Bastrop Planning and Zoning Commission -Special Meeting Agenda Bastrop City Hall City Council Chambers 1311 Chestnut Street Bastrop, TX 78602 (512) 332-8800



October 05, 2023

Agenda - Planning and Zoning Commission - Special Meeting at 6:00 PM

Bastrop Planning and Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

1. CALL TO ORDER

2. CITIZEN COMMENTS

At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Manager for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Board/Commission to allow a member of the public to slur the performance, honesty and/or integrity of the Board/Commission, as a body, or any member or members of the Board/Commission individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Board/Commission and/or any person in the Board/Commission's presence will not be tolerated.

3. **ITEMS FOR INDIVIDUAL CONSIDERATION**

3A. Receive training by the City Secretary.

<u>3B.</u> Consider action to approve Valverde Section 2 Preliminary Plat, being 294.5 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

Submitted by: Doug Haggerty

<u>3C.</u> Consider action to approve Valverde South Subdivision Final Plat, being 12.034 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

Submitted by: Doug Haggerty

<u>3D.</u> Hold public hearing and consider action on a recommendation for the Reed Ranch Zoning Concept Scheme, changing the zoning for 24.462 acres out of the Nancy Blakey Survey from P2 Rural to a Planned Development District (PDD) with a P4 Mix base zoning, as shown on Attachment 4, located at 615 W Highway 71, within the city limits of Bastrop, Texas.

Submitted by: Kennedy Higgins

4. UPDATES

4A. Items or topics requested by Planning and Zoning Commissioners for future agendas.

5. **ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, <u>www.cityofbastrop.org</u> and said Notice was posted on the following date and time: Friday, September 29, 2023 at 5:00 p.m. and remained posted for at least two hours after said meeting was convened.

<u>/s/ Nicole Peterson</u> Nicole Peterson, Project Coordinator



STAFF REPORT

MEETING DATE: October 5, 2023

TITLE:

Consider action to approve Valverde Section 2 Preliminary Plat, being 294.5 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

STAFF REPRESENTATIVE:

Kennedy Higgins – Planner, Development Services

| ITEM DETAILS: Site Address: Total Acreage: Legal Description: | West of FM 969 (Attachment 1) 294.5 acres 294.5 acres of the Nancy Blakey Survey, Abstract Number 98 |
|------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
| Property Owner: | Continental Homes of Texas, LP |
| Agent Contact: | Pablo H. Martinez, BGE, Inc. |
| Existing Use: | Vacant/Undeveloped |
| Existing Zoning: | P3 Residential per Development Agreement |
| Adopted Plan: | Valverde Development Agreement, Approved July 13, 2021 |
| Future Land Use: | Neighborhood Residential |

BACKGROUND/HISTORY:

The applicant has submitted an application for a Preliminary Plat for Valverde Section 2, Attachment 1. The plat includes 1047 residential lots and 70 non-residential lots. The table below breaks down the number of lots by size.

| LOT COUNT | | | |
|---------------------|------|--------|--|
| NO. OF LOTS PERCENT | | | |
| 43' LOTS | 311 | 27.84% | |
| 45' LOTS | 296 | 26.50% | |
| 50' LOTS | 440 | 39.39% | |
| OS/DE | 70 | 6.27% | |
| TOTAL | 1117 | 100% | |

The proposed lots follow the standards adopted in the Viridian Development Agreement.

| Infrastructure | Available (Y/N) | Proposed |
|----------------------|-----------------|-----------------------------|
| Water | Ν | Line Extensions |
| Wastewater | Ν | Line Extensions |
| Drainage | Y | Detention ponds |
| Transportation | Y | Constructing New Streets |
| Parks and Open Space | Y | 79.44 ac including drainage |

Traffic Impact and Streets

The Preliminary Plat proposes an 80 foot ROW, major multimodal street that provides the main access for this section from FM 969. Street A turns into Street E and Streets M and U will be the main connections to the remainder to the subdivision on the eastern portion. On the west side, Street E and W will continue west where they run into Street KK which will run north / south to connect to the remainder of the streets. All streets and alleys are proposed to be publicly dedicated. Sidewalks will also be built within the development along the public streets.

A traffic impact analysis (TIA) for the development is not required by the City as the development is complying with the Master Transportation Plan and meeting the grid requirements for City developments.

Utilities

Water service (domestic and fire) will be provided by the City of Bastrop via water line extensions provided by the developer from the existing water tank on the south side of SH 71. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by the City of Bastrop via a new lift station shown in Block B Lot 1 and wastewater line extensions along FM 969 provided by the developer to the existing line at FM 969 and SH 71. Wastewater improvements were included in the approved Preliminary Infrastructure Plan.

Drainage

The natural drainage basins for this area drain northly and westerly. Stormwater runoff generated Section 2 will be routed via storm sewer to two detention ponds in the northern and western part of this section. Both ponds will then discharge at pre-developed rates to the north. The drainage plan is using the updated rainfall totals of Atlas 14. Additionally, the lots will include maximum impervious coverage limits as defined in the Development Agreement, that are reflected in the system capacity. A Preliminary Drainage Plan has been reviewed and approved by the City Engineer.

POLICY EXPLANATION:

Preliminary Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area. The plat proposes residential lots.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Development Agreement with the Valverde that allows the city to agree to specific land uses and development standards. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Development Agreement, the Valverde development includes follows the intent of the B³ Code forms for residential and commercial lot standards. The development agreement allows for a mix of residential house forms, including ranch house, villa, house, duplex, triplex, fourplex, courtyard house, courtyard apartments, row house and apartments.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits.

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 294.50-acre tract into 1047 residential lots and 70 non-residential lots. Utility improvements within the subdivision (water, and wastewater will be dedicated to the City of Bastrop upon their completion.

212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
 - (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The preliminary plat conforms to the Future Land Use Plan, which is designated Neighborhood Residential for this area.

(2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

A Preliminary Drainage Plan and Preliminary Infrastructure Plan have been reviewed and approved by the City Engineer to ensure that the Public Improvements can be designed for utility extension. The development is following the adopted Master Transportation Plan for street layout and connections.

(3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

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The preliminary plat complies with the requirements of the adopted B³ Code and Viridian Development Agreement.

B³ Code – Chapter 1: Subdivisions

• Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.

 Section 1.3.002 Preliminary Plat The Preliminary Drainage Plan to determine drainage requirements was approved by the City Engineer on August 23, 2023.

The Preliminary Infrastructure Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on September 27, 2023.

• Section 1.3.004 Plat Requirements

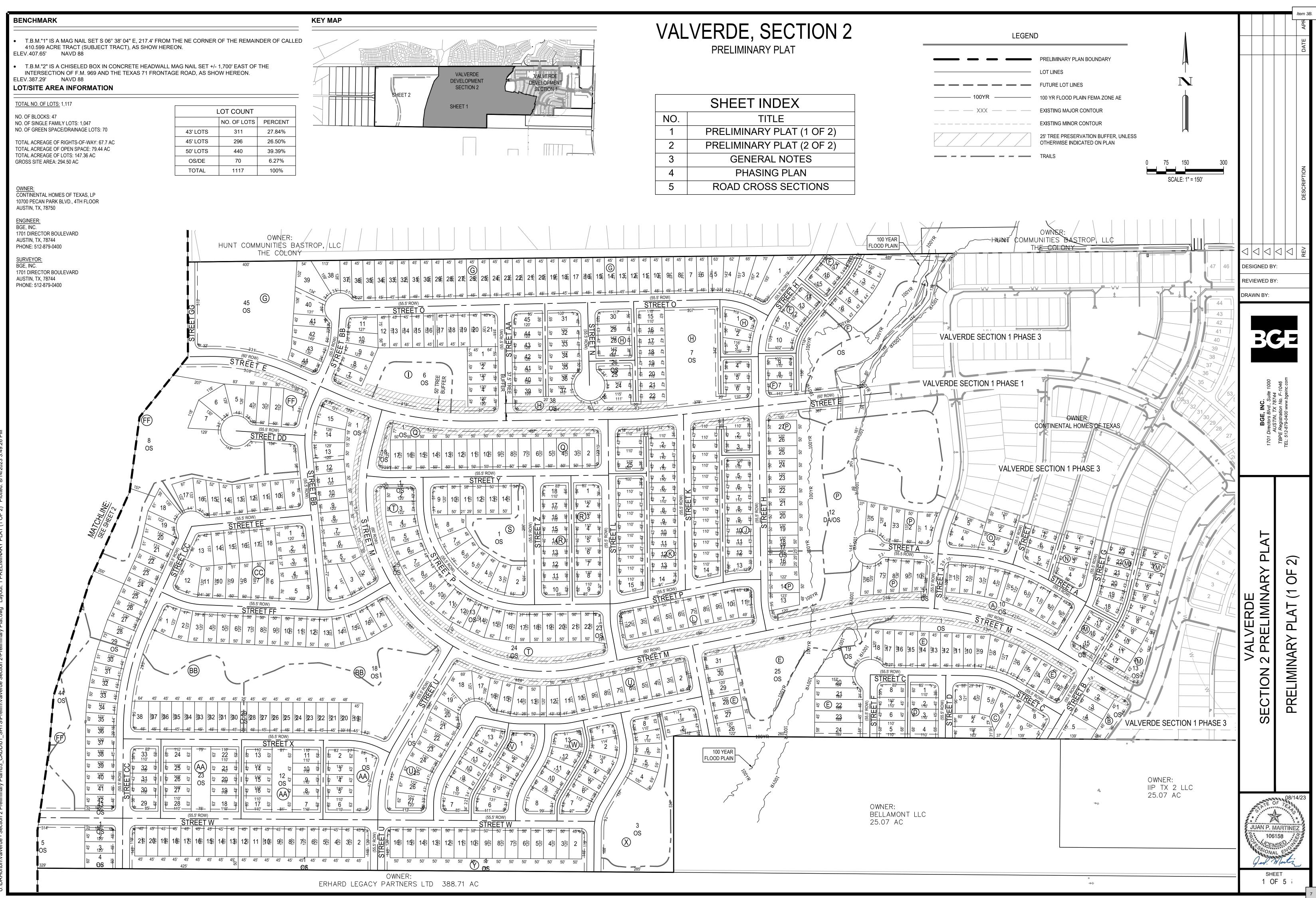
The Development Review Committee reviewed the Preliminary Plat for Valverde Section 2 for compliance with subdivision and development agreement standards on August 25, 2023 and deemed the plat administratively complete. Staff recommends approval.

