



Historic Preservation Commission Meeting Agenda

May 13, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Minutes Approval

1. Motion to approve the April 8, 2024 HPC Minutes

Action Items

2. Colt Lee submitted a motion to approve the addition of the master suite on the back of the garage/studio for 116 Washington Street.
3. Motion to approve the construction of a new house at 218 Ballentine Street submitted by Pete and Erin Nuss.
4. Motion to approve Colonial and Bahama style shutters at 333 Carroll Avenue
5. Motion to approve the demo and renovation of 122 Ulman Avenue submitted by Talamo
6. Motion to approve the renovation/addition at 112 North 2nd Street.
7. Motion to conceptually approve a new construction at 500 S Beach Blvd submitted by Thomas LeMarie
8. Motion to approve the construction of a fence at 342 Carroll Avenue submitted by Maggio

Adjourn



Minutes
Bay Saint Louis
Historic Preservation Commission Meeting
Regular Meeting
April 8, 2024
12:00 p.m.

Call to Order

Attendee Name	Title	Status	Arrived
John Bezou	Commissioner	Present	
Stephan Haas	Commissioner	Present	
Matt Stieffel	Commissioner	Present	
David Wessinger	Commissioner	Present	
Patricia Keating	Commissioner	Present	
Cliff Rabalais	Chairman	Present	
Jeremy Burke	Clerk	Present	

Applications

- A) Motion to approve the addition on covered back porch at 319 St George Street

RESULT:	APPROVED [UNANIMOUS]
MOVER:	David Wessinger, Commissioner
SECONDER:	Matt Stieffel, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

- B) Motion to construct a 6' privacy fence and 4' gothic picket fence and conceptual a swimming pool in the back yard at 128 Bookter Street

Include conceptual of swimming pool in backyard

RESULT:	APPROVED AS AMENDED [5 TO 0]
MOVER:	David Wessinger, Commissioner
SECONDER:	Stephan Haas, Commissioner
AYES:	Bezou, Haas, Wessinger, Keating, Rabalais
RECUSED:	Matt Stieffel

- C) Motion to relocate a metal shed located at 128 Bookter Street to 815 Hancock Street

Approve the fence

RESULT:	APPROVED AS AMENDED [5 TO 0]
MOVER:	David Wessinger, Commissioner
SECONDER:	Stephan Haas, Commissioner
AYES:	Bezou, Haas, Wessinger, Keating, Rabalais
RECUSED:	Matt Stieffel

- D) Motion to approved a detached workshop and pool at 308 Main Street with confirmation of windows being SDL

RESULT:	APPROVED [UNANIMOUS]
MOVER:	John Bezou, Commissioner
SECONDER:	Stephan Haas, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

Minutes Approval

- 1) Historic Preservation Commission - Regular Meeting - Mar 11, 2024 12:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	John Bezou, Commissioner
SECONDER:	Matt Stieffel, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

2) Historic Preservation Commission - Regular Meeting - Dec 11, 2023 12:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	John Bezou, Commissioner
SECONDER:	Matt Stieffel, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

3) Historic Preservation Commission - Regular Meeting - Nov 13, 2023 12:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	John Bezou, Commissioner
SECONDER:	Matt Stieffel, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

4) Historic Preservation Commission - Regular Meeting - Oct 9, 2023 12:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	John Bezou, Commissioner
SECONDER:	Matt Stieffel, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

5) Historic Preservation Commission - Regular Meeting - Sep 11, 2023 12:00 AM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	John Bezou, Commissioner
SECONDER:	Matt Stieffel, Commissioner
AYES:	Bezou, Haas, Stieffel, Wessinger, Keating, Rabalais

Adjourn

Cliff Rabalais, Commissioner **Date**

Jeremy Burke, Historical Preservation Commission Administrator **Date**

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 116 Washington St, BSK MS Owner Name: Mike & Cindy Sorenson
 Applicant Name: Colt Lee Mailing Address: 116 Washington St BSK
Waveland MS
 Phone: 728-342-8489 Phone: 504-329-0962

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself, its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Colt Lee Date: 4-29-24
 Owner's Signature _____ Date: _____
 Required: _____

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Historic District: _____	Case Number: _____
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date: _____
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions * <input type="checkbox"/> Disapprove	
Comments: _____	
* Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date: _____
COA Action: Approval; <input type="checkbox"/> YES <input type="checkbox"/> NO Date COA Action: _____	
Comments: _____	
(BSL Historic Preservation Commissioner / City Council President Signature) _____ (Date) _____	

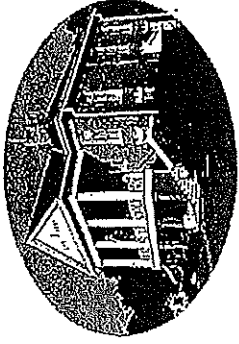
Once Completed & Signed - Original copy - HPC, Copy-Building Department

Application

HPC Review /City Council Review

BAU SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Miree & Cindy Scioneaux

Address: 116 Washington St. BSL, MS
(No P.O. Boxes)

Telephone Number (524) 329 - 0962 Cell Number()

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: _____

Adding
660 sqft living to rear of garage
240 sqft storage

HISTORIC PRESERVATION COMMISSION REVIEW

CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FO REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

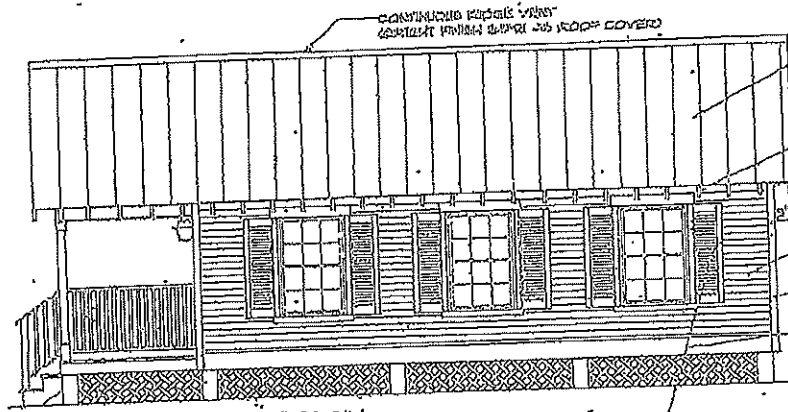
1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hardi-plank, etc...
 - b) Masonry material: brick, stucco, etc....
 - c) Exterior openings; windows and doors: indicated size, types and materials.
 - d) Shutters and Awnings: indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

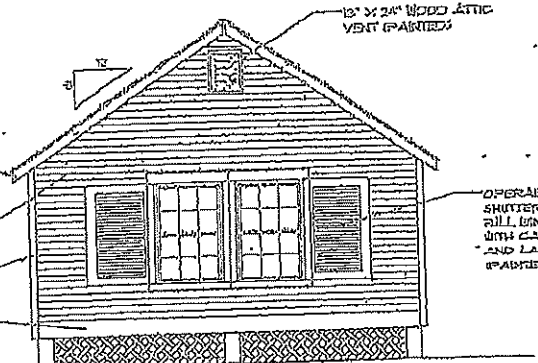
1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

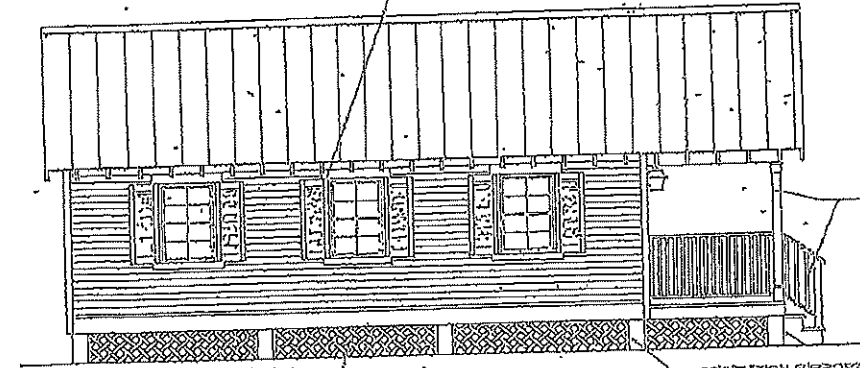
Bay St. Louis Historic Preservation Commission
March 1, 2008



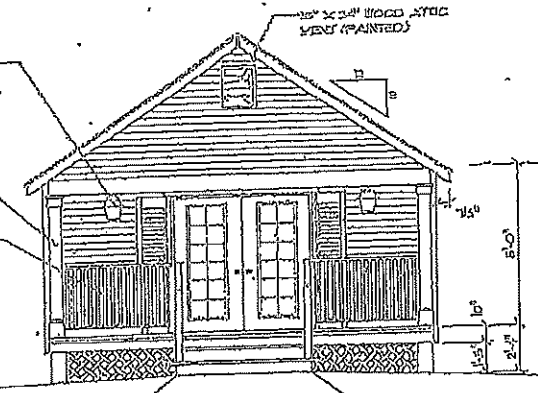
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

NOTE WINDOW AND DOOR
JAMB TO HAVE 4 1/2\"/>

LIGHT FIXTURES TO BE
BLACK CAST IRON WITH
CAST IRON HANGING
BRACKETS FOR CEILING
TO BE LEVEL WITH TOP
OF DOOR

6\"/>

POST, RAILS, PIPES
DECKING AND STEPS TO BE
TREATED PINE (PAINTED)

EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

TWO DRAWINGS FOR THE EXCLUSIVE USE OF THE CITY OF ST. LOUIS HISTORICAL PRESERVATION COMMISSION
TO AND IN PLAN REVIEW FOR "CERTIFICATE OF APPROPRIATENESS" DETERMINATION.
MARCH 1, 2008

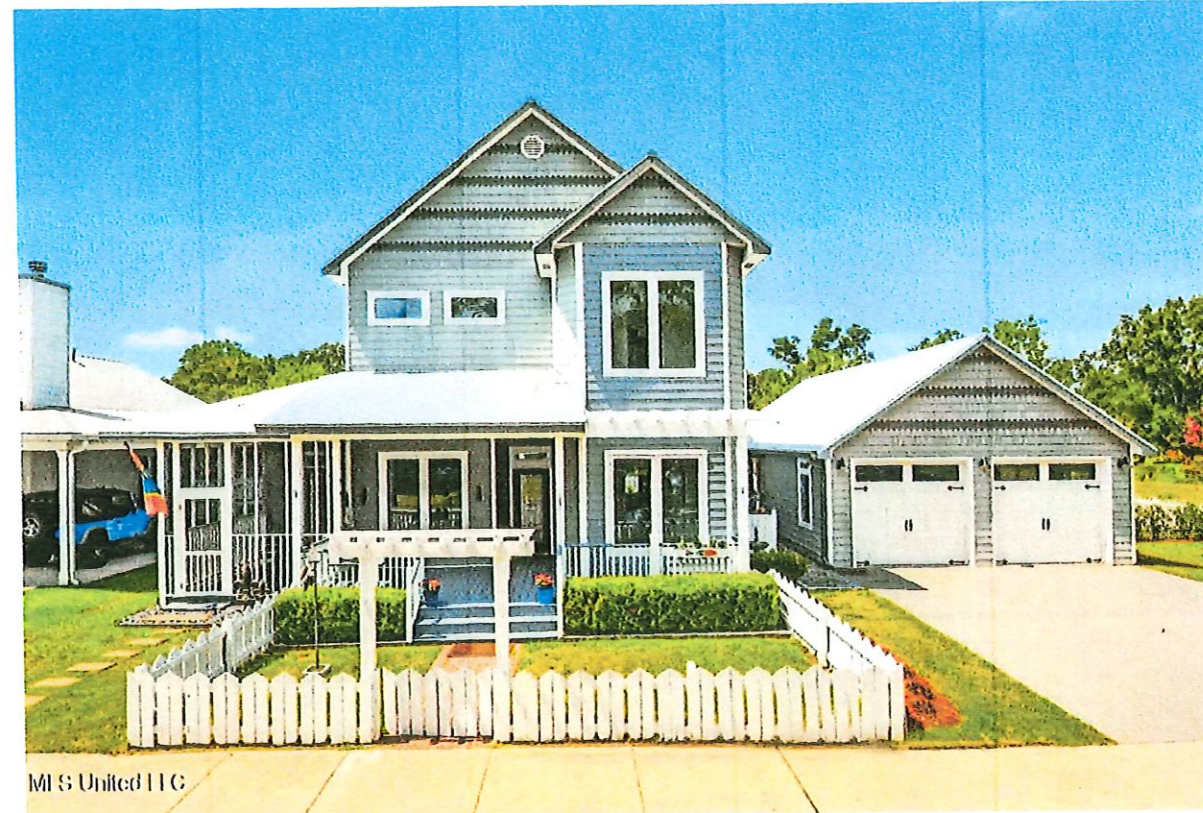
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RENOVATION PLAN NOTES:

1. ENCLOSE RECESSED FRONT ENTRY.
2. REMOVE EXISTING ARBOR. EXTEND FRONT PORCH ROOF LINE TO COVER.
3. CONTINUE FRONT PORCH ALONG ENTIRE FRONT OF HOME
4. ENCLOSE SCREEN PORCH UNDER EXISTING ROOF LINE FOLLOWING FRONT AND LEFT FACES OF HOME. TO BECOME LIVING AREA
5. ENCLOSE EXISTING 8' PORCH INCLUDING ADDITIONAL 4' OF YARD IN LEFT, REAR CORNER OF HOME TO BECOME LIVING AREA
6. REMOVE SECOND STORY DECK. WIDEN REAR PORCH 4' TO MATCH LEFT SETBACK AND EXTEND TO A DEPTH TO 22'. ADD NEW ROOFLINE ABOVE.
7. ENCLOSE COVERED WALKWAY BETWEEN GARAGE AND HOME. TO BECOME LIVING AREA.
8. ADD MASTER SUITE AND STORAGE ROOM OFF REAR OF GARAGE/STUDIO

CHANGES FROM INITIAL HISTORIC APPROVAL

- FRONT PORCH
 - 8X8 PORCH COLUMNS > 12x12 HARDIE CLAD COLUMNS
 - BOXED SOFFIT > EXPOSED RAFTER TAILS
- AWNING OVER GARAGE
 - HIP > SHEAD ROOF
 - BOXED SOFFIT > EXPOSED RAFTER TAILS
- HARDIE SIDING
 - 5" REVEAL > 7" REVEAL
- FRONT STEPS
 - WOOD FRAMED STEPS > BRICK STEPS
- SERVICE ALLEY FENCING
 - SHADOWBOX FENCE > BRICK FENCE
- FLOOR PLAN
 - ADDED MASTER SUITE OFF REAR OF GARAGE/STUDIO
 - ~68' FROM FRONT PROPERTYLINE
 - NEW MASTER SUITE ROOFLINE ~ 3' HIGHER THAN GARAGE



MI S United LLC

EXISTING STREET VIEW



MI S United LLC

EXISTING REAR VIEW



Item # 2.

504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>

SCIONEUX RENO

116 WASHINGTON STREET, BSL, MS 39520
CINDY AND MIKE SCIONEUX

Drawn by:
COLT LEE

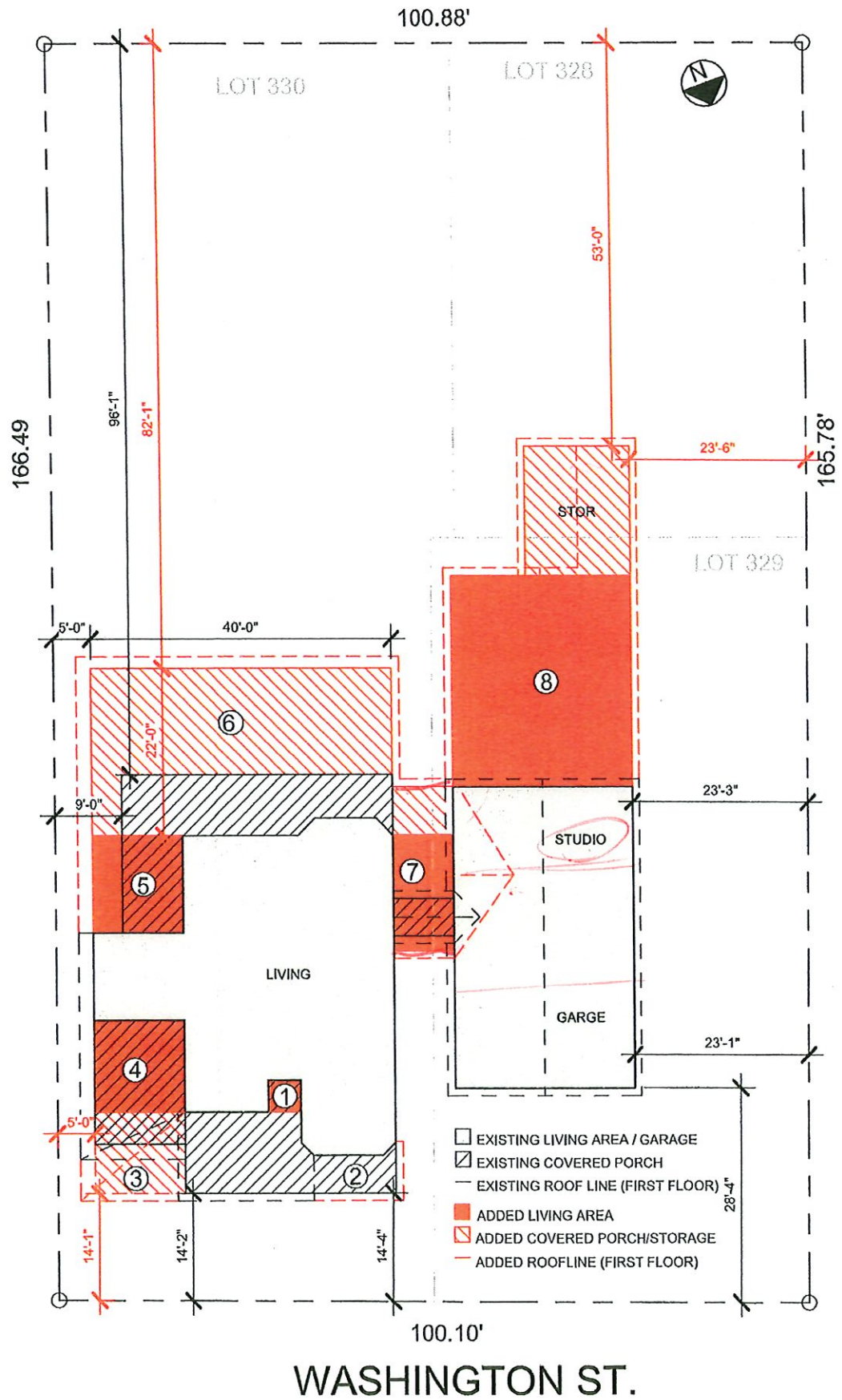
4/26/24

NOTES

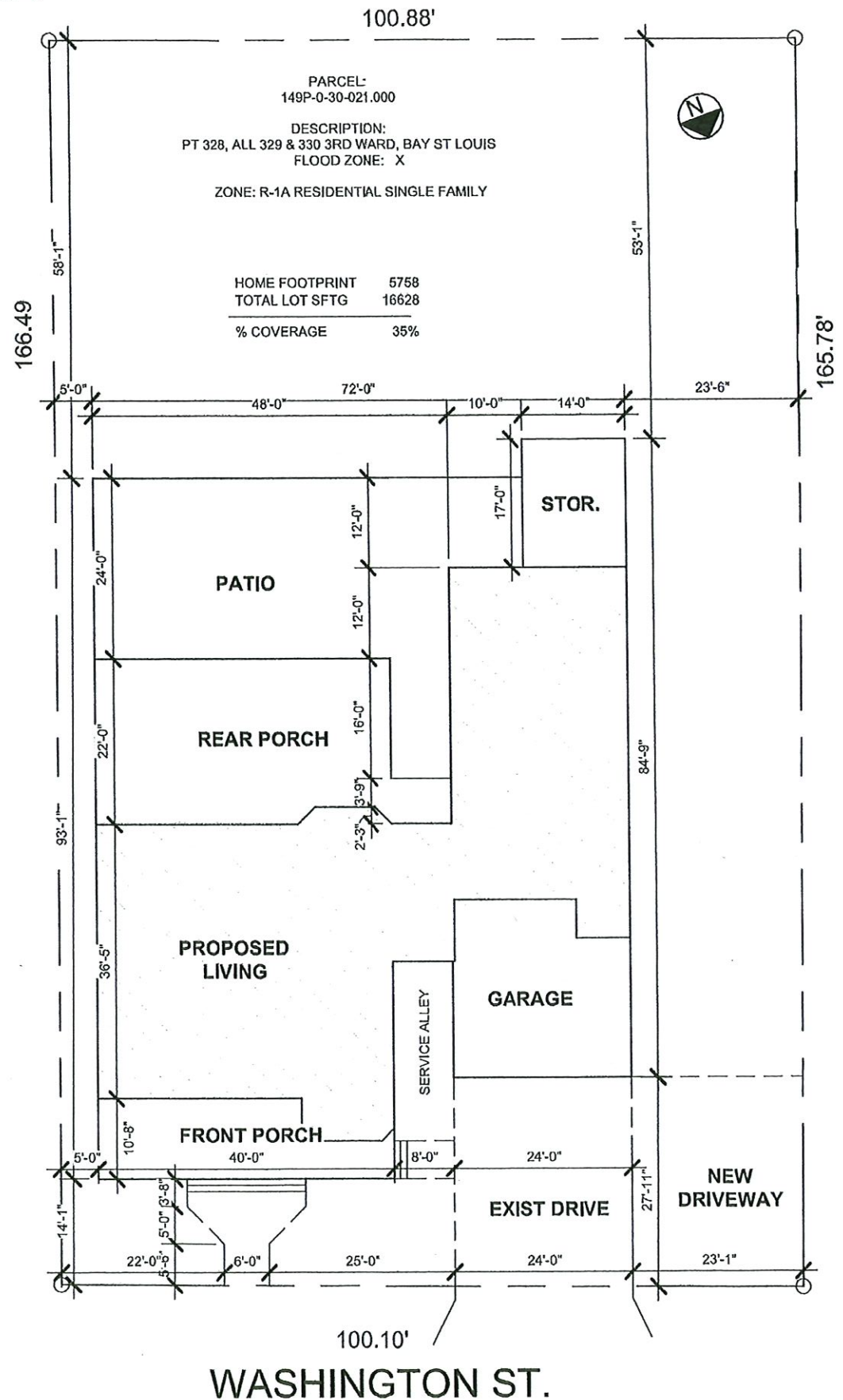
2 of 3

Scale

3 RENO SCOPE
1" = 20'-0"



1 SITE PLAN
1" = 20'-0"



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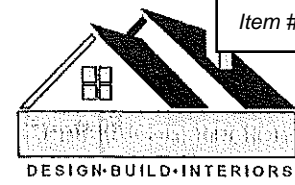
SCIONEUX RENO
116 WASHINGTON STREET, BSL, MS 39520
CINDY AND MIKE SCIONEUX

Drawn by:
COLT LEE
4/26/24

SITE PLAN

1 of 3

Scale 1" = 20'-0"



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SCIONEUX RENO

116 WASHINGTON STREET, BSL, MS 39520
CINDY AND MIKE SCIONEUX

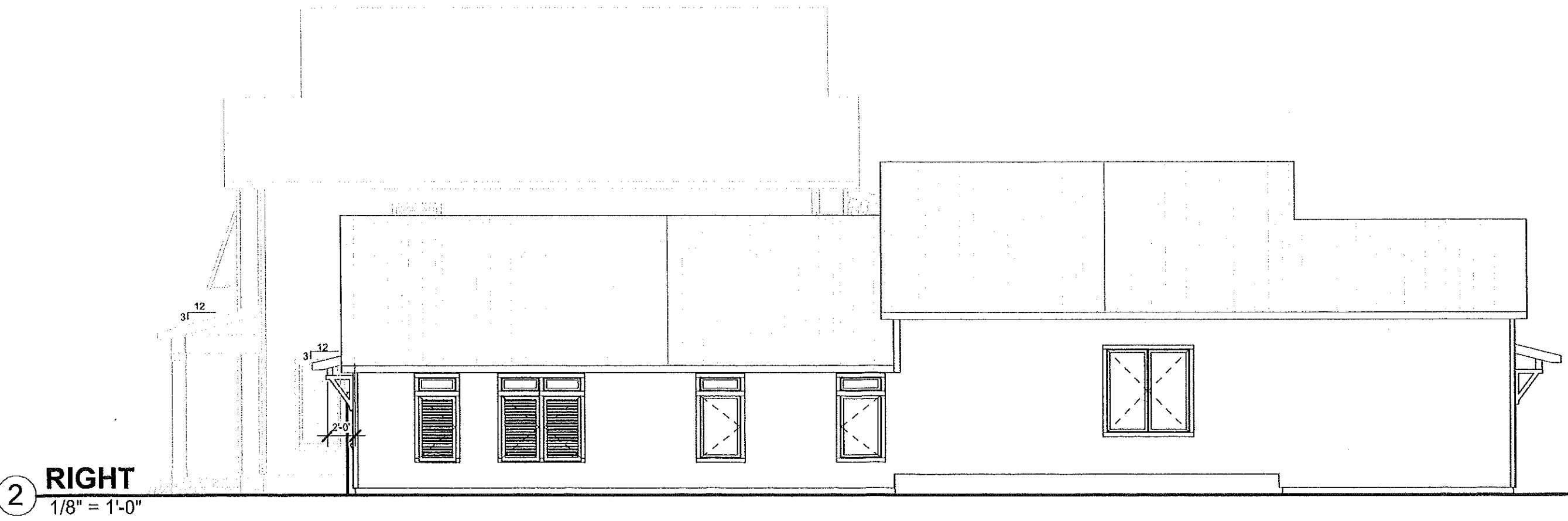
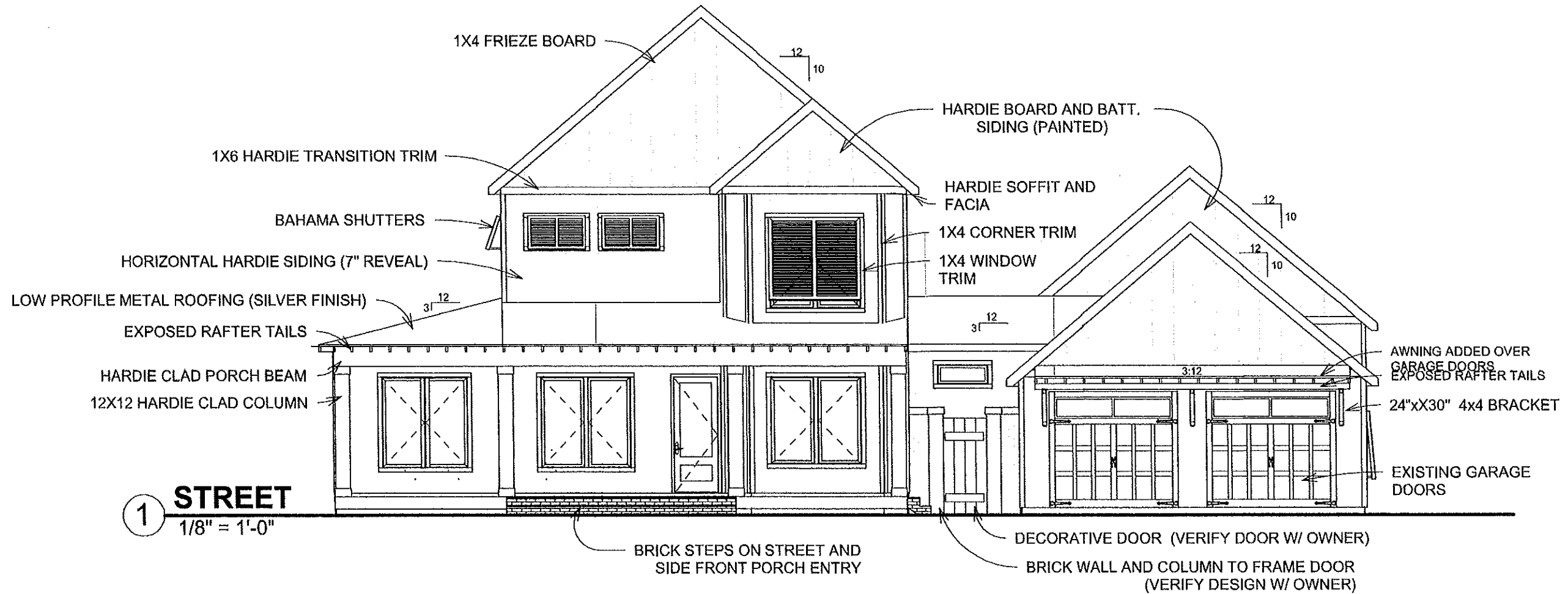
Drawn by:
COLT LEE

4/26/24

116 WASHINGTON

3 of 3

Scale 1/8" = 1'



Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 218 Ballentine St. Bay St. Louis MS 39520
 Applicant Name: Pete Nuss Owner Name: Pete and Erin Nuss
 Mailing Address: 201 Spencer Ave NOLA LA 70124
 Phone: 504-442-5588 Phone: 504-442-5588

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

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Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 5/1/24
 Owner's Signature Required: [Signature] Date: 5/1/24

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

Historic District: _____ Case Number: _____
 Historic Preservation Commission Reviewed Review Date: _____
 Recommendation: Approval Approval with Conditions * Disapprove
 Comments: _____
 * Requires Property Owner / Applicant Signature
 City Council Reviewed Review Date: _____
 COA Action: Approval; YES NO Date COA Action: _____
 Comments: _____
 (BSL Historic Preservation Commissioner / City Council President Signature) _____ (Date) _____

Application

HPC Review / City Council Review

Once Completed & Signed - Original copy - HPC, Copy - Building Department

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission SUBMITTAL CHECKLIST

Property Owners Information:

Name: Pete and Erin Nuss

Address: 201 Spencer Ave New Orleans LA 70124
(No P.O. Boxes)

Telephone Number: (504) 442-5588 Cell Number: (504) 442-5588

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 218 Ballentine St Bay St Louis MS 39520

Give written scope of work to be performed: New Construction of house to conform to all historic requirements.

HISTORIC PRESERVATION COMMISSION REVIEW CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

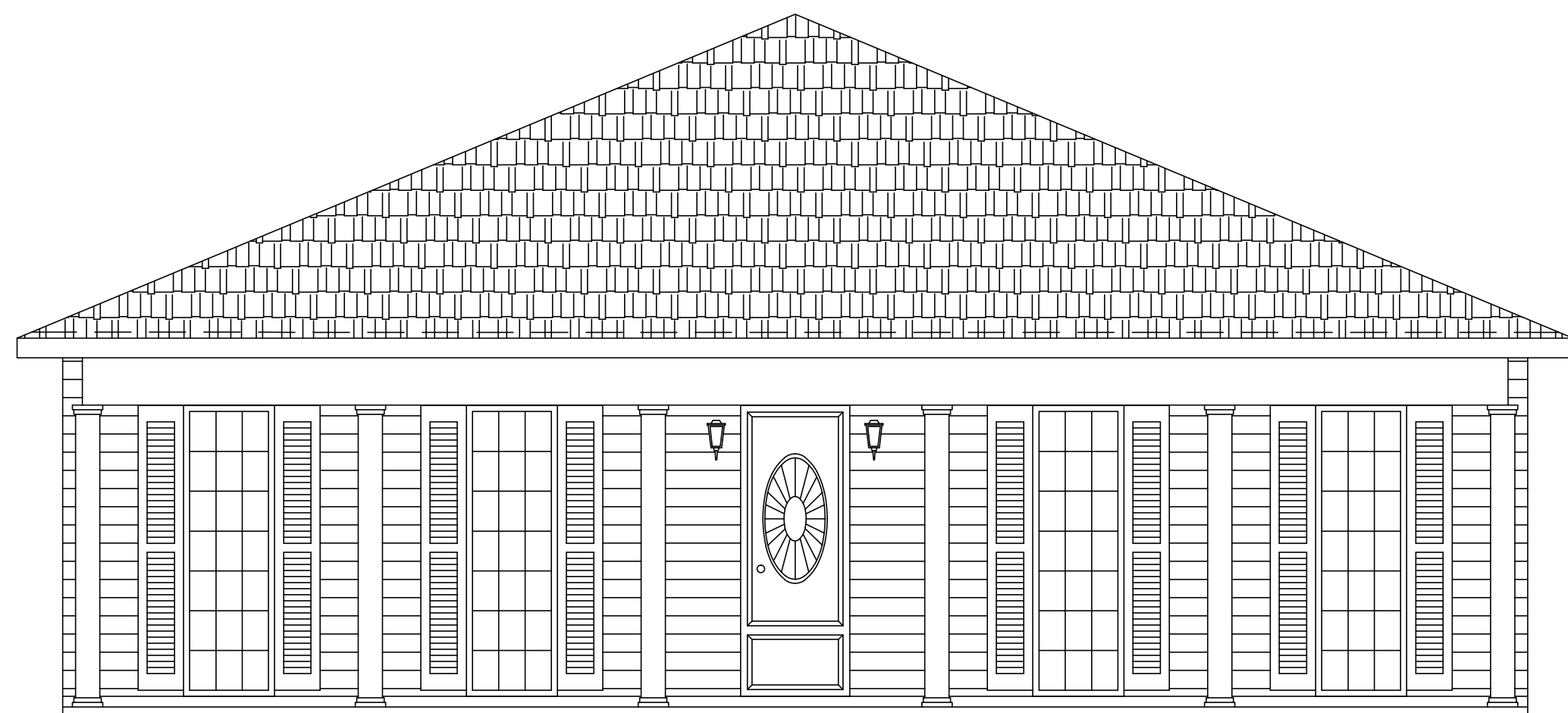
1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hard-plank, etc...
 - b) Masonry material: brick, stucco, etc....
 - c) Exterior openings; windows and doors: Indicated size, types and materials.
 - d) Shutters and Awnings: Indicated size, types and materials.
 - e) Column size and types - *Round Columns, as in picture*
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

*Bay St. Louis Historic Preservation Commission
March 1, 2008*



INDEX OF DRAWINGS:

T1.0	TITLE SHEET AND SITE PLAN
A1.0	FLOOR PLAN, SCHEDULES, AND NOTES
A1.1	ARCHITECTURAL SECTION AND UL DETAIL
A2.0	ELEVATIONS
E1.0	ELECTRICAL PLAN AND NOTES
S1.0A	GENERAL STRUCTURAL NOTES
S1.0B	GENERAL STRUCTURAL NOTES
S1.1	FOUNDATION PLAN
S1.2	FOUNDATION SECTIONS AND DETAIL
S2.0	CEILING FRAMING PLAN
S2.1	ROOF FRAMING PLAN
S2.2	FRAMING SECTIONS
S2.3	FRAMING SECTIONS AND DETAILS
S2.4	FRAMING DETAILS, NOTES AND SCHEDULES

BUILDING CALCULATIONS:

SQUARE FOOTAGE:

FRONT PORCH	480	SQ. FT.
FLOOR PLAN	2,322	SQ. FT.
BACK PORCH	411	SQ. FT.
TOTAL SQUARE FOOTAGE	3,213	SQ. FT.

ENGINEER'S NOTE:

I, LARRY J. DUPRE P.E. HAVE RESEARCHED THIS CHAPTER AND THE MISSISSIPPI STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

GENERAL NOTES:

CONSULTING ENGINEER ADHERES TO THE DESIGN CRITERIA OUTLINED IN THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AS REQUIRED FOR AREAS WHERE BASIC WIND SPEEDS EQUAL OR EXCEED 130 MPH. AS FOR DESIGN CRITERIA IN R301.2.1.1, I WILL FOLLOW THE AMERICAN FOREST AND PAPER ASSOCIATION (AF+PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM), WITH ROOF PITCHES EXCEEDING 12/12 I WILL FOLLOW THE ASCE-7 CRITERIA DESIGNED BY ENGINEER (SEE DETAILS SHEET). NOT ALL SPECIFICATIONS ARE EXPRESSLY NOTED ON THE PLANS; THEREFORE, IT IS THE RESPONSIBILITY OF INDIVIDUAL BUILDERS AND/OR CONTRACTORS TO COMPLY WITH THE FOLLOWING CODES.

R301.2.1.2 INTERNAL PRESSURE. WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886 REFERENCE THEREIN.

EXCEPTION: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH AND A MAXIMUM SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO-STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENTS HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R301.2.1.2 OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE IRC. (NOTE: WINDBORNE DEBRIS PROTECTION REQUIRED TO BE SHOWN ON PLANS. ALSO TIES H1, H2 AND RSP4 FAIL TO MEET THE UPLIFT REQUIREMENTS, ANCHOR BOLTS ARE REQUIRED 28" O.C.)

