



Historic Preservation Commission Meeting Agenda

August 12, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

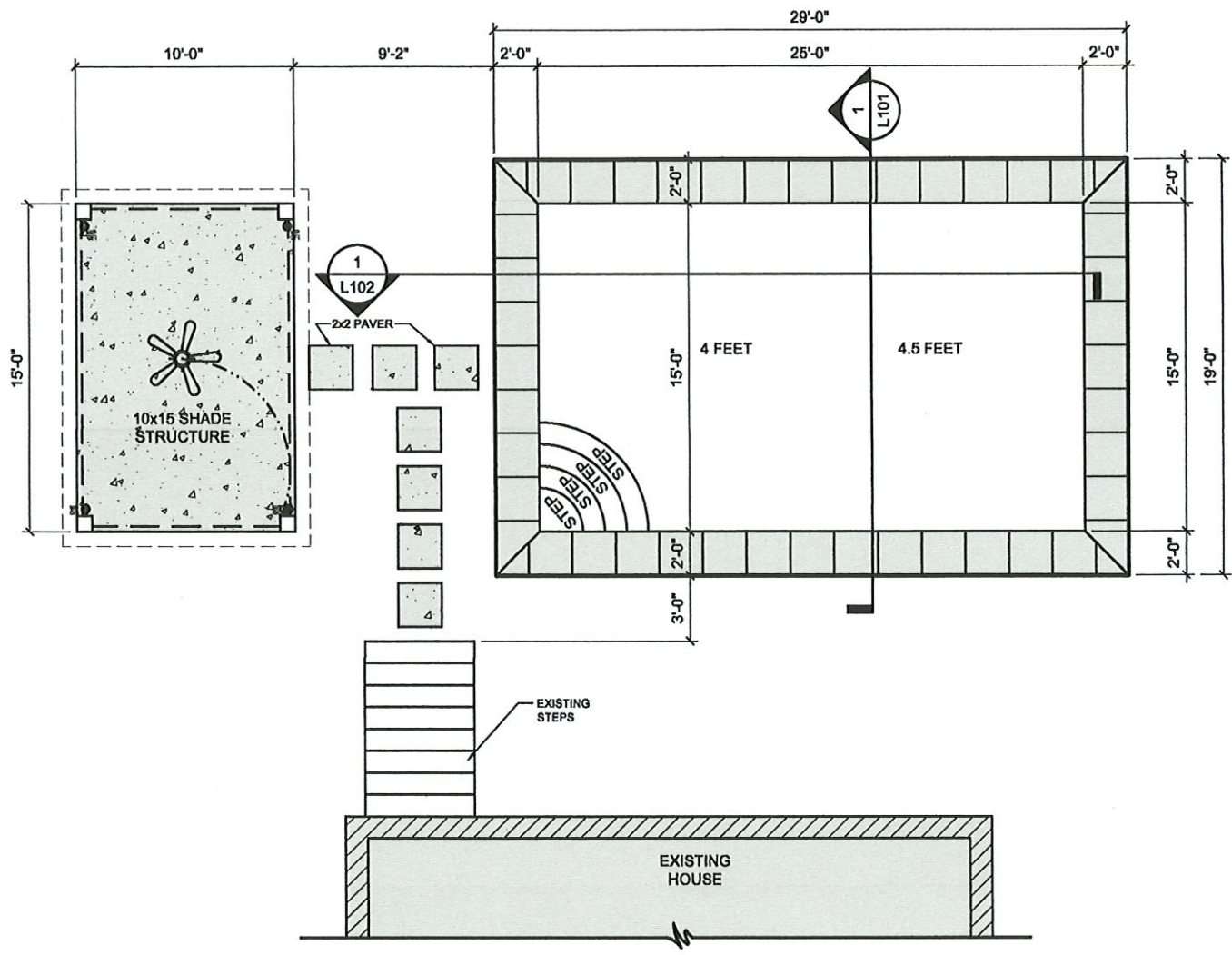
Action Items

1. Motion to approve the installation of a pool and accessory sturture at 111 Ballentine submitted by Donna Boue
2. Motion to approve the construction a new shed/carport in the rear of 306 St John Street
3. Motion to approve the demo and constuction of new shed at 316 St John Street submitted by Nancy Sorak
4. Motion to approve the construction on a duplex at 336 State Street submitted by David Rush
5. Motion to approve the construction of a carport at 122 Ulman Avenue submitted by Terrill Talamo

Minutes Approval

6. Motion to approve July 8, 2024 HPC meeting minutes

Adjourn



01 PROPOSED POOL LAYOUT
1/8" = 1'-0"

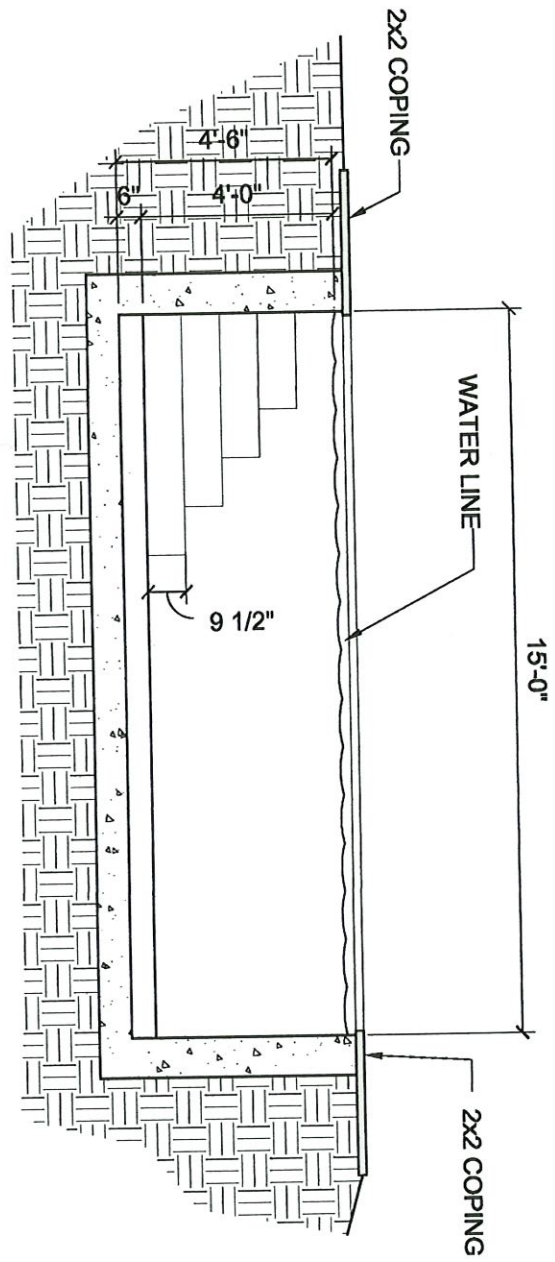
L100

111 BALLENTINE ST.
BAY ST. LOUIS, MISSISSIPPI

BY

JLS
DESIGN SERVICES, LLC
LONG BEACH, MS (228)383-3834

SECTION
01
1/4" = 1'-0"

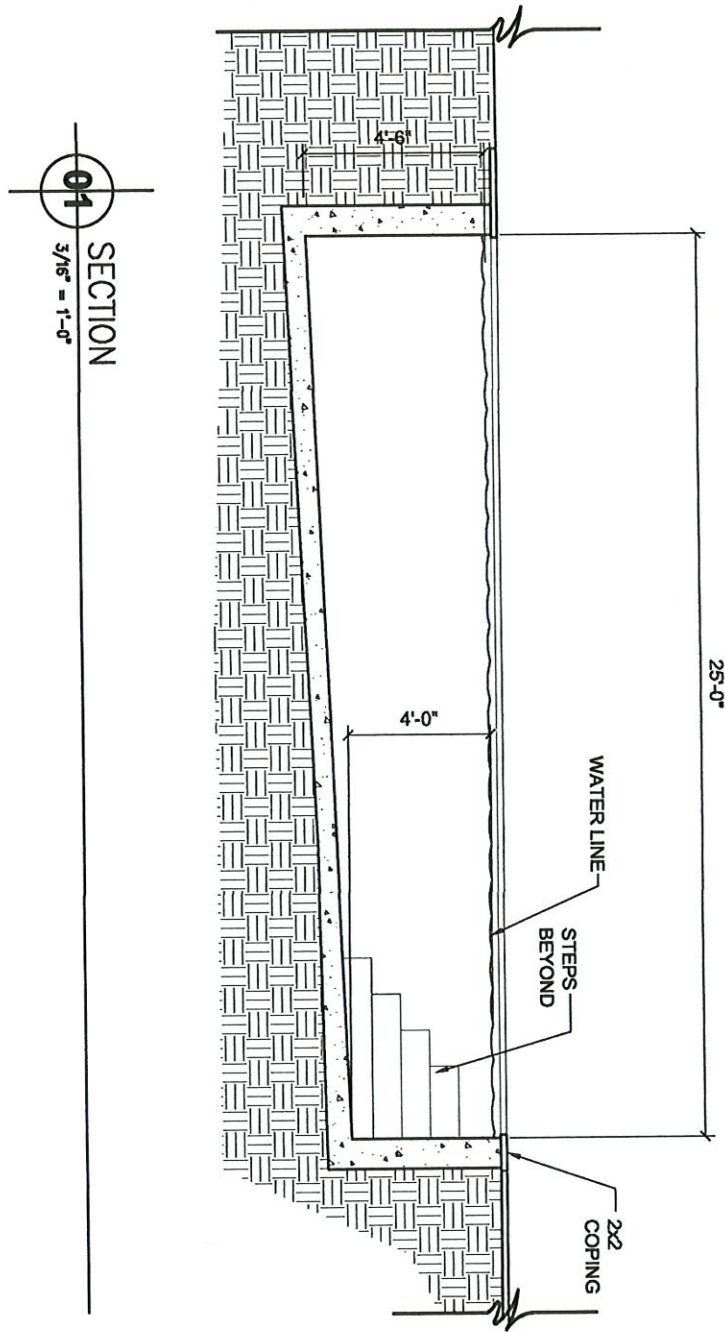


L101

111 BALLENTINE ST
BAY ST. LOUIS, MISSISSIPPI

BY

JLS
DESIGN SERVICES, LLC
LONG BEACH, MS (228)303-3834



L102

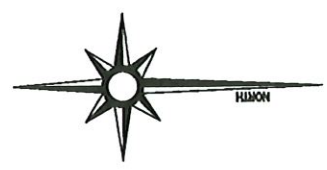
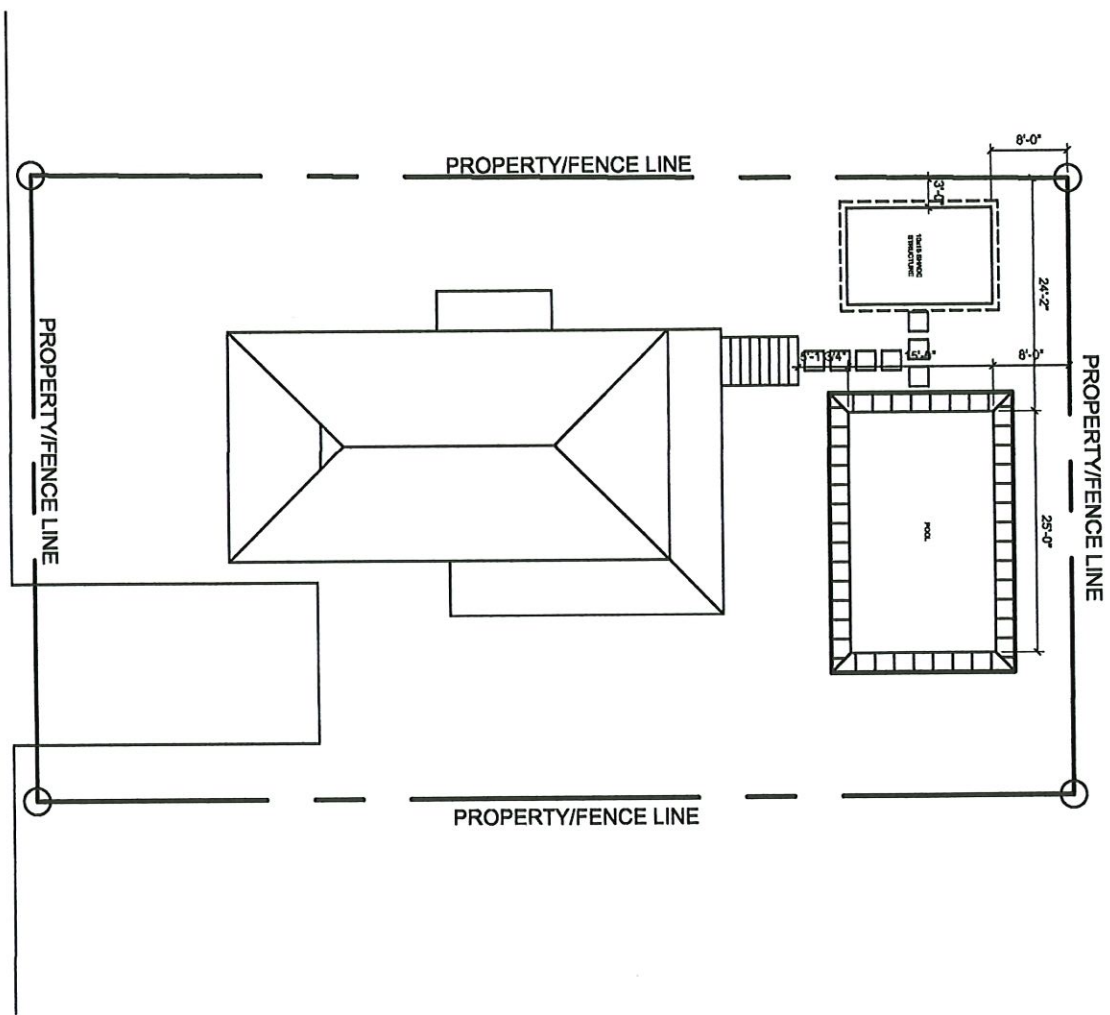
111 BALLENTINE ST
BAY ST. LOUIS, MISSISSIPPI

BY

JLS
DESIGN SERVICES, LLC
LONG BEACH, MS (228)363-3634

01 SITE LAYOUT
1:20

BALLENTINE

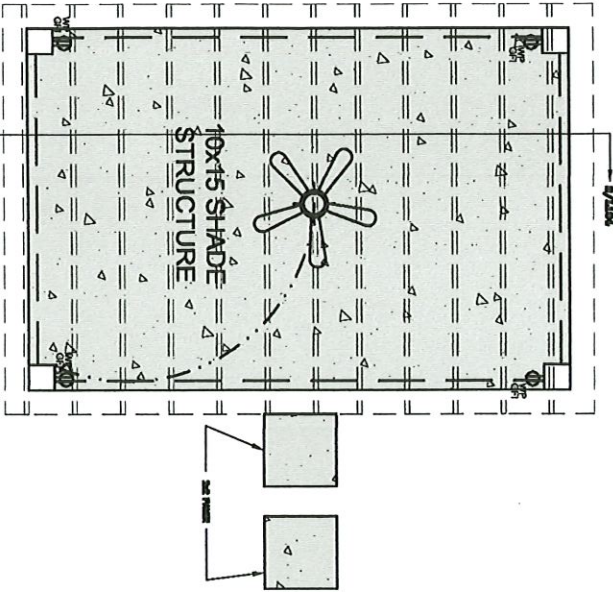


L103

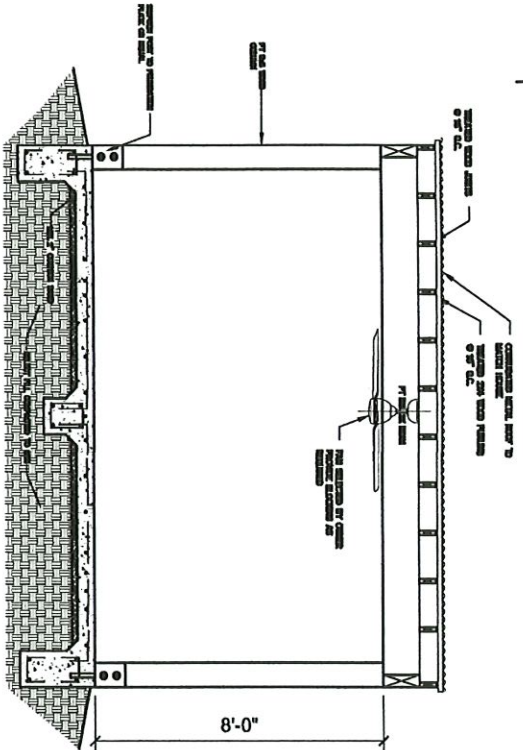
111 BALLENTINE ST
BAY ST. LOUIS, MISSISSIPPI

BY

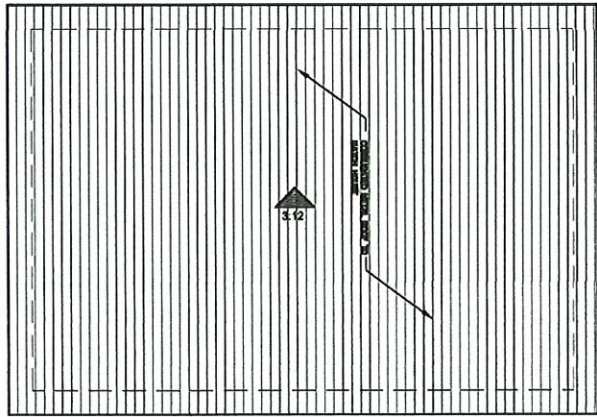
JLS
 DESIGN SERVICES, LLC
 LONG BEACH, MS (228)383-3834



01 SHADE STRUCTURE LAYOUT
3/16" = 1'-0"



02 SECTION
3/16" = 1'-0"



03 ROOF PLAN
3/16" = 1'-0"

L104

111 BALLENTINE ST
BAY ST. LOUIS, MISSISSIPPI

BY

JLS
DESIGN SERVICES, LLC
LONG BEACH, MS (228)363-3634

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 111 Ballentine Street Bay Saint, Louis
 Applicant Name: Donna Bove Owner Name: _____
 Mailing Address: 111 Ballentine St Mailing Address: SAME
 Phone: 504-913-3674 Phone: 228-861-3040 - Kirk Edgington

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 7/10/24
 Owner's Signature _____ Date: _____
 Required: _____ Date: _____

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
 Historic Preservation Commission / City Council Use Only

Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments	
Requires Property Owner / Applicant Signature	
City Council Reviewed	Review Date
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action	Review Date
Comments	
BSL Historic Preservation Commissioner	City Council President Signature (Date)

Application

HPC Review / City Council Review

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Donna Bove

Address: 111 Ballentine Street BSL
(No P.O. Boxes)

Telephone Number: 504 913-3674 Cell Number: ()

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: Building pool and Cabana -> 5 ft off property - Refer to drawings

Item # 1.



Item # 1.

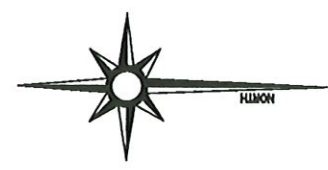
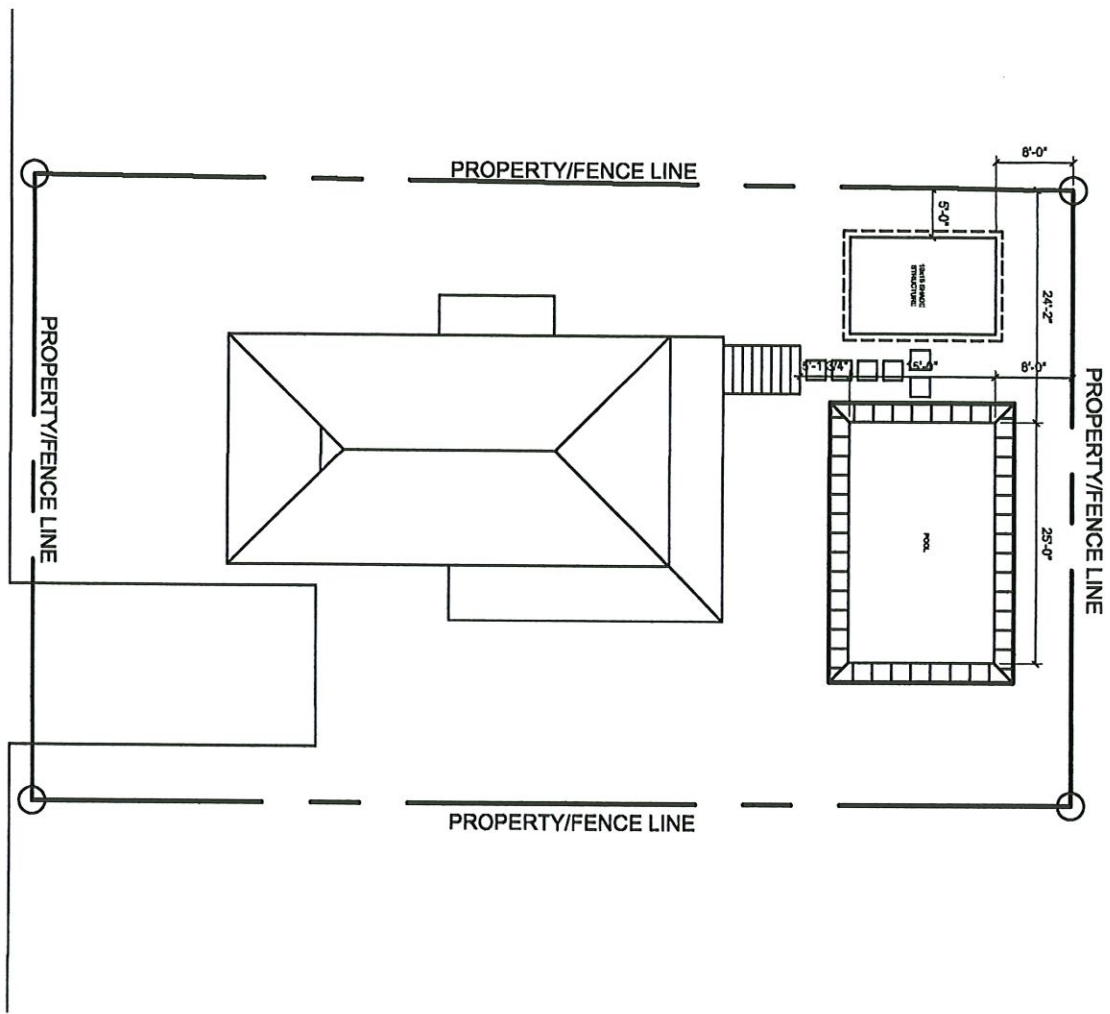


Item # 1.