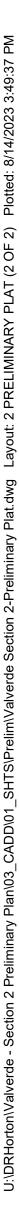
RECOMMENDATION:

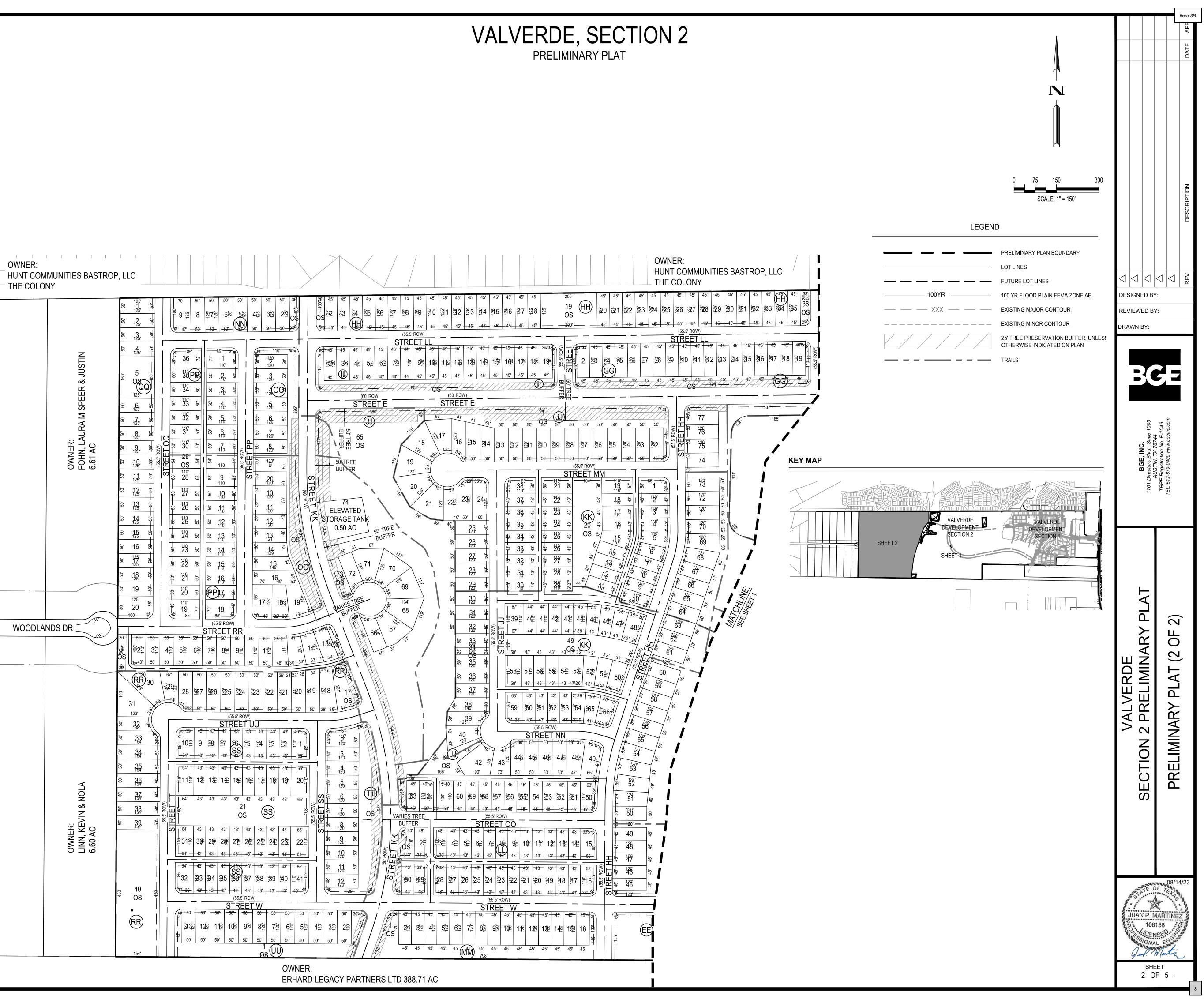
Consider action to approve Valverde Section 2 Preliminary Plat, being 294.5 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

ATTACHMENTS:

- Attachment 1: Valverde Section 2 Preliminary Plat
- Attachment 2: Valverde Section 2 Preliminary Plat Location Map
- Attachment 3: Valverde Concept Plan







| | | | NERAL NOTES: |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | | 1. | THIS SUBDIVISION (SINGLE FAMILY RES LOTS, 1 AMENITY (LOTS. |
| APPROVED BY | | 2. | BEARING ORIENTATI STATE PLANE COO |
| OWNER'S SIGNATURE BLOCK: | | | 4203, NAD-83. DIS SURFACE DISTANCE COMBINED SCALE F |
| AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROF BY THIS PLAN. | PERTY AS DESCRIBED | 3. | THIS TRACT IS LOO RIVER WATERSHED. |
| CONTINENTAL HOMES OF TEXAS, LP Jul. Matz NAME OF OWNER/TRUSTEE (OWNER'S AUTHORIZED AGENT) | 04/14/2023 DATE | | LOCATED WITHIN TI AREA AS SHOWN (MANAGEMENT AGEN RATE MAP(FIRM)48 |
| | | 4. | TEXAS, DATED: JAN IMPACT FEES SHAL WITH THE ORDINAN |
| | | 5. | PLATTING. NO BUILDINGS, FEN STRUCTURES ARE |
| | | | EASEMENTS SHOWN CITY OF BASTROP |
| | | | ALL UTILITIES WILL PRIOR TO CONSTRU |
| | | | LOTS IN THIS SUB BE OBTAINED FROM |
| THAT I, JUAN MARTINEZ, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS REGULATIONS FOR THE CITY OF BASTROP, TEXAS AND THAT THE 100 YEAR FLOOD PLAIN IS THE DRAINAGE EASEMENT AND OR THE DRAINAGE RIGHT-OF-WAY, AS SHOWN HEREON. | PLAT COMPLIES WITH THE SUBDIVISION S AS SHOWN AND WILL BE CONTAINED WITHIN | 0. | ALL SUBDIVISION F CITY OF BASTROP CONSTRUCTION ST ACCEPTED ENGINE |
| Jul Martz DE OF 75 | | 9. | CONSTRUCTION PLA SUBDIVISION IMPRO AND ACCEPTED BY |
| JUAN MARTINEZ, P.E. LICENSED PROFESSIONAL ENGINEER NO. 106158 DATE: | | 10. | ANY CONSTRUCTION EROSION AND SEDI CONSTRUCTED IN A |
| BGE, INC. 1701 DIRECTORS BLVD, SUITE 1000 AUSTIN, TEXAS 78744 | | | SUBDIVISION ORDIN ARE REQUIRED FOR LOT, INCLUDING SII CONSTRUCTION. |
| ym. manz | | 11. | FISCAL SURETY FO A FORM ACCEPTAE SHALL BE PROVIDE THE CITY. |
| APPROVED THISDAY OF, 20, A.D BY THE PLANNNG & ZOI THE CITY OF BASTROP COUNTY, TEXAS. APPROVED: ATTEST: | NING COMMISSION OF | 12. | THE OWNER OF THE SUCCESSORS AND RESPONSIBILITY FO SUBDIVISION IMPRO APPLICABLE CODE OF BASTROP. THE ACKNOWLEDGES TH RE-PLATTING MAY SOLE EXPENSE, IF SUBDIVISION DO N AND REQUIREMENT |
| PLANNING & ZONING COMMISSION CHAIRPERSON | | 13. | BY APPROVING TH ASSUMES NO OBLI INFRASTRUCTURE SUBDIVISION. ANY INFRASTRUCTURE OF THE LOTS IN T RESPONSIBILITY OF OWNERS OF THE L ANY REQUIRED INF STANDARDS MAY TO DENY APPLICA PERMITS INCLUDIN APPROVALS AND/ |
| | | 14. | SITE DEVELOPMEN REVIEWED AND AC PRIOR TO ANY MU CONSTRUCTION. (C |
| | | 15. | NO LOT OR STRUC TO THE APPLICAN BASTROP DOCUMEN REGISTRATION WITH LICENSING AND RE DOCUMENTATION O THE SUBDIVISION (ARCHITECTURAL BA |
| | | 16. | WATER SERVICE IS BASTROP. |
| | | 17. | WASTEWATER SERV BASTROP. |
| | | 18. | ELECTRIC SERVICE ELECTRIC. |
| | | 19. | GAS SERVICE IS P |
| | | 20. | CABLE SERVICE IS CABLE. |
| | | 21. | NO LOT IN THIS S UNTIL CONNECTED DISTRIBUTION AND FACILITIES. |
| | | 22. | WASTEWATER AND |
| | | | |
| | | 23. | DEVELOPER/OWNER FOR ALL RELOCAT |
| | | | ENVIRONMENTAL QU DEVELOPER/OWNER FOR ALL RELOCATI EXISTING UTILITIES. ALL EASEMENTS OF MAINTAINED BY TH ASSIGNS. |

TES:

- JBDIVISION CONTAINS 92.305 ACRES IN 400 FAMILY RESIDENTIAL LOTS, 48 TOWN HOMES AMENITY CENTER LOT, AND 28 OPEN SPACE
- G ORIENTATION IS BASED ON THE TEXAS PLANE COORDINATE SYSTEM, CENTRAL ZONE AD-83. DISTANCES SHOWN HEREON ARE E DISTANCES.
- ED SCALE FACTOR: 0.9999899509
- RACT IS LOCATED WITHIN THE COLORADO VATERSHED.NO PORTION OF THIS TRACT IS D WITHIN THE DESIGNATED FLOOD HAZARD S SHOWN ON THE FEDERAL EMERGENCY EMENT AGENCY (FEMA) FLOOD INSURANCE AP(FIRM)48021C0355E, BASTROP COUNTY, DATED: JANUARY 19, 2006.
- FEES SHALL BE ASSESSED IN ACCORDANCE IE ORDINANCE EFFECTIVE AT THE TIME OF
- DINGS, FENCES, LANDSCAPING OR OTHER URES ARE PERMITTED WITHIN DRAINAGE NTS SHOWN, EXCEPT AS APPROVED BY THE BASTROP AND/OR BASTROP COUNTY.
- LITIES WILL BE PLACED UNDERGROUND.
- TO CONSTRUCTION OF ANY IMPROVEMENTS ON THIS SUBDIVISION, BUILDING PERMITS WILL AINED FROM THE CITY OF BASTROP.
- BDIVISION PERMITS SHALL CONFORM TO THE BASTROP CODE OF ORDINANCES. UCTION STANDARDS, AND GENERALLY ED ENGINEERING PRACTICES.
- UCTION PLANS AND SPECIFICATIONS FOR ALL SION IMPROVEMENTS SHALL BE REVIEWED CEPTED BY THE CITY OF BASTROP PRIOR TO INSTRUCTION WITHIN THE SUBDIVISION.
- AND SEDIMENTATION CONTROLS UCTED IN ACCORDANCE WITH THE SION ORDINANCE OF THE CITY OF BASTROP QUIRED FOR ALL CONSTRUCTION ON EACH CLUDING SINGLE FAMILY AND DUPLEX UCTION.
- SURETY FOR SUBDIVISION CONSTRUCTION, IN ACCEPTABLE TO THE CITY OF BASTROP. BE PROVIDED PRIOR TO PLAT APPROVAL BY
- NER OF THIS SUBDIVISION, AND HIS OR HER SORS AND ASSIGNS. ASSUMES SOLE ISIBILITY FOR PLANS FOR CONSTRUCTION OF SION IMPROVEMENTS WHICH COMPLY WITH ABLE CODES AND REQUIREMENTS OF THE CITY TROP. THE OWNER UNDERSTANDS AND VLEDGES THAT PLAT VACATION OR TTING MAY BE REQUIRED, AT THE OWNER'S XPENSE, IF PLANS TO CONSTRUCT THIS SION DO NOT COMPLY WITH SUCH CODES
- ROVING THIS PLAT, THE CITY OF BASTROP S NO OBLIGATION TO CONSTRUCT ANY **TRUCTURE IN CONNECTION WITH THIS**
- ISION. ANY SUBDIVISION **IRUCTURE REQUIRED FOR THE DEVELOPMENT** LOTS IN THIS SUBDIVISION IS THE SOLE ISIBILITY OF THE DEVELOPER AND/OR THE OF THE LOTS. FAILURE TO CONSTRUCT QUIRED INFRASTRUCTURE TO CITY
- RDS MAY BE JUST CAUSE FOR THE CITY IY APPLICATIONS FOR CERTAIN DEVELOPMENT INCLUDING BUILDING PERMITS, SITE PLAN ALS AND/OR CERTIFICATES OF OCCUPANCY.
- VELOPMENT CONSTRUCTION PLANS SHALL BE ED AND ACCEPTED BY THE CITY OF BASTROP TO ANY MULTI-FAMILY OR NON-RESIDENTIAL UCTION. (CITY LIMITS ONLY)
- OR STRUCTURE SHALL BE OCCUPIED PRIOR APPLICANT SUBMITTING TO THE CITY OF P DOCUMENTATION OF SUBDIVISION/SITE RATION WITH THE TEXAS DEPARTMENT OF NG AND REGULATIONS (TDLR) AND PROVIDE ENTATION OF REVIEW AND COMPLIANCE OF IBDIVISION CONSTRUCTION PLANS WITH TEXAS ECTURAL BARRIERS ACT (TABA).
- SERVICE IS PROVIDED BY THE CITY OF
- WATER SERVICE IS PROVIDED BY THE CITY OF
- C SERVICE IS PROVIDED BY BLUEBONNET
- ERVICE IS PROVIDED BY CENTERPOINT ENERGY.
- SERVICE IS PROVIDED BY TIME WARNER
- IN THIS SUBDIVISION SHALL BE OCCUPIED CONNECTED TO THE APPROVED WATER UTION AND WASTEWATER COLLECTION FS.
- WATER AND WATER SYSTEMS SHALL CONFORM Q (TEXAS COMMISSION ON NMENTAL QUALITY).
- PER/OWNER SHALL BE SOLELY RESPONSIBLE RELOCATION AND MODIFICATIONS TO G UTILITIES.
- SEMENTS ON PRIVATE PROPERTY SHALL BE NED BY THE PROPERTY OWNER OR HIS/HER
- SEMENTS OF RECORD AS INDICATED ON THE

MOST RECENT TITLE RUN (DATED: 15 NOVEMBER 2018, CONDUCTED BY BASTROP ABSTRACT COMPANY) FOR THIS PROPERTY ARE SHOWN ON THIS PLAT.

- 26. TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED, AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF-SITE IMPROVEMENTS.
- 27. AS SHOWN HEREON, A TEN (10) FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY DEDICATED ADJACENT TO STREET RIGHTS-OF-WAY ON ALL LOTS. A FIVE (5) FOOT WIDE P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE AND REAR LOT LINE.
- 28. PROPERTY OWNER SHALL PROVIDE FOR ACCESS FOR ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
- 29. THE ELECTRIC UTILITY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY VEGETATION AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE THE CITY OF BASTROP ELECTRIC UTILITY DEPARTMENT WITH ANY EASEMENT AND/OR ACCESS REQUIRED. IN ADDITION TO THOSE INDICATED. OR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES.
- 30. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL. **REVEGETATION AND TREE PROTECTION FOR ELECTRIC** UTILITY WORK REQUIRED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT.
- 31. BUILD-TO LINES SHALL BE IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF BASTROP.
- 32. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF BASTROP.
- 33. ALL SIGNS SHALL COMPLY WITH THE BASTROP SIGN ORDINANCE.
- 34. IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER. WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE. FROM HIS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- 35. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION. AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- 36. THE PLAT WILL COMPLY WITH THE REQUIREMENTS OF THE VIRIDIAN DEVELOPMENT AGREEMENT.
- 37. A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUITED PRIOR TO ANY SITE DEVELOPMENT WHEN LOCATED WITHIN BASTROP COUNTY'S REVIEW JURISDICTION. ALL INFRASTRUCTURE REQUIRED FOR PUBLIC ROADS, DRAINAGE, OR OTHER PUBLIC INFRASTRUCTURE (INCLUDING BUT NOT LIMITED TO LIGHTING, SIGNAGE, TRAFFIC LIGHTS, SIDEWALKS, PARKING AREAS, STORM SEWERS, OR OTHER DRAINAGE INFRASTRUCTURE), SHALL BE MAINTAINED BY THE DEVELOPER, OR THEIR ASSIGNS, UNTIL SUCH A TIME THAT IT IS ACCEPTED, IF AT ALL, BY A GOVERNMENTAL ENTITY FOR MAINTENANCE.
- 38. UNTIL SUCH A TIME AS BASTROP COUNTY, THROUGH THE BASTROP COUNTY COMMISSIONERS COURT, ACCEPTS THE DEDICATION OF THE IMPROVEMENTS DELINEATED AND SHOWN ON THIS PLAT, SID IMPROVEMENTS ARE NOT BASTROP COUNTY IMPROVEMENTS AND ARE NOT SUBJECT TO BASTROP COUNTY MAINTENANCE.
- 39. THIS SUBDIVISION IS LOCATED WITHIN THE STATUTORY ETJ OF THE CITY OF BASTROP, AT THE TIME OF PLATTING.
- 40. THE 20' WIDE ALLEYS SHALL BE MARKED ON BOTH SIDES AS FIRE LANE - NO PARKING.
- 41. ROADWAYS WITH MORE THAN 26' OF PAVING FACE OF CURB TO FACE OF CURB BUT LESS THAN 32' OF PAVING FACE OF CURB TO FACE OF CURB SHALL BE MARKED ON ONE SIDE OF THE ROADWAY AS FIRE LANE - NO PARKING. MARKING SHALL CONFORM WITH CITY OF BASTROP FIRE LANE MARKING DETAIL.

| STREET STANDA | RDS CHART | | | |
|---------------|-----------------|--------------------------|-----------------------|-----------------|
| STREET NAME | R.O.W. WIDTH | STREET LENGTH (LF) | CURB AND GUTTER | DESIGN SPEED |
| STREET A | 55.5' | 891 | YES | 25 MPH |
| STREET B | 55.5' | 321 | YES | 25 MPH |
| STREET C | 55.5' | 787 | YES | 25 MPH |
| STREET D | 55.5' | 246 | YES | 25 MPH |
| STREET E | 60' | 4610 | YES | 35 MPH |
| STREET F | 55.5' | 246 | YES | 25 MPH |
| STREET G | 55.5' | 465 | YES | 25 MPH |
| STREET H | 55.5' | 1543 | YES | 25 MPH |
| STREET I | 55.5' | 170 | YES | 25 MPH |
| STREET J | 55.5' | 398 | YES | 25 MPH |
| STREET K | 55.5' | 688 | YES | 25 MPH |
| STREET L | 55.5' | 946 | YES | 25 MPH |
| STREET M | 60' | 3888 | YES | 35 MPH |
| STREET N | 55.5' | 324 | YES | 25 MPH |
| STREET O | 55.5' | 1689 | YES | 25 MPH |
| STREET P | 55.5' | 1657 | YES | 25 MPH |
| STREET Q | 55.5' | 362 | YES | 25 MPH |
| STREET R | 55.5' | 655 | YES | 25 MPH |
| STREET S | 55.5' | 405 | YES | 25 MPH |
| STREET T | 55.5' | 448 | YES | 25 MPH |
| STREET U | 55.5' | 953 | YES | 25 MPH |
| STREET V | 55.5' | 999 | YES | 25 MPH |
| STREET W | 55.5' | 3900 | YES | 25 MPH |
| STREET X | 55.5' | 1052 | YES | 25 MPH |
| STREET Y | 55.5' | 947 | YES | 25 MPH |
| STREET Z | 55.5' | 503 | YES | 25 MPH |
| STREET AA | 55.5' | 455 | YES | 25 MPH |
| STREET BB | 55.5' | 1206 | YES | 25 MPH |
| STREET CC | 55.5' | 1392 | YES | 25 MPH |
| STREET DD | 55.5' | 371 | YES | 25 MPH |
| STREET EE | 55.5' | 470 | YES | 25 MPH |
| STREET FF | 55.5' | 929 | YES | 25 MPH |
| STREET GG | 55.5' | 371 | YES | 25 MPH |
| STREET HH | 55.5' | 2034 | YES | 25 MPH |
| STREET II | 55.5' | 218 | YES | 25 MPH |
| STREET JJ | 55.5' | 925 | YES | 25 MPH |
| STREET KK | 60' | 2402 | YES | 35 MPH |
| STREET LL | 55.5' | 2324 | YES | 25 MPH |

