGHBORHOOD: 900169

PARCEL NUMBER: 730617003895000  
OWNER: COPLAND, JASON C ETAL  
PHYSICAL ADDRESS: 117 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 3156 ABINGDON PLACE  
BURLINGTON NC 27215  
LEGAL DESCRIPTION: COMMON AREA - MANSON HOUSE TR1 BEAUFORT  
DEED REF: 1489-060  
PLAT REFERENCE: 10I-084  
NEIGHBORHOOD: 900102

PARCEL NUMBER: 730617003870000  
OWNER: COPLAND, JASON C ETAL SPENCER  
PHYSICAL ADDRESS: 117 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 3156 ABINGDON PLACE  
BURLINGTON NC 27215  
LEGAL DESCRIPTION: U4 MASON HOUSE CONDO  
DEED REF: 1489-60  
PLAT REFERENCE: 10I-84  
NEIGHBORHOOD: 900102

PARCEL NUMBER: 730617003850000  
OWNER: HOOPER,CHRISTOPHER TODD  
PHYSICAL ADDRESS 117 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 109 WYNDHAM DR  
GARNER NC 27529  
LEGAL DESCRIPTION: U3 MASON HOUSE CONDO  
DEED REF: 1796-295  
PLAT REFERENCE: 10I-84  
NEIGHBORHOOD: 900102

PARCEL NUMBER: 730617003881000  
OWNER: MANSON HOUSE ASSETS LLC  
PHYSICAL ADDRESS 117 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 553 CAROLINA MDWS VILLA  
CHAPEL HILL NC 27517  
LEGAL DESCRIPTION: U2 MASON HOUSE CONDO  
DEED REF: 978-232  
PLAT REFERENCE: 10I-84  
NEIGHBORHOOD: 900102

PARCEL NUMBER: 730617003862000  
OWNER: CRAMER,ADELE B  
PHYSICAL ADDRESS 117 FRONT ST  
BEAUFORT  
MAILING ADDRESS: 809 DEVON PLACE  
ALEXANDRIA VA 22314  
LEGAL DESCRIPTION: U1 MASON HOUSE CONDO  
DEED REF: 0104-00093  
PLAT REFERENCE: -  
NEIGHBORHOOD: 900102



PARCEL NUMBER: 730617003801000  
OWNER: CANDLEWOOD INVESTMENTS LLC  
PHYSICAL ADDRESS: 115 FRONT ST  
BEAUFORT  
MAILING ADDRESS: PO BOX K  
ROCKY MOUNT NC 27804  
LEGAL DESCRIPTION: TR A & B SALLY E FULFORD  
DEED REF: 1589-187  
PLAT REFERENCE: 31-620  
NEIGHBORHOOD: 590005

PARCEL NUMBER: 730617005826000  
OWNER: WELBORN,DARRELL ETUX PAT LYNN  
PHYSICAL ADDRESS: 103 5 MOORE ST  
BEAUFORT  
MAILING ADDRESS: 3903 PAYNE ROAD  
HIGH POINT NC 27265  
LEGAL DESCRIPTION: UNIT 5 BRADLEY HOUSE CONDOS  
DEED REF: 1610-222  
PLAT REFERENCE: 10S-965  
NEIGHBORHOOD: 900151

Photos:

FRONT ELEVATION



REAR ELEVATION





SOUTH SIDE ELEVATION



NORTH SIDE ELEVATION

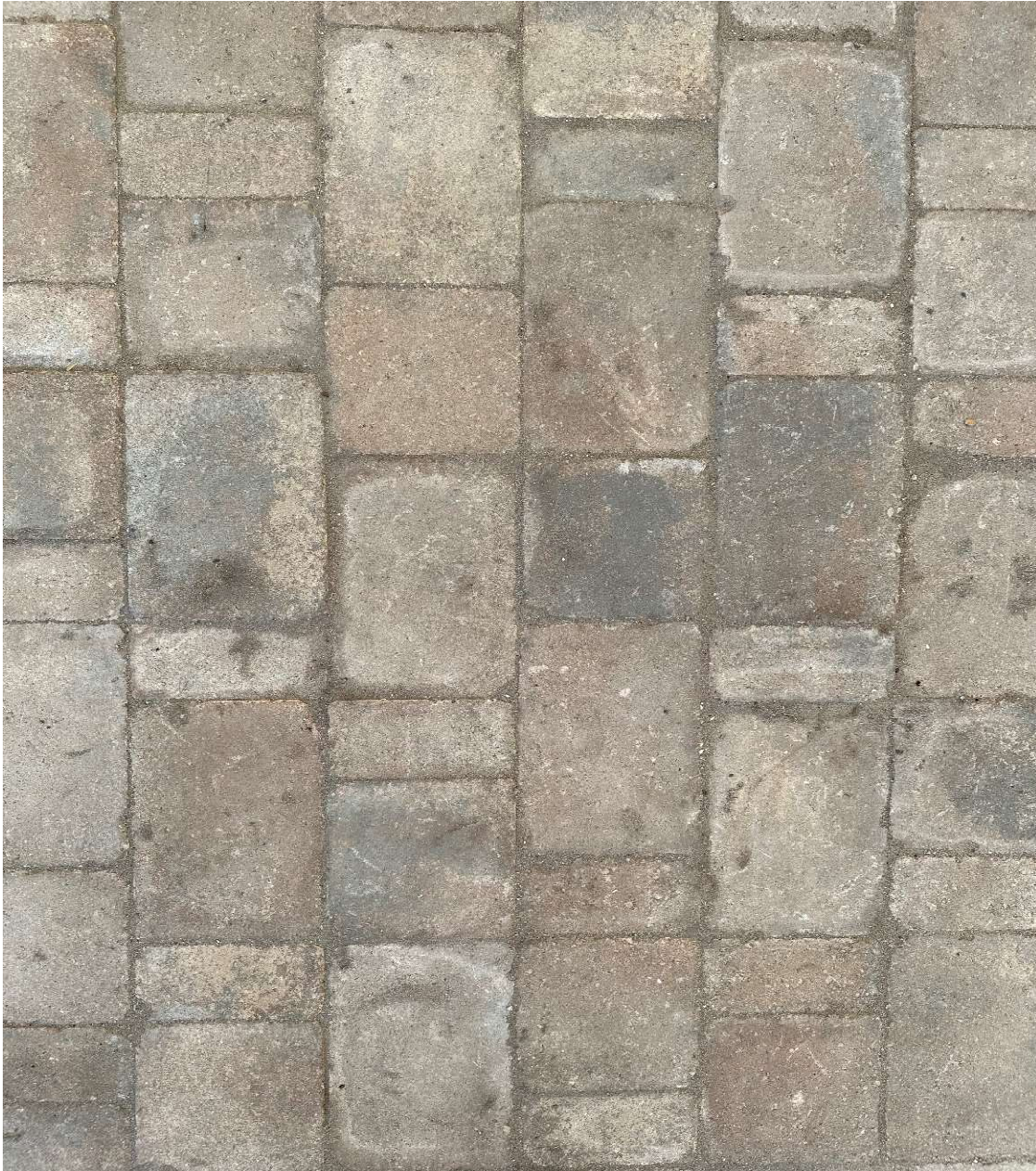


## Proposed Materials

1. Dublin Cobble Modular Pavers

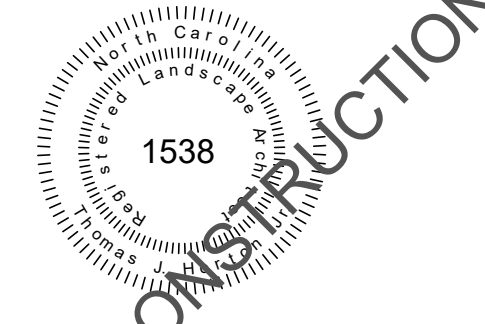


## Dublin Cobble Modular Pavers

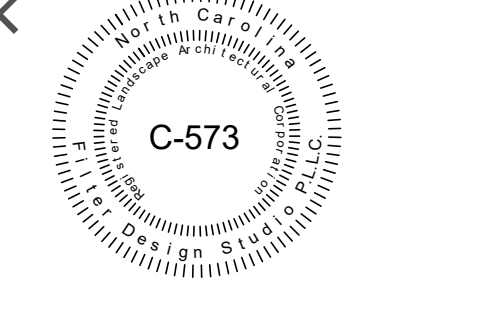




Landscape Architect Seal



Firm Seal



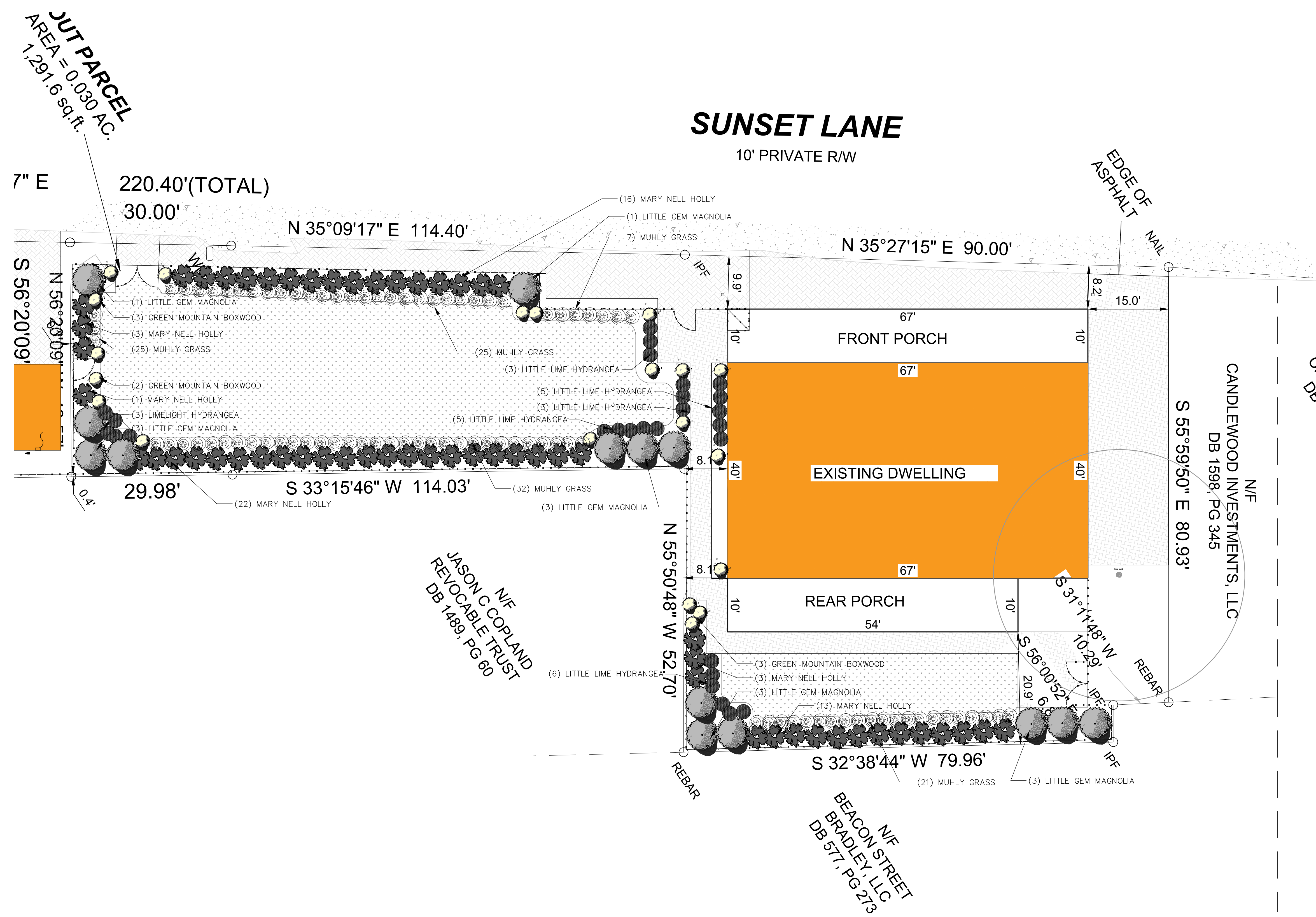
**Architecture**

Company: Filter Design Studio, P.L.L.C.  
Architect: Ryan Edwards  
Address: 707 BRIDGES STREET  
Morehead City, NC 28557  
Phone: 252-622-4119  
Email: ryan@filterdesignstudio.com

**Landscape Architecture**

Company: Filter Design Studio, P.L.L.C.  
Landscape Architect: Jay Horton  
Address: 707 BRIDGES STREET  
Morehead City, NC 28557  
Phone: 252-622-4119  
Email: jay@filterdesignstudio.com

SUNSET LANE PROPERTIES  
 HPC  
 SUNSET LANE,  
 BEAUFORT, NC  
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**TURF NOTES**

1. Till natural and planting areas and spread topsoil 3 inches deep over adverse soil conditions, if available.
  2. Rip entire area.
  3. Remove all loose rock, roots, and other obstructions leaving surface reasonably smooth and uniform.
  4. Apply agricultural lime, fertilizer, and superphosphate uniformly as recommended by soils test.
  5. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep.
- Sod Preparation:  
Follow preparation as directed for steps 1-5 above. Immediately water sod upon installation and continue until roots are established.
6. Contractor shall water and maintain all lawn areas for 6 weeks or an acceptable stand of grass has been established and signed off on by landscape architect or owners representative.
  7. Once an acceptable stand of grass has been established, the Contractor shall repair all damaged areas and monitor the lawn areas until the grass reaches an acceptable stand.
  8. At the time the grass reaches a height, the Contractor shall mow the grass to the height recommended by North Carolina Turfgrass Association and turn over the lawn maintenance to the Owner.
  9. An acceptable stand of grass shall be 92% coverage or better.

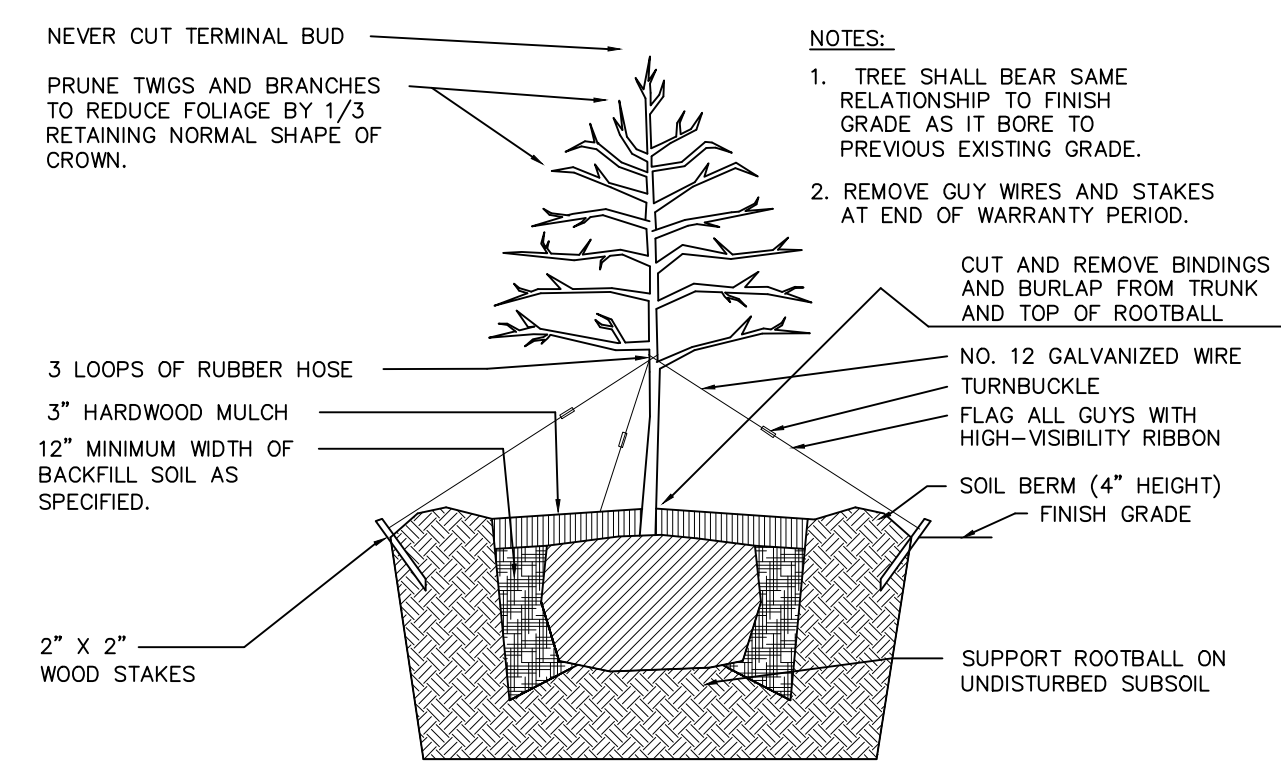
**IRRIGATION NOTES**

1. Contractor shall provide irrigation for all new plantings AS SHOWN.
2. Location of controller shall be approved by Owner prior to installation.
3. Contractor shall coordinate meter, backflow preventer, permits, and electrical source with Owner prior to providing a cost estimate. These items are the Contractor's responsibility unless otherwise noted.
4. See Irrigation Plan this set.

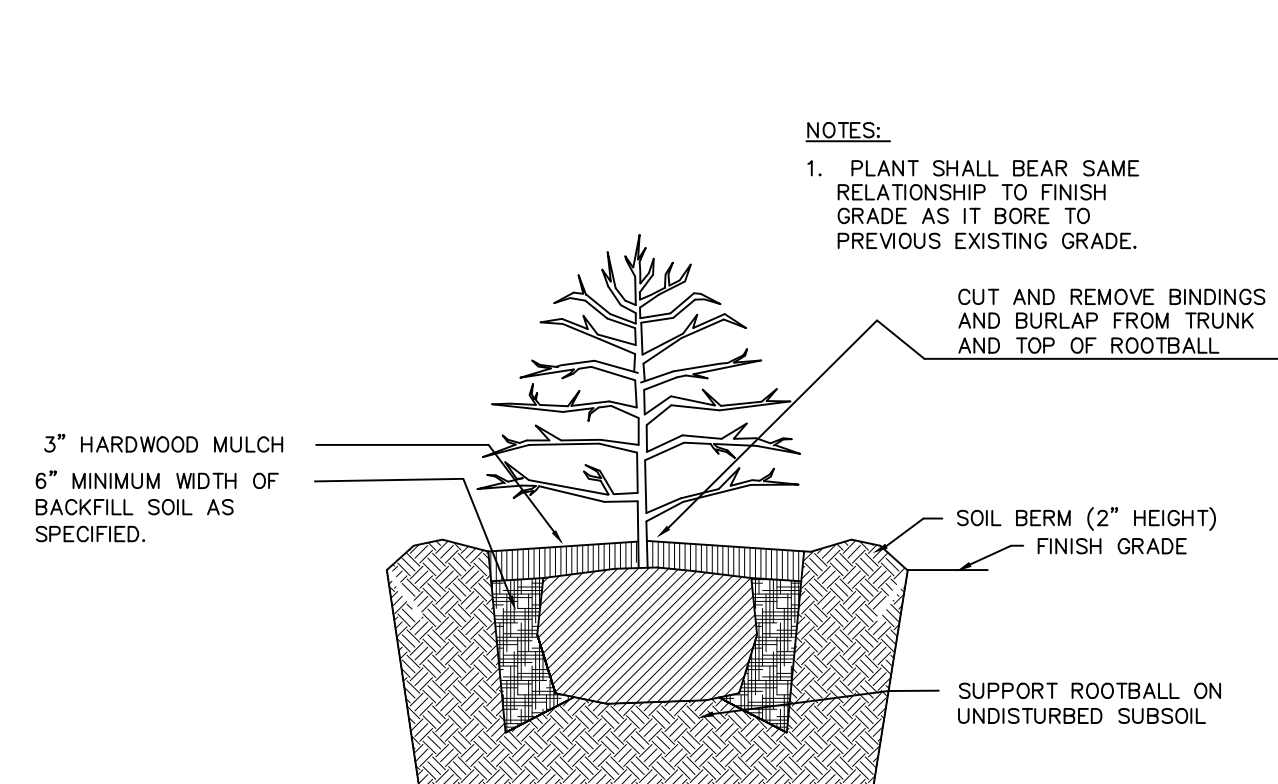
**PLANTING NOTES**

1. Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
2. Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
3. Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
4. All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
5. All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of +/- 1/2% to ensure smooth transitions between planting beds and lawn areas.
6. 3 inches Mulch - install stone mulch.
7. All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site. Landscape Architect has the right to refuse any and all plant material on the site if deemed unacceptable due to size, health, etc..
8. Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order.
9. Contractor is responsible for verifying all quantities. DRAWINGS SHALL RULE OVER PLANT SCHEDULE. Plant schedule is provided as a convenience to the contractor.
10. All trees located adjacent to walks and drives shall have 6' of clearance height to first branching.
11. All trees shall be placed a minimum of 3' from sidewalks, curbs, or fire hydrants.
12. All plants shall be installed as per generally accepted planting details.
13. All plants and stakes shall be set plumb unless otherwise specified.
14. Refer to existing conditions plan for trees/shrubs to be either removed or to remain undisturbed if applicable.
15. Landscape Architect shall select and layout all the perennial beds.
16. All planting bed edges to be smooth flowing arcs unless otherwise noted.
17. Bed edge shall be smooth, consistent, hand trenched 3 to 4 inches deep, and "V" shaped. All excavated material shall be removed from the bed edge and planting bed. If bed edging is proposed, contractor to use 1/4" thick steel edging.
18. If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
19. Any disturbed areas that are not planted or grassed as part of the landscape plan shall be restored to their previous existing condition (including raking uneven areas, seeding grassed areas and for natural areas spreading minimum 2' depth of mulch).
20. Site information has been provided by OTHERS. Jay Horton Designs is not responsible for any discrepancies between actual site, plan and proposed plans.

