



## **April 14, 2025 Historic Preservation Commission Meeting Agenda**

**April 14, 2025 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520**

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### **Call to Order**

### **Action Items**

- 1.** Motion to approve new construction for a pavilion in the rear yard of 113 Ballentine Street submitted by Benfatti Construction
- 2.** Motion to approval demoing dwelling at 259 Washington Street and for conception design of a new dwelling submitted by Susan Steckol
- 3.** Motion to approve the addition of a new front porch and additional of living space in the rear of the house at 135 DeMontluzin submitted by Randy Young

### **Minutes Approval**

- 4.** Motion to approval March 17, 2025 Historic Preservation Commission Meeting

### **Adjourn**

**1 FLOOR PLAN**  
1/4" = 1'-0"



504-452-6974  
2107 Nicholson Avenue, Suite B  
Waveland, MS 39576  
<https://benfatticonstruction.com/>

**HEIDINGSFELDER PAVILION**

113 BALLENTINE STREET, BSL, MS 39520  
MIMI HEIDINGSFELDER

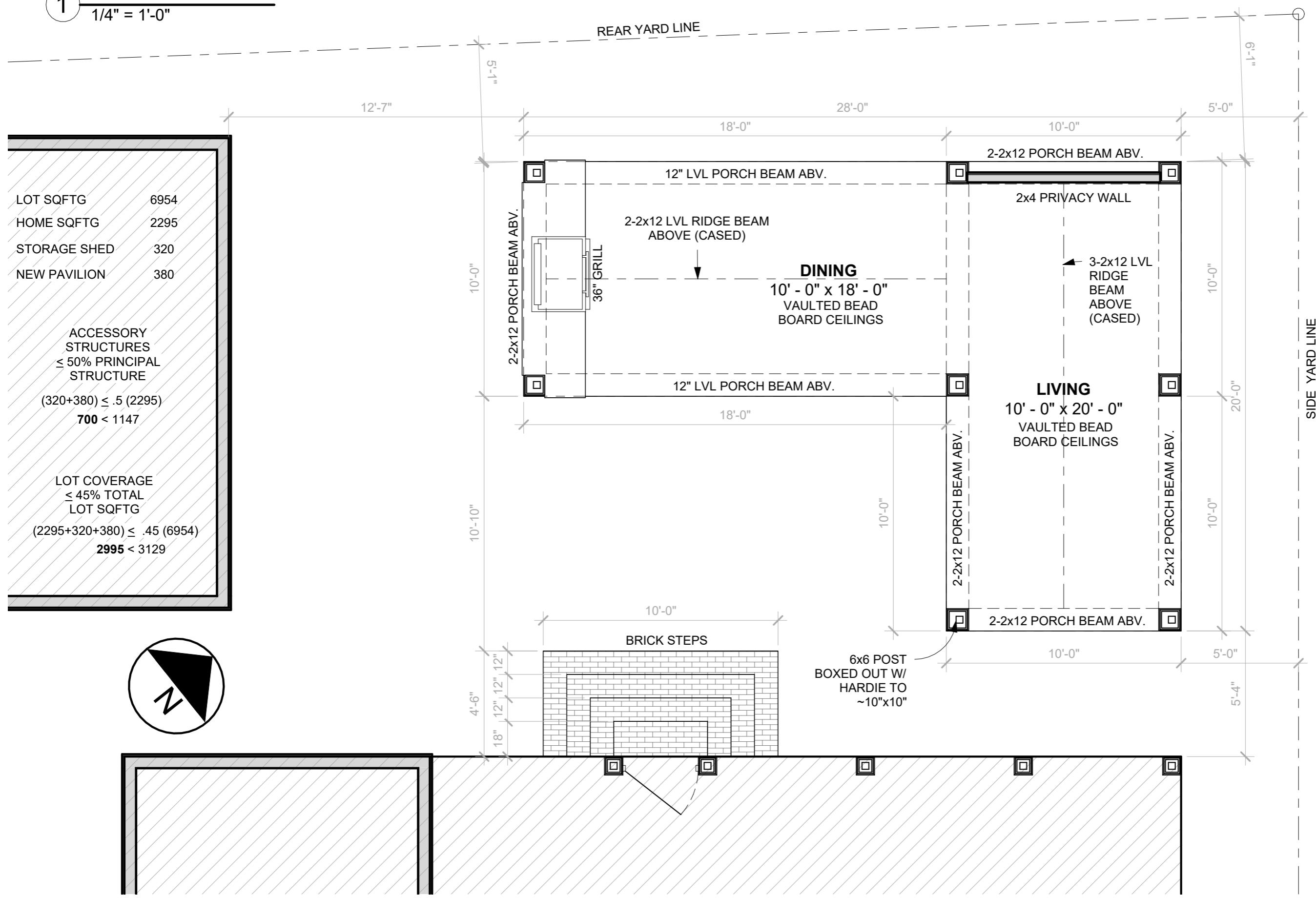
Drawn by:  
**COLT LEE**

04/04/2025

**FLOOR PLAN**

**1 of 2**

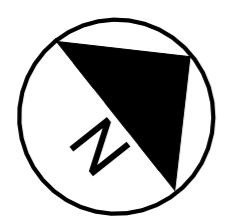
Scale 1/4" = 1' 2



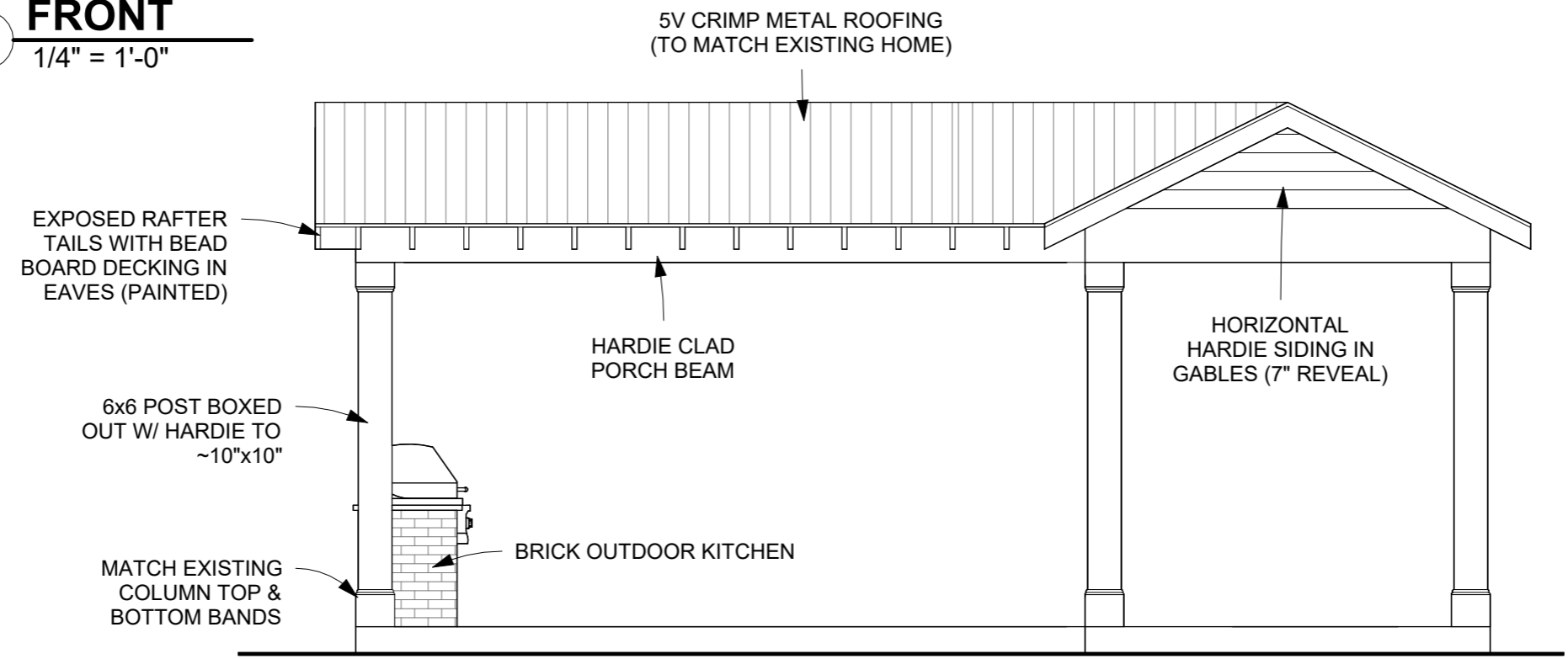
LOT SQFTG 6954  
HOME SQFTG 2295  
STORAGE SHED 320  
NEW PAVILION 380

ACCESSORY STRUCTURES  
≤ 50% PRINCIPAL STRUCTURE  
 $(320+380) \leq .5 (2295)$   
**700 < 1147**

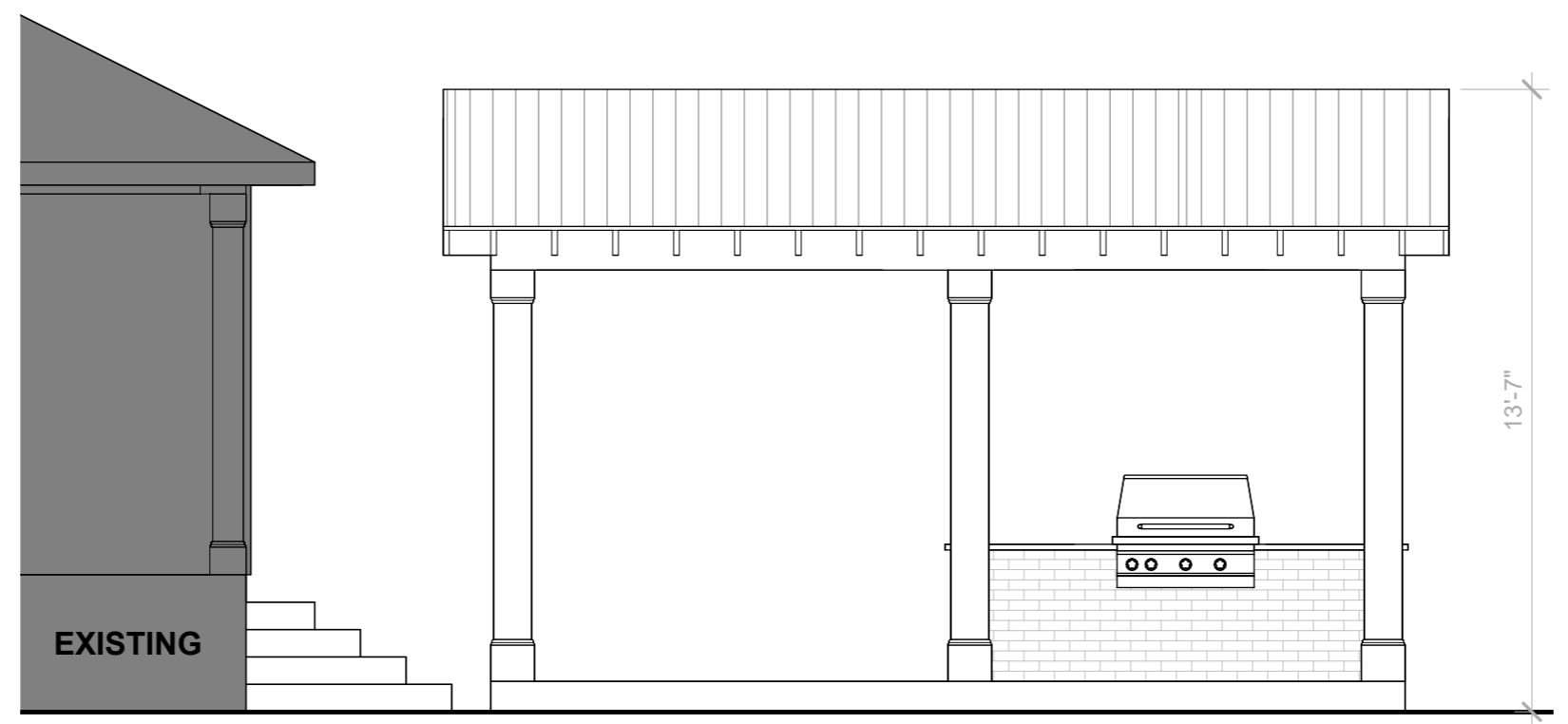
LOT COVERAGE  
≤ 45% TOTAL LOT SQFTG  
 $(2295+320+380) \leq .45 (6954)$   
**2995 < 3129**



**3 FRONT**  
1/4" = 1'-0"



**4 RIGHT**  
1/4" = 1'-0"



**HEIDINGSFELDER PAVILION**

113 BALLENTINE STREET, BSL, MS 39520  
MIMI HEIDINGSFELDER

Drawn by:  
COLT LEE

04/04/2025

**ELEVATIONS**

2 of 2

**Certificate of Appropriateness/Conceptual Review Application Form**

Property Address: 113 Ballentine st., BSL, MS  
 Applicant Name: Colt Lee Owner Name: Mimi Heldingsfelder  
 Mailing Address: 2107 Nicholson Ave Mailing Address: 113 Ballentine  
Waveland, MS  
 Phone: 228-842-8489 Phone: 504-975-3670

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

Application

**New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Colt Lee Date: 4-4-25

Owner's Signature \_\_\_\_\_ Date: \_\_\_\_\_

**Please refer to the checklist of materials required with your application**  
**A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.**

*Historic Preservation Commission / City Council Use Only*

HPC Review / City Council Review

Historic District: _____	Case Number: _____
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date: _____
<b>Recommendation:</b> <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions * <input type="checkbox"/> Disapprove	
Comments: _____	
* Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date: _____
COA Action: Approval: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Date COA Action: _____	Review Date: _____
Comments: _____	
(BSL Historic Preservation Commissioner) _____	(City Council President Signature) _____ (Date) _____

*Once Completed & Signed - Original copy - HPC, Copy-Building Department*

# Bay Saint Louis

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Mimi Heidingsfelder

Address: 113 Ballentine st., BSL, MS  
(No P.O. Boxes)

