



October 14, 2026 Planning Commission Meeting Agenda

October 14, 2026 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Minutes Approval

1. Motion to approve the minutes of September 12, 2026

Action Items

2. **WALKER** – Application for a variance to the Zoning Ordinance submitted by Gilbert Walker. The applicant is requesting a variance of 2’9”, resulting in a 9’3” setback to the side yard property line and a variance of 3’7”, resulting in a 16’5” setback to the rear yard property line. The property is located at 435 DeMontluzin Avenue, Parcel 149E-0-29-184.000; 23 BLK 3 PERKINS S/D and is zoned R-2 Residential Two Family.
3. **LOPEZ** – Application for variance to the Zoning Ordinance submitted by Elizabeth and Adolfo Lopez. The applicants are requesting a proposed subdivision of property. Parcel A will need a variance of 2ft resulting in a 6ft setback to the side yard, a variance of 4,780sf from the required 12,000sf, resulting in a total of 7,220sf to the lot area, as well as a variance of 40.3ft, resulting in a total of 59.70ft to the lot width for the dwelling. Parcel B will need a variance of 5ft resulting in a 3ft setback to the side yard for the existing dwelling on and will meet all lot size requirements. The property is located at 240 Bay Oaks Dr, Parcel 161B-1-01-006.000; 37, 39, 41, PT 43 BLK 3 BAY OAKS and is zoned R-1 Residential Single Family.
4. **BALL** – Application for variance to the Zoning Ordinance submitted by Corey Ball. The applicant is requesting a variance of 2ft resulting in 3ft setback to the side yard property line for a freestanding 10ft by 8ft wide carport for golf cart parking on the right side of the house. The property is located at 340 Carroll Avenue, Parcel 149E-0-29-082.000; PT 48-B & PT 49-A CARROLL SUBD and is zoned R-2 Residential Two Family.

- 5. ROBINSON** – Application for a special exception to the Zoning Ordinance submitted by Doescher Designs PLLC. The applicant is requesting a variance to allow an accessory dwelling on a lot that meets the minimum required lot size of 15,000sf. The property is located at 113 Citizen St, Parcel 369 & PT 370 3RD WARD BSL, and is zoned R-1 Residential Single Family.
- 6. VARMA/OWEN** – Application for a special exception to the Zoning Ordinance submitted by Benfatti Construction. The applicant is requesting a special exception to construct an accessory dwelling on a parcel over 15,000sf. The property is located at 135 St Charles St, Parcel 149N-0-30-172.000, Legal Description 140-141 FOURTH WARD BSL, and is zoned R-2 Residential Two Family.
- 7. FE AND SE INVESTMENTS LLC** – Application for a planned unit development (PUD) for a private subdivision and approve the sketch plan. The PUD will consist of 6 parcels for single-family homes ranging in size from 13,154sf to 37,654sf, and 1 parcel totaling 31,032sf that will serve as a private recreation area with a pool, courts, and a private gathering house for the exclusive use of property owners within the private subdivision. The subdivision will also include a non-public park. The subdivision will have private utilities and will be accessed by a private limestone drive. The property is located in the 600 Block of Third Street, Parcel Number 149N-0-30-238.001; Legal Description PT 214, 4th Ward, Bay St. Louis. The property is zoned R-1 Single-Family Residential District and R-2 Two-Family Residential District.
- 8. TRIFECTA** – Application for Major Site Plan Review for a condominium development submitted by Trifecta. The proposed development consists of two (2) two-story buildings containing a total of fourteen (14) condominium units. The property in question is located at 405 Webster Street. Parcel 149E-0-29-014.002, PT 276 1ST WARD BSL and is zoned C-3 Highway Commercial District and R-3 Multi-Family District.

Adjourn

- 9.** Motion to adjourn the meeting of October 14, 2026.



Planning and Zoning Meeting Minutes

September 09, 2026 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

PRESENT

Chairman Mikayla Brown

Commissioner Clark Breland

Commissioner Dean Agee

Commissioner Jimmy Osbourn

Commissioner Ronnie Robert

ABSENT

Commissioner MJ Krankey

Commissioner John Romano

Minutes Approval

1. Motion to approve the minutes of August 12, 2026

Motion made by Commissioner Osbourn, Seconded by Commissioner Robert.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee,
Commissioner Osbourn, Commissioner Robert

APPROVED

Action Items

2. **WITHDRAWN TO 10-14-26 Meeting****TRIFECTA** – Application for Major Site Plan Review for a condominium development submitted by Trifecta. The property in question is located at 405 Webster Street and is identified by parcel number 149E-0-29-014.002, with the legal description PT 276 1ST WARD BSL. The proposed development consists of two (2) two-story buildings containing a total of fourteen (14) condominium units. The property is zoned C-3 Highway Commercial District and R-3 Multi-Family District.
3. **WITHDRAWN TO 10-14-26 Meeting**
KENNON – Application for Major Site Plan Review for an RV and Boat Storage facility submitted by Anthony Kennon. The property in question is located at the corner of Longfellow and HWY 603 and is identified by parcel number 138G-0-46-163.000; PT GUIDON TOULME CL 46-8-14. The property is zoned C-3 Highway Commercial District.

4. **OSBOURN** – Application for variance to the Zoning Ordinance submitted by Andrew Osbourn. The applicant is requesting a variance of 14% to allow an accessory structure to be 64% of the size of the primary dwelling. The property is located at 218 Arcola Court; Parcel Number 136R-0-38-032.000; 13 & 14 BLK 4 HANCOCK HEIGHTS SEC 2. The property is zoned R-1 Single Family District.

5:32pm Commissioner Osbourn recused himself for the vote.

Drew Osbourn spoke representing the application.

It was stated that the neighbors along the street approve of the applicants request.

Anita Warner spoke with questions regarding the structure.

Motion made by Commissioner Robert, Seconded by Commissioner Breland.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Robert

Recused: Commissioner Osbourn

APPROVED

5. **DALE** – Application for variance to the Zoning Ordinance submitted by James Dale. The applicant is requesting a variance of 35% to allow an accessory structure to be 85% of the size of the primary dwelling. The property is located at 5027 Elbrus St; Parcel Number 139B-0-40-052.000; Legal Description 28-29 BLK 1010 UN 10 SHORELINE PARK S/D. The property is zoned R-1A Single Family District.

James Dale spoke representing the application.

Motion made by Commissioner Robert, Seconded by Commissioner Breland.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Osbourn, Commissioner Robert

APPROVED

6. Motion to reschedule the Bay St. Louis Planning and Zoning Commission meeting from November 11, 2026, to November 18th due to Veterans Day being an observed State of Mississippi holiday.

Meeting was moved to November 18, 2026

Motion made by Commissioner Osbourn, Seconded by Commissioner Robert.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Osbourn, Commissioner Robert

APPROVED

Adjourn

7. Motion to adjourn the meeting of September 9, 2026

Motion made by Commissioner Osbourn, Seconded by Commissioner Breland.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Osbourn, Commissioner Robert

APPROVED

Mikayla Brown, ChairmanDate

Caitlin Bourgeois, SecretaryDate

PLOT PLAN

CUSTOM PLANS FOR
GILBERT WALKER
435 DEMONTLUZIN AVE
BAY ST. LOUIS, MS 39520

DATE:
9/10/2026

SCALE:
AS NOTED

SHEET:
S-2

GENERAL SITE NOTES:

1. BUILDING LOCATION TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
2. DRIVEWAY LOCATION TO BE VERIFIED WITH OWNER BASED ON SITE CONDITIONS, MODIFY AS REQUIRED.
3. ALL PROPERTY LINE MEASUREMENTS ARE APPROXIMATE AND DERIVED FROM EXISTING SURVEY OR BY OTHERS.
4. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
6. SALT FENCING SHALL BE PLACED AS REQ'D PER SPECIFIC SITE.
7. CONTRACTOR TO DETERMINE LOCATION OF ALL NEW UTILITIES PRIOR TO CONSTRUCTION.
8. THIS PLOT PLAN IS GENERAL IN NATURE. THE SERVICES OF CIVIL ENGINEER MAY BE REQUIRED FOR GRADING, STORM-WATER CALCULATIONS, OR ANY OTHER INFORMATION NOT PROVIDED ON THIS PLAN.

SITE LEGEND

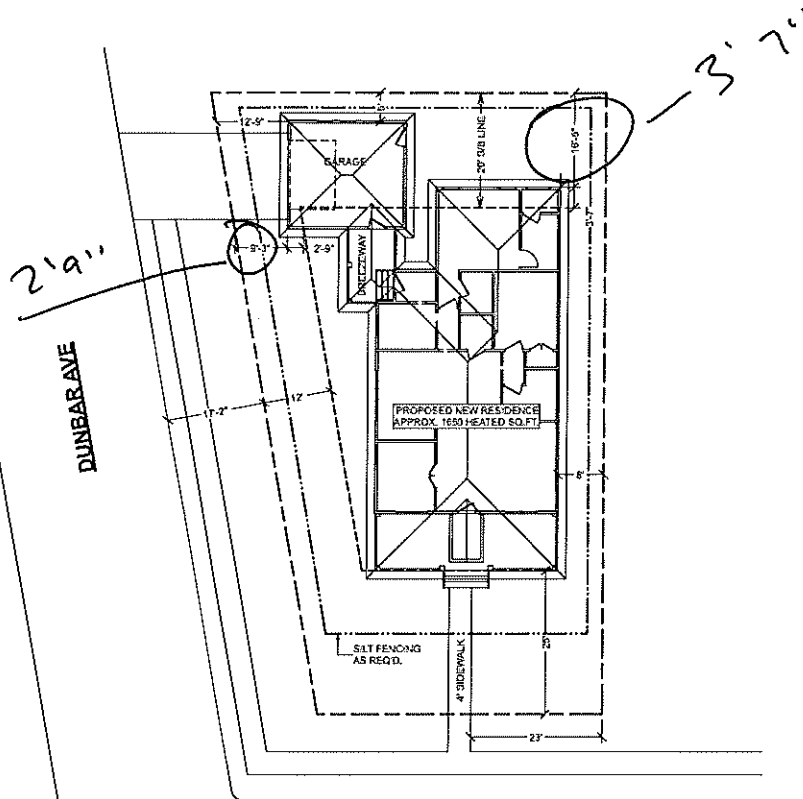
PROPERTY LINE	---
SET BACK LINE	----
SALT FENCE	----
CONCRETE DRIVE	----

PROPERTY SETBACKS:

FRONT: 25'
INTERIOR S.D.E. 5'
CORNER S.D.E. 12'
REAR: 20'

PROPERTY DESCRIPTION:

435 DEMONTLUZIN AVE.
LOT 23
BAY ST. LOUIS, MS 39520
6454 SQ. FT. +/-
PARCEL # 1425-029-184.000
ZONE: R-2
FLOOD ZONE: X

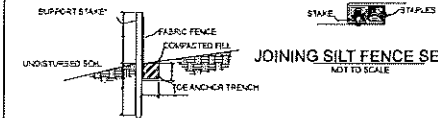


DEMONTLUZIN AVE

PLOT PLAN
SCALE: 1"=10'-0"

**NOTES:**

1. SALT FENCING WILL BE USED FOR EROSION CONTROL. CONTRACTOR SHALL NOT REMOVE EXISTING FENCE OR DESTROY ANY CONSTRUCTION ON SITE.



ELEVATION OF SILT FENCING
NOT TO SCALE

JOINING SILT FENCE SECTIONS

NOT TO SCALE

ADDITIONAL SILT FENCING NOTES**INSPECTION AND MAINTENANCE**

INSPECT SILT FENCING EVERY SEVEN (7) DAYS AFTER SHAPE AND 100-150 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCE 10 IN. OR MORE OF PRECIPITATION. CHECK FOR HAZARD IF FENCE IS DAMAGED OR COLLAPSED. IF THE FENCE COLLAPSES OR CAUSES DAMAGE TO ROAD, REMOVE FENCE OR REPAIR. REMOVE FENCE IF ROAD 2' BE IMPAIRED. IMMEDIATELY REMOVE FENCE IF ROAD 2' BE IMPAIRED. REMOVE FENCE IF ROAD 2' BE IMPAIRED. REMOVE FENCE IF ROAD 2' BE IMPAIRED.

PLOT PLAN

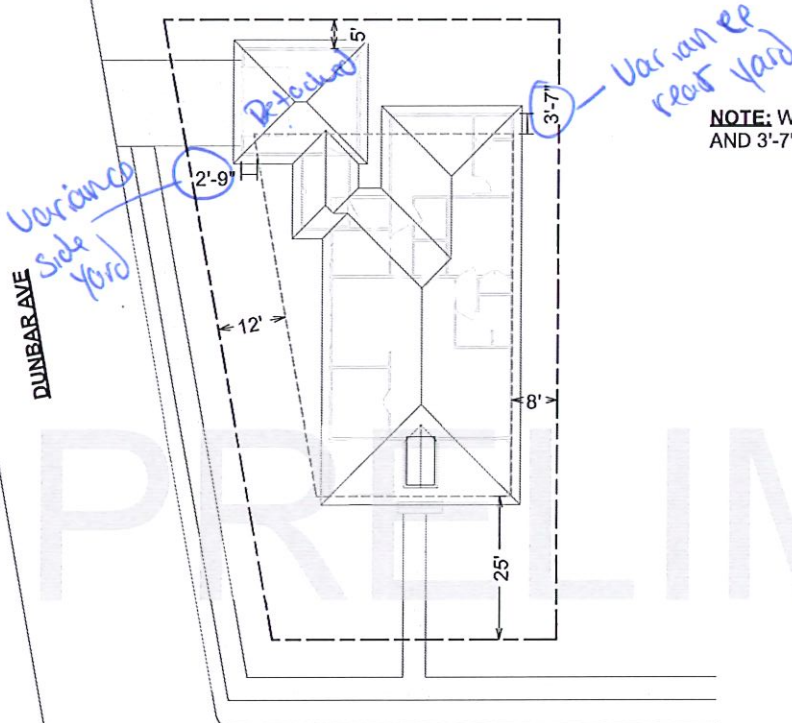
CUSTOM PLANS FOR:
GILBERT WALKER
BAY ST. LOUIS, MS 39520

DATE:
9/8/2026

SCALE:
AS NOTED

SHEET:

S-2



NOTE: WILL NEED A 2'-9" VARIANCE ON LEFT SIDE AND 3'-7" VARIANCE ON THE REAR.

SITE LEGEND	
PROPERTY LINE	---
SET BACK LINE	---
SLT FENCE	---
CONCRETE DRIVE	---
PROPERTY SETBACKS:	
FRONT: 25'	
INTERIOR SIDE: 8'	
CORNER SIDE: 12'	
REAR: 2'	

PRELIMINARY PLOT PLAN
SCALE: 1"=10'-0"





EXTERIOR FRONT VIEW
SCALE: 1/4" = 1'-0"



EXTERIOR RIGHT VIEW
SCALE: 1/4" = 1'-0"

CAMERON
DESIGN & DRAFTING LLC
VALERIE CAMERON

Cameron Design and Drafting LLC is not responsible for the construction, installation, or use of the plans. The user of these plans is responsible for obtaining all necessary permits and for the proper construction and installation of the plans. The user of these plans is also responsible for the safety of the construction and for the proper use of the plans. The user of these plans is also responsible for the safety of the construction and for the proper use of the plans.

EXTERIOR ELEVATIONS

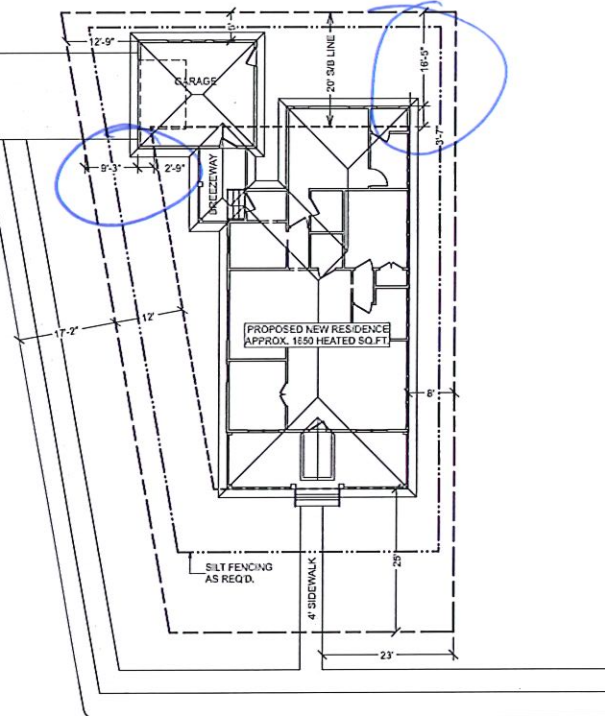
CUSTOM PLANS FOR
GILBERT WALKER
BAY ST. LOUIS, MS 39520

DATE:
9/8/2026

SCALE:
AS NOTED

SHEET:

S-5



SITE LEGEND

PROPERTY LINE

SET BACK LINE

SILT FENCE

CONCRETE DRIVE

PROPERTY SETBACKS:

FRONT: 25'
INTERIOR SIDE: 5'
CORNER SIDE: 12'
REAR: 20'

PROPERTY DESCRIPTION:
136 DEMAREST AVENUE

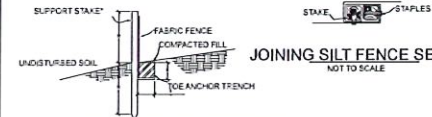
435 DEMONTLUZIN AVE.
LOT 23
BAY ST. LOUIS, MS 39523
6454 SQ.FT. +/-
PARCEL # 149E-3-23-184.000
ZONE: R-2
FLOOD ZONE : X

GENERAL SITE NOTES:

1. BUILDING LOCATION TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
2. DRIVEWAY LOCATION TO BE VERIFIED WITH OWNER BASED ON SITE CONDITIONS.
3. NOISE BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE SPECIFIC SITE.
4. ALL PROPERTY LINE MEASUREMENTS ARE APPROXIMATE AND DERIVED FROM EXISTING SURVEY OR BY OTHERS.
5. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
8. CONTRACTOR TO DETERMINE LOCATION OF ALL NEW UTILITIES PRIOR TO CONSTRUCTION.
9. THIS PLAN PLACED IN GENERAL IN NATURE. THE SERVICES OF CIVIL ENGINEER MAY BE REQUIRED FOR GRADING, STORM WATER CALCULATIONS, OR ANY OTHER INFORMATION NOT PROVIDED ON THIS PLAN.

NOTES:

1. SILT FENCING WILL BE USED FOR EROSION CONTROL. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING PLACEMENT OF AND INSTALLING SILT FENCING PRIOR TO ANY CONSTRUCTION ON SITE.



ELEVATION OF SILT FENCING

NOT TO SCALE

ADDITIONAL SILT FENCING NOTES
INSPECTION AND MAINTENANCE

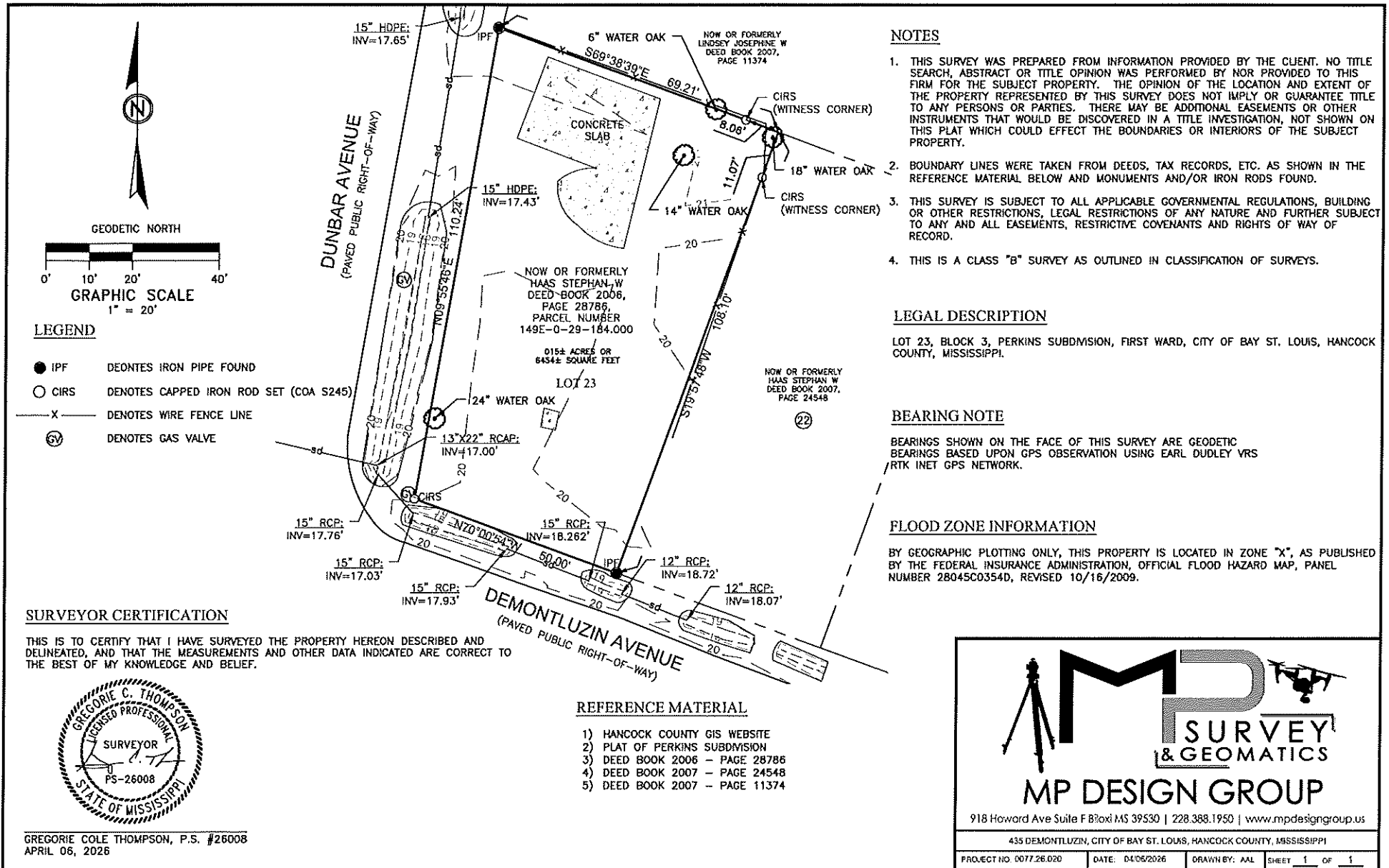
INSPECTION AND MAINTENANCE
MUST BE DONE BY THE USER

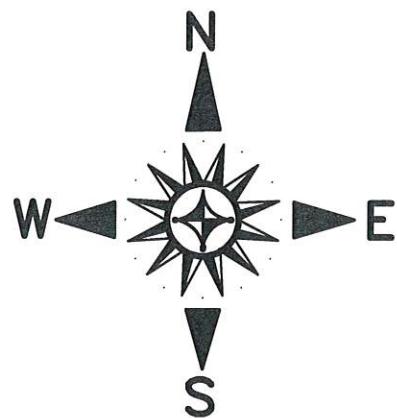
REPORT ANY DAMAGE TO THE FENCE WITHIN 24 HOURS OF THE
AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT
THAT PRODUCES 2 INCH OR MORE OF PRECIPITATION
CHECK FOR AREAS WHERE RAINFALL HAS ERODED A
CHANNEL BENEATH THE FENCE, COLLAPSED OR CAUSED
FENCE TO SAG. IF FIBING TEARS OR BECOMES
INEFFECTIVE IT SHOULD BE REPLACED IMMEDIATELY.
SEGMENT SHOULD BE REMOVED IF NOT REACH APPROX.
1/3 OF THE HEIGHT OF THE FENCE

PLOT PLAN

SCALE: 1"=10'-0"







RESUBDIVISION OF PARCEL # 161B-1-01-006.000 INTO PARCEL "A" AND PARCEL "B"

LEGEND:

- ☉ CENTERLINE
- IRON ROD FOUND
- IRON ROD SET
- ⊗ IRON PIPE FOUND
- ⊠ FENCE CORNER POST
- ⊘ POWER POLE
- APS AS PER SURVEY
- APR AS PER RECORD
- EOP EDGE OF PAVEMENT
- x — WOOD FENCE (TYP)

REFERENCES:

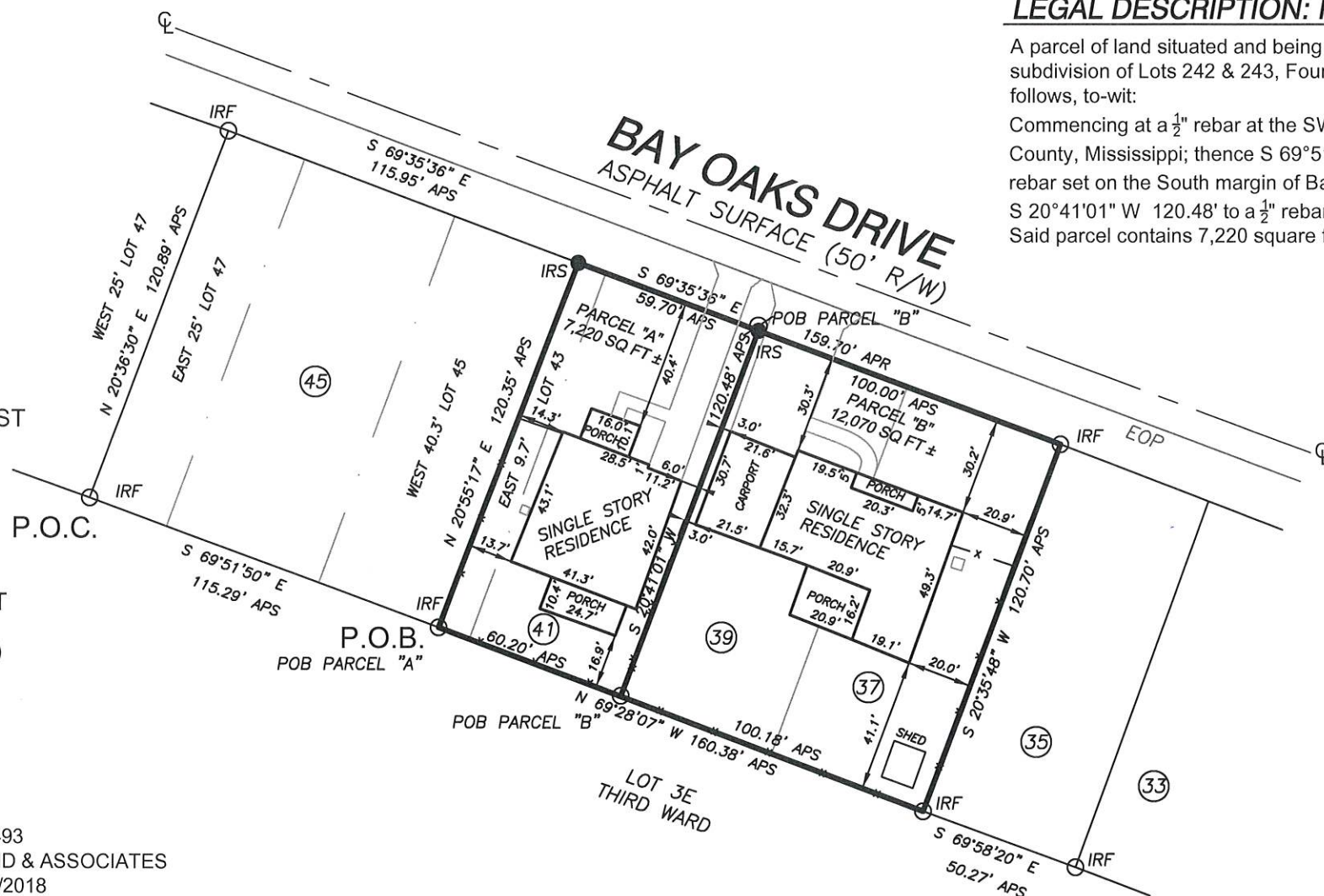
- 1) DEED BOOK 2018; PAGE 4493
- 2) PREVIOUS SURVEY BY REID & ASSOCIATES
JOB # 18-010; DATED 02/19/2018
- 3) PLAT OF BAY OAKS SUBDIVISION # 2
- 4) HANCOCK COUNTY TAX MAP

DRAWN BY: JLC

NOTES:

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. This survey meets Mississippi minimum requirements for a class "B" survey. Survey is valid only if print has original seal and signature of surveyor. No flood zone determination was performed as a part of this survey. An accurate determination can be made by ordering a FEMA Elevation Certificate.