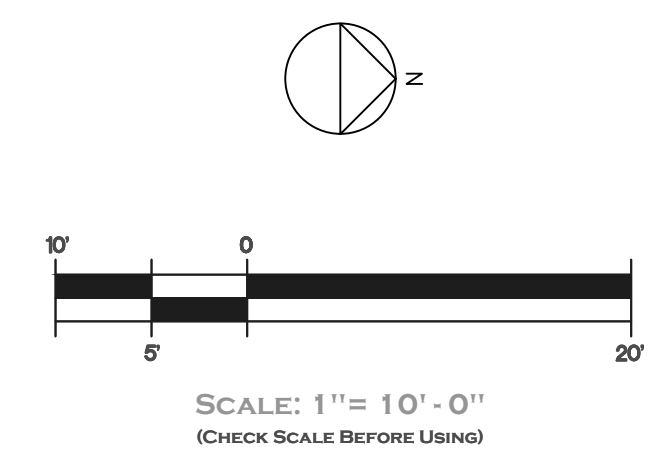
QUAN.	PLANT SCHEDULE		SIZE	NOTES
	BOTANICAL NAME	COMMON NAME		
<b>TREES</b>				
58	ILEX X MARY NELL	MARY NELL HOLLY	8"	CONTAINER FULL
14	LAGERSTOEMIA INDICA NATCHEZ	LITTLE GEM MAGNOLIA	10'-12"	B/B FULL
<b>SHRUBS</b>				
58	MULLENBERGIA CAPILLARIS	PINK MUHLY GRASS	7 GAL.	
27	HYDRANGEA PANNICULATA	LITTLE LIME HYDRANGEA	7 GAL.	CONTAINER FULL
20	BUXUS SP.	GREEN MOUNTAIN BOXWOOD	30"-36"	CONTAINER FULL



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



No.	Description	Date

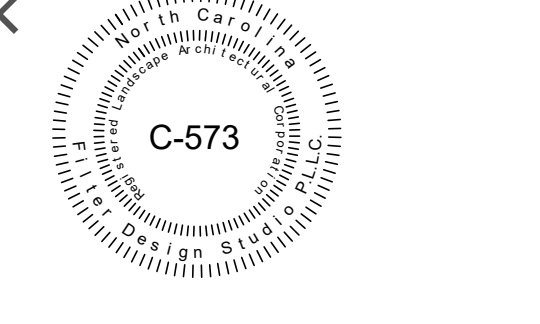
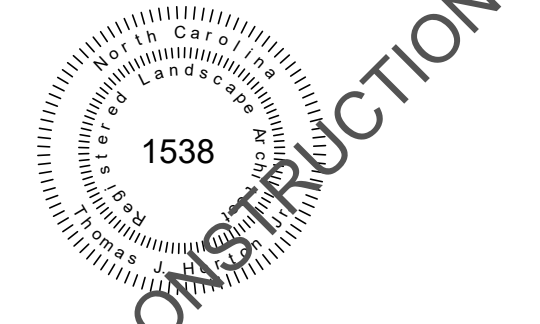
**Planting Plan**

Project number: 2023-30  
 Date: 2023-09-01  
 Drawn by: JH  
 Review: JH

**LA102**

Scale: 1"=10'





**Architecture**

Company: Filter Design Studio, P.L.L.C.  
Architect: Ryan Edwards  
Address: 707 BRIDGES STREET  
Morehead City, NC 28557  
Phone: 252-622-4119  
Email: ryan@filterdesignstudio.com

**Landscape Architecture**

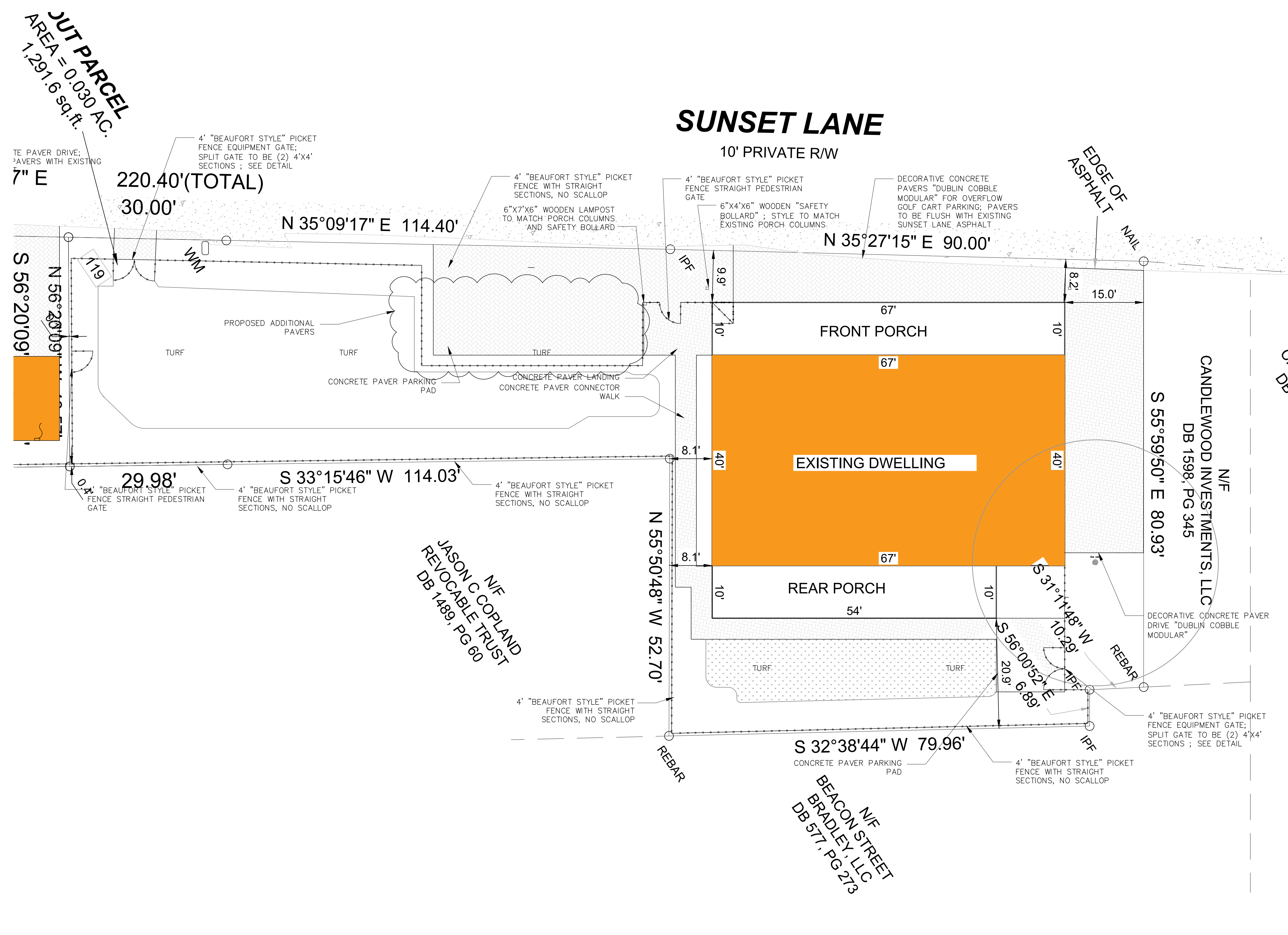
Company: Filter Design Studio, P.L.L.C.  
Landscape Architect: Jay Horton  
Address: 707 BRIDGES STREET  
Morehead City, NC 28557  
Phone: 252-622-4119  
Email: jay@filterdesignstudio.com

SUNSET LANE PROPERTIES

HPC

SUNSET LANE,  
BEAUFORT, NC

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**SITE PLAN NOTES**

- All dimensions are taken at 90° unless noted otherwise.
- Contractor shall verify property lines prior to any construction.
- Contractor shall dispose of existing material per North Carolina regulations.
- A minimum of 2% shall be maintained on all paved and landscape surfaces. Contractor shall be responsible for ensuring that all surfaces slope away from building, walk, and walls a minimum of 2% slope.
- Contractor shall verify all existing contours and spot elevations prior to any construction and shall contact Landscape Architect if any discrepancies occur prior to construction.
- Contractor shall field verify location of all utilities prior to construction and shall be responsible for all repair cost due to damages caused by him/her.
- Contractor shall notify Landscape Architect if any discrepancies occur prior to any construction.
- Contractor shall stake location of proposed walks, seatwalls, retaining walls and courtyard then to be approved by Landscape Architect and Owner for approval.
- Refer to grading plan for additional site information.
- Final bench locations if applicable shall be determined by Owner. Contractor shall secure benches to paving per manufacturer's directions.
- Contractor shall stake parking lot for review and approval from Owner prior to any construction.
- Survey information was provided by others. Filter Design Studio is not responsible for any discrepancies that occur in the field. Contractor shall be responsible for field verifying all site conditions and measurements prior and during construction.
- GENERAL CONTRACTORS MUST HOLD AN UNLIMITED CONTRACTING LICENSE IN THE STATE OF NORTH CAROLINA
- LANDSCAPE AND IRRIGATION INSTALLERS MUST BE NORTH CAROLINA LICENSED LANDSCAPE AND IRRIGATION CONTRACTORS

**LEGEND**

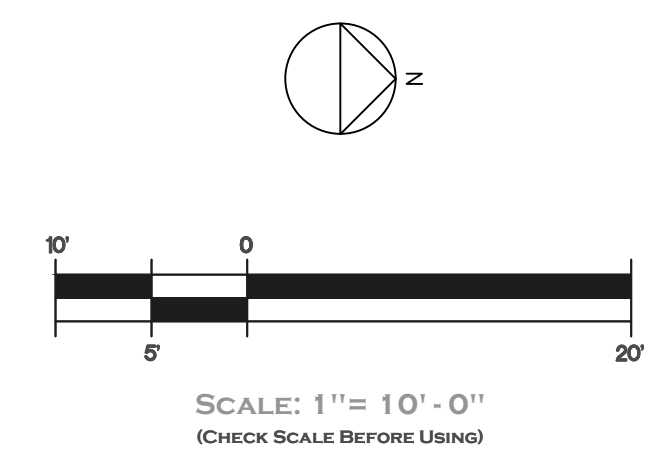
**PROPOSED SITE STRUCTURES**

	CMU SEATWALL--REFER TO DETAIL		HANDRAILS--REFER TO DETAIL
	GRAVEL UTILITY DRIVE		TRENCH DRAIN--REFER TO DETAIL
	CONCRETE WALK W/ACCENT PAVER BAND--REFER TO DETAIL		CMU RETAINING WALL--REFER TO DETAIL
	INVISIBLE STRUCTURES "GRASS PAVE 2"		CONTROL JOINT--SEE DETAILS
	TURF AREA--REFER TO PLANTING PLAN		EXPANSION JOINT--SEE DETAILS
	SITE BENCHES--SELECTION BY OWNER		

**LEGEND**

**EXISTING SITE STRUCTURES TO REMAIN UNDISTURBED**

	EXISTING CONCRETE WALK
	THICKENED CONCRETE
	EXISTING TREES TO REMAIN



No.	Description	Date

Site Plan

Project number	2023-30
Date	2023-09-01
Drawn by	JH
Review	JH

LA101

Scale 1"=10'



**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, January 9, 2024 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business

**SUBJECT:** Case # 24-01 115 Front Street - Dock & Boat Lifts

**BRIEF SUMMARY:**

The owner wishes to install a new Dock & Boat Lift for 115 Front Street.

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP  
**Date:** December 22, 2023  
**Case No.** 24-01

**Request:** To install a new Dock & Boat Lift for 115 Front Street.

**Applicant:** DJ Rose & Son (Dillon Rose)  
 216 S. Mayo Street  
 Rocky Mount, NC 27804

**Property Information:**

**Owners:** Candlewood Investment, LLC  
**Location:** 115 Front Street  
**PIN#:** 730617003801000

**Project Information:** According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 115 Front Street, circa 1910. **Fulford House.** 2-Story, 5-bay house with pyramidal roof has plain siding, Palladian windows in the gable ends, 2/2 sash with molded capitals, and 2 interior chimneys. 2-Story wrap-around porch with turned posts and railing, and entrance with sidelights and transom. On Gray’s 1882 map this was the site of the early Custom House. A new one was built on Turner St. in 1908, and this house built on the site soon after. (Gray’s map, SM)

**Proposed work:**

Install a new Dock & Boat Lift for 115 Front Street.

**Material:**  
 See Attached CAMA Permit included as part of Application

**Color:**

## Docks, Piers, and Boardwalks Guidelines

8.7.1. Use a design that is simple, functional, and utilitarian. Traditional docks were built of post-and-lintel construction, using wood pilings, cross-members, and decking. Avoid the use of railings or other non-historic features that extend above the deck floor line, unless required by law for safety reasons. Avoid lighting fixtures that are too prominent or that are not utilitarian and functional in appearance.



# Case # 24-01 115 Front Street - Dock & Boat Lift

**Legend**

- NCHPOpoints
- Tax\_Parcel\_Data



OWNER	MAIL_H	MAIL_ST	MAIL_CITY	MAIL_	MAIL_ADD2
CANDLEWOOD INVESTMENTS LLC			ROCKY MOUNT	NC	27804 PO BOX K
COPELAND,JASON CARTER ETAL	3156	ABINGDON PLACE	BURLINGTON	NC	27215
CRAMER,ADELE B	809	DEVON PLACE	ALEXANDRIA	VA	22314
LITTLEWOOD,GEORGE F ETUX PAGE	113	FRONT STREET	BEAUFORT	NC	28516

### CERTIFICATE OF APPROPRIATENESS APPLICATION FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT



#### **Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall: 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

#### **APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: DJ Rose & Son Inc.

Applicant Address: 216 S Mayo Street Rocky Mount, NC 27804

Business Phone: 252 442 6105 Email/Cell: 252 904 9464

Property Owner Name: Candlewood Investments, LLC

Address of Property: 115 Front Street Beaufort, NC 28516

Phone Number: 252 451 4374 Email/Cell: 252 904 9464

#### **PROJECT INFORMATION**

Detailed description of the Proposed Project (please attach additional pages if necessary):

Install 2 new floating docks with gangway access and 2 new boat lifts on existing pier per submitted plan. CAMA permit for the proposed work has been issued and included in this submittal.

Estimated Cost of Project: \$ 50,000.00

Year House Built: N/A

Dillon Rose  
Applicant Signature

10/31/23  
Date

[Signature]  
Property Owner Signature (if different than above)

10-31-23  
Date

*An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.*

#### **OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

Date Deemed Completed and Accepted: \_\_\_\_\_



CAMA  DREDGE & FILL

# GENERAL PERMIT

19: 02701

Previous permit \_\_\_\_\_

1.

Date previous permit issued \_\_\_\_\_

New  Modification  Complete Reissue  Partial Reissue

is authorized by the State of North Carolina, Department of Environmental Quality and the Coastal Resources Commission in an area of environmental concern pursuant to:

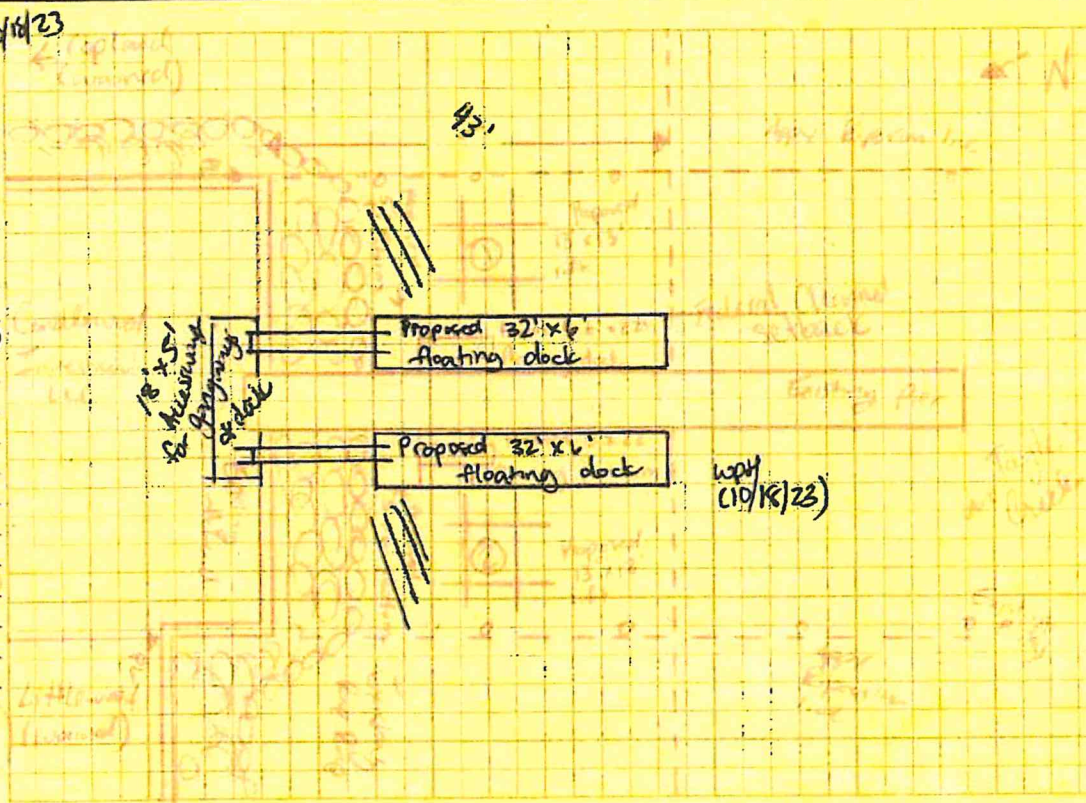
IA NCAC 200  Rules attached.  General Permit Rules available at the following link: [www.deq.nc.gov/CAMARules](http://www.deq.nc.gov/CAMARules)

Applicant Name Harriet - Manufacture LLC Authorized Agent George Parks Marine Contractors  
 Address 1000 R Project Location (County): Currituck  
 City Rocky Mount State NC ZIP 27852 Street Address/State Road/Lot #(s) 115 Front Street  
 Phone # ( ) 435-4374 Subdivision \_\_\_\_\_  
 Email gpc@georgeparks.com City Roanoke ZIP 25816

Affected  CW  EW  PTA  ES  PTS Adj. Wtr. Body Taylor's Creek (nat/man/unk)  
 EC(s):  OEA  IHA  UW  SPIMA  PWS Closest Maj. Wtr. Body Newport River  
 IRW: yes/no  PNA: yes/no

Type of Project/ Activity repair of existing platform (2x) build platform (2x) and lifts (2x) (Scale: " = 20')

Shoreline Length 50  
 Access Length 18' x 5' (width)  
 Pier (dock) length 75' x 10' (width)  
 Fixed Platform(s) 5 x 6' (7x)  
 Floating Platform(s) 32' x 6' (2x)  
 Finger pier(s) \_\_\_\_\_  
 Total Platform area 384 sf  
 Groin length/# \_\_\_\_\_  
 Bulkhead/ Riprap length \_\_\_\_\_  
 Avg distance offshore \_\_\_\_\_  
 Breakwater/Sill \_\_\_\_\_  
 Max distance/ length \_\_\_\_\_  
 Basin, channel \_\_\_\_\_  
 Cubic yards \_\_\_\_\_  
 Boat ramp \_\_\_\_\_  
 Boathouse/ Boatlift 13' x 12' (7x)  
 Beach Bulldozing \_\_\_\_\_  
 Other Max 7 sf



SAV observed: yes no  
 Moratorium: n/a yes no  
 Site Photos: yes no  
 Riparian Waiver Attached: yes no

A building permit/zoning permit may be required by: \_\_\_\_\_  
 Permit Conditions 384 sf  
wpt 10/18/23

- TAR/PAM/NEUSE/BUFFER (circle one)
- See note on back regarding River Basin rules
- See additional notes/conditions on back

I AM AWARE OF STATUTES, CRC RULES AND CONDITIONS THAT APPLY TO THIS PROJECT AND REVIEWED COMPLIANCE STATEMENT. (Please Initial) \_\_\_\_\_

Agent or Applicant PRINTED Name \_\_\_\_\_  
 Signature \*\*Please read compliance statement on back of permit\*\* \_\_\_\_\_

Permit Officer's PRINTED Name \_\_\_\_\_  
 Signature \_\_\_\_\_

Application Fee(s) \_\_\_\_\_ Check #/Money Order \_\_\_\_\_ Issuing Date \_\_\_\_\_ Expiration Date \_\_\_\_\_









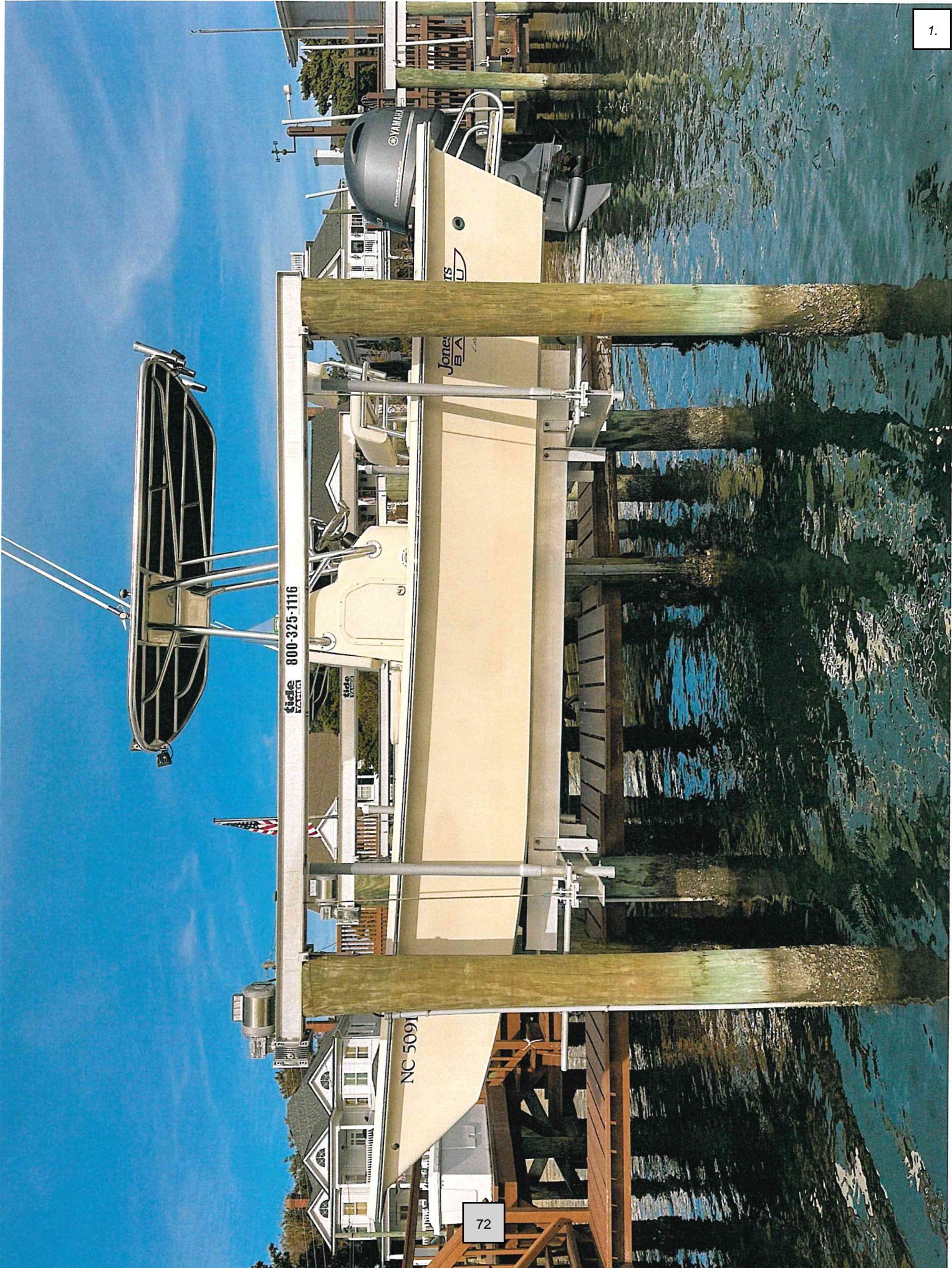




1.

71









**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, January 9, 2024 – 614 Broad Street – Train Depot**

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**AGENDA CATEGORY:** New Business

**SUBJECT:** Case # 24-02 122 Craven Street - Window Replacement

**BRIEF SUMMARY:**

The owner wishes to install new composite windows to replace wood windows for 122 Craven Street.

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP  
**Date:** December 22, 2023  
**Case No.** 24-02

**Request:** Install new composite windows to replace wood windows for 122 Craven Street.

**Applicant:** Brent Greenberg  
 122 Craven Street  
 Beaufort, NC 28516

**Property Information:**

**Owners:** Same as Applicant  
**Location:** 122 Craven Street  
**PIN#:** 730617108143000

**Project Information:** According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 122 Craven Street, circa 1830. **Canady House.** 2-Story, 3-bay, side gable house with a side hall plan has molded eave returns, beaded siding, 1 interior brick chimney, 9/6 and 6/6 sash, and a 2-story hipped porch with massive square paneled Doric columns and plain railing. This late Federal style house with massively proportioned Greek Revival style porch is architecturally unique in Beaufort. (Wrenn file)

**Proposed work:**

Replace wood windows with Fibrex Windows.

**Material:**  
 See Attached Spec Sheets included as part of Application

**Color:**

## Window and Door Guidelines

6.4.1. Retain and preserve historic windows and doors, including all significant related elements such as frames, sashes, shutters, hardware, old glass, sills, trim and moldings. Documented restoration is allowable.

6.4.2. Repair existing historic windows and doors where possible, rather than replacing entire window or door units. Use techniques such as wood epoxies and wood patches to repair and strengthen deteriorated wood elements. Replace only those elements that cannot be repaired. Reproduction glass is desirable but not required.

6.4.3. Use replacement windows and doors that match the existing historic elements as closely as possible. Wood windows should be replaced with wood windows. If replacement windows or doors are required, consider first replacing only the deteriorated element, such as a single sash or door, rather than the entire frame or unit. Any new replacements shall match the original in all dimensions, materials, and detailing as closely as possible

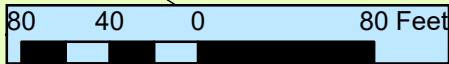
6.4.7. New windows must match original in overall size and opening area and should have three dimensional muntins with either true divided lights (TDL) or three dimensional grilles on both the interior and exterior sides (SDL). Snap-in grilles or grilles between glass are not appropriate for windows visible from public view.

# Case # 24-02 122 Craven Street - Window Replacement

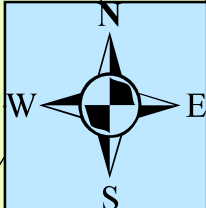


**Legend**

- NCHPOpoints
- Tax\_Parcel\_Data



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<u>OWNER</u>	<u>MAIL_HOU</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>STATE</u>	<u>MAIL_ZIP</u>	<u>MAIL_ADD2</u>
ANN STREET METHODIST CHURCH	417	ANN STREET	BEAUFORT	NC	28516	
BEAUFORT FLATS LLC	608	ANN STREET	BEAUFORT	NC	1143 28516	
BEAUFORT LINEN INTERIORS LLC	125	CRAVEN STREET	BEAUFORT	NC	28516	
BISHOP,STEPHEN FEREBEE	131	CRAVEN STREET	BEAUFORT	NC	28516	
GREENBERG,BRENT ETUX SINDEE			BEAUFORT	NC	28516	PO BOX 27
IRA SERVICES TRUST COMPANY	104	TAYLORS CREEK LN	BEAUFORT	NC	28516	
SANTORO,DINA CHARLENE TRUSTEE	2603	ONE IRON ST	MOREHEAD CITY	NC	4961 28557	



**To:** Beaufort National Register Historic District: Olde Town Beaufort

**Customer:** Brent & Sindee Greenberg

**Address:** 122 Craven St. Beaufort, NC 28516

**Compliance Statement:**

“to promote excellence of design in both new construction and in the preservation and rehabilitation of existing historic buildings.”

Our home is designated as a contributing property in the Olde Town Beaufort area of the Beaufort Historical District. To maintain the historical value, we will be replacing the windows with a wood composite frame with a mortise and tenon joint construction equivalent to its original historical design. The windows will also contain the same distinctive grille pattern as the original windows to retain the value and aesthetics of historical construction. The windows will be replaced around the home, in view of public rights-of-way.

**Project Description:**

We propose to replace Thirty-Three existing windows in our home. These windows will be replaced with Andersen Twenty-Six Double-Hung, (Six) Awning, and (One) Glider wood based composite windows with the same wood based composite L-trim. In keeping with the aesthetics and value of historical construction, Andersen wood based composite windows have a mortise and tenon joint construction and will be in the same white exterior/interior finish color as the original. (No coil or cladding will be used on the exterior.)

