

**Bastrop Planning and Zoning Commission -  
Special Meeting Agenda**

Bastrop City Hall City Council Chambers  
1311 Chestnut Street  
Bastrop, TX 78602  
(512) 332-8800



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**October 05, 2023**

**Agenda - Planning and Zoning Commission - Special Meeting at 6:00 PM**

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*Bastrop Planning and Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.*

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**1. CALL TO ORDER**

**2. CITIZEN COMMENTS**

*At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Manager for research and possible future action.*

*It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Board/Commission to allow a member of the public to slur the performance, honesty and/or integrity of the Board/Commission, as a body, or any member or members of the Board/Commission individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Board/Commission and/or any person in the Board/Commission's presence will not be tolerated.*

**3. ITEMS FOR INDIVIDUAL CONSIDERATION**

- 3A. Receive training by the City Secretary.

3B. Consider action to approve Valverde Section 2 Preliminary Plat, being 294.5 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

Submitted by: Doug Haggerty

3C. Consider action to approve Valverde South Subdivision Final Plat, being 12.034 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

Submitted by: Doug Haggerty

3D. Hold public hearing and consider action on a recommendation for the Reed Ranch Zoning Concept Scheme, changing the zoning for 24.462 acres out of the Nancy Blakey Survey from P2 Rural to a Planned Development District (PDD) with a P4 Mix base zoning, as shown on Attachment 4, located at 615 W Highway 71, within the city limits of Bastrop, Texas.

Submitted by: Kennedy Higgins

4. **UPDATES**

4A. Items or topics requested by Planning and Zoning Commissioners for future agendas.

5. **ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, [www.cityofbastrop.org](http://www.cityofbastrop.org) and said Notice was posted on the following date and time: Friday, September 29, 2023 at 5:00 p.m. and remained posted for at least two hours after said meeting was convened.

/s/ Nicole Peterson  
Nicole Peterson, Project Coordinator





# STAFF REPORT

**MEETING DATE:** October 5, 2023

**TITLE:**

Consider action to approve Valverde Section 2 Preliminary Plat, being 294.5 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

**STAFF REPRESENTATIVE:**

Kennedy Higgins – Planner, Development Services

**ITEM DETAILS:**

Site Address: West of FM 969 (Attachment 1)  
 Total Acreage: 294.5 acres  
 Legal Description: 294.5 acres of the Nancy Blakey Survey, Abstract Number 98

Property Owner: Continental Homes of Texas, LP  
 Agent Contact: Pablo H. Martinez, BGE, Inc.

Existing Use: Vacant/Undeveloped  
 Existing Zoning: P3 Residential per Development Agreement  
 Adopted Plan: Valverde Development Agreement, Approved July 13, 2021  
 Future Land Use: Neighborhood Residential

**BACKGROUND/HISTORY:**

The applicant has submitted an application for a Preliminary Plat for Valverde Section 2, Attachment 1. The plat includes 1047 residential lots and 70 non-residential lots. The table below breaks down the number of lots by size.

LOT COUNT		
	NO. OF LOTS	PERCENT
43' LOTS	311	27.84%
45' LOTS	296	26.50%
50' LOTS	440	39.39%
OS/DE	70	6.27%
TOTAL	1117	100%

The proposed lots follow the standards adopted in the Viridian Development Agreement.

Infrastructure	Available (Y/N)	Proposed
Water	N	Line Extensions
Wastewater	N	Line Extensions
Drainage	Y	Detention ponds
Transportation	Y	Constructing New Streets
Parks and Open Space	Y	79.44 ac including drainage

Traffic Impact and Streets

The Preliminary Plat proposes an 80 foot ROW, major multimodal street that provides the main access for this section from FM 969. Street A turns into Street E and Streets M and U will be the main connections to the remainder to the subdivision on the eastern portion. On the west side, Street E and W will continue west where they run into Street KK which will run north / south to connect to the remainder of the streets. All streets and alleys are proposed to be publicly dedicated. Sidewalks will also be built within the development along the public streets.

A traffic impact analysis (TIA) for the development is not required by the City as the development is complying with the Master Transportation Plan and meeting the grid requirements for City developments.

Utilities

Water service (domestic and fire) will be provided by the City of Bastrop via water line extensions provided by the developer from the existing water tank on the south side of SH 71. These lines will be designed according to the City’s construction standards, as well as the Texas Commission on Environmental Quality’s (TCEQ) requirements. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by the City of Bastrop via a new lift station shown in Block B Lot 1 and wastewater line extensions along FM 969 provided by the developer to the existing line at FM 969 and SH 71. Wastewater improvements were included in the approved Preliminary Infrastructure Plan.

Drainage

The natural drainage basins for this area drain northly and westerly. Stormwater runoff generated Section 2 will be routed via storm sewer to two detention ponds in the northern and western part of this section. Both ponds will then discharge at pre-developed rates to the north. The drainage plan is using the updated rainfall totals of Atlas 14. Additionally, the lots will include maximum impervious coverage limits as defined in the Development Agreement, that are reflected in the system capacity. A Preliminary Drainage Plan has been reviewed and approved by the City Engineer.

**POLICY EXPLANATION:**

Preliminary Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

*This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area. The plat proposes residential lots.*

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

*The City of Bastrop has a Development Agreement with the Valverde that allows the city to agree to specific land uses and development standards. This allows the city to ensure the quality of development and future sustainability.*

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

*Through the Development Agreement, the Valverde development includes follows the intent of the B<sup>3</sup> Code forms for residential and commercial lot standards. The development agreement allows for a mix of residential house forms, including ranch house, villa, house, duplex, triplex, fourplex, courtyard house, courtyard apartments, row house and apartments.*

### Local Government Code

#### Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

*Bastrop adopted subdivision regulations in 1981. The B<sup>3</sup> Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits.*

#### Section 212.004 Plat Required

- (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

*The applicant has proposed subdividing an undeveloped 294.50-acre tract into 1047 residential lots and 70 non-residential lots. Utility improvements within the subdivision (water, and wastewater will be dedicated to the City of Bastrop upon their completion.*

#### 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

*The preliminary plat conforms to the Future Land Use Plan, which is designated Neighborhood Residential for this area.*

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

*A Preliminary Drainage Plan and Preliminary Infrastructure Plan have been reviewed and approved by the City Engineer to ensure that the Public Improvements can be designed for utility extension. The development is following the adopted Master Transportation Plan for street layout and connections.*

- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

*A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.*

- (4) it conforms to any rules adopted under Section 212.002.

*The preliminary plat complies with the requirements of the adopted B<sup>3</sup> Code and Viridian Development Agreement.*

#### B<sup>3</sup> Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure - Platting

*Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.*

- Section 1.3.002 Preliminary Plat

*The Preliminary Drainage Plan to determine drainage requirements was approved by the City Engineer on August 23, 2023.*

*The Preliminary Infrastructure Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on September 27, 2023.*

- Section 1.3.004 Plat Requirements

*The Development Review Committee reviewed the Preliminary Plat for Valverde Section 2 for compliance with subdivision and development agreement standards on August 25, 2023 and deemed the plat administratively complete. Staff recommends approval.*

#### **RECOMMENDATION:**

Consider action to approve Valverde Section 2 Preliminary Plat, being 294.5 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

#### **ATTACHMENTS:**

- Attachment 1: Valverde Section 2 Preliminary Plat
- Attachment 2: Valverde Section 2 Preliminary Plat Location Map
- Attachment 3: Valverde Concept Plan



**BENCHMARK**

• T.B.M."1" IS A MAG NAIL SET S 06° 38' 04" E, 217.4' FROM THE NE CORNER OF THE REMAINDER OF CALLED 410.599 ACRE TRACT (SUBJECT TRACT), AS SHOW HEREON. ELEV. 407.65' NAVD 88

• T.B.M."2" IS A CHISELED BOX IN CONCRETE HEADWALL MAG NAIL SET +/- 1.700' EAST OF THE INTERSECTION OF F.M. 969 AND THE TEXAS 71 FRONTAGE ROAD, AS SHOW HEREON. ELEV. 387.29' NAVD 88

**LOT/SITE AREA INFORMATION**

TOTAL NO. OF LOTS: 1,117  
 NO. OF BLOCKS: 47  
 NO. OF SINGLE FAMILY LOTS: 1,047  
 NO. OF GREEN SPACE/DRAINAGE LOTS: 70  
 TOTAL ACREAGE OF RIGHTS-OF-WAY: 67.7 AC  
 TOTAL ACREAGE OF OPEN SPACE: 79.44 AC  
 TOTAL ACREAGE OF LOTS: 147.36 AC  
 GROSS SITE AREA: 294.50 AC

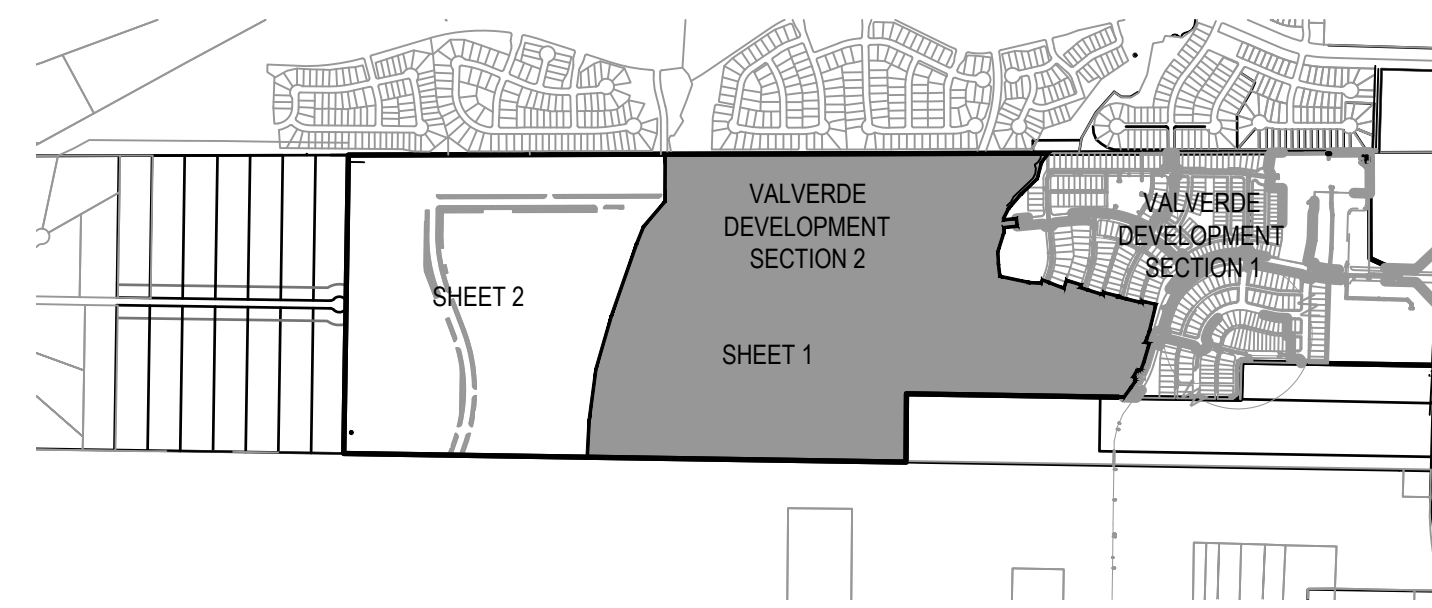
LOT COUNT		
	NO. OF LOTS	PERCENT
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50' LOTS	440	39.39%
OS/DE	70	6.27%
TOTAL	1117	100%

**OWNER:**  
 CONTINENTAL HOMES OF TEXAS, LP  
 10700 PECAN PARK BLVD., 4TH FLOOR  
 AUSTIN, TX, 78750

**ENGINEER:**  
 BGE, INC.  
 1701 DIRECTOR BOULEVARD  
 AUSTIN, TX, 78744  
 PHONE: 512-879-0400

**SURVEYOR:**  
 BGE, INC.  
 1701 DIRECTOR BOULEVARD  
 AUSTIN, TX, 78744  
 PHONE: 512-879-0400

**KEY MAP**

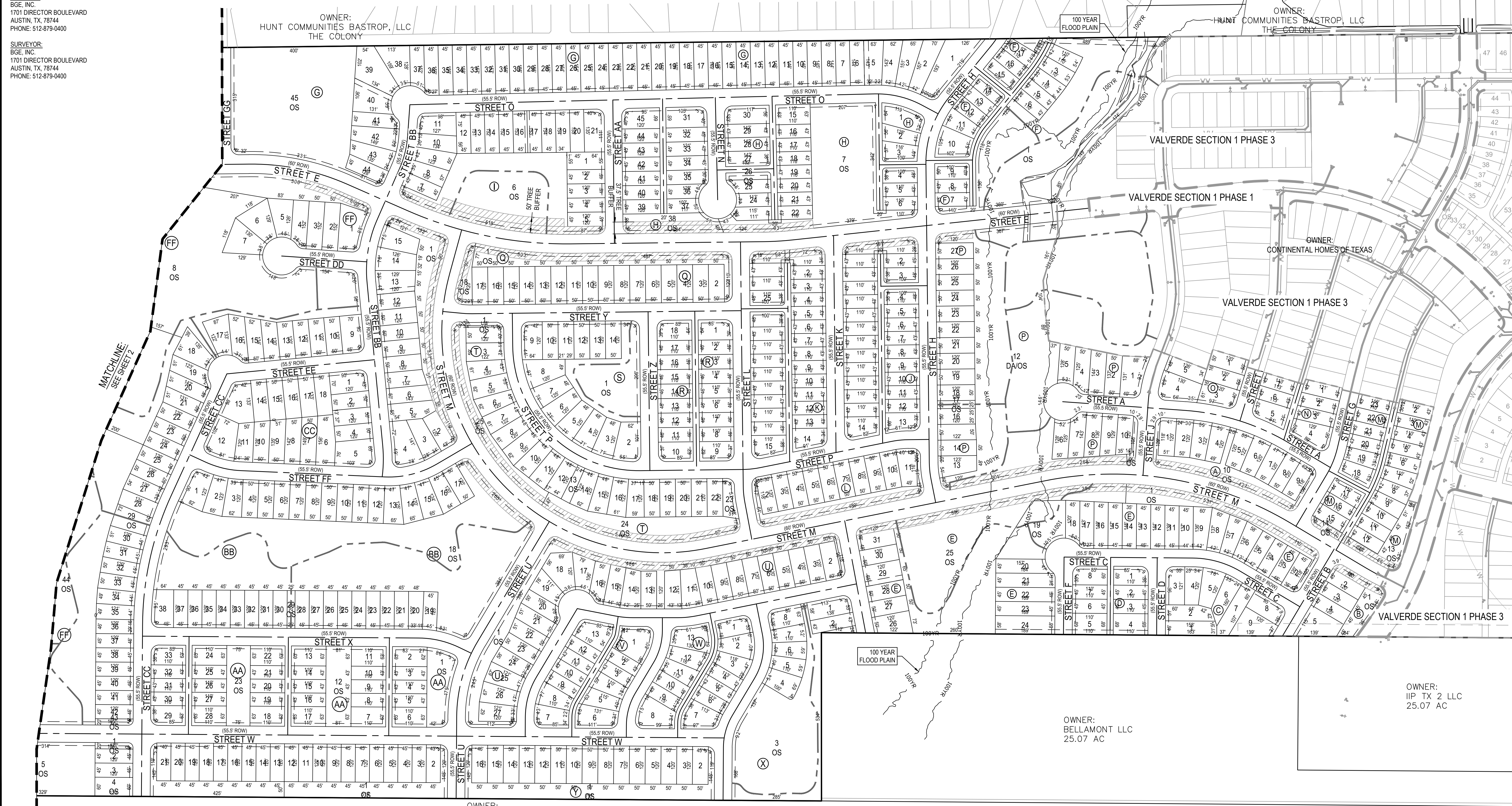
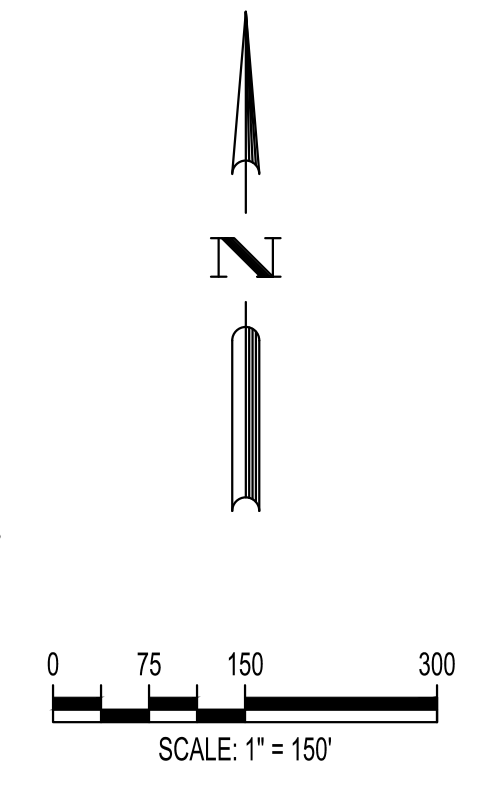


**VALVERDE, SECTION 2  
 PRELIMINARY PLAT**

SHEET INDEX	
NO.	TITLE
1	PRELIMINARY PLAT (1 OF 2)
2	PRELIMINARY PLAT (2 OF 2)
3	GENERAL NOTES
4	PHASING PLAN
5	ROAD CROSS SECTIONS

**LEGEND**

	PRELIMINARY PLAN BOUNDARY
	LOT LINES
	FUTURE LOT LINES
	100YR 100 YR FLOOD PLAIN FEMA ZONE AE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	25' TREE PRESERVATION BUFFER, UNLESS OTHERWISE INDICATED ON PLAN
	TRAILS



REV	DATE	DESCRIPTION

DESIGNED BY:  
 REVIEWED BY:  
 DRAWN BY:

**BGE, INC.**  
 1701 Director Blvd., Suite 1000  
 AUSTIN, TX 78744  
 TYPE Registration No. F-1046  
 TEL. 512.879.0400 www.bgeinc.com

**VALVERDE  
 SECTION 2 PRELIMINARY PLAT  
 PRELIMINARY PLAT (1 OF 2)**

OWNER:  
 IIP TX 2 LLC  
 25.07 AC

08/14/23

SHEET  
 1 OF 5

L:\DR\Horizon\Valverde - Section 2 Preliminary Plan\03\_CADD\01\_SHTS\Prelim\Valverde Section 2 Preliminary Plat.dwg Layout: 1 PRELIMINARY PLAT (1 OF 2) Plotted: 8/14/2023 3:49:26 PM







**APPROVED BY**

OWNER'S SIGNATURE BLOCK:

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

CONTINENTAL HOMES OF TEXAS, LP *Juan P. Martinez* 04/14/2023  
 NAME OF OWNER/TRUSTEE (OWNER'S AUTHORIZED AGENT) DATE

THAT I, JUAN MARTINEZ, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP, TEXAS AND THAT THE 100 YEAR FLOOD PLAIN IS AS SHOWN AND WILL BE CONTAINED WITHIN THE DRAINAGE EASEMENT AND OR THE DRAINAGE RIGHT-OF-WAY, AS SHOWN HEREON.

*Juan P. Martinez*  
 JUAN MARTINEZ, P.E.  
 LICENSED PROFESSIONAL ENGINEER NO. 106158  
 DATE: 8-14-23



BGE, INC.  
 1701 DIRECTORS BLVD, SUITE 1000  
 AUSTIN, TEXAS 78744

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP COUNTY, TEXAS.