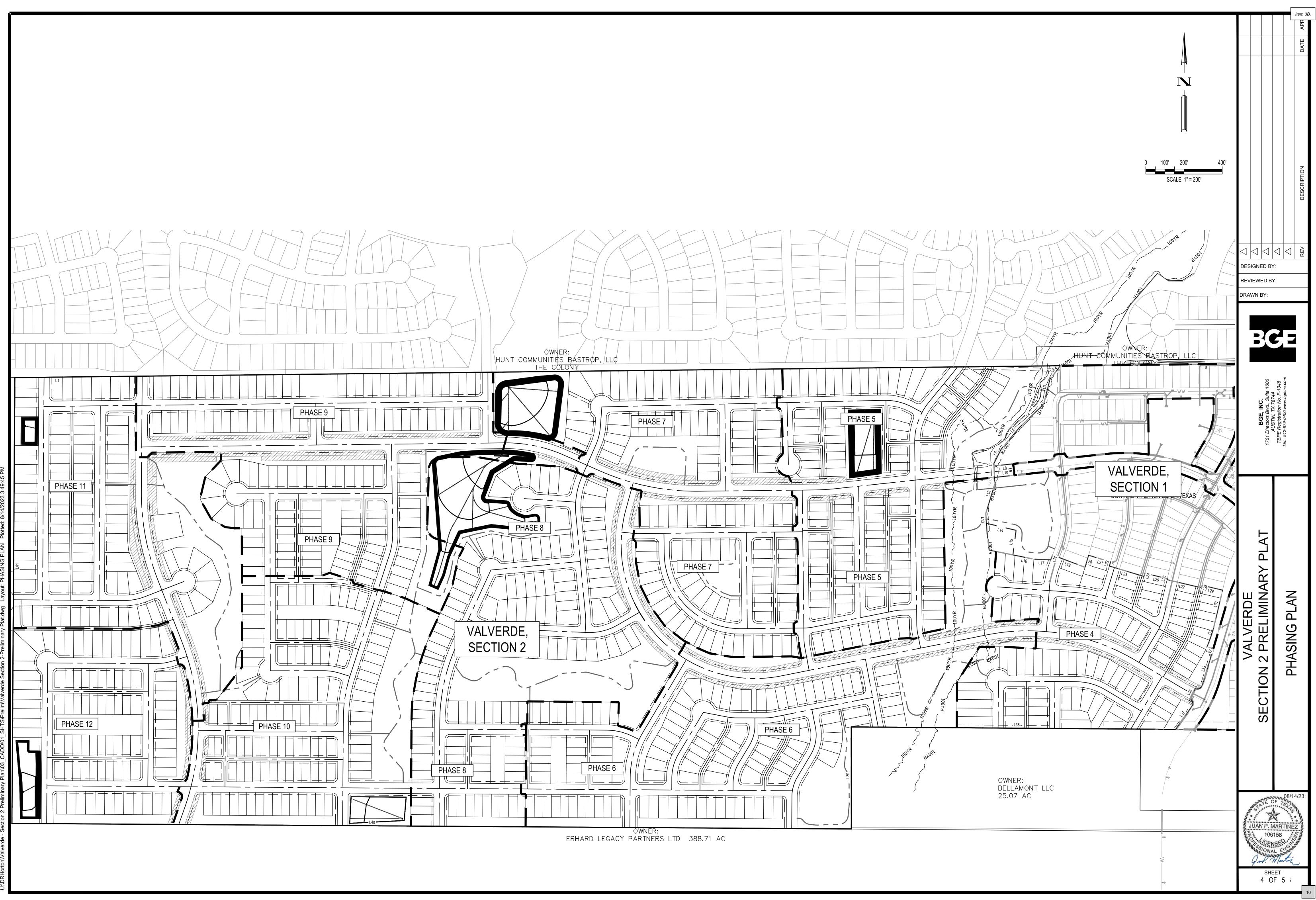
| STREET MM | 55.5' | 814 | YES | 25 MPH |
|-----------|-------|------|-----|--------|
| STREET NN | 55.5' | 420 | YES | 25 MPH |
| STREET OO | 55.5' | 759 | YES | 25 MPH |
| STREET PP | 55.5' | 1018 | YES | 25 MPH |
| STREET QQ | 55.5' | 1165 | YES | 25 MPH |
| STREET RR | 55.5' | 909 | YES | 25 MPH |
| STREET SS | 55.5' | 643 | YES | 25 MPH |
| STREET TT | 55.5 | 841 | YES | 25 MPH |
| STREET UU | 55.5' | 735 | YES | 25 MPH |
| ALLEY A | 20' | 148 | NO | |
| ALLEY B | 20 | 148 | NO | |
| ALLEY C | 20' | 796 | NO | |
| ALLEY D | 20' | 148 | NO | |
| ALLEY E | 20' | 369 | NO | |
| ALLEY F | 20' | 392 | NO | |
| ALLEY G | 20' | 18 | NO | |
| ALLEY H | 20' | 147 | NO | |
| ALLEY I | 20' | 601 | NO | |
| ALLEY J | 20' | 148 | NO | |
| ALLEY K | 20' | 631 | NO | |
| ALLEY L | 20' | 426 | NO | |
| ALLEY M | 20' | 148 | NO | |
| ALLEY N | 20' | 710 | NO | |
| ALLEY O | 20' | 419 | NO | |
| ALLEY P | 20' | 311 | NO | |
| ALLEY Q | 20' | 311 | NO | |
| ALLEY R | 20' | 311 | NO | |
| ALLEY S | 20' | 488 | NO | |
| ALLEY T | 20' | 463 | NO | |
| ALLEY U | 20' | 566 | NO | |
| ALLEY V | 20' | 467 | NO | |
| ALLEY WW | 20' | 718 | NO | |
| ALLEY X | 20' | 296 | NO | |
| ALLEY Y | 20' | 528 | NO | |
| ALLEY Z | 20' | 528 | NO | |
| ALLEY AA | 20' | 392 | NO | |
| ALLEY BB | 20' | 231 | NO | |
| ALLEY CC | 20' | 364 | NO | |
| ALLEY DD | 20' | 707 | NO | |
| ALLEY EE | 20' | 148 | NO | |
| ALLEY FF | 20' | 1015 | NO | |
| ALLEY GG | 20' | 942 | NO | |

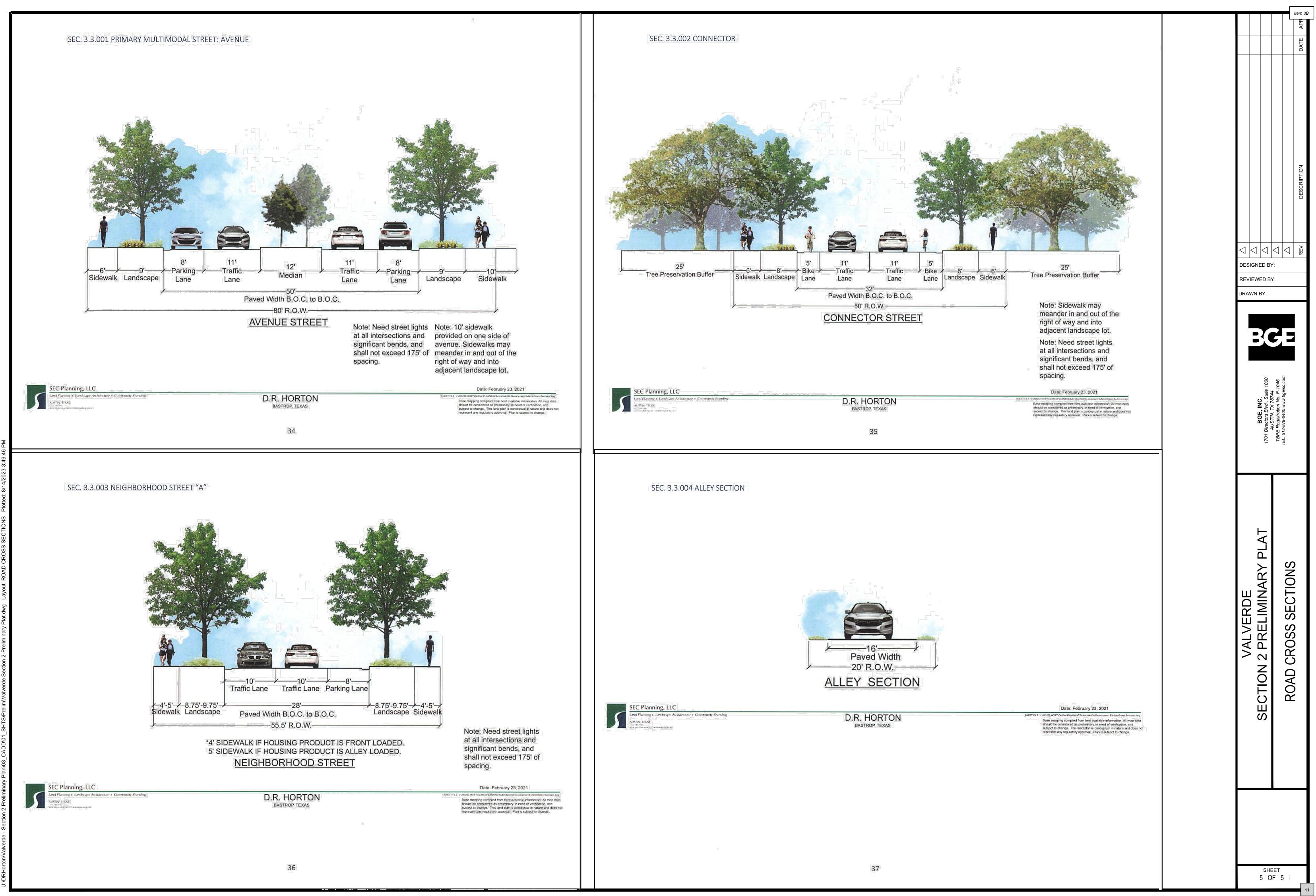
| | | | | Item 3E BU BU V | 3. |
|---------------|-----------------------------------------------|--------------------------------------------------|----------------------------------|--------------------------|----|
| | | | | DATE | |
| | | | | DESCRIPTION | |
| | | | \triangleleft | REV | |
| REVIE DRAW | | Y: | | | |
| | BGE, INC. 1701 Directors Blvd., Suite 1000 | AUSTIN, TX 78744 TBPE Registration No. F-1046 | TEL: 512-879-0400 www.bgeinc.com | | |
| VALVERDE | SECTION 2 PRELIMINARY PLAT | | GENERAL NOTES | | |
| JU PR | ********* | NAR | 08/1 | 4/23 | |

