



August 10, 2026 Historic Preservation Commission Meeting Agenda

**August 10, 2026 at 12:00 PM
598 Main Street, Bay St. Louis, MS 39520**

Call to Order

Action Items

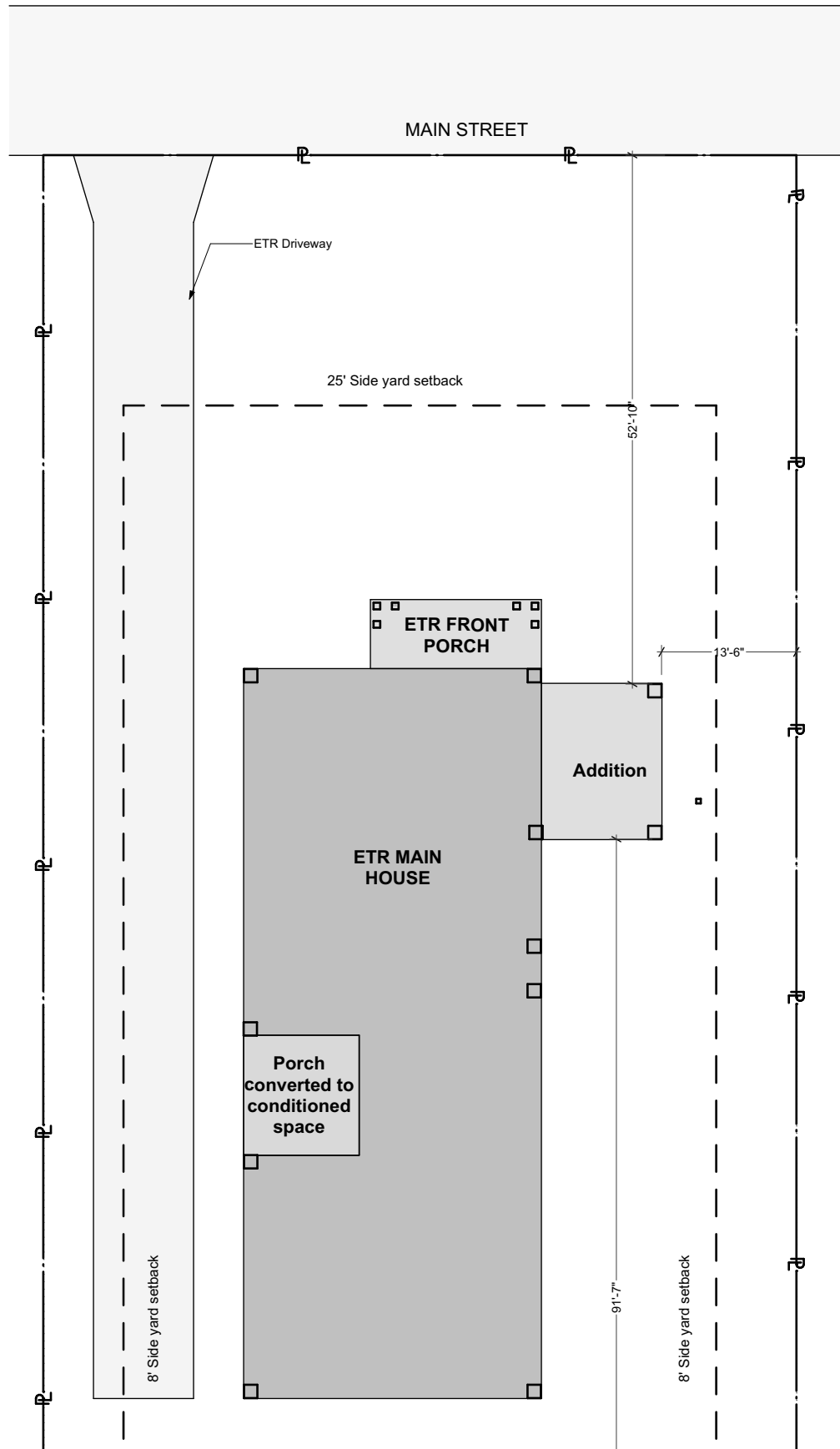
- 1.** Motion to approve the renovations at the property located at 328 Main Street submitted by Watters Architecture, consisting of the removal of the existing side deck and the construction of an addition in its approximate location, with the addition designed to match the existing home in appearance and materials. The project also includes the relocation of an existing window to the front elevation and the conversion of the existing side porch at the rear of the home into heated and cooled living space, eliminating the existing indentation and creating a straightened side wall consistent with the existing structure.
- 2.** Motion to approve the construction of an outdoor pavilion and an in-ground swimming pool at the property located at 355 Main Street, submitted by Betsy and Rea Montjoy, with both the pool and pavilion to be located behind the existing fence. The pavilion roof will match the existing roof of the residence in materials and appearance.

Minutes Approval

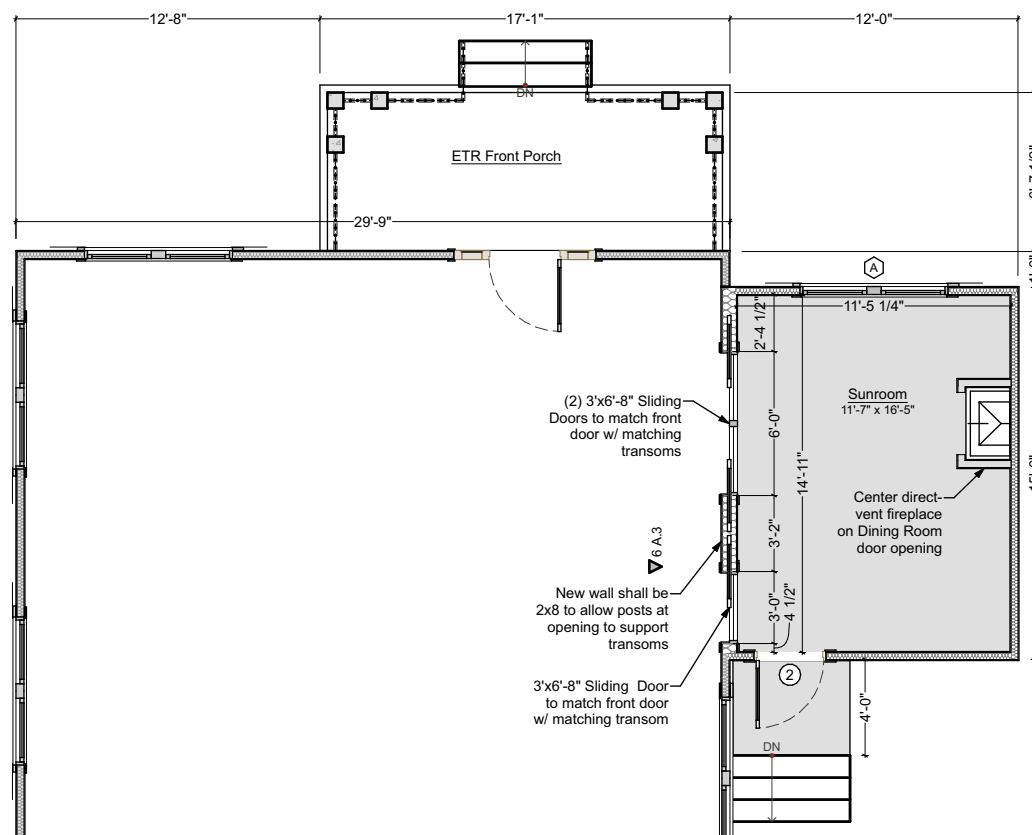
- 3.** Motion to approve minutes of the July 13, 2026, HPC meeting

