



September 14, 2026 - Historic Preservation Commission Meeting Agenda

**September 14, 2026 at 12:00 PM
598 Main Street, Bay St. Louis, MS 39520**

Call to Order

Action Items

- 1.** Motion to approve the proposed addition of a small roof over the existing rear porch at 321 Main Street as submitted by Edward Wikoff. The roof addition will be located on the back of the house over the existing rear porch.
- 2.** Motion to approve the proposed construction of a new approximately 20-foot by 18-foot pool and pool cabana at 600 N Beach Blvd as submitted by Core Building Systems. The pool cabana will be framed off the existing garage and existing concrete drive. The cabana walls will consist of a mix of shiplap and wood louver-style materials designed to aesthetically tie into the overall existing appearance of the home. The roof will match the existing asphalt shingles, and all paint colors will match the existing home.
- 3.** Motion to approve the proposed construction of a wooden deck in the backyard of the property at 350 Demontluzin Ave as submitted by Kenny DeLaune. The deck will be located in the rear yard and will not be visible from the street.
- 4.** Motion to approve changing all the existing vinyl siding to Hardie siding at 310 St John Street, submitted by Corr Construction
- 5.** Motion to approve the proposed demolition of the existing home and storage sheds at 232 Citizen Street as submitted by LeBatard Architecture, including removal of the approximately 36-inch-high wood fence located in front of the home along Citizen Street on the east side of the property. Following demolition, a new approximately 3,000-square-foot, 1½-story home, together with a pool house and covered parking, will be constructed as shown on the submitted plans.

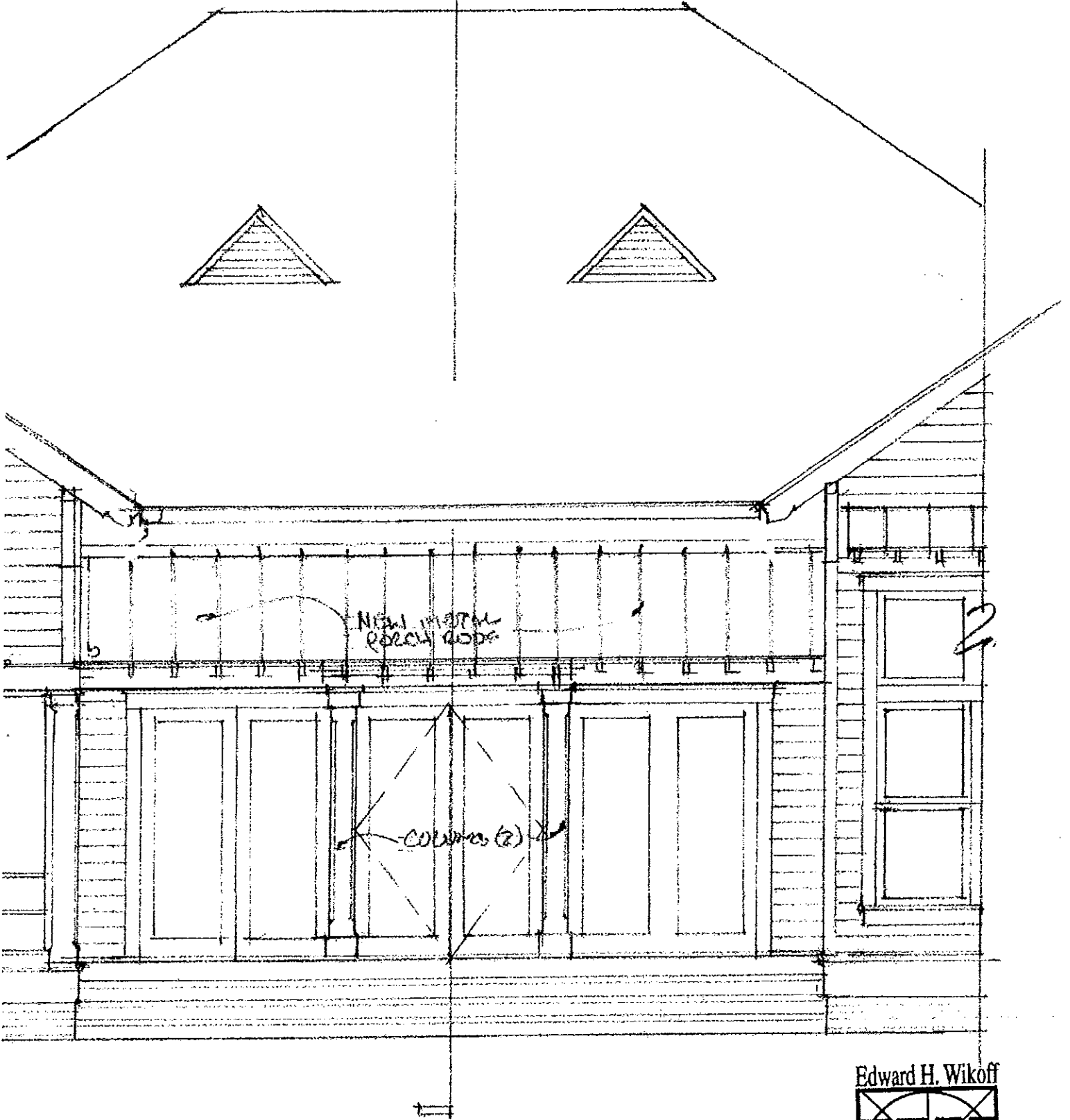
- [6.](#) Motion to approve the proposed new construction of a residence and an art studio at 113 Citizen Street, as submitted by Doescher Designs PLLC, pending Planning and Zoning approval. The new construction will consist of a residence and an art studio on the property.