Telephone Number (                      ) Cell Number (504) 975-3670

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: n/a

Give written scope of work to be performed: New Build of pavilion in Rear yard

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

### MATERIALS TO SUBMIT WITH THE APPLICATION FO REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

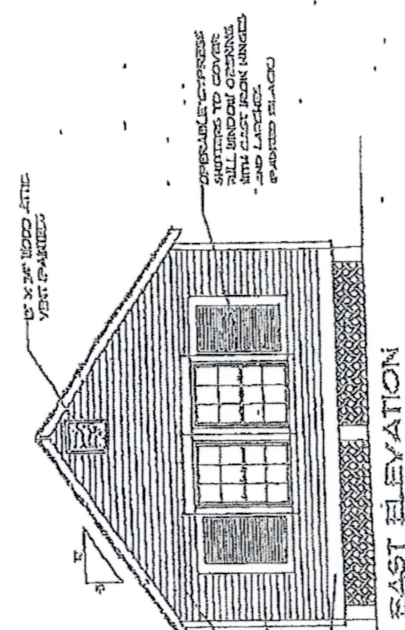
1. Site Plan, Indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
  - a) Siding material: wood, hardi-plank, etc...
  - b) Masonry material: brick, stucco, etc....
  - c) Exterior openings; windows and doors: Indicated size, types and materials.
  - d) Shutters and Awnings: Indicated size, types and materials.
  - e) Column size and types
  - f) Roofing materials: wood, metal, slate, etc....
  - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
  - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

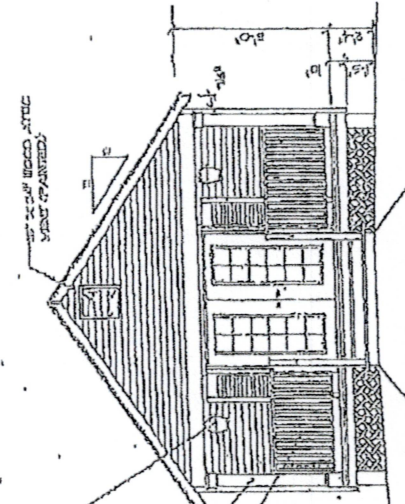
1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

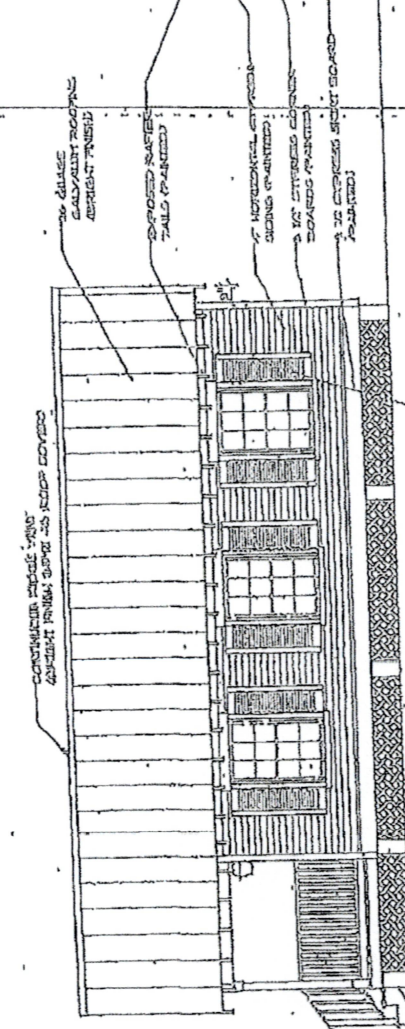
*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*



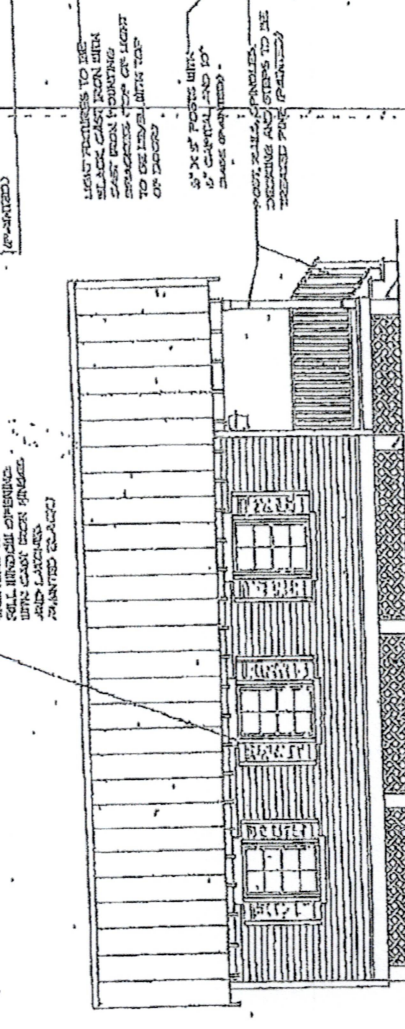
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

NOTE: WINDOW AND DOOR SHUTTERS TO COVER FULL WINDOW OPENINGS WITH CAST IRON HINGES AND LATCHES. PAINTED BLACK.

WOOD CLASSE TO BE SELECTED TO MATCH EXISTING FROM HISTORIC PHOTOGRAPHS FOR COLOR AND GRAIN TO BE MATCHED WITH THE 1/2\"/>

1/2\"/>

POST SILL, FINISHED. DOOR AND STEPS TO BE TREATED PAINT PAINTED.

FOUNDATION ON PILES 4\"/>

EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

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THIS DRAWING IS FOR THE EXCLUSIVE USE OF THE MAY ST. LOUIS HISTORICAL PRESERVATION. CERTIFICATION TO BE MADE IN PLAN REVIEW PER HISTORICAL PRESERVATION. MARCH 1, 2014.

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 259 Washington St., BSL, MS 39520

Applicant Name: Pro-Cem Management Owner Name: SUSAN STECKOL

Mailing Address: 315 Hoffman Lane Mailing Address: 5555 Walnut Grove Memphis, TN 38120

Phone: 985-966-0375 Phone: 901-395-9326 901-619-5530

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[X] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

[ ] Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

[ ] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[X] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 3/24/25

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Please refer to the checklist of materials required with your application. A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged. Historic Preservation Commission / City Council Use Only

Table with 2 columns: HPC Review / City Council Review and City Council Use Only. Rows include: Historic District, Case Number, Historic Preservation Commission Reviewed, Review Date, Recommendation (Approval, Approval with Conditions, Disapproval), Comments, Reviewer, Property Owner/Applicant Signature, City Council Reviewed, Review Date, COA Action (Approval, No), Date COA Action, Date, Comments, (BSL Historic Preservation Commission) / (City Council) Resident Signature, Date.

Application

HPC Review / City Council Review

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Revised May 4, 2009

Applicant Name: Pro Gen. M. King Mailing Address: 5555 Walnut Grove Memphis

Mailing Address: 315 Hattman Lane

Phone: 901-395-9326

Phone: 985-966-0375

Phone: 901-619-5350

Item # 2.

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section 4.11 of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the prepared improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

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Applicant's Signature: [Signature]

Date: 3/24/25

Owner's Signature: [Signature]

Date: 04/02/25

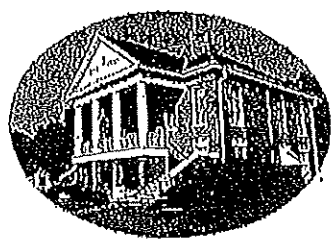
Please refer to the checklist of materials required with your application. A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged. Historic Preservation Commission / City Council Use Only

Historic District: \_\_\_\_\_  
Historic Preservation Commission: \_\_\_\_\_  
Date: \_\_\_\_\_  
Recommendation: \_\_\_\_\_  
Comment: \_\_\_\_\_  
City Council: \_\_\_\_\_  
Approval: \_\_\_\_\_  
Comments: \_\_\_\_\_

HPC Review / City Council Review

# BAY SAINT LOUIS

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

Property Owners Information:

Name: SUSAN STECKOL

Address: 555 Walnut Grove Rd, Memphis, TN 38120  
(No P.O. Boxes)

Telephone Number: (901) 395-9326 Cell Number: (901) 619-5556

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 259 WASHINGTON ST - BSL

Give written scope of work to be performed: \_\_\_\_\_

Request Demolition of Derelict Structure,  
AND Rebuild, in kind or WITH MODIFICATIONS  
TO SIZE AND "LOOK" TO conform to  
HPC Requirements.

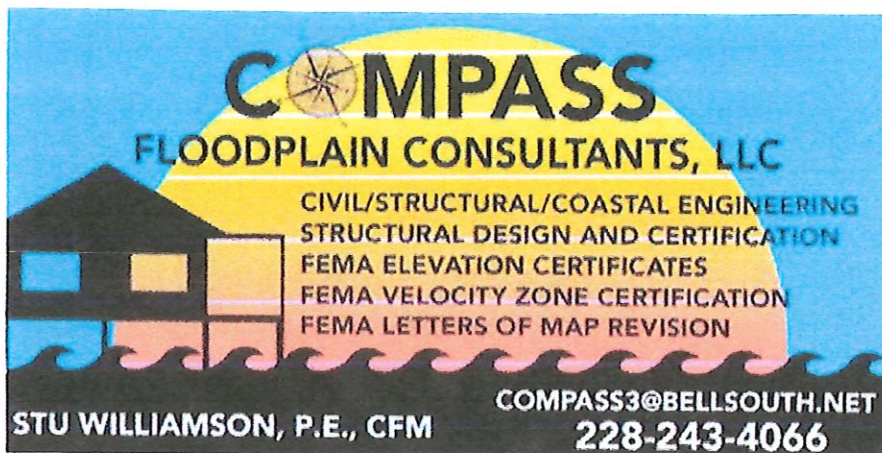
Engineer's Report is Attached to  
Justify Demolition.

259 Washington Street



259 Washington Street  
Ubs 10/98 Joe Clements  
CD 65 Eddie Carver  
CD 78 Erwin J. Necaise





Compass Floodplain Consultants, LLC

P.O. Box 3145

Bay St. Louis, Mississippi 39521

Compass1954oaks@bellsouth.net

March 26, 2025

City of Bay St Louis

Structural inspection and analysis of property at 259 Washington Street, Bay St Louis

On March 26, I performed an on-site inspection of this property that is within the Bay St Louis Historic District. This inspection was to determine if the structure could economically and safely be retrofitted within reason to meet current code requirements. In its current state from having entered the building, it is my opinion that this is a safety hazard due to deterioration of the floor, extensive mold throughout, and parts of the roof that appear to be unstable.

During this inspection, I noted several issues which included.

- Extreme deterioration in the foundation/flooring with structural support members from both weathering and termites.
- Deterioration of the roof structure which included beams, rafters, bracing and a non-existent load path to the walls and foundation.
- Extensive mold on the interior

It is my opinion that the structure cannot be economically or safely retrofitted to meet code due to the extreme structural deterioration of the roof, wall, flooring, and foundation elements. The property will be best served by the owners' intentions for total demolition, that will allow for a new structure that will be compliant with all ordinances and codes within the Historic District. My opinions and analysis are supported by the following photographs:

Sincerely,

Stuart Williamson, P.E., CFM





Photo 032625 deterioration of foundation and horizontal beam



Photo 032625 deterioration of flooring



Photo 032625 unevenness of cinder blocks supporting structure

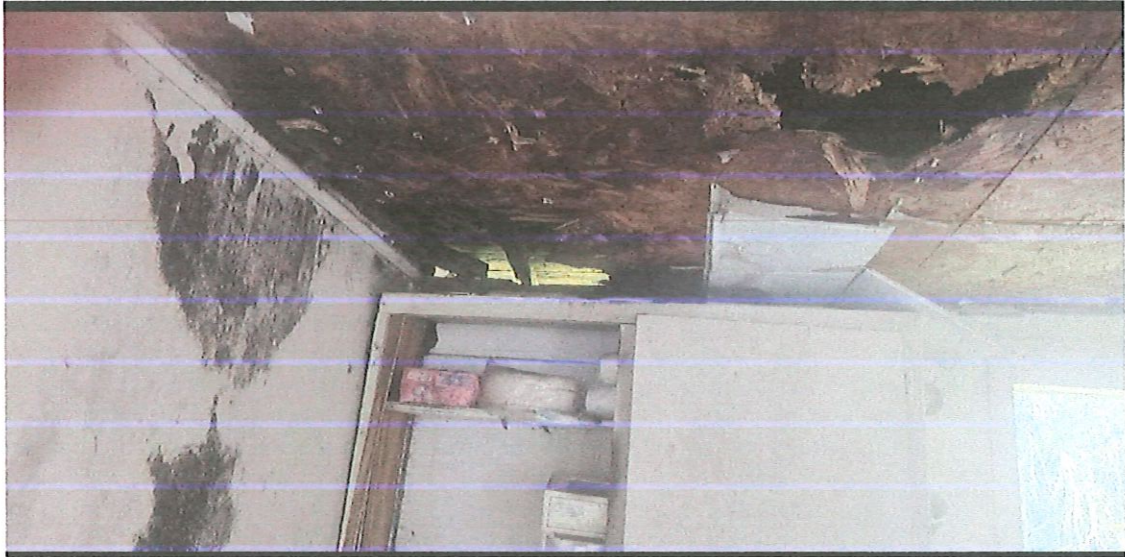


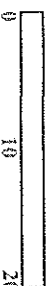
Photo 032625 extensive Roof damage and mold



Photo 032625 extensive Roof damage and mold



DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to consider carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.



