



March 12, 2025 Planning and Zoning Meeting Agenda

March 12, 2025 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Minutes Approval

1. Motion to approve the minutes of February 12, 2025.

Action Items

2. ***WITHDRAWN* LORONA CONSULTING AND CONTRACTING** - Application for Variance to the Zoning Ordinance Submitted by Lorona Consulting and Contracting. The applicant is wanting to construct a dwelling. The applicant is requesting a variance of 15' resulting in a 10' setback to the front yard, and a variance of 15' resulting in a 5' setback to the rear yard. The property is located at 204 Caron Lane, Parcel Number 149N-0-30-146.000; 109B 4TH WARD BAY ST LOUIS. The property is zoned R-2 Two Family District.
3. **ARORA** - Application for Special Exception to the Zoning Ordinance submitted by Varinder Arora. The applicant requests a special exception for a wine and liquor store by special exception in a C-2 Neighborhood Commercial zoning district. The property is located at 501 Old Spanish Trail Unit A. Parcel 137J-0-44-220.000; LOT 298K 3RD WARD BSL; BAY ST LOUIS. The property is zoned C-2 Neighborhood Commercial zoning district.
4. **CORBITTNICAUD LLC** - Application for minor Site Plan Review for a Boutique Hotel submitted by Merritt Nicaud. The property in question is located at 105 North Beach Blvd is identified on the Hancock County Land Rolls as Parcel No. 149L-0-29-035.000 legal description as 510 1ST WARD BAY ST LOUIS and parcel NO 149L-0-29-036.000 Legal District PT 512 1ST WARD BAY ST LOUIS. The property is zoned C-1, Central Business District.

5. BELLAMARE DEVELOPMENT – Application for minor Site Plan Review for a convenience store and filling station with an attached coffee shop submitted by Bellamare Development. The property in question is located at 1083 HWY 90 and is identified on the Hancock County Land Rolls as Parcel No. 137F-2-26-009.000 (Legal Description: PT 88 J BOUQUIE CL (BUS) HWY 90) and Parcel No. 137F-2-26-010.000 (Legal Description: PT 89 J BOUQUIE CL 26-8-14). The property is zoned C-3 Highway Commercial District.

Adjourn

6. Motion to adjourn the meeting of March 12, 2025.



Planning and Zoning Meeting Minutes

February 12, 2025 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

PRESENT

- Commissioner Clark Breland
- Commissioner John Romano
- Commissioner Dean Agee
- Commissioner Mikayla Brown
- Commissioner MJ Krankey

ABSENT

- Chairman Amy Doescher
- Commissioner Chet LeBlanc

Minutes Approval

1. Motion to approve the minutes of January 15, 2025.

Motion made by Commissioner Breland, Seconded by Commissioner Agee.

Voting Yea: Commissioner Breland, Commissioner Romano, Commissioner Agee, Commissioner Brown, Commissioner Krankey

Action Items

2. ****WITHDRAWN**BELLAMARE DEVELOPMENT** – Application for minor Site Plan Review for a convenience store and filling station with an attached coffee shop submitted by Bellamare Development. The property in question is located at 1083 HWY 90 and is identified on the Hancock County Land Rolls as Parcel No. 137F-2-26-009.000 (Legal Description: PT 88 J BOUQUIE CL (BUS) HWY 90) and Parcel No. 137F-2-26-010.000 (Legal Description: PT 89 J BOUQUIE CL 26-8-14). The property is zoned C-3 Highway Commercial District.

3. **ESTEVEES** - Application for Variance to the Zoning Ordinance submitted by Daniel Esteves. The applicant is planning on adding an addition to the residence. The applicant is requesting a variance of 3', resulting in a 5' side yard setback on the right side of the property. The property is located at 328 State Street. Parcel 149F-0-29-330.002; PT 546 & PT 547 1ST WARD BSL. The property is zoned R-2 Two-Family District.

Daniel Esteves spoke regarding the application.

Motion made by Commissioner Agee, Seconded by Commissioner Krankey.

Voting Yea: Commissioner Breland, Commissioner Romano, Commissioner Agee, Commissioner Brown, Commissioner Krankey

APPROVED

- 4. **LAFRANCE** - Application for Variance to the Zoning Ordinance submitted by Ivan and Jeannine LaFrance. The applicants want to construct a 10' privacy fence along the rear of the property line. The applicants are requesting a variance of 4' to the fence height requirement. The property is located at 200 St George Street. Parcel 149F-0-29-204.000; 1ST WARD 397, E 1/2 BAY ST. LOUIS AA6-615. The property is zoned R-3 Multi Family District.

Jeannine LaFrance spoke representing the application.

Motion to allow a 2' fence variance resulting in an 8' total fence height.

Motion made by Commissioner Breland, Seconded by Commissioner Romano.

Voting Yea: Commissioner Breland, Commissioner Romano, Commissioner Krankey

Voting Nay: Commissioner Agee, Commissioner Brown

APPROVED

Adjourn

- 5. Motion to adjourn the meeting of February 12, 2025.

Motion made by Commissioner Krankey, Seconded by Commissioner Agee.

Voting Yea: Commissioner Breland, Commissioner Romano, Commissioner Agee, Commissioner Brown, Commissioner Krankey

APPROVED

Amy Doescher, Chairman

Date

Caitlin Bourgeois, Secretary

Date

TO: Planning and Zoning Board

City of Bay St. Louis

RE: Parcel 137J-0-44-220.000
Old Spanish Trail Unit A
Lot 298K, 3rd Ward, Bay St. Louis

HEARING DATE: March 12, 2025

I have reviewed the application for a Special Exception to the Zoning Ordinance submitted by Varinder Arora. The property in question is located at 501 Old Spanish Trail Unit A, Bay St. Louis, MS 39520. The property is zoned C-2, Neighborhood Commercial District.

The applicant is asking for a Special Exception to the Zoning Ordinance to allow the operation of a wine and liquor store for off-premise consumption of alcohol on the property.

The administration recommends denying the special exception.

- The liquor store is located in close proximity to a playground
- Will have a negative impact on the surrounding residents

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Sincerely,
Jeremy L Burke
Zoning Administrator

APPLICATION FOR SPECIAL EXCEPTION TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Varinder Arora

ADDRESS: 501 Old Spanish Trail Unit A
Bay St Louis, MS 39520

PHONE: 601-955-6559

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

501 Old Spanish Trail, Bay St Louis, MS 39520

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

Lot 298K 3RD WARD BSL

2. Parcel number(s) as described in the Hancock County tax rolls:

137 J-0-44-220.000

3. Present Zoning: C-2 Neighbors Commercial

4. Present use of building/property: Building

5. Application fee of \$²⁵⁰ (Residential): _____

Application fee of \$¹⁵⁰ (Commercial): # 00599455

Please submit the following documentation with your application:

Article XIII

1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

1305.2 SPECIAL EXCEPTIONS

A special exception shall not be recommended unless:

1. The special exception shall be oriented and landscaped to produce a harmonious relationship of buildings and grounds to adjacent buildings and properties.
 2. The special exception shall produce a total visual impression and environment which is consistent with the environment of the neighborhood.
 3. The proposed use will not be detrimental to the use or development of adjacent properties or other neighborhood uses.
 4. The proposed use will not be affected adversely by the existing uses.
 5. The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of said use.
 6. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise, or fume generation or type of physical activity.
 7. Utilities and fire protection services with reference to the location and the use shall be available and adequate.
1. The use for which a Special Exception is sought Allow to have a
Wine and liquor store (off Premise Consumption of alcohol)
 2. Grounds upon which it is claimed that the Special Exception shall be granted:
will not be a nuisance, and is in harmony with neighborhood
location already a retail store.
 3. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.
 5. Size of building to be erected, and the location of the building upon the lot.
 6. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.
 7. Is the property in question in a sub-division? _____

8. If the property in question is within a sub-division, is there an existing covenant running with the land? _____

9. If the answer to question 8 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County. Book Number _____ Page Number _____

It is warranted in good faith by the owner whose name is signed hereto that all of the above facts are true and correct.

Lawndun Aross
Applicant's Signature

02-02-25
Date

FOR OFFICE USE ONLY

Date of Application received: _____

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 105 North Beach Blvd
Parcel Number: 149L-0-29-035.000
510 1st Ward Bay St. Louis
Parcel Number: 149L-0-29-036.000
Legal District PT 512 1st Ward Bay St. Louis

Hearing Date: March 12, 2025

Application for a minor Site Plan Review for the Boutique Hotel submitted by Merritt Nicaud on behalf of CorbittNicaud LLC. The property is located in the C-1, Central Business District.

The applicant requests approval for the minor site plan review for a Boutique Hotel at the abovementioned parcels.

The administration recommends TABLE this minor site plan review.

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L. Burke
Zoning Administrator

CITY OF BAY ST. LOUIS

SITE PLAN REVIEW APPLICATION

Name of Owner/Agent (Print): Corbitt Nicaud, LLC

Address of Owner/Agent: 1317 26th Ave Ste 101
Gulfport, MS 39501

Phone Number(s): 228-493-2624

Tax Parcel Number (s): 149L-0-29-036.000
149L-0-29-035.000

(Parcel numbers are available from the Hancock County Tax Assessor at 228-467-4425)

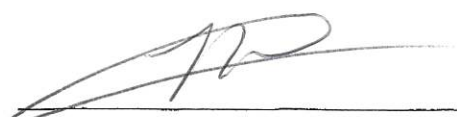
General Location of Property Involved: 105 N. Beach Blvd
(Street Address if Applicable) Bay Saint Louis, MS 39520

General Description of Request: Submission of plans to be reviewed
by Planning + Zoning.

Required Attachments:

1. Copy of Deed
2. Proof of ownership or by agent authorized in writing by all of the owners to file such application.
3. An application and four (4) copies of submitted site plan.
4. Site Plan to include all requirements in Article XI, Site Plan Review.

Application fee of ~~\$500~~: _____



Signature of Owner

2-4-25

Date



TERRY MORAN
ENGINEERING
P.O. BOX 4075
BILOXI, MS 39535
PH 228.896.4133
TERRY MORAN,
P.E., P.L.S.

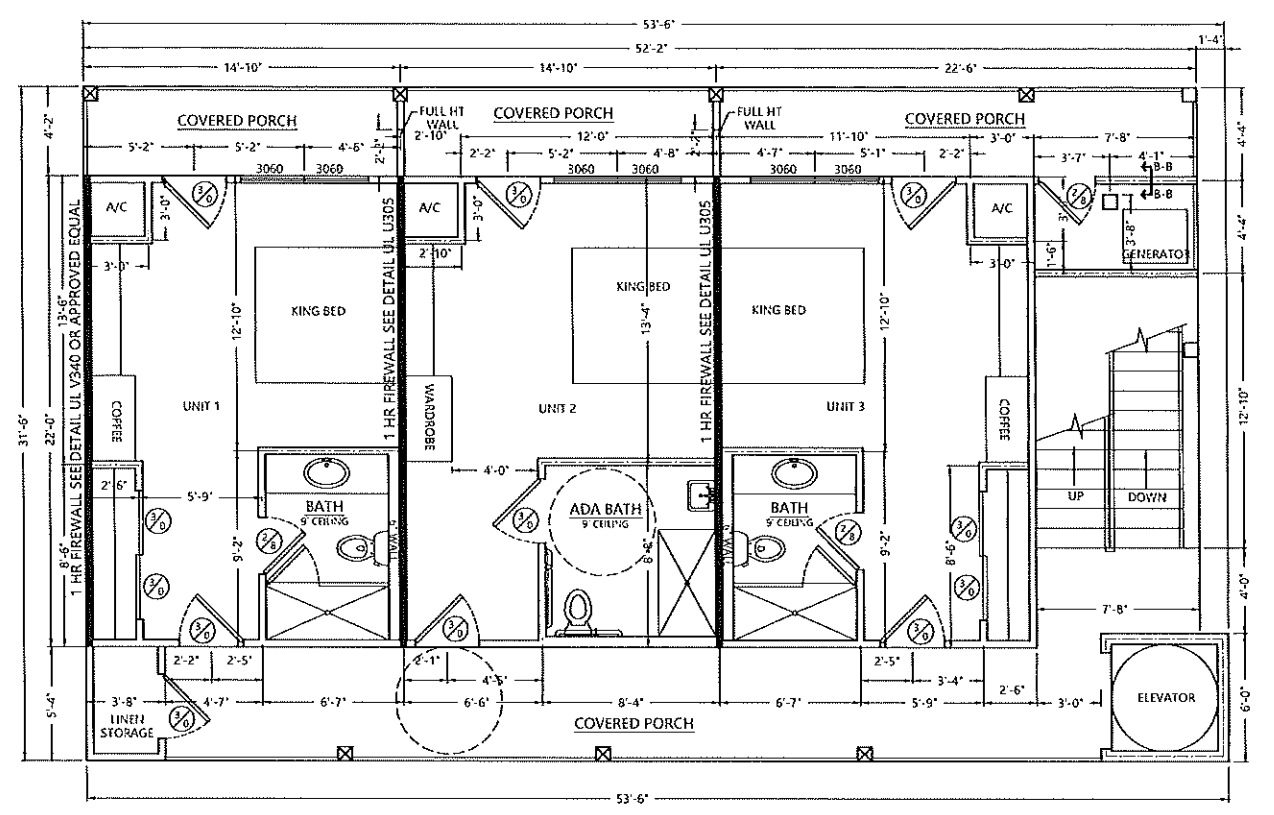
In Association With

FA FOUNTAIN & ASSOCIATES
CIVIL AND COMMERCIAL DESIGN
13334 Seaway Rd, Ste. 202
Gulfport, MS 39503
228-574-3659

Date 10-11-2024
Drawn By C.A.B.
Check By T.J.M.
REV 11-12-2024
01-08-2025
01-31-2025

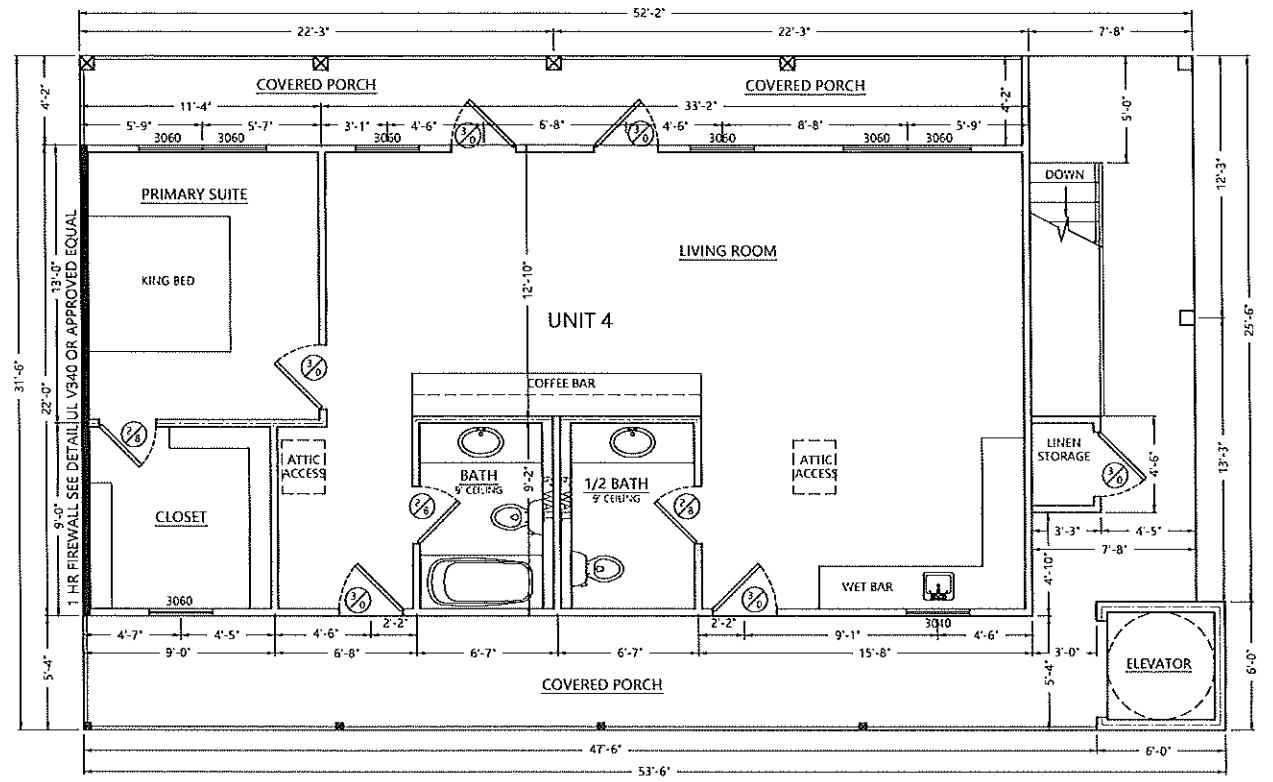
PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS

B1



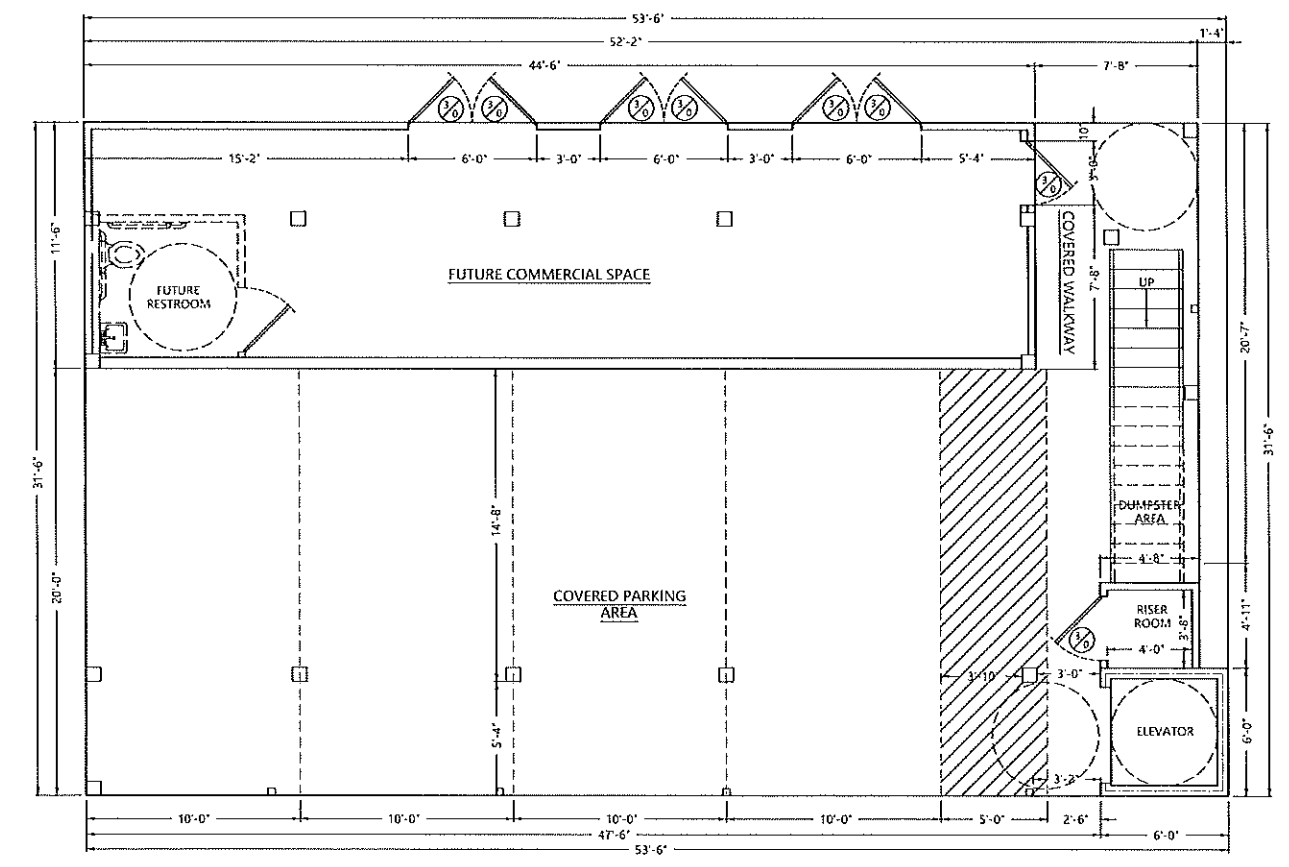
2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



3RD FLOOR PLAN

SCALE: 1/4"=1'-0"

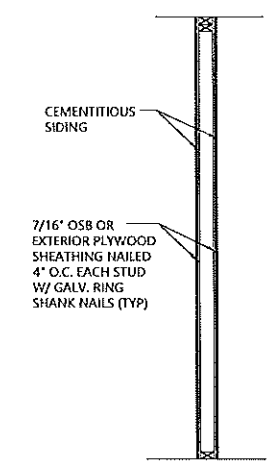


GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

AREA CALCULATIONS:

GROUND FLOOR HEATED COMMERCIAL UNIT:	512 SF
TOTAL GROUND FLOOR HEATED:	512 SF
GROUND FLOOR UNHEATED:	
PARKING AREA:	900 SF
BREEZEWAY:	204 SF
RISER ROOM:	
ELEVATOR:	36 SF
TOTAL UNHEATED:	1140 SF
TOTAL GROUND FLOOR:	1652 SF
SECOND FLOOR HEATED:	
UNIT 1:	326 SF
UNIT 2:	326 SF
UNIT 3:	326 SF
LINEN STORAGE:	20 SF
TOTAL SECOND FLOOR HEATED:	998 SF
SECOND FLOOR UNHEATED:	
PORCHES:	517 SF
ELEVATOR:	36 SF
TOTAL SECOND FLOOR UNHEATED:	553 SF
TOTAL SECOND FLOOR:	1551 SF
THIRD FLOOR HEATED:	
UNIT 4:	978 SF
LINEN STORAGE:	15 SF
TOTAL THIRD FLOOR HEATED:	993 SF
THIRD FLOOR UNHEATED:	
PORCHES:	581 SF
ELEVATOR:	36 SF
TOTAL THIRD FLOOR UNHEATED:	616 SF
TOTAL THIRD FLOOR:	1611 SF
TOTAL UNDER ROOF:	4813 SF



WALL SECTION B-B

SCALE: 1/2"=1'-0"

NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

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P.E., P.L.S.



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Date 10-11-2024
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01-08-2025

PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS

B2



REAR ELEVATION

SCALE: 1/4"=1'-0"

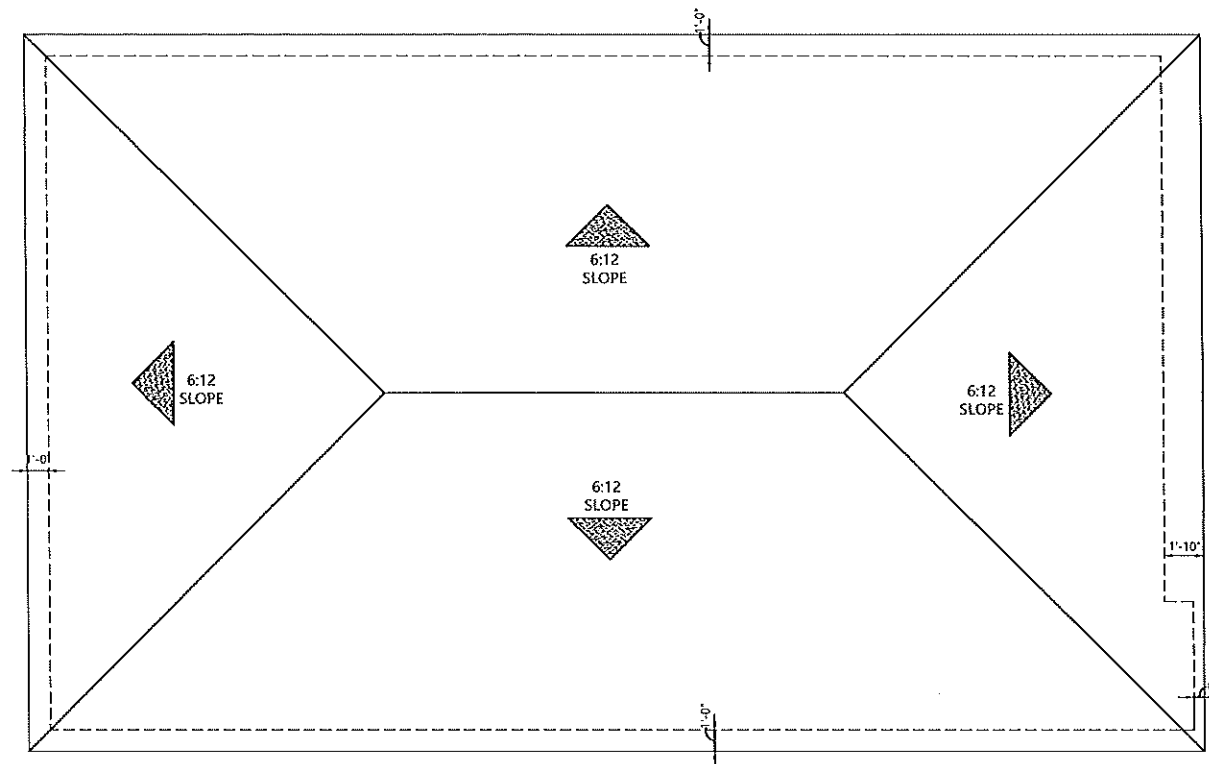


FRONT ELEVATION

SCALE: 1/4"=1'-0"

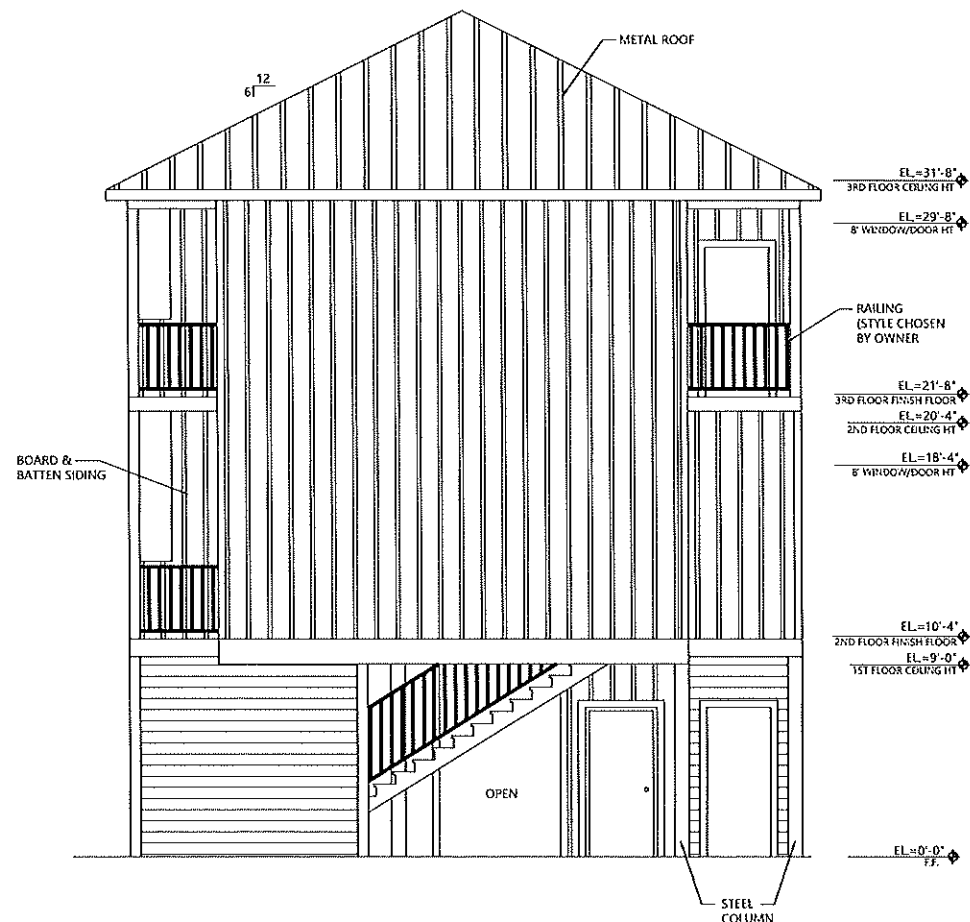
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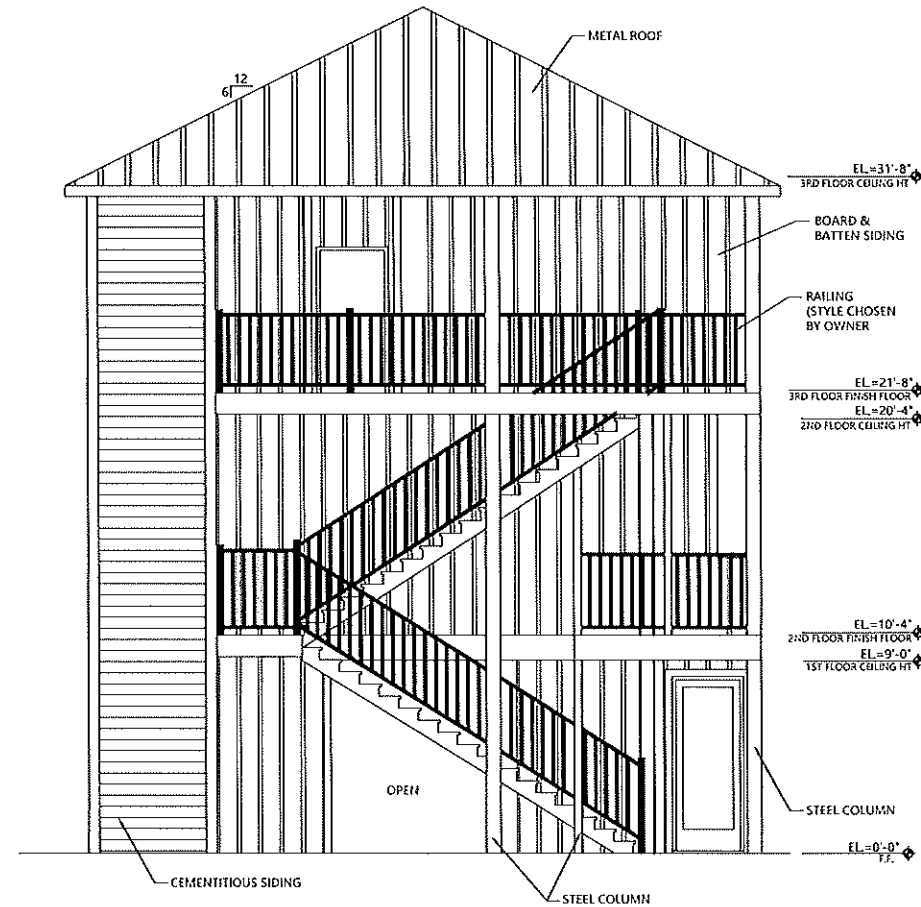
ROOF PLAN

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

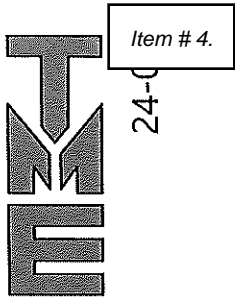


SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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TERRY MORAN
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PH 228.896.4133
TERRY MORAN,
P.E., P.L.S.



