



November 10, 2025 Historic Preservation Commission Meeting Agenda

November 10, 2025 at 12:00 PM
598 Main Street, Bay St. Louis, MS 39520

Call to Order

Minutes Approval

Action Items

1. Motion to approve renovation of replacing old wooden windows with white single upper and lower pan vinyl windows and replace old slate siding with Hardie siding at 121 State Street submitted by Edward Toomey.
2. Motion to approve the demolition of the existing building located at 299 South 2nd Street and to grade the property. The long-range plan for the site includes the expansion of Holy Trinity Catholic School through the construction of a gymnasium and multi-purpose facility submitted by Our Lady of the Gulf Parish, Diocese of Biloxi.
3. Motion to approve the demolition of the existing carport and driveway, creating a pervious area for the placement of a swimming pool, and the construction of a cabana at the rear of the residence located at 216 North Beach Blvd as submitted by Beson and Gwen Corbett.
4. To approve the application submitted by Michael Craven for 130 Carroll to relocate an accessory structure and construct a swimming pool
5. Motion to approve conception review of 231 Sycamore Street
6. Motion to approve a 22' wide by 26' deep garage for parking with approved HPC material to match the house at 312 Demontluzin submitted by John Robin

Adjourn

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 121 State Street, BSL, MS
Applicant Name: Edward Toomey Owner Name: Edward Toomey
Mailing Address: 327 DemontHuza Avenue, BSL, MS Mailing Address: 327 DemontHuza Avenue, BSL, MS
Phone: (228) 467-0943 Phone: (228) 467-0943

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

[X] Addition/Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

[] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Edward Toomey Date: 10-27-25

Owner's Signature Required: Edward Toomey Date: 10-27-25

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

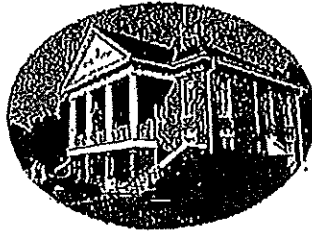
HPC Review / City Council Review

Table with columns for Historic District, Case Number, Date, Recommendation, and Comments. Includes checkboxes for Approval, Conditional Approval, and Disapproval.

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Edward Toomey

Address: 327 Demontluzin Avenue BSL, MS
(No P.O. Boxes)

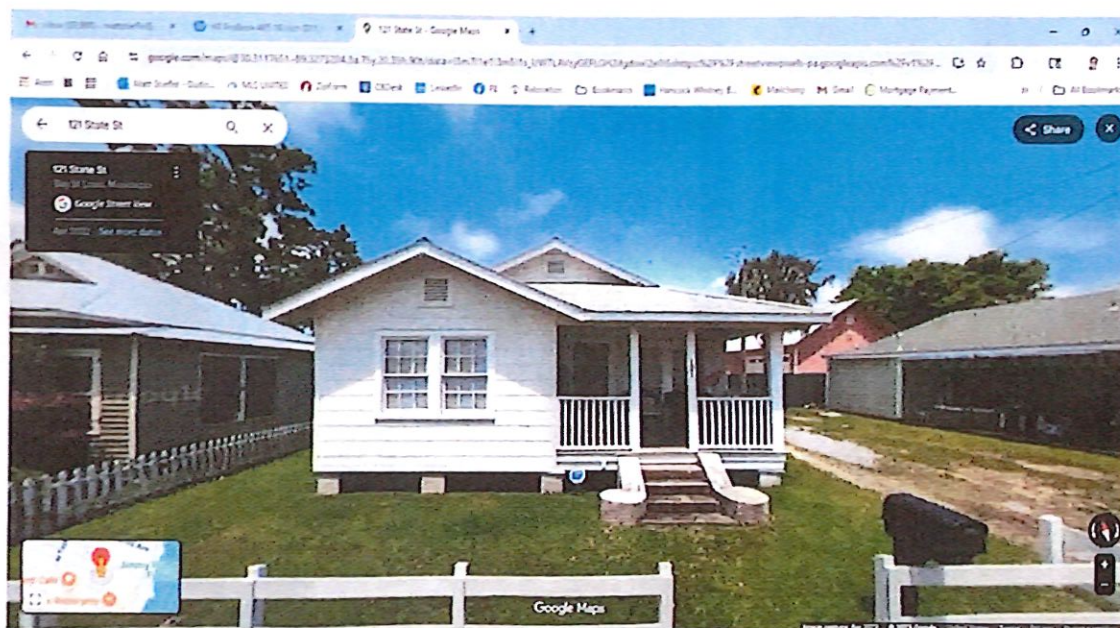
Telephone Number () _____ Cell Number (228) 467-0943

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 121 State Street BSL, MS

Give written scope of work to be performed: 1) Replace old wooden windows with white single upper and lower pane vinyl windows.
2) Replace old slate siding with 8.25 inch smooth Hardie Plank siding.

From: Matt Stieffel, Realtor mattstieffel@gmail.com
 Subject: Re: Toomey House at 121 State Street
 Date: Oct 20, 2025 at 12:44:55 PM
 To: Jeremy Burke jburke@baystlouis-ms.gov
 Cc: Clifford Rabalais cjrabalais@yahoo.com, Steven Haas
 realtorstevehaas@gmail.com, John Bezou Sr
 johnbezou.pcm@gmail.com, Patricia Keating
 patkeat1510@yahoo.com, Dave W. dnwes@usa.net,
 melindatoomey80@gmail.com

(Current) *JS*
 Here's Google StreetView. ~~Unsure if this is still what's current.~~



Matt Stieffel, REALTOR

Coldwell Banker Alfonso Realty

1188 Highway 90, Bay St. Louis, MS 39520

228.224.5530 (c) / 228.467.0244 (o)

mattstieffel@gmail.com

www.welcomemattrealtor.com

Your local Real Estate expert for the West Mississippi Coast!