FIRST MISSIONARY BAPTIST CHURCH

31.0'

60.0'

275

SUEKOL SUSAN K  
105

100.6'

ST PAUL METHODIST EPISCOPAL CHURCH

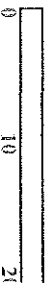
ROTH GLENN P ETUX

104.001

49.9'

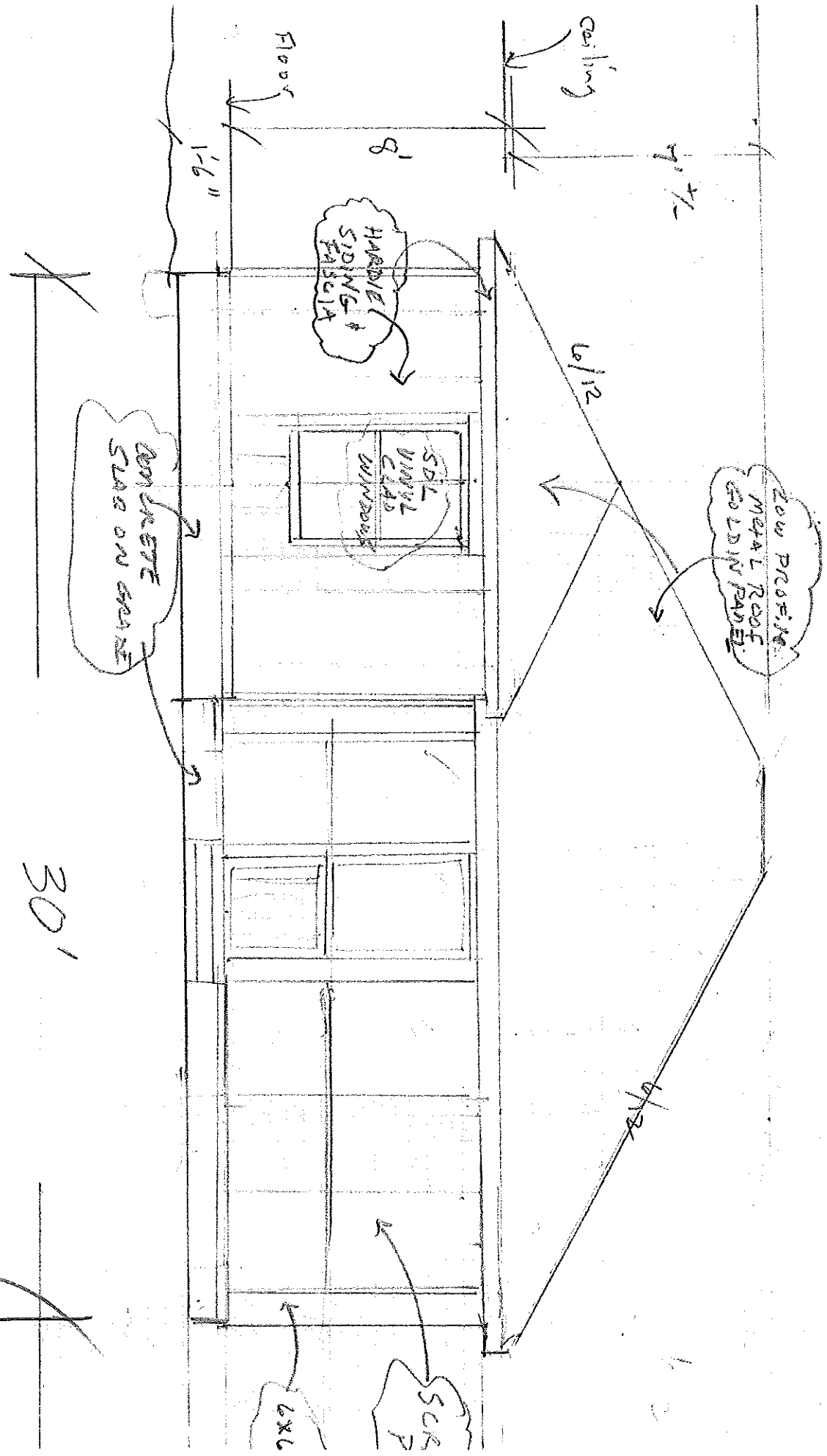
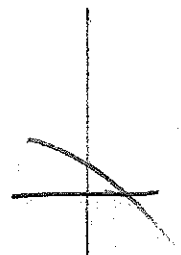
WASHINGTON ST

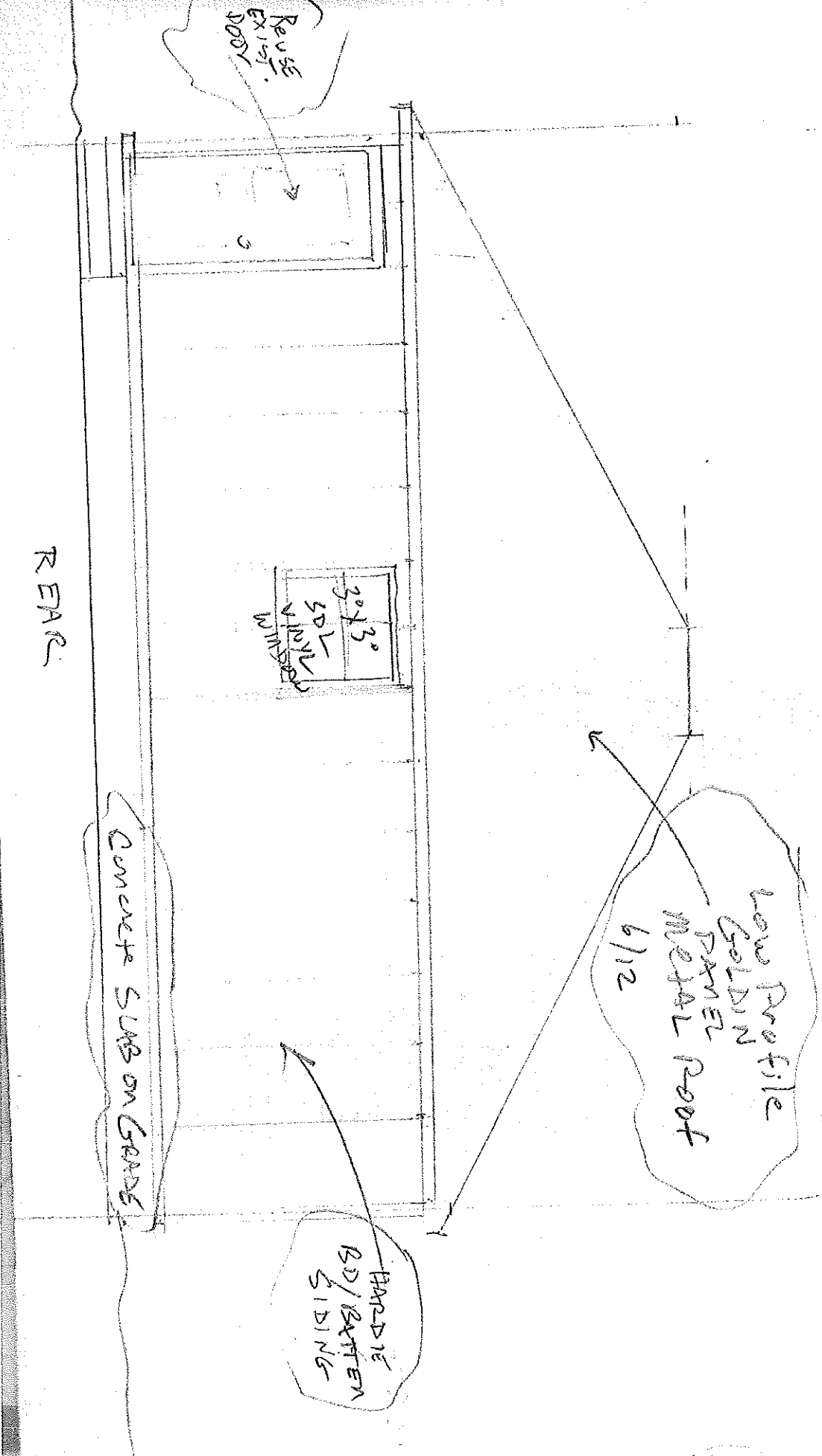
DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to consider carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.



33' X 30' WITH DEPTH

30'





REUSE EXIST. DOOR

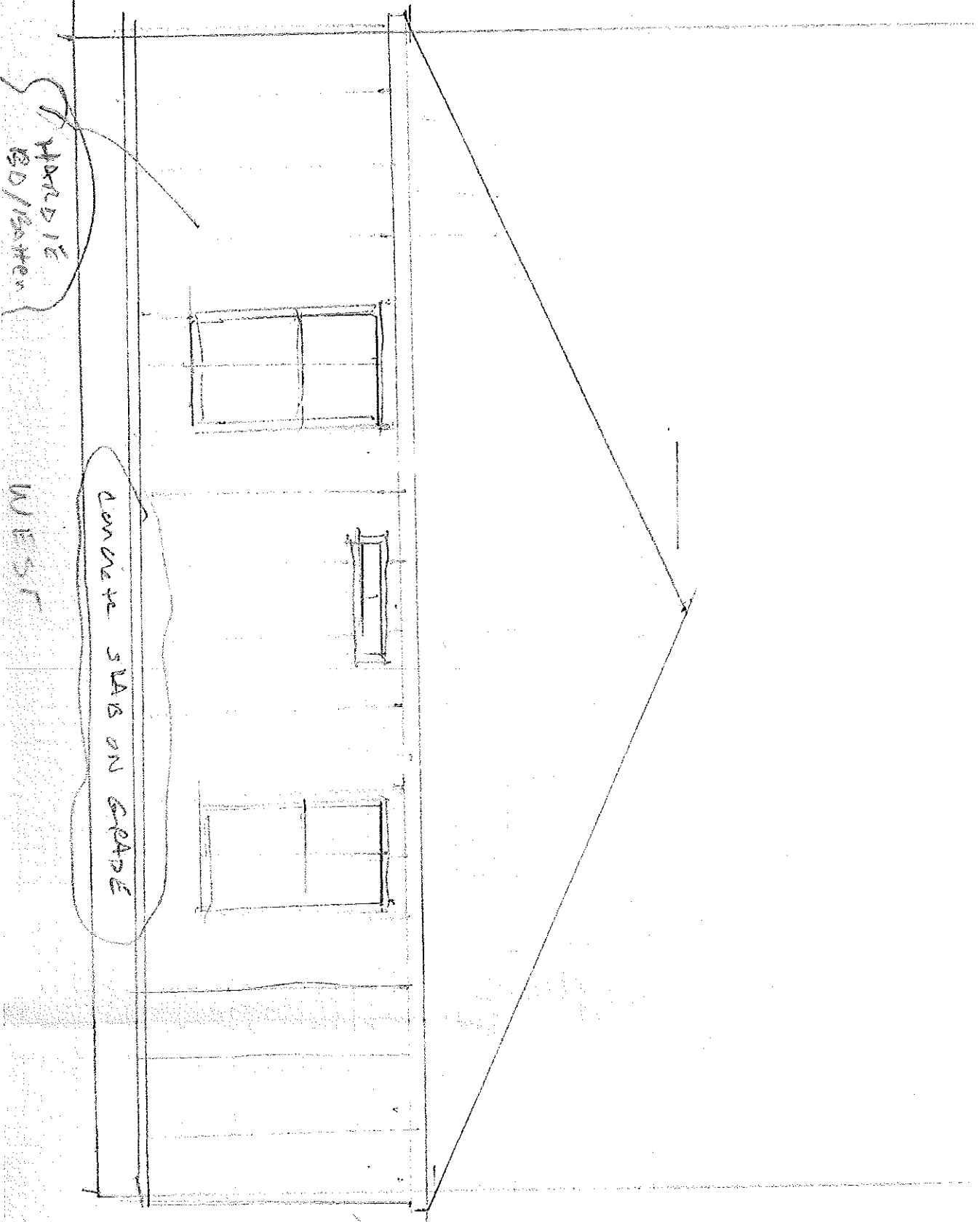
30x30 SOL WINDOW

CONCRETE SLAB ON GRADE

REAR

Low Profile GOLDEN PAPER METAL ROOF 6/12

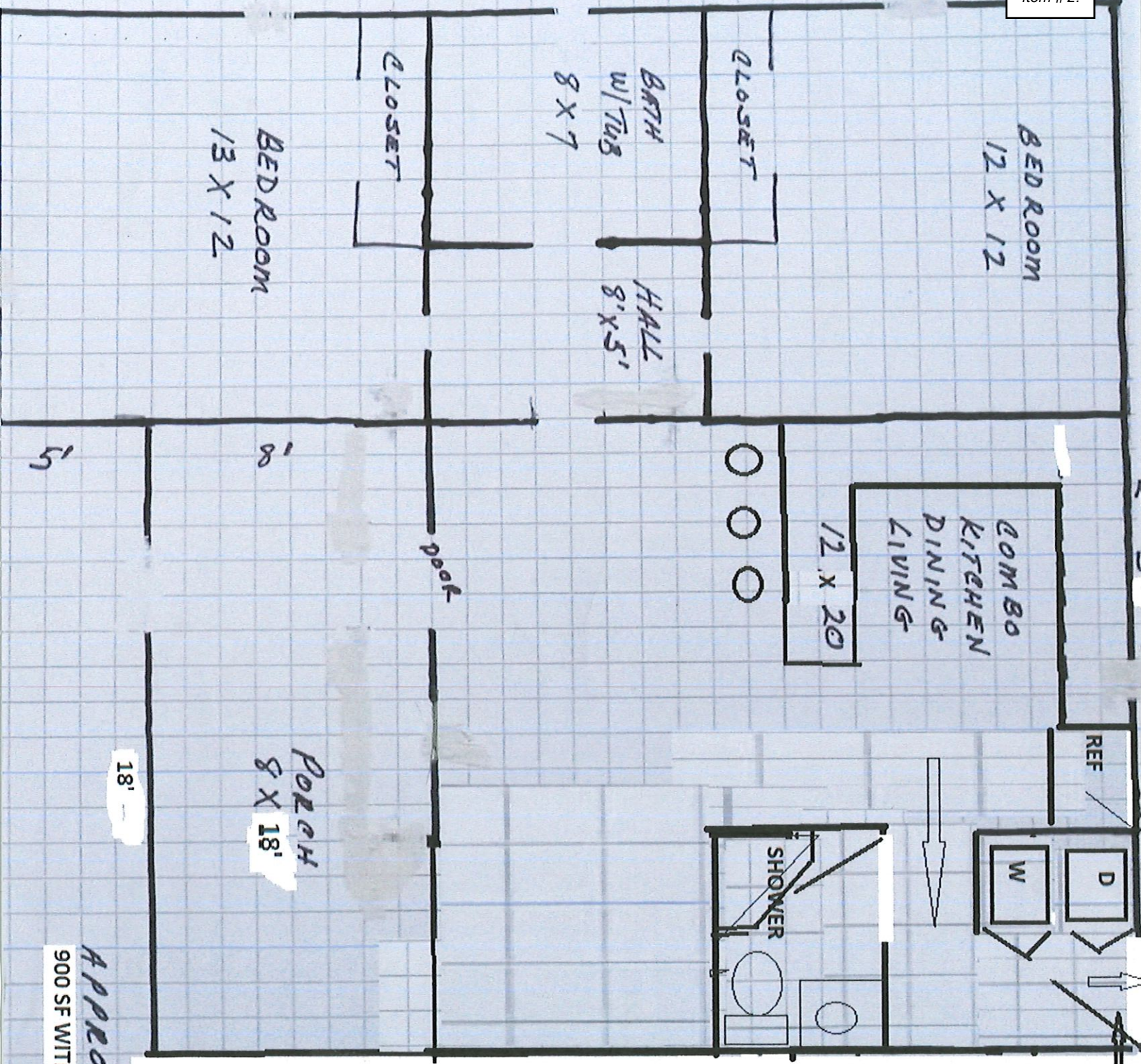
HARD 1/2 BD/BATTEN SIDING



HARDIE BOARD

CONCRETE SLAB ON GRADE

WEST



REUSE NEW DOOR

APPROX.  
900 SF WITH PORCH

12' x 12' = 144  
 8' x 7' = 56  
 8' x 5' = 40  
 12' x 20' = 240  
 8' x 18' = 144  
 18' x 5' = 90  
 144 + 56 + 40 + 240 + 144 + 90 = 674  
 674 + 226 = 900