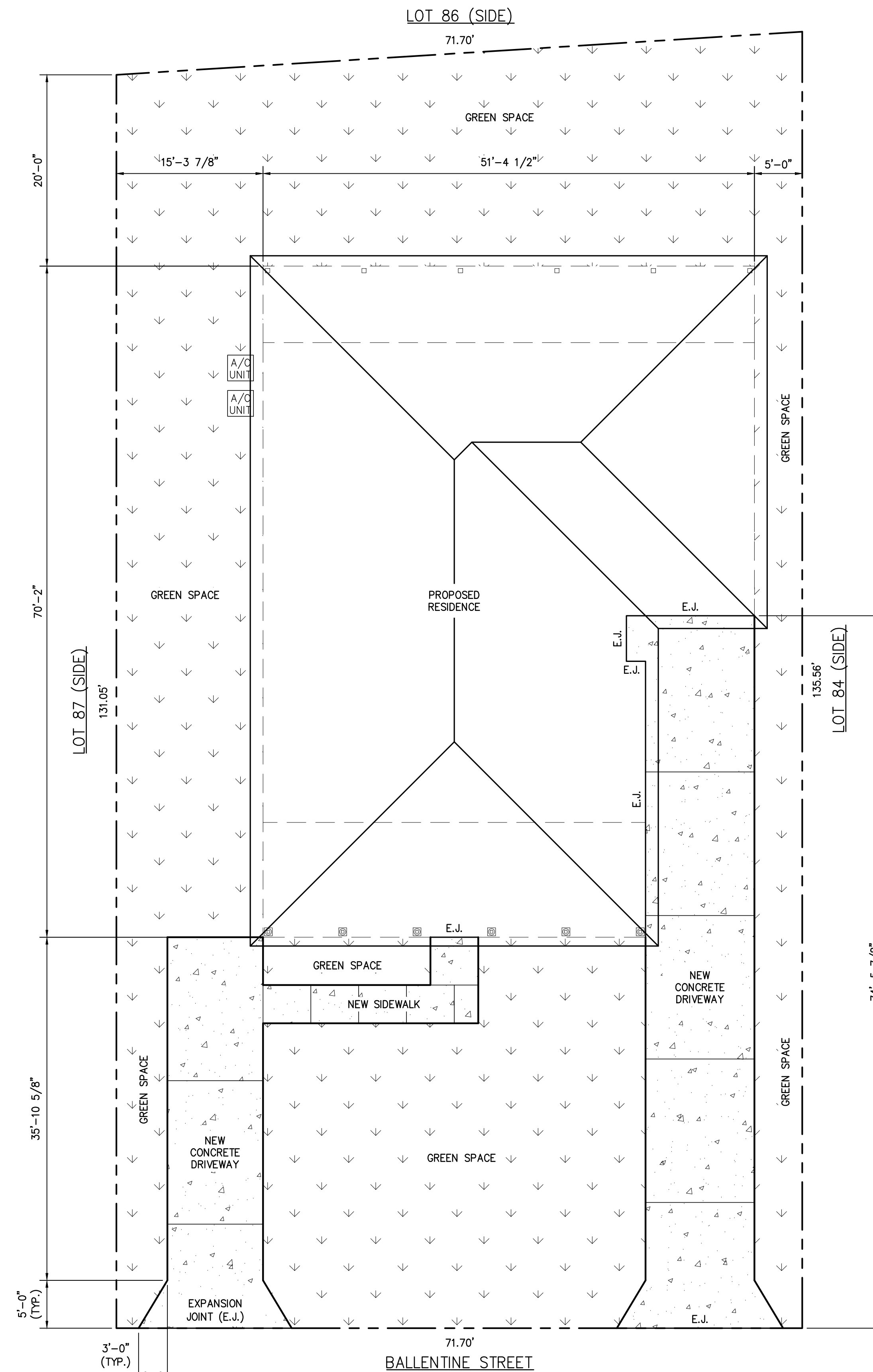
- LIGHT, VENTILATION AND HEATING - BATHROOMS
ALL BATHROOMS AND WATER CLOSETS COMPARTMENTS OR SIMILAR ROOMS SHALL BE PROVIDED WITH A WINDOW NOT LESS THAN 3 SQUARE FEET WITH ONE-HALF OF WHICH MUST BE OPERABLE. WINDOW SHALL NOT BE REQUIRED IF MECHANICAL VENTILATION IS PRODUCING A CHANGE OF AIR EVERY 12 MINUTES IS PROVIDED. ALL EXHAUSTS SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
- AC RETURN AIR CHASE SHALL BE CONSTRUCTED OF ONE-HOUR RATED CONSTRUCTION.
- R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING FOR EMERGENCY ESCAPE AND RESCUE. WHERE OPENINGS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 - R310.2.1 ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET.
 - R310.2.2 THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

ENERGY NOTES:

- HVAC UNIT SHALL CLOSED COMBUSTION GAS FURNACE.
- HVAC UNIT SHALL HAVE MIN. SEER RATING OF 13.
- PROVIDE SHEATHING INSULATION UNDER ALL TUBS.
- PROVIDE BLANKET INSULATION AROUND WATER HEATERS.
- CAULK SOLE PLATE.
- INSULATE ABOVE ALL POCKET DOOR.
- WINDOWS SHALL HAVE AT MINIMUM LOW "E" GLASS.

NOTE:

NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS TYPE, AND SIZE OF ALL COMPONENTS ALONG WITH ALL SITE CONDITIONS BEFORE STARTING CONSTRUCTION AND COMPLYING WITH ALL CODE REQUIREMENTS AND ANY OTHER REQUIREMENT TYPE, AND SIZE OF ALL COMPONENTS ALONG THAT MAY APPLY. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE OF THE ACCEPTANCE OF THE ABOVE BY THE OWNER AND BUILDER/CONTRACTOR.



SITE PLAN
SCALE: 1/8" = 1'-0"

Professional Engineer Seal for Larry J. Dupre, State of Mississippi, License No. 19036, dated 03/16/24.

NEKO SOLUTIONS, LLC
985.870.7172 ~ dupre_larryj@yahoo.com

Nuss Services, LLC
EMAIL: NUSS.SERVICES@GMAIL.COM
OFFICE: (504) 810-5029

THESE DRAWINGS ARE NOT TO BE SCALED FROM. SCHEDULES, NOTES, AND DIMENSIONS SHOULD BE FOLLOWED AND NOT SCALED.

Nuss Residence
218 Ballentine Street
Bay St. Louis, MS 39520

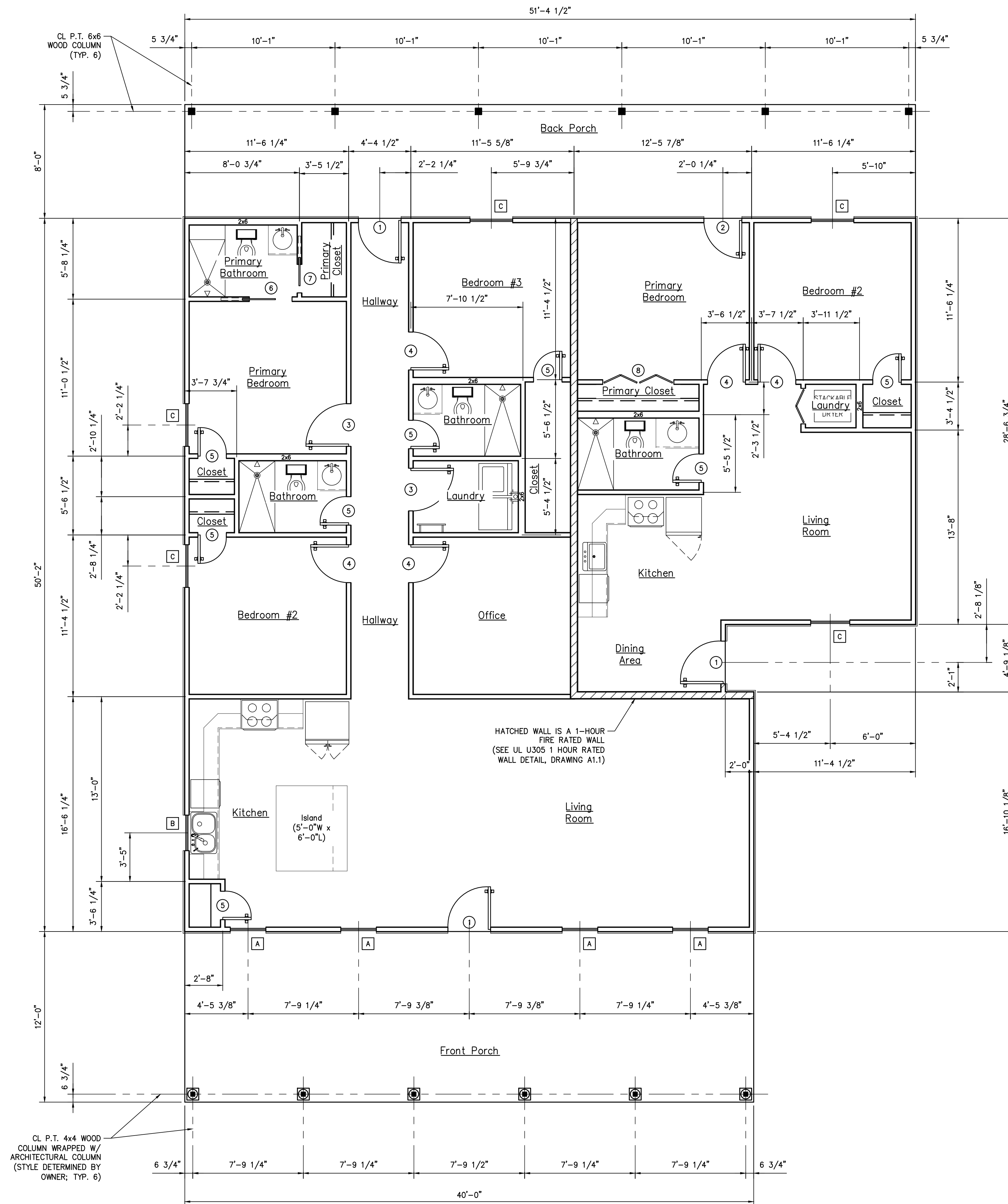
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REVISIONS:

TITLE SHEET AND SITE PLAN

ISSUED DATE: 03/10/24
DRAWN BY: JRN
CHECKED BY: LJD
PROJECT #: 23008

T1.0



FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE						
MK	SIZE		TYPE	FUNCTION	GLASS	REMARKS
	W	H				
1	3'-0"	6'-8"	WOOD	SWING	TBS	VERIFY STYLE WITH OWNER
2	2'-8"	6'-8"	WOOD	SWING	TBS	VERIFY STYLE WITH OWNER
3	3'-0"	6'-8"	MASONITE	SWING	-	VERIFY STYLE WITH OWNER
4	2'-8"	6'-8"	MASONITE	SWING	-	VERIFY STYLE WITH OWNER
5	2'-0"	6'-8"	MASONITE	SWING	-	VERIFY STYLE WITH OWNER
6	3'-0"	6'-8"	MASONITE	POCKET	-	VERIFY STYLE WITH OWNER
7	2'-0"	6'-8"	MASONITE	POCKET	-	VERIFY STYLE WITH OWNER
8	5'-0"	6'-8"	MASONITE	BI-FOLD	-	VERIFY STYLE WITH OWNER

ABBREVIATION:

TBS - TO BE SELECTED

NOTE:

- THE ABOVE SIZES ARE NOMINAL, VERIFY WITH DOOR SUPPLIER THE ACTUAL ROUGH IN DIMENSIONS.

WINDOW SCHEDULE								
MK	SIZE		FUNCTION	MATERIAL	FINISH	GLAZING	SCREEN	REMARKS
	WIDTH	HEIGHT						
A	2'-6"	8'-0"	S.H.	VINYL	WHITE	I.G.C.	-	VERIFY STYLE WITH OWNER
B	2'-6"	3'-0"	D.H.	VINYL	WHITE	I.G.C.	HALF	VERIFY STYLE WITH OWNER
C	3'-0"	5'-0"	D.H.	VINYL	WHITE	I.G.C.	HALF	VERIFY STYLE WITH OWNER

ABBREVIATIONS:

I.G.C. - INSULATED GLASS CLEAR
S.H. - SINGLE HUNG
D.H. - DOUBLE HUNG

NOTES:

- THE ABOVE SIZES ARE NOMINAL, VERIFY WITH WINDOW SUPPLIER THE ACTUAL ROUGH IN DIMENSIONS.
- WINDOW MANUFACTURER TO VERIFY TEMPERED WINDOWS.
- WINDOW MATERIAL IS FOR BID ONLY. FINAL APPROVAL BY OWNER.

PLAN NOTES:

- TOP OF FINISHED FIRST FLOOR EL. 0'-0" (MATCH EXISTING).
- 9'-0" CEILING HEIGHT.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZES, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- CONTRACTOR SHALL COORDINATE CLOSET SHELVING REQUIREMENTS.
- GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS, OR HOT TUBS SHALL BE TEMPERED.
- INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE, FLOAT, AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.
- ADD CAT WALK IN ATTIC TO MECHANICAL SYSTEMS.
- PROVIDE ATTIC ACCESS IN COMPLIANCE WITH SEC. R807 IRC 2021.
- CONTRACTOR WILL SUPPLY PRE-CUT PLYWOOD SHEETS ON SITE IN PLACE OF IMPACT RATED WINDOWS OR INSTALL FUNCTIONAL SHUTTERS (VERIFY STYLE WITH OWNER PRIOR TO INSTALLATION).

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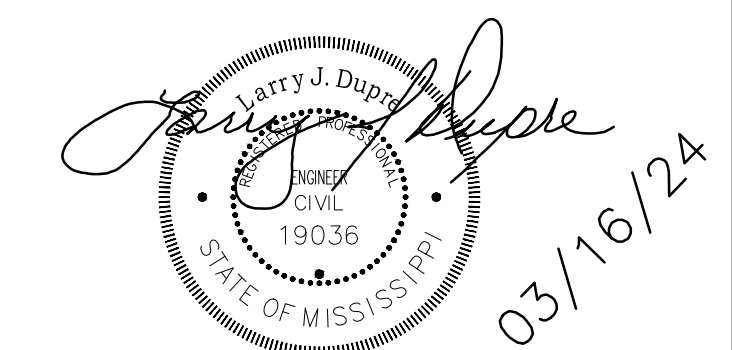
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REVISIONS:

TITLE:

FLOOR PLAN, SCHEDULES, AND NOTES

ISSUED DATE: 03/10/24
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PROJECT #: 23008



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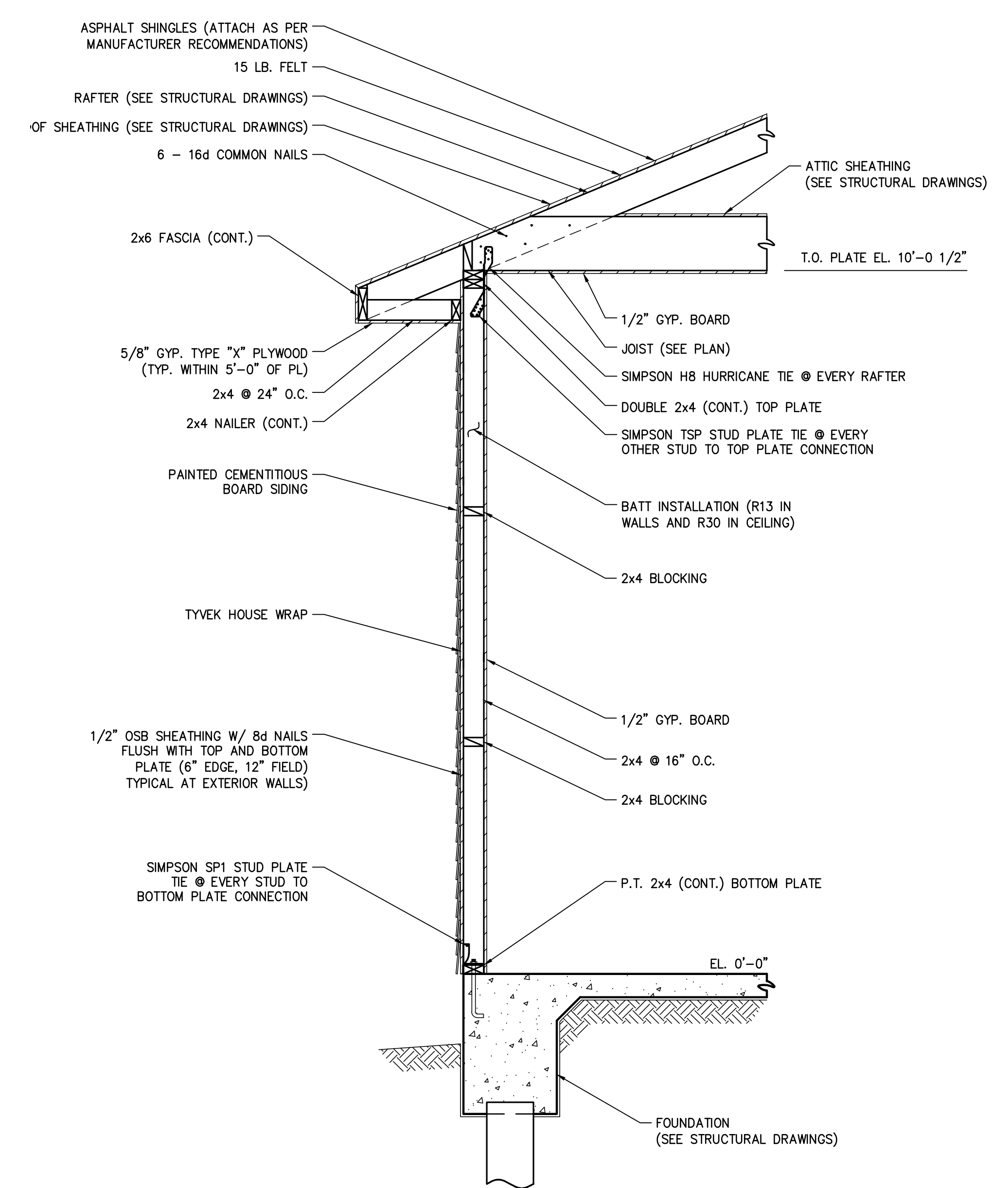
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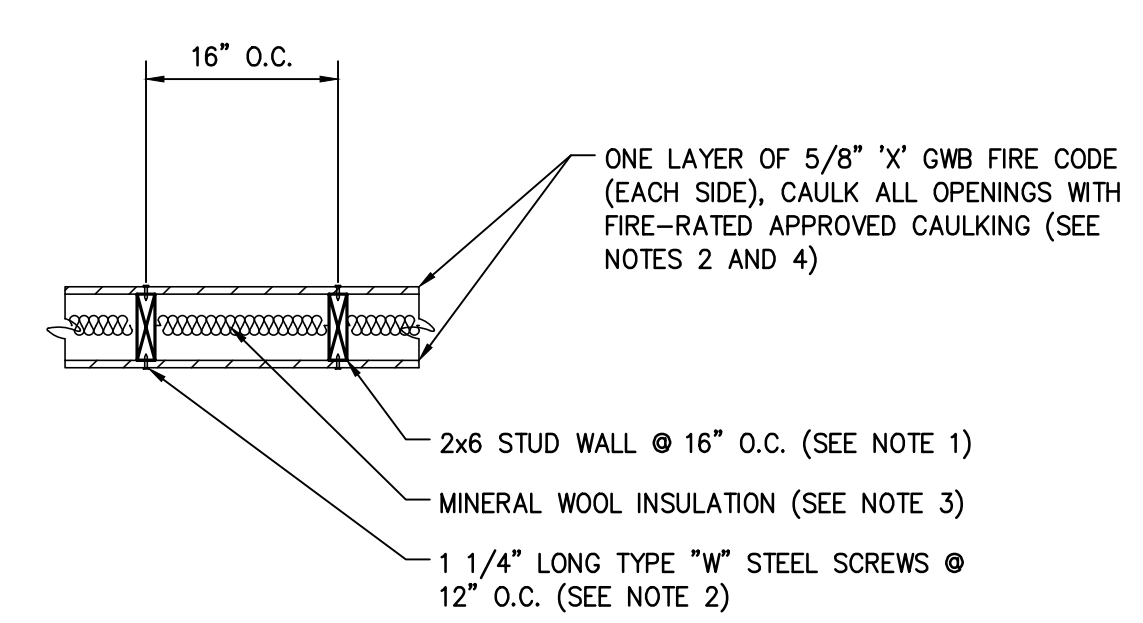
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ARCHITECTURAL SECTION
 SCALE: 3/4" = 1'-0"



- WOOD STUDS - 2x6, SPACED 16" O.C. EFFECTIVELY CROSS BRACED.
 - GYPSON WALLBOARD* - 5/8" THICK, 4'-0" WIDE. APPLIED EITHER VERTICALLY OR HORIZONTALLY, SCREW ATTACHED TO STUDS AND PLATES WITH 1 1/4" LONG TYPE "W" STEEL SCREWS, SPACED 12" O.C.
 BORAL GYPSUM INC. - TYPE BG-C
 CANADIAN GYPSUM CO. - TYPES C, IP-X2
 CONTINENTAL GYPSUM CO. - TYPE CG-C
 EAGLE-GYPSUM PRODUCTS - TYPE EG-C
 G-P GYPSUM CORP. - TYPES 5, GPFS-C
 FABCO GYPSUM CO. - TYPE C or PG-C
 NATIONAL GYPSUM CO., CHARLOTTE, NC - TYPE FSW-G
 REPUBLIC GYPSUM CO. - TYPE RG-C
 STANDARD GYPSUM CORP. - TYPE SG-C
 TEMPLE-INLAND FOREST PRODUCTS CORP. - TYPE TP-5
 UNITED STATES GYPSUM CO. - TYPES C, IP-X2
 YESO PANAMERICANO SA de CV - TYPES C, IP-X2
 - BATTS AND BLANKETS* - (OPTIONAL) - MINERAL WOOL INSULATION, PARTIALLY OR COMPLETELY FILLING STUD CAVITY.
 THERMAFIBER LLC - TYPE SAFB
 - JOINTS AND NAIL HEADS - WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. SCREW HEADS COVERED WITH JOINT COMPOUND.
- * = BEARING THE UL CLASSIFICATION MARKING

UL U305 1 HOUR RATED WALL DETAIL
 SCALE: N.T.S.

REVISIONS:

TITLE:

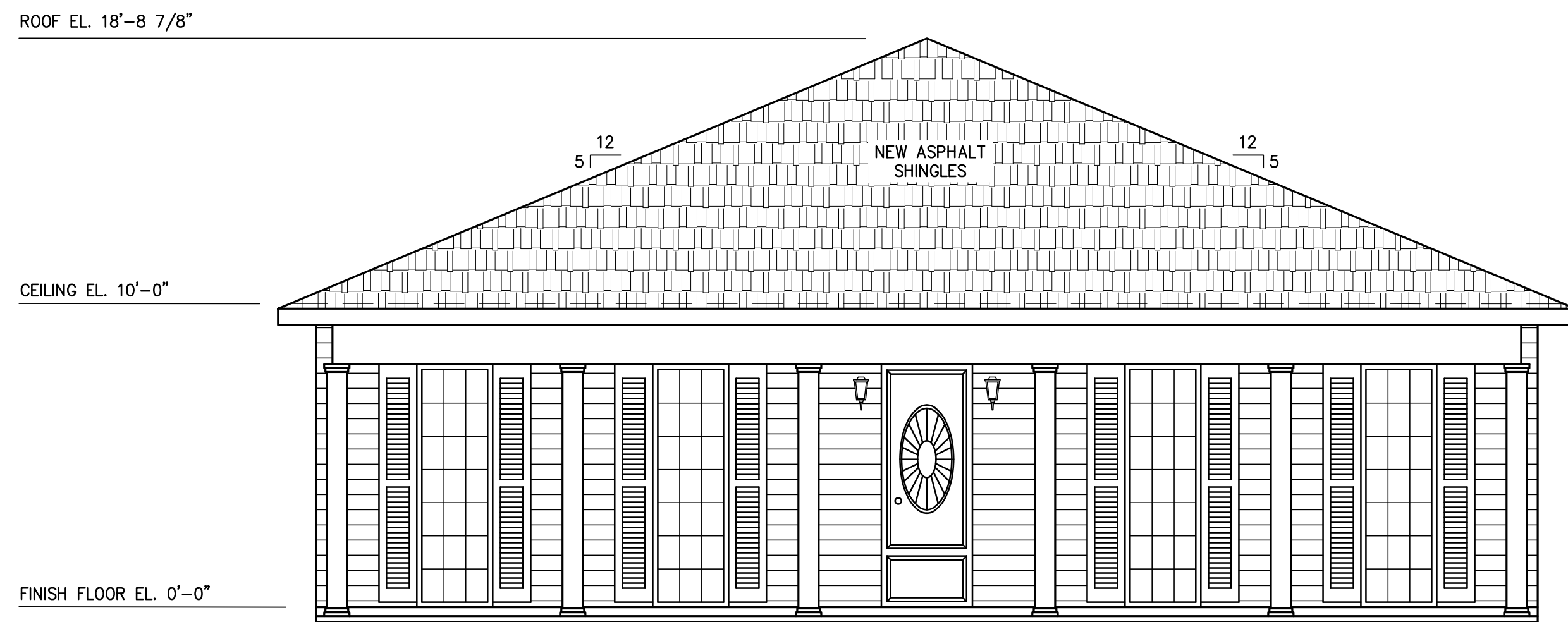
ARCHITECTURAL SECTION AND UL DETAIL

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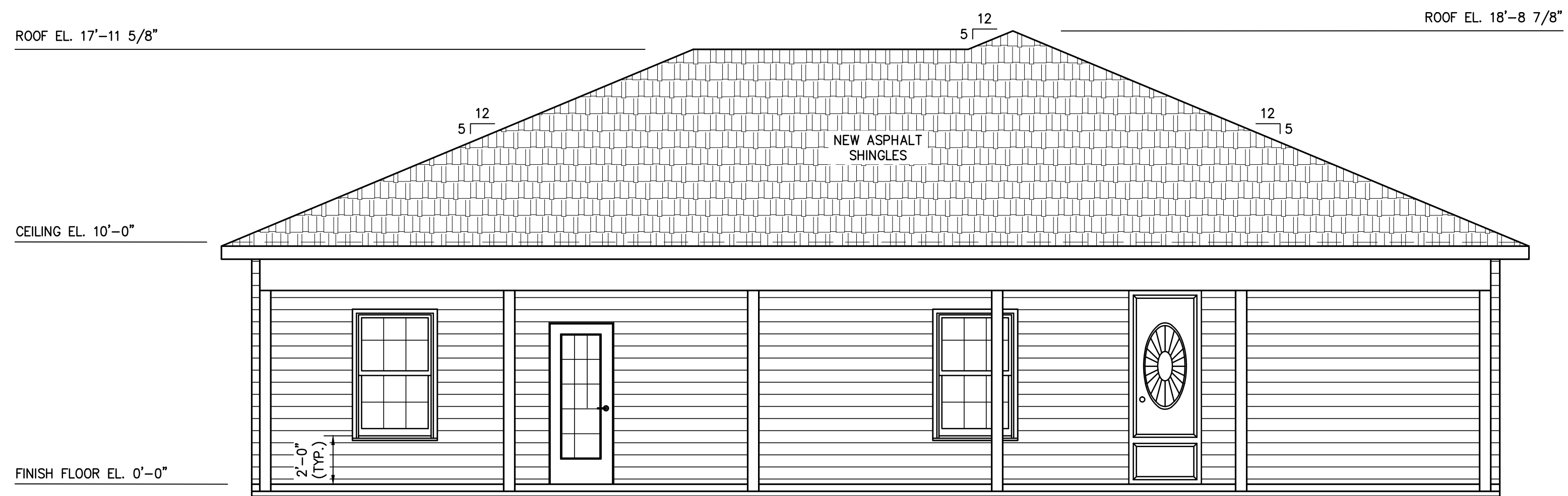


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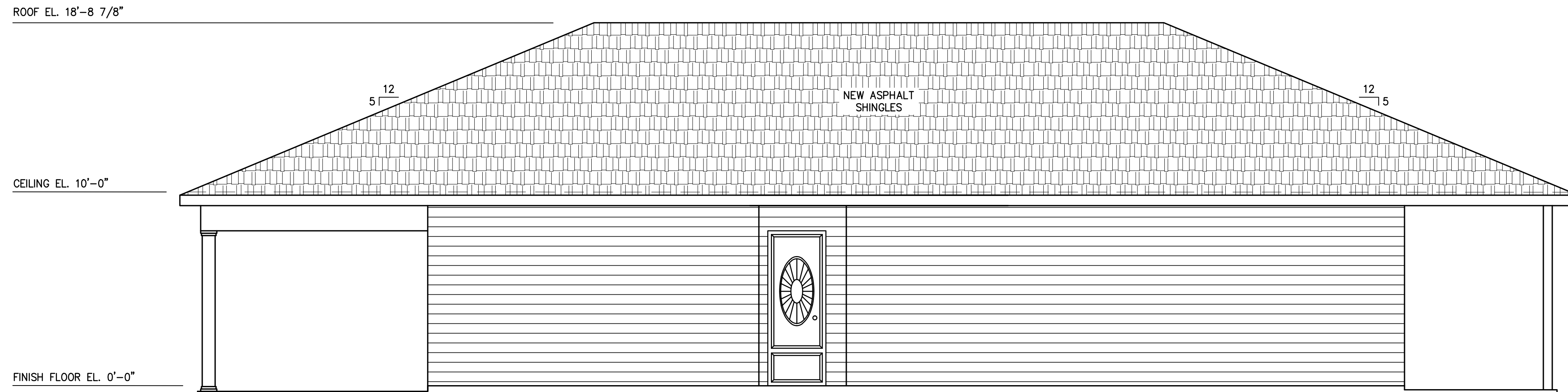
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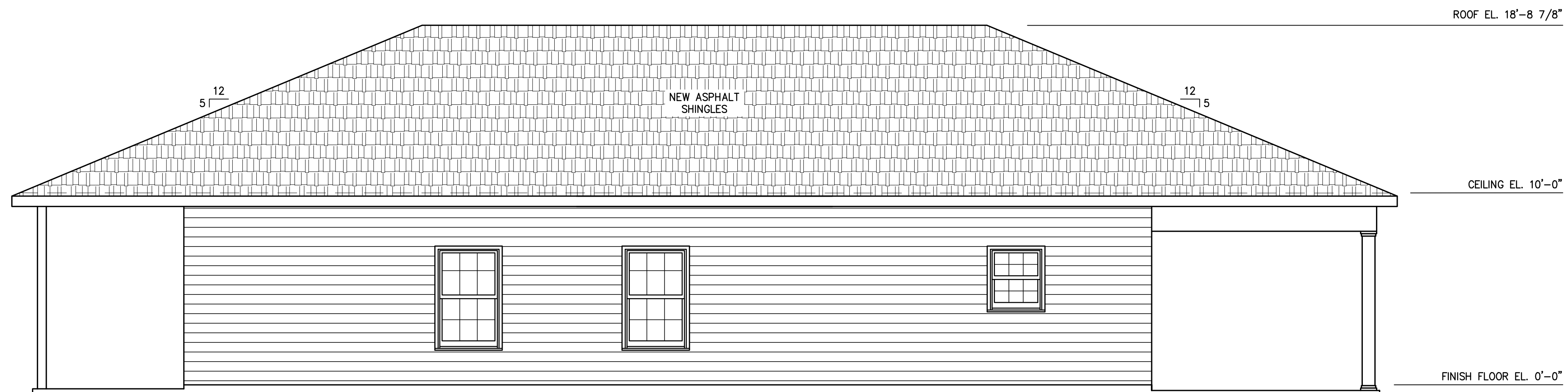
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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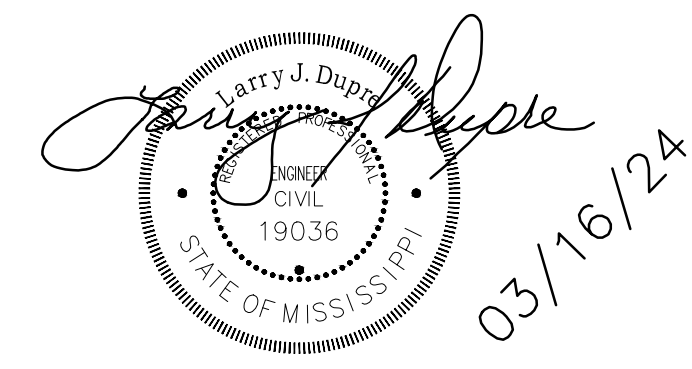
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REVISIONS:

TITLE:

ELECTRICAL PLAN AND NOTES

ISSUED DATE: 03/10/24
DRAWN BY: JRN
CHECKED BY: LJD
PROJECT #: 23008

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Larry J. Dupre
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N.E.C. CIVIL
19036
STATE OF MISSISSIPPI
03/16/24

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SYMBOLS	
	CEILING FAN
	WALL MOUNTED LIGHT
	RECESSED LIGHT FIXTURE
	FAN/HEAT LIGHT COMBO
	PLUG OUTLET - 220
	PLUG OUTLET - 240
	DUPLEX OUTLET, 120 V, MOUNTED 14" ABOVE FINISHED FLOOR
	DUPLEX OUTLET, 120 V, GROUND FAULT INTERRUPTER CIRCUIT BREAKER
	3-WAY LIGHT SWITCH
	SILENT SWITCH
	ELECTRICAL PANEL
	WIRING
	FLUORESCENT LIGHT
	EXTERIOR FLOOD LIGHTS
	SMOKE / CARBON MONOXIDE DETECTOR

ELECTRICAL NOTES:

- SLEEPING AREAS SHALL BE PROTECTED BY UL-APPROVED SMOKE DETECTOR-CARBON MONOXIDE DETECTOR COMBO. THESE MUST BE WIRED TO THE 110 VOLT HOUSE CURRENT WITH BATTERY BACKUP AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268.
- SMOKE DETECTORS SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS. NO CLOSER THAN 6 INCHES FROM WALL OR FROM CEILING DEPENDING ON WHERE MOUNTED.
- ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION OF MAIN ALARM PANEL WITH ALARM SUBCONTRACTOR AND PROVIDE REQUIRED RECEPTACLES AND PHONES AS NEEDED FOR THE ALARM SYSTEM.
- ELECTRICAL CONTRACTOR SHALL ASSUME THAT THE OUTLETS, SAFETY DEVICES, ETC. SHOWN ON DRAWINGS ARE THE MINIMUM REQUIREMENTS AND SHALL PROVIDE ANY ADDITIONAL DEVICES AS MAY BE REQUIRED TO SATISFY SAID CODES AND REGULATIONS WITH OUT ADDITIONAL COST TO THE OWNER.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING ELECTRICAL SERVICE WITH THE PROVIDER AND PROVIDE CONDUIT FROM THE UTILITY POLE OR SERVICE LOCATION TO THE METER.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING TELEPHONE SERVICE AND CABLE SERVICE WITH THE PROVIDERS AND PROVIDE SEPARATE CONDUITS FROM THE UTILITY POLE OR SERVICE LOCATION TO THE ELECTRICAL METER.
- GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL INSTALL A WHOLE HOUSE SURGE PROTECTOR. VERIFY WITH OWNER.
- CONTRACTOR TO PROVIDE APPROVED CARBON MONOXIDE DETECTORS OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-FIRED APPLIANCES AS P'ER SECTION R315 OF THE IRC 2021 ED.
- EQUIPMENT FURNISHED AND ALL WORK SHALL BE IN STRICT CONFORMITY WITH ELECTRICAL SECTION OF REGULATORY INSPECTIONS FOR ORLEANS PARISH, STATE FIRE MARSHALL, N.E.C. & ALL OTHER APPLICABLE LAWS, ORDINANCES, CODES & RULES OF CONSTRUCTION APPLICABLE IN THE LOCALITY OF WORK. PERMITS, CERTIFICATES OF INSPECTION AND APPROVAL AS APPLICABLE TO THE VARIOUS PORTIONS OF THE WORK SHALL BE OBTAINED FROM THE INSPECTION AGENCY HAVING JURISDICTION THEREON AND SHALL BE DELIVERED TO THE OWNER PRIOR TO ACCEPTANCE OF THE WORK. PAY ALL FEES REQUIRED IN CONNECTION WITH VARIOUS INSPECTIONS AND PERMITS.
- NEW LIGHTING FIXTURES, SWITCHES, RECEPTACLES, PLUGMOLD ETC. SHALL COMPLY WITH STANDARDS OF U.L. INC.
- POWER PLAN SHOWS GENERAL WORK TO BE PERFORMED BY CONTRACTOR AND HAS BEEN PREPARED TO ASSIST THE CONTRACTOR IN PREPARING HIS PROPOSED COST FOR THE TOTAL PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH MAY AFFECT HIS WORK AND FINAL BID PRICE.
- EACH BRANCH CIRCUIT AND/OR FEEDER SHALL HAVE A GREEN INSULATED EQUIPMENT GROUND CONDUCTOR.
- PENETRATIONS THROUGH EXISTING AND/OR NEW PARTITIONS SHALL BE PROPERLY SEALED TO MAINTAIN FIRE RATING OF EXISTING AND/OR NEW PARTITION.
- THE EXACT LOCATION OF ALL NEW WALL MOUNTED POWER RECEPTACLES SHALL BE VERIFIED WITH A REPRESENTATIVE OF OWNER PRIOR TO ROUGH-IN FOR INSTALLATION.
- UPON COMPLETION, CONTRACTOR SHALL FURNISH AS-BUILD SCHEMATIC DRAWING OF ALL VARIATIONS OF EXISTING PLANS TO OWNER.
- TEST EACH RECEPTACLE IN THE ROOM WITH A WOODHEAD CO. "GROUND LOOP INDEPENDENCE TESTER" AND RECORD CIRCUIT NAME, READING IN OHMS. PROVIDE TYPED REPORT TO OWNER.
- UPON COMPLETION OF THE WORK, TEST THE NEW INDIVIDUAL SYSTEMS, INCLUDING ALL FEEDERS AND BRANCH CIRCUITS TO RECEPTACLES, LIGHTING WITH A 500 VOLT DC INSULATION TESTER (WITH AN 0-200 MEGOHM FULL SCALE.) ALL CONDUCTORS SHALL HAVE INSULATION TESTED WHEN WIRING SYSTEM IS COMPLETE AND A LOG KEPT OF THE CIRCUIT NAME, DATE AND MEGGER READINGS. RECORD FEEDER AND/OR CIRCUIT NAME, READING IN OHMS, AND SUBMIT REPORT TO ARCHITECT. CHECK FOR PROPER PHASE ROTATION. ALL TEST REPORTS SHALL BE TYPED, PROVIDE ALL INSTRUMENTS, LABOR, ETC. REQUIRED FOR TESTING. ALL TESTING SHALL BE OBSERVED BY THE ARCHITECT AND/OR REPRESENTATIVES OF ARCHITECT.
- UPON COMPLETION OF ALL TESTS AND ACCEPTANCE, THE CONTRACTOR SHALL FURNISH THE OWNER A WRITTEN GUARANTEE COVERING THE ELECTRICAL WORK DONE AND EQUIPMENT INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL RECTIFY AND REPLACE ANY DEFECTIVE MATERIAL OR WORKMANSHIP AND REPAIR DAMAGE CAUSED THEREBY WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- ELECTRICAL METALLIC TUBING SHALL BE USED WITH COPPER CONDUCTORS WITH TYPE THWN INSULATION WITH #12 AWG BEING THE MINIMUM CONDUCTOR SIZE USED IN THIS FACILITY.
- BOND AND GROUND ALL IN ACCORDANCE WITH NFPA 70, NEC 1999 EDITION, ARTICLE 250. EFFECTIVELY GROUND SERVICE WITHIN 5'-0" OF WATER'S (METAL COLD PIPE) ENTRANCE INTO BUILDING.
- WATER HEATER, HVAC, AND REFRIGERATION EQUIPMENT'S OVERCURRENT PROTECTION SHALL BE SIZED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- OUTLETS ABOVE COUNTERS AT 42 INCHES ABOVE FINISH FLOOR.

