



## December 8, 2025 - Historic Preservation Commission Meeting Agenda

December 08, 2025 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

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### Call to Order

### Action Items

1. Motion to approve an in-ground pool in the back yard at 346 Main Street submitted by Roth
2. Motion to approve to enclose the porch at 242 Ballentine and convert it into a living space, with all materials to match the existing house submitted by Plunkette
3. Motion to approve new construction on a dwelling and shed at 611 Hanocck Street submitted by Benfatti
4. Motion to approve the new construction of a house at 507 N Second Street using the historical district approved material submitted by Magelland Group
5. Motion to approve the demolition of the current structure at 299 South 2nd Street, with proper site grading to follow. The intended future project for the property is the Holy Trinity Catholic School expansion , with a new gymnasium and multi-purpose area submitted by Our Lady of the Gulf Church.

### Minutes Approval

6. Motion to approve the minutes of the October 13, 2025 and November 10, 2025 HPC meeting

### Adjourn

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

### Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 346 MAIN STREET BAY SAINT LOUIS, MS

Applicant Name: KIRK EDRINGTON Owner Name: MR AND MRS CHRIS ROTH

Mailing Address: 19453 28TH STREET LONG BEACH, MS Mailing Address: 346 MAIN STREET BAY SAINT LOUIS, MS

Phone: 228-861-3040 Phone: 228-323-110

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

**New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed: Photographs of existing building, Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 12/2/2025

Owner's Signature Required: [Signature] Date: 12/2/2025

Please refer to the checklist of materials required with your application  
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.  
*Historic Preservation Commission / City Council Use Only*

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval	
Comment: _____	
Required Property Owner / Applicant Signature: _____	
City Council Reviewed	Review Date
COA Action: <input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> NO	Date COA Action
Comments: _____	
(BSL) Historic Preservation Commissioner	(City Council) Resident Signature
(Date)	(Date)

Once Completed & Signed - Original copy - HPC, Copy - Building Department

# BAY SAINT LOUIS

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

**Property Owners Information:**

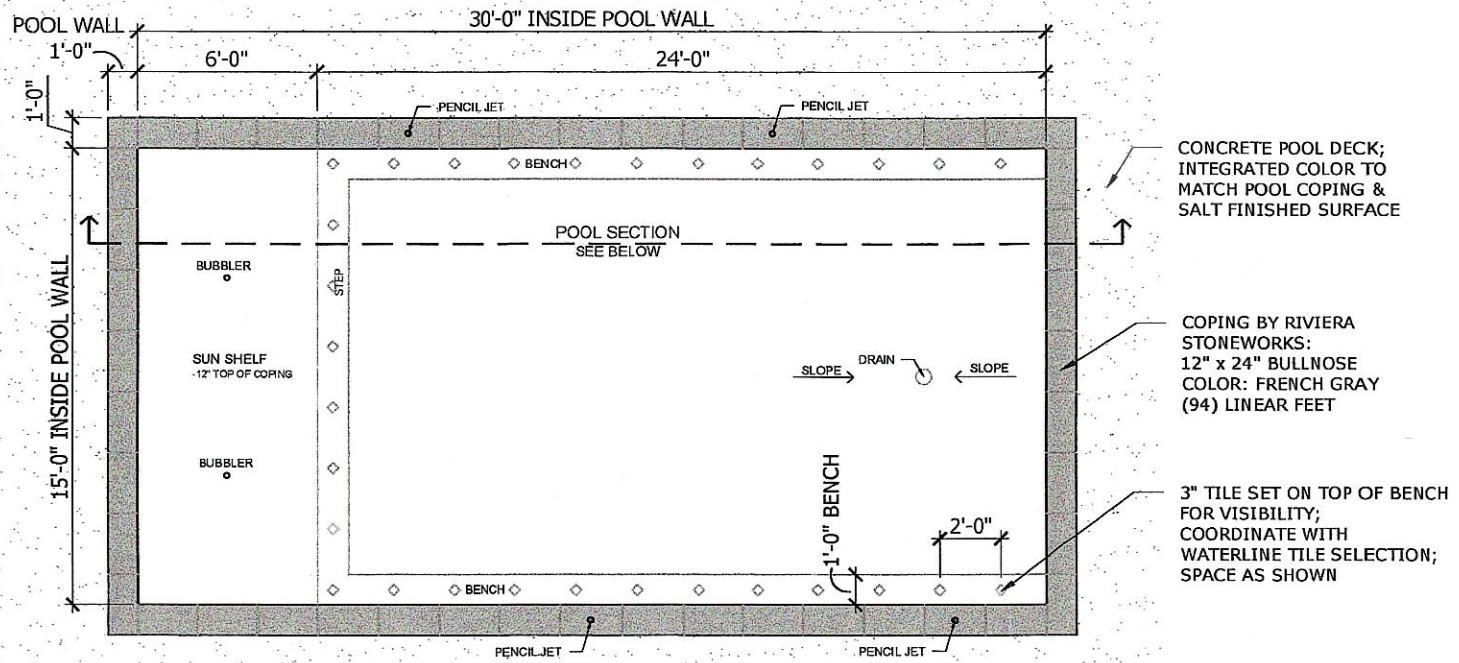
Name: \_\_\_\_\_

Address: 346 MAIN STREET BAY SAINT LOUIS, MS  
(No P.O. Boxes)

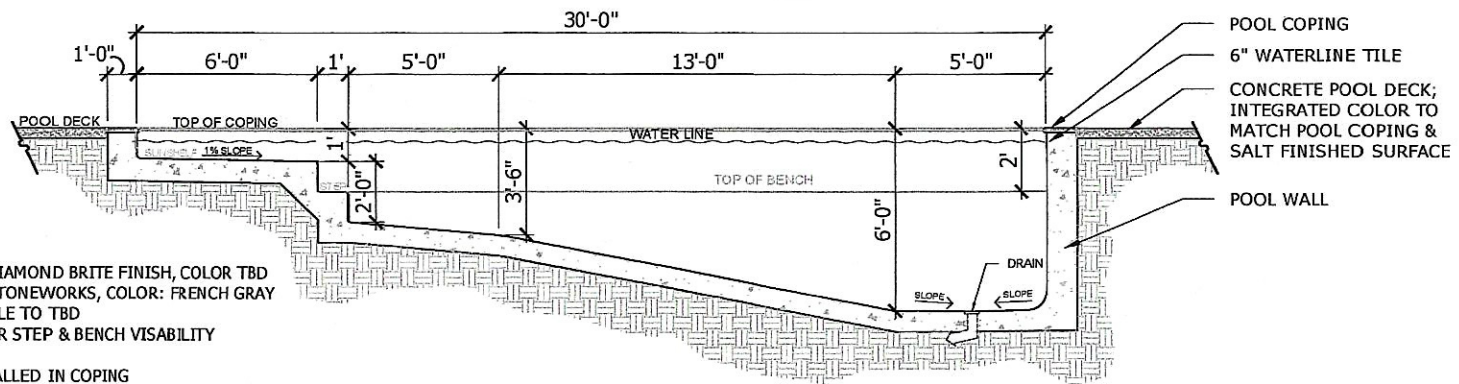
Telephone Number ( 228-323-110 ) Cell Number( \_\_\_\_\_ )

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: \_\_\_\_\_

Give written scope of work to be performed: GUNITE SWIMMING POOL 15' BY 30'  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



1 POOL ENLARGEMENT PLAN  
SCALE: 1/4" = 1'-0"



2 POOL SECTION  
SCALE: 1/4" = 1'-0"

POOL DESIGN NOTES:

1. GUNITE POOL WITH DIAMOND BRITE FINISH, COLOR TBD
2. COPING BY RIVIERA STONEWORKS, COLOR: FRENCH GRAY
3. 6" X 6" WATERLINE TILE TO TBD
4. 3" X 3" TILE INSET FOR STEP & BENCH VISIBILITY
5. POOL LIGHTS TBD
6. (4) PENCIL JETS INSTALLED IN COPING
7. (2) BUBBLERS INSTALLED ON SUNSHELF

Liz Seal  
landscape designer

P: 228-493-7286  
E: lizy Seal79@gmail.com

HARDSCAPE - POOL DETAILS  
Roth Residence  
346 Main Street  
Bay St Louis, MS



CONSTRUCTION DOCUMENTS

Scale: 1" = 10'-0"

Drawn by: LYS

Date: 9-25-25

Rev: 10-15-25

SHEET H3 of 6

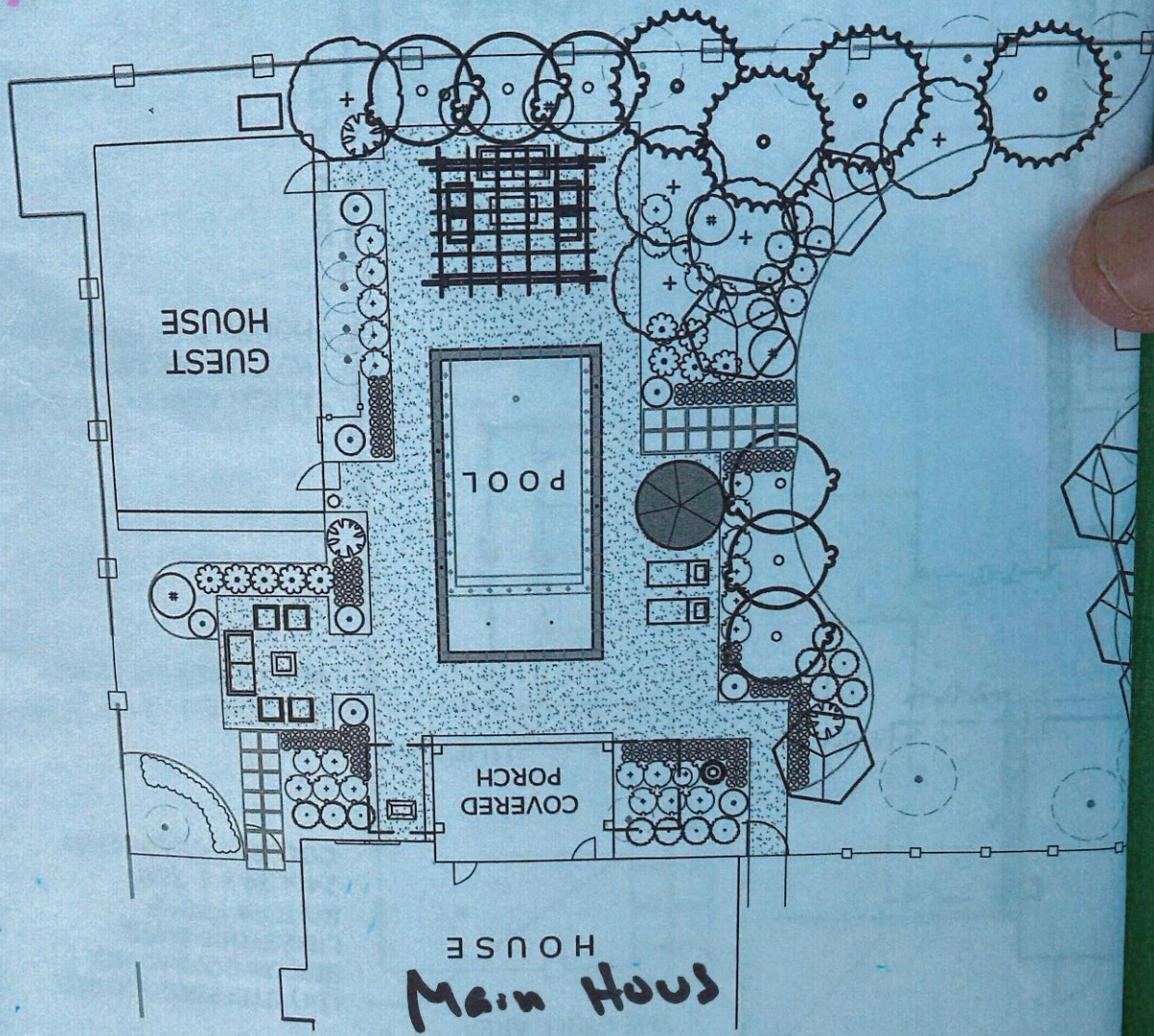
Item # 1.

H2 HARDSCAPE LAYOUT PLAN

1 COVER SHEET

List of Drawings:

Pool Behind House



COVER SHEET  
Roth Residence

Liz Seal  
landscape designer  
P: 228-493-7286  
E: lizseal79@gmail.com

**GENERAL NOTES:**

ALL MEANS OF EGRESS WINDOWS MUST COMPLY WITH SECTION R-310.2 OF THE 2018 IRC

ALL EXTERIOR WINDOWS/OPENINGS MUST COMPLY WITH SECTION R-301.2.1.2 OF THE 2018 IRC

FACTORY BUILT FIREPLACES SHALL BE LISTED IN ACCORDANCE WITH THE UL 127 AS PER ARTICLE R1004.1 OF THE 2015 IRC

WINDOWS IN HAZARDOUS LOCATIONS (OVER BATHTUBS) MUST BE TEMPERED AND COMPLY WITH ARTICLE R308.4 OF THE 2015 IRC

RESIDENCE MUST COMPLY WITH FOLLOWING INSULATION REQUIREMENTS AS PER TABLE N1102.1 OF THE 2015 IRC.

CEILING: R-30 MIN, WALLS: R-13 MIN, FLOORS: R-11.

