



April 16th, 2025 Planning and Zoning Meeting Agenda

April 16, 2025 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Minutes Approval

1. Motion to approve the minutes of March 12, 2025.

Action Items

2. **SELLERS** - Application for Variance to the Zoning Ordinance Submitted by Rick Sellers. The applicant wants to construct a carport in front of the dwelling. The applicant requests a front yard variance of 11' resulting in a 14' setback to the front yard. The property is located at 11080 New York Street, Parcel Number 135N-2-39-093.000; 54 BLK 337 UN 3 ADD 1 SHORELINE PARK. The property is zoned R-1A Residential Single Family.
3. **YOUNG** - Application for Variance to the Zoning Ordinance Submitted by Randy Young. The application is adding an addition to the rear of the existing dwelling. The application requests a variance of 9'9", resulting in a 10'3" setback to the rear yard. The property is located at 135 DeMontluzin Avenue, Parcel Number 149F-0-29-209.000; 17 & 18 Beach Front Subdivision. The property is zoned R-2 Residential Two-Family.
4. **CORBITTNICAUD LLC** - Motion to TABLE application for minor Site Plan Review for a Boutique Hotel submitted by Merritt Nicaud. The property in question is located at 105 North Beach Blvd is identified on the Hancock County Land Rolls as Parcel No. 149L-0-29-035.000 legal description as 510 1ST WARD BAY ST LOUIS and parcel NO 149L-0-29-036.000 Legal District PT 512 1ST WARD BAY ST LOUIS. The property is zoned C-1, Central Business District.
5. **BELLAMARE DEVELOPMENT** – Application for minor Site Plan Review for a convenience store and filling station with an attached coffee shop submitted by

Bellamare Development. The property in question is located at 1083 HWY 90 and is identified on the Hancock County Land Rolls as Parcel No. 137F-2-26-009.000 (Legal Description: PT 88 J BOUQUIE CL (BUS) HWY 90) and Parcel No. 137F-2-26-010.000 (Legal Description: PT 89 J BOUQUIE CL 26-8-14). The property is zoned C-3 Highway Commercial District.

Adjourn

6. Motion to adjourn the meeting of April 16, 2025.



Planning and Zoning Meeting Minutes

March 12, 2025 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

PRESENT

- Chairman Amy Doescher
- Commissioner Clark Breland
- Commissioner John Romano
- Commissioner Mikayla Brown

ABSENT

- Commissioner Chet LeBlanc
- Commissioner Dean Agee
- Commissioner MJ Krankey

Minutes Approval

1. Motion to approve the minutes of February 12, 2025.

Motion made by Commissioner Breland, Seconded by Commissioner Romano.

Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Romano, Commissioner Brown

APPROVED

Action Items

2. ***WITHDRAWN* LORONA CONSULTING AND CONTRACTING** - Application for Variance to the Zoning Ordinance Submitted by Lorona Consulting and Contracting. The applicant is wanting to construct a dwelling. The applicant is requesting a variance of 15' resulting in a 10' setback to the front yard, and a variance of 15' resulting in a 5' setback to the rear yard. The property is located at 204 Caron Lane, Parcel Number 149N-0-30-146.000; 109B 4TH WARD BAY ST LOUIS. The property is zoned R-2 Two Family District.

APPROVED

3. **ARORA** - Application for Special Exception to the Zoning Ordinance submitted by Varinder Arora. The applicant requests a special exception for a wine and liquor store by special exception in a C-2 Neighborhood Commercial zoning district. The property is located at 501 Old Spanish Trail Unit A. Parcel 137J-0-44-220.000; LOT 298K 3RD

WARD BSL; BAY ST LOUIS. The property is zoned C-2 Neighborhood Commercial zoning district.

Varinder Arora spoke representing the application.

The following citizens spoke in opposition:

Sandra Price, Candace Johnson, Patricia Tice, Paula Fairconnettue, Beverly Williams
Motion to deny the application made by Commissioner Breland, Seconded by Commissioner Brown.

Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Romano, Commissioner Brown

APPROVED

- 4. **CORBITTNICAUD LLC** - Application for minor Site Plan Review for a Boutique Hotel submitted by Merritt Nicaud. The property in question is located at 105 North Beach Blvd is identified on the Hancock County Land Rolls as Parcel No. 149L-0-29-035.000 legal description as 510 1ST WARD BAY ST LOUIS and parcel NO 149L-0-29-036.000 Legal District PT 512 1ST WARD BAY ST LOUIS. The property is zoned C-1, Central Business District.

Motion to table the application made by Commissioner Breland, Seconded by Commissioner Romano.

Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Romano, Commissioner Brown

APPROVED

- 5. **BELLAMARE DEVELOPMENT** – Application for minor Site Plan Review for a convenience store and filling station with an attached coffee shop submitted by Bellamare Development. The property in question is located at 1083 HWY 90 and is identified on the Hancock County Land Rolls as Parcel No. 137F-2-26-009.000 (Legal Description: PT 88 J BOUQUIE CL (BUS) HWY 90) and Parcel No. 137F-2-26-010.000 (Legal Description: PT 89 J BOUQUIE CL 26-8-14). The property is zoned C-3 Highway Commercial District.

Motion to table the application made by Commissioner Romano, Seconded by Commissioner Breland.

Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Romano, Commissioner Brown

APPROVED

Adjourn

- 6. Motion to adjourn the meeting of March 12, 2025.

Motion made by Commissioner Breland, Seconded by Commissioner Romano.

Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Romano, Commissioner Brown

APPROVED

Amy Doescher, Chairman

Date

Caitlin Bourgeois, Secretary

Date

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 11080 New York Street
135N-2-39-093.000
54 BLK 337 UN 3 ADD 1 SHORELINE PARK

HEARING DATE: April 16, 2025

I reviewed Rick Sellers's application for a Variance to the Zoning Ordinance. The property is 11080 New York Street, in the R-1A Single Family District. The district requires a 25-foot front yard setback, an 8-foot side yard setback, and a 20-foot rear yard setback.

The applicant requests a front yard to construct a carport.

Front Yard Setback:

Required: 25'

Proposed Distance of rear yard: 14'

Variance Request: 11'

The administration recommends denial of the variance.

- This dwelling was constructed before Katrina. Therefore, it is not high enough for a boat to be parked under it.
- The two next-door neighbors wrote letters of support of allowing this variance
- The front of the carport will be 24' from New York Street pavement because the Bay St Louis right-of-way in front is 10'
- No hardship

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

APPLICATION FOR VARIANCE TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Rick Sellers

ADDRESS: 23205 Oak Alley Place

PHONE: (564) 915-1200

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

11080 New York Street, BSL MS

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

54 BLK 337 UN 3 ADD 1 SHORELINE PARK

2. Parcel number(s) as described in the Hancock County tax rolls:

135N-2-39-093.000

3. Present Zoning: R-1A

4. Present use of building/property: Dwelling

5. Application fee of \$²⁵⁰~~100~~ (Residential): # 00532462

Application fee of \$²⁵⁰~~200~~ (Commercial): _____

Article XIII
1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

Article XIII
1305.3 VARIANCES

To recommend such variances from the terms of this Ordinance as will not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance will in an individual case result in unnecessary hardship, so that the spirit of the Ordinance shall be observed, public safety and welfare secured, and substantial justice be done. Such variance may be granted in such case of unnecessary hardship upon a finding by the City Council that all of the following conditions exist:

- A. There are extraordinary and exceptional conditions which pertain to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.
- B. The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located.
- C. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other residents of the district in which the property is located.
- D. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- E. The special circumstances are not the result of the actions of the applicant.
- F. The existence of a nonconforming use of neighboring land, buildings, or structures in the same district or of permitted or nonconforming uses in other districts shall not constitute a reason for the requested variance.
- G. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure.
- H. The variance is not a request to permit a use of land, building, or structure which is not permitted by right or by special exception in the district involved.

I. Notice of public hearing shall be given as in Section 1305.2(A).

J. The variance can't be transferred to a subsequent owner of the property, if the variance is unused.

K. The grant of a variance shall expire if the variance has not been activated within six (6) months of final approval. "Activation" shall mean obtaining a building permit for the required or necessary construction. In addition, the activation shall not be effective unless the construction is completed within six (6) months of obtaining the building permit. On good cause shown, the Bay St. Louis City Council may extend the above stated time limits for up to a maximum of six (6) months.

Please submit the following documentation with your application:

1. What is the specific provision of the ordinance involved _____

2. The use for which a variance is sought _____

Construct ~~Setback~~ Carport in front of dwelling on existing driveway

3. If request is for a setback variance, please answer the following:

25' Front yard setback requirement
14' Proposed distance remaining to the property line
11' Total front yard setback variance needed

_____ Side yard setback requirement
_____ Proposed distance remaining to the property line
_____ Total side yard setback variance needed

_____ Rear yard setback requirement
_____ Proposed distance remaining to the property line
_____ Total rear yard setback variance needed

4. If request is for a variance other than setback, please answer the following:

_____ Required total square footage of lot
_____ Proposed square footage of lot
_____ Total square footage needed to lot

_____ Required minimum width of lot
_____ Proposed minimum width of lot
_____ Total variance to minimum lot width needed

_____ Required fence height
_____ Proposed fence height
_____ Total fence height variance needed

5. Other type(s) of variance needed:

- 6. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.
- 7. Size of any building to be erected, and the location of the building upon the lot.
- 8. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.
- 9. Is the property in question in a sub-division? _____
- 10. If the property in question is within a sub-division, is there an existing covenant running with the land? _____
- 11. If the answer to question 9 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County.

Book Number _____ Page Number _____

It is warranted in good faith by the owners whose name is signed hereto that all of the above facts are true and correct.

Paul Sewer 3-14-25
 Applicant's Signature Date

FOR OFFICE USE ONLY

Date of Application received: _____

Item # 2.
Street View

135N-2-39-093.000

Parcel Number: 135N-2-39-093.000
Owner Name: SELLERS ANGELA ETAL
Owner Address: 23205 OAK ALLEY PL
Owner City, State ZIP: COVINGTON, LA 70435
Physical Address: 11080 NEW YORK ST
Improvement Type: RES
Year Built: 1998
Base Area: 720
Adjusted Area: 1426
Actual Total Value: 121536
Taxable Total Value: 0
Estimated Tax: 2182.13
Homestead Exemption: No
Deed Book: 2021
Deed Page: 18250
Legal Description 1: 54 BLK 337 UN 3
ADD 1
Legal Description 2: SHORELINE PARK
Legal Description 3:
Legal Description 4:
Legal Description 5:
Legal Description 6:
Longitude: 0
Latitude: 0
Square Footage: 5383.46

Geoportal Map



DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to consider carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.



March 23, 2025

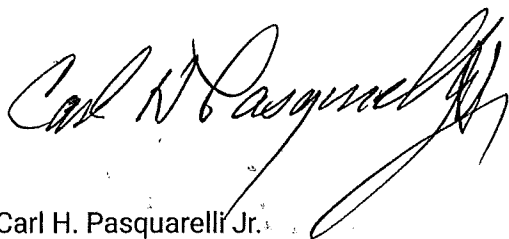
Carl H. Pasquarelli Jr.
11070 New York Street
Bay St. Louis, MS. 39520

Bay St. Louis City Hall
688 US-90
Bay St Louis, MS 39520

Dear City Council.

I am writing this to express my approval for Rick Seller's plans regarding a car port addition to the street side of his property. I have reviewed his plans in detail and fully support this project. Rick and Angela Sellers have been outstanding neighbors and members of our community. Please approve this variance.

Best Regards,



Carl H. Pasquarelli Jr.

Rick + Angela Sellers
11080 New York St.
Bay St. Louis 39520

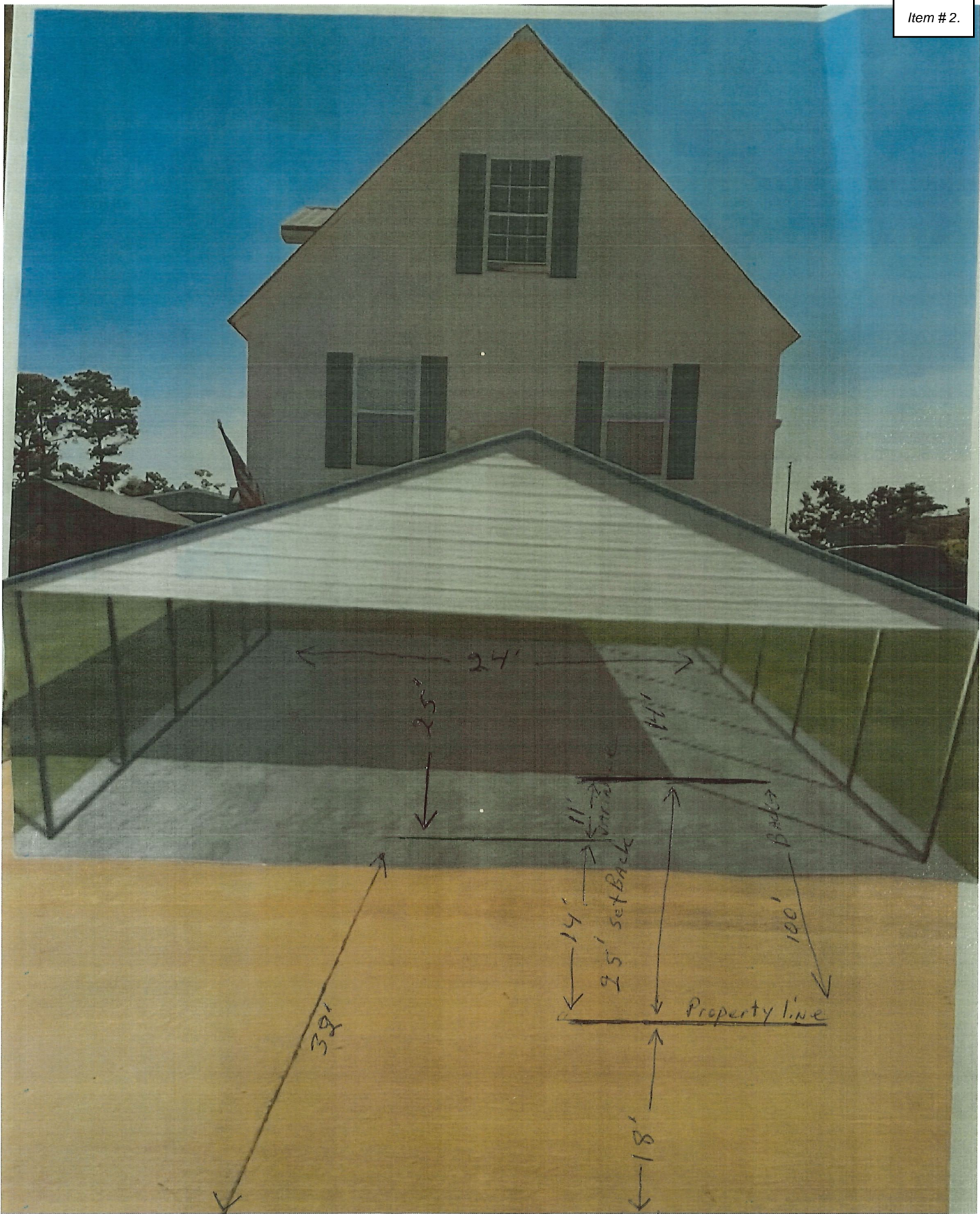
Owner of property (shown above)
has shown us (John + Cheryl Rojas)
the Plans of installing carport
in front of house and have no
problem with their plans.

We are neighbors on left side:
11092 New York St.
Bay St. Louis, Ms. 39520

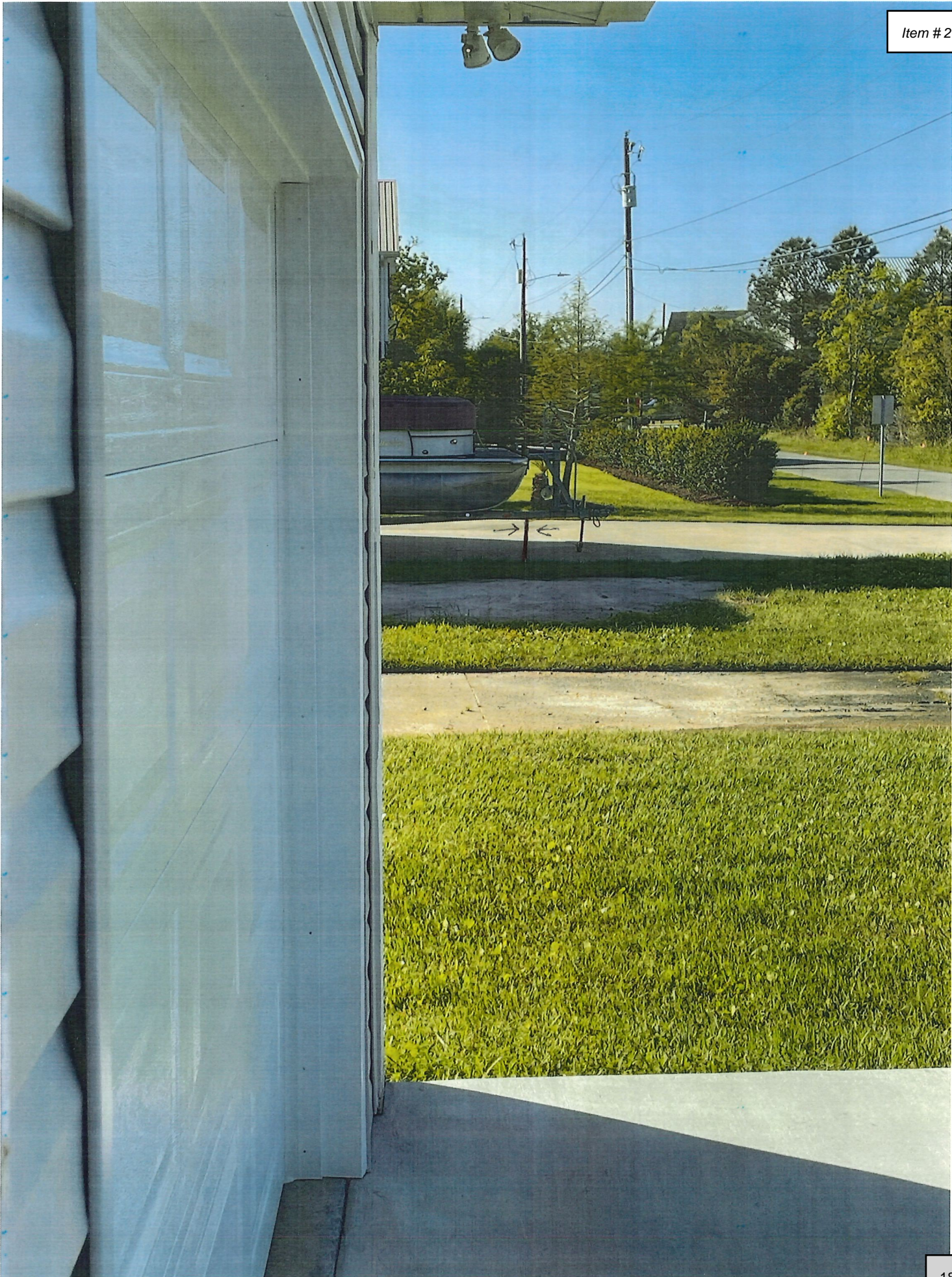
Sign: John A Rojas

Sign: Cheryl Rojas

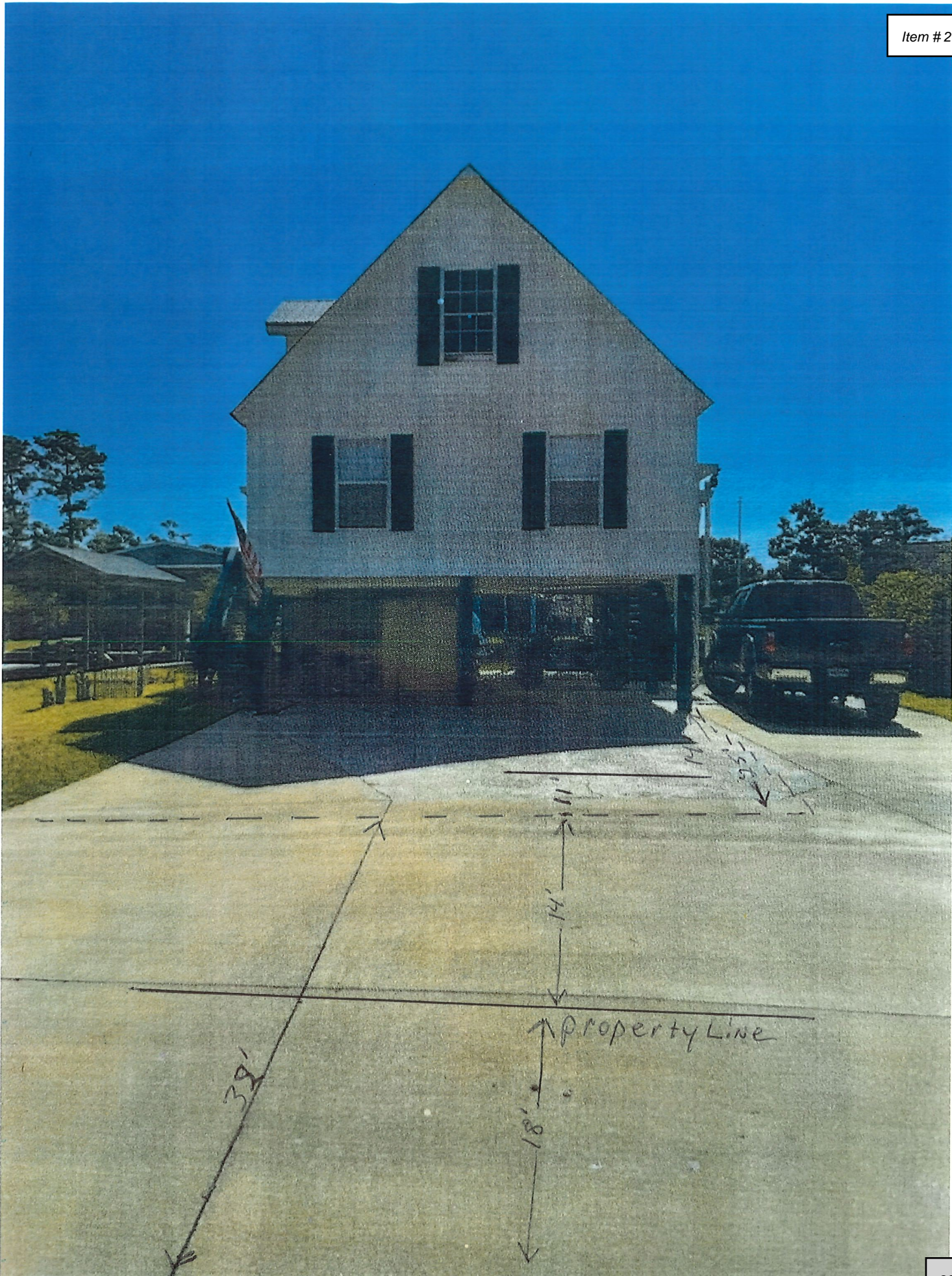
Date: 3-22-25



← 50' → New York St







March 23, 2025

Carl H. Pasquorelli II
11070 New York Street
Bay St. Louis, MS 39520

Bay St. Louis City Hall
688 US-90
Bay St Louis, MS 39520

Dear City Council,

I am writing this to express my approval for Rick Sellers plans regarding a car port addition to the street side of his property. I have reviewed his plans in detail and fully support this project. Rick and Angela Sellers have been outstanding neighbors and members of our community. Please approve this variance.

Best Regards,



Carl H. Pasquorelli II



Carl H. Pasquorelli II

Rick + Angela Sellers
11080 New York St.
Bay St. Louis 39520

Owner of property (shown above)
has shown us (John + Cheryl Rojas)
the plans of installing carport
in front of house and have no
problem with their plans.

We are neighbors on left side:
11092 New York St.
Bay St. Louis, MS. 39520

Sign: John A Rojas
Sign: Cheryl Rojas
Date: 3-22-25



Zoning Variance for Rick Seller Property at 11080 New York Street, Parcel Number 135N-2-39-093.000; BLK 337 U 3 ADD 1 Shoreline Park

CHI CREGER <creger1@bellsouth.net>

Wed, Apr 16, 2025 at 11:30 AM

To: "Cthompson@baystlouis-ms.gov" <Cthompson@baystlouis-ms.gov>

Good Morning, Ms. Bourgeois,

I cannot support the variance requested by Rick Seller without first reviewing a plan for the proposed carport.

One of Mr. Seller's adjacent neighbors has constructed a carport extension as part of their house design.

Their home appears to be positioned closer to the water to ensure that the roof overhang covering the vehicles provides adequate coverage while maintaining the required offset from the street.

This addition is seamlessly integrated into the home's architecture and complements its overall appearance. I would not be opposed to a similar design approach accompanying the variance Mr. Seller is requesting.

I would oppose the variance if it involves the installation of a carport with a metal awning, featuring a metal roof, open sides, and metal supports.

Instead, I would prefer a design—while not necessarily elaborate—that harmonizes with the architecture of the surrounding area.

Respectfully,

Chi Creger

APPLICATION FOR VARIANCE TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Randy Young

ADDRESS: 162 Don Drive
Essex, LA 70535

PHONE: 337-580-0776

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

135 DeMont Luzin Avenue

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

17 & 18 Beach Front S/D

2. Parcel number(s) as described in the Hancock County tax rolls:

149F-0-29-209.000

3. Present Zoning: R-2

4. Present use of building/property: Building

5. Application fee of ²⁵⁰\$100 (Residential): #00533869

Application fee of ²⁵⁰\$200 (Commercial): _____

Article XIII
1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

Article XIII
1305.3 VARIANCES

To recommend such variances from the terms of this Ordinance as will not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance will in an individual case result in unnecessary hardship, so that the spirit of the Ordinance shall be observed, public safety and welfare secured, and substantial justice be done. Such variance may be granted in such case of unnecessary hardship upon a finding by the City Council that all of the following conditions exist:

- A. There are extraordinary and exceptional conditions which pertain to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.
- B. The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located.
- C. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other residents of the district in which the property is located.
- D. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- E. The special circumstances are not the result of the actions of the applicant.
- F. The existence of a nonconforming use of neighboring land, buildings, or structures in the same district or of permitted or nonconforming uses in other districts shall not constitute a reason for the requested variance.
- G. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure.
- H. The variance is not a request to permit a use of land, building, or structure which is not permitted by right or by special exception in the district involved.

- I. Notice of public hearing shall be given as in Section 1305.2(A).
- J. The variance can't be transferred to a subsequent owner of the property, if the variance is unused.
- K. The grant of a variance shall expire if the variance has not been activated within six (6) months of final approval. "Activation" shall mean obtaining a building permit for the required or necessary construction. In addition, the activation shall not be effective unless the construction is completed within six (6) months of obtaining the building permit. On good cause shown, the Bay St. Louis City Council may extend the above stated time limits for up to a maximum of six (6) months.

Please submit the following documentation with your application:

- 1. What is the specific provision of the ordinance involved _____
- 2. The use for which a variance is sought Addition to rear
of house

3. If request is for a setback variance, please answer the following:

- _____ Front yard setback requirement
- _____ Proposed distance remaining to the property line
- _____ Total front yard setback variance needed

- _____ Side yard setback requirement
- _____ Proposed distance remaining to the property line
- _____ Total side yard setback variance needed

- 20' Rear yard setback requirement
- 10'3" Proposed distance remaining to the property line
- 9'9" Total rear yard setback variance needed

4. If request is for a variance other than setback, please answer the following:

- _____ Required total square footage of lot
- _____ Proposed square footage of lot
- _____ Total square footage needed to lot

- _____ Required minimum width of lot
- _____ Proposed minimum width of lot
- _____ Total variance to minimum lot width needed

- _____ Required fence height
- _____ Proposed fence height
- _____ Total fence height variance needed

5. Other type(s) of variance needed:

- 6. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.
- 7. Size of any building to be erected, and the location of the building upon the lot.
- 8. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.
- 9. Is the property in question in a sub-division? _____
- 10. If the property in question is within a sub-division, is there an existing covenant running with the land? _____
- 11. If the answer to question 9 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County.

Book Number _____

Page Number _____

It is warranted in good faith by the owners whose name is signed hereto that all of the above facts are true and correct.

CB
Applicant's Signature

3/25/2025
Date

FOR OFFICE USE ONLY

Date of Application received: _____

NOTES:

1. Lot location & orientation are based on recorded data and monumentation found available.
2. Bearings reference: Grid, Geoid G-2018 U7 NAD '83 State Plane Zone Mississippi East by GPS Observation. Utilizing Earl Dudley's Virtual Reference Network, INET. Convergence Angle = -0° 14' 58" & Combination Factor = 0.999977018
3. Survey considered a Class "B" survey.
4. Only visible roads, lanes, driveways, drains, utilities, etc., over and across said premises are shown hereon.
5. This survey was prepared without a current title report nor were County records researched for easements by this surveyor.

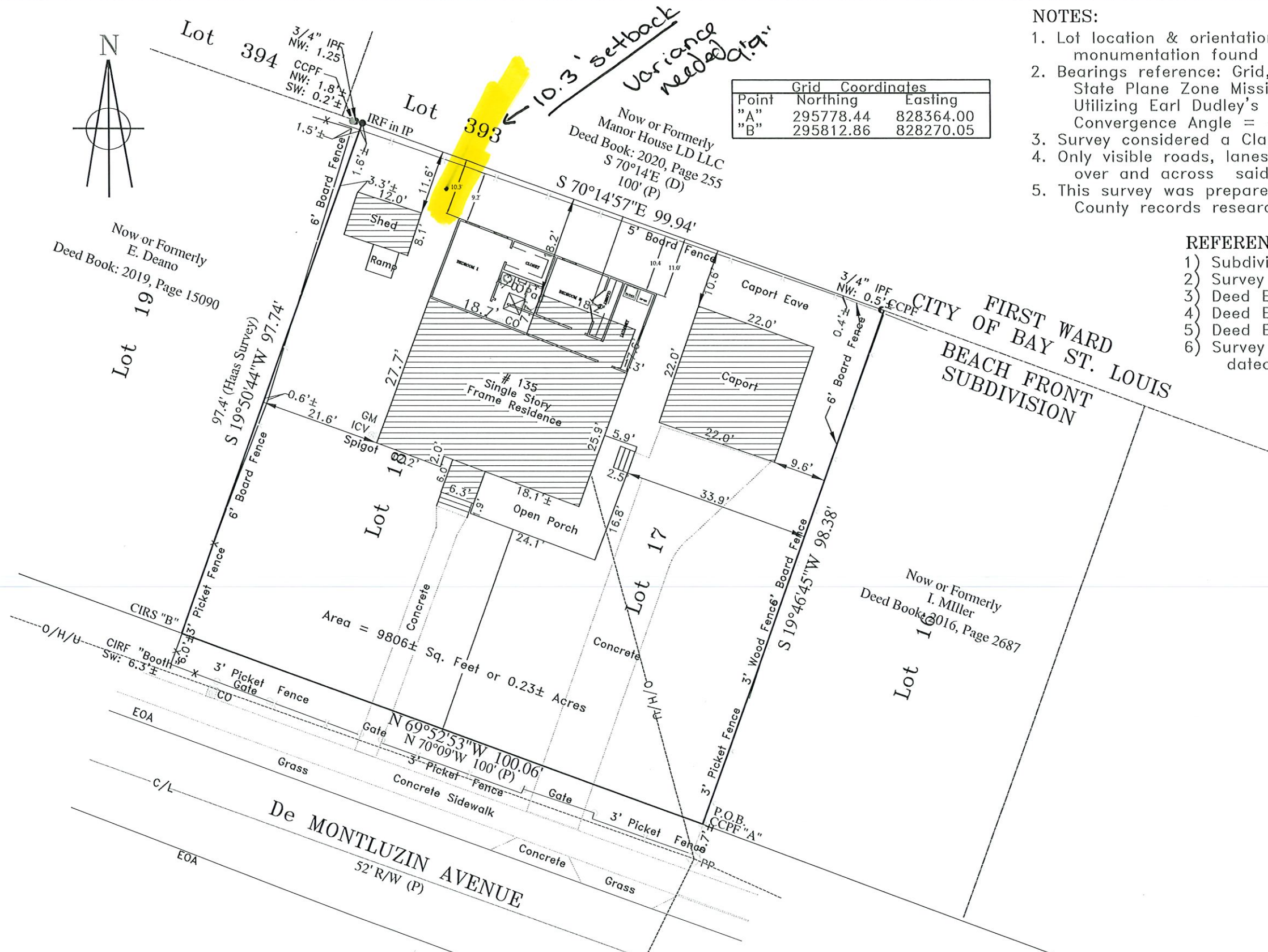
REFERENCES:

- 1) Subdivision Plat of Record, E-4, Page 361
- 2) Survey by J. Haas dated, 09/03/1958 (Lots 19 & 20)
- 3) Deed Book: 2023 Page: 9148
- 4) Deed Book: BB-29, Page 621 (Adds 4 ft. to depth)
- 5) Deed Book & Page: As Noted
- 6) Survey by Chiniche Engineering & Surveying dated, 11/30/2022 # 2022-284

LEGEND:

- IRF = 1/2" Iron Rod Found
- IPF = Iron Pipe Found
- IRS = 1/2" Iron Rod Set
- IFP = Iron Fence Post
- TPF = "T" Post Found
- IBF = Iron Bar Found
- AIF = Angle Iron Found
- C = Capped
- CCP = Concrete Post Found
- WFP = Wood Fence Post
- MNF = Magnetic Nail Found
- MNS = Magnetic Nail Set
- Ref. = Reference
- R/W = Right-Of-Way
- O/H/U = Overhead Utilities
- PP = Power Pole
- LP = Light Pole
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- TBM = Temporary Bench Mark
- ICV = Irrigation Control Valve
- DI = Drop Inlet
- FH = Fire Hydrant
- WV = Water Valve
- SMH = Sewer Man Hole
- C/L = Centerline
- EOA = Edge of Asphalt
- (P) = Plat of Record
- (D) = Deed of Record
- (R) = Record

Point	Northing	Easting
"A"	295778.44	828364.00
"B"	295812.86	828270.05



SURVEYOR'S CERTIFICATION:

This is to certify that I have surveyed the property herein described and delineated, and that all measurements and other data are correct to the best of my knowledge and belief.

Michael Raymond McGinnis
Professional Surveyor
P.L.S.- #02827
State of Mississippi

Date _____

Rev. # 3 Date:	
Rev. # 2 Date:	
Rev. # 1 Date:	
Date:	02/04/2025
Scale:	1" = 20'
Drawn by:	dmr
Dwg. #:	006-25P1



OFFICE - (228) 467-6755
EMAIL - admin@chiniche.com
WEBSITE - www.chiniche.com
407 Hwy. 90,
BAY ST. LOUIS, MS 39520

PLAT OF SURVEY OF
Lots 17 AND 18,
Beach Front Subdivision,
First Ward, City of Bay St. Louis,
Hancock County, Mississippi

GENERAL NOTES:

DISCLAIMER

- THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATION, SHALL CONTROL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENT DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.
- AT CONSTRUCTION ISSUE, THESE DRAWING REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, BRACING METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR PERFORMING THE WORK.

BUILDING DESIGN CRITERIA:

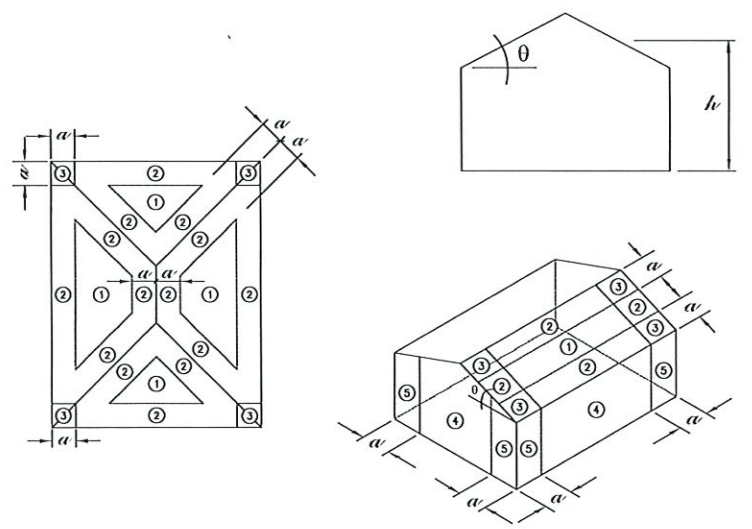
- A. CODES**
- 2018 INTERNATIONAL RESIDENTIAL CODE
 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)
 BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 531)
 ASCE 7-16
- B. DESIGN LOADS**
- FLOOR DEAD LOAD 20 PSF
 FLOOR LIVE LOAD 40 PSF
 ROOF DEAD LOAD 16 PSF
 ROOF LIVE LOAD 20 PSF - REDUCIBLE
- C. WIND LOADS PER ASCE 7-16 & 2018 IBC**
 RISK CATEGORY II
 ULTIMATE DESIGN WIND SPEED, $V_{ult} = 160$ MPH
 NOMINAL DESIGN WIND SPEED, $V_{end} = 124$ MPH *
 EXPOSURE CATEGORY = C
 MEAN ROOF HEIGHT, $h = \pm 30$ FEET
 ADJUSTMENT FACTOR FOR HEIGHT AND EXPOSURE, $\lambda = 1.40$
 TOPOGRAPHIC FACTOR, $K_{zt} = 1.00$
 $\alpha = \pm 3$ FEET
 ROOF SLOPE, $\theta = \frac{1}{2} = 14.0^\circ$

COMPONENTS AND CLADDING DESIGN PRESSURES **
 REFERENCE: FIGURE 30.5-1 & SECTION 30.5.2 OF ASCE 7-16

ZONE	TRIB. AREA	COMPONENT PRESSURE		
		POSITIVE (+)	NEGATIVE (-)	
ROOF	10	+22.7	-36.0	
	20	+20.7	-35.0	
	50	+18.1	-33.7	
	100	+16.0	-32.5	
	2	10	+22.7	-62.7
		20	+20.7	-57.7
		50	+18.1	-51.1
		100	+16.0	-46.1
	3	10	+22.7	-92.7
		20	+20.7	-86.7
		50	+18.1	-78.7
		100	+16.0	-72.7
4	10	+39.3	-42.7	
	20	+37.5	-40.9	
	50	+35.3	-38.5	
	100	+33.5	-36.8	
5	10	+39.3	-52.6	
	20	+37.5	-49.1	
	50	+35.3	-44.5	
	100	+33.5	-40.9	

REFERENCE FIGURES BELOW:

DESIGN ALL WINDOWS AND DOORS AS IMPACT RESISTANCE FOR PRESSURE ABOVE



DESIGN WIND LOAD NOTES:

- * REFERENCE SECTION 1609.3.1 AND/OR TABLE 1609.3.1 OF THE 2018 INTERNATIONAL BUILDING CODE FOR CONVERSION OF V_{ult} TO V_{as}
- ** SHOWN IN THIS TABLE ARE NET DESIGN WIND PRESSURES, P_{net} , DETERMINED PER SECTION 30.5.2 OF ASCE 7-16. THESE PRESSURES ARE BASED ON ULTIMATE WIND SPEED, V_{ult} , PER FIGURE 26.5-1A AND SHALL BE APPLIED NORMAL TO EACH BUILDING SURFACE AS SHOWN IN FIGURE 30.5-1.
- NOTE THAT WIND LOAD DERIVED USING THESE PRESSURES WILL BE REDUCED BY A FACTOR OF 0.6 IF ALLOWABLE STRESS DESIGN COMBINATIONS ARE USED IN ACCORDANCE WITH SECTION 2.4.1 OF ASCE 7-16.
- *** MINIMUM NET DESIGN WIND PRESSURE PER ASCE 7-16 SECTION 30.2.2.