On Mon, Oct 20, 2025 at 12:35 PM Jeremy Burke <jburke@baystlouis-ms.gov>
 wrote:
 Got it Cliff.

Proposed windows

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 299 S. Second Street Bay St. Louis MS 39520
 Applicant Name: William P. Hand Owner Name: Our Lady of the Gulf Church
 Mailing Address: 106 Carroll Ave Mailing Address: 228 S. Beach Blvd
 Phone: 936 718-7921 Phone: 228 467-6509

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Application

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition/Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed: Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: William P. Hand Date: 11/5/2025
 Owner's Signature Required: Rev. Mark P. O'Connell Date: 11/5/2025

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
 Historic Preservation Commission / City Council Use Only

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Review	Review Date
Recommendation: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Not Approved	
Comments:	
Signature - Property Owner / Applicant Signature	
Date	
COA Action Approval #	NO. Date COA Action
Comments:	
BSL Historic Preservation Commission / City Council Approval Signature	Date

Once Completed & Signed - Original copy - HPC, Copy - Building Department

Revised May 4, 2009

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Our Lady of the Gulf - Diocese of Biloxi

Address: 228 S. Beach Blvd Bay St. Louis, MS 39520
(No P.O. Boxes)

Telephone Number (228) 467-6509 Cell Number (936) 718-7921

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 299 South 2nd Street Bay St. Louis, MS 39520

Give written scope of work to be performed: Demolition of existing building/structure + properly grade property. Long range plan is an expansion of Holy Trinity Catholic School by construction of school gym/multiply purpose space.

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 216 North Beach
 Applicant Name: Sanders Kane Owner Name: Berton & Gwen Corbett
 Mailing Address: 301 Longfellow Dr. BSL Mailing Address: 514 E Woodluff Dr. Baton Rouge, LA
 Phone: (228) 577-5443 Phone: (225) 202-2042

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Application

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

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I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 11/5/25

Owner's Signature _____

Required: _____ Date: _____

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Review	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action	Date
Comments	
(BSL Historic Preservation Commissioner) Signature	(City Council Resident) Signature
Date	Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BAV SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Benson & Gwen Corbett

Address: 216 North Beach
(No P.O. Boxes)

Telephone Number (225) 202-2042 Cell Number()

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: Demo existing carport
& driveway creating a permit area for placement
of a pool, hardscape, new landscaping, &
the construction of a porch @ rear of residence
Front of residence to include site improvements consisting
of new plantings, landscaping & fire pit including
revised steps.

DATE	
BY	
DR	
CHK'D	
APP'D	
SCALE	1/8" = 1'-0"
SHEET NO.	
TOTAL SHEETS	
PROJECT NO.	
CLIENT	
DATE	

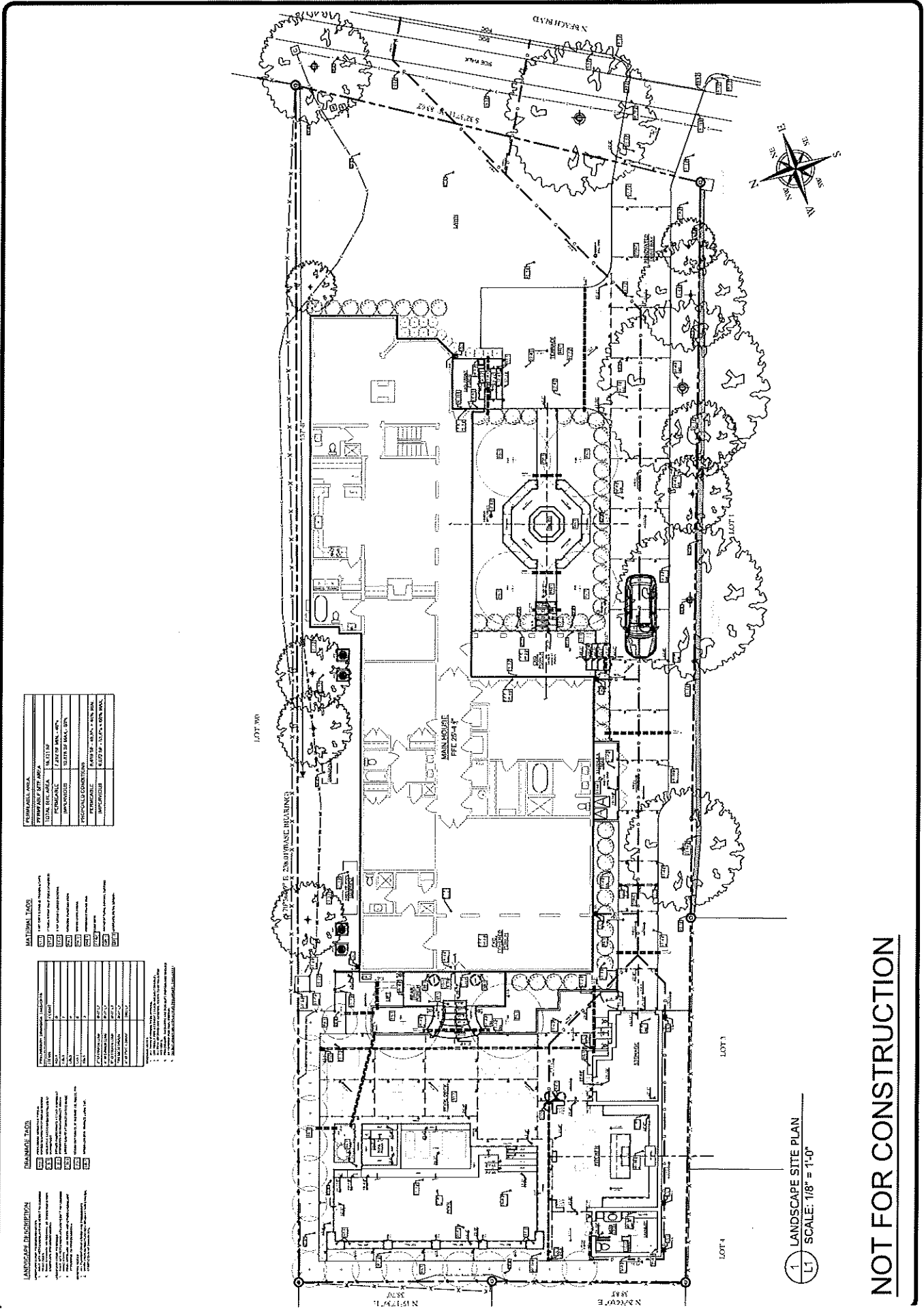
216 NORTH BEACH BLVD.
BAY ST. LOUIS, MS 39520