FENESTRATION U-FACTOR (.75)

SOLAR HEAT GAIN COEFFICIENT (.40)

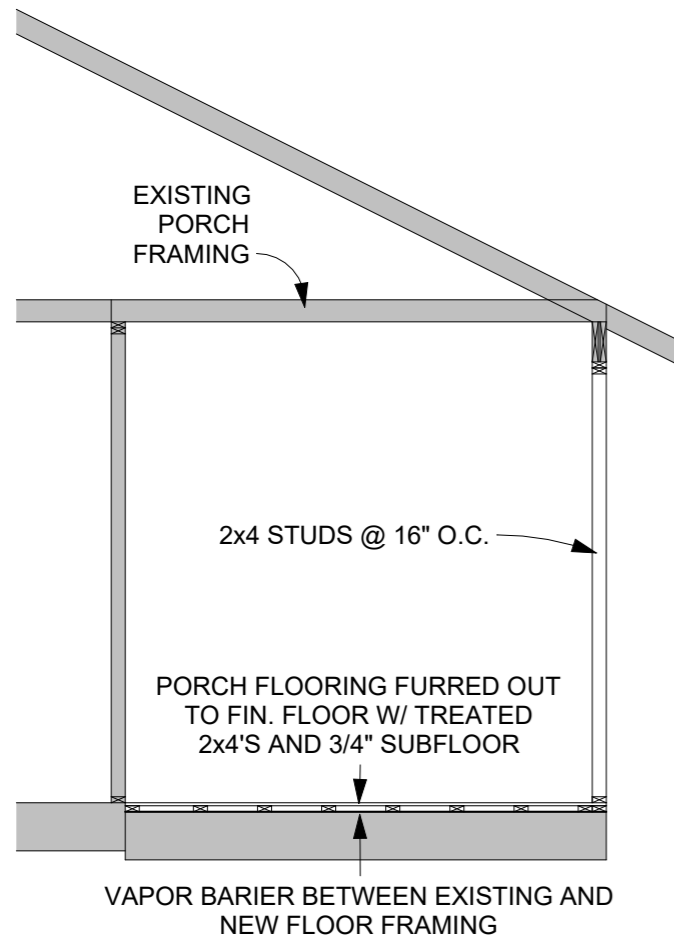
NEED "CITY STAMPED" APPROVED PLANS ON SITE FOR ALL INSPECTIONS

NEED PROOF OF TERMITE TREATMENT BEFORE SLAB AND FOOTING INSPECTION

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE, JOBSITE CLEANUP, STREET CLEANING, CONSTRUCTION ENTRANCE AND SILT FENCING WHERE REQUIRED ON A DAILY BASIS

MUST CALL FOR STRAPPING AND OR CLIP INSPECTIONS BEFORE CLAD COVERING

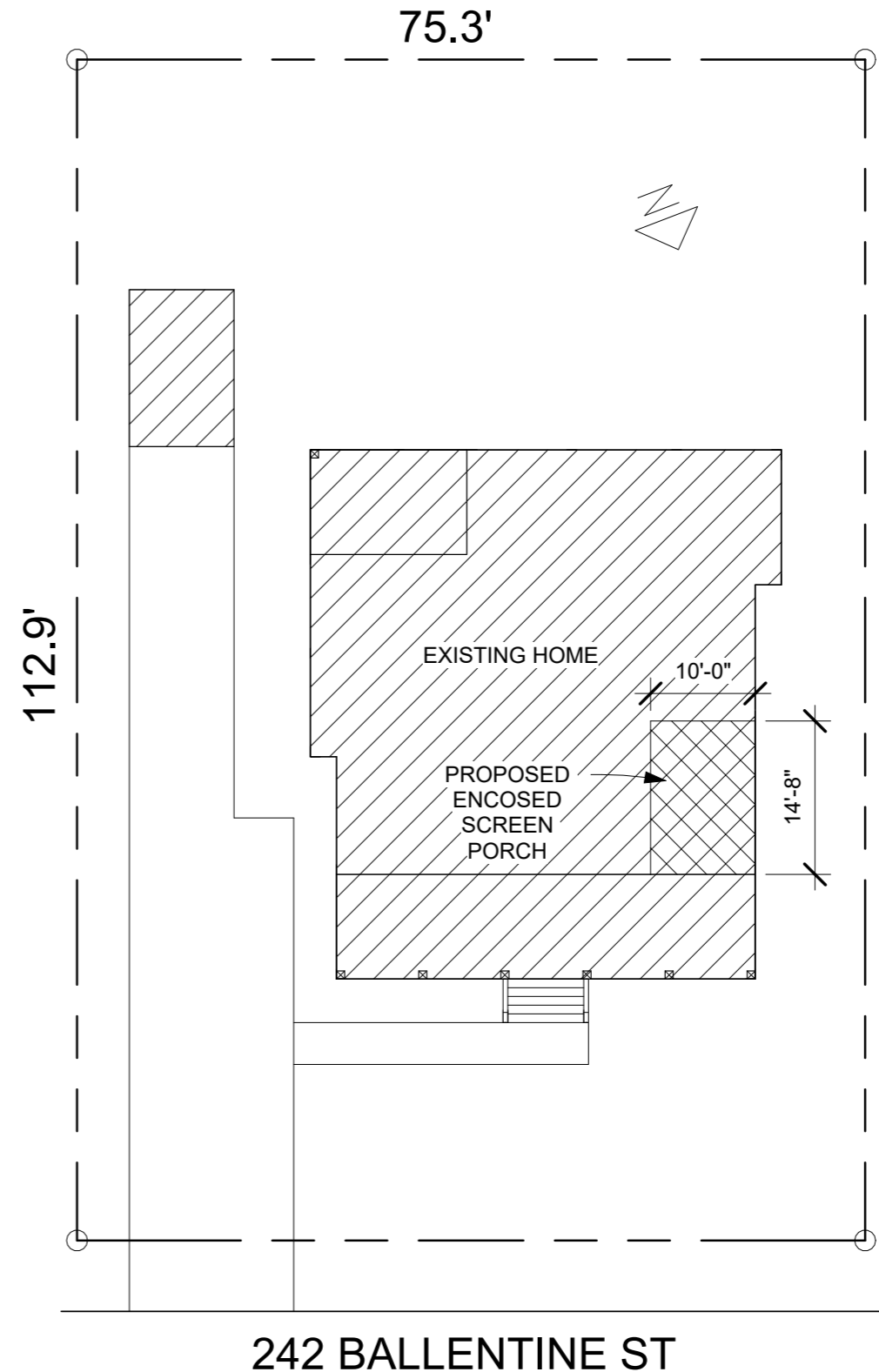
**2 TYP. FRAMING**  
1/4" = 1'-0"



**SCOPE:**

- ENCLOSE EXISTING SCREEN PORCH. CREATING PANTRY AND OFFICE.
- SALVAGE AND RE-USE EXISTING WINDOWS AND SHUTTERS OFF SCREEN PORCH TO BE USED IN OFFICE
- BUILD OUTS AND CABINTY IN PANTRY.
- REMOVE DAMAGED SHUTTER ON REAR OF HOME.
- TRIM OUT NEW RANGE HOOD IN KITCHEN
- REWIRE SWITCHES IN KITCHEN DRUING ELEC WORK.

**4 SITE PLAN**  
1/16" = 1'-0"



PARCEL #:  
149N-0-30-104.001

LEGAL DESC:  
PT 70 & PT 73 4TH WARD  
BAY ST LOUIS



504-452-6974  
2107 Nicholson Avenue, Suite B  
Waveland, MS 39576  
<https://benfatticonstruction.com/>