01 SITE LAYOUT
1:20

BALLENTINE



L103

111 BALLENTINE ST
BAY ST. LOUIS, MISSISSIPPI

BY

JLS
 DESIGN SERVICES, LLC
 LONG BEACH, MS (228)363-3634

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 306 ST JOHN Bay St Louis
 Applicant Name: Ruben Keating Owner Name: Ruben Keating
 Mailing Address: _____ Mailing Address: _____
 Phone: 504-451-4124 Phone: 504-451-4124

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

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I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Ruben Keating Date: 7/29/2024

Owner Signature: Ruben Keating Date: 7/29/2024

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Application

HPC Review / City Council Review

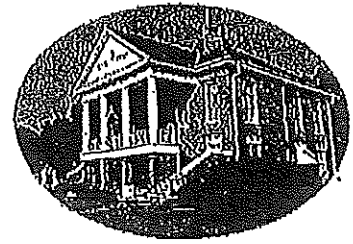
Historic Preservation Commission / City Council Use Only

Historic Preservation Commission Reviewed	Case Number
Review Date	
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval	
Comments:	
Requires Property Owner / Applicant Signature	
City Council Reviewed	Review Date
COA Action Approval	Date COA Action
Comments:	
(BSL Historic Preservation Commission or City Council Resident Signature)	(Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

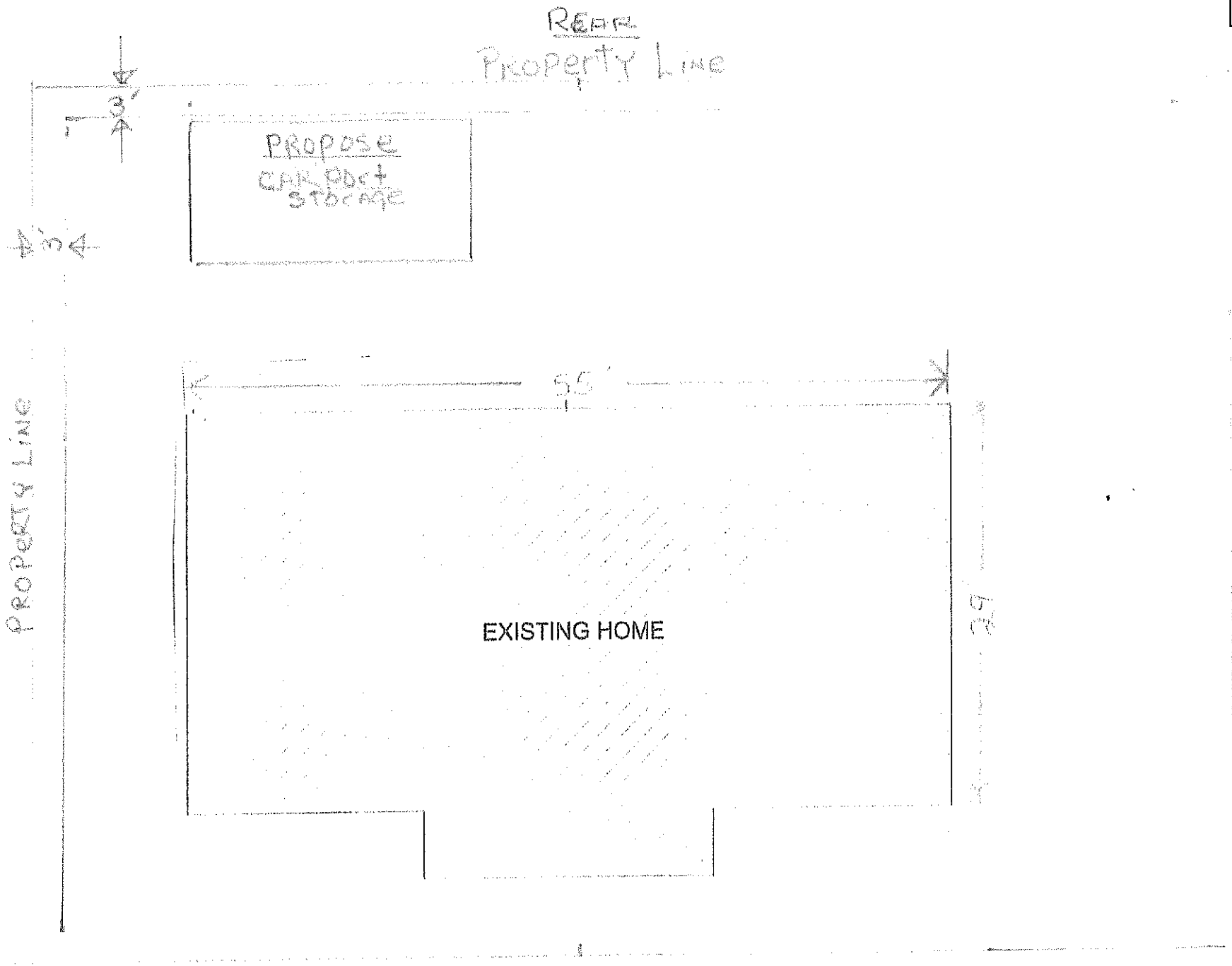
Name: Ruben Keating

Address: 306 ST JOHN BAY ST LOUIS
(No P.O. Boxes)

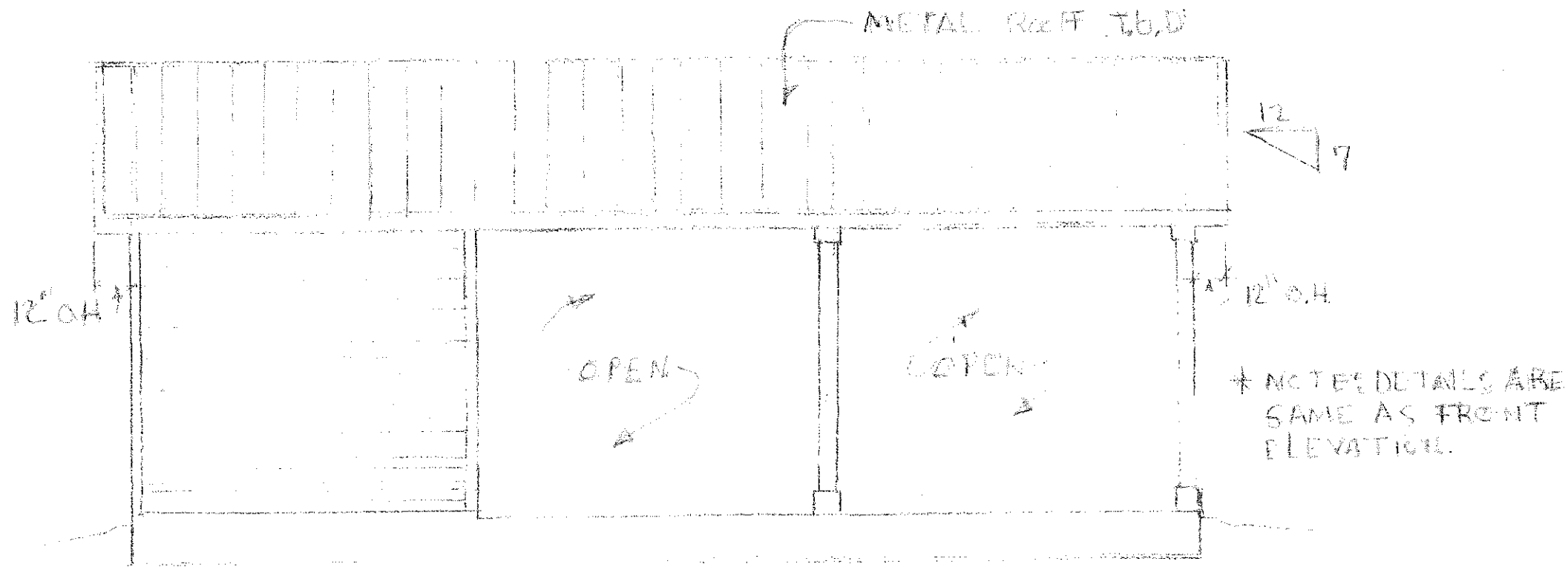
Telephone Number (504) Cell Number (504) 451-4124

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: SAME AS ABOVE

Give written scope of work to be performed: Build concrete front Por-
ch walls - Put Roof Truss up-deck
Roof - apply sheathing - Install decks
Install Hardi siding - Install Trim -
Run Electrical wiring - all work to be
done in compliance with B.S.L.

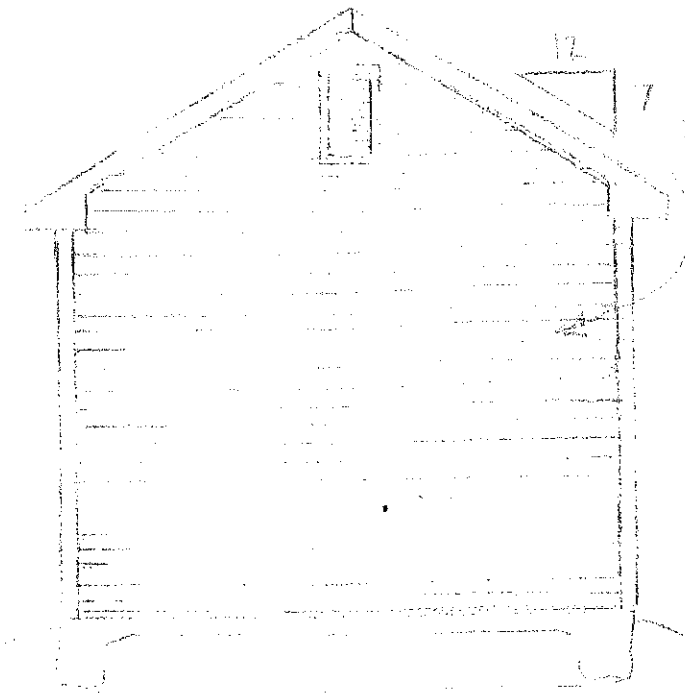


306-01 JOHN



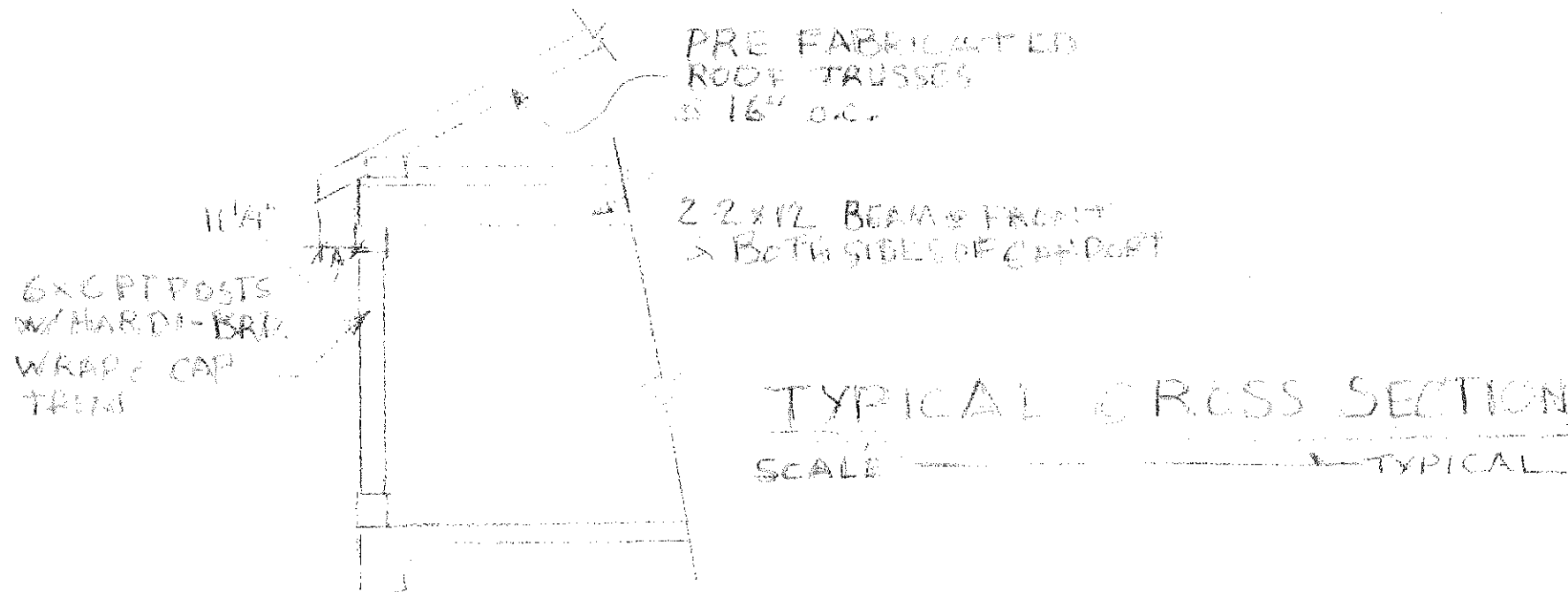
LEFT SIDE ELEVATION

SCALE: _____ TYPICAL



REAR ELEVATION

SCALE: _____ TYPICAL



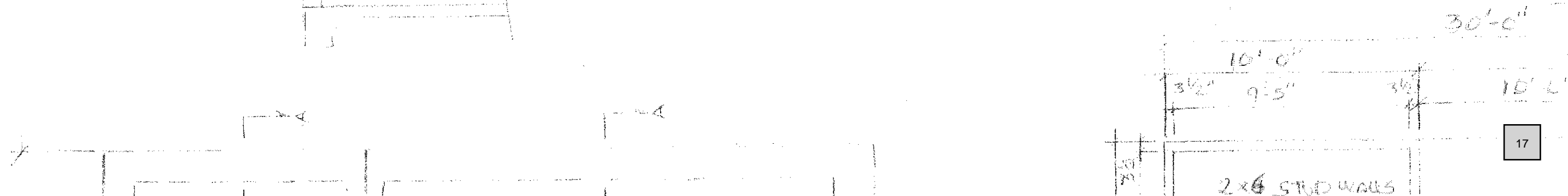
TYPICAL CROSS SECTION

SCALE: _____ TYPICAL

* NOTES: USE 6x6 POST ANCHOR BRACKET TO SECURE POST TO SLAB W/ 5/8" x 10" ANCHOR BOLT.

6x6 PT POST 2
 3/4" HARDI TRIM WRAP 2
 3/4" HARDI TRIM 2
 EDGE 6" AT TOP
 & 10" AT BOTTOM

TOP VIEW



Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 316 St. John St Bay St. Louis MS 39520
Applicant Name: NANCY B SORAK Owner Name: NANCY B SORAK
Mailing Address: 316 St. John St Mailing Address: 316 St John St
Phone: 228 3440355

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

[X] Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

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[X] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: August 2024

Owner's Signature Required: [Signature] Date: August 1 2024

Please refer to the checklist of materials required with your application

A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged. Historic Preservation Commission / City Council Use Only

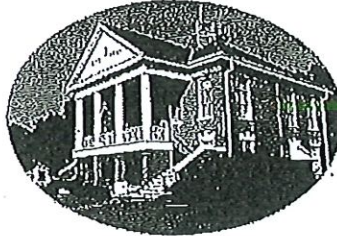
HPC Review / City Council Review

Historic District: Case Number:
[] Historic Preservation Commission Reviewed Review Date:
Recommendation: [] Approval [] Approval with Conditions * [] Disapprove
Comments:
* Requires Property Owner / Applicant Signature
[] City Council Reviewed Review Date:
COA Action: Approval: [] YES [] NO Date COA Action:
Comments:
(BSL Historic Preservation Commissioner / City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Nancy B SORAK

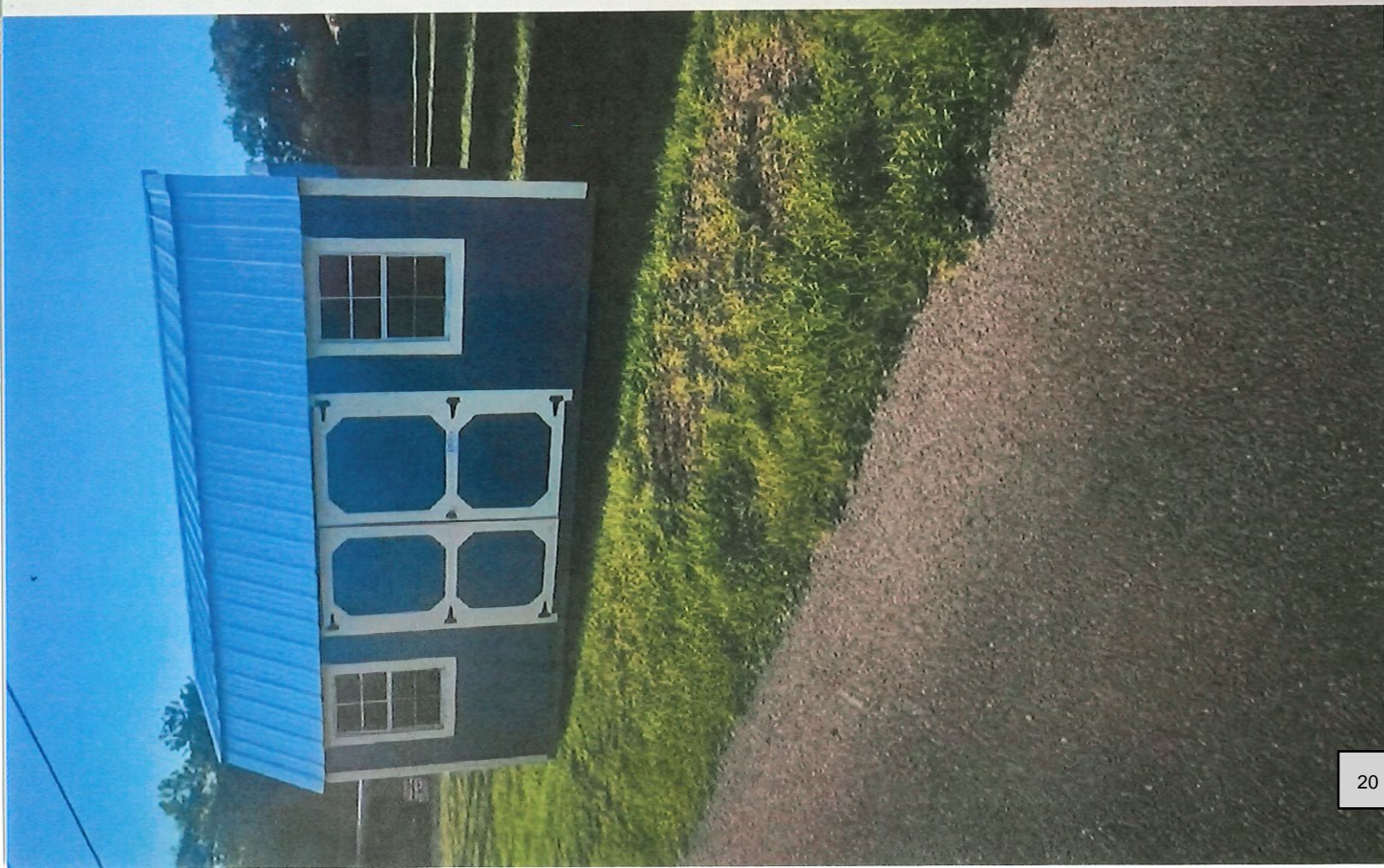
Address: 316 St JOHN ST Bay St LOUIS MS 39520
(No P.O. Boxes)

Telephone Number (228) 344 0355 Cell Number()

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: Same

Give written scope of work to be performed: _____

Replace Garden Shed with New One for same location (See Blue print.) It is not visible from the street is + will be the same color (Blue) as the existing shed + the same color as the Building adjacent to it.
CURRENT SHED HAS BEEN IN PLACE SINCE KATRINA
STRUCTURAL FRAME HAS BEEN EATEN BY TERMITES
I will be present at the meeting + BRING
Blueprint + Be happy to ANSWER ANY + ALL Questions
Regarding this Request



Rent to own

- As low as \$361.90 for 24 months
- As low as \$281.48 for 36 months
- As low as \$247.15 for 48 months
- As low as \$223.53 for 60 months

Customize

Add to order

Add to quote

Share ▾

SPECIFICATIONS

Serial Number	SLB-231117-1216-041223-MS
Siding	Endless Sea #32586e, Painted (LP Si
Trim Color	Navajo White #e9dccc
Roofing	Galvalume, Metal Roof
Windows	Qty: 2, 2x3 Window, Color: White
Doors	Qty: 1, 6' Double Wood Door, Co
Vents	Standard Vent

Item # 3.

GENERAL NOTES:

- STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2021.
- ALL MATERIALS & LABOR SHALL BE IN ACCORDANCE WITH LOCAL CODES AT THE TIME OF MANUFACTURE.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- STRUCTURES ARE DESIGNED FOR LOCATIONS THAT HAVE A 3 SECOND WIND GUST OF 150 MPH (MAX). STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
- STRUCTURES ARE DESIGNED FOR LOCATIONS WITH A SURFACE ROUGHNESS CATEGORY B & A TOPOGRAPHICAL FACTOR OF 1.0. STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
- STRUCTURES SHALL HAVE METAL ROOF (40 YEAR WARRANTY) OR OPTIONAL 25 YEAR RATED FIBERGLASS/ ASPHALT SHINGLES WITH ICE AND WATER SHIELD.
- ALL STUDS, RAFTERS, COLLAR TIES, & TRUSS CHORDS ARE SPF #2, U.N.O.
- ALL EXTERIOR DIMENSIONAL WOOD IS TO BE PRESSURE TREATED.
- ALL ROOF DECKING IS TO BE 7/16" O.S.B. OR 7/16" RADIANT BARRIER O.S.B.
- ALL SIDING IS TO BE 15/32" ARAUCO, 15/32" DURATEMP OR 29 GAUGE METAL SIDING ON PAINTED BUILDING W/ 50 YR LTD MFG WARRANTY
- ALL FLOOR JOISTS ARE TO BE P.T. SYP #2.
- ALL EXTERIOR NAILS ARE TO BE HOT DIPPED GALVANIZED.
- ALL INTERIOR FLOOR DECKING IS TO BE 5/8" PLYWOOD.
- EXTERIOR TO BE 5/4" P.T.
- ALL SKIDS ARE TO BE 4x6 P.T. SYP, RATED FOR GROUND CONTACT.
- THE STRUCTURE HAS BEEN DESIGNED TO RESIST LOADS AS A COMPLETED STRUCTURE ONLY. APPLICATION OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR & INCLUDED IN THE DESIGN OF SHORING, BRACING, FORM WORK, & OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE.
- NO FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION WILL BE PROVIDED BY THE ENGINEER.

GENERAL NOTES:

- INTERNATIONAL BUILDING CODE 2021
- DEAD LOADS:
FLOOR: 10 PSF
ROOF: 5 PSF
ROOF: 10 PSF
- WIND LOADS:
BASIC WIND SPEED, V=150 MPH
RISK CATEGORY=II
WIND EXPOSURE C
WIND LOAD IMPORTANCE FACTOR=1.0
- LIVE LOADS:
FLOOR: 40 PSF
LOFT: 10 PSF
ROOF: 20 PSF (REDUCIBLE)
- SNOW LOADS:
GROUND SNOW LOAD, PG=25PSF
FLAT ROOF SNOW LOAD, PF=20PSF
SNOW EXPOSURE FACTOR, CE=1.2
SNOW LOAD IMPORTANCE FACTOR, I=0.8
THERMAL FACTOR, CT=1.2
- SEISMIC LOADS:
THIS STRUCTURE IS EXEMPT FROM SEISMIC DESIGN PER EXEMPTION 3 OF ASCE 7-16, SECTION 11.1.2

DESIGN CRITERIA:

BUILDING SIZE:

8' WIDTH	14' WIDTH	18' WIDTH	LOFT SIZE:
8x12 8x16	14X20 14X24	18X20 18X24	8'-20' LONG
10' WIDTH	14X28 14X32	18X28 18X32	4'-0" LOFT
10X12 10X16	14X40 14X44	18X40	20'-24' LONG
10X20 10X24	14X48 14X50	20' WIDTH	6'-0" LOFT
12' WIDTH	16' WIDTH	20X20 20X24	24'-40' LONG
12X16 12X20	16X20 16X24	20X28 20X32	8'-0" LOFT
12X24 12X28	16X28 16X32	20X40	
12X32 12X40	16X40 16X44		

ITEMS BY OTHERS:

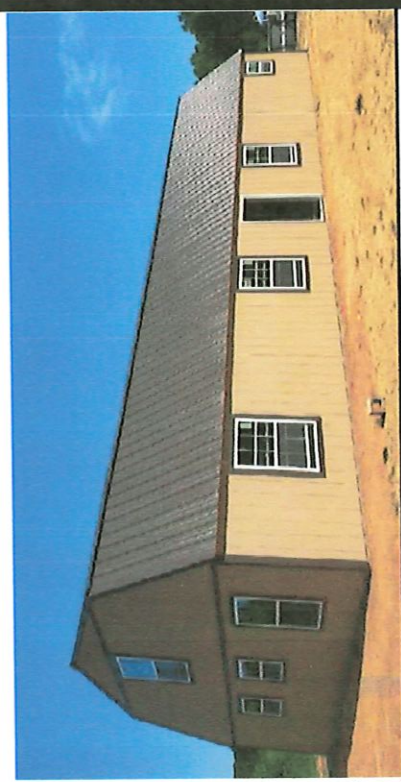
- RAMPS, STAIRS, & GENERAL ACCESS.
- ELECTRICAL SERVICE HOOKUP.

