



May 13, 2026 Planning Commission Meeting Agenda

May 13, 2026 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

Announcements

1. July 15th 5:30pm - Next Planning and Zoning Meeting

Minutes Approval

2. Motion to approve the minutes of April 28, 2026

Action Items

3. **OLSEN** – Application for variance to the Zoning Ordinance submitted by James and Mary Olsen. The applicants are requesting a 9.1' variance, resulting in a 10.9' setback to the rear yard, to construct a dwelling. The current house has been approved for demolition, and a new house is proposed to be built to match the setbacks of the current dwelling. The property is located at 204 St. George Street, Parcel 149F-0-29-203.000; Legal Description W 1/2 397, 1st Ward, Bay St. Louis. The property is zoned R-3 Multi-Family Residential District.
4. **FARLEY** – Application for special exception to the Zoning Ordinance submitted by Michael Farley. The applicant is requesting a special exception to allow an accessory dwelling on a lot under 15,000 square feet. The subject property totals 9,580 square feet, which is 5,420 square feet below the minimum required lot size. The property is located at 142 Skyline Drive, Parcel 136N-3-42-037.000; Legal Description 25 & 26 BLK 27 UN 7 Shoreline Estate. The property is zoned R-1 Single-Family Residential District.
5. **NUSS** – Application for variance to the Zoning Ordinance submitted by Pete Nuss. The applicant is requesting variances to construct an accessory structure on the property. The variance is for 3' rear yard variance resulting in a 2' rear yard setback

where 5' is required, and a side yard variance of 3.5' resulting in a 1.5' side yard setback where 5' is required. The property is located at 218 Ballentine Street, Parcel Number 149N-0-30-112.000; Legal Description 85 Fourth Ward, Bay St. Louis. The property is zoned R-2 Two-Family Residential District.

- 6. FE AND SE INVESTMENTS LLC** – Application for sketch plat approval submitted by Fe and Se Investments LLC for a proposed subdivision consisting of 7 parcels ranging in size from 13,154 square feet to 37,654 square feet. All streets and infrastructure will be constructed to meet City of Bay St. Louis standards. The property is located in the 600 Block of Third Street, Parcel Number 149N-0-30-238.001; Legal Description PT 214, 4th Ward, Bay St. Louis. The property is zoned R-1 Single-Family Residential District and R-2 Two-Family Residential District.
- 7. GREYSTONE DEVELOPMENT** – Application for Sketch Plat Approval for a proposed subdivision submitted by Greystone Development. The applicant is requesting approval for the creation of (4) four single-family residential parcels and (3) three condominium parcels within a Special Use District. The property is located at 1839 Blue Meadow Road, Parcel Numbers 136N-1-37-025.001; PT E CARVER CLAIM 37-8S-14W, 136N-2-42-085.001; PT J B LARDASSE CLAIM 42-8S-14W and 136N-2-42-085.002; PT J B LARDASSE CLAIM. The property lies within a Special Use District.
- 8. *WITHDRAWN* RELLIM DEVELOPMENT COMPANY** – Application for Major Site Plan Review for a commercial retail building, boat storage, and warehouse storage facility submitted by Rellim Development Company. The property in question is located at 298 HWY 90 and is identified by parcel number 149D-3-29-003.000; 277C 1ST WARD BAY ST LOUIS. The property is zoned C-3 Highway Commercial District.
- 9. LEE** – Application for special exception to the Zoning Ordinance submitted by Joel Lee. The applicant is requesting a special exception to allow boat storage and warehouse storage on property zoned C-3 Highway Commercial. The property is located at 3220 Longfellow Drive, Parcel Number 138H-0-46-019.000; Legal Description PT Guidon Toulme Claim, 46-8S-14W. The property is zoned C-3 Highway Commercial.

Adjourn

- 10.** Motion to adjourn the meeting of May 13, 2026.



Planning Commission Meeting Minutes

April 28, 2026 at 5:30 PM

598 Main Street, Bay St. Louis, MS 39520

Call to Order

PRESENT

Chairman Mikayla Brown

Commissioner Clark Breland

Commissioner Dean Agee

Commissioner Jimmy Osbourn

ABSENT

Commissioner MJ Krankey

Commissioner John Romano

Minutes Approval

1. Motion to approve the minutes of March 11, 2026.

Motion made by Commissioner Osbourn, Seconded by Commissioner Breland.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee,

Commissioner Osbourn

Action Items

2. **KERNION** – Request for appeal submitted by Kevin Kernion and Laurie Norman. The applicants are appealing the denial of a tree removal permit. The property is located at 115 DeMontluzin Avenue. Parcel 149F-0-29-213.000, Legal Description: Lots 9 & 10, Beach Front Subdivision.

Katie Hood and Laurie Norman spoke representing the application.

Anita Warner spoke in opposition

Motion to overturn denial for tree removal permit 2026-90 and allow the removal of trees

Motion made by Chairman Brown, Seconded by Commissioner Agee.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee

Voting Nay: Commissioner Osbourn

APPROVED

3. **MP DESIGN GROUP** – Application for Major Site Plan Review for a convenience store with gasoline pumps submitted by MP Design Group. The property in question is located at the north-west corner of HWY 603 and I-10 and is identified by parcel number 133 -0-07-006.000, Legal Description: PT S 1/2 7-8S-14W, and parcel number 133Q-0-08-002.001, Legal Description: PT LOT 4 8-8S-14W. The property is zoned C-3 Highway Commercial District.

Blake Noblin spoke representing the application

Motion made by Chairman Brown, Seconded by Commissioner Osbourn.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Osbourn

APPROVED

4. ***WITHDRAWN* FORGE & FIELD, LLC** – Application for Major Site Plan Review for a condominium development submitted by Forge & Field, LLC. The property in question is located at 0 Webster Street and is identified by parcel number 149E-0-29-014.002, with the legal description PT 276 1ST WARD BSL. The proposed development consists of two (2) two-story buildings containing a total of fourteen (14) condominium units. The property is zoned C-3 Highway Commercial District and R-3 Multi-Family.

5. ***WITHDRAWN* RELLIM DEVELOPMENT COMPANY** – Application for Major Site Plan Review for a commercial retail building, boat storage, and warehouse storage facility submitted by Rellim Development Company. The property in question is located at 298 HWY 90 and is identified by parcel number 149D-3-29-003.000; 277C 1ST WARD BAY ST LOUIS. The property is zoned C-3 Highway Commercial District.

6. **ROBIN** – Application for special exception and variance to the zoning ordinance submitted by John Robin. The applicant is requesting a special exception to allow an accessory dwelling on a lot under 15,000 square feet. The combined parcels total 11,639 square feet, which is a variance of 3,361 square feet from the required minimum lot area. The properties are located at 312 DeMontluzin Avenue, Parcel 149F-0-29-262.000, Legal Description: 10, PT 11 BLK 5 PERKINS S/D, and Parcel 149F-0-29-280.000, Legal Description: 455F FIRST WARD BAY ST LOUIS. The property is zoned R-2 Two Family.

Vicki Estapa spoke representing the application

Kathleen Monti and Anita Warner spoke in opposition

Motion to Deny the application as presented

Motion made by Chairman Brown, Seconded by Commissioner Osbourn.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Osbourn

Voting Nay: Commissioner Agee

APPROVED

7. **JOHNSON** – Application for variance to the Zoning Ordinance submitted by Mark & April Johnson. The applicants are requesting a variance of 18 feet to the required 20-foot rear yard setback, resulting in a 2 ft setback to the rear yard. The property is located at 601 Citizen Street, at the corner of Citizen Street and Old Spanish Trail, Parcel Number 137J-0-44-213.001; Legal Description PT 400, 402C & 403, 3RD WARD BAY ST LOUIS. The property is zoned R-1 Single Family Residential District.

Mark Johnson spoke representing the application

Anita Warner spoke in opposition

Patricia Cheeks spoke in opposition

Motion to Deny the application as presented.

Motion made by Chairman Brown, Seconded by Commissioner Osbourn.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Osbourn

APPROVED

8. **FEOLA** – Application for variance to the Zoning Ordinance submitted by Adam Feola. The applicant is requesting a variance of 168% to allow an accessory structure to be 218% of the size of the primary dwelling. The property is located at 513 Main Street; Parcel Number 149E-0-29-293.001; Legal Description PT 568, 1ST WARD, Bay St. Louis. The property is zoned C-2 Neighborhood Commercial District.

Adam Feola spoke representing the application

Anita Warner spoke in opposition

Motion to deny the application as presented.

Motion made by Commissioner Agee, Seconded by Commissioner Breland.

Voting Yea: Commissioner Breland, Commissioner Agee

Voting Nay: Chairman Brown, Commissioner Osbourn

APPROVED

Adjourn

9. Motion to adjourn the meeting of April 15, 2026.

Motion made by Chairman Brown, Seconded by Commissioner Breland.

Voting Yea: Chairman Brown, Commissioner Breland, Commissioner Agee, Commissioner Osbourn

APPROVED

Mikayla Brown, Chairman Date

Caitlin Bourgeois, Secretary Date

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 204 St. George Street
149F-0-29-203.000
W 1/2 397, 1ST WARD BAY ST LOUIS

HEARING DATE: May 13, 2026

I reviewed James and Mary Olsen's application for a Variance to the Zoning Ordinance. The property is located at 204 St. George Street and is zoned R-3 Multi-Family Residential District. The applicants are requesting a variance to the rear yard setback to allow for the construction of a new dwelling. The current house has been approved for demolition, and the proposed dwelling is designed to match the setbacks of the existing structure.

Rear Yard Setback:

Required: 20'

Proposed Distance of rear yard: 10.9'

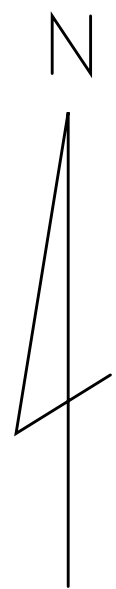
Variance Request: 9.1'

The administration recommends **approval** of the variance request.

- The existing dwelling has been approved for demolition.
- The proposed dwelling will match the setbacks of the current house
- The setbacks are inline with neighboring properties
- The parcel is 60' by 70'

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

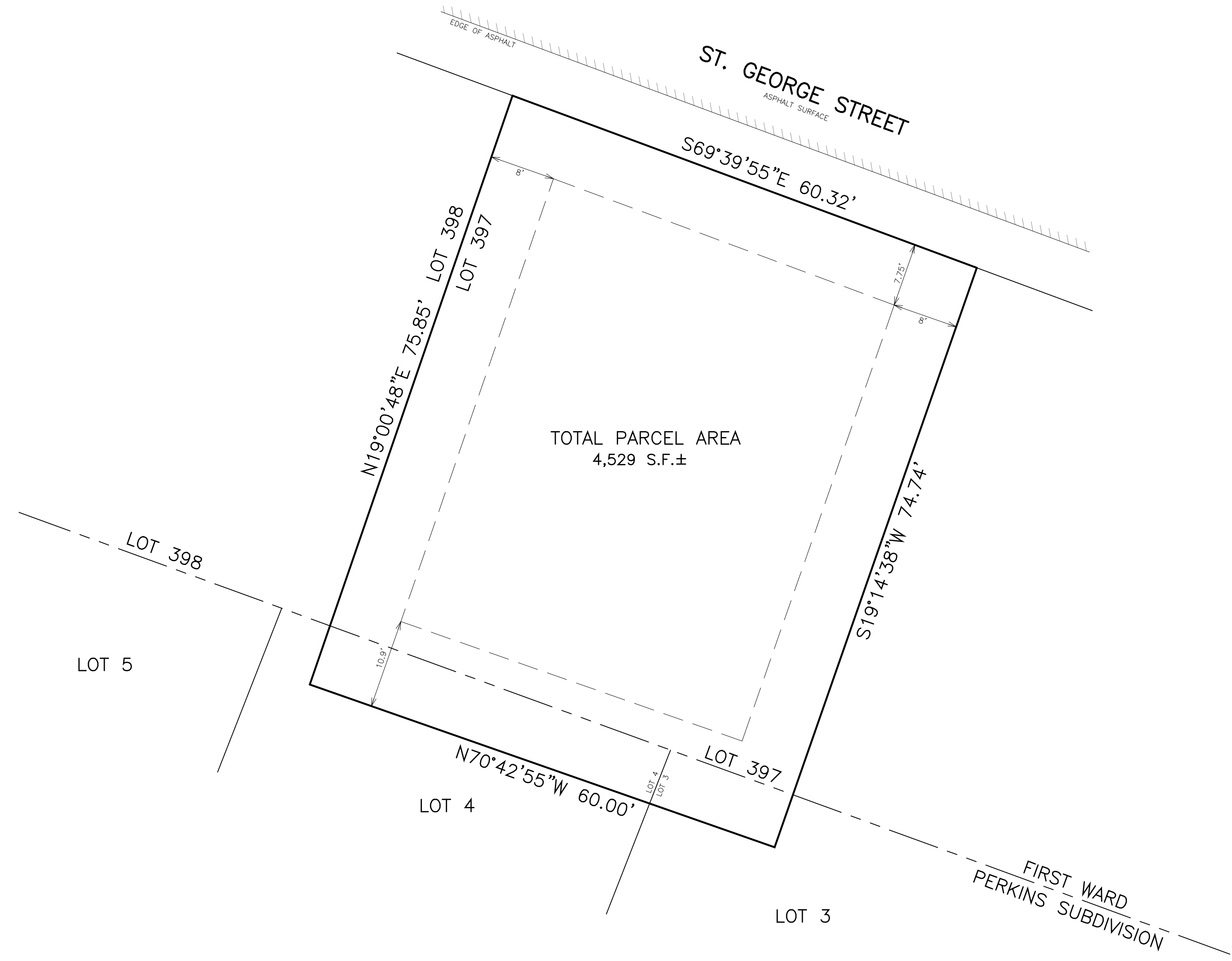
Jeremy L Burke
Zoning Administrator



Plot Plan

PART OF LOT 397, FIRST WARD, CITY OF BAY ST. LOUIS, AND PART OF LOTS 3 & 4, BLOCK 1, PERKINS S/D, FIRST WARD, CITY OF BAY ST. LOUIS, HANCOCK CO., MS

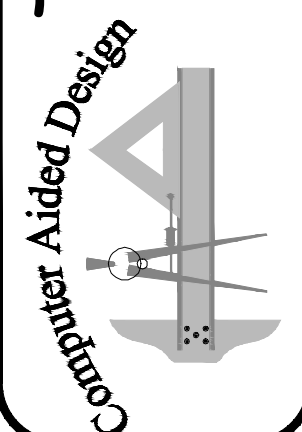
- NOTES:**
1. All work shall be performed in accordance with all applicable national, state, and local codes, regulations, and FHA/VA MPS.
 2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.
 3. Contractor shall insure compatability of the building with all site requirements.
 4. The contractor is responsible for adjusting and verifying all structural details and conditions to meet all local codes and to insure a quality and safe structure.
 5. All federal, state, and local codes, ordinances, regulations, etc. shall be considered as part of specifications for this building and shall take preference over anything shown, described, or implied where some are variance.



Scale:
1"=10'
W.O. #:
41826
Date:
04/08/26
Drawn by:
TLP
Sheet:
P

Prepared For:
 Mary Olsen
 St. George Street
 Bay St. Louis, MS

Techni-CAD Drafting Service
 17121 Fenton-Dedeaux Road
 Kiln, MS 39556
 Ph: 228-326-4232 email: atoashamoment@aol.com



Note:
 Plot plan is drawn per survey done by JAMES J. CHINICHE, PA, INC., dated: 11/09/2020, JOB # 2020-363

Plot Plan



REFERENCES:

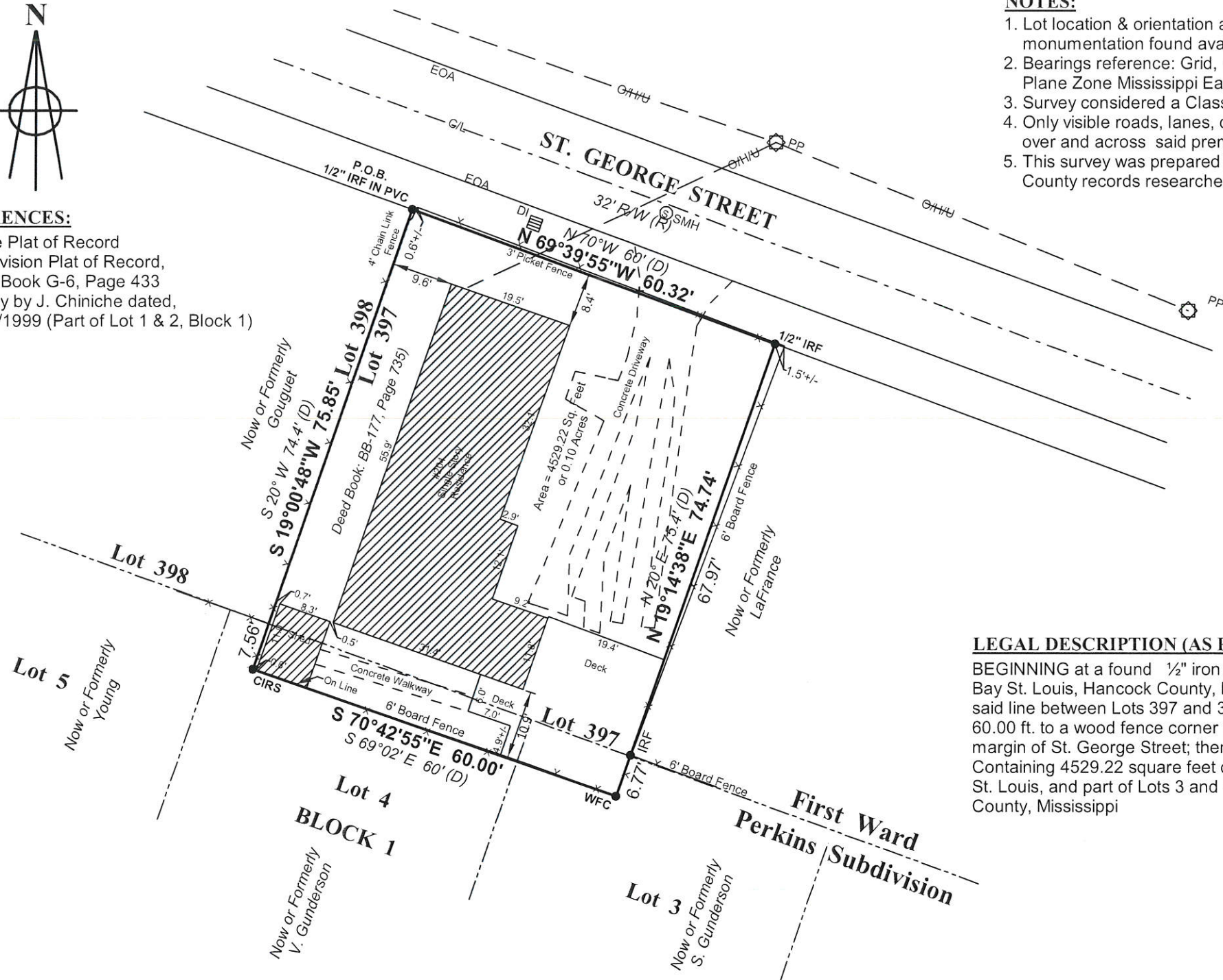
- 1) Drake Plat of Record
- 2) Subdivision Plat of Record, Deed Book G-6, Page 433
- 3) Survey by J. Chiniche dated, 03/24/1999 (Part of Lot 1 & 2, Block 1)

NOTES:

1. Lot location & orientation are based on recorded data and monumentation found available.
2. Bearings reference: Grid, Geoid G2018U7 NAD '83 State Plane Zone Mississippi East by GPS Observation.
3. Survey considered a Class "B" survey.
4. Only visible roads, lanes, driveways, drains, utilities, etc., over and across said premises are shown hereon.
5. This survey was prepared without a current title report nor were County records researched for easements by this surveyor.

LEGEND:

- IRF = 1/2" Iron Rod Found
- IPF = Iron Pipe Found
- IRS = 1/2" Iron Rod Set
- IFP = Iron Fence Post
- TPF = "T" Post Found
- IBF = Iron Bar Found
- AIF = Angle Iron Found
- C = Capped
- WFP = Wood Fence Post
- MNF = Magnetic Nail Found
- MNS = Magnetic Nail Set
- Ref. = Reference
- R/W = Right-Of-Way
- O/H/U = Overhead Utilities
- PP = Power Pole
- LP = Light Pole
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- TBM = Temporary Bench Mark
- T.O.B. = Top of Bank
- FH = Fire Hydrant
- SMH = Sewer Man Hole
- C/L = Centerline
- EOA = Edge of Asphalt
- (P) = Plat of Record
- (D) = Deed of Record
- (R) = Record



LEGAL DESCRIPTION (AS PER SURVEY):

BEGINNING at a found 1/2" iron rod where the line between Lots 397 and 398, First Ward, City of Bay St. Louis, Hancock County, Mississippi intersects the south margin of St. George Street; thence along said line between Lots 397 and 398, S 19°00'48"W 75.85 ft. to a set capped 1/2" iron rod; thence S 70°42'55"E 60.00 ft. to a wood fence corner post; thence N 19°14'38"E 74.74 ft. to a found 1/2" iron rod on the said south margin of St. George Street; thence along said margin, N 69°39'55"W 60.32 ft. to the POINT OF BEGINNING; Containing 4529.22 square feet or 0.10 acres, more or less, and being part of Lot 397, First Ward, City of Bay St. Louis, and part of Lots 3 and 4, Block 1, Perkins Subdivision, First Ward, City of Bay St. Louis, Hancock County, Mississippi

SURVEYOR'S CERTIFICATION:

This is to certify that I have surveyed the property herein described and delineated, and that all measurements and other data are correct to the best of my knowledge and belief.

Michael R. McGinnis
 Michael Raymond McGinnis
 Professional Surveyor
 P.L.S.- #02827
 State of Mississippi



Rev. # 3 Date:	JAMES J. CHINICHE, PA, INC. Engineering Surveying  Office: 412 Hwy. 90, Suite 4 Bay St. Louis, MS 39520 (228) 467-6755	PLAT OF SURVEY OF Part of Lot 397, First Ward, City of Bay St. Louis, and part of Lots 3 and 4, Block 1, Perkins Subdivision, First Ward, City of Bay St. Louis, Hancock County, Mississippi
Rev. # 2 Date:		
Rev. # 1 Date:		
Date: 11/09/2020		
Scale: 1" = 20'		
Drawn by: dmr	Job #: 2020-363 Sht. 1 of 1 For: Kane	

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 142 Skyline Drive
Parcel 136N-3-42-037.000
Legal Description: 25 & 26 BLK 27 UN 7 SHORELINE ESTATE

HEARING DATE: May 13, 2026

I have reviewed the application for Special Exception submitted by Michael Farley. The property is located at 142 Skyline Drive and is identified as Parcel 136N-3-42-037.000 (Legal Description: 25 & 26 BLK 27 UN 7 SHORELINE ESTATE). The parcel contains 9,580 square feet and is zoned R-1 Single Family Residential District.

Accessory dwellings within the R-1 Single Family Residential District are permitted only by special exception on parcels meeting the minimum lot size of 15,000 square feet.

The applicant is requesting the following:

- A special exception to allow an accessory dwelling on a lot under 15,000 square feet.
- A variance of 5,420 square feet from the required 15,000-square-foot minimum lot size.

The existing house is currently 12 feet above the base flood elevation. Due to floodplain requirements, any new addition would be required to be elevated 19 feet above base flood elevation. Because of this elevation difference, a direct structural connection between the existing home and the proposed structure is not feasible.

As shown in the submitted plans, the new structure will be connected to the existing home by a deck and stairs and will not be connected by rooflines or exterior walls, which would have qualified the structure as an addition to the dwelling.

The administration recommends _____ of the variance request.

- A unique situation of a house can not be added on to unless the house is raised by 7 feet
- It is cost-prohibitive to raise the house
- No opposition from the neighbor

If I can be of any further assistance in this matter, please feel free to call my office at 228-466-5516.

Jeremy L Burke
Zoning Administrator

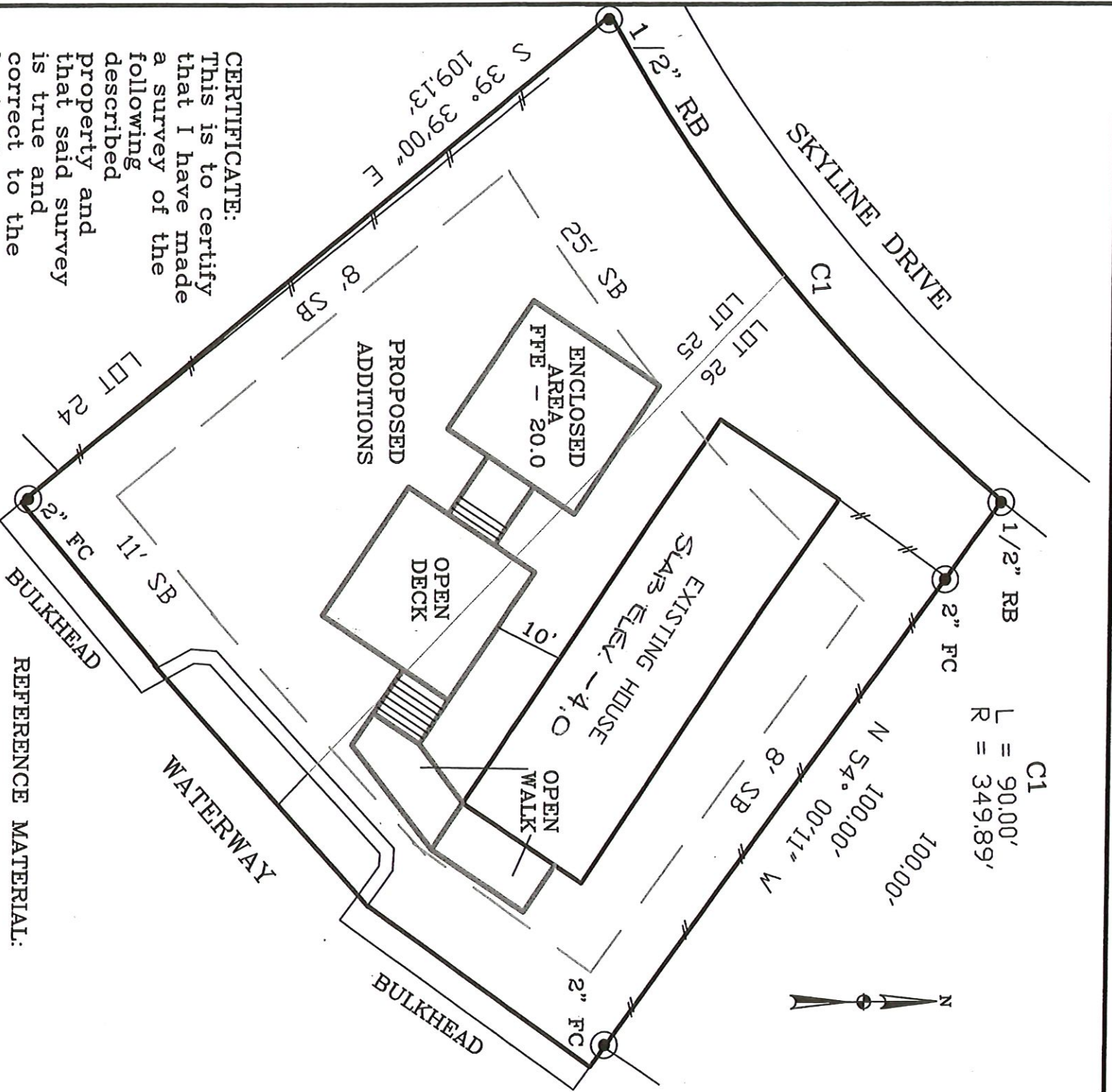


Staff Report

Meeting Date: MAY 13, 2026
Meeting Type: P&Z

To: Planning and Zoning Commissioners
From: Jeremy Burke
Item Title: Farley – 142 Skyline Drive. Special Exception to allow accessory dwelling

Background: The existing house is currently 12 feet above the base flood elevation. Due to floodplain requirements, any new addition would be required to be elevated 19 feet above base flood level. Because of this elevation difference, a direct structural connection between the existing home and the proposed addition is not feasible. As shown in the submitted plans, the new structure will be connected to the existing home by a deck and stairs, and will not be connected by rooflines or exterior walls, which would have qualified as an addition to the dwelling.



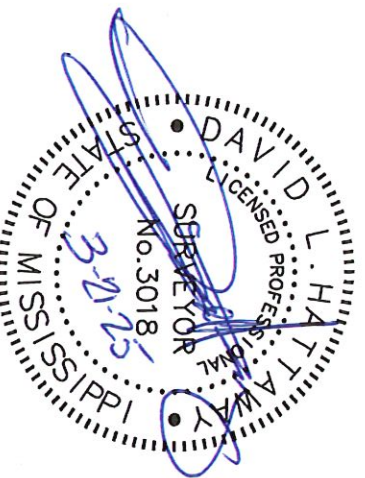
CERTIFICATE:
 This is to certify that I have made a survey of the following described property and that said survey is true and correct to the best of my knowledge and belief.

DESCRIPTION: Lot 25 & 26, Square 27, Shoreline Estates Subdivision, Unit 7, a subdivision according to the map or plat thereof filed for record in the office of the Chancery Clerk of Hancock County, Mississippi. These parcels contains 0.253 acres (11027 sq ft) more or less.

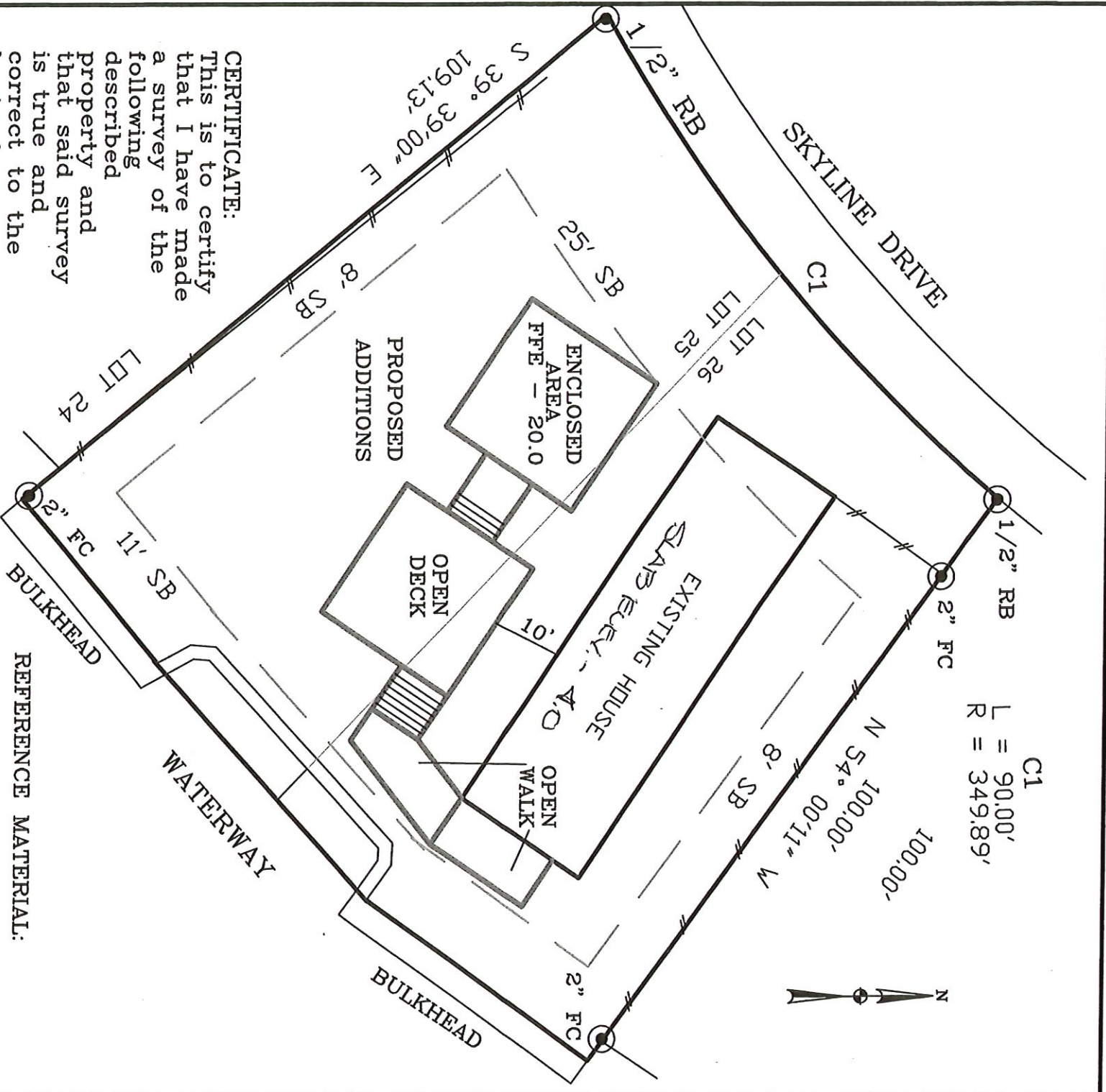
REFERENCE MATERIAL:

- 1) Official Plat of Shoreline Estates Subdivision, Unit 7
- 2) Db 2007 Pg 6063

- F.I.P. Found (as listed)
- S.I.P. Set 1/2" Rebar



HATTAWAY ENGINEERING INC.	
P.O. BOX 363	
CARRIERE, MISSISSIPPI 39426	
SCALE: 1" = 20'	APPROVED BY: _____
DATE: 3/24/25	DAVID L. HATTAWAY
SURVEY FOR: MICHAEL FARLEY	
DAVID HATTAWAY, P.E. 12611 DRAWING NUMBER:	DRAWN BY: DLH
P.L.S. 3018 SHORELINE ESTATES SD/LOT 25 & 26	CLASS "C" SURVEY



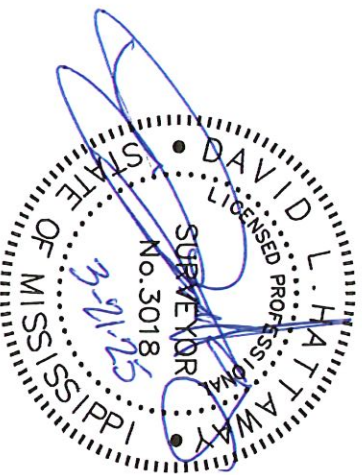
CERTIFICATE:
 This is to certify that I have made a survey of the following described property and that said survey is true and correct to the best of my knowledge and belief.

DESCRIPTION: Lot 25 & 26, Square 27, Shoreline Estates Subdivision, Unit 7, a subdivision according to the map or plat thereof filed for record in the office of the Chancery Clerk of Hancock County, Mississippi. These parcels contains 0.253 acres (11027 sq ft) more or less.

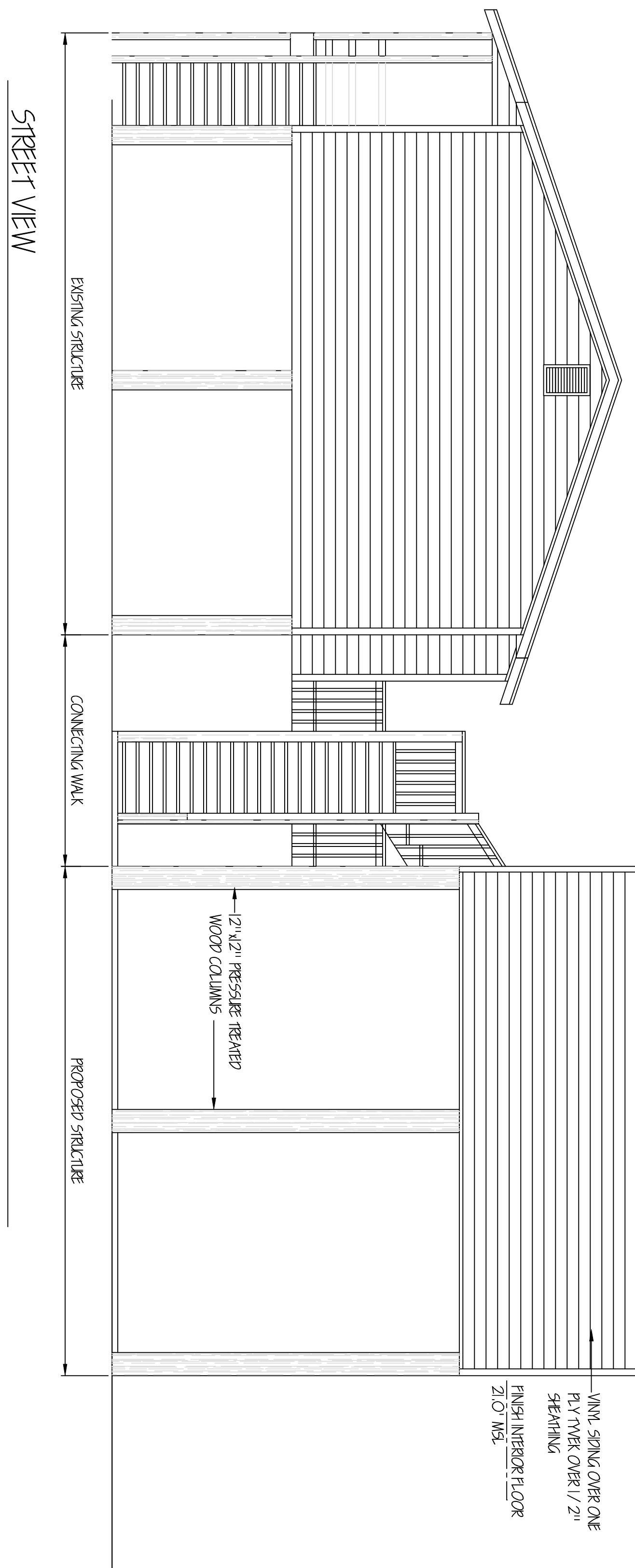
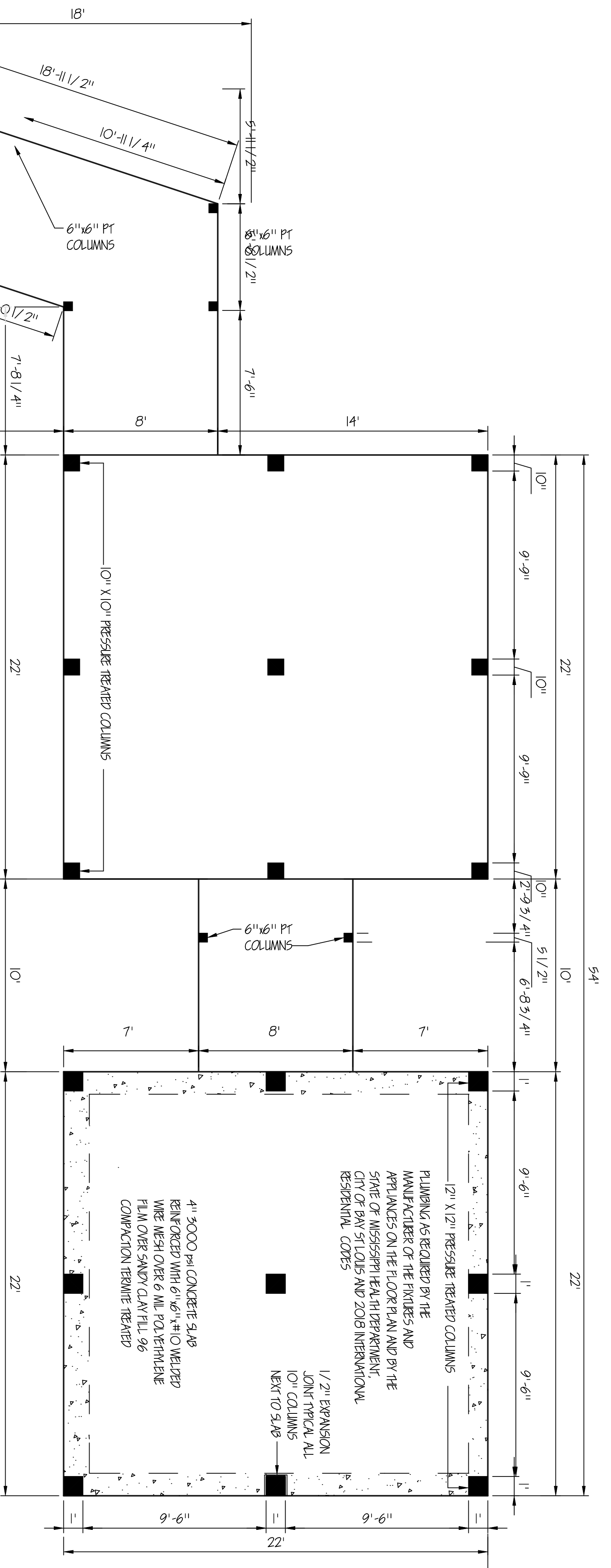
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- F.I.P. Found (as listed)
- S.I.P. Set 1/2" Rebar



HATTAWAY ENGINEERING INC.	
P.O. BOX 363 CARRIERE, MISSISSIPPI 39426	
SCALE: 1" = 20'	APPROVED BY: DAVID L. HATTAWAY
DATE: 3/24/25	DRAWN BY: DLH
SURVEY FOR: MICHAEL FARLEY	
DAVID HATTAWAY, P.E. 12611 DRAWING NUMBER: SHORELINE ESTATES SD/LOT 25 426	



FOUNDATION LAYOUT

STREET VIEW

ELEVATED BUILDINGS SUPPORTED ON WOOD PILING ARE PRONE TO SWAYING DUE TO THE ELEVATION AND WOOD CONNECTIONS. THIS IS NOT A STRUCTURAL ISSUE DUE TO WIND SPEEDS THAT ARE BELOW THE DESIGN WIND SPEED OF THE STRUCTURE. HOWEVER THE STRUCTURE'S INTEGRITY IS IMPACT AND WILL PERFORM AS NECESSARY WITHOUT FAILURE OR COLLAPSE. THIS SWAYING THE ENGINEER OR DESIGNER COMPROMISE WILL NOT BE LIABLE FOR SWAYING TO ANY LEVEL OR DEGREE.

