



Historic Preservation Commission Meeting Agenda

July 08, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Action Items

1. Motion to approve the boat house at 116 Washington submitted by Benfatti Construction
2. Motion to approve plan to construct new dwelling at 220 Washington Street
3. Motion to approve the construction on a duplex at 336 State Street submitted by David Rush
4. Motion to approve the demo of the carport and shed and the construction of new carport at 204 Keller Street submitted by Joelle Foret
5. Motion to approval conceptual review for new entry facade and pavilion at 108 South Beach Blvd submitted by John Anderson
6. Motion to approve sign at 108 Court Street submitted by RAMM Inc

Minutes Approval

7. Motion to approve minutes from June 10, 2024 meeting

Minutes Approval

8. CLG Regional Training: Pascagoula Tuesday, August 6, 2022 – 10:30 am-1:30 pm

Adjourn

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 116 Washington Street
 Applicant Name: Ben Satti Owner Name: Scioneaux
 Mailing Address: 2107 Nicholson Mailing Address: 116 Washington
 Phone: 504-452-6974 Phone: _____

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 6/11/04
 Owner's Signature _____ Date: _____
 Required: _____ Date: _____

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Application

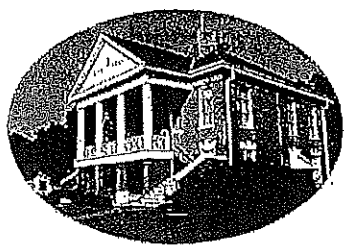
HPC Review / City Council Review

Historic District: _____	Case Number: _____
Historic Preservation Commission Reviewed: _____	Review Date: _____
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments: _____	
*Requires Property Owner / Applicant Signature	
City Council Reviewed: _____	Review Date: _____
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action: _____	Review Date: _____
Comments: _____	
(BSL Historic Preservation Commissioner) _____	(City Council President Signature) _____ (Date) _____

Once Completed & Signed - Original copy - HPC, Copy-Building Department



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Scioneaux

Address: 116 Washington Street, BSC, MS
(No P.O. Boxes)

Telephone Number () _____ Cell Number() _____

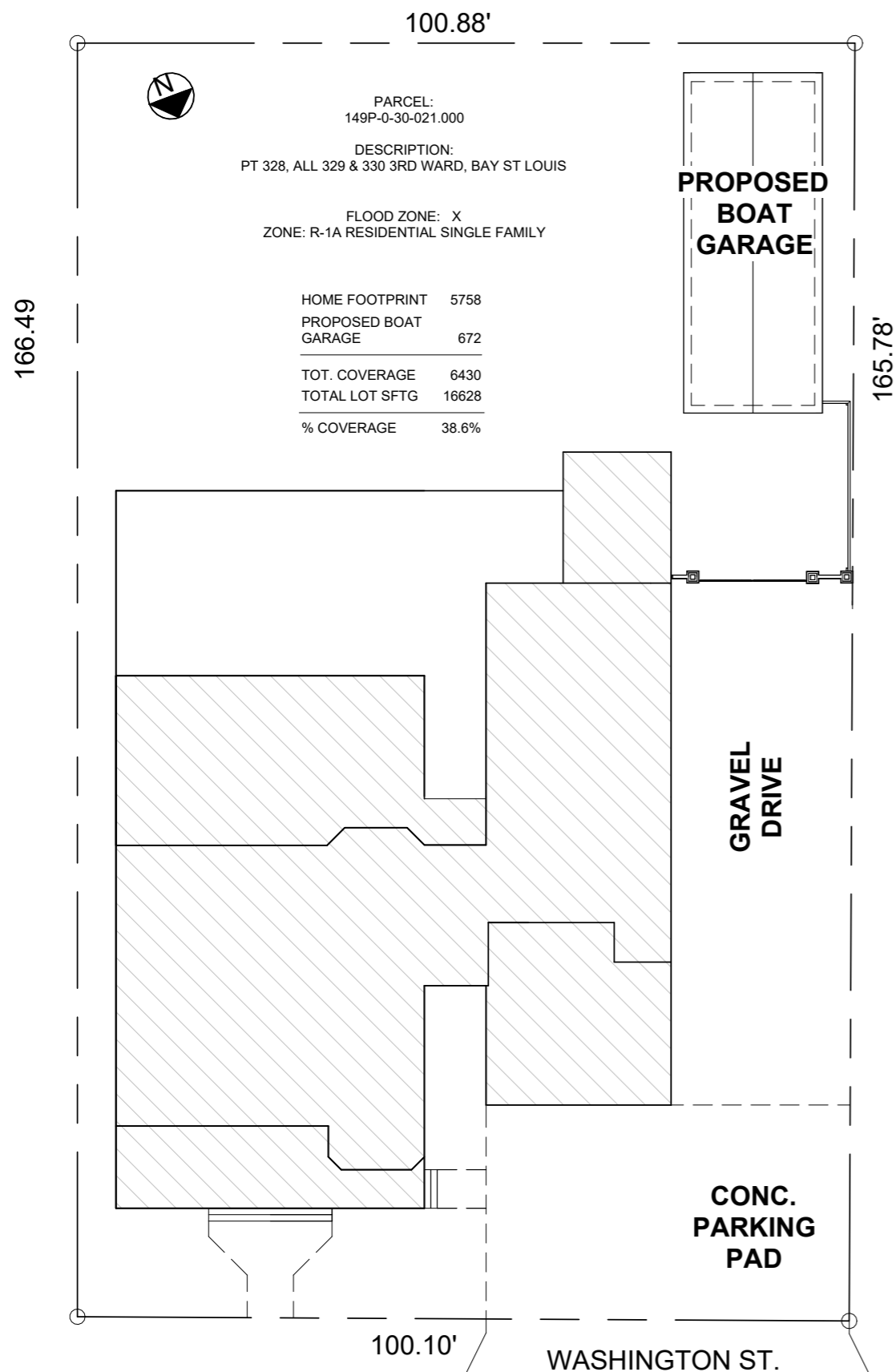
ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: Construct

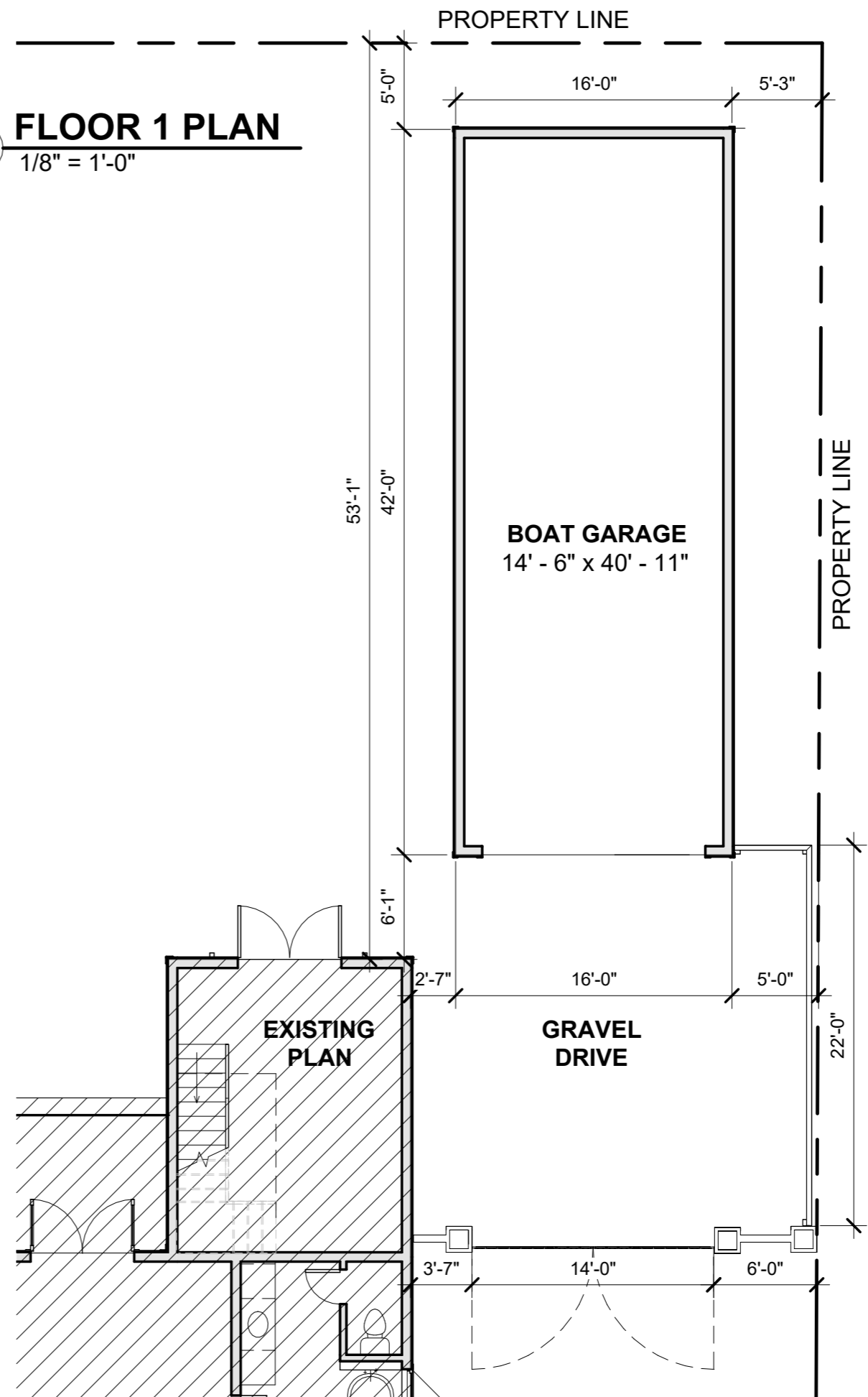
Boat Garage In Rear of property.

Using same material as house.

1 SITE PLAN
1" = 20'-0"



2 FLOOR 1 PLAN
1/8" = 1'-0"



504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>

SCIONEUX BOAT GARAGE
116 WASHINGTON STREET, BSL, MS 39520
CINDY AND MIKE SCIONEUX

Drawn by:
COLT LEE
06/27/2024

SITE/FLOOR PLAN
1 of 3
Scale As indicated

1

FRONT ELEVATION

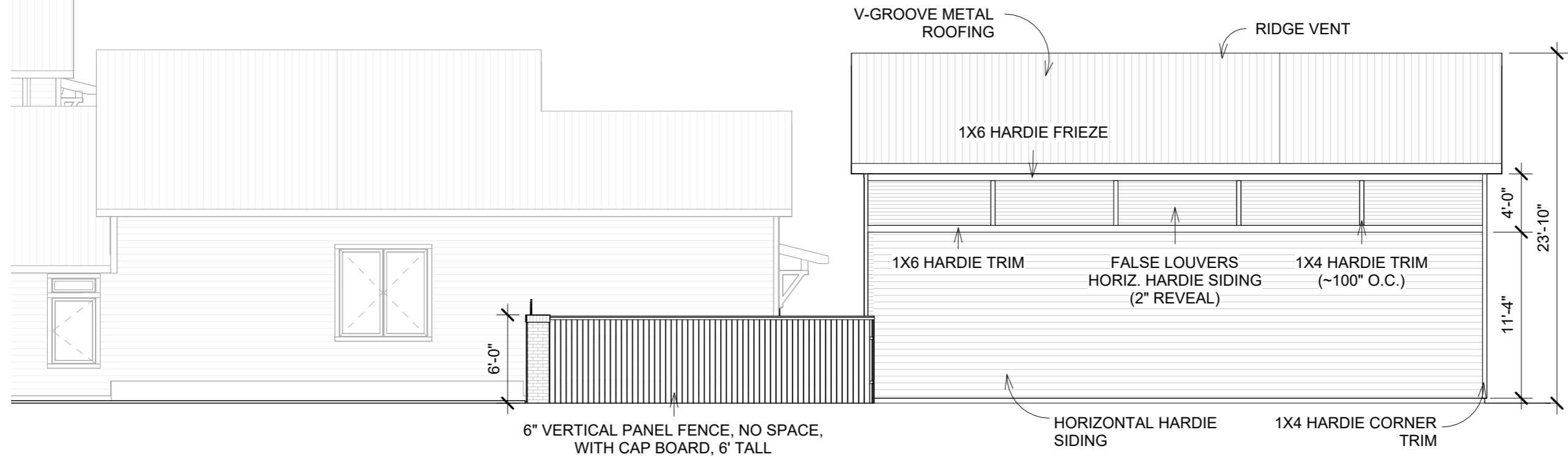
1/8" = 1'-0"



2

RIGHT ELEVATION

1/8" = 1'-0"



SCIONEUX BOAT GARAGE

116 WASHINGTON STREET, BSL, MS 39520
CINDY AND MIKE SCIONEUX

Drawn by:
COLT LEE

06/27/2024

ELEVATIONS

2 of 3

Scale 1/8" = 1' 5

SCIONEUX RENO
 116 WASHINGTON STREET, BSL, MS 39520
 CINDY AND MIKE SCIONEUX

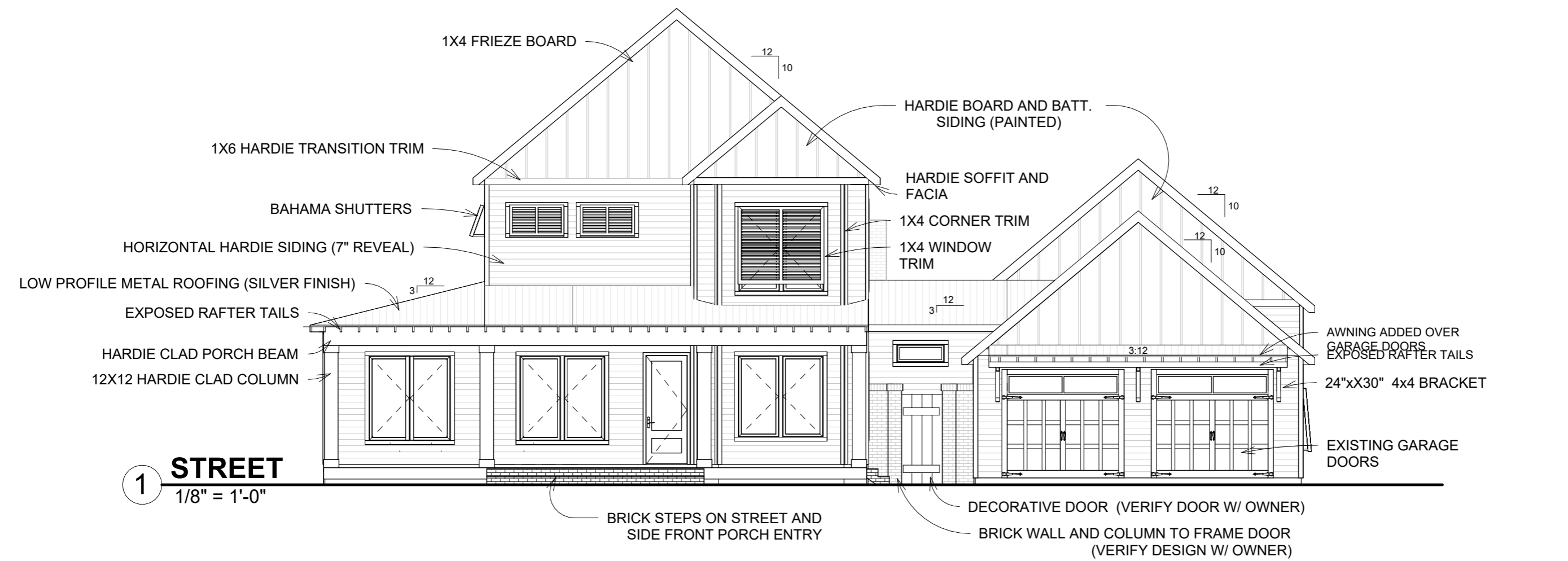
Drawn by:
COLT LEE

4/26/24

**APPROVED
 HOME DESIGN**

3 of 3

Scale 1/8" = 1' 6



2 RIGHT
 1/8" = 1'-0"

A NEW GUEST HOUSE FOR: RACHEL O'KEEFE & STEVEN BOHLIN

220 ~~218~~ WASHINGTON STREET
BAY ST. LOUIS, MISSISSIPPI



A NEW GUEST HOUSE FOR:
RACHEL O'KEEFE & STEVEN BOHLIN
218 WASHINGTON AVENUE
BAY ST. LOUIS, MISSISSIPPI 39520

PROJECT NO.

CONTRACT DATE

PLOT DATE

JUNE 17, 2024

DRAWN BY

VJ

CHECKED BY

EHW

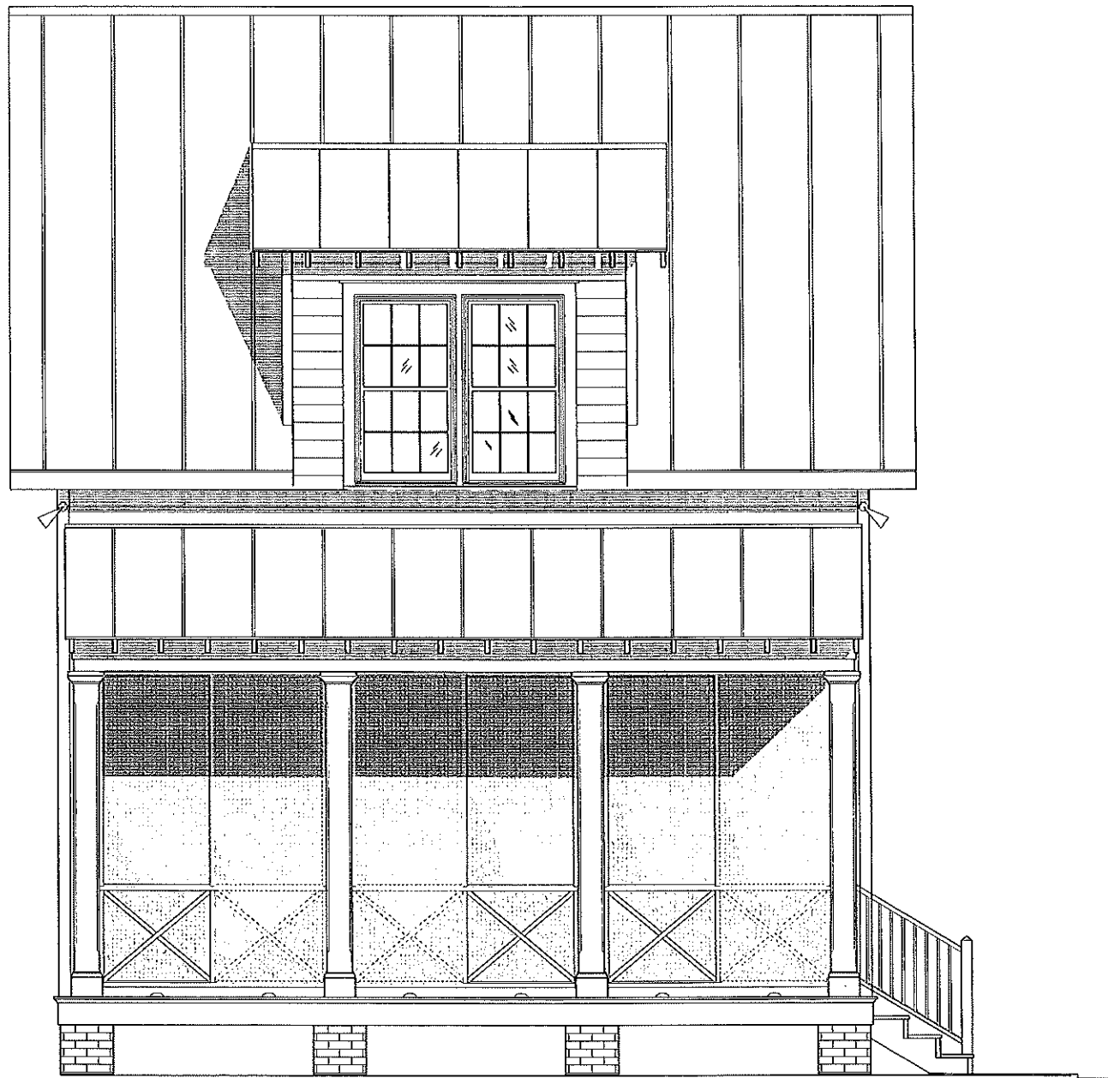
ALL IDEAS, DIMENSIONS, ARRANGEMENTS, MATERIALS, AND SPECIFICATIONS ARE SHOWN BY THESE DRAWINGS. THE PROPERTY OF EDWARD H. WIKOFF ARCHITECT, P.C. AND NOT BE LOANED, REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF EDWARD H. WIKOFF ARCHITECT, P.C. ANY SUCH VIOLATION SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LEGAL ACTION.

SHEET TITLE

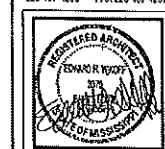
COVER SHEET

SHEET NO.