INDEX OF SHEETS:

- S-101 - COVER SHEET
- S-102 - FOUNDATION PLAN
- S-103 - UPLIFT ANCHORAGE
- S-104 - FLOOR PLAN
- S-105 - ROOF FRAMING PLAN
- S-106 - SECTIONS PLAN
- S-107 - ELEVATION PLAN
- S-108 - NAILING PATTERN
- S-109 - BUILD DETAIL 1
- S-110 - BUILD DETAIL 2

CODE CRITERIA:

THE CONTRACTOR/ MANUFACTURER SHALL COMPLY WITH THE FOLLOWING CODES & ALL APPLICABLE AMENDMENTS/ SUPPLEMENTS:
1. INTERNATIONAL BUILDING CODE 2021



DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM
 DRAWN BY: CKD SCALE: NTS DATE: 07-16-2024
 SHEET TITLE: COVER PAGE
 DRAWING NUMBER: S-101



Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458

Item # 3.

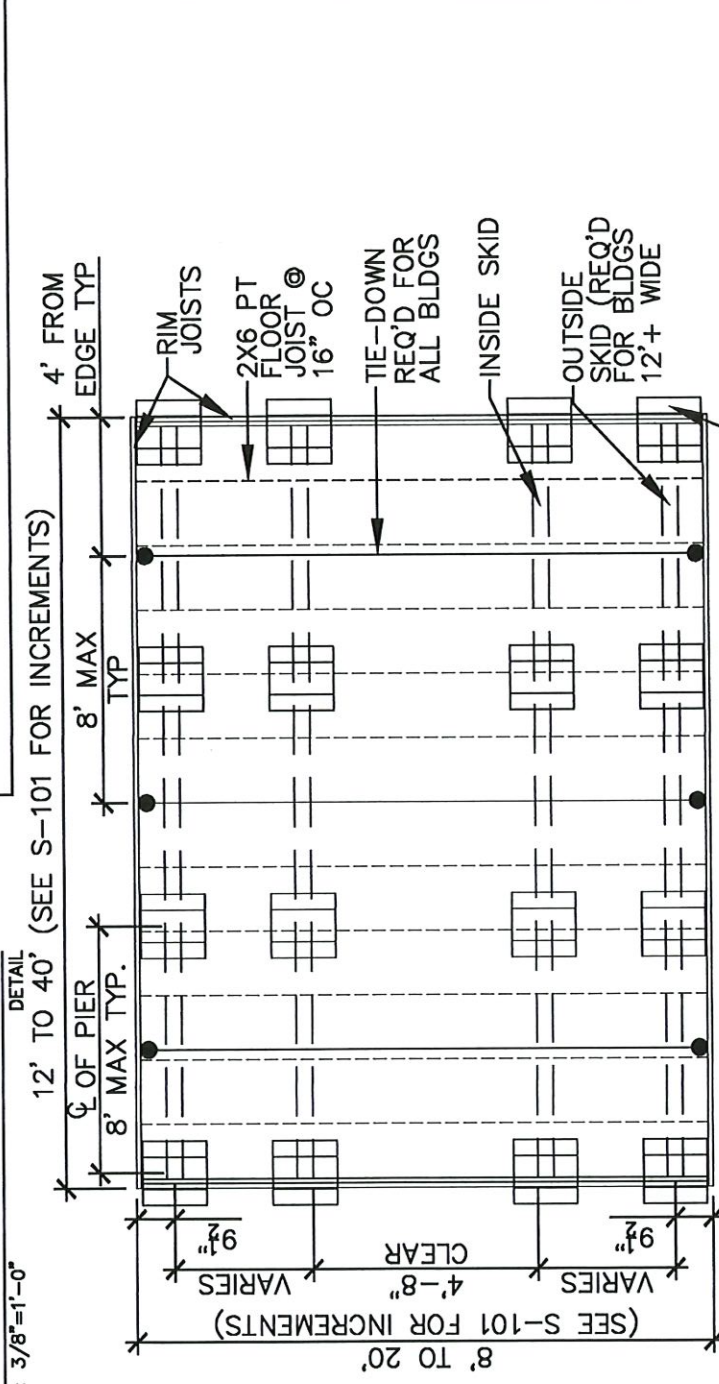
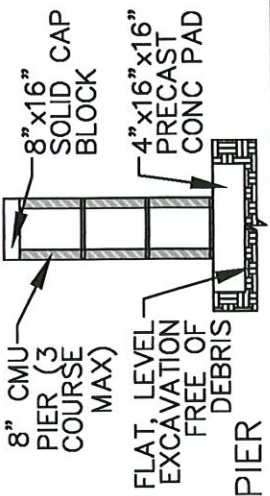
www.dammonengineer
 info@dammonengineer
 PHONE: 985-6

FOUNDATION NOTES:

- ANCHORS ARE SPECIFIED ON SHEET S-103 & SHALL BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS PER THE BUILDING CODE.
- ANCHORS & STRAPS INCLUDING THE INSTALLATION SHALL MEET THE REQUIREMENTS OF APPENDIX E OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
- THE MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2500 psf HAS BEEN ASSUMED FOR FOOTING DESIGN. CONTRACTOR TO HAVE THIS CAPACITY VERIFIED PRIOR TO CONSTRUCTION.
- IF A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 psf IS USED, THEN THE PIER SPACING SHALL BE NO GREATER THAN 4'-0".
- FOOTINGS SHALL BE CARRIED TO AN ELEVATION LOWER THAN THOSE SHOWN ON THE DRAWINGS IF REQUIRED TO REACH SUITABLE SOIL.
- FOOTINGS SHALL BE PLACED ON SUITABLE SOIL THAT MEETS DESIGN ASSUMPTIONS.
- FOUNDATION MATERIALS & LABOR IS PROVIDED BY CUSTOMER.
- TIE DOWNS SHALL BE PLACED AT EACH OUTER PIER.
- SHED IS DESIGNED TO ALSO BE PLACED ON FLAT, LEVEL GROUND DIRECTLY ON THE SKIDS.

OTHER NOTES

- CONCRETE:**
- MASONRY: CMU - f'm = 1,500 PSI
 - MORTAR - f'm = 1,900 PSI
 - GROUT - f'm = 3,500 PSI
1. MATERIALS (COMPRESSIVE STRENGTH AT 28 DAYS) FOOTINGS 3,000 PSI
- FOOTINGS & EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED.



MAX OF (3) 8" x 8" x 16" CMU TO INCREASE SHED HEIGHT. EACH PIER SHALL BEAR ON (1) 4" x 16" x 16" CONC PAD. MAX BUILD UP OF 24". MIN DIMENSIONS OF BEARING AREA IS 16" x 16"

FOUNDATION PLAN

DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIEL576@GMAIL.COM
 DRAWN BY: CKD SCALE: 1/4" = 1'-0" DATE: 07-16-2024

SHEET TITLE: FOUNDATION PLAN

DRAWING NUMBER: S-102

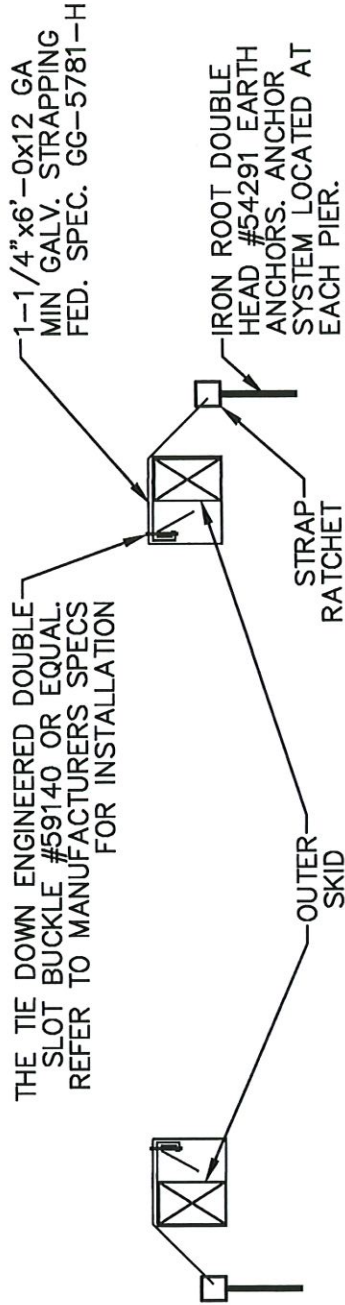


DAMMON
ENGINEERING INC
554 Old Spanish Trail, Slidell, LA 70458 (986) 649-6822

Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458

Item # 3

www.dammonengine.com
 info@dammonengine.com
 PHONE: 983



ANCHOR DETAIL

DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIEL516@GMAIL.COM

DRAWN BY: CKD SCALE: NTS DATE: 07-16-2024

SHEET TITLE: ANCHOR DETAIL

DRAWING NUMBER: S-103

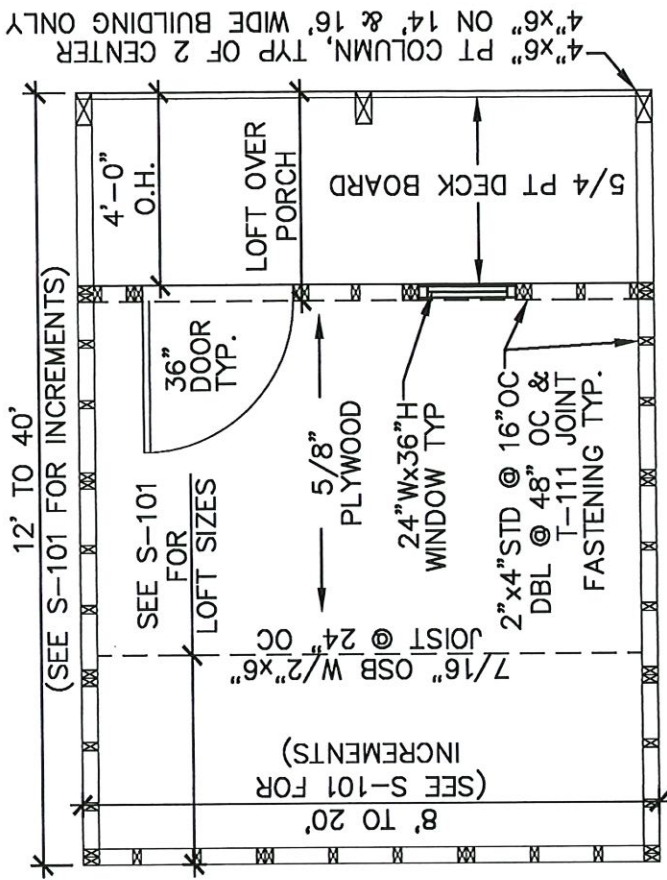


DAMMON ENGINEERING, INC.
454 Old Spanish Trail, Slidell, LA 70458 (885) 649-6822

Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458

Item # 3.

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 info@dammonengin
 PHONE: 98



FLOOR PLAN

FLOOR PLAN W/ PORCH

GENERAL NOTES

1. 2"x4" UPPER TOP PLATE W/ (2) 3x0.120Ø NAILS @ 16" O.C. TO 2"x4" LOWER TOP PLATE
2. DOOR IS CUSTOM BUILD. 6' WIDE ROLL-UP DOOR REPLACES (2) 3'x6' DOOR

FLOOR PLAN NOTES

1. INSTALL 5/8" FLOOR SHEATHING WITH LONG DIMENSION SPANNING JOISTS, STAGGER JOINTS.
2. FASTEN 5/8" FLOOR SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

COLUMN NOTES

1. USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL
2. USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS
3. GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE
4. NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" OC
5. PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE FIRST FLOOR JOIST SPAN (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE)

DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIEL516@GMAIL.COM

DRAWN BY: CKD SCALE: 1/4" = 1'-0" DATE: 07-16-2024

SHEET TITLE: FLOOR PLAN PLAN

DRAWING NUMBER: S-104

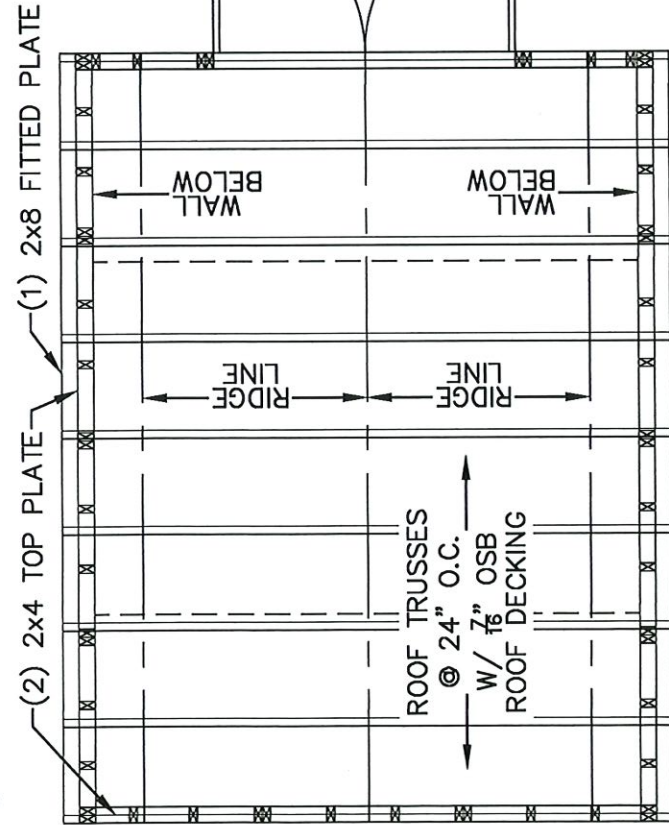


454 Old Spanish Trail Slidell, LA 70458 (805) 649-6402

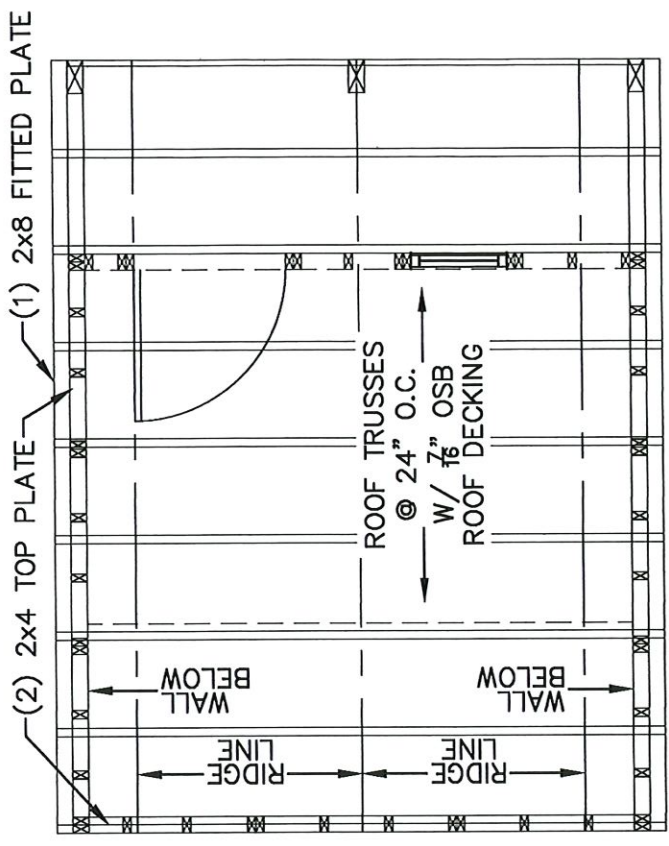
Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

Item # 3.

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ROOF FRAMING PLAN



ROOF FRAMING PLAN W/ PORCH

ROOF TIE-DOWNS

1. SEC. 18-10 ROOF TIE-DOWN STRAPS.
2. FOR ALL NEW CONSTRUCTION, ROOF-TIE DOWN STRAPS WILL BE REQUIRED TO AID IN THE STRUCTURAL INTEGRITY OF A STRUCTURE TO WITHSTAND A 150 MPH WIND EVENT.
3. ONLY GALVANIZED STEEL STRAPPING SHALL BE UTILIZED. STRAPPING SHALL HAVE A MINIMUM SECTION OF 1-1/4" BY 1/8" AND HAVE MINIMUM BREAKING STRENGTH OF 4,750 LBS. NO SPICES WILL BE ALLOWED.
4. ROOF TIES SHALL BE INSTALLED AT EACH PLATE AND ALONG THE STRUCTURE'S SILL. THE MAXIMUM SPACING FOR ROOF TIE-DOWN STRAPS SHALL BE TEN FEET.
5. ROOF TIE-DOWN STRAPS SHALL BE ATTACHED TO THE STRUCTURES SILL OR PLATE, RUN ALONG THE SIDE WALL, OVER THE ROOF STRUCTURE FRAMING AND DECKING, AND ATTACHED TO THE SILL ON THE OPPOSING SIDE OF THE STRUCTURE. COMMERCIALY AVAILABLE ADAPTERS SHALL BE UTILIZED TO PREVENT SHARP BENDS IN THE TIES AND TO KEEP THEM FROM CUTTING INTO THE STRUCTURAL FRAMING WHEN TENSION IS APPLIED.

ROOF FRAMING NOTE

1. INSTALL 7/16" O.S.B. OR 7/16" RADIANT BARRIER O.S.B. ROOF SHEATHING WITH LONG DIMENSION SPANNING TRUSSES.
2. FASTEN 7/16" O.S.B. OR 7/16" RADIANT BARRIER O.S.B. ROOF SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

GENERAL NOTES

2x4 UPPER TOP PLATE W/
(2)3x0.1200 NAILS @ 16" O.C.
TO 2x4 LOWER TOP PLATE

COLUMN NOTES

1. USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL
2. USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS
3. GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE
4. NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" OC
5. PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE FIRST FLOOR JOIST SPAN (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE)



DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM
DRAWN BY: CKD SCALE: 1/4" = 1'-0" DATE: 07-16-2024

SHEET TITLE: ROOF FRAMING PLAN

DRAWING NUMBER: S-105

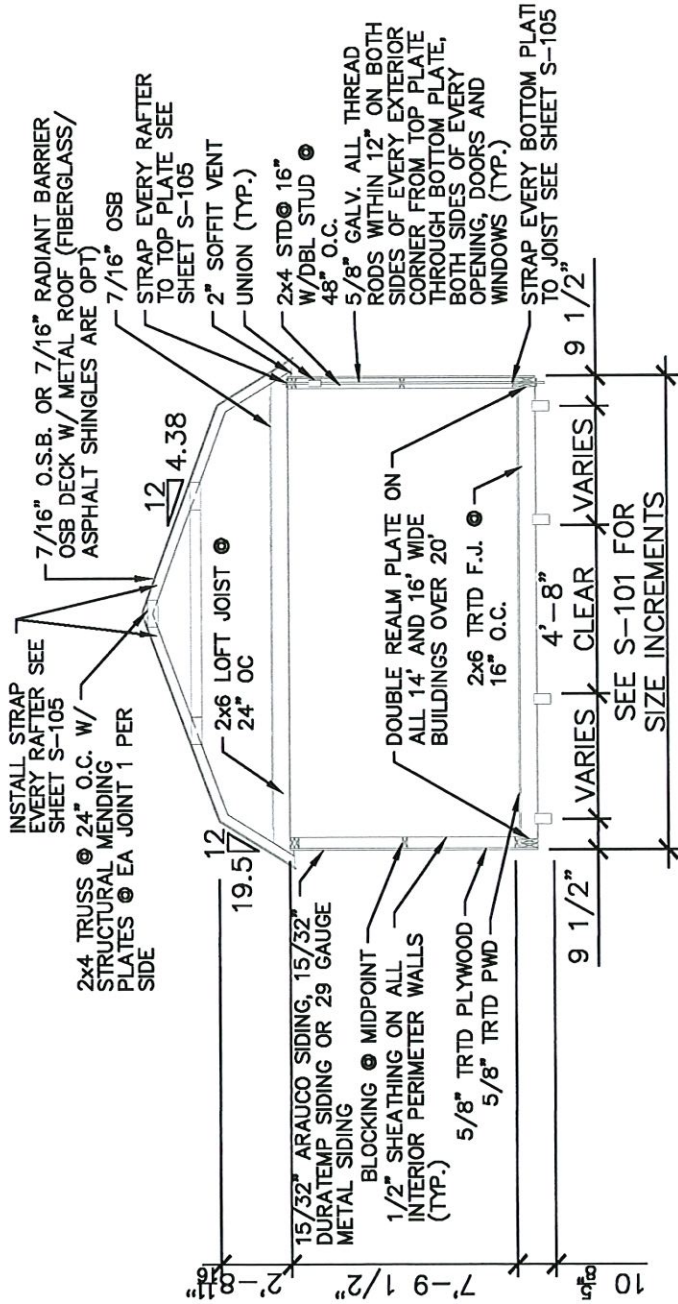


DAMMON
ENGINEERING, INC.
554 Old Spanish Trail, Slidell, LA 70458 (985) 449-6242

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

Item # 3.

www.dammonengine.com
info@dammonengine.com
PHONE: 985-449-6242



SECTION VIEW

ROOF FRAMING AND UNDERLAYMENT NOTES

1. PROVIDE A RIDGE VENT TYPICAL WITH INSECT SCREEN.
2. METAL ROOFING SHALL BE 29 GAUGE METAL IN ACCORDANCE WITH ASTM A 924 OR ASTM A 924M OVER OSB SHEATHING.
3. PROVIDE 29G RIDGE CAP, EAVE TRIM AND RAKE TRIM.
4. INSTALL AND FASTEN METAL ROOFING PER MANUFACTURER'S INSTRUCTIONS FOR WIND LOADING.
5. OPTIONAL SHINGLES SHALL BE IN ACCORDANCE WITH ASTM D 7158 TYPE H OR ASTM D 3161F TYPICAL.
6. INSTALL 1 LAYER OF ICE AND WATER SHIELD, START WITH A 19" WIDE STRIP PARALLEL WITH AND STARTING AT EAVES FASTENED SECURELY TO HOLD IN PLACE. START AT EAVE WITH A 38" WIDE SHEET WITH OVERLAPPING SUCCESSIVE SHEETS BY 19". FASTEN UNDERLAYMENT W/ CORROSION- RESISTANT FASTENERS PER MANUFACTURER'S INSTRUCTIONS AND SPACED A MAXIMUM OF 36" APART.
7. METL ROOF OR OPT 25Y FBR GLASS SHINGLE OVER (1) LAYER OF ICE AND WATER SHIELD OVER 7/16" OSB SHEATHING



DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: CKD SCALE: 3/16" = 1'-0" DATE: 07-16-2024

SHEET TITLE: SECTION PLAN

DRAWING NUMBER: S-106

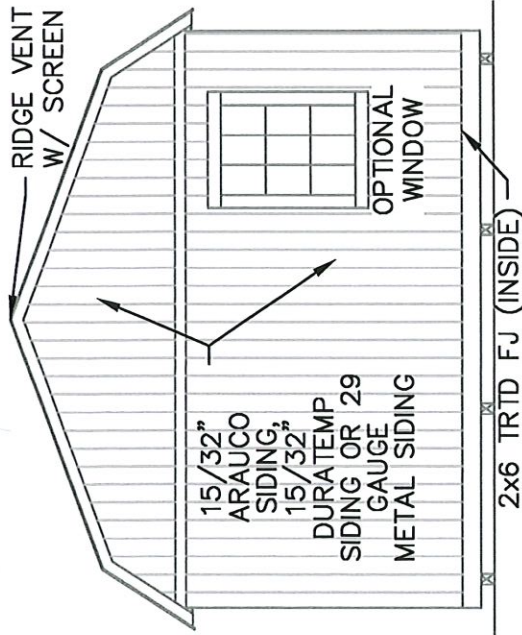


DAMMON ENGINEERING, INC.
654 Old Spanish Trail, Slidell, LA 70458 (985) 449-8822

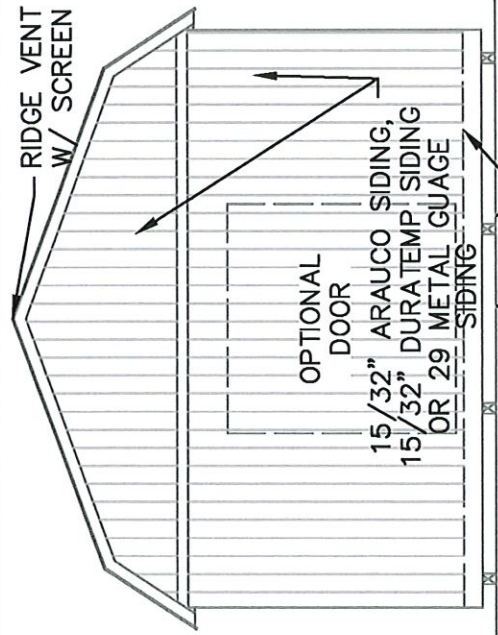
Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

Item # 3.