CORBET HENRY RESIDENCE

FRANSEN MILLS LLC
1418 AMELIA ST.
NEW ORLEANS, LOUISIANA
(504) 422-5259

NO	REVISIONS
01	2/20/2018
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FRANSEN MILLS LLC
CONSULTANTS



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5	PAINT
6	GLASS
7	METAL
8	PLASTER
9	CEILING
10	FLOORING
11	WALLS
12	ROOFING
13	LANDSCAPE
14	POOLS
15	SPAS
16	DECKS
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MATERIAL TRADE	
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LANDSCAPE DESCRIPTION	
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1 LANDSCAPE SITE PLAN
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

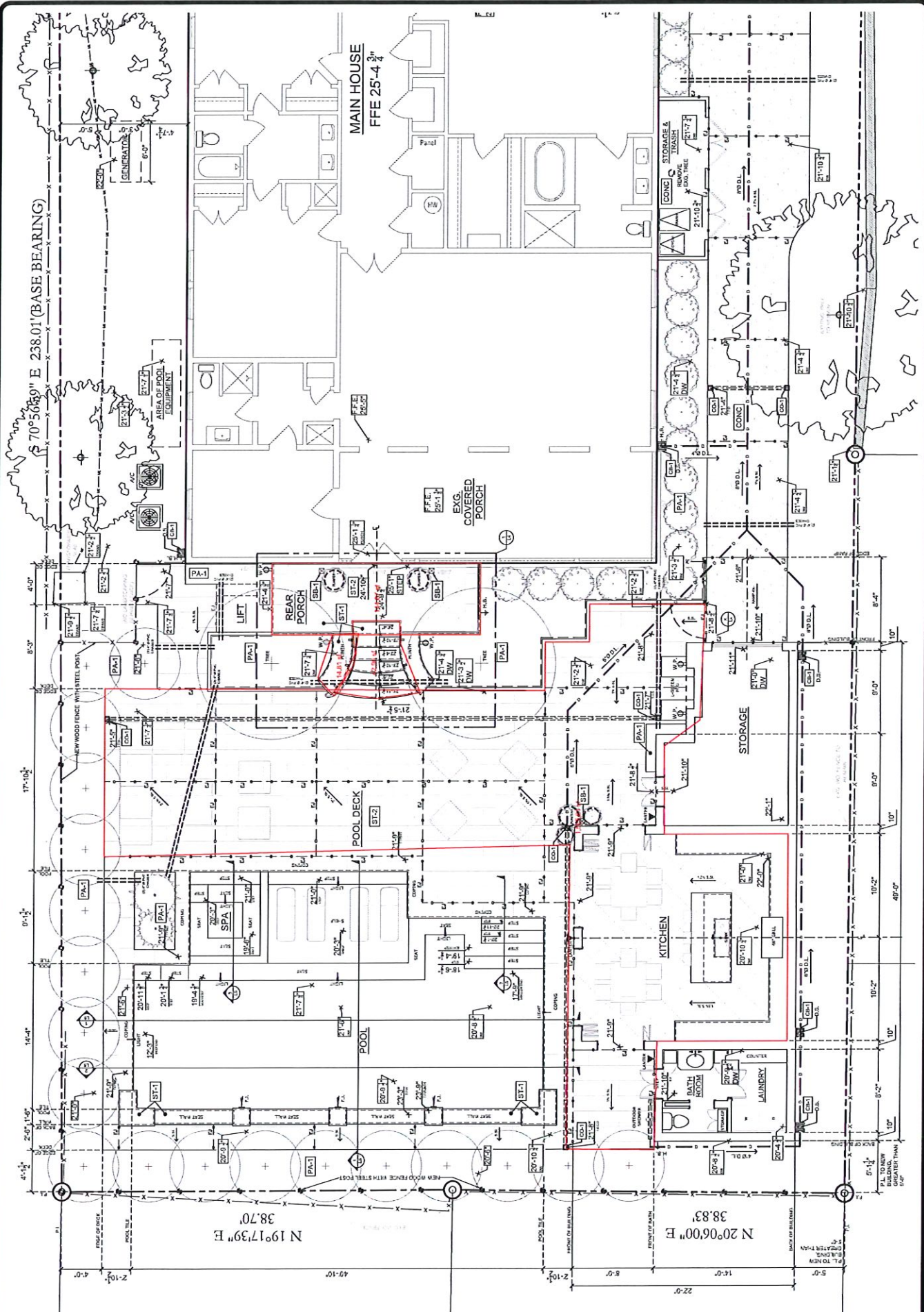
DATE	REVISION/APP'D
SEP 2005	JDM
14" x 11" 0"	
14" x 11" 0"	