Minutes Approval

- [7.](#) Motion to approve minutes of the August 10, 2026, HPC meeting

Adjourn

2



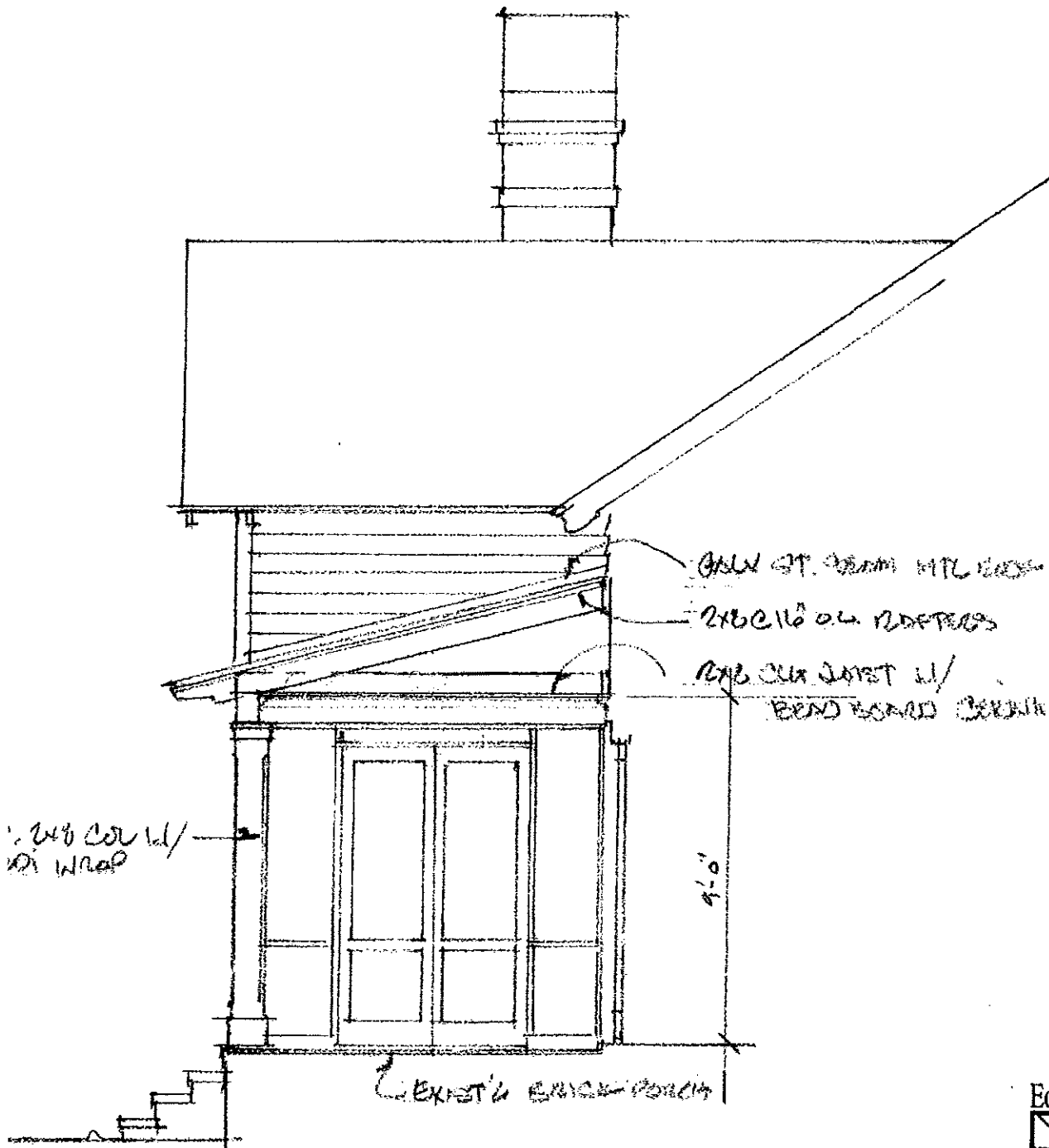
1

PARTIAL REAR ELEVATION & PORCH
1/4" = 1'-0"

Edward H. Wikoff

ARCHITECT
AIA, PC

144 Main Street
Bay St. Louis, MS 39520



2

SECTION C BACK PORCH

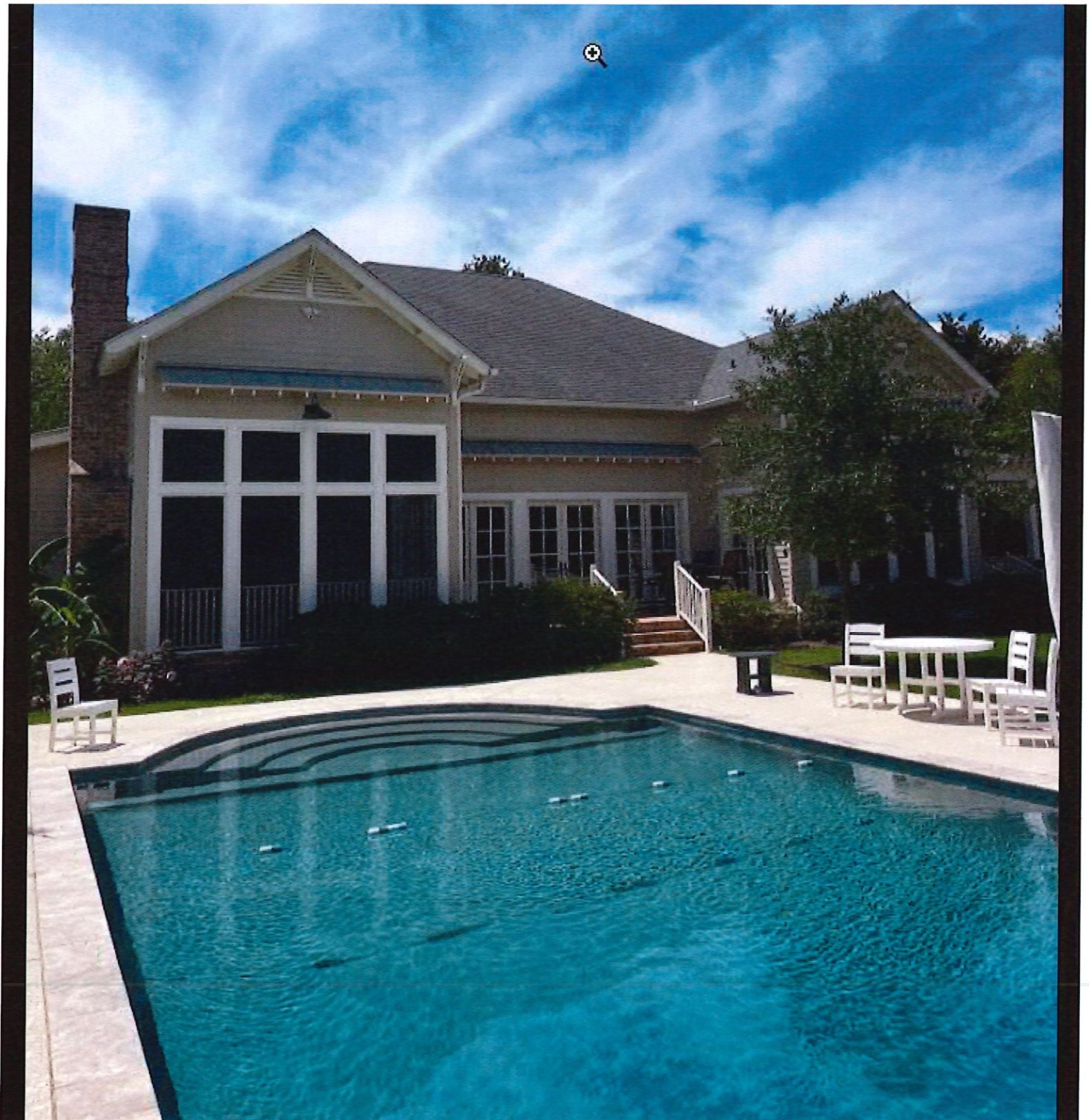
1/4" = 1'-0"