**PLUNKETT RENO**  
242 BALLENTINE ST., BAY ST LOUIS, MS 39520  
LAURA PLUNKETT

Drawn by:  
COLT LEE

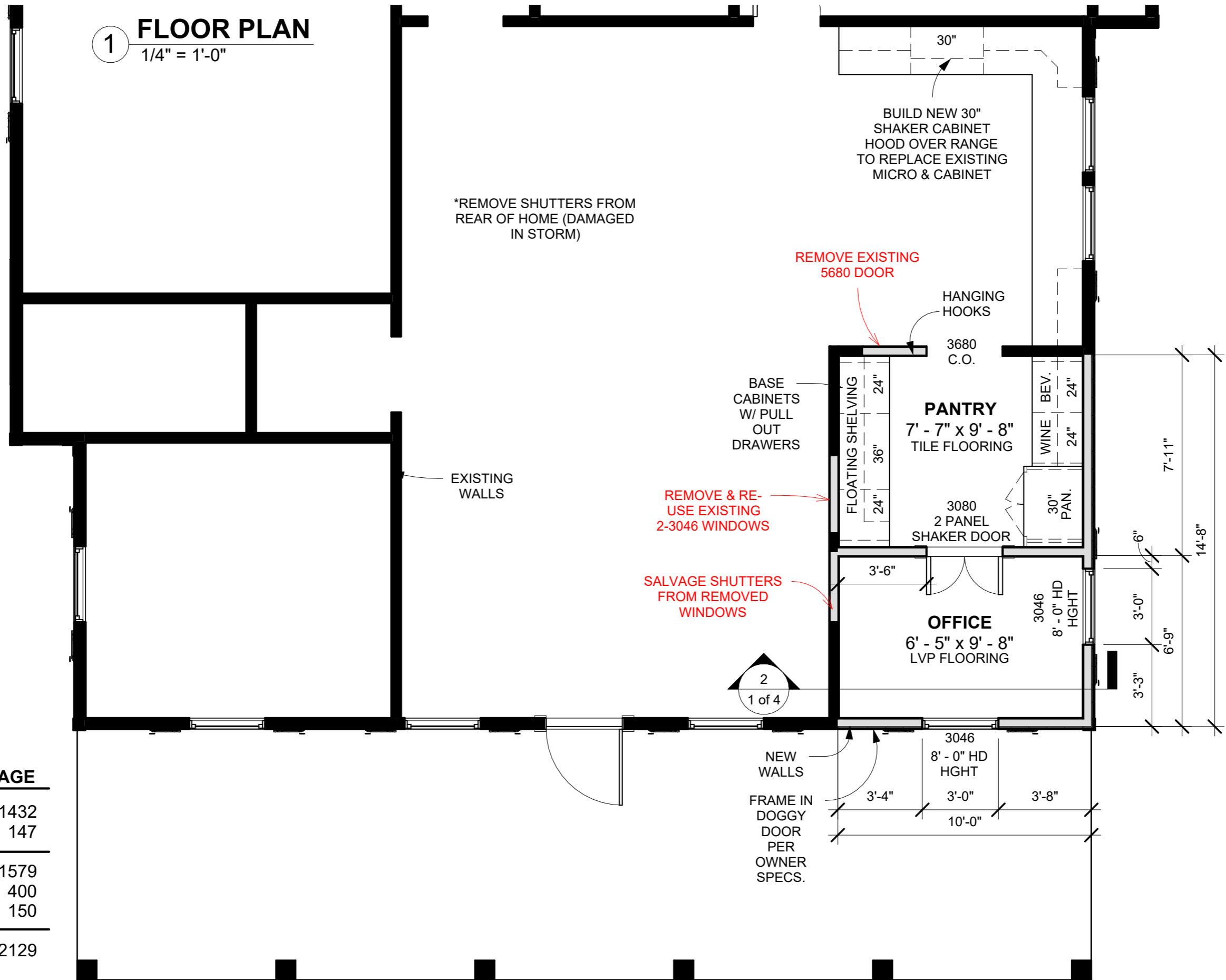
11/26/2025

SITE/FRAMING

1 of 4

Scale As indicated

**1 FLOOR PLAN**  
1/4" = 1'-0"



**HOME SQUAREFOOTAGE**

ORIGINAL LIVING	1432
ADDED LIVING	147
<hr/>	
LIVING	1579
FRONT PORCH	400
REAR PORCH	150
<hr/>	
TOTAL	2129

**PLUNKETT RENO**  
242 BALLENTINE ST., BAY ST LOUIS, MS 39520  
LAURA PLUNKETT

Drawn by:  
**COLT LEE**

11/26/2025

**FLOOR PLAN**

**2 of 4**

Scale As indicated **7**

**PLUNKETT RENO**  
 242 BALLENTINE ST., BAY ST LOUIS, MS 39520  
 LAURA PLUNKETT

Drawn by:  
**COLT LEE**

11/26/2025

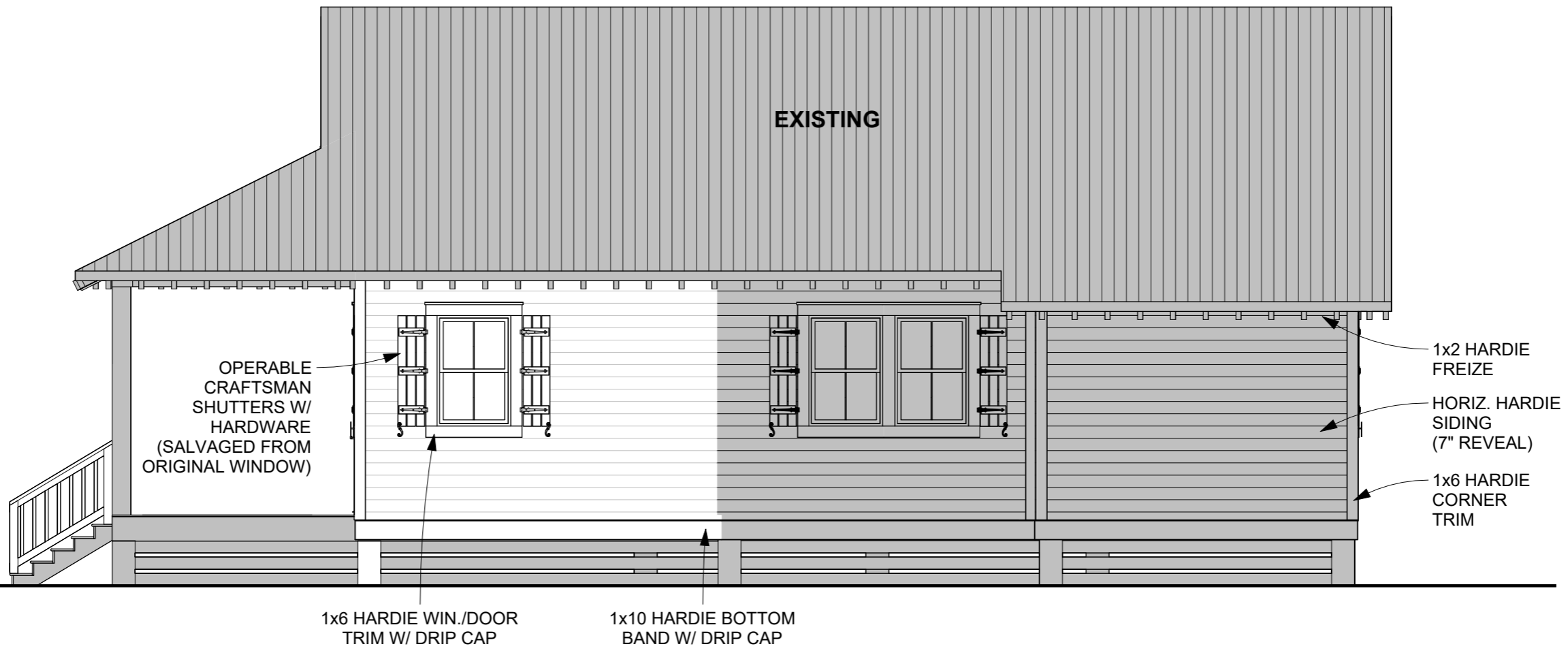
**ELEVATIONS**

**3 of 4**

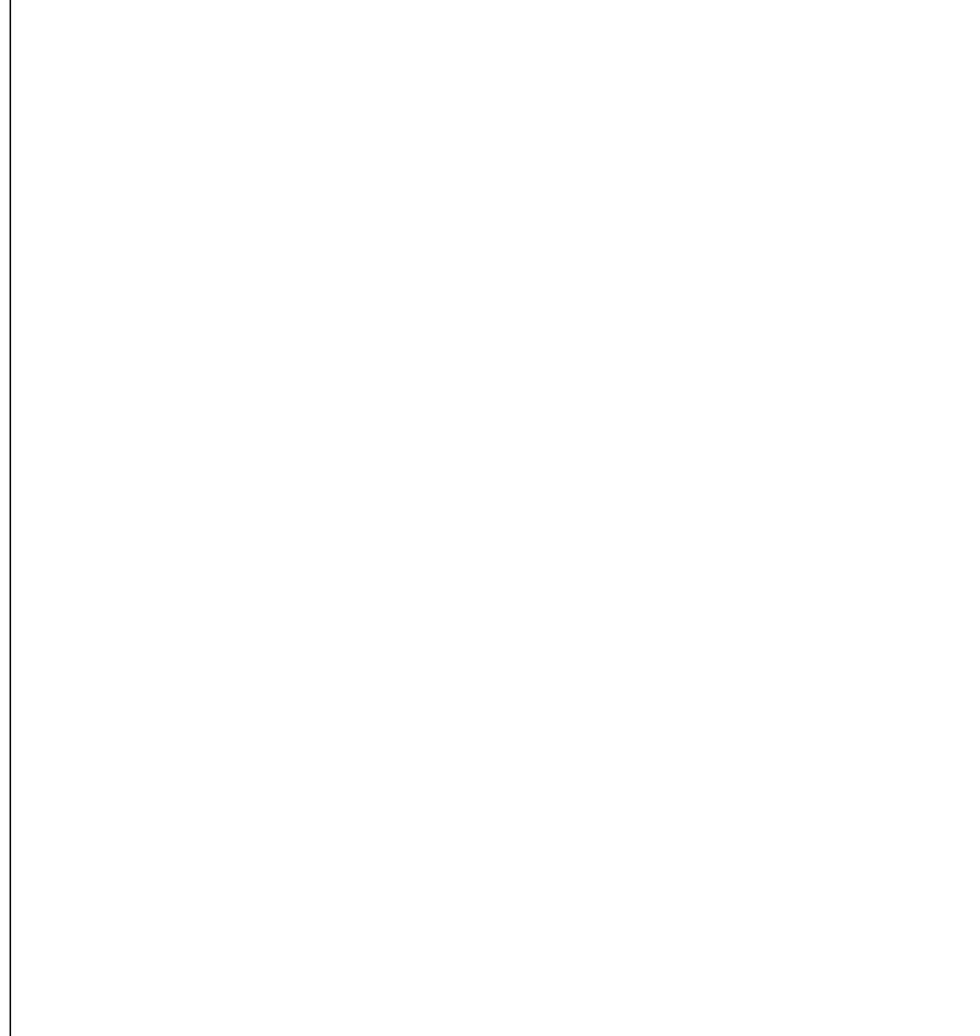
Scale 3/16" = 1' 8



**1 FRONT ELEV.**  
 3/16" = 1'-0"



**2 RIGHT ELEV.**  
 3/16" = 1'-0"



Item # 2.

504-452-6974  
2107 Nicholson Avenue, Suite B  
Waveland, MS 39576  
<https://benfatticonstruction.com/>

# PLUNKETT RENO

242 BALLENTINE ST., BAY ST LOUIS, MS 39520  
LAURA PLUNKETT

Drawn by:  
COLT LEE

11/26/2025

EXISTING

4 of 4

Scale 9

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 242 Ballentine St.
Applicant Name: Colt Lee Owner Name: Laura Plunkette
Mailing Address: 2107 Nicholson Ave. Suite B, Waveland, MS Mailing Address: same
Phone: 228-242-8489 Phone: 504-388-2235

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

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I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 11/26/25

Owner's Signature Required: Date:

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Application

HPC Review / City Council Review

Historic Preservation Commission / City Council Use Only
Historic District Case Number
Historic Preservation Commission Reviewed Review Date
Recommendation: [ ] Approval [ ] Approval with Conditions [ ] Disapproval
Comments
Requires Property Owner / Applicant Signature
City Council Reviewed Review Date
COA Action: Approval [ ] YES [ ] NO Date COA Action
Comments
BSL Historic Preservation Commissioner City Council President Signature Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Revised May 4, 2009



# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

### MATERIALS TO SUBMIT WITH THE APPLICATION FOR REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

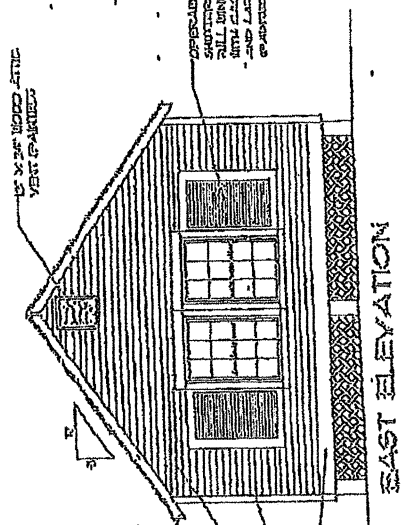
1. Site Plan, Indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
  - a) Siding material: wood, hardi-plank, etc...
  - b) Masonry material: brick, stucco, etc....
  - c) Exterior openings; windows and doors: Indicated size, types and materials.
  - d) Shutters and Awnings: Indicated size, types and materials.
  - e) Column size and types
  - f) Roofing materials: wood, metal, slate, etc....
  - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
  - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

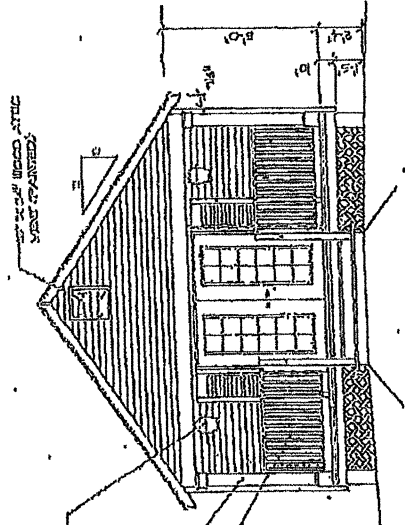
1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

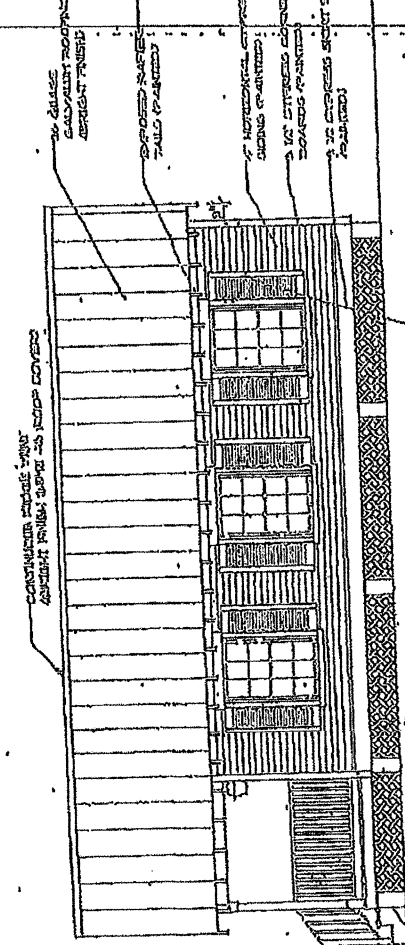
*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*



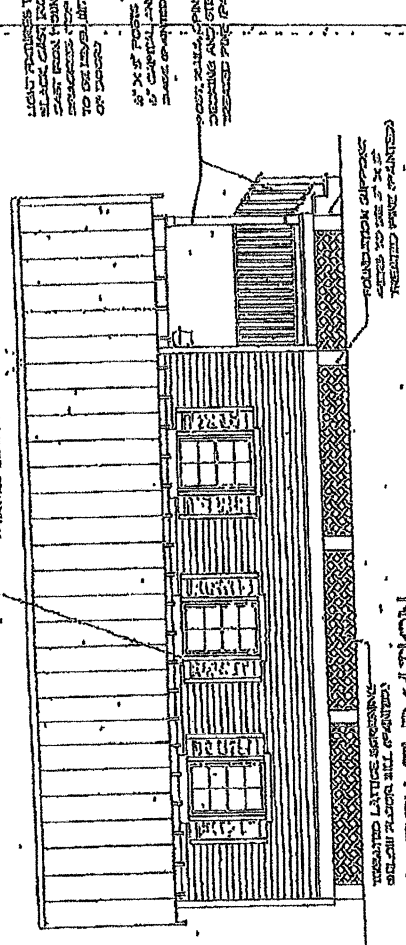
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

12" X 24" WOOD ATTIC VENT (PAINTED)

OPERABLE EXPANSION SHUTTERS TO COVER ALL WINDOW UNITS AND LANTERNS PAINTED BLACK

2" GALV. GALVANIZED ROOFING ASPHALT FINISH

EXPOSED RAFTERS PAINTED

1" HORIZONTAL SIDING (PAINTED)

3" X 12" EXPOSED RAFTERS PAINTED

2" X 12" EXPOSED RAFTERS PAINTED

UPPER WINDOW AND DOOR LINEN TO HAVE 1/2" X 1/2" REAR FINE WITH 1/2" SIDE AND BOTTOM SIPS (PAINTED)

LIGHT FINISH TO THE SLACK CASE WORK WITH CASE WORK FINISHING ADDRESS TO BE LIGHT TO BE LINED WITH TOP OF DOORS

12" X 12" POSTS WITH 1/2" CAPITAL AND 1/2" BASE (PAINTED)

2" X 12" POSTS WITH 1/2" CAPITAL AND 1/2" BASE (PAINTED)

FOOT, SILL, AND JAMB DOORS AND WINDOWS TO BE FINISHED PAINT (PAINTED)

FOUNDATION EXPOSURE PAINT TO BE 1/2" X 1/2" TREATED PAINT (PAINTED)

CONTRACTOR TO PROVIDE TRUSS ASSEMBLY PANELS ABOVE AND BELOW ROOF COVER

OPERABLE EXPANSION SHUTTERS TO COVER ALL WINDOW UNITS AND LANTERNS PAINTED BLACK

TREATED LATTICE SCREENING OVER ALL PLUMB HILL (PAINTED)

THIS DRAWING IS FOR THE EXCLUSIVE USE OF THE CITY OF LOUISIANA HISTORICAL PRESERVATION COMMISSION TO AND IN CONNECTION WITH "HISTORICAL PRESERVATION" DETERMINATION MARCH 1, 2000

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 611 Hancock St
Applicant Name: Colt Lee
Owner Name: Mark Benfatti
Mailing Address: 2107 Nicholson Ave Suite 6, Uxw, MS
Phone: 228-342-8489

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

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Owner's Signature
Required:
Date:

Please refer to the checklist of materials required with your application
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Historic Preservation Commission / City Council Use Only

Application

HPC Review / City Council Review

Historic District: Case Number:
Historic Preservation Commission Reviewed: Review Date:
Recommendation: [ ] Approval [ ] Approval with Conditions [ ] Disapprove
Comments:
Requires Property Owner / Applicant Signature
[ ] City Council Reviewed
COA Action: Approval [ ] YES [ ] NO Date COA Action: Review Date
Comments:
(BSL Historic Preservation Commissioner) (City Council President Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# Bay Saint Louis

Bay St. Louis



## Historic Preservation Commission SUBMITTAL CHECKLIST

Property Owners Information:

Name: Mark Benfatti

Address: 2107 Nicholson Ave, Suite B, Wau., MS  
(No P.O. Boxes)

Telephone Number (504) 452-6974 Cell Number( ) \_\_\_\_\_

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 611 Hancock St, BSL, MS

Give written scope of work to be performed: New construction  
Review. Met before in October 2025.  
have added shed in rear yard  
& 1/2 bath to home rear porch.

# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

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ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

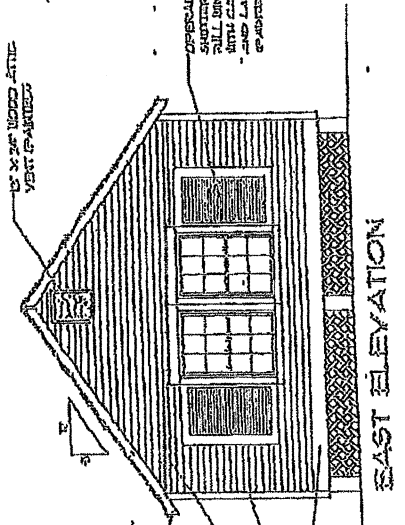
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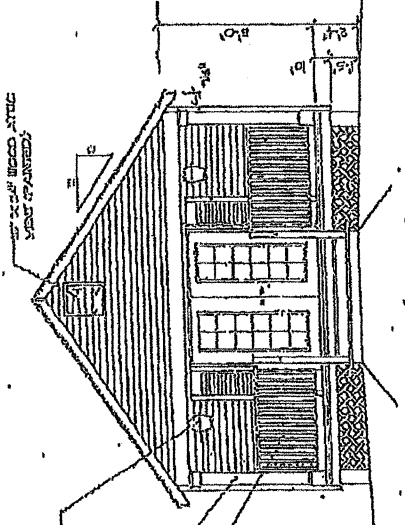
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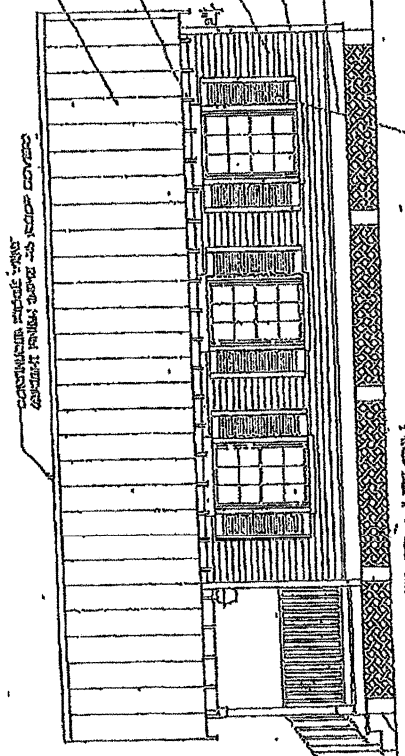
*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*



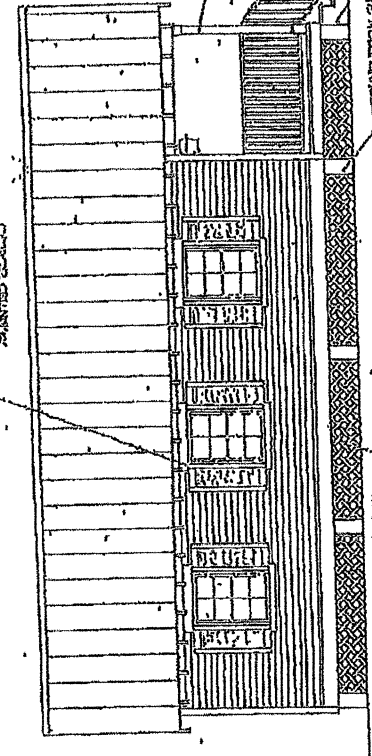
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

NOTE: WINDOW AND DOOR PARTS TO HAVE A SLIGHT RED TINT WITH A 1/2" COE AND BOTTOM SILL PAINTED

LEAVE WINDOW TO BE PAINTED WITH RED TINT FROM INSIDE. COORDINATE TOP OF LIGHT TO BE LAYED WITH TOP OF DOOR.

1/2" X 1/2" ROSETTS WITH 1/2" CAPITAL AND 1/2" BASE (WHY NOT?)

WOOD SILL, PANELS, MOUNTING AND STOPS TO BE PAINTED WITH RED TINT

FOUNDATION OF PORCELAIN TILES TO BE PAINTED

REMOVABLE EXPANDED SHANTIES TO COVER SILL WINDOW OPENINGS WITH CAST IRON FINISHES AND LATCHES PAINTED BLACK

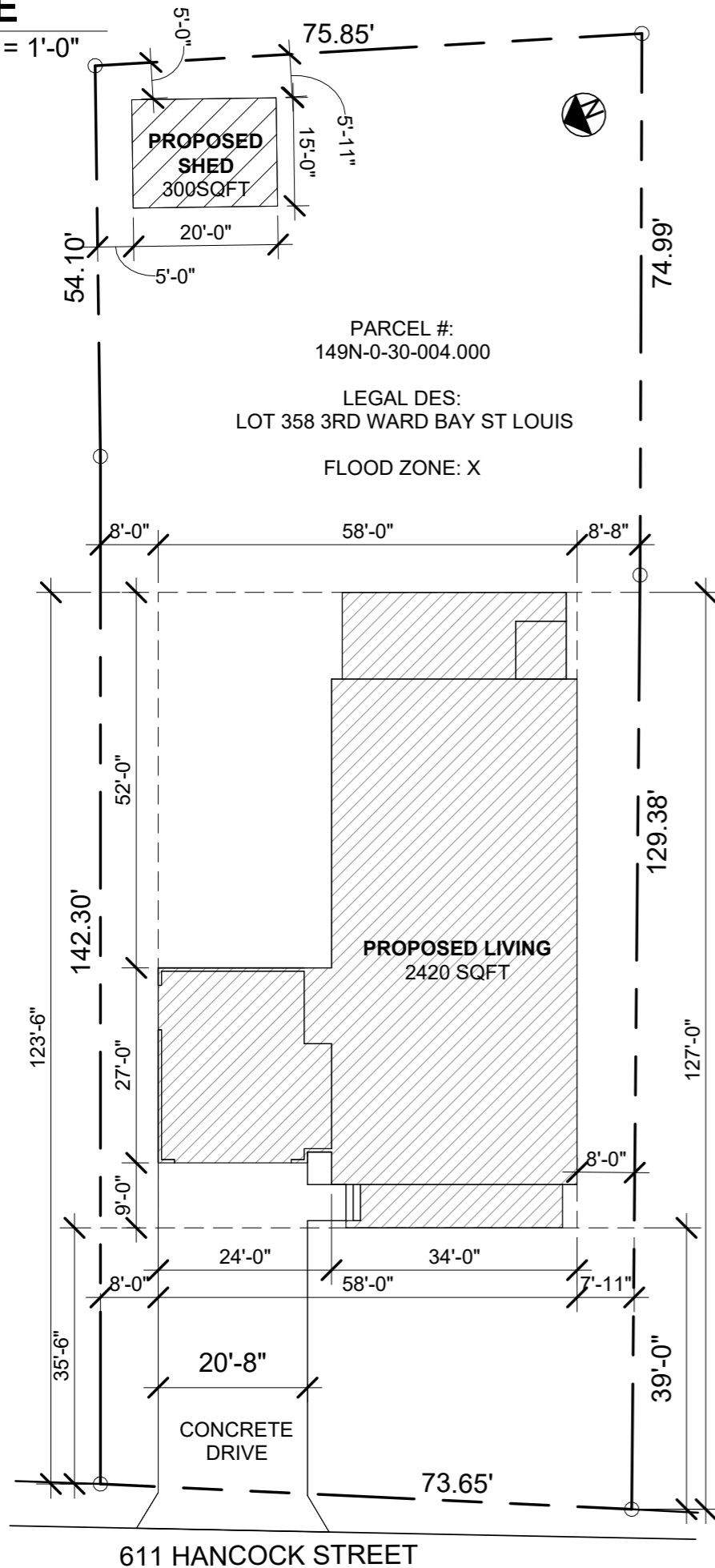
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EXTERIOR ELEVATION DESIGN DETAILS WITH NOTATIONS

THIS DRAWING FOR THE EXCLUSIVE USE OF THE WAY ST. LOUIS HISTORICAL PRESERVATION CORPORATION TO AND IN ACCORDANCE WITH THE AGREEMENT DATED MARCH 1, 2008

# 1 SITE

3/64" = 1'-0"



PARCEL #:  
149N-0-30-004.000

LEGAL DES:  
LOT 358 3RD WARD BAY ST LOUIS

FLOOD ZONE: X

PROPOSED LIVING  
2420 SQFT

CONCRETE  
DRIVE

611 HANCOCK STREET

# 2 FLOOR PLAN

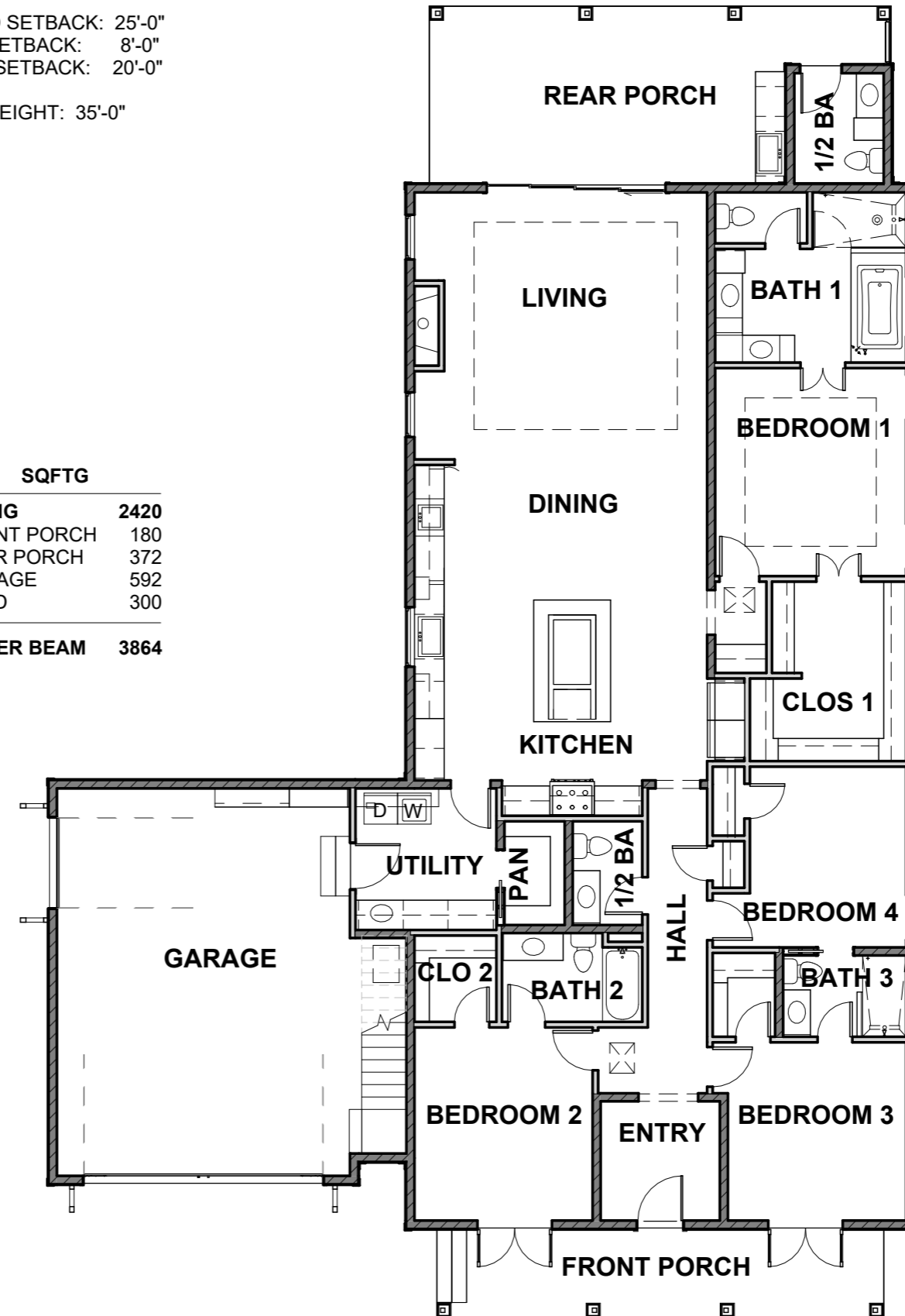
1" = 10'-0"

ZONE: R-1 RESIDENTIAL SINGLE FAMILY  
MAX COVERAGE: 45%

FRONT YARD SETBACK: 25'-0"  
SIDE YARD SETBACK: 8'-0"  
REAR YARD SETBACK: 20'-0"

MAX BUILD HEIGHT: 35'-0"