216 NORTH BEACH BLVD.
BAY ST. LOUIS, MS 39520

CORBET HENRY RESIDENCE

FRANSEN MILLS LLC
CONSULTANTS
1419 AREOLA ST.
NEW ORLEANS, LOUISIANA
(860) 422-5355

REVISIONS	BY
8/11/2005	JDM

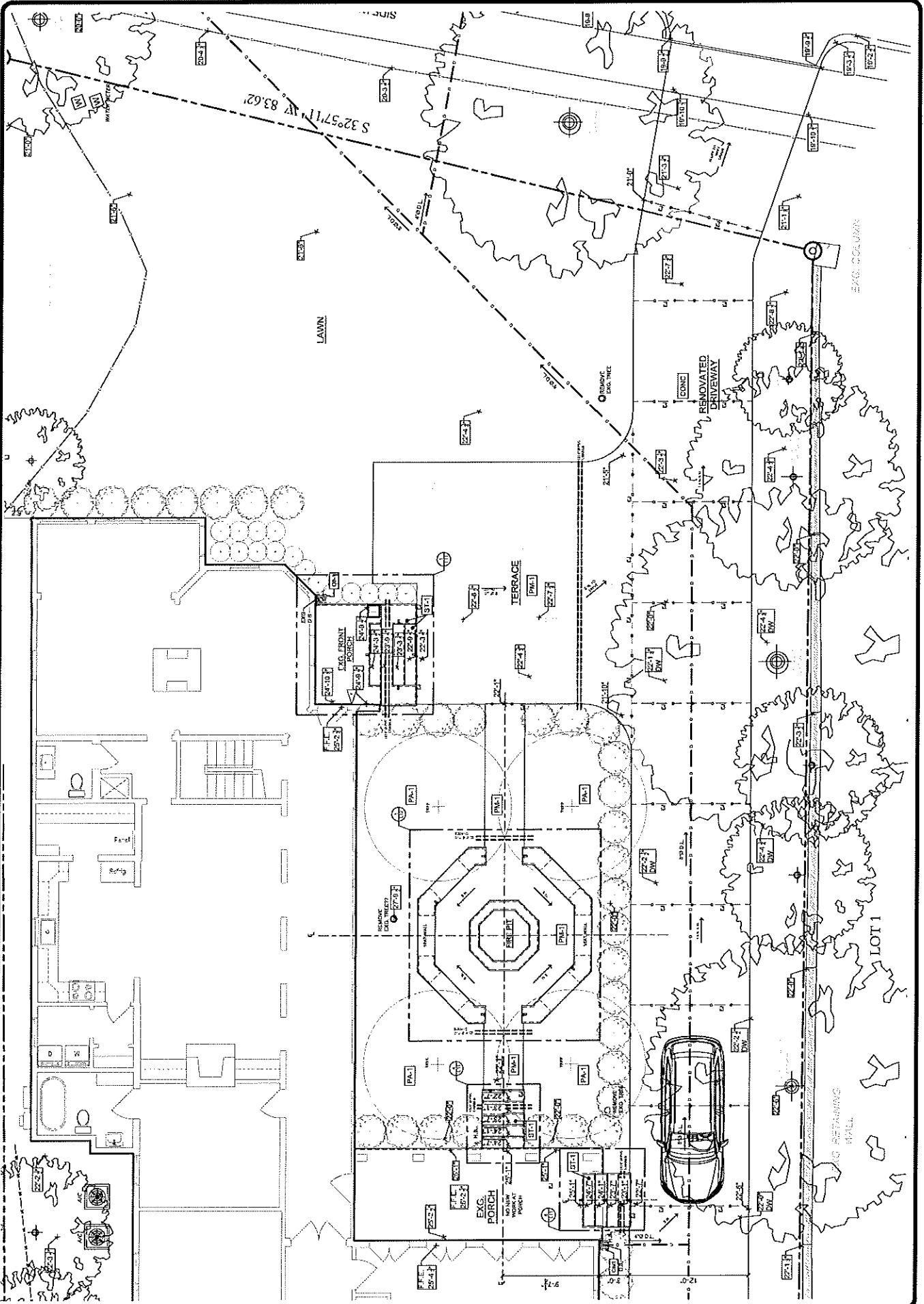


DATE	10/11/16
BY	JW
REVISIONS	

CORBET HENRY RESIDENCE
 216 NORTH BEACH BLVD.
 BAY ST. LOUIS, MS 39520

FRANSEN HILLS LLC
 CONSULTANTS
 1419 AMELIA ST
 NEW ORLEANS, LOUISIANA
 (504) 422-5355

DATE	10/11/16
BY	JW
REVISIONS	



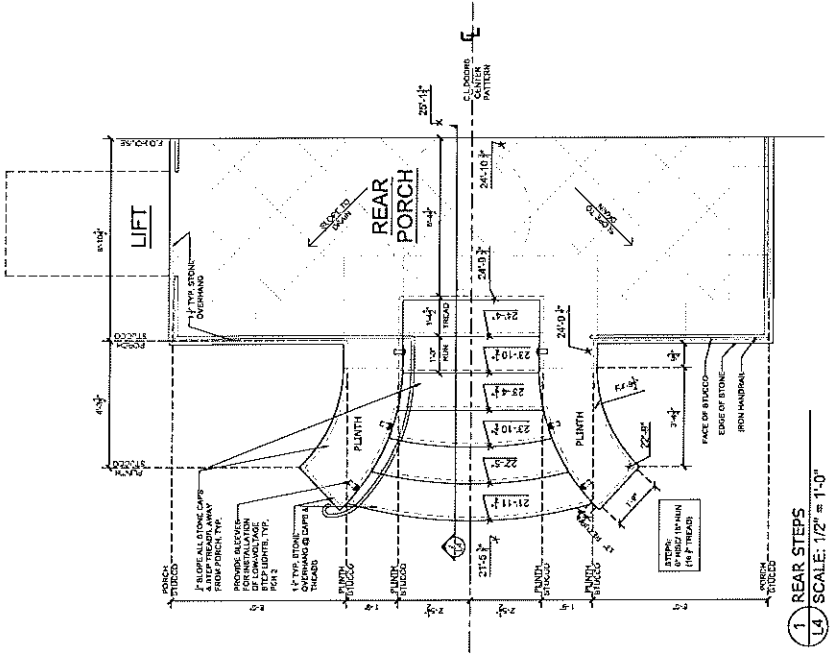
Item # 3.