Edward H. Wikoff



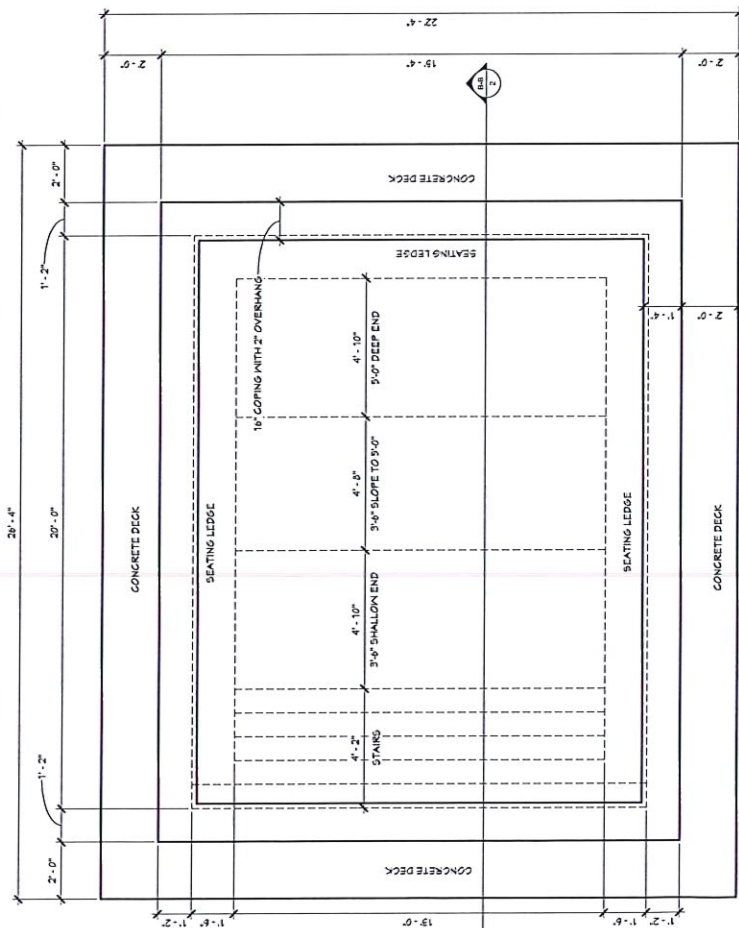
144 Main Street
Bay St. Louis, MS 39520











GEN. NOTES

1. All work shall be performed in accordance with applicable national, state and local codes, regulations and FHAVA MFS, and shall be in accordance with the contract documents. It is the responsibility of the job order general contractor to check all dimensions for the job before construction.
2. Contractor shall insure compliance of the building with site requirements.
3. The contractor is responsible for obtaining and verifying all structural details and conditions to meet all local codes and to insure a quality and safe structure.
4. All federal, State and Local codes, Ordinances, Regulation, etc shall be considered as part of the specifications for this building and shall take precedence over anything shown, described or implied herein and are valid.
5. Stamped/Approved plans (VAC) must be on site for all inspections.
6. Proof of Termite treatment shall be shown at time of footing inspection.
7. Manufacturer must supply specifications on any/all manufacturer/engineered membranes including splices, fasteners, sealants, caulks, adhesives, gaskets, joints, buses, metal work, garage stops, insulation, etc.
8. If feasibility is able, drawings and data are not used, an independent geotechnical firm will be consulted at the expense of the owner.
9. Unless specifically stated or contracted, the engineer will not be responsible for any structural sluing of material. Any material called out in details are strictly for the correct visual and appearance of the building.
10. Drawings are not responsible for any structural sluing of material. Any material called out in details are strictly for the correct visual and appearance of the building.
11. Drawings are not responsible for any structural sluing of material. Any material called out in details are strictly for the correct visual and appearance of the building.

LDN-Design LLC

Residential/ Commercial
Drafting, Design &
Consultations

68145 Diamondhead Dr. E.
Diamondhead, MS
39525
Cell: 228-342-6669

Drafting Design Etc., assumes no liability for the structural design of this building. Every effort has been made to ensure all dimensions are correct and regulations have been met. If an error or omission does occur, it is the responsibility of the contractor and/or owner to correct the error and/or omission at his/her own expense.

[illegible]

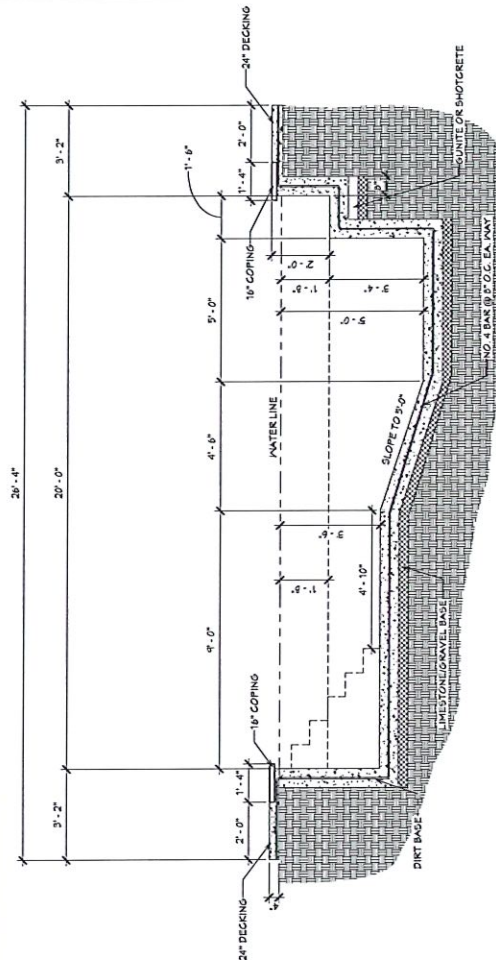
The Residence of:

Pool Plan

Job Number	KINGSTON26
Date	8/14/26
Drawn by	DL
Checked by	DL

2

Item # 2.