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_

PLANNING & ZONING COMMISSION CHAIRPERSON

CITY SECRETARY

**GENERAL NOTES:**

- THIS SUBDIVISION CONTAINS 92.305 ACRES IN 400 SINGLE FAMILY RESIDENTIAL LOTS, 48 TOWN HOMES LOTS, 1 AMENITY CENTER LOT, AND 28 OPEN SPACE LOTS.
- BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD-83. DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. COMBINED SCALE FACTOR: 0.9999899509
- THIS TRACT IS LOCATED WITHIN THE COLORADO RIVER WATERSHED. NO PORTION OF THIS TRACT IS LOCATED WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 48021C0355E, BASTROP COUNTY, TEXAS, DATED: JANUARY 19, 2006.
- IMPACT FEES SHALL BE ASSESSED IN ACCORDANCE WITH THE ORDINANCE EFFECTIVE AT THE TIME OF PLATTING.
- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF BASTROP AND/OR BASTROP COUNTY.
- ALL UTILITIES WILL BE PLACED UNDERGROUND.
- PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOTS IN THIS SUBDIVISION, BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF BASTROP.
- ALL SUBDIVISION PERMITS SHALL CONFORM TO THE CITY OF BASTROP CODE OF ORDINANCES, CONSTRUCTION STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND ACCEPTED BY THE CITY OF BASTROP PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF BASTROP ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION.
- FISCAL SURETY FOR SUBDIVISION CONSTRUCTION, IN A FORM ACCEPTABLE TO THE CITY OF BASTROP, SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE CITY.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES SOLE RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF BASTROP. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- BY APPROVING THIS PLAT, THE CITY OF BASTROP ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATES OF OCCUPANCY.
- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND ACCEPTED BY THE CITY OF BASTROP PRIOR TO ANY MULTI-FAMILY OR NON-RESIDENTIAL CONSTRUCTION. (CITY LIMITS ONLY)
- NO LOT OR STRUCTURE SHALL BE OCCUPIED PRIOR TO THE APPLICANT SUBMITTING TO THE CITY OF BASTROP DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH TEXAS ARCHITECTURAL BARRIERS ACT (TABA).
- WATER SERVICE IS PROVIDED BY THE CITY OF BASTROP.
- WASTEWATER SERVICE IS PROVIDED BY THE CITY OF BASTROP.
- ELECTRIC SERVICE IS PROVIDED BY BLUEBONNET ELECTRIC.
- GAS SERVICE IS PROVIDED BY CENTERPOINT ENERGY.
- CABLE SERVICE IS PROVIDED BY TIME WARNER CABLE.
- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY).
- DEVELOPER/OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL RELOCATION AND MODIFICATIONS TO EXISTING UTILITIES.
- ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
- ALL EASEMENTS OF RECORD AS INDICATED ON THE

MOST RECENT TITLE RUN (DATED: 15 NOVEMBER 2018, CONDUCTED BY BASTROP ABSTRACT COMPANY) FOR THIS PROPERTY ARE SHOWN ON THIS PLAT.

- TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED, AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF-SITE IMPROVEMENTS.
- AS SHOWN HEREON, A TEN (10) FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY DEDICATED ADJACENT TO STREET RIGHTS-OF-WAY ON ALL LOTS. A FIVE (5) FOOT WIDE P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE AND REAR LOT LINE.
- PROPERTY OWNER SHALL PROVIDE FOR ACCESS FOR ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
- THE ELECTRIC UTILITY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY VEGETATION AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE THE CITY OF BASTROP ELECTRIC UTILITY DEPARTMENT WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, OR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES.
- THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION FOR ELECTRIC UTILITY WORK REQUIRED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT.
- BUILD-TO LINES SHALL BE IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF BASTROP.
- SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF BASTROP.
- ALL SIGNS SHALL COMPLY WITH THE BASTROP SIGN ORDINANCE.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- THE PLAT WILL COMPLY WITH THE REQUIREMENTS OF THE VIRIDIAN DEVELOPMENT AGREEMENT.
- A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT WHEN LOCATED WITHIN BASTROP COUNTY'S REVIEW JURISDICTION. ALL INFRASTRUCTURE REQUIRED FOR PUBLIC ROADS, DRAINAGE, OR OTHER PUBLIC INFRASTRUCTURE (INCLUDING BUT NOT LIMITED TO LIGHTING, SIGNAGE, TRAFFIC LIGHTS, SIDEWALKS, PARKING AREAS, STORM SEWERS, OR OTHER DRAINAGE INFRASTRUCTURE) SHALL BE MAINTAINED BY THE DEVELOPER, OR THEIR ASSIGNS, UNTIL SUCH A TIME THAT IT IS ACCEPTED, IF AT ALL, BY A GOVERNMENTAL ENTITY FOR MAINTENANCE.
- UNTIL SUCH A TIME AS BASTROP COUNTY, THROUGH THE BASTROP COUNTY COMMISSIONERS COURT, ACCEPTS THE DEDICATION OF THE IMPROVEMENTS DELINEATED AND SHOWN ON THIS PLAT, SID IMPROVEMENTS ARE NOT BASTROP COUNTY IMPROVEMENTS AND ARE NOT SUBJECT TO BASTROP COUNTY MAINTENANCE.
- THIS SUBDIVISION IS LOCATED WITHIN THE STATUTORY ETJ OF THE CITY OF BASTROP, AT THE TIME OF PLATTING.
- THE 20' WIDE ALLEYS SHALL BE MARKED ON BOTH SIDES AS FIRE LANE - NO PARKING.
- ROADWAYS WITH MORE THAN 26' OF PAVING FACE OF CURB TO FACE OF CURB BUT LESS THAN 32' OF PAVING FACE OF CURB TO FACE OF CURB SHALL BE MARKED ON ONE SIDE OF THE ROADWAY AS FIRE LANE - NO PARKING. MARKING SHALL CONFORM WITH CITY OF BASTROP FIRE LANE MARKING DETAIL.

STREET STANDARDS CHART				
STREET NAME	R.O.W. WIDTH	STREET LENGTH (LF)	CURB AND GUTTER	DESIGN SPEED
STREET A	55.5'	891	YES	25 MPH
STREET B	55.5'	321	YES	25 MPH
STREET C	55.5'	787	YES	25 MPH
STREET D	55.5'	246	YES	25 MPH
STREET E	60'	4610	YES	35 MPH
STREET F	55.5'	246	YES	25 MPH
STREET G	55.5'	465	YES	25 MPH
STREET H	55.5'	1543	YES	25 MPH
STREET I	55.5'	170	YES	25 MPH
STREET J	55.5'	398	YES	25 MPH
STREET K	55.5'	688	YES	25 MPH
STREET L	55.5'	946	YES	25 MPH
STREET M	60'	3888	YES	35 MPH
STREET N	55.5'	324	YES	25 MPH
STREET O	55.5'	1689	YES	25 MPH
STREET P	55.5'	1657	YES	25 MPH
STREET Q	55.5'	362	YES	25 MPH
STREET R	55.5'	655	YES	25 MPH
STREET S	55.5'	405	YES	25 MPH
STREET T	55.5'	448	YES	25 MPH
STREET U	55.5'	953	YES	25 MPH
STREET V	55.5'	999	YES	25 MPH
STREET W	55.5'	3900	YES	25 MPH
STREET X	55.5'	1052	YES	25 MPH
STREET Y	55.5'	947	YES	25 MPH
STREET Z	55.5'	503	YES	25 MPH
STREET AA	55.5'	455	YES	25 MPH
STREET BB	55.5'	1206	YES	25 MPH
STREET CC	55.5'	1392	YES	25 MPH
STREET DD	55.5'	371	YES	25 MPH
STREET EE	55.5'	470	YES	25 MPH
STREET FF	55.5'	929	YES	25 MPH
STREET GG	55.5'	371	YES	25 MPH
STREET HH	55.5'	2034	YES	25 MPH
STREET II	55.5'	218	YES	25 MPH
STREET JJ	55.5'	925	YES	25 MPH
STREET KK	60'	2402	YES	35 MPH
STREET LL	55.5'	2324	YES	25 MPH

Line Table		
Line #	Length	Direction
L1	643.987	S86° 50' 54.73"W
L2	89.301	N35° 04' 14.87"E
L3	134.647	N11° 34' 46.38"E
L4	98.409	N43° 41' 56.52"E
L5	149.357	N37° 48' 33.19"E
L6	85.378	N24° 20' 55.06"E
L7	12.504	N04° 59' 40.34"W
L8	100.792	S81° 23' 14.57"W
L9	60.000	N08° 36' 45.43"W
L10	104.586	N81° 23' 14.57"E
L11	34.762	N04° 59' 40.34"W
L12	160.752	N14° 35' 31.02"E
L13	103.517	N06° 16' 41.14"W
L14	159.475	N79° 08' 05.30"W
L15	129.525	N04° 49' 40.94"E
L16	111.784	N81° 06' 34.70"W
L17	88.165	N90° 00' 00.00"W
L18	27.249	S18° 16' 37.65"W
L19	181.601	N71° 43' 22.35"W
L20	65.690	S14° 19' 35.43"W

Line Table		
Line #	Length	Direction
L21	120.000	N75° 40' 24.57"W
L22	22.280	N14° 19' 35.43"E
L23	169.084	N75° 40' 24.57"W
L24	17.288	S16° 10' 52.46"W
L25	120.459	N79° 11' 38.54"W
L26	5.630	N10° 48' 21.46"E
L27	165.500	N79° 11' 38.54"W
L28	13.301	S10° 48' 21.46"W
L29	109.931	N79° 11' 38.77"W
L30	172.000	N10° 48' 21.46"E
L32	34.400	N76° 38' 41.53"W
L33	152.183	N13° 55' 08.34"E
L35	59.893	N26° 54' 04.82"E
L37	151.268	N32° 26' 06.72"E
L38	1698.248	N87° 57' 04.67"E
L39	534.292	N02° 36' 58.17"W
L40	1246.059	N87° 52' 54.59"E
L41	1309.972	S02° 07' 23.57"E

Curve Table			
Curve #	Length	Radius	Delta
C1	135.464	813.666	009.5390
C2	41.438	25.000	094.9689
C3	40.755	26.496	088.1321

STREET MM	55.5'	814	YES	25 MPH
STREET NN	55.5'	420	YES	25 MPH
STREET OO	55.5'	759	YES	25 MPH
STREET PP	55.5'	1018	YES	25 MPH
STREET QQ	55.5'	1165	YES	25 MPH
STREET RR	55.5'	909	YES	25 MPH
STREET SS	55.5'	643	YES	25 MPH
STREET TT	55.5'	841	YES	25 MPH
STREET UU	55.5'	735	YES	25 MPH
ALLEY A	20'	148	NO	
ALLEY B	20'	148	NO	
ALLEY C	20'	796	NO	
ALLEY D	20'	148	NO	
ALLEY E	20'	369	NO	
ALLEY F	20'	392	NO	
ALLEY G	20'	18	NO	
ALLEY H	20'	147	NO	
ALLEY I	20'	601	NO	
ALLEY J	20'	148	NO	
ALLEY K	20'	631	NO	
ALLEY L	20'	426	NO	
ALLEY M	20'	148	NO	
ALLEY N	20'	710	NO	
ALLEY O	20'	419	NO	
ALLEY P	20'	311	NO	
ALLEY Q	20'	311	NO	
ALLEY R	20'	311	NO	
ALLEY S	20'	488	NO	
ALLEY T	20'	463	NO	
ALLEY U	20'	566	NO	
ALLEY V	20'	467	NO	
ALLEY WW	20'	718	NO	
ALLEY X	20'	296	NO	
ALLEY Y	20'	528	NO	
ALLEY Z	20'	528	NO	
ALLEY AA	20'	392	NO	
ALLEY BB	20'	231	NO	
ALLEY CC	20'	364	NO	
ALLEY DD	20'	707	NO	
ALLEY EE	20'	148	NO	
ALLEY FF	20'	1015	NO	
ALLEY GG	20'	942	NO	

VALVERDE  
SECTION 2 PRELIMINARY PLAT  
GENERAL NOTES



L:\DR\Horizon\Valverde - Section 2 Preliminary Plan\03\_CADD\01\_SHTS\Prelim\Valverde Section 2 Preliminary Plat.dwg Layout: 8/14/2023 3:49:41 PM

DESCRIPTION

REV

DESIGNED BY:

REVIEWED BY:

DRAWN BY:



BGE, INC.  
 1701 Directors Blvd., Suite 1000  
 AUSTIN, TX 78744  
 TYPE Registration No. F-1046  
 TEL. 512.979.9660 www.bgeinc.com




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REV	DATE	DESCRIPTION

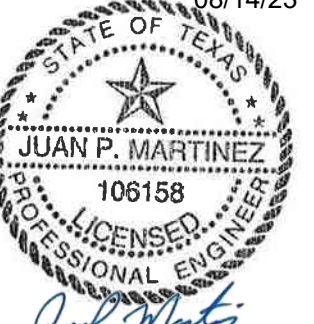
DESIGNED BY:  
 REVIEWED BY:  
 DRAWN BY:



**BGE, INC.**  
 1701 Directors Blvd., Suite 1000  
 AUSTIN, TX 78744  
 TYPE Registration No. F-1046  
 TEL. 512.679.9460 www.bgeinc.com

**VALVERDE  
 SECTION 2 PRELIMINARY PLAT  
 PHASING PLAN**

08/14/23



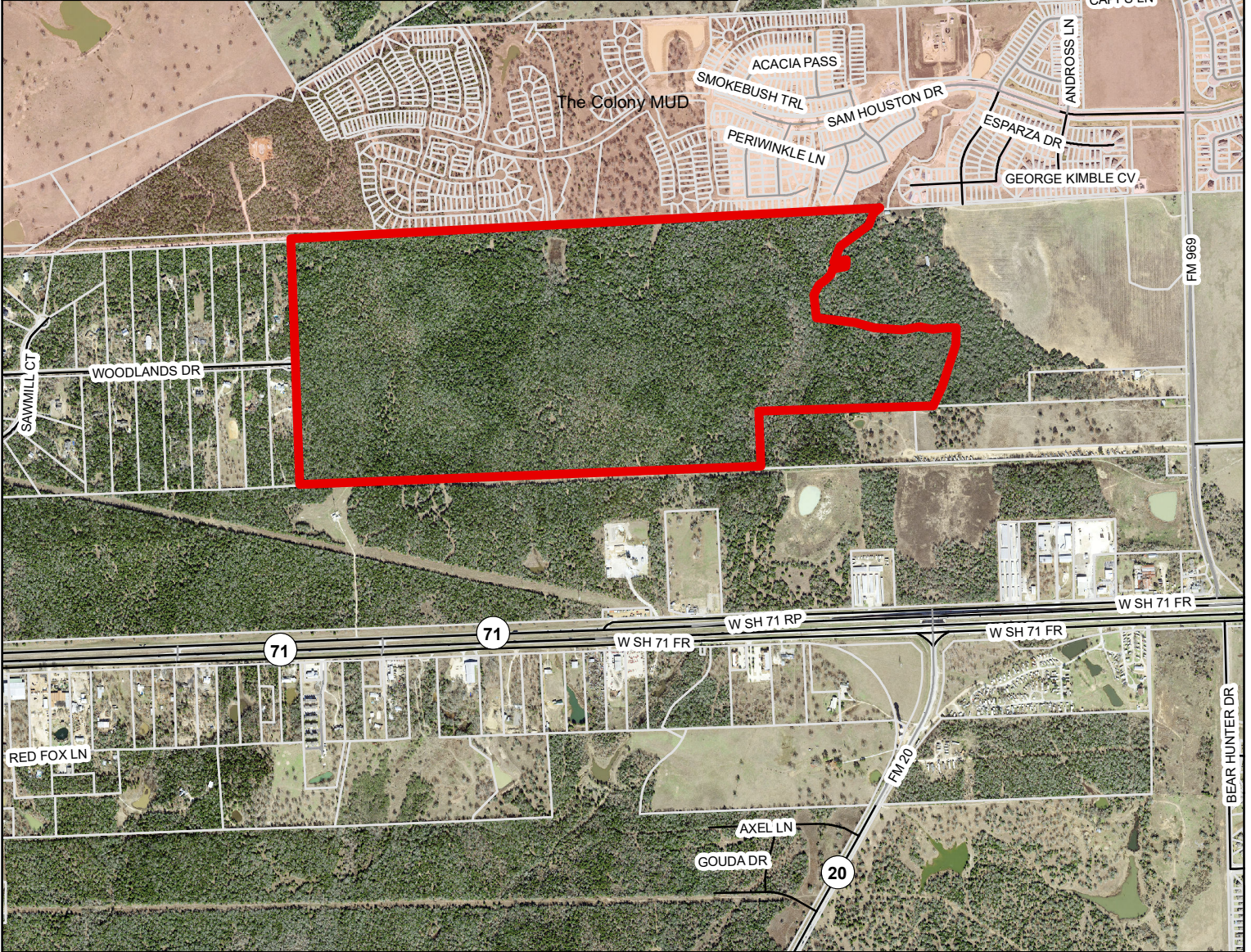
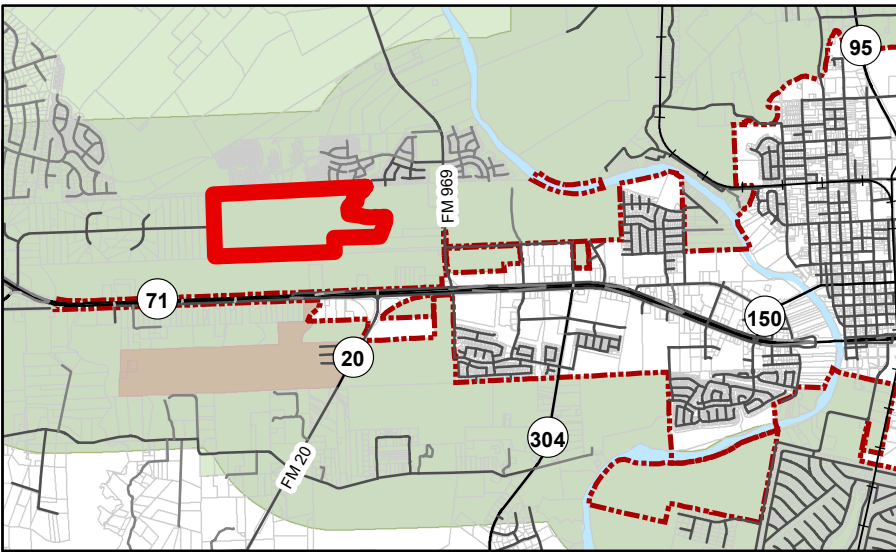
**JUAN P. MARTINEZ**  
 106158  
 LICENSED PROFESSIONAL ENGINEER

SHEET  
 4 OF 5

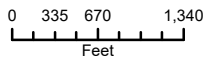








**Valverde Section 2  
 Preliminary Plat**



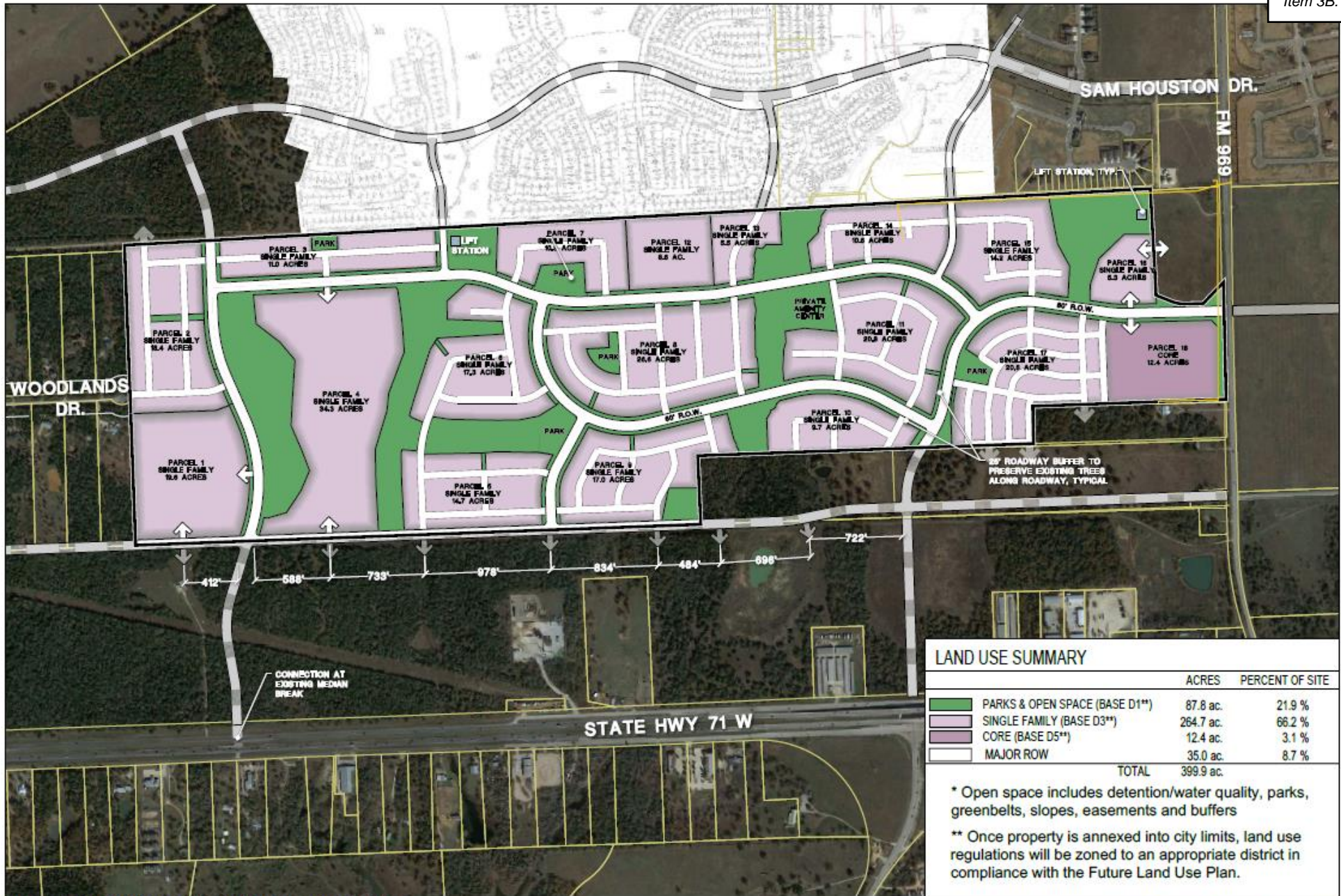
1 inch = 1,500 feet

Date: 9/29/2023

The accuracy and precision of this cartographic data is limited and should be used for information/planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of information, nor does it represent that its use will not infringe upon privately owned rights.