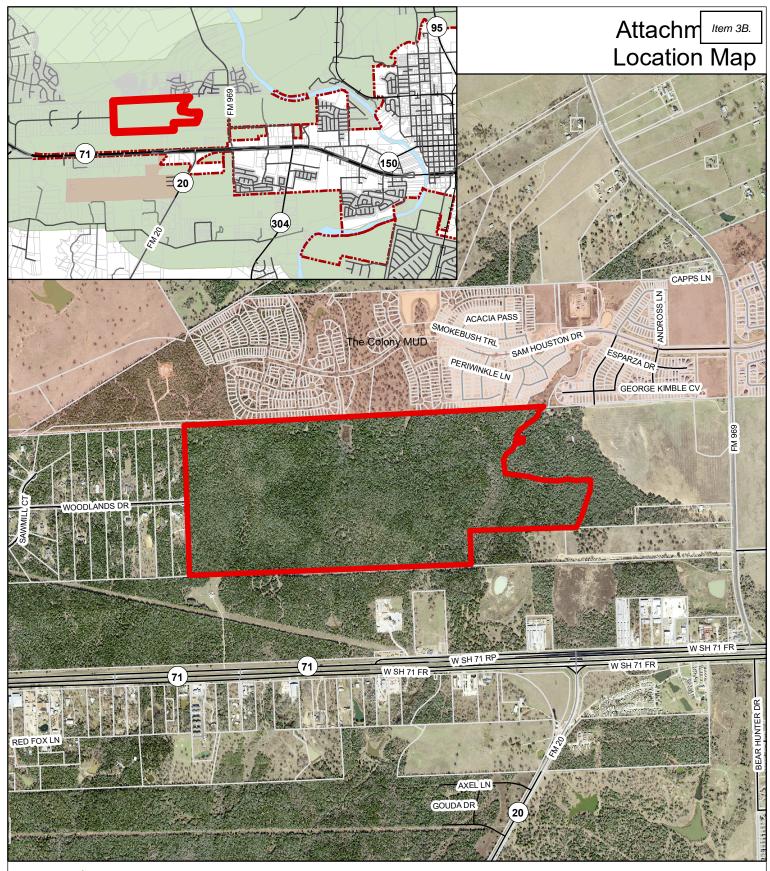
| Line Table | | | |
|------------|---------|------------------|--|
| Line # | Length | Direction | |
| L1 | 643.987 | S86° 50' 54.73"W | |
| L2 | 89.301 | N35° 04' 14.87"E | |
| L3 | 134.647 | N11° 34' 46.38"E | |
| L4 | 98.409 | N43° 41' 56.52"E | |
| L5 | 149.357 | N37° 48' 33.19"E | |
| L6 | 85.378 | N24° 20' 55.06"E | |
| L7 | 12.504 | N04° 59' 40.34"W | |
| L8 | 100.792 | S81° 23' 14.57"W | |
| L9 | 60.000 | N08° 36' 45.43"W | |
| L10 | 104.586 | N81° 23' 14.57"E | |
| L11 | 34.762 | N04° 59' 40.34"W | |
| L12 | 160.752 | N14° 35' 31.02"E | |
| L13 | 103.517 | N06° 16' 41.14"W | |
| L14 | 159.475 | N79° 08' 05.30"W | |
| L15 | 129.525 | N04° 49' 40.94"E | |
| L16 | 111.784 | N81° 06' 34.70"W | |
| L17 | 88.165 | N90° 00' 00.00"W | |
| L18 | 27.249 | S18° 16' 37.65"W | |
| L19 | 181.601 | N71° 43' 22.35"W | |
| L20 | 65.690 | S14° 19' 35.43"W | |

| | Curve Table | | | |
|---------|-------------|---------|----------|--|
| Curve # | Length | Radius | Delta | |
| C1 | 135.464 | 813.666 | 009.5390 | |
| C2 | 41.438 | 25.000 | 094.9689 | |
| C3 | 40.755 | 26.496 | 088.1321 | |

| Line Table | | | | |
|------------|----------|------------------|--|--|
| Line # | Length | Direction | | |
| L21 | 120.000 | N75° 40' 24.57"W | | |
| L22 | 22.280 | N14° 19' 35.43"E | | |
| L23 | 169.084 | N75° 40' 24.57"W | | |
| L24 | 17.288 | S16° 10' 52.46"W | | |
| L25 | 120.459 | N79° 11' 38.54"W | | |
| L26 | 5.630 | N10° 48' 21.46"E | | |
| L27 | 165.500 | N79° 11' 38.54"W | | |
| L28 | 13.301 | S10° 48' 21.46"W | | |
| L29 | 109.931 | N79° 11' 38.77"W | | |
| L30 | 172.000 | N10° 48' 21.46"E | | |
| L32 | 34.400 | N76° 38' 41.53"W | | |
| L33 | 152.183 | N13° 55' 08.34"E | | |
| L35 | 59.893 | N26° 54' 04.82"E | | |
| L37 | 151.268 | N32° 26' 06.72"E | | |
| L38 | 1698.248 | N87° 57' 04.67"E | | |
| L39 | 534.292 | N02° 36' 58.17"W | | |
| L40 | 1246.059 | N87° 52' 54.59"E | | |
| L41 | 1309.972 | S02° 07' 23.57"E | | |
| | | | | |







Date: 9/29/2023



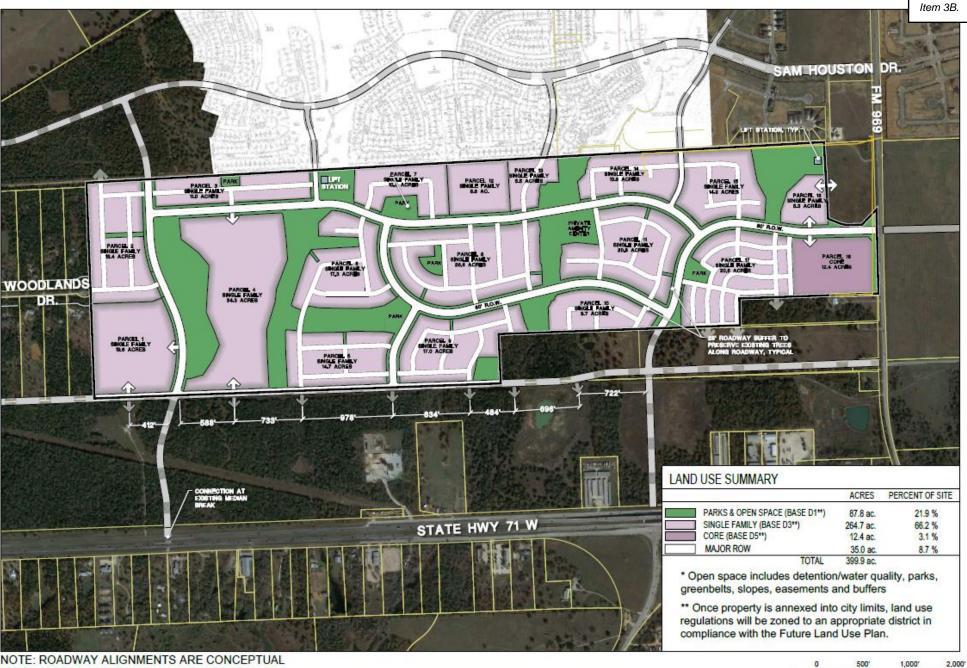
335 670 1,340 0 Feet 1 1

Valverde Section 2 **Preliminary Plat**

1 inch = 1,500 feet

Date. 9/26/2023 The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liabity or responsibil accuracy, completeness or usefulness in not infringe upon privately owned right

Ν



NOTE: ROADWAY ALIGNMENTS ARE CONCEPTUAL IN NATURE AND MAY BE ADJUSTED WITH FUTURE PLATTING AND CONSTRUCTION DOCUMENTS



SEC Planning, LLC Land Planning + Landscape Architecture + Community Branding AUSTIN, TEXAS

VIRIDIAN CONCEPTUAL LAND USE PLAN

> D.R. HORTON BASTROP, TEXAS

SHEET FLE: V1200003-HORT/Carther/PLA main/DA Dev Base mapping compiled from best available information. A

North

Scale: 1" = 1.000"

Date: June 24, 2021

should be considered as preliminary, in need of vertication subject to change. This land plan is conceptual in nature a represent any regulatory approval. Plan is subject to change.