To retain the historic character of the home, the new windows will retain the same distinctive colonial style grille pattern with a simulated fully divided light grille. The exterior grille will be the wood based composite while the interior will be white painted wood grilles.

Andersen windows are constructed to replicate the historical character of the originally constructed windows and the historic aesthetics of the home.



**Roy's Kitchen Windows:**

The Two Roy's kitchen windows will be (27-1/2" X 23-1/4") awning windows with Base Frames. These windows will have a Fully Divided Light (FDL with spacer) in a Colonial 3w x 2h pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like



**Units 101, 102 Exterior**



**Units sideview w/ FDL visual**



**Existing**



**Roy's Living Room Windows:**

The Three Roy's living room windows will be Two (27-1/2" X 53-1/4") double-hung windows with Insert Frames. These windows will have a Fully Divided Light (FDL with spacer) in a Colonial 2w x 2h pattern. And the third window will be a (27-1/2" X 46") double-hung window with Insert Frame. This window will have a Fully Divided Light (FDL with spacer) in a Colonial 3w x 2h pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 103, 104, 105 Exterior**



**Units sideview w/FDL visual**



**Existing**



**Roy's Bathroom Window:**

The One Roy's bathroom window will be a (24-1/2" X 23-1/4") awning window with Base Frame. This window will have a Fully Divided Light (FDL with spacer) in colonial 3w x 2h grille pattern. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



**Unit 106 Exterior**



**Unit sideview w/FDL visual**



**Existing**



**Reygin’s Foyer Window:**

The One Reygin foyer window will be a (28” X 55”) double-hung windows Reverse Cottage 3:2 with Insert Frame. This window will have a Fully Divided Light (FDL with spacer) in colonial 3w x 3h sash 1 grille pattern and a colonial 3w X 2h grille pattern in sash 2. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



**Unit 107 Exterior**



**Unit sideview w/ FDL visual**



**Existing**

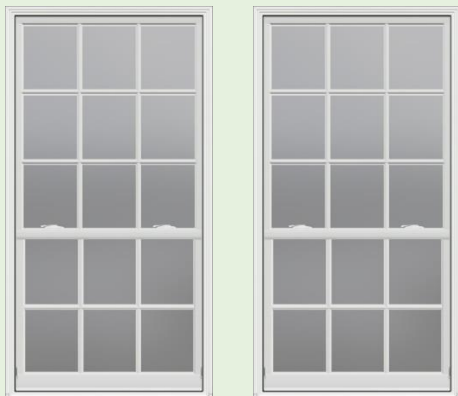


**RENEWAL**  
by **ANDERSEN**  
FULL-SERVICE WINDOW & DOOR REPLACEMENT

**Reygin’s Kitchen Windows:**

The Two Reygin kitchen windows will be a (28” X 55”) double-hung windows Reverse Cottage 3:2 with Insert Frame. These windows will have a Fully Divided Light (FDL with spacer) in colonial 3w x 3h sash 1 grille pattern and a colonial 3w X 2h grille pattern in sash 2. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 108,113 Exterior**



**Units sideview w/ FDL visual**



**Existing**





**RENEWAL**  
by **ANDERSEN**  
FULL-SERVICE WINDOW & DOOR REPLACEMENT

**Reygin’s Living Room Windows:**

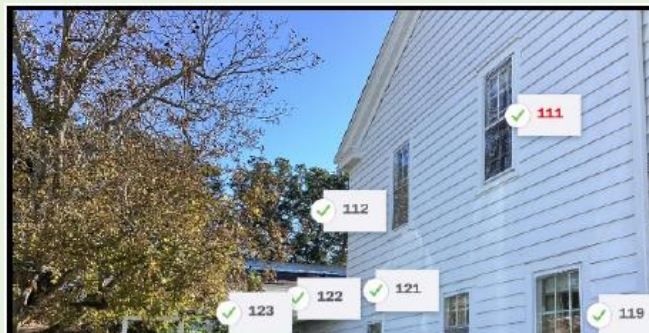
The Three Reygin’s living room windows will be Two (28” X 55”) double-hung windows Reverse Cottage 3:2 with Insert Frames. And the third window will be a (28” X 56”) double-hung window Reverse Cottage 3:2 with Insert Frame. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 3w x 3h sash 1 grille pattern and a colonial 3w X 2h grille pattern in sash 2. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 109, 110, 111 Exterior**

**Units sideview w/FDL visual**



**Existing**

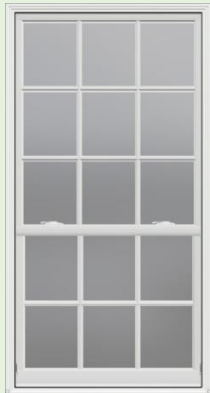




**Reygin’s Bedroom Window:**

The One Reygin bedroom window will be a (28” X 55”) double-hung window Reverse Cottage 3:2 with Insert Frame. This window will have a Fully Divided Light (FDL with spacer) in colonial 3w x 3h sash 1 grille pattern and a colonial 3w X 2h grille pattern in sash 2. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

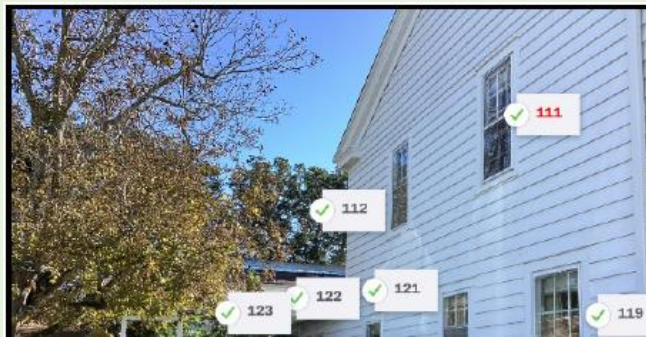
Pictured below is a rendering of what the new windows will look like.



**Unit 112 Exterior**



**Unit sideview w/FDL visual**



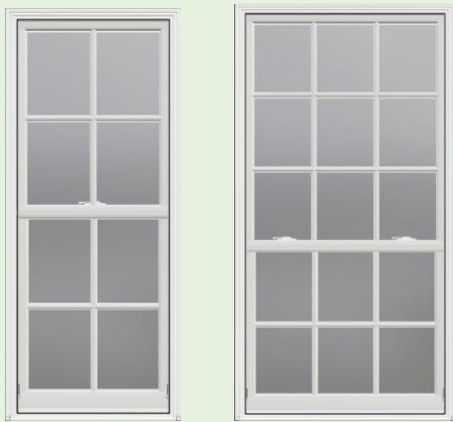
**Existing**



**Reygin’s Bathroom Windows:**

The Two Reygin’s bathroom windows will be Two (19-3/4” X 44-1/2”) double-hung windows with Insert Frames. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 2w x 2h grille pattern(114) and a reversed cottage 3:2 with Fully Divided Light (FDL with spacer) in a colonial 3w X 3h grille pattern in sash 1 and colonial 3w x 2h grille pattern sash 2(115). In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 114, 115 Exterior**



**Units sideview w/ FDL visual**



**Existing**



**RENEWAL**  
by **ANDERSEN**  
FULL-SERVICE WINDOW & DOOR REPLACEMENT

**Office Windows:**

The Two office windows will be Two (31" X 65-1/2") double-hung windows with Insert Frames. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 3w x 2h grille pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 116, 117 Exterior**

**Units sideview w/FDL visual**



**Existing**

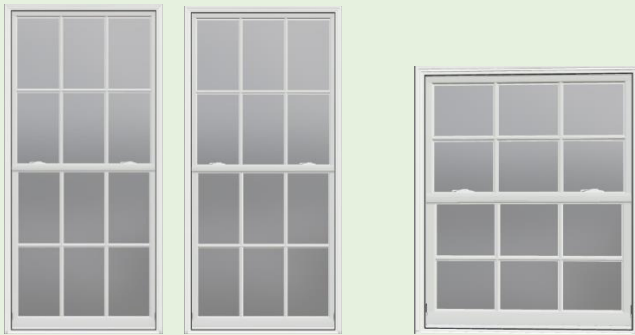


**RENEWAL**  
by **ANDERSEN**  
FULL-SERVICE WINDOW & DOOR REPLACEMENT

**Bedroom Windows:**

The Three bedroom windows will be Two (31" X 65-1/2") double-hung windows with Insert Frames and One (31" X 37-1/4") Double-Hung window with insert frame. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 3w X 2h grille pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 118, 119, 120 Exterior**



**Units sideview w/ FDL visual**



**Existing**



**Primary Closet Window:**

The One primary closet window will be a (31-1/2" X 61") double-hung windows with Insert Frame. This window will have a Fully Divided Light (FDL with spacer) in colonial 3w x 2h sash 1 grille pattern and no grille pattern in sash 2. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



**Unit 121 Exterior**



**Unit sideview w/ FDL visual**



**Existing**



**Primary Bedroom Windows:**

The Two primary bedroom windows will be Two (31" X 61-1/4") double-hung windows with Insert Frames. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 3w x 2h sash 1 grille pattern and no grille pattern in sash 2. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 122, 123 Exterior**



**Units sideview w/FDL visual**



**Existing**





**Primary Bathroom Window:**

The One primary bathroom window will be a (31-1/2" X 61") double-hung windows with Insert Frame. This window will have a Fully Divided Light (FDL with spacer) in colonial 3w x 1h sash 1 grille pattern and no grille pattern in sash 2. In keeping with the existing windows, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



**Unit 124 Exterior**



**Unit sideview w/FDL visual**



**Existing**



### Kitchen Windows:

The Four kitchen windows will be Three (28" X 23-1/4") awning windows with base frames and One (53-3/4" X 23-1/2") Gliding Double window Stationary/Active operation with Base frame. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 3w X 2h grille pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



Units 125



126



127, 128 Exterior



Units sideview with divided light visual



Existing





**Living Room Windows:**

The Four living room windows will be (29-3/4" X 61-1/4") Double-Hung windows Reverse Cottage 3:2 with insert frames. These windows will have a Fully Divided Light (FDL with spacer) in a colonial 3w X 3h sash 1 grille pattern and no grille pattern sash 2. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



**Units 129, 130, 131, 132 Exterior**



**Units sideview w/ FDL visual**



**Existing**



**Dining Room Window:**

The One dining room window will be a (28" X 55") double-hung reverse cottage 3:2 window with Insert Frame. This window will have a Fully Divided Light (FDL with spacer) in a colonial 3w x 3h sash 1 grille pattern and a colonial 3w x 2h sash 2 grille pattern. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



**Unit 133 Exterior**



**Unit sideview w/FDL visual**



**Existing**



**Materials:**

*Renewal by Andersen windows are manufactured using our patented material called “Fibrex”. Durable, Beautiful, Custom crafted, made to order, and professionally installed. Energy-efficient replacement windows & patio doors from Renewal by Andersen offer the elegance, strength, and stability of wood, with the low-maintenance features of vinyl.*

*for in depth product detail, please visit:*  
<https://www.renewalbyandersen.com/windows-doors>

**Renewal by Andersen Contact Information:**

**Susan Marshall | Administrative Assistant**

**Renewal by Andersen of Central NC/Coastal NC/Myrtle Beach/Florence**

**M: (336) 370-5487**

**E: [susanmarshall@rbatriad.com](mailto:susanmarshall@rbatriad.com)**



# Quote

Robert Grote (252)723-7596

**Brent Greenberg and Sindee Greenberg**

2.

122 Craven St  
Beaufort, NC 28516  
(252)635-7101

rSuite PCS

ID#:	ROOM:	SIZE:	IMAGE:	DETAILS:
------	-------	-------	--------	----------



**Misc:** Misc, Fees, ..Area- 50-75 Miles from Warehouse, Quantity 1,



**Misc:** Misc, Waivers, Heatlock Energy Star- New Customer, Quantity 1, There have been recent changes to the Energy Star Requirements. Certain coatings on windows/doors will not qualify under these requirements and therefore will not be eligible for the Energy Star tax rebate on this project. At this time, North Carolina homeowners can still decide what glass type they would like as long as they understand and agree to the following waiver:

I understand that by choosing to not receive the Heatlock coating on my windows and/or doors, my new windows and/or doors will no longer meet the new Energy Star Efficiency Guidelines and therefore I will not be eligible for the Energy Star tax rebate on this project.



**Misc:** Misc, HOA, Not Present, Quantity 1, Per Homeowner, neighborhood does not have HOA.

Historic District



**Misc:** Misc, Fees, Misc., Quantity 1, Historic District needs to be Approved by board

**101** Roy's Kitchen 28 W  
23 H



**Window:** Awning , DP Upgrade, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** .Full Frame , Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:

**102** Roy's Kitchen 28 W  
23 H



**Window:** Awning , DP Upgrade, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** .Full Frame , Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:

**103** Roy's Living 28 W  
53 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 2h  
**Misc:** ..L Trim , Color:



**104** Roy's Living 28 W  
53 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 2h  
**Misc:** ..L Trim , Color:

**105** Roy's Living 28 W  
45 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

**106** Roy's Bathroom 28 W  
23 H



**Window:** Awning , DP Upgrade, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** .Full Frame , Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:

**107** Reygin Foyer 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:, Interior- Sill/Stool (Wood), RBA DOES NOT paint or stain. Interior casing/trim may be damaged during removal. New interior trim may be required at an additional charge.

**108** Reygin Kitchen 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

**109** Reygin Living 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

**110** Reygin Living 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:, Interior- Sill/Stool (Wood), RBA DOES NOT paint or stain. Interior casing/trim may be damaged during removal. New interior trim may be required at an additional charge.

**111** Reygin Bedroom 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:, Interior- Sill/Stool (Wood), RBA DOES NOT paint or stain. Interior casing/trim may be damaged during removal. New interior trim may be required at an additional charge.

**112** Reygin Bedroom 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

**113** Reygin Kitchen 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

**114** Reygin Bathroom 20 W  
47 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 2w x 2h  
**Misc:** ..L Trim , Color:

**115** Reygin Bathroom 29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

116 Office

31 W  
65 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** None

117 Office

31 W  
65 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** None

118 Bedroom

31 W  
65 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** None



**119** Bedroom 31 W  
65 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** None

**120** Bathroom 31 W  
37 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** None

**121** Primary Closet 31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:

**122** Primary Bedroom 31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:

**123** Primary Bedroom 31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:

**124** Primary Bathroom 27 W  
38 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 1h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:

125 Kitchen

28 W  
23 H



**Window:** Awning , DP Upgrade, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** .Half Cert , Frame Depth may be reduced. Lines may be modified to an outside mount. Homeowner is responsible for re-mounting of blinds. Does not include interior trim., ..L Trim, Color:

126 Kitchen

54 W  
23 H



**Window:** Gliding , Double, DP Upgrade, 1:1, Stationary / Active, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Hand Pull  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

127 Kitchen

27 W  
22 H



**Window:** Awning , DP Upgrade, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** .Full Frame , Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:

128 Kitchen

27 W  
22 H



**Window:** Awning , DP Upgrade, Base Frame, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** All Sash: Colonial 3w x 2h  
**Misc:** .Full Frame , Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:

129 Living

31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 4w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:, .Misc, Match grid pattern

130 Living

31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 4w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:, .Misc, Match grid pattern

131 Living

31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 4w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:, .Misc, Match grid pattern

132 Living

31 W  
60 H



**Window:** Double-Hung (DG) , DP Upgrade, 1:1, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 4w x 2h , Sash 2: No Grille  
**Misc:** ..L Trim , Color:, .Misc, Match grid pattern

133 Dining

29 W  
55 H



**Window:** Double-Hung (DG) , DP Upgrade, Reverse Cottage 3:2, Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White  
**Performance Calculator:** Manual , PG Rating: 40 | DP Rating: + 50 / - 65  
**Glass:** All Sash: High Performance SmartSun Glass, No Pattern  
**Hardware:** White , Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift  
**Screen:** TruScene , Full Screen  
**Grille Style:** Full Divided Light (FDL with spacer)  
**Grille Pattern:** Sash 1: Colonial 3w x 3h , Sash 2: Colonial 3w x 2h  
**Misc:** ..L Trim , Color:

WINDOWS: 33    PATIO DOORS: 0    ENTRY DOORS: 0    SPECIALTY: 0    MISC: 4

UPDATED: 11/30/23





DBA: RENEWAL BY ANDERSEN OF CENTRAL NC  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

Brent & Sindee Greenberg  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

# Thank you for your order

Please find, enclosed for your convenience, the contents of your agreement with The Vinyl Answer Inc d/b/a Renewal by Andersen of Central NC

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# Agreement Document and Payment Terms

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sindee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

Brent & Sindee Greenberg		11/30/23
<b>BUYER(S) NAME</b>		<b>CONTRACT DATE</b>
122 Craven St, Beaufort, NC 28516		(252)635-7101
<b>BUYER(S) STREET ADDRESS</b>	<b>PRIMARY NUMBER</b>	<b>SECONDARY NUMBER</b>
kc130greenberg@hotmail.com		
<b>PRIMARY EMAIL</b>	<b>SECONDARY EMAIL</b>	

**NOTES:** Carteret County 6.75% / 150 MPH DP50 Corners DP45 Rest of House/ Mailing Address: PO Box 27, Beaufort, NC 28516

Buyer(s) hereby jointly and severally agrees to purchase the products and/or services of The Vinyl Answer Inc d/b/a Renewal by Andersen of Central NC ("Contractor"), in accordance with the terms and conditions described in this Agreement Document and Payment Terms, any documents listed in the Table of Contents, and any other document attached to this Agreement Document, the terms of which are all agreed to by the parties and incorporated herein by reference (collectively, this "Agreement"). Buyer(s) hereby agrees to sign a completion certificate after Contractor has completed all work under this Agreement.

<b>TOTAL JOB AMOUNT:</b>	\$108,080.11	By signing this Agreement, you acknowledge that the Balance Due, and the Amount Financed must be made by personal check, bank check, credit card, or cash.	
<b>DEPOSIT RECEIVED:</b>	\$0		
<b>BALANCE DUE:</b>	\$108,080.11	Estimated Start: 8 To 26 Weeks	Estimated Completion: 8 To 26 Weeks
<b>AMOUNT FINANCED:</b>	\$108,080.10		
<b>METHOD OF PAYMENT:</b>	Financing	We schedule installations based on the date of the signed contract and secondarily on the date in which we complete the technical measurements. The installation date that we are providing at this time is only an estimate. We will communicate an official date and time at a later date. Rain and extreme weather are the most common causes for delay.	
<b>SALES TAX:</b>	\$6,834.11		

**NOTES:** Carteret County 6.75%

Buyer(s) agrees and understands that this Agreement constitutes the entire understandings between the parties and that there are no verbal understandings changing or modifying any of the terms of this Agreement. No alterations to or deviations from this Agreement will be valid without the signed, written consent of both the Buyer(s) and Contractor. Buyer(s) hereby acknowledges that Buyer(s) 1) has read this Agreement, understands the terms of this Agreement, and has received a completed, signed, and dated copy of this Agreement, including the two attached Notices of Cancellation, on the date first written above and 2) was orally informed of Buyer's right to cancel this Agreement.

**NOTICE TO BUYER:** Do not sign this contract if blank. You are entitled to a copy of the contract at the time you sign.

**YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME NOT LATER THAN MIDNIGHT OF 12/04/2023 OR THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION, WHICHEVER DATE IS LATER. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.**

<b>SIGNATURE OF SALES PERSON</b>	<b>SIGNATURE</b>	<b>SIGNATURE</b>
Robert Grote	Brent Greenberg	Sindee Greenberg
<b>PRINT NAME OF SALES PERSON</b>	<b>PRINT NAME</b>	<b>PRINT NAME</b>



# Itemized Order Receipt

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sindee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
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**Misc** Misc, Fees, ..Area 50-75 Miles from Warehouse, Quantity 1.

**Misc** Misc, Waivers, Heatlock Energy Star- New Customer, Quantity 1, There have been recent changes to the Energy Star Requirements. Certain coatings on windows/doors will not qualify under these requirements and therefore will not be eligible for the Energy Star tax rebate on this project. At this time, North Carolina homeowners can still decide what glass type they would like as long as they understand and agree to the following waiver:

I understand that by choosing to not receive the Heatlock coating on my windows and/or doors, my new windows and/or doors will no longer meet the new Energy Star Efficiency Guidelines and therefore I will not be eligible for the Energy Star tax rebate on this project.

**Misc** Misc, HOA, Not Present, Quantity 1, Per Homeowner, neighborhood does not have HOA.

Historic District

**Misc** Misc, Fees, Misc., Quantity 1, Historic District needs to be Approved by board

**101**

Roy's Kitchen

**Window** Awning DP Upgrade Base Frame, Exterior White, Interior White, **Performance Calculator** Manual PG Rating: 40 | DP Rating: + 50 / - 65 **Glass**, All Sash: High Performance SmartSun Glass, No Pattern, **Hardware**, White, Corrosion Resistant Hardware, **Screen**, TruScene, Full Screen, **Grille Style**, Full Divided Light (FDL with spacer). **Grille Pattern**, All Sash: Colonial 3w x 2h, **Misc**, .Full Frame, Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:;



# Itemized Order Receipt

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sindee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
102	Roy's Kitchen		<p><b>Window</b> Awning DP Upgrade Base Frame, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, All Sash: Colonial 3w x 2h, <b>Misc</b>, .Full Frame, Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:.</p>	
103	Roy's Living		<p><b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, All Sash: Colonial 2w x 2h, <b>Misc</b>, ..L Trim, Color:.</p>	
104	Roy's Living		<p><b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, All Sash: Colonial 2w x 2h, <b>Misc</b>, ..L Trim, Color:.</p>	
105	Roy's Living		<b>Window</b>	



# Itemized Order Receipt

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Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sindee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
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Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White.  
**Performance Calculator** Manual PG Rating: 40 | DP Rating: + 50 / - 65 **Glass**, All Sash: High Performance SmartSun Glass, No Pattern, **Hardware**, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, **Screen**, TruScene, Full Screen, **Grille Style**, Full Divided Light (FDL with spacer), **Grille Pattern**, All Sash: Colonial 3w x 2h, **Misc**, .L Trim, Color:.

**106** Roy's Bathroom

**Window** Awning DP Upgrade Base Frame, Exterior White, Interior White, **Performance Calculator** Manual PG Rating: 40 | DP Rating: + 50 / - 65 **Glass**, All Sash: High Performance SmartSun Glass, No Pattern, **Hardware**, White, Corrosion Resistant Hardware, **Screen**, TruScene, Full Screen, **Grille Style**, Full Divided Light (FDL with spacer), **Grille Pattern**, All Sash: Colonial 3w x 2h, **Misc**, .Full Frame, Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., .L Trim, Color:.