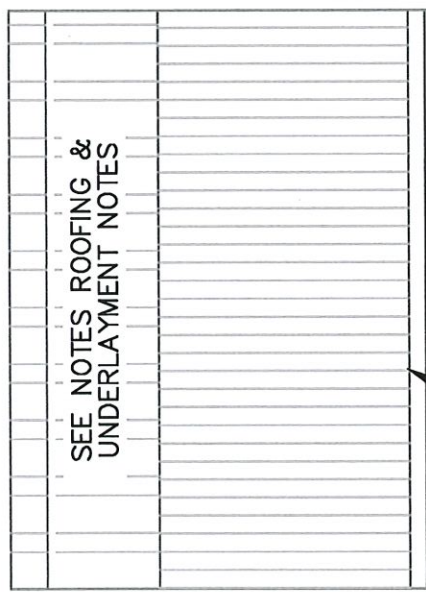
www.dammonengine.com
info@dammonengine.com
PHONE: 981-32



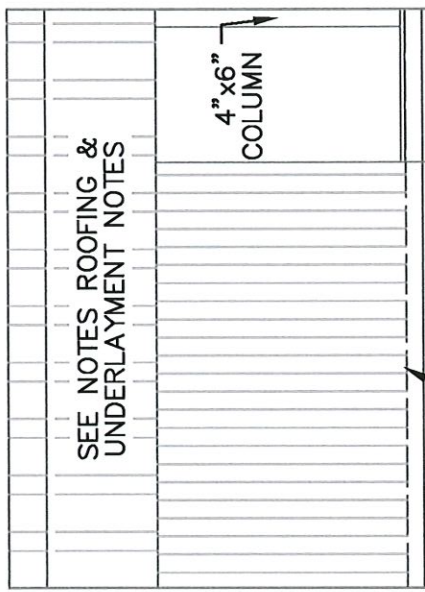
REAR ELEVATION WITHOUT PORCH



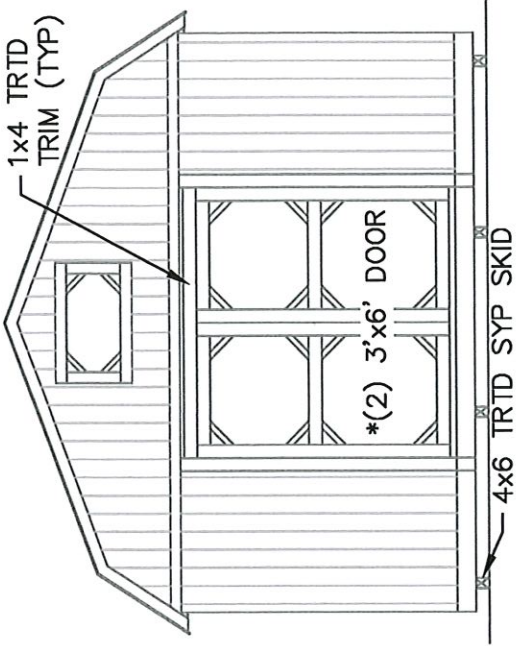
REAR ELEVATION WITH PORCH



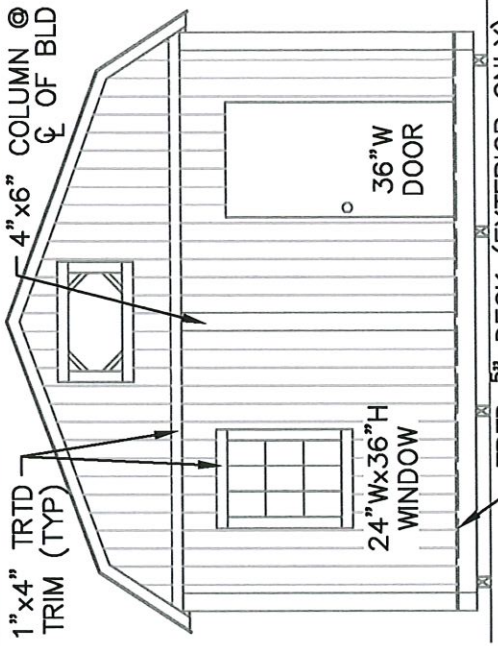
SIDE ELEVATION WITHOUT PORCH



SIDE ELEVATION WITH PORCH



FRONT ELEVATION WITHOUT PORCH



FRONT ELEVATION WITH PORCH

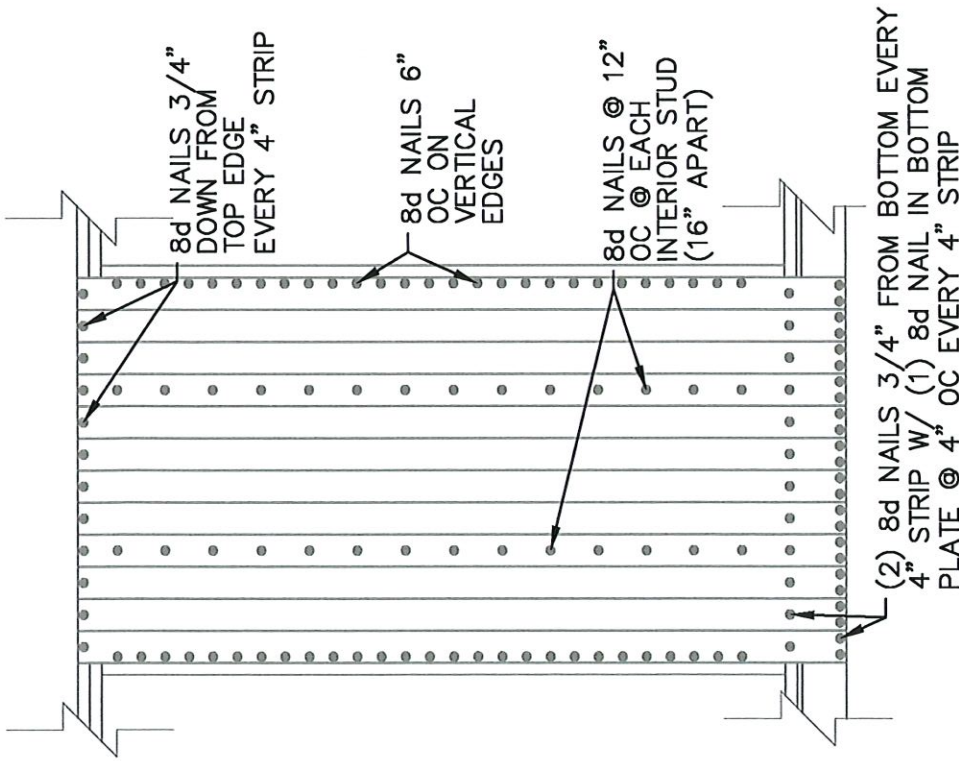
DANCO BUILDINGS, LLC.
 PHONE: 601-551-0469 EMAIL: CHRISDANIEL576@GMAIL.COM
 DRAWN BY: CKD SCALE: 3/16" = 1'-0" DATE: 07-16-2024
 SHEET TITLE: ELEVATION PLAN
 DRAWING NUMBER: S-107



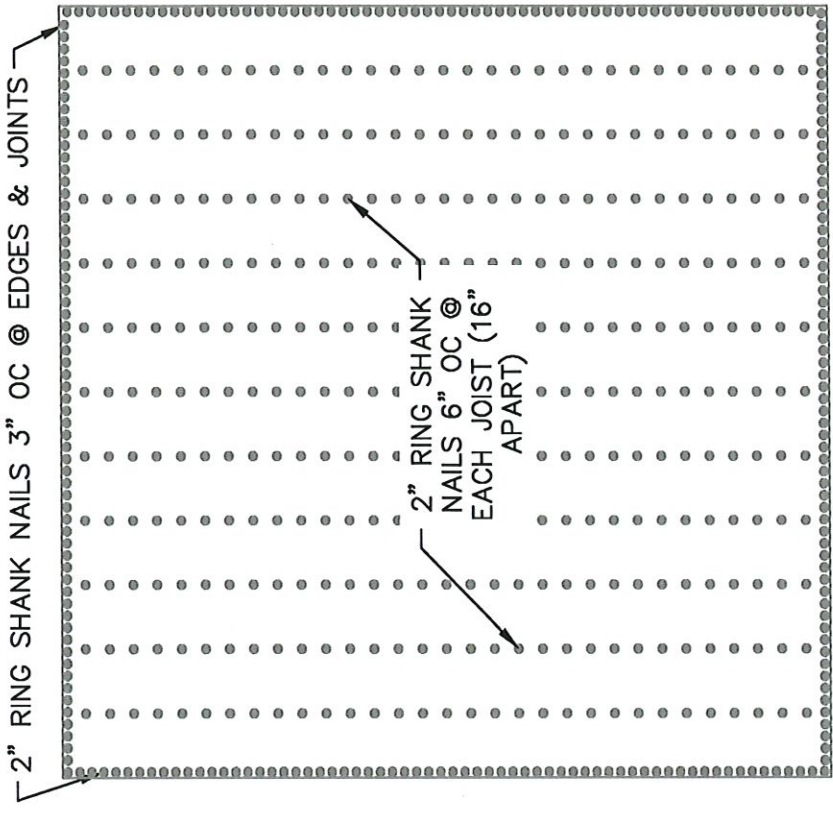
DAMMON
 ENGINEERING, INC.
 554 Old Spanish Trail, Slidell, LA 70458 (782) 442-8242
 www.dammonengine.com
 info@dammonengine.com

Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458

Item # 3.



WALL SHEATHING PLAN



FLOOR SHEATHING PLAN



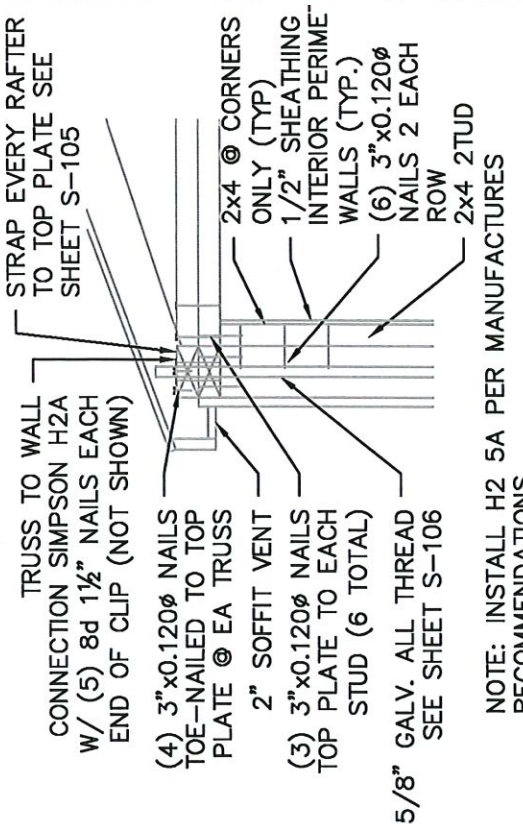
DANCO BUILDINGS, LLC.
 PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM
 DRAWN BY: CKD SCALE: 1/4" = 1'-0" DATE: 07-16-2024
 SHEET TITLE: NAILING PLAN
 DRAWING NUMBER: S-108



DAMMON
 ENGINEERING INC.
 554 Old Spanish Trail, Slidell, LA 70458 (786) 449-6822

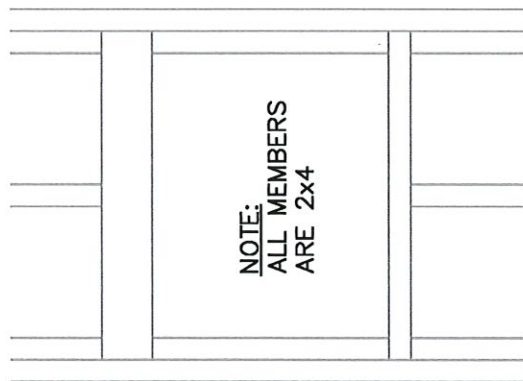
Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458
 www.dammonengine.com
 info@dammonengine.com
 PHONE: 981-981-932

Item # 3.

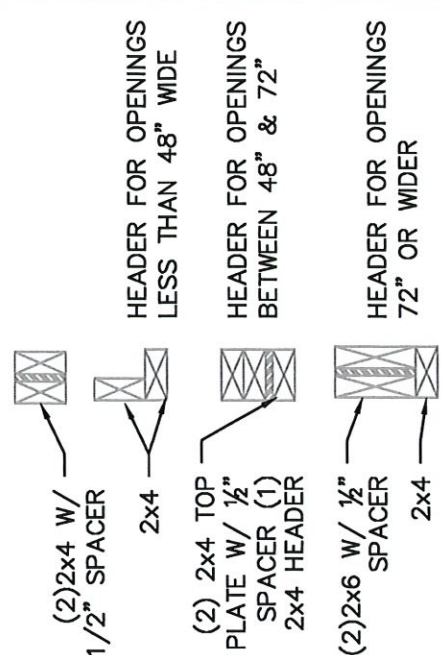


NOTE: INSTALL H2 5A PER MANUFACTURERS RECOMMENDATIONS

3-CORNER & WALL DETAIL

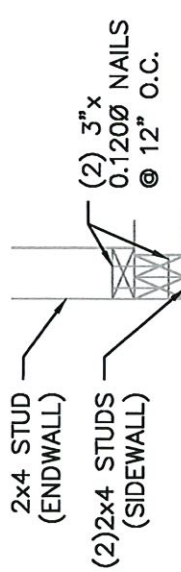


2-TYP WINDOW FRAMING

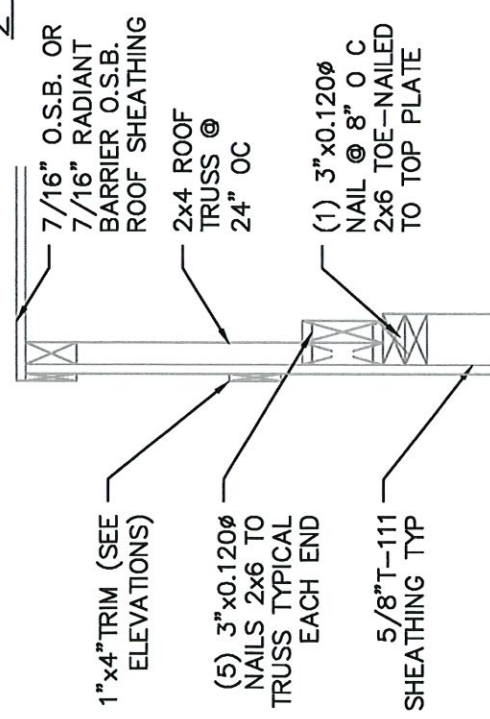


NOTE: FOR 12' HIGH OR GREATER SIDEWALLS, A 48" MAX OPENING IS ALLOWED

5-TYP DOOR FRAMING



1-CORNER DETAIL



4-END WALL DETAIL



DANCO BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: CKD SCALE: NTS DATE: 07-16-2024

SHEET TITLE: BUILD DETAIL 1

DRAWING NUMBER: S-104

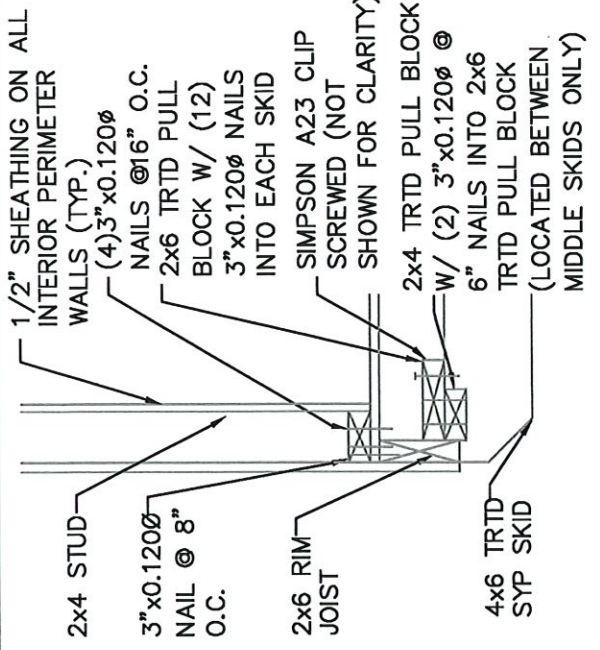


DAMMON
ENGINEERING, INC.

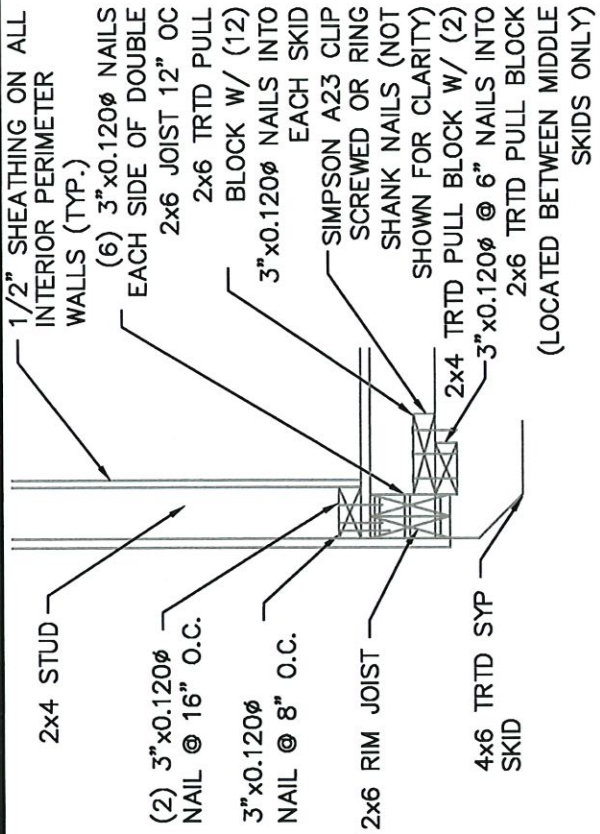
554 Old Spanish Trail, Slidell, LA 70458 (985) 449-6422

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

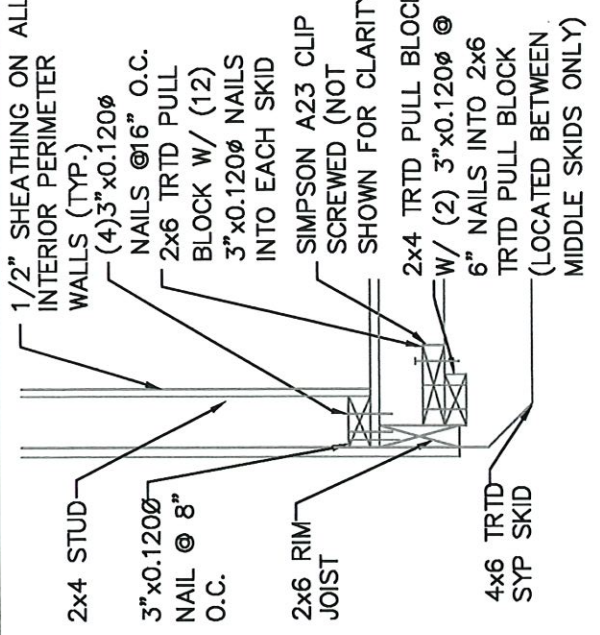
Item # 3



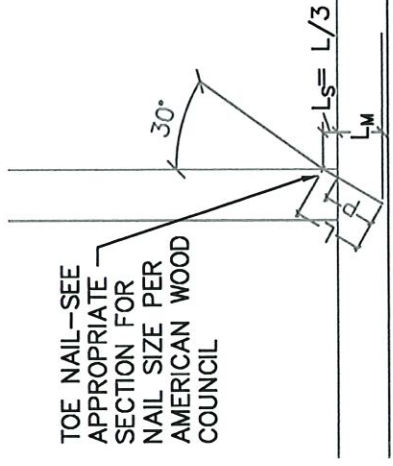
1-INNER & OUTER SKID
DETAIL @ EVERY JOIST



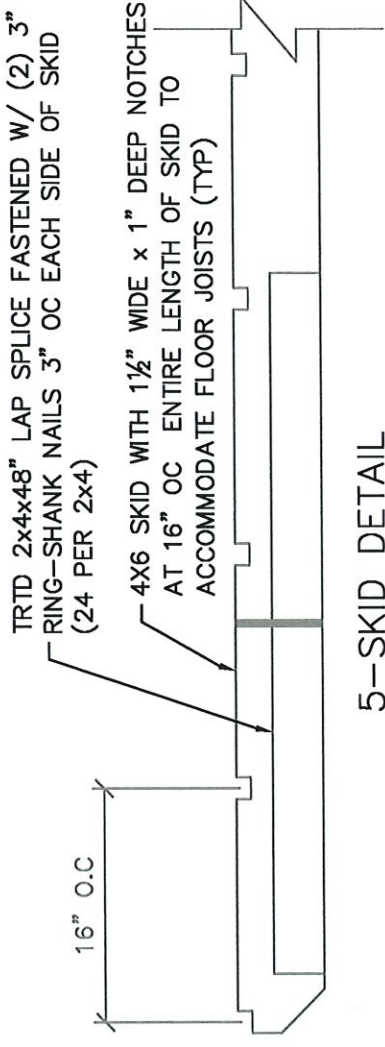
2-ENTRY DOOR ENDWALL JOIST DETAIL



3-REAR ENDWALL JOIST DETAIL



4-TOE-NAIL DETAIL



5-SKID DETAIL



DANCO BUILDINGS, LLC.

PHONE: 601-551-0469	EMAIL: CHRISDANIELST6@GMAIL.COM
DRAWN BY: CKD	SCALE: NTS
DATE: 07-16-2024	
SHEET TITLE: BUILD DETAILS 2	
DRAWING NUMBER: 9-110	



DAMMON
ENGINEERING, INC.
454 Old Spanish Trail Slidell, LA 70458 (805) 649-6682

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

Item # 3.