In Association With

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13334 Seaway Rd, Ste. 202
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228-574-3659

Date 10-11-2024
Drawn By C.A.B.
Check By T.J.M.
REV. 11-12-2024
01-08-2025

PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS

B2.1



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P.O. BOX 4015
BILOXI, MS 39655
PH 228.896.4733
TERRY MORAN, P.E., P.L.S.

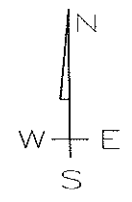
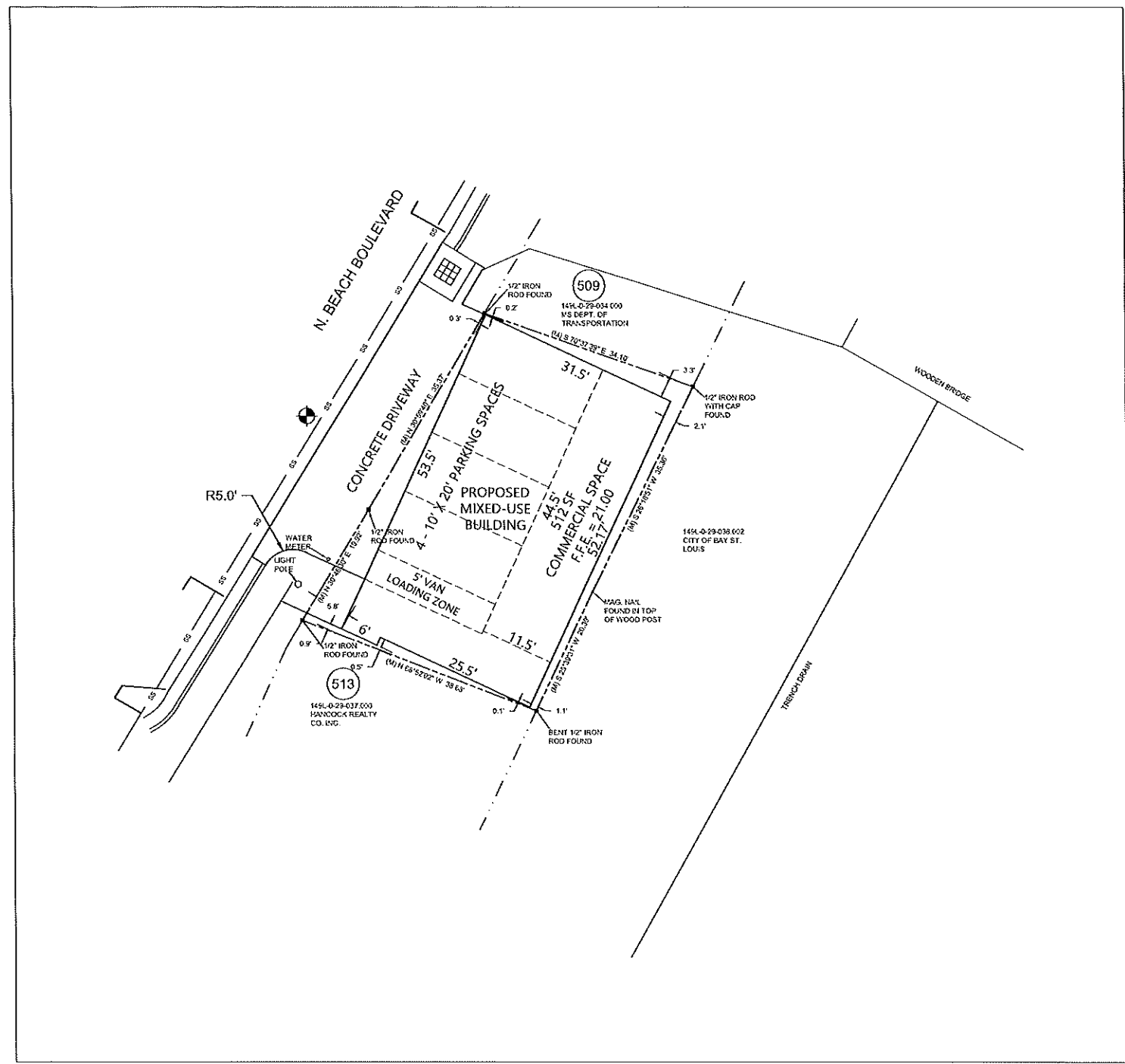


In Association With

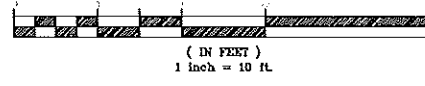
FA FOUNTAIN & ASSOCIATES
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13334 Seaway Rd, Ste. 202
Gulfport, MS 39503
228-574-3659

Date 10-11-2024
Drawn By E.O.F.
Check By T.J.M.
REV 11-04-2024
12-11-2024
01-08-2025

PROPOSED BOUTIQUE HOTEL
N BEACH BLVD
BAY ST LOUIS, MS



GRAPHIC SCALE



NEW MAG NAIL SET BY SURVEYOR
IN ASPHALT OF N BEACH BLVD
ELEV. = TBD

BOUNDARY BASED ON SURVEY BY CROSBY SURVEYING;
TOPOGRAPHIC INFORMATION BASED ON THE SAME
SUBJECT PROPERTY LIES WITHIN 'X 500' FLOOD
ZONE PER FEMA PANEL 28045C0362D DATED
OCTOBER 16, 2009.

SITE DATA TABLE

ACREAGE: 0.071 +/- AC

ZONING: C-1

SETBACKS:

- FYSB - 0 FT
- SYSB - 0 FT
- RYSB - 0 FT

COMMERCIAL SPACE - 512 SF +/-

OF HOTEL UNITS - 4

OF ON-SITE PARKING SPACES - 4

SITE PLAN

SCALE: 1"=10'

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TO:

Planning and Zoning Commission
City of Bay St. Louis

RE:

1083 Hwy 90
Parcel No. 137F-2-26-009.000
Legal Description: PT 88 J BOUQUIE CL (BUS) HWY 90
Parcel No. 137F-2-26-010.000
Legal Description: PT 89 J BOUQUIE CL 26-8-14

Hearing Date: March 12, 2025

Application for a Minor Site Plan Review submitted by Bellamare Development. The application site plan is for a new convenience store and gas station with an attached coffee shop at the property located at 1083 Hwy 90. The property is zoned C-3 Highway Commercial District.

The administration recommends TABLE this minor site plan review.

City Engineering is still reviewing drainage calculations.

If I can be of any further assistance in this matter, please feel free to contact my office at 228-466-5516.

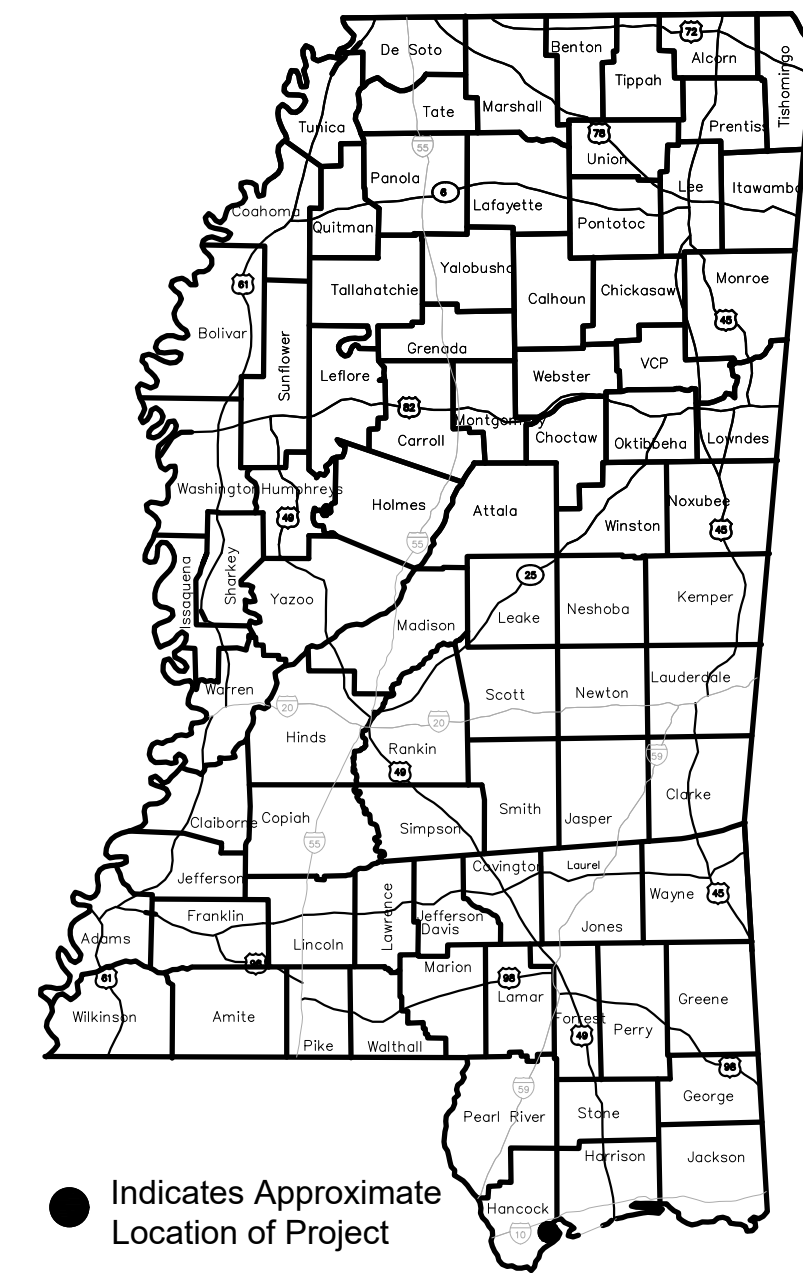
Jeremy L. Burke
Zoning Administrator

BAY ST. LOUIS CONVENIENCE STORE

1083 HIGHWAY 90, BAY SAINT LOUIS

HANCOCK COUNTY, MISSISSIPPI

(CIVIL PERMIT SET 276-1-2024)



LOCATION MAP

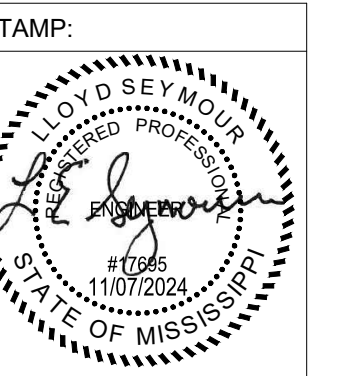
BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET

INDEX TO DRAWINGS

SHEET NO.	DRAWING NO.	DESCRIPTION
1	T1.0	COVER SHEET
2	C001	EXISTING CONDITIONS
3	C110	EROSION, SEDIMENT AND POLLUTION CONTROL PLAN
4	C150	EROSION, SEDIMENT AND POLLUTION CONTROL PLAN DETAILS
5	C200	SITE PLAN
6	C250	SITE DETAILS I
7	C251	SITE DETAILS II
8	C300	GRADING PLAN
9	C310	DRAINAGE PLAN
10	C320	DRAINAGE PROFILES
11	C350	DRAINAGE DETAILS
12	C400	UTILITY PLAN
13	C450	UTILITY DETAILS

SHEET REVISIONS:

#	DATE/REFERENCE

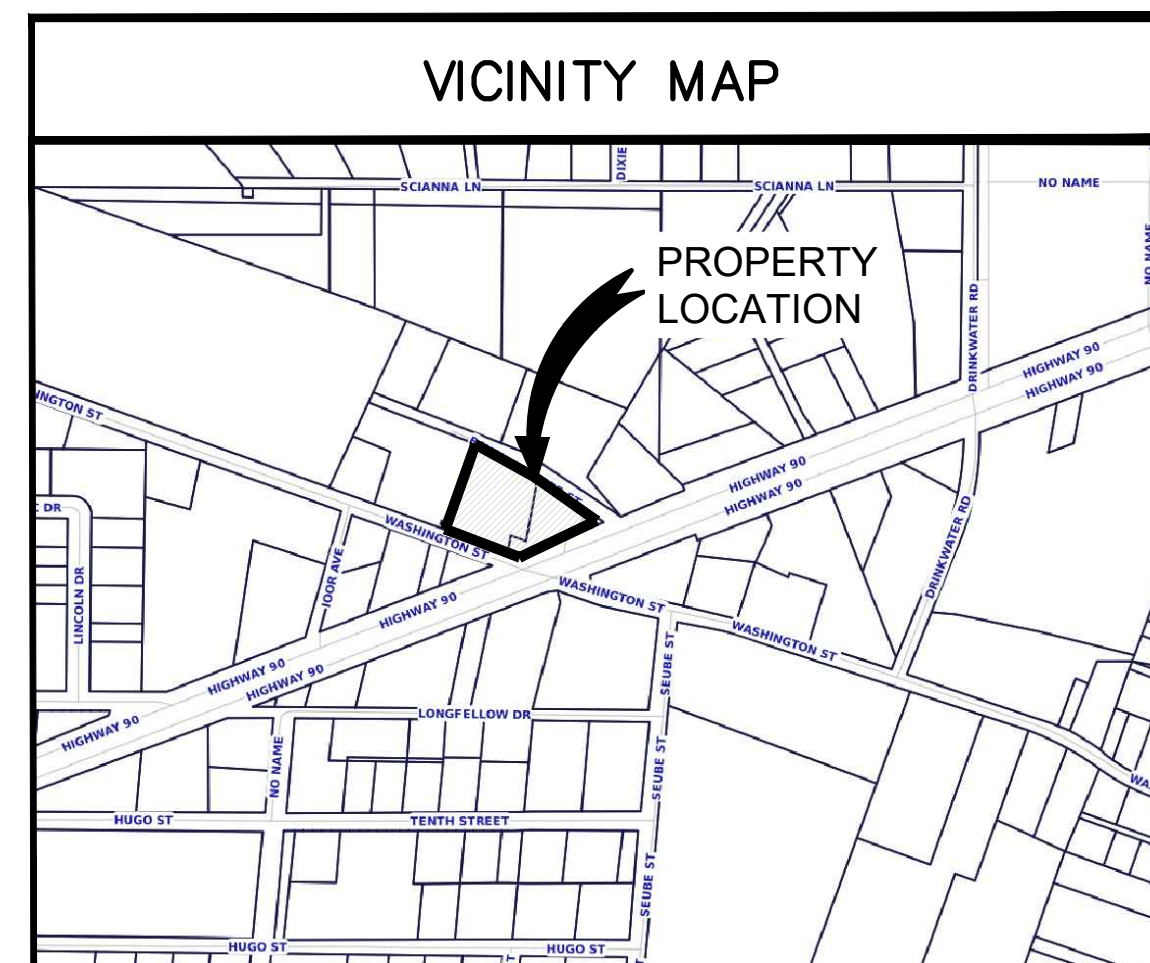


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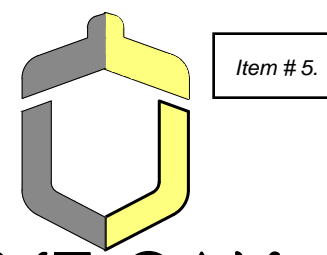
COVER SHEET

DATE: 11-7-2024
 SHEET NUMBER: 1 OF 13

T001



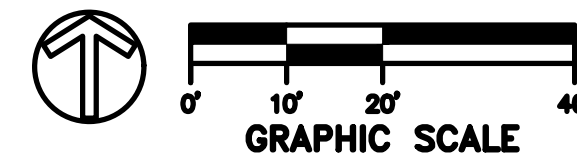
CIVIL ENGINEERING SERVICES



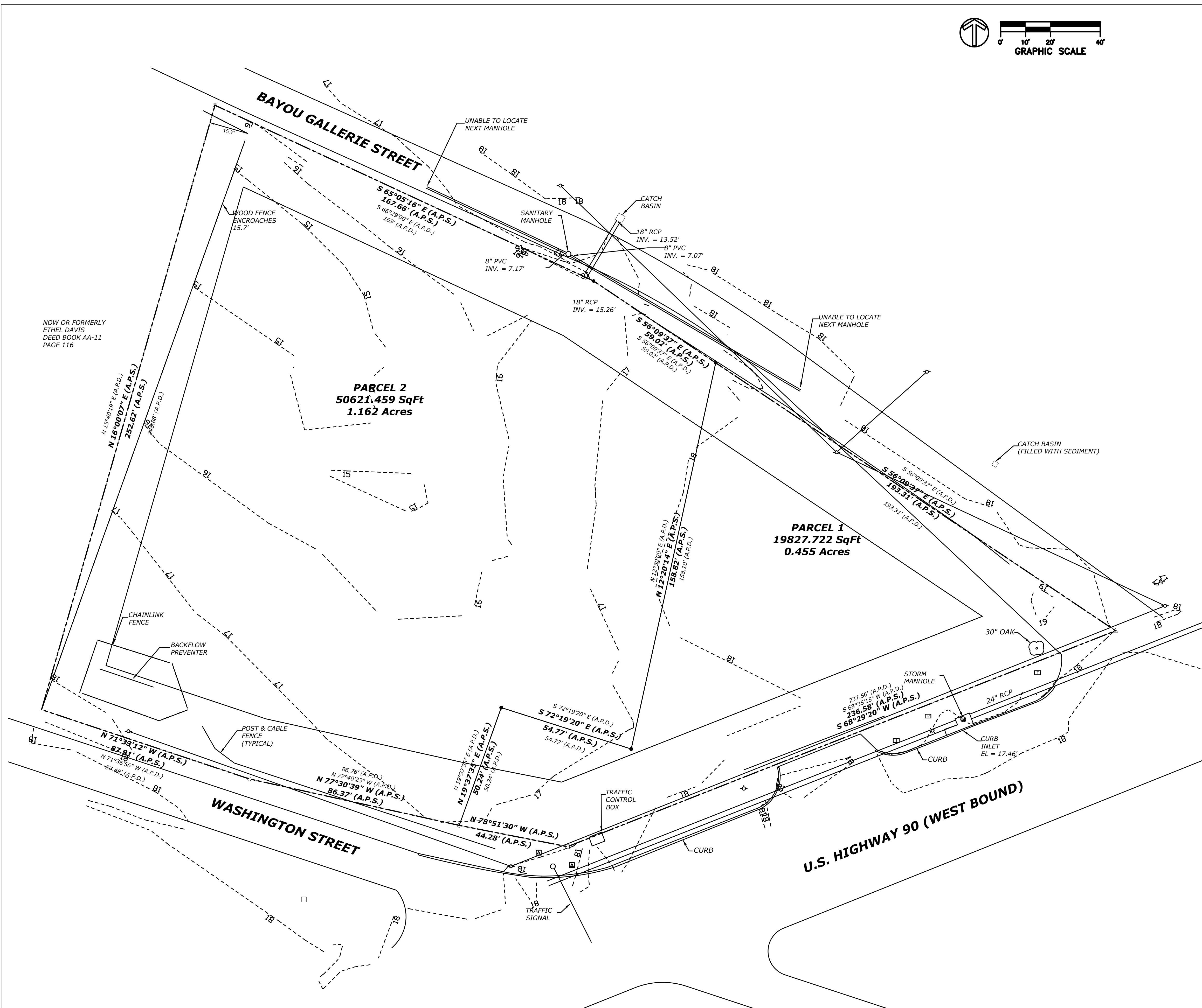
LIVE OAK ENGINEERING

2509 7TH AVE S.
BIRMINGHAM, AL 35233
955B HOWARD AVENUE
BILOXI, MS 39530
LIVEOAKENGINEERING.COM
LOE JOB# 276-1

BAY ST. LOUIS CONVENIENCE STORE
1083 HIGHWAY 90, BAY SAINT LOUIS
HANCOCK COUNTY, MISSISSIPPI
CIVIL PERMIT SET



ELEV =



NOW OR FORMERLY
ETHEL DAVIS
DEED BOOK AA-11
PAGE 116

PARCEL 2
50621.459 SqFt
1.162 Acres

PARCEL 1
19827.722 SqFt
0.455 Acres

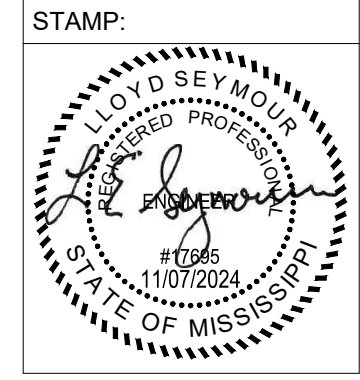
UNDERGROUND UTILITY NOTES

1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
3. ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

THIS SURVEY IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY!
CONTRACTOR SHALL CONSULT ORIGINAL SURVEY FOR ANY PROPERTY INFORMATION AND EXISTING CONDITIONS

SHEET REVISIONS:

#	DATE/REFERENCE

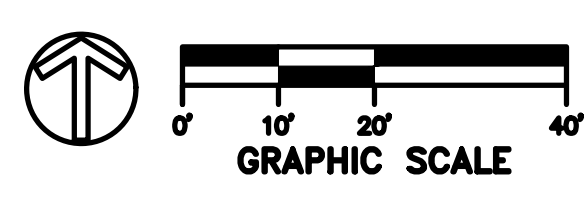


SHEET TITLE:
EXISTING CONDITIONS

DATE: 11-7-2024
SHEET NUMBER: 2 OF 13

C001

1 EXISTING CONDITIONS
C001 SCALE: 1" = 20'



ELEV =

SWPPP LEGEND

- 100.00- DENOTES EXISTING GRADE CONTOUR
- DENOTES FINISHED GRADE CONTOUR
- DENOTES STORMWATER FLOW DIRECTION
- DENOTES PERIMETER CONTROLS
- DENOTES INLET PROTECTION
- DENOTES TREE PROTECTION

SWPPP NOTES

1. THE CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENT CONTROLS DURING THE ENTIRE COURSE OF WORK TO PREVENT ANY SEDIMENT FROM LEAVING THE CONSTRUCTION SITE AND ENTERING ROADWAYS, STORM DRAINS SYSTEMS, DITCHES, SWALES, DETENTION BASINS, LOCAL WATER BODIES, AND/OR ADJACENT PROPERTIES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO EXPOSING ANY SOIL.
3. CONTRACTOR SHALL STAGE, TIME AND SEQUENCE CONSTRUCTION TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.
4. PERIMETER CONTROLS SHALL BE CONSTRUCTED OF SILT FENCE AND/OR APPROVED BMP'S AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ARCHITECT.
5. ALL INLETS WITHIN THE CONTRACTOR'S LIMITS OF WORK SHALL BE PROTECTED WITH APPROVED EROSION AND SEDIMENT CONTROL MEASURES.
6. CONTRACTOR SHALL PROVIDE VEGETATION FOR AREAS WHERE SOILS HAVE BEEN DISTURBED.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT MIGRATES INTO THE STORM DRAIN SYSTEM. ANY SEDIMENT THAT HAS MIGRATED OFF OF THE PROJECT SITE SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY.
8. TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL REMAIN FUNCTIONAL UNTIL PERMANENT EROSION AND SEDIMENT CONTROLS (SUCH AS PERMANENT GRASSING, PAVEMENT, ETC.) HAVE BEEN ESTABLISHED.
9. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. ANY ADDITIONAL TEMPORARY CONTROL DEVICES THAT MAY BE REQUIRED SHALL BE PROVIDED AS PART OF THIS PROJECT AT NO ADDITIONAL COST TO THE OWNER.