LUMBER

- UNLESS NOTED OTHERWISE, ALL LUMBER SHALL BE #2 KD SOUTHERN YELLOW PINE OR #2 SPRUCE PINE FIR WITH A MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. ALL LUMBER EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE PRESSURE TREATED.
- EXTERIOR LOAD-BEARING STUD FRAMING SHALL BE NO. 2 SYP OR SPF: $F_b=1000$, $E=1400$ KSI.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALL SHEATHING TO BE 15/32" PLYWOOD ATTACHED DIRECTLY TO WALL FRAMING MEMBERS. BLOCK ALL PANEL EDGES AND NAIL WITH 8d COMMON NAILS @ 4"o.c. AT ALL PANEL EDGES, BLOCKING, AND TOP & BOTTOM PLATES WITH FIELD NAILING @ 12"o.c.
- ALL PLYWOOD PANELS SHALL BE INSTALLED IN ACCORDANCE WITH APA RECOMMENDATIONS AND RELATED SPECIFICATIONS. ORIENTED STRAND BOARD "OSB" MAY BE SUBSTITUTED FOR PLYWOOD WHERE APPROVED BY THE ARCHITECT/ENGINEER AND PROVIDED THE PANELS CONFORM TO THE APPROPRIATE APA RATINGS FOR THE INTENDED APPLICATION.
- PROVIDE A MINIMUM OF 2 STUDS NAILED TOGETHER BENEATH ALL HEADERS UNLESS NOTED OTHERWISE. USE AT LEAST 2-2x10 HEADER FOR ALL OPENINGS UP TO 4'-0" WIDE IN BEARING WALLS. USE AT LEAST 3-2x10 HEADER FOR ALL OPENINGS UP TO 8'-0" WIDE IN BEARING WALLS.
- ALL MULTIPLE PIECE WOOD BEAMS SHALL BE CONNECTED TOGETHER WITH MINIMUM TWO ROWS OF 16D NAILS @ 12"o.c. (U.N.O.).
- AS A MINIMUM, ANCHOR AND NAIL FRAMING SHALL COMPLY WITH "TABLE 2304.9.1 - FASTENING SCHEDULE" OF THE 2018 INTERNATIONAL BUILDING CODE.
- ALL BOLTS, NAILS, JOIST HANGERS, CLIPS, STRAPS, ETC. THAT ARE IN CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL CONNECTORS AND HARDWARE SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SIZE, QUANTITY, AND LOCATION OF NAILS AND FASTENERS SHALL CONFORM TO THE MANUFACTURER'S PUBLISHED LITERATURE.

FOUNDATIONS:

- NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN, AND SHALL REPORT UNEXPECTED CONDITIONS TO THE DESIGNER.
- ALL FOOTINGS, OR PORTIONS THEREOF, BELOW GRADE MAY BE EARTH FORMED BY NEAT EXCAVATIONS.
- FOOTINGS TO BE CENTERED ON WALLS OR COLUMNS UNLESS NOTED OTHERWISE.
- ALLOWABLE SOIL BEARING = 1500 psf
- COMPACT ALL SOILS BELOW SLAB AND FOOTINGS 95% STANDARD PROCTOR DENSITY.
- ALL SOIL FILL TO BE PLACED IN 8" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

CONCRETE WORK:

- CONCRETE (NORMAL WEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI UNLESS NOTED.
- ALL REINFORCING SHALL MEET ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.
- CONCRETE COVERAGE OF REINFORCEMENT SHALL BE:
 FOOTINGS 3" BOTTOM AND SIDES
 WALLS 1 1/2"
 SLABS 3/4"
 PEDESTALS 1 1/2" CLEAR OF TIES
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
- PORTLAND CEMENT SHALL CONFORM TO ASTM C 150, TYPE I OR II.
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C 33.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED PER CRSI AND ACI STANDARDS, INCLUDING CONCRETE COVER AND BAR SUPPORTS. LAP BARS AT ALL SPLICES, INCLUDING CORNER BARS AND DOWELS, IN ACCORDANCE WITH SPLICE SCHEDULE OR IN LIEU THEREOF 40 BAR DIAMETERS. LAP WWF 6" OR ONE FULL MESH, WHICHEVER IS GREATER.

WIND BORNE DEBRIS PROTECTION FOR EXTERIOR WINDOWS IRC 2018

- WINDOWS TO BE DESIGNED FOR A DESIGN WIND PRESSURE OF ± 40 PSF, REFERENCE CHART.
- *THE CONTRACTOR SHALL PROVIDE PLYWOOD PROTECTION FOR THE EXTERIOR WINDOWS IN ACCORDANCE WITH R613.4 WIND BORNE DEBRIS PROTECTION IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- THE CONTRACTOR SHALL PROVIDE WIND BORNE DEBRIS FASTENERS FOR THE WOOD STRUCTURAL PANELS IN ACCORDANCE WITH TABLE R301.2.1.2 IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- THE CONTRACTOR SHALL PROVIDE WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 1/2" AND A MAXIMUM SPAN OF 8 FEET IN ACCORDANCE WITH R301.2.1.2 INTERNAL PRESSURES IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- *AN OPTION TO THE PLYWOOD PROTECTION, THE CONTRACTOR MAY USE IMPACT RESISTANT WINDOWS.



NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM. ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DRAWING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATIONS, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND NOT THE RESPONSIBILITY OF NECAISE DESIGN.

STRUCTURAL NOTES

NECAISE DESIGN

228-493-1046

Revisions	date	description

**PLANS FOR
 RANDY YOUNG
 RESIDENCE**

DRAWN BY : HN

DATE: 1-2-25

SCALE NONE

SHEET NUMBER :

1

NECAISE DESIGN
 ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x8"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-6"
	16.0	18'-10"
	19.2	16'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)		
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-8"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-8"
	24.0	14'-9"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R602.5.1 (2)		

FRONT ELEVATION



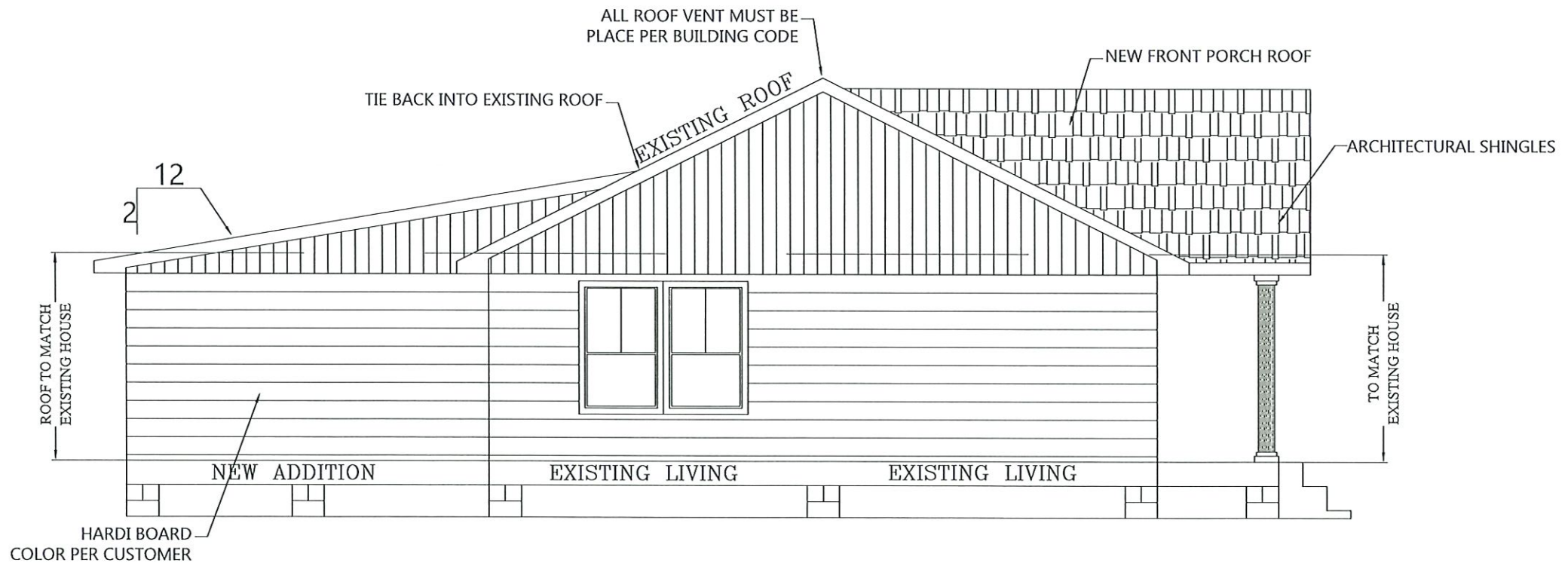
Item # 3.

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

ELEVATION
NECAISE DESIGN
228-493-1046

- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND PHA/VA MPS.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
 5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
 6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
 7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION(CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS)
 8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
 9. ALL STRAPPING MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
 10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AND 140 MPH 3 SECOND GUST.
 11. ALL 6" GUTTERS WILL BE PER CUSTOMER

LEFT ELEVATION



Revisions

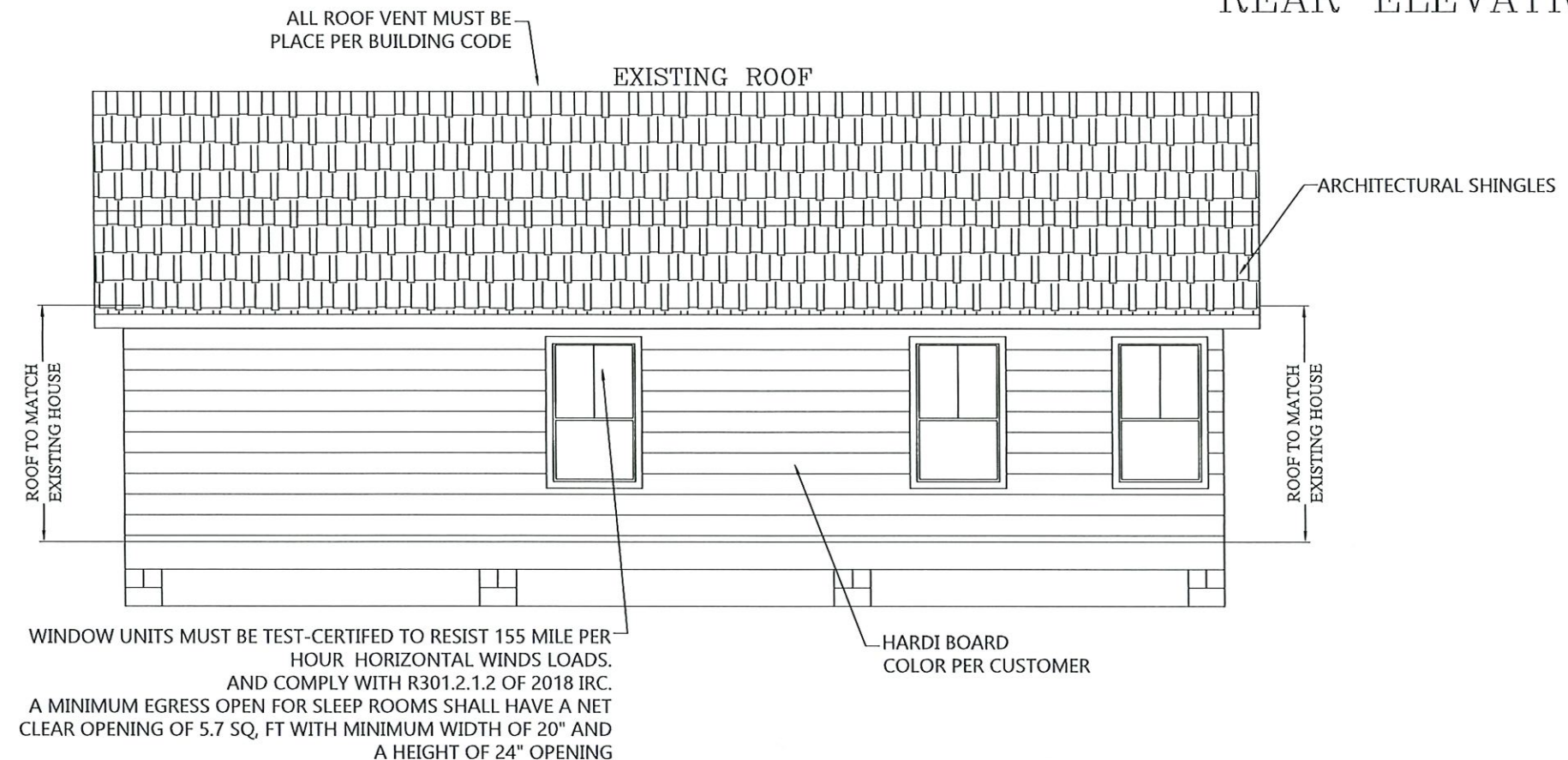
date	description

PLANS FOR
RANDY YOUNG
RESIDENCE

DRAWN BY : HN
DATE: 1-2-25
SCALE 3/8" = 1'-0"
SHEET NUMBER :
2
NECAISE DESIGN
ALL RIGHTS RESERVED

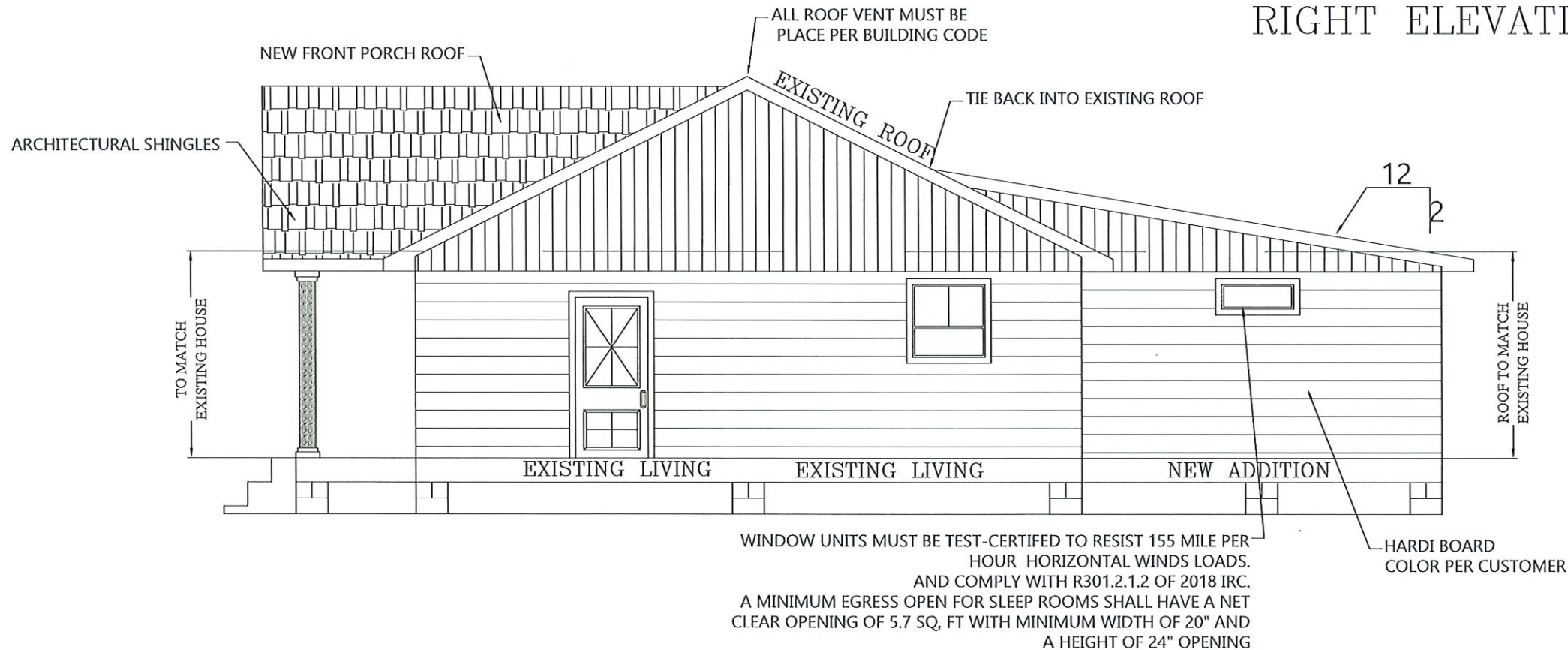
RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x8"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)		
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	16'-3"
	19.2	13'-11"
	24.0	12'-6"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.6.1 (2)		

REAR ELEVATION



- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND PHA/VA MPS.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
 5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
 6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
 7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION(CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS)
 8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES.METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
 9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUARED PRIOR TO COVERING.
 10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AND 140 MPH 3 SECOND GUST.
 11. ALL 6" GUTTERS WILL BE PER CUSTOMER

RIGHT ELEVATION



Item # 3.

ELEVATION

NECAISE DESIGN
228-493-1046

Revisions	date	description

PLANS FOR
RANDY YOUNG
RESIDENCE

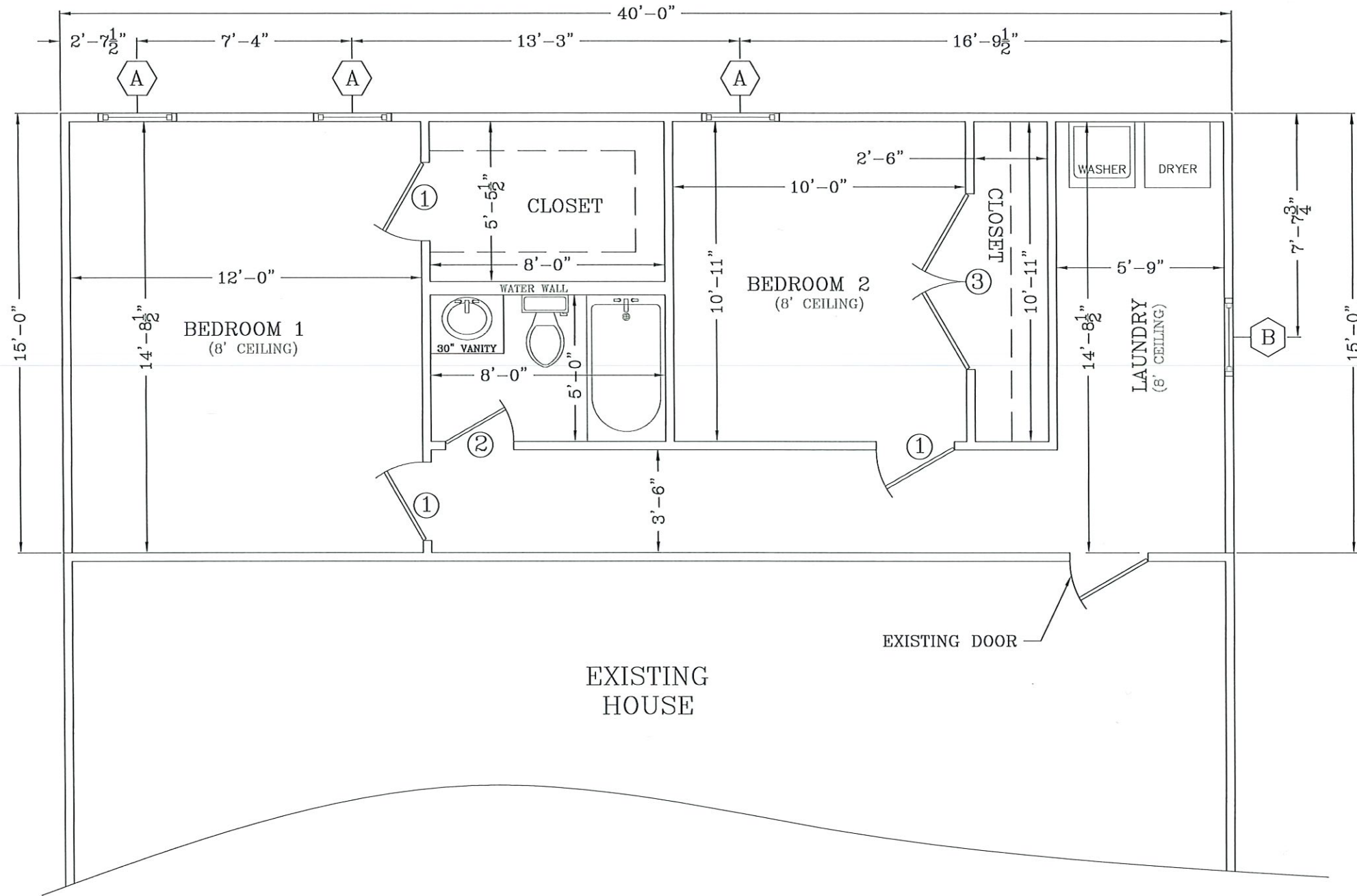
DRAWN BY : HN

DATE: 1-2-25

SCALE 3/8" = 1'-0"

SHEET NUMBER :
2A

NECAISE DESIGN
ALL RIGHTS RESERVED



DOOR SCHEDULE	
MK	DESCRIPTION
1	2'-8" X 6'-8" INT. DOOR UNIT
2	2'-4" X 6'-8" INT. DOOR UNIT
3	3'-0" X 6'-8" INT. DOUBLE DOOR UNIT
4	
5	

WINDOW SCHEDULE	
MK	DESCRIPTION
A	3'-0" X 5'-0" WINDOW
B	3'-0" X 1'-0" WINDOW

NOTES:
 1) ALL WALLS 2" X 4"
 UNLESS OTHER WISE NOTED

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATIONS, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE. NOT THE RESPONSIBILITY OF NECAISE DESIGN.

FLOOR & ELECTRICAL PLAN
 NECAISE DESIGN
 228-493-1046

Revisions	
date	description

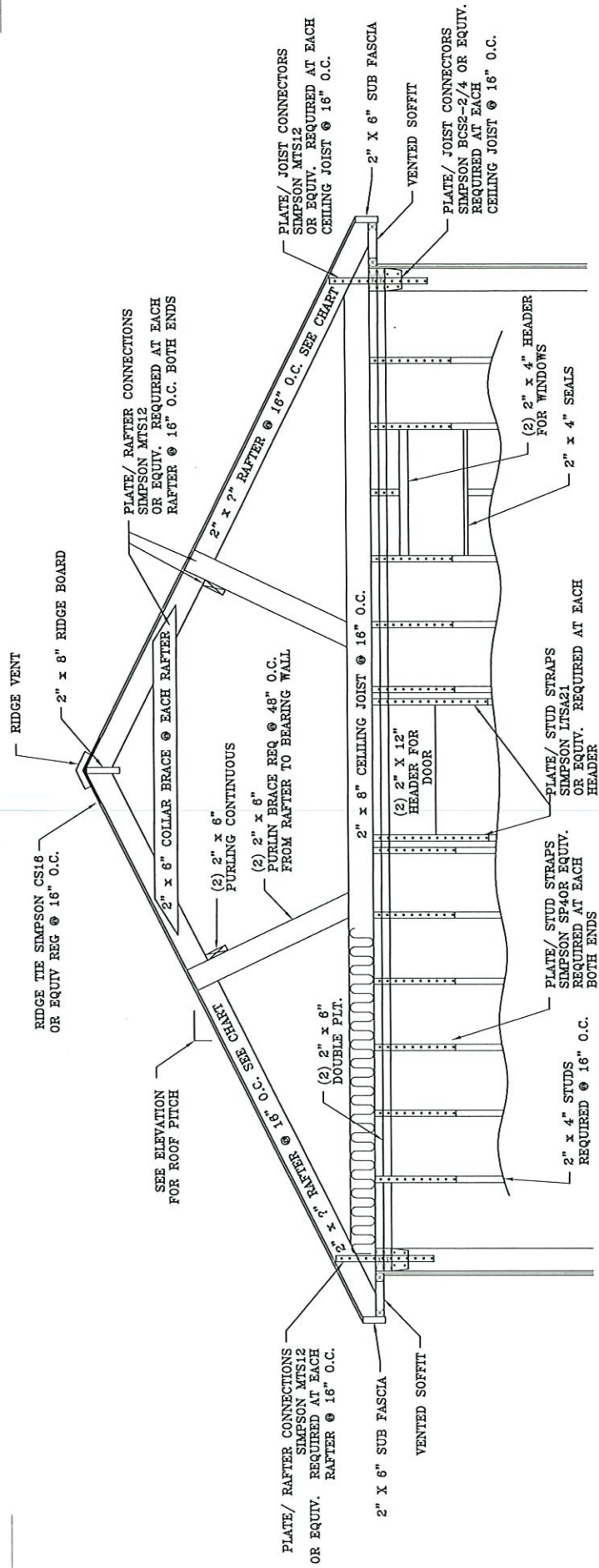
PLANS FOR
 RANDY YOUNG
 RESIDENCE

DRAWN BY : HN
 DATE: 1-2-25
 SCALE 1/2" = 1'-0"
 SHEET NUMBER :

3

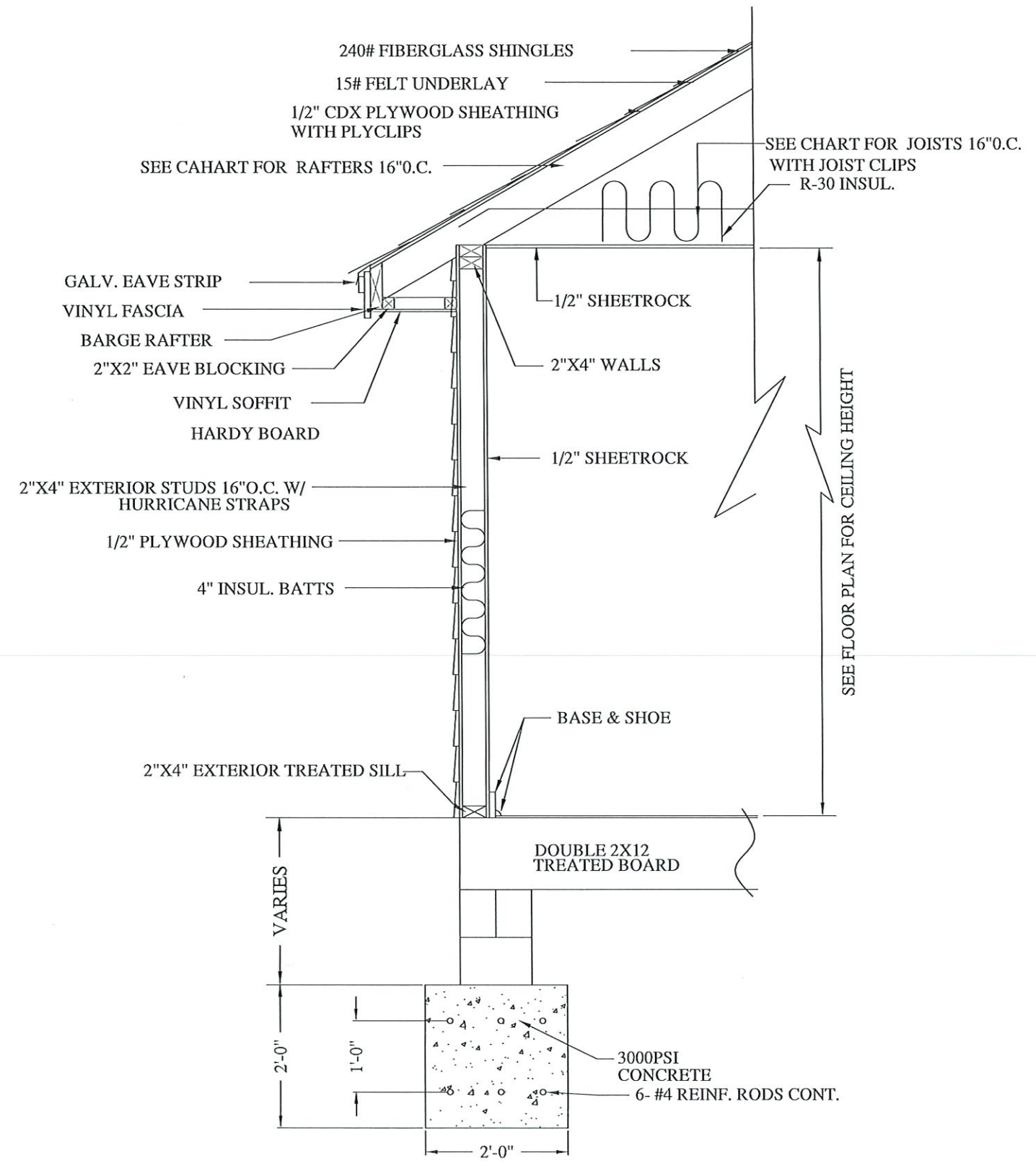
NECAISE DESIGN
 ALL RIGHTS RESERVED

Item # 3.



NOTES:

- 1) ALL CONSTRUCTION TO MEET OR EXCEEDS LOCAL, STATE, AND FEDERAL BUILDING CODES
- 2) CONTRACTOR TO CHECK AND ASSUME RESPONSIBILITY OF ALL DIMENSIONS.
- 3) GALVANIZED FRAMING CONNECTORS REQUIRED FOR WIND RESISTANCE AS PER LOCAL BUILDING CODE.



COLUMN DETAIL

Item # 3.

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATIONS, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

FOUNDATION & WALL DETAILS

NECAISE DESIGN
228-493-1046

Revisions	
date	description

PLANS FOR RANDY YOUNG RESIDENCE

DRAWN BY : HN
DATE: 1-2-25
SCALE NONE
SHEET NUMBER : **4**

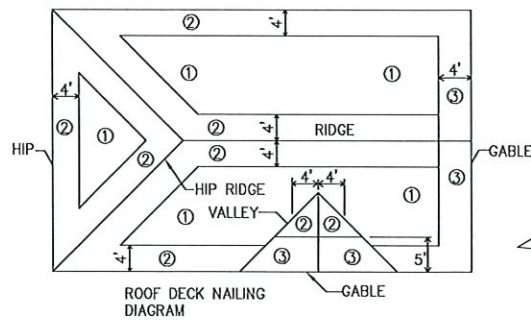
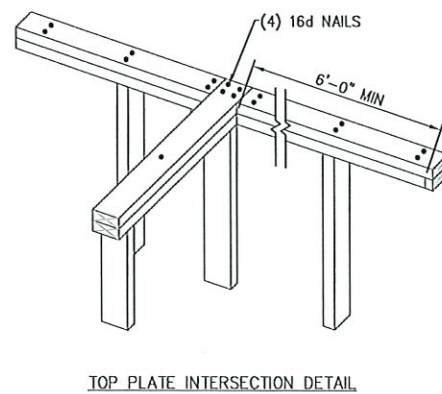
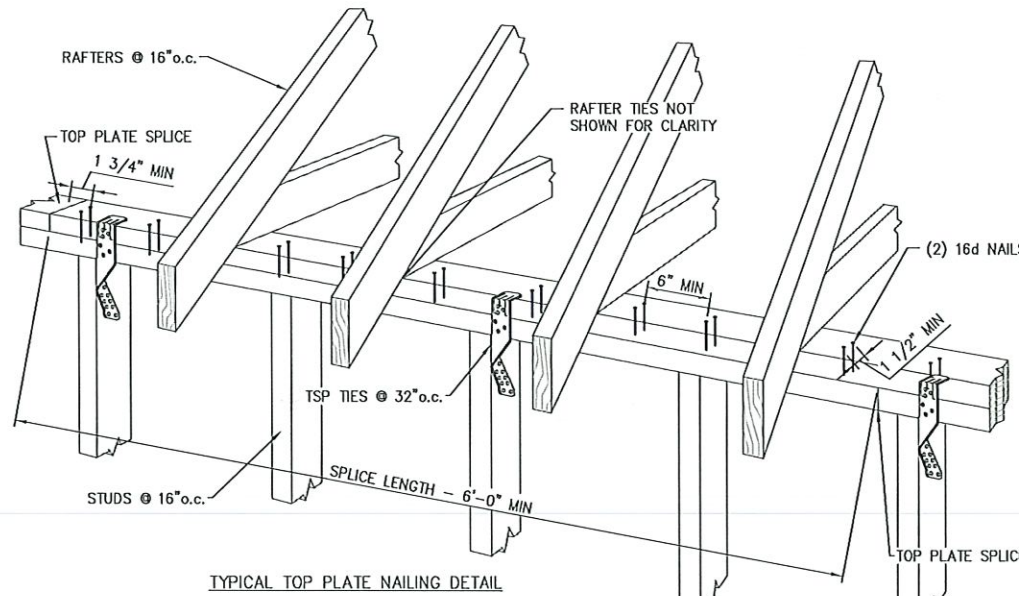
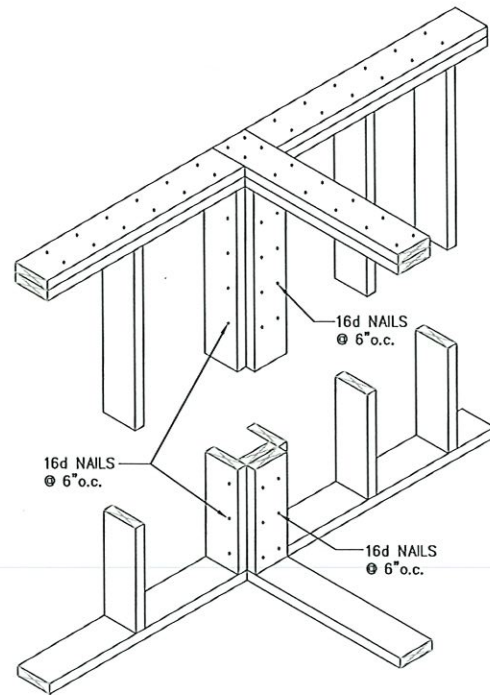
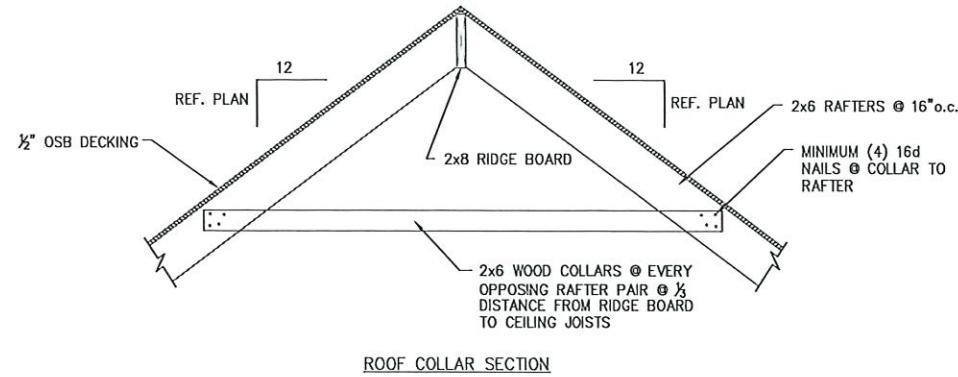
NECAISE DESIGN ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-6"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

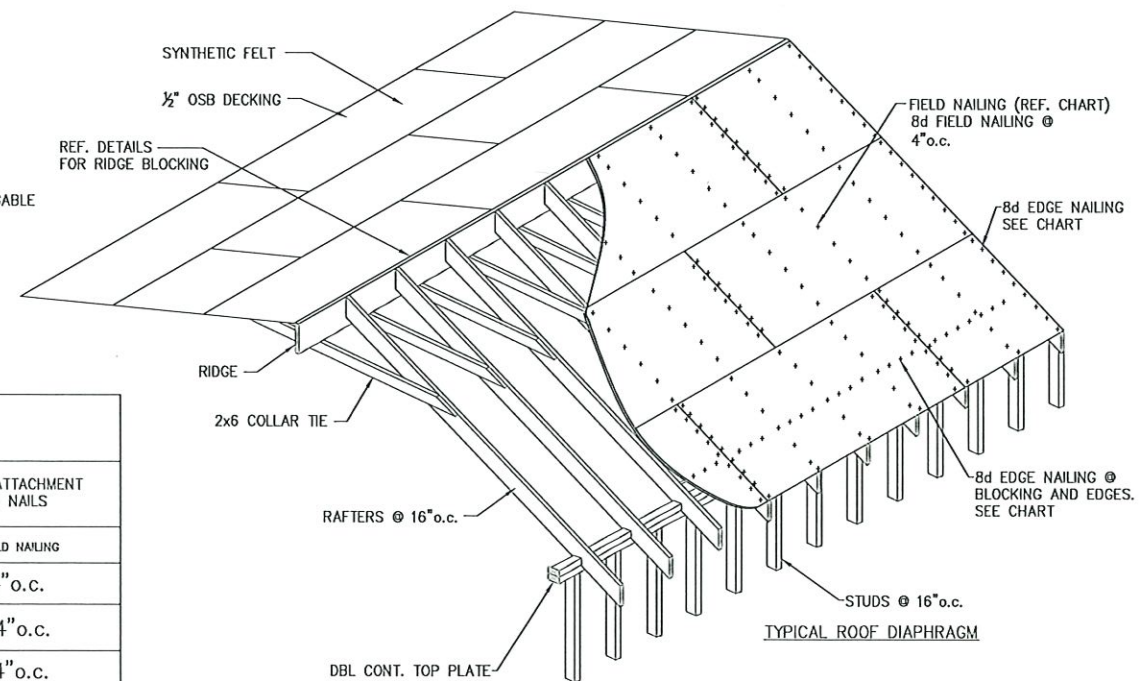
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (9)

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	16'-3"
	19.2	15'-11"
	24.0	12'-8"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)



ROOF SHEATHING ATTACHMENT REQUIREMENTS				
THREE SECOND GUST, 124 MPH (ASD) 160 MPH (ULT) WIND SPEED		STRUCTURAL SHEATHING ATTACHMENT WITH 8d RING SHANK NAILS		
	RAFTER/TRUSS SPACING (INCHES o.c.)	EDGE NAILING	FIELD NAILING	
①	INTERIOR ZONE	16" o.c.	4" o.c.	4" o.c.
②	PERIMETER/EDGE ZONE	16" o.c.	4" o.c.	4" o.c.
③	GABLE ENDWALL RAKE OR RAKE TRUSS W/LOOKOUTBLOCK	16" o.c.	4" o.c.	4" o.c.



- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
 5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
 6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
 7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION(CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS)
 8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES.METAL ROOFS,GARAGE DOORS,LIFT'S/ELEVATORS,ETC.)
 9. ALL STRAPPING MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
 10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
 11. ALL 6" GUTTERS WILL BE PER CUSTOMER

FOUNDATION & WALL
DETAILS

NECAISE DESIGN
228-493-1046

Revisions	description
date	

PLANS FOR
RANDY YOUNG
RESIDENCE

DRAWN BY : HN

DATE: 1-2-25

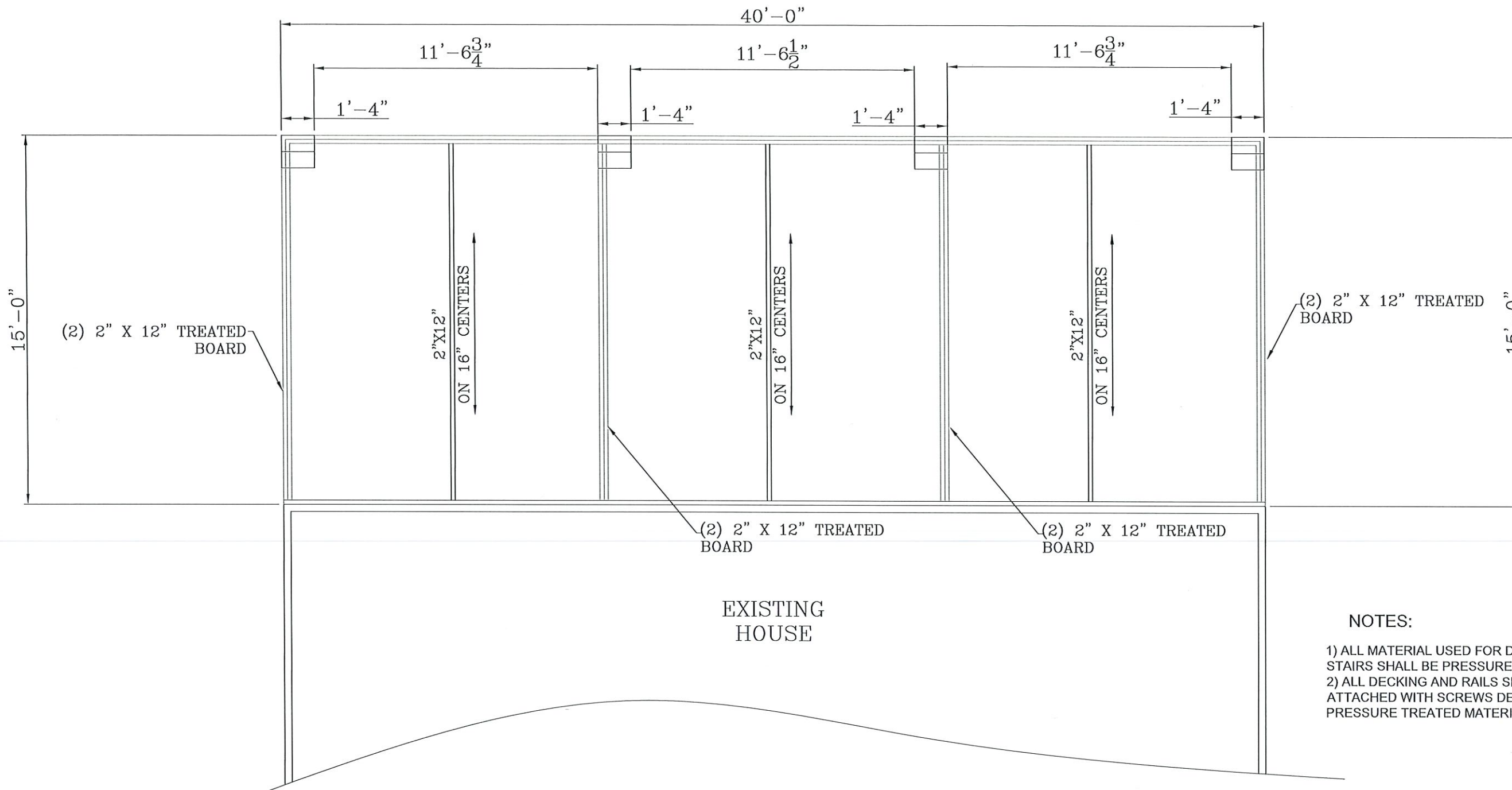
SCALE NONE

SHEET NUMBER :

4A

NECAISE DESIGN
ALL RIGHTS RESERVED

Item # 3.



NOTES:
 1) ALL MATERIAL USED FOR DECKING & STAIRS SHALL BE PRESSURE TREATED
 2) ALL DECKING AND RAILS SHALL BE ATTACHED WITH SCREWS DESIGNED FOR PRESSURE TREATED MATERIAL

Item # 3.

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

BEAM PLAN	NECAISE DESIGN 228-493-1046
Revisions	
date	description

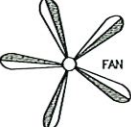
PLANS FOR
RANDY YOUNG
RESIDENCE

DRAWN BY : HN
 DATE: 1-2-25
 SCALE 1/2" = 1'-0"
 SHEET NUMBER :

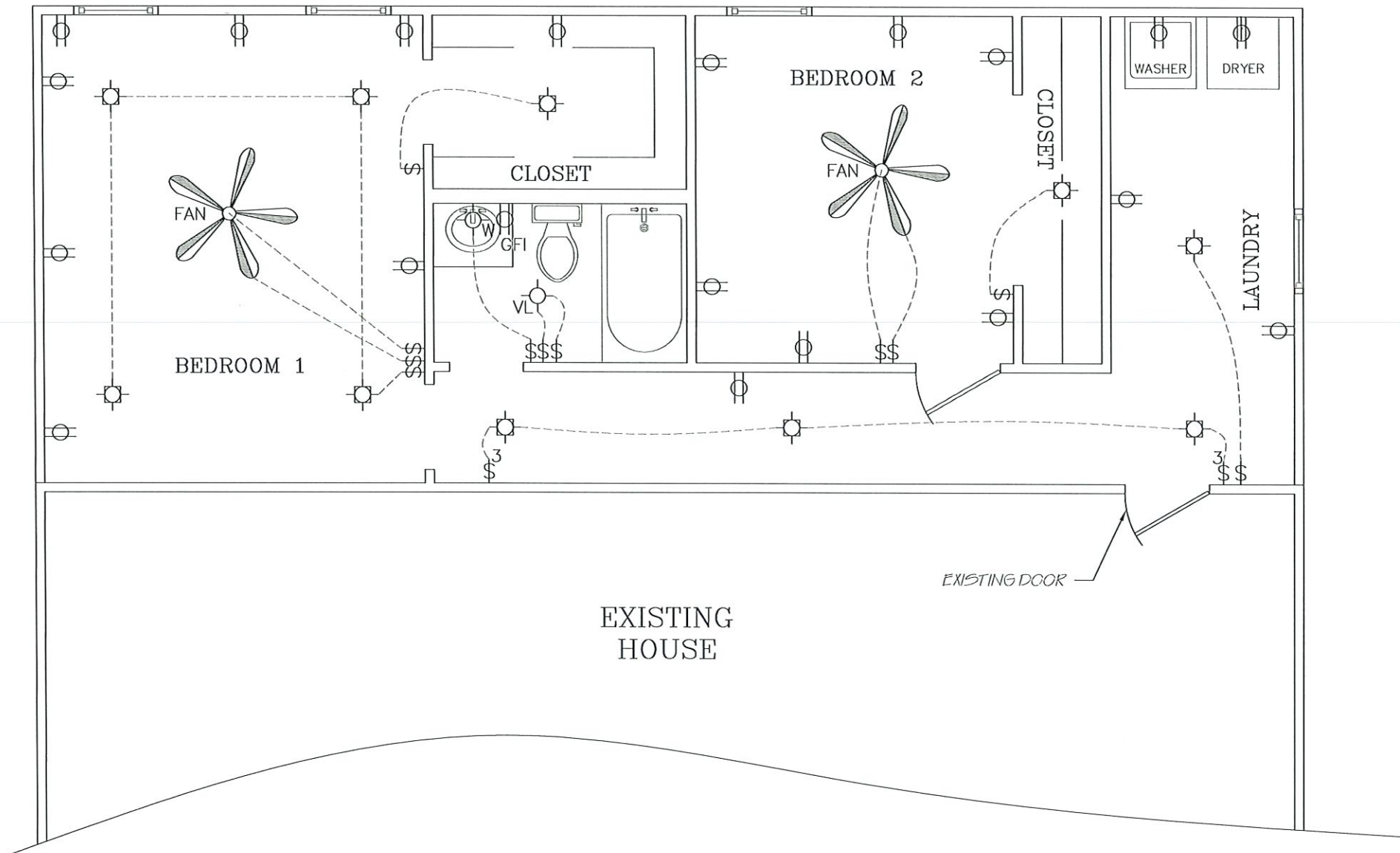
NECAISE DESIGN
ALL RIGHTS RESERVED

ELECTRICAL SCHEDULE	
SYM	DESCRIPTION
⊗	SOFFIT MOUNTED FLOOD LIGHT
	EACH TO BE ON SEPARATE SWITCH AND CIRCUIT.
⊗	115V DUAL WALL RECEPT. 6" ABOVE CTR. BACKSPASH TO CEN.
⊗	115V DUAL WALL RECEPTACLE
⊗ ^{FLR}	115V DUAL FLOOR MOUNTED RECEPTACLE
⊗	115V DUAL WALL RECEPTACLE SOFFIT MOUNTED GFI
⊗	115V DUAL RECEPTACLE SPLIT-WIRED
⊗ ^{WP}	115V DUAL WALL RECEPTACLE WEATHERPROOF GND. FAULT INT.
⊗ ^{GFI}	115V DUAL WALL RECEPTACLE GROUND-FAULT INTERRUPT
⊗ ^{OC}	115V DUAL WALL RECEPTACLE MOUNTED ABOVE KIT. WALL CABS.
⊗	220V SINGLE WALL RECEPTACLE
⊗	115V WALL SWITCH
⊗ ³	115V WALL SWITCH 3 WAY
⊗	CEILING LIGHT FIXTURE
⊗	CEILING LIGHT FIXTURE BRACED FOR FAN AND LIGHT
⊗ ^V	CEILING LIGHT FIXTURE VENT-LIGHT
⊗	LIGHT FIXTURE RECESSED DOWN LIGHT
⊗ ^P	CEILING LIGHT FIXTURE PENDANT W/ EXTRA BRACING
⊗ ^W	WALL MOUNT LIGHT FIXTURE
⊗ ^{WP}	WATERPROFF LIGHT FIXTURE

▷	TELEVISION CABLE WALL JACK
P▷	TELEPHONE WALL JACK
FIRE▷	SMOKE DETECTOR
⊗ ^{CL}	KEYED CHANDELIER LIFT SWITCH
CMD▷	CARBON MONOXIDE DETECTOR



**CEILING LIGHT FIXTURE
BRACED FOR
FAN AND LIGHTING**



- NOTES:
- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
 - 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
 - 3) WATER HEATER AND HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR.
 - 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
 - 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
 - 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301.M1401 AND M1601.
 - 7) 24" WIDE WALK REQUIRED FROM ATTIC ACES TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
 - 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E36014, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
 - 9) ALL RECEPTACLES LOCATED BELOW 5'-6" TO BE TAMPER RESISTANT UNLESS DEDICATED TO A SPECIFIC APPLANCE.
 - 10) PANELS TO BE PLACE PER CUSTOMER
220 & 110 FOR A/C
220 FOR WATER HEATER (SEPARATE BREAKER)
220/110 FUTURE FLEV.
 - 11) ALL ELECTRICAL BELOW BFE, MUST BE FOR WET LOCATION
 - 12) NO DISCONNECTION BELOW BFE; METER CAN ONLY
 - 13) BOTH METER CAN AND MAIN DISCONNECT MAY BE UP ON PORCH
 - 14) ALL 125V 15/20 AMP CIRCUITS SERVING BEDROOM MUST BE
ARC-FAULT PROTECTED INCLUDING S/D'S
 - 15) SEC 4002.14 OF 2018 IRC (TAMPER RESISTANT)

Item # 3.

ELECTRICAL PLAN

NECAISE DESIGN

228-493-1046

Revisions	description
date	

PLANS FOR

RANDY YOUNG

RESIDENCE

DRAWN BY : HN

DATE: 1-2-25

SCALE 1/2" = 1'-0"

SHEET NUMBER :

6

NECAISE DESIGN
ALL RIGHTS RESERVED

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 135 De Montluzin Avenue
149F-0-29-209.000
17 & 18 Beach Front S/D

HEARING DATE: April 16, 2025

I reviewed Randy Young's application for a Variance to the Zoning Ordinance. The property is at 135 De Montluzin Avenue, in the R-2 Multi-Family District. R-2 district requires a 25-foot front yard setback, an 8-foot side yard setback, and a 20-foot rear yard setback.

The applicant is requesting a rear yard setback to construct a renovation to the rear of the dwelling.

Rear Yard Setback:

Required: 20'

Proposed Distance of rear yard: 10'3"

Variance Request: 9'9"

The administration recommends denial of the variance.

- The house is already constructed.
- It is common for dwelling in Old Town Bay St Louis to have less than 20' rear yards
- The house backs up to Manor Park Apartments
- The property owner is adding living space to the rear of the house
- No hardship is present

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L Burke
Zoning Administrator

CITY OF BAY ST. LOUIS

SITE PLAN REVIEW APPLICATION

Name of Owner/Agent (Print): Corbitt Nicaud, LLC

Address of Owner/Agent: 1317 26th Ave Ste 101
Gulfport, MS 39501

Phone Number(s): 228-493-2624

Tax Parcel Number (s): 149L-0-29-036.000
149L-0-29-035.000

(Parcel numbers are available from the Hancock County Tax Assessor at 228-467-4425)

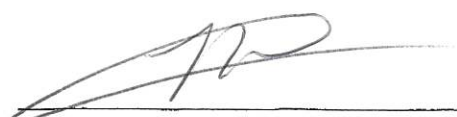
General Location of Property Involved: 105 N. Beach Blvd
(Street Address if Applicable) Bay Saint Louis, MS 39520

General Description of Request: Submission of plans to be reviewed
by Planning + Zoning.

Required Attachments:

1. Copy of Deed
2. Proof of ownership or by agent authorized in writing by all of the owners to file such application.
3. An application and four (4) copies of submitted site plan.
4. Site Plan to include all requirements in Article XI, Site Plan Review.

Application fee of ~~\$500~~: _____



Signature of Owner

2-4-25

Date



TERRY MORAN
ENGINEERING
P.O. BOX 4075
BILOXI, MS 39535
PH 228.896.4133
TERRY MORAN,
P.E., P.L.S.

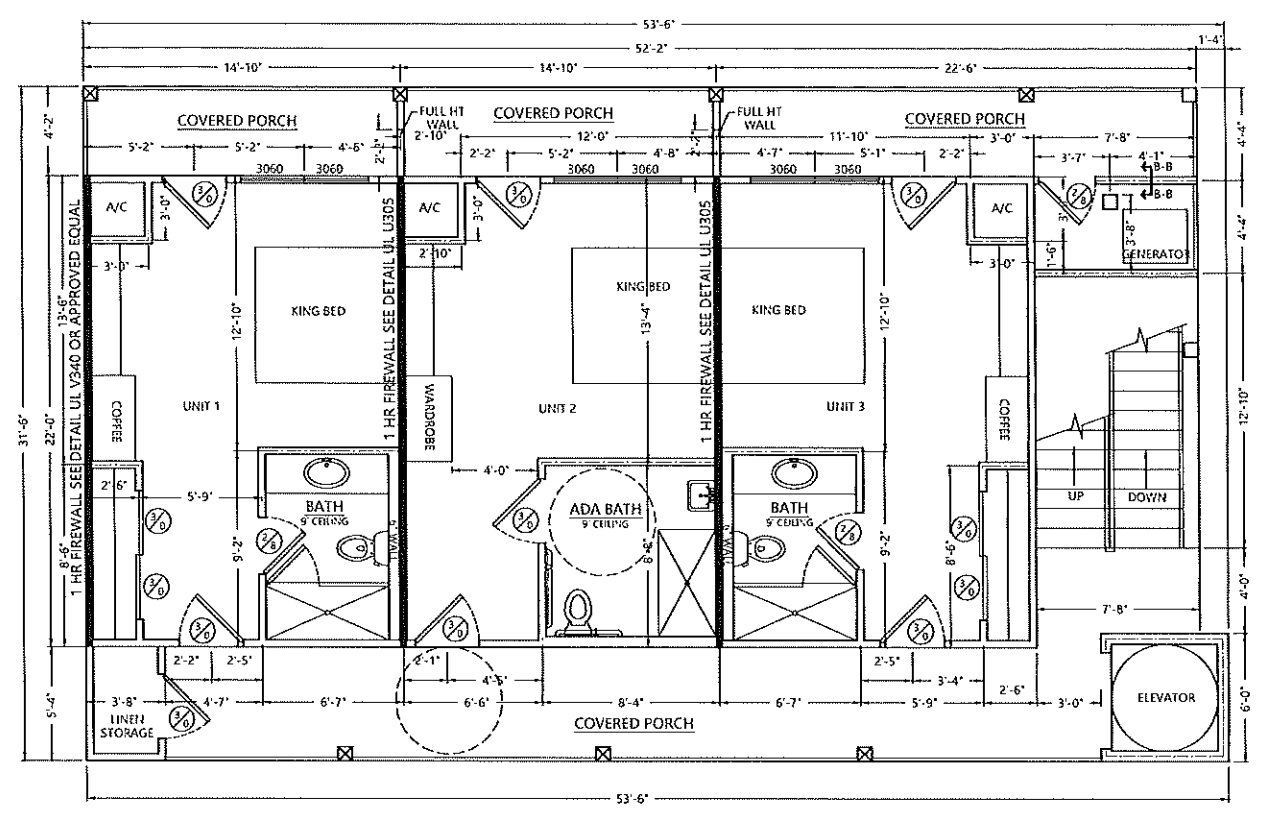
In Association With

FA FOUNTAIN & ASSOCIATES
CIVIL AND COMMERCIAL DESIGN
13334 Seaway Rd, Ste. 202
Gulfport, MS 39503
228-574-3659

Date 10-11-2024
Drawn By C.A.B.
Check By T.J.M.
REV 11-12-2024
01-08-2025
01-31-2025

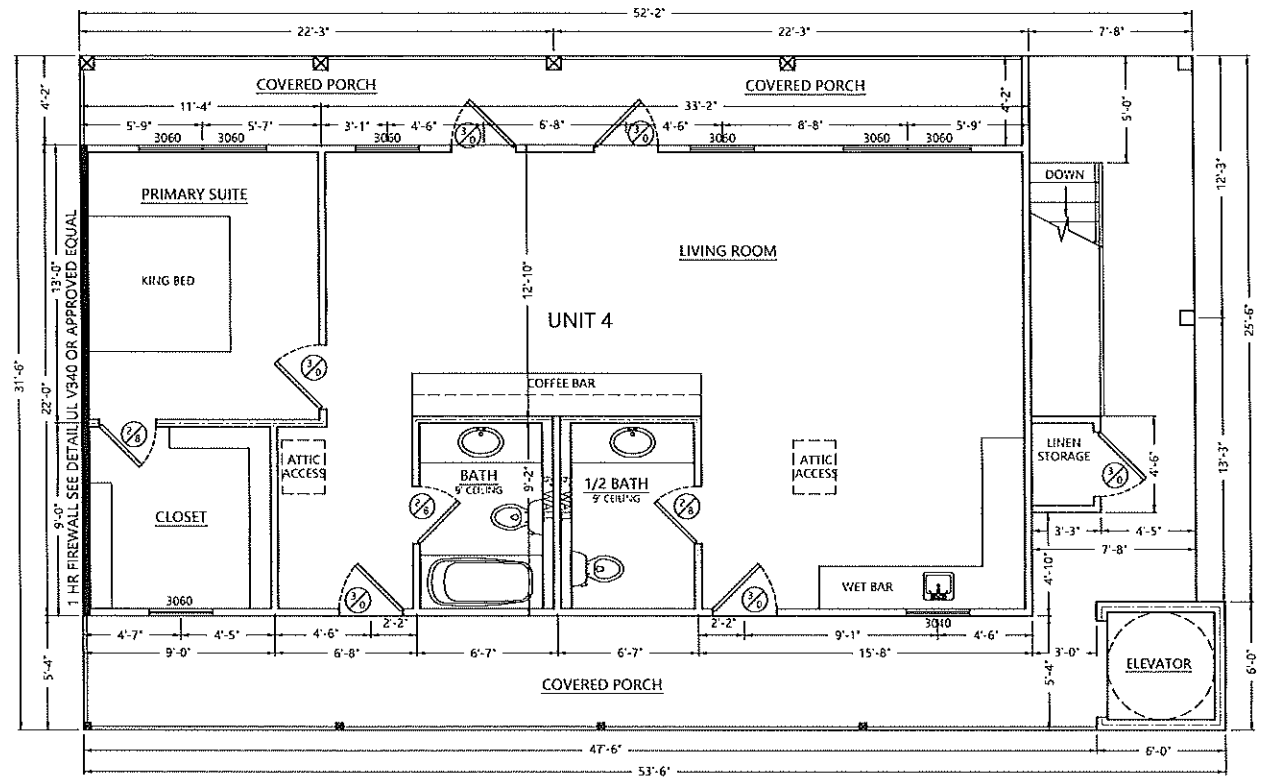
PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS

B1



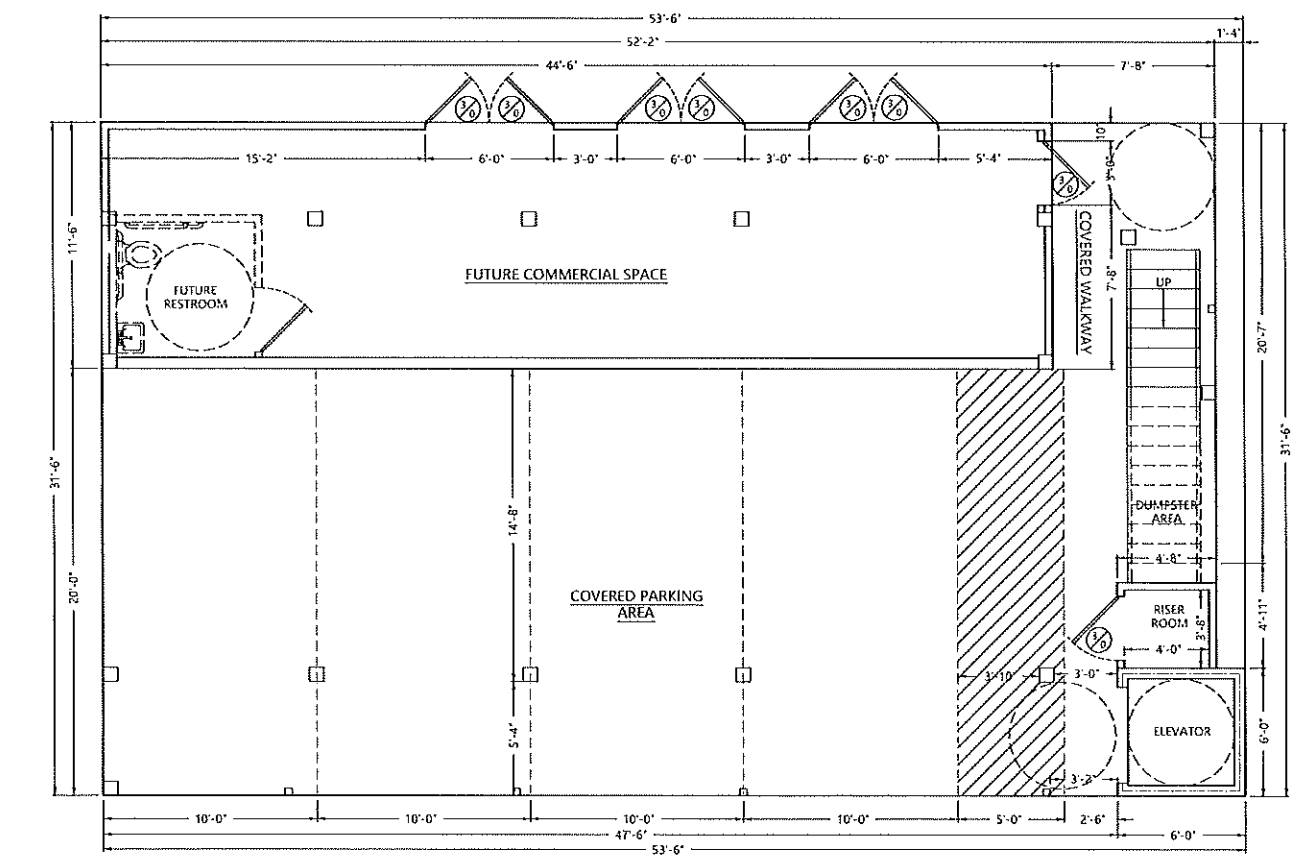
2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



3RD FLOOR PLAN

SCALE: 1/4"=1'-0"

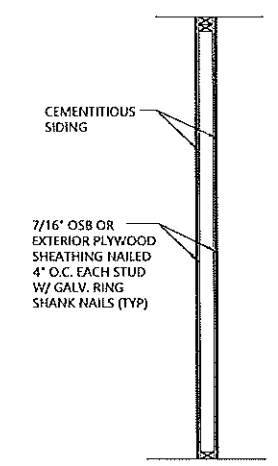


GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

AREA CALCULATIONS:

GROUND FLOOR HEATED COMMERCIAL UNIT:	512 SF
TOTAL GROUND FLOOR HEATED:	512 SF
GROUND FLOOR UNHEATED:	
PARKING AREA:	900 SF
BREEZEWAY:	204 SF
RISER ROOM:	
ELEVATOR:	36 SF
TOTAL UNHEATED:	1140 SF
TOTAL GROUND FLOOR:	1652 SF
SECOND FLOOR HEATED:	
UNIT 1:	326 SF
UNIT 2:	326 SF
UNIT 3:	326 SF
LINEN STORAGE:	20 SF
TOTAL SECOND FLOOR HEATED:	998 SF
SECOND FLOOR UNHEATED:	
PORCHES:	517 SF
ELEVATOR:	36 SF
TOTAL SECOND FLOOR UNHEATED:	553 SF
TOTAL SECOND FLOOR:	1551 SF
THIRD FLOOR HEATED:	
UNIT 4:	978 SF
LINEN STORAGE:	15 SF
TOTAL THIRD FLOOR HEATED:	993 SF
THIRD FLOOR UNHEATED:	
PORCHES:	581 SF
ELEVATOR:	36 SF
TOTAL THIRD FLOOR UNHEATED:	616 SF
TOTAL THIRD FLOOR:	1611 SF
TOTAL UNDER ROOF:	4813 SF



WALL SECTION B-B

SCALE: 1/2"=1'-0"

NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK AND VERIFY INFORMATION SHOWN HEREIN. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.



TERRY MORAN ENGINEERING
P.O. BOX 4075
BILOXI, MS 39535
PH 228 898 4733
TERRY MORAN, P.E., P.L.S.



In Association With

FA FOUNTAIN & ASSOCIATES
CIVIL AND COMMERCIAL DESIGN
13334 Seaway Rd, Ste. 202
Gulfport, MS 39503
228-574-3659

Date 10-11-2024
Drawn By C.A.B.
Check By T.J.M.
REV 11-12-2024
01-08-2025

PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS

B2



REAR ELEVATION

SCALE: 1/4"=1'-0"

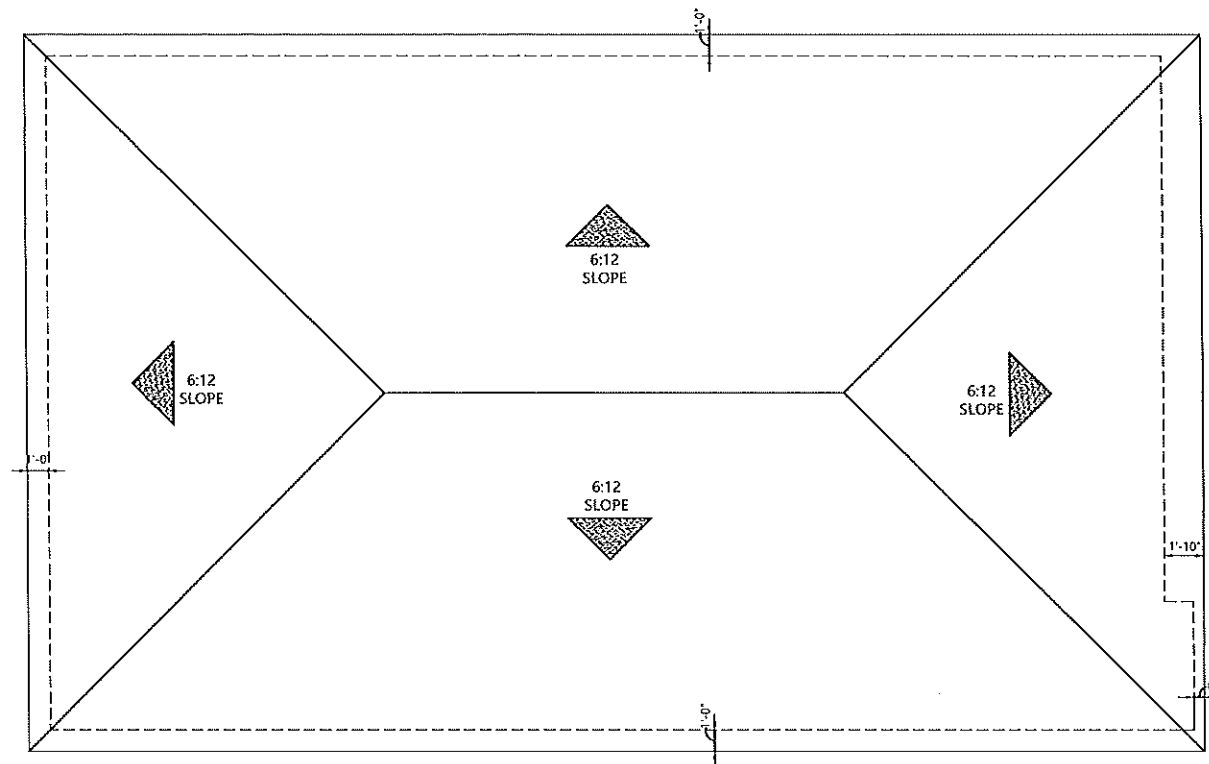


FRONT ELEVATION

SCALE: 1/4"=1'-0"

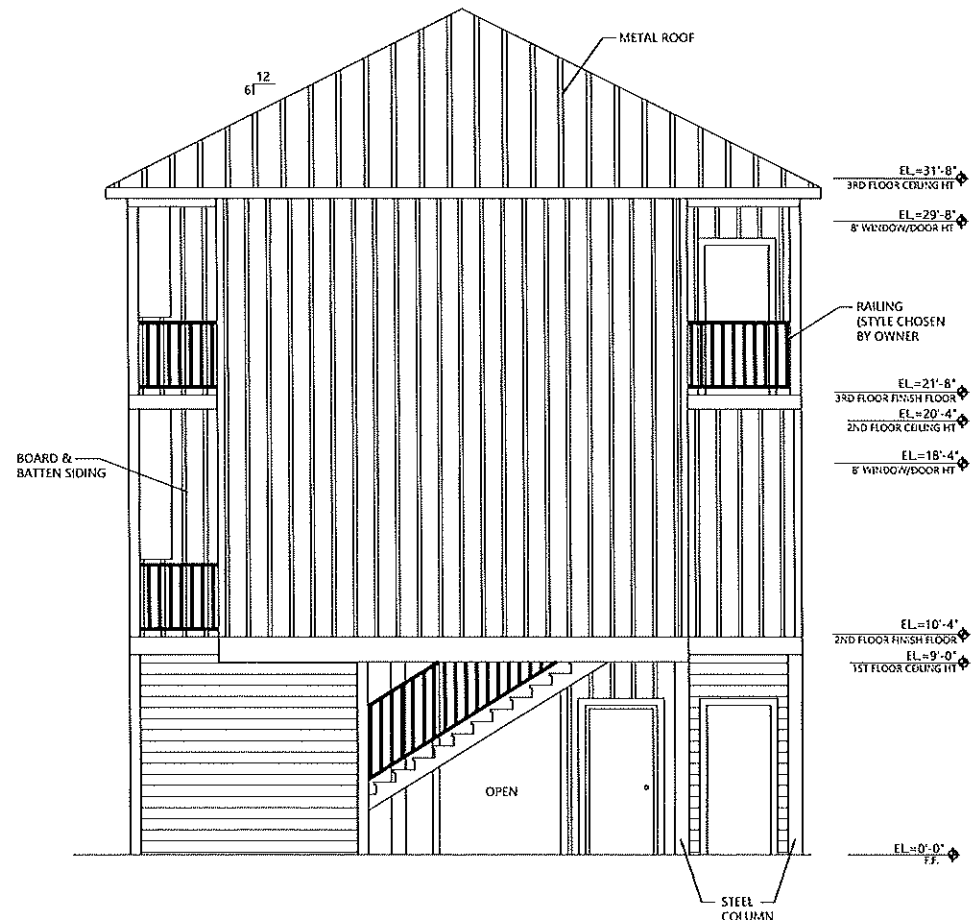
NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK, AND VERIFY INFORMATION SHOWN HEREIN, IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.



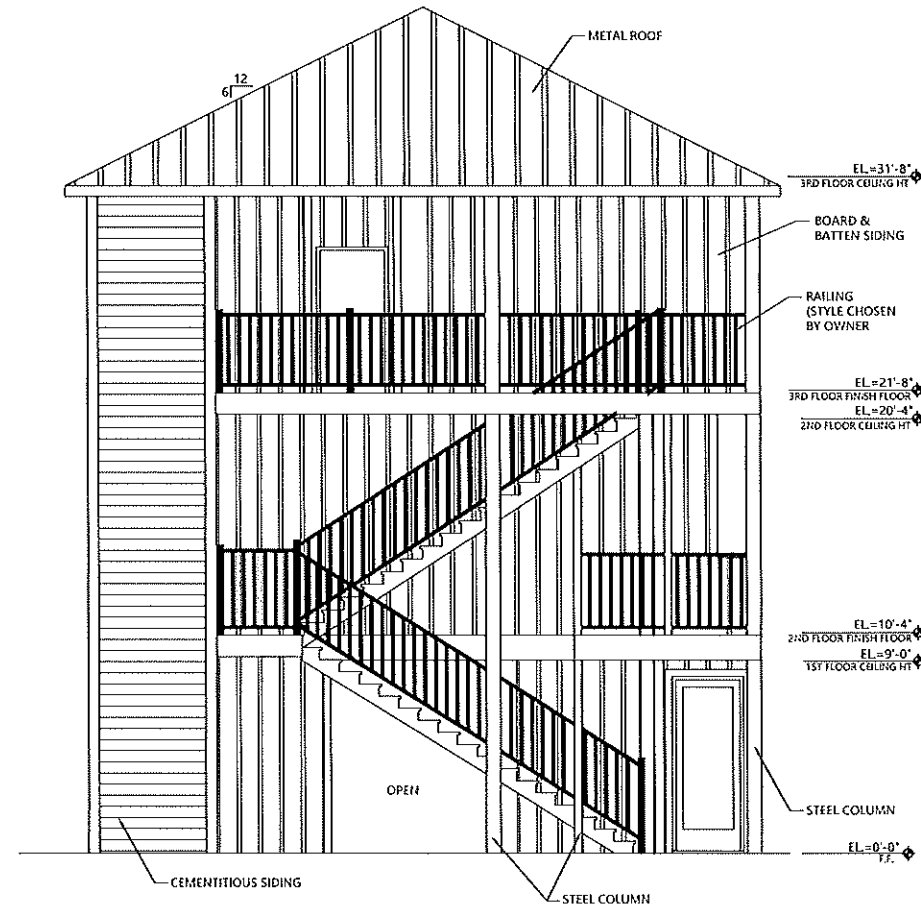
ROOF PLAN

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

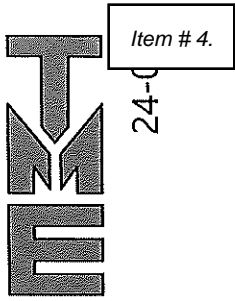


SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK, AND VERIFY INFORMATION SHOWN HEREIN. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.



TERRY MORAN
ENGINEERING
P.O. BOX 4075
BILOXI, MS 39535
PH 228.896.4133
TERRY MORAN,
P.E., P.L.S.



In Association With

FA FOUNTAIN & ASSOCIATES
CIVIL AND COMMERCIAL DESIGN
13334 Seaway Rd, Ste. 202
Gulfport, MS 39503
228-574-3659

Date 10-11-2024
Drawn By C.A.B.
Check By T.J.M.
REV. 11-12-2024
01-08-2025

PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS

B2.1



TERRY MORAN ENGINEERING
P.O. BOX 4015
BILOXI, MS 39655
PH 228.896.4733
TERRY MORAN, P.E., P.L.S.