- ENGINEER'S NOTES:
- I. GENERAL
 - A. FIELD SUPERVISION PROVIDED UNDER THIS SEAL.
 - B. NO ADMINISTRATION PROVIDED UNDER THIS SEAL.
 - C. ALL WORK/MATERIALS SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES.
 - D. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) 2018
 - E. INTERNATIONAL RESIDENTIAL CODE (IRC) 2018
 - F. ENVIRONMENTAL LOADS SHALL BE PER ASCE-7
 - G. LIVE LOADS (PER ASCE-7)
 - H. DECKING WITHOUT STORAGE = 10 PSF
 - I. ATTICS INHABITABLE WITH STORAGE = 20 PSF
 - J. RESIDENTIAL FLOOR LOAD (GASSET BALCONIES) = 40 PSF
 - K. ENVIRONMENTAL LOADS SHALL BE PER ASCE-7
 - L. BUILDING OR LATEST EDITION
 - M. BASIC WIND SPEED, Velocity(V) - 130 MPH
 - N. IMPORTANCE FACTOR(I) - 1.0
 - O. ENCLOSED STRUCTURE: INTERIOR PRESSURE BASED ON Cp=+/- 0.18
 - P. THE BUILDING ABOVE THE SUB-FLOORING INCLUDING STAIRS, RAILING AND TRIM SHALL BE BY OTHERS AND DESIGN TO THE INTERNATIONAL RESIDENTIAL CODES.

HATTAWAY
ENGINEERING
INCORPORATED
P.O. BOX 363
CAMDEN, MS 39426
PH: (601) 798-1978 FAX: (601) 798-1978

PROPOSED ADDITION
142 SKYLINE DRIVE
BAY ST LOUIS, MISSISSIPPI 39520

MICHAEL FARLEY
142 SKYLINE DRIVE
BAY ST LOUIS, MISSISSIPPI 39520

DATE:
MARCH 28, 2025

SCALE:
1" = 10.0'

JOB NO.

DESIGNED BY:
RDS

DRAWN BY:
RDS

CHECKED BY:
RDS

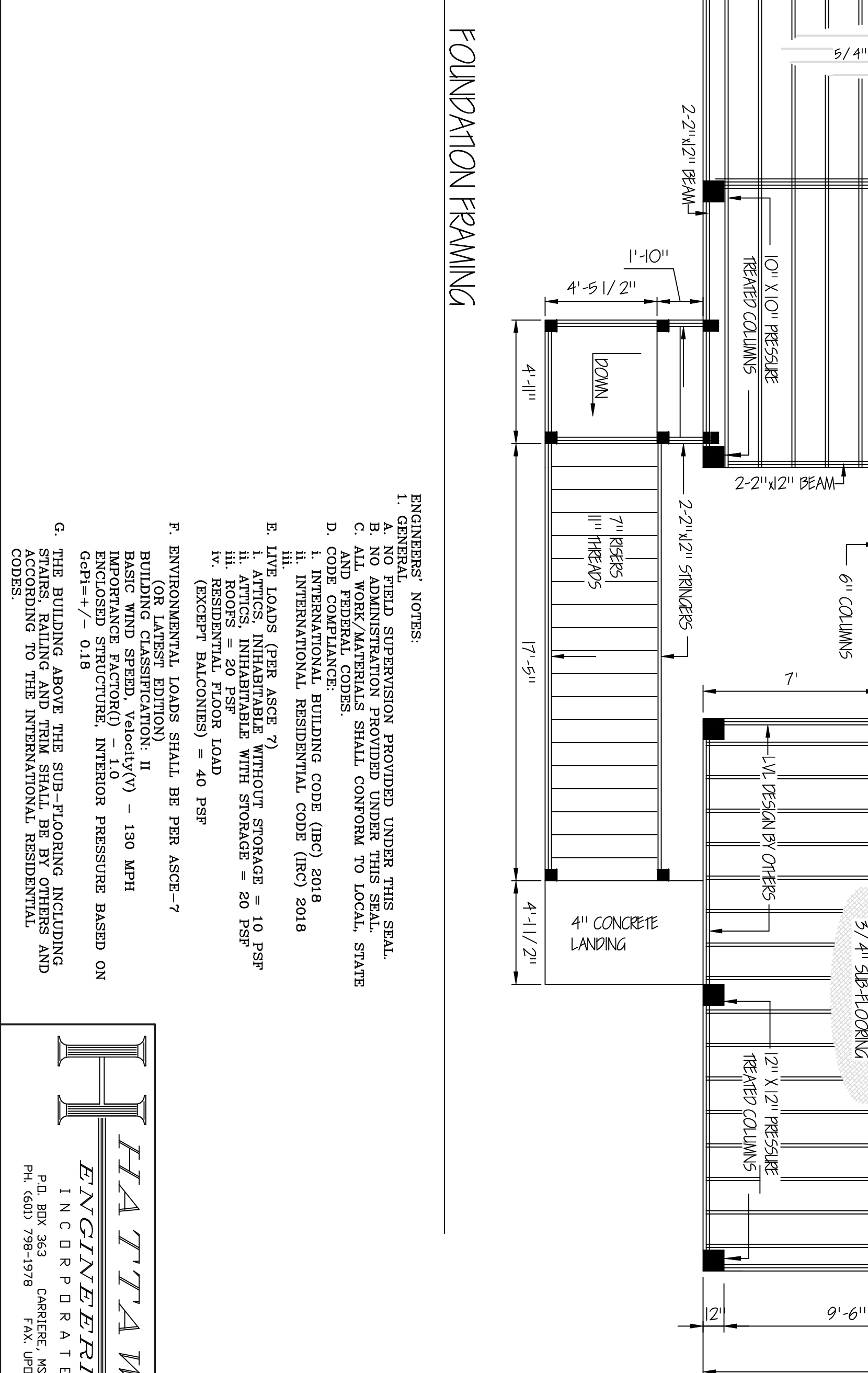
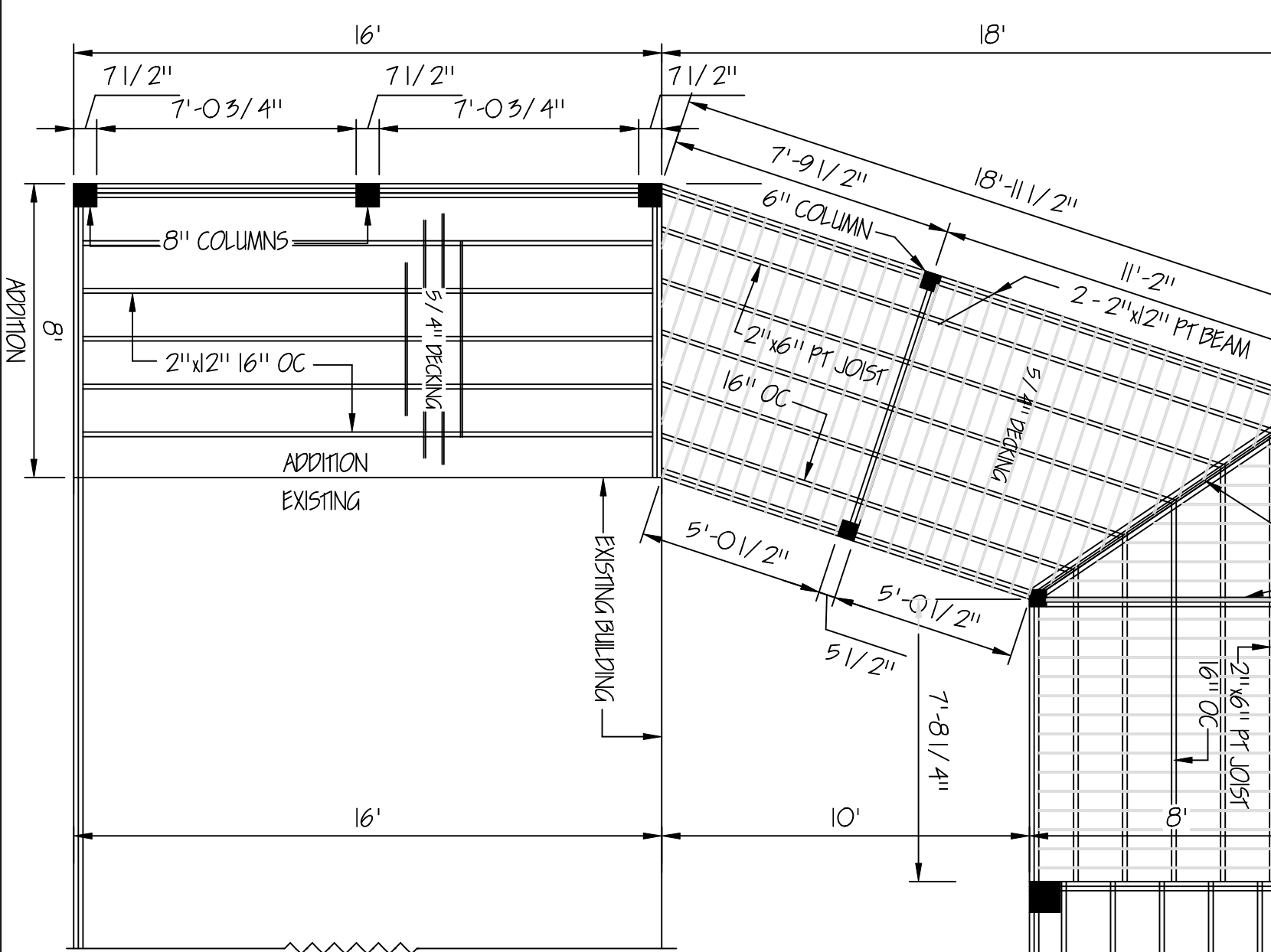
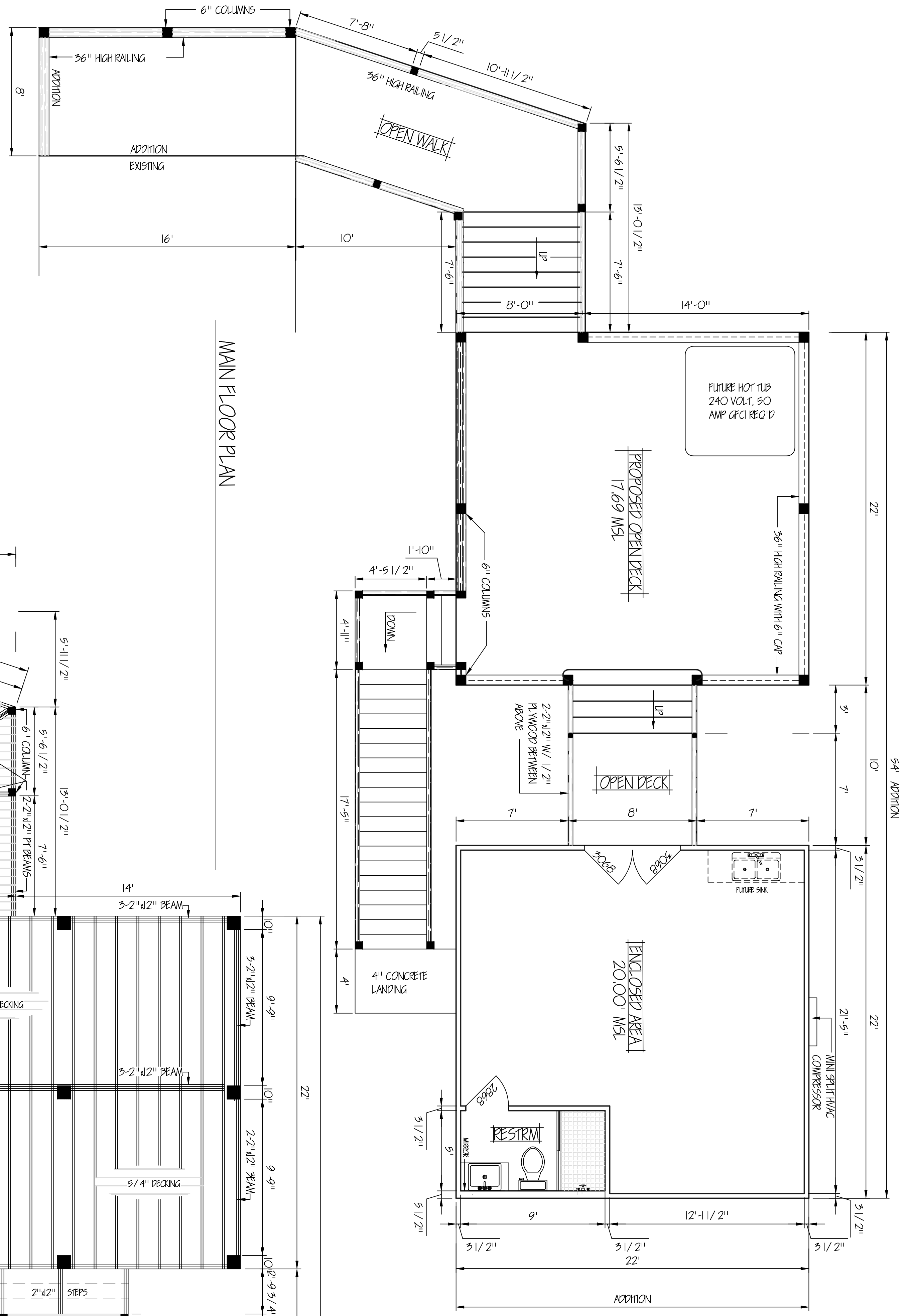
doug's plan Service

Doug Stewart
4210 Stewart Lane
Perkinston, MS 39573
228/323-0187 robdou4210@gmail.com

THIS DESIGN SERVICE, NOT BEING AN ARCHITECTURAL OR ENGINEERING PLAN, ASSUMES NO LIABILITY FOR STRUCTURAL OR ARCHITECTURAL DESIGN. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL GOVERNMENT REGULATIONS HAVE BEEN MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CORRECT ERROR AND/OR OMISSION AT HIS OWN EXPENSE AND IS NOT THE RESPONSIBILITY OF THE DESIGN SERVICE.

REVISIONS	
DATE:	REMARKS:

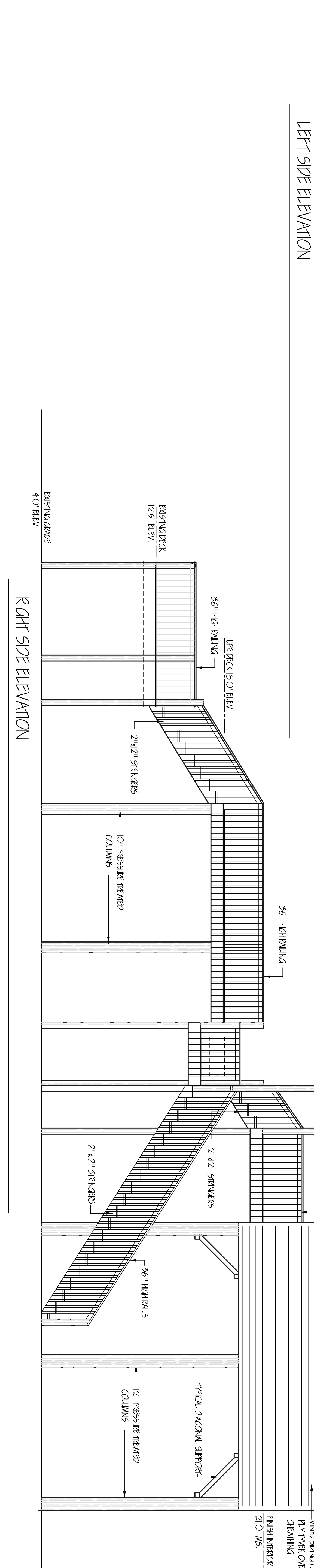
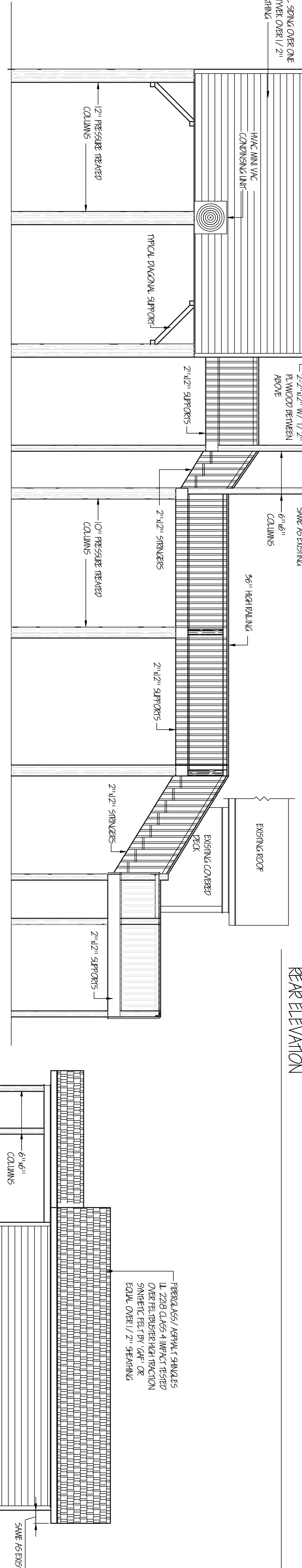
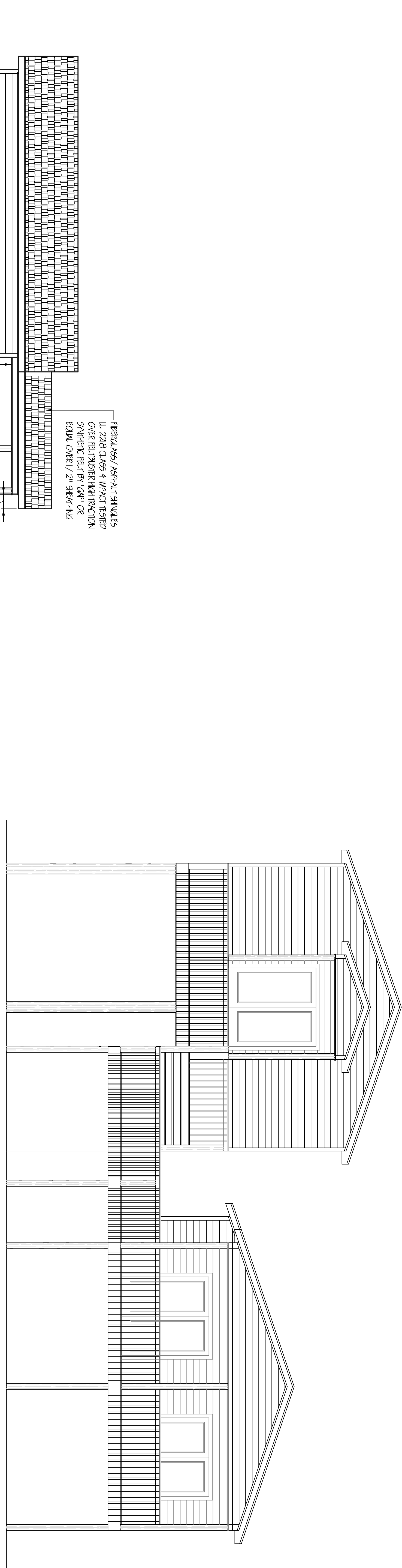
ELEVATED BUILDINGS SUPPORTED ON WOOD PILING ARE PRONE TO SWAYING DUE TO THE ELEVATION AND WOOD CONNECTIONS. THIS IS NOT A STRUCTURAL SCALE DUE TO WIND SPEEDS THAT ARE BELOW THE DESIGN WIND SPEED OF THE STRUCTURE. HOWEVER THE STRUCTURES INSTABILITY IS INFLUENCED AND WILL PERFORM AS NECESSARY WITHOUT FAILURE OR COLLAPSE. THIS SAVED THE ENGINEER OR GENERAL CONTRACTOR WILL NOT BE LIABLE FOR SWAYING TO ANY LEVEL OR DEGREE.



- ENGINEER'S NOTES:**
- GENERAL FIELD SUPERVISION PROVIDED UNDER THIS SEAL.
 - NO ADMINISTRATION PROVIDED UNDER THIS SEAL.
 - ALL WORK/MATERIALS SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES.
 - INTERNATIONAL BUILDING CODE (IBC) 2018
 - INTERNATIONAL RESIDENTIAL CODE (IRC) 2018
 - ENVIRONMENTAL LOADS SHALL BE PER ASCE-7 BUILDING CLASSIFICATION: II
 - BASIC WIND SPEED, Velocity(V) - 130 MPH
 - IMPORTANCE FACTOR(I) - 1.0
 - ENCLOSED STRUCTURE, INTERIOR PRESSURE BASED ON GPF=+/- 0.18
 - THE BUILDING ABOVE THE SUB-FLOORING INCLUDING STAIRS, RAILING AND TRIM SHALL BE BY OTHERS AND CODES TO THE INTERNATIONAL RESIDENTIAL CODES.
 - ENVIRONMENTAL LOADS SHALL BE PER ASCE-7 BUILDING CLASSIFICATION: II
 - BASIC WIND SPEED, Velocity(V) - 130 MPH
 - IMPORTANCE FACTOR(I) - 1.0
 - ENCLOSED STRUCTURE, INTERIOR PRESSURE BASED ON GPF=+/- 0.18
 - THE BUILDING ABOVE THE SUB-FLOORING INCLUDING STAIRS, RAILING AND TRIM SHALL BE BY OTHERS AND CODES TO THE INTERNATIONAL RESIDENTIAL CODES.

HATTAWAY ENGINEERING
INCORPORATED
P.O. BOX 363
CABERFEE, MS 39466
PH: (601) 796-1978 FAX: (601) 796-1987

SHEET 2 OF 4	PROPOSED ADDITION 142 SKYLINE DRIVE BAY ST LOUIS, MISSISSIPPI 39520	DATE: MARCH 28, 2025	DESIGNED BY: RDS	<p>doug's plan Service</p> <p>Doug Stewart 4210 Stewart Lane Perkinston, MS 39573 228/323-0187 robdoug4210@gmail.com</p>	THIS DESIGN SERVICE, NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM ASSUMES NO LIABILITY FOR STRUCTURAL OR ARCHITECTURAL DESIGN. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL GOVERNMENT REGULATIONS HAVE BEEN MET. IF AND ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CORRECT ERROR AND/ OR OMISSION AT HIS OWN EXPENSE AND IS NOT THE RESPONSIBILITY OF THE DESIGN SERVICE.
	MICHAEL FARLEY 142 SKYLINE DRIVE BAY ST LOUIS, MISSISSIPPI 39520	SCALE: 1" = 10.0'	DRAWN BY: RDS		



ENGINEERS' NOTES:

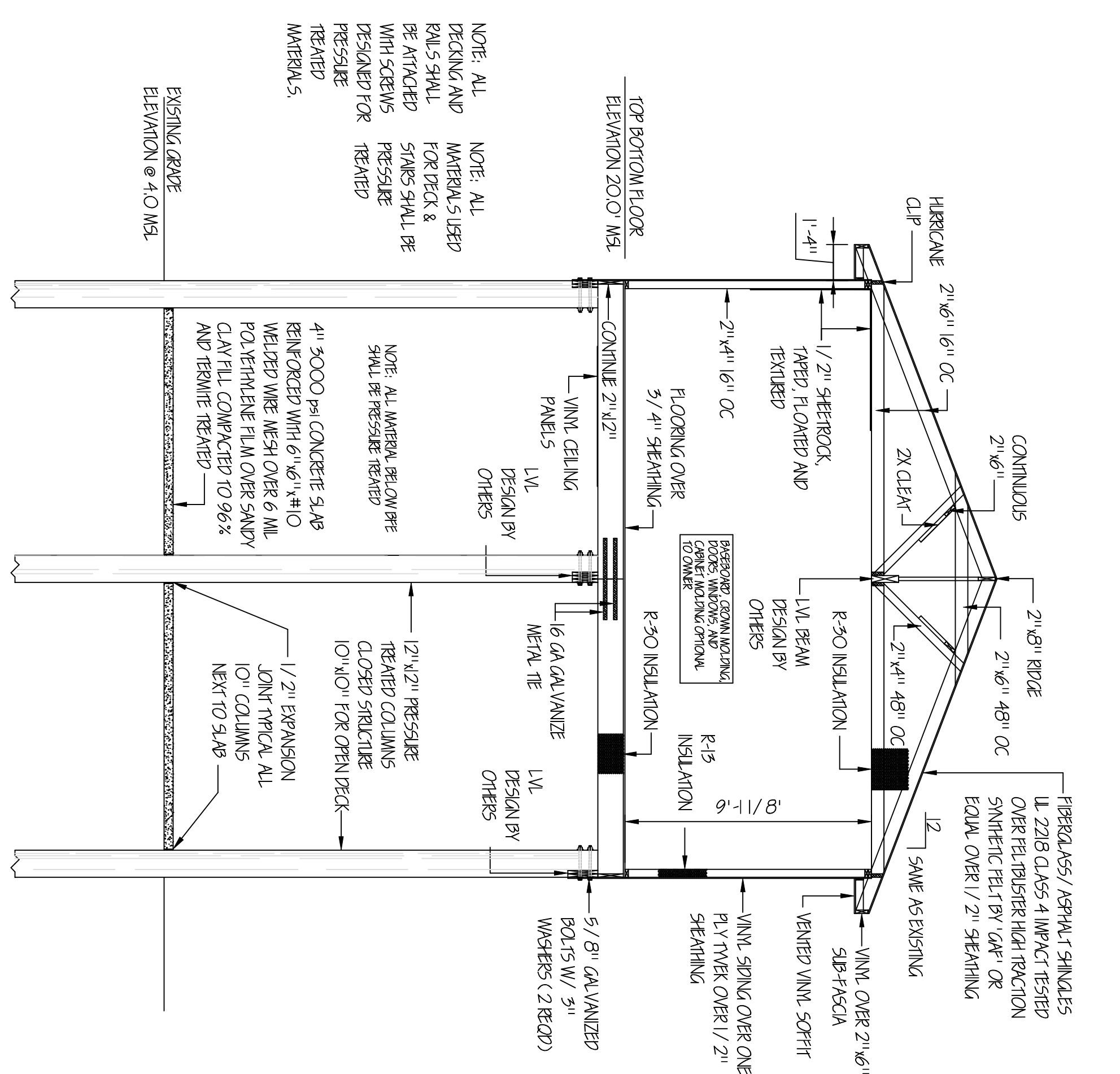
- ON-SITE FIELD SUPERVISION PROVIDED UNDER THIS SEAL.
- NO ADMINISTRATION PROVIDED UNDER THIS SEAL.
- ALL WORK/MATERIALS SHALL CONFORM TO LOCAL, STATE CODE COMPLIANCE.
- INTERNATIONAL BUILDING CODE (IBC) 2018
- INTERNATIONAL RESIDENTIAL CODE (IRC) 2018
- THE LOADS (PER ASCE 7)
- ATTICS, INHABITABLE WITHOUT STORAGE = 10 PSF
- ROOFING = 20 PSF
- MINIMUM UNIFORM ROOF LOAD (EXCEPT BALCONIES) = 40 PSF
- ENVIRONMENTAL LOADS SHALL BE PER ASCE-7 (OR LATEST EDITION)
- BUILDING CLASSIFICATION: II
- IMPORTANCE FACTOR (I) = 1.0
- ENCLOSED STRUCTURE, INTERIOR PRESSURE BASED ON $GCP1 = +, - 0.18$
- THE BUILDING ABOVE THE SUB-FLOORING INCLUDING STAIRS, RAILING AND TRIM SHALL BE BY OTHERS AND ACCORDING TO THE INTERNATIONAL RESIDENTIAL CODES.

ELEVATED BUILDINGS SUPPORTED ON WOOD PILINGS ARE PRONE TO SWAYING DUE TO THE ELEVATION AND WIND CONNECTIONS. THIS IS NOT A STRUCTURAL ISSUE DUE TO WIND SPEEDS THAT ARE BELOW THE DESIGN WIND SPEED OF THE STRUCTURE. HOWEVER, THE STRUCTURE'S INTEGRITY IS IMPACTED AND WILL PERFORM AS NECESSARY WITHOUT FAILURE OR COLLAPSE. THIS STATES THE ENGINEER OR GENERAL CONTRACTOR WILL NOT BE LIABLE FOR SWAYING TO ANY LEVEL OR DEGREE.

<p>PROPOSED ADDITION 142 SKYLINE DRIVE BAY ST LOUIS, MISSISSIPPI 39520</p> <p>MICHAEL FARLEY 142 SKYLINE DRIVE BAY ST LOUIS, MISSISSIPPI 39520</p>	DATE: MARCH 28, 2025	DESIGNED BY: RDS	<p>Doug Stewart 4210 Stewart Lane Perkinston, MS 39573 228/323-0187 robdoug4210@gmail.com</p>	<p>THIS DESIGN SERVICE, NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM, ASSUMES NO LIABILITY FOR STRUCTURAL OR ARCHITECTURAL DESIGN. EVERY EFFORT HAS BEEN MADE TO ENSURE ALL DIMENSIONS ARE CORRECT AND ALL GOVERNMENT REGULATIONS ARE OBSERVED. IF AND ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CORRECT SAME. REGIONS ARE THE RESULT. IF AND ERROR OR OMISSION DOES OCCUR, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CORRECT SAME. AND IS NOT THE RESPONSIBILITY OF THE DESIGN SERVICE.</p>	
	SCALE: 1" = 10.0'	DRAWN BY: RDS			REVISIONS
	JOB NO.	CHECKED BY: RDS			DATE: REMARKS:

HATTAWAY
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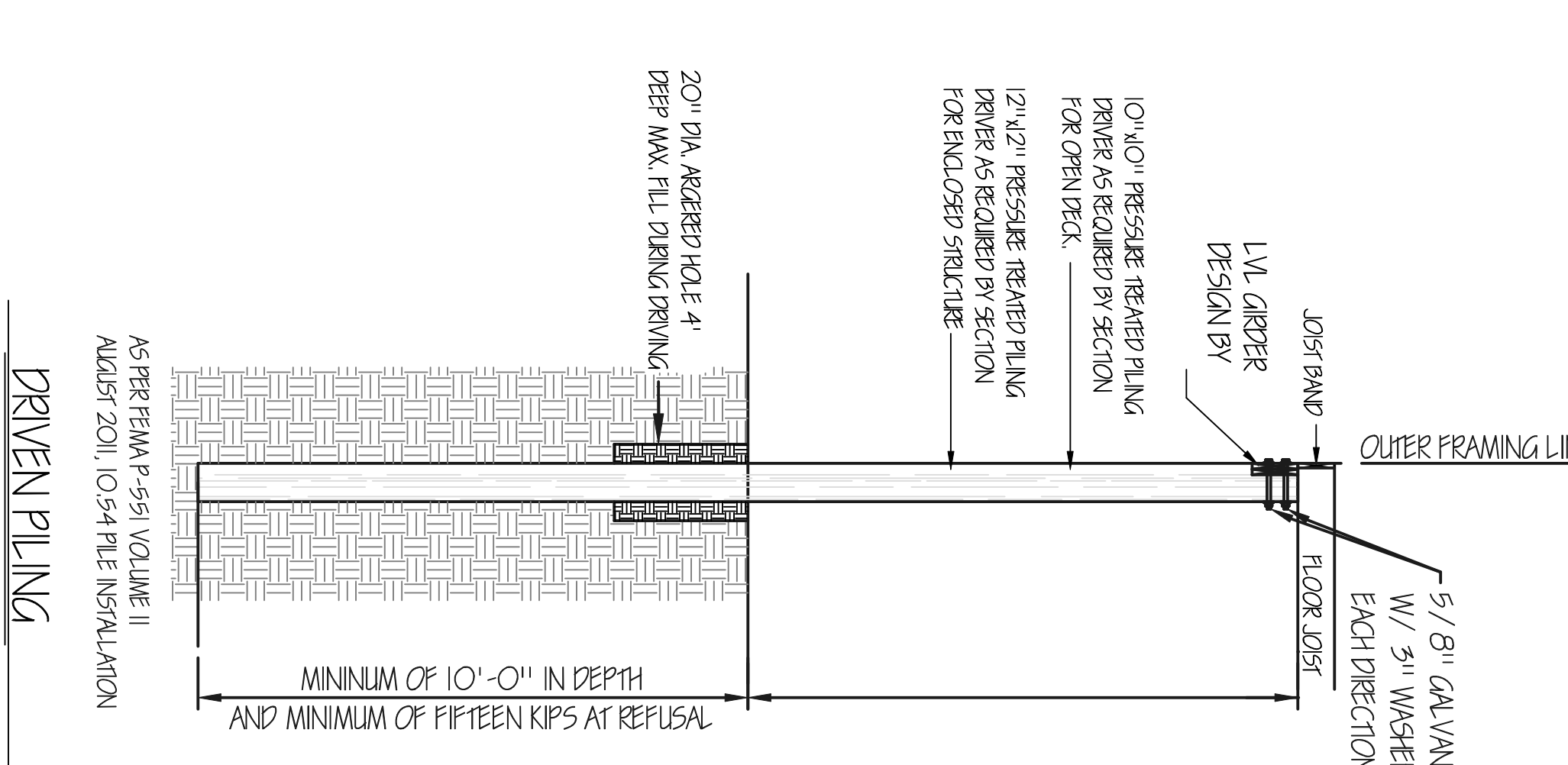
SHEET
3 OF 4



NOTE: ALL DECKING AND RAILS SHALL BE WITH SCREWS DESIGNED FOR TREATED MATERIALS.

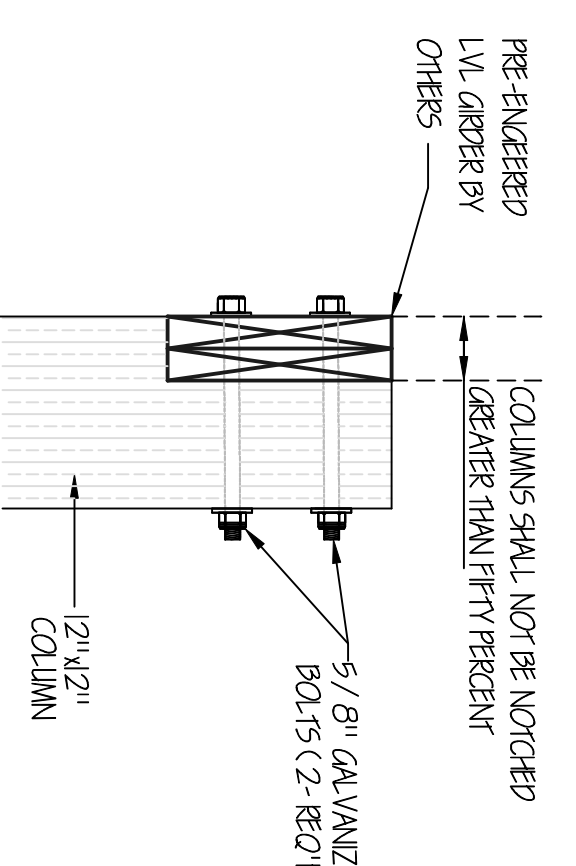
NOTE: ALL MATERIALS USED FOR DECK & STAIRS SHALL BE DESIGNED FOR TREATED MATERIALS.