500'

13

1,000'



STAFF REPORT

MEETING DATE: October 5, 2023

TITLE:

Consider action to approve Valverde South Subdivision Final Plat, being 12.034 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

STAFF REPRESENTATIVE:

Kennedy Higgins - Planner, Development Services

| ITEM DETAILS: Site Address: Total Acreage: Legal Description: | West of FM 969 (Attachment 1) 12.034 acres 12.034 acres of the Nancy Blakey Survey, Abstract Number 98 |
|------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|
| Property Owner: | Continental Homes of Texas, LP |
| Agent Contact: | Pablo H. Martinez, BGE, Inc. |
| Existing Use: | Vacant/Undeveloped |
| Existing Zoning: | P5 Core per Development Agreement |
| Adopted Plan: | Valverde Development Agreement, Approved July 13, 2021 |
| Future Land Use: | Neighborhood Residential |

BACKGROUND/HISTORY:

The applicant has submitted an application for a Final Plat for Valverde South Subdivision, Attachment 1. The site is currently vacant and will be developed as a multifamily residential use, with a total of 168 units with associated private water, wastewater, and storm sewer system. The associated Valverde Development Agreement, Preliminary Plat for Valverde Phase 1-3, and Public Improvement Plans and Final Drainage Plans for Valverde Phase 1 have been approved and currently under construction.

The proposed lot follows the standards adopted in the Viridian Development Agreement.

| Infrastructure | Available (Y/N) | Proposed |
|----------------------|-----------------|---------------------|
| Water | Ν | Line Extensions |
| Wastewater | Ν | Line Extensions |
| Drainage | Y | Storm Sewer to Pond |
| Transportation | Ν | Internal Streets |
| Parks and Open Space | Ν | None |

14

Traffic Impact and Streets

The Valverde South Subdivision Final Plat will have 1 entrance for access approximately 700' westward on Street A, which was established from an earlier plat of Section 1, and is the main entrance off of FM 969. On the eastern side of the property there has been 20 feet or 0.228 acres of Right Of Way dedicated for future widening of FM 969. The total requested TxDOT ROW will be 120' with 80' already existing.

Utilities

Water service (domestic and fire) will be provided by the City of Bastrop via water line extensions provided by the developer from the existing water tank on the south side of SH 71. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by the City of Bastrop via a new lift station shown in Block B Lot 1 and wastewater line extensions along FM 969 provided by the developer to the existing line at FM 969 and SH 71. Wastewater improvements were included in the approved Preliminary Infrastructure Plan.

Drainage

The drainage patterns generally flow in a south-to-north direction. Off-site flow coming onto the project site will be conveyed by the proposed swale along the southern property line to the underground storm sewer system within the proposed drainage easement across the site. The site will utilize a detention pond located at northwest of the project site, as part of the approved Valverde Phase 1 Final Drainage Plan. This pond was designed to convey drainage area P10 & POS1 and under assumption of total 34.3 acres of impervious cover per Valverde Phase 1 Final Drainage Plan. This proposed 8.3 acres of on-site impervious cover and Valverde Phase 1 proposed 5.6 acres of impervious cover within the public right-of-way. The total number of impervious cover, 13.9 acres, is below the designed impervious cover. No additional on-site detention pond is needed for Valverde South project site.

POLICY EXPLANATION:

Final Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area, however the Development Agreement supersedes the FLUM from 2016 to initiate multifamily on this site.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Development Agreement with the Valverde that allows the city to agree to specific land uses and development standards. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Development Agreement, the Valverde development includes follows the intent of the B³ Code forms for residential and commercial lot standards. The development agreement allows for a mix of residential house forms, including ranch house, villa, house, duplex, triplex, fourplex, courtyard house, courtyard apartments, row house and apartments.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits.

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 11.806-acre tract into 1 multifamily lot. Water improvements within the subdivision will remain private upon their completion.

212.010. Standards for Approval

(a) The municipal authority responsible for approving plats shall approve a plat if:

(1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The final plat conforms to the Future Land Use Plan and Development Agreement, which is designated multifamily for this area.

(2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

A Preliminary Drainage Plan and Preliminary Infrastructure Plan have been reviewed and approved by the City Engineer to ensure that the Public Improvements can be designed for utility extension.

(3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

The final plat complies with the requirements of the adopted B³ Code and Viridian Development Agreement.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure Platting
- Section 1.3.003 Final Plat The Preliminary Drainage Plan to determine drainage requirements was approved by the City Engineer on August 2, 2023.
- Section 1.3.004 Plat Requirements

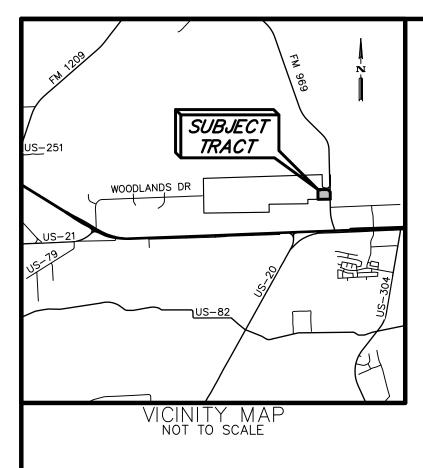
The Development Review Committee reviewed the Final Plat for Valverde South Subdivision for compliance with subdivision and development agreement standards on August 24, 2023 and deemed the plat administratively complete. Staff recommends approval.

RECOMMENDATION:

Consider action to approve Valverde South Subdivision Final Plat, being 12.034 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

ATTACHMENTS:

- Attachment 1: Valverde South Subdivision Final Plat
- Attachment 2: Valverde South Final Plat Location Map
- Attachment 3: Valverde Concept Plan



LOCATED IN THE

NANCY BLAKEY SURVEY ABSTRACT NO. 98 BASTROP COUNTY, TEXAS

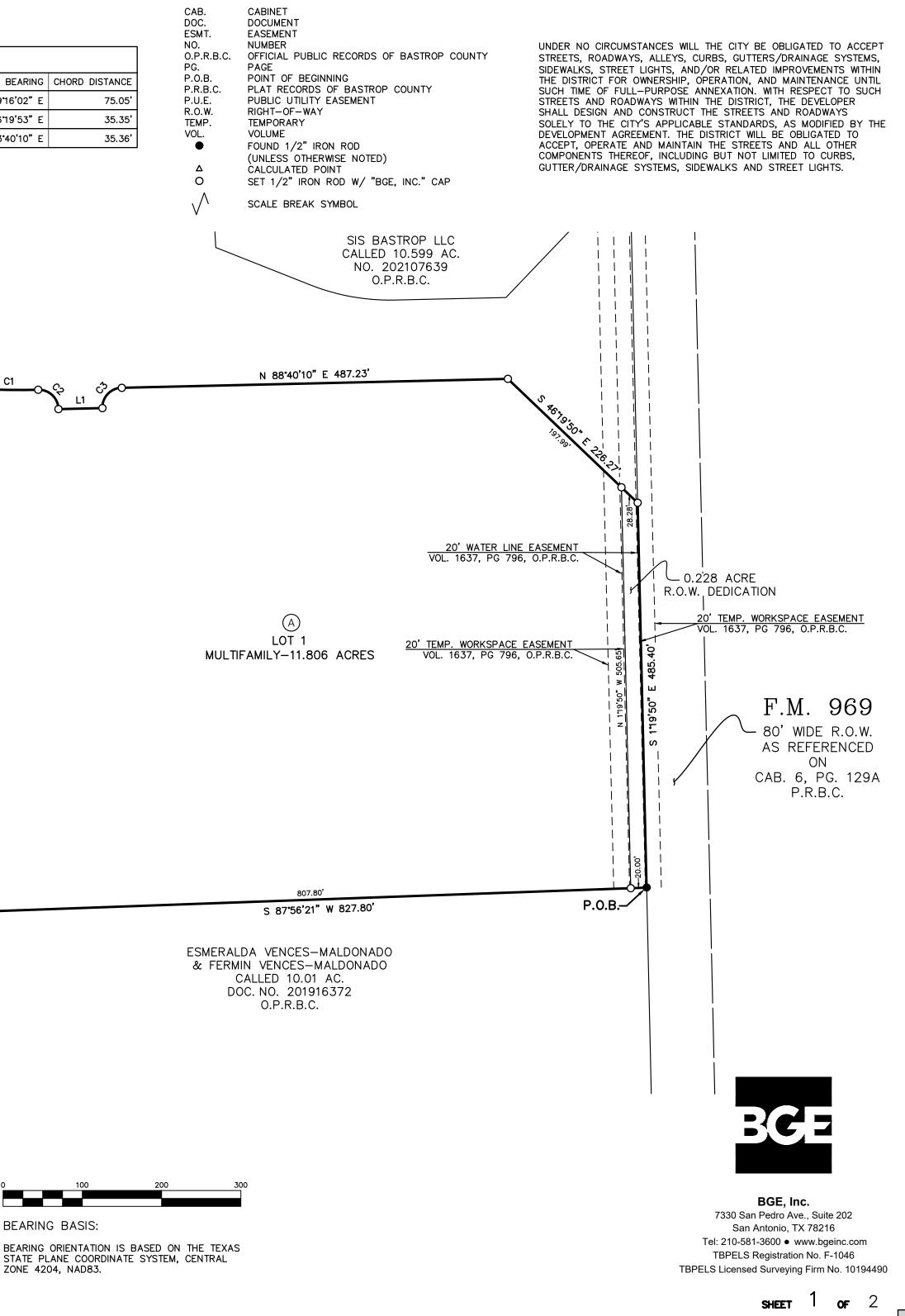
| LINE DATA | | | | |
|-----------|----------------------|----------|--|--|
| NUMBER | BEARING | DISTANCE | | |
| L1 | N88 ° 40'13"E | 55.50' | | |

| | | | CURVE DAT | A |
|--------|----------|--------------------|--------------|------------------------|
| NUMBER | RADIUS | DELTA ANGLE | ARC DISTANCE | CHORD BEARING |
| C1 | 1042.27' | 4 ° 07'35" | 75.06' | S 89°16'02" E |
| C2 | 25.00' | 89*59'53" | 39.27' | S 46°19'53" E |
| C3 | 25.00' | 90 ° 00'00" | 39.27' | N 43 ° 40'10" E |