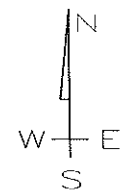
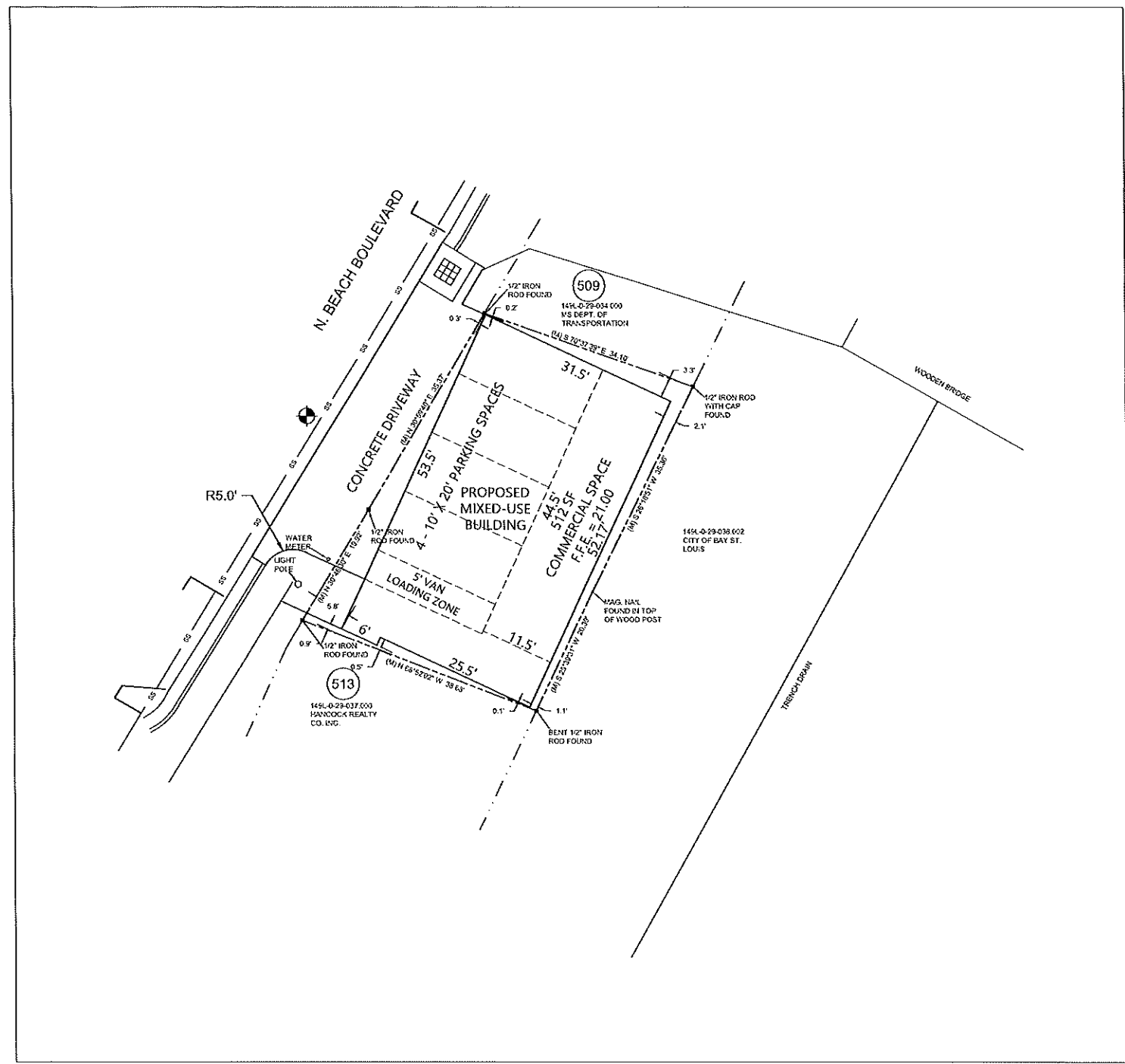


In Association With

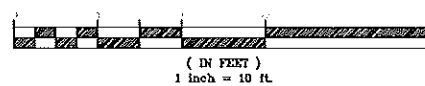
FA FOUNTAIN & ASSOCIATES
CIVIL AND COMMERCIAL DESIGN
13334 Seaway Rd, Ste. 202
Gulfport, MS 39503
228-574-3659

Date 10-11-2024
Drawn By E.O.F.
Check By T.J.M.
REV 11-04-2024
12-11-2024
01-08-2025

PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS



GRAPHIC SCALE



NEW MAG NAIL SET BY SURVEYOR
IN ASPHALT OF N BEACH BLVD
ELEV. = TBD

BOUNDARY BASED ON SURVEY BY CROSBY SURVEYING;
TOPOGRAPHIC INFORMATION BASED ON THE SAME
SUBJECT PROPERTY LIES WITHIN 'X 500' FLOOD
ZONE PER FEMA PANEL 28045C0362D DATED
OCTOBER 16, 2009.

SITE DATA TABLE

ACREAGE: 0.071 +/- AC

ZONING: C-1

SETBACKS:

- FYSB - 0 FT
- SYSB - 0 FT
- RYSB - 0 FT

COMMERCIAL SPACE - 512 SF +/-

OF HOTEL UNITS - 4

OF ON-SITE PARKING SPACES - 4

SITE PLAN

SCALE: 1"=10'

NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK AND VERIFY INFORMATION SHOWN HEREIN, IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.

TO:

Planning and Zoning Commission
City of Bay St. Louis

RE:

1083 Hwy 90
Parcel No. 137F-2-26-009.000
Legal Description: PT 88 J BOUQUIE CL (BUS) HWY 90
Parcel No. 137F-2-26-010.000
Legal Description: PT 89 J BOUQUIE CL 26-8-14

Hearing Date: March 12, 2025

Application for a Minor Site Plan Review submitted by Bellamare Development. The application site plan is for a new convenience store and gas station with an attached coffee shop at the property located at 1083 Hwy 90. The property is zoned C-3 Highway Commercial District.

The administration recommends TABLE this minor site plan review.

City Engineering is still reviewing drainage calculations.

If I can be of any further assistance in this matter, please feel free to contact my office at 228-466-5516.

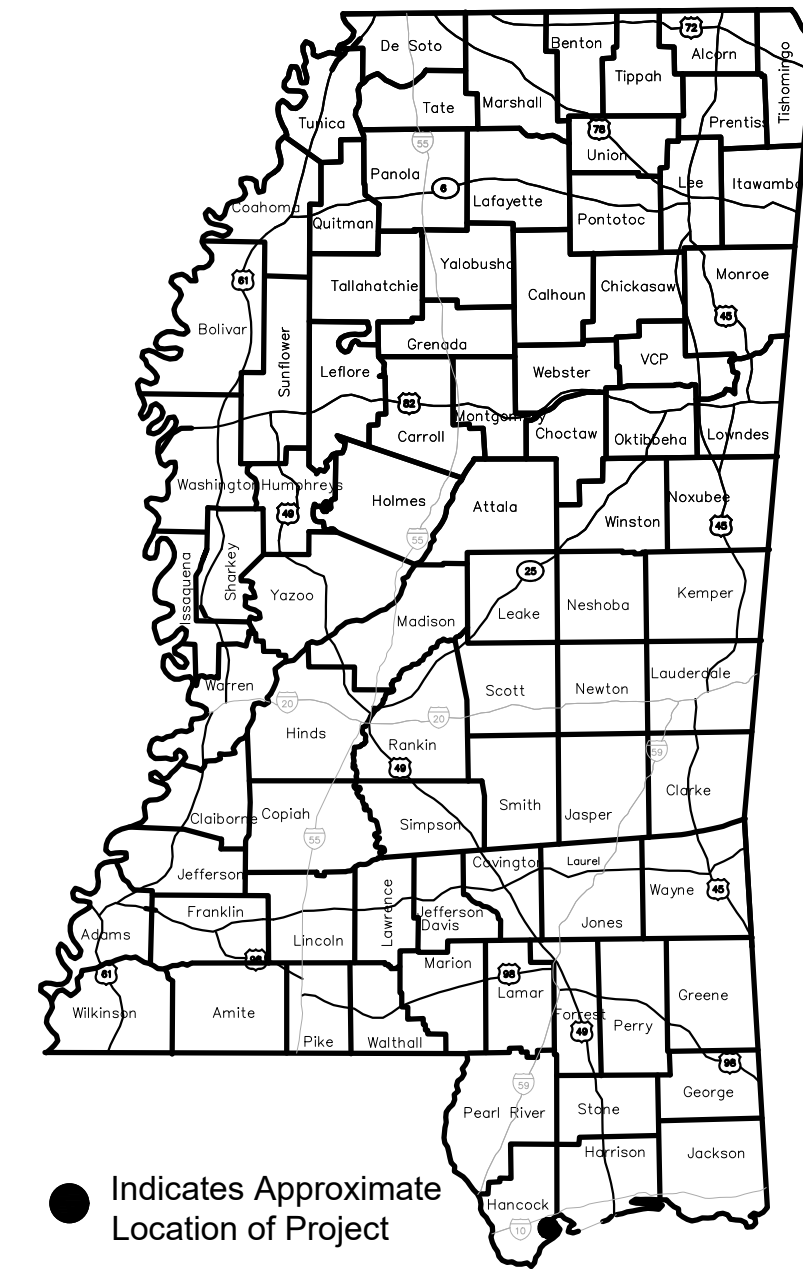
Jeremy L. Burke
Zoning Administrator

BAY ST. LOUIS CONVENIENCE STORE

1083 HIGHWAY 90, BAY SAINT LOUIS

HANCOCK COUNTY, MISSISSIPPI

(CIVIL PERMIT SET 276-1-2024)



LOCATION MAP

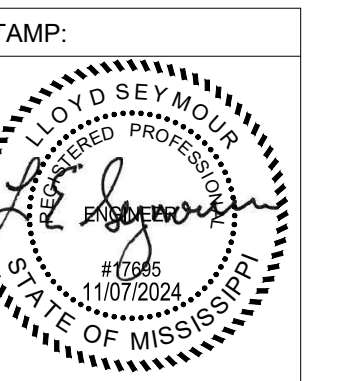
BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET

INDEX TO DRAWINGS

SHEET NO.	DRAWING NO.	DESCRIPTION
1	T1.0	COVER SHEET
2	C001	EXISTING CONDITIONS
3	C110	EROSION, SEDIMENT AND POLLUTION CONTROL PLAN
4	C150	EROSION, SEDIMENT AND POLLUTION CONTROL PLAN DETAILS
5	C200	SITE PLAN
6	C250	SITE DETAILS I
7	C251	SITE DETAILS II
8	C300	GRADING PLAN
9	C310	DRAINAGE PLAN
10	C320	DRAINAGE PROFILES
11	C350	DRAINAGE DETAILS
12	C400	UTILITY PLAN
13	C450	UTILITY DETAILS

SHEET REVISIONS:

#	DATE/REFERENCE

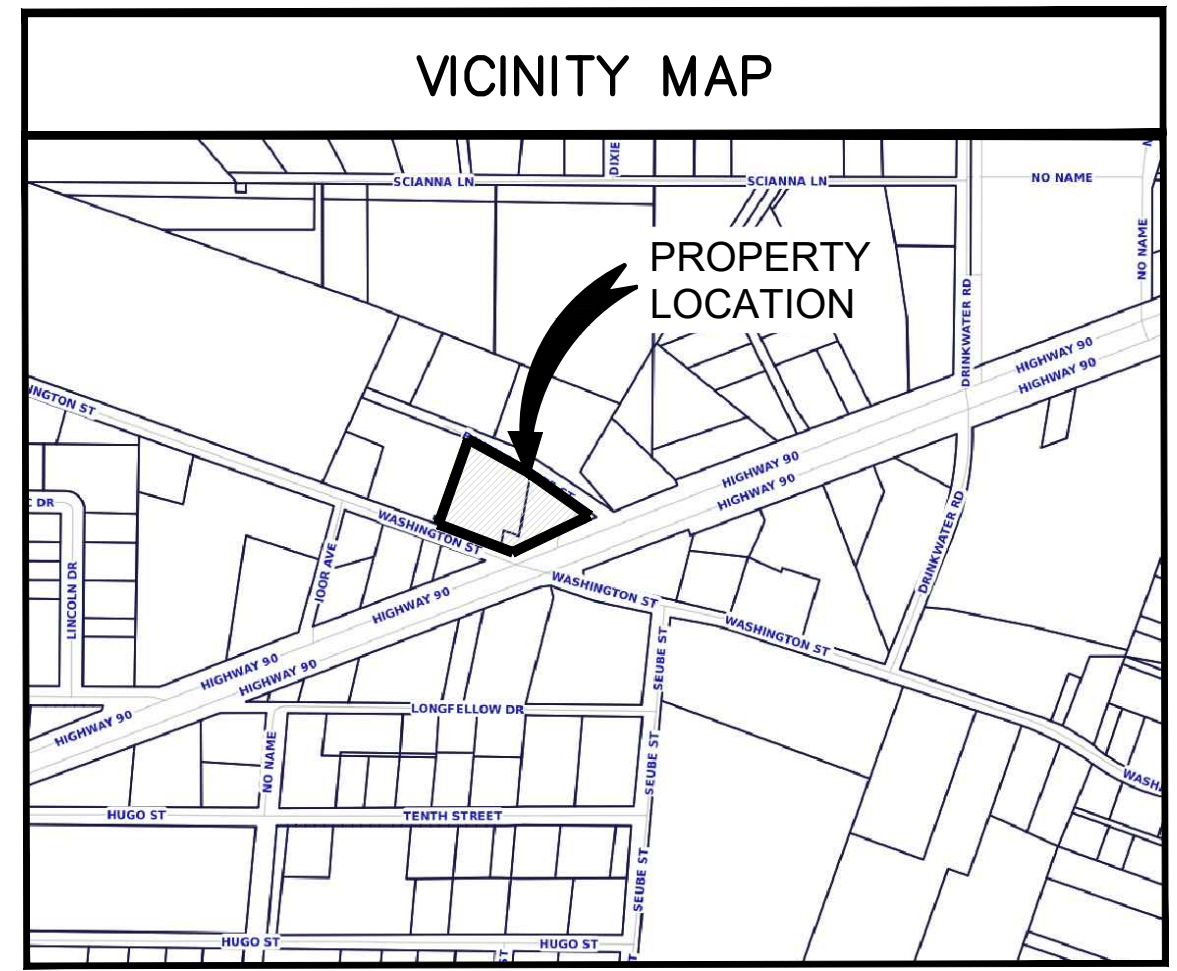


SHEET TITLE:

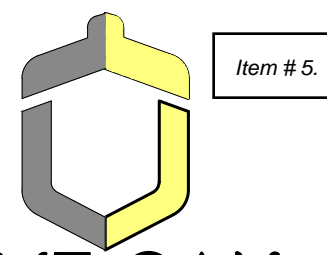
COVER SHEET

DATE: 11-7-2024
 SHEET NUMBER: 1 OF 13

T001



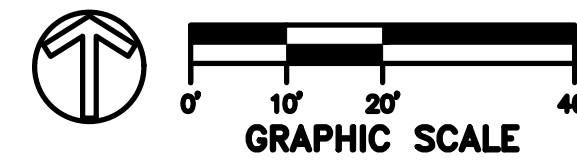
CIVIL ENGINEERING SERVICES



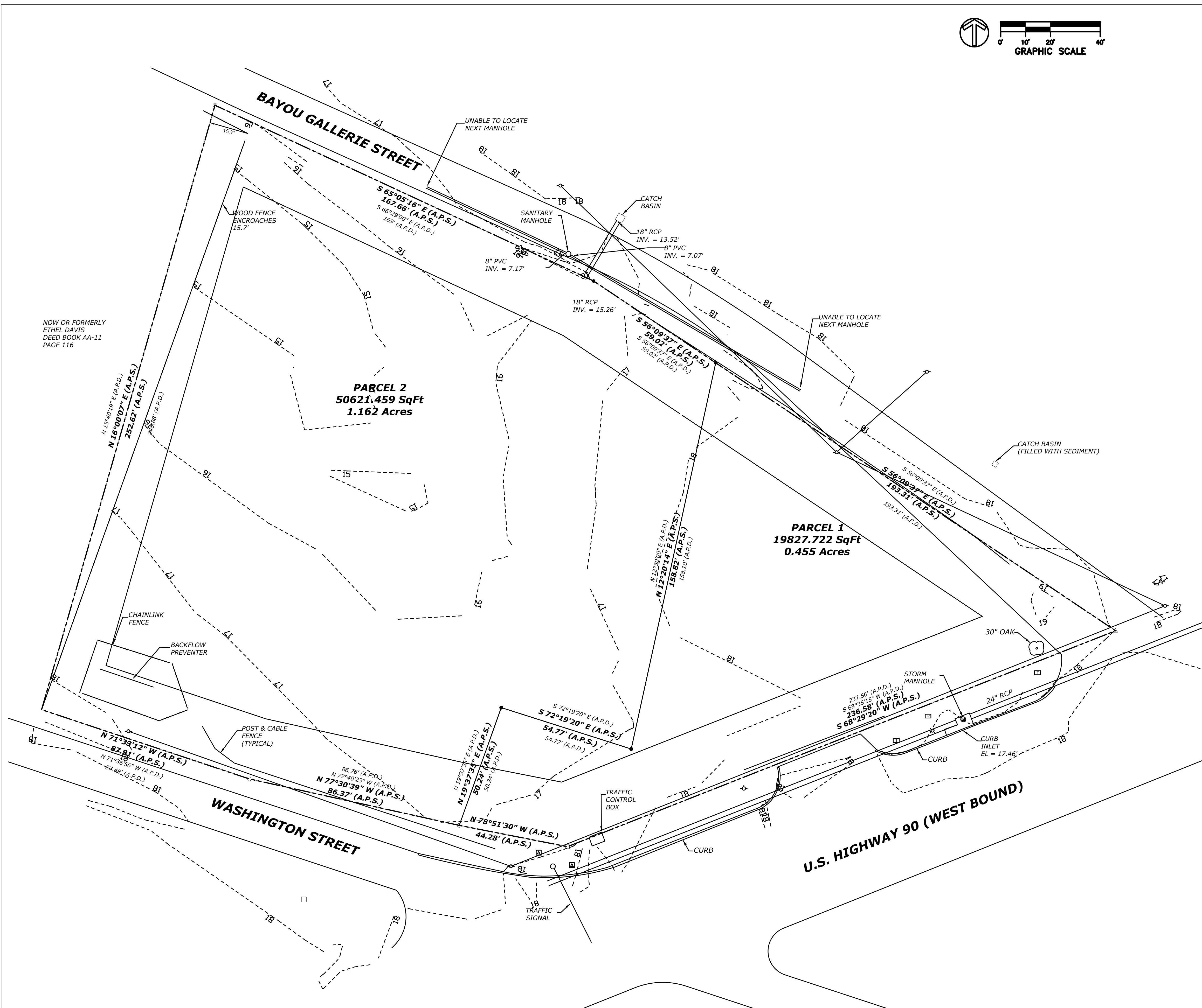
LIVE OAK ENGINEERING

2509 7TH AVE S.
BIRMINGHAM, AL 35233
955B HOWARD AVENUE
BILOXI, MS 39530
LIVEOAKENGINEERING.COM
LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
1083 HIGHWAY 90, BAY SAINT LOUIS
HANCOCK COUNTY, MISSISSIPPI
CIVIL PERMIT SET



ELEV =



NOW OR FORMERLY
ETHEL DAVIS
DEED BOOK AA-11
PAGE 116

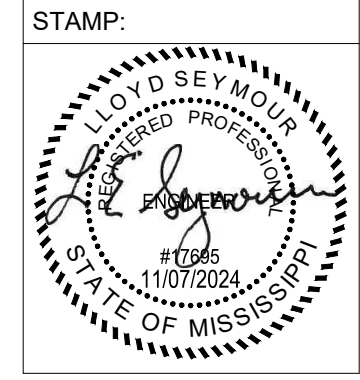
UNDERGROUND UTILITY NOTES

1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
3. ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

THIS SURVEY IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY!
CONTRACTOR SHALL CONSULT ORIGINAL SURVEY FOR ANY PROPERTY INFORMATION AND EXISTING CONDITIONS

SHEET REVISIONS:

#	DATE/REFERENCE

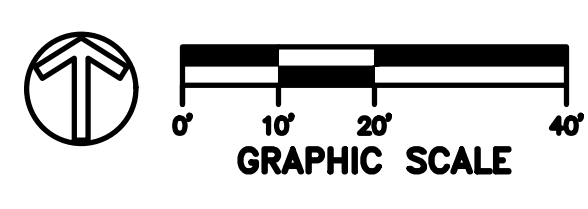


SHEET TITLE:
EXISTING CONDITIONS

DATE: 11-7-2024
SHEET NUMBER: 2 OF 13

C001

1 EXISTING CONDITIONS
C001 SCALE: 1" = 20'



ELEV =

SWPPP LEGEND

- 100.00- DENOTES EXISTING GRADE CONTOUR
- DENOTES FINISHED GRADE CONTOUR
- DENOTES STORMWATER FLOW DIRECTION
- DENOTES PERIMETER CONTROLS
- DENOTES INLET PROTECTION
- DENOTES TREE PROTECTION

SWPPP NOTES

1. THE CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENT CONTROLS DURING THE ENTIRE COURSE OF WORK TO PREVENT ANY SEDIMENT FROM LEAVING THE CONSTRUCTION SITE AND ENTERING ROADWAYS, STORM DRAINS SYSTEMS, DITCHES, SWALES, DETENTION BASINS, LOCAL WATER BODIES, AND/OR ADJACENT PROPERTIES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO EXPOSING ANY SOIL.
3. CONTRACTOR SHALL STAGE, TIME AND SEQUENCE CONSTRUCTION TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.
4. PERIMETER CONTROLS SHALL BE CONSTRUCTED OF SILT FENCE AND/OR APPROVED BMP'S AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ARCHITECT.
5. ALL INLETS WITHIN THE CONTRACTOR'S LIMITS OF WORK SHALL BE PROTECTED WITH APPROVED EROSION AND SEDIMENT CONTROL MEASURES.
6. CONTRACTOR SHALL PROVIDE VEGETATION FOR AREAS WHERE SOILS HAVE BEEN DISTURBED.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT MIGRATES INTO THE STORM DRAIN SYSTEM. ANY SEDIMENT THAT HAS MIGRATED OFF OF THE PROJECT SITE SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY.
8. TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL REMAIN FUNCTIONAL UNTIL PERMANENT EROSION AND SEDIMENT CONTROLS (SUCH AS PERMANENT GRASSING, PAVEMENT, ETC.) HAVE BEEN ESTABLISHED.
9. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. ANY ADDITIONAL TEMPORARY CONTROL DEVICES THAT MAY BE REQUIRED SHALL BE PROVIDED AS PART OF THIS PROJECT AT NO ADDITIONAL COST TO THE OWNER.

CONSTRUCTION PHASE SEQUENCE

PHASE ONE

- INSTALL CONSTRUCTION ENTRANCE/EXIT
- CLEAR AREA REQUIRED FOR SILT FENCE PLACEMENT
- INSTALL SILT FENCE

PHASE TWO

- DEMOLITION AND REMOVAL OF DEMO DEBRIS

PHASE THREE

- CLEAR/GRUB REMAINING SITE AREAS

PHASE FOUR

- GRADE SITE TO ROUGH GRADES
- INSTALL STORM DRAINAGE MEASURES

PHASE FIVE

- CONSTRUCT UTILITIES (WATER, SEPTIC)
- BUILDING CONSTRUCTION BEGINS

PHASE SIX

- CONSTRUCT ROADS (PAVING, CURB AND GUTTER, SIDEWALKS)
- BUILDING CONSTRUCTION CONTINUES

PHASE SEVEN

- BUILDING CONSTRUCTION COMPLETED
- STABILIZE DISTURBED AREAS WITH SOLID SOD/SEED AND MULCH
- INSTALL PERMANENT LANDSCAPING

PHASE EIGHT

- REMOVE BMP MEASURES

PHASE NINE

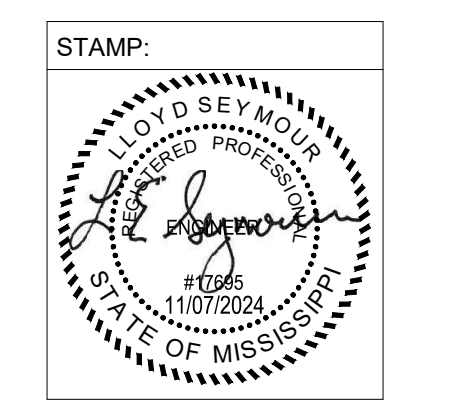
- REMOVE SILT FENCE
- PROJECT COMPLETE, FINAL INSPECTION

LIVE OAK ENGINEERING
 2509 7TH AVE S.
 BIRMINGHAM, AL 35233
 955B HOWARD AVENUE
 BILOXI, MS 39530
 LIVEOAKENGINEERING.COM
 LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET

SHEET REVISIONS:

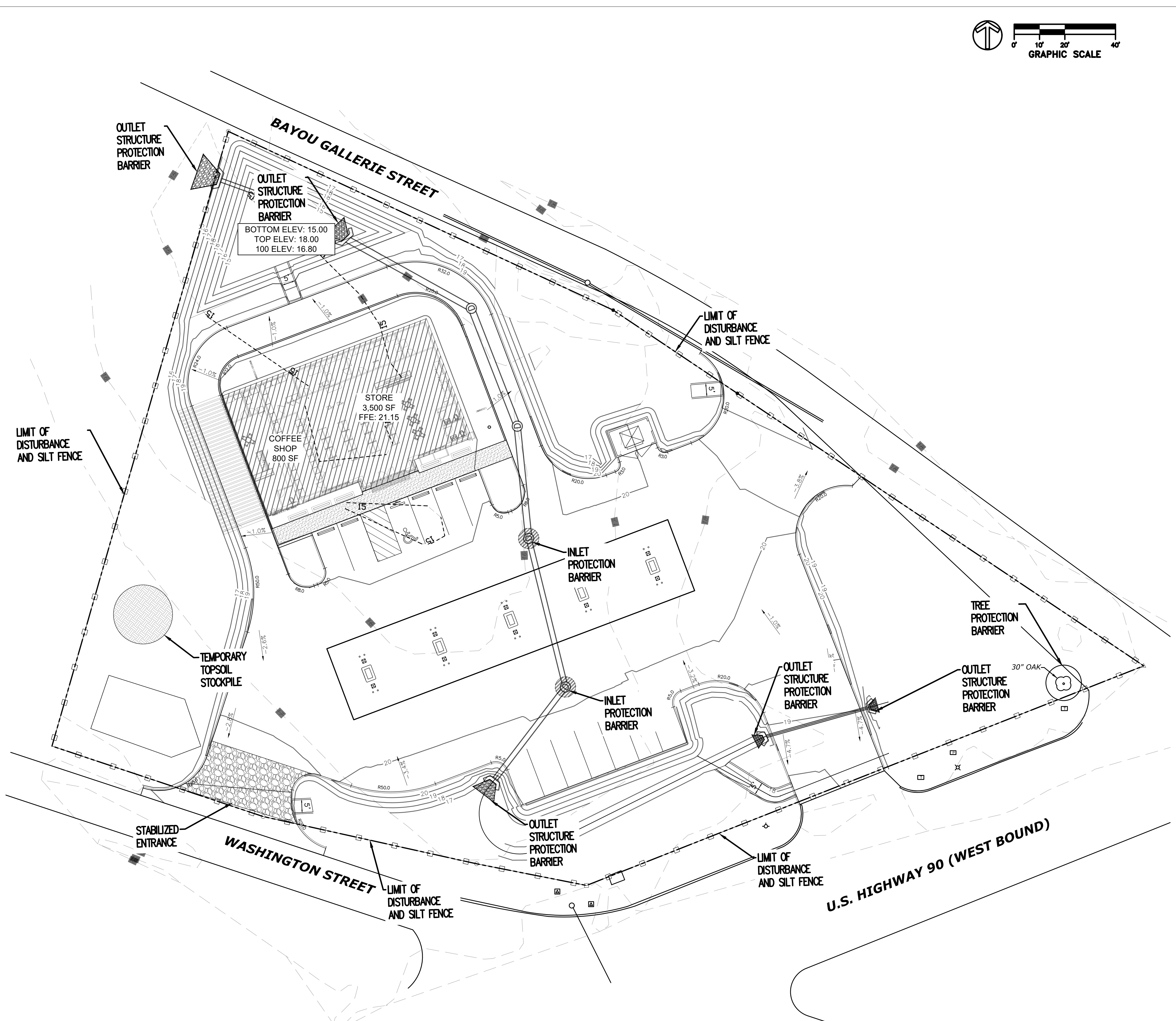
#	DATE/REFERENCE



SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN

DATE: 11-7-2024
 SHEET NUMBER: 3 OF 13

C110

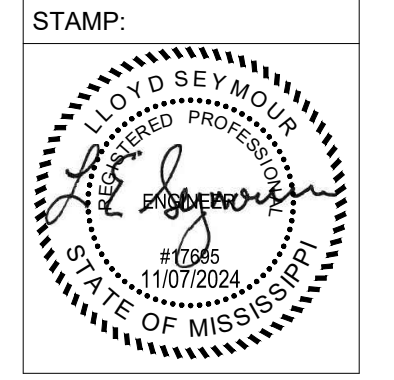


1
C110
EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 20'

BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET

SHEET REVISIONS:

#	DATE/REFERENCE



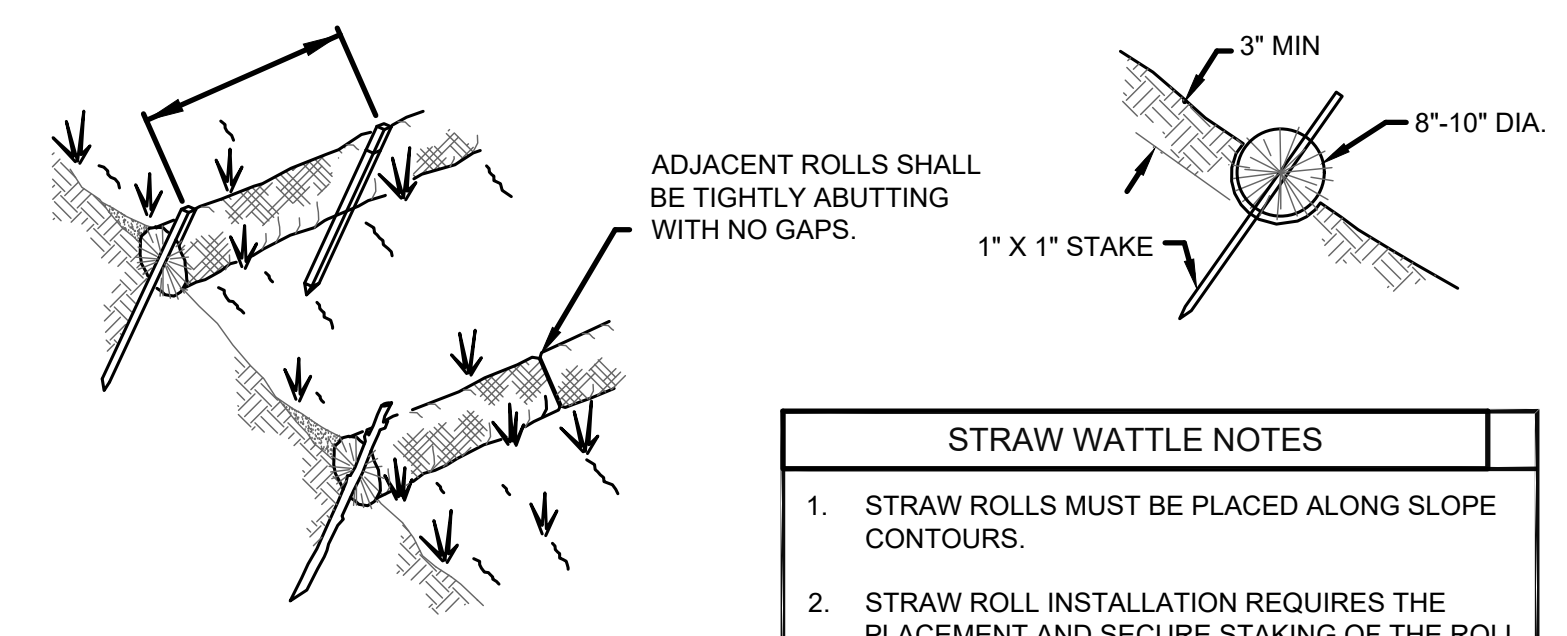
SHEET TITLE:
EROSION AND SEDIMENT CONTROL DETAILS

DATE: 11-7-2024
 SHEET NUMBER: 4 OF 13

C150

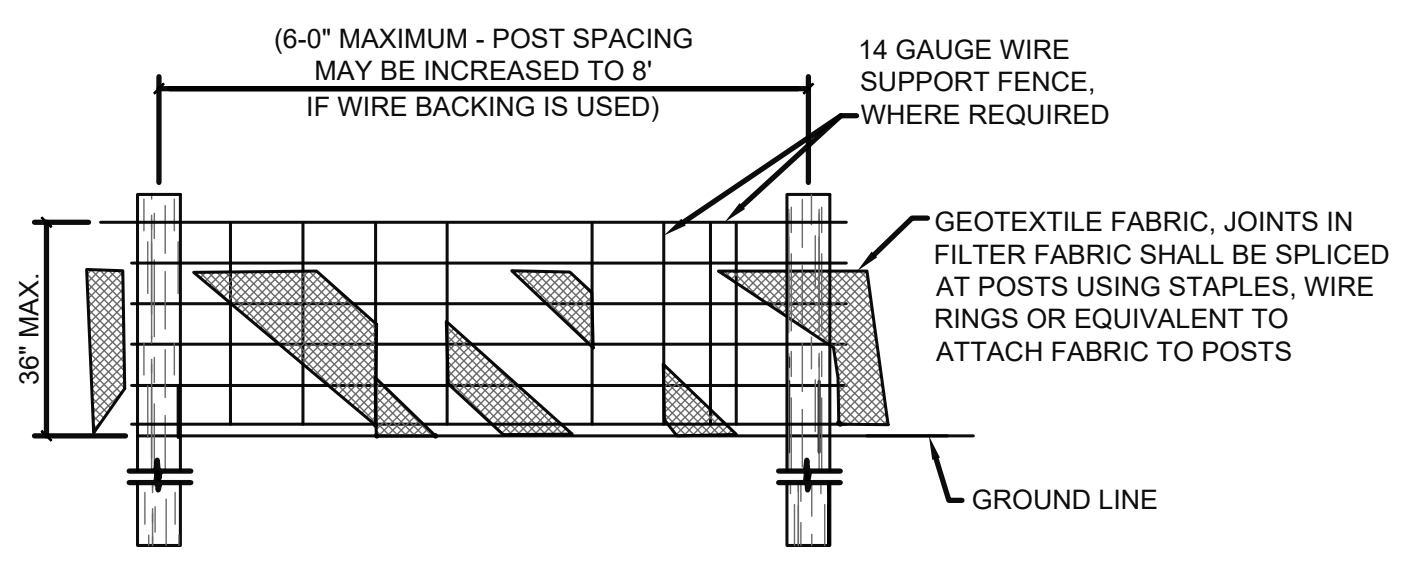
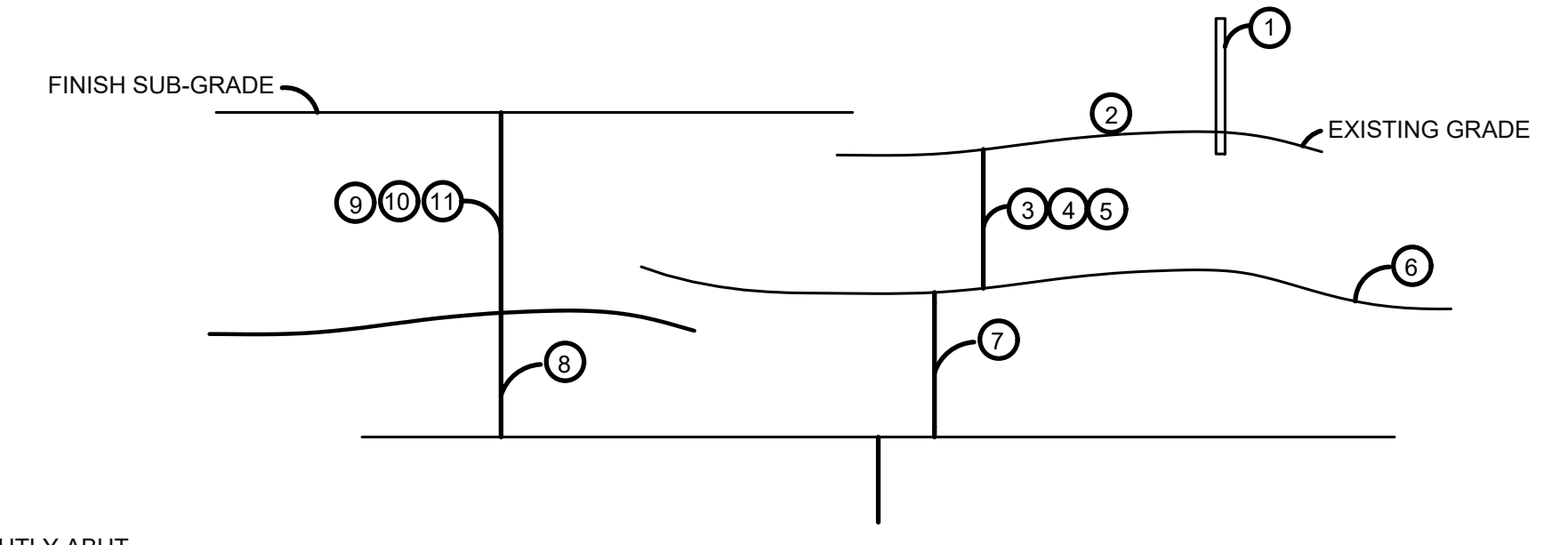
PERIMETER CONTROL NOTES

- FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.
- POSTS SHALL BE SPACED A MAXIMUM OF 6' O.C. SPACING MAY BE INCREASED TO 8' IF WIRE BACKING IS USED.
- POSTS SHALL BE A MINIMUM OF 5'-0" IN LENGTH. IN ADDITION POSTS SHALL BE EITHER 2" x 2" N.D. WOOD POST OR HEAVY DUTY STEEL T-POSTS WITH PROJECTIONS FOR WIRE FASTENING.
- WIRE SUPPORT FENCE SHALL BE A MINIMUM OF 36" IN HEIGHT. SHALL NOT EXTEND MORE THAN 36" ABOVE THE GROUND, AND SHALL EXTEND 2" INTO THE TRENCH.
- WIRE FENCE SHALL BE A MINIMUM OF 14 GAUGE AND SHALL HAVE A MAXIMUM MESH SPACING OF 6". WIRE SHALL BE SECURELY FASTENED TO THE UPSLOPE, PROJECT SIDE OF POSTS USING HEAVY DUTY STAPLES (AT LEAST 1" LONG), TIE WIRES OR HOG RINGS.
- GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN HEIGHT, AND SHALL NOT EXTEND MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
- FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AT THE TOP, MIDDLE, AND BOTTOM OF EACH POST. IN ADDITION THE FABRIC SHALL BE STAPLED OR WIRED TO THE WIRE FENCE APPROXIMATELY ONE HALF (1/2) THE DISTANCE BETWEEN THE POSTS AT THE TOP, MIDDLE AND BOTTOM OF THE WIRE FENCE.
- GEOTEXTILE FABRIC SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF 3" OVERLAP. EACH FREE END OF THE FABRIC SHALL BE SECURELY TIED TO THE WIRE FENCE AT 6" O.C. VERTICALLY.
- SILT FENCES SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. THE ENTIRE LENGTH OF FENCE SHALL BE CHECKED FOR ANY DAMAGES ON A DAILY BASIS AND BEFORE AND AFTER ANY RAINFALL EVENT, FOR ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAY'S END AT NO ADDITIONAL COST TO THE OWNER.
- SILT FENCES SHALL BE MAINTAINED TO PREVENT ANY MATERIAL FROM MIGRATING FROM THE UPSLOPE SIDE OF THE FENCE. ANY REQUIRED MAINTENANCE OF THE SILT FENCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH RAINFALL EVENT AND WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF (1/2) THE HEIGHT OF THE FENCE.
- IN ORDER TO PREVENT SEDIMENT LADEN STORM WATER FROM BY-PASSING THE FENCE, IN AREAS WHERE SILT FENCES ARE NOT UTILIZED ON ALL SIDES OF A DISTURBED AREA, THE FENCE SHALL EXTEND BEYOND THE DISTURBED AREA IN J-HOOK SHAPE ON EACH END AS SHOWN IN THE ISOLATED SILT FENCE INSTALLATION PLAN VIEW.

