



## February 9, 2026 Historic Preservation Commission Meeting Agenda

February 09, 2026 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

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### Call to Order

### Action Items

1. Motion to approve the addition of a bedroom, washroom, bathroom, and closet to the existing house, as well as the addition of a screened porch on the rear of the house at 316 Carroll Avenue, submitted by Chamberlain
2. Motion to replace 5 non-working windows with JELD-WEN Premium Atlantic Vinyl White Exterior Vinyl Single Hung Impact windows on East side of house at 209 DeMontluzin Avunue submitted by Gunderson
3. Motion to approve the new construction of a new residence, pool, and guest cottage at 120 Citizen Street, submitted by Guillot
4. Motion to approve the construction of an in-ground fiberglass pool and a cabana in the backyard of 311 DeMontluzin, submitted by Romagassa. Neither the pool nor the cabana will be visible from the street.

### Minutes Approval

5. Motion to approve the meeting minutes from January 12, 2026

### Adjourn

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 316 Carroll Ave., Bay St. Louis, MS
Applicant Name: John Chamberlain Owner Name: John Chamberlain
Mailing Address: 316 Carroll, BSL Mailing Address: 900 Solomon Pl, New Orleans, LA
Phone: 504 430-0746 Phone: 504 430 0746

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[ ] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

[x] Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

[ ] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[ ] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: John Chamberlain Date: 2/2/26

Owner's Signature Required: John Chamberlain Date: 2/2/26

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Application

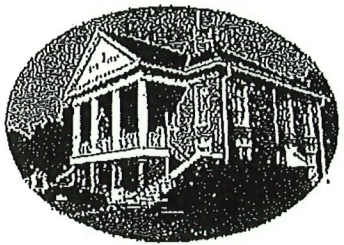
HPC Review / City Council Review

Form with fields for Historic District, Case Number, Review Date, Recommendation (Approval, Approval with Conditions, Disapprove), Comments, and City Council Review section.

Once Completed & Signed - Original copy - HPC, Copy - Building Department

# BAY SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: John Chamberlain

Address: 900 Solomon PL, New Orleans, LA 70119  
(No P.O. Boxes)

Telephone Number ( ) N/A Cell Number: (504) 430 0746

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 316 Carroll Ave, Bay St. Louis, MS

Give written scope of work to be performed: Addition of bedroom, master bath and closet to existing house, Addition of screened porch on rear of house. (plans attached).

# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

### MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

- Attached*
1. Site Plan, Indicating setbacks to the front, rear and side yards.
  2. Exterior elevations (street views) of proposed structure(s).
  3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
    - a) Siding material: wood, hardi-plank, etc...
    - b) Masonry material: brick, stucco, etc....
    - c) Exterior openings; windows and doors: Indicated size, types and materials.
    - d) Shutters and Awnings: Indicated size, types and materials.
    - e) Column size and types
    - f) Roofing materials: wood, metal, slate, etc....
    - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
    - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed. *Attached*

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*





**BELL**  
ARCHITECTURE

755 CAMP STREET  
NEW ORLEANS  
LOUISIANA 70130

504-596-2355

bellarchitecture.net

**ADDITION TO CHAMBERLAIN RESIDENCE**  
316 CARROLL AVENUE  
BAY ST. LOUIS, MISSISSIPPI

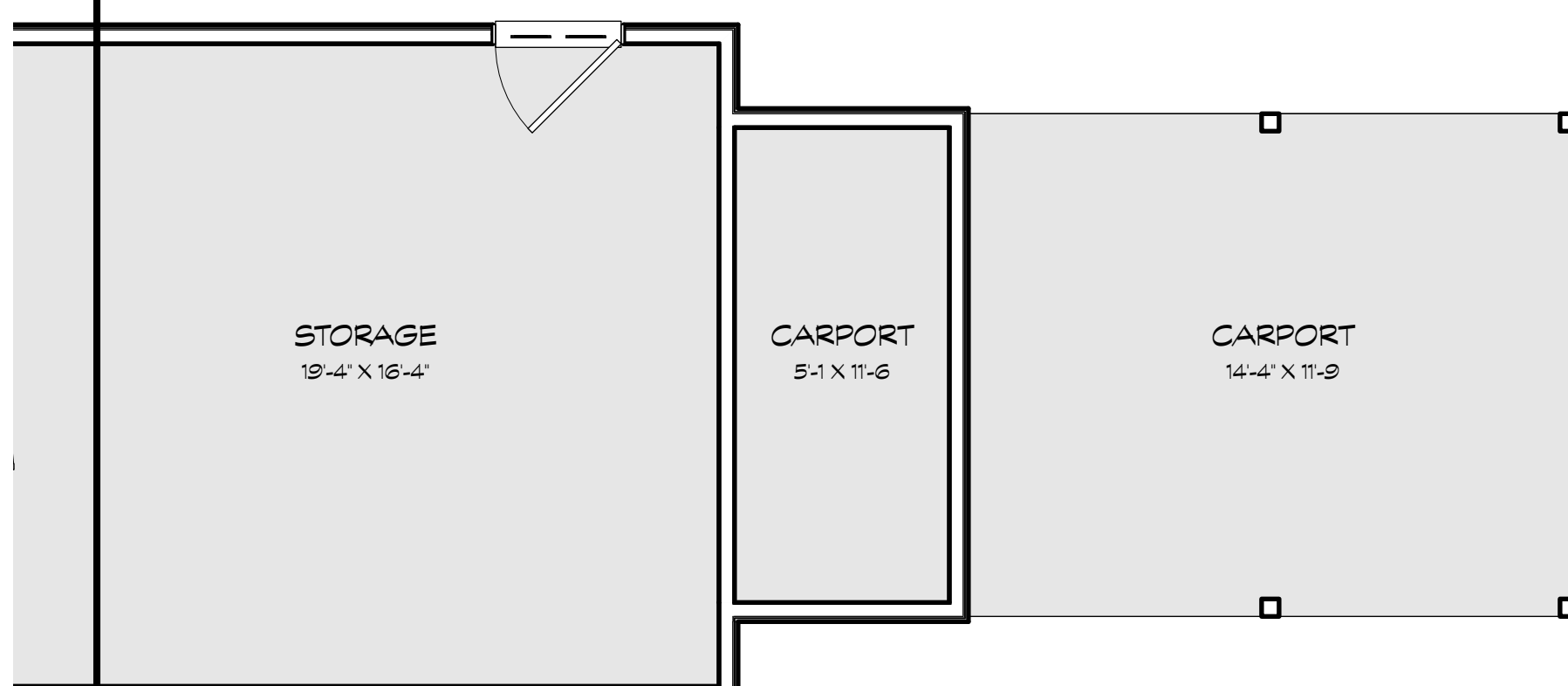


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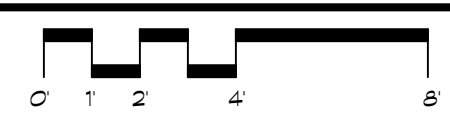
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DRAWING NO.

**A-102**



**1** EXISTING FIRST FLOOR PLAN



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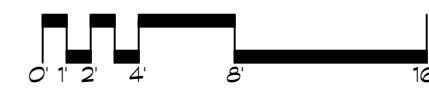
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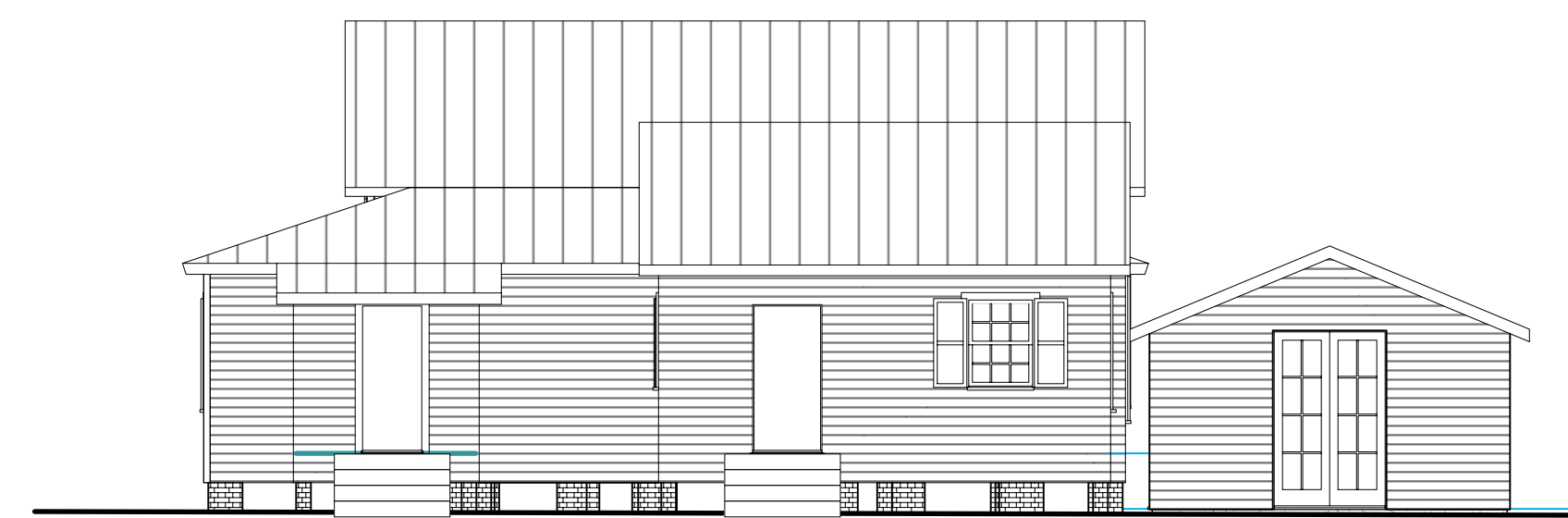
**A-103**



**4** FRONT (NORTH) EXISTING ELEVATION



**3** RIGHT (WEST) SIDE EXISTING ELEVATION



**2** REAR (SOUTH) EXISTING ELEVATION



**1** LEFT (EAST) SIDE EXISTING ELEVATION



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**FINISH SCHEDULE**

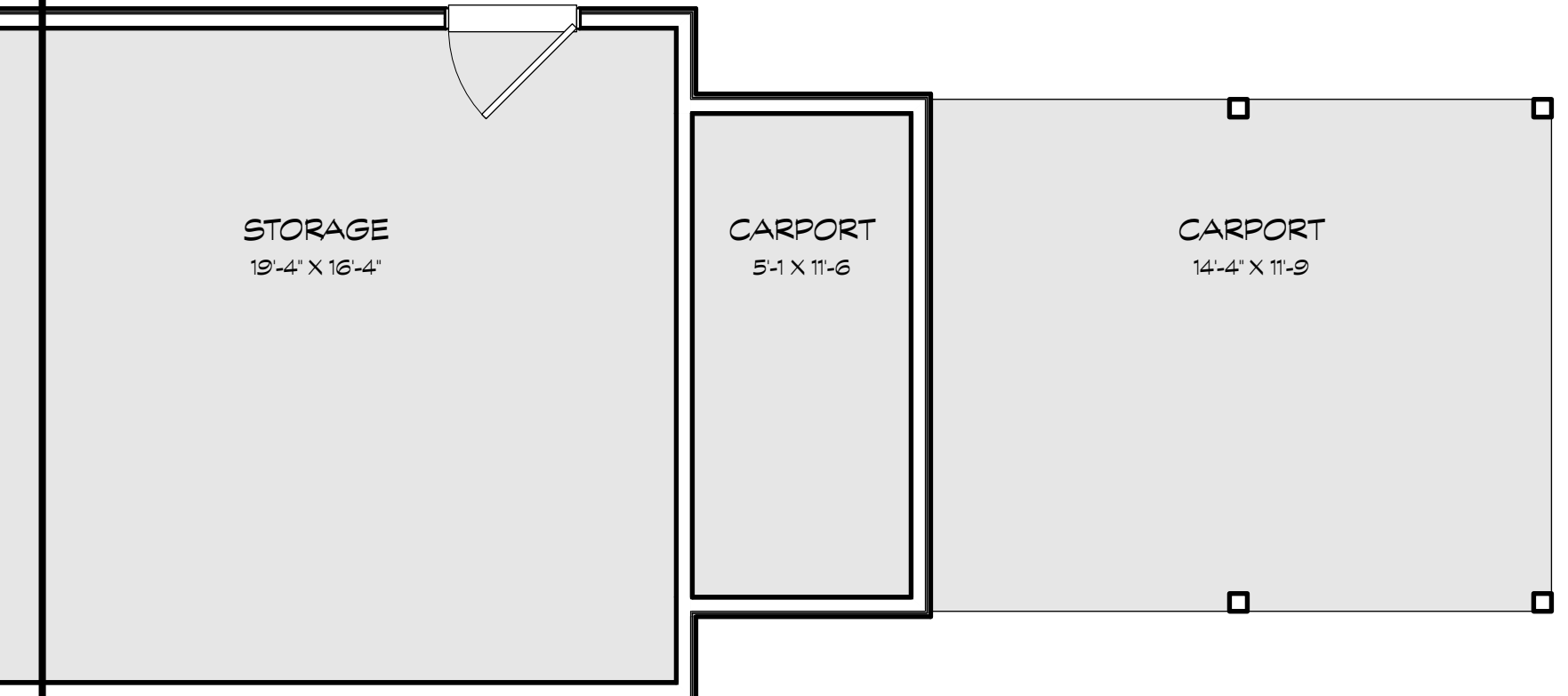
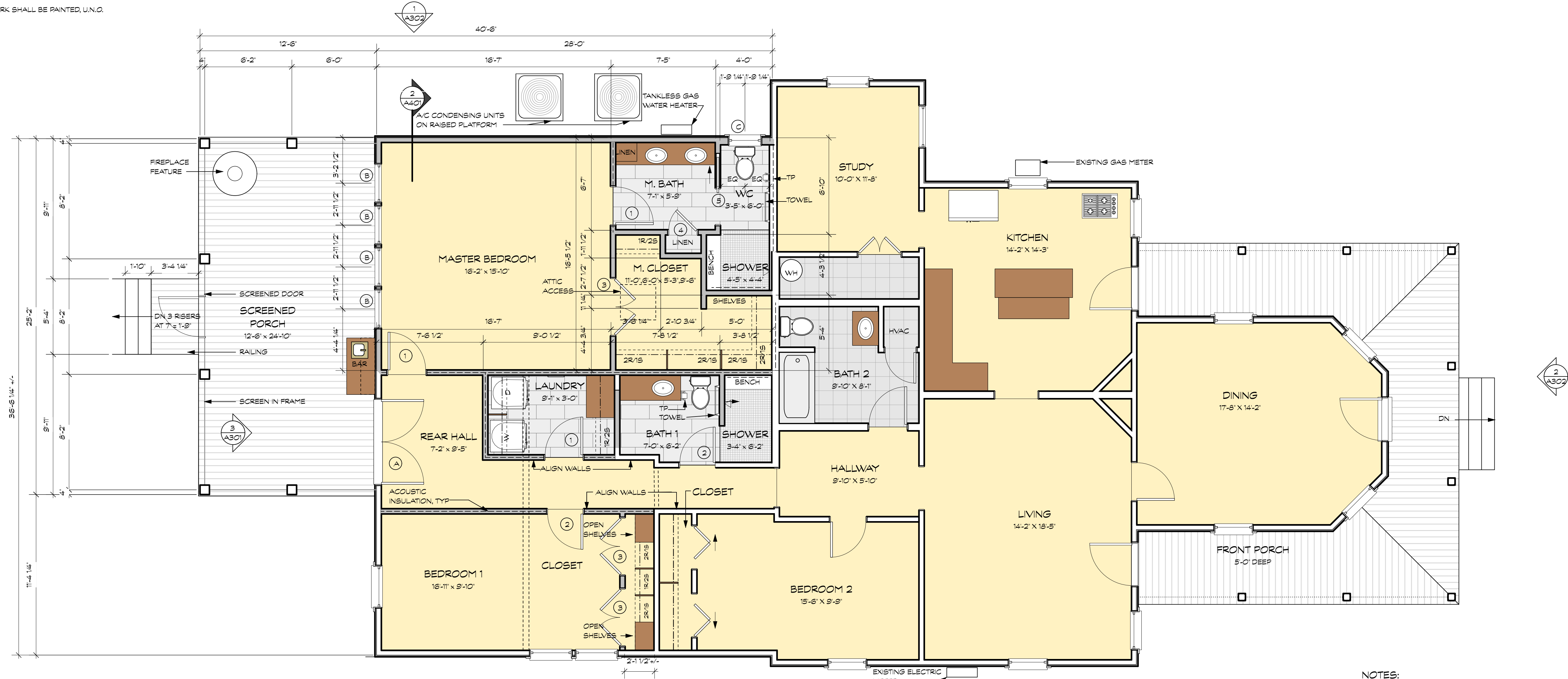
SPACE	FLOOR	BASE	WALLS	CEILING	CASING	CORNICE	CLG. HT.	REMARKS
MASTER BEDROOM	WOOD STRIP	WOOD TO MATCH EXISTING	G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
MASTER BATH	TILE	WOOD TO MATCH EXISTING	MOISTURE & MOLD RESISTANT G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
MASTER BATH W.C.	TILE	-	TILE	MOISTURE & MOLD RESISTANT G.W.B.	-	WOOD TO MATCH EXISTING	8'-7"	
MASTER BATH SHOWER	TILE	-	TILE	MOISTURE & MOLD RESISTANT G.W.B.	-	-	8'-7"	
MASTER CLOSET	WOOD STRIP	WOOD TO MATCH EXISTING	G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
REAR HALL	WOOD STRIP	WOOD TO MATCH EXISTING	G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
LAUNDRY	TILE	WOOD TO MATCH EXISTING	MOISTURE & MOLD RESISTANT G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
BATH 1	TILE	WOOD TO MATCH EXISTING	MOISTURE & MOLD RESISTANT G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
BATH 1 SHOWER	TILE	-	TILE	G.W.B.	-	-	8'-7"	
BEDROOM 1	WOOD STRIP	WOOD TO MATCH EXISTING	G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	
BEDROOM 1 CLOSET	WOOD STRIP	WOOD TO MATCH EXISTING	G.W.B.	G.W.B.	WOOD TO MATCH EXISTING	WOOD TO MATCH EXISTING	8'-7"	

NOTES:  
1) ALL WOODWORK SHALL BE PAINTED, U.N.O.