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 135 DeMontluzin

Applicant Name: Randy Young Owner Name: "

Mailing Address: 162 Dan Drive, Eunice, LA 70535 Mailing Address: \_\_\_\_\_

Phone: 337-580-0776 Phone: \_\_\_\_\_

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

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I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner's Signature Required: Randy Young Date: 4/5/2025

Please refer to the checklist of materials required with your application  
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

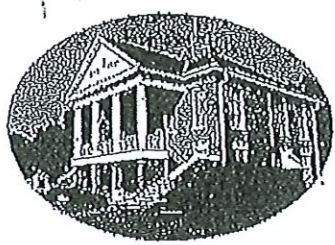
*Historic Preservation Commission / City Council Use Only*

Historic District	Case Number
Historic Preservation Commission Review #	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval	
Comments	
Requires Property Owner/Applicant Signature	
City Council Review #	
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action: _____	Review Date: _____
Comments	
(BSL Historic Preservation Commissioner) _____ (City Council Member Signature) _____	(Date) _____

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAY SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Randy Young

Address: 162 Dan Drive, Ecrite, LA 70535  
(No P.O. Boxes)

Telephone Number (337) 580-0770 Cell Number( )

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 135 Demontuzin

Give written scope of work to be performed: \_\_\_\_\_

Add an addition of new front porch  
and living space in the rear of the  
house

**NOTES:**

1. Lot location & orientation are based on recorded data and monumentation found available.
2. Bearings reference: Grid, Geoid G-2018 U7 NAD '83 State Plane Zone Mississippi East by GPS Observation. Utilizing Earl Dudley's Virtual Reference Network, INET. Convergence Angle = -0° 14' 58" & Combination Factor = 0.999977018
3. Survey considered a Class "B" survey.
4. Only visible roads, lanes, driveways, drains, utilities, etc., over and across said premises are shown hereon.
5. This survey was prepared without a current title report nor were County records researched for easements by this surveyor.

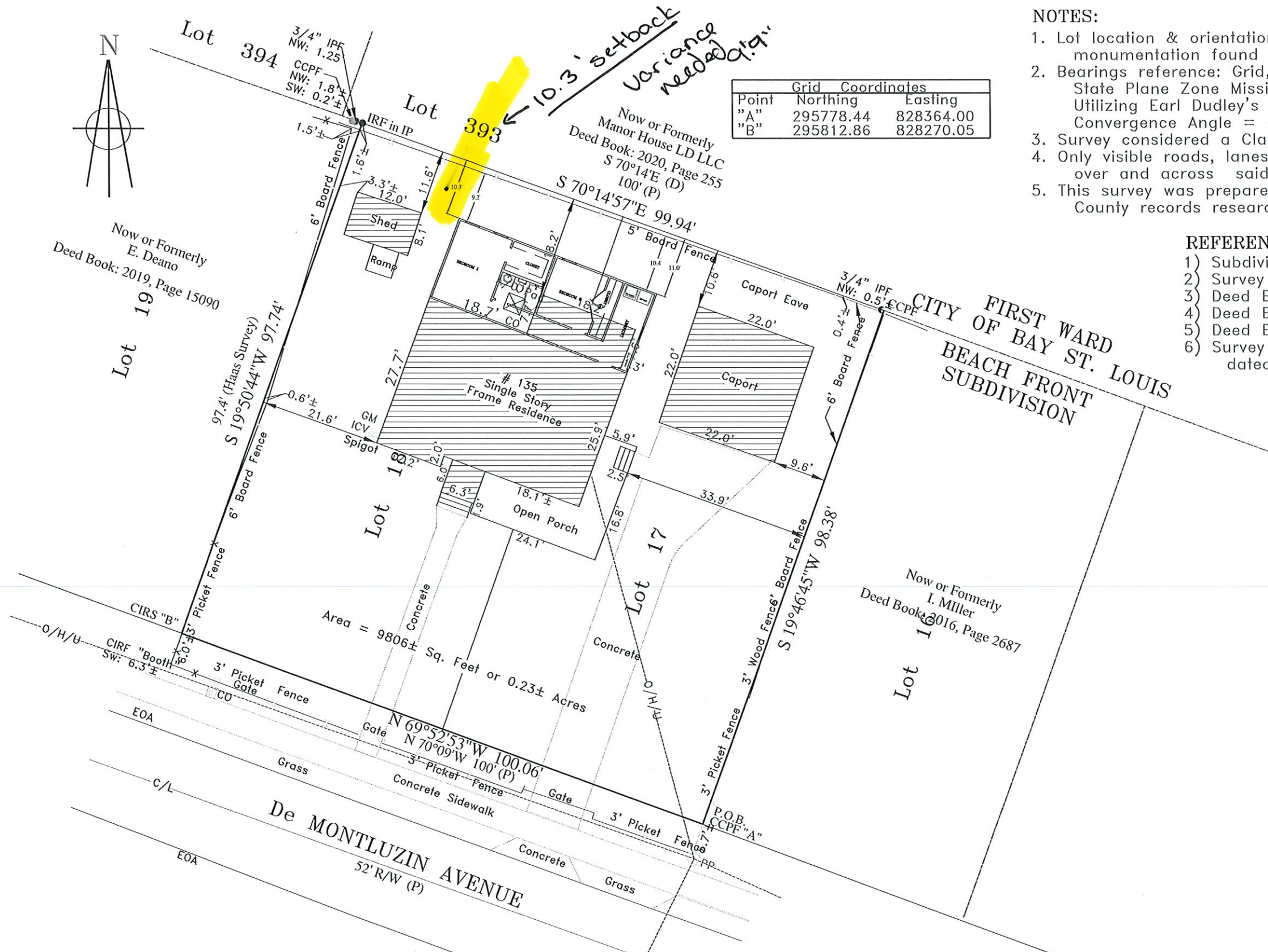
**REFERENCES:**

- 1) Subdivision Plat of Record, E-4, Page 361
- 2) Survey by J. Haas dated, 09/03/1958 (Lots 19 & 20)
- 3) Deed Book: 2023 Page: 9148
- 4) Deed Book: BB-29, Page 621 (Adds 4 ft. to depth)
- 5) Deed Book & Page: As Noted
- 6) Survey by Chiniche Engineering & Surveying dated, 11/30/2022 # 2022-284

**LEGEND:**

- IRF = 1/2" Iron Rod Found
- IPF = Iron Pipe Found
- IRS = 1/2" Iron Rod Set
- IFP = Iron Fence Post
- TPF = "T" Post Found
- IBF = Iron Bar Found
- AIF = Angle Iron Found
- C = Capped
- CCP = Concrete Post Found
- WFP = Wood Fence Post
- MNF = Magnetic Nail Found
- MNS = Magnetic Nail Set
- Ref. = Reference
- R/W = Right-Of-Way
- O/H/U = Overhead Utilities
- PP = Power Pole
- LP = Light Pole
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- TBM = Temporary Bench Mark
- ICV = Irrigation Control Valve
- DI = Drop Inlet
- FH = Fire Hydrant
- WV = Water Valve
- SMH = Sewer Man Hole
- C/L = Centerline
- EOA = Edge of Asphalt
- (P) = Plat of Record
- (D) = Deed of Record
- (R) = Record

Point	Northing	Easting
"A"	295778.44	828364.00
"B"	295812.86	828270.05



**SURVEYOR'S CERTIFICATION:**

This is to certify that I have surveyed the property herein described and delineated, and that all measurements and other data are correct to the best of my knowledge and belief.

Michael Raymond McGinnis  
Professional Surveyor  
P.L.S.- #02827  
State of Mississippi

Date \_\_\_\_\_

Rev. # 3 Date:	
Rev. # 2 Date:	
Rev. # 1 Date:	
Date:	02/04/2025
Scale:	1" = 20'
Drawn by:	dmr
Dwg. #:	006-25P1



OFFICE - (228) 467-6755  
EMAIL - admin@chiniche.com  
WEBSITE - www.chiniche.com  
407 Hwy. 90,  
BAY ST. LOUIS, MS 39520

PLAT OF SURVEY OF  
Lots 17 AND 18,  
Beach Front Subdivision,  
First Ward, City of Bay St. Louis,  
Hancock County, Mississippi

**GENERAL NOTES:**

**DISCLAIMER**

- THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATION, SHALL CONTROL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENT DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.
- AT CONSTRUCTION ISSUE, THESE DRAWING REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, BRACING METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR PERFORMING THE WORK.

**BUILDING DESIGN CRITERIA:**

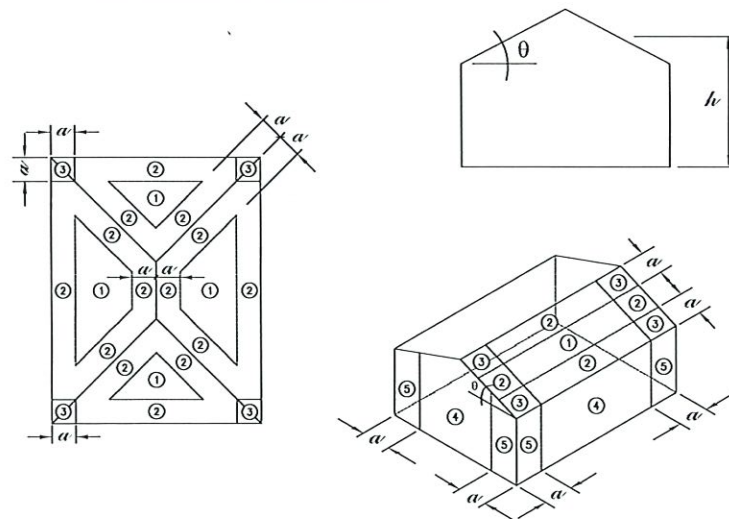
- A. CODES**
- 2018 INTERNATIONAL RESIDENTIAL CODE  
 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)  
 BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 531)  
 ASCE 7-16
- B. DESIGN LOADS**
- FLOOR DEAD LOAD 20 PSF  
 FLOOR LIVE LOAD 40 PSF  
 ROOF DEAD LOAD 16 PSF  
 ROOF LIVE LOAD 20 PSF - REDUCIBLE
- C. WIND LOADS PER ASCE 7-16 & 2018 IBC**  
 RISK CATEGORY II  
 ULTIMATE DESIGN WIND SPEED,  $V_{ult} = 160$  MPH  
 NOMINAL DESIGN WIND SPEED,  $V_{end} = 124$  MPH \*  
 EXPOSURE CATEGORY = C  
 MEAN ROOF HEIGHT,  $h = \pm 30$  FEET  
 ADJUSTMENT FACTOR FOR HEIGHT AND EXPOSURE,  $\lambda = 1.40$   
 TOPOGRAPHIC FACTOR,  $K_{zt} = 1.00$   
 $\alpha = \pm 3$  FEET  
 ROOF SLOPE,  $\theta = \frac{1}{2} = 14.0^\circ$

COMPONENTS AND CLADDING DESIGN PRESSURES \*\*  
 REFERENCE: FIGURE 30.5-1 & SECTION 30.5.2 OF ASCE 7-16

ZONE	TRIB. AREA	COMPONENT PRESSURE		
		POSITIVE (+)	NEGATIVE (-)	
ROOF	10	+22.7	-36.0	
	20	+20.7	-35.0	
	50	+18.1	-33.7	
	100	+16.0	-32.5	
	2	10	+22.7	-62.7
		20	+20.7	-57.7
		50	+18.1	-51.1
		100	+16.0	-46.1
	3	10	+22.7	-92.7
		20	+20.7	-86.7
		50	+18.1	-78.7
		100	+16.0	-72.7
4	10	+39.3	-42.7	
	20	+37.5	-40.9	
	50	+35.3	-38.5	
	100	+33.5	-36.8	
WALL	10	+39.3	-52.6	
	20	+37.5	-49.1	
	50	+35.3	-44.5	
	100	+33.5	-40.9	

REFERENCE FIGURES BELOW:

DESIGN ALL WINDOWS AND DOORS AS IMPACT RESISTANCE FOR PRESSURE ABOVE



**DESIGN WIND LOAD NOTES:**

- \* REFERENCE SECTION 1609.3.1 AND/OR TABLE 1609.3.1 OF THE 2018 INTERNATIONAL BUILDING CODE FOR CONVERSION OF  $V_{ult}$  TO  $V_{as}$
- \*\* SHOWN IN THIS TABLE ARE NET DESIGN WIND PRESSURES,  $P_{net}$ , DETERMINED PER SECTION 30.5.2 OF ASCE 7-16. THESE PRESSURES ARE BASED ON ULTIMATE WIND SPEED,  $V_{ult}$ , PER FIGURE 26.5-1A AND SHALL BE APPLIED NORMAL TO EACH BUILDING SURFACE AS SHOWN IN FIGURE 30.5-1.
- NOTE THAT WIND LOAD DERIVED USING THESE PRESSURES WILL BE REDUCED BY A FACTOR OF 0.6 IF ALLOWABLE STRESS DESIGN COMBINATIONS ARE USED IN ACCORDANCE WITH SECTION 2.4.1 OF ASCE 7-16.
- \*\*\* MINIMUM NET DESIGN WIND PRESSURE PER ASCE 7-16 SECTION 30.2.2.

