



October 9, 2024 Planning Commission Meeting Agenda

October 09, 2024 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Minutes Approval

1. Motion to approve the minutes of August 14, 2024.

Action Items

2. LEBLANC - Application for special exception to the zoning ordinance submitted by Celina LeBlanc. The applicant is requesting a special exception to allow an accessory dwelling on the parcel. The property is located at 411 Ballentine Street. Parcel 137J-0-44-270.000, ALL 49,50 & PT 48&51 BALLENTINE. The property is zoned R-2 Two Family District.
3. LAMBERT – Application for a variance to the Zoning Ordinance submitted by Kent Lambert. The applicant is requesting a variance of 2’ resulting in a 6’ setback to the side yard for the construction of a carport. The property is located at 412 Ulman Avenue. Parcel 149E-0-29-057.000, PT 339 FIRST WARD BAY ST LOUIS. The property is zoned C-2 Neighborhood Commercial District.
4. MCCARDELL – Application for a variance to the Zoning Ordinance submitted by Jenise McCardell. The applicant is requesting a variance of 10’ resulting in a 10’ setback to the rear yard for the construction of a new porch. The property is located at 302 St John Street. Parcel 149L-0-29-086.002, PT 84 2ND WARD BAY ST LOUIS. The property is zoned R-1 Single Family District.
5. PARKER – Application for variance to the Zoning Ordinance submitted by Andy Parker. The applicant is requesting a variance of 15’ resulting in a 5’ setback to the rear yard for a home renovation. The property is located at 108 S Toulme Street. Parcel 149L-0-29-077.000, PT 83 SECOND WARD BSL. The property is zoned R-3 Multi-Family District.

6. TAYLOR - Application for a variance to the Zoning Ordinance submitted by Ernest and Lodis Taylor. The applicant is requesting a 25' front yard variance resulting in a 0' setback to the front yard for the construction of a carport. The property is located at 605 Spanish Acres Drive. Parcel 137Q-0-44-004.000, 14 BLK 4 SPANISH ACRES ESTATES. The property is zoned R-1 Single Family District.

Adjourn

7. Motion to adjourn the meeting of October 08, 2024.



Planning Commission Meeting Minutes

August 14, 2024 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Action Items

1. Motion to deny the application for special exception to the zoning ordinance submitted by Charles Prieur to allow an accessory dwelling located at 419 3rd Street.

Charles Prieur and spoke representing the application.

Anita Warner and Elizabeth Waterman spoke in opposition.

Motion to deny made by Commissioner Brown, Seconded by Commissioner Breland.

Voting Yea: Chairman Doescher, Commissioner Brown

Voting Nay: Commissioner Breland, Commissioner Agee

MOTION FAILED FOR LACK OF MAJORITY

2. Motion to approve the application for special exception to the zoning ordinance submitted by Celina LeBlanc to allow an accessory dwelling located at 411 Ballentine Street.

Celina LeBlanc spoke representing the application

Motion made by Commissioner Brown, Seconded by Commissioner Breland.

Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Agee,

Commissioner Brown

APPROVED

3. Motion to approve the application for variance of 15' resulting in 10' setback to the front yard, a variance of 3'6" resulting in 4'6" setback to the side yard, a variance of 14'6" resulting in 5'6" setback to the rear yard submitted by Marlin Landry and Ava Hingle located at 346 Demontluzin Ave.

Ava Hingle and Marlin Landry spoke representing the application.

The following citizens spoke in opposition: Tad Black.

Jeff Mitchner and Anita Warner spoke in favor.

Motion made by Commissioner Brown, Seconded by Commissioner Agee.

Voting Yea: Chairman Doescher, Commissioner Agee, Commissioner Brown

Voting Nay: Commissioner Breland

APPROVED

Minutes Approval

- 4. Motion to approve the minutes of July 10, 2024.

Motion made by Commissioner Brown, Seconded by Commissioner Breland.
Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Agee,
Commissioner Brown

APPROVED

Adjourn

- 5. Motion to adjourn the meeting of August 14, 2024.

Motion made by Commissioner Brown, Seconded by Commissioner Breland.
Voting Yea: Chairman Doescher, Commissioner Breland, Commissioner Agee,
Commissioner Brown

APPROVED

Amy Doescher, Chairman Date

Caitlin Bourgeois, Secretary Date

Celina LeBlanc External Inbox



Celina LeBlanc

to me

8:31 AM (2 minutes ago)



To whom this may concern:

My Name is Celina LeBlanc, I reside at and own the property at 411 Ballentine Street in Bay Saint Louis. I am reapplying asking for permission to construct an accessory dwelling of 384 square feet on the parcel that is over 15,000 square feet, with enough room for parking. The location of the accessory is positioned to not destroy any Oak or Pecan Trees. I have been out of work for over two and a half years due to injuries, and at this time the cost is prohibitive to enlarge the 1,200 square foot home containing two bedrooms and one bathroom that me and my three children reside in. I was able to return back to work this year and Financially an accessory dwelling which would contain one bedroom and one bathroom for one of my teenagers is the only financial option I have to help accommodate my family. I have no intent to sell the property nor rent out any structure on the property. The sole purpose for the dwelling is to help my family live comfortably. I have support from my surrounding neighbors, I have included their signatures within this application. I was unaware that the engineering paperwork was not included within both applications prior to this one. I am including everything I have in this application. I am asking to please reconsider your decision.

Sincerely,

Celina LeBlanc

APPLICATION FOR SPECIAL EXCEPTION TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Celina LeBlanc

ADDRESS: 411 Ballentine St.

Bay Saint Louis ms 39520

PHONE: (228) 493 7874

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

All 49,50 & PT 48 & 51 Ballentine

2. Parcel number(s) as described in the Hancock County tax rolls:

1375-0-44-270.000

3. Present Zoning: R-2

4. Present use of building/property: Building

5. Application fee of \$²⁵⁰~~100~~ (Residential): Ret# 00512051

Application fee of \$²⁵⁰~~200~~ (Commercial): _____

Please submit the following documentation with your application:

Article XIII

1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

1305.2 SPECIAL EXCEPTIONS

A special exception shall not be recommended unless:

1. The special exception shall be oriented and landscaped to produce a harmonious relationship of buildings and grounds to adjacent buildings and properties.
2. The special exception shall produce a total visual impression and environment which is consistent with the environment of the neighborhood.
3. The proposed use will not be detrimental to the use or development of adjacent properties or other neighborhood uses.
4. The proposed use will not be affected adversely by the existing uses.
5. The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of said use.
6. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise, or fume generation or type of physical activity.
7. Utilities and fire protection services with reference to the location and the use shall be available and adequate.

1. The use for which a Special Exception is sought Accessory dwelling on parcel over 15,000 square feet

2. Grounds upon which it is claimed that the Special Exception shall be granted: 1-7

3. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.

5. Size of building to be erected, and the location of the building upon the lot.

6. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.

7. Is the property in question in a sub-division? _____

8. If the property in question is within a sub-division, is there an existing covenant running with the land? _____

9. If the answer to question 8 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County. Book Number _____ Page Number _____

It is warranted in good faith by the owner whose name is signed hereto that all of the above facts are true and correct.

Celima A. Blare
Applicant's Signature

9-3-24
Date

FOR OFFICE USE ONLY

Date of Application received: _____

Item # 2.

Street View

137J-0-44-270.000

Parcel Number: 137J-0-44-270.000
Owner Name: LEBLANC CELINA M
Owner Address: 411 BALLENTINE ST
Owner City, State ZIP: BAY ST LOUIS,
 MS 39520
Physical Address: 411 BALLENTINE ST
Improvement Type: RES
Year Built: 1926
Base Area: 1095
Adjusted Area: 1231
Actual Total Value: 99379
Taxable Total Value: 0
Estimated Tax: 856.19
Homestead Exemption: Yes
Deed Book: 2011
Deed Page: 6440
Legal Description 1: ALL 49,50 &
 PT48&51 BALLENTINE
Legal Description 2:
Legal Description 3:
Legal Description 4:
Legal Description 5:
Legal Description 6:
Longitude: 0
Latitude: 0
Square Footage: 17014.77

Celina LeBlanc

From: Celina Le blanc (cmleblanc26@yahoo.com)

To: jburke@baystlouis-ms.gov

Date: Tuesday, July 2, 2024 at 12:25 PM CDT

To whom this may concern:

My Name is Celina LeBlanc, I reside at and own the property at 411 Ballentine Street in Bay Saint Louis. I am reapplying asking for permission to construct an accessory dwelling of 384 square feet, on the parcel that is over 15,000 square feet, with enough room for parking. The location of the accessory dwelling is positioned to not destroy any oak or pecan trees. The cost is prohibitive to enlarge the two bedroom and one bathroom home we reside in. At this time an accessory dwelling is the only financial option we have to accommodate my family. I have no intent to ever sell the property nor to rent out any structure on the property. The sole purpose is to help my family live comfortably. I am asking to please reconsider your decision. I also have support from surrounding neighbors and can provide signatures.

Sincerely,

Celina LeBlanc

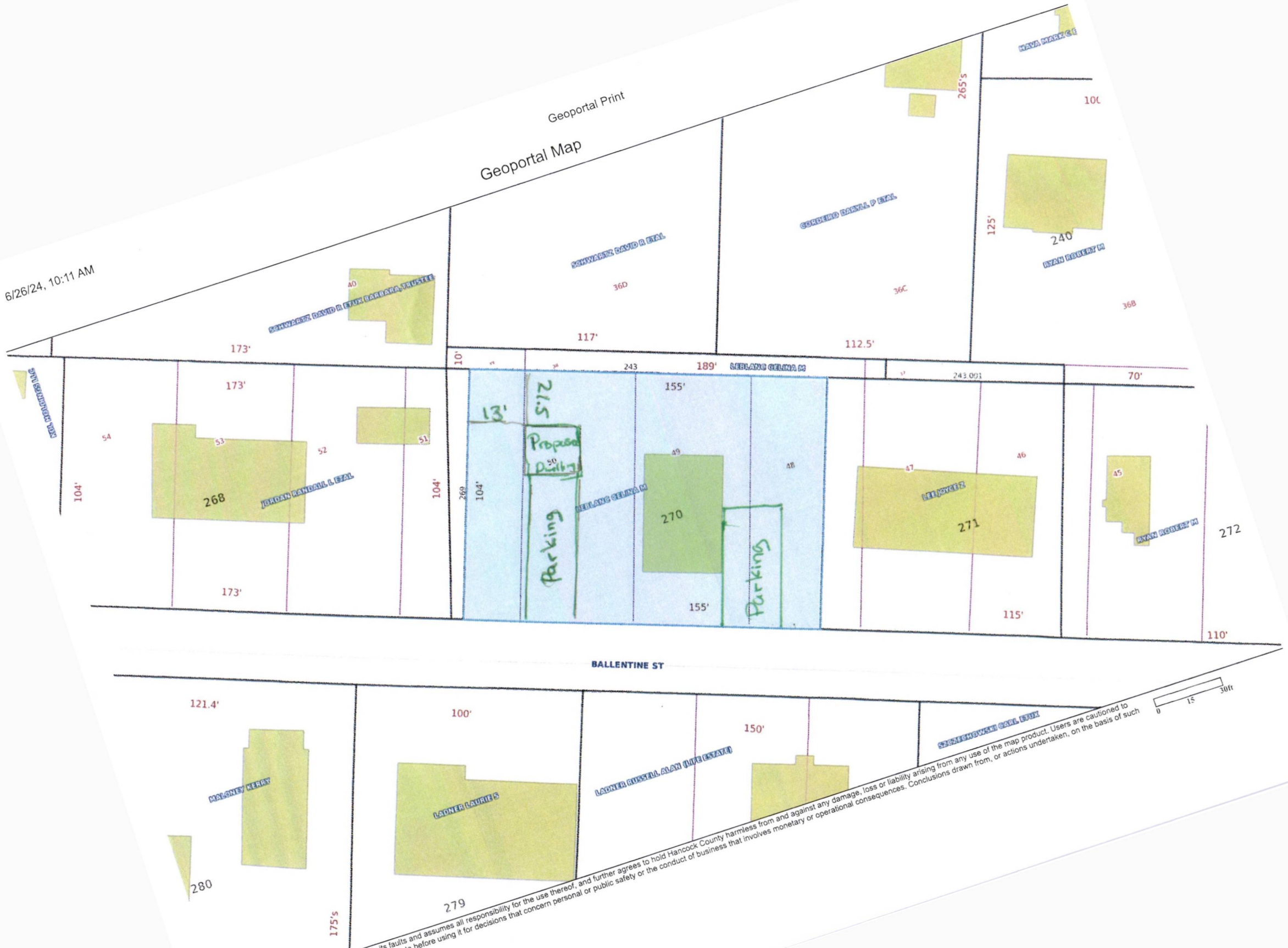
My Name Is Celina LeBlanc, I reside at and own the property at 411 Ballentine Street in Bay Saint Louis. I am reapplying asking for permission to construct an accessory dwelling of 384 square feet, on the parcel that is over 15,000 square feet, with enough room for parking. The location of the accessory dwelling is positioned to not destroy any oak or pecan trees. The cost is prohibitive to enlarge the two bedroom and one bath home we reside in. At this time an accessory dwelling is the only financial option we have to accommodate my family. I have no intent to ever sell the property nor to rent out any structure on the property. The sole purpose is to help my family live comfortably.

I am asking the residents of Ballentine Street for their support on the approval of this dwelling.

Ressed A Laker 408 Ballentine St
 Margbeth Alexander 402 Ballentine St
 Tracey Higgins 405 Ballent St
 Marilyn Higgins 401 Ballentine St.
 Duhan Oketta 325 Ballentine St.
 Gregory Kelly 306 Ballentine St.
 Kerry Meloy 416 Ballentine St
 Pamela Bermoud 422 Ballentine St.
~~_____~~ 444 Ballentine St.
 Kay Parker 449 Ballentine St.
 Lami Laker 414 Ballentine St
 Ricky Bourgeois 244 St Charles
 Mark Jordan 413 Ballentine St.

6/26/24, 10:11 AM

Geoportal Print
Geoportal Map



DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to read carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.



GENERAL NOTES:

1. STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2018.
2. ALL MATERIALS & LABOR SHALL BE IN ACCORDANCE WITH LOCAL CODES AT THE TIME OF MANUFACTURE.
3. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
4. STRUCTURES ARE DESIGNED FOR LOCATIONS THAT HAVE A 3 SECOND WIND GUST OF 150 MPH (MAX). STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
5. STRUCTURES ARE DESIGNED FOR LOCATIONS WITH A SURFACE ROUGHNESS CATEGORY B & A TOPOGRAPHICAL FACTOR OF 1.0. STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
6. STRUCTURES SHOULD HAVE METAL ROOF OR OPTIONAL 25 YEAR RATED FIBERGLASS/ ASPHALT SHINGLES WITH 1 LAYER OF 15 LB ROOFING FELT.
7. ALL STUDS, RAFTERS, COLLAR TIES, & TRUSS CHORDS ARE SPF #2, U.N.O.
8. ALL EXTERIOR DIMENSIONAL WOOD IS TO BE PRESSURE TREATED.
9. ALL ROOF DECKING IS TO BE 7/16" O.S.B.
10. ALL SIDING IS TO BE 5/8 T-111 OR 3/8 SMART SIDING ON PAINTED BUILDING W/ 50 YR LTD MFG WARRANTY
11. ALL FLOOR JOISTS ARE TO BE P.T. SYP #2.
12. ALL EXTERIOR NAILS ARE TO BE HOT DIPPED GALVANIZED.
13. ALL INTERIOR FLOOR DECKING IS TO BE 5/8" PLYWOOD. EXTERIOR TO BE 5/4" P.T.
14. ALL SKIDS ARE TO BE 4x6 P.T. SYP, RATED FOR GROUND CONTACT.
15. THE STRUCTURE HAS BEEN DESIGNED TO RESIST LOADS AS A COMPLETED STRUCTURE ONLY. APPLICATION OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR & INCLUDED IN THE DESIGN OF SHORING, BRACING, FORM WORK, & OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE.
16. NO FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION WILL BE PROVIDED BY THE ENGINEER.

DESIGN CRITERIA:

Item # 2.

- | | |
|---|--|
| 1. INTERNATIONAL BUILDING CODE 2018 | 4. <u>LIVE LOADS:</u>
FLOOR: 40 PSF |
| 2. <u>DEAD LOADS:</u>
FLOOR: 10 PSF
LOFT: 5 PSF
ROOF: 10 PSF | LOFT: 10 PSF
ROOF: 20 PSF (REDUCIBLE) |
| 3. <u>WIND LOADS:</u>
BASIC WIND SPEED, V=150MPH
RISK CATEGORY=II
WIND EXPOSURE C
WIND LOAD IMPORTANCE FACTOR=1.0 | 5. <u>SNOW LOADS:</u>
GROUND SNOW LOAD, PG=25PSF
FLAT ROOF SNOW LOAD, PF=20PSF
SNOW EXPOSURE FACTOR, CE=1.2
SNOW LOAD IMPORTANCE FACTOR, I=0.8
THERMAL FACTOR, CT=1.2 |
| | 6. <u>SEISMIC LOADS:</u>
THIS STRUCTURE IS EXEMPT FROM SEISMIC DESIGN PER EXEMPTION 3 OF ASCE 7-10, SECTION 11.1.2 |

BUILDING SIZE:

8' WIDTH	14' WIDTH	18' WIDTH	24' WIDTH
8x12 8x16	14X20 14X24	18X20 18X24	24X20 24X24
<u>10' WIDTH</u>	14X28 14X32	18X28 18X32	24X28 24X32
10X12 10X16	14X40	18X40 18X45	24X40 24X50
10X24	<u>16' WIDTH</u>	18X50 18X60	24X60
<u>12' WIDTH</u>	16X20 16X24	<u>20' WIDTH</u>	<u>40' WIDTH</u>
12X16 12X20	16X28 16X32	20X20 20X24	40X20 40X24
12X24 12X28	16X40 16X50	20X28 20X32	40X28 40X32
12X32 12X40	16X60	20X40 20X50	40X40 40X50
		20X60	40X60

ITEMS BY OTHERS:

THE FOLLOWING ITEMS ARE NOT PROVIDED BY RAILROAD CONSULTANTS, PLLC & ARE TO BE DESIGNED BY OTHERS IF APPLICABLE & ARE TO BE SUPPLIED & INSTALLED BY OTHERS. THESE ITEMS MAY BE SUBJECT TO LOCAL JURISDICTION APPROVAL. RAILROAD CONSULTANTS, PLLC IS NOT RESPONSIBLE THESE ITEMS.

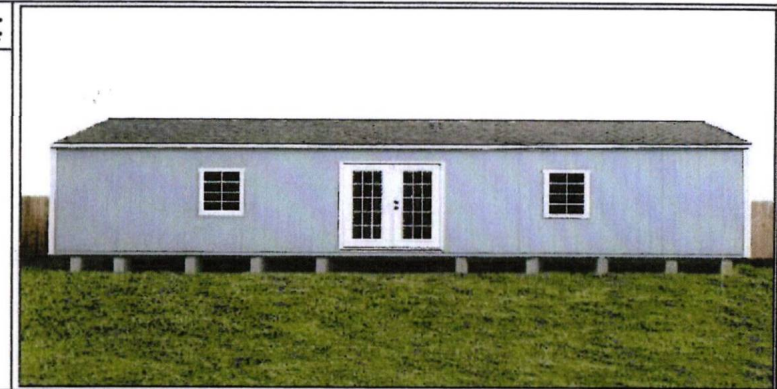
1. RAMPS, STAIRS, & GENERAL ACCESS.
2. ELECTRICAL SERVICE HOOKUP.

INDEX OF SHEETS:

- S-101 - COVER SHEET
- S-102 - FOUNDATION PLAN
- S-103 - UPLIFT ANCHORAGE
- S-104 - FLOOR PLAN
- S-105 - ROOF FRAMING PLAN
- S-106 - SECTIONS PLAN
- S-107 - ELEVATION PLAN
- S-108 - NAILING PATTERN
- S-109 - BUILD DETAIL 1
- S-110 - BUILD DETAIL 2

CODE CRITERIA:

THE CONTRACTOR/ MANUFACTURER SHALL COMPLY WITH THE FOLLOWING CODES & ALL APPLICABLE AMENDMENTS/ SUPPLEMENTS:
1. INTERNATIONAL BUILDING CODE 2018



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: NTS DATE: 04-14-2022

SHEET TITLE: COVER PAGE

DRAWING NUMBER: **S-101**

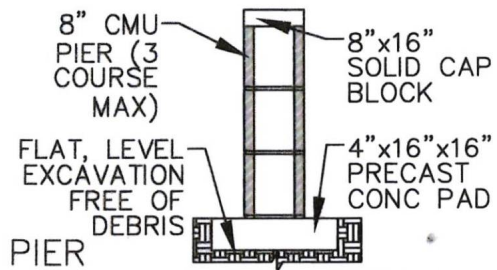


DAMMON ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

www.dammonengineer
info@dammonengineering.com
PHONE: 985-649-5832



SCALE: 3/8"=1'-0" DETAIL

OTHER NOTES

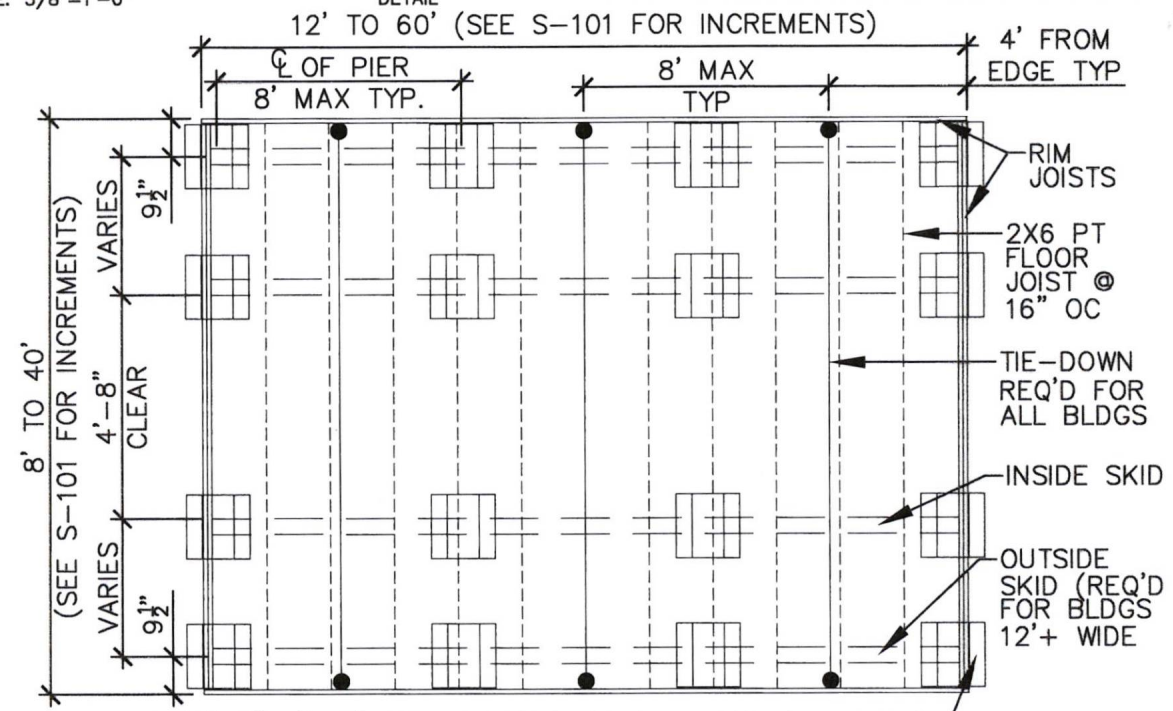
CONCRETE:
 1. MATERIALS (COMPRESSIVE STRENGTH AT 28 DAYS)
 FOOTINGS 3,000 PSI
 FOOTINGS & EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED.

MASONRY:
 CMU-f'm=1,500 PSI
 MORTAR-f'm=1,900 PSI
 GROUT-f'm=3,500 PSI

FOUNDATION

Item # 2.

1. ANCHORS ARE SPECIFIED ON SHEET S-103 & SHALL BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS PER THE BUILDING CODE.
2. ANCHORS & STRAPS INCLUDING THE INSTALLATION SHALL MEET THE REQUIREMENTS OF APPENDIX E OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
3. THE MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2500 psf HAS BEEN ASSUMED FOR FOOTING DESIGN. CONTRACTOR TO HAVE THIS CAPACITY VERIFIED PRIOR TO CONSTRUCTION.
4. IF A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 psf IS USED, THEN THE PIER SPACING SHALL BE NO GREATER THAN 4'-0.
5. FOOTINGS SHALL BE CARRIED TO AN ELEVATION LOWER THAN THOSE SHOWN ON THE DRAWINGS IF REQUIRED TO REACH SUITABLE SOIL.
6. FOOTINGS SHALL BE PLACED ON SUITABLE SOIL THAT MEETS DESIGN ASSUMPTIONS.
7. FOUNDATION MATERIALS & LABOR IS PROVIDED BY CUSTOMER.
8. TIE DOWNS SHALL BE PLACED AT EACH OUTER PIER.
9. SHED IS DESIGNED TO ALSO BE PLACED ON FLAT, LEVEL GROUND DIRECTLY ON THE SKIDS.



MAX OF (3) 8"x8"x16" CMU TO INCREASE SHED HEIGHT. EACH PIER SHALL BEAR ON (1) 4"x16"x16" CONC PAD. MAX BUILD UP OF 24". MIN DIMENSIONS OF BEARING AREA IS 16"x16"
FOUNDATION PLAN



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: FOUNDATION PLAN

DRAWING NUMBER: **S-102**

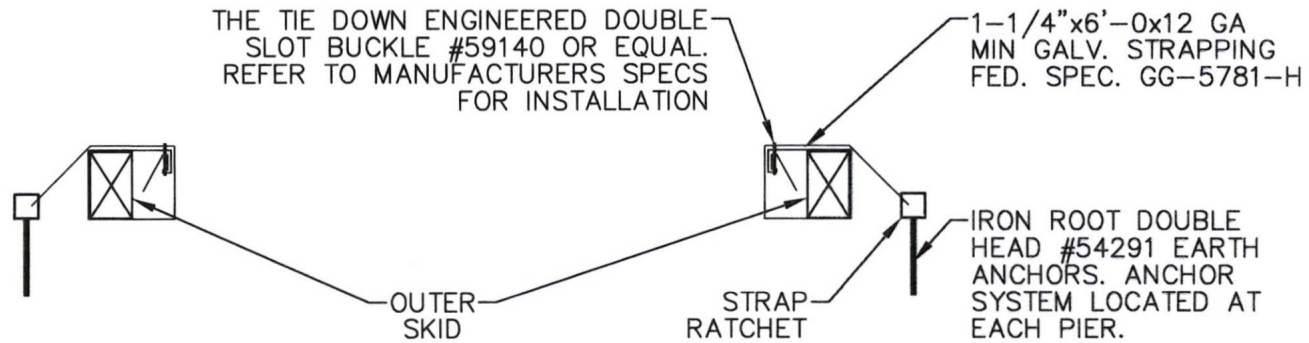


DAMMON ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458

www.dammonengine.com
 info@dammonengine.com
 PHONE: 985-649-5832



ANCHOR DETAIL



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: NTS DATE: 04-14-2022

SHEET TITLE: ANCHOR DETAIL

DRAWING NUMBER: **S-103**

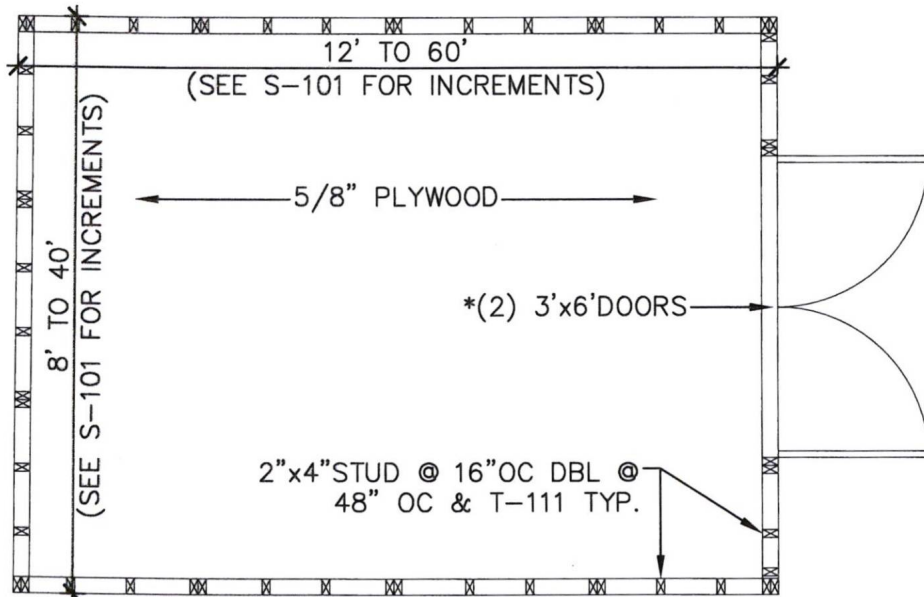


DAMMON ENGINEERING, INC.