**OPENING SCHEDULE**

#	OPENING	DESCRIPTION	HEAD HEIGHT	MODEL	REMARKS
1	12'-8" X 7'-0" X 1 3/8"	6-PANEL S.C. WOOD DOOR	VERIFY EXISTING DOOR HEIGHTS		
2	2'-6" X 7'-0" X 1 3/8"	6-PANEL S.C. WOOD DOOR	THEN CONFIRM NEW DOOR HEIGHTS		
3	4'-0" X 7'-0" X 1 3/8"	PAIR 6-PANEL S.C. WOOD DOORS			
4	2'-0" X 7'-0" X 1 3/8"	6-PANEL S.C. WOOD DOOR			
5	2'-8" X 7'-0" X 1 3/8"	6-PANEL S.C. WOOD POCKET DOOR			
A	6'-0" X 8'-0"	PAIR 3'-0" S.C. WOOD DOORS W/ 8 LITES EACH PANEL			3-POINT LOCKING SYSTEM
B	2'-8" X 6'-6"	WOOD DOUBLE-HUNG WINDOW	HEAD @ 8'-0" A.F.F.		
C	2'-4" X 1'-3"	CLAD OR VINYL SINGLE LITE AWNING WINDOW	HEAD @ 8'-0" A.F.F.		

OPENING NOTES:  
1) INSTALL TEMPERED GLASS WHERE REQUIRED BY CODE.  
2) INSTALL SAFETY GLAZING WHERE REQUIRED BY SECTION R308 OF IRC 2021  
2) IN ACCORDANCE WITH ARTICLE R301.2.1.2 OF IRC 2015, WINDOWS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS. ALTERNATIVELY, PROVIDE PLYWOOD ON SITE AS WINDBORNE PROTECTION.  
3) VERIFY DOOR AND WINDOW SIZES AND ROUGH OPENING DIMENSIONS WITH MANUFACTURER.  
4) VERIFY THAT WINDOWS MEET EGRESS REQUIREMENTS WHERE REQUIRED BY CODE.  
5) U-FACTOR OF .65 IS REQUIRED FOR ALL EXTERIOR FENESTRATIONS IN ACCORDANCE WITH TABLE N102.1 IRC 2021 ED.  
6) SOLAR HEAT GAIN COEFFICIENT OF .35 IS REQUIRED FOR ALL GLAZED EXTERIOR FENESTRATIONS IN ACCORDANCE WITH TABLE 1102.1 IRC 2021 ED.



**1 FIRST FLOOR PLAN**

**WALL LEGEND:**  
 ———— — EXISTING WALLS TO REMAIN  
 ———— — NEW WALLS

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, BRCK OR CONCRETE, OR CENTERLINES OF COLUMNS.
  2. EXTERIOR WALL DIMENSIONS ARE BASED ON 5 1/2" WALLS (2X6S), U.N.O.
  3. INTERIOR WALL DIMENSIONS ARE BASED ON 5 1/2" WALLS (2X6S) AT FIRST FLOOR AND 3 1/2" WALLS (2X4S) AT SECOND FLOOR, U.N.O.
  4. ALL INTERIOR WALLS RECEIVE ONE LAYER 1/2" G.W.B. EACH SIDE, U.N.O. EXTERIOR WALLS RECEIVE ONE LAYER 1/2" G.W.B. ON INT. SIDE, U.N.O.
  5. REFER STRUCTURAL FOR GRADES.
  6. VERIFY ALL CHASE SIZES WITH MECHANICAL CONTRACTOR.
  7. PROVIDE BLOCKING FOR ALL BATH ACCESSORIES, WALL CABINETS, GRAB BARS, WHEREVER WINDOW TREATMENTS MIGHT BE HUNG, ETC.
  8. PROVIDE ACOUSTICAL BATT INSULATION IN WALLS AS SHOWN.
  9. ROOM DIMENSIONS ARE NOMINAL. DIMENSION STRINGS GOVERN.



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**A-201**



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**A-301**

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**3** REAR (SOUTH) ELEVATION @ PORCH



METAL ROOFING TO MATCH EXISTING

RAKE AND FASCIA TO MATCH EXISTING, TYP.

24"x30" CELLULAR PVC LOUVERED VENT W/ INSECT SCREEN

SIDING TO MATCH EXISTING, TYP.

8'-7" V.O.L. MATCH-EXISTING

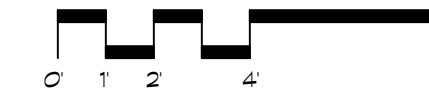
A/C ON PLATFORM

PARGE OR BRICK FACED CMU PIER, TYP.  
BEAM, COLUMNS, TRIM, CORNER BOARDS ALL TO MATCH EXISTING, TYP.

P.T. LANDING AND STEPS TO MATCH STEPS AT FRONT OF HOUSE

P.T. WOOD FRAMED SCREENED SYSTEM

**2** REAR (SOUTH) ELEVATION



METAL ROOFING TO MATCH EXISTING

P.T. WOOD FRAMED SCREENED SYSTEM

**1** LEFT (EAST) SIDE ELEVATION





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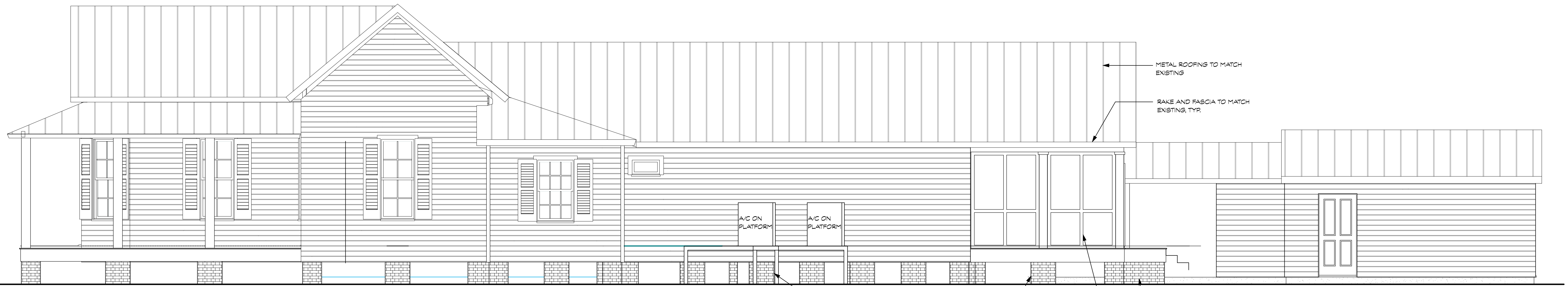
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**A-302**



**2** FRONT (NORTH) ELEVATION



METAL ROOFING TO MATCH EXISTING

RAKE AND FASCIA TO MATCH EXISTING, TYP.

A/C ON PLATFORM

A/C ON PLATFORM

PARGED OR BRICK FACED CMU PIER, TYP.

PT WOOD FRAMED SCREENED SYSTEM

PT LANDING AND STEPS TO MATCH STEPS AT FRONT OF HOUSE

**1** RIGHT (WEST) SIDE ELEVATION



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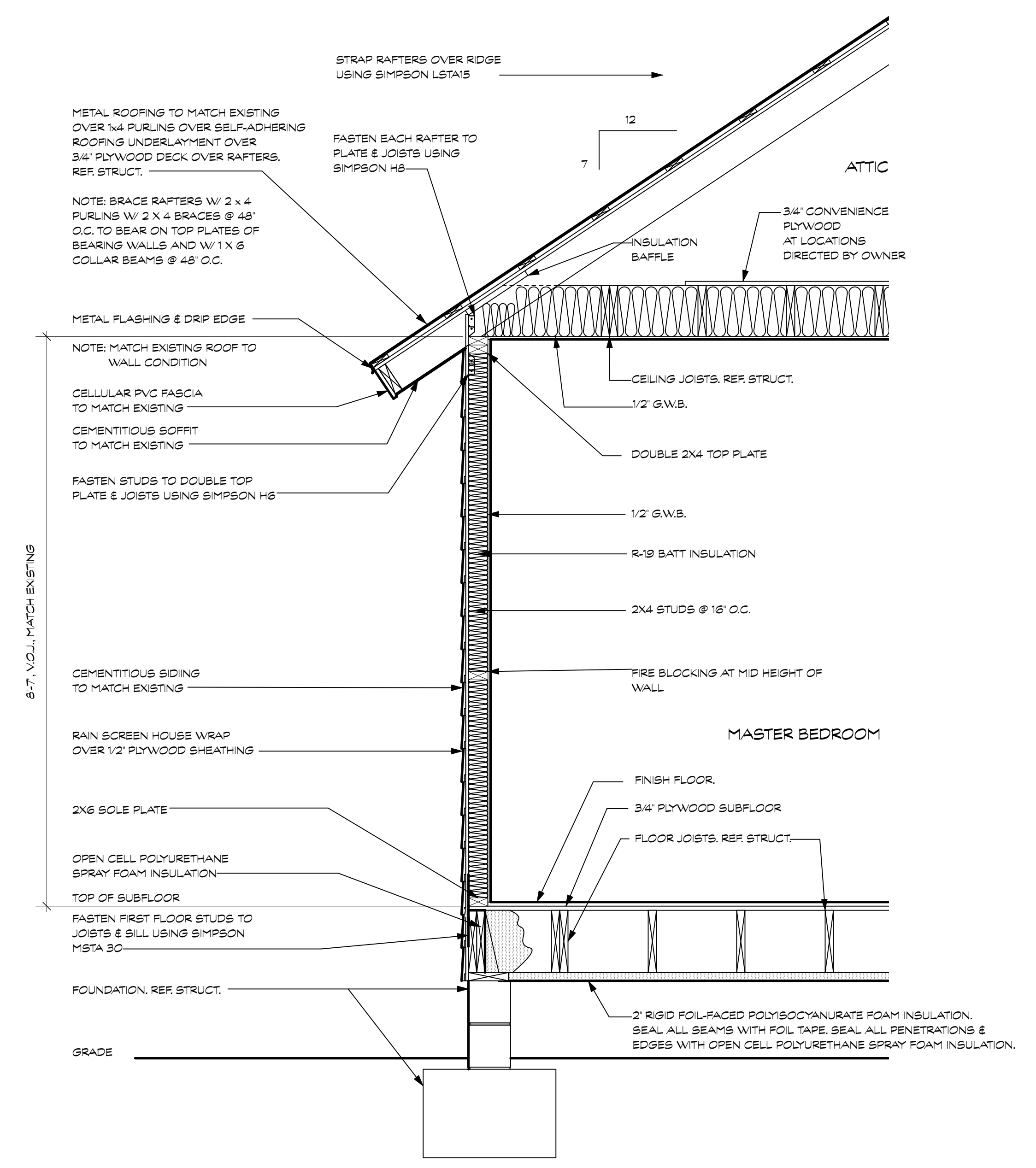


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**A-401**



**1** TYPICAL WALL SECTION

NOTES:

1. IN ACCORDANCE WITH N102.4.1 IRC 2009 ED., THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION.
2. TESTING OF THE BUILDING ENVELOPE AIR TIGHTNESS SHALL BE PERFORMED IN ACCORDANCE WITH N102.4.2 IRC 2009 ED.
3. BLOWN OR SPRAYED INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH N101.4.1 IRC 2009 ED.

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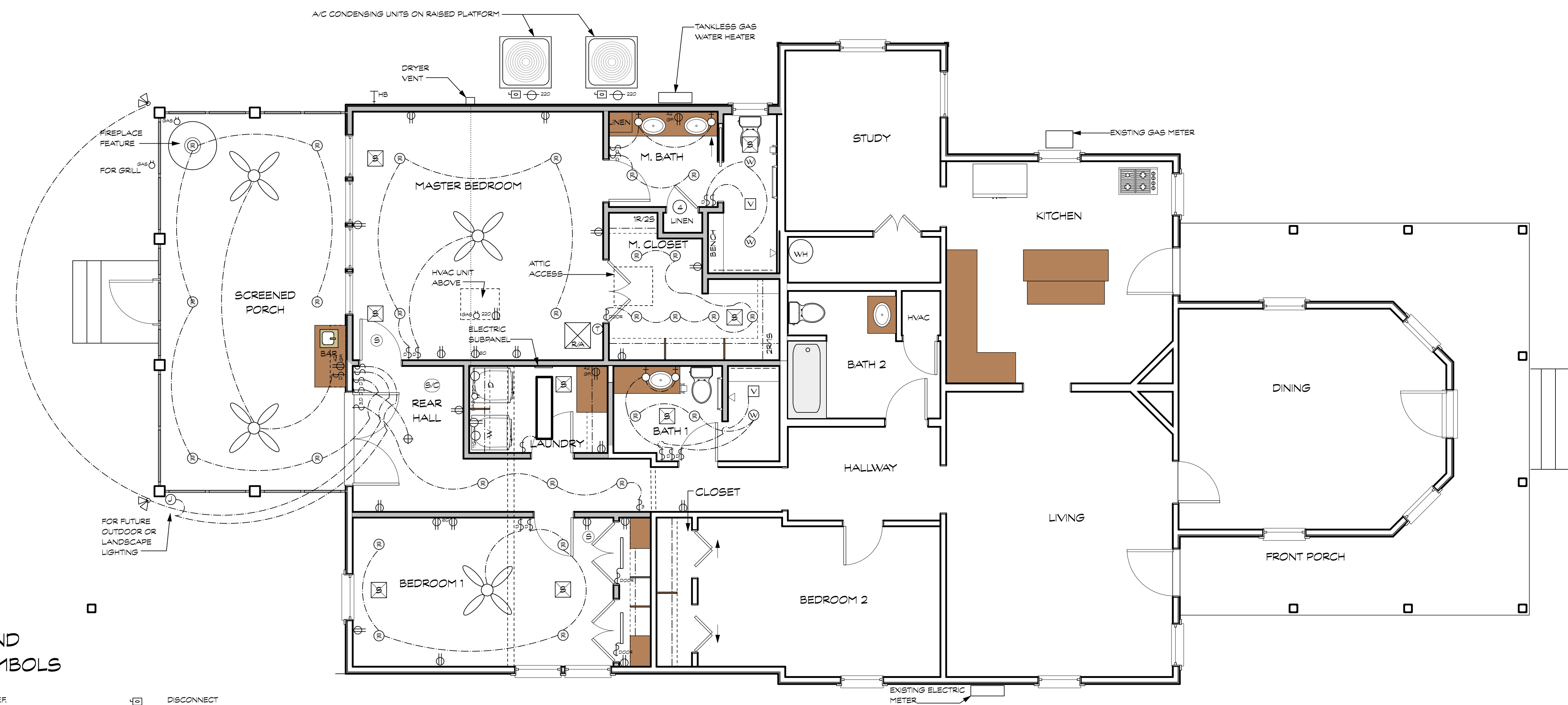
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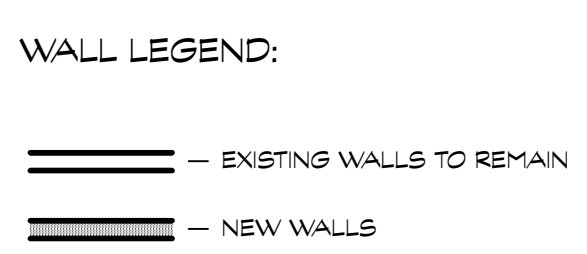
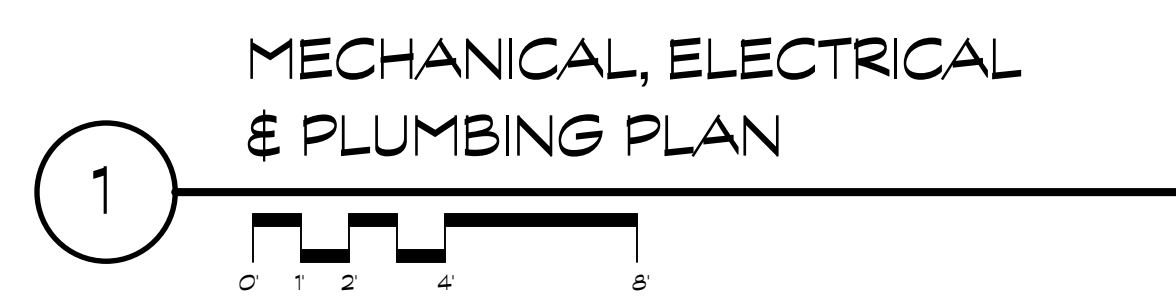
**MEP-1**