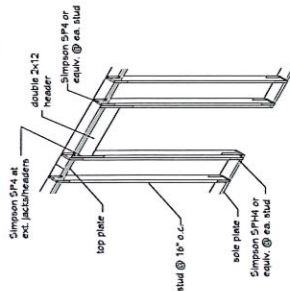


Pool Section B-B
1/2" = 1'-0"

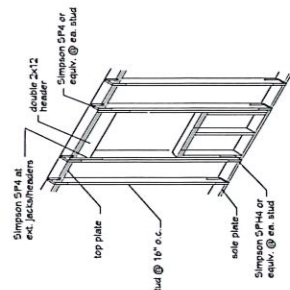
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GEN. NOTES:

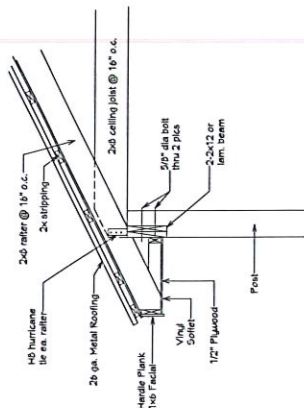
1. All work shall be performed in accordance with all applicable national, state and local codes, regulations and FHWA MP15.
2. It is the responsibility of the owner/owner's general contractor to check all dimensions for the building before construction.
3. Contractor shall insure compatibility of the building with site requirements.
4. The contractor is responsible for obtaining and verifying all structural details and conditions to meet all local codes and to insure a quality and safe structure.
5. All Federal, State and local codes, Ordinances, Regulations, etc. shall be considered as part of the specifications for this building and that late preference over anything shown, described or implied are the same are valid.
6. Stamped/Approved plans (GAP) must be on site for all inspections.
7. Proof of Terminate treatment shall be shown at time of footing inspection.
8. Owner must supply specifications on any/all manufactured/engineered materials including spans, beams, joists, trusses, etc. (i.e. 10' spans, etc.) (brackets, joist, trusses, metal roof etc. details) (specifications, etc.)
9. If foundation is site supplied and plans do not meet required, an independent geotechnical report shall be obtained at the expense of the owner.
10. Unusual specifications stated or contradicted, the engineer will not perform inspections on property prior to, during or after the completion of construction.
11. Displacement is not responsible for any structural shoring of material. Any material called out in details are strictly for the correct sizing and contents of this specification. Responsibility for the correct sizing and contents of this specification



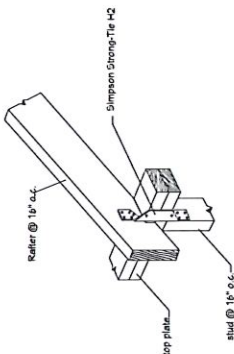
Door Opening Detail



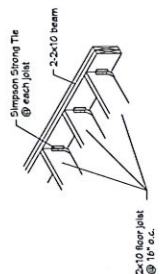
Window Opening Detail



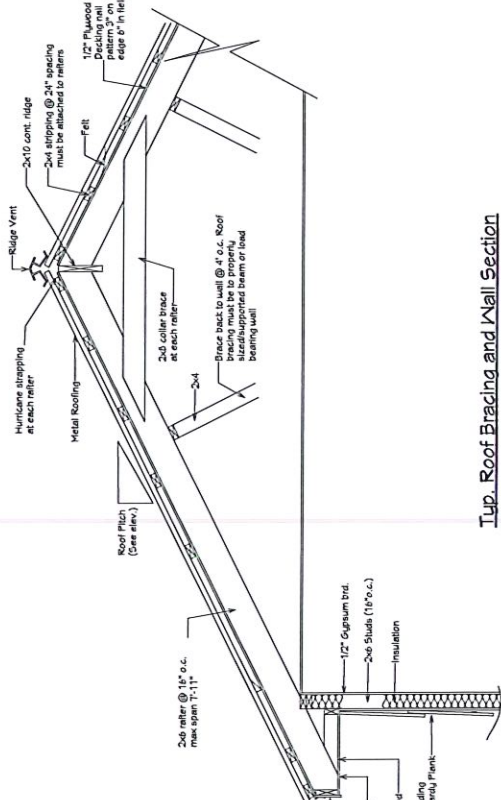
Post /Beam Connection



Rafter Connection Detail



Joist Connection Detail

Tup. Roof Bracing and Wall Section

[illegible]



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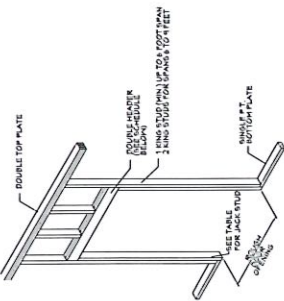
The Residence of:

Details Cont.

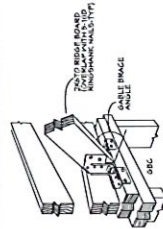
Job Number	KINGSTON26
Date	8/14/26
Drawn By	DL
Checked By	DL

9

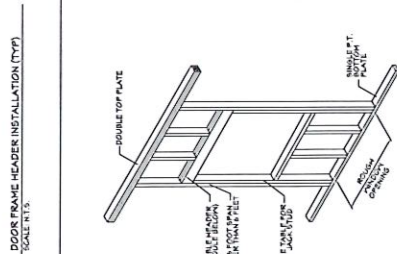
Item # 2.