Yaaluygi yo' aa Ankal Yyyri yrysi Yyyri afyxal LEGAL DESCRIPTION FIELD NOTES FOR A 12.034 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, SITUATED IN BASTROP COUNTY, TEXAS; BEING OUT OF A CALLED 399.878 ACRE TRACT OF LAND AS CONVEYED UNTO CONTINENTAL HOMES OF TEXAS, L.P. IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS; SAID 12.034 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING, a 1/2-inch iron rod found on the westerly right-of-way line of Farm to Market (F.M.) 969 (R.O.W. $\sim 80'$) as shown on the plat of The Colony MUD 1A, Section 1, Phase A, as referenced in Cabinet 6, Page 129A of the Plat Records of Bastrop County, Texas, at the southeast corner of said 399.878 acre tract being the northeast corner of a called 10.01 acre tract of land as conveyed unto Esmeralda Vences-Maldonado and Fermin Vences-Maldonado in Document Number 201916372 of the Official Public Records of Bastrop County, Texas, for the southeast corner and POINT OF BEGINNING of the herein described CONTINENTAL HOMES OF TEXAS, L.P. tract: CALLED 399.878 AC. NO. 202022279 THENCE, S 87° 56' 21" W, departing said right—of—way line, coincident with the common line of the 399.878 acre tract and said 10.01 acre tract, a distance of 827.80 feet to a 1/2—inch iron rod with a cap stamped 0.P.R.B.C. "BGE INC" set for the southwest corner of the herein described tract; THENCE, departing said common line, over and across the 399.878 acre tract the following eight (8) courses: 1)N 01° 19' 50" W, a distance of 658.65 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set at the beginning of a non-tangent curve for the northwest corner of the herein described tract; 2) Curving to the left, with a radius of 1,042.27 feet, an arc length of 75.06 feet, a central angle of 04* 07' 35", a chord bearing of S 89° 16' 02" E, and a chord distance of 75.05 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set for a point of reverse curvature of the herein described tract; 3) Curving to the right, with a radius of 25.00 feet, an arc length of 39.27 feet, a central angle of 89° 59' 53", a chord bearing of S 46° 19' 53" E, and a chord distance of 35.35 feet to 1/2—inch iron rod with a cap stamped 'BGE INC" set at the end of this curve for a re-entrant corner of the herein described tract: 4) N 88° 40' 13" E, a distance of 55.50 feet to 1/2-inch iron rod with a cap stamped "BGE INC" set at the beginning of a non-tangent curve for a re-entrant corner of the herein described tract; 5) Curving to the right, with a radius of 25.00 feet, an arc length of 39.27 feet, a central angle of 90° 00' 00", a chord bearing of N 43° 40' 10" E, and a chord distance of 35.36 feet to a 1/2-inch iron rod with a cap stamped 'BGE INC" set at a point of tangency of the herein described tract; 6) N 88° 40' 10" E, a distance of 487.23 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set "RPLS 5548" for an angle point of the herein described tract; S 87°56'21" W 675.20' 7) S 46° 19' 50" E, a distance of 226.27 feet to a 1/2-inch iron rod with a cap stamped "BGE INC" set on the common line of the 399.878 acre tract and the aforementioned right-of-way of F.M. 969 for the northeast corner of the herein described tract; THENCE, S 01° 19' 50" E, coincident with said common line a distance of 485.40 feet to the POINT OF BEGINNING and containing 12.034 acres of land, more or less. CONTINENTAL HOMES OF TEXAS, L.P. OWNER: ADDRESS: 10700 PECAN PARK BLVD., SUITE 400 <u>AUSTIN, TX, 78750</u> PHONE: FAX: _ ACREAGE: 12.034 ACRES FINAL PLAT SURVEY: NANCY BLAKEY SURVEY, ABSTRACT NO. 98 VALVERDE NUMBER AND ACREAGE MULTIFAMILY-1-11.806 ACRES BY LOT TYPE: R.O.W. DEDICATION-1-0.228 ACRE SOUTH PLAT SUBMITTED: <u>07/03/2023</u> PLAT REVISED: 08/04/2023 **SUBDIVISION** SURVEYOR: BGE, INC. (DION ALBERTSON, RPLS) PHONE: <u>210-581-3600</u> FAX: A SUBDIVISION OF 12.034 ACRES OF LAND ENGINEER: BGE, INC. (IKSOON LEE, PE)

PHONE: <u>512-686-3552</u>

FAX:



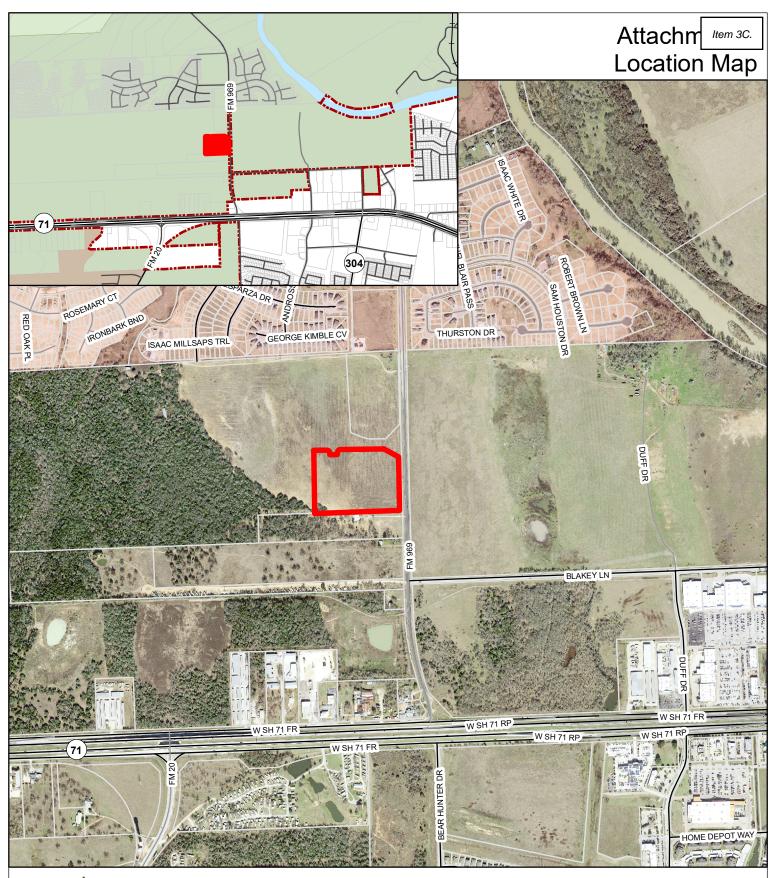
LEGEND

Item 3C.