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**MECHANICAL AND ELECTRICAL SYMBOLS**

⊖	SINGLE POLE SWITCH, 42" A.F.F.	⊖	DISCONNECT
⊖	SINGLE POLE SWITCH, DISTANCE A.F.F.	⊖	A/C SUPPLY - WALL
⊖	3 WAY SWITCH, 42" A.F.F.	⊖	A/C SUPPLY - FLOOR
⊖	DIMMER SWITCH, 42" A.F.F.	⊖	THERMOSTAT
⊖	3 WAY DIMMER SWITCH, 42" A.F.F.	⊖	SPECIAL PURPOSE OUTLET, 18" A.F.F.
⊖	DUPLEX OUTLET 18" A.F.F.	⊖	SPECIAL PURPOSE OUTLET, DISTANCE A.F.F.
⊖	DUPLEX OUTLET, DISTANCE A.F.F.	⊖	SMOKE DETECTOR WITH BATTERY BACK-UP
⊖	WATERPROOF GR DUPLEX OUTLET 18" A.F.F.	⊖	COMBINATION SMOKE DETECTOR / CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP
⊖	WATERPROOF GR DUPLEX OUTLET DIST. A.F.F.	⊖	A/C DUCT FOR FIRST FLOOR SUPPLIES
⊖	GROUND FAULT INTERRUPTED DUPLEX OUTLET, DIST A.F.F.	⊖	A/C DUCT FOR SECOND FLOOR SUPPLIES
⊖	GROUND FAULT INTERRUPTED DUPLEX OUTLET, 18" A.F.F.	⊖	HOSE BIBB
⊖	GROUND FAULT INTERRUPTED COUNTERTOP RECEPTACLE	⊖	DOOR CHIME BUTTON
⊖	FLOOR OUTLET	⊖	DOOR CHIME
⊖	220 VOLT SUPPLY	⊖	GARAGE DOOR OPENER
⊖	220 VOLT OUTLET	⊖	RETURN AIR DUCT
⊖	GAS SUPPLY	⊖	ALARM PANEL
⊖	A/C SUPPLY - CEILING	⊖	RECESSED FLOOR OUTLET



- NOTES:**
- REFER APPLIANCE AND EQUIPMENT CUT SHEETS FOR ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL HOOK-UPS, ETC.
  - VERIFY LOCATION AND POWER REQUIREMENTS OF ALL LOW-VOLTAGE SYSTEMS, SEWER LIFT STATION, POOL EQUIPMENT, ETC.
  - PROVIDE DEDICATED CIRCUITS FOR ALL AV EQUIPMENT.
  - VENT ALL EQUIPMENT TO LOCATIONS THAT MINIMIZE VISIBILITY AS MUCH AS POSSIBLE.
  - REFER LANDSCAPE LIGHTING DRAWINGS BY OTHERS.
  - RECEPTACLES IN BEDROOMS ARE TO BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTOR.
  - ALL ELECTRICAL, HEATING, VENTILATION, PLUMBING, AIR CONDITIONING EQUIPMENT, AND OTHER SERVICE FACILITIES SHALL BE LOCATED ABOVE MINIMUM BASE FLOOD ELEVATION AS TO PREVENT WATER FROM ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING.
  - CONTRACTOR SHALL PROVIDE SUFFICIENT FRESH AIR & COMBUSTION AIR FOR GAS FUELED EQUIPMENT.
  - IN ACCORDANCE WITH N101.9 IRC 2021 ED., A PERMANENT CERTIFICATE MUST BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL, LISTING THE PREDOMINANT RAVALUES OF ALL INSULATION, INCLUDING DUCTS, AS WELL AS ALL TYPES OF EFFICIENCIES OF HEATING, COOLING, AND SERVICE WATER HEATING EQUIPMENT.
  - IN ACCORDANCE WITH N102.2 IRC 2021 ED., SUPPLY DUCTS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6.
  - IN ACCORDANCE WITH N103.2.2 IRC 2021 ED., DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. TIGHTNESS SHALL BE VERIFIED AT ALL LOCATIONS IN UNCONDITIONED SPACE.
  - IN ACCORDANCE WITH N103.4 IRC 2021 ED., ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2.
  - IN ACCORDANCE WITH N104.1 IRC 2021 ED., A MINIMUM OF 100% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS.
  - MAINTAIN OPERABILITY OF ALL EXISTING ELECTRICAL OUTLETS AND FIXTURES EXCEPT AS NOTED.



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**MEP-2**

**NOTE:**  
ALL INFORMATION BELOW INDICATES MINIMUM COMPLIANCE WITH THE 2021 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE. WHERE MORE RESTRICTIVE REQUIREMENTS MAY BE FOUND ELSEWHERE IN THESE DRAWINGS AND SPECIFICATIONS, THOSE MORE RESTRICTIVE REQUIREMENTS GOVERN AND MUST BE ACHIEVED.

**MINIMUM INSULATION AND FENESTRATION REQUIREMENTS**

	EXTERIOR WALL	FLOOR	CEILING/ROOF	FENESTRATION
R-VALUE	R-13	N/A	R-49	
INSULATION TYPE	OPEN CELL POLYURETHANE	N/A	OPEN CELL POLYURETHANE	
U-FACTOR				0.29
SHGC				0.25

**NOTES:**  
1. U-FACTORS OF FENESTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE.

**HVAC SYSTEM:**  
1. HEATING AND COOLING EQUIPMENT SHALL BE SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J, OR OTHER METHODS APPROVED BY THE BUILDING OFFICIAL.  
2. HVAC SYSTEM TO BE MINIMUM 16 SEER.  
3. ALL HVAC SUPPLY AND RETURN DUCTS SHALL BE LOCATED COMPLETELY WITHIN THE CONTINUOUS AIR BARRIER AND WITHIN THE BUILDING THERMAL ENVELOPE.  
4. DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED, JOINTS AND SEAM SHALL COMPLY WITH THE INTERNATIONAL MECHANICAL CODE.  
5. ALL SUPPLY AND RETURN AIR DUCTS TO BE INSULATED WITH MINIMUM R-6 INSULATION.  
6. ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS TO BE INSULATED TO MINIMUM R-3.  
7. PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DAMAGE CAUSED BY SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE AND WIND. THE PROTECTION SHALL PROVIDE SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE MATERIAL. ADHESIVE TAPE SHALL BE PROHIBITED.  
8. AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ALL OUTDOOR INTAKES AND EXHAUSTS FOR MECHANICAL VENTILATION SYSTEMS.  
9. AIR HANDLER LEAKAGE DESIGNATED BY THE MANUFACTURER SHALL BE LESS THAN OR EQUAL TO 2% OF DESIGN AIR FLOW.  
10. ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT SHALL MEET EFFICACY AND AIR FLOW LIMITS PER TABLE R403.6.2.  
11. KITCHEN RANGE HOODS SHALL BE DUCTED TO EXTERIOR WITH MINIMUM 6" DUCTS AND MAXIMUM ONE 90° ELBOW.  
12. HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR BELOW 55°F SHALL BE INSULATED TO MINIMUM R-3.  
13. DUCTS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH ANSI/RESNET/ICC380 OR ASTM 1554. TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE ENTIRE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE.  
14. DUCT TIGHTNESS SHALL BE LESS THAN OR EQUAL TO 6 CFM PER 100 SQUARE FEET.  
15. BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

**CONTROLS:**  
1. PROGRAMMABLE THERMOSTAT CAPABLE OF MAINTAINING ZONE TEMPERATURES OF NOT LESS THAN 55°F TO NOT GREATER THAN 85°F.  
2. THERMOSTAT TO BE PROGRAMMED INITIALLY BY THE MANUFACTURER WITH A HEATING TEMPERATURE SETPOINT OF NOT GREATER THAN 70°F AND A COOLING TEMPERATURE SETPOINT OF NOT LESS THAN 78°F.

**WATER LINES:**  
1. ALL HOT AND COLD WATER LINES LOCATED IN EXTERIOR WALLS OR OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED WITH MINIMUM R-3 INSULATION.  
2. ALL HOT AND COLD WATER LINES 3/4" DIAMETER AND LARGER SHALL BE INSULATED WITH MINIMUM R-3 INSULATION.  
3. ALL HOT WATER LINES SHALL BE INSULATED WITH MINIMUM R-3 INSULATION.

**INSULATION:**  
1. ALL INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.  
2. A PROTECTIVE COVERING SHALL BE INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION.  
3. AIR BARRIER AND THERMAL BARRIER SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.

**SEALING:**  
1. AIR LEAKAGE RATE SHALL NOT EXCEED 5.0 AIR CHANGES PER HOUR.  
2. ELECTRICAL AND COMMUNICATION BOXES INSTALLED IN THE THERMAL BOUNDARY OF THE ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.

**LIGHTING FIXTURE SCHEDULE**

	SYMBOL	TYPE	MANUFACTURER	HOUSING	PRODUCT NAME/NUMBER OR TRIM	LAMP / LED MODULE	REMARKS
MASTER BED	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
		CEILING FAN	TO BE SELECTED		TO BE SELECTED		
MASTER BATH	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
	Ⓜ	RECESSED, WET	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED		
	Ⓜ	VENT	TO BE SELECTED		TO BE SELECTED		
	Ⓜ	SCONCE	TO BE SELECTED		TO BE SELECTED		
MASTER CLOSET	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
REAR HALL	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
	Ⓜ	PENDANT FIXTURE	TO BE SELECTED		TO BE SELECTED		
LAUNDRY		CEILING MOUNTED FIXTURE	TO BE SELECTED		TO BE SELECTED		
BATH 1	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
	Ⓜ	SCONCE	TO BE SELECTED		TO BE SELECTED		
	Ⓜ	RECESSED, WET	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED		
	Ⓜ	VENT	TO BE SELECTED		TO BE SELECTED		
BEDROOM 1	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
		CEILING FAN	TO BE SELECTED		TO BE SELECTED		
CLO 1	—	CEILING-MOUNTED	TO BE SELECTED		TO BE SELECTED		
SCREENED PORCH	Ⓜ	RECESSED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	TO BE SELECTED	
		CEILING FAN	TO BE SELECTED		TO BE SELECTED		
ATTIC		LED FIXTURE	TO BE SELECTED		TO BE SELECTED		
ENTR		FLOODLIGHT	TO BE SELECTED		TO BE SELECTED		



BELL ARCHITECTURE

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ADDITION TO CHAMBERLAIN RESIDENCE 316 CARROLL AVENUE BAY ST. LOUIS, MISSISSIPPI



DRAWN BY: CHECKED BY: SCALE: AS NOTED DATE: JANUARY 31, 2026 REVISIONS:

PROJECT NO. 2503

DRAWING NO.

S-1

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- 7.20 HP RAFTERS SHALL BE TWO (2) INCHES DEEPER THAN JACK RAFTERS.
7.21 BRIDGE ALL JOISTS AT 8'-0" O.C. MAX.
7.22 PROVIDE SOLD BLOCKING BETWEEN JOISTS AT BEARING WALLS.
7.23 AT ALL HEADERS UP TO 6'-0" PROVIDE MINIMUM 1 1/2" BEARINGS AT EACH END OF HEADER, U.N.O. AT ALL HEADERS OVER 6'-0" PROVIDE MINIMUM 3" BEARINGS AT EACH END OF HEADER, U.N.O.
7.24 PROVIDE MINIMUM 3" BEARINGS AT EACH END OF BEAMS, U.N.O. INSTALL THREE STUDS UNDER EACH BEARING POINT OF BEAM. STUDS TO BE FASTENED TOGETHER WITH 18D NAILS AT 12" O.C. & WITHIN 3" OF EACH END OF STUDS. ENSURE TIGHT FIT TOP & BOTTOM.
7.25 IF HOLES ARE TO BE BORED THROUGH HORIZONTAL MEMBERS, HOLE DIAMETER SHALL NOT EXCEED 1/3 OF JOIST'S DEPTH CLEAR FROM TOP OR BOTTOM. NOTCHES IN TOP OR BOTTOM OF JOISTS NOT TO EXCEED 1/6 THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. IF JOISTS ARE TO BE NOTCHED AT THE ENDS, DO NOT EXCEED 1/4 DEPTH.
7.26 FRAME ALL OPENINGS WITH DOUBLE STUDS AND HEADERS.
7.27 PROVIDE DRAFT-STOPPING AS REQUIRED BY CODE.
7.28 BRACE ALL RAFTER SPANS EXCEEDING 15'-6" TO BEARING WALLS.
7.29 STRAP ALL RAFTERS TO RIDGE WITH SIMPSON LSTA 15.
7.30 STAIRS SHALL HAVE A MINIMUM OF THREE STRINGERS FOR 36' AND ONE ADDITIONAL STRINGER FOR EACH ADDITIONAL 6' OF TREAD WIDTH. MAX. UNSUPPORTED STRINGER LENGTH TO BE 6'-0".

6. HEADER SCHEDULE

Table with 2 columns: OPENING TYPE and HEADER. Lists various opening types and their corresponding header specifications.

- NOTES:
1. ALL HEADER SIZES ARE PER SCHEDULE UNLESS NOTED OTHERWISE OR IN ENGINEERED LUMBER DRAWINGS.
2. REF FRAMING PLANS FOR GARAGE HEADER SIZE.
3. REF FRAMING PLANS FOR SINGLE STORY EXTERIOR OPENINGS OVER 8' & TWO STORY EXTERIOR OPENINGS OVER 6'.

9. STRUCTURAL STEEL

- 9.01 ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, THE AISC D11 STRUCTURAL WELDING CODE AND MEET THE FOLLOWING REQUIREMENTS.
STRUCTURAL MEMBERS - ASTM A36.
PIPE - ASTM A53 GRADE B.
WELDING MATERIALS - E70XX.