**107** Reygin Foyer

**Window** Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, **Performance Calculator** Manual PG Rating: 40 | DP Rating: + 50 / - 65 **Glass**, All Sash: High Performance SmartSun Glass, No Pattern, **Hardware**, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, **Screen**, TruScene, Full Screen, **Grille Style**, Full Divided Light (FDL with spacer), **Grille Pattern**, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, **Misc**, .L Trim, Color:, Interior- Sill/Stool (Wood). RBA DOES NOT paint or stain. Interior casing/trim may be damaged during removal. New interior trim may be required at an additional charge.,

**108** Reygin Kitchen

**Window**





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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
			<p>Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color:,</p>	
<b>109</b>	Reygin Living		<p><b>Window</b> Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color:,</p>	



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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
110	Reygin Living		<p><b>Window</b> Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color:, Interior- Sill/Stool (Wood), RBA DOES NOT paint or stain. Interior casing/trim may be damaged during removal. New interior trim may be required at an additional charge.,</p>	
111	Reygin Bedroom		<p><b>Window</b> Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color:, Interior- Sill/Stool (Wood), RBA DOES NOT paint or stain. Interior casing/trim may be damaged during removal. New interior trim may be required at an additional charge.,</p>	



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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
112	Reygin Bedroom		<p><b>Window</b> Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color:,</p>	
113	Reygin Kitchen		<p><b>Window</b> Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color:,</p>	
114	Reygin Bathroom		<p><b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, All Sash: Colonial 2w x 2h, <b>Misc</b>, ..L Trim, Color:,</p>	
115	Reygin Bathroom		<b>Window</b>	



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Beaufort, NC 28516  
H: (252)635-7101

ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
			Double-Hung (DG) DP Upgrade Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Corrosion Resistant Hardware, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, <b>Misc</b> , ..L Trim, Color:,	
<b>116</b>	Office		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , None ,	
<b>117</b>	Office		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , None ,	
<b>118</b>	Bedroom		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b>	



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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
			Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , None ,	
<b>119</b>	Bedroom		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern. <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , None ,	
<b>120</b>	Bathroom		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , None ,	





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122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
121	Primary Closet		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 3w x 2h, Sash 2: No Grille, <b>Misc</b> , ..L Trim, Color:.	
122	Primary Bedroom		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 3w x 2h, Sash 2: No Grille, <b>Misc</b> , ..L Trim, Color:.	
123	Primary Bedroom		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill. Insert Frame, Traditional Checkrail, Exterior White, Interior White. <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 3w x 2h, Sash 2: No Grille, <b>Misc</b> , ..L Trim, Color:.	
124	Primary Bathroom		<b>Window</b>	



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122 Craven St  
Beaufort, NC 28516  
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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
			<p>Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White,</p> <p><b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b>, TruScene. Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, Sash 1: Colonial 3w x 1h, Sash 2: No Grille, <b>Misc</b>, ..L Trim, Color: ,</p>	
125	Kitchen		<p><b>Window</b> Awning DP Upgrade Base Frame, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Corrosion Resistant Hardware, <b>Screen</b>, TruScene, Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, All Sash: Colonial 3w x 2h, <b>Misc</b>, .Half Cert, Frame Depth may be reduced. Lines may be modified to an outside mount. Homeowner is responsible for re-mounting of blinds. Does not include interior trim., ..L Trim, Color: ,</p>	
126	Kitchen		<p><b>Window</b> Gliding Double DP Upgrade 1:1 Stationary / Active. Base Frame, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b>, All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b>, White, Standard Color Hand Pull, <b>Screen</b>, TruScene. Full Screen, <b>Grille Style</b>, Full Divided Light (FDL with spacer), <b>Grille Pattern</b>, All Sash: Colonial 3w x 2h, <b>Misc</b>, ..L Trim, Color: ,</p>	
127	Kitchen		<p><b>Window</b> Awning DP Upgrade Base Frame, Exterior White, Interior White, <b>Performance Calculator</b></p>	



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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
			Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Corrosion Resistant Hardware, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , .Full Frame, Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:,	
<b>128</b>	Kitchen		<b>Window</b> Awning DP Upgrade Base Frame, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Corrosion Resistant Hardware, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , All Sash: Colonial 3w x 2h, <b>Misc</b> , .Full Frame, Includes removal of entire unit, new interior wood trim, and Fibrex exterior brickmold and sill if applicable. RBA does not paint or stain., ..L Trim, Color:,	
<b>129</b>	Living		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 4w x 2h, Sash 2: No Grille, <b>Misc</b> , ..L Trim, Color:, .Misc, Match grid pattern,	
<b>130</b>	Living		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b>	



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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
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Manual PG Rating: 40 | DP Rating: + 50 / - 65 **Glass**, All Sash: High Performance SmartSun Glass, No Pattern, **Hardware**, White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, **Screen**, TruScene, Full Screen, **Grille Style**, Full Divided Light (FDL with spacer), **Grille Pattern**, Sash 1: Colonial 4w x 2h, Sash 2: No Grille, **Misc**, ..L Trim, Color:, .Misc, Match grid pattern,

<b>131</b>	Living		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 4w x 2h, Sash 2: No Grille, <b>Misc</b> , ..L Trim, Color:, .Misc, Match grid pattern,	
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<b>132</b>	Living		<b>Window</b> Double-Hung (DG) DP Upgrade 1:1 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, <b>Performance Calculator</b> Manual PG Rating: 40   DP Rating: + 50 / - 65 <b>Glass</b> , All Sash: High Performance SmartSun Glass, No Pattern, <b>Hardware</b> , White, Standard Color Extra Lock, Standard Color Recessed Hand Lift, <b>Screen</b> , TruScene, Full Screen, <b>Grille Style</b> , Full Divided Light (FDL with spacer), <b>Grille Pattern</b> , Sash 1: Colonial 4w x 2h, Sash 2: No Grille, <b>Misc</b> , ..L Trim, Color:, .Misc, Match grid pattern,	
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<b>133</b>	Dining		<b>Window</b> Double-Hung (DG) DP Upgrade	
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ID#:	ROOM:	SIZE:	DETAILS:	PRICE:
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Reverse Cottage 3:2 Slope Sill, Insert Frame, Traditional Checkrail, Exterior White, Interior White, **Performance Calculator** Manual PG Rating: 40 | DP Rating: + 50 / - 65 **Glass**, All Sash: High Performance SmartSun Glass, No Pattern, **Hardware**, White, Corrosion Resistant Hardware, Standard Color Extra Lock. Standard Color Recessed Hand Lift, **Screen**, TruScene, Full Screen, **Grille Style**, Full Divided Light (FDL with spacer), **Grille Pattern**, Sash 1: Colonial 3w x 3h, Sash 2: Colonial 3w x 2h, **Misc**, ..L Trim, Color:.

<b>WINDOWS: 33</b>	<b>PATIO DOORS: 0</b>	<b>ENTRY DOORS: 0</b>	<b>SPECIALTY: 0</b>	<b>MISC: 4</b>	<b>TOTAL \$108,080.11</b>
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*Renewal by Andersen is committed to our customers' safety by complying with the rules and lead-safe work practices specified by the EPA.*





# Performance Report

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
 Legal Name: The Vinyl Answer Inc  
 4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
 Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sindee Greenberg**  
 122 Craven St  
 Beaufort, NC 28516  
 H: (252)635-7101

The following table identifies fenestration performance requirements using the listed code, values, and coefficients. Calculation is based on the Winde application if the Zone and GCp values are populated to the individual unit calculations table. If GCp and Zone are listed as N/A, required unit performance rating was manually defined. The RbA retailer is responsible for disclaimer language regarding the acceptance of this report in their market as reviewed by their legal counsel and code officials. This report should NOT be used in market unless a thorough review has been completed and this language is updated accordingly.

## INDIVIDUAL UNIT CALCULATIONS

ID	ROOM	PRODUCT TYPE	UNIT SIZE (in)	UNIT/TWA AREA (ft <sup>2</sup> )	ZONE	GCp	REQUIRED UNIT PERFORMANCE RATING	ACTUAL UNIT PG	ACTUAL UNIT DP	UNIT IMPACT RATED	APPROVAL NUMBER(S)
101	Roy's Kitchen	Awning	28 x 23	4.47	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19561
102	Roy's Kitchen	Awning	28 x 23	4.47	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19561
103	Roy's Living	Double-Hung (DG)	28 x 53	10.31	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
104	Roy's Living	Double-Hung (DG)	28 x 53	10.31	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
105	Roy's Living	Double-Hung (DG)	28 x 45	8.75	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
106	Roy's Bathroom	Awning	28 x 23	4.47	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19561
107	Reygin Foye	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
108	Reygin Kitchen	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
109	Reygin Living	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
110	Reygin Living	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
111	Reygin Bedroom	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
112	Reygin Bedroom	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
113	Reygin Kitchen	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970

**Values and assumptions used for Design Pressure Calculations:**

- Design Pressure calculations are based on ASCE 7-16.
- No topographical effects ( $K_{zt}$  at 1.0)
- Velocity pressure exposure coefficient ( $K_z$ ) is captured per site specific conditions
- Directionally factor  $K_d$  of 0.85
- Velocity Pressure (PSF) based on all selection building and site conditions
- Internal pressure coefficient (GCpi) is +/- 0.18
- External pressure coefficient (GCp) is captured on individual unit calculations

**Windborne Debris Regions require that window and door openings have opening protection via:**

- An impact rated window or door, or
- An impact rated shutter or other impact rated coverings, or
- Wood structural panels of a certain type, thickness, and fasteners, etc.

This Performance Report and the information within this Performance Report may only be used in connection with Renewal by Andersen products, only at the address listed above, only for the products identified above, and only for the homeowner listed above. Performance of other units not listed may vary. The information in this Performance Report must be confirmed by the local Renewal by Andersen retailer with your local building code official. This Performance Report is issued solely by the legal entity listed under "Legal Name" above.



# Performance Report

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## INDIVIDUAL UNIT CALCULATIONS (CONT.)

ID	ROOM	PRODUCT TYPE	UNIT SIZE (in)	UNIT/TWA AREA (ft²)	ZONE	GCP	REQUIRED UNIT PERFORMANCE RATING	ACTUAL UNIT PG	ACTUAL UNIT DP	UNIT IMPACT RATED	APPROVAL NUMBER(S)
114	Reygin Bathroom	Double-Hung (DG)	20 x 47	6.53	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
115	Reygin Bathroom	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
116	Office	Double-Hung (DG)	31 x 65	13.99	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
117	Office	Double-Hung (DG)	31 x 65	13.99	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
118	Bedroom	Double-Hung (DG)	31 x 65	13.99	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
119	Bedroom	Double-Hung (DG)	31 x 65	13.99	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
120	Bathroom	Double-Hung (DG)	31 x 37	7.97	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
121	Primary Closet	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
122	Primary Bedroom	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
123	Primary Bedroom	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
124	Primary Bathroom	Double-Hung (DG)	27 x 38	7.12	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
125	Kitchen	Awning	28 x 23	4.47	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19561
126	Kitchen	Gliding - Double	54 x 23	8.62	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19563
127	Kitchen	Awning	27 x 22	4.12	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19561
128	Kitchen	Awning	27 x 22	4.12	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL19561
129	Living	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
130	Living	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
131	Living	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
132	Living	Double-Hung (DG)	31 x 60	12.92	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970
133	Dining	Double-Hung (DG)	29 x 55	11.08	N/A	N/A	+ 40 / - 50	40	+ 50 / - 65	NO	FL27970

The assumptions and criteria used to determine the project design pressure requirements are listed on page 1 of this Performance Report. Please refer to page 1 for details and verify that all pages of the Performance Report have been included.



# Notice of Cancellation

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
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**Brent & Sindee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

You, the buyer(s) may cancel this transaction at any time prior to midnight on 12/04/2023

## NOTICE OF CANCELLATION

Date of Transaction: 11/30/23. You may cancel this transaction, without any penalty or obligation, before midnight on 12/04/2023 or the third business day after the date of this transaction, whichever date is later. If you cancel, any property traded in, any payments made by you under the Contract or Sale, and any negotiable instrument executed by you will be returned within 10 business days following receipt by the Seller of your cancellation notice, and any security interest arising out of the transaction will be canceled. If you cancel, you must make available to the Seller at your residence, in substantially as good condition as when received, any goods delivered to you under this Contract or Sale; or you may, if you wish, comply with the instructions of the Seller regarding the return shipment of the goods at the Sellers expense and risk. If you do make the goods available to the Seller and the Seller does not pick them up within 20 days of the date of your Notice of Cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the Seller, or if you agree to return the goods to the Seller and fail to do so, then you remain liable for performance of all obligations under the Contract. To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice, or send a telegram, to:

dba: Renewal by Andersen of Central NC  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101  
Greensboro, NC 27410  
Phone: 336-299-5051  
Fax: 336-553-2944  
Email: sale@rbatriad.com

NOT LATER THAN MIDNIGHT OF 12/04/2023  
OR THE THIRD BUSINESS DAY AFTER THE DATE  
OF THIS TRANSACTION, WHICHEVER DATE IS LATER.

I HEREBY CANCEL THIS TRANSACTION

\_\_\_\_\_  
**BUYER SIGNATURE**

\_\_\_\_\_  
**DATE**

## NOTICE OF CANCELLATION

Date of Transaction: 11/30/23. You may cancel this transaction, without any penalty or obligation, before midnight on 12/04/2023 or the third business day after the date of this transaction, whichever date is later. If you cancel, any property traded in, any payments made by you under the Contract or Sale, and any negotiable instrument executed by you will be returned within 10 business days following receipt by the Seller of your cancellation notice, and any security interest arising out of the transaction will be canceled. If you cancel, you must make available to the Seller at your residence, in substantially as good condition as when received, any goods delivered to you under this Contract or Sale; or you may, if you wish, comply with the instructions of the Seller regarding the return shipment of the goods at the Sellers expense and risk. If you do make the goods available to the Seller and the Seller does not pick them up within 20 days of the date of your Notice of Cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the Seller, or if you agree to return the goods to the Seller and fail to do so, then you remain liable for performance of all obligations under the Contract. To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice, or send a telegram, to:

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NOT LATER THAN MIDNIGHT OF 12/04/2023  
OR THE THIRD BUSINESS DAY AFTER THE DATE  
OF THIS TRANSACTION, WHICHEVER DATE IS LATER.

I HEREBY CANCEL THIS TRANSACTION

\_\_\_\_\_  
**BUYER SIGNATURE**

\_\_\_\_\_  
**DATE**



# THE LEAD-SAFE CERTIFIED GUIDE TO RENOVATE RIGHT

**WARNING**  
LEAD WORK AREA  
POISON  
NO SMOKING  
OR EATING

**CAUTION CAUTION CAUTION CAUTION CAUTION CAUTION CAUTION CAUTION**



2.

Important lead hazard information for families, child care providers and schools.



1-800-424-LEAD (5323)

[epa.gov/getleadSAFE](http://epa.gov/getleadSAFE)

EPA-740-K-10-001

Revised September 2011



This document may be purchased through the U.S. Government Printing Office online at [bookstore.gpo.gov](http://bookstore.gpo.gov) or by phone (toll-free): 1-866-512-1800.

## IT'S THE LAW!

Federal law requires contractors that disturb painted surfaces in homes, child care facilities and schools built before 1978 to be certified and follow specific work practices to prevent lead contamination. Always ask to see your contractor's certification.

Federal law requires that individuals receive certain information before renovating more than six square feet of painted surfaces in a room for interior projects or more than twenty square feet of painted surfaces for exterior projects or window replacement or demolition in housing, child care facilities and schools built before 1978.

- Homeowners and tenants: renovators must give you this pamphlet before starting work.
- Child care facilities, including preschools and kindergarten classrooms, and the families of children under six years of age that attend those facilities: renovators must provide a copy of this pamphlet to child care facilities and general renovation information to families whose children attend those facilities.



## WHO SHOULD READ THIS PAMPHLET?

### **This pamphlet is for you if you:**

- Reside in a home built before 1978.
- Own or operate a child care facility, including preschools and kindergarten classrooms, built before 1978, or
- Have a child under six years of age who attends a child care facility built before 1978.

### **You will learn:**

- Basic facts about lead and your health.
- How to choose a contractor, if you are a property owner.
- What tenants, and parents/guardians of a child in a child care facility or school should consider.
- How to prepare for the renovation or repair job.
- What to look for during the job and after the job is done.
- Where to get more information about lead.

### **This pamphlet is not for:**

- **Abatement projects.** Abatement is a set of activities aimed specifically at eliminating lead or lead hazards. EPA has regulations for certification and training of abatement professionals. If your goal is to eliminate lead or lead hazards, contact the National Lead Information Center at 1-800-424-LEAD (5323) for more information.
- **“Do-it-yourself” projects.** If you plan to do renovation work yourself, this document is a good start, but you will need more information to complete the work safely. Call the National Lead Information Center at 1-800-424-LEAD (5323) and ask for more information on how to work safely in a home with lead-based paint.
- **Contractor education.** Contractors who want information about working safely with lead should contact the National Lead Information Center at 1-800-424-LEAD (5323) for information about courses and resources on lead-safe work practices.





## Price Presentation Discounts

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Beaufort, NC 28516  
H: (252)635-7101

**PROJECT PRICE BEFORE DISCOUNTS** **\$152,248**

### INDIVIDUAL SAVINGS BASED ON 33 UNITS

30% Off Project Savings:  
**\$45,674**

Initial Visit Incentive (5%) Savings:  
**\$5,328**

**TOTAL PRICE: \$101,246**



## RENOVATING, REPAIRING, OR PAINTING?

- Is your home, your building, or the child care facility or school your children attend being renovated, repaired, or painted?
- Was your home, your building, or the child care facility or school where your children under six years of age attend built before 1978?

If the answer to these questions is YES, there are a few important things you need to know about lead-based paint.

This pamphlet provides basic facts about lead and information about lead safety when work is being done in your home, your building or the child care facility or school your children attend.



### The Facts About Lead

- Lead can affect children's brains and developing nervous systems, causing reduced IQ, learning disabilities, and behavioral problems. Lead is also harmful to adults.
- Lead in dust is the most common way people are exposed to lead. People can also get lead in their bodies from lead in soil or paint chips. Lead dust is often invisible.
- Lead-based paint was used in more than 38 million homes until it was banned for residential use in 1978.
- Projects that disturb painted surfaces can create dust and endanger you and your family. Don't let this happen to you. Follow the practices described in this pamphlet to protect you and your family.

## LEAD AND YOUR HEALTH

### Lead is especially dangerous to children under six years of age.

- Lead can affect children's brains and developing nervous systems, causing:
- Reduced IQ and learning disabilities.
  - Behavior problems.

Even children who appear healthy can have dangerous levels of lead in their bodies.

- Lead is also harmful to adults. In adults, low levels of lead can pose many dangers, including:
- High blood pressure and hypertension.
  - Pregnant women exposed to lead can transfer lead to their fetuses. Lead gets into the body when it is swallowed or inhaled.
  - People, especially children, can swallow lead dust as they eat, play, and do other normal hand-to-mouth activities.
  - People may also breathe in lead dust or fumes if they disturb lead-based paint. People who sand, scrape, burn, brush, blast or otherwise disturb lead-based paint risk unsafe exposure to lead.



### What should I do if I am concerned about my family's exposure to lead?

- A blood test is the only way to find out if you or a family member already has lead poisoning. Call your doctor or local health department to arrange for a blood test.
- Call your local health department for advice on reducing and eliminating exposures to lead inside and outside your home, child care facility or school.
- Always use lead-safe work practices when renovation or repair will disturb painted surfaces.

For more information about the health effects of exposure to lead, visit the EPA lead website at [epa.gov/lead/pubs/leadinfo](http://epa.gov/lead/pubs/leadinfo) or call 1-800-424-LEAD (5323).

### There are other things you can do to protect your family every day.

- Regularly clean floors, window sills, and other surfaces.
- Wash children's hands, bottles, pacifiers, and toys often.
- Make sure children eat a healthy, nutritious diet consistent with the USDA's dietary guidelines, that helps protect children from the effects of lead.
- Wipe off shoes before entering the house.

## WHERE DOES THE LEAD COME FROM?

### Dust is the main problem.

The most common way to get lead in the body is from dust. Lead dust comes from deteriorating lead-based paint and lead-contaminated soil that gets tracked into your home. This dust may accumulate to unsafe levels. Then, normal hand-to-mouth activities, like playing and eating (especially in young children), move that dust from surfaces like floors and window sills into the body.

### Home renovation creates dust.

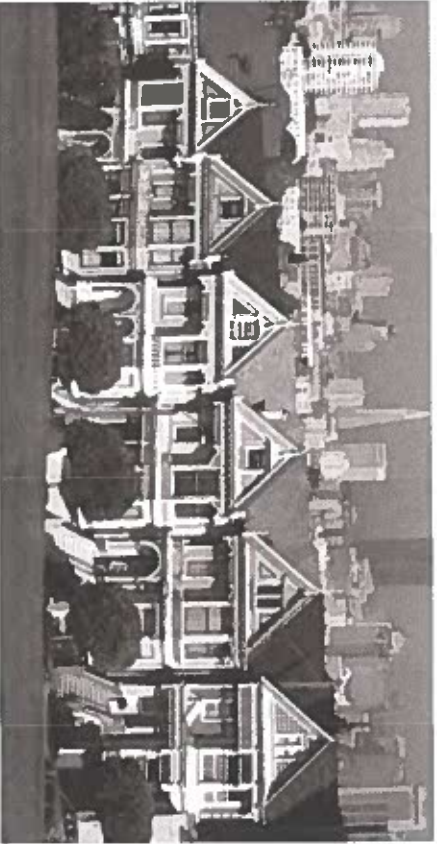
Common renovation activities like sanding, cutting, and demolition can create hazardous lead dust and chips.

### Proper work practices protect you from the dust.

The key to protecting yourself and your family during a renovation, repair or painting job is to use lead-safe work practices such as containing dust inside the work area, using dust-minimizing work methods, and conducting a careful cleanup, as described in this pamphlet.

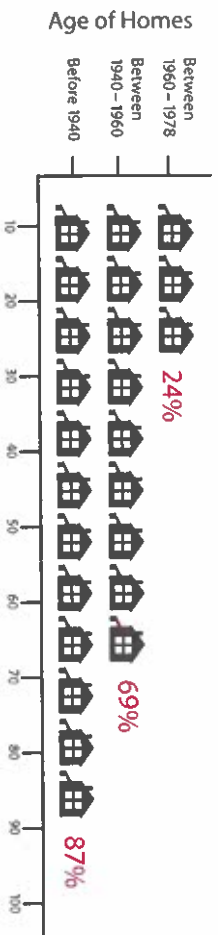
### Other sources of lead.

Remember, lead can also come from outside soil, your water, or household items (such as lead-glazed pottery and lead crystal). Contact the National Lead Information Center at 1-800-424-LEAD (5323) for more information on these sources.



## CHECKING YOUR HOME FOR LEAD-BASED PAINT

Percentage of Homes Likely to Contain Lead



### Older homes, child care facilities, and schools are more likely to contain lead-based paint.

Homes may be single-family homes or apartments. They may be private, government-assisted, or public housing. Schools are preschools and kindergarten classrooms. They may be urban, suburban, or rural.

### You have the following options:

You may decide to assume your home, child care facility, or school contains lead. Especially in older homes and buildings, you may simply want to assume lead-based paint is present and follow the lead-safe work practices described in this brochure during the renovation, repair, or painting job.

You can hire a certified professional to check for lead-based paint.

These professionals are certified risk assessors or inspectors, and can determine if your home has lead or lead hazards.

- A certified inspector or risk assessor can conduct an inspection telling you whether your home, or a portion of your home, has lead-based paint and where it is located. This will tell you the areas in your home where lead-safe work practices are needed.

- A certified risk assessor can conduct a risk assessment telling you if your home currently has any lead hazards from lead in paint, dust, or soil. The risk assessor can also tell you what actions to take to address any hazards.

- For help finding a certified risk assessor or inspector, call the National Lead Information Center at 1-800-424-LEAD (5323).

You may also have a certified renovator test the surfaces or components being disturbed for lead by using a lead test kit or by taking paint chip samples and sending them to an EPA-recognized testing laboratory. Test kits must be EPA-recognized and are available at hardware stores. They include detailed instructions for their use.



## FOR PROPERTY OWNERS

**You have the ultimate responsibility for the safety of your family, tenants, or children in your care.**

This means properly preparing for the renovation and keeping persons out of the work area (see p. 8). It also means ensuring the contractor uses lead-safe work practices.

Federal law requires that contractors performing renovation, repair and painting projects that disturb painted surfaces in homes, child care facilities, and schools built before 1978 be certified and follow specific work practices to prevent lead contamination.

**Make sure your contractor is certified, and can explain clearly the details of the job and how the contractor will minimize lead hazards during the work.**

- You can verify that a contractor is certified by checking EPA's website at [epa.gov/getleadSAFE](http://epa.gov/getleadSAFE) or by calling the National Lead Information Center at 1-800-424-LEAD (5323). You can also ask to see a copy of the contractor's firm certification.
- Ask if the contractor is trained to perform lead-safe work practices and to see a copy of their training certificate.
- Ask them what lead-safe methods they will use to set up and perform the job in your home, child care facility or school.
- Ask for references from at least three recent jobs involving homes built before 1978, and speak to each personally.

**Always make sure the contract is clear about how the work will be set up, performed, and cleaned.**

- Share the results of any previous lead tests with the contractor.
- You should specify in the contract that they follow the work practices described on pages 9 and 10 of this brochure.
- The contract should specify which parts of your home are part of the work area and specify which lead-safe work practices will be used in those areas. Remember, your contractor should confine dust and debris to the work area and should minimize spreading that dust to other areas of the home.
- The contract should also specify that the contractor will clean the work area, verify that it was cleaned adequately, and re-clean it if necessary.

**If you think a worker is not doing what he is supposed to do or is doing something that is unsafe, you should:**

- Direct the contractor to comply with regulatory and contract requirements.
- Call your local health or building department, or
- Call EPA's hotline 1-800-424-LEAD (5323).

If your property receives housing assistance from HUD (or a state or local agency that uses HUD funds), you must follow the requirements of HUD's Lead-Safe Housing Rule and the ones described in this pamphlet.

## FOR TENANTS AND FAMILIES OF CHILDREN UNDER SIX YEARS OF AGE IN CHILD CARE FACILITIES AND SCHOOLS

**You play an important role ensuring the ultimate safety of your family.**

This means properly preparing for the renovation and staying out of the work area (see p. 8).

Federal law requires that contractors performing renovation, repair and painting projects that disturb painted surfaces in homes built before 1978 and in child care facilities and schools built before 1978, that a child under six years of age visits regularly, to be certified and follow specific work practices to prevent lead contamination.

The law requires anyone hired to renovate, repair, or do painting preparation work on a property built before 1978 to follow the steps described on pages 9 and 10 unless the area where the work will be done contains no lead-based paint.

**If you think a worker is not doing what he is supposed to do or is doing something that is unsafe, you should:**

- Contact your landlord.
- Call your local health or building department, or
- Call EPA's hotline 1-800-424-LEAD (5323).

If you are concerned about lead hazards left behind after the job is over, you can check the work yourself (see page 10).





## PREPARING FOR A RENOVATION

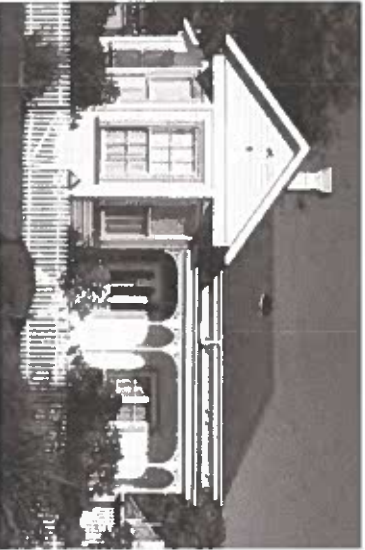
### The work areas should not be accessible to occupants while the work occurs.

The rooms or areas where work is being done may need to be blocked off or sealed with plastic sheeting to contain any dust that is generated. Therefore, the contained area may not be available to you until the work in that room or area is complete, cleaned thoroughly, and the containment has been removed. Because you may not have access to some areas during the renovation, you should plan accordingly.