TYPICAL SECTION

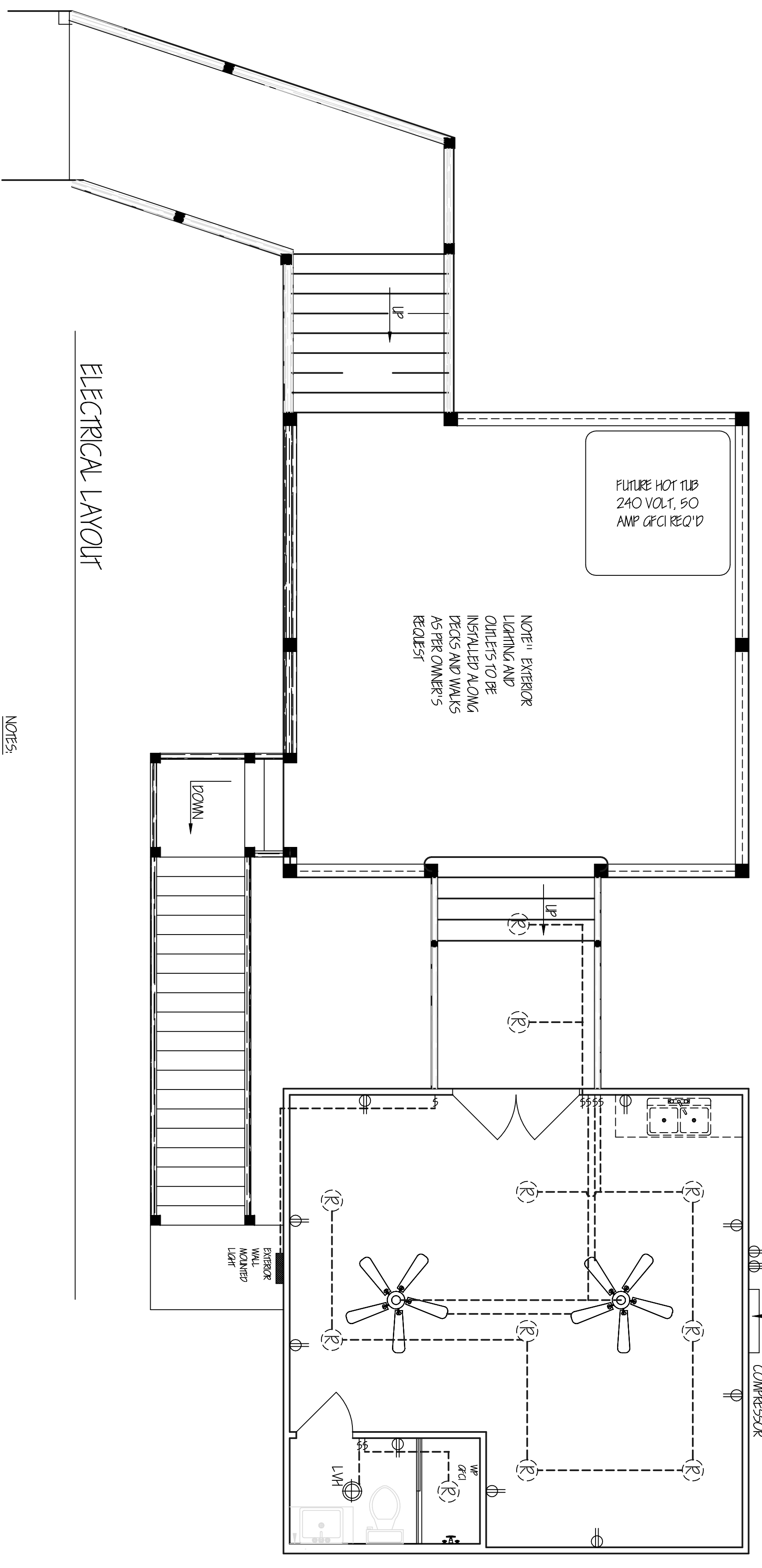


DRIVEN PILING

TYPICAL GIRDER ATTACHMENT

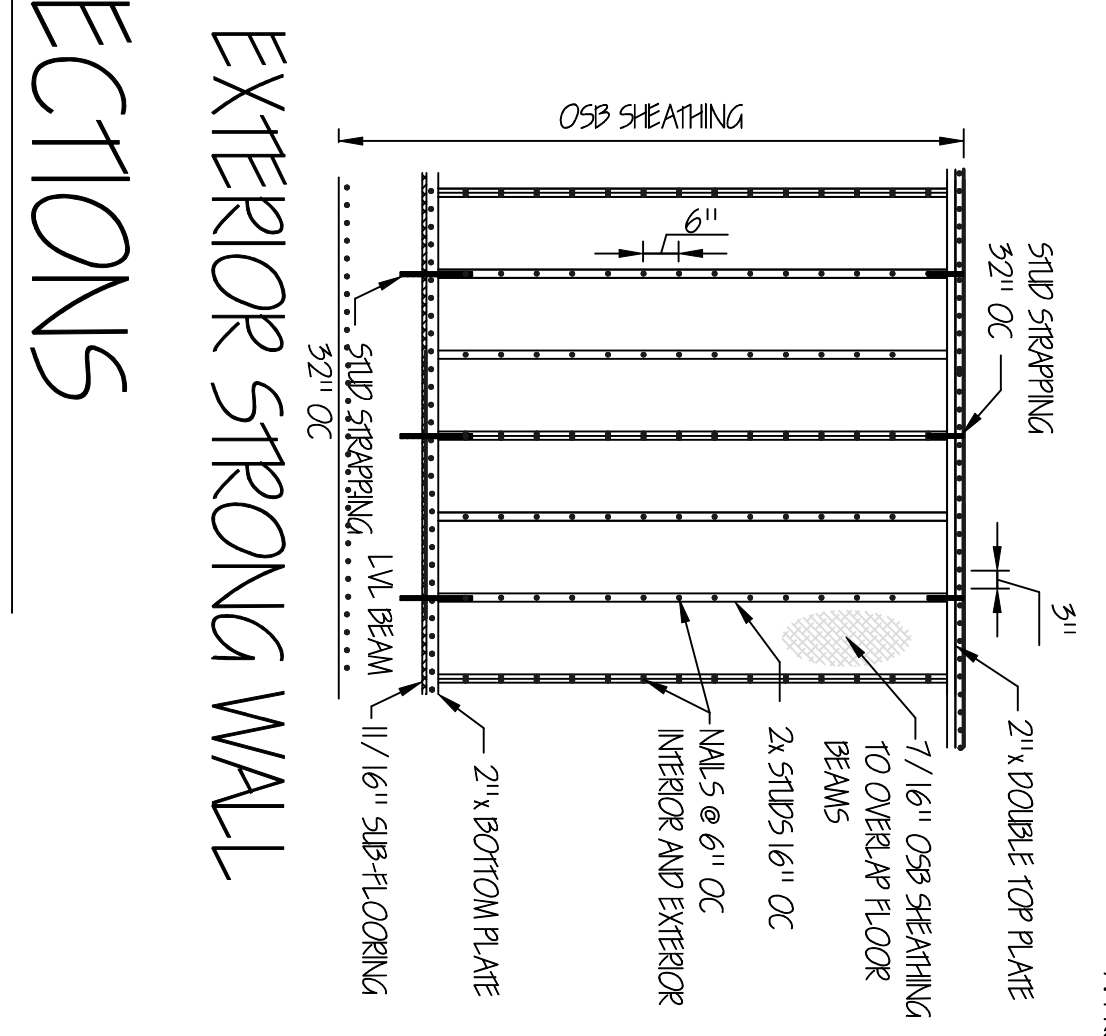
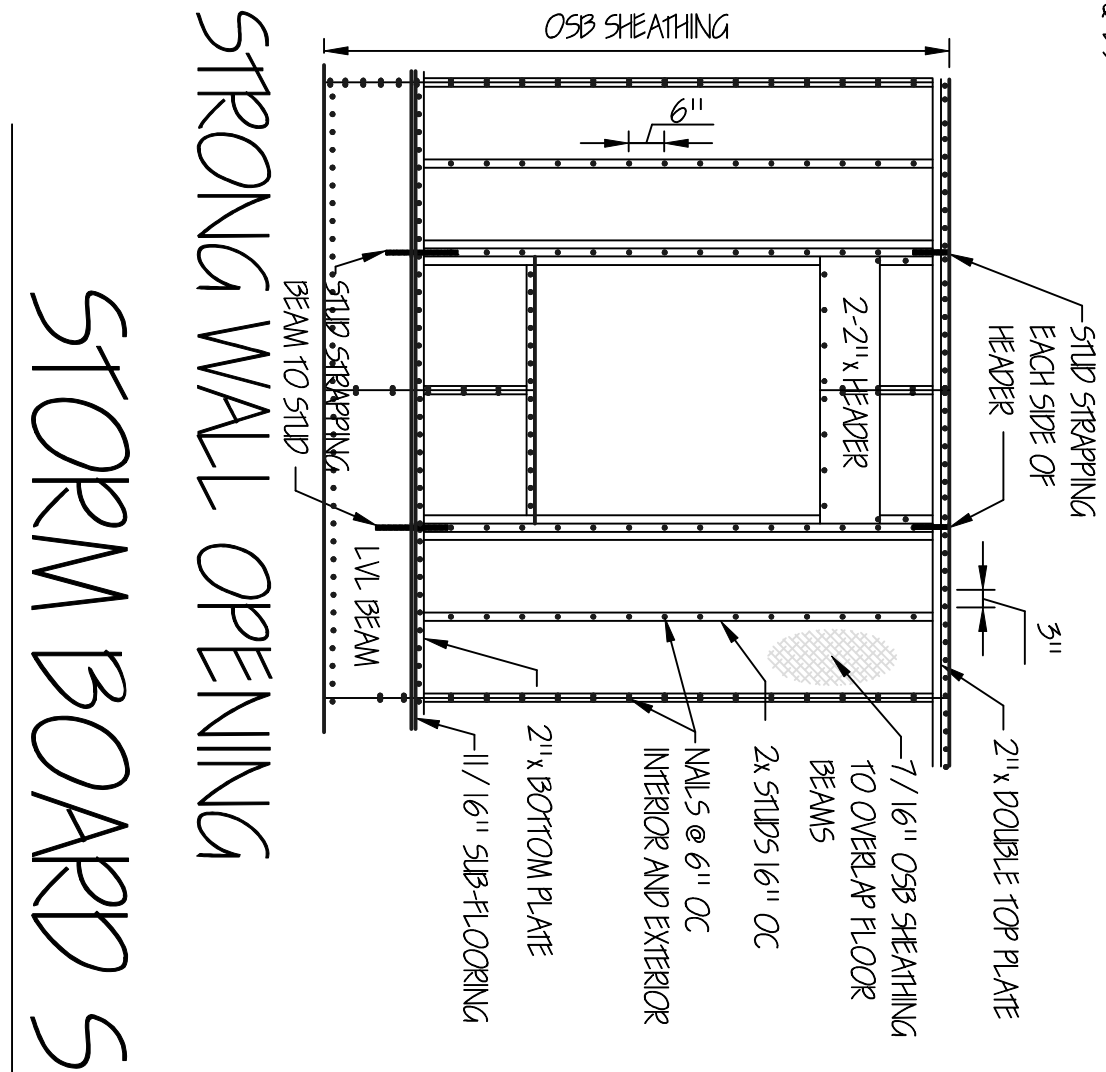


NOTE: PILE DRIVING CONTRACTOR SHALL FURNISH AFFIDAVIT OF FINAL DEPTH AND KIPS FOR EACH PILING DRIVEN. EACH PILING SHALL BE DRIVEN TO A MINIMUM DISTANCE OF EIGHT FEET IN DEPTH OR A MINIMUM OF FIFTEEN KIPS AT REFUSAL. TEST PILING SHALL BE TO DETERMINE LENGTH OF COLUMNS REQUIRED.



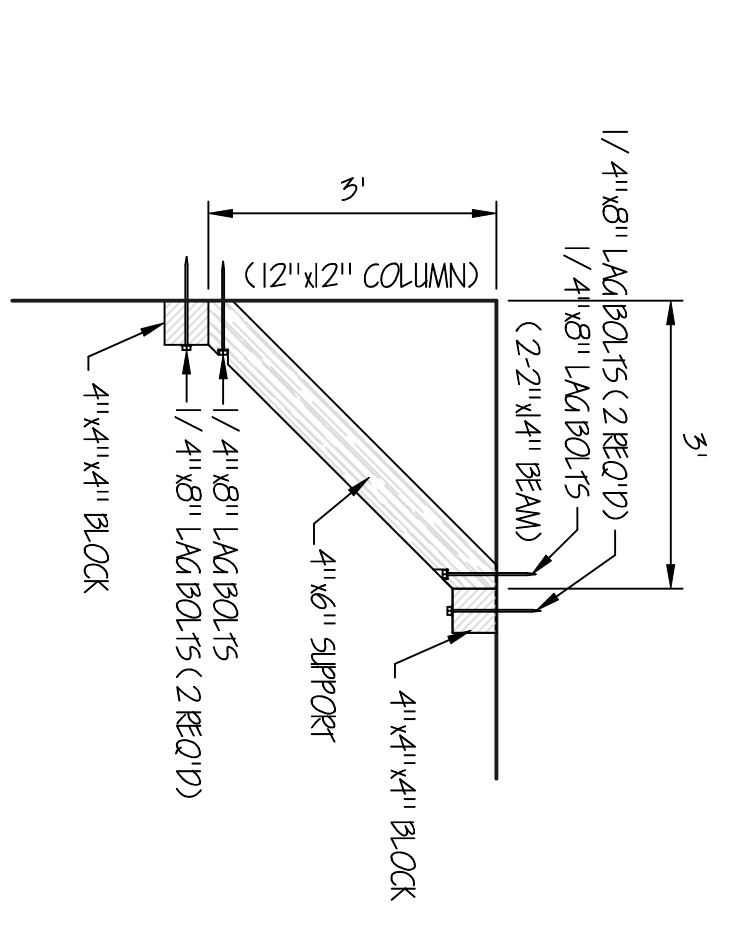
ELECTRICAL LEGEND

- ⊕ RECESSED FIXTURE
- ⊕ CEILING MOUNTED FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ EXHAUST FAN/LIGHT FIXTURE
- ⊕ DUPLEX RECEPTACLE
- ⊕ 220V RECEPTACLE
- ⊕ CEILING OR FLOOR RECEPTACLE
- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ WATER PROOF & GFI
- ⊕ FLOODLIGHT (SWITCH LOCATION AT OWNERS OPTION)
- ⊕ FAN AND LIGHTING OPTIONAL TO OWNER

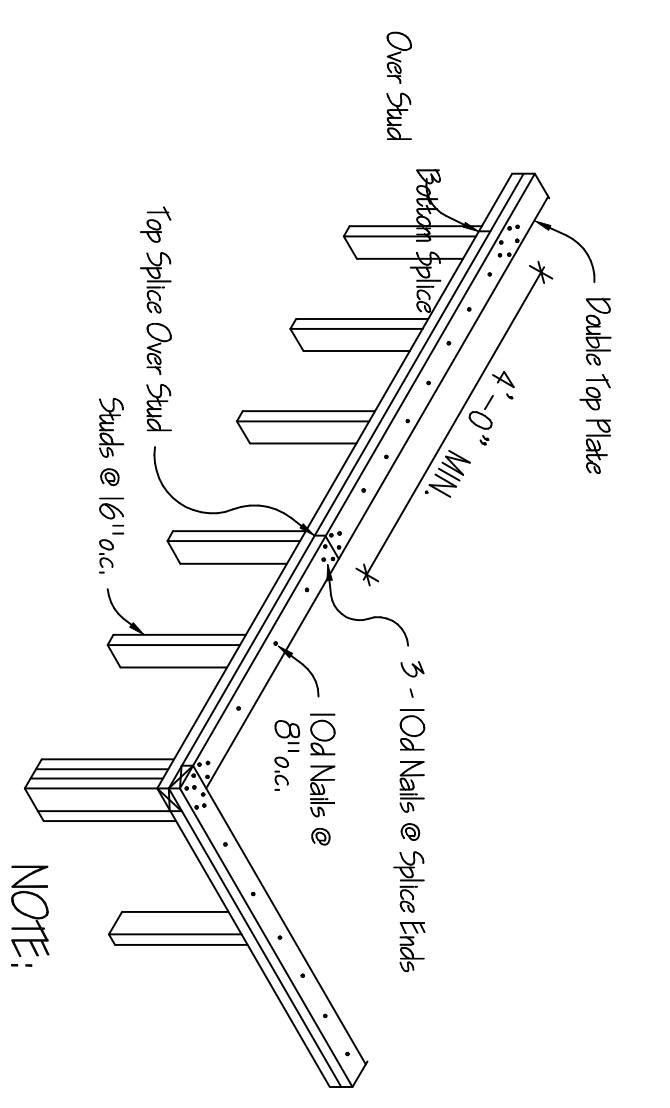


STRONG WALL OPENING

EXTERIOR STRONG WALL



TYPICAL DIAGONAL SUPPORT



NOTE:

- ENGINEER'S NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018.
 2. ALL WORK/MATERIALS SHALL CONFORM TO LOCAL STATE CODE COMPLIANCE.
 3. INTERNATIONAL BUILDING CODE (IBC) 2018.
 4. INTERNATIONAL RESIDENTIAL CODE (IRC) 2018.
 5. LIVE LOADS (PER ASCE 7).
 6. ATTICS: INHABITABLE WITHOUT STORAGE = 10 PSF
 7. RESIDENTIAL 2ND FLOOR LOAD = 20 PSF
 8. (EXCEPT BALCONIES) = 40 PSF
 9. ENVIRONMENTAL LOADS SHALL BE PER ASCE-7 BUILDING CLASSIFICATION: II BASIC WIND SPEED, Velocity(V) = 130 MPH IMPORTANCE FACTOR(I) = 1.0 WIND EXPOSURE CATEGORY: INTERIOR PRESSURE BASED ON GC1=1/-7, GC2=1
 10. THE BUILDING ABOVE THE SUB-FLOORING INCLUDING FOUNDATION SHALL BE IN ACCORDANCE TO THE INTERNATIONAL RESIDENTIAL CODES.

HATTAWAY ENGINEERING INCORPORATED
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PROPOSED ADDITION
142 SKYLINE DRIVE
BAY ST LOUIS, MISSISSIPPI 39520

MICHAEL FARLEY
142 SKYLINE DRIVE
BAY ST LOUIS, MISSISSIPPI 39520

DATE: MARCH 28, 2025	DESIGNED BY: RDS
SCALE: 1" = 10.0'	DRAWN BY: RDS
JOB NO.	CHECKED BY: RDS

doug's plan Service

Doug Stewart
4210 Stewart Lane
Perkinston, MS 39573
228/323-0187 robdoug4210@gmail.com

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REVISIONS	
DATE:	REMARKS:

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 218 Ballentine Street
Parcel 149N-0-30-112.000
Legal Description: 85 Fourth Ward, Bay St. Louis

HEARING DATE: May 13, 2026

I have reviewed the application for variances submitted by Pete Nuss. The property is located at 218 Ballentine Street and is identified as Parcel 149N-0-30-112.000 (Legal Description: 85 Fourth Ward, Bay St. Louis). The property is zoned R-2 Two-Family Residential District.

The applicant is requesting variances to construct an accessory structure on the property, specifically:

Rear Yard Setback:

Required: 5'

Proposed Distance of rear yard: 2'

Variance Request: 3'

Side Yard Setback:

Required: 5'

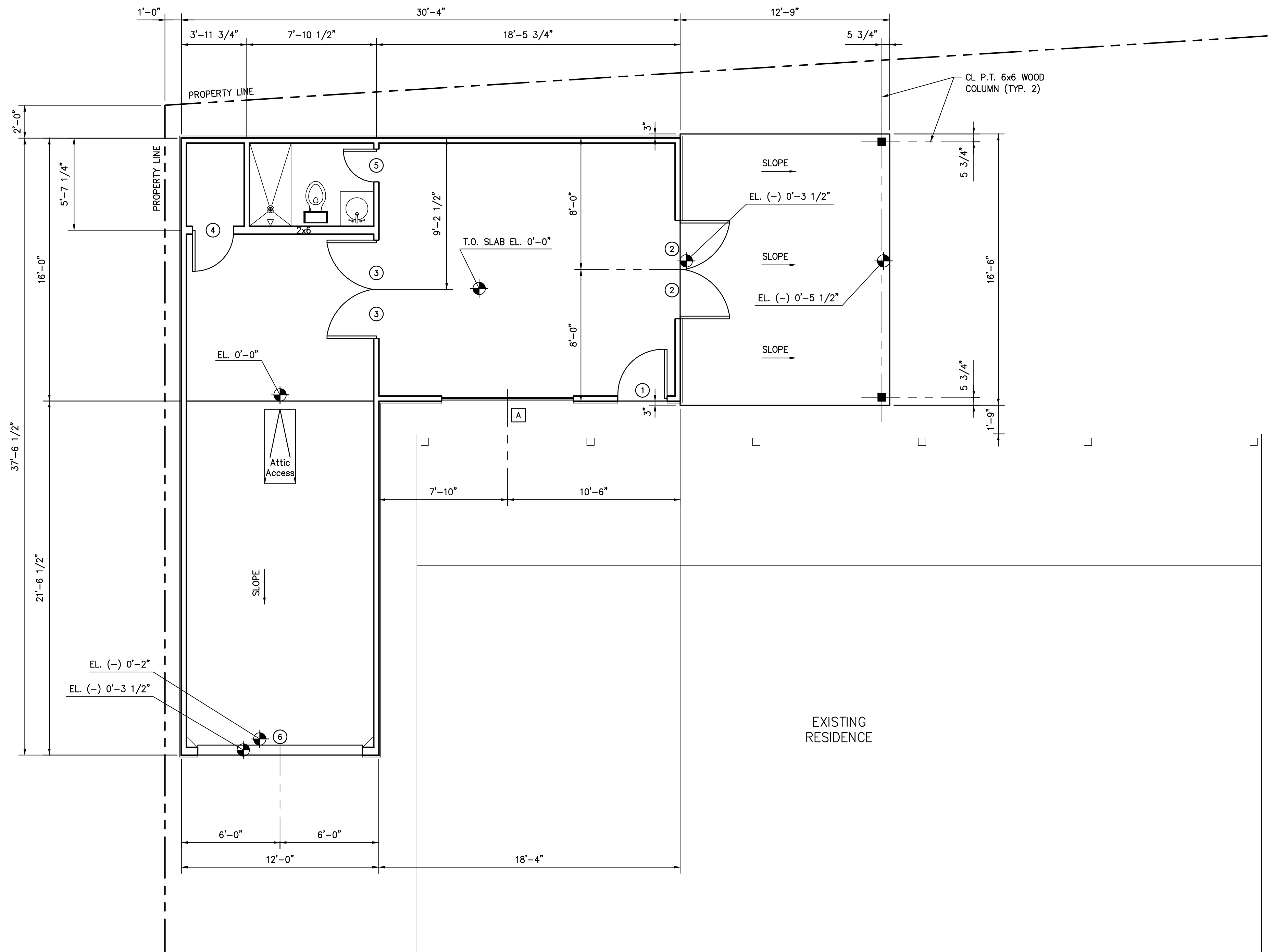
Proposed Distance of side yard: 1.5'

Variance Request: 3.5'

The administration recommends denying the variances.

- The proposed accessory structure is located too close to the property lines.
- Construction work began prior to obtaining the required construction permits.
- No hardship

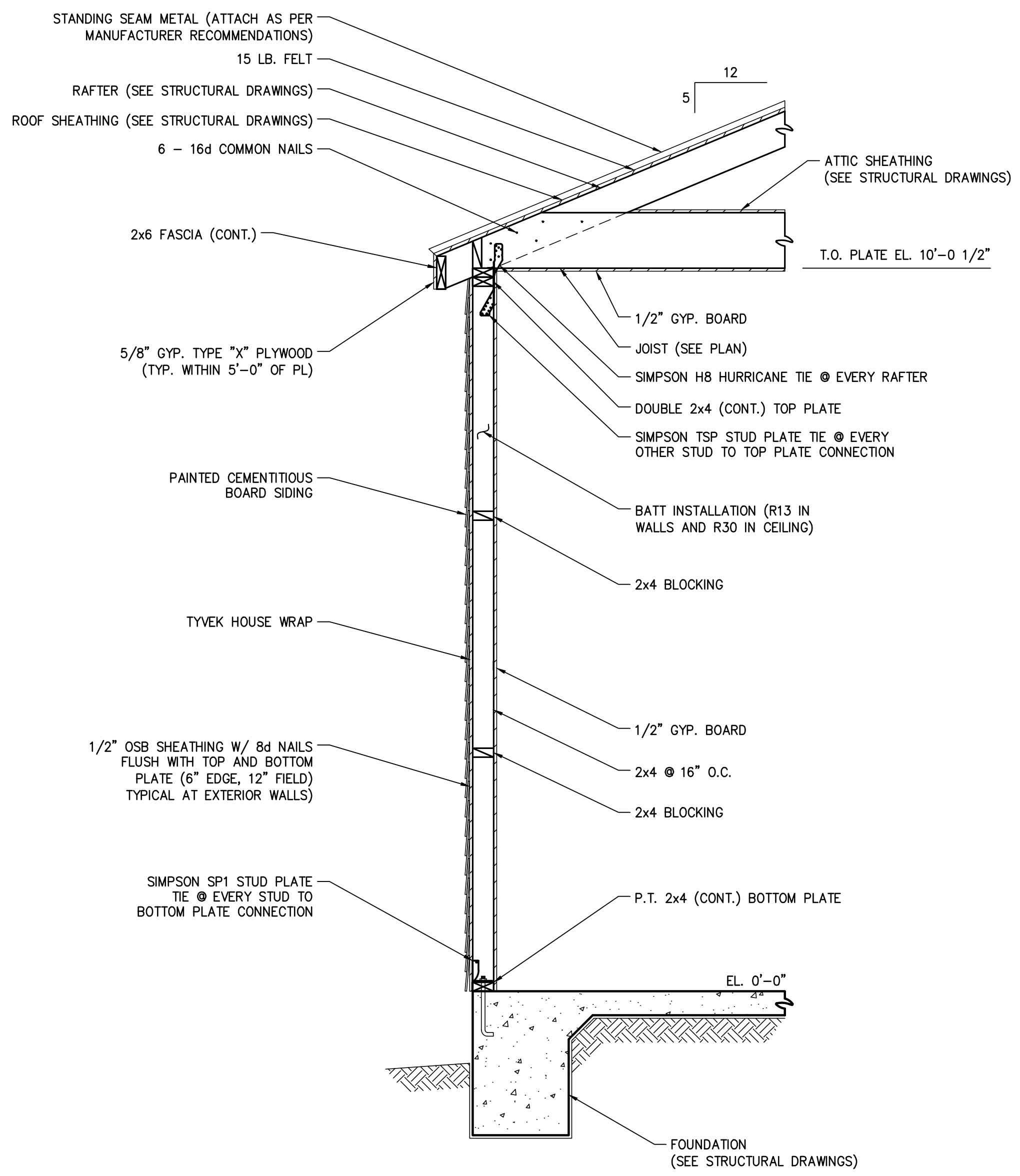
Jeremy L. Burke
Zoning Administrator



GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

- TOP OF FINISHED FIRST FLOOR EL. 0'-0" (MATCH EXISTING).
- 10'-0" CEILING HEIGHT.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZES. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS, OR HOT TUBS SHALL BE TEMPERED.
- INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE, FLOAT, AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ADD CAT WALK IN ATTIC TO MECHANICAL SYSTEMS.
- PROVIDE ATTIC ACCESS IN COMPLIANCE WITH SEC. R807 IRC 2021.



ARCHITECTURAL SECTION
SCALE: 3/4" = 1'-0"

MK	SIZE		TYPE	FUNCTION	GLASS	REMARKS
	W	H				
1	3'-0"	6'-8"	WOOD	SWING	TBS	VERIFY STYLE WITH OWNER
2	3'-0"	6'-8"	WOOD	SWING	TBS	VERIFY STYLE WITH OWNER
3	3'-0"	6'-8"	MASONITE	SWING	-	VERIFY STYLE WITH OWNER
4	2'-6"	6'-8"	MASONITE	SWING	-	VERIFY STYLE WITH OWNER
5	2'-0"	6'-8"	MASONITE	SWING	-	VERIFY STYLE WITH OWNER
6	10'-0"	9'-0"	METAL	SLIDE	-	VERIFY STYLE WITH OWNER

ABBREVIATION:

TBS - TO BE SELECTED

NOTE:

- THE ABOVE SIZES ARE NOMINAL, VERIFY WITH DOOR SUPPLIER THE ACTUAL ROUGH IN DIMENSIONS.

WINDOW SCHEDULE								
MK	SIZE		FUNCTION	MATERIAL	FINISH	GLAZING	SCREEN	REMARKS
	WIDTH	HEIGHT						
A	8'-0"	4'-0"	S.H.	VINYL	WHITE	-	-	VERIFY STYLE WITH OWNER

ABBREVIATIONS:

I.G.C. - INSULATED GLASS CLEAR
S.H. - SINGLE HUNG

NOTES:

- THE ABOVE SIZES ARE NOMINAL, VERIFY WITH WINDOW SUPPLIER THE ACTUAL ROUGH IN DIMENSIONS.
- WINDOW MANUFACTURER TO VERIFY TEMPERED WINDOWS.
- WINDOW MATERIAL IS FOR BID ONLY. FINAL APPROVAL BY OWNER.

THESE DRAWINGS ARE NOT TO BE SCALED FROM. SCHEDULES, NOTES, AND DIMENSIONS SHOULD BE FOLLOWED AND NOT SCALED.

Nuss Residence
218 Ballentine Street
Bay St. Louis, MS 39520

REVISIONS:

NO.	DATE	DESCRIPTION

TITLE:

GARAGE FLOOR PLAN, SCHEDULES, NOTES, AND ARCHITECTURAL SECTION

ISSUED DATE: 02/24/26

DRAWN BY: ---

CHECKED BY: ---

PROJECT #: -----

A1.0

GENERAL STRUCTURAL NOTES:

- THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF THE OWNER AND FOR THE SPECIFIC PROJECT IDENTIFIED HEREIN.
- CONSTRUCTION MUST BE PERFORMED BY A CONTRACTOR PROPERLY LICENSED BY THE LOUISIANA STATE LICENSING BOARD FOR CONTRACTORS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY, AND CODE COMPLIANCE. THE CONTRACTOR SHALL CONFORM IN ALL RESPECTS TO THE RULES, REGULATIONS AND STATUTES GOVERNING CONSTRUCTION SAFETY.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FABRICATION, TESTING, AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING NOTES. SHOULD CODES OR STANDARDS CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- SPECIFIED MATERIALS INCLUDING GROUTS, SEALANTS, ANCHORAGE, MECHANICAL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE SPECIFICATIONS.
- STRUCTURAL DRAWINGS SHALL BE USED AND INTERPRETED IN CONJUNCTION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS, AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS SET OUT IN THE ARCHITECT'S DRAWINGS BEFORE COMMENCING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND VERIFYING ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE MEANS AND MEASURES TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT DURING CONSTRUCTION. THESE SHALL INCLUDE BUT NOT BE LIMITED TO NECESSARY SHORING, TEMPORARY BRACING, DEWATERING, ETC.
- CONTRACTOR SHALL VERIFY ALL CAMBER, DEPRESSIONS, SLOPES, OPENINGS, PENETRATIONS, ETC. THROUGH OR WITHIN STRUCTURAL ELEMENTS. ANY STRUCTURAL ELEMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE BEGINNING ANY WORK. ANY INTERFERENCE OR CONFLICT SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL DIMENSIONS AND FIT-UP OF THE STRUCTURE, INCLUDING BUT NOT LIMITED TO, VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND ALL AS-BUILT CONDITIONS AS THE WORK PROGRESSES.
- ALL WORK AREAS SHALL BE KEPT NEAT, CLEAN, AND SAFE AT ALL TIMES BY THE CONTRACTOR. TRASH AND DEMOLISHED MATERIALS SHALL NOT BE ALLOWED TO ACCUMULATE AT THE SITE DURING EXECUTION OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS. ALL DEBRIS SHALL BE PROPERLY AND LEGALLY DISPOSED OF. ALL ASPECTS OF JOB SITE SAFETY ARE COMPLETELY THE RESPONSIBILITY OF THE CONTRACTOR.
- STEEL FRAMES ARE "NON-SELF SUPPORTING". ADEQUATE TEMPORARY SUPPORT SHALL BE PROVIDED BY THE CONTRACTOR UNTIL REQUIRED CONNECTIONS OR ELEMENTS ARE INSTALLED AND COMPLETED.
- DETAILS SHOWN ON DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- SPECIFIED MATERIALS INCLUDING GROUTS, SEALANTS, ANCHORAGE, MECHANICAL DEVICES, ETC. SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE SPECIFICATIONS.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION, SUPERVISION, OR INSPECTION OF THE WORK, NOR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER ENTITIES OR PERSONS PERFORMING OR SUPERVISING ANY PORTION OF THE WORK.
- NO FIELD OBSERVATIONS ARE PROVIDED UNDER THIS SEAL, UNLESS OTHERWISE NOTED IN WRITING ON THIS PLAN.
- BY PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR AGREES TO THESE TERMS AND ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE AND EXECUTION IN ACCORDANCE WITH DESIGN INTENT.

FOUNDATION NOTES:

- NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN AND SHALL REPORT UNEXPECTED CONDITIONS TO THE ENGINEER OF RECORD.
- UNLESS SHOWN OTHERWISE, GRADE BEAMS TO BE CENTERED ON COLUMNS AND WALLS.
- GRADE BEAMS MAY BE EARTH FORMED PROVIDED DIMENSIONAL TOLERANCES LISTED IN THE APPLICABLE ACI CODES ARE ADHERED TO.
- ALLOWABLE SOIL BEARING = 1500 LBS. PER SQ. FT. THIS PRESUMPTIVE CAPACITY IS BASED ON THE ASSUMPTION THAT THE EXISTING SOILS ARE AS DESCRIBED IN SECTION R401.4 AND TABLE R401.4.1 OF THE INTERNATIONAL RESIDENTIAL CODE. THE ENGINEER OF RECORD MAKES NO WARRANTY OR GUARANTEE OF FUTURE SETTLEMENT OF THE EXISTING SOILS. THE TOP 12 INCHES OF EXISTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.
- PLACE 10 MIL. WATERPROOF MEMBRANE BENEATH ALL INTERIOR SLABS AND BEAMS ON GRADE. LAP 12" TO ACCOMMODATE CONCRETE POURING DIRECTION.

CONCRETE NOTES:

- APPLICABLE CODES OR STANDARDS:
ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
 - ACI 117 – SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS
 - ACI 301 – SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - ACI 304 – RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE
 - ACI 308 – RECOMMENDED PRACTICE FOR CURING CONCRETE
 - ACI 315 AND 315R – DETAILS AND DETAILING OF CONCRETE REINFORCEMENT
 - ACI 316 – RECOMMENDED PRACTICE FOR CONSTRUCTION OF CONCRETE PAVEMENTS AND CONCRETE BASES
 - ACI 318 – BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - ACI 336 – SUGGESTED DESIGN AND CONSTRUCTION PROCEDURES FOR PIER FOUNDATIONS
 - ACI 347 – RECOMMENDED PRACTICE FOR CONCRETE FORM WORK
 - ASTM STANDARDS FOR THE MATERIALS LISTED.
- MATERIALS:
MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONCRETE SHALL A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 - CONCRETE SHALL BE NORMAL WEIGHT (APPROXIMATELY 150 LBS. PER CUBIC FT.)
 - PORTLAND CEMENT SHALL MEET ASTM C150 TYPE II.
 - AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33.
 - REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60.
 - WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A185.
 - STEEL PLAIN WIRE SHALL MEET ASTM A82.

CONCRETE NOTES (CONT.):

- SLUMPS:
CONCRETE SLUMPS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONCRETE WITHOUT WATER-REDUCING ADMIXTURES OR PRIOR TO THEIR ADDITIONS SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES.
 - CONCRETE WITH LOW TO MODERATE RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 6 INCHES.
 - CONCRETE WITH HIGH RANGE WATER-REDUCING ADMIXTURES SHALL HAVE A MAXIMUM SLUMP OF 8 INCHES.
- EXPOSED EDGE CONDITIONS:
 - EXPOSED EDGES OF CONCRETE ABOVE GRADE SHALL BE CHAMFERED 3/4" AT 45 DEGREES (AS SHOWN ON SECTIONS IF REQUIRED).
- BONDING:
BONDING SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONSTRUCTION JOINTS BETWEEN NEW AND HARDENED CONCRETE SHALL BE CLEAN, FREE OF LAITANCE, AND INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4".
 - FOR INSTALLATION OF DOWELS IN HARDENED CONCRETE, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 200 OR APPROVED EQUAL.
 - FOR INSTALLATION OF DOWELS IN BRICK MASONRY, CONTRACTOR SHALL DRILL AND EPOXY WITH HILTI HY-HIT 270 OR APPROVED EQUAL.
- CONCRETE PROTECTION FOR REINFORCEMENT:
CONTRACTOR SHALL PROVIDE PROTECTIVE COVER FOR REINFORCING LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - 3" FOR CONCRETE GRADE BEAMS AND FOOTINGS DEPOSITED DIRECTLY AGAINST THE GROUND.
 - 2" FOR FORMED CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.
 - 1" FOR CONCRETE SLABS AND WALLS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND
 - 1 1/2" FOR CONCRETE BEAMS, GIRDERS, AND COLUMNS NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND.
- PLACEMENT:
PLACEMENT SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - BARs SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT.
 - REINFORCING BARS OR FABRIC ON GRADE SHALL BE CHAIRD WITH 3000 PSI CONCRETE BRICKETTES SPACED ADEQUATELY TO SUPPORT THE REINFORCING, BUT NOT GREATER THAN 3'-0" O.C. EACH WAY. AT RAISED FLOORS USE METAL CHAIRS.
 - PROVIDE A 90 DEGREE HOOK ON ALL TOP REINFORCING IN ALL BEAMS AT DISCONTINUOUS ENDS AND LAP SPLICE 30 BAR DIAMETERS AT MID-SPAN.
 - CONTINUOUS BOTTOM BARS SHOULD BE LAP SPICED 6" AT CENTER OF SUPPORT.
 - LAP ALL WELDED WIRE FABRIC ONE WIRE SPACING PLUS 6 INCHES.
 - COLUMN VERTICAL REINFORCING SHALL HAVE STANDARD HOOKS AT THE TOP OF THE UPPERMOST SECTION OF EACH COLUMN.
 - PROVIDE CORNER BARS AT EACH OUTSIDE CORNER FOR EACH HORIZONTAL BAR IN WALLS AND BEAMS. HOOK INSIDE BAR IN WALLS AT ENDS.
 - PLACEMENT OF SLEEVES, HOLES, OR OPENINGS THROUGH BEAMS, FOOTINGS, PILE CAPS, SLABS, ETC. IS NOT PERMITTED WITHOUT ENGINEER OF RECORD'S APPROVAL.
 - WHERE POSSIBLE, EXISTING REINFORCEMENT SHALL NOT BE CUT, BENT, OR DAMAGED. WHENEVER REINFORCEMENT IS CUT, DAMAGED OR BENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. REINFORCEMENT SHALL BE REPAIRED OR REPLACED AS DIRECTED.
- SPLICES:
REINFORCEMENT STEEL SPLICES SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - REINFORCING BARS SHALL BE SPLICED WITH CLASS "B" LAP SPLICES.
 - PROVIDE REQUIRED LAP LENGTHS FOR CORNER BARS, TEMPERATURE BARS IN SLAB, INTERMEDIATE HORIZONTAL BARS IN WALLS AND BEAMS, ETC.
- EXPANSION JOINTS AND JOINT SEALERS:
EXPANSION JOINTS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - EXPANSION JOINT MATERIAL SHALL BE 1/2" THICK SEAL-TIGHT ASPHALT EXPANSION JOINT FILLER OR APPROVED EQUAL.
 - EXPANSION JOINTS SHALL SEPARATE PAVING FROM FOUNDATION GRADE BEAMS, FOOTINGS, ETC. AS SHOWN ON DRAWINGS.
- EMBEDMENTS:
CONDUITS, PIPES, ETC. EMBEDDED IN CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - CONTRACTOR SHALL SUBMIT FOR APPROVAL A DIAGRAM DEPICTING ALL CONDUITS, PIPES, OR SLEEVES EMBEDDED IN CONCRETE.
 - CONTRACTOR SHALL FOLLOW ALL REGULATIONS OUTLINED IN THE APPLICABLE ACI CODES FOR EMBEDDING CONDUITS, PIPES, ETC.
 - CONDUITS, PIPES, AND SLEEVES OF ANY MATERIAL NOT HARMFUL TO CONCRETE SHALL BE PERMITTED TO BE EMBEDDED IN CONCRETE WITH THE ENGINEER OF RECORD'S APPROVAL.
 - IT WILL NOT BE PERMITTED TO CUT, BEND, OR DISPLACE THE REINFORCING STEEL FROM ITS PROPER LOCATION TO INSTALL CONDUITS, PIPES, ETC. WITHOUT THE ENGINEER OF RECORD'S APPROVAL.
 - CONDUITS, PIPES, AND SLEEVES PASSING THROUGH A SLAB, BEAM, OR WALL SHALL NOT SIGNIFICANTLY IMPAIR THE STRENGTH OF CONSTRUCTION.
 - OUTSIDE DIMENSIONS FOR SINGLE CONDUITS AND PIPES OR INTERSECTING CONDUITS AND PIPES SHALL NOT OCCUPY MORE THAN AN 1/3 THE OVERALL THICKNESS OF SLAB, BEAM, OR WALL IN WHICH THEY ARE EMBEDDED. ANY CONDUIT OR PIPE LARGER SHALL BE LOCATED BELOW THE RESPECTIVE SLAB OR BEAM.
 - CONDUITS, PIPES, ETC. SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS OR WIDTHS ON CENTER.

