



# December 9, 2024 Historic Preservation Commission Meeting Minutes

December 09, 2024 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

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## Call to Order

### PRESENT

Commissioner Patricia Keating  
Commissioner Dave Wessinger  
Commissioner Matt Stieffel  
Chairman Cliff Rabalais  
Commissioner John Bezou

### ABSENT

Commissioner Steve Haas

## Action Items

1. Motion to approve the addition to the rear of the house at 107A Court Street submitted by Craig Bordelon.  
Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.  
Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou
2. Motion to approve the renovation of a front porch at 246 Citizen Street submitted by Michael McKenna  
Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.  
Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

3. Motion to approve the renovation that includes new code compliant entries, loading door, replacement windows in existing openings, paving for parking, and trash enclosure of 150 North Beach Blvd submitted by Albert Architect on behalf of Jim McPhaille

Details of signs be forwards to HPC

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

4. Motion to approve the addition that includes the addition of a rooftop bar, deck, and kitchen to the existing 2-story restaurant of 200 North Beach Blvd submitted by Albert Architect on behalf of Jim McPhaille

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

### **Minutes Approval**

5. Motion to approve minutes from November 12, 2024, Historic Preservation Commission meeting

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

### **Adjourn**

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

**GENERAL NOTES:**

**DISCLAIMER**

- THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATION, SHALL CONTROL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENT DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.
- AT CONSTRUCTION ISSUE, THESE DRAWING REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, BRACING METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR PERFORMING THE WORK.

**BUILDING DESIGN CRITERIA:**

**A. CODES**

2018 INTERNATIONAL RESIDENTIAL CODE  
 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)  
 BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 531)  
 ASCE 7-16

**B. DESIGN LOADS**

FLOOR DEAD LOAD 20 PSF  
 FLOOR LIVE LOAD 40 PSF  
 ROOF DEAD LOAD 16 PSF  
 ROOF LIVE LOAD 20 PSF - REDUCIBLE

**C. WIND LOADS PER ASCE 7-16 & 2018 IBC**

RISK CATEGORY II  
 ULTIMATE DESIGN WIND SPEED,  $V_{ult} = 160$  MPH  
 NOMINAL DESIGN WIND SPEED,  $V_{asd} = 124$  MPH \*  
 EXPOSURE CATEGORY = C  
 MEAN ROOF HEIGHT,  $h = \pm 30$  FEET  
 ADJUSTMENT FACTOR FOR HEIGHT AND EXPOSURE,  $K_{zt} = 1.40$   
 TOPOGRAPHIC FACTOR,  $K_{xt} = 1.00$   
 $z = \pm 3$  FEET  
 ROOF SLOPE,  $\theta = 3/12 = 14.0^\circ$

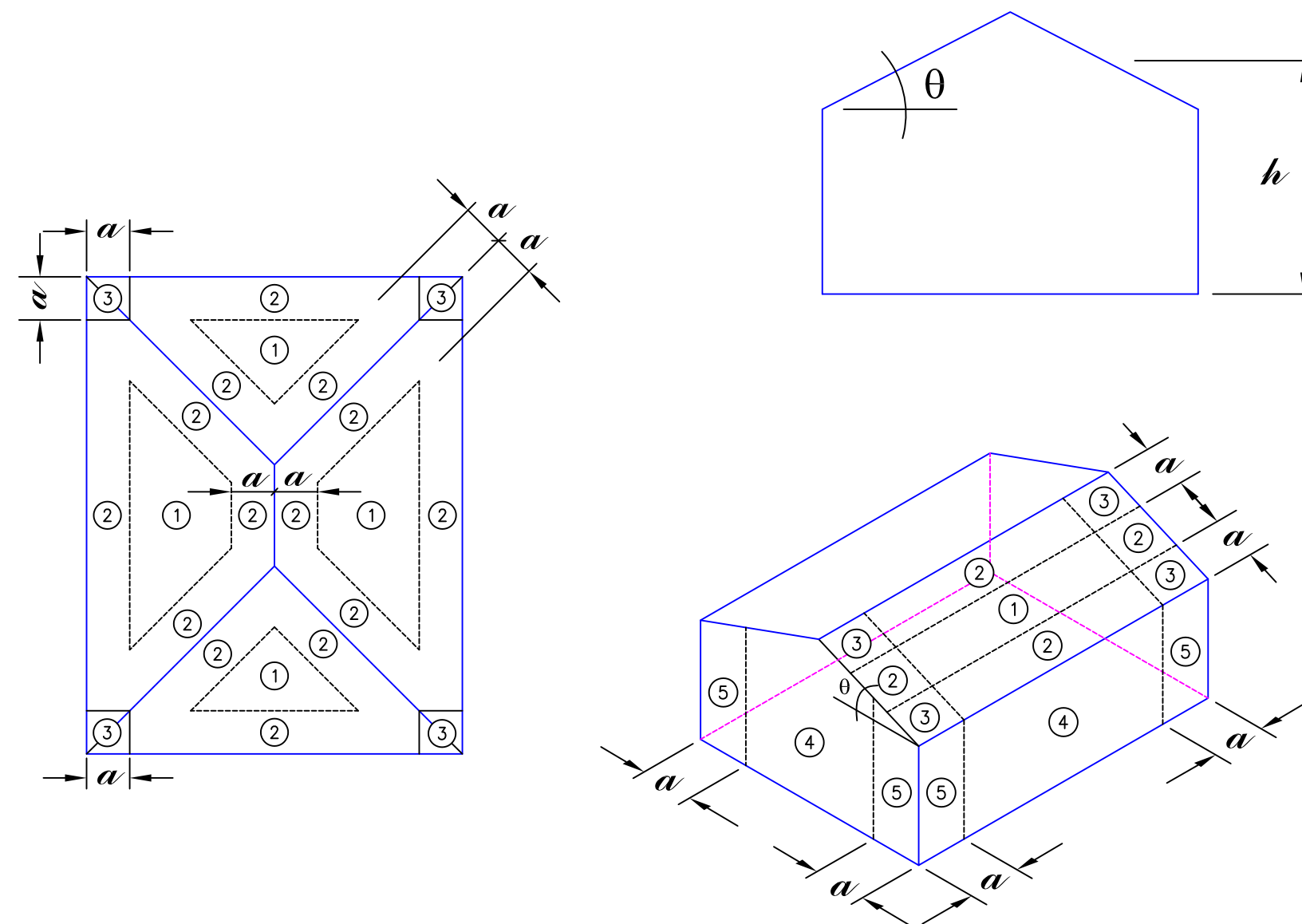
**DESIGN WIND LOAD NOTES:**

COMPONENTS AND CLADDING DESIGN PRESSURES \*\*  
 REFERENCE: FIGURE 30.5-1 & SECTION 30.5.2 OF ASCE 7-16

ZONE	TRIB. AREA	COMPONENT PRESSURE		
		POSITIVE (+)	NEGATIVE (-)	
ROOF	1	10	+22.7	-36.0
		20	+20.7	-35.0
		50	+18.1	-33.7
		100	+16.0	-32.5
	2	10	+22.7	-62.7
		20	+20.7	-57.7
		50	+18.1	-51.1
		100	+16.0	-46.1
	3	10	+22.7	-92.7
		20	+20.7	-86.7
		50	+18.1	-78.7
		100	+16.0	-72.7
WALL	4	10	+39.3	-42.7
		20	+37.5	-40.9
		50	+35.3	-38.5
		100	+33.5	-36.8
	5	10	+39.3	-52.6
		20	+37.5	-49.1
		50	+35.3	-44.5
		100	+33.5	-40.9

REFERENCE FIGURES BELOW:

DESIGN ALL WINDOWS AND DOORS AS IMPACT RESISTANCE FOR PRESSURE ABOVE



*	REFERENCE SECTION 1609.3.1 AND/OR TABLE 1609.3.1 OF THE 2018 INTERNATIONAL BUILDING CODE FOR CONVERSION OF $V_{ult}$ TO $V_{asd}$ .
**	SHOWN IN THIS TABLE ARE NET DESIGN WIND PRESSURES, $P_{net}$ , DETERMINED PER SECTION 30.5.2 OF ASCE 7-16. THESE PRESSURES ARE BASED ON ULTIMATE WIND SPEED, $V_{ult}$ , PER FIGURE 26.5-1A AND SHALL BE APPLIED NORMAL TO EACH BUILDING SURFACE AS SHOWN IN FIGURE 30.5-1.
***	NOTE THAT WIND LOAD DERIVED USING THESE PRESSURES WILL BE REDUCED BY A FACTOR OF 0.6 IF ALLOWABLE STRESS DESIGN COMBINATIONS ARE USED IN ACCORDANCE WITH SECTION 2.4.1 OF ASCE 7-16.
***	MINIMUM NET DESIGN WIND PRESSURE PER ASCE 7-16 SECTION 30.2.2.

**LUMBER**

- UNLESS NOTED OTHERWISE, ALL LUMBER SHALL BE #2 KD SOUTHERN YELLOW PINE OR #2 SPRUCE PINE FIR WITH A MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. ALL LUMBER EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE PRESSURE TREATED.
- EXTERIOR LOAD-BEARING STUD FRAMING SHALL BE NO. 2 SYP OR SPF:  $F_b=1000$ ,  $E=1400$  KSI.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALL SHEATHING TO BE 15/32" PLYWOOD ATTACHED DIRECTLY TO WALL FRAMING MEMBERS. BLOCK ALL PANEL EDGES AND NAIL WITH 8d COMMON NAILS @ 4"o.c. AT ALL PANEL EDGES, BLOCKING, AND TOP & BOTTOM PLATES WITH FIELD NAILING @ 12"o.c.
- ALL PLYWOOD PANELS SHALL BE INSTALLED IN ACCORDANCE WITH APA RECOMMENDATIONS AND RELATED SPECIFICATIONS. ORIENTED STRAND BOARD "OSB" MAY BE SUBSTITUTED FOR PLYWOOD WHERE APPROVED BY THE ARCHITECT/ENGINEER AND PROVIDED THE PANELS CONFORM TO THE APPROPRIATE APA RATINGS FOR THE INTENDED APPLICATION.
- PROVIDE A MINIMUM OF 2 STUDS NAILED TOGETHER BENEATH ALL HEADERS UNLESS NOTED OTHERWISE. USE AT LEAST 2-2x10 HEADER FOR ALL OPENINGS UP TO 4'-0" WIDE IN BEARING WALLS. USE AT LEAST 3-2x10 HEADER FOR ALL OPENINGS UP TO 8'-0" WIDE IN BEARING WALLS.
- ALL MULTIPLE PIECE WOOD BEAMS SHALL BE CONNECTED TOGETHER WITH MINIMUM TWO ROWS OF 16D NAILS @ 12"o.c. (U.N.O.).
- AS A MINIMUM, ANCHOR AND NAIL FRAMING SHALL COMPLY WITH "TABLE 2304.9.1 - FASTENING SCHEDULE" OF THE 2018 INTERNATIONAL BUILDING CODE.
- ALL BOLTS, NAILS, JOIST HANGERS, CLIPS, STRAPS, ETC. THAT ARE IN CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL CONNECTORS AND HARDWARE SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SIZE, QUANTITY, AND LOCATION OF NAILS AND FASTENERS SHALL CONFORM TO THE MANUFACTURER'S PUBLISHED LITERATURE.

**FOUNDATIONS:**

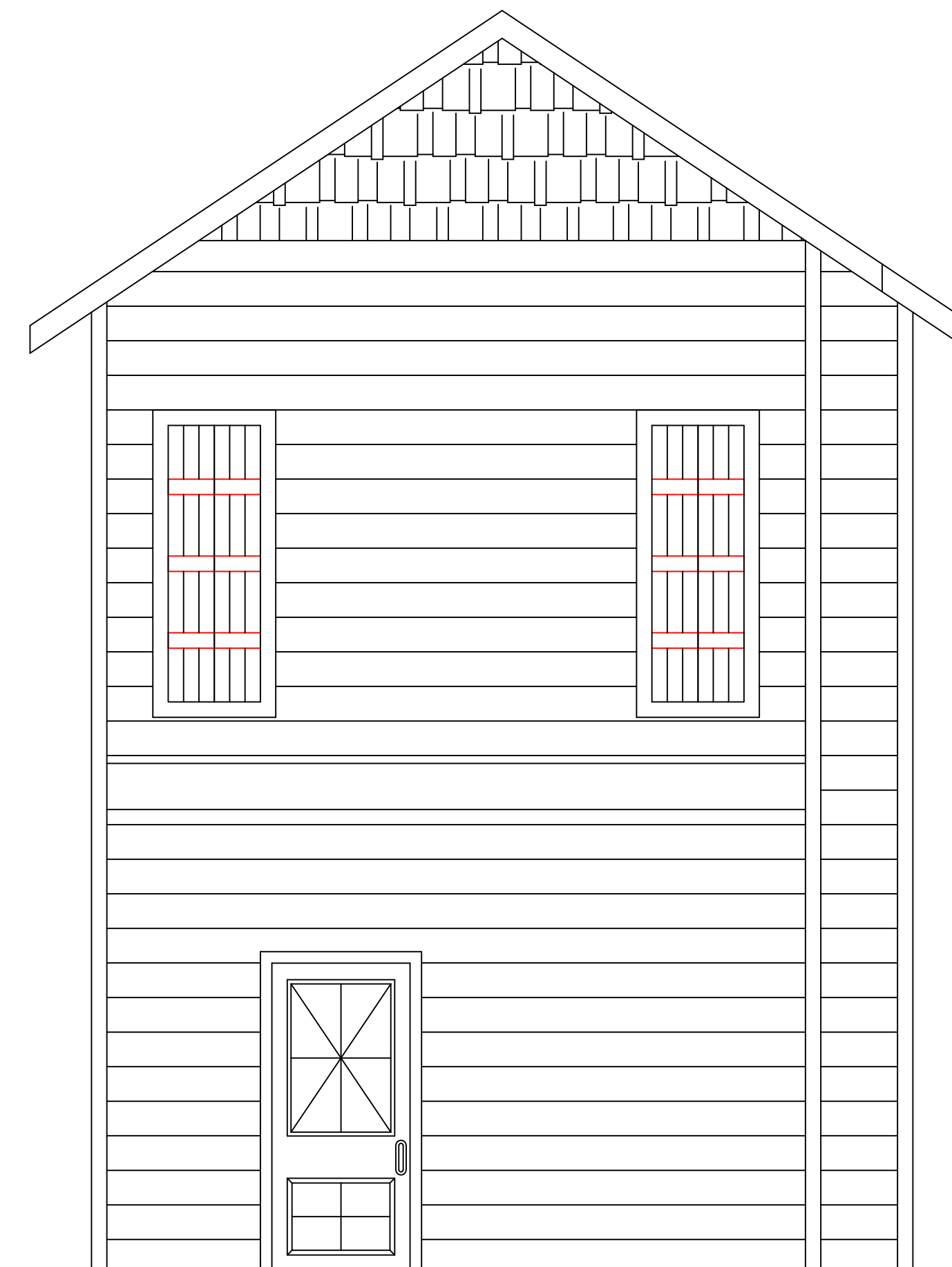
- NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN, AND SHALL REPORT UNEXPECTED CONDITIONS TO THE DESIGNER.
- ALL FOOTINGS, OR PORTIONS THEREOF, BELOW GRADE MAY BE EARTH FORMED BY NEAT EXCAVATIONS.
- FOOTINGS TO BE CENTERED ON WALLS OR COLUMNS UNLESS NOTED OTHERWISE.
- ALLOWABLE SOIL BEARING = 1500 psf
- COMPACT ALL SOILS BELOW SLAB AND FOOTINGS 95% STANDARD PROCTOR DENSITY.
- ALL SOIL FILL TO BE PLACED IN 8" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

**CONCRETE WORK:**

- CONCRETE (NORMAL WEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI UNLESS NOTED.
- ALL REINFORCING SHALL MEET ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.
- CONCRETE COVERAGE OF REINFORCEMENT SHALL BE:  
 FOOTINGS 3" BOTTOM AND SIDES  
 WALLS 1 1/2"  
 SLABS 3/4"  
 PEDESTALS 1 1/2" CLEAR OF TIES
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
- PORTLAND CEMENT SHALL CONFORM TO ASTM C 150, TYPE I OR II.
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C 33.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED PER CRSI AND ACI STANDARDS, INCLUDING CONCRETE COVER AND BAR SUPPORTS. LAP BARS AT ALL SPLICES, INCLUDING CORNER BARS AND DOWELS, IN ACCORDANCE WITH SPLICE SCHEDULE OR IN LIEU THEREOF 40 BAR DIAMETERS. LAP WWF 6" OR ONE FULL MESH, WHICHEVER IS GREATER.

**WIND BORNE DEBRIS PROTECTION FOR EXTERIOR WINDOWS IRC 2018**

- WINDOWS TO BE DESIGNED FOR A DESIGN WIND PRESSURE OF  $\pm 40$  PSF, REFERENCE CHART.
- \*THE CONTRACTOR SHALL PROVIDE PLYWOOD PROTECTION FOR THE EXTERIOR WINDOWS IN ACCORDANCE WITH R613.4 WIND BORNE DEBRIS PROTECTION IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- THE CONTRACTOR SHALL PROVIDE WIND BORNE DEBRIS FASTENERS FOR THE WOOD STRUCTURAL PANELS IN ACCORDANCE WITH TABLE R301.2.1.2 IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- THE CONTRACTOR SHALL PROVIDE WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 1/2" AND A MAXIMUM SPAN OF 8 FEET IN ACCORDANCE WITH R301.2.1.2 INTERNAL PRESSURES IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- \*AN OPTION TO THE PLYWOOD PROTECTION, THE CONTRACTOR MAY USE IMPACT RESISTANT WINDOWS.



NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM. ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

STRUCTURAL NOTES

NECAISE DESIGN

228-493-1046

Revisions

PLANS FOR  
 GRAIG BORDELON &  
 CHRISTINE WILLIAMS  
 RESIDENCE

DRAWN BY : HN

DATE: 11-6-24

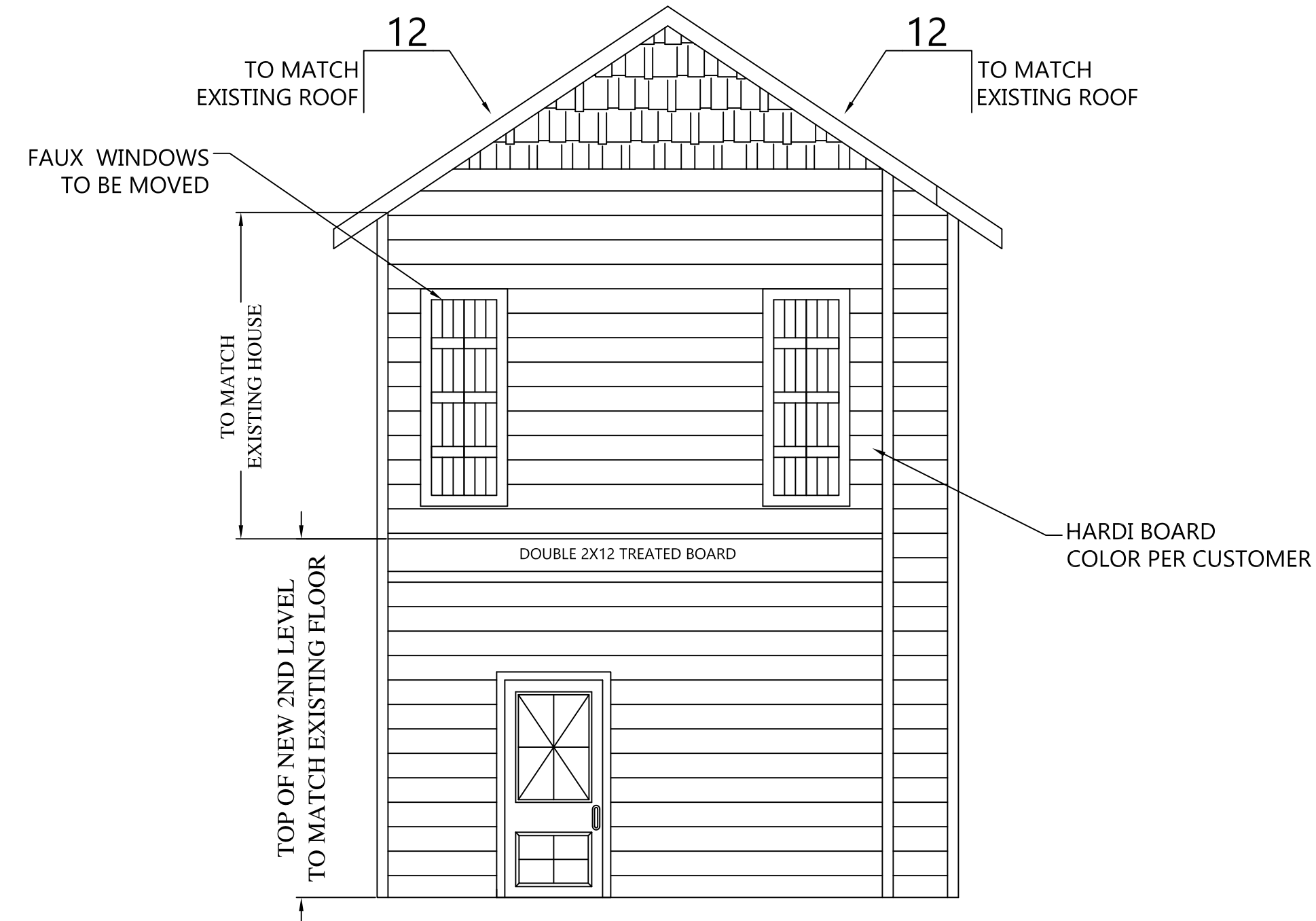
SCALE NONE

SHEET NUMBER :

1

NECAISE DESIGN  
 ALL RIGHTS RESERVED

# BACK ELEVATION



NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC, ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

ELEVATION  
NECAISE DESIGN  
228-493-1046

Revisions	description	
	date	

PLANS FOR  
GRAIG BORDELON &  
CHRISTINE WILLIAMS  
RESIDENCE

DRAWN BY : HN  
DATE: 10-31-24  
SCALE 1/4" = 1'-0"  
SHEET NUMBER :

2  
NECAISE DESIGN  
ALL RIGHTS RESERVED

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT-IN)
2"x6"	12.0	12'-11"
	16.0	11'-2"
	19.2	10'-2"
	24.0	9'-2"
2"x8"	12.0	16'-4"
	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)		

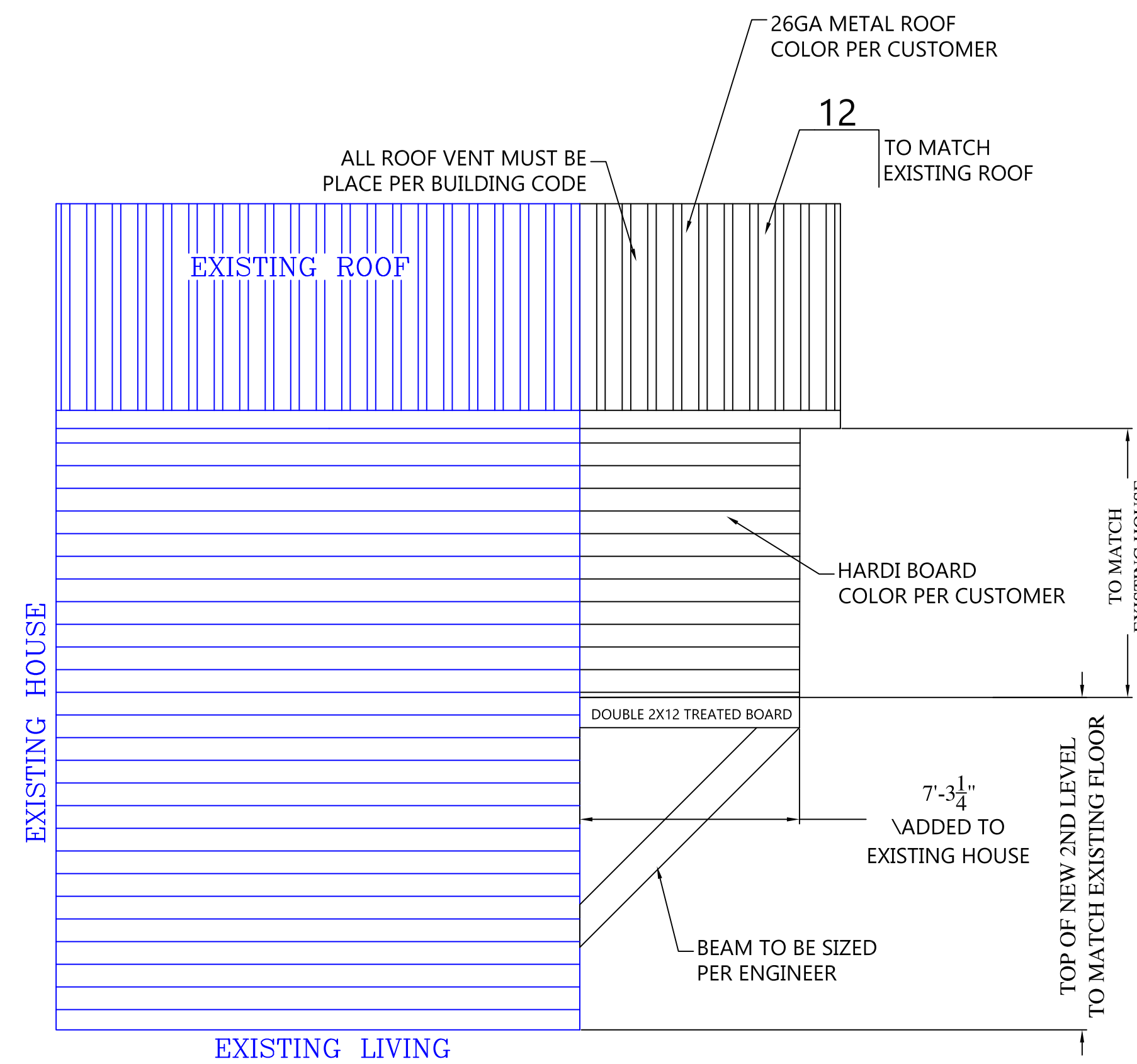
  

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
2"x4"	12.0	9'-3"
	16.0	8'-0"
	19.2	7'-4"
	24.0	6'-7"
2"x6"	12.0	13'-11"
	16.0	12'-0"
	19.2	11'-0"
	24.0	9'-10"
2"x8"	12.0	17'-7"
	16.0	15'-3"
	19.2	13'-11"
	24.0	12'-6"
2"x10"	12.0	20'-11"
	16.0	18'-1"
	19.2	16'-6"
	24.0	14'-9"
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)		

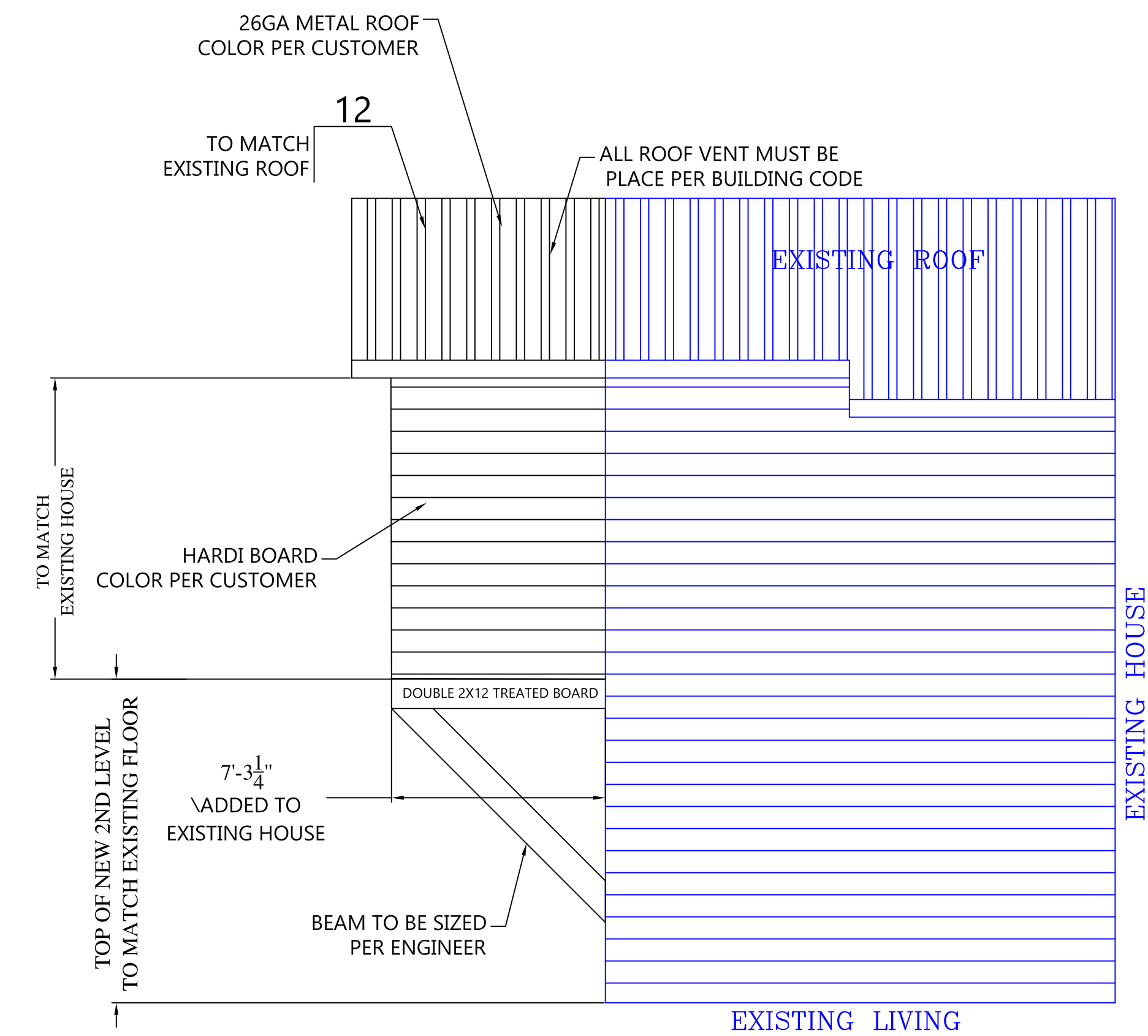
## GEN. NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHA/VA MPS.
2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION( **CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS** )
8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES.METAL ROOFS,GARAGE DOORS.LIFTS/ELEVATORS,ETC.)
9. ALL STRAPPING MUST BE HOT DIPPED GALVENIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
11. ALL 6" GUTTERS WILL BE PER CUSTOMER

# RIGHT ELEVATION



# LEFT ELEVATION



DOOR SCHEDULE	
MK	DESCRIPTION
1	3'-0" X 8'-0" INT. DOOR UNIT
2	
3	
4	

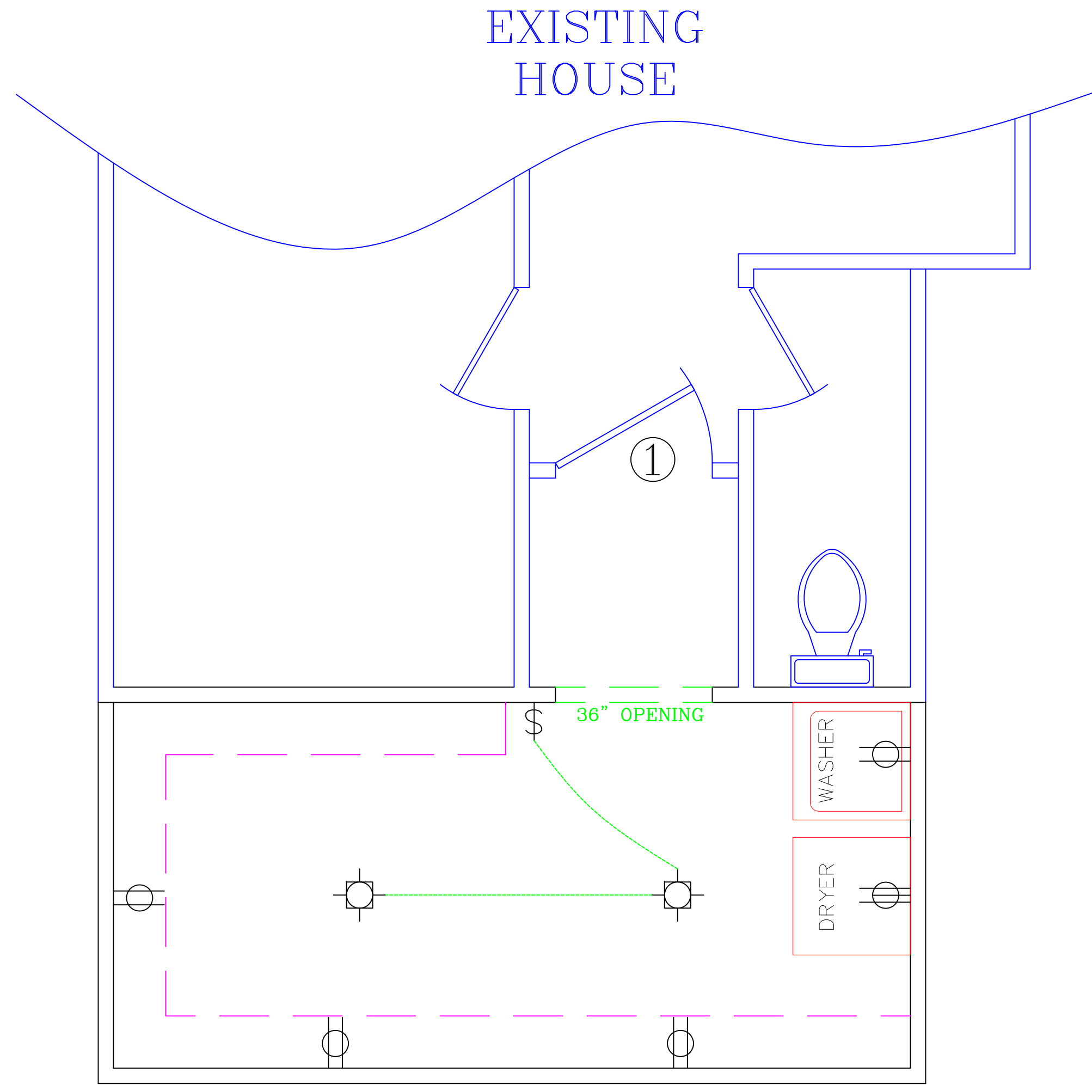
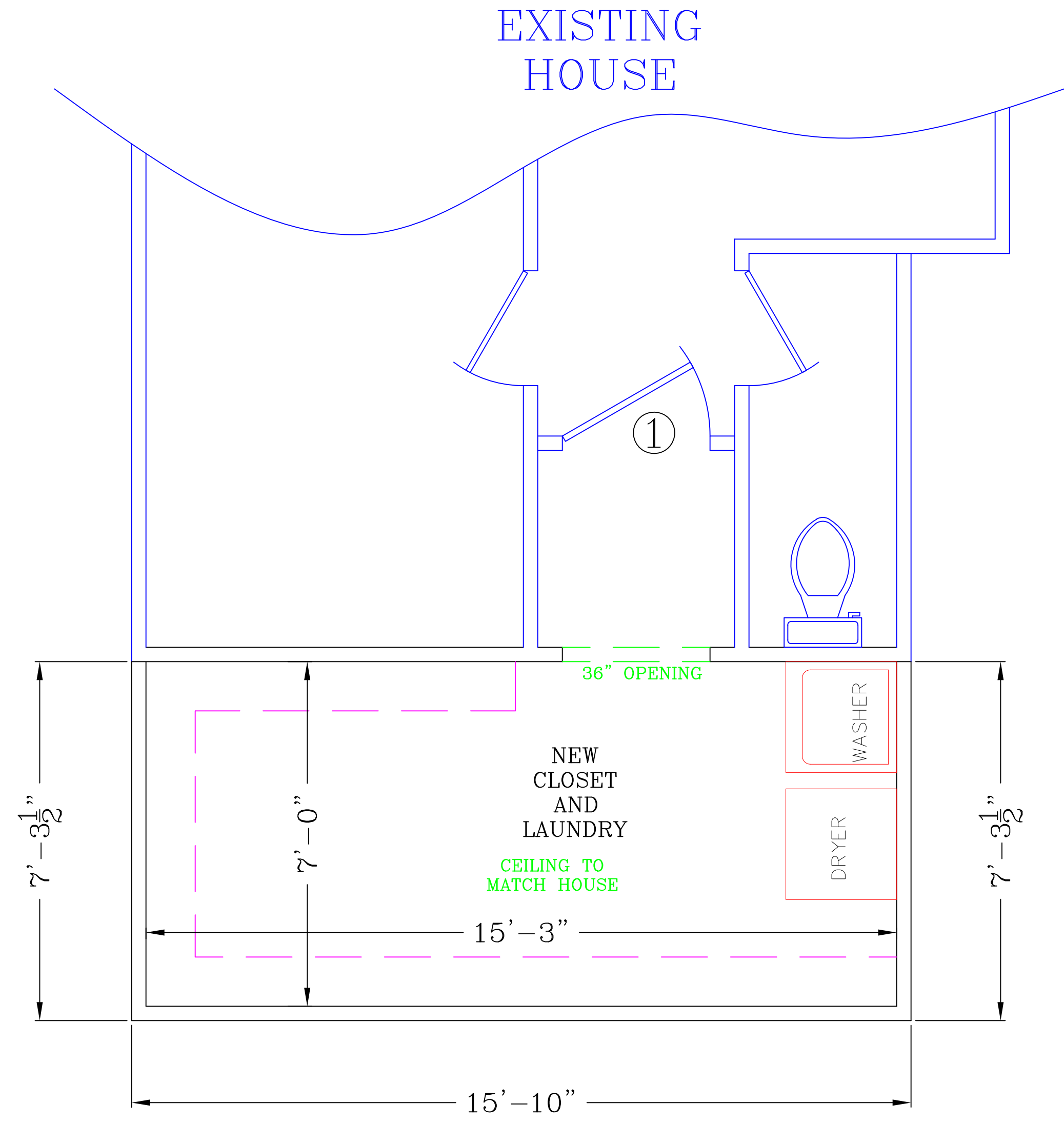
WINDOW SCHEDULE	
MK	DESCRIPTION

116 SQ. FT. LIVING AREA

ALL MEASUREMENTS ARE FROM BOARD TO BOARD

ELECTRICAL SCHEDULE	
SYM	DESCRIPTION
\$	115V WALL SWITCH
\$ <sup>3</sup>	115V WALL SWITCH 3 WAY
⊙	CEILING LIGHT FIXTURE
	CEILING LIGHT FIXTURE BRACED FOR FAN AND LIGHT
⊙ <sub>V</sub>	CEILING LIGHT FIXTURE VENT-LIGHT
⊙	LIGHT FIXTURE RECESSED DOWN LIGHT
⊙ <sub>P</sub>	CEILING LIGHT FIXTURE PENDANT W/ EXTRA BRACING
⊙ <sub>W</sub>	WALL MOUNT LIGHT FIXTURE
⊙ <sub>WP</sub>	WATERPROOF LIGHT FIXTURE
⊙ <sub>S</sub>	SOFFIT MOUNTED FLOOD LIGHT
	EACH TO BE ON SEPARATE SWITCH AND CIRCUIT.
⊙	115V DUAL WALL RECEPT. 6" ABOVE CTR. BACKSPASH TO CEN.
⊙	115V DUAL WALL RECEPTACLE
⊙ <sub>FLR</sub>	115V DUAL FLOOR MOUNTED RECEPTACLE
⊙	115V DUAL WALL RECEPTACLE SOFFIT MOUNTED GFI
⊙	115V DUAL RECEPTACLE SPLIT-WIRED
⊙ <sub>WP</sub>	115V DUAL WALL RECEPTACLE WEATHERPROOF GND. FAULT INT.
⊙ <sub>GFI</sub>	115V DUAL WALL RECEPTACLE GROUND-FAULT INTERRUPT
⊙ <sub>OC</sub>	115V DUAL WALL RECEPTACLE MOUNTED ABOVE KIT. WALL CABS.
⊙	220V SINGLE WALL RECEPTACLE

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FLOOR & ELECTRICAL PLAN  
NECAISE DESIGN  
228-493-1046

Revisions	
date	description

PLANS FOR GRAIG BORDELON & CHRISTINE WILLIAMS RESIDENCE

DRAWN BY : HN  
DATE: 10-31-24  
SCALE 1/2" = 1'-0"

SHEET NUMBER : 3  
NECAISE DESIGN ALL RIGHTS RESERVED

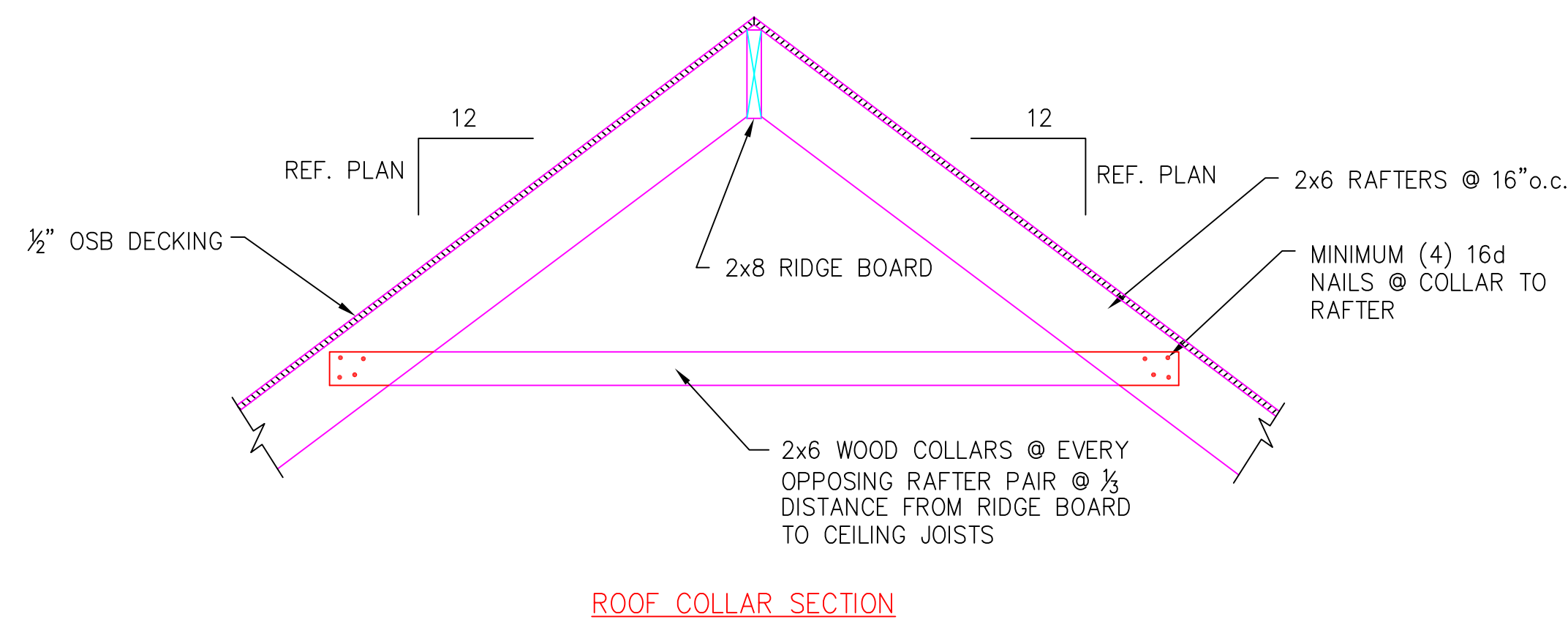


RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
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	16.0	14'-2"
	19.2	12'-11"
	24.0	11'-7"
2"x10"	12.0	19'-5"
	16.0	16'-10"
	19.2	15'-4"
	24.0	13'-9"
2"x12"	12.0	22'-10"
	16.0	19'-10"
	19.2	18'-1"
	24.0	16'-2"

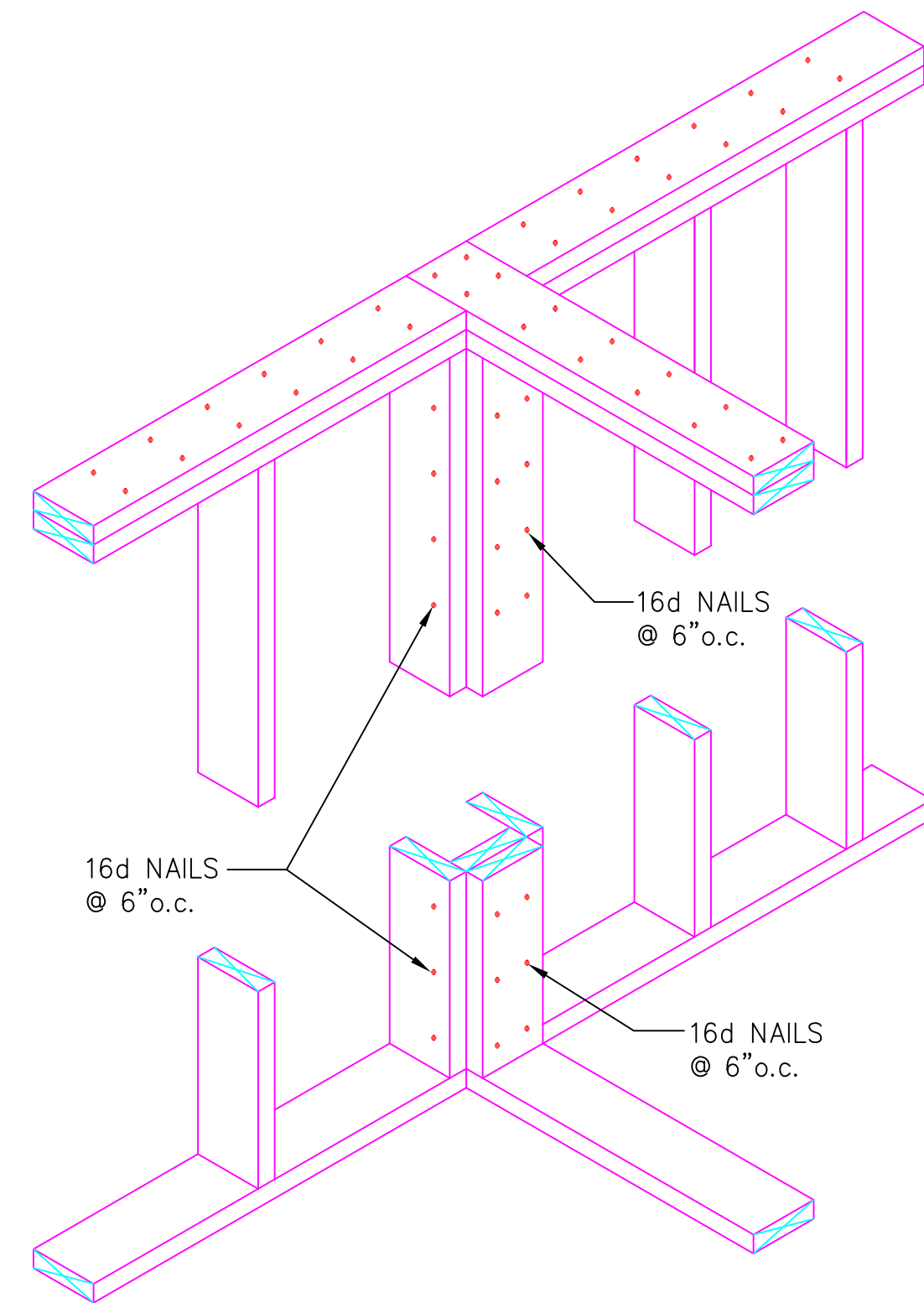
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES UNINHABITABLE ATTIC WITHOUT STORAGE (LIVE LOAD = 20 PSF, LA=240 DEAD LOAD =10PSF)		
SIZE	SPACING (INCHES)	VISUALLY GRADED SOUTHERN PINE MAX CEILING JOIST SPAN (FT-IN)
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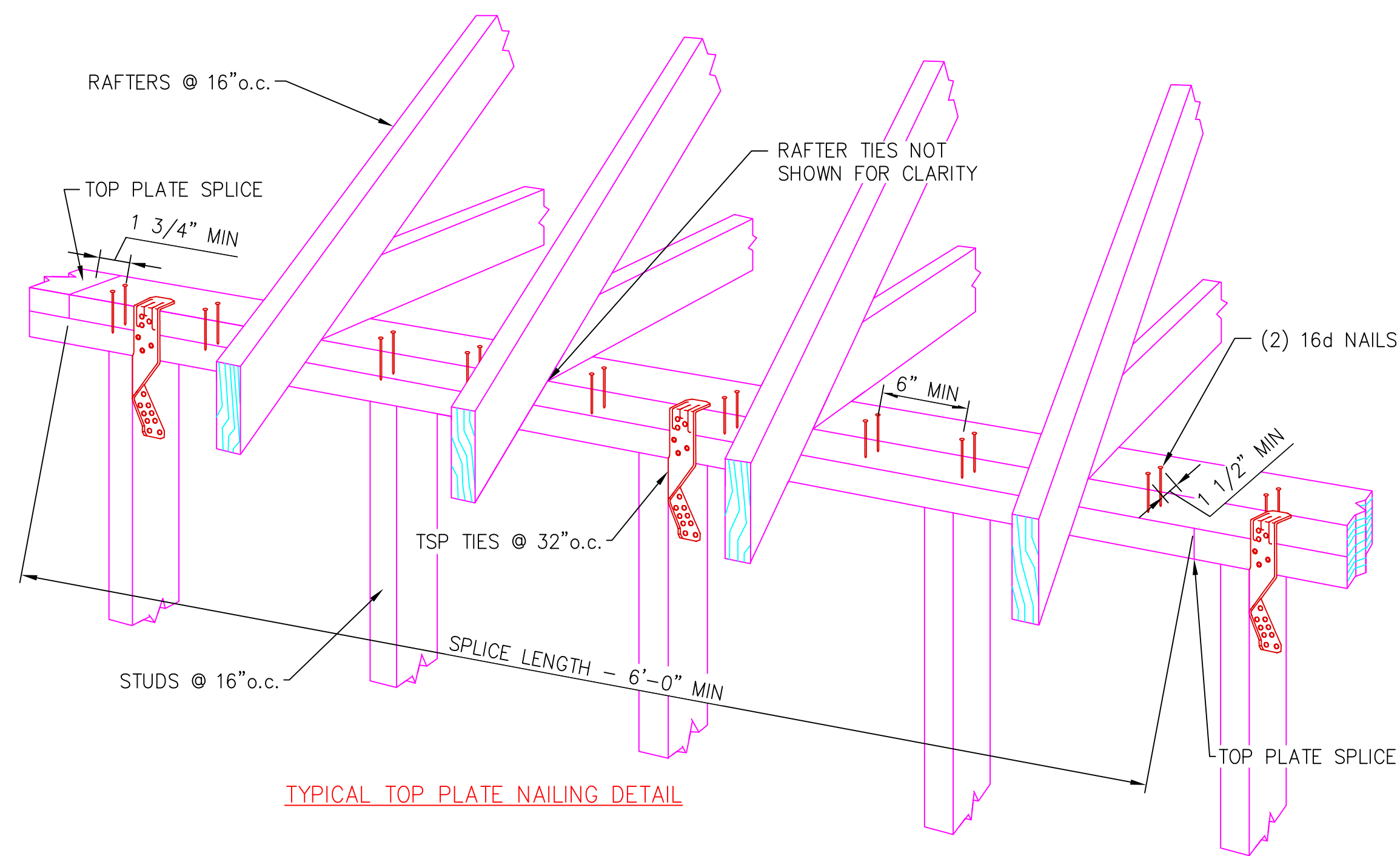
NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)



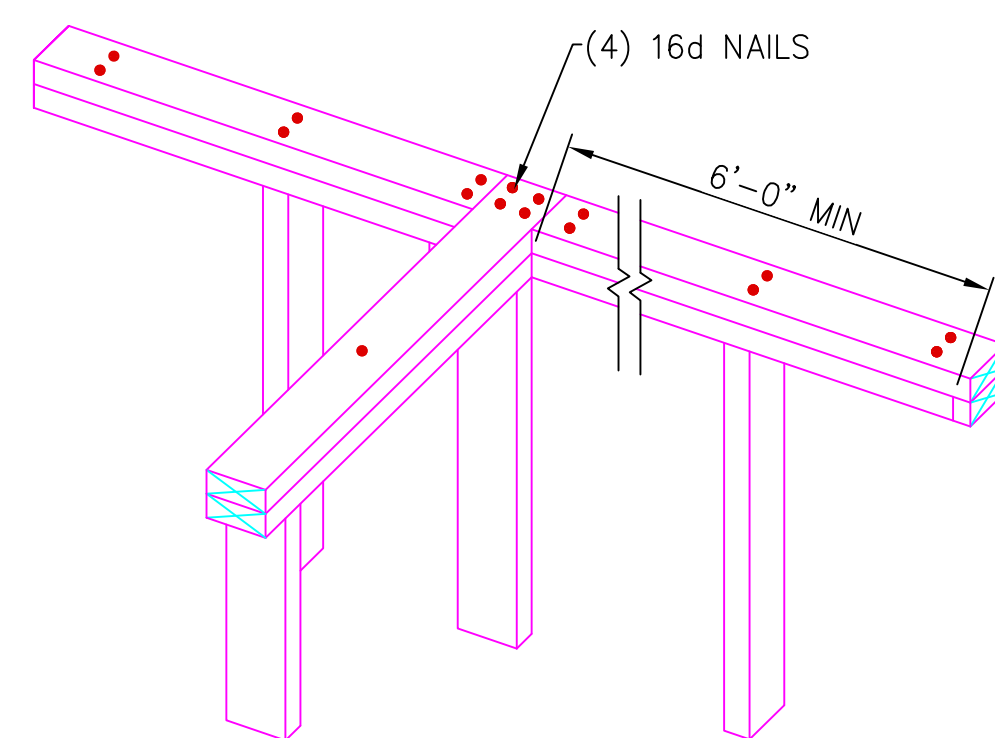
ROOF COLLAR SECTION



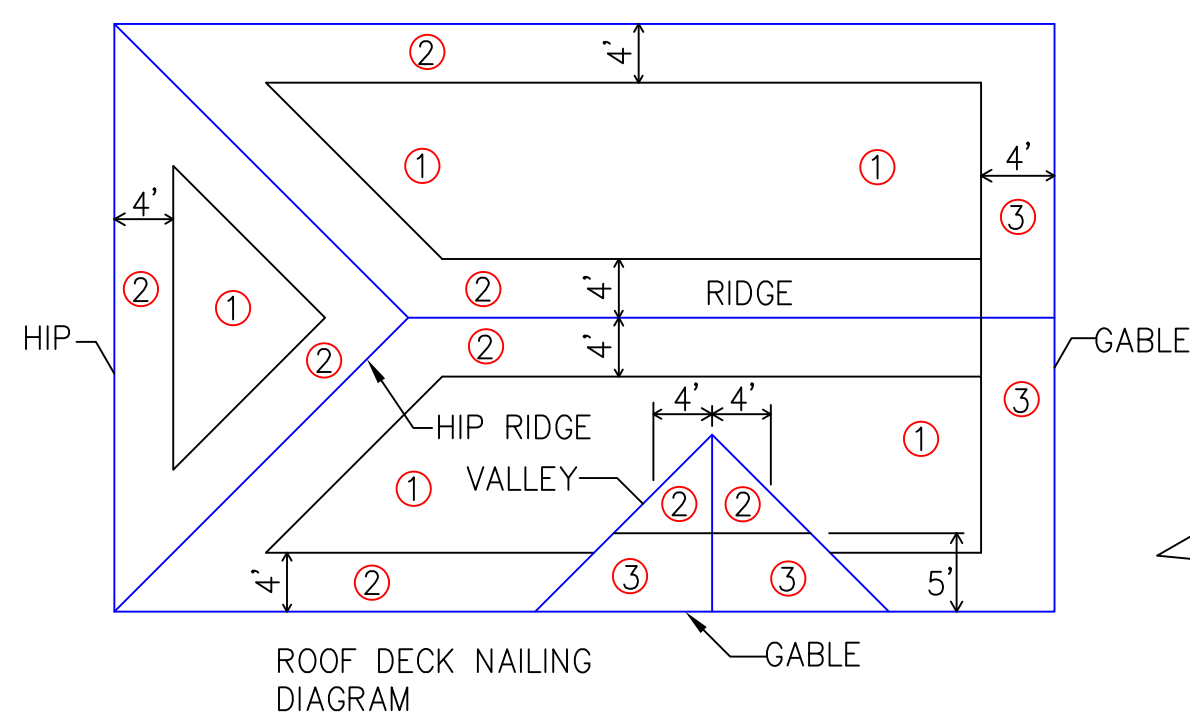
TOP & BTM PLATE INTERSECTION DETAIL



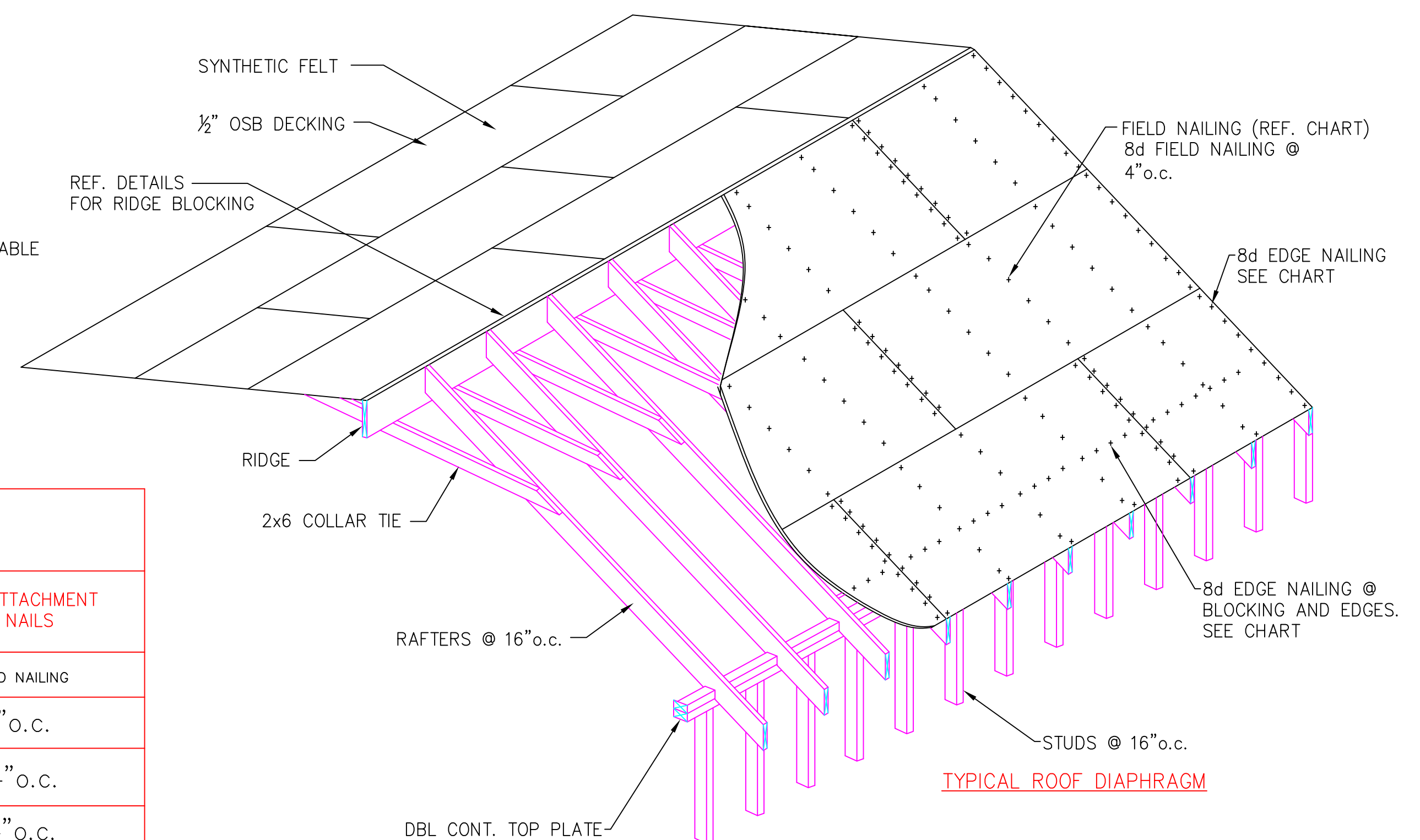
TYPICAL TOP PLATE NAILING DETAIL



TOP PLATE INTERSECTION DETAIL



ROOF SHEATHING ATTACHMENT REQUIREMENTS				
THREE SECOND GUST, 124 MPH (ASD) 160 MPH (ULT) WIND SPEED		STRUCTURAL SHEATHING ATTACHMENT WITH 8d RING SHANK NAILS		
	RAFTER/TRUSS SPACING (INCHES o.c.)	EDGE NAILING	FIELD NAILING	
①	INTERIOR ZONE	16" o.c.	4" o.c.	4" o.c.
②	PERIMETER/EDGE ZONE	16" o.c.	4" o.c.	4" o.c.
③	GABLE ENDWALL RAKE OR RAKE TRUSS W/LOOKOUTBLOCK	16" o.c.	4" o.c.	4" o.c.



TYPICAL ROOF DIAPHRAGM

GEN. NOTES

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2. IT IS THE RESPONSIBILITY OF THE OWNER AND OR GENERAL CONTRACTOR TO CHECK ALL DIMENSION FOR THE JOB BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH SITE REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE .
5. ALL FEDERAL STATE AND LOCAL CODES, ORDINANCE,REGULATION,ETC SHALL BE CONSIDERED AS PART OF THE SPECIFICATION FOR THIS BUILDING AND TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME WHERE ARE VARIANCE.
6. STAMPED/APPROVED PLAN (CITY) MUST BE ON SITE FOR ALL INSPECTION.
7. PROOF OF TERMITE TREATMENT SHALL BE SHOWN AT TIME OF FOOTING INSPECTION (CUSTOMER WANTS TERMITE TREATMENT ON ALL WALLS)
8. OWNER MUST SUPPLY SPECIFICATIONS ON ANY/ALL MANUFACTURED/ENGINEERED MEMBERS/MATERIALS INCLUDING SPANS,LOADS,LAYOUT,FASTENING DETAIL(130MPH) ETC (BEAM,JOIST,TRUSSES.METAL ROOFS,GARAGE DOORS,LIFTS/ELEVATORS,ETC.)
9. ALL STRAPPING MUST BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. STRAPS MUST REFERENCE 2018 IRC FOR TYPICAL METHODS OF ANCHORAGE AND BRACING.STRAP INSPECTION ARE REQUIRED PRIOR TO COVERING.
10. ALL SHINGLES OR METAL ROOFING MUST MEET 130 MPH SUSTAINED AMD 140 MPH 3 SECOND GUST.
11. ALL 6" GUTTERS WILL BE PER CUSTOMER

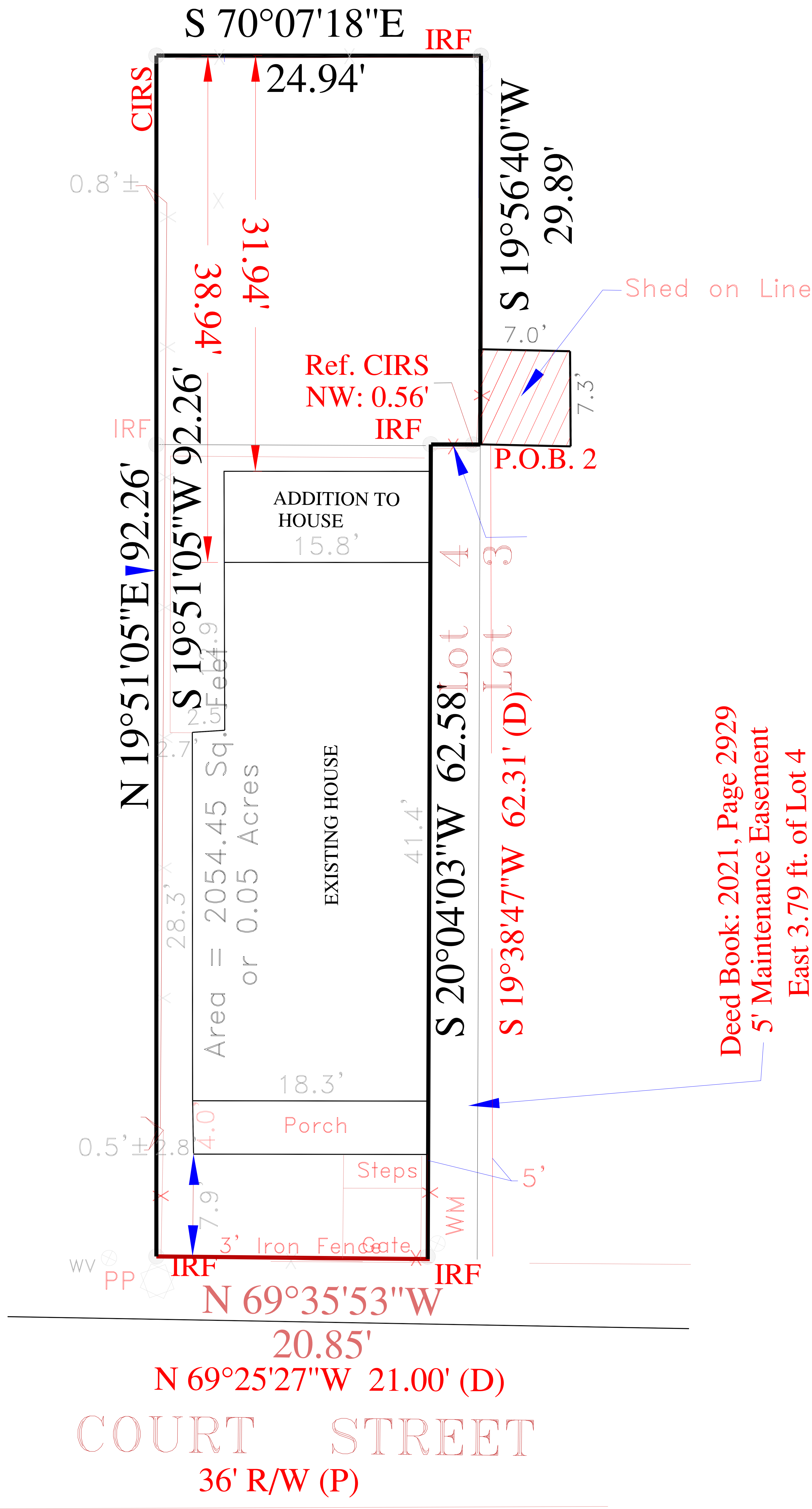
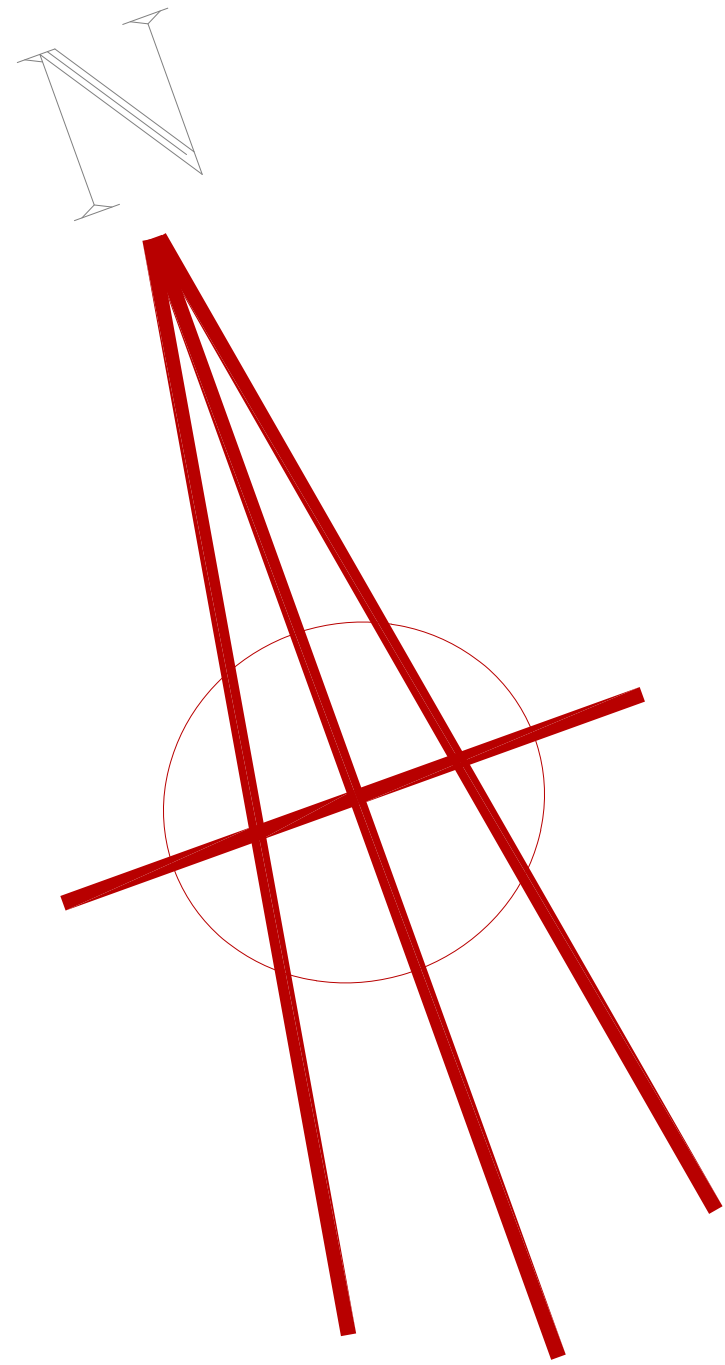
NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

FOUNDATION & WALL DETAILS  
NECAISE DESIGN  
228-493-1046

Revisions	description
	date

PLANS FOR GRAIG BORDELON & CHRISTINE WILLIAMS RESIDENCE

DRAWN BY : HN  
DATE: 11-6-24  
SCALE NONE  
SHEET NUMBER : 4A  
NECAISE DESIGN ALL RIGHTS RESERVED



**Deed Book: 2021, Page 2929**  
**5' Maintenance Easement**  
**East 3.79 ft. of Lot 4**

**COURT STREET**  
**36' R/W (P)**

PLANS FOR  
 GRAIG BORDELON &  
 CHRISTINE WILLIAMS  
 RESIDENCE

Revisions	
date	description

PLOT PLAN  
 NECAISE DESIGN  
 228-493-1046

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

NECAISE DESIGN  
 ALL RIGHTS RESERVED  
**5**  
 SHEET NUMBER :  
 SCALE 3" = 1'-0"  
 DATE: 11-18-24  
 DRAWN BY : NH

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 107 A. Court Street
Applicant Name: Craig Bordelon Owner Name: Craig Bordelon
Mailing Address: 107 A Court St. Mailing Address: SAME
Phone: 218 419 7378 Phone: 218 419 7778

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[ ] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

[ ] Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

[ ] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[ ] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 11/21/24

Owner's Signature: [Signature] Date: 11/21/24

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
Historic Preservation Commission / City Council Use Only

Application
HPC Review / City Council Review

Table with columns for Historic Preservation Commission Reviewed, City Council Reviewed, Recommendation, and Comments. Includes checkboxes for Approval, Approval with Conditions, and Disapproval. Includes fields for Case Number, Review Date, and Signature.

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAY SAINT LOUIS

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

Property Owners Information:

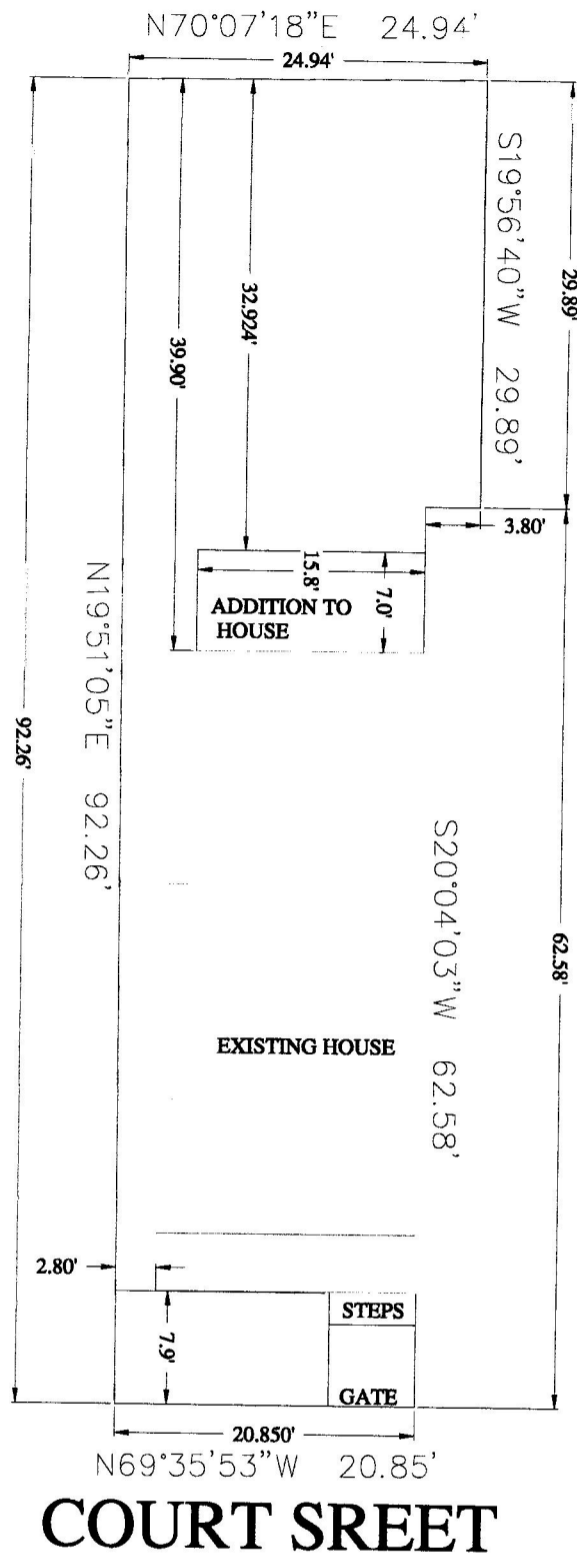
Name: Craig Bordelon

Address: 107 A Court St.  
(No P.O. Boxes)

Telephone Number (318) 4197378 Cell Number (318) 4197378

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 107 A. Court St. PSL

Give written scope of work to be performed: Add an addition  
to the rear of the house. The addition  
will be a closet on the second floor  
of the house. The roof and siding  
will match.



**COURT SREET**



07

DRAWN BY : NH  
 DATE : 11-18-24  
 SCALE : 3" = 1'-0"  
 SHEET NUMBER :

PLANS FOR  
 GRAIG BORDELON &  
 CHRISTINE WILLIAMS  
 RESIDENCE

Revisions  
 date description

PLOT PLAN  
 NECAISE DESIGN  
 228-493-1046

NECAISE DESIGN NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUME NO LIABILITY FOR THE STRUCTURAL OR ARCHITECTURAL DESIGN OF THIS DWELLING. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL FEDERAL, STATE, AND LOCAL CODE ORDINANCES, REGULATION, ETC. ARE MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO CORRECT THE ERROR AND / OR OMISSION AT HIS/HER EXPENSE, AND IS NOT THE RESPONSIBILITY OF NECAISE DESIGNS.

**Certificate of Appropriateness/Conceptual Review Application Form**

Property Address: 246 CITIZEN STREET  
 Applicant Name: MICHAEL MCKENNA Owner Name: MICHAEL MCKENNA  
 Mailing Address: 8510 ANTIOCH RD, Mailing Address: 225, 751, 3899  
 Phone: BATON ROUGE, Phone: LA 70817

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

- Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.
- Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.
- New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.
- Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

Application

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Michael McKenna Date: 18 NOV 2024

Owner's Signature Required: Michael McKenna Date: 18 NOV 2024

Please refer to the checklist of materials required with your application  
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.  
*Historic Preservation Commission / City Council Use Only*

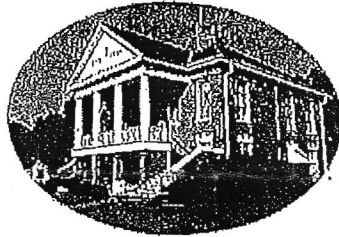
HPC Review / City Council Review

Historic District: _____		Case Number: _____	
Historic Preservation Commission Reviewed: _____		Review Date: _____	
<b>Recommendation:</b> <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval			
Comments: _____			
Requires Property Owner / Applicant Signature			
City Council Reviewed: _____		Review Date: _____	
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action: _____		Review Date: _____	
Comments: _____			
(BSL Historic Preservation Commissioner) _____		City Council President Signature) _____	
_____		Date _____	

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAY SAINT LOUIS

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

Property Owners Information:

Name: MICHAEL McKENNA

Address: 8510 ANTIOCH RD, BATON ROUGE, LA 70817  
(No P.O. Boxes) (mmckenn@lsu.edu)

Telephone Number: (225) 751,3899 Cell Number: N/A

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 246 CITIZEN ST.

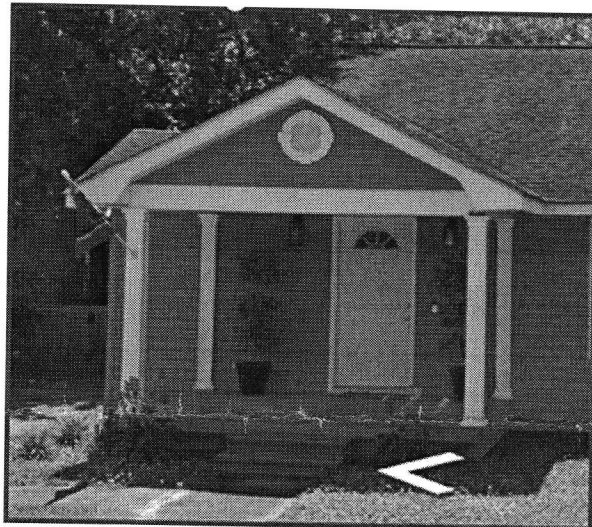
Give written scope of work to be performed: REPLACE AWFUL FRONT PORCH WITH A NEW ONE SUITABLE FOR BUILDING, AND LOCAL, STYLE.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Current Porch - 246 CITIZEN STREET

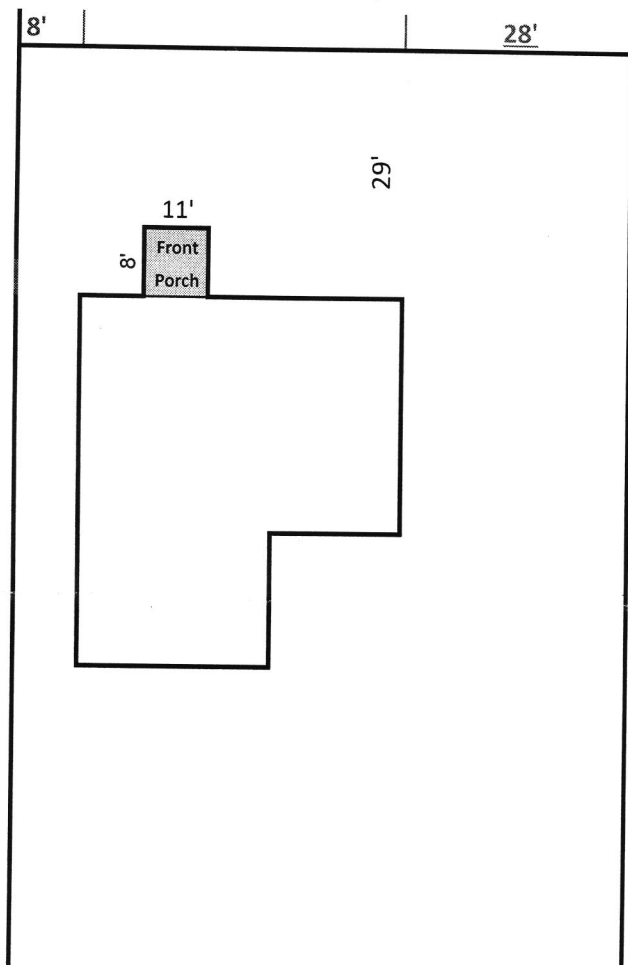


Model for New Porch - 210 Citizen St.



**SITE PLAN**

Citizen Street



New Porch - 246 Citizen St.

11 feet wide by 8 feet deep.

Full width front steps.

6"x6" Square columns.

Open gable roof to house.

Painted to match house.

Roof pitch 5/12 to match house.

Architectural shingle roofing.

Tuesday, November 26, 2024 8:03:20 AM - 246 Citizen St - Google Maps



**Certificate of Appropriateness/Conceptual Review Application Form**

Property Address: 150 North Beach Boulevard Bay St Louis, MS 39520

Applicant Name: Albert Architecture Owner Name: A&G Theatre LLC: James MacPhaille, Member

Mailing Address: 2739 Conti St, New Orleans, LA 70119 Mailing Address: 5208 Magazine St New Orleans, LA 70115

Phone: 504 827 0056 Phone: 504-382-9200

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

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**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: John Dauer John Dauer (Albert Architecture) Date: 12/2/24

Owner's Signature A&G Theatre LLC: James MacPhaille, Member

Required: James MacPhaille Date: 12/02/2024

**Please refer to the checklist of materials required with your application**  
**A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.**  
*Historic Preservation Commission / City Council Use Only*

Application

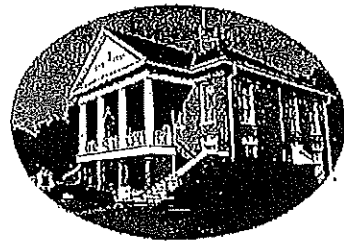
HPC Review / City Council Review

Historic District	Case Number:
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date:
<b>Recommendation:</b> <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments:	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date:
COA Action: Approval: <input type="checkbox"/> YES <input type="checkbox"/> NO / Date COA Action:	Review Date:
Comments:	
(BSL Historic Preservation Commissioner)	(City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAY SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: A&G Theatre LLC: James MacPhaille, Member

Address: 5208 Magazine St New Orleans, LA 70115  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number( 504 ) 382-9200

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 150 North Beach Boulevard Bay St Louis, MS 39520

Give written scope of work to be performed: \_\_\_\_\_

Project includes the renovation of The A&G Theater into a Flea Market. Interior renovation includes the addition of a 2nd floor, elevator, stairs, restrooms, rentable art booths, new mechanical/electrical /plumbing utilities. Exterior renovation includes new code compliant entries, loading door, replacement windows in existing openings, paving for parking, and trash enclosure.

\_\_\_\_\_  
\_\_\_\_\_

# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

### MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
  - a) Siding material: wood, hardi-plank, etc...
  - b) Masonry material: brick, stucco, etc...
  - c) Exterior openings; windows and doors: indicated size, types and materials.
  - d) Shutters and Awnings: indicated size, types and materials.
  - e) Column size and types
  - f) Roofing materials: wood, metal, slate, etc....
  - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
  - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*

**150 NORTH BEACH BOULEVARD - THEATER RENOVATION**

150 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

Drawn by: JD  
Checked by: LR

11-22-24 SD  
12-3-24 Certificate of Appropriateness

**A0.2**

PROJECT INFO AND SITE PLAN

**PROJECT DATA**

**PROJECT DESCRIPTION:**  
PROJECT INCLUDES THE RENOVATION OF THE A&G THEATER INTO A FLEA MARKET. INTERIOR RENOVATION INCLUDES THE ADDITION OF A 2ND FLOOR, ELEVATOR, STAIRS, RESTROOMS, RENTABLE ART BOOTHS, NEW MECHANICAL/ELECTRICAL/PLUMBING UTILITIES. EXTERIOR RENOVATION INCLUDES NEW CODE COMPLIANT ENTRIES, LOADING DOOR, REPLACEMENT WINDOWS IN EXISTING OPENINGS, PAVING FOR PARKING AND TRASH ENCLOSURE.

**OCCUPANCY:** MERCANTILE  
**TYPE OF CONSTRUCTION:** TYPE III-B (NO SPRINKLER)  
60 SF PER OCCUPANT  
300 SF PER OCCUPANT AT STORAGE/STOCK/SHIPPING AREAS

**APPLICABLE CODES:**

INTERNATIONAL BUILDING CODE, 2018  
INTERNATIONAL RESIDENTIAL CODE, 2018  
INTERNATIONAL MECHANICAL CODE, 2018  
INTERNATIONAL PLUMBING CODE, 2018  
INTERNATIONAL FUEL GAS CODE, 2018  
INTERNATIONAL PRIVATE SEWER DISPOSAL CODE, 2018  
INTERNATIONAL SWIMMING POOL CODE, 2018  
INTERNATIONAL EXISTING BUILDING CODE, 2018  
NFPA 70 NATIONAL ELECTRIC CODE, 2017  
INTERNATIONAL FIRE CODE, 2018

**EXISTING**  
1ST FLOOR 5165 SF  
2ND FLOOR 5165 SF  
**TOTAL = 10330 SF**

BUILDING HEIGHTS AND AREA:	ALLOWED	PROPOSED
HEIGHT:	55'	44'
STORIES:	2	2
BUILDING AREA:	12500 SF	10330 SF

**FIRE AREA:**

[F] 903.2.7 GROUP M FIRE SPRINKLER REQUIREMENTS  
AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT BUILDINGS CONTAINING A GROUP M OCCUPANCY WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

A GROUP M FIRE AREA EXCEEDS 12,000 SQUARE FEET  
A GROUP M FIRE AREA IS LOCATED MORE THAN THREE STORIES ABOVE GRADE PLANE  
THE COMBINED AREA OF ALL GROUP M FIRE AREAS ON ALL FLOORS, INCLUDING ANY MEZZANINES, EXCEEDS 24,000 SQUARE FEET  
A GROUP M OCCUPANCY USED FOR THE DISPLAY AND SALE OF UPHOLSTERED FURNITURE OR MATTRESSES EXCEEDS 5,000 SQUARE FEET

**APPLICABLE ZONING CODE:**

BAY ST LOUIS ZONING CODE C-1 CENTRAL BUSINESS ZONING

USES ALLOWED BY RIGHT ANTIQUE STORES, ART GALLERIES, DEPARTMENT STORE, FARMERS MARKET, FLEA MARKETS INDOOR, (FLEA MARKET OUTDOOR SPECIAL PERMITTED USE) RETAIL SHOPS, STUDIO FOR PROFESSIONAL WORK OR TEACHING OF FINE ART

MINIMUM LOT AREA: N/A  
MINIMUM LOT WIDTH: 25 FEET  
MINIMUM FRONT YARD: 25 FEET (OR AVERAGE OF NEARBY PROPERTIES), 0 FEET ON MAIN ST. AND BEACH BLVD.  
MINIMUM SIDE YARD: 0 FEET  
IF PROVIDED: 5 FEET FOR ALLEY FORMATION  
ABUTTING RESIDENTIAL: MATCH RESIDENTIAL SETBACK, WITH 6-FOOT OPAQUE FENCE  
MINIMUM REAR YARD: 0 FEET  
MAXIMUM LOT COVERAGE: 100%  
MAXIMUM BUILDING HEIGHT: 50 FEET  
MAY INCREASE BASED ON FEMA FLOOD ELEVATION REQUIREMENTS OVER 35 FEET REQUIRES FIRE DEPARTMENT APPROVAL

**PLUMBING REQUIREMENT:** 10330 SF / 60 = OCCUPANT LOAD OF 173

WATERCLOSET 1 PER 500 LAVATORY 1 PER 750

# REQUIRED 1 1

DRINKING FOUNTAIN 1 PER 1000 SERVICE SINK 1

INSULATION REQUIREMENTS PER IECC 2018 CLIMATE ZONE 2

ROOF:  
ABOVE DECK R-25 ci  
ATTIC R-38

WALL  
MASS WALL R-5.7 ci  
METAL FRAMED R-13 + R-5 ci  
WOOD FRAMED R-13

**ACCESSORY STRUCTURES:** SEE SECTION 1002

**PARKING REQUIREMENTS:** CENTRAL BUSINESS DISTRICT (C-1): NO OFF-STREET PARKING REQUIRED

**SIGNAGE:** REFER TO SECTION 904

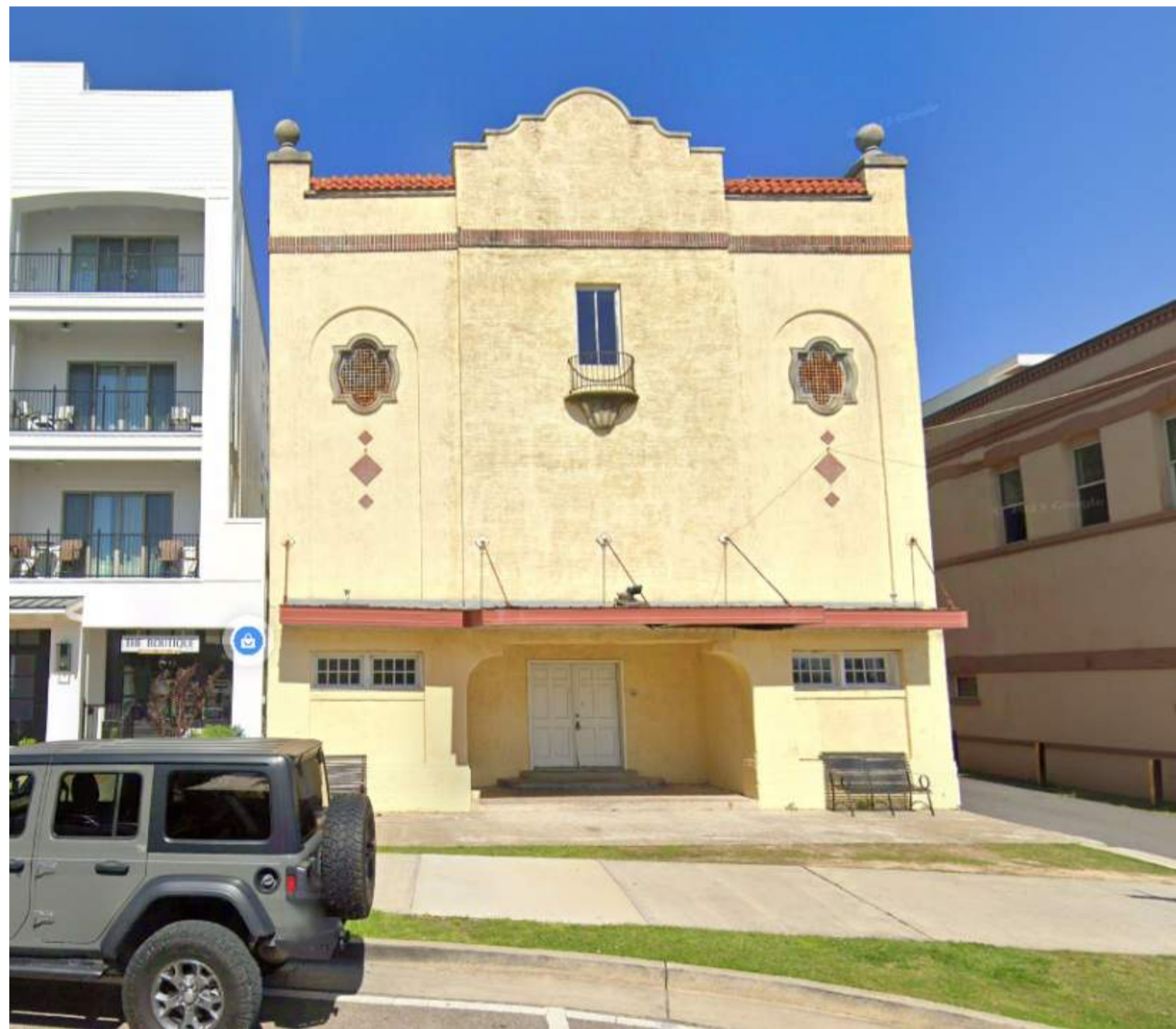
**THE BUILDING WILL NOT EXTEND BEYOND THE PROPERTY LINE OR REQUIRED SETBACKS DURING THE RENOVATION**



**A**



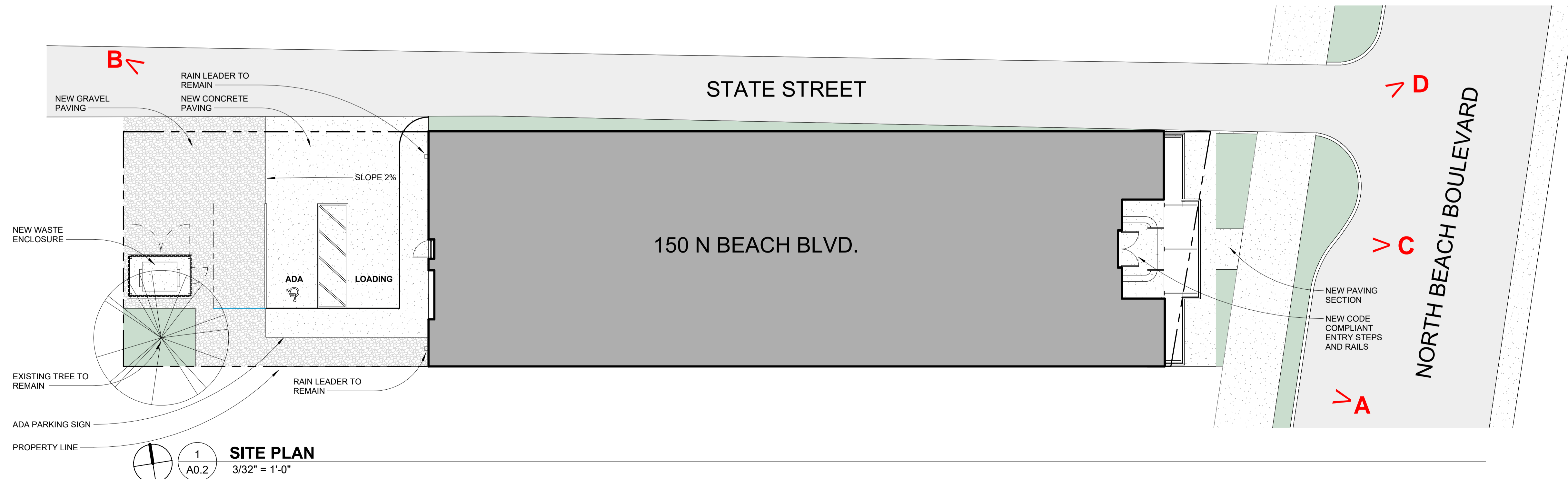
**B**



**C**



**D**





**2**  
A1.2 **SECOND FLOOR PLAN**  
3/16" = 1'-0"

**18 UNITS - 3385 LEASABLE SF**



**1**  
A1.2 **FIRST FLOOR PLAN**  
3/16" = 1'-0"

**15 UNITS - 2736 LEASABLE SF**

150 NORTH BEACH BOULEVARD - THEATER RENOVATION

150 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

12-20-24 DESIGN DEVELOPMENT

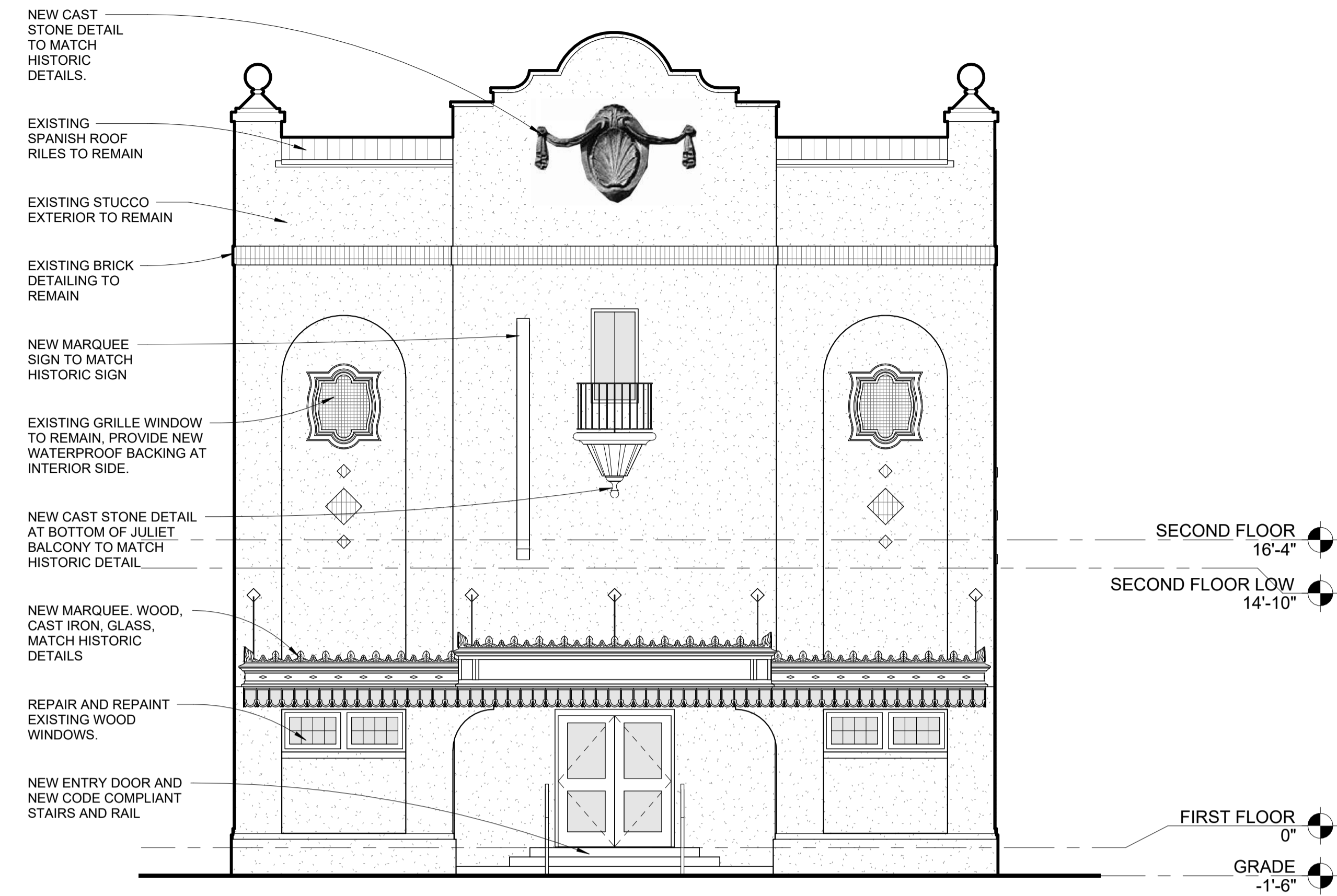
Drawn by: JD  
Checked by: LR

11-22-24 SD  
12-20-24 DD

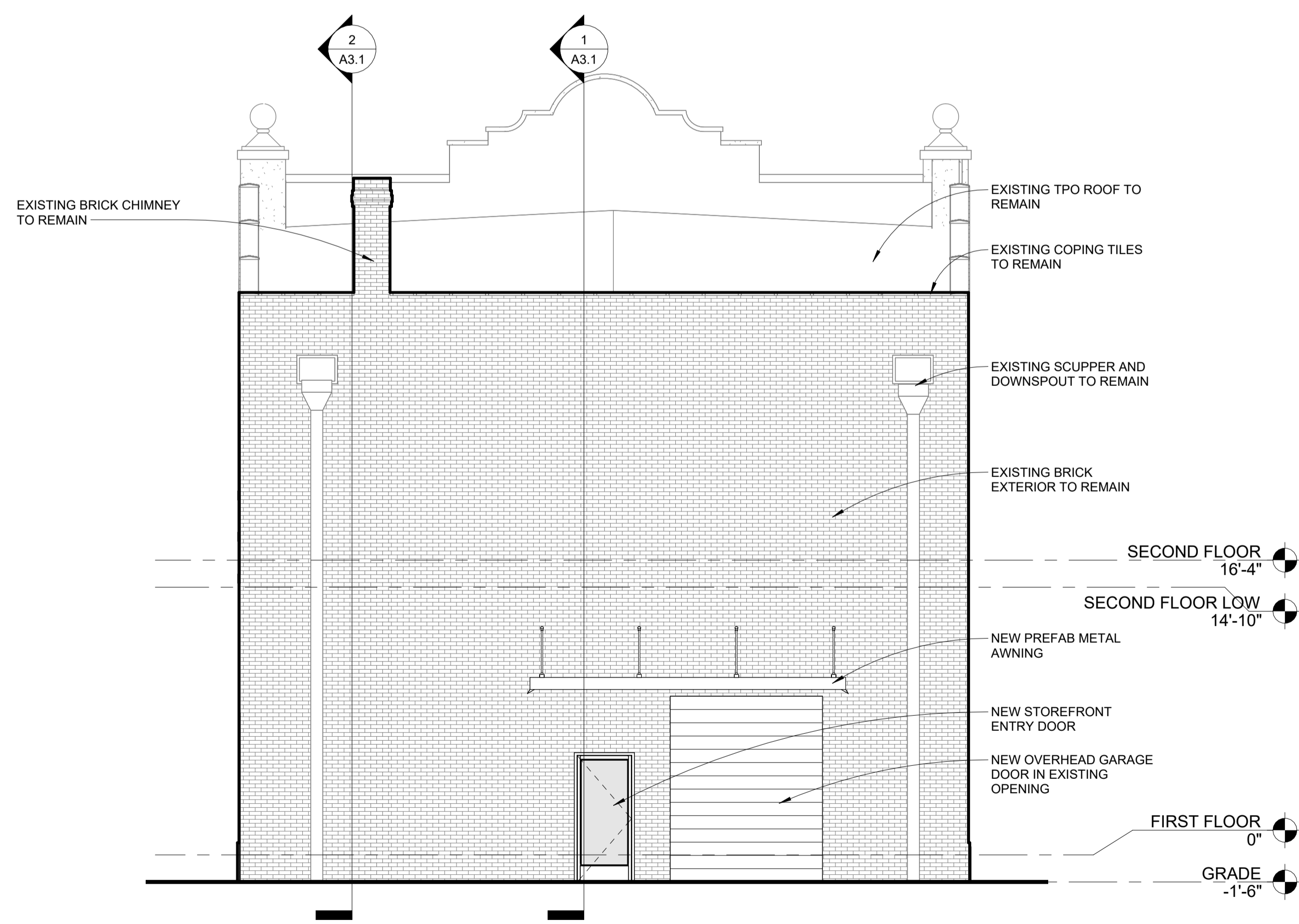
**A1.2**  
FLOOR PLANS

Albert Architecture & Urban Design aplic  
2739 Conti Street  
New Orleans, LA 70119  
504.827.0056

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3 N BEACH BLVD ELEVATION NEW CONSTRUCTION  
A2.1 3/16" = 1'-0"



1 REAR ELEVATION NEW CONSTRUCTION  
A2.1 3/16" = 1'-0"

## 150 NORTH BEACH BOULEVARD - THEATER RENOVATION

150 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

Drawn by: JD  
Checked by: LR

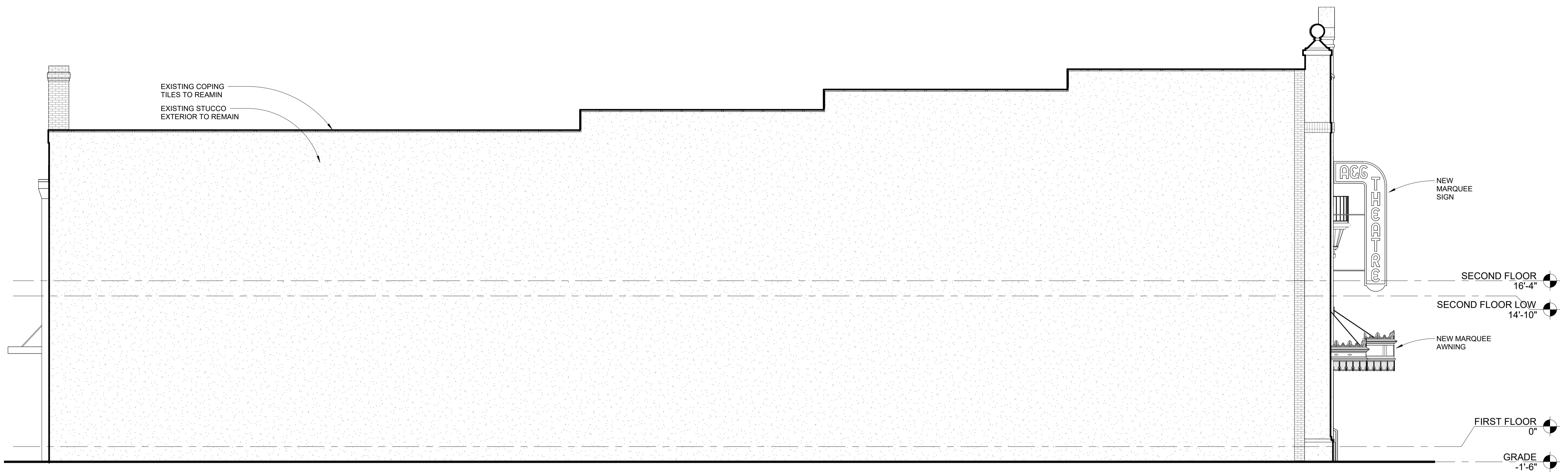
11-22-24 SD  
12-3-24 Certificate of Appropriateness

# A2.1

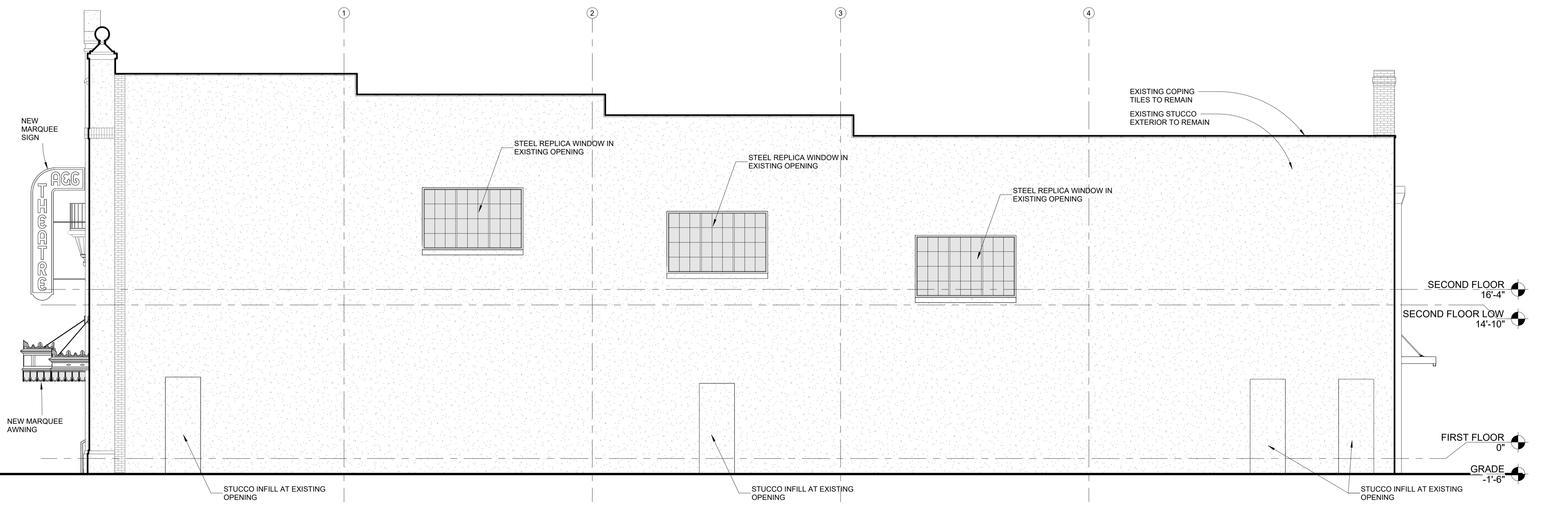
EXTERIOR ELEVATIONS

Albert Architecture & Urban Design ap/c  
2739 Conti Street  
New Orleans, LA 70119  
504.827.0056

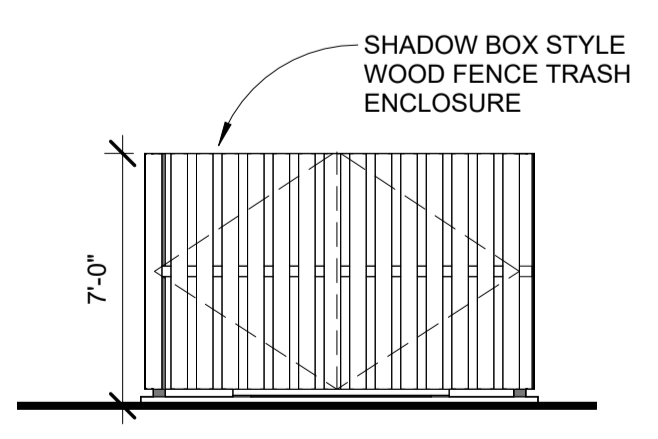
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1 INTERIOR SIDE ELEVATION NEW CONSTRUCTION  
A2.2 3/16" = 1'-0"



2 STATE ST ELEVATION NEW CONSTRUCTION  
A2.2 3/16" = 1'-0"



## 150 NORTH BEACH BOULEVARD - THEATER RENOVATION

150 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

Drawn by: JD  
Checked by: LR

11-22-24 SD  
12-3-24 Certificate of Appropriateness

# A2.2

EXTERIOR ELEVATIONS

**Certificate of Appropriateness/Conceptual Review Application Form**

Property Address: 200 North Beach Boulevard Bay St Louis, MS 39520  
 Applicant Name: Albert Architecture Louisiana Coastal VI LLC: James MacPhaille, Member  
 Owner Name: \_\_\_\_\_  
 Mailing Address: 2739 Conti St, New Orleans, LA 70119 Mailing Address: 5208 Magazine St New Orleans, LA 70115  
 Phone: 504 827 0056 Phone: 504-382-9200

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

**New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed;** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: John Dauer John Dauer (Albert Architecture) Date: 12/2/24

Owner' Signature Louisiana Coastal VI LLC: James MacPhaille, Member

Required: James MacPhaille Date: 12/02/2024

**Please refer to the checklist of materials required with your application**

**A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.**  
*Historic Preservation Commission / City Council Use Only*

Application

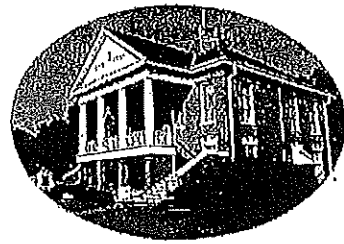
HPC Review / City Council Review

Historic District	Case Number:
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date:
<b>Recommendation:</b> <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments:	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date:
COA Action: Approval: <input type="checkbox"/> YES <input type="checkbox"/> NO / Date COA Action:	Review Date:
Comments:	
(BSL Historic Preservation Commissioner)	(City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAY SAINT LOUIS

## Bay St. Louis



### Historic Preservation Commission

#### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Louisiana Coastal VI LLC: James MacPhaille, Member

Address: 5208 Magazine St New Orleans, LA 70115  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number( 504 ) 382-9200

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 200 North Beach Boulevard Bay St Louis, MS 39520

Give written scope of work to be performed: \_\_\_\_\_

Project includes the addition of a rooftop bar, deck, and kitchen to existing 2 story restaurant.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

### MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

1. Site Plan, indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
  - a) Siding material: wood, hardi-plank, etc...
  - b) Masonry material: brick, stucco, etc...
  - c) Exterior openings; windows and doors: indicated size, types and materials.
  - d) Shutters and Awnings: indicated size, types and materials.
  - e) Column size and types
  - f) Roofing materials: wood, metal, slate, etc....
  - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
  - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*

**PROJECT DATA**

**PROJECT DESCRIPTION:** ROOFTOP BAR, KITCHEN AND DECK ADDITION TO EXISTING 2 STORY RESTAURANT.

**APPLICABLE CODES:**

- INTERNATIONAL BUILDING CODE, 2018
- INTERNATIONAL RESIDENTIAL CODE, 2018
- INTERNATIONAL MECHANICAL CODE, 2018
- INTERNATIONAL PLUMBING CODE, 2018
- INTERNATIONAL FUEL GAS CODE, 2018
- INTERNATIONAL PRIVATE SEWER DISPOSAL CODE, 2018
- INTERNATIONAL SWIMMING POOL CODE, 2018
- INTERNATIONAL EXISTING BUILDING CODE, 2018
- NFPA 70 NATIONAL ELECTRIC CODE, 2017
- INTERNATIONAL FIRE CODE, 2018

**APPLICABLE ZONING CODE:**

BAY ST LOUIS ZONING CODE  
C-1 CENTRAL BUSINESS ZONING

USES ALLOWED BY RIGHT BARS, TAVERNS, NIGHTCLUBS & LOUNGES, RESTAURANT

MINIMUM LOT AREA: N/A  
MINIMUM LOT WIDTH: 25 FEET  
MINIMUM FRONT YARD: 25 FEET (OR AVERAGE OF NEARBY PROPERTIES); 0 FEET ON MAIN ST. AND BEACH BLVD.  
MINIMUM SIDE YARD: 0 FEET  
IF PROVIDED: 5 FEET FOR ALLEY FORMATION  
ABUTTING RESIDENTIAL: MATCH RESIDENTIAL SETBACK, WITH 6-FOOT OPAQUE FENCE  
MINIMUM REAR YARD: 0 FEET  
MAXIMUM LOT COVERAGE: 100%  
MAXIMUM BUILDING HEIGHT: 50 FEET  
MAY INCREASE BASED ON FEMA FLOOD ELEVATION REQUIREMENTS  
OVER 35 FEET REQUIRES FIRE DEPARTMENT APPROVAL

ACCESSORY STRUCTURES: SEE SECTION 1002

PARKING REQUIREMENTS:  
CENTRAL BUSINESS DISTRICT (C-1): NO OFF-STREET PARKING REQUIRED

SIGNAGE: REFER TO SECTION 904

**THE BUILDING WILL NOT EXTEND BEYOND THE PROPERTY LINE OR REQUIRED SETBACKS DURING THE RENOVATION**

**OCCUPANCY:** ASSEMBLY GROUP A2  
**TYPE OF CONSTRUCTION:** TYPE III-B (SPRINKLERED)

EXISTING 1ST FLOOR 5452 SF  
EXISTING 2ND FLOOR 4584 SF (5208 SF WITH BALCONY INCLUDED)  
NEW 3RD FLOOR ROOF DECK 2919 SF 1435 SF (CONDITIONED) 1484 (UNCONDITIONED DECK)  
TOTAL = 13579

BUILDING HEIGHTS AND AREA: PER IBC	ALLOWED	PROPOSED
HEIGHT:	75' IBC 50' ZONING	44'
STORIES:	3	3
BUILDING AREA:	28,500 SF	5454 MAX FLOOR AREA SF

PLUMBING REQUIREMENT: 1500 SF / 15 + 15 BAR SEATS = OCCUPANT LOAD OF 115		
# REQUIRED RESTAURANT	WATERCLOSET 1 PER 75	LAVATORY 1 PER 200
	2	1
# REQUIRED BAR	DRINKING FOUNTAIN 1 PER 500	SERVICE SINK
	1	1
# REQUIRED RESTAURANT	WATERCLOSET 1 PER 40	LAVATORY 1 PER 75
	3	2
# REQUIRED BAR	DRINKING FOUNTAIN 1 PER 500	SERVICE SINK
	1	1

**INSULATION REQUIREMENTS PER IECC 2018 CLIMATE ZONE 2**

ROOF-	
ABOVE DECK	R-25 ci
ATTIC	R-38
WALL	
MASS WALL	R-5.7 ci
METAL FRAMED	R-13 + R-5 ci
WOOD FRAMED	R-13

**200 NORTH BEACH BOULEVARD - ROOFTOP BAR**

200 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

Drawn by: JD  
Checked by: LR

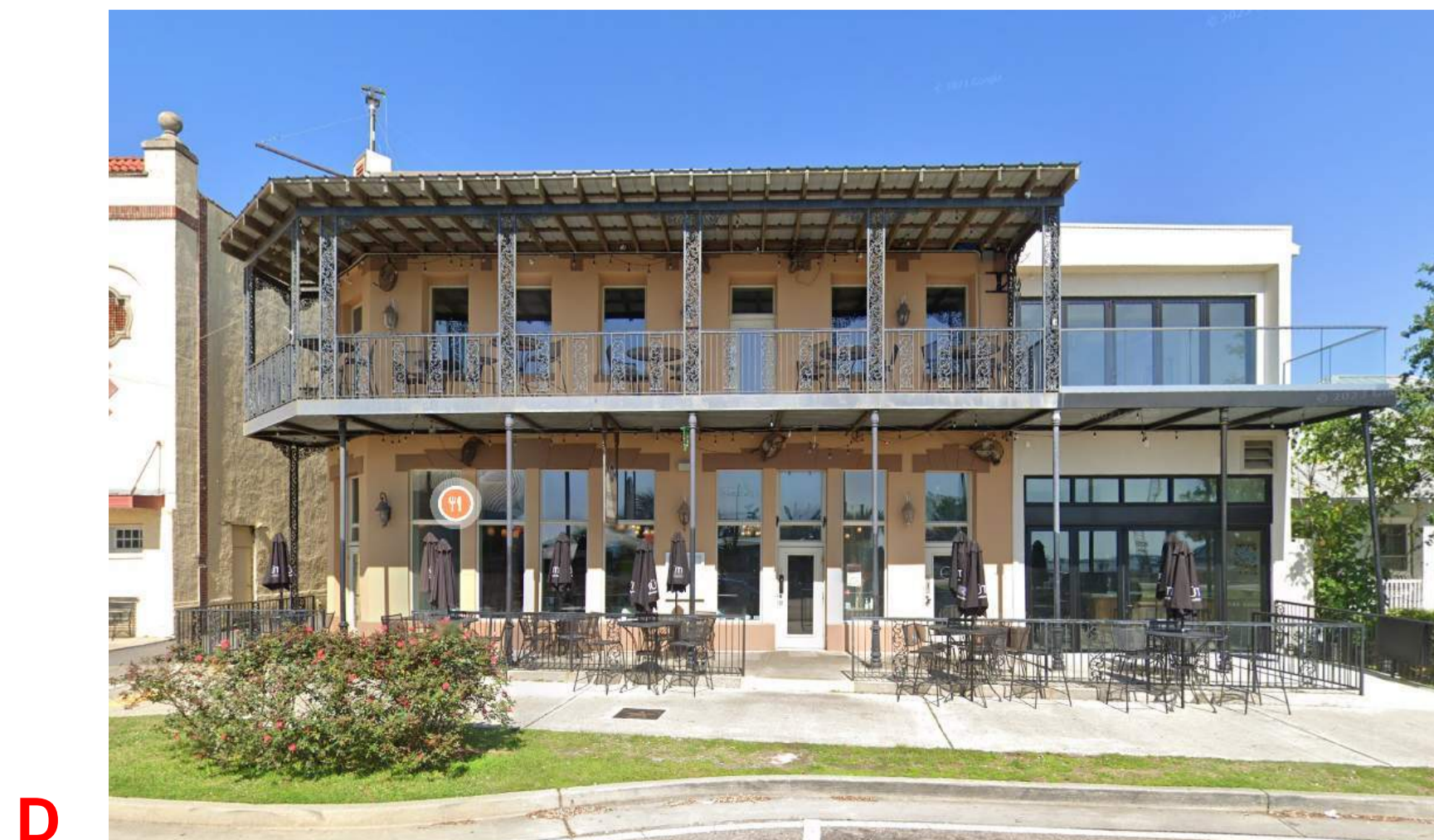
11-22-24 SD  
12-3-24 Certificate of Appropriateness

**A0.2**

PROJECT INFO AND SITE PLAN



**SITE PLAN**  
1  
A0.2  
3/32" = 1'-0"



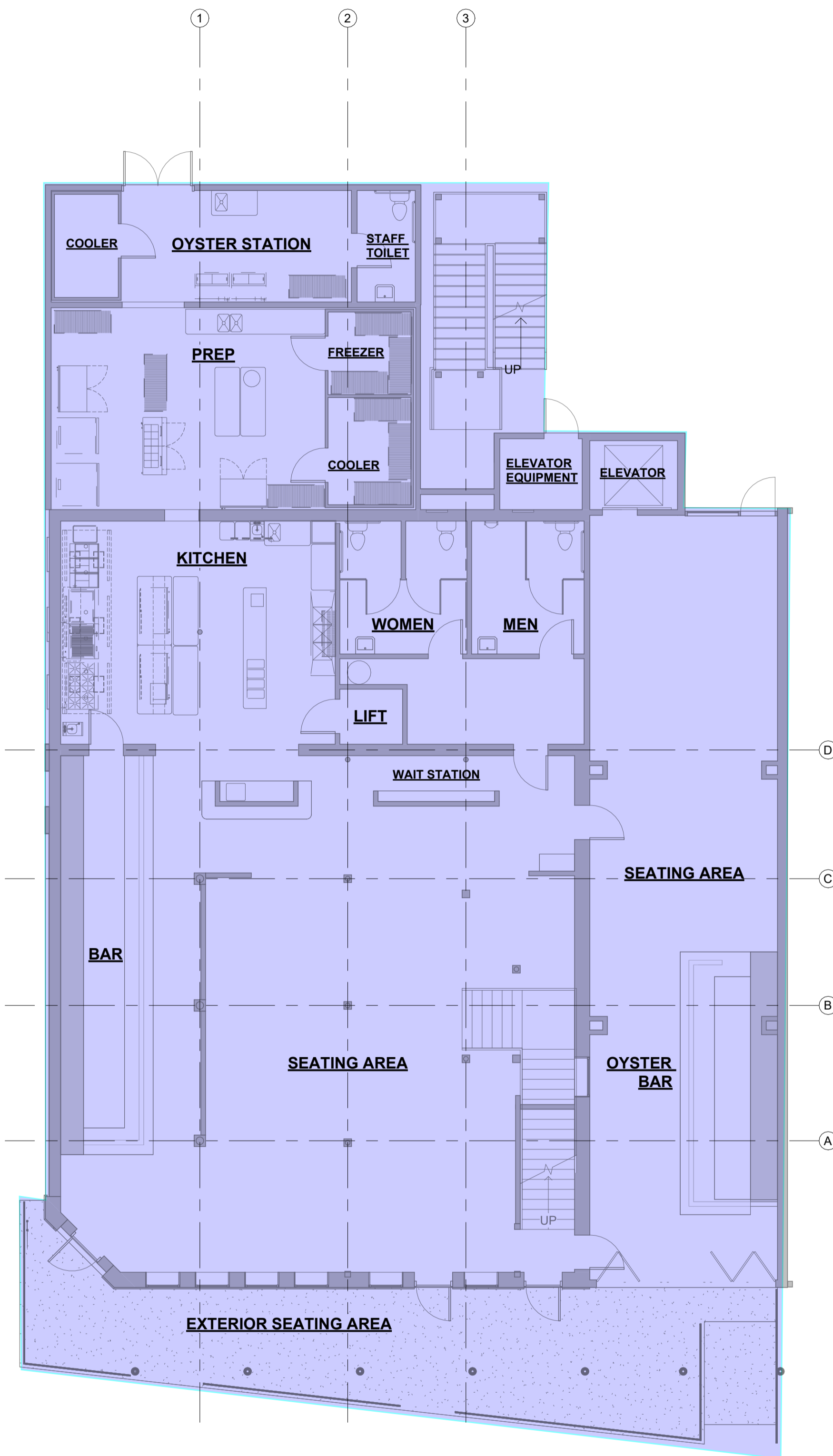
A

B

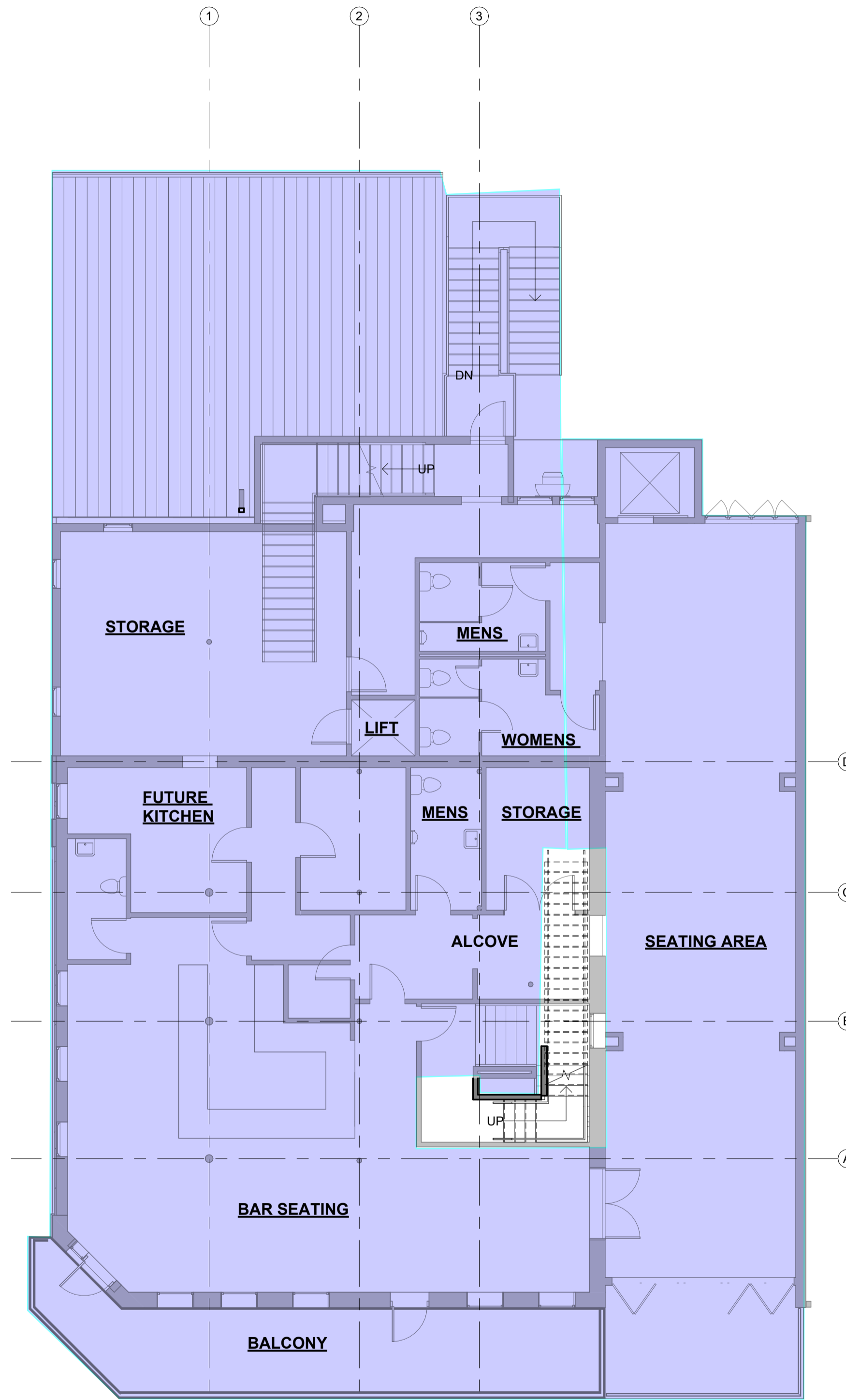
C

D

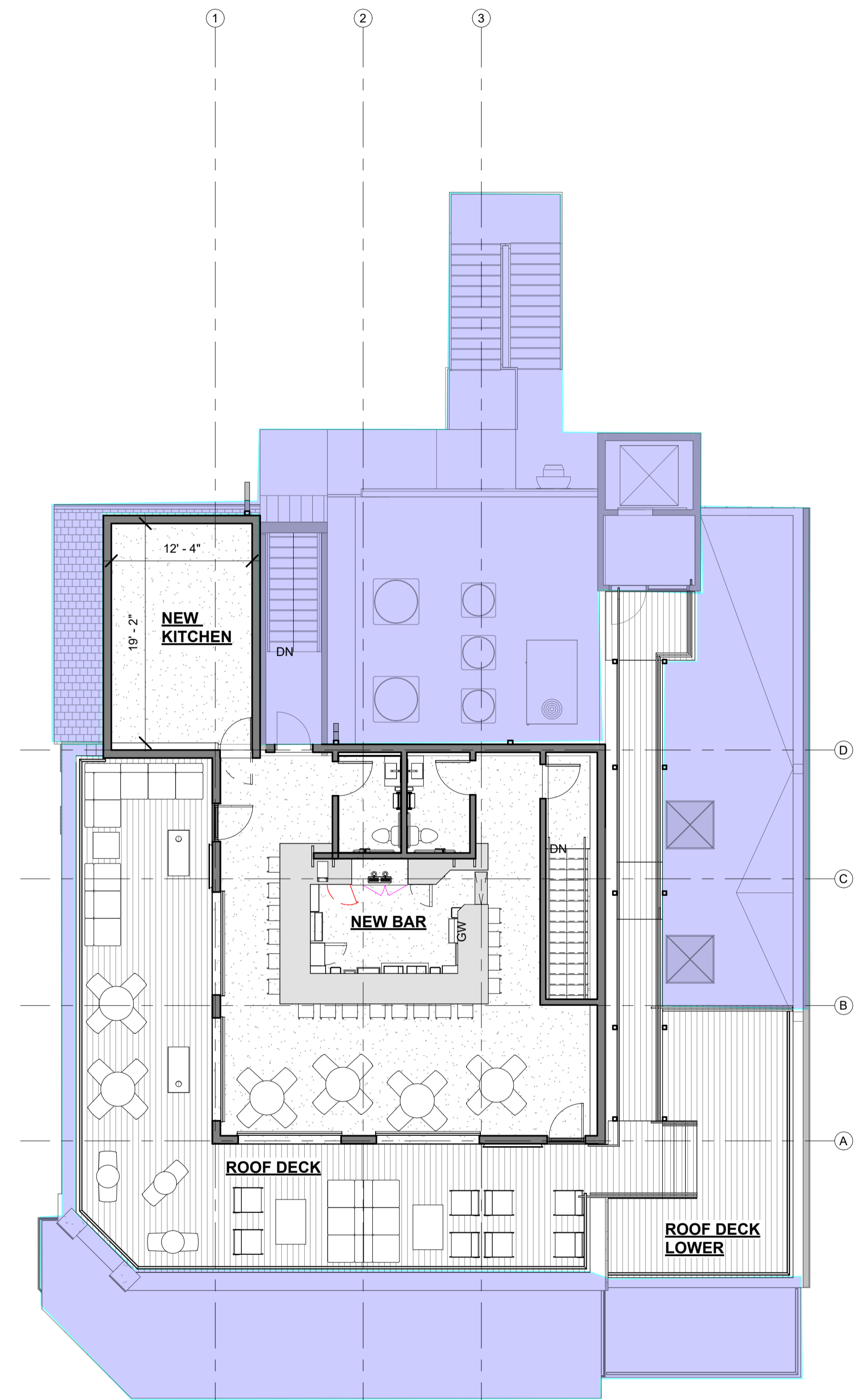
**EXISTING TO REMAIN**



1  
A1.2 **1ST FLOOR**  
1/8" = 1'-0"



2  
A1.2 **2ND FLOOR**  
1/8" = 1'-0"



3  
A1.2 **ROOF DECK**  
1/8" = 1'-0"

**200 NORTH BEACH BOULEVARD - ROOFTOP BAR**

200 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

12-20-24  
DESIGN DEVELOPMENT

Drawn by: JD  
Checked by: LR

11-22-24 SD  
12-20-24 DD

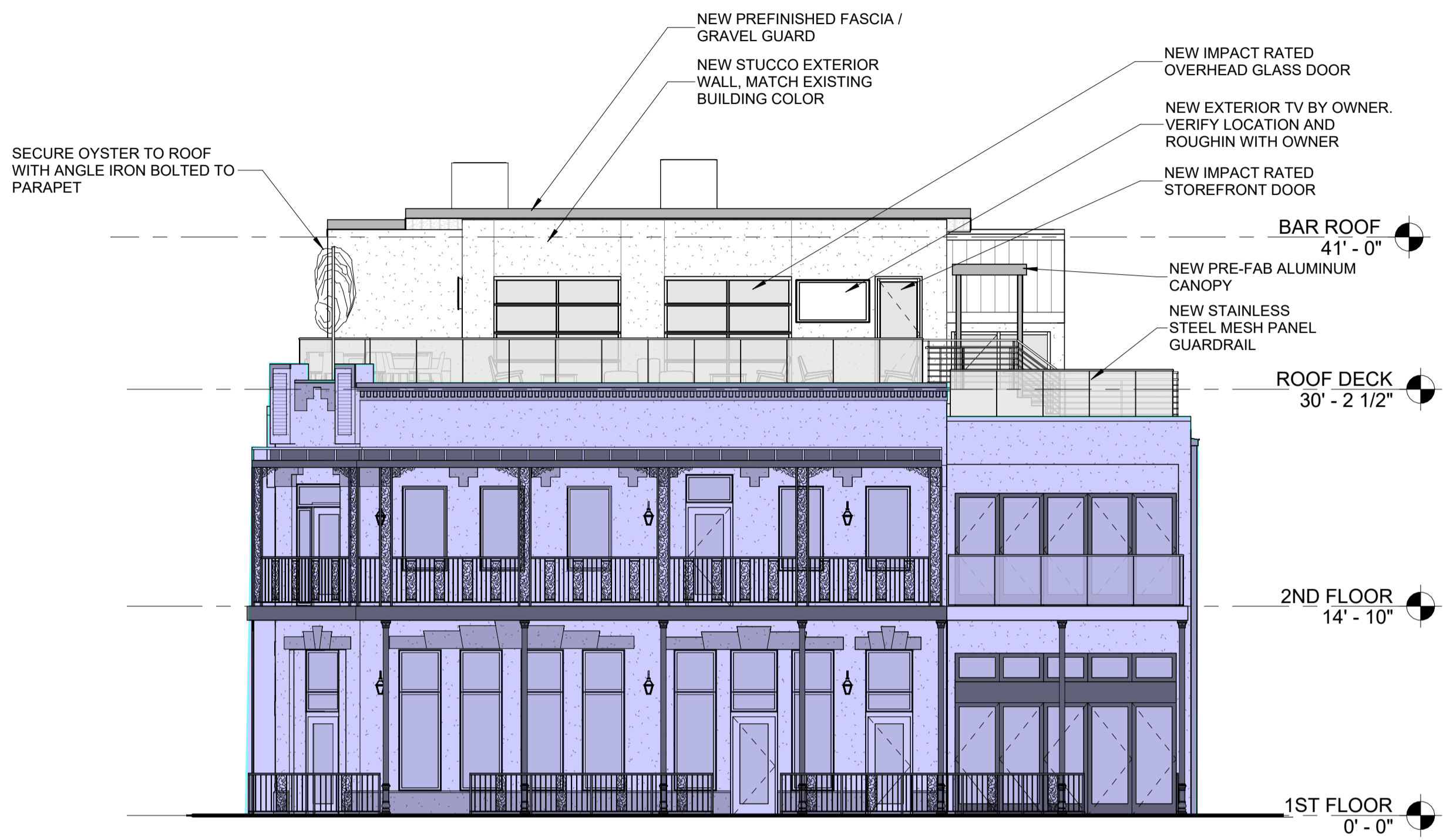
**A1.2**

FLOOR PLANS  
OVERALL

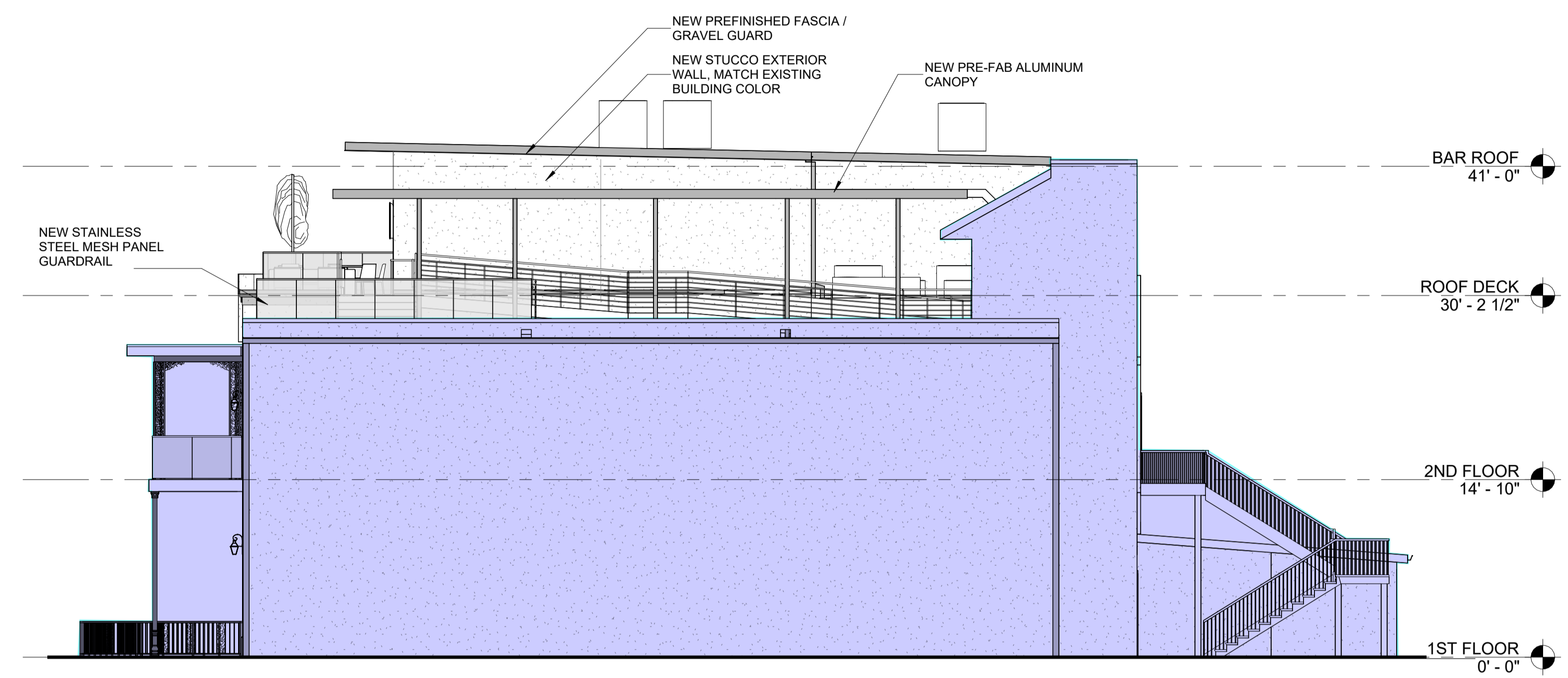
Albert Architecture & Urban Design applic  
2739 Conti Street  
New Orleans, LA 70119  
504.827.0056