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om
om
332

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: BEACH TIME, LLC

Address: 18391 Runnymede Rd., Pass Christian, MS 39571
(No P.O. Boxes)

Telephone Number (228) 2551286 Cell Number (228) 2634820

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: New construction of duplex

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 336 State St., Bay St. Louis, MS 39520

Applicant Name: David Rush Owner Name: Beach Time, LLC
 18391 Runnymede Rd 18391 Runnymede Rd
 Mailing Address: Pass Christian, MS 39571 Mailing Address: Pass Christian, MS 39571

Phone: 228-263-4820 Phone: 228-255-1286

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition/Renovation: Exterior alterations and or additions should be compatible with the building itself, its original design & style. Items needed: photos of existing improvements, Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed: Photographs of existing building, Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: David Rush Date: June 12, 2024

Owner's Signature Required: David Rush Date: June 12, 2024

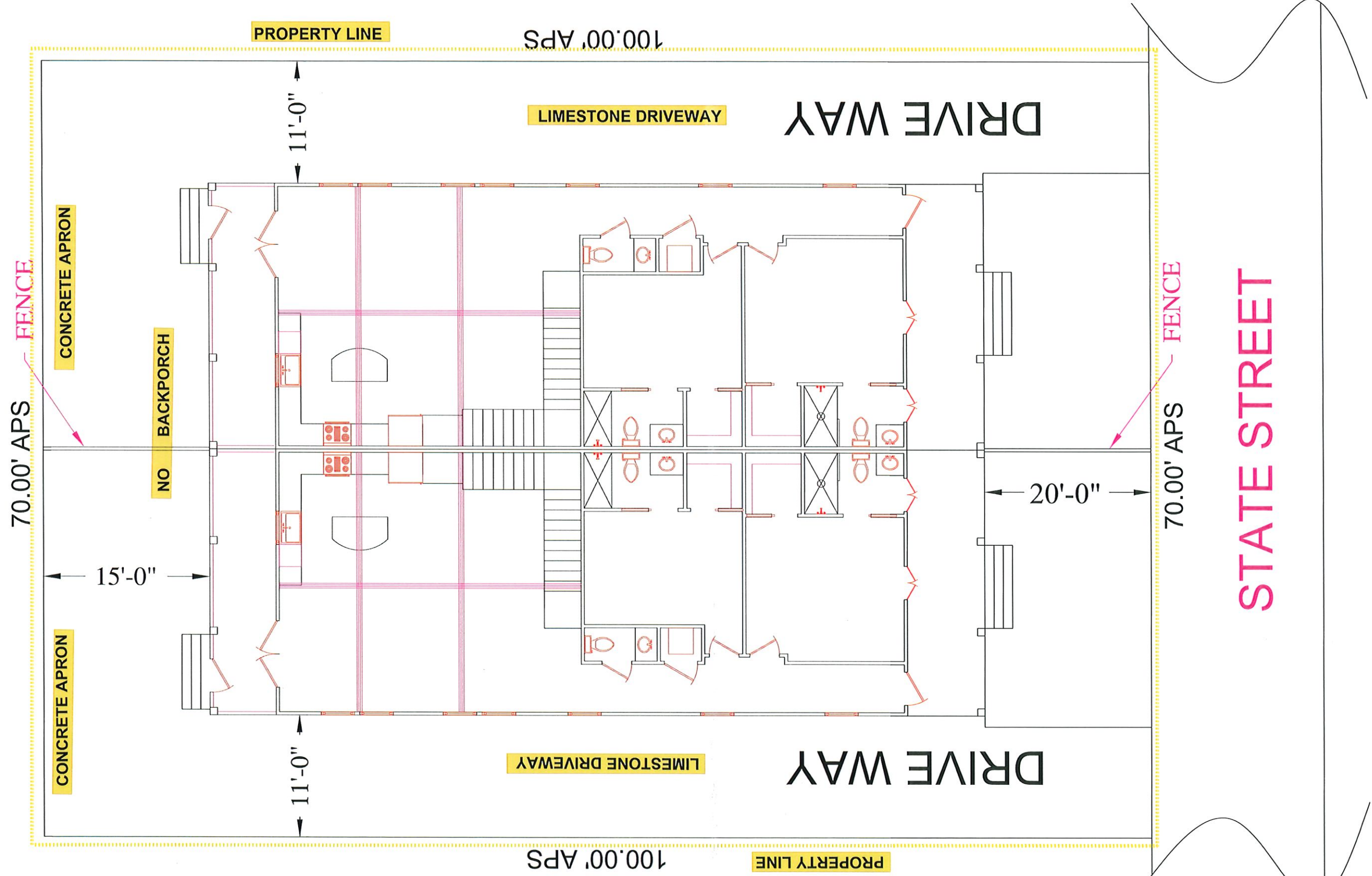
Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Application

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Review	Review Date
Recommendation:	Approval / Approval with Conditions / Disapproval
Comments:	
Requires Property Owner/Applicant Signature	
City Council Review	
COA Action: Approval / Disapproval / NO	Date COA Action
Comments:	
BSL Historic Preservation Commissioner	City Council Member Signature
	Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department



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PLANS FOR
DAVID RUSH
DUPLEX

PLOT PLAN
NECAISE DESIGN
228-493-1046

Revisions	
date	description

DRAWN BY : HN
DATE: 2-5-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
1
NECAISE DESIGN
ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

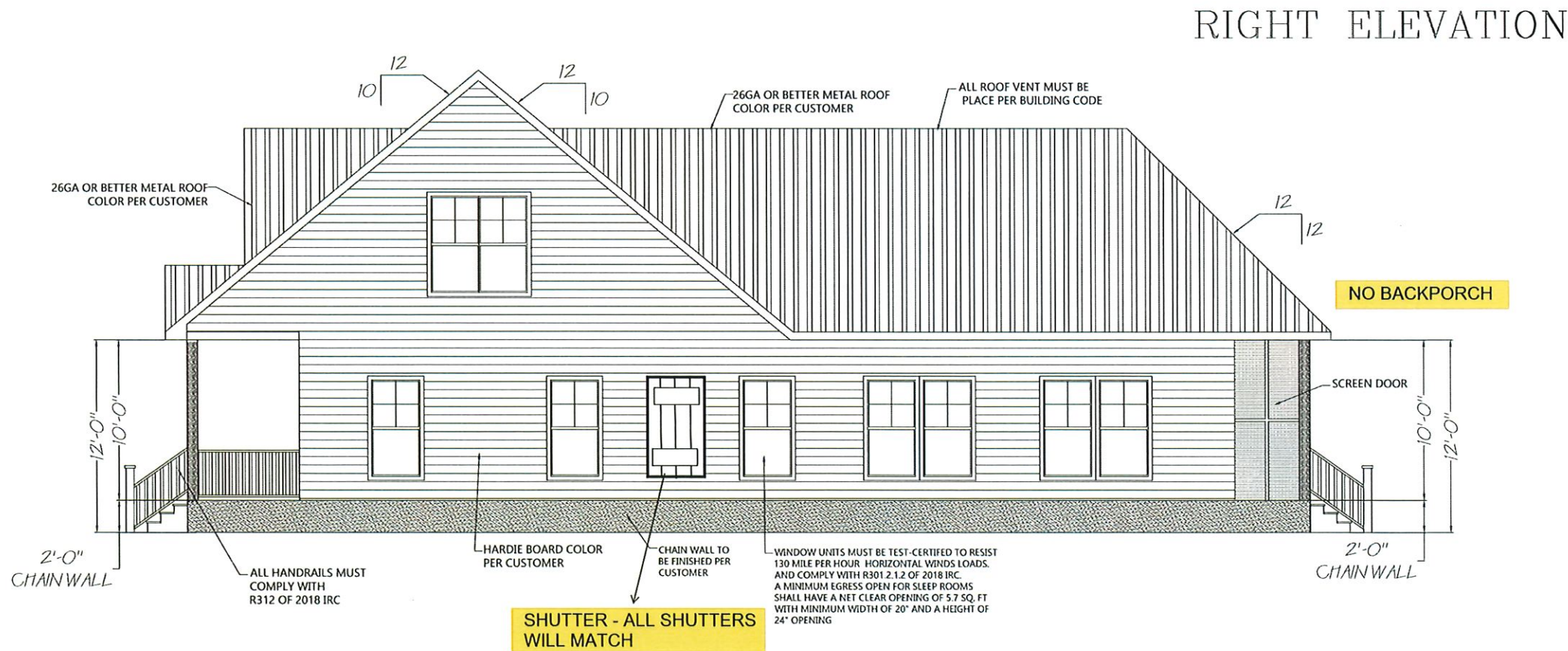
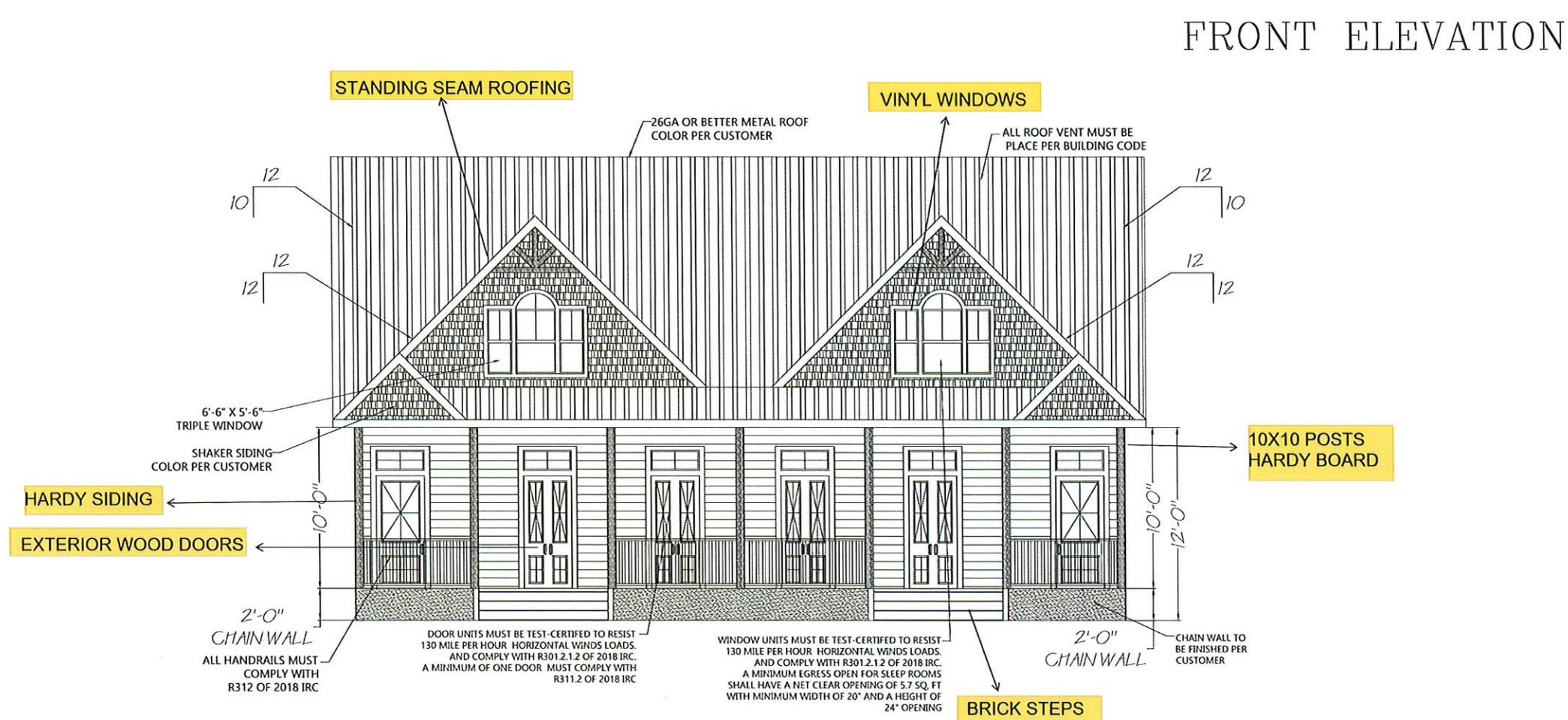
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-6"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)

GEN. NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION(CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS)
8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
11. ALL 6" GUTTERS WILL BE PER CUSTOMER



FRONT ELEVATION

RIGHT ELEVATION

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ELEVATION
NECAISE DESIGN
228-493-1046

Revisions	description	date

PLANS FOR
DAVID RUSH
DUPLEX

DRAWN BY : HN
DATE: 2-13-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
2
NECAISE DESIGN
ALL RIGHTS RESERVED

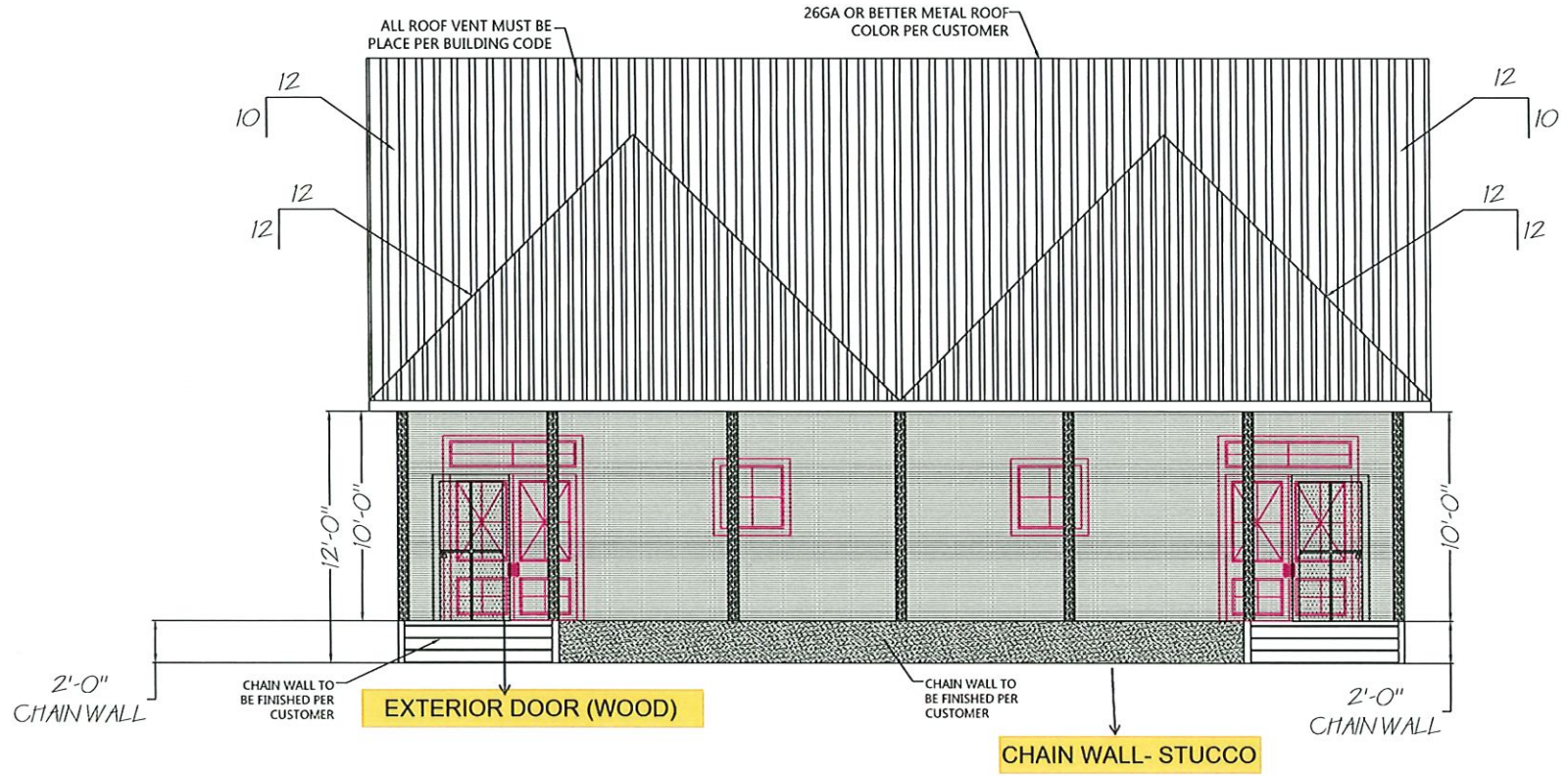
RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)

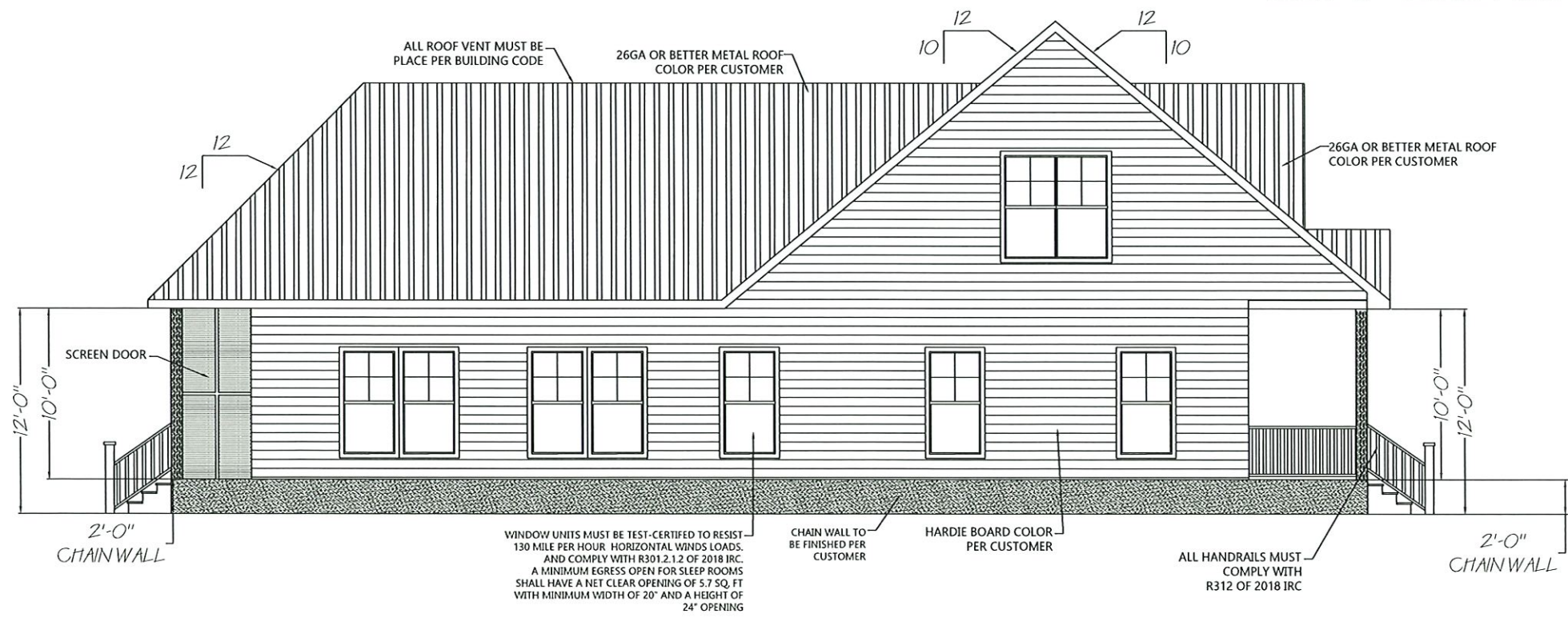
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-8"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-8"
	24.0	14'-9"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)

REAR ELEVATION



LEFT ELEVATION



- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
 5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
 6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
 7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION! **CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS**
 8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
 9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
 10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
 11. ALL 6" GUTTERS WILL BE PER CUSTOMER

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ELEVATION
NECAISE DESIGN
228-493-1046

Revisions	
date	description

PLANS FOR
DAVID RUSH
DUPLX

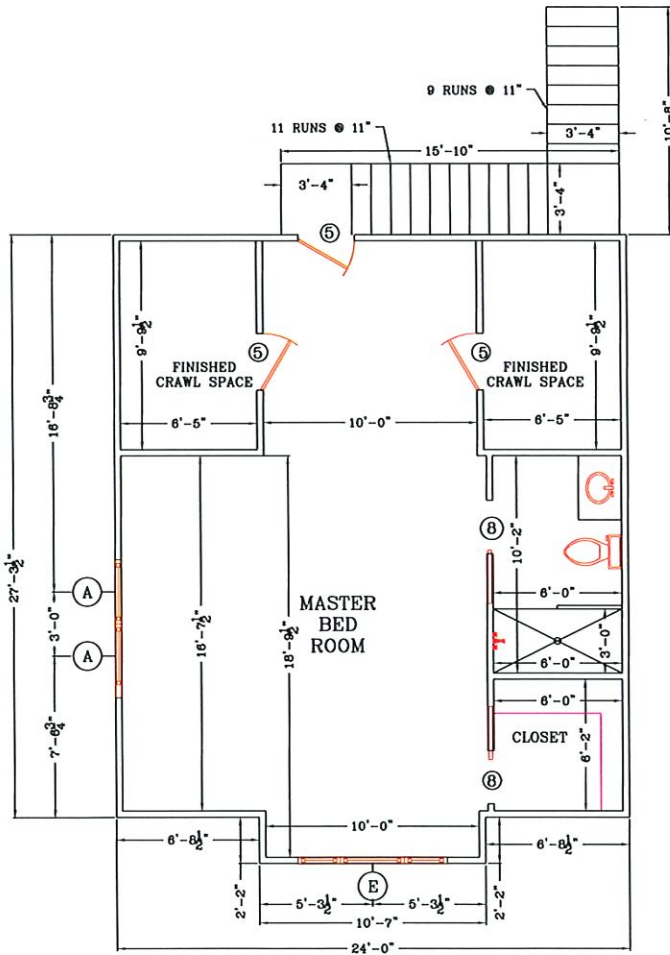
DRAWN BY : HN
DATE: 2-13-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
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APARTMENT 1