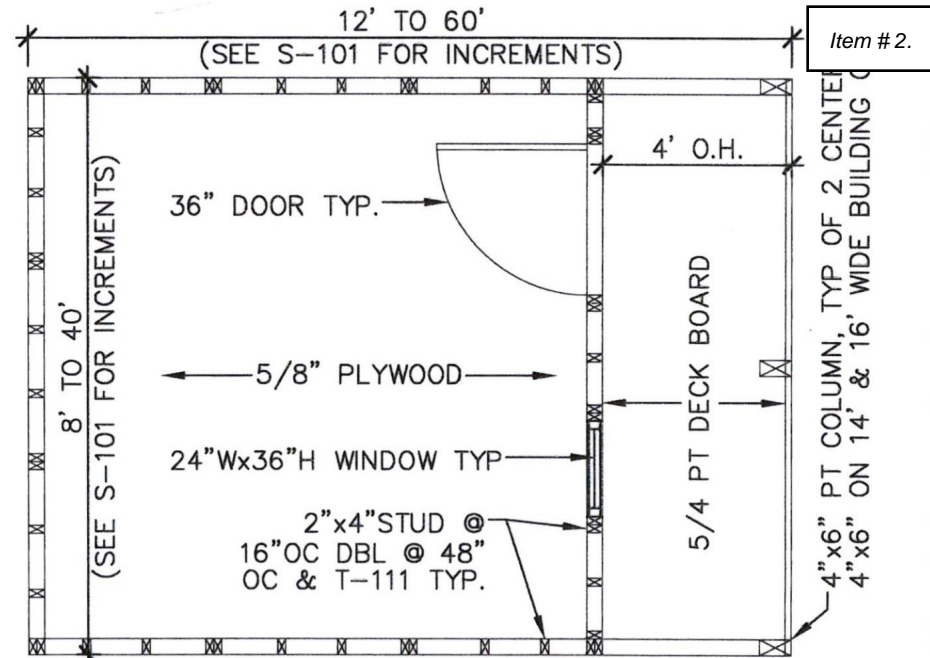
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info@dammonengine
PHONE: 985-649-5832



FLOOR PLAN



FLOOR PLAN W/ PORCH

GENERAL NOTES	COLUMN NOTES
<ol style="list-style-type: none"> 1. 2"x4" UPPER TOP PLATE W/ (2) 3x0.120Ø NAILS @ 16" O.C. TO 2"x4" LOWER TOP PLATE 2. DOOR IS CUSTOM BUILD. 6' WIDE ROLL-UP DOOR REPLACES (2) 3'x6' DOOR 	<ol style="list-style-type: none"> 1. USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL 2. USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS 3. GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE 4. NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" OC 5. PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE FIRST FLOOR JOIST SPAN (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE)
FLOOR PLAN NOTES	
<ol style="list-style-type: none"> 1. INSTALL 5/8" FLOOR SHEATHING WITH LONG DIMENSION SPANNING JOISTS, STAGGER JOINTS. 2. FASTEN 5/8" FLOOR SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C. 	



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: FLOOR PLAN PLAN

DRAWING NUMBER: **S-104**



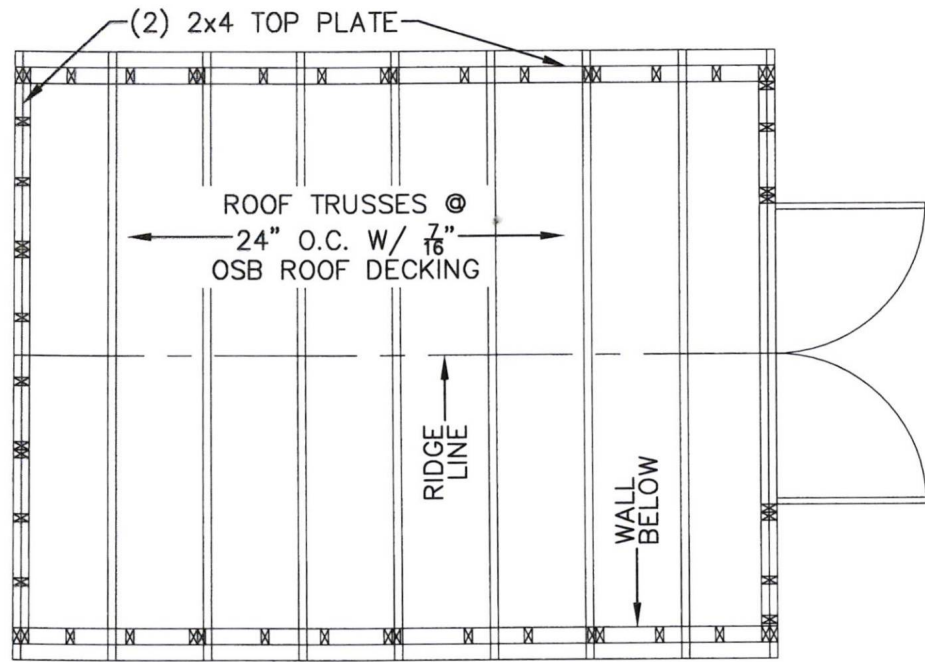
DAMMON ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

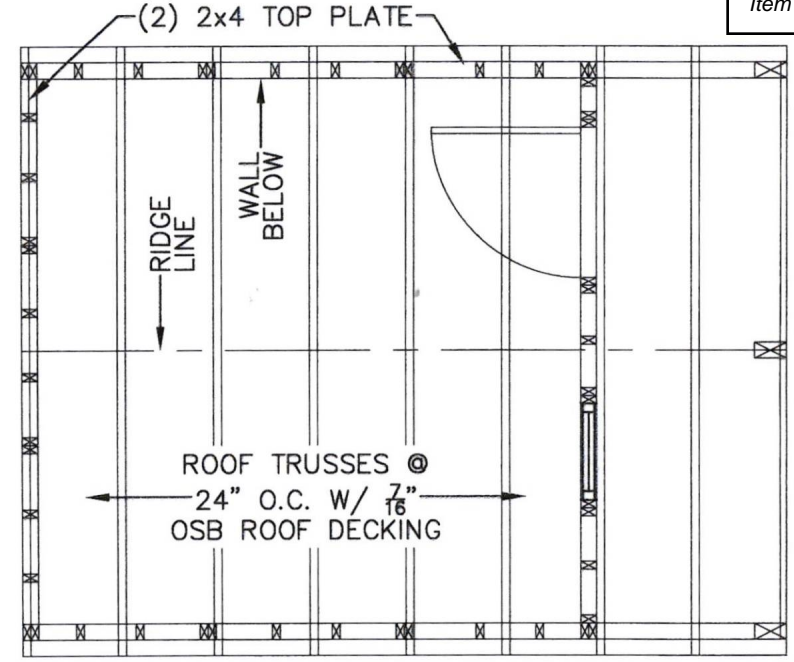
Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

www.dammonengineer
info@dammonengineer
PHONE: 985-6

Item #2.



ROOF FRAMING PLAN



ROOF FRAMING PLAN W/ PORCH

ROOF FRAMING NOTE

1. INSTALL 7/16" ROOF SHEATHING WITH LONG DIMENSION SPANNING TRUSSES.
2. FASTEN 7/16" ROOF SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

GENERAL NOTES

2x4 UPPER TOP PLATE W/ (2)3x0.120Ø NAILS @ 16" O.C. TO 2x4 LOWER TOP PLATE

COLUMN NOTES

1. USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL
2. USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS
3. GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE
4. NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" OC
5. PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE FIRST FLOOR JOIST SPAN (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE)



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: ROOF FRAMING PLAN

DRAWING NUMBER: **S-105**

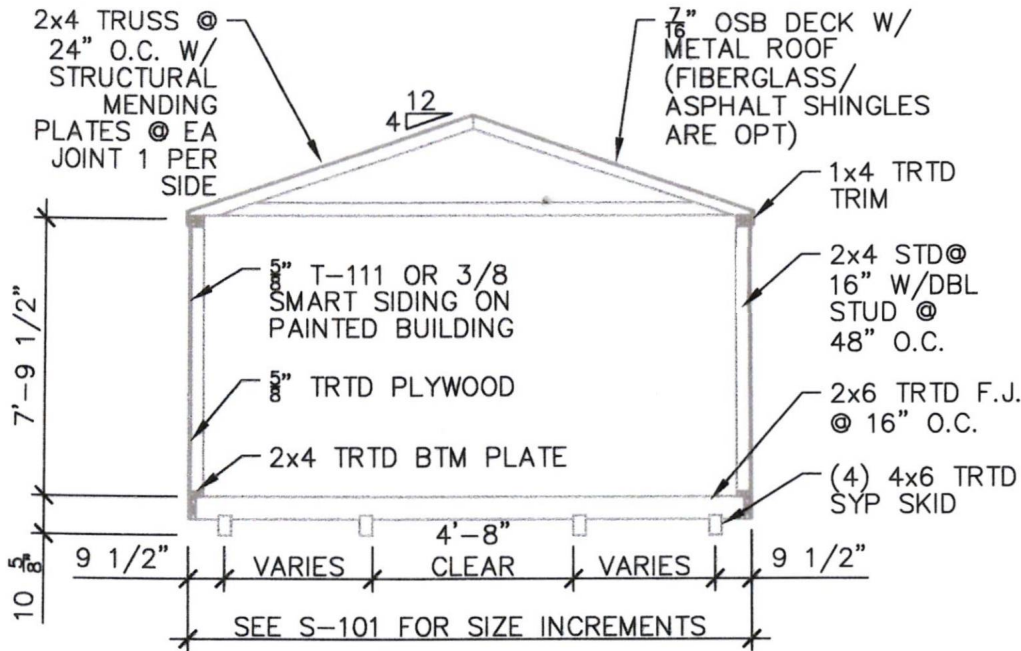


DAMMON ENGINEERING, INC.

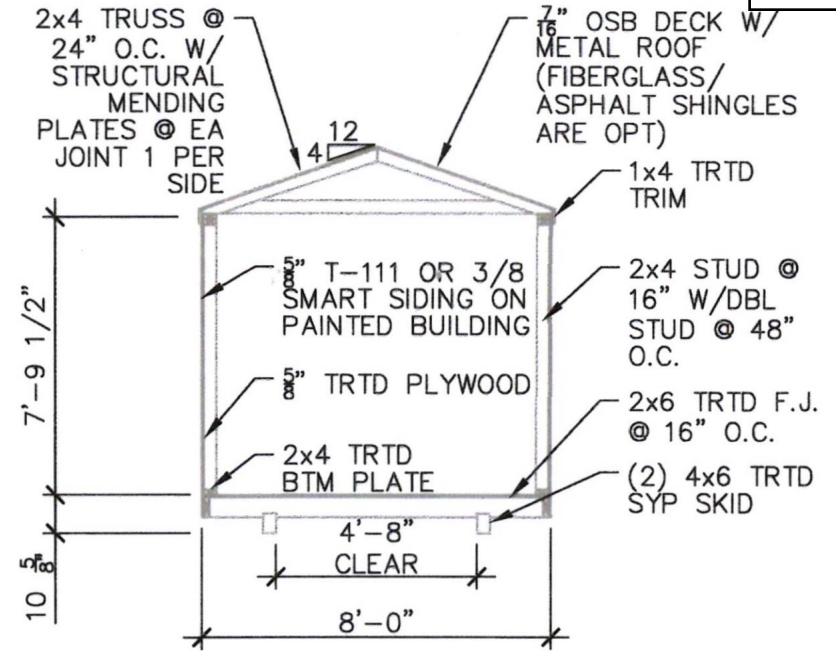
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Chief Engineer: Brian Mistich, PE
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PHONE: 985-649-5832



SECTION VIEW



SECTION VIEW

+10' WIDE

8' WIDE

ROOF FRAMING AND UNDERLAYMENT NOTES

1. PROVIDE A RIDGE VENT TYPICAL WITH INSECT SCREEN.
2. METAL ROOFING SHALL BE 29 GAUGE METAL IN ACCORDANCE WITH ASTM A 924 OR ASTM A 924M OVER OSB SHEATHING.
3. PROVIDE 29G RIDGE CAP, EAVE TRIM AND RAKE TRIM.
4. INSTALL AND FASTEN METAL ROOFING PER MANUFACTURER'S INSTRUCTIONS FOR WIND LOADING.
5. OPTIONAL SHINGLES SHALL BE IN ACCORDANCE WITH ASTM D 7158 TYPE H OR ASTM D 3161F TYPICAL.
6. INSTALL 1 LAYER OF 15 LB ROOFING FELT, START WITH A 19" WIDE STRIP PARALLEL WITH AND STARTING AT EAVES FASTENED SECURELY TO HOLD IN PLACE. START AT EAVE WITH A 38" WIDE SHEET WITH OVERLAPPING SUCCESSIVE SHEETS BY 19". FASTEN UNDERLAYMENT W/ CORROSION- RESISTANT FASTENERS PER MANUFACTURER'S INSTRUCTIONS AND SPACED A MAXIMUM OF 36" APART.
7. METL ROOF OR OPT 25Y FBR GLASS SHINGLE OVER (1) LAYER OF 15LB FELT PAPER OVER 7/16" OSB SHEATHING



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: SECTION PLAN

DRAWING NUMBER: **S-106**

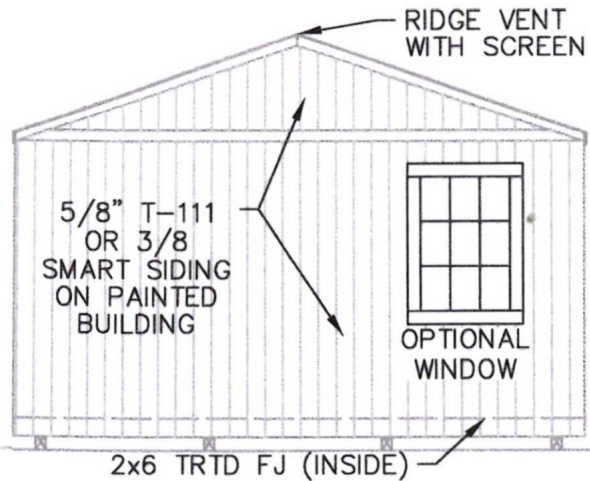


DAMMON ENGINEERING, INC.

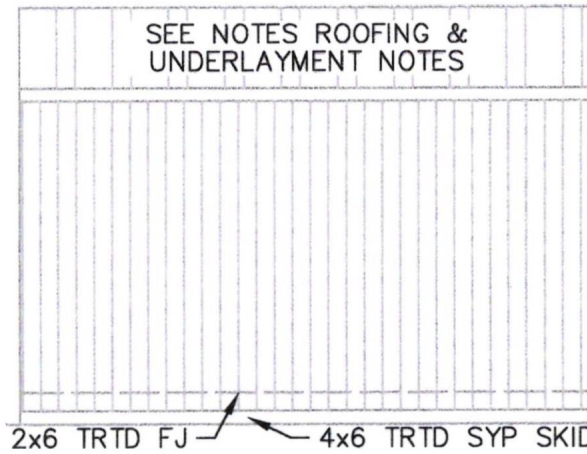
554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

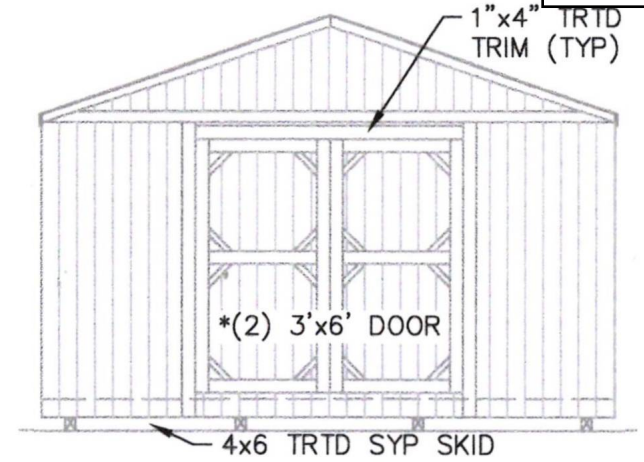
www.dammonenginee
info@dammonenginee
PHONE: 985-649-5832



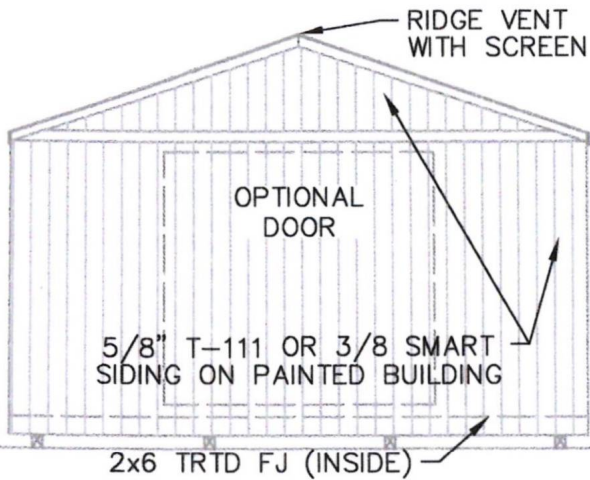
REAR ELEVATION WITHOUT PORCH



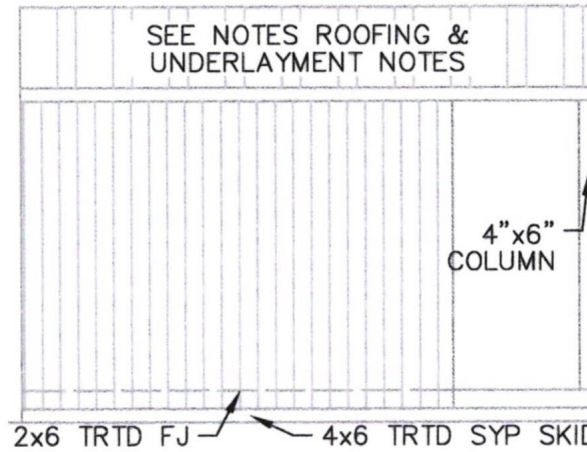
SIDE ELEVATION WITHOUT PORCH



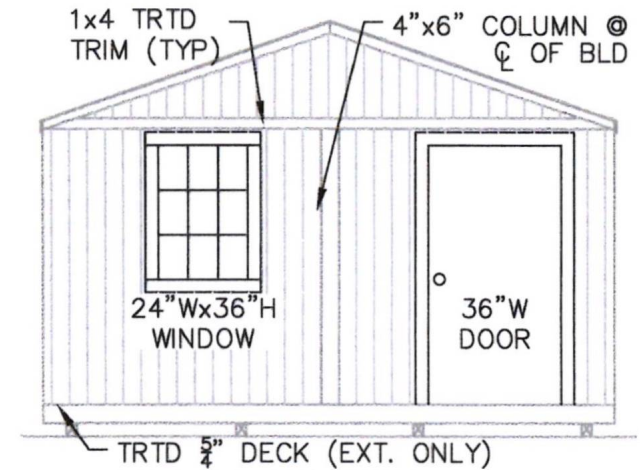
FRONT ELEVATION WITHOUT PORCH



REAR ELEVATION WITH PORCH



SIDE ELEVATION WITH PORCH



FRONT ELEVATION WITH PORCH



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: ELEVATION PLAN

DRAWING NUMBER:

S-107



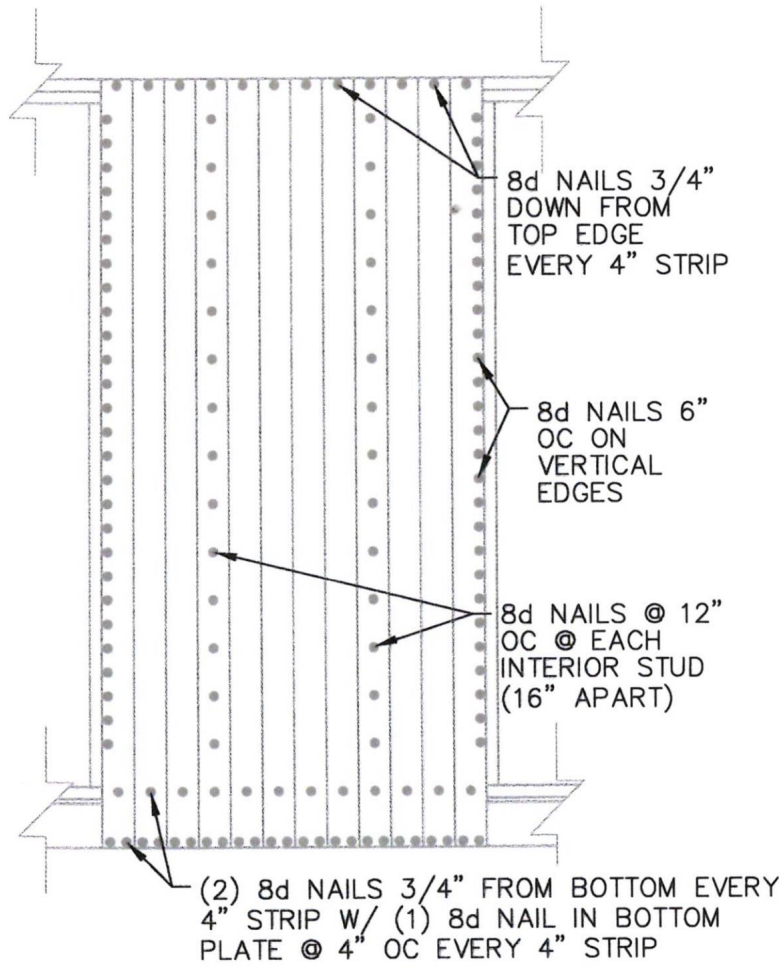
DAMMON ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

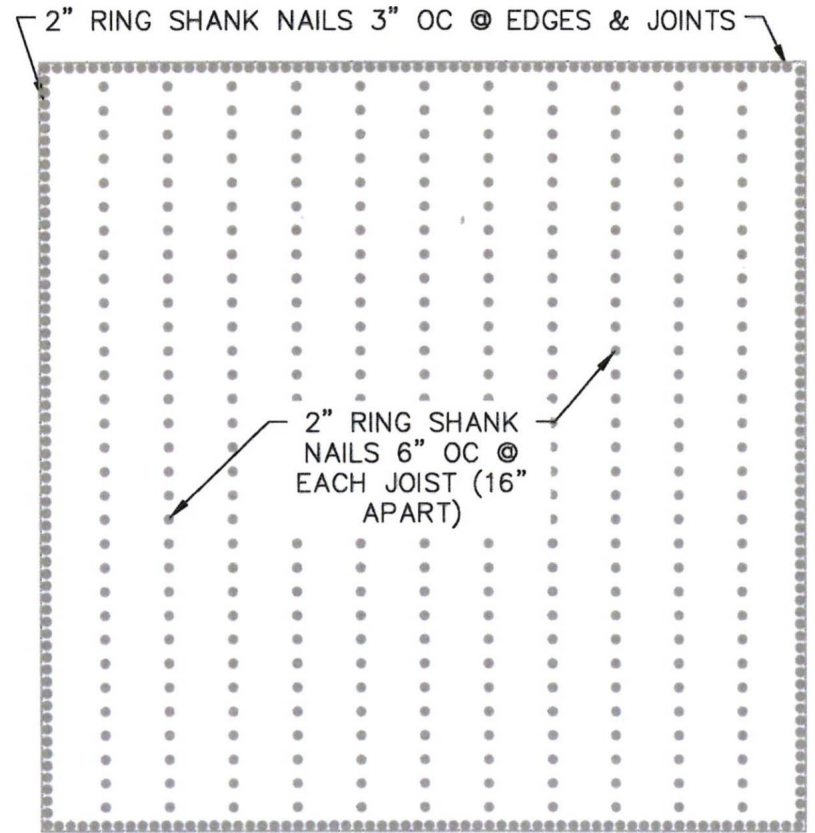
Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

www.dammonengineer
info@dammonengineer

PHONE: 985-649-5832



WALL SHEATHING PLAN



FLOOR SHEATHING PLAN



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: NAILING PLAN

DRAWING NUMBER: **S-108**



DAMMON ENGINEERING, INC.

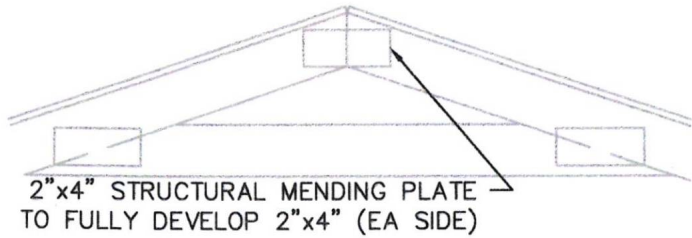
554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

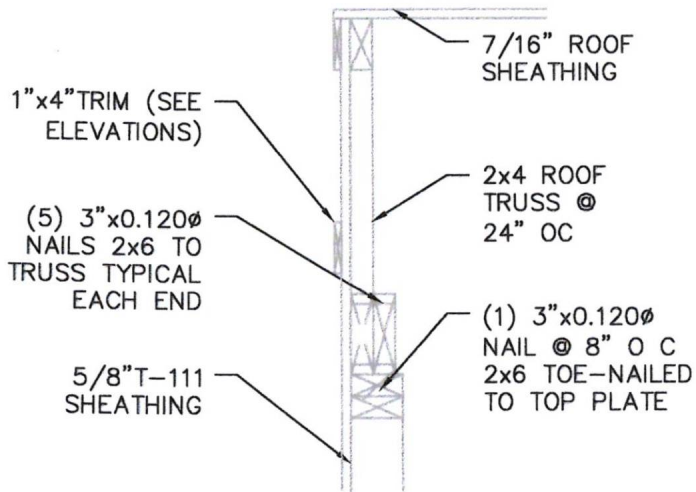
www.dammonengine
info@dammonengine
PHONE: 985-649-5832

2x4 STUD (ENDWALL)
(2) 2x4 STUDS (SIDEWALL)
(2) 3"x 0.120Ø NAILS @ 12" O.C.