Adjourn





3 Site Plan
SCALE: 1/16" = 1'-0"



2 Main Level, Partial Floor Plan
SCALE: 1/8" = 1'-0"



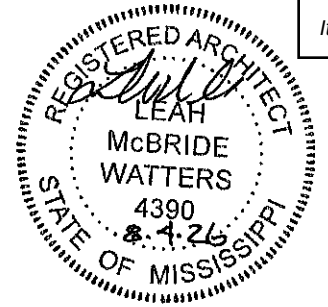
Front Elevation, Proposed



Front Elevation, Existing



1 North Elevation
SCALE: 3/32" = 1'-0"

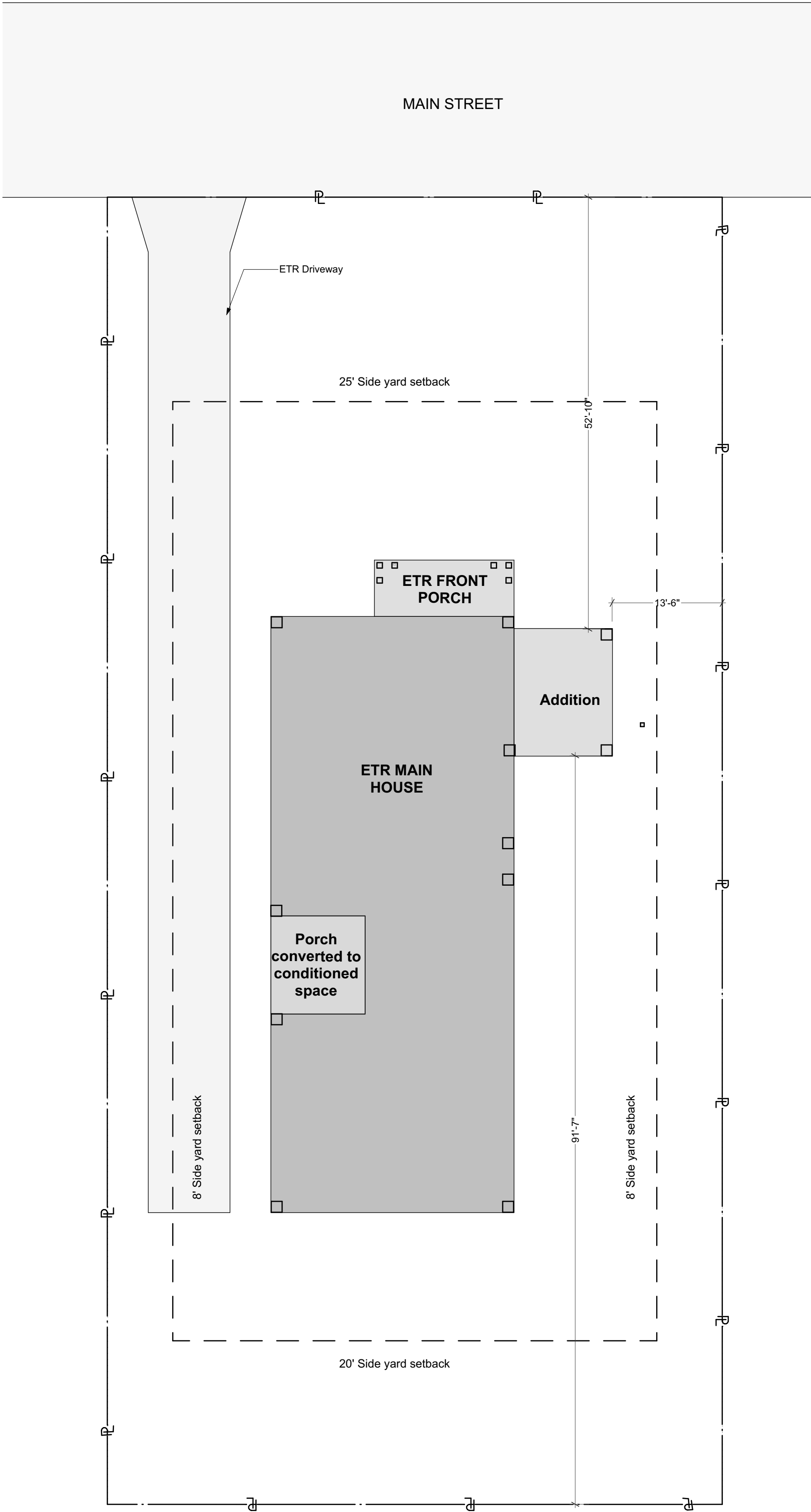


Stuart Residence Addition

328 Main St Bay St. Louis, MS 39520



Project Information		Project Team	Project Areas																																																																																						
Site Address: 328 Main St, Bay St. Louis, MS 39520 Assessor Parcel Number: 149F-0-29-331.002 Zoning: R-2 Setbacks: Side 8', Rear 20', Front 25' Building Height: 28'		Property Owner(s): Robert Stuart 328 Main St. Bay St. Louis, MS 39520 <u>Architect Point-of-Contact</u> Watters Architecture Leah Watters 228.276.9006 leah@wattersarch.com	<table><tr><th colspan="2">Conditioned Space</th></tr><tr><td>Existing First Floor</td><td>2,022.72</td></tr><tr><th colspan="2">Covered Porch</th></tr><tr><td>New Screen Porch</td><td>186.65</td></tr><tr><td>New Side Porch</td><td>144.94</td></tr><tr><td></td><td>2,354.31 ft²</td></tr></table>		Conditioned Space		Existing First Floor	2,022.72	Covered Porch		New Screen Porch	186.65	New Side Porch	144.94		2,354.31 ft²																																																																									
Conditioned Space																																																																																									
Existing First Floor	2,022.72																																																																																								
Covered Porch																																																																																									
New Screen Porch	186.65																																																																																								
New Side Porch	144.94																																																																																								
	2,354.31 ft²																																																																																								
Sheet Index		General Notes		Abbreviations																																																																																					
<table><tr><td>A.1</td><td>Cover Sheet</td></tr><tr><td>A.2</td><td>Demo Plan + Elevations</td></tr><tr><td>A.3</td><td>Proposed Plan + Elevations</td></tr><tr><td>A.4</td><td>Electrical + Structural Plans</td></tr></table>		A.1	Cover Sheet	A.2	Demo Plan + Elevations	A.3	Proposed Plan + Elevations	A.4	Electrical + Structural Plans	1. All work shall conform to all applicable codes and ordinances. 2. Do not scale drawings: use calculated dimensions only. Verify existing "as-built" dimensions as req'd. All dimensions are to face of stud unless noted otherwise. 3. Verify all rough-in dimensions and locations for equipment, fixtures etc. Provide all blocking, buck-outs, backing and jacks required for installation. 4. All wood in contact with concrete to be pressure treated. 5. All flashing to be galvanized, galvalume or factory finish to be approved by architect and owner. 6. Contractor shall verify all existing conditions prior to initiating any portion of the work. 7. Provide all protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect components to remain. 8. Stair and guardrail openings to be less than 4". 9. All framing to be properly caulked, sealed, gasketed or otherwise treated to minimize air infiltration prior to sheathing and finishing.		<table><tr><td>AFF</td><td>ABOVE FINISH FLOOR</td></tr><tr><td>AFS</td><td>ABOVE FINISH SLAB</td></tr><tr><td>ALUM</td><td>ALUMINUM</td></tr><tr><td>BFE</td><td>BASE FLOOD ELEVATION</td></tr><tr><td>B.O.</td><td>BOTTOM OF</td></tr><tr><td>B/T</td><td>BETWEEN</td></tr><tr><td>C.O.</td><td>CASED OPENING</td></tr><tr><td>CL</td><td>CLOSET</td></tr><tr><td>CLG</td><td>CEILING</td></tr><tr><td>CONC</td><td>CONCRETE</td></tr><tr><td>DB</td><td>DROPPED BEAM</td></tr><tr><td>DP</td><td>DESIGN PRESSURE</td></tr><tr><td>DS</td><td>DOWN SPOUT</td></tr><tr><td>DTD</td><td>DUSK TO DAWN</td></tr><tr><td>EJ</td><td>EXPANSION JOINT</td></tr><tr><td>ETR</td><td>EXISTING TO REMAIN</td></tr><tr><td>EXG</td><td>EXISTING</td></tr><tr><td>F.O.</td><td>FACE OF</td></tr><tr><td>F.C.</td><td>FIBER CEMENT</td></tr><tr><td>GB</td><td>GYPSUM BOARD</td></tr><tr><td>GFCI</td><td>GROUND FAULT CIRCUIT INTERRUPTER</td></tr><tr><td>HVAC</td><td>HEATING, VENTILATION, & AIR CONDITIONING</td></tr><tr><td>HT</td><td>HEIGHT</td></tr><tr><td>MAX</td><td>MAXIMUM</td></tr><tr><td>MIN</td><td>MINIMUM</td></tr><tr><td>O.C.</td><td>ON CENTER</td></tr><tr><td>OF</td><td>OWNER FURNISHED</td></tr><tr><td>O.H.</td><td>OVERHANG</td></tr><tr><td>PT</td><td>PRESSURE TREATED</td></tr><tr><td>RO</td><td>ROUGH OPENING</td></tr><tr><td>SF</td><td>SQUARE FEET</td></tr><tr><td>STL</td><td>STEEL</td></tr><tr><td>T.O.</td><td>TOP OF</td></tr><tr><td>TYP</td><td>TYPICAL</td></tr><tr><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr><tr><td>WD</td><td>WOOD</td></tr><tr><td>WH</td><td>WATER HEATER</td></tr><tr><td>VIF</td><td>VERIFY IN FIELD</td></tr></table>		AFF	ABOVE FINISH FLOOR	AFS	ABOVE FINISH SLAB	ALUM	ALUMINUM	BFE	BASE FLOOD ELEVATION	B.O.	BOTTOM OF	B/T	BETWEEN	C.O.	CASED OPENING	CL	CLOSET	CLG	CEILING	CONC	CONCRETE	DB	DROPPED BEAM	DP	DESIGN PRESSURE	DS	DOWN SPOUT	DTD	DUSK TO DAWN	EJ	EXPANSION JOINT	ETR	EXISTING TO REMAIN	EXG	EXISTING	F.O.	FACE OF	F.C.	FIBER CEMENT	GB	GYPSUM BOARD	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	HT	HEIGHT	MAX	MAXIMUM	MIN	MINIMUM	O.C.	ON CENTER	OF	OWNER FURNISHED	O.H.	OVERHANG	PT	PRESSURE TREATED	RO	ROUGH OPENING	SF	SQUARE FEET	STL	STEEL	T.O.	TOP OF	TYP	TYPICAL	UNO	UNLESS NOTED OTHERWISE	WD	WOOD	WH	WATER HEATER	VIF	VERIFY IN FIELD
A.1	Cover Sheet																																																																																								
A.2	Demo Plan + Elevations																																																																																								
A.3	Proposed Plan + Elevations																																																																																								
A.4	Electrical + Structural Plans																																																																																								
AFF	ABOVE FINISH FLOOR																																																																																								
AFS	ABOVE FINISH SLAB																																																																																								
ALUM	ALUMINUM																																																																																								
BFE	BASE FLOOD ELEVATION																																																																																								
B.O.	BOTTOM OF																																																																																								
B/T	BETWEEN																																																																																								
C.O.	CASED OPENING																																																																																								
CL	CLOSET																																																																																								
CLG	CEILING																																																																																								
CONC	CONCRETE																																																																																								
DB	DROPPED BEAM																																																																																								
DP	DESIGN PRESSURE																																																																																								
DS	DOWN SPOUT																																																																																								
DTD	DUSK TO DAWN																																																																																								
EJ	EXPANSION JOINT																																																																																								
ETR	EXISTING TO REMAIN																																																																																								
EXG	EXISTING																																																																																								
F.O.	FACE OF																																																																																								
F.C.	FIBER CEMENT																																																																																								
GB	GYPSUM BOARD																																																																																								
GFCI	GROUND FAULT CIRCUIT INTERRUPTER																																																																																								
HVAC	HEATING, VENTILATION, & AIR CONDITIONING																																																																																								
HT	HEIGHT																																																																																								
MAX	MAXIMUM																																																																																								
MIN	MINIMUM																																																																																								
O.C.	ON CENTER																																																																																								
OF	OWNER FURNISHED																																																																																								
O.H.	OVERHANG																																																																																								
PT	PRESSURE TREATED																																																																																								
RO	ROUGH OPENING																																																																																								
SF	SQUARE FEET																																																																																								
STL	STEEL																																																																																								
T.O.	TOP OF																																																																																								
TYP	TYPICAL																																																																																								
UNO	UNLESS NOTED OTHERWISE																																																																																								
WD	WOOD																																																																																								
WH	WATER HEATER																																																																																								
VIF	VERIFY IN FIELD																																																																																								
Non-Negotiable Project Specifications																																																																																									
FRAMING	Provide sill-seal below framing. Seal the sill-plate to the foundation. Provide joist tape @ tops of all decking/porch locations.																																																																																								
BOTTOM OF OSB	Seal bottom of OSB to slab with liquid flashing or Tremco ExoAir 110AT																																																																																								
VAPOR BARRIER	Tape seams of Zip. Lap Zip sheathing per manufacture specifications.																																																																																								
COMPLETE AIR BARRIER	Provide a complete air barrier of exterior envelope. Seal walls from foundation to bottom of roof.																																																																																								
WINDOWS	Provide flashing pan per manufacture specs Tape sides of windows Lap house-wrap over top of window; tape Do not tape bottom of window It is ideal practice to provide a wind skirt where a strip of house wrap laps over lap of siding below.																																																																																								
DOORS	Provide sill pan with side- and back-dam that drains to outdoors Seal jams and head similar to windows. Provide head flashing																																																																																								
KICK-OUT FLASHING	Provide kick-out flashing at all wall-to-roof intersections																																																																																								
ROOF FLASHING	Provide step-flashing at roof-to-wall transition Tape top edge of roof-to-wall flashing to wall. Lap house wrap over taped flashing Provide rake trim to enable future replacement of flashing																																																																																								
PENETRATIONS	Wall penetrations shall be taped with flexible tape. Provide through wall flashing boot as applicable.																																																																																								
LEDGER	Ledger shall have continuous house wrap behind and shall have taped flashing above Ledger shall be installed on 1/4" rubber washers to prevent trapped water																																																																																								
FIBER CEMENT SIDING	Best practice is to install siding on furring to allow air movement Simple furring: sill seal @ 16" o.c vertically																																																																																								

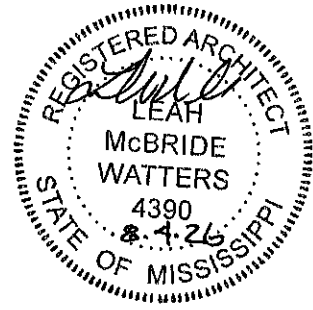


3 Site Plan
SCALE: 3/32" = 1'-0"

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© 2026 - Watters Architecture

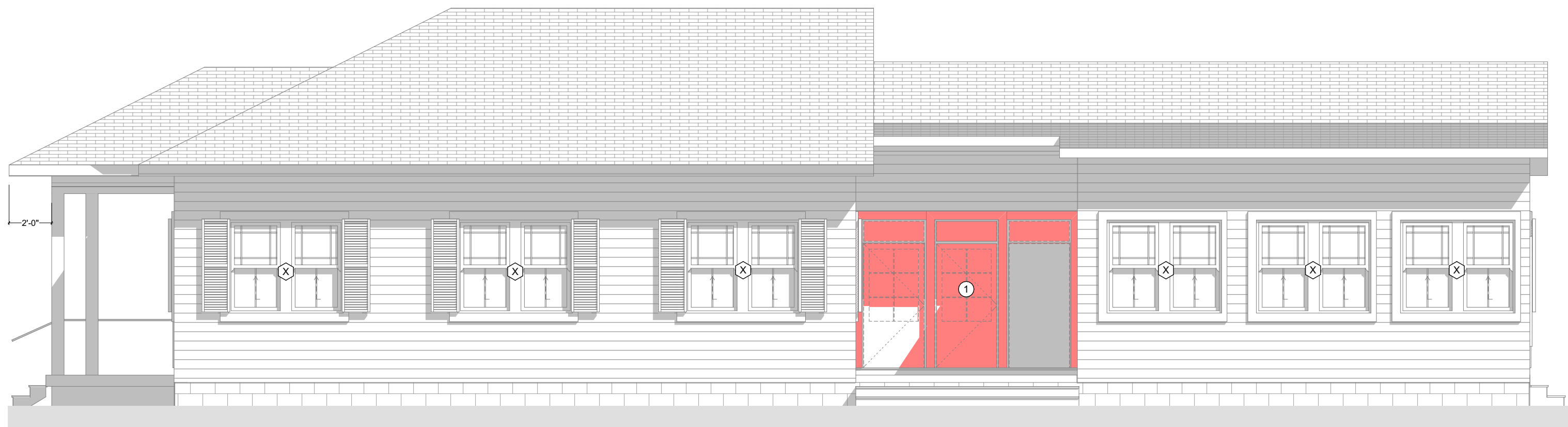




5 South Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



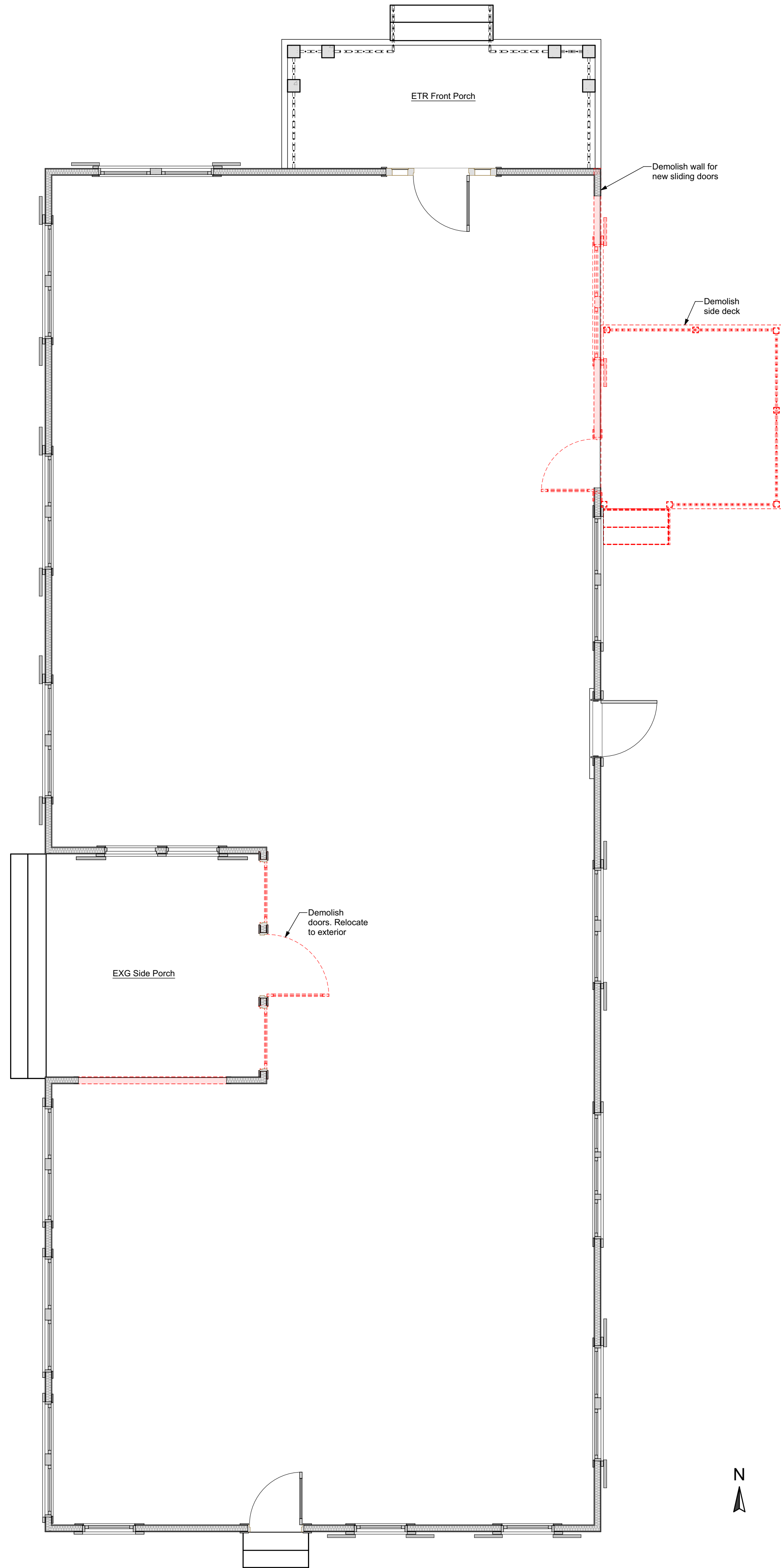
4 North Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



3 East Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



2 West Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



1 Demolition Floor Plan
SCALE: 1/4" = 1'-0"



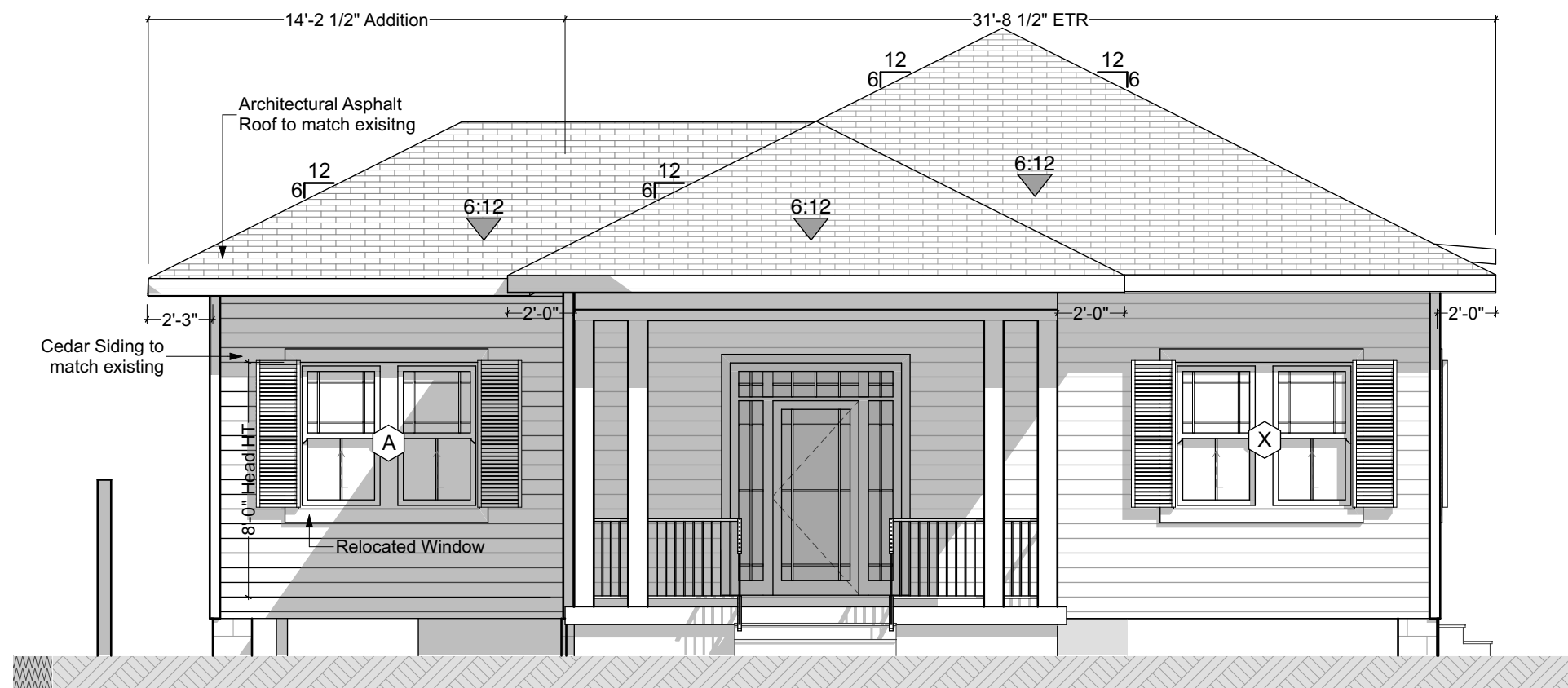
4 West Elevation
SCALE: 3/16" = 1'-0"



3 South Elevation
SCALE: 3/16" = 1'-0"



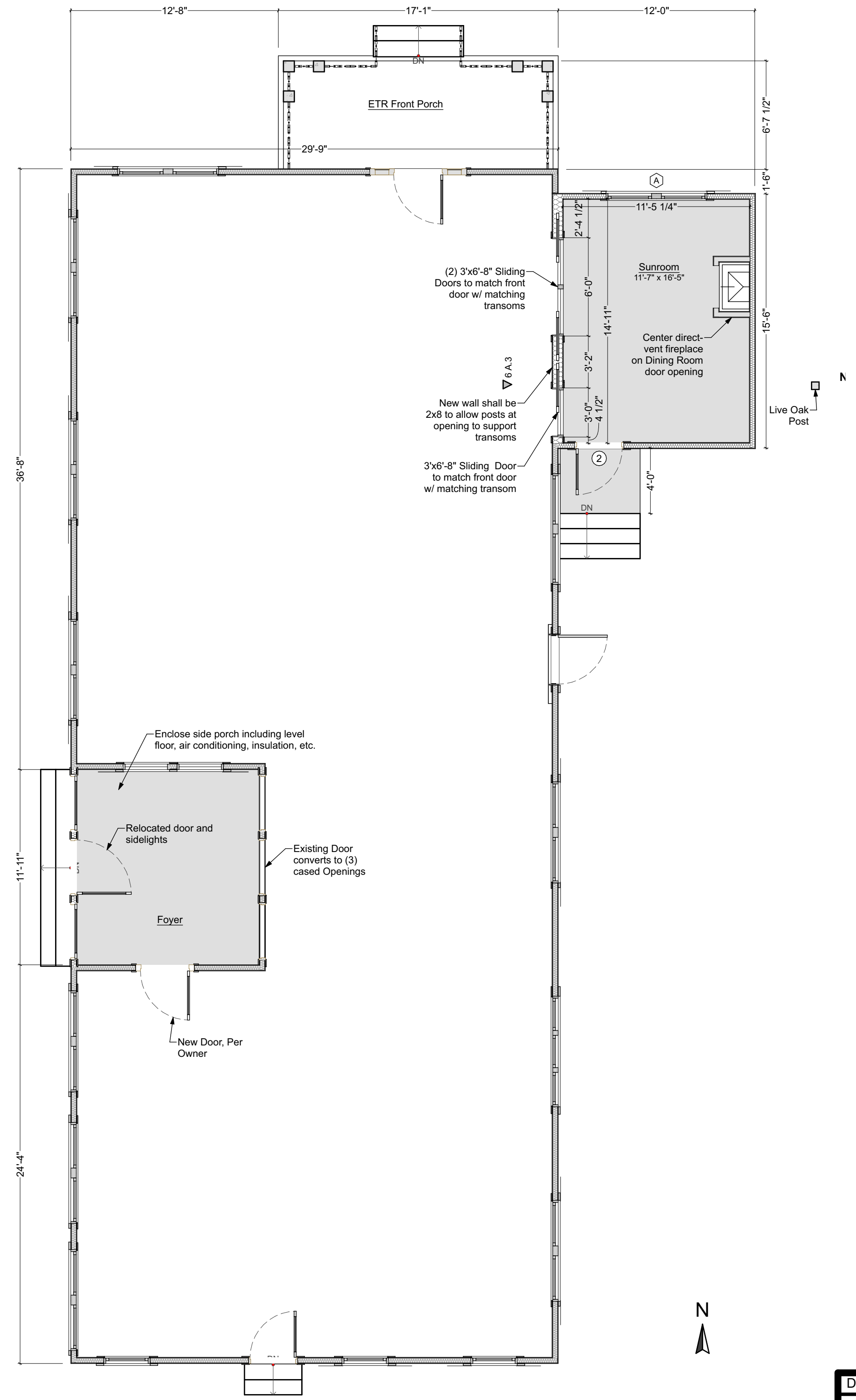
2 East Elevation
SCALE: 3/16" = 1'-0"



1 North Elevation
SCALE: 3/16" = 1'-0"



6 New Wall
SCALE: 3/8" = 1'-0"



5 Main Level
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

- Duplex Floor
-

SYMBOL LEGEND

- Recessed Fixture
- Surface Mounted Ceiling Fixture
 - D - Decorative
 - P - Pendant
 - C - Chandelier
 - F - Flush Mount
- Surface Mounted Wall Fixture
 - BB - Bath Bar
 - WS - Wall Sconce
- Surface Mounted 4' LED Shop Light
- Ceiling Fan (Light Kit TBD by Owner)
- UC Under LED Cabinet Light
- Smoke Detector
- Door Bell
- Thermostat
- Flood Light
- Lantern (Elec. or Gas as noted)

LIGHTING LEGEND

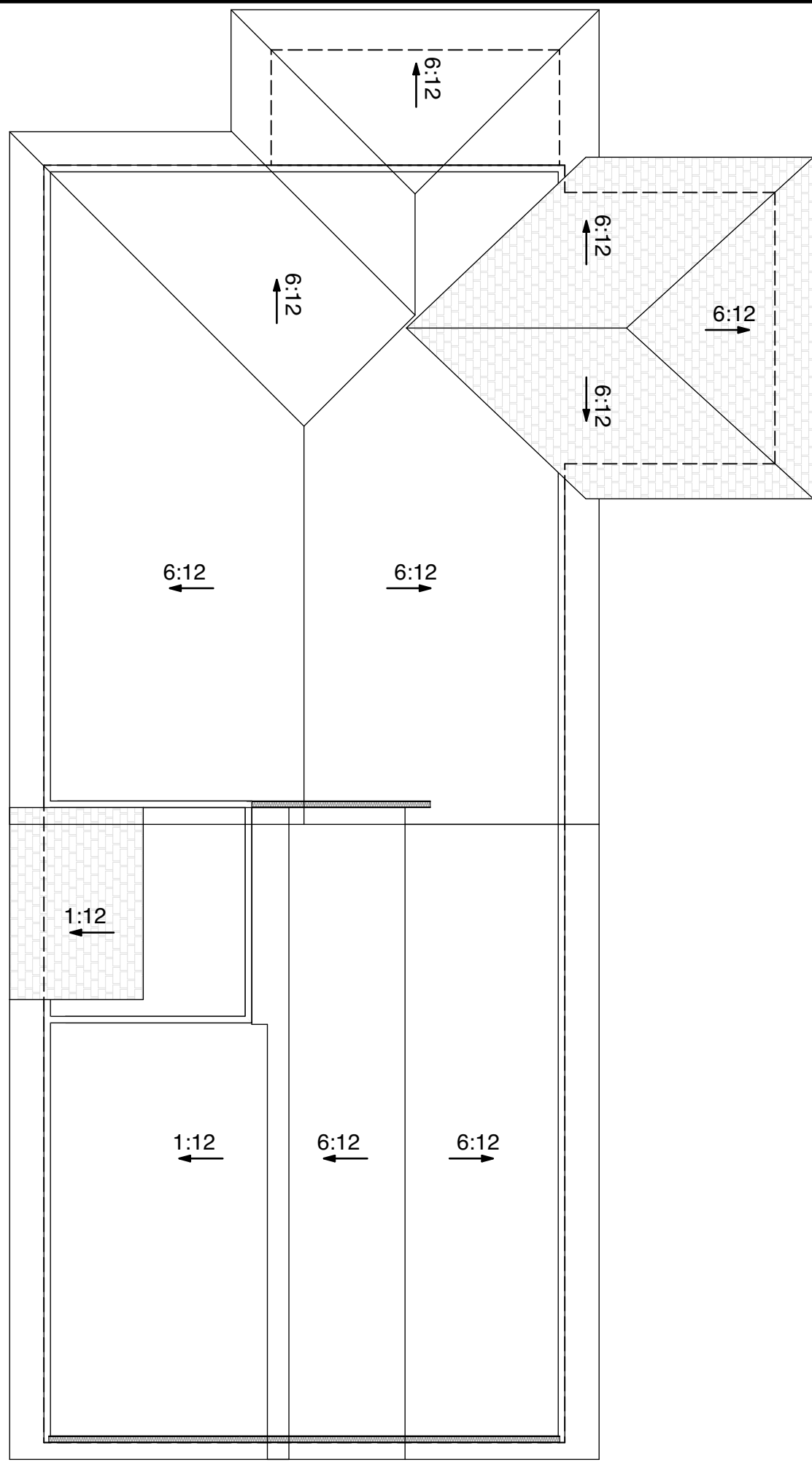
- Switch w/ dimmer (Toggle style switch)
- 3-way Switch
- Timer Switch
- Smart Switch
- Motion Switch

FIXTURE LEGEND

- INTERIOR 4" ULTRA THIN WAFER W/ SLIM BAFFELS (CANLESS); COLOR SELECTABLE (2500K – 3000K); 90+CRI Recommended Brand: Commercial Electric, on account of a 1.5" recess
- VENT LIGHT Aero Pure low profile fan in recessed light w/ round trim. (CFM TBD on size of space.)
- SLOPED CEILING 4" ULTRA THIN WAFER W/ GIMBAL/EYEBALL TRIM (CANLESS); COLOR SELECTABLE (2500K – 3000K); 90+CRI
- EXTERIOR 4" ULTRA THIN WAFER, 3000K, EXTERIOR RATED TRIM (Color TBD in field.)
Note: Ensure tight seal for termites by selecting exterior grade w/ foam gasket.

ELECTRICAL NOTES

- GFCI RECEPTACLES IN ALL WET AREAS
- EACH BED ROOM SHALL INCLUDE ONE HARD-WIRED INTERNET & CABLE CONNECTION AT 56" AFF, U.N.O.
- PROVIDE RECEPTACLES IN SOFFIT AS NOTED
- EACH FIRST FLOOR OPERABLE WINDOW AND DOOR SHALL BE PRE-WIRED FOR SECURITY SYSTEM
- THERMOSTAT SHALL BE SMART, PROGRAMMABLE
- MOUNTING HEIGHTS: TV AT 56" AFF SWITCHES 48" AFF TO TOP OF BOX RECEPTACLES 18" AFF TO TOP OF BOX COUNTERS 40"
- PROVIDE HOUSING FOR SLOPING CEILING (as required in MASTER BEDROOM, LIVING ROOM & LOFT)
- PROVIDE COUNTER TOP AIR SWITCH AT DISPOSAL
- SWITCHES SHALL BE DIMMABLE IN LIVING / DINNING / KITCHEN, LOUNGE AND ALL BEDROOMS.
- ALL LIGHT FIXTURES SHALL BE LED U.N.O.
- PROVIDE POWER FOR AC IN ATTIC.
- PROVIDE SERVICE LIGHTS W/ SWITCH NEXT TO ATTIC ACCESS.



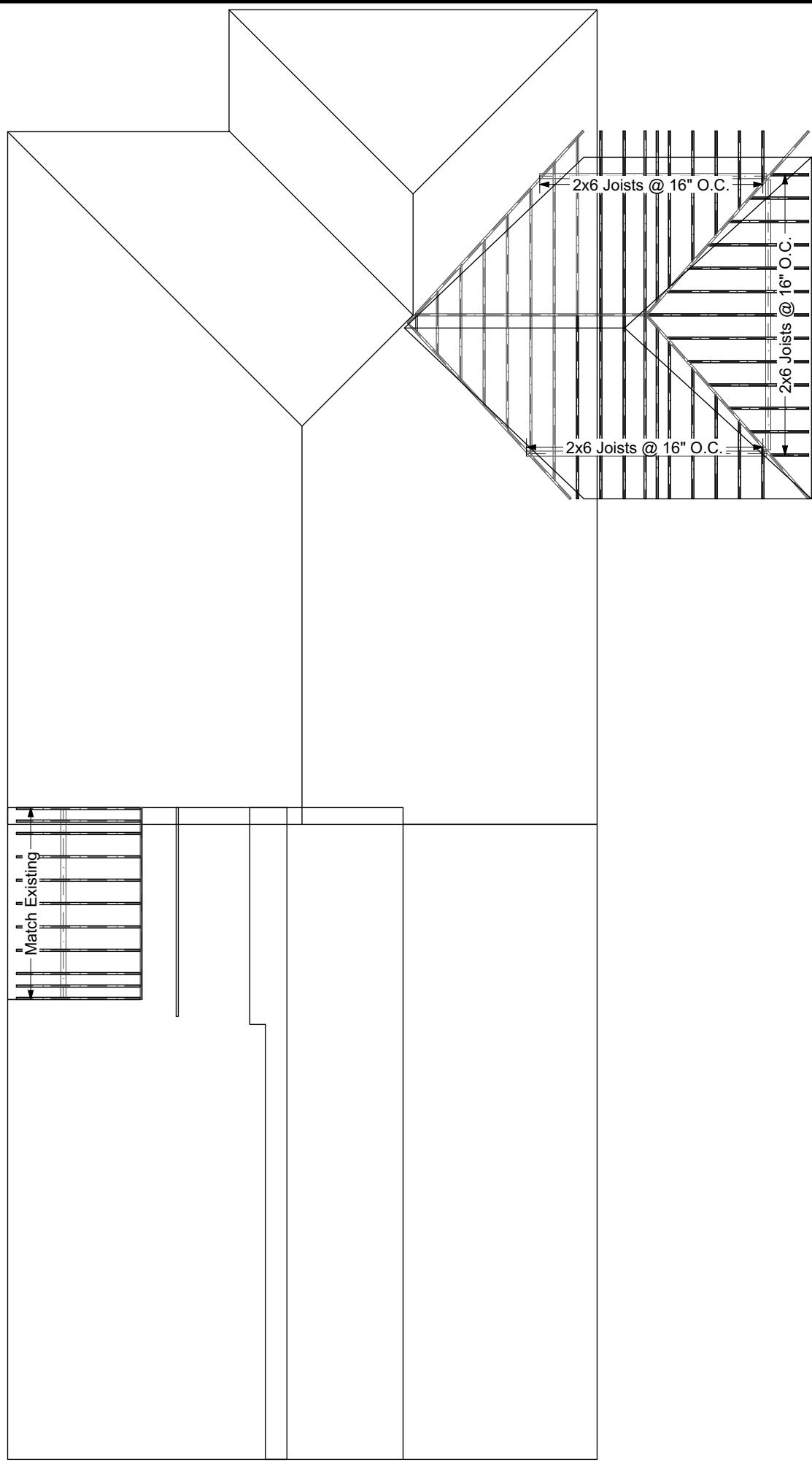
5 Roof Plan
SCALE: 1/8" = 1'-0"

ROOF & FRAMING NOTES:

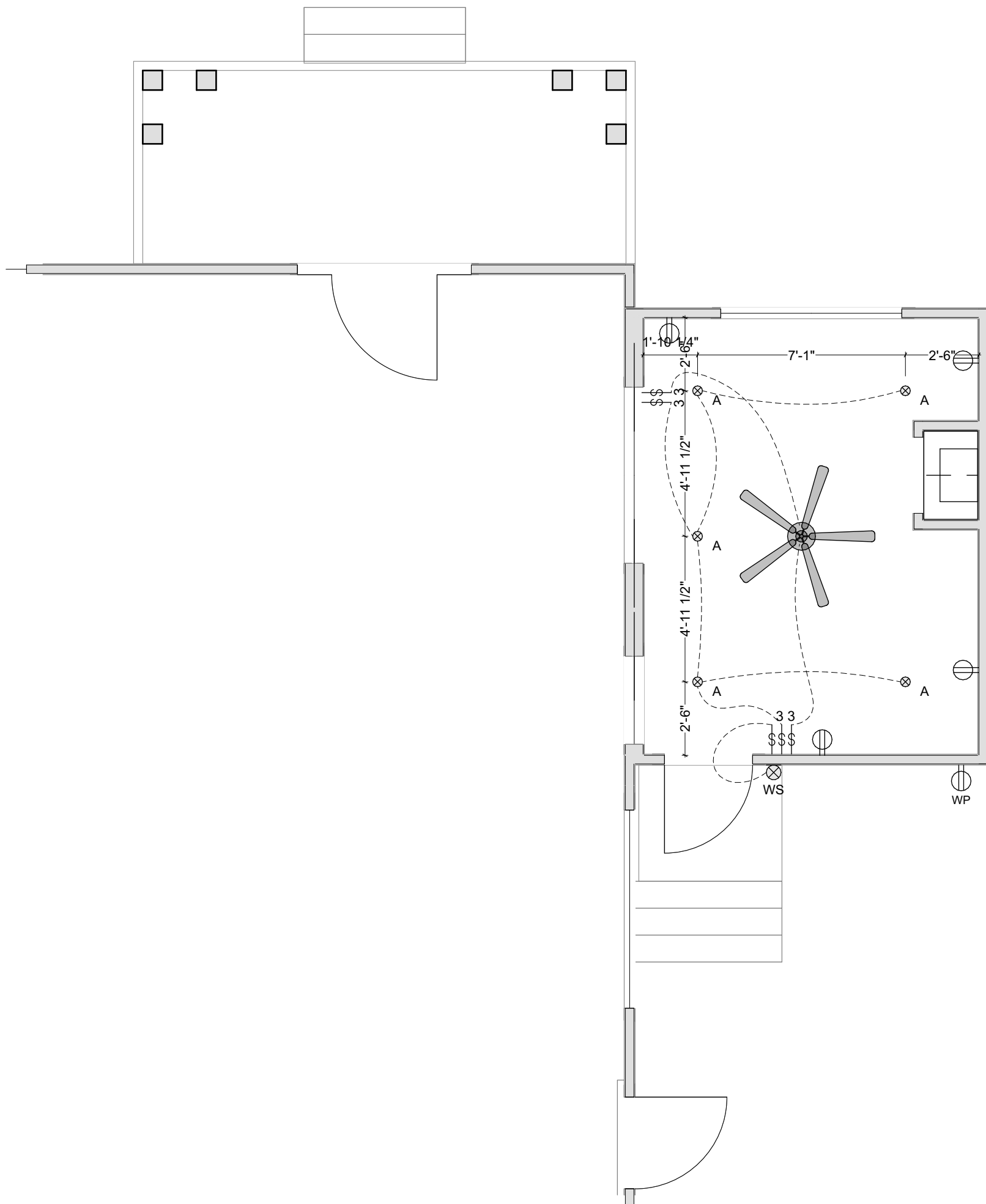
- MULTIPLE 2X12'S SHALL BE FASTENED TOGETHER WITH (4) RING-SHANK NAILS, VERTICALLY 16" O.C. (ALTERNATE SIDES OF (3) 2X12 BEAMS)
- INTERIOR WALLS PARALLEL TO JOIST SHALL BE SUPPORTED BY BRIDGING OR DOUBLED JOISTS
- WHERE OUTSIDE WALL ALIGNS WITH RIM JOIST, LAP SHEATHING TO BOTTOM OF JOIST & OVER BEAM IN LIEU OF HURRICANE STRAPS
- PORCH BEAMS SHALL HAVE 18" SPACERS @ 16" O.C. BETWEEN MEMBERS TO PREVENT ROT FROM TRAPPED WATER.
- PLUMBING VENT STACK SHALL BE LOCATED ON BACK SIDE OF MAIN ROOF.
- EVERY RAFTER SHALL BE STRAPPED TO DOUBLED TOP PLATE, WHICH SHALL BE STRAPPED TO STUDS 32" O.C.

Ceiling Joist Notes

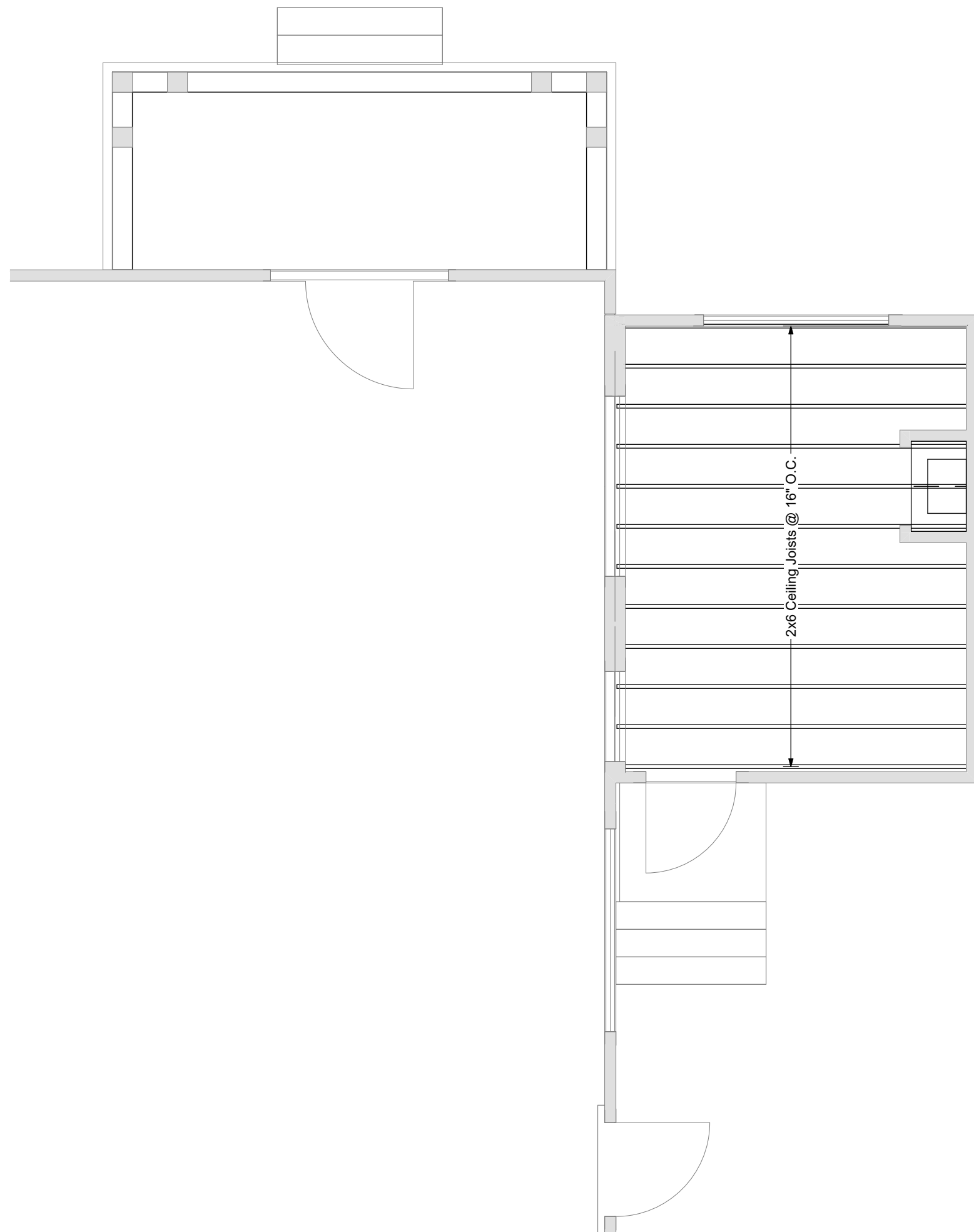
- Ceiling Height shall be 10'-0" above U.N.O.
- All ceiling joists shall be 2x6 U.N.O.
- Taper Cuts at the End of Ceiling Joist Shall not exceed 1'-3/8" on 2x6 Joists & 1'7/8" on 2x8 Joists. (Depth/4)
- Overlap and Face Nail all Ceiling Joist w/ Subsequent Joist to Form a Continuous Rafter Tie.
- LVLs shall be Installed per Manuf. Specs



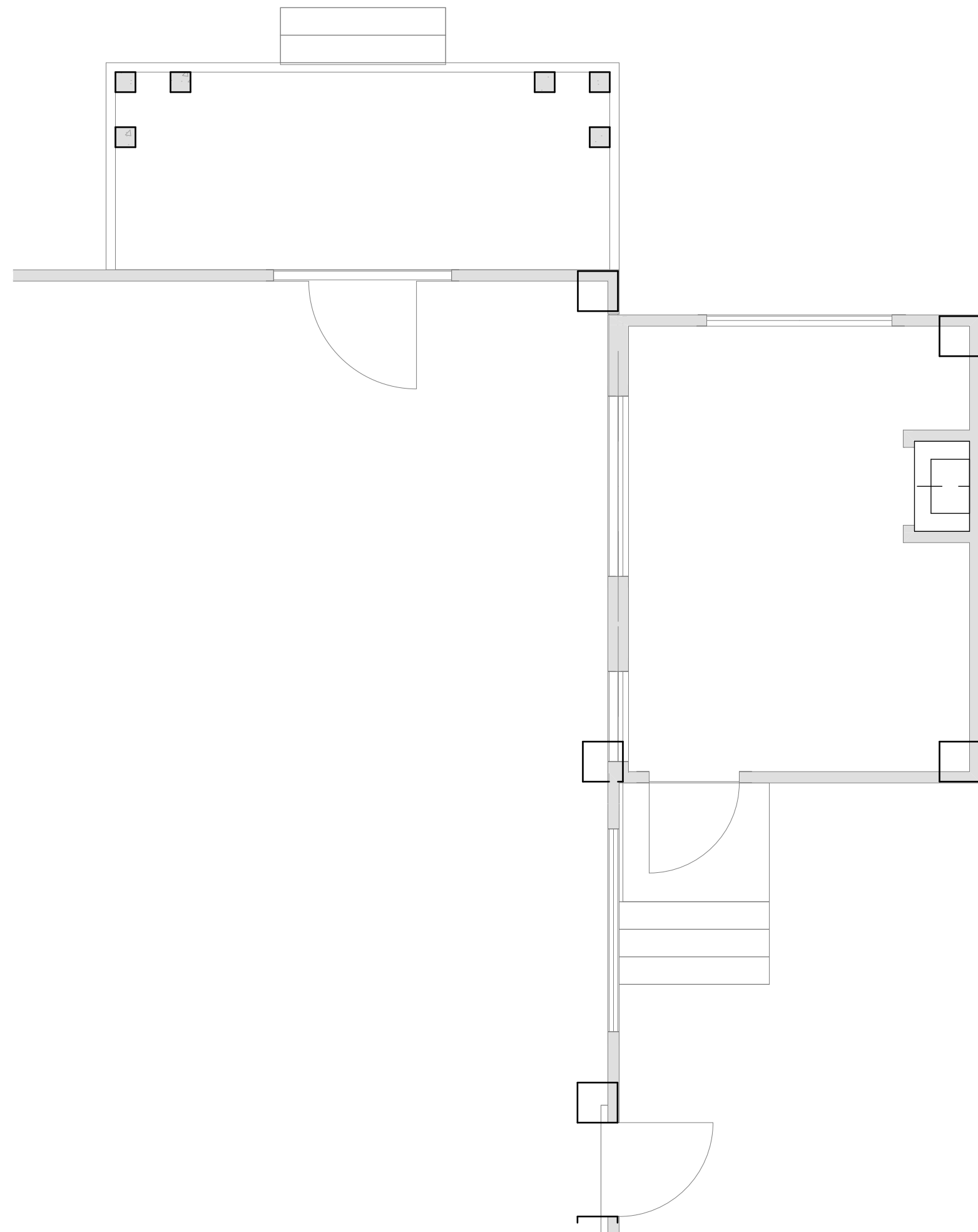
4 Roof Framing Plan
SCALE: 1/8" = 1'-0"



3 Electrical Plan - Main Level
SCALE: 1/4" = 1'-0"



6 Ceiling Framing Plan
SCALE: 1/4" = 1'-0"



1 Foundation Plan
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

ALL MEANS OF EGRESS WINDOWS MUST COMPLY WITH SECTION R-310.2 OF THE 2018 IRC

ALL EXTERIOR WINDOWS/OPENINGS MUST COMPLY WITH SECTION R-301.2.1.2 OF THE 2018 IRC

FACILITY BUILT FIREPLACES SHALL BE LISTED IN ACCORDANCE WITH THE UL 127 AS PER ARTICLE R1004.1 OF THE 2015 IRC

WINDOWS IN HAZARDOUS LOCATIONS (OVER BATHTUBS) MUST BE TEMPERED AND COMPLY WITH ARTICLE R308.4 OF THE 2015 IRC

RESIDENCE MUST COMPLY WITH FOLLOWING INSULATION REQUIREMENTS AS PER TABLE N1102.1 OF THE 2015 IRC.

CEILINGS: R-30 MIN, WALLS: R-13 MIN, FLOORS: R-11.

FENESTRATION U-FACTOR (.75)

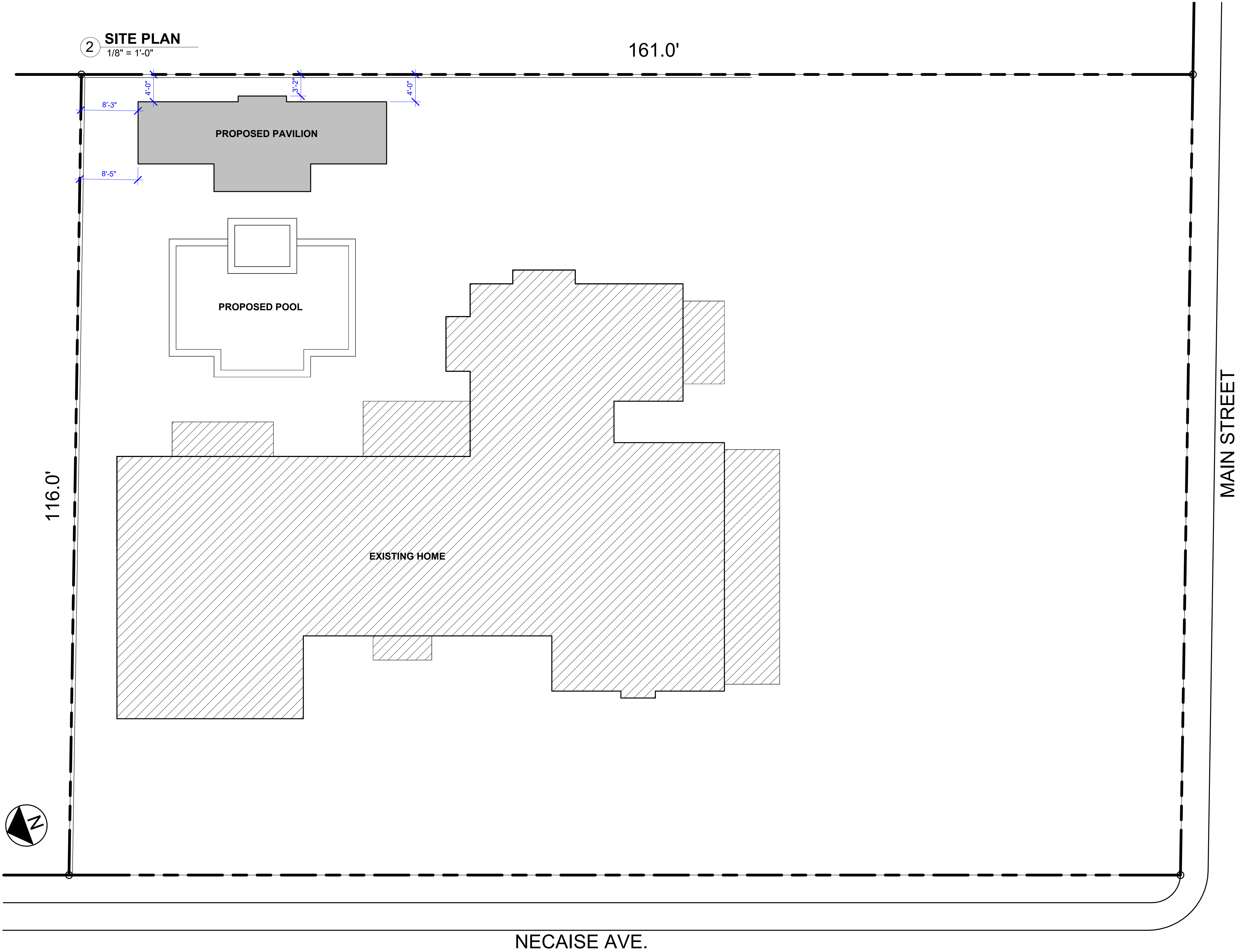
SOLAR HEAT GAIN COEFFICIENT (.40)

NEED "CITY STAMPED" APPROVED PLANS ON SITE FOR ALL INSPECTIONS

NEED PROOF OF TERMITE TREATMENT BEFORE SLAB AND FOOTING INSPECTION

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE, JOBSITE CLEANUP, STREET CLEANING, CONSTRUCTION ENTRANCE AND SILT FENCING WHERE REQUIRED ON A DAILY BASIS

MUST CALL FOR STRAPPING AND OR CLIP INSPECTIONS BEFORE CLAD COVERING



504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>

NOTES: © BENFATTI CONSTRUCTION LLC 2023

NO REPRODUCTION OR OTHER USE OF THIS
DRAWING OR ITS CONTENTS IS PERMITTED
WITHOUT WRITTEN CONSENT OF LEGAL OWNER.

THESE PLANS HAVE BEEN PREPARED TO THE
BEST OF OUR ABILITIES. HOWEVER IT IS THE
RESPONSIBILITY OF THE BUILDING CONTRACTOR
TO VERIFY THEIR ACCURACY

MONTJOY PAVILION

355 MAIN ST., BSL, MS 39520

BETSY MONTJOY

REVISIONS

NO.	DESCRIPTION	DATE

MONTJOY PAVILION

SITE

LIVING AREA:

-

UNDER BEAM:

366 SQFT

1.1

SCALE:

1/8" = 1'-0"

DRWN BY:

COLT LEE

DATE:

07/24/2026

GENERAL NOTES:

ALL MEANS OF EGRESS WINDOWS MUST COMPLY WITH SECTION R-310.2 OF THE 2018 IRC

ALL EXTERIOR WINDOWS/OPENINGS MUST COMPLY WITH SECTION R-301.2.1.2 OF THE 2018 IRC

FACTORY BUILT FIREPLACES SHALL BE LISTED IN ACCORDANCE WITH THE UL 127 AS PER ARTICLE R1004.1 OF THE 2015 IRC

WINDOWS IN HAZARDOUS LOCATIONS (OVER BATHTUBS) MUST BE TEMPERED AND COMPLY WITH ARTICLE R308.4 OF THE 2015 IRC

RESIDENCE MUST COMPLY WITH FOLLOWING INSULATION REQUIREMENTS AS PER TABLE N1102.1 OF THE 2015 IRC.
CEILINGS: R-30 MIN, WALLS: R-13 MIN, FLOORS: R-11.
FENESTRATION U-FACTOR (.75)
SOLAR HEAT GAIN COEFFICIENT (.40)

NEED "CITY STAMPED" APPROVED PLANS ON SITE FOR ALL INSPECTIONS

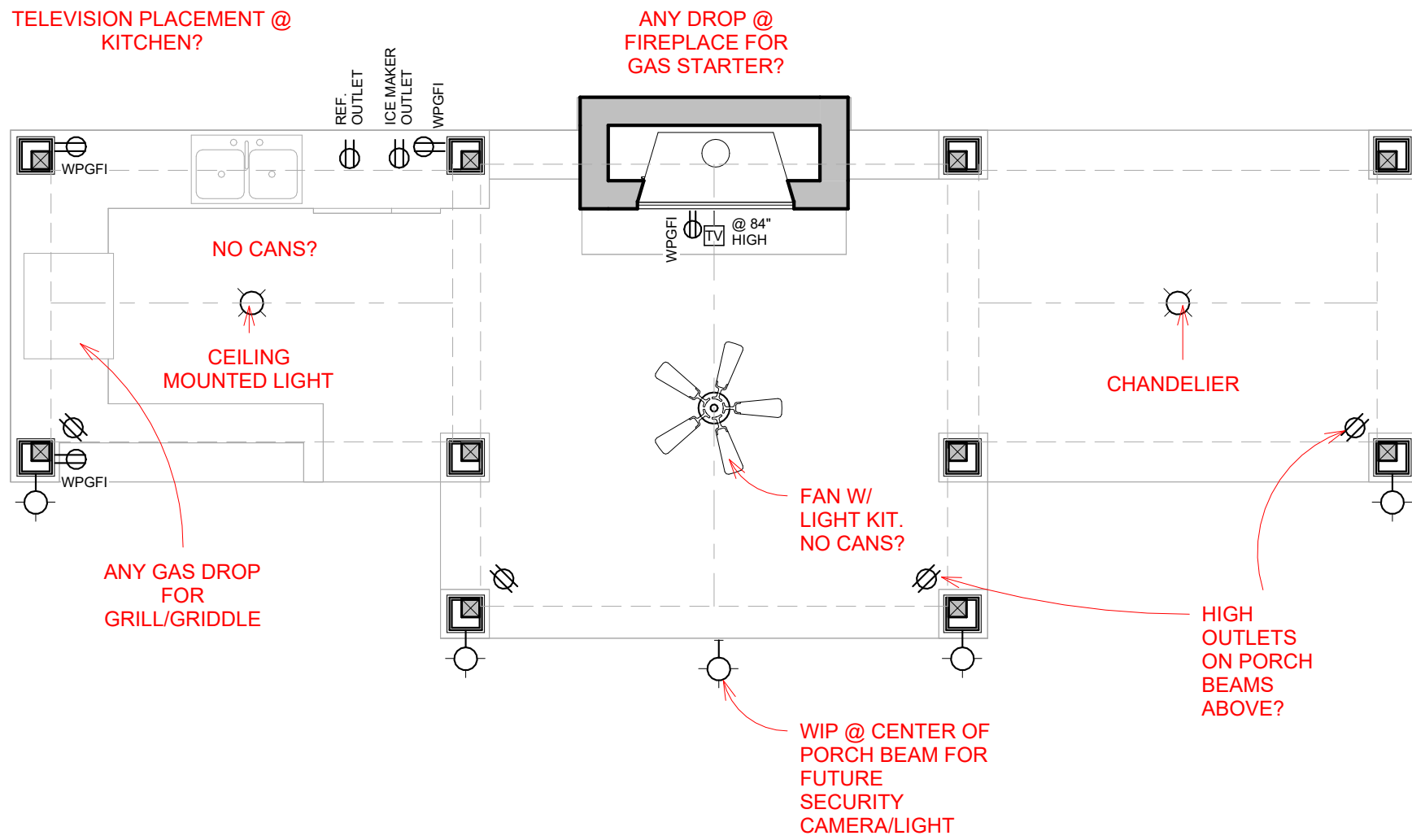
NEED PROOF OF TERMITE TREATMENT BEFORE SLAB AND FOOTING INSPECTION

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE, JOBSITE CLEANUP, STREET CLEANING, CONSTRUCTION ENTRANCE AND SILT FENCING WHERE REQUIRED ON A DAILY BASIS

MUST CALL FOR STRAPPING AND OR CLIP INSPECTIONS BEFORE CLAD COVERING

2 ELECTRIC

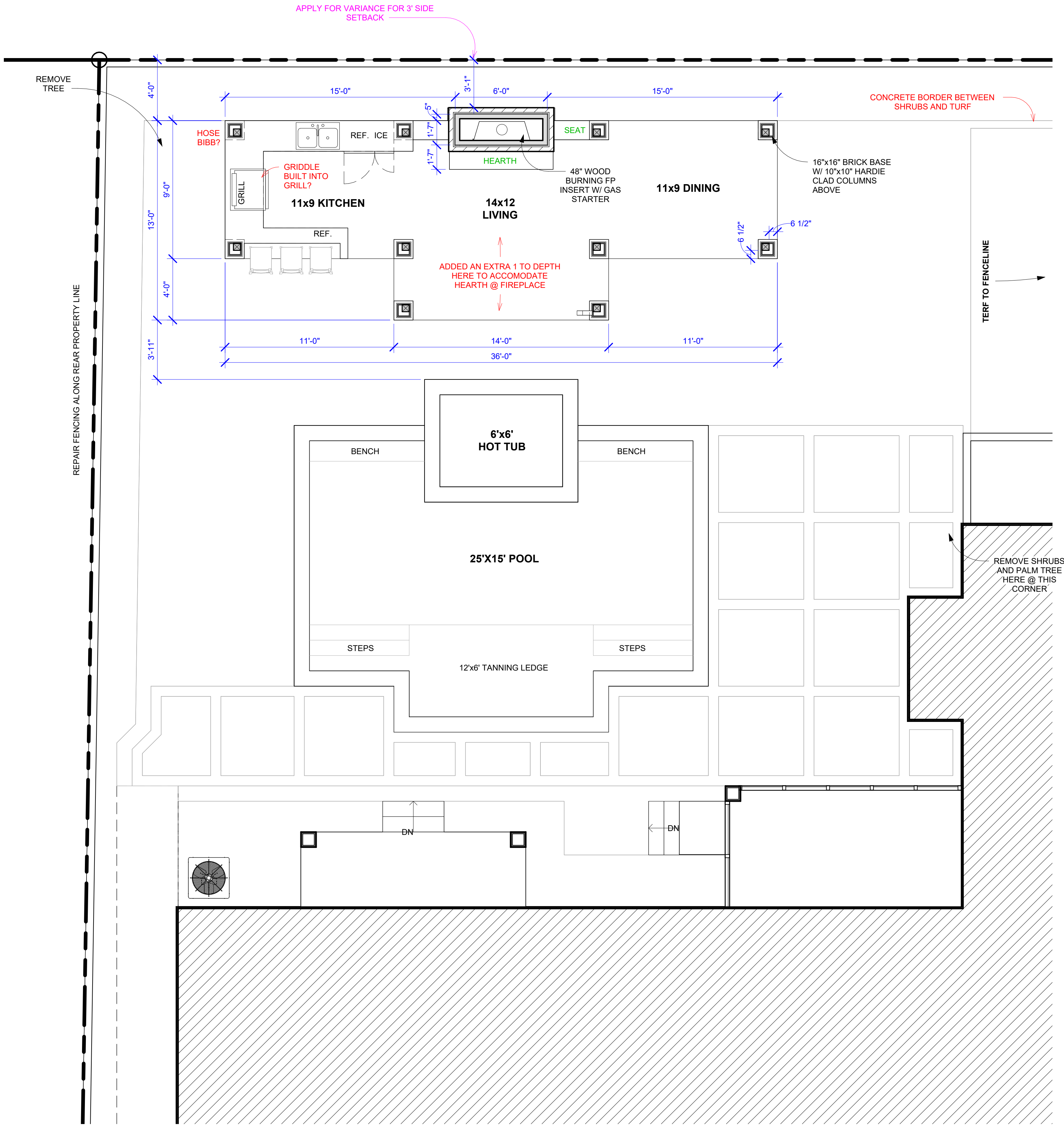
1/4" = 1'-0"



SYMBOLS	
	WIRES
	CEILING MOUNTED FAN
	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	DUPLEX OUTLET, 120V MOUNTED 14" ABOVE FIN. FLR.
	TRIPLEX OUTLET, 240V MOUNTED 14" ABOVE FIN. FLR.
	DUPLEX OUTLET, 120V GROUND FALT INTERRUPTER CIRCUIT BREAKER
	DUPLEX OUTLET, 120V, WATER PROOF COVER PLATE AND BOX, GROUND FALT INTERRUPTER CIRCUIT BREAKER
	DUPLEX CEILING MOUNTED OUTLET, 120V
	SILENT SWITCH
	3 WAY SWITCH
	CABEL TELEVISION JACK, MOUNTED 84" ABOVE FIN. FLR.
	GAS DROP

1 FLOOR PLAN

1/4" = 1'-0"



504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>

NOTES: © BENFATTI CONSTRUCTION LLC 2023
NO REPRODUCTION OR OTHER USE OF THIS DRAWING OR ITS CONTENTS IS PERMITTED WITHOUT WRITTEN CONSENT OF LEGAL OWNER.
THESE PLANS HAVE BEEN PREPARED TO THE BEST OF OUR ABILITIES, HOWEVER IT IS THE RESPONSIBILITY OF THE BUILDING CONTRACTOR TO VERIFY THEIR ACCURACY

MONTJOY PAVILION

355 MAIN ST., BSL, MS 39520
BETSY MONTJOY

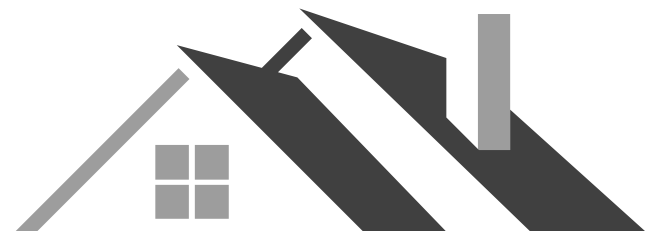
REVISIONS

NO.	DESCRIPTION	DATE

MONTJOY PAVILION

FLOOR PLAN

LIVING AREA:	-
UNDER BEAM:	366 SQFT
4.1	
SCALE:	1/4" = 1'-0"
DRWN BY: COLT LEE	DATE: 07/24/2026



Benfatti Construction

DESIGN • BUILD • INTERIORS

504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>

NOTES: © BENFATTI CONSTRUCTION LLC 2023
NO REPRODUCTION OR OTHER USE OF THIS
DRAWING OR ITS CONTENTS IS PERMITTED
WITHOUT WRITTEN CONSENT OF LEGAL OWNER.
THESE PLANS HAVE BEEN PREPARED TO THE
BEST OF OUR ABILITIES. HOWEVER IT IS THE
RESPONSIBILITY OF THE BUILDING CONTRACTOR
TO VERIFY THEIR ACCURACY

MONTJOY PAVILION

355 MAIN ST., BSL, MS 39520

BETSY MONTJOY

REVISIONS

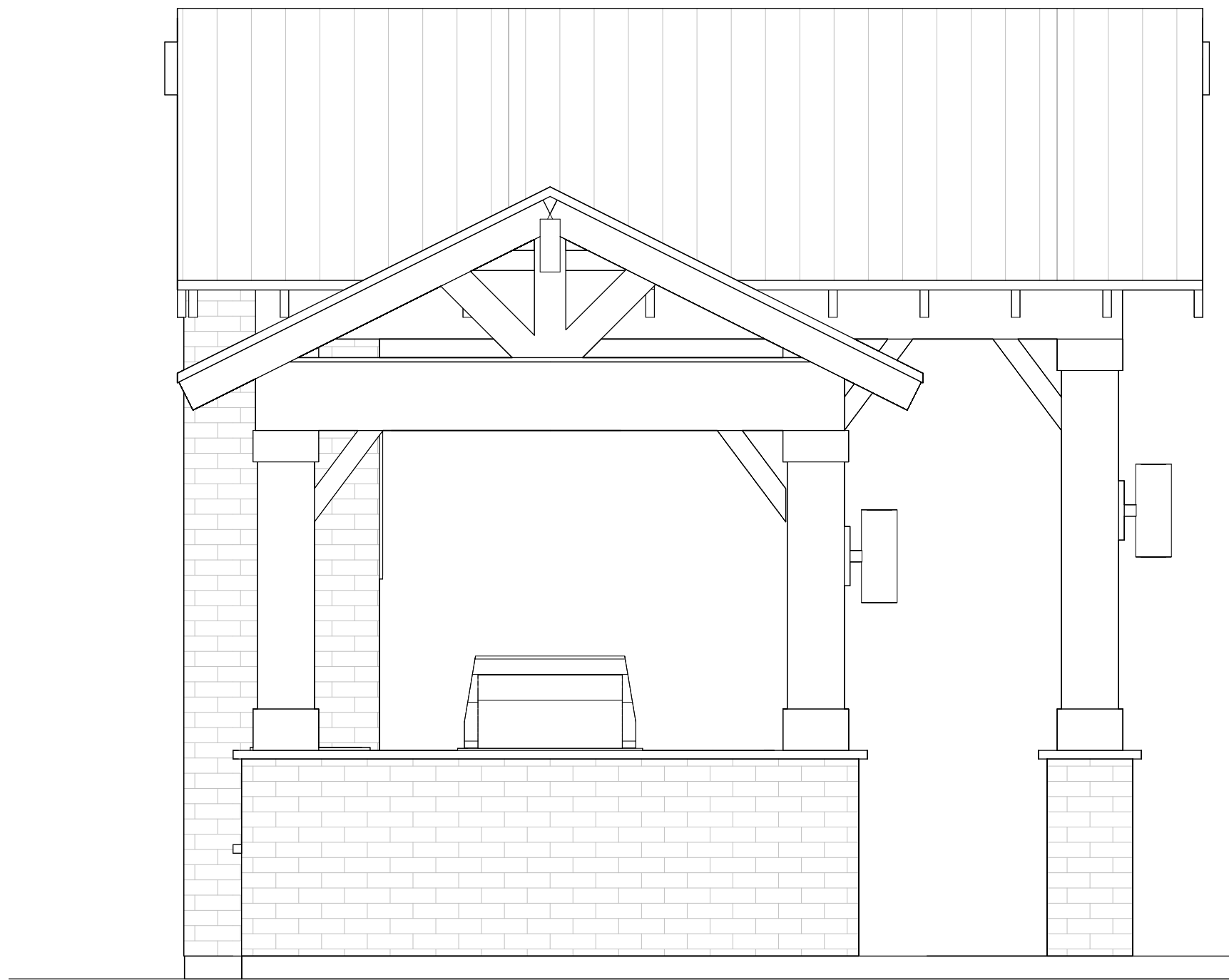
NO.	DESCRIPTION	DATE

MONTJOY PAVILION

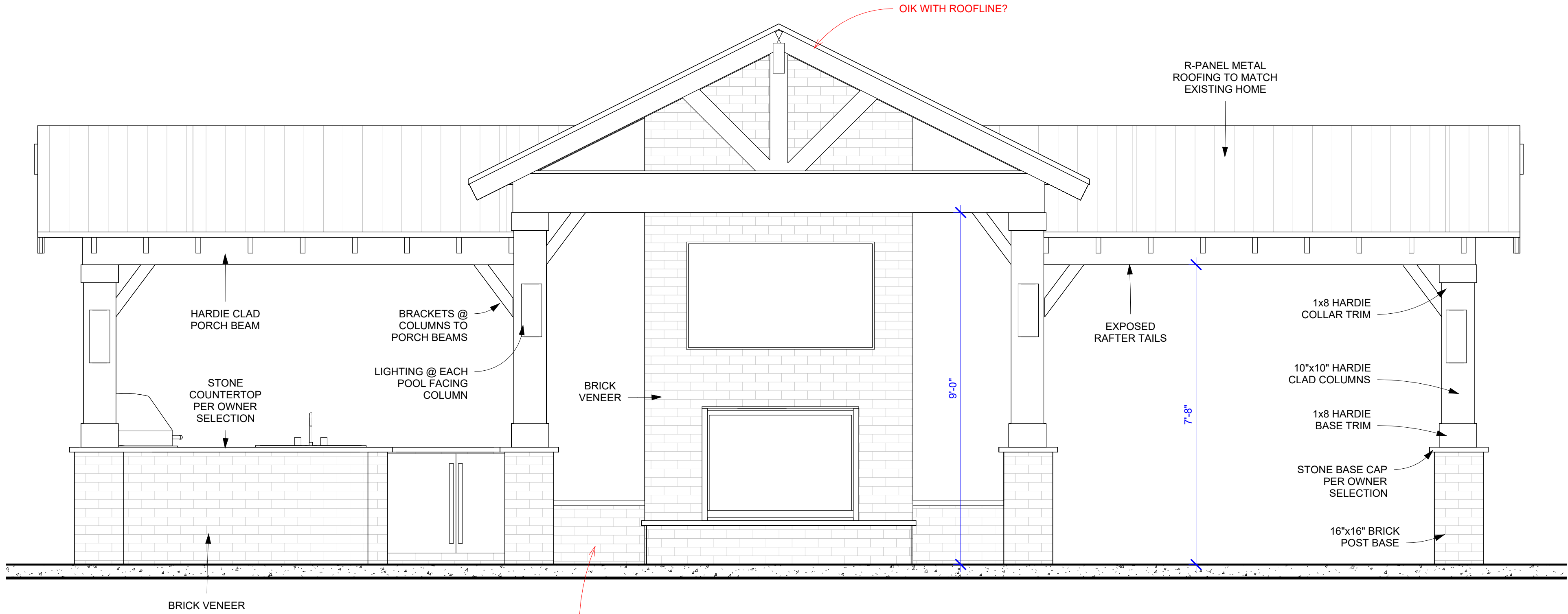
ELEVATIONS

LIVING AREA:	-
UNDER BEAM:	366 SQFT
6.1	
SCALE:	1/2" = 1'-0"
DRWN BY: COLT LEE	DATE: 07/24/2026

2 LEFT ELEVATION
1/2" = 1'-0"



1 FRONT ELEVATION
1/2" = 1'-0"

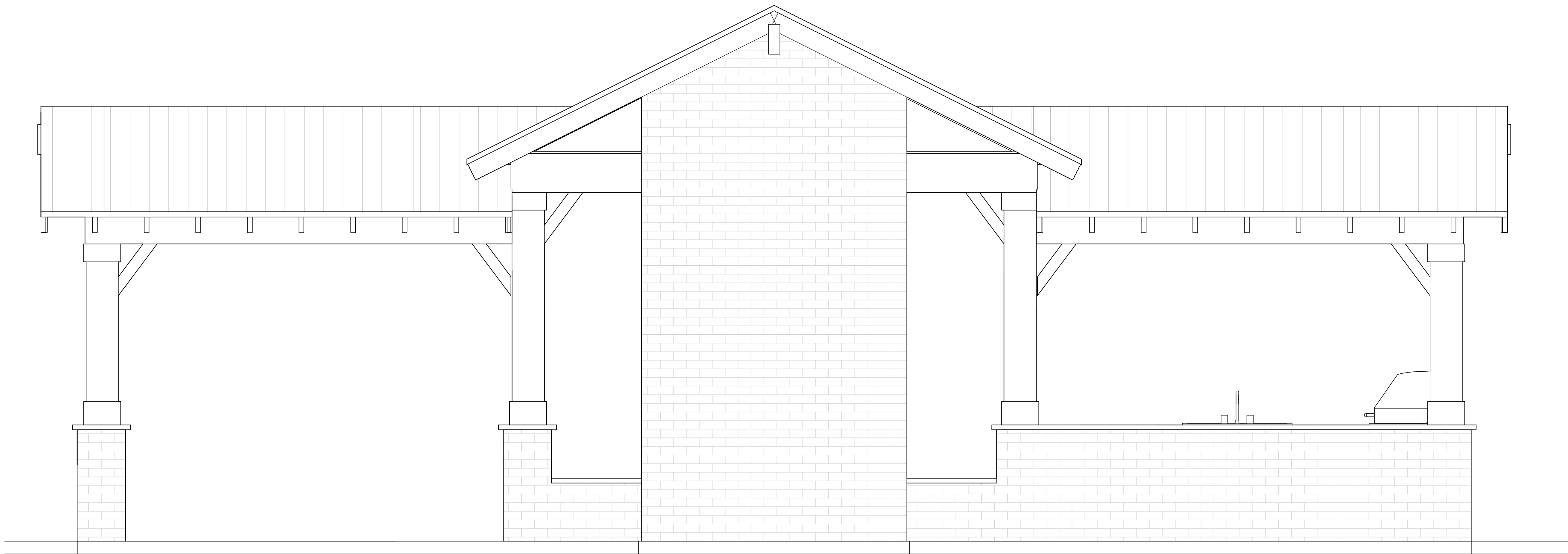


BRICK BENCHES OR BUILD THEM OUT
AND COVER IN HARDIE?

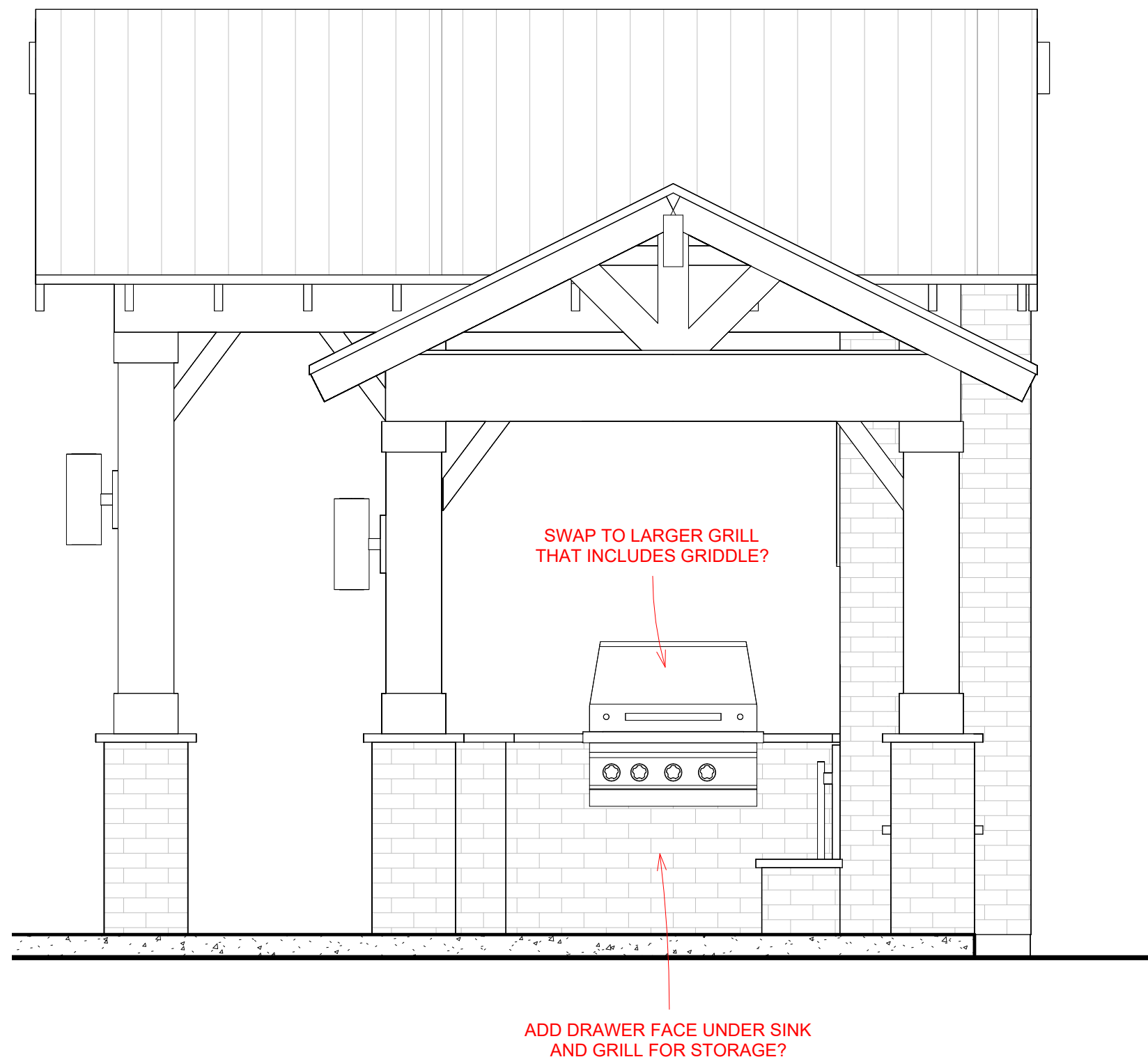
THINK HARDIE MIGHT BE BETTER
SINCE SEAT MATERIAL CANNOT BE
STONE IF ITS GOING TO ACT AS A
DOOR TO THE STORAGE BELOW.

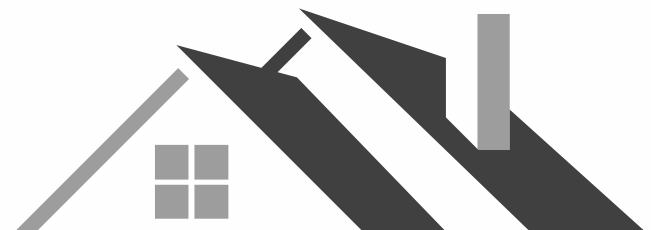
COULD HAVE A HARDIE CLAD BENCH
SEAT W/ SOME TYPE OF COMPOSITE
OR TREATED WOOD SEAT.

3 REAR ELEVATION
1/2" = 1'-0"



4 RIGHT ELEVATION
1/2" = 1'-0"





Benfatti Construction

DESIGN • BUILD • INTERIORS

504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>

NOTES: © BENFATTI CONSTRUCTION LLC 2023

NO REPRODUCTION OR OTHER USE OF THIS
DRAWING OR ITS CONTENTS IS PERMITTED
WITHOUT WRITTEN CONSENT OF LEGAL OWNER.

THESE PLANS HAVE BEEN PREPARED TO THE
BEST OF OUR ABILITIES, HOWEVER IT IS THE
RESPONSIBILITY OF THE BUILDING CONTRACTOR
TO VERIFY THEIR ACCURACY

MONTJOY PAVILION

355 MAIN ST., BSL, MS 39520
BETSY MONTJOY

REVISIONS

NO.	DESCRIPTION	DATE

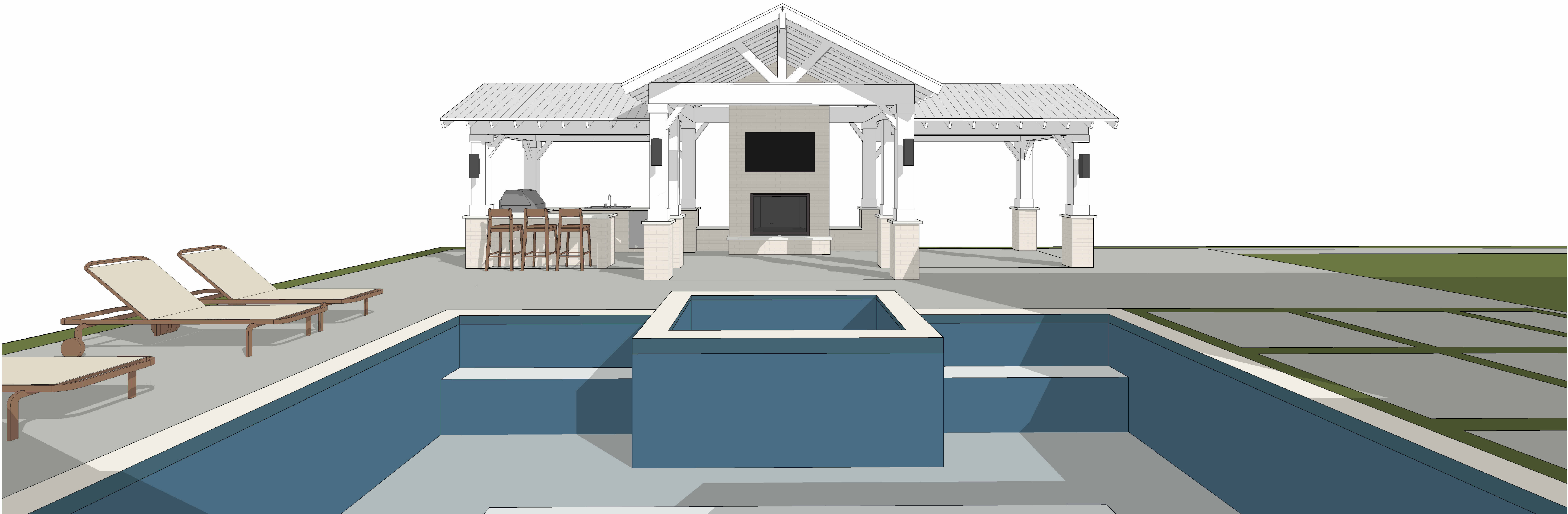
MONTJOY PAVILION

3D

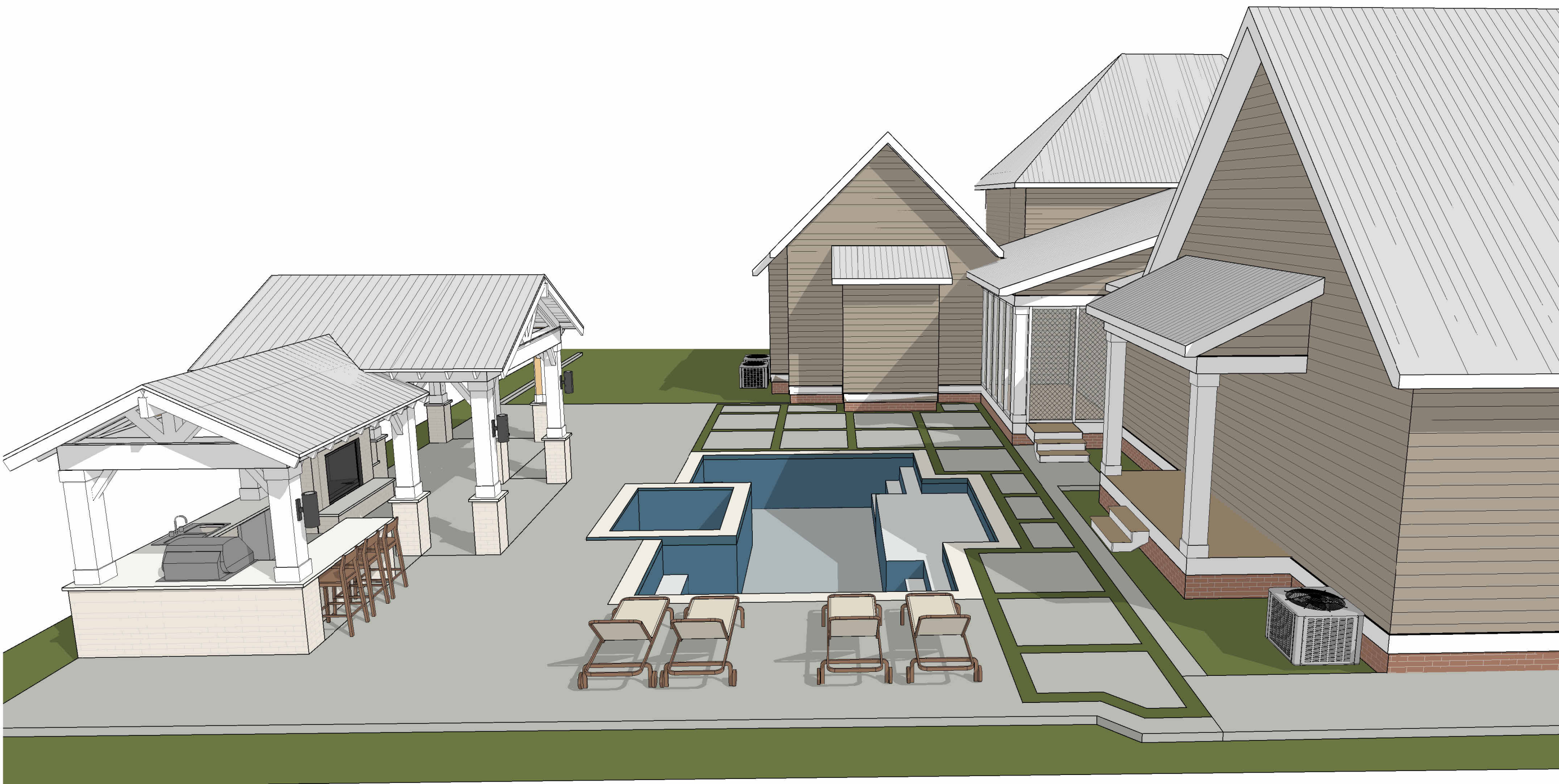
LIVING AREA:	-
UNDER BEAM:	366 SQFT

9

SCALE:	
DRWN BY:	COLT LEE
DATE:	07/24/2026



- CEILING OPTIONS:
- KEEP VAULTED CEILINGS EVERYWHERE W/ EXPOSED RAFTERS AND DECORATIVE ROOF DECKING AS SHOWN. (LEAVES ANY POTENTIAL WIRING EXPOSED)
 - KEEP VAULTED CEILINGS EVERYWHERE BUT COVER RAFTERS WITH HARDIE/DECORATIVE BOARD FINISH (CAN HIDE WIRING)
 - KEEP EITHER VAULTED CEILING OPTION OVER THE LIVING AREA BUT SWAP TO A FLAT CEILING OVER THE DINING AND KITCHEN AREAS.





July 13, 2026 - Historic Preservation Commission Meeting Minutes

**July 13, 2026 at 12:00 PM
598 Main Street, Bay St. Louis, MS 39520**

Call to Order

The meeting was called to order at 12:00 PM on Monday, July 13, 2026, with a prayer and the Pledge of Allegiance.

PRESENT

Chairman Cliff Rabalais

Commissioner John Bezou

Commissioner Matt Stieffel

Commissioner Patricia Keating

Commissioner David Wessinger

ACTION ITEMS

1. Application by Corbitt Construction Group at 108 Court Street

Application submitted by Corbitt Construction Group to add a decorative fence or trellis with gate, install a sign on the fence, and make changes to the front porch and awnings at 108 Court Street.

There was no representative present for the application, so it was moved to the end of the agenda. Commissioner Patricia Keating attempted to contact someone associated with the application but was unsuccessful. Commissioner John Bezou noted that the application contained numerous photographs and drawings showing two different options, but did not clearly identify what was actually being proposed.

Commissioners Matt Stieffel, Patricia Keating, and John Bezou discussed the proposal, noting that the existing building is historically appropriate and that the apparent request was to expand the building and front lawn/porch area. Discussion also included concerns regarding the apparent installation of artificial turf, which is generally not approved in the Historic District,

and the possible use of artificial landscaping shown on the submitted drawings. Commissioner Keating noted that realistic artificial plants are commonly used in Europe due to their low maintenance.

The Commission determined that significant clarification and additional documentation would be required before the application could be properly evaluated.

Motion to table the application until the requested clarifications are provided was made by Chairman Cliff Rabalais and seconded by Commissioner Patricia Keating.

Motion was approved 5/0.

2. Application by Benfatti Construction for 115 Citizen Street

Application submitted by Benfatti Construction, on behalf of owner Clower Reno, for a rear addition and new rear porch at 115 Citizen Street.

Mr. Colt Lee represented Benfatti Construction and explained that the addition would match the existing house in materials and architectural design. Composite decking would be used on the porch, porch posts would be wrapped with Hardie material, and windows removed from the existing rear wall would be reused in the new rear wall. The front porch would only be repainted, with no changes to the front façade.

Following discussion and clarification of the scope of work, a motion to approve the application as submitted was made by Commissioner John Bezou and seconded by Commissioner Matt Stieffel.

Motion was approved 5/0.

3. Application by Stewart and Amy Heard at 149 Bay View Court

Application submitted by Stewart and Amy Heard for an expansion of the residence and construction of a single-car carport at 149 Bay View Court.

Mr. Stewart Heard appeared before the Commission and explained that the home would be elevated above base flood elevation, relocated slightly on the property, and expanded to increase interior living space. A new continuous chain wall foundation would be installed with concrete block piers, and visible piers would be finished with brick.

The existing front porch would be removed and reconstructed at the new elevation with traditional wood steps and railing. Horizontal slats would minimize visibility beneath the raised

structure. New Hardie siding would match the existing home, operational shutters would be reused where possible, and any new shutters would match the existing style.

The roof design would be modified, utilizing an approved low-profile R-panel metal roof rather than corrugated metal. A new open carport and storage area would be added to the left side of the home, with matching siding and roofing materials.

Following discussion and clarification, a motion to approve the application as presented was made by Commissioner David Wessinger and seconded by Commissioner John Bezou.

Motion was approved 5/0.

4. Application by Mary Thompson at 126 Sycamore Street

Application submitted by Mary Thompson for the installation of an 8-foot by 12-foot in-ground swimming pool at the residence under construction at 126 Sycamore Street.

The Commission noted that construction of the residence had previously been approved during the April 13, 2026 meeting and that a future swimming pool had been anticipated. Ms. Thompson appeared to answer questions regarding the proposal.

Motion to approve the application as presented was made by Commissioner David Wessinger and seconded by Commissioner Patricia Keating.

Motion was approved 5/0.

5. Conceptual Review by Benfatti Construction for 135 St. Charles Street

Application submitted by Benfatti Construction on behalf of owners Shaw Varma and Kimberly Ann Owen for conceptual review of a proposed new residence at 135 St. Charles Street.

Mr. Colt Lee represented the applicant. During review, the Commission requested several modifications, including coating or cladding the aluminum sliding doors, utilizing an approved low-profile R-panel metal roof, replacing the contemporary garage doors with carriage-style garage doors, and maintaining the proposed three-foot simulated wrought iron fencing.

Mr. Lee indicated that construction was expected to begin within approximately six months. The Commission agreed that if only minor changes were made to the submitted plans, final approval could be granted without requiring a new application.

Motion to approve the conceptual review, and authorize approval of final plans provided no significant changes are made and the noted clarifications are incorporated, was made by Commissioner Patricia Keating and seconded by Commissioner John Bezou.

Motion was approved 5/0.

OTHER DISCUSSION

The Commission reviewed the condition of the property located at 231 Sycamore Street, noting that it had previously appeared before the Historic Preservation Commission on multiple occasions due to deterioration. Members discussed the upcoming City Council public hearing regarding the property and agreed that the condition constituted "Demolition by Neglect" in violation of the Historic Preservation Ordinance.

Motion to declare the property at 231 Sycamore Street in violation of the Historic Preservation Ordinance due to Demolition by Neglect was made by Chairman Cliff Rabalais and seconded by Commissioner John Bezou.

Motion was approved 5/0.

Jeremy Burke reported that the owner of the residence on Third Street adjacent to the cabinet shop had agreed to replace the previously installed vinyl fence pickets with wooden pickets.

Commissioner David Wessinger noted that the unapproved vinyl fence on Caron Lane remained in place and that the residence in the 300 block of Tolume Street still had not installed the required exterior SDL window mullions.

Chairman Cliff Rabalais also reported that the Daiquiri Shack had installed an unapproved banner/sign on the rear wall facing the railroad tracks and Beach Boulevard.

Approval of Minutes

Meeting minutes for June 8, 2026, were reviewed.

Motion to approve the meeting minutes as written was made by Commissioner John Bezou and seconded by Commissioner Matt Stieffel.

Motion was approved 5/0.

Adjournment

With no further business, a motion to adjourn the meeting was made.

The meeting adjourned at approximately 1:15 PM.