Table with 2 columns: SPAN and ANGLE SIZE. Lists steel angle specifications for different spans and angles.

- 9.02 PROVIDE THE FOLLOWING STEEL ANGLE BRICK LINTELS.
9.03 BRICK LINTELS SHALL BE HOT DIPPED GALVANIZED.
9.04 LAG BOLT LINTELS TO EVERY STUD.
9.05 PROVIDE ADEQUATE FLASHING UNDER AND OVER STEEL LINTELS.

10. SIMPSON STRONG TIE HANGER LIST

Table with 3 columns: HANGER NO., PRODUCT LABEL, DESCRIPTION. Lists Simpson Strong Tie hanger specifications.

- NOTES:
1. INSTALL JOIST HANGERS IN STRICT ACCORDANCE WITH SIMPSON RECOMMENDATIONS. HANGER SIZE TO MATCH MEMBER SIZE.
2. REFER TO TRUSS-JOIST MACMILLAN LITERATURE FOR CONNECTION DETAILS.

7. WOOD FRAMING

- 7.01 ALL WOOD FRAMING INCLUDING TRUSSES SHALL CONFORM TO ANSI/APFA WFCM (WOOD FRAME CONSTRUCTION MANUAL), LATEST EDITION.
7.02 STRUCTURAL TIMBER SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE, OR APPROVED EQUAL BY THE STRUCTURAL ENGINEER, WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF PERMANENT INCORPORATION TO THE STRUCTURE, UNLESS OTHERWISE NOTED IN THE STRUCTURAL DRAWINGS. STRESSES SHALL BE IN ACCORDANCE W/ AWC NATIONAL DESIGN SPECIFICATIONS.

Table with 2 columns: BENDING STRESS, SHEAR STRESS, COMPRESSION STRESS PARALLEL TO GRAIN, MODULUS OF ELASTICITY. Lists stress values for wood framing.

- 7.03 STRUCTURAL GLUED LAMINATED TIMBER SHALL BE VISUALLY GRADED 3 SOUTHERN PINE WITH THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
7.04 STRUCTURAL PARALLAM AND MICROLAM BEAMS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
7.05 PRESERVATIVE-TREATED WOOD SHALL BE USED FOR ALL SILL PLATES, BLOCKING, PLATES AND OTHER MEMBERS THAT ARE IN CONTACT WITH CONCRETE, MASONRY, OR EARTH; FOR ALL FRAMING LUMBER LOCATED BELOW BASE FLOOD ELEVATION; AND FOR ALL MEMBERS THAT ARE EXPOSED TO WEATHER.

Table with 2 columns: BENDING STRESS, SHEAR STRESS, MODULUS OF ELASTICITY. Lists stress values for structural members.

- 7.06 ALL PRESSURE TREATED MATERIAL WILL BE TREATED WITH ANIONIC COPPER QUAT (ACQ-QA-5, OR Q) OR AMINE COPPER QUAT (ACQ-D) AND NOT CCA. ALL FASTENERS AND STRAPS THAT COME IN CONTACT WITH ACQ MATERIAL MUST BE STAINLESS STEEL OR G-185 GALVANIZED (STAINLESS STEEL IS REQUIRED WHERE SPECIFIED IN NOTES OR ON DRAWINGS).
7.07 PREFABRICATED WOODEN STRUCTURAL MEMBERS, INCLUDING TRUSSES SHALL BE DESIGNED SPECIFICALLY FOR THIS PROJECT FOR A 130 MPH LATERAL LOAD. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER. THE SHOP DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE STATE OF MISSISSIPPI.

- 7.08 STUDS IN EXTERIOR WALLS SHALL BE 2x6 OR 2x4, AS INDICATED ON PLANS, SPACED AT 16" O.C. WOOD FRAME WALLS LESS THAN 12' HIGH SHALL HAVE SOLD BLOCKING AT MID-HEIGHT OR AT EACH SHEATHING POINT. WALLS 12' OR GREATER SHALL HAVE SOLD BLOCKING AT 1/3 AND 2/3 STUD LENGTH LOCATIONS.

- 7.09 SILLS AND BASE PLATES SHALL BE ATTACHED TO MASONRY OR CONCRETE WITH 1/2" DIAMETER BOLTS AT A MAXIMUM SPACING OF 32" AND WITHIN 10" IN EACH DIRECTION FROM ALL CORNERS, AND EMBEDDED NOT LESS THAN 7" INTO GROUT FILLED MASONRY OR CONCRETE, W/ 3" DIAM. X 1/8" WASHERS.

- 7.10 ALL TOP PLATES OF STUD BEARING WALLS SHALL BE DOUBLED. SIMPSON 592 STUD TIES SHALL BE INSTALLED AT 32" O.C. MAX. STARTING AT THE FIRST STUD AWAY FROM EACH SIDE OF A DOOR AND/OR WINDOW OPENING. TOP PLATE SHALL SPLICE WITHIN CENTER THIRD OF WALL SECTION. SPLICE TO HAVE A MIN. LAP OF 48" AND CONNECTED WITH 18D NAILS @ 3" O.C.

- 7.11 FLOOR JOISTS UNDER WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.
7.12 FLOOR SHEATHING SHALL BE 3/4" 16G STRUCTURAL 1 RATED EXPOSURE 1. SHEATHING SHALL BE NAILED WITH 2-1/2" LONG 8D COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 10" O.C. AT INTERMEDIATE SUPPORTS.

- 7.13 ROOF SHEATHING SHALL BE 5/8" STRUCTURAL 1 RATED EXPOSURE 1. SHEATHING SHALL BE NAILED WITH 2-1/2" LONG 8D COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND INTERMEDIATE SUPPORTS. AT GABLE ENDS SPACING SHALL BE 4" O.C. WITH 10D COMMON NAILS. AT ALL HORIZONTAL PANEL JOINTS, 2x4 EDGE BLOCKING SHALL BE PROVIDED. PROVIDE H-CUPS @ PANEL EDGES.

- 7.14 PLYWOOD EXTERIOR WALL SHEATHING SHALL BE 1/2" STRUCTURAL 1 RATED EXPOSURE 1 OR PRESSURE-TREATED. SHEATHING SHALL BE NAILED WITH 2-1/2" LONG 8D COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 4" O.C. AT CORNER STUDS.

- 7.15 SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE CLASSED EXTERIOR.

- 7.16 ALL TRUSSES AND RAFTERS SHALL BE STRAPPED OR HURRICANE CLIPPED TO SUPPORTING MEMBERS AT ALL BEARING POINTS. CONTINUOUS LOAD PATH SHALL BE PROVIDED FROM RIDGE TO RAFTERS TO TOP PLATES TO STUDS TO SOLE PLATE TO FOUNDATION.

- 7.17 ALL METAL BRACKETS, CLIPS, HANGERS, TIES, ETC. USED FOR FASTENING WOOD MEMBERS SHALL BE STAINLESS STEEL IN ALL LOCATIONS THAT ARE NOT FULLY WEATHER PROTECTED. 2-MAX OR GALVANIZED COATED FASTENERS SHALL BE USED ONLY IN LOCATIONS THAT ARE FULLY WEATHER PROTECTED.
7.18 WOOD TO WOOD FRAMED CONNECTIONS ARE TO BE MADE WITH BOLTS AND/OR JOIST HANGERS AS SHOWN. TOP-NAILING IS NOT PERMITTED.

- 7.19 MAXIMUM SPANS OF DIMENSIONAL LUMBER USED FOR JACK RAFTERS AT HIPPED ROOF SECTIONS SHALL BE IN ACCORDANCE WITH SPAN TABLES FOR JOISTS AND RAFTERS AS PUBLISHED BY THE NATIONAL PRODUCTS ASSOCIATION.

- 5.08 DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI-318-80 DETAILING MANUAL.
5.09 REINFORCING STEEL SHALL BE NEW BILLET ASTM A615, GRADE 60, EXCEPT STIRRUPS WHICH MAY BE GRADE 40, AND UNLESS OTHERWISE NOTED.
5.10 WELDED WIRE FABRIC (MESH) SHALL CONFORM TO ASTM A185.

- 5.11 TIE ALL REINFORCING STEEL AND EMBEDMENTS SECURELY IN PLACE PRIOR TO PLACING CONCRETE. PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN THE POSITION OF REINFORCEMENT WITHIN SPECIFIED TOLERANCES DURING ALL CONSTRUCTION ACTIVITIES. 'STICKING' DOWELS INTO WET CONCRETE IS NOT PERMITTED.

- 5.12 PROVIDE CONTINUOUS REINFORCEMENT WHEREVER POSSIBLE; SPLICE ONLY AS SHOWN OR APPROVED. STAGGER SPLICES WHERE POSSIBLE; USE TENSION SPLICE (CLASS 'B') UNLESS NOTED OTHERWISE. DOWELS SHALL MATCH THE SIZE AND SPACING OF THE SPECIFIED REINFORCEMENT AND SHALL BE LAPPED WITH TENSION SPLICES (CLASS 'B') UNLESS NOTED OTHERWISE.

- 5.13 EXCEPT AS NOTED OTHERWISE WHERE CONTINUOUS REINFORCING IS SPECIFIED, PROVIDE CORNER BARS AT ALL CORNERS AND T INTERSECTIONS, MATCHING BAR SIZE AND QUANTITY OF CONTINUOUS REINFORCING.

- 5.14 AT ALL GRADE BEAM INTERSECTIONS, BEND TOP BARS SHARPLY TO TURN THE CORNER. EXTEND THE BARS A MINIMUM OF 1'-6" IN EACH DIRECTION FROM THE INTERSECTION. REF. DETAIL.
5.15 ALL REINFORCEMENT SHALL BE BENT COLD, UNLESS OTHERWISE APPROVED BY THE STRUCTURAL ENGINEER.

- 5.16 REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS NOTED OTHERWISE:
FOOTINGS..... 3" (BOTTOM AND SIDES)
BEAMS..... 1 1/2"

- 5.17 DO NOT PLACE PIPES OR DUCTS EXCEEDING ONE THIRD THE SLAB OR WALL THICKNESS WITHIN THE SLAB OR WALL UNLESS SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.

- 5.18 DO NOT WELD OR TACK WELD REINFORCING STEEL UNLESS APPROVED OR DIRECTED BY THE ARCHITECT OR STRUCTURAL ENGINEER.

- 5.19 ALL REINFORCING STEEL AND EMBEDMENTS SHALL BE SECURELY TIED AND SUFFICIENTLY SUPPORTED TO MAINTAIN THE POSITION WITHIN SPECIFIED TOLERANCES DURING ALL CONSTRUCTION ACTIVITIES.

- 5.20 WIRE MESH SUPPORTS @ 4'-0" O.C. MAX. MAY BE USED TO SUPPORT REINFORCING STEEL, IN LIEU OF #3 STIRRUPS.

- 5.21 TROWEL SMOOTH ALL FACES OF CONCRETE THAT WILL REMAIN VISIBLE.

- 5.22 WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

6. CONCRETE MASONRY

- 6.01 HOLLOW CONCRETE BLOCK (MASONRY) UNITS SHALL CONFORM TO ASTM C90, GRADE N-1, WITH A MINIMUM COMPRESSIVE STRENGTH OF 8000 PSI ON THE NET AREA AND 1000 PSI ON THE GROSS AREA (Fm = 1500 PSI), COMPLY WITH RECOMMENDATIONS OF THE NATIONAL CONCRETE MASONRY ASSOCIATION.

- 6.02 ALL MORTAR FOR MASONRY SHALL CONFORM TO ASTM C270, TYPE S OR M. ALL GROUT FOR USE IN MASONRY SHALL CONFORM TO ASTM C476, MINIMUM 2500 PSI AT 28 DAYS.

- 6.03 ALL CONTINUOUS BARS SHALL HAVE BASIC CLASS 'C' TENSION LAPS WITH CORNER BARS AT ALL CORNERS AND WALL INTERSECTIONS.

- 6.04 ALL VERTICAL REINFORCEMENT IN MASONRY WALLS SHALL BE DEFORMED BARS OF GRADE INDICATED COMPLYING WITH ASTM A615, AND SHALL HAVE CLASS 'C' TENSION LAPS.

- 6.05 PROVIDE MASONRY HORIZONTAL JOINT REINFORCEMENT 16" O.C. VERTICAL IN ALL CONCRETE BLOCK WALLS. REINFORCEMENT SHALL BE FOR TOTAL WIDTH OF CAVITY WALLS. REINFORCEMENT SHALL BE ASTM A62 TRUSS TYPE, MIN. 9 GAUGE.

- 6.06 CONCRETE FOR BLOCK FILL SHALL HAVE 3/8 INCH MAXIMUM SIZE COARSE AGGREGATE AND SUFFICIENT WATER SO THE CONCRETE WILL FLOW INTO THE BLOCK CELLS WITHOUT LEAVING VOIDS. HEIGHT OF LIFT WHEN FILLING CELLS SHALL NOT EXCEED 4'-0".

- 6.07 UNLESS INDICATED OTHERWISE, PROVIDE MASONRY CONTROL JOINTS AT A MAXIMUM SPACING OF 40 FEET. JOINTS SHALL BE DISCONTINUOUS AT BOND BEAM.

- 6.08 FILL ALL STEEL REINFORCED CELLS WITH CONCRETE. REINFORCE 1- CELL AT 24" O.C., 2- CELLS EACH SIDE OF OPENINGS AND 5- CELLS AT CORNERS AND BEAM BEARING LOCATIONS WITH 1- #5 VERTICAL BAR DOWELED TO FOUNDATION AND HOOKED WITH BOND BEAM AT ROOF U.N.O.

- 6.09 EXPANSION BOLTS INTO MASONRY WALL SHALL BE MIN. 5/8" IN DIAMETER WITH MINIMUM 4" EMBEDMENT LENGTH IN CONCRETE.

- 6.10 JOINTS SHALL BE 3/8" AND TOOLED SLIGHTLY CONCAVE.

- 6.11 UNITS SHALL BE LAID IN RUNNING BOND UNLESS INDICATED OTHERWISE.

3. FOUNDATIONS AND SLAB ON GRADE

- 3.01 THE DESIGN OF FOUNDATIONS AND SLAB ON GRADE IS BASED ON AN ASSUMED SOIL BEARING PRESSURE OF 2,000 PSF MINIMUM.

- 3.02 UNLESS NOTED OTHERWISE, SLAB-ON-GROUND SHALL BE MINIMUM 5" THICK, PLACED ON COMPACTED SUBGRADE, REINFORCED WITH 6x6 - W1.4 X W1.4 WWF IN FLAT SHEETS (ROLLS NOT PERMITTED). PROVIDE POSITIVE SUPPORT 2' CLEAR FROM BOTTOM OF SLAB. LAP MESH 3 CROSS WIRES AT SPLICES. PLACE CONTROL JOINTS AT COLUMN LINES AND AT INTERMEDIATE LINES SUCH THAT AREA OF EACH PANEL DOES NOT EXCEED 400 SQUARE FEET. LOCATE CONSTRUCTION JOINTS AT CONTROL JOINTS. PROPERLY DESIGNED FIBER REINFORCED CONCRETE MAY BE SUBSTITUTED FOR MESH, SUBJECT TO PRIOR APPROVAL. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS ON SUBGRADE.

- 3.03 FILL UNDER FOOTINGS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY (ASTM D-698). SEE SPECIFICATIONS FOR COMPACTION AND TESTING REQUIREMENTS.

- 3.04 FOOTING ELEVATIONS SHOWN ON PLAN ARE MINIMUM DEPTH.

- 3.05 UNUSUAL SOIL CONDITIONS MAY REQUIRE CHANGE IN FOOTING ELEVATIONS. CONTACT ARCHITECT AND/OR ENGINEER FOR APPROVAL TO CHANGE ELEVATION.

- 3.06 PLACE 10 MIL. POLYETHYLENE VAPOR BARRIER BENEATH ALL SLABS AND BEAMS ON GRADE.

4. PILINGS - NOT USED

5. REINFORCED CONCRETE

- 5.01 ALL CONCRETE WORK SHALL CONFORM TO ACI 301-02, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. DESIGN IS BASED ON ACI 318-02, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITION.