NEC210.8 GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION

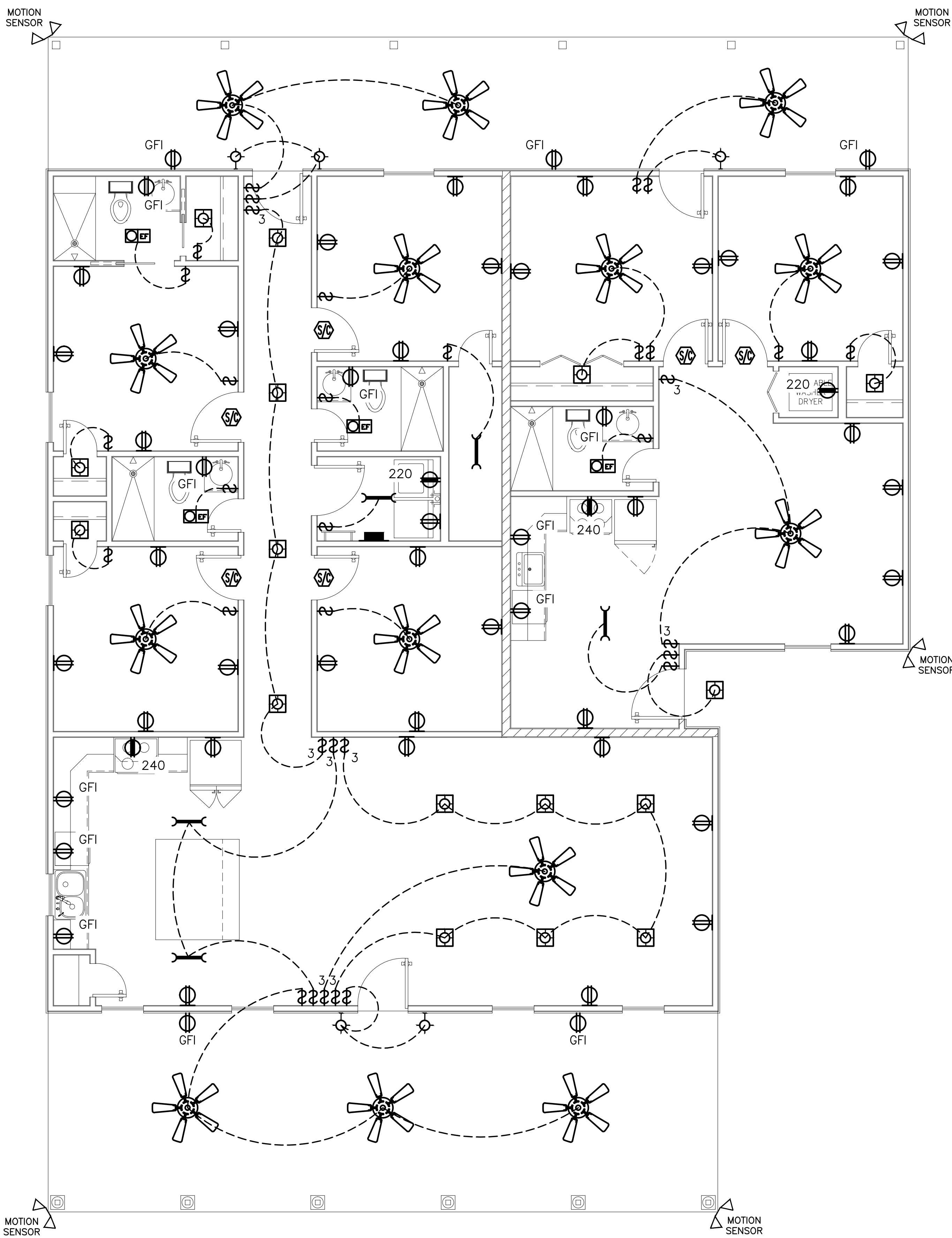
- DWELLING UNITS. ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN (A) THROUGH (H) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
 - (A) BATHROOMS
 - (B) GARAGES, AND ACCESSORY BUILDINGS THAT HAVE A FLOOR LOCATED AT OR BELOW GRADE NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, OR AREAS OF SIMILAR USE
 - (C) OUTDOORS
 - (D) CRAWL SPACES AT OR BELOW GRADE LEVEL
 - (E) AREAS OF BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS OR SIMILAR
 - (F) KITCHENS WHERE RECEPTACLES ARE INSTALLED TO SERVE COUNTERTOP SURFACES
 - (G) SINKS WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK
 - (H) BOATHOUSES

NEC210.12 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION

- DEFINITION: ARC-FAULT CIRCUIT-INTERRUPTER. AN ARC-FAULT CIRCUIT INTERRUPTER IS A DEVICE INTENDED TO PROVIDE PROTECTION FROM THE EFFECTS OF ARC FAULTS BY RECOGNIZING CHARACTERISTICS UNIQUE TO ARCING AND BY FUNCTIONING TO DE-ENERGIZE THE CIRCUIT WHEN AN ARC FAULT IS DETECTED.
- DWELLING UNITS. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING, UNLESS COVERED UNDER NEC210.8, SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

NEC240.24 LOCATION IN OR ON PREMISES

- ACCESSIBILITY. OVERCURRENT DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, WHEN IN ITS HIGHEST POSITION, IS NOT MORE THAN 6 FEET 7 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.
- OCCUPANCY. EACH OCCUPANT SHALL HAVE READY ACCESS TO ALL OVERCURRENT DEVICES PROTECTING THE CONDUCTORS SUPPLYING THAT OCCUPANCY.
- NOT EXPOSED TO PHYSICAL DAMAGE. OVERCURRENT DEVICES SHALL BE LOCATED WHERE THEY WILL NOT BE EXPOSED TO PHYSICAL DAMAGE.
- NOT IN VICINITY OF EASILY IGNITABLE MATERIAL. OVERCURRENT DEVICES SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL.
- NOT LOCATED IN BATHROOMS. OVERCURRENT DEVICES, OTHER THAN SUPPLEMENTARY OVERCURRENT PROTECTION, SHALL NOT BE LOCATED IN BATHROOMS.



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

GENERAL STRUCTURAL NOTES:

- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FABRICATION, TESTING, AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING NOTES. SHOULD CODES OR STANDARDS CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- FOR THE FOLLOWING REFERENCE CODES AND STANDARDS, ONLY THE LATEST EDITION IS APPLICABLE, UNLESS OTHERWISE INDICATED:
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
 - AMERICAN IRON AND STEEL INSTITUTE (AISI)
 - AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM)
 - AMERICAN WELDING SOCIETY (AWS)
 - RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC)
 - STEEL STRUCTURES PAINTING COUNCIL (SSPC)
 - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- SPECIFIED MATERIALS INCLUDING GROUTS, SEALANTS, ANCHORAGE, MECHANICAL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE SPECIFICATIONS.
- STRUCTURAL DRAWINGS SHALL BE USED AND INTERPRETED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS, AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS SET OUT IN THE ARCHITECT'S DRAWINGS BEFORE COMMENCING WORK.
- CONTRACTOR SHALL VERIFY ALL CAMBER, DEPRESSIONS, SLOPES, OPENINGS, PENETRATIONS, ETC. THROUGH OR WITHIN STRUCTURAL ELEMENTS. ANY STRUCTURAL ELEMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING ANY WORK. ANY INTERFERENCE OR CONFLICT SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL DIMENSIONS AND FIT-UP OF THE STRUCTURE, INCLUDING BUT NOT LIMITED TO, VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND ALL AS-BUILT CONDITIONS AS THE WORK PROGRESSES.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ERECTION, PLACEMENT, MAINTENANCE, DURATION AND REMOVAL OF ANY SHORING, RE-SHORING, BACK-SHORING, BRACING, TIE-BACKS, OR OTHER TEMPORARY SUPPORT STRUCTURES REQUIRED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION OR SURROUNDING IMPROVEMENTS DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND STABILITY OF THE STRUCTURE.
- ALL WORK AREAS SHALL BE KEPT NEAT, CLEAN, AND SAFE AT ALL TIMES BY THE CONTRACTOR. TRASH AND DEMOLISHED MATERIALS SHALL NOT BE ALLOWED TO ACCUMULATE AT THE SITE DURING EXECUTION OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS. ALL DEBRIS SHALL BE PROPERLY AND LEGALLY DISPOSED OF. ALL ASPECTS OF JOB SITE SAFETY ARE COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR.
- STEEL FRAMES ARE "NON-SELF SUPPORTING". ADEQUATE TEMPORARY SUPPORT SHALL BE PROVIDED BY THE CONTRACTOR UNTIL REQUIRED CONNECTIONS OR ELEMENTS ARE INSTALLED AND COMPLETED.
- DETAILS SHOWN ON DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL AND CHARGE OF THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

FOUNDATION NOTES:

- NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN AND SHALL REPORT UNEXPECTED CONDITIONS TO THE ENGINEER OF RECORD.
- UNLESS SHOWN OTHERWISE, GRADE BEAMS TO BE CENTERED ON COLUMNS AND WALLS.
- GRADE BEAMS MAY BE EARTH FORMED PROVIDED DIMENSIONAL TOLERANCES LISTED IN THE APPLICABLE ACI CODES ARE ADHERED TO.
- ALLOWABLE SOIL BEARING = 1500 LBS. PER SQ. FT. THIS PRESUMPTIVE CAPACITY IS BASED ON THE ASSUMPTION THAT THE EXISTING SOILS ARE AS DESCRIBED IN SECTION R401.4 AND TABLE R401.4.1 OF THE INTERNATIONAL RESIDENTIAL CODE. THE ENGINEER OF RECORD MAKES NO WARRANTY OR GUARANTEE OF FUTURE SETTLEMENT OF THE EXISTING SOILS. THE TOP 12 INCHES OF EXISTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.
- PLACE 10 MIL. WATERPROOF MEMBRANE BENEATH ALL INTERIOR SLABS AND BEAMS ON GRADE. LAP 12" TO ACCOMMODATE CONCRETE POURING DIRECTION.

CONCRETE NOTES:

- APPLICABLE CODES OR STANDARDS:
ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 - ACI 117 - SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS
 - ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - ACI 304 - RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE
 - ACI 308 - RECOMMENDED PRACTICE FOR CURING CONCRETE
 - ACI 315 AND 315R - DETAILS AND DETAILING OF CONCRETE REINFORCEMENT
 - ACI 316 - RECOMMENDED PRACTICE FOR CONSTRUCTION OF CONCRETE PAVEMENTS AND CONCRETE BASES
 - ACI 318 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - ACI 336 - SUGGESTED DESIGN AND CONSTRUCTION PROCEDURES FOR PIER FOUNDATIONS
 - ACI 347 - RECOMMENDED PRACTICE FOR CONCRETE FORM WORK
 - ASTM STANDARDS FOR THE MATERIALS LISTED.
- MATERIALS:
MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONCRETE SHALL A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 - CONCRETE SHALL BE NORMAL WEIGHT (APPROXIMATELY 150 LBS. PER CUBIC FT.)
 - PORTLAND CEMENT SHALL MEET ASTM C150 TYPE II.
 - AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33.
 - REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60.
 - WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.
 - STEEL PLAIN WIRE SHALL MEET ASTM A82.

CONCRETE NOTES (CONT.):

- SLUMPS:
CONCRETE SLUMPS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONCRETE WITHOUT WATER-REDUCING ADMIXTURES OR PRIOR TO THEIR ADDITIONS SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES.
 - CONCRETE WITH LOW TO MODERATE RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 6 INCHES.
 - CONCRETE WITH HIGH RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 8 INCHES.
- EXPOSED EDGE CONDITIONS:
 - EXPOSED EDGES OF CONCRETE ABOVE GRADE SHALL BE CHAMFERED 3/4" AT 45 DEGREES (AS SHOWN ON SECTIONS IF REQUIRED).
- BONDING:
BONDING SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONSTRUCTION JOINTS BETWEEN NEW AND HARDENED CONCRETE SHALL BE CLEAN, FREE OF LAITANCE, AND INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4".
 - FOR INSTALLATION OF DOWELS IN HARDENED CONCRETE, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 200 OR APPROVED EQUAL.
 - FOR INSTALLATION OF DOWELS IN BRICK MASONRY, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 270 OR APPROVED EQUAL.
- CONCRETE PROTECTION FOR REINFORCEMENT:
CONTRACTOR SHALL PROVIDE PROTECTIVE COVER FOR REINFORCING LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - 3" FOR CONCRETE GRADE BEAMS AND FOOTINGS DEPOSITED DIRECTLY AGAINST THE GROUND.
 - 2" FOR FORMED CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.
 - 1" FOR CONCRETE SLABS AND WALLS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND
 - 1 1/2" FOR CONCRETE BEAMS, GIRDERS, AND COLUMNS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.
- PLACEMENT:
PLACEMENT SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - BARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT.
 - REINFORCING BARS OR FABRIC ON GRADE SHALL BE CHAIRD WITH 3000 PSI CONCRETE BRICKETTES SPACED ADEQUATELY TO SUPPORT THE REINFORCING, BUT NOT GREATER THAN 3'-0" O.C. EACH WAY. AT RAISED FLOORS USE METAL CHAIRS.
 - PROVIDE A 90 DEGREE HOOK ON ALL TOP REINFORCING IN ALL BEAMS AT DISCONTINUOUS ENDS AND LAP SPLICE 30 BAR DIAMETERS AT MID-SPAN.
 - CONTINUOUS BOTTOM BARS SHOULD BE LAP SPICED 6" AT CENTER OF SUPPORT.
 - LAP ALL WELDED WIRE FABRIC ONE WIRE SPACING PLUS 6 INCHES.
 - COLUMN VERTICAL REINFORCING SHALL HAVE STANDARD HOOKS AT THE TOP OF THE UPPERMOST SECTION OF EACH COLUMN.
 - PROVIDE CORNER BARS AT EACH OUTSIDE CORNER FOR EACH HORIZONTAL BAR IN WALLS AND BEAMS. HOOK INSIDE BAR IN WALLS AT ENDS.
 - PLACEMENT OF SLEEVES, HOLES, OR OPENINGS THROUGH BEAMS, FOOTINGS, PILE CAPS, SLABS, ETC. IS NOT PERMITTED WITHOUT ENGINEER OF RECORD'S APPROVAL.
 - WHERE POSSIBLE, EXISTING REINFORCEMENT SHALL NOT BE CUT, BENT, OR DAMAGED. WHENEVER REINFORCEMENT IS CUT, DAMAGED OR BENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. REINFORCEMENT SHALL BE REPAIRED OR REPLACED AS DIRECTED.
- SPLICES:
REINFORCEMENT STEEL SPLICES SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - REINFORCING BARS SHALL BE SPLICED WITH CLASS "B" LAP SPLICES.
 - PROVIDE REQUIRED LAP LENGTHS FOR CORNER BARS, TEMPERATURE BARS IN SLAB, INTERMEDIATE HORIZONTAL BARS IN WALLS AND BEAMS, ETC.
- EXPANSION JOINTS AND JOINT SEALERS:
EXPANSION JOINTS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK SEAL-TIGHT ASPHALT EXPANSION JOINT FILLER OR APPROVED EQUAL.
 - EXPANSION JOINTS SHALL SEPARATE PAVING FROM FOUNDATION GRADE BEAMS, FOOTINGS, ETC. AS SHOWN ON DRAWINGS.
- EMBEDMENTS:
CONDUITS, PIPES, ETC. EMBEDDED IN CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONTRACTOR SHALL SUBMIT FOR APPROVAL A DIAGRAM DEPICTING ALL CONDUITS, PIPES, OR SLEEVES EMBEDDED IN CONCRETE.
 - CONTRACTOR SHALL FOLLOW ALL REGULATIONS OUTLINED IN THE APPLICABLE ACI CODES FOR EMBEDDING CONDUITS, PIPES, ETC.
 - CONDUITS, PIPES, AND SLEEVES OF ANY MATERIAL NOT HARMFUL TO CONCRETE SHALL BE PERMITTED TO BE EMBEDDED IN CONCRETE WITH THE ENGINEER OF RECORD'S APPROVAL.
 - IT WILL NOT BE PERMITTED TO CUT, BEND, OR DISPLACE THE REINFORCING STEEL FROM ITS PROPER LOCATION TO INSTALL CONDUITS, PIPES, ETC. WITHOUT THE ENGINEER OF RECORD'S APPROVAL.
 - CONDUITS, PIPES, AND SLEEVES PASSING THROUGH A SLAB, BEAM, OR WALL SHALL NOT SIGNIFICANTLY IMPAIR THE STRENGTH OF CONSTRUCTION.
 - OUTSIDE DIMENSIONS FOR SINGLE CONDUITS AND PIPES OR INTERSECTING CONDUITS AND PIPES SHALL NOT OCCUPY MORE THAN AN 1/3 THE OVERALL THICKNESS OF SLAB, BEAM, OR WALL IN WHICH THEY ARE EMBEDDED. ANY CONDUIT OR PIPE LARGER SHALL BE LOCATED BELOW THE RESPECTIVE SLAB OR BEAM.
 - CONDUITS, PIPES, ETC. SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS OR WIDTHS ON CENTER.

CONCRETE NOTES (CONT.):

- QUALITY CONTROL TESTING DURING CONSTRUCTION
 - GENERAL: EMPLOY A TESTING AGENCY TO PERFORM TESTS AND TO SUBMIT TEST REPORTS.
 - SAMPLING AND TESTING FOR QUALITY CONTROL DURING CONCRETE PLACEMENT SHALL INCLUDE THE FOLLOWING, AS DIRECTED BY ARCHITECT.
 - SAMPLING FRESH CONCRETE: ASTM C 172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C 94
 - SLUMP: ASTM C 143; ONE TEST AT POINT OF DISCHARGE FOR EACH DAY'S POUR OF EACH TYPE OF CONCRETE, ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY SEEMS TO HAVE CHANGED.
 - AIR CONTENT: ASTM C 173, VOLUMETRIC METHOD FOR LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE; ASTM C 231, PRESSURE METHOD FOR NORMAL WEIGHT CONCRETE; ONE FOR EACH DAY'S POUR OF EACH TYPE OF AIR-ENTRAINED CONCRETE.
 - CONCRETE TEMPERATURE: ASTM C 1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F (4 DEG C) AND BELOW, WHEN 80 DEG F (27 DEG C) AND ABOVE, AND ONE TEST FOR EACH SET OF COMPRESSIVE-STRENGTH SPECIMENS.
 - COMPRESSION TEST SPECIMEN: ASTM C 31, ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPRESSIVE-STRENGTH TEST, UNLESS OTHERWISE DIRECTED. MOLD AND STORE CYLINDERS FOR LABORATORY-CURED TEST SPECIMENS EXCEPT WHEN FIELD-CURED TEST SPECIMENS ARE REQUIRED.
 - COMPRESSIVE-STRENGTH TESTS: ASTM C 39; ONE SET FOR EACH DAY'S POUR EXCEEDING 5 CU. YD. PLUS ADDITIONAL SETS FOR EACH 50 CU. YD. MORE THAN THE FIRST 25 CU. YD. OF EACH CONCRETE CLASS PLACED IN ANY ONE DAY; ONE SPECIMEN TESTED 7 DAYS, TWO SPECIMENS TESTED AT 28 DAYS, AND ONE SPECIMEN RETAINED IN RESERVE FOR LATER TESTING IF REQUIRED.
- WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE STRENGTH TESTS FOR A GIVEN CLASS OF CONCRETE, CONDUCT TESTING FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.
- TEST RESULTS WILL BE REPORTED IN WRITING TO ARCHITECT, STRUCTURAL ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TEST.
- NONDESTRUCTIVE TESTING: IMPACT HAMMER, SONOSCOPE, OR OTHER NONDESTRUCTIVE DEVICE MAY BE PERMITTED BY SHALL NOT BE USED AS THE SOLE BASIS FOR ACCEPTANCE OR REJECTION.
- ADDITIONAL TEST: THE TESTING AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE WHEN TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS AND OTHER CHARACTERISTICS HAVE NOT BEEN ATTAINED IN THE STRUCTURE, AS DIRECTED BY ARCHITECT. TESTING AGENCY MAY CONDUCT TESTS TO DETERMINE ADEQUACY OF CONCRETE BY CORED CYLINDERS COMPLYING WITH ASTM C 42, OR BY OTHER METHODS AS DIRECTED.

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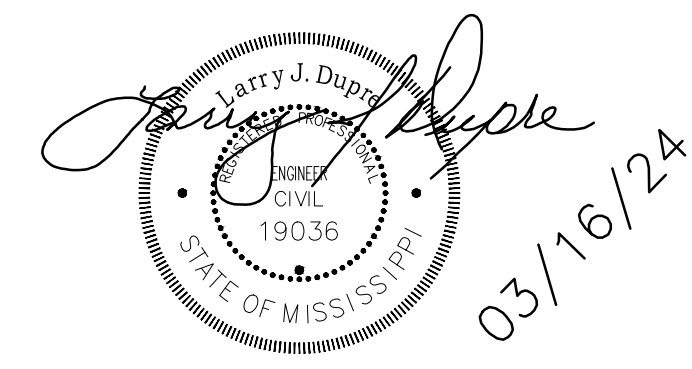
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TITLE:
GENERAL STRUCTURAL NOTES

ISSUED DATE: 03/10/24
DRAWN BY: JRN
CHECKED BY: LJD
PROJECT #: 23008



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S1.0A

WOOD FRAMING NOTES:

1. APPLICABLE CODES OR STANDARDS:
ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 - (A) IRC – INTERNATIONAL RESIDENTIAL CODE (IRC)
 - (B) AWC – NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
 - (C) AWC – WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM)
 - (D) APA – PLYWOOD DESIGN SPECIFICATION (PDS)
2. WALL SYSTEMS:
WALL SYSTEMS SHALL MEET THE SPECIFICATIONS LISTED IN THE PLAN NOTES (UNLESS NOTED OTHERWISE).
3. MATERIALS:
MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - (A) FRAMING LUMBER SHALL BE SOUTHERN PINE GRADE MARKED AND KILN DRIED, NO. 2.
 - (B) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. LUMBER, PLYWOOD, PSL, OR OTHER STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA.
 - (C) FLOOR PLYWOOD SHEATHING SHALL BE 3/4" THICK.
 - (D) WALL PLYWOOD SHEATHING SHALL BE 1/2" THICK.
 - (E) ATTIC PLYWOOD SHEATHING SHALL BE 1/2" THICK.
 - (F) ROOF PLYWOOD SHEATHING SHALL BE 5/8" THICK.
 - (G) MEMBERS DESIGNATED AS "LVL" SHALL BE LAMINATED VENEER LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I-LEVEL TRUSS JOIST COMPANY'S "MICROLLAM" OR APPROVED EQUAL.
 - (H) JOIST HANGERS, BEAM HANGERS, HURRICANE CLIPS, ANCHORS, AND CONNECTORS SHALL BE SUPPLIED BY SIMPSON STRONG-TIE CO., INC. OR APPROVED EQUAL AND ATTACHED WITH MANUFACTURER RECOMMENDATIONS.
 - (I) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. SHALL BE GALVANIZED.
 - (J) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. EXPOSED TO WEATHER, IN CONTACT WITH EARTH OR WATER, OR BELOW THE FIRST FLOOR LEVEL SHALL RECEIVE THE SIMPSON "Z-MAX" TRIPLE ZINC COATING OR APPROVED EQUAL.
 - (K) STUD WALL BOTTOM PLATES CONNECTED TO CONCRETE SHALL BE SUPPLIED BY RAMSET OR APPROVED EQUAL.
4. CONNECTIONS:
CONNECTIONS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - (A) WOOD MEMBERS (INCLUDING PLYWOOD SHEATHING OR BRACING) SHALL BE CONNECTED OR FASTENED WITH STEEL NAILS, SCREWS, OR BOLTS. ALL EXPOSED NAILS, SCREWS, OR BOLTS SHALL BE POLYMER COATED OR GALVANIZED.
 - (B) NO STAPLES SHALL BE PERMITTED.
 - (C) WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE LISTED IN IRC 2021 TABLE R602.3.
 - (D) MEMBER END PIECES, JOINTS, OR SPLICES SHALL BE OVER SUPPORTS.
 - (E) MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF 12d NAILS SPACED AT 12" FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL BE ATTACHED TOGETHER WITH (3) ROWS OF 12d NAILS SPACED AT 12".
 - (F) MULTIPLE PIECES OF LUMBER USED TO FORM PACKED STUDS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF NAILS SPACED AT 8".
 - (G) PLYWOOD WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL HORIZONTAL JOINTS.
 - (H) PLYWOOD ROOF SHEATHING VERTICAL JOINTS SHALL BE STAGGERED EVERY 4 FEET OR LESS.
 - (I) FLOOR JOISTS SHALL HAVE BRIDGING AT 8'-0" O.C. (MAX.).
 - (J) BOTTOM PLATE OF STUD WALLS TO CONCRETE SHALL BE CONNECTED WITH 1/4" RAMSETS AT 16" O.C.
 - (K) PRE-ENGINEERED STRUCTURAL MEMBERS INCLUDING PSL, PPG, LVL, ETC. SHALL BE ERECTED AND BRACED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
5. OPENINGS:
OPENINGS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - (A) OPENINGS IN WALLS SHALL HAVE HEADERS CONSISTING OF A MINIMUM OF TWO 2x12's OR THREE 2x10's (4'-0" MAX.).
 - (B) OPENINGS IN EXTERIOR WALLS SHALL BE IN ACCORDANCE WITH THE FULL HEIGHT STUD REQUIREMENTS LISTED IN WFCM TABLE 3.23c.
 - (C) FULL HEIGHT STUDS MAY BE REDUCED IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.23d.
 - (D) JACK STUDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.22f.

DESIGN INFORMATION:

1. DESIGN LOADS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE).
 - (A) DESIGN BUILDING CODE – 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - (B) DESIGN GRAVITY LOADS:

FIRST FLOOR	DL = 50 PSF LL = 40 PSF
ATTIC	DL = 10 PSF LL = 20 PSF
ROOF	DL = 15 PSF LL = 20 PSF
 - (C) WIND LOADS SHALL BE IN ACCORDANCE WITH ASCE 7-16:

MAIN WIND FORCE RESISTING SYSTEM

PARAMETER	VALUE	REFERENCE
RISK CATEGORY	II	TABLE 1.5-1
BASIC WIND SPEED	Vult. = 155 MPH Vosd. = 122.5 MPH	FIGURE 26.5-1B
DIRECTIONALITY	D	FIGURE 26.6-1
EXPOSURE CATEGORY	0.85	SECTION 26.7
TOPOGRAPHIC FACTOR	Kzt = 1.0	FIGURE 26.8-1
GUST EFFECT FACTOR	0.85	SECTION 26.9
ENCLOSURE CLASSIFICATION	ENCLOSED	SECTION 26.10
INTERNAL PRESSURE COEFFICIENT	Cpfi = +/-0.18	SECTION 26.11
VELOCITY	qh = 39.33 PSF	SECTION 28.3.2

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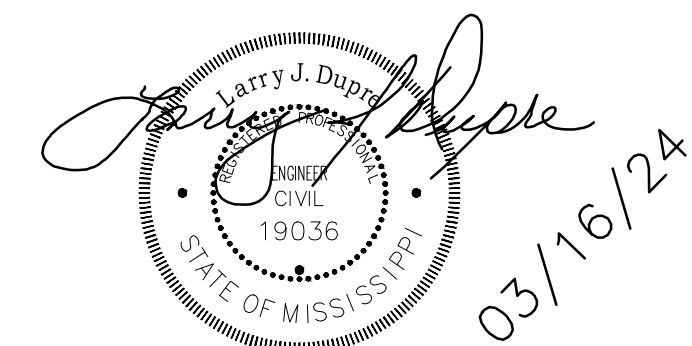
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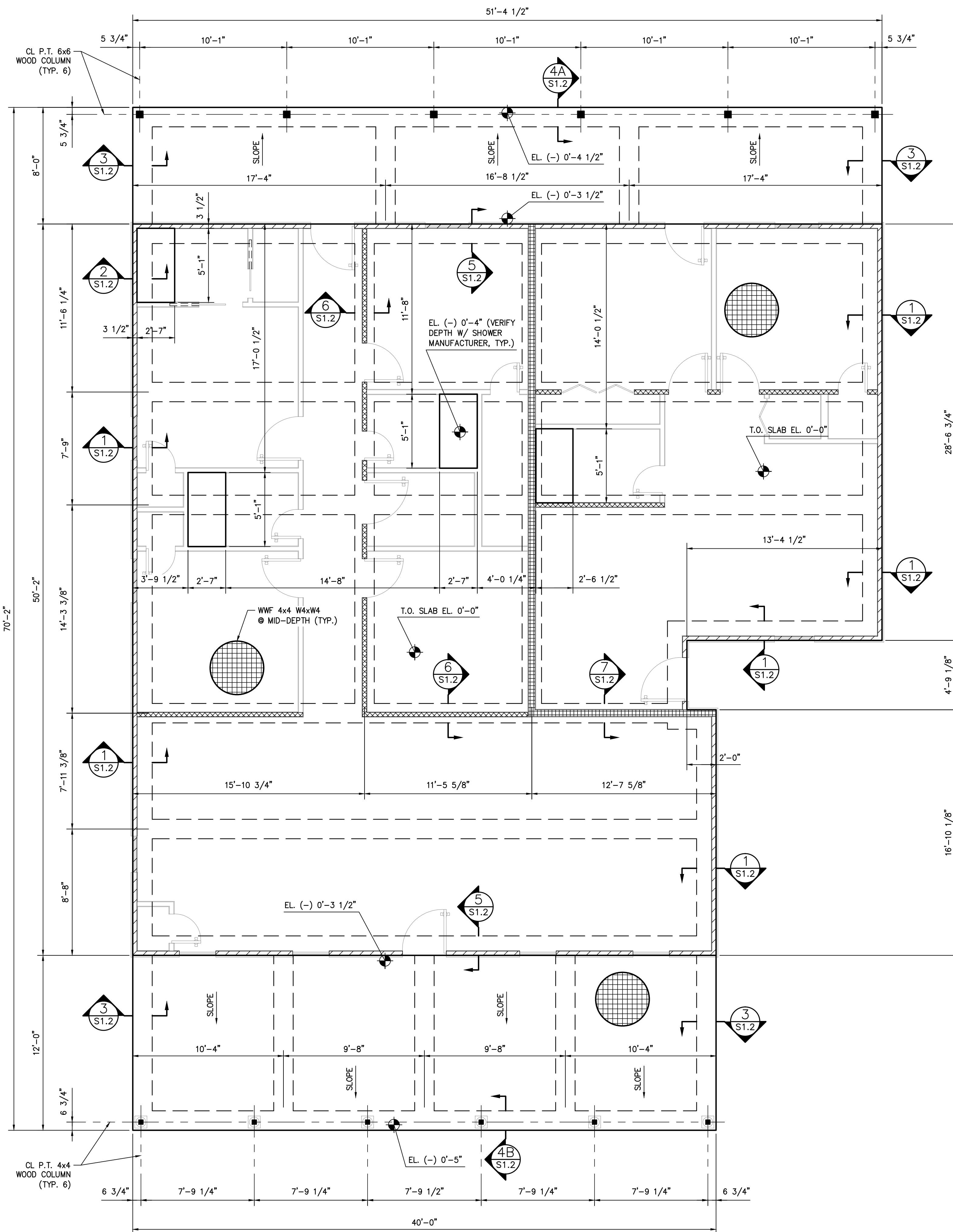
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S1.0B



PLAN NOTES:

- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
- TOP OF 4" SLAB ELEVATION 0'-0".
- MEASUREMENTS ARE TO EDGE OF FRAMING.
- A. 2x4 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x4 BOTTOM PLATE
 - C. DOUBLE 2x4 TOP PLATE
 - D. SHEATHING - SEE WOOD FRAMING NOTES
 - E. DOUBLE BLOCKING
- A. 2x4 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x4 BOTTOM PLATE
 - C. DOUBLE 2x4 TOP PLATE
 - D. DOUBLE BLOCKING
- A. 2x6 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x6 BOTTOM PLATE
 - C. DOUBLE 2x6 TOP PLATE
 - D. SHEATHING - 5/8" TYPE "X" SHEATHING (BOTH SIDES OF WALL), SEE UL DETAIL, DRAWING S2.3 (FIRE TAPE AND FLOAT TIGHT FROM FLOOR TO ROOF DECK ABOVE. FIRE CAULK ALL PENETRATIONS WITH APPROVED FIRE CAULKING SYSTEM FOLLOWING MANUFACTURERS SPECIFICATIONS).
 - E. BLOCKING @ 48" O.C. (MAX.)

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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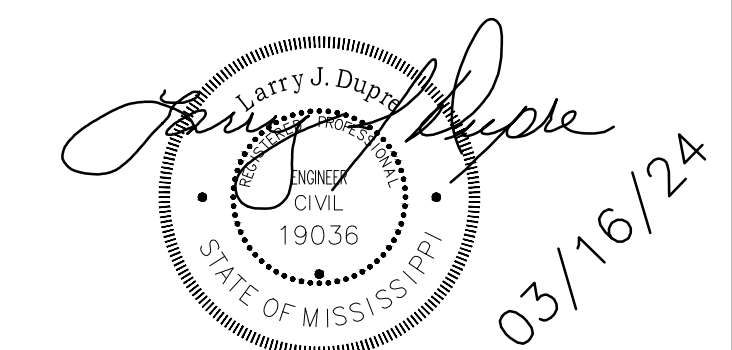
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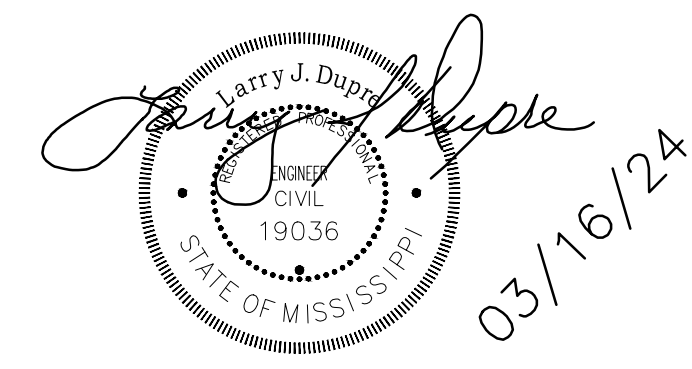
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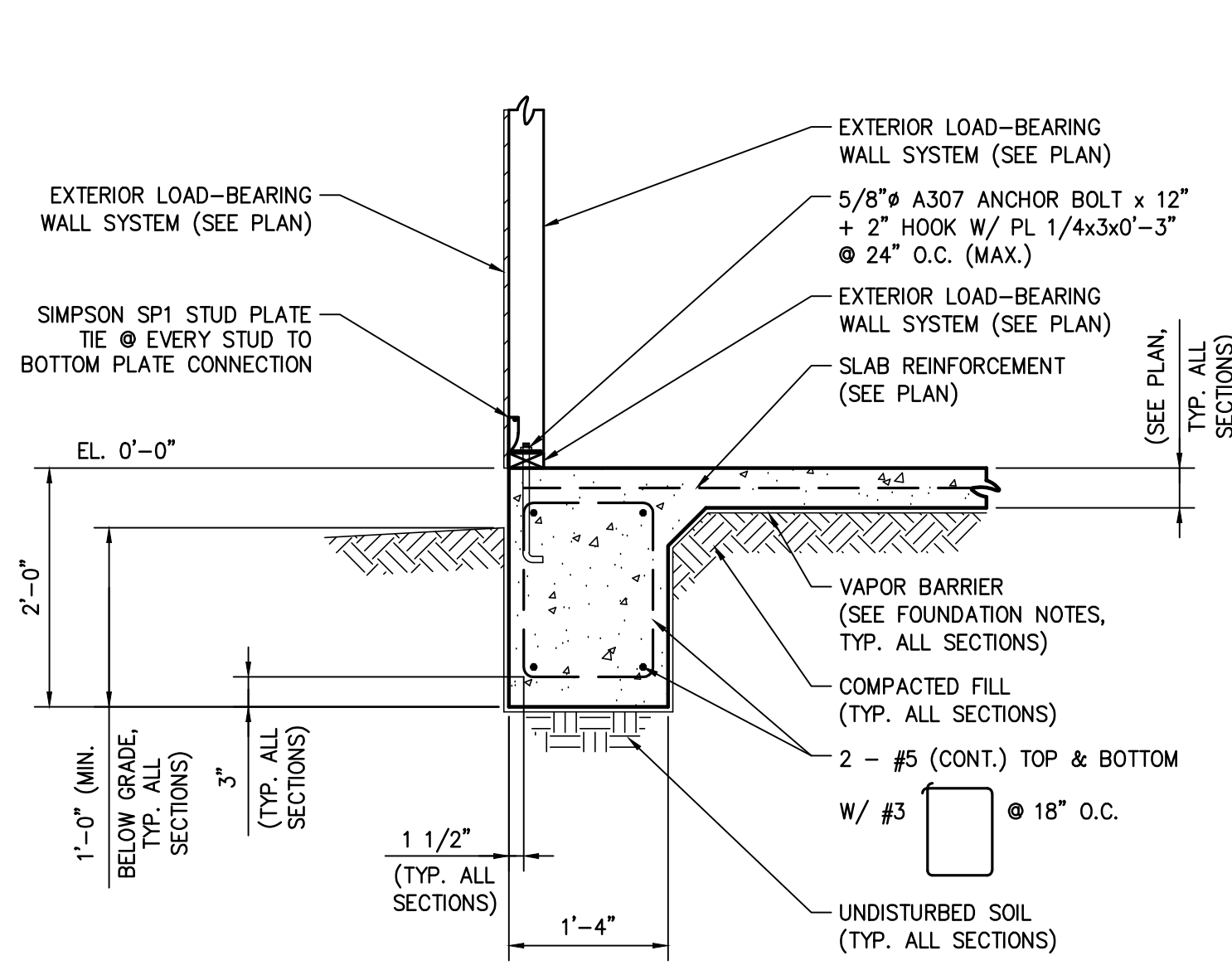
FOUNDATION
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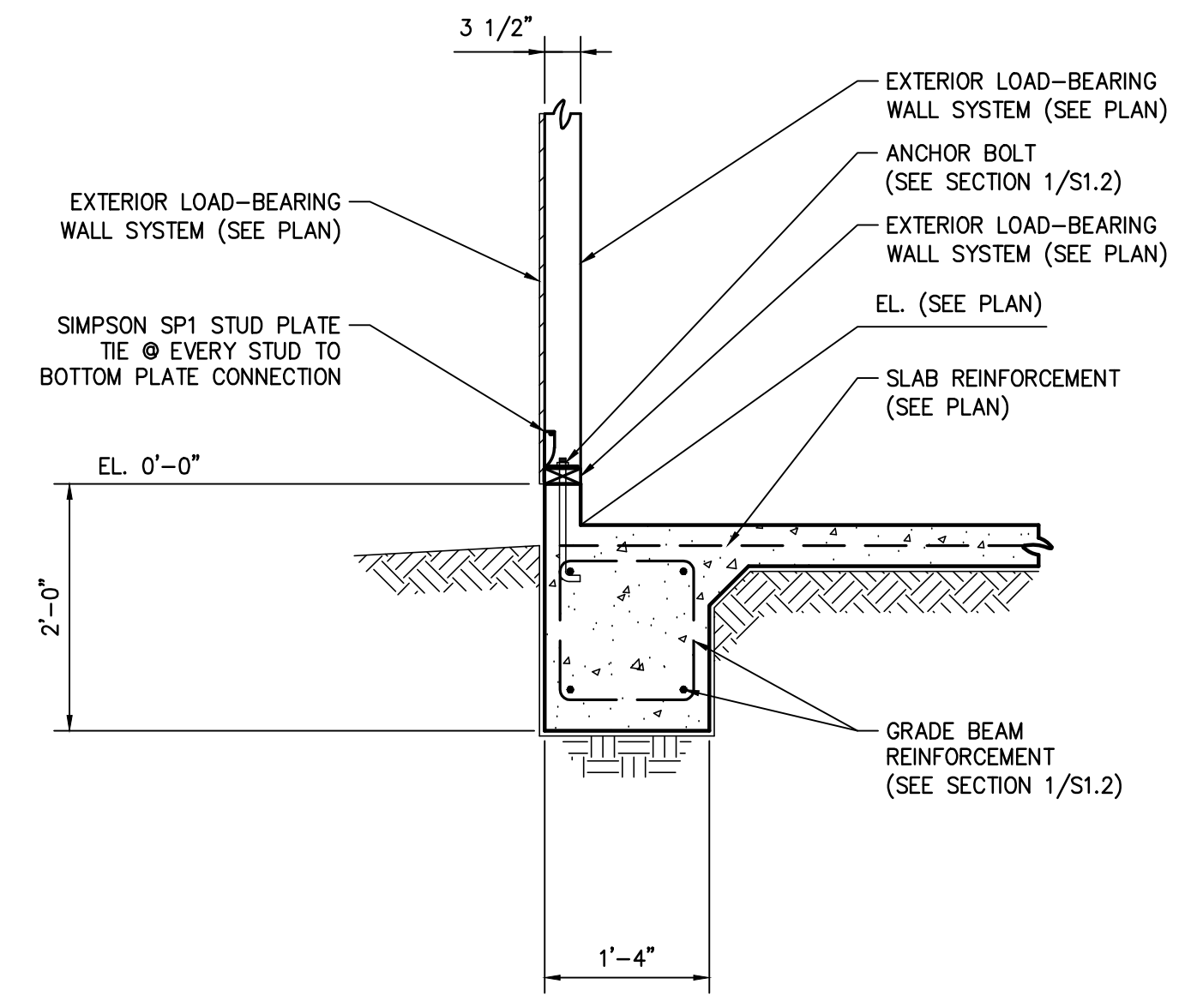
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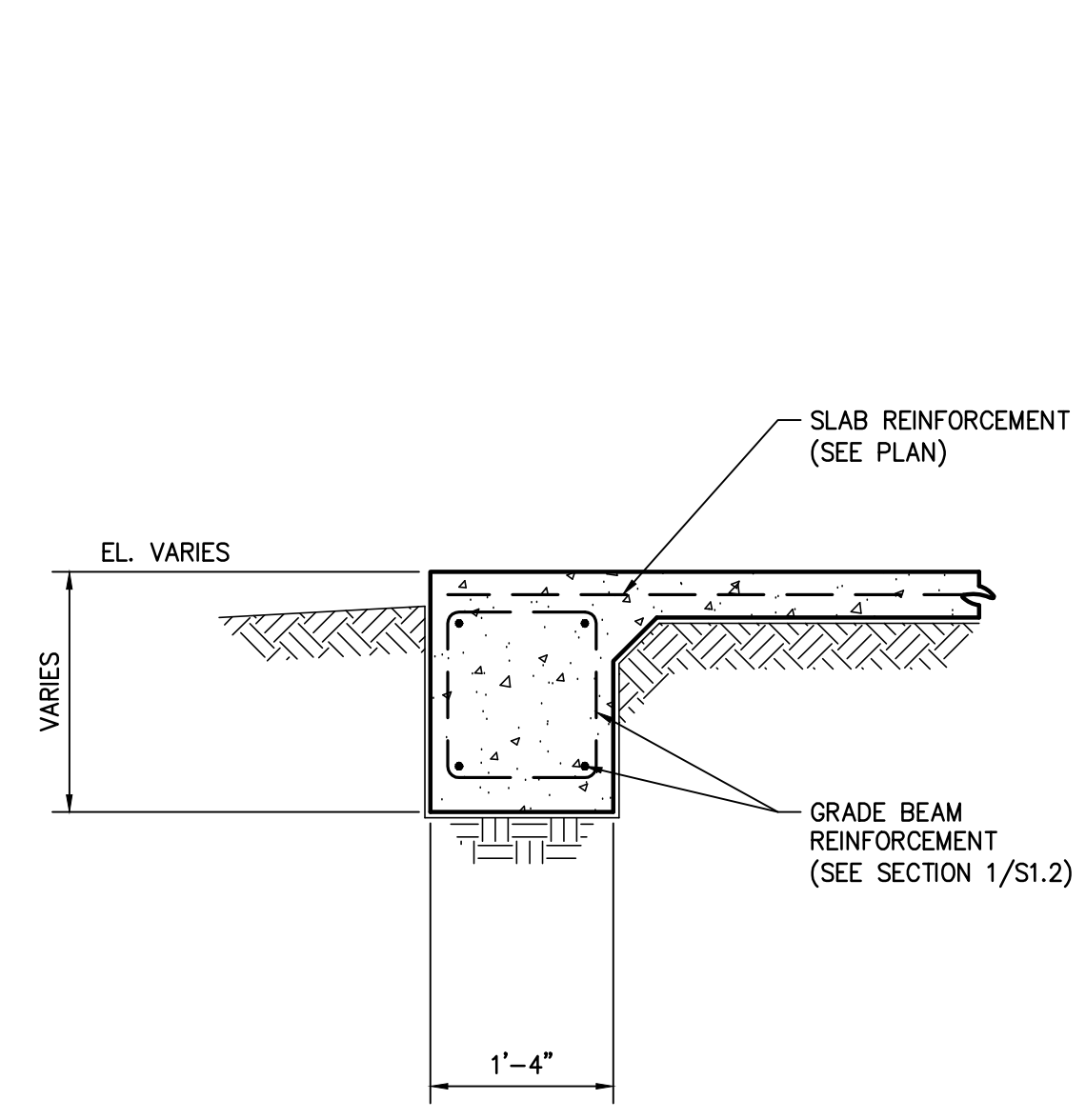
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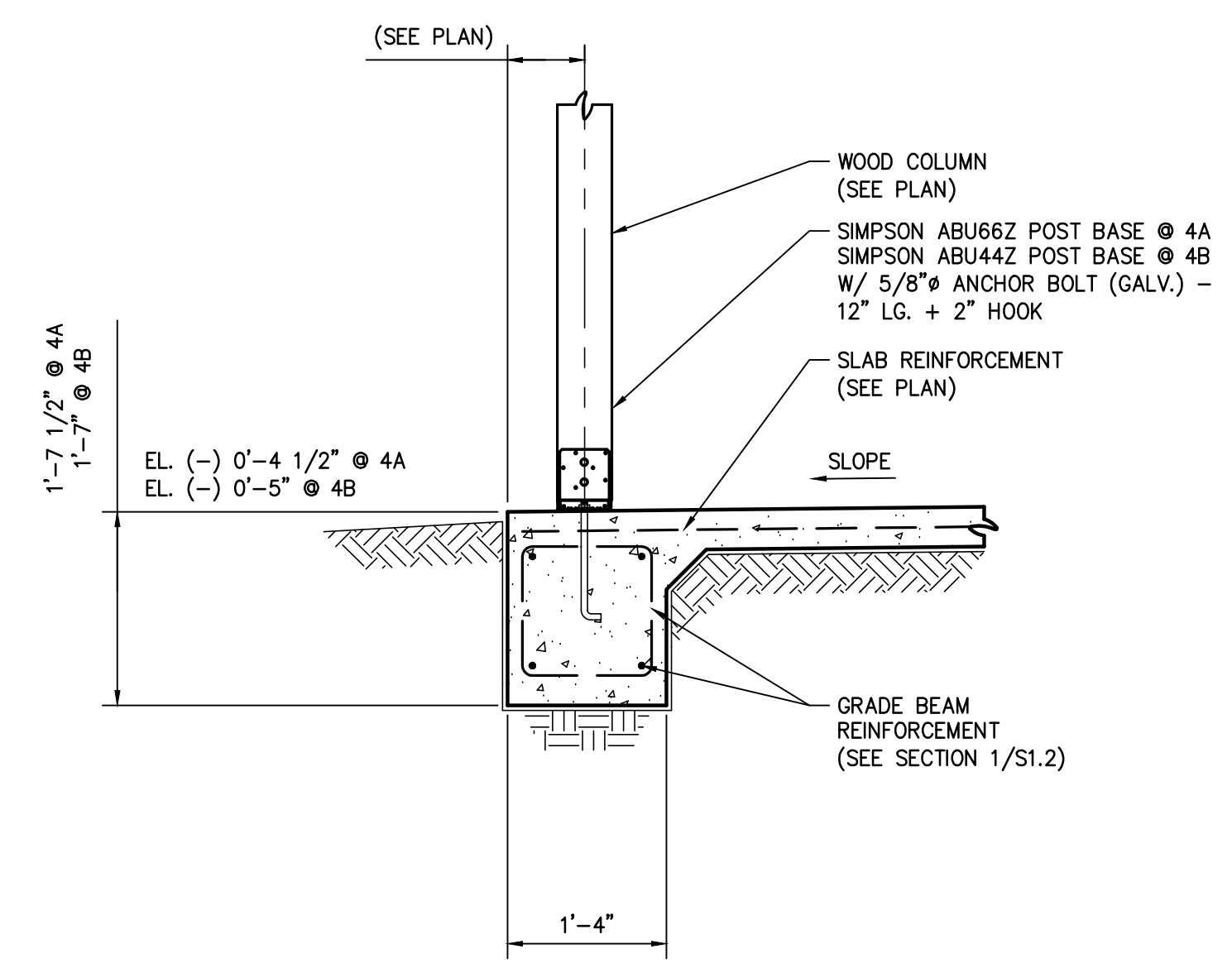
SECTION 1
SCALE: 3/4" = 1'-0"
S1.1|S1.2



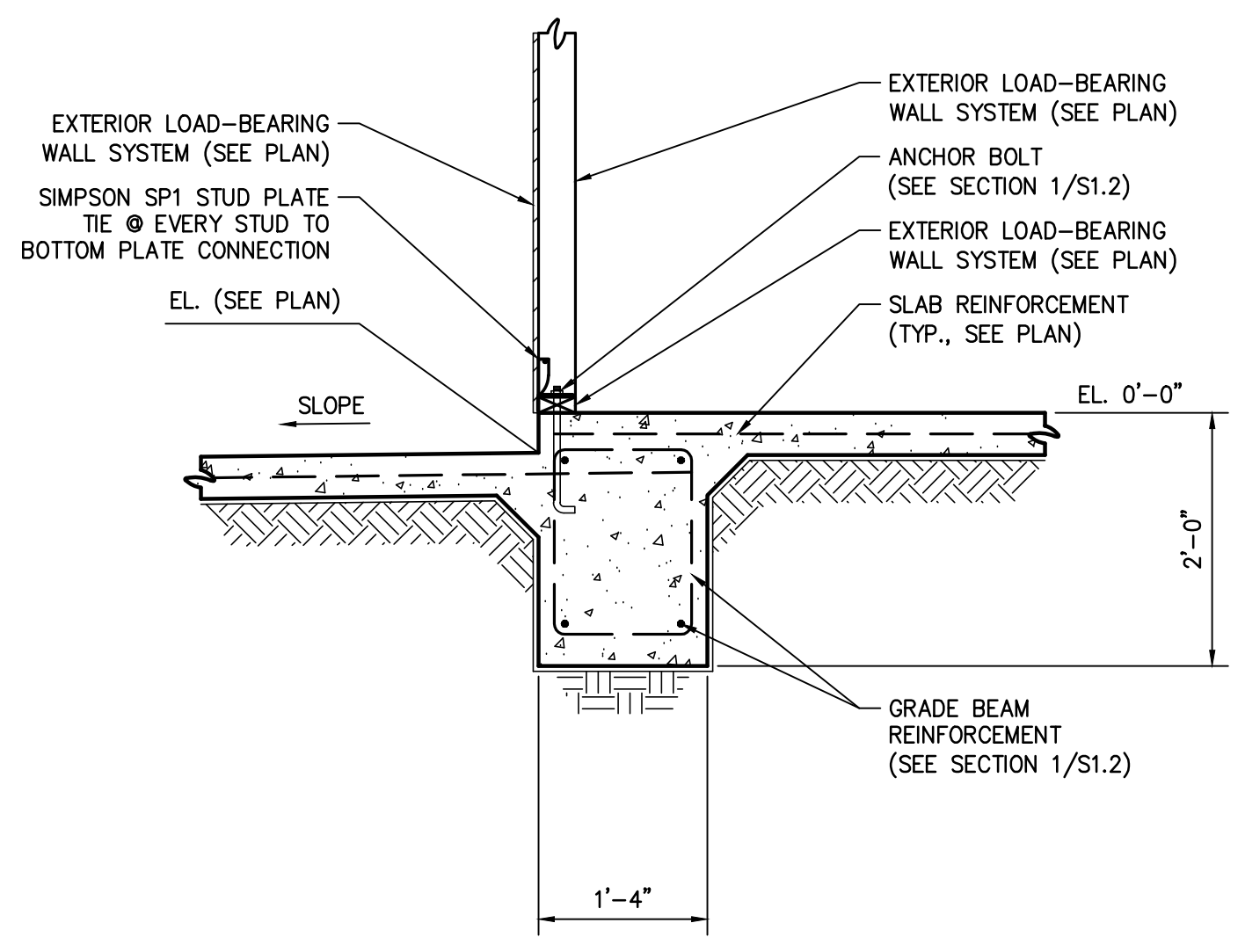
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S1.1|S1.2



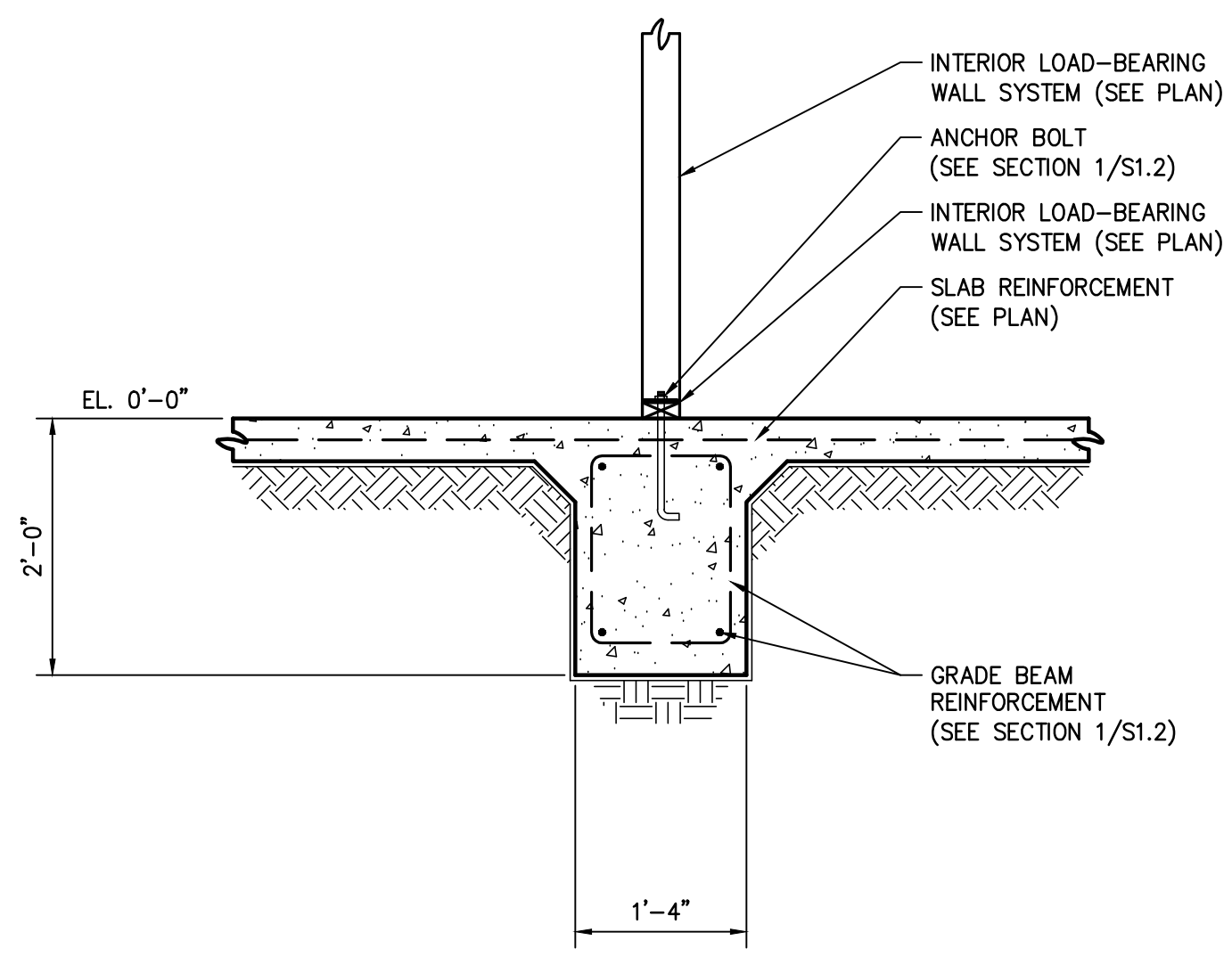
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S1.1|S1.2



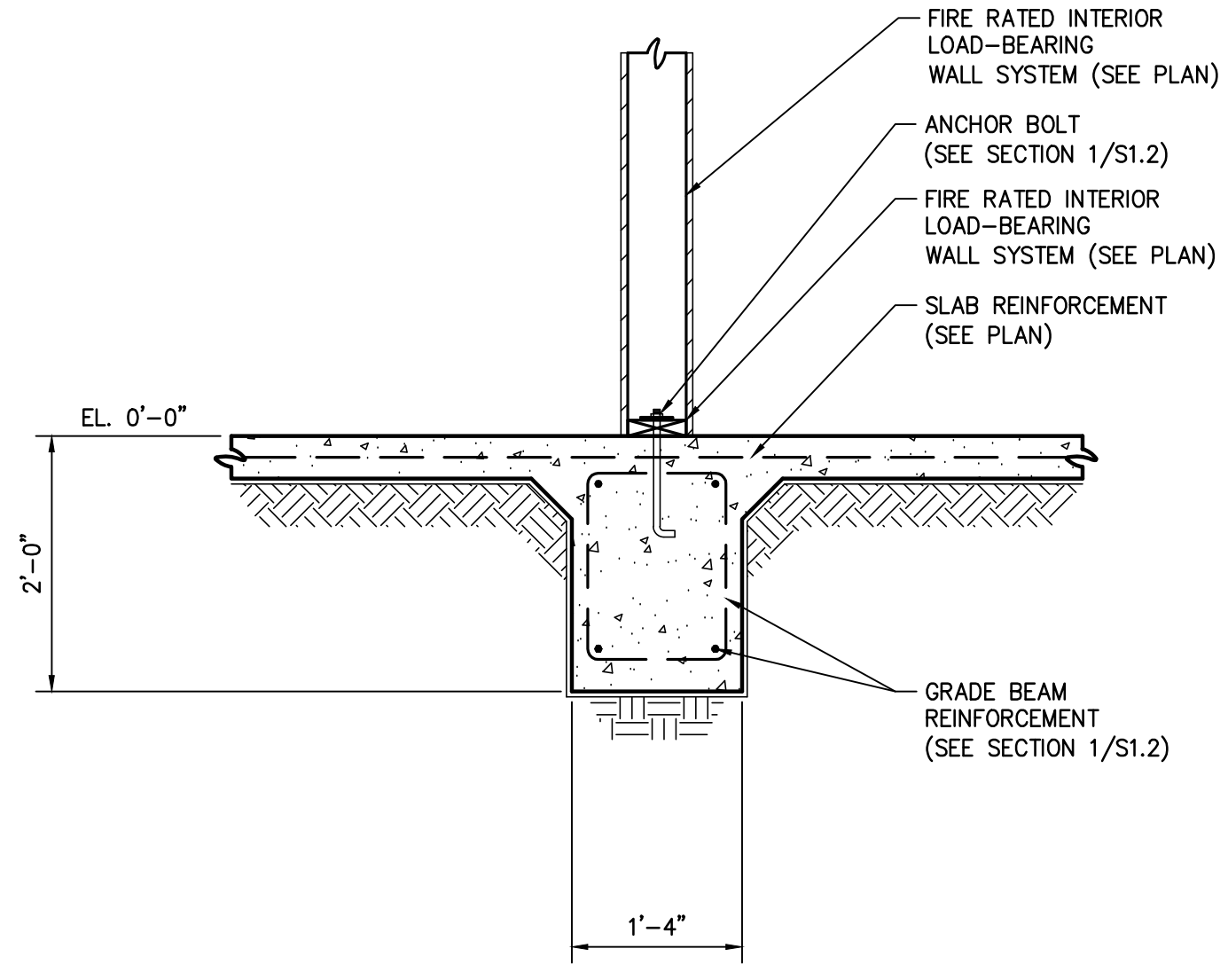
SECTION 4A 4B
SCALE: 3/4" = 1'-0"
S1.1|S1.2 S1.1|S1.2



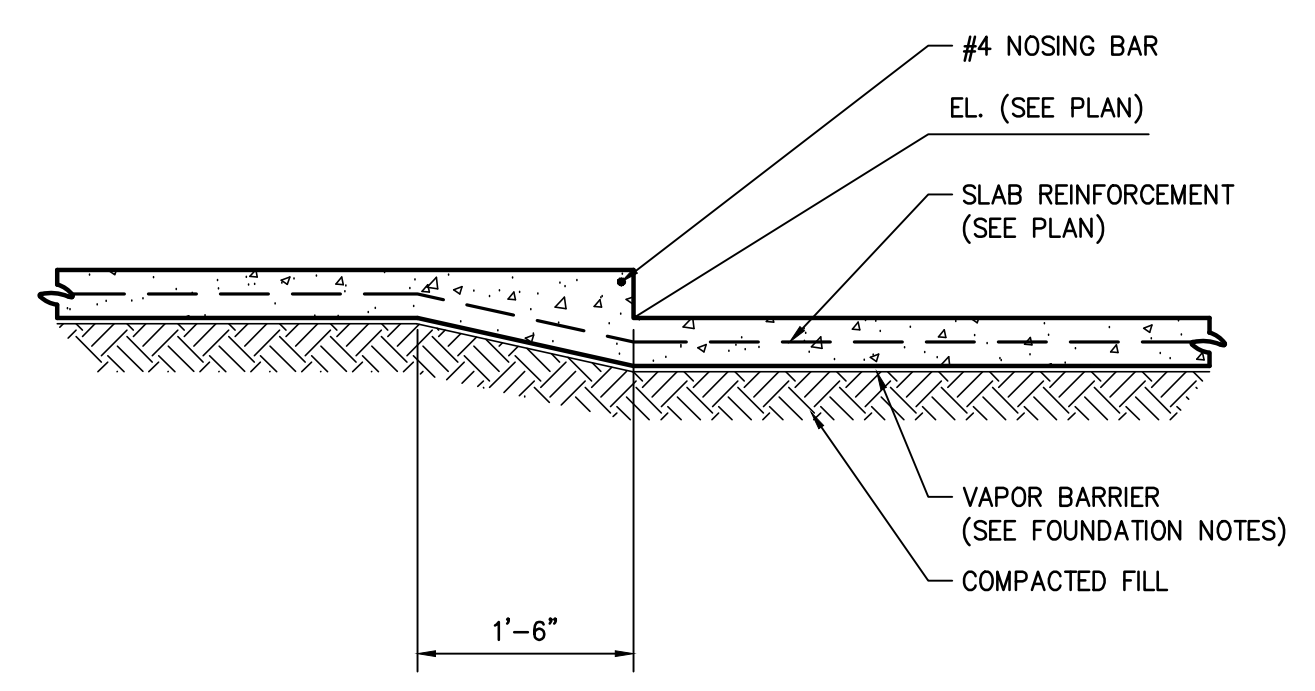
SECTION 5
SCALE: 3/4" = 1'-0"
S1.1|S1.2



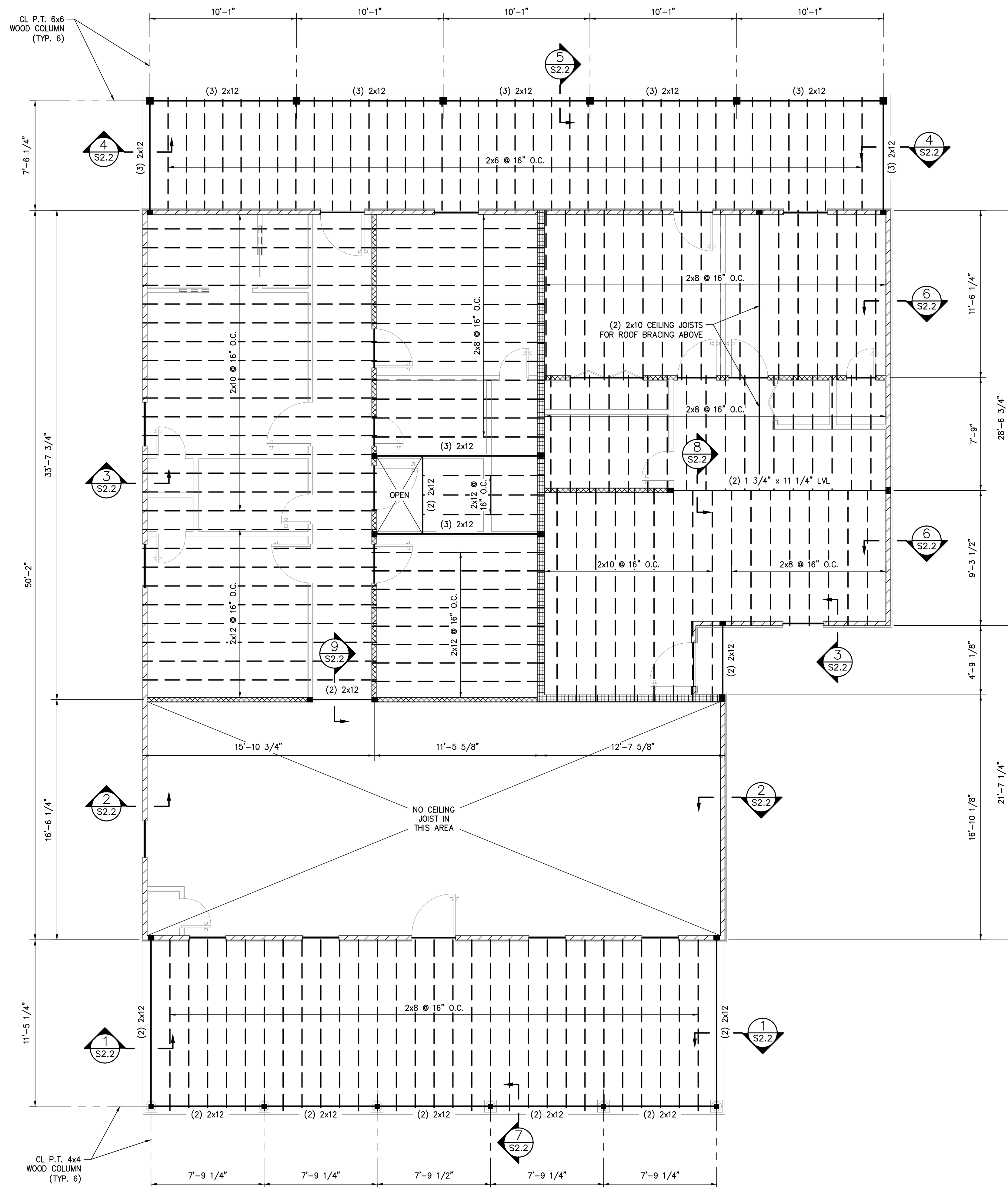
SECTION 6
SCALE: 3/4" = 1'-0"
S1.1|S1.2



SECTION 7
SCALE: 3/4" = 1'-0"
S1.1|S1.2



SLAB DEPRESSION DETAIL
SCALE: N.T.S.



CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
- UNLESS SHOWN ON PLANS, SEE WOOD FRAMING NOTES FOR HEADER SIZING.
- MEASUREMENTS ARE TO EDGE OF FRAMING.
- PROVIDE BLOCKING WHERE JOIST SPAN EXCEED 8'-0".
- PROVIDE DOUBLE KING STUDS (MIN.) AT EACH SIDE OF WINDOW OPENINGS IN EXTERIOR LOAD-BEARING STUD WALLS.
- SYMBOL ON PLAN INDICATES 2x4 EXTERIOR LOAD-BEARING WALL SYSTEM:

 - A. 2x4 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x4 BOTTOM PLATE
 - C. DOUBLE 2x4 TOP PLATE
 - D. SHEATHING - SEE WOOD FRAMING NOTES
 - E. DOUBLE BLOCKING
- SYMBOL ON PLAN INDICATES 2x4 INTERIOR LOAD-BEARING WALL SYSTEM:

 - A. 2x4 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x4 BOTTOM PLATE
 - C. DOUBLE 2x4 TOP PLATE
 - D. DOUBLE BLOCKING
- SYMBOL ON PLAN INDICATES 1-HOUR FIRE-RATED 2x6 INTERIOR LOAD-BEARING WALL SYSTEM:

 - A. 2x6 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x6 BOTTOM PLATE
 - C. DOUBLE 2x6 TOP PLATE
 - D. SHEATHING - 5/8" TYPE "X" SHEATHING (BOTH SIDES OF WALL), SEE UL DETAIL, DRAWING S2.3 (FIRE TAPE AND FLOAT TIGHT FROM FLOOR TO ROOF DECK ABOVE. FIRE CAULK ALL PENETRATIONS WITH APPROVED FIRE CAULKING SYSTEM FOLLOWING MANUFACTURERS SPECIFICATIONS).
 - E. BLOCKING @ 48" O.C. (MAX.)
- SYMBOL ON PLAN INDICATES 2x4 KNEE WALL SYSTEM:

 - A. 2x4 STUD @ 24" O.C. (MAX.)
 - B. 2x4 BOTTOM PLATE
 - C. DOUBLE 2x4 TOP PLATE
 - E. BLOCKING @ 48" O.C. (MAX.)

PACKED STUD SCHEDULE

INTERIOR BEAM COLUMNS		HEADERS IN EXTERIOR WALLS		
BEAM SIZE	MIN. NUMBER OF STUDS REQUIRED (EACH SIDE)	OPENING SIZE	MIN. NUMBER OF JACK STUDS REQUIRED (EACH SIDE)	MIN. NUMBER OF KING STUDS REQUIRED (EACH SIDE)
(2) 2x8 or (2) 2x10 or (2) 2x12	3	0'-0" - 4'-0"	1	2
(3) 2x8 or (3) 2x10 or (3) 2x12	3	4'-1" - 6'-0"	2	2
(2) LVL	3	6'-1" - 8'-0"	2	3
(3) LVL	4	8'-1" - 10'-0"	3	4

NOTES:

- PACKED STUD IS REQUIRED UNDER EACH BEAM END (UNLESS SHOWN OTHERWISE).
- ALL PACKED STUDS SHALL BE CARRIED DOWN TO THE FOUNDATION.
- FULL HEIGHT STUDS ARE REQUIRED FOR PACKED STUD CONSTRUCTION.
- SEE PACKED STUD DETAIL, DRAWING S2.3.