	SQFTG
LIVING	2420
FRONT PORCH	180
REAR PORCH	372
GARAGE	592
SHED	300
<b>UNDER BEAM</b>	<b>3864</b>



**HISTORIC**  
611 HANCOCK STREET, BAY ST. LOUIS, MS 39520  
DO-MAR LLC

Drawn by:  
COLT LEE

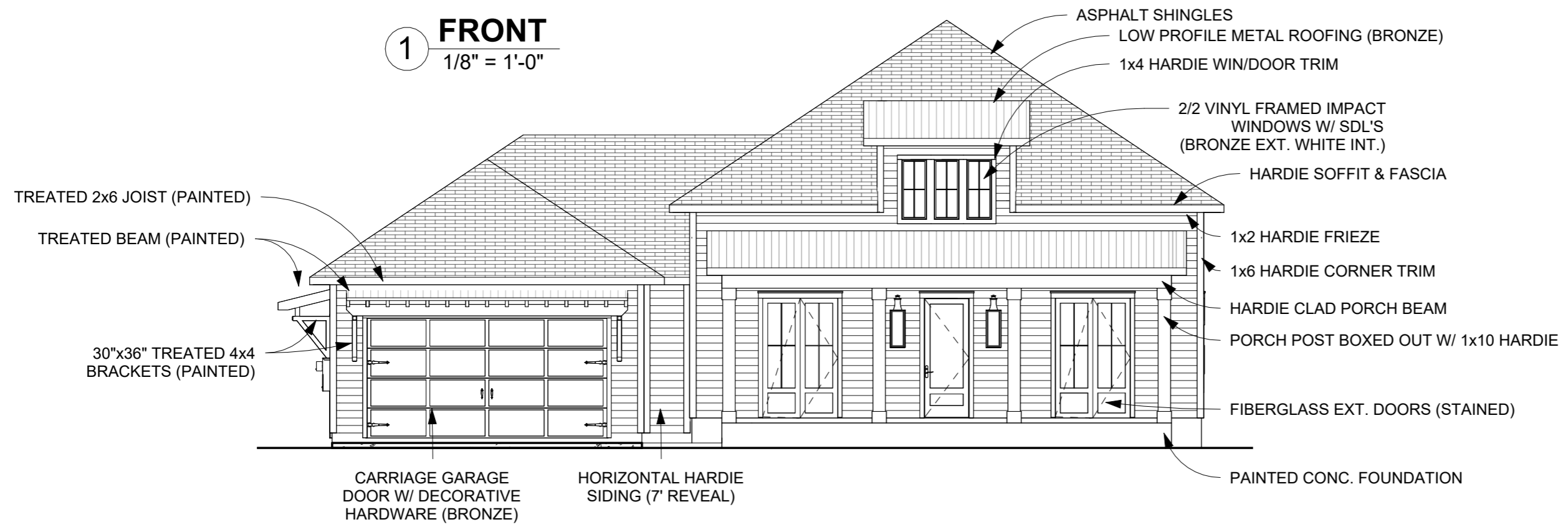
11/26/2025

**SITE PLAN**

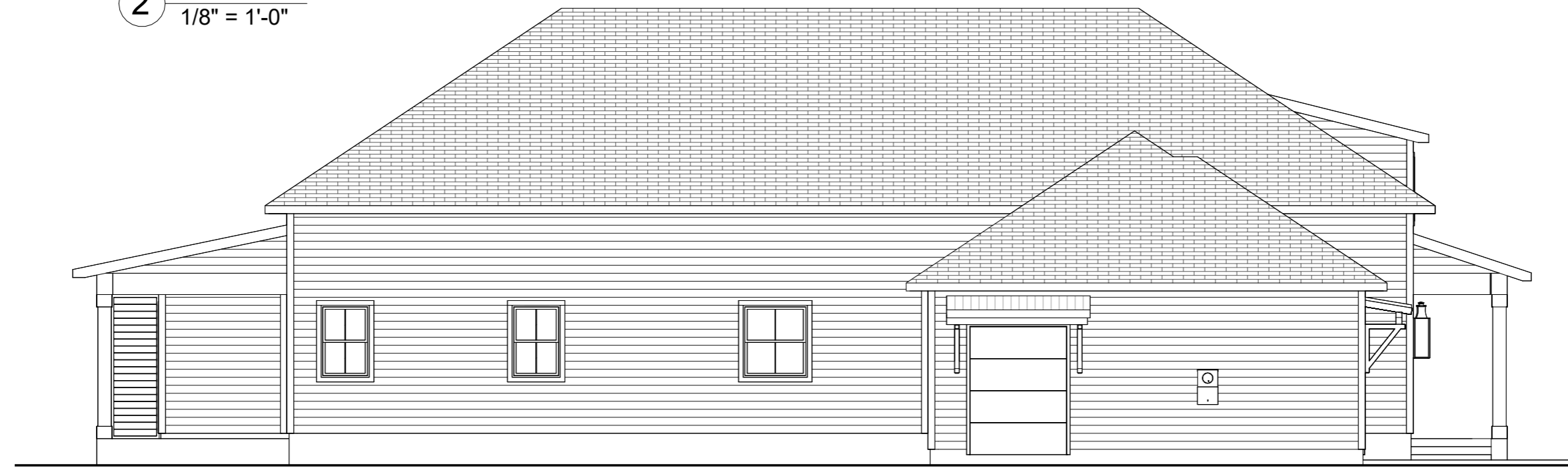
**1 of 4**

Scale As indic 18

**1 FRONT**  
 1/8" = 1'-0"



**2 LEFT**  
 1/8" = 1'-0"



**HISTORIC**

611 HANCOCK STREET, BAY ST. LOUIS, MS 39520  
 DO-MAR LLC

Drawn by:  
**COLT LEE**

11/26/2025

**ELEVATIONS**

**2 of 4**

Scale 1/8" = 19

**1 REAR**  
 1/8" = 1'-0"



**2 RIGHT**  
 1/8" = 1'-0"



**HISTORIC**  
 611 HANCOCK STREET, BAY ST. LOUIS, MS 39520  
 DO-MAR LLC

Drawn by:  
**COLT LEE**

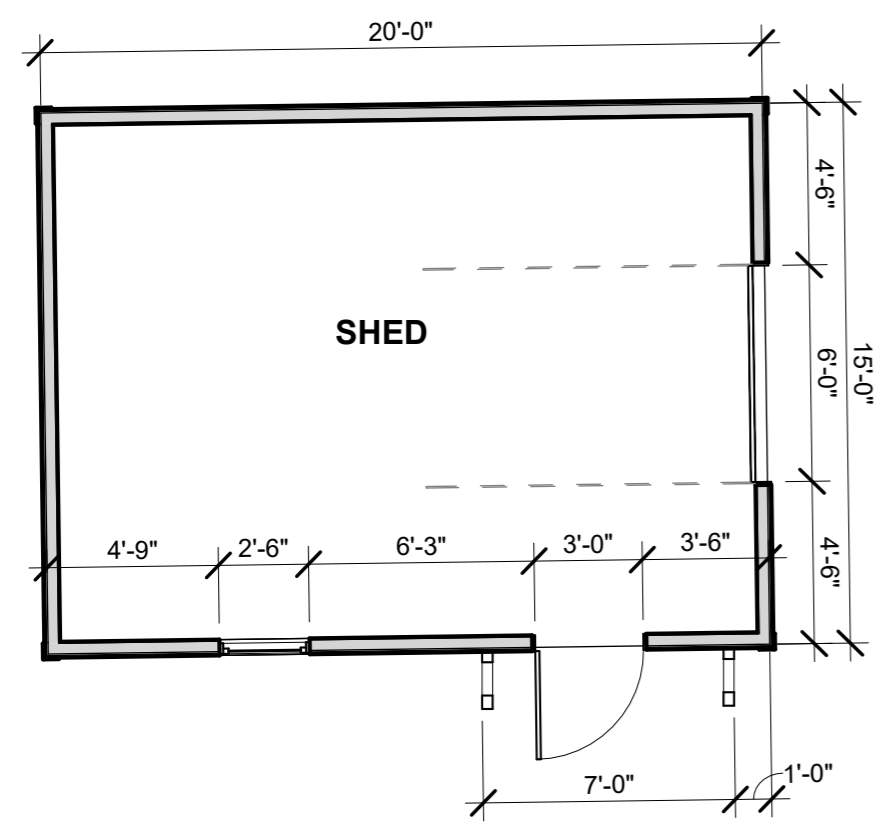
11/26/2025

**ELEVATIONS**

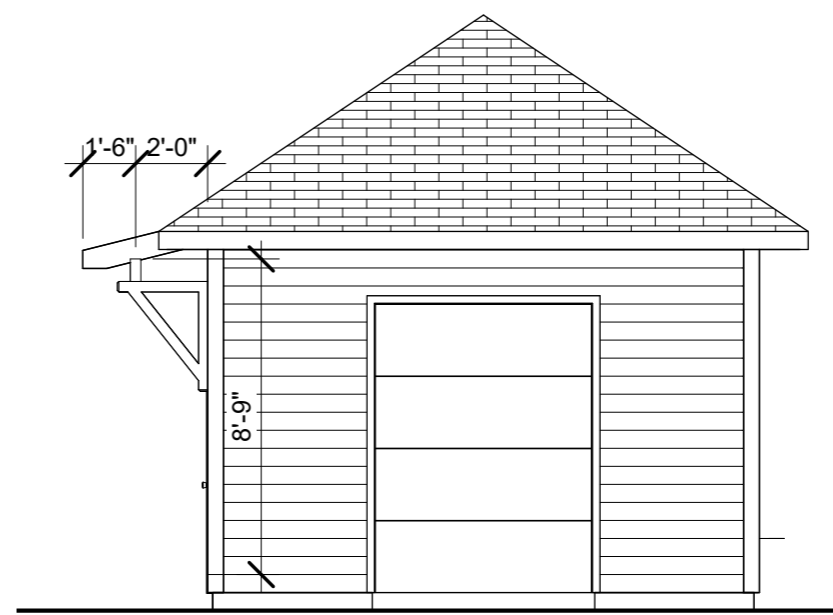
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Scale 1/8" =

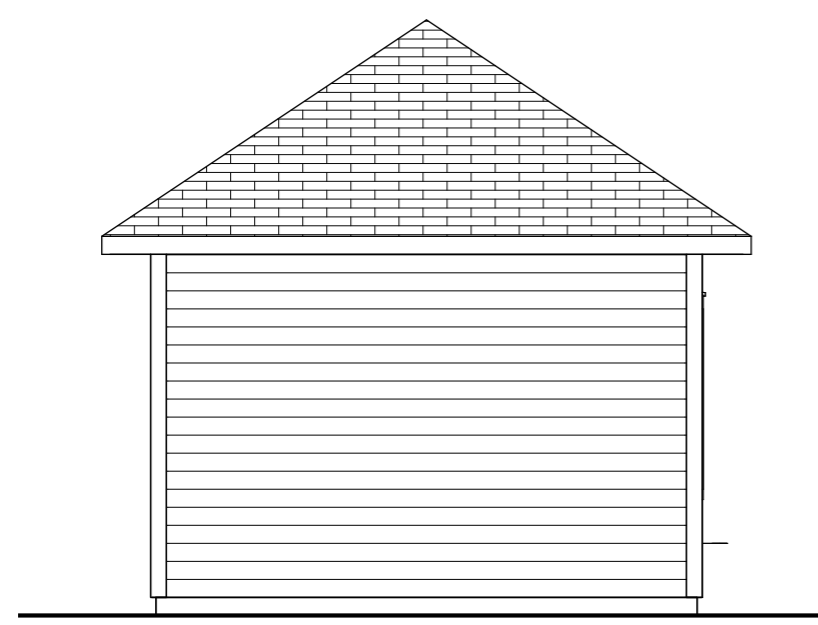
**1 SHED PLAN**  
 3/16" = 1'-0"



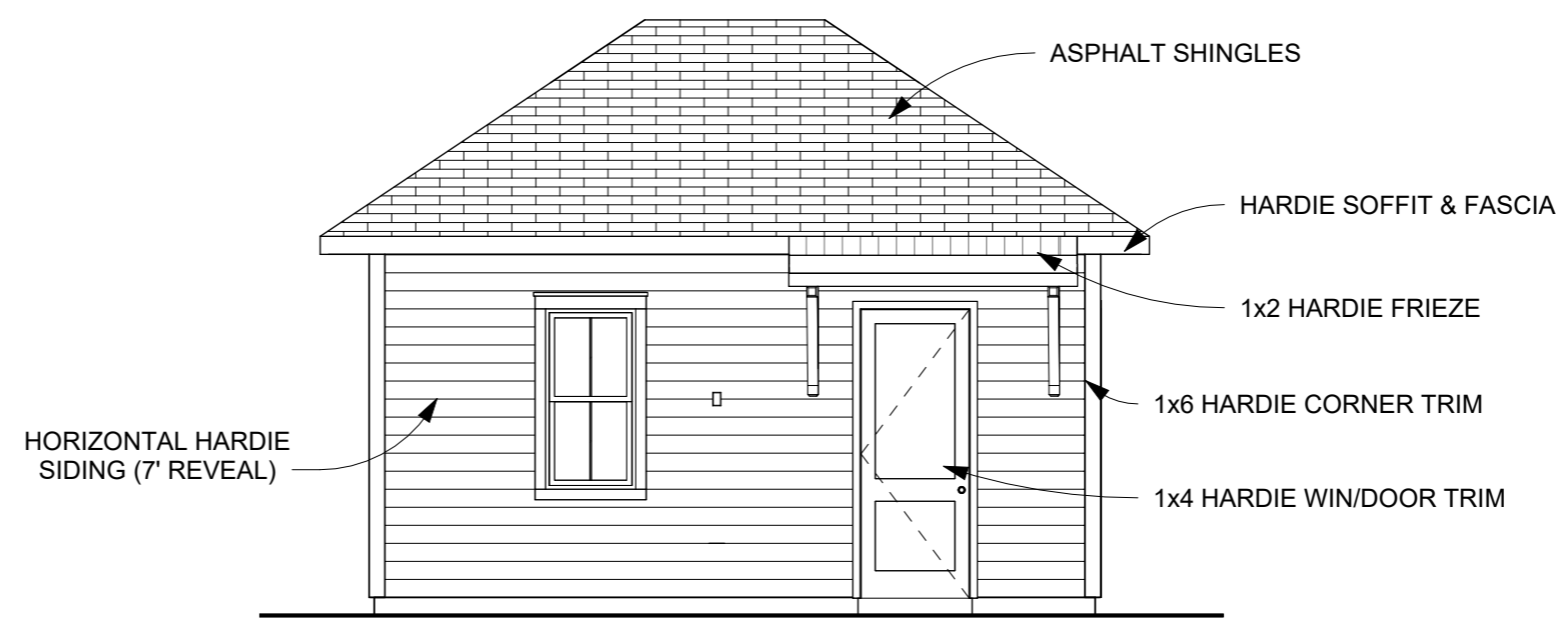
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**7 SHED LEFT**  
 3/16" = 1'-0"



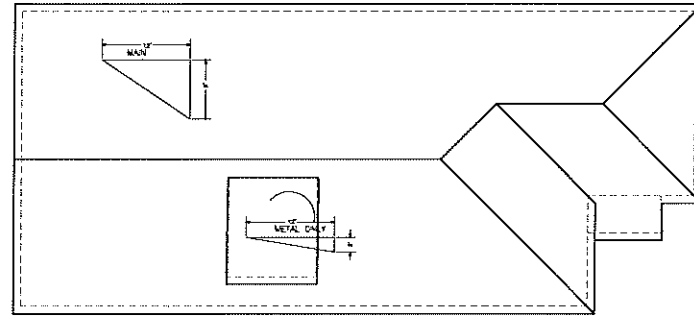
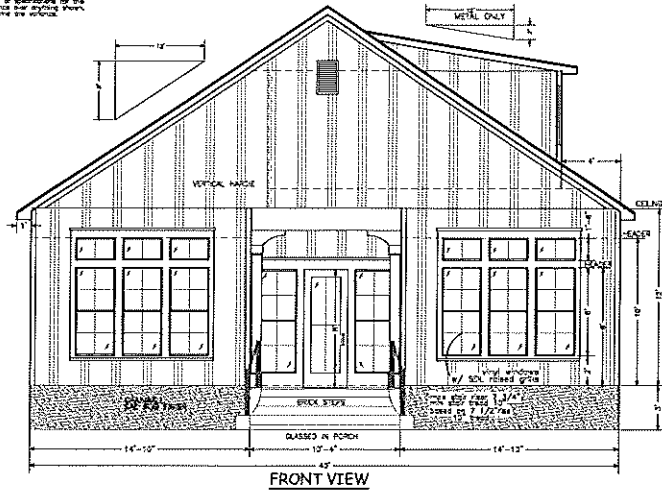
**5 SHED FRONT**  
 3/16" = 1'-0"



Scale:  
1/4"=1'-0"  
W.O.#:  
80525  
Date:  
08/05/25  
Drawn by:  
TLP  
Sheet:  
**1**

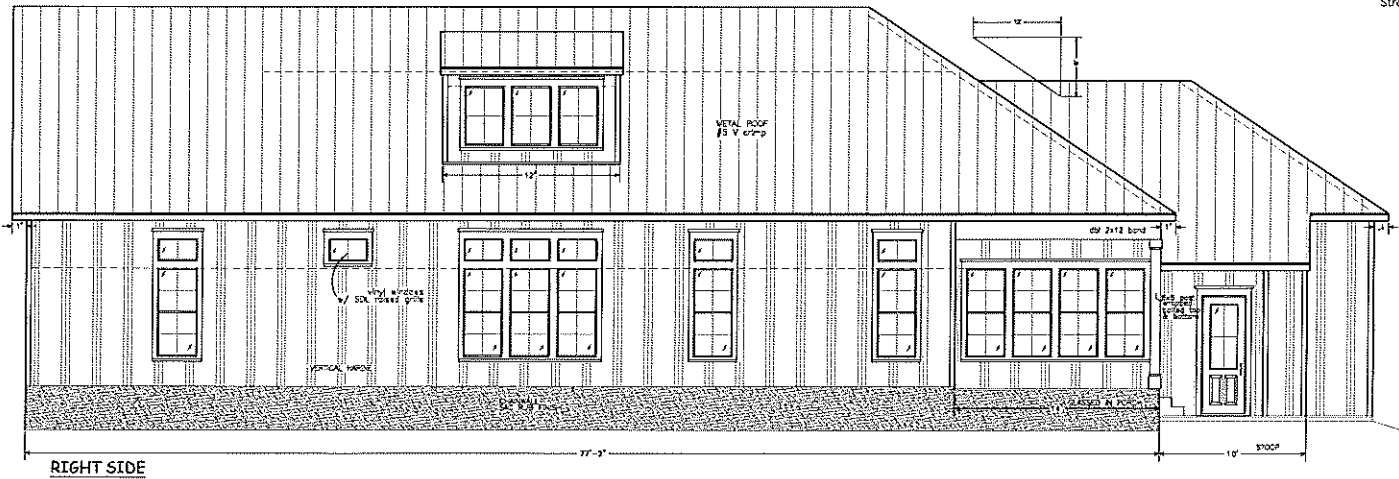
**NOTES:**

1. All work shall be performed in accordance with all applicable national, state, and local codes, regulations, and TYPICAL SPECIFICATIONS FOR CONSTRUCTION.
2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.
3. Contractor shall bear responsibility of the building with all attachments.
4. The contractor is responsible for adjusting and verifying all structural details and conditions to meet all local codes and to insure a quality and safe structure.
5. All figures, data, and notes comply with applicable regulations, and shall be considered in part of specifications for the building and shall conform to all applicable codes, standards, or typical where there are omissions.



**ROOF DETAIL**  
1/4"=1'-0"

**GENERAL ROOF NOTES:**  
ALL ROOFING SHINGLES— Are required to meet 130 mph sustained and 140 mph 3 second gust  
METAL ROOFING— materials must be 26 gauge or better installed to manufacturer's specification to ensure wind ratings of 130 mph sustained and 140 mph 3 second gusts.  
HURRICANE STRAPS— Hot dipped galvanized or stainless steel straps are required on every stud, refer to 2012 IRC typical methods of anchorage & bracing for further details. Strap inspections are required prior to covering.



**RIGHT SIDE**

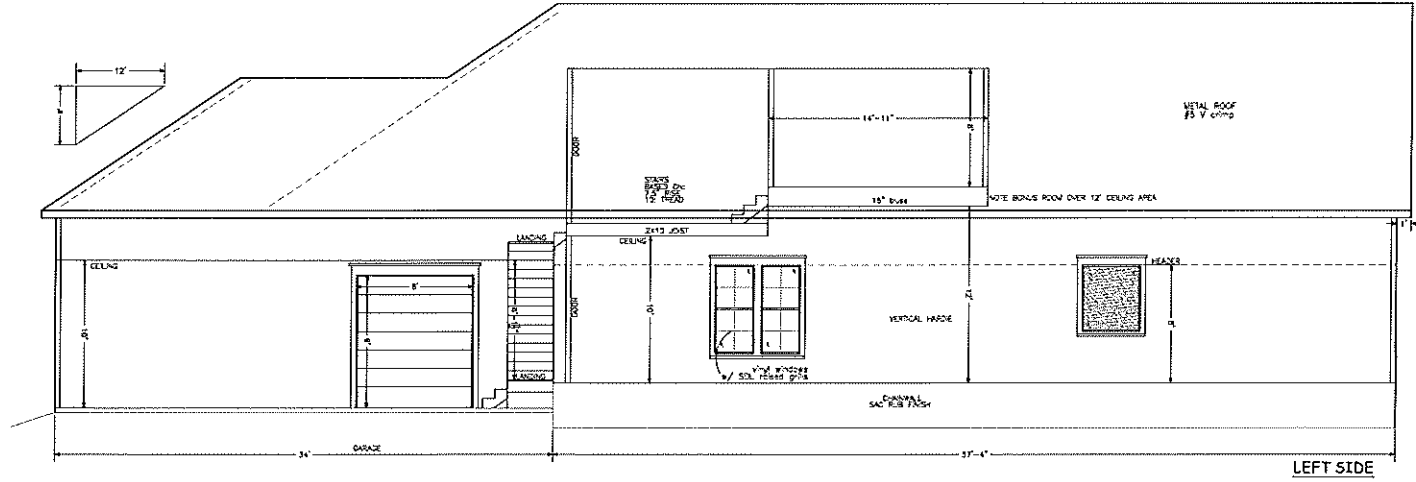
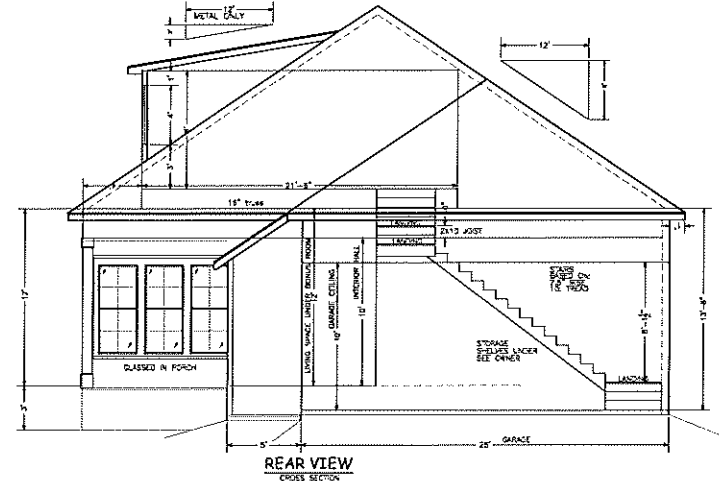
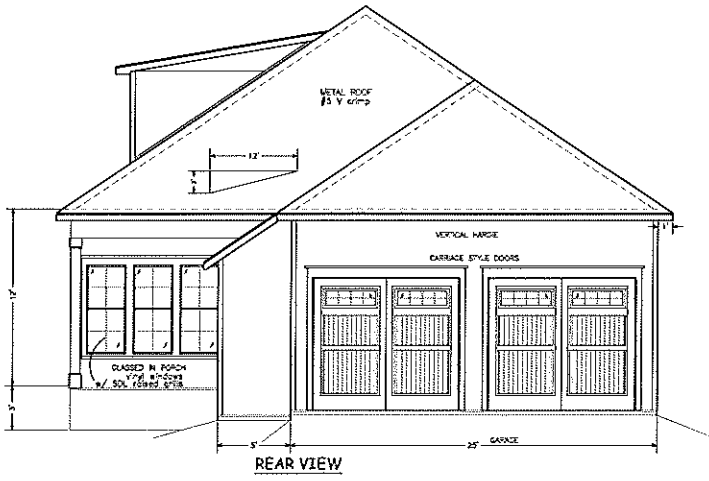
Prepared For:  
David & Susan Boudreaux  
307 N Second Street  
Bay St Louis, MS

Techni-CAD Drafting Service  
17121 Fernton Dedeaux Rd  
Kiln, MS 39556  
PH: 228-326-4232 email: ctdrafting@tcd.com



Scale:  
1/4"=1'-0"  
W.O. #:  
80525  
Date:  
08/05/25  
Drawn by:  
TLP  
Sheet:  
2

- NOTES:
1. All work shall be performed in accordance with all applicable building, state, and local codes, regulations, and TYPICALS.
  2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.
  3. Contractor shall insure acceptability of the building prior to the construction.
  4. The contractor is responsible for obtaining and verifying all necessary permits and approvals from all local codes and to ensure all utility and field structure.
  5. All material, labor, and local codes, regulations, and codes shall be provided to the contractor for their review and shall take professional seal/stamp where required, or implied where some are omitted.



ELEVATIONS PLAN

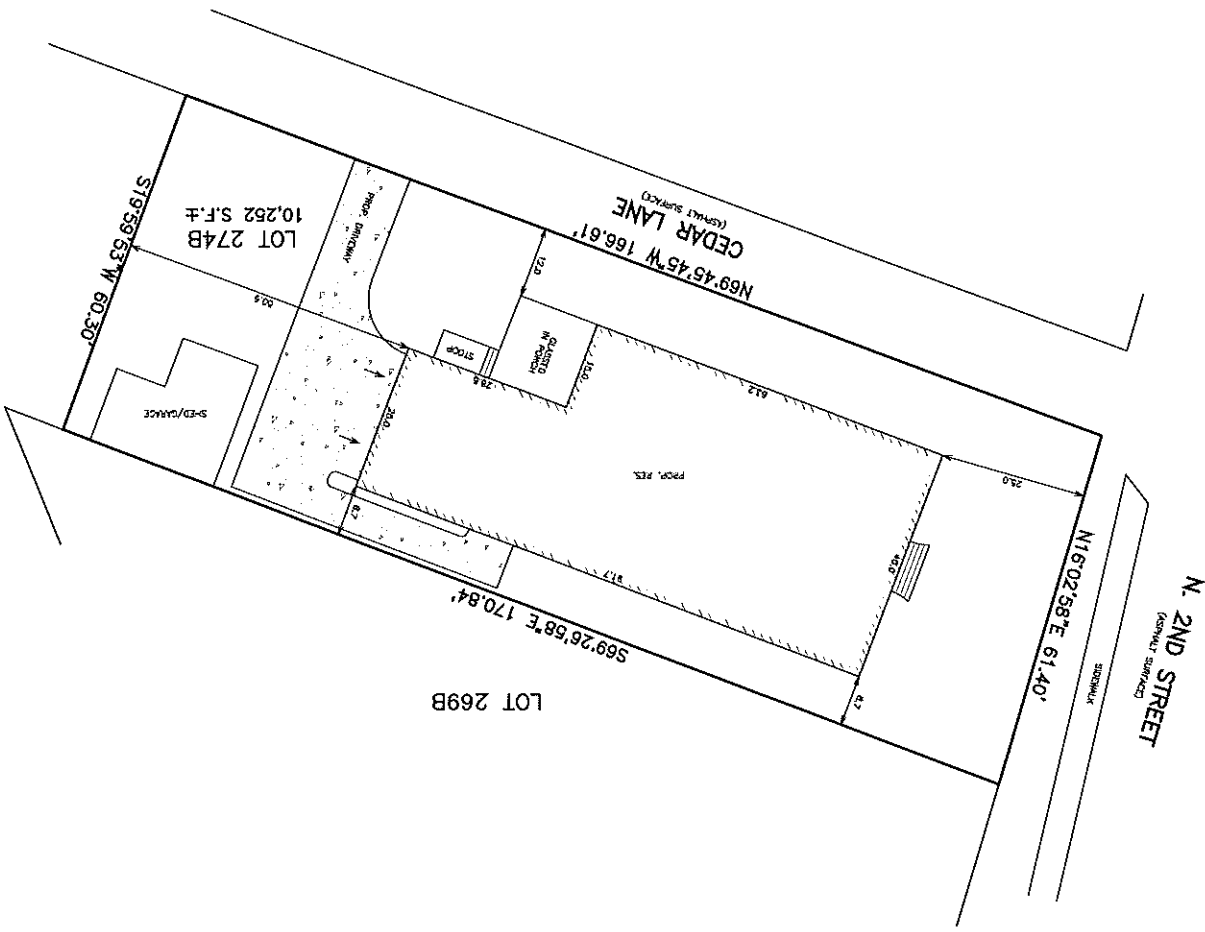
Prepared For:  
David & Susan Boudreaux  
507 N Second Street  
Bay St Louis, MS

Techni-CAD Drafting Service  
17121 Fenton Dedeaux Rd  
Kiln, MS 39556  
Ph: 228-326-4232 email: ctocoflamment@aol.com



Note:  
 Plot plan is drawn per survey done by DUKE LEVY & ASSO., P.A., dated: 09-27-2022, WO# 22-17-230-1

Plot Plan



Plot Plan  
 PART OF LOT 274 OF FIRST WARD, CITY  
 OF BAY ST. LOUIS, HANCOCK CO., MS



NOTES:  
 1. All work must be performed in accordance with all applicable municipal, state, and local codes, regulations, and RMAA WRS.  
 2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.  
 3. Contractor shall retain responsibility of the building and to insure a quality and safe structure.  
 4. The contractor is responsible for obtaining and verifying all structural details and conditions in field at local codes.  
 5. All major work, and work under, windows, partitions, and to insure a quality and safe structure.  
 6. All work must be completed as part of specifications for this building and must have performance clear drawing sheet, described, or typed where some are written.

**Computer Aided Design**  
**Techni-CAD Drafting Service**  
 17121 Ferron-Dedeaux Road  
 Kilm, MS 39556  
 Ph: 228-326-4232 email: ctoshannonent@aol.com

**Prepared For:**  
 David & Susan Boudreaux  
 507 N Second Street  
 Bay St. Louis, MS

Scale:	1"=15'
W.O.#:	80525
Date:	08/05/25
Drawn by:	TP
Sheet:	P

### Certificate of Appropriateness/Conceptual Review Application Form

Glenn Landrum  
Metairie, LA 70001

Property Address: 507 N. Second St  
 Applicant Name: Magelland Group Owner Name: David Boudreau  
 Mailing Address: 1508 LA Rd Mailing Address: 104 LAC Lafreniere Ct  
 Phone: 504-512-9689 Phone: Luling, LA 70070  
 Phone: 504-232-0791

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

**New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building, Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Glenn Landrum Date: 11/21/25  
 Owner's Signature: David Boudreau Date: 11/21/25

Please refer to the checklist of materials required with your application  
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.  
*Historic Preservation Commission / City Council Use Only*

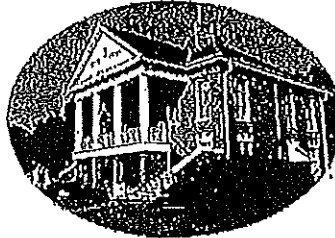
**HPC Review / City Council Review**

Historic District	Case Number
<input checked="" type="checkbox"/> Historic Preservation Commission Reviewed	Review Date
<b>Recommendation:</b> <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input checked="" type="checkbox"/> Disapprove	
Comments	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO	Date COA Action
Comments	
(BSL Historic Preservation Commissioner)	(City Council Resident Signature) (Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# Bay Saint Louis

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

Property Owners Information:

Name: David Budreau

Address: 507 N Second Street  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number (504) 232-0791

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 507 N Second Street

Give written scope of work to be performed: \_\_\_\_\_

New construction of house  
using HPC approved materials

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Bay St. Louis Historic Preservation Commission, P.O. Box 2550, Bay St. Louis, MS 39521

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 299 S. Second Street Bay St. Louis MS 39520
Applicant Name: William P. Hand Owner Name: Our Lady of the Gulf Church
Mailing Address: 106 Carroll Ave Mailing Address: 228 S. Beach Blvd
Phone: 936 718-7921 Phone: 228 467-6509

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

[ ] Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

[ ] Addition/Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

Application

[ ] New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale, Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

[X] Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 11/5/2025

Owner's Signature: [Signature] Date: 11/5/2025

Please refer to the checklist of materials required with your application. A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged. Historic Preservation Commission / City Council Use Only

HPC Review / City Council Review

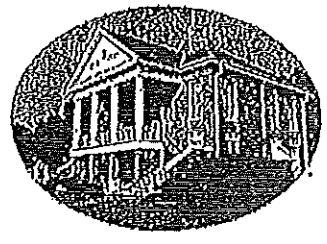
Table with columns for HPC Review and City Council Review, containing checkboxes for various review stages like 'Reviewed', 'Recommended', 'Approved', etc.

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Revised May 4, 2009

# BAY SAINT LOUIS

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Our Lady of the Gulf - Diocese of Biloxi

Address: 228 S. Beach Blvd Bay St. Louis, MS 39520  
(No P.O. Boxes)

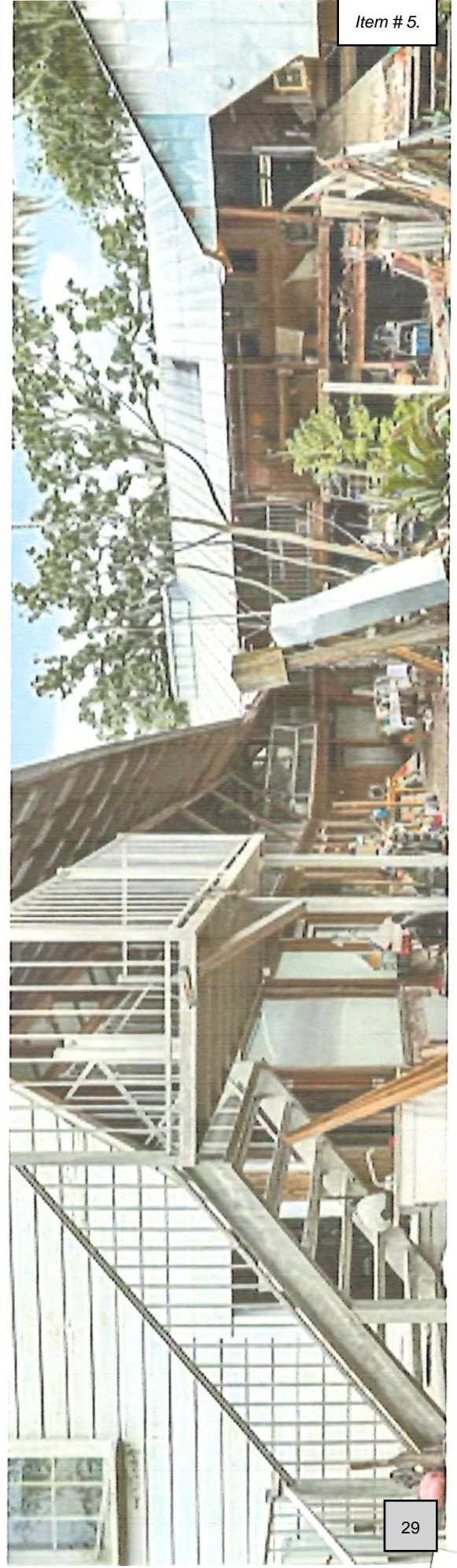
Telephone Number (228) 467-6509 Cell Number (936) 718-7921

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 299 South 2nd Street Bay St. Louis, MS 39520

Give written scope of work to be performed: Demolition of existing building/structure + properly grade property. Long range plan is an expansion of Holy Trinity Catholic School by construction of school gym/multiply purpose space.

< Back to listing

♡ Save  Share  More





Imagery ©2025 Airbus, Map data ©2025 20 ft

Item # 5.



Imagery ©2025, Map data ©2025 Google 50 ft

Current

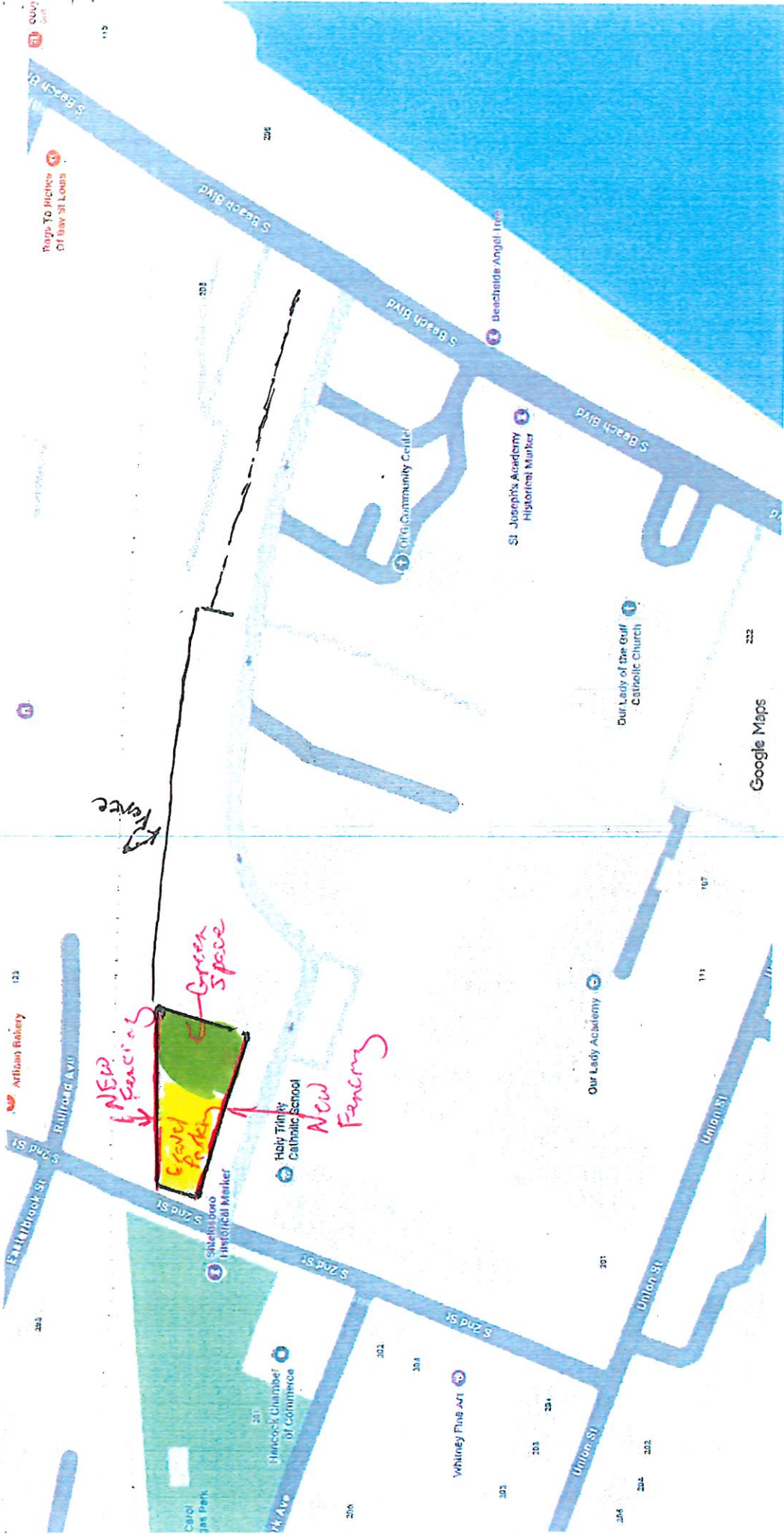
Item # 5.

31



Google Maps

Current



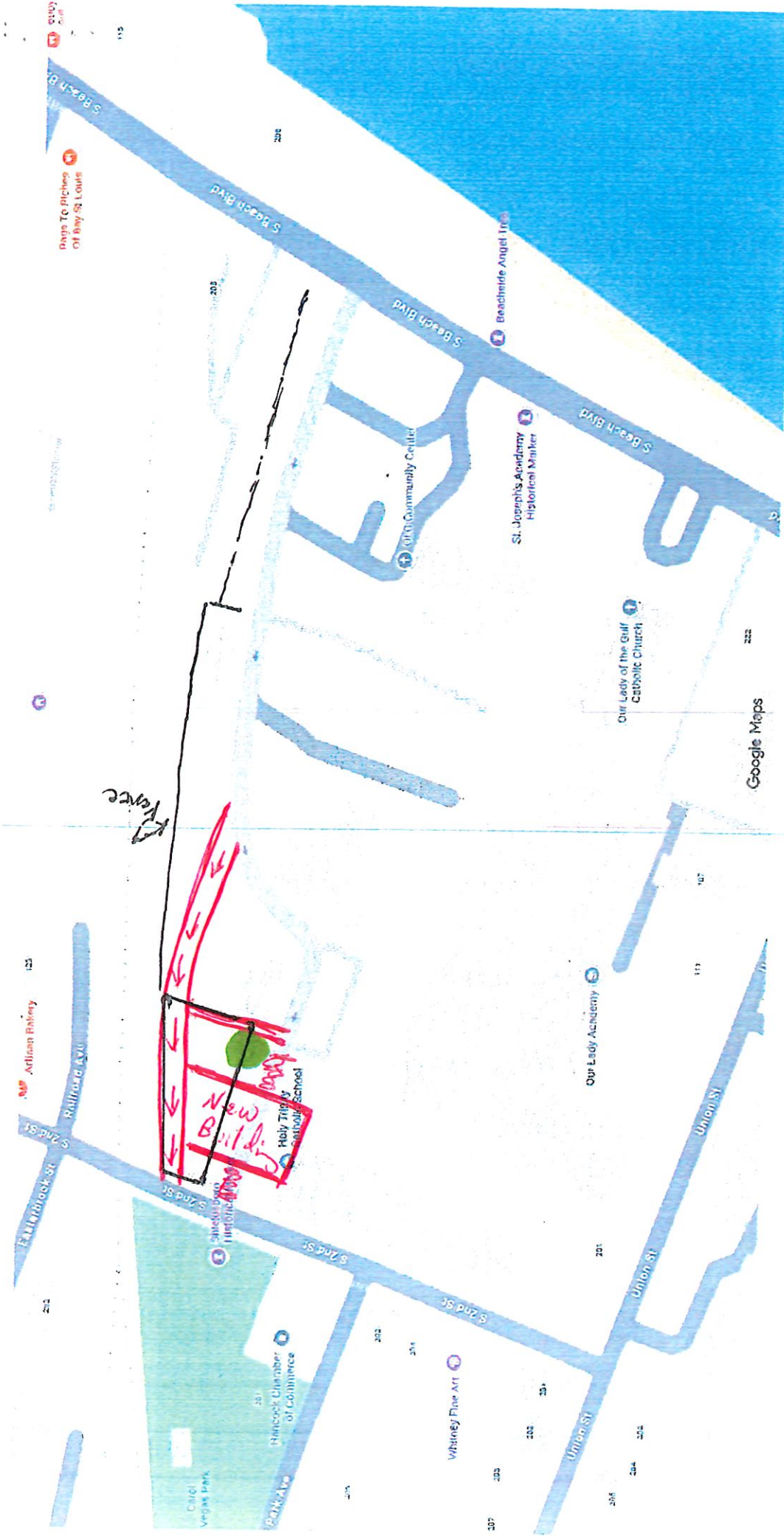
Short Term Usage



Short Term Usage

Imagery ©2025, Map data ©2025 Google 20 ft

Google Maps

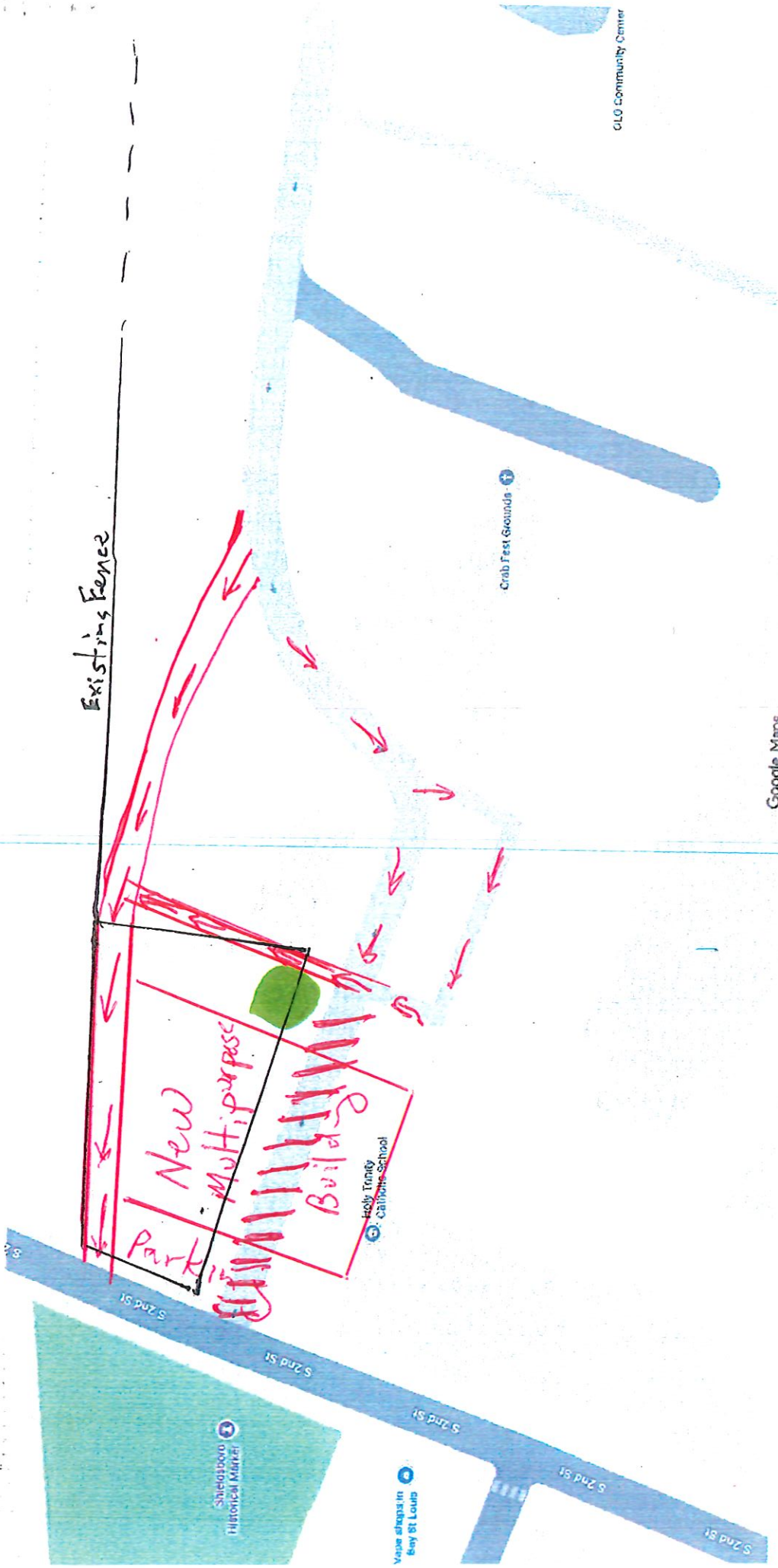


Imagery ©2025, Map data ©2025 Google 50 ft

Item # 5.

3-5+ year Outlook

- New Multi-purpose Building
- Re-route road to edge of the property



# 3-5+ year Outlook

- New Multi-purpose Building
- Re-route road to edge of the property

Item # 5.



## November 10, 2025 Historic Preservation Commission Meeting Minutes

November 10, 2025 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

---

### Call to Order Call to Order

#### PRESENT

Commissioner Patricia Keating  
Commissioner Dave Wessinger  
Commissioner Matt Stieffel  
Chairman Cliff Rabalais  
Commissioner John Bezou

#### ABSENT

Commissioner Steve Haas

### Action Items

1. Motion to approve renovation of replacing existing windows with 4/4 SDL windows and replacing existing siding with 8 1/4' Hardie at 121 State Street submitted by Edward Toomey.

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,  
Commissioner Bezou, Commissioner Keating

2. Motion to approve the removal of Asbestos of the building at 299 S Second Street

Motion made by Commissioner Keating, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou, Commissioner Keating

3. Motion to conceptual approve the demo old building at 299 S Second Street with the condition that materials in building be reused if possible and a short term plan and large term plan of the potential 229 S Second Street demo site be presented submitted by Our Lady of the Gulf Church. removal of Asbestos of the building at 299 S Second Street

Motion made by Chairman Rabalais, Seconded by Commissioner Bezou.

Voting Yea: Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou, Commissioner Keating

Voting Nay: Commissioner Wessinger

4. Motion to approve the demolition of the existing carport and driveway, creating a pervious area for the placement of a swimming pool, and the construction of a cabana at the rear of the residence in which the cabana will have stucco finish to match the house and the roof to be standing seam metal roof located at 216 North Beach Blvd as submitted by Beson and Gwen Corbett.

Motion made by Commissioner Wessinger, Seconded by Commissioner Keating

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais, Commissioner Bezou, Commissioner Keating

5. To approve the application submitted by Michael Craven for 130 Carroll to relocate an accessory structure and construct a swimming pool

Motion made by Commissioner Bezou, Seconded by Commissioner Keating

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,  
Commissioner Bezou, Commissioner Keating

6. Motion to approve conception review only for renovation and restore of the house at 231 Sycamore Street submitted by Annie Herrington. The condition of the conception review is adequate plans must be submitted for final approval, but some partial demolition may be required as part of this renovation when plans with details are submitted, they will be reviewed and if approval a certificate of appropriateness will be issued.

Motion made by Chairman Rabalais, Seconded by Commissioner Bezou

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,  
Commissioner Bezou, Commissioner Keating

7. Motion to approve a 22' wide by 26' deep garage for parking with approved HPC material to match the house with clarification that the siding and metal roof will match the existing house at 312 De Montluzin submitted by John Robin

Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel

8. Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,  
Commissioner Bezou, Commissioner Keating

**Adjourn**



## October 13, 2025 Historic Preservation Commission Meeting Minutes

October 13, 2025 at 12:00 PM  
598 Main Street, Bay St. Louis, MS 39520

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### Call to Order

#### PRESENT

Commissioner Steve Haas  
Commissioner Dave Wessinger  
Commissioner Matt Stieffel  
Chairman Cliff Rabalais  
Commissioner John Bezou  
Commissioner Ed Wikoff

#### ABSENT

Commissioner Patricia Keating

### Action Items

1. Motion to approve the renovation and addition to the dwelling at 301 N Necaise Avenue submitted by David and Rachel Sanders

Motion made by Commissioner Wessinger, Seconded by Commissioner Stieffel.

Voting Yea: Commissioner Wessinger, Commissioner Stieffel, Chairman Rabalais,  
Commissioner Bezou

NOTE: Commissioner Stieffel voted from phone just for this item and then left the meeting

2. Motion to approve construction of a new house at 611 Hancock Street with following conditions of bronzed roof metal approved, galvanized okay if desired. Shingles to be architectural singles, and shutters must appear to be operatable or no shutters at okay submitted by Benfatti Construction

Motion made by Commissioner Wessinger, Seconded by Commissioner Wikoff.

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais, Commissioner Bezou, Commissioner Wikoff,

NOTE: Commissioner Haas join the meeting

3. Motion to approve the addition at 202 Citizen Street with the condition of addition of a screen porch and a carport with upstairs area which could be used as living quarters in the future if it is allowed by zoning submitted by Benfatti Construction

Motion made by Commissioner Wessinger, Seconded by Commissioner Haas.

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais, Commissioner Bezou

4. Motion to approve the addition of living space to the existing house using the same material and add an accessory structure to add an outdoor kitchen at 260 Washington Street with the condition of addition to existing house. Adding to left side rear of the house, goig to two story structure and extending the existing pool/cabana submitted by Parker Construction

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais, Commissioner Bezou

5. Motion to approve the addition that will convert the single-family home to a duplex and will add a garage at 419 3rd Street submitted by Charles Prieur

Motion made by Commissioner Wessinger, Seconded by Commissioner Haas

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais, Commissioner Bezou

6. Motion to approve the addition of a storage building attached to the house at 306 Demontluzin Avenue, with all materials: shingles, stucco, and windows, to match the existing structure, as submitted by John Moss.

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais, Commissioner Bezou

7. Motion to approve the renovation and conceptual design for the property located at 144 Main Street, as submitted by Crystal Foster. The proposed work includes replacing the front doors, installing shutters, and adding a double door at the center of the building.

Motion made by Commissioner Wessinger, Seconded by Commissioner Haas

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais, Commissioner Bezou

### **Minutes Approval**

8. Motion to approve the meeting minutes from September 8, 2025 HPC meeting

Motion made by Commissioner Wessinger, Seconded by Commissioner Bezou

Voting Yea: Commissioner Wessinger, Commissioner Haas, Chairman Rabalais,  
Commissioner Bezou

**Adjourn**