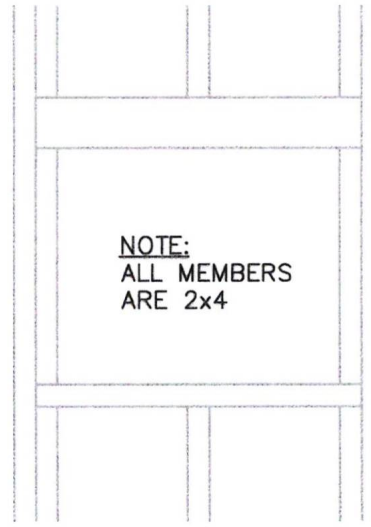
1-CORNER DETAIL



2-TRUSS SPLICE DETAIL

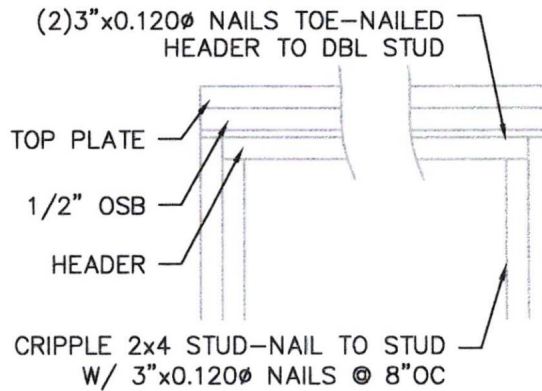


5-END WALL DETAIL

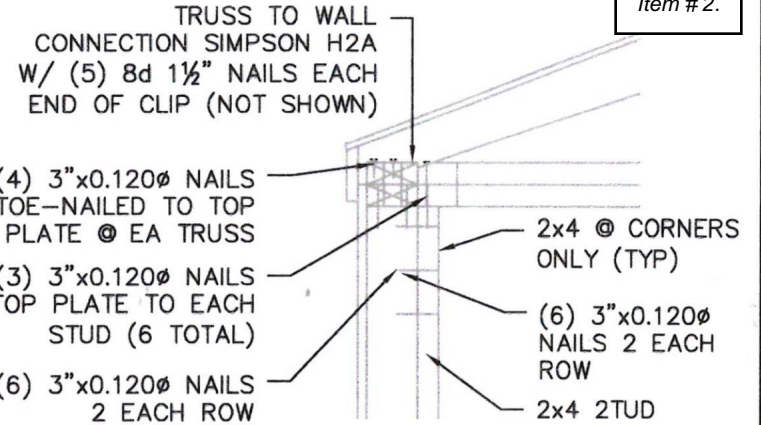


NOTE:
ALL MEMBERS ARE 2x4

3-TYP WINDOW FRAMING

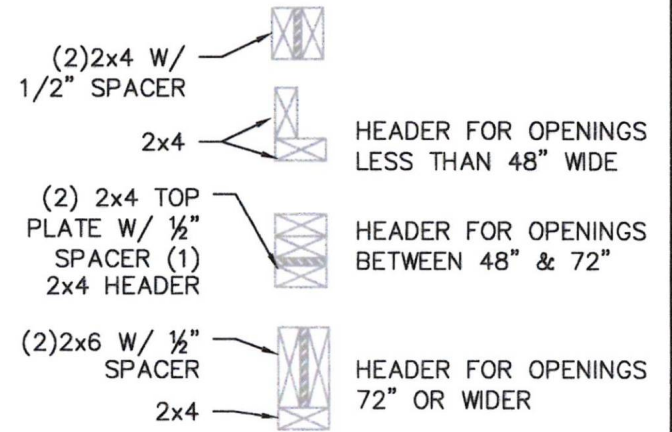


6-TYP DOOR FRAMING



NOTE: INSTALL H2 5A PER MANUFACTURERS RECOMMENDATIONS

4-CORNER & WALL DETAIL



NOTE: FOR 12' HIGH OR GREATER SIDEWALLS, A 48" MAX OPENING IS ALLOWED



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: NTS DATE: 04-14-2022

SHEET TITLE: BUILD DETAIL 1

DRAWING NUMBER:

S-109

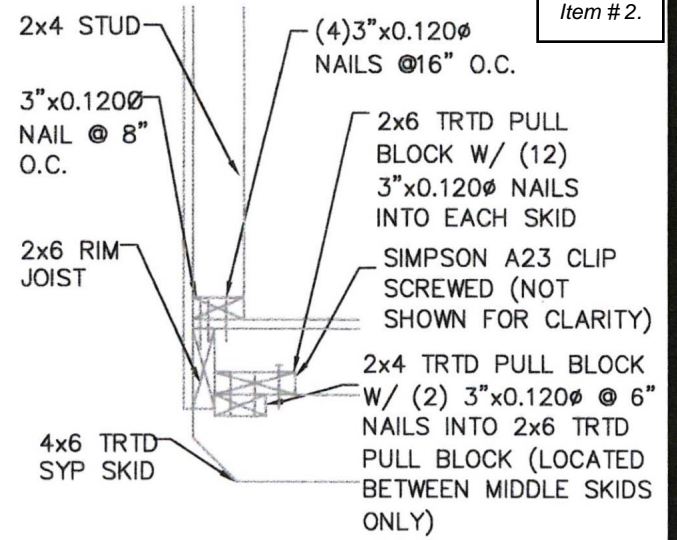
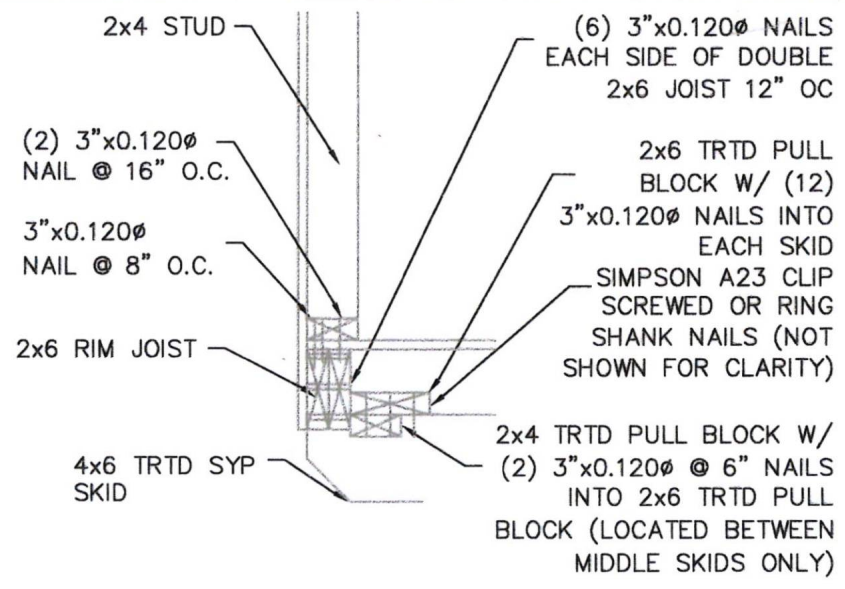
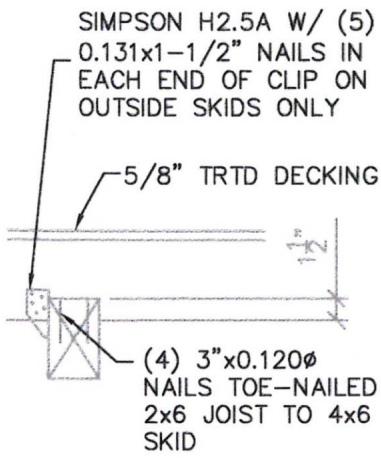


DAMMON ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

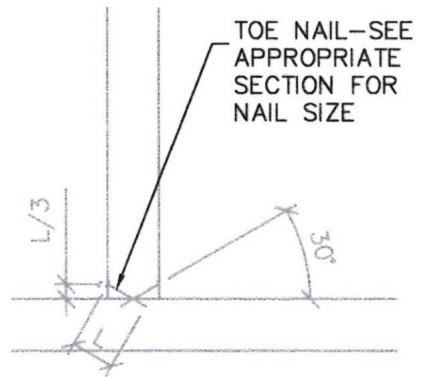
www.dammonengineer.com
info@dammonengineer.com
PHONE: 985-649-5832



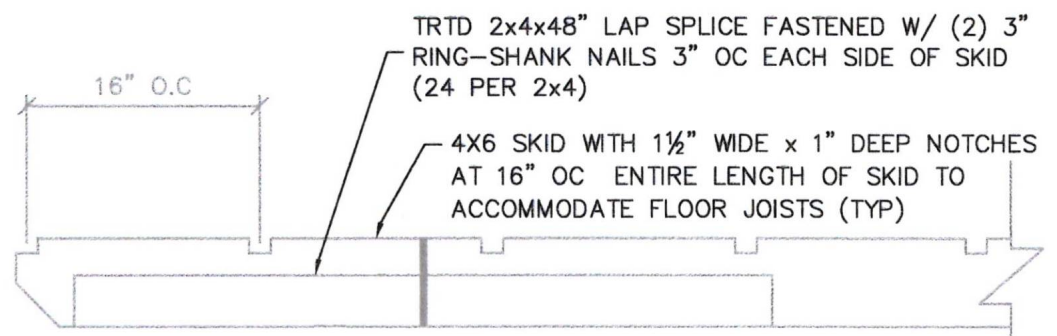
1-INNER & OUTER SKID
DETAIL @ EVERY JOIST

2-ENTRY DOOR ENDWALL JOIST DETAIL

3-REAR ENDWALL JOIST DETAIL



4-TOE-NAIL DETAIL



5-SKID DETAIL



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: NTS DATE: 04-14-2022

SHEET TITLE: BUILD DETAILS 2

DRAWING NUMBER: **S-110**



DAMMON ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

www.dammonengineer
info@dammonengineer
PHONE: 985-6

Purchase Agreement

Item #2.



DANCO Buildings
 1259 MS-583, Jayess, MS 39641
 (228) 669-9440
 teamstoragepro@gmail.com
 Sales Person: Roxann Davidson

Customer:
 Cali Tanguis
 411 Ballentine St
 Bay St Louis, MS 39520
 (228) 493-7872
 calijean2616@gmail.com

Invoice #: 39636
Date: 04/12/2024

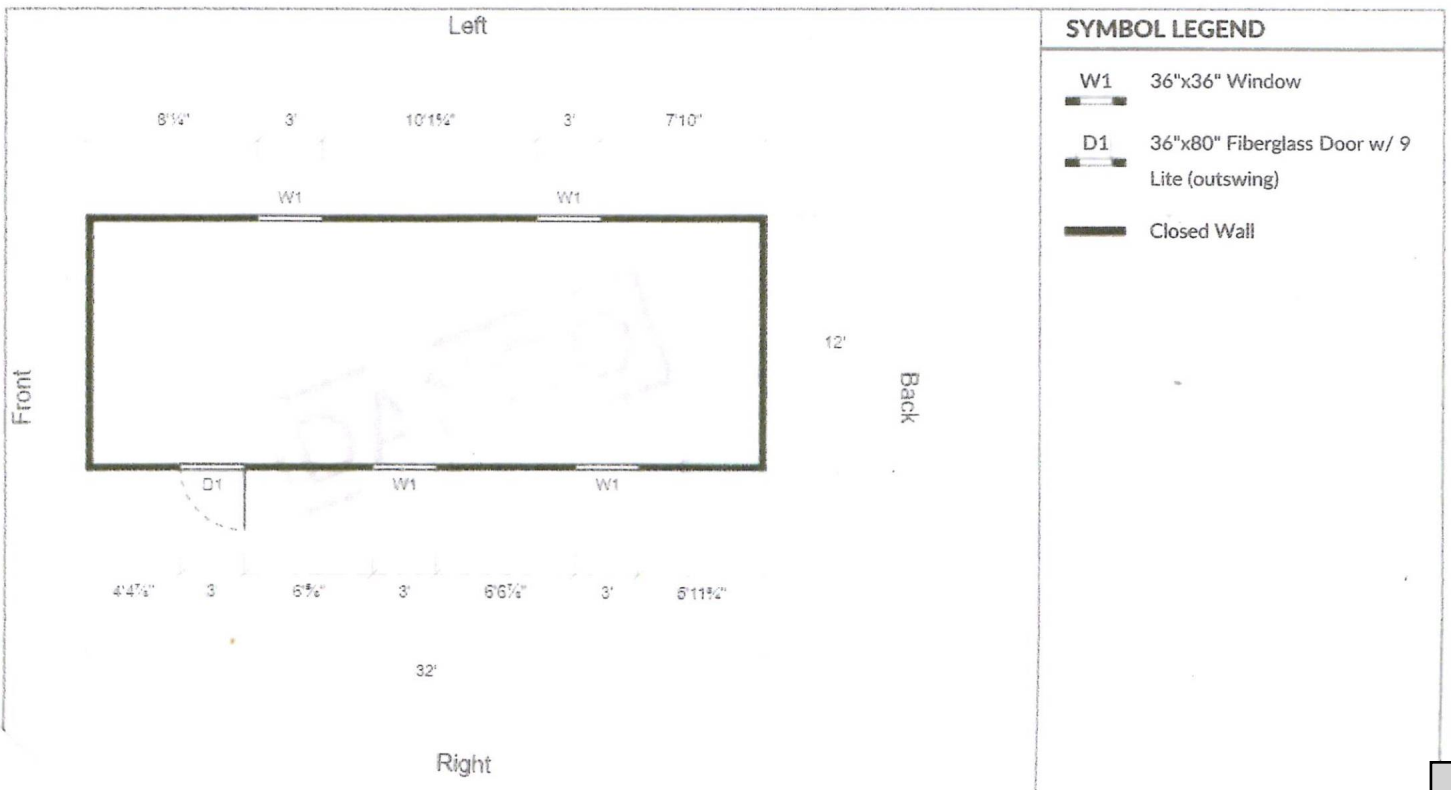
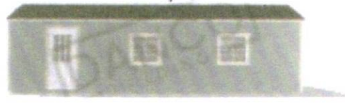
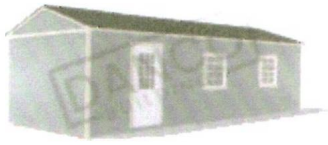
Item	Qty	Line Total	Totals
Style: Garden Shed	1	\$9,665.00	Subtotal \$14,722.00
Siding: Duratemp (Roseburg)	1	\$600.00	Discounts -\$167.45
Size: 12x32	1		Grand total \$14,554.55
Roof Pitch: 6/12	1	\$384.00	Monthly payment before tax \$535.09
Roof Material: Metal	1		<i>Insurance</i> LDW \$5.00
Siding Color: Star Dew			Tax on payment \$37.46
Trim Color: Dover White			Estimated monthly payment \$577.55
Roof Color: Galvalume			Initial payment \$577.55
36"x36" Window	4	\$480.00	Amount paid \$577.55
24"x36" Window	1		
36"x80" Fiberglass Door w/ 9 Lite (outswing)	2	\$750.00	
72" Wood Walk-In Door (Credit)	1	-\$225.00	
20 Drop Electrical Package (200 Amp Box)	1	\$2,150.00	
Building Anchors	6	\$25.00	
wall framing 32 linear feet x \$24	1	\$768.00	
Dealer / Danco Co-op		-\$167.45	

Payment Detail
 RTO Company: JMAG
 Term: 60
 Accepted by: Roxann Davidson
 Paid with: Credit card

THIS AGREEMENT IS BETWEEN THE CUSTOMER AND DANCO WHO BUILD ACCORDING TO THE SPECIFICATIONS PRESENTED TO THE CUSTOMER. DANCO IS AN INDEPENDENT AGENT, WHO LINKS THE BUYER AND BUILDER TOGETHER, DANCO IS HELD HARMLESS BY THE PARTIES INVOLVED OVER ANY TYPE OF DISAGREEMENT OR DISPUTE. NO CHARGES WILL BE ACCEPTED UNLESS BOTH PARTIES AGREE AND SIGN AN ADDENDUM TO THIS AGREEMENT. DEPOSIT IS NON-REFUNDABLE. IF SALE IS CANCELLED, CUSTOMER MAY APPLY PAID AMOUNT TO A NEW SALE WITHIN 90 DAYS. AFTER 90 DAYS, DEPOSIT WILL BE RETAINED TO COMPENSATE DANCO FOR EXPENSES INCURRED IN CONNECTION WITH THIS SALE. IT IS THE CUSTOMERS RESPONSIBILITY, FOR SETBACKS RESTRICTIONS, COVENANTS AND UNDERGROUND WIRING. PLEASE CONTACT YOUR LOCAL CODES DEPARTMENT, HOME OWNERS ASSOCIATION OR MUNICIPALITIES FOR DEED RESTRICTION. I HAVE READ ALL OF THE ABOVE AND AGREE TO ALL THE TERMS AND CONDITIONS. I AUTHORIZE DANCO TO ACT AS OUR AGENT AND SUBMIT THE ACCEPTED FIGURES AS SHOWN, BY MY SIGNATURE BELOW. AUTHORIZED AND AGREED TO BY DATE

Customer's Signature: *Cali Tanguis*

Date: 4/15/2024



TO: Planning and Zoning Commission
City of Bay St. Louis

RE: Parcel 137J-0-44-270.000
ALL 49,50 & PT48&51 BALLENTINE

HEARING DATE: June 12, 2024

I have reviewed Celina LeBlanc's application for Special Exceptions. The property is located at 411 Ballentine Street. It lies in an R-2 Residential Two-Family District, which only allows accessory dwellings by special exceptions on parcels over 15,000 sq ft.

The applicant is requesting the following:

- 1) A special exception to allow an accessory dwelling on the parcel.**

The administration's recommendation is to approve the special exception.

- The applicant has adequate parking for both the primary dwelling and the accessory dwelling.
- This application was presented and approved by P&Z in June 2024 but failed at the June 2024 City Council meeting.
- The parcel is over 15,000 square feet.
- Several neighbors support the application.
- The applicant plans to convert the property's accessory structure into an accessory dwelling. The converted structure must meet all the IRC 2018 building code requirements.
- This application is comparable to the special exception request of 605 Beyer Drive, approved in May 2024 by BSL City Council, and 810 North Beach Boulevard, approved in July 2023 by BSL City Council. In both cases, the property owner converted an accessory structure into an accessory dwelling.
- The packet includes a letter from the property owner explaining the reasons for requesting the special exception.

Jeremy L Burke
Zoning Administrator

CITY OF BAY ST. LOUIS

688 Highway 90
Bay St. Louis, MS 39520
228-469-0531 FAX 228-466-5519
INSPECTION REQUESTS 228-469-0531

ACCESSORY STRUCTURE PERMIT

PERMIT #:	20240344	DATE ISSUED:	4/10/2024	EXP DATE:	10/11/2024
JOB ADDRESS:	411 BALLENTINE ST	LOT #:			
PARCEL ID:		BLK #:			
SUBDIVISION:		ZONING:			
OWNER:	CELINA LEBLANC	CONTRACTOR:	CELINA LEBLANC		
ADDRESS:	411 BALLENTINE ST	ADDRESS:	411 BALLENTINE ST		
CITY, STATE ZIP:	BAY ST. LOUIS MS 39520	CITY, STATE ZIP:	BAY ST. LOUIS MS 39520		
PHONE:		PHONE:			
PROP. USE VALUATION:	\$ 12,300.00	SFHA:			
SQ FT	0.00	HISTORICAL DISTRICT:			
OCCP TYPE:					
CNST TYPE:					

FEE CODE	DESCRIPTION	AMOUNT
B02	RESIDENTIAL BUILDING	\$ 207.00
TOTAL		\$ 207.00

NOTES:

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

THE UNDERSIGNED CONTRACTOR OR AUTHORIZED AGENT ACKNOWLEDGES THAT HE IS RESPONSIBLE FOR CALLING FOR EACH INSPECTION REQUIRED FOR THIS PROJECT BEFORE BEGINNING THE NEXT PHASE OF CONSTRUCTION.

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE

Daughon

(ISSUED BY)

4/10/24

DATE

Item # 2.















Item # 2.









TO: Planning and Zoning Commission
City of Bay St. Louis

RE: Parcel 137J-0-44-270.000
ALL 49,50 & PT48&51 BALLENTINE

HEARING DATE: October 9, 2024

I have reviewed Celina LeBlanc's application for Special Exceptions. The property is located at 411 Ballentine Street. It lies in an R-2 Residential Two-Family District, which only allows accessory dwellings by special exceptions on parcels over 15,000 sq ft.

The applicant is requesting the following:

- 1) A special exception to allow an accessory dwelling on the parcel.**

The administration's recommendation is to approve the special exception.

- The applicant has adequate parking for both the primary dwelling and the accessory dwelling.
- This application was presented and approved by P&Z in June 2024 and August 2024 but failed at the June 2024 City Council meeting.
- The parcel is over 15,000 square feet.
- A document in the packet includes support from many neighbors, including neighbors next door to this property.
- The applicant plans to convert the property's accessory structure into an accessory dwelling. The converted structure must meet all the IRC 2018 building code requirements.
- This application is comparable to the special exception request of 605 Beyer Drive, approved in May 2024 by BSL City Council, and 810 North Beach Boulevard, approved in July 2023 by BSL City Council. In both cases, the property owner converted an accessory structure into an accessory dwelling.
- The packet includes a email from the property owner explaining the reasons for requesting the special exception.
- The request fits in the characteristics of the neighborhood

Jeremy L Burke
Zoning Administrator

PUBLIC HEARING NOTICE Item # 2.

The Bay St. Louis Planning & Zoning Commission will hold a public hearing on **OCTOBER 09, 2024**, at 5:30 p.m. in the Bay St. Louis Conference Center located at 598 Main St., ph: (228)469-9121.

LEBLANC - Application for special exception to the zoning ordinance submitted by Celina LeBlanc. The applicant is requesting a special exception to allow an accessory dwelling on the parcel. The property is located at 411 Ballentine Street. Parcel 137J-0-44-270.000, ALL 49,50 & PT 48&51 BALLENTINE. The property is zoned R-2 Two Family District.

Additional information for the above mentioned is available for review during the hours of 8a.m. and 5 p.m., Monday through Friday, at the City Hall, 688 Highway 90, Bay St. Louis. Ph: (228)469-9121.

All interested parties are urged to attend.

Caitlin Bourgeois, Planning and Zoning Secretary

ALEXANDER MARY ELIZABETH	402 BALLENTINE ST	BAY ST LOUIS, MS 39520
BERMOND PAMELA L	422 BALLENTINE ST	BAY ST LOUIS, MS 39520
BUTLER LAJOIE R (LIFE ESTATE)	403 PECAN PARK DR	BAY ST LOUIS, MS 39520
CORDEIRO DARYLL P ETAL	500 CITIZEN ST	BAY ST LOUIS, MS 39520
EAVES BETTY M (LIFE ESTATE)	412 CITIZEN ST	BAY ST LOUIS, MS 39520
FAYARD FLORENCE J	11272 PEYTON DR	GULFPORT, MS 39503
HAVA MARK C ETAL	418 CITIZEN ST	BAY ST LOUIS, MS 39520
HIGGINS IRVING T III	401 BALLENTINE ST	BAY ST LOUIS, MS 39520
HIGGINS TRACEY L	405 BALLENTINE ST	BAY ST LOUIS, MS 39520
JORDAN RANDALL L ETAL	413 BALLENTINE ST	BAY ST LOUIS, MS 39520
KDL HOLDINGS LLC	7412 KOME PL	DIAMONDHEAD, MS 39525
LADNER LAURIE S	414 BALLENTINE ST	BAY ST LOUIS, MS 395200000
LADNER RICKEY D ETUX	401 PECAN PARK DR	BAY ST LOUIS, MS 39520
LADNER RUSSELL ALAN (LIFE ESTATE)	408 BALLENTINE ST	BAY ST LOUIS, MS 39520
LEBLANC CELINA M	411 BALLENTINE ST	BAY ST LOUIS, MS 39520
LEE JOYCE Z	5364 FIRETOWER ROAD	KILN, MS 39556
MALONEY KERRY	416 BALLENTINE ST	BAY ST LOUIS, MS 39520
MARTEL GREGG M ETAL	424 BALLENTINE STREET	BAY ST LOUIS, MS 39520
MURPHY RALEIGH	416 CITIZEN ST	BAY ST LOUIS, MS 39520
RYAN ROBERT M	407 BALLENTINE ST	BAY ST LOUIS, MS 39520
SCHWARTZ DAVID R ETAL	508 CITIZEN ST	BAY ST LOUIS, MS 39520
SZCZECHOWSKI CARL ETUX	404 BALLENTINE ST	BAY ST LOUIS, MS 39520

APPLICATION FOR VARIANCE TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Kent Lambert

ADDRESS: 412 Ulman Ave. BSL, MS 39520

PHONE: 504-214-7838

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

PT 339 FIRST WARD BAY ST LOUIS

2. Parcel number(s) as described in the Hancock County tax rolls:

149E-0-29-057-000

3. Present Zoning: C-2

4. Present use of building/property: RESIDENTIAL

5. Application fee of \$100 (Residential): REC#: 00511556
\$250

Application fee of \$200 (Commercial): _____

Article XIII
1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

Article XIII
1305.3 VARIANCES

To recommend such variances from the terms of this Ordinance as will not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance will in an individual case result in unnecessary hardship, so that the spirit of the Ordinance shall be observed, public safety and welfare secured, and substantial justice be done. Such variance may be granted in such case of unnecessary hardship upon a finding by the City Council that all of the following conditions exist:

- A. There are extraordinary and exceptional conditions which pertain to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.
- B. The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located.
- C. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other residents of the district in which the property is located.
- D. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- E. The special circumstances are not the result of the actions of the applicant.
- F. The existence of a nonconforming use of neighboring land, buildings, or structures in the same district or of permitted or nonconforming uses in other districts shall not constitute a reason for the requested variance.
- G. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure.
- H. The variance is not a request to permit a use of land, building, or structure which is not permitted by right or by special exception in the district involved.

- I. Notice of public hearing shall be given as in Section 1305.2(A).
- J. The variance can't be transferred to a subsequent owner of the property, if the variance is unused.
- K. The grant of a variance shall expire if the variance has not been activated within six (6) months of final approval. "Activation" shall mean obtaining a building permit for the required or necessary construction. In addition, the activation shall not be effective unless the construction is completed within six (6) months of obtaining the building permit. On good cause shown, the Bay St. Louis City Council may extend the above stated time limits for up to a maximum of six (6) months.

Please submit the following documentation with your application:

1. What is the specific provision of the ordinance involved 710.5 - Min Side yard
2. The use for which a variance is sought Carport & enclosed Storage addition attached to existing home
3. If request is for a setback variance, please answer the following:

_____ Front yard setback requirement
 _____ Proposed distance remaining to the property line
 _____ Total front yard setback variance needed

8 Side yard setback requirement
6 Proposed distance remaining to the property line
2 Total side yard setback variance needed

_____ Rear yard setback requirement
 _____ Proposed distance remaining to the property line
 _____ Total rear yard setback variance needed

4. If request is for a variance other than setback, please answer the following:

_____ Required total square footage of lot
 _____ Proposed square footage of lot
 _____ Total square footage needed to lot

_____ Required minimum width of lot
 _____ Proposed minimum width of lot
 _____ Total variance to minimum lot width needed

_____ Required fence height
 _____ Proposed fence height
 _____ Total fence height variance needed

5. Other type(s) of variance needed: N/A

- 6. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.
- 7. Size of any building to be erected, and the location of the building upon the lot.
- 8. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.
- 9. Is the property in question in a sub-division? NO
- 10. If the property in question is within a sub-division, is there an existing covenant running with the land? NO
- 11. If the answer to question 9 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County.

Book Number Page Number

It is warranted in good faith by the owners whose name is signed hereto that all of the above facts are true and correct.

Carl Z
Applicant's Signature

8-27-24
Date

FOR OFFICE USE ONLY

Date of Application received: _____

LAMBERT CARPORT
 412 ULMAN AVENUE, BAY ST. LOUIS, MS 39520
 KENT LAMBERT

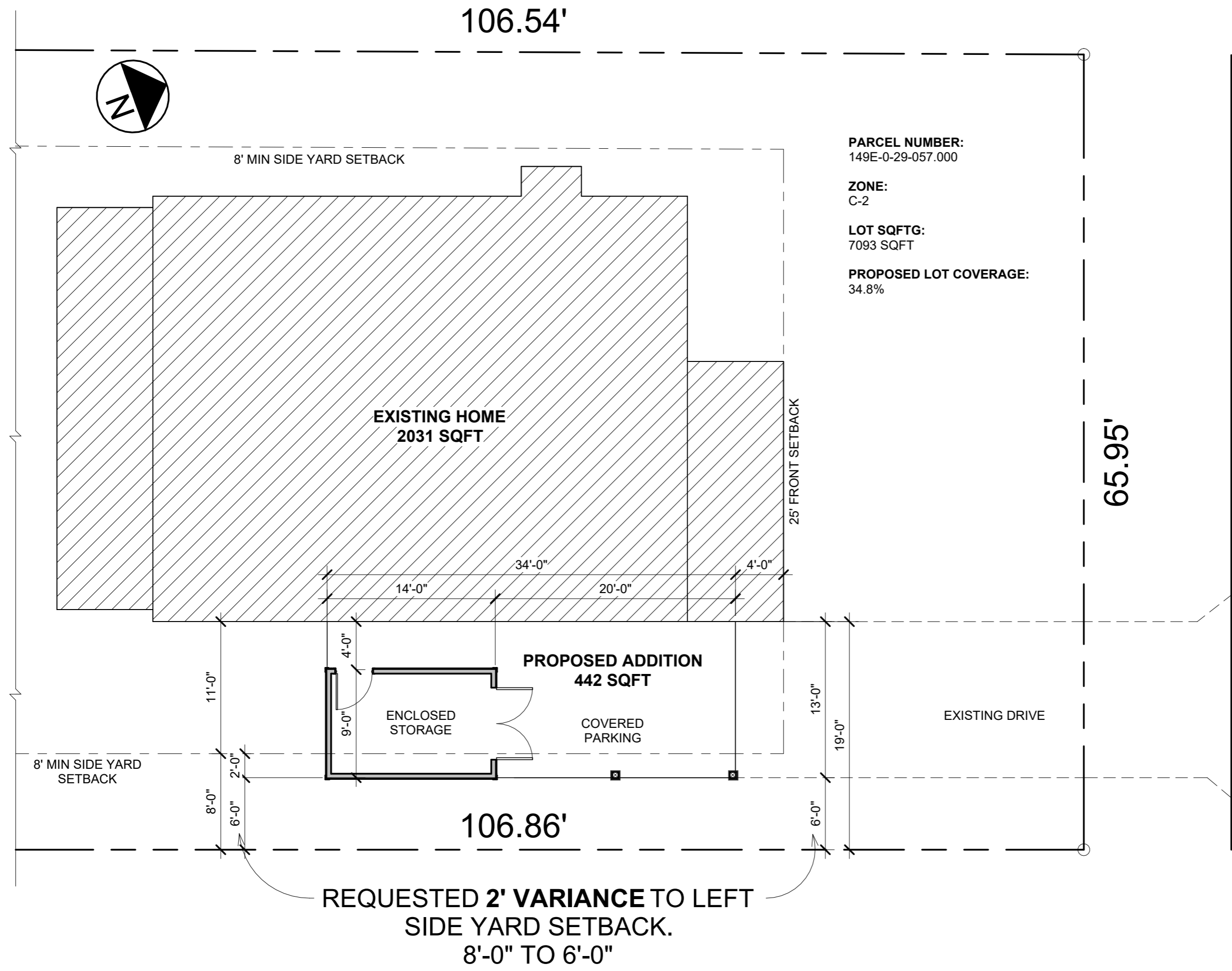
Drawn by:
COLT LEE

08/27/24

SITE PLAN

1 of 2

Scale 1/8" = 45'



PARCEL NUMBER:
 149E-0-29-057.000

ZONE:
 C-2

LOT SQFTG:
 7093 SQFT

PROPOSED LOT COVERAGE:
 34.8%

412 ULMAN AVE.

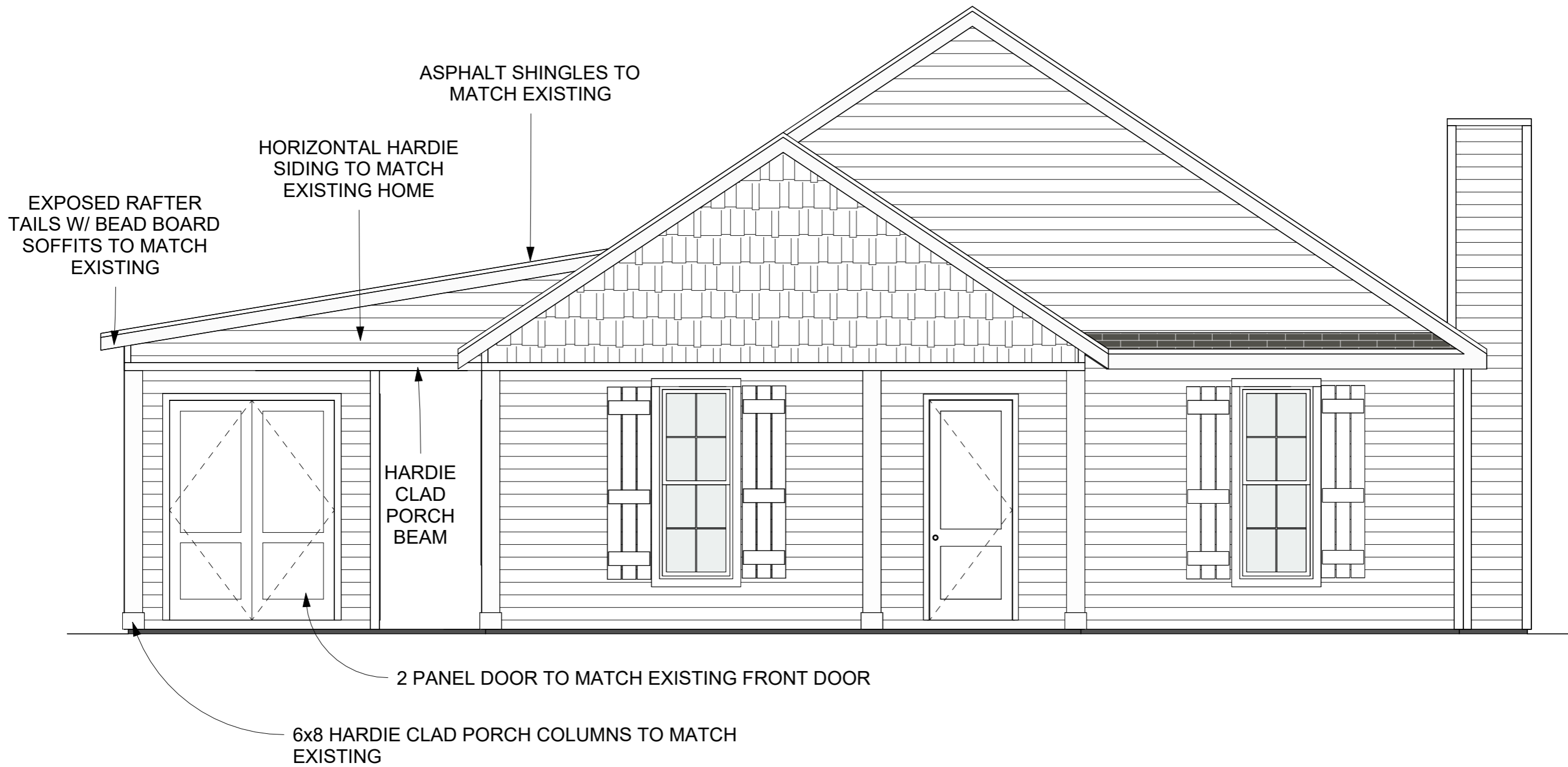
1

STREET VIEW

1/4" = 1'-0"



504-452-6974
2107 Nicholson Avenue, Suite B
Waveland, MS 39576
<https://benfatticonstruction.com/>



LAMBERT CARPORT

412 ULMAN AVENUE, BAY ST. LOUIS, MS 39520
KENT LAMBERT

Drawn by:
COLT LEE

08/27/24

ELEVATIONS

2 of 2

Scale 1/4" = 46

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 412 Ulman Avenue
149E-0-29-057.000
PT 339 FIRST WARD BAY ST LOUIS

HEARING DATE: October 9, 2024

I reviewed Kent Lambert White's application for a Variance to the Zoning Ordinance. The property is at 346 St George Street, in the C-2 Neighborhood Commercial District. A single-family resident house that is constructed in a C-2 district it requires a 25-foot front yard setback, an 8-foot side yard setback, and a 20-foot rear yard setback.