A-000



DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD
1		W	EW	2		W	EW	3		W	EW	4			



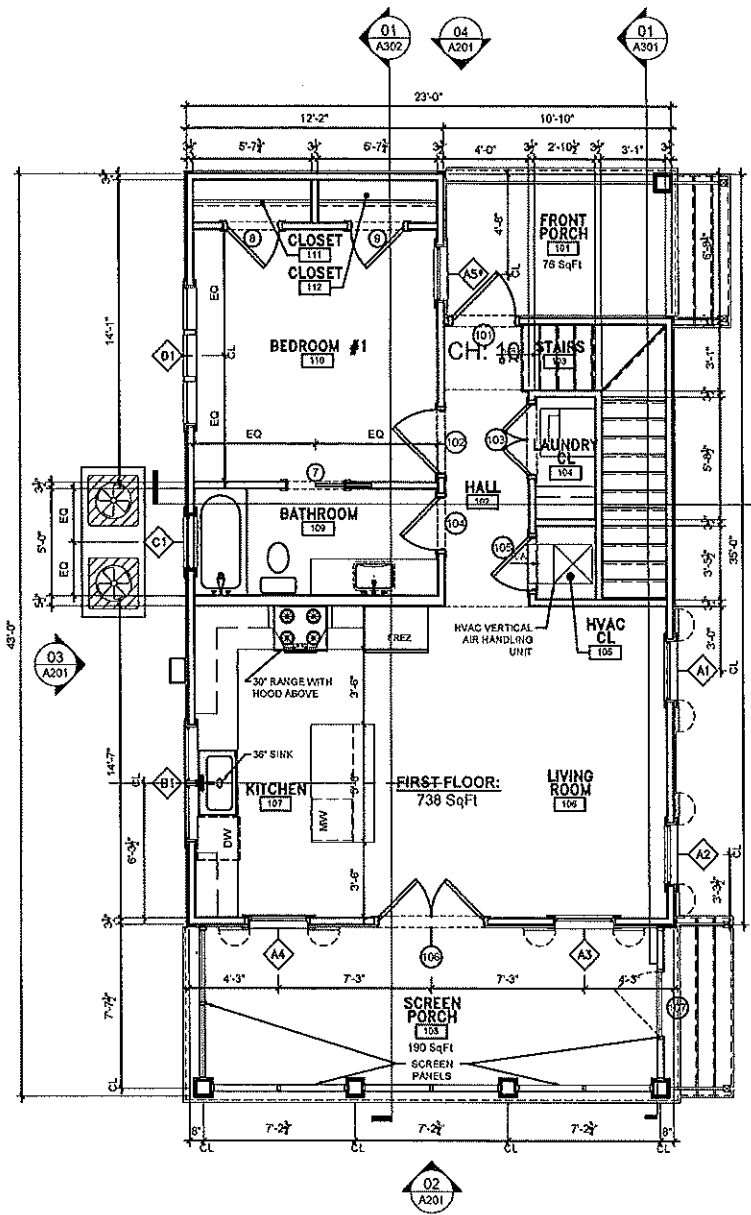
A NEW GUEST HOUSE FOR:
RACHEL O'KEEFE & STEVEN BOHLIN
 218 WASHINGTON AVENUE
 BAY ST. LOUIS, MISSISSIPPI 39520

PROJECT NO.
CONTRACT DATE
PLOT DATE
JUNE 17, 2024
DRAWN BY
VJ
CHECKED BY
EHW

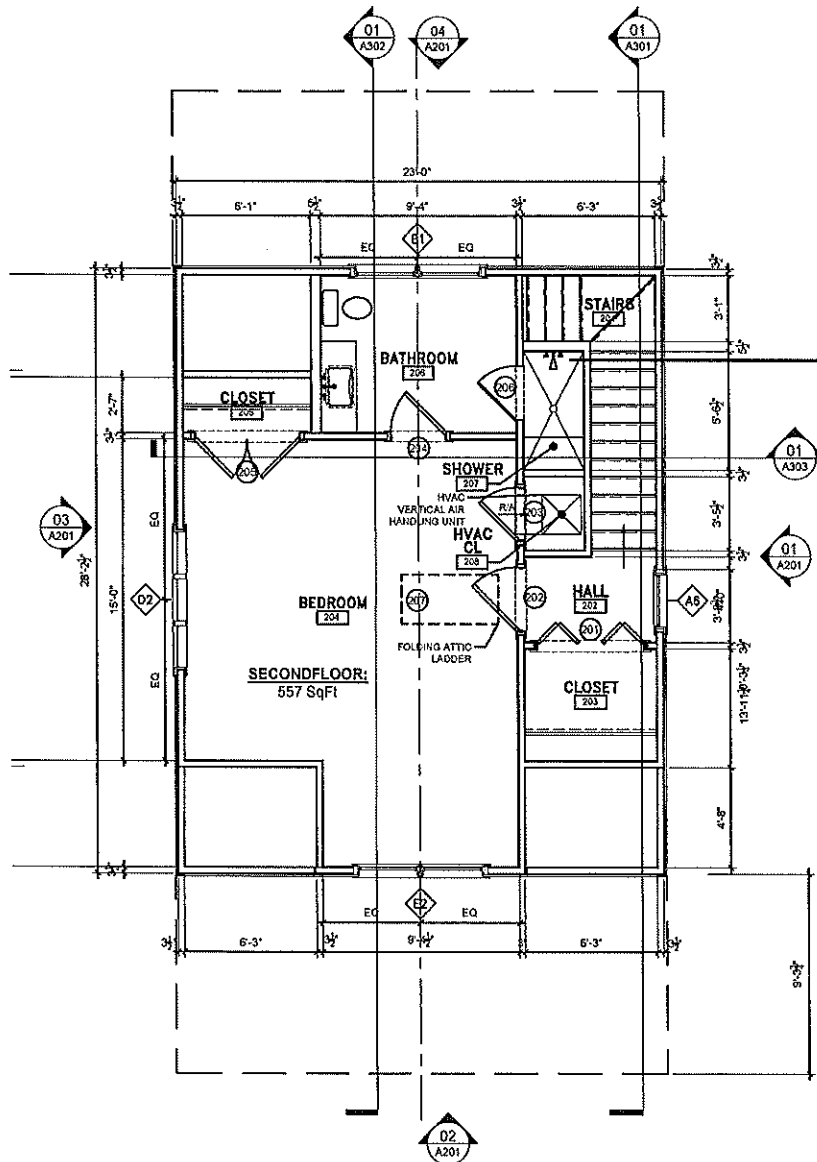
ALL LOADS, CONDITIONS, ARRANGEMENTS, DIMENSIONS, AND SPECIFICATIONS ARE QUANTIFIED BY AND FOR THE PROPERTY OF EDWARD H. WIKO ARCHITECT, P.A. AND SHALL BE USED ONLY IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH ITEMS OR SPECIFICATIONS SHALL BE USED BY OR FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF EDWARD H. WIKO ARCHITECT, P.A. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

SHEET TITLE
FLOOR PLANS
 SHEET NO.

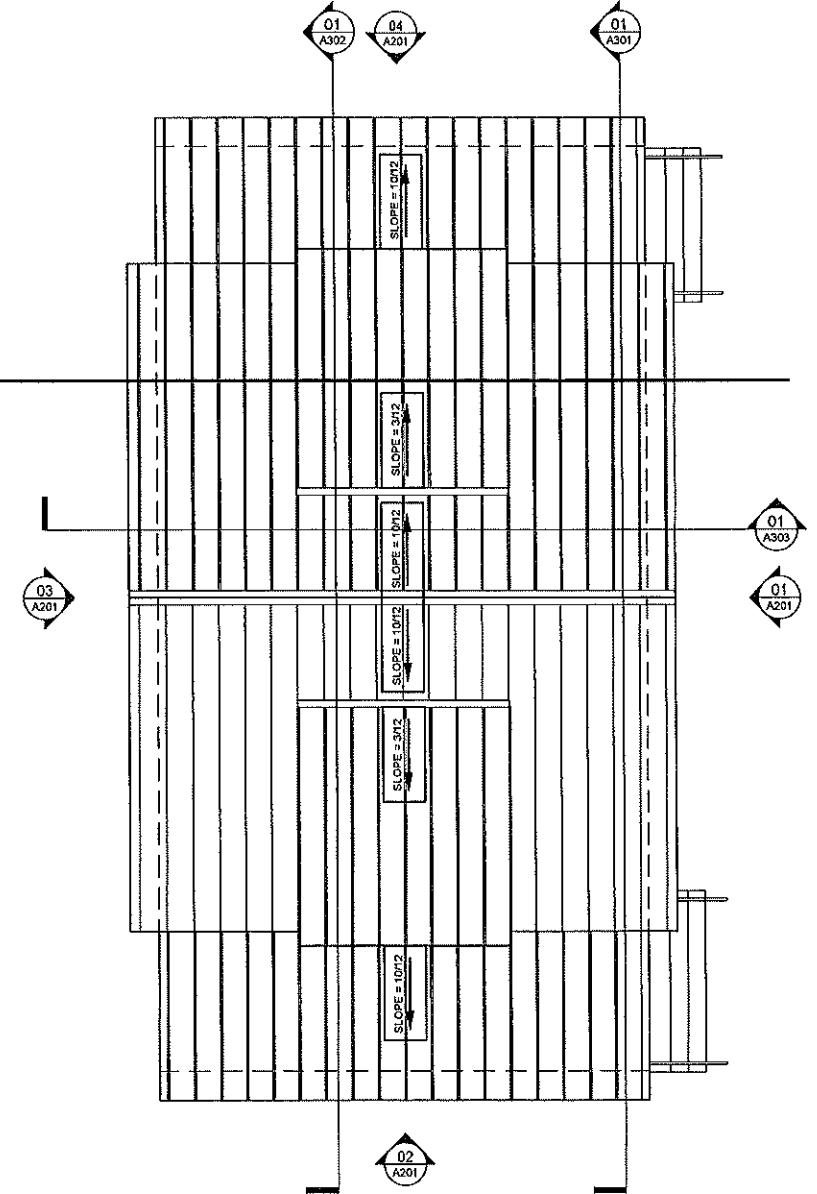
A-101



01 PLAN - FIRST FLOOR
 SCALE 1/4" = 1'-0"

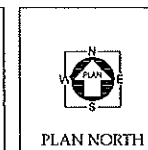
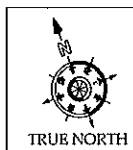


02 PLAN - SECOND FLOOR
 SCALE 1/4" = 1'-0"



03 PLAN - ROOF
 SCALE 1/4" = 1'-0"

SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR:	
CONDITIONED.....	738 SF
PORCHES.....	266 SF
SECOND FLOOR:	
CONDITIONED.....	557 SF
TOTALS:	
CONDITIONED.....	1,295 SF
PORCH.....	266 SF



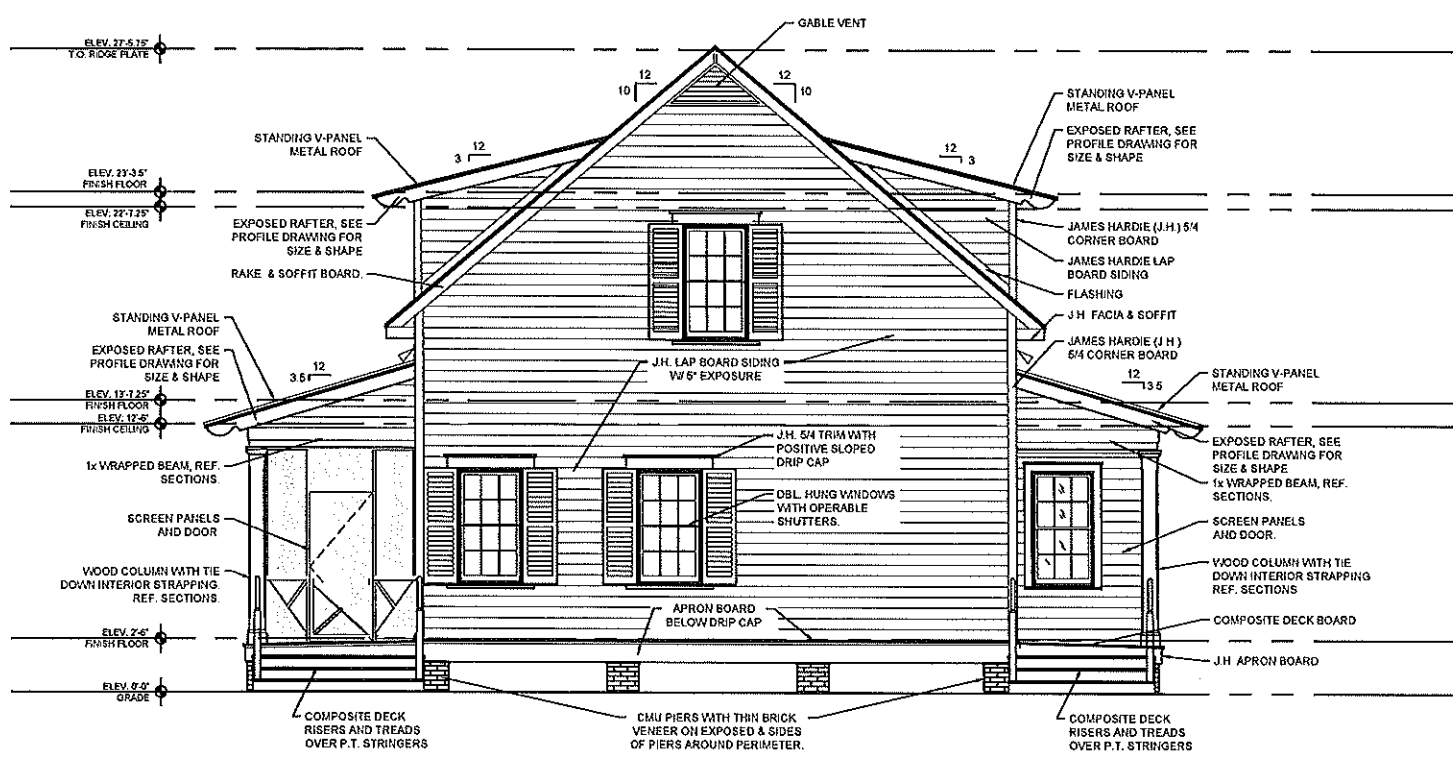
DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD
		W	EW			W	EW			W	EW			W	EW



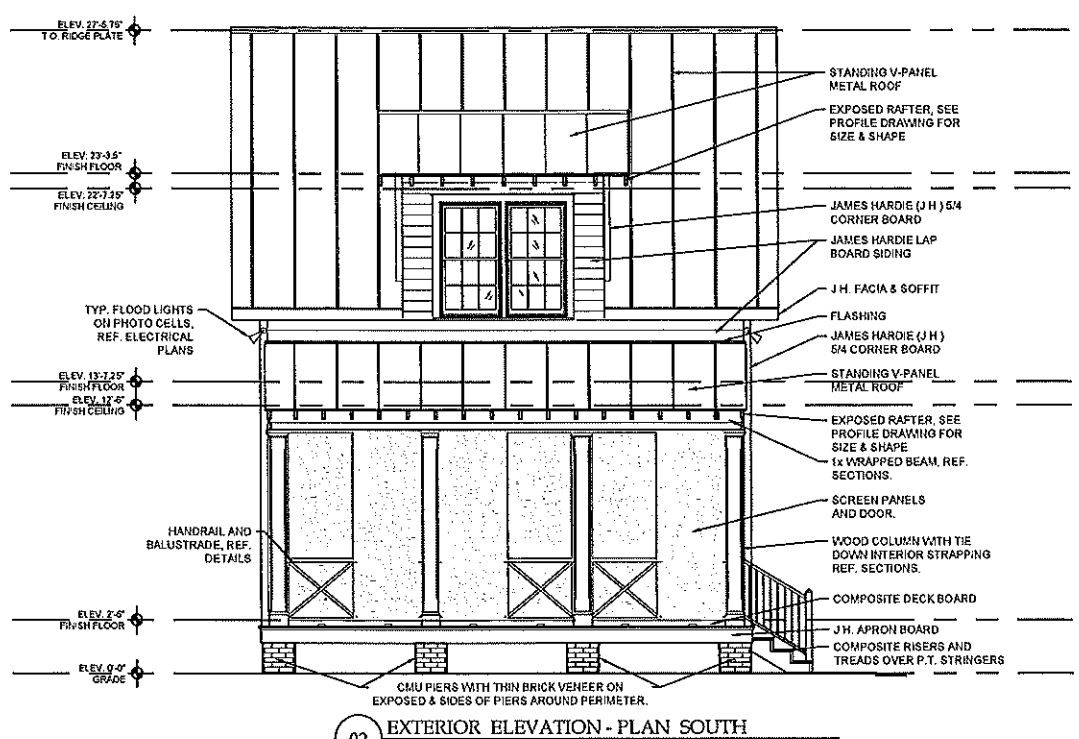
A NEW GUEST HOUSE FOR:
RACHEL O'KEEFE & STEVEN BOHLIN
 218 WASHINGTON AVENUE
 BAY ST. LOUIS, MISSISSIPPI 39520

PROJECT NO.	
CONTRACT DATE	
PLOT DATE	
JUNE 17, 2024	
DRAWN BY	
VJ	
CHECKED BY	
EHW	
<small>ALL IDEAS, DESIGN ARRANGEMENTS, DIMENSIONS, AND SPECIFICATIONS ARE OWNED BY AND ARE THE PROPERTY OF EDWARD H. WILK, ARCHITECT. NO USE OR REPRODUCTION OF ANY OF THE CONTENTS OF THIS DRAWING OR ANY PART THEREOF FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF EDWARD H. WILK, ARCHITECT. ANY REPRODUCTION OR USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF EDWARD H. WILK, ARCHITECT, SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ARCHITECT AND SHALL BE SUBJECT TO THE DISCIPLINARY ACTION OF THE BOARD OF ARCHITECTS OF THE STATE OF MISSISSIPPI.</small>	
SHEET TITLE	
EXTERIOR ELEVATIONS	
SHEET NO.	

A-201



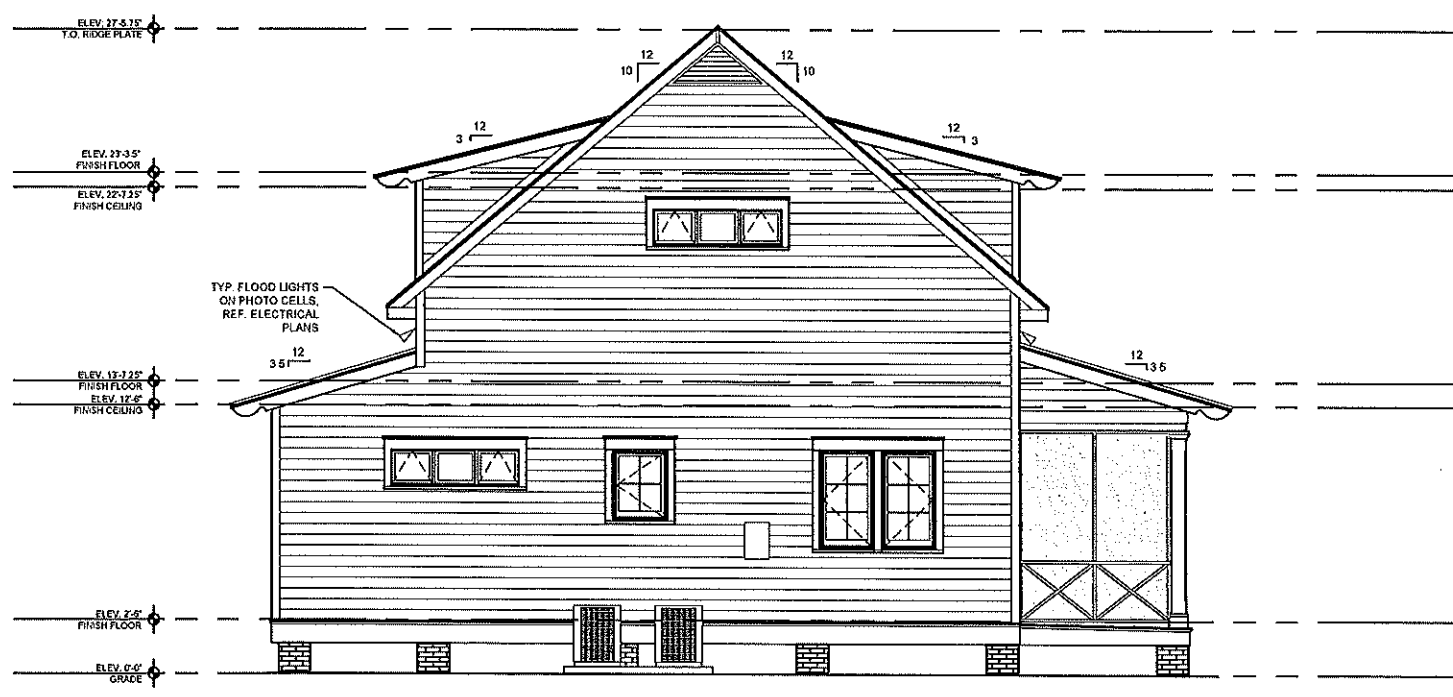
01 EXTERIOR ELEVATION - PLAN EAST
 SCALE 1/4" = 1'-0"



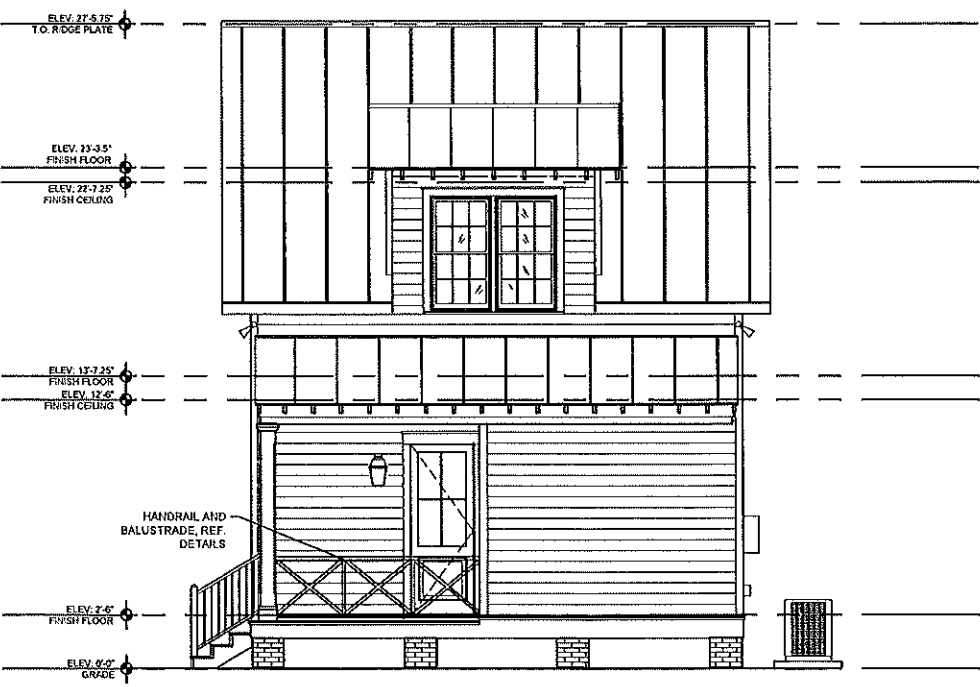
02 EXTERIOR ELEVATION - PLAN SOUTH
 SCALE 1/4" = 1'-0"



02.1 EXTERIOR ELEVATION - SCREEN PORCH
 SCALE 1/4" = 1'-0"



03 EXTERIOR ELEVATION - PLAN WEST
 SCALE 1/4" = 1'-0"



04 EXTERIOR ELEVATION - PLAN NORTH
 SCALE 1/4" = 1'-0"

DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD	DATE	COMMENTS	BY	APVD
		W	EW			W	EW			W	EW

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 220 Washington St., Bay St. Louis, MS
Applicant Name: Ed Wilkoff Owner Name: Steve Boltin
Mailing Address: 144 Main St. BSL Mailing Address: 216 Washington, BSL
Phone: 228-342-1342 Phone: 228-467-4236

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

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I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 6.19.2024
Owner's Signature

Required: _____ Date: _____

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Application

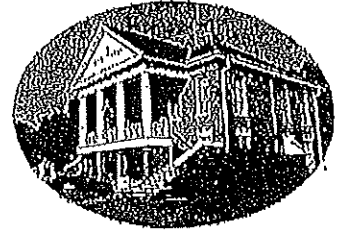
HPC Review / City Council Review

Table with 2 columns: HPC Review / City Council Review and City Council Review. Rows include: Historic District, Historic Preservation Commission Review, Recommendation, Comments, City Council Review, COA Action, and City Council Review.

Once Completed & Signed - Original copy - HPC, Copy - Building Department

BACKSTREET SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: STEVE BOHLIN (EO WILCOFF)

Address: 216 WASHINGTON ST AVE., BSL, MS
(No P.O. Boxes)

Telephone Number: (928) 467-4236 Cell Number: (214) 342-1342

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 220 WASHINGTON EXPRESS, BSL, MS

Give written scope of work to be performed: _____

NEW SINGLE FAMILY RESIDENCE.

HISTORIC PRESERVATION COMMISSION REVIEW

CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

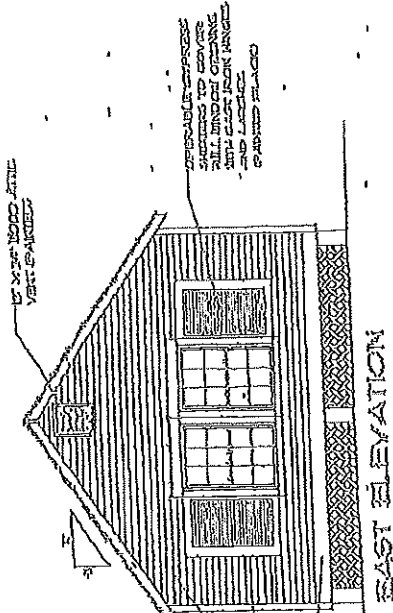
1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hard-plank, etc...
 - b) Masonry material: brick, stucco, etc...
 - c) Exterior openings; windows and doors: indicated size, types and materials.
 - d) Shutters and Awnings: indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

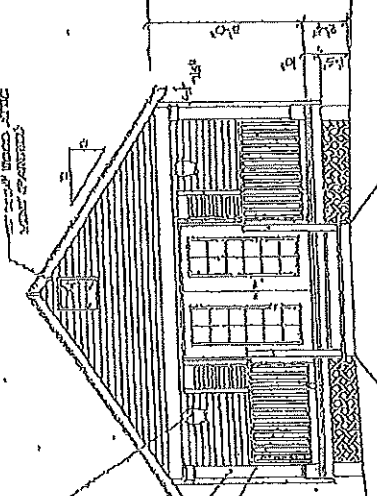
1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

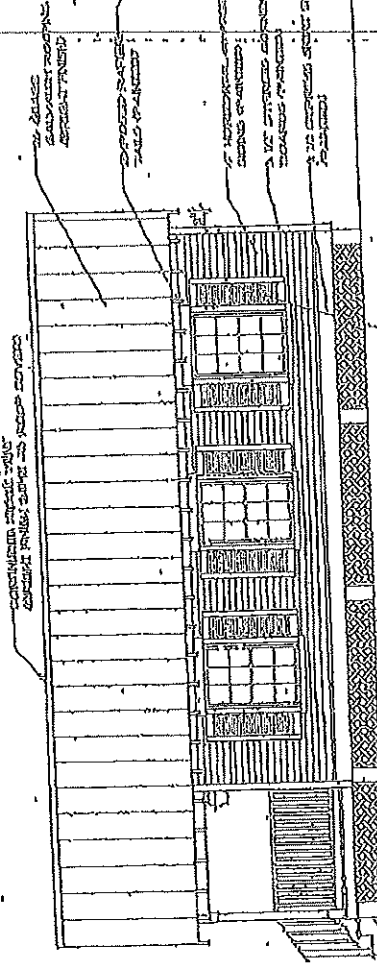
Bay St. Louis Historic Preservation Commission
March 1, 2008



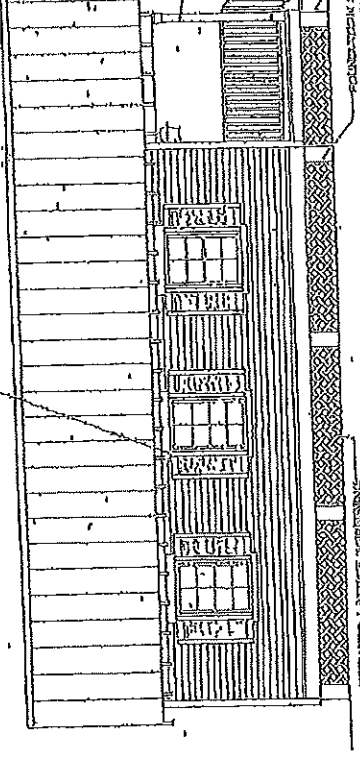
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

1. 2" x 4" STUDS WITH 1/2" GYPSUM BOARD OVER SHEATHING TO COVER ALL EXTERIOR WALLS AND CEILING.