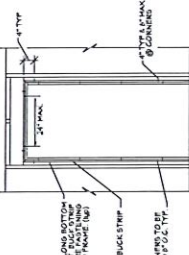
GABLE END WALL BRACING FOR PRE-ENGINEERED TRUSSES
SCALE: N.T.S.
(TYPICAL DETAIL)



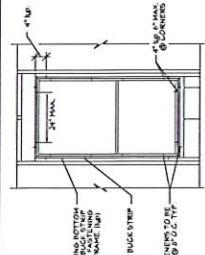
GABLE END WALL BRACING FOR CONVENTIONALLY FRAMED ROOFS
SCALE: N.T.S.
(TYPICAL DETAIL)



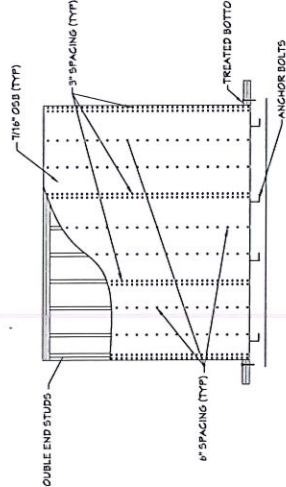
WINDOW FRAME HEADER INSTALLATION (TYP)



TYP. DOOR TO FRAME
NTS



TYP. SINGLE HUNG WINDOW TO FRAME
NTG.



SHEAR WALL DETAIL (TYP)

NOTES:
SIDE 7 1/2" ODB WITH 8D KING SHANK NAILS 3" NAILING ON EDGE AND 6" IN THE FIELD
SECURE WALL DIAPHRAGM ON EACH END WITH SIMPSON HDB

[illegible]

OPENING SCHEDULE			
OPENING SIZE	HEADER SIZE	PASTERING	JACK STUDS (PACING)
1" to 3'-4"	2'-2" X 4"	1in @ 4' O.C.	1
3'-5" to 5'-4"	2'-2" X 6"	1in @ 4' O.C.	2
5'-5" to 7'-4"	2'-2" X 10"	1in @ 4' O.C.	2
8'-0" to 9'-4"	2'-3" X 12"	1in @ 4' O.C.	3

NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND PROJECT DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, THE CONTRACTOR IS TO NOTIFY THE DESIGNER BEFORE COMMENCING WORK.

NOTES:
SIDE 7 1/2" ODB WITH 8D KING SHANK NAILS 3" NAILING ON EDGE AND 6" IN THE FIELD
SECURE WALL DIAPHRAGM ON EACH END WITH SIMPSON HDB

- ❑ **Roof Material:** Asphalt shingles to match existing residence.
- ❑ **Siding:** Wall louver system/shutters and 5/4 pine decking, painted to match existing.
- ❑ **Exterior Openings:** N/A
- ❑ **Soffit and Fascia:** Hardie board.
- ❑ **Pool:** New pool construction as indicated on the plans.

Remodeling Project 350 Demontzulin Ave.

Project A – Outdoor entertainment upgrades

- Deck in rear of house
- Hot Tub in corner of the deck
- Lattice Work or some type of barrier along bottom of house in back

Project B – Change living room/dinning, additional private bedroom

- Install non-loadbearing wall between current living room & bunk room
- Open wall space between kitchen & living room (New den)
- Install non-load bearing wall in bunk room with pocket door for a smaller bunk room & separate dining area
- Remove the existing fireplace including the chimney
- Build shelves along back wall in new dining room

Project C – New Bath

- Construct full bath (Shower/Toilet/Vanity, Stackable Washer & Dryer) in current utility/washroom
- Install tankless hot water heater
- Run Air Vent for HVAC to the room

Project C.1 – Upgrade existing bath

- Install new vanity and sink
- Paint cabinets and walls

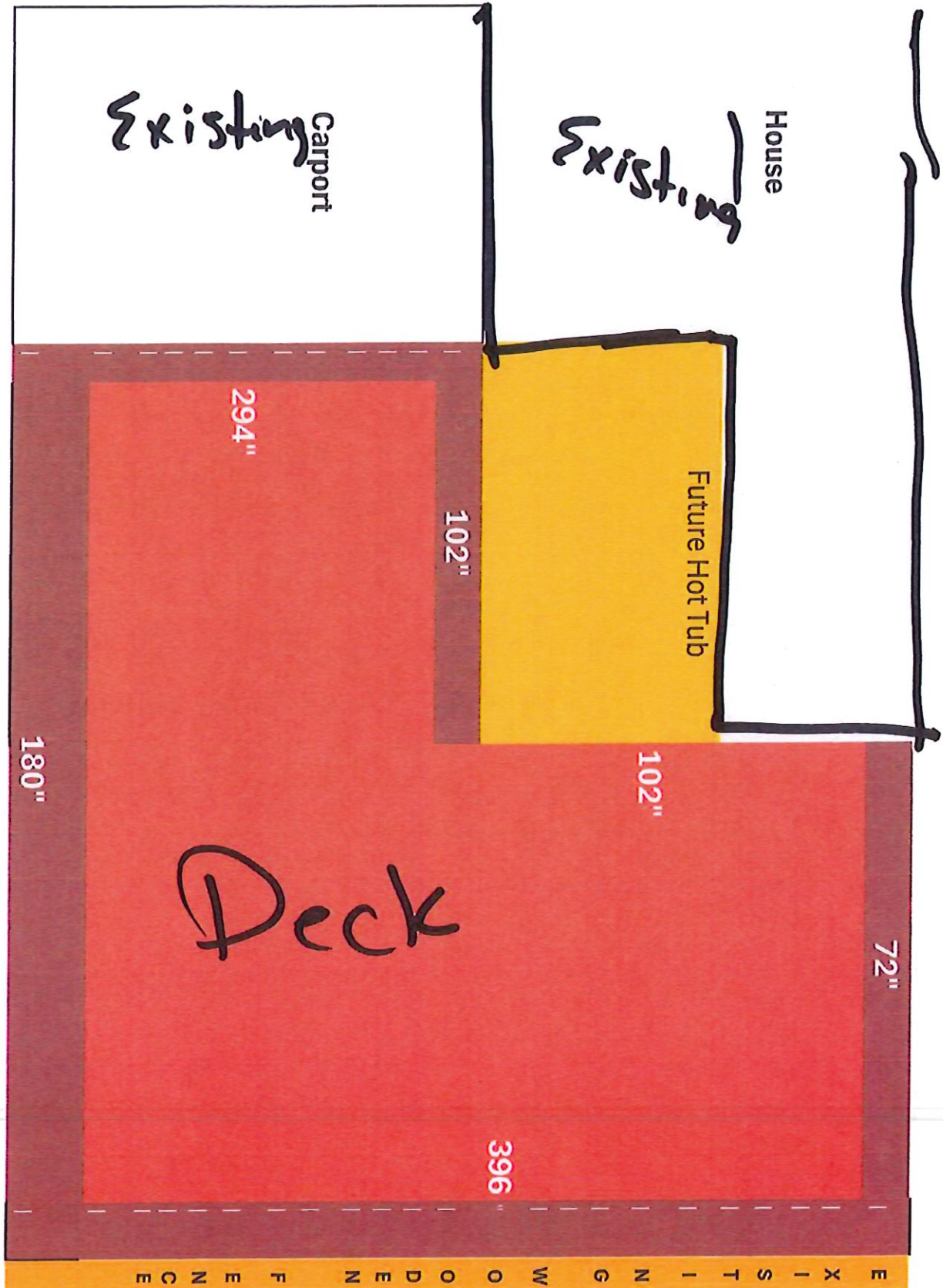
Project D - Kitchen

- Change counter tops in kitchen
- Possible new sink in kitchen
- Painting all cabinets/New hardware