The applicant is requesting a side yard setback to construct a carport.

Side Yard Setback:

Required: 8'

Proposed Distance of side yard: 6'

Variance Request: 2'

The administration recommends denying the variance.

- The house was already constructed
- If it were a detached carport, the setback would be a 5' side yard setback as opposed to an 8' side yard setback
- The lot was split into 66' wide lots before the house was constructed

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L Burke
Zoning Administrator

PUBLIC HEARING NOTICE Item # 3.

The Bay St. Louis Planning & Zoning Commission will hold a public hearing on **OCTOBER 9, 2024**, at 5:30 p.m. in the Bay St. Louis Conference Center located at 598 Main St., ph: (228)469-9121.

LAMBERT – Application for a variance to the Zoning Ordinance submitted by Kent Lambert. The applicant is requesting a variance of 2’ resulting in a 6’ setback to the side yard for the construction of a carport. The property is located at 412 Ulman Avenue. Parcel 149E-0-29-057.000, PT 339 FIRST WARD BAY ST LOUIS. The property is zoned C-2 Neighborhood Commercial District.

Additional information for the above mentioned is available for review during the hours of 8a.m. and 5 p.m., Monday through Friday, at the City Hall, 688 Highway 90, Bay St. Louis. Ph: (228)469-9121.

All interested parties are urged to attend.

Caitlin Bourgeois, Planning and Zoning Secretary

AIME EDMOND K ETAL	448 ULMAN AVE	BAY ST LOUIS, MS 39520
AMBEAU ELYRIA U	629 WILLOW ST	SAN FRANCISCO, CA 94115
ASHER TERRENCE C JR ETAL	501 BOUSLOG ST	BAY ST LOUIS, MS 39520
BARNEY STEVEN	101 CENTRAL AVE	BAY ST LOUIS, MS 39520
BARRETT WILLIAM M ETUX	411 CARROLL AVE	BAY ST LOUIS, MS 39520
BOURN DON C ETUX (LIFE ESTATE)	310 ULMAN AVE	BAY ST LOUIS, MS 39520
CAMPBELL GUSSIE L JR ETAL	PO BOX 4703	MONROE, LA 71211
CAMPBELL GUSSIE L JR ETAL	2767 POINT DR	MONROE, LA 71201
CHANDLER JULIE R	420 ULMAN AVE	BAY ST LOUIS, MS 39520
CORR KERRY J ETUX	418 CARROLL AVE	BAY ST LOUIS, MS 39520
CRAIG BORDELON INC	2018 S MCCARTHER DR	ALEXANDRIA, LA 71302
DEASE CLYDE JR ETAL	PO BOX 1607	PICAYUNE, MS 39466
DENIS VIRGINIA M M TRUSTEE	420 CARROLL AVE	BAY ST LOUIS, MS 39520
ELBERG STAN E ETAL	413 CARROLL AVE	BAY ST LOUIS, MS 39520
FRANCE GLENN ETAL	1403 NE YOUNG AVE	BENTONVILLE, AR 72712
FREEMAN CHARLES C JR ETAL	417 ULMAN AVE	BAY ST LOUIS, MS 39520
FRYER WILLIAM L JR ETUX	414 CARROLL AVE	BAY ST LOUIS, MS 39520
FUCICH KATHLEEN H ETVIR	P O BOX 941	KILN, MS 39556
HUNT YOLANDA	402 ULMAN AVE	BAY ST LOUIS, MS 39520
JOHNSTON JULIA ETAL	2507 KINGS PISTOL CT	GRAYSON, GA 30017
KELLEY BRENTON R	418 ULMAN AVE	BAY ST LOUIS, MS 39520
KELLY EDDIE	409 ULMAN AVE	BAY ST LOUIS, MS 39520
KIDD DAVID J ETAL TRUSTEES	411 CARROLL AVE	BAY ST LOUIS, MS 39520
LAMBERT KENT A ETUX	6 RUE TOULON	MANDEVILLE, LA 70471
LOFTON RICHARD	PO BOX 24551	NEW ORLEANS, LA 70184
MAGEE JOSHUA J	419 WEBSTER ST	BAY ST LOUIS, MS 39520
MONTJOY GEORGE R	416 CARROLL AVENUE	BAY ST LOUIS, MS 39520
MORREALE GREGORY P	419 CARROLL AVE	BAY ST LOUIS, MS 39520
OLIVER CHARLES R JR ETAL	P O BOX 3592	BAY ST LOUIS, MS 39521
PIERSON TOBIN ETAL	410 CARROLL AVE	BAY ST LOUIS, MS 39520
PLAUCHE LORI M ETAL	408 CARROLL AVE	BAY ST LOUIS, MS 39520
PUCHEU AMANDA L	406 CARROLL AVE	BAY ST LOUIS, MS 39520
PYLES MARY E ETVIR (RICHARD C ELL	403 CARROLL AVE	BAY ST LOUIS, MS 39520
SCHWANKHART SUSAN G	412 CARROLL AVE	BAY ST LOUIS, MS 39520
SCOTT CHERINA	425 WEBSTER ST	BAY ST LOUIS, MS 39520
STAFFORD PEGGY O	5234 MAGAZINE STREET	NEW ORLEANS, LA 70115
TACON DAVID M	415 FAIRWOOD BLVD	FAIRHOPE, AL 36532
THOMAS ANDREW F ETUX	409 CARROLL AVE	BAY ST LOUIS, MS 39520
VINSANAU MICHAEL ETAL	1048 CLIPPER DR	SLIDELL, LA 70458
WELCH DWAIN J TRUSTEE	6136 EAST HINDS STREET	BAY ST LOUIS, MS 39520
WELCH PATRICIA E REVOCABLE TRUS	417 CARROLL AVE	BAY ST LOUIS, MS 39520
WRIGHT ELIZABETH M ETAL	4051 TRUXTON LANE	LANSING, MI 48911

APPLICATION FOR VARIANCE TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Jenise Marie McCordell

ADDRESS: ³⁰² ~~203~~ St. John St.
BSL, Ma, 39520

PHONE: 228-466-6347 / cell 228-342-0012

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

PT 84 2ND WARD BAY ST LOUIS

2. Parcel number(s) as described in the Hancock County tax rolls:

149L-0-29-086.002

3. Present Zoning: R-1

4. Present use of building/property: Building

5. Application fee of ~~\$100~~ ²⁵⁰ (Residential): CR # 4007 Clay Creations

Application fee of ~~\$200~~ (Commercial): _____

Article XIII
1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

Article XIII
1305.3 VARIANCES

To recommend such variances from the terms of this Ordinance as will not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance will in an individual case result in unnecessary hardship, so that the spirit of the Ordinance shall be observed, public safety and welfare secured, and substantial justice be done. Such variance may be granted in such case of unnecessary hardship upon a finding by the City Council that all of the following conditions exist:

- A. There are extraordinary and exceptional conditions which pertain to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.
- B. The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located.
- C. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other residents of the district in which the property is located.
- D. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- E. The special circumstances are not the result of the actions of the applicant.
- F. The existence of a nonconforming use of neighboring land, buildings, or structures in the same district or of permitted or nonconforming uses in other districts shall not constitute a reason for the requested variance.
- G. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure.
- H. The variance is not a request to permit a use of land, building, or structure which is not permitted by right or by special exception in the district involved.

- I. Notice of public hearing shall be given as in Section 1305.2(A).
- J. The variance can't be transferred to a subsequent owner of the property, if the variance is unused.
- K. The grant of a variance shall expire if the variance has not been activated within six (6) months of final approval. "Activation" shall mean obtaining a building permit for the required or necessary construction. In addition, the activation shall not be effective unless the construction is completed within six (6) months of obtaining the building permit. On good cause shown, the Bay St. Louis City Council may extend the above stated time limits for up to a maximum of six (6) months.

Please submit the following documentation with your application:

- 1. What is the specific provision of the ordinance involved _____
- 2. The use for which a variance is sought _____
Construct 'New Porch'

3. If request is for a setback variance, please answer the following:

- _____ Front yard setback requirement
- _____ Proposed distance remaining to the property line
- _____ Total front yard setback variance needed
- 8 Side yard setback requirement
- _____ Proposed distance remaining to the property line
- _____ Total side yard setback variance needed
- 20 Rear yard setback requirement
- 10' Proposed distance remaining to the property line
- 10' Total rear yard setback variance needed

4. If request is for a variance other than setback, please answer the following:

- _____ Required total square footage of lot
- _____ Proposed square footage of lot
- _____ Total square footage needed to lot
- _____ Required minimum width of lot
- _____ Proposed minimum width of lot
- _____ Total variance to minimum lot width needed
- _____ Required fence height
- _____ Proposed fence height
- _____ Total fence height variance needed

5. Other type(s) of variance needed:

6. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.

7. Size of any building to be erected, and the location of the building upon the lot.

8. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.

9. Is the property in question in a sub-division? _____

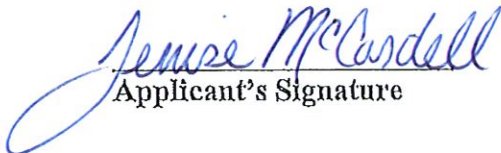
10. If the property in question is within a sub-division, is there an existing covenant running with the land? _____

11. If the answer to question 9 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County.

Book Number _____

Page Number _____

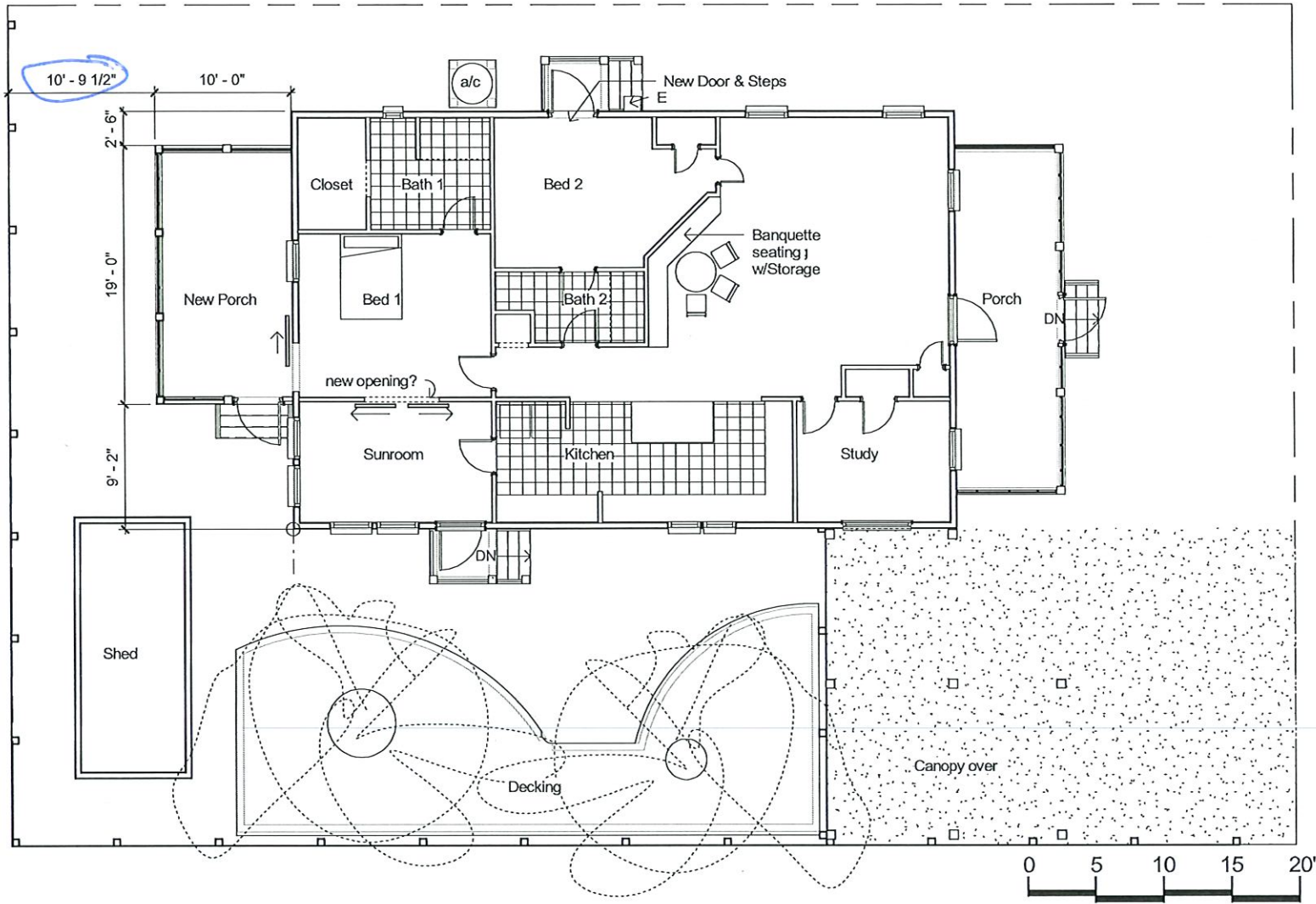
It is warranted in good faith by the owners whose name is signed hereto that all of the above facts are true and correct.


Applicant's Signature

9/3/24
Date

FOR OFFICE USE ONLY

Date of Application received: _____



ST JOHN ST



PROJECT
302 ST JOHN STREET

CLIENT
J McCordall / M Currier

Project number
2407

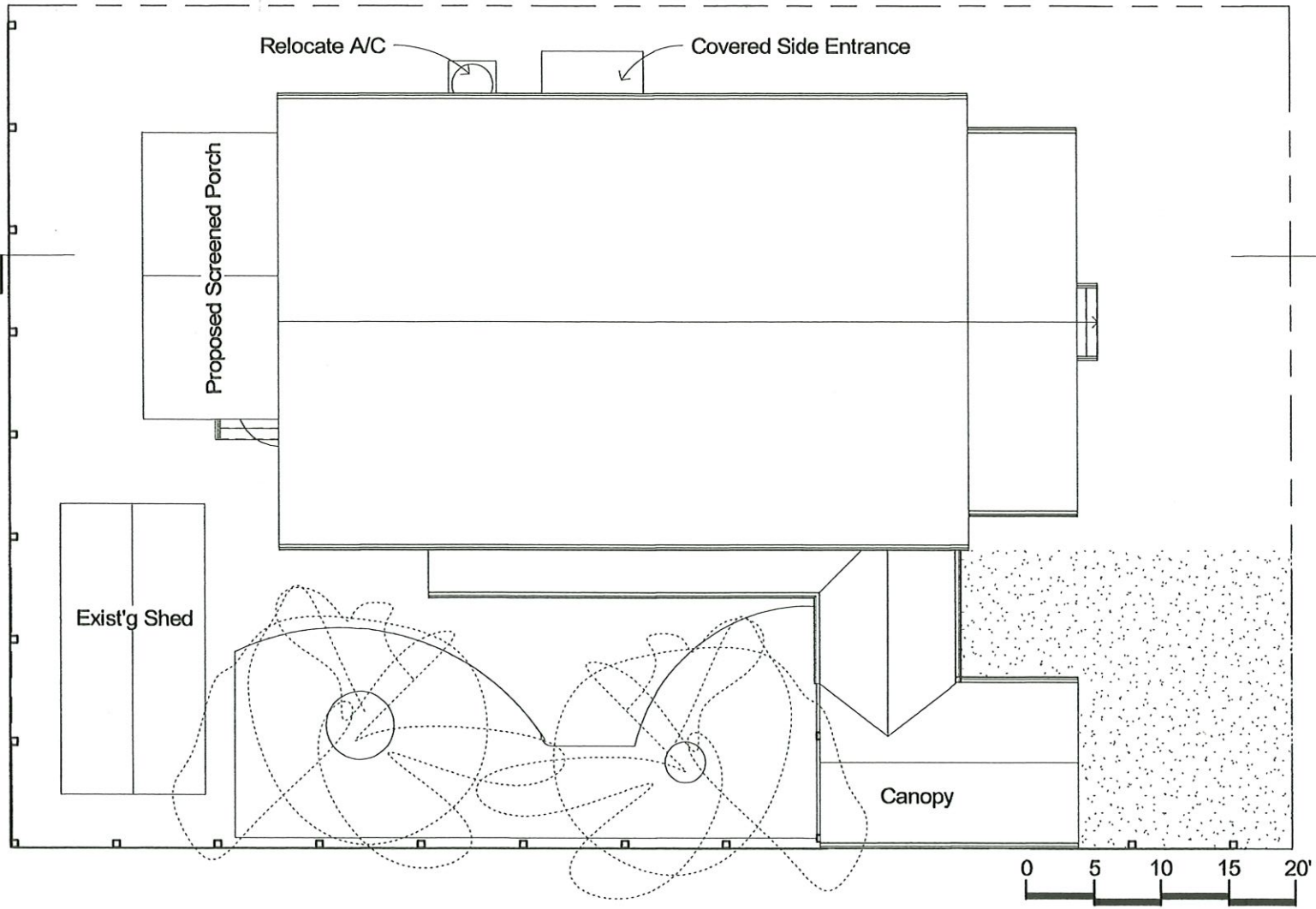
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1/8" = 1'-0"

SHEET
PROPOSED LEVEL 1

Date
Sept 2024

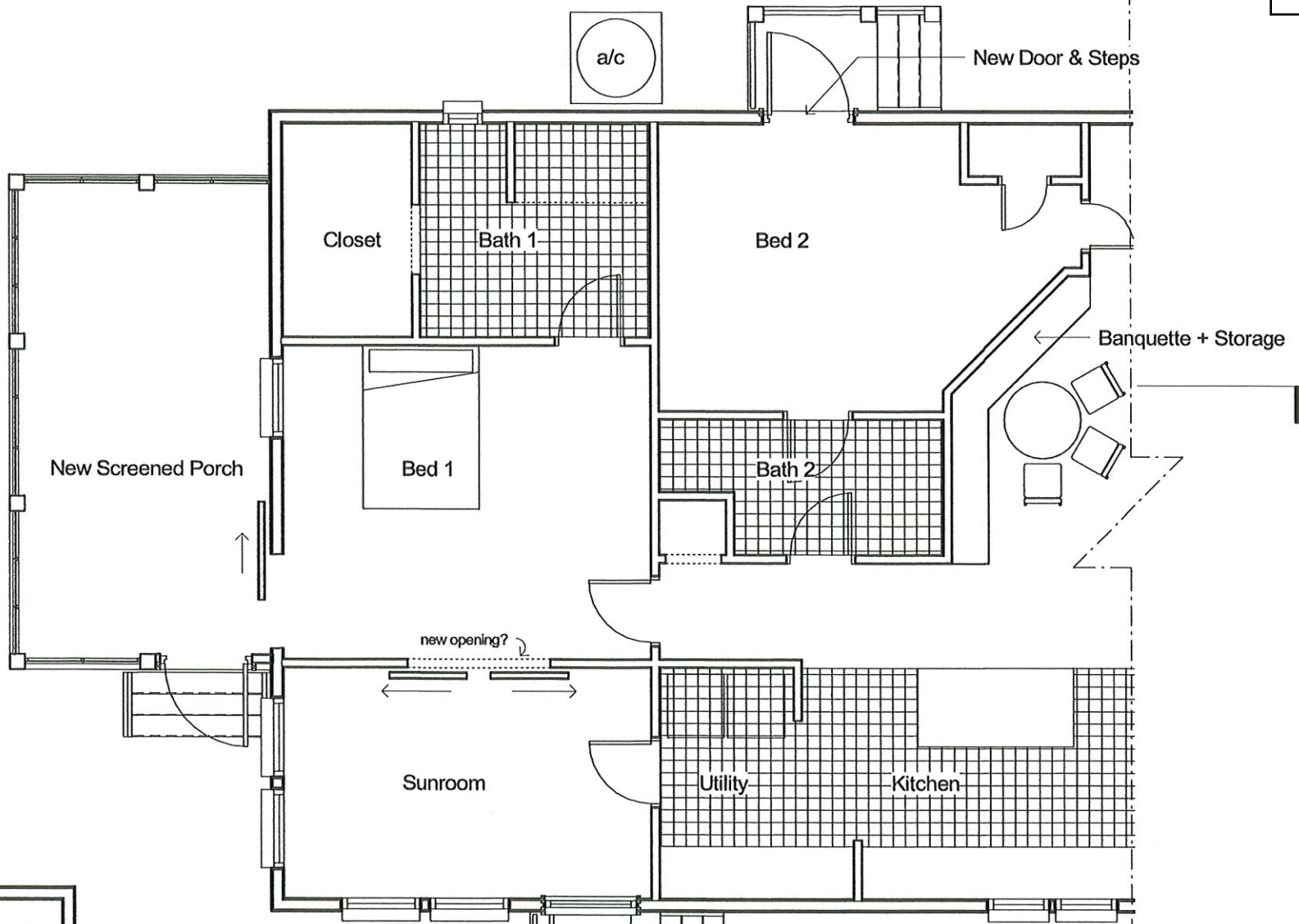
DRAWING NUMBER
P02-B

REV

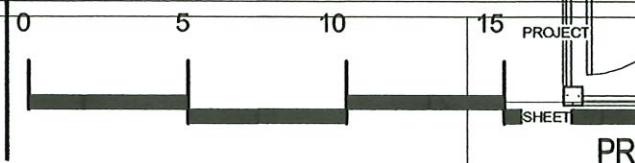


	PROJECT	302 ST JOHN STREET	CLIENT	J McCordall / M Carrier	Project number	2407	Scale (@ A3)	1/8" = 1'-0"
	SHEET	PROPOSED SITE PLAN	Date	Sept 2024	DRAWING NUMBER	P01-A	REV	

02/09/2024 19:24:51



Existing Shed

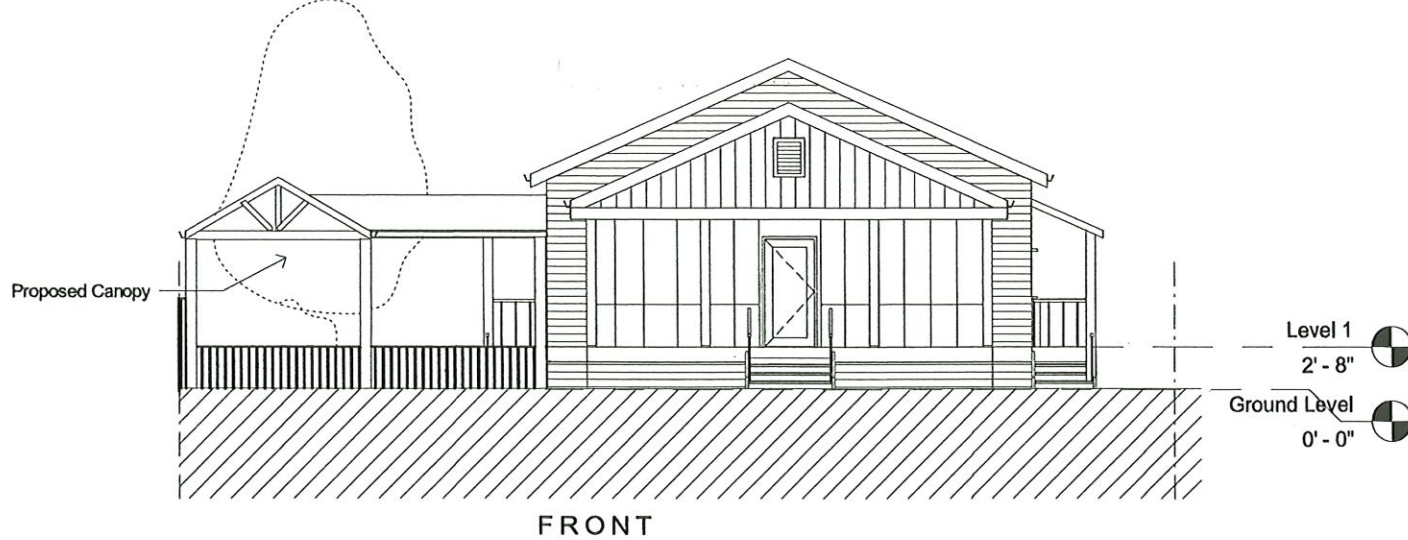


302 ST JOHN STREET

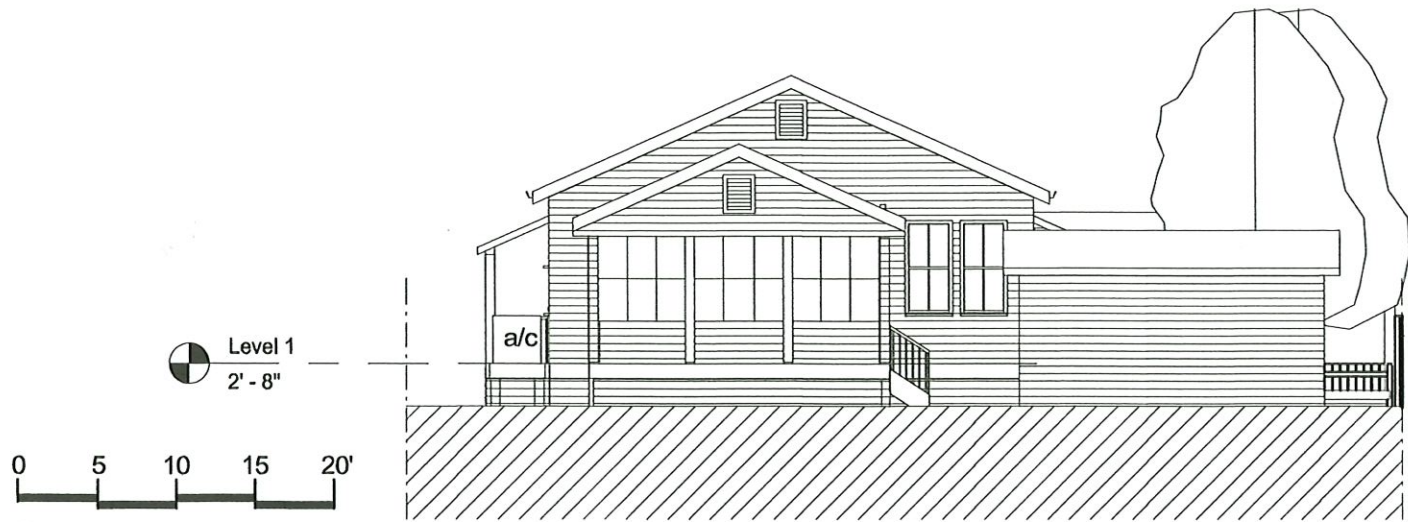
PROPOSED LEVEL 1 CALLOUT

CLIENT J McCordall / M Carrier	Project number 2407	Scale (@ A3) 1/4" = 1'-0"
Date Sept 2024	DRAWING NUMBER P03	REV