- 5.02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE TYPE 1 CEMENT ASTM C150 NORMAL WEIGHT AGGREGATES AND SHALL HAVE THE FOLLOWING MINIMUM 28 DAY STRENGTHS:
FOUNDATIONS..... 4000 PSI
SLAB ON GRADE..... 4000 PSI

- 5.03 THE PROPOSED MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNERS TESTING LABORATORY. RESPONSIBILITY FOR OBTAINING THE REQUIRED DESIGN STRENGTH IS THE CONTRACTORS.

- 5.04 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED.

- 5.05 NOMINAL MAXIMUM SIZE OF COARSE AGGREGATE SHALL NOT BE LARGER THAN 1/5 THE NARROWEST DIMENSION BETWEEN SIDES OF FORMS, 1/3 THE DEPTH OF SLABS, NOR 3/4 THE MINIMUM CLEAR SPACING BETWEEN INDIVIDUAL REINFORCING BARS OR WIRES.

- 5.06 ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND ALL REINFORCEMENT, FORMS, FILERS, AND GROUND IN WHICH CONCRETE IS TO COME INTO CONTACT DURING FREEZING OR NEAR-FREEZING WEATHER.

- 5.07 HORIZONTAL CONSTRUCTION JOINTS ARE PERMITTED ONLY WHERE INDICATED. CONSTRUCTION JOINTS SHALL BE THOROUGHLY ROUGHENED BY MECHANICAL MEANS, AND CLEANED.

1. GENERAL STRUCTURAL NOTES

- 1.01 DESIGN CRITERIA

A. CODES:

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MISSISSIPPI STATE UNIFORM CONSTRUCTION CODE (THE 2021 INTERNATIONAL RESIDENTIAL CODE).

THE STRUCTURE HAS BEEN DESIGNED TO RESIST WIND VELOCITY OF 130 MPH IN ACCORDANCE WITH ANSI/APFA WFCM (WOOD FRAME CONSTRUCTION MANUAL), LATEST EDITION, AND I.R.C. 2021, PAR. R.501.2.1.1.

MISSISSIPPI STATE UNIFORM CONSTRUCTION CODE, 2021

AMERICAN CONCRETE INSTITUTE, LATEST EDITION

AMERICAN SOCIETY FOR TESTING & MATERIALS, LATEST EDITION.

BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (A.C.I. 318).

- B. DESIGN LIVE LOADS
ROOF..... 20 PSF
FLOORS..... 40 PSF
BALCONIES..... 60 PSF
LATERAL FORCES..... 130 MPH (BASIC WIND SPEED)

WIND IMPORTANCE FACTOR = 1.0
WIND EXPOSURE = B

- 1.02 ALL CONSTRUCTION SHALL CONFORM TO THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE, 2021 EDITION. REFERENCE TO OTHER STANDARD SPECIFICATIONS OR CODES SHALL MEAN THE LATEST STANDARD OR CODE ADOPTED AND PUBLISHED.

- 1.03 DRAWINGS SHOW TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY FOR DETAILS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS SIMILAR TO THOSE SHOWN.

- 1.04 VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCY.

- 1.05 NOTIFY THE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THE STRUCTURAL CONTRACT DOCUMENTS.

- 1.06 THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.

- 1.07 COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL. NOTIFY ARCHITECT OF ANY CONFLICT AND/OR OMISSION.

- 1.08 COORDINATE AND VERIFY FLOOR AND ROOF OPENING SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. FOR ADDITIONAL OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS SEE ARCHITECTURAL AND MECHANICAL DRAWINGS.

- 1.09 FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS.

- 1.10 REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO THE STRUCTURAL ENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTRACTOR IS ALSO RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION.

- 1.11 SUPERIMPOSED DESIGN LOADS.
ROOF LIVE LOAD (ON HORIZONTAL PROJECTION)..... 20 PSF
WIND LOAD (BASED ON 130 MPH):
BASIC WIND LOAD PRESSURE @ (0-30 FT)..... 32 PSF

2. EARTHWORK

- 2.01 STRIP THE AREA UNDER THE BUILDING OF ANY ORGANIC MATERIAL, STUMPS, ROOTS, TRASH OR OTHER DEBRIS. REMOVE THIS MATERIAL FROM THE SITE. PLACE BUILDING SLAB ON RIVER SAND FILL. PLACE AND COMPACT FILL TO PROVIDE ADEQUATE SUPPORT FOR THE WET CONCRETE UNTIL CURED.

- 2.02 GEOTECHNICAL ENGINEER SHALL VERIFY CONDITION AND/OR ADEQUACY OF ALL SUBGRADES, FILLS AND BACKFILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS, WALL FILLS, BACKFILLS, ETC.

- 2.03 FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE, AND NOT TOWARD NEIGHBORING PROPERTIES.



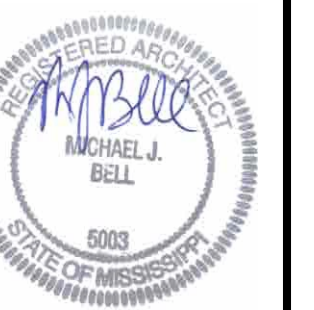
**BELL**  
ARCHITECTURE

755 CAMP STREET  
NEW ORLEANS  
LOUISIANA 70130

504-596-2355

bellarchitecture.net

**ADDITION TO CHAMBERLAIN RESIDENCE**  
316 CARROLL AVENUE  
BAY ST. LOUIS, MISSISSIPPI



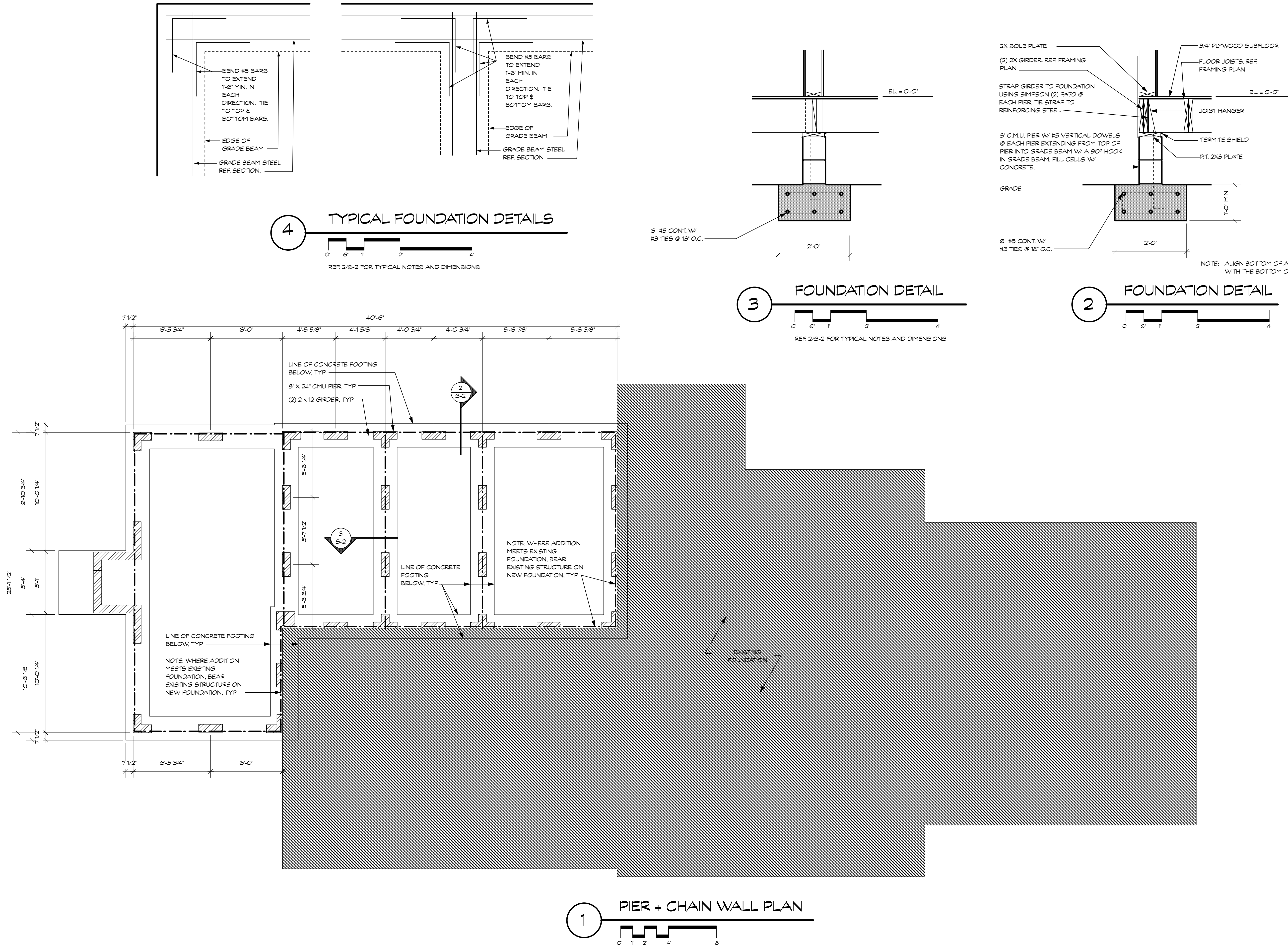
DRAWN BY:  
CHECKED BY:  
SCALE: AS NOTED  
DATE: JANUARY 31, 2026  
REVISIONS:

PROJECT NO. 2503

DRAWING NO.

**S-2**

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Copyright applies to building design, and drawings  
and specifications depicting the building design.





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bellarchitecture.net

**ADDITION TO CHAMBERLAIN RESIDENCE**  
316 CARROLL AVENUE  
BAY ST. LOUIS, MISSISSIPPI

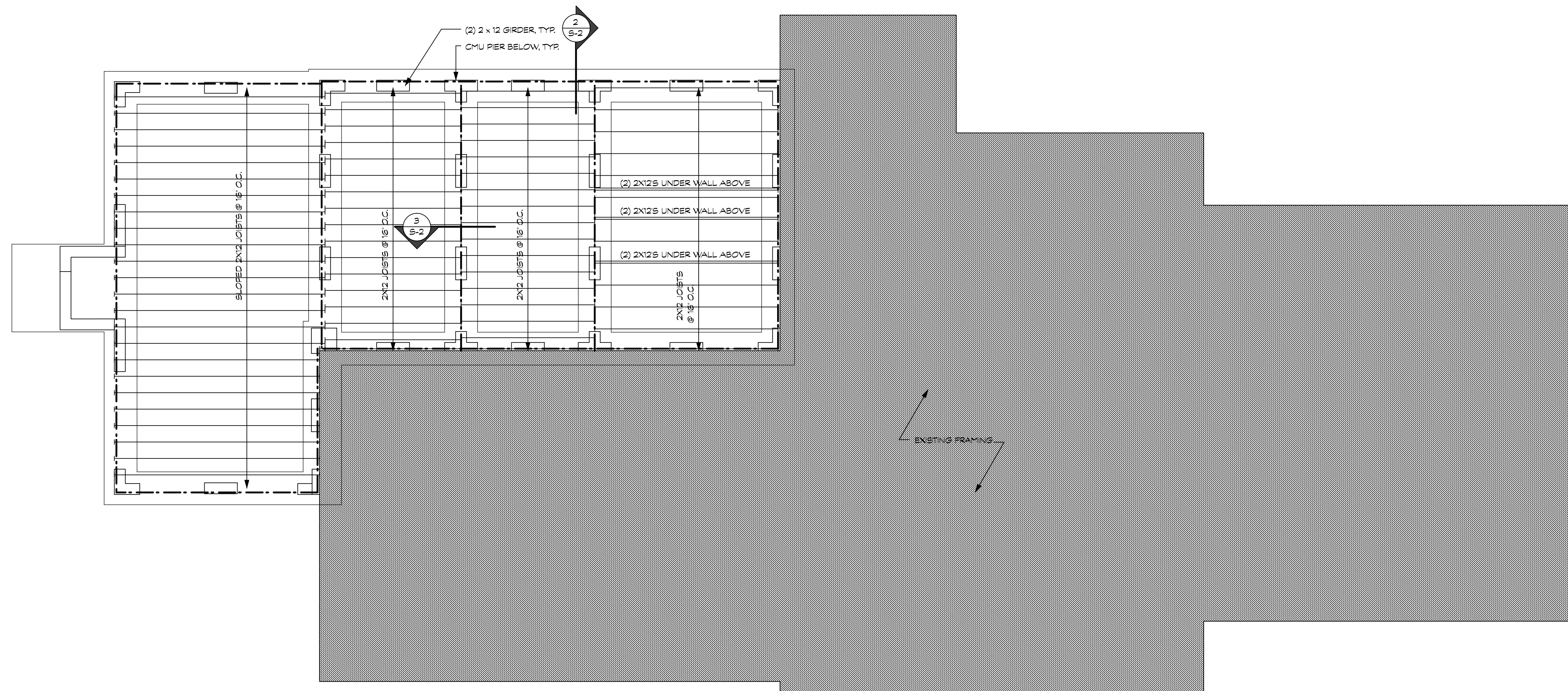


DRAWN BY:  
CHECKED BY:  
SCALE: AS NOTED  
DATE: JANUARY 31, 2026  
REVISIONS:

PROJECT NO. 2503

DRAWING NO.

**S-3**



**1** FIRST FLOOR FRAMING PLAN





**BELL**  
ARCHITECTURE

755 CAMP STREET  
NEW ORLEANS  
LOUISIANA 70130

504-596-2355  
bellarchitecture.net

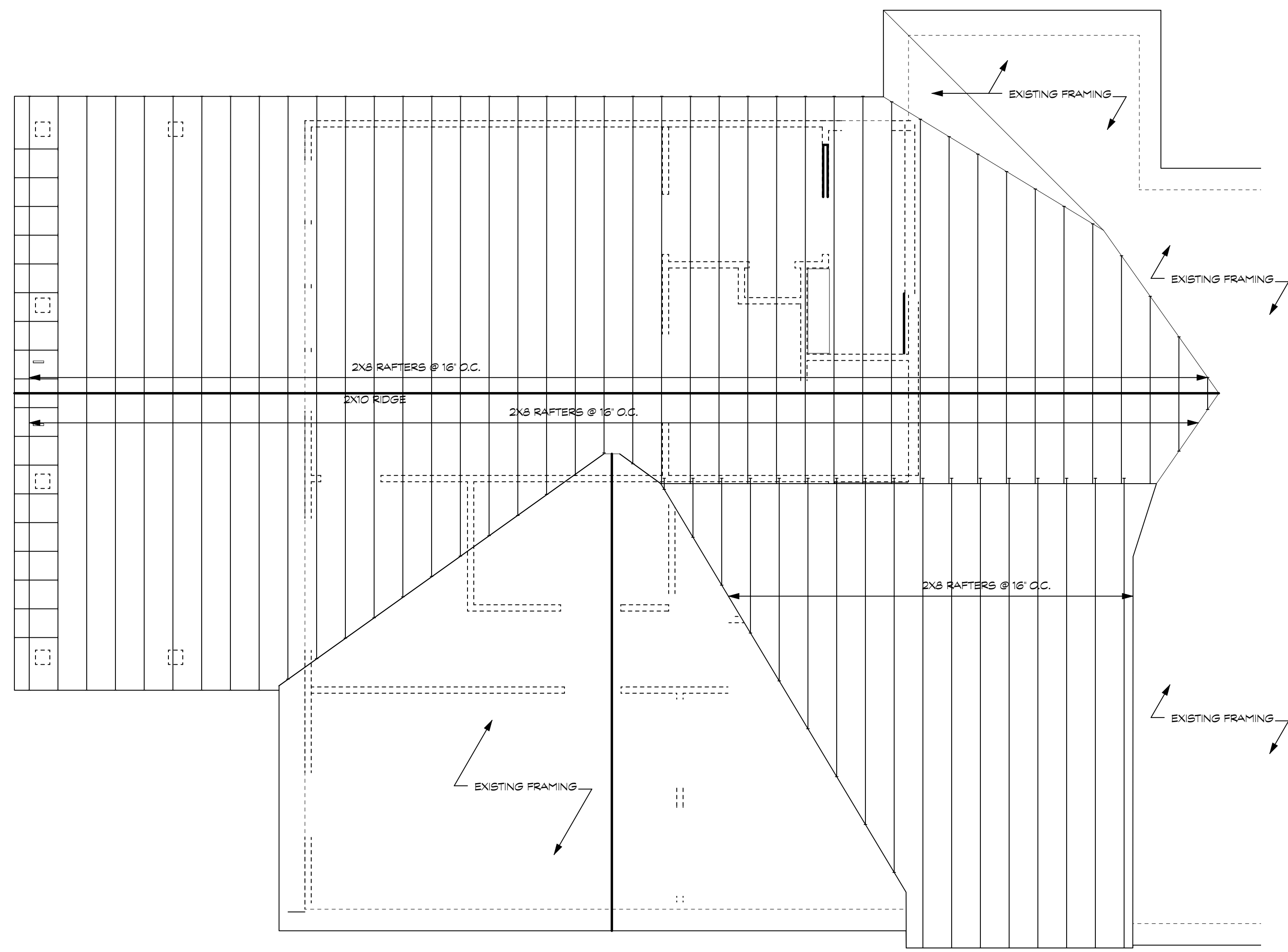
**ADDITION TO CHAMBERLAIN RESIDENCE**  
316 CARROLL AVENUE  
BAY ST. LOUIS, MISSISSIPPI