BEARINGS REFERENCED TO GEODETIC BY GPS OBSERVATIONS



LEGAL DESCRIPTION: PARCEL # 161B-1-01-006.000

A parcel of land situated and being located in all of Lots 37, 39, 41 and the East 9.72 feet of Lot 43, Block 3, Bay Oaks Subdivision No. 2, being a subdivision of Lots 242 & 243, Fourth Ward, Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a $\frac{1}{2}$ " rebar at the SW corner of the East 25' of Lot 47, Block 3; Bay Oaks Subdivision, City of Bay St. Louis, Hancock County, Mississippi; thence S 69°51'50" E 115.29' to a $\frac{1}{2}$ " rebar found at the Point of Beginning; thence N 20°55'17" E 120.35' to a $\frac{1}{2}$ " rebar set on the South margin of Bay Oaks Drive; thence along said South margin S 69°35'36" E 159.70' to a $\frac{1}{2}$ " rebar found; thence S 20°35'48" W 120.70' to a $\frac{1}{2}$ " rebar found; thence N 69°28'07" W 160.38' to the Point of Beginning. Said parcel contains 19,290 square feet, more or less.

LEGAL DESCRIPTION: PARCEL "A"

A parcel of land situated and being located in all of Lot 41 and the East 9.72 feet of Lot 43, Block 3, Bay Oaks Subdivision No. 2, being a subdivision of Lots 242 & 243, Fourth Ward, Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a $\frac{1}{2}$ " rebar at the SW corner of the East 25' of Lot 47, Block 3; Bay Oaks Subdivision, City of Bay St. Louis, Hancock County, Mississippi; thence S 69°51'50" E 115.29' to a $\frac{1}{2}$ " rebar found at the Point of Beginning; thence N 20°55'17" E 120.35' to a $\frac{1}{2}$ " rebar set on the South margin of Bay Oaks Drive; thence along said South margin S 69°35'36" E 59.70' to a $\frac{1}{2}$ " rebar set; thence S 20°41'01" W 120.48' to a $\frac{1}{2}$ " rebar found; thence N 69°28'07" W 60.20' to the Point of Beginning. Said parcel contains 7,220 square feet, more or less.

LEGAL DESCRIPTION: PARCEL "B"

A parcel of land situated and being located in all of Lots 37 & 39 Block 3, Bay Oaks Subdivision No. 2, being a subdivision of Lots 242 & 243, Fourth Ward, Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a $\frac{1}{2}$ " rebar at the SW corner of the East 25' of Lot 47, Block 3; Bay Oaks Subdivision, City of Bay St. Louis, Hancock County, Mississippi; thence S 69°51'50" E 115.29' to a $\frac{1}{2}$ " rebar found thence N 20°55'17" E 120.35' to a $\frac{1}{2}$ " rebar set on the South margin of Bay Oaks Drive; thence along said South margin S 69°35'36" E 59.70' to a $\frac{1}{2}$ " rebar set at the Point of Beginning; thence continue along said South margin S 69°35'36" E 100.00' to a $\frac{1}{2}$ " rebar found; thence S 20°35'48" W 120.70' to a $\frac{1}{2}$ " rebar found; thence N 69°28'07" W 100.18' to a $\frac{1}{2}$ " rebar found; thence N 20°41'01" E 120.48' to the Point of Beginning. Said parcel contains 12,070 square feet, more or less.



In consideration of the fee paid, I declare that this survey made by me or under my immediate supervision is true and correct to the best of my professional knowledge, information, and belief.

Duke Levy, RLS #1722

CERTIFICATE OF APPROVAL:

SUBMITTED TO AND APPROVED BY THE ZONING ADMINISTRATOR, THIS THE _____ DAY OF _____, 2026.

ZONING ADMINISTRATOR
JEREMY BURKE

SUBMITTED TO AND APPROVED BY THE MAYOR OF THE CITY OF BAY ST. LOUIS, THIS THE _____ DAY OF _____, 2026.

MAYOR
MICHAEL FAVRE

DUKE LEVY & ASSOCIATES, P.A.



4412 LEISURE TIME DRIVE
DIAMONDHEAD, MS 39525
(228) 343-9691 PHONE

SCALE: 1" = 50'	DATE: 08-25-2026
DRAWING: WO# 2026-219	CLIENT: LOPEZ

August 1, 2026

My name is Elizabeth Lopez and I purchased my home at 240 Bay Oaks Drive in 1996. When I purchased the home it was a 3 bedroom, 1 bath and my lot size was 50' x 120'. It was then that I was made aware that Bay Oaks Subdivision, when developed, were all lots measuring 50' wide. Unfortunately, like so many others, I lost my home due to Hurricane Katrina. I was blessed with the option to purchase the same sized lot next to mine, making my lot 100' x 120'. This allowed us to build a larger single story home which we did in 2008.

After my father passed away, my siblings and I were concerned for my mother being alone in an aging home with stairs. My neighbors, Jim and Angie, who live at 244 Bay Oaks Drive, owned lots 41 and 43 (100' frontage). I asked if they would sell me 60' of those lots in order to build a cottage for my mother to live in. They agreed and with the council's approval, we built my mother a 2 bedroom, 2 bath home 7 years ago.

It was very convenient having my mother right next door. It became very important the last three years as she needed constant care due to her health and the onset of dementia. My mother sadly passed away on July 3rd. We have no need for her cottage and would like to recoup not only the cost of building the cottage but the large amount of money it required to care for her.

After researching the tax rolls online, it would appear there are still a very large number of lots on this street which are well below the 100' of width required as well as the size of 12,000 square feet. I will list a few below:

- Lot 117 50x124
- Lot 119 50x124
- Lot 122 62.5x124
- Lot 120 62.5x124
- Lot 125 61x124
- Lot 127 61x124
- Lot 194 63x123
- Lot 209 50x121
- Lot 215 50x121
- Lot 219 50x121
- Lot 225 50x121
- Lot 232 50x121
- Lot 238 50x120
- Lot 253 50x119
- Lot 255 50x119

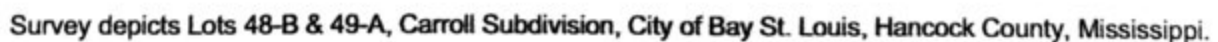
Some of these lots have homes on them and some are unimproved. Many of which are even smaller than the one my Mother's cottage is on. To be clear we are requesting the approval of our lots size 7,220 square feet, the lot width of 59.70 feet and a side yard variance as well.

My husband and I are hoping that you please approve our request. Thank you



DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to consider carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.

0 30 60 ft

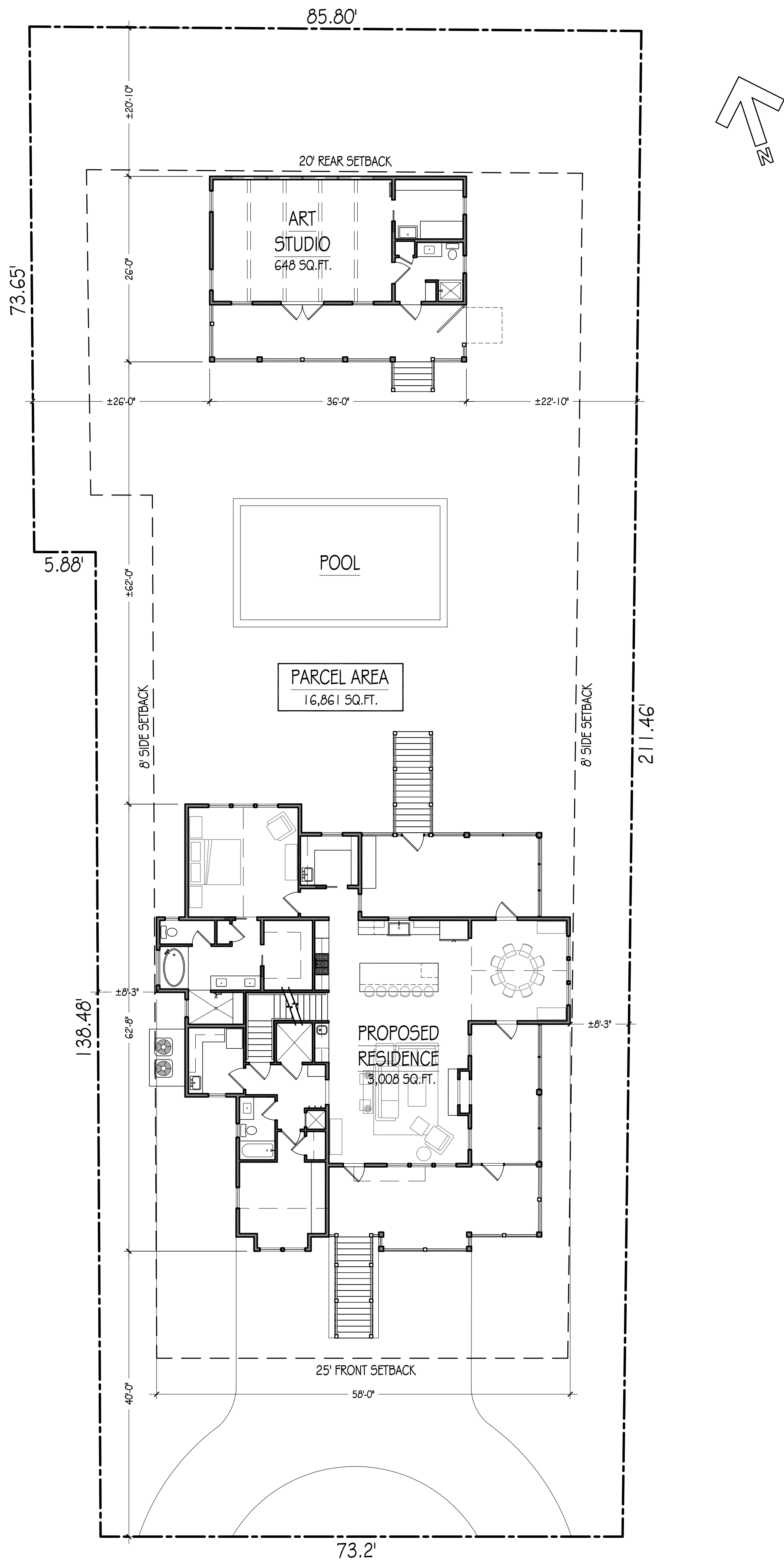


A



B

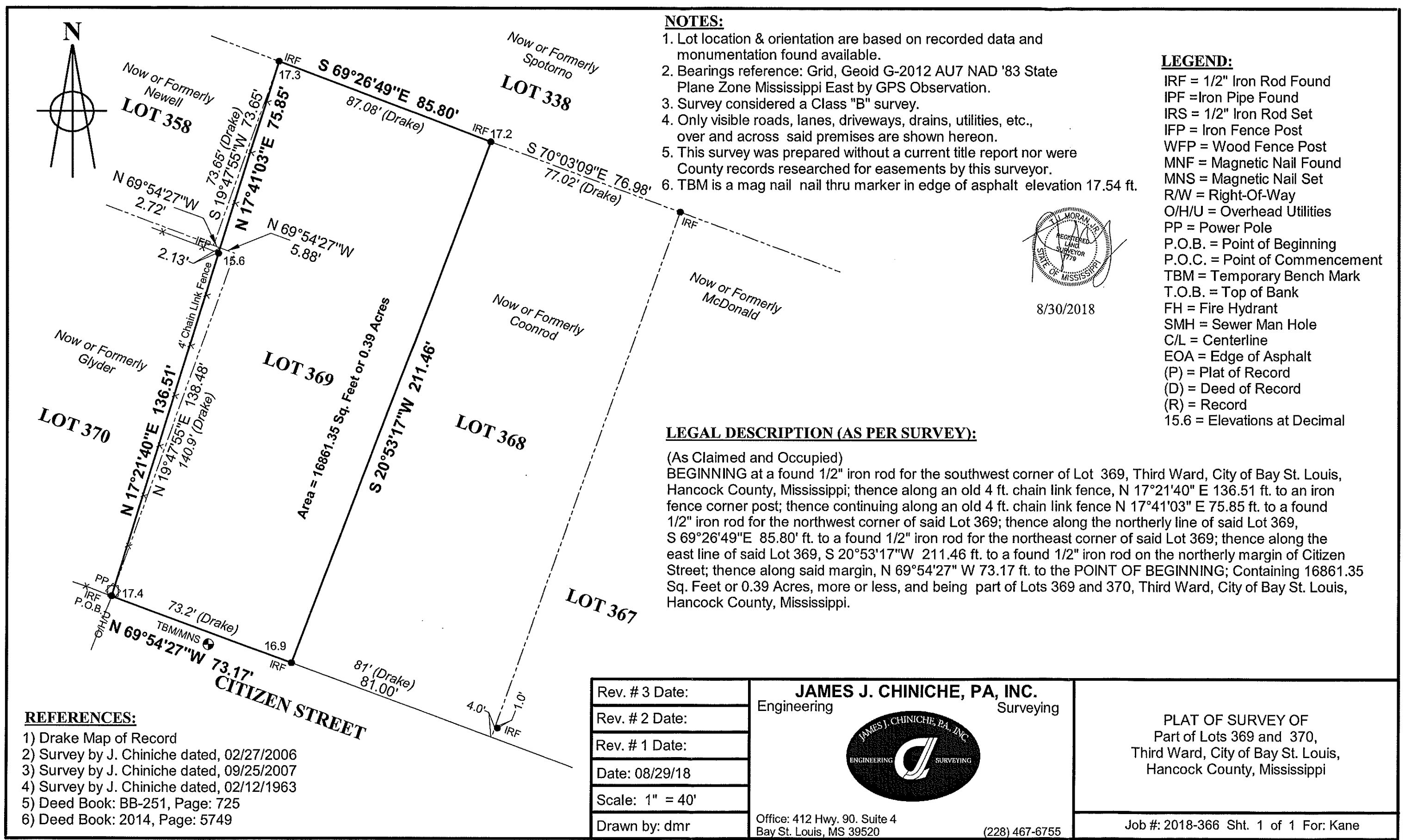




1 SITE PLAN
Scale: NTS



ROBINSON RESIDENCE
113 Citizen Street
Bay Saint Louis, MS



GENERAL NOTES:

ALL MEANS OF EGRESS WINDOWS MUST COMPLY WITH SECTION R-310.2 OF THE 2018 IRC

ALL EXTERIOR WINDOWS/OPENINGS MUST COMPLY WITH SECTION R-301.2.1.2 OF THE 2018 IRC

FACORY BUILT FIREPLACES SHALL BE LISTED IN ACCORDANCE WITH THE UL 127 AS PER ARTICLE R1004.1 OF THE 2015 IRC

WINDOWS IN HAZARDOUS LOCATIONS (OVER BATHTUBS) BUST BE TEMPERED AND COMPLY WITH ARTICLE R308.4 OF THE 2015 IRC

RESIDENCE MUST COMPLY WITH FOLLOWING INSULATION REQUIREMENTS AS PER TABLE N1102.1 OF THE 2015 IRC.
CEILINGS: R-30 MIN, WALLS: R-13 MIN, FLOORS: R-11.
FENESTRATION U-FACTOR (.75)
SOLAR HEAT GAIN COEFFICIENT (.40)

NEED "CITY STAMPED" APPROVED PLANS ON SITE FOR ALL INSPECTIONS

NEED PROOF OF TERMITE TREATMENT BEFORE SLAB AND FOOTING INSPECTION

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE, JOBSITE CLEANUP, STREET CLEANING, CONSTRUCTION ENTRANCE AND SILT FENCING WHERE REQUIRED ON A DAILY BASIS

MUST CALL FOR STRAPPING AND OR CLIP INSPECTIONS BEFORE CLAD COVERING

TAKEOFF - 135 ST CHARLES					
ROOFING		WALLS		SIDING	
DECKING		4,991 SF	EXTERIOR	NO WINDOW CUT-OUTS	
			2x6	390 LF	B&B
SOFFITS			INTERIOR		4,522 SF
12"		420 LF	2x4	235 LF	
16"		146 LF	2x6	55 LF	
24"		33 LF	INT. 1/2 WALL		
			2x4	14 LF	
FASCIA		598 LF	PORCH BEAMS	57 LF	

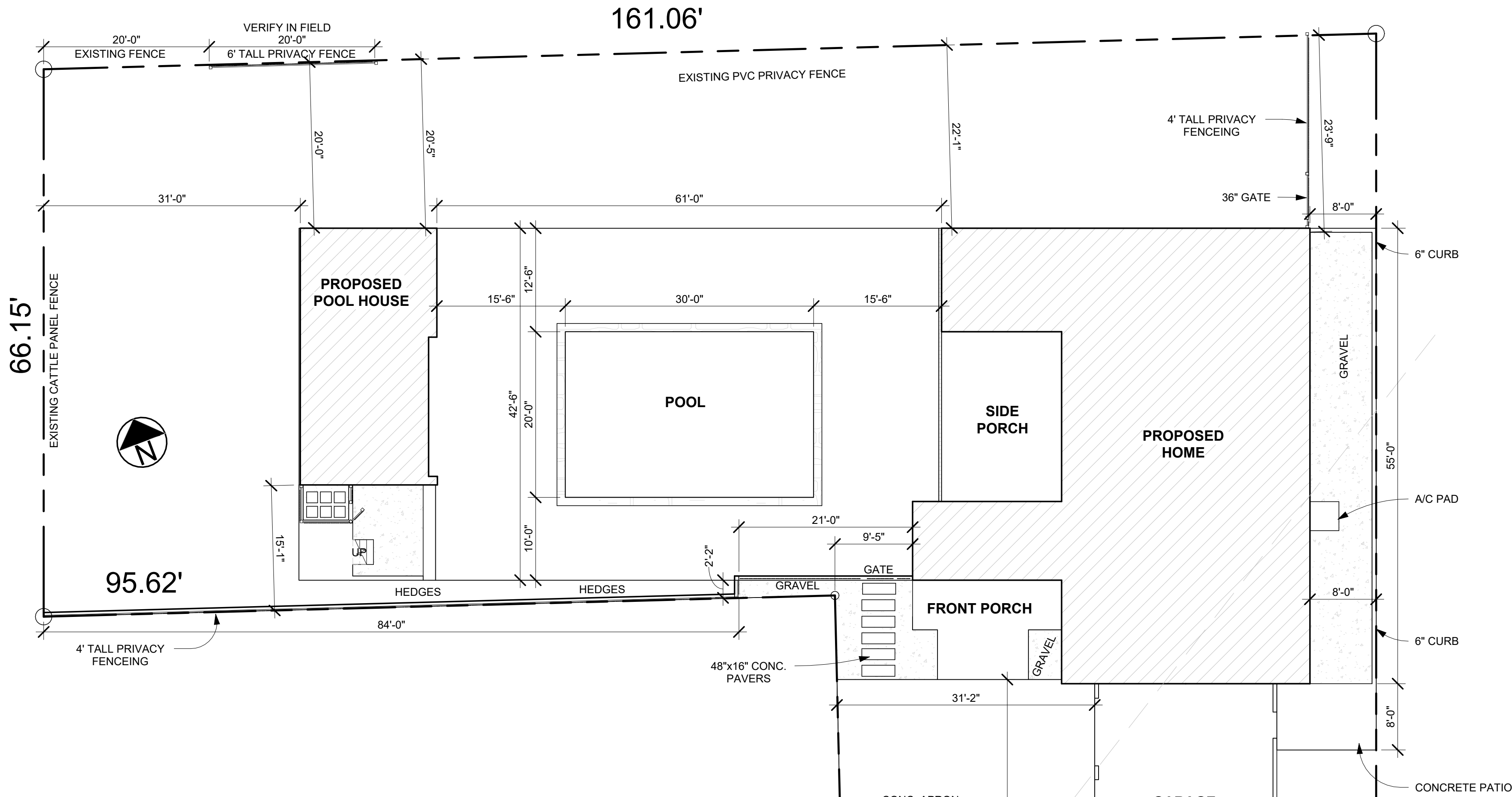
WINDOW SCHEDULE						
Count	Size	Rough Opening		Description	Slab Egress	
		Width	Height			
8	2614	2' - 6"	1' - 4"	1 LITE TRANSOM		
1	2646	2' - 6"	4' - 6"	2/2 DH		
3	2810	2' - 8"	1' - 0"	1 LITE TRANSOM		
6	2860	2' - 8"	6' - 0"	2/2 DH	YES	
1	3046	3' - 0"	4' - 6"	4 LITE FIXED		
1	3614	3' - 6"	1' - 4"	1 LITE TRANSOM		
3	4014	4' - 0"	1' - 4"	1 LITE TRANSOM		
1	6014	6' - 0"	1' - 4"	1 LITE TRANSOM		
1	7046	7' - 0"	4' - 6"	MULLED WINDOW UNIT - (3) 28"x54" WINDOWS (CA,FX,CA)		

Grand total: 25

DOOR SCHEDULE						
Count	Size	Width	Height	Function	Description	
1	16080	16' - 0"	8' - 0"	Exterior	WAYNE DALTON BRAND STEEL CARRIAGE HOUSE GARAGE DOOR - MODEL 8670	
2	12080	12' - 0"	8' - 0"	Exterior	4 PANEL, 6 LITE, SLIDING GLASS DOOR (2-2)	
1	8080	8' - 0"	8' - 0"	Exterior	WAYNE DALTON BRAND STEEL CARRIAGE HOUSE GARAGE DOOR - MODEL 8670	
2	6080	6' - 0"	8' - 0"	Exterior	6 LITE, FIBERGLASS, DOUBLE, FRENCH DOOR - RHA	
1	3080	9' - 2"	8' - 0"	Exterior	MULLED DOOR UNIT - (3) 3080 DOOR PANELS (FX, RHOS, FX), 6 LITE	
1	3080	3' - 0"	8' - 0"	Exterior	2 PANEL FIBERGLASS DOOR (GARAGE TO LIVING)	
1	3080	3' - 0"	8' - 0"	Exterior	2 PANEL FIBERGLASS DOOR (GARAGE TO EXTERIOR)	
12	2880	2' - 8"	8' - 0"	Interior	SINGLE DOOR - VERIFY STYLE W/ OWNER	
1	2680	2' - 6"	8' - 0"	Interior	SINGLE DOOR - VERIFY STYLE W/ OWNER	
1	2680	2' - 6"	8' - 0"	Interior	POCKET DOOR - VERIFY STYLE W/ OWNER	
1	2480	2' - 4"	8' - 0"	Interior	SINGLE DOOR - VERIFY STYLE W/ OWNER	
1	2080	2' - 0"	8' - 0"	Interior	SINGLE DOOR - VERIFY STYLE W/ OWNER	
2	2-1480	2' - 8"	8' - 0"	Interior	DOUBLE DOOR - VERIFY STYLE W/ OWNER	

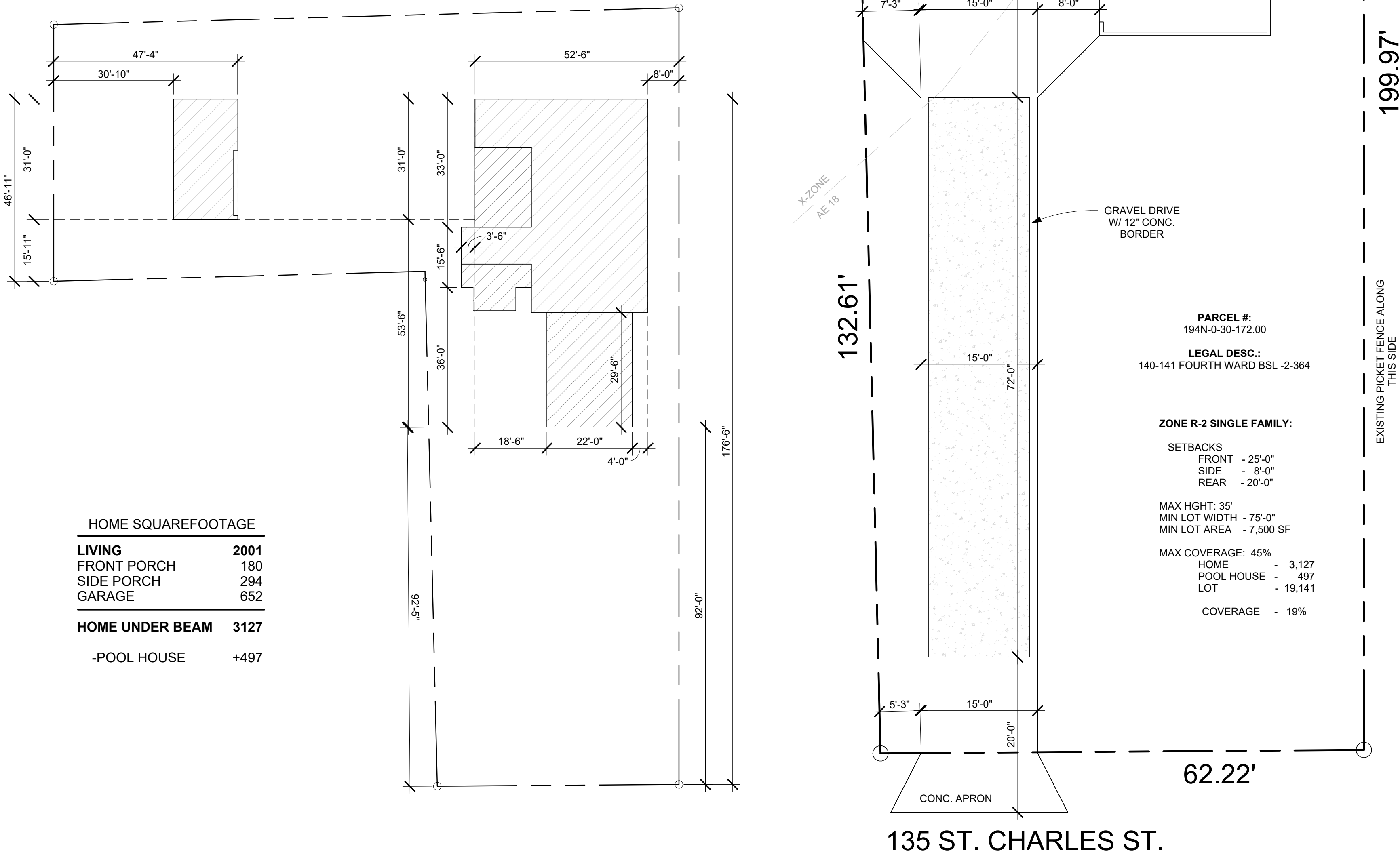
2 SITE PLAN

1" = 10'-0"