REVISIONS	BY
B1	JAV

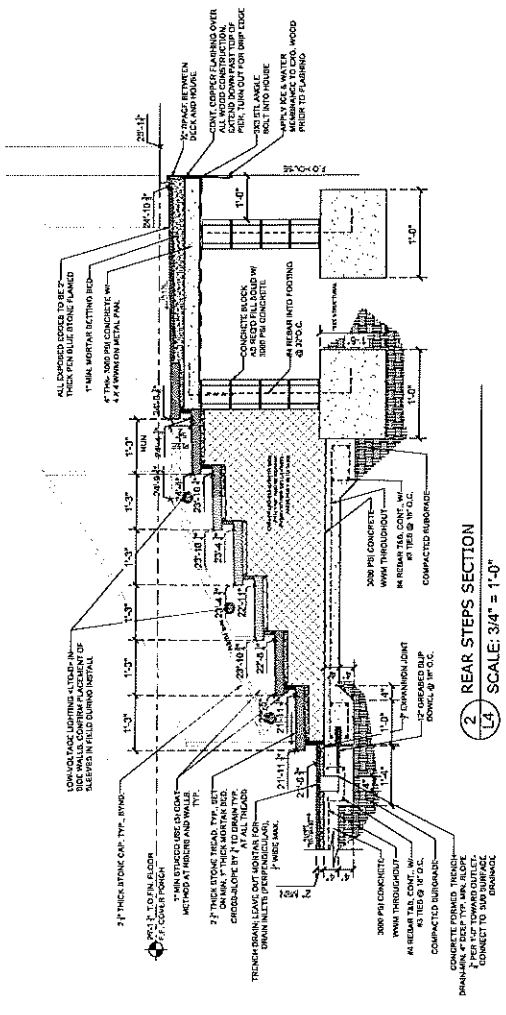
FRANSEN HILLS LLC
CONSULTANTS
1418 AMESIA ST.
BAY ST. LOUIS, MS 39520
(601) 422-5555

CORBET HENRY RESIDENCE
216 NORTH BEACH BLVD.
BAY ST. LOUIS, MS 39520

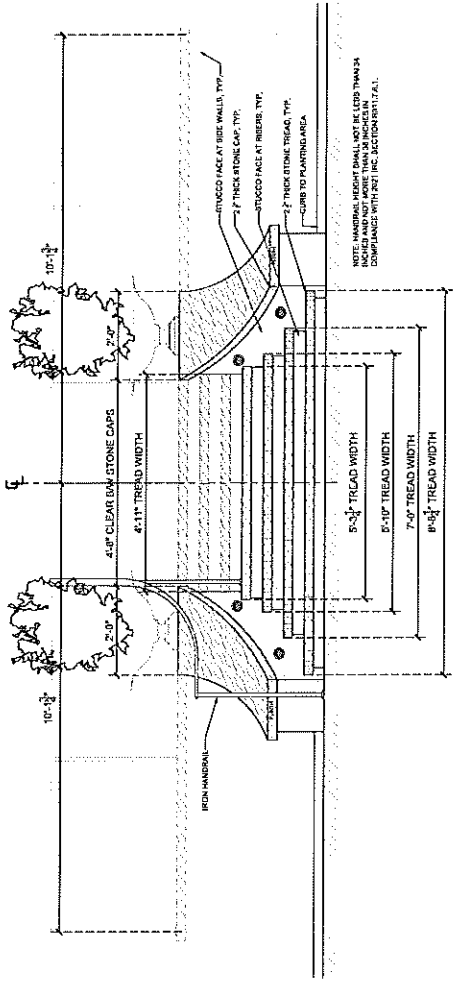
DATE	BY	APP'D
SEP 2025	JAV	JAV
AS NOTED		
REAR STEPS		