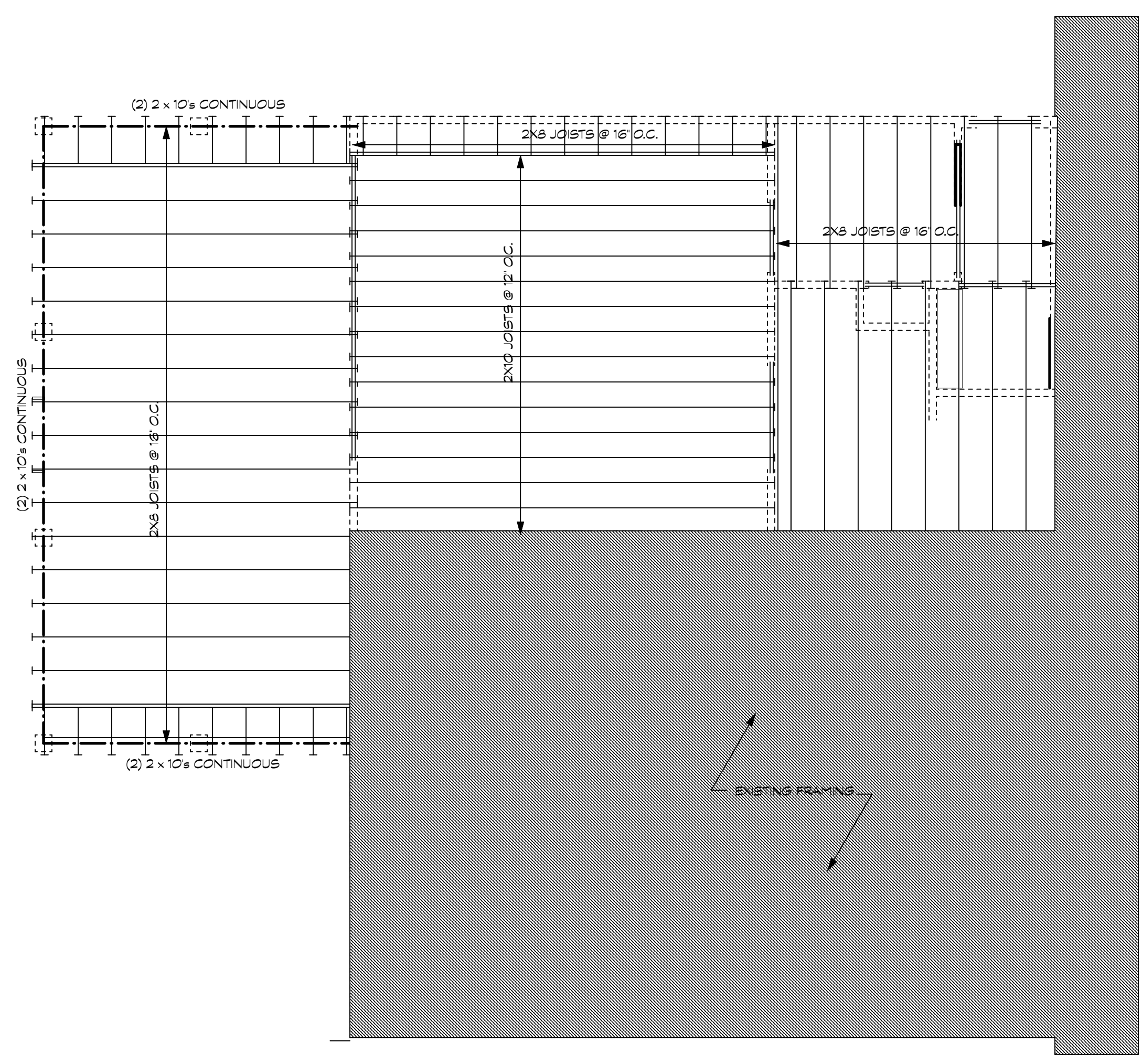
DRAWN BY:  
CHECKED BY:  
SCALE: AS NOTED  
DATE: JANUARY 31, 2026  
REVISIONS:

PROJECT NO. 2503  
DRAWING NO.

**S-4**



**2** ROOF FRAMING PLAN  
0 1 2 4 8



**1** ATTIC FRAMING PLAN  
0 1 2 4 8

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Copyright applies to building design, and drawings  
and specifications depicting the building design.

Item # 1.



Item # 1.



Item # 1.



Item # 1.



Item # 1.



Item # 1.



### 316 Carroll Description of Exterior Trim Materials

A) Siding: Wood lap (front and sides); Dutch lap siding (side /rear addition SW corner); Fiber/cement lap siding (rear/side SE addition)

Trim: 5/4 wood trim with wood drip cap and sill

B) Masonry Foundation: mixture of brick, CMU block and precast concrete piers

C) Windows: wood double hung

a. Front/side 32"x80" 4 over 4

b. Sides/rear 36"x54" 6 over 6

c. Doors: wood panel half-light entry doors

D) Wood Shutters

E) Posts:

a. Front covered porch: Wood tongue and groove decking with decorative 6x6 wood posts

F) Roof: Retro-R panel screwed down metal roof

Share the love this Valentine's Day with gifts and décor. Shop Now >



What can we help you find?

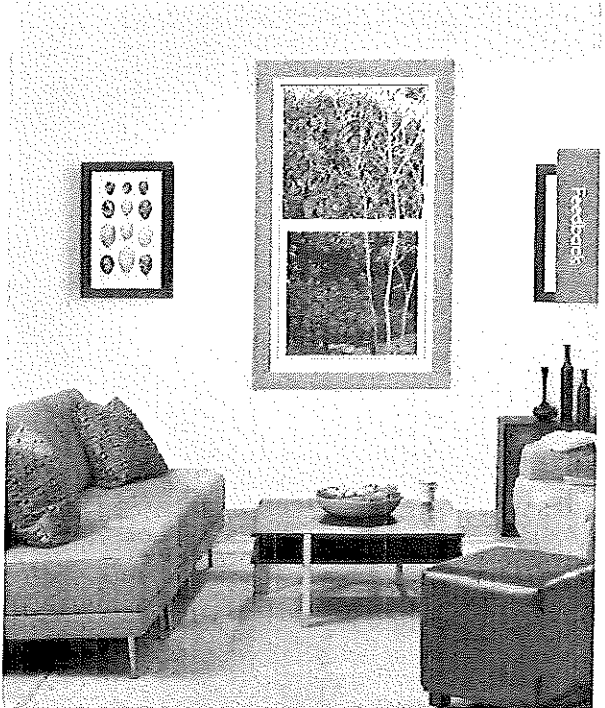
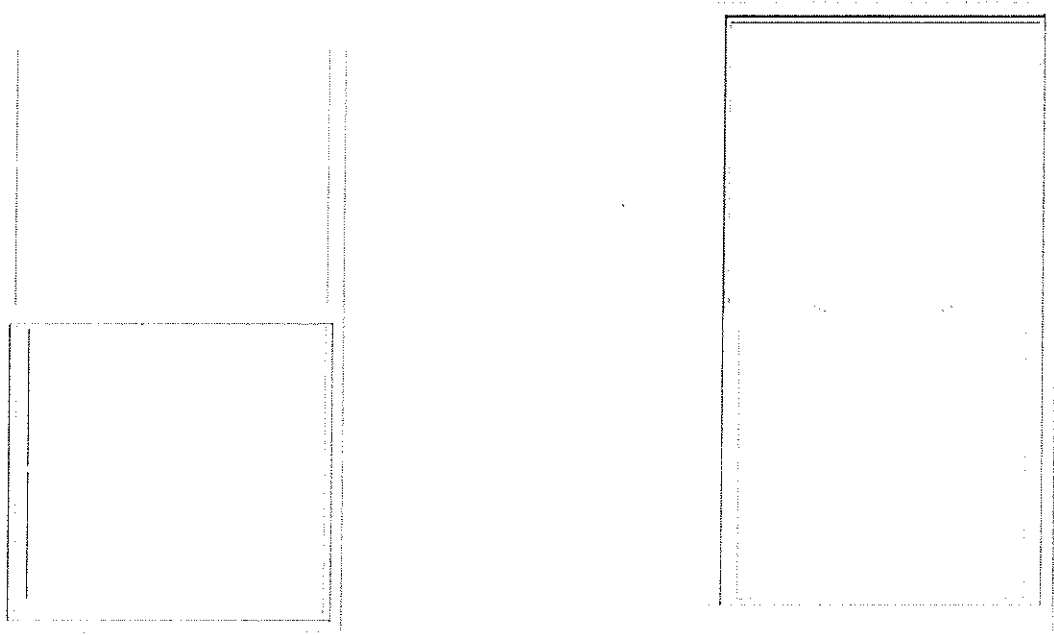
- Shop All
- Appliances
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- Outdoor
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< Back to Results / Windows & Doors / Windows / Single Hung Windows



Item # 2.

View All Images

At a Glance



Screen Included



Titable Sash



Integrated Nail Fin

[View More](#)

JELD-WEN Premium Atlantic Vinyl 35-1/2-in x 59-1/2-in White Exterior Vinyl New Construction Single Hung Window Impact Resistant Low-E Double Pan (Half Screen Included) Hurricane Approved

Item # 2624001 | MFG # JAS23500096

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♡ 3.5 40

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Buy Now, Pay Later  
Pay \$64.75 with 12 monthly payments. [Learn How](#)

Exterior Color/Finish: White



Actual Size (W x H): 35-1/2-in x 59-1/2-in

35-1/2-in x 59-1/2-in



Get It Installed  
You'll buy materials after the consultation.

Schedule Your FREE Consultation  
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Pickup

Available Nearby

Delivery

As soon as Thu, Feb 5  
8 Available

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8 in Stock at D'iberville Lowe's (30.6 miles)

1



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In-use/lifestyle images - other products, materials, and/or accessories not included

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JELD-WEN V-2500 35-1/2-in x 59-1/2-in White Exterior Vinyl New Construction...

\$303.53

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JELD-WEN Premium Atlantic Vinyl 35-1/2-in x 47-1/2-in White Exterior Vinyl New...

\$564.00

+ Add to Cart

JELD-WEN Premium Atlantic Vinyl 35-1/2-in x 35-1/2-in White Exterior Vinyl New...

\$473.00

+ Add to Cart

JELD-WEN Premium Atlantic Vinyl 35-1/2-in x 35-1/2-in White Exterior Vinyl New...

\$393.00

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Trending Now



Selected

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Selected

Bestseller



JELD-WEN Premium Atlantic Vinyl 35-1/2-in x 59-1/2-in White Exterior...

\$635.00

RELIABILT Self-Adhesive 4-in x 33-ft Silver Rubberized asphalt Self-adhesive roll...

\$12.48

Lowe's 9-ft x 150-ft Water Resistant UV Resistant House Wrap 1350-sq ft

\$118.00

LP SmartSide 0.354-in x 48.0-in x 96.0-in Primed OC raw vertical Panel...

\$41.29

Subtotal: \$806.77

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Overview





Item # 2.

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# BAO SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Gunderson

Address: 209 De Montluzin Ave, BSL, MS  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number( 337 ) 298-9784

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: \_\_\_\_\_

Give written scope of work to be performed: \_\_\_\_\_

Replace 5 non-working with JELD-WEN  
Premium Atlantic Vinyl White Exterior Vinyl  
Single Hung Impact windows on ~~South~~ East  
side of house



Replace  
These

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 120 Citizen Street
Applicant Name: Amy Doescher (architect) Owner Name: Jason + Bethy Guillet
Mailing Address: 530 main St. St B Mailing Address: 129 Camell St. Mandeville, LA 70448
Phone: 228-216-9554 Phone: (504) 906-4907

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Application

[ ] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

[ ] Addition/Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

[x] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[ ] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building, Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Amy H Doescher (architect) Date: 1/27/2026
Owner's Signature
Required: Date:

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

HPC Review / City Council Review

Historic District Case Number
Historic Preservation Commission Reviewed Review Date
Recommendation: [x] Approval [ ] Approval with Conditions [ ] Denial [ ] Disapprove
Comment:
Requires Property Owner/Applicant Signature
HPC City Council Reviewed
COA Action Approval [ ] YES [ ] NO Date COA Action
Comments:
(BSL Historic Preservation Commissioner / City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Revised May 4, 2009

# BAY SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Jason + Betty Guillot

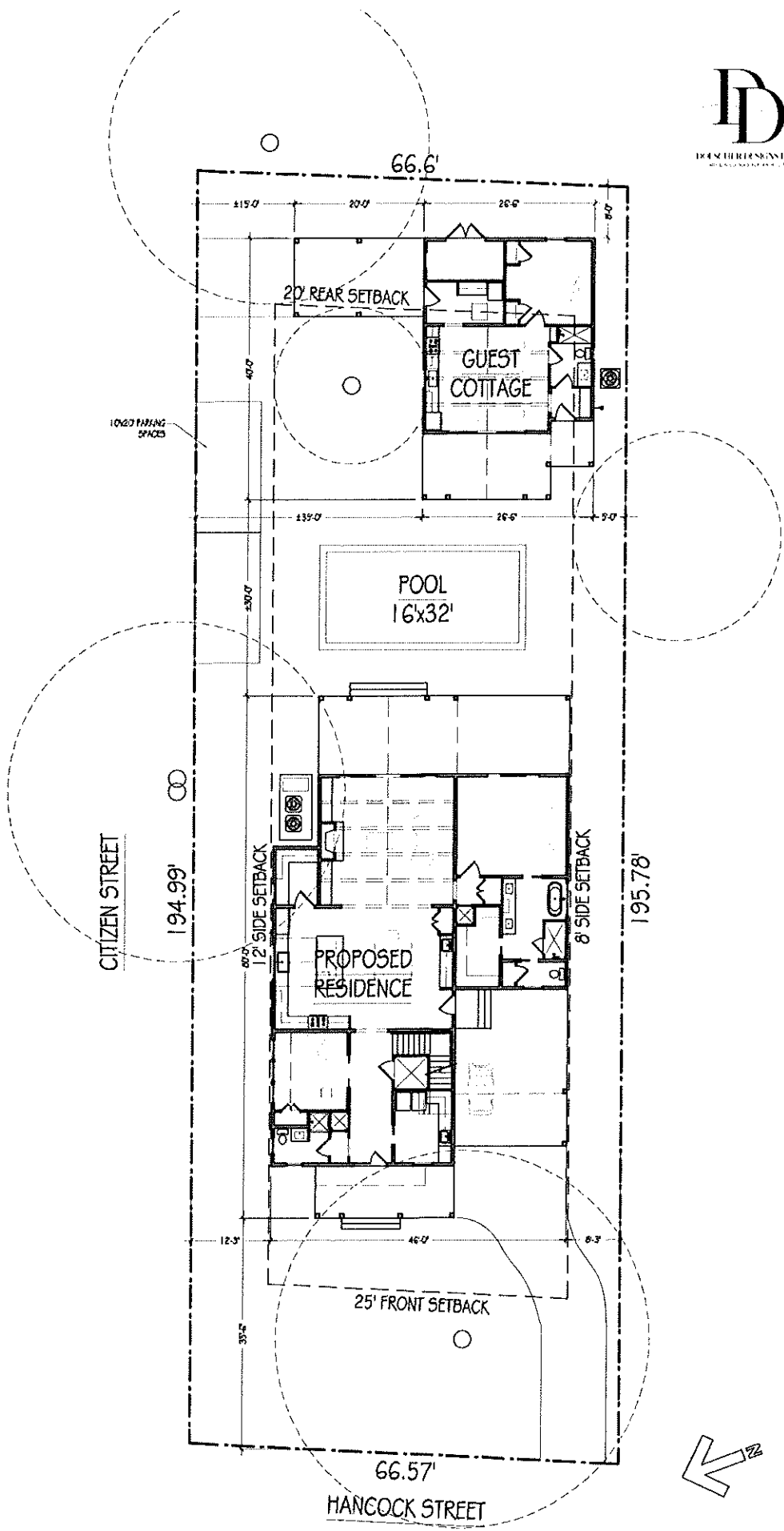
Address: 129 Cornell St. Mandeville, LA 70448  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number (601) 906-4907

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 120 Citizen St.