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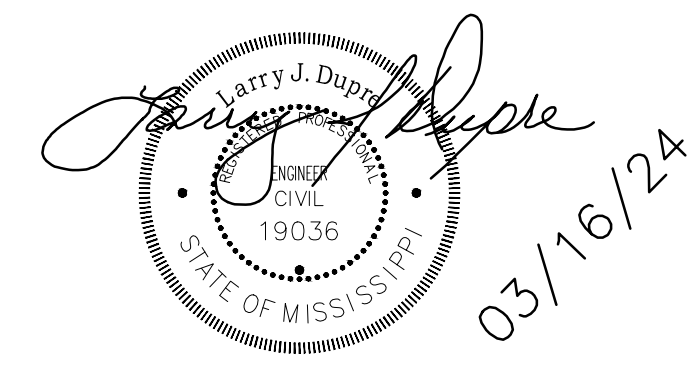
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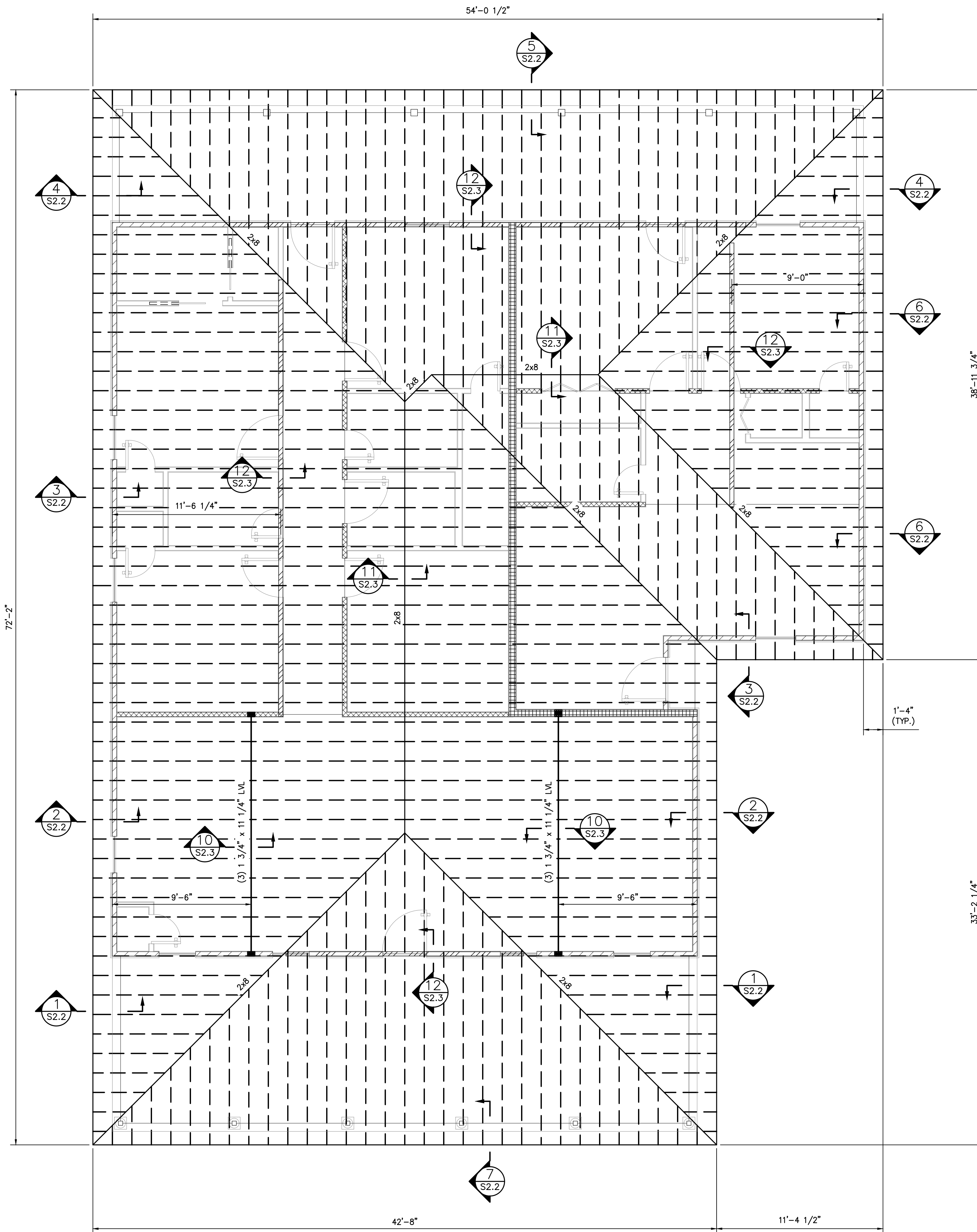
TITLE:
CEILING FRAMING PLAN

ISSUED DATE: 03/10/24
DRAWN BY: JRN
CHECKED BY: LJD
PROJECT #: 23008

S2.0



NEKO SOLUTIONS, LLC
985.870.7172 ~ dupre_larryj@yahoo.com



PLAN NOTES:

1. FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
2. FOR ALL PLAN NOTES, SEE DRAWING S2.0.

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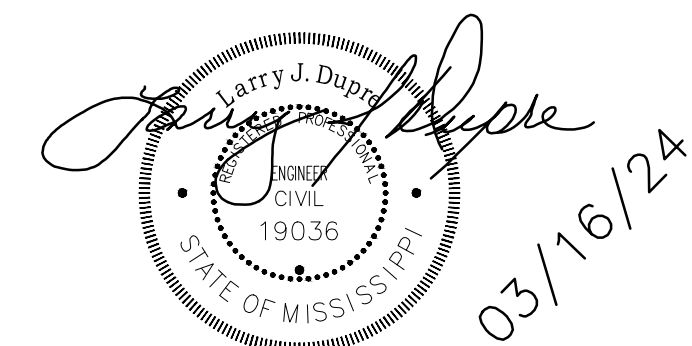
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TITLE:

**ROOF
 FRAMING
 PLAN**

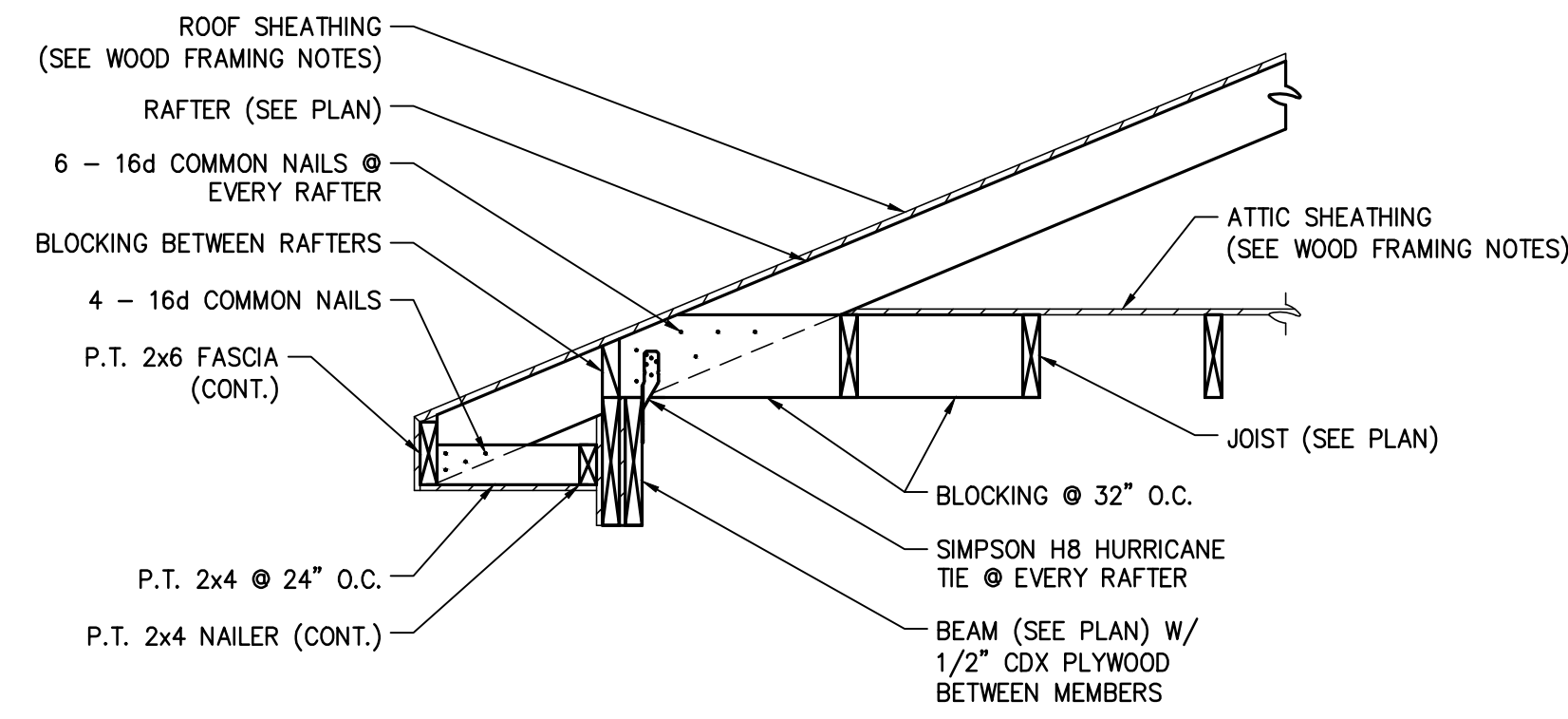
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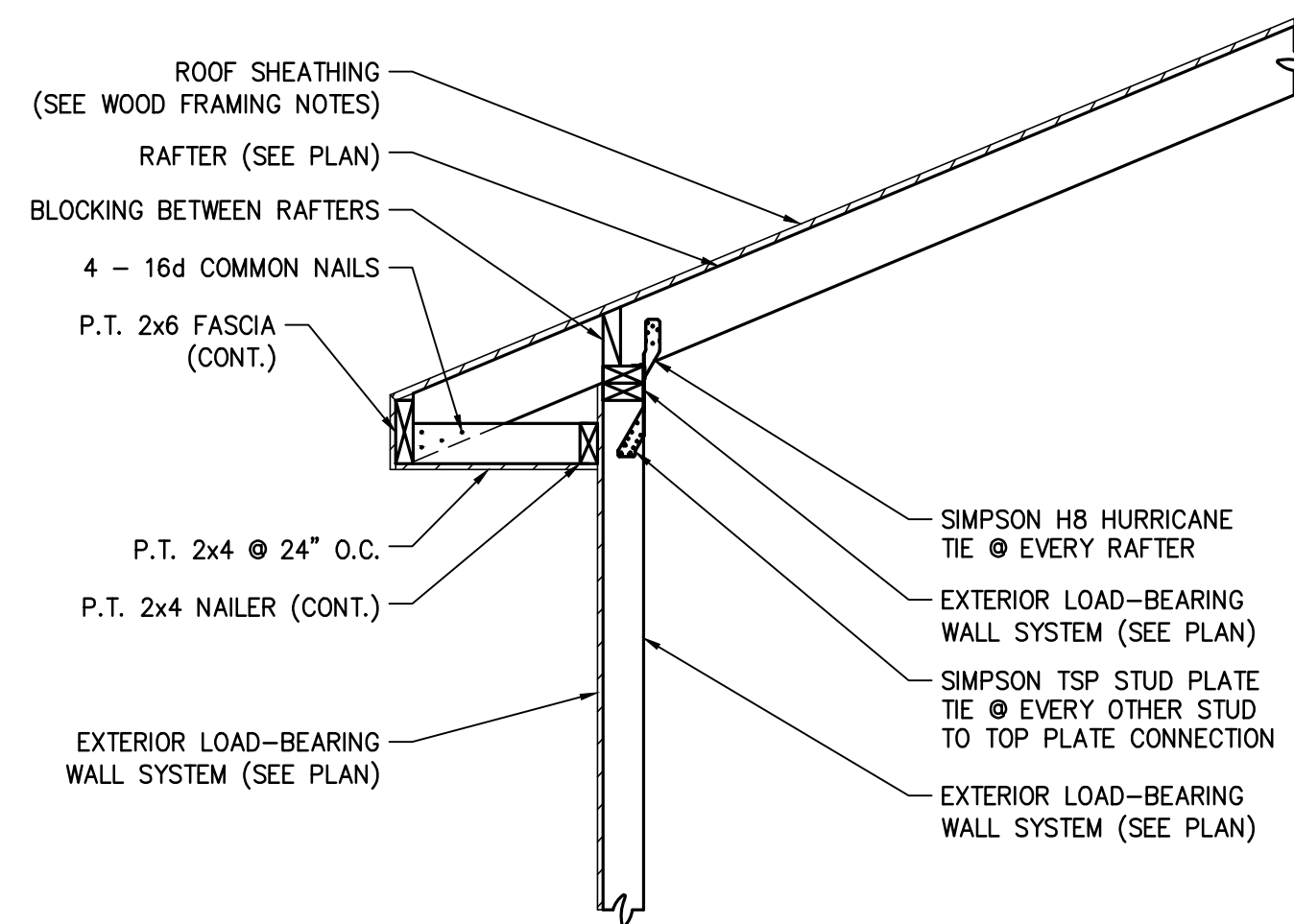
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S2.1

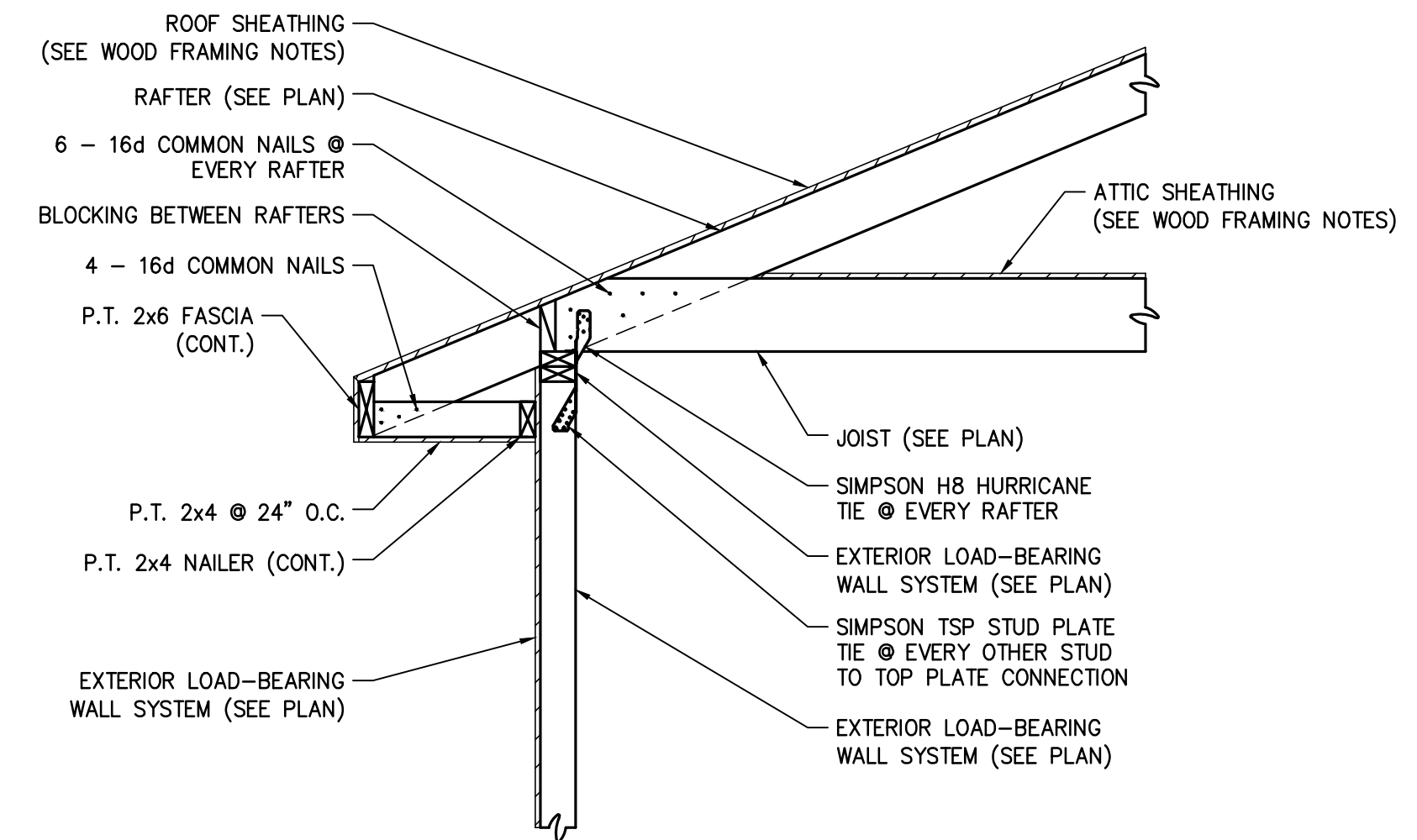
ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



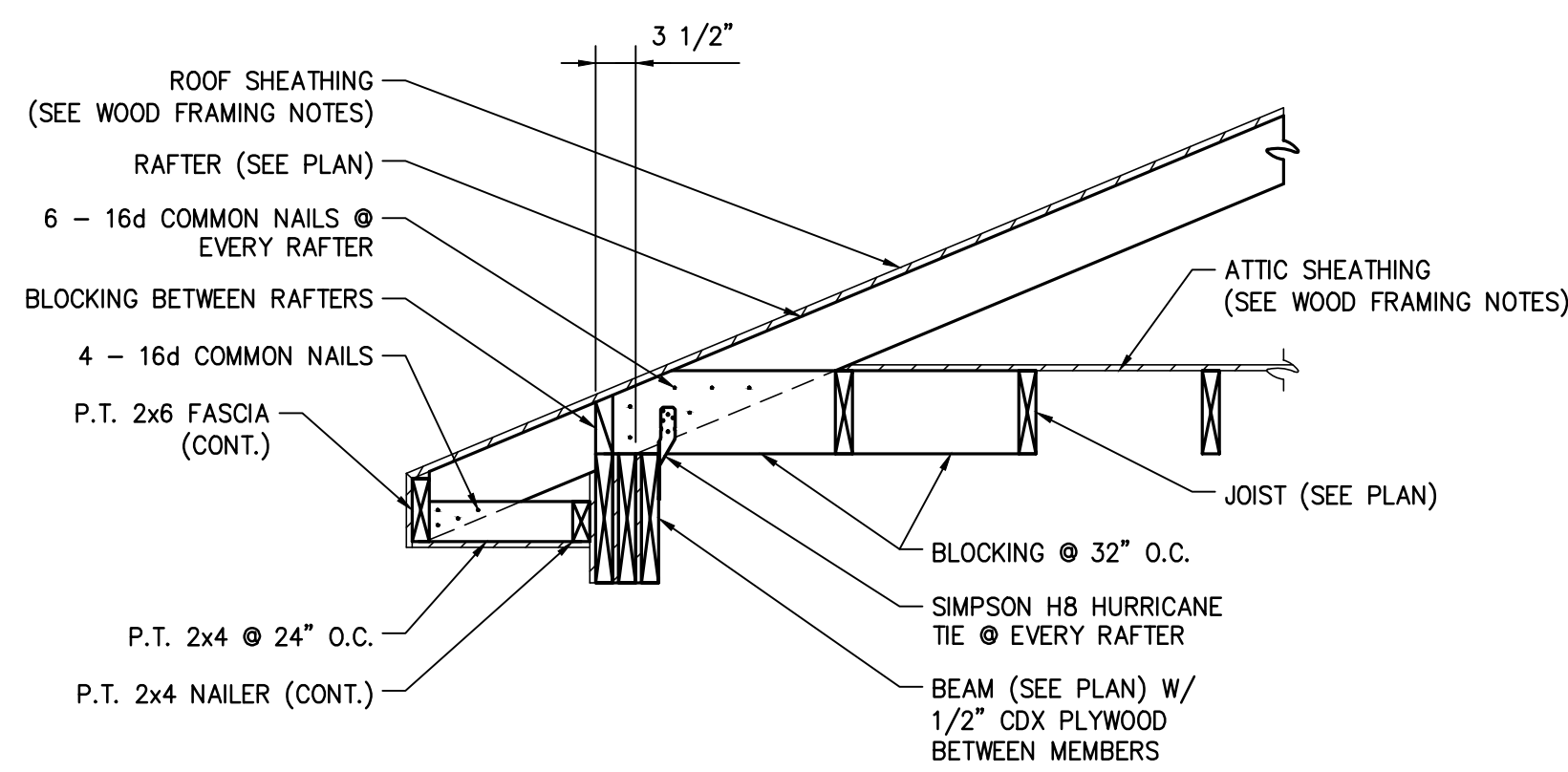
SECTION 1
 SCALE: 3/4" = 1'-0" S2.0|S2.2



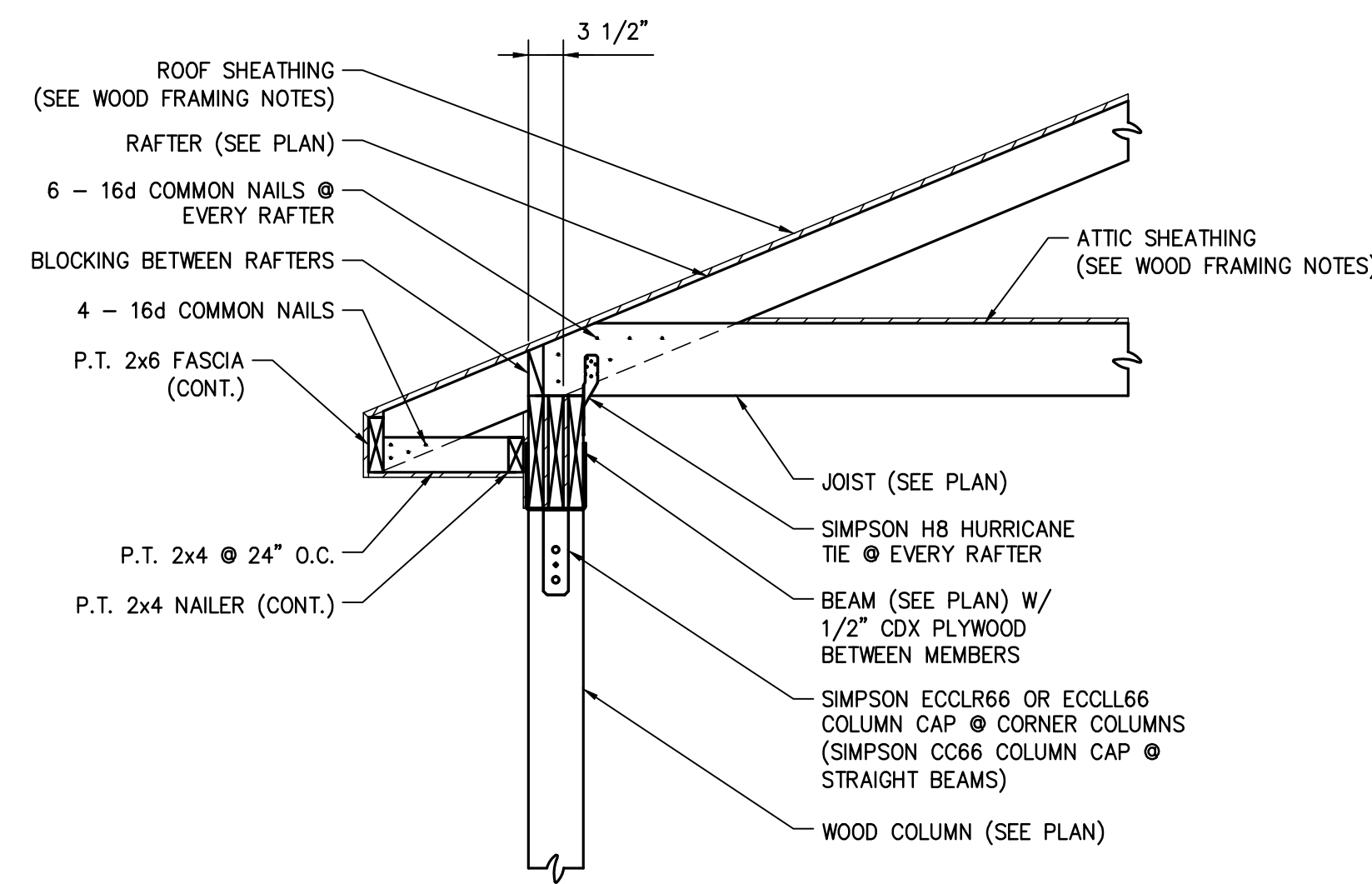
SECTION 2
 SCALE: 3/4" = 1'-0" S2.0|S2.2



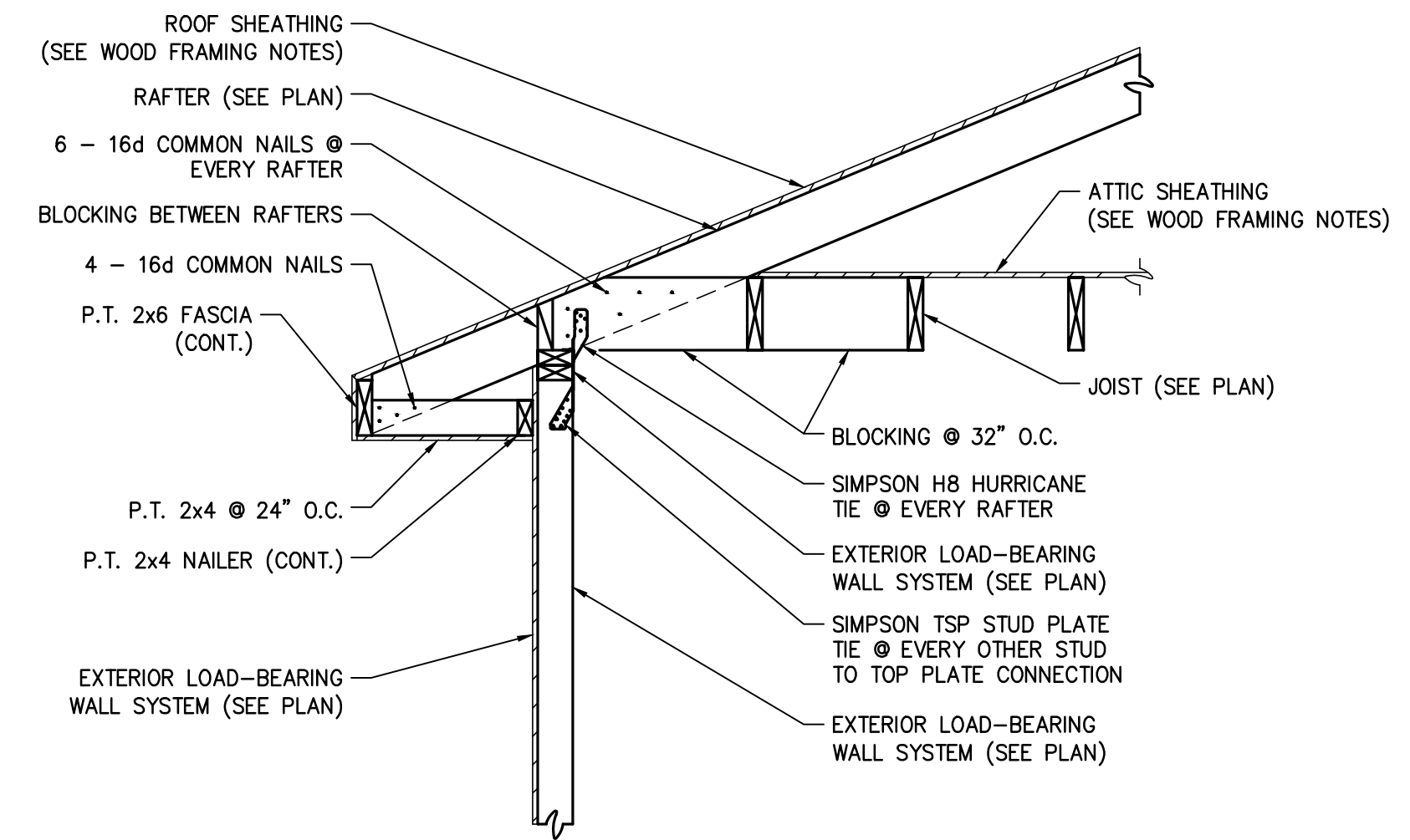
SECTION 3
 SCALE: 3/4" = 1'-0" S2.0|S2.2



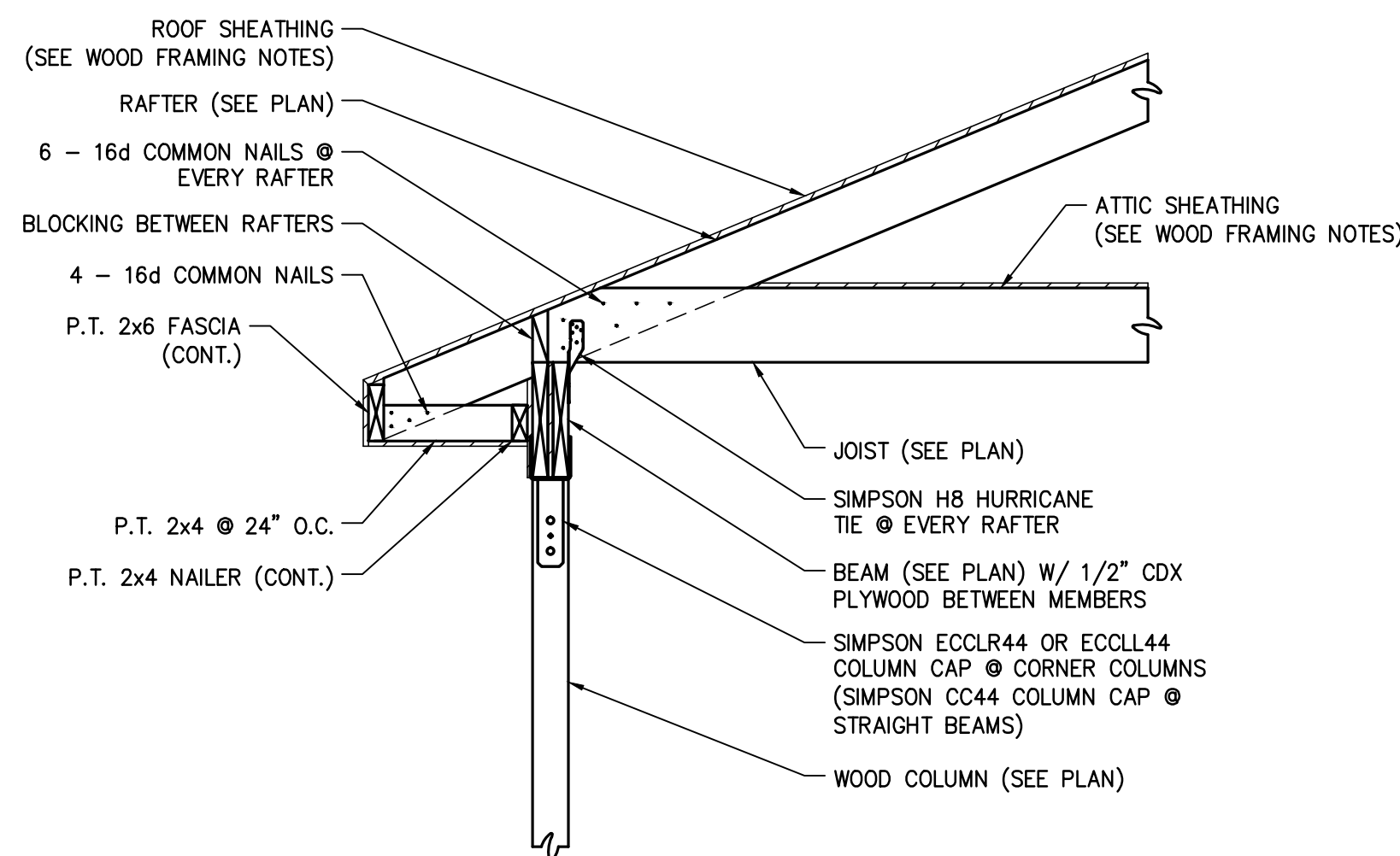
SECTION 4
 SCALE: 3/4" = 1'-0" S2.0|S2.2



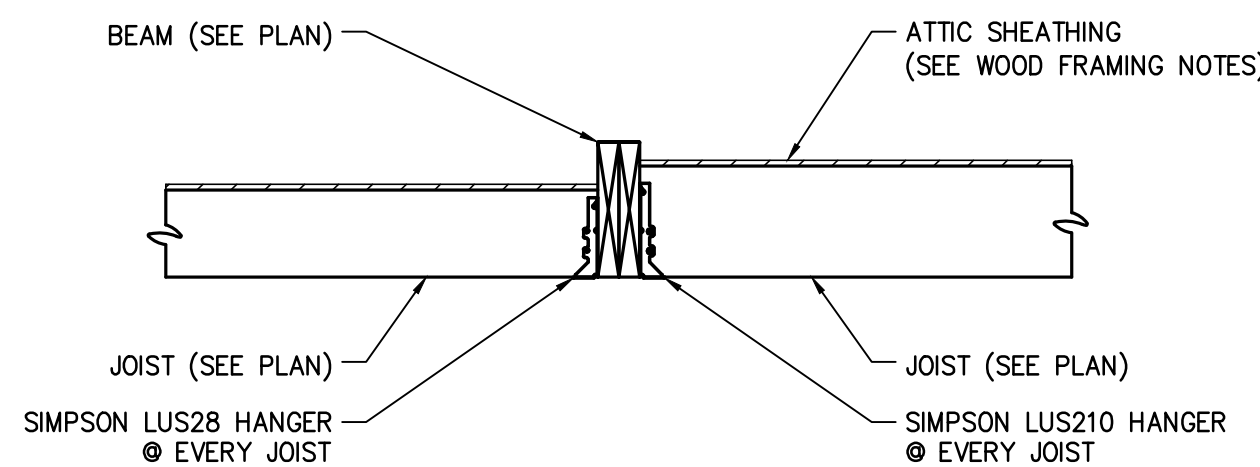
SECTION 5
 SCALE: 3/4" = 1'-0" S2.0|S2.2



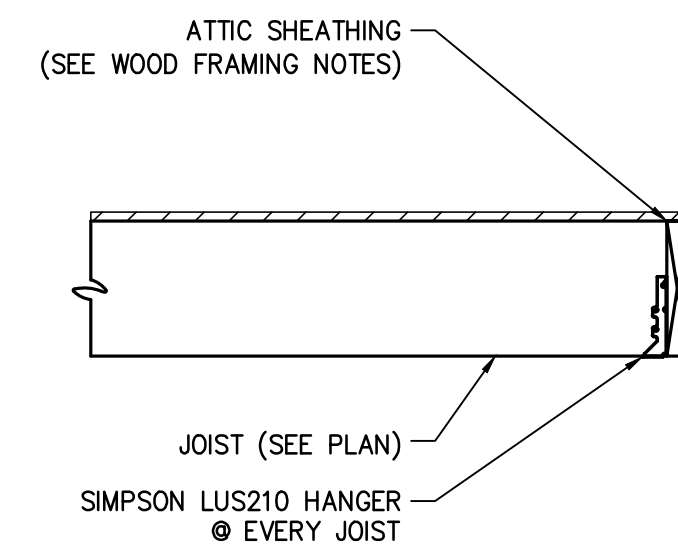
SECTION 6
 SCALE: 3/4" = 1'-0" S2.0|S2.2



SECTION 7
 SCALE: 3/4" = 1'-0" S2.0|S2.2



SECTION 8
 SCALE: 3/4" = 1'-0" S2.0|S2.2



SECTION 9
 SCALE: 3/4" = 1'-0" S2.0|S2.2

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REVISIONS:

TITLE:
 FRAMING SECTIONS

ISSUED DATE: 03/10/24
 DRAWN BY: JRN
 CHECKED BY: LJD
 PROJECT #: 23008

Larry J. Dupre
 LARRY J. DUPRE
 CIVIL ENGINEER
 19036
 STATE OF MISSISSIPPI
 03/16/24

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S2.2

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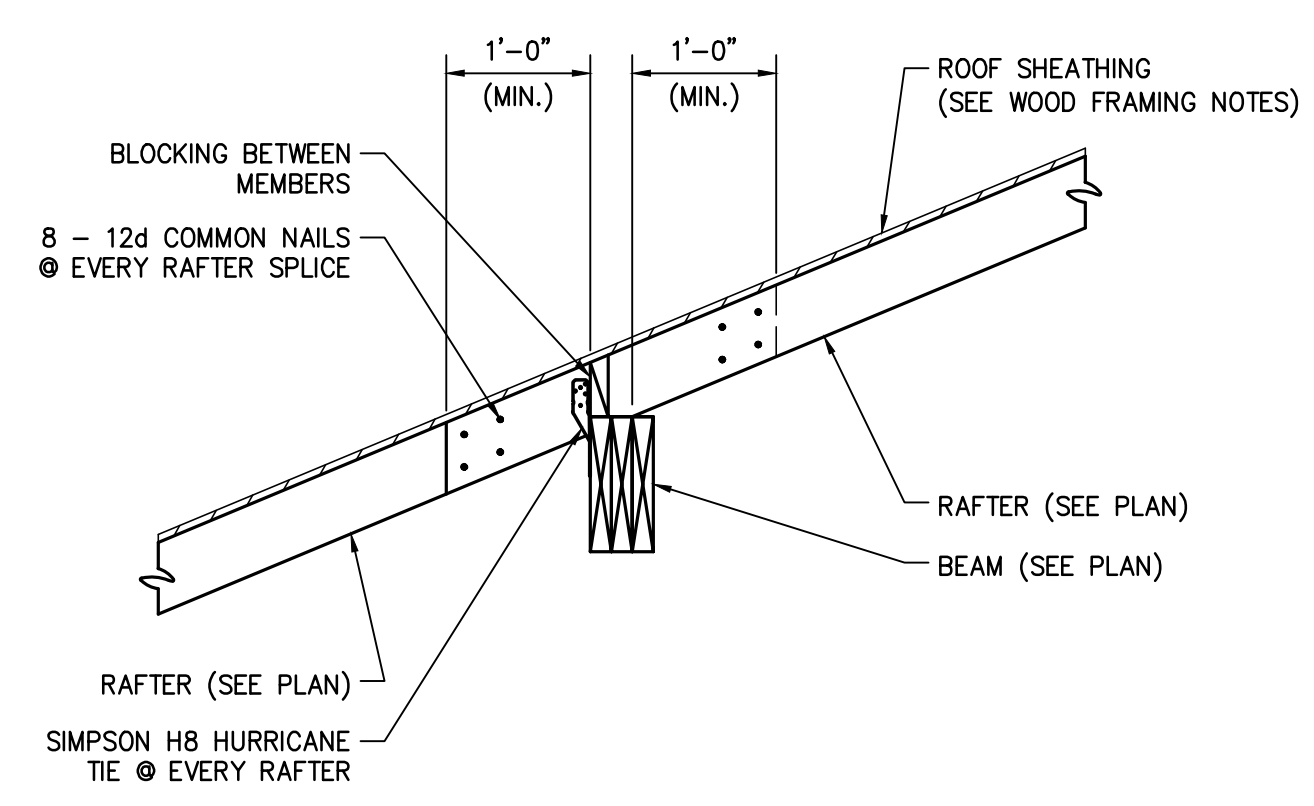
FRAMING SECTIONS AND DETAILS

ISSUED DATE: 03/10/24
 DRAWN BY: JRN
 CHECKED BY: LJD
 PROJECT #: 23008

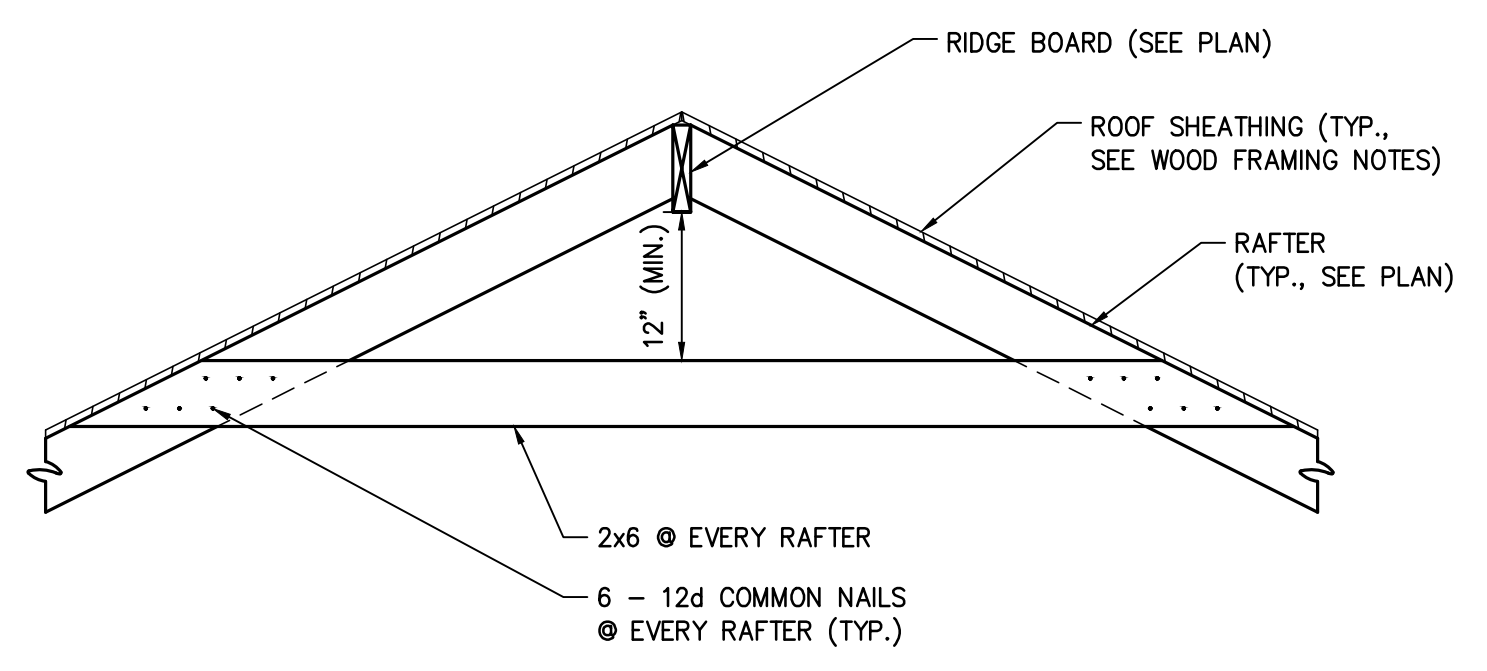
S2.3

Larry J. Dupre
 LARRY J. DUPRE
 MISSISSIPPI
 19036
 03/16/24

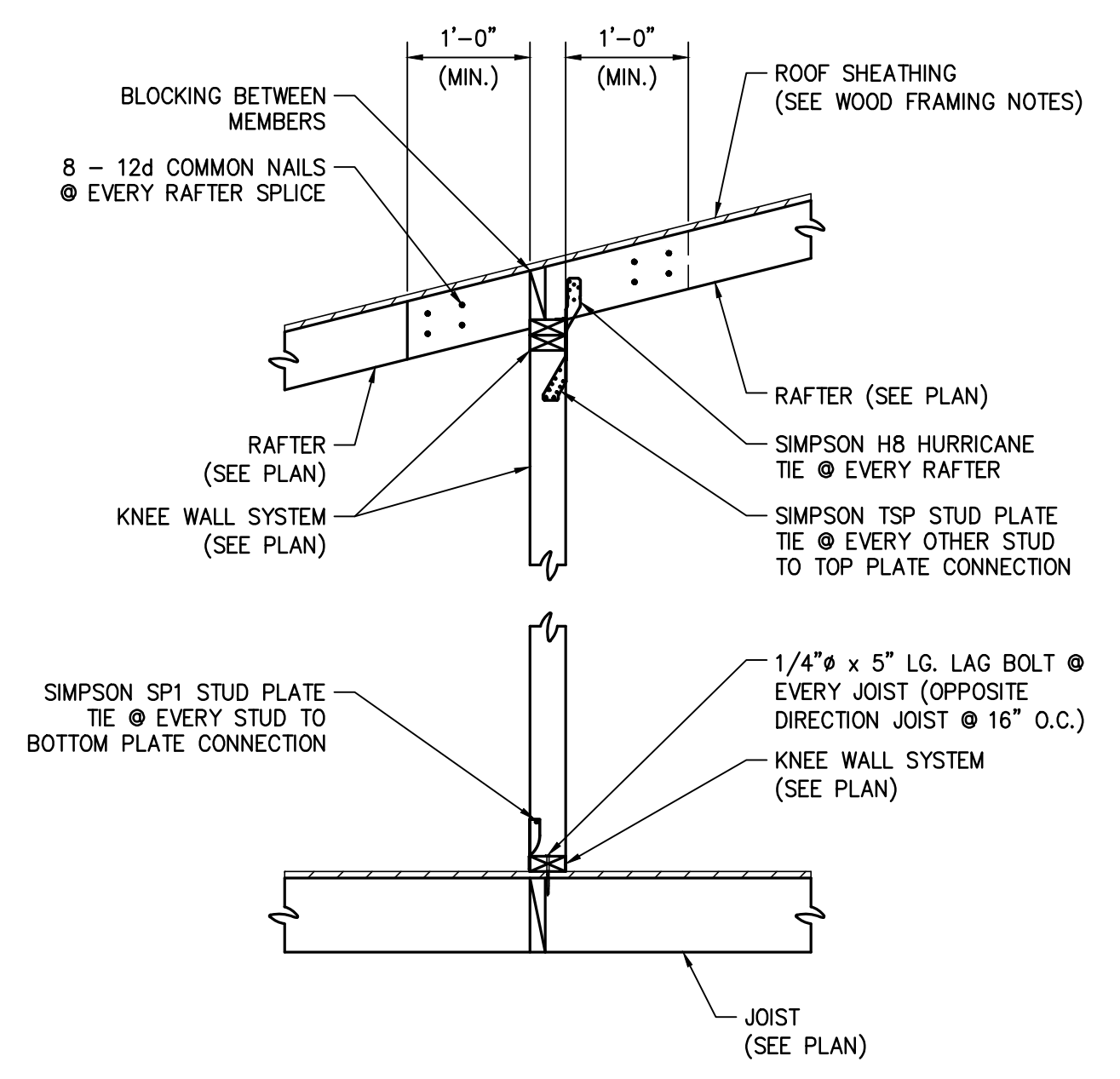
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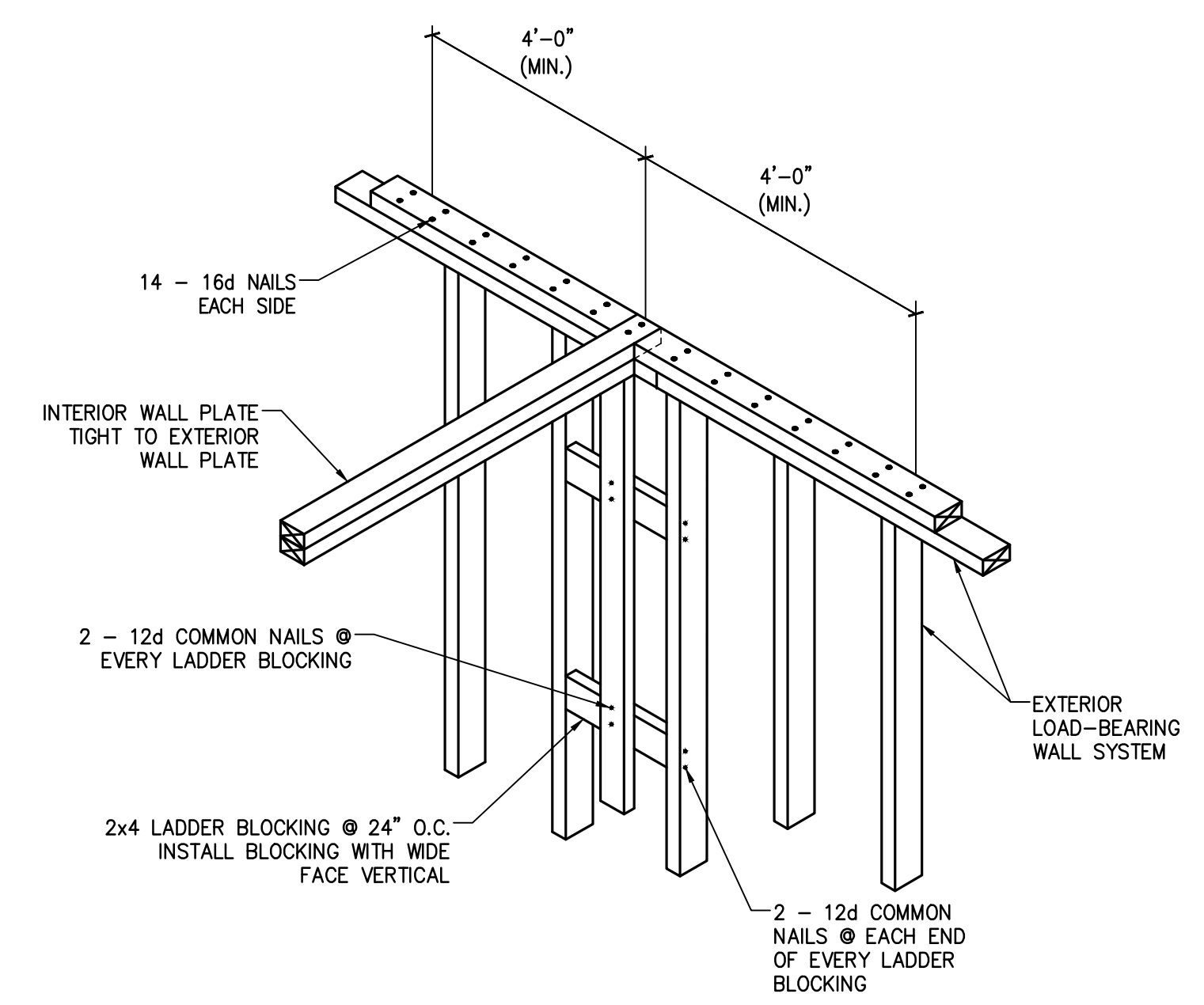
SECTION 10
 SCALE: 3/4" = 1'-0"
 S2.1 | S2.3



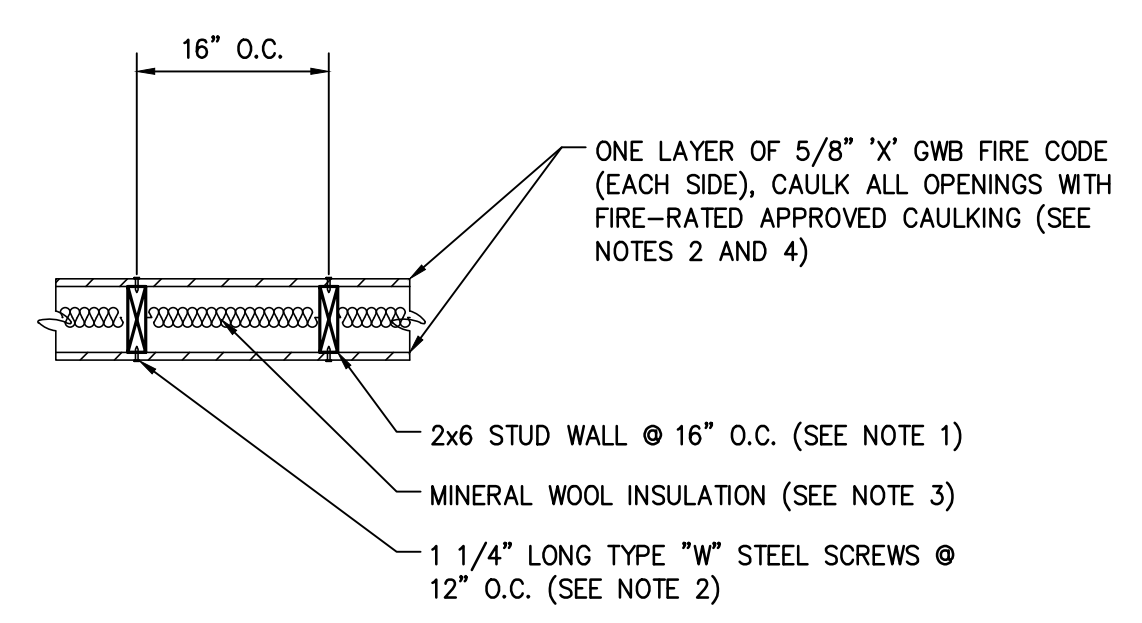
SECTION 11
 SCALE: 3/4" = 1'-0"
 S2.1 | S2.3



SECTION 12
 SCALE: 3/4" = 1'-0"
 S2.1 | S2.3

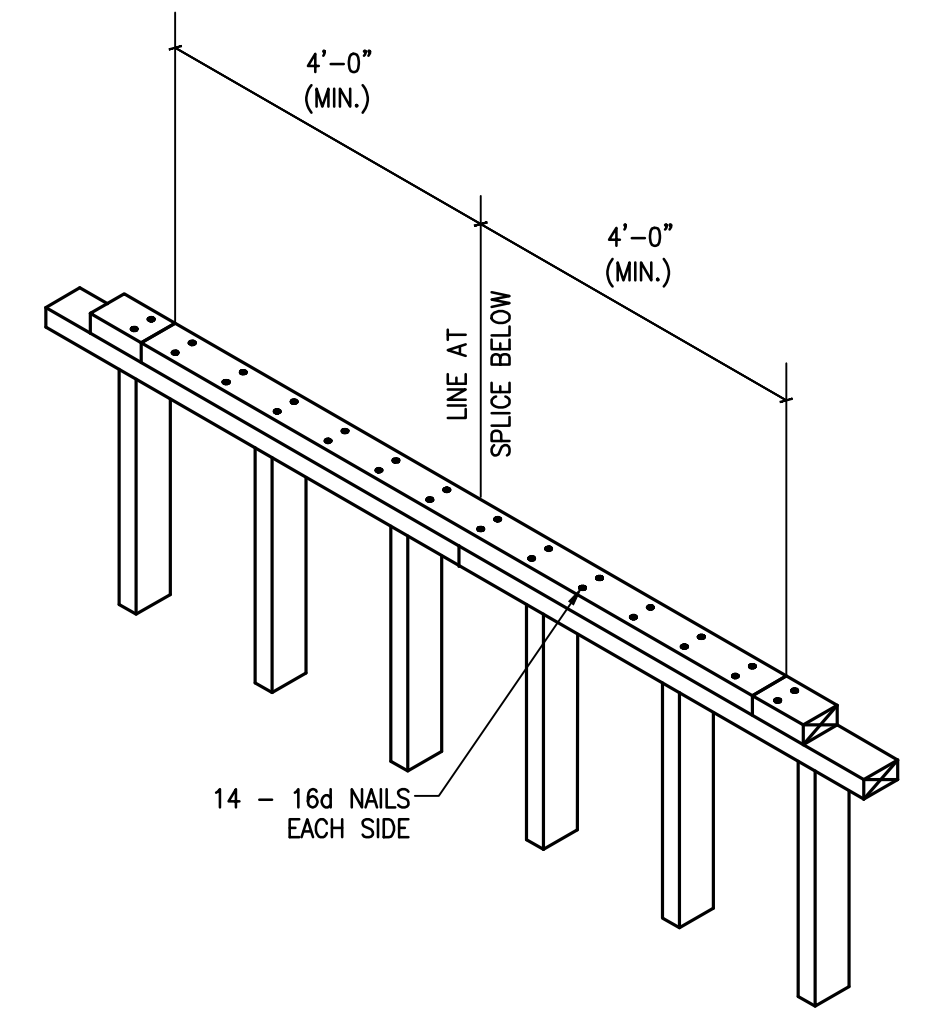


INTERIOR WALL INTERSECTION DETAIL
 SCALE: N.T.S.

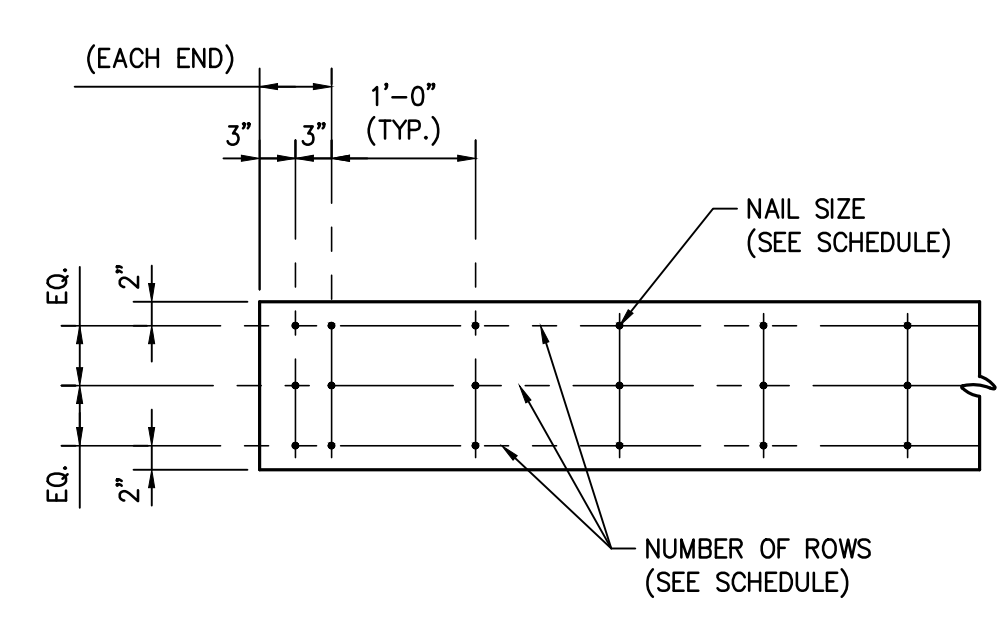


- WOOD STUDS - 2x6, SPACED 16" O.C. EFFECTIVELY CROSS BRACED.
 - GYPSUM WALLBOARD* - 5/8" THICK, 4'-0" WIDE. APPLIED EITHER VERTICALLY OR HORIZONTALLY, SCREW ATTACHED TO STUDS AND PLATES WITH 1 1/4" LONG TYPE "W" STEEL SCREWS, SPACED 12" O.C.
 BORAL GYPSUM INC. - TYPE BG-C
 CANADIAN GYPSUM CO. - TYPES C, IP-X2
 CONTINENTAL GYPSUM CO. - TYPE CG-C
 EAGLE-GYPSUM PRODUCTS - TYPE EG-C
 G-P GYPSUM CORP. - TYPES S, GPFS-C
 PABCO GYPSUM CO. - TYPE C or PG-C
 NATIONAL GYPSUM CO., CHARLOTTE, NC - TYPE FSW-G
 REPUBLIC GYPSUM CO. - TYPE RG-C
 STANDARD GYPSUM CORP. - TYPE SG-C
 TEMPLE-INLAND FOREST PRODUCTS CORP. - TYPE TP-5
 UNITED STATES GYPSUM CO. - TYPES C, IP-X2
 YESO PANAMERICANO SA de CV - TYPES C, IP-X2
 - BATTS AND BLANKETS* - (OPTIONAL) - MINERAL WOOL INSULATION, PARTIALLY OR COMPLETELY FILLING STUD CAVITY.
 THERMAFIBER LLC - TYPE S4B
 - JOINTS AND NAIL HEADS - WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. SCREW HEADS COVERED WITH JOINT COMPOUND.
- * = BEARING THE UL CLASSIFICATION MARKING

UL U305 1 HOUR RATED WALL DETAIL
 SCALE: N.T.S.



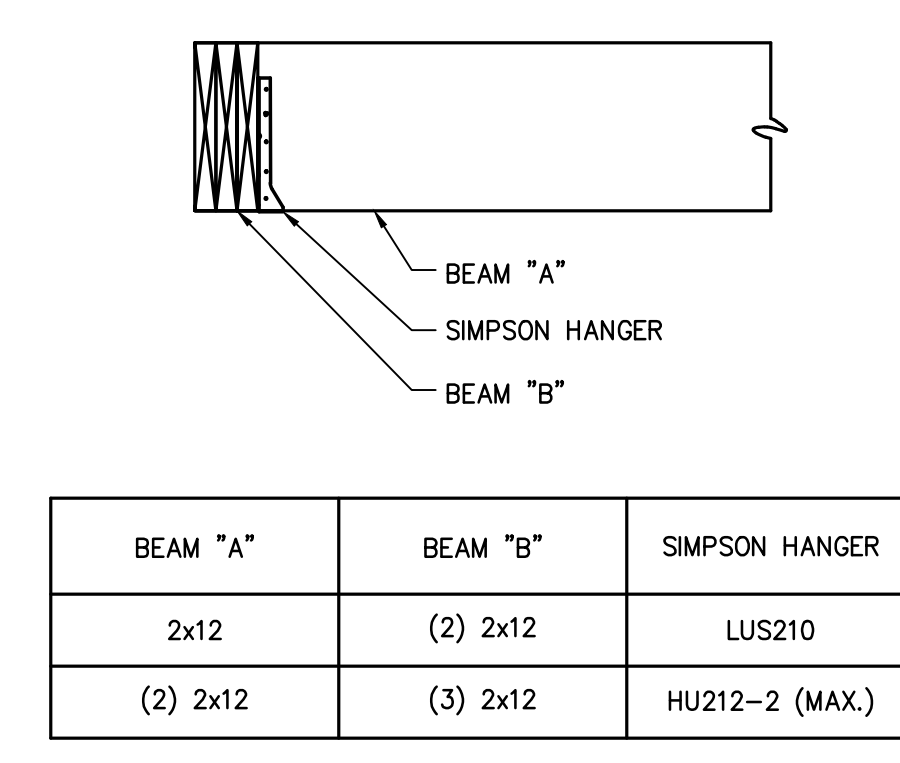
TOP PLATE SPLICE DETAIL
 SCALE: N.T.S.



BEAM AND HEADER MEMBER SIZE	NUMBER OF ROWS	NAIL SIZE (COMMON NAIL)
(2) 2x8	2	12d
(2) 2x10	2	12d
(2) 2x12	2	12d
(3) 2x8	3	16d
(3) 2x10	3	16d
(3) 2x12	3	16d
(2) 1 3/4" x 11 1/4" LVL	3	16d
(3) 1 3/4" x 11 1/4" LVL	4	16d

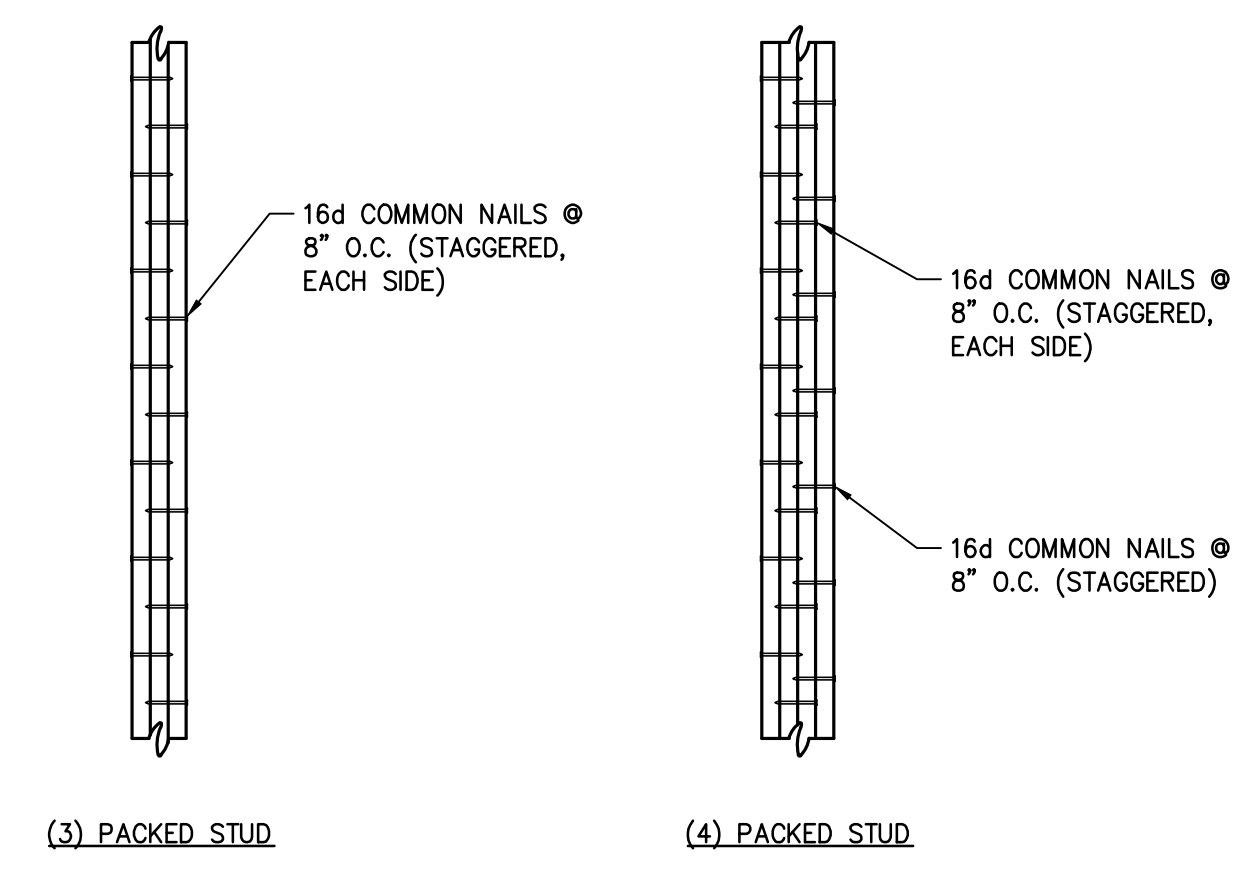
NOTE:
 ALL BEAM AND HEADER MEMBERS TO BE PROPERLY SHORED BY CONTRACTOR PRIOR TO NAILING MEMBERS TOGETHER.

BEAM AND HEADER FASTENING PATTERN DETAIL
 SCALE: N.T.S.



BEAM "A"	BEAM "B"	SIMPSON HANGER
2x12	(2) 2x12	LUS210
(2) 2x12	(3) 2x12	HU212-2 (MAX.)

WOOD BEAM TO WOOD BEAM CONNECTION DETAIL
 SCALE: N.T.S.



PACKED STUD DETAIL
 SCALE: N.T.S.

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 OFFICE: (504) 810-5029

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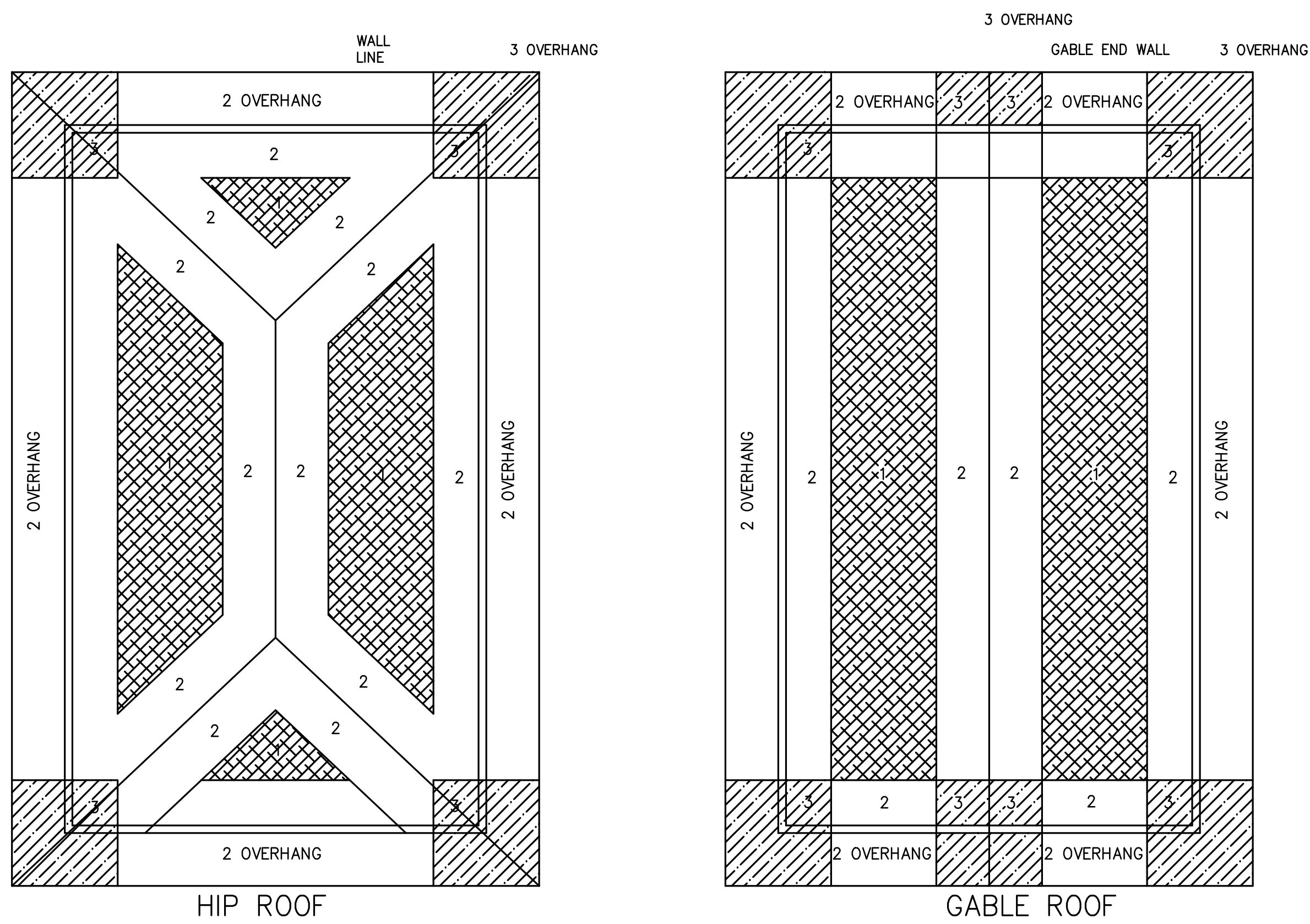
NO.	DATE	DESCRIPTION

TITLE:

**FRAMING
 DETAIL,
 NOTES, AND
 SCHEDULES**

ISSUED DATE: 03/10/24
 DRAWN BY: JRN
 CHECKED BY: LJD
 PROJECT #: 23008

S2.4



DISTANCE "A" = 4 FEET IN MOST CASES. (10% OF LEAST BUILDING WIDTH OR 0.4 TIMES BUILDING HEIGHT, WHICHEVER IS SMALLER, BUT NOT LESS THAN 4% OF LEAST BUILDING WIDTH OR 3 FEET.)

ROOF SHEATHING FASTENING ZONES

UPLIFT CONNECTIONS

ROOF ASSEMBLY TO WALL ASSEMBLY:

UPLIFT CONNECTIONS SHALL BE FROM RAFTER OR TRUSS TO WALL STUD. WHEN RAFTERS OR TRUSSES ARE NOT LOCATED DIRECTLY ABOVE STUDS, RAFTERS SHALL BE ATTACHED TO THE WALL PLATE AND THE WALL TOP PLATE SHALL BE ATTACHED TO THE WALL STUD WITH UPLIFT CONNECTIONS. UPLIFT CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE.

WALL ASSEMBLY TO WALL ASSEMBLY:

STORY TO STORY UPLIFT CONNECTIONS FROM UPPER STORY WALL STUD TO LOWER STORY WALL STUD. WHEN UPPER STORY WALL STUDS ARE NOT LOCATED DIRECTLY ABOVE LOWER WALL STUDS, THE STUDS SHALL BE ATTACHED TO A COMMON MEMBER IN THE FLOOR ASSEMBLY BY UPLIFT CONNECTIONS. UPLIFT CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE.

HOLD DOWNS

HOLD DOWNS ARE REQUIRED AT THE END OF EACH CEMENTED SHEAR WALL SEGMENT OR AT THE END OF A PERFORATED SHEAR WALL. WHEN FULL HEIGHT SHEAR WALL SEGMENTS MEET AT A CORNER, A SINGLE HOLD DOWN SHALL BE PERMITTED TO BE USED TO RESIST THE OVERTURNING FORCES IN BOTH DIRECTIONS WHEN THE CORNER FRAMING IN THE ADJOINING WALL IS FASTENED TOGETHER TO TRANSFER THE UPLIFT LOAD. SEE TYPICAL HOLD DOWN DETAIL.

ROOF UNDER LAYMENT APPLICATION

FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17% SLOPE), UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33% SLOPE), UNDER LAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER:

APPLY A 19" STRIP OF UNDER LAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDER LAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19", AND FASTENED SUFFICIENTLY TO HOLD IN PLACE.

FOR ROOF SLOPES OF FOUR UNITS VERTICAL (33% SLOPE), OR GREATER, UNDER LAYMENT SHALL BE ONE LAYER APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2", FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6".

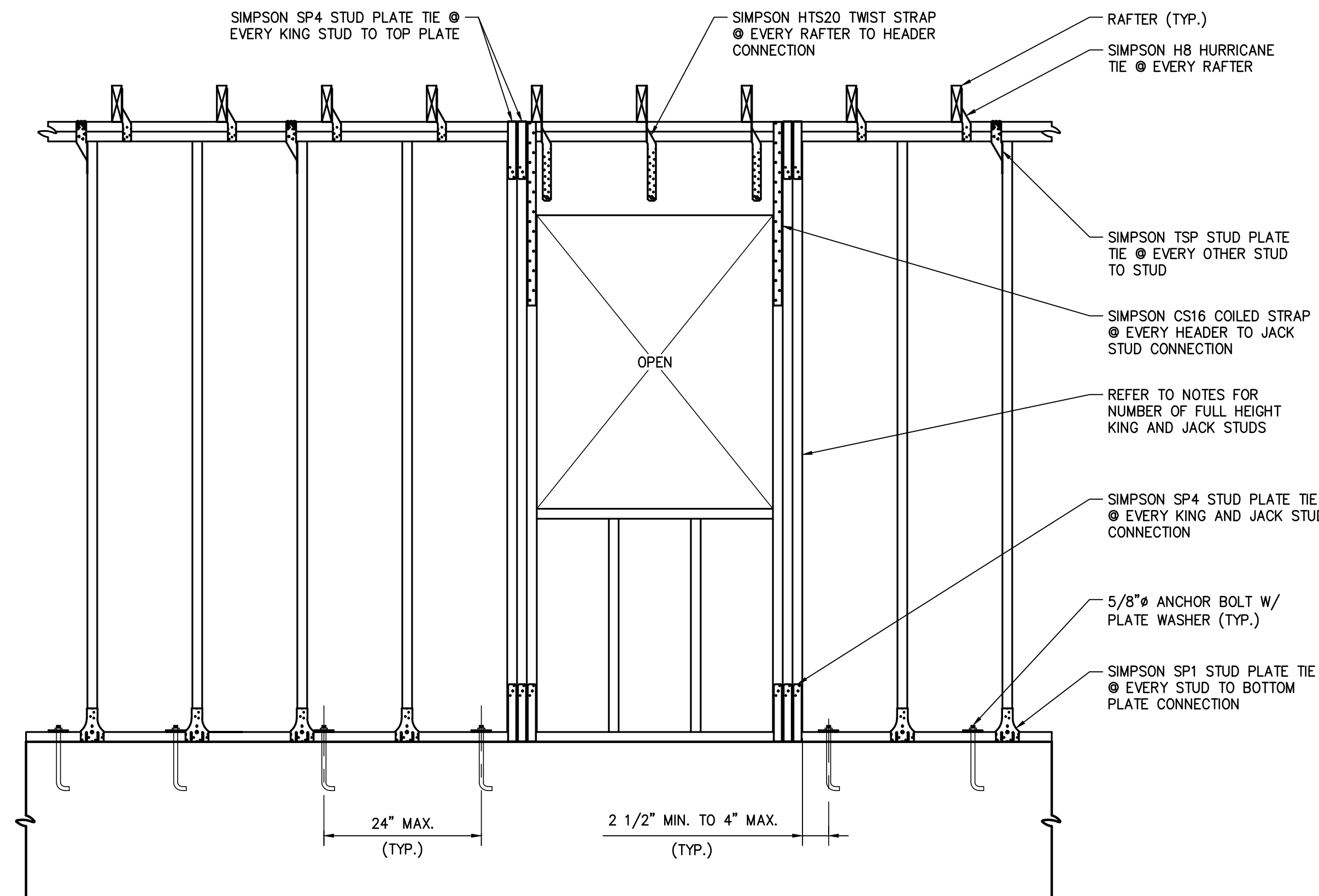
WALL ASSEMBLY TO FOUNDATION:

FIRST FLOOR WALL STUDS SHALL BE CONNECTED TO THE FOUNDATION, SILL PLATE, OR BOTTOM PLATE. A MINIMUM OF A 1 1/4" x 20 GA. ASTM A653 GRADE 33 STEEL STRAP SHALL BE NAILED TO THE WALL STUDS AND HAVE A MINIMUM EMBEDMENT OF 7" IN CONCRETE FOUNDATIONS AND SLABS-ON-GRADE, 15" IN MASONRY BLOCK FOUNDATIONS, OR BE LAPPED UNDER THE BOTTOM PLATE. 3" SQUARE WASHERS SHALL BE USED ON THE ANCHOR BOLTS AND ANCHOR BOLT SPACING SHALL NOT EXCEED THE REQUIREMENTS. STEEL STRAPS EMBEDDED OR IN CONTACT WITH SLAB-ON-GRADE OR MASONRY BLOCK FOUNDATIONS SHALL BE HOT DIPPED GALV. AFTER FABRICATION, OR MFG. FROM G185 OR Z450 GALV. STL. CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE.

ROOF SHEATHING FASTENING SCHEDULE					
8D COMMON (0.131x 2 1/2") OR RING SHANK (0.135x 2 1/2")					
EXCEPT WHERE NOTED, EXPOSURE B, ENCLOSED BUILDING, ROOF FRAMING SPACED 24" OR LESS					
WIND VELOCITY (3 SEC. GUST)	ROOF FASTENING ZONE				
	MAIN ROOF		SHEATHING TO GABLE END WALL FRAMING	OVERHANG (EAVES)	
PANEL LOCATION		FASTENING SCHEDULE (INCHES TO CENTER)			
150 MPH	SUPPORTED PANEL END AND EDGES	6 6 6	3 (10d RING SHANK)		6 6
	PANEL FIELD	6 4 3	3		4 3
120 MPH	SUPPORTED PANEL END AND EDGES	12 6 6	3		6 6
	PANEL FIELD	6 4 3	3		6 4

THERMAL COMPONENT CRITERIA (U-FACTOR AND R-VALUE)						WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS			
MAX. GLAZING U-FACTOR	MINIMUM INSULATION R-VALUE					FASTENER TYPE	FASTENER SPACING		
	CEILINGS	WALLS	FLOORS	BASEMENT WALLS	CRAWL SPACE WALLS		PANEL SPAN < 4 FT.	4 FT. PANEL SPAN < 6 FT.	6 FT. PANEL SPAN < 8 FT.
.75	R-26	R-13	R-11	R-5	R-5	2 1/2" #6 WOOD SCREWS	16"	12"	9"
						2 1/2" #8 WOOD SCREWS	16"	16"	12"

WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENING PROTECTED FROM WINDBORNE DEBRIS. WOOD STRUCTURAL WITH A MIN. THICKNESS OF 7/16" AND A MAX. SPAN OF 8' SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE & TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.



CONTINUOUS LOAD PATH @ OPENINGS

SCALE: 3/4" = 1'-0"

Larry J. Dupre
 03/16/24

NEKO SOLUTIONS, LLC
 985.870.7172 ~ dupre_larryj@yahoo.com

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 333 CARROLL AVE, BSL, MS 39520

Applicant Name: James Del Prince Owner Name: J. Del Prince; D. Porche

Mailing Address: as above Mailing Address: as above

Phone: (662) 549 0521 Phone: (504) 256 5981

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: James M. Del Prince Date: 5/2/24

Owner's Signature Required: James M. Del Prince Date: 5/2/24

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

Historic District: _____ Case Number: _____

Historic Preservation Commission Reviewed Review Date: _____

Recommendation: Approval Approval with Conditions * Disapprove

Comments: _____

* Requires Property Owner / Applicant Signature

City Council Reviewed

COA Action: Approval: YES NO Date COA Action: _____ Review Date: _____

Comments: _____

(BSL Historic Preservation Commissioner / City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Application

HPC Review / City Council Review

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: JAMES DER PANCE; Demetrius Porche

Address: 333 CARROLL AVE, BSL, MS
(No P.O. Boxes)

Telephone Number (662) 549-0521 Cell Number() _____

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: Request to add
four sets of aluminum, colonial-style shutters
to front windows and three aluminum
Behamian-style shutters to Gulf-side
of house only.

HISTORIC PRESERVATION COMMISSION REVIEW CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

1. Site Plan, Indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hardi-plank, etc..
 - b) Masonry material: brick, stucco, etc....
 - c) Exterior openings; windows and doors: Indicated size, types and materials.
 - d) Shutters and Awnings: Indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

*Bay St. Louis Historic Preservation Commission
March 1, 2008*

Window World

HURRICANE PROTECTION CODE APPROVED SHUTTER SYSTEMS



on
side of
house
↓



on
front
↓



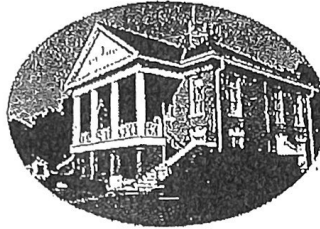
AMERICA'S EXTERIOR REMODELER

Improving Homes. Changing Lives.





Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Ferrill Talamo

Address: 122 Ulman Ave Bay St Louis MS 39520
(No P.O. Boxes)

Telephone Number () _____ Cell Number (504) 912-5379

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: Open front porch to bring back to the original historic look. Remove back section of home that is currently an enclosed porch. Add addition to the rear of property to include a master bedroom, bathroom, closet & laundry room. Remove siding to expose original wood siding. If siding is in bad shape then we will replace with hard: siding. Remove side steps and add steps in center of porch

Demo of utility shed on the side of the house.

HISTORIC PRESERVATION COMMISSION REVIEW

CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

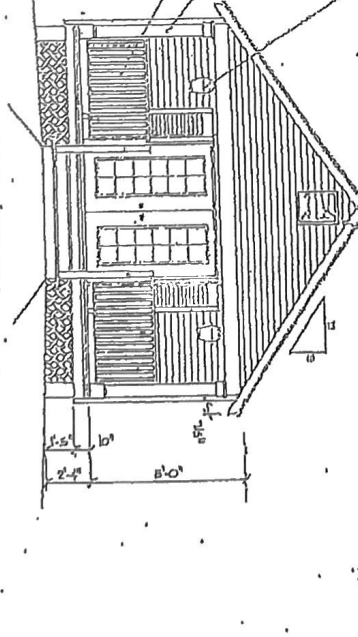
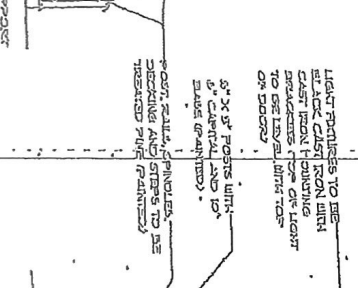
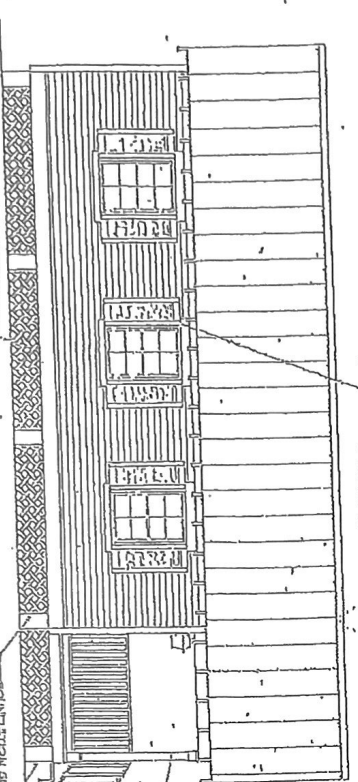
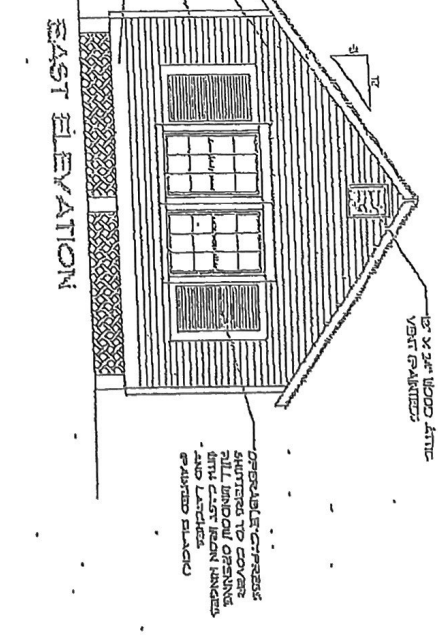
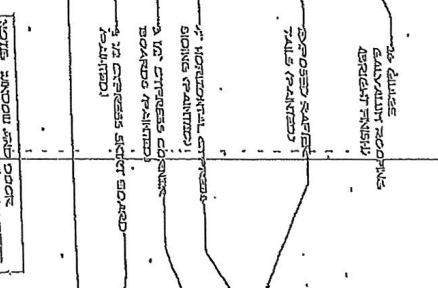
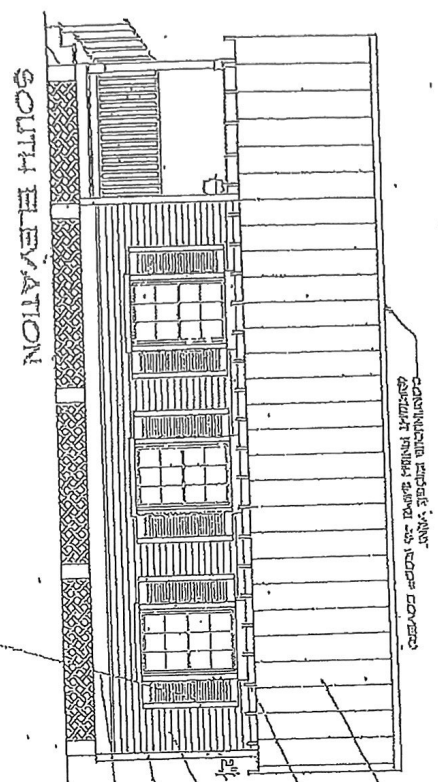
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2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hardi-plank, etc..
 - b) Masonry material: brick, stucco, etc....
 - c) Exterior openings; windows and doors: Indicated size, types and materials.
 - d) Shutters and Awnings: indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

Bay St. Louis Historic Preservation Commission
March 1, 2008



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EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS
 THIS DRAWING IS FOR THE EXTERIOR LINE OF THE EAST ST. LOUIS HISTORICAL PRESERVATION COMMISSION
 TO AND IN JAN 2005 FOR VERIFICATION OF ARCHITECTURAL DETERMINATION
 MARCH 1 2005

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 122 Ulman Ave Bay St. Louis, MS 39520
 Applicant Name: Terrill Talamo Owner Name: Terrill Talamo
 Mailing Address: 122 Ulman Ave Mailing Address: 122 Ulman Ave
 Phone: 504-912-5379 Phone: 504-912-5379

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself, its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 04/22/2009
 Owner's Signature: [Signature]
 Required: [Signature] Date: 04/22/2009

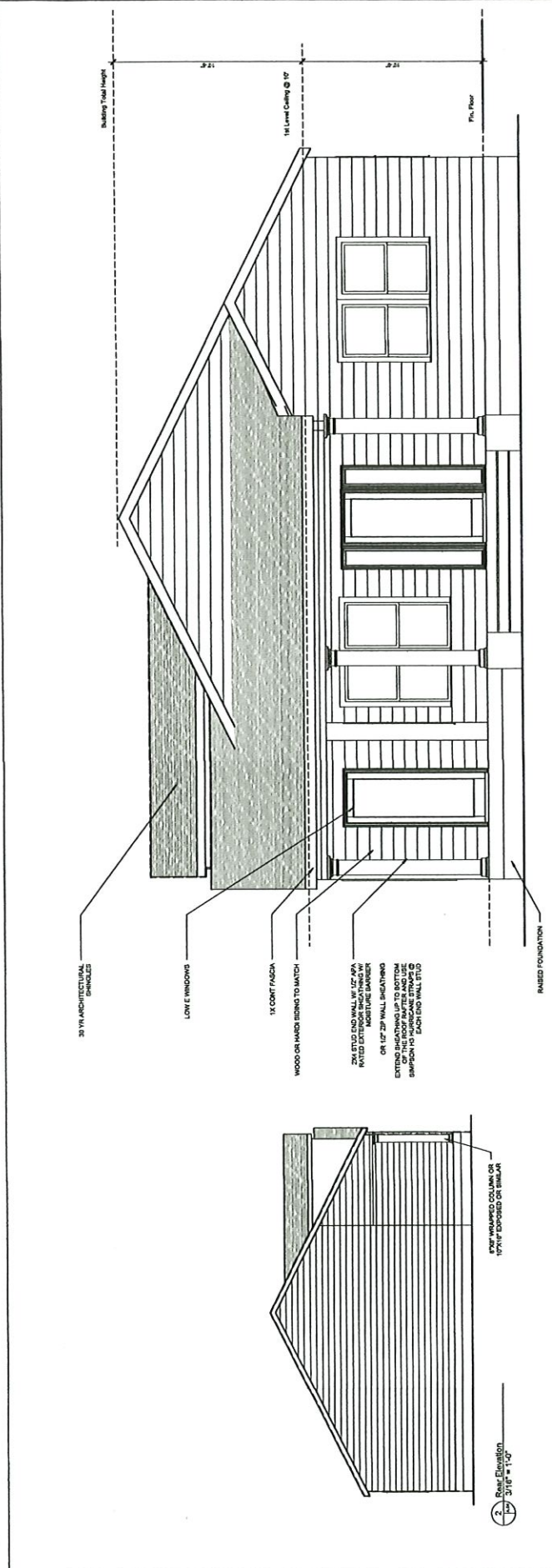
Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

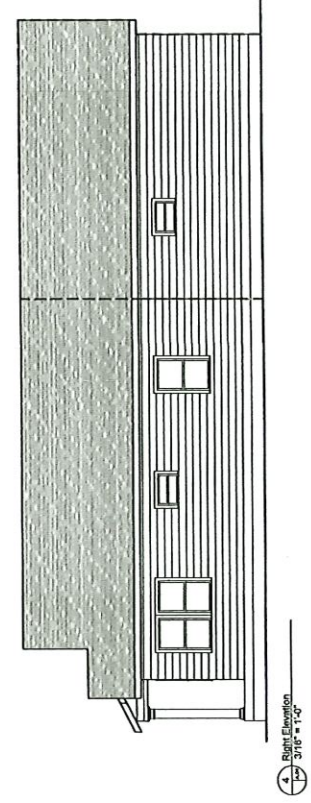
HPC Review / City Council Review

Historic District: _____	Case Number: _____
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date: _____
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions * <input type="checkbox"/> Disapprove	
Comments: _____	
* Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date: _____
COA Action: Approval: <input type="checkbox"/> YES <input type="checkbox"/> NO Date COA Action: _____	Review Date: _____
Comments: _____	
(BSL Historic Preservation Commissioner) _____	(City Council President Signature) _____ (Date) _____

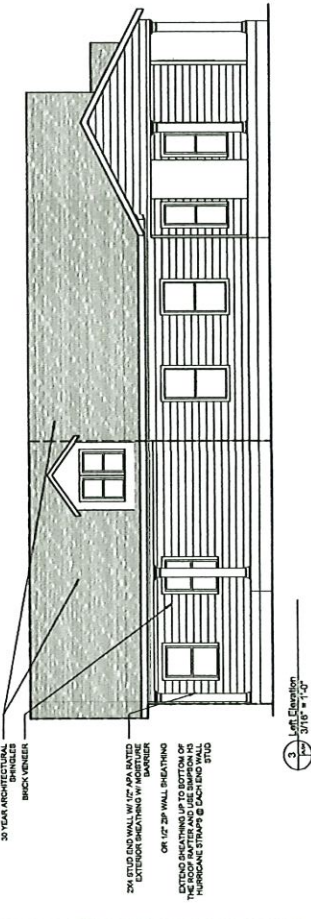
Once Completed & Signed - Original copy - HPC, Copy-Building Department



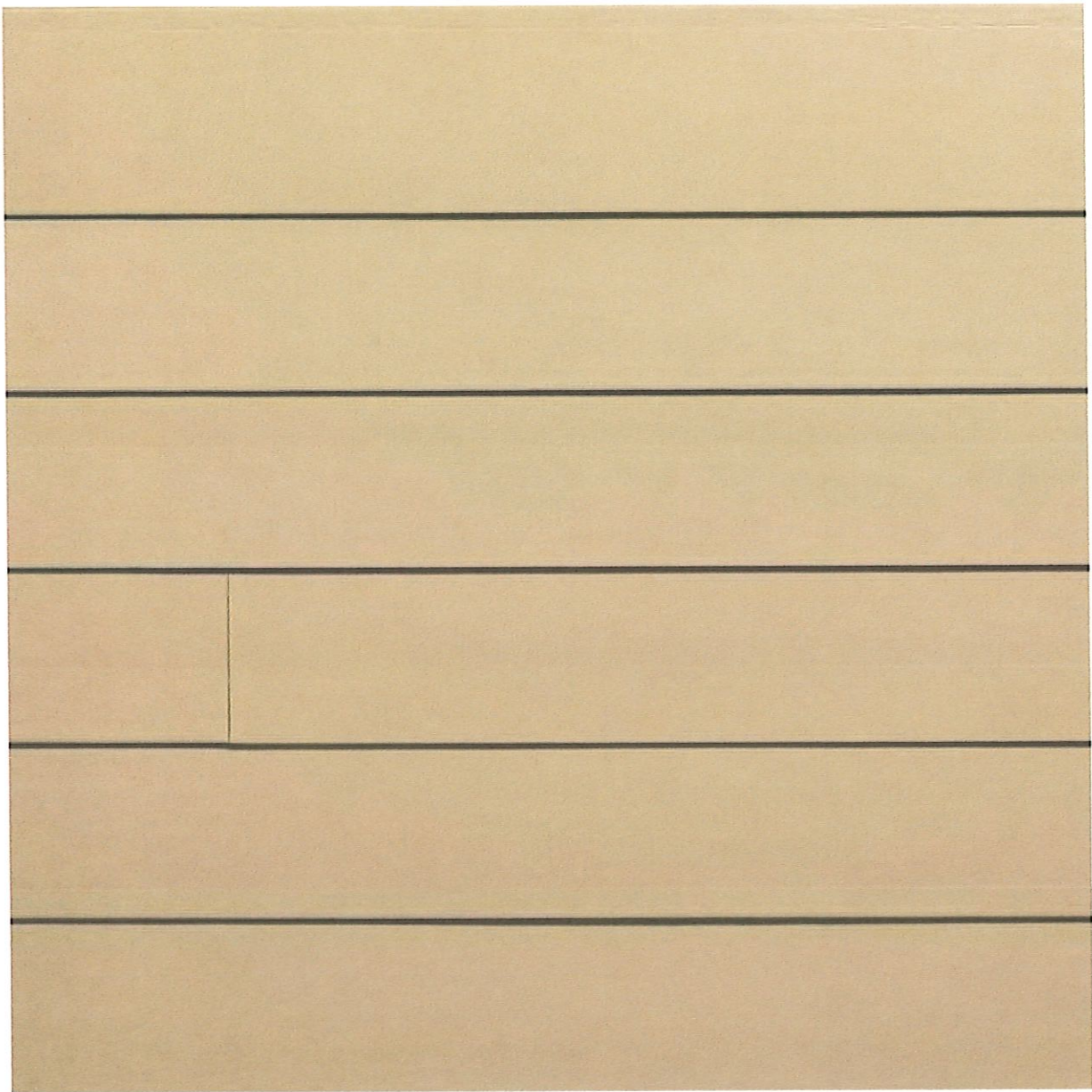
1 Front Elevation
 3/16" = 1'-0"



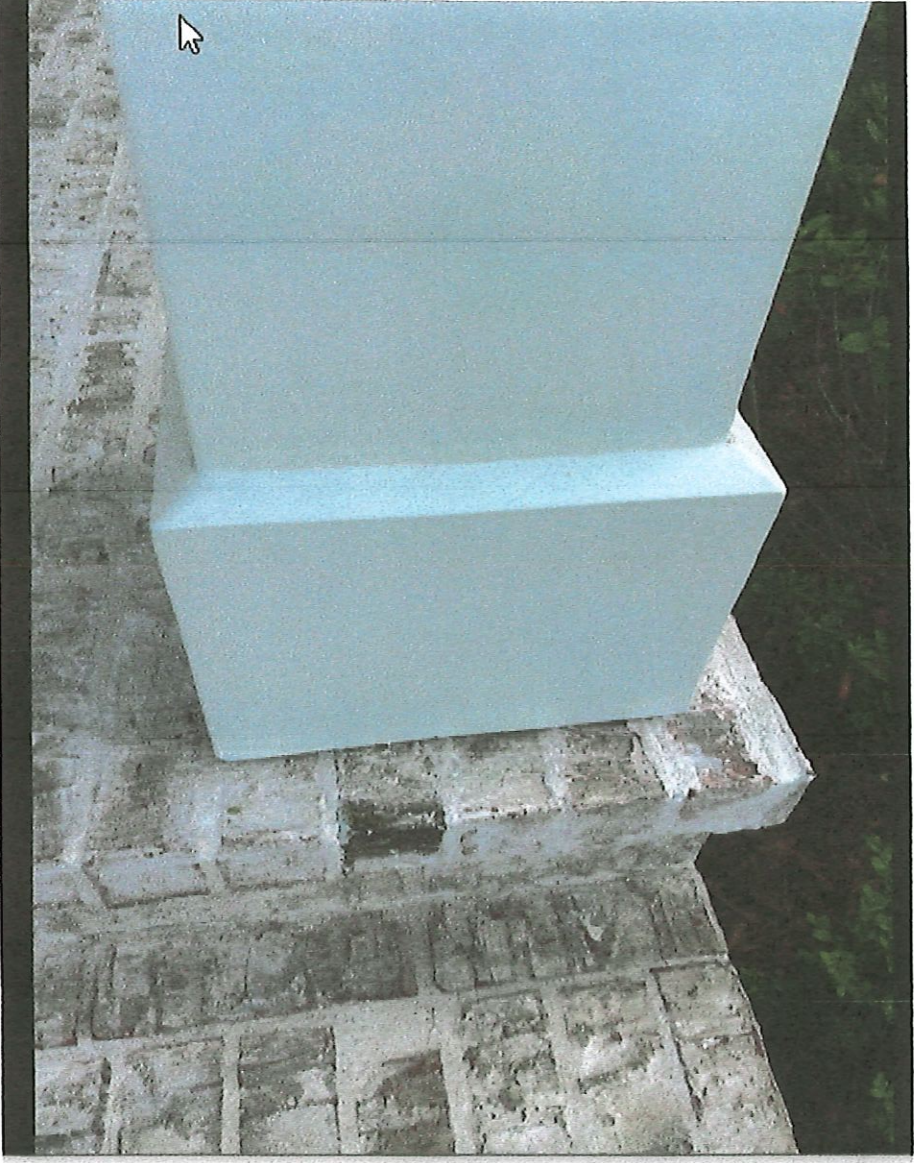
4 Right Elevation
 3/16" = 1'-0"



3 Left Elevation
 3/16" = 1'-0"



Proposed Hardie Siding



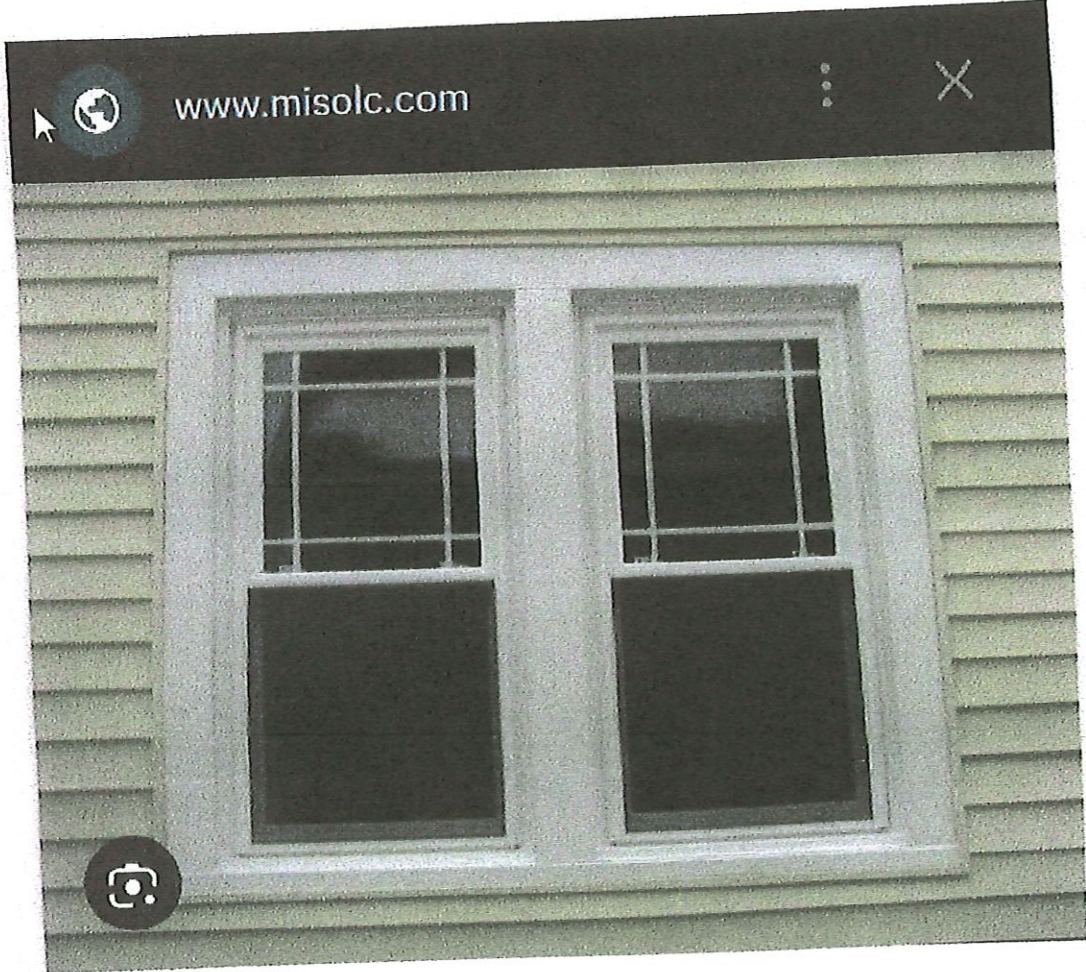
Proposed Column trim design



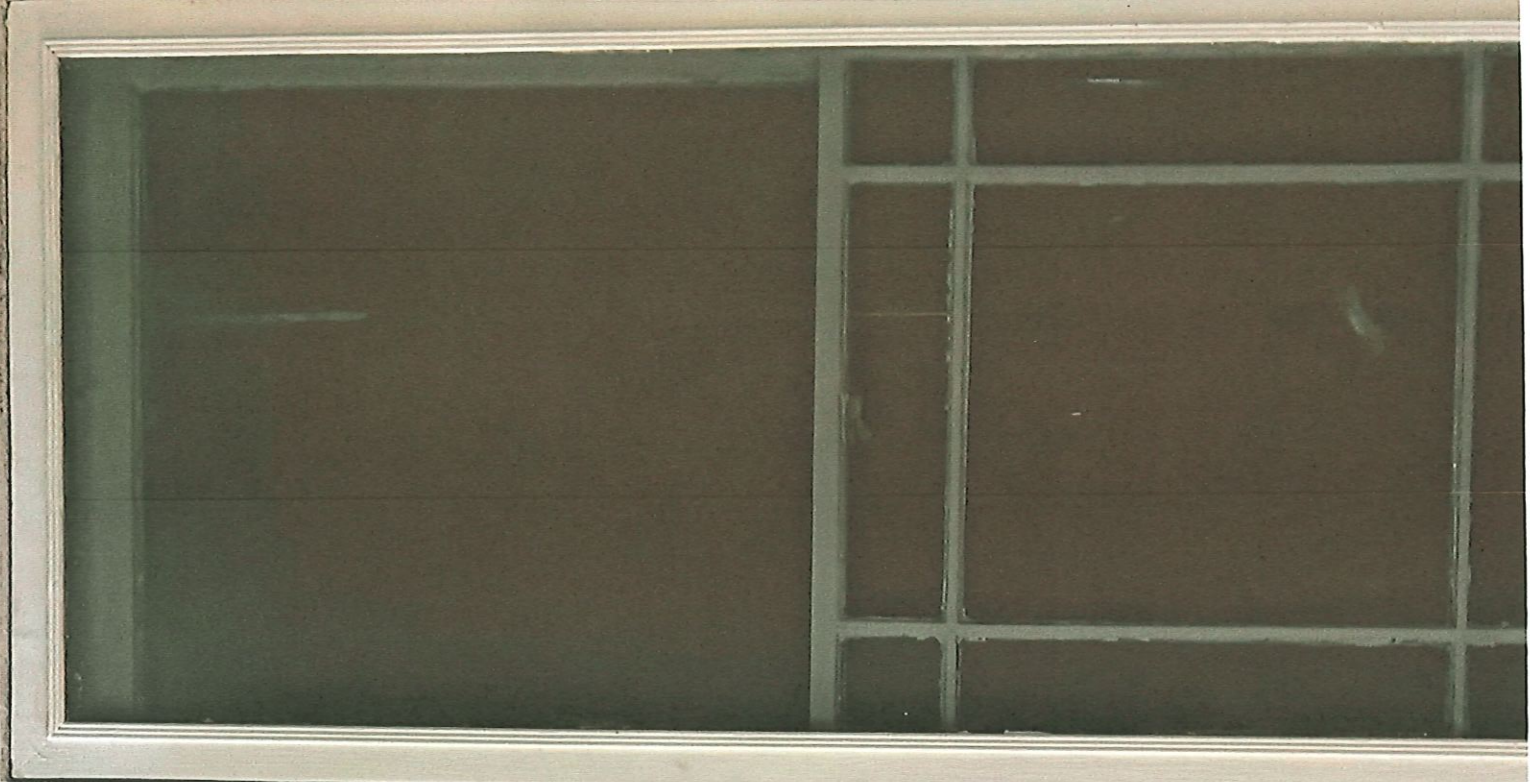
Proposed porch column with design



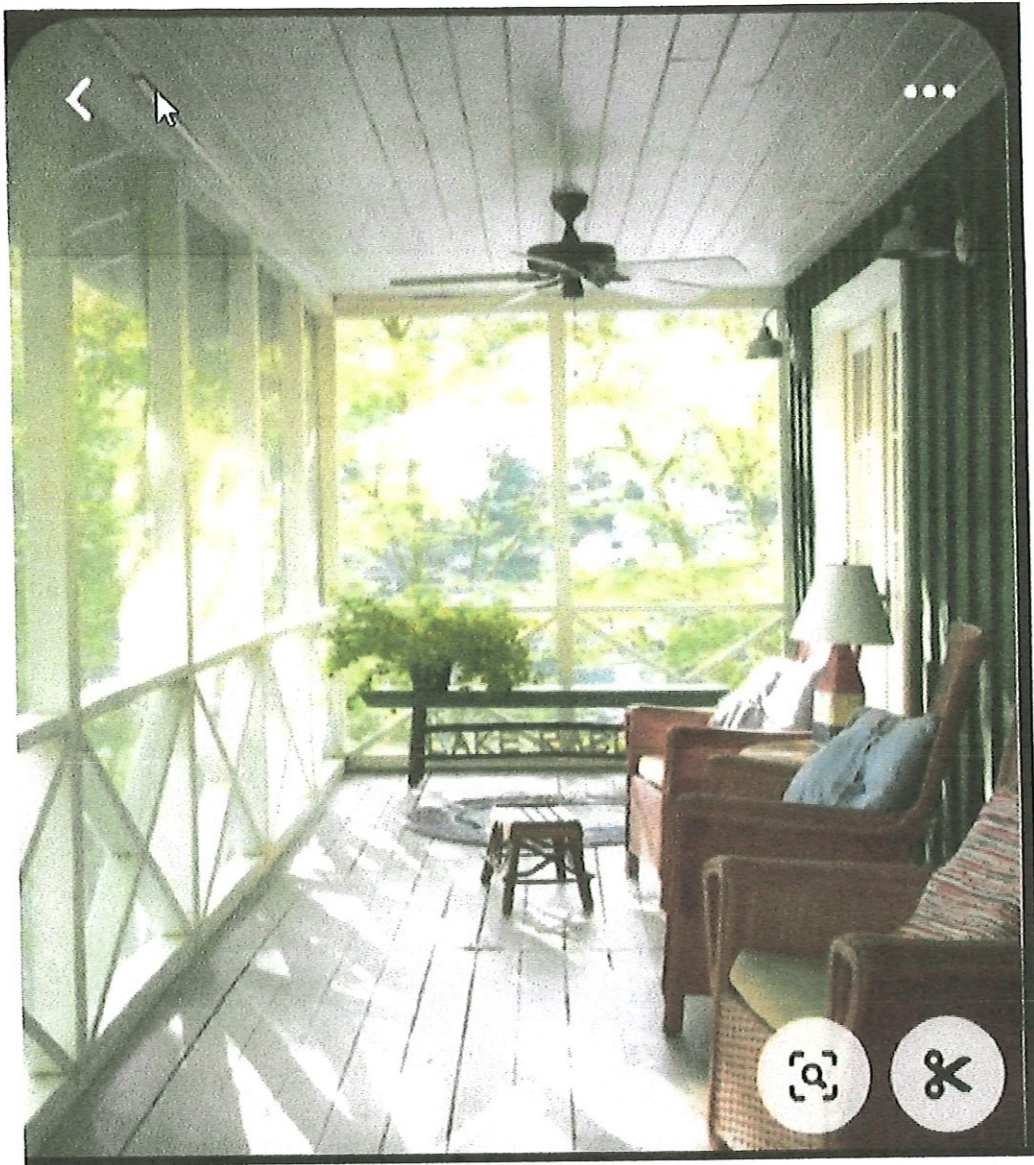
Proposed Column design



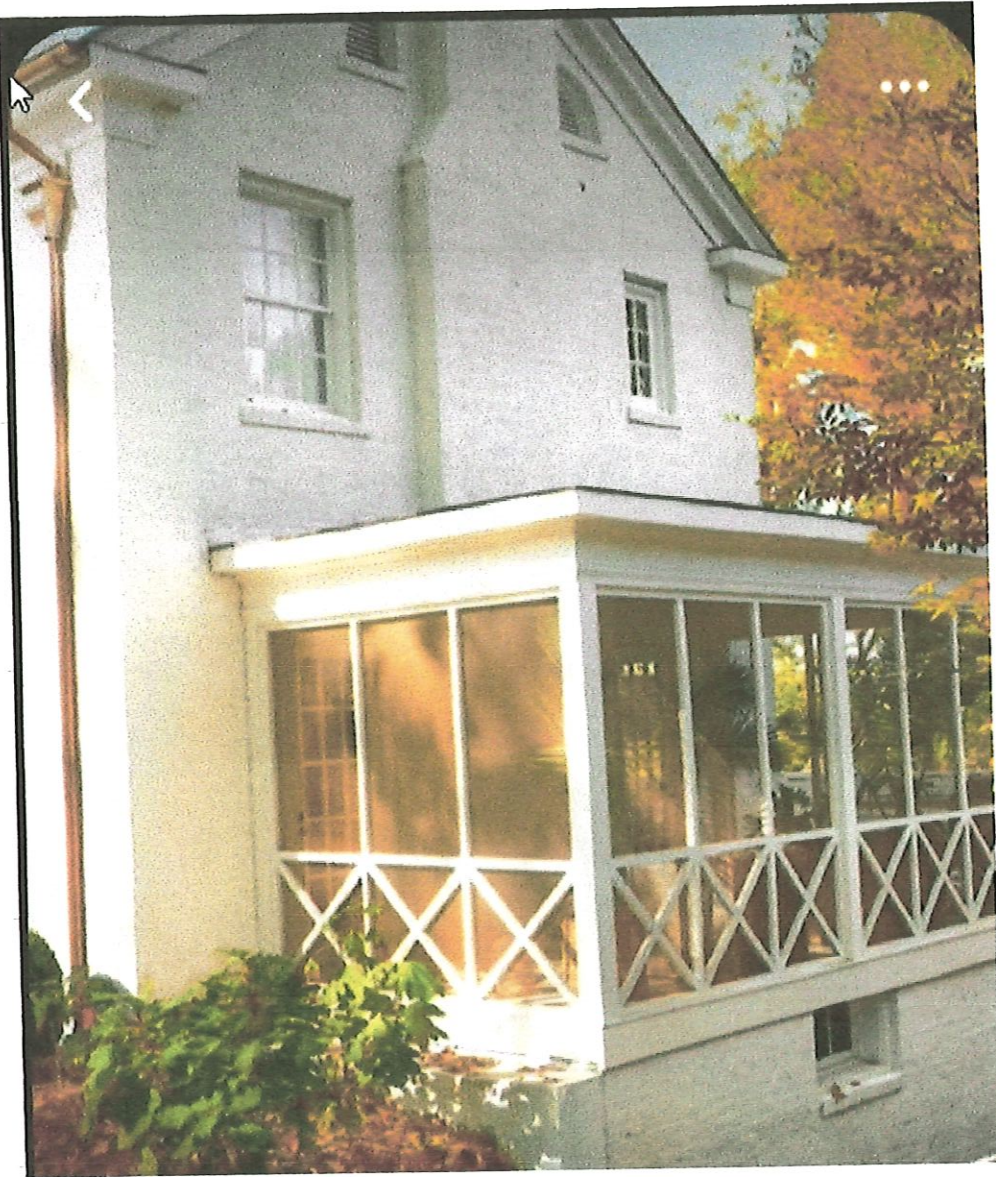
Proposed replacement / new addition
Vinyl windows to match original



existing window s



Proposed porch design



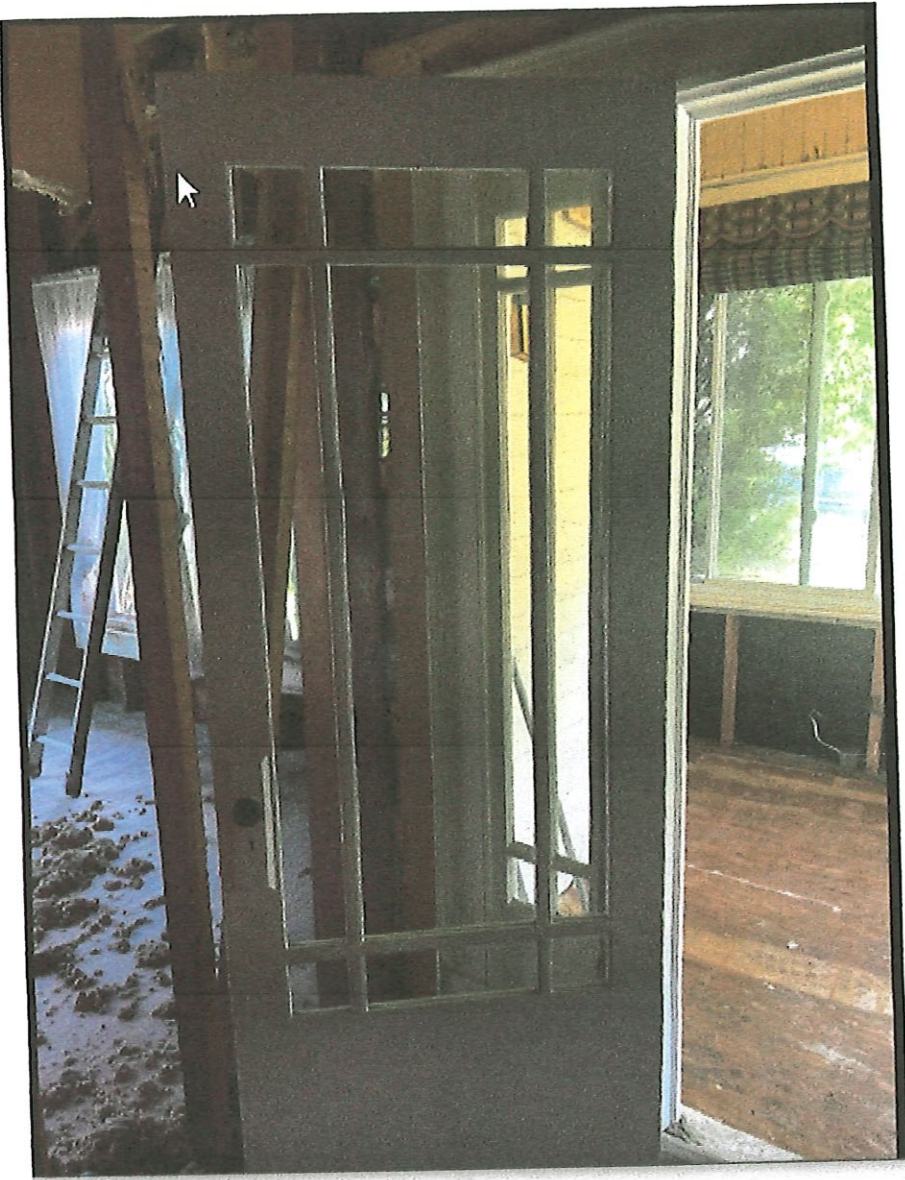
Proposed porch design



existing porch pic 1



existing porch pic 2



existing front door



Proposed side porch door



Gas lantern placement & proposed relocation of porch steps



Proposed gas lantern



existing front home view



- existing enclosed back porch
- requesting to demo back porch



- detached shed
- requesting demo

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 112 N. 2nd Street Bay St Louis, MS 39520

Applicant Name: Brett Jones **Owner Name:** Brett Jones

Mailing Address: 3986 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70115 **Mailing Address:** 3986 TCHOUPITOULAS STREET
NEW ORLEANS, LA 70115

Phone: (865) 235-7405 **Phone:** (865) 235-7405

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

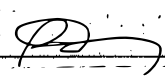
Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

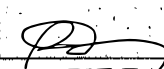
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Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature:  **Date:** 05/03/2024

Owner's Signature:  **Date:** 05/03/2024

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Historic District: _____ **Case Number:** _____

Historic Preservation Commission Reviewed **Review Date:** _____

Recommendation: Approval Approval with Conditions * Disapprove

Comments: _____

* Requires Property Owner / Applicant Signature

City Council Reviewed **Review Date:** _____

COA Action: Approval: YES NO **Date COA Action:** _____

Comments: _____

(BSL Historic Preservation Commissioner / City Council President Signature) **(Date)**

Once Completed & Signed - Original copy - HPC, Copy-Building Department

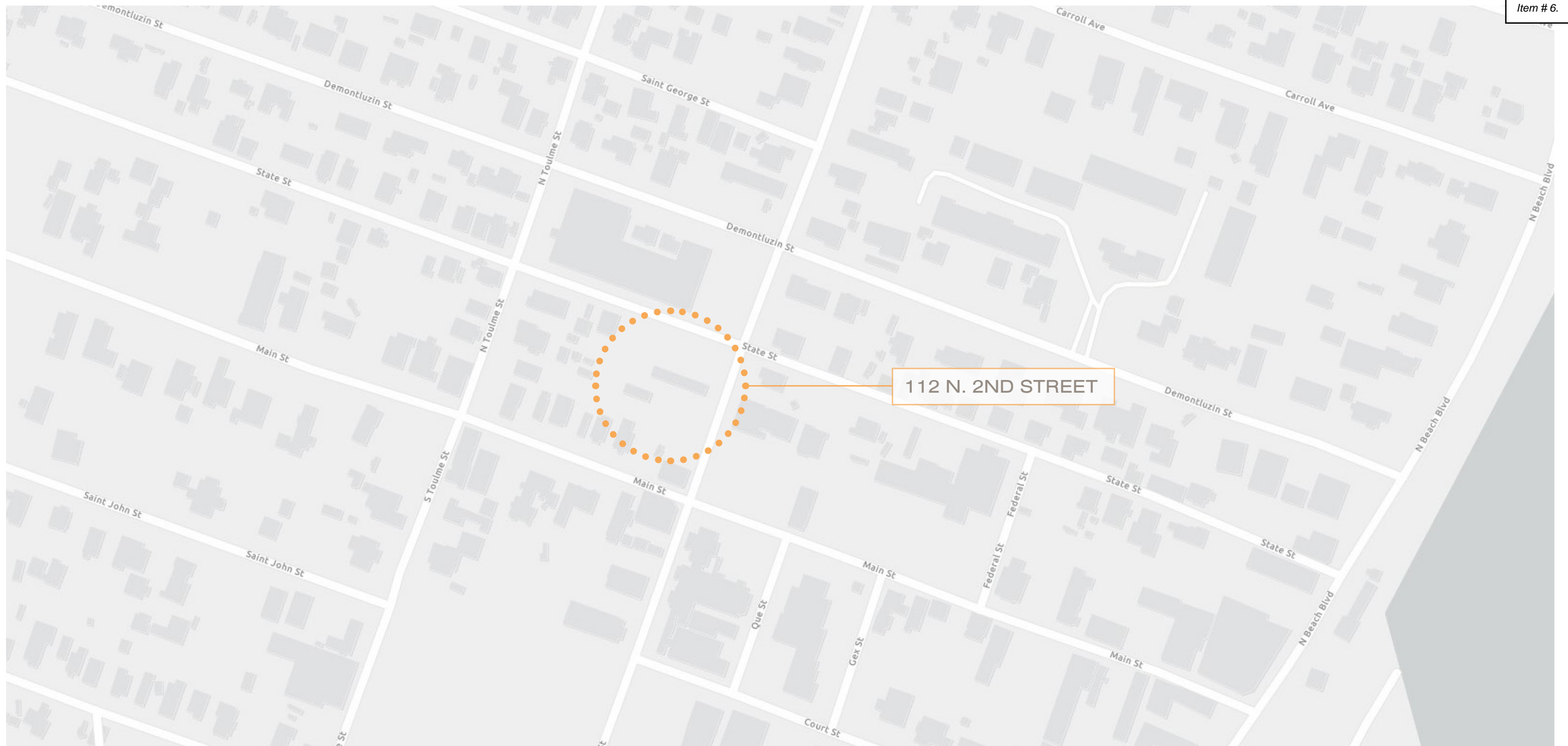
Application

HPC Review / City Council Review

BARRACUDA // BAY ST. LOUIS

HISTORIC COMMISSION MEETING
112 N. 2ND STREET BAY ST. LOUIS, MS 39520
05/07/2024





SITE LOCATION

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



EXISTING CONDITIONS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



EXISTING BARRACUDA LOCATIONS

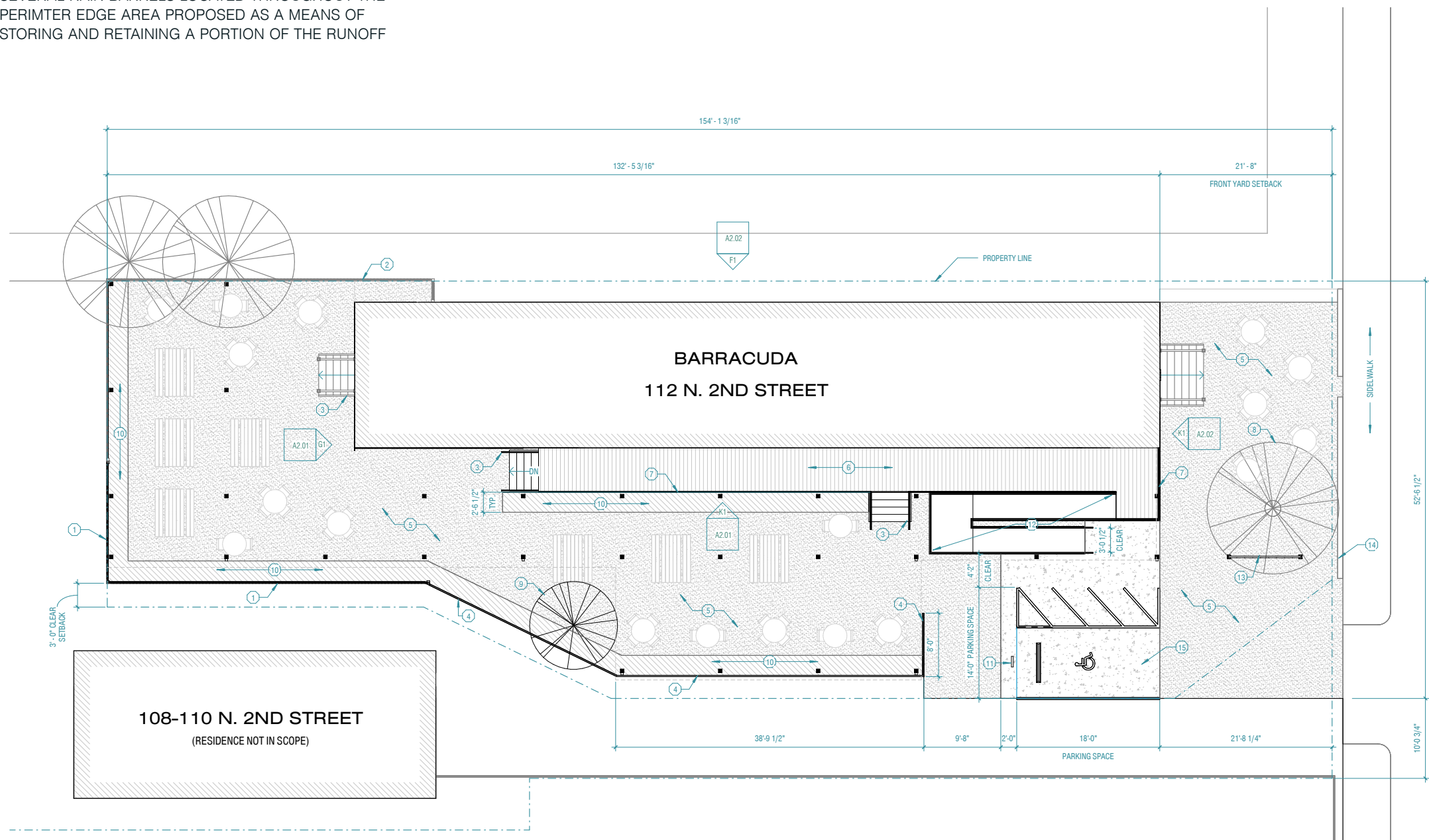
112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS

STORMWATER MANAGEMENT

- SITE WORK TO INCLUDE GRADING OF GRAVEL SEATING AREA OUT TO SECOND STREET
- MAJORITY OF SITE TO CONSIST OF PERMEABLE SURFACE (GRAVEL SEATING AREA)
- SEVERAL RAIN BARRELS LOCATED THROUGHOUT THE PERIMTER EDGE AREA PROPOSED AS A MEANS OF STORING AND RETAINING A PORTION OF THE RUNOFF

WASTE MANAGEMENT

- EXISTING TRASH LOCATION TO REMAIN IN PLACE



SITE PLAN KEYNOTES	
1	WOOD PRIVACY FENCE
2	EXISTING WOOD FENCE TO REMAIN
3	WOOD STAIR AND RAILING
4	LOW WOOD FENCE
5	CRUSHED GRAVEL
6	ELEVATED WOOD DECK
7	WOOD GUARDRAIL
8	EXISTING TREE TO REMAIN
9	NEW TREE PLANTING
10	PLANTING AREA
11	NEW ADA PARKING SIGANAGE, BOLLARD AND STRIPING
12	WOOD ADA RAMP
13	5-LOOP BIKE RACK; POSTS MOUNTED TO CONCRETE FOOTERS
14	REPAIR EXISTING DAMAGED STONE WALL
15	NEW CONCRETE; DRIVE AND WALKWAY TO MEET REQUIREMENTS FOR ADA-ACCESSIBLE SURFACE

L1 // PROPOSED SITE PLAN
1/8" = 1'-0"

SITE PLAN

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS

PLAN LEGEND

- NEW CONSTRUCTION ———→
- EXISTING TO REMAIN ———→
- EXISTING TO BE DEMOLISHED - - - - -→

FLOOR PLAN NOTES

- CONTRACTOR IS TO FIELD VERIFY ALL MEASUREMENTS FOR DOORS PRIOR TO ORDERING.
- ALL DIMENSIONS TO EXISTING WALLS TO BE MEASURED TO FINISHED FACE, ALL DIMENSIONS TO NEW WALLS MEASURED TO FACE OF STUDS.
- CONTRACTOR IS TO COORDINATE INSTALLATION OF ALL KITCHEN EQUIPMENT WITH CONSULTANT, INCLUDING NEW DRAINAGE LINES.
- CONTRACTOR TO PROVIDE APPROPRIATE BACKFLOW PREVENTERS FOR ALL CHILLED WATER AND WASTE LINES.
- ALL EXTERIOR GAS HEATERS AND FANS TO BE OWNER-FURNISHED, CONTRACTOR-INSTALLED.
- EXTERIOR MOTORIZED ROLLER SHADES TO BE FURNISHED AND INSTALLED BY SHADE CONTRACTOR. CONTRACTOR TO COORDINATE OUTLET AND SWITCH LOCATIONS WITH MOTORIZED SHADE CONSULTANT.
- NEW GREASE TRAP TO BE INSTALLED. GC TO COORDINATE ALL ASSOCIATED MEP SERVICES.
- GC TO VERIFY IF AN EXISTING BACKFLOW PREVENTER IS PRESENT ON SITE. IF NONE EXISTING, GC TO INSTALL NEW BACKFLOW PREVENTER AND COORDINATE LOCATION WITH BUILDING OWNER.
- ALL EXISTING FRP PANELING TO REMAIN IN PLACE.

DEMOLITION KEYNOTES

- 1 REMOVE PLUMBING FIXTURE
- 2 REMOVE CASEWORK; PATCH AND REPAIR FLOOR AS REQUIRED
- 3 REMOVE AND RELOCATE EXISTING HVAC EQUIPMENT TO THE ATTIC
- 4 REMOVE AND RELOCATE EXISTING HVAC EQUIPMENT TO THE ROOF
- 5 REMOVE EXISTING WOOD FENCE
- 6 REMOVE EXISTING WOOD RAILING
- 7 REMOVE EXISTING WOOD RAMP AND LANDING, INCLUDING STRUCTURE
- 8 REMOVE EXISTING EXTERIOR STAIR AND RAILING
- 9 REMOVE EXISTING VCT FLOORING

ROOM SCHEDULE

ROOM #	NAME	AREA
01	FOOD PREP	543 SF
02	WALK-IN	64 SF
03	KITCHEN	314 SF
04	UNISEX ADA	45 SF
05	UNISEX	50 SF
06	SKULLERY	76 SF
07	OFFICE	343 SF
TOTAL:		1435 SF

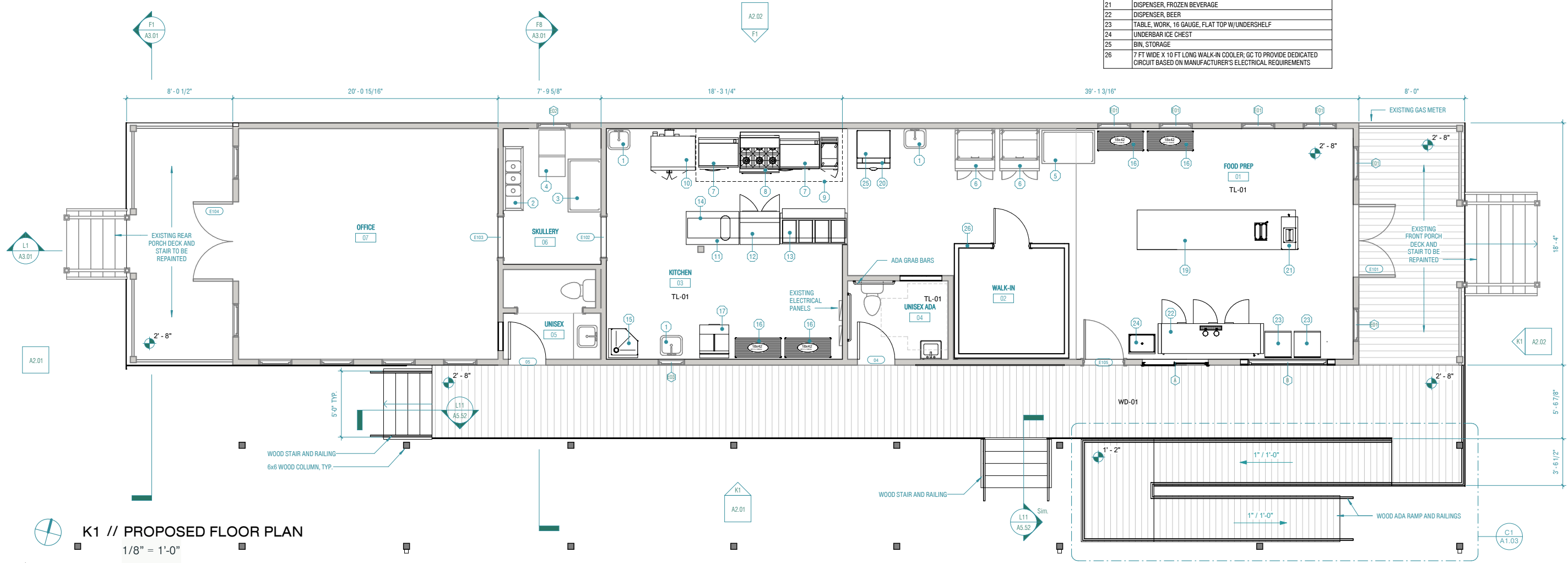
EQUIPMENT SCHEDULE

- 1 EXISTING HAND SINK TO REMAIN
- 2 EXISTING 3 COMPARTMENT SINK TO REMAIN
- 3 EXISTING COMMERCIAL SINK TO REMAIN
- 4 EXISTING DISHWASHER TO REMAIN
- 5 EXISTING STAINLESS WORK TABLE TO BE RELOCATED HERE
- 6 EXISTING BEVERAGE CONTAINER RELOCATED HERE
- 7 EXISTING GAS GRIDDLE
- 8 EXISTING GAS RANGE
- 9 EXISTING COMMERCIAL HOOD (ABOVE)
- 10 OVEN, CONVECTION, GAS
- 11 48" TABLE, WORK, 16 GAUGE, FLAT TOP W/UNDERSHELF
- 12 36" REFRIGERATOR, SANDWICH/SALAD PREP
- 13 60" CAFETERIA/BUFFET, HOT FOOD STATION
- 14 18"x144" CEILING-MOUNTED SHELVING (ABOVE)
- 15 MOP SINK
- 16 SHELVING, WIRE
- 17 WARMER, CHIP
- 19 TABLE, ENCLOSED BASE, SLIDING DOORS
- 20 MACHINE, ICE CUBE
- 21 DISPENSER, FROZEN BEVERAGE
- 22 DISPENSER, BEER
- 23 TABLE, WORK, 16 GAUGE, FLAT TOP W/UNDERSHELF
- 24 UNDERBAR ICE CHEST
- 25 BIN, STORAGE
- 26 7 FT WIDE X 10 FT LONG WALK-IN COOLER; GC TO PROVIDE DEDICATED CIRCUIT BASED ON MANUFACTURER'S ELECTRICAL REQUIREMENTS

FLOOR FINISH SCHEDULE

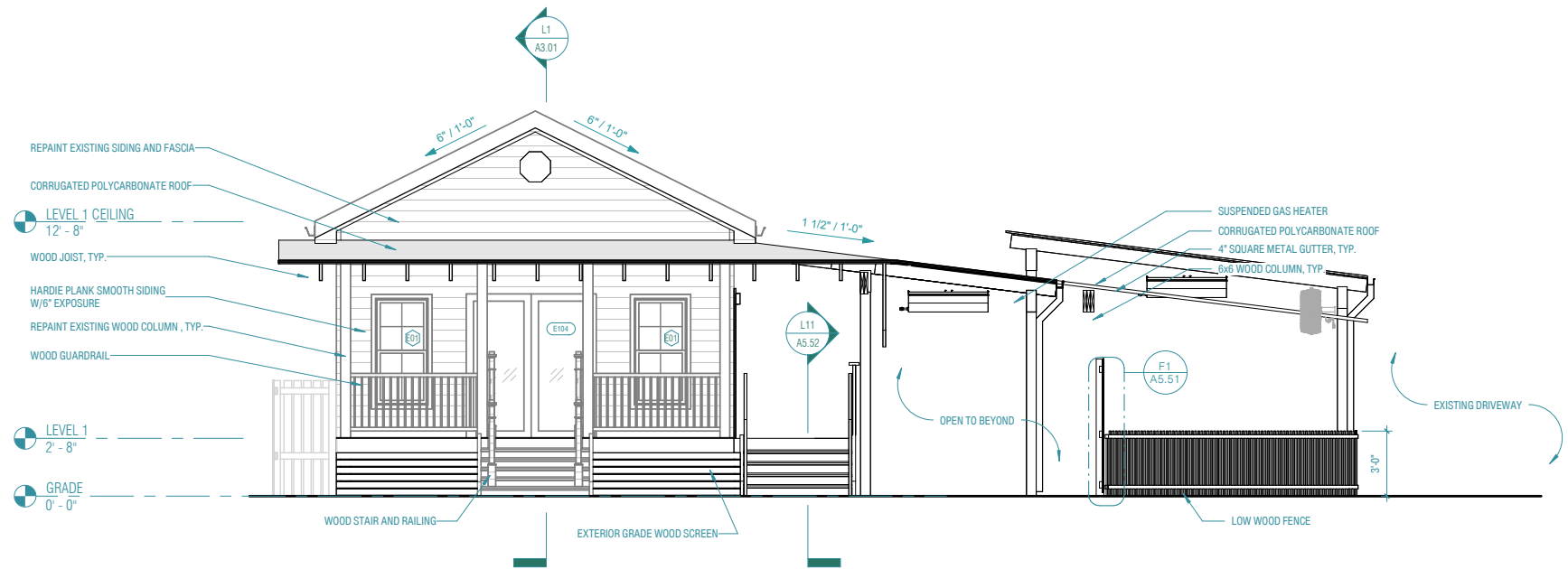
MARK	AREA	DESCRIPTION	BASIS OF DESIGN
WD-01	450 SF	WOOD DECKING	TREATED WOOD DECKING; NOTE: CONTRACTOR TO PROVIDE ADD ALTERNATE PRICING FOR CEDAR DECKING AS WELL AS COMPOSITE WOOD DECKING SUCH AS TREX
TL-01	758 SF	FLOOR TILE	DALTILE 'DUETREAD' FLOOR TILE USED AS B.O.D.

NOTE: NEW GREASE TRAP TO BE INSTALLED AND SIZED TO MEET MS PLUMBING CODE REQUIREMENTS.

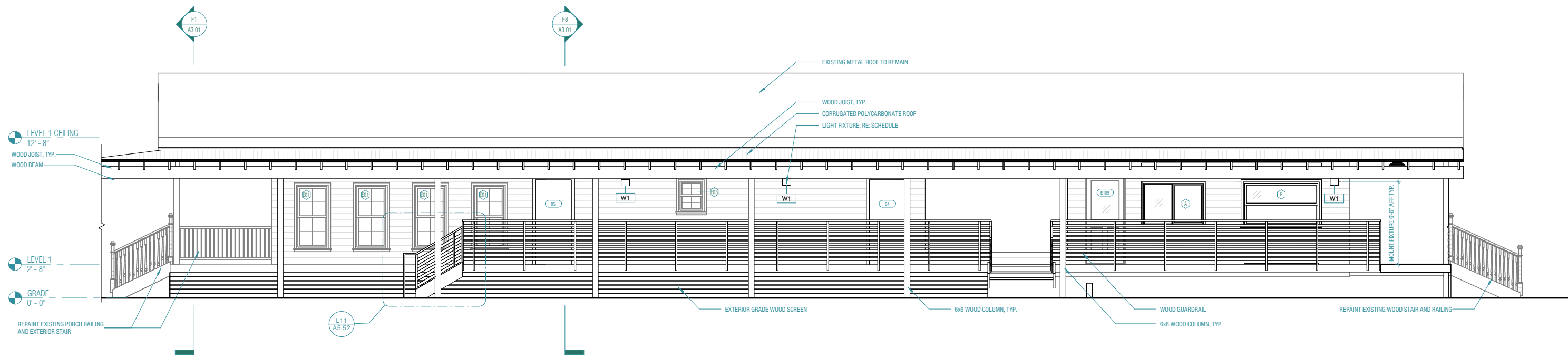


PROPOSED FLOOR PLAN

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



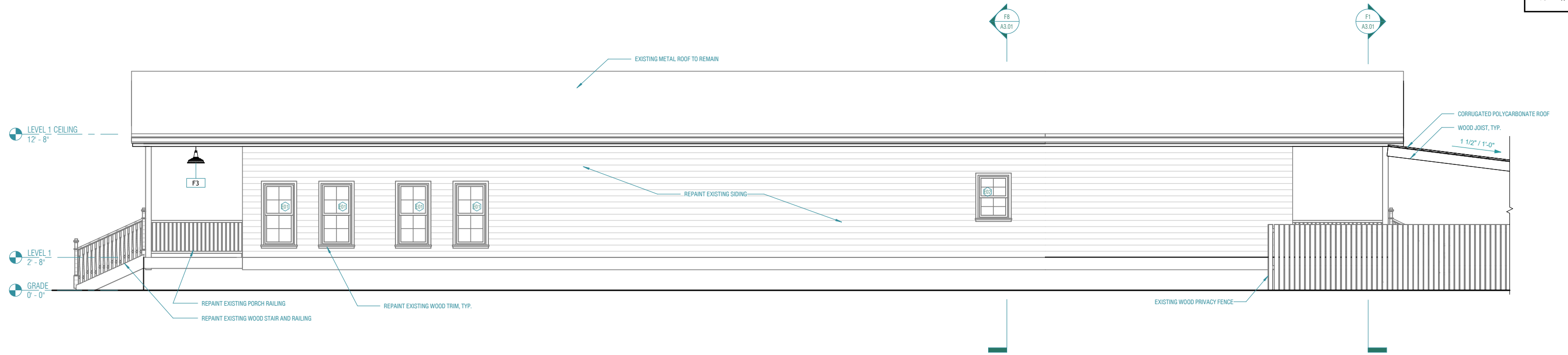
G1 // BUILDING ELEVATION WEST
1/8" = 1'-0"



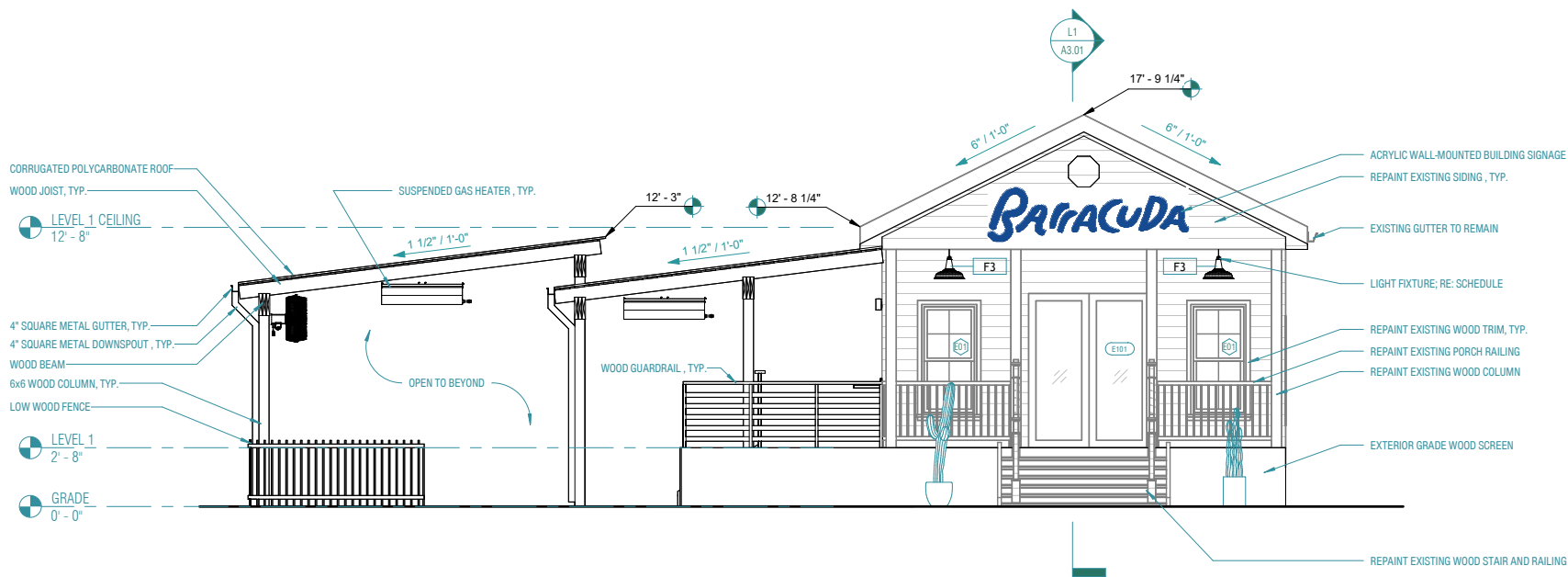
K1 // BUILDING ELEVATION SOUTH
1/8" = 1'-0"

BUILDING ELEVATIONS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



F1 // BUILDING ELEVATION NORTH
1/8" = 1'-0"



K1 // BUILDING ELEVATION EAST
1/8" = 1'-0"

BUILDING ELEVATIONS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



PERSPECTIVE VIEWS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS

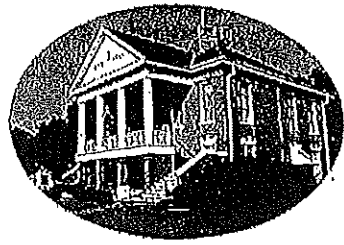


PERSPECTIVE VIEWS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Brett Jones

Address: 3986 TCHOUPITOULAS STREET NEW ORLEANS, LA 70115
(No P.O. Boxes)

Telephone Number () Cell Number: (865) 235-7405

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 112 N. 2ND STREET BAY ST. LOUIS, MS 39520

Give written scope of work to be performed:

SCOPE OF WORK IS A NON-STRUCTURAL RENOVATION OF THE EXISTING BUILDING FOR A NEW TACO RESTAURANT.

BATHROOMS TO BE REMODELED. EXISTING KITCHEN IS TO REMAIN IN PLACE. TWO NEW TAKE-OUT WINDOWS ARE TO BE ADDED ON THE SOUTH ELEVATION. A NEW WALL SIGN IS TO BE ADDED ON THE GABLE FACING 2ND STREET.

EXTERIOR WORK INCLUDES A PAVED PARKING SPACE, WOOD FENCING, AND A NEW CANOPY AT THE SIDE AND REAR YARDS TO PROVIDE COVERED OUTDOOR SEATING.

HISTORIC PRESERVATION COMMISSION REVIEW

CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hardi-plank, etc...
 - b) Masonry material: brick, stucco, etc....
 - c) Exterior openings; windows and doors: indicated size, types and materials.
 - d) Shutters and Awnings: indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

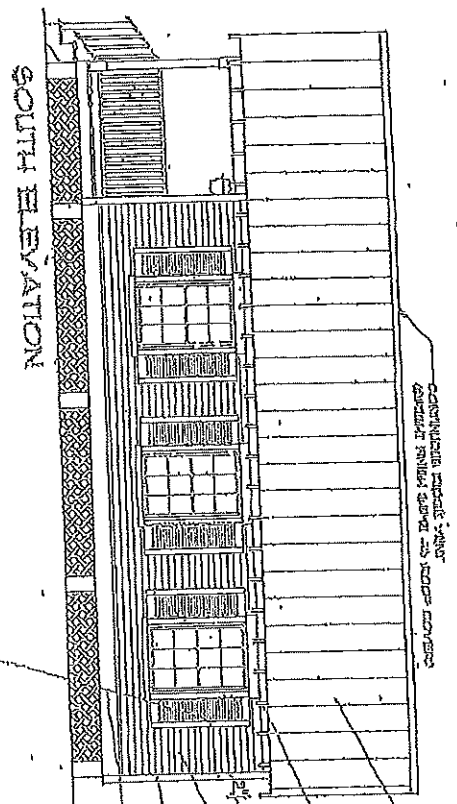
PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

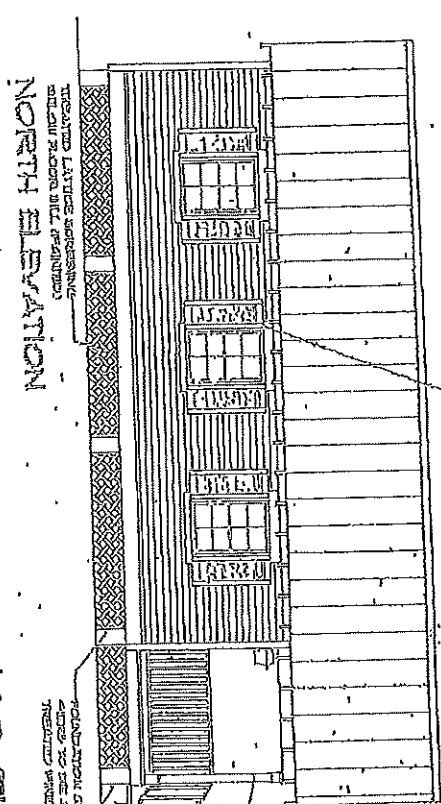
We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

Bay St. Louis Historic Preservation Commission
March 1, 2008

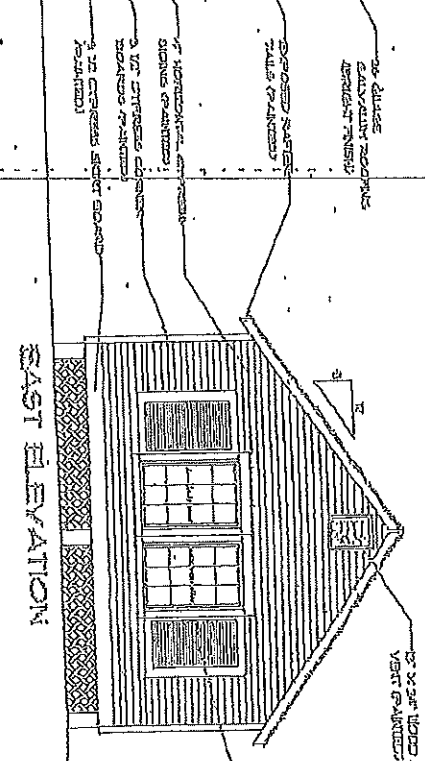
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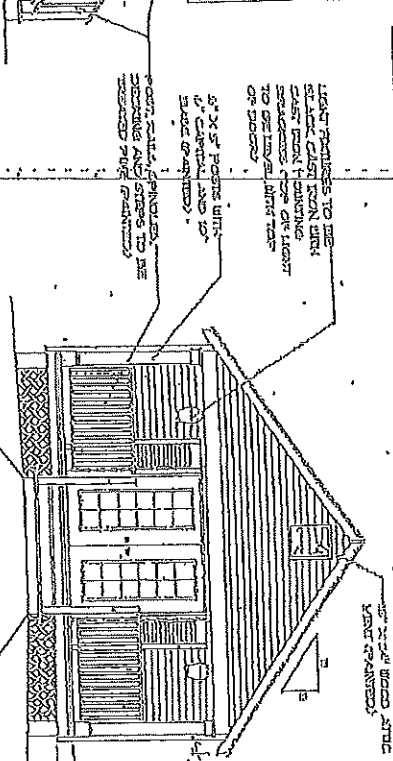
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

THIS DRAWING IS FOR THE EXTERIOR USE OF THE BAY ST. LOUIS HISTORICAL PRESERVATION COMMISSION
 TO BE IN AN OPEN ROOM FOR THE ARCHITECTURAL RECORD
 MARCH 1, 2005

6" x 6" POSTS TO BE
 SET IN CONCRETE
 WITH 2" x 4" BRACKETS
 TO BE SET IN
 CONCRETE
 (SEE PLAN)

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Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 500 S Beach Blvd Bay St Louis, MS 39520

Applicant Name: Thomas LeMaire Owner Name: Thomas LeMaire

Mailing Address: 401 Parker Lane Youngsville, LA 70592 Mailing Address: 401 Parker Lane Youngsville, LA 70592

Phone: (225) 266-3579 Phone: 225-266-3579

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 5/9/2024

Owner's Signature: [Signature] Date: 5/9/2024

Required: _____ Date: _____

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Historic District: _____ Case Number: _____

Historic Preservation Commission Reviewed Review Date: _____

Recommendation: Approval Approval with Conditions * Disapprove

Comments: _____

** Requires Property Owner / Applicant Signature*

City Council Reviewed

COA Action: Approval: YES NO Date COA Action: _____ Review Date: _____

Comments: _____

BSL Historic Preservation Commissioner / City Council President Signature: _____ (Date) _____

Once Completed & Signed - Original copy - HPC, Copy-Building Department







6ft + 4ft Privacy 203-mm
 Res Wood / 4ft / Res Alum
 342 Carroll Ave
 Big St. Louis, Mo 39520

Stephen Maggio
 (228) 314-0922
 Stephen@SJMAGGIO.com
 Sandy - (228) 313-6613