### You may need:

- Alternative bedroom, bathroom, and kitchen arrangements if work is occurring in those areas of your home.
  - A safe place for pets because they too can be poisoned by lead and can track lead dust into other areas of the home.
  - A separate pathway for the contractor from the work area to the outside in order to bring materials in and out of the home. Ideally, it should not be through the same entrance that your family uses.
  - A place to store your furniture. All furniture and belongings may have to be moved from the work area while the work is being done. Items that can't be moved, such as cabinets, should be wrapped in plastic.
  - To turn off forced-air heating and air conditioning systems while the work is being done. This prevents dust from spreading through vents from the work area to the rest of your home. Consider how this may affect your living arrangements.
- You may even want to move out of your home temporarily while all or part of the work is being done.

Child care facilities and schools may want to consider alternative accommodations for children and access to necessary facilities.



## DURING THE WORK

Federal law requires contractors that are hired to perform renovation, repair and painting projects in homes, child care facilities, and schools built before 1978 that disturb painted surfaces to be certified and follow specific work practices to prevent lead contamination.

The work practices the contractor must follow include these three simple procedures, described below:

**1. Contain the work area.** The area must be contained so that dust and debris do not escape from that area. Warning signs must be put up and plastic or other impermeable material and tape must be used as appropriate to:

- Cover the floors and any furniture that cannot be moved.
- Seal off doors and heating and cooling system vents.
- For exterior renovations, cover the ground and, in some instances, erect vertical containment or equivalent extra precautions in containing the work area.

These work practices will help prevent dust or debris from getting outside the work area.

**2. Avoid renovation methods that generate large amounts of lead-contaminated dust.** Some methods generate so much lead-contaminated dust that their use is prohibited. They are:

- Open flame burning or torching.
- Sanding, grinding, planing, needle gunning, or blasting with power tools and equipment not equipped with a shroud and HEPA vacuum attachment.
- Using a heat gun at temperatures greater than 1100°F.



There is no way to eliminate dust, but some renovation methods make less dust than others. Contractors may choose to use various methods to minimize dust generation, including using water to mist areas before sanding or scraping; scoring paint before separating components; and prying and pulling apart components instead of breaking them.

**3. Clean up thoroughly.** The work area should be cleaned up daily to keep it as clean as possible. When all the work is done, the area must be cleaned up using special cleaning methods before taking down any plastic that isolates the work area from the rest of the home. The special cleaning methods should include:

- Using a HEPA vacuum to clean up dust and debris on all surfaces, followed by
- Wet wiping and wet mopping with plenty of rinse water.

When the final cleaning is done, look around. There should be no dust, paint chips, or debris in the work area. If you see any dust, paint chips, or debris, the area must be re-cleaned.

## FOR PROPERTY OWNERS: AFTER THE WORK IS DONE

When all the work is finished, you will want to know if your home, child care facility, or school where children under six attend has been cleaned up properly.

### EPA Requires Cleaning Verification.

In addition to using allowable work practices and working in a lead-safe manner, EPA's RRP rule requires contractors to follow a specific cleaning protocol. The protocol requires the contractor to use disposable cleaning cloths to wipe the floor and other surfaces of the work area and compare these cloths to an EPA-provided cleaning verification card to determine if the work area was adequately cleaned. EPA research has shown that following the use of lead-safe work practices with the cleaning verification protocol will effectively reduce lead-dust hazards.

### Lead-Dust Testing.

EPA believes that if you use a certified and trained renovation contractor who follows the LRRP rule by using lead-safe work practices and the cleaning protocol after the job is finished, lead-dust hazards will be effectively reduced. If, however, you are interested in having lead-dust testing done at the completion of your job, outlined below is some helpful information.

#### What is a lead-dust test?

• Lead-dust tests are wipe samples sent to a laboratory for analysis. You will get a report specifying the levels of lead found after your specific job.

#### How and when should I ask my contractor about lead-dust testing?

• Contractors are not required by EPA to conduct lead-dust testing. However, if you want testing, EPA recommends testing be conducted by a lead professional. To locate a lead professional who will perform an evaluation near you, visit EPA's website at [epa.gov/lead/pubs/locate](http://epa.gov/lead/pubs/locate) or contact the National Lead Information Center at 1-800-424-LEAD (5323).

• If you decide that you want lead-dust testing, it is a good idea to specify in your contract before the start of the job, that a lead-dust test is to be done for your job and who will do the testing, as well as whether re-cleaning will be required based on the results of the test.

• You may do the testing yourself. If you choose to do the testing, some EPA-recognized lead laboratories will send you a kit that allows you to collect samples and send them back to the laboratory for analysis. Contact the National Lead Information Center for lists of EPA-recognized testing laboratories.



## FOR ADDITIONAL INFORMATION

You may need additional information on how to protect yourself and your children while a job is going on in your home, your building, or child care facility.

The National Lead Information Center at 1-800-424-LEAD (5323) or [epa.gov/lead/nlic](http://epa.gov/lead/nlic) can tell you how to contact your state, local, and/or tribal programs or get general information about lead poisoning prevention.

• State and tribal lead poisoning prevention or environmental protection programs can provide information about lead regulations and potential sources of financial aid for reducing lead hazards. If your state or local government has requirements more stringent than those described in this pamphlet, you must follow those requirements.

• Local building code officials can tell you the regulations that apply to the renovation work that you are planning.

• State, county, and local health departments can provide information about local programs, including assistance for lead-poisoned children and advice on ways to get your home checked for lead.

The National Lead Information Center can also provide a variety of resource materials, including the following guides to lead-safe work practices. Many of these materials are also available at [epa.gov/lead/pubs/brochure](http://epa.gov/lead/pubs/brochure)

- Steps to Lead Safe Renovation, Repair and Painting.
- Protect Your Family from Lead in Your Home
- Lead in Your Home: A Parent's Reference Guide



For the hearing impaired, call the Federal Information Relay Service at 1-800-877-8339 to access any of the phone numbers in this brochure.

## EPA CONTACTS

### EPA Regional Offices

EPA addresses residential lead hazards through several different regulations. EPA requires training and certification for conducting abatement and renovations, education about hazards associated with renovations, disclosure about known lead paint and lead hazards in housing, and sets lead-paint hazard standards.

Your Regional EPA Office can provide further information regarding lead safety and lead protection programs at [epa.gov/lead](http://epa.gov/lead).

<b>Region 1</b> (Connecticut, Massachusetts, Maine, New Hampshire, Rhode Island, Vermont) Regional Lead Contact U.S. EPA Region 1 Suite 1100 One Congress Street Boston, MA 02114-2023 (888) 372-7341	<b>Region 4</b> (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee) Regional Lead Contact U.S. EPA Region 4 61 Forsyth Street, SW Atlanta, GA 30303-8960 (404) 562-9900	<b>Region 7</b> (Iowa, Kansas, Missouri, Nebraska) Regional Lead Contact U.S. EPA Region 7 901 N. 5th Street Kansas City, KS 66101 (913) 551-7003
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<b>Region 2</b> (New Jersey, New York, Puerto Rico, Virgin Islands) Regional Lead Contact U.S. EPA Region 2 2890 Woodbridge Avenue Building 205, Mail Stop 225 Edison, NJ 08837-3679 (732) 321-6671	<b>Region 5</b> (Illinois, Indiana, Michigan, Minnesota, Ohio, Wisconsin) Regional Lead Contact U.S. EPA Region 5 77 West Jackson Boulevard Chicago, IL 60604-3507 (312) 886-6003	<b>Region 8</b> (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming) Regional Lead Contact U.S. EPA Region 8 1595 Wynkoop Street Denver, CO 80202 (303) 312-6312
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<b>Region 3</b> (Delaware, Maryland, Pennsylvania, Virginia, Washington, DC, West Virginia) Regional Lead Contact U.S. EPA Region 3 1650 Arch Street Philadelphia, PA 19103-2029 (215) 814-5000	<b>Region 6</b> (Arkansas, Louisiana, New Mexico, Oklahoma, Texas) Regional Lead Contact U.S. EPA Region 6 1445 Ross Avenue, 12th Floor Dallas, TX 75202-2733 (214) 665-7577	<b>Region 9</b> (Arizona, California, Hawaii, Nevada) Regional Lead Contact U.S. Region 9 75 Hawthorne Street San Francisco, CA 94105 (415) 947-8021
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<b>Region 10</b> (Alaska, Idaho, Oregon, Washington) Regional Lead Contact U.S. EPA Region 10 1200 Sixth Avenue Seattle, WA 98101-1128 (206) 553-1200
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## OTHER FEDERAL AGENCIES

### CPSC

The Consumer Product Safety Commission (CPSC) protects the public from the unreasonable risk of injury or death from 15,000 types of consumer products under the agency's jurisdiction. CPSC warns the public and private sectors to reduce exposure to lead and increase consumer awareness. Contact CPSC for further information regarding regulations and consumer product safety.

### CPSC

4330 East West Highway  
Bethesda, MD 20814  
Hotline 1-(800) 638-2772  
[cpsc.gov](http://cpsc.gov)

### CDC Childhood Lead Poisoning Prevention Branch

The Centers for Disease Control and Prevention (CDC) assist state and local childhood lead poisoning prevention programs to provide a scientific basis for policy decisions, and to ensure that health issues are addressed in decisions about housing and the environment. Contact CDC Childhood Lead Poisoning Prevention Program for additional materials and links on the topic of lead.

### CDC Childhood Lead Poisoning Prevention Branch

4770 Buford Highway, MS F-40  
Atlanta, GA 30341  
(770) 488-3300  
[cdc.gov/nceh/lead](http://cdc.gov/nceh/lead)

### HUD Office of Healthy Homes and Lead Hazard Control

The Department of Housing and Urban Development (HUD) provides funds to state and local governments to develop cost-effective ways to reduce lead-based paint hazards in America's privately-owned low-income housing. In addition, the office enforces the rule on disclosure of known lead paint and lead hazards in housing, and HUD's lead safety regulations in HUD-assisted housing, provides public outreach and technical assistance, and conducts technical studies to help protect children and their families from health and safety hazards in the home. Contact the HUD Office of Healthy Homes and Lead Hazard Control for information on lead regulations, outreach efforts, and lead hazard control research and outreach grant programs.

### U.S. Department of Housing and Urban Development

Office of Healthy Homes and Lead Hazard Control  
451 Seventh Street, SW, Room 8236  
Washington, DC 20410-3000  
HUD's Lead Regulations Hotline  
(202) 402-7698  
[hud.gov/offices/lead/](http://hud.gov/offices/lead/)

# SAMPLE PRE-RENOVATION FORM

This sample form may be used by renovation firms to document compliance with the Federal pre-renovation education and renovation, repair, and painting regulations.

### Occupant Confirmation

Pamphlet Receipt

- I have received a copy of the lead hazard information pamphlet informing me of the potential risk of the lead hazard exposure from renovation activity to be performed in my dwelling unit. I received this pamphlet before the work began.

Printed Name of Owner-occupant \_\_\_\_\_

Signature of Owner-occupant \_\_\_\_\_

Signature Date \_\_\_\_\_

### Renovator's Self Certification Option (for tenant-occupied dwellings only)

Instructions to Renovator: If the lead hazard information pamphlet was delivered but a tenant signature was not obtainable, you may check the appropriate box below.

- Declined** – I certify that I have made a good faith effort to deliver the lead hazard information pamphlet to the rental dwelling unit listed below at the date and time indicated and that the occupant declined to sign the confirmation of receipt. I further certify that I have left a copy of the pamphlet at the unit with the occupant.
- Unavailable for signature** – I certify that I have made a good faith effort to deliver the hazard information pamphlet to the rental dwelling unit listed below and that the occupant was unavailable to sign the confirmation of receipt. I further certify that I have left a copy of the pamphlet at the unit by sliding it under the door or by (fill in how pamphlet was left).



Printed Name of Person Certifying Delivery \_\_\_\_\_ Attempted Delivery Date \_\_\_\_\_

Signature of Person Certifying Lead Pamphlet Delivery \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Unit Address \_\_\_\_\_

**Note Regarding Mailing Option** — As an alternative to delivery in person, you may mail the lead hazard information pamphlet to the owner and/or tenant. Pamphlet must be mailed at least seven days before renovation. Mailing must be documented by a certificate of mailing from the post office.





### Lead-Safe Form

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sinee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

## Lead Safe Work Pamphlet Receipt and Lead Testing Permission Form Pamphlet Receipt

I have received a copy of the lead hazard information pamphlet informing me of the potential risk of the lead hazard exposure from renovation activity to be performed in my dwelling. I received this pamphlet before the work began.

### Permission to Test

I confirm if my house was built between the years of 1940 and 1977, I understand and give permission to have my house tested for Lead Paint at time the measure technician comes out to take final measurements. I understand that the if the test does show the presence of lead paint, that the firm performing the renovation will be required to use the lead-safe work practices required by EPA's Lead-Based Paint Renovation, Repair, and Painting Rule. I also understand that there is no added charge for using the lead safe work practices.

By signing below, I hereby agree to the terms and conditions above.

SIGNATURE OF SALES PERSON

Robert Grote

PRINT NAME OF SALES PERSON

SIGNATURE

Brent Greenberg

PRINT NAME

SIGNATURE

Sinee Greenberg

PRINT NAME





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“I”, “my,” and “me” means each person who signs this Agreement as a buyer. “Contractor” means the contractor performing the work. “We” and “us” mean both the buyer, or buyers if more than one, and the Contractor.

Renewal by Andersen of Central NC is an authorized and independent dealer of Renewal by Andersen, a subsidiary of Andersen Corporation. Buyers are entering into a contract with Renewal by Andersen of Central NC.

Buyer(s) agrees and understands that this Agreement constitutes the entire understanding between the parties, and that there are no verbal understandings changing or modifying any of the terms of this Agreement. Buyer(s) hereby acknowledges that Buyer(s) 1) has read this Agreement, understands the terms of this Agreement, and has received a completed, signed, and dated copy of this Agreement, including the two attached Notices of Cancellation, on the date first written above 2) was orally informed of Buyer’s right to cancel this Agreement, and 3) I understand that upon re-measure or installation, that if contractor must make changes and/or do extra work (including any labor or materials) due to unknown pre-existing conditions and/or the discovery of unforeseen structural defects at my property; that contractor may ask me to sign an addendum to this agreement which may result in additional costs to buyer.

Warranty/Intended Use: I understand that Andersen Corporation is providing me with a product and labor warranty in connection with my purchase. I understand that I should read this warranty for complete details of my warranty coverage and that this warranty is available for my complete review before I sign this Agreement. I understand the warranty will not be effective or enforced while a balance due remains on this Agreement, EXCEPT TO THE EXTENT NOT PERMITTED BY LAW, CONTRACTOR HEREBY WAIVES ALL IMPLIED WARRANTIES, INCLUDING, BUT NOT LIMITED TO, THE IMPLIED WARRANTY OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.

SIGNATURE OF SALES PERSON

Robert Grote

PRINT NAME OF SALES PERSON

SIGNATURE

Brent Greenberg

PRINT NAME

SIGNATURE

Sindee Greenberg

PRINT NAME



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**Contractor’s Promises:** Contractor promises to perform all work in a professional manner and within industry standards. Contractor will remove and transport away from the premises any debris and waste materials that are generated by Contractor. Homeowner shall obtain all building permits for the work to be performed under this Agreement. Contractor shall maintain worker’s compensation insurance and liability insurance during the term of this Agreement. Contractor maintains liability insurance covering personal injury in an amount of \$1,000,000 and insurance covering property damage caused by the work of Contractor in an amount of \$1,000,000.

**My Promises:** I promise to Contractor that (a) I will provide Contractor with reasonable access to my property and the area in which the work is to be performed, including access to electrical outlets; (b) I will be responsible for preparation, moving, and reinstalling of any materials, personal property, cars, or equipment as may be needed for Contractor to perform its work; (c) The walls and surfaces upon which the work is to be performed are sound and suitable for the work being performed; (d) I agree that when the work is “substantially complete”, I will pay Contractor the balance due on the purchase price. I understand that “substantially complete” means the work has been materially finished and is functional as intended; (e) If taxes and/or permitting fees are necessary to complete the work, I will pay them unless the law requires Contractor to pay them. Buyer(s) agrees that Contractor may place a small advertising sign in Buyer’s yard at the time of install.

**Measurements:** I understand that all dimensions referred to in this Agreement are considered estimated measurements and used only for the purpose of arriving at the Total Job Amount in this Agreement. I understand that the actual measurements will be determined during a follow up visit by a qualified measurement technician employed by Contractor.

**Late Cancellation:** I understand that I have 3 business days to cancel this Agreement, as

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Robert Grote

**PRINT NAME OF SALES PERSON**

**SIGNATURE**

Brent Greenberg

**PRINT NAME**

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Sinee Greenberg

**PRINT NAME**



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described on the front page of this Agreement. I understand that if I want to cancel this Agreement after those 3 days, Contractor does not have to allow that. I understand that if Contractor does let me cancel, however, I will have to pay to Contractor a late cancellation fee equal to 50% of this Agreement's purchase price for Contractor's labor, administrative, and material costs in cases where product has been ordered and a late cancellation fee equal to 20% of this Agreement's purchase price for Contractor's labor, administrative, and material costs in cases where product has not been ordered.

Delay/Unknown Conditions: I understand that if Contractor determines that Contractor cannot perform the work according to Contractor's normal professional standards, then Contractor can cancel this Agreement, notify me in writing of the cancellation, and return my money to me. I understand that some of the things that could cause Contractor to cancel this Agreement would be incorrect pricing, unforeseen structural defects, or unknown pre-existing conditions to my property. I understand that Contractor is not responsible for structural or other defects in my property, and that Contractor's products do not cure those types of problems. I also understand that the work could be delayed by events that Contractor does not control, and that is acceptable to me. Some of the things that could cause the work to be delayed would be acts of God, labor strikes, inclement weather, material shortages, my inability to qualify for or obtain financing, delays by local government authorities in issuing or otherwise approving inspections, permitting, or other required authorizations for the work.

Late Payment/Default: I agree that if I do not pay Contractor any of the money owed when it is due, I can be charged a late fee of 1.5% on the amount owed for each month the money is owed and not paid. I agree and understand that in the event that I do not pay Contractor any of the money owed when it is due, Contractor may have a claim against me, which may be enforced against my property in accordance with the applicable lien laws. I also understand that if I finance the work with Contractor or a third party, my separately provided financing documents may include a security interest.

**SIGNATURE OF SALES PERSON**

Robert Grote

**PRINT NAME OF SALES PERSON**

**SIGNATURE**

Brent Greenberg

**PRINT NAME**

**SIGNATURE**

Sindee Greenberg

**PRINT NAME**



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Renewal by Andersen of Central NC is entitled to recover, and the Buyer shall pay, all costs, expenses, and legal fees (including the fees of attorneys and persons not admitted to the bar performing services under the supervision of an attorney) incurred by the Seller in enforcing this Agreement.

**Lead-Safe Work Practices:** I understand that should my home test positive for lead-based paint, an EPA-approved Certified Renovator will oversee all work using EPA-mandated lead-safe work practices. I further understand that I will not be able to retain any windows or doors that have been replaced and the Certified Renovator is required by law to haul away and properly dispose of such windows/doors.

**Inside Work:** I understand that no inside work such as painting, staining, plastering, drywall, masonry, paneling, replacing or covering inside sills will be done by Contractor and that the windows and doors purchased will be installed into existing jambs, headers, and sills unless otherwise specified in this Agreement. Contractor shall not be responsible for any damage if I have any windows painted or stained, nor shall any such damage release me from any obligation under this Agreement.

**Interpretation of this Agreement:** I agree that this Agreement will be enforced under the laws of the state where the work is being performed. If any part of this Agreement is determined to be invalid or illegal, then I agree that the rest of this Agreement will still be valid and enforceable. We both understand that this Agreement and any attachments, make up the entire understanding between us about the work Contractor is doing. There are no other oral or written agreements or representations on which we are relying. We both agree that any change to this Agreement must be in writing and signed by both of us. I understand that if Contractor must make changes to the estimated measurements or changes are required due to the discovery of unforeseen structural defects or unknown pre-existing conditions to my property, Contractor will ask me to sign an

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addendum to this Agreement, which may result in additional cost to me. The paragraph headings contained in this Agreement are for convenience only and will not affect the meaning or interpretation of this Agreement.

**Condensation and Environmental Conditions:** Condensation, which can form on or within walls, siding, tiles, or other surfaces results from pre-existing conditions in a home and internal or external temperatures. Reducing the humidity in a home will often remedy any condensation problems. I agree that Contractor is not responsible for condensation or existing or developing spore or mold growth, which can be the result of condensation.

**Right of Rescission:** An individual signing a home improvement contract, except as provided in the emergency provisions of section 7 of the act of December 17, 1968 (P.L. 1224, No. 387), known as the Unfair Trade Practices and Consumer Protection Law, shall be permitted to rescind the contract without penalty regardless of where the contract was signed, within three business days of the date of signing. See the attached notice of cancellation form for an explanation of this right.

**Company Remedies.** It is agreed that in the event Customer refuses to allow the Company to commence performance of the work hereunder, or to continue performance under this Agreement, the Company as a measure of its minimum damages shall be entitled to receive from the Customer:

- (a) the profit Company would have earned had the Company been permitted to complete the work here under.
  - (b) a late fee of 1 1/2% per month on all amounts due and owing from the Customer to the Company accruing from the date due and running to the date the payment is made.
  - (c) Renewal by Andersen has the right to cancel and dispose of product without refund after 120 calendar days, from receipt of product in Renewal by Andersen's local facility.
- Commencement and Completion Dates.** The parties estimate of start and completion dates are target dates only and Customer acknowledges dates are not of the essence, unless clearly noted otherwise on front of contract. The start and completion of the work

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Robert Grote

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**SIGNATURE**

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Sindee Greenberg

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may be delayed due to weather, strikes and shortages of materials and manpower. If customer delays job, the Company shall be permitted an additional 90 days to complete the job.

**SIGNATURE OF SALES PERSON**

Robert Grote

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**SIGNATURE**

Brent Greenberg

**PRINT NAME**

**SIGNATURE**

Sindee Greenberg

**PRINT NAME**



## Renew For You Program

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
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### Renew For You Program

Renewal by Andersen of Central North Carolina is proud to introduce our “Renew for You” program. Our “Renew For You” program allows you to do your project in phases without worrying about whether or not we are on sale.

How It Works: 1. Once you place an order with Renewal by Andersen of Central North Carolina, we will lock in the discounts you used at the time of your purchase for twelve (12) months from the date of your order

2. If you make a subsequent purchase within twelve (12) months of your original purchase date, we will lock in your discounts from your original purchase for another twelve (12) months from the second purchase date.

3. We will continue to lock in your discounts for up to five years from your original purchase date as long as you continue to make a purchase each year within the twelve (12) month period from the previous purchase date.

4. This program does not include patio doors or entry doors but if you purchase patio or entry doors at the current prices, we will still lock in the discounts of your windows.

5. Finance offers made as part of a sales promotion by Renewal by Andersen of Central North Carolina are not included in the Renew for You Program due to Lender availability, legal criteria, and credit variable.

Note: All discount pledges made in this program are only available to customer whose accounts are in good standing. No guarantees are made as to the availability of all products at future dates. Discounts locked in at the time of initial sale cannot be used in conjunction with any other offers made at a later date. Any promotions offered at a later date are only available with prices offered on that same date. Sales discounts are only locked in for the twelve-month period starting at the time of the original order and this offer becomes void if an additional purchase is not made in that time period as explained above.

SIGNATURE OF SALES PERSON

Robert Grote

PRINT NAME OF SALES PERSON

SIGNATURE

Brent Greenberg

PRINT NAME

SIGNATURE

Sindee Greenberg

PRINT NAME



## Thank You For Your Purchase

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"We at Renewal by Andersen have one goal in mind: to provide you with the finest quality materials and the best workmanship available at any price. We want you to have a very enjoyable experience while having your home improvement project completed in a timely and professional manner. To help ensure that your experience is all that you hope for, we have listed some frequently asked questions below along with answers that should help you understand what will be done at your home during your project.

**How large will the mess from the work be?** Our installation crews will be responsible for cleaning up the work related materials installed as well as the work area at the completion of the job. There should be no job related debris remaining after completion of the work inside or outside of your home.

**What about caulking, painting or staining?** Your new products are caulked and sealed as dictated by manufacturer specifications. The caulking will be done with the highest quality caulk available. **We are not responsible for any painting or staining** under any circumstances. We do have a painter we can recommend, but any agreement reached with him is between you and him. Renewal by Andersen will not assume any liability for that agreement.

**What do I need to do to prepare for my installation?** We ask that you move furniture around any areas we will be working to provide approximately 3 feet of clearance for our team to work. We ask that you remove any window/door treatments on units being replaced in advance of our arrival, there is no guarantee that window/door treatments will fit after new units are installed. We recommend removing any breakables and picture frames on both sides of walls we will be working on. Please let us know in advance if assistance may be needed as we will make every effort to assist with the understanding that we are not responsible for any damage incurred.

Please be advised that at least one of the agreement signers is required to be at the

SIGNATURE OF SALES PERSON

Robert Grote

PRINT NAME OF SALES PERSON

SIGNATURE

Brent Greenberg

PRINT NAME

SIGNATURE

Sindee Greenberg

PRINT NAME



## Thank You For Your Purchase

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project location at substantial completion of the project.