CONSTRUCTION PHASE SEQUENCE

PHASE ONE

- INSTALL CONSTRUCTION ENTRANCE/EXIT
- CLEAR AREA REQUIRED FOR SILT FENCE PLACEMENT
- INSTALL SILT FENCE

PHASE TWO

- DEMOLITION AND REMOVAL OF DEMO DEBRIS

PHASE THREE

- CLEAR/GRUB REMAINING SITE AREAS

PHASE FOUR

- GRADE SITE TO ROUGH GRADES
- INSTALL STORM DRAINAGE MEASURES

PHASE FIVE

- CONSTRUCT UTILITIES (WATER, SEPTIC)
- BUILDING CONSTRUCTION BEGINS

PHASE SIX

- CONSTRUCT ROADS (PAVING, CURB AND GUTTER, SIDEWALKS)
- BUILDING CONSTRUCTION CONTINUES

PHASE SEVEN

- BUILDING CONSTRUCTION COMPLETED
- STABILIZE DISTURBED AREAS WITH SOLID SOD/SEED AND MULCH
- INSTALL PERMANENT LANDSCAPING

PHASE EIGHT

- REMOVE BMP MEASURES

PHASE NINE

- REMOVE SILT FENCE
- PROJECT COMPLETE, FINAL INSPECTION

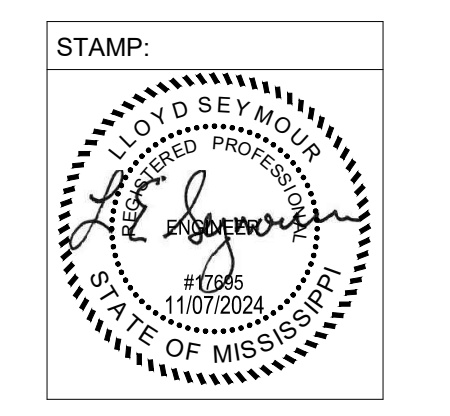
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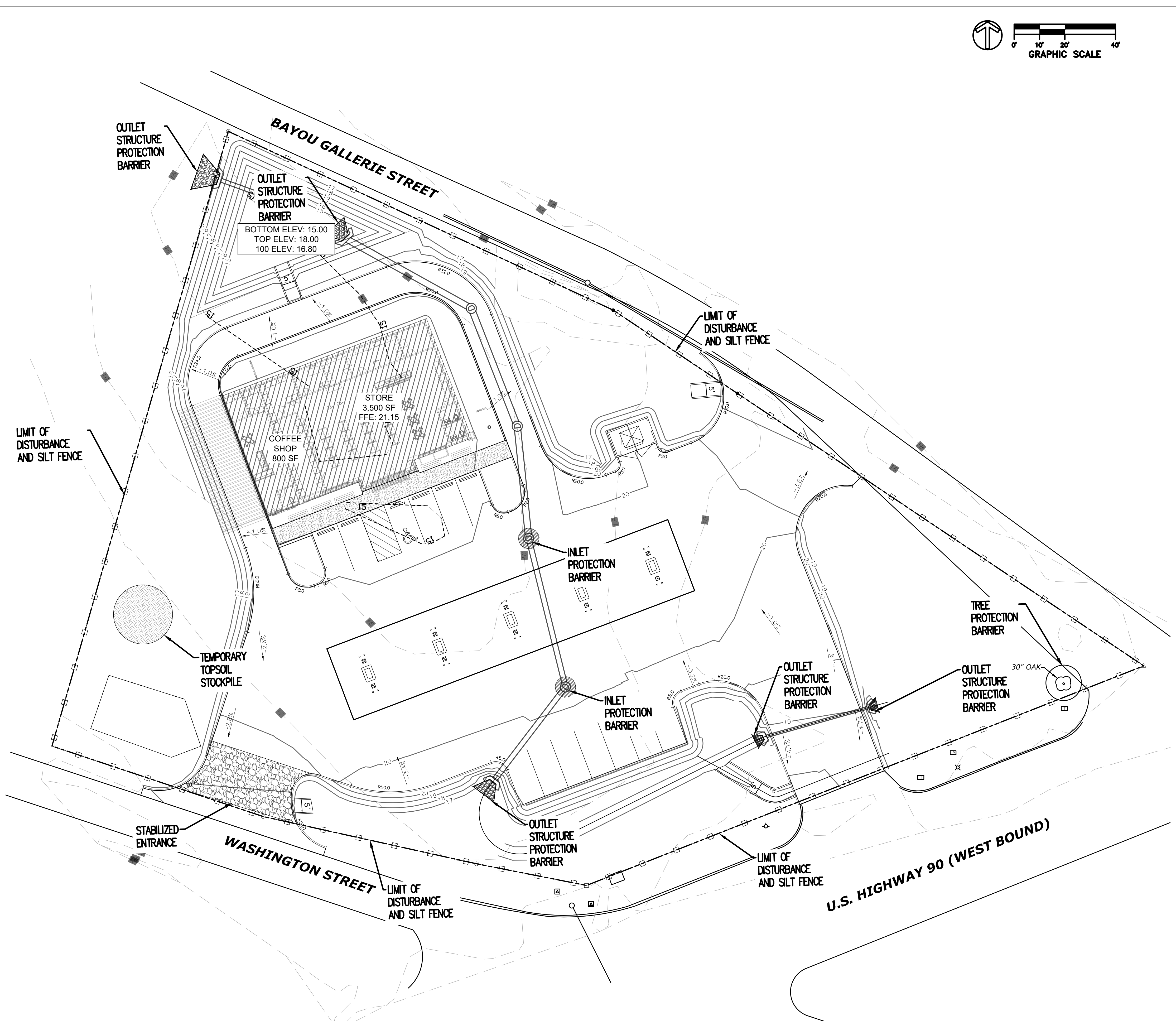


SHEET TITLE:

EROSION AND SEDIMENT CONTROL PLAN

DATE: 11-7-2024
SHEET NUMBER: 3 OF 13

C110

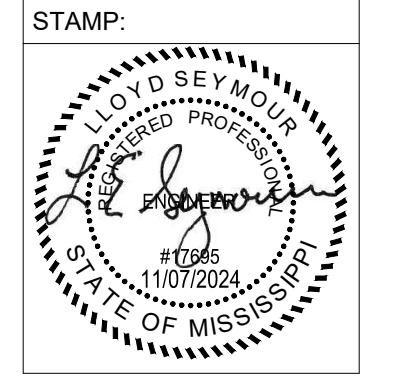


1 EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'

BAY ST. LOUIS CONVENIENCE STORE
 1083 HIGHWAY 90, BAY SAINT LOUIS
 HANCOCK COUNTY, MISSISSIPPI
 CIVIL PERMIT SET

SHEET REVISIONS:

#	DATE/REFERENCE



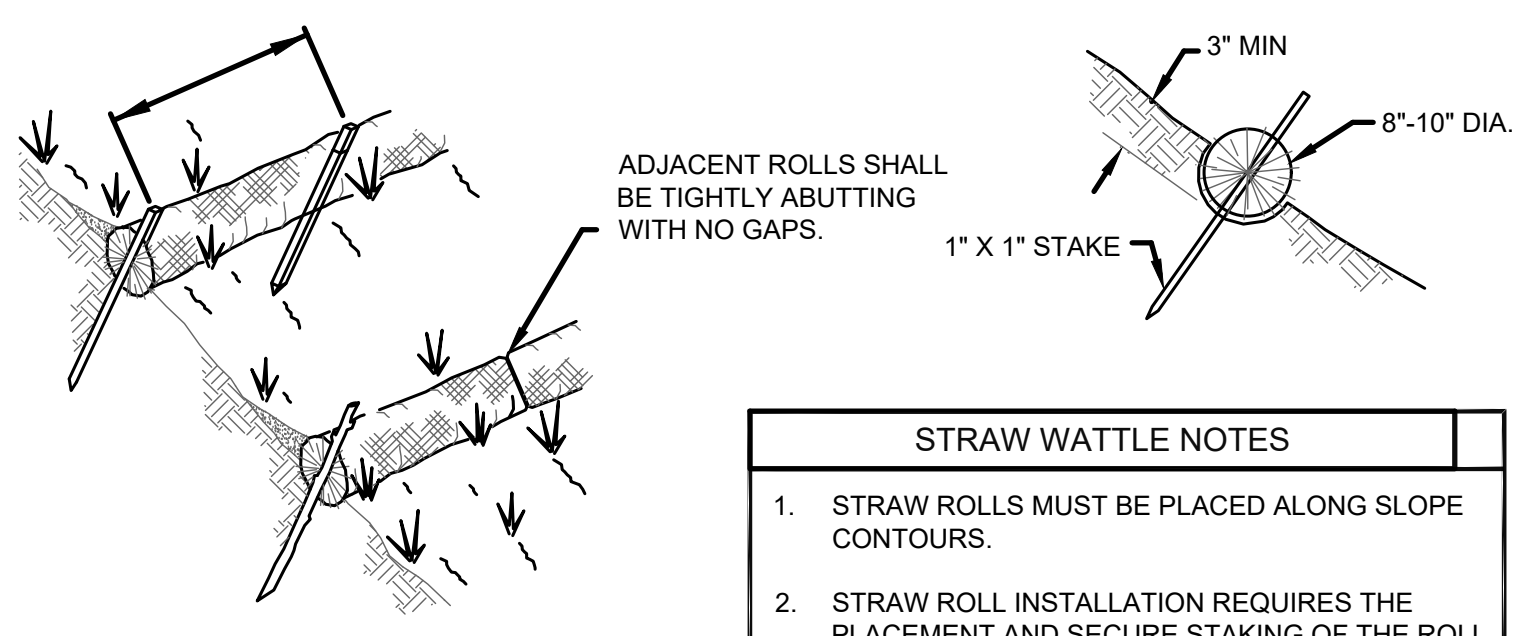
SHEET TITLE:
EROSION AND SEDIMENT CONTROL DETAILS

DATE: 11-7-2024
 SHEET NUMBER: 4 OF 13

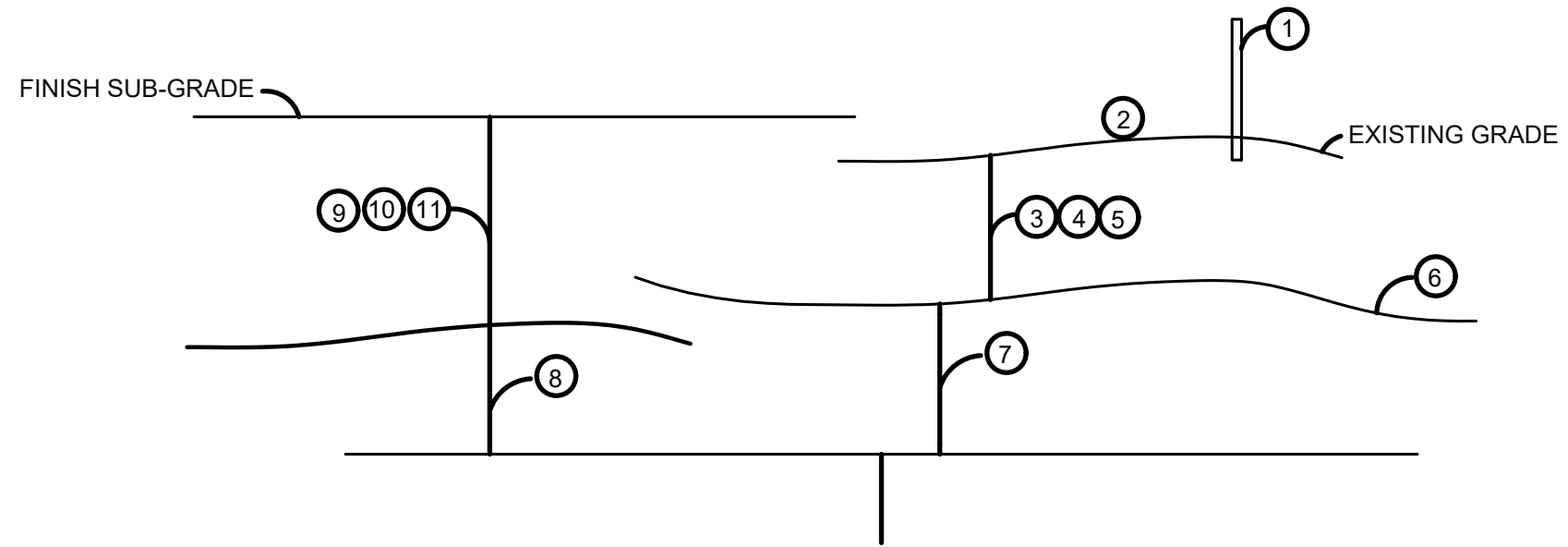
C150

STRAW WATTLE NOTES

1. STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS.
2. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A 3" MINIMUM TRENCH DUG ON CONTOUR.
3. IF STAKES CAN NOT BE USED SECURE WITH SAND BAGS SPACED 4' APART.
4. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.



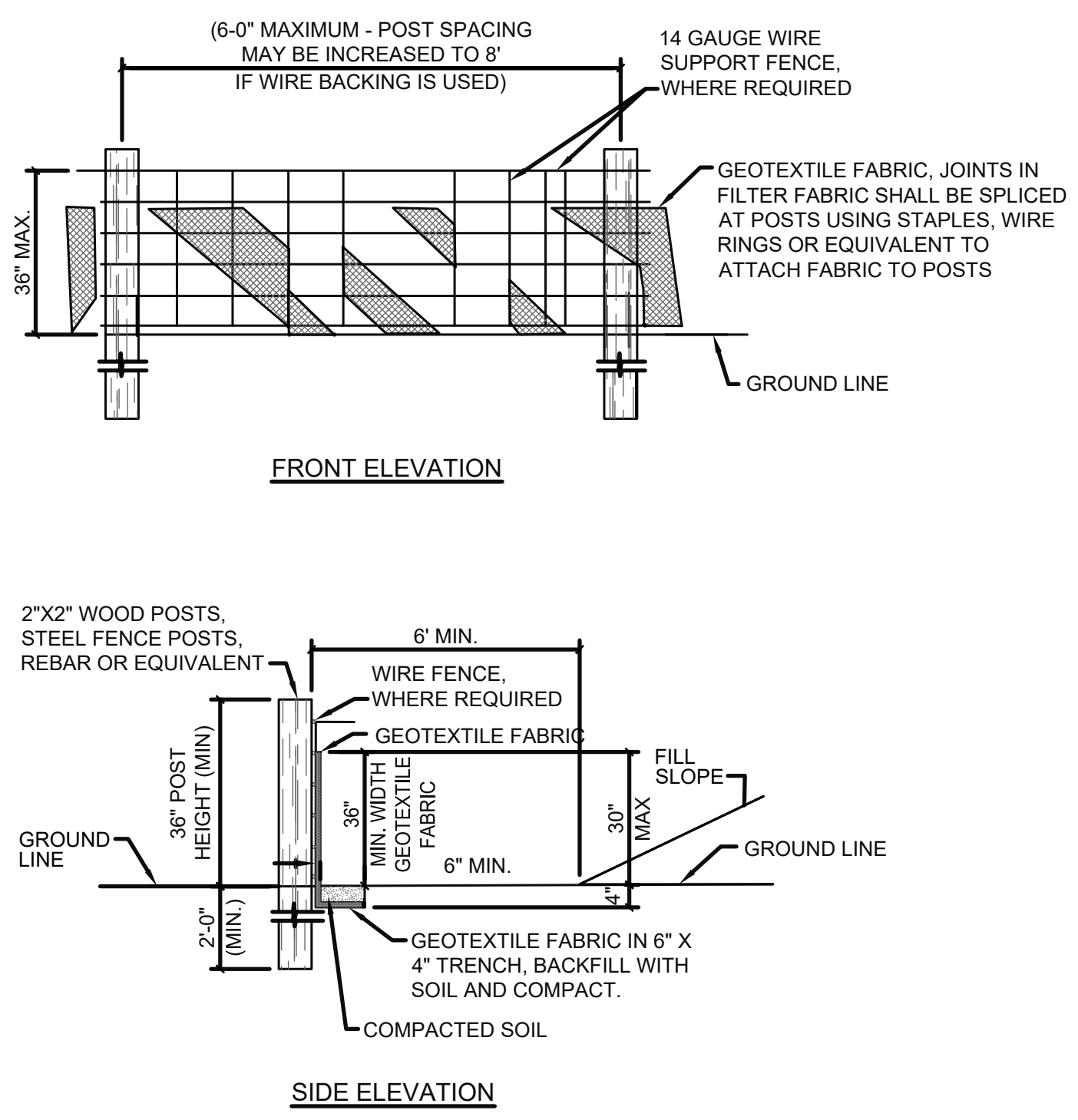
2 TYPICAL PERIMETER CONTROL DETAILS
 SCALE: NTS



PERIMETER CONTROL NOTES

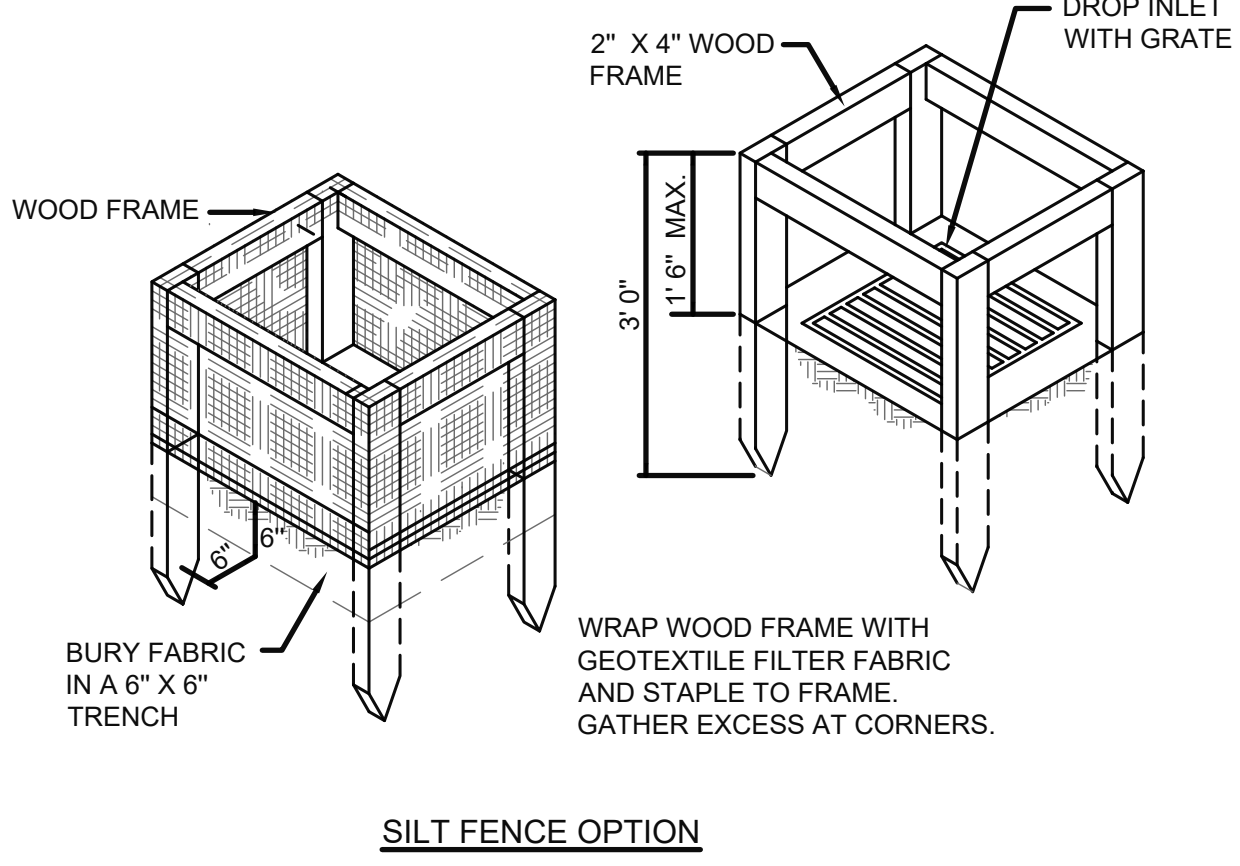
1. FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.
1. POSTS SHALL BE SPACED A MAXIMUM OF 6' O.C. SPACING MAY BE INCREASED TO 8' IF WIRE BACKING IS USED.
2. POSTS SHALL BE A MINIMUM OF 5'-0" IN LENGTH. IN ADDITION POSTS SHALL BE EITHER 2" x 2" N.D. WOOD POST OR HEAVY DUTY STEEL T-POSTS WITH PROJECTIONS FOR WIRE FASTENING.
3. WIRE SUPPORT FENCE SHALL BE A MINIMUM OF 36" IN HEIGHT. SHALL NOT EXTEND MORE THAN 36" ABOVE THE GROUND, AND SHALL EXTEND 2" INTO THE TRENCH.
4. WIRE FENCE SHALL BE A MINIMUM OF 14 GAUGE AND SHALL HAVE A MAXIMUM MESH SPACING OF 6". WIRE SHALL BE SECURELY FASTENED TO THE UPSLOPE, PROJECT SIDE OF POSTS USING HEAVY DUTY STAPLES (AT LEAST 1" LONG), TIE WIRES OR HOG RINGS.
5. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN HEIGHT, AND SHALL NOT EXTEND MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
6. FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AT THE TOP, MIDDLE, AND BOTTOM OF EACH POST. IN ADDITION THE FABRIC SHALL BE STAPLED OR WIRED TO THE WIRE FENCE APPROXIMATELY ONE HALF (1/2) THE DISTANCE BETWEEN THE POSTS AT THE TOP, MIDDLE AND BOTTOM OF THE WIRE FENCE.
7. GEOTEXTILE FABRIC SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF 3" OVERLAP. EACH FREE END OF THE FABRIC SHALL BE SECURELY TIED TO THE WIRE FENCE AT 6" O.C. VERTICALLY.
8. SILT FENCES SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. THE ENTIRE LENGTH OF FENCE SHALL BE CHECKED FOR ANY DAMAGES ON A DAILY BASIS AND BEFORE AND AFTER ANY RAINFALL EVENT, FOR ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAY'S END AT NO ADDITIONAL COST TO THE OWNER.
9. SILT FENCES SHALL BE MAINTAINED TO PREVENT ANY MATERIAL FROM MIGRATING FROM THE UPSLOPE SIDE OF THE FENCE. ANY REQUIRED MAINTENANCE OF THE SILT FENCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH RAINFALL EVENT AND WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF (1/2) THE HEIGHT OF THE FENCE.
11. IN ORDER TO PREVENT SEDIMENT LADEN STORM WATER FROM BY-PASSING THE FENCE, IN AREAS WHERE SILT FENCES ARE NOT UTILIZED ON ALL SIDES OF A DISTURBED AREA, THE FENCE SHALL EXTEND BEYOND THE DISTURBED AREA IN J-HOOK SHAPE ON EACH END AS SHOWN IN THE ISOLATED SILT FENCE INSTALLATION PLAN VIEW.

1 TYPICAL PERIMETER CONTROL DETAILS
 SCALE: N.T.S.

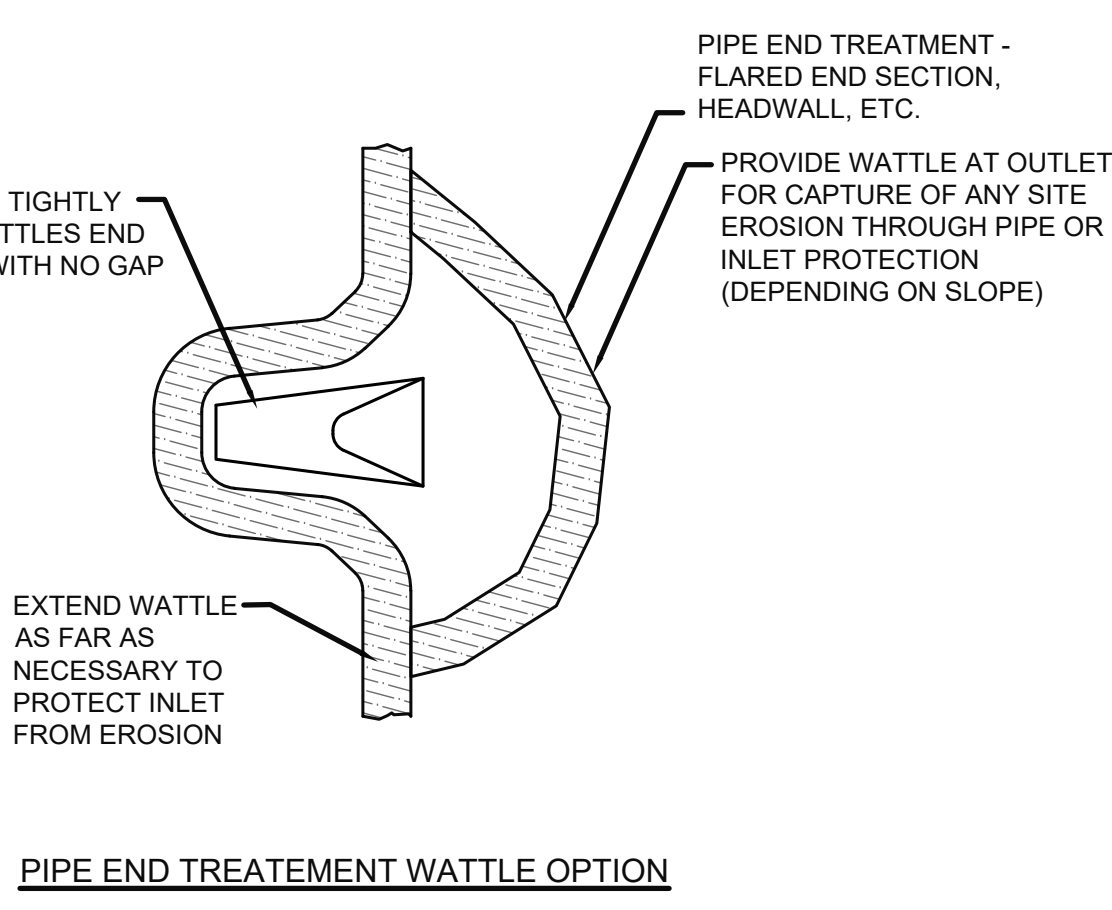
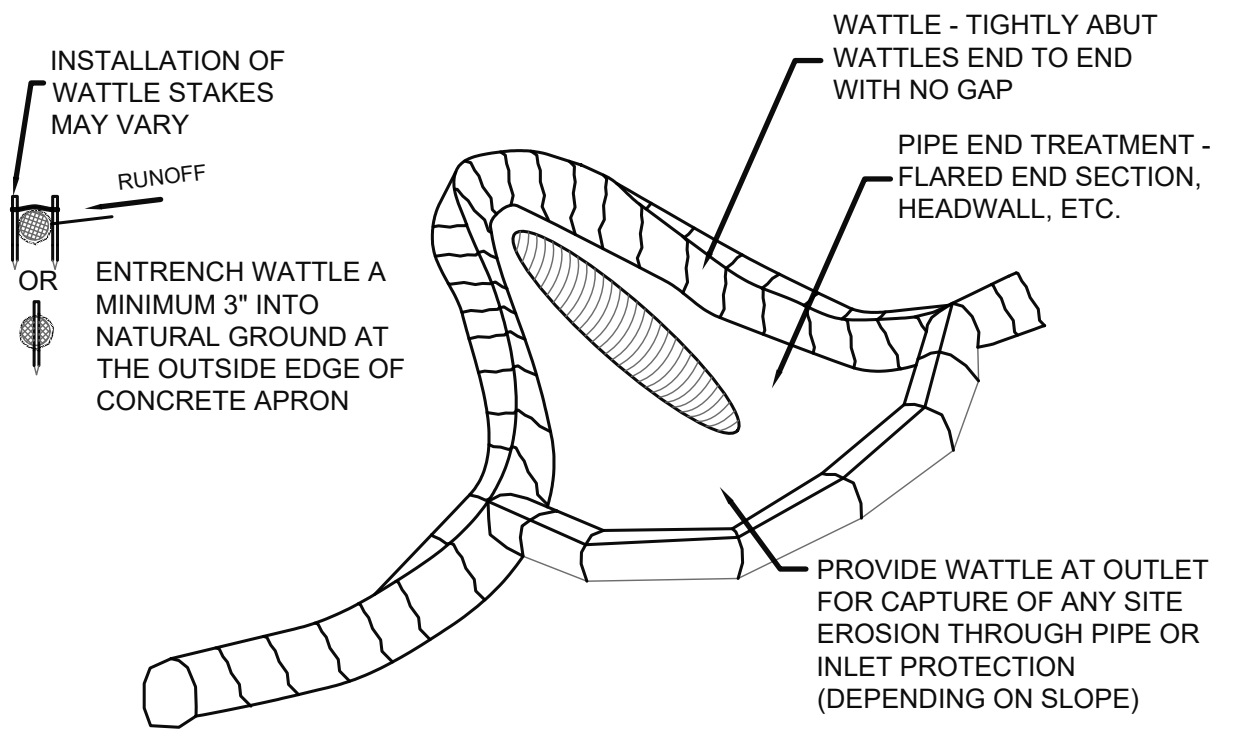


CONSTRUCTION ENTRANCE/EXIT NOTE

1. CRUSHED AGGREGATE SHALL BE COMPRISED OF STONE RANGING FROM 3" MINIMUM TO 6" MAXIMUM IN SIZE.
2. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT THE FLOW OF SEDIMENT ONTO PUBLIC ROADWAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
3. THE ENTRANCE SHALL BE PROPERLY MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC ROADWAY. ALL MAINTENANCE AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE ENTRANCE SHALL BE CHECKED ON A DAILY BASIS AND BEFORE AND AFTER ANY RAINFALL EVENT FOR ANY DAMAGES. ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAYS END.
5. MEASURES SHALL BE TAKEN TO PREVENT VEHICULAR TRAFFIC FROM BYPASSING THE CONSTRUCTION ENTRANCE DURING INGRESS AND EGRESS.