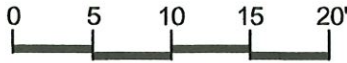
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FRONT

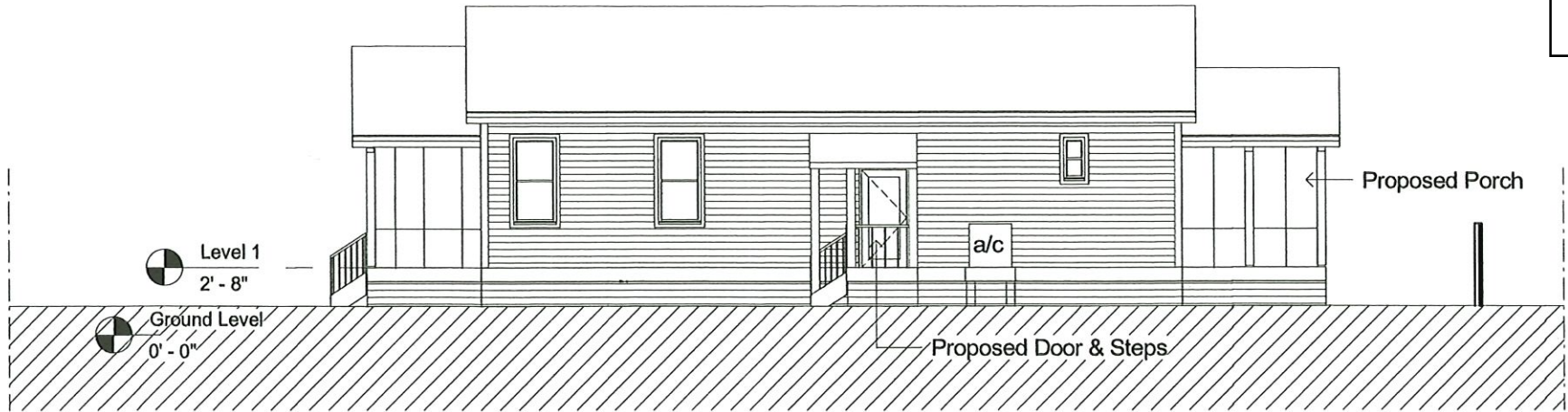


REAR

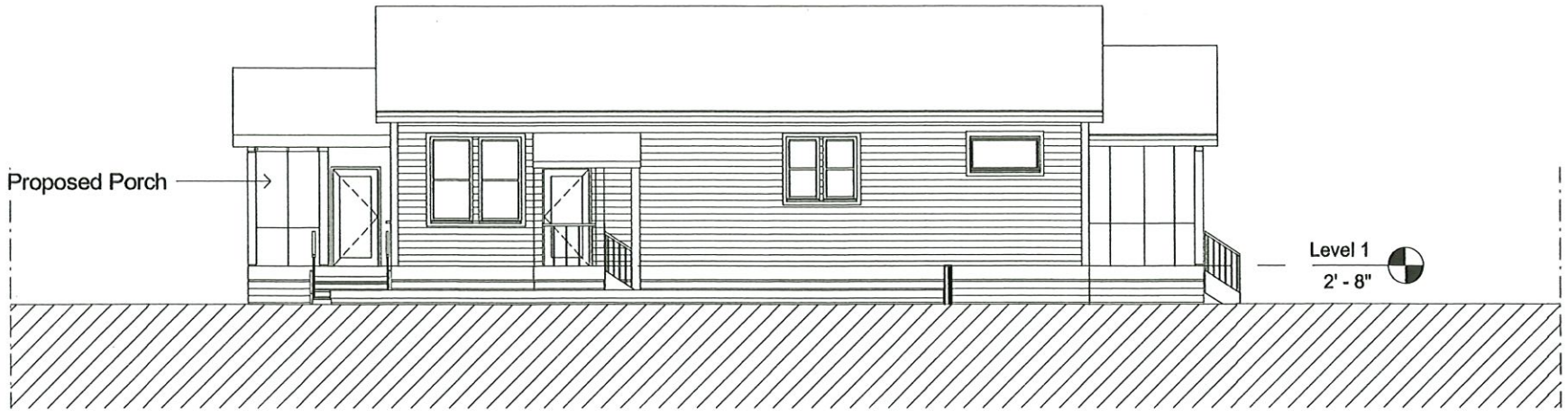


	PROJECT	302 ST JOHN STREET	CLIENT	J McCordall / M Carrier	Project number	2407	Scale (@ A3)	1/8" = 1'-0"
	SHEET	PROPOSED FRONT _ REAR ELEVATIONS	Date	Sept 2024	DRAWING NUMBER	P04-A	REV	

02/09/2024 13:24:52



WEST

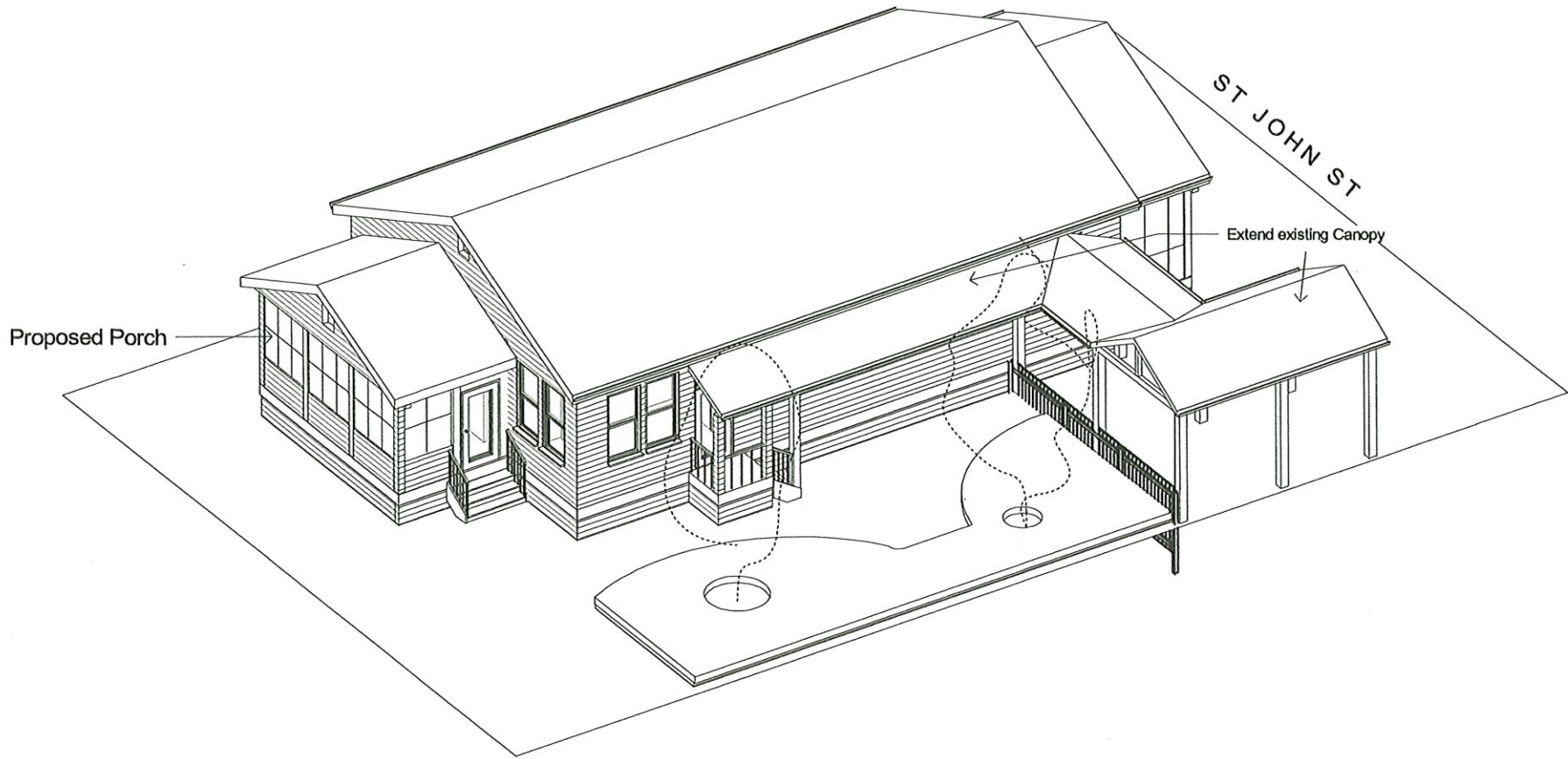


EAST



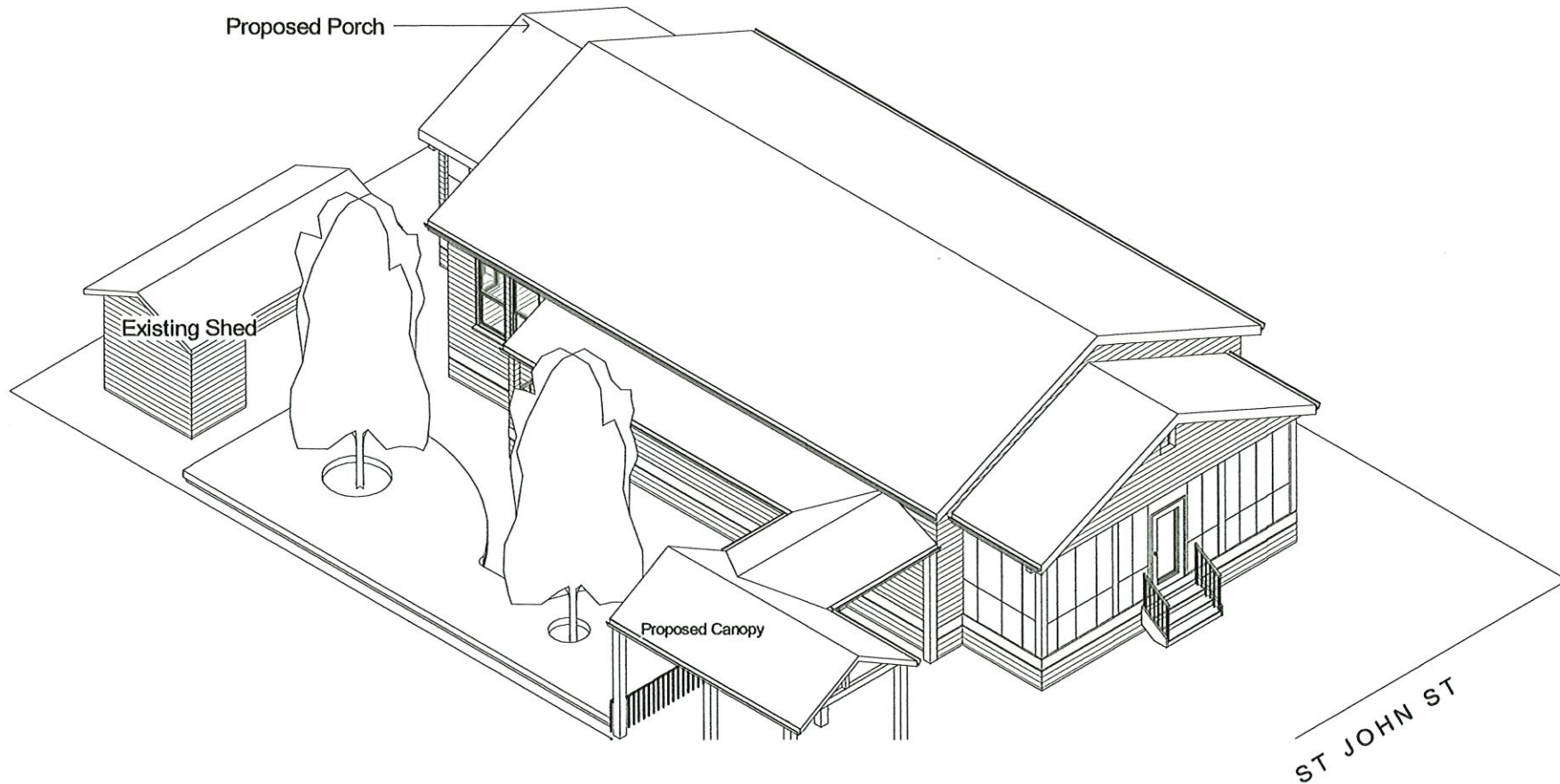
	PROJECT	302 ST JOHN STREET	CLIENT	J McCordell / M Currier	Project number	2407	Scale (@ A3)	1/8" = 1'-0"
	SHEET	PROPOSED WEST _ EAST ELEVATIONS	Date	Sept 2024	DRAWING NUMBER	P05	REV	

02/09/2024 05:39:50



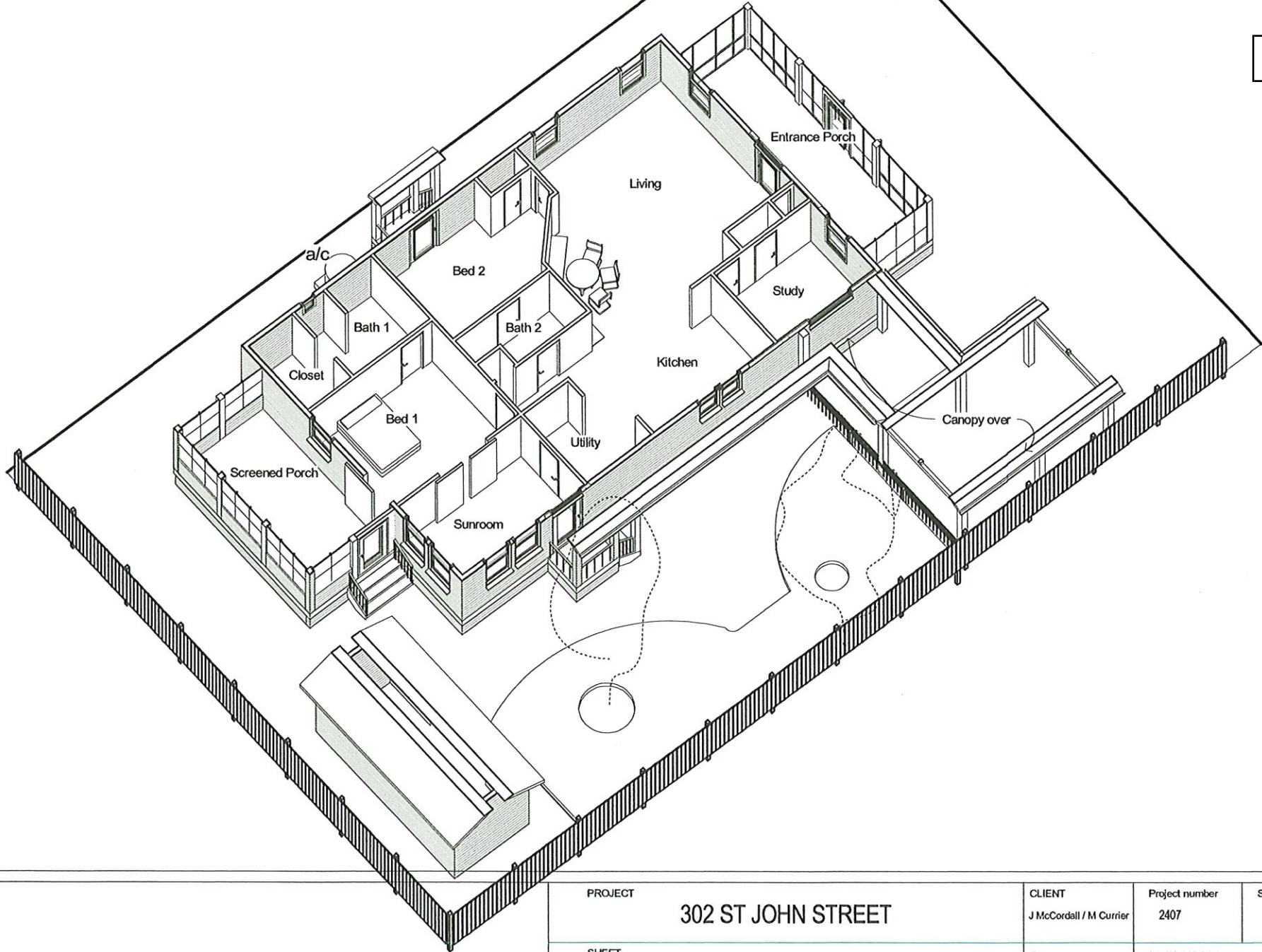
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	SHEET	PROPOSED EXT. ORTHO - SE	Date	Sept 2024	DRAWING NUMBER	P06-A	REV	

02/09/2024 19:24:53



	PROJECT	302 ST JOHN STREET	CLIENT	J McCordall / M Carrier	Project number	2407	Scale (@ A3)	
	SHEET	PROPOSED EXT ORTHO - NE	Date	Sept 2024	DRAWING NUMBER	P07-A	REV	

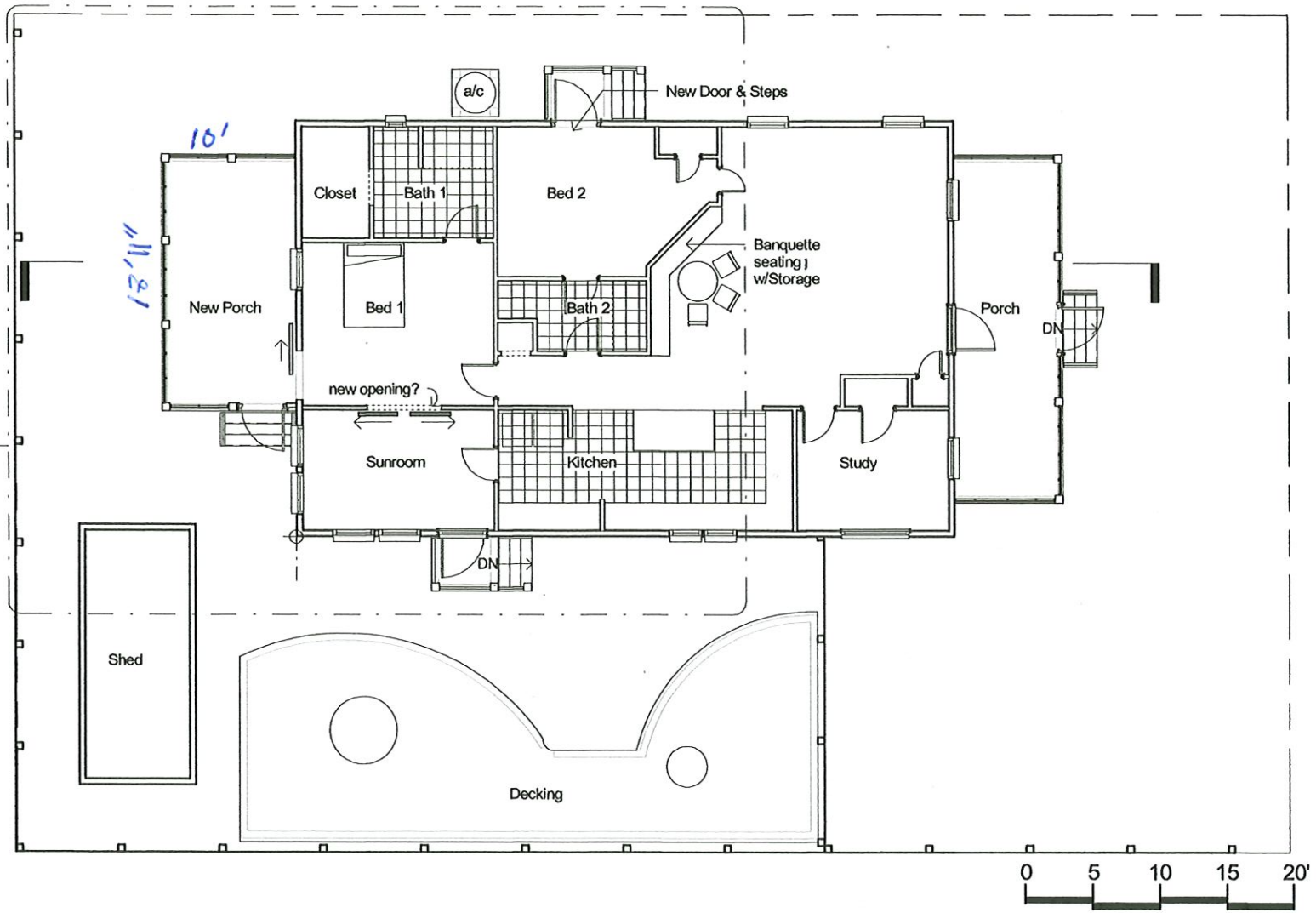
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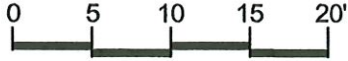
PROJECT	302 ST JOHN STREET	CLIENT	J McCordall / M Carrier	Project number	2407	Scale (@ A3)	
SHEET	PROPOSED INTERNAL ORTHO	Date	Sept 2024	DRAWING NUMBER	P08-A	REV	

02/09/2024 19:24:54

1
P03



ST JOHN ST



PROJECT	302 ST JOHN STREET		CLIENT	J McCordall / M Carrier	Project number	2407	Scale (@ A3)	1/8" = 1'-0"
	SHEET	PROPOSED LEVEL 1		Date	Sept 2024	DRAWING NUMBER	P02	REV

02/09/2024 05:39:49

Parcel Number: 149L-0-29-086.002
Owner Name: IMPSON JOHN W ETAL
Owner Address: 302 ST JOHN ST
Owner City, State ZIP: BAY ST LOUIS,
 MS 39520
Physical Address: 302 ST JOHN ST
Improvement Type: RES
Year Built: 2018
Base Area: 1470
Adjusted Area: 1560
Actual Total Value: 139614
Taxable Total Value: 0
Estimated Tax: 751.79
Homestead Exemption: Yes
Deed Book: 2018
Deed Page: 4114
Legal Description 1: PT 84 2ND WARD
 BAY ST LOUIS
Legal Description 2:

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 302 St John Street
149L-0-29-086.002
PT 84 2ND WARD BAY ST LOUIS

HEARING DATE: October 9, 2024

I reviewed Jenise McCardell's application for a Variance to the Zoning Ordinance. The property is at 302 St John Street, in the R-1 Single Family District. R-1 district it requires a 25-foot front yard setback, an 8-foot side yard setback, and a 20-foot rear yard setback.

The applicant is requesting a rear yard setback to construct a new porch.

Rear Yard Setback:

Required: 20'

Proposed Distance of rear yard: 10'

Variance Request: 10'

The administration recommends approval of the variance.

- The house is already constructed
- It is common for dwelling in this neighborhood in Bay St Louis to be granted rear yard setbacks.
- This parcel is only 95' deep
- The addition already was approved by Historical Preservation Commission

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L Burke
Zoning Administrator

September 19, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Butke

Dear Commissioners:

I have reviewed the construction plans for the addition to the home of Jenise McCardell and Mark Currier at 302 St. John, Bay St. Louis, MS.

I live in the neighborhood of Jenise and Mark and understand the variance they are requesting to the back of their residence for a sleeping porch. I have no objection to the variance they are requesting. I also believe the addition to their home will enhance the visual appeal to their home. Please grant Jenise her sleeping porch.

Sincerely,

August M Adam
Print Name

[Signature]
Signature
302 ST JOHN STREET
Print Address

KATHRYN GIFT
Print Name

[Signature]
Signature

Cynthia Hamil
BRECKEN ANDERSON
Print Name

317 St John Street
Print Address
Cynthia Hamil
Signature

Andree Weber
Ruben Keating
Print Name

309 St. John. St.
Print Address
[Signature]
Signature

Nancy McCardella
Print Name


307 St. John
Signature
Print Address

September 19, 2024

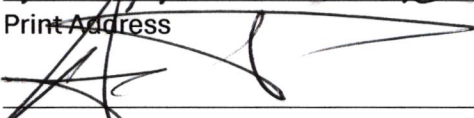
Variance on property of Jenise McCardell and Mark Currier at 302 St. John, Bay St. Louis, MS.

Continued (Page 2)

RANZY MONTET
Print Name


Signature
108 S. TOULME ST.
BSL, MS 39520
Print Address

ANDY PARKER
Print Name


Signature
108 S. TOULME ST
BSL, MS 39520
Print Address

Barbara Ryals

311 St. John
Print Address

Marshall Ryel

Print Name

Signature
313 State St.
Print Address

Notarized

Charles D. Allen

Print Name
GREG PARKER

Signature
314 ST JOHN S
Print Address

Print Name
Robert Kane

Signature
202 South Touleme
Print Address

Robert Kane

Print Name
Dolly Lundberg
Daryl Lundberg

Signature
204 S. Touleme St.
Print Address

PUBLIC HEARING NOTICE

Item # 4.

The Bay St. Louis Planning & Zoning Commission will hold a public hearing on **OCTOBER 9, 2024**, at 5:30 p.m. in the Bay St. Louis Conference Center located at 598 Main St., ph: (228)469-9121.

MCCARDELL – Application for a variance to the Zoning Ordinance submitted by Jenise McCardell. The applicant is requesting a variance of 10’ resulting in a 10’ setback to the rear yard for the construction of a new porch. The property is located at 302 St John Street. Parcel 149L-0-29-086.002, PT 84 2ND WARD BAY ST LOUIS. The property is zoned R-1 Single Family District.

Additional information for the above mentioned is available for review during the hours of 8a.m. and 5 p.m., Monday through Friday, at the City Hall, 688 Highway 90, Bay St. Louis. Ph: (228)469-9121.

All interested parties are urged to attend.

Caitlin Bourgeois, Planning and Zoning Secretary

301 S TOULME LLC	301 S TOULME ST	BAY ST LOUIS, MS 39520
ADAM AUGUST M	310 ST JOHN ST	BAY ST LOUIS, MS 39520
BUSH THERESA ETAL	308 MAIN ST	BAY ST LOUIS, MS 39520
CAT ISLAND VENTURES LLC	39362 INTERSTATE 59 SERVICE RD	PEARL RIVER, LA 70452
CENTURY HALL LLC	5208 MAGAZINE ST STE 209	NEW ORLEANS, LA 70115
CHERAMIE LEONARD JR DR (RTOD)	320 MAIN ST	BAY ST LOUIS, MS 39520
DAMIENS LUCIANNE L	305 ST JOHN ST	BAY ST LOUIS, MS 39520
DOMINGUE JOYCE GARCIA (ETAL)	200 ST JACQUES ST	CARENCRO, LA 70520
GARCIA BETTY JEAN ETAL (LIFE EST)	315 EASTERBROOK ST	BAY ST LOUIS, MS 39520
HANEY BLAKE J ETUX	2431 FERN ST	NEW ORLEANS, LA 70125
HAYDEL LAUREN L	128 BONNABEL BLVD	METAIRIE, LA 70005
HIDDEN PARADISE BSL LLC	196 VILLERE DR	DESTREHAM, LA 70047
HOLMAN DAVID E ETAL	408 HANCOCK ST	BAY ST LOUIS, MS 39520
IMPSON JOHN W ETAL	302 ST JOHN ST	BAY ST LOUIS, MS 39520
JONES JACOB F III ETUX	17 RUE ROYALE	METAIRIE, LA 70002
KANE ROBERT R	117 MAIN ST	BAY ST LOUIS, MS 39520
LABAT BRIAN K ETUX	308 EASTERBROOK ST	BAY ST LOUIS, MS 39520
LABAT LINDA (LIFE ESTATE)	309 EASTERBROOK ST	BAY ST LOUIS, MS 39520
LABAT RUDOLPH ETAL	444 ST JOHN ST	BAY ST LOUIS, MS 39520
LABAT VERONICA(LIFE ESTATE)	PO BOX 2932	BAY ST LOUIS, MS 39521
MAVAR GERALD M ETAL	825 N BEACH BLVD	WAVELAND, MS 39576
MCCARDELL JAMES E ETAL	307 ST JOHN ST	BAY ST LOUIS, MS 39520
MCCARDELL JENISE	105 S TOULME ST	BAY ST LOUIS, MS 39520
MUTTER MARY LOU S (LIFE ESTATE)	109 S TOULME ST	BAY ST LOUIS, MS 39520
NARDO ADAM J ETAL	300 S TOULME ST	BAY ST LOUIS, MS 39520
ODD GERAL SR ETAL	576 BUDDY WEST RD	NEWMAN, GA 30263
PARKER DAVID ETAL	108 S TOULME ST	BAY ST LOUIS, MS 39520
RAMSEY MICHAEL J ETAL	107 S TOULME ST	BAY ST LOUIS, MS 39520
RYALS MARSHALL J ETAL	4616 TAFT PARK	METAIRIE, LA 70002
SCAFIDI BARBARA A	110 S TOULME STREET	BAY ST LOUIS, MS 39520
STEINER ORAN J JR ETAL	309 ST JOHN ST	BAY ST LOUIS, MS 39520
STOLZ THERESA L	306 ST JOHN STREET	BAY ST LOUIS, MS 39520
STRONG FRANK ETAL	304 EASTERBROOK ST	BAY ST LOUIS, MS 39520
THE JAMES C & WINNIFRED D MCDONALD TRUST	6315 CRUMP RD	KILN, MS 39556

METAIRIE, LA 70005
LAPLACE, LA 70068
NEW ORLEANS, LA 70131

1712 CLADIUS ST
2066 CYPRESS ST
904 AURORA DR

VANDERBROOK STEPHEN J ETAL
WEBER ANDREE ETAL
WENDEL KATHRYN Y

APPLICATION FOR VARIANCE TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Andy Parker

ADDRESS: 108 S. Toulme Bay St. Louis, MS
39520

PHONE: 228-860-2869

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:
PT 83 Second Ward BSL

2. Parcel number(s) as described in the Hancock County tax rolls:
149L-0-29-077.00

3. Present Zoning: X R-3

4. Present use of building/property: Residential

5. Application fee of \$100 (Residential): ⁷⁵⁰ 00511563

Application fee of \$200 (Commercial): _____

Article XIII

1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

Article XIII

1305.3 VARIANCES

To recommend such variances from the terms of this Ordinance as will not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance will in an individual case result in unnecessary hardship, so that the spirit of the Ordinance shall be observed, public safety and welfare secured, and substantial justice be done. Such variance may be granted in such case of unnecessary hardship upon a finding by the City Council that all of the following conditions exist:

- A. There are extraordinary and exceptional conditions which pertain to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.
- B. The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located.
- C. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other residents of the district in which the property is located.
- D. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- E. The special circumstances are not the result of the actions of the applicant.
- F. The existence of a nonconforming use of neighboring land, buildings, or structures in the same district or of permitted or nonconforming uses in other districts shall not constitute a reason for the requested variance.
- G. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure.
- H. The variance is not a request to permit a use of land, building, or structure which is not permitted by right or by special exception in the district involved.