Project E – Miscellaneous Items (Electrical) – In addition to remodel services

- Install recessed LED can lights in New Den, Dining, Kitchen areas
- Install ceiling fans, update lighting in areas designated by owners
- Replace electrical devices that may need to be upgraded with electrician recommendation
- Inspect current wiring, breakers, and panels to ensure they are up to code

~~Street~~ Street



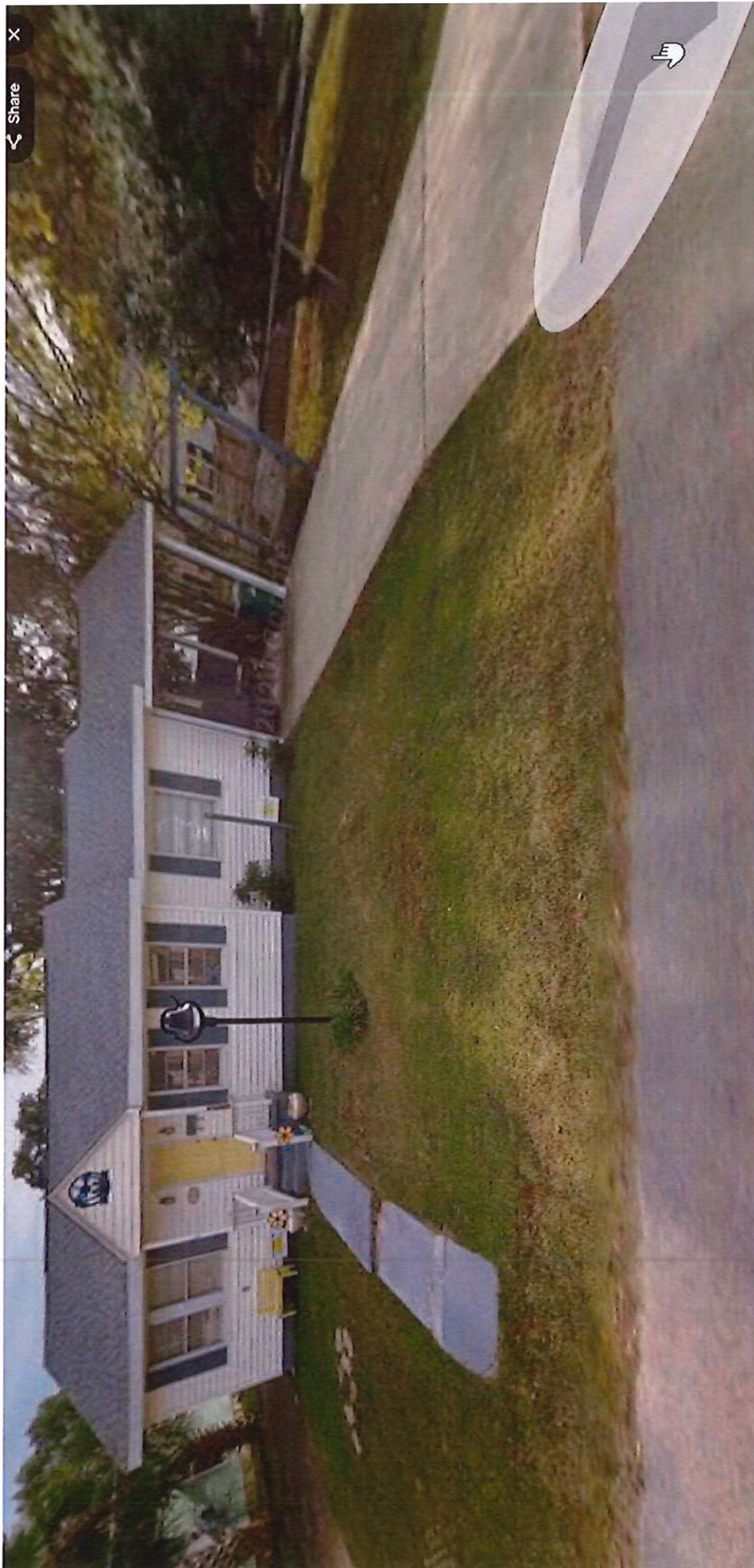
PROJECT A



Before



AFTER



X

Share



Item # 3.