CONCRETE NOTES (CONT.):

- DRILLING HOLES OR CORING HOLES IN EXISTING CONCRETE:
DRILLING OR CORING HOLES IN EXISTING CONCRETE SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):
 - PRIOR TO DRILLING OR CORING HOLES, THE CONTRACTOR SHALL LOCATE ALL EXISTING REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, ETC. THROUGH NON-DESTRUCTIVE TESTING SUCH AS WITH AN X-RAY, RADAR, ETC.
 - CONTRACTOR SHALL MARK THE LOCATION OF ALL REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, AND OTHER EXISTING INTERFERENCES ON THE SURFACE OF THE CONCRETE.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR ALL CONFLICTS BETWEEN NEW HOLES AND EXISTING REINFORCING, POST-TENSIONING, CONDUIT, PIPING, ETC.
 - CONTRACTOR SHALL DRILL SMALL PILOT HOLES AT NEW HOLE LOCATIONS TO VERIFY NO CONFLICTS EXIST. IF NO CONFLICTS EXIST, COMPLETE THE INSTALLATION. IN THE CASE OF STEEL TO BE FASTENED TO THE EXISTING CONCRETE WITH MULTIPLE ANCHORS, FABRICATE FROM A FIELD TEMPLATE, THE STEEL TO BE FASTENED TO THE CONCRETE BY THE ANCHORS AND COMPLETE THE INSTALLATION.
 - CONTRACTOR SHALL EXERCISE CARE WHEN INSTALLING NEW HOLES TO PREVENT "NICKING" OR CUTTING EXISTING REINFORCING STEEL, POST-TENSIONING, CONDUIT, PIPING, ETC.
- QUALITY CONTROL TESTING DURING CONSTRUCTION
 - GENERAL: EMPLOY A TESTING AGENCY TO PERFORM TESTS AND TO SUBMIT TEST REPORTS.
 - SAMPLING AND TESTING FOR QUALITY CONTROL DURING CONCRETE PLACEMENT SHALL INCLUDE THE FOLLOWING, AS DIRECTED BY ARCHITECT.
 - SAMPLING FRESH CONCRETE: ASTM C 172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C 94
 - SLUMP: ASTM C 143; ONE TEST AT POINT OF DISCHARGE FOR EACH DAY'S POUR OF EACH TYPE OF CONCRETE, ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY SEEMS TO HAVE CHANGED.
 - AIR CONTENT: ASTM C 173, VOLUMETRIC METHOD FOR LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE; ASTM C 231, PRESSURE METHOD FOR NORMAL WEIGHT CONCRETE; ONE FOR EACH DAY'S POUR OF EACH TYPE OF AIR-ENTRAINED CONCRETE.
 - CONCRETE TEMPERATURE: ASTM C 1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F (4 DEG C) AND BELOW, WHEN 80 DEG F (27 DEG C) AND ABOVE, AND ONE TEST FOR EACH SET OF COMPRESSIVE-STRENGTH SPECIMENS.
 - COMPRESSION TEST SPECIMEN: ASTM C 31, ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPRESSIVE-STRENGTH TEST, UNLESS OTHERWISE DIRECTED. MOLD AND STORE CYLINDERS FOR LABORATORY-CURED TEST SPECIMENS EXCEPT WHEN FIELD-CURED TEST SPECIMENS ARE REQUIRED.
 - COMPRESSIVE-STRENGTH TESTS: ASTM C 39; ONE SET FOR EACH DAY'S POUR EXCEEDING 5 CU. YD. PLUS ADDITIONAL SETS FOR EACH 50 CU. YD. MORE THAN THE FIRST 25 CU. YD. OF EACH CONCRETE CLASS PLACED IN ANY ONE DAY; ONE SPECIMEN TESTED 7 DAYS, TWO SPECIMENS TESTED AT 28 DAYS, AND ONE SPECIMEN RETAINED IN RESERVE FOR LATER TESTING IF REQUIRED.
 - WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE STRENGTH TESTS FOR A GIVEN CLASS OF CONCRETE, CONDUCT TESTING FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.
 - TEST RESULTS WILL BE REPORTED IN WRITING TO ARCHITECT, STRUCTURAL ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TEST.
 - NONDESTRUCTIVE TESTING: IMPACT HAMMER, SONOSCOPE, OR OTHER NONDESTRUCTIVE DEVICE MAY BE PERMITTED BY SHALL NOT BE USED AS THE SOLE BASIS FOR ACCEPTANCE OR REJECTION.
 - ADDITIONAL TEST: THE TESTING AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE WHEN TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS AND OTHER CHARACTERISTICS HAVE NOT BEEN ATTAINED IN THE STRUCTURE, AS DIRECTED BY ARCHITECT. TESTING AGENCY MAY CONDUCT TESTS TO DETERMINE ADEQUACY OF CONCRETE BY CORED CYLINDERS COMPLYING WITH ASTM C 42, OR BY OTHER METHODS AS DIRECTED.

THESE DRAWINGS ARE NOT TO BE SCALED FROM SCHEDULES, NOTES, AND DIMENSIONS SHOULD BE FOLLOWED AND NOT SCALED.

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REVISIONS:

TITLE:

GARAGE
 GENERAL
 STRUCTURAL
 NOTES

ISSUED DATE: 02/24/26

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S1.0A

WOOD FRAMING NOTES:

1. APPLICABLE CODES OR STANDARDS:

ALL DESIGN, FABRICATION, TESTING, AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:

- (A) IRC – INTERNATIONAL RESIDENTIAL CODE (IRC)
- (B) AWC – NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
- (C) AWC – WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM)
- (D) APA – PLYWOOD DESIGN SPECIFICATION (PDS)

2. WALL SYSTEMS:

WALL SYSTEMS SHALL MEET THE SPECIFICATIONS LISTED IN THE PLAN NOTES (UNLESS NOTED OTHERWISE).

3. MATERIALS:

MATERIALS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) FRAMING LUMBER SHALL BE SOUTHERN PINE GRADE MARKED AND KILN DRIED, NO. 2.
- (B) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. LUMBER, PLYWOOD, PSL, OR OTHER STRUCTURAL WOOD ELEMENTS SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA.
- (C) FLOOR PLYWOOD SHEATHING SHALL BE 3/4" THICK.
- (D) WALL PLYWOOD SHEATHING SHALL BE 1/2" THICK.
- (E) ATTIC PLYWOOD SHEATHING SHALL BE 1/2" THICK.
- (F) ROOF PLYWOOD SHEATHING SHALL BE 5/8" THICK.
- (G) MEMBERS DESIGNATED AS "LVL" SHALL BE LAMINATED VENEER LUMBER HAVING PROPERTIES AND STRENGTHS EQUAL TO THE I-LEVELTRUSS JOIST COMPANY'S "MICROLLAM" OR APPROVED EQUAL.
- (H) JOIST HANGERS, BEAM HANGERS, HURRICANE CLIPS, ANCHORS, AND CONNECTORS SHALL BE SUPPLIED BY SIMPSON STRONG-TIE CO., INC. OR APPROVED EQUAL AND ATTACHED WITH MANUFACTURER RECOMMENDATIONS.
- (I) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. SHALL BE GALVANIZED.
- (J) HANGERS, CLIPS, CONNECTORS, ANCHORS, TIES, ETC. EXPOSED TO WEATHER, IN CONTACT WITH EARTH OR WATER, OR BELOW THE FIRST FLOOR LEVEL SHALL RECEIVE THE SIMPSON "Z-MAX" TRIPLE ZINC COATING OR APPROVED EQUAL.
- (K) STUD WALL BOTTOM PLATES CONNECTED TO CONCRETE SHALL BE SUPPLIED BY RAMSET OR APPROVED EQUAL.

4. CONNECTIONS:

CONNECTIONS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) WOOD MEMBERS (INCLUDING PLYWOOD SHEATHING OR BRACING) SHALL BE CONNECTED OR FASTENED WITH STEEL NAILS, SCREWS, OR BOLTS. ALL EXPOSED NAILS, SCREWS, OR BOLTS SHALL BE POLYMER COATED OR GALVANIZED.
- (B) NO STAPLES SHALL BE PERMITTED.
- (C) WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE LISTED IN IRC 2021 TABLE R602.3.
- (D) MEMBER END PIECES, JOINTS, OR SPLICES SHALL BE OVER SUPPORTS.
- (E) MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF 12d NAILS SPACED AT 12" FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL BE ATTACHED TOGETHER WITH (3) ROWS OF 12d NAILS SPACED AT 12".
- (F) MULTIPLE PIECES OF LUMBER USED TO FORM PACKED STUDS SHALL BE ATTACHED TOGETHER WITH (2) ROWS OF NAILS SPACED AT 8".
- (G) PLYWOOD WALL SHEATHING SHALL HAVE SOLID BLOCKING AT ALL HORIZONTAL JOINTS.
- (H) PLYWOOD ROOF SHEATHING VERTICAL JOINTS SHALL BE STAGGERED EVERY 4 FEET OR LESS.
- (I) FLOOR JOISTS SHALL HAVE BRIDGING AT 8'-0" O.C. (MAX.).
- (J) BOTTOM PLATE OF STUD WALLS TO CONCRETE SHALL BE CONNECTED WITH 1/4" RAMSETS AT 16" O.C.
- (K) PRE-ENGINEERED STRUCTURAL MEMBERS INCLUDING PSL, PPG, LVL, ETC. SHALL BE ERECTED AND BRACED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

5. OPENINGS:

OPENINGS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE):

- (A) OPENINGS IN WALLS SHALL HAVE HEADERS CONSISTING OF A MINIMUM OF TWO 2x12's OR THREE 2x10's (4'-0" MAX.).
- (B) OPENINGS IN EXTERIOR WALLS SHALL BE IN ACCORDANCE WITH THE FULL HEIGHT STUD REQUIREMENTS LISTED IN WFCM TABLE 3.23C.
- (C) FULL HEIGHT STUDS MAY BE REDUCED IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.23D.
- (D) JACK STUDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN WFCM TABLE 3.22F.

DESIGN INFORMATION:

1. DESIGN LOADS SHALL MEET THE SPECIFICATIONS LISTED IN THIS SECTION (UNLESS NOTED OTHERWISE).

(A) DESIGN BUILDING CODE – 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)

(B) DESIGN GRAVITY LOADS:

FIRST FLOOR	DL = 50 PSF LL = 40 PSF
ATTIC	DL = 10 PSF LL = 20 PSF
ROOF	DL = 15 PSF LL = 20 PSF

(C) WIND LOADS SHALL BE IN ACCORDANCE WITH ASCE 7-16:

MAIN WIND FORCE RESISTING SYSTEM

PARAMETER	VALUE	REFERENCE
RISK CATEGORY	II	TABLE 1.5-1
BASIC WIND SPEED	Vult. = 155 MPH Vosd. = 122.5 MPH	FIGURE 26.5-1B
DIRECTIONALITY	Kd = 0.85	FIGURE 26.6-1
EXPOSURE CATEGORY	D	SECTION 26.7
TOPOGRAPHIC FACTOR	Kzt = 1.0	FIGURE 26.8-1
GUST EFFECT FACTOR	0.85	SECTION 26.9
ENCLOSURE CLASSIFICATION	ENCLOSED	SECTION 26.10
INTERNAL PRESSURE COEFFICIENT	Cgpi = +/- 0.18	SECTION 26.11
VELOCITY	qh = 39.33 PSF	SECTION 28.3.2

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TITLE:

**GARAGE
GENERAL
STRUCTURAL
NOTES**

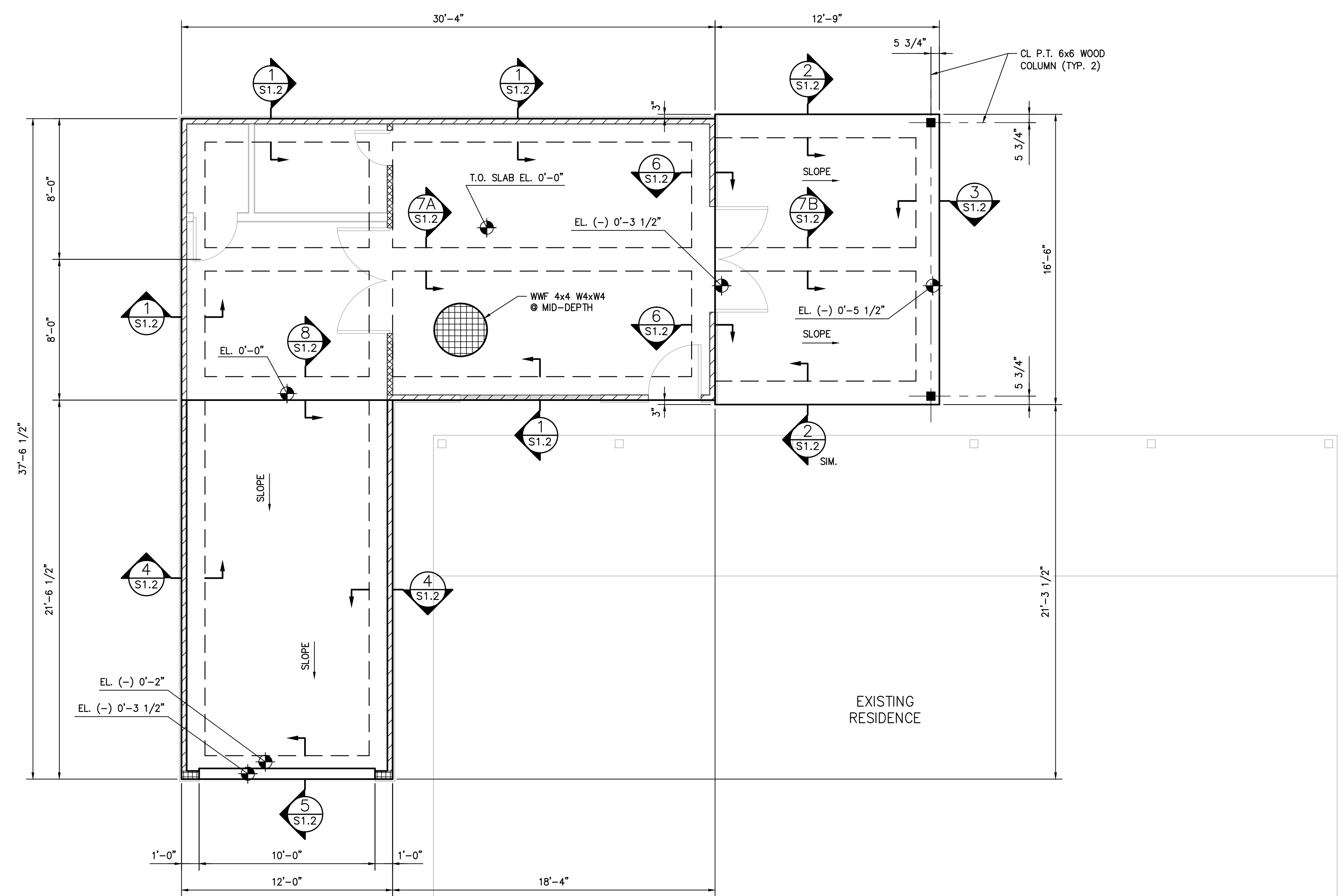
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S1.0B



GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
2. TOP OF 4" SLAB ELEVATION 0'-0"; (REFERENCE ARCHITECTURAL DRAWINGS).
3. MEASUREMENTS ARE TO EDGE OF FRAMING.
4. - SYMBOL ON PLAN INDICATES 2x6 EXTERIOR LOAD-BEARING WALL SYSTEM:
 - A. 2x6 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x6 BOTTOM PLATE
 - C. DOUBLE 2x6 TOP PLATE
 - D. SHEATHING - SEE WOOD FRAMING NOTES
 - E. BLOCKING @ 48" O.C. (MAX.)
5. - SYMBOL ON PLAN INDICATES 2x4 EXTERIOR LOAD-BEARING WALL SYSTEM:
 - A. 2x4 STUD @ 16" O.C. (MAX.)
 - B. TREATED 2x4 BOTTOM PLATE
 - C. DOUBLE 2x4 TOP PLATE
 - D. SHEATHING - SEE WOOD FRAMING NOTES
 - E. BLOCKING @ 48" O.C. (MAX.)
6. - SYMBOL ON PLAN INDICATES 2x4 INTERIOR LOAD-BEARING WALL SYSTEM:

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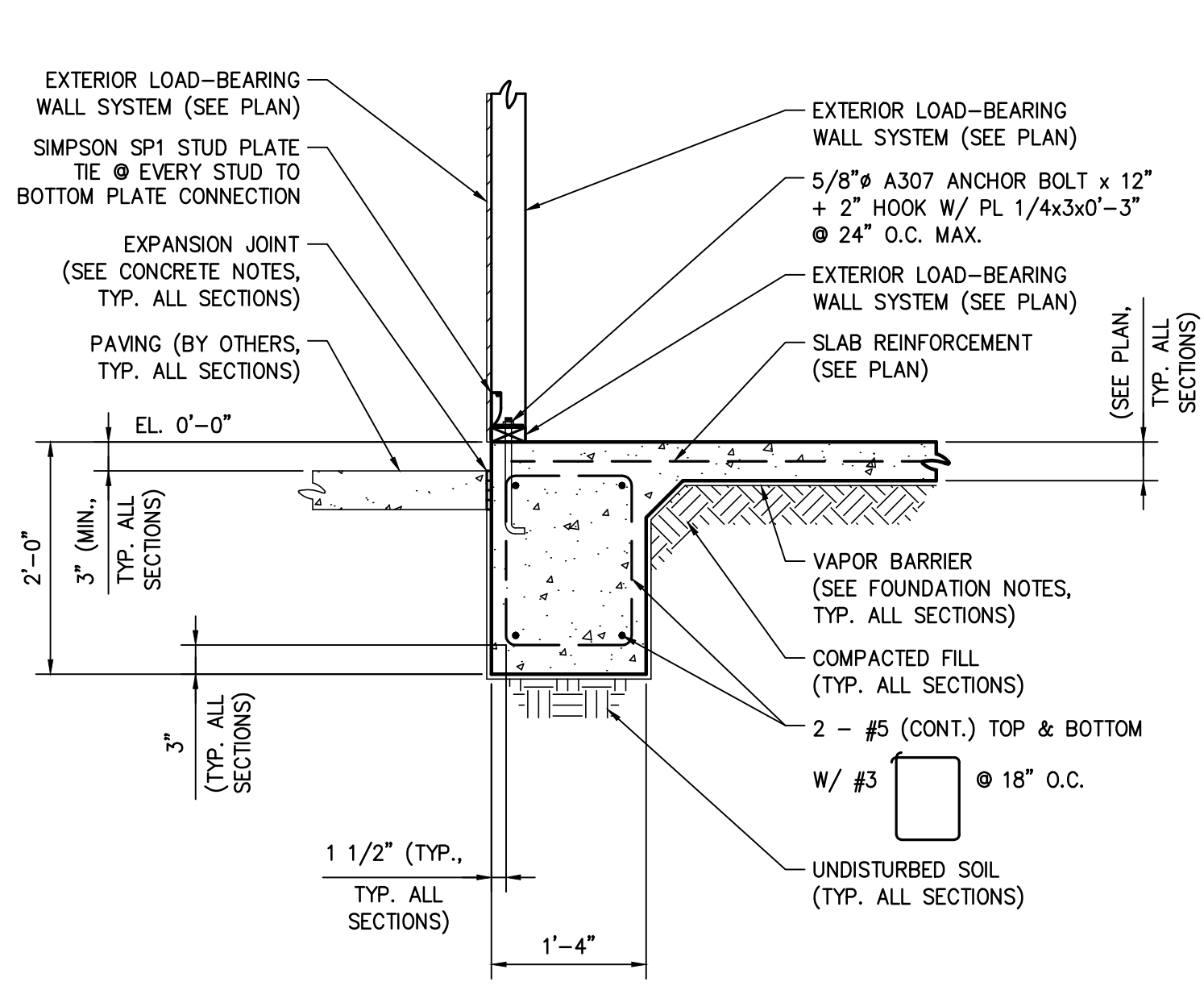
REVISIONS:

NO.	DATE	DESCRIPTION

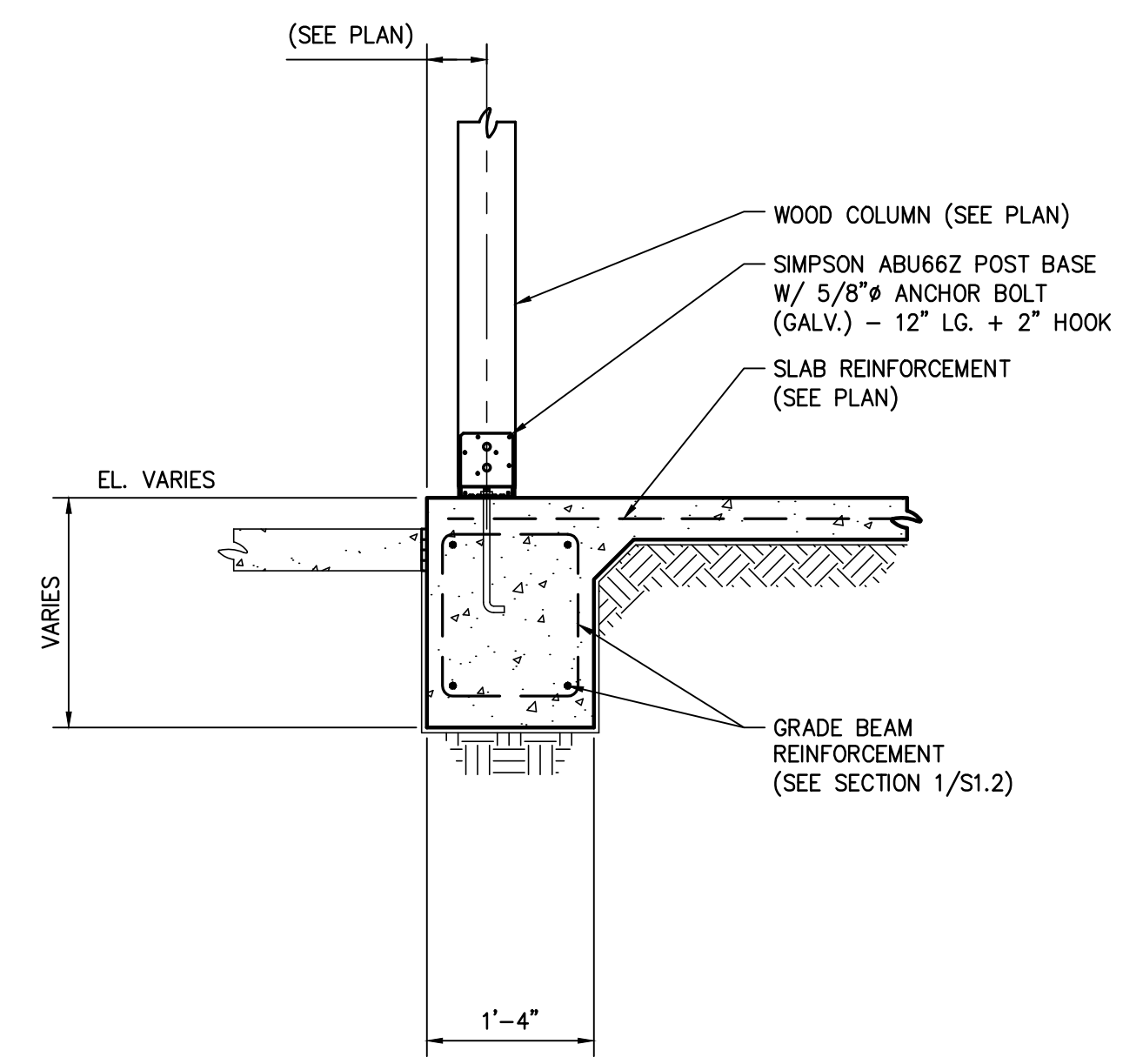
TITLE:
GARAGE FOUNDATION PLAN

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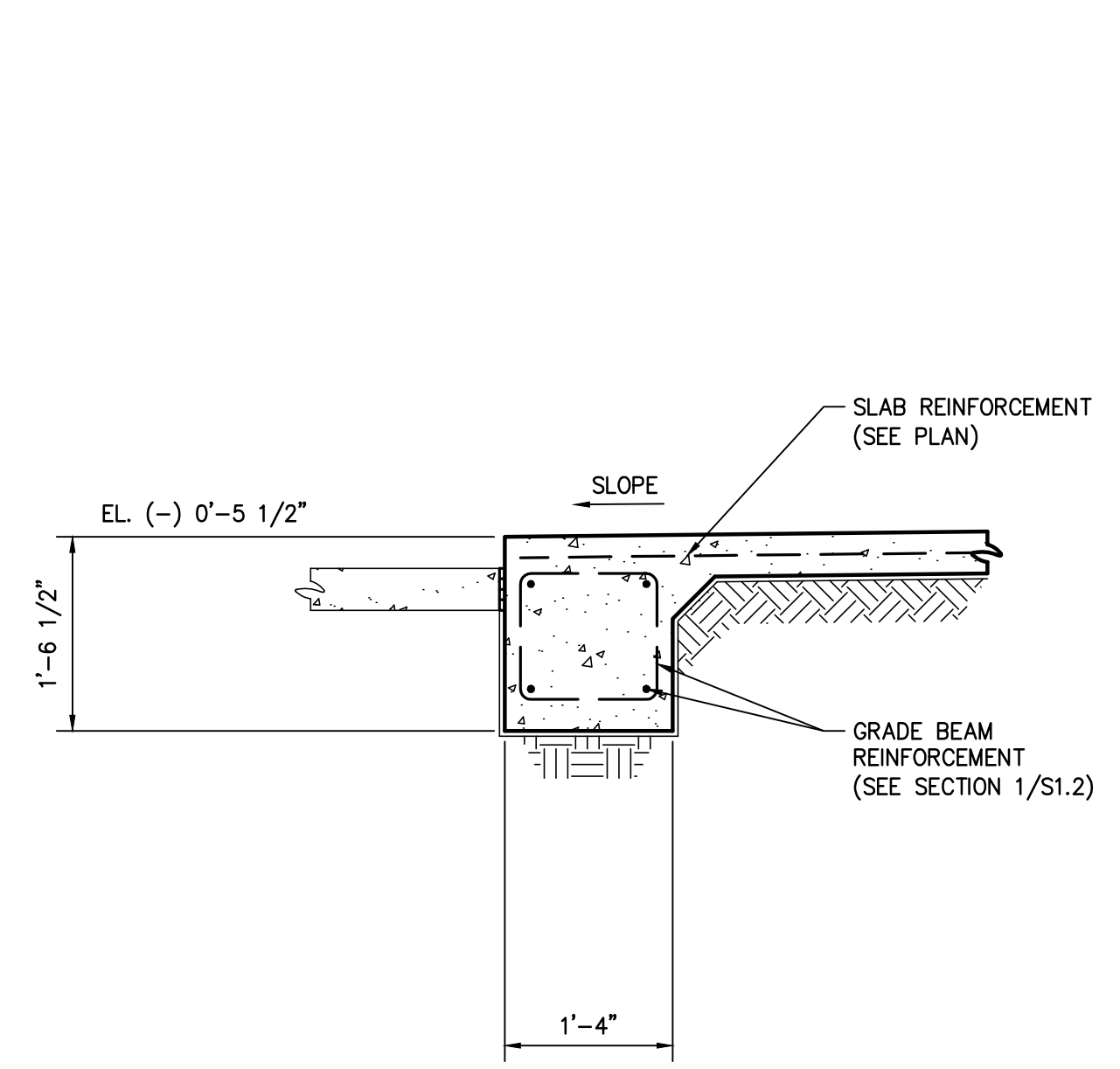
S1.1