1 REAR STEPS
SCALE: 1/2" = 1'-0"



2 REAR STEPS SECTION
SCALE: 3/4" = 1'-0"



3 STEPS ELEVATION @ REAR ENTRY
SCALE: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

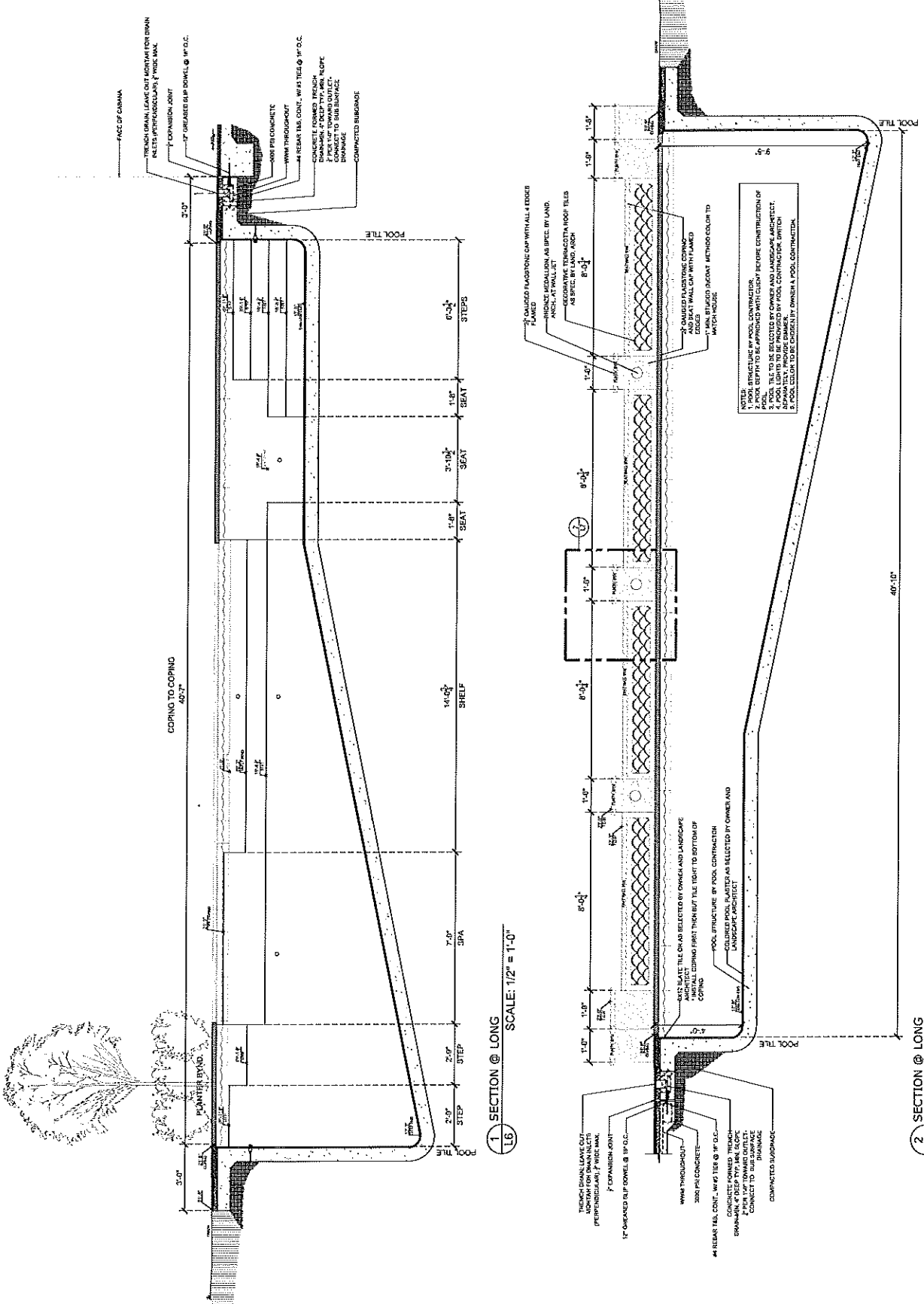
REVISIONS	BY
01/15/2025	JLV

FRANSEN HILLS LLC
CONSULTANTS
1515 COLONIALS, LOUISIANA
1419 AVENUE ST
14571 422-5558

CORBET HENRY RESIDENCE
216 NORTH BEACH BLVD
BAY ST. LOUIS, MS 39520

DATE	08/11/2024
BY	JDM
SCALE	1/2" = 1'-0"
POOL SECTIONS	

Item # 3.