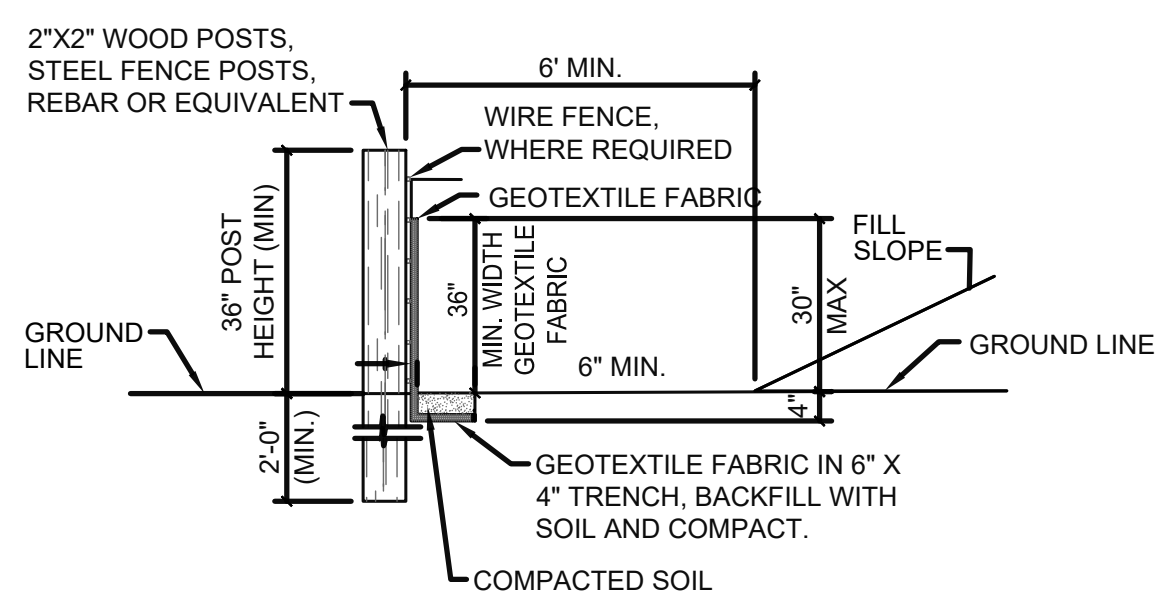


- STRAW WATTLE NOTES**
- STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS.
 - STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A 3" MINIMUM TRENCH DUG ON CONTOUR.
 - IF STAKES CAN NOT BE USED SECURE WITH SAND BAGS SPACED 4' APART.
 - RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.

2 TYPICAL PERIMETER CONTROL DETAILS
 SCALE: NTS



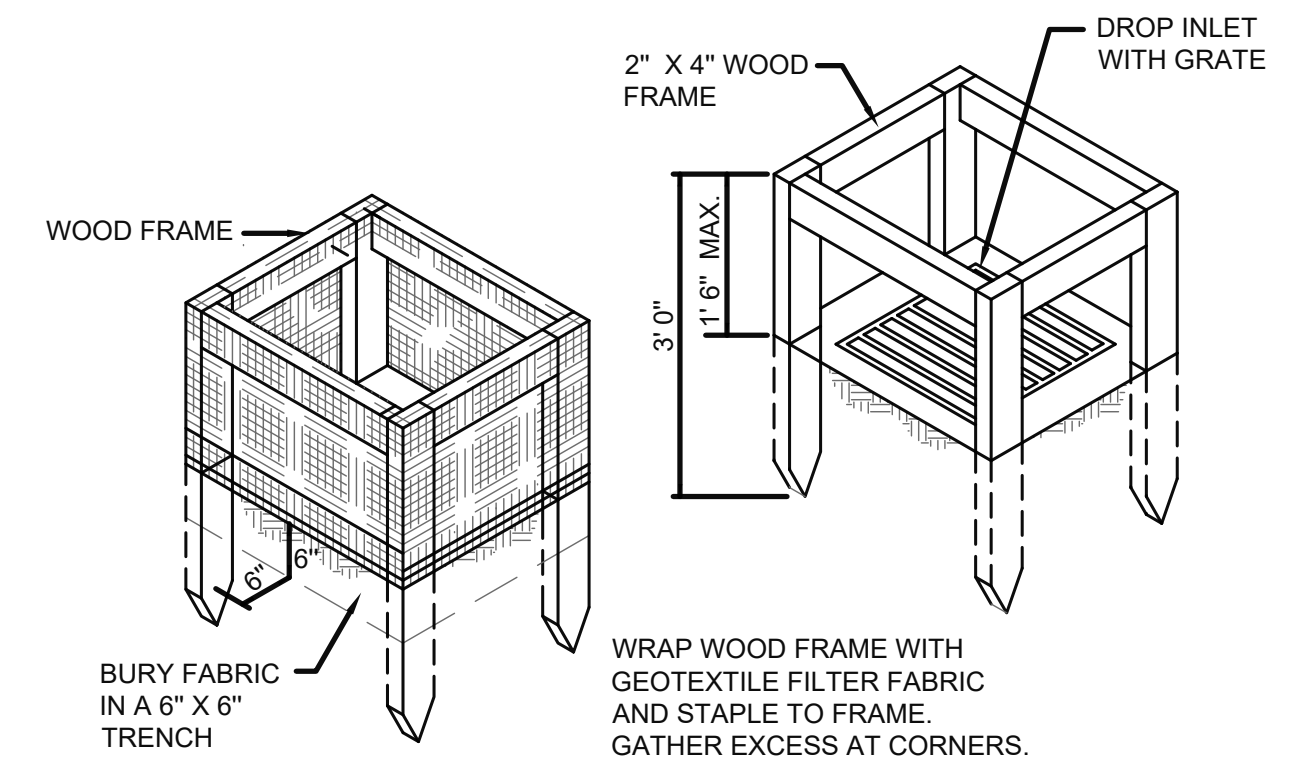
FRONT ELEVATION



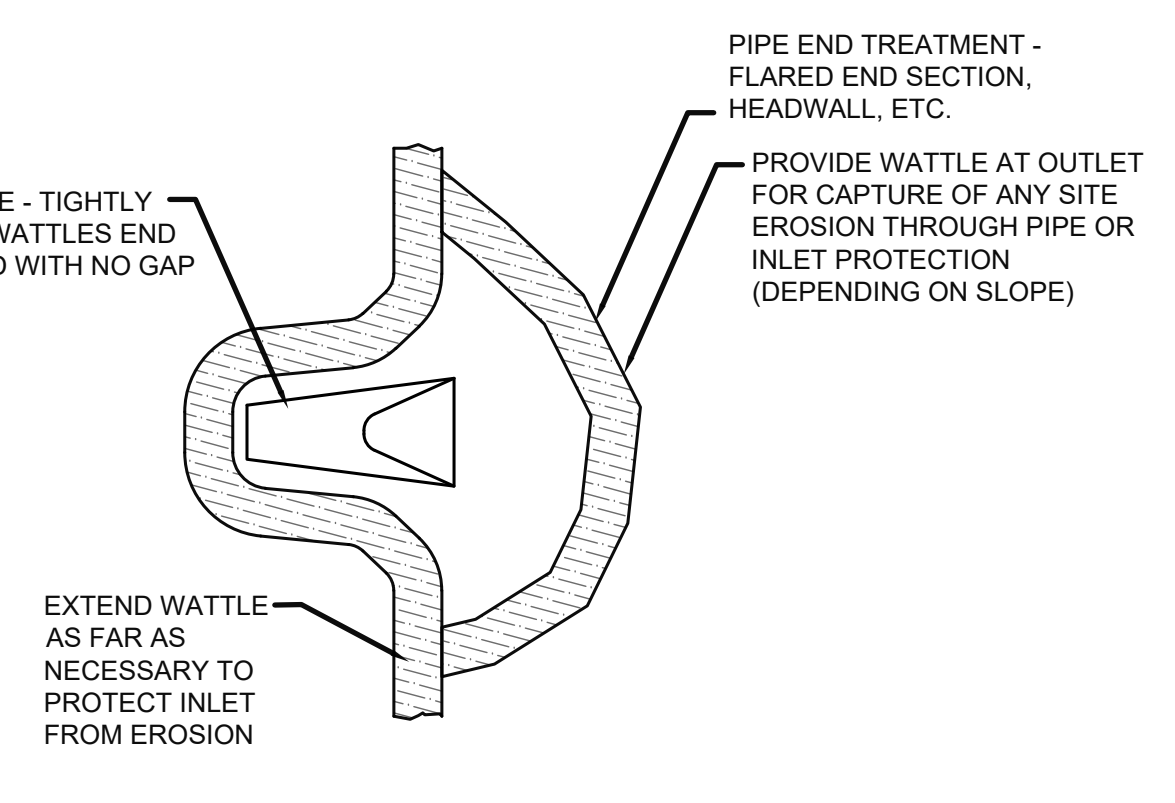
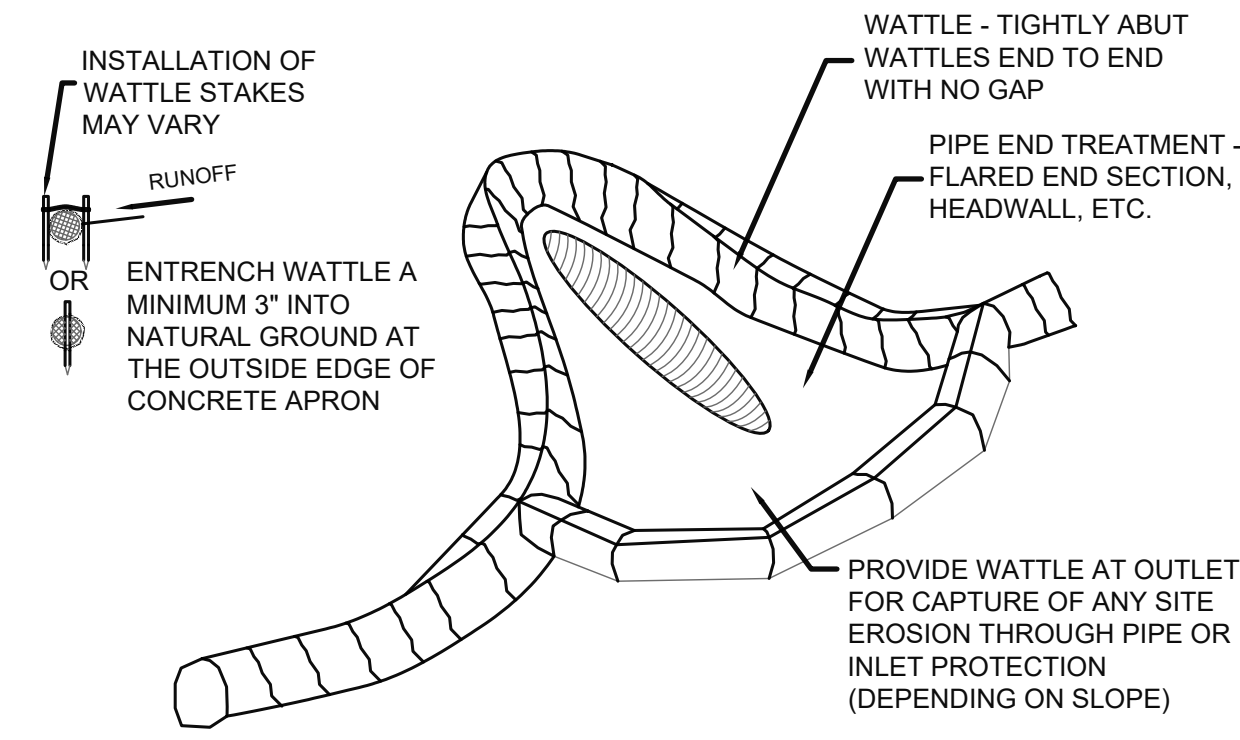
SIDE ELEVATION

1 TYPICAL PERIMETER CONTROL DETAILS
 SCALE: N.T.S.

- CONSTRUCTION ENTRANCE/EXIT NOTE**
- CRUSHED AGGREGATE SHALL BE COMPRISED OF STONE RANGING FROM 3" MINIMUM TO 6" MAXIMUM IN SIZE.
 - THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT THE FLOW OF SEDIMENT ONTO PUBLIC ROADWAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
 - THE ENTRANCE SHALL BE PROPERLY MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC ROADWAY. ALL MAINTENANCE AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE ENTRANCE SHALL BE CHECKED ON A DAILY BASIS AND BEFORE AND AFTER ANY RAINFALL EVENT FOR ANY DAMAGES. ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAYS END.
 - MEASURES SHALL BE TAKEN TO PREVENT VEHICULAR TRAFFIC FROM BYPASSING THE CONSTRUCTION ENTRANCE DURING INGRESS AND EGRESS.



SILT FENCE OPTION

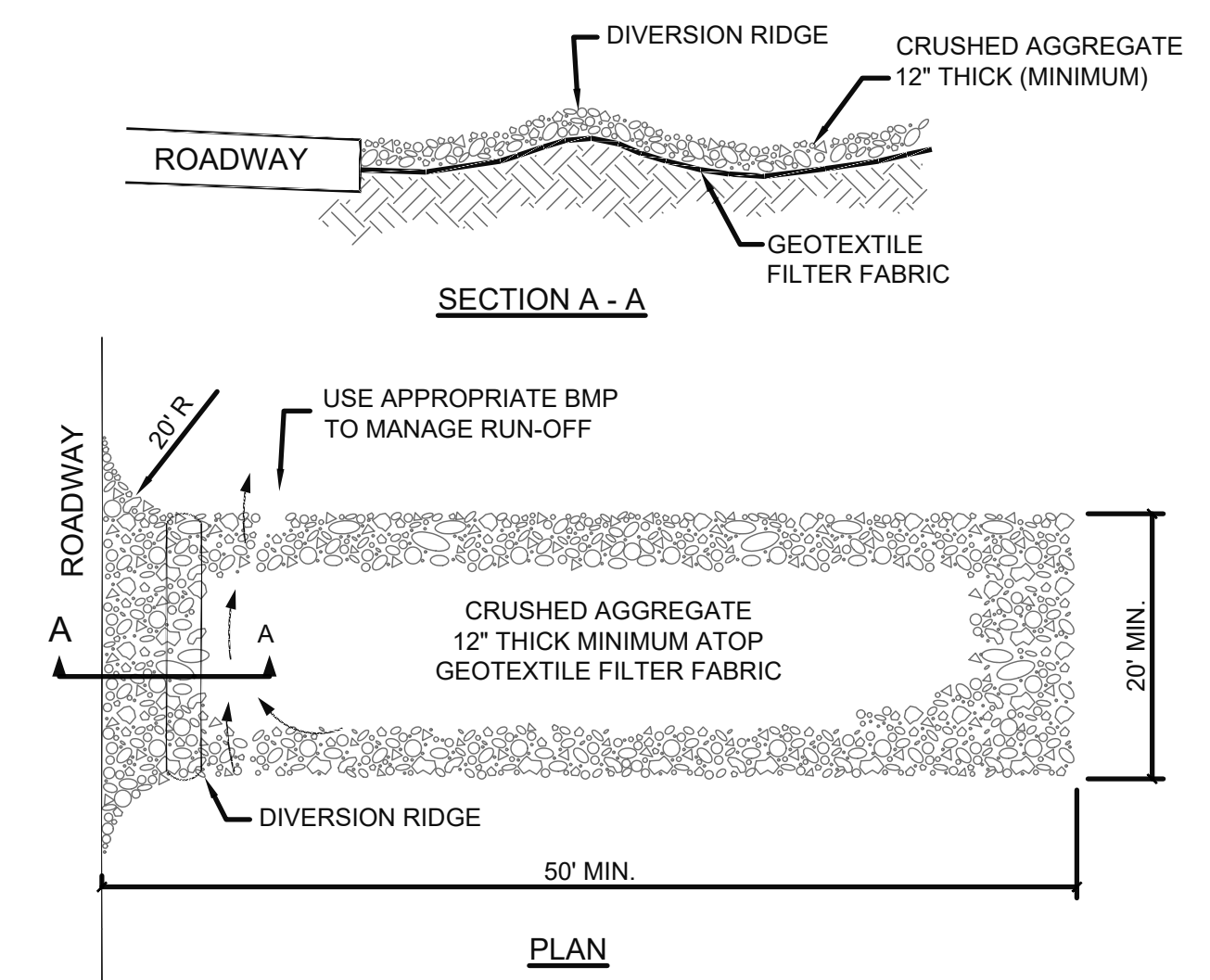


INLET STRAW ROLL WATTLE OPTION

PIPE END TREATMENT WATTLE OPTION

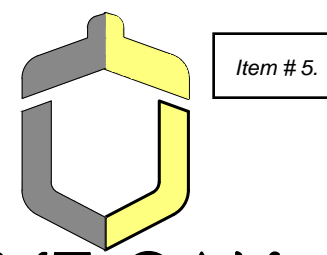
- EXCAVATION NOTES**
- EROSION CONTROL MEASURES:** THE INITIAL STEP FOR SITE PREPARATION SHALL BE TO ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES.
 - DRAINAGE:** EFFECTIVE DRAINAGE, INCLUDING DITCHING AND/OR POSITIVE GRADING, SHOULD BE ESTABLISHED AT THE BEGINNING OF SITE DEVELOPMENT AND MODIFIED AS NECESSARY DURING CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - CLEARING:** UPON COMPLETION OF DEMOLITION WORK THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING PAVEMENTS, SLABS, FOUNDATIONS, SIDEWALKS, ABANDONED UTILITIES, AND OTHER MISCELLANEOUS DEBRIS HAVE BEEN COMPLETELY REMOVED TO AT LEAST A MINIMUM OF 5 FEET BEYOND THE PROPOSED BUILDING FOOTPRINTS AND NEW PAVEMENT AREAS.
 - STRIPPING:** ONCE ALL PAVEMENTS, FOUNDATION AND DEBRIS HAVE BEEN REMOVED, STRIPPING EXCAVATIONS SHOULD BE CONTINUED TO APPROXIMATELY 6" BELOW EXISTING GRADE. STRIPPING EXCAVATION SHALL BE CARRIED OUT TO AT LEAST A MINIMUM OF 5 FEET BEYOND THE PROPOSED BUILDING FOOTPRINTS AND NEW PAVEMENT AREAS.
 - TOPSOIL:** CONTRACTOR SHALL STOCKPILE TOPSOIL AND OTHER SUITABLE FILL MATERIAL TO BE REUSED ON SITE. ALL UNSUITABLE SOILS SHALL BE REMOVED FROM THE SITE.
 - SUB-GRADE PREPARATION:** ONCE ALL TOPSOIL, ORGANIC MATERIALS, AND/OR OTHER UNSUITABLE SOILS HAVE BEEN REMOVED, THE FILL AREAS SHOULD BE LEVELED AND SEATED USING A STATIC ROLLER AND THEN PROOF-ROLLED USING A LOADED TANDEM AXLE DUMP TRUCK WEIGHING AT LEAST 20 TONS TO IDENTIFY AREAS OF WEAK SOIL.
 - MUCK:** WHEN EXCAVATIONS ENCOUNTER UNSUITABLE MATERIALS BELOW THE BOTTOM OF THE STRIPPING AND UNDERCUT EXCAVATIONS, THE CONTRACTOR WILL BE REQUIRED TO REMOVE THE MATERIAL AND BACKFILL WITH APPROPRIATE FILL MATERIAL AS APPROVED BY THE ENGINEER. THE DEPTH AND WIDTH OF MUCK EXCAVATION WILL BE AS DIRECTED OR APPROVED BY THE ENGINEER. THE CONTRACTOR WILL NOT BE COMPENSATED FOR EXCAVATION BEYOND THE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE PLANS OR EXCAVATION THAT HAS NOT BEEN DIRECTED OR APPROVED BY THE ENGINEER. ALL MUCK AND FILL FORMATIONS BELOW THE BOTTOM OF THE STRIPPING/UNDERCUT EXCAVATIONS SHALL BE MEASURED AS UNIT PRICE PAY ITEMS PER THE UNSUITABLE SOILS ALLOWANCE.
 - ON-SITE SOILS:** ON-SITE SOILS ARE SUITABLE TO USE AS STRUCTURAL FILL BUT WILL LIKELY REQUIRE MOISTURE CONDITIONING TO MEET THE REQUIREMENTS OF STRUCTURAL FILL. IF CONSTRUCTION IS PERFORMED DURING THE WET SEASON THE NEAR SURFACE SOILS MAY BECOME UNSTABLE UNDER CONSTRUCTION TRAFFIC AND REQUIRE ADDITIONAL UNDERCUT.
 - STRUCTURAL FILL:** IF REQUIRED, STRUCTURAL FILL MATERIAL SHOULD BE SILTY SAND, CLAYEY SAND, OR LEAN CLAY (UNIFIED CLASSIFICATION SM, SC, OR CL) TYPE SOIL. THE PLASTICITY INDEX OF FILL SHOULD BE A MAXIMUM OF 20 AND HAVE A MAXIMUM LIQUID LIMIT OF 40.
 - COMPACTION:** MATERIALS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY PER STANDARD PROCTOR (ASTM D 698). COMPACTION SHOULD BE ACHIEVED PRIOR TO PLACING SUBSEQUENT LIFTS. FILL SOILS SHOULD BE PLACED IN MAXIMUM LOOSE LIFTS OF 8" AT A MOISTURE CONTENT COMPARABLE (±3%) TO THE OPTIMUM MOISTURE CONTENT ESTABLISHED IN THE LABORATORY.
 - TESTING:** IN PLACE DENSITY TESTS SHOULD BE MADE PER 2,500 SQUARE FEET PER LIFT WITHIN THE BUILDING FOOTPRINT AND 5,000 SQUARE FEET PER LIFT UNDER PAVEMENT.

5 EXCAVATION DETAIL AND NOTES
 SCALE: NTS



3 TYPICAL CONSTRUCTION ENTRANCE/EXIT DETAIL
 SCALE: NTS

4 TYPICAL INLET/OUTLET PROTECTION DETAIL
 SCALE: NTS

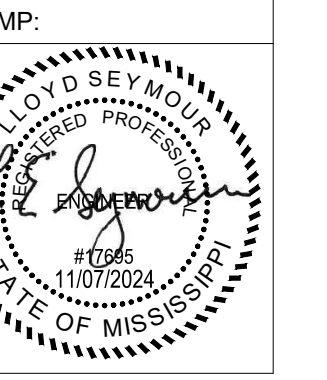


LIVE OAK ENGINEERING

2509 7TH AVE S.
BIRMINGHAM, AL 35233
955B HOWARD AVENUE
BILOXI, MS 39530
LIVEOAKENGINEERING.COM
LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
1083 HIGHWAY 90, BAY SAINT LOUIS
HANCOCK COUNTY, MISSISSIPPI
CIVIL PERMIT SET

SHEET REVISIONS:	
#	DATE/REFERENCE

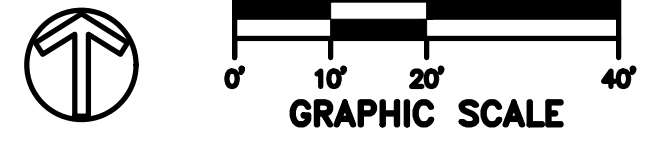


SHEET TITLE:
SITE PLAN

DATE: 11-7-2024
SHEET NUMBER: 5 OF 13

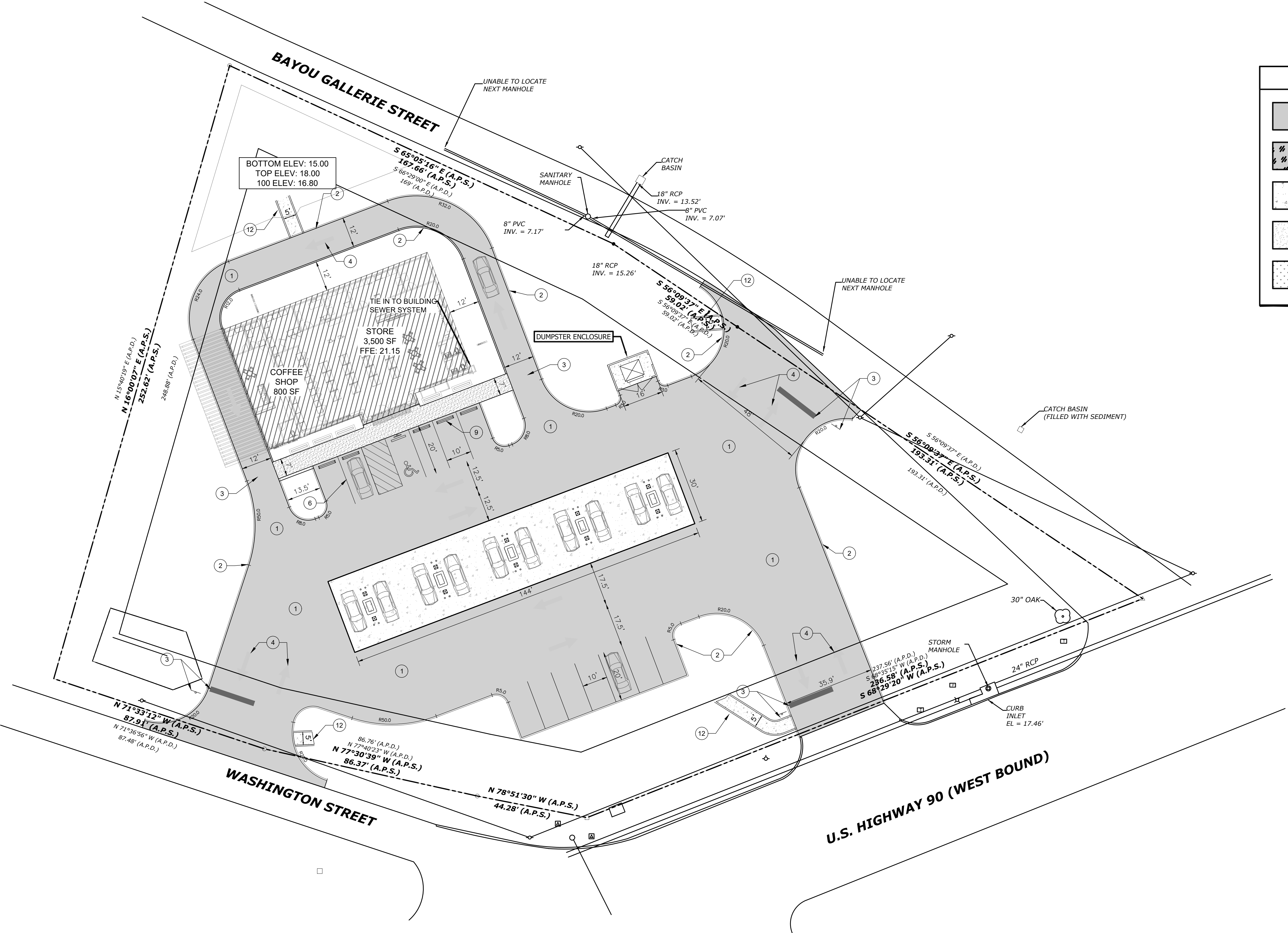
C200

ELEV =

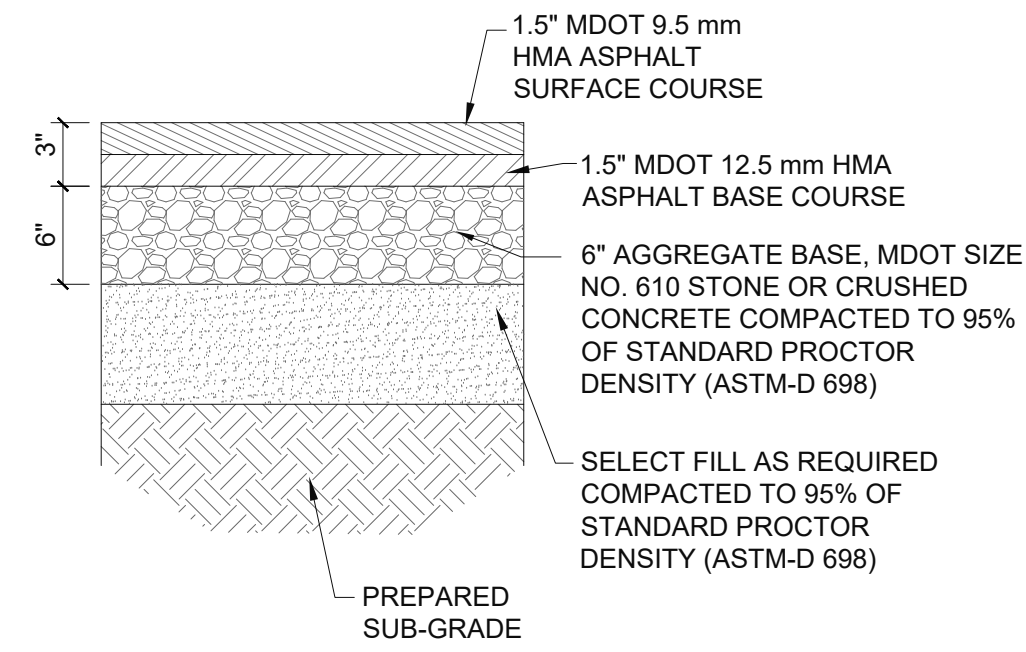


CIVIL SITE LEGEND	
	DENOTES LIGHT DUTY ASPHALT PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES HEAVY DUTY ASPHALT PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES 6" HEAVY DUTY CONCRETE PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES 4" CONCRETE SIDEWALK PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES GRASS PAVERS WITH PAVER EDGE (SEE PAVEMENT DETAILS)

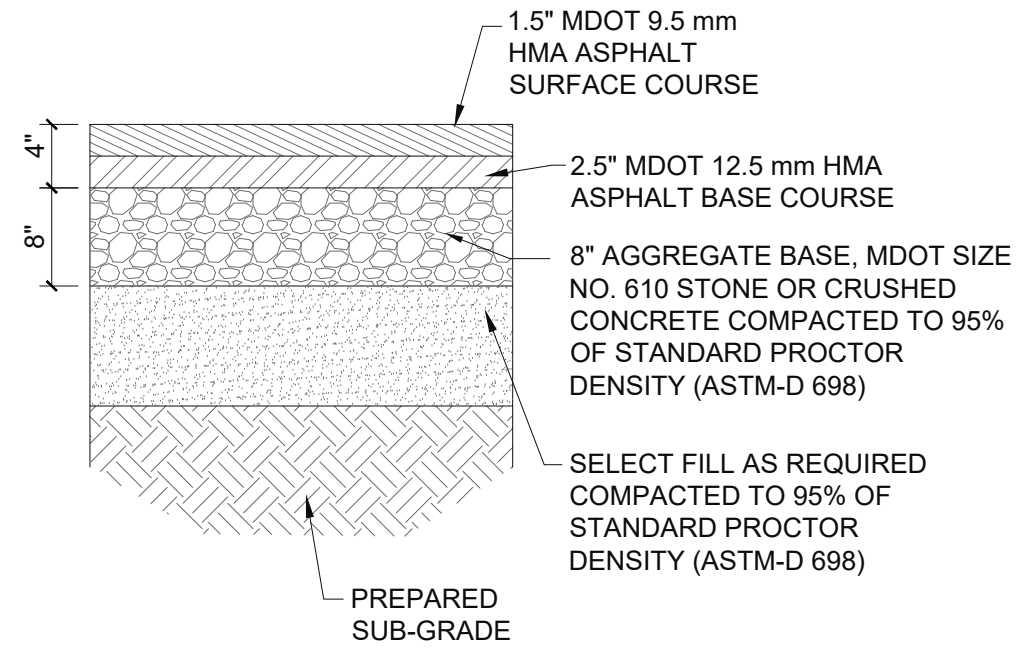
SITE WORK KEYNOTES	
①	HEAVY DUTY ASPHALT PAVEMENT AND GRANULAR BASE (DTL 2 & PAGE 250).
②	6" WIDE CONCRETE CURB/GUTTER (DTL 5 PAGE 250).
③	STOP BAR AND STOP SIGN
④	HORIZONTAL DEMARICATION PAINTING
⑤	GREEN SPACE TO RECEIVE TOPSOIL AND SOD. TOPSOIL MUST CONTAIN NO STONES ROOTS, TRASH, ETC. AND MUST BE UNIFORMLY DISTRIBUTED TO RECEIVE SOD PROVIDE AND INSTALL IRRIGATION SYSTEM AS REQUIRED FOR LOCAL CLIMATE CONDITIONS.
⑥	4" WIDE PAINTED TRAFFIC STRIPES WHITE.
⑦	HEAVY DUTY CONCRETE PAVEMENT
⑧	GAS DISPENSER
⑨	CAR STOP
⑩	CONCRETE STOP
⑪	PICK UP WINDOW
⑫	CONCRETE FLUME



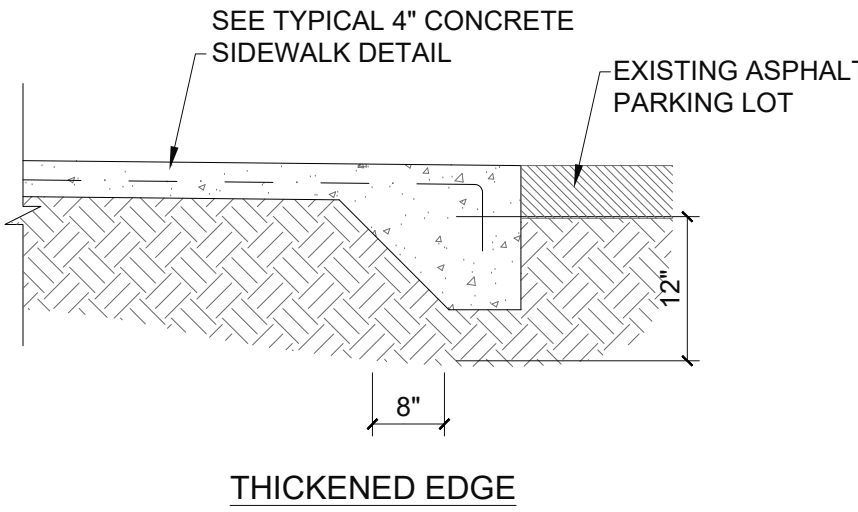
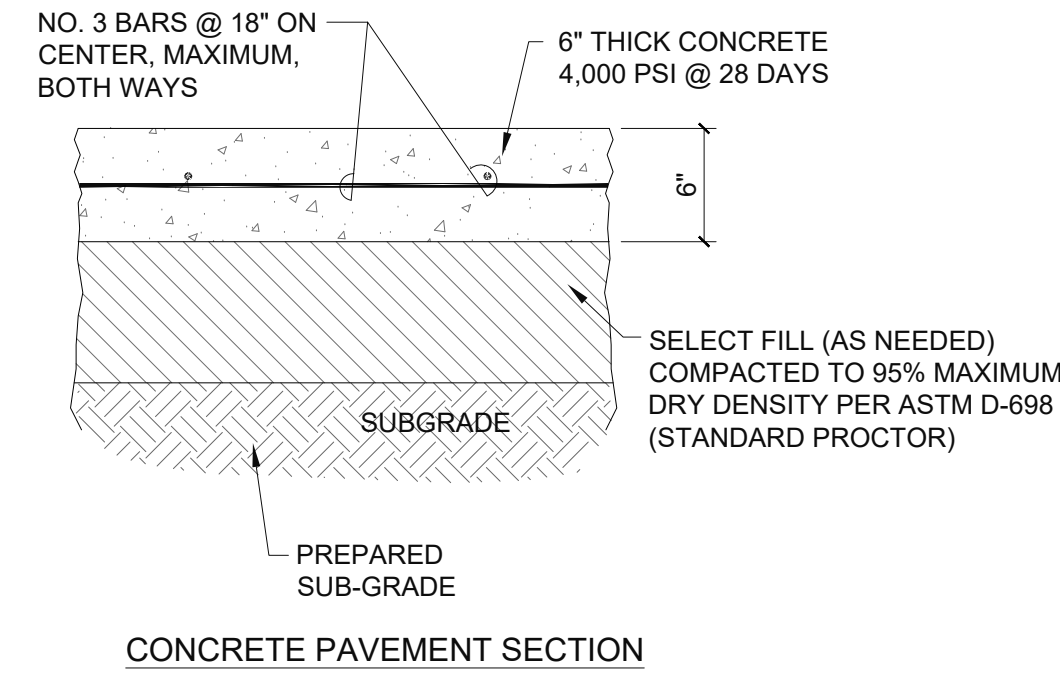
1 CIVIL SITE PLAN
SCALE: 1" = 20'



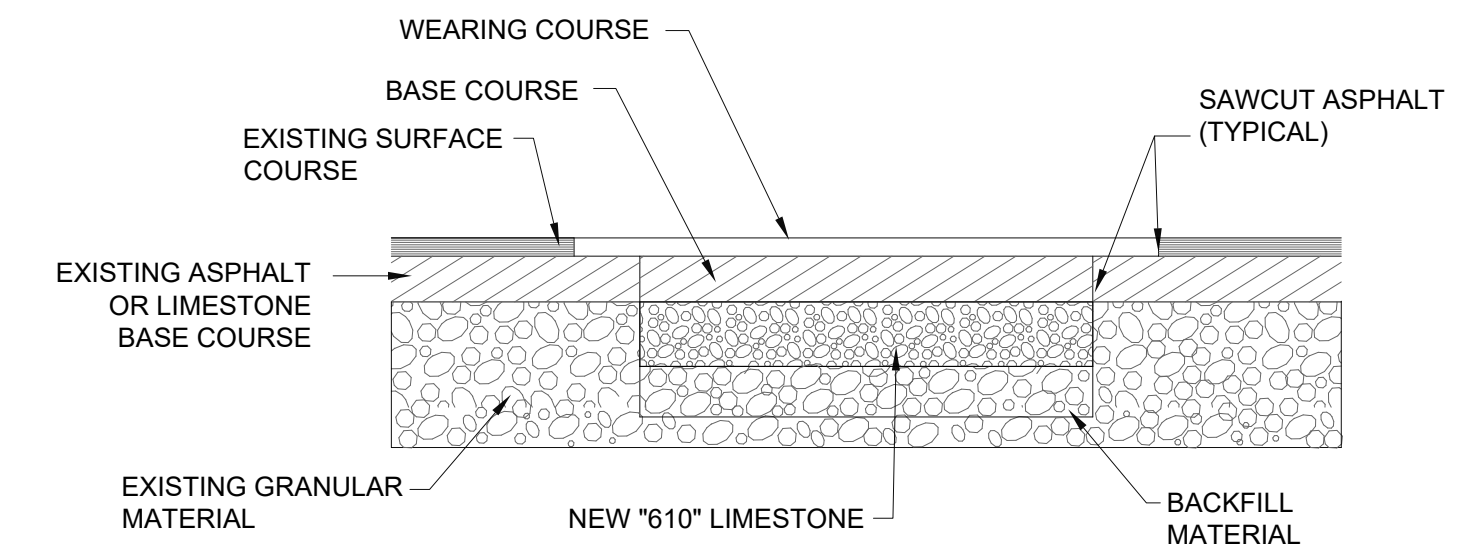
1 TYPICAL LIGHT DUTY ASPHALT PAVEMENT SECTION
SCALE: NTS



2 TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION
SCALE: NTS



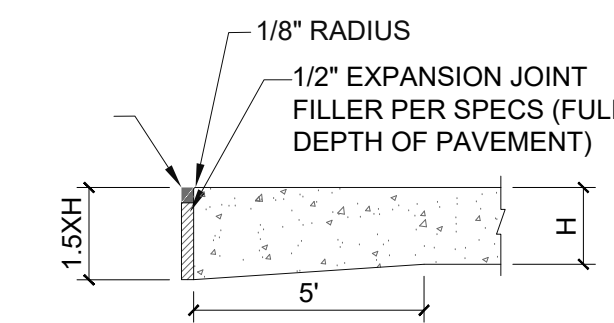
3 TYPICAL 6" CONCRETE PAVEMENT DETAILS
SCALE: NTS



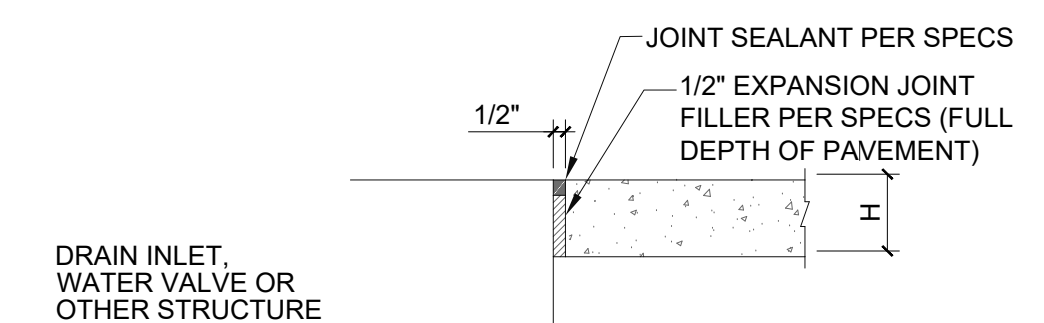
- ASPHALT STREET REPAIR NOTES**
1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF MISSISSIPPI DEPARTMENT OF TRANSPORTATION STANDARDS.
 2. MIX DESIGNS: BASE COURSE: HMA, TYPE ST, 19 mm
WEARING COURSE: HMA, TYPE ST, 9.5 mm
 3. EXISTING GRANULAR MATERIAL, NEW BACKFILL MATERIAL AND NEW "610" LIMESTONE SHALL BE COMPACTED TO 95% PROCTOR PER ASTM D1557.
 4. TACK COAT SHALL BE APPLIED WHERE NEW ASPHALT MEETS EXISTING ASPHALT.
 5. REFER TO OTHER DETAILS FOR UTILITY PLACEMENT AND PAVEMENT MARKINGS AS APPLICABLE.