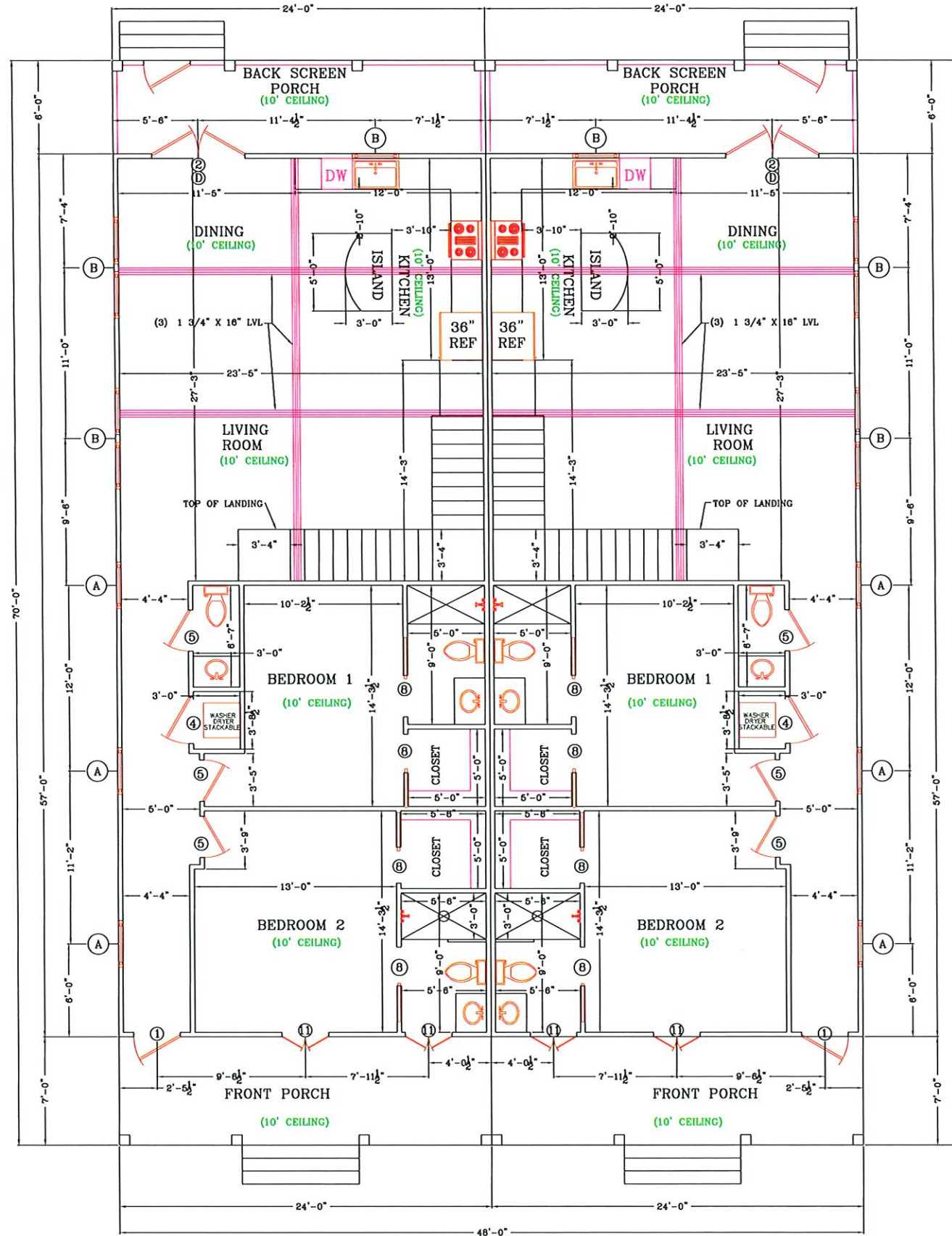
2,046 SQ. FT. LIVING AREA
 204 SQ. FT. FRONT COVERED PORCH
 168 SQ. FT. REAR COVERED PORCH

APARTMENT 2

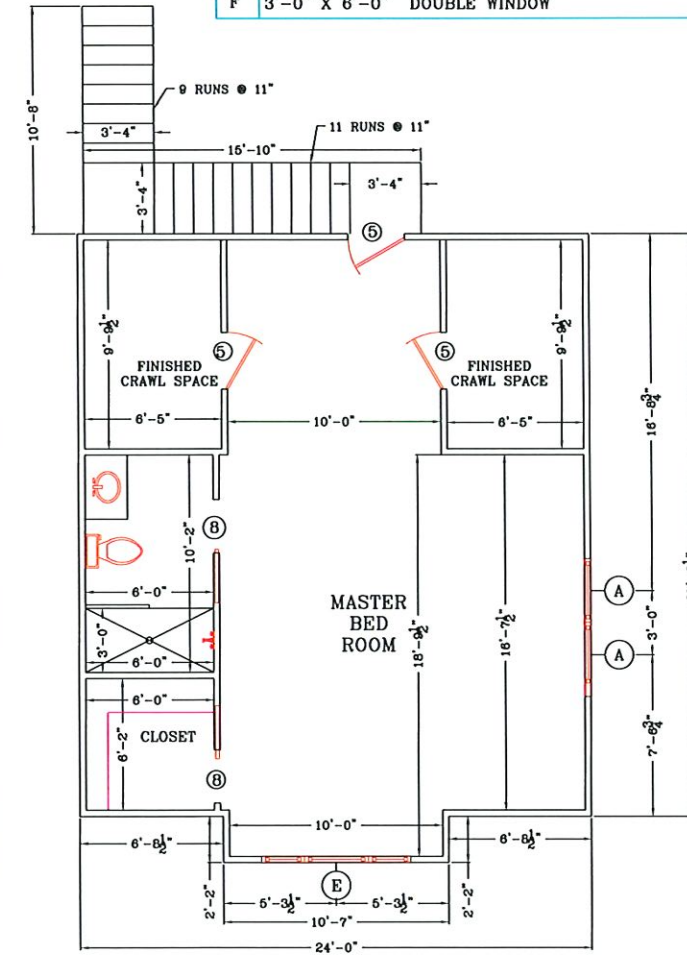
2,046 SQ. FT. LIVING AREA
 204 SQ. FT. FRONT COVERED PORCH
 168 SQ. FT. REAR COVERED PORCH



2ND FLOOR



1ST FLOOR



2ND FLOOR

DOOR SCHEDULE	
MK	DESCRIPTION
1	3'-0" X 7'-0" EXT. DOOR WITH 15" TRANSOM DOOR TO BE CHOSEN AT LATER DATE
2	3'-0" X 8'-0" EXT. DOUBLE DOOR UNIT
3	3'-0" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
4	3'-0" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
5	2'-8" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
6	2'-4" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
7	2'-0" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
8	2'-6" X 8'-0" INT. POCKET DOOR UNIT
9	3'-0" X 8'-0" EXT. DOOR UNIT
10	2'-4" X 8'-0" EXT. DOOR UNIT
11	1'-6" X 7'-0" EXT. DOUBLE DOOR WITH 15" TRANSOM

WINDOW SCHEDULE	
MK	DESCRIPTION
A	3'-0" X 6'-0" WINDOW
B	3'-0" X 4'-0" WINDOW
C	3'-0" X 5'-0" WINDOW
D	1'-0" X 6'-0" TRANSOM WINDOW
E	3'-0" X 5'-0" WINDOW WITH 2'-0" SIDE WINDOWS
F	3'-0" X 6'-0" DOUBLE WINDOW

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FLOOR PLAN

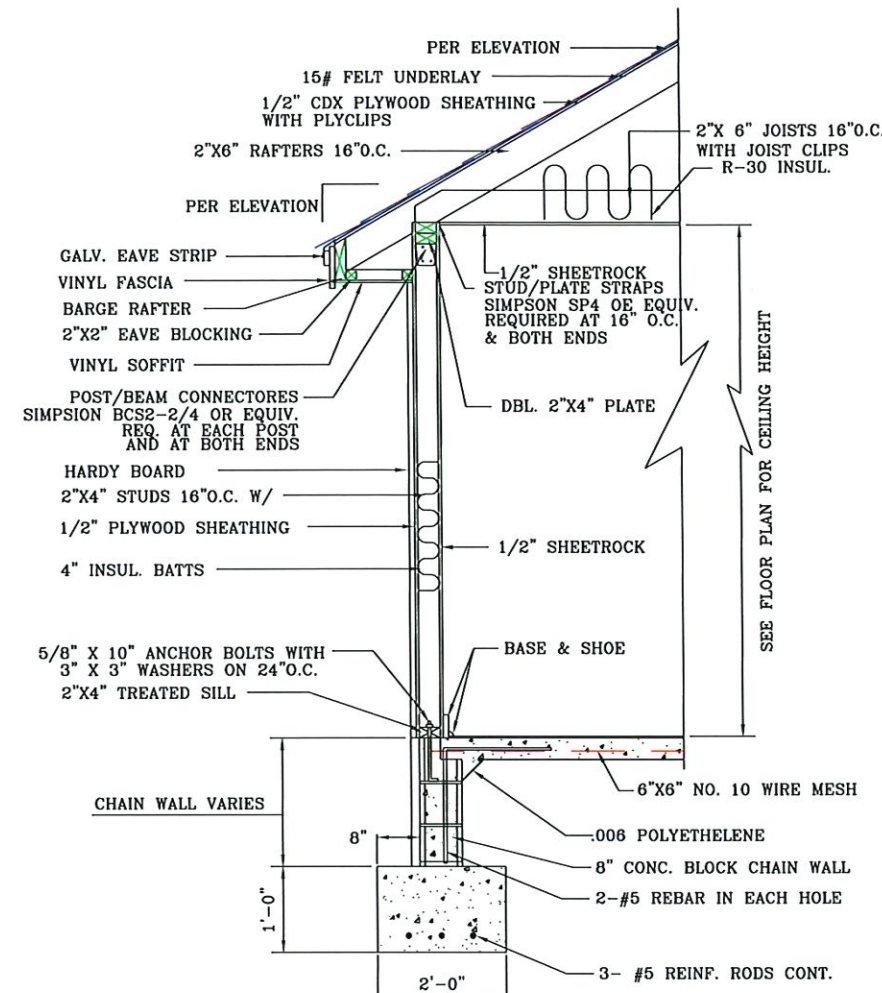
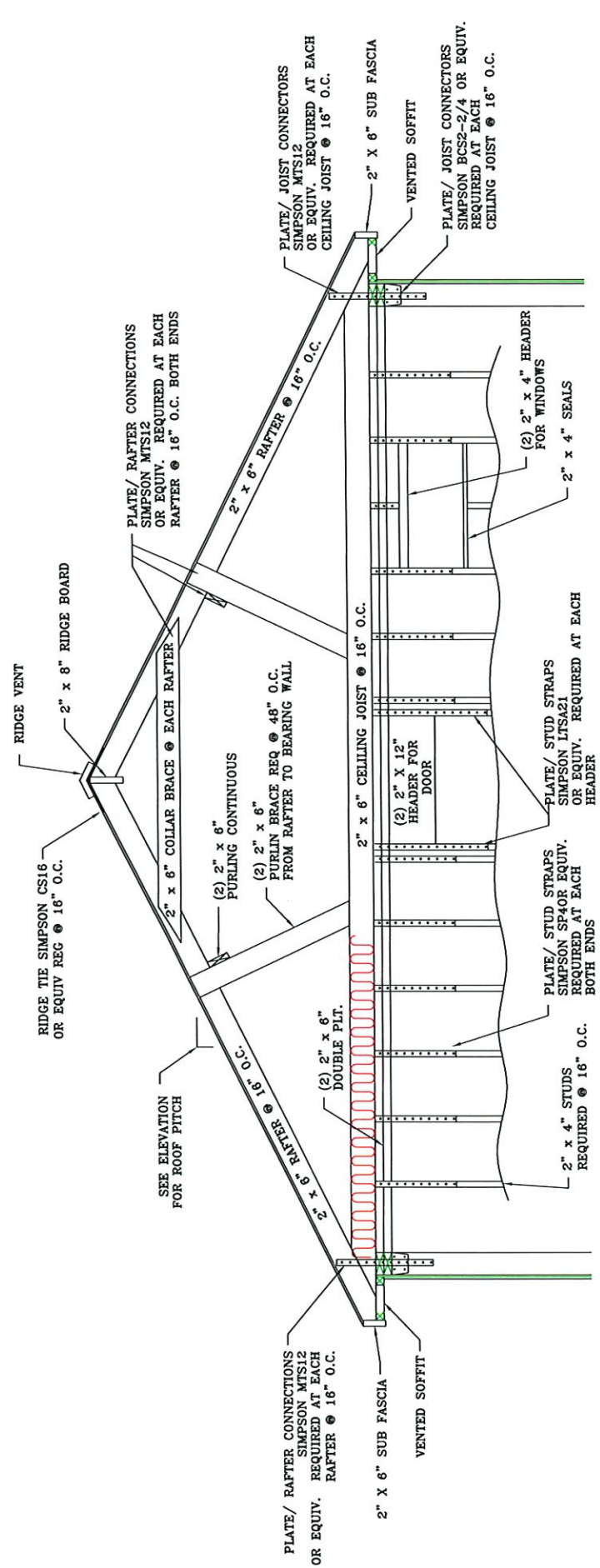
NECAISE DESIGN
 228-493-1046

Revisions	
date	description

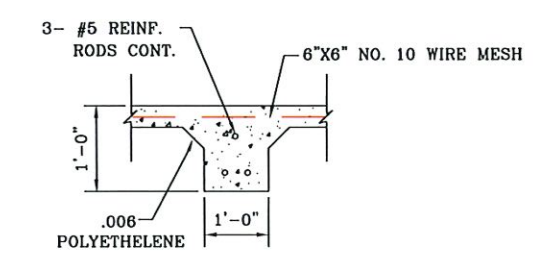
PLANS FOR
 DAVID RUSH
 DUPLEX

DRAWN BY : HN
 DATE: 2-22-24
 SCALE 1/4" = 1'-0"
 SHEET NUMBER :
4

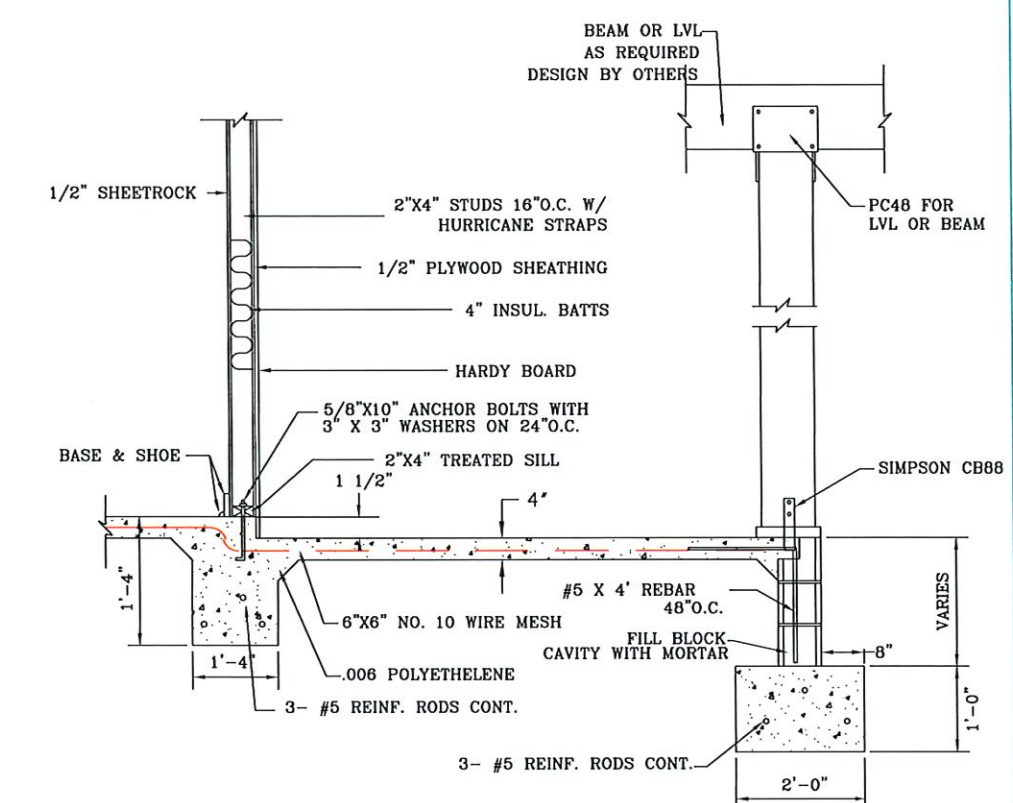
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DETAIL A-A



SECTION C-C



SECTION B-B

- NOTES:
- 1) ALL CONSTRUCTION TO MEET OR EXCEEDS LOCAL, STATE, AND FEDERAL BUILDING CODES
 - 2) CONTRACTOR TO CHECK AND ASSUME RESPONSIBILITY OF ALL DIMENSIONS.
 - 3) GALVANIZED FRAMING CONNECTORS REQUIRED FOR WIND RESISTANCE AS PER LOCAL BUILDING CODE.

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FOUNDATION & WALL DETAILS
NECAISE DESIGN
228-493-1046

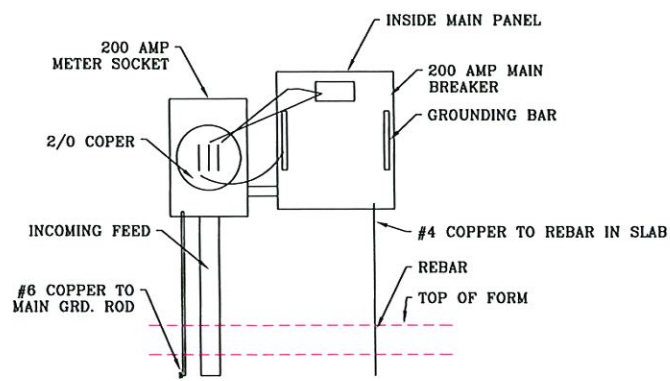
Revisions	
date	description

PLANS FOR
DAVID RUSH
DUPLIX

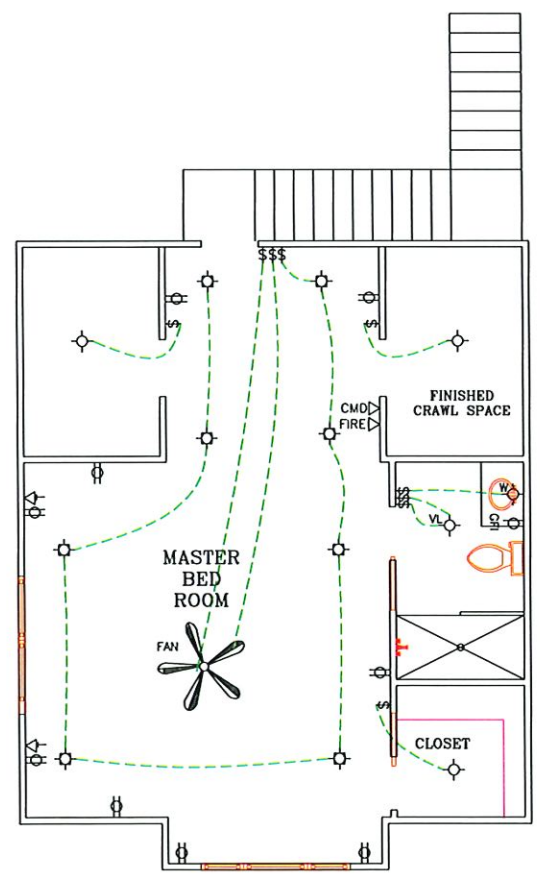
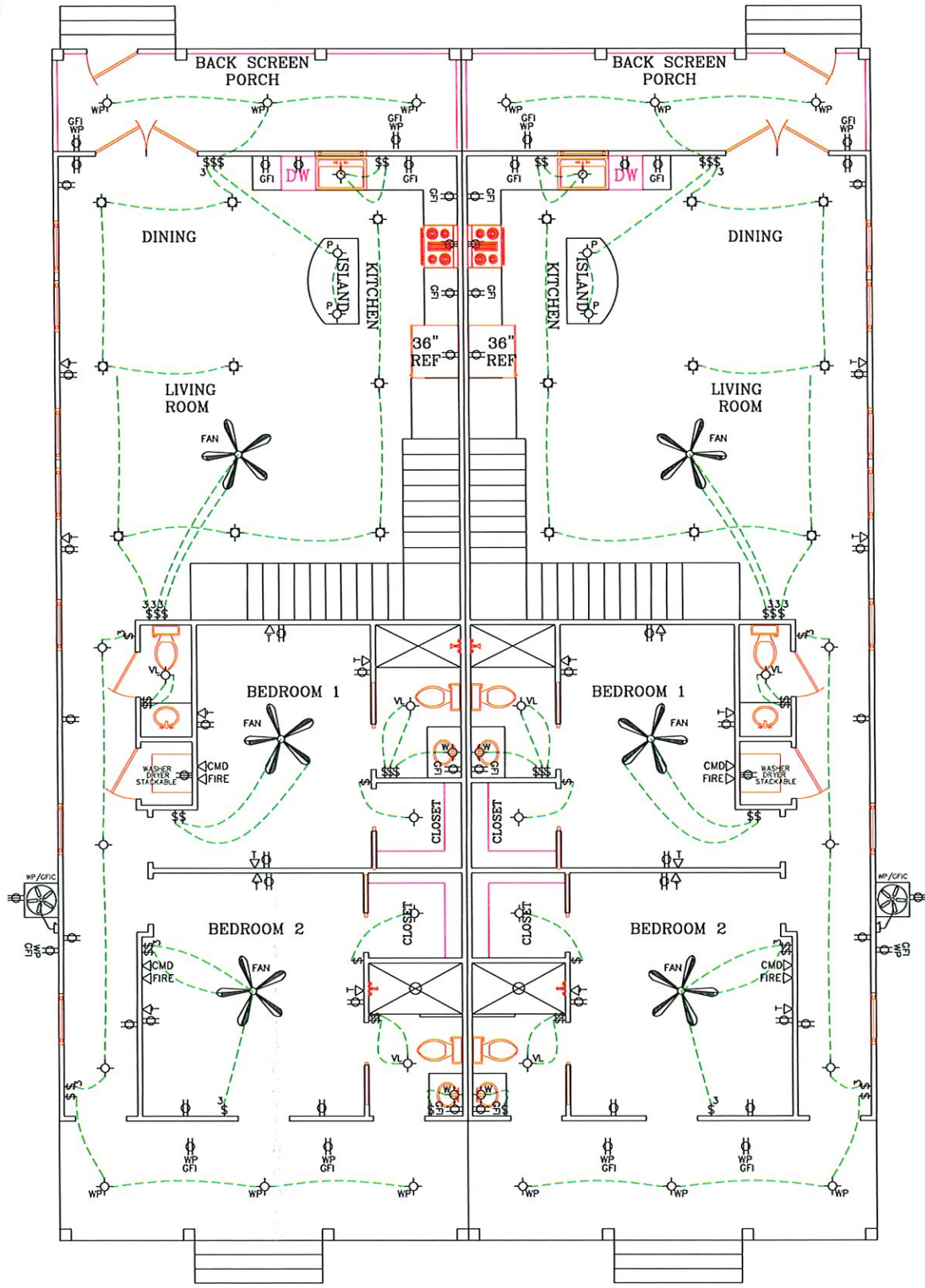
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SCALE 1/4" = 1'-0"

SHEET NUMBER :
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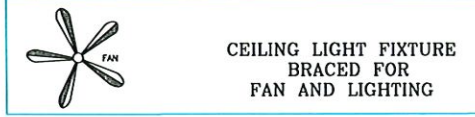
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ELECTRICAL RISER DIAGRAM
NOT TO SCALE



ELECTRICAL SCHEDULE			
SYM	DESCRIPTION	SYM	DESCRIPTION
\$	115V WALL SWITCH	⊕	CEILING LIGHT FIXTURE VENT-LIGHT
\$3	115V WALL SWITCH 3 WAY	⊕	LIGHT FIXTURE RECESSED DOWN LIGHT
⊕	CEILING LIGHT FIXTURE	⊕p	CEILING LIGHT FIXTURE PENDANT W/ EXTRA BRACING
⊕wp	WATERPROOF LIGHT FIXTURE	⊕	WALL MOUNT LIGHT FIXTURE
⊕	SOFFIT MOUNTED MOTION DETECTING FLOOD LIGHT	⊕cmr	115V DUAL CEILING MOUNTED RECEPTACLE
⊕	EACH TO BE ON SEPARATE SWITCH AND CIRCUIT.	⊕	115V DUAL RECEPTACLE SPLIT-WIRED
⊕	115V DUAL ROOF RECEPT.	⊕wp	115V DUAL WALL RECEPTACLE WEATHERPROOF GND. FAULT INT.
⊕	115V DUAL WALL RECEPTACLE	⊕cpi	115V DUAL WALL RECEPTACLE GROUND-FAULT INTERRUPT
⊕/ra	115V DUAL FLOOR MOUNTED RECEPTACLE	⊕oc	115V DUAL WALL RECEPTACLE MOUNTED ABOVE KIT. WALL CABS.
⊕	TELEVISION CABLE WALL JACK	⊕	220V SINGLE WALL RECEPTACLE
⊕	TELEPHONE WALL JACK	c5p	CAT 5 OR 7CABLE + r45
⊕	SMOKE DETECTOR	⊕sw	115V WALL SMART SWITCH
⊕	CARBON MONOXIDE DETECTOR	⊕	WATERPROOF RECESSED LIGHT FIXTURE



- NOTES:
- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
 - 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
 - 3) HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR. IF ELECTRIC WATER HEATER IS UTILIZED IN PLACE OF TANKLESS WATER HEATER AND IS LOCATED IN THE ATTIC, UNIT SHALL BE IN 6" PVC WITH 1" DRAIN TO EXTERIOR.
 - 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
 - 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
 - 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301, M1401 AND M1601.
 - 7) 24" WIDE WALK REQUIRED FROM ATTIC ACES TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
 - 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E3601, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
 - 9) GAS HOT WATER HEATER. LINE TO BE RUN BY GAS COMPANY LOCATION PER CUSTOMER IF CUSTOMER WANTS GAS

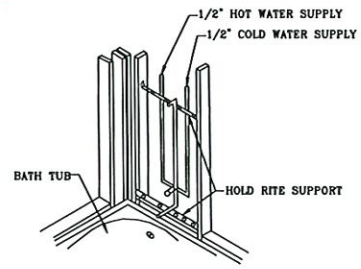
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ELECTRICAL DETAILS
NECAISE DESIGN
228-493-1046

Revisions	description
date	

PLANS FOR
DAVID RUSH DUPLEX

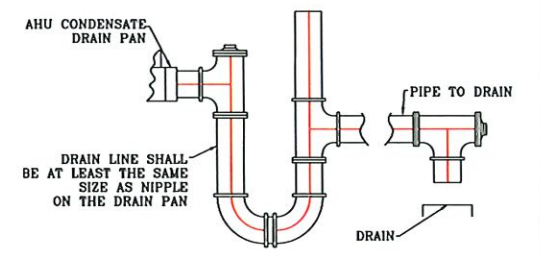
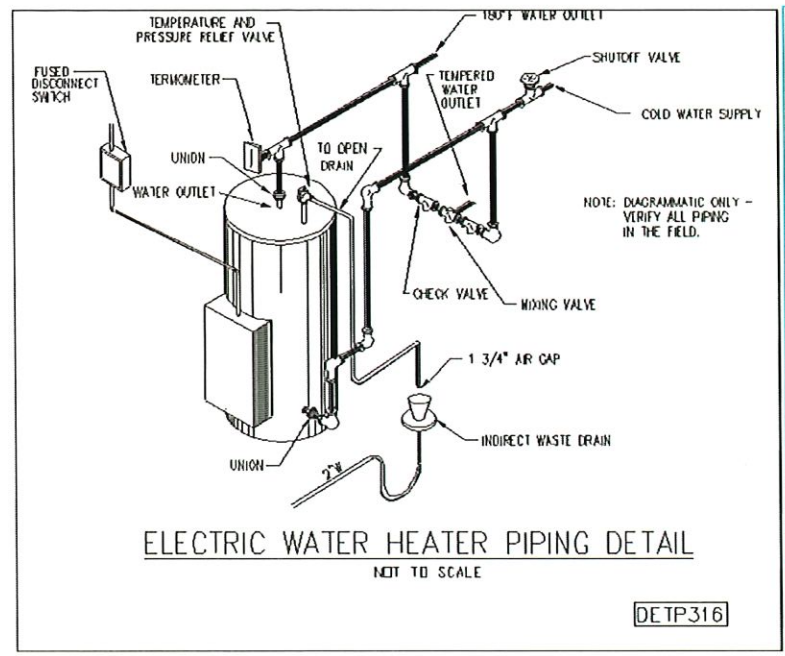
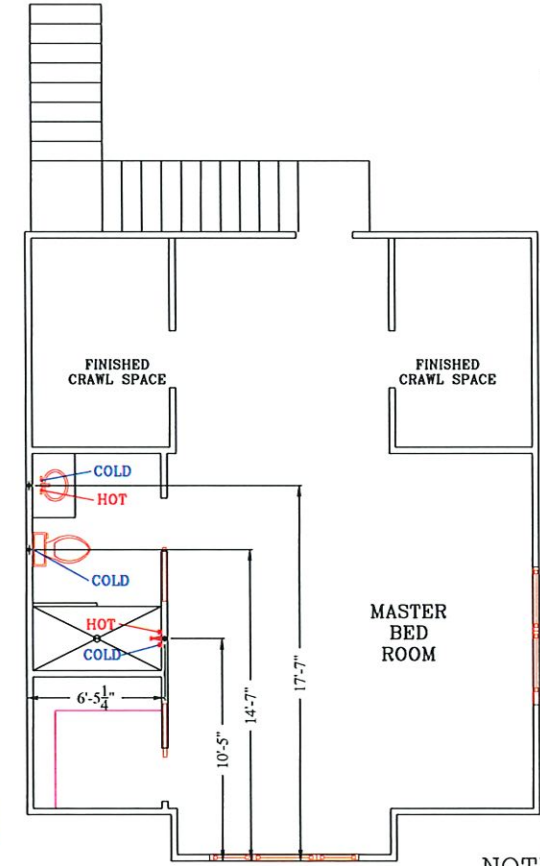
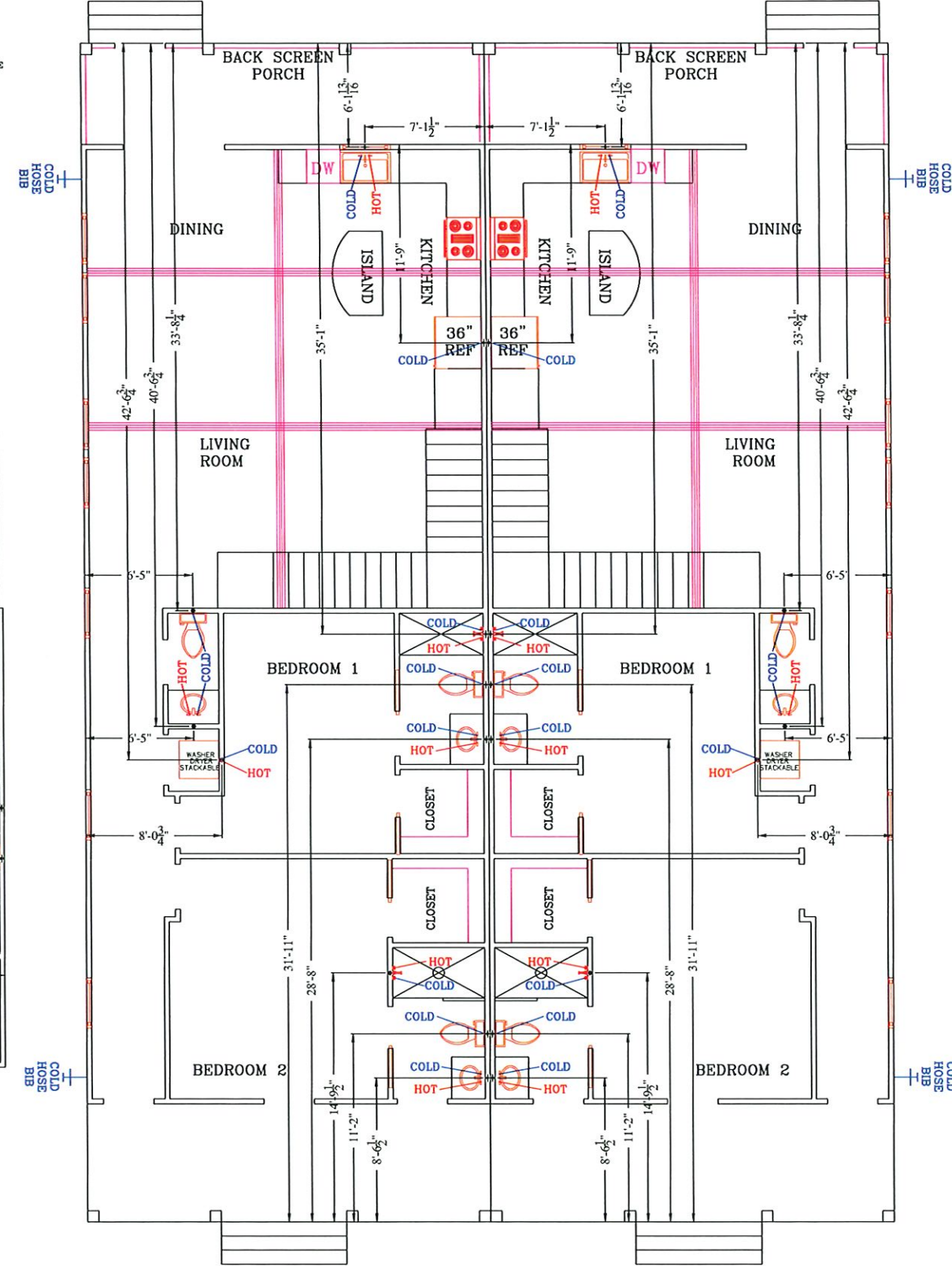
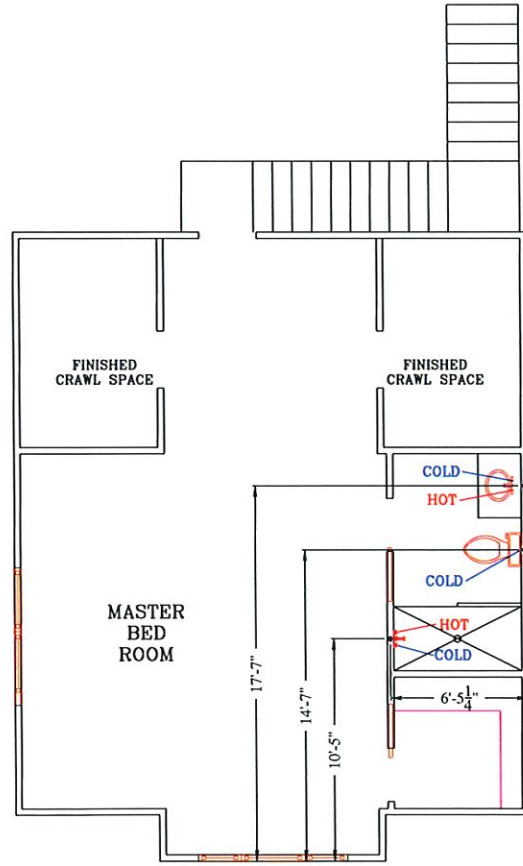
DRAWN BY : HN
DATE: 2-22-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
6
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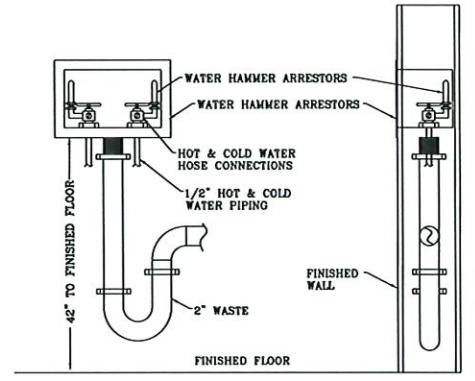
- NOTES:
 1) SHOWER HEAD ROUGH-IN USE # 101 ON HORIZONTAL PLANE WITH ENDS BENT UP. MAKE A CONNECTION THAT SHALL NOT RATTLE AND SHALL NOT PULL AWAY FROM THE WALL.
 2) VALVE SUPPORT. USE #101 ON HORIZONTAL PLANE WITH ENDS BENT UP. THIS SHALL BOTH ALIGN AND SUPPORT THE VALVE.
 3) TUB SPOUT SUPPORT. USE # 101 ON HORIZONTAL PLANE. THIS SHALL PROVIDE STRONG SUPPORT FOR THE TUB SPOUT.

TYP TUB/SHOWER SUPPLY SUPPORT

- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
- 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
- 3) WATER HEATER AND HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR.
- 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
- 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
- 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301, M1401 AND M1601.
- 7) 24" WIDE WALK REQUIRED FROM ATTIC ACCESS TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
- 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E36014, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
- 9) ALL PLUMBING WALL MUST BE SIZED ACCORDING TO PIPE PENETRATING.



CONDENSATE DRAIN DETAIL



WASHING MACHINE CON. DETAIL

NOTE:
 ALL SLOPES, DRAINS, VENTS, WATER LINES & OTHER EQUIPMENT SPECIFICATIONS ARE TO BE CHECKED & VERIFIED BY THE PLUMBING CONTRACTOR & TO BE DONE UP TO CODE.
 ALL SLOPES, DRAINS, VENTS, WATER LINES & OTHER EQUIPMENT SPECIFICATIONS ARE TO BE CHECKED & VERIFIED BY THE PLUMBING CONTRACTOR & TO BE DONE UP TO CODE.

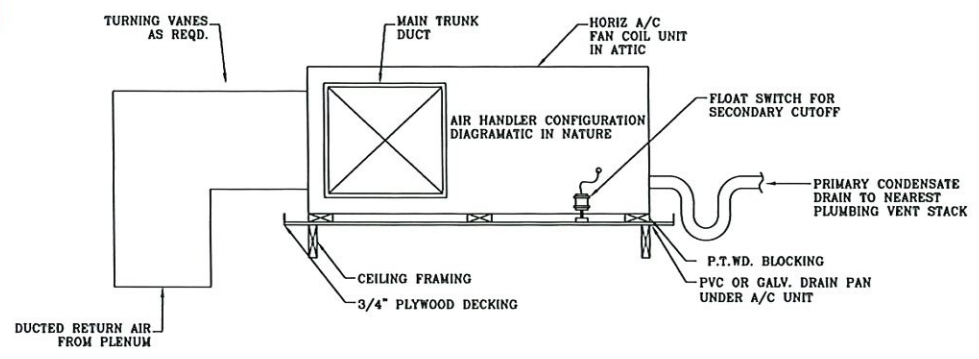
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PLUMBING DETAILS
 NECAISE DESIGN
 228-493-1046

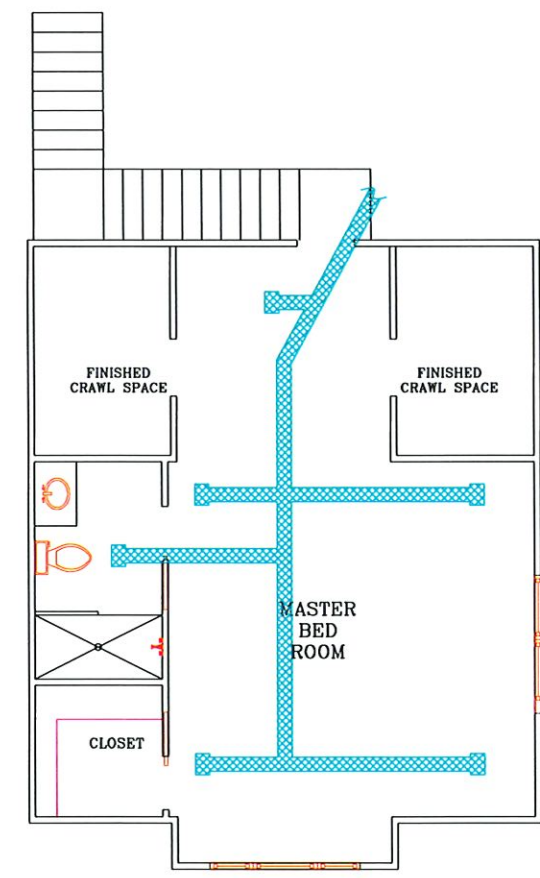
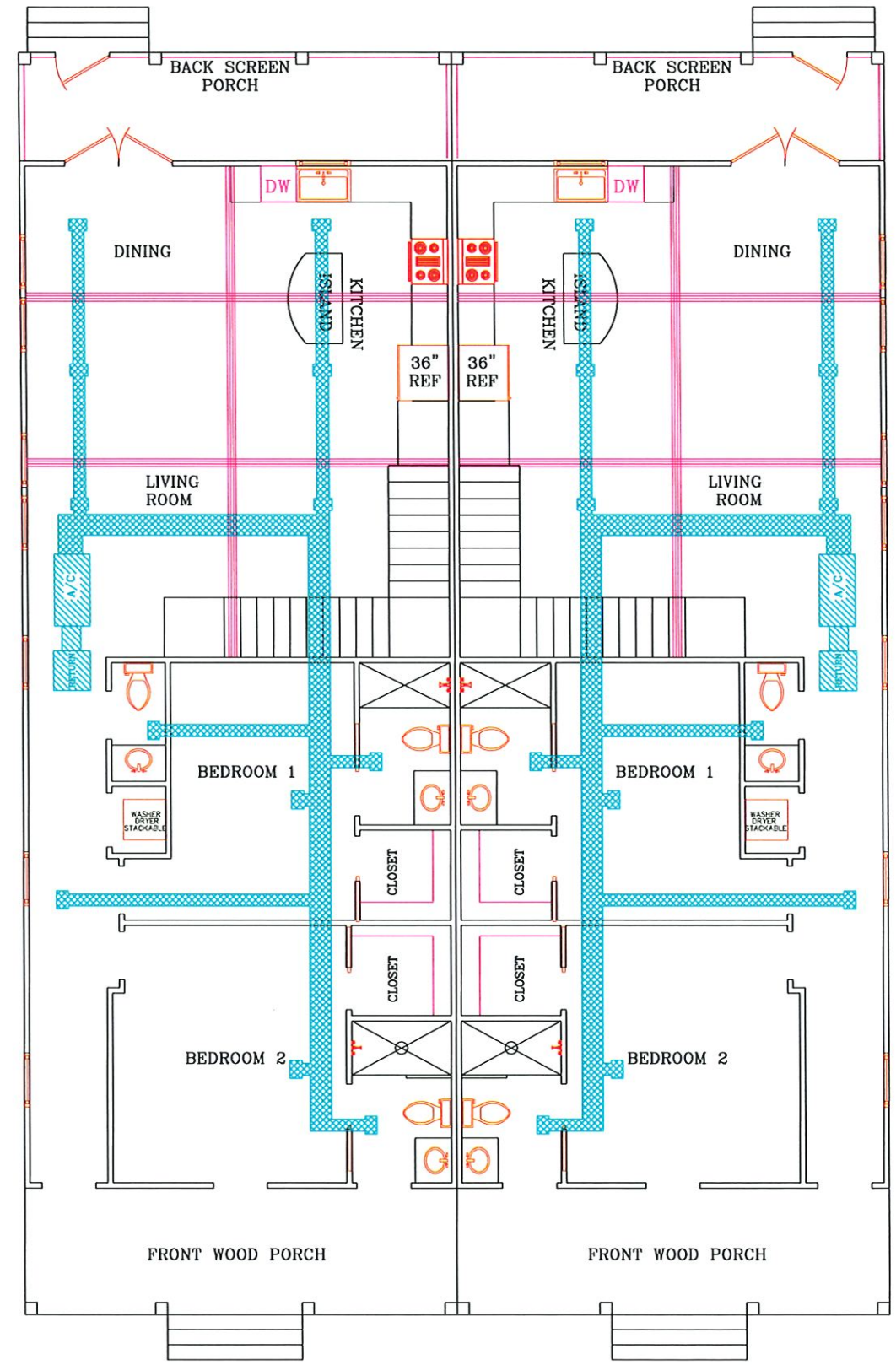
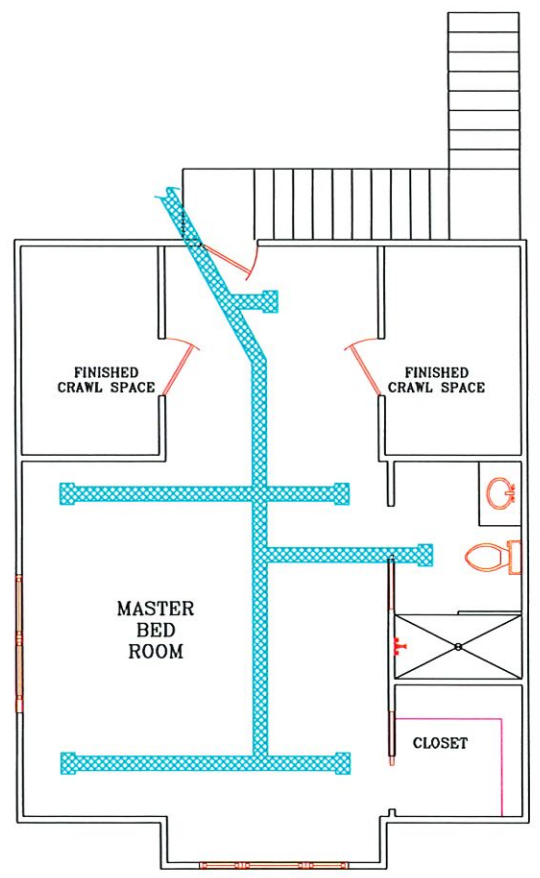
Revisions	
date	description

PLANS FOR
 DAVID RUSH
 DUPLEX

DRAWN BY : HN
 DATE: 2-24-24
 SCALE 1/4" = 1'-0"
 SHEET NUMBER :
7
 NECAISE DESIGN
 ALL RIGHTS RESERVED



AIR HANDLER (HORIZONTAL)



NOTE:

HEAT GAIN/LOSS CALCULATION; DUCT SIZE AND REGISTER LOCATION; CONTROLS AND EQUIPMENT SPECIFICATIONS ARE TO BE PROVIDED BY THE MECHANICAL CONTRACTOR

- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
- 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
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- 9) ALL PLUMBING WALL MUST BE SIZED ACCORDING TO PIPE PENETRATING.

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MECHANICAL DETAILS
NECAISE DESIGN
228-493-1046

Revisions	
date	description

PLANS FOR
DAVID RUSH
DUPLEX

DRAWN BY : HN

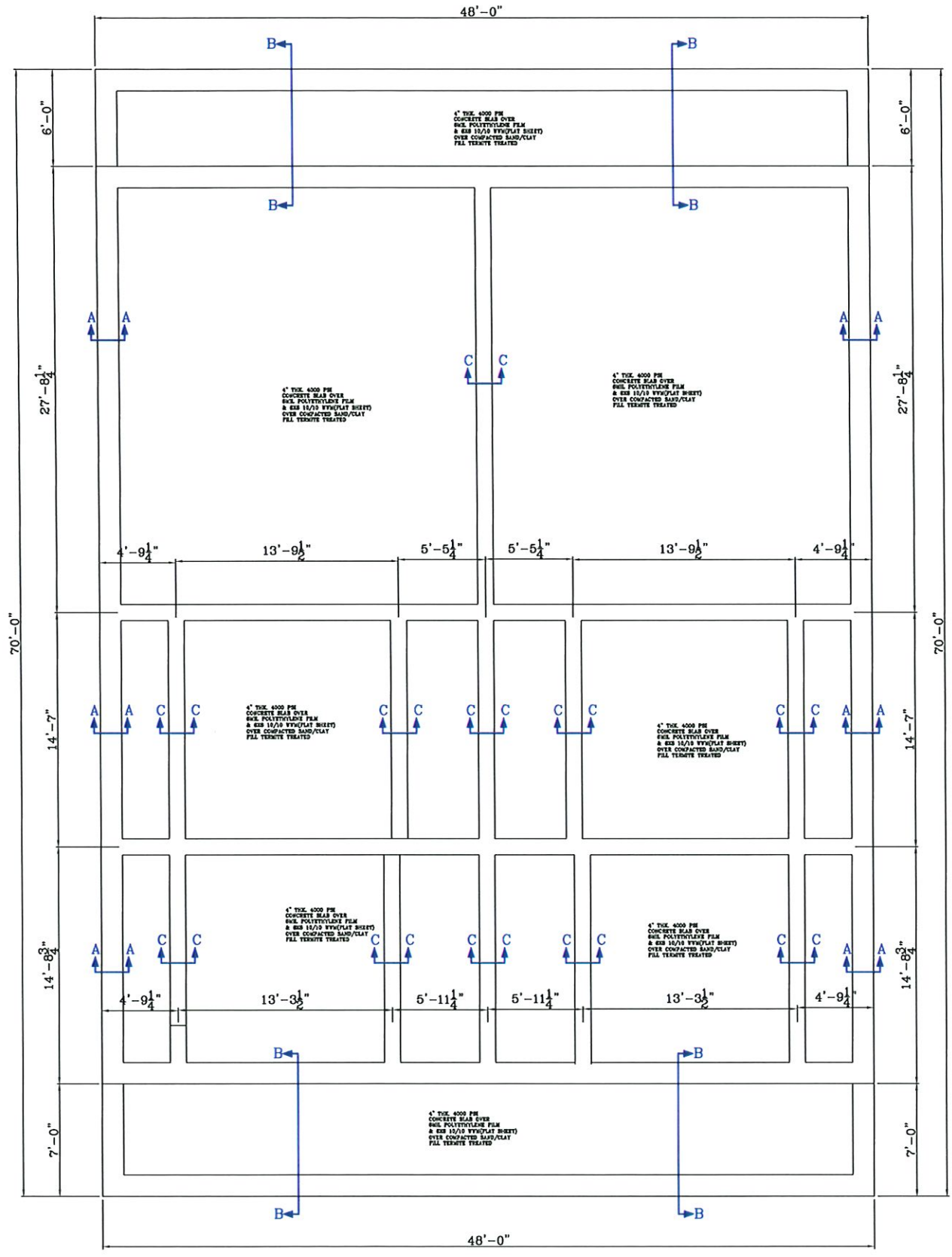
DATE: 2-13-24

SCALE 1/4" = 1'-0"

SHEET NUMBER :



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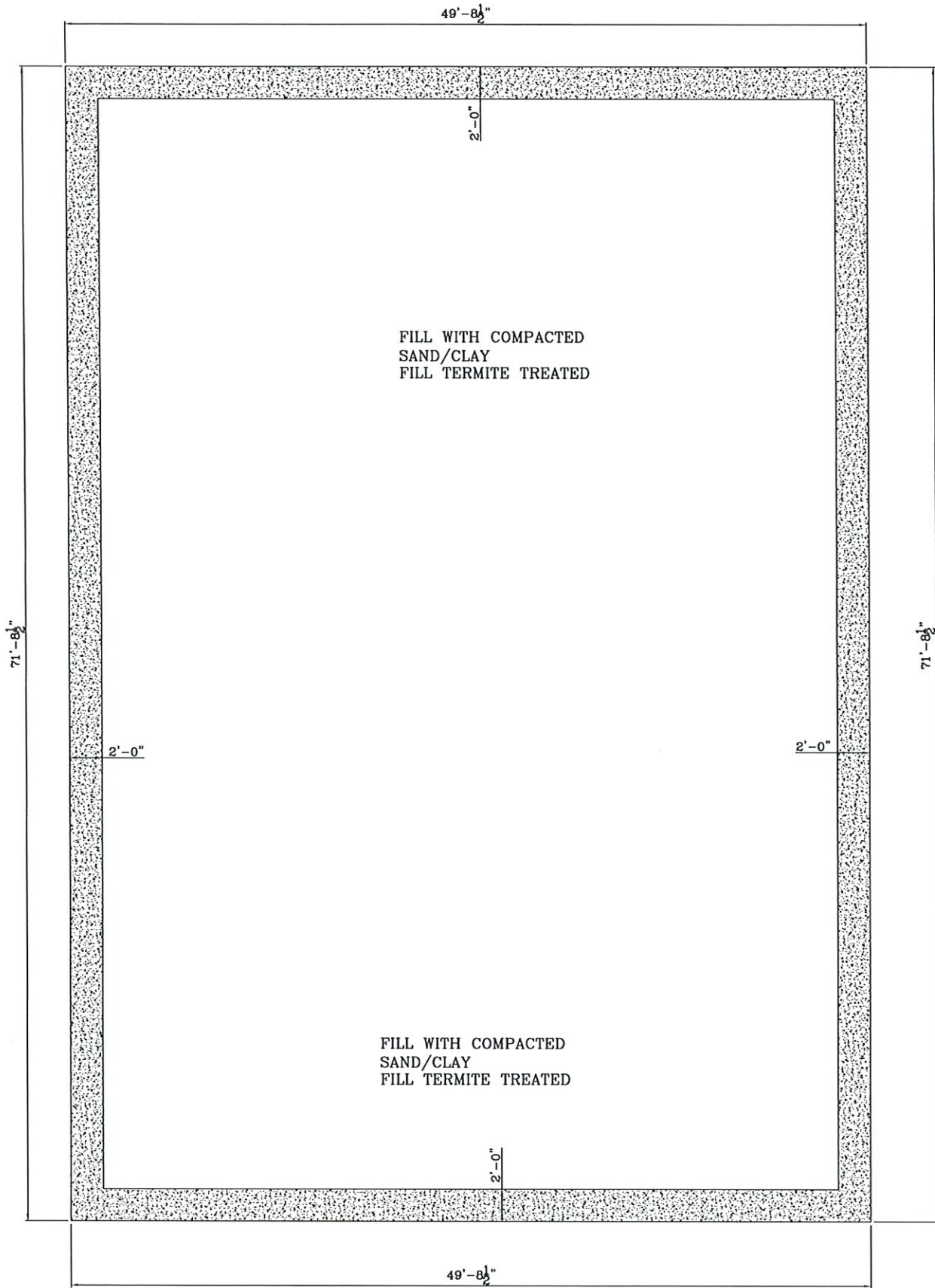
FOUNDATION PLAN
NECAISE DESIGN
 228-493-1046

REVISIONS	
date	description

PLANS FOR
DAVID RUSH
DUPLEX

DRAWN BY : HN
 DATE: 2-26-24
 SCALE 1/4" = 1'-0"

SHEET NUMBER :
9
 NECAISE DESIGN
 ALL RIGHTS RESERVED



BASE FOR CHAIN WALL

Revisions	
date	description

PLANS FOR
**DAVID RUSH
 DUPLEX**

DRAWN BY : HN
 DATE: 2-26-24
 SCALE 1/4" = 1'-0"

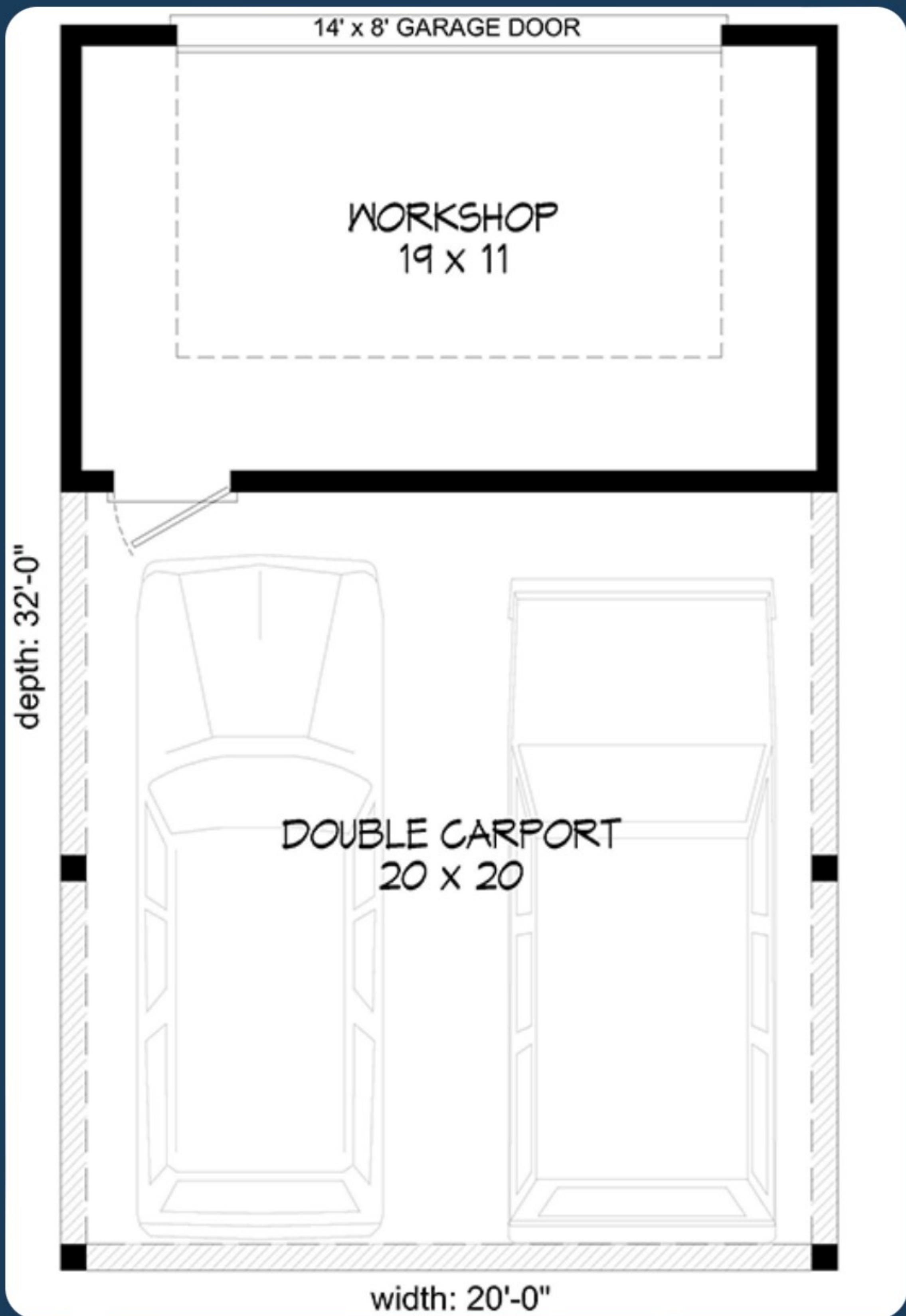
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FOUNDATION PLAN
 NECAISE DESIGN
 228-493-1046

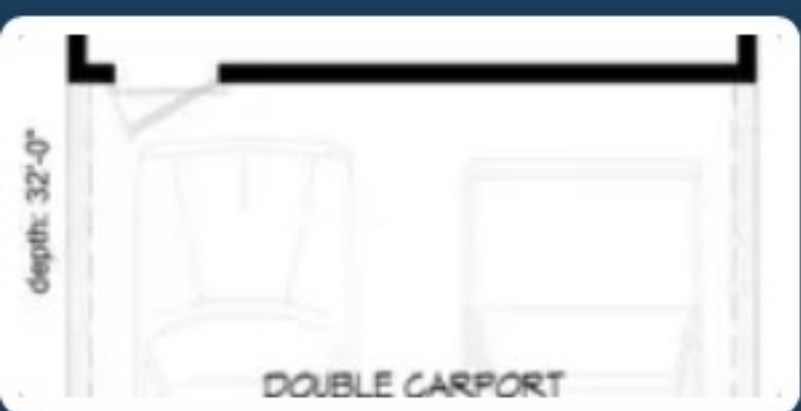
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Plan 68702VR



Reverse



Item # 5.

11:28



Plan 68702VR



Reverse

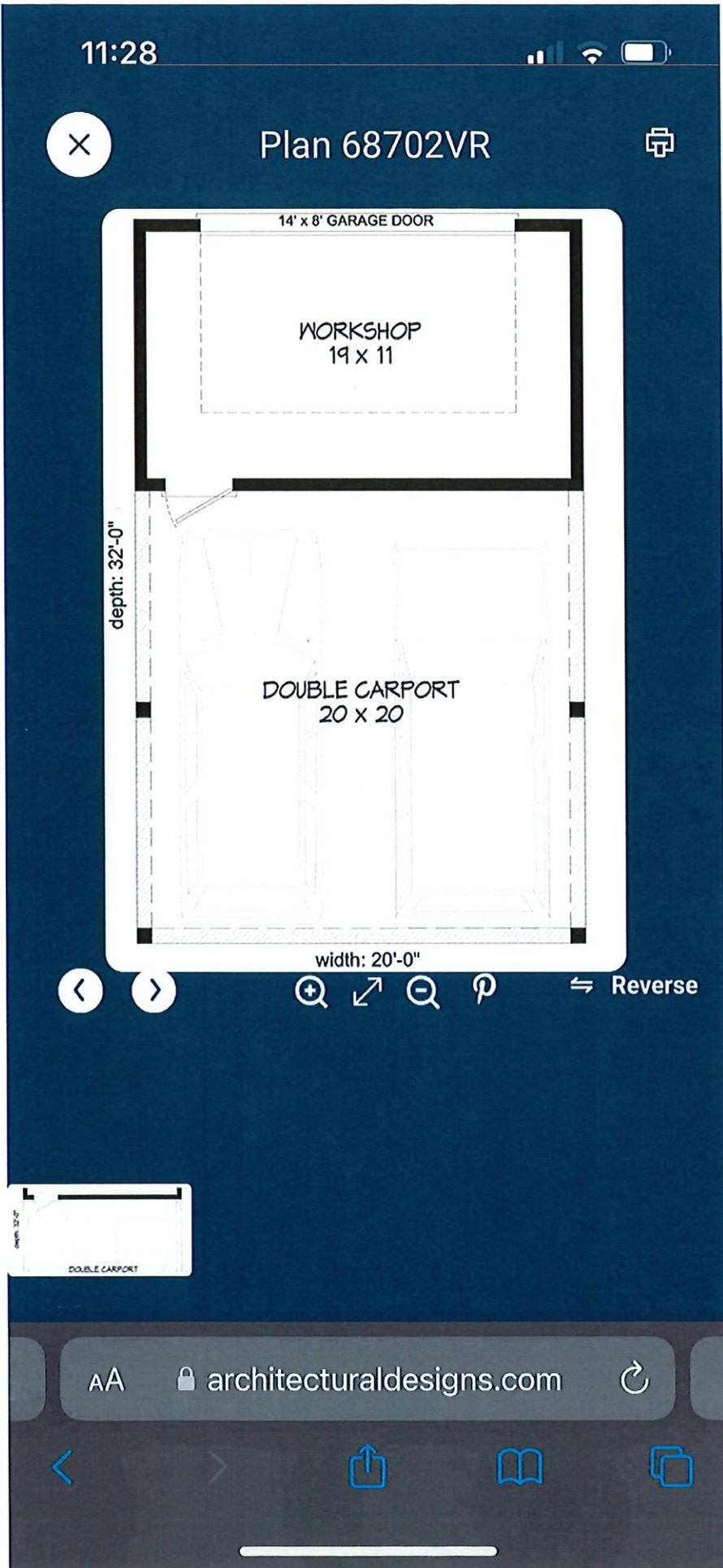


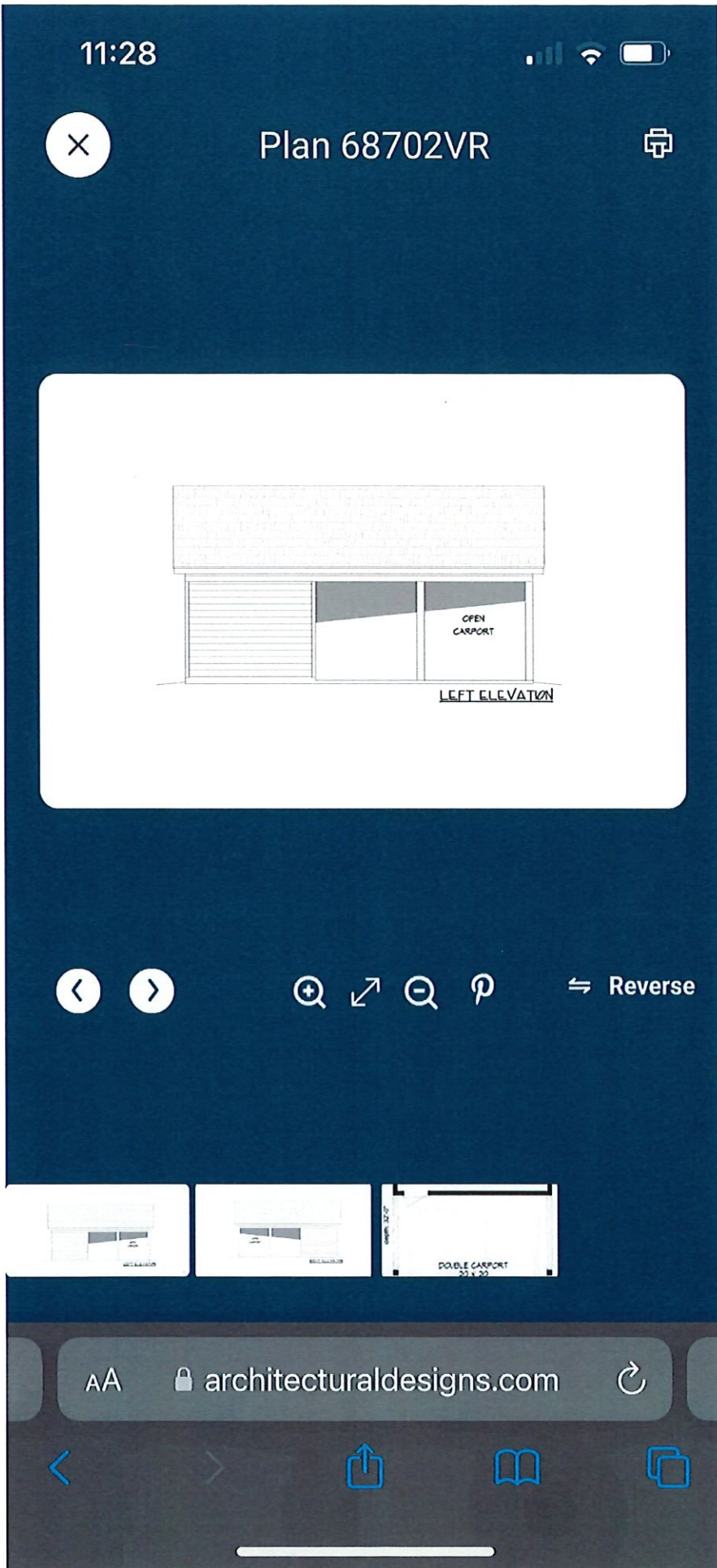
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architecturaldesigns.com

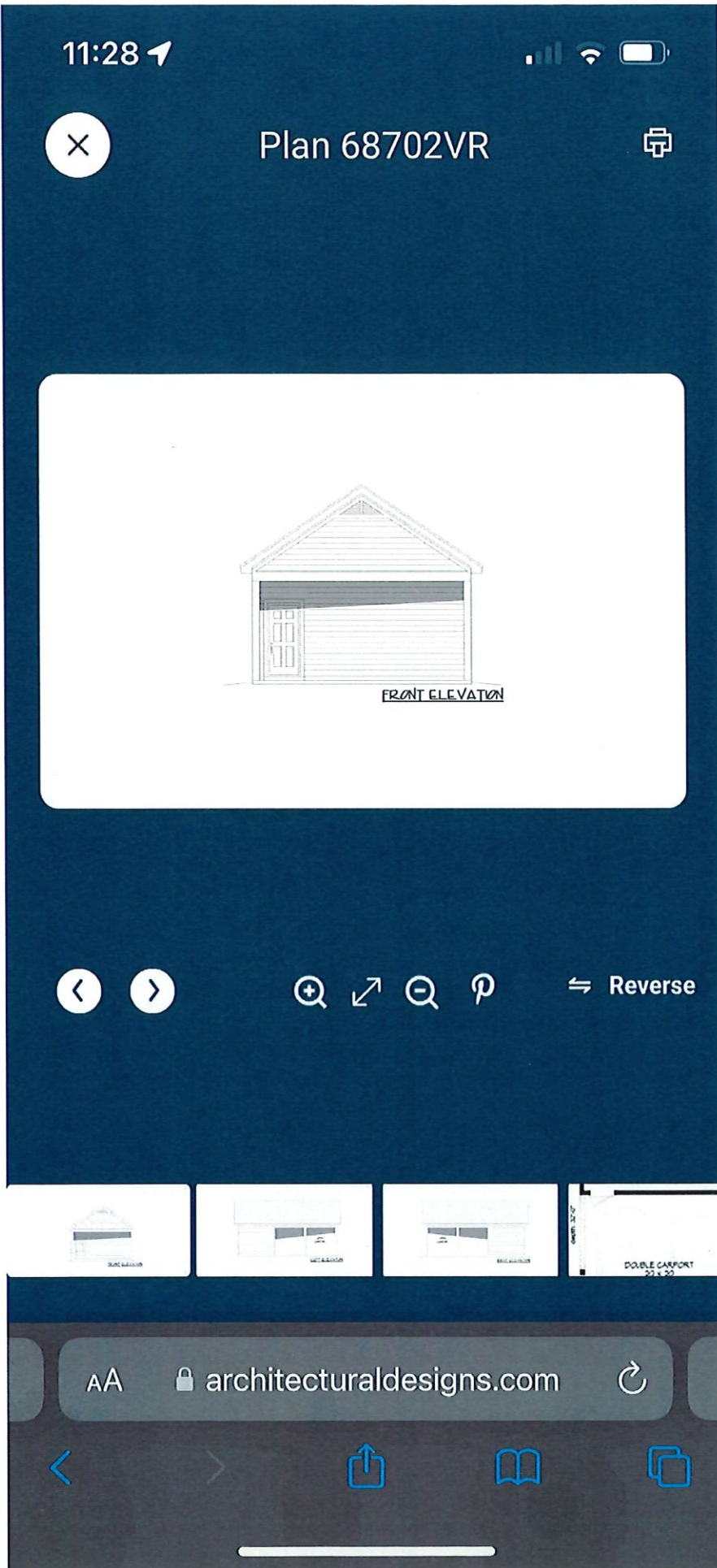


Item # 5.





Item # 5.



Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 122 Ulman Ave Bay St Louis
 Applicant Name: Terrill Talamo Owner Name: Terrill Talamo
 Mailing Address: 2020c Park Ct Mailing Address: _____
 Phone: Belle Chasse, LA 70037 Phone: 504-912-5379

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Application

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed include, but are not limited to,** site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 08/05/2024

Owner's Signature: [Signature] Date: 08/05/2024

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

Historic District: _____ Case Number: _____



Historic Preservation Commission Meeting Minutes

July 08, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

PRESENT

Commissioner Patricia Keating
Commissioner Dave Wessinger
Commissioner Matt Stieffel
Chairman Cliff Rabalais
Commissioner John Bezou

ABSENT

Commissioner Steve Haas

Action Items

1. Motion to approve the boat house at 116 Washington submitted by Benfatti Construction

Motion made by Chairman Rabalais, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

2. Motion to approve plan to construct new dwelling at 220 Washington Street

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffer,
Chairman Rabalais, Commissioner Bezou

3. Motion to approve the demo of the carport and shed and the construction of new carport at 204 Keller Street submitted by Joelle Foret

Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

4. Motion to approval conceptual review for new entry facade and pavilion at 108 South Beach Blvd submitted by John Anderson

Motion made by Commissioner Keating, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

5. Motion to conception approval sign at 108 Court Street submitted by RAMM Inc

Motion made by Chairman Rabalais, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

6. Motion to table the construction on a duplex at 336 State Street submitted by David Rush

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

Minutes Approval

7. Motion to approve minutes from June 10, 2024 meeting

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,
Commissioner Bezou

Voting Abstaining: Commissioner Keating

Minutes Approval

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

Adjourn

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

Cliff Rabalais, Chairman

Date

Jeremy Burke, HPC Coordinator

Date