Give written scope of work to be performed: New residence + guest cottage (if approved by P+Z)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**1 SITE PLAN**  
Scale: NTS

REVISIONS

PLOT DATE  
 DECEMBER 5, 2025

SHEET TITLE  
 ELEVATIONS

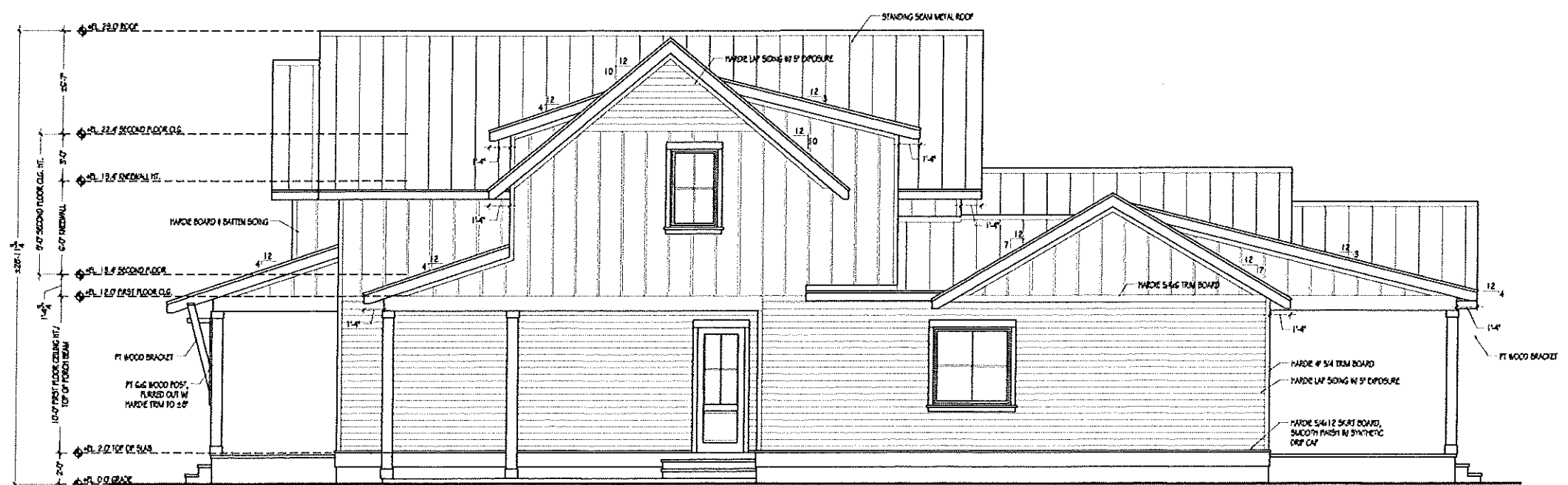
SHEET NUMBER

A3.0



**1 FRONT ELEVATION (HANCOCK ST.)**  
 Scale: 1/4"=1'-0"

-PGT impact rated windows



**2 SIDE ELEVATION**  
 Scale: 1/4"=1'-0"

**DOESCHER DESIGNS PLLC**  
 Amy Gemelli Doescher, Architect  
 518 Esplanade Avenue  
 Bay Saint Louis, MS 39520  
 228.265.9355  
 amydoescher@gmail.com

**NOT FOR CONSTRUCTION**

**GUILLOT RESIDENCE  
 NEW CONSTRUCTION**  
 120 CITIZEN STREET  
 Bay Saint Louis, Mississippi 39520

THE USE OF THESE PLANS SHALL BE RESTRICTED TO THE ORIGINAL PROJECT AND FOR WHICH THEY WERE CREATED. ANY REPRODUCTION OR REUSE OF THESE PLANS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

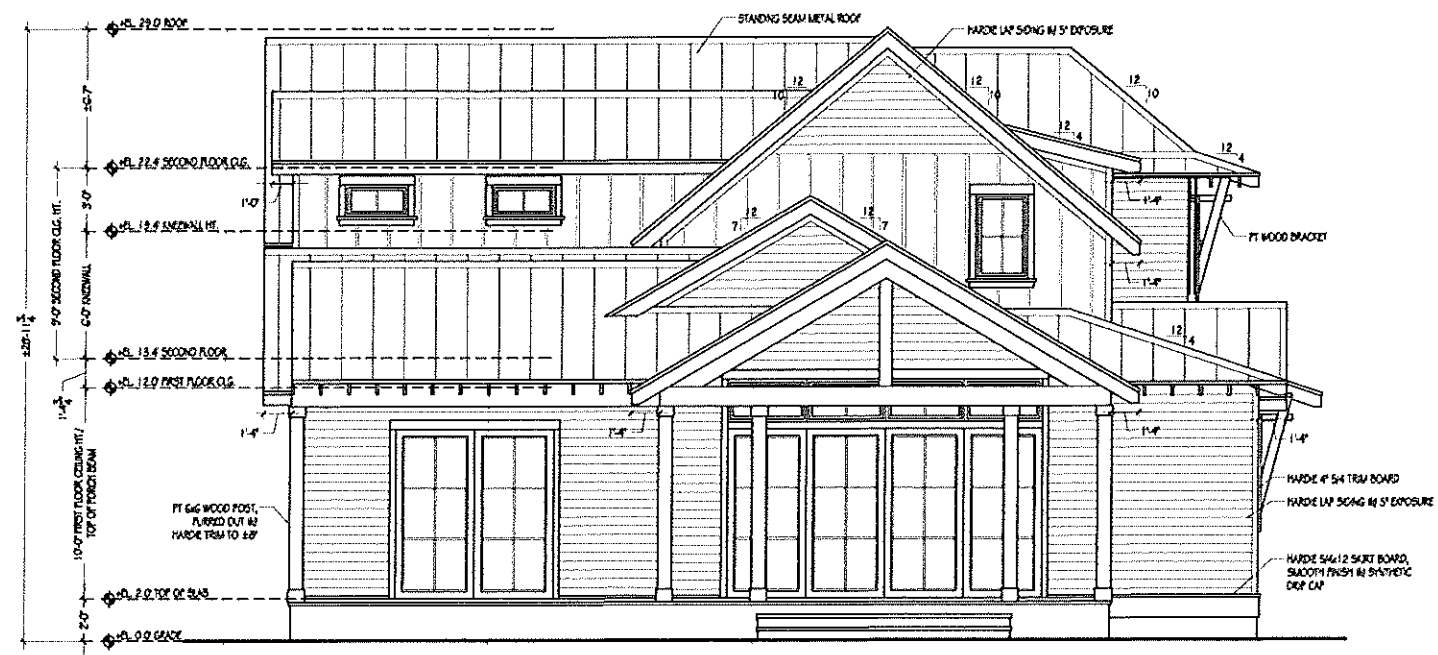
REVISIONS

PLOT DATE  
 DECEMBER 5, 2025

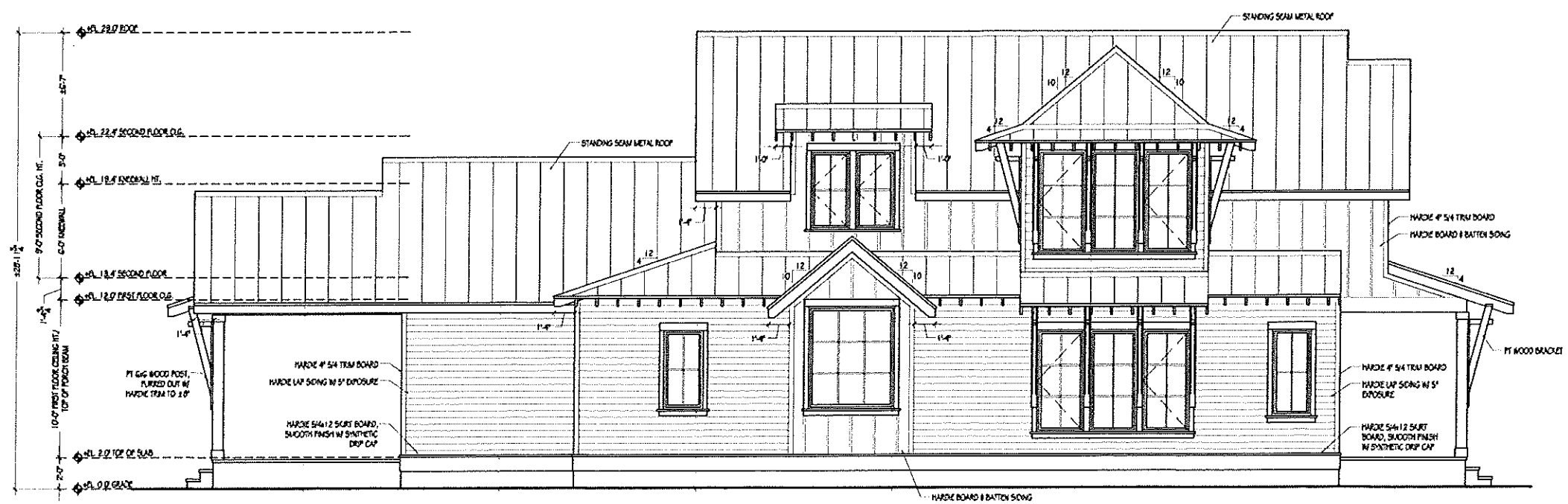
SHEET TITLE  
 ELEVATIONS

SHEET NUMBER

A3.1



**1 REAR ELEVATION**  
 Scale: 1/4"=1'-0"



**2 SIDE ELEVATION (CITIZEN ST.)**  
 Scale: 1/4"=1'-0"

THE USE OF THESE PLANS SHALL BE RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THEY WERE CREATED, AND REPRODUCTION, EITHER IN WHOLE OR IN PART, IS PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. THIS ALSO APPLIES TO ANY AND ALL COPIES OF THESE PLANS.

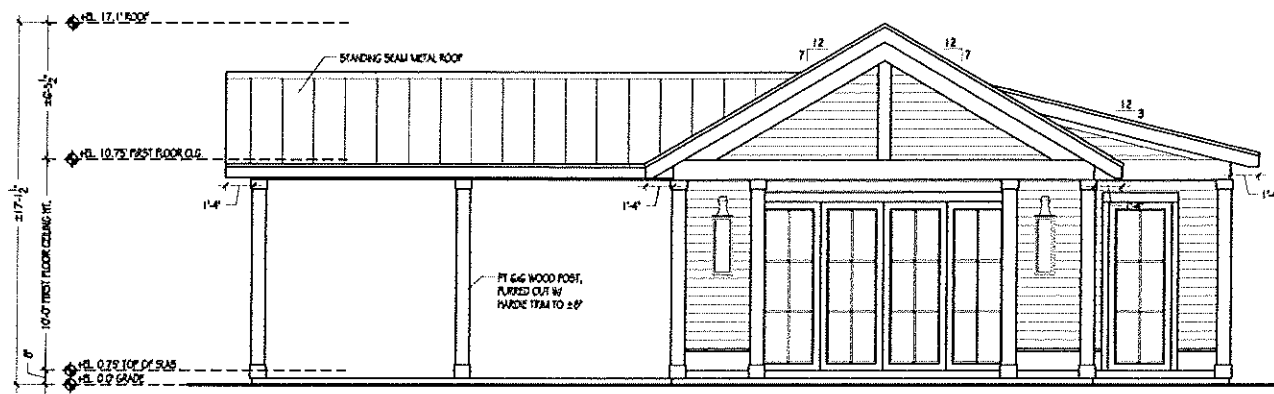
REVISIONS

PLOT DATE  
 DECEMBER 5, 2025

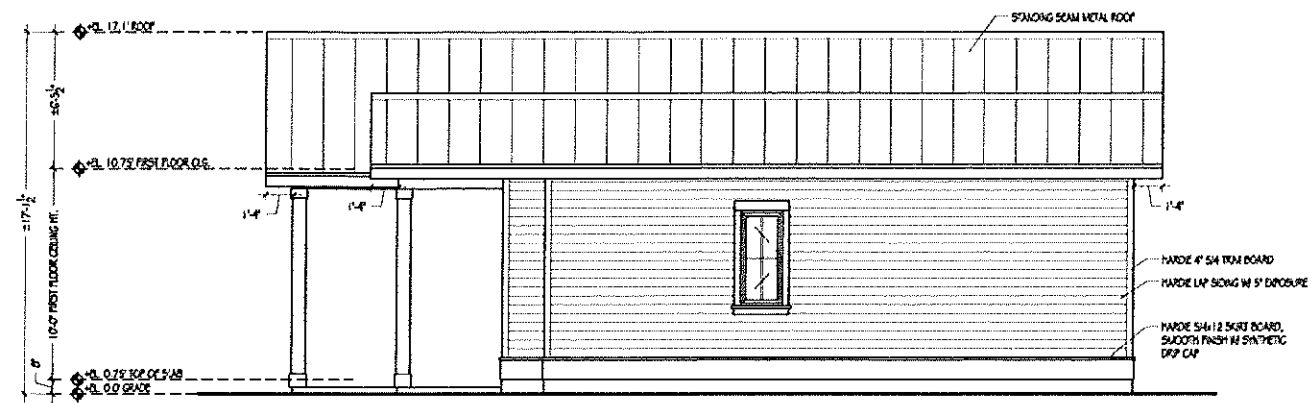
SHEET TITLE  
 COTTAGE ELEVATIONS + SCHEDULES