4 TYPICAL ASPHALT STREET PAVEMENT REPAIR SECTION
SCALE: NTS

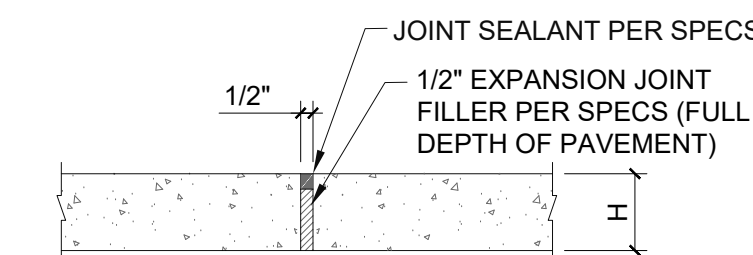
- 4" CONCRETE PAVEMENT NOTES**
1. ALL JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 330R-08 OR SECTION 3.07 IN THE NRMCA GUIDE SPECIFICATIONS.
 2. EXPANSION JOINTS SHALL BE LOCATED WHERE SIDEWALK ABUTS CONCRETE DRIVEWAYS, CURB OR OTHER ADJACENT STRUCTURES.
 3. CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF APPROXIMATELY 5 FEET OR AT A SPACING THAT MATCHES THE ADJACENT CURB.
 4. JOINTS SHALL BE PROVIDED WITHIN TWELVE (12) HOURS OF FINISHING CONCRETE.
 5. CONTRACTION JOINT CUTS SHALL BE 1/4 OF THE PAVEMENT THICKNESS DEEP. THE WIDTH OF THE CUT SHOULD BE APPROXIMATELY 1/8 INCH FOR UNSEALED JOINTS AND 1/4 INCH FOR SEALED JOINTS.
 6. FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" RADIUS.
 7. SCORED JOINTS SHALL BE 1/4" DEEP AND PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK OR MATCH SCORED JOINTS OF ADJACENT CURB.
 8. CONCRETE SHALL BE FINISHED BY MEANS OF A FLOAT, STEEL TROWELLED AND BROOMED WITH A FINE BRUSH IN A TRANSVERSE DIRECTION.
 9. CONTRACTOR SHALL INSTALL CONTRACTION JOINTS AT THE END OF ONE PLACEMENT AND THE BEGINNING OF A SECOND PLACEMENT.
 10. CONTRACTOR SHALL CONTINUE CONTRACTION JOINTS THROUGH CURB AND GUTTER TO HELP ELIMINATE SYMPATHY CRACKS.



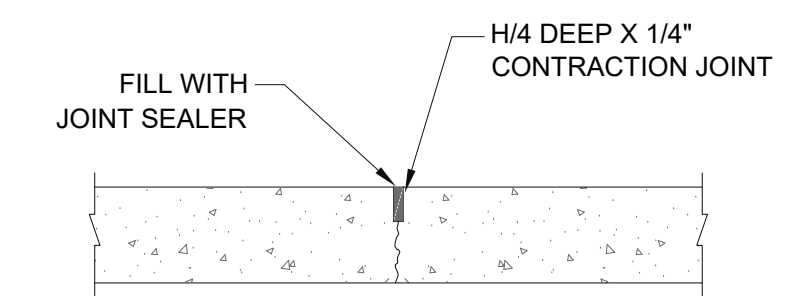
THICKENED EDGE



ISOLATION JOINT

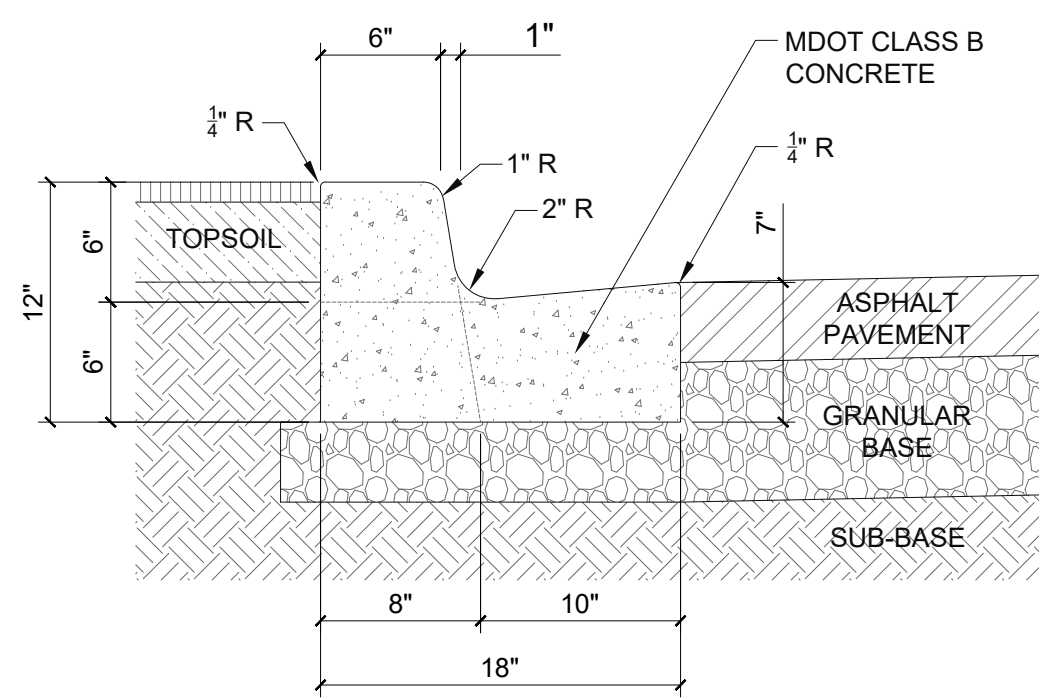


EXPANSION JOINT



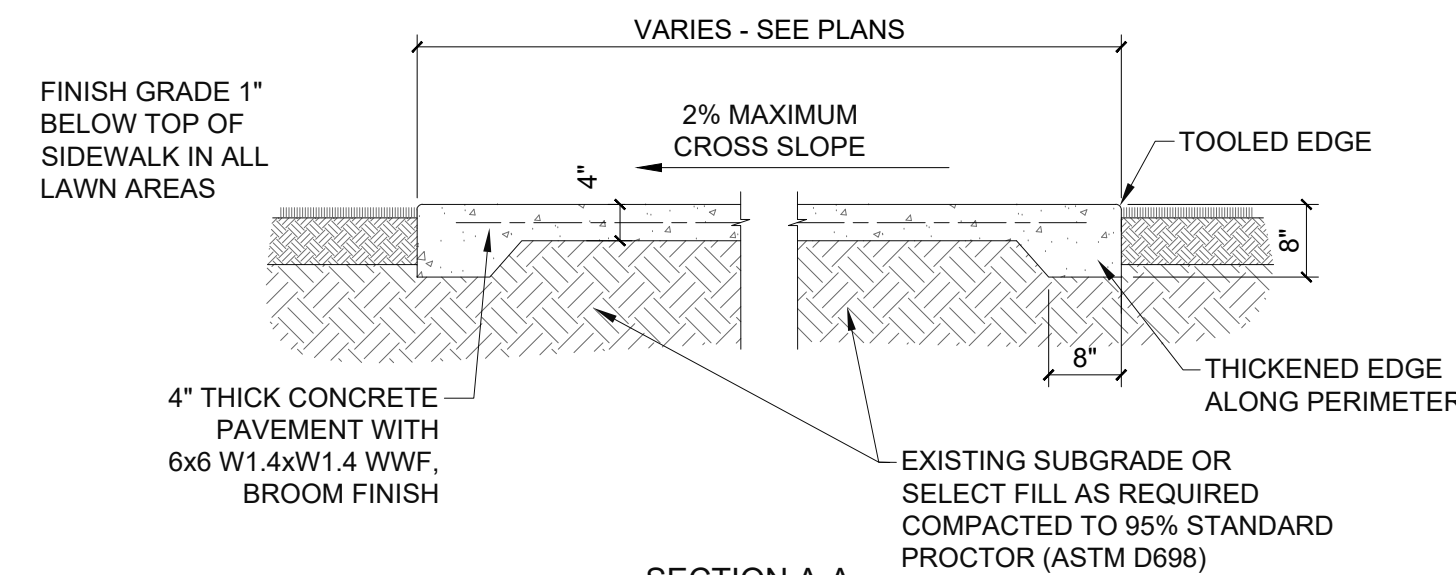
CONTRACTION JOINT

7 TYPICAL CONCRETE JOINT DETAILS
SCALE: NTS

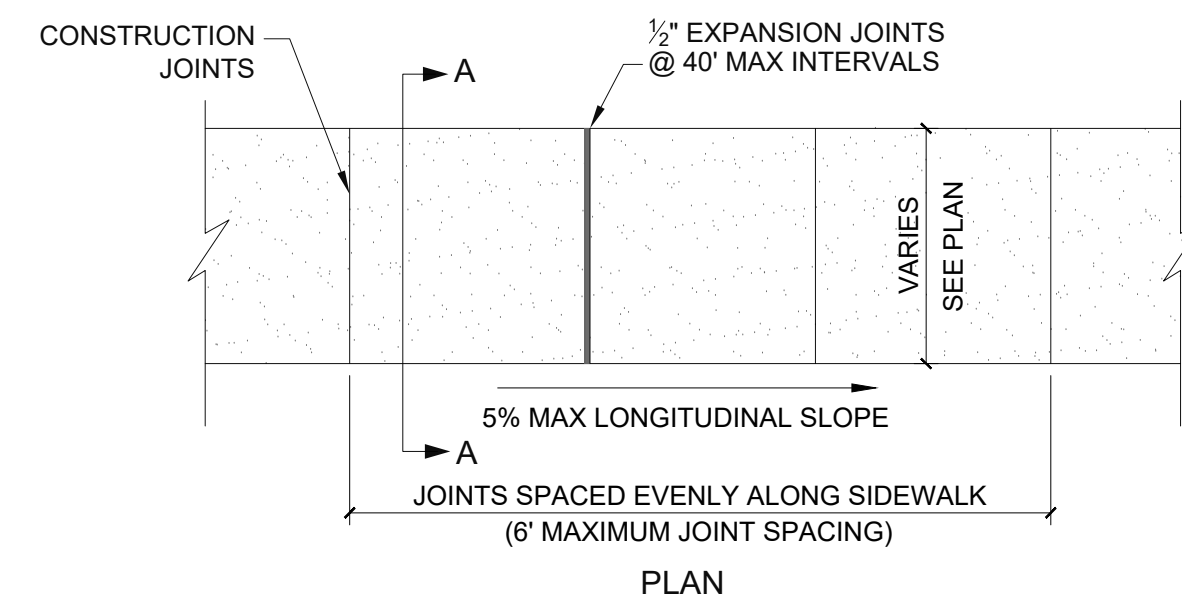


CURB SECTION

- CURB & GUTTER NOTES**
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST ADDITION OF ACI 330R.
 2. EXPANSION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' APART AND AT ALL RADIUS POINTS, PT'S, AND PC'S.
 3. EXPANSION JOINTS SHALL BE LOCATED WHERE CURB ABUTS CONCRETE DRIVEWAYS, SIDEWALKS OR OTHER ADJACENT STRUCTURES.
 4. CONTRACTION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.
 5. JOINTS SHALL BE PROVIDED WITHIN TWELVE (12) HOURS OF FINISHING CONCRETE.
 6. 1/2 INCH BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
 7. CONTRACTION JOINT SHALL BE TOOLED AND BE 1/4 OF THE PAVEMENT THICKNESS DEEP. THE WIDTH OF THE TOOL SHOULD BE APPROXIMATELY 1/8 INCH FOR UNSEALED JOINTS AND 1/4 INCH FOR SEALED JOINTS.
 8. FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" RADIUS.

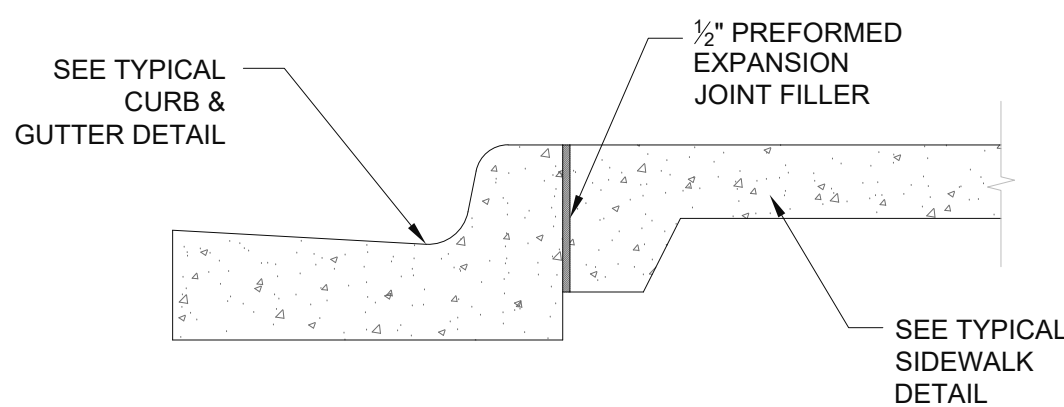


SECTION A-A

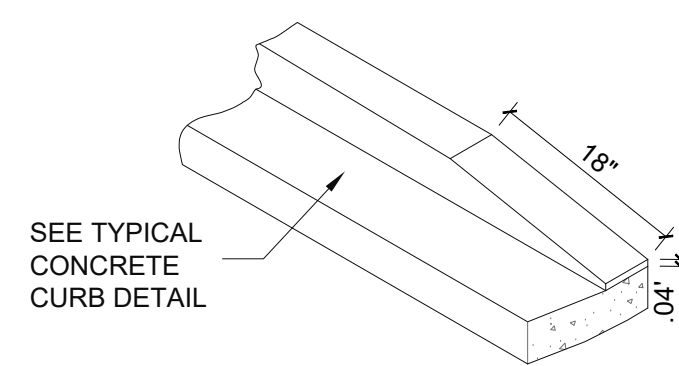


PLAN

6 TYPICAL 4" CONCRETE SIDEWALK DETAILS
SCALE: NTS



CURB AT SIDEWALK DETAIL

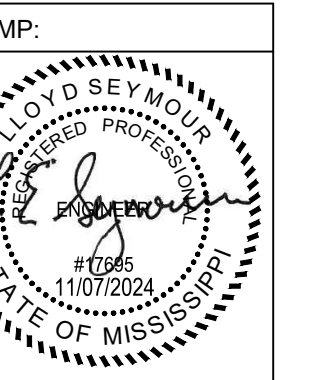


CURB TAPPER

5 TYPICAL CONCRETE CURB DETAIL
SCALE: NTS

SHEET REVISIONS:

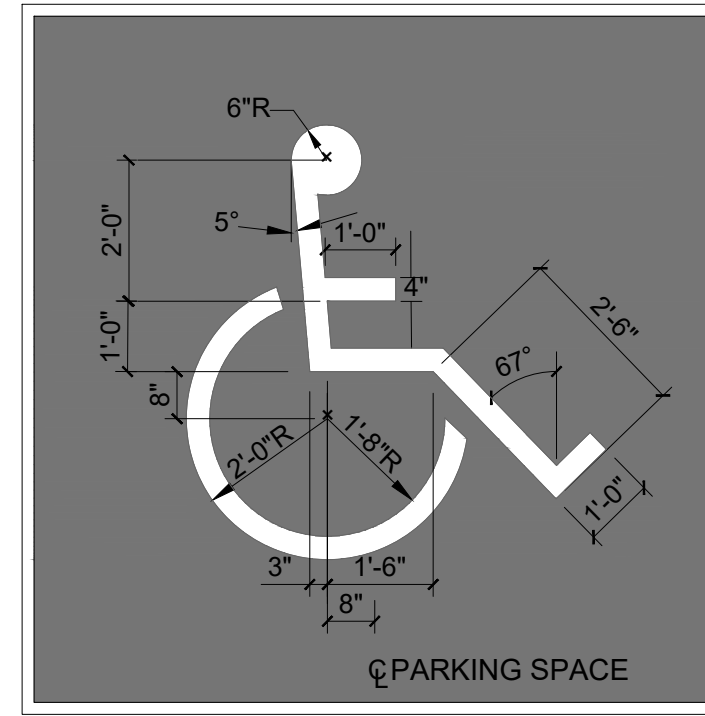
#	DATE/REFERENCE



SHEET TITLE:
SITE DETAILS

DATE: 11-7-2024
SHEET NUMBER: 6 OF 13

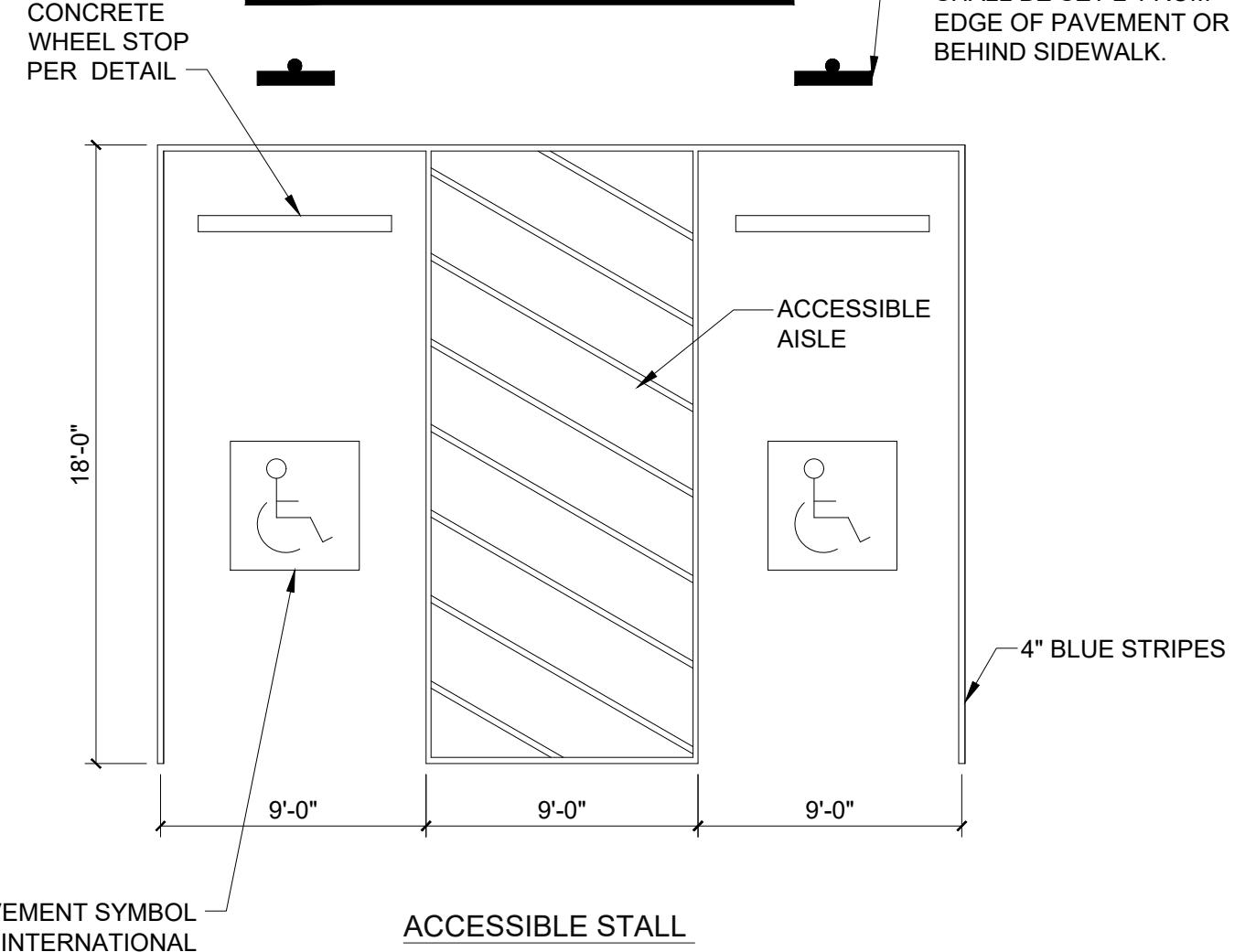
C250



ACCESSIBLE SYMBOL

- HANDICAP SYMBOL DETAIL NOTES**
- PAVEMENT SYMBOL SHALL BE PAINTED WHITE ON A BLUE BACKGROUND.
 - BLUE COLOR SHALL MATCH NO. 15090 IN THE FEDERAL STANDARD 595B AS SPECIFIED IN SECTION 522(B)2.

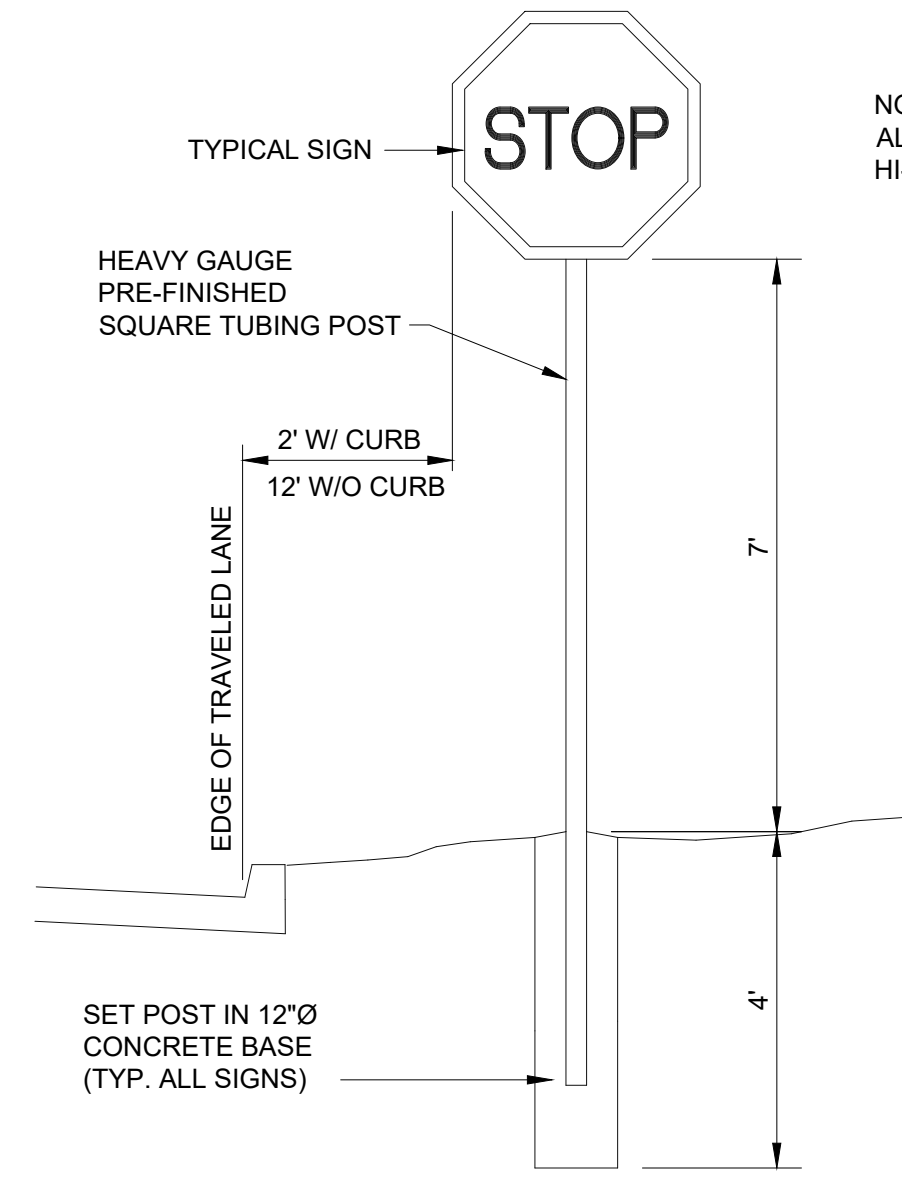
- ACCESSIBLE STALL NOTES**
- ALL STRIPING CONTIGUOUS TO HANDICAPPED PARKING SPACES SHALL BE BLUE.
 - ALL ACCESSIBLE STALL MARKINGS SHALL BE THERMOPLASTIC.
 - ACCESSIBLE PARKING GRADES SHALL NOT EXCEED 1:50 IN ANY DIRECTION.



TYPICAL PAVEMENT SYMBOL PER INTERNATIONAL HANDICAP SYMBOL DETAIL

ACCESSIBLE STALL

HANDICAP PARKING SIGNS SHALL BE SET 2' FROM EDGE OF PAVEMENT OR BEHIND SIDEWALK.



TYPICAL SIGN

NOTE: ALL SIGNS SHALL BE HI-INTENSITY SHEETING.

SET POST IN 12"Ø CONCRETE BASE (TYP. ALL SIGNS)

12" X 18" ALUMINUM HANDICAPPED PARKING SIGN. SIGN TO READ "RESERVED PARKING" WITH IDENTIFICATION SYMBOL, BOLT TO STEEL CHANNEL WITH 3/8" CADMIUM PLATED BOLTS, NUTS & WASHERS.

VAN ACCESS SIGN PER CODE (AS APPLICABLE)

- HANDICAP SIGN NOTE**
- HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

FINISHED GRADE OR TOP OF SIDEWALK

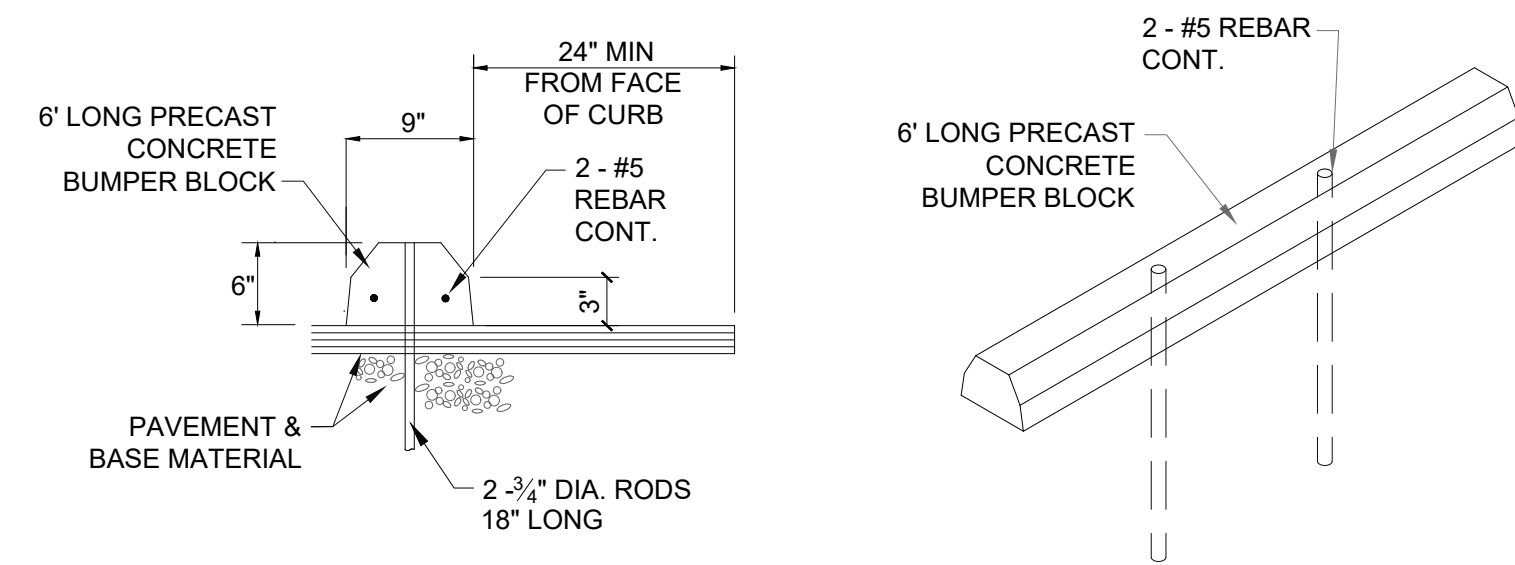
HANDICAP SIGN TO BE MOUNTED IN CONCRETE SIDEWALK, PLACE SIGN CLOSEST TO CENTER OF THE HANDICAP PARKING SPACE

VAN ACCESSIBLE SIGN

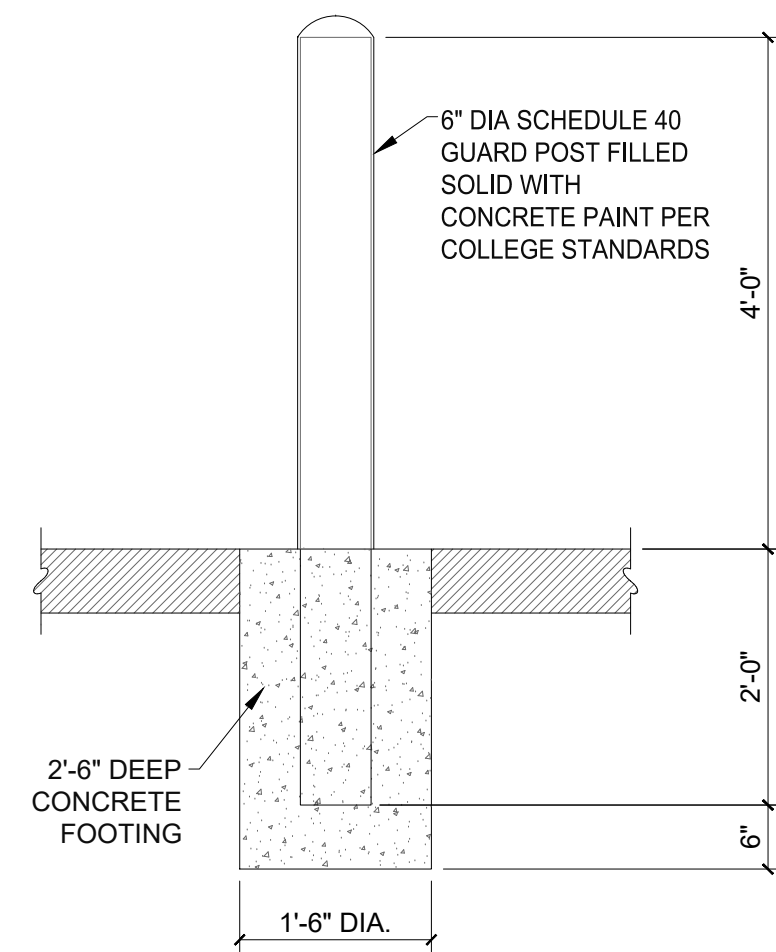
1 TYPICAL ACCESSIBLE STALL DETAIL
C251 SCALE: NTS

2 TYPICAL SIGN INSTALLATION DETAIL
C251 SCALE: NTS

3 TYPICAL ACCESSIBLE SIGN DETAIL
C251 SCALE: NTS



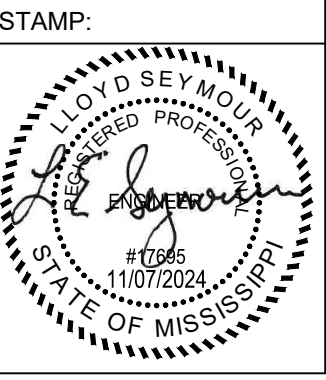
4 TYPICAL CONCRETE WHEEL STOP DETAIL
C251 SCALE: NTS



5 TYPICAL 6" BOLLARD DETAIL
C251 SCALE: NTS

SHEET REVISIONS:

#	DATE/REFERENCE

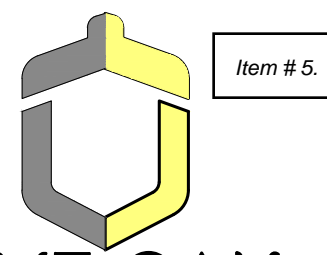


SHEET TITLE:

SITE DETAILS

DATE: 11-7-2024
SHEET NUMBER: 7 OF 13

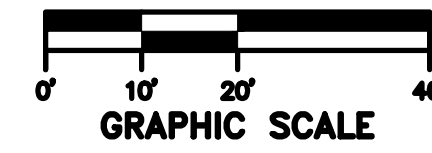
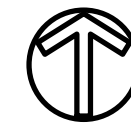
C251



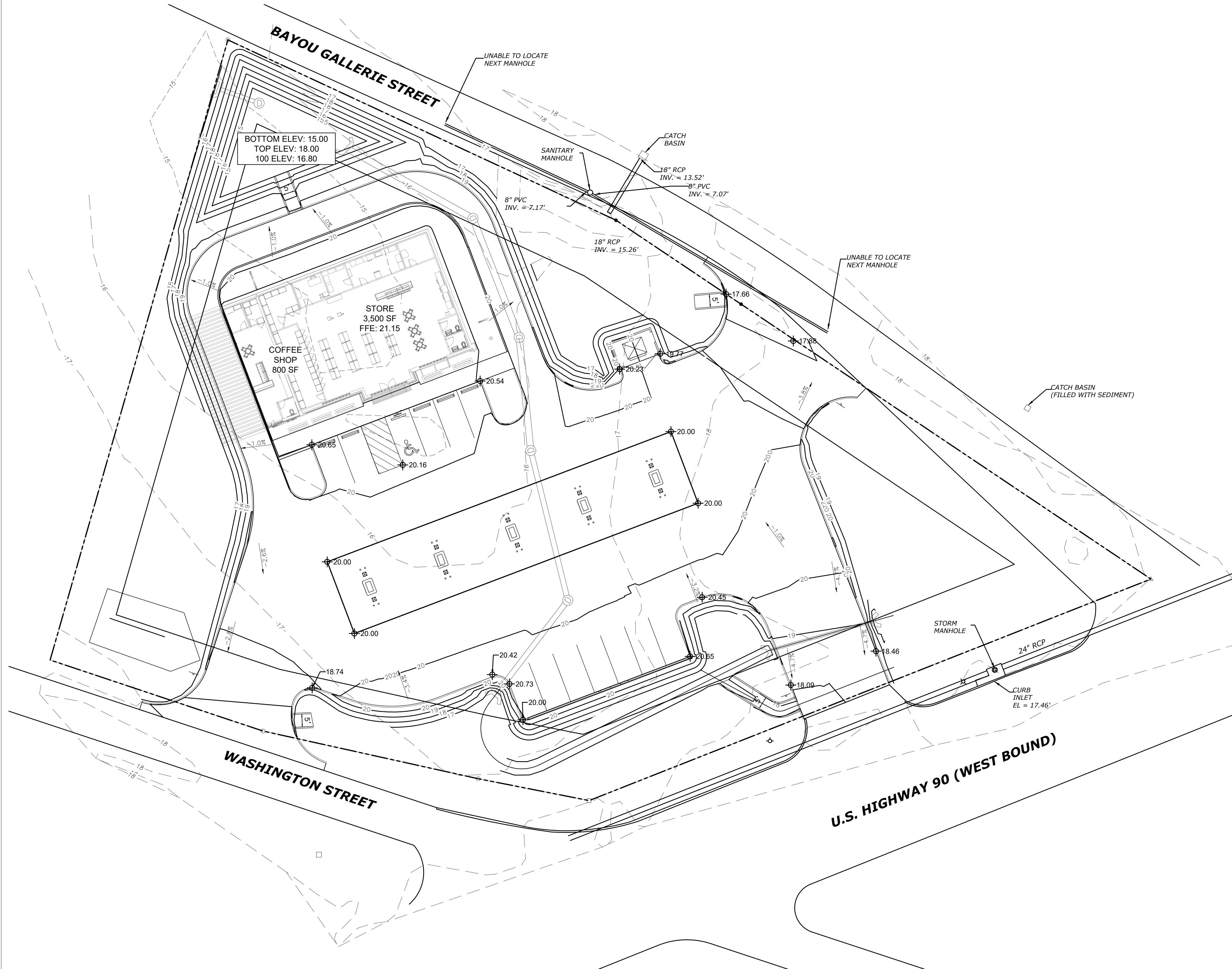
LIVE OAK ENGINEERING

2509 7TH AVE S.
BIRMINGHAM, AL 35233
955B HOWARD AVENUE
BILOXI, MS 39530
LIVEOAKENGINEERING.COM
LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
1083 HIGHWAY 90, BAY SAINT LOUIS
HANCOCK COUNTY, MISSISSIPPI
CIVIL PERMIT SET



ELEV =

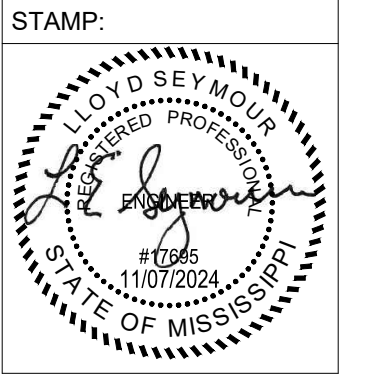


SITE GRADING AND DRAINAGE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING TIE-IN POINTS, STRUCTURES, PIPES, ETC., PRIOR TO CONSTRUCTION.
- NO SIDEWALK CROSS SLOPE SHALL EXCEED 2%. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
- NO ACCESSIBLE PARKING STALLS OR ADJACENT ACCESS AISLES SHALL EXCEED 2% SLOPE IN ANY DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
- NO SIDEWALK CROSS SLOPE SHALL EXCEED 2% AND NO SIDEWALK LONGITUDINAL SLOPE SHALL EXCEED 5%. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
- FINISH SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. IF SPECIFIC GRADES AND SLOPES ARE NOT SHOWN FOR WORK IN ANY AREA, THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS ACHIEVED AWAY FROM BUILDINGS AND STRUCTURES AND TIE INTO EXISTING CONDITIONS.
- DRAIN BASIN AND INLINE DRAIN TOP ELEVATIONS SHALL BE ADJUSTED AS REQUIRED TO ENSURE THAT POSITIVE DRAINAGE IS MAINTAINED TOWARD THE DRAIN STRUCTURES.
- ALL ROOF AND CANOPY DRAINAGE SHALL BE CONNECTED TO THE SUBSURFACE DRAINAGE SYSTEM. CONTRACTOR SHALL CONSULT AND VERIFY ROOF AND CANOPY DRAINAGE SIZE AND LOCATION WITH ARCHITECTURAL/PLUMBING DRAWINGS.