SILT FENCE OPTION



INLET STRAW ROLL WATTLE OPTION

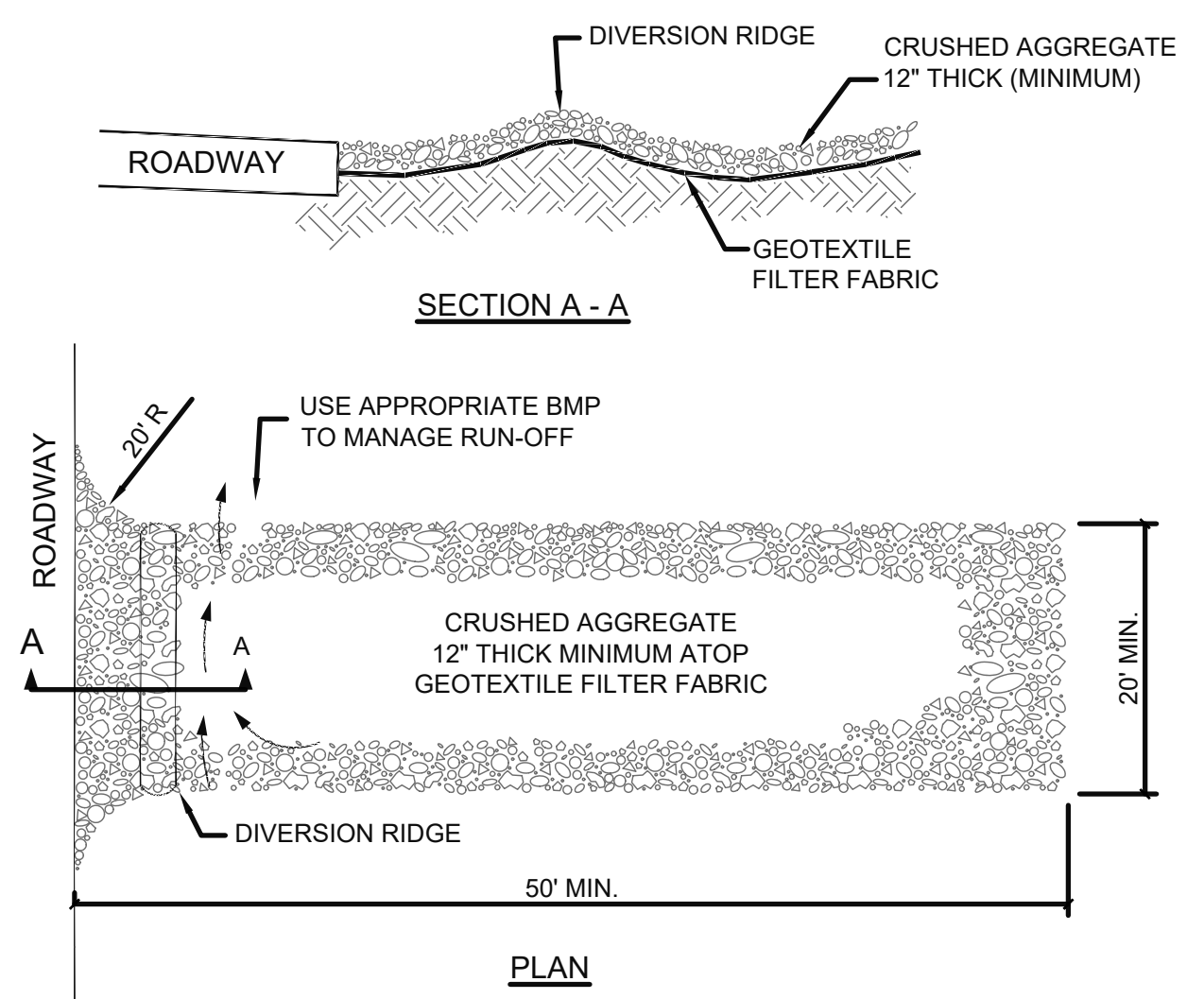
PIPE END TREATMENT WATTLE OPTION

EXCAVATION NOTES

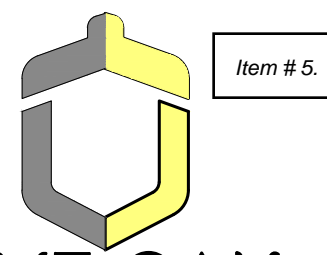
1. **EROSION CONTROL MEASURES:** THE INITIAL STEP FOR SITE PREPARATION SHALL BE TO ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES.
2. **DRAINAGE:** EFFECTIVE DRAINAGE, INCLUDING DITCHING AND/OR POSITIVE GRADING, SHOULD BE ESTABLISHED AT THE BEGINNING OF SITE DEVELOPMENT AND MODIFIED AS NECESSARY DURING CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
3. **CLEARING:** UPON COMPLETION OF DEMOLITION WORK THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING PAVEMENTS, SLABS, FOUNDATIONS, SIDEWALKS, ABANDONED UTILITIES, AND OTHER MISCELLANEOUS DEBRIS HAVE BEEN COMPLETELY REMOVED TO AT LEAST A MINIMUM OF 5 FEET BEYOND THE PROPOSED BUILDING FOOTPRINTS AND NEW PAVEMENT AREAS.
4. **STRIPPING:** ONCE ALL PAVEMENTS, FOUNDATION AND DEBRIS HAVE BEEN REMOVED, STRIPPING EXCAVATIONS SHOULD BE CONTINUED TO APPROXIMATELY 6" BELOW EXISTING GRADE. STRIPPING EXCAVATION SHALL BE CARRIED OUT TO AT LEAST A MINIMUM OF 5 FEET BEYOND THE PROPOSED BUILDING FOOTPRINTS AND NEW PAVEMENT AREAS.
5. **TOPSOIL:** CONTRACTOR SHALL STOCKPILE TOPSOIL AND OTHER SUITABLE FILL MATERIAL TO BE REUSED ON SITE. ALL UNSUITABLE SOILS SHALL BE REMOVED FROM THE SITE.
6. **SUB-GRADE PREPARATION:** ONCE ALL TOPSOIL, ORGANIC MATERIALS, AND/OR OTHER UNSUITABLE SOILS HAVE BEEN REMOVED, THE FILL AREAS SHOULD BE LEVELED AND SEATED USING A STATIC ROLLER AND THEN PROOF-ROLLED USING A LOADED TANDEM AXLE DUMP TRUCK WEIGHING AT LEAST 20 TONS TO IDENTIFY AREAS OF WEAK SOIL.
7. **MUCK:** WHEN EXCAVATIONS ENCOUNTER UNSUITABLE MATERIALS BELOW THE BOTTOM OF THE STRIPPING AND UNDERCUT EXCAVATIONS, THE CONTRACTOR WILL BE REQUIRED TO REMOVE THE MATERIAL AND BACKFILL WITH APPROPRIATE FILL MATERIAL AS APPROVED BY THE ENGINEER. THE DEPTH AND WIDTH OF MUCK EXCAVATION WILL BE AS DIRECTED OR APPROVED BY THE ENGINEER. THE CONTRACTOR WILL NOT BE COMPENSATED FOR EXCAVATION BEYOND THE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE PLANS OR EXCAVATION THAT HAS NOT BEEN DIRECTED OR APPROVED BY THE ENGINEER. ALL MUCK AND FILL FORMATIONS BELOW THE BOTTOM OF THE STRIPPING/UNDERCUT EXCAVATIONS SHALL BE MEASURED AS UNIT PRICE PAY ITEMS PER THE UNSUITABLE SOILS ALLOWANCE.
8. **ON-SITE SOILS:** ON-SITE SOILS ARE SUITABLE TO USE AS STRUCTURAL FILL BUT WILL LIKELY REQUIRE MOISTURE CONDITIONING TO MEET THE REQUIREMENTS OF STRUCTURAL FILL. IF CONSTRUCTION IS PERFORMED DURING THE WET SEASON THE NEAR SURFACE SOILS MAY BECOME UNSTABLE UNDER CONSTRUCTION TRAFFIC AND REQUIRE ADDITIONAL UNDERCUT.
9. **STRUCTURAL FILL:** IF REQUIRED, STRUCTURAL FILL MATERIAL SHOULD BE SILTY SAND, CLAYEY SAND, OR LEAN CLAY (UNIFIED CLASSIFICATION SM, SC, OR CL) TYPE SOIL. THE PLASTICITY INDEX OF FILL SHOULD BE A MAXIMUM OF 20 AND HAVE A MAXIMUM LIQUID LIMIT OF 40.
10. **COMPACTION:** MATERIALS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY PER STANDARD PROCTOR (ASTM D 698). COMPACTION SHOULD BE ACHIEVED PRIOR TO PLACING SUBSEQUENT LIFTS. FILL SOILS SHOULD BE PLACED IN MAXIMUM LOOSE LIFTS OF 8" AT A MOISTURE CONTENT COMPARABLE (±3%) TO THE OPTIMUM MOISTURE CONTENT ESTABLISHED IN THE LABORATORY.
11. **TESTING:** IN PLACE DENSITY TESTS SHOULD BE MADE PER 2,500 SQUARE FEET PER LIFT WITHIN THE BUILDING FOOTPRINT AND 5,000 SQUARE FEET PER LIFT UNDER PAVEMENT.

5 EXCAVATION DETAIL AND NOTES
 SCALE: NTS

3 TYPICAL CONSTRUCTION ENTRANCE/EXIT DETAIL
 SCALE: NTS



4 TYPICAL INLET/OUTLET PROTECTION DETAIL
 SCALE: NTS

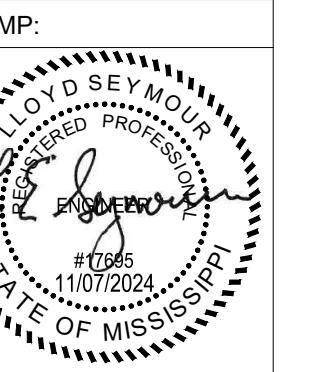


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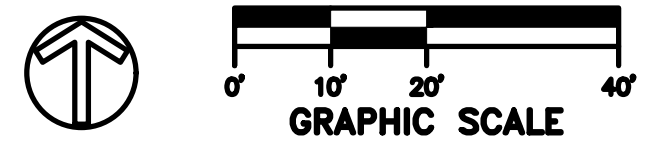


SHEET TITLE:
SITE PLAN

DATE: 11-7-2024
SHEET NUMBER: 5 OF 13

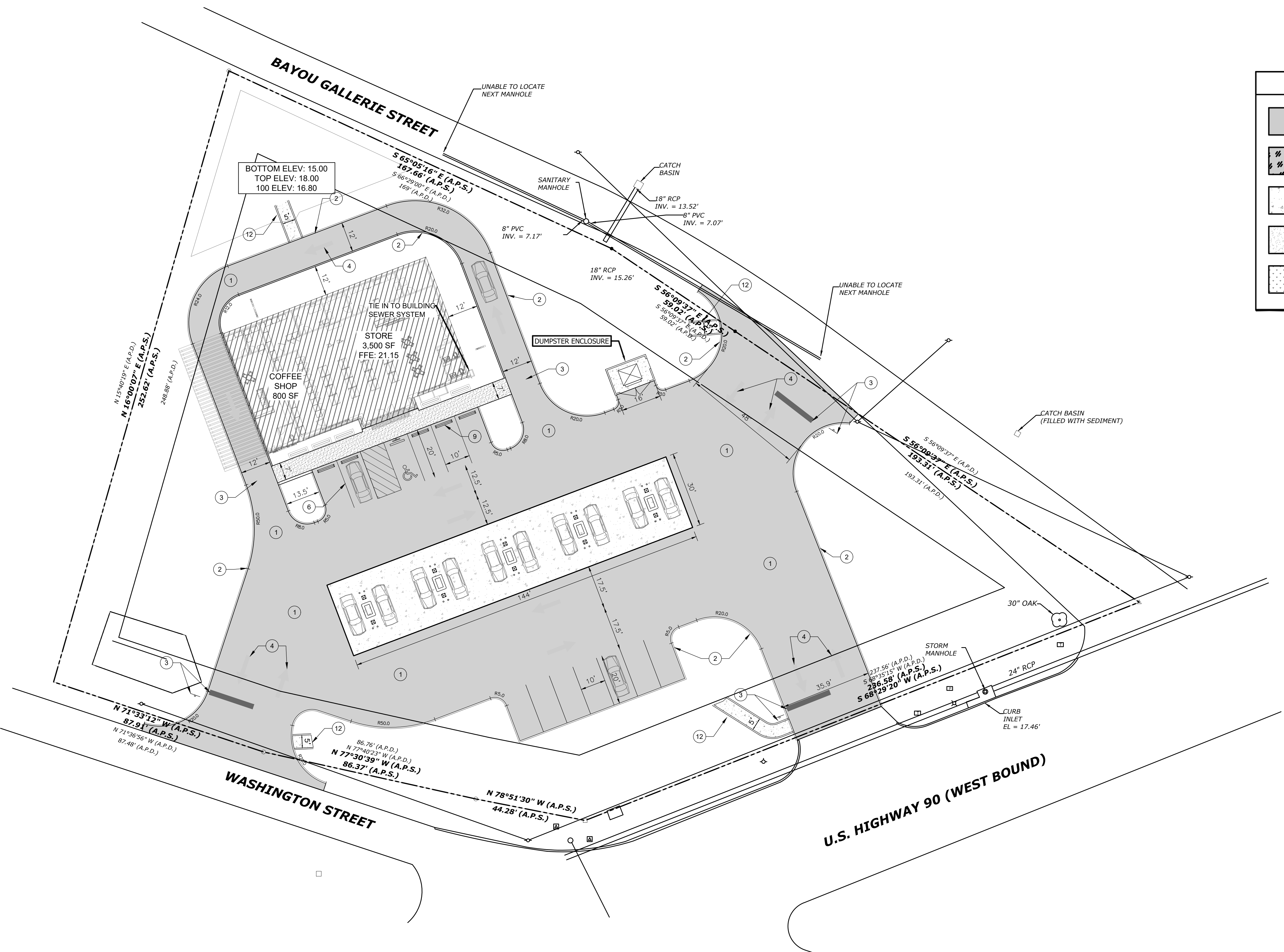
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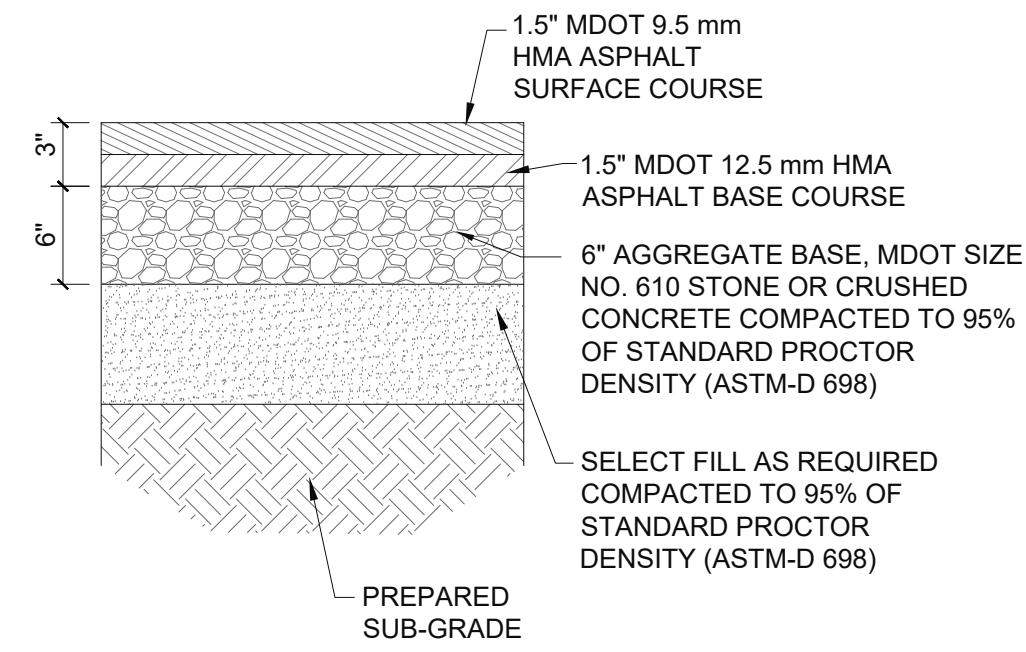


CIVIL SITE LEGEND	
	DENOTES LIGHT DUTY ASPHALT PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES HEAVY DUTY ASPHALT PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES 6" HEAVY DUTY CONCRETE PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES 4" CONCRETE SIDEWALK PAVEMENT (SEE PAVEMENT DETAILS)
	DENOTES GRASS PAVERS WITH PAVER EDGE (SEE PAVEMENT DETAILS)

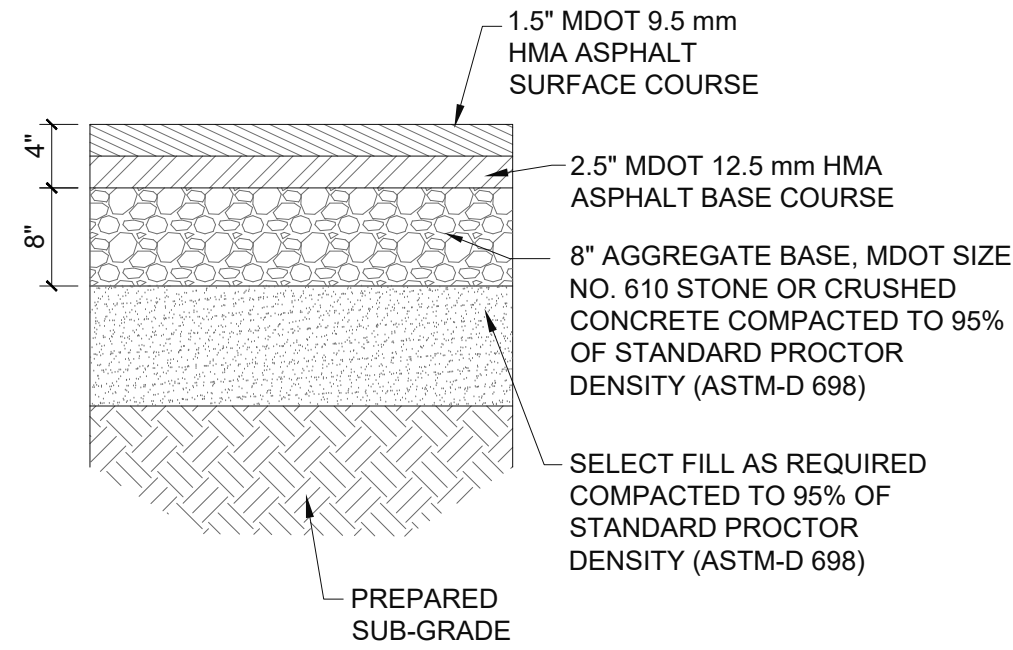
SITE WORK KEYNOTES	
①	HEAVY DUTY ASPHALT PAVEMENT AND GRANULAR BASE (DTL 2 & PAGE 250).
②	6" WIDE CONCRETE CURB/GUTTER (DTL 5 PAGE 250).
③	STOP BAR AND STOP SIGN
④	HORIZONTAL DEMARICATION PAINTING
⑤	GREEN SPACE TO RECEIVE TOPSOIL AND SOD. TOPSOIL MUST CONTAIN NO STONES ROOTS, TRASH, ETC. AND MUST BE UNIFORMLY DISTRIBUTED TO RECEIVE SOD PROVIDE AND INSTALL IRRIGATION SYSTEM AS REQUIRED FOR LOCAL CLIMATE CONDITIONS.
⑥	4" WIDE PAINTED TRAFFIC STRIPES WHITE.
⑦	HEAVY DUTY CONCRETE PAVEMENT
⑧	GAS DISPENSER
⑨	CAR STOP
⑩	CONCRETE STOP
⑪	PICK UP WINDOW
⑫	CONCRETE FLUME



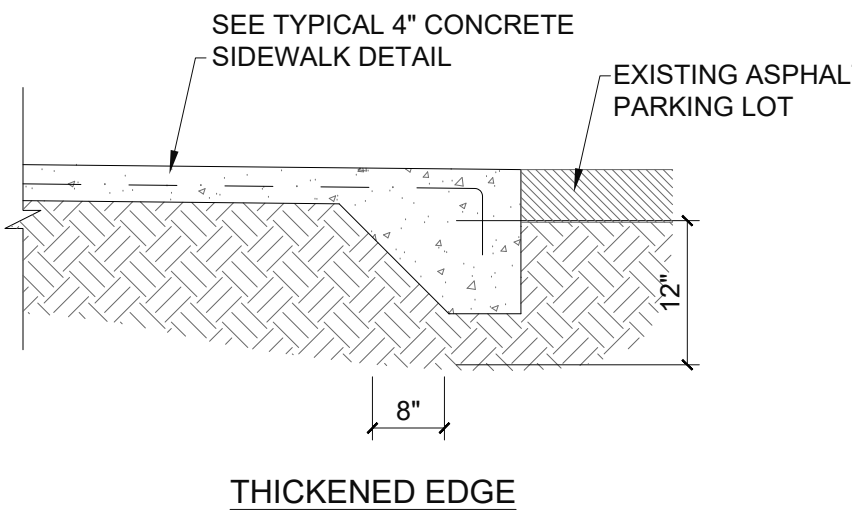
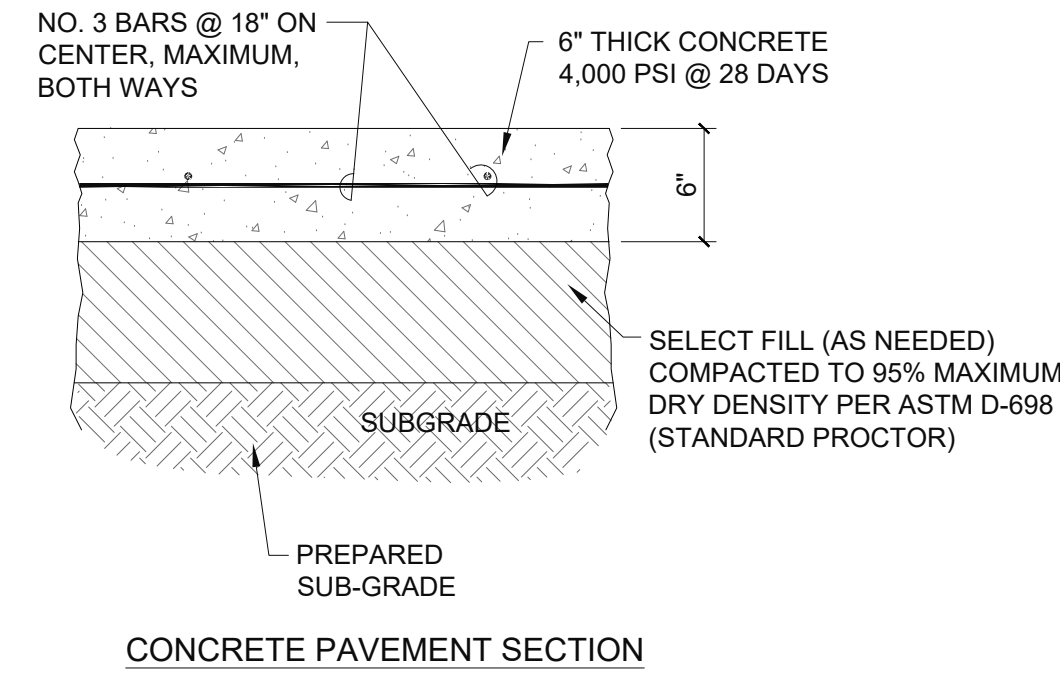
1 CIVIL SITE PLAN
SCALE: 1" = 20'



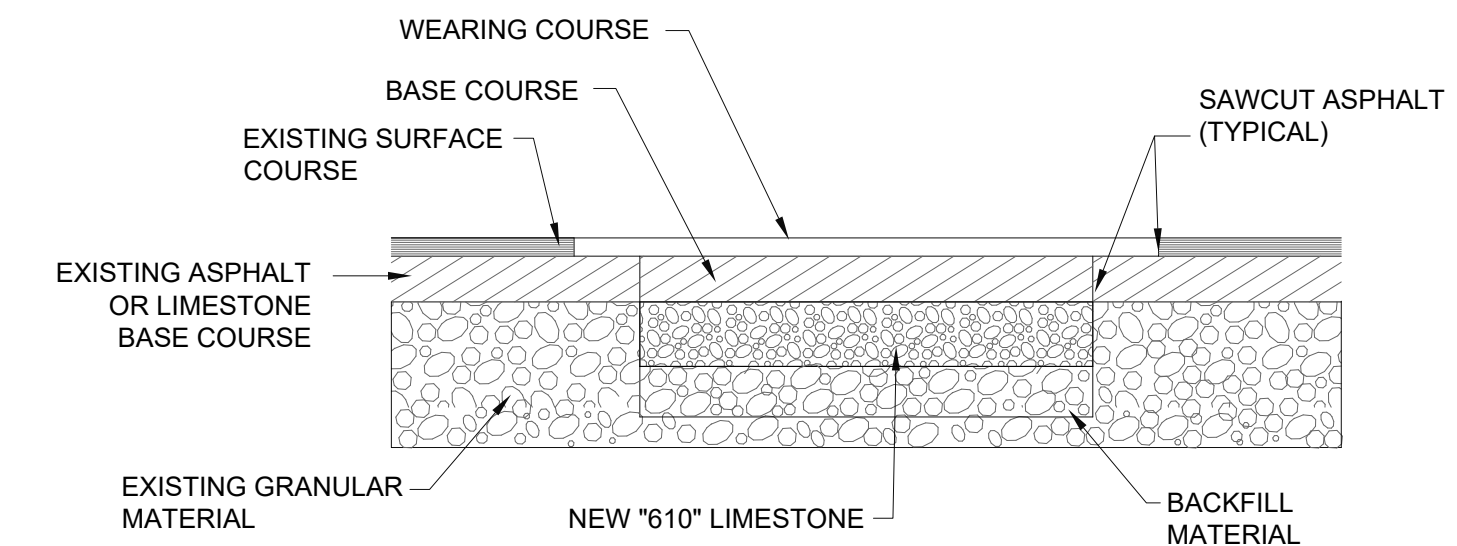
1 TYPICAL LIGHT DUTY ASPHALT PAVEMENT SECTION
SCALE: NTS



2 TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION
SCALE: NTS



3 TYPICAL 6" CONCRETE PAVEMENT DETAILS
SCALE: NTS



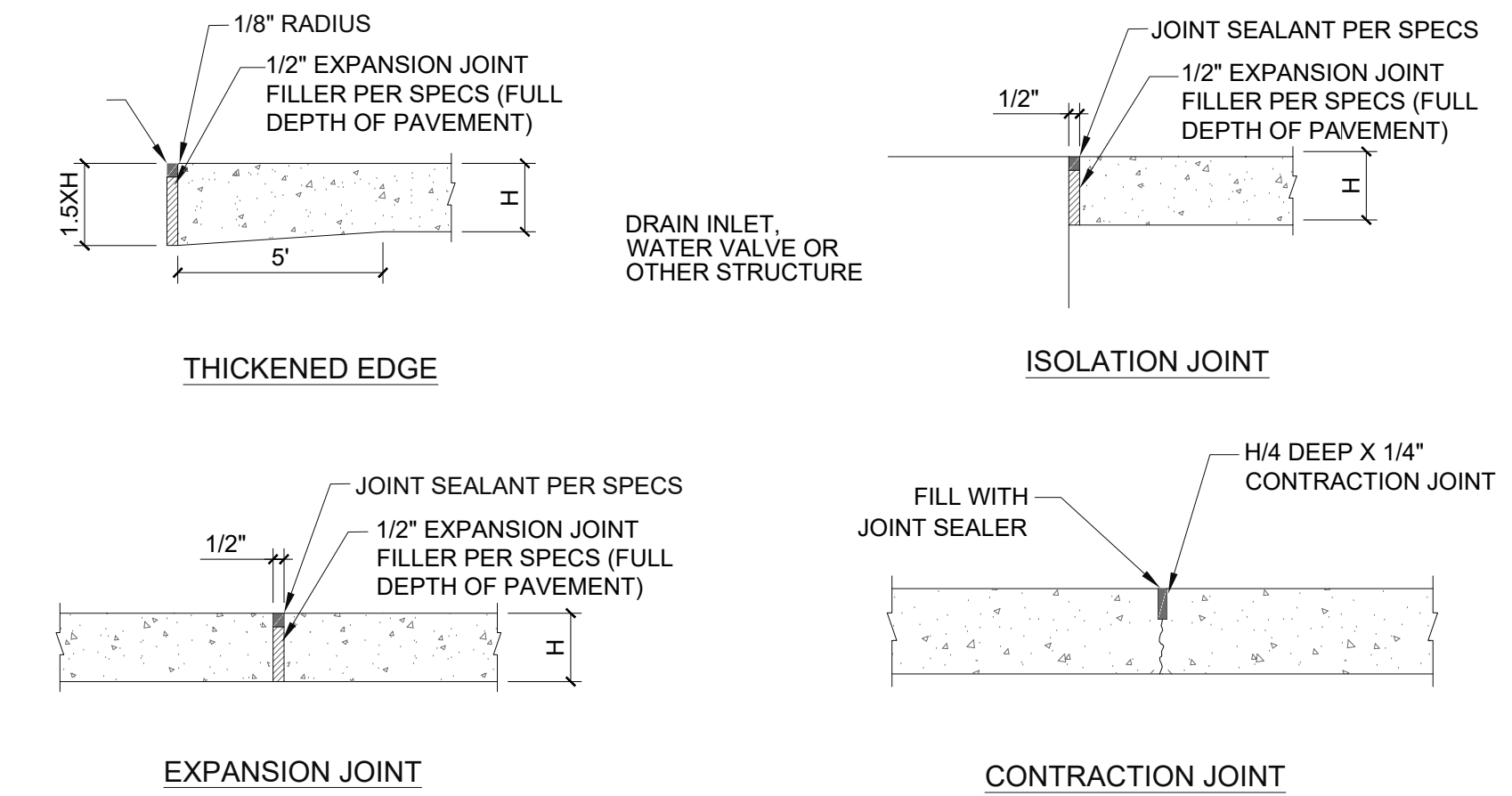
ASPHALT STREET REPAIR NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF MISSISSIPPI DEPARTMENT OF TRANSPORTATION STANDARDS.
- MIX DESIGNS: BASE COURSE: HMA, TYPE ST, 19 mm
WEARING COURSE: HMA, TYPE ST, 9.5 mm
- EXISTING GRANULAR MATERIAL, NEW BACKFILL MATERIAL AND NEW "610" LIMESTONE SHALL BE COMPACTED TO 95% PROCTOR PER ASTM D1557.
- TACK COAT SHALL BE APPLIED WHERE NEW ASPHALT MEETS EXISTING ASPHALT.
- REFER TO OTHER DETAILS FOR UTILITY PLACEMENT AND PAVEMENT MARKINGS AS APPLICABLE.