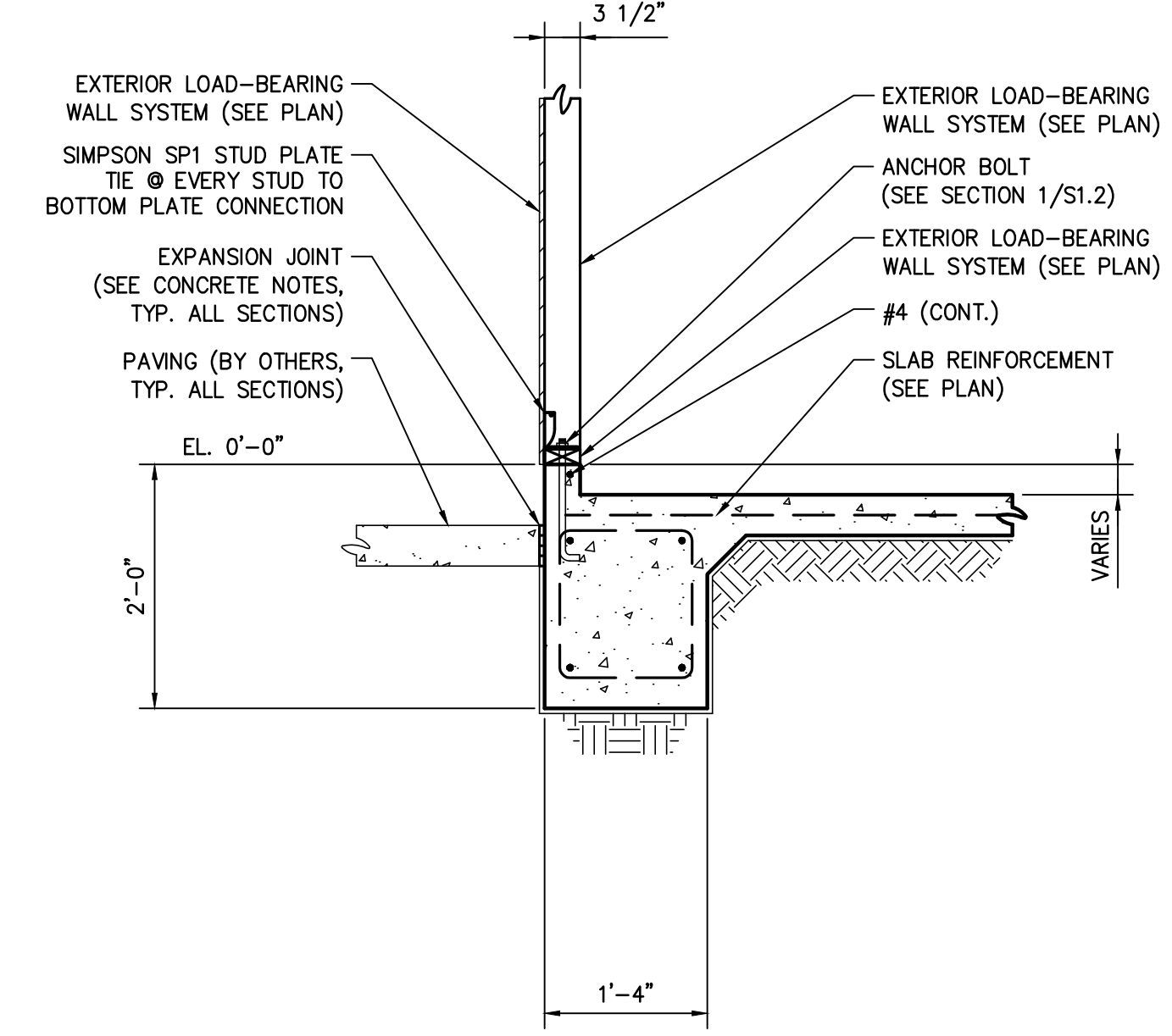
SECTION 1
SCALE: 3/4" = 1'-0"
S1.1|S1.2



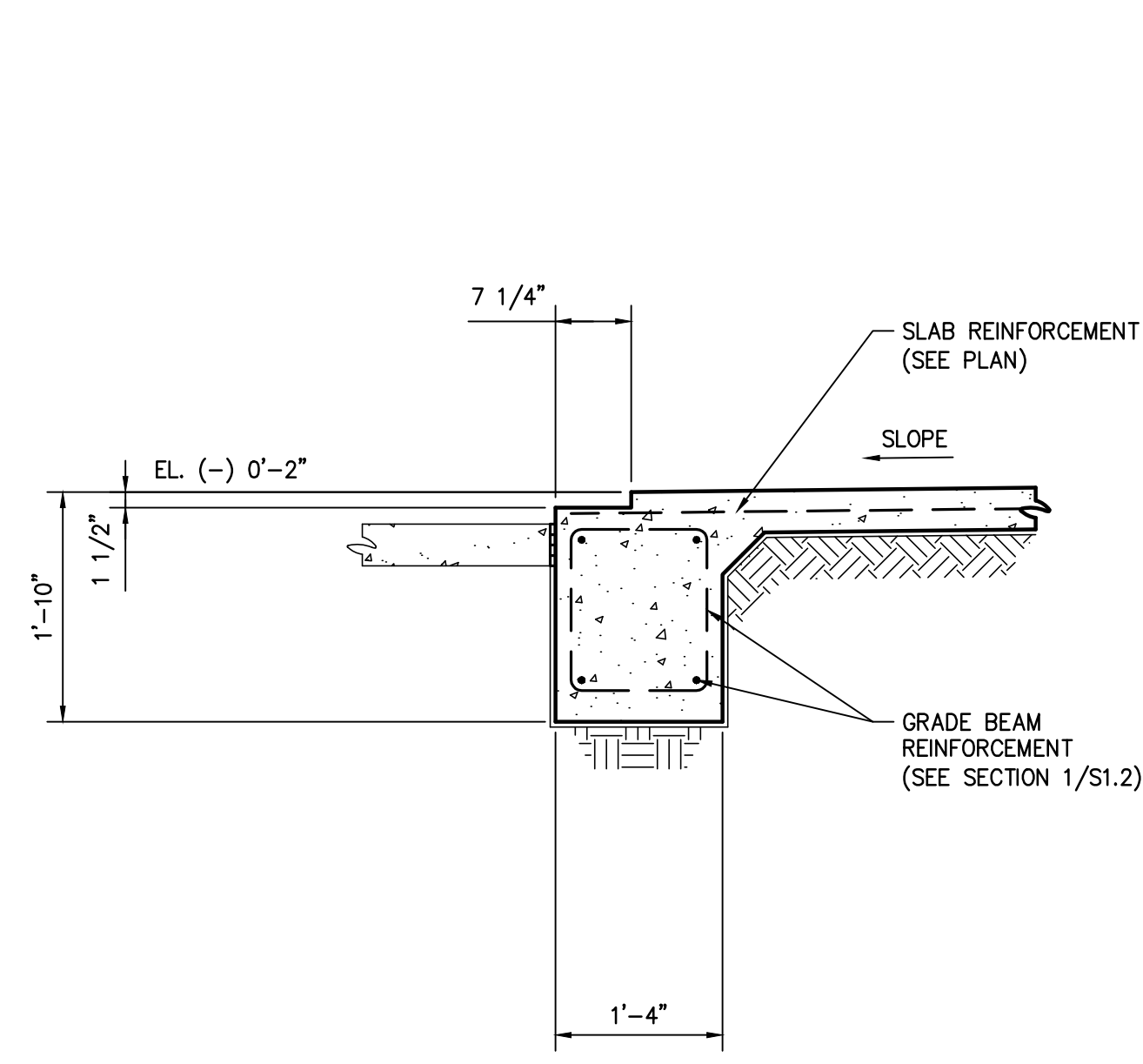
SECTION 2
SCALE: 3/4" = 1'-0"
S1.1|S1.2



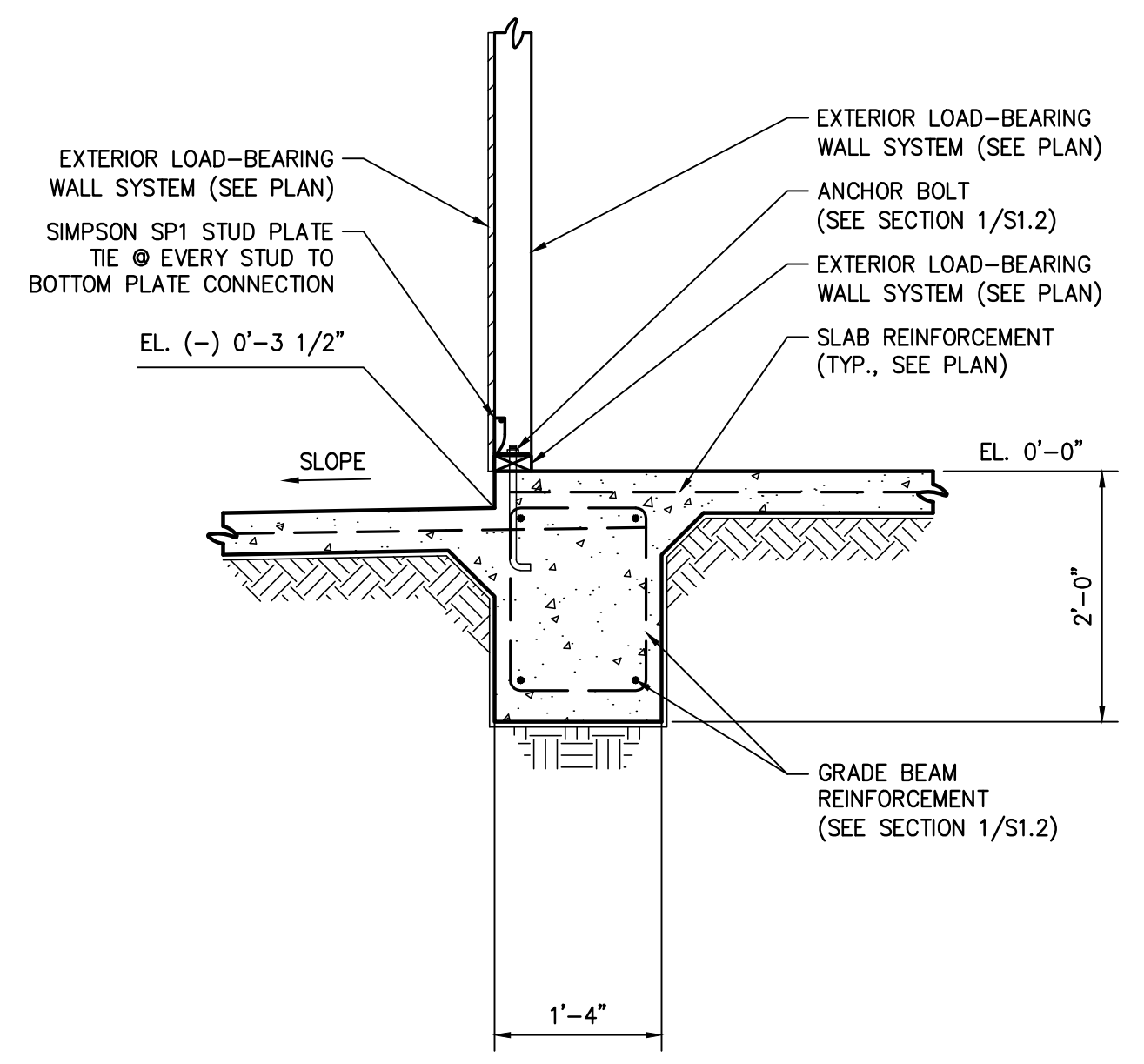
SECTION 3
SCALE: 3/4" = 1'-0"
S1.1|S1.2



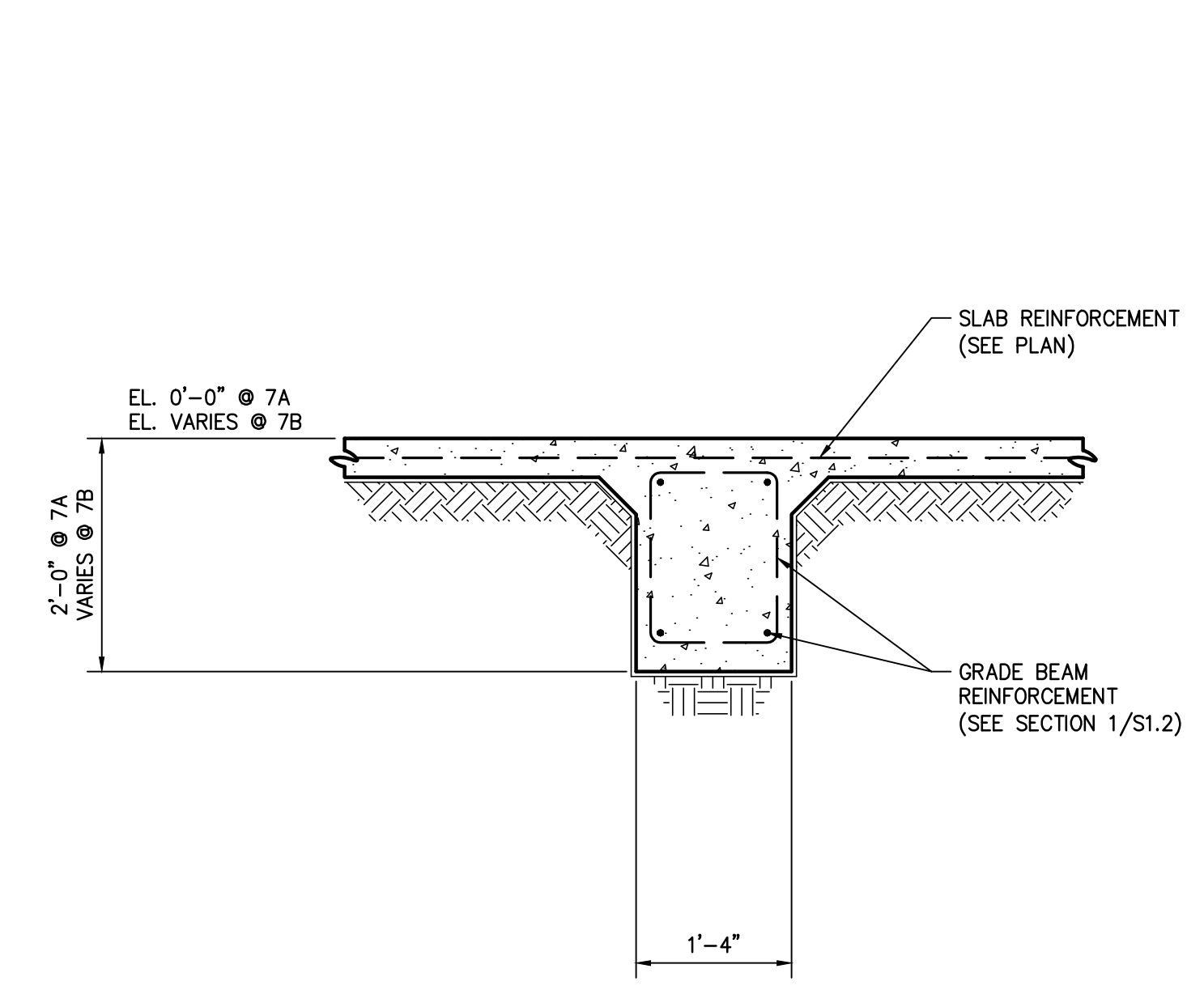
SECTION 4
SCALE: 3/4" = 1'-0"
S1.1|S1.2



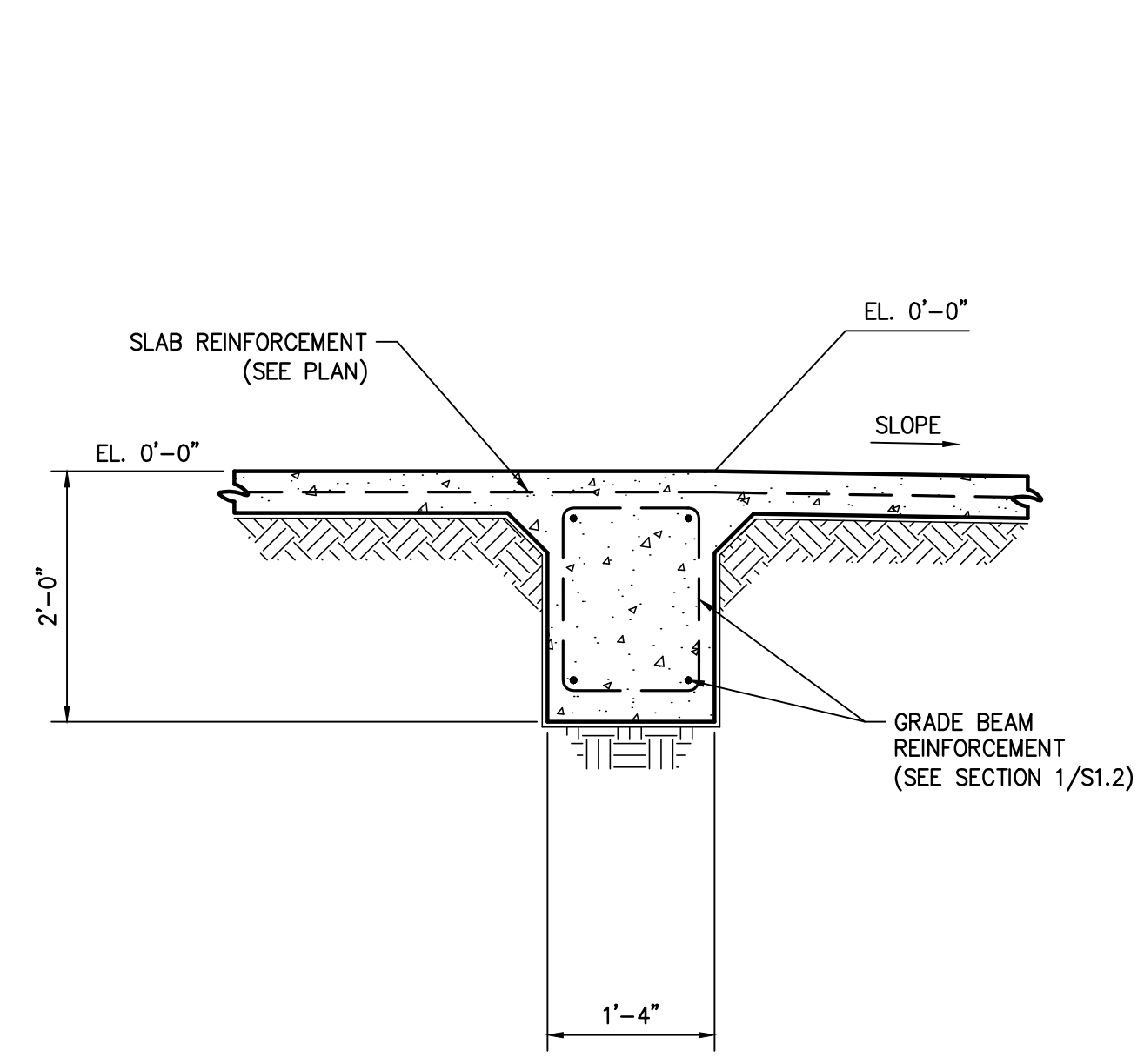
SECTION 5
SCALE: 3/4" = 1'-0"
S1.1|S1.2



SECTION 6
SCALE: 3/4" = 1'-0"
S1.1|S1.2



SECTION 7
SCALE: 3/4" = 1'-0"
S1.1|S1.2



SECTION 8
SCALE: 3/4" = 1'-0"
S1.1|S1.2

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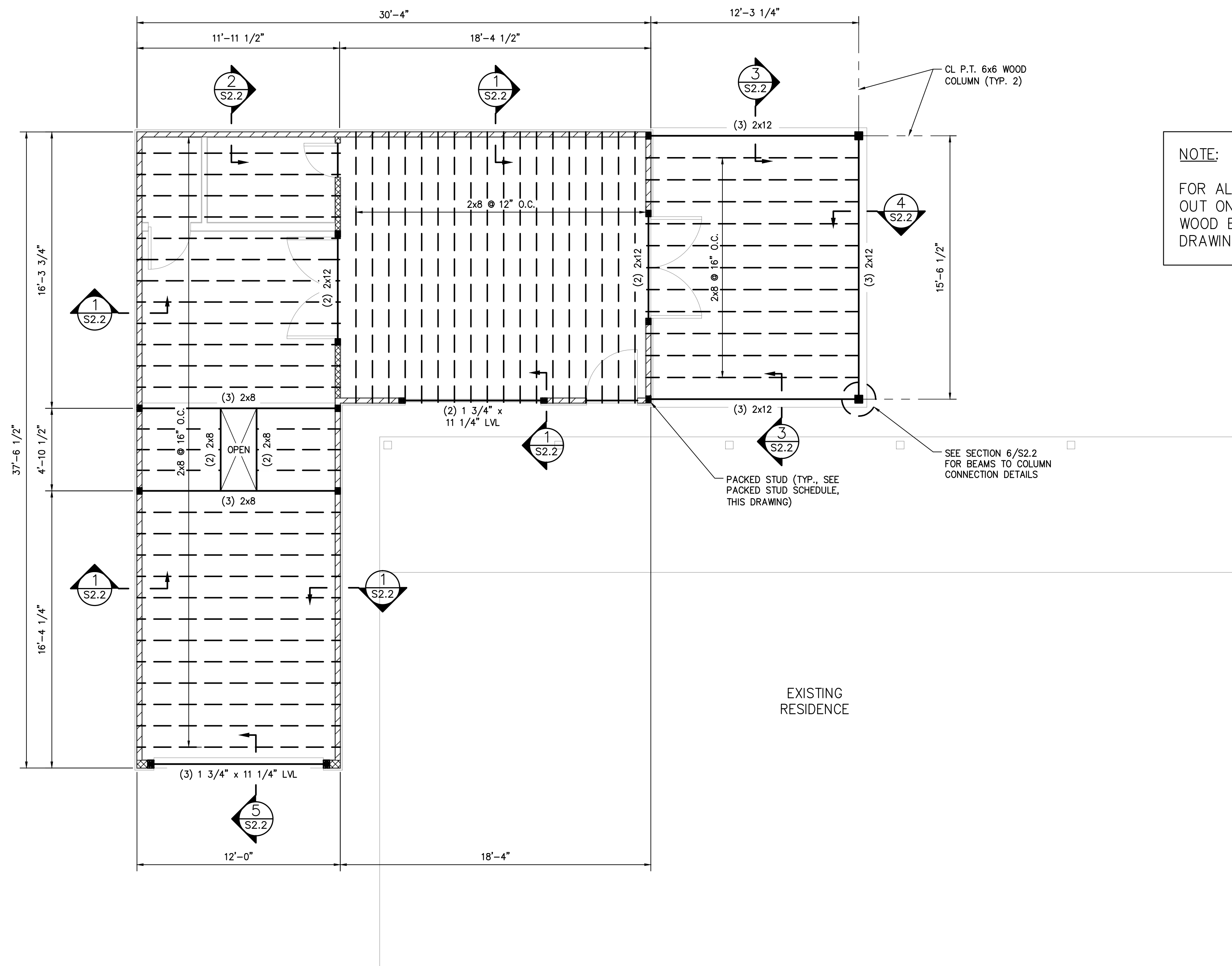
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TITLE:

GARAGE FOUNDATION SECTIONS

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S1.2



NOTE:
FOR ALL CONNECTIONS NOT CALLED OUT ON PLAN, SEE WOOD BEAM TO WOOD BEAM CONNECTION DETAIL, DRAWING S2.2.

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GARAGE CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"

- PLAN NOTES:**
- FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
 - UNLESS SHOWN ON PLANS, SEE WOOD FRAMING NOTES FOR HEADER SIZING.
 - MEASUREMENTS ARE TO EDGE OF FRAMING.
 - PROVIDE BLOCKING WHERE JOIST SPAN EXCEED 8'-0".
 - PROVIDE DOUBLE KING STUDS (MIN.) AT EACH SIDE OF WINDOW OPENINGS IN EXTERIOR LOAD-BEARING STUD WALLS.
 - | | |
|--|---|
| | - SYMBOL ON PLAN INDICATES 2x6 EXTERIOR LOAD-BEARING WALL SYSTEM: |
| | - SYMBOL ON PLAN INDICATES 2x4 EXTERIOR LOAD-BEARING WALL SYSTEM: |

A.	2x6 STUD @ 16" O.C. (MAX.)
B.	TREATED 2x6 BOTTOM PLATE
C.	DOUBLE 2x6 TOP PLATE
D.	SHEATHING - SEE WOOD FRAMING NOTES
E.	DOUBLE BLOCKING

A.	2x4 STUD @ 16" O.C. (MAX.)
B.	TREATED 2x4 BOTTOM PLATE
C.	DOUBLE 2x4 TOP PLATE
D.	SHEATHING - SEE WOOD FRAMING NOTES
E.	DOUBLE BLOCKING

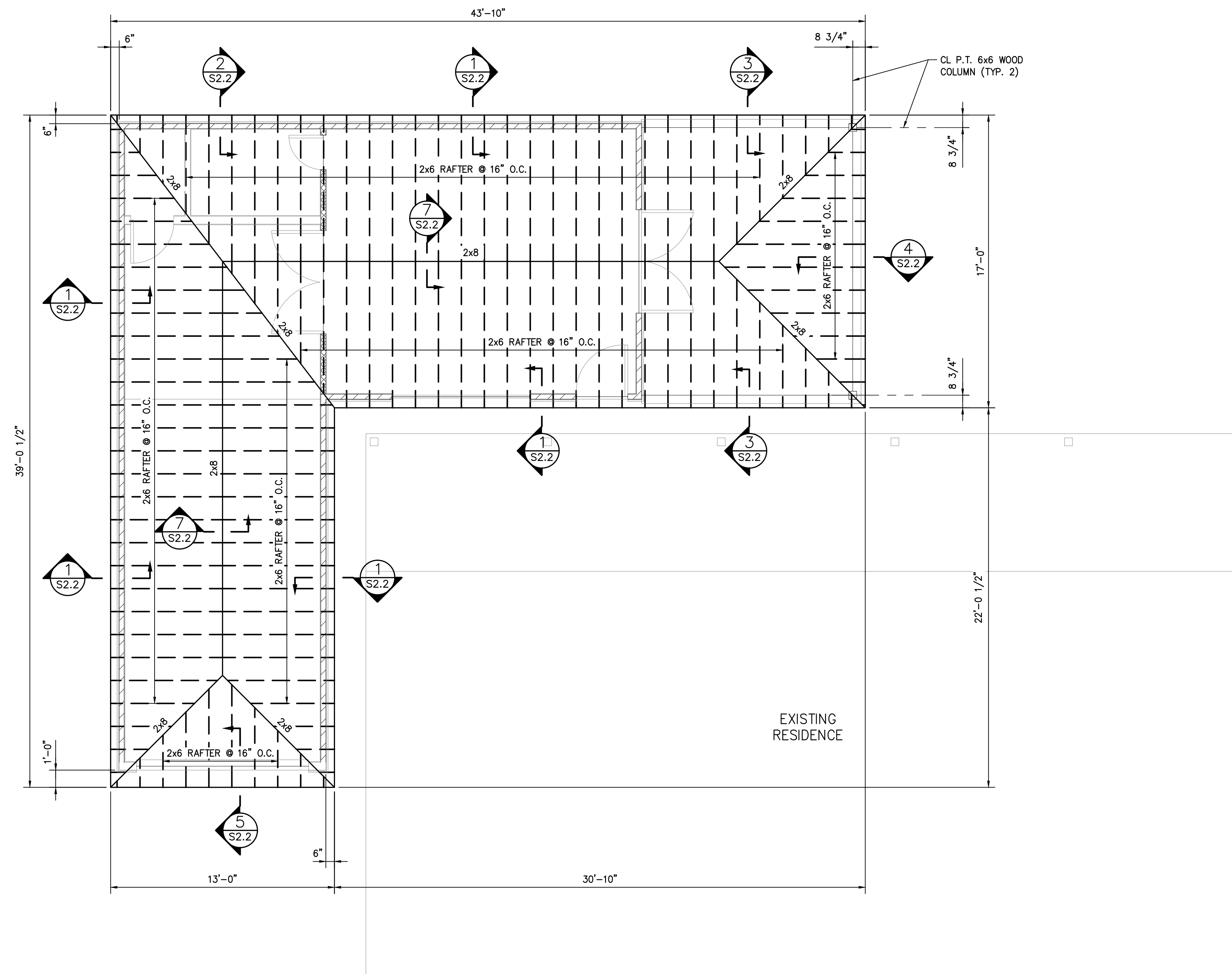
PACKED STUD SCHEDULE					
INTERIOR BEAM COLUMNS			HEADERS IN EXTERIOR WALLS		
BEAM SIZE	MIN. NUMBER OF STUDS REQUIRED (EACH SIDE)	OPENING SIZE	MIN. NUMBER OF JACK STUDS REQUIRED (EACH SIDE)	MIN. NUMBER OF KING STUDS REQUIRED (EACH SIDE)	
(2) 2x8 or (2) 2x10 or (2) 2x12	3	0'-0" - 4'-0"	1	2	
(3) 2x8 or (3) 2x10 or (3) 2x12	3	4'-1" - 6'-0"	2	2	
(2) LVL	3	6'-1" - 8'-0"	2	3	
		8'-1" - 10'-0"	3	4	

NOTES:

- PACKED STUD IS REQUIRED UNDER EACH BEAM END (UNLESS SHOWN OTHERWISE).
- ALL PACKED STUDS SHALL BE CARRIED DOWN TO THE FOUNDATION.
- FULL HEIGHT STUDS ARE REQUIRED FOR PACKED STUD CONSTRUCTION.
- SEE PACKED STUD DETAIL, DRAWING S2.2

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GARAGE CEILING FRAMING PLAN	
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S2.0



GARAGE ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
2. FOR ALL PLAN NOTES, SEE DRAWING S2.0.

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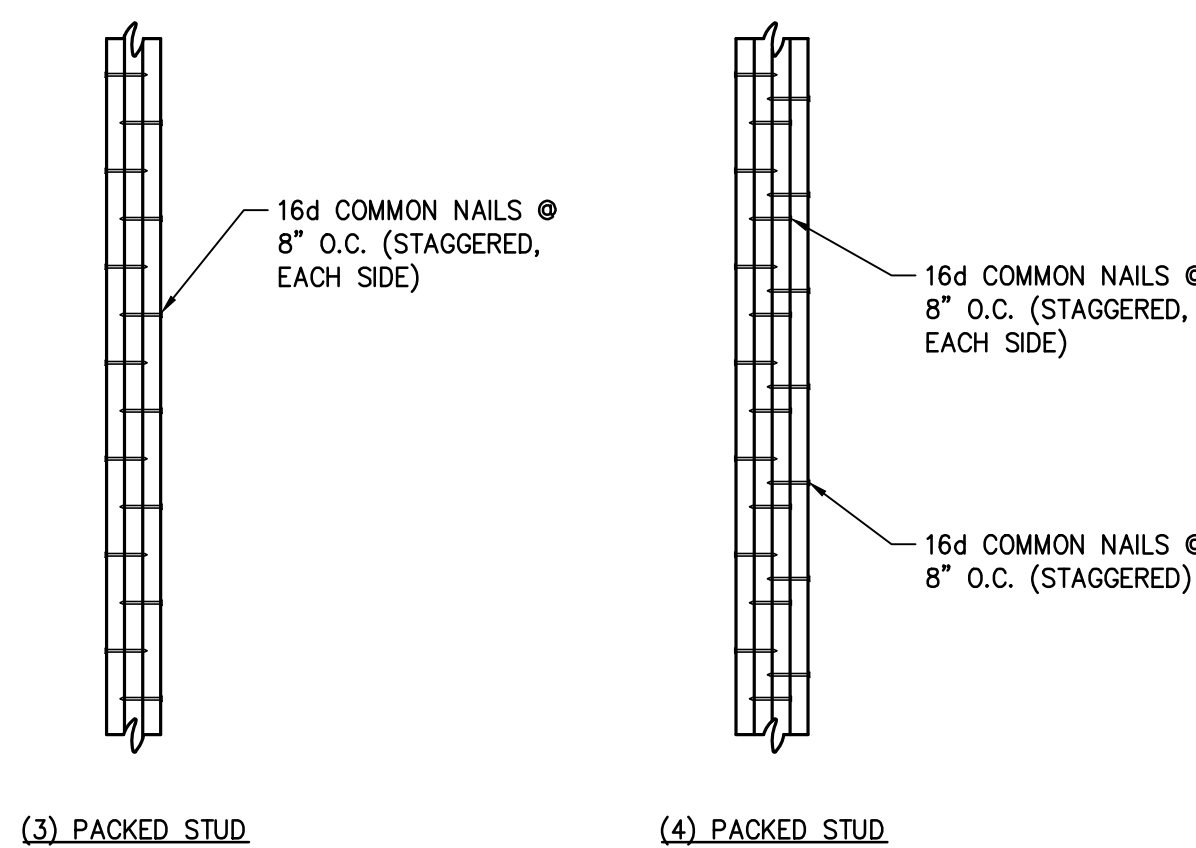
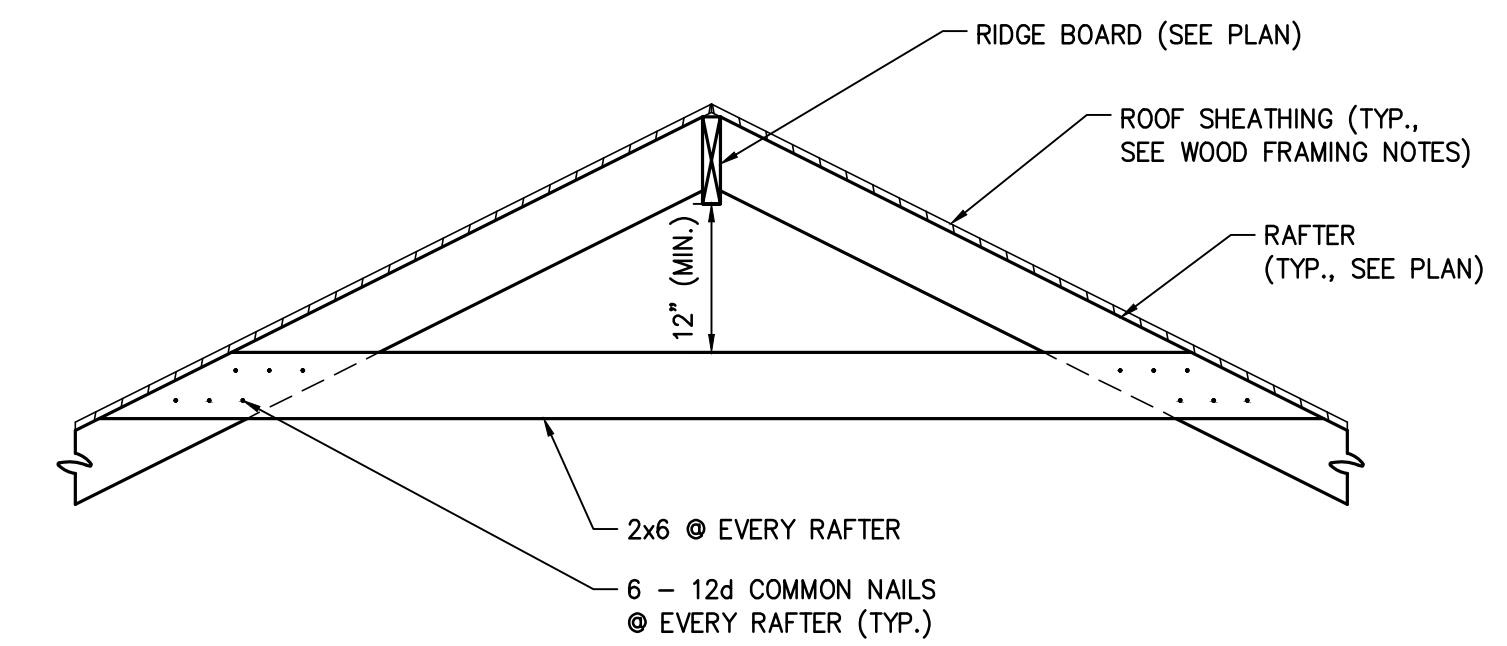
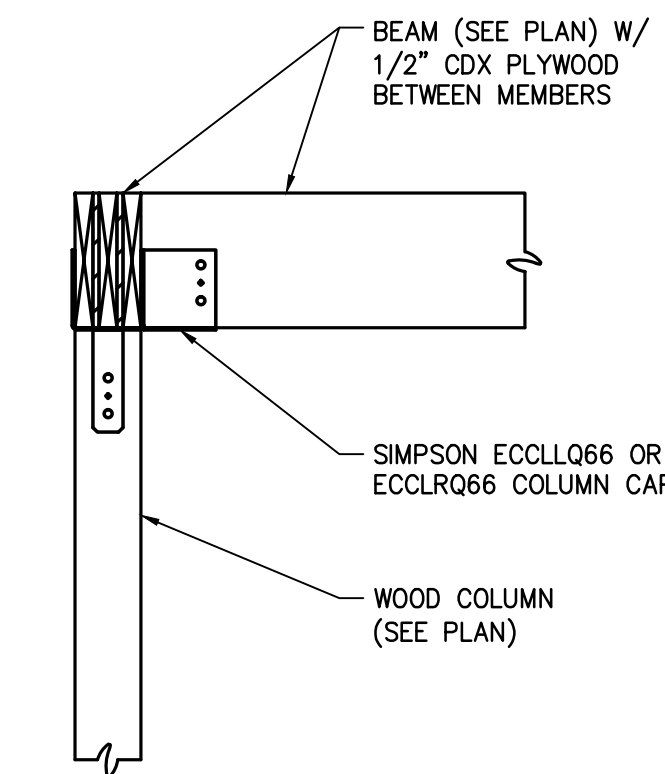
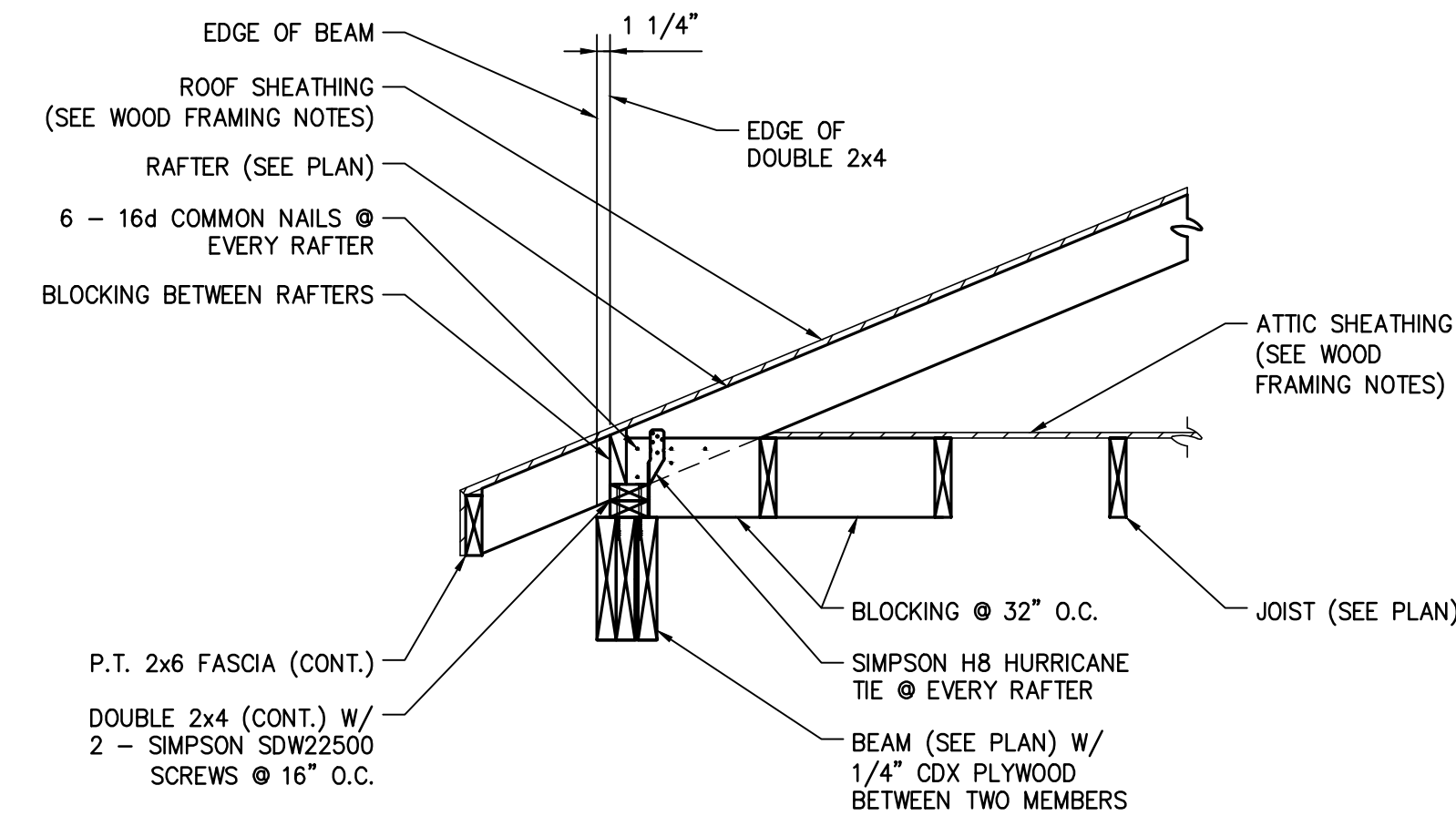
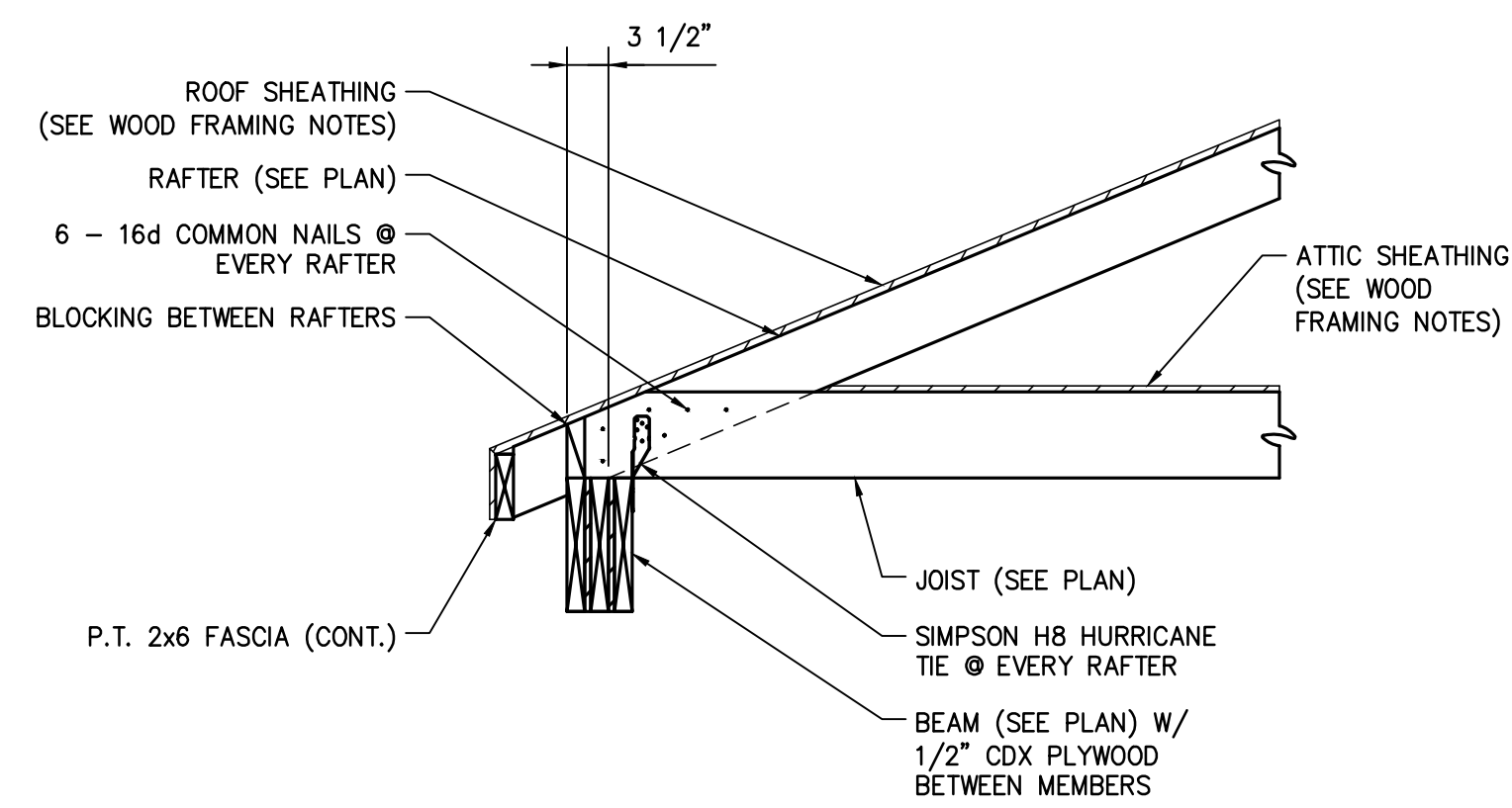
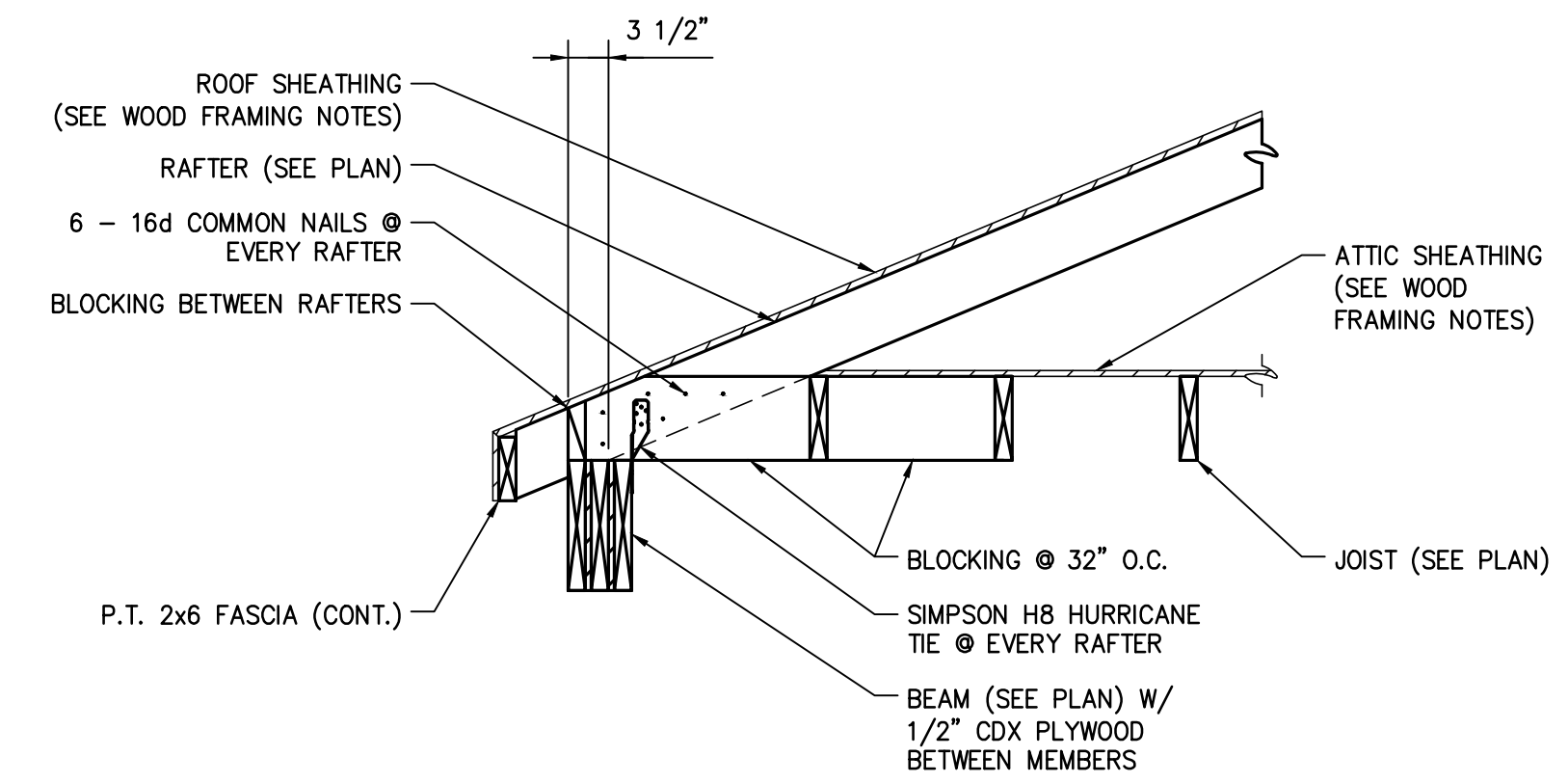
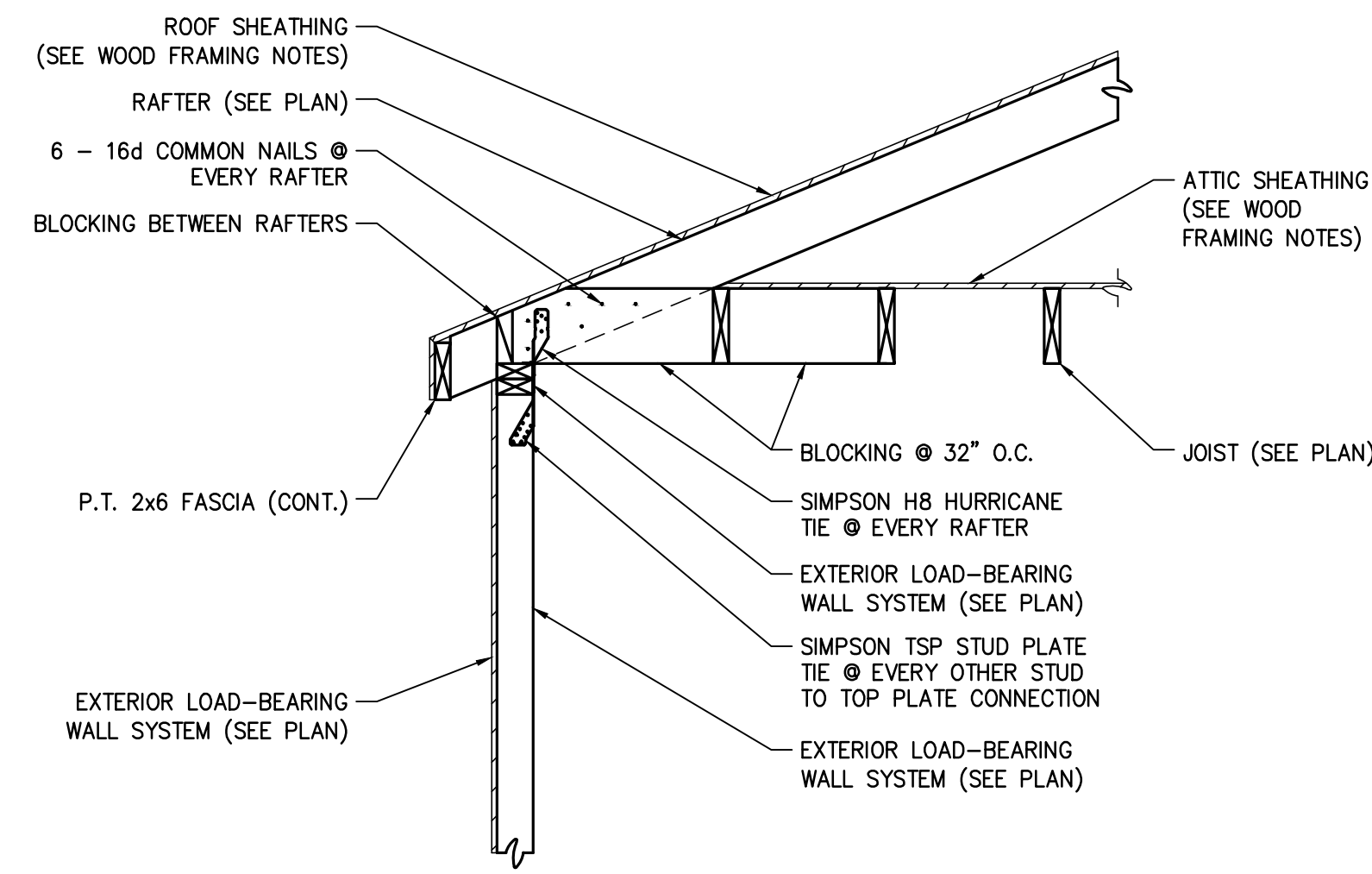
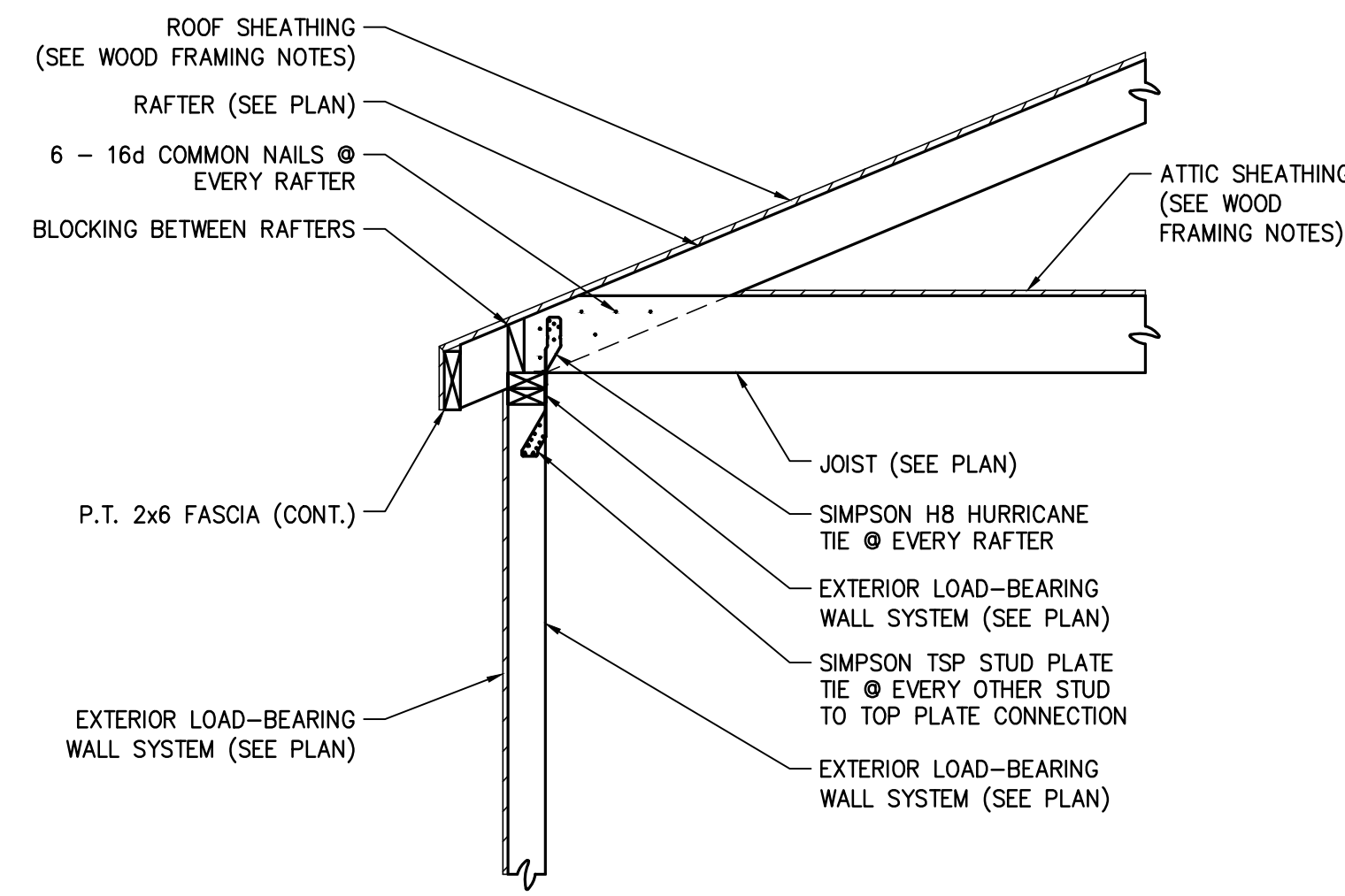
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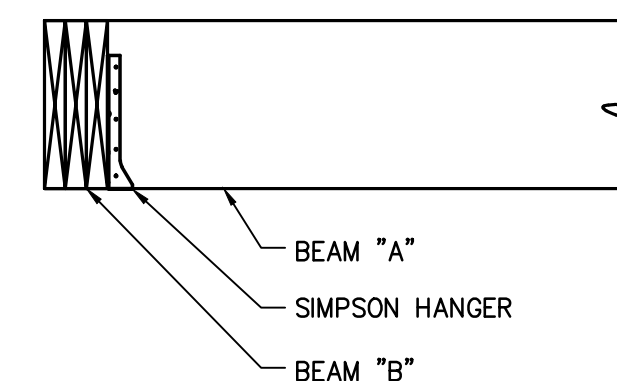
GARAGE ROOF FRAMING PLAN

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S2.1



PACKED STUD DETAIL
SCALE: N.T.S.