SHEET REVISIONS:

#	DATE/REFERENCE



SHEET TITLE:

SITE GRADING PLAN

DATE: 11-7-2024
SHEET NUMBER: 8 OF 13

C300

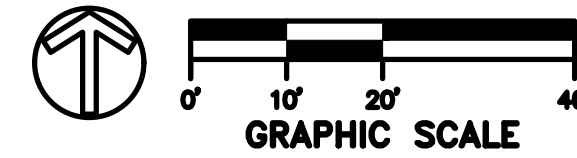
1 GRADING PLAN
C300 SCALE: 1" = 20'



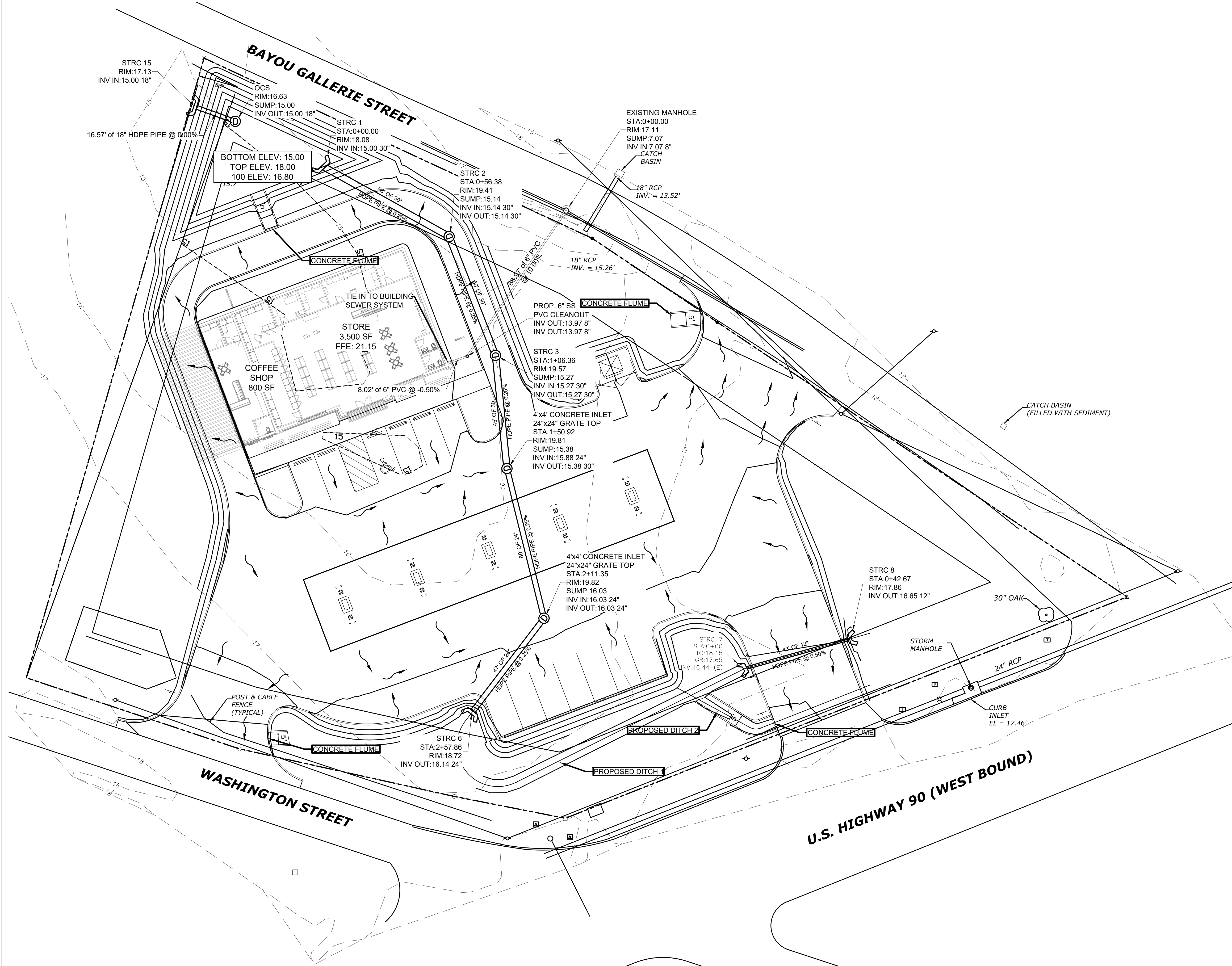
LIVE OAK ENGINEERING

2509 7TH AVE S.
BIRMINGHAM, AL 35233
955B HOWARD AVENUE
BILOXI, MS 39530
LIVEOAKENGINEERING.COM
LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
1083 HIGHWAY 90, BAY SAINT LOUIS
HANCOCK COUNTY, MISSISSIPPI
CIVIL PERMIT SET



ELEV =



DRAINAGE FLOW SUMMARY		
DRAINAGE AREA	Pre Peak Run-Off	Post Peak Run-Off
Total Area (Pre)	6.350	
South Area (Post)*		1.680
North Area (Post)		4.560
TOTAL	6.350	6.240

* ROUTED THROUGH POND

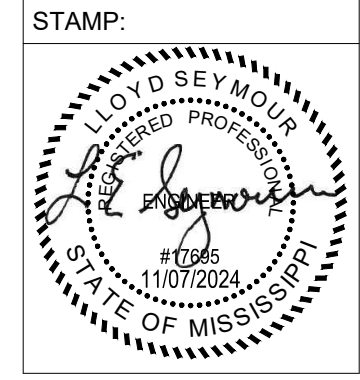
- ### STORM WATER MANAGEMENT NOTES
- DRAINAGE SYSTEM SHOWN WILL BE PRIVATELY OWNED AND MAINTAINED.
 - IN THE EVENT OF CONFLICT BETWEEN CITY OF OXFORD STORM WATER REQUIREMENTS AND THE PLANS, THE CITY OF OXFORD LATEST STORM WATER MANAGEMENT ORDINANCE SHALL GOVERN.
 - TRASH RACKS ARE REQUIRED TO PROTECT DISCHARGE STRUCTURE ORIFICES AND CONTAIN GARBAGE FROM EXISTING THE PROPERTY.
 - ALL FLUMES AND OUTLET STRUCTURES ARE REQUIRED TO BE PROTECTED BY RIP-RAP.

LEGEND

	DENOTES EXISTING GRADE CONTOUR
	DENOTES PROPOSED GRADE CONTOUR
	DENOTES PROPOSED SPOT ELEVATION
	DENOTES WATERSHED FLOW DIRECTION
DS	- DRAIN STRUCTURE
RCP	- REINFORCED CONCRETE PIPE
RCAP	- REINFORCED CONCRETE ARCH PIPE
HP	- HIGH PERFORMANCE POLYPROPYLENE STORM PIPE

SHEET REVISIONS:

#	DATE/REFERENCE



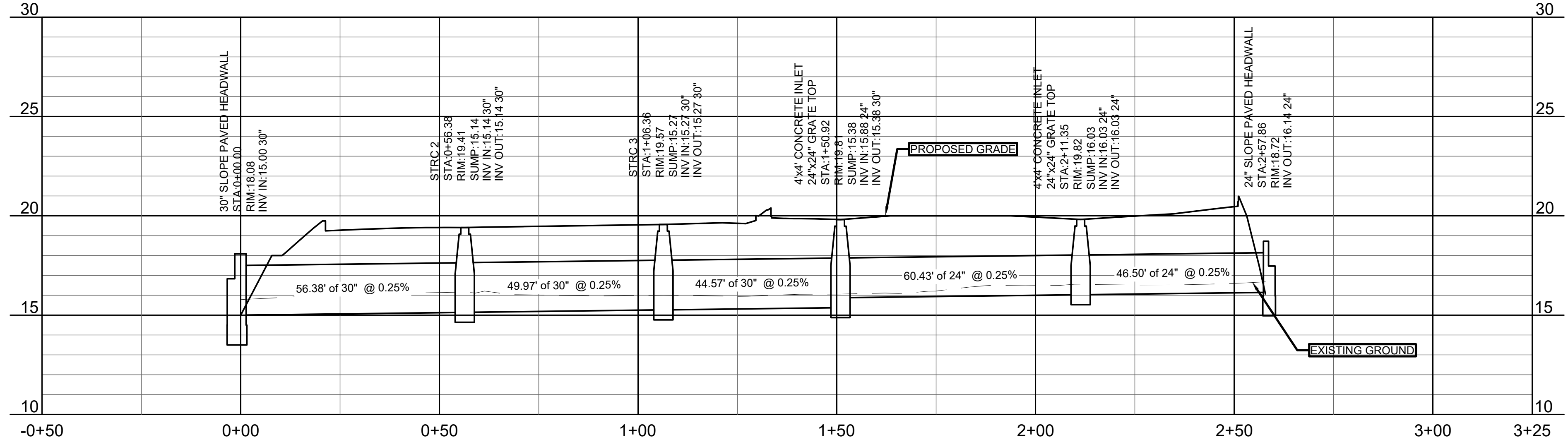
SHEET TITLE:
DRAINAGE PLAN

DATE: 11-7-2024
SHEET NUMBER: 9 OF 13

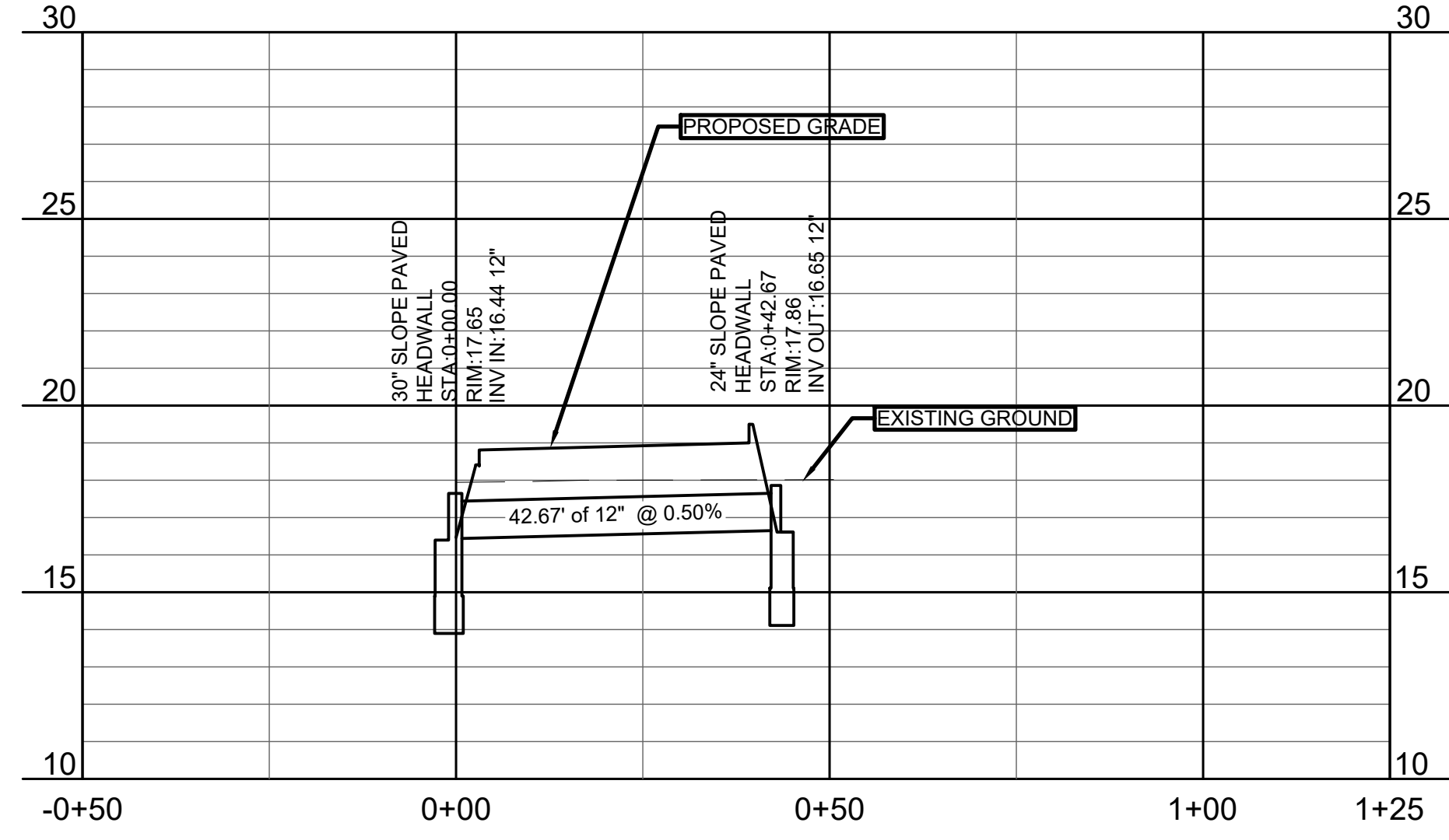
C310

1 DRAINAGE PLAN
SCALE: 1" = 20'

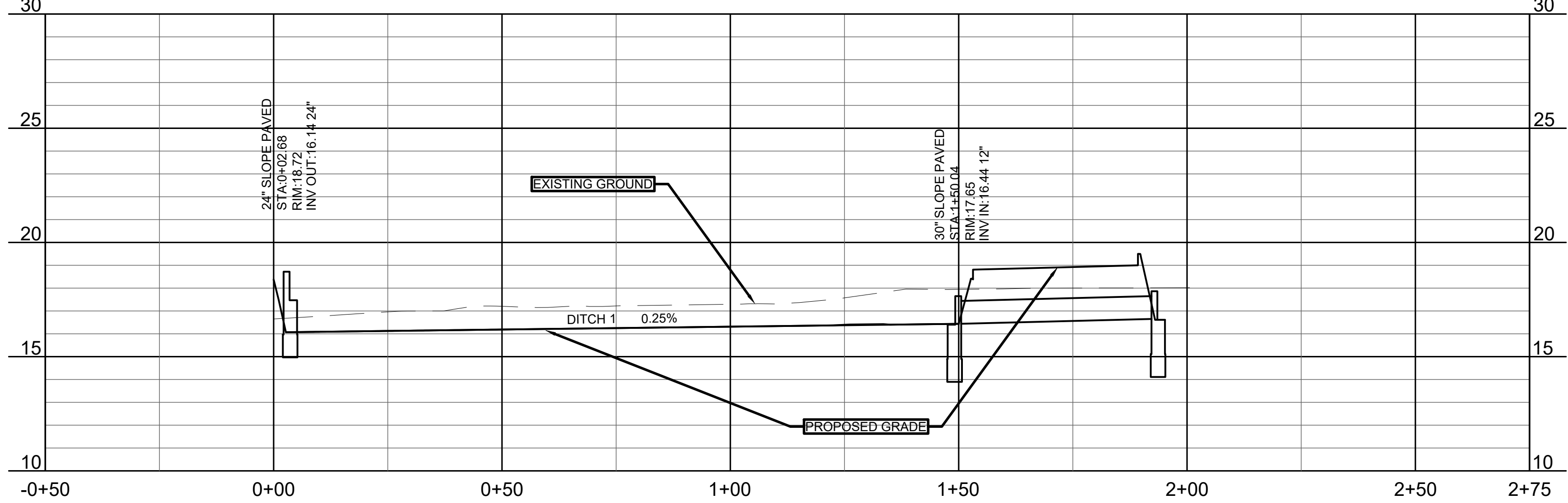
STORM LINE 1 PROFILE



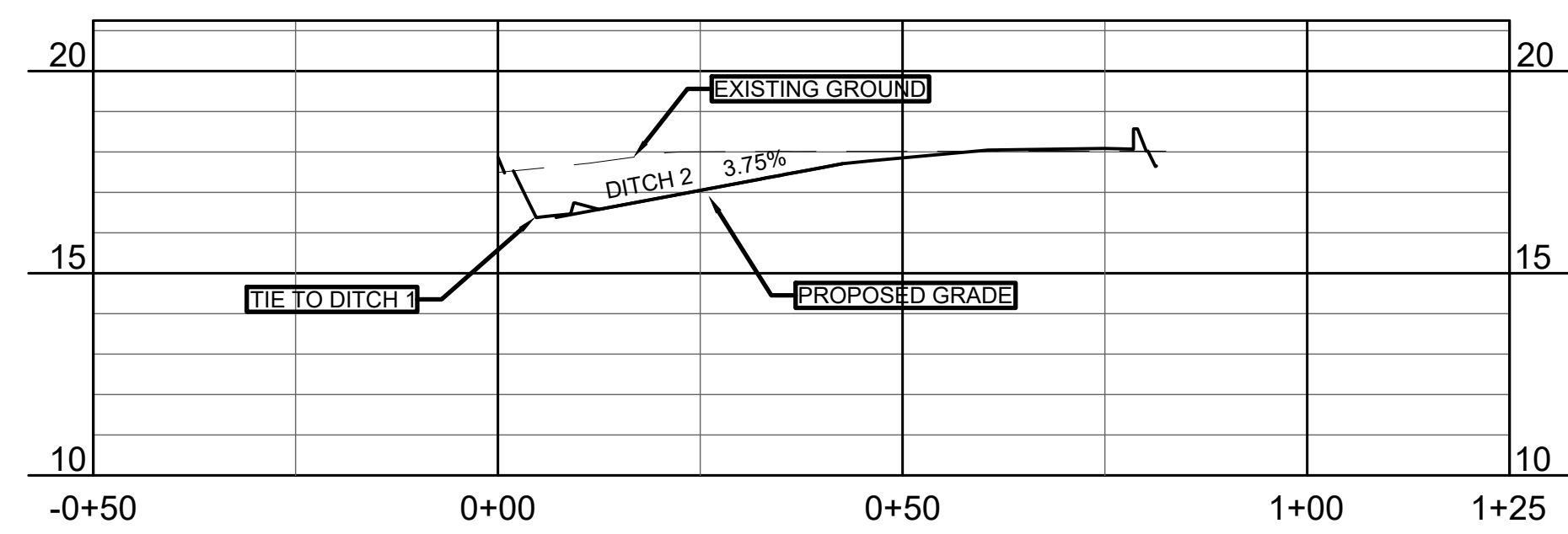
STORM LINE 2 PROFILE



DITCH 1 PROFILE



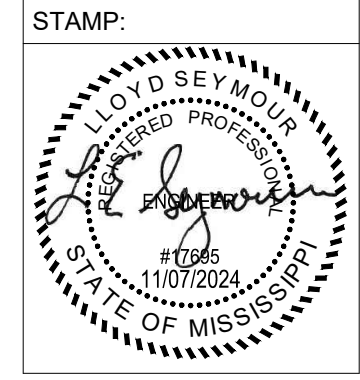
DITCH 2 PROFILE



BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET

SHEET REVISIONS:

#	DATE/REFERENCE



SHEET TITLE:

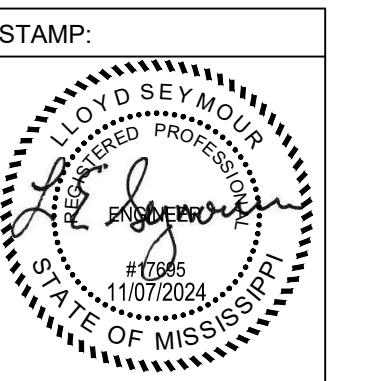
DRAINAGE PROFILES

DATE: 11-7-2024
 SHEET NUMBER: 10 OF 13

C320

SHEET REVISIONS:

#	DATE/REFERENCE

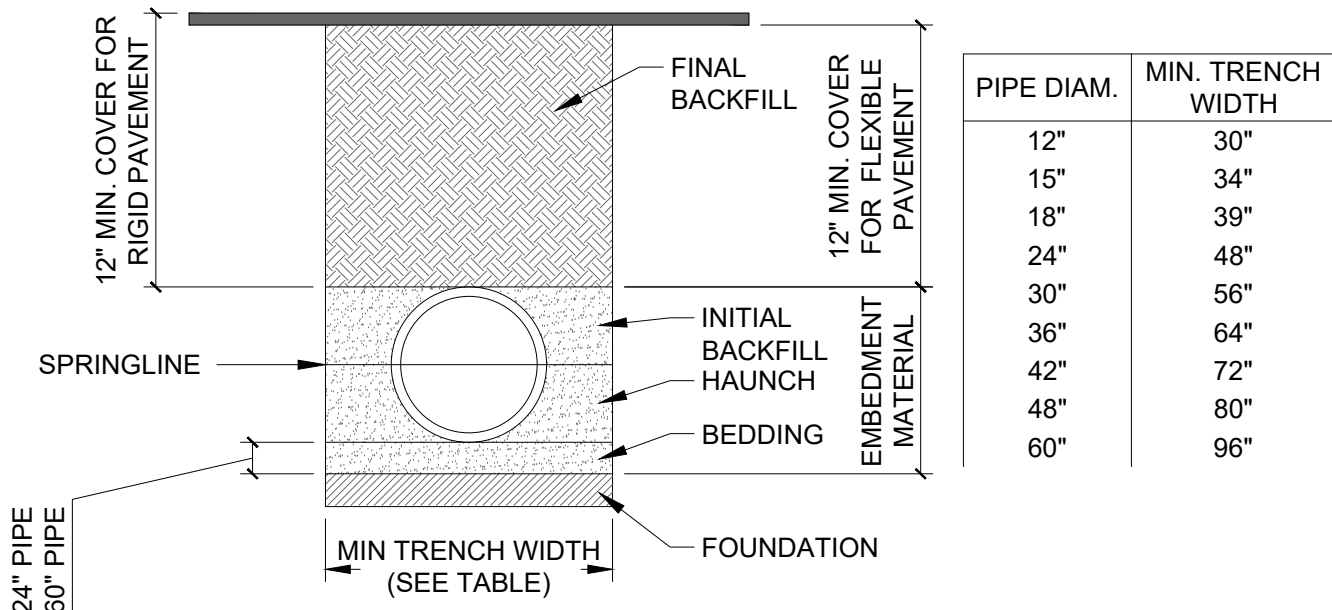


SHEET TITLE:

DRAINAGE DETAILS

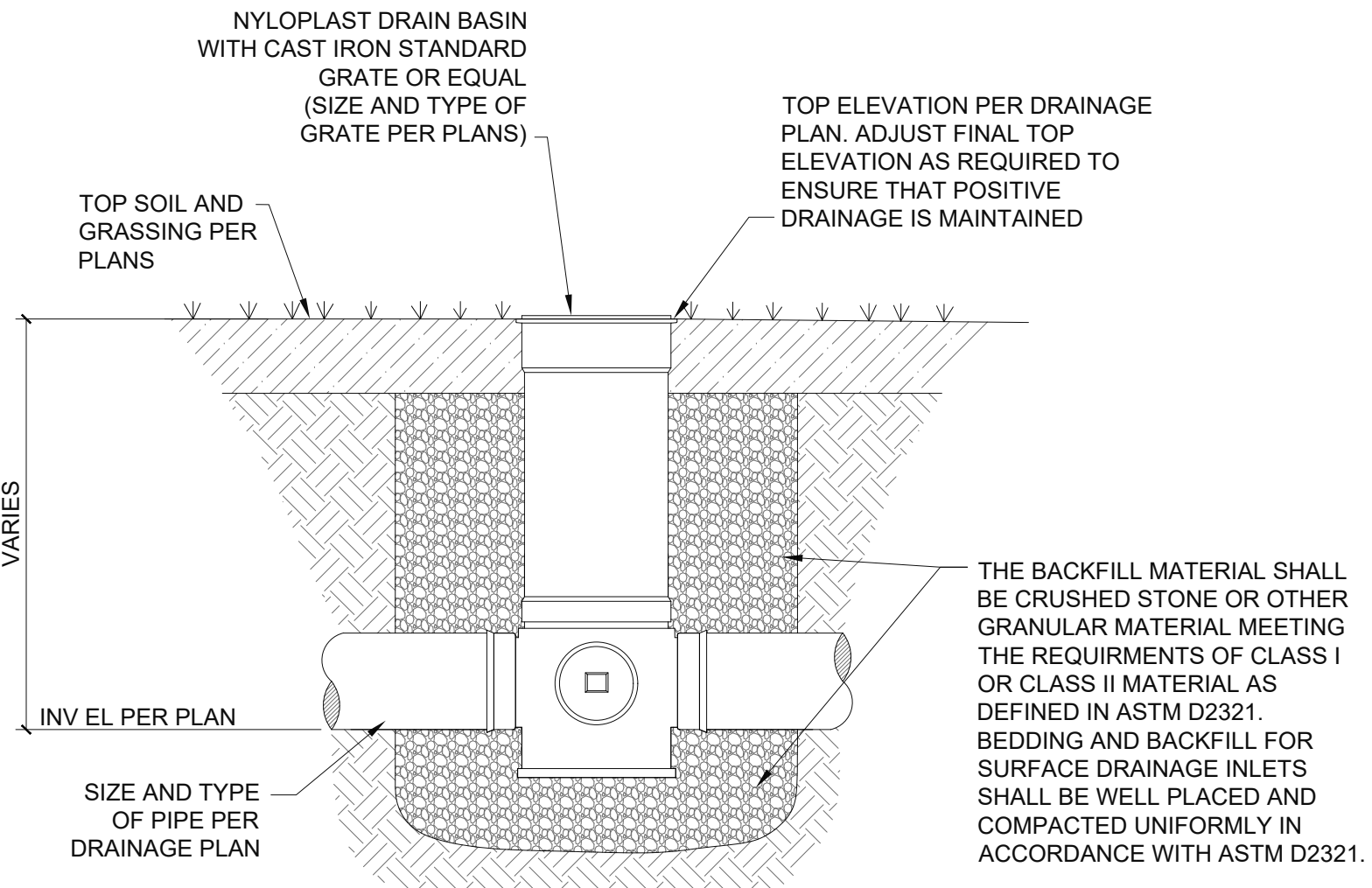
DATE: 11-7-2024
SHEET NUMBER: 11 OF 13

C350

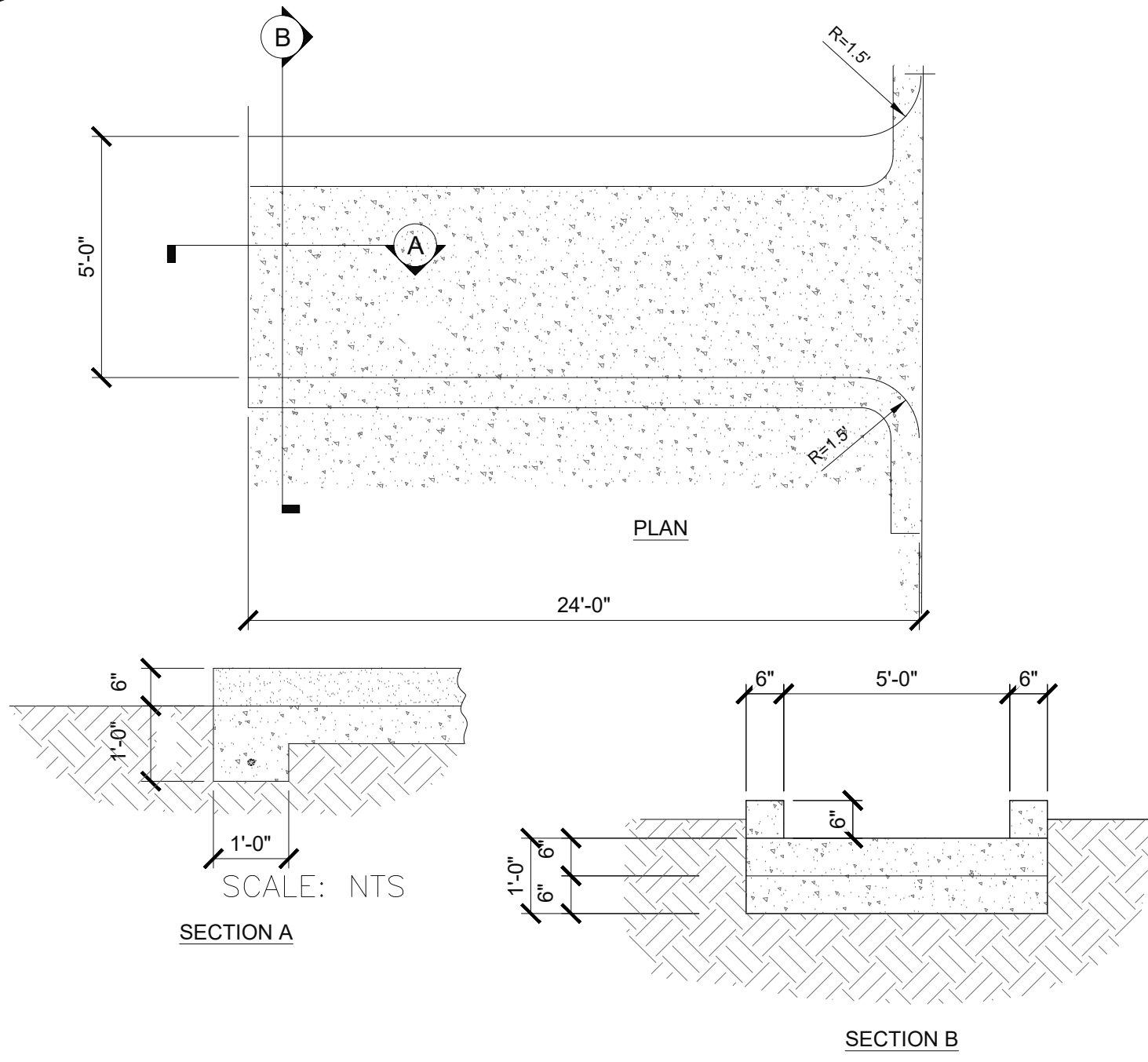


- HP STORM PIPE INSTALLATION NOTES**
- ALL HP STORM PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH LATEST VERSION OF ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS".
 - SUITABLE EMBEDMENT MATERIALS, EITHER ON-SITE OR IMPORTED, SHALL MEET THE REQUIREMENTS FOR CLASS I, II, OR III PER THE LATEST VERSION OF ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE ENGINEER FOR EMBEDMENT MATERIAL TO BE USED FOR PIPE INSTALLATION. SEE THE EMBEDMENT MATERIAL TABLE FOR COMPACTION AND LIFT PLACEMENT REQUIREMENTS.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER.
 - BEDDING: BEDDING IS REQUIRED TO ESTABLISH LINE AND GRADE AND TO PROVIDE FIRM PIPE SUPPORT. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR UP TO 24" DIAMETER PIPE AND 6" FOR 30"-60" DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED, WHILE THE REMAINDER SHALL BE THOROUGHLY COMPACTED.
 - HAUNCHING: THE HAUNCHING MATERIAL SHALL BE INSTALLED UNIFORMLY IN LIFTS ON EACH SIDE OF THE PIPE AND SHOVELED UNDER THE PIPE ENSURING TO FILL VOIDS. THE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE SPRING LINE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH ENSURING THAT THE PIPE ALIGNMENT IS NOT DISTURBED.
 - INITIAL BACKFILL: THE INITIAL BACKFILL SHALL PROCEED TO THE TOP OF THE PIPE. THE MATERIAL SHALL BE THOROUGHLY COMPACTED INSTALLED IN UNIFORMED LIFTS ON EACH SIDE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH.
 - FINAL BACKFILL (NON-TRAFFIC): SUITABLE MATERIAL IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) SHALL BE GENERAL FILL MATERIAL. BACKFILL SHALL PROCEED TO FINISHED GRADE IN 12 INCH LIFTS COMPACTED TO ELIMINATE AIR VOIDS.
 - FINAL BACKFILL (TRAFFIC): SUITABLE MATERIAL IN TRAFFIC APPLICATIONS SHALL BE SELECT FILL COMPACTED IN 8 INCH LOOSE LIFTS TO NOT LESS THAN 95 PERCENT STANDARD PROCTOR.
 - MINIMUM COVER (NON-TRAFFIC): FOR NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS), MINIMUM COVER IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE.
 - MINIMUM COVER (TRAFFIC): FOR TRAFFIC APPLICATIONS THE MINIMUM COVER IS 12" FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 - CONTRACTOR SHALL MAINTAIN TRENCH BACKFILL AT GROUND SURFACE UNTIL FINAL ACCEPTANCE OF THE WORK. ALL SURPLUS MATERIALS NOT USED IN BACKFILLING SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AT HIS OWN EXPENSE.

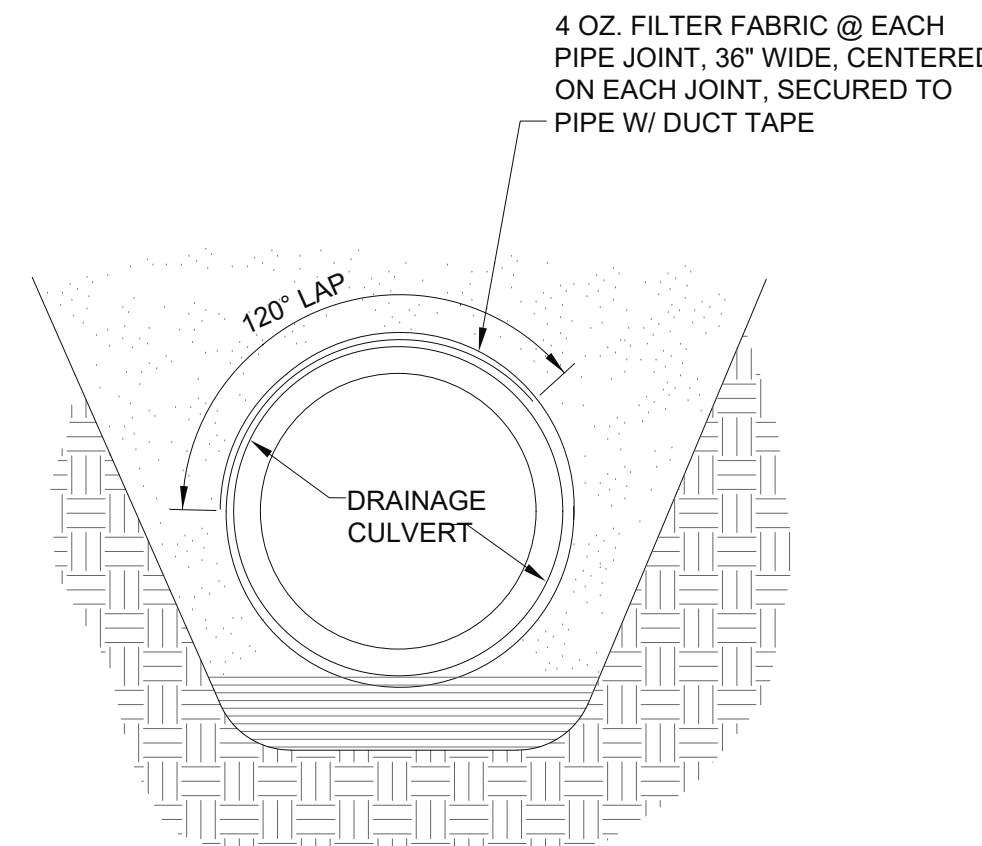
5 HP STORM PIPE TRENCH INSTALLATION DETAIL
SCALE: NTS



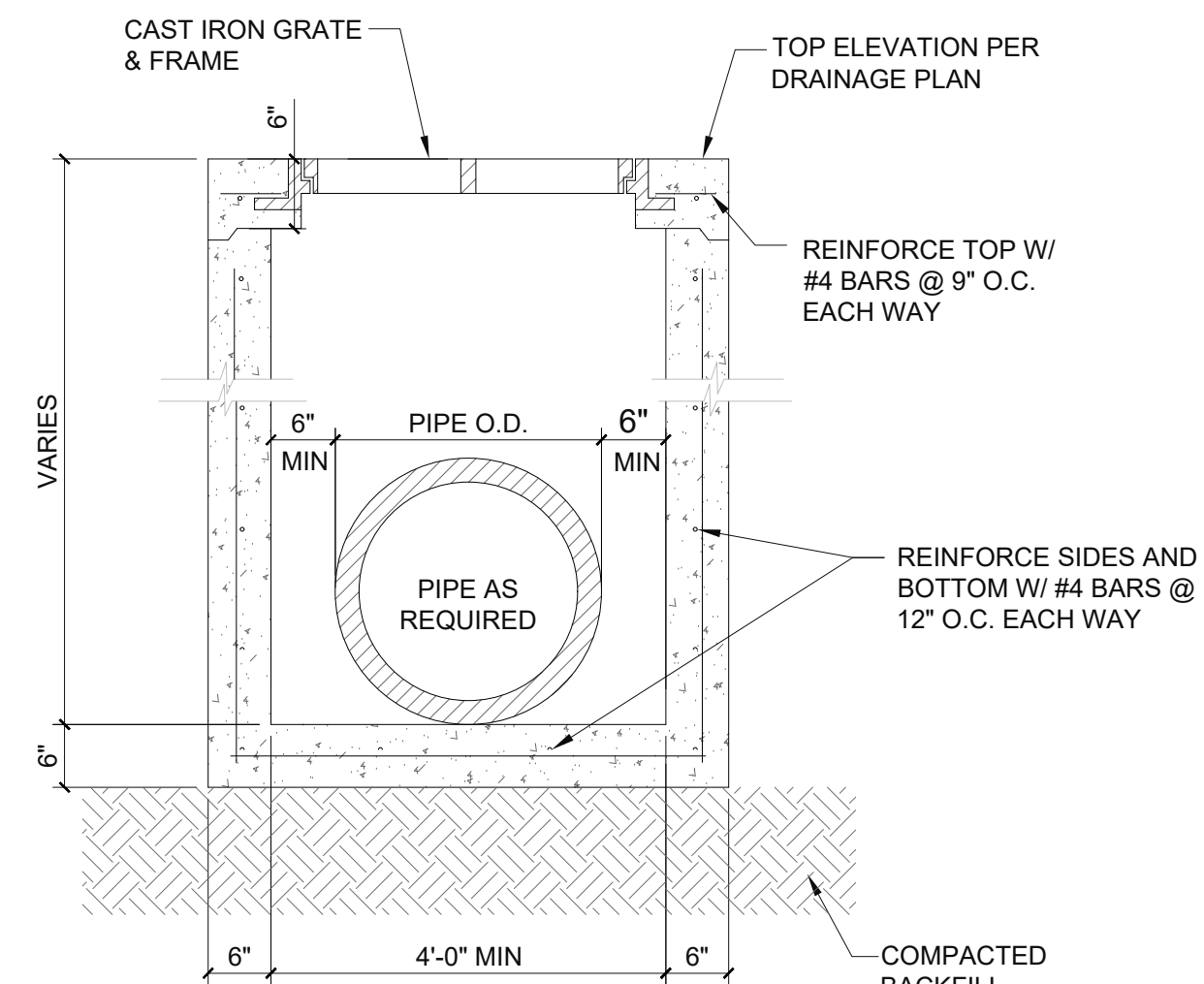
2 TYPICAL DRAIN BASIN DETAIL
SCALE: NTS



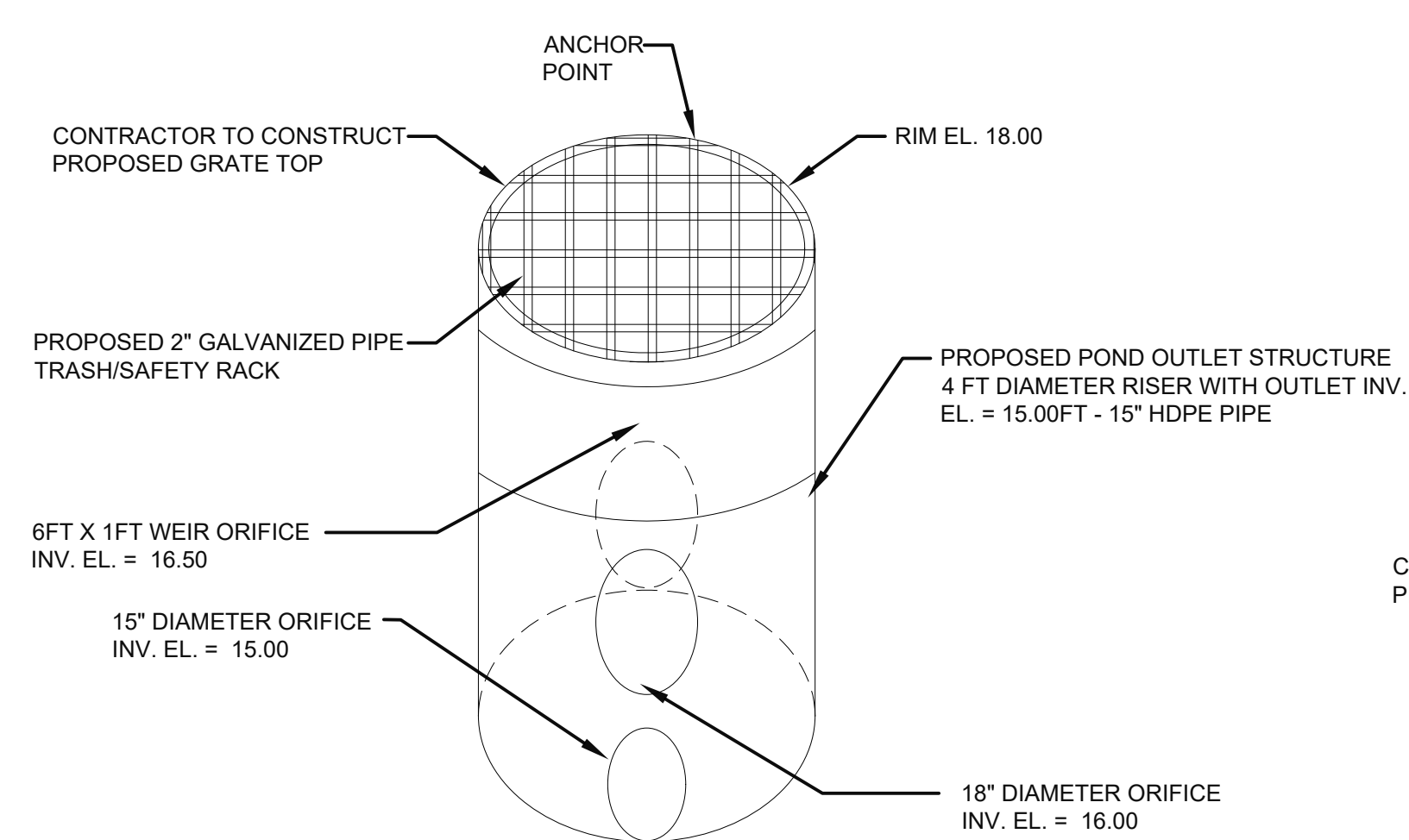
4 TYPICAL CONCRETE FLUME DETAIL
SCALE: NTS



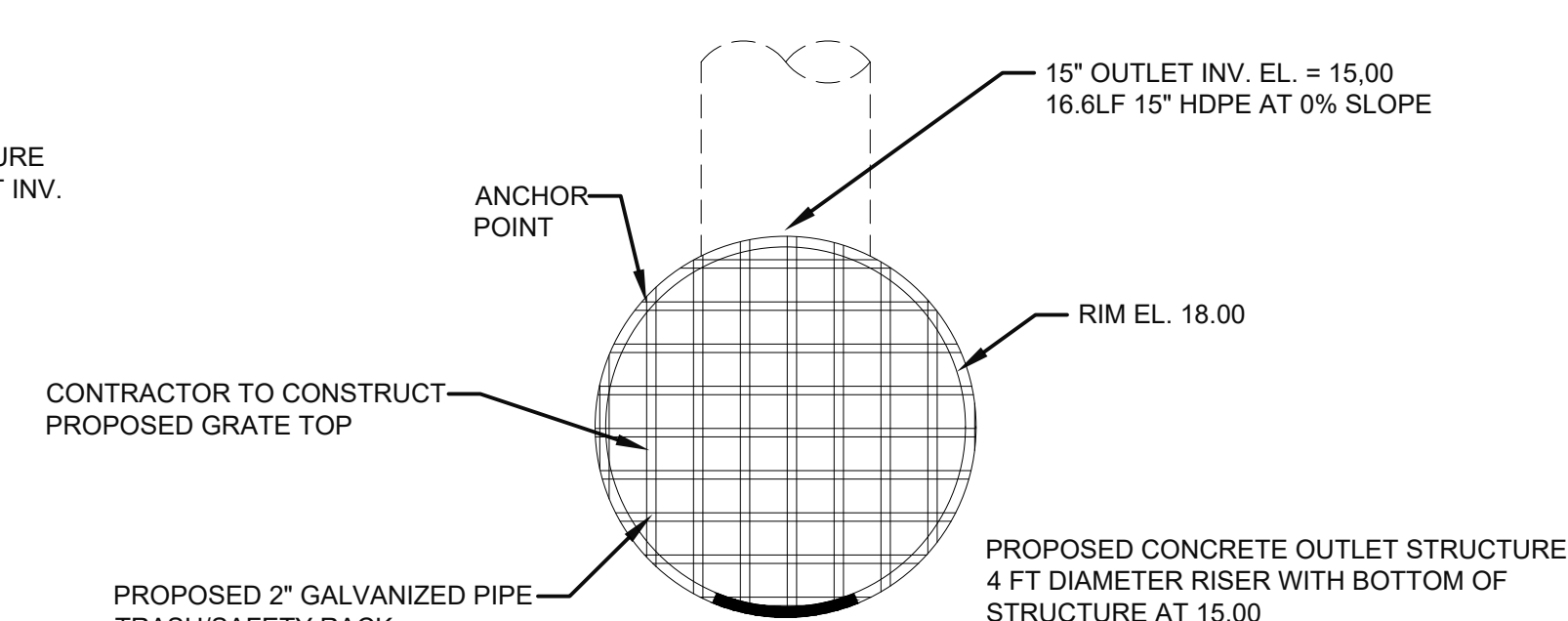
1 TYPICAL STORM DRAIN PIPE WRAP DETAIL
SCALE: NTS



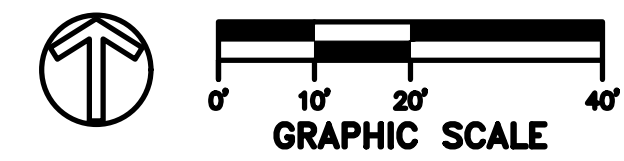
3 TYPICAL DRAIN INLET DETAIL
SCALE: NTS



6 BASIN OUTLET DETAIL - ISOMETRIC VIEW
SCALE: NTS



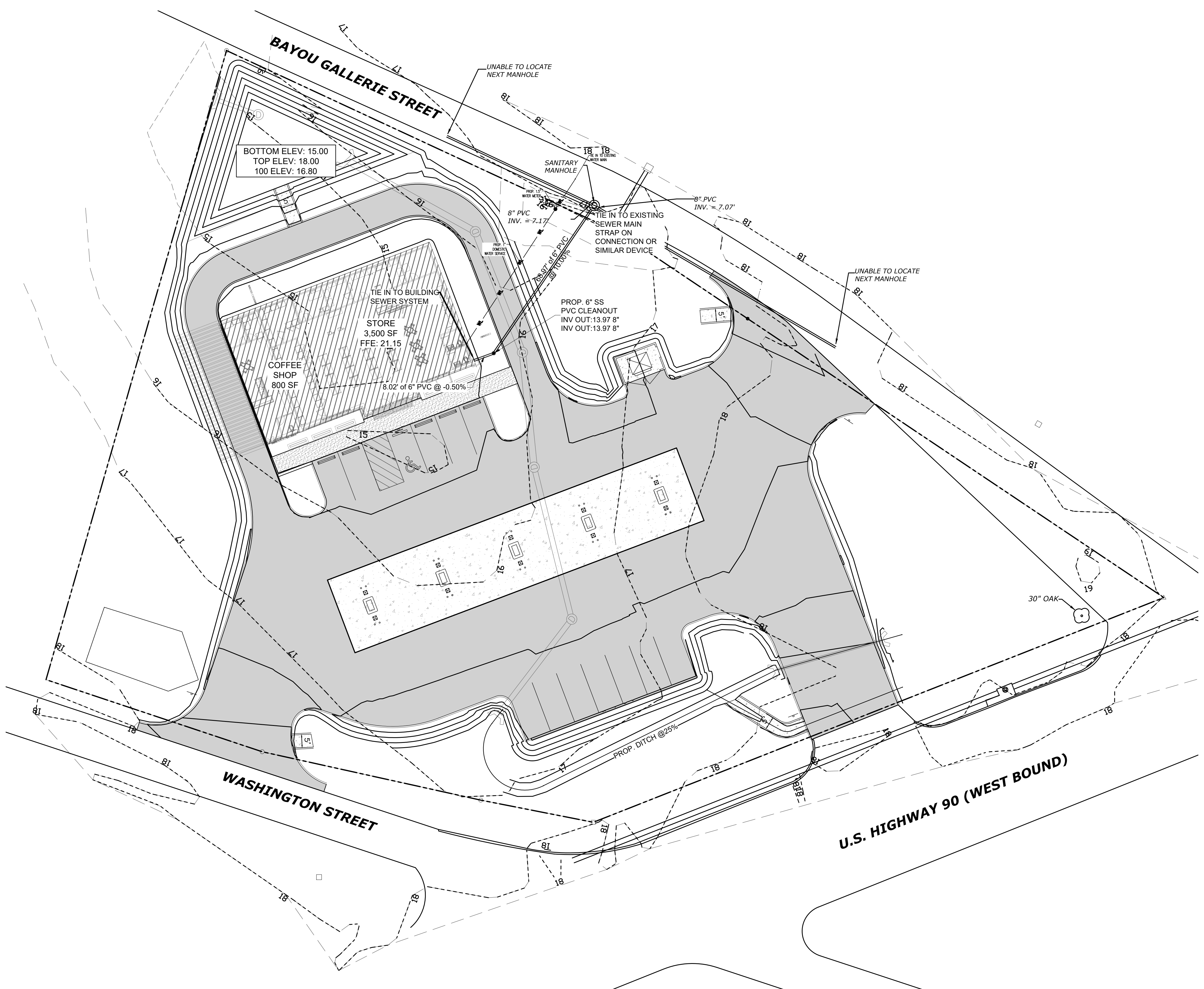
4 TYPICAL CONCRETE FLUME DETAIL
SCALE: NTS



ELEV =

LIVE OAK ENGINEERING
 2509 7TH AVE S.
 BIRMINGHAM, AL 35233
 955B HOWARD AVENUE
 BILOXI, MS 39530
 LIVEOAKENGINEERING.COM
 LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET



UNDERGROUND UTILITY NOTES

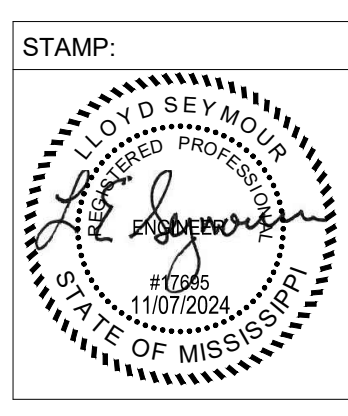
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

SITE UTILITY NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR CONNECTION TO EXISTING WATER MAIN.
- CONTRACTOR IS RESPONSIBLE FOR PERFORMING GAS LINE TAP, PROVIDING GAS VALVE, AND PROVIDING GAS SERVICE TO THE BUILDING.
- CONTRACTOR SHALL FURNISH AND INSTALL 750 LINEAR FEET OF 4" SDR-21 CL200 PVC AND ASSOCIATED CAPS FOR USE AS IRRIGATION SLEEVES. LOCATIONS OF IRRIGATION SLEEVES SHALL BE COORDINATED WITH THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER TRADES FOR TIE IN LOCATION AND SIZE REQUIREMENTS FOR UTILITY TIE IN POINTS.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION HAVING POTENTIAL IMPACT TO THE UTILITY'S STRUCTURE.
- CONTRACTOR SHALL INSTALL FITTINGS, THRUST BLOCKS, AND OTHER REQUIRED COMPONENTS TO ESTABLISH THE PROPER ALIGNMENT OF UTILITY MAINS AND SERVICES AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL ALL WATER MAINS AND SERVICES AT AN ELEVATION WHICH WILL AVOID ALL CONFLICTS WITH SEWER, DRAINAGE, AND OTHER UNDERGROUND UTILITIES. WATER MAINS SHALL BE LAID WITH A MINIMUM OF 30" COVER UNLESS APPROVED BY THE ENGINEER TO AVOID A CONFLICT.
- ALL VALVES BOXES, CLEANOUTS, SEWER MANHOLE TOPS, AND OTHER UTILITY STRUCTURE TOPS SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH FINAL GRADES IN ALL AREAS.

SHEET REVISIONS:

#	DATE/REFERENCE



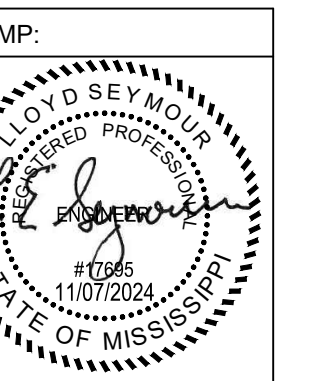
SHEET TITLE:
UTILITY PLAN

DATE: 11-7-2024
 SHEET NUMBER: 12 OF 13

C400

1
 C400 **UTILITY PLAN**
 SCALE: 1" = 20'

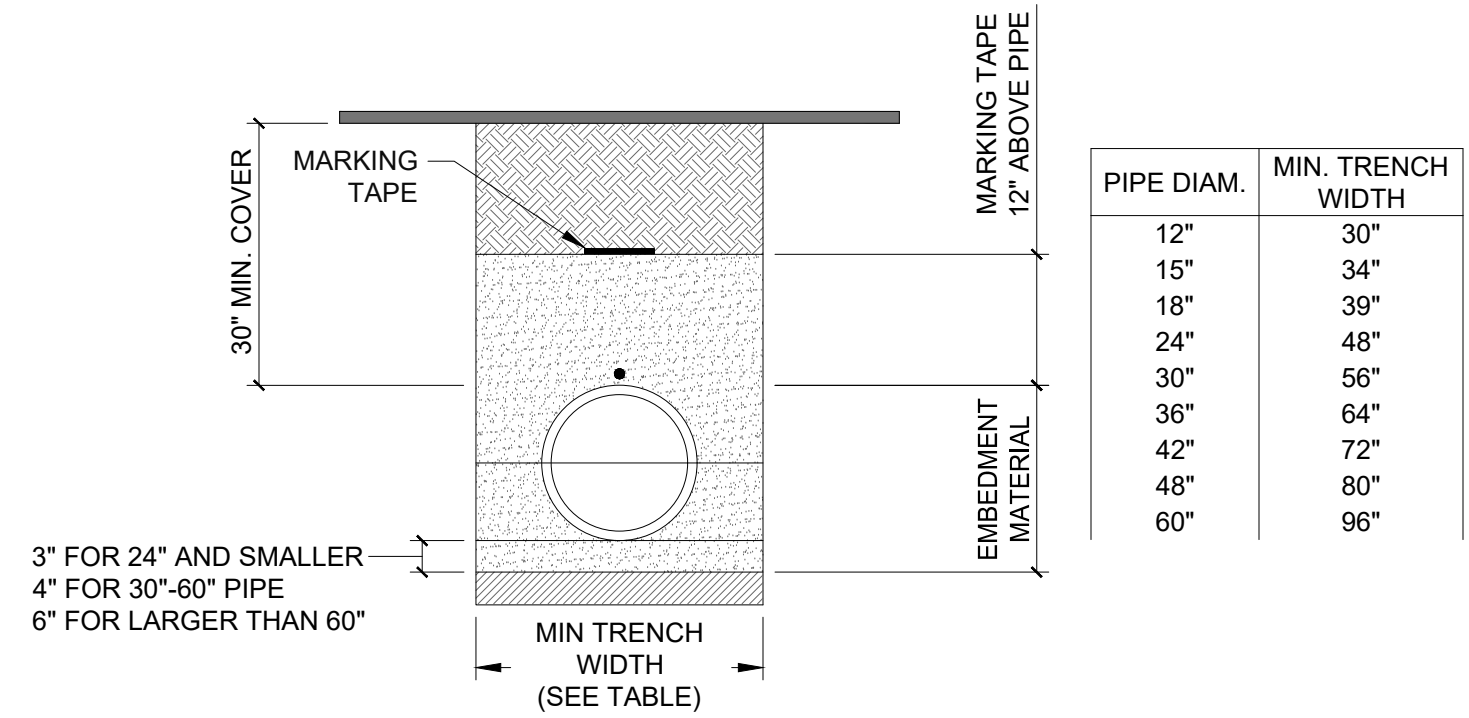
SHEET REVISIONS:	
#	DATE/REFERENCE



SHEET TITLE:
UTILITY DETAILS

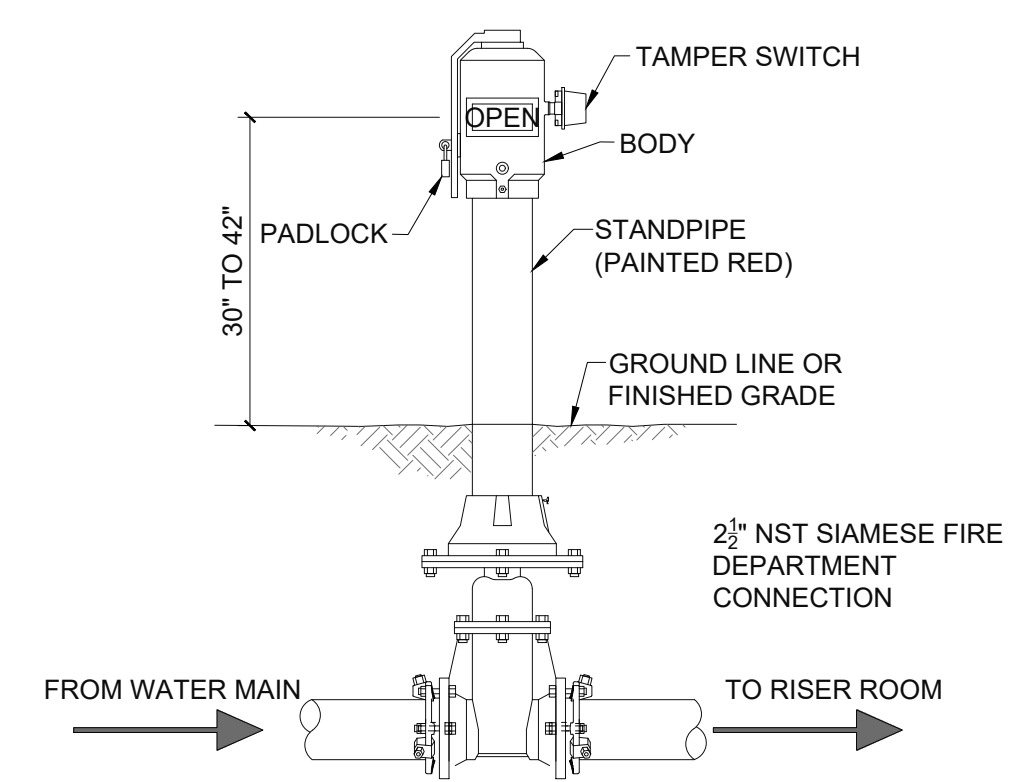
DATE: 11-7-2024
SHEET NUMBER: 13 OF 13

C450



- WATER AND SEWER PIPE INSTALLATION NOTES**
- SUITABLE EMBEDMENT MATERIALS, EITHER ON-SITE OR IMPORTED, SHALL MEET THE REQUIREMENTS FOR CLASS I, II, OR III PER THE LATEST VERSION OF ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE ENGINEER FOR EMBEDMENT MATERIAL TO BE USED FOR PIPE INSTALLATION. SEE THE EMBEDMENT MATERIAL TABLE FOR COMPACTION AND LIFT PLACEMENT REQUIREMENTS.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER.
 - BEDDING: BEDDING IS REQUIRED TO ESTABLISH LINE AND GRADE AND TO PROVIDE FIRM PIPE SUPPORT. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR UP TO 24" DIAMETER PIPE AND 6" FOR 30"-60" DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED, WHILE THE REMAINDER SHALL BE THOROUGHLY COMPACTED.
 - HAUNCHING: THE HAUNCHING MATERIAL SHALL BE INSTALLED UNIFORMLY IN LIFTS ON EACH SIDE OF THE PIPE AND SHOVELED UNDER THE PIPE ENSURING TO FILL VOIDS. THE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE SPRING LINE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH ENSURING THAT THE PIPE ALIGNMENT IS NOT DISTURBED.
 - INITIAL BACKFILL: THE INITIAL BACKFILL SHALL PROCEED TO THE TOP OF THE PIPE. THE MATERIAL SHALL BE THOROUGHLY COMPACTED INSTALLED IN UNIFORMED LIFTS ON EACH SIDE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH.
 - FINAL BACKFILL (NON-TRAFFIC): SUITABLE MATERIAL IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) SHALL BE GENERAL FILL MATERIAL. BACKFILL SHALL PROCEED TO FINISHED GRADE IN 12 INCH LIFTS COMPACTED TO ELIMINATE AIR VOIDS.
 - FINAL BACKFILL (TRAFFIC): SUITABLE MATERIAL IN TRAFFIC APPLICATIONS SHALL BE SELECT FILL COMPACTED IN 8 INCH LOOSE LIFTS TO NOT LESS THAN 95 PERCENT STANDARD PROCTOR.
 - MINIMUM COVER (NON-TRAFFIC): FOR NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS), MINIMUM COVER IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE.
 - MINIMUM COVER (TRAFFIC): FOR TRAFFIC APPLICATIONS THE MINIMUM COVER IS 12" FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 - CONTRACTOR SHALL MAINTAIN TRENCH BACKFILL AT GROUND SURFACE UNTIL FINAL ACCEPTANCE OF THE WORK. ALL SURPLUS MATERIALS NOT USED IN BACKFILLING SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AT HIS OWN EXPENSE.

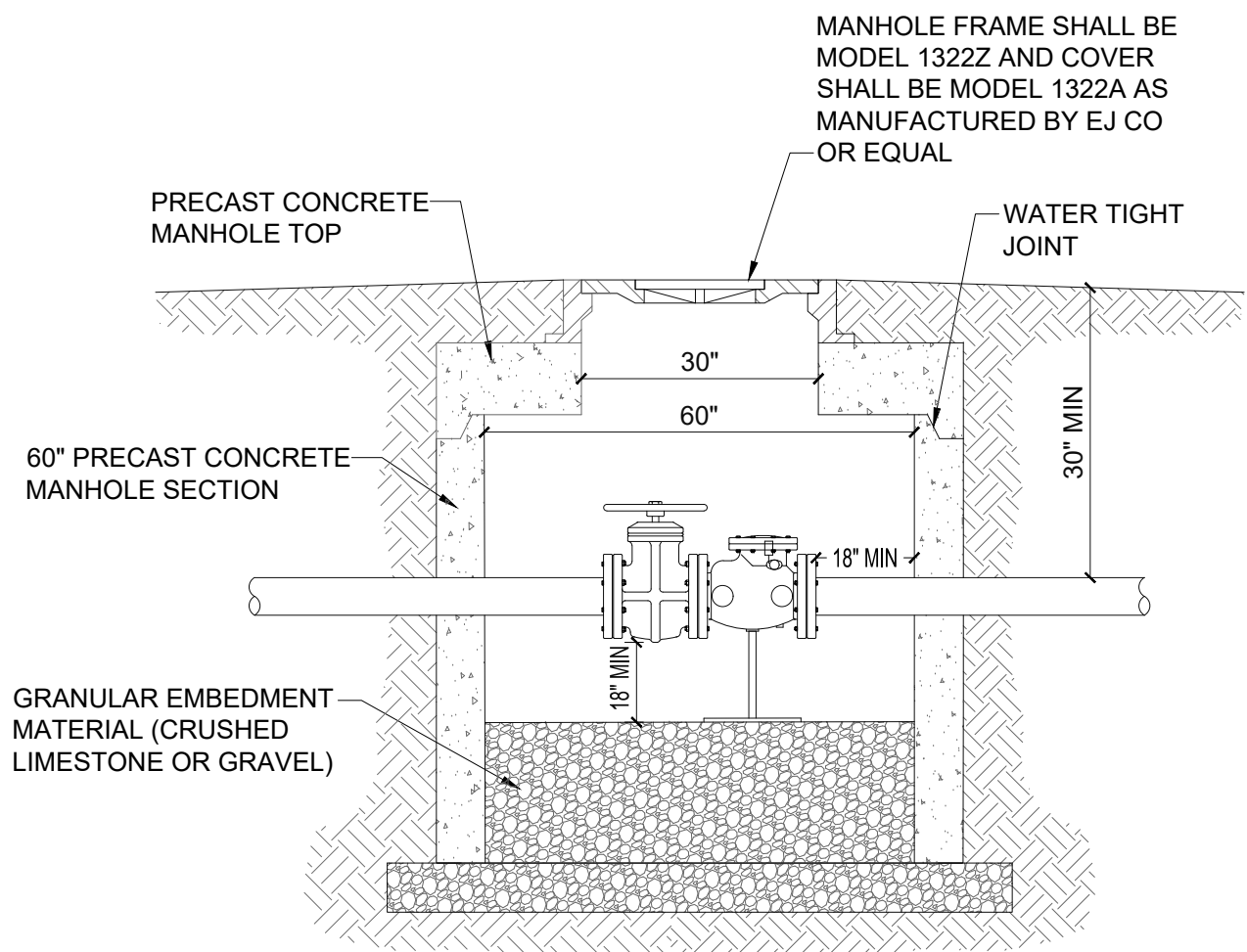
3 WATER AND SEWER PIPE INSTALLATION DETAIL
SCALE: NTS



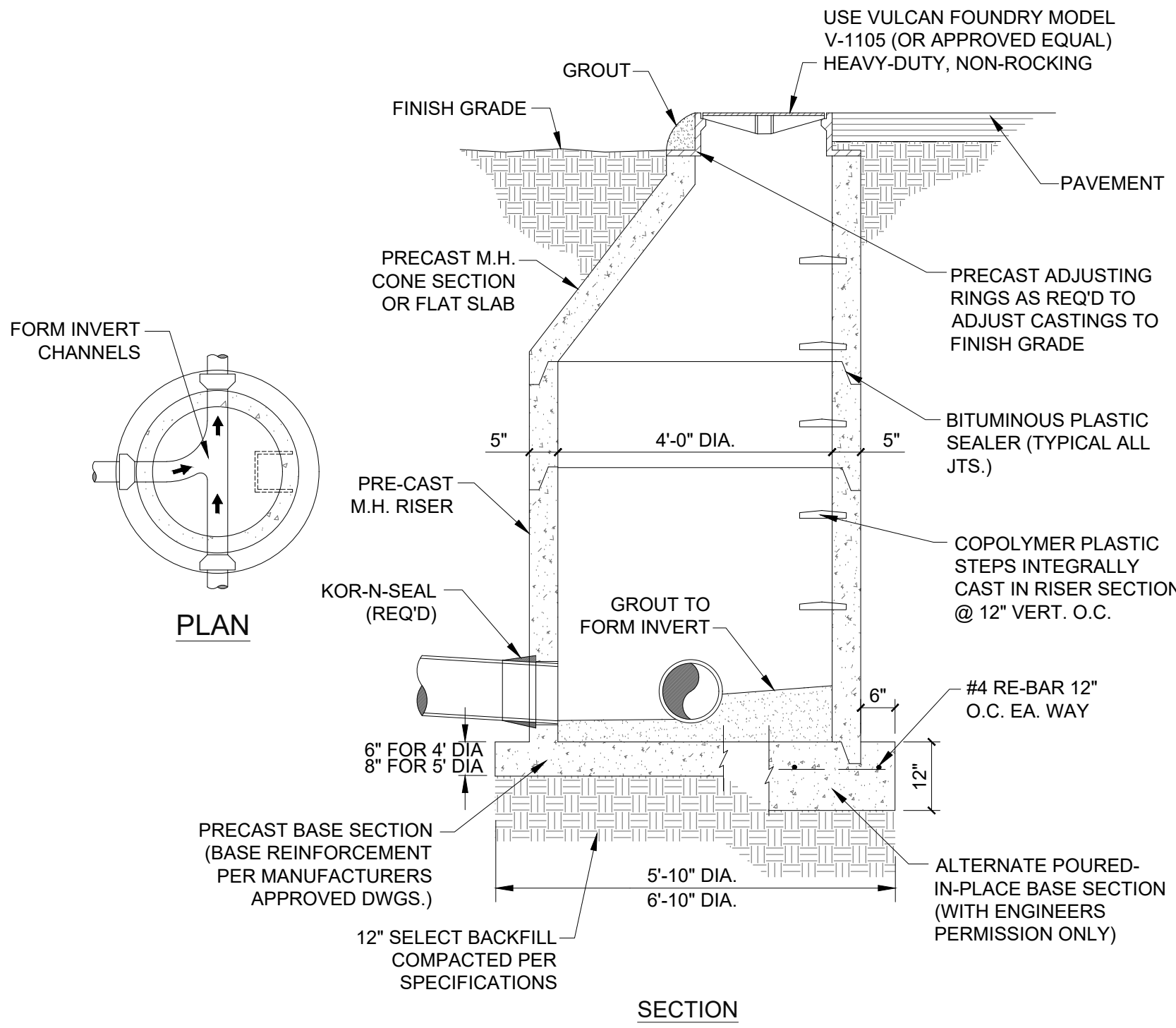
6 TYPICAL POST INDICATOR VALVE DETAIL
SCALE: NTS

ASTM D2321 CLASS DESCRIPTION		ASTM D2487 DESCRIPTION NOTATION		MINIMUM STANDARD PROCTOR DENSITY (%)	MAXIMUM LIFT PLACEMENT DEPTH
I	CRUSHED ROCK, ANGULAR	N/A	ANGULAR CRUSHED STONE OR ROCK, CRUSHED GRAVEL, CRUSHED SLAG; LARGE VOIDS WITH LITTLE OR NO FINES	DUMPED	18"
II	CLEAN, COARSE-GRAINED SOILS	GW	WELL-GRADED GRAVEL, GRAVEL-SAND MIXTURES; LITTLE OR NO FINES	85%	12"
		GP	POORLY-GRADED GRAVELS, GRAVEL-SAND MIXTURES; LITTLE OR NO FINES		
		SW	WELL-GRADED SANDS, GRAVELLY SANDS; LITTLE OR NO FINES		
		SP	POORLY-GRADED SANDS, GRAVELLY SAND; LITTLE OR NO FINES		
III	COARSE-GRAINED SOILS, BORDERLINE CLEAN TO W/FINES	GW-GC, SP-SM	SANDS AND GRAVELS WHICH ARE BORDERLINE BETWEEN CLEAN AND WITH FINES	90%	9"
		GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES		
		GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES		
		SM	SILTY SANDS, SAND-CLAY MIXTURES		
		SC	CLAYEY SANDS, SAND-CLAY MIXTURES		
	INORGANIC FINE-GRAINED SOILS	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS, SILTS WITH SLIGHT PLASTICITY		
		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY; GRAVELLY, SANDY, OR SILTY CLAYS; LEAN CLAYS		

2 EMBEDMENT MATERIAL TABLE
SCALE: NTS



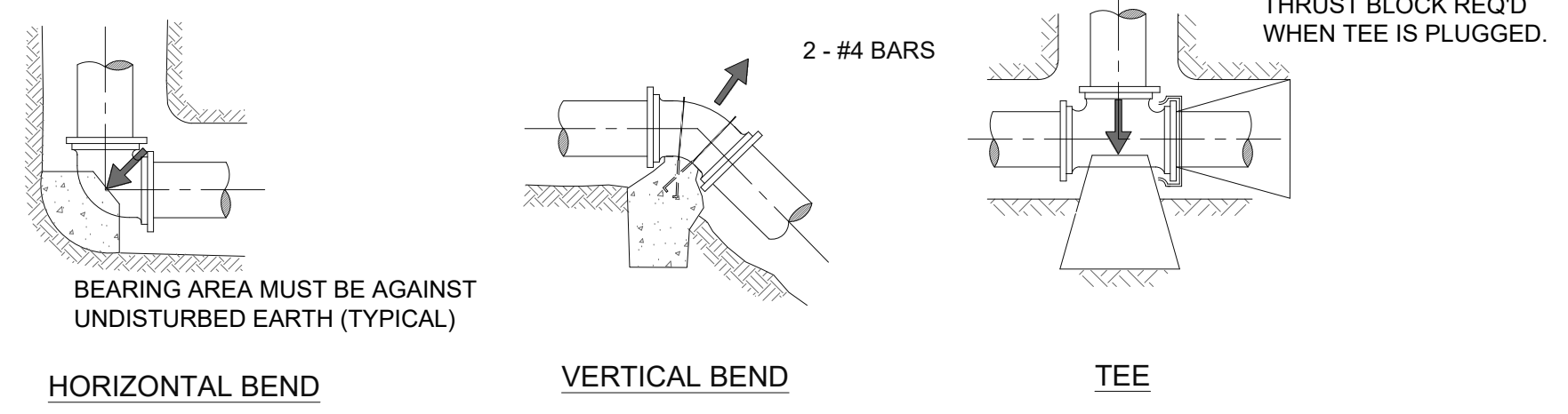
5 TYPICAL CHECK VALVE DETAIL
SCALE: NTS



1 TYPICAL SEWER MANHOLE DETAIL
SCALE: NTS

BEARING AREAS FOR THRUST BLOCKING IN SQUARE FEET						
FITTING:	4" DIA.	6" DIA.	8" DIA.	10" DIA.	12" DIA.	14" DIA.
TEES	2.0	2.5	4.7	5.0	7.0	9.0
90°	2.0	2.7	6.7	7.2	10.4	12.7
45°	1.0	1.5	3.6	3.9	5.6	6.9
22 1/2°	1.0	1.0	1.8	2.0	2.9	3.5

NOTE: ALL FITTINGS SHALL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO POURING CONCRETE THRUST BLOCKING



4 TYPICAL WATER MAIN THRUST BLOCK DETAIL
SCALE: NTS