Dec

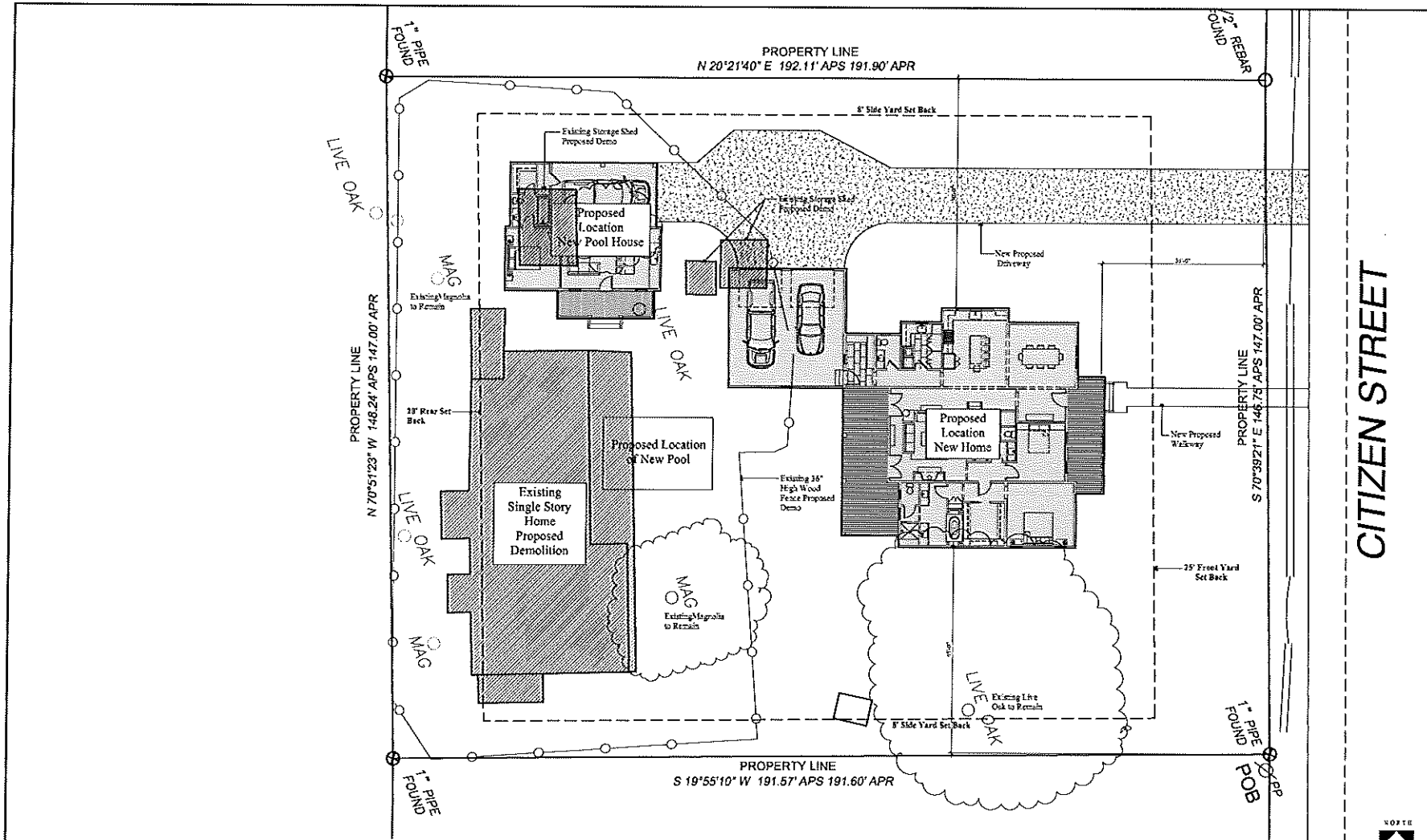
Geoportal Map



310 St John Street

Remove all the existing vinyl siding and replace with the Hardie





1 SITE PLAN
SD3 1" = 10'-0"

HRC - DEMOLITION REQUEST
SEPTEMBER 14, 2026

LEBATARD
ARCHITECTURE, PLLC
1311 DUNSTON STREET, SUITE 200
OUSTON, MISSISSIPPI 39064
www.lebatard.com

NOT FOR
CONSTRUCTION
CLIENT
REVIEW ONLY
DRAWING FOR INFORMATION
DATE: 09/14/2026

PROJECT
WEBB RESIDENCE
233 CITIZEN STREET, RAY ST. LOUIS, MISSISSIPPI 39066

DRAWING DATE
HYSEN

SHEET TITLE
SITE PLAN

SHEET NUMBER
HRC-1

LEBATARD
ARCHITECTURE, PLLC
1111 LIVINGSTON STREET, SUITE A
OLD FORT, MISSISSIPPI 38650
228.386.5666 www.lebatard.com

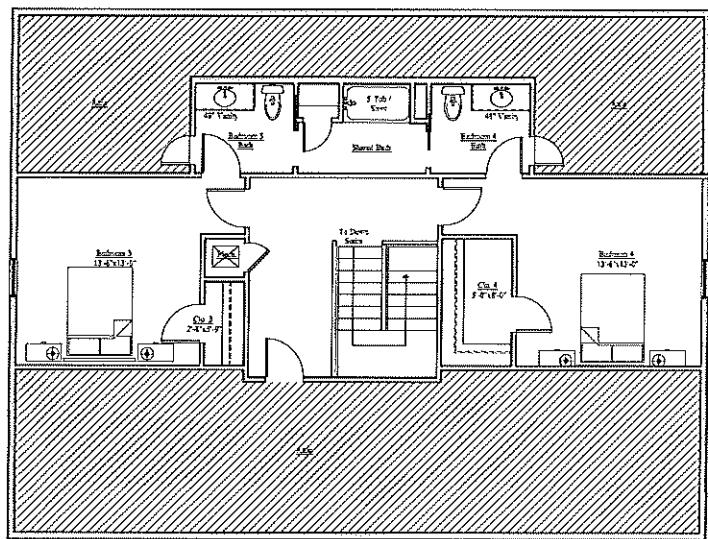
NOT FOR
CONSTRUCTION
CLIENT
REVIEW ONLY
DESIGNED FOR CONSTRUCTION
BY ARCHITECTS J. J. JONES