LAND USE SUMMARY		
	ACRES	PERCENT OF SITE
<span style="color: green;">■</span> PARKS & OPEN SPACE (BASE D1**)	87.8 ac.	21.9 %
<span style="color: purple;">■</span> SINGLE FAMILY (BASE D3**)	264.7 ac.	66.2 %
<span style="color: pink;">■</span> CORE (BASE D5**)	12.4 ac.	3.1 %
<span style="color: white;">■</span> MAJOR ROW	35.0 ac.	8.7 %
<b>TOTAL</b>	<b>399.9 ac.</b>	

\* Open space includes detention/water quality, parks, greenbelts, slopes, easements and buffers  
 \*\* Once property is annexed into city limits, land use regulations will be zoned to an appropriate district in compliance with the Future Land Use Plan.

NOTE: ROADWAY ALIGNMENTS ARE CONCEPTUAL IN NATURE AND MAY BE ADJUSTED WITH FUTURE PLATTING AND CONSTRUCTION DOCUMENTS





# STAFF REPORT

**MEETING DATE:** October 5, 2023

**TITLE:**

Consider action to approve Valverde South Subdivision Final Plat, being 12.034 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

**STAFF REPRESENTATIVE:**

Kennedy Higgins – Planner, Development Services

**ITEM DETAILS:**

Site Address: West of FM 969 (Attachment 1)  
 Total Acreage: 12.034 acres  
 Legal Description: 12.034 acres of the Nancy Blakey Survey, Abstract Number 98

Property Owner: Continental Homes of Texas, LP  
 Agent Contact: Pablo H. Martinez, BGE, Inc.

Existing Use: Vacant/Undeveloped  
 Existing Zoning: P5 Core per Development Agreement  
 Adopted Plan: Valverde Development Agreement, Approved July 13, 2021  
 Future Land Use: Neighborhood Residential

**BACKGROUND/HISTORY:**

The applicant has submitted an application for a Final Plat for Valverde South Subdivision, Attachment 1. The site is currently vacant and will be developed as a multifamily residential use, with a total of 168 units with associated private water, wastewater, and storm sewer system. The associated Valverde Development Agreement, Preliminary Plat for Valverde Phase 1-3, and Public Improvement Plans and Final Drainage Plans for Valverde Phase 1 have been approved and currently under construction.

The proposed lot follows the standards adopted in the Viridian Development Agreement.

Infrastructure	Available (Y/N)	Proposed
Water	N	Line Extensions
Wastewater	N	Line Extensions
Drainage	Y	Storm Sewer to Pond
Transportation	N	Internal Streets
Parks and Open Space	N	None

### Traffic Impact and Streets

The Valverde South Subdivision Final Plat will have 1 entrance for access approximately 700' westward on Street A, which was established from an earlier plat of Section 1, and is the main entrance off of FM 969. On the eastern side of the property there has been 20 feet or 0.228 acres of Right Of Way dedicated for future widening of FM 969. The total requested TxDOT ROW will be 120' with 80' already existing.

### Utilities

Water service (domestic and fire) will be provided by the City of Bastrop via water line extensions provided by the developer from the existing water tank on the south side of SH 71. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by the City of Bastrop via a new lift station shown in Block B Lot 1 and wastewater line extensions along FM 969 provided by the developer to the existing line at FM 969 and SH 71. Wastewater improvements were included in the approved Preliminary Infrastructure Plan.

### Drainage

The drainage patterns generally flow in a south-to-north direction. Off-site flow coming onto the project site will be conveyed by the proposed swale along the southern property line to the underground storm sewer system within the proposed drainage easement across the site. The site will utilize a detention pond located at northwest of the project site, as part of the approved Valverde Phase 1 Final Drainage Plan. This pond was designed to convey drainage area P10 & POS1 and under assumption of total 34.3 acres of impervious cover per Valverde Phase 1 Final Drainage Plan. This project site proposed 8.3 acres of on-site impervious cover and Valverde Phase 1 proposed 5.6 acres of impervious cover within the public right-of-way. The total number of impervious cover, 13.9 acres, is below the designed impervious cover. No additional on-site detention pond is needed for Valverde South project site.

### **POLICY EXPLANATION:**

Final Plats are reviewed and approved by the Planning & Zoning Commission.

### Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

*This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area, however the Development Agreement supersedes the FLUM from 2016 to initiate multifamily on this site.*

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

*The City of Bastrop has a Development Agreement with the Valverde that allows the city to agree to specific land uses and development standards. This allows the city to ensure the quality of development and future sustainability.*

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

*Through the Development Agreement, the Valverde development includes follows the intent of the B<sup>3</sup> Code forms for residential and commercial lot standards. The development agreement allows for a mix of residential house forms, including ranch house, villa, house, duplex, triplex, fourplex, courtyard house, courtyard apartments, row house and apartments.*

### Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

*Bastrop adopted subdivision regulations in 1981. The B<sup>3</sup> Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits.*

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

*The applicant has proposed subdividing an undeveloped 11.806-acre tract into 1 multifamily lot. Water improvements within the subdivision will remain private upon their completion.*

212.010. Standards for Approval

(a) The municipal authority responsible for approving plats shall approve a plat if:

- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

*The final plat conforms to the Future Land Use Plan and Development Agreement, which is designated multifamily for this area.*

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

*A Preliminary Drainage Plan and Preliminary Infrastructure Plan have been reviewed and approved by the City Engineer to ensure that the Public Improvements can be designed for utility extension.*



- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality;  
and

*A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.*

- (4) it conforms to any rules adopted under Section 212.002.

*The final plat complies with the requirements of the adopted B<sup>3</sup> Code and Viridian Development Agreement.*

**B<sup>3</sup> Code – Chapter 1: Subdivisions**

- Section 1.3.001 Standard Procedure - Platting

- Section 1.3.003 Final Plat

*The Preliminary Drainage Plan to determine drainage requirements was approved by the City Engineer on August 2, 2023.*

- Section 1.3.004 Plat Requirements

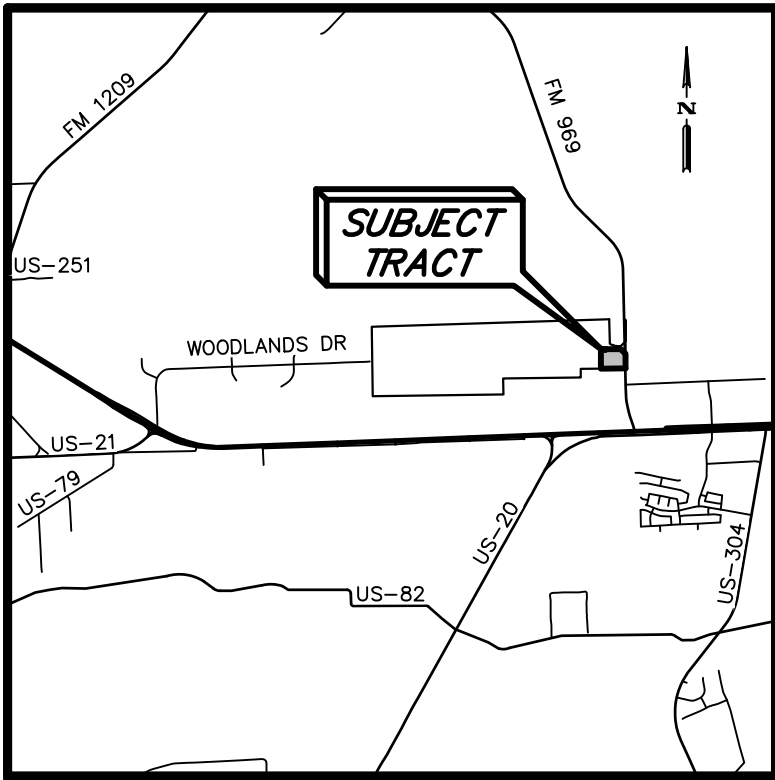
*The Development Review Committee reviewed the Final Plat for Valverde South Subdivision for compliance with subdivision and development agreement standards on August 24, 2023 and deemed the plat administratively complete. Staff recommends approval.*

**RECOMMENDATION:**

Consider action to approve Valverde South Subdivision Final Plat, being 12.034 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

**ATTACHMENTS:**

- Attachment 1: Valverde South Subdivision Final Plat
- Attachment 2: Valverde South Final Plat Location Map
- Attachment 3: Valverde Concept Plan



VICINITY MAP NOT TO SCALE

LINE DATA		
NUMBER	BEARING	DISTANCE
L1	N88°40'13"E	55.50'

CURVE DATA					
NUMBER	RADIUS	DELTA ANGLE	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE
C1	1042.27'	4°07'35"	75.06'	S 89°16'02" E	75.05'
C2	25.00'	89°59'53"	39.27'	S 46°19'53" E	35.35'
C3	25.00'	90°00'00"	39.27'	N 43°40'10" E	35.36'

LEGEND

- CAB. CABINET
- DOC. DOCUMENT
- ESMT. EASEMENT
- NO. NUMBER
- O.P.R.B.C. OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY
- PG. PAGE
- P.O.B. POINT OF BEGINNING
- P.R.B.C. PLAT RECORDS OF BASTROP COUNTY
- P.U.E. PUBLIC UTILITY EASEMENT
- R.O.W. RIGHT-OF-WAY
- TEMP. TEMPORARY
- VOL. VOLUME
- FOUND 1/2" IRON ROD (UNLESS OTHERWISE NOTED)
- CALCULATED POINT
- ▽ SET 1/2" IRON ROD W/ "BGE, INC." CAP
- SCALE BREAK SYMBOL

UNDER NO CIRCUMSTANCES WILL THE CITY BE OBLIGATED TO ACCEPT STREETS, ROADWAYS, ALLEYS, CURBS, GUTTERS/DRAINAGE SYSTEMS, SIDEWALKS, STREET LIGHTS, AND/OR RELATED IMPROVEMENTS WITHIN THE DISTRICT FOR OWNERSHIP, OPERATION, AND MAINTENANCE UNTIL SUCH TIME OF FULL-PURPOSE ANNEXATION. WITH RESPECT TO SUCH STREETS AND ROADWAYS WITHIN THE DISTRICT, THE DEVELOPER SHALL DESIGN AND CONSTRUCT THE STREETS AND ROADWAYS SOLELY TO THE CITY'S APPLICABLE STANDARDS, AS MODIFIED BY THE DEVELOPMENT AGREEMENT. THE DISTRICT WILL BE OBLIGATED TO ACCEPT, OPERATE AND MAINTAIN THE STREETS AND ALL OTHER COMPONENTS THEREOF, INCLUDING BUT NOT LIMITED TO CURBS, GUTTER/DRAINAGE SYSTEMS, SIDEWALKS AND STREET LIGHTS.

**LEGAL DESCRIPTION**  
 FIELD NOTES FOR A 12.034 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, SITUATED IN BASTROP COUNTY, TEXAS; BEING OUT OF A CALLED 399.878 ACRE TRACT OF LAND AS CONVEYED UNTO CONTINENTAL HOMES OF TEXAS, L.P. IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS; SAID 12.034 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, a 1/2-inch iron rod found on the westerly right-of-way line of Farm to Market (F.M.) 969 (R.O.W. ~ 80') as shown on the plat of The Colony MUD 1A, Section 1, Phase A, as referenced in Cabinet 6, Page 129A of the Plat Records of Bastrop County, Texas, at the southeast corner of said 399.878 acre tract being the northeast corner of a called 10.01 acre tract of land as conveyed unto Esmeralda Vences-Maldonado and Fermin Vences-Maldonado in Document Number 201916372 of the Official Public Records of Bastrop County, Texas, for the southeast corner and POINT OF BEGINNING of the herein described tract;

THENCE, S 87° 56' 21" W, departing said right-of-way line, coincident with the common line of the 399.878 acre tract and said 10.01 acre tract, a distance of 827.80 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for the southwest corner of the herein described tract;

THENCE, departing said common line, over and across the 399.878 acre tract the following eight (8) courses:

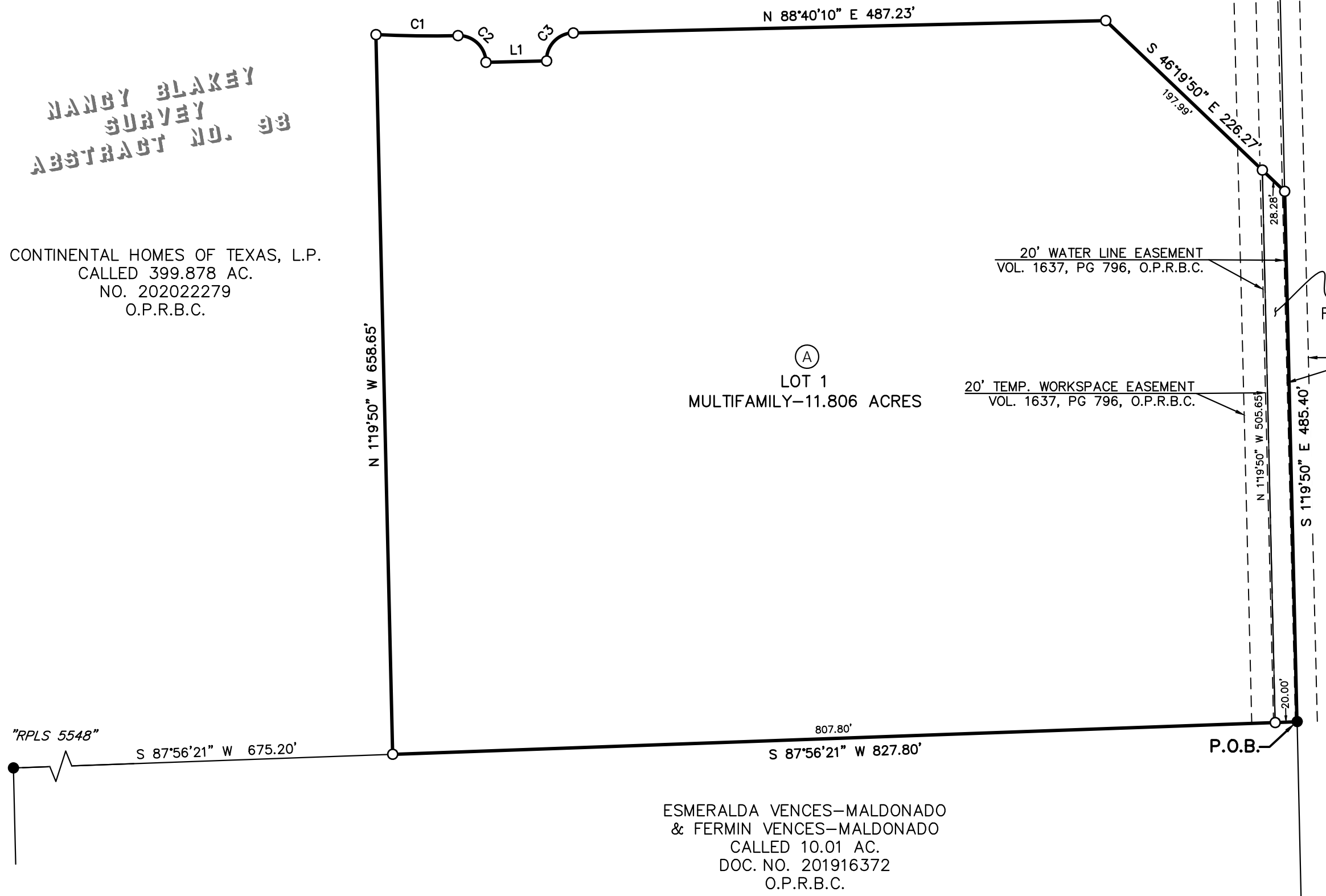
- 1) N 01° 19' 50" W, a distance of 658.65 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set at the beginning of a non-tangent curve for the northwest corner of the herein described tract;
- 2) Curving to the left, with a radius of 1,042.27 feet, an arc length of 75.06 feet, a central angle of 04° 07' 35", a chord bearing of S 89° 16' 02" E, and a chord distance of 75.05 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set for a point of reverse curvature of the herein described tract;
- 3) Curving to the right, with a radius of 25.00 feet, an arc length of 39.27 feet, a central angle of 89° 59' 53", a chord bearing of S 46° 19' 53" E, and a chord distance of 35.35 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set at the end of this curve for a re-entrant corner of the herein described tract;
- 4) N 88° 40' 13" E, a distance of 55.50 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set at the beginning of a non-tangent curve for a re-entrant corner of the herein described tract;
- 5) Curving to the right, with a radius of 25.00 feet, an arc length of 39.27 feet, a central angle of 90° 00' 00", a chord bearing of N 43° 40' 10" E, and a chord distance of 35.36 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set at a point of tangency of the herein described tract;
- 6) N 88° 40' 10" E, a distance of 487.23 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set for an angle point of the herein described tract;
- 7) S 46° 19' 50" E, a distance of 226.27 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set on the common line of the 399.878 acre tract and the aforementioned right-of-way of F.M. 969 for the northeast corner of the herein described tract;

THENCE, S 01° 19' 50" E, coincident with said common line a distance of 485.40 feet to the POINT OF BEGINNING and containing 12.034 acres of land, more or less.

**NANCY BLAKEY SURVEY ABSTRACT NO. 98**

CONTINENTAL HOMES OF TEXAS, L.P.  
 CALLED 399.878 AC.  
 NO. 202022279  
 O.P.R.B.C.

SIS BASTROP LLC  
 CALLED 10.599 AC.  
 NO. 202107639  
 O.P.R.B.C.



20' WATER LINE EASEMENT  
 VOL. 1637, PG 796, O.P.R.B.C.

0.228 ACRE  
 R.O.W. DEDICATION

20' TEMP. WORKSPACE EASEMENT  
 VOL. 1637, PG 796, O.P.R.B.C.

20' TEMP. WORKSPACE EASEMENT  
 VOL. 1637, PG 796, O.P.R.B.C.