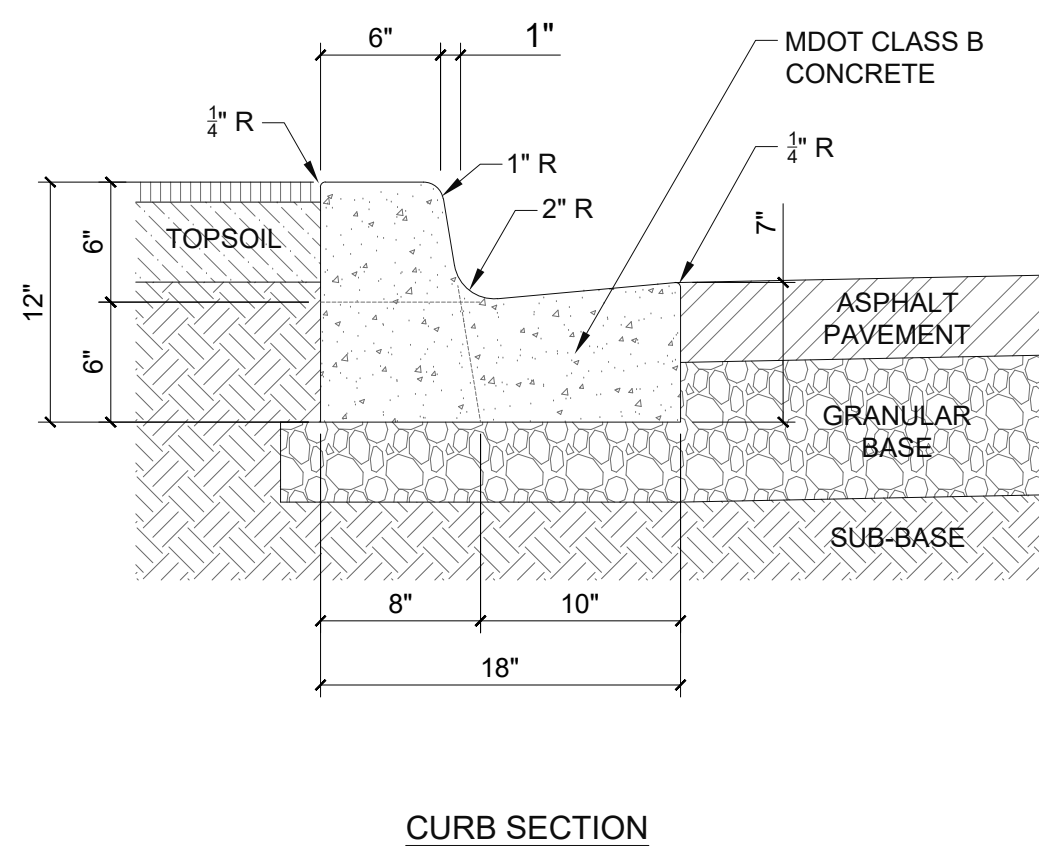
4 TYPICAL ASPHALT STREET PAVEMENT REPAIR SECTION
SCALE: NTS

4" CONCRETE PAVEMENT NOTES

- ALL JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 330R-08 OR SECTION 3.07 IN THE NRMCA GUIDE SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE LOCATED WHERE SIDEWALK ABUTS CONCRETE DRIVEWAYS, CURB OR OTHER ADJACENT STRUCTURES.
- CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF APPROXIMATELY 5 FEET OR AT A SPACING THAT MATCHES THE ADJACENT CURB.
- JOINTS SHALL BE PROVIDED WITHIN TWELVE (12) HOURS OF FINISHING CONCRETE.
- CONTRACTION JOINT CUTS SHALL BE 1/4 OF THE PAVEMENT THICKNESS DEEP. THE WIDTH OF THE CUT SHOULD BE APPROXIMATELY 1/8 INCH FOR UNSEALED JOINTS AND 1/4 INCH FOR SEALED JOINTS.
- FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" RADIUS.
- SCORED JOINTS SHALL BE 1/4" DEEP AND PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK OR MATCH SCORED JOINTS OF ADJACENT CURB.
- CONCRETE SHALL BE FINISHED BY MEANS OF A FLOAT, STEEL TROWELLED AND BROOMED WITH A FINE BRUSH IN A TRANSVERSE DIRECTION.
- CONTRACTOR SHALL INSTALL CONTRACTION JOINTS AT THE END OF ONE PLACEMENT AND THE BEGINNING OF A SECOND PLACEMENT.
- CONTRACTOR SHALL CONTINUE CONTRACTION JOINTS THROUGH CURB AND GUTTER TO HELP ELIMINATE SYMPATHY CRACKS.

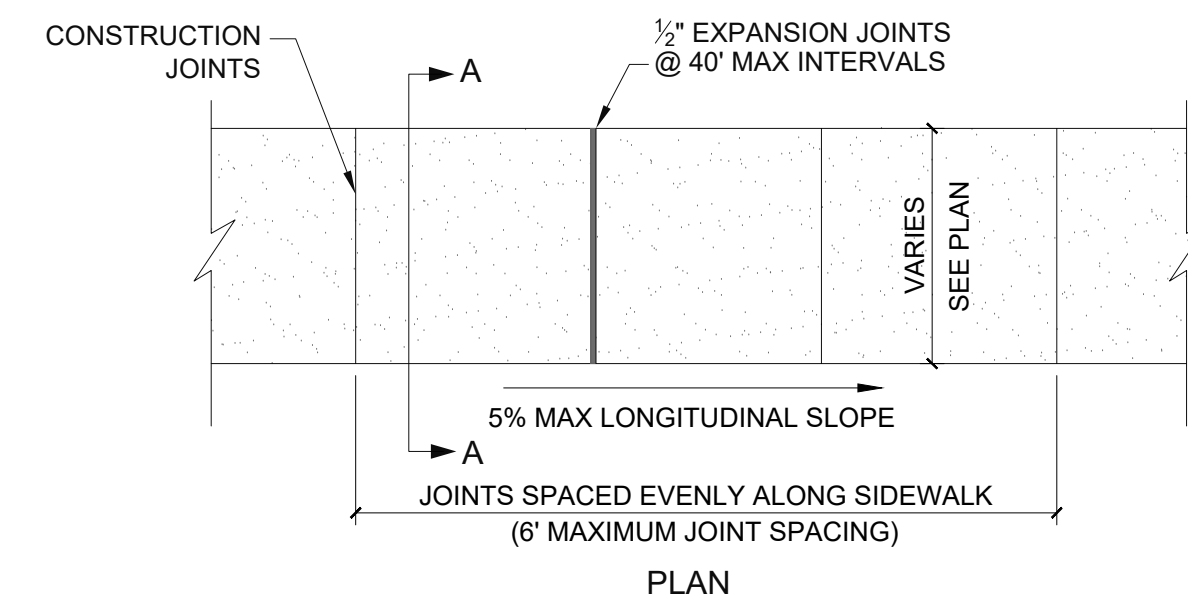
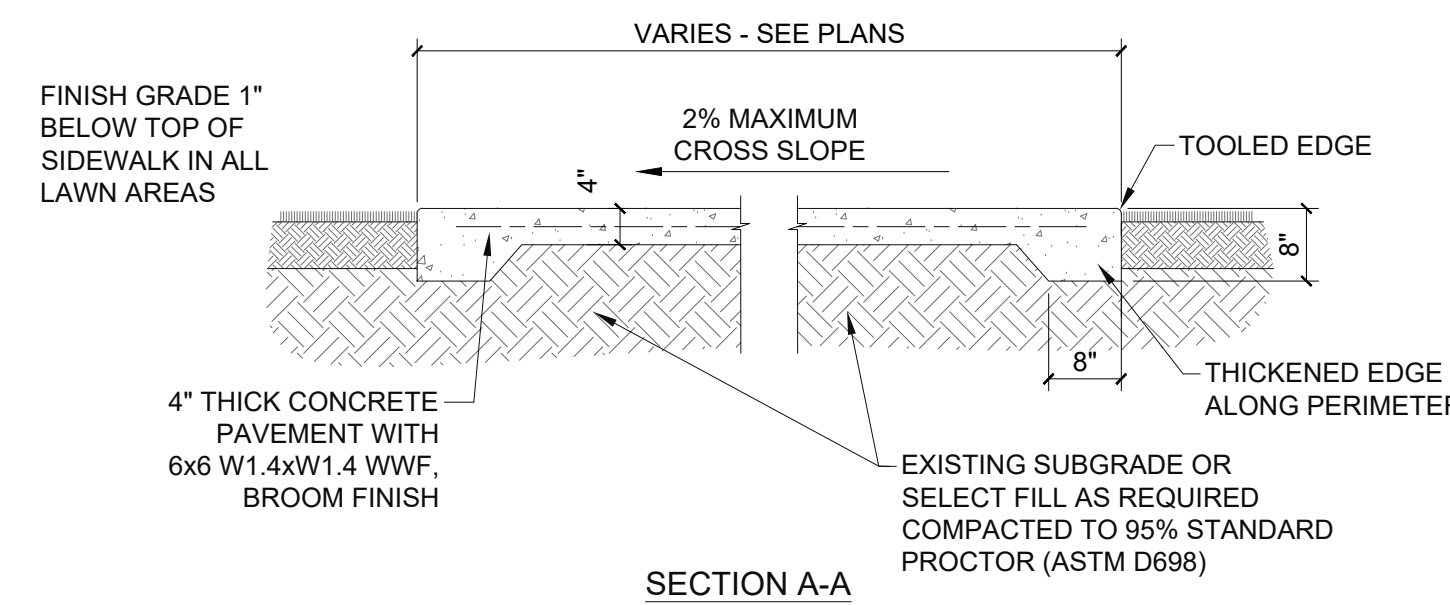


7 TYPICAL CONCRETE JOINT DETAILS
SCALE: NTS

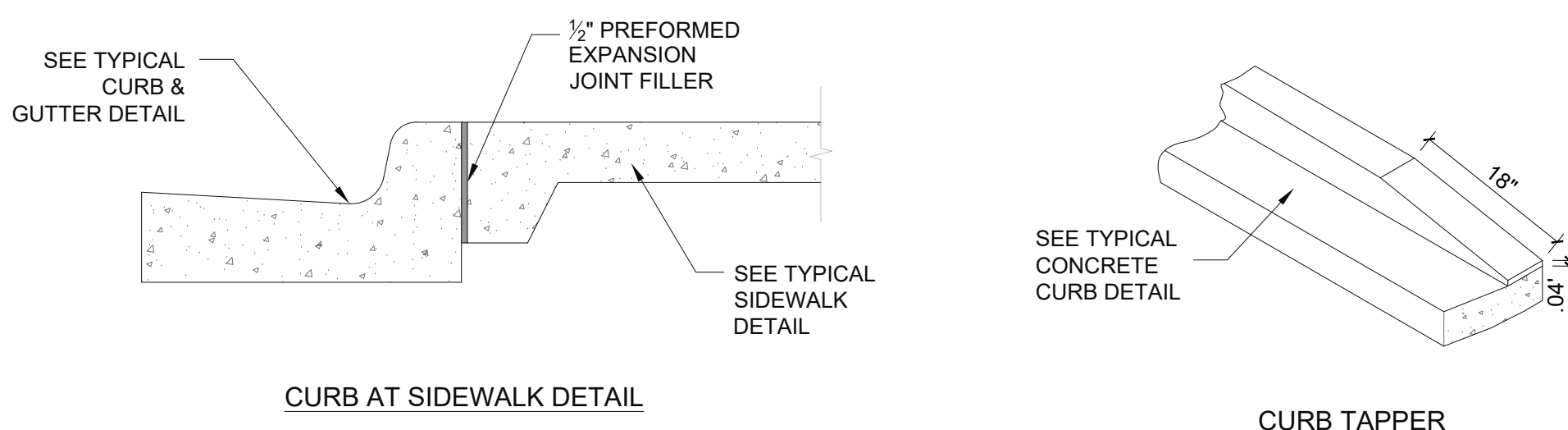


CURB & GUTTER NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST ADDITION OF ACI 330R.
- EXPANSION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' APART AND AT ALL RADIUS POINTS, PT'S, AND PC'S.
- EXPANSION JOINTS SHALL BE LOCATED WHERE CURB ABUTS CONCRETE DRIVEWAYS, SIDEWALKS OR OTHER ADJACENT STRUCTURES.
- CONTRACTION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.
- JOINTS SHALL BE PROVIDED WITHIN TWELVE (12) HOURS OF FINISHING CONCRETE.
- 1/2 INCH BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
- CONTRACTION JOINT SHALL BE TOOLED AND BE 1/4 OF THE PAVEMENT THICKNESS DEEP. THE WIDTH OF THE TOOL SHOULD BE APPROXIMATELY 1/8 INCH FOR UNSEALED JOINTS AND 1/4 INCH FOR SEALED JOINTS.
- FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" RADIUS.



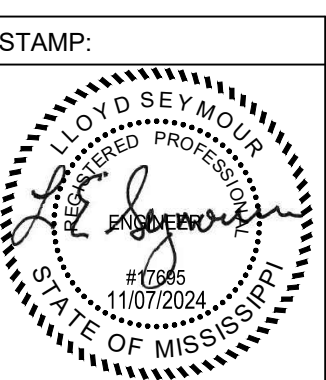
6 TYPICAL 4" CONCRETE SIDEWALK DETAILS
SCALE: NTS



5 TYPICAL CONCRETE CURB DETAIL
SCALE: NTS

SHEET REVISIONS:

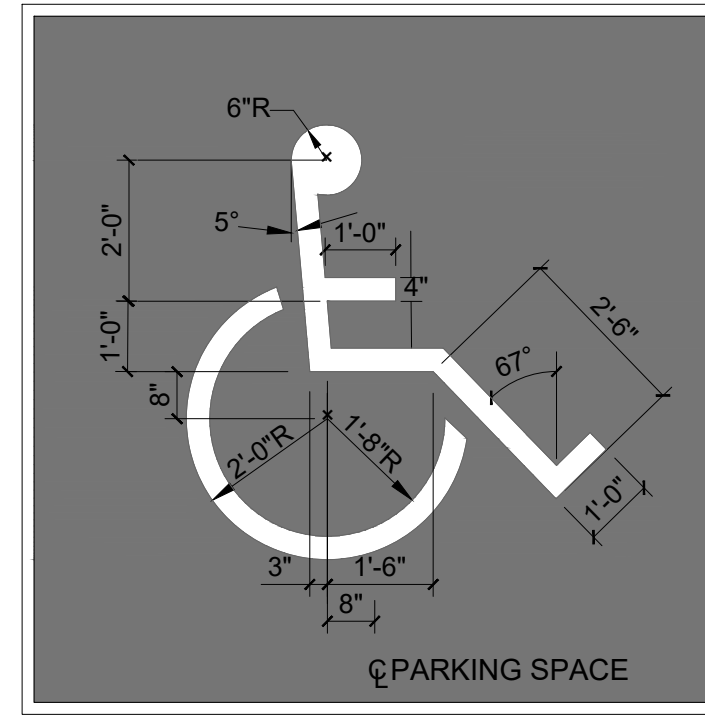
#	DATE/REFERENCE



SHEET TITLE:
SITE DETAILS

DATE: 11-7-2024
SHEET NUMBER: 6 OF 13

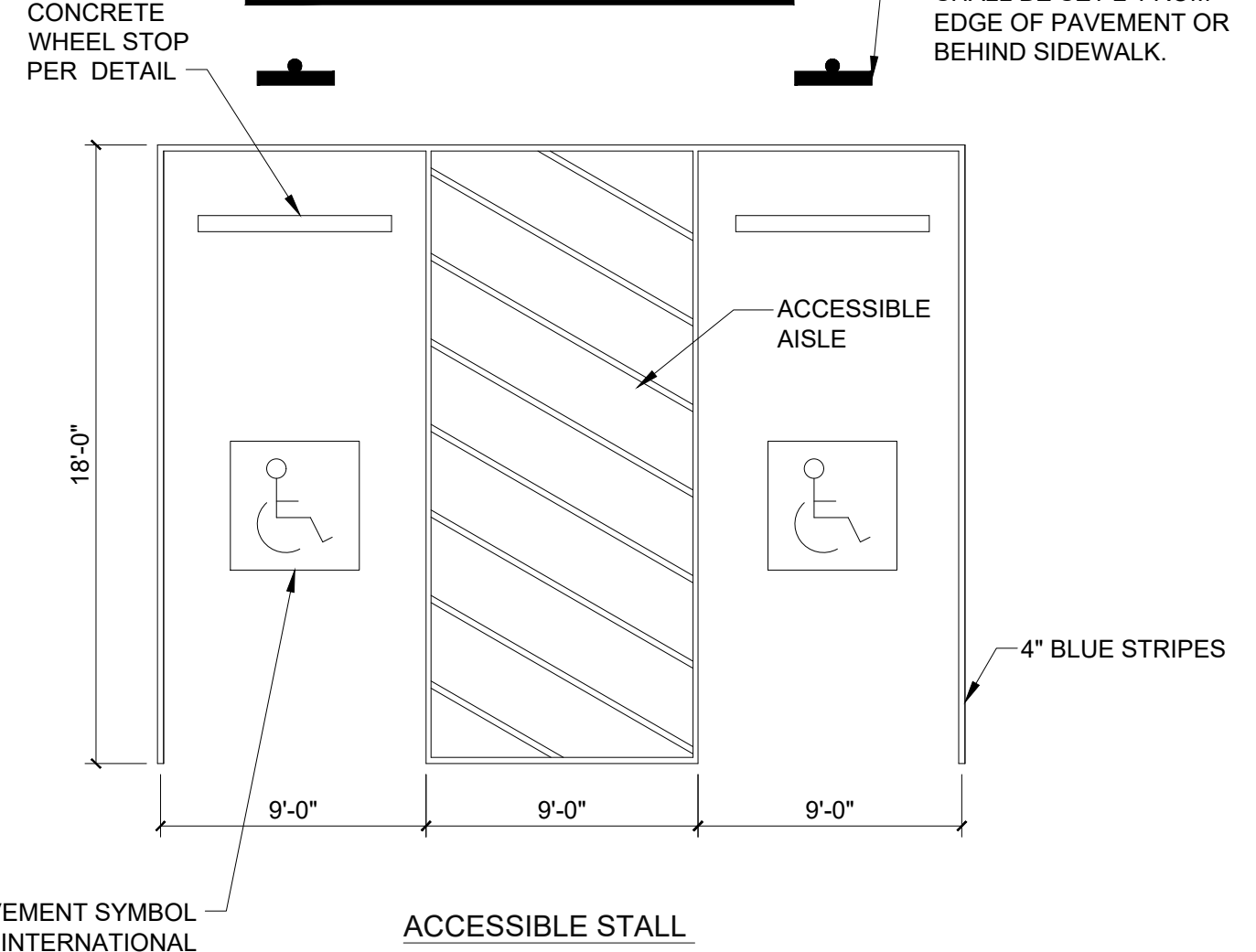
C250



ACCESSIBLE SYMBOL

- HANDICAP SYMBOL DETAIL NOTES**
- PAVEMENT SYMBOL SHALL BE PAINTED WHITE ON A BLUE BACKGROUND.
 - BLUE COLOR SHALL MATCH NO. 15090 IN THE FEDERAL STANDARD 595B AS SPECIFIED IN SECTION 522(B)2.

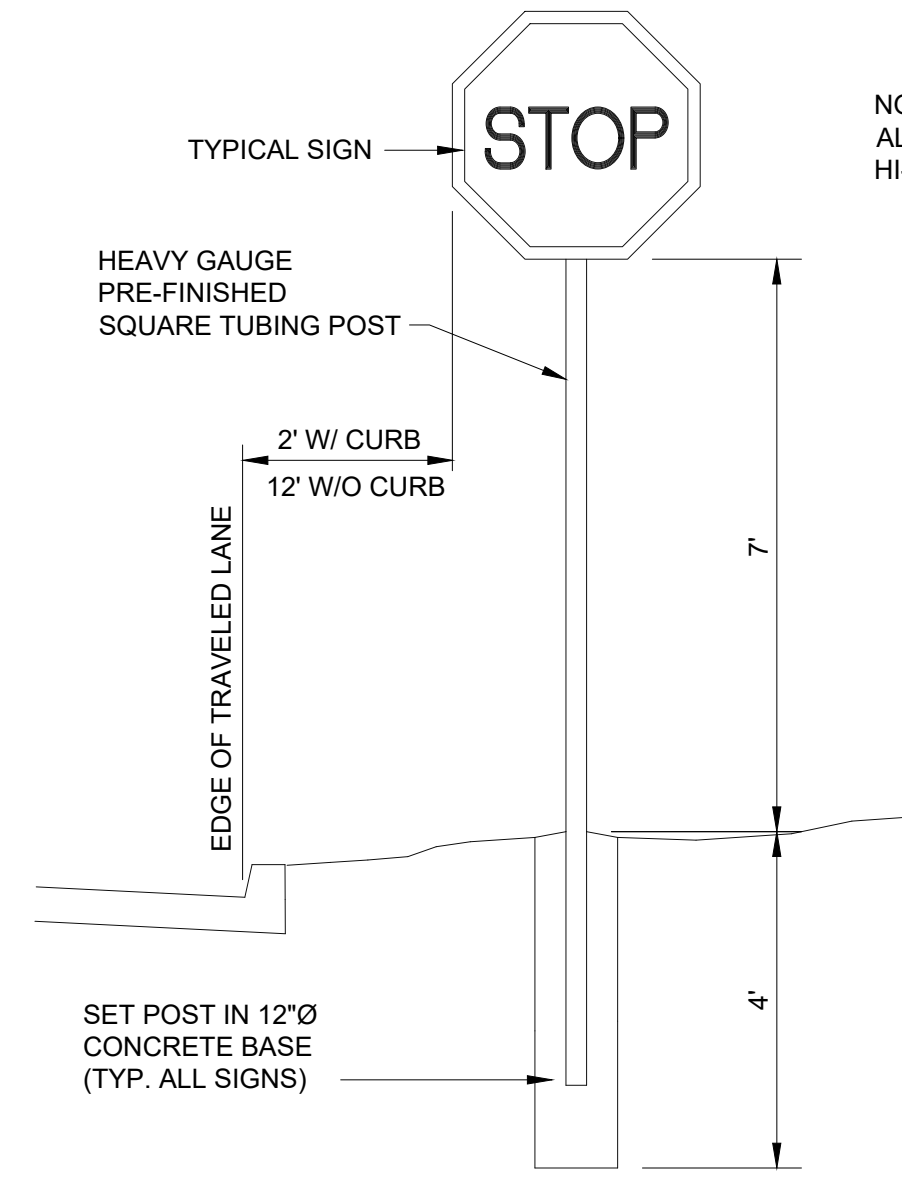
- ACCESSIBLE STALL NOTES**
- ALL STRIPING CONTIGUOUS TO HANDICAPPED PARKING SPACES SHALL BE BLUE.
 - ALL ACCESSIBLE STALL MARKINGS SHALL BE THERMOPLASTIC.
 - ACCESSIBLE PARKING GRADES SHALL NOT EXCEED 1:50 IN ANY DIRECTION.



TYPICAL PAVEMENT SYMBOL PER INTERNATIONAL HANDICAP SYMBOL DETAIL

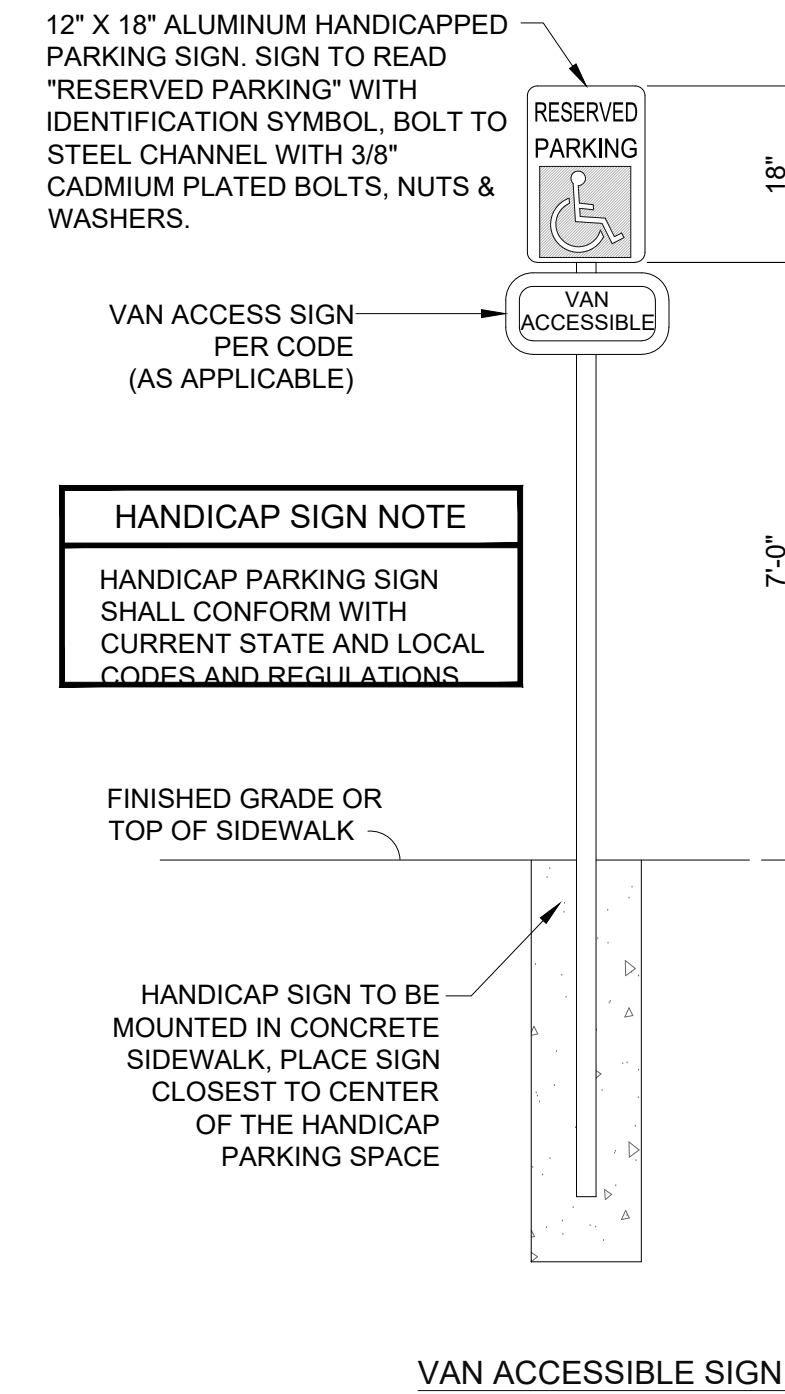
ACCESSIBLE STALL

HANDICAP PARKING SIGNS SHALL BE SET 2' FROM EDGE OF PAVEMENT OR BEHIND SIDEWALK.