**What about my security system?** Any home that has a security system with contacts on the windows and doors we are replacing will have to have the wiring for those contacts disconnected during your installation. Please contact your security service provider prior to your installation day to advise them of this and to discuss disconnecting these contacts and the costs of re-connecting or in some cases replacing such equipment. By LAW, we may disconnect said security contacts on the units we work on but we are not allowed to replace those contacts or reconnect them. That must be done by the Security Provider. We assume no liability for any costs associated with reconnecting your security system.

**What about my pets?** Since not all pets react favorably to the excitement of the construction process, we ask that you keep all of your pets confined during the time we are working on your home. This will keep them from becoming stressed, accidentally escaping, or being injured.

**How do I pay for my project?** Renewal by Andersen offers a variety of payment options to our customer including cash, credit card, and financing options. Regardless of the payment option you choose, we require a 50% deposit (an amount that is half of the contracted total amount due) at the time of entering into this agreement. Checks should be made payable to Renewal by Andersen and will be collected by your Sales Consultant at the time of your Consultation.

**CREDIT CARD CUSTOMERS-** we will collect the required 50% deposit by charging your account at the time of entering into this agreement.

**FINANCE CUSTOMERS-** we will collect the required 50% deposit by charging your account at the time of entering into this agreement. Depending on bank and banking

SIGNATURE OF SALES PERSON

Robert Grote

PRINT NAME OF SALES PERSON

SIGNATURE

Brent Greenberg

PRINT NAME

SIGNATURE

Sindee Greenberg

PRINT NAME



# Release Agreement

**DBA: RENEWAL BY ANDERSEN OF CENTRAL NC**  
Legal Name: The Vinyl Answer Inc  
4250 Regency Drive, Ste 101 | Greensboro, NC 27410  
Phone: 336-299-5051 | Fax: 336-553-2944 | sale@rbatriad.com

**Brent & Sindee Greenberg**  
122 Craven St  
Beaufort, NC 28516  
H: (252)635-7101

I UNDERSTAND that my name, my company name, voice, picture, likeness, biographical materials, photo images of my home and/or person, and statements and/or opinions made by me, in whole or in part, edited or unedited, in any and all media (hereinafter "Information"), without limitation for any and all purposes (including but not limited to incorporating the material into commercials, advertisements, promotions, coupons, in-store displays, on-line programs, free standing inserts and/or publicity or other materials of Renewal by Andersen's products or services). I agree that Renewal by Andersen LLC will have the right to attribute this Information to me and that the Information is accurate to the best of my knowledge. No benefit has been given or promised to me in consideration of expressing my beliefs about Renewal by Andersen® products.

I hereby consent to the use of the Information to Renewal by Andersen LLC, their successors and assigns, for use without restriction as to frequency, scope or duration of usage.

In connection herewith, I hereby release and agree to hold harmless Renewal by Andersen LLC, its successors and assigns, each of them from any and all claims of any kind which I, my heirs, executors or assigns, may have on account of such use including what might be deemed to be misrepresentations of me, my character or my person due to distortion, optical illusion or faulty reproduction which may occur in the finished product.

**BUYER(S)**

*[Handwritten Signature]*

**SIGNATURE**

Brent Greenberg

**PRINT NAME**

122 Craven St

**ADDRESS**

Beaufort, NC 28516

**CITY / STATE / ZIP**

**WITNESS**

*[Handwritten Signature]*

**SIGNATURE**

Sindee Greenberg

**PRINT NAME**

122 Craven St

**ADDRESS**

Beaufort, NC 28516

**CITY / STATE / ZIP**

*[Handwritten Signature]*

**SIGNATURE**

Robert Grote

**PRINT NAME**

11/30/23

**DATE**





# Release Agreement

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Beaufort, NC 28516  
H: (252)635-7101

I hereby agree to waive any compensation rights and/or benefits other than the publicity my business will receive from this advertisement for my participation in this project.

Renewal by Andersen LLC, its successors and assigns, shall be the absolute owner of any and all advertising materials (and all rights therein, including the copyright) produced pursuant to this Agreement.

No promise or representation which is not expressed herein has been made to me, and I have read this release, understand it and am signing it voluntarily.

**BUYER(S)**

*[Handwritten Signature]*

**SIGNATURE**

Brent Greenberg

**PRINT NAME**

122 Craven St

**ADDRESS**

Beaufort, NC 28516

**CITY / STATE / ZIP**

**WITNESS**

*[Handwritten Signature]*

**SIGNATURE**

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**PRINT NAME**

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**ADDRESS**

Beaufort, NC 28516

**CITY / STATE / ZIP**

*[Handwritten Signature]*

**SIGNATURE**

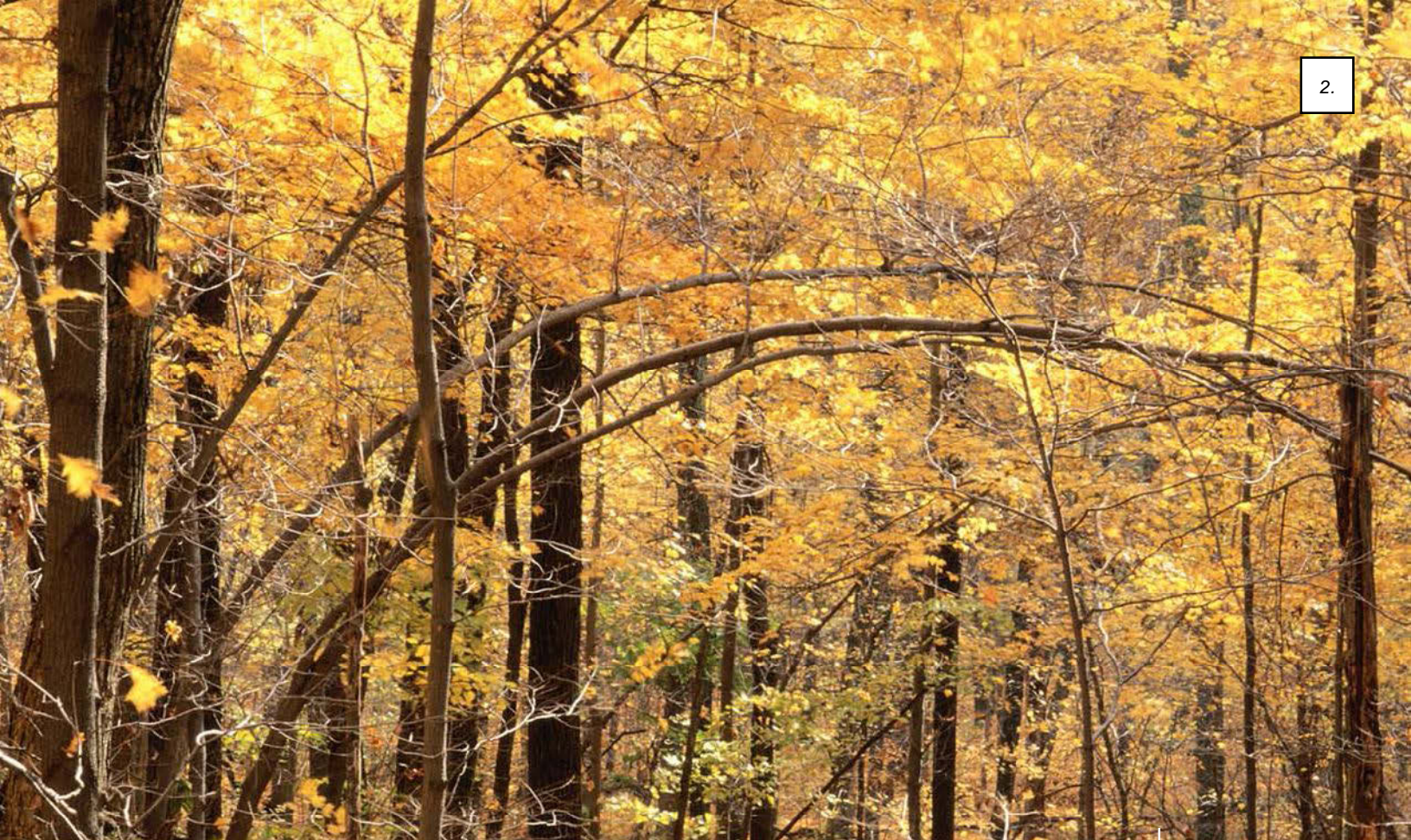
Robert Grote

**PRINT NAME**

11/30/23

**DATE**





RENEWABLE, RECLAIMABLE, RESPONSIBLE — FIBREX®







FIBREX® — ENGINEERED FOR STRUCTURAL PERFORMANCE



## A SUPERIOR COMPOSITE

At a time when more and more industries are looking to alternative building materials, Andersen Corporation introduces Fibrex®, a revolutionary structural material composite technology that blends the very best attributes of thermoplastics and bio-fibers. Durable and versatile, you can count on Fibrex® material for strength, appearance and performance — in a wide variety of applications. Already in use for ten years in many Andersen® products, it performs extremely well in all weather and environmental conditions. Best of all, Fibrex® technology can utilize “reclaimed” wood fiber and vinyl from post production processes, helping to save on natural resources. Fibrex® is a strong cost-to-benefit option for your product needs.

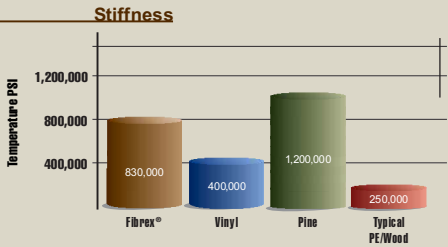
**FIBREX®**





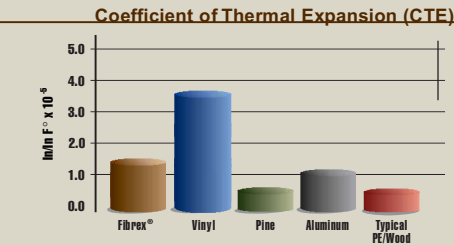
**STIFFNESS**

Modulus is the scientific term for a material's stiffness. The higher the number, the stiffer the material. The average modulus for Fibrex® is over twice the average for vinyl, making it a far more stable and rigid material. And though wood's average stiffness is higher, it is far less predictable than Fibrex®, since wood has natural variations such as grain, knots and moisture content.



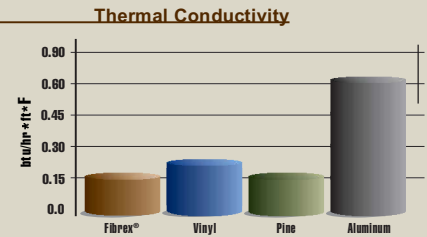
**THERMAL EXPANSION**

Thermal expansion is the degree to which a given material expands and contracts with changes in temperature. Pine has a very low thermal expansion rate. With a rate of 1.6, Fibrex®, like aluminum, expands and contracts very little. Vinyl, with a thermal expansion rate of 4.0, expands and contracts at a rate twice that of Fibrex®, resulting in bowing and cracking over time.



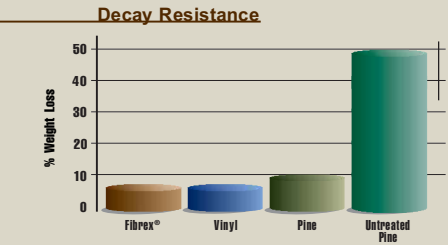
**CONDUCTIVITY**

Fibrex® has a very low thermal conductivity ratio. Its insulating properties can be put on par with pine or vinyl. Unlike aluminum, Fibrex® resists the transfer of heat or cold.



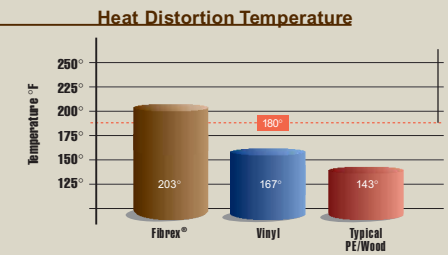
**DECAY RESISTANCE**

The special polymer formulations in Fibrex® surround, coat and fill the cell structure of each wood fiber in the manufacturing process, ensuring unsurpassed resistance to rot.

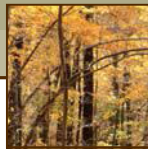


**HEAT RESISTANCE**

High temperatures can result in distortion. At high temperatures, vinyl can bow or sag. In tests, Fibrex® remains rigid and stable to a temperature of 93°C (199°F).







**Fibrex® Properties**

The design versatility of Fibrex® material is enhanced by its exceptional physical properties. Parts made from Fibrex have a high flexural and tensile modulus, low moisture absorption, a higher heat distortion temperature than rigid PVC and a low coefficient of thermal expansion.

Fibrex® material can be extruded or injection molded into functional components. Extruded profiles can be solid or hollow, machined and joined using mechanical fastening, thermal welding and vibratory weld tacking. Profiles can be extruded with a weatherable capstock, enabling color options and color fastness and allowing the surface appearance to be optimized for a specific application.

Fibrex has been found to be an exceptional material when used for siding, decking, railing, fencing, molding, trim, furniture and packaging, to name a few.



Fibrex® decking



Fibrex® window sill



Fibrex® extrusion

**Fibrex® Mechanical Properties (Typical)**

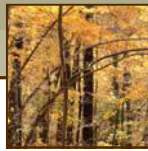
Measurement	ASTM	Units	Material Value
Tensile Modulus, 77° (25°C)	D3039	psi (MPa)	
Extrusion direction			950,000 (6,550)
Cross-extrusion direction			750,000 (5,200)
Tensile Yield Strength, 77° (25°C)	D3039	psi (MPa)	3,000 (21)
Tensile Strength (UTS), 77° (25°C)	D3039	psi (MPa)	
Extrusion direction			5,500 (38)
Cross-extrusion direction			3,800 (26)
Tensile Strain at Failure, 77° (25°C)	D3039	%	
Extrusion direction			1.3
Cross-extrusion direction			0.9
Poisson's Ratio	D630	—	0.342 @ 70°F 0.236 @ 160°F
Flexural Modulus, 77° (25°C)	D790	psi (MPa)	830,000 (5,700)
Compressive Modulus, 77° (25°C)	D695	psi (MPa)	571,000 (3,900)
Modulus of Rupture, 77° (25°C)	D790	psi (MPa)	10,000 (69)
Maximum Flexural Strain (E <sub>max</sub> )	D790	%	1.7
Impact Strength, Gardner, 77° (25°C) 0.1" sample thickness	D3029	inch•lbs (J)	5.0 (0.56)
Izod Notched Impact, 77° (25°C)	D256	inch•lbs/inch (J/m)	7.0 (28)
Maximum Allowable Dynamic Stress	*	psi (MPa)	16,000 (110)
Extrusion Shrinkage	D3679	%	0.2
Specific Gravity	D792	—	1.4
Hardness, Rockwell "L", 77° (25°C)	D785	—	92
Hardness, Rockwell "M", 77° (25°C)	D785	—	66
Static Coefficient of Friction vs. Neolite std. Extrusion direction	F1679-96	—	0.60 wet 0.85 dry

**Fibrex® Environmental Properties**

Measurement	ASTM	Units	Material Value
Moisture Absorption	D570-84	%	0.9
Termite Resistance C. formosanus R. flavipes	—	Weight Loss (g)	0 0
Fungal Decay	D1413		None
Moisture Expansion	D1037	inch/inch/%ΔMC*	1.14x10 <sup>-3</sup>

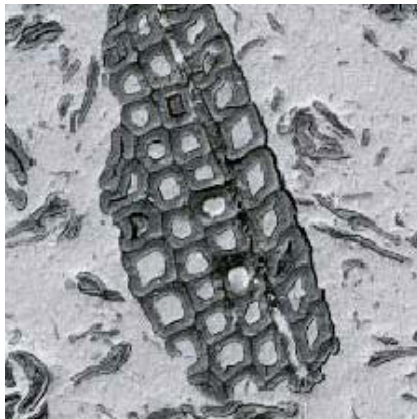
**Fibrex® Thermal Properties**

Measurement	ASTM	Units	Material Value
Heat Deflection Temperature, 264psi (1.82 MPa) 66 psi (0.46 MPa)	D648	°F (°C)	173 (78) 221 (105)
Coefficient of Thermal Expansion	D696	inch/inch/°F (m/m/°C)	1.6x10 <sup>-5</sup> (2.9x10 <sup>-5</sup> )
Thermal Conductivity	F433	Btu/hr•ft•°F (W/m•K)	0.1 (0.17)
Specific Heat	—	Btu/lb•°F (J/kg•K)	0.4 (1674)
Flash Ignition Temperature	D1929	°F (°C)	644 (340)
Self Ignition Temperature	D1929	°F (°C)	716 (380)
Flame Spread Index	E84-94		10
Smoke Developed Index	E84-94		580
Average Flame Spread Index	E162-94		22.73
Average Optical Density of Smoke Flaming mode Non-flaming mode	E662-94		472.32 439.24
Average Time of Burn	D635-91	sec.	<5
Average Extent of Burn	D635-91	mm	<5
Final Oxygen Index	D2863	%volume	31.3

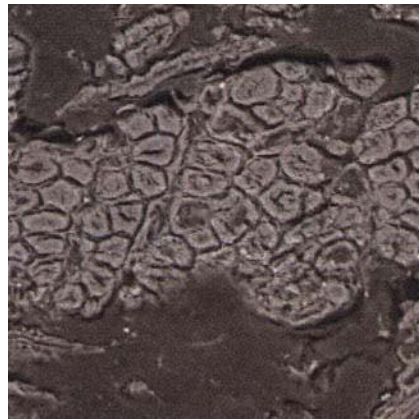


**Fibrex® Material Advantage**

Special polymer formulations surround and fill each wood fiber — ensuring top performance.



Fibrex®



Polyethylene Wood-Fiber Composite

**Fibrex® Patents**

5,205,102	6,210,792	5,985,429	5,827,607	5,486,553
6,357,197	6,122,877	5,981,067	5,773,138	5,441,801
6,346,160	6,054,207	5,948,524	5,695,874	5,406,768
6,342,172	6,015,612	5,932,334	5,539,027	
6,280,667	6,015,611	5,882,564	5,518,677	
6,265,037	6,004,668	D402,770	5,497,594	

\*Additional patents pending



Windows have played an important role in home design for centuries. Historically, window development focused on the right balance between the benefits of natural light and ventilation and the disadvantages of cold drafts, water leakage, and the extensive maintenance of early window designs.

Traditionally, energy use was minimized by the design and setting of a home related to the environment it was built in. Trees were used to buffer cold winds, or to shade the heat of the summer sun. With the advent of powerful heating and cooling systems in the 1950's and 60's, and relatively inexpensive energy, home design strayed from the concerns about energy efficiency. The energy crisis of the 1970's created a new generation of manufacturing and construction methods that focused once again on a home's energy needs.

Today, a new standard of energy efficiency is required. The Renewal by Andersen® window replacement process helps meet these new standards with product technology and installation methods that will help solve our environmental and energy challenges while standing up to the test of time.\*

*Energy efficiency - Always compare whole window performance and not just the individual components.*

### **Whole window performance**

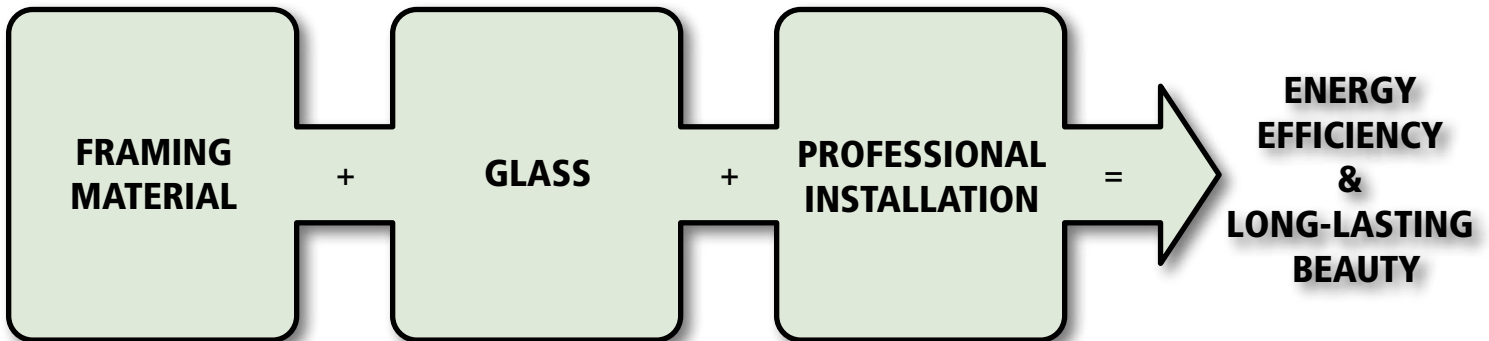
While individual components contribute to energy efficiency, it's whole window performance that's most important.

Renewal by Andersen® windows will help you save money on your energy bills. Many companies tout specific features of their window components when discussing energy efficiency. Renewal by Andersen focuses on the big picture—the whole window performance. We pay particular attention to the window frame and glass—critical components for energy efficiency. We also place enormous significance on complete, professional installation, and warrant it in writing—because a good window can only perform well if it's installed correctly.\*

**At Renewal by Andersen, we believe our outstanding whole-window performance is the result of:**

- Framing material
- Glass
- Professional installation

When you choose Renewal by Andersen window replacement, you will enjoy many years of indoor comfort, low-maintenance and energy efficiency.





# FRAMING MATERIAL makes a difference

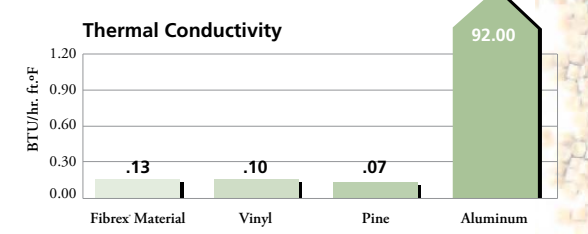
# GLASS there's more than meets the eye

Andersen® products and patents have revolutionized the window and door industry for more than 100 years. We know windows and window materials.

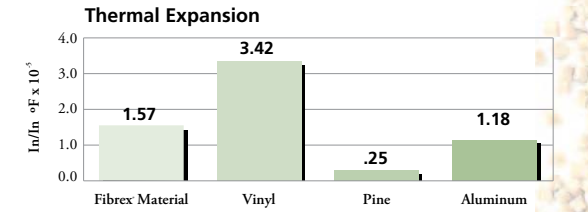
In 1958, Renewal by Andersen's parent company Andersen Corporation, tested and rejected aluminum as a framing material. It conducted heat and cold, plus it could pit and corrode. Also in the 1950's, Andersen developed the first hollow vinyl window in the U.S. We liked the low maintenance feature of vinyl, but concluded that it didn't have enough structural integrity. In 1966, Andersen created the "wood-clad" window and door category with the Perma-Shield® line of products.

In the 1970's, Andersen began experimenting with reclaimed wood fibers. In 1991, after decades of development and testing, Andersen patented and introduced Fibrex® material, a composite of wood fibers and polymer. Fibrex material combines the strength and stability of wood with the low-maintenance benefit of vinyl. Renewal by Andersen windows made with Fibrex material also meet the strictest indoor air emission standard in the U.S.\* and contain certified recycled content.\*\*

### Fibrex® material performance comparison



**An excellent insulator**  
Fibrex® material has excellent insulating properties on par with wood, vinyl or fiberglass. Aluminum, on the other hand, transfers heat out of your home and allows outdoor cold temperatures to chill the window areas inside. Fibrex material insulates about 700 times better than aluminum.



**Durable and reliable**  
Fibrex material, like wood, fiberglass and aluminum, expands and contracts very little. Vinyl, however, can expand and contract a lot, which if not designed properly may cause cracks, bowing and leakage of air and water. Windows made of Fibrex material will perform better in winter and summer than windows made of vinyl.

\* Renewal by Andersen and its parent company, Andersen Corporation, are the only window companies to receive Scientific Certification Systems (SCS) Indoor Advantage Gold™ certification for indoor air quality. This level of certification conforms to the criteria of a number of North America's indoor air emission standards, including the California 01350 standard, recognized as among the strictest in the U.S.  
\*\* Renewal by Andersen windows have certified recycled content values range from 19%–23% and vary by product line.



At first glance, all window glass may look the same. But not all glass performs the same.

Renewal by Andersen offers three different glass options:

- High-Performance™ Low-E4® glass
- High-Performance™ Low-E4® SmartSun™ glass
- High-Performance™ Low-E4® Sun glass

While it can be hard to see the differences in our glass, you will appreciate them. Each glass option provides a varying degree of four unique benefits for heating, cooling, visible light transfer and ultraviolet (UV) protection. The right glass solution for you depends on the climate you live in, the architectural design of your home, the orientation of your windows to the sun, and the "custom climate" you desire in your home. "Glass coatings" are used to create the different glass characteristics.