I. Notice of public hearing shall be given as in Section 1305.2(A).

J. The variance can't be transferred to a subsequent owner of the property, if the variance is unused.

K. The grant of a variance shall expire if the variance has not been activated within six (6) months of final approval. "Activation" shall mean obtaining a building permit for the required or necessary construction. In addition, the activation shall not be effective unless the construction is completed within six (6) months of obtaining the building permit. On good cause shown, the Bay St. Louis City Council may extend the above stated time limits for up to a maximum of six (6) months.

Please submit the following documentation with your application:

1. What is the specific provision of the ordinance involved _____

2. The use for which a variance is sought Setback _____

3. If request is for a setback variance, please answer the following:

_____ Front yard setback requirement
_____ Proposed distance remaining to the property line
_____ Total front yard setback variance needed

_____ Side yard setback requirement
_____ Proposed distance remaining to the property line
_____ Total side yard setback variance needed

20' Rear yard setback requirement
5' Proposed distance remaining to the property line
15' Total rear yard setback variance needed

4. If request is for a variance other than setback, please answer the following:

_____ Required total square footage of lot
_____ Proposed square footage of lot
_____ Total square footage needed to lot

_____ Required minimum width of lot
_____ Proposed minimum width of lot
_____ Total variance to minimum lot width needed

_____ Required fence height
_____ Proposed fence height
_____ Total fence height variance needed

5. Other type(s) of varlance needed:

6. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.

7. Size of any building to be erected, and the location of the building upon the lot.

8. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.

9. Is the property in question in a sub-division? _____

10. If the property in question is within a sub-division, is there an existing covenant running with the land? NO

11. If the answer to question 9 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County.

Book Number _____ Page Number _____

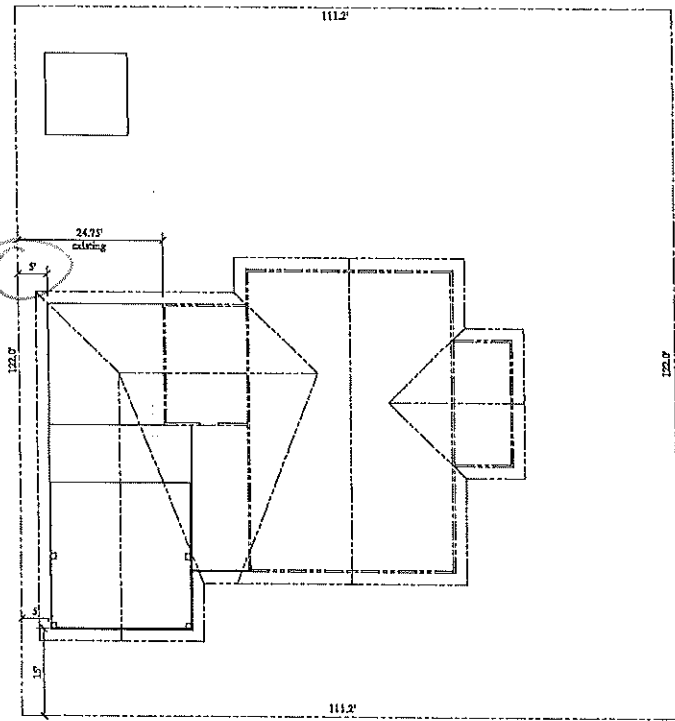
It is warranted in good faith by the owners whose name is signed hereto that all of the above facts are true and correct.

Paul Park
Applicant's Signature

8/27/24
Date

FOR OFFICE USE ONLY

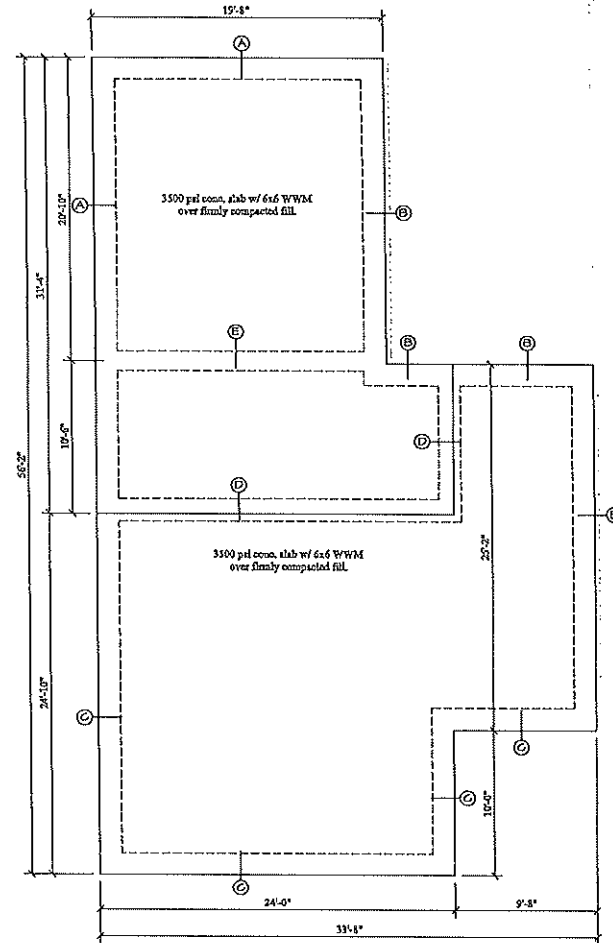
Date of Application received: _____



ST. JOHN ST.

PLOT PLAN
1/4"=10'

S. TOULME ST.



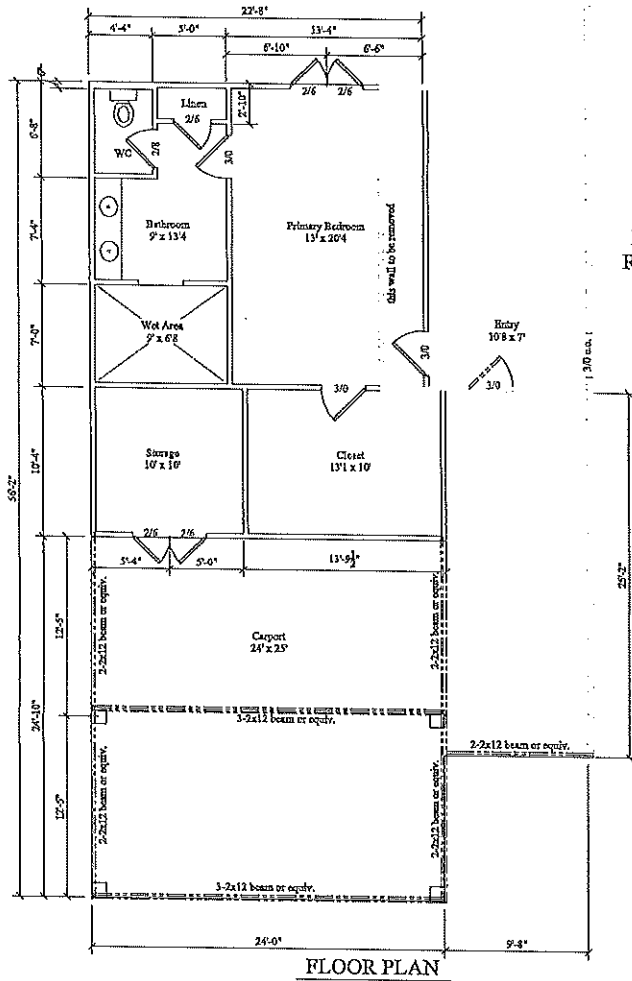
EXISTING RESIDENCE

FOUNDATION PLAN
1/4"=1'-0"

- NOTES:
- City stamped approved plans are required to be on site for all inspections.
 - Proof of termite treatment is required at footing inspection.
 - Spot locations for all engineered/examined materials/members including spans, loads, layout, fastening details (130 mph), etc. (beams, joists, brusses, impact windows, garage doors, metal roof, etc)
 - Contractors shall be responsible for maintaining proper drainage, property cleanup including street on city built and set (area properly installed) where necessary. Must have **HARD SURFACE CONSTRUCTION ENTRANCES**.
 - All equipment/platforms/units shall have proper work clearance. (R3405 and R3135.1 of 2018 IRC)

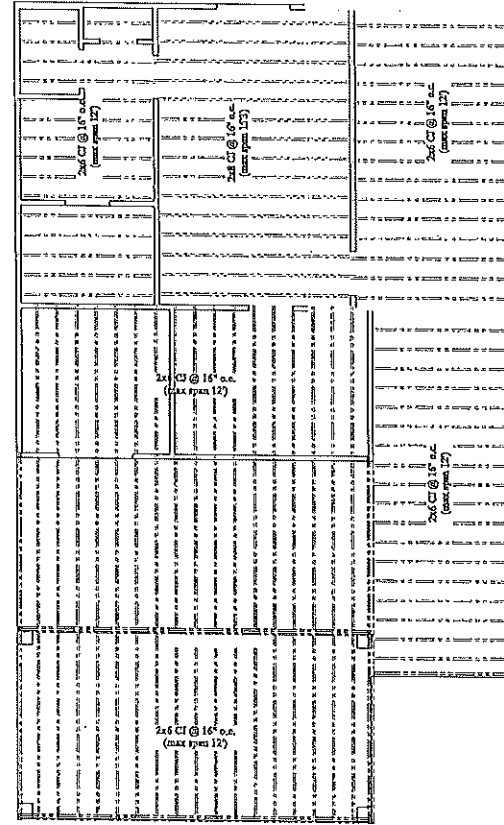
- NOTES:
- Anchor bolts (5/8" (3)) shall be embedded at least 7" and spaced not further than 12" from plate ends or corners and not more than 24" on center. Bolts shall have galy, or zinc coated washers (3"x3"x1/4")
 - All exterior footings must be 12" into undisturbed natural soil.
 - Sleeve all copper lines under ground through foundation.
 - All structural steel must be properly placed, spaced, supported and inspected before pouring concrete, including anchor bolts/strap, wire mesh etc.
 - Filing affidavit is required, verifying all piling sizes and depth.

The Residence Of:				
Andy Parker 108 S. Toulme St. Bay St. Louis, MS 39520				
Job Number	24 pucker	PLOT PLAN AND FOUNDATION	Date	25 August 2024
Job	104-11-01		Drawn by	
			Checked by	
			Scale	



FLOOR PLAN

Existing Residence



CEILING JOIST PLAN

Existing Residence

NOTES:

1. All plumbing walls must be sized according to penetrations.
2. All plumbing fixtures shall have access to valves to any slip joints.
3. Rise on steps must not exceed 7 and 3/4 inches.
4. Attic access must be at least 22" by 30" rough opening.
5. Crawl space shall have minimum access of 18" by 24" clear opening.
6. Equipment in attic must be within 20' of access.
7. Must have clear walkway of 24" wide and have 30" on the service of all equipment including hot water heater.
8. Bathrooms with mechanical means of ventilation must be vented to the exterior.
9. Motors to whirlpool tubs must be accessible.
10. Windows and doors must be minimum 21" from corners on an 8' wall and 34" on a 10' wall.
11. Roof bracing must be done to a load bearing wall.
12. A copy of all truss engineering must be submitted to inspectors office, this includes installation instructions.
13. Guardrail required if more than 30" above grade.
14. Treated materials are required below BFE.
15. Unless otherwise approved in advance, all garage door headers with a minimum span of 16' must be 3.5" by 11" laminated beam or its equivalent. Double 2" by 12" will not be accepted.
16. Interior load bearing walls must be properly anchored.
17. Sleeve copper lines under ground through out foundation.
18. Window size requirements for emergency means of egress includes minimum 24" in height and 21" in clear width when in the open position. Minimum 5 sq. ft. at grade level and 5.7 sq. ft. above grade.
19. 8% of each habitable room floor space for light and vent required.
20. Plywood roof sheathing must not be less than 2" in width.
21. Ridge vents shall not run within 4' of ridge end unless manufacturer states otherwise.
22. Connectors to meet galvanized requirement as per Code. (Z-max Or equivalent)

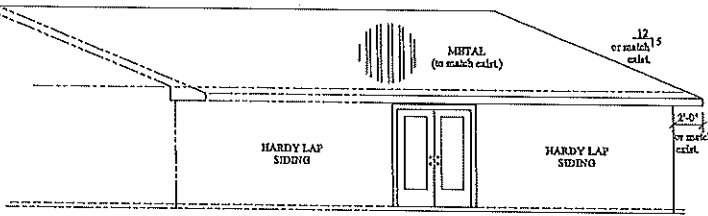
NOTES:

1. City stamped approved plans are required to be on site for all inspections.
2. Proof of termite treatment is required at footing inspection.
3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (110 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and site fence (properly installed) where necessary. Must have HARD SURFACE CONSTRUCTION SURFACING.
5. All equipment platforms must/shall have proper work clearance. (R3405 and M1105.1 of 2018 IRC)

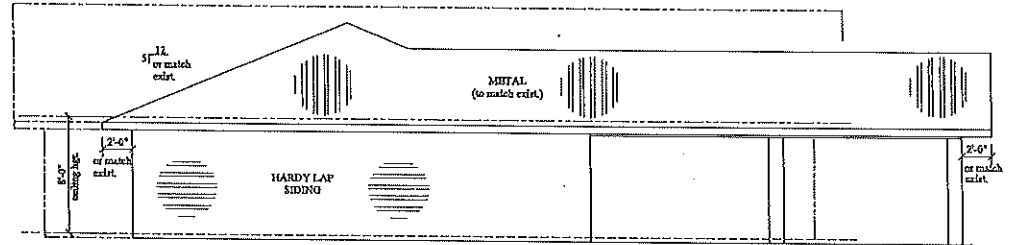
The Residence Of			
Andy Parker 108 S. Toule St. Bay St. Louis, MS 39520			
SA Number	24 packer	FLOOR PLAN AND CEILING JOIST	Date: 25 Aug 2024
Scale	1/8"=1'-0"		Drawn by: [blank] Checked by: [blank]

Item # 2

Standing Seam Roof

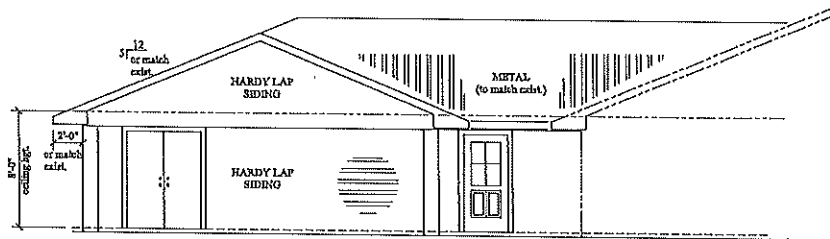


RIGHT SIDE ELEVATION
(PARTIAL VIEW)



REAR ELEVATION

Board & Batten Hardie in new gable only



Cottage Style Barn Door LEFT SIDE ELEVATION
(PARTIAL VIEW)

- NOTES:
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 2. Proof of termite treatment is required at footing lay out.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and fill fence (properly located) where necessary. Must have HARD SURFACE CONSTRUCTION ENTRANCE.
 5. All equipment/platforms must/shall have proper work clearance. (R1405 and M1305.1 of 2018 IRC)

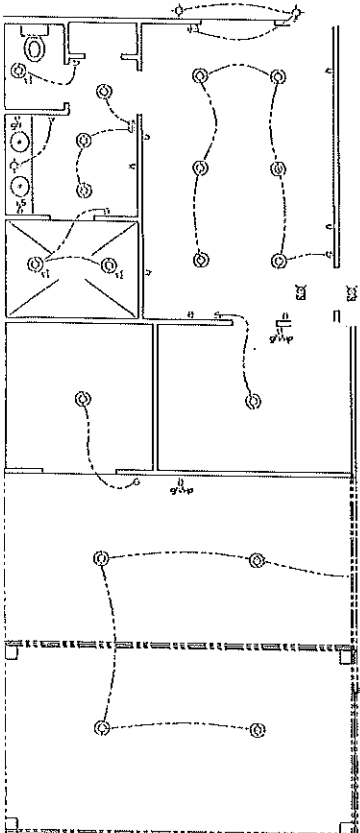
The Residence Of:

Andy Parker
108 S. Touline St.
Bay St. Louis, MS 39520

24 sheets	24 pages	Date	25 Apr 2022	01 feet
Scale		1/4"=1'-0"	Drawn by	
			Check by	

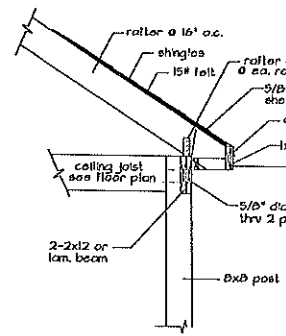
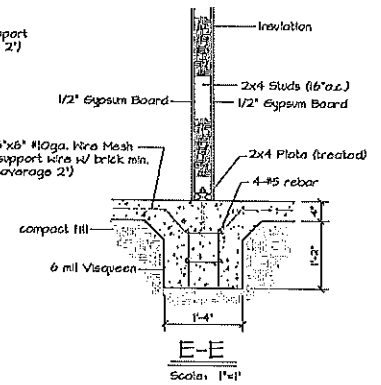
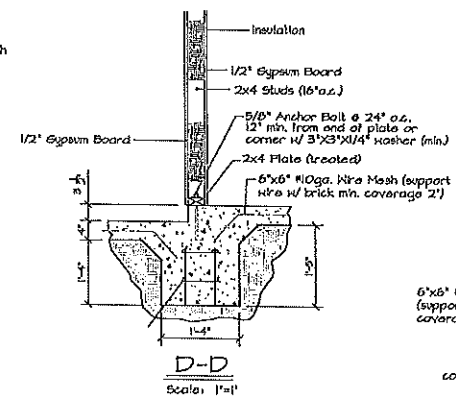
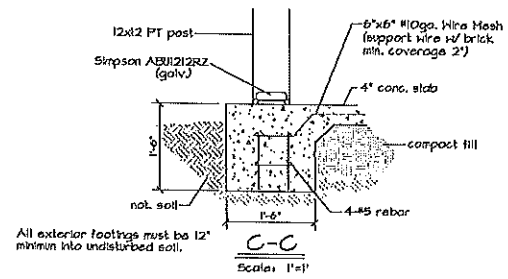
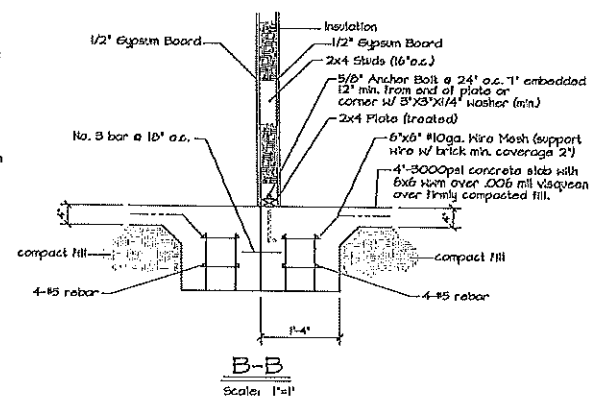
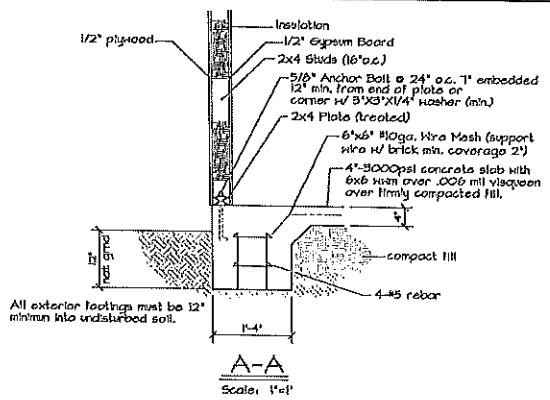
ELEVATIONS

Item # 5

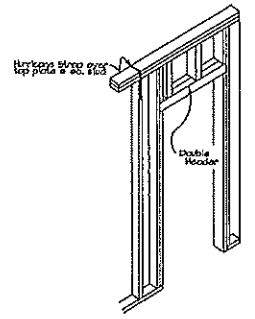


ELECTRICAL PLAN

Existing Residence



POST/BEAM CONNECTION
NTS



Door Opening Detail (interior)
NTS

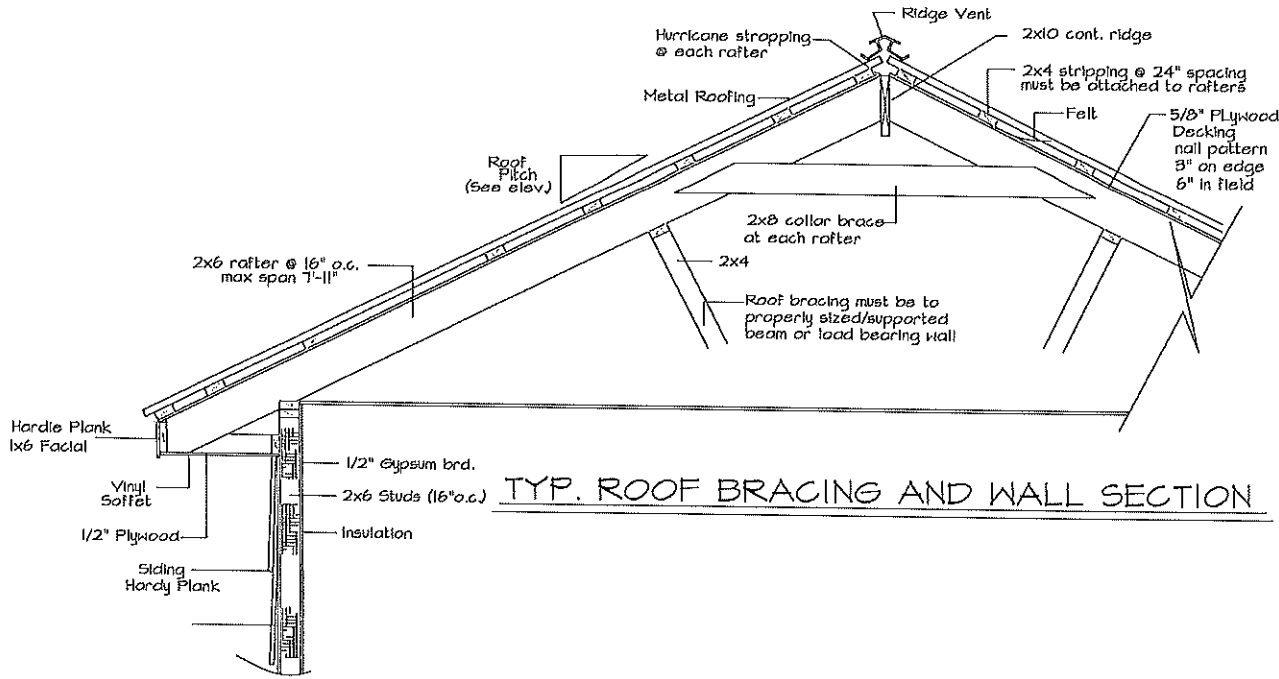
Electrical Notes:
 1 wiring below BFR must be for wet location.
 2 disconnects below the BFR. Meter can only be under one and main disconnect may be up on porch.
 3 125v 1520 amp circuit serving bedrooms must be arc-fault protected including SPD.
 4 receptacles must comply with sec E4002.14 of 2018 IRC (per residential) meter can in below BFR, main disconnect must be directly over, (inside/outside)
 5 receptacles serving kitchen counters must be GFI and according to Sec. B3502.6 of 2018 IRC
 6 20' radius corners shall have a GFI receptacle per E3501.4.2 and E3501.4.3 of 2018 IRC.
 7 smoke detectors required per Sec R314 of 2018 IRC.

Sym.	Description
⊕	Light Fixture
⊕	Vent/Light
⊕	Recessed Light
⊕	Wall Mount Light
⊕	Fluorescent Light
⊕	Exterior Flood Light
⊕	110 outlet
⊕	220 outlet
⊕	110 outlet/ground fault
⊕	110 outlet/gi/hw/roof
⊕	Switch
⊕	Wiring
⊕	Smoke Detector
⊕	Doorbell
⊕	Television Outlet
⊕	Telephone Outlet
⊕	Ceiling Fan

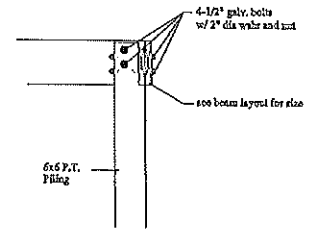
- NOTES:**
 1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spacers, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 4. Contractors shall be responsible for obtaining proper drainage, property cleanup including street on daily basis and site fence (properly locked) where necessary. Must have HARD SURFACE CONSTRUCTION REFRANKER.
 5. All equipment platforms must shall have proper work clearance. (R1405 and R1105.1 of 2018 IRC)

The Residence CD			
Andy Parker 108 S. Toulnze St. Bay St. Louis, MS 39520			
Job Number	24 parker	Electrical AND DETAILS	Rev. 25 August 2021
Scale	1/4"=1'-0"	Drawn by: [blank]	Checked by: [blank]

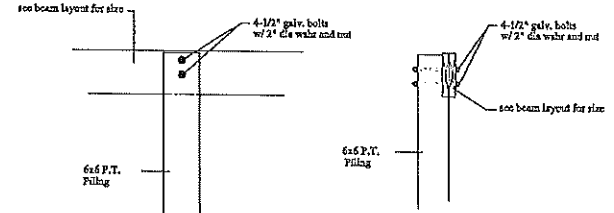
Item # 5
4
77



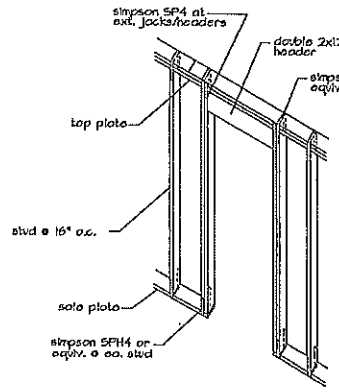
TYP. ROOF BRACING AND WALL SECTION



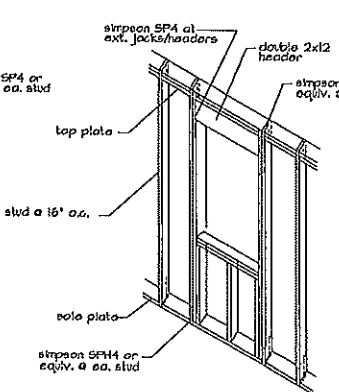
Piling/Beam Connection (Corner)
Scale: none
(not to scale)



Piling/Beam Connection
Scale: none
(not to scale)



Door Opening Detail
NTS



Window Opening Detail
NTS

- NOTES:
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 5. All equipment platforms must/shall have proper work clearance. (23405 and M1105.1 of 2018 IRC)

The Residence Of		Date: 25 Aug 2022	
Andy Parker		Sheet	
108 S. Touline St.		5	
Bay St. Louis, MS 39520		Item #	
Job Number: 24 packer	DETAILS	Date: 1/4/2025	78
Date: 1/4/2025		Drawn by:	
		Check by:	

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 108 S Toulme Street
149L-0-29-077.000
PT 83 SECOND WARD BSL

HEARING DATE: October 9, 2024

I reviewed Andy Parker application for a Variance to the Zoning Ordinance. The property is at 108 S Toulme, in the R-3 Multi-Family District. R-3 district requires a 25-foot front yard setback, an 8-foot side yard setback, and a 20-foot rear yard setback.

The applicant is requesting a rear yard setback to construct a renovation to the rear of the dwelling.

Rear Yard Setback:

Required: 20'

Proposed Distance of rear yard: 5'

Variance Request: 15'

The administration recommends _____ of the variance.