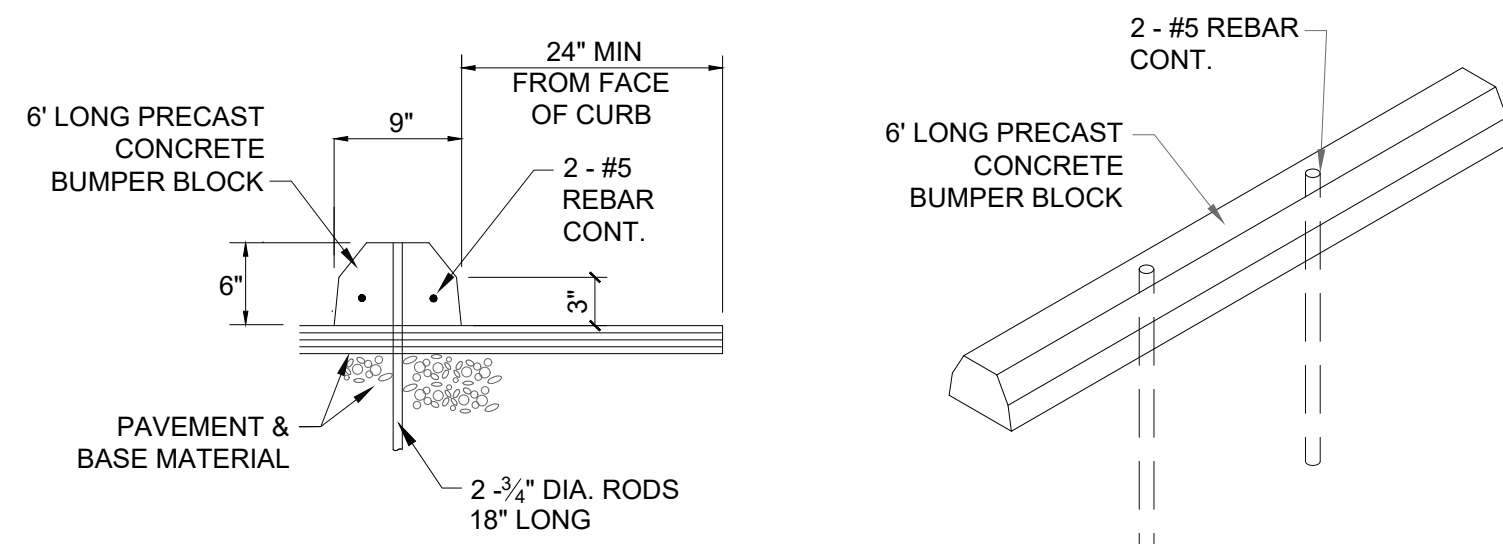
NOTE: ALL SIGNS SHALL BE HI-INTENSITY SHEETING.

2 TYPICAL SIGN INSTALLATION DETAIL
C251 SCALE: NTS

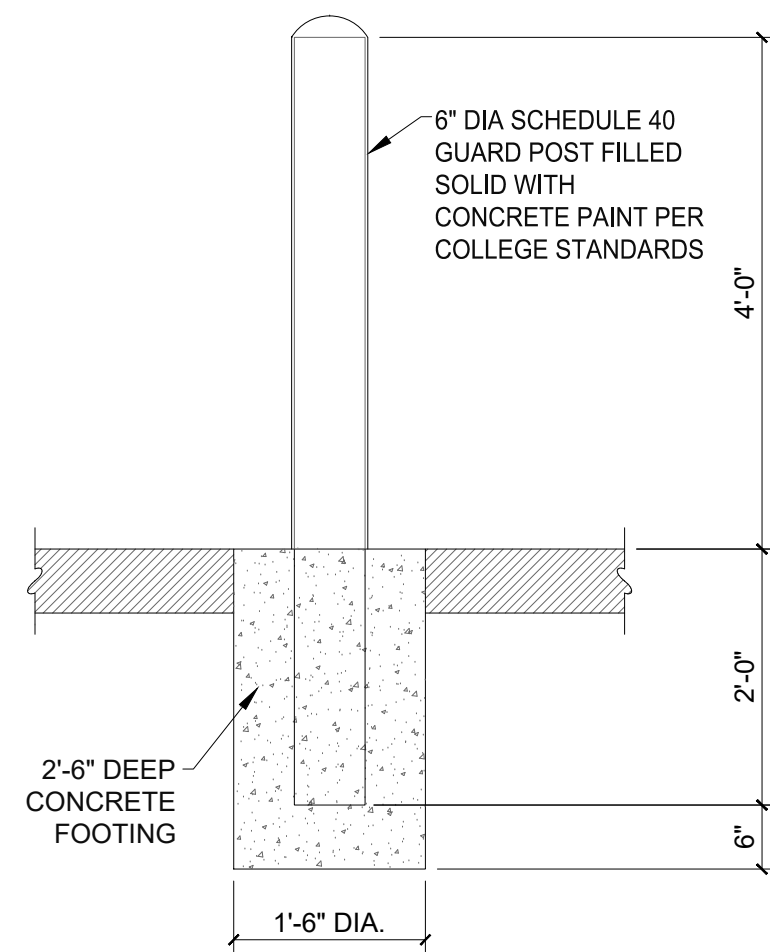


- HANDICAP SIGN NOTE**
- HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

3 TYPICAL ACCESSIBLE SIGN DETAIL
C251 SCALE: NTS



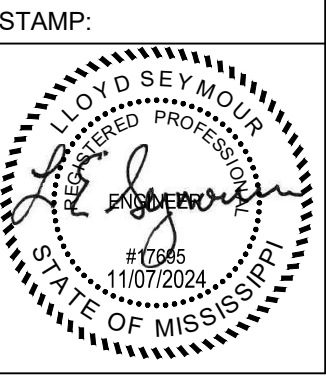
4 TYPICAL CONCRETE WHEEL STOP DETAIL
C251 SCALE: NTS



5 TYPICAL 6" BOLLARD DETAIL
C251 SCALE: NTS

SHEET REVISIONS:

#	DATE/REFERENCE

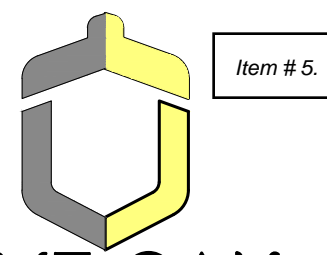


SHEET TITLE:

SITE DETAILS

DATE: 11-7-2024
SHEET NUMBER: 7 OF 13

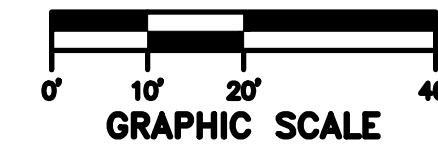
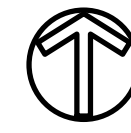
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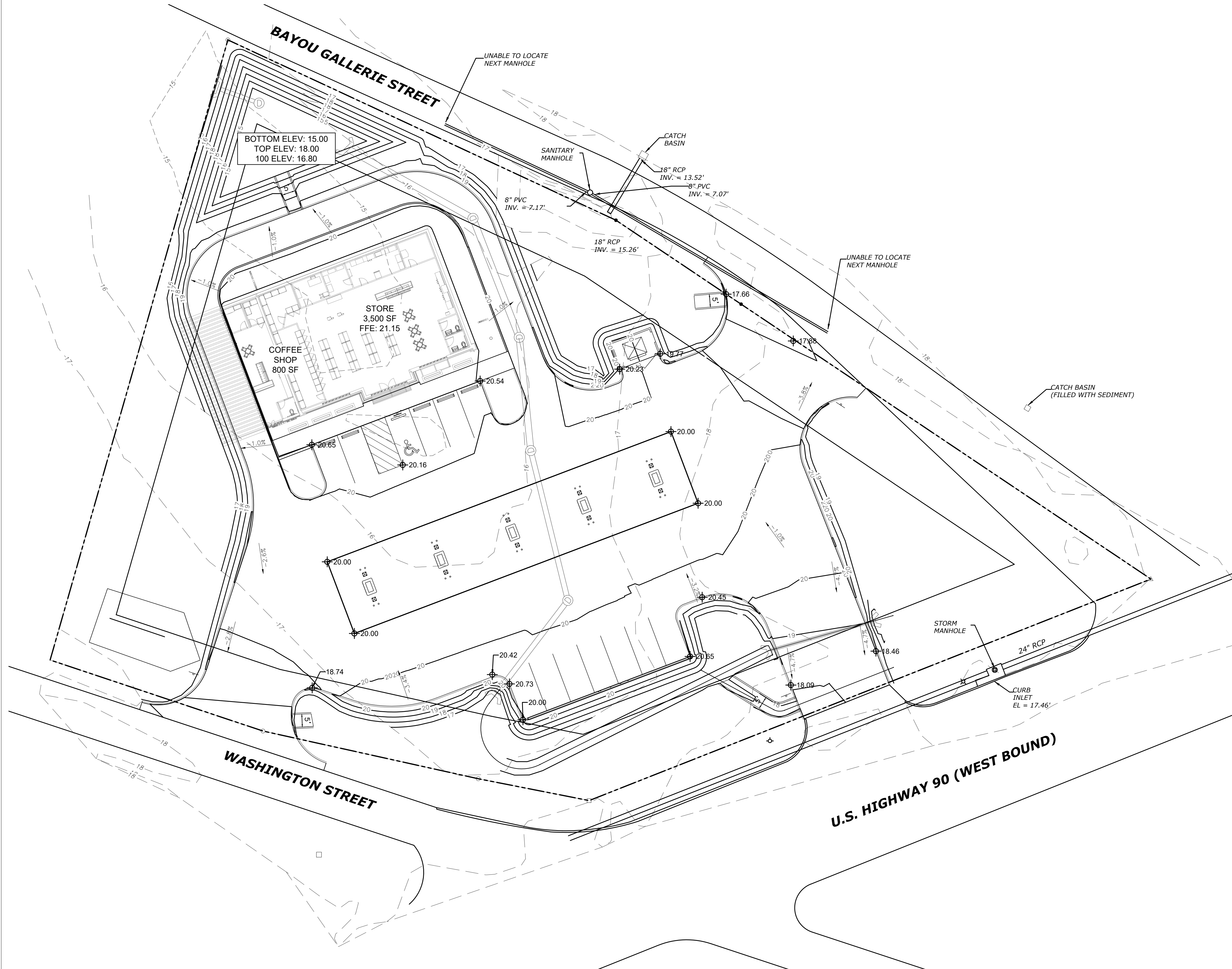
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BIRMINGHAM, AL 35233
955B HOWARD AVENUE
BILOXI, MS 39530
LIVEOAKENGINEERING.COM
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HANCOCK COUNTY, MISSISSIPPI
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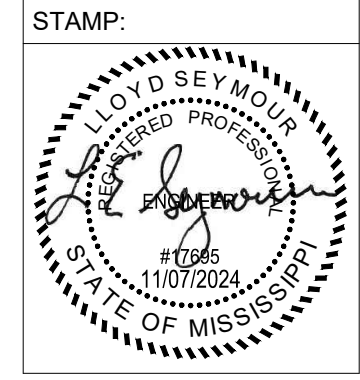
ELEV =



- ### SITE GRADING AND DRAINAGE NOTES
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING TIE-IN POINTS, STRUCTURES, PIPES, ETC., PRIOR TO CONSTRUCTION.
 - NO SIDEWALK CROSS SLOPE SHALL EXCEED 2%. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
 - NO ACCESSIBLE PARKING STALLS OR ADJACENT ACCESS AISLES SHALL EXCEED 2% SLOPE IN ANY DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
 - NO SIDEWALK CROSS SLOPE SHALL EXCEED 2% AND NO SIDEWALK LONGITUDINAL SLOPE SHALL EXCEED 5%. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF CONDITIONS CANNOT BE MET ON SITE.
 - FINISH SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. IF SPECIFIC GRADES AND SLOPES ARE NOT SHOWN FOR WORK IN ANY AREA, THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS ACHIEVED AWAY FROM BUILDINGS AND STRUCTURES AND TIE INTO EXISTING CONDITIONS.
 - DRAIN BASIN AND INLINE DRAIN TOP ELEVATIONS SHALL BE ADJUSTED AS REQUIRED TO ENSURE THAT POSITIVE DRAINAGE IS MAINTAINED TOWARD THE DRAIN STRUCTURES.
 - ALL ROOF AND CANOPY DRAINAGE SHALL BE CONNECTED TO THE SUBSURFACE DRAINAGE SYSTEM. CONTRACTOR SHALL CONSULT AND VERIFY ROOF AND CANOPY DRAINAGE SIZE AND LOCATION WITH ARCHITECTURAL/PLUMBING DRAWINGS.

SHEET REVISIONS:

#	DATE/REFERENCE



- ### LEGEND
- DENOTES EXISTING GRADE CONTOUR
 - DENOTES PROPOSED GRADE CONTOUR
 - DENOTES PROPOSED SPOT ELEVATION
 - DENOTES WATERSHED FLOW DIRECTION
 - DS - DRAIN STRUCTURE
 - RCP - REINFORCED CONCRETE PIPE
 - RCAP - REINFORCED CONCRETE ARCH PIPE
 - HP - HIGH PERFORMANCE POLYPROPYLENE STORM PIPE

SHEET TITLE:
SITE GRADING PLAN

DATE: 11-7-2024
SHEET NUMBER: 8 OF 13

C300

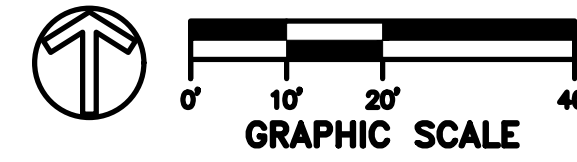
1 GRADING PLAN
SCALE: 1" = 20'



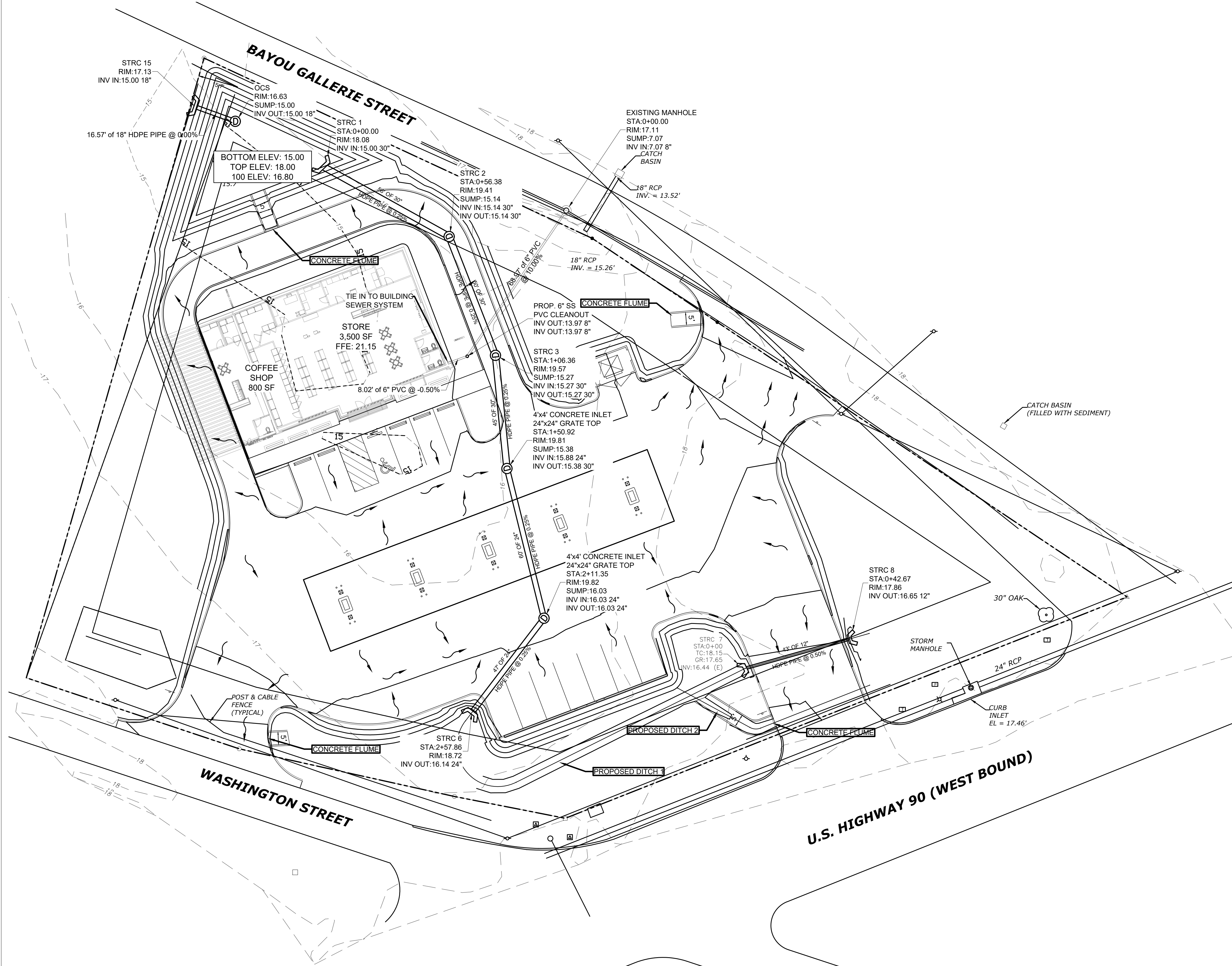
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DRAINAGE FLOW SUMMARY		
DRAINAGE AREA	Pre Peak Run-Off	Post Peak Run-Off
Total Area (Pre)	6.350	
South Area (Post)*		1.680
North Area (Post)		4.560
TOTAL	6.350	6.240

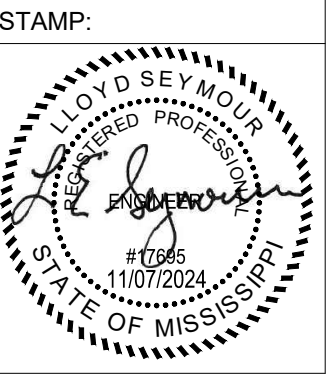
* ROUTED THROUGH POND

- ### STORM WATER MANAGEMENT NOTES
- DRAINAGE SYSTEM SHOWN WILL BE PRIVATELY OWNED AND MAINTAINED.
 - IN THE EVENT OF CONFLICT BETWEEN CITY OF OXFORD STORM WATER REQUIREMENTS AND THE PLANS, THE CITY OF OXFORD LATEST STORM WATER MANAGEMENT ORDINANCE SHALL GOVERN.
 - TRASH RACKS ARE REQUIRED TO PROTECT DISCHARGE STRUCTURE ORIFICES AND CONTAIN GARBAGE FROM EXISTING THE PROPERTY.
 - ALL FLUMES AND OUTLET STRUCTURES ARE REQUIRED TO BE PROTECTED BY RIP-RAP.

- ### LEGEND
- 10 — DENOTES EXISTING GRADE CONTOUR
 - 10 — DENOTES PROPOSED GRADE CONTOUR
 - 8.00 DENOTES PROPOSED SPOT ELEVATION
 - ↘ ↙ ↘ ↙ DENOTES WATERSHED FLOW DIRECTION
 - DS - DRAIN STRUCTURE
 - RCP - REINFORCED CONCRETE PIPE
 - RCAP - REINFORCED CONCRETE ARCH PIPE
 - HP - HIGH PERFORMANCE POLYPROPYLENE STORM PIPE

SHEET REVISIONS:

#	DATE/REFERENCE



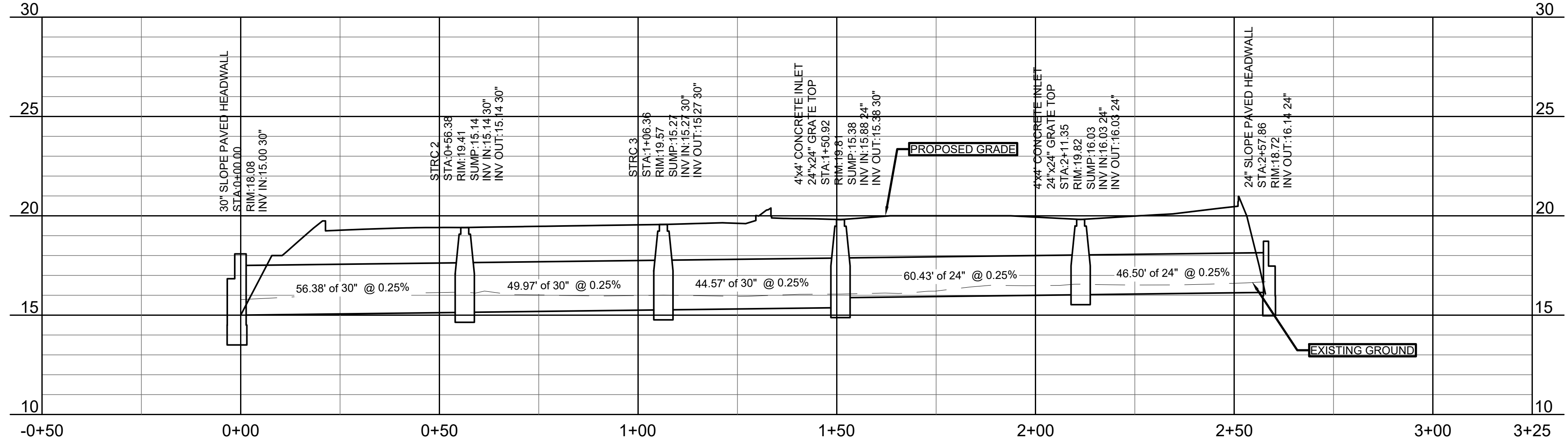
SHEET TITLE:
DRAINAGE PLAN

DATE: 11-7-2024
SHEET NUMBER: 9 OF 13

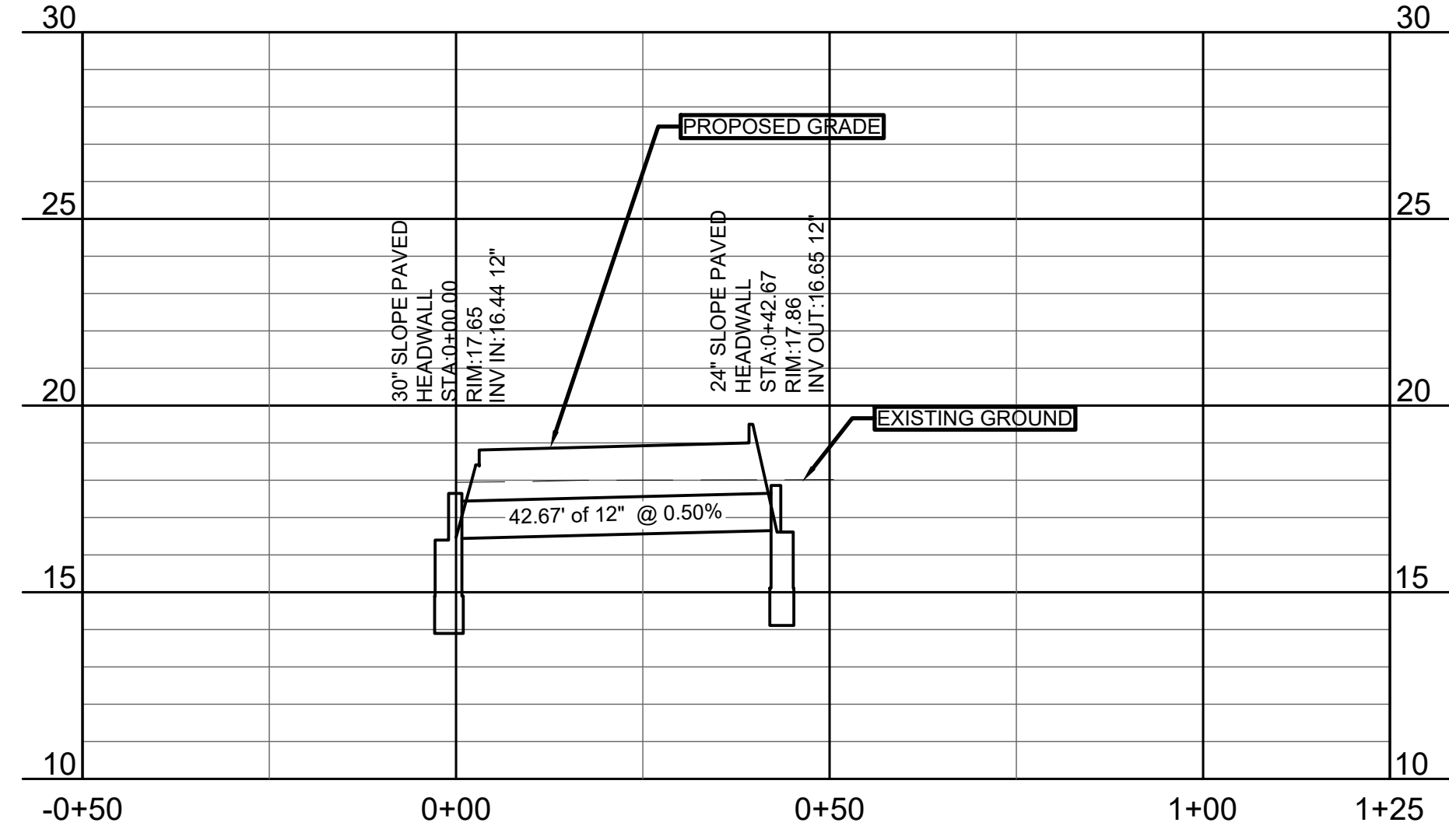
C310

1 DRAINAGE PLAN
C310 SCALE: 1" = 20'

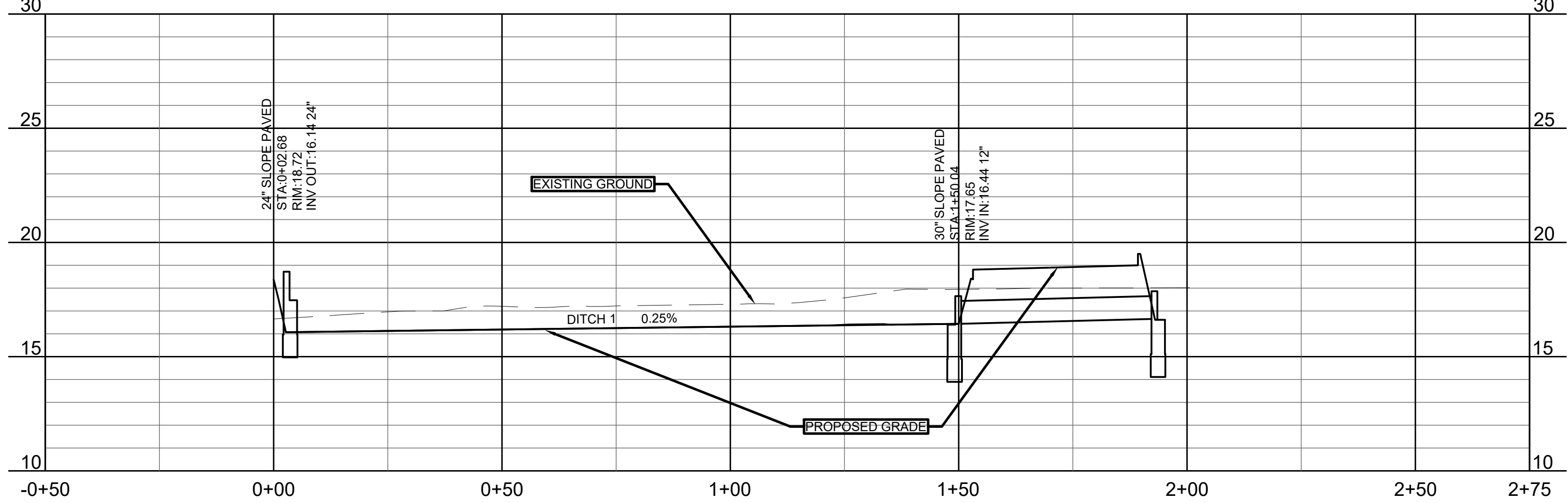
STORM LINE 1 PROFILE



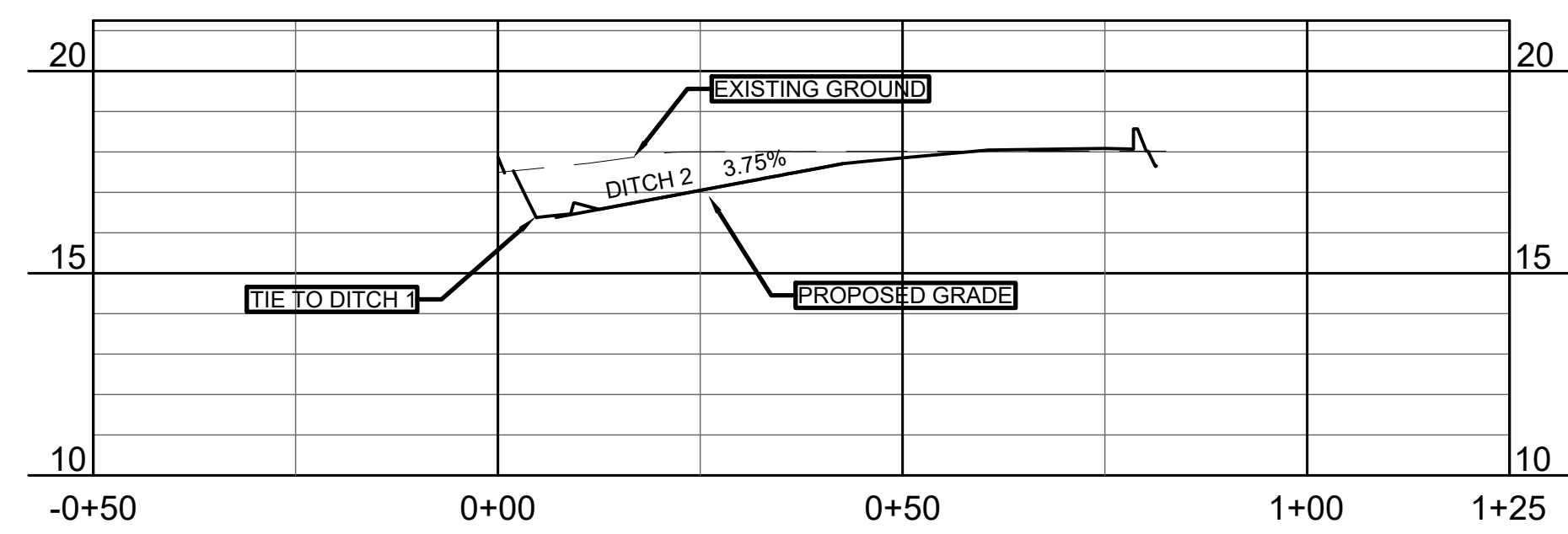
STORM LINE 2 PROFILE



DITCH 1 PROFILE



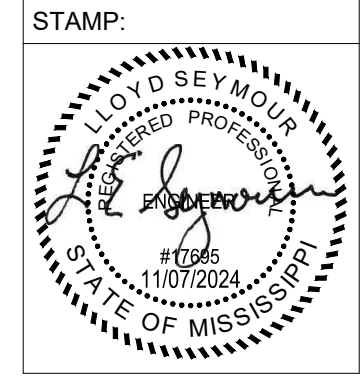
DITCH 2 PROFILE



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SHEET TITLE:

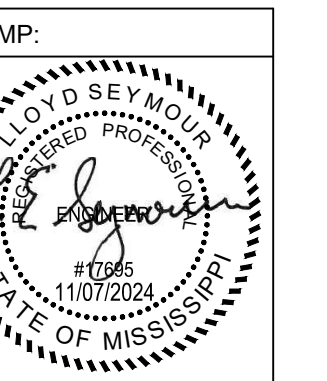
DRAINAGE PROFILES

DATE: 11-7-2024
 SHEET NUMBER: 10 OF 13

C320

SHEET REVISIONS:

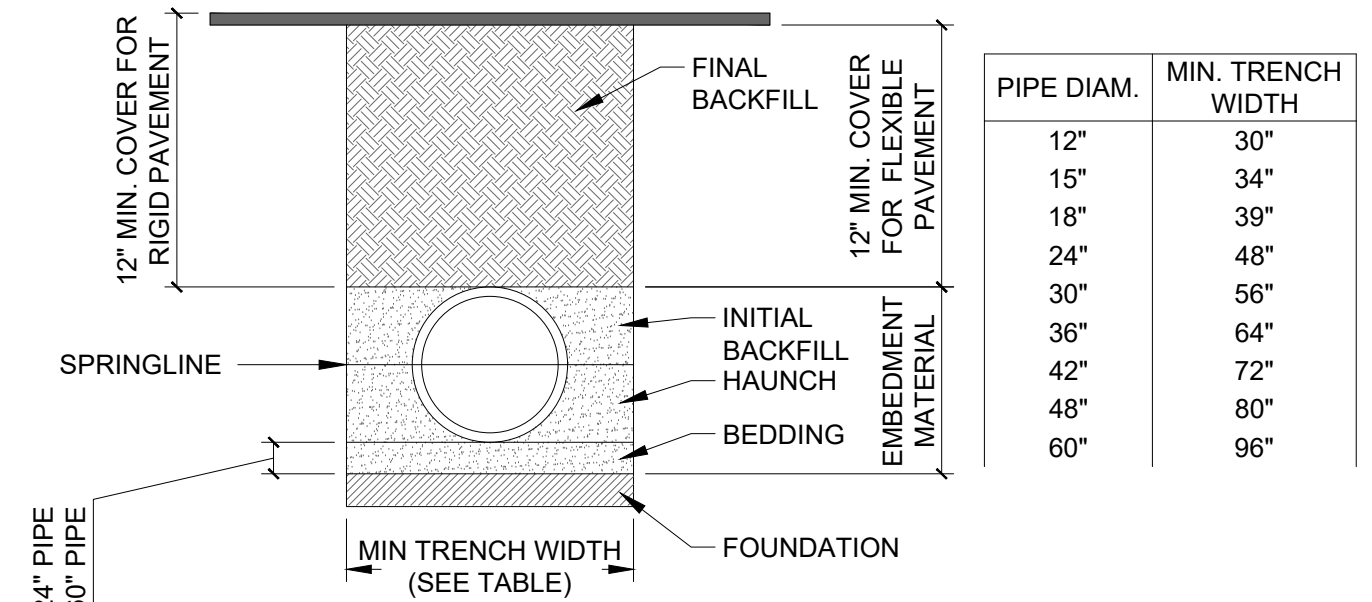
#	DATE/REFERENCE



SHEET TITLE:
DRAINAGE DETAILS

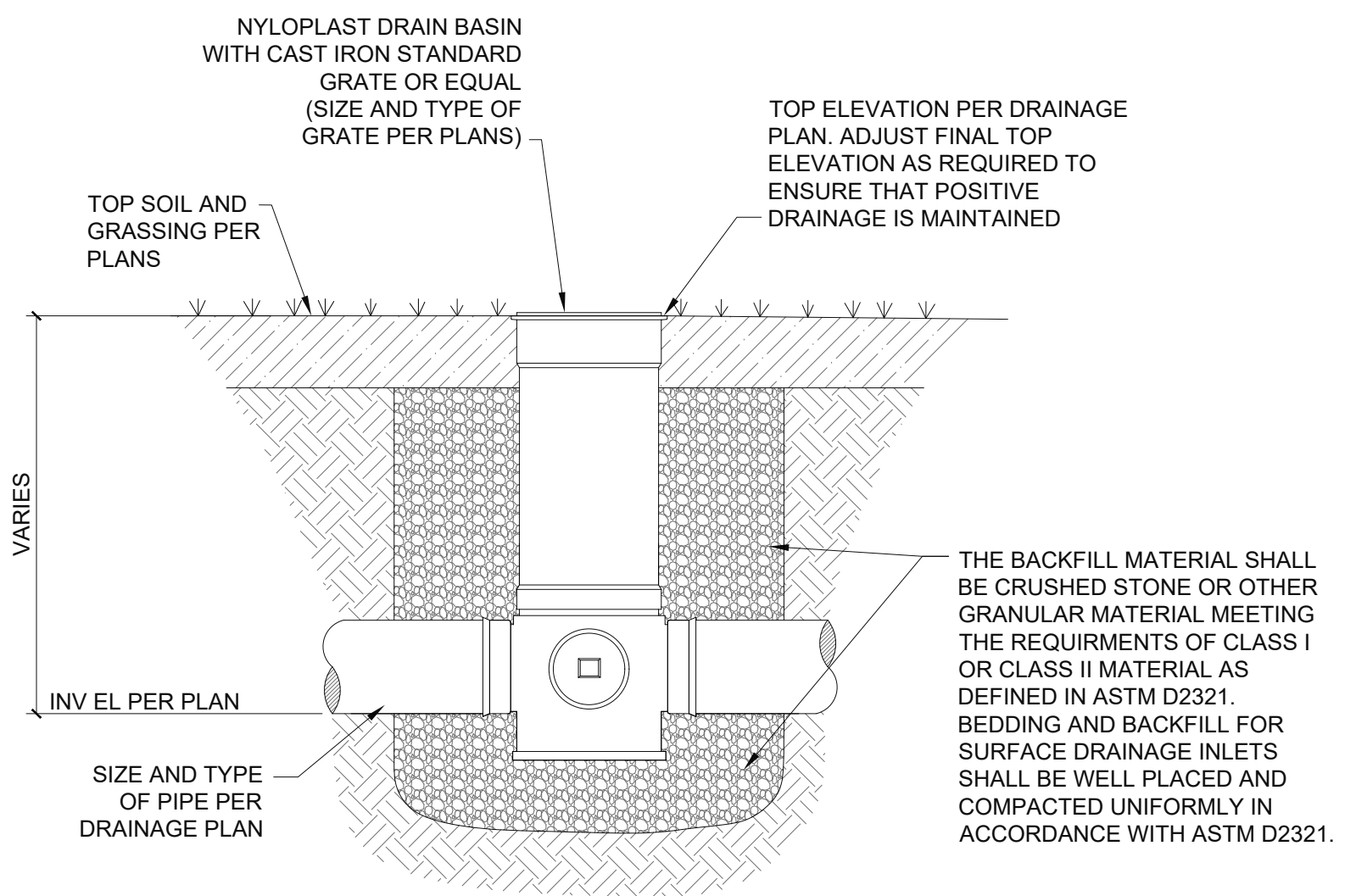
DATE: 11-7-2024
 SHEET NUMBER: 11 OF 13

C350

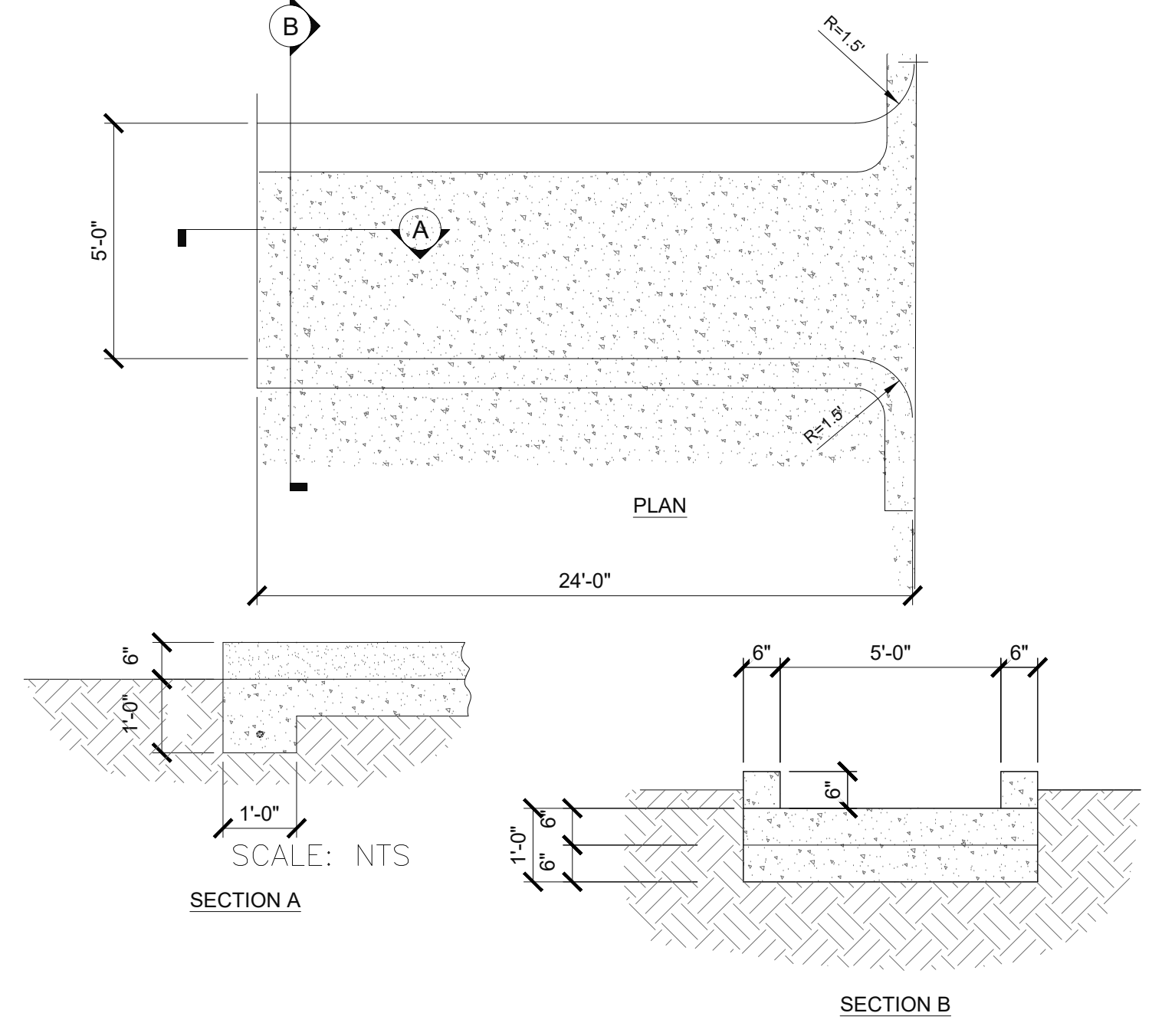


- HP STORM PIPE INSTALLATION NOTES**
- ALL HP STORM PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH LATEST VERSION OF ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS".
 - SUITABLE EMBEDMENT MATERIALS, EITHER ON-SITE OR IMPORTED, SHALL MEET THE REQUIREMENTS FOR CLASS I, II, OR III PER THE LATEST VERSION OF ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE ENGINEER FOR EMBEDMENT MATERIAL TO BE USED FOR PIPE INSTALLATION. SEE THE EMBEDMENT MATERIAL TABLE FOR COMPACTION AND LIFT PLACEMENT REQUIREMENTS.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER.
 - BEDDING: BEDDING IS REQUIRED TO ESTABLISH LINE AND GRADE AND TO PROVIDE FIRM PIPE SUPPORT. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR UP TO 24" DIAMETER PIPE AND 6" FOR 30"-60" DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED, WHILE THE REMAINDER SHALL BE THOROUGHLY COMPACTED.
 - HAUNCHING: THE HAUNCHING MATERIAL SHALL BE INSTALLED UNIFORMLY IN LIFTS ON EACH SIDE OF THE PIPE AND SHOVELED UNDER THE PIPE ENSURING TO FILL VOIDS. THE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE SPRING LINE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH ENSURING THAT THE PIPE ALIGNMENT IS NOT DISTURBED.
 - INITIAL BACKFILL: THE INITIAL BACKFILL SHALL PROCEED TO THE TOP OF THE PIPE. THE MATERIAL SHALL BE THOROUGHLY COMPACTED INSTALLED IN UNIFORMED LIFTS ON EACH SIDE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH.
 - FINAL BACKFILL (NON-TRAFFIC): SUITABLE MATERIAL IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) SHALL BE GENERAL FILL MATERIAL. BACKFILL SHALL PROCEED TO FINISHED GRADE IN 12 INCH LIFTS COMPACTED TO ELIMINATE AIR VOIDS.
 - FINAL BACKFILL (TRAFFIC): SUITABLE MATERIAL IN TRAFFIC APPLICATIONS SHALL BE SELECT FILL COMPACTED IN 8 INCH LOOSE LIFTS TO NOT LESS THAN 95 PERCENT STANDARD PROCTOR.
 - MINIMUM COVER (NON-TRAFFIC): FOR NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS), MINIMUM COVER IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE.
 - MINIMUM COVER (TRAFFIC): FOR TRAFFIC APPLICATIONS THE MINIMUM COVER IS 12" FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 - CONTRACTOR SHALL MAINTAIN TRENCH BACKFILL AT GROUND SURFACE UNTIL FINAL ACCEPTANCE OF THE WORK. ALL SURPLUS MATERIALS NOT USED IN BACKFILLING SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AT HIS OWN EXPENSE.

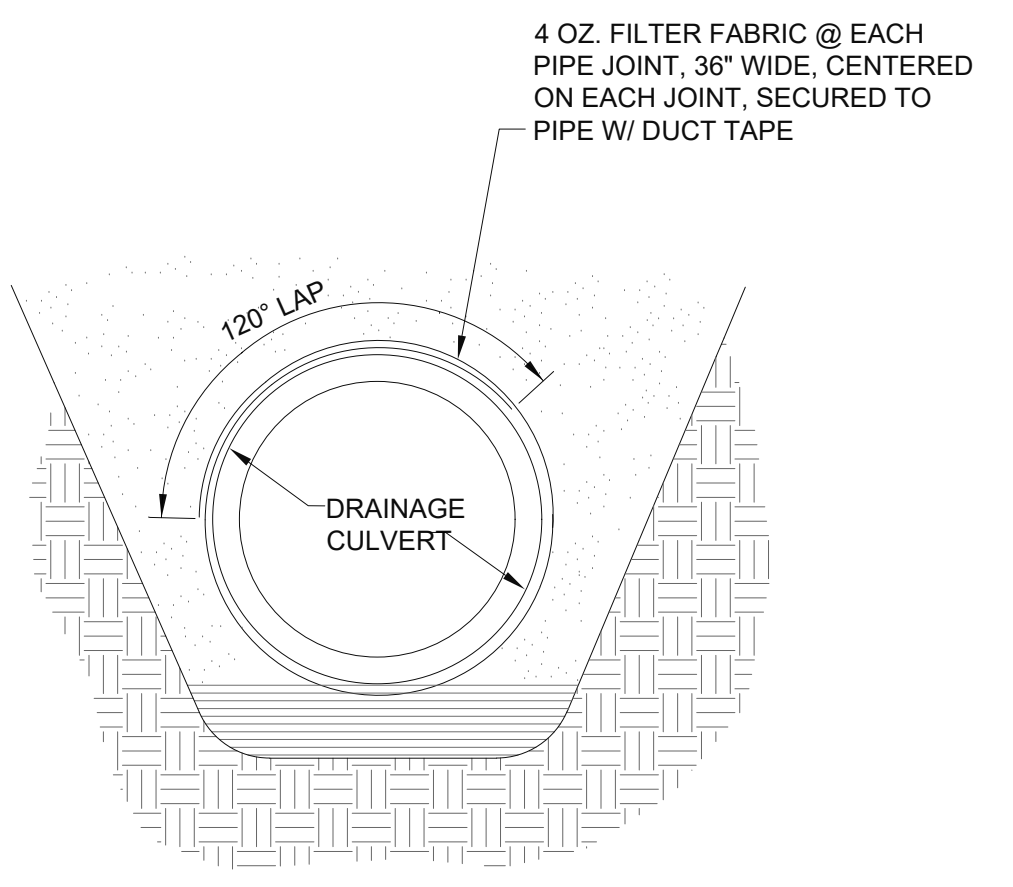
5 HP STORM PIPE TRENCH INSTALLATION DETAIL
 C350 SCALE: NTS



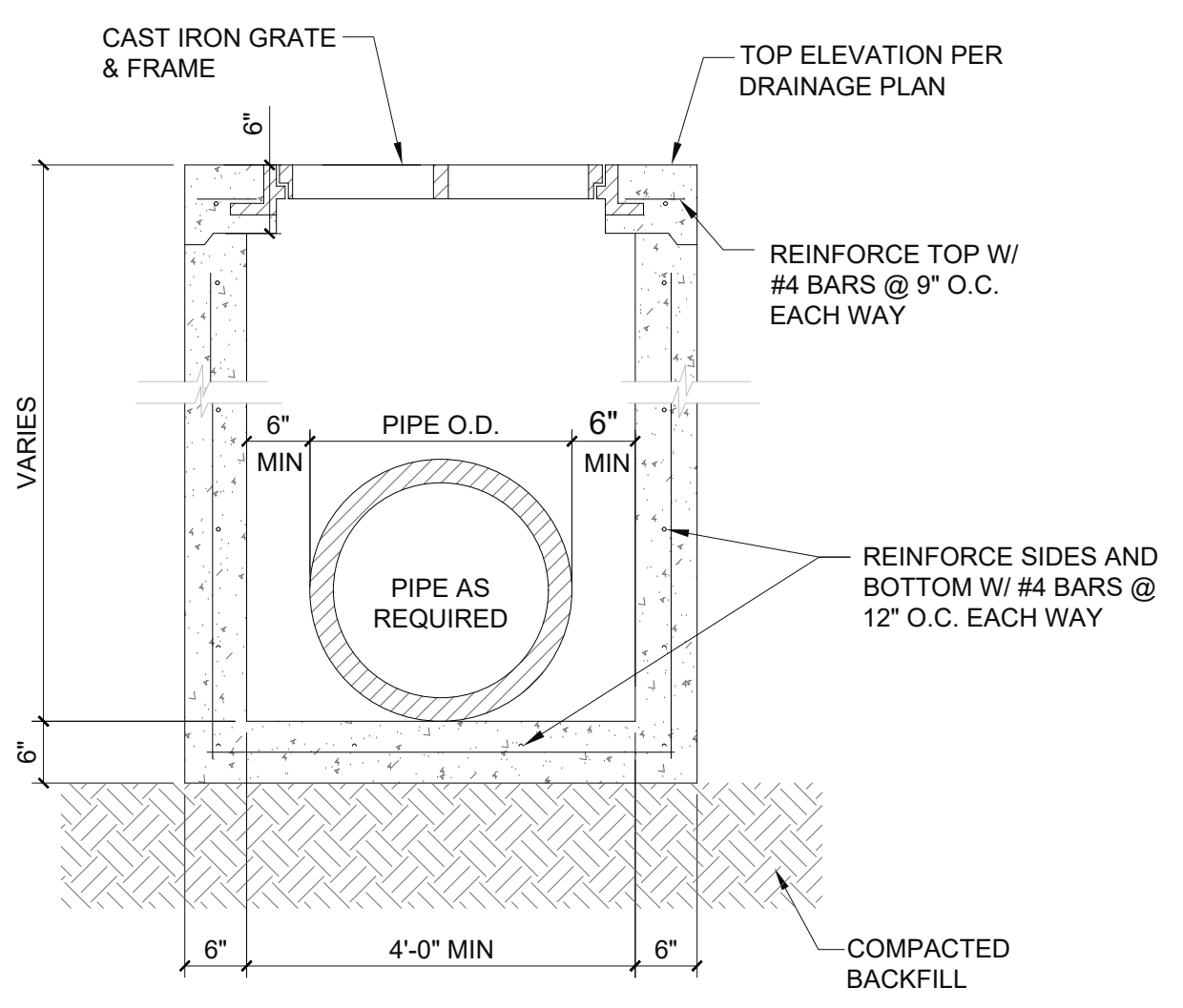
2 TYPICAL DRAIN BASIN DETAIL
 C350 SCALE: NTS



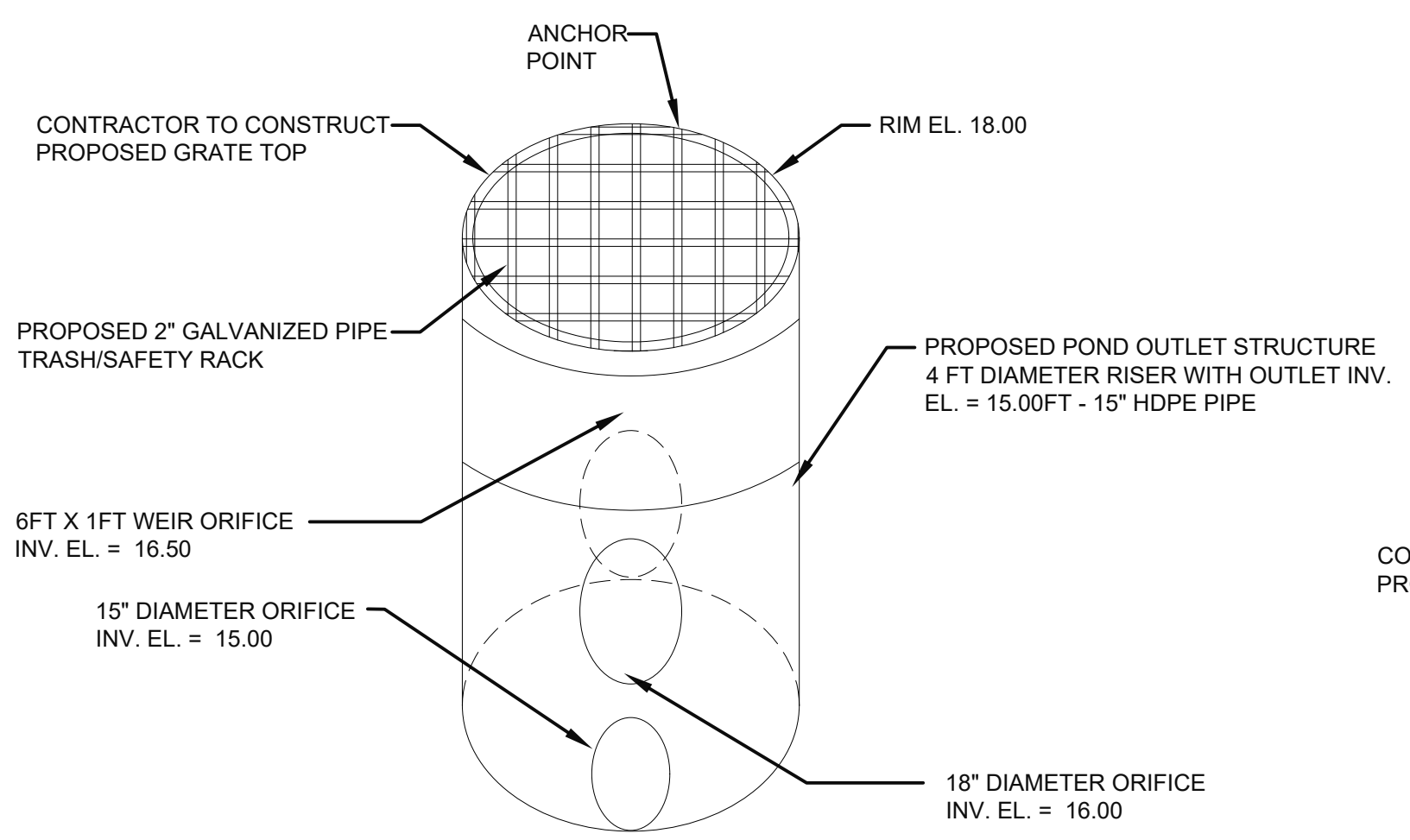
4 TYPICAL CONCRETE FLUME DETAIL
 C350 SCALE: NTS