1 PLOT PLAN

1" = 20'-0"



HOME SQUAREFOOTAGE	
LIVING	2001
FRONT PORCH	180
SIDE PORCH	294
GARAGE	652
HOME UNDER BEAM	3127
-POOL HOUSE	+497



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135 ST. CHARLES ST, BSL, MS 39520
SHAN VARMA & KIMBERLEY ANN OWEN

REVISIONS

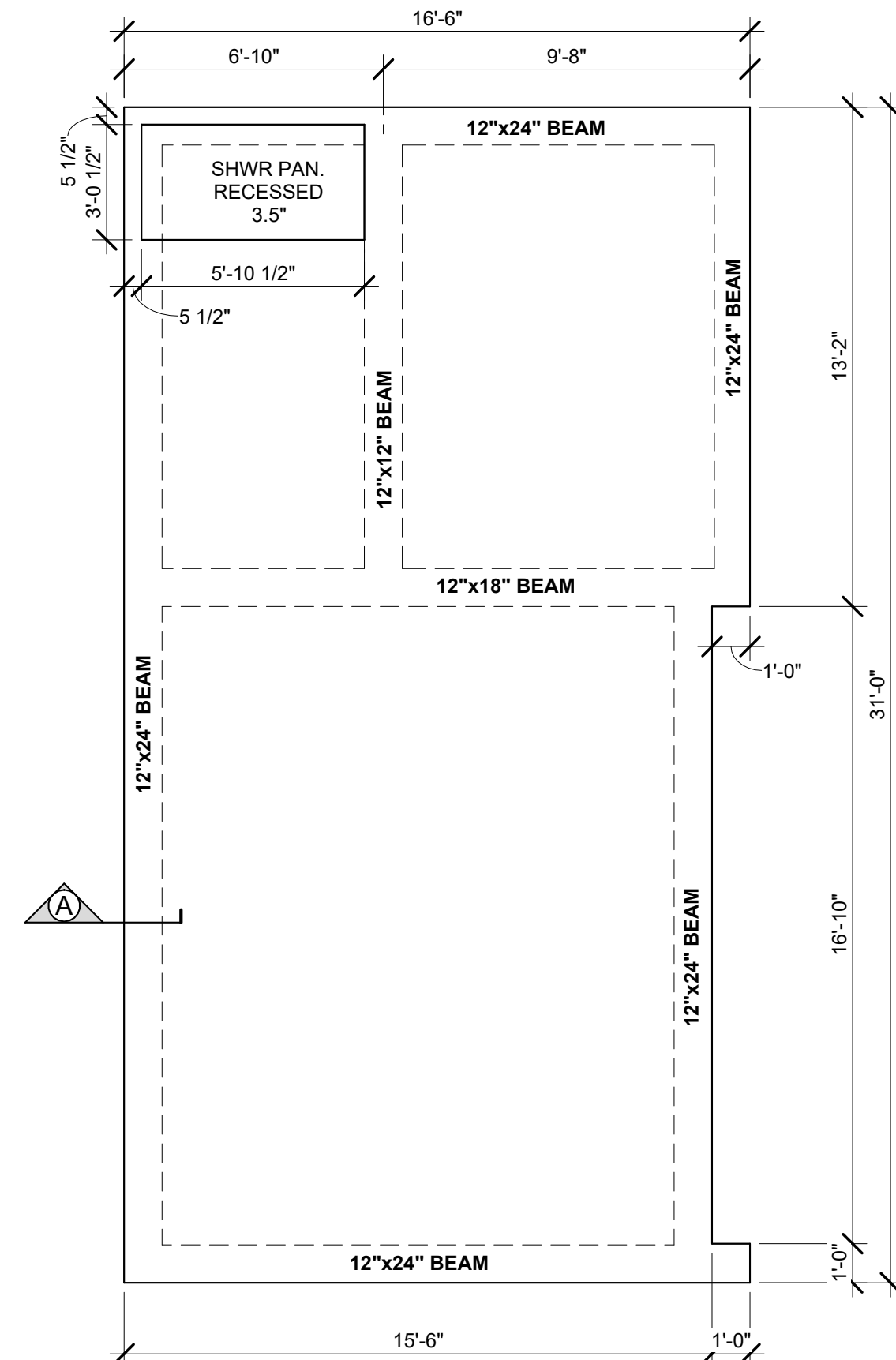
NO.	DESCRIPTION	DATE

VARMA/OWEN RESIDENCE

SITE

LIVING AREA:	2001 SQFT
UNDER BEAM:	3624 SQFT
1 of 9	
SCALE:	As indicated
DRWN BY: COLT LEE	DATE: 09/04/2026

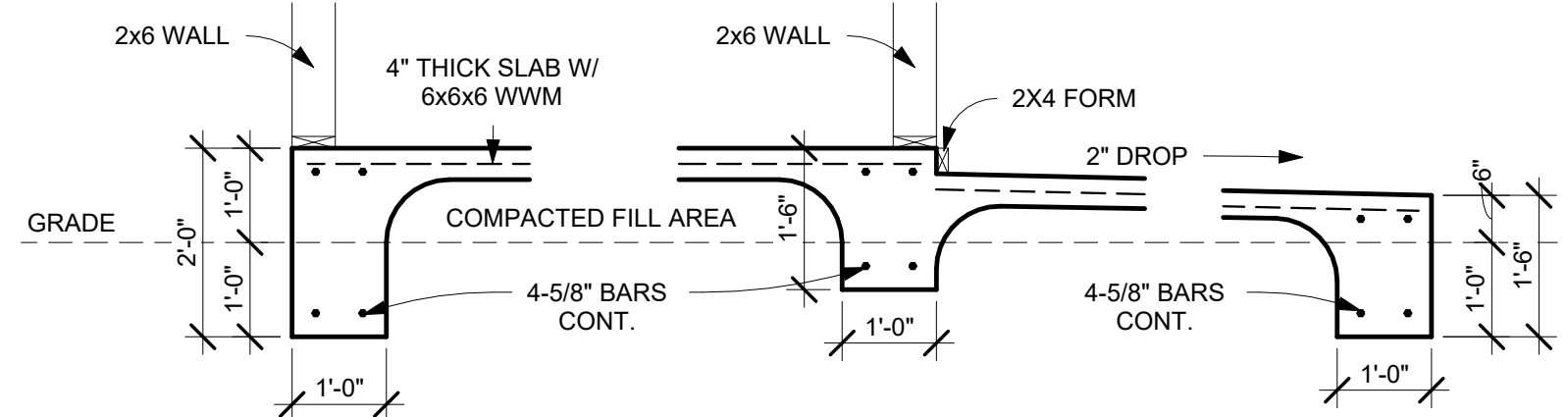
3 **SLAB - POOL HOUSE**
1/4" = 1'-0"



A TYP. EDGE BEAM - 12"x24"
SCALE: 1/2"=1'-0"

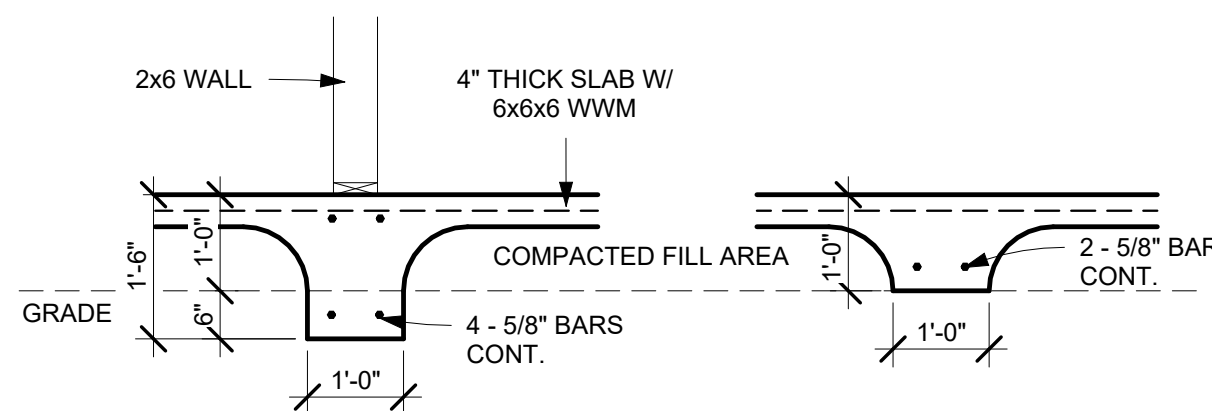
B PORCH TO HOME - 12"x18"
SCALE: 1/2"=1'-0"

C PORCH EDGE - 12"x18"
SCALE: 1/2"=1'-0"

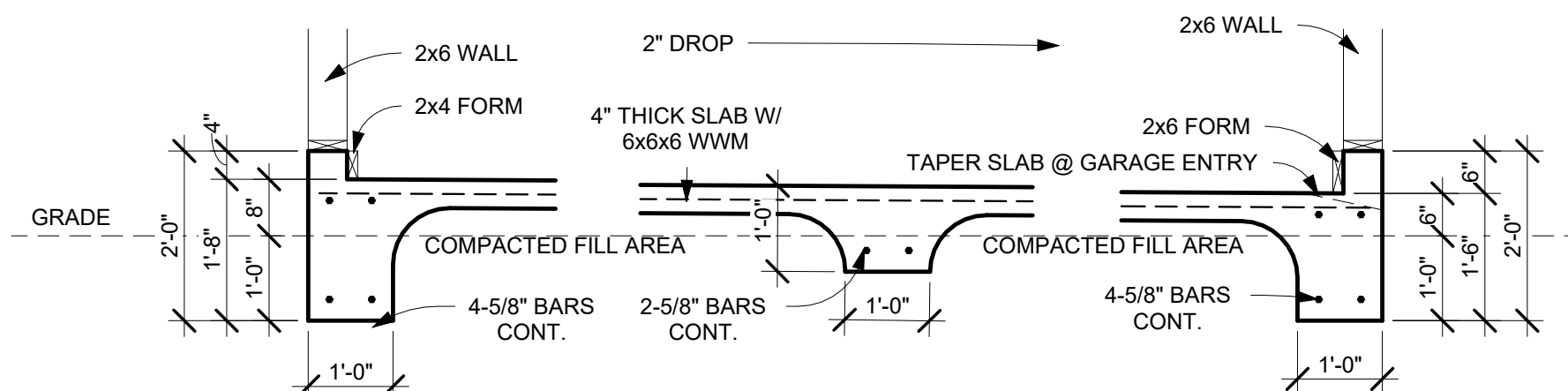


D INTERIOR BEAM - 12"x18"
SCALE: 1/2"=1'-0"

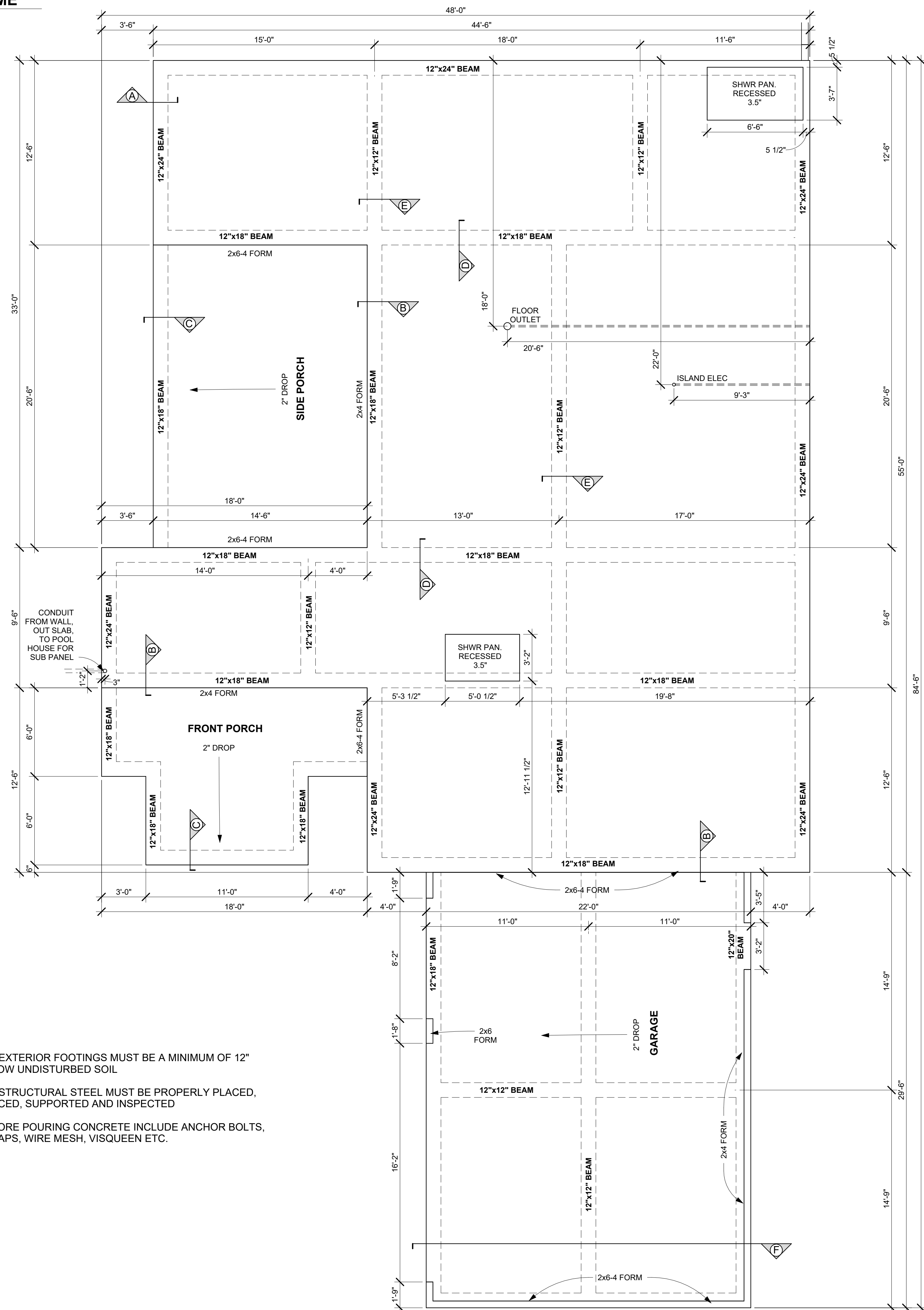
(E) INTERIOR BEAM- 12"x12"
SCALE: 1/2"=1'-0"



F GARAGE BEAMS
SCALE: 1/2"=1'-0"



1 **SLAB - HOME**
1/4" = 1'-0"



ALL EXTERIOR FOOTINGS MUST BE A MINIMUM OF 12"
BELOW UNDISTURBED SOIL

ALL STRUCTURAL STEEL MUST BE PROPERLY PLACED,
SPACED, SUPPORTED AND INSPECTED

BEFORE POURING CONCRETE INCLUDE ANCHOR BOLTS,
STRAPS, WIRE MESH, VISQUEEN ETC.



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SHAN VARMA & KIMBERLEY ANN OWEN

REVISIONS

[illegible]VARMA/OWEN
RESIDENCE

FOUNDATION

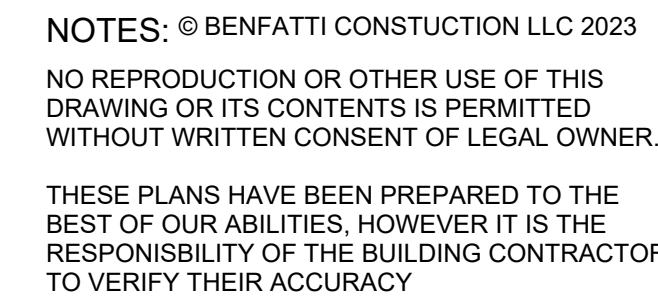
LIVING AREA:	2001 SQFT
--------------	-----------

UNDER BEAM:	3624 SQFT
-------------	-----------

2 of 9

SCALE: As indicated

DRWN BY:	COLT LEE	DATE:	09/04/202
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135 ST. CHARLES ST, BSL, MS 39520
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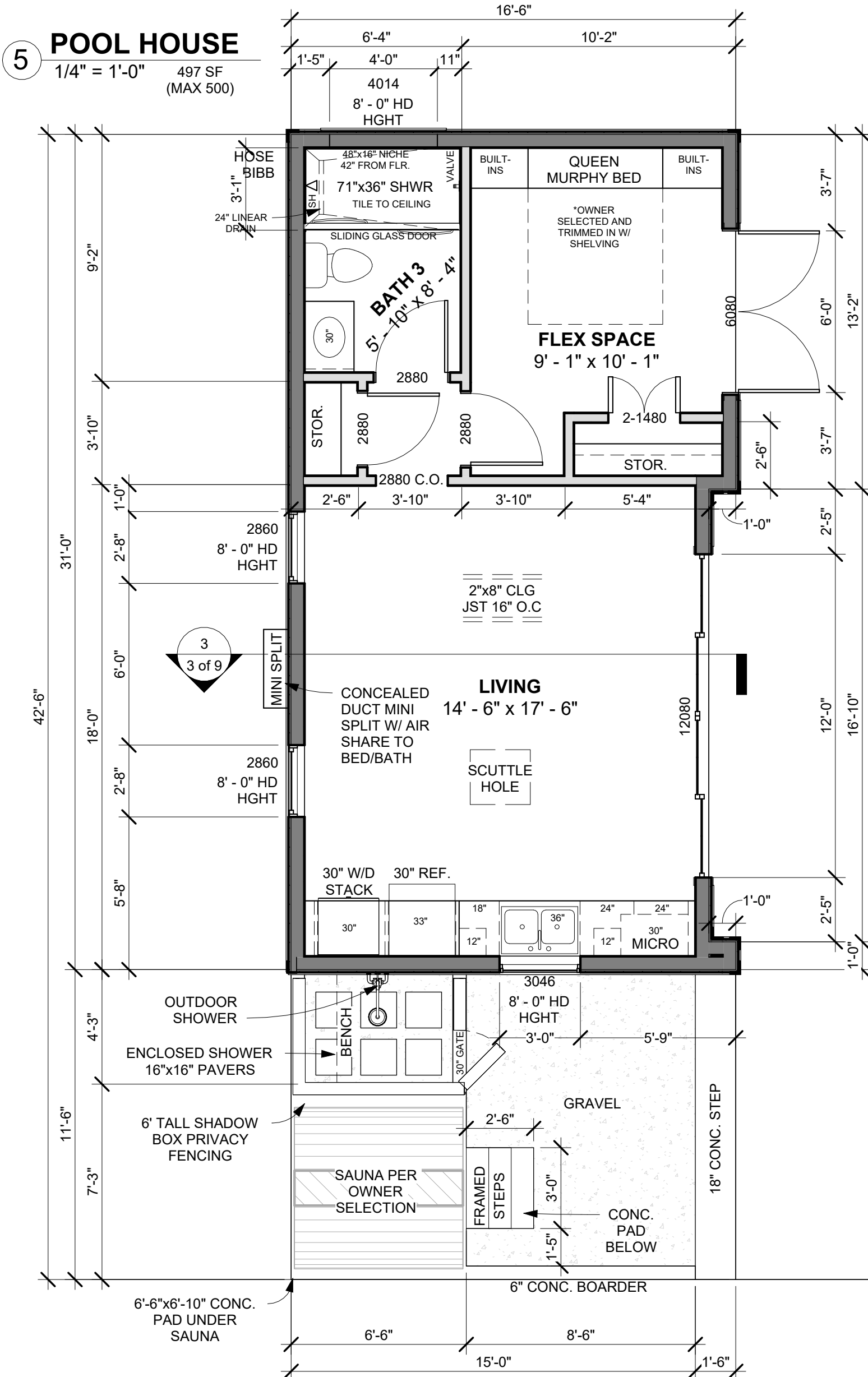
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SCALE:		As indicated	
DRWN BY:	COLT LEE	DATE:	09/04/2026

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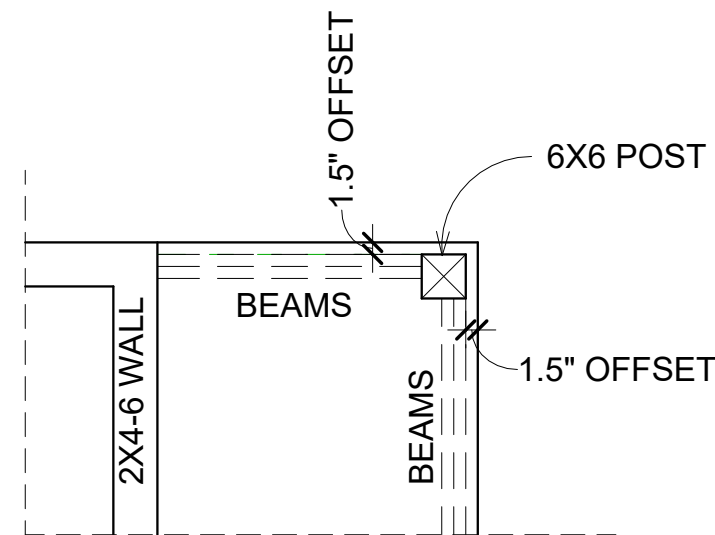
5 POOL HOUSE

1/4" = 1'-0" 497 SF (MAX 500)



3 POST PLACEMENT DETAIL

1/2" = 1'-0"



GENERAL NOTES:

ALL MEANS OF EGRESS WINDOWS MUST COMPLY WITH SECTION R-310.2 OF THE 2018 IRC

ALL EXTERIOR WINDOWS/OPENINGS MUST COMPLY WITH SECTION R-301.2.1.2 OF THE 2018 IRC

FACTORY BUILT FIREPLACES SHALL BE LISTED IN ACCORDANCE WITH THE UL 127 AS PER ARTICLE R1004.1 OF THE 2015 IRC

WINDOWS IN HAZARDOUS LOCATIONS (OVER BATHTUBS) MUST BE TEMPERED AND COMPLY WITH ARTICLE R308.4 OF THE 2015 IRC

RESIDENCE MUST COMPLY WITH FOLLOWING INSULATION REQUIREMENTS AS PER TABLE N1102.1 OF THE 2015 IRC.
CEILINGS: R-30 MIN, WALLS: R-13 MIN, FLOORS: R-11.
FENESTRATION U-FACTOR (.75)
SOLAR HEAT GAIN COEFFICIENT (.40)

NEED "CITY STAMPED" APPROVED PLANS ON SITE FOR ALL INSPECTIONS

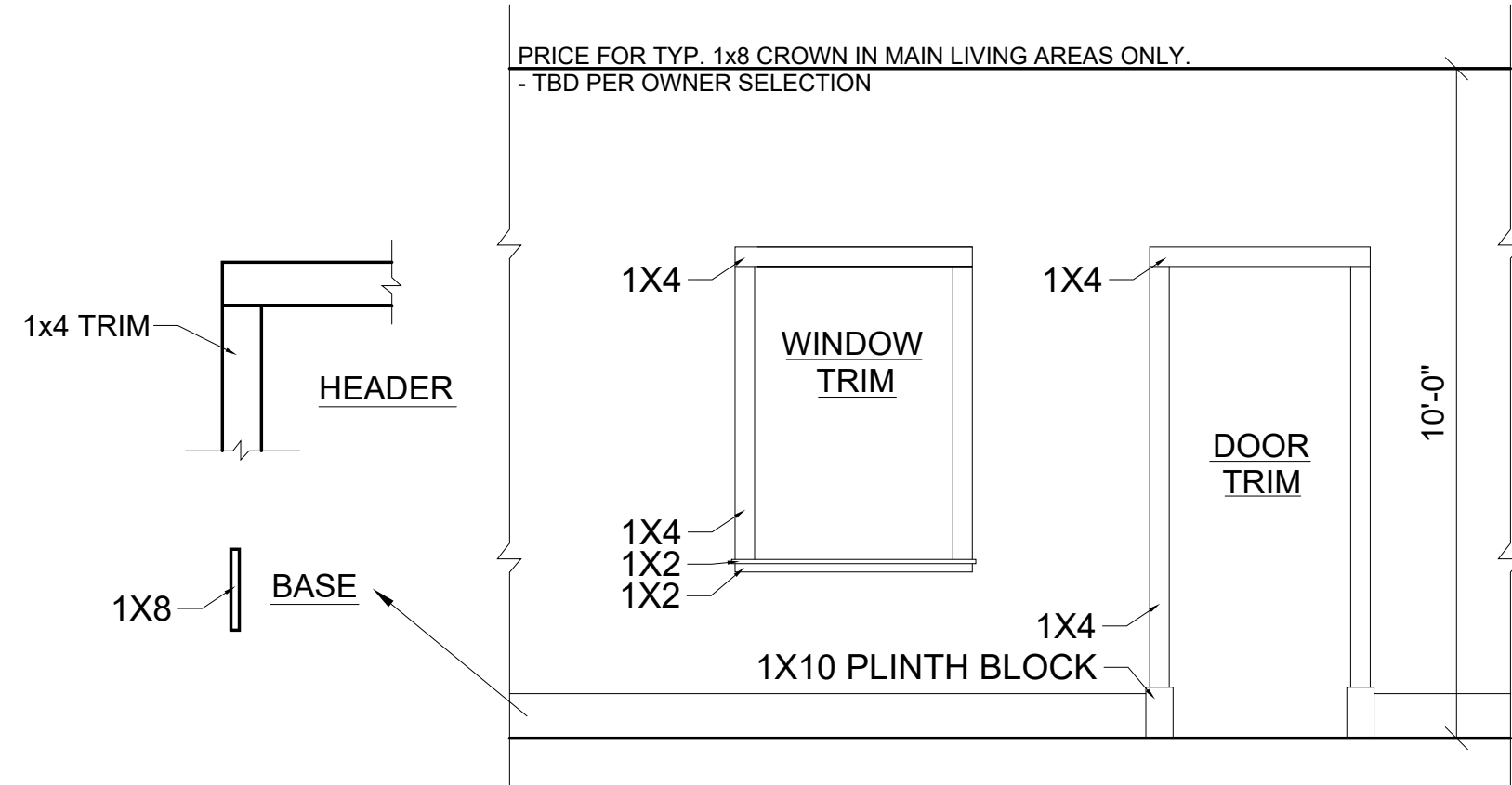
NEED PROOF OF TERMITE TREATMENT BEFORE SLAB AND FOOTING INSPECTION

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE, JOBSITE CLEANUP, STREET CLEANING, CONSTRUCTION ENTRANCE AND SILT FENCING WHERE REQUIRED ON A DAILY BASIS

MUST CALL FOR STRAPPING AND OR CLIP INSPECTIONS BEFORE CLAD COVERING

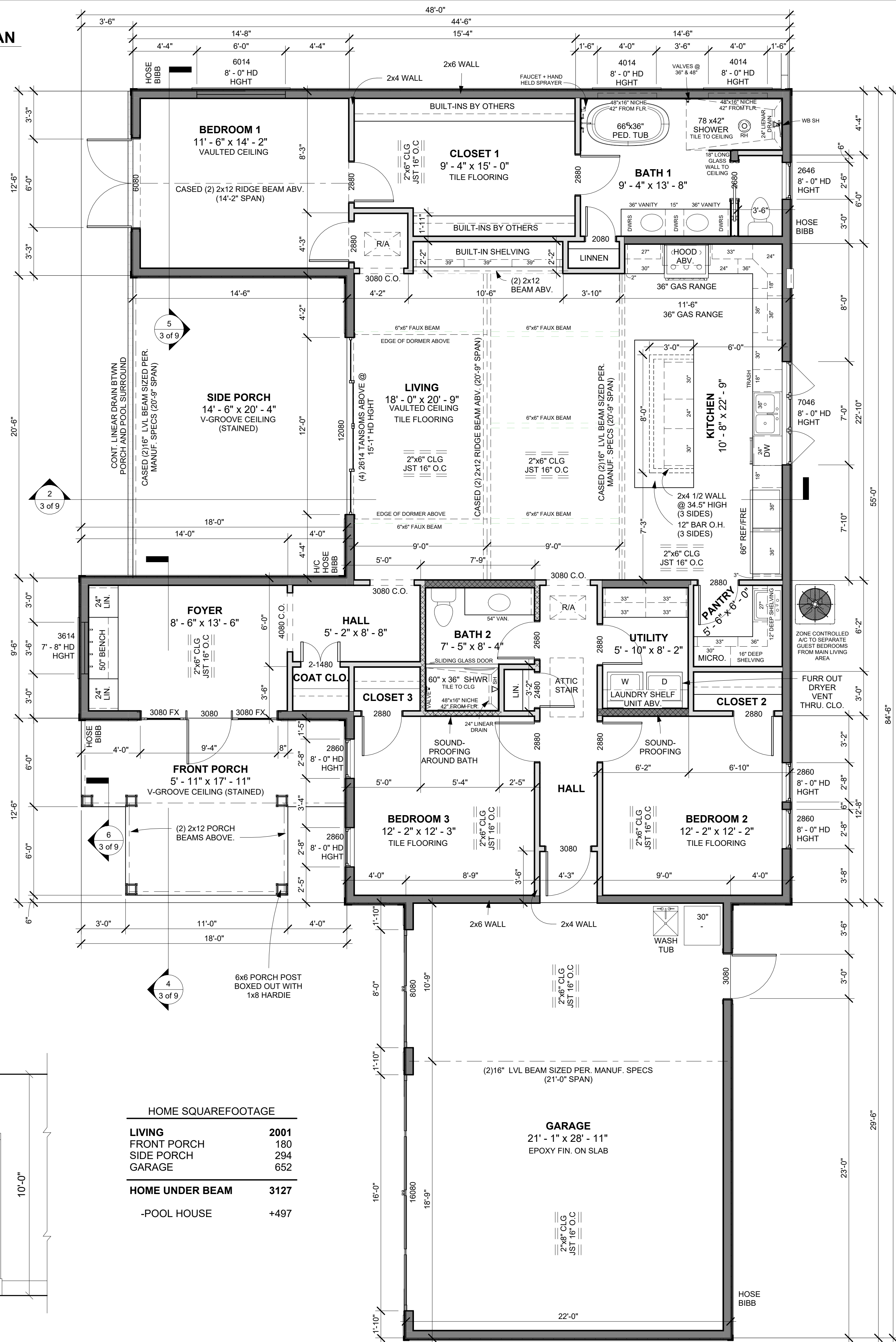
2 INTERIOR TRIM STYLE

3/8" = 1'-0"



1 FLOOR PLAN

1/4" = 1'-0"



HOME SQUAREFOOTAGE	
LIVING	2001
FRONT PORCH	180
SIDE PORCH	294
GARAGE	652
HOME UNDER BEAM	
-POOL HOUSE	+497



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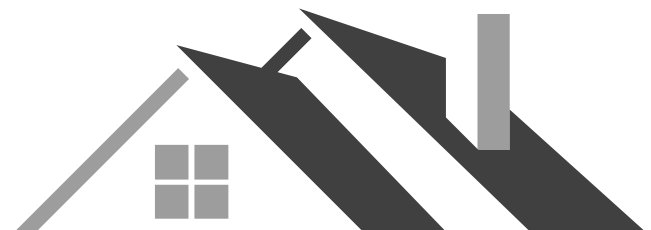
VARMA/OWEN RESIDENCE

FLOOR PLAN

LIVING AREA:	2001 SQFT
UNDER BEAM:	3624 SQFT

4 of 9

SCALE:	As indicated
DRWN BY:	COLT LEE
DATE:	09/04/2026



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ELECTRIC

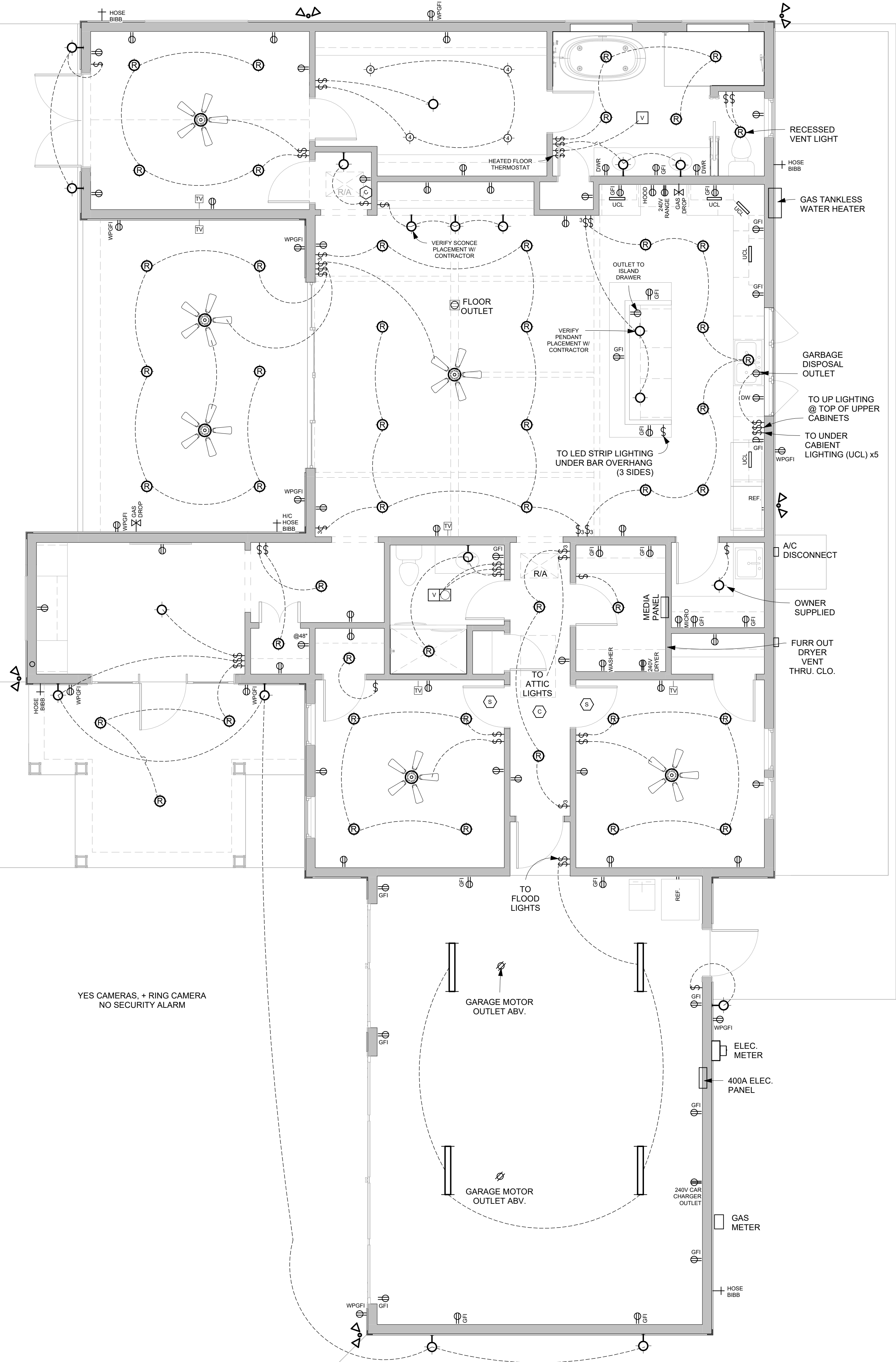
LIVING AREA:	2001 SQFT
UNDER BEAM:	3624 SQFT

5 of 9

SCALE:	1/4" = 1'-0"
DRWN BY: COLT LEE	DATE: 09/04/2026

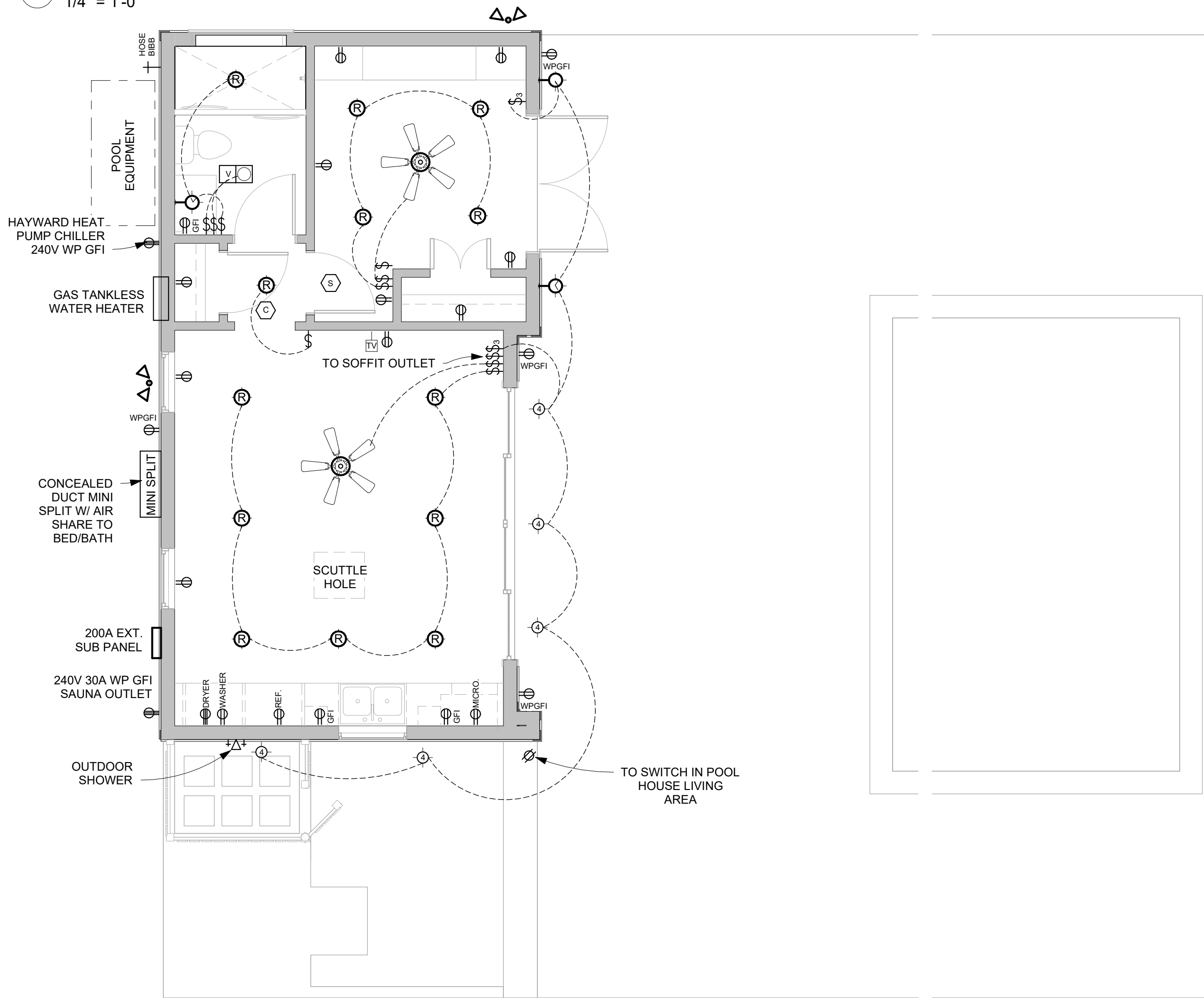
1 FIXTURES - HOUSE

1/4" = 1'-0"



2 FIXTURES - POOL HOUSE

1/4" = 1'-0"



SYMBOLS			
	WIRES		SMOKE DETECTOR
	CEILING MOUNTED FAN		CARBON MONOXIDE/ SMOKE DETECTOR
	WALL MOUNTED FAN		DUPLEX OUTLET, 120V MOUNTED 14" ABOVE FIN. FLR.
	CEILING MOUNTED FIXTURE		TRIPLEX OUTLET, 240V MOUNTED 14" ABOVE FIN. FLR.
	WALL MOUNTED FIXTURE		DUPLEX OUTLET, 120V GROUND FALT INTERRUPTER CIRCUIT BREAKER
	6" RECESSED CAN		DUPLEX OUTLET, 120V, WATER PROOF COVER PLATE AND BOX, GROUND FALT INTERRUPTER CIRCUIT BREAKER
	4" RECESSED CAN		DUPLEX CEILING MOUNTED OUTLET, 120V
	UNDER CABINET LED BAR LIGHT		SILENT SWITCH
	LED BAR LIGHT		3 WAY SWITCH
	FLOOD LIGHT		OCCUPANCY SENSOR ON SWITCH
	VENT		CABEL TELEVISION JACK, MOUNTED 84" ABOVE FIN. FLR.
	HEAT/VENT COMBO		GAS DROP
	VENT/LIGHT COMBO		
	HEAT/VENT/LIGHT COMBO		

NOTES:

MUST MAINTAIN PROPER PENETRATION PROTECTION OF OPENING FROM GARAGE TO DWELLINGS PER SECTION R-302.5 OF THE 2018 IRC

ALL 125 VOLT 12/20 AMP CIRCUITS SERVING BEDROOMS MUST BE ARC FAULT PROTECTED, INCLUDING S/DS

ALL RECEIPTICALS MUST COMPLY WITH SECTION E-4002.14 OF THE 2018 IRC (TAMPER RESISTANT)



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[illegible]

SCALE:	1/4" = 1'-0"		
DRWN BY:	COLT LEE	DATE:	09/04/2026

- 6' TALL PRIVACY FENCING AROUND OUTDOOR SHOWER

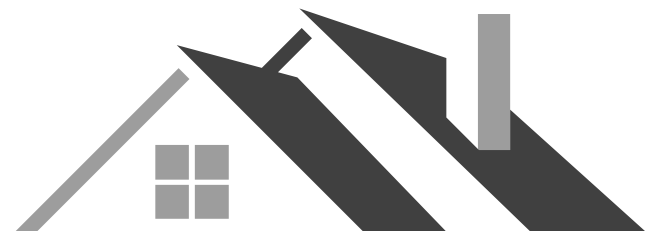


- PORCH POSTS BOXED OUT W/ 1x8 HARDIE
 - 1x8 BASE AND COLAR TRIM
 - 1x2 CORNER TRIM

PAINTED CONCRETE
FOUNDATION

DRAIN BETWEEN
SIDE PORCH AND
POOL SURROUND





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RESIDENCE

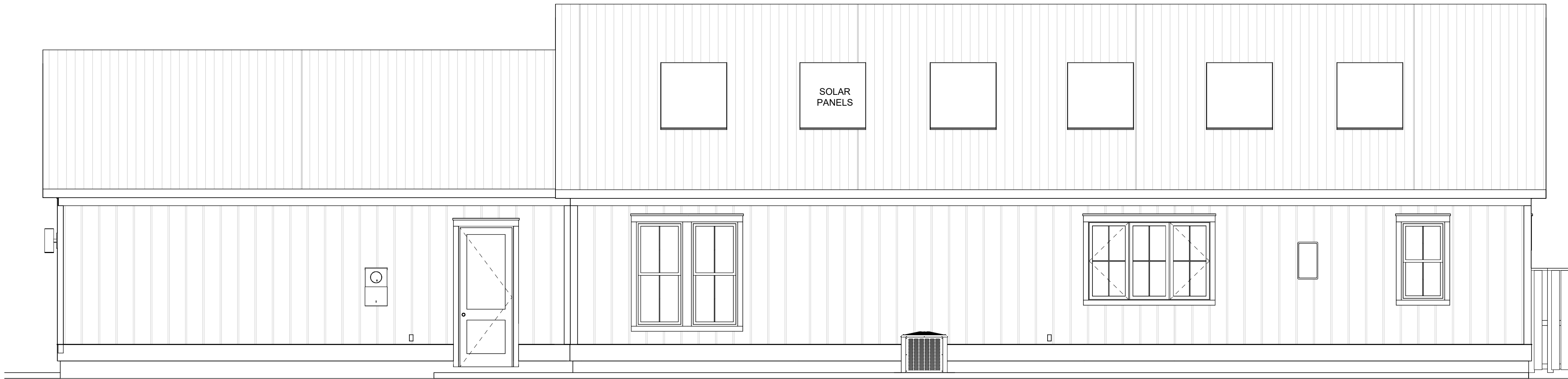
ELEVATIONS

LIVING AREA:	2001 SQFT
UNDER BEAM:	3624 SQFT

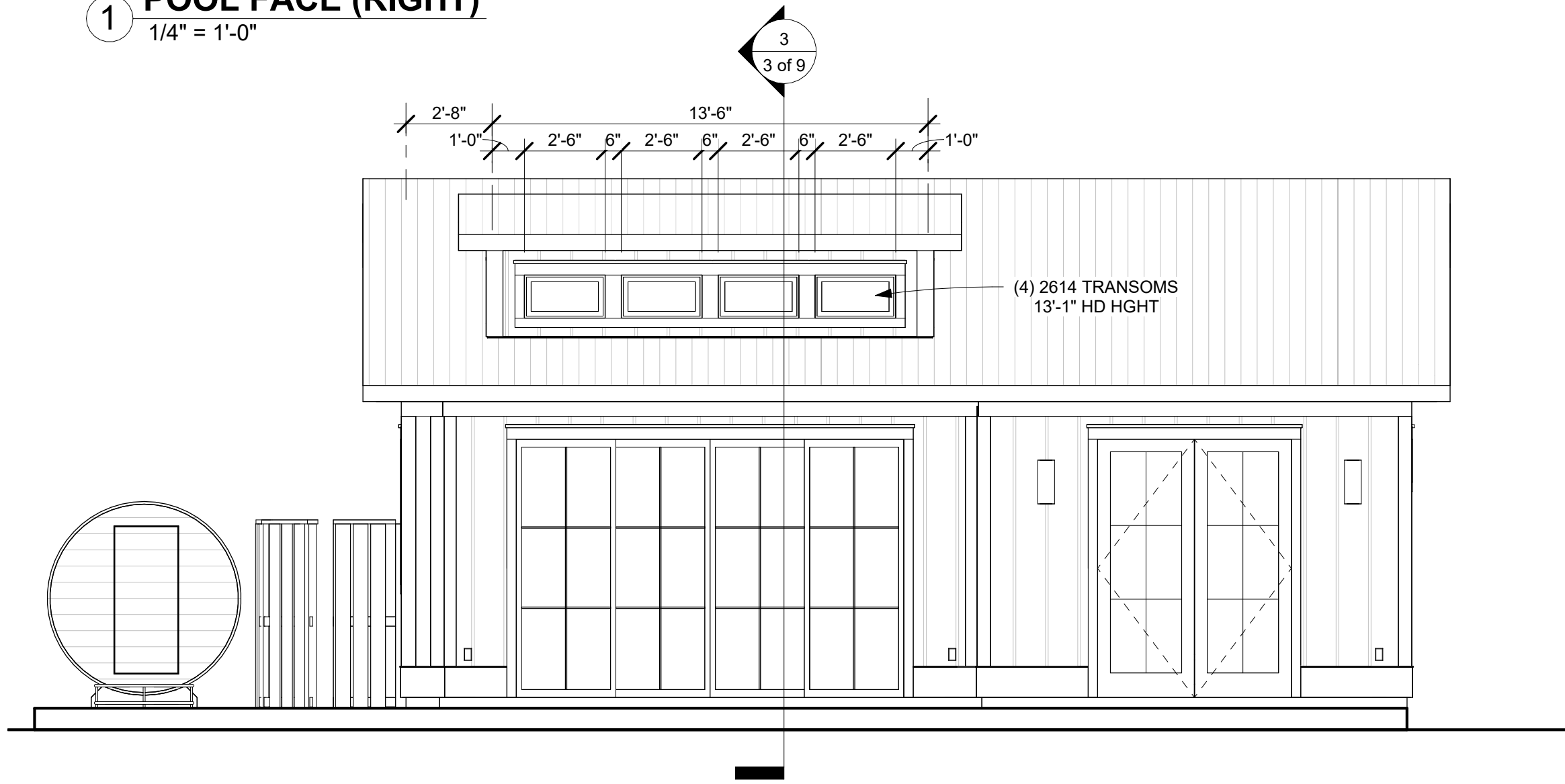
7 of 9

SCALE:		1/4" = 1'-0"	
DRWN BY:	COLT LEE	DATE:	09/04/2026

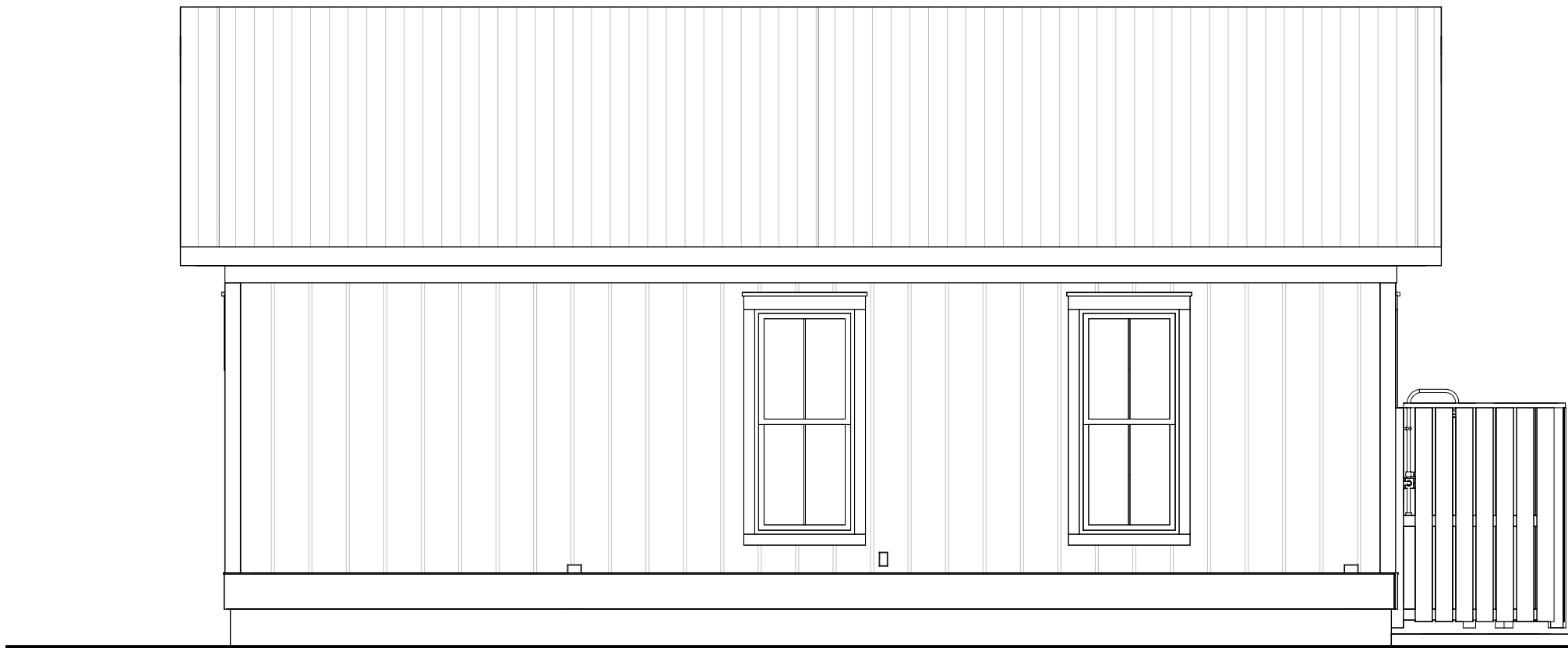
2 RIGHT ELEVATION
1/4" = 1'-0"



1 POOL FACE (RIGHT)
1/4" = 1'-0"



3 LEFT
1/4" = 1'-0"





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INTERIOR ELEVATIONS

LIVING AREA: 2001 SQFT

UNDER BEAM: 3624 SQFT

8 of 9

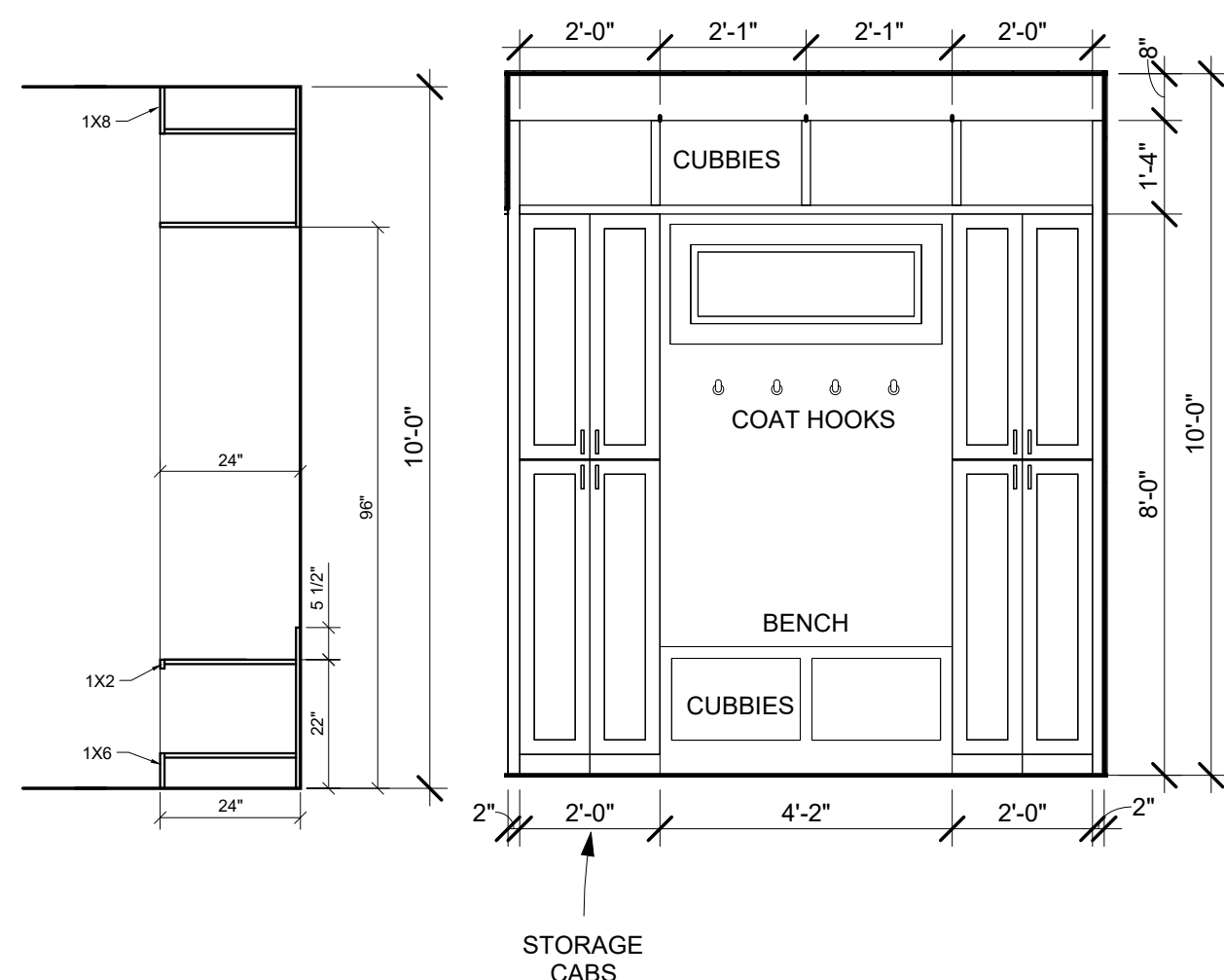
SCALE: 3/8" = 1'-0"

DRWN BY: COLT LEE DATE: 09/04/2026

9/4/2026 9:50:12 AM

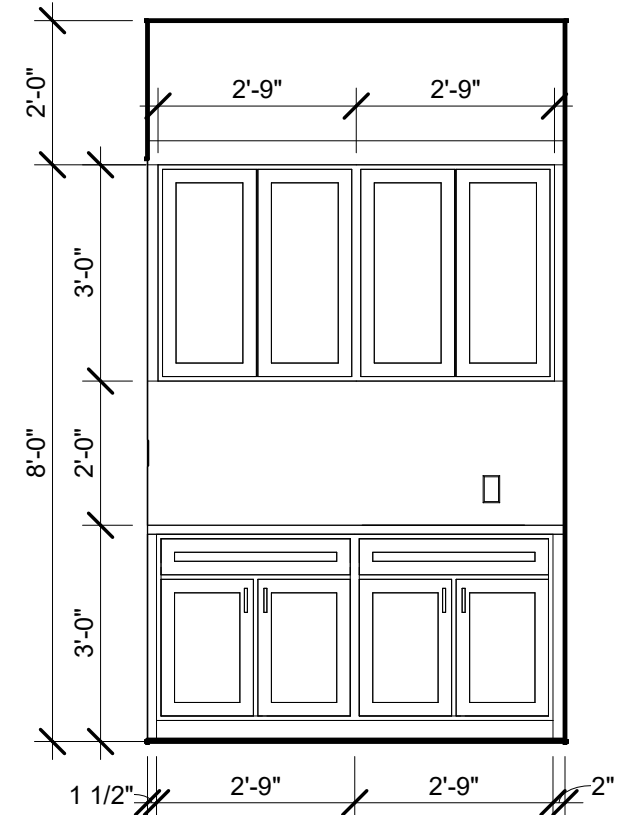
8 FOYER - BENCH

3/8" = 1'-0"



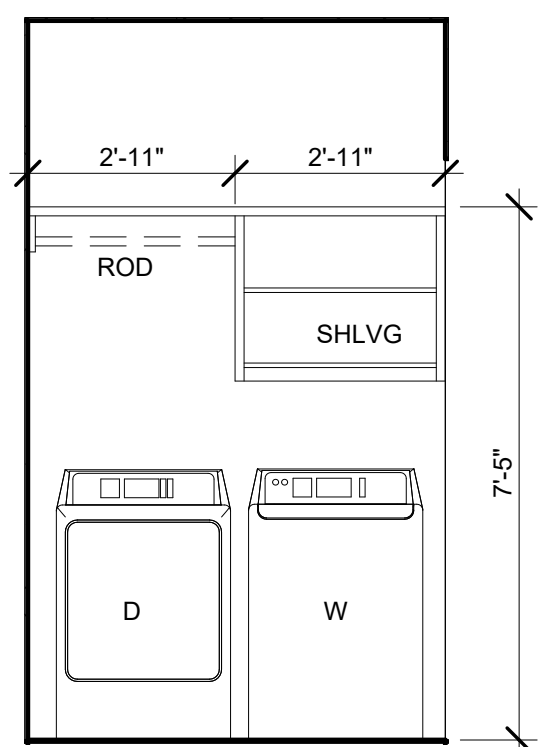
11 UTILITY - SINK WALL

3/8" = 1'-0"



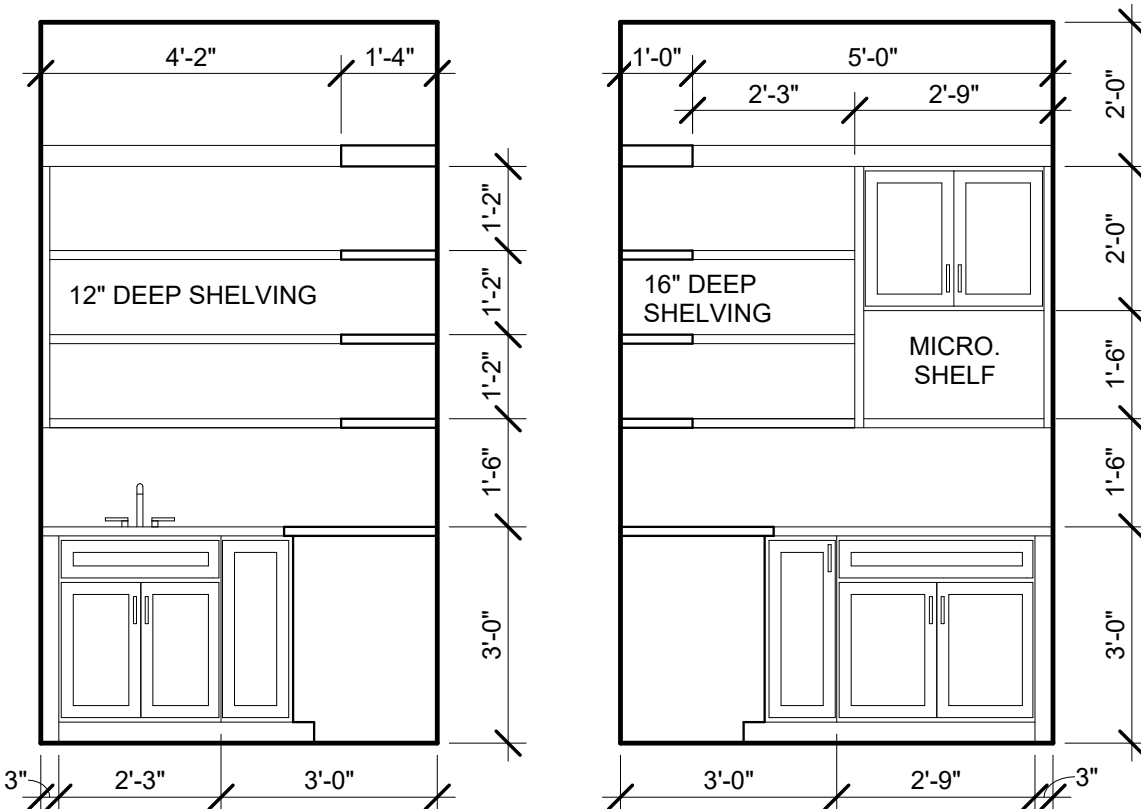
12 UTILITY - W/D WALL

3/8" = 1'-0"



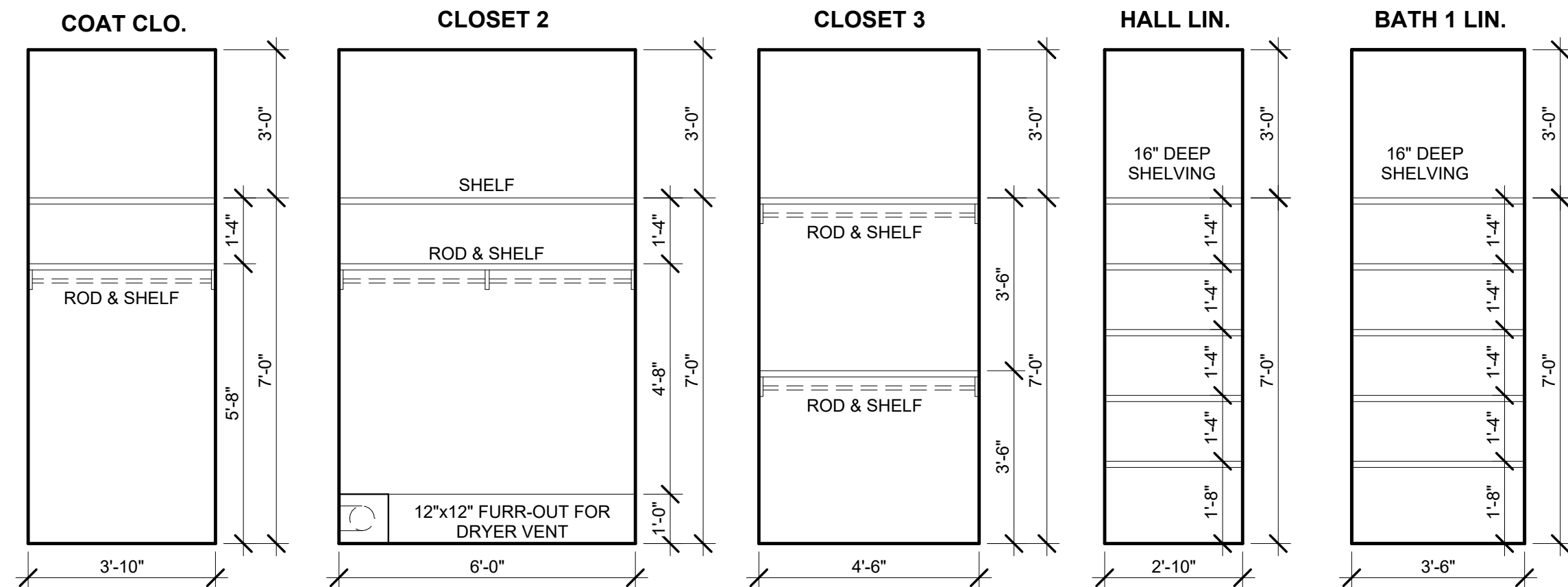
2 PANTRY

3/8" = 1'-0"



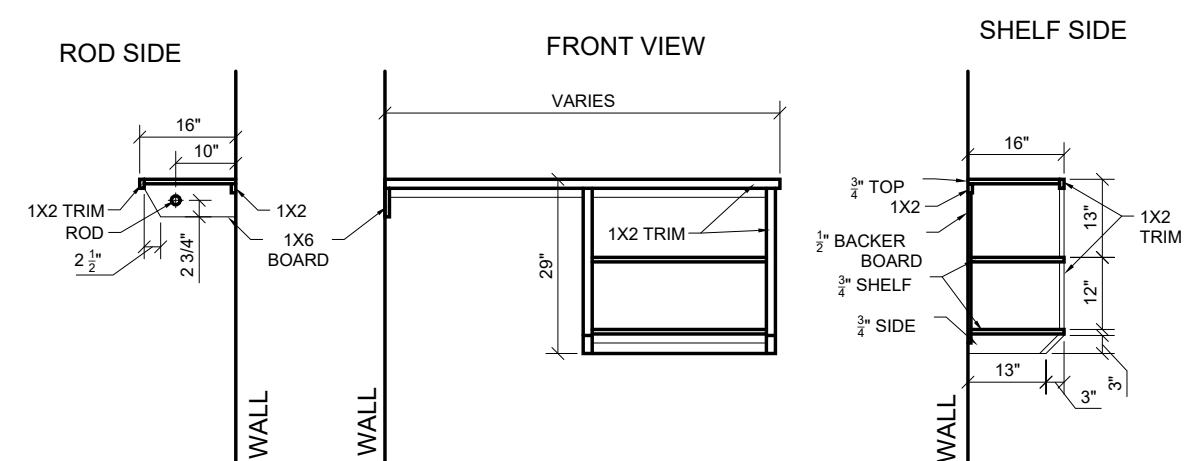
1 SHELVING

3/8" = 1'-0"



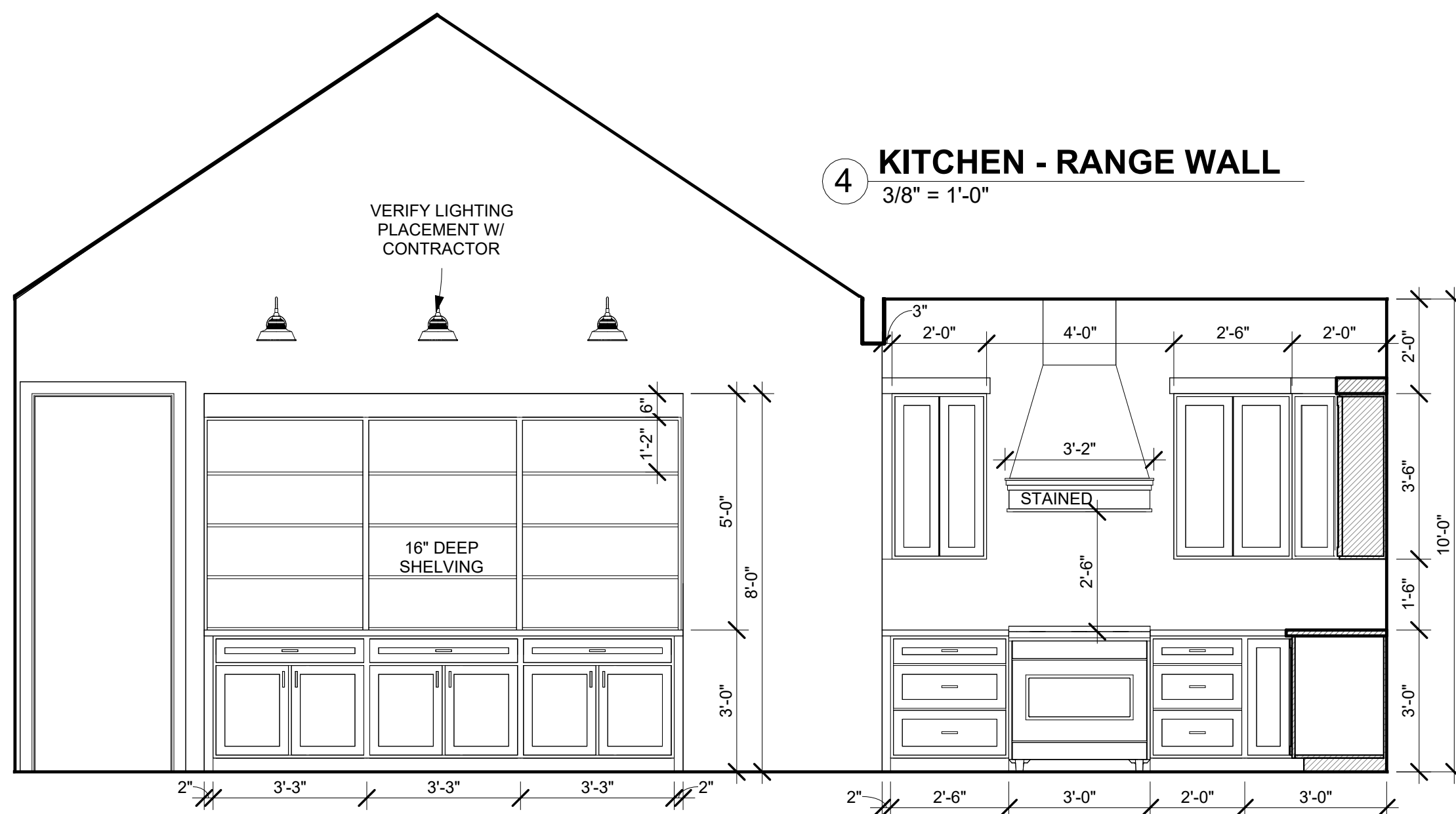
16 LAUN. SHELF

3/8" = 1'-0"



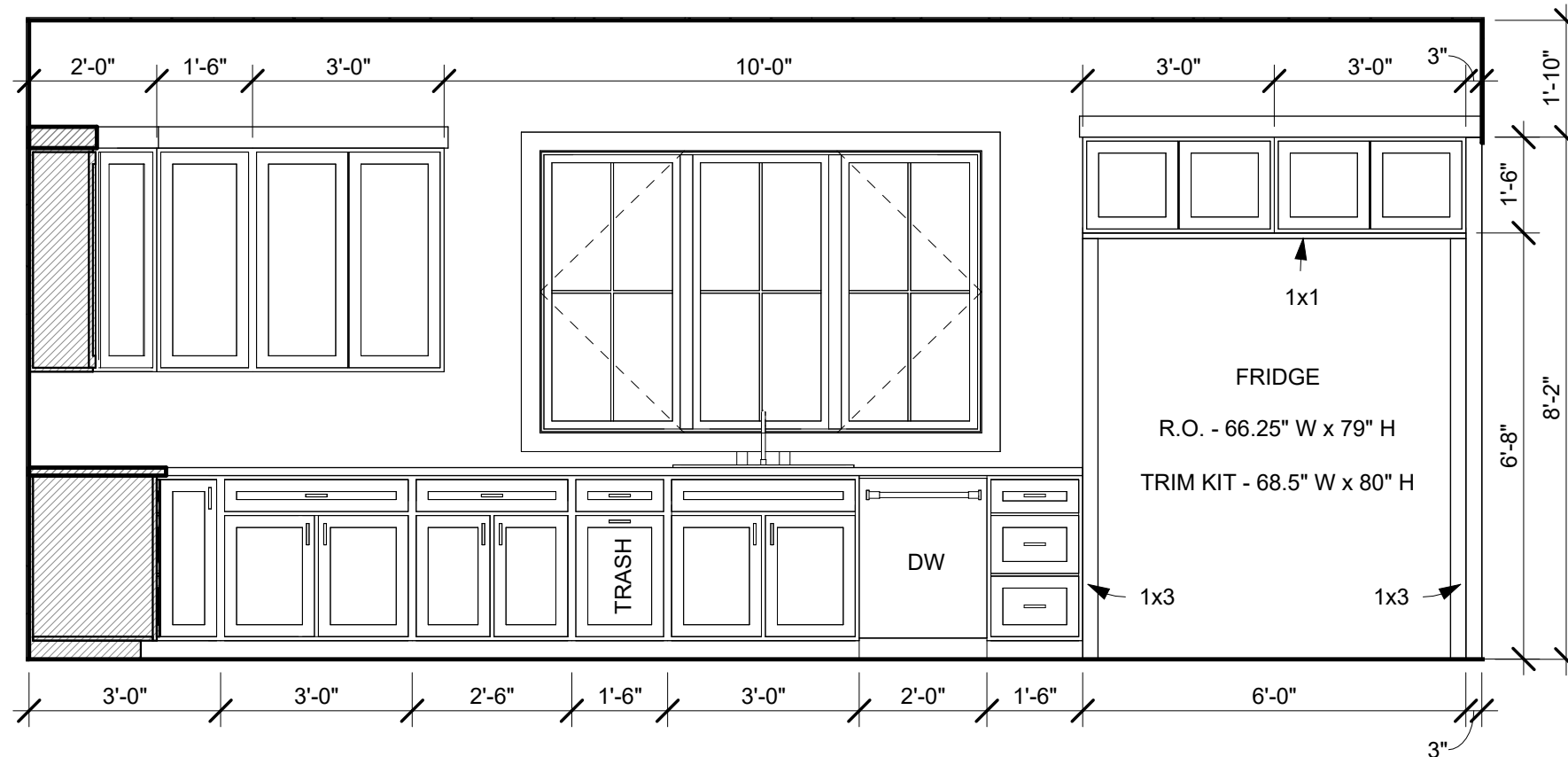
4 KITCHEN - RANGE WALL

3/8" = 1'-0"



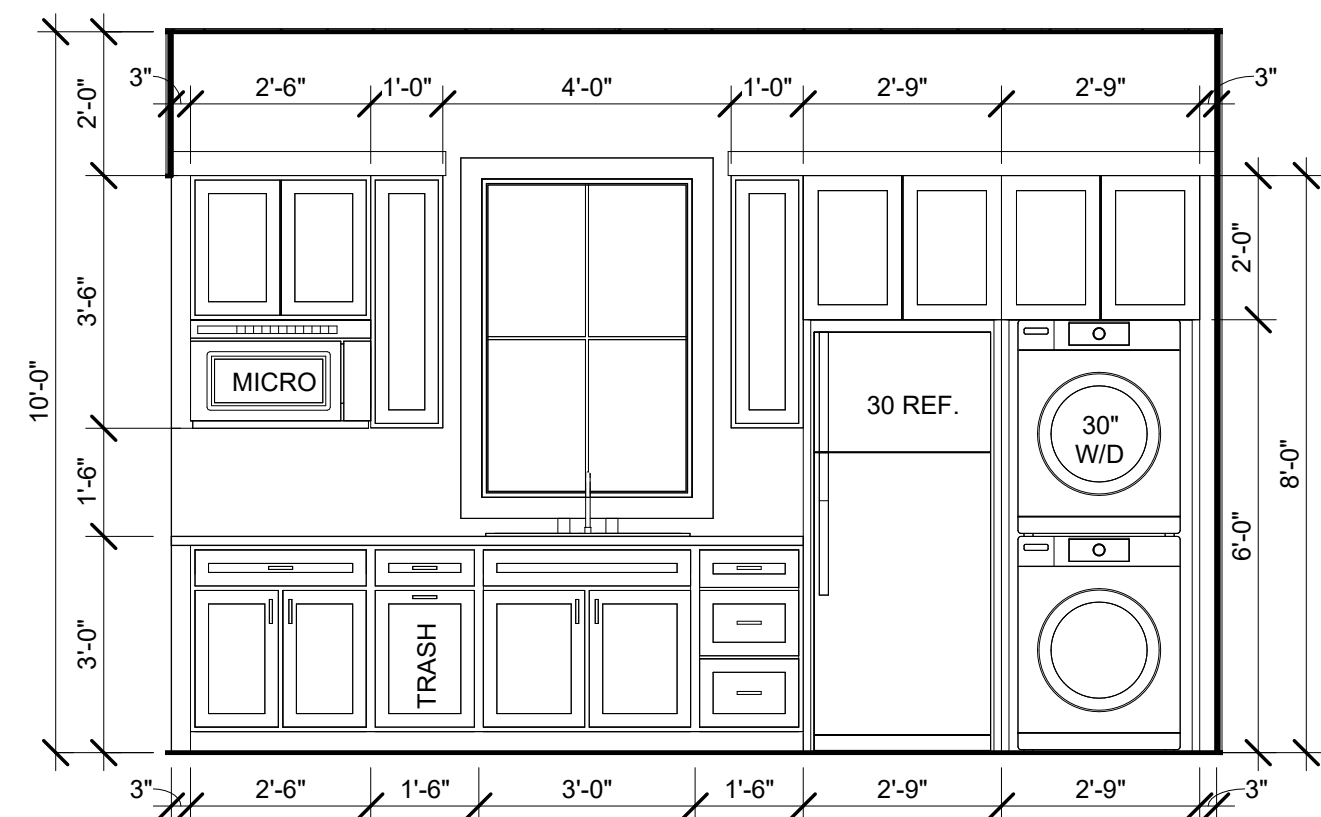
5 KITCHEN - SINK WALL

3/8" = 1'-0"



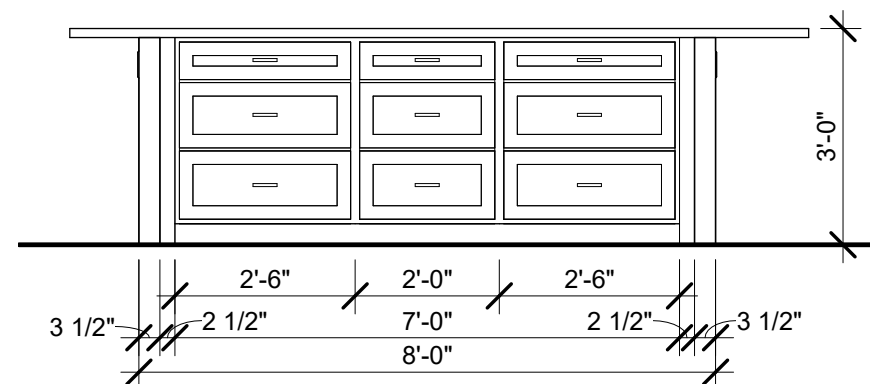
15 KITCHENETTE - POOL HOUSE

3/8" = 1'-0"



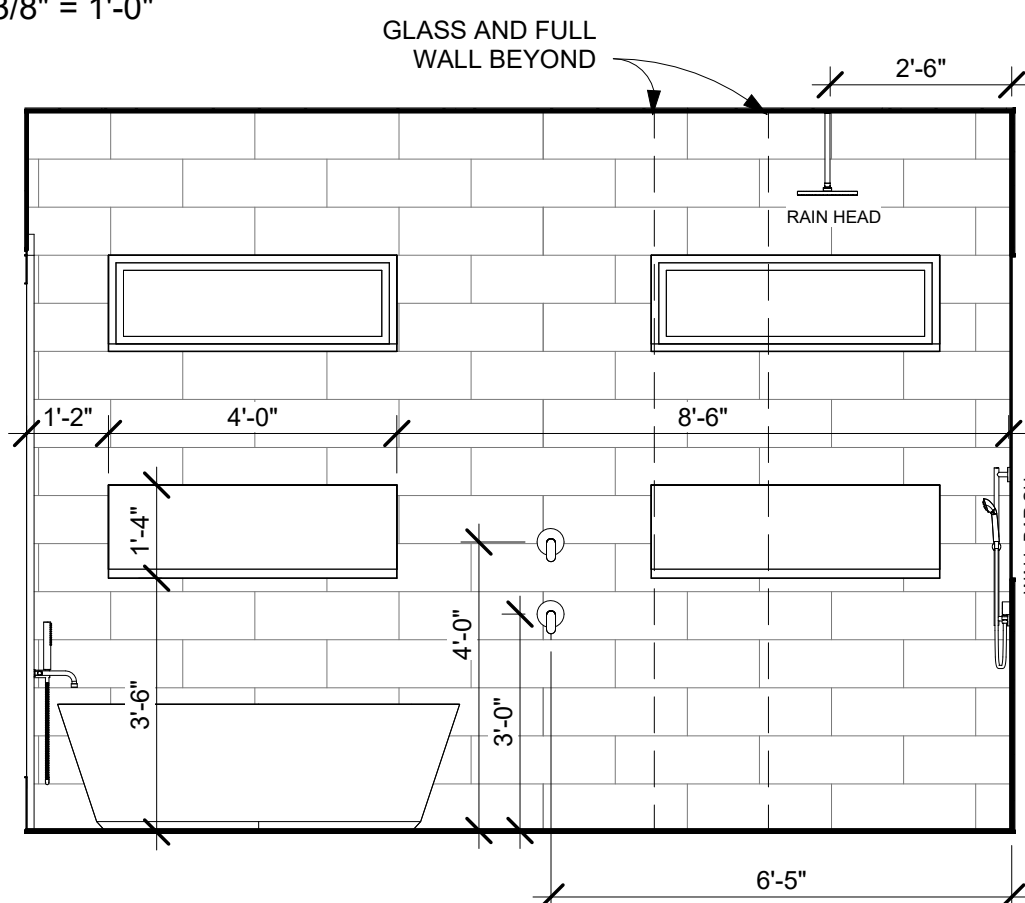
3 KITCHEN - ISLAND

3/8" = 1'-0"



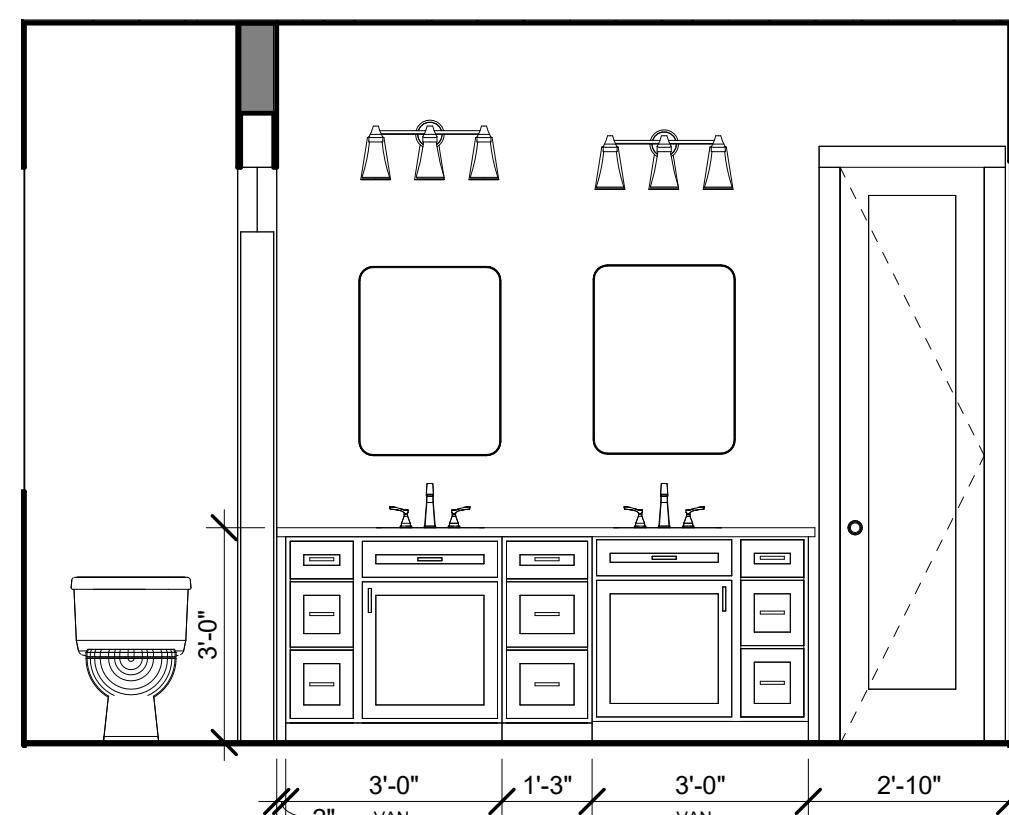
6 BATH 1 - TUB/SHOWER WALL

3/8" = 1'-0"



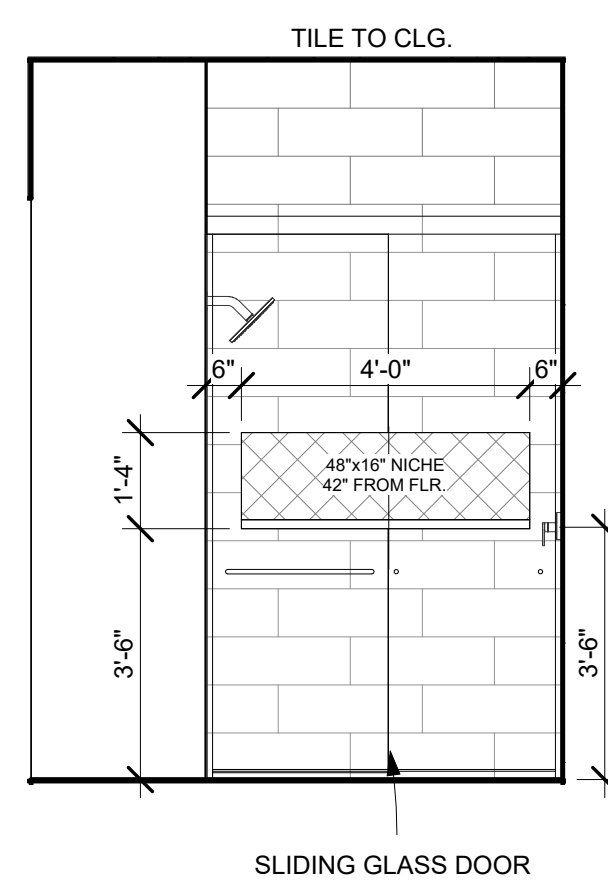
7 BATH 1 - VANITY WALL

3/8" = 1'-0"



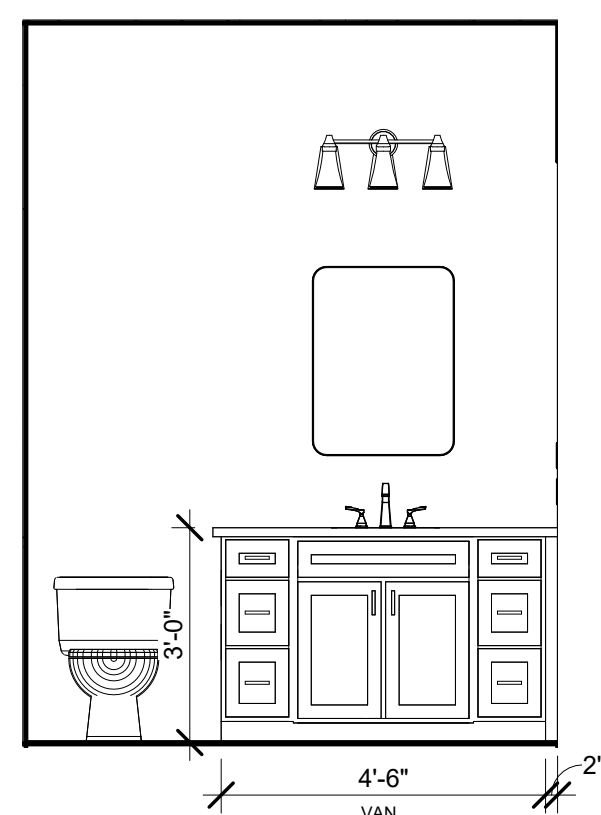
9 BATH 2 - SHOWER WALL

3/8" = 1'-0"



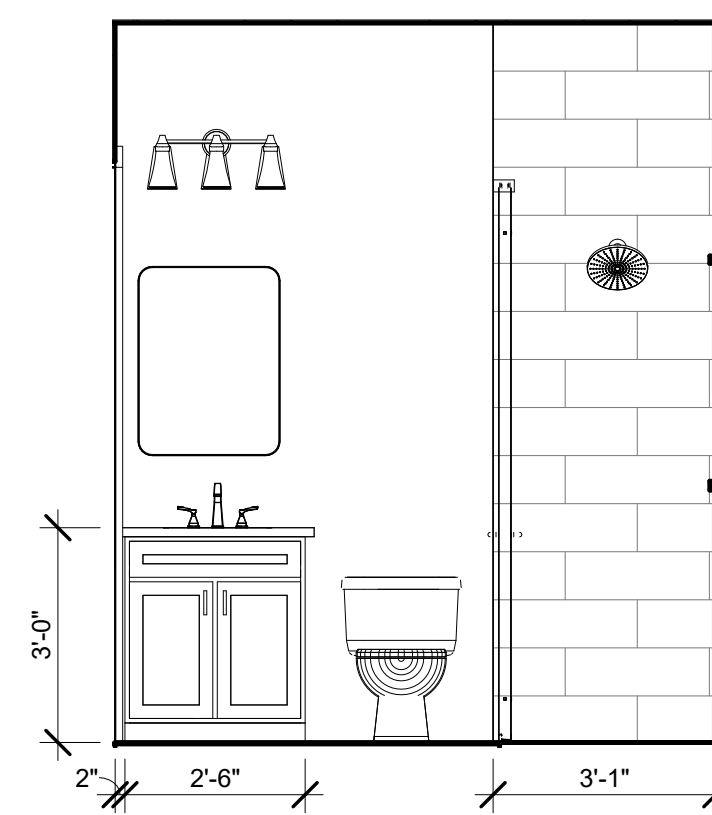
10 BATH 2 - SINK WALL

3/8" = 1'-0"



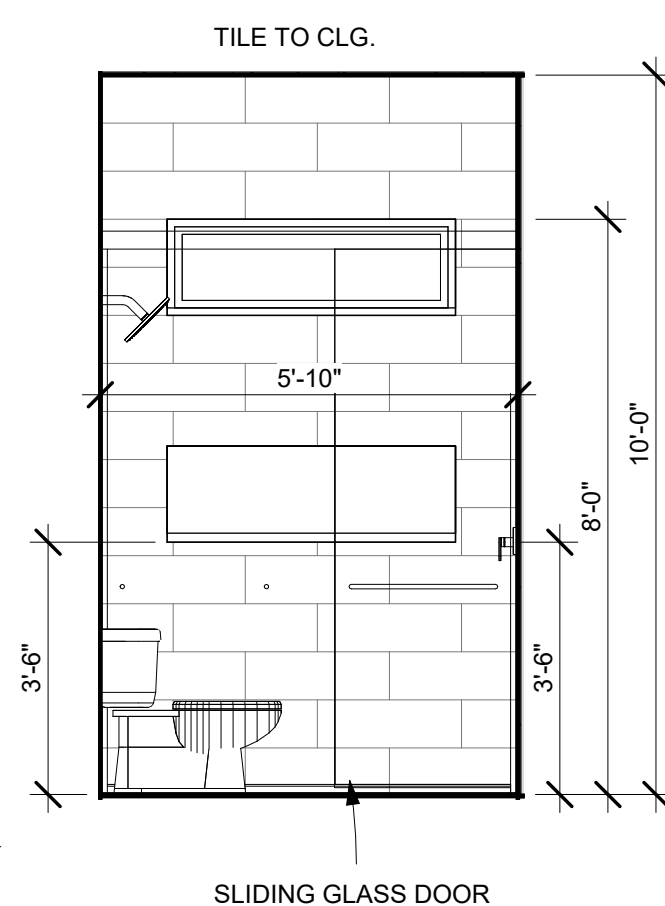
14 BATH 3 - SINK WALL

3/8" = 1'-0"



13 BATH 3 - SHOWER WALL

3/8" = 1'-0"





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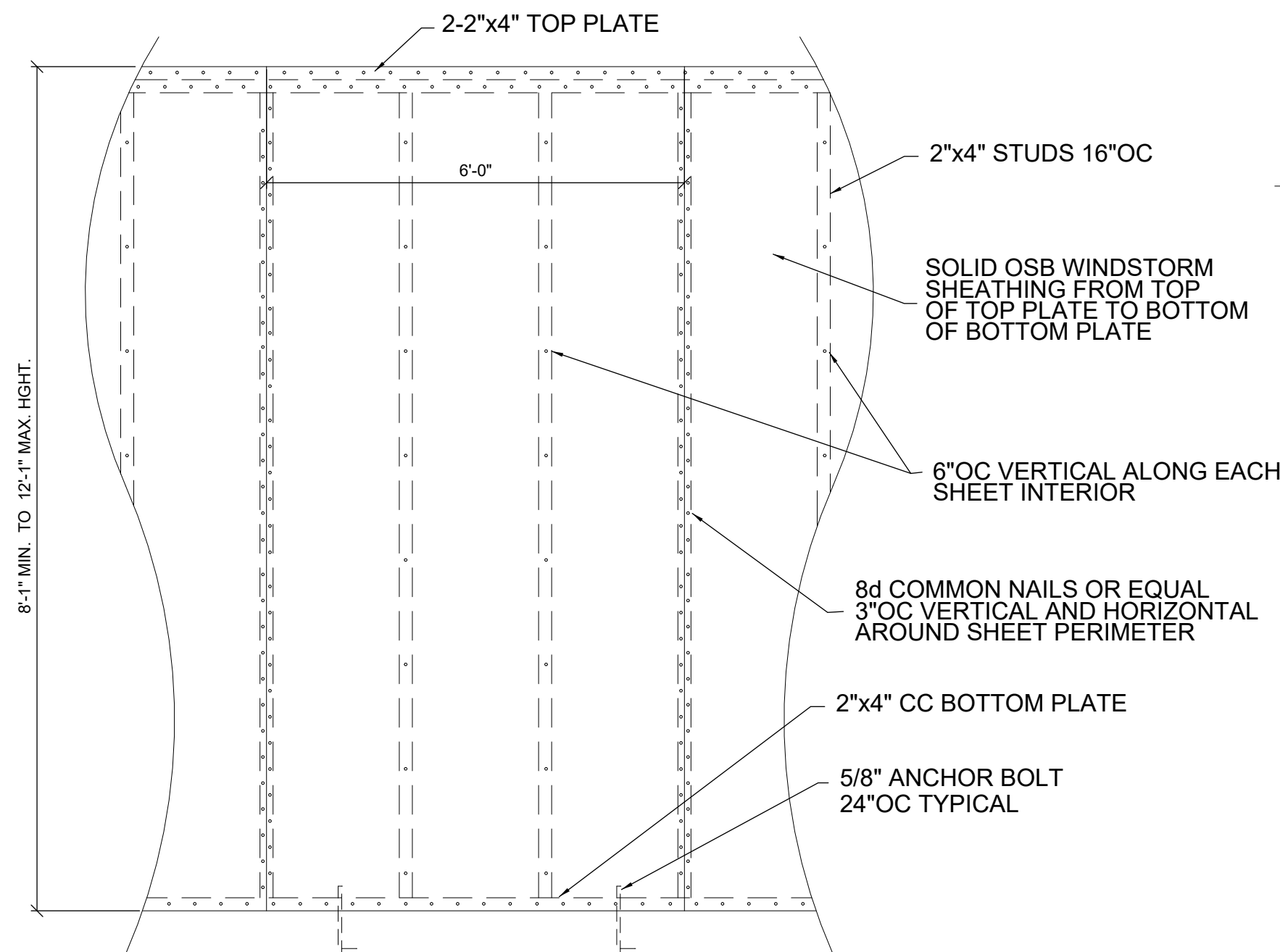
VARMA/OWEN RESIDENCE

DETAILS

LIVING AREA: 2001 SQFT
UNDER BEAM: 3624 SQFT

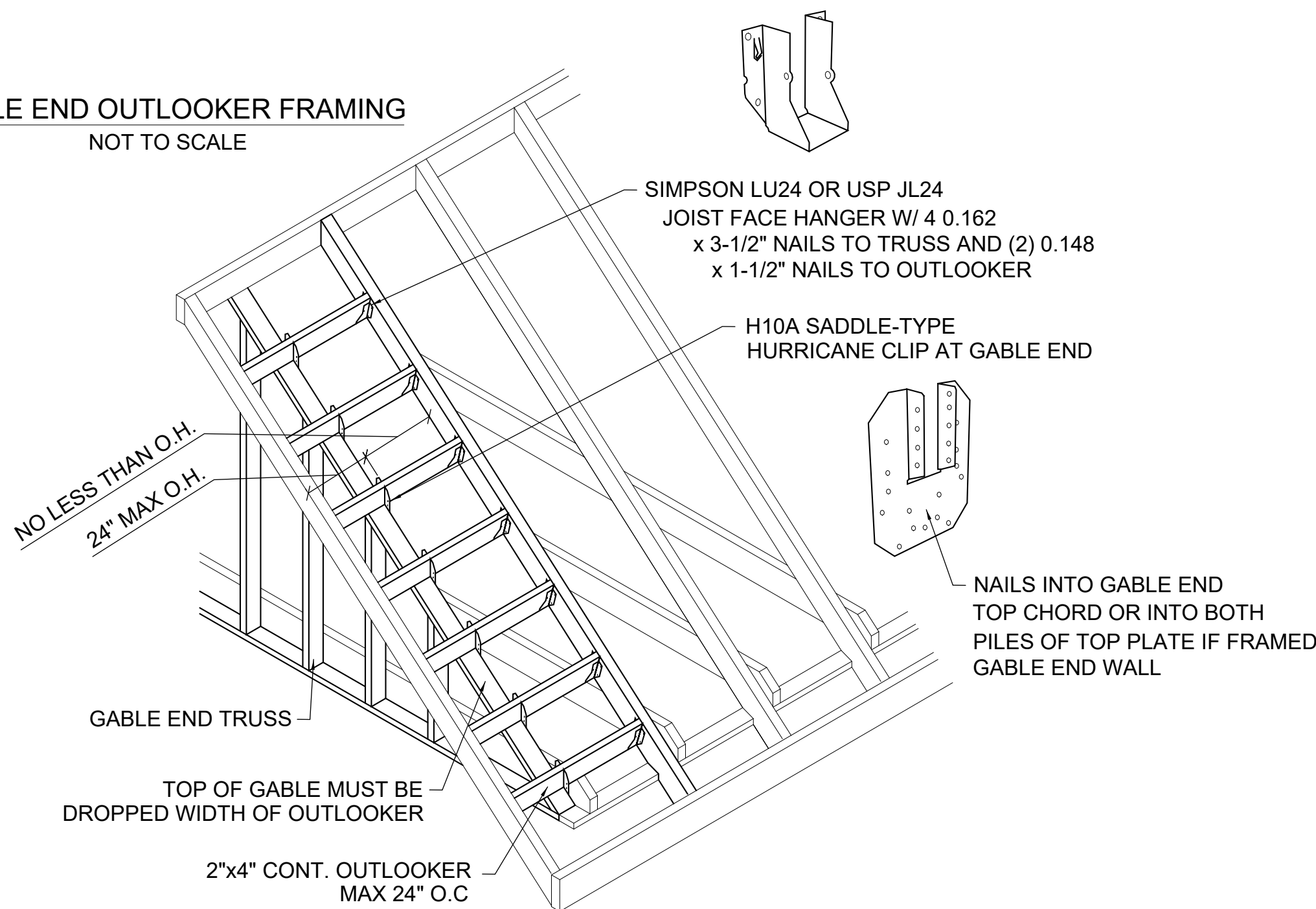
9 of 9

SCALE: 1/4" = 1'-0"
DRWN BY: COLT LEE | DATE: 09/04/2026



7/16" STORM SHEATHING
TYPICAL ALL EXTERIOR WALLS
SCALE: 3/4" = 1'-0"

GABLE END OUTLOOKER FRAMING NOT TO SCALE



NOTE:

CUT RAFTER BIRD MOUTH
AFTER STORM SHEATHING

NOTE:

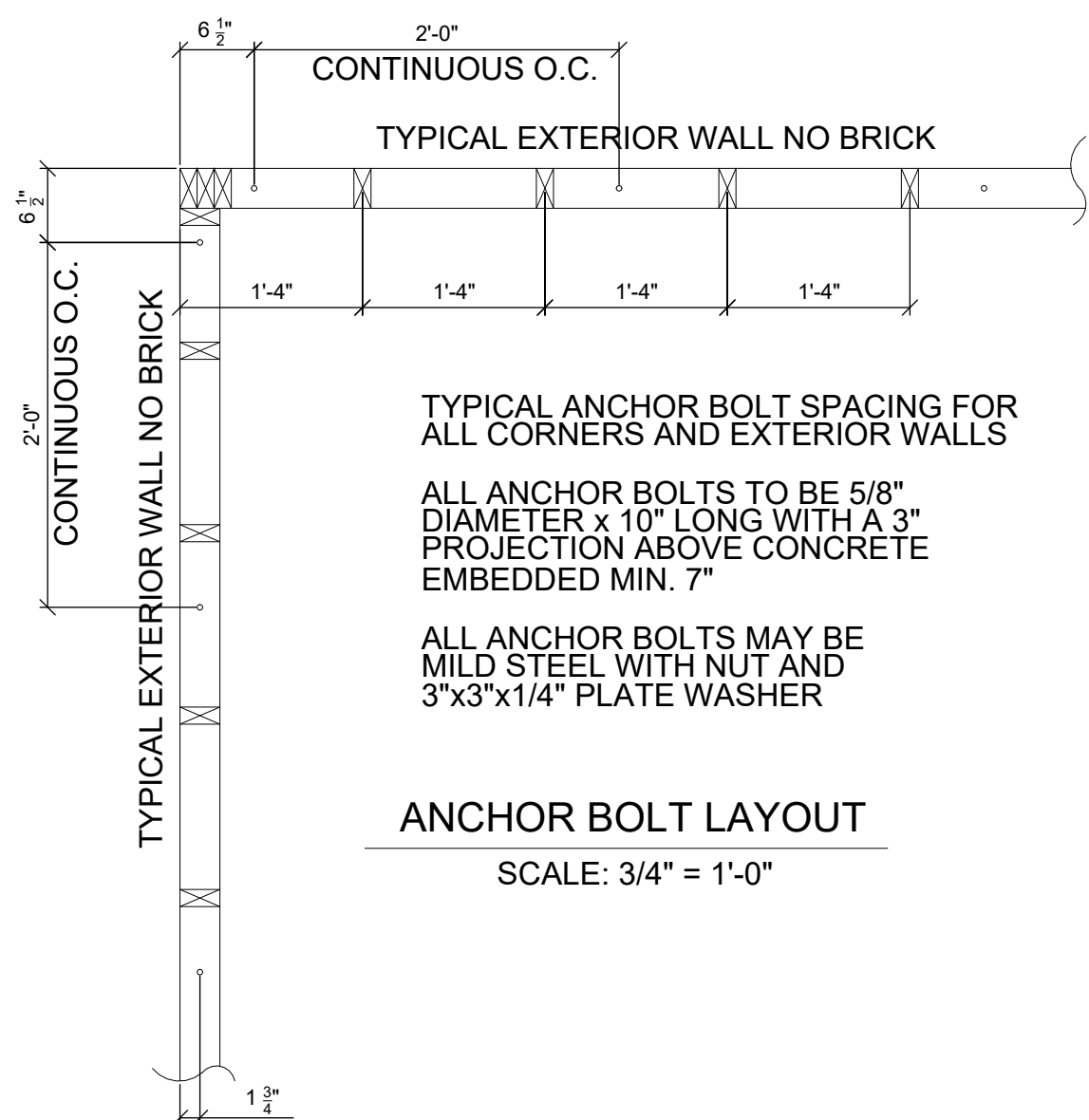
ROOF DRIP EDGE
AS PER IRC 905.2.8

2"x6" SUB-FASCIA

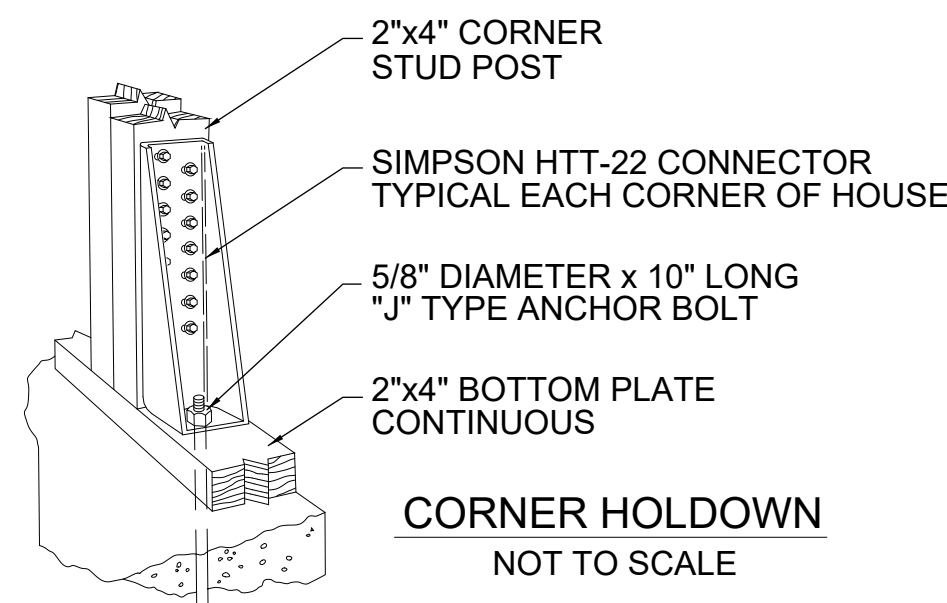
2"x4" SOFFIT LOOKOUTS

TYP ROOF SOFFIT DETAIL

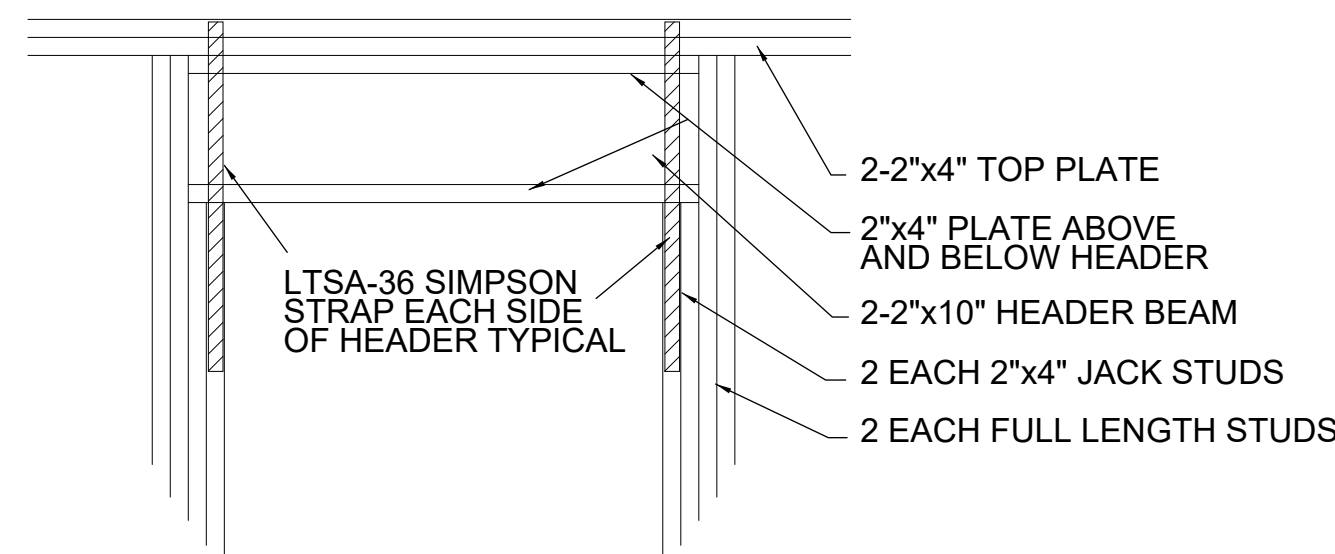
SCALE: 3/4" = 1'-0"



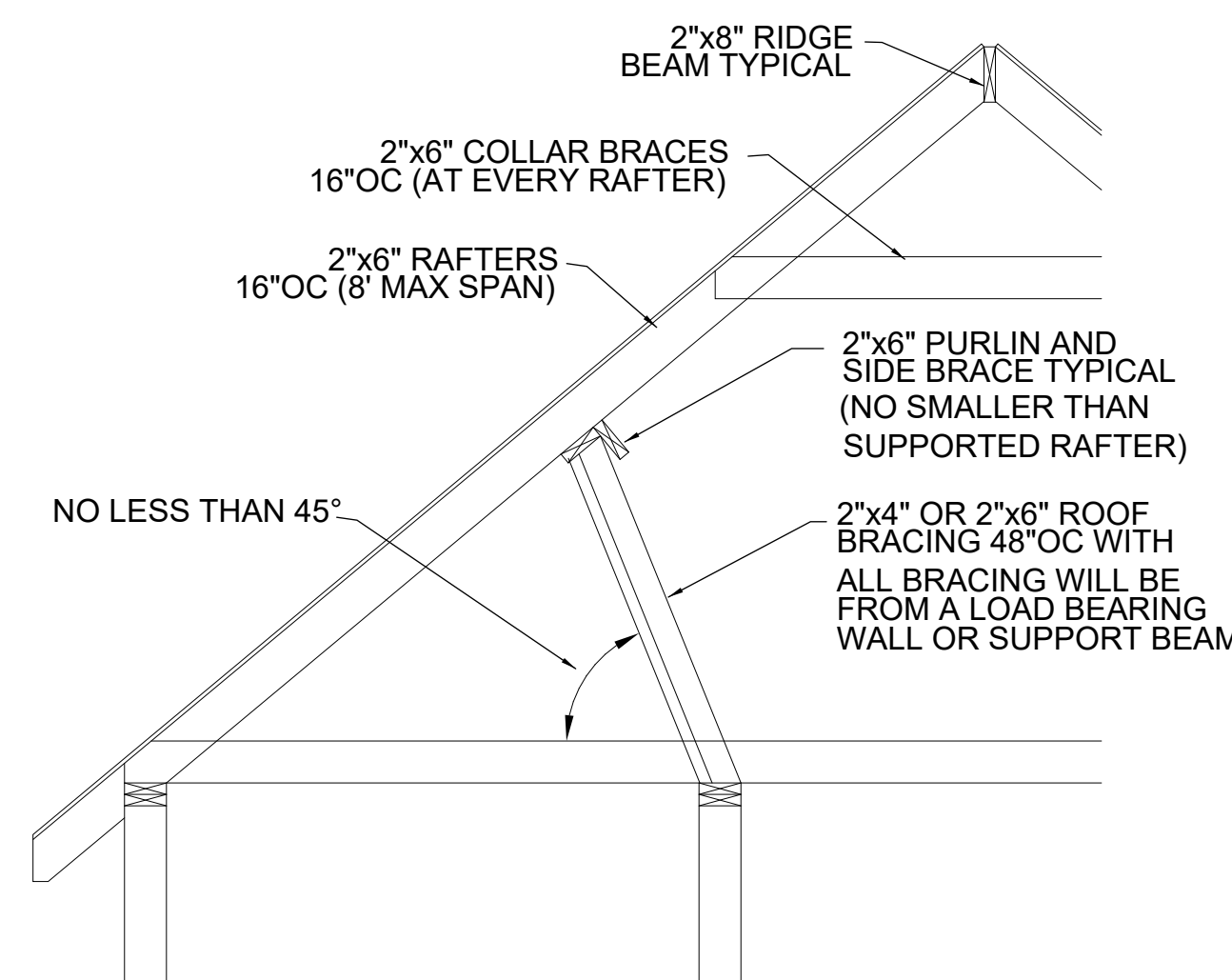
ANCHOR BOLT LAYOUT
SCALE: 3/4" = 1'-0"



CORNER HOLDOWN
NOT TO SCALE



TYPICAL EXTERIOR DOOR
OR WINDOW HEADER
SCALE: 3/4" = 1'-0"

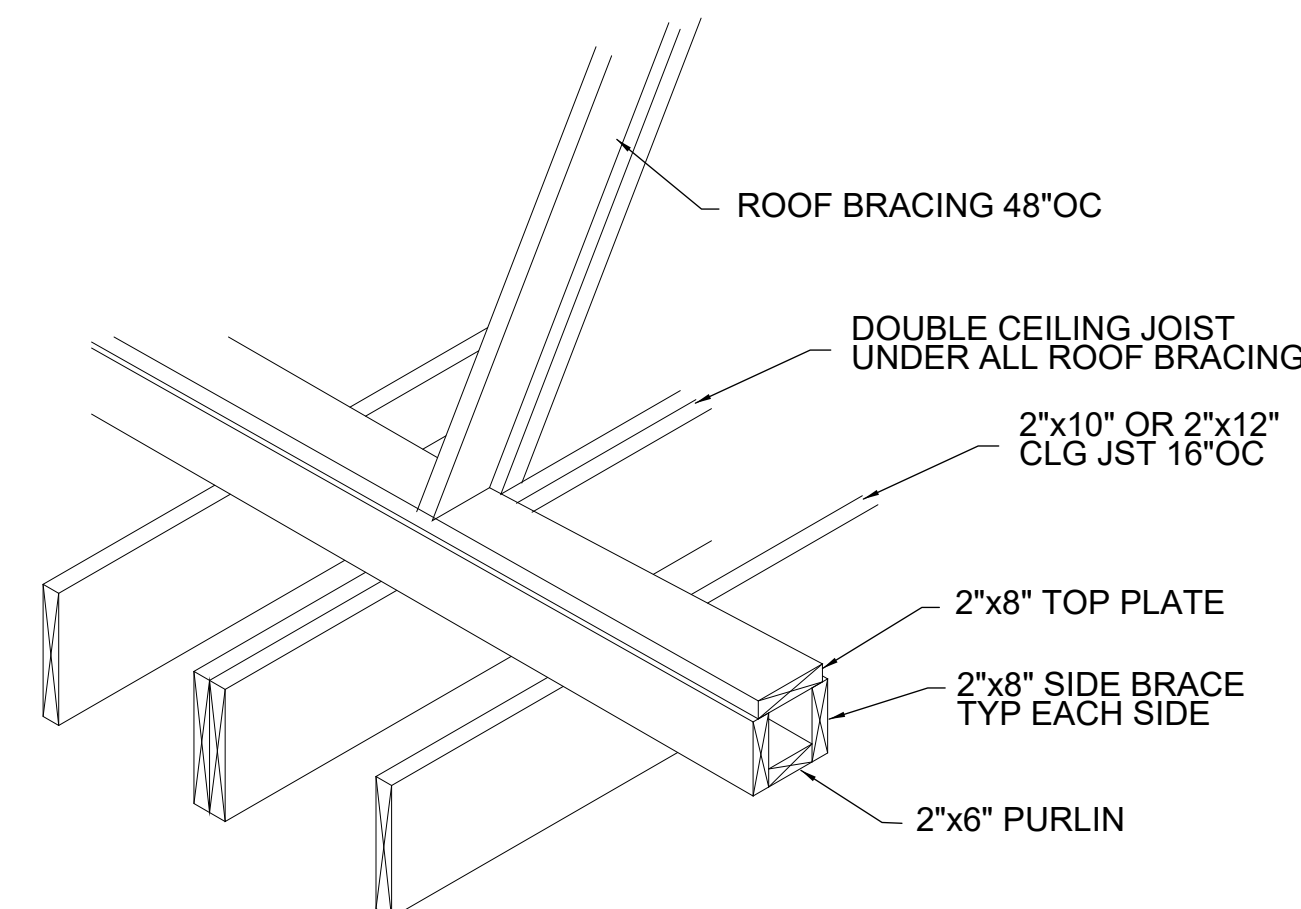


TYPICAL ROOF BRACING DETAIL

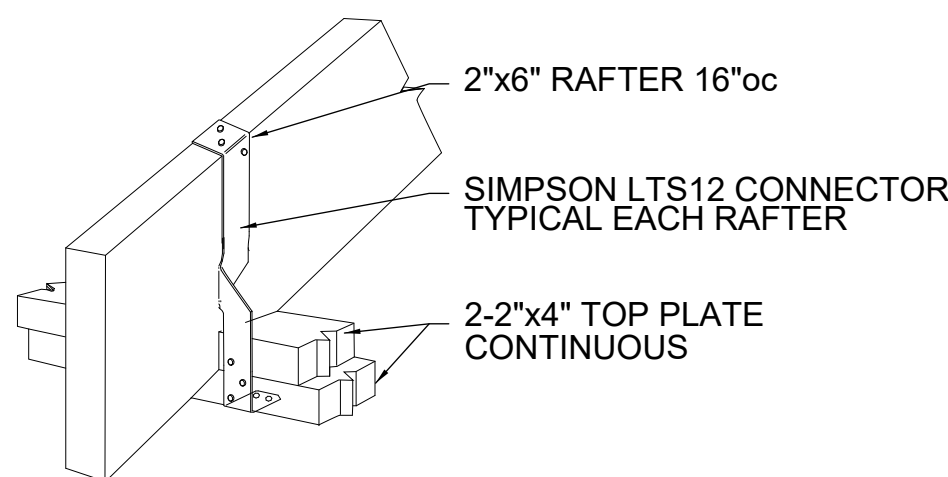
NOT TO SCALE

ALL RIDGES, HIPs AND VALLEYS ARE 2"x8"

ALL RAFTERS ARE 2"x6" @ 16"OC (8'-0" MAX SPAN)



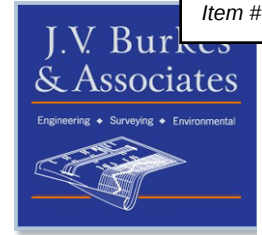
STRONGBACK DETAIL
NOT TO SCALE



RAFTER TO TOP PLATES
NOT TO SCALE

WALL SHEATHING REQUIRED FOR WIND LOAD RESISTANCE*			
SHEATHING LOCATION	STUD SPACING	EDGES	FIELDS
		MAX NAIL SPAC. G F 8d COMMON OR 10d BOX NAILS (INCES OC)	
INTERIOR ZONE	12" O.C.	4"	6"
	16" O.C.	4"	6"
	16" O.C.	4"	6"
PERIMETER EDGE ZONE	12" O.C.	4"	6"
	16" O.C.	4"	6"
	16" O.C.	4"	6"
ROOF SHEATHING REQUIRED FOR WIND LOAD RESISTANCE*			
SHEATHING LOCATION	TRUSS/ RAFTER SPACING	EDGES	FIELDS
		MAX NAIL SPAC. G F 8d COMMON OR 10d BOX NAILS (INCES OC)	
INTERIOR ZONE	12" O.C.	7"	6"
	16" O.C.	7"	6"
	16" O.C.	7"	6"
PERIMETER EDGE ZONE	12" O.C.	7"	6"
	16" O.C.	7"	6"
	16" O.C.	7"	6"
* 130 MPH WIND, EXPOSURE - B			

MAX GLAZING (FENESTRATION) U-FACTOR	MIN. INSULATION R-VALUE				
	CLGS.	WALLS	FLOORS	BASEMENT WALLS	CRAWL SP. WALLS
0.75	R-30	R-21	R-13	R-5	R-5



September 15, 2026

Mr. Jeremy Burke
City of Bay St. Louis
688 Hwy 90
Bay St. Louis, MS 39520

**RE: Sunshine Crossing
 Sketch Plat, PUD Zoning Change, Private Subdivision**

Dear Mr. Burke:

Based on our meetings with you, the City Attorney, and discussions during previous Planning Commission and City Council meetings, please accept this formal application for Sketch Plat approval, PUD Zoning, and a Private Subdivision request.

Our client, FE & SE Investments, LLC (Mr. Frank Schmidt), wishes to develop 6 single-family lots, as previously submitted. We also propose a private park area to protect the named Live Oak, "Serenity Oak," along with a private recreation component—the "Gathering House"—with associated pickleball courts and a pool. The Gathering House will be owned jointly by all of the lot owners.

From our meetings with the Bay St. Louis Planner and City Attorney, we understand that the only way to modify the private driveway into an 18-foot-wide limestone roadway is through a private subdivision; a variance is not permitted to change the roadway of a previously approved typical subdivision. We also understand that a Private Subdivision is allowed for lots greater than 1 acre or within a PUD. We considered a 1-acre lot layout, but it was not practical given our goal of preserving as many protected trees as possible. We are therefore proposing 6 residential houses and 1 recreational house on 5.75 acres—a density very close to the 1 lot/acre intent of the large-lot option, with the added benefit of preserving trees. We believe the PUD option best accomplishes our goal of preserving the area's natural beauty for the neighbors, while the Private Subdivision option best serves the City by reducing utility maintenance.



Respectfully,

A handwritten signature in blue ink, which appears to read "Sean M. Burkes". The signature is fluid and cursive, written over a light gray rectangular background.

Sean M. Burkes

CEO

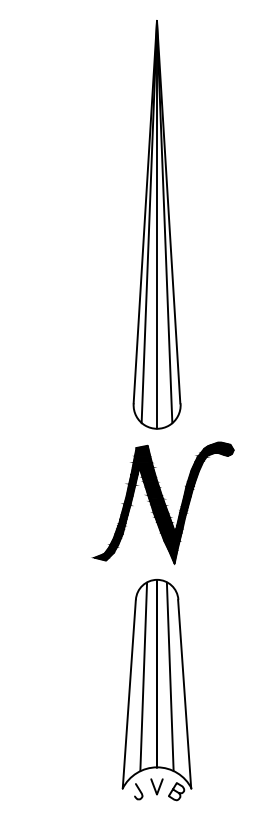
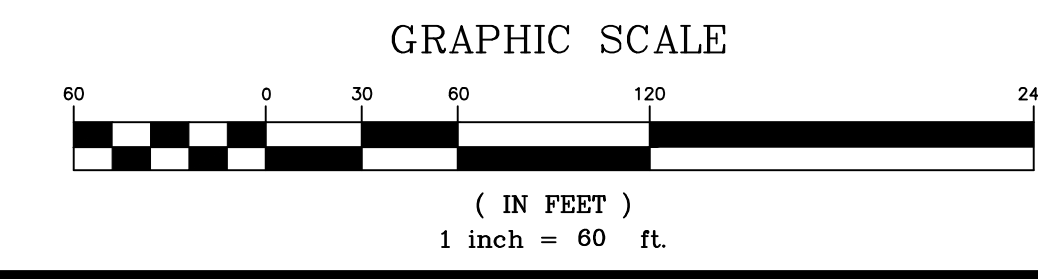
J.V. Burkes & Associates, Inc.

LAST PLOTTED: September 18, 2026
DRAWN BY: RMK
CHECKED BY: SMB
DWG. NO.: 20260187
SHEET: C-2 OF 4

- LEGEND**
- ⊙ — S — SEWER MANHOLE, SEWER LINE
 - ⊙ — W — WATER MANHOLE, WATER LINE
 - ⊙ — G — GAS MANHOLE, GAS LINE
 - ⊙ — T — TELE. MANHOLE, TELE. LINE
 - ⊙ — D — DRAIN MANHOLE, DRAIN LINE
 - ⊙ — D — DRAIN INLET, DRAIN LINE
 - ⊙ — E T TV — POWER POLE / OVERHEAD LINES
ELECTRIC, TELEPHONE, CABLE TV
 - ⊙ — E T TV — ELEC. TOWER / OVERHEAD LINES
 - ⊙ — CATCH BASIN
 - ⊙ — LIGHT STANDARD
 - ⊙ — TRAFFIC LIGHT
 - ⊙ — TELE., ELEC., CATV PEDESTAL
 - ⊙ — GAS, WATER, ELECTRIC METER
 - ⊙ — GAS, WATER VALVE
 - ⊙ — SEWER, DRAIN CLEANOUT
 - ⊙ — FIRE HYDRANT
 - ⊙ — GUY WIRE ANCHOR
 - ⊙ — SIGN
 - ⊙ — PYLON/BOLLARD
 - ⊙ — MAILBOX
 - ⊙ — TREE
 - ⊙ — SHRUB
 - ⊙ — FENCE

1 EXISTING SITE CONDITIONS

Scale: 1" = 60'



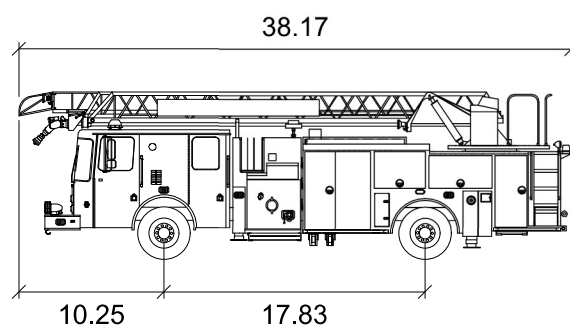
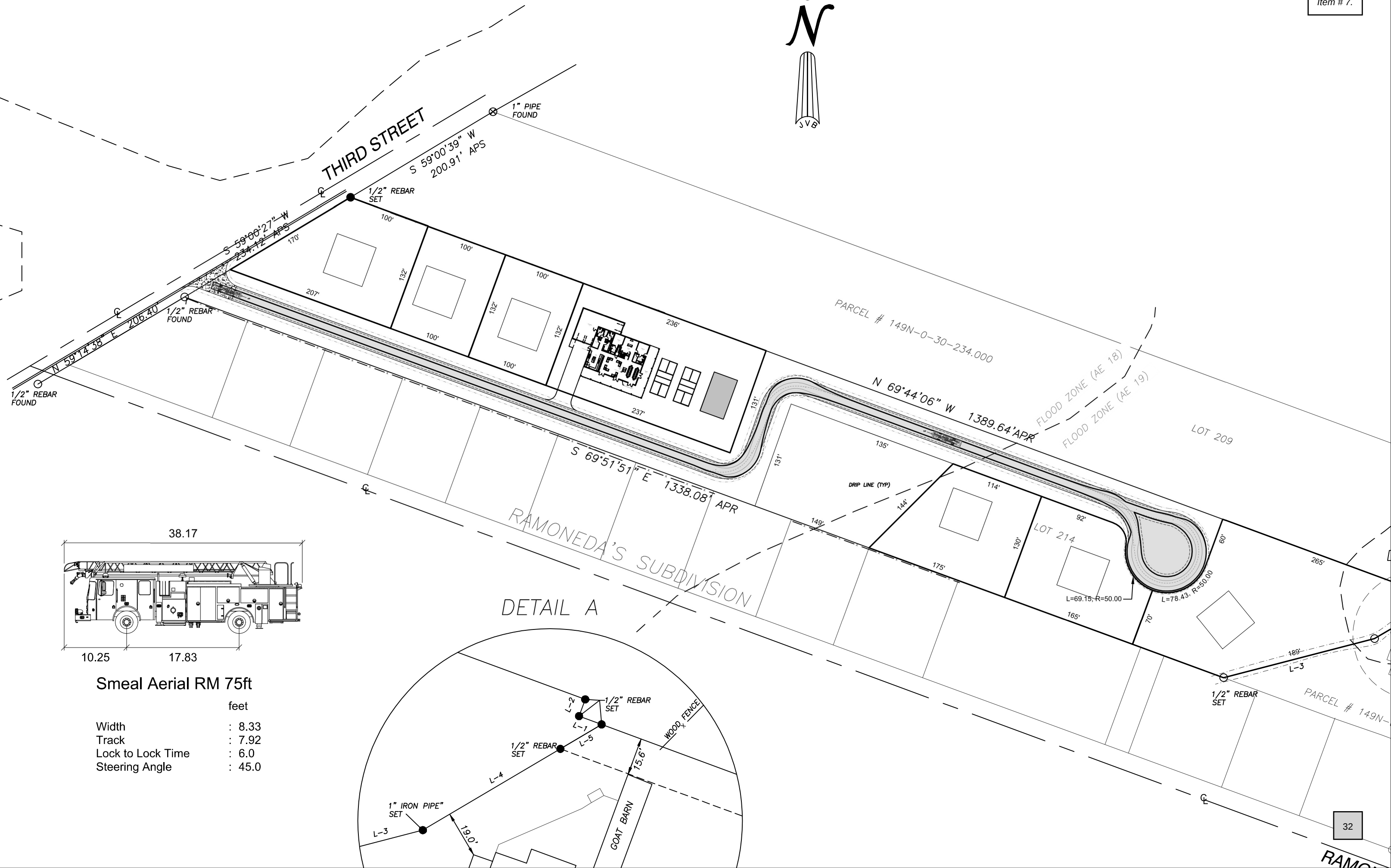
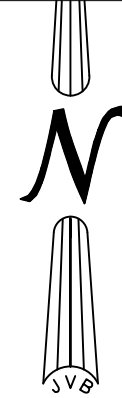
J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL
805 Shortcut Highway
Bridal, Louisiana 70438
E-mail: jvb@jvburkes.com
Phone: 855-443-0075 Fax: 855-443-0154

NO.	DESCRIPTION	DATE	BY

EXISTING SITE CONDITIONS FOR
SUNSHINE CROSSING
A PART OF LOT 214, FORTH WARD,
CITY OF BAY ST. LOUIS,
HANCOCK COUNTY, MISSISSIPPI
FE AND SE INVESTMENTS, LLC

DECLARATION: I, THE SURVEYOR, HAVE MADE A PERSONAL AND VISUAL EXAMINATION OF THE LAND AND THE RECORDS OF THE PUBLIC RECORDS OF THE MISSISSIPPI DEPARTMENT OF REVENUE, AND I HAVE FOUND THAT THE SAME ARE CORRECT AND COMPLETE. I HAVE ALSO MADE A PERSONAL AND VISUAL EXAMINATION OF THE LAND AND THE RECORDS OF THE PUBLIC RECORDS OF THE MISSISSIPPI DEPARTMENT OF REVENUE, AND I HAVE FOUND THAT THE SAME ARE CORRECT AND COMPLETE. I HAVE ALSO MADE A PERSONAL AND VISUAL EXAMINATION OF THE LAND AND THE RECORDS OF THE PUBLIC RECORDS OF THE MISSISSIPPI DEPARTMENT OF REVENUE, AND I HAVE FOUND THAT THE SAME ARE CORRECT AND COMPLETE.

SCALE:	1" = 80'
DATE:	09/15/2026
DRAWN BY:	RMK
CHECKED BY:	SMB
DWG. NO.	20260187
SHEET	C-2 OF 4



Smeal Aerial RM 75ft

	feet
Width	: 8.33
Track	: 7.92
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

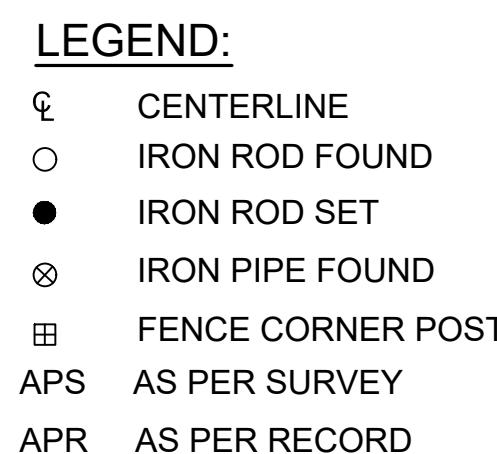
SEAN M. BURKES

J.V. Burkes & Associates, Inc.