PROJECT
WEBB RESIDENCE
232 CITIZENS STREET, RAY ST. LOUIS, MISSISSIPPI 39310

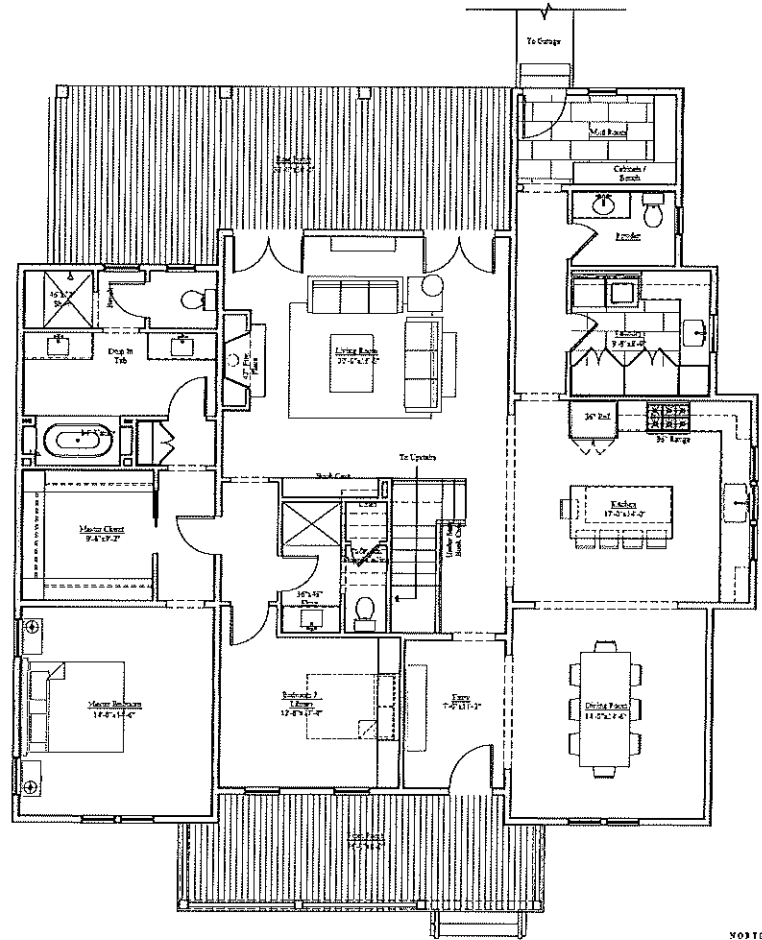
DRAWING ISSUE DATE
REVISION
SHEET TITLE
PROPOSED FLOOR PLAN
SHEET NUMBER
HRC-2

SQUARE FOOTAGE CALCULATIONS	
HEATED & COOLED - FIRST FLOOR	2,340 SQFT
HEATED & COOLED - SECOND FLOOR	790 SQFT
HEATED & COOLED - TOTAL SQFT	OHE 3,130 SQFT
PAVING	340 SQFT
GARAGE	480 SQFT
POUCHES - GARAGE - TOTAL SQFT	1,190 SQFT
UNDER STAIRS - TOTAL SQFT	4,145 SQFT

— OHE — OHE — OHE



1 SECOND FLOOR PLAN
SD3 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SD3 1/4" = 1'-0"

HRC - DEMOLITION REQUEST
SEPTEMBER 14, 2026



1
SD1 PROPOSED EAST ELEVATION (FRONT ELEVATION - CITIZEN STREET VIEW)
NOT TO SCALE

HRC - DEMOLITION REQUEST
SEPTEMBER 14, 2026

LEBATARD
ARCHITECTURE, PLLC
10110 E. 10TH AVENUE, SUITE 100
DENVER, CO 80231
303.733.1000

NOT FOR
CONSTRUCTION
CLIENT
REVIEW ONLY

PROJECT
WEBB RESIDENCE
211 CITIZENS STREET, NAT ST. LOUIS, MISSOURI 63108

DRAWING DATE

REVISED

ADDT LITER

PROPOSED

ELEVATION

SHEET NUMBER

HRC-3





nited LLC







August 10, 2026 Historic Preservation Commission Meeting Minutes

**August 10, 2026 at 12:00 PM
598 Main Street, Bay St. Louis, MS 39520**

Call to Order

The meeting was convened at 12:00 noon on Monday, August 10, 2026, with a prayer and the Pledge of Allegiance.

PRESENT

Commissioner John Bezou

Commissioner Matt Stieffel

Commissioner Dave Wessinger

Chairman Cliff Rabalais

ABSENT

Commissioner Patricia Keating

Commissioner Steve Haas

ACTION ITEMS

1. Application submitted by Leah Watters for the owner Robert Stuart at 328 Main Street, for renovations to the existing house. The scope of the renovation was confirmed as the removal of the inset porch on the right side of the house. That area will be enclosed so that the outside wall will be straight on that side of the house, and the roof will be extended to cover that area, converting that space into living area. The roof to be installed will match the existing roof immediately adjacent to it, with a 1:12 pitch. It was uncertain if asphalt shingles were used on the existing roof or if roll roofing had been used on this low pitch roof area. Regardless, whatever roofing material is in use on the adjacent roof, the same material will be used on this new roof section.

There was a short discussion about the exterior doors and meeting wind code requirements. The existing doors for the porch will be reused on the outside wall, and if necessary modified

to meet wind code. The exterior wall will be covered using wood siding (cedar) to match the existing house siding. The existing deck on the left side of the house will be removed, and a “sun room” will be added. An existing window, complete with shutters, will be relocated to the front wall. This addition will also have wood siding to match the house, and the roof will be the same as the existing adjoining roof, 6:12 pitch with asphalt shingles. It was noted that the front wall of this addition will be offset 18 inches behind the front wall of the existing house.

Motion to approve the application as submitted was made by Commissioner David Wessinger, Seconded by Commissioner Matt Stieffel.

Motion was approved 4/0.

2. Application submitted by Betsy and Rea Montjoy at 355 Main Street, for the installation of an in-ground swimming pool, with an outdoor pavilion. The pool and outdoor pavilion will be located in the back yard, behind an existing fence. The pavilion will be an appropriate style and character. The materials, posts, and roof (R-panel) will match the existing house. The height of the pavilion will be much shorter than the house, and only a small portion of the pavilion will be visible behind the fence from Main Street. It was noted that there is a request for a setback variance, and that HPC approval does not approve such a variance request.

Motion to approve the application as submitted was made by Commissioner John Bezou, Seconded by Commissioner David Wessinger. Motion was approved 4/0.

3. No formal application submitted – Replacement of a fence at 115 Washington Street. Mr. Ed Madden attended the meeting to outline the replacement of an existing fence at 115 Washington Street. The existing wood 4 ft fence around the back yard area of that residence is in bad shape and will be replaced with a 6 ft fence; the bottom 42 inches of the new fence to be solid wood, and the top portion (30 inches) will be lattice.

This had been discussed with the Building Department, and it was uncertain if this request needed to come to the Historic Preservation Commission, but to err on the safe side, Mr. Madden attended the meeting to explain what was being requested.

Motion to approve this application as presented was made by Commissioner David Wessinger, Seconded by Commissioner John Bezou. Motion was approved 4/0. It was confirmed with Jeremy Burke that this action noted in the meeting minutes would be sufficient approval.

4. The previously listed agenda item for the renovations at Fields Steak House at 108 Court Street was removed from the agenda. The application will be heard during the September meeting.

MINUTES APPROVAL

Meeting Minutes for the July 13, 2026 meeting were reviewed.

Motion to approve the minutes as written was made by Commissioner David Wessinger, Seconded by Commissioner Matt Stieffel. Minutes were approved 4/0.

OTHER DISCUSSION

No other discussion was requested.

ADJOURN

Motion to adjourn the meeting at approximately 12:15 PM was made by Commissioner David Wessinger, Seconded by Commissioner Matt Stieffel. Motion was approved 4/0.

Meeting was adjourned at approximately 12:15 PM. **Adjourn**