SHEET NUMBER

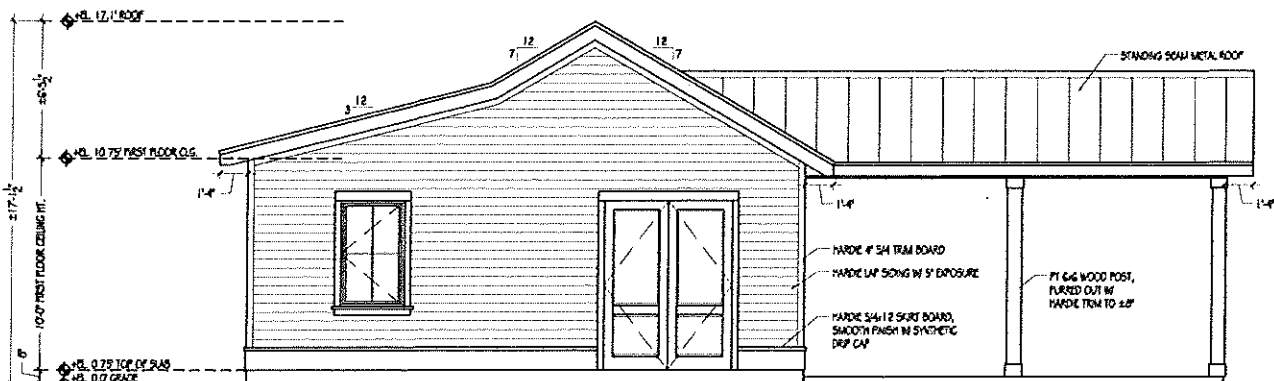
A6.1



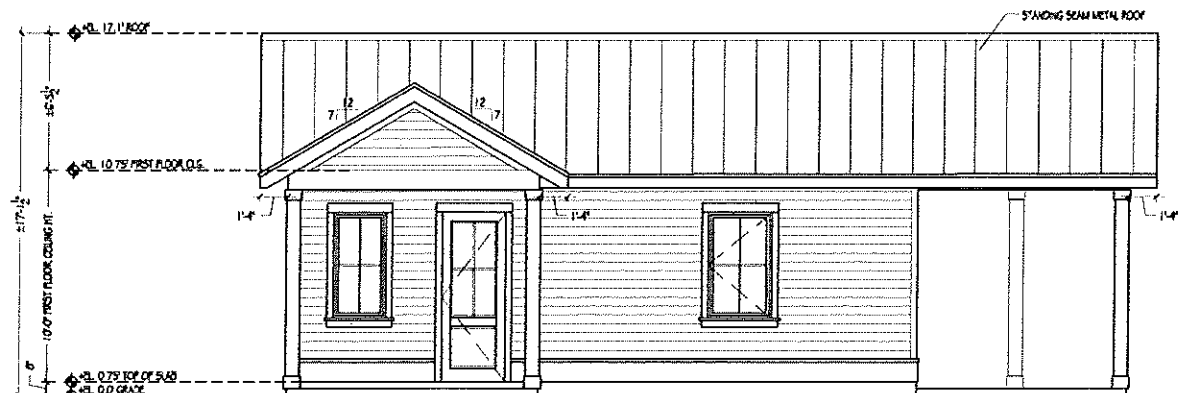
**1 COTTAGE FRONT ELEVATION**  
 Scale: 1/4"=1'-0"



**2 COTTAGE SIDE ELEVATION**  
 Scale: 1/4"=1'-0"

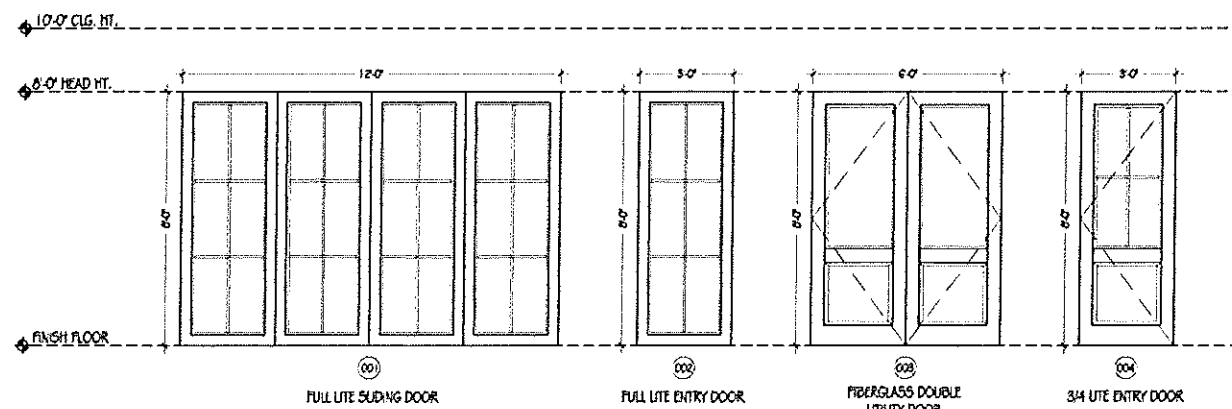


**3 COTTAGE REAR ELEVATION**  
 Scale: 1/4"=1'-0"

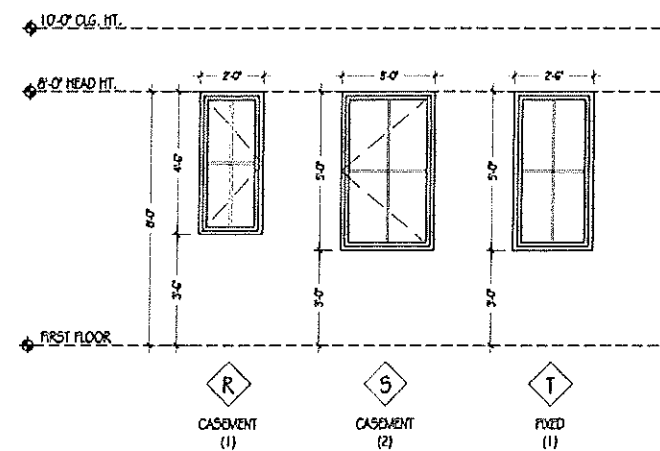


**4 COTTAGE SIDE ELEVATION**  
 Scale: 1/4"=1'-0"

**COTTAGE EXTERIOR DOOR TYPES**  
 IMPACT RATED- SEE PLANS FOR DIRECTION OF SWING



**COTTAGE WINDOW TYPES**  
 IMPACT RATED  
 CASEMENT SWINGS VARY- SEE ELEVATIONS



**Certificate of Appropriateness/Conceptual Review Application Form**

Property Address: 311 Demontlugia Ave  
 Applicant Name: Howard Romagosa Owner Name: same  
 Mailing Address: 311 Demontlugia Bay St Louis MS 39520 Mailing Address:  
 Phone: 504-913-6905 Phone:

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

**New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review. Pavilion and pool

**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Howard Romagosa Date: 2/9/26  
 Owner's Signature: Howard Romagosa Date: 2/9/26

**Please refer to the checklist of materials required with your application**  
**A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.**  
*Historic Preservation Commission / City Council Use Only*

Application

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments	
Requires Property Owner / Applicant Signature	
City Council Reviewed	Review Date
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action	Review Date
Comments	
(BSL Historic Preservation Commissioner)	(City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAY SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Howard Romagosa

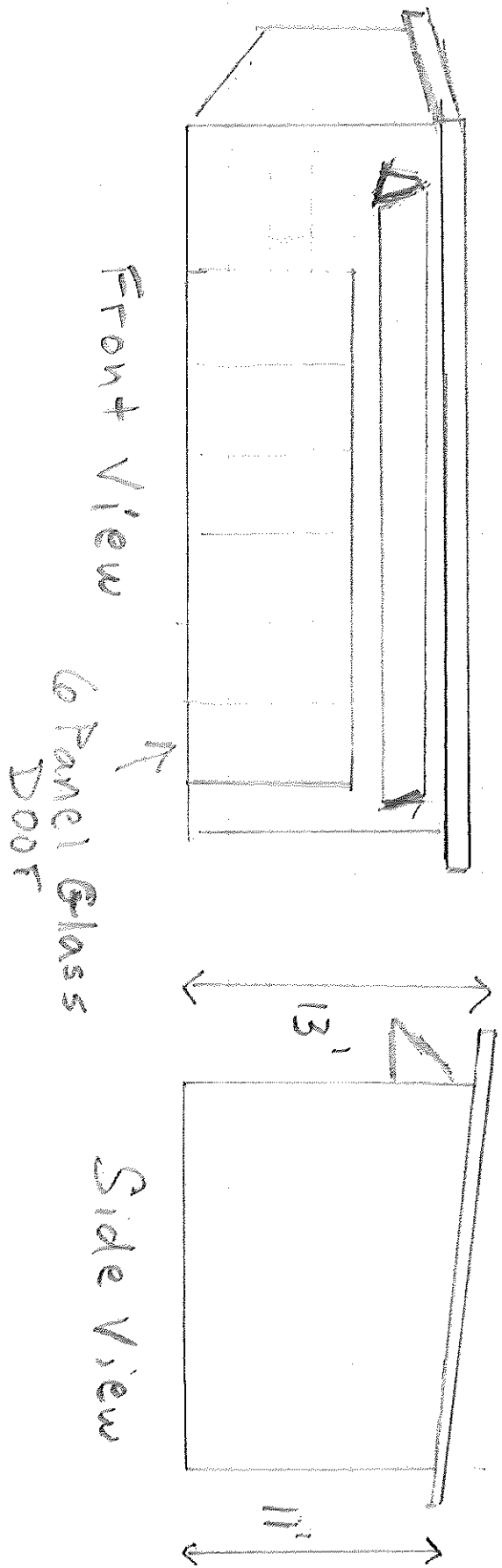
Address: 311 De Montluzin Ave  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number (504) 913-6905

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: \_\_\_\_\_

Give written scope of work to be performed: Install an in-ground fiber glass pool ~~in the~~ and a cabana in the backyard of 311 DeMontluzin. The cabana nor the pool will be visible for the street

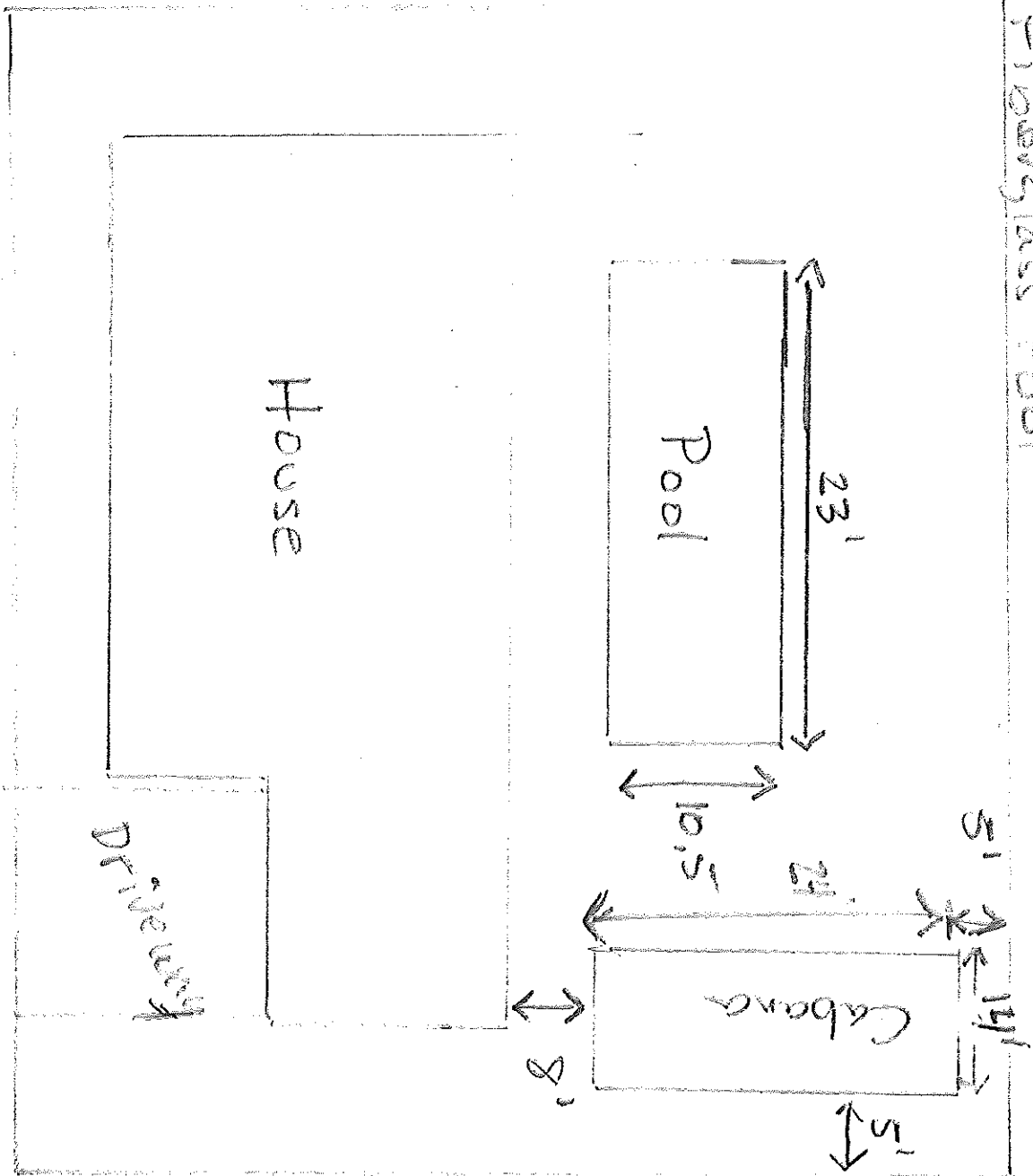
Bldg. Materials: Wood Frame Floor: Cement  
 Roof Type: Lean To 3 tabs Shingles on Plywood  
 Door: 6 Panel Sliding Glass Door  
 Brand: Ark Double Pane Tempered Glass  
 Siding: Hardi Board Siding  
 Cover over Glass Door



Bldg Material: wood frame Floor: cement

Roof Type: lean to 3 tabs siding, em Ply wood  
Door: 6 Panel Sliding Glass Door / Hardi Siding

Fiberglass Pool



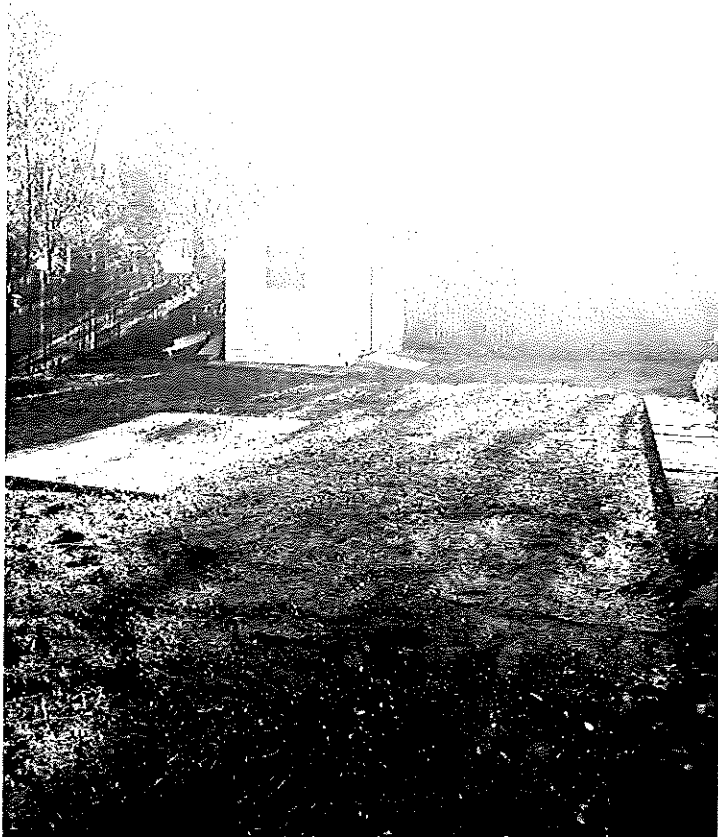
Yard Surrounds  
Eq to fence  
already

311 Demont 1/2m

Item # 4.









## January 12, 2026 - Historic Preservation Commission Meeting Minutes

January 12, 2026 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

---

### Call to Order

#### PRESENT

Commissioner Steve Haas  
Commissioner Dave Wessinger  
Chairman Cliff Rabalais  
Commissioner John Bezou

#### ABSENT

Commissioner Patricia Keating  
Commissioner Matt Stieffel

### Action Items

1. Motion to approve the construction of a 12' by 28' in-ground one piece fiberglass pool with a 4' cement deck behind the house and have an aluminum wrought iron fence that is 4' to 6' tall back around the pool at 412 S Beach Blvd, submitted by Bay Pool Company.

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Haas, Commissioner Wessinger, Chairman Rabalais,  
Commissioner Bezou

2. A motion to disallow a short brick wall as it is not in keeping with style and charter of the area at 116 Washington submitted by Scioneaux

*It was discussed that this request was submitted after the construction of the short brick wall. The commission discussed whether, given this fact, the structure should be considered a retaining wall or a fence. After the vote, the commission suggested that the applicant appeal to the City of Bay St. Louis.*

Motion made by Chairman Rabalais, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

Voting Nay: Commissioner Haas

3. Motion to construct a fence, wooden pickett fence in front yard by 311 DeMontluzin submitted by Howard Roagussa III.

Motion made by Commissioner Haas, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Haas, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

## **Adjourn**

Motion made by Commissioner Haas, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Haas, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou