



Historic Preservation Commission Meeting 9.9.2024 Agenda

September 09, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Action Items

1. Motion to approve the construction of a gazebo at 308 Main Street submitted by Matt Reeves
2. Motion to approve the addition to the rear of the house and carport at 108 S Toulme submitted by Parker

Minutes Approval

3. Motion to approve July 8, 2024 HPC meeting minutes
4. Motion to approve August 12, 2024 Historical Preservation Commission meeting minutes

Adjourn



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: MATT REEVES

Address: 308 MAIN ST BSL MS 39520 (No P.O. Boxes)

Telephone Number 504 250-7339 Cell Number 985 789-4830

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE:

Give written scope of work to be performed: CONSTRUCTION OF GAZEBO IN BACK RIGHT SECTION OF PROPERTY ALL MATERIALS & COLORS WILL BE CAREFULLY CHOSEN TO MATCH EXISTING STRUCTURES

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521
Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 308 MAIN ST
Applicant Name: MATT REEVES Owner Name: MATT REEVES
Mailing Address: 308 MAIN ST Mailing Address: BAY ST LOUIS, MS
Phone: 504-250-7539 Phone: 985-1789-4830

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 9/3/24

Owner Signature: [Signature] Date: 9/3/24

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Application

HPC Review / City Council Review

Historical District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval	
Comments	
Requires Property Owner / Applicant Signature	
City Council Review	Review
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO	Date COA Action
Comments	
BSL Historic Preservation Commissioner	City Council Resident Signature
(Date)	(Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

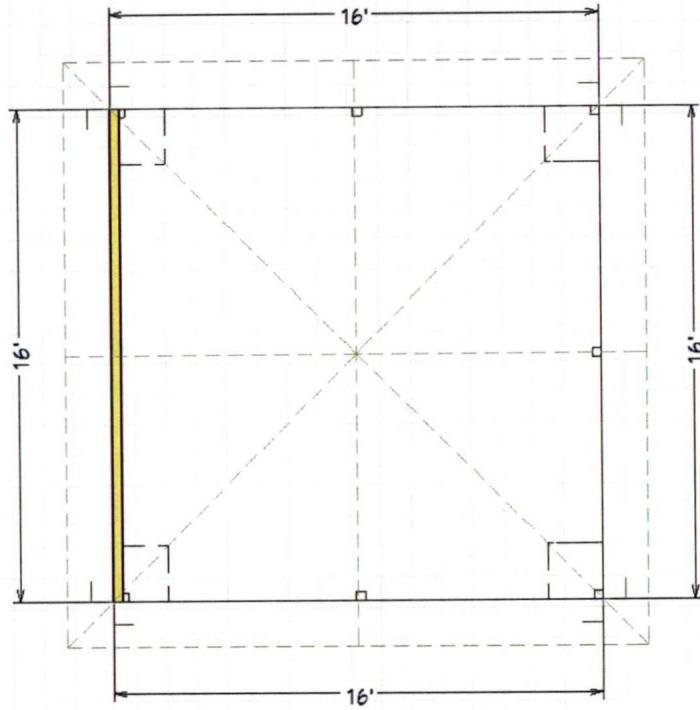
Revised May 4, 2009

Item # 1.



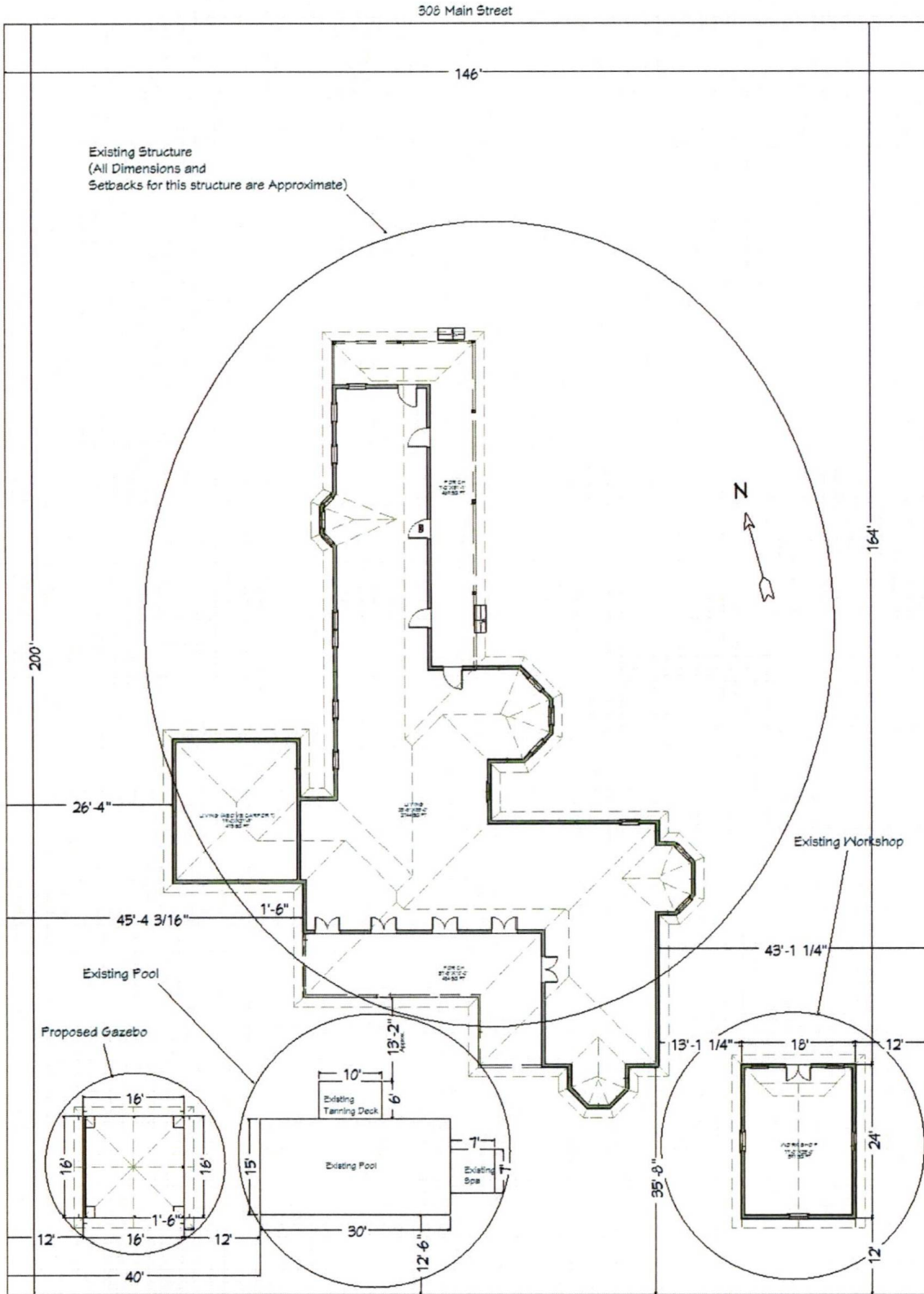
Description of Exterior Trim Materials Used

- a) Siding material - Hardi Siding
- b) Masonry material - Concrete Foundation
- c) Exerior Openings - Open
- d) Shutters or Awnings - N/A
- e) Columns - 8" x 8" Wood Posts
- f) Roofing - Corrgated Sheet Metal
- g) Landscaping Elements - Masonary Pavers and Natural Ladscaping Materials



LIVING AREA
256 SQ FT

A-2 Sheet	Scale 1/4" = 1'	Date 9-3-2024	Drawing Provided By:	Project Description:	Sheet Title:
			Matthew Reeves	Open Gazebo 308 Main Street Bay Saint Louis, MS 39520	Gazebo Detail



A-1 Sheet	Date	Drawing Provided By:	Project Description:	Sheet Title:
	9-3-2024	Matthew Reeves	Gazebo Addition 308 Main Street Bay Saint Louis, MS 39520	Plot Plan

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 108 South Toume
 Applicant Name: Parker Construction Owner Name: Andy Parker
 Mailing Address: 146 Unit B, BSL Mailing Address: 108 South Toume, BSL
 Phone: 228-588-8008 Phone: 228-860-2869

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Application

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building, Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: April Parker Date: 8/27/2024

Owner's Signature _____ Date: _____
 Required: _____

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Historic Preservation Commission / City Council Use Only

HPC Review / City Council Review

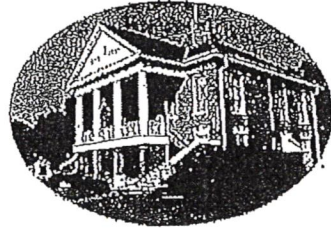
Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO	Date COA Action
Comments	
(BSL Historic Preservation Commissioner)	(City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Revised May 4, 2009

BAY SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Andy Parker

Address: 108 South Tealme, BSL
(No P.O. Boxes)

Telephone Number (278) 588-8008 Cell Number (278) 860-2869

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: Addition to
the rear of the dwelling for
living and space and addition
of a carport

HISTORIC PRESERVATION COMMISSION REVIEW

CITY OF BAY ST. LOUIS, MISSISSIPPI

MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

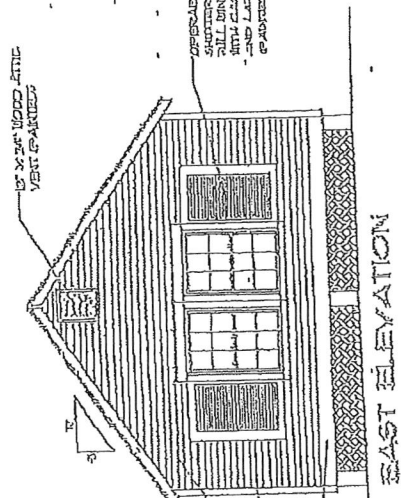
1. Site Plan, Indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
 - a) Siding material: wood, hardi-plank, etc...
 - b) Masonry material: brick, stucco, etc...
 - c) Exterior openings; windows and doors: Indicated size, types and materials.
 - d) Shutters and Awnings: Indicated size, types and materials.
 - e) Column size and types
 - f) Roofing materials: wood, metal, slate, etc....
 - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
 - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

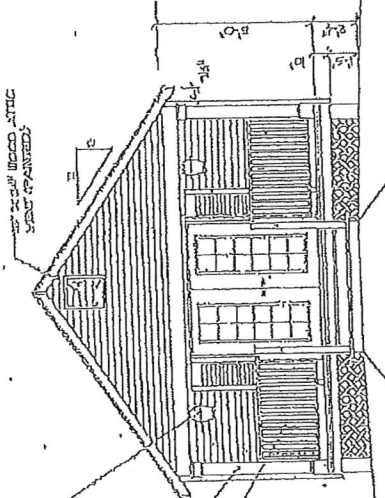
1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

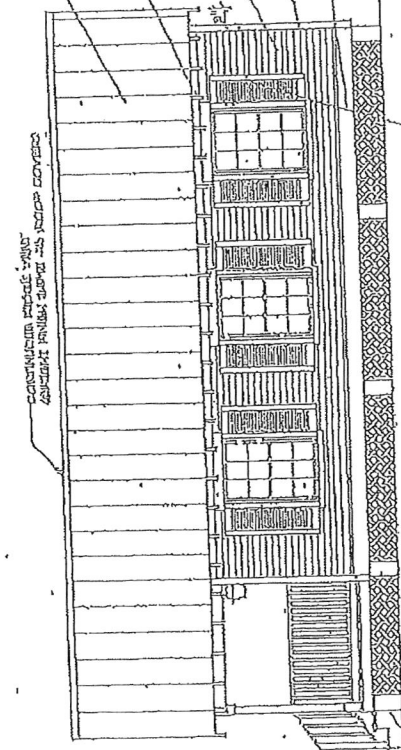
Bay St. Louis Historic Preservation Commission
March 1, 2008



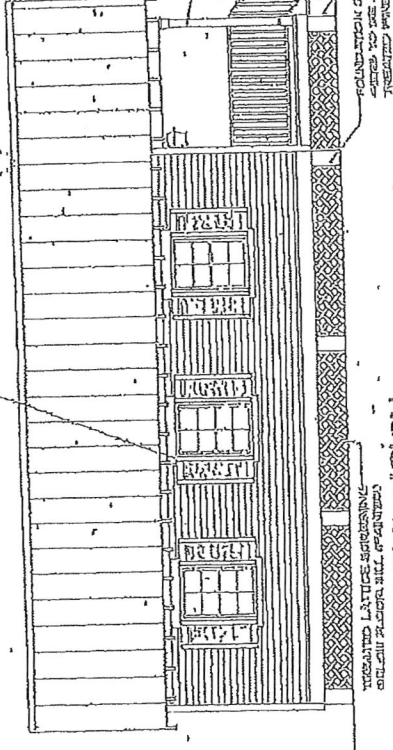
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

NOTES: HANDSOME AND STYLISH
 WITH TO MODERN AND
 COMFORTABLE. THE
 INTERIOR IS FINISHED
 WITH HARDWOOD FLOORING
 AND LIGHT WALLS.
 THE ROOF IS FINISHED
 WITH ASPHALT/FLY
 SHEETING.

LIGHT FIXTURES TO BE
 SELECTED WITH
 CAST IRON FINISHING
 TO BE MATCHED WITH THE
 COLOR OF THE
 HOUSE.

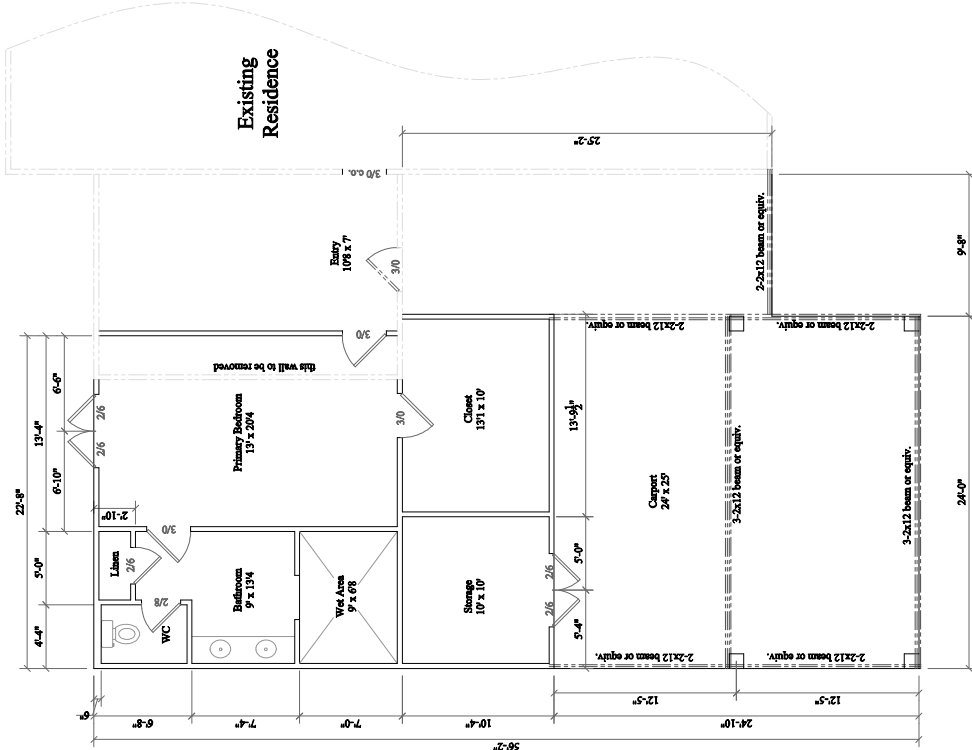
3\"/>

SOFT, SILENT, SPARKLE
 AND SHINE TO BE
 MATCHED WITH THE
 HOUSE.

FOUNDATION SUPPORT
 TO BE 3\"/>

EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

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 any of its contents may be reproduced, stored in a retrieval system, or
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FLOOR PLAN



CEILING JOIST PLAN

NOTES:

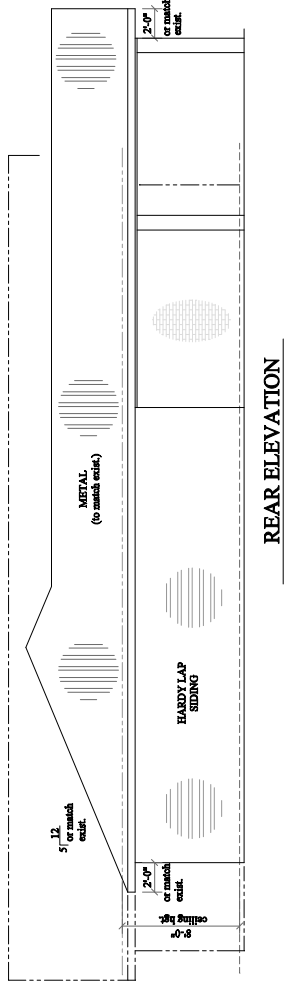
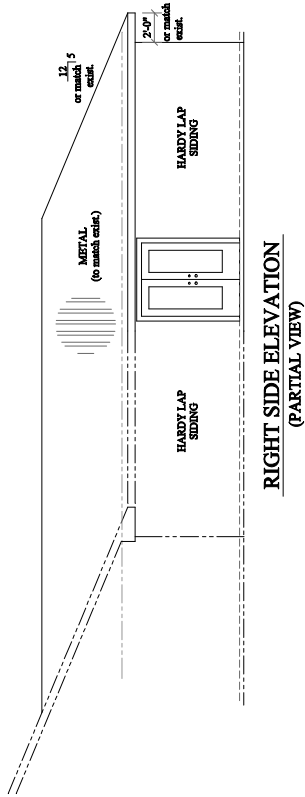
1. All plumbing walls must be sized according to penetrations.
 2. All plumbing fixtures shall have access to valves to any slip joints.
 3. Rise on steps must not exceed 7 and 3/4 inches.
 4. Attic access must be at least 22" by 30" rough opening.
 5. Crawlspace shall have minimum access of 18" by 24" clear opening.
 6. Equipment in attic must be within 20" of access.
 7. Must have clear walkway of 24" wide and have 30" on the service of all equipment including hot water heater.
 8. Bathrooms with mechanical means of ventilation must be vented to the exterior.
 9. Motors to whirlpool tubs must be accessible.
 10. Windows and doors must be minimum 21" from corners on an 8' wall and 34" on a 10' wall.
 11. Roof bracing must be done to a load bearing wall.
 12. A copy of all truss engineering must be submitted to inspectors office, this includes installation instructions.
13. Guardrail required if more than 30" above grade.
 14. Treated materials are required below BFE.
 15. Unless otherwise approved in advance, all garage door headers its equivalent. Double 2" by 12" will not be accepted.
 16. Interior load bearing walls must be properly anchored.
 17. Sleeve caper lines under ground through out foundation.
 18. Window size requirements for emergency means of egress. Includes minimum 24" in height and 21" in clear width when in the open position. Minimum 5 sq. ft. at grade level and 5.1 sq. ft. above grade.
 19. 8% of each habitable room floor space for light and vent required.
 20. Plywood roof sheathing must not be less than 2" in width.
 21. Ridge vents shall not run within 4" of ridge end unless manufacturer states otherwise.
 22. Connectors to meet galvanized requirement as per Code. (2-max Or. equivalent)

- NOTES:**
1. City stamped approval plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/unmanufactured materials/elements including spans, loads, layouts, spanning details (20 mph), etc. (beam, joist, etc.) must be provided.
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and all items (property installed) where necessary. Must have **HAZARD SURFACE CONSTRUCTION** signs posted.
 5. All equipment, platforms, materials shall have proper work clearance. (E3403 and M1365.1 of 2018 IRC)

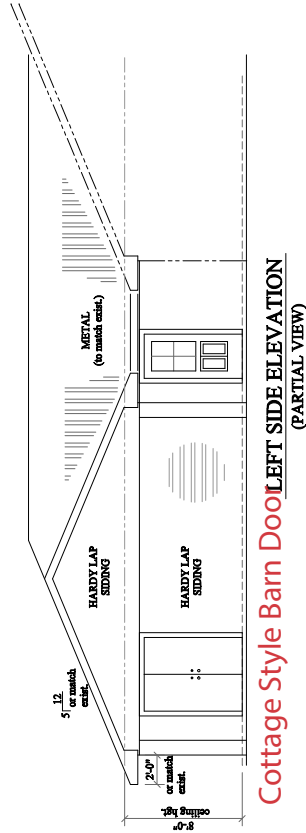
The Residence Of		Date	25 Aug 2024	Sheet	2
Andy Parker		Drawn by			
108 S. Toulme St.		Check by			
Bay St. Louis, MS 39520					
24 pages	FLOOR PLAN AND CEILING JOIST				
Scale:	1/4"=1'-0"				

Item # 2.

Standing Seam Roof



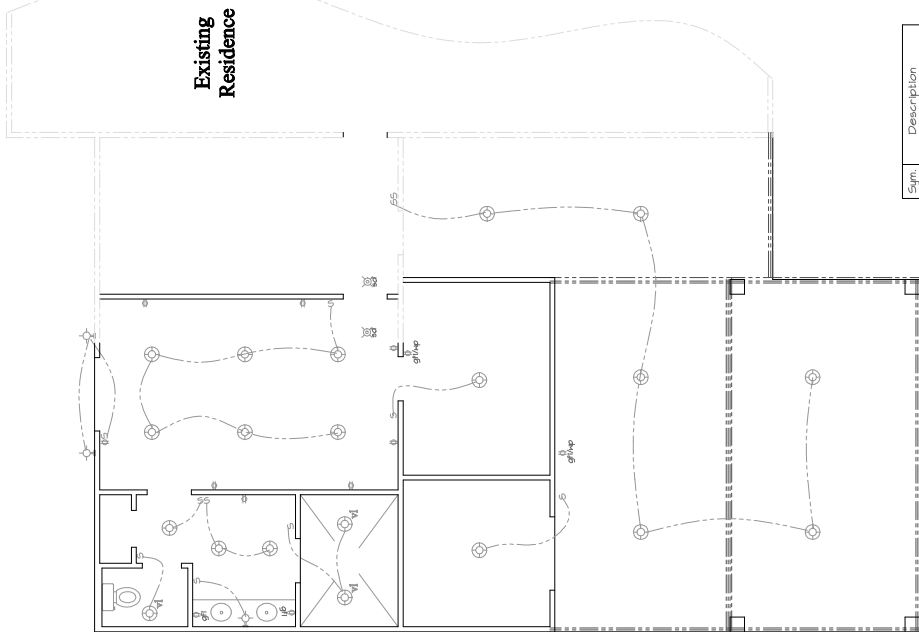
Board & Batten Hardie in new gable only



- NOTES:
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/brands are to be included in the plans, including girts, joists, layout, framing details (CSI req'd), etc. (Joists, rafters, etc. shall be specified in the plans.)
 4. Contractors shall be responsible for maintaining proper drainage, property lines, and other items. All exterior surfaces shall be finished and cleaned up including street on daily basis and all items (properly installed) where necessary. Must have HARD SURFACE CONSTRUCTION.
 5. All equipment, platforms used/shall have proper work clearance. (B3403 and M13051, of 2013 IRC)

The Residence Of		Date	25 Apr 2024	Sheet
Andy Parker		Drawn by		3
108 S. Touline St.		Checked by		
Bay St. Louis, MS 39520		ELEVATIONS		
24 pages				
Scale: 1/4"=1'-0"				

Item # 2.

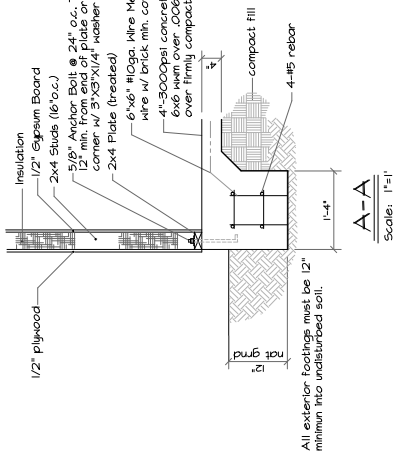


ELECTRICAL PLAN

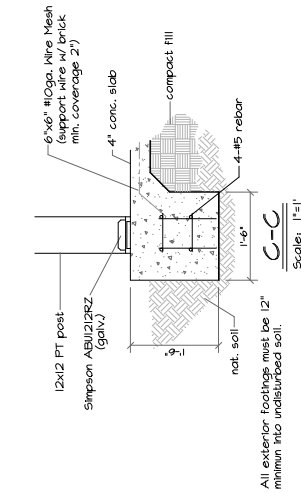
Sym	Description
⊙	Light Fixture
⊕	Vent/Light
⊖	Recessed Light
⊙	Hall Mount Light
⊖	Fluorescent Light
⊕	Exterior Flood Light
⊙	110 outlet
⊕	220 outlet
⊕	110 outlet/ground fault
⊕	110 outlet/gf/airproof
⊕	Switch
⊕	Smoke Detector
⊕	Doorbell
⊕	Television Outlet
⊕	Telephone Outlet
⊕	Ceiling Fan

Electrical Notes:

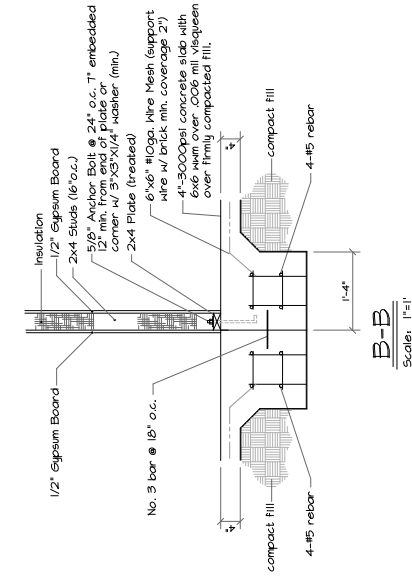
- All wiring below BFE must be for wet location.
- No disconnects below the BFE. Make sure only.
- Both meter can and main disconnect may be up on porch.
- 125% of load must be provided for any existing load.
- All receptacles must comply with sec 240.14 of 2018 IRC (tamper resistant).
- 1 meter can is below BFE, main disconnect must be directly below.
- All receptacles serving kitchen counters must be GFI and spaced according to Sec. E902.6 of 2018 IRC.
- 1 meter can is below BFE, main disconnect must be directly below.
- Smoke detectors required per Sec 903.14 of 2018 IRC.



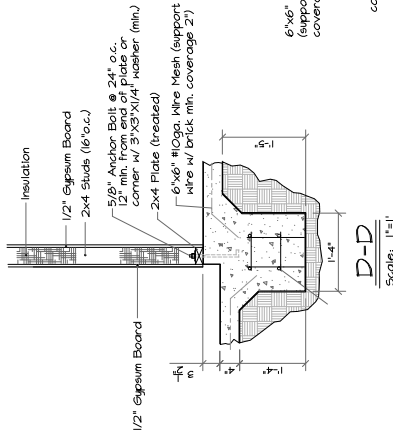
A-A
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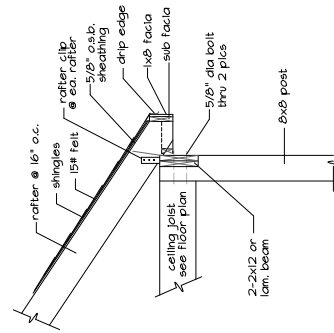
C-C
Scale: 1"=1'



B-B
Scale: 1"=1'



D-D
Scale: 1"=1'



E-E
Scale: 1"=1'

- NOTES:**
- City stamped approved plans are required to be on site for all inspections.
 - Proof of termite treatment is required at footing inspection.
 - Specifications for all engineered/manufactured materials/hardware including spans, loads, layouts, fastening details (319) n/a, etc. (Joists, blocking, etc.) shall be provided by the contractor. The contractor shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and all items (property installed) where necessary. Must have HARD SURFACE CONSTRUCTION and M1306.1 of 2018 IRC.
 - All equipment, platforms used shall have proper work clearance. (B3405)

POST/BEAM CONNECTION

NTS

Door Opening Detail (Interior)

NTS

The Residence Of

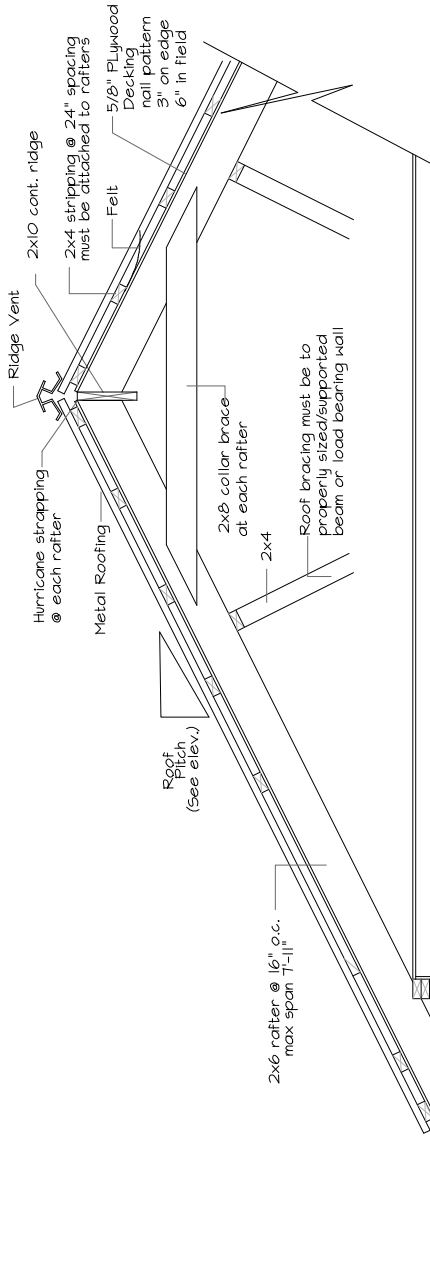
Andy Parker
108 S. Touline St.
Bay St. Louis, MS 39520

24 pages
1/4"=1'-0"
ELECTRICAL
AND
DETAILS

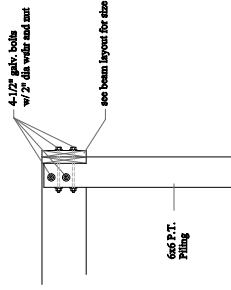
Date: 25 Apr 2024
Drawn by: [blank]
Checked by: [blank]

Sheet 4

Item # 2.

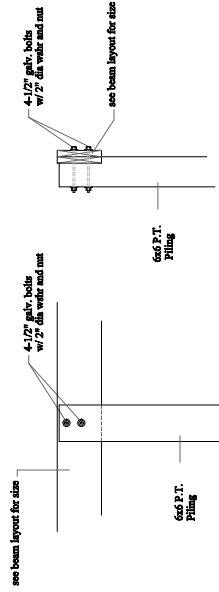


TYP. ROOF BRACING AND WALL SECTION



Piling/Beam Connection (Corner)

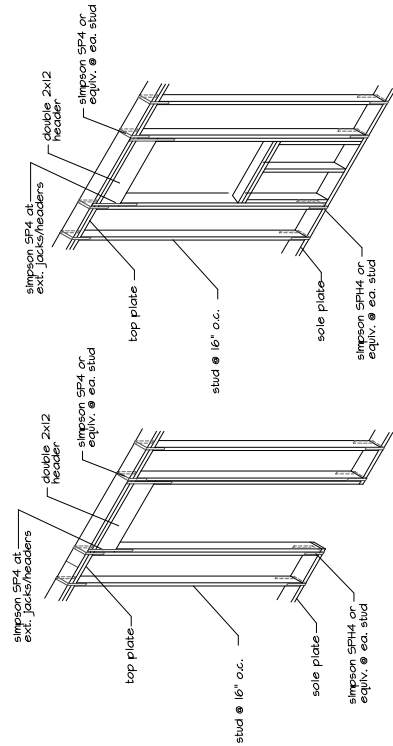
Scale: none (asymmetric)



Piling/Beam Connection

Scale: none (asymmetric)

- NOTES:**
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/elements including spans, loads, layouts, bearing details (1311a) etc. (beams, joists, headers, studs, etc.) shall be provided by the contractor. The contractor shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and all items (property installed) where necessary. Must have **HARD SURFACE CONSTRUCTION** on all exterior surfaces.
 5. All equipment, platforms must/dial have proper work clearance. (R3405 and M1305.1 of 2018 IRC)



Door Opening Detail

NTS

Window Opening Detail

NTS

The Residence Of		Date: 25 Apr 2024	Sheet
Andy Parker		Drawn By:	5
108 S. Touline St.		Checked By:	
Bay St. Louis, MS 39520		DATE: 25 Apr 2024	
		Scale: 1/4"=1'-0"	
		Details	

Item # 2.

Item # 2.



Item # 2.



Item # 2.





Historic Preservation Commission Meeting Minutes

July 08, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

PRESENT

Commissioner Patricia Keating
Commissioner Dave Wessinger
Commissioner Matt Stieffel
Chairman Cliff Rabalais
Commissioner John Bezou

ABSENT

Commissioner Steve Haas

Action Items

1. Motion to approve the boat house at 116 Washington submitted by Benfatti Construction

Motion made by Chairman Rabalais, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

2. Motion to approve plan to construct new dwelling at 220 Washington Street

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffer,
Chairman Rabalais, Commissioner Bezou

3. Motion to approve the demo of the carport and shed and the construction of new carport at 204 Keller Street submitted by Joelle Foret

Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

4. Motion to approval conceptual review for new entry facade and pavilion at 108 South Beach Blvd submitted by John Anderson

Motion made by Commissioner Keating, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

5. Motion to conception approval sign at 108 Court Street submitted by RAMM Inc

Motion made by Chairman Rabalais, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

6. Motion to table the construction on a duplex at 336 State Street submitted by David Rush

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

Minutes Approval

7. Motion to approve minutes from June 10, 2024 meeting

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,
Commissioner Bezou

Voting Abstaining: Commissioner Keating

Commission Request

HPC Commission request that 612 South Beach Blvd make installed garage door along
Citizen Street become carriage style

HPC Commission request that City of Bay St Louis insure that 102 Carroll Avenue front
windows used in the remodel meet Bay St Louis historical design standards

Adjourn

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

Cliff Rabalais, Chairman **Date**

Jeremy Burke, HPC Coordinator **Date**



Historic Preservation Commission Meeting Minutes

August 12, 2024 at 12:00 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Action Items

1. Motion to approve the installation of a pool and accessory sturture at 111 Ballentine submitted by Donna Boue

Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais, Commissioner Bezou

2. Motion to approve the construction a new shed/carport in the rear of 306 St John Street

Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou

2. Motion to approve the construction on a duplex at 336 State Street submitted by David Rush

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffer,
Chairman Rabalais, Commissioner Bezou

3. Motion to approve the construction of a carport at 122 Ulman Avenue submitted by
Terrill Talamo

Motion made by Commissioner Keating, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

4. Motion to approve the demo and constuction of new shed at 316 St John Street
submitted by Nancy Sorak

Motion made by Commissioner Keating, Seconded by Commissioner Wessinger.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,
Commissioner Bezou

Absent: Commissioner Stieffel

Minutes Approval

5. Motion to approve July 8, 2024 HPC meeting minutes

Motion to table by Chairman Rabalais, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Commissioner Stieffel,
Chairman Rabalais, Commissioner Bezou

Adjourn

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Keating, Commissioner Wessinger, Chairman Rabalais,
Commissioner Bezou

Absent: Commissioner Stieffel

Cliff Rabalais, Chairman **Date**

Jeremy Burke, HPC Coordinator **Date**