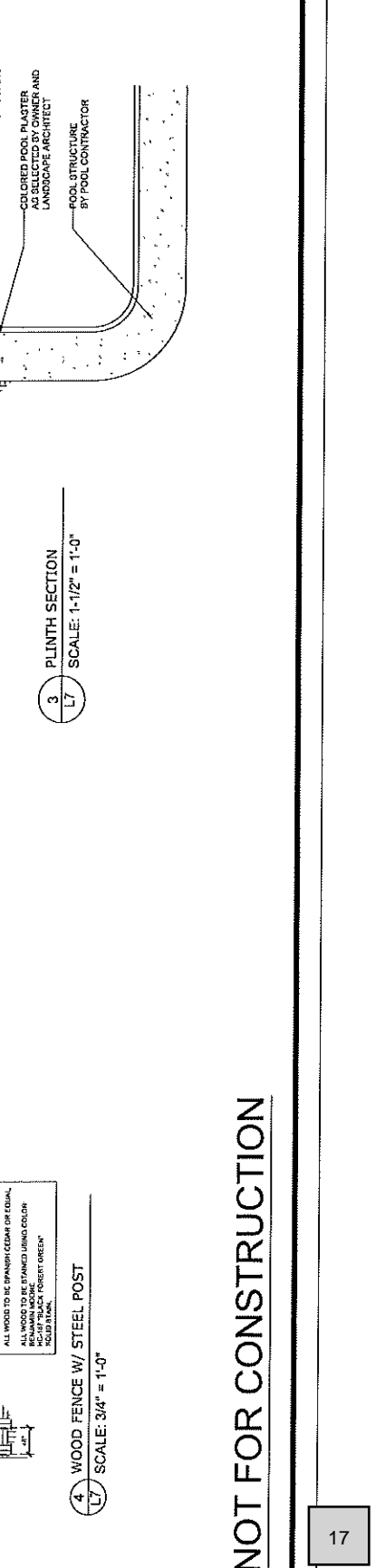
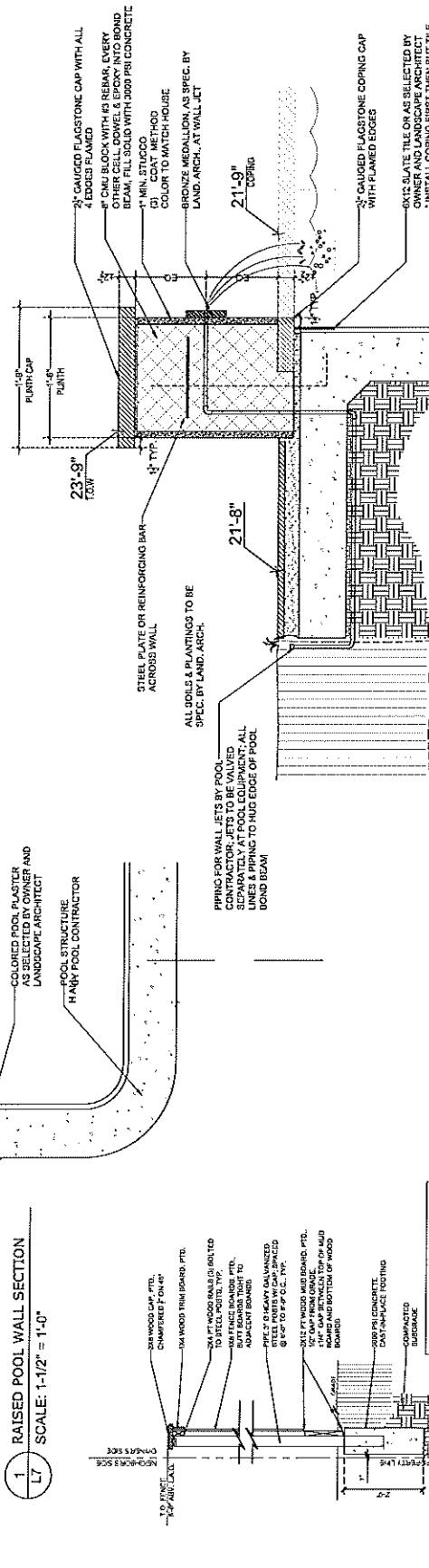
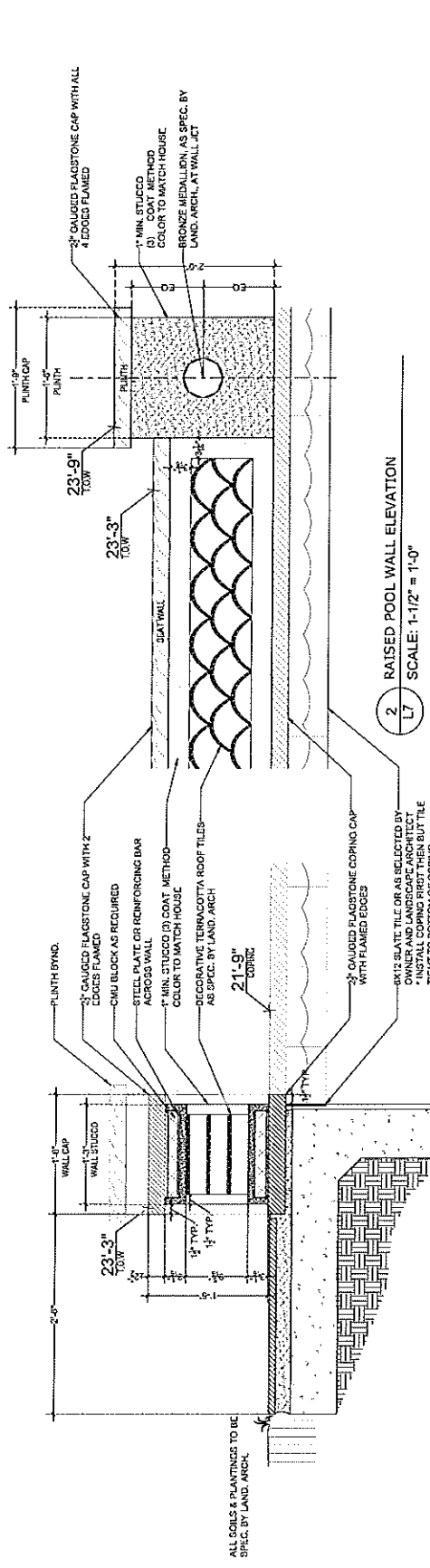
REVISIONS	BY
0110225	JW

FRANSEN MILLS LLC
CONSULTANTS
1619 AMELIA ST.
NEW ORLEANS, LOUISIANA
(504) 422-5355

CORBET HENRY RESIDENCE
216 NORTH BEACH BLVD.
BAY ST. LOUIS, MS 39520

DATE	08/20/2025
PROJECT	216 NORTH BEACH BLVD
DESIGNER	FRANSEN MILLS LLC
DATE	08/20/2025
PROJECT	216 NORTH BEACH BLVD
DESIGNER	FRANSEN MILLS LLC
DATE	08/20/2025
PROJECT	216 NORTH BEACH BLVD
DESIGNER	FRANSEN MILLS LLC

Item # 3.



1 RAISED POOL WALL SECTION
SCALE: 1-1/2" = 1'-0"

2 RAISED POOL WALL ELEVATION
SCALE: 1-1/2" = 1'-0"

3 PLINTH SECTION
SCALE: 1-1/2" = 1'-0"

4 WOOD FENCE W/ STEEL POST
SCALE: 3/4" = 1'-0"

ALL BOLTS & PLANTINGS TO BE SPEC. BY LAND. ARCH.

PIPING FOR WALL JETS BY POOL CONTRACTOR. JETS TO BE VALVED SEPARATELY AT POOL EQUIPMENT. ALL LINES & PIPING TO HUG EDGE OF POOL (BOND DRAIN).

NOTE:
ALL WOOD TO BE SPANISH CEDAR OR EQUAL, REMAIN MOISTURE, BLACK FOREST GREEN, SOLID GRADE.

12" x 12" WOOD STUD WALL
4" x 8" WOOD TRIM BOARD, PTD.
1/2" x 1/2" WOOD TRIM BOARD, PTD.
1/2" x 1/2" WOOD TRIM BOARD, PTD.
1/2" x 1/2" WOOD TRIM BOARD, PTD.
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1/2" x 1/2" WOOD TRIM BOARD, PTD.

NOT FOR CONSTRUCTION

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 130 Carroll Ave in Bay St. Louis, MS

Applicant Name: Michael Craven

Owner Name: Revival Property BSL113, LLC

Mailing Address: 1132 Sena Dr. Metairie, LA 70005

Mailing Address: 1132 Sena Dr. Metairie, LA 70005

Phone: 925.272.8360

Phone: 925.272.8360

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(s)


Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

X) Addition/ Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.