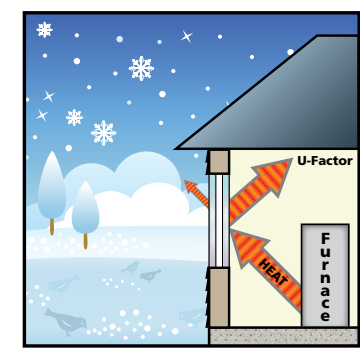
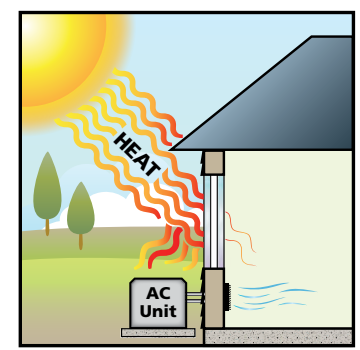
**Glass coatings:** All of our High-Performance Low-E4 glass features a specially designed glass coating system utilizing state of the art coating technology. On the glass exterior, metal oxide coatings are applied to make the surface easier to clean and reduce water spotting up to 99% when activated by sunlight. This exterior coating causes the water to sheet off the surface. On the inside surface of the exterior glass a light (inside the airspace), spectrally selective multi-layer low emissivity (Low-E) coating is applied. This coating has more layers than standard Low-E coated glass, allowing the system to let in the sun's rays that are desirable, while reflecting those that are not. This coating maximizes the visible light that comes through, while reducing undesirable solar heat gain that can make you uncomfortable. This Low-E coating bounces the heat back where it comes from. In winter, that means your heat stays inside. In summer, heat from the sun gets bounced back outside.

High Performance™ Glass Options Center of glass performance data:			
	HP Low-E4®	HP Low-E4® SmartSun™	HP Low-E4® Sun®
U-Factor	.25	.24	.25
% of solar heat passing thru the glass (SHGC)	42%	28%	26%
Visible light transmittance through the glass (VT).	72%	65%	40%
Ultraviolet rays blocked by the sun.	84%	95%	84%

**Glass options: High-Performance™ Low-E4® glass** is our standard offering. High-Performance Low-E4 glass is 45% more energy-efficient in winter and 56% more efficient in summer compared to ordinary dual pane glass.\* Depending on where you live, that can cut your energy bills up to 25%.\*\* High-Performance™ Low-E4® glass blocks 84% of harmful UV rays.

**High-Performance™ Low-E4® SmartSun™ glass** is the most energy-efficient glass option we have ever offered. High-Performance Low-E4 SmartSun™ glass is 47% more energy-efficient in winter and 70% more efficient in summer when compared to ordinary dual pane glass! It has our highest efficiency rating in cool weather and is exceptional in hot climates where solar heat gain can lead to excessive air conditioning expense. SmartSun™ glass blocks the sun's heat, while letting in almost as much natural daylight as clear glass, reducing your need for artificial lighting. What's more, SmartSun glass blocks an amazing 95% of harmful UV rays which helps reduce fading on your carpet, drapes, artwork and furniture but has virtually no effect on the clarity or color of the light that enters your home.

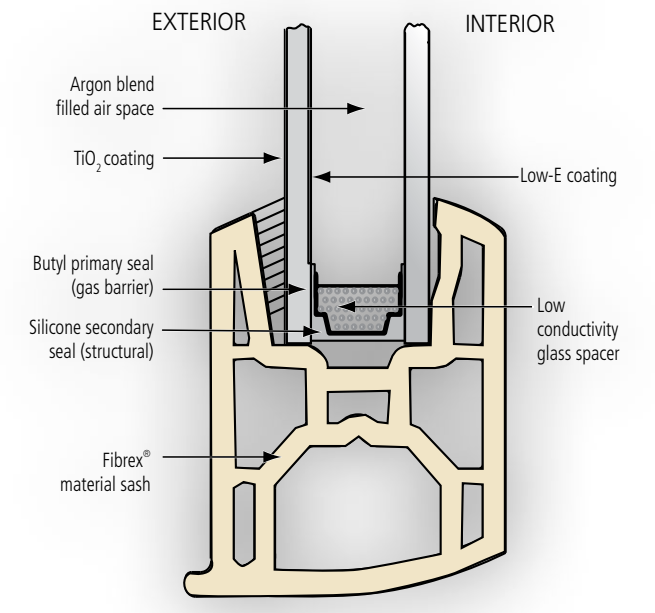
**High-Performance™ Low-E4® Sun™ glass** offers our highest rating against solar heat gain coming through your glass, helping keep your home cooler in warm weather. Our Sun glass has a tint coating applied,\*\*\* reducing the amount of visible light and sunshine streaming in from too bright to just right!



Warm Weather Performance Cool Weather Performance

**Double glazing:** Two panes are better than one pane. Optimizing the width of the air space between the two panes of glass is important. When there is not enough space between the two panes of glass, the benefit of the air space diminishes and reduces the energy efficiency. If the two panes of glass are too far apart, convection can occur within the space, which provides a means of increasing heat loss instead of reducing it. Renewal by Andersen optimizes the space between the two glass panes for the best thermal performance.

### Cross section of a Renewal by Andersen sash



**Spacer:** Renewal by Andersen uses a low-conductivity spacer made of stainless steel that resists heat transfer better than aluminum spacers used by other manufacturers. Also, because stainless steel is so much stronger than aluminum, our stainless steel spacer can use less material and still keep the glass stable. A thinner spacer wall conducts less energy. An inferior spacer may move, causing seals to break. Some window manufacturers even use plastic for their spacers. Plastic can deteriorate over time, causing seal failure. Plastic spacers may also emit a gas when heated by the sun, which can cause a chemical fog between the two panes of glass and affect visibility.

**Argon gas blend:** Manufacturers first started using double glazing back in the 1950's. At first, manufacturers used only air between the panes, and many still do. In the 1970's, some manufacturers used carbon dioxide and Freon. These gases improved insulation value, but proved sensitive to seal failure and could easily discolor. In the 1980's, argon and krypton proved to be more efficient for fill. Krypton is much more expensive and only marginally better at insulating than argon. Manufacturers of better double-pane glass products fill the space with an inert argon gas blend which can improve the thermal performance of the overall product, but on a much smaller scale compared to the benefit of the Low-E coating.

\* Values are based on comparison to U-Factors and SHGCs for clear glass non-metal frame default values from the 2006 International Energy Conservation Code (IECC).  
\*\* A study of identical homes comparing Low-E to ordinary dual-pane glass showed a 25% savings on cooling bills, 10% on heating. Savings may vary geographically.  
\*\*\* Exterior tint may vary from unit to unit.  
† Values are based on comparison of Renewal by Andersen® double-hung insert window SHGC to the SHGC for clear glass non-metal frame default values from the 2006 International Energy Conservation Code.



# INSTALLATION completes the picture



A window must fit well in the opening to provide long-term performance and energy efficiency. Renewal by Andersen® replacement windows are custom made to precisely fit each window opening in your home, and they are installed by professional Renewal by Andersen installers.

Improper installation can easily occur if an installer cuts flashing incorrectly, uses the wrong sealant or does not insulate between the window and rough opening. Rough handling during transportation or installation can compromise the seal of the glass to the frame. Any of these things and more can keep your window from performing to the product's fullest performance level.

We consider installation so important to a window's performance that we back it in a written limited warranty. For a copy of the Renewal by Andersen 20/2/10 Year Limited Warranty, ask your sales consultant or visit [www.renewalbyandersen.com](http://www.renewalbyandersen.com).



## NFRC-Rating energy efficiency



SAMPLE

To help homeowners, in 1992 the National Fenestration Rating Council (NFRC) established an independent 3rd party rating, certification and labeling program for windows, doors and skylights (fenestration products). Renewal by Andersen displays the NFRC label on all its windows. The NFRC label shows the whole window U-Factor, Solar Heat Gain Coefficient (SHGC) and Visible Transmittance. This label means that the entire window unit has been rated and certified, not just the center of the glass or individual components.

### U-Factors, Solar Heat Gain Coefficients, Visible Light Transmittance and R-Values

**U-Factor** measures heat loss. The lower the number, the less heat loss through the window or door. When comparing window and door products, look for NFRC certified U-Factors to indicate the total unit product performance (glass, sash and frame). When comparing windows, a lower U-Factor means better insulating quality. U-Factors generally fall in the range from 0.20 (most energy efficient) to 1.20 (least energy efficient).

**Solar Heat Gain Coefficients (SHGC)** measures how well a product reduces heat gain. Ranging from 0 (no heat gain) to 1 (maximum heat gain), the lower the SHGC, the less heat gain is transmitted through the total unit. Low SHGC products can reduce air conditioning load in the summer and make you more comfortable.

**Visible Transmittance** measures the percentage of light that is transmitted through the total unit. Ranging from 0 (no light) to 1 (maximum light), the higher the number, the more visible light from the sun is let through the product. As the width of the frame of a window or door affects the light transmittance through the opening, it is important to look at the NFRC certified visible transmittance rating.

**R-Value** primarily measures resistance to heat loss. R-Value is most often used to measure the resistance to heat loss of homogenous (the material is the same throughout) materials. While R-Value has been used to describe the energy performance of a window or door it is really more applicable to materials such as insulation.

Compare windows to windows. NFRC-certified U-Factors are the only measure of whole window thermal performance. That's why the NFRC label is so important, and why it's important for you to compare the NFRC labels from one window to another. The NFRC label—and an ENERGY STAR® qualification—helps you know which windows perform better in your area of the country.

## ENERGY STAR®

2.

ENERGY STAR is a government-backed program that helps consumers identify energy efficient products. Every ENERGY STAR® qualified window and door must meet or exceed energy efficiency criteria set by the U.S. Department of Energy.

To be ENERGY STAR qualified, a window or door or must have these things:



- It must be NFRC certified and labeled.
- It must meet the U-Factor and Solar Heat Gain Coefficient requirements that vary by climate zone across the country.

Most Renewal by Andersen® windows using High-Performance™ Low-E4, High-Performance Low-E4 Sun and High-Performance Low-E4 SmartSun™ glass are ENERGY STAR® qualified for all climate zones of the United States. When you compare windows, make sure they are rated for your region of the country. For more information, visit [www.energystar.gov](http://www.energystar.gov).

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

### Green Seal Certified

Founded in 1989, Green Seal is a national nonprofit organization that is devoted to environmental standard setting, product certification and public education. Green Seal helps consumers choose environmentally responsible products by setting science-based environmental certification standards.



Green Seal, through its programs:

- identifies products that are designed and manufactured in an environmentally responsible manner;
- offers scientific analysis to help consumers make educated purchasing decisions regarding environmental impacts;
- ensures consumers that any product bearing the Green Seal Certification Mark has earned the right to use it; and
- encourages manufacturers to develop new products that are significantly less damaging to the environment than their predecessors.

Renewal by Andersen® windows meet Green Seal's environmental standards for:

- Energy efficiency requirements verified by NFRC certification and labeling.
- No use of heavy metals in the frame or sash materials.
- Packaging with at least 25% post-consumer material.

Andersen works continuously to improve its material use and reuse, waste management, emissions, recycling and was also the first window, door and skylight manufacturer to earn the Green Seal certification.

"Green Seal" is a trademark of Green Seal, Inc.

**Dual Seal:** Renewal by Andersen secures the two panes of glass with two sealants: a compressed butyl and a specially formulated silicone. We also remove the Low-E coating around the embedded glass edge to make sure the sealant has a clean surface to adhere to. Other manufacturers leave the coating around the edge which contributes to seal failure. Our precise sealing process helps provide a longer life for the windows, preventing moisture from leaking in between the double glazing and providing a more robust seal. As a result, the seals in the glass of Renewal by Andersen products are much more durable than that of others in the industry. In fact, our glass is in a class of its own. That's real value!

### Long term glass performance.

Renewal by Andersen uses only glass constructions certified for durability by the world's leading organizations on the engineering and manufacturing of insulating glass. Our experience and research allows us to stand behind our glass with a non-prorated 20 year warranty\* – one of the strongest warranties you will ever find. We make our warranty freely available on our website, in our showrooms and for the asking from our sales representatives. As you read our warranty, you will find that it is not riddled with the fine print and exceptions you often see from other window companies. The Renewal by Andersen warranty is real and matches our confidence in the long term performance you can expect from an industry leader in window replacement.



Our window manufacturing process labels each customer's window with its own identification number and our toll-free number. If service is ever needed, call our toll-free number or your local Renewal by Andersen showroom.

\* For a copy of the Renewal by Andersen 20/2/10 Year Limited Warranty, contact a sales representative.



# You'll *love* your new windows!™

2.

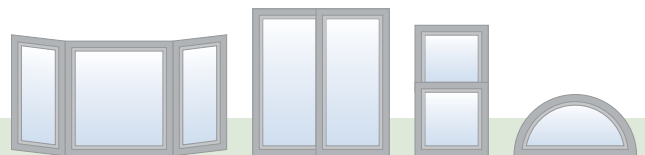
Compare our check list to your own. We think you'll agree, Renewal by Andersen whole window performance offers a complete solution for your window replacement needs.

- ✓ Windows and doors that are NFRC certified and labeled
- ✓ Products that meet or exceed energy efficiency requirements determined by ENERGY STAR® and Green Seal
- ✓ Quality, durable framing material
- ✓ Energy efficient glass options
- ✓ Professional installation
- ✓ Reputable, responsive company
- ✓ Written limited warranty on window and installation\*



\*For a copy of the Renewal by Andersen 20/2/10 year limited warranty, contact a sales representative or visit [www.renewalbyandersen.com](http://www.renewalbyandersen.com).

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For additional information on Renewal by Andersen products and services, please visit our Website 158

[renewalbyandersen.com](http://renewalbyandersen.com)

Reorder RL-2007















4











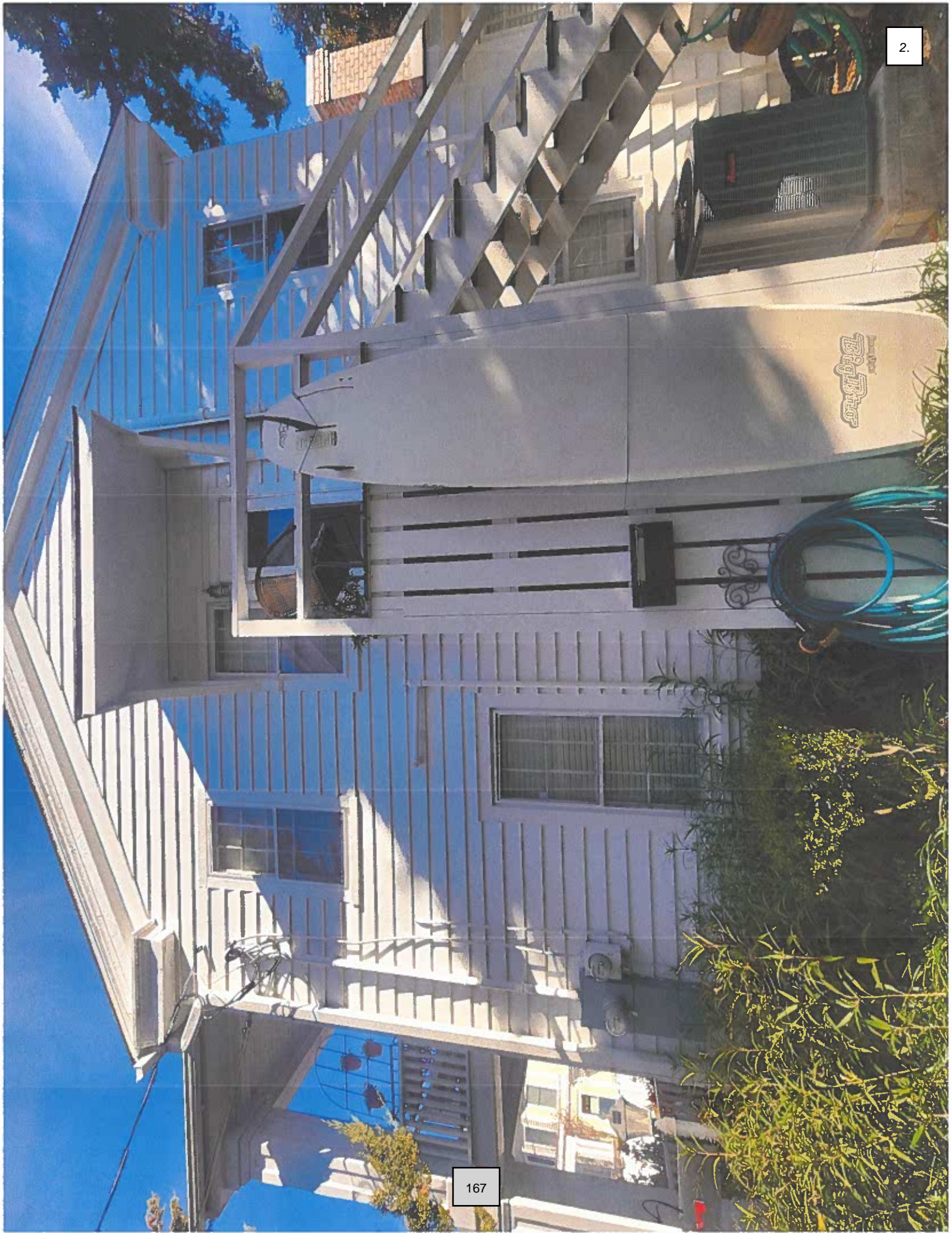


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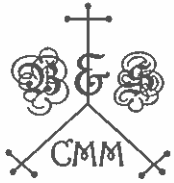




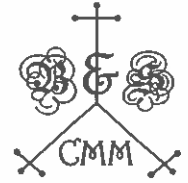








B&S Coastal and Maritime Management  
PO Box 27  
Beaufort NC  
28516  
252-635-7101 / 252-671-0511



## List of Adjoining Property Owners

Pat Castagna  
120 Craven St  
Beaufort NC 28516

118 Craven St  
Fred McCune  
PO Box 1143  
Beaufort NC 28516

123 Craven St  
Richie and Christina  
5207 Webb Ct  
Morehead City NC  
28557

121 Craven St  
Heather Sink  
310 Hedrick St  
Beaufort NC  
28516

Eddie Myers  
131 Middle Ln  
Beaufort NC  
28516

417 Ann St  
Ann St Pre School  
417 Ann St  
Beaufort NC  
28516





**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, January 9, 2024 – 614 Broad Street – Train Depot**

---

**AGENDA CATEGORY:** New Business

**SUBJECT:** Case # 24-03 211 Turner Street - Window Addition

**BRIEF SUMMARY:**

The owner wishes to replace a single window on the south side of the house with two windows.

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP  
**Date:** December 22, 2023  
**Case No.** 24-03

**Request:** Replace a single window on the south side of the house with two windows.  
**Applicant:** Laura Adams  
 211 Turner Street  
 Beaufort, NC 28516

**Property Information:**

**Owners:** Same as Applicant  
**Location:** 211 Turner Street  
**PIN#:** 730617116050000

**Project Information:** According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 211 Turner Street, circa 1883. **House.** 1Yz-Story, 3-bay, side gable Gothic Revival house with 3 projecting gabled wall dormers, 2 interior brick chimneys, and 6/6 sash. The porch projects around the central dormer and has chamfered posts and traditional railing. Not on Gray’s 1882 map, but appears on 1885 Sanborn map with a smaller entrance porch. ( Gray map, SM)

**Proposed work:**

Replace a single window on the south side of the house with two windows.

**Material:**  
 See Attached included as part of Application

**Color:**

## Window and Door Guidelines

6.4.1. Retain and preserve historic windows and doors, including all significant related elements such as frames, sashes, shutters, hardware, old glass, sills, trim and moldings. Documented restoration is allowable.

6.4.2. Repair existing historic windows and doors where possible, rather than replacing entire window or door units. Use techniques such as wood epoxies and wood patches to repair and strengthen deteriorated wood elements. Replace only those elements that cannot be repaired. Reproduction glass is desirable but not required.

6.4.3. Use replacement windows and doors that match the existing historic elements as closely as possible. Wood windows should be replaced with wood windows. If replacement windows or doors are required, consider first replacing only the deteriorated element, such as a single sash or door, rather than the entire frame or unit. Any new replacements shall match the original in all dimensions, materials, and detailing as closely as possible

6.4.7. New windows must match original in overall size and opening area and should have three dimensional muntins with either true divided lights (TDL) or three dimensional grilles on both the interior and exterior sides (SDL). Snap-in grilles or grilles between glass are not appropriate for windows visible from public view.

# Case # 24-03 211 Turner Street - Window Addition





<u>OWNER</u>	<u>AIL_HOUS</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>L_S</u>	<u>MAIL_ZI</u>	<u>MAIL_ZI</u>	<u>MAIL_ADD2</u>
ADAMS,ISAAC ETUX LAURA MCCLUNG CONCORDIA LODGE 11	1315	22ND STREET NW TURNER ST	WASHINGTON	DC		20037	
GRIFFIN,JOHN ETUX ANNA	10217	LOBLEY HILL LANE	RALEIGH	NC		27613	
KRALICK,SHARON ETVIR CHARLES	5770	HARVEST RIDGE ROAD	BATTLEBORO	NC		27809	
MEADOWS,ROBERT K ETUX CAROLYN	210	ORANGE ST	BEAUFORT	NC		28516	
STANCIL,STEVEN ARTHUR	2410	FOXCROFT RD	WILSON	NC		27896	
WILLIS,ADAM DANIEL	2103	HIGHWAY 101	BEAUFORT	NC		28516	
WILSON,ROBERT MANTON L/T	209	TURNER ST	BEAUFORT	NC		28516	

**CERTIFICATE OF APPROPRIATENESS APPLICATION  
FOR PROJECTS WITHIN THE BEAUFORT HISTORIC DISTRICT**



**Instructions:**

Please complete the application below and include all attachments as noted on page 2 of this application along with a **\$250.00 application fee** and return to the Beaufort Town Hall; 701 Front Street or P.O. Box 390, Beaufort, N.C. 28516. Incomplete applications will not be processed and **will be** returned to the applicant. Applications must be deemed complete and accepted before the submittal date. Please contact Town Hall at 252-728-2142 if there are any questions.

**APPLICANT/OWNER INFORMATION**

*Please print!*

Applicant Name: Laura McClung Adams

Applicant Address: 211 Turner Street Beaufort, NC 28516

Business Phone: \_\_\_\_\_ Email/Cell: 202-679-1224, Lmcclung@gmail.com

Property Owner Name: Laura McClung Adams

Address of Property: 211 Turner Street Beaufort, NC 28516

Phone Number: \_\_\_\_\_ Email/Cell: 202-679-1224, Lmcclung@gmail.com

**PROJECT INFORMATION**

Detailed description of the Proposed Project (*please attach additional pages if necessary*):

Replacement of two non-historic windows on the south-facing facade of house.

The single window farthest west on the south-facing side will be replaced with two wood, double-hung windows that match the 2013 John Wood selected (two-over-two) windows currently on the front and front portions of the sides of the house. (Please note this wall is not historic. It was a wall built in the 1950s to enclose a porch.) The smaller single window in the middle of the south-facing side of the house will be replaced with a wood, double hung, two-over-two window in same size and location as existing (in kind).

Estimated Cost of Project: \$ 5,000

Year House Built: 1883

DocuSigned by:  
Laura McClung Adams  
Applicant Signature

12/12/2023  
Date

DocuSigned by:  
Laura McClung Adams  
Property Owner Signature (if different than above)

12/12/2023  
Date

***An application fee of \$250.00, either in cash, money order, or check made payable to the "Town of Beaufort" must accompany this application (a credit or debit card payment can be made in person at Town Hall). The complete application, payment, and supporting material must be received by Town Staff by the posted submittal dates noted on the Historic Preservation's calendar found on the Town's website at [www.beaufortnc.org](http://www.beaufortnc.org). The Commission meets regularly on the first Tuesday of the month unless it is a holiday.***

**OFFICE USE ONLY**

Received by: \_\_\_\_\_

Reviewed for Completeness: \_\_\_\_\_

Date: \_\_\_\_\_

175 Deemed Completed and Accepted: \_\_\_\_\_

## **REQUIRED ATTACHMENTS FOR A CERTIFICATE OF APPROPRIATENESS (COA)**

*Please provide the following along with this checklist form, with the COA application:*

### **1. Items required for ALL projects:**

- A list of all Design Guidelines that apply to the application and a description of how proposed changes are consistent with the *Design Guidelines for the Beaufort Historic District & Landmarks*, which can be found at <https://www.beaufortnc.org/bc-hpc/page/design-guidelines-beaufort-historic-district-landmarks>
- A list of all adjacent property owners (with mailing addresses).
- Photographs of the streetscape, the site, and existing buildings to be impacted.
- A site plan showing dimensions of both existing and proposed conditions.
- A description of all building and/or landscaping materials (such as siding, roofing, windows, doors, signs, planting materials, etc.).

### **2. Items required as applicable to project:**

- A description of any planned demolition.
- An indication of all trees to be replaced and/or removed.
- A landscaping plan indicating major planting materials.
- Exterior paint color sample/color swatch(s) for projects involving any change of exterior paint color(s) only.
- All types of building material samples.
- If a project involves the reconstruction of an earlier feature of a historic structure, documentation of the prior existence of such feature.

### **3. Additional items required (only) for new Signage:**

- A drawing or true likeness of the new sign indicating the dimensions of the sign (and any supporting post or hanging apparatus if applicable). The lettering style and colors of the sign should also be on the drawing or likeness.
- A paint sample/color swatch of all color(s) to be used both on the sign and on the post or hanging apparatus if applicable.

**4.** At least **one set of materials, in color**, that are to be evaluated by the Commission should be submitted with the application. An electronic or digital file of the work should also be submitted. Please contact Town Staff to see what electronic or digital file can be submitted.