2. 2" x 4" STUDS WITH 1/2" GYPSUM BOARD OVER SHEATHING TO COVER ALL EXTERIOR WALLS AND CEILING.

3. 2" x 4" STUDS WITH 1/2" GYPSUM BOARD OVER SHEATHING TO COVER ALL EXTERIOR WALLS AND CEILING.

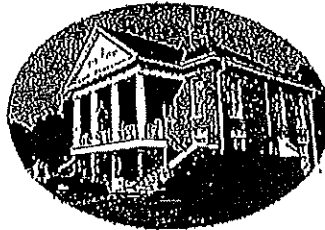
4. 2" x 4" STUDS WITH 1/2" GYPSUM BOARD OVER SHEATHING TO COVER ALL EXTERIOR WALLS AND CEILING.

EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

THIS DRAWING IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE CLIENT AGREES TO HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL SUCH REPRODUCTION OR TRANSMISSION. DATE: MARCH 1, 2000



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: BEACH TIME, LLC

Address: 18391 Runnymede Rd., Pass Christian, MS 39571
(No P.O. Boxes)

Telephone Number (228) 2551286 Cell Number (228) 2634820

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: New construction of duplex

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 336 State St., Bay St. Louis, MS 39520
 Applicant Name: David Rush Owner Name: Beach Time, LLC
 18391 Runnymede Rd 18391 Runnymede Rd
 Mailing Address: Pass Christian, MS 39571 Mailing Address: Pass Christian, MS 39571
 Phone: 228-263-4820 Phone: 228-255-1286

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I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: David Rush Date: June 12, 2024

Owner's Signature Required: David Rush Date: June 12, 2024

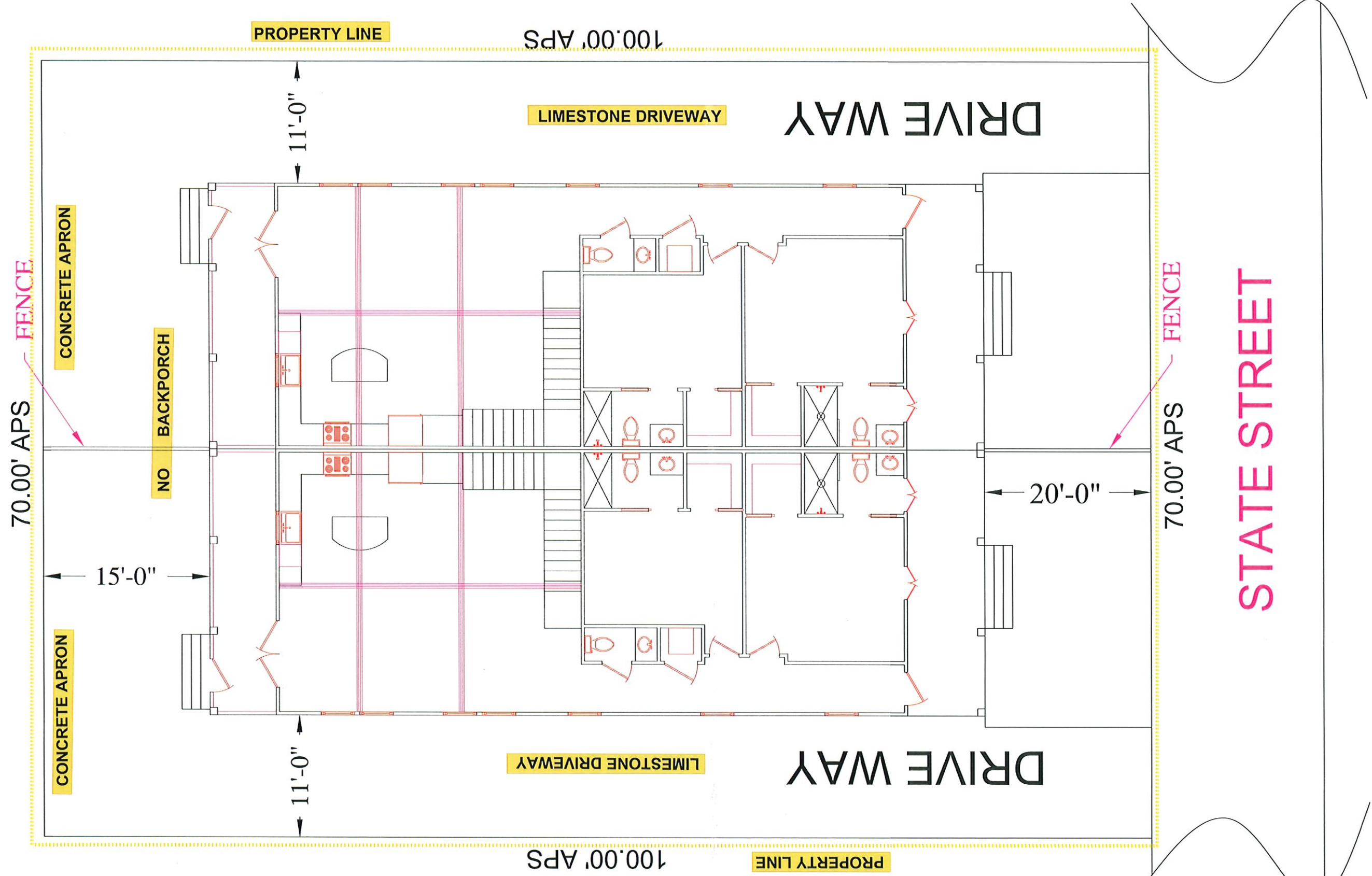
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Historic Preservation Commission / City Council Use Only

Application

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Review	Review Date
Recommendation:	Approval [] Approval with Conditions [] Disapproval []
Comments:	
Requires Property Owner/Applicant Signature	
[] City Council Review	
COA Action:	Approval [] NO [] Date COA Action
Comments:	
BSL Historic Preservation Commissioner	City Council Member Signature
	Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department



NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, TO CORRECT THE ERROR AND /OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGN.

PLANS FOR
DAVID RUSH
DUPLEX

REVISIONS

date	description

PLOT PLAN

NECAISE DESIGN
228-493-1046

DRAWN BY : HN

DATE: 2-5-24

SCALE 1/4" = 1'-0"

SHEET NUMBER :
1

NECAISE DESIGN
ALL RIGHTS RESERVED

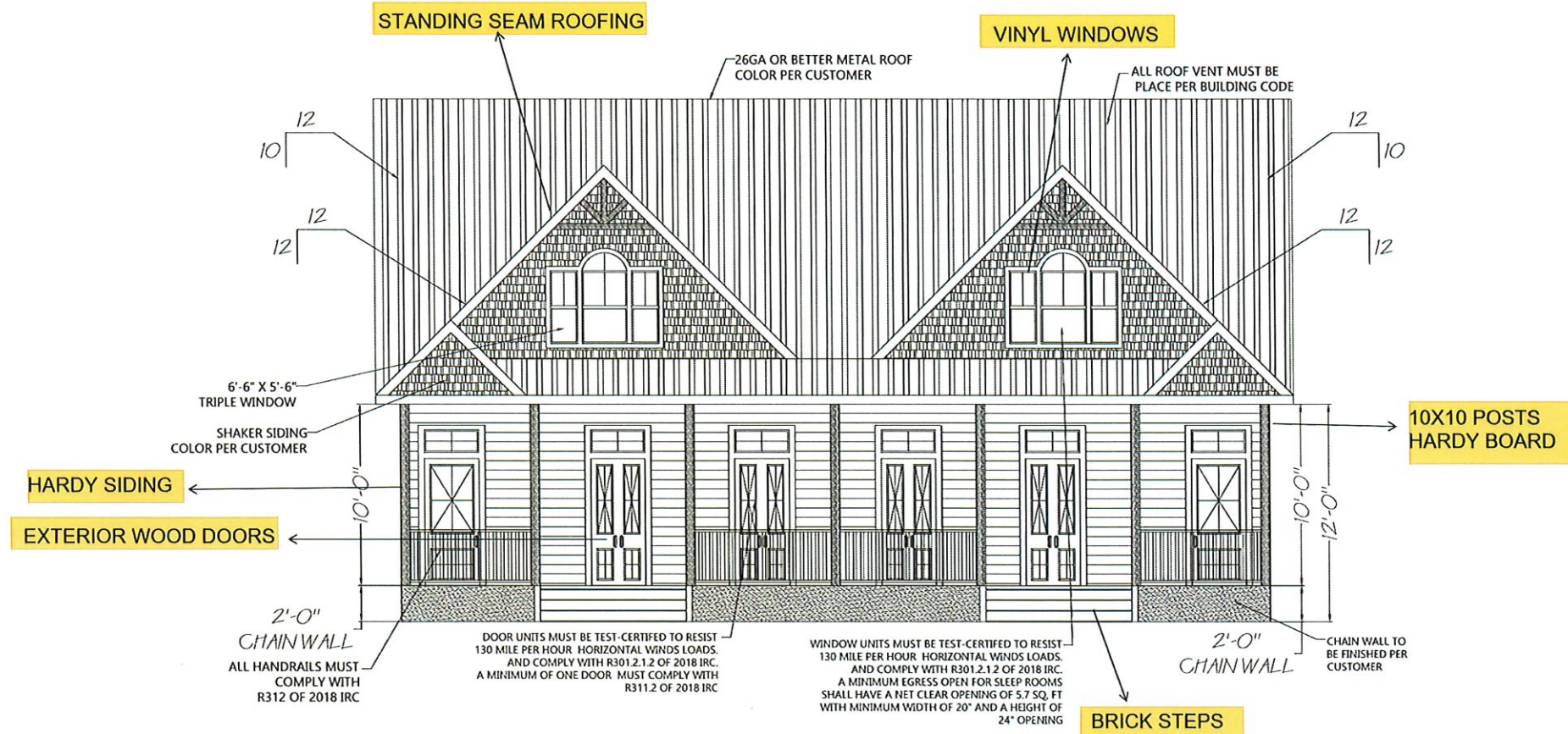
RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)

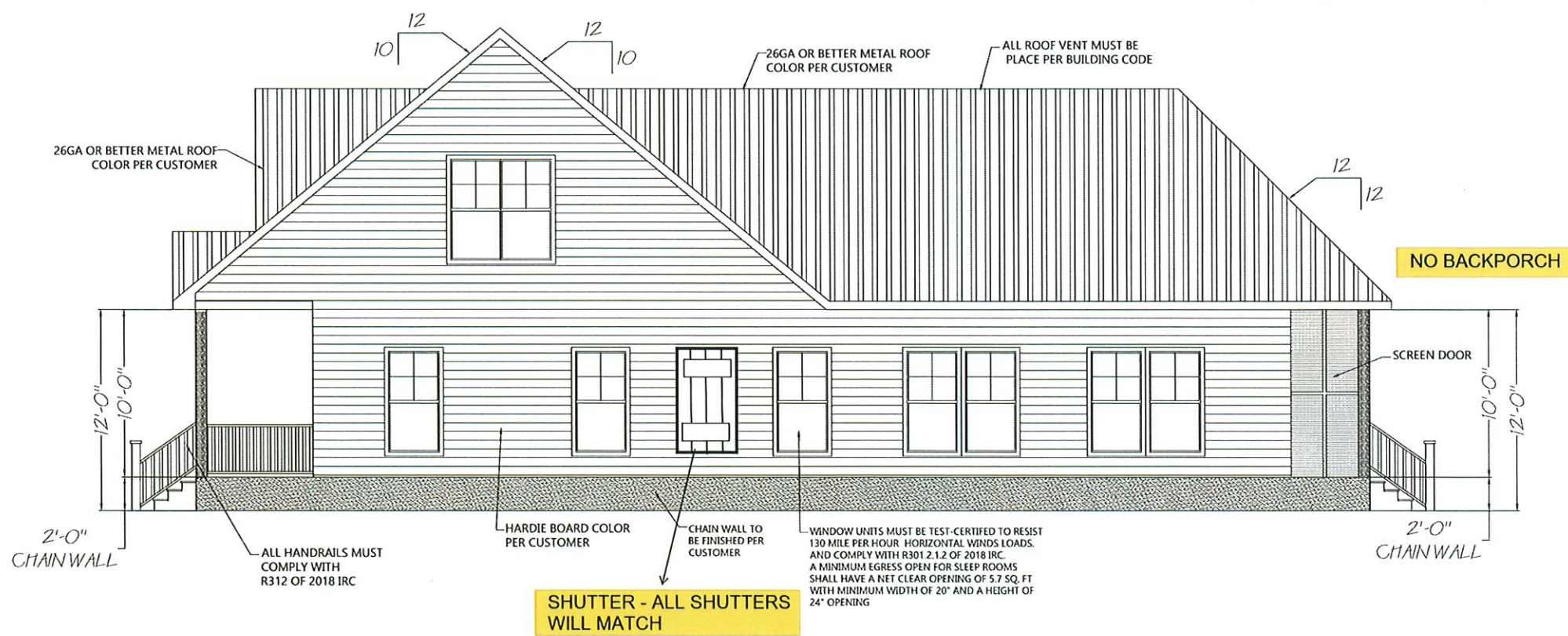
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-6"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)

FRONT ELEVATION



RIGHT ELEVATION



- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
 5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
 6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
 7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION(CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS)
 8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
 9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
 10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
 11. ALL 6\"/>

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ELEVATION

NECAISE DESIGN
228-493-1046

Revisions	description	date

PLANS FOR
DAVID RUSH
DUPLIX

DRAWN BY : HN
DATE: 2-13-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
2
NECAISE DESIGN
ALL RIGHTS RESERVED

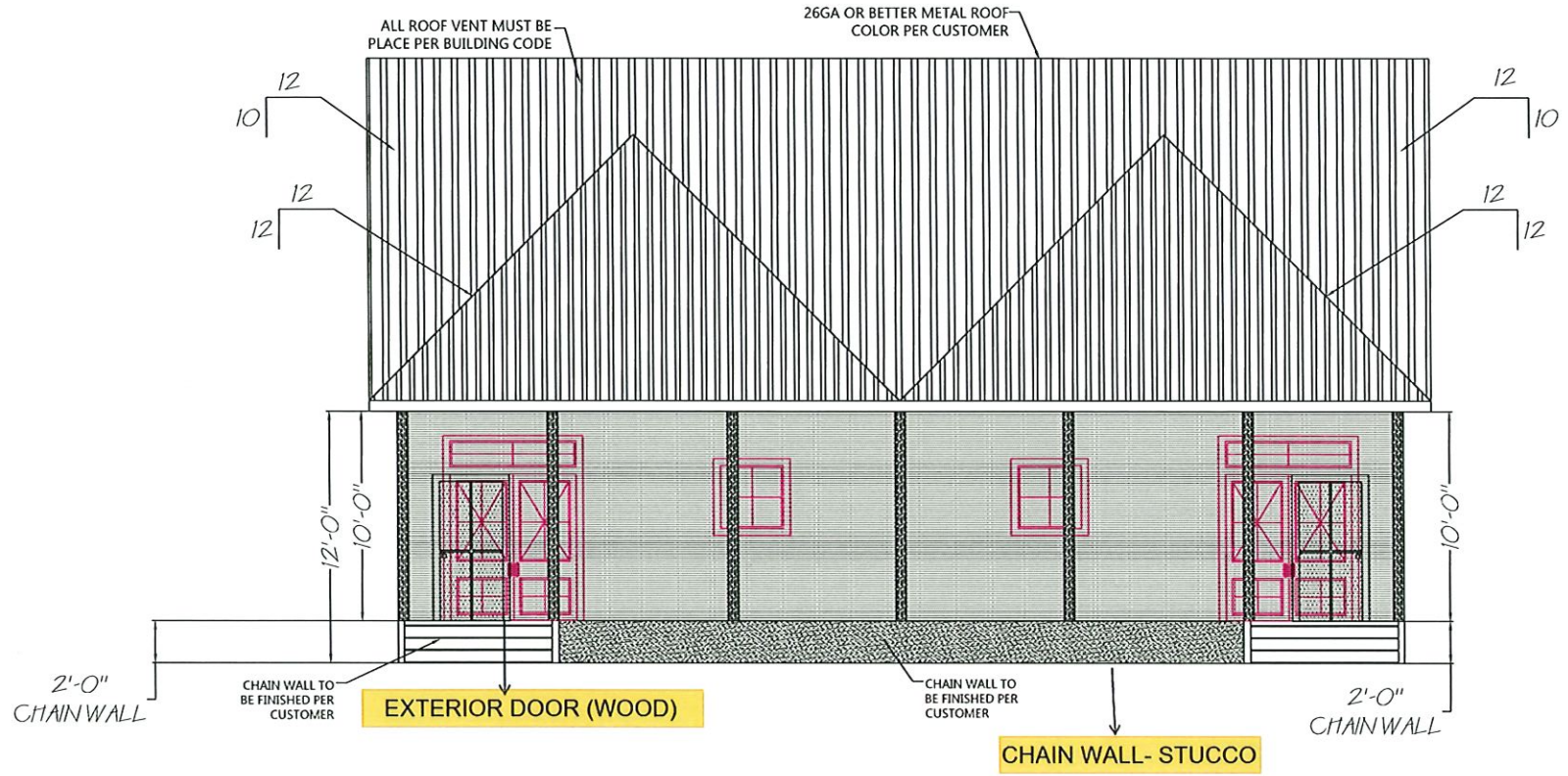
RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)

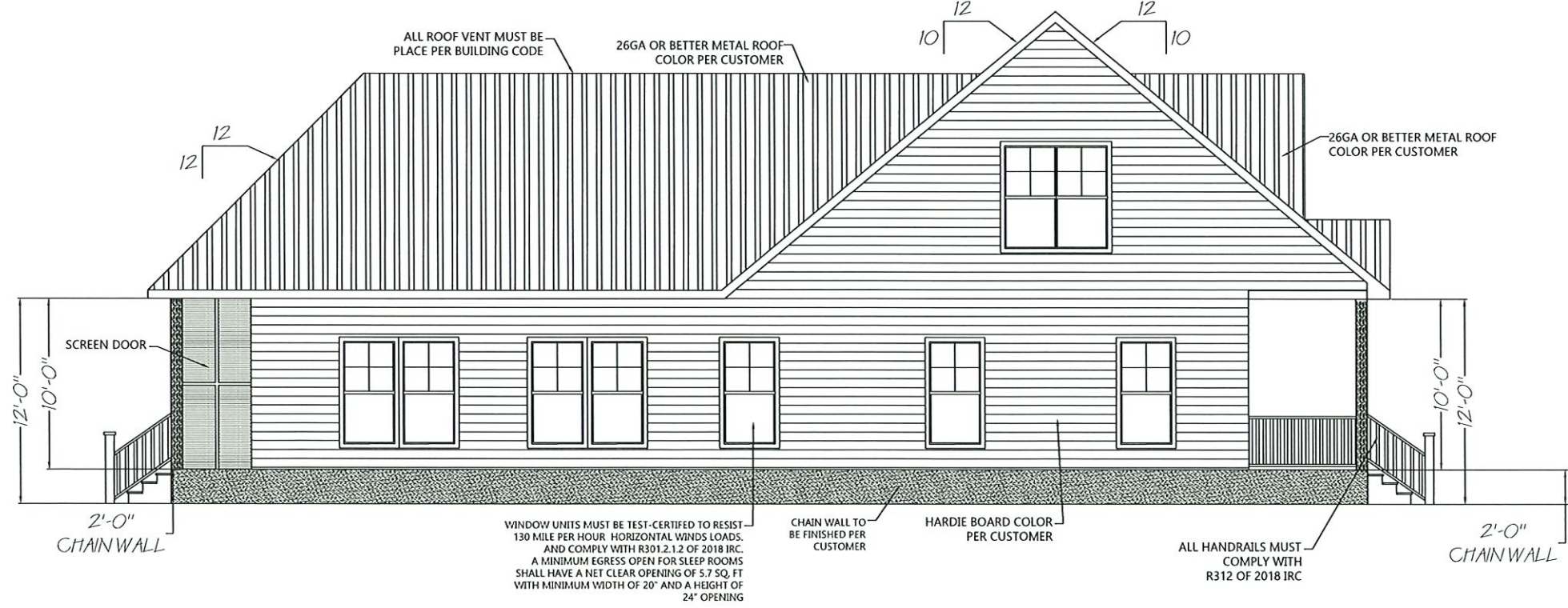
CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-8"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-8"
	24.0	14'-9"

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)

REAR ELEVATION



LEFT ELEVATION



- GEN. NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
 2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
 3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
 5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
 6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
 7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION! **CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS**
 8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES,METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
 9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
 10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
 11. ALL 6" GUTTERS WILL BE PER CUSTOMER

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ELEVATION
NECAISE DESIGN
228-493-1046

Revisions	
date	description

PLANS FOR
**DAVID RUSH
DUPLX**

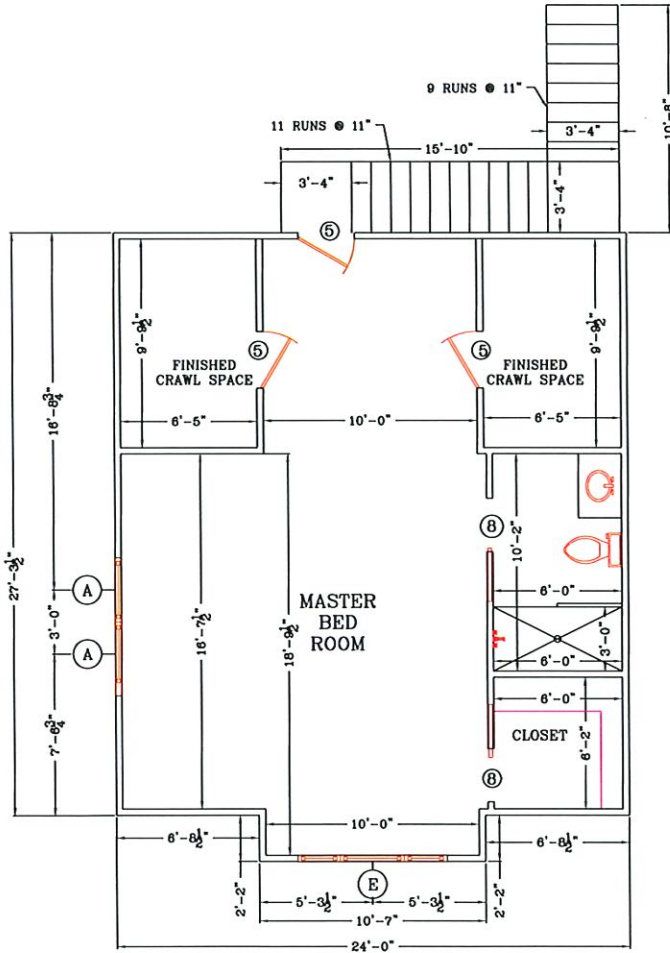
DRAWN BY : HN
DATE: 2-13-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
3
NECAISE DESIGN
ALL RIGHTS RESERVED

APARTMENT 1

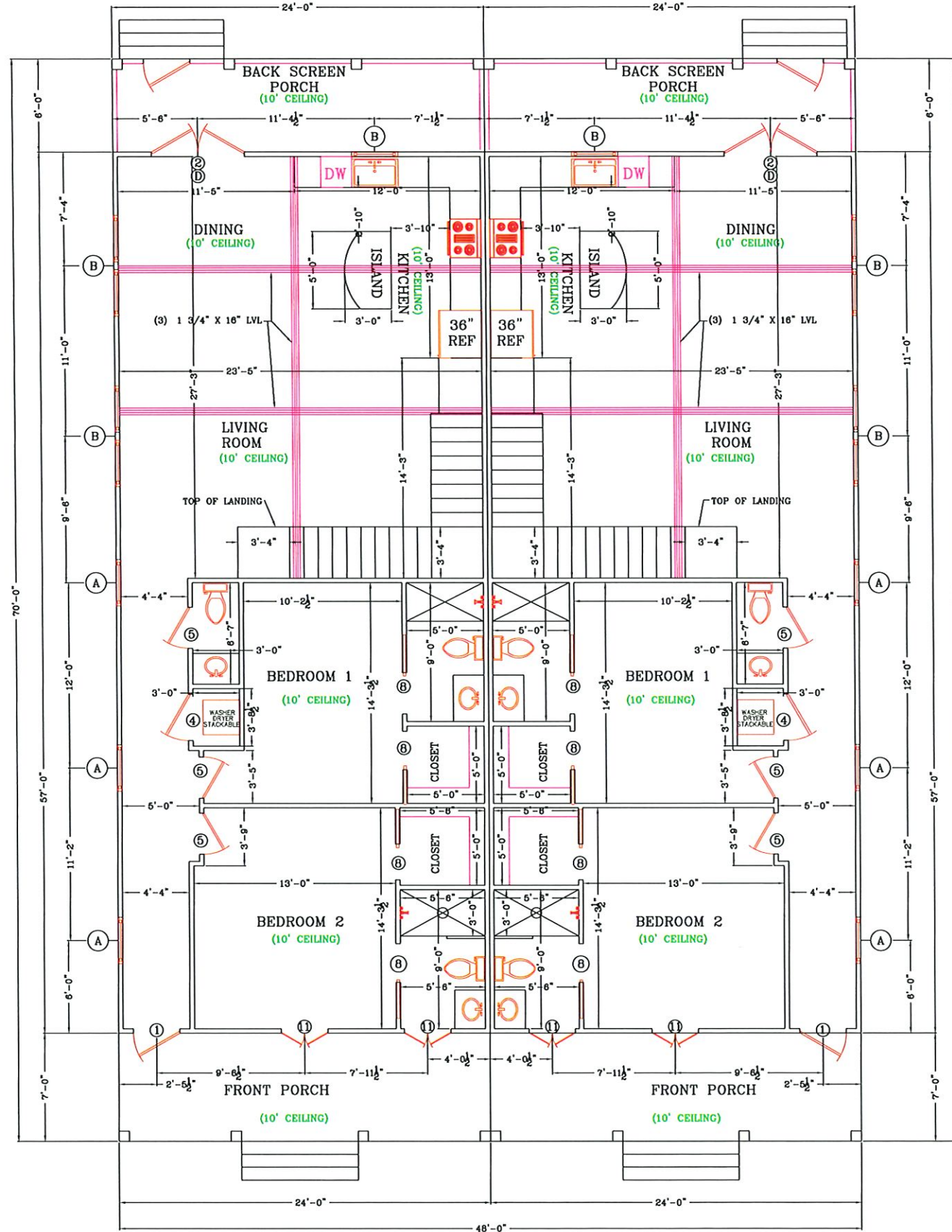
2,046 SQ. FT. LIVING AREA
 204 SQ. FT. FRONT COVERED PORCH
 168 SQ. FT. REAR COVERED PORCH

APARTMENT 2

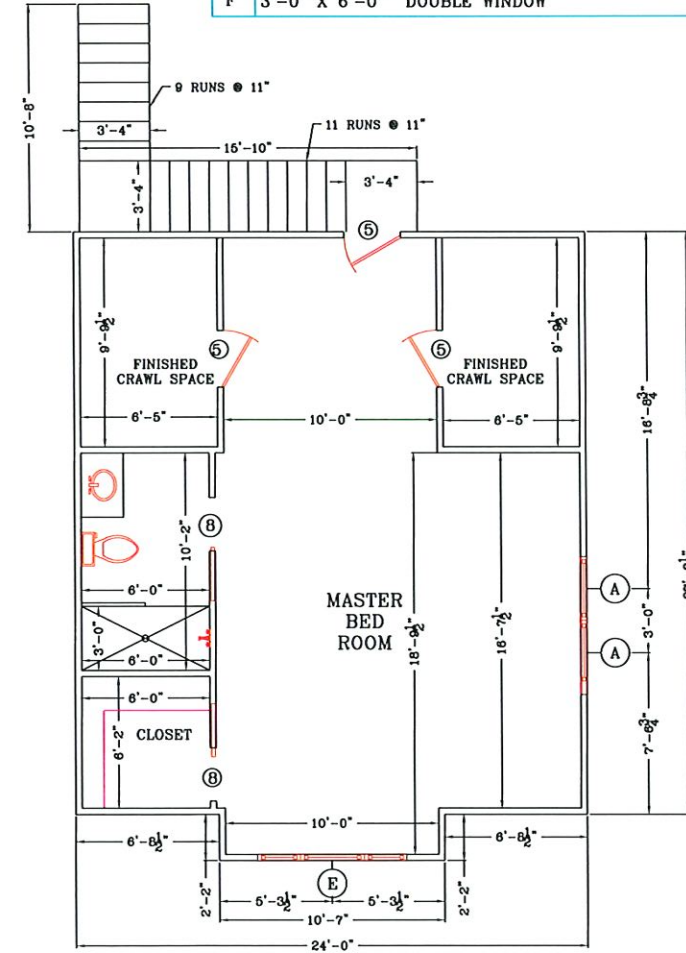
2,046 SQ. FT. LIVING AREA
 204 SQ. FT. FRONT COVERED PORCH
 168 SQ. FT. REAR COVERED PORCH



2ND FLOOR



1ST FLOOR



2ND FLOOR

DOOR SCHEDULE	
MK	DESCRIPTION
1	3'-0" X 7'-0" EXT. DOOR WITH 15" TRANSOM DOOR TO BE CHOSEN AT LATER DATE
2	3'-0" X 8'-0" EXT. DOUBLE DOOR UNIT
3	3'-0" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
4	3'-0" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
5	2'-8" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
6	2'-4" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
7	2'-0" X 8'-0" INT. 6 PNL. COLONIAL DOOR UNIT
8	2'-6" X 8'-0" INT. POCKET DOOR UNIT
9	3'-0" X 8'-0" EXT. DOOR UNIT
10	2'-4" X 8'-0" EXT. DOOR UNIT
11	1'-6" X 7'-0" EXT. DOUBLE DOOR WITH 15" TRANSOM

WINDOW SCHEDULE	
MK	DESCRIPTION
A	3'-0" X 6'-0" WINDOW
B	3'-0" X 4'-0" WINDOW
C	3'-0" X 5'-0" WINDOW
D	1'-0" X 6'-0" TRANSOM WINDOW
E	3'-0" X 5'-0" WINDOW WITH 2'-0" SIDE WINDOWS
F	3'-0" X 6'-0" DOUBLE WINDOW

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FLOOR PLAN

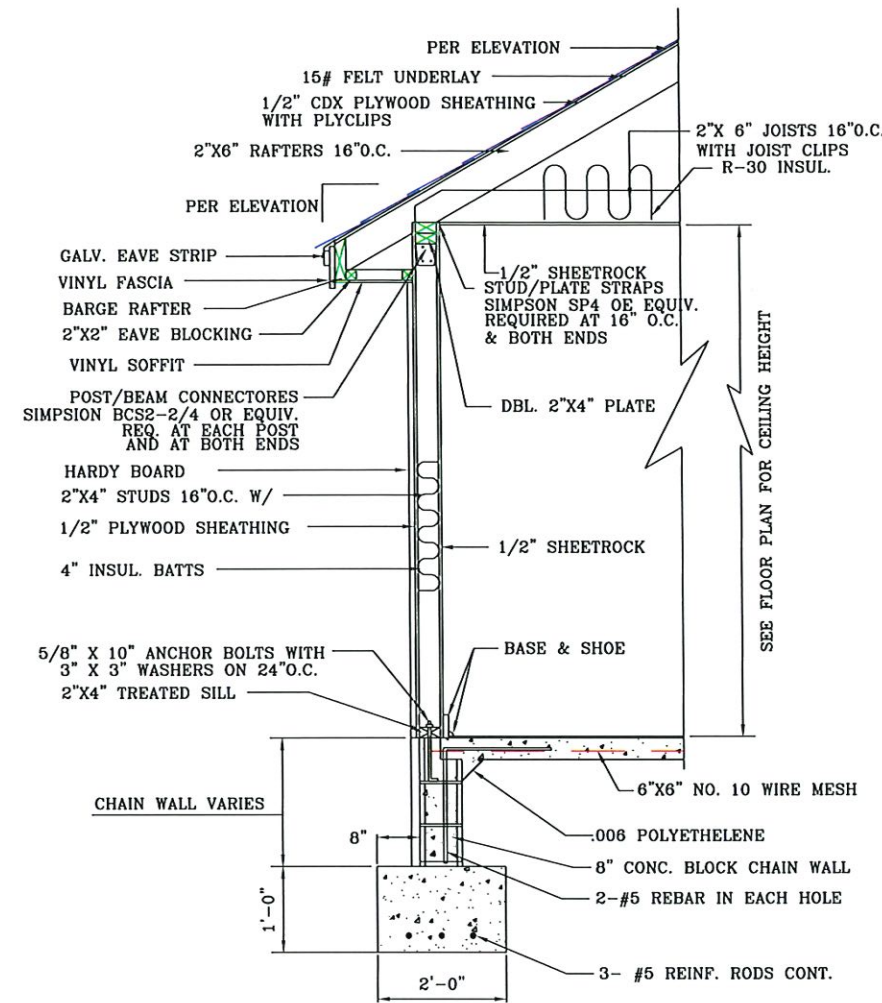
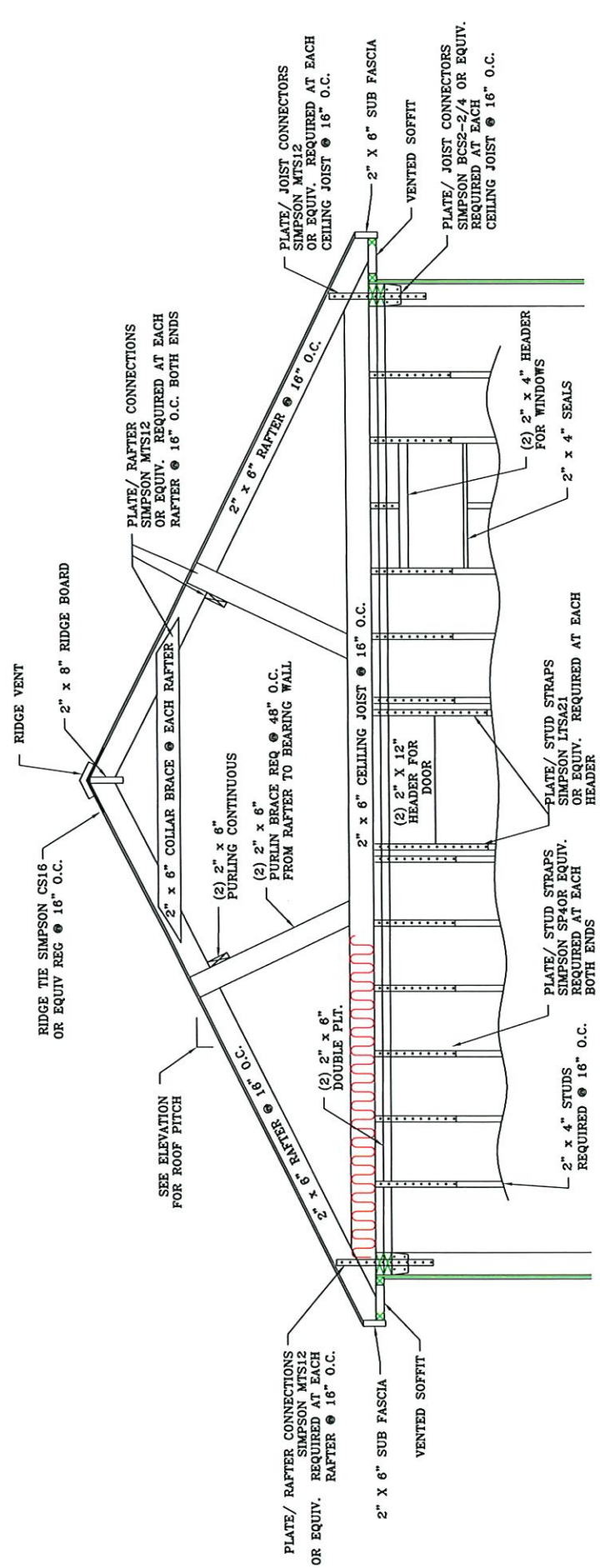
NECAISE DESIGN
 228-493-1046

Revisions	
date	description

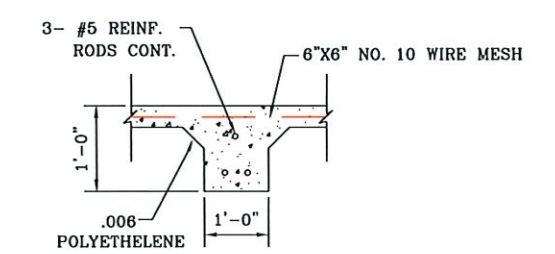
PLANS FOR
 DAVID RUSH
 DUPLEX

DRAWN BY : HN
 DATE: 2-22-24
 SCALE 1/4" = 1'-0"
 SHEET NUMBER :
4

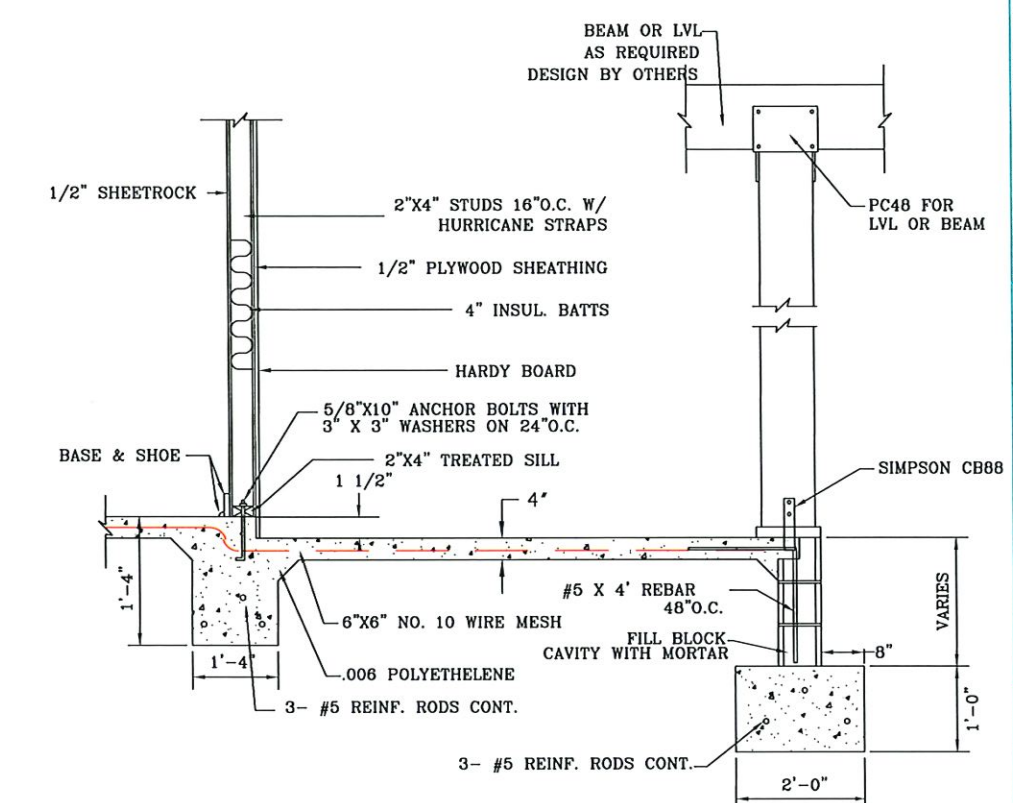
NECAISE DESIGN
 ALL RIGHTS RESERVED



DETAIL A-A



SECTION C-C



SECTION B-B

- NOTES:
- 1) ALL CONSTRUCTION TO MEET OR EXCEEDS LOCAL, STATE, AND FEDERAL BUILDING CODES
 - 2) CONTRACTOR TO CHECK AND ASSUME RESPONSIBILITY OF ALL DIMENSIONS.
 - 3) GALVANIZED FRAMING CONNECTORS REQUIRED FOR WIND RESISTANCE AS PER LOCAL BUILDING CODE.

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DRAWING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATIONS, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR. CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGN.

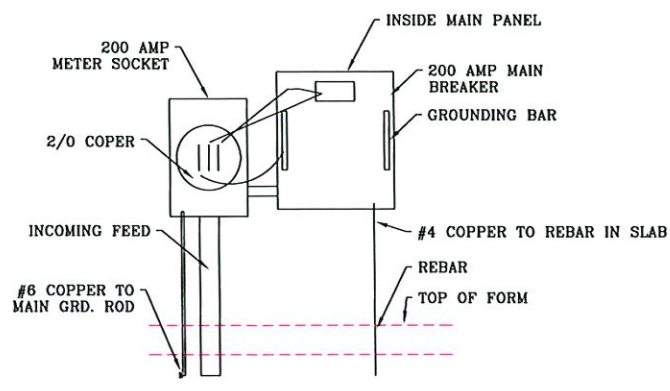
FOUNDATION & WALL DETAILS
NECAISE DESIGN
228-493-1046

Revisions	
date	description

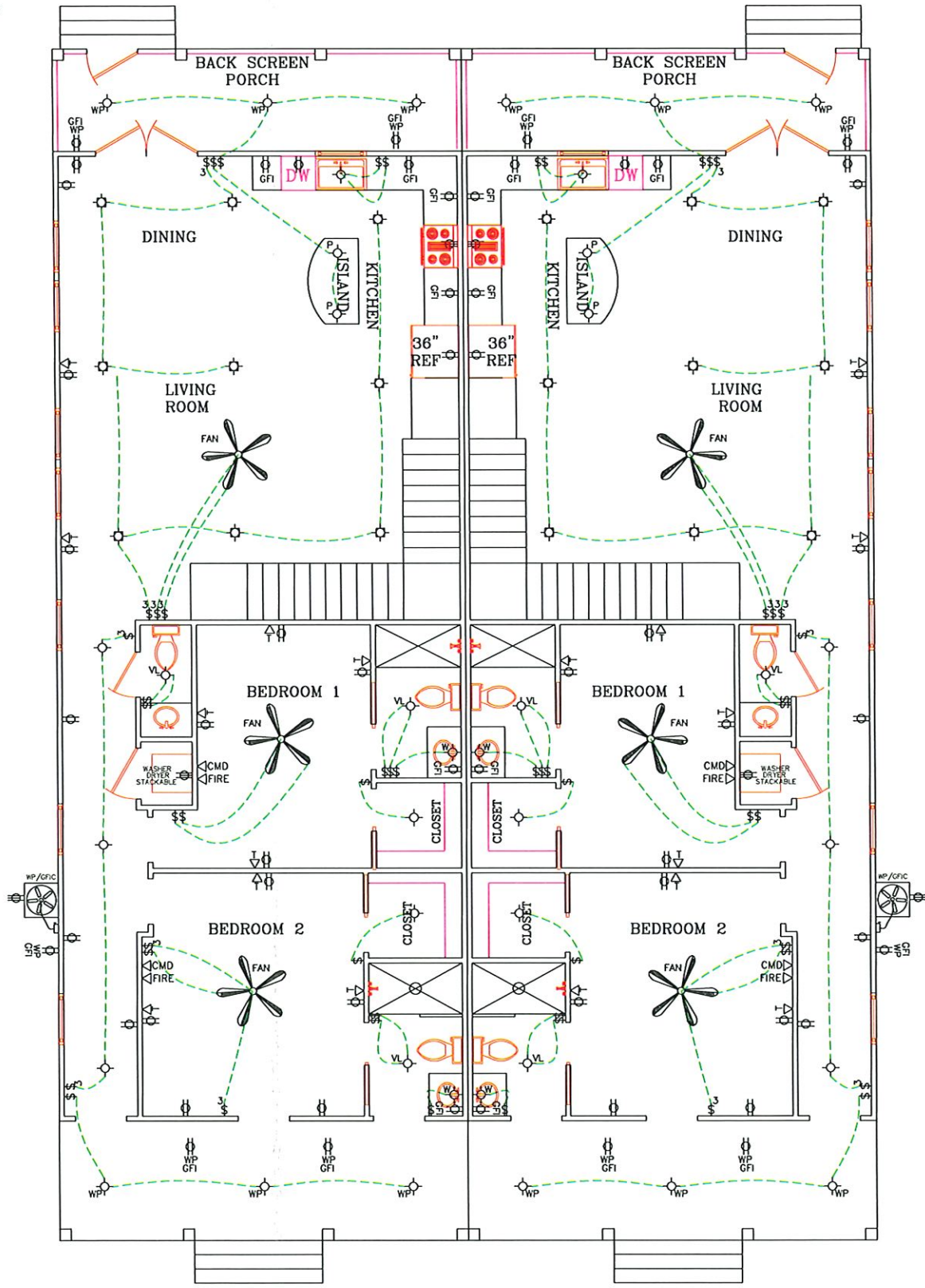
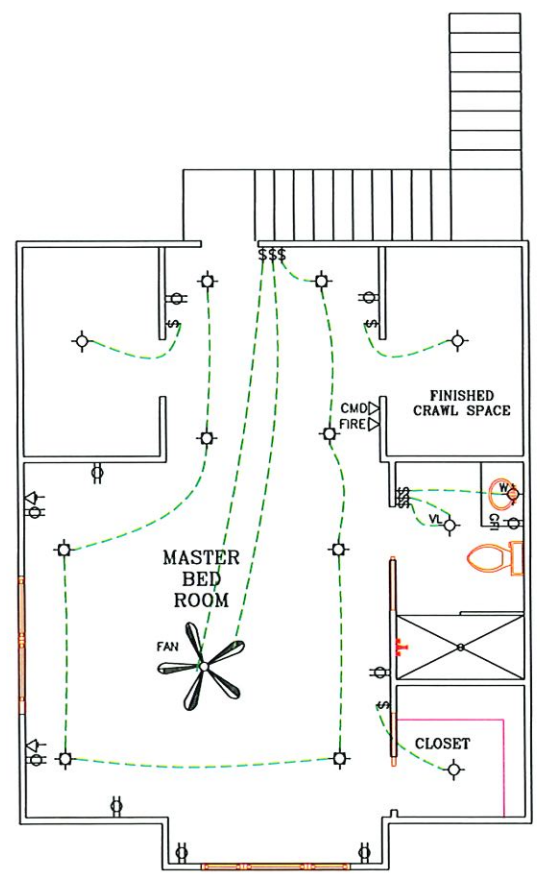
PLANS FOR
DAVID RUSH
DUPLIX

DRAWN BY : HN
DATE: 7-30-21
SCALE 1/4" = 1'-0"

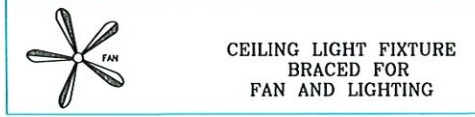
SHEET NUMBER :
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NECAISE DESIGN
ALL RIGHTS RESERVED



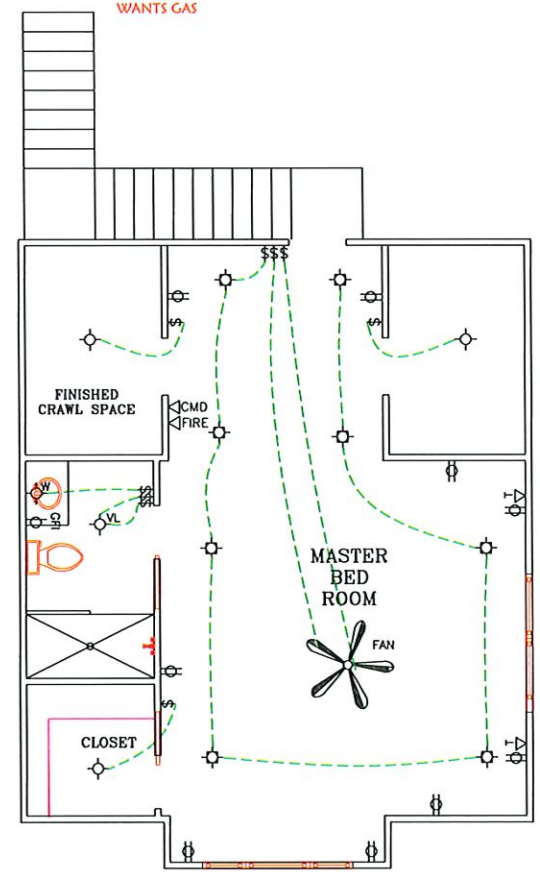
ELECTRICAL RISER DIAGRAM
NOT TO SCALE



ELECTRICAL SCHEDULE			
SYM	DESCRIPTION	SYM	DESCRIPTION
\$	115V WALL SWITCH	⊕	CEILING LIGHT FIXTURE VENT-LIGHT
\$3	115V WALL SWITCH 3 WAY	⊕	LIGHT FIXTURE RECESSED DOWN LIGHT
⊕	CEILING LIGHT FIXTURE	⊕	CEILING LIGHT FIXTURE PENDANT W/ EXTRA BRACING
⊕	WATERPROOF LIGHT FIXTURE	⊕	WALL MOUNT LIGHT FIXTURE
⊕	SOFFIT MOUNTED MOTION DETECTING FLOOD LIGHT	⊕	115V DUAL CEILING MOUNTED RECEPTACLE
⊕	EACH TO BE ON SEPARATE SWITCH AND CIRCUIT.	⊕	115V DUAL RECEPTACLE SPLIT-WIRED
⊕	115V DUAL ROOF RECEPT.	⊕	115V DUAL WALL RECEPTACLE WEATHERPROOF GND. FAULT INT.
⊕	115V DUAL WALL RECEPTACLE	⊕	115V DUAL WALL RECEPTACLE GROUND-FAULT INTERRUPT
⊕	115V DUAL FLOOR MOUNTED RECEPTACLE	⊕	115V DUAL WALL RECEPTACLE MOUNTED ABOVE KIT. WALL CABS.
⊕	TELEVISION CABLE WALL JACK	⊕	220V SINGLE WALL RECEPTACLE
⊕	TELEPHONE WALL JACK	⊕	CAT 5 OR 7CABLE + r45
⊕	SMOKE DETECTOR	⊕	115V WALL SMART SWITCH
⊕	CARBON MONOXIDE DETECTOR	⊕	WATERPROOF RECESSED LIGHT FIXTURE



- NOTES:
- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
 - 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
 - 3) HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR. IF ELECTRIC WATER HEATER IS UTILIZED IN PLACE OF TANKLESS WATER HEATER AND IS LOCATED IN THE ATTIC, UNIT SHALL BE IN 6" PVC WITH 1" DRAIN TO EXTERIOR.
 - 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
 - 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
 - 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301, M1401 AND M1601.
 - 7) 24" WIDE WALK REQUIRED FROM ATTIC ACES TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
 - 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E3601, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
 - 9) GAS HOT WATER HEATER. LINE TO BE RUN BY GAS COMPANY LOCATION PER CUSTOMER IF CUSTOMER WANTS GAS



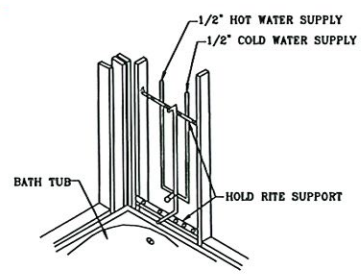
NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

ELECTRICAL DETAILS
NECAISE DESIGN
228-493-1046

Revisions	description
date	

PLANS FOR
DAVID RUSH
DUPLEX

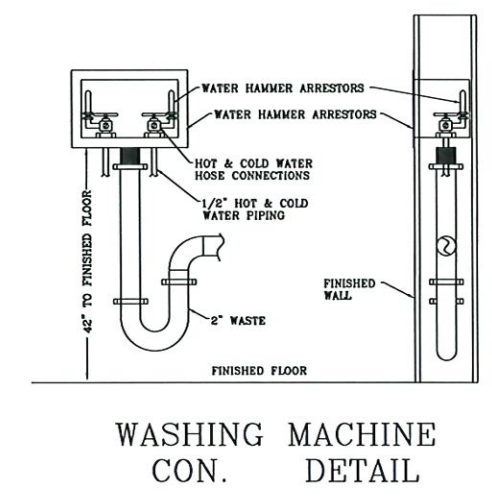
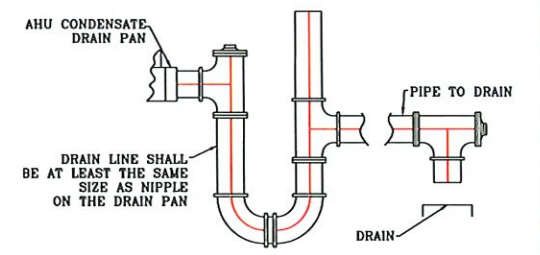
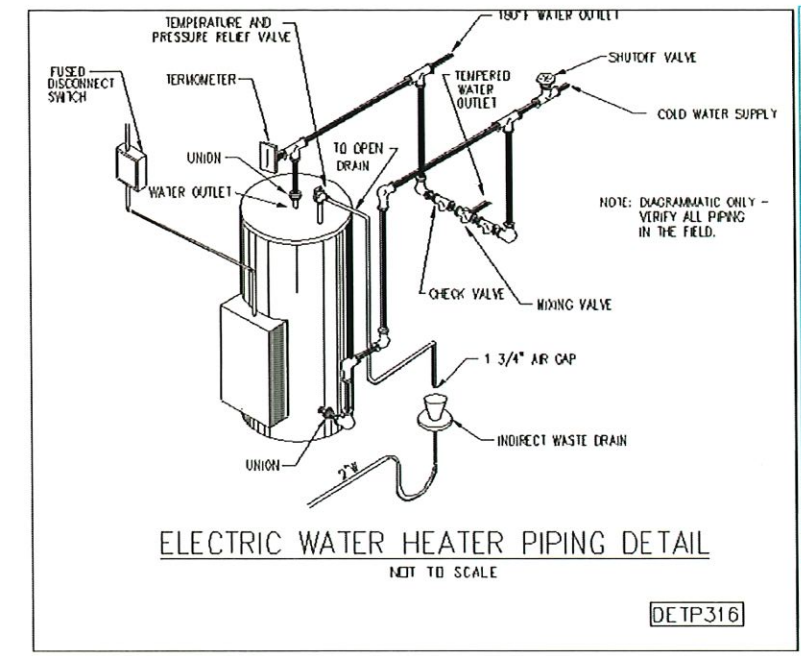
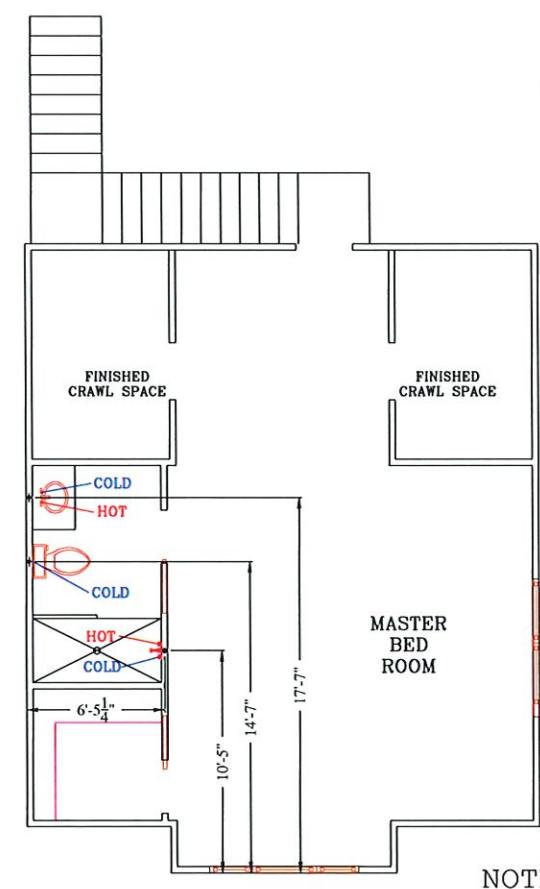
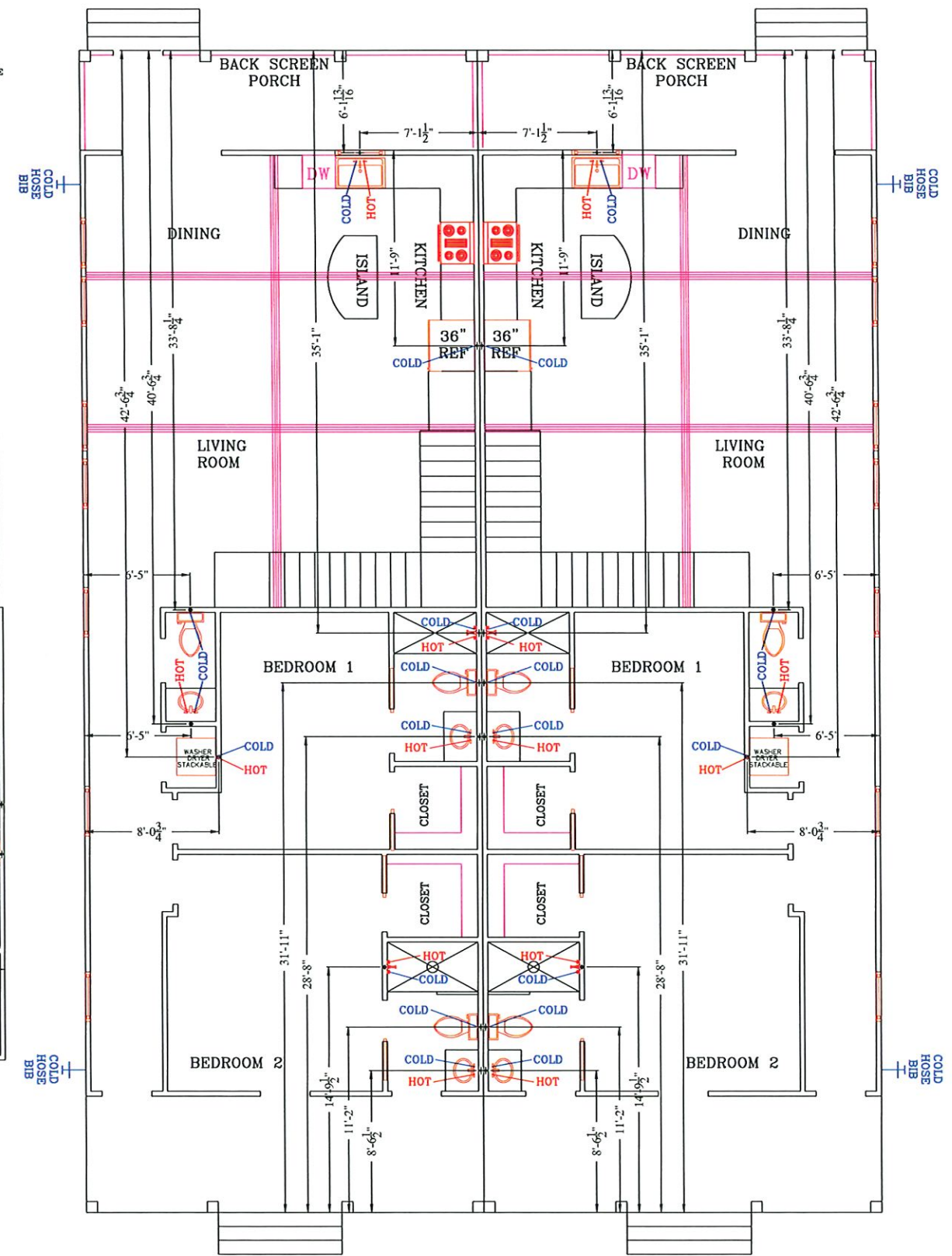
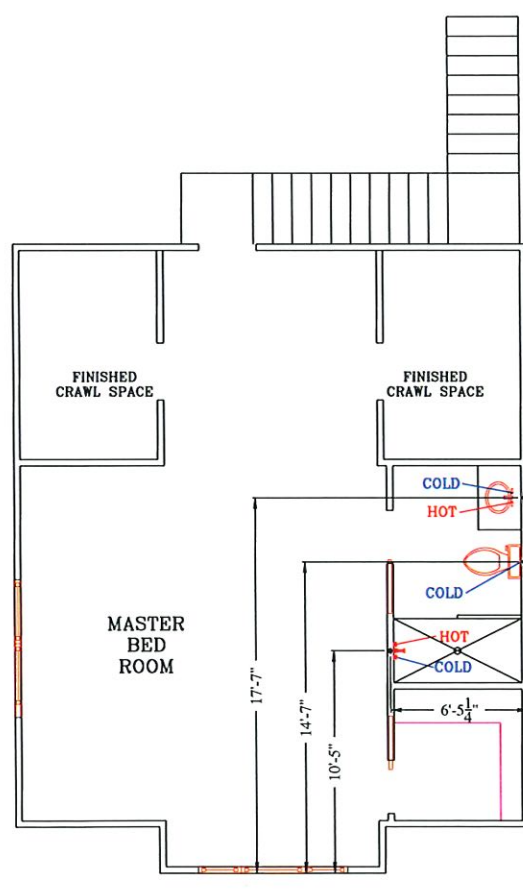
DRAWN BY : HN
DATE: 2-22-24
SCALE 1/4" = 1'-0"
SHEET NUMBER :
6
NECAISE DESIGN
ALL RIGHTS RESERVED



NOTES:
 1) SHOWER HEAD ROUGH-IN USE # 101 ON HORIZONTAL PLANE WITH ENDS BENT UP. MAKE A CONNECTION THAT SHALL NOT RATTLE AND SHALL NOT PULL AWAY FROM THE WALL.
 2) VALVE SUPPORT. USE #101 ON HORIZONTAL PLANE WITH ENDS BENT UP. THIS SHALL BOTH ALIGN AND SUPPORT THE VALVE.
 3) TUB SPOUT SUPPORT. USE # 101 ON HORIZONTAL PLANE. THIS SHALL PROVIDE STRONG SUPPORT FOR THE TUB SPOUT.

TYP TUB/SHOWER SUPPLY SUPPORT

- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
- 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
- 3) WATER HEATER AND HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR.
- 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
- 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
- 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301, M1401 AND M1601.
- 7) 24" WIDE WALK REQUIRED FROM ATTIC ACCESS TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
- 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E36014, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
- 9) ALL PLUMBING WALL MUST BE SIZED ACCORDING TO PIPE PENETRATING.



NOTE:
 ALL SLOPES, DRAINS, VENTS, WATER LINES & OTHER EQUIPMENT SPECIFICATIONS ARE TO BE CHECKED & VERIFIED BY THE PLUMBING CONTRACTOR & TO BE DONE UP TO CODE.
 ALL SLOPES, DRAINS, VENTS, WATER LINES & OTHER EQUIPMENT SPECIFICATIONS ARE TO BE CHECKED & VERIFIED BY THE PLUMBING CONTRACTOR & TO BE DONE UP TO CODE.

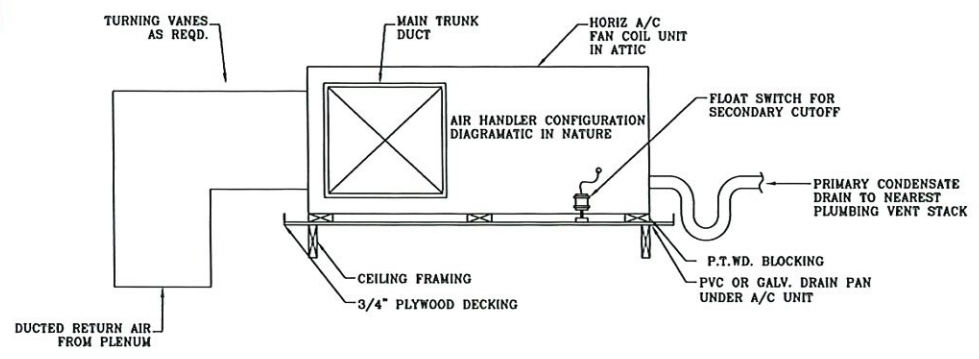
NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

PLUMBING DETAILS
 NECAISE DESIGN
 228-493-1046

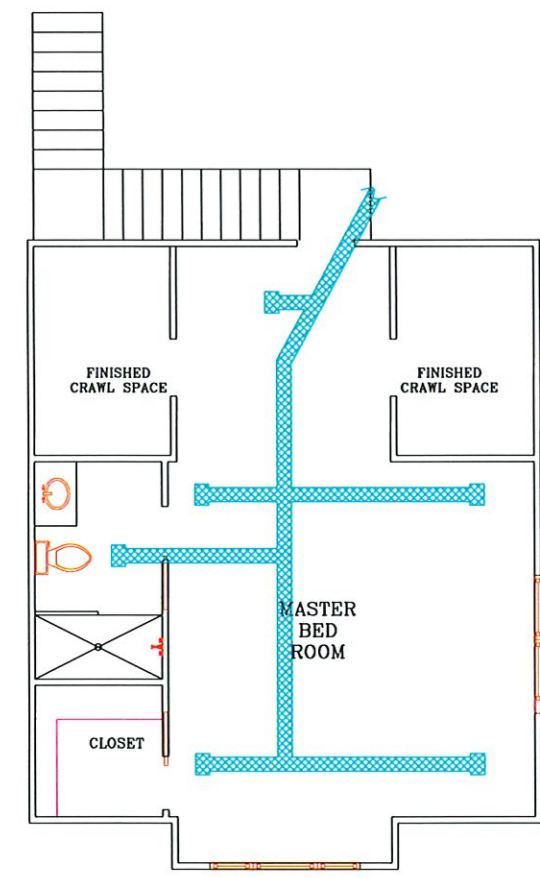
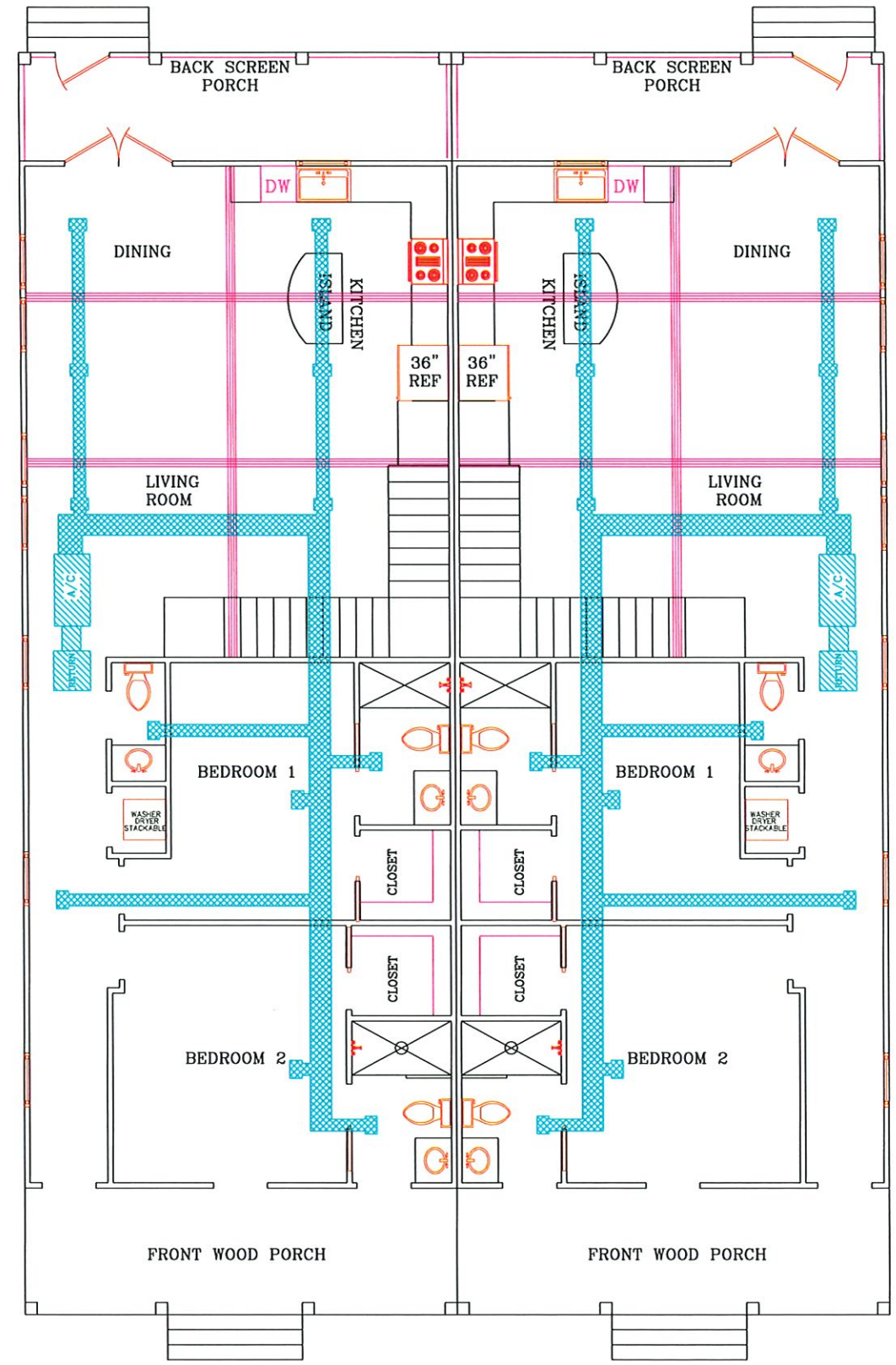
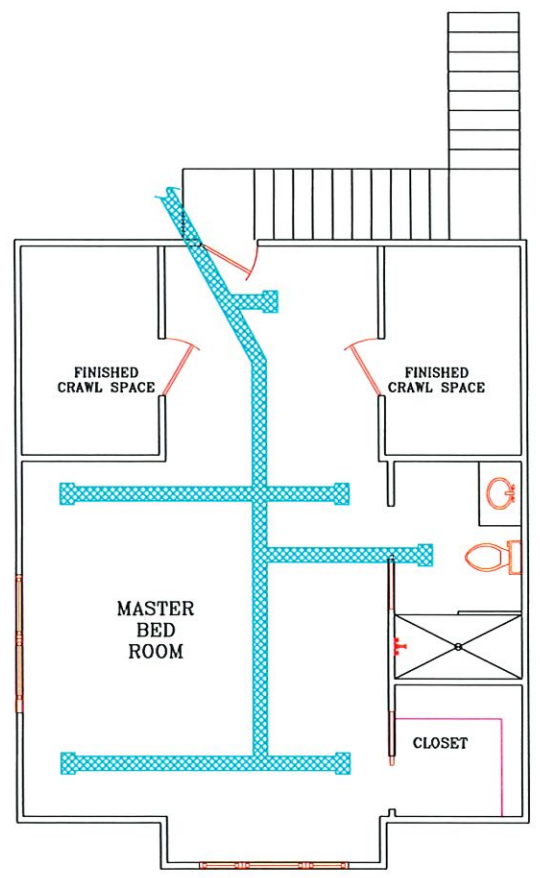
Revisions	
date	description

PLANS FOR
 DAVID RUSH
 DUPLEX

DRAWN BY : HN
 DATE: 2-24-24
 SCALE 1/4" = 1'-0"
 SHEET NUMBER :
7
 NECAISE DESIGN
 ALL RIGHTS RESERVED



AIR HANDLER (HORIZONTAL)



NOTE:

HEAT GAIN/LOSS CALCULATION; DUCT SIZE AND REGISTER LOCATION; CONTROLS AND EQUIPMENT SPECIFICATIONS ARE TO BE PROVIDED BY THE MECHANICAL CONTRACTOR

- 1) ELECTRICAL OUTLETS SHALL BE LOCATED WITHIN A REASONABLE DISTANCE OF WHERE SHOWN ON PLANS
- 2) CENTRAL HEATING AND AIR CONDITIONERS SHALL BE DESIGNED BY MECHANICAL CONTRACTOR WITH A PERFORMANCE WARRANTY.
- 3) WATER HEATER AND HEATING UNITS IN ATTIC SHALL BE IN 6" PVC PANS WITH 1" DRAIN TO EXTERIOR.
- 4) ALL ELECTRICAL LIGHTING FIXTURES, RECEPTACLE OUTLETS AND SMOKE DETECTORS IN KITCHEN, LAUNDRY, BATHS, GARAGE AND EXTERIOR SHALL BE GROUND FAULT PROTECTED.
- 5) EXTERIOR ELECTRICAL SERVICE SHALL BE DETERMINED ON SITE BY ELECTRICAL CONTRACTOR AND OR THE LOCAL POWER COMPANY.
- 6) MECHANICAL SYSTEM SHALL COMPLY WITH M1301, M1401 AND M1601.
- 7) 24" WIDE WALK REQUIRED FROM ATTIC ACCESS TO MECHANICAL SYSTEM AND WATER HEATER WITH SWITCHABLE LIGHT AND 110 VOLT OUTLET AT SYSTEM IN ATTIC.
- 8) ELECTRICAL SYSTEM SHALL COMPLY WITH SECTION E3501, E3601, E3701, E3801, E3901, E4001 AND IF PANEL IS IN ATTIC MUST HAVE ACCESS AND CLEARANCE AND HAVE PROPERLY RATED BREAKERS FOR EXCESSIVE HEAT.
- 9) ALL PLUMBING WALL MUST BE SIZED ACCORDING TO PIPE PENETRATING.

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATIONS, ETC. MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

MECHANICAL DETAILS
NECAISE DESIGN
228-493-1046

Revisions	description
date	

PLANS FOR
DAVID RUSH
DUPLEX

DRAWN BY : HN

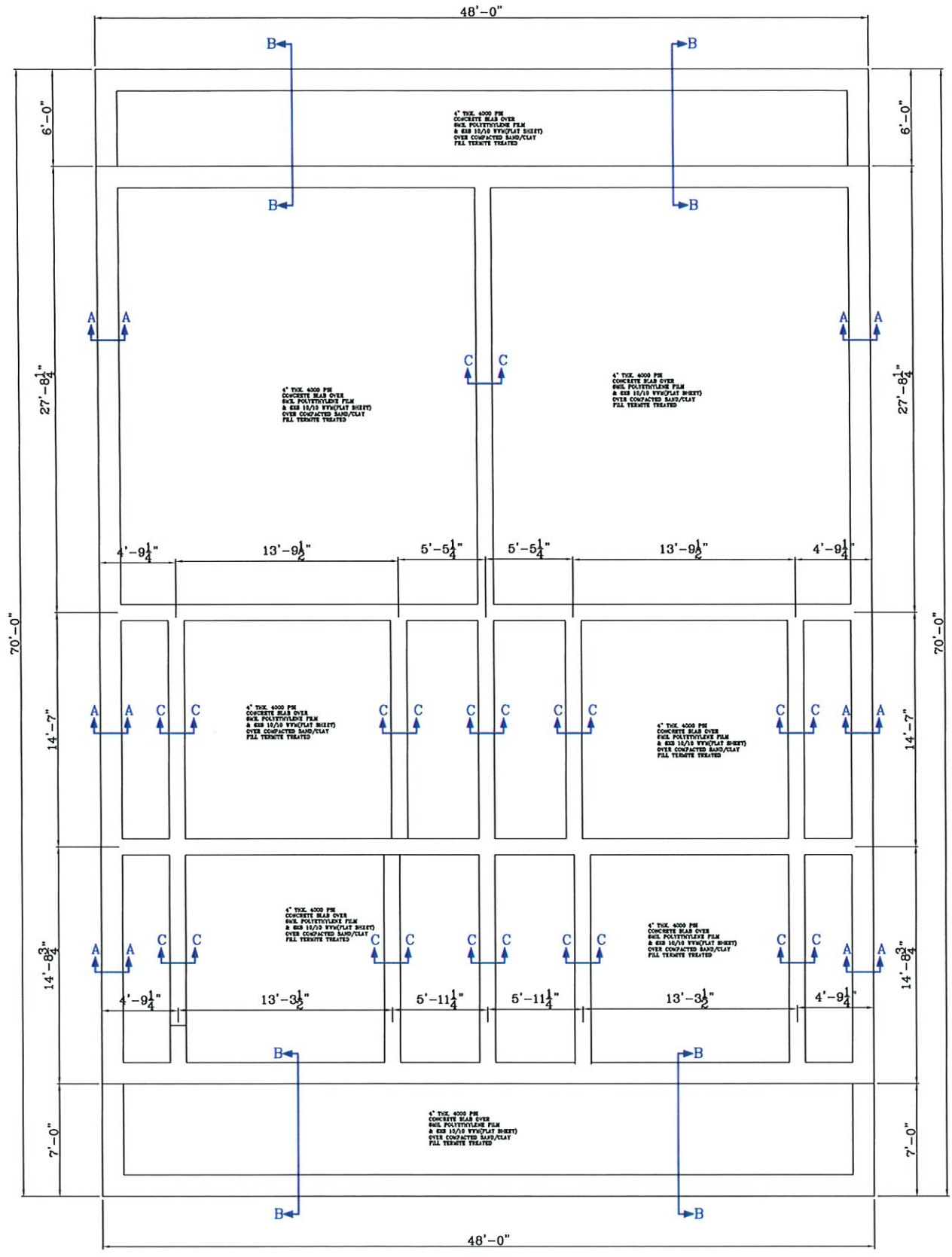
DATE: 2-13-24

SCALE 1/4" = 1'-0"

SHEET NUMBER :



NECAISE DESIGN
ALL RIGHTS RESERVED



NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

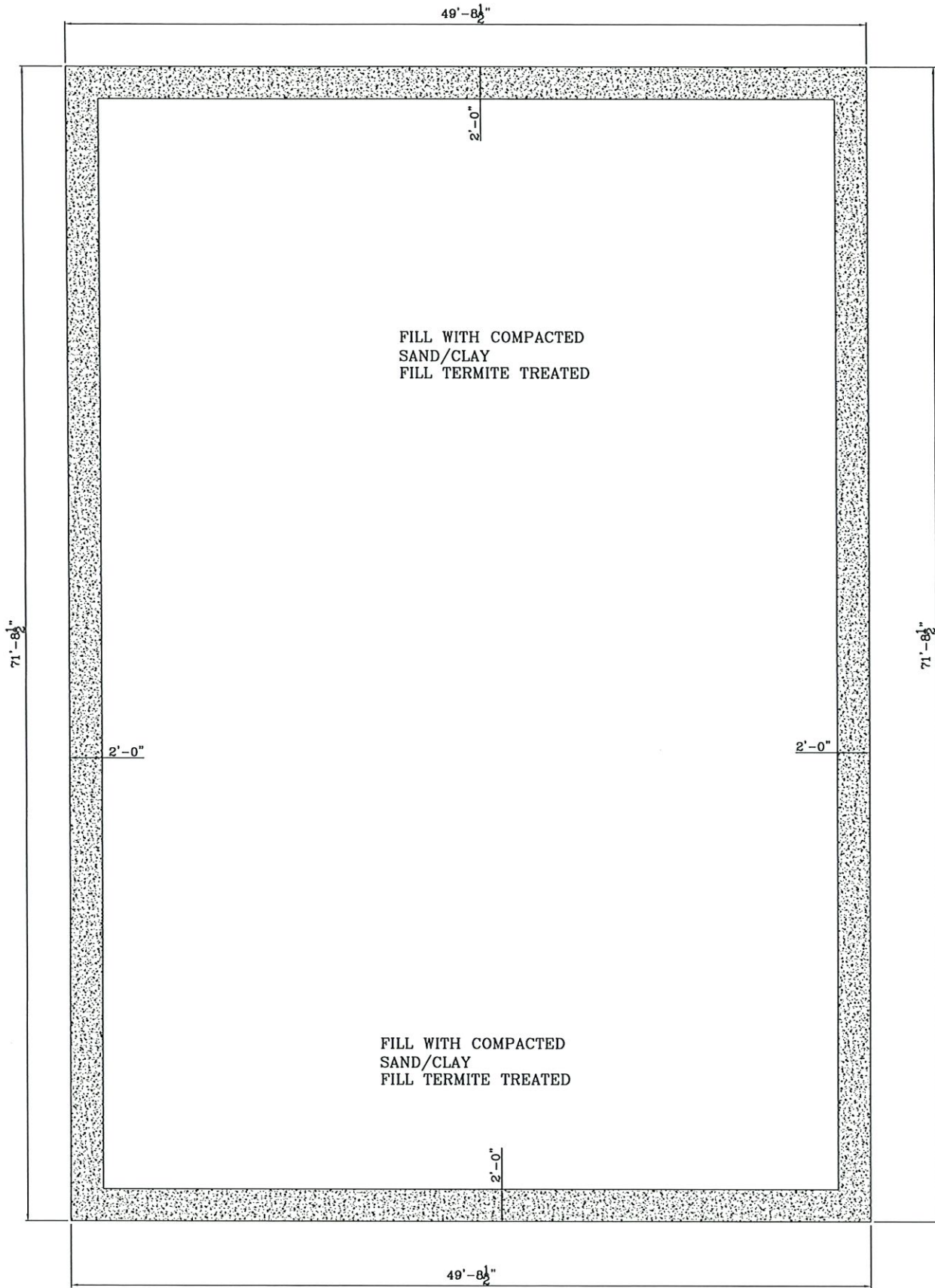
FOUNDATION PLAN
NECAISE DESIGN
 228-493-1046

REVISIONS	
date	description

PLANS FOR
DAVID RUSH
DUPLEX

DRAWN BY : HN
 DATE: 2-26-24
 SCALE 1/4" = 1'-0"

SHEET NUMBER :
9
 NECAISE DESIGN
 ALL RIGHTS RESERVED



BASE FOR CHAIN WALL

Revisions	
date	description

PLANS FOR
**DAVID RUSH
DUPLEX**

DRAWN BY : HN
DATE: 2-26-24
SCALE 1/4" = 1'-0"

SHEET NUMBER :
9A
NECAISE DESIGN
ALL RIGHTS RESERVED

FOUNDATION PLAN
NECAISE DESIGN
228-493-1046

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 204 Keller St. Bay St. Louis, Ms.
 Applicant Name: Joelle Foret Owner Name: SAME
 Mailing Address: 709 Kellywood Ct. COVINGTON LA. 70433 Mailing Address: SAME
 Phone: 504-470-4688 Phone: SAME

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 7/2/24
 Owner's Signature Required: Joelle Foret Date: 7/2/24

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

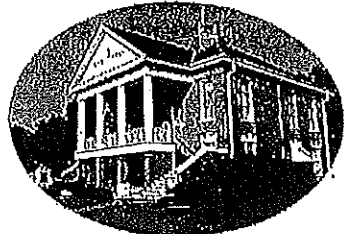
Historic Preservation Commission / City Council Use Only

Historic District:	Case Number:
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date:
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments:	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date:
COA Action: Approval: <input type="checkbox"/> YES <input type="checkbox"/> NO / Date COA Action:	Date:
Comments:	
(BSL/ Historic Preservation Commissioner)	(City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BACKSTREET SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Joelle Foret

Address: 709 Kellywood Ct. Covington, LA. 70433
(No P.O. Boxes)

Telephone Number (504) 470-4688 Cell Number() SAME

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: _____

1. Remove existing carport and storage shed.
 2. Build a carport with attached 2 car garage
- _____
- _____
- _____
- _____

HISTORIC PRESERVATION COMMISSION REVIEW

CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

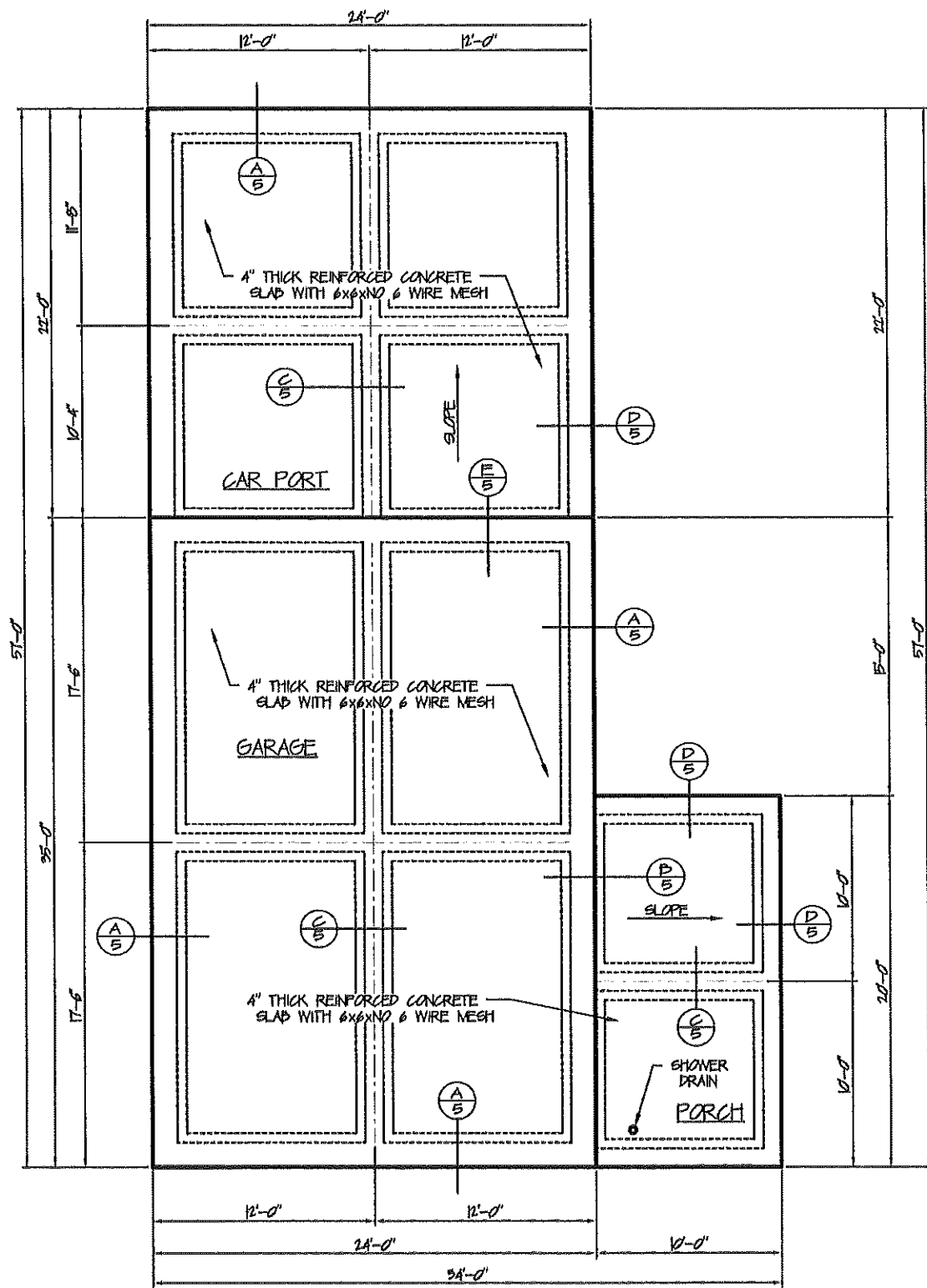
1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hardi-plank, etc...
 - b) Masonry material: brick, stucco, etc...
 - c) Exterior openings; windows and doors: Indicated size, types and materials.
 - d) Shutters and Awnings: Indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

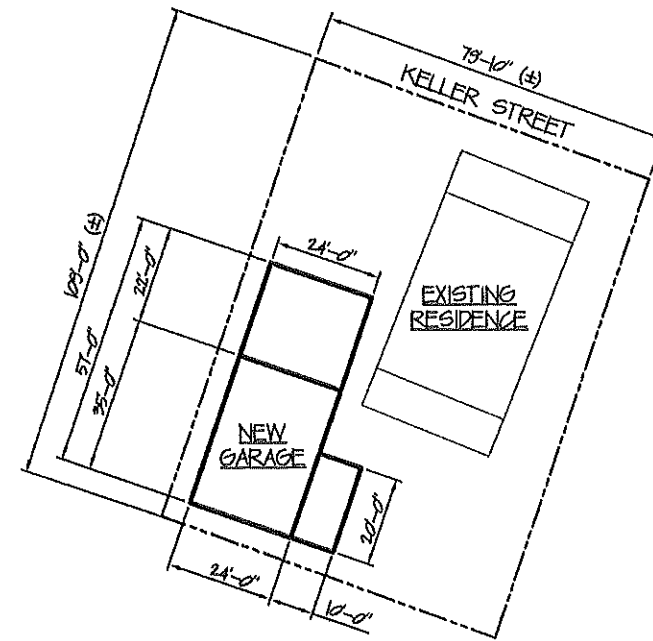
Bay St. Louis Historic Preservation Commission
March 1, 2008



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE (ACI) SPECIFICATIONS FOR CONCRETE AND REINFORCED CONCRETE.
2. SLOPE PORCH SLAB AND CARPORT SLAB 1/8" PER FOOT TO ALLOW FOR PROPER DRAINAGE.
3. SEE DRAWING 5 FOR FOOTING DETAILS.
4. CONCRETE TO BE 3000 P.S.I. MIN.



SITE PLAN
SCALE: 1" = 20'-0"

NOTE: SITE INFORMATION OBTAINED FROM A SURVEY SUPPLIED BY OWNER.

GENERAL LEGEND	
OC.	ON CENTER
WH.	WATER HEATER
AC.	AIR CONDITIONING UNIT
C.J.	CELING JOISTS
R.J.	ROOF JOISTS
F.J.	FLOOR JOISTS
—+ HD.	HOSE BIRD
[Symbol]	STUD WALL

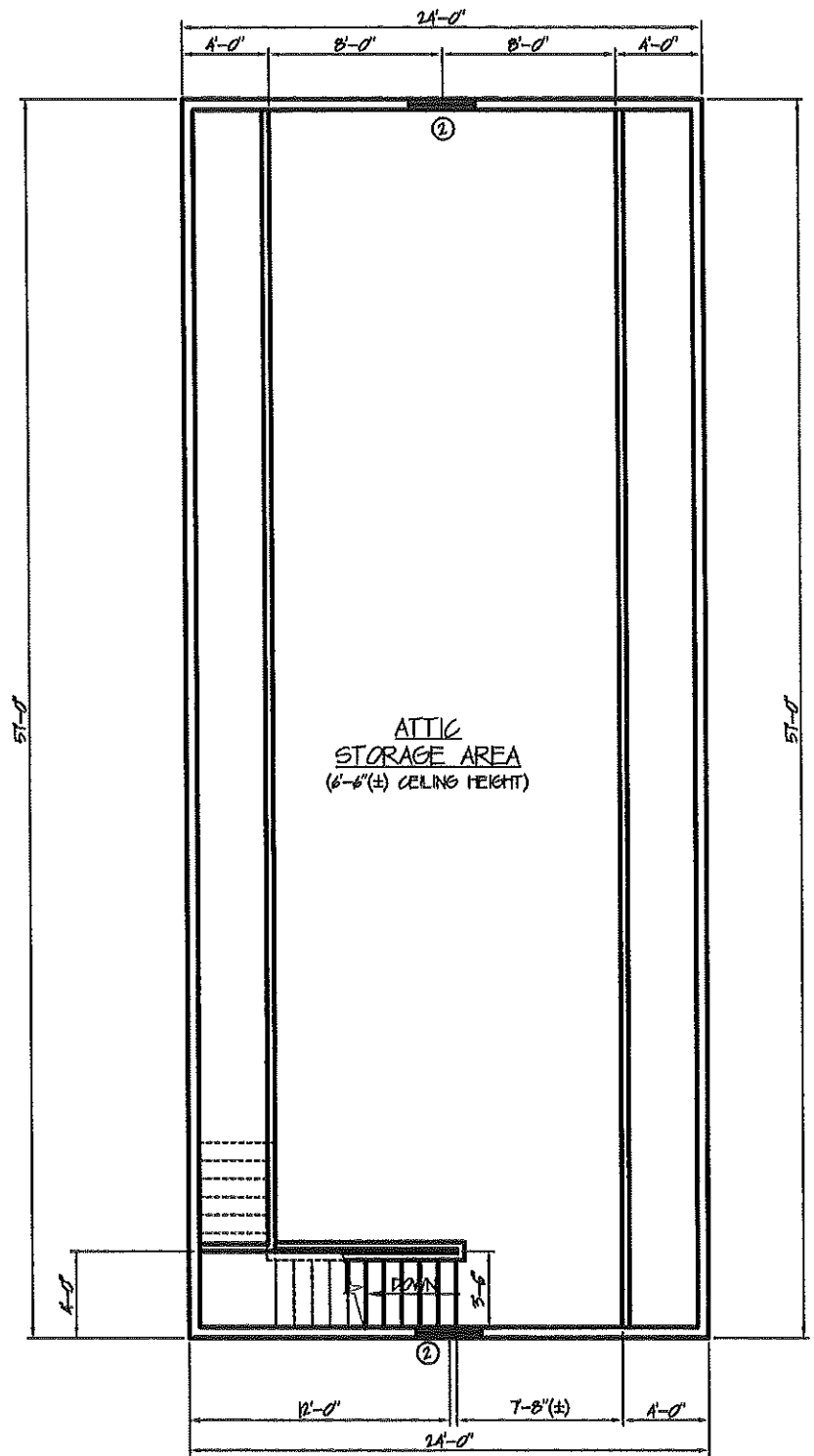
GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES THAT PERTAIN TO AREA.
2. FINAL LOCATIONS OF ALL EQUIPMENT SHALL BE AS DIRECTED PER OWNER.
3. ALL EXTERIOR WALLS TO BE 6" STUD WALLS.
4. ALTHOUGH EVERY EFFORT HAS BEEN MADE WHEN PREPARING THESE DRAWINGS TO MAKE THEM TRUE AND CORRECT TO THE BEST OF OUR ABILITY, IT IS UP TO THE CONTRACTOR TO CHECK ALL CONDITIONS AND BE RESPONSIBLE FOR THE SAME.

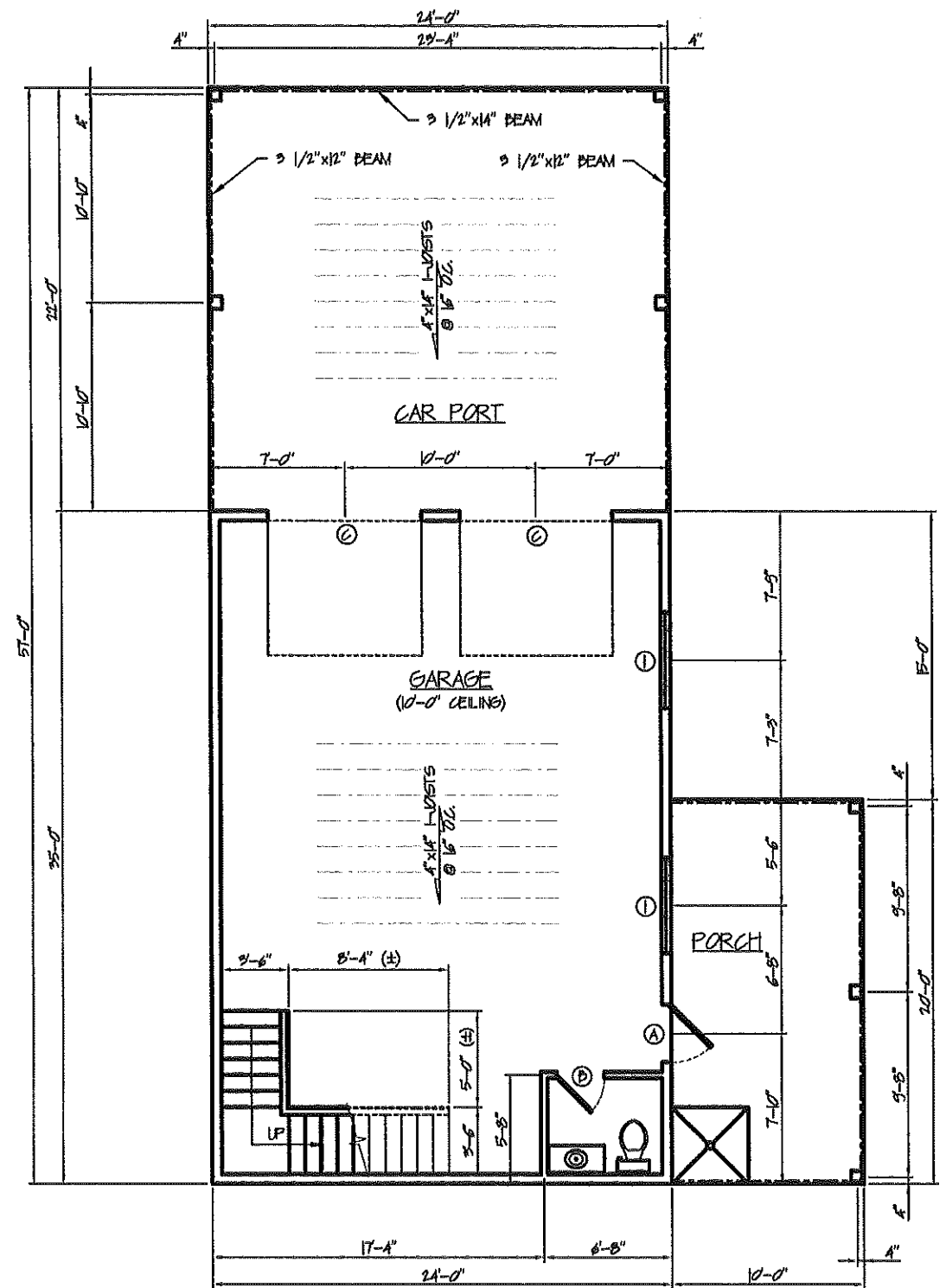
DRAWING INDEX

- 1 OF 5 SITE PLAN, FOUNDATION PLAN, GENERAL NOTES, LEGEND, AND DRAWING INDEX
- 2 OF 5 FLOOR PLAN, ATTIC FLOOR PLAN AND SCHEDULES
- 3 OF 5 ELECTRICAL FLOOR PLANS ELECTRICAL LEGEND AND ELECTRICAL NOTES
- 4 OF 5 ELEVATIONS AND DETAILS
- 5 OF 5 SECTIONS AND FOUNDATION DETAILS

SITE PLAN, FOUNDATION PLAN, GENERAL NOTES, LEGEND AND DRAWING INDEX	
SCALE AS NOTED	DATE: 11/18/82
DESIGNED BY: RT	DRAWN BY: RT
A NEW GARAGE FOR MR. AND MRS. FELIX FORGET, JR.	
224 KELLER ST. MAY SAINT LOUIS, MO 63102	1 OF 5



ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
1	8'-0"	7'-0"	SLIDING, INSULATED	
2	9'-0"	4'-0"	SINGLE HINGE, INSULATED	

SQUARE FOOTAGE SCHEDULE	
GARAGE	840
CARPORT	518
SIDE PORCH	200
TOTAL SQUARE FOOTAGE 1558	
ATTIC STORAGE AREA	882
OVERALL SQUARE FOOTAGE	2450

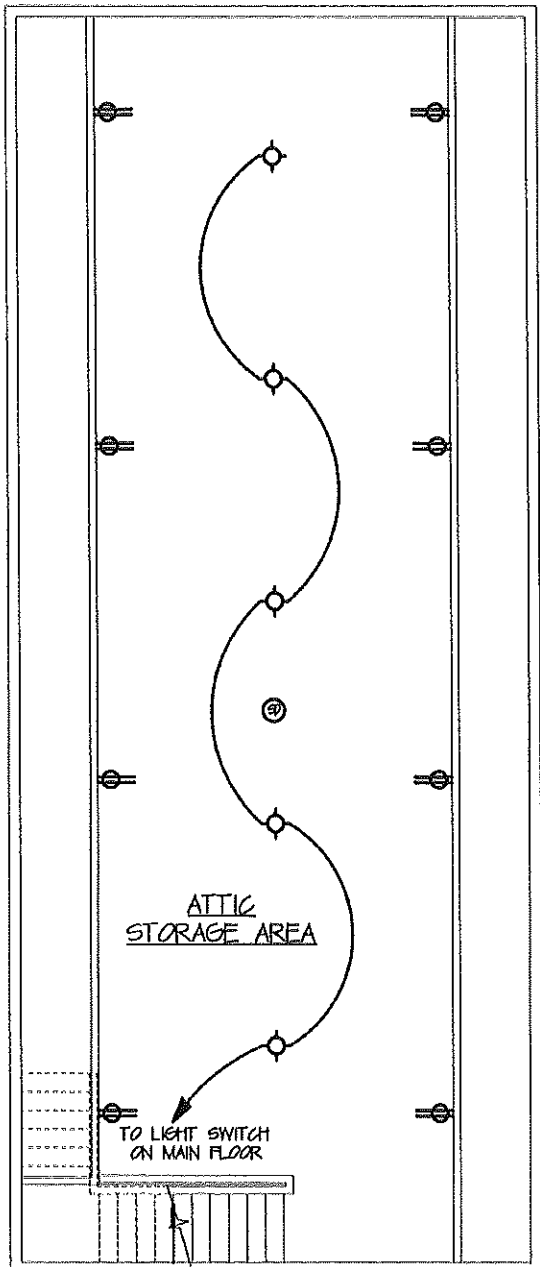
DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
A	9'-0"	6'-8"	EXTERIOR, WOOD, SOLID PANEL	
B	2'-6"	6'-8"	INTERIOR, WOOD, HOLLOW PANEL	
C	8'-0"	7'-0"	GARAGE DOOR, OWNER SELECT	WITH OPERATOR

FLOOR PLAN, ATTIC FLOOR PLAN AND SCHEDULES

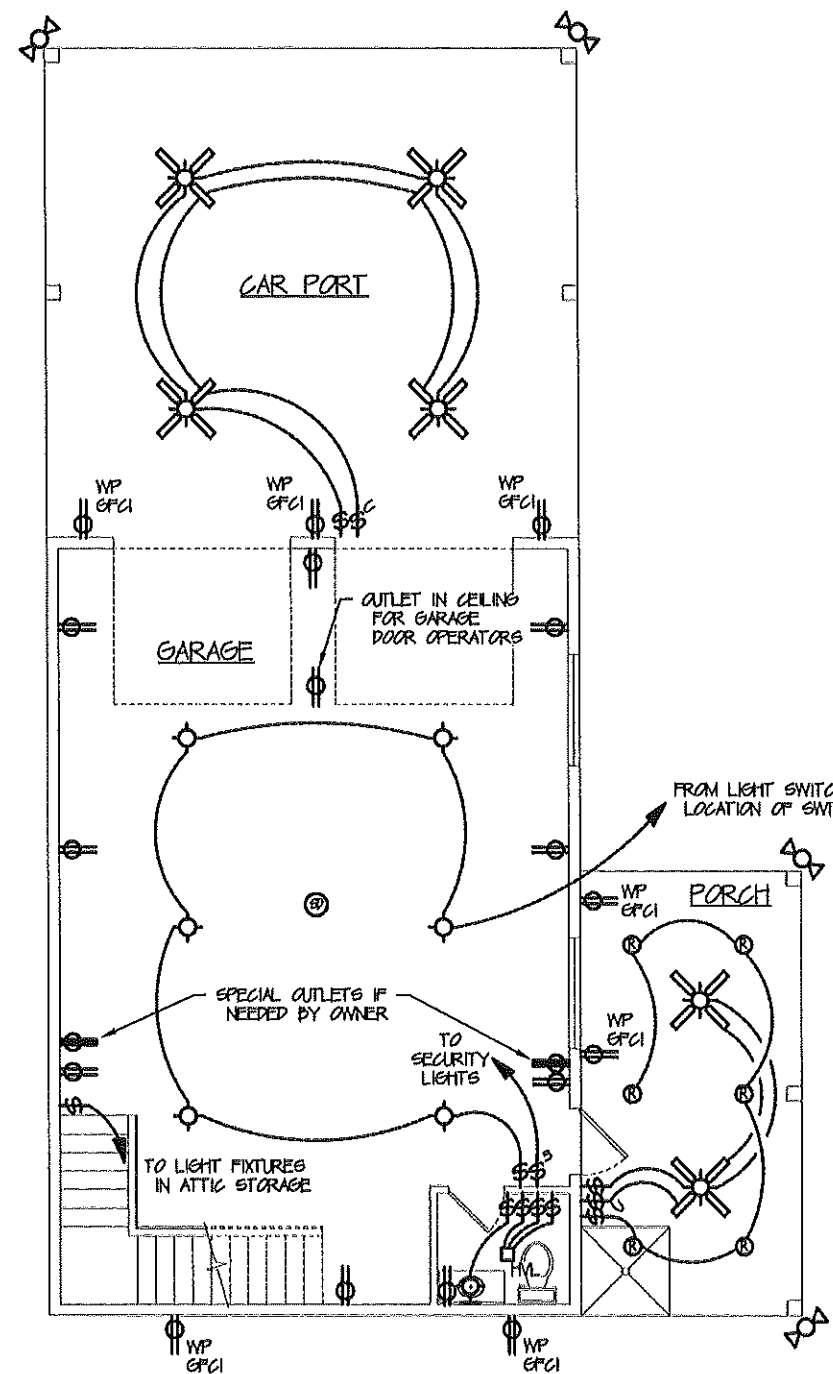
SCALE AS NOTED DRAWN BY: RT
 DATE: 1/18/83 REVIEWED: RT

A NEW GARAGE FOR
 MR. AND MRS. FELIX FORGET, JR.

224 KELLER ST. DRAWING NO. 2 OF 5
 RAY BART L/118 MS 22810



ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	CEILING FAN WITH LIGHT KIT
	SECURITY TYPE LIGHT FIXTURE
	HEAT, VENT, LIGHT FIXTURE
	RECEPTACLE OUTLET
	GFCI - GROUND-FAULT CIRCUIT INTERRUPTER
	AFCI - ARC-FAULT CIRCUIT INTERRUPTER
	WP - WEATHER PROOF TYPE COVER
	SPECIAL OUTLET
	TELEVISION (CABLE) CONNECTION
	TELEPHONE CONNECTION
	WALL SWITCH
	3-WAY WALL SWITCH
	WALL CONTROLLER FOR FAN
	SMOKE DETECTOR

ELECTRICAL NOTES:

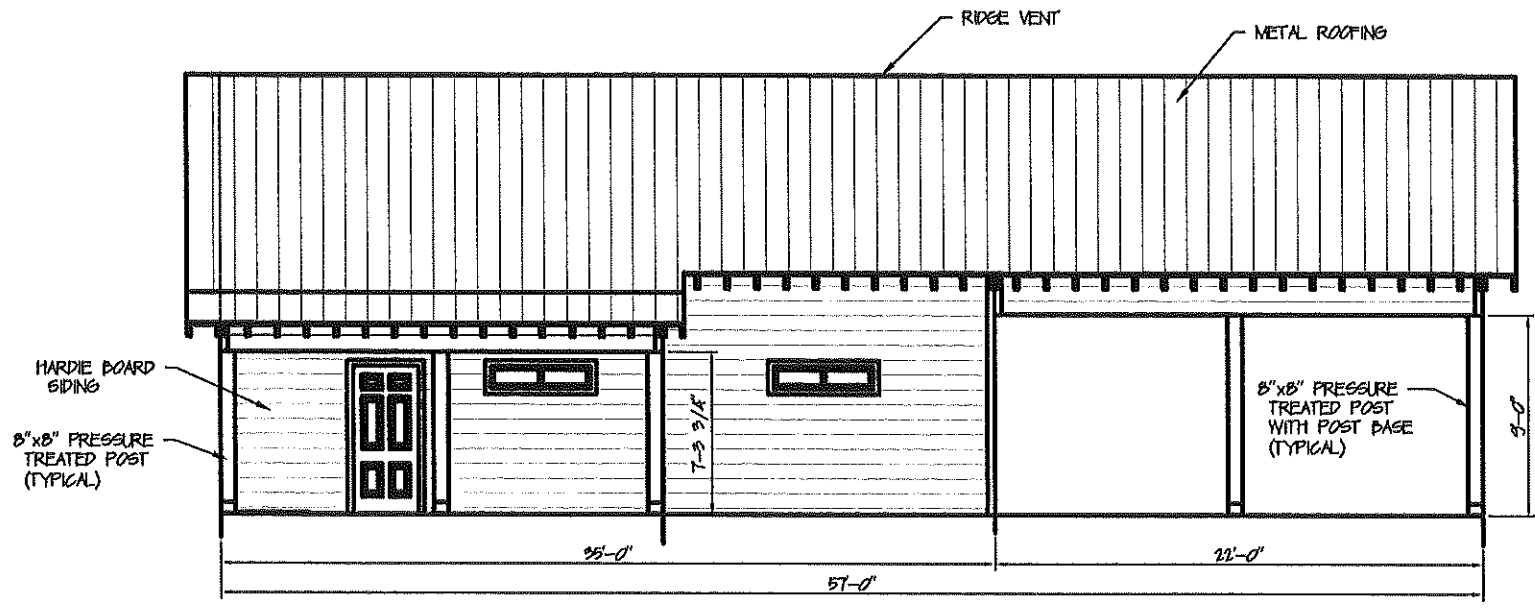
1. ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH ELECTRICAL CODES THAT APPLY TO THE AREA.
2. ALL LOCATIONS OF SWITCHES TO BE APPROVED BY THE OWNER.

ELECTRICAL FLOOR PLANS,
ELECTRICAL LEGEND AND ELECTRICAL NOTES

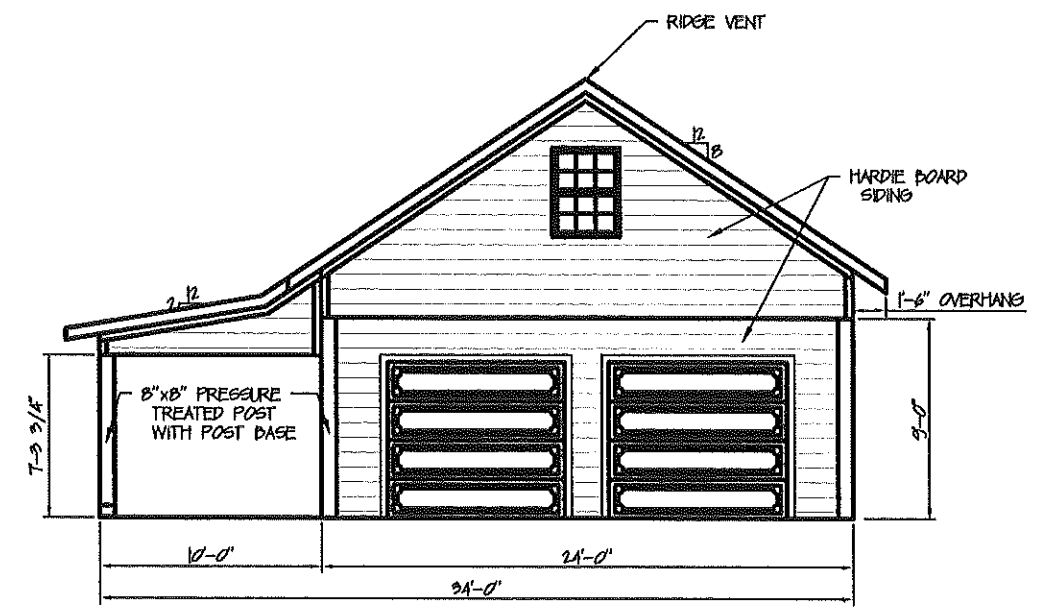
SCALE AS NOTED DRAWN BY RT
 DATE APPROVED BY RT
 REVIEWED BY RT

A NEW GARAGE FOR
 MR. AND MRS. FELIX FORJETT, JR.

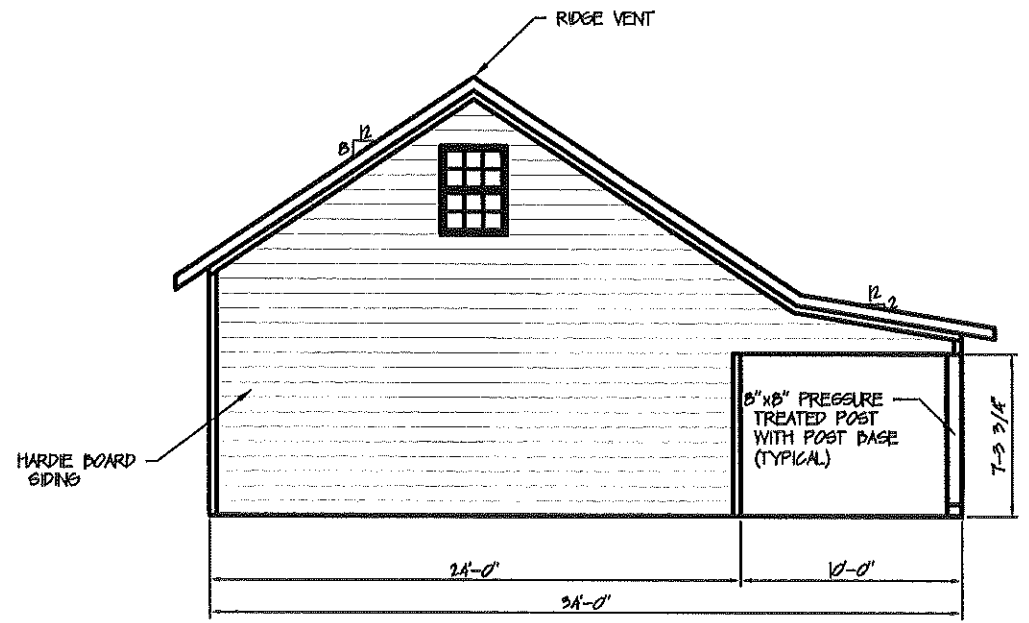
224 REITER ST. DRAWING NO. 9 of 5
 DAY BLUNT LIGHTING, INC. 22212



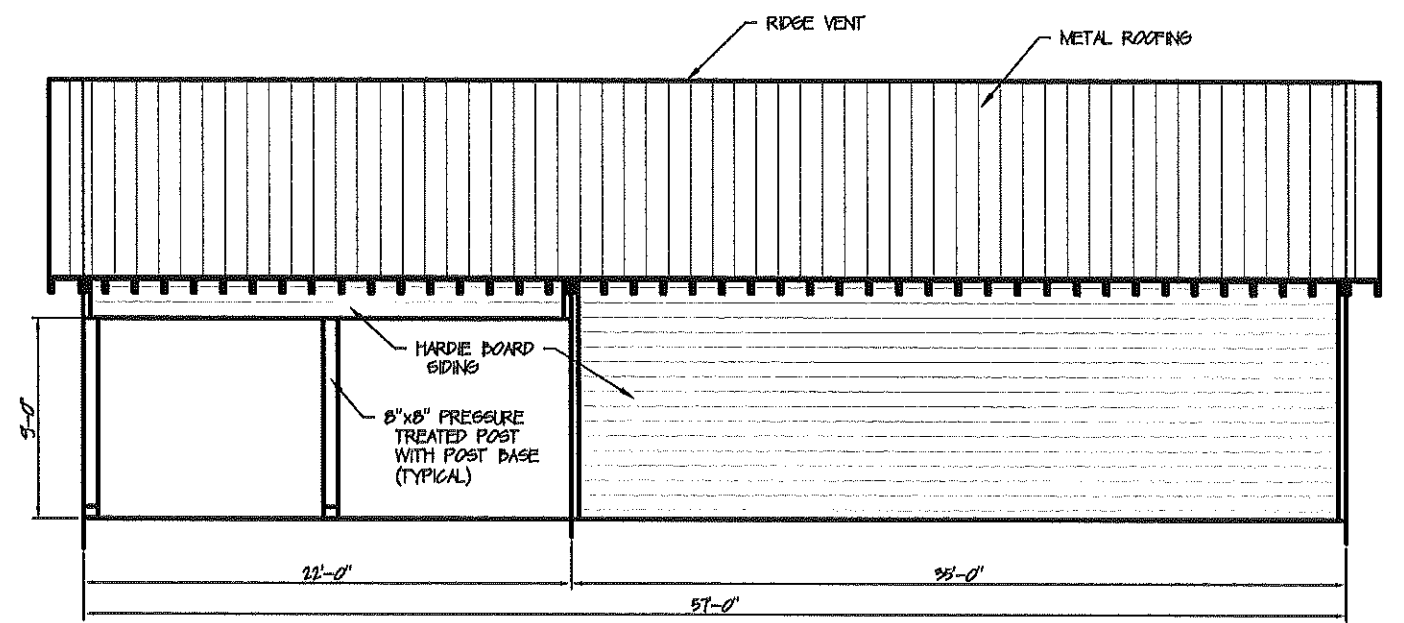
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



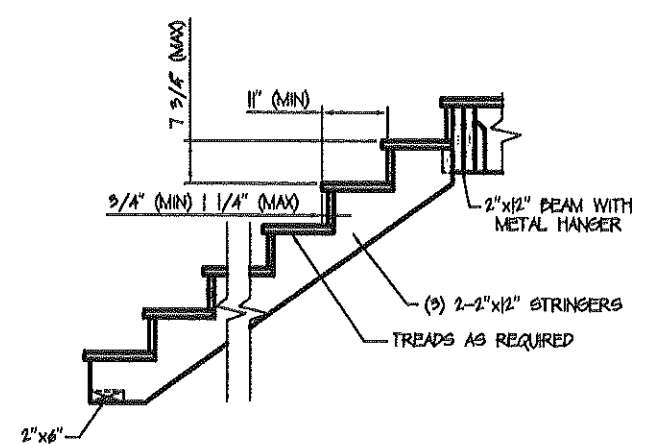
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

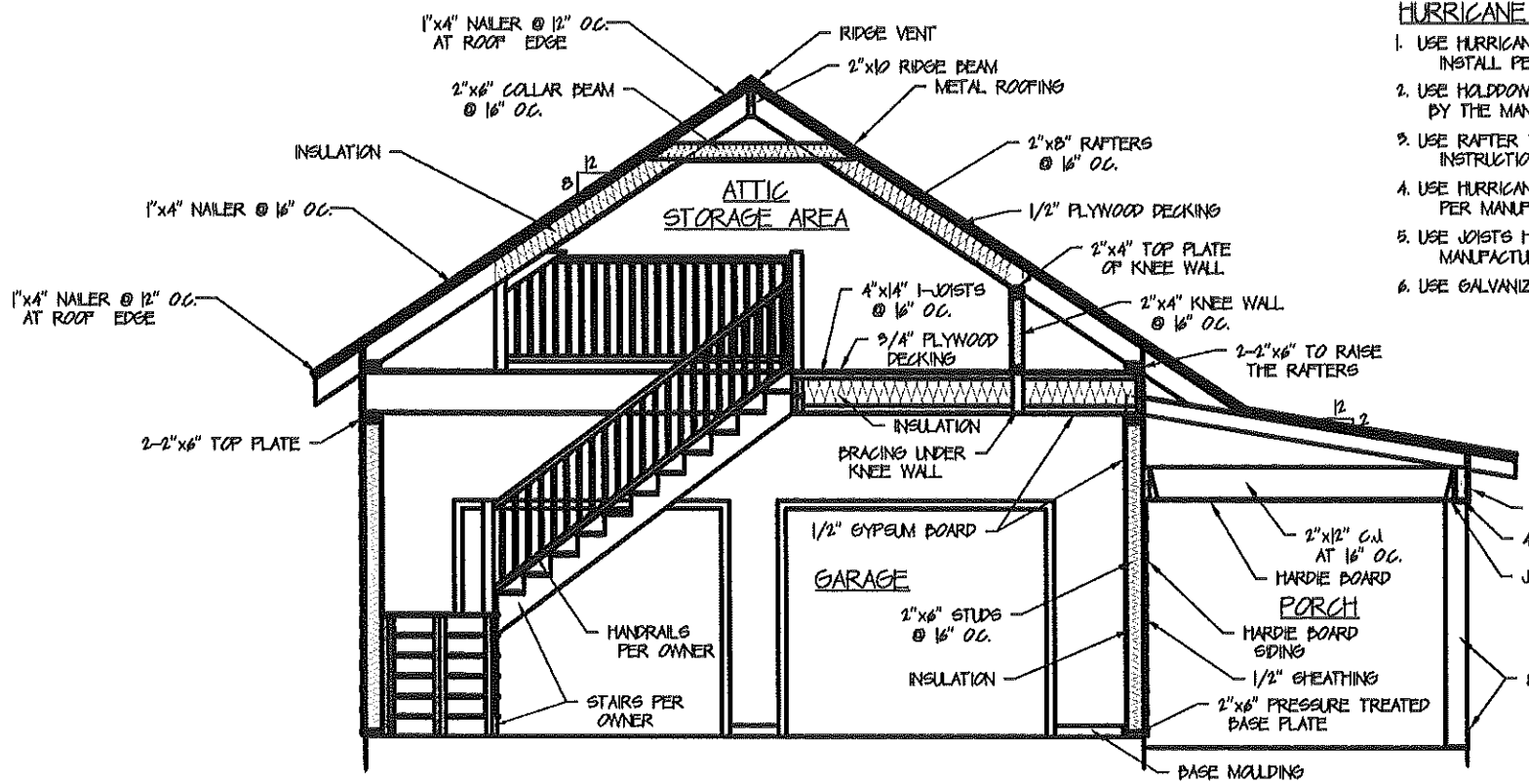


DETAIL - TYPICAL STAIR
SCALE: 3/4" = 1'-0"

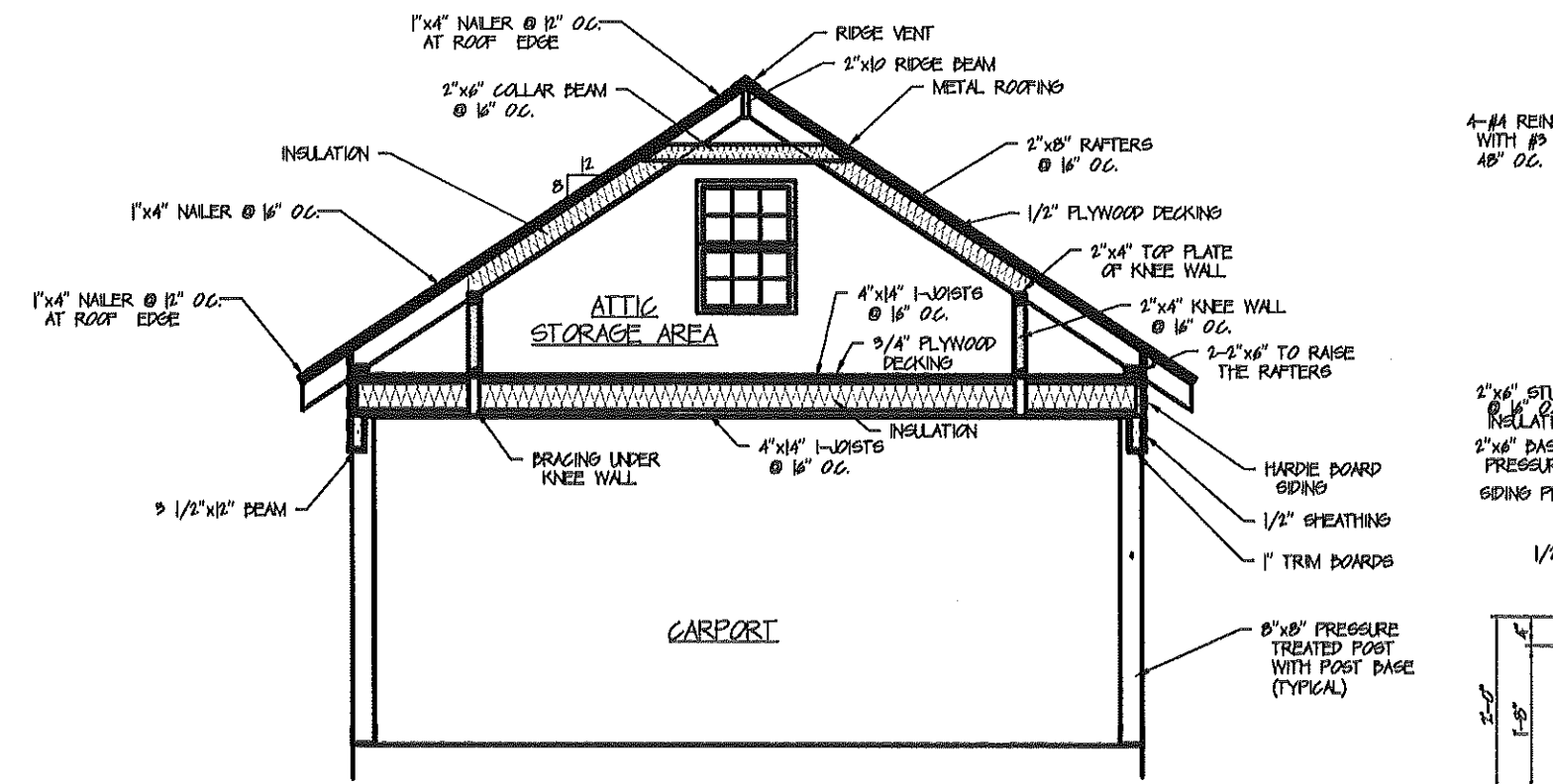
ELEVATIONS AND DETAILS			
SCALE AS NOTED	APPROVED BY	DATE	DRAWN BY
1/16"	RT		RT
A NEW GARAGE FOR			
MR. AND MRS. FELIX FORBET, JR.			
224 KELLER ST.			
DAY TOWN, OHIO 45822			
			4 of 5

HURRICANE STRAPPING NOTES: (MINIMUM REQUIREMENTS)

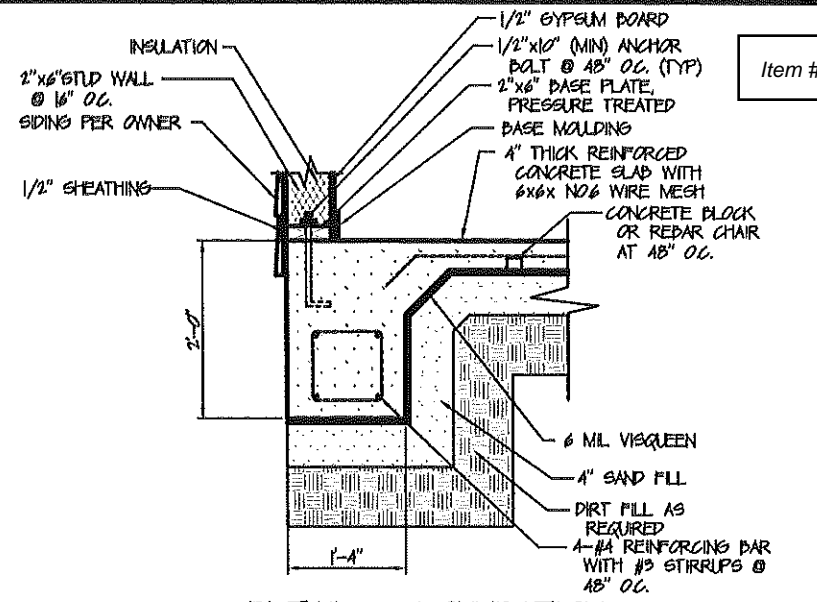
1. USE HURRICANE STRAPPING AT EACH STUD ON TOP PLATE AND BOTTOM PLATE. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. USE HOLDDOWN AND TENSION TIES AT CORNERS OF HOUSE AND AS DIRECTED BY THE MANUFACTURER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
3. USE RAFTER TRUSS STRAPPING AT EACH RAFTER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. USE HURRICANE STRAP ACROSS TOP OF RAFTERS AND RIDGE BEAM. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
5. USE JOISTS HANGERS AND RAFTER CLIPS WHERE REQUIRED. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
6. USE GALVANIZED NAILS FROM STRAP MANUFACTURER.



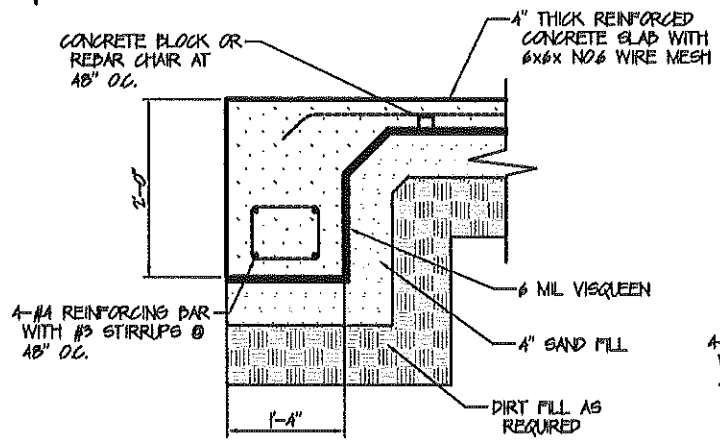
SECTION THRU GARAGE
SCALE: 3/8" = 1'-0"



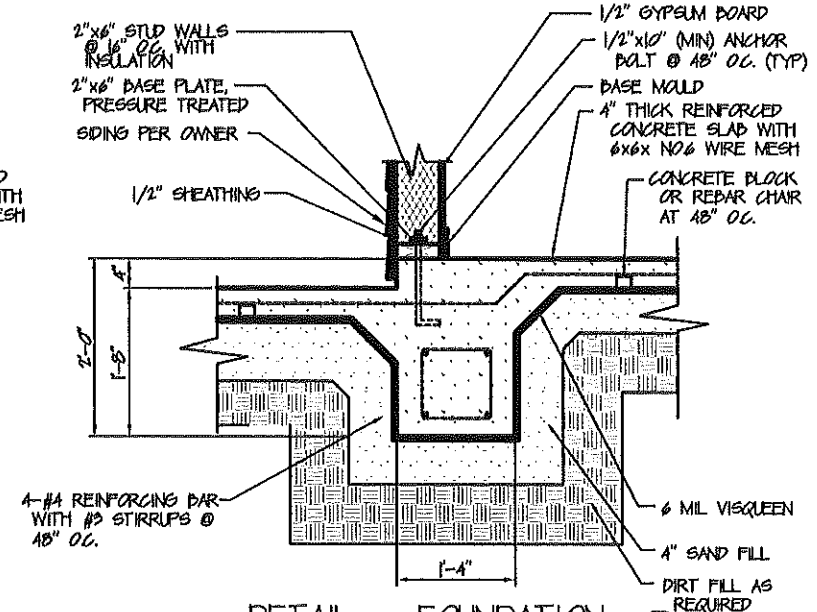
SECTION THRU CARPORT
SCALE: 3/8" = 1'-0"



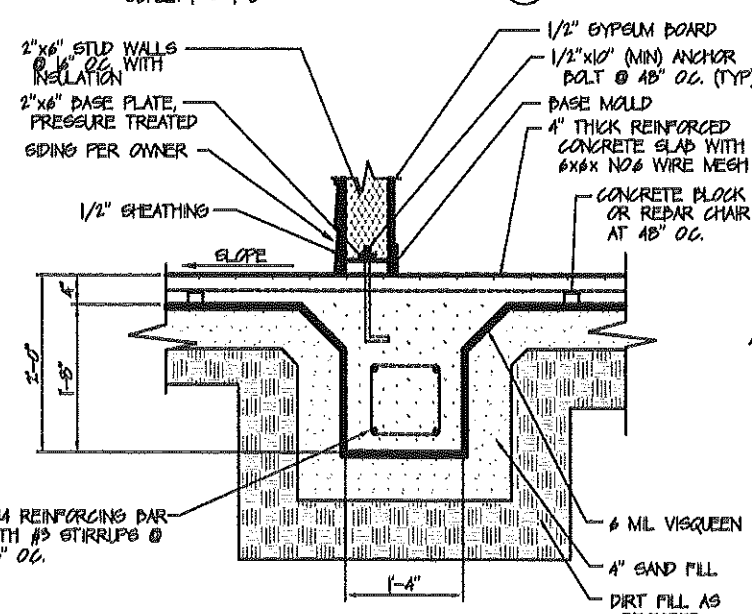
DETAIL - FOUNDATION (A)
SCALE: 1" = 1'-0"



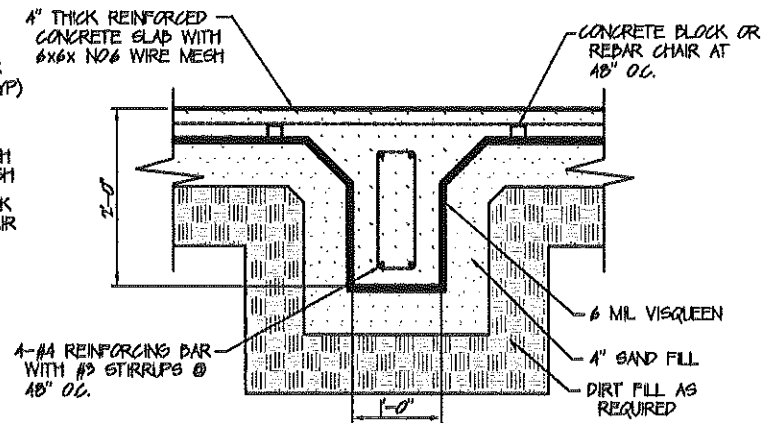
DETAIL - FOUNDATION (B)
SCALE: 1" = 1'-0"



DETAIL - FOUNDATION (C)
SCALE: 1" = 1'-0"



DETAIL - FOUNDATION (D)
SCALE: 1" = 1'-0"



DETAIL - FOUNDATION (E)
SCALE: 1" = 1'-0"

SECTIONS AND FOUNDATION DETAILS			
SCALE AS NOTED	APPROVED BY	DATE	DRAWN BY
	RT		RT
A NEW GARAGE FOR			
MR. AND MRS. FELIX FORREST, JR.			
224 RELLER ST.	DAYTON, OHIO 45422	DATE	NO. OF SHEETS
			5 of 5

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 108 S. Bezek Blvd, BSL MS 39520
 Applicant Name: John Anderson Owner Name: Melvin "Cuz" Barnes
 Mailing Address: 443 Mzin St, BSL MS Mailing Address: 108 S. Bezek, BSL MS
 Phone: 228. 467. 1149 Phone: 228. 304. 1113

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 29 June 2024

Owner's Signature

Required: _____ Date: _____

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

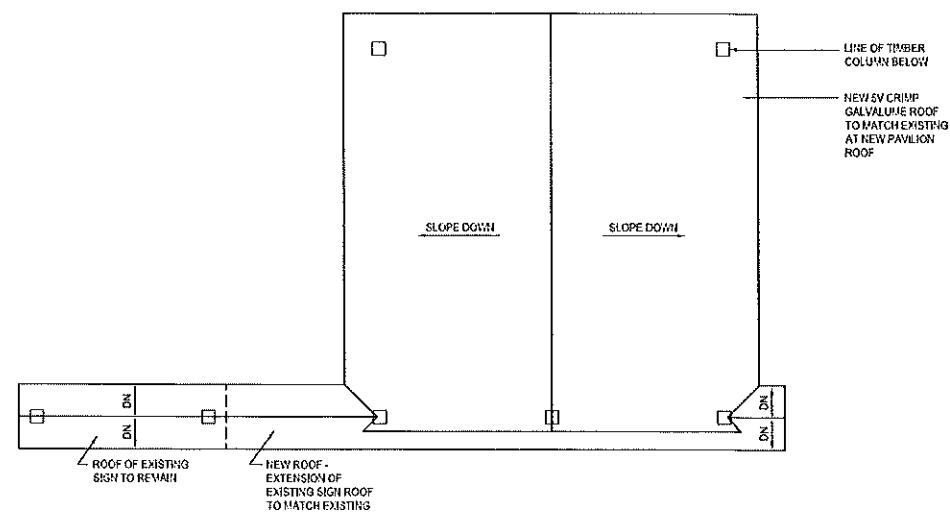
Historic Preservation Commission / City Council Use Only

Historic District: _____	Case Number: _____
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date: _____
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments: _____	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date: _____
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO Date COA Action: _____	Review Date: _____
Comments: _____	
(BSL Historic Preservation Commissioner) _____	(City Council President Signature) _____ (Date) _____

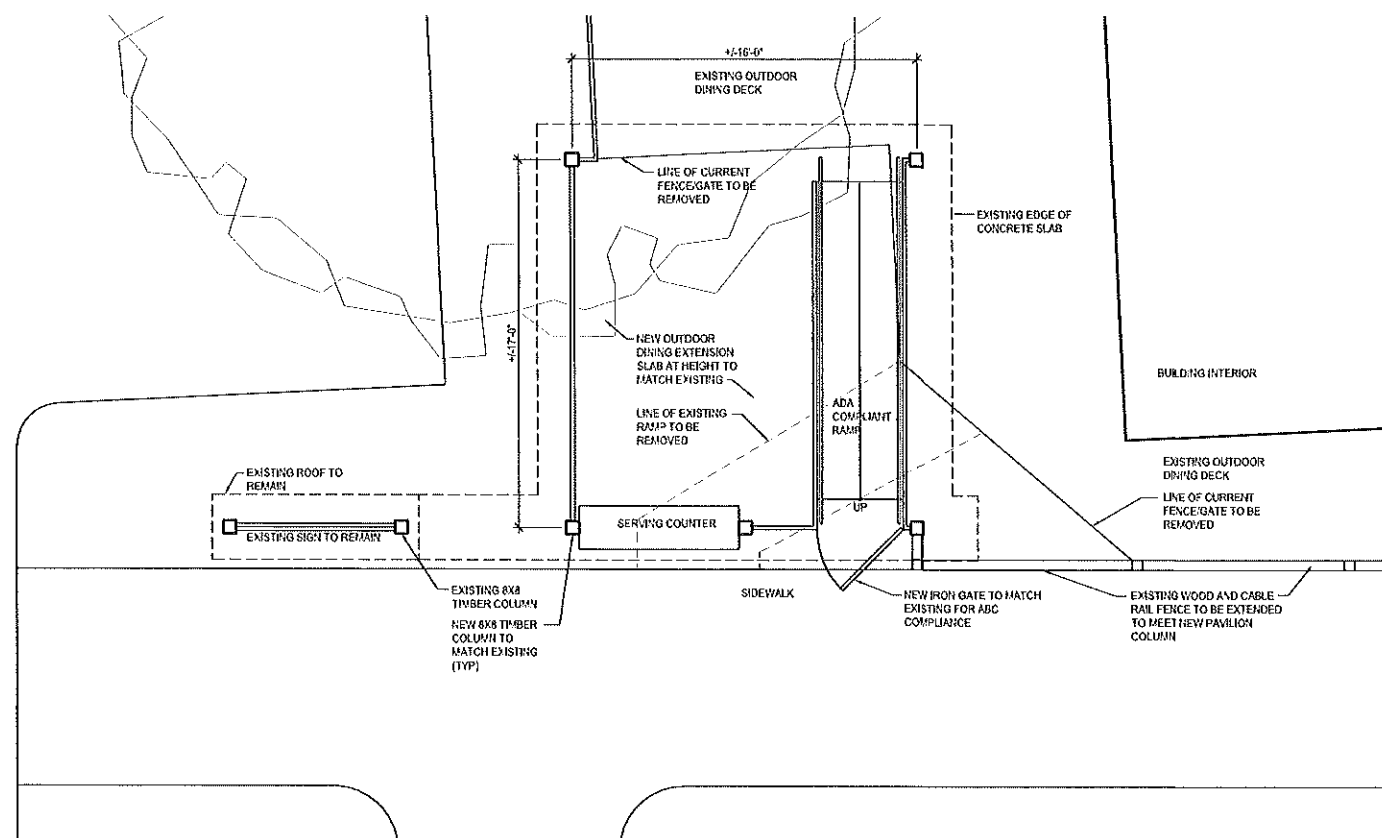
Once Completed & Signed - Original copy - HPC, Copy-Building Department

Application

HPC Review / City Council Review



ROOF PLAN
1/4" = 1' - 0"



FLOOR PLAN
1/4" = 1' - 0"



VIEW FROM BEACH BOULEVARD



NEW ENTRY FACADE AND PAVILION - HISTORIC COMMISSION REVIEW



Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 108 COURT ST. (RAMM Inc. Richard Roffin)
Applicant Name: Algernon Shaw Owner Name: Jourdan Nicaud
Mailing Address: 21797 Ridgeview Dr Mailing Address: 108 Court St.
Phone: 228.224.4971 Phone: 504.525.7792

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

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[] Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself, its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

[] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale, Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed: Photographs of existing building, Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Algernon Shaw Date: July 2
Owner's Signature:
Required: Date:

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Table with columns for City Council members and rows for recommendations and comments. Includes a signature line for the City Council member.

Application

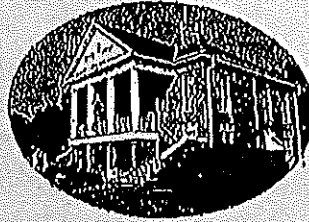
HPC Review / City Council Review

Once Completed & Signed - Original copy - HPC, Copy - Building Department

Revised May 4, 2009

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Ramm Inc Richard Roth

Address: 108 Court St. Bay St. Louis MS 39520
(No P.O. Boxes)

Telephone Number: (504) 525 7797 Cell Number: ()

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: We would like to install a 30in x 80in LED FRONT lit Cabinet on side of the building.

Also a LED Circle Cabinet on the Front of the building 50in x 50in.

Item # 6.



Item # 6.





Historical Preservation Commission Minutes

June 10, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Action Items

1. Motion to approve the installation of the facade at 114 Main Street was submitted by John Anderson.

Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

2. Motion to approve renovation of a single-family dwelling including a small addition at 115 State Street, submitted by Crane Builders.

Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

3. Motion to approve the renovate existing home and add on to the rear of the house at 107 Carroll Avenue submitted by Amy Doescher

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

4. Motion to approve constructing a shed submitted by Crane Builders.

Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,
Commissioner Bezou

4. Motion to approve close in the front wall on the front patio area of 102 Blaize Avenue submitted by Kevin Jordan

Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,
Commissioner Bezou

5. Motion to approve an addition to 134 Carroll Avenue submitted by Crane Builders

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,
Commissioner Bezou

Minutes Approval

6. Motion to approve the May 13, 2024 HPC Minutes

Motion made by Commissioner Bezou, Seconded by Commissioner Keating

Voting Yea: Commissioner Keating, Chairman Rabalais, Commissioner Bezou

Voting Abstaining: Commissioner Wessinger

Adjourn

Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,
Commissioner Bezou