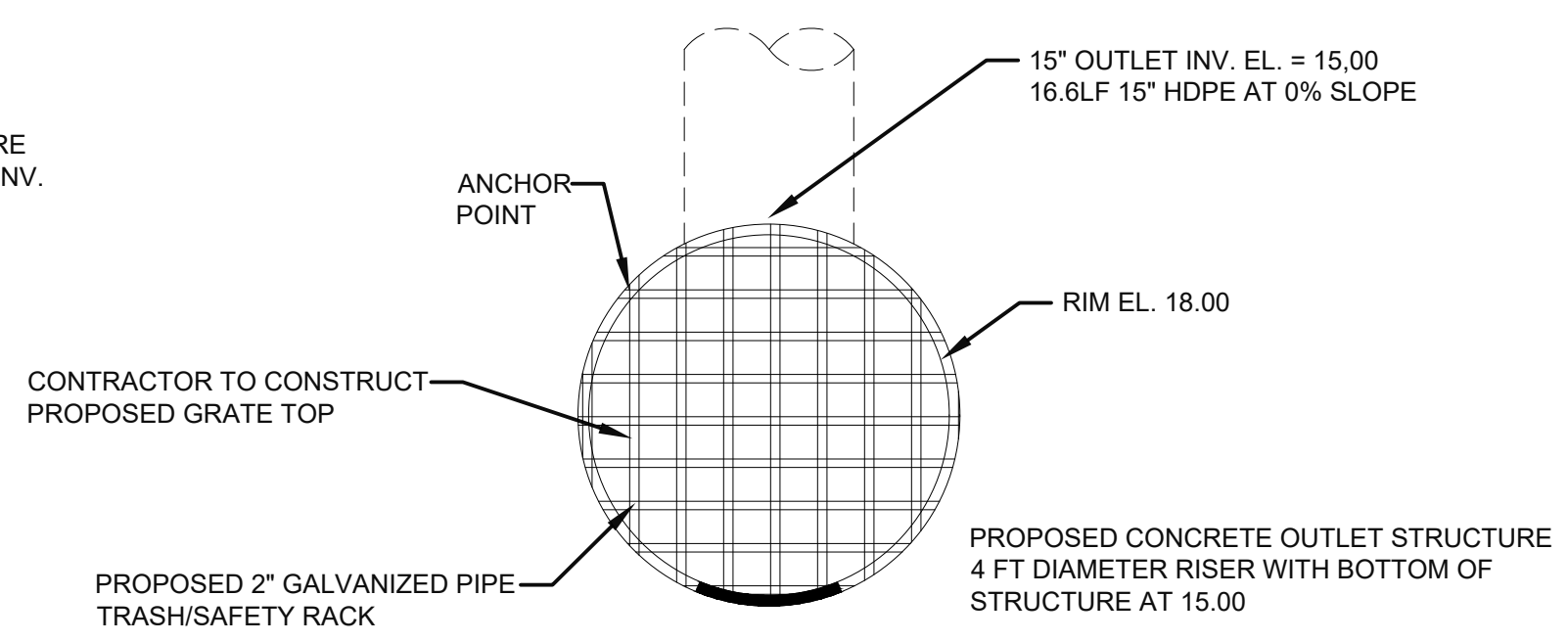
1 TYPICAL STORM DRAIN PIPE WRAP DETAIL
 C350 SCALE: NTS

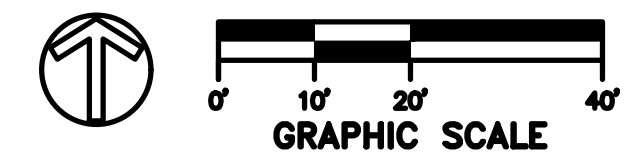


3 TYPICAL DRAIN INLET DETAIL
 C350 SCALE: NTS



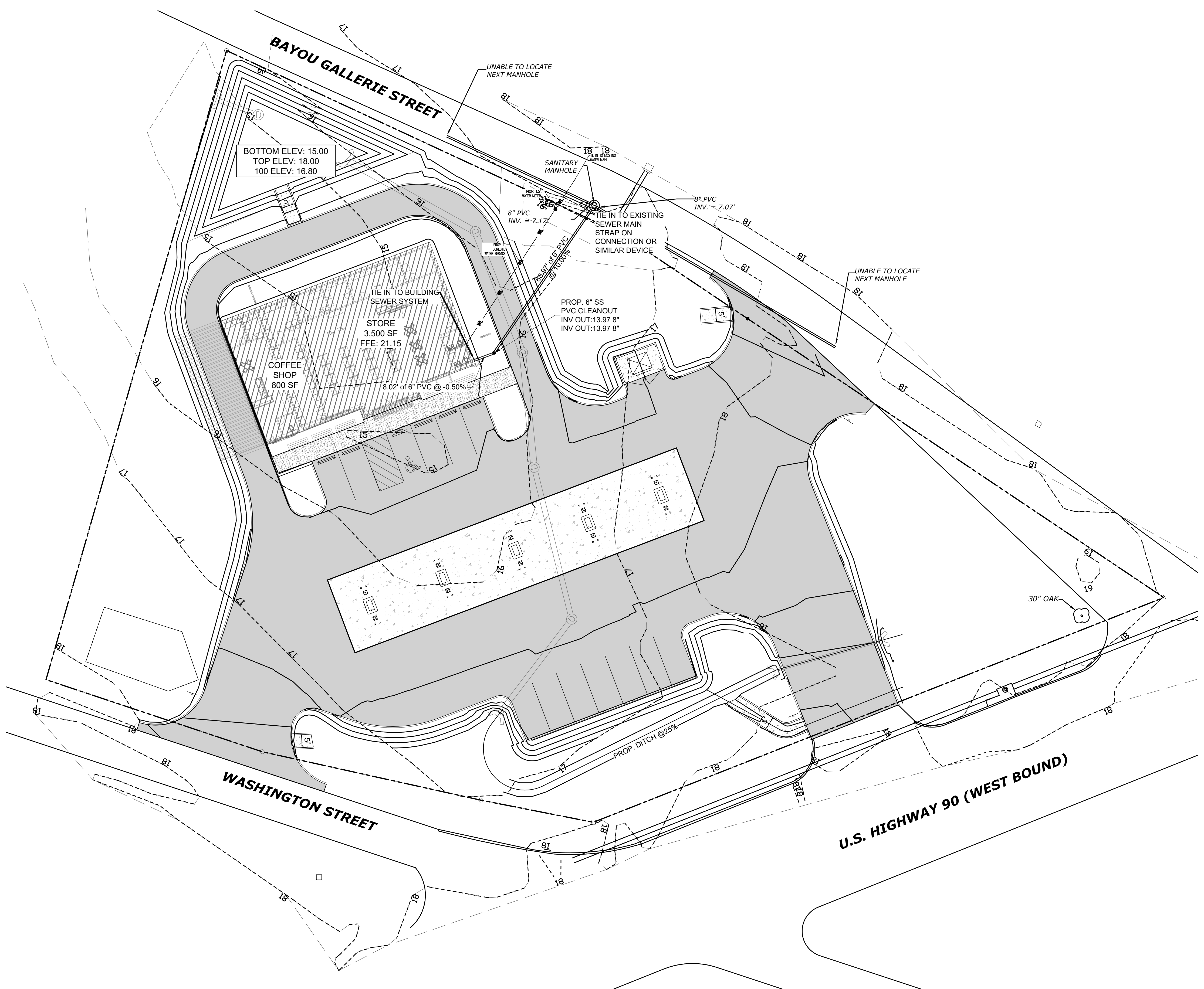
6 BASIN OUTLET DETAIL - ISOMETRIC VIEW
 C-350 SCALE: NTS





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UNDERGROUND UTILITY NOTES

- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

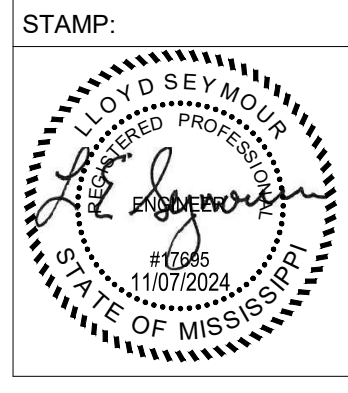
SITE UTILITY NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR CONNECTION TO EXISTING WATER MAIN.
- CONTRACTOR IS RESPONSIBLE FOR PERFORMING GAS LINE TAP, PROVIDING GAS VALVE, AND PROVIDING GAS SERVICE TO THE BUILDING.
- CONTRACTOR SHALL FURNISH AND INSTALL 750 LINEAR FEET OF 4" SDR-21 CL200 PVC AND ASSOCIATED CAPS FOR USE AS IRRIGATION SLEEVES. LOCATIONS OF IRRIGATION SLEEVES SHALL BE COORDINATED WITH THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER TRADES FOR THE IN LOCATION AND SIZE REQUIREMENTS FOR UTILITY TIE IN POINTS.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION HAVING POTENTIAL IMPACT TO THE UTILITY'S STRUCTURE.
- CONTRACTOR SHALL INSTALL FITTINGS, THRUST BLOCKS, AND OTHER REQUIRED COMPONENTS TO ESTABLISH THE PROPER ALIGNMENT OF UTILITY MAINS AND SERVICES AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL ALL WATER MAINS AND SERVICES AT AN ELEVATION WHICH WILL AVOID ALL CONFLICTS WITH SEWER, DRAINAGE, AND OTHER UNDERGROUND UTILITIES. WATER MAINS SHALL BE LAID WITH A MINIMUM OF 30" COVER UNLESS APPROVED BY THE ENGINEER TO AVOID A CONFLICT.
- ALL VALVES BOXES, CLEANOUTS, SEWER MANHOLE TOPS, AND OTHER UTILITY STRUCTURE TOPS SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH FINAL GRADES IN ALL AREAS.

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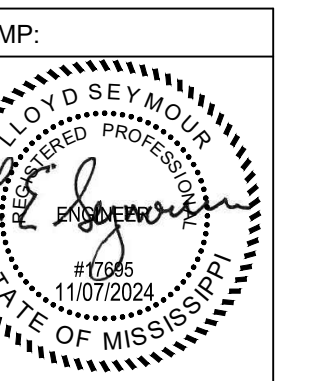
SHEET TITLE:
UTILITY PLAN

DATE: 11-7-2024
 SHEET NUMBER: 12 OF 13

C400

1
 C400 **UTILITY PLAN**
 SCALE: 1" = 20'

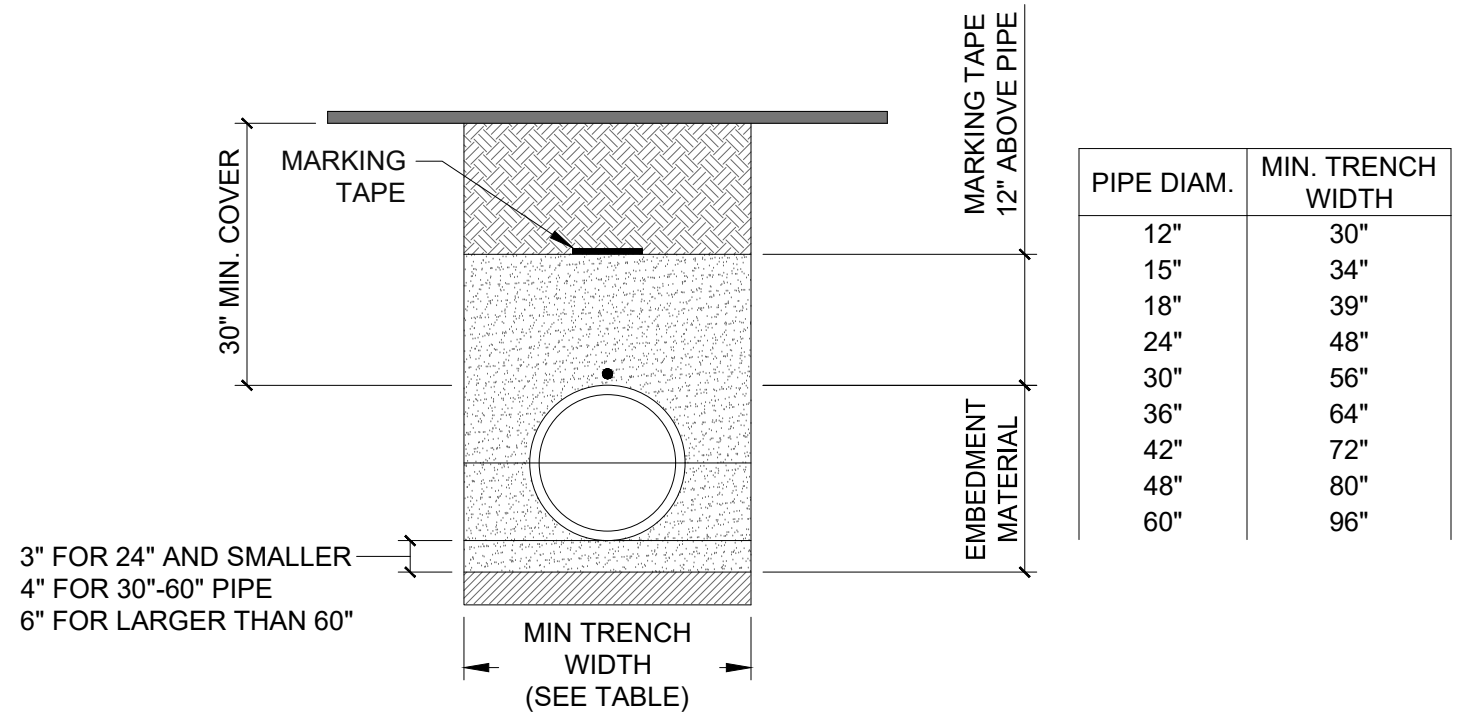
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#	DATE/REFERENCE



SHEET TITLE:
UTILITY DETAILS

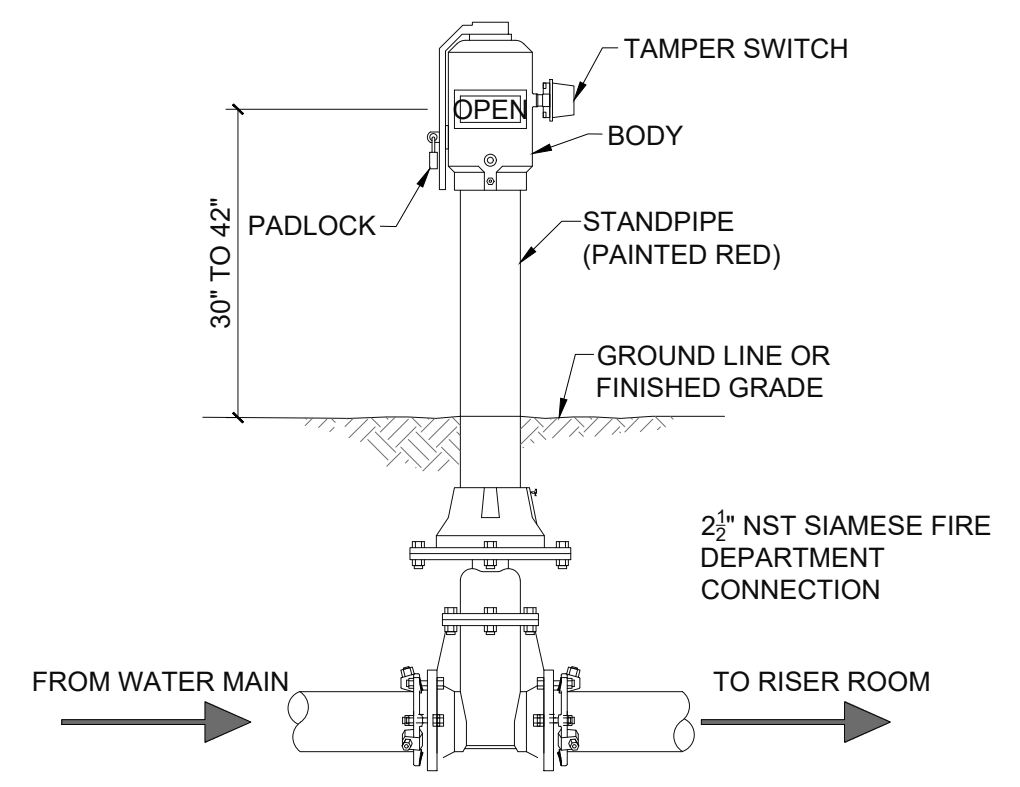
DATE: 11-7-2024
SHEET NUMBER: 13 OF 13

C450



- WATER AND SEWER PIPE INSTALLATION NOTES**
- SUITABLE EMBEDMENT MATERIALS, EITHER ON-SITE OR IMPORTED, SHALL MEET THE REQUIREMENTS FOR CLASS I, II, OR III PER THE LATEST VERSION OF ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO THE ENGINEER FOR EMBEDMENT MATERIAL TO BE USED FOR PIPE INSTALLATION. SEE THE EMBEDMENT MATERIAL TABLE FOR COMPACTION AND LIFT PLACEMENT REQUIREMENTS.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER.
 - BEDDING: BEDDING IS REQUIRED TO ESTABLISH LINE AND GRADE AND TO PROVIDE FIRM PIPE SUPPORT. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR UP TO 24" DIAMETER PIPE AND 6" FOR 30"-60" DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED, WHILE THE REMAINDER SHALL BE THOROUGHLY COMPACTED.
 - HAUNCHING: THE HAUNCHING MATERIAL SHALL BE INSTALLED UNIFORMLY IN LIFTS ON EACH SIDE OF THE PIPE AND SHOVELED UNDER THE PIPE ENSURING TO FILL VOIDS. THE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE SPRING LINE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH ENSURING THAT THE PIPE ALIGNMENT IS NOT DISTURBED.
 - INITIAL BACKFILL: THE INITIAL BACKFILL SHALL PROCEED TO THE TOP OF THE PIPE. THE MATERIAL SHALL BE THOROUGHLY COMPACTED IN UNIFORMED LIFTS ON EACH SIDE OF THE PIPE EXTENDING TO THE SIDE WALLS OF THE TRENCH.
 - FINAL BACKFILL (NON-TRAFFIC): SUITABLE MATERIAL IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) SHALL BE GENERAL FILL MATERIAL. BACKFILL SHALL PROCEED TO FINISHED GRADE IN 12 INCH LIFTS COMPACTED TO ELIMINATE AIR VOIDS.
 - FINAL BACKFILL (TRAFFIC): SUITABLE MATERIAL IN TRAFFIC APPLICATIONS SHALL BE SELECT FILL COMPACTED IN 8 INCH LOOSE LIFTS TO NOT LESS THAN 95 PERCENT STANDARD PROCTOR.
 - MINIMUM COVER (NON-TRAFFIC): FOR NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS), MINIMUM COVER IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE.
 - MINIMUM COVER (TRAFFIC): FOR TRAFFIC APPLICATIONS THE MINIMUM COVER IS 12" FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 - CONTRACTOR SHALL MAINTAIN TRENCH BACKFILL AT GROUND SURFACE UNTIL FINAL ACCEPTANCE OF THE WORK. ALL SURPLUS MATERIALS NOT USED IN BACKFILLING SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AT HIS OWN EXPENSE.

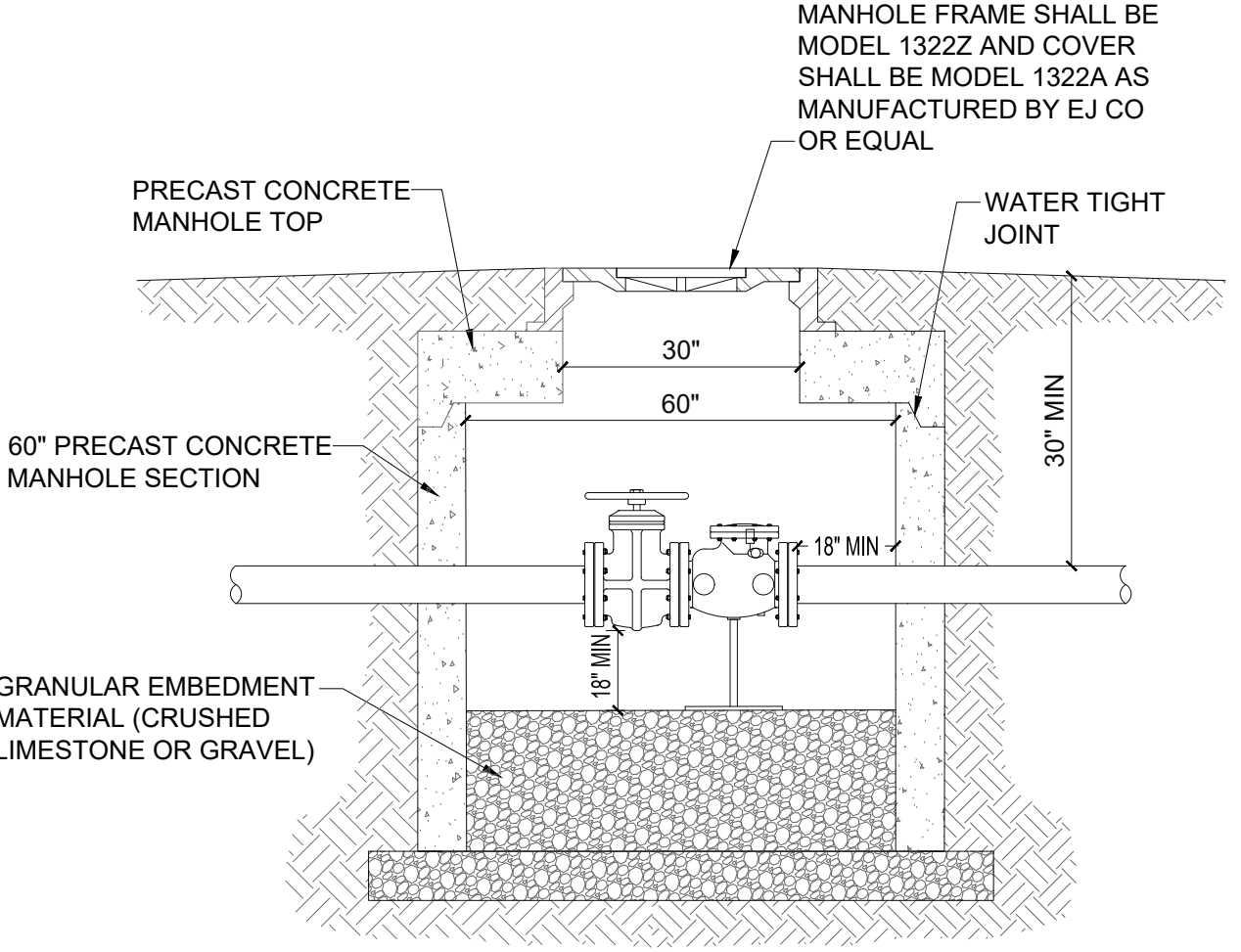
3 WATER AND SEWER PIPE INSTALLATION DETAIL
SCALE: NTS



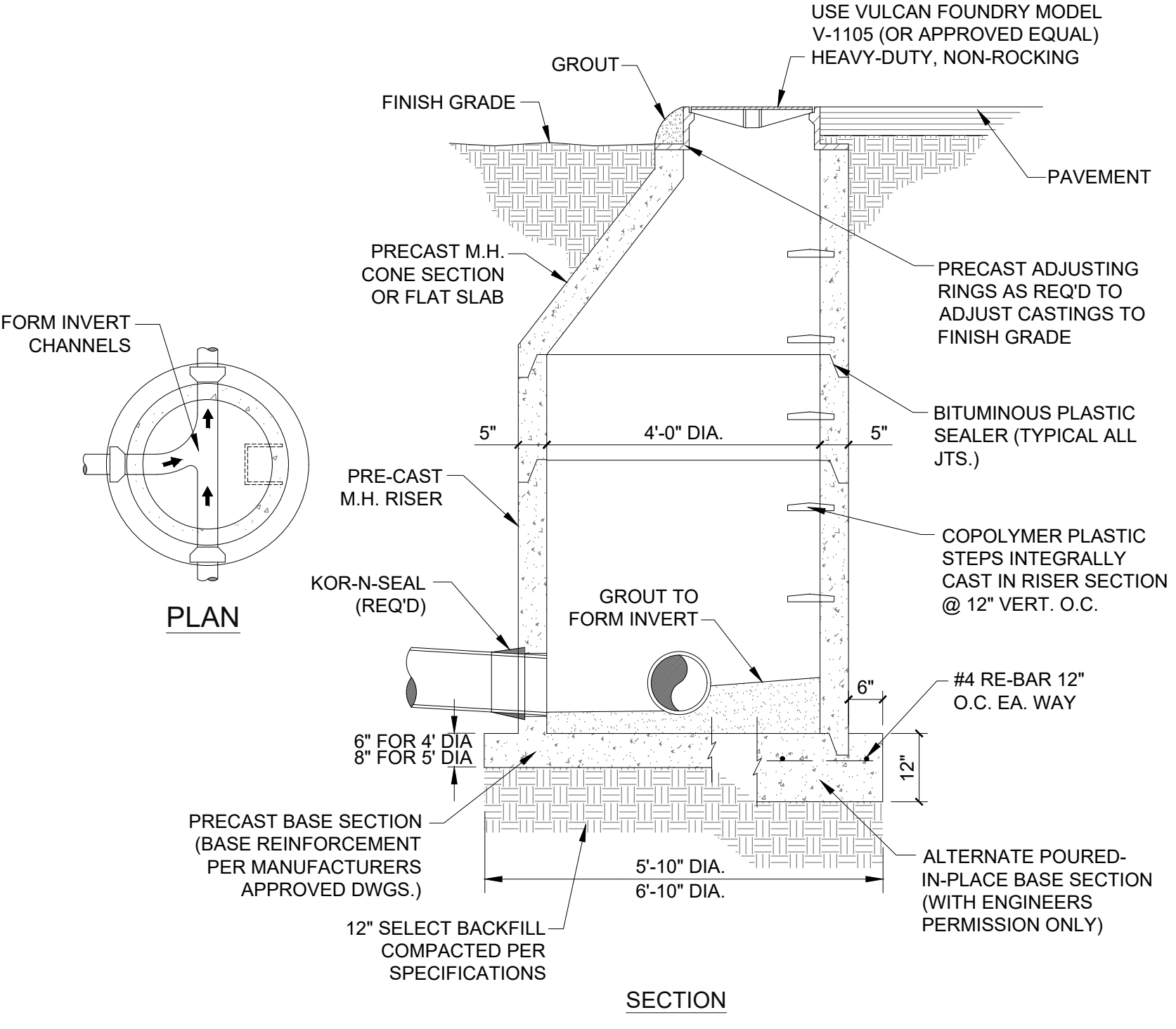
6 TYPICAL POST INDICATOR VALVE DETAIL
SCALE: NTS

ASTM D2321 CLASS DESCRIPTION	ASTM D2487 DESCRIPTION	NOTATION	MINIMUM STANDARD PROCTOR DENSITY (%)	MAXIMUM LIFT PLACEMENT DEPTH	
I	CRUSHED ROCK, ANGULAR	N/A	ANGULAR CRUSHED STONE OR ROCK, CRUSHED GRAVEL, CRUSHED SLAG; LARGE VOIDS WITH LITTLE OR NO FINES	DUMPED	18"
II	CLEAN, COARSE-GRAINED SOILS	GW	WELL-GRADED GRAVEL, GRAVEL-SAND MIXTURES; LITTLE OR NO FINES	85%	12"
		GP	POORLY-GRADED GRAVELS, GRAVEL-SAND MIXTURES; LITTLE OR NO FINES		
		SW	WELL-GRADED SANDS, GRAVELLY SANDS; LITTLE OR NO FINES		
		SP	POORLY-GRADED SANDS, GRAVELLY SAND; LITTLE OR NO FINES		
III	COARSE-GRAINED SOILS, BORDERLINE CLEAN TO W/FINES	GW-GC, SP-SM	SANDS AND GRAVELS WHICH ARE BORDERLINE BETWEEN CLEAN AND WITH FINES	90%	9"
		GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES		
		GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES		
		SM	SILTY SANDS, SAND-CLAY MIXTURES		
		SC	CLAYEY SANDS, SAND-CLAY MIXTURES		
IV	INORGANIC FINE-GRAINED SOILS	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS, SILTS WITH SLIGHT PLASTICITY	90%	9"
		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY; GRAVELLY, SANDY, OR SILTY CLAYS; LEAN CLAYS		

2 EMBEDMENT MATERIAL TABLE
SCALE: NTS



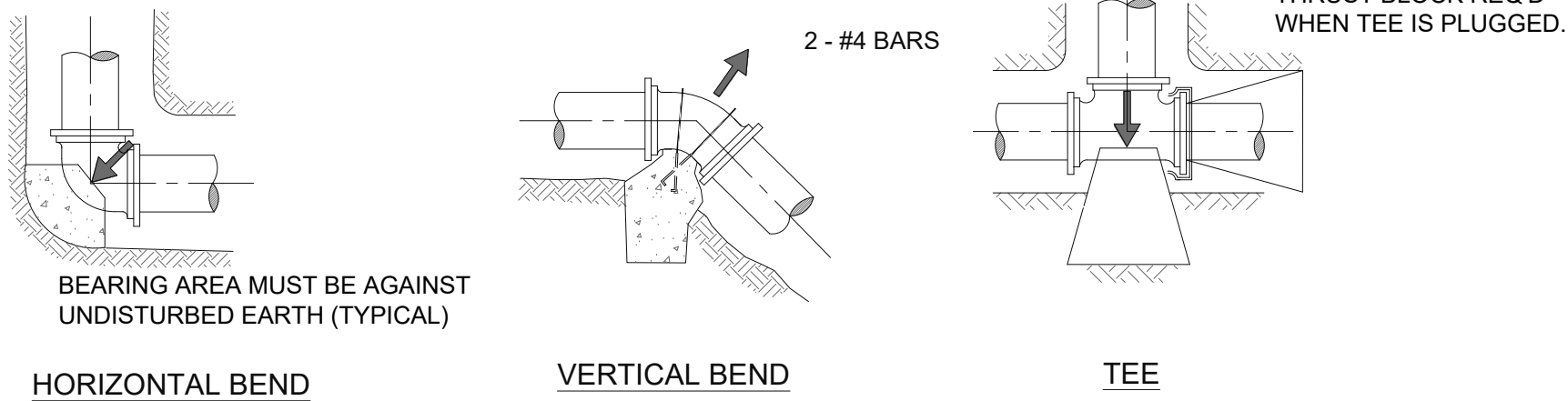
5 TYPICAL CHECK VALVE DETAIL
SCALE: NTS



1 TYPICAL SEWER MANHOLE DETAIL
SCALE: NTS

BEARING AREAS FOR THRUST BLOCKING IN SQUARE FEET						
FITTING:	4" DIA.	6" DIA.	8" DIA.	10" DIA.	12" DIA.	14" DIA.
TEES	2.0	2.5	4.7	5.0	7.0	9.0
90°	2.0	2.7	6.7	7.2	10.4	12.7
45°	1.0	1.5	3.6	3.9	5.6	6.9
22 1/2°	1.0	1.0	1.8	2.0	2.9	3.5

NOTE: ALL FITTINGS SHALL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO POURING CONCRETE THRUST BLOCKING



4 TYPICAL WATER MAIN THRUST BLOCK DETAIL
SCALE: NTS