BEAM "A"	BEAM "B"	SIMPSON HANGER
2x8	(2) 2x8	LUS28
(2) 2x8	(3) 2x8	HU28-2 (MAX.)

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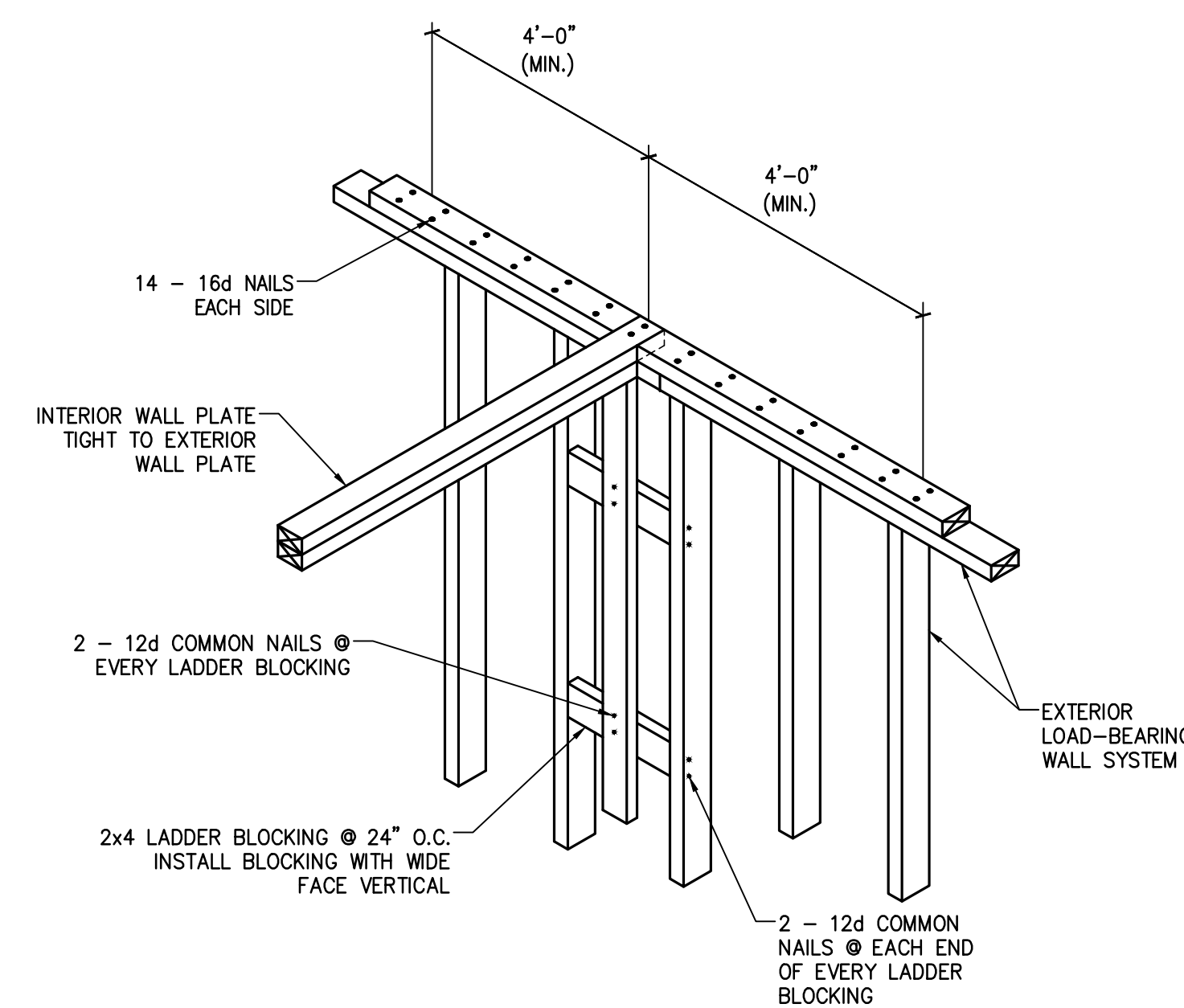
REVISIONS:

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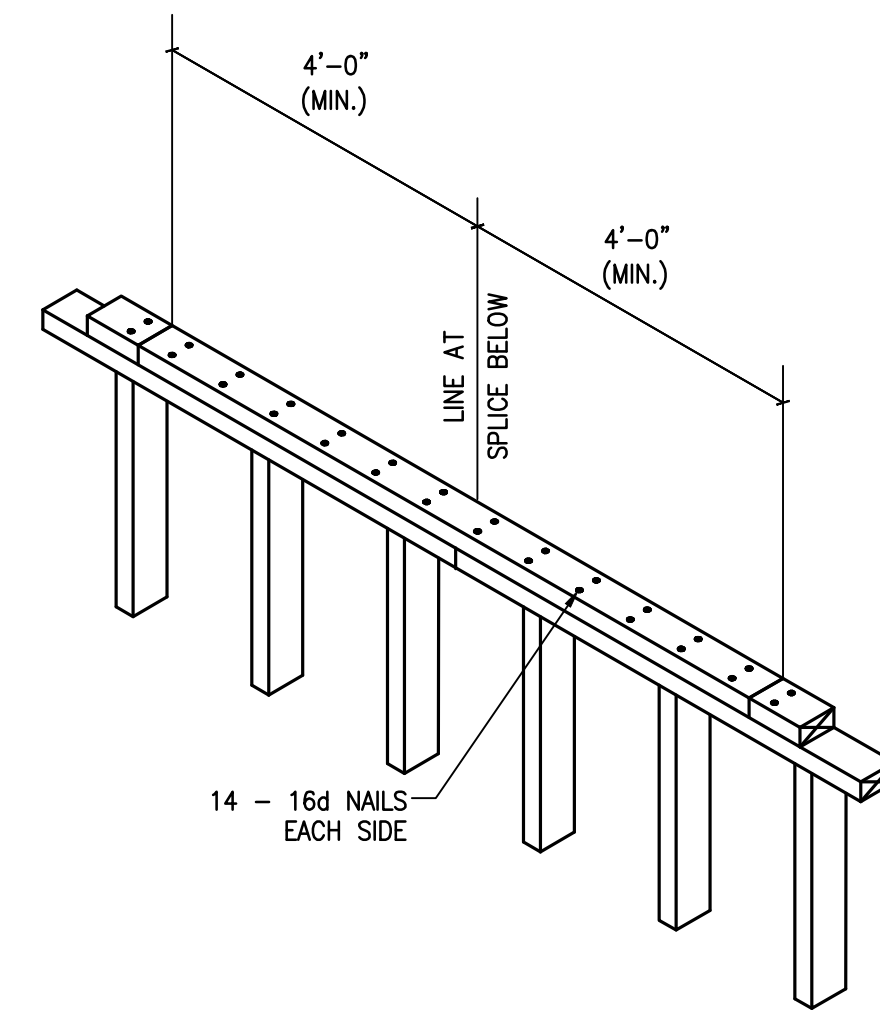
GARAGE FRAMING SECTIONS AND DETAILS

ISSUED DATE: 02/24/26
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CHECKED BY: ---
PROJECT #: -----

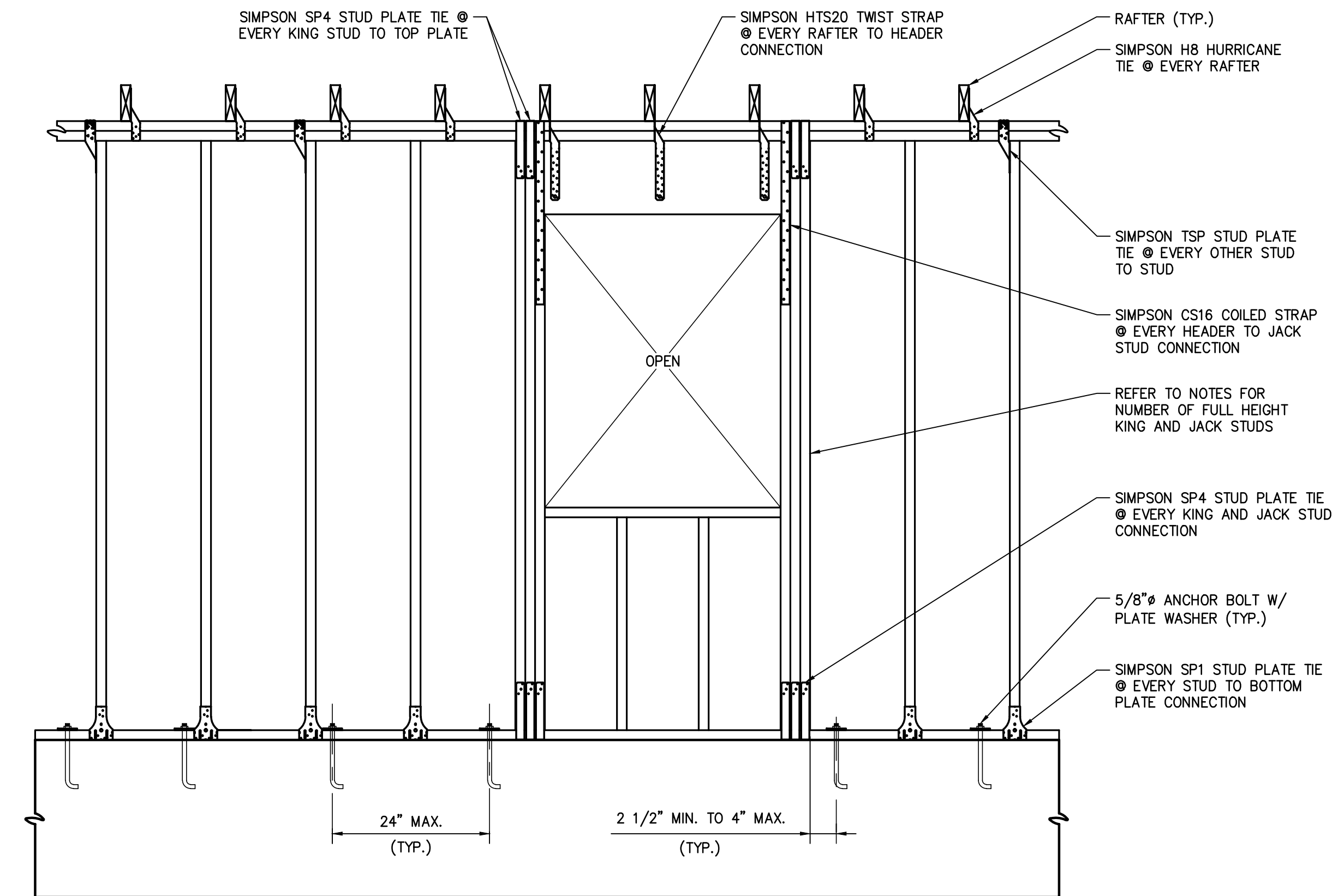
S2.2



INTERIOR WALL INTERSECTION DETAIL
SCALE: N.T.S.



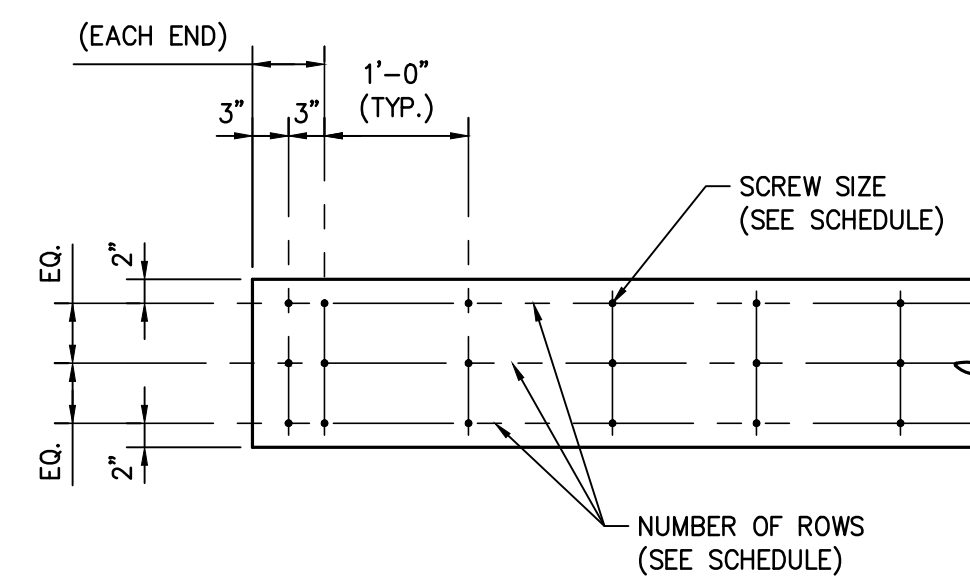
TOP PLATE SPLICE DETAIL
SCALE: N.T.S.



CONTINUOUS LOAD PATH @ OPENINGS
SCALE: 3/4" = 1'-0"

THESE DRAWINGS ARE NOT TO BE SCALED FROM. SCHEDULES, NOTES, AND DIMENSIONS SHOULD BE FOLLOWED AND NOT SCALED.

Nuss Residence
218 Ballentine Street
Bay St. Louis, MS 39520



BEAM AND HEADER MEMBER SIZE	NUMBER OF ROWS	SIMPSON SCREW
(2) 2x8	2	SDW22338
(2) 2x10	2	SDW22338
(2) 2x12	3	SDW22338
(3) 2x8	2	SDW22438
(3) 2x10	2	SDW22438
(3) 2x12	3	SDW22438
(2) 1 3/4" x 11 1/4" LVL	4	SDW22500

NOTE:
ALL BEAM AND HEADER MEMBERS TO BE PROPERLY SHORED BY CONTRACTOR PRIOR TO NAILING MEMBERS TOGETHER.

BEAM AND HEADER FASTENING PATTERN DETAIL
SCALE: N.T.S.

REVISIONS:

TITLE:

GARAGE FRAMING DETAILS

ISSUED DATE: 02/24/26
DRAWN BY: ---
CHECKED BY: ---
PROJECT #: -----

S2.3



Caitlin Bourgeois <cbourgeois@baystlouis-ms.gov>

Fwd: Pictures and addresses of detached garages within the 5ft setback

1 message

Jeremy Burke <jburke@baystlouis-ms.gov>
Cc: Caitlin Bourgeois <cbourgeois@baystlouis-ms.gov>

Mon, May 11, 2026 at 10:47 AM

Caitlin,
Would you please add the below email to the Nuss application?

----- Forwarded message -----

From: **Pete Nuss**
Date: Mon, May 11, 2026 at 10:44 AM
Subject: Pictures and addresses of detached garages within the 5ft setback
To: Jeremy Burke

Jeremy,

I found 39 addresses and pictures of garage structures in a 2 block radius of my 218 Ballentine house that are within the 5ft setback.

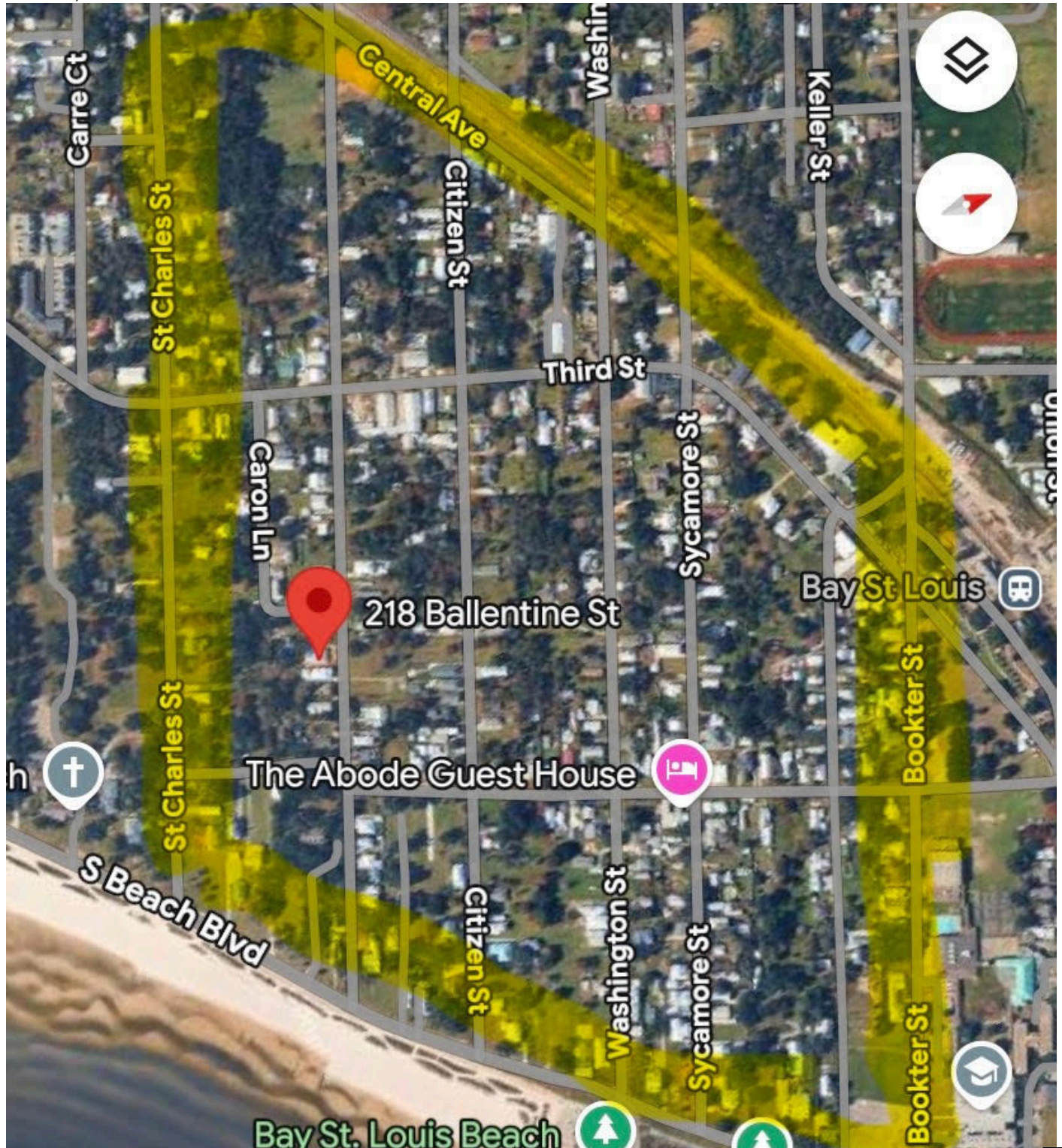
I want to submit all these as precedent for my garage variance hearing.

202 Union st
128 Bookter
124 Bookter
117 Sycamore
124 sycamore
121 sycamore
130 Sycamore
508 Hancock
704 Hancock
113 Ballentine
109 Ballentine
207 Ballentine
218 St charles
215 st charles
235 St charles
321 ballentine
352 ballentine
246 ballentine
244 ballentine
232 ballentine
220 caron ln
248 citizen
318 citizen
319 citizen
331 citizen
111 central
234 Washington
224 Washington
222 washington
206 sycamore
208 sycamore

- 223 sycamore
- 253 sycamore
- 217 keller
- 209 keller
- 205 keller
- 206 keller
- 215 3rd

I will have to send the pictures in separate emails.

Thanks,

















Fwd: 218 Ballentine Garage Pics and proposed pic

1 message

Jeremy Burke <jburke@baystlouis-ms.gov>
To: Caitlin Bourgeois <cbourgeois@baystlouis-ms.gov>

Mon, May 11, 2026 at 11:14 AM

Caitlin,
Would you include the below email and pictures as an attachment to the planning and zoning packet/

Thanks

----- Forwarded message -----

From: **Pete Nuss**
Subject: 218 Ballentine Garage Pics and proposed pic
To: Jeremy Burke

The proposed garage will have gutters and all water runoff will be contained to my property and diverted toward the front of the house. I have built concrete chain walls and graded concrete along the back and side of the garage to funnel all rain water toward the front of property as shown in pictures.

Pete Nuss
Cell: 504-442-5588
Email: petenuss@gmail.com

5 attachments

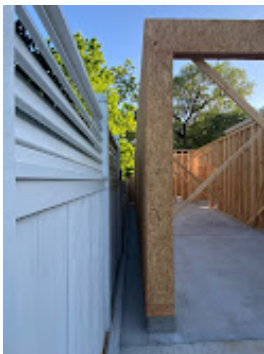
IMG_2196.jpeg
4364K



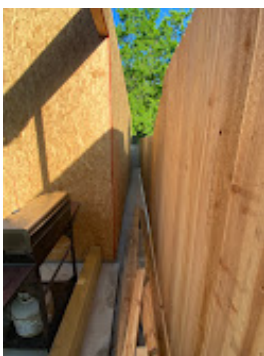
IMG_2197.jpeg
1602K



Garage Design Enhancement.png
4444K



IMG_2160.jpeg
2302K



IMG_2162.jpeg
2960K











TO: Planning and Zoning Commission
City of Bay St. Louis

RE: Application for Sketch Plat Approval
FE AND SE INVESTMENTS LLC
149N-0-30-238.001 (PT 214, 4th Ward, Bay St. Louis)

HEARING DATE: May 13, 2026

I have reviewed the Sketch Plat application submitted by FE AND SE INVESTMENTS LLC for a proposed seven (7)-lot subdivision. The applicant proposes to subdivide the subject property into seven (7) residential parcels ranging in size from approximately 13,154 square feet to 37,654 square feet.

The subject property is located in the 600 Block of Third Street and is identified as Parcel No. 149N-0-30-238.001, legally described as PT 214, 4th Ward, Bay St. Louis. The property is currently zoned R-1 (Single-Family Residential) District and R-2 (Two-Family Residential) District.

It should be noted that the City of Bay St. Louis Subdivision Regulations do not permit private streets within subdivisions. However, the developer has expressed interest in maintaining the proposed streets as private roads. The Planning and Zoning Commission could approve the Sketch Plat with a recommendation that the developer construct all streets and infrastructure to City standards while allowing the streets to remain private. In that case, the property owners would be responsible for maintaining the streets and utilities, and they would have the authority to restrict access to the roads.

Approval of the Sketch Plat would allow the applicant to proceed to the Preliminary Plat stage. At that time, a construction document will be submitted to Bay St Louis.

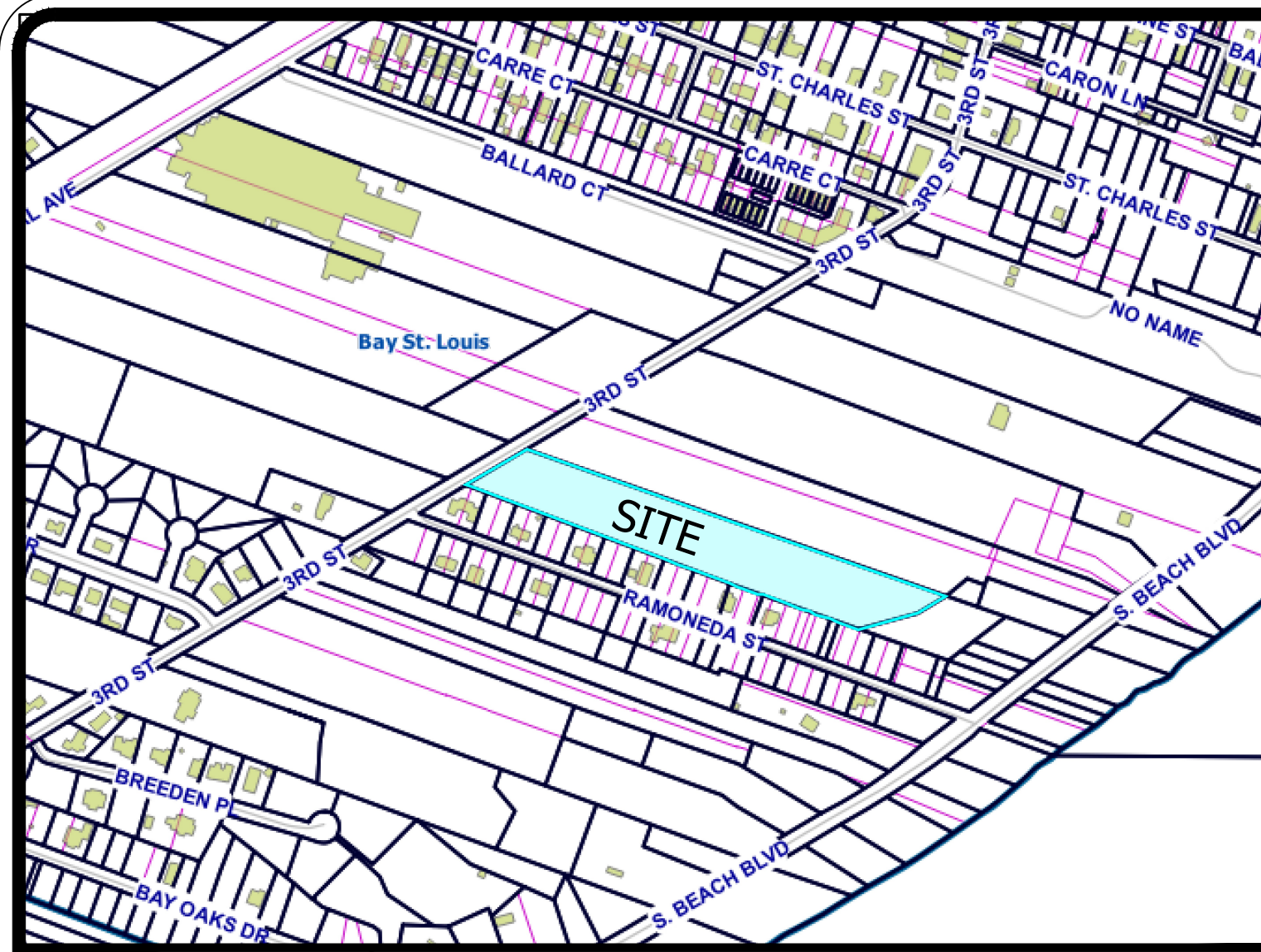
The administration recommends **approval** of the submitted Sketch Plat.

- All parcels are excess the minimum parcel size
- All streets are to be private, but easements to the City of Bay St Louis are recorded on the final plat

Please do not hesitate to contact my office with any questions or requests for additional information.

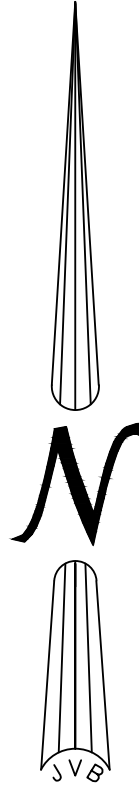
Respectfully submitted,

Jeremy L. Burke
Zoning Administrator



VICINITY MAP
NOT TO SCALE

SKETCH PLAT FOR SUNSHINE CROSSING BAY ST. LOUIS, MISSISSIPPI



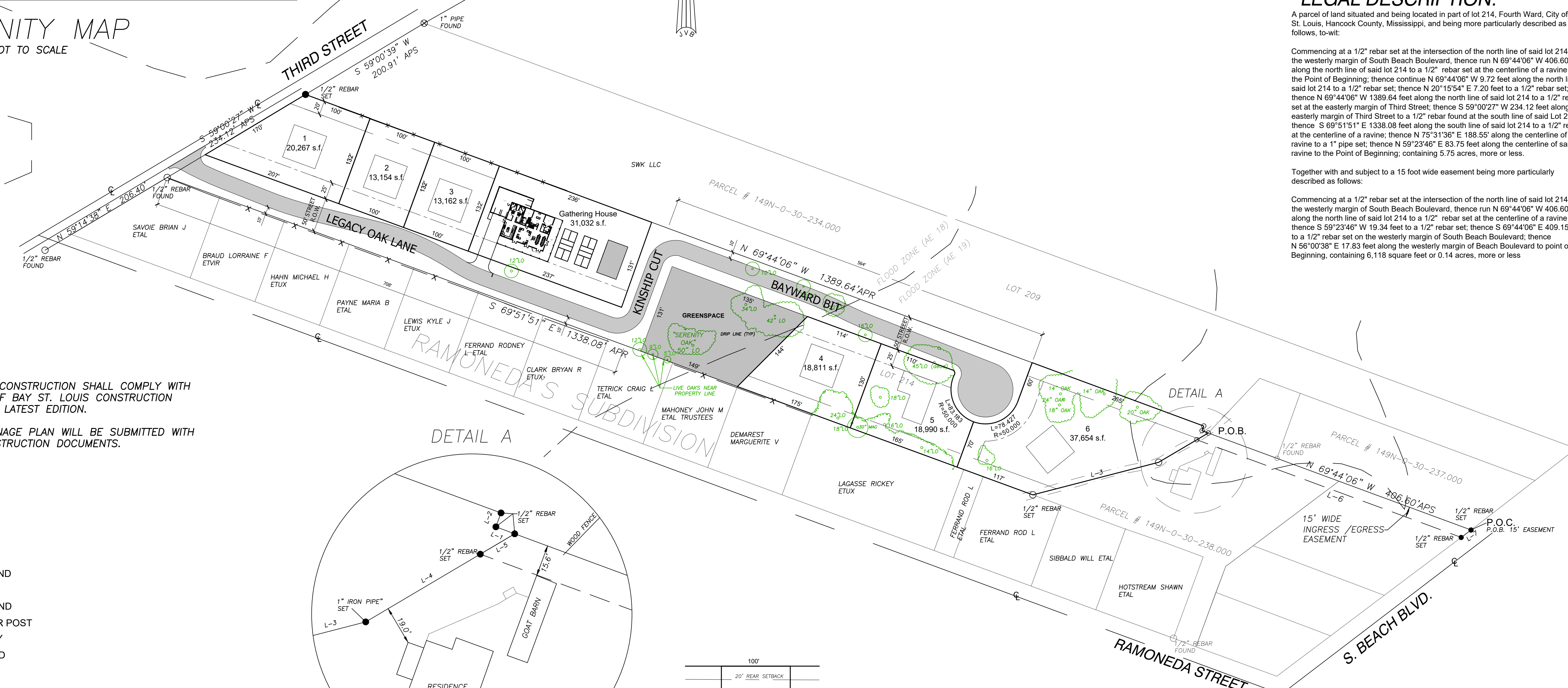
LEGAL DESCRIPTION:

A parcel of land situated and being located in part of lot 214, Fourth Ward, City of Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a 1/2" rebar set at the intersection of the north line of said lot 214 with the westerly margin of South Beach Boulevard, thence run N 69°44'06" W 406.60 feet along the north line of said lot 214 to a 1/2" rebar set at the centerline of a ravine and the Point of Beginning; thence continue N 69°44'06" W 9.72 feet along the north line of said lot 214 to a 1/2" rebar set; thence N 20°15'54" E 7.20 feet to a 1/2" rebar set; thence N 69°44'06" W 1389.64 feet along the north line of said lot 214 to a 1/2" rebar set at the easterly margin of Third Street; thence S 59°00'27" W 234.12 feet along the easterly margin of Third Street to a 1/2" rebar found at the south line of said Lot 214; thence S 69°51'51" E 1338.08 feet along the south line of said lot 214 to a 1/2" rebar at the centerline of a ravine; thence N 75°31'36" E 188.55' along the centerline of said ravine to a 1" pipe set; thence N 59°23'46" E 83.75 feet along the centerline of said ravine to the Point of Beginning; containing 5.75 acres, more or less.

Together with and subject to a 15 foot wide easement being more particularly described as follows:

Commencing at a 1/2" rebar set at the intersection of the north line of said lot 214 with the westerly margin of South Beach Boulevard, thence run N 69°44'06" W 406.60 feet along the north line of said lot 214 to a 1/2" rebar set at the centerline of a ravine thence S 69°51'51" E 1338.08 feet along the south line of said lot 214 to a 1/2" rebar set at the westerly margin of South Beach Boulevard; thence N 56°00'38" E 17.83 feet along the westerly margin of Beach Boulevard to point of Beginning, containing 6,118 square feet or 0.14 acres, more or less



NOTE: ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF BAY ST. LOUIS CONSTRUCTION STANDARDS LATEST EDITION.
FINAL DRAINAGE PLAN WILL BE SUBMITTED WITH FINAL CONSTRUCTION DOCUMENTS.