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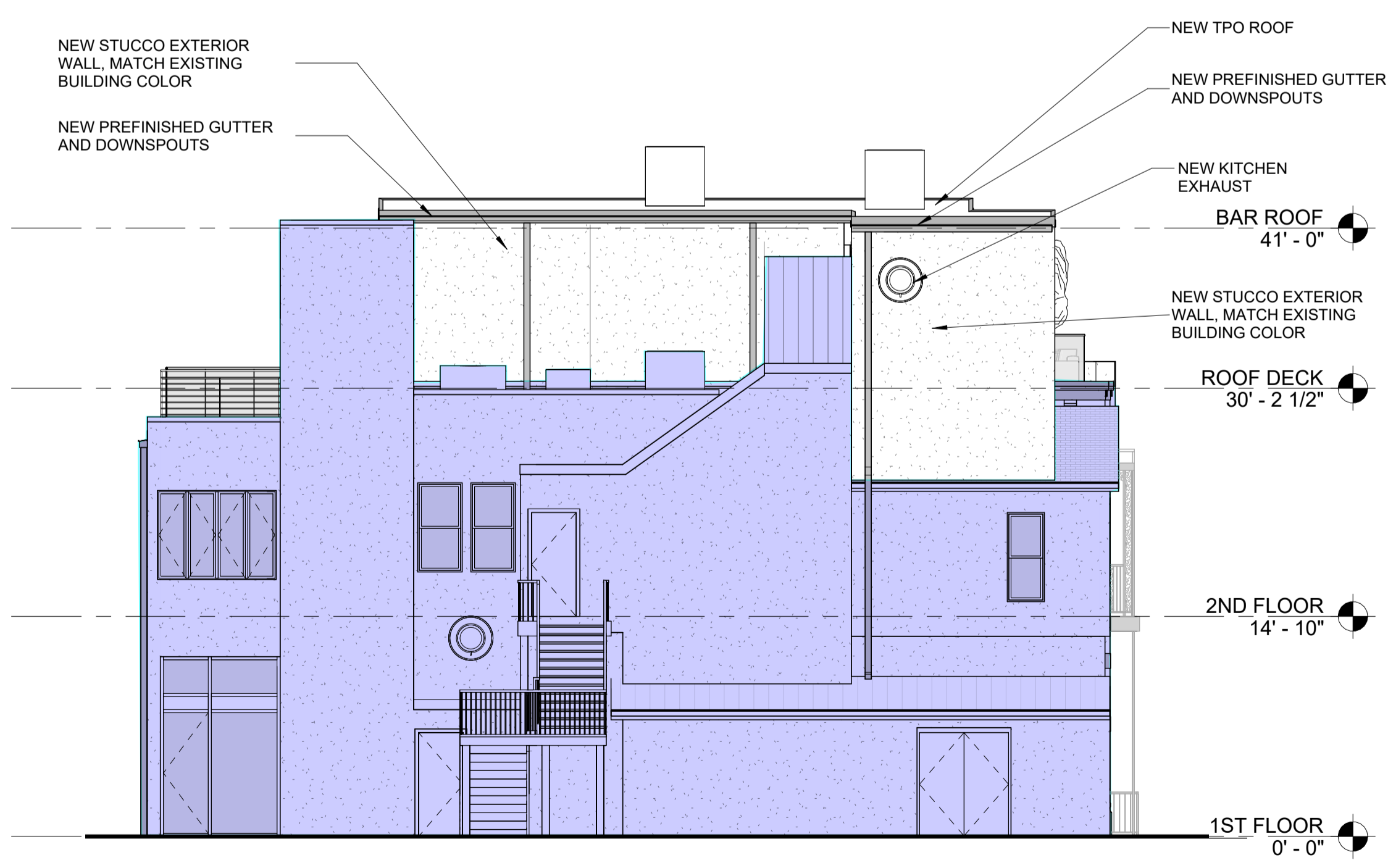
EXISTING TO REMAIN



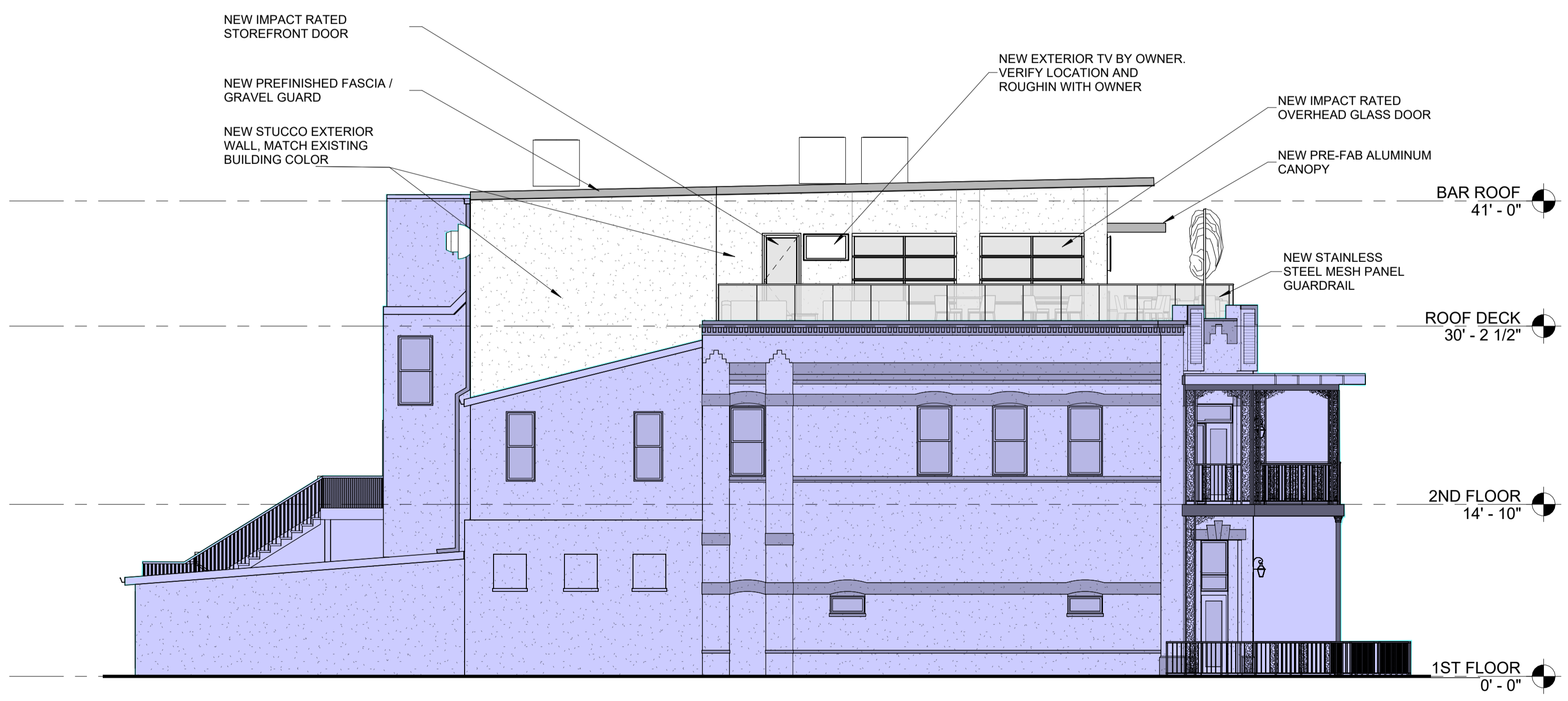
1 N BEACH BLVD ELEVATION  
A2.1 1/8" = 1'-0"



2 INTERIOR SIDE ELEVATION  
A2.1 1/8" = 1'-0"



3 REAR ELEVATION  
A2.1 1/8" = 1'-0"



4 STATE ST ELEVATION  
A2.1 1/8" = 1'-0"

200 NORTH BEACH BOULEVARD - ROOFTOP BAR

200 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY NOT FOR CONSTRUCTION

Drawn by: JD  
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11-22-24 SD  
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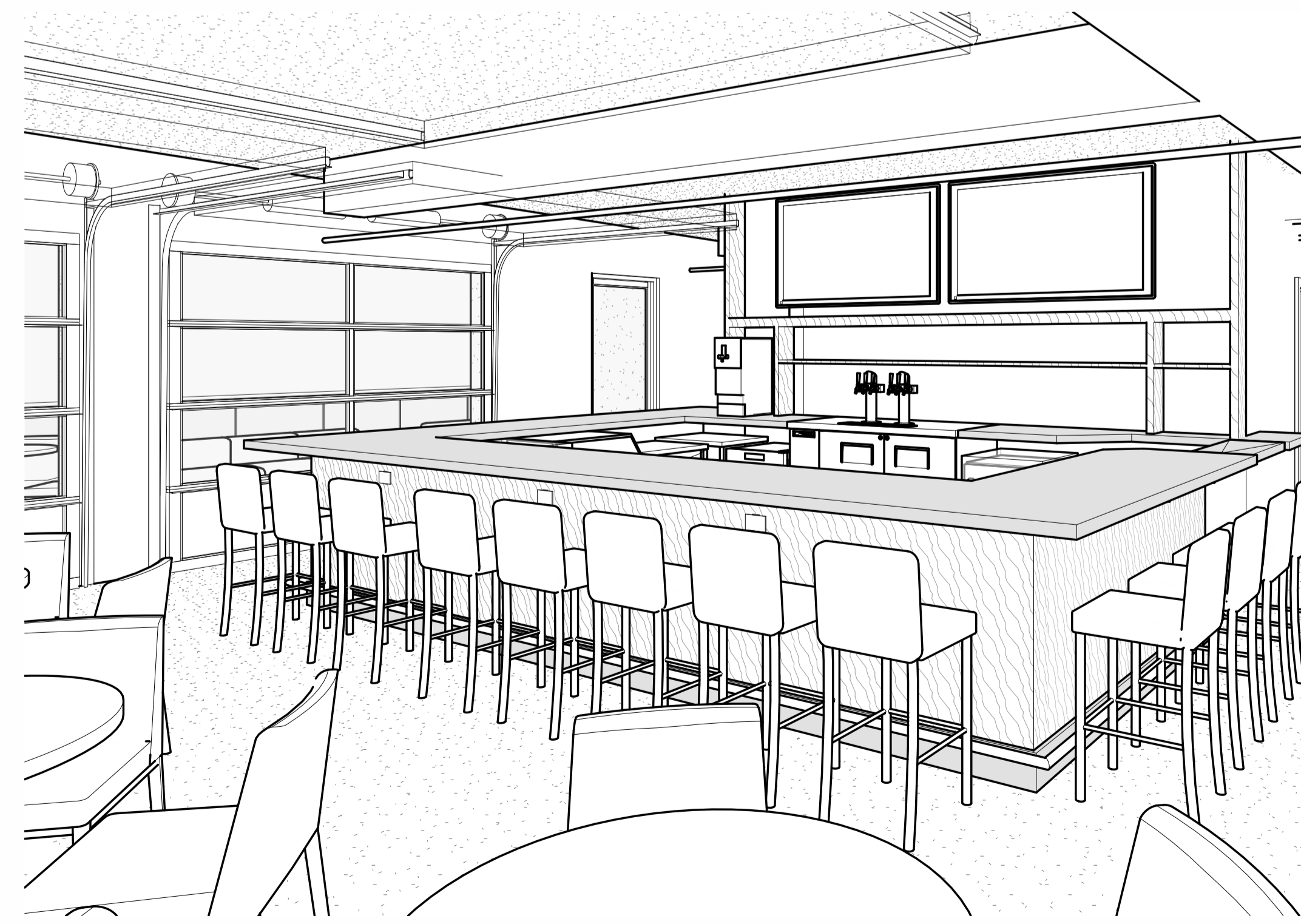
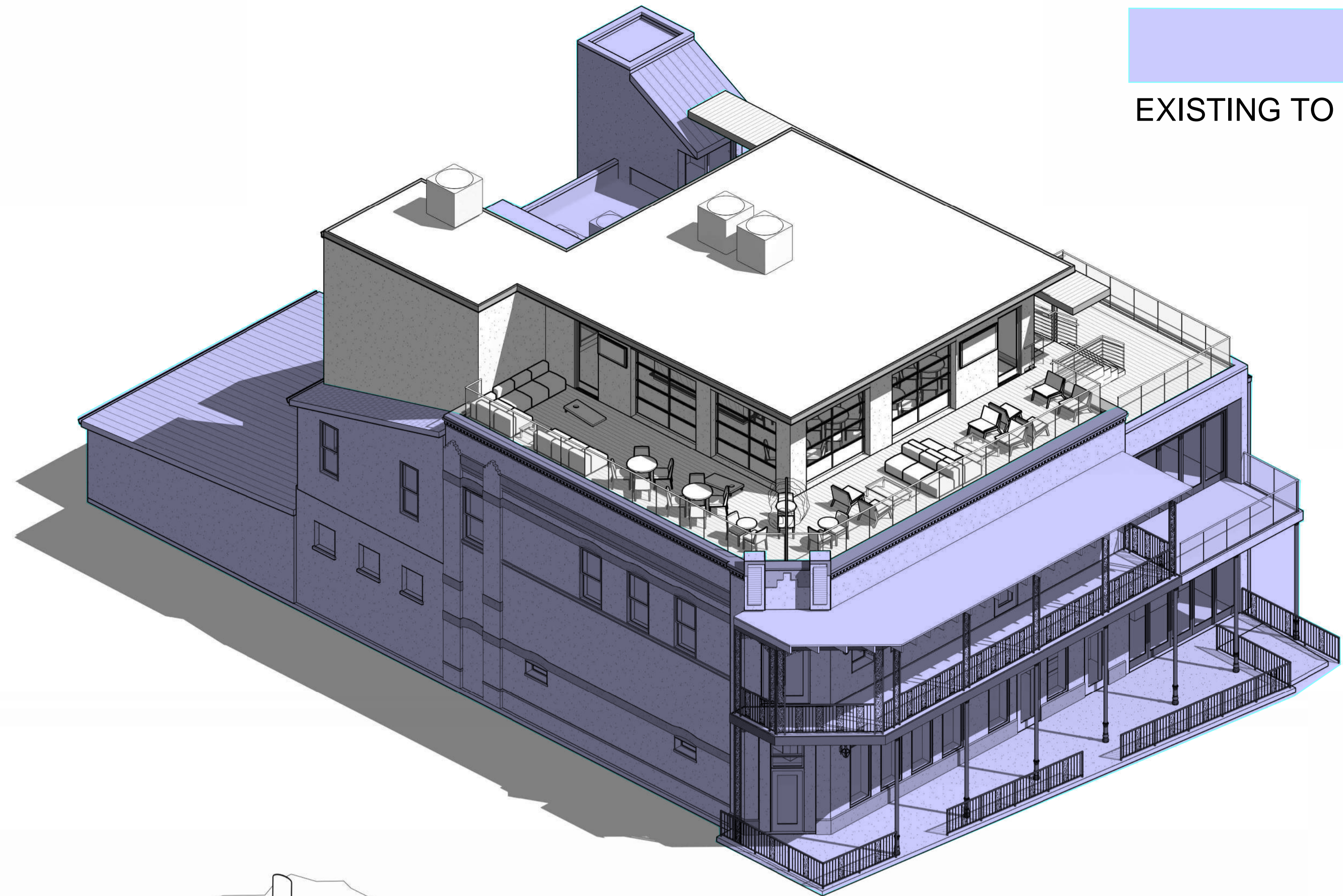
## A2.1

EXTERIOR ELEVATIONS OVERALL

Albert Architecture & Urban Design ap/c  
2739 Conti Street  
New Orleans, LA 70119  
504.827.0056

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EXISTING TO REMAIN



**200 NORTH BEACH BOULEVARD - ROOFTOP BAR**

200 N BEACH BLVD, BAY ST  
LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

Drawn by: JD  
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**A9.1**

3D VIEWS



## November 12, 2024 Historic Preservation Commission meeting Minutes

November 12, 2024 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

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### Call to Order

### Action Items

1. Motion to approve the removal of the existing sign and installation of a new sign at 142A Blaize Avenue submitted by Shawn Welter (Flip Flop Shops)

Motion made by Commissioner Keating, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

2. Motion to approve the changing of windows at 204 Carroll Avenue submitted by Nancy and Scott Hoelzel

Motion made by Commissioner Bezou, Seconded by Commissioner Haas.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

3. Motion to approve the installation on a pool in the back yard of 313 St John Street submitted by Gulf Coast Pools

Motion made by Commissioner Keating, Seconded by Commissioner Haas.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger,  
Chairman Rabalais, Commissioner Bezou

4. Approve a sign for The Envy on Main at 136 Main Street submitted by Diane Dudek

Motion made by Commissioner Haas, Seconded by Commissioner Keating.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger,  
Chairman Rabalais, Commissioner Bezou

### **Minutes Approval**

5. Motion to approve minutes from October 14, 2024, Historic Preservation Commission meeting

Motion made by Commissioner Bezou, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,  
Commissioner Bezou

Voting Abstaining: Commissioner Haas

### **Minutes Approval**

6. Motion to allow build department for forward request to HPC for preliminary approval

Motion made by Chairman Rabalais, Seconded by Commissioner Keating.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger,  
Chairman Rabalais, Commissioner Bezou

7. Discussion of at site visit of Bezou, Rabalais, and Wessinger with potential buyer's realtor at 604 North Beach Blvd.

**Adjourn**

Motion made by Commissioner Bezou, Seconded by Commissioner Keating.

Voting Yea: Commissioner Haas, Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Date