A PART OF LOT 214, FOURTH WARD,
CITY OF BAY ST. LOUIS,
HANCOCK COUNTY, MISSISSIPPI

HAUSER OF THE SURVEY. IT IS NOT TRANSFERABLE.
SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL

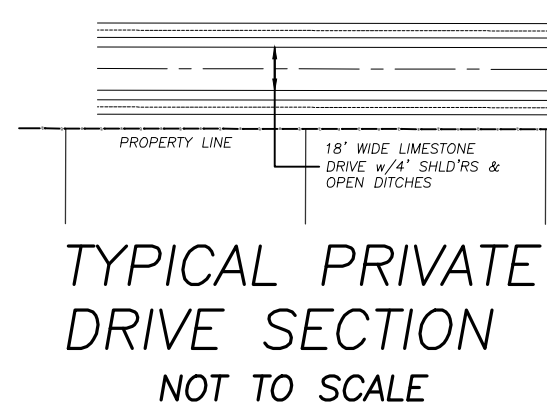
4



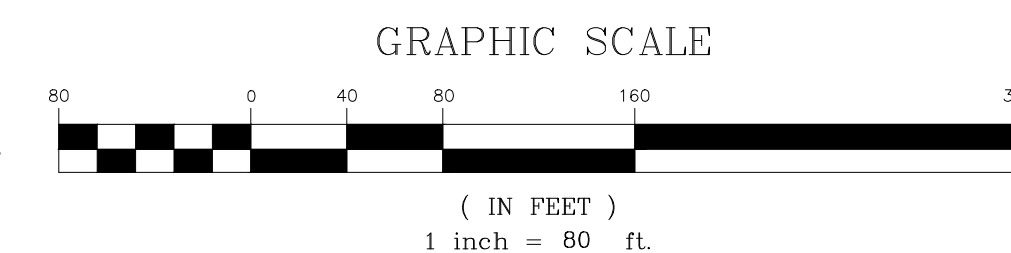
- 1) DEED BOOK 2014 PAGE 8863
- 2) SURVEY BY GULF STATES ENGINEERING
DATED 05-05-2017
- 3) PLAT OF RAMONEDA'S S/D
- 4) DEED BOOK BB161 PAGE 247
- 5) DEED BOOK 2017 PAGE 13347
- 6) DEED BOOK 210 PAGE 7409
- 7) DEED BOOK 2019 PAGE 50

By graphic plotting only, this parcel is located in
Flood Zones VE (EL 23) and AE (EL 19) as per FEMA
Map # 28045C-0354D, Effective Date Oct. 16, 2009

L-1	N	69°44'06"	W	9.72'
L-2	N	20°15'54"	E	7.20'
L-3	N	75°31'36"	E	188.55'
L-4	N	59°23'46"	E	83.75'
L-5	S	59°23'46"	W	19.34'
L-6	S	69°44'06"	E	409.15'
L-7	N	53°00'38"	E	17.83'

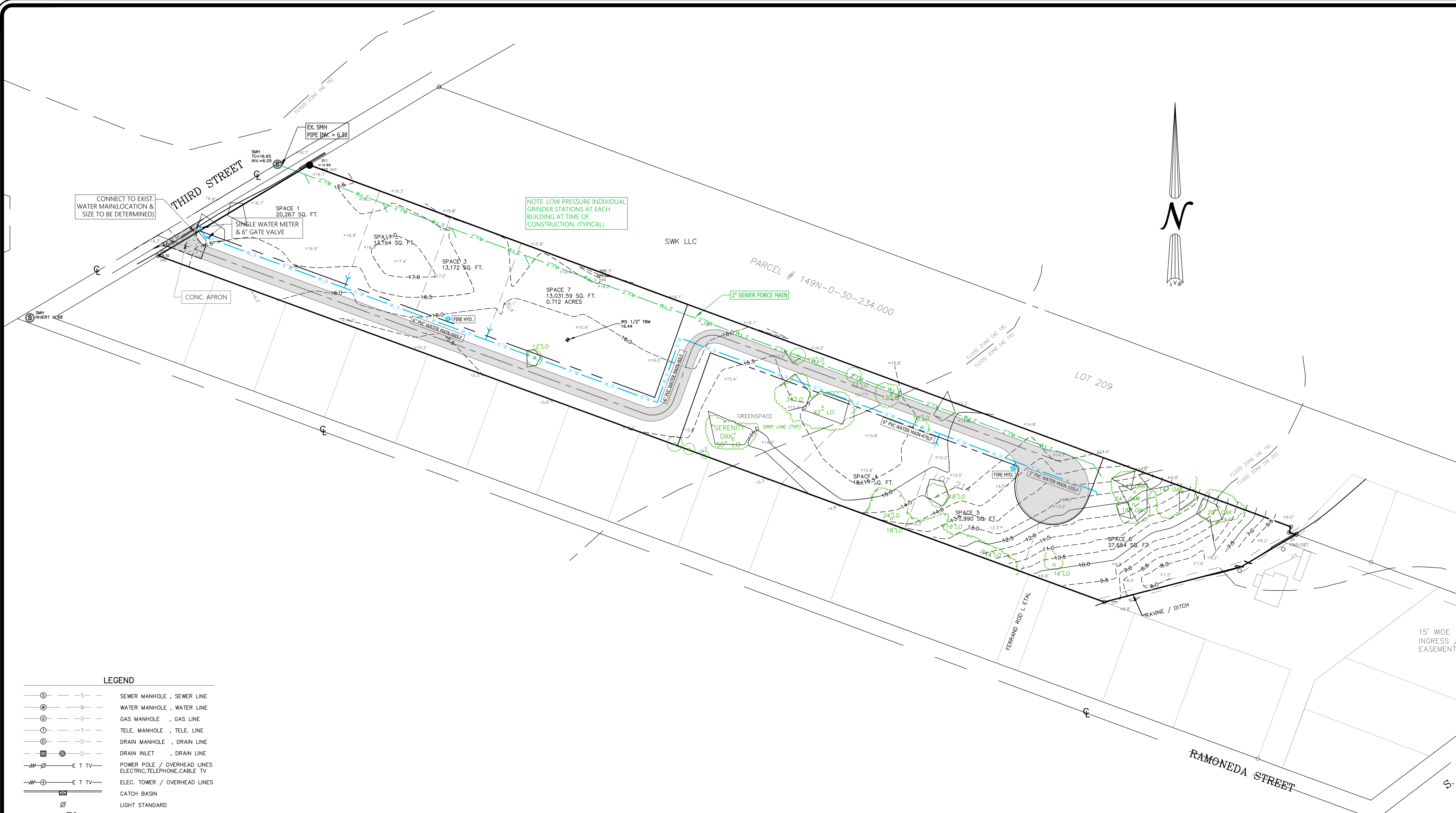


BAY ST. LOUIS, MISSISSIPPI
OWNER: FE AND SE INVESTMENTS LLC
ADDRESS: 1137 JEFFERSON AVENUE,
NEW ORLEANS, LA. 70115
TOTAL ACRES-5.75±



PARCEL # 149N-0-30-238.001
5.75 ACRES +

LAST PLOTTED: September 18, 2026
DRAWN BY: JMB
CHECKED BY: JMB
DWG. NO.: 20260187
SHEET: C-4 OF 4



LEGEND	
	SEWER MANHOLE, SEWER LINE
	WATER MANHOLE, WATER LINE
	GAS MANHOLE, GAS LINE
	TELE. MANHOLE, TELE. LINE
	DRAIN MANHOLE, DRAIN LINE
	DRAIN INLET, DRAIN LINE
	POWER POLE / OVERHEAD LINES
	ELEC. TOWER / OVERHEAD LINES
	CATCH BASIN
	LIGHT STANDARD
	TRAFFIC LIGHT
	TELE., ELEC., CATV PEDESTAL
	GAS, WATER, ELECTRIC METER
	GAS, WATER VALVE
	SEWER, DRAIN CLEANOUT
	FIRE HYDRANT
	GUY WIRE ANCHOR
	SIGN
	PYLON/BOLLARD
	MAILBOX
	TREE
	SHRUB
	FENCE

1

CONCEPTUAL SEWER & WATER PLAN

Scale: 1" = 60'

NOTE:

1. ALL UTILITIES ARE PRIVATE.

2. ALL UTILITIES SHALL COMPLY WITH THE CITY OF BAY ST. LOUIS CONSTRUCTION STANDARDS LATEST EDITION.

GRAPHIC SCALE

600

0

30

60

120

240

(IN FEET)

1 inch = 60 ft.

J.V. Burkes & Associates, Inc.

SURVEYING ENGINEERING • ENVIRONMENTAL

805 Shortcut Highway
St. Louis, Louisiana 70458
E-mail: jburkes@jburkes.com
Phone: 855-648-0075 Fax: 855-648-0154

SEAN M. BURKES

MS REG. NO. 2680

SEWER AND WATER PLANS FOR

SUNSHINE CROSSING

A PART OF LOT 214, FOURTH WARD

CITY OF BAY ST. LOUIS,

HANCOCK COUNTY, MISSISSIPPI

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

SCALE:

N.T.S.

DATE:

09/15/2026

DRAWN BY:

RMK

CHECKED BY:

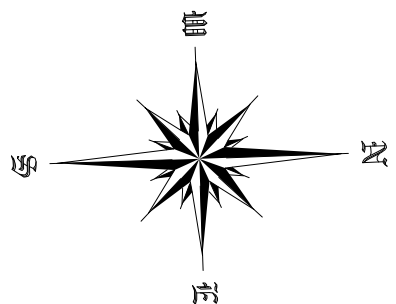
SMB

DWG. NO.

20260187

SHEET

C-4 OF 4



Bearing referenced to Grid North.

NOTES:

- 1) PROPERTY IS ZONED OTM (OLD TOWN NEIGHBORHOOD MEDIUM) AND MR (MIXED RESIDENTIAL) PER THE CITY OF BAY ST. LOUIS, MS ZONING ORDINANCE.
- 2) SETBACKS (OTM):
FRONT – 10 feet MIN/25 feet MAX feet from a street right-of-way line.
SIDE – 5 feet
REAR – 25 feet
- 3) SETBACKS (MR):
FRONT – 15 feet from a street right-of-way line.
SIDE – 5 feet
REAR – 20 feet
- 3) SUBJECT PROPERTY IS LOCATED WITHIN HANCOCK COUNTY, MISSISSIPPI
- 4) ADDRESS OF SUBJECT PROPERTY IS: WEBSTER STREET
BAY ST. LOUIS, MS
- 5) SUBJECT PROPERTY IS LOCATED IN ZONE "AE" (BFE 18.0 FEET)
AS DETERMINED BY FIRM NO. 28045 C 254D
CITY OF BAY ST. LOUIS, REVISION DATE – OCTOBER 16, 2029.

Class "A" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Boundary survey by Chiniche Engineering & Surveying dated 3/4/2024. Michael Raymond McGinnis PLS #2827

Date of field survey completed: July 2, 2026
Party Chief: Joey Fife

Vertical Elevations referenced to NAVD88

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Underground utilities are based on physical evidence, maps provided by utility companies, and utilityquest locate service personnel. Some utilities shown on this plat may be approximate only. Should call MS One-Call before any digging.

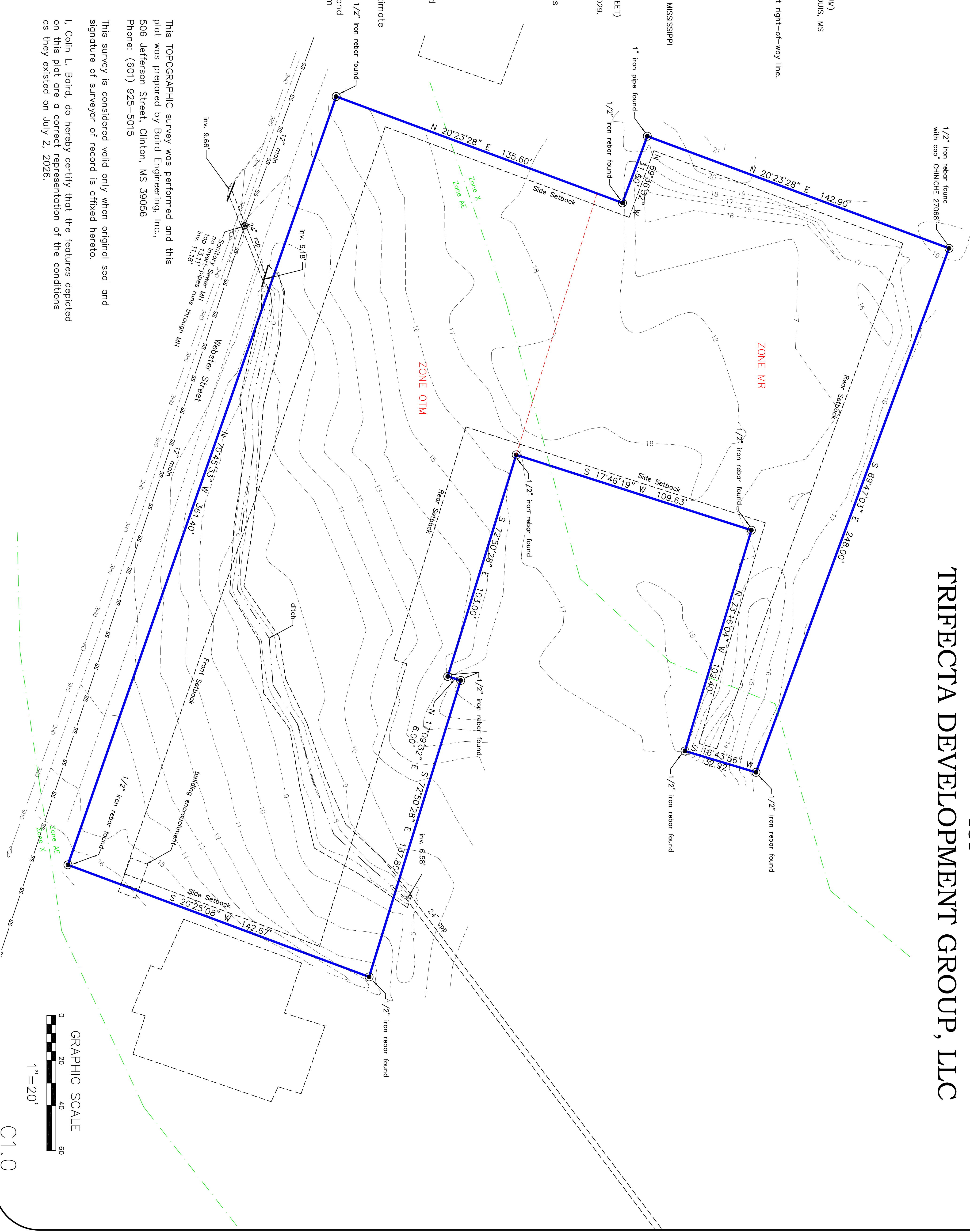
Basis of Bearing: the bearings on this plat are based on and referenced to the Mississippi State Plane Coordinate System Grid North (NAD83–East Zone) as derived using RTK GPS observations using Cors Stations, MSLK and MSYZ.

Convergence Angle = N 00°15'08" E
Combined Factor = 0.99997798075400
(Computed at N=297577.905, E=826522.113)

LEGEND

- | | | | |
|----|---|---------|----------------------------|
| ① | TELECOMMUNICATIONS M.H. | — S — | SAN. SEWER |
| ● | 1/2" IRON REBAR FOUND | — 9 — | GAS LINE |
| ○ | 1/2" IRON REBAR SET (BFE 18.0) WITH CAP | — 7 — | UNDERGROUND TELEPHONE |
| ⑦ | WATER FAUCET | — X — | FENCE LINE |
| ⊙ | UTILITY POLE | — 46 — | CONTOURS |
| ⊗ | GAS VALVE | — 04P — | OVERHEAD POWER |
| ⊗ | WATER VALVE | — 04 — | UNDERGROUND ELECTRIC |
| ⊗ | FIRE HYDRANT | — 8 — | WATER MAIN |
| ⊗ | TELEPHONE MANHOLE | ☀ | LIGHT POLE |
| ⊗ | TELEPHONE PEDESTAL | ☀ | STORM DRAIN M.H. |
| ⊗ | ELECTRIC TRANSFORMER | ⊗ | WATER METER |
| ⊗ | SIGN | ⊗ | SEWER CLEANOUT |
| == | CONC. CURB & GUTTER | ⊗ | GAS METER |
| ⊗ | STORM INLET | ⊗ | POWER METER |
| ⊗ | SAN. SEWER MANHOLE | ⊗ | GAS METER |
| ⊗ | CURB INLET | ⊗ | CONCRETE |
| ⊗ | CABLE BOX (UNDERGROUND) | ⊗ | ASPHALT |
| ⊗ | SAN. SEWER SERVICE STUB | ⊗ | FIBER OPTIC BOX |
| ⊗ | WATER SERVICE STUB | ⊗ | ELECTRIC BOX (UNDERGROUND) |

PLAT OF SURVEY
for
TRIFECTA DEVELOPMENT GROUP, LLC

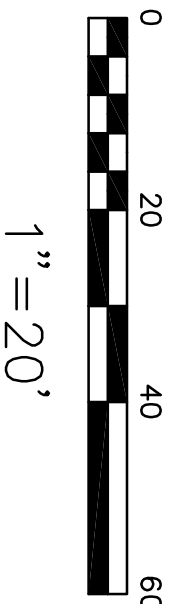


This TOPOGRAPHIC survey was performed and this plat was prepared by Baird Engineering, Inc.,
506 Jefferson Street, Clinton, MS 39056
Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on July 2, 2026.

GRAPHIC SCALE



C1.0

1. **GENERAL.**
THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF BAY ST. LOUIS STANDARDS.
TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY BAIRD ENGINEERING, INC.
2. **CLEARING.**
PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOP-SOIL SHOULD BE REMOVED WHERE ENCOUNTERED
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE
3. **GRUBBING.**
REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LARGE STRUCTURES, ETC. FROM THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.
4. **CLEAN-UP.**
UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELAND DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

5. **SITE GRADING.**
PROFILING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE EXISTING GRADE. ALL EXISTING GRADES SHOULD BE REMOVED AND REPLACED WITH SELECTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 98 % ASTM D698 PRIOR TO FILL PLACEMENT.
CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.
ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.
6. **FILLING AND BACKFILLING MATERIALS.**
IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH 42% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION. "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS SUBMITTED FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE NECESSARY LABORATORY FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.



PERMIT DRAWINGS

WEBSTER STREET
DEVELOPMENT
BAY ST. LOUIS

PRELIMINARY NOT
FOR CONSTRUCTION

3/18/2026

GENERAL SITE NOTES

- CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, DIMENSIONS, SETBACKS, AND EASEMENTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ADJUST THE FINAL BUILDING LOCATION AS REQUIRED TO COMPLY WITH LOCAL CODES AND SITE CONDITIONS.
- CONTRACTOR SHALL ESTABLISH SITE DRAINAGE PATTERN AND OBTAIN LOCAL INSPECTOR APPROVAL PRIOR TO PLACEMENT OF FOUNDATION FORMS.
- DRAINAGE DESIGN SHALL PREVENT CONCENTRATED OR EXCESSIVE RUNOFF ONTO ADJACENT PROPERTIES.
- FINISHED FLOOR ELEVATION (FFE) SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISHED GRADE. FINISHED GRADE AT 10' FROM THE BUILDING, OR AT THE MIDPOINT TO THE PROPERTY LINE (WHICHEVER IS LESS), SHALL BE A MINIMUM OF 1/8" BELOW THE FFE.
- PROVIDE POSITIVE DRAINAGE ACROSS THE ENTIRE LOT WITH A MINIMUM SLOPE OF 1/8" PER FOOT, UNLESS NOTED OTHERWISE.
- COORDINATE LOCATION, SIZE, AND CONFIGURATION OF DRIVEWAYS, SIDEWALKS, PATIOS, AND SIMILAR IMPROVEMENTS WITH THE OWNER. SIDEWALKS SHALL RECEIVE A BROOM FINISH.
- PROVIDE A GRAVEL CONSTRUCTION ENTRANCE FROM PUBLIC ROADWAYS AND INSTALL EROSION CONTROL MEASURES, INCLUDING SILT FENCING, AS REQUIRED.
- BUILDING B IS A MIRRORED VERSION OF BUILDING A. ALL DIMENSIONS, DETAILS, WALL TYPES, FINISHES AND STRUCTURAL SYSTEMS SHALL MATCH BUILDING A EXCEPT FOR MIRRORED & ROTATED ORIENTATION.
- CITY OF BAY ST. LOUIS ZONING ORDINANCE 2017
 - EXISTING LOT IS ZONED R-3, HIGH DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT
 - MIN LOT WIDTH: 60'
 - MIN FRONT YARD SETBACK: 25'
 - MIN SIDE YARD SETBACK: 8'
 - MIN REAR YARD SETBACK: 20'
 - MAX LOT COVERAGE: 45%
 - MAX BUILDING HEIGHT: 35' (HEIGHTS MAY BE INCREASED BY THE DIFFERENCE B/T ACTUAL LOT ELEV & BASE FLOOD ELEVATIONS REQ'D BY FEMA FIRMS, PROVIDED THAT ALL BLDGS WIN THE SFHA SHALL BE CONSTRUCTED IN ACCORDANCE W/ CURRENT FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF BAY ST. LOUIS)

AREA CALCULATIONS

BUILDING B - 3,892 SF H+C

HEATED & COOLED - 1,946 SF (PER FLOOR)
PORCHES - 375 SF
TOTAL UNDER ROOF - 2,400 SF (PER FLOOR)
TOTAL HEATED & COOLED - 3,892 SF

BUILDING C - 6,264 SF H+C

FIRST FLOOR HEATED & COOLED - 3,100 SF
SECOND FLOOR HEATED & COOLED - 3,164 SF
PORCHES - 640 SF
TOTAL UNDER ROOF - 3,970 SF (PER FLOOR)
TOTAL HEATED & COOLED - 6,264 SF

SITE - APPROX. 1.697 AC

GREEN SPACE - 0.921 AC (54.2%)
DEVELOPED AREA - 0.776 AC (45.8%)
ASPHALT PAVING - .524 AC (30.9%)
BUILDINGS - .201 AC (11.9%)
SIDEWALK PAVING - .051 AC (3.0%)

A PURCHASE OF studioRfive, PLLC PLANS GRANTS THE PURCHASER THE RIGHT TO USE SUCH DOCUMENTS TO CONSTRUCT A SINGLE HOME ON ONE LOT. THESE PLANS ARE PROTECTED BY THE FEDERAL COPYRIGHT ACT. PURCHASER ACKNOWLEDGES THAT ALL RIGHTS OF OWNERSHIP, TITLE, AND INTEREST IN THE COPYRIGHTS, PLANS, AND DERIVATES REMAIN WITH studioRfive, PLLC.

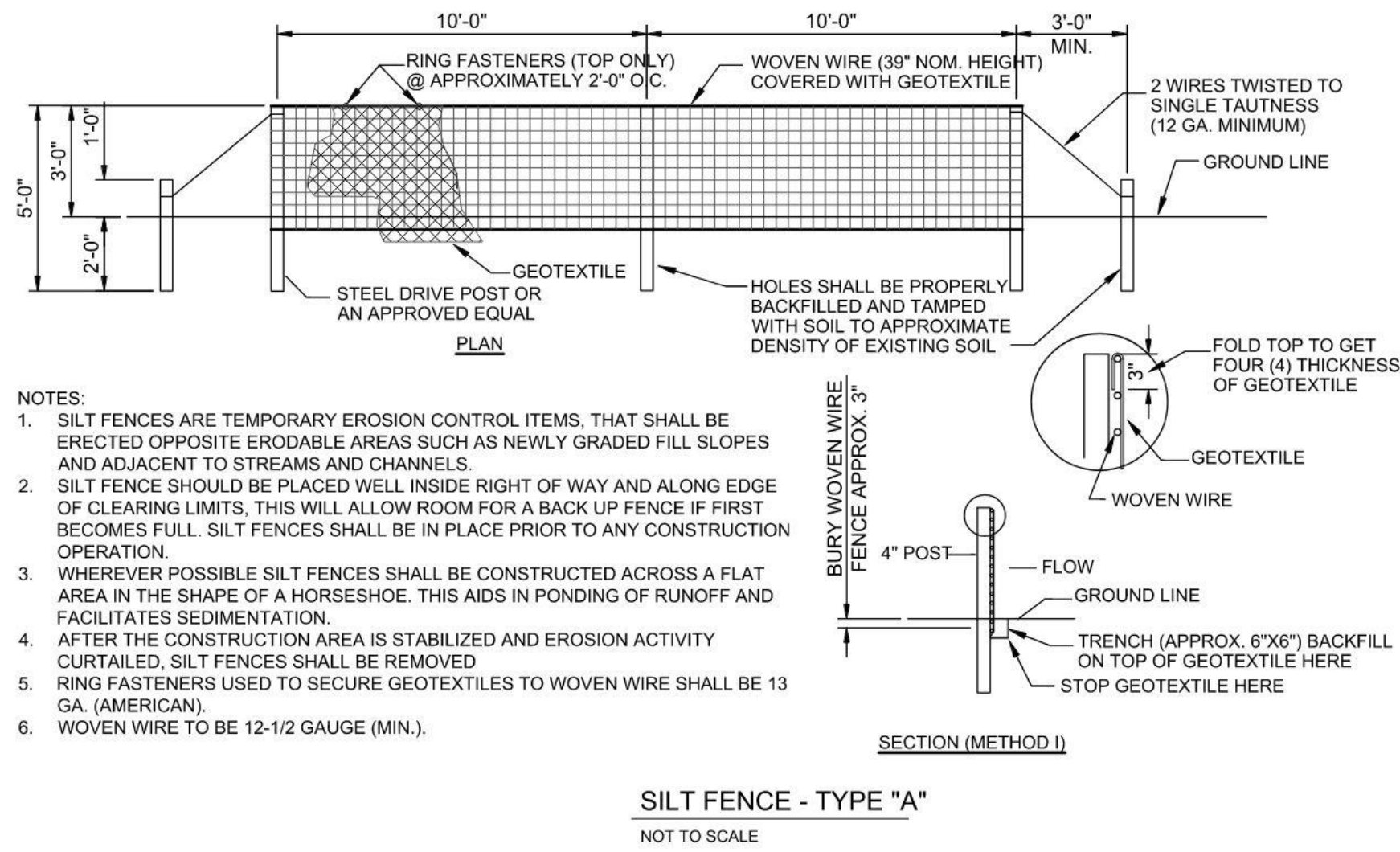
REVISIONS

NO.	DESCRIPTION	DATE

PARKING REQUIREMENTS

2 PARKING SPACES PER DWELLING UNIT PLUS 1 ADDNL SPACE FOR EACH 8 SPACES FOR VISITORS
31 TOTAL PARKING SPACES REQ'D
31 PARKING SPACES PROVIDED

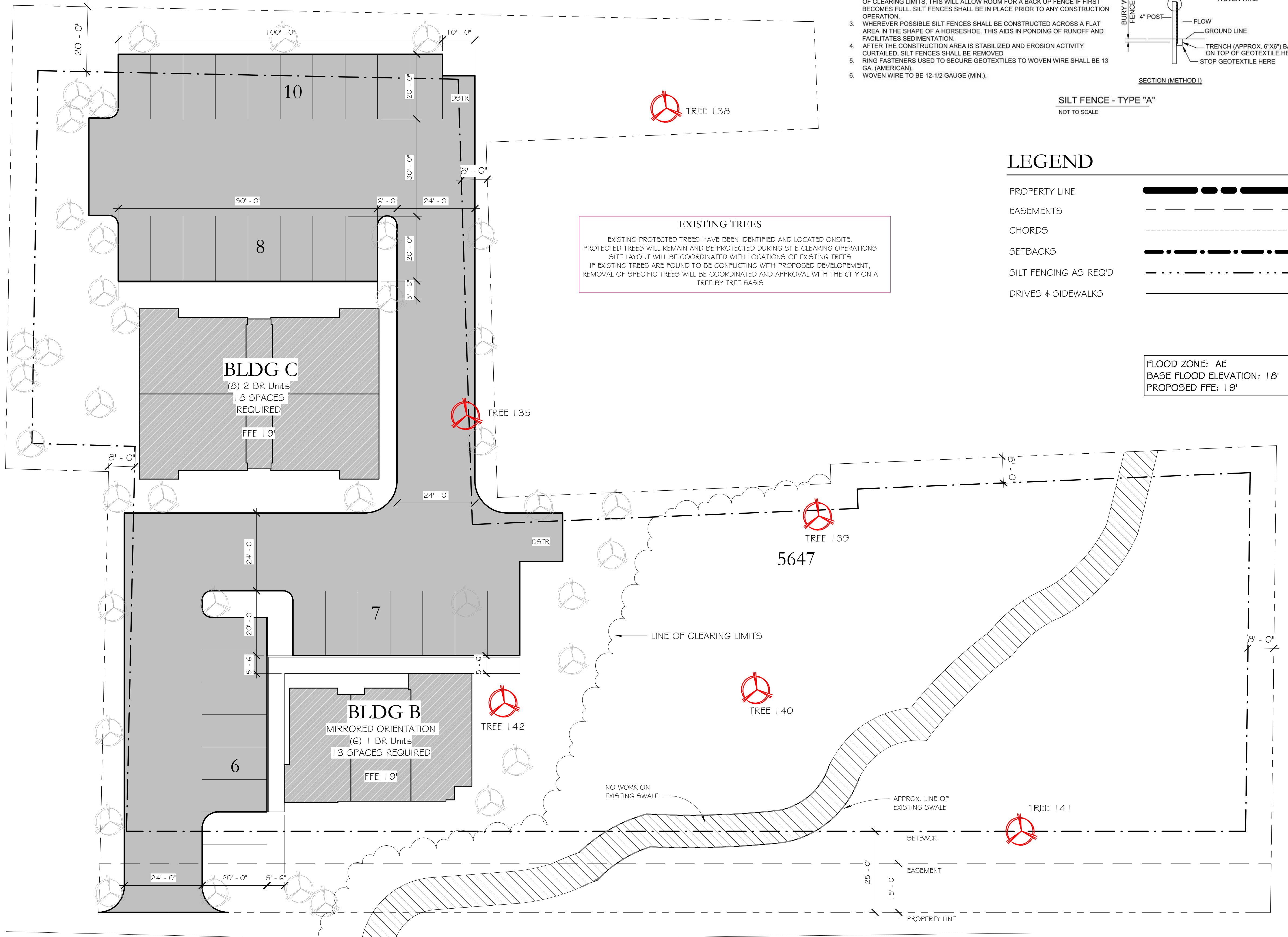
A1
SITE PLAN



LEGEND

PROPERTY LINE	— — — — —
EASEMENTS	- - - - -
CHORDS	- - - - -
SETBACKS	— • — • — • — • —
SILT FENCING AS REQ'D	-
DRIVES & SIDEWALKS	— — — — —

FLOOD ZONE: AE
BASE FLOOD ELEVATION: 18'
PROPOSED FFE: 19'



WEBSTER STREET

1 SITE PLAN - ORTHO
A1 1/16" = 1'-0"

3/18/2026

0' 8' 16' 32' 64'