- The house is already constructed
- It is common for dwelling in this neighborhood in Bay St Louis to be granted rear yard setbacks.
- The proposed addition was approved by Historic Preservation Commission in Septmeber 2024

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L Burke
Zoning Administrator

September 10, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

Dear Commissioners:

I have reviewed the construction plans for the addition to the home of Ranzy Montet and Andy Parker at 108 S. Toulme Street, Bay St. Louis, MS.

I live in the neighborhood of Ranzy and Andy and understand the variance they are requesting to the backyard of their residence. I have no objections to the variance they are requesting. I also believe the addition to their home will enhance the visual appeal to their home and the neighborhood.

Sincerely,

Lucianne Damien
Signature

Lucianne Damien
Print Name

305 St. John St.
Print Address

Bay St Louis, MS
39520

This is the back yard neighbor

September 10, 2024


Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

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Sincerely,


Signature

Gregory Wether
Print Name

109 S. Toulme St
Print Address

September 17, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

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Sincerely,


Signature

Robert R. Kane
Print Name

202 South Toulme St.
Print Address

September 10, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

Dear Commissioners:

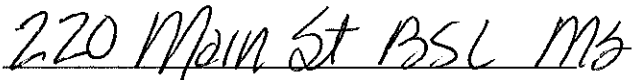
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Sincerely,


Signature


Print Name


Print Address

September 10, 2024

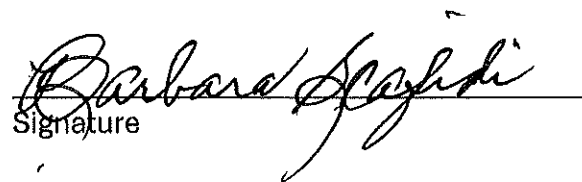
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Bay St. Louis, MS
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Sincerely,


Signature

BARBARA SCAFIDI
Print Name

110 S. Toulme St.
Print Address

BAY ST. LOUIS, MS. 39520

September 10, 2024


Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

Dear Commissioners:


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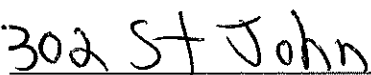
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Sincerely,



Signature



Print Name


Print Address

September 10, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

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Sincerely,

Lisa Breland

Signature

Lisa Breland

Print Name

337 St. John St.

Print Address

September 10, 2024

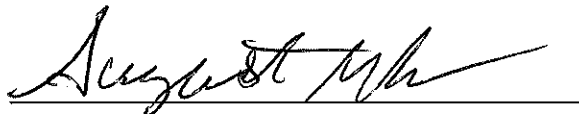
Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke


Dear Commissioners:

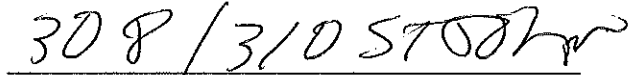
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Sincerely,


Signature


Print Name


Print Address
BSL MS
34520

September 10, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

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Sincerely,

Cynthia Hamel
Signature

Cynthia Hamel
Print Name
309 St. John St.
Print Address
BSL, MS 39520

September 10, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

Dear Commissioners:

I have reviewed the construction plans for the addition to the home of Ranzy Montet and Andy Parker at 108 S. Toulme Street, Bay St. Louis, MS.

I live in the neighborhood of Ranzy and Andy and understand the variance they are requesting to the backyard of their residence. I have no objections to the variance they are requesting. I also believe the addition to their home will enhance the visual appeal to their home and the neighborhood.

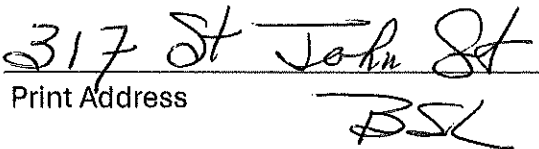
Sincerely,



Signature



Print Name



Print Address

September 10, 2024

Planning and Zoning Commission
Bay St. Louis, MS
Attn: Jeremy Burke

Dear Commissioners:

I have reviewed the construction plans for the addition to the home of Ranzy Montet and Andy Parker at 108 S. Toulme Street, Bay St. Louis, MS.

I live in the neighborhood of Ranzy and Andy and understand the variance they are requesting to the backyard of their residence. I have no objections to the variance they are requesting. I also believe the addition to their home will enhance the visual appeal to their home and the neighborhood.

Sincerely,

Nancy McCordell
Signature

Nancy McCordell
Print Name

307 St John
Print Address

Item # 5.

SOUTH / LEFT SIDE



Item # 5.

SI / REAR SIDE



Item # 5.

PHOTO 1 / 1 ROOM 1



WEST / RIGHT SIDE
NORTH

Item # 5.



PUBLIC HEARING NOTICE

Item # 5.

The Bay St. Louis Planning & Zoning Commission will hold a public hearing on **OCTOBER 9, 2024**, at 5:30 p.m. in the Bay St. Louis Conference Center located at 598 Main St., ph: (228)469-9121.

PARKER – Application for variance to the Zoning Ordinance submitted by Andy Parker. The applicant is requesting a variance of 15’ resulting in a 5’ setback to the rear yard for a home renovation. The property is located at 108 S Toulme Street. Parcel 149L-0-29-077.000, PT 83 SECOND WARD BSL. The property is zoned R-3 Multi-Family District.

Additional information for the above mentioned is available for review during the hours of 8a.m. and 5 p.m., Monday through Friday, at the City Hall, 688 Highway 90, Bay St. Louis. Ph: (228)469-9121.

All interested parties are urged to attend.

Caitlin Bourgeois, Planning and Zoning Secretary

211 MAIN ST LLC	120 FLEITAS AVE	PASS CHRISTIAN, MS 39571
ADAM AUGUST M	310 ST JOHN ST	BAY ST LOUIS, MS 39520
BUSH THERESA ETAL	308 MAIN ST	BAY ST LOUIS, MS 39520
CALDWELL DOLORES C (LIFE ESTATE)	6558 MAUNA LOA DR	DIAMONDHEAD, MS 39525
CAT ISLAND VENTURES LLC	39362 INTERSTATE 59 SERVICE RD	PEARL RIVER, LA 70452
CENTURY HALL LLC	5208 MAGAZINE ST STE 219	NEW ORLEANS, LA 70139
CHERAMIE LEONARD JR DR (RTOD)	320 MAIN ST	BAY ST LOUIS, MS 39520
CMC9 INVESTMENTS LLC	40 DOGWOOD DR	COVINGTON, LA 70433
DAMIENS LUCIANNE L	305 ST JOHN ST	BAY ST LOUIS, MS 39520
DOMINGUE JOYCE GARCIA (ETAL)	200 ST JACQUES ST	CARENCRO, LA 70520
FAVRE SANDRA M TRUSTEE	312 STATE ST	BAY ST LOUIS, MS 39520
HANEY BLAKE J ETUX	2431 FERN ST	NEW ORLEANS, LA 70125
HAYDEL LAUREN L	128 BONNABEL BLVD	METAIRIE, LA 70005
HIDDEN PARADISE BSL LLC	196 VILLERE DR	DESTREHAM, LA 70047
HOLMAN DAVID E ETAL	408 HANCOCK ST	BAY ST LOUIS, MS 39520
IMPSON JOHN W ETAL	302 ST JOHN ST	BAY ST LOUIS, MS 39520
JONES JACOB F III ETUX	17 RUE ROYALE	METAIRIE, LA 70002
KANE ROBERT R	117 MAIN ST	BAY ST LOUIS, MS 39520
LABAT LINDA (LIFE ESTATE)	309 EASTERBROOK ST	BAY ST LOUIS, MS 39520
LABAT RUDOLPH ETAL	444 ST JOHN ST	BAY ST LOUIS, MS 39520
LABAT VERONICA(LIFE ESTATE)	PO BOX 2932	BAY ST LOUIS, MS 39521
MAVAR GERALD M ETAL	825 N BEACH BLVD	WAVELAND, MS 39576
MCCARDELL JAMES E ETAL	307 ST JOHN ST	BAY ST LOUIS, MS 39520
MCCARDELL JENISE	105 S TOULME ST	BAY ST LOUIS, MS 39520
MCCARDELL JENISE	220 MAIN ST	BAY ST LOUIS, MS 39520
ME-LA LLC	210 MAIN ST	BAY ST LOUIS, MS 39520
MUTTER MARY LOU S (LIFE ESTATE)	109 S TOULME ST	BAY ST LOUIS, MS 39520
ODD GERAL SR ETAL	576 BUDDY WEST RD	NEWMAN, GA 30263
PARKER DAVID ETAL	108 S TOULME ST	BAY ST LOUIS, MS 39520
RAMSEY MICHAEL J ETAL	107 S TOULME ST	BAY ST LOUIS, MS 39520
ROBERT RONALD J ETAL	305 MAIN ST	BAY ST LOUIS, MS 39520
SCAFIDI BARBARA A	110 S TOULME STREET	BAY ST LOUIS, MS 39520
SEACREST HOLDING COMPANY LLC	311 MAIN ST	BAY ST LOUIS, MS 39520
STEINER ORAN J JR ETAL	309 ST JOHN ST	BAY ST LOUIS, MS 39520

BAY ST LOUIS, MS 39520
KILN, MS 39556
LAPLACE, LA 70068

306 ST JOHN STREET
6315 CRUMP RD
2066 CYPRESS ST

STOLZ THERESA L
THE JAMES C & WINNIFRED D MCDONALD TRUST
WEBER ANDREE ETAL

APPLICATION FOR VARIANCE TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Ernest & Lodis Taylor

ADDRESS: 605 Spanish Acres Drive
Bay St Louis, MS. 39520

PHONE: 228 342-0947

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

Taylor Ernest L.E TUX (14 Block 4 Spanish Acres

2. Parcel number(s) as described in the Hancock County tax rolls:

137Q-0-44-004.000

3. Present Zoning: Res.
R-1

4. Present use of building/property: Home

5. Application fee of ²⁵⁰ \$100 (Residential): _____

Application fee of ²⁵⁰ \$200 (Commercial): _____

Article XIII
1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

Article XIII
1305.3 VARIANCES

To recommend such variances from the terms of this Ordinance as will not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance will in an individual case result in unnecessary hardship, so that the spirit of the Ordinance shall be observed, public safety and welfare secured, and substantial justice be done. Such variance may be granted in such case of unnecessary hardship upon a finding by the City Council that all of the following conditions exist:

- A. There are extraordinary and exceptional conditions which pertain to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.
- B. The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located.
- C. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other residents of the district in which the property is located.
- D. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare.
- E. The special circumstances are not the result of the actions of the applicant.
- F. The existence of a nonconforming use of neighboring land, buildings, or structures in the same district or of permitted or nonconforming uses in other districts shall not constitute a reason for the requested variance.
- G. The variance requested is the minimum variance that will make possible the legal use of the land, building, or structure.
- H. The variance is not a request to permit a use of land, building, or structure which is not permitted by right or by special exception in the district involved.

5. Other type(s) of variance needed:

6. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.

7. Size of any building to be erected, and the location of the building upon the lot.

8. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.

9. Is the property in question in a sub-division? Yes

10. If the property in question is within a sub-division, is there an existing covenant running with the land? No

11. If the answer to question 9 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County.

Book Number _____

Page Number _____

It is warranted in good faith by the owners whose name is signed hereto that all of the above facts are true and correct.

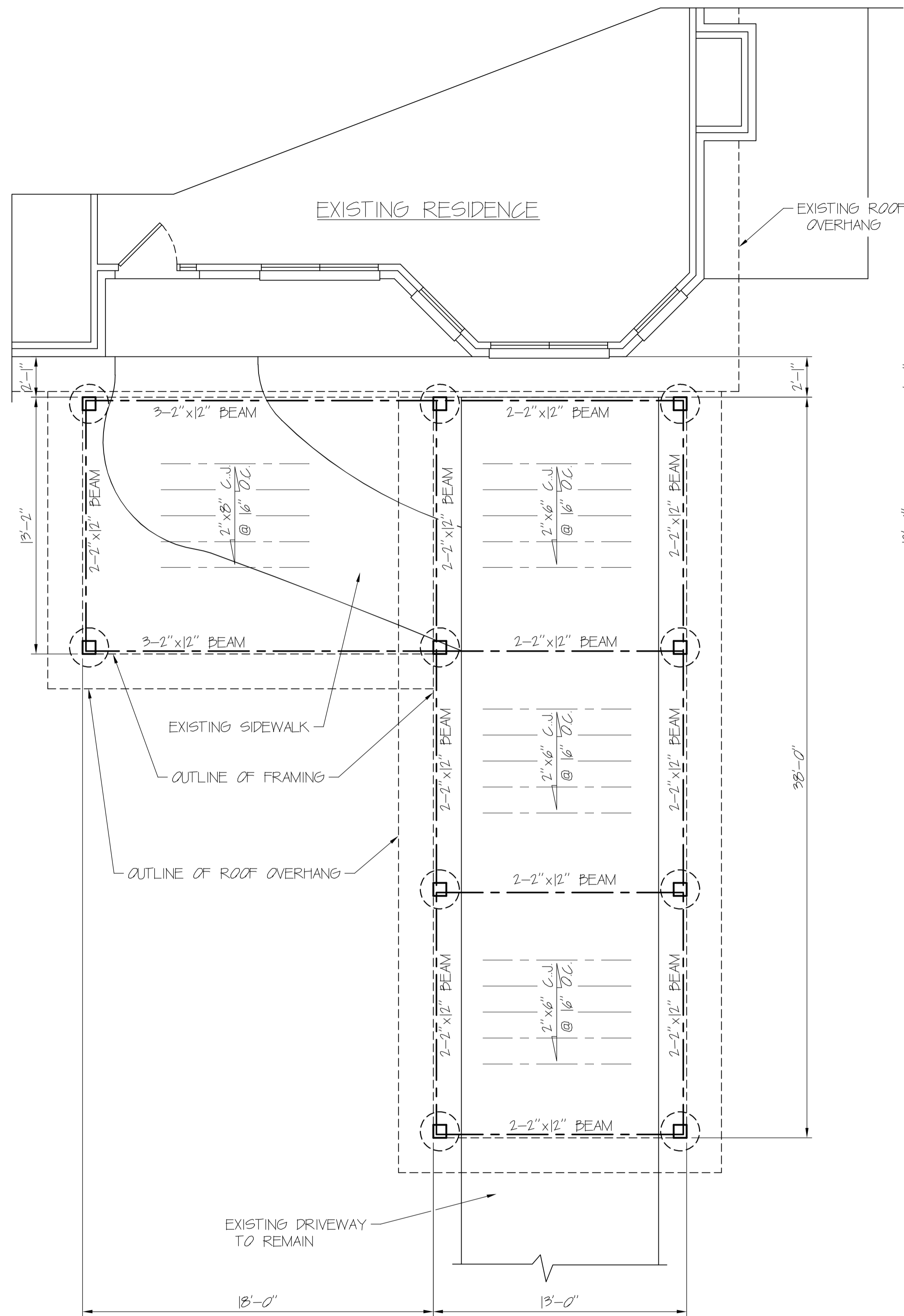
Ernest Taylor
Applicant's Signature

September 6, 2024
Date

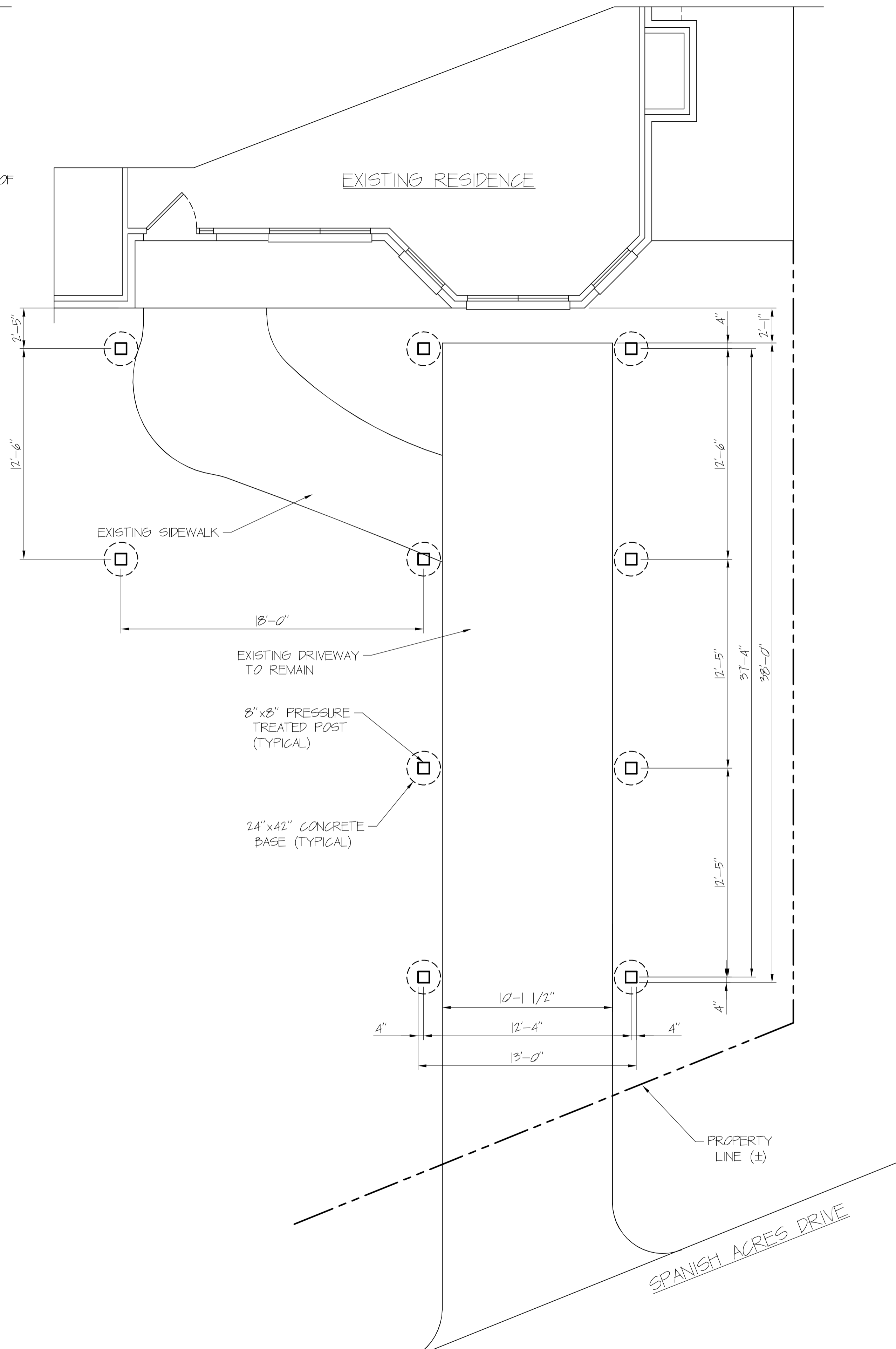
FOR OFFICE USE ONLY

Date of Application received: _____

GENERAL LEGEND	
OC	ON CENTER
CJ	CEILING JOISTS
RJ	ROOF JOISTS



FRAMING PLAN
SCALE: 1/4" = 1'-0"



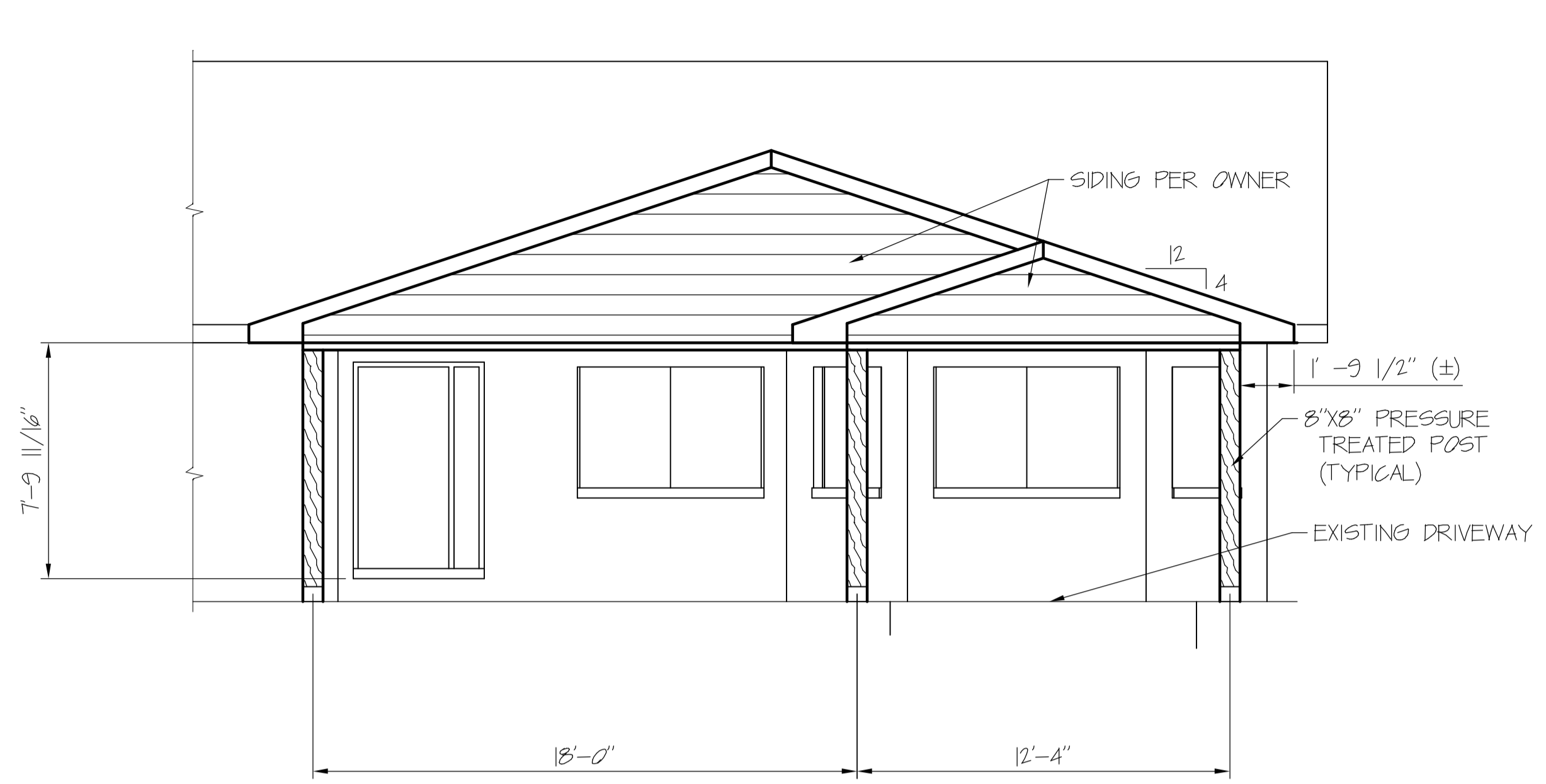
PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE SCHEDULE	
CARPOR	494
PORCH	297
TOTAL SQ. FT.	791

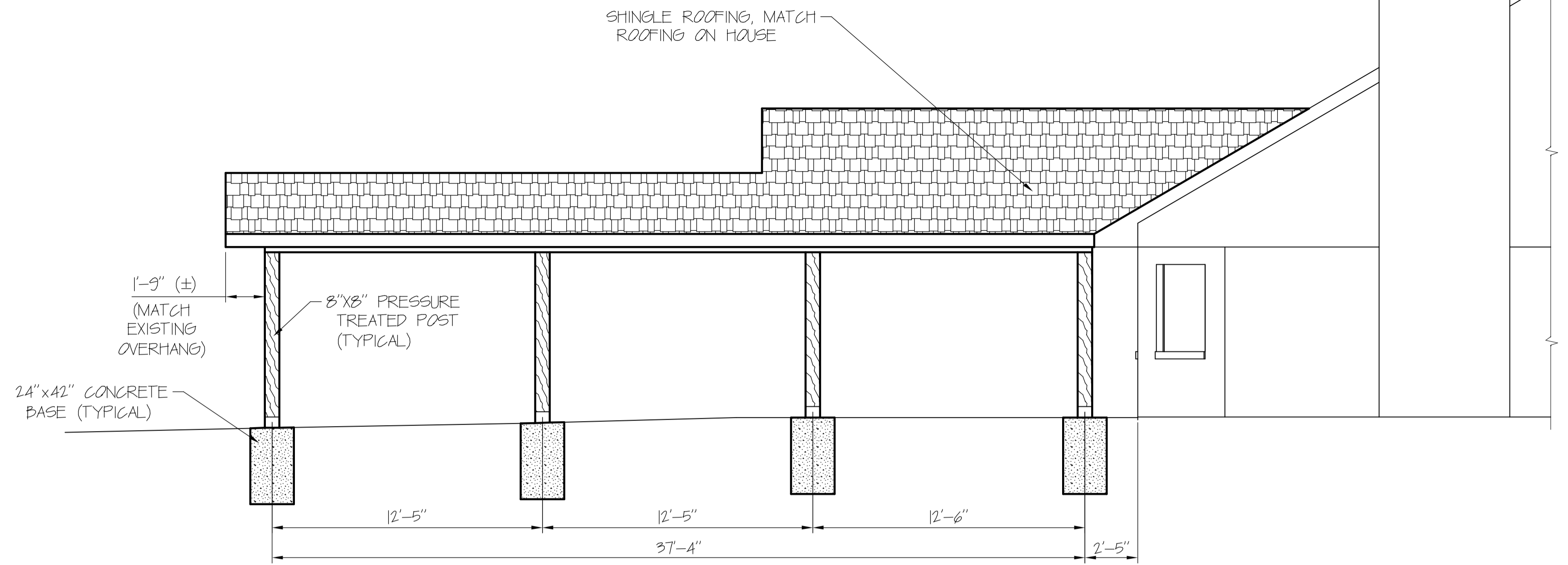
- GENERAL NOTES:
1. ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES THAT PERTAIN TO AREA.
 2. ALTHOUGH EVERY EFFORT HAS BEEN MADE WHEN PREPARING THESE DRAWINGS TO MAKE THEM TRUE AND CORRECT TO THE BEST OF OUR ABILITY, IT IS UP TO THE CONTRACTOR TO CHECK ALL CONDITIONS AND BE RESPONSIBLE FOR THE SAME.