**LUMBER**

- UNLESS NOTED OTHERWISE, ALL LUMBER SHALL BE #2 KD SOUTHERN YELLOW PINE OR #2 SPRUCE PINE FIR WITH A MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. ALL LUMBER EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE PRESSURE TREATED.
- EXTERIOR LOAD-BEARING STUD FRAMING SHALL BE NO. 2 SYP OR SPF:  $F_b=1000$ ,  $E=1400$  KSI.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALL SHEATHING TO BE 15/32" PLYWOOD ATTACHED DIRECTLY TO WALL FRAMING MEMBERS. BLOCK ALL PANEL EDGES AND NAIL WITH 8d COMMON NAILS @ 4"o.c. AT ALL PANEL EDGES, BLOCKING, AND TOP & BOTTOM PLATES WITH FIELD NAILING @ 12"o.c.
- ALL PLYWOOD PANELS SHALL BE INSTALLED IN ACCORDANCE WITH APA RECOMMENDATIONS AND RELATED SPECIFICATIONS. ORIENTED STRAND BOARD "OSB" MAY BE SUBSTITUTED FOR PLYWOOD WHERE APPROVED BY THE ARCHITECT/ENGINEER AND PROVIDED THE PANELS CONFORM TO THE APPROPRIATE APA RATINGS FOR THE INTENDED APPLICATION.
- PROVIDE A MINIMUM OF 2 STUDS NAILED TOGETHER BENEATH ALL HEADERS UNLESS NOTED OTHERWISE. USE AT LEAST 2-2x10 HEADER FOR ALL OPENINGS UP TO 4'-0" WIDE IN BEARING WALLS. USE AT LEAST 3-2x10 HEADER FOR ALL OPENINGS UP TO 8'-0" WIDE IN BEARING WALLS.
- ALL MULTIPLE PIECE WOOD BEAMS SHALL BE CONNECTED TOGETHER WITH MINIMUM TWO ROWS OF 16d NAILS @ 12"o.c. (U.N.O.).
- AS A MINIMUM, ANCHOR AND NAIL FRAMING SHALL COMPLY WITH "TABLE 2304.9.1 - FASTENING SCHEDULE" OF THE 2018 INTERNATIONAL BUILDING CODE.
- ALL BOLTS, NAILS, JOIST HANGERS, CLIPS, STRAPS, ETC. THAT ARE IN CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL CONNECTORS AND HARDWARE SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SIZE, QUANTITY, AND LOCATION OF NAILS AND FASTENERS SHALL CONFORM TO THE MANUFACTURER'S PUBLISHED LITERATURE.

**FOUNDATIONS:**

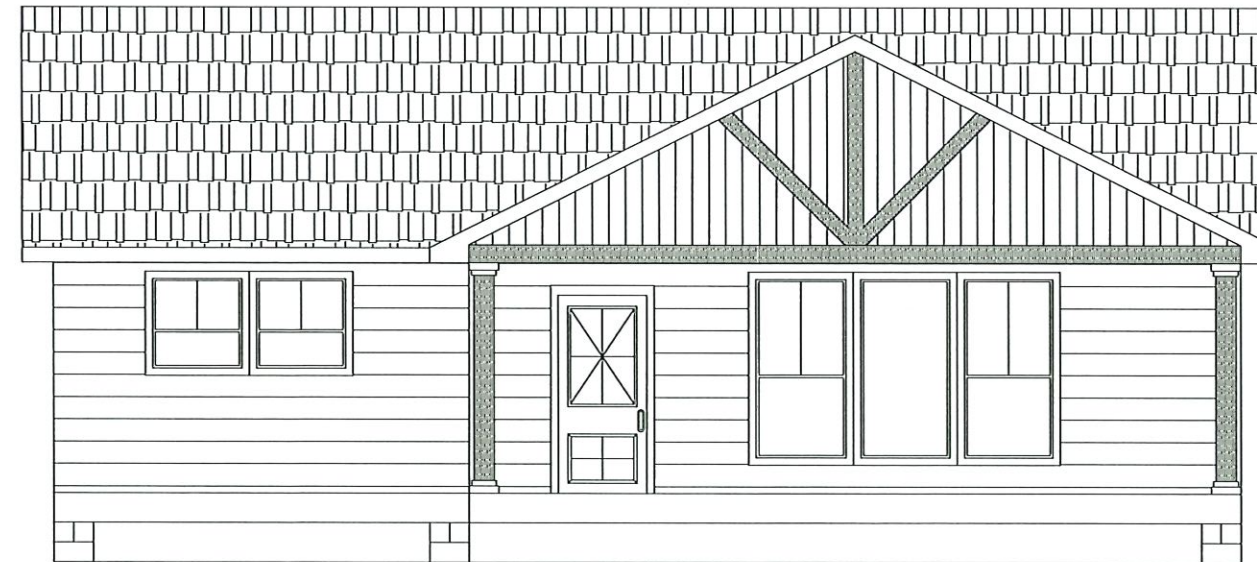
- NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN, AND SHALL REPORT UNEXPECTED CONDITIONS TO THE DESIGNER.
- ALL FOOTINGS, OR PORTIONS THEREOF, BELOW GRADE MAY BE EARTH FORMED BY NEAT EXCAVATIONS.
- FOOTINGS TO BE CENTERED ON WALLS OR COLUMNS UNLESS NOTED OTHERWISE.
- ALLOWABLE SOIL BEARING = 1500 psf
- COMPACT ALL SOILS BELOW SLAB AND FOOTINGS 95% STANDARD PROCTOR DENSITY.
- ALL SOIL FILL TO BE PLACED IN 8" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

**CONCRETE WORK:**

- CONCRETE (NORMAL WEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI UNLESS NOTED.
- ALL REINFORCING SHALL MEET ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.
- CONCRETE COVERAGE OF REINFORCEMENT SHALL BE:  
 FOOTINGS 3" BOTTOM AND SIDES  
 WALLS 1 1/2"  
 SLABS 3/4"  
 PEDESTALS 1 1/2" CLEAR OF TIES
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
- PORTLAND CEMENT SHALL CONFORM TO ASTM C 150, TYPE I OR II.
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C 33.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED PER CRSI AND ACI STANDARDS, INCLUDING CONCRETE COVER AND BAR SUPPORTS. LAP BARS AT ALL SPLICES, INCLUDING CORNER BARS AND DOWELS, IN ACCORDANCE WITH SPLICE SCHEDULE OR IN LIEU THEREOF 40 BAR DIAMETERS. LAP WWF 6" OR ONE FULL MESH, WHICHEVER IS GREATER.

**WIND BORNE DEBRIS PROTECTION FOR EXTERIOR WINDOWS IRC 2018**

- WINDOWS TO BE DESIGNED FOR A DESIGN WIND PRESSURE OF  $\pm 40$  PSF, REFERENCE CHART.
- \*THE CONTRACTOR SHALL PROVIDE PLYWOOD PROTECTION FOR THE EXTERIOR WINDOWS IN ACCORDANCE WITH R613.4 WIND BORNE DEBRIS PROTECTION IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- THE CONTRACTOR SHALL PROVIDE WIND BORNE DEBRIS FASTENERS FOR THE WOOD STRUCTURAL PANELS IN ACCORDANCE WITH TABLE R301.2.1.2 IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- THE CONTRACTOR SHALL PROVIDE WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 1/2" AND A MAXIMUM SPAN OF 8 FEET IN ACCORDANCE WITH R301.2.1.2 INTERNAL PRESSURES IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- \*AN OPTION TO THE PLYWOOD PROTECTION, THE CONTRACTOR MAY USE IMPACT RESISTANT WINDOWS.



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**STRUCTURAL NOTES**  
**NECAISE DESIGN**  
 228-493-1046

Revisions	date	description

PLANS FOR  
 RANDY YOUNG  
 RESIDENCE

DRAWN BY : HN

DATE: 1-2-25

SCALE NONE

SHEET NUMBER :

**1**

NECAISE DESIGN  
 ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x8"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-6"
	16.0	18'-10"
	19.2	16'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)		
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-8"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-8"
	24.0	14'-9"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R602.5.1 (2)		

# FRONT ELEVATION



Item # 3.

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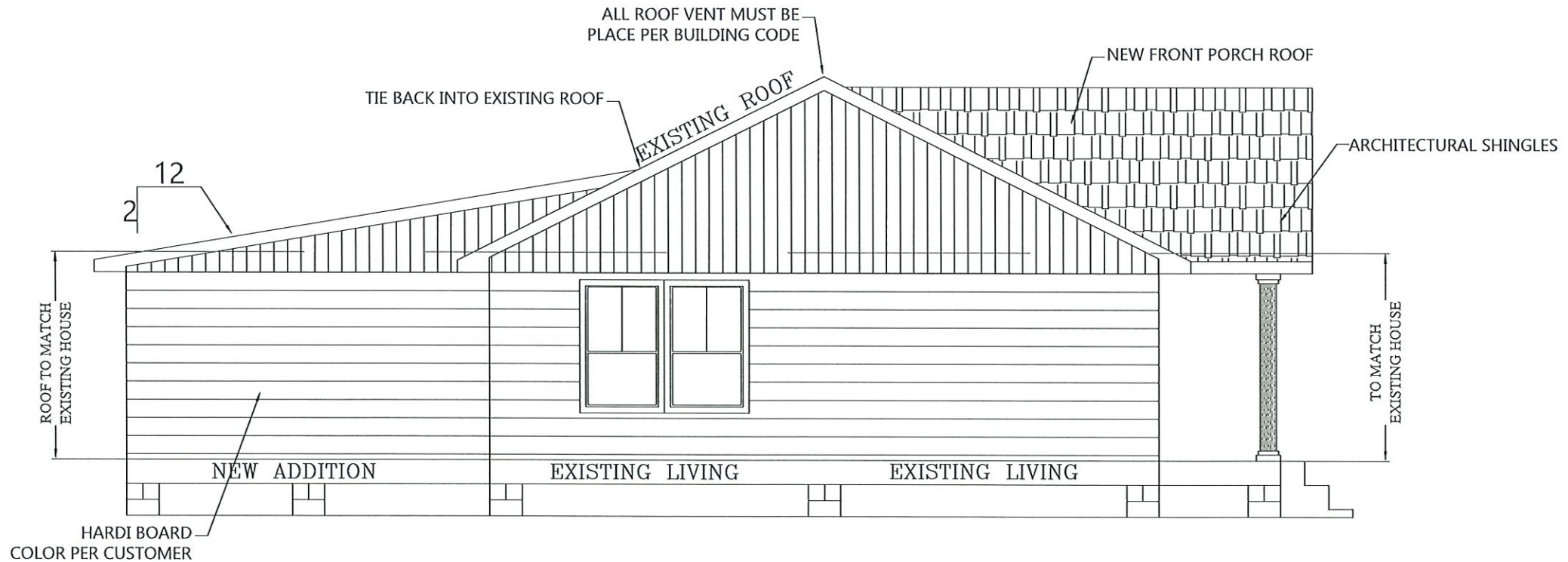
ELEVATION

NECAISE DESIGN

228-493-1046

- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND PHA/VA MPS.
  2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
  3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
  4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
  5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
  6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
  7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION(CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS )
  8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
  9. ALL STRAPPING MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
  10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AND 140 MPH 3 SECOND GUST.
  11. ALL 6" GUTTERS WILL BE PER CUSTOMER

# LEFT ELEVATION



Revisions

date	description

PLANS FOR  
RANDY YOUNG  
RESIDENCE

DRAWN BY : HN

DATE: 1-2-25

SCALE 3/8" = 1'-0"

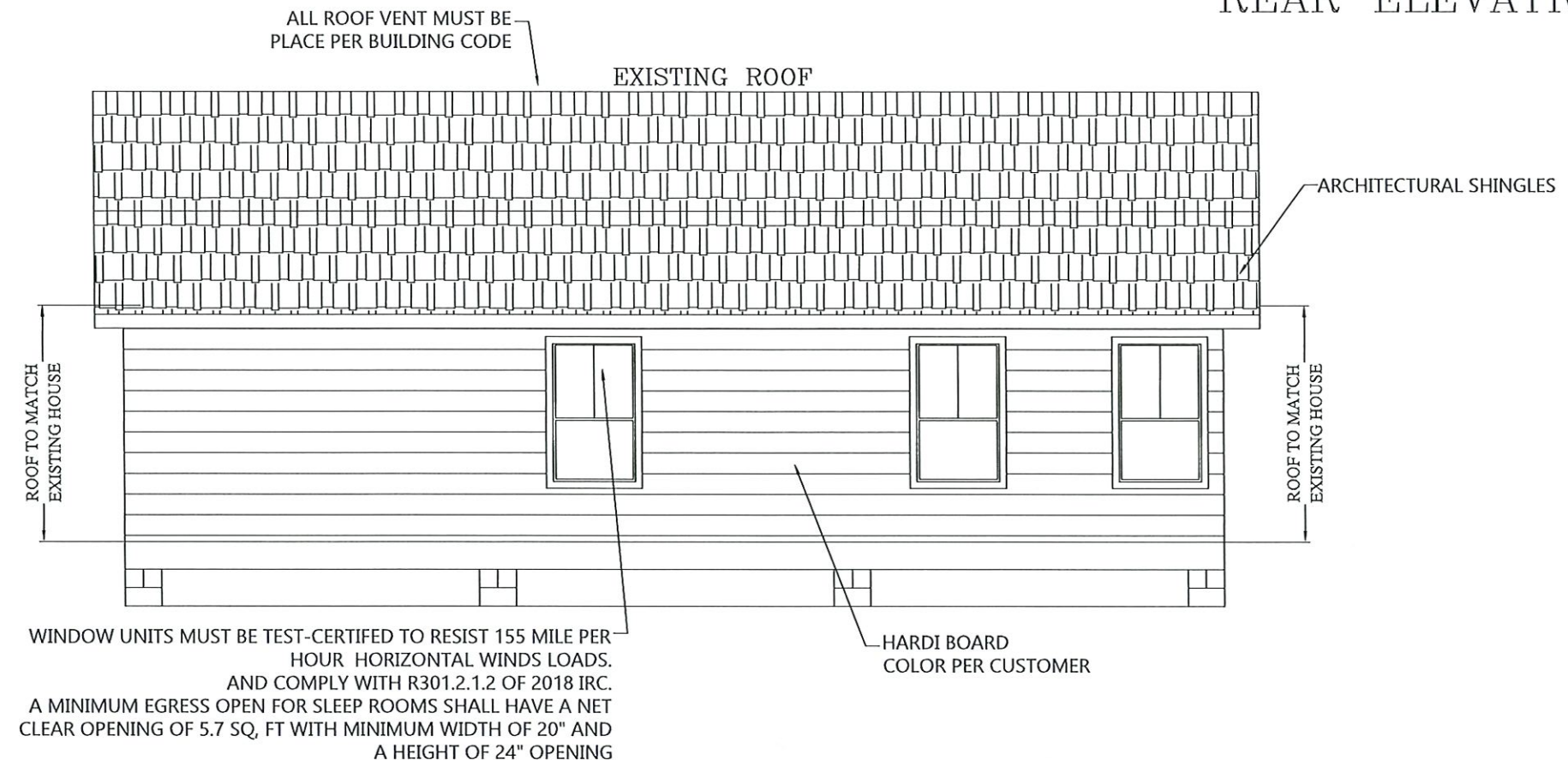
SHEET NUMBER :

2

NECAISE DESIGN  
ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x8"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)		
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	16'-3"
	19.2	13'-11"
	24.0	12'-6"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.6.1 (2)		

## REAR ELEVATION



Item # 3.

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ELEVATION  
NECAISE DESIGN  
228-493-1046

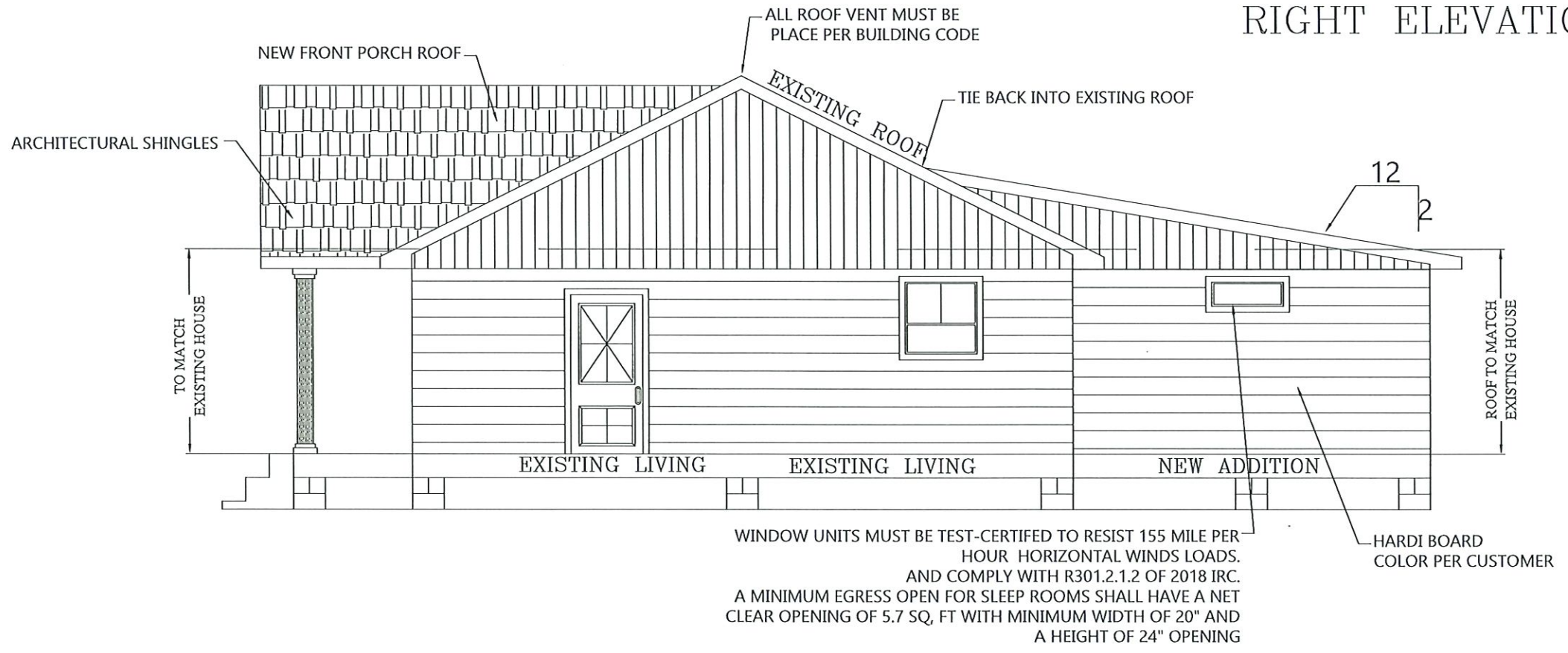
Revisions	date	description

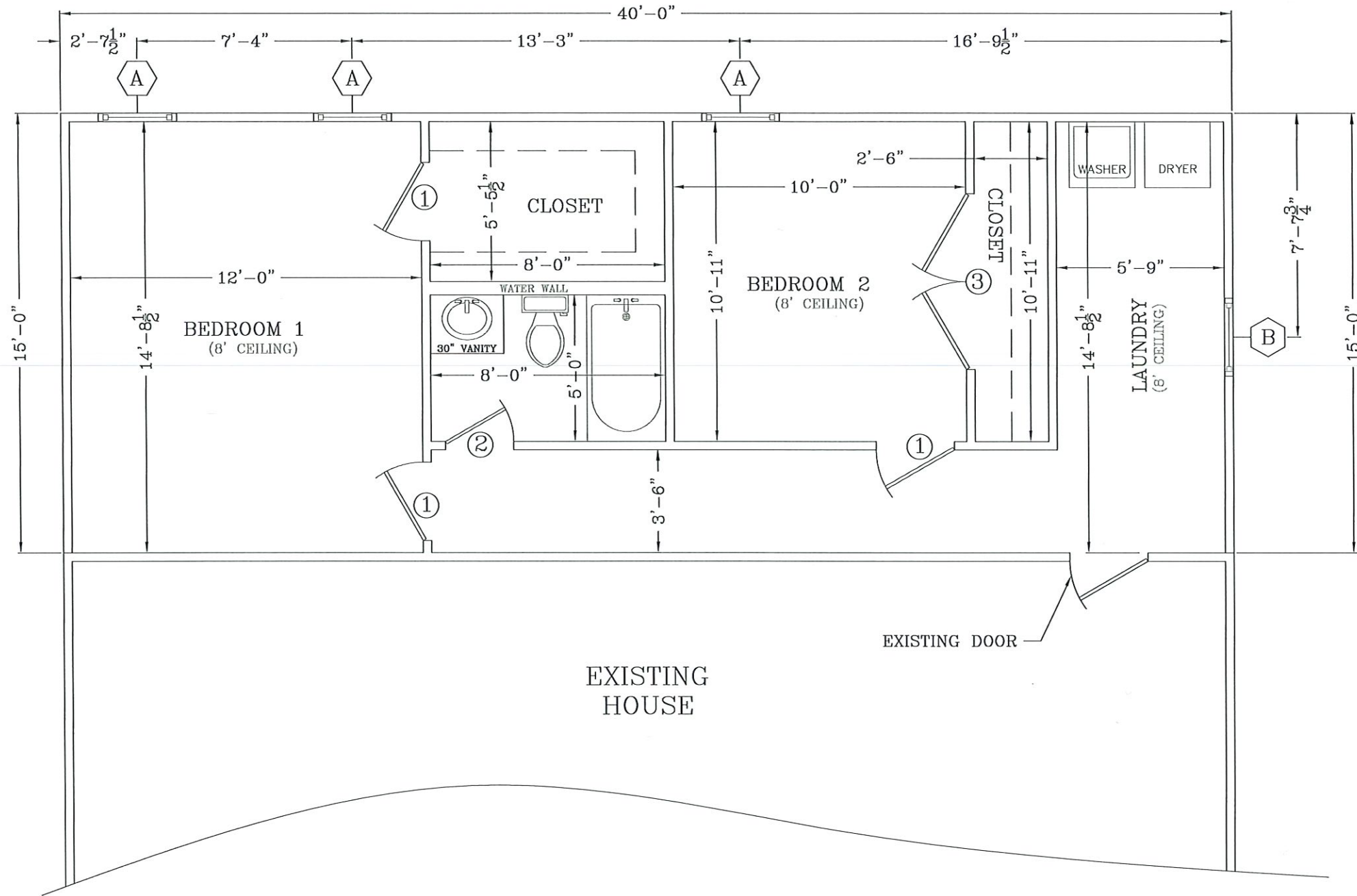
PLANS FOR  
RANDY YOUNG  
RESIDENCE

DRAWN BY : HN  
DATE: 1-2-25  
SCALE 3/8" = 1'-0"  
SHEET NUMBER :  
**2A**  
NECAISE DESIGN  
ALL RIGHTS RESERVED

- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND PHA/VA MPS.
  2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
  3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
  4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
  5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
  6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
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  8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES.METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
  9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUARED PRIOR TO COVERING.
  10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AND 140 MPH 3 SECOND GUST.
  11. ALL 6" GUTTERS WILL BE PER CUSTOMER

## RIGHT ELEVATION





DOOR SCHEDULE	
MK	DESCRIPTION
1	2'-8" X 6'-8" INT. DOOR UNIT
2	2'-4" X 6'-8" INT. DOOR UNIT
3	3'-0" X 6'-8" INT. DOUBLE DOOR UNIT
4	
5	

WINDOW SCHEDULE	
MK	DESCRIPTION
A	3'-0" X 5'-0" WINDOW
B	3'-0" X 1'-0" WINDOW

NOTES:  
 1) ALL WALLS 2" X 4"  
 UNLESS OTHER WISE NOTED

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FLOOR & ELECTRICAL PLAN  
 NECAISE DESIGN  
 228-493-1046

Revisions	
date	description

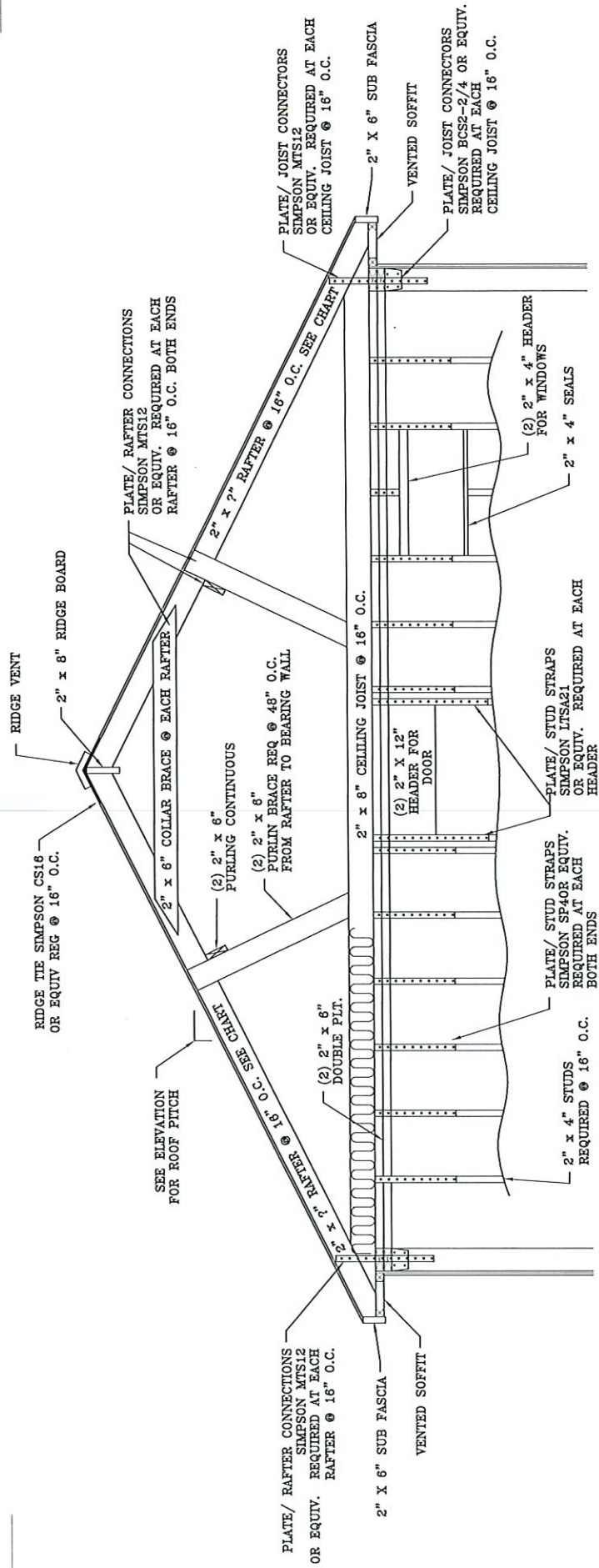
PLANS FOR  
 RANDY YOUNG  
 RESIDENCE

DRAWN BY : HN  
 DATE: 1-2-25  
 SCALE 1/2" = 1'-0"  
 SHEET NUMBER :

3

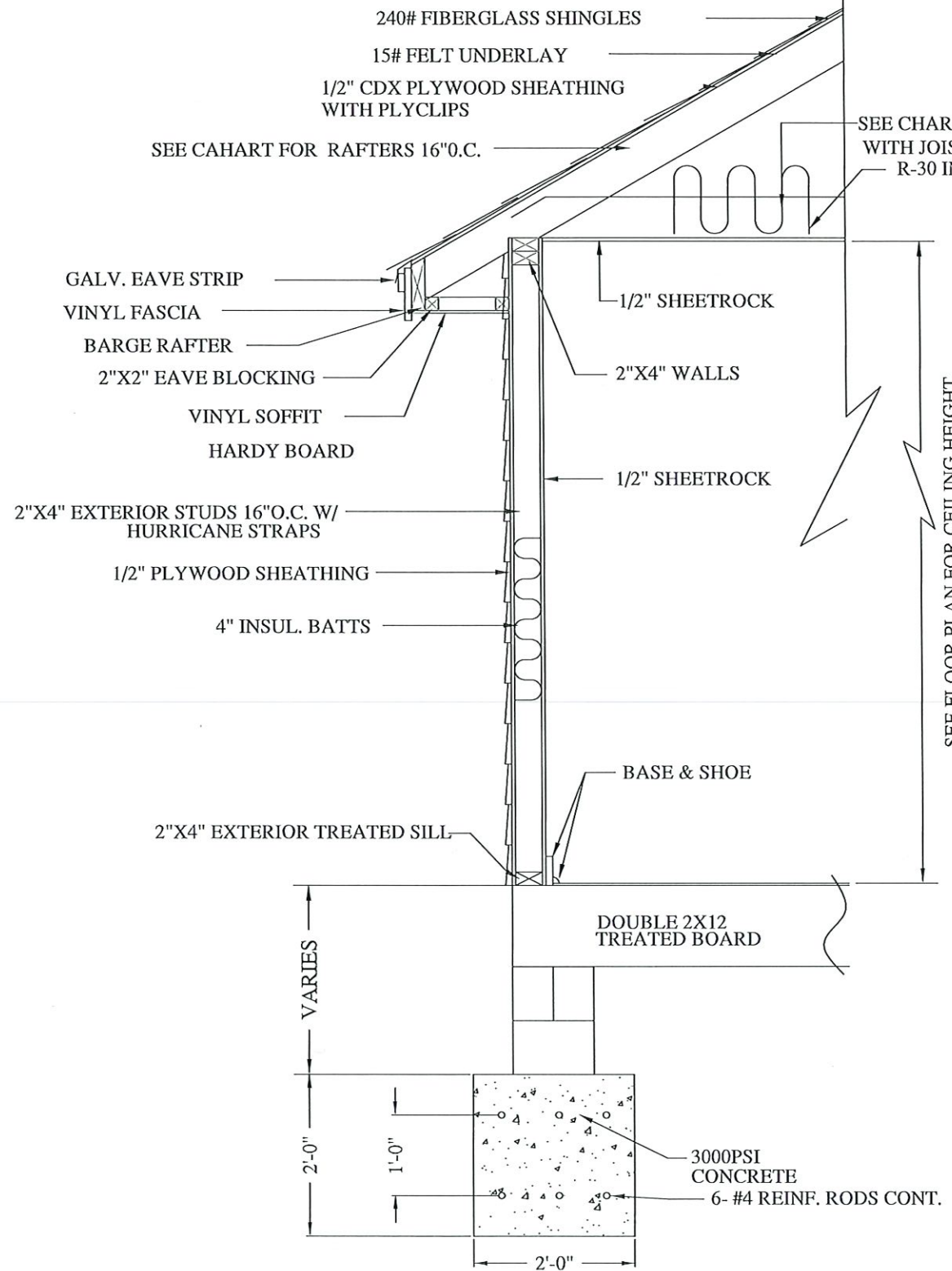
NECAISE DESIGN  
 ALL RIGHTS RESERVED

Item # 3.



**NOTES:**

- 1) ALL CONSTRUCTION TO MEET OR EXCEEDS LOCAL, STATE, AND FEDERAL BUILDING CODES
- 2) CONTRACTOR TO CHECK AND ASSUME RESPONSIBILITY OF ALL DIMENSIONS.
- 3) GALVANIZED FRAMING CONNECTORS REQUIRED FOR WIND RESISTANCE AS PER LOCAL BUILDING CODE.



**COLUMN DETAIL**

Item # 3.

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**FOUNDATION & WALL DETAILS**  
**NECAISE DESIGN**  
 228-493-1046

Revisions	
date	description

**PLANS FOR RANDY YOUNG RESIDENCE**

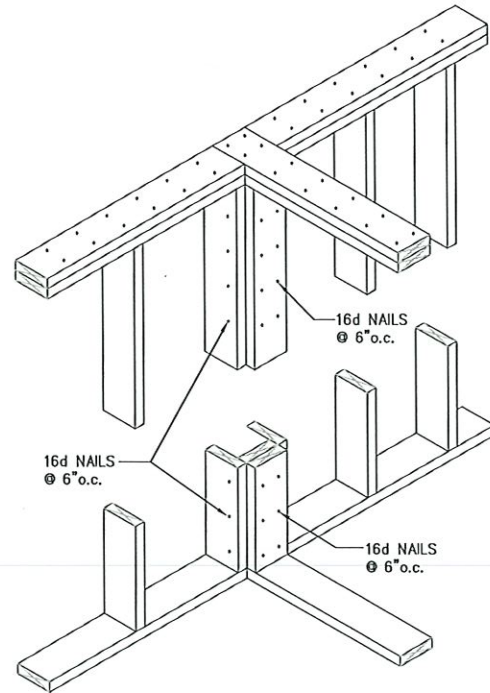
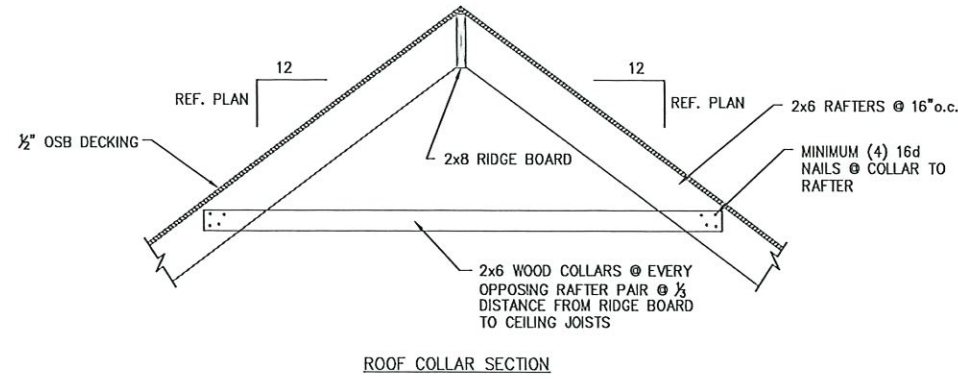
DRAWN BY : HN  
 DATE: 1-2-25  
 SCALE NONE  
 SHEET NUMBER : **4**  
 NECAISE DESIGN ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-6"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

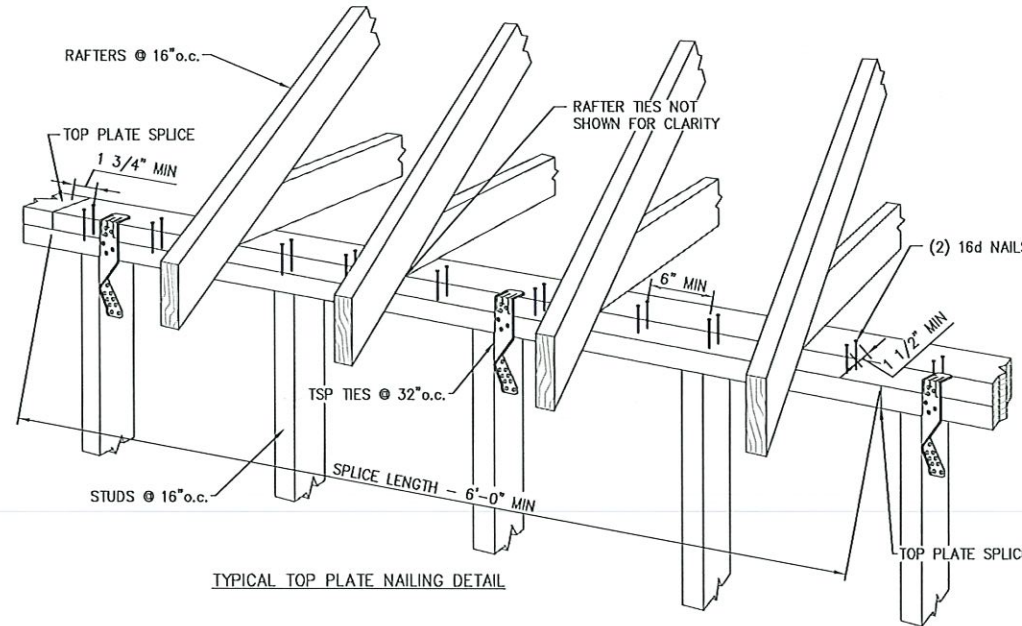
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (9)

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	16'-3"
	19.2	15'-11"
	24.0	12'-8"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"

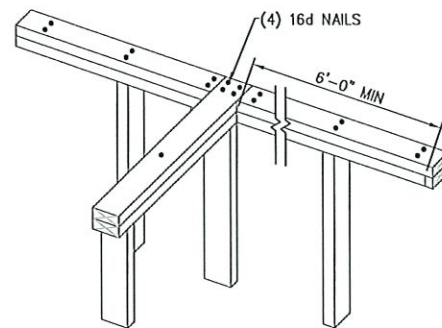
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)



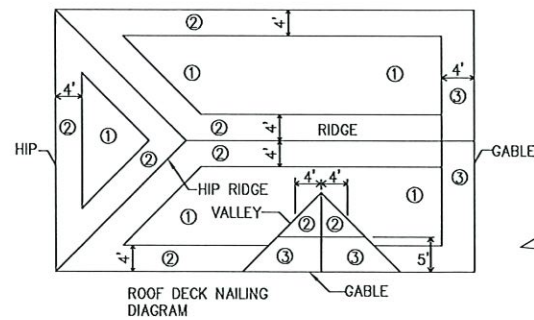
TOP & BTM PLATE INTERSECTION DETAIL



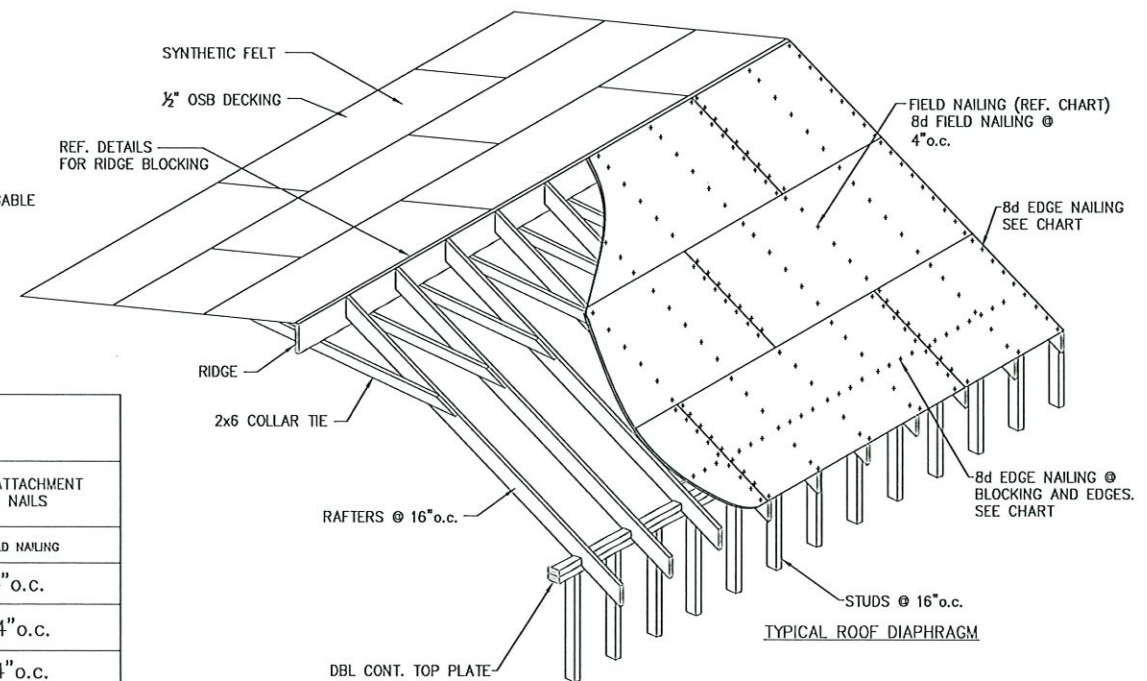
TYPICAL TOP PLATE NAILING DETAIL



TOP PLATE INTERSECTION DETAIL



ROOF SHEATHING ATTACHMENT REQUIREMENTS				
THREE SECOND GUST, 124 MPH (ASD) 160 MPH (ULT) WIND SPEED		STRUCTURAL SHEATHING ATTACHMENT WITH 8d RING SHANK NAILS		
	RAFTER/TRUSS SPACING (INCHES o.c.)	EDGE NAILING	FIELD NAILING	
①	INTERIOR ZONE	16" o.c.	4" o.c.	4" o.c.
②	PERIMETER/EDGE ZONE	16" o.c.	4" o.c.	4" o.c.
③	GABLE ENDWALL RAKE OR RAKE TRUSS W/LOOKOUTBLOCK	4" o.c.	4" o.c.	4" o.c.