LOT 1  
 MULTIFAMILY-11.806 ACRES

**F.M. 969**  
 80' WIDE R.O.W.  
 AS REFERENCED  
 ON  
 CAB. 6, PG. 129A  
 P.R.B.C.

ESMERALDA VENCES-MALDONADO  
 & FERMIN VENCES-MALDONADO  
 CALLED 10.01 AC.  
 DOC. NO. 201916372  
 O.P.R.B.C.

OWNER: CONTINENTAL HOMES OF TEXAS, L.P.  
 ADDRESS: 10700 PECAN PARK BLVD., SUITE 400  
 AUSTIN, TX, 78750  
 PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

ACREAGE: 12.034 ACRES  
 SURVEY: NANCY BLAKEY SURVEY, ABSTRACT NO. 98

NUMBER AND ACREAGE BY LOT TYPE: MULTIFAMILY-1-11.806 ACRES  
 R.O.W. DEDICATION-1-0.228 ACRE

PLAT SUBMITTED: 07/03/2023  
 PLAT REVISED: 08/04/2023

SURVEYOR: BGE, INC. (DION ALBERTSON, RPLS)  
 PHONE: 210-581-3600 FAX: \_\_\_\_\_  
 ENGINEER: BGE, INC. (IKSOON LEE, PE)  
 PHONE: 512-686-3552 FAX: \_\_\_\_\_

**FINAL PLAT VALVERDE SOUTH SUBDIVISION**

A SUBDIVISION OF 12.034 ACRES OF LAND  
 LOCATED IN THE  
 NANCY BLAKEY SURVEY ABSTRACT NO. 98  
 BASTROP COUNTY, TEXAS



BEARING BASIS:  
 BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4204, NAD83.



**BGE, Inc.**  
 7330 San Pedro Ave., Suite 202  
 San Antonio, TX 78216  
 Tel: 210-581-3600 • www.bgeinc.com  
 TBPELS Registration No. F-1046  
 TBPELS Licensed Surveying Firm No. 10194490

STATE OF TEXAS §  
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS:

THAT CONTINENTAL HOMES OF TEXAS, L.P., BEING THE OWNER OF A 399.878 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, BASTROP COUNTY, TEXAS, AS RECORDED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 12.034 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS:

VALVERDE SOUTH SUBDIVISION

AND DOES HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS, AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

\_\_\_\_\_  
(NAME), (TITLE)  
CONTINENTAL HOMES OF TEXAS, L.P.  
10700 PECAN PARK BLVD., SUITE 400  
AUSTIN, TEXAS 78750

STATE OF TEXAS §  
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

\_\_\_\_\_  
NOTARY PUBLIC, STATE OF TEXAS

\_\_\_\_\_  
PRINT NOTARY'S NAME  
MY COMMISSION EXPIRES \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF WILLIAMSON §

I, IKSOON LEE P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLY WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF ELGIN, TEXAS.

**PRELIMINARY PENDING FINAL REVIEW**

IKSOON LEE, P.E.  
LICENSED PROFESSIONAL ENGINEER NO. 142798

DATE: \_\_\_\_\_

BGE, INC.  
101 WEST LOUIS HENNA BLVD, SUITE 400  
AUSTIN, TEXAS 78728

STATE OF TEXAS §  
COUNTY OF BEXAR §

I, DION P. ALBERTSON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON WILL BE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF ELGIN, TEXAS, UPON COMPLETION OF CONSTRUCTION.

**PRELIMINARY PENDING FINAL REVIEW**

\_\_\_\_\_  
DION P. ALBERTSON, R.P.L.S. DATE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4963  
BGE, INC.  
7330 SAN PEDRO AVE, SUITE 202  
SAN ANTONIO, TEXAS 78216

GENERAL NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF BASTROP'S FULL PURPOSE JURISDICTION,
2. BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD83
3. THE PROPERTY LIES IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR BASTROP COUNTY, TEXAS AND INCORPORATED AREAS, MAP NUMBER 48021C0335F, REVISED MAY 9, 2023. ALL FLOODPLAIN BOUNDARIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT DEPICTED AS A RESULT OF AN ON THE GROUND SURVEY.
4. THIS SUBDIVISION IS IN AND SERVED BY CITY OF BASTROP UTILITIES FOR WATER SERVICE.
5. ELECTRIC SERVICE TO BE PROVIDED BY BLUEBONNET ELECTRIC.
6. NO DWELLING STRUCTURE MAY BE OCCUPIED UNTIL SUCH TIME AS WATER AND WASTEWATER CONNECTIONS ARE FULLY OPERATIONAL.
7. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION, GAS, AND SIMILAR UTILITY SERVICE LINES SHALL BE PLACED UNDERGROUND, AND SUCH LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE.

8. NO STRUCTURES OF ANY KIND SHALL BE CONSTRUCTED OR PLACED WITHIN OR OVER THE UTILITY EASEMENTS EXCEPT: UTILITIES, GRASS, LANDSCAPING, AND DRIVEWAY OR SIDEWALK PAVING. AQUA WATER SUPPLY CORPORATION SHALL NOT BE REQUIRED TO REPLACE OR PROVIDE REIMBURSEMENT FOR THE COST OF REPLACING ANY OBSTRUCTION, PAVING OR PLANTING THAT IS REMOVED DURING THE COURSE OF MAINTAINING, CONSTRUCTING, OR RECONSTRUCTING ANY UTILITIES.
9. NO PORTION OF THIS SUBDIVISION IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE OR CONTRIBUTING ZONE.
10. THIS PROJECT IS LOCATED IN THE LOWER COLORADO-CUMMINS WATERSHED WHICH IS CLASSIFIED AS A SUBURBAN WATER SUPPLY WATERSHED.

STATE OF TEXAS §  
COUNTY OF BASTROP §

I, KRISTA BARTSCH, CLERK OF THE COUNTY COURT OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D., THE COMMISSIONERS' COURT OF BASTROP COUNTY, TEXAS PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT AND THAT SAID ORDER HAS BEEN ENTERED INTO THE MINUTES OF SAID COURT.

WITNESS MY HAND AND SEAL OF OFFICE OF CLERK OF THE COUNTY COURT OF BASTROP COUNTY, TEXAS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

\_\_\_\_\_  
KRISTA BARTSCH  
COUNTY CLERK  
BASTROP COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

STATE OF TEXAS §  
COUNTY OF BASTROP §

I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D., AT \_\_\_\_ O'CLOCK \_\_M, IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET \_\_\_\_\_, PAGE \_\_\_\_\_.

FILED FOR RECORD ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

\_\_\_\_\_  
KRISTA BARTSCH  
COUNTY CLERK  
BASTROP COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

**FINAL PLAT  
VALVERDE  
SOUTH  
SUBDIVISION**

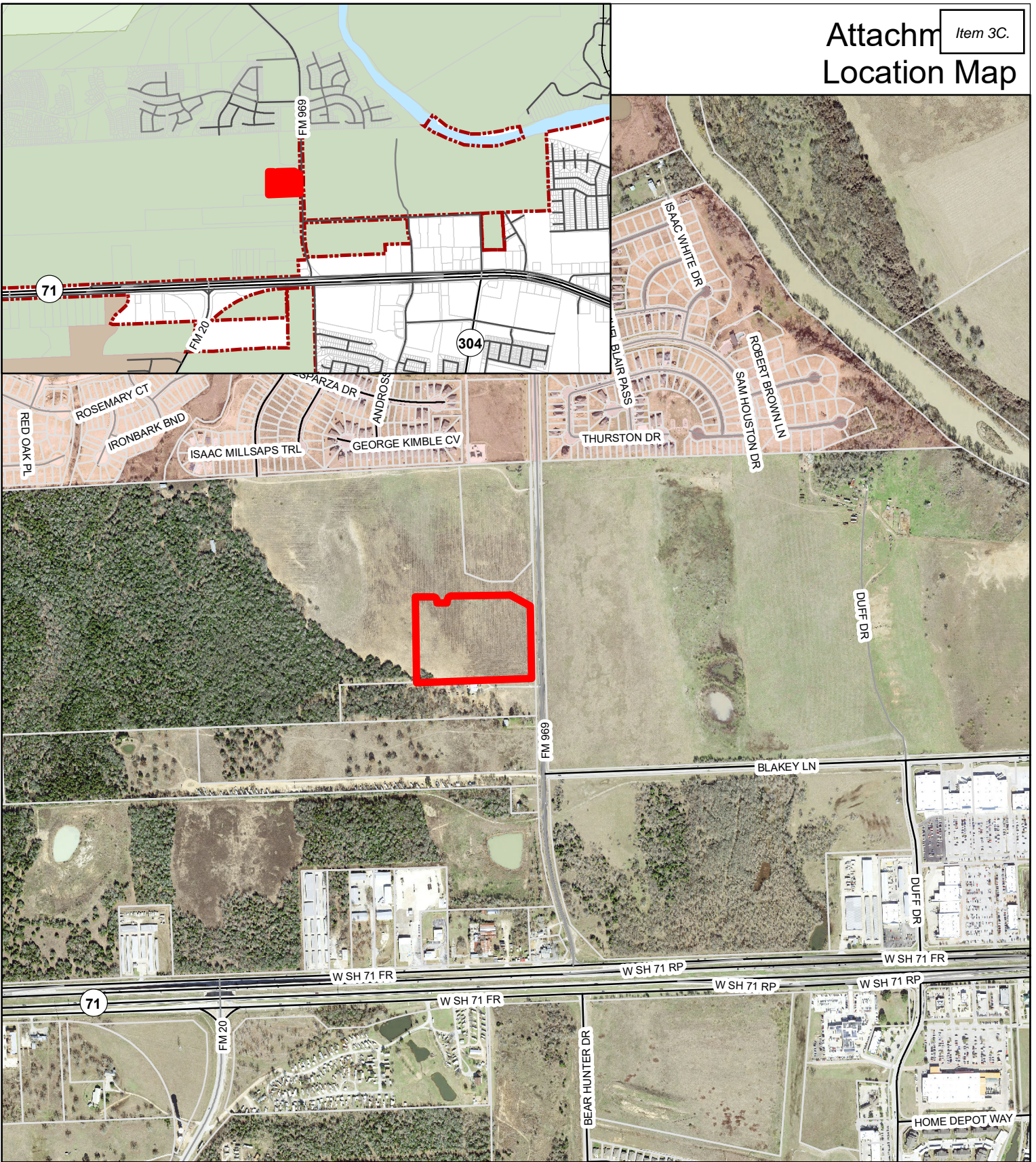
A SUBDIVISION OF 12.034 ACRES OF LAND  
LOCATED IN THE  
NANCY BLAKEY SURVEY ABSTRACT NO. 98  
BASTROP COUNTY, TEXAS



**BGE, Inc.**  
7330 San Pedro Ave., Suite 202  
San Antonio, TX 78216  
Tel: 210-581-3600 • www.bgeinc.com  
TBPELS Registration No. F-1046  
TBPELS Licensed Surveying Firm No. 10194490

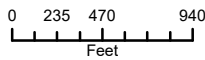
C:\TXC\Projects\DH\Communities\1445-00-Valverde\_South\_Site\_Plan\SV\04-Final\Drawings\1445-00-Valverde-South\_Plat.dwg, 8/07/2023 2:56 PM, rmmisak, 1:100





## Valverde South Final Plat

1 inch = 1,000 feet

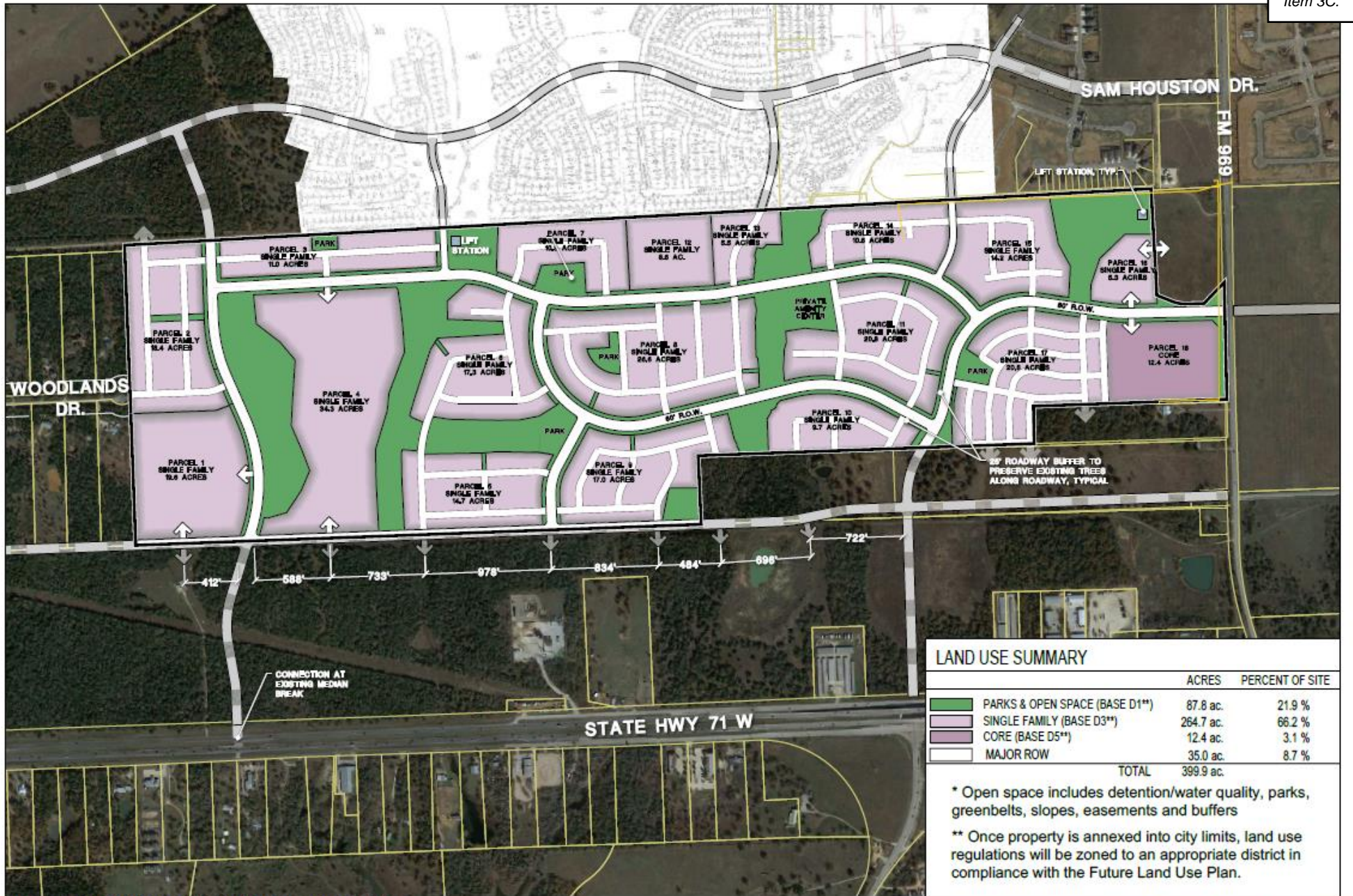


Date: 9/29/2023

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of information, nor does it represent that its use will not infringe upon privately owned rights.







NOTE: ROADWAY ALIGNMENTS ARE CONCEPTUAL IN NATURE AND MAY BE ADJUSTED WITH FUTURE PLATTING AND CONSTRUCTION DOCUMENTS





# STAFF REPORT

**MEETING DATE:** October 5, 2023

**TITLE:**

Hold public hearing and consider action on a recommendation for the Reed Ranch Zoning Concept Scheme, changing the zoning for 24.462 acres out of the Nancy Blakey Survey from P2 Rural to a Planned Development District (PDD) with a P4 Mix base zoning, as shown on Attachment 4, located at 615 W Highway 71, within the city limits of Bastrop, Texas.

**STAFF REPRESENTATIVE:**

Kennedy Higgins – Planner, Development Services

**ITEM DETAILS:**

Site Address:	615 W Highway 71, Bastrop TX
Total Acreage:	24.462 acres
Acreage Rezoned:	24.462 acres
Legal Description:	24.462 acres out of the No. 98 Nancy Blakey Survey
Property Owner:	Charles G. Rosanky Family Trust
Agent Contact:	Charley Dorsaneo / Drenner Group
Existing Use:	Vacant/Undeveloped
Existing Zoning:	P2 Rural
Proposed Zoning:	Planned Development District, P4 Core Base Zoning
Character District:	Cattleman's
Future Land Use:	Transitional Residential

**BACKGROUND:**

The applicant has applied for a Zoning Concept Scheme for Reed Ranch (Attachment 4). The proposal is to place a Planned Development District (PDD) with a P4 Mix base zoning to appropriately incorporate multi-family housing which coincides with Transitional Residential as defined by our Future Land Use plan.

After initial recommendation and listening to public comment, the developer has revised the associated documents to address the public concerns as follows:

- The units adjacent to the existing residential neighborhood, Bastrop Grove, be limited to a maximum height of 2 stories.
- The connection to Jessica Place be eliminated.
- The units on the west side of the development be allowed a maximum of 4 stories.
- The setbacks along the portion of the development that abuts the residential neighborhood be relieved of the B3 requirements.
- The development will have increased landscaping in the setback.

The existing land use is classified as P2 – Rural. However, the future land use map calls for “transitional residential” as defined below.

Place Type 4 – Mix is defined in the code as:

“More intense Building Types that provide more lifestyle choices. It provides for a mix of Residential Building Types. Commercial and Office uses are allowed in this District only in House form Structures. Because P4 is a transition area, the Street Types consists of multimodal Streets, but are primarily Residential urban fabric.”

The Future Land Use Plan shows this area as Transitional Residential:

“The Transitional Residential character area is for lands to be developed with higher densities and a variety of housing types. The character area supports high density single-family detached, single-family attached (duplexes, triplexes, townhouses) and multifamily (apartments), and institutional residential uses such as nursing homes and assisted living facilities.”

Infrastructure	Available (Y/N)	Proposed
Water	Y	Line Extensions
Wastewater	Y	Line Extensions
Drainage	Y	Storm sewer, detention pond
Transportation	Y	Extension, private drive, widening
Parks and Open Space	Y	Pond with Trails

**Drainage**

A Zoning Concept Scheme must be accompanied by a Conceptual Drainage Plan to ensure that the proposed development is feasible. A Conceptual Drainage Plan has been reviewed and approved by the City Engineer. The site includes one central location for detention in the natural flow of the land in the southeast corner of the tract. The maximum impervious cover allowed in Place Type 4 is 70%. This development proposes 62.9%.

**Utilities**

Wastewater and water service (domestic and fire) will be provided the City of Bastrop via line extensions from existing infrastructure located on Settlement Drive. These lines will be designed according to the City’s construction standards, as well as the Texas Commission on Environmental Quality’s (TCEQ) requirements. The line sizes for capacity and service are 8” for water and 6” for wastewater.

Electric service provided by Bluebonnet Electric.

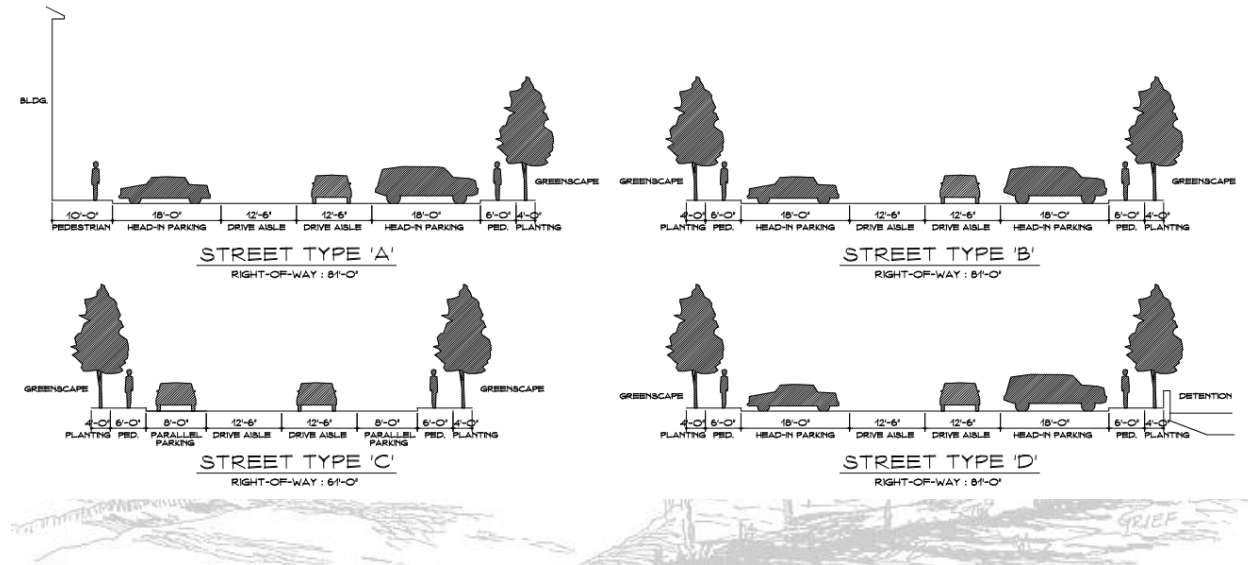
Gas will be provided by Center Point Energy.