PARTIAL SITE PLAN, FRAMING PLAN
LEGEND, NOTES, AND DRAWING INDEX

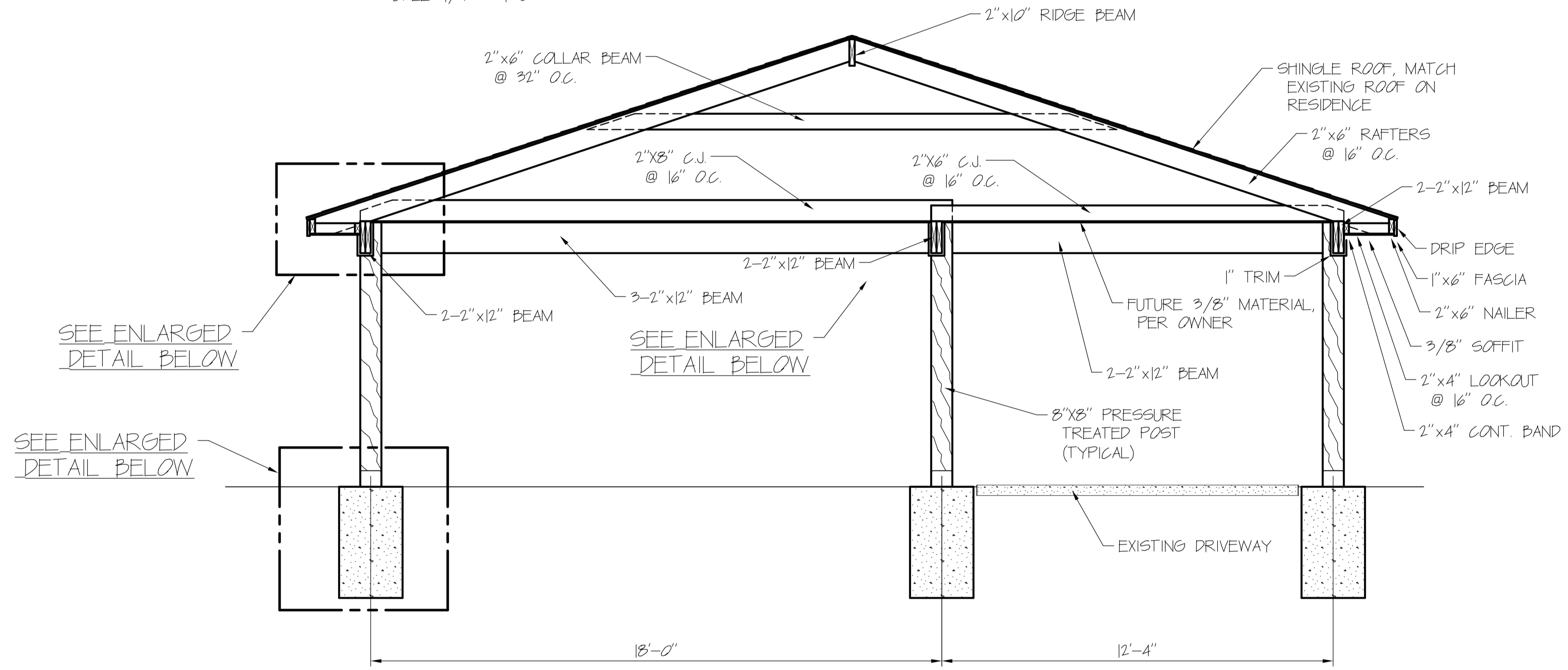
SCALE AS NOTED	APPROVED BY: RT	DRAWN BY: RT
DATE: 08/12/10	REVISOR:	REVISION:
A NEW CARPORT FOR MR. & MRS. ERNEST TAYLOR		
605 SPANISH ACRES DRIVE BAY ST. LOUIS, MS		DRAWING NO: 1 of 3



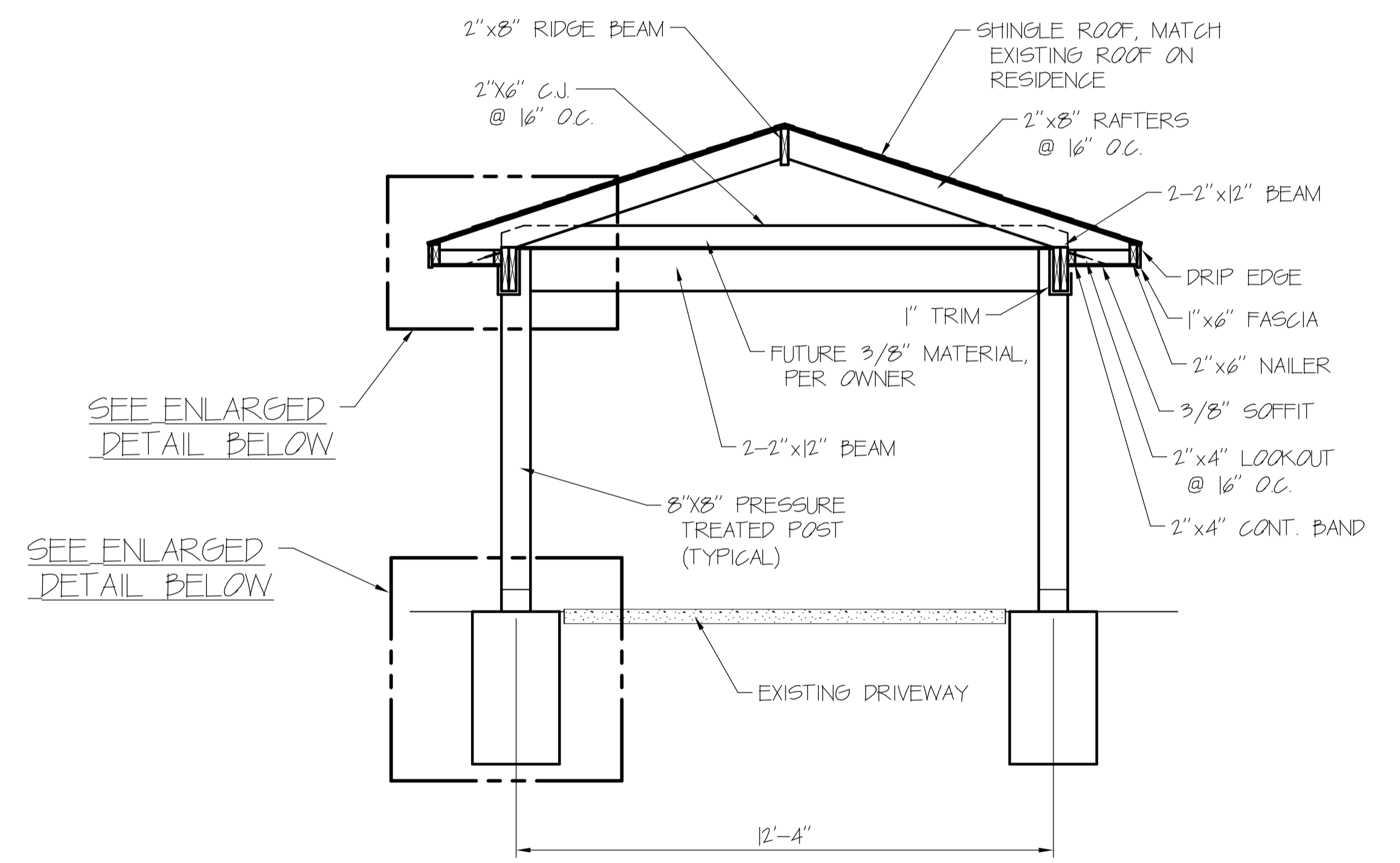
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



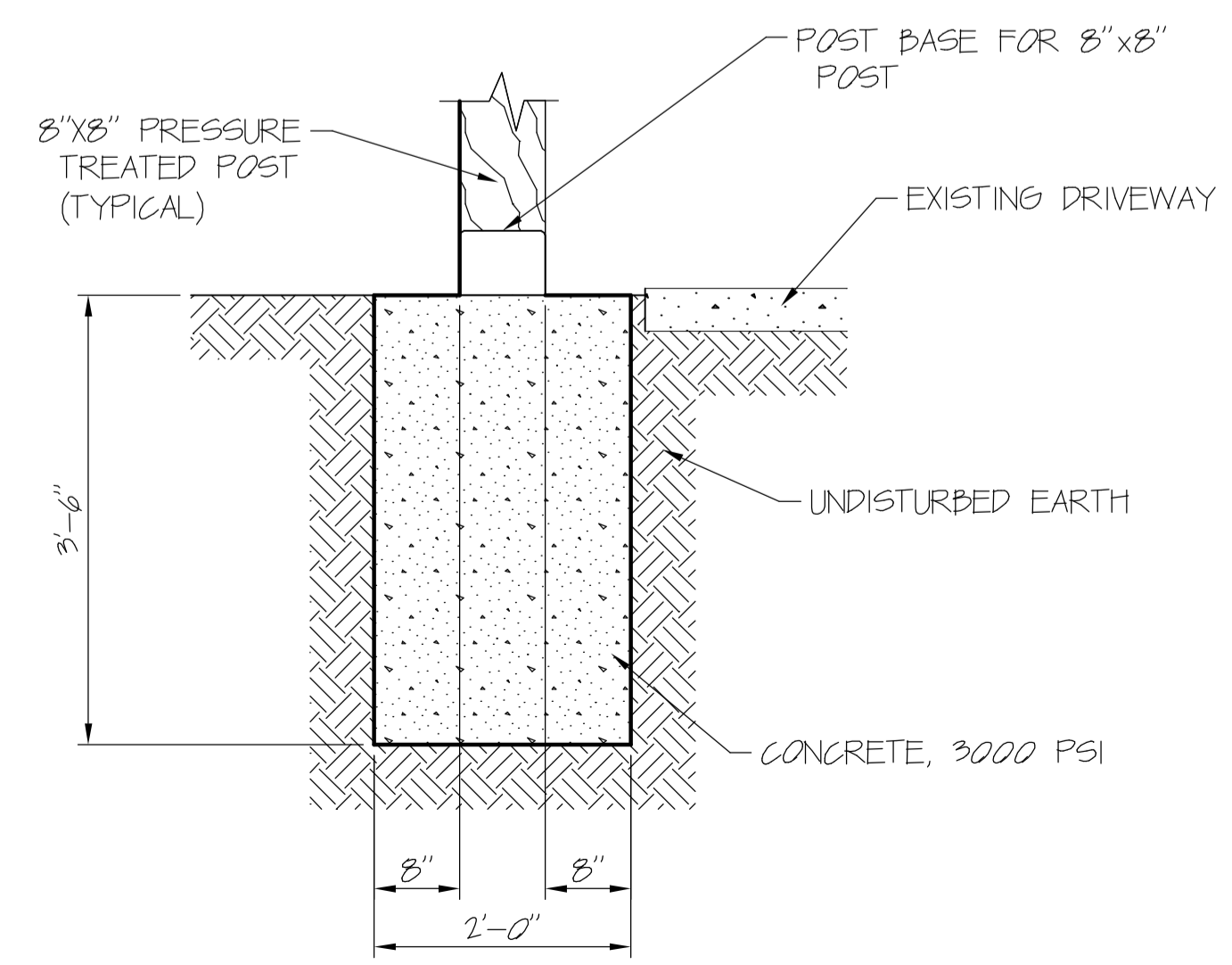
SIDE ELEVATION
SCALE: 1/4" = 1'-0"



SECTION THRU CARPORT
SCALE: 3/8" = 1'-0"

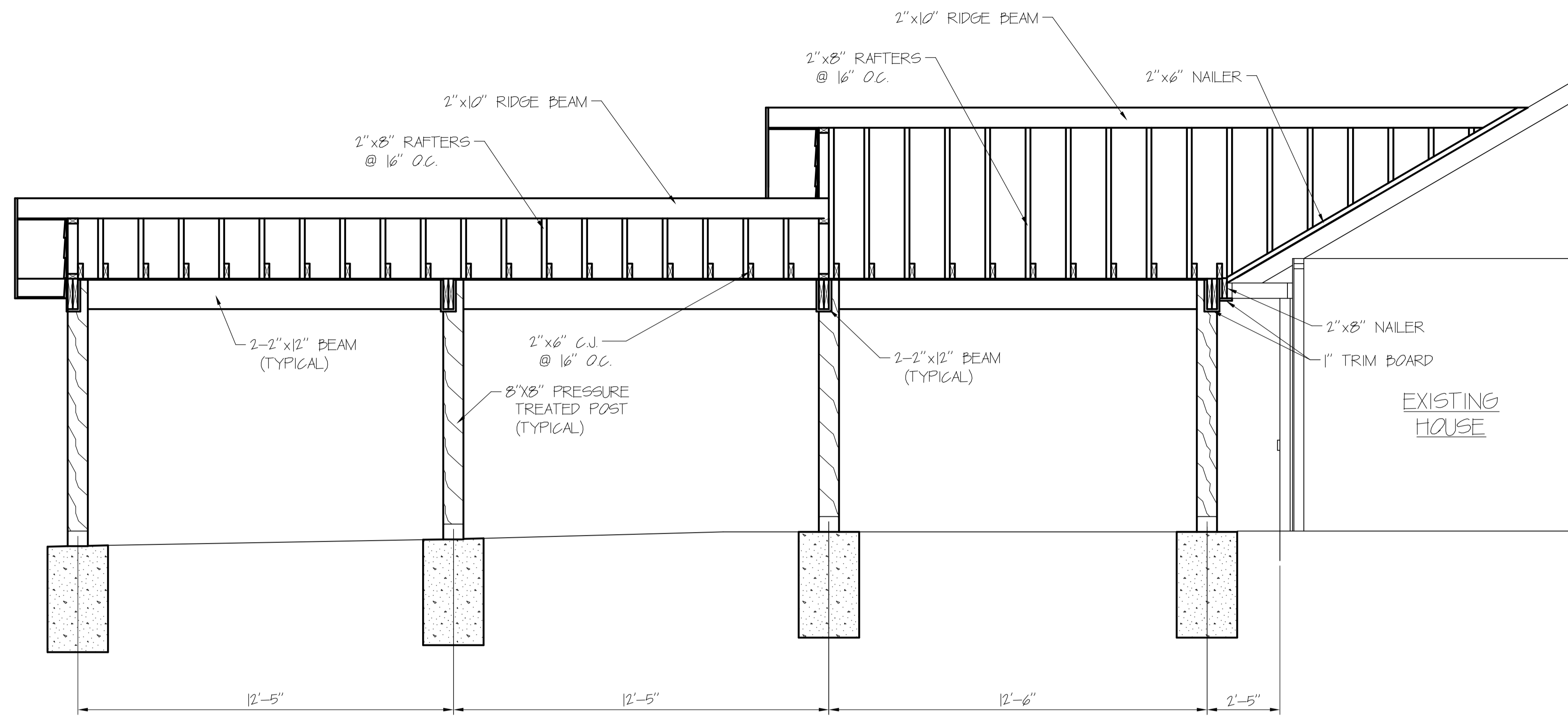


SECTION THRU CARPORT
SCALE: 3/8" = 1'-0"



DETAIL - POST SUPPORT
SCALE: 3/4" = 1'-0"

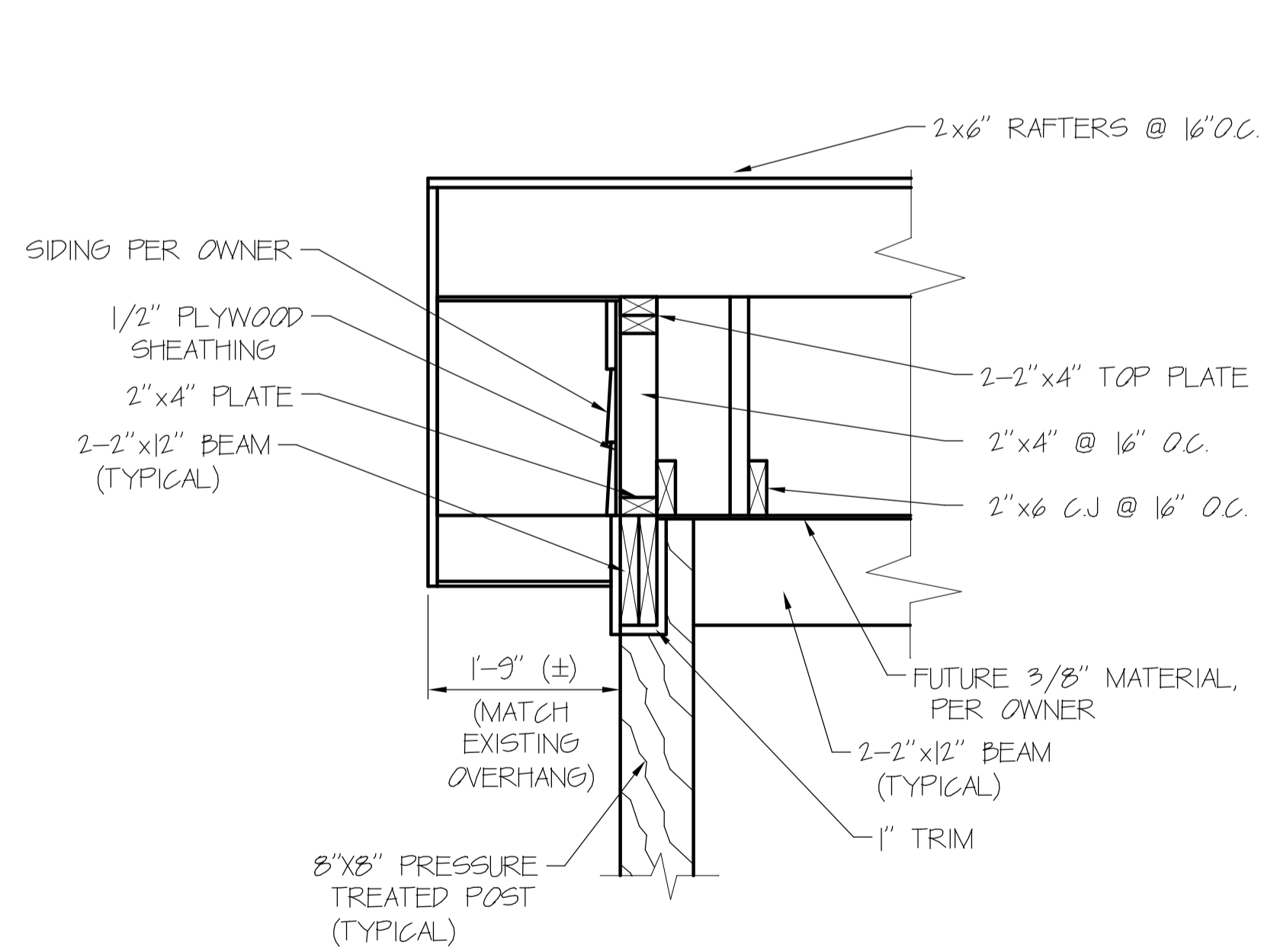
ELEVATIONS, SECTIONS & DETAILS		
SCALE AS NOTED	APPROVED BY: RT	DRAWN BY: RT
DATE: 08/12/10	REVISION:	REVISION:
A NEW CARPORT FOR MR. & MRS. ERNEST TAYLOR		
605 SPANISH ACRES DRIVE BAY ST. LOUIS, MS		DRAWING NO: 2 of 3



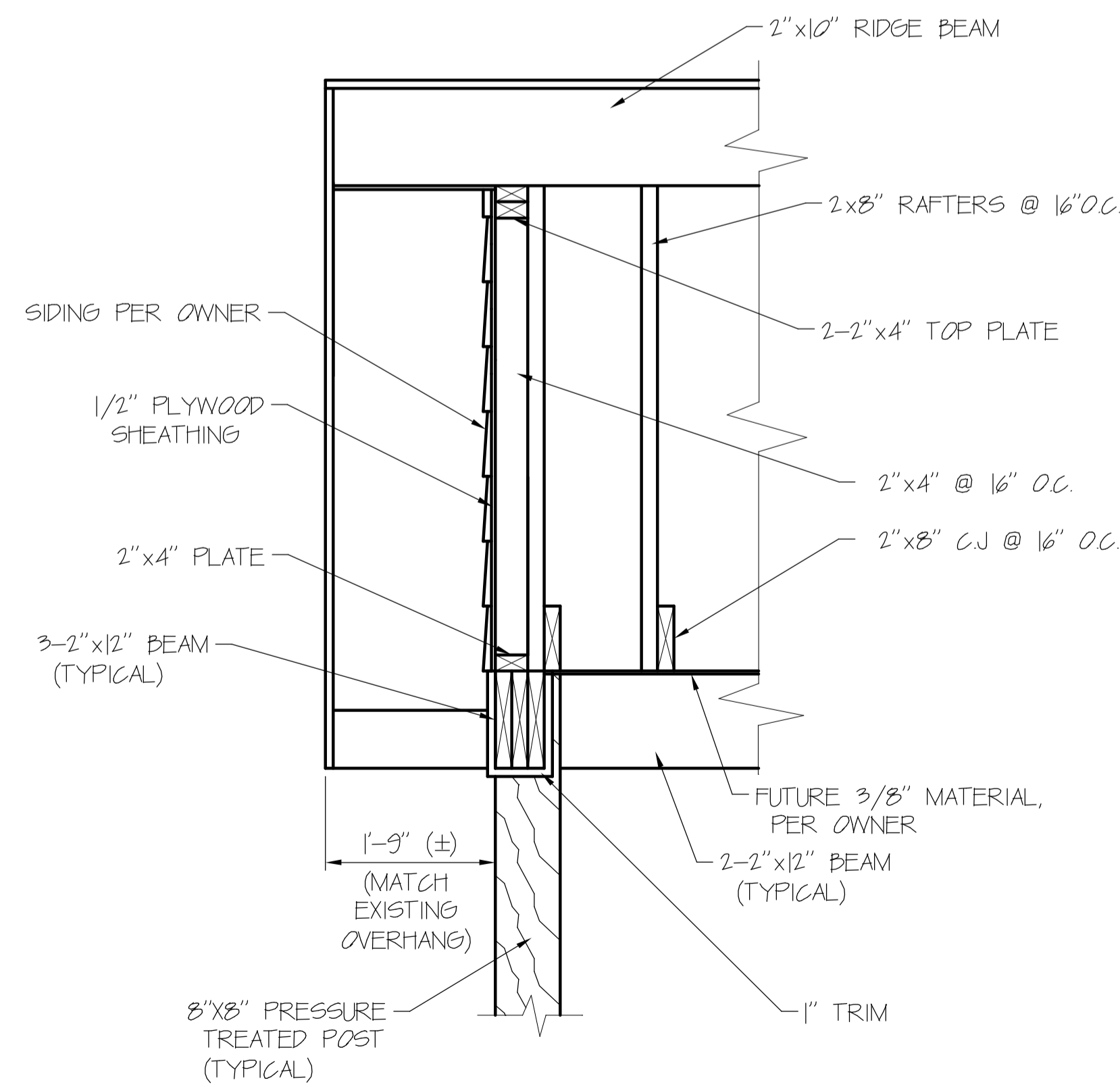
SECTION THRU CARPORT
SCALE: 3/8" = 1'-0"

HURRICANE STRAPPING NOTES: (MINIMUM REQUIREMENTS)

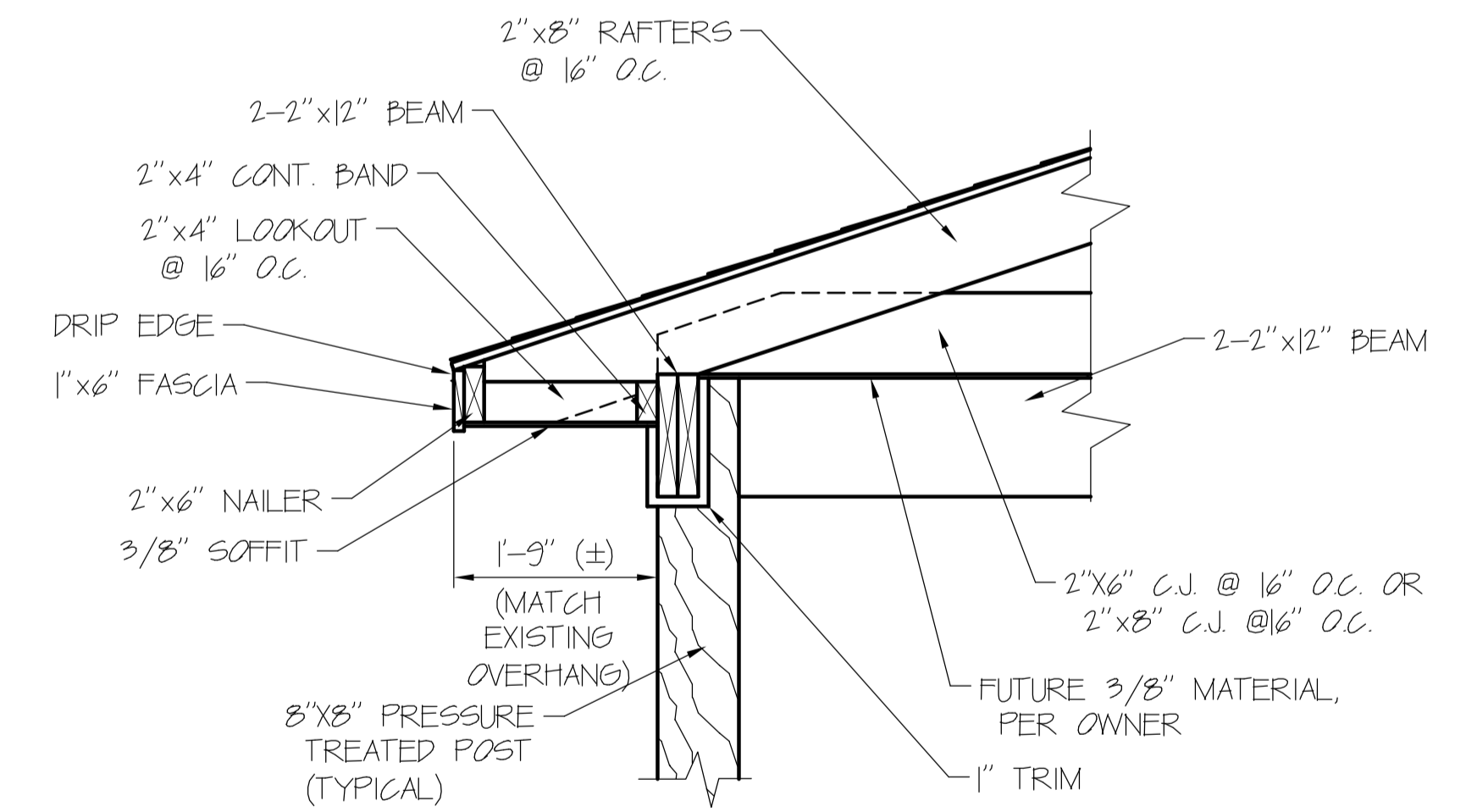
1. USE HURRICANE STRAPPING AT EACH 2"x4" VERTICAL MEMBERS ON TOP PLATE AND BOTTOM PLATE. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. USE RAFTER TRUSS STRAPPING AT EACH RAFTER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
3. USE HURRICANE STRAP ACROSS TOP OF RAFTERS AND RIDGE BEAM. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. USE JOISTS HANGERS AND RAFTER CLIPS WHERE REQUIRED. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
5. USE GALVANIZED NAILS FROM STRAP MANUFACTURER.



DETAIL - GABLE END @ CARPORT
SCALE: 3/4" = 1'-0"



DETAIL - GABLE END @ PORCH
SCALE: 3/4" = 1'-0"



DETAIL - OVERHANG
SCALE: 3/4" = 1'-0"

SECTIONS & DETAILS			
SCALE AS NOTED	APPROVED BY: RT	DRAWN BY: RT	
DATE: 08/12/10	REVISION:	REVISION:	
A NEW CARPORT FOR MR. & MRS. ERNEST TAYLOR			
605 SPANISH ACRES DRIVE BAY ST. LOUIS, MS		DRAWING NO: 3 of 3	

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 605 Spanish Acres Drive
137Q-0-44-004.000
14 BLK 4 SPANISH ACRES ESTATES

HEARING DATE: October 9, 2024

I reviewed Ernest and Lodis Taylor application for a Variance to the Zoning Ordinance. The property is at 605 Spanish Acres Drive, in the R-1 Single Family District. R-1 district it requires a 25-foot front yard setback, an 8-foot side yard setback, and a 20-foot rear yard setback.

The applicant is requesting a front yard setback to construct a carport.

Front Yard Setback:

Required: 25'

Proposed Distance of rear yard: 0'

Variance Request: 25'

The administration recommends _____ of the variance.

- The house is already constructed
- The variance was approved in October 2020

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L Burke
Zoning Administrator

PUBLIC HEARING NOTICE

Item # 6.

The Bay St. Louis Planning & Zoning Commission will hold a public hearing on **OCTOBER 9, 2024**, at 5:30 p.m. in the Bay St. Louis Conference Center located at 598 Main St., ph: (228)469-9121.

TAYLOR - Application for a variance to the Zoning Ordinance submitted by Ernest and Lodis Taylor. The applicant is requesting a 25' front yard variance resulting in a 0' setback to the front yard for the construction of a carport. The property is located at 605 Spanish Acres Drive. Parcel 137Q-0-44-004.000, 14 BLK 4 SPANISH ACRES ESTATES. The property is zoned R-1 Single Family District.

Additional information for the above mentioned is available for review during the hours of 8a.m. and 5 p.m., Monday through Friday, at the City Hall, 688 Highway 90, Bay St. Louis. Ph: (228)469-9121.

All interested parties are urged to attend.

Caitlin Bourgeois, Planning and Zoning Secretary

ANDERSON AGATHA S	606 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
ANWELL MS HANCOCK LLC	300 HAWTHORNE ST	MEMPHIS, TN 38112
BARBER RYAN ETAL	509 THOMAS SHIELDS BLVD	BAY ST LOUIS, MS 39520
BAUDOIN WILLIAM V ETUX	608 SPANISH ACRES	BAY ST LOUIS, MS 39520
BERNABELA LAUREN A	101 FRANCISCO COURT	BAY ST LOUIS, MS 39520
BROWN MICHAEL A ETAL	609 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
CAGLE LINDA T	602 SPANISH ACRES DRIVE	BAY ST LOUIS, MS 39520-3220
COX BRANDON ETAL	505 THOMAS SHIELDS BLVD	BAY ST LOUIS, MS 39520
COXE PROPERTY MANAGEMENT LLC	5500 PRYTANIA ST STE 101	NEW ORLEANS, LA 70015
DOUSSON GLORIA M	105 ELENA COURT	BAY ST LOUIS, MS 39520
EVANS DARLENE J P	104 FRANCISCO CT	BAY ST LOUIS, MS 39520
FIELDER PATRICIA G (RTODD)	610 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
GARCIA LINDA D	600 SPANISH ACRES DRIVE	BAY ST LOUIS, MS 39520
GARLAND MARY N	523 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
GILLUM ANTHONY PAUL	525 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
KRANKEY MARVIN W ETUX	106 FRANCISCO CT	BAY ST LOUIS, MS 39520
LEBOEUF RONALD	710 THIRD STREET	BAY ST LOUIS, MS 39520
MCDONALD JEFFREY S	102 FRANCISCO CT	BAY ST LOUIS, MS 39520
MYERS GLENN K ETAL	604 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
NEGROTTO ROBIN	107 ELENA COURT	BAY ST LOUIS, MS 39520
RICHARDSON NORMA J	611 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
RUSSELL YVONNE M	103 FRANCISCO CT	BAY ST LOUIS, MS 39520
SALTER BRIAN D ETAL	330 OLD SPANISH TRAIL	BAY ST LOUIS, MS 39520
SCIAMBRA ANTHONY P III	521 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
SHIELDSBORO PROPERTIES, LLC	129 CHERRY LAUREL LN	RIDGELAND, MS 39157
SMITH MICHAEL T ETAL	606 ATHLETIC DR	BAY ST LOUIS, MS 39520
STATEWIDE INVESTMENT PROPERTIES LLC	1109 HICKORY HILL DR	GAUTIER, MS 39553
TAYLOR ERNEST L ETUX	605 SPANISH ACRES DR	BAY ST LOUIS, MS 39520
THE CARL R DARICEK LIVING TRUST	414 BOOKER ST	BAY ST LOUIS, MS 39520
THOMPSON LINDA N ETAL	265 S WILDERNESS	PORT BARRE, LA 70577
TILLMAN RUDOLPH E ETUX	105 FRANCISCO CT	BAY ST LOUIS, MS 39520
VEGLIA GARY ETUX	720 HIGHWAY 90	WAVELAND, MS 39576