TYPICAL ROOF DIAPHRAGM

- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
  2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
  3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
  4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
  5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
  6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
  7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION( CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS )
  8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFT'S/ELEVATORS,ETC.)
  9. ALL STRAPPING MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
  10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
  11. ALL 6" GUTTERS WILL BE PER CUSTOMER

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC, ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

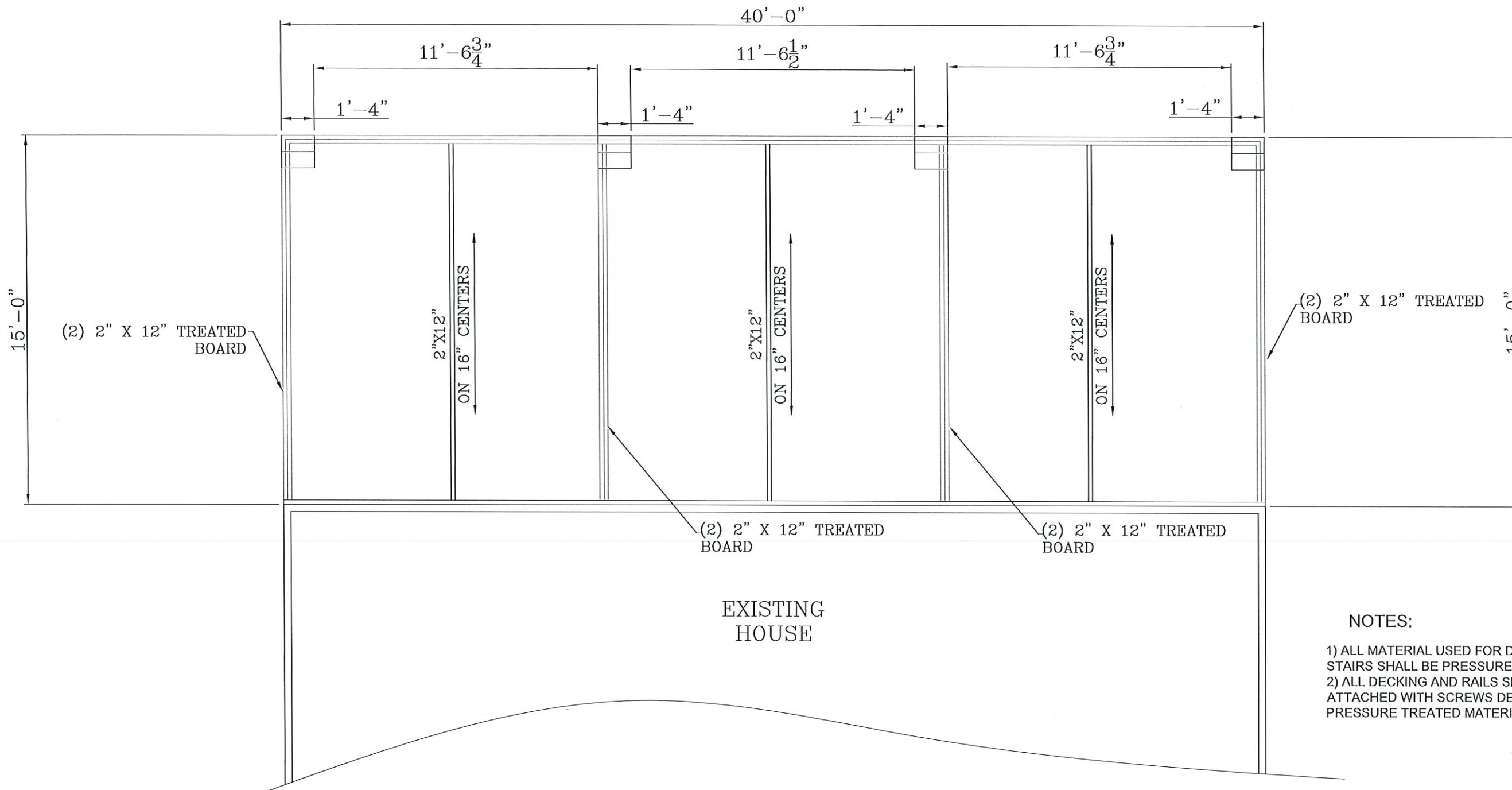
FOUNDATION & WALL DETAILS  
NECAISE DESIGN  
228-493-1046

Revisions	description
date	

PLANS FOR  
RANDY YOUNG  
RESIDENCE

DRAWN BY : HN  
DATE: 1-2-25  
SCALE NONE  
SHEET NUMBER :  
**4A**  
NECAISE DESIGN  
ALL RIGHTS RESERVED

Item # 3.



**NOTES:**  
 1) ALL MATERIAL USED FOR DECKING & STAIRS SHALL BE PRESSURE TREATED  
 2) ALL DECKING AND RAILS SHALL BE ATTACHED WITH SCREWS DESIGNED FOR PRESSURE TREATED MATERIAL

Item # 3.

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

BEAM PLAN	
NECAISE DESIGN 228-493-1046	

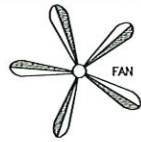
Revisions	
date	description

PLANS FOR  
RANDY YOUNG  
RESIDENCE

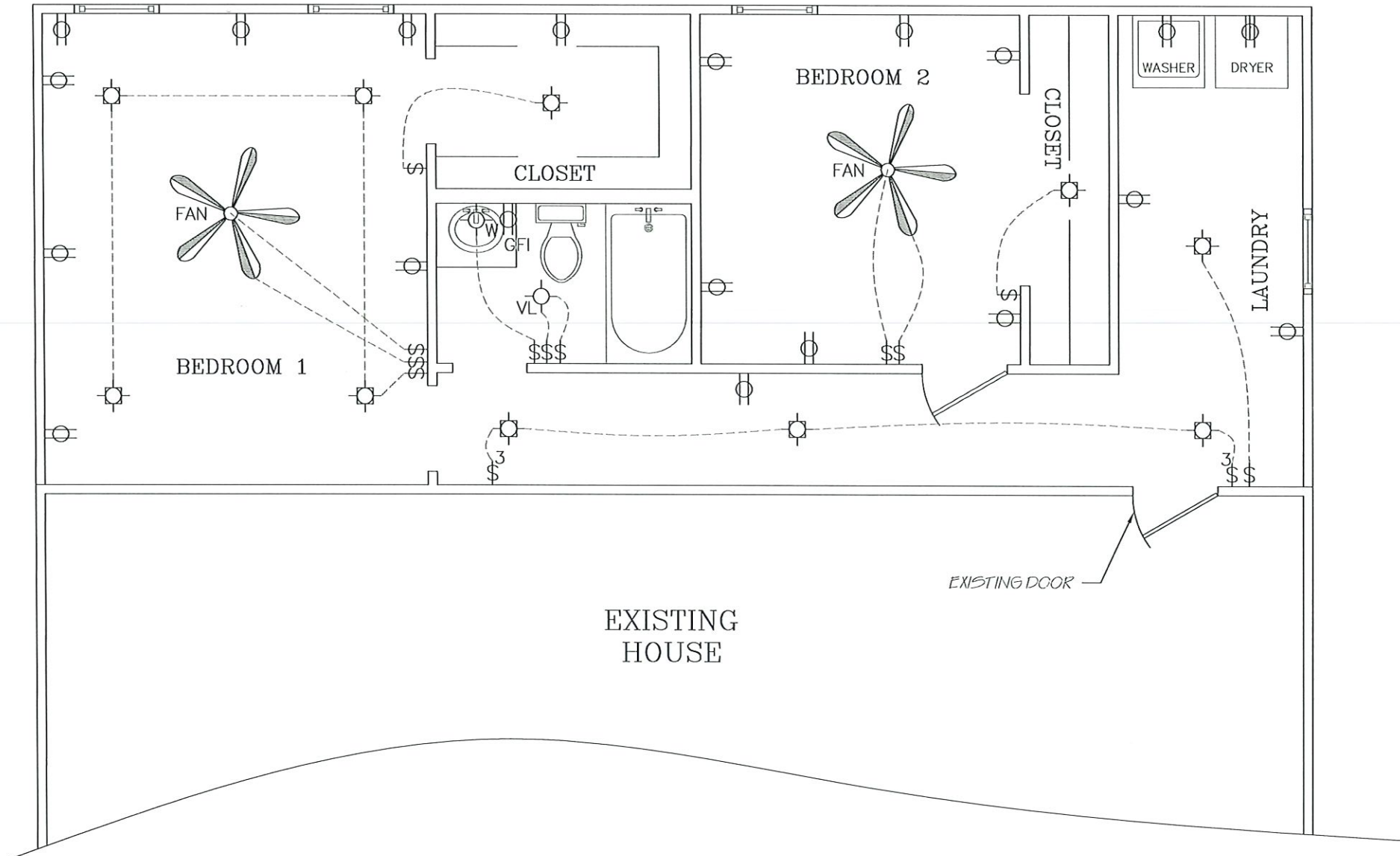
DRAWN BY : HN  
 DATE: 1-2-25  
 SCALE 1/2" = 1'-0"  
 SHEET NUMBER :

NECAISE DESIGN  
ALL RIGHTS RESERVED

ELECTRICAL SCHEDULE	
SYM	DESCRIPTION
⊗	SOFFIT MOUNTED FLOOD LIGHT
	EACH TO BE ON SEPARATE SWITCH AND CIRCUIT.
⊗	115V DUAL WALL RECEPT. 6" ABOVE CTR. BACKSPASH TO CEN.
⊗	115V DUAL WALL RECEPTACLE
⊗ <sup>FLR</sup>	115V DUAL FLOOR MOUNTED RECEPTACLE
⊗	115V DUAL WALL RECEPTACLE SOFFIT MOUNTED GFI
⊗	115V DUAL RECEPTACLE SPLIT-WIRED
⊗ <sup>WP</sup>	115V DUAL WALL RECEPTACLE WEATHERPROOF GND. FAULT INT.
⊗ <sup>GFI</sup>	115V DUAL WALL RECEPTACLE GROUND-FAULT INTERRUPT
⊗ <sup>OC</sup>	115V DUAL WALL RECEPTACLE MOUNTED ABOVE KIT. WALL CABS.
⊗	220V SINGLE WALL RECEPTACLE
⊗	115V WALL SWITCH
⊗ <sup>3</sup>	115V WALL SWITCH 3 WAY
⊗	CEILING LIGHT FIXTURE
⊗	CEILING LIGHT FIXTURE BRACED FOR FAN AND LIGHT
⊗ <sup>V</sup>	CEILING LIGHT FIXTURE VENT-LIGHT
⊗	LIGHT FIXTURE RECESSED DOWN LIGHT
⊗ <sup>P</sup>	CEILING LIGHT FIXTURE PENDANT W/ EXTRA BRACING
⊗ <sup>W</sup>	WALL MOUNT LIGHT FIXTURE
⊗ <sup>WP</sup>	WATERPROFF LIGHT FIXTURE
▷	TELEVISION CABLE WALL JACK
P▷	TELEPHONE WALL JACK
FIRE▷	SMOKE DETECTOR
⊗ <sup>CL</sup>	KEYED CHANDELIER LIFT SWITCH
CMD▷	CARBON MONOXIDE DETECTOR



CEILING LIGHT FIXTURE  
BRACED FOR  
FAN AND LIGHTING



- NOTES:
- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
  - 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
  - 3) WATER HEATER AND HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR.
  - 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
  - 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
  - 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301.M1401 AND M1601.
  - 7) 24" WIDE WALK REQUIRED FROM ATTIC ACES TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
  - 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E36014, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
  - 9) ALL RECEPTACLES LOCATED BELOW 5'-6" TO BE TAMPER RESISTANT UNLESS DEDICATED TO A SPECIFIC APPLANCE.
  - 10) PANELS TO BE PLACE PER CUSTOMER
    - 220 & 110 FOR A/C
    - 220 FOR WATER HEATER (SEPARATE BREAKER)
    - 220/110 FUTURE FLEV.
  - 11) ALL ELECTRICAL BELOW BFE, MUST BE FOR WET LOCATION
  - 12) NO DISCONNECTION BELOW BFE; METER CAN ONLY
  - 13) BOTH METER CAN AND MAIN DISCONNECT MAY BE UP ON PORCH
  - 14) ALL 125V 15/20 AMP CIRCUITS SERVING BEDROOM MUST BE
    - ARC-FAULT PROTECTED INCLUDING S/D'S
  - 15) SEC 4002.14 OF 2018 IRC (TAMPER RESISTANT)

ELECTRICAL PLAN

NECAISE DESIGN  
228-493-1046

Revisions  
date description

PLANS FOR  
RANDY YOUNG  
RESIDENCE

DRAWN BY : HN  
DATE: 1-2-25  
SCALE 1/2" = 1'-0"  
SHEET NUMBER :

6  
NECAISE DESIGN  
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Item # 3.



## March 17, 2025 Historic Preservation Commission Meeting Minutes

March 17, 2025 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

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### Call to Order

#### PRESENT

Commissioner Steve Haas  
Commissioner Patricia Keating  
Commissioner Dave Wessinger  
Commissioner Matt Stieffel  
Chairman Cliff Rabalais  
Commissioner John Bezou

### Action Items

#### **Motion to approve the remodel of the garage and the addition of a new detached garage at 131 Keller Street submitted by Micheel and Kathy Jennings**

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

#### **Motion to approve proposed new dwelling and garage at 808 Hancock Street submitted by Frank and Desiree Strong**

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

#### **Motion to demo unsafe dwelling at 343 St George Street submitted by City of Bay St Louis. Recommendation that this house be listed as blighted property in HPC district and that a citation be issued for demo by neglect to property owner.**

Motion made by Chairman Rabalais, Seconded by Commissioner Keating.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Stieffel, Chairman Rabalais

Voting Abstaining: Commissioner Wessinger, Commissioner Bezou

**Motion to deny demo of unsafe dwelling at 343 St George Street submitted by City of Bay St Louis**

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais

Voting Abstaining: Commissioner Haas, Commissioner Bezou

**Motion to show support for Cliff Rabalais to get with Bay St Louis City Official to get direction of Historical Preservation Commission dealing with demo by neglect**

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

**Discussion**

**Amy Doescher discuss potential project in Historical Preservation District**

No action taken

**Minutes Approval**

**Motion to approve the February 10, 2025 Historical Preservation Commission meeting**

Motion made by Commissioner Wessinger, Seconded by Commissioner Haas.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

Voting Abstaining: Commissioner Haas

**Adjourn**

**Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel.**

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

\_\_\_\_\_  
Chairman