**5.** The applicant or a representative for the applicant **must be present at the meeting** for action to be taken on the application. If it is not possible for the applicant or their representative to be present at the assigned meeting, please contact Town Staff as soon as possible.

*A COA is valid for a period of six (6) months and may be renewed for an additional six months via written request to Town Staff from the applicant (please state all reasons why the extension is needed). If work has not begun or a [building permit](#) for the project has not been obtained within the six-month period, the COA is deemed invalid. The COA is considered issued once the Commission approves the application at their meeting.*

*If there are questions regarding what should or should not be included with this application, please contact Town Staff at 252-728-2142 or at [k.garner@beaufortnc.org](mailto:k.garner@beaufortnc.org).*

**Applicable Design Guidelines:**

6.4.3. Use replacement windows and doors that match the existing historic elements as closely as possible. Wood windows should be replaced with wood windows. If replacement windows or doors are required, consider first replacing only the deteriorated element, such as a single sash or door, rather than the entire frame or unit. Any new replacements shall match the original in all dimensions, materials, and detailing as closely as possible.

We are replacing the non-historic window in the south-facing, non-historic wall of the house (originally an unenclosed porch until the 1950's) with two windows that match the historically appropriate windows for the house as determined by John Wood, Regional Supervisor/Restoration Specialist, Eastern Office of the NC Department of Natural & Cultural Resources-State Historic Preservation Office, during the 2013 front exterior restoration. Windows will be pine and painted white. The replacement window size is 32 3/4" X 58 3/4" and they have a two-over-two pane configuration and are double-hung. The entire front facade and the four most front facing side windows were replaced to conform to this configuration in 2013. This work will bring balance to the exterior and needed light to the interior. We will also replace the small middle existing window on this south-facing side of the house with a wood two-over-two paned window with no size or location change (in-kind).

6.4.7. New windows must match original in overall size and opening area and should have three dimensional muntins with either true divided lights (TDL) or three dimensional grilles on both the interior and exterior sides (SDL). Snap-in grilles or grilles between glass are not appropriate for windows visible from public view.

Windows will be more historically accurate to age and style of house than existing. The new windows will be a replica of the windows on the front of the house, which were recreations of the original windows on the house. They will match the dimensions of the windows on the front of the house and have pine three dimensional simulated divided lites on interior and exterior.

6.4.10. New window and door openings shall not alter the historic character of the building or cause damage to historic materials or other significant architectural features. They must be detailed and sized to be compatible with the existing structure.

We believe we are enhancing the historic character with these window updates, as they will be detailed and sized to match the historically accurate windows on the front of the house. No visible historic materials will be damaged or significant architectural features altered. Please also note that the siding on the portion of the south facing side where we are replacing one window with two is hardiplank as this was deemed a non-historic wall by John Wood during the 2013 restoration. (We are not altering original siding.) Window trim will replicate the 2013 windows, as well.



**Adjacent Property Owners of Laura and Ike Adams  
211 Turner Street Beaufort, NC**

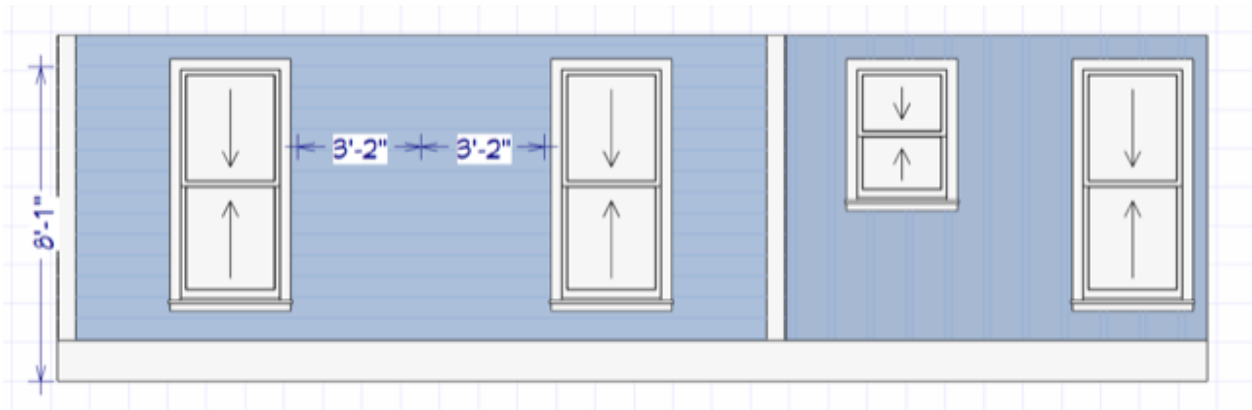
Robert Wilson  
Property and Mailing Address:  
209 Turner Street Beaufort, NC 28516

John and Anna Griffin  
Property Address:  
215 Turner Street Beaufort, NC 28516  
Mailing Address:  
10217 Lobley Hill Lane  
Raleigh, NC 27613

Charles and Sharon Kralick  
Property Address:  
312 Broad Street  
Beaufort, NC 28516  
Mailing Address:  
5770 Harvest Ridge Road  
Battleboro, NC 27809

Steven Stancil  
Property Address:  
308 Broad Street Beaufort, NC 28516  
Mailing Address:  
2410 Foxcroft Rd  
Wilson, NC 27896

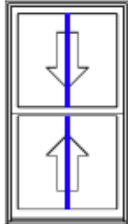
RENDERING OF TWO NEW WINDOWS IN REAR OF SOUTH-FACING FACADE TO MATCH JOHN WOOD SPECIFIED WINDOWS IN FRONT OF HOUSE THAT WERE ADDED IN 2013 FRONT EXTERIOR RESTORATION. PLEASE NOTE THAT JOHN WOOD SPEC'D WINDOWS IN FRONT ARE 32 3/4" X 58 3/4", TWO-OVER-TWO PANE CONFIGURATION, WHICH WE WOULD REPLICATE IN REAR. SMALL MIDDLE WINDOW TO BE REPLACED IN KIND WITH MATCHING TWO-OVER-TWO PANE CONFIGURATION.



## REPLACEMENT WINDOW SPECS: JELD-WEN SITELINE CUSTOM PINE DOUBLE HUNG WINDOWS.

### Double Windows on Rear Section of South-Facing Wall

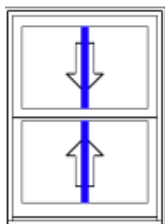
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	Rough Opening : 32 3/4 X 58 3/4	Frame Size : 32 X 58 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Natural Interior, Brickmould, Standard Sill Nosing, Extended Sill Horns 6 Inch, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner Chestnut Bronze Hardware, US National-WDMA/ASTM, PG 50, Insulated SunResist Annealed Glass, Neat, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:28.2w, 25.4h, 4.9 sf U-Factor: 0.29, SHGC: 0.16, VLT: 0.37, Energy Rating: 12.00, CR: 60.00, CPD: JEL-N-885-01851-00001 PEV 2023.3.0.4399/PDV 7.119 (09/06/23)NW			



Viewed from Exterior. Scale: 1/2" =1'

### In Kind Replacement of Smaller Center Window on South-Facing Wall

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 2	Rough Opening : 28 3/4 X 38 3/4	Frame Size : 28 X 38 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Natural Interior, Brickmould, Standard Sill Nosing, Extended Sill Horns 6 Inch, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner Chestnut Bronze Hardware, US National-WDMA/ASTM, PG 50, Insulated SunResist Obscure Define Panel Glass Type Separately, Neat, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Annealed Glass Top, Annealed Glass Btm, Primed Wood SDL, 1 1/8" Putty SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 2 Wide 1 High Top, 2 Wide 1 High Btm, BetterVue Mesh Brilliant White Screen, *Custom-Width*, *Custom-Height*, IGThick=0.726(1/8 / 1/8), Clear Opening:24.2w, 15.4h, 2.6 sf U-Factor: 0.29, SHGC: 0.16, VLT: 0.37, Energy Rating: 12.00, CR: 60.00, CPD: JEL-N-885-01966-00001 PEV 2023.3.0.4399/PDV 7.119 (09/06/23)NW			



Viewed from Exterior. Scale: 1/2" =1'

EXISTING SOUTH FACING FACADE SHOWING ONE EXISTING 34" X 54' WINDOW IN REAR SECTION AND THE SMALLER 28-3/4" X 38-3/4" MIDDLE WINDOW TO BE REPLACED IN KIND. (The two front windows closest to the street (one upper, one lower) are the 2013 John Wood windows to be replicated.)







**Town of Beaufort, NC**

701 Front St. - P.O. Box 390 - Beaufort, N.C. 28516  
252-728-2141 - 252-728-3982 fax - www.beaufortnc.org

**Town of Beaufort Historic Preservation Commission Regular Meeting  
6:00 PM Tuesday, January 9, 2024 – 614 Broad Street – Train Depot**

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**AGENDA CATEGORY:** New Business

**SUBJECT:** Case # 24-05 112 Moore St - Landscaping, Gutters,  
Hardscape Repair

**BRIEF SUMMARY:**

The owner wishes to install landscaping with hardscape repair and add gutters to main structure.

**REQUESTED ACTION:**

Conduct Quasi- Judicial Hearing

**EXPECTED LENGTH OF PRESENTATION:**

10 Minutes

**SUBMITTED BY:**

Kyle Garner

**BUDGET AMENDMENT REQUIRED:**

N/A



# BHPC STAFF REPORT



**To:** BHPC Members  
**From:** Kyle Garner, AICP  
**Date:** December 22, 2023  
**Case No.** 24-05

**Request:** Install landscaping with hardscape repair and add gutters to main structure.

**Applicant:** Charles Haskins  
 1601 Hwy 70  
 Newport, NC 28570

**Property Information:**

**Owners:** Doug & Margaret Abrahams  
**Location:** 112 Moore Street  
**PIN#:** 730617007887000

**Project Information:** According to The Beaufort National Register Historic District Comprehensive Survey by M. Ruth Little, Ph.D. of 1997: 112 Moore Street, circa 1828. **James Noe House.** Somewhat altered, traditional Beaufort-style, 2-story, side gable house is 3 bays wide and has engaged 2-story porch with open-rafters and replacement chamfered posts and plain railing. Plain siding, 9/6 and 6/6 sash.

NC House. c. 1990. Tall, 1 *Side gable*, 4-bay, side gable vernacular building with exterior brick end chimney.

In August 2012, a COA was issued for the addition of fence to the existing fence in the driveway area. Beginning at 4 feet tall and tapering to 5 feet towards the rear of the property.

**Proposed work:**

Install landscaping with hardscape repair and add gutters to main structure.

**Material:**  
 See Attached included as part of Application

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## Roof Guidelines

6.1.6 Install new gutters without damaging or obscuring architectural features. It is inappropriate to replace concealed, built-in gutter systems with modern exposed gutters. Gutters of all materials except copper shall have a painted finish. Half-round gutters are appropriate for most contributing properties. Wood gutters may be appropriate for certain period restoration projects. Replacement of gutters is usually reviewed as a Minor Works item.

## Landscaping Guidelines

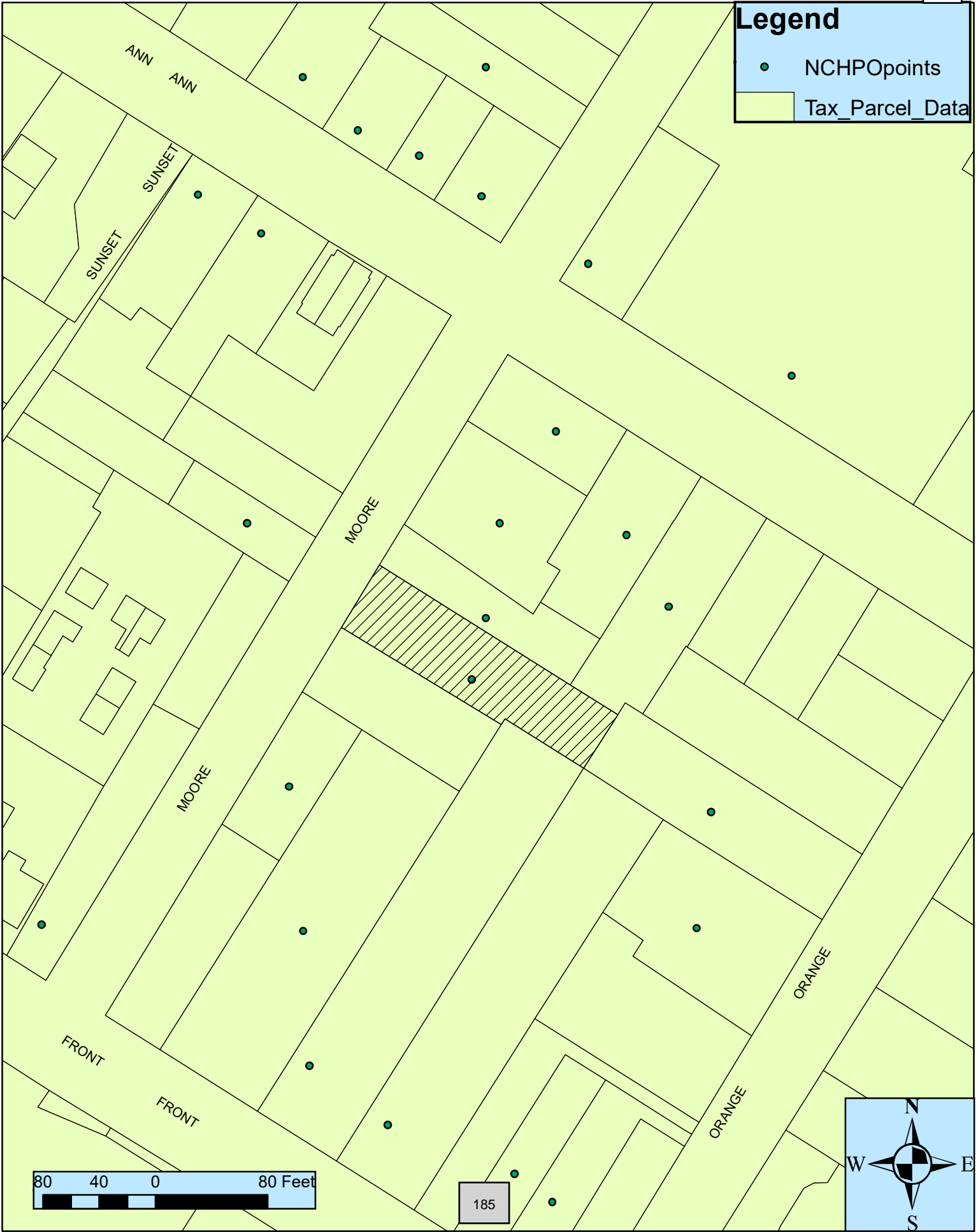
8.1.4. Plant smaller trees species in the planting strips adjacent to public streets only if utility lines or other overhead obstructions exist. Use species such as crape myrtle, cedar, dogwood, redbud, Carolina cherry laurel and sweet bay magnolia.

8.1.5. All new plant materials selected for replanting or new planting in publicly visible areas should complement as much as possible those found on the site and in the surrounding area of the district.

8.1.10. Contemporary edging or border materials, such as exposed landscape timbers, railroad ties, pre-cast concrete, plastic, or other substitute material borders are not appropriate in areas seen from the public view.

8.1.11. Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color and finish to existing historic sidewalks.

# Case # 24-05 112 Moore St - Landscaping, Gutters, Hardscape Repair





<u>OWNER</u>	<u>IL_HOU</u>	<u>MAIL_ST</u>	<u>MAIL_CITY</u>	<u>IL_ST</u> <u>MAIL_ZI</u>	<u>MAIL_ADD2</u>
ABRAMS,DOUGLAS B ETUX MARGARET	5101	HUNTINGWOOD DR	RALEIGH	NC 27506	
ALLEN,DANNY C	6114	DODSONS CROSSROADS	HILLSBOROUGH	NC 27278	
CANDLEWOOD INVESTMENTS LLC			ROCKY MOUNT	NC 27804	PO BOX K
DUNCAN,JOHN N III ETAL	115	MOORE ST	BEAUFORT	NC 28516	
JOHNSON,ZACKARY IAN	206	ANN STREET	BEAUFORT	NC 28516	
JONES,SUSAN O ETVIR ROSS	1820	PEACHTREE STREET NW	ATLANTA	GA 30309	#1912
LARUSSA,MICHELE LYNN	109	COREY BRIDGE ROW	CARY	NC 27513	
MOORE,MICHAEL A ETAL WILLIAM M	113	MOORE STREET	BEAUFORT	NC 28516	
RAJKOVICH LVG TR DT 09/09/1999	110	MOORE STREET	BEAUFORT	NC 28516	

Heritage Designs  
5601 Hwy 70 W  
Newport NC, 28570

112 Moore Street is a standout residence in the downtown area. The below scope of work is intended to open the property's frontal view for the community while restoring the beauty of the original masonry and landscape. Over time drainage issues around the foundation have caused some damage to the homes structure and existing landscape. Per the attached pictures, the plan is to install gutters on the primary residence and direct the water into an inground drainage system channeling the water away from the house's foundation.

Over the last two summers, the accumulation of water from the roof line run off and neighboring driveway's grade has caused a range of diseases on the property's existing landscape. To preserve the healthy heirloom plants, much of the front beds and the right side of the property's plants, shrubs and trees had to be removed. After consulting with neighbors and reviewing their current landscapes the bulk of the foundational shrubs and trees are as follows:

- Podocarpus Pringles
- Indian Hawthorne
- Azalea
- Jasmine
- Yew
- Camelia
- Japanese Maple
- Oak
- Pittosporum
- hydrangea

The proposed plan includes a mix of Podocarpus, Hawthorne, Azalea, Hydrangea, Japanese Maple while incorporating a mix of Iris, Daises for seasonal color, grasses to fill in low areas, space for annual beds and a few conical shaped accent pieces to soften the rise of the house I.e. Taylor Juniper, dwarf Leyland Cypress or Arborvitae. It is recommended to showcase the new beds, refreshed hardscape, lighting and to ensure the health of the larger trees on the city's easement that we remove the crape myrtle that is growing into the canopy of the other trees surrounding it; please see attached photos.

To address the homes deteriorating visible hardscaped paths, Heritage proposes utilizing the Rumbled Mainstreet brick from Pine Hall Block company. The defining characteristics are in the flash, color and tumbled edges that all match the era from which the paths were originally constructed. The path from the stairs to the sidewalk has become unstable and is a safety concern, while the two paths from the road over the city easement and to the sidewalk are rapidly disappearing from years of grade changes and rain. The plan is to go back in with a traditional mortared joint finish.

Name	Address
Michelle La Rossa	114 Moore Street, Beaufort NC 28516
Rod and Kathy Rajkovich	110 Moore Street, Beaufort NC 28516

Neighbors on both sides of the address have been consulted about the project and have no objections.

### **Applicable Landscaping Guideline References**

**8.1.4.**-All trees planted in the public easement will be of shorter species.

**8.1.5.**-Reviewing the totality of downtown as well as the immediate neighbors, the landscape plan will both reflect the community, as well as encompass traits specific to Moore Street. Please see the proposed plant list.

**8.1.7.**-The finished height of the house is right around 26 feet. The landscape plan is designed to soften the rise of the house while bringing some dimension to the low-lying areas and front beds. All installed trees canopies are considered dwarf, all mature heights of ever greens are below 12 feet while the shrubs can be maintained to appropriate sizing.

**8.1.10.**-All border edging will be comprised of the same brick as the paths on property.

**8.1.11.**-Please refer to sample and photos of existing paths and proposed material. The Rumbled Mainstreet block by pine hall matches both in color and composition.

### **Applicable Roof Guidelines**

**6.1.6.**-All precautions will be taken to preserve the integrity of the architectural features. It is determined there are no existing built-in gutter systems and no obstacles to installation along the fascia. The customer has chosen the half round gutter and round downspout.

### **Applicable Demolition Guidelines**

**10.1.1.**-The current state of the exiting hardscape paths is so deteriorated the only option is replacement.

**10.1.2.**-There are no historic elements to document, any that may have existed are unknown.

**10.1.3.**-All existing blocks will be salvaged and stored on pallets, available for donation or documentation.

**10.1.4.**-No heavy equipment will be used during this project; all ground disturbing activities will be kept to a minimum to prevent any unknown archeological resources. All blocks will be preserved.

**10.1.6.** Entire site will be cleaned by the day reducing the impact on the surrounding community. Grading, sod, seed, and proper ground cover will be installed to ensure the aesthetic is complete upon completion of the project.



5101 Huntingwood Drive

Raleigh, NC 27606

December 13, 2023

Kyle Garner  
Planning Director  
Town of Beaufort  
701 Front St.  
Beaufort, NC 28516

Re: 112 Moore Street improvements

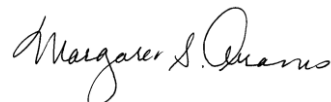
Dear Mr. Garner:

My husband, Doug Abrams, and I own the property at 112 Moore Street, Beaufort. We are working with Charles Haskin of Heritage Landscaping and Design to address some drainage issues and the replacement of deteriorating brick walkways on the property. I know that you have been working with Charles to guide him through the necessary paperwork, etc. for our application for a Certificate of Appropriateness.

I have authorized Charles to make the application on our behalf, and to sign on our behalf if necessary. Please contact me if you have any questions. My cell phone number is 919.906.1159 and my email address is [mabrams@abramslawfirm.com](mailto:mabrams@abramslawfirm.com).

Thank you for your assistance. We look forward to working with you.

Best regards,

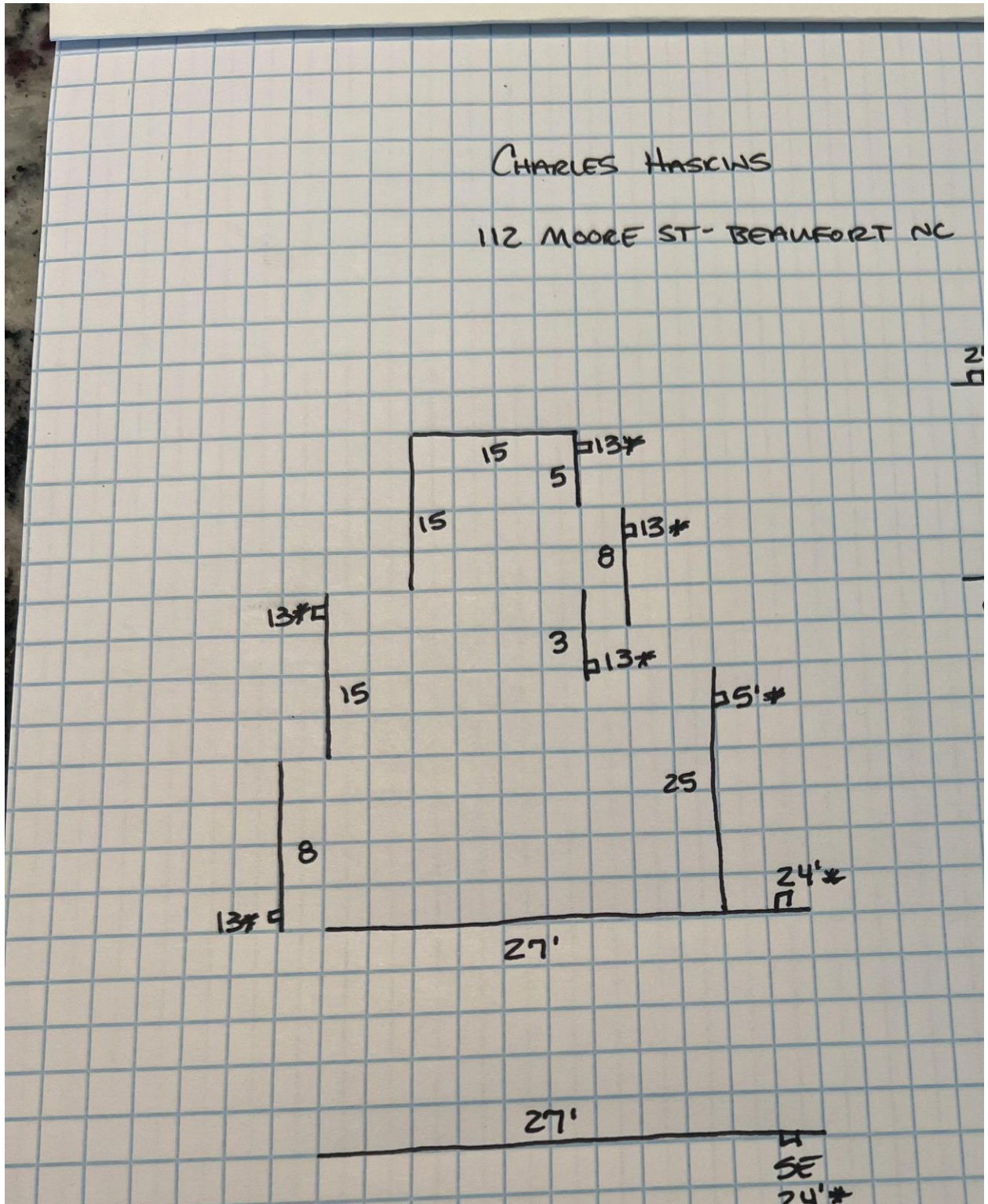


Margaret S. Abrams



Half round gutter with round down spout





Gutter plan for the front residence only





Front walk way from side walk to front porch





Crape Proposed for removal





Left side, front bed





Right side front bed





Right side landscaping install





Path right side on city easement





Left side path from street to side walk