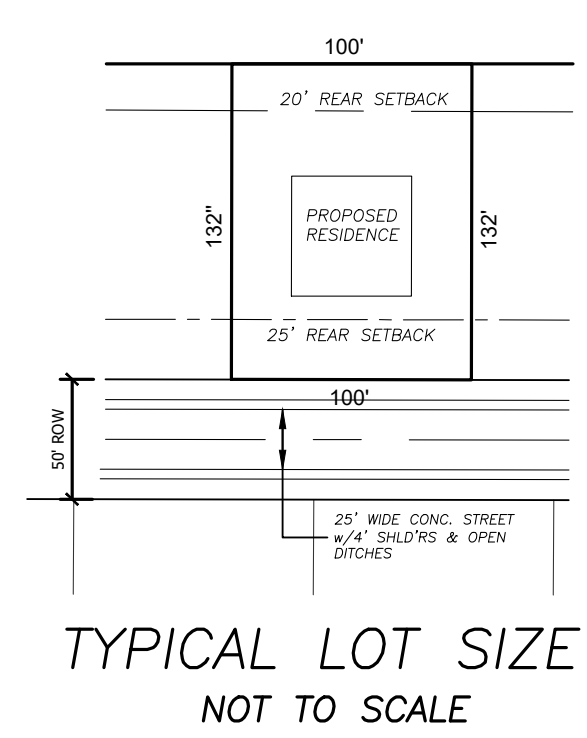
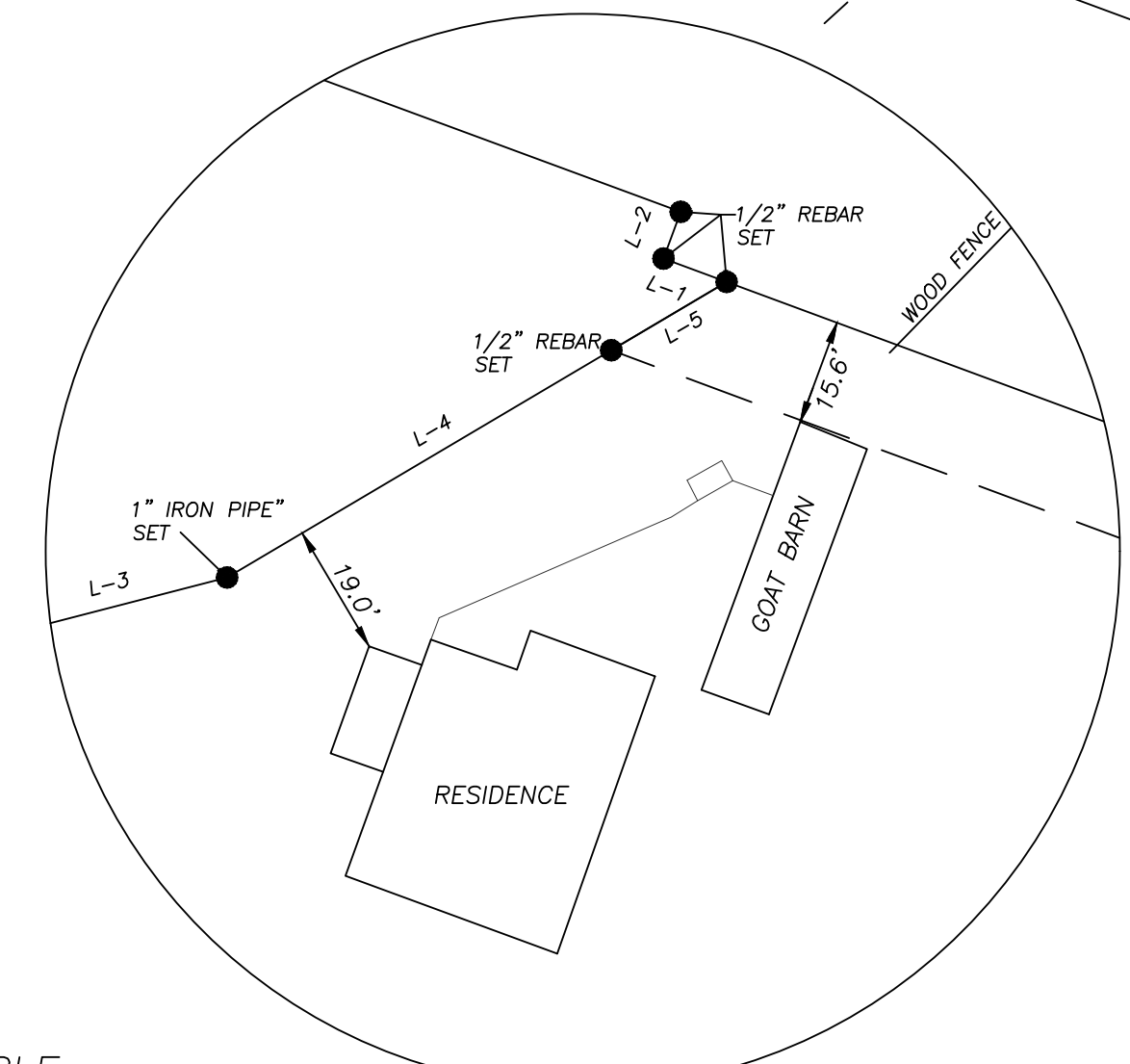
- LEGEND:**
- ⊕ CENTERLINE
 - IRON ROD FOUND
 - IRON ROD SET
 - ⊗ IRON PIPE FOUND
 - ⊕ FENCE CORNER POST
 - ⊕ AS PER SURVEY
 - APR AS PER RECORD

- REFERENCES:**
- 1) DEED BOOK 2014 PAGE 8863
 - 2) SURVEY BY GULF STATES ENGINEERING DATED 05-05-2017
 - 3) PLAT OF RAMONEDA'S S/D
 - 4) DEED BOOK BB161 PAGE 247
 - 5) DEED BOOK 2017 PAGE 13347
 - 6) DEED BOOK 210 PAGE 7409
 - 7) DEED BOOK 2019 PAGE 50

LINE TABLE

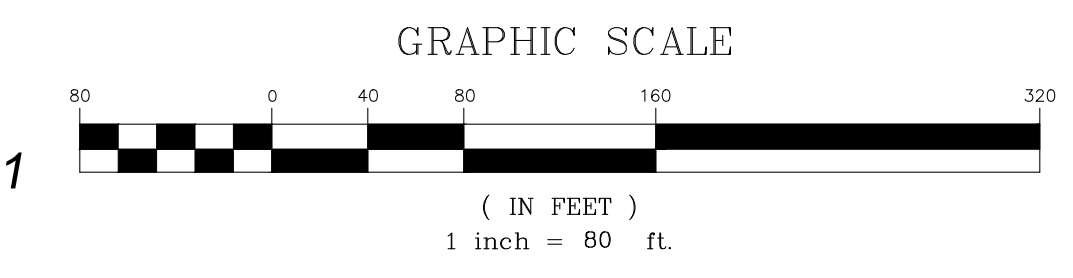
L-1	N 69°44'06" W	9.72'
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L-5	S 59°23'46" W	19.34'
L-6	S 69°44'06" E	409.15'
L-7	N 53°00'38" E	17.83'

NOTES:
By graphic plotting only, this parcel is located in Flood Zones VE (EL 23) and AE (EL 19) as per FEMA Map # 28045C-0354D, Effective Date Oct. 16, 2009



SKETCH PLAT FOR SUNSHINE CROSSING

BAY ST. LOUIS, MISSISSIPPI
OWNER: FE AND SE INVESTMENTS LLC
ADDRESS: 1137 JEFFERSON AVENUE,
NEW ORLEANS, LA. 70115
TOTAL ACRES-5.75±
TOTAL LOTS-7



PARCEL # 149N-0-30-238.001
5.75 ACRES ±

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL
1805 Shortcut Highway
Bridle, Louisiana 70428
E-mail: jvb@jvb.com
Phone: 985-648-0075 Fax: 985-648-0154

SKETCH PLAN FOR
SUNSHINE CROSSING
A PART OF LOT 214, FOURTH WARD,
CITY OF BAY ST. LOUIS,
HANCOCK COUNTY, MISSISSIPPI
DECLARATION IS MADE TO ORIGINAL PURCHASERS OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR
SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.
FE AND SE INVESTMENTS, LLC

SCALE:	1" = 80'
DATE:	04/01/2026
DRAWN BY:	CHECKED BY:
RMK	SMB
DWG. NO.	20260000
SHEET	C-1 OF 1

LAST PLOTTED: April 1, 2026
FILE: C:\Users\jvb\OneDrive\Desktop\20260000-BAY ST. LOUIS, MISSISSIPPI-2026-04-01-11-00-00.dwg



ELEVATION SURVEY

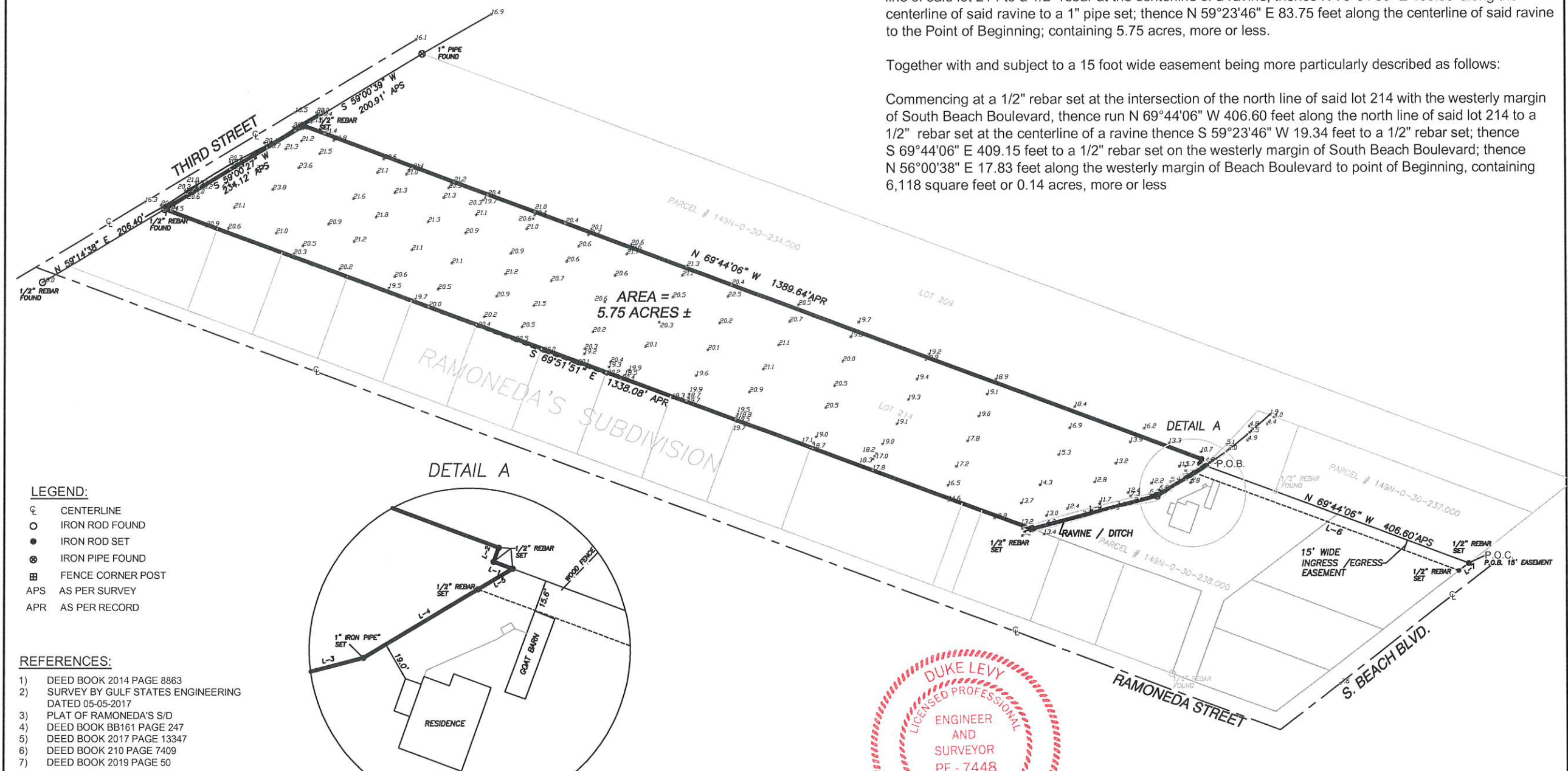
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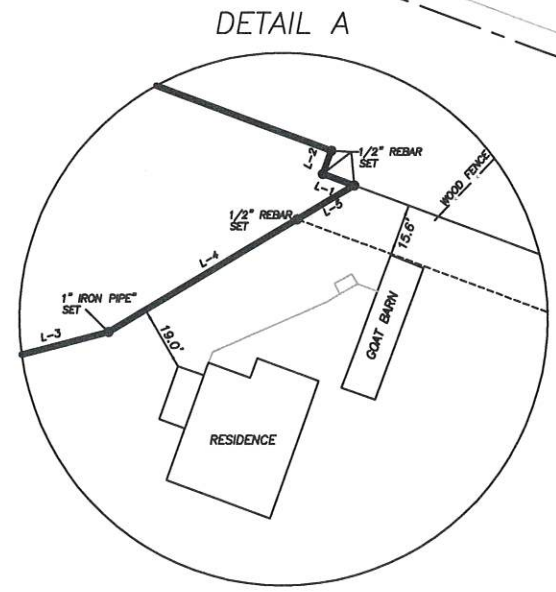


- LEGEND:**
- ⊙ CENTERLINE
 - IRON ROD FOUND
 - IRON ROD SET
 - ⊗ IRON PIPE FOUND
 - ⊕ FENCE CORNER POST
 - APS AS PER SURVEY
 - APR AS PER RECORD

- REFERENCES:**
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 - 4) DEED BOOK BB161 PAGE 247
 - 5) DEED BOOK 2017 PAGE 13347
 - 6) DEED BOOK 210 PAGE 7409
 - 7) DEED BOOK 2019 PAGE 50

NOTES:
By graphic plotting only, this parcel is located in Flood Zones VE (EL 23) and AE (EL 19) as per FEMA Map # 28045C-0354D, Effective Date Oct. 16, 2009

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. This survey meets Mississippi minimum requirements for a class "B" survey. Survey is valid only if print has original seal and signature of surveyor.



LINE TABLE

L-1	N 69°44'06" W	9.72'
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L-3	N 75°31'36" E	188.55'
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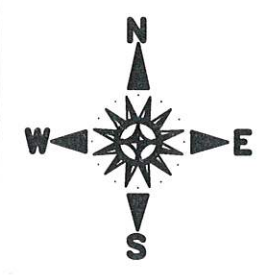
In consideration of the fee paid, I declare that this survey made by me or under my immediate supervision is true and correct to the best of my professional knowledge, information, and belief.

Duke Levy
Duke Levy, RLS #1722

DUKE LEVY & ASSOCIATES, P.A.
4412 LEISURE TIME DRIVE
DIAMONDHEAD, MS 39525
(228) 343-9691 PHONE

SCALE: NOT TO SCALE DATE: 06/17/2025
DRAWING: WO# 2023-087-E CLIENT: FRANK SCHMIDT

BEARINGS REFERENCED TO GEODETIC BY GPS OBSERVATIONS J.L.C.



BOUNDARY SURVEY

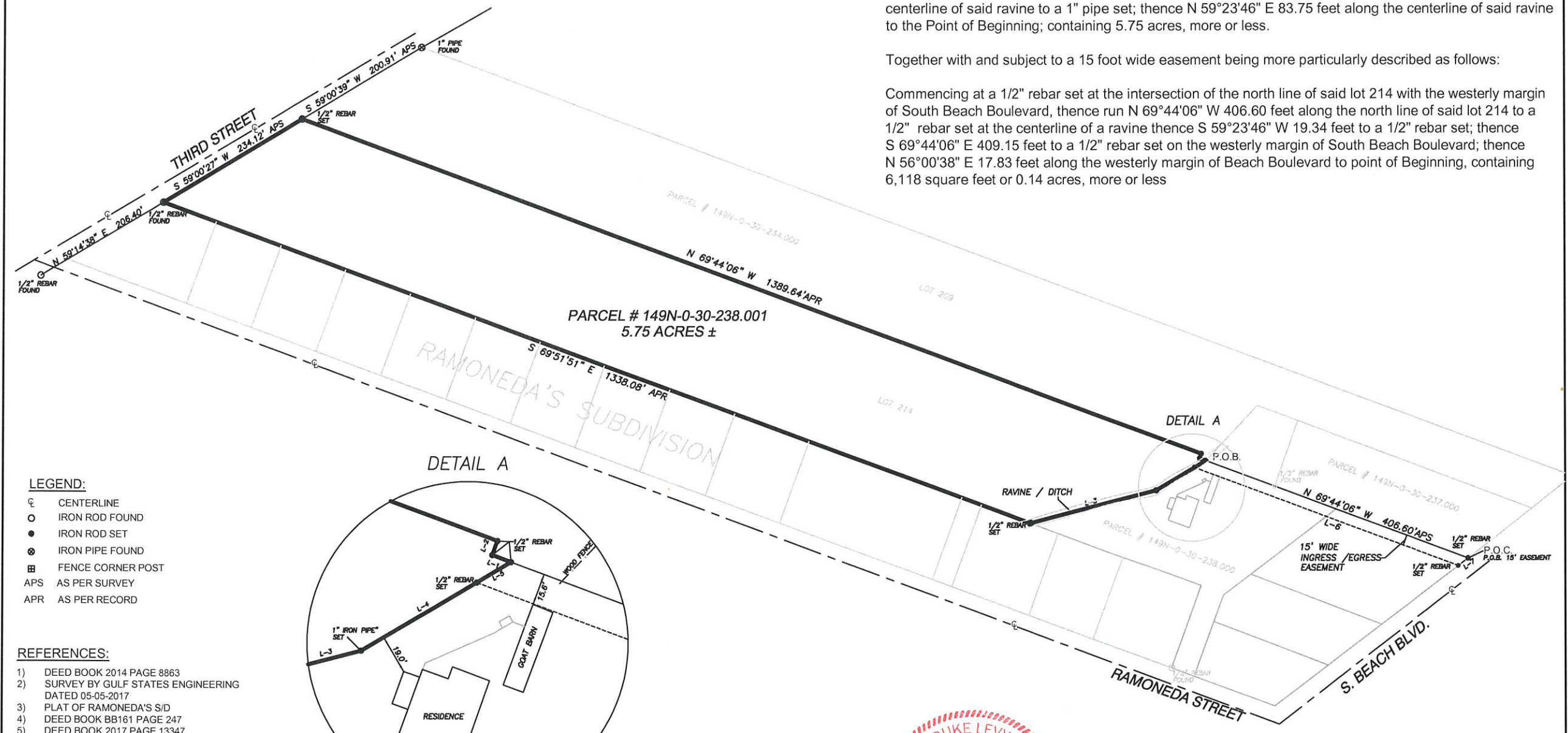
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LEGEND:

- ⊙ CENTERLINE
- IRON ROD FOUND
- IRON ROD SET
- ⊕ IRON PIPE FOUND
- ⊞ FENCE CORNER POST
- APS AS PER SURVEY
- APR AS PER RECORD

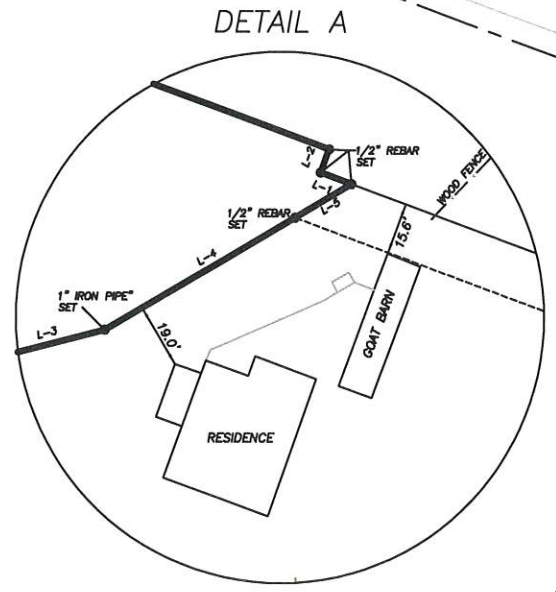
REFERENCES:

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- 2) SURVEY BY GULF STATES ENGINEERING DATED 05-05-2017
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- 4) DEED BOOK BB161 PAGE 247
- 5) DEED BOOK 2017 PAGE 13347
- 6) DEED BOOK 210 PAGE 7409
- 7) DEED BOOK 2019 PAGE 50

NOTES:

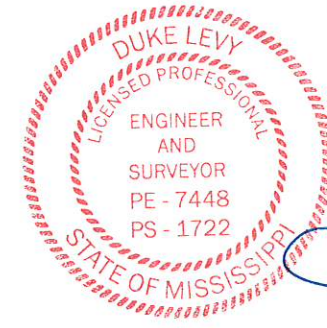
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L-6	S 69°44'06" E	409.15'
L-7	N 53°00'38" E	17.83'



In consideration of the fee paid, I declare that this survey made by me or under my immediate supervision is true and correct to the best of my professional knowledge, information, and belief.

Duke Levy, RLS #1722

DUKE LEVY & ASSOCIATES, P.A.

4412 LEISURE TIME DRIVE
DIAMONDHEAD, MS 39525
(228) 343-9691 PHONE

SCALE: *NTS* 1" = 100' DATE: 08-17-2023

DRAWING: WO# 2023-087 CLIENT: FRANK SCHMIDT

BEARINGS REFERENCED TO GEODETIC BY GPS OBSERVATIONS J.L.C.



Caitlin Bourgeois <cbourgeois@baystlouis-ms.gov>

Re: Concerns and Request for Additional Information Proposed Sunshine Crossing Subdivision

1 message

Marie Riccio <marie@officericcio.com>

Tue, May 5, 2026 at 4:31 PM

To: Jeremy Burke <jburke@baystlouis-ms.gov>, "cthompson@baystlouis-ms.gov" <cthompson@baystlouis-ms.gov>

jburke@baystlouis-ms.gov

Cc: cthompson@baystlouis-ms.gov

Subject: Concerns Regarding Sunshine Crossing Sketch Plat — Parcel 149N-0-30-238.001

[Redacted]

May 5, 2026

Bay St. Louis Planning and Zoning Commission
City of Bay St. Louis
Bay St. Louis, Mississippi

Re: Concerns and Request for Additional Information
Proposed Sunshine Crossing Subdivision
Parcel No. 149N-0-30-238.001
600 Block of Third Street
Applicant: FE AND SE Investments LLC

Dear Members of the Planning and Zoning Commission:

I am writing to express concerns and questions regarding the sketch plat application submitted by FE AND SE Investments LLC for the proposed Sunshine Crossing subdivision on parcel number 149N-0-30-238.001, located on the 600 Block of Third Street. As I may not be able to appear on May 13, 2026 I wanted to make sure my questions are presented in writing, and included in your discussions, at least to the extent you think they are relevant.

My concern is not opposition to all development. My concern is that this particular sketch plat may create long-term impacts before the public has enough information to understand what is actually being approved. Approval at this stage may permanently affect drainage, traffic, privacy, buffering, development expectations, and neighborhood character. This request is one seeking further information – not an attempt to obstruct the project. I think approval or consideration should be continued until the questions are answered and then give the neighbors a change to weigh in.

As I understand the proposal, the applicant seeks sketch plat approval for a seven-parcel subdivision on approximately 5.75 acres, with proposed lot sizes ranging from approximately 13,154 square feet to 37,654 square feet. The property is zoned R-1 Single-Family Residential and R-2 Two-Family Residential.

My nearby residential lots are within 300 feet of the proposed subdivision. I have owned the property for two decades. Although my prior home there has not yet been built, I intend to construct a single-family residence on my property for my retirement to Bay St Louis. The homes around me are all single family residences so I believe my questions will probably be common to the other residents concerns as well. The fact that my home has not yet been constructed should not diminish the impact this proposal may have on my property rights, future use, drainage, privacy, access, quiet enjoyment, and the residential character of the area.

I am not opposed to responsible residential development. My concern is that this particular sketch plat appears premature and incomplete without additional information, safeguards, and clear conditions. Although the public materials identify the applicant, parcel number, total acreage, seven proposed lot sizes, general street layout, engineer, zoning districts, and certain ravine/easement references, they do not provide enough information regarding ownership control, contractor responsibility, home type and size, R-1/R-2 lot allocation, drainage calculations, traffic/access impacts, maintenance obligations, and long-term safeguards for nearby residential lots.

Before this sketch plat advances, I respectfully request that the Commission require the applicant to provide complete information and answer the following concerns on the record:

1. The applicant should identify the members, managers, principals, beneficial owners, and registered agent of FE AND SE Investments LLC. According to the Louisiana Secretary of State business filing records, FE AND SE Investments LLC is associated with Frank Schmidt and is managed by or through a Schmidt family member or brother. The applicant should be required to confirm on the record the full legal names of all members, managers, registered agents, beneficial owners, and affiliated persons or entities involved in this project.
2. The applicant should explain who is actually responsible for this subdivision, who will control the project, who will hire and supervise contractors, who will be responsible for drainage and infrastructure, who has authority to bind FE AND SE Investments LLC, and who will remain accountable after lots are sold.
3. The applicant should disclose whether Frank Schmidt, any Schmidt family member, any brother or related manager, or any affiliated LLC has developed, subdivided, owned, managed, or sold other residential subdivision projects in Mississippi or Louisiana.
4. The applicant should state whether any affiliated Schmidt family entities or related LLCs will later own, develop, sell, lease, or manage the lots. Rather is this to be re sold to a another company once built?
5. The applicant should state whether it has prior experience developing residential subdivisions. If so, it should identify those projects, including their locations, size, status, and whether there have been any drainage, infrastructure, road, maintenance, permitting, or compliance issues. Nearby property owners should not be left guessing whether this applicant has experience constructing and maintaining subdivision infrastructure.
6. The applicant should identify the contractor or contractors who will perform the road construction, grading, drainage work, utility installation, site preparation, and other infrastructure work.
7. The applicant should explain the intended use of each proposed lot. The public materials identify lot sizes, but do not clearly disclose the type or size of homes or structures to be built.
8. The applicant should state whether the lots are intended for single-family detached homes only, duplexes, rental units, condominiums, short-term rentals, accessory dwelling units, guest houses, shared facilities, or another ownership or occupancy structure.
9. If the applicant affirms it intends single-family homes only, that limitation should be made an express condition of approval.
10. The applicant should clarify whether this is a condominium project, a fee-simple single-family subdivision, an HOA development, or another form of common ownership.
11. The agenda appears to describe the project as a seven-parcel subdivision, not a condominium project. However, because the property includes R-2 Two-Family Residential zoning, the Commission should require the applicant to state clearly whether any duplexes, condominiums, shared facilities, rental structures, or common ownership arrangements are contemplated.
12. The sketch plat identifies proposed lot sizes and appears to show at least one conceptual structure or gathering-house area, but it does not clearly disclose the intended size, height, footprint, number of bedrooms, number of units, parking, lot coverage, or impervious surface for each proposed lot. Does this indicate a condominium project?
13. Seven large homes, seven duplexes, or seven rental structures would each have different impacts on traffic, drainage, parking, privacy, lighting, and neighborhood compatibility.
14. The applicant should identify which proposed lots are located in R-1 zoning and which are located in R-2 zoning.
15. The applicant should demonstrate that each proposed lot complies with the applicable zoning district's requirements for lot area, frontage, width, setbacks, use, access, height, parking, and lot coverage.

16. **The Commission should not approve a layout that blurs the transition between R-1 and R-2 zoning without clear safeguards for nearby single-family residential lots.**
17. The applicant should provide a complete drainage, stormwater, grading, and runoff analysis prepared by a qualified engineer.
18. The public materials reference ravine or drainage features, and the proposed subdivision will likely create new impervious surfaces. Although the plat indicates that a final drainage plan will be submitted with final construction documents, nearby property owners need assurance at this stage that runoff will not be redirected, concentrated, or intensified onto neighboring properties, including my lots where I intend to build a single-family home.
19. The applicant should provide detailed information about any easements, ravines, drainage areas, common areas, private roads, shared infrastructure, or maintenance obligations.
20. The Commission should require a clear explanation of who will own, maintain, inspect, repair, and pay for these features after the subdivision is approved and lots are sold.
21. The applicant should provide a traffic, access, parking, and emergency-access analysis.
22. The proposal appears to include new internal streets and infrastructure. A general statement that streets will meet City standards is not enough. The applicant should show that the proposed layout is safe for residents, emergency vehicles, delivery vehicles, utility vehicles, garbage collection, pedestrians, and surrounding property owners.
23. **The applicant should explain whether mature trees, natural drainage features, and open space will be preserved.**
24. If mature trees, natural drainage features, or open space will not be preserved, the applicant should explain the visual and other effect of clearing, grading, and increased impervious surface on stormwater, neighborhood character, heat, privacy, and the surrounding residential area.
25. The applicant should identify whether any other sites within the same R-1 or R-2 zoning categories are better suited for this type of subdivision.
26. The issue is not whether residential development is allowed somewhere in the zoning district. The issue is whether this specific seven-lot layout is appropriate for this specific property, given its proximity to planned single-family homes, drainage/ravine concerns, new internal street construction, easement questions, and the transition between R-1 and R-2 zoning.
27. Other similarly zoned sites may accommodate residential development with fewer adverse impacts.
28. The applicant should explain whether it considered less intensive alternatives, including fewer lots, larger buffers, single-family-only restrictions, no duplexes, no condominium conversion, reduced impervious surface, preservation of natural drainage areas, or a layout with fewer impacts on nearby residential properties.

If the Commission decides to allow the sketch plat to move forward, I respectfully request that any approval include the following conditions:

1. The development shall be limited to **single-family detached homes only**, unless a future change is separately noticed and approved after public hearing.
2. **No condominium conversion, duplex development, short-term rental use, accessory dwelling units, shared rental structures, or increased density shall be allowed without separate public notice and Commission review.**
3. The applicant shall identify the members, managers, registered agent, beneficial owners, and responsible construction and maintenance parties for FE AND SE Investments LLC.
4. The applicant shall identify the contractor or contractors responsible for infrastructure work and provide proof of Mississippi licensing, bonding, insurance, and qualifications.
5. The applicant shall provide engineer-stamped drainage, stormwater, grading, and runoff calculations before preliminary plat or final plat approval.
6. There shall be no increase in runoff, redirected drainage, or concentrated flow onto neighboring properties.
7. The applicant shall identify which lots are R-1 and which are R-2 and demonstrate full compliance with all applicable zoning requirements for each lot.
8. **The applicant shall disclose maximum home size, height, building footprint, lot coverage, impervious surface area, parking, and number of bedrooms for each lot.**
9. The applicant shall provide enhanced buffering, landscaping, and privacy screening along areas affecting nearby single-family residential lots.
10. Mature trees and natural drainage features shall be preserved where feasible.

11. Lighting shall be residential in character, shielded, downward-facing, and designed to avoid glare onto neighboring properties.
12. Construction hours shall be limited to reasonable daytime hours.
13. The applicant shall provide a traffic, access, emergency-vehicle, and street-design review before preliminary plat or final plat approval.
14. The applicant shall identify who will own, maintain, repair, and pay for roads, drainage infrastructure, easements, and any common areas.
15. No future variances from density, setbacks, height, parking, lot coverage, use, or frontage requirements shall be granted without separate mailed notice to nearby property owners and a new public hearing.

For these reasons, I respectfully request that the Commission require the applicant to provide complete information and enforceable safeguards before the sketch plat advances. At minimum, the applicant should be required to answer the questions and concerns above on the record before any approval is granted.

Respectfully submitted,

Marie Riccio

Proposed Sunshine Crossing subdivision -- Some questions and potential concerns

1 message

Brian Savoie

TO: Planning and Zoning Commission, City of Bay St. Louis, c/o C. Bourgeois and J. Burke

RE: Proposed Sunshine Crossing subdivision, #149N-0-30-238.001

My wife, Sabine, and I have been part-time residents since March 2005. Our home is at 399 Ramonda Street, at the corner of Third Street, adjacent to the proposed development. We have seen a lot of change (some good, some not) in the last 20 years, and we have seen many proposals for development.

I like the overall concept of Sunset Crossing:

- A family development of 5.8 acres. To me, BSL is about family; so it could be a good, if this is developed and kept as a family property.
- 7 parcels ranging in size from 0.3 to 0.85 acre, plus street, greenspace, setbacks, etc.
- 6 single-family homes and a "gathering house" with tennis courts and swimming pool.

I do have some questions and potential concerns about the details, so please add these to the record:

1. The proposal seems to include 6 houses, plus a "gathering" house, 2 tennis courts and swimming pool. Is this correct?
2. What laws apply to a "gathering house"? – Is it a residence, a private club, a house of worship, a garconiere, etc.? What laws will apply?
3. How can they build a new, full-sized "private street" 10 feet from our rear property line? This puts our home into an "alley" between two streets, one to which we have no access. FYI, we have a driveway on Third St that would be very close to this proposed street. The location of their proposed street seems rather awkward and tight. If it truly is to be family compound, then I think they should have only a driveway. If their diagrams showed the actual homes and other elements that already exist on Ramoneda Street, I think you would get a better representation of how the proposed develop fits or does not fit.
4. This road provides direct, easy access to our back fence – creating noise, car lights, rainwater management and security issues.
5. The amount of land coverage could be a problem, based on BSL's current requirements for land coverage and the fact that driveways and parking areas currently DO NOT COUNT as coverage. What will prevent flooding from more hardscape such as new roadway and large concrete foundations, driveways, parking areas, etc?
6. What allowances for drainage will be made?
7. Will they be allowed to raise the level of the natural ground? I hope not. If a few feet of elevation are needed, then they should raise the houses a few feet, not the ground under them.
8. FYI, some kind of natural underground drainage runs from the FE & SE lot along the beach-facing side of our lot to the Ramoneda ditch. It is always wet there.
9. Need to make sure that no further subdividing is allowed.
10. Will this truly be a family property and how long do we know that it will stay this way?
11. No short-term rentals should be allowed. The potential of some group renting out the whole development is a bit frightening.

I will not be able to attend the meeting on 5/13 at 5:30 pm.

Thanks for your consideration.

Brian

Brian Savoie

TO: Planning and Zoning Commission
City of Bay St. Louis

RE: • 136N-1-37-025.001 (PT E CARVER CLAIM 37-8S-14W)
• 136N-2-42-085.001 (PT J B LARDASSE CLAIM 42-8S-14W)
• 136N-2-42-085.002 (PT J B LARDASSE CLAIM)

Meeting Date: May 13, 2026

I have reviewed the Sketch Plat application submitted by GREYSTONE DEVELOPMENT for a proposed subdivision located at 1839 Blue Meadow Road. The applicant proposes to create four (4) single-family residential parcels and three (3) condominium parcels within an existing Special Use District.

The subject property consists of the above-referenced parcels and lies entirely within a Special Use District that was approved in March 2026. The submitted Sketch Plat indicates that the proposed subdivision will comply with the standards established for the Special Use District.

The four proposed single-family residential parcels provide for:

- Minimum road frontage of 48.26 feet along Blue Meadow Road
- Minimum lot size of 12,893 square feet
- Front yard setback of twenty (20) feet
- Side yard setback of eight (8) feet
- Rear yard setback of twenty (20) feet

The three proposed condominium parcels provide for:

- Minimum road frontage of 69 feet along Blue Meadow Road
- Minimum lot size of 44,727 square feet
- Front yard setback of twenty (20) feet
- Side yard setback of eight (8) feet
- Main channel setback of twenty (20) feet
- Rear yard setback of zero (0) feet at man-made canals

It should be noted that approval of the Sketch Plat allows the applicant to proceed to the Preliminary Plat stage. At that time, a comprehensive and detailed review will be required to ensure compliance with the current Subdivision Ordinance and all applicable City of Bay St. Louis standards.

The administration recommends **approval** of the submitted Sketch Plat for the proposed Greystone Development subdivision.

Jeremy L. Burke
Zoning Administrator

Bay St. Louis Sketch Plat Application

Submitted by:
Jeff St. Romain
jeff@greystonedg.com

Online Request #: APP-1691

Project #: PZ-2026-26

Location: **1839 Blue Meadow Rd**

City: **Bay St. Louis** State: **MS** Zip: **39520**

Contact Information

Applicant's Contact Information			
Title:	First Name: <u>Jeff</u>	Last Name: <u>St. Romain</u>	Suffix:
Business Name: <u>Greystone Development Group, LLC</u>			
Mailing Address: <u>98 Bayou Perez dr</u>			
City: <u>Madisonville</u>	State: <u>LA</u>	Zip: <u>70447</u>	
Email Address: <u>jeff@greystonedg.com</u>			
Cell Phone: <u>(985) 807-6807</u>	Work Phone:	Home Phone:	
Property Owner's Contact Information			
Title:	First Name: <u>_</u>	Last Name:	Suffix:
Business Name:			
Mailing Address:			
City:	State: <u>_</u>	Zip:	
Email Address:			
Cell Phone:	Work Phone:	Home Phone:	



You can complete this application and view updates online at [MGO Connect](#)

Application Questionnaire (* denotes required question)

Sketch Plat

Tax Parcel Number(s) * 136N-1-37-025.001, 136N-2-42-085.001, 136N-2-42-085.002

General Location of Property Involved * 1839 Blue Meadow Rd. Bay St. Louis, Ms. 39520

See Article III Section 301 (Procedure for Approval of the Sketch Plat) in the Subdivision Regulations of City Bay St. Louis, Mississippi

Documents Uploaded

The following documents are attached to the Application.

Proposed Subdivision **2 units - blue meadow rd..pdf**

Sketch Plat **2 units - blue meadow rd..pdf**



You can complete this application and view updates online at [MGO Connect](#)

THE TIDES

CONDOMINIUMS

CONCEPTUAL LAYOUT
 TOTAL DWELLING UNITS - 32 DWELLING UNITS
 (4) SINGLE FAMILY DWELLING SITES
 (3) CONDO SITES

LOTS 1-4
 SINGLE FAMILY DWELLING LOTS
 FRONT YARD SETBACK: 20'-0"
 SIDE YARD SETBACK: 8'-0"
 REAR YARD SETBACK: 20'-0"

MINIMUM ROAD FRONTAGE AT 48.26' ON BLUE MEADOW ROAD - MINIMUM LOT SIZE OF APPROXIMATELY 12,893.87 S.F.

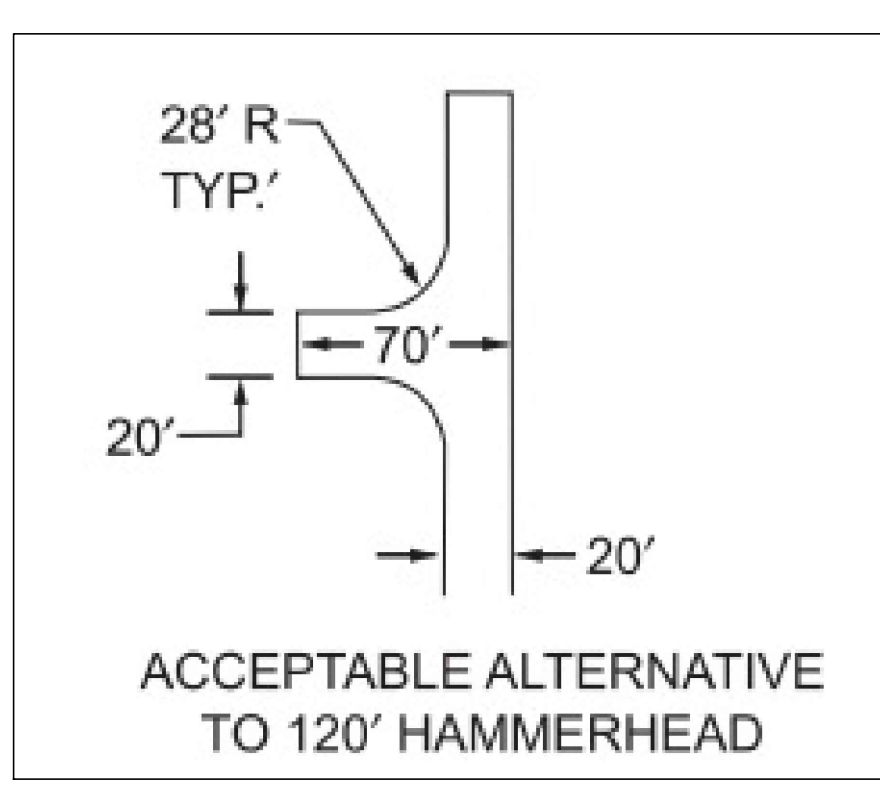
LOTS 5-7
 CONDO LOTS

FRONT YARD SETBACK: 20'-0"
 SIDE YARD SETBACK: 8'-0"
 MAIN CHANNEL SETBACK: 20'-0"
 REAR YARD SETBACK: 0'-0" AT MANMADE CANALS

PROPOSED DRIVES - 25'-0"
 IFC FIRE APPARATUS TURN AROUND - WITHIN 150 FEET FROM DRIVE ENDING

MINIMUM ROAD FRONTAGE AT 69.00' ON BLUE MEADOW ROAD - MINIMUM LOT SIZE OF 44,727.58 S.F. THAT INCLUDE THE AREA OF THE MANMADE CANALS

LOT 5 - PROPOSED 6 UNITS
 LOT 6 - PROPOSED 10 UNITS
 LOT 7 - PROPOSED 12 UNITS



SUBJECT PROPERTY LIES WITHIN ZONES AE (EL 19) AND VE (EL 20) FLOOD ZONES PER FEMA PANEL 28045C0353D DATED OCTOBER 16, 2009.

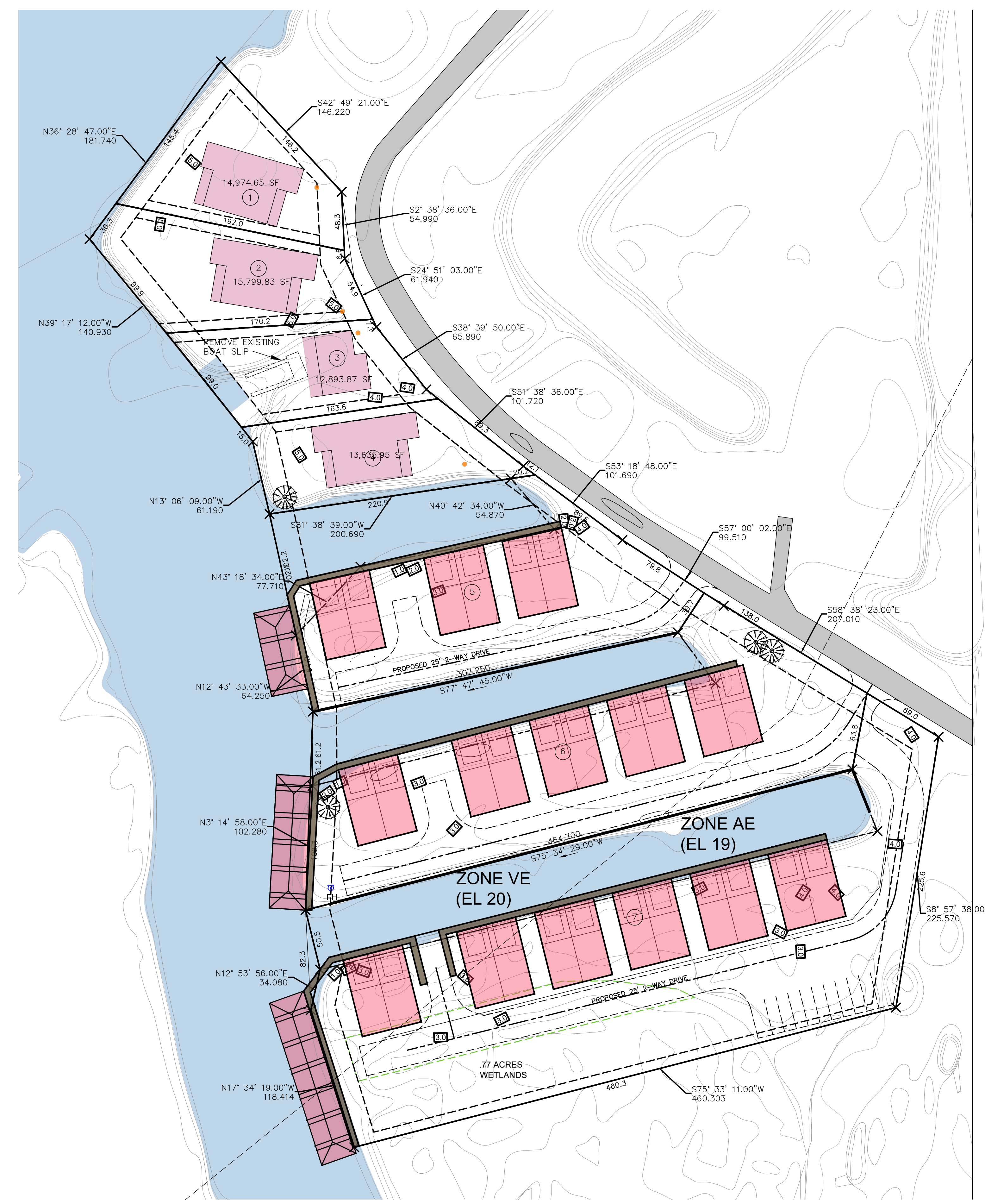
NOTE: ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF BAY ST. LOUIS STANDARDS LATEST EDITION

NOTE: FINAL DRAINAGE PLAN WILL BE SUBMITTED WITH FINAL CONSTRUCTION DOCUMENTS.



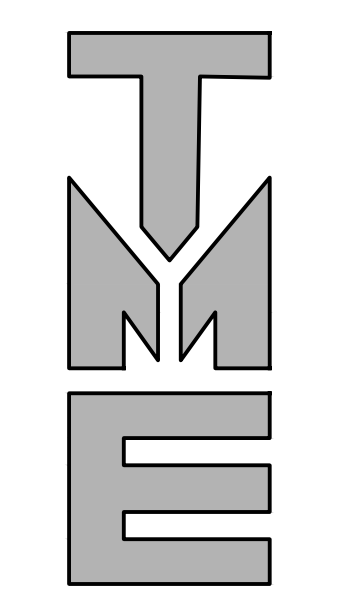
VICINITY MAP

N.T.S.

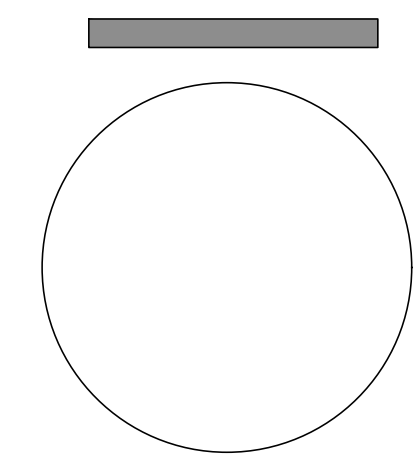


PROPOSED SITE PLAN

N.T.S.



TERRY MORAN
 ENGINEERING
 P.O. BOX 4075
 BILOXI, MS 39535
 PH 228.896.4733
 FAX 228.896.6768
 TERRY MORAN,
 P.E., P.L.S.



REV#	DATE	REVISION

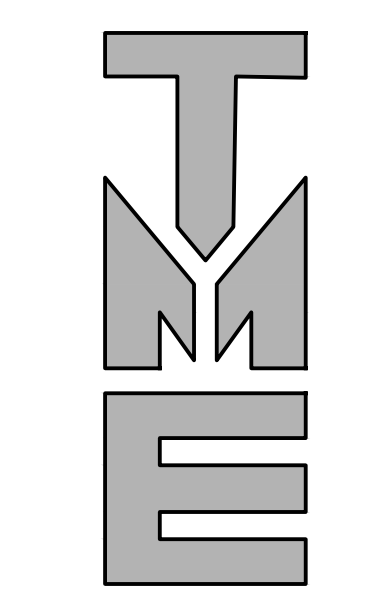
BLUE MEADOW ROAD -
 THE TIDES
 PROPOSED SITE PLAN

DRAWN BY:
 OCH
 DRAWING BY:
 T.M.

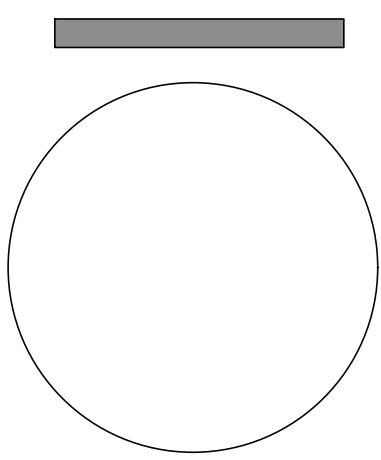
SP1

THE TIDES

CONDOMINIUMS



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FAX 228.896.6768
TERRY MORAN,
P.E., P.L.S.



REV#	DATE	REVISION

BLUE MEADOW ROAD -
THE TIDES
PROPOSED LOT LAYOUT

DRAWN BY:
OCH
DRAWING BY:
TJM
SP2

SUBJECT PROPERTY LIES WITHIN ZONES AE (EL 19) AND VE (EL 20) FLOOD ZONES PER FEMA PANEL 28045C0353D DATED OCTOBER 16, 2009.

NOTE: ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF BAY ST. LOUIS STANDARDS LATEST EDITION
NOTE: FINAL DRAINAGE PLAN WILL BE SUBMITTED WITH FINAL CONSTRUCTION DOCUMENTS.

SKETCH PLAT FOR THE TIDES

- (4) SINGLE FAMILY DWELLING SITES
- (3) CONDO SITES

LOTS 1-4

SINGLE FAMILY DWELLING LOTS

- FRONT YARD SETBACK: 20'-0"
- SIDE YARD SETBACK: 8'-0"
- REAR YARD SETBACK: 20'-0"

MINIMUM ROAD FRONTAGE AT 48.26' ON BLUE MEADOW ROAD - MINIMUM LOT SIZE OF APPROXIMATELY 12,893.87 S.F.

LOTS 5-7
CONDO LOTS

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- REAR YARD SETBACK: 0'-0" AT MANMADE CANALS

PROPOSED DRIVES - 25'-0"
IFC FIRE APPARATUS TURN AROUND - WITHIN 150 FEET FROM DRIVE ENDING

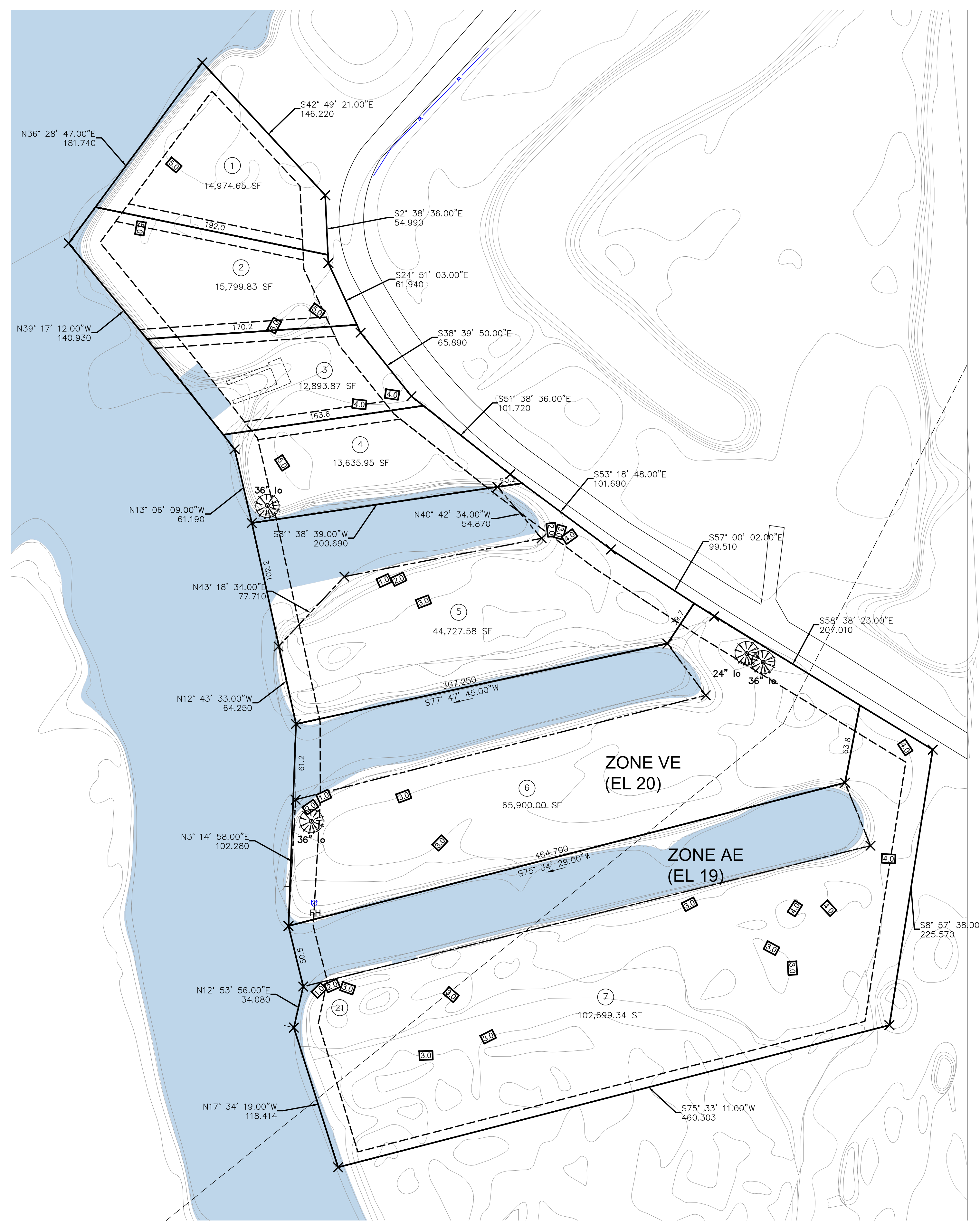
MINIMUM ROAD FRONTAGE AT 69.00' ON BLUE MEADOW ROAD - MINIMUM LOT SIZE OF 44,727.58 S.F. THAT INCLUDE THE AREA OF THE MANMADE CANALS

- LOT 5 - PROPOSED 6 UNITS
- LOT 6 - PROPOSED 10 UNITS
- LOT 7 - PROPOSED 12 UNITS



VICINITY MAP

N.T.S.

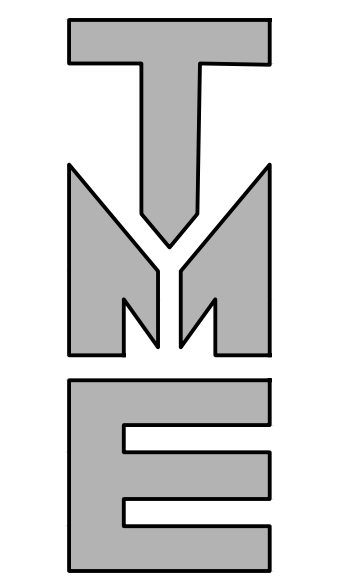


PROPOSED LOT LAYOUT

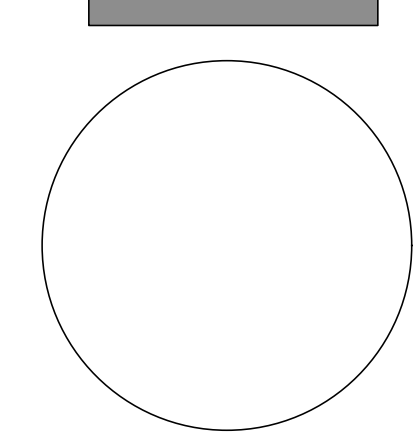
N.T.S.

THE TIDES

CONDOMINIUMS



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REV#	DATE	REVISION

BLUE MEADOW ROAD -
THE TIDES
PROPOSED UTILITY LAYOUT

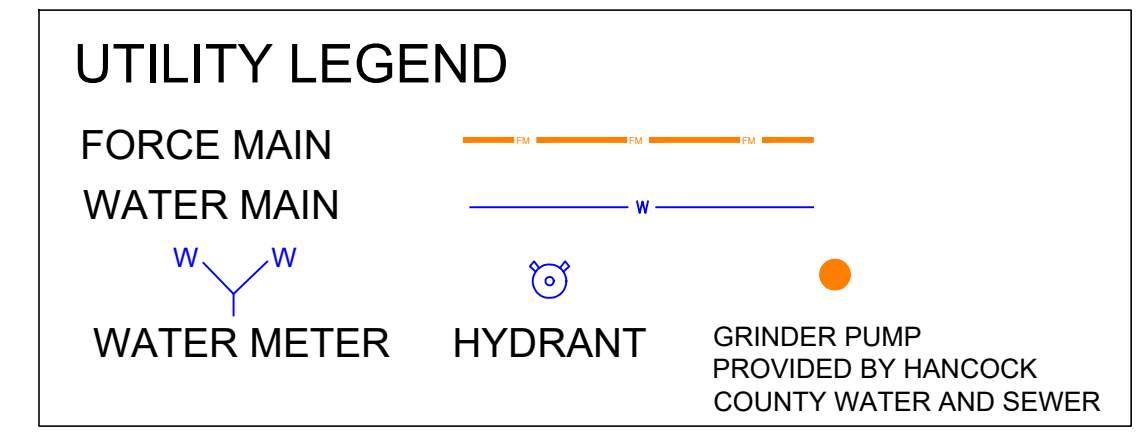
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OCH
DRAWING BY:
TJM
SP3

CONCEPTUAL LAYOUT
TOTAL DWELLING UNITS - 32 DWELLING UNITS
(4) SINGLE FAMILY DWELLING SITES
(3) CONDO SITES

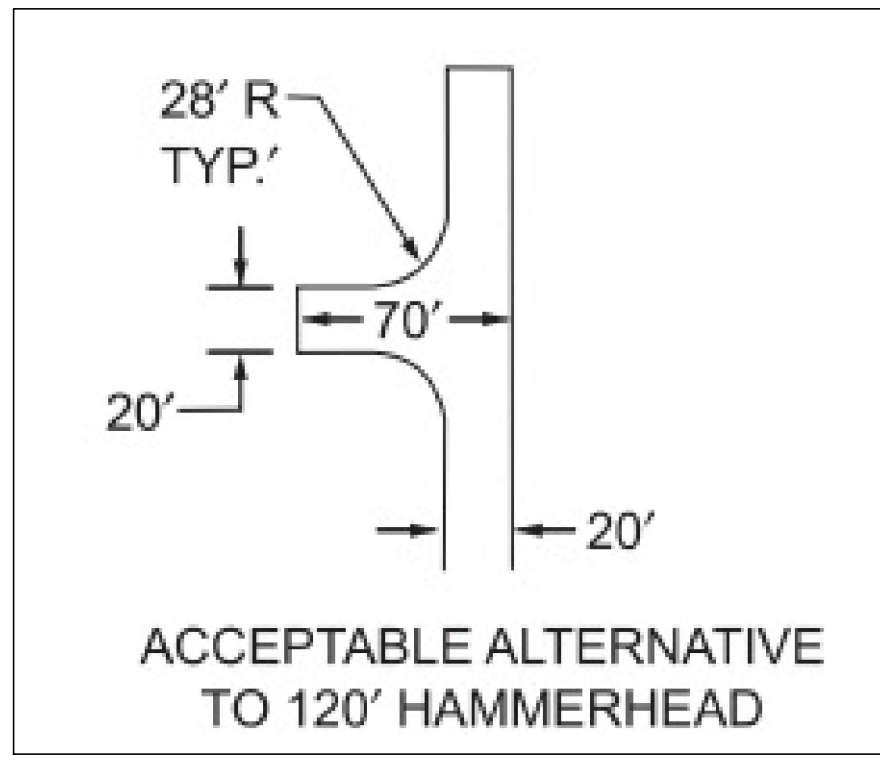
LOTS 1-4
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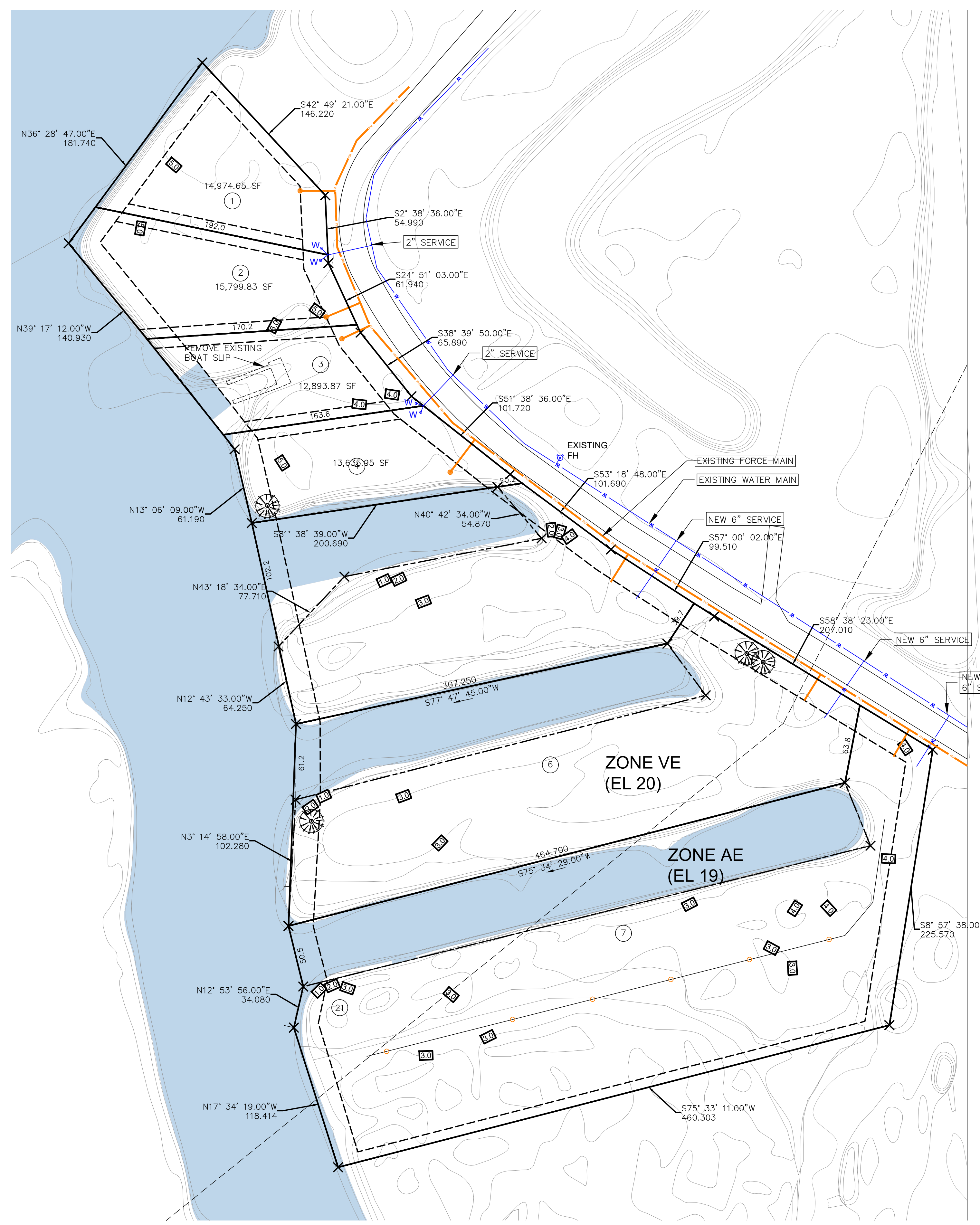
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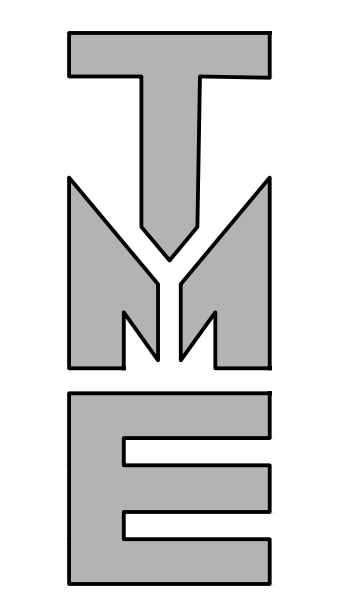


PROPOSED UTILITY LAYOUT

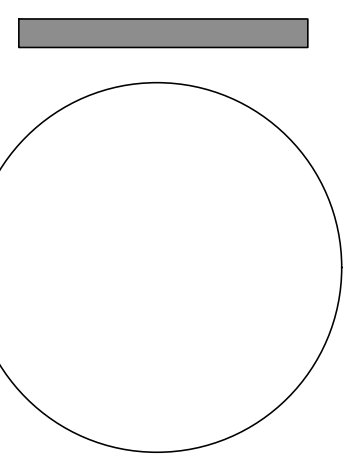
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THE TIDES

CONDOMINIUMS



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REV#	DATE	REVISION

BLUE MEADOW ROAD -
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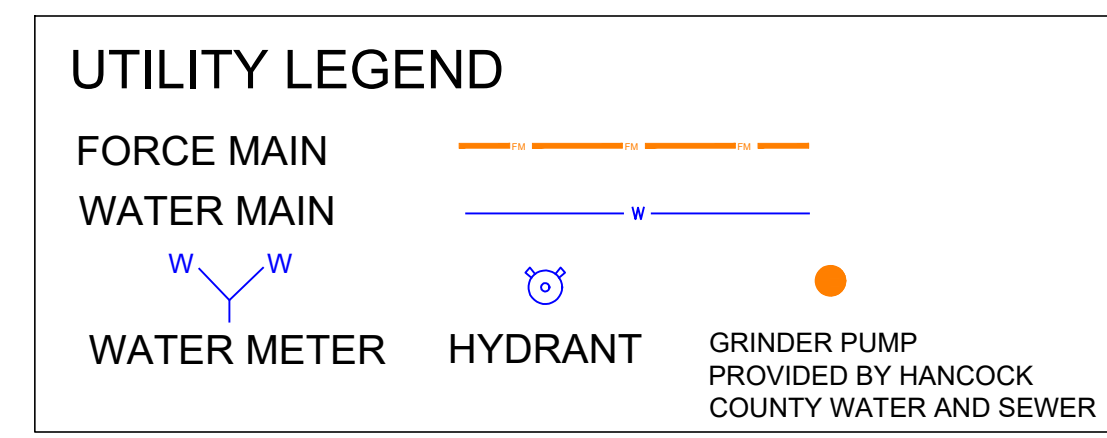
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OCH
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TJM
SP4

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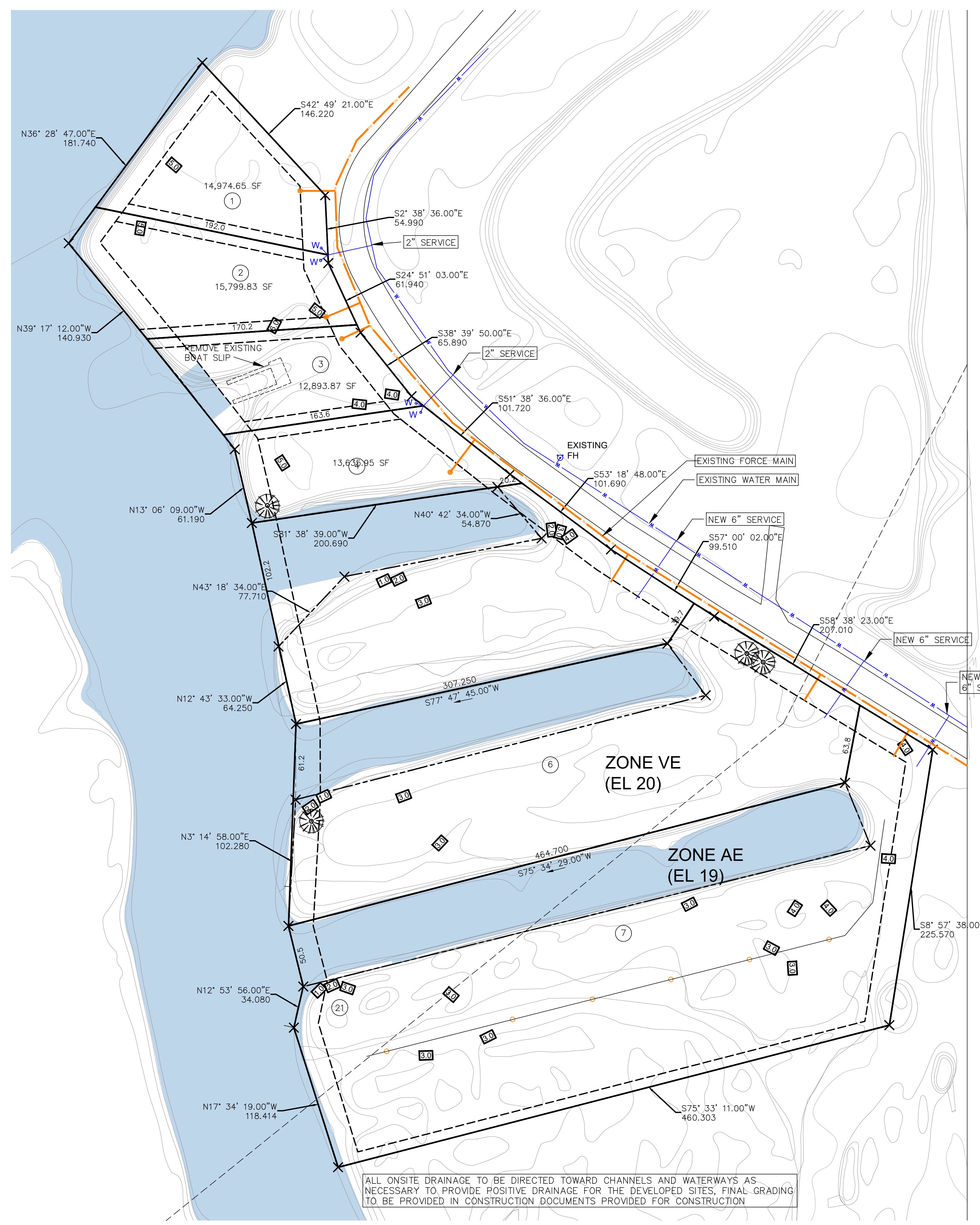
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SUBJECT PROPERTY LIES WITHIN ZONES AE (EL 19) AND VE (EL 20)
FLOOD ZONES - PER FEMA PANEL 28045C0353D DATED OCTOBER 16, 2009.



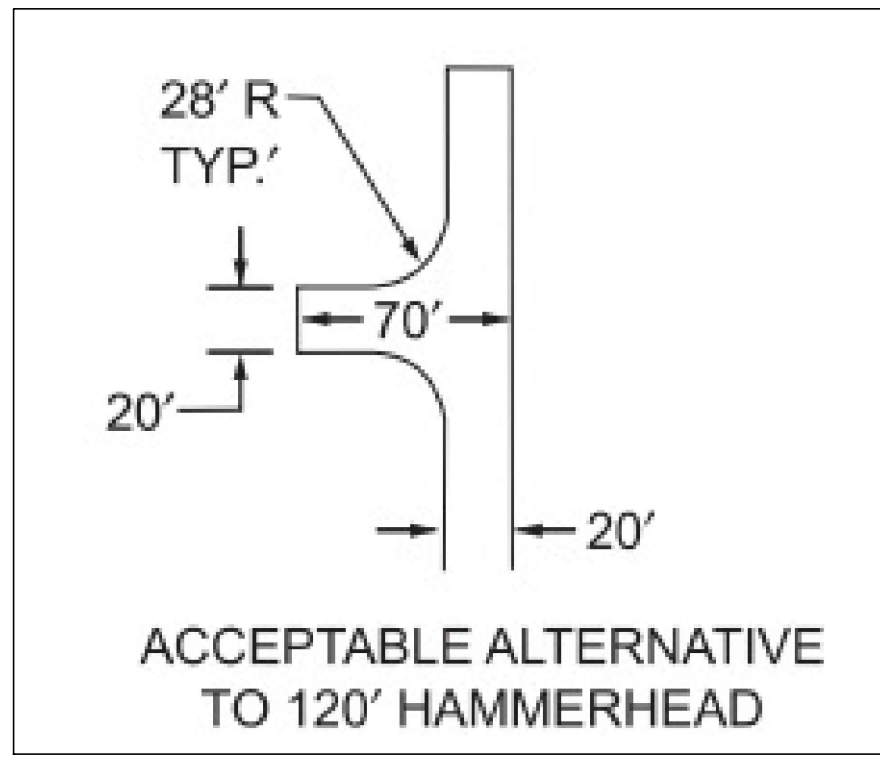
VICINITY MAP

N.T.S.



PROPOSED DRAINAGE PLAN

N.T.S.



TO: Planning and Zoning Commission
City of Bay St. Louis

RE: 3220 Longfellow Drive
Parcel: 138H-0-46-019.000
Legal Description: PT Guidon Toulme Claim, 46-8S-14W

HEARING DATE: May 13, 2026

I have reviewed the application for Special Exception submitted by Joel Lee. The property is located at 3220 Longfellow Drive and is zoned C-3 Highway Commercial.

Boat storage and warehouse storage are permitted uses by special exception in the C-3 Highway Commercial district. The applicant is requesting the following:

A special exception to allow boat storage and warehouse storage in the C-3 Highway Commercial district.

The administration recommends **denying** the special exception request.

- In April 2023, the Bay St. Louis Zoning Ordinance was amended, changing the status of mini storage and warehouse-type developments in the C-3 Highway Commercial District from a permitted use to a use allowed only by special exception.
- The proposed boat storage and warehouse storage facility may not be compatible with surrounding properties and the existing development pattern within the area.
- The City has received letters in opposition from neighboring property owners regarding the proposed use.
- If this special exception is approved, the proposed development will still be required to undergo site plan review.
- Although the parcel is zoned C-3 Highway Commercial, many of the properties in the surrounding area are residential houses
- The parcel's flood elevation would make it difficult to develop many commercial uses.

If I can be of any further assistance in this matter, please feel free to contact my office at (228) 466-5516.

Sincerely,

Jeremy L. Burke
Zoning Administrator

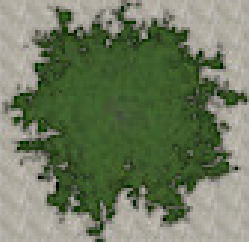
FIRST PHASE
3220 Longfellow Drive
Bay St. Louis MS

20 - 40'x13' Bays
Single Slop to Rear

Entrance

Chapman

10-13' Bays
Single Slope



Gravel

10-13' Bays
Single Slope

Entrance

Greenspace

Greenspace

6' Fence

LongFellow

To Whom It May Concern,

I am writing to express concern about the continued development of additional storage facilities along Longfellow Drive in Bay St. Louis.

There is already a noticeable concentration of storage buildings in this area, and it seems that the current supply adequately serves the community's needs. Further development of similar facilities risks creating an oversaturation that limits the potential for more balanced and beneficial growth.

Longfellow Drive is a visible and developing corridor with the opportunity to support a broader mix of businesses—ones that bring consistent traffic, support local entrepreneurs, and contribute to the overall character and appeal of the area. Additional storage units do not offer the same level of economic activity or community engagement as other types of development could.

I respectfully encourage the city to consider the existing number of storage facilities when reviewing future proposals and to prioritize development that enhances the local economy and better serves residents and visitors alike.

Thank you for your time and consideration.

Sincerely,

Elizabeth Jones



To Whom It May Concern,

I am writing to express my concern regarding the continued development of storage facilities along Longfellow Drive in Bay St. Louis.

At this point, there are already a significant number of storage buildings in this area, and the current level appears to meet — if not exceed — the needs of the community. Adding more of the same type of development risks oversaturating the corridor and limiting opportunities for more diverse, community-focused growth.

Longfellow Drive has the potential to support a wider mix of businesses that contribute to the local economy, encourage foot traffic, and enhance the character of the area. Continued expansion of storage facilities does not provide the same level of engagement, economic activity, or visual appeal as other types of development might.

I respectfully ask that future planning and zoning decisions for this area take into consideration the existing concentration of storage buildings and prioritize uses that better serve residents, small businesses, and the overall vibrancy of Bay St. Louis.

Thank you for your time and consideration.

Sincerely,

Kimberly Bonner

A handwritten signature in black ink, appearing to read 'Kimberly Bonner', with a long horizontal flourish extending to the right.

To Whom It May Concern,

I am writing as a property owner on Longfellow Drive in Bay St. Louis to express concern about the continued development of additional storage facilities in this area.

From my perspective, there is already a heavy concentration of storage buildings along this corridor, and the existing supply appears to be more than adequate. Continued expansion of this type of use raises concerns not only about oversaturation, but also about the long-term impact on surrounding property values and the overall direction of development in the area.

As a property owner, I am invested in seeing Longfellow Drive grow in a way that strengthens the local economy, supports active businesses, and enhances the character of the community. Storage facilities, while necessary in some cases, do not contribute to the same level of activity, visibility, or economic benefit as other types of commercial development.

I respectfully ask that the city carefully consider the current concentration of storage facilities when reviewing future proposals, and place greater emphasis on encouraging development that adds value to the area and supports a more balanced and sustainable growth pattern.

Thank you for your time and consideration.

Sincerely,
Susan Blue

A handwritten signature in cursive script that reads "Susan Blue".

City of Bay St. Louis Planning & Zoning Department,

I am writing as a resident of Bay St. Louis to share my concern about the continued development of additional storage facilities along Longfellow Drive.

There are already several storage buildings in this area, and it feels like the current number is more than enough for our community's needs. Adding more doesn't seem to serve residents in a meaningful way and instead takes up space that could be used for something more beneficial.

As someone who lives here, I care about how our town grows and what these areas become over time. Longfellow Drive has the potential to be a more active and welcoming part of Bay St. Louis—one with small businesses, shops, and places people actually enjoy visiting. More storage facilities don't contribute to that kind of environment or sense of community.

I respectfully ask the city to take a thoughtful approach when considering additional storage developments and to prioritize projects that better serve residents and enhance the character of our town.

Thank you for your time and consideration.

Sincerely,

Bob Williams



To Whom It May Concern,

I'm writing as a local community member to share a concern about the continued addition of storage facilities along Longfellow Drive in Bay St. Louis.

Right now, there are already several storage buildings in this area, and from what I can see, the current number is more than sufficient. Adding more doesn't seem to meet an urgent need—it just adds more of the same, without bringing much benefit to the surrounding community.

Longfellow Drive is in a position to become a more active, welcoming part of town. It has the potential to support small businesses, local makers, and places that people actually visit and spend time in. More storage units don't contribute to that kind of growth, and they don't help create the kind of environment that draws people in or supports neighboring businesses.

I hope the city will take a closer look at what's already here before approving additional storage developments, and consider encouraging projects that better reflect the character and future of Bay St. Louis.

Thank you for your time.

Sincerely,

Ryan Macaluso



City Council Members,

I am writing as a resident of Bay St. Louis to voice my concern about the continued development of storage facilities along Longfellow Drive.

It has become increasingly noticeable that this area already has a high number of storage buildings, and adding more feels excessive. While storage facilities have their place, too many in one corridor can limit the potential for other types of development that better serve the community.

As a resident, I would love to see Longfellow Drive grow into a more vibrant area with businesses and spaces that people can actively enjoy—places that bring life, activity, and opportunity to the neighborhood. Additional storage buildings don't contribute to that vision and don't offer much benefit to those of us who live here day to day.

I encourage the city to consider the current saturation of storage facilities and to prioritize future development that enhances quality of life and reflects the character of Bay St. Louis.

Thank you for your attention to this matter.

Sincerely,

Liz Walker

A handwritten signature in black ink, appearing to read "Liz Walker". The signature is fluid and cursive, with the first name "Liz" being more prominent and the last name "Walker" following in a similar style.

City of Bay St. Louis Planning Department,

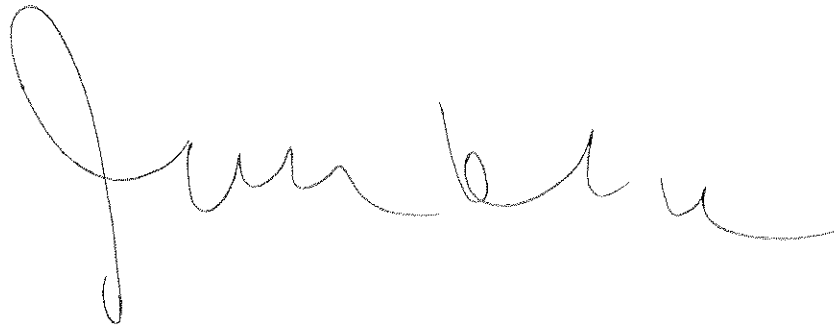
I am writing to raise a concern about the ongoing addition of storage facilities along Longfellow Drive.

With the number of storage buildings already in place, it seems the current demand is being met. Continuing to add more of the same type of development reduces the opportunity for other uses that could bring more activity and long-term value to the area.

I ask that the existing concentration of storage facilities be taken into account when reviewing future proposals, and that consideration be given to a more diverse approach to development along this corridor.

Thank you for your time.

Sincerely,

A handwritten signature in black ink, appearing to read "J. M. B. U.", written in a cursive style.

Planning & Zoning Commission,

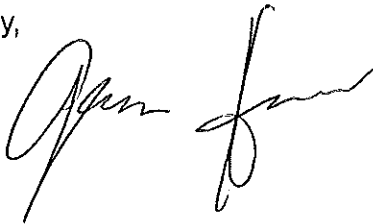
I am writing regarding the continued development of storage facilities along Longfellow Drive in Bay St. Louis.

This corridor already has a substantial number of storage buildings, and additional projects seem unnecessary at this time. Expanding this type of use further limits the potential for other development that could better serve the area.

I ask that future proposals for storage facilities on Longfellow Drive be carefully evaluated in light of the current concentration, and that consideration be given to encouraging a more balanced mix of development.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Jones". The signature is written in a cursive style with a large initial "A" and a long, sweeping tail.