**Traffic Impact and Streets**

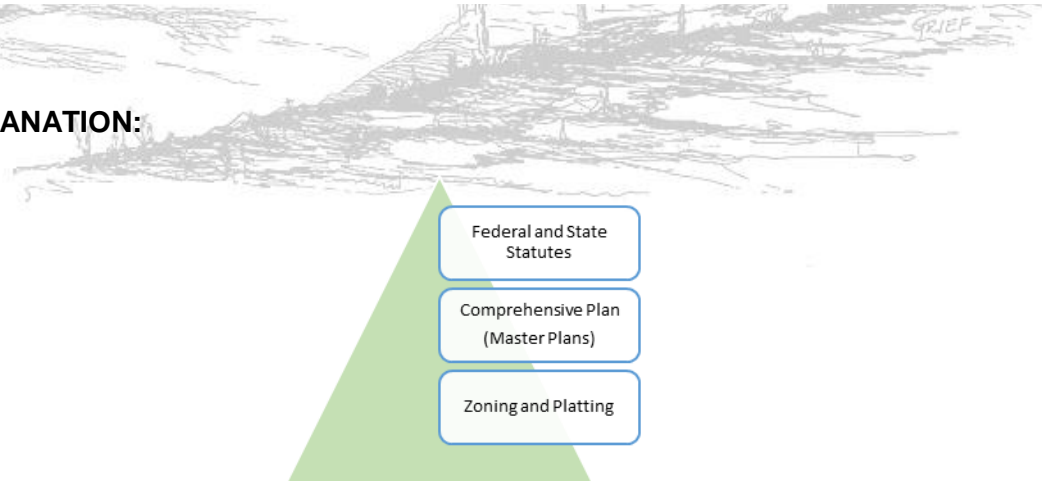
This zoning concept plan creates a series of internal private drives, connection between Settlement Road and Jessica Place, includes Right of Way dedication for an extension of Blakey Lane eastward, and creating a new street between Old Austin Highway and Blakey Lane. A private drive resembling a typical city street will run amidst the development, stretching from Settlement Road to Jessica Place. This drive will be adorned with trees, sidewalks, and



construction adhering to standard guidelines, complete with appropriate lighting. Moreover, it seamlessly aligns with the master transportation plan, ensuring effective connectivity. The main access points to the development will be off Blakey Lane and future connection to Old Austin Highway. The proposed standard street cross sections being used in the design are cross sections A, B, C, and D. The street design will follow the B3 Code, Section 7.3 for design and layout. A Traffic Impact Analysis Threshold Worksheet has been conducted and completed on behalf of the Drenner Group. The TIA shows a total of 627 units with an Average Daily Trip Rate of 6.74 and 4226 Average Daily Trips. The peak hours will be in the afternoon/evening totaling 320 trips per hour. Staff will continue to develop private street standards that meet or exceed the industry standards along with easements needed for public infrastructure.



**POLICY EXPLANATION:**



Texas Local Government Code

Sec. 211.006. PROCEDURES GOVERNING ADOPTION OF ZONING REGULATIONS AND DISTRICT BOUNDARIES. (a) The governing body of a municipality wishing to exercise the authority relating to zoning regulations and zoning district boundaries shall establish procedures for adopting and enforcing the regulations and boundaries. A regulation or boundary is not effective until after a public hearing on the matter at which parties in interest and citizens have an opportunity to be heard. Before the 15th day before the date of the hearing, notice of the time and place of the hearing must be published in an official newspaper or a newspaper of general circulation in the municipality.

*Zoning Change signs were visibly placed in the front of the property and notice was sent to property owners within 200 feet of the property boundary.*

(b) In addition to the notice required by Subsection (a), a general-law municipality that does not have a zoning commission shall give notice of a proposed change in a zoning classification to each property owner who would be entitled to notice under Section 211.007(c) if the municipality had a zoning commission. That notice must be given in the same manner as required for notice to property owners under Section 211.007(c). The governing body may not adopt the proposed change until after the 30th day after the date the notice required by this subsection is given.

*N/A. Bastrop is not a general-law municipality.*

(c) If the governing body of a home-rule municipality conducts a hearing under Subsection (a), the governing body may, by a two-thirds vote, prescribe the type of notice to be given of the time and place of the public hearing. Notice requirements prescribed under this subsection are in addition to the publication of notice required by Subsection (a).

*Notice of the meeting was posted at least 72 hours in advance.*

(d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either:

(1) the area of the lots or land covered by the proposed change; or

(2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

(e) In computing the percentage of land area under Subsection (d), the area of streets and alleys shall be included.

*At the time of this report, no protest has been received.*

(f) The governing body by ordinance may provide that the affirmative vote of at least three-fourths of all its members is required to overrule a recommendation of the municipality's zoning commission that a proposed change to a regulation or boundary be denied.

*If the Planning & Zoning Commission recommends denial of the zoning request, the City Council must have a minimum vote of 4 out of 5 members to approve the zoning request.*

*At least 5 members of the Planning & Zoning Commission must vote to make an official recommendation to the City Council. Failure to reach five vote means no official recommendation can be forwarded, but this does not impact the City Council's vote requirement to approve or deny the request.*

Compliance with 2036 Comprehensive Plan:

The Transitional Residential character area is for lands to be developed with higher densities and a variety of housing types. The character area supports high density single-family

detached, single-family attached (duplexes, triplexes, townhouses) and multifamily (apartments), and institutional residential uses such as nursing homes and assisted living facilities. Variation in form, scale, and density is allowed but appropriate transitions must be provided between land uses. In some cases, Transitional Residential uses may be included as part of a larger planned development within areas otherwise designated as Neighborhood Residential. Like, Transitional Residential character areas may also include associated amenities such as parks, trails, open spaces, and public uses such as schools, fire stations, and more.

*Representative land uses that are appropriate in Transitional Residential include multifamily apartments which are proposed within Reed Ranch.*

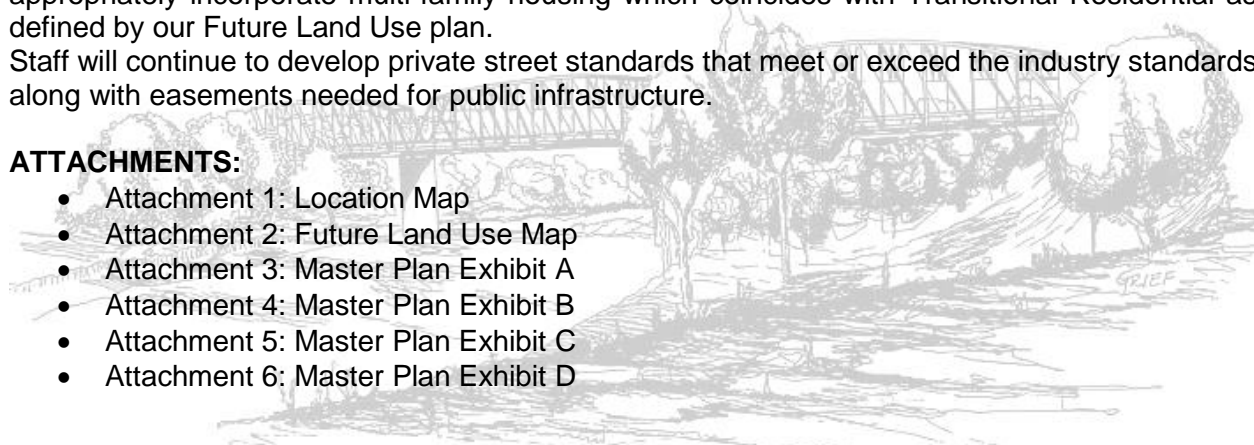
### **RECOMMENDATION:**

The applicant has applied for a Zoning Concept Scheme for Reed Ranch (Attachment 4). The proposal is to place a Planned Development District (PDD) with a P4 Mix base zoning to appropriately incorporate multi-family housing which coincides with Transitional Residential as defined by our Future Land Use plan.

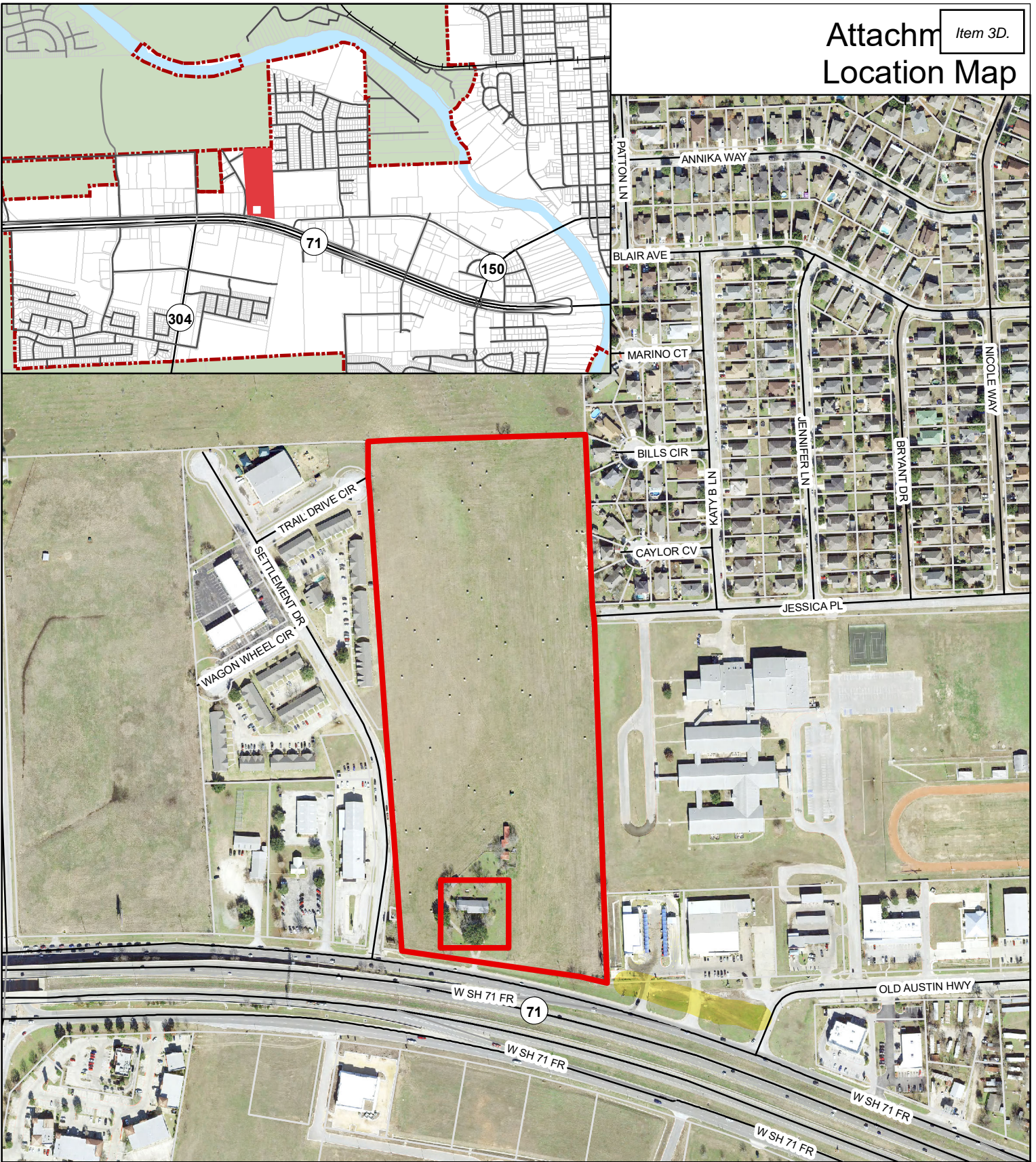
Staff will continue to develop private street standards that meet or exceed the industry standards along with easements needed for public infrastructure.

### **ATTACHMENTS:**

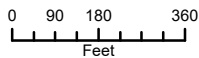
- Attachment 1: Location Map
- Attachment 2: Future Land Use Map
- Attachment 3: Master Plan Exhibit A
- Attachment 4: Master Plan Exhibit B
- Attachment 5: Master Plan Exhibit C
- Attachment 6: Master Plan Exhibit D







## Reed Ranch Property Location Map



1 inch = 400 feet



Date: 8/17/2023

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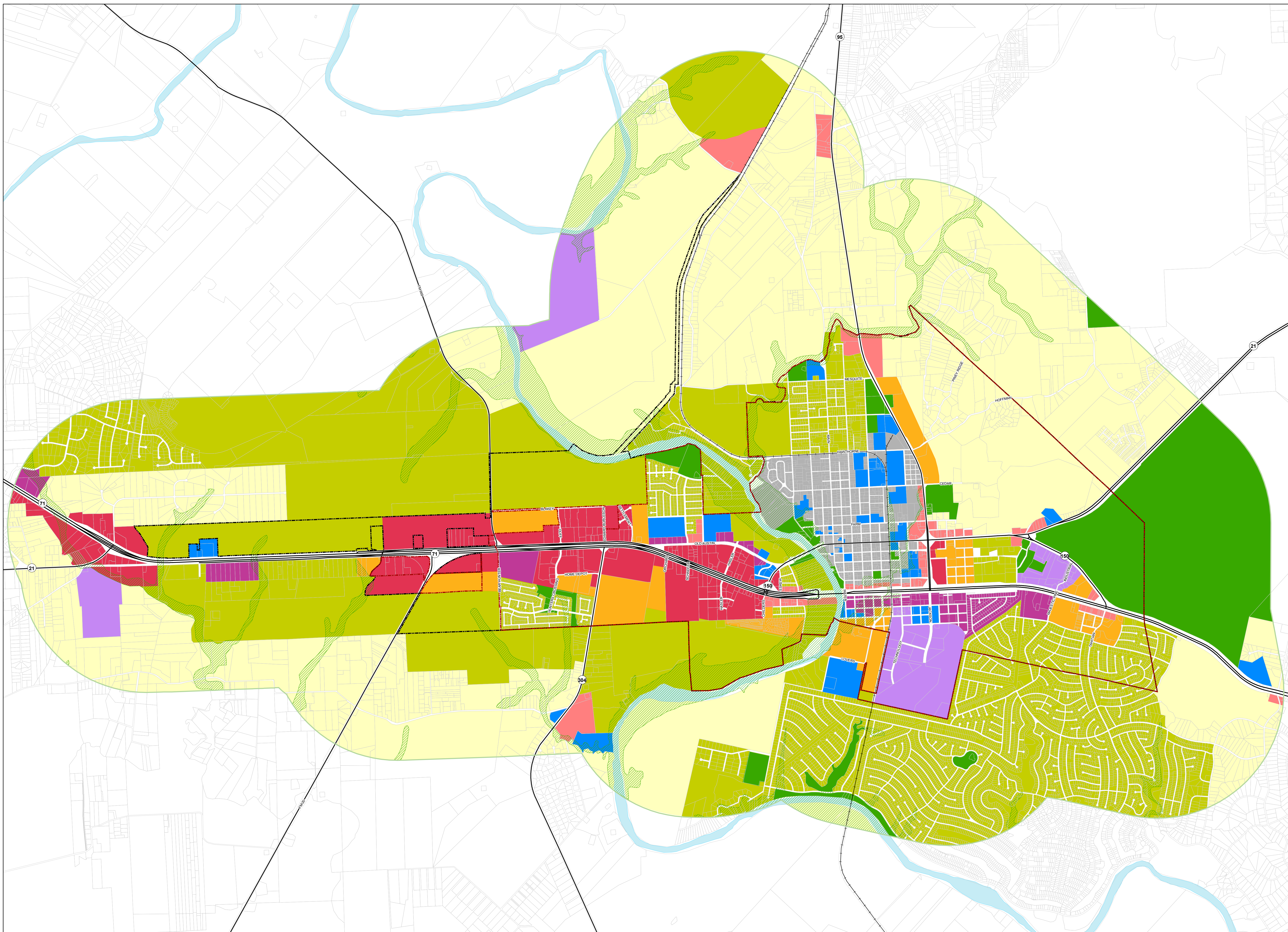
# Future Land Use

## Legend

- Statutory ETJ
- City Limit
- City Boundary
- Parcels
- Floodplain Overlay

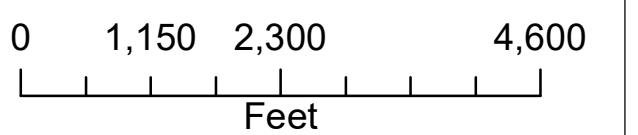
## Land Use Description

- Parks and Open Space
- Rural Residential
- Neighborhood Residential
- Transitional Residential
- Neighborhood Commercial
- General Commercial
- Professional Services
- Downtown Bastrop
- Public and Institutional
- Industrial



\*Boundary is similar to the DB-FBC

1 inch = 1,700 feet



Date: 4/12/2017

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OWNER

ROSANKY, CHARLES G  
FAMILY TRUST  
615 HWY 71 W  
BASTROP, TX 78602

DEVELOPER

HOLT LUNSFORD HOLDINGS  
5950 BERKSHIRE LANE, SUITE 900  
DALLAS, TX 75225

ARCHITECT

ARCHON CORPORATION  
210 N. PARK BLVD, SUITE 100  
GRAPEVINE, TX 76051

ENGINEER

HOLLIS SCHEFFLER, P.E.  
8701 N. MOPAC EXPY, SUITE 320  
AUSTIN, TEXAS 78759  
PHONE: (512) 485-0831

SURVEYOR

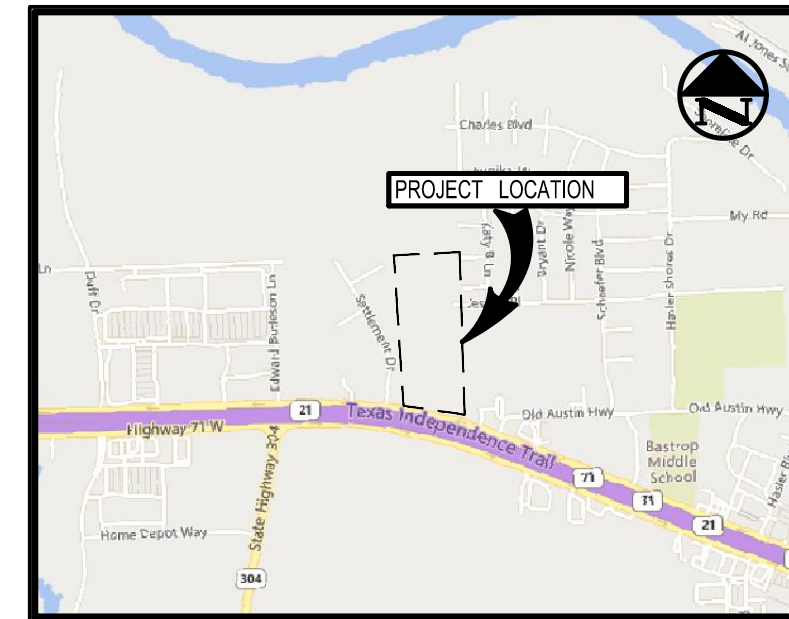
MICHAEL JACK NEEDHAM  
8701 N. MOPAC EXPY, SUITE 320  
AUSTIN, TEXAS 78759  
PHONE: (512) 485-0831



LEGAL DESCRIPTION:

A98 BLAKEY, NANCY, ACRES 23.0400

# ZONING CONCEPT PLANS FOR REED RANCH 615 SH 71 W BASTROP TX, 78602



VICINITY MAP  
(1"=2000')

PROJECT ZONING: P-2  
PROJECT ADDRESS: 615 SH 71 W  
SUBMITTAL DATE: JULY 10, 2032

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	PEDESTRIAN SHED
3	PD SITE PLAN
4	LOT AND BLOCK LAYOUT
5	EXISTING DRAINAGE AREA MAP
6	PROPOSED DRAINAGE AREA MAP
7	UTILITY PLAN 1 OF 2
8	UTILITY PLAN 2 OF 2

REVISIONS

NO.	DATE	DESCRIPTION	BY

REED RANCH  
615 SH 71 W  
BASTROP TX, 78602  
COVER

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
THIS DOCUMENT IS FOR THE  
PURPOSE OF SCHEMATIC REVIEW ONLY  
AND IS NOT INTENDED FOR PERMITTING,  
BIDDING, OR CONSTRUCTION PURPOSES.  
PLANS PREPARED UNDER THE DIRECT  
SUPERVISION AND SEAL OF ARCHITECT, P.E. TEXAS  
REGISTRATION NO. 150646.  
DATE: xx/xx/xxxx

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO.  
**1**

7/10/2023 1:38 PM \\WESTWOODPS\LOCAL\GLOBAL PROJECTS\0043796\00\06 CAD\DWG\SITE DESIGN C3D\0043796\_COVR-COVER-AUSTIN.DWG

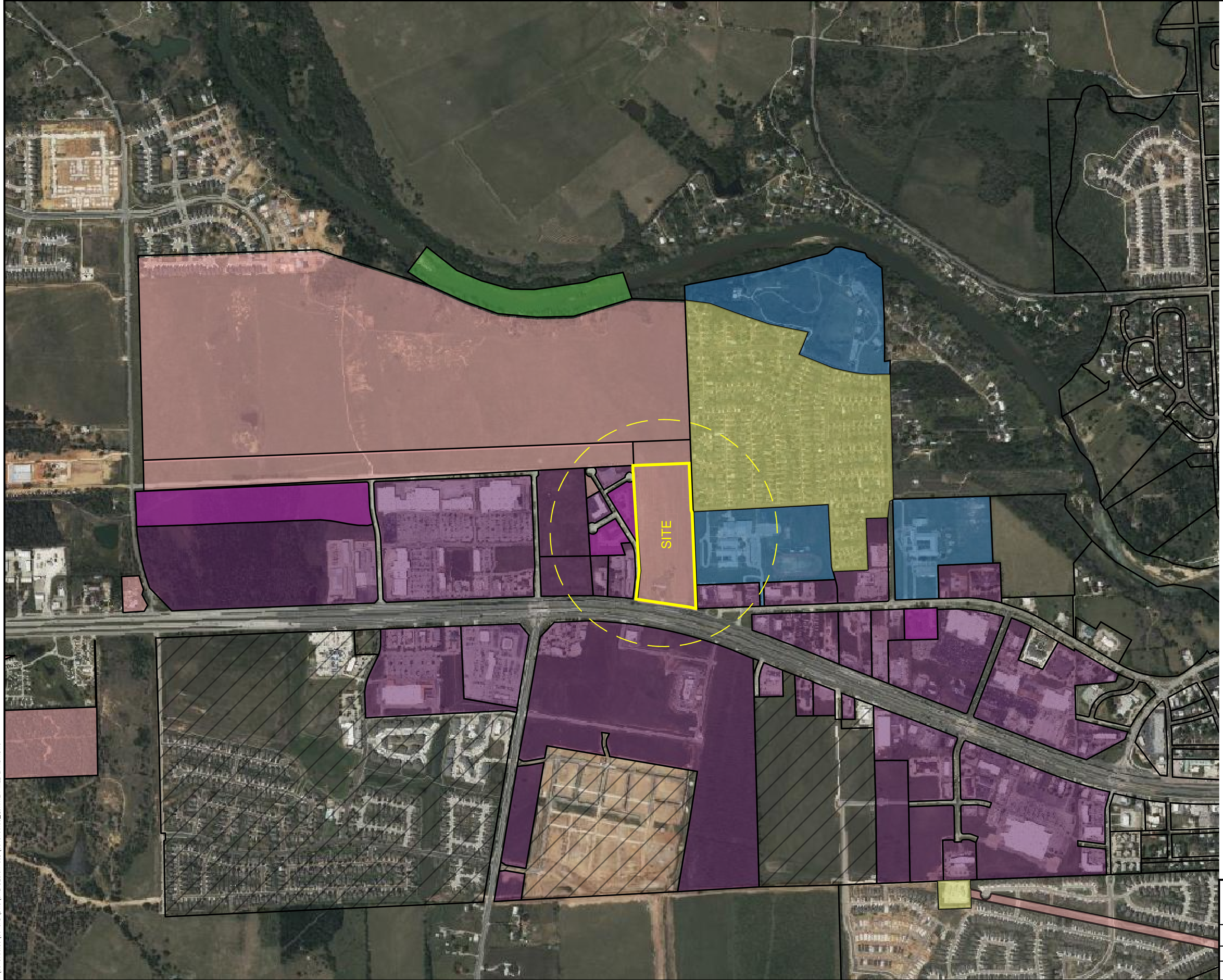
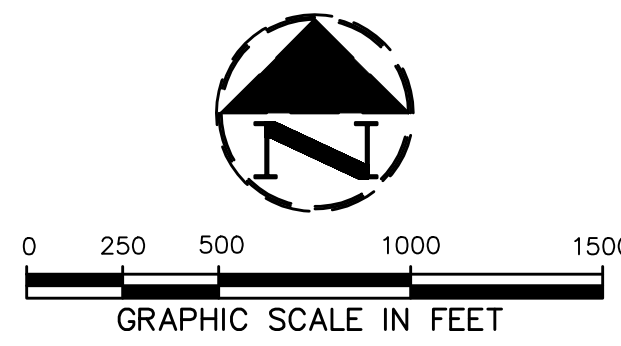
PREPARED BY  
**Westwood**

Phone (512) 485-0831 8701 N. Mopac Expy, Suite 320  
Toll Free (888) 937-5150 Austin, TX 78759  
westwoodps.com

Westwood Professional Services, Inc.  
TBPE FIRM REGISTRATION NO. F-11756  
TBPLS FIRM REGISTRATION NO. LS-10074301

**Westwood**  
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Westwood Professional Services, Inc.  
TBPE FIRM REGISTRATION NO. F-469  
TBPLS FIRM REGISTRATION NO. LS-100800-00





P2	P3	P4	CIVIC	P5	TOTAL
30.40%	12.35%	4.90%	14.68%	24.58%	86.91%

- PLANNED DEVELOPMENT
- NATURE
- CIVIC SPACE
- RURAL
- NEIGHBORHOOD
- MIX
- CORE

**Westwood** Phone (512) 485-0831  
 Toll Free (888) 937-5150  
 Westwood Professional Services, Inc. 8701 N. Mopac Expy, Suite 320  
 Austin, TX 78759 westwoodps.com

TYPE FIRM REGISTRATION NO. F-11756  
 TBPLS FIRM REGISTRATION NO. LS-10074301

**PROPOSED PEDESTRIAN SHED (1/4 MILE)**

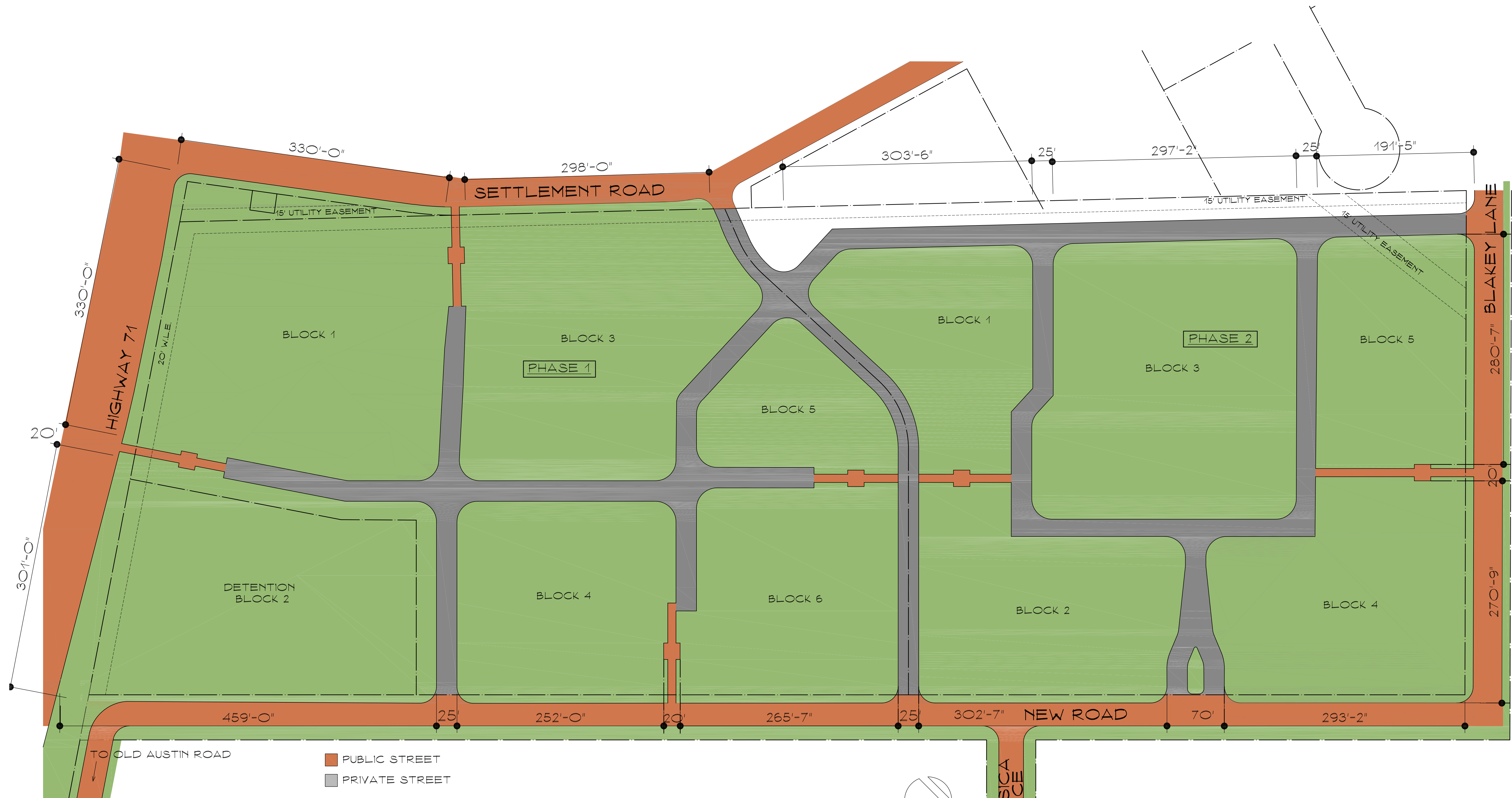
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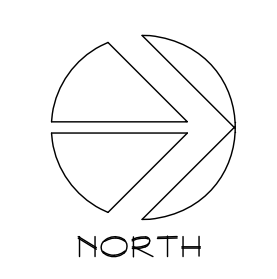






ARCHITECT:  
 GARY G. WOOD #12202  
 PRELIMINARY - NOT TO BE USED FOR  
 REGULATORY APPROVAL, PERMITTING,  
 OR CONSTRUCTION  
 DATE: 10 JUL 23

■ PUBLIC STREET  
 ■ PRIVATE STREET

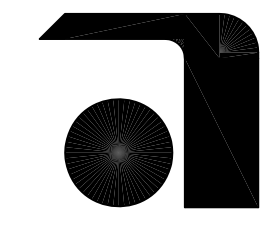
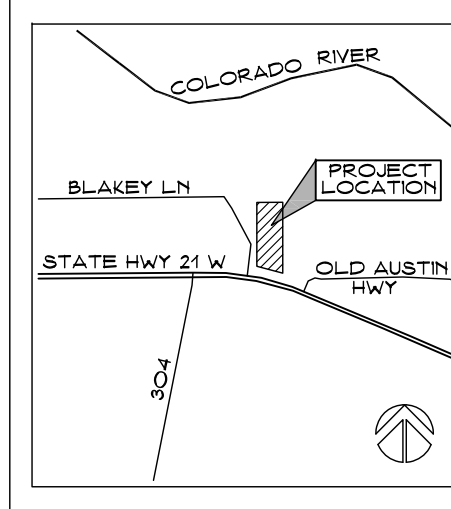


**LOT/BLOCK PLAN**

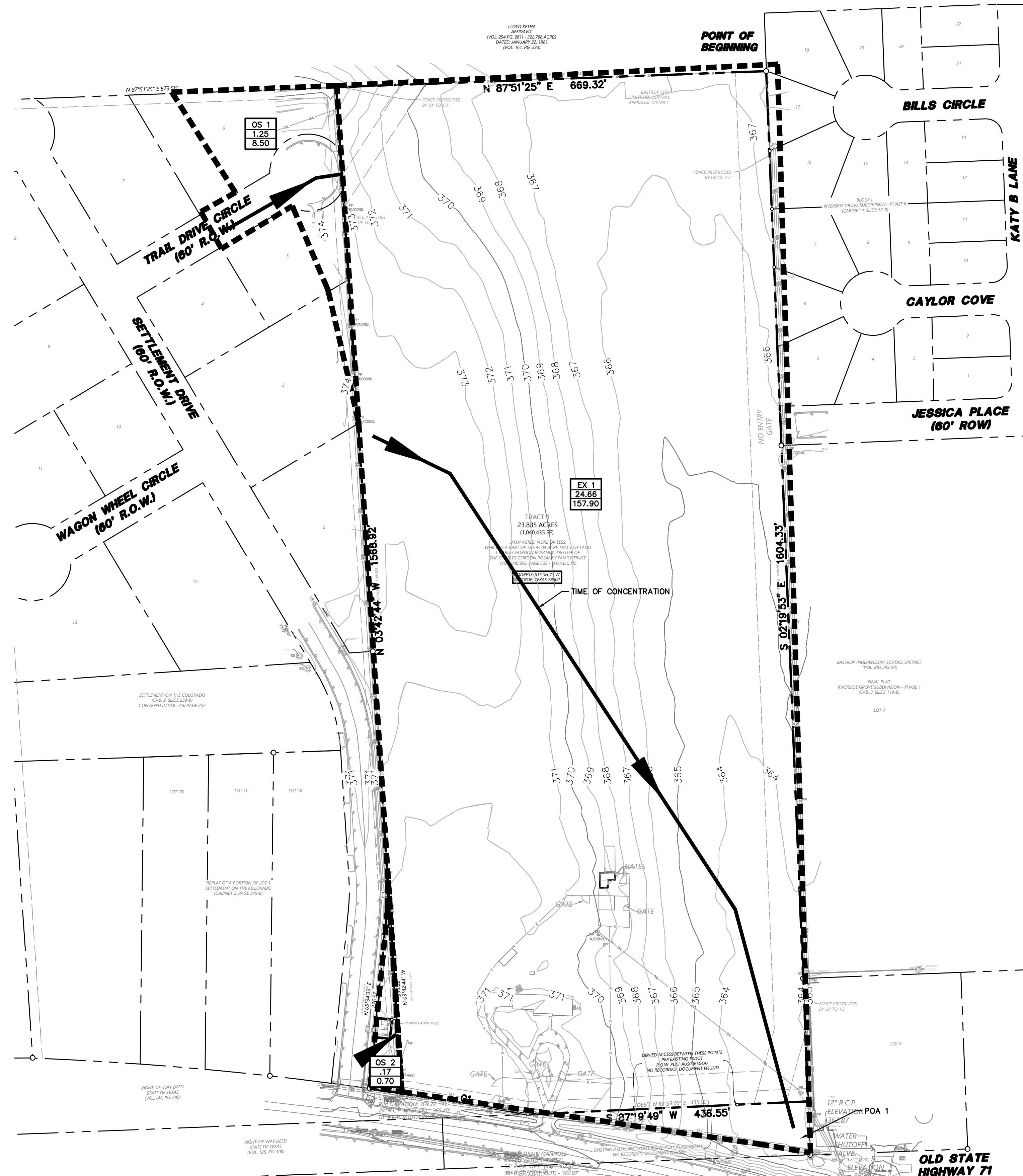
PROJECT NAME: REED RANCH  
 ACERAGE: 24.3 A.  
 DATE: 10 JUL 23

0 10 30 60 120  
 SCALE: 1" = 60'-0"

**ARCHON CORPORATION**  
 ARCHITECTS / PLANNERS  
 210 NORTH PARK BLVD.  
 SUITE 100 - GRAPEVINE, TX  
 76051 214/526-0731





GRAPHIC SCALE IN FEET  
 1"=100'  
**LEGEND**

BL	BOLLARD	EM	ELECTRIC METER
PP	POWER POLE	LS	LIGHT STANDARD
WM	WATER METER	WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE	PH	FIRE HYDRANT
CS	CLEANOUT	MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL	TSP	TRAFFIC SIGNAL POLE
TSP	TRAFFIC SIGNAL POLE	TELE	TELEPHONE BOX
FL	FLOOD LIGHT	FP	FLAG POLE
TR	TRAFFIC SIGN	PL	PROPERTY LINE
X	FENCE	G13	EXISTING CONTOUR
→	DRAINAGE FLOW DIRECTION	→	100-YR FLOODPLAIN LIMITS
---	DRAINAGE DIVIDE	EX B	EXISTING DRAINAGE AREA ID
		1.00	AREA IN ACRES
		7.99	Q <sub>100</sub> IN CUBIC FEET PER SECOND

SHEET FLOW										SHALLOW CONCENTRATED FLOW					CHANNEL FLOW						
DRAINAGE NUMBER	INLET NUMBER	AREA (acres)	Length (ft)	Slope (ft/ft)	Surface Cover	Velocity (ft/s)	Manning's n	T <sub>sheet</sub> (min)	Length (ft)	Slope (ft/ft)	Surface Type	Velocity (ft/s)	K	T <sub>shallow</sub> (min)	Length (ft)	Slope (ft/ft)	Type	K (ft)	Velocity (ft/s)	T <sub>channel</sub> (min)	T <sub>c</sub> (min)
OS 1	OS 1	1.25	50.00	0.01	SHORT GRASS PRAIRIE	0.07	0.15	11.88	150.00	0.01	UNPAVED	1.61	16.13	1.55	0.00	0.01	36" RCP	94.36	9.44	0.00	13.43
OS 2	OS 2	0.17	50.00	0.01	SHORT GRASS PRAIRIE	0.03	0.15	32.22	0.00	0.01	UNPAVED	1.61	16.13	0.00	0.00	0.01	36" RCP	94.36	9.44	0.00	32.22
EX 1	EX 1	24.66	50.00	0.01	SHORT GRASS PRAIRIE	0.31	0.15	2.67	990.00	0.03	UNPAVED	2.79	16.13	5.90	0.00	0.01	36" RCP	94.36	9.44	0.00	8.58

**HEC-HMS SUMMARY: EXISTING CONDITIONS**

Drainage Area Basin Designation	Drainage Area (ac)	Base Curve Number CN	Lag Time (min)	Impervious Cover %	2 YEAR STORM		10 YEAR STORM		25 YEAR STORM		100 YEAR STORM	
					Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)
OS 1	1.25	61	8.06	34.64%	2.50	5.50	5.50	6.10	6.10	8.50	8.50	
OS 1	1.25	61	19.33	0.00%	0.10	0.40	0.40	0.50	0.50	0.70	0.70	
EX 1	24.66	61	5.15	1.32%	27.40	86.20	86.20	103.80	103.80	157.90	157.90	
POA 1					27.40	86.20	86.20	103.80	103.80	157.90	157.90	

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 TBPE FIRM REGISTRATION NO. F-469  
 TBPLS FIRM REGISTRATION NO. LS-10080-00

REVISIONS	
NO.	DESCRIPTION

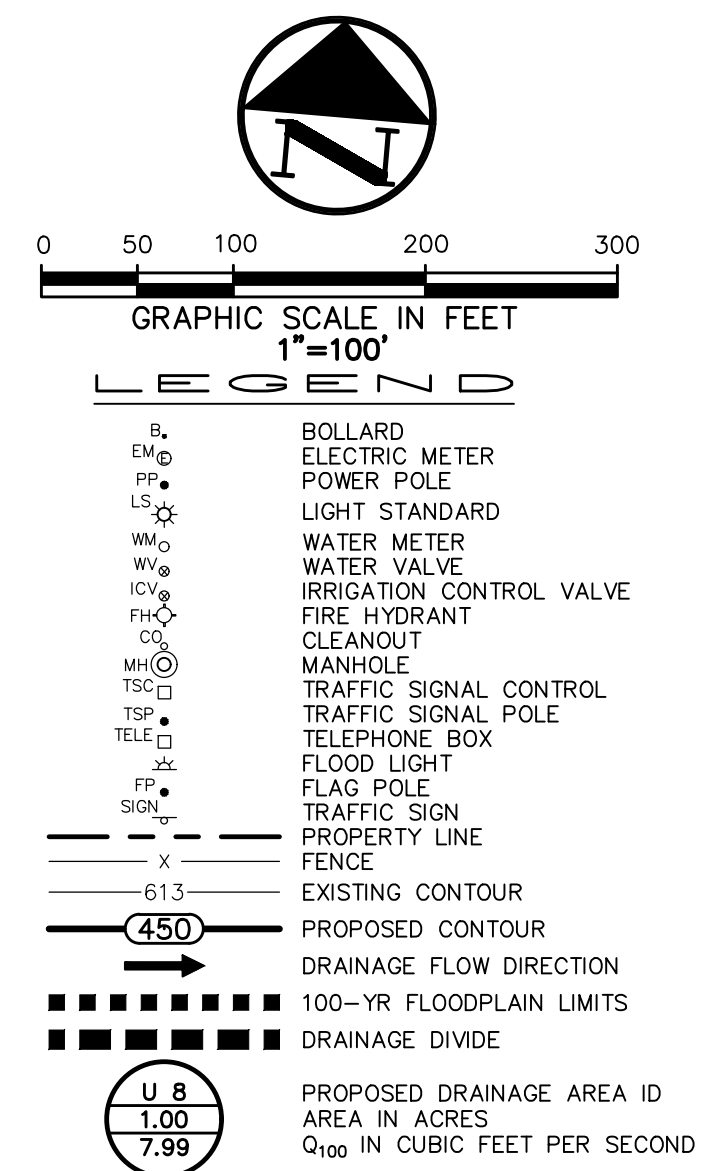
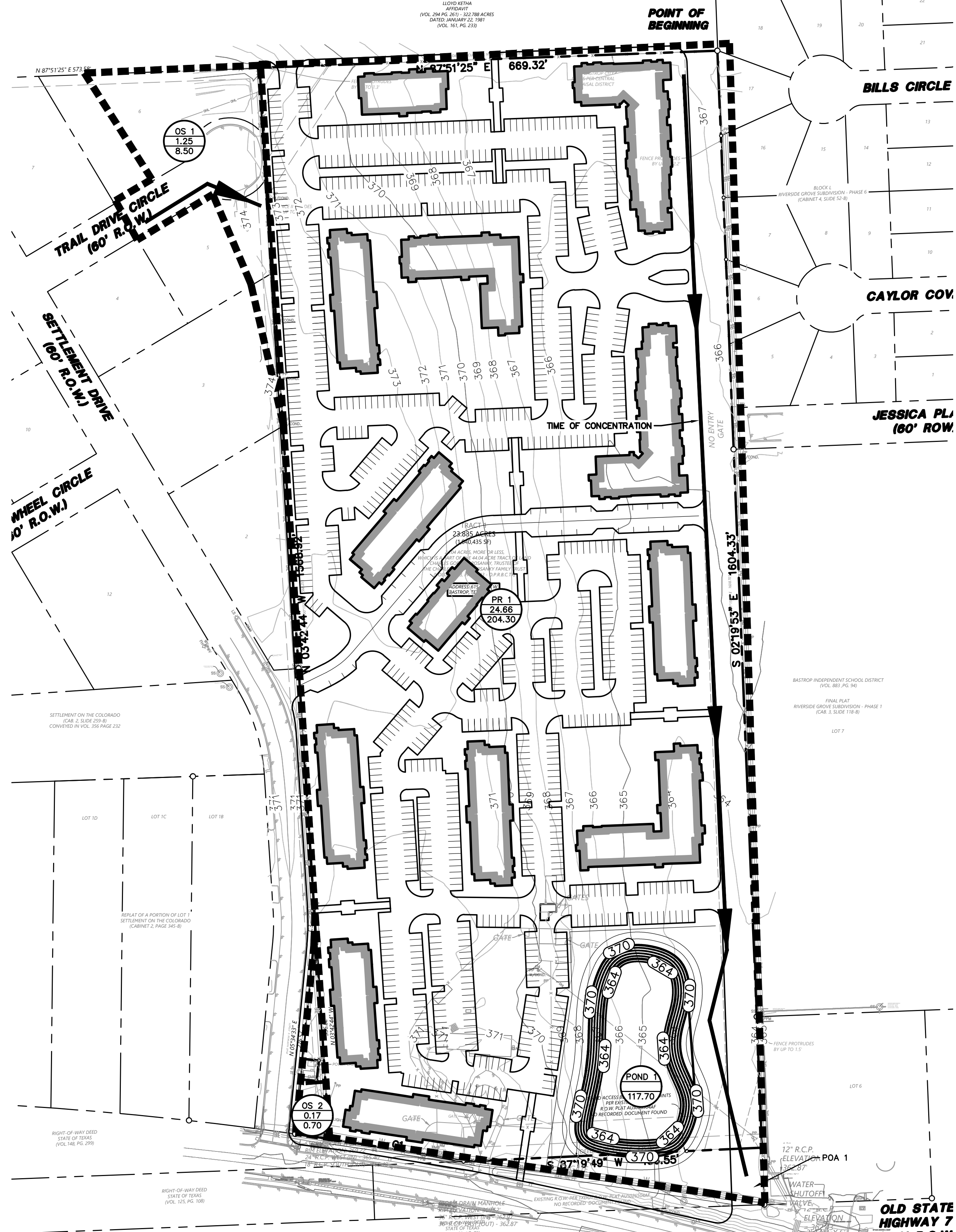
REED RANCH  
 615 SH 71 W  
 BASTROP TX, 78602  
 EXISTING DRAINAGE AREA MAP

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 THIS DOCUMENT IS FOR INFORMATION ONLY  
 AND IS NOT INTENDED FOR PERMITTING,  
 BIDDING, OR CONSTRUCTION PURPOSES.  
 PLANS PREPARED UNDER THE DIRECT  
 REGISTRATION NO. 135049.  
 DATE: xx/xx/xxxx

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO. **5**





DRAINAGE NUMBER	INLET NUMBER	AREA (acres)	SHEET FLOW					SHALLOW CONCENTRATED FLOW					CHANNEL FLOW								
			Length (ft)	Slope (ft/ft)	Surface Cover	Velocity (ft/s)	Manning's n	T <sub>sheet</sub> (min)	Length (ft)	Slope (ft/ft)	Surface Type	Velocity (ft/s)	K	T <sub>shallow</sub> (min)	Length (ft)	Slope (ft/ft)	Type	K (ft)	Velocity (ft/s)	T <sub>channel</sub> (min)	T <sub>c</sub> (min)
OS 1	OS 1	1.25	50.00	0.01	SHORT GRASS PRAIRIE	0.07	0.15	11.88	150.00	0.01	UNPAVED	1.61	16.13	1.55	0.00	0.01	36" RCP	94.36	9.44	0.00	13.43
OS 2	OS 2	0.17	50.00	0.01	SHORT GRASS PRAIRIE	0.03	0.15	32.22	0.00	0.01	UNPAVED	1.61	16.13	0.00	0.00	0.01	36" RCP	94.36	9.44	0.00	32.22
PR 1	PR 1	24.66	50.00	0.01	ASPHALT	1.87	0.02	0.45	990.00	0.03	PAVED	3.52	20.33	4.69	0.00	0.01	36" RCP	94.36	9.44	0.00	5.13

HEC-HMS SUMMARY: DEVELOPED CONDITIONS													
Drainage Area Basin Designation	Drainage Area (ac)	Base Curve Number CN	Lag Time (min)	Cumulative Area (ac)	Impervious Cover %	2 YEAR STORM		10 YEAR STORM		25 YEAR STORM		100 YEAR STORM	
						Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)
OS1	1.25	61	8.06	34.64		2.50		5.50		6.10		8.50	
OS2	0.17	61	19.33	0.00		0.10		0.40		0.50		0.70	
PR 1	24.66	61	3.08	62.90		78.00		149.00		155.70		204.30	
POND 1						27.20		27.20		82.50		82.50	
POA 1						27.20		82.50		91.00		117.70	

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REVISIONS	
NO.	DESCRIPTION

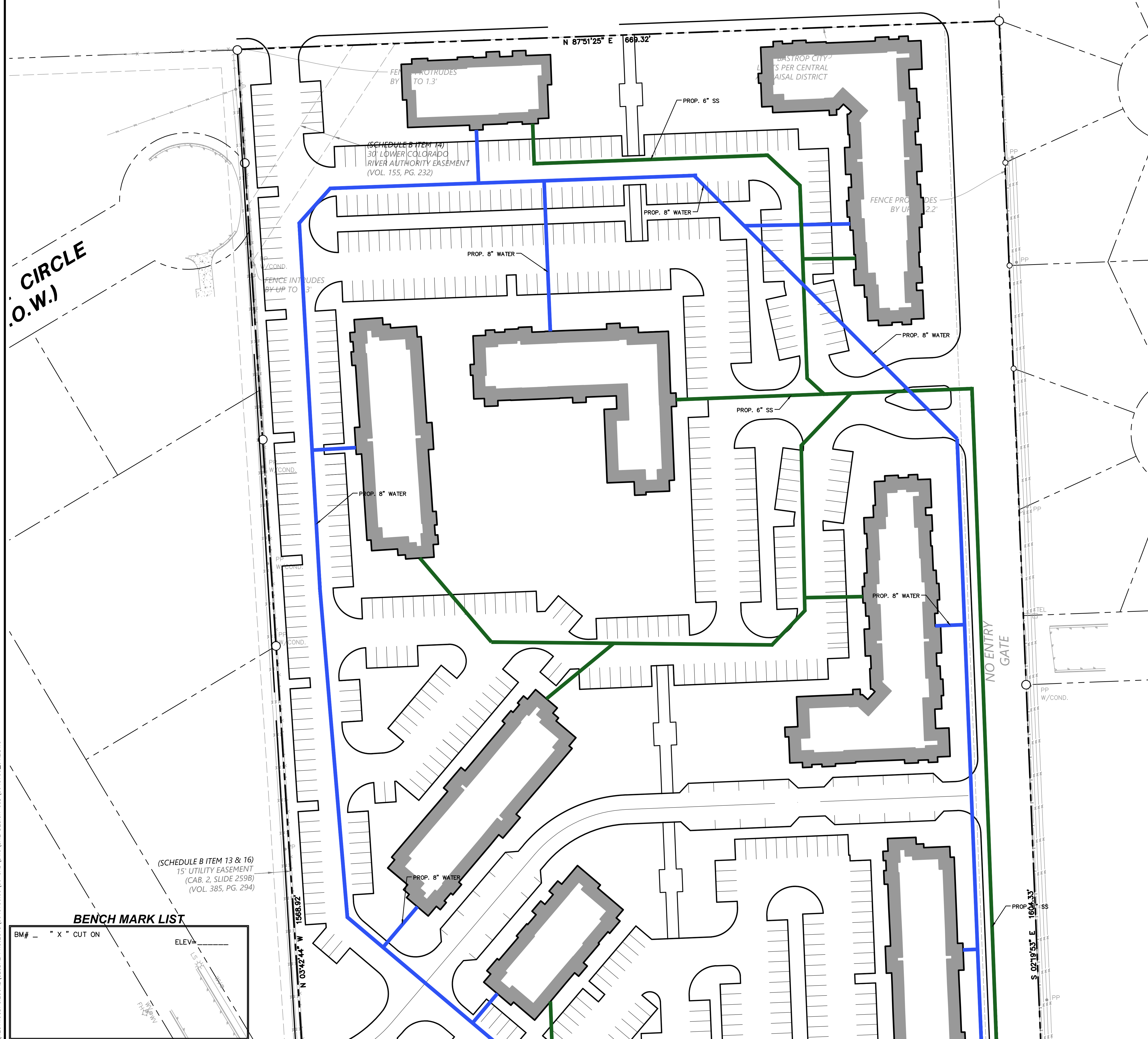
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**615 SH 71 W**  
**BASTROP TX, 78602**  
**PROPOSED DRAINAGE AREA MAP**

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 THIS DOCUMENT IS FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.  
 PLANS PREPARED UNDER THE DIRECT SUPERVISION AND CLOSE PERSONAL REGISTRATION NO. 1350496.  
 DATE: 07/10/2023

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO. **6**





0 20 40 80 120  
GRAPHIC SCALE IN FEET  
1"=40'

**LEGEND**

BL	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CL	CLEANOUT
CO	MANHOLE
MH	TRAFFIC SIGNAL CONTROL
TSC	TRAFFIC SIGNAL POLE
TS	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
TR	TRAFFIC SIGN
IR	1/2-INCH IRON ROD
IRS	W/"PACHECO KOCH" CAP SET
(C.M.)	CONTROLLING MONUMENT
X	PROPERTY LINE
DHL	OVERHEAD UTILITY LINE
U	UNDERGROUND ELECTRIC LINE
T	UNDERGROUND TELEPHONE LINE
C	UNDERGROUND CABLE LINE
W	UNDERGROUND WATER LINE
SS	UNDERGROUND SANITARY SEWER LINE
PP	PROP. FDC LOCATION
PP	PROP. WATER VALVE
PP	PROP. FIRE HYDRANT
PP	PROP. WATER LINE W/ BEND
PP	PROP. SANITARY SEWER LINE
PP	PROP. SANITARY SEWER MANHOLE
PP	PROP. SANITARY SEWER CLEANOUT

- WATER & SANITARY SEWER GENERAL NOTES**
- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
  - ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 215, FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
  - WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
  - ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
  - SANITARY SEWER PIPE SHALL BE PVC SDR-35.
  - WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES, WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY:
    - TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
    - TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
  - CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
  - ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
  - THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
  - ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
  - TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
  - EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
  - VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"x24"x6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
  - CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
  - IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.

CIRCLE  
(O.W.)

(SCHEDULE B ITEM 13 & 16)  
15' UTILITY EASEMENT  
(CAB. 2, SLIDE 259B)  
(VOL. 385, PG. 294)

**BENCH MARK LIST**

BM#	" X " CUT ON	ELEV.

**Westwood**

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Toll Free (866) 937-5150 Austin, TX 78759  
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TBPB FIRM REGISTRATION NO. P-469  
TBPB FIRM REGISTRATION NO. LS-100080-00

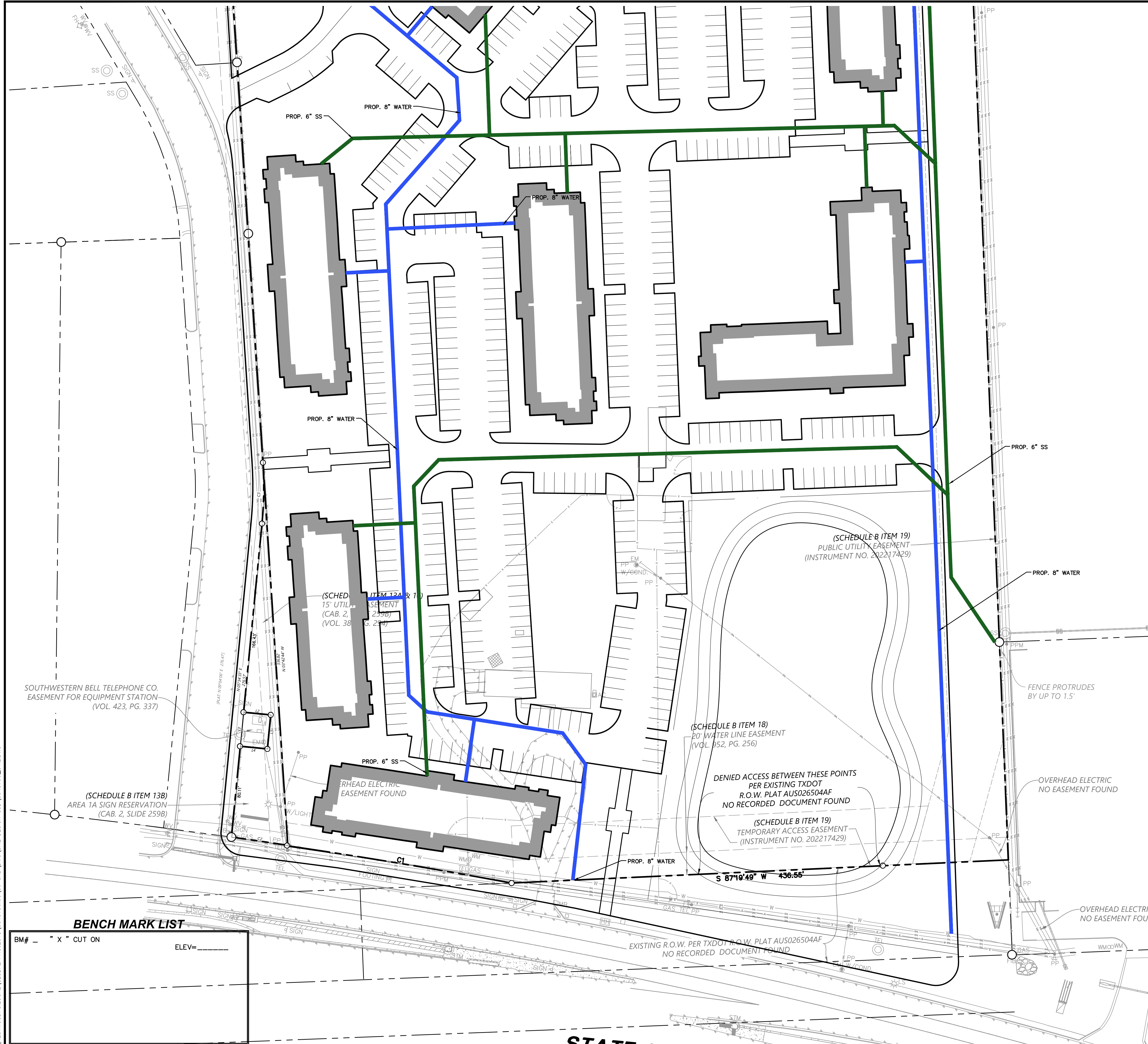
NO.	DATE	DESCRIPTION

**REED RANCH**  
**615 SH 71 W**  
**BASTROP TX, 78602**

**UTILITY PLAN 1 OF 2**

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023
SHEET NO. <b>7</b>		
7 OF 8		





0 20 40 80 120  
GRAPHIC SCALE IN FEET  
1"=40'

**LEGEND**

EM	BOLLARD
PP	ELECTRIC METER
LS	POWER POLE
LS*	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FM	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
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SIG	1/2-INCH IRON ROD
IRS	W/ "PACHCO KOCH" CAP SET
(C.M.)	CONTROLLING MONUMENT
---	PROPERTY LINE
X	FENCE
DHL	OVERHEAD UTILITY LINE
---	UNDERGROUND ELECTRIC LINE
-T-	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE LINE
---	UNDERGROUND WATER LINE
6"W	UNDERGROUND SANITARY SEWER LINE
6"SS	PROP. FDC LOCATION
---	PROP. WATER VALVE
---	PROP. FIRE HYDRANT
---	PROP. WATER LINE W/ BEND
---	PROP. SANITARY SEWER LINE
---	PROP. SANITARY SEWER MANHOLE
---	PROP. SANITARY SEWER CLEANOUT

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NO.	DATE	DESCRIPTION

**REED RANCH**  
**615 SH 71 W**  
**BASTROP TX, 78602**  
**UTILITY PLAN 2 OF 2**

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO. **8**  
 8 OF 8

7/10/2023 1:44 PM  
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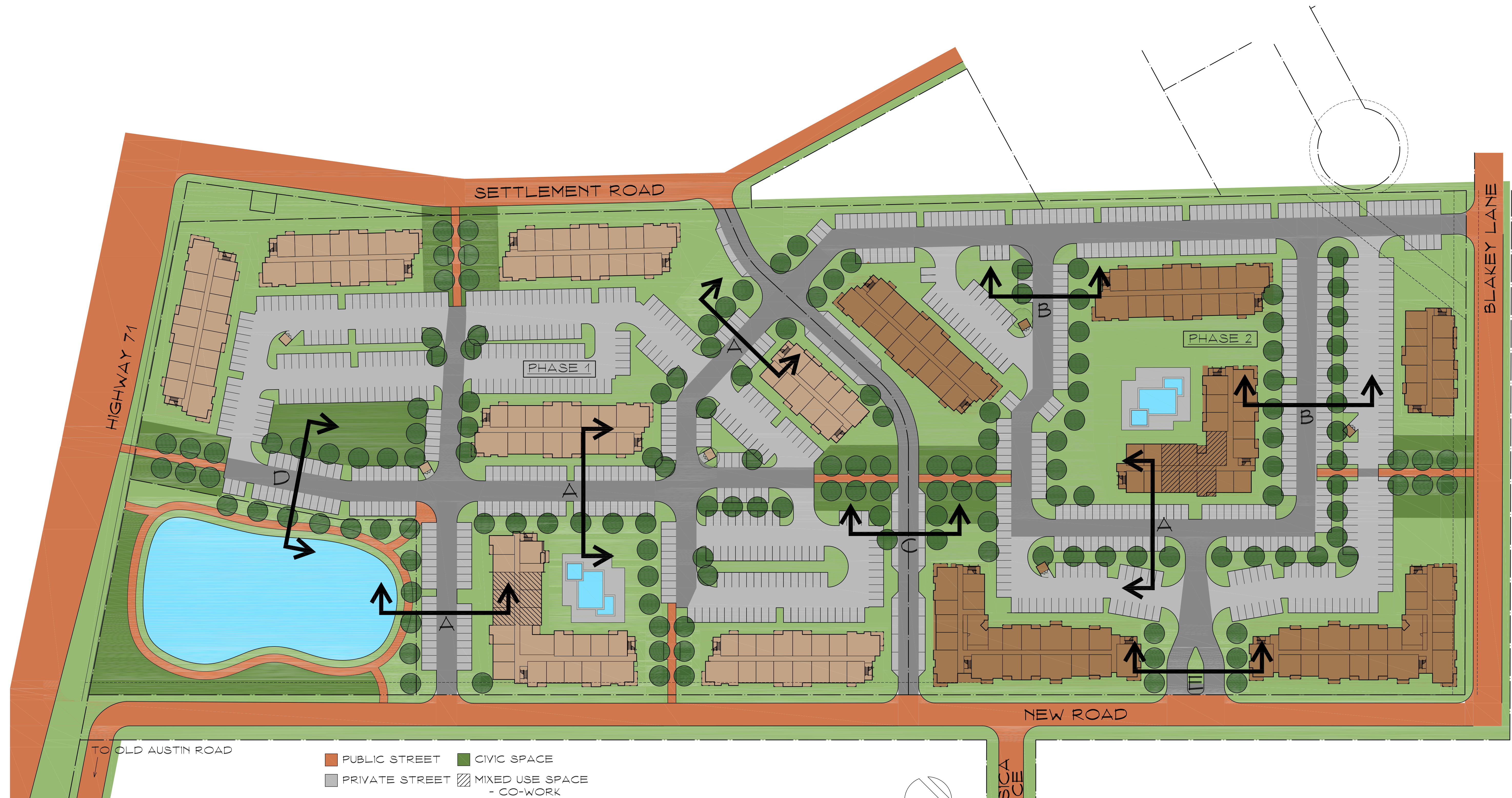
**Exhibit C – Warrant List**

<b>B3 Code Section</b>	<b>Description</b>	<b>Development Issue</b>	<b>Proposed Alternative &amp; Reasoning</b>
7.1.002(k)	To prevent future conflicts regarding Street maintenance, private Streets are prohibited, except where justified by special considerations.	Dedication requirement does not permit developer to manage and maintain streets.	Allowing for streets to be privately owned, managed, and maintained is fiscally sustainable.
7.2.003	Street right-of-way . . . must be dedicated . . . .		
7.3.004	Traffic Lanes: Two lanes at 10 feet each  Parking Lanes: Both sides parallel at 8 feet, marked	Complying with health/safety codes requires lanes to be wider.  Only parallel parking does not allow for a financially feasible amount of parking spaces.	Permitting 12.5’ lanes such that the street can meet fire lane requirements meets the intent of the code and is fiscally sustainable. Allowing for head-in parking to be 18’ is fiscally sustainable.
7.5.002(d)	Storm Drainage Facilities, if equipped to provide Civic Space, may be counted toward the 10% Civic Place Type allocations requirement by warrant.	Drainage requires a large portion of the project to be a pond. Not allocating this space toward the Civic Space requirement makes project fiscally infeasible.	An amenitized wet pond with a trail meets the intent of code, is fiscally sustainable, and authentically Bastrop.
7.1.002(h)	Dead-end Streets must be avoided.	Proposed design does not show dead-end streets. Rather, internal drives culminate into left and right parking aisles for buildings or walkway plazas in line with 5.2.002(d).	For avoidance of doubt, internal drives culminating into 20’ walkway easement places as generally shown in the Conceptual PD Master Plan meets the intent of code.
5.2.002	Preferred block size is 330’ by 330’and max block perimeter of 1,320’	Drainage block is large due to odd shape of site and need for a large pond.  Treating private streets/driveways as block boundaries for this measurement results in an urban fabric of slow	Allowing for a single larger block complies with intent of code.  Permitting private drives as shown on the Conceptual PD Master Plan is fiscally sustainable and meets the intent of code.

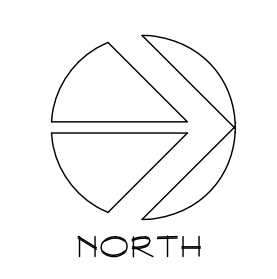


		streets, with the plazas acting as traffic calming devices.	
5.2.002(f)	In the P4 Mix, a minimum Residential mix of three Building Types (not less than 20%) shall be required.	Proposed design elects only apartment buildings with amenity and civic spaces. A variety of building types is not fiscally sustainable.	As the project is unlikely to move forward if a variety of building types are required, allowing for a warrant is fiscally sustainable.
6.5.003	-70 percent max lot coverage; -60% minimum buildout at build-to-line; -Build-to-line is 5-15 ft	Conceptual PD Master Plan generally meets build-to-line requirements of P4 but may not meet all façade buildout or lot coverage requirements. Specifically, the 60% buildout line is doable along the publicly dedicated streets but not interior privately owned and maintained streets.	Permitting lot occupation as shown in Conceptual PD Master Plan is fiscally sustainable.
7.5.002	Plazas not permitted in P4 and require a minimum size of ½ acres.	Walkway/paseos as shown on Conceptual PD Master Plan allow for improved site design/walkability.	Allowing warrant meets the intent of code in that it improves walkability.





- PUBLIC STREET
- CIVIC SPACE
- PRIVATE STREET
- MIXED USE SPACE
  - CO-WORK
  - FITNESS
  - POOL



ARCHITECT:  
 GARY G. WOOD #12202  
 PRELIMINARY - NOT TO BE USED FOR  
 REGULATORY APPROVAL, PERMITTING,  
 OR CONSTRUCTION  
 DATE: 10 JUL 23

### STREET TYPES

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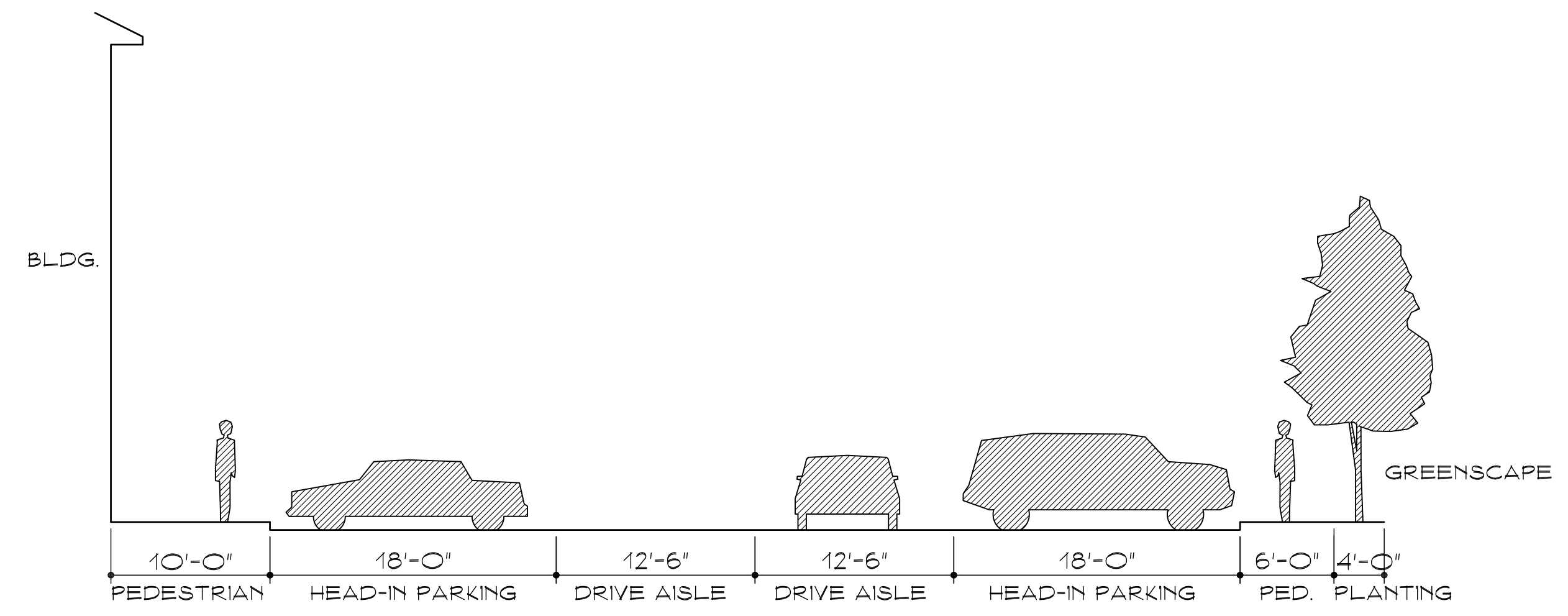
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DATE: 10 JUL 23

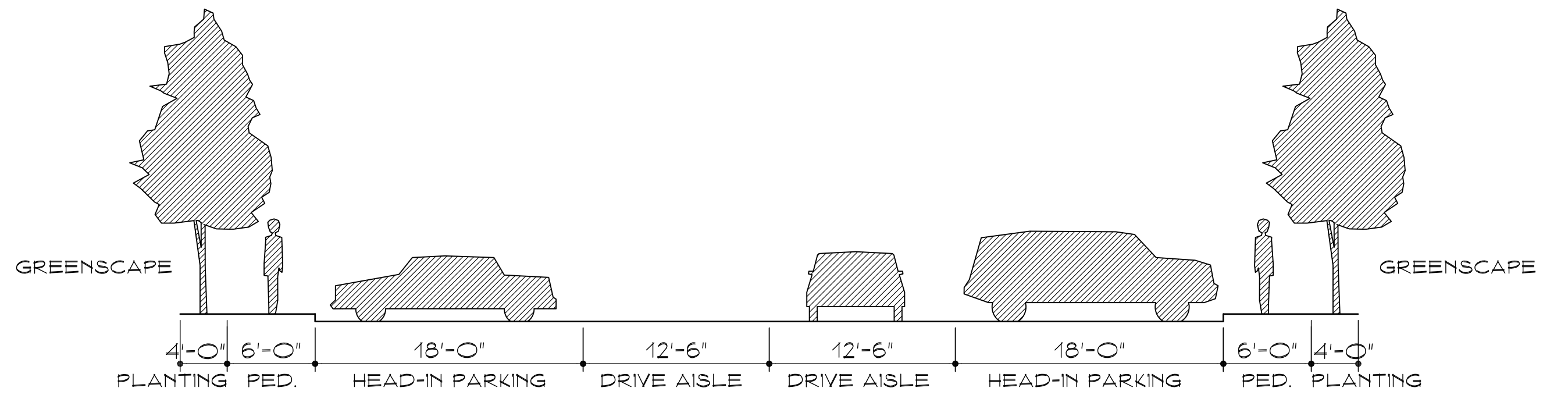
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**ARCHON CORPORATION**  
**ARCHITECTS / PLANNERS**  
 210 NORTH PARK BLVD.  
 SUITE 100 - GRAPEVINE, TX  
 76051 214/526-0731

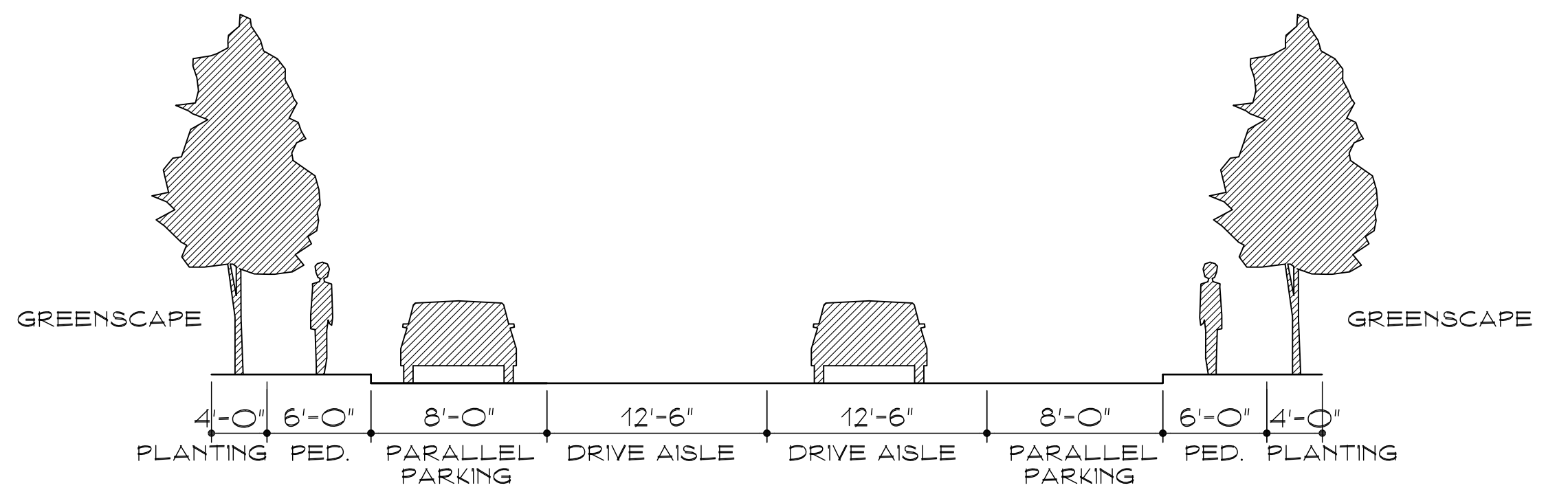




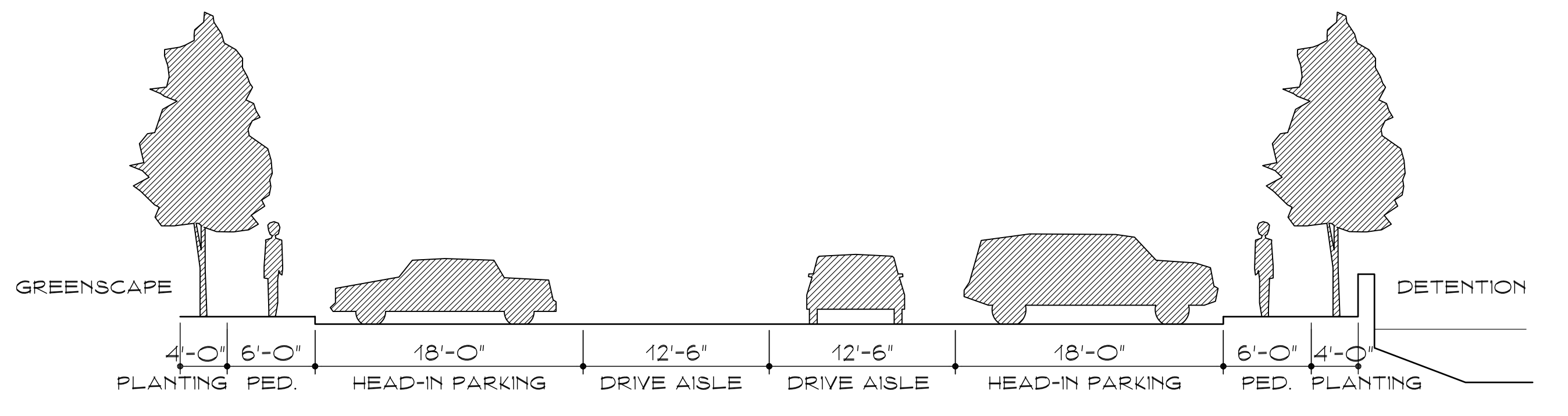
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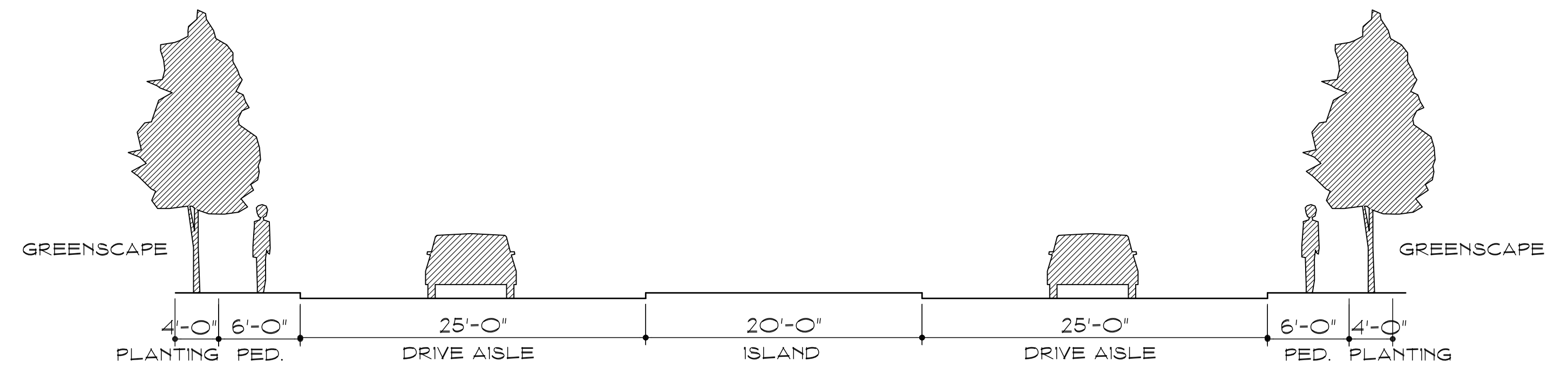
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RIGHT-OF-WAY : 81'-0"



**STREET TYPE 'C'**  
RIGHT-OF-WAY : 61'-0"



**STREET TYPE 'D'**  
RIGHT-OF-WAY : 81'-0"



**STREET TYPE 'E'**  
RIGHT-OF-WAY : 110'-0"

ARCHITECT:  
GARY G. WOOD #12202  
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**STREET TYPES**

PROJECT NAME: REED RANCH  
ACERAGE: 24.3 A.  
DATE: 10 JUL 23

SCALE : 1" = 60'-0"

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