New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: 

Date: 11/4/2025

Owner' Signature 

Date: 11/4/2025

Required: _____

Please refer to the checklist of materials required with your application

A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

HPC Review /City Council Review

Historic District: _____

Case Number: _____

Historic Preservation Commission Reviewed

Review Date: _____

Recommendation: Approval Approval with Conditions * Disapprove

Comments: _____

* Requires Property Owner / Applicant Signature

City Council Reviewed

COA Action: Approval; YES NO Date COA Action: _____

Review Date: _____

Comments: _____

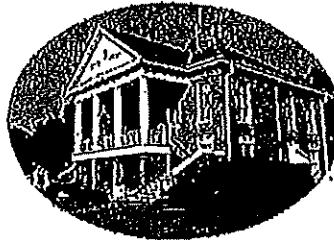
(BSL Historic Preservation Commissioner

/ City Council President Signature)

(Date)



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Revival Property BSL113, LLC _____

Address: 1132 Sena Dr. Metairie, LA 70005 _____
(No P.O. Boxes)

Telephone Number (925.272.8360) _____ Cell Number (925.272.8360) _____

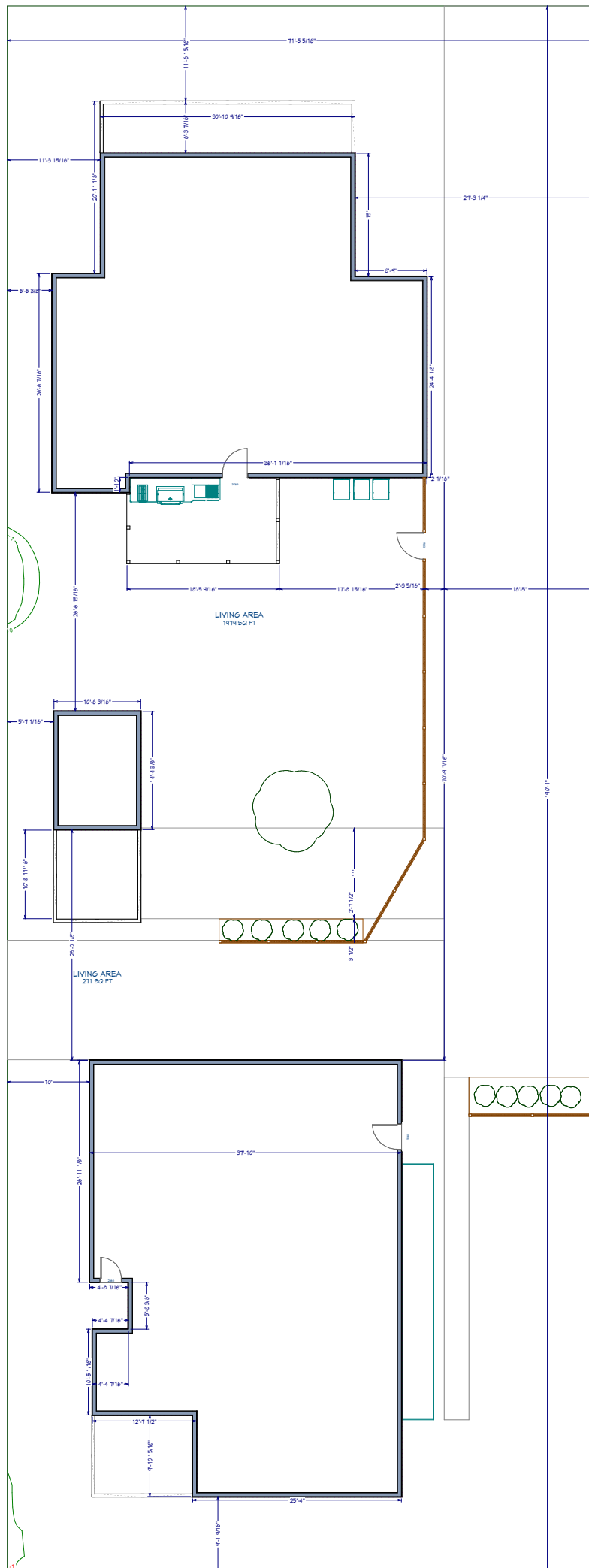
ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 130 Carroll Ave. in Bay St. Louis, MS 39520 _____

Give written scope of work to be performed: _____

(1) Relocate the shed as drawn on the plans, which will require the removal of about 20 feet of picket fence _____

(2) add a half-bath to the inside of the shed in it's new location. _____

(3) add a pool as drawn on the plans _____



Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 231 Sycamore St. / Bay St. Louis, MS 39520
 Applicant Name: ANNIE HERRINGTON Owner Name: ANNIE HERRINGTON
 Mailing Address: 1219-B JOSEPH AVE GPT, MS 39501 Mailing Address: 1219-B JOSEPH AVE- GPT, MS 39501
 Phone: 228-671-0243 Phone: 228-671-0243

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.**

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Annie B. Herrington Date: 11/03/25
 Owner's Signature Required: Annie B. Herrington Date: 11/03/25

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments	
Requires Property Owner / Applicant Signature	
City Council Reviewed	Review Date
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action	Review Date
Comments	
(BSL Historic Preservation Commissioner)	(City Council Resident Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy - Building Department

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: ANNIE B. HERRINGTON

Address: 1219-B JOSEPH AVE / GULFPORT, MS 39501
(No P.O. Boxes)

Telephone Number: (228) 671-0243 Cell Number: (228) 671-0243

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 231 SYCAMORE ST. / BAY ST. LOUIS, MS 39520

Give written scope of work to be performed: RESTORE ORIGINAL DWELLING. MAKE RENOVATION TO THE ADDED BEDROOM/DINING ROOM. WOULD LIKE TO GO UP ON THE ADDED PORTION TO MAKE 2 BEDROOMS AT BOTTOM AND MASTER SUITE UPSTAIRS. My DESIRE IS THAT EACH BEDROOM WOULD HAVE ITS OWN BATHROOM/CLOSET