| STATE OF TEXAS § COUNTY OF TRAVIS § | 8. NO STRUCTURES OF ANY KIND SHALL BE CONSTRUCTED OR PLACED WITHIN OR OVER THE UTILITY EASEMENTS EXCEPT: UTILITIES, GRASS, LANDSCAPING, AND DRIVEWAY OR SIDEWALK |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| KNOW ALL MEN BY THESE PRESENTS: | PAVING. AQUA WATER SUPPLY CORPORATION SHALL NOT BE REQUIRED TO REPLACE OR PROVIDE REIMBURSEMENT FOR THE COST OF REPLACING ANY OBSTRUCTION, PAVING OR PLANTING THAT IS REMOVED DURING THE COURSE OF MAINTAINING, CONSTRUCTING, OR RECONSTRUCTING ANY UTILITIES. |
| THAT CONTINENTAL HOMES OF TEXAS, L.P., BEING THE OWNER OF A 399.878 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, BASTROP COUNTY, TEXAS, AS RECORDED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 12.034 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS: | 9. NO PORTION OF THIS SUBDIVISION IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE OR CONTRIBUTING ZONE. 10. THIS PROJECT IS LOCATED IN THE LOWER COLORADO-CUMMINS WATERSHED WHICH IS CLASSIFIED AS A SUBURBAN WATER SUPPLY WATERSHED. |
| VALVERDE SOUTH SUBDIVISION | |
| AND DOES HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS, AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED. | STATE OF TEXAS § |
| WITNESS MY HAND, THIS THE DAY OF, 20, A.D. | COUNTY OF BASTROP § |
| (NAME), (TITLE) CONTINENTAL HOMES OF TEXAS, L.P. 10700 PECAN PARK BLVD., SUITE 400 AUSTIN, TEXAS 78750 | I, KRISTA BARTSCH, CLERK OF THE COUNTY COURT OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT ON THE DAY OF, 20, A.D., THE COMMISSIONERS' COURT OF BASTROP COUNTY, TEXAS PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT AND THAT SAID ORDER HAS BEEN ENTERED INTO THE MINUTES OF SAID COURT. |
| STATE OF TEXAS § COUNTY OF TRAVIS § | WITNESS MY HAND AND SEAL OF OFFICE OF CLERK OF THE COUNTY COURT OF BASTROP COUNTY, TEXAS THIS DAY OF, 20, 20, A.D. |
| BEFORE ME, THE UNDERSIGNED AUTHORITY, PERSONALLY APPEARED,, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. | KRISTA BARTSCH BY: |
| NOTARY PUBLIC, STATE OF TEXAS | |
| PRINT NOTARY'S NAME MY COMMISSION EXPIRES | STATE OF TEXAS § COUNTY OF BASTROP § |
| STATE OF TEXAS § COUNTY OF WILLIAMSON § | I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DAY OF, 20, A.D., AT O'CLOCKM, IN THE PLAT RECORDS OF BASTROP COUNTY, |
| I, IKSOON LEE P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLY WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF ELGIN, TEXAS. | TEXAS IN PLAT CABINET, PAGE |
| IKSOON LEE, P.E. | FILED FOR RECORD ON THE DAY OF, 20, A.D. |
| LICENSED PROFESSIONAL ENGINEER NO. 142798 DATE: | BY: |
| BGE, INC. 101 WEST LOUIS HENNA BLVD, SUITE 400 AUSTIN, TEXAS 78728 | KRISTA BARTSCH DEPUTY COUNTY CLERK BASTROP COUNTY, TEXAS |
| STATE OF TEXAS § COUNTY OF BEXAR § | |
| I, DION P. ALBERTSON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON WILL BE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF ELGIN, TEXAS, UPON COMPLETION OF CONSTRUCTION. | |
| PRELIMINARY PENDING FINAL REVIEW | |
| DION P. ALBERTSON, R.P.L.S. DATE REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4963 BGE, INC. 7330 SAN PEDRO AVE, SUITE 202 SAN ANTONIO, TEXAS 78216 | |
| GENERAL NOTES: | |
| THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF BASTROP'S FULL PURPOSE JURISDICTION, BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD83 THE PROPERTY LIES IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR BASTROP COUNTY, TEXAS AND INCORPORATED AREAS, MAP NUMBER 48021C0335F, REVISED MAY 9, 2023. ALL FLOODPLAIN BOUNDARIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT DEPICTED AS A RESULT OF AN ON THE GROUND SURVEY. THIS SUBDIVISION IS IN AND SERVED BY CITY OF BASTROP UTILITIES FOR WATER SERVICE. ELECTRIC SERVICE TO BE PROVIDED BY BLUEBONNET ELECTRIC. NO DWELLING STRUCTURE MAY BE OCCUPIED UNTIL SUCH TIME AS WATER AND WASTEWATER CONNECTIONS ARE FULLY OPERATIONAL. | |
| 7. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION, GAS, AND SIMILAR UTILITY SERVICE LINES SHALL BE PLACED UNDERGROUND, SUCH LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE. FINAL PLAT STALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE. STALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE. STALL BE INSTALLED IN ACCORDANCE WITH SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE. | BGE |
| SUBDIVISION OF 12.034 ACRES OF LAND | BGE, Inc. 7330 San Pedro Ave., Suite 202 San Antonio, TX 78216 Tel: 210-581-3600 • www.bgeinc.com TBPELS Registration No. F. 1046 |
| LOCATED IN THE IANCY BLAKEY SURVEY ABSTRACT NO. 98 | TBPELS Registration No. F-1046 TBPELS Licensed Surveying Firm No. 10194490 |
| BASTROP COUNTY, TEXAS | sheet 2 of 2 |







Date: 9/29/2023



235 470 940 0 Feet 1

Valverde South **Final Plat**

1 inch = 1,000 feet

Date: 9/29/2023 The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warrany of merchantability and fitness for particular purpose, or assumes any legal liability or responsibil accuracy, completeness or usefulness information, nor does it represent that its not infringe upon privately owned right

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NOTE: ROADWAY ALIGNMENTS ARE CONCEPTUAL IN NATURE AND MAY BE ADJUSTED WITH FUTURE PLATTING AND CONSTRUCTION DOCUMENTS



SEC Planning, LLC Land Planning + Landscape Architecture + Community Branding

VIRIDIAN CONCEPTUAL LAND USE PLAN

> D.R. HORTON BASTROP, TEXAS

SHEET FLE: V1200003-HORT Confilm/PLA main/DA Dev Base mapping compiled from best available information. A

North

Scale: 1" = 1.000"

Date: June 24, 2021

21 should be considered as preliminary, in need of vertication subject to change. This land plan is conceptual in nature a represent any regulatory approval. Plan is subject to change.

500'

2,000'

1,000'



STAFF REPORT

MEETING DATE: October 5, 2023

TITLE:

Hold public hearing and consider action on a recommendation for the Reed Ranch Zoning Concept Scheme, changing the zoning for 24.462 acres out of the Nancy Blakey Survey from P2 Rural to a Planned Development District (PDD) with a P4 Mix base zoning, as shown on Attachment 4, located at 615 W Highway 71, within the city limits of Bastrop, Texas.

Ann

STAFF REPRESENTATIVE:

Kennedy Higgins – Planner, Development Services

| ITEM DETAILS: | 615 W Highway 71, Bastrop TX |
|---------------------|-----------------------------------------------------|
| Site Address: | 24.462 acres |
| Total Acreage: | 24. 462 acres |
| Acreage Rezoned: | 24. 462 acres |
| Legal Description: | 24. 462 acres out of the No. 98 Nancy Blakey Survey |
| Property Owner: | Charles G. Rosanky Family Trust |
| Agent Contact: | Charley Dorsaneo / Drenner Group |
| Existing Use: | Vacant/Undeveloped |
| Existing Zoning: | P2 Rural |
| Proposed Zoning: | Planned Development District, P4 Core Base Zoning |
| Character District: | Cattleman's |
| Future Land Use: | Transitional Residential |

BACKGROUND:

The applicant has applied for a Zoning Concept Scheme for Reed Ranch (Attachment 4). The proposal is to place a Planned Development District (PDD) with a P4 Mix base zoning to appropriately incorporate multi-family housing which coincides with Transitional Residential as defined by our Future Land Use plan.

After initial recommendation and listening to public comment, the developer has revised the associated documents to address the public concerns as follows:

- The units adjacent to the existing residential neighborhood, Bastrop Grove, be limited to a maximum height of 2 stories.
- The connection to Jessica Place be eliminated.
- The units on the west side of the development be allowed a maximum of 4 stories.
- The setbacks along the portion of the development that abuts the residential neighborhood be relieved of the B3 requirements.
- The development will have increased landscaping in the setback.

The existing land use is classified as P2 – Rural. However, the future land use map calls for "transitional residential" as defined below.

Place Type 4 – Mix is defined in the code as:

"More intense Building Types that provide more lifestyle choices. It provides for a mix of Residential Building Types. Commercial and Office uses are allowed in this District only in House form Structures. Because P4 is a transition area, the Street Types consists of multimodal Streets, but are primarily Residential urban fabric."

The Future Land Use Plan shows this area as Transitional Residential:

"The Transitional Residential character area is for lands to be developed with higher densities and a variety of housing types. The character area supports high density single-family detached, single-family attached (duplexes, triplexes, townhouses) and multifamily (apartments), and institutional residential uses such as nursing homes and assisted living facilities."

| Infrastructure | Available (Y/N) | Proposed |
|----------------------|------------------------------|------------------------------------|
| Water | Y | Line Extensions |
| Wastewater | THE REAL AND AND A SHORE THE | Line Extensions |
| Drainage | Y | Storm sewer, detention pond |
| Transportation | NO STATE OF | Extension, private drive, widening |
| Parks and Open Space | Y | Pond with Trails |

Drainage

A Zoning Concept Scheme must be accompanied by a Conceptual Drainage Plan to ensure that the proposed development is feasible. A Conceptual Drainage Plan has been reviewed and approved by the City Engineer. The site includes one central location for detention in the natural flow of the land in the southeast corner of the tract. The maximum impervious cover allowed in Place Type 4 is 70%. This development proposes <u>62.9%</u>.

<u>Utilities</u>

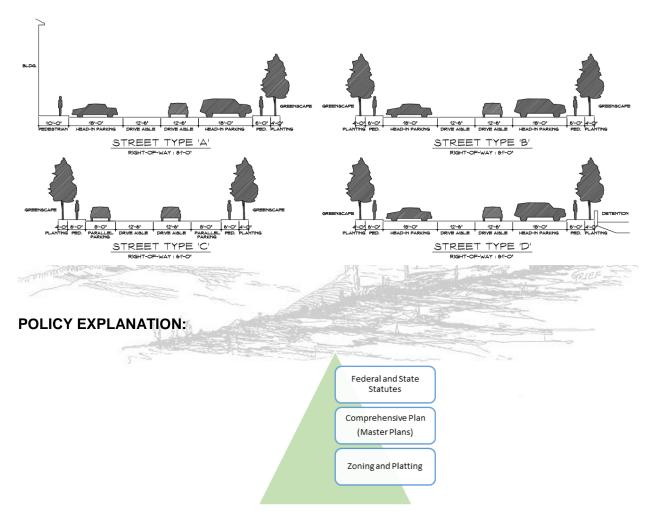
Wastewater and water service (domestic and fire) will be provided the City of Bastrop via line extensions from existing infrastructure located on Settlement Drive. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. The line sizes for capacity and service are <u>8</u>" for water and <u>6</u>" for wastewater.

Electric service provided by Bluebonnet Electric.

Gas will be provided by Center Point Energy.

Traffic Impact and Streets

This zoning concept plan creates a series of internal private drives, connection between Settlement Road and Jessica Place, includes Right of Way dedication for an extension of Blakey Lane eastward, and creating a new street between Old Austin Highway and Blakey Lane. A private drive resembling a typical city street will run amidst the development, stretching from Settlement Road to Jessica Place. This drive will be adorned with trees, sidewalks, and construction adhering to standard guidelines, complete with appropriate lighting. Moreover, it seamlessly aligns with the master transportation plan, ensuring effective connectivity. The main access points to the development will be off Blakey Lane and future connection to Old Austin Highway. The proposed standard street cross sections being used in the design are cross sections A, B, C, and D. The street design will follow the B3 Code, Section 7.3 for design and layout. A Traffic Impact Analysis Threshold Worksheet has been conducted and completed on behalf of the Drenner Group. The TIA shows a total of 627 units with an Average Daily Trip Rate of 6.74 and 4226 Average Daily Trips. The peak hours will be in the afternoon/evening totaling 320 trips per hour. Staff will continue to develop private street standards that meet or exceed the industry standards along with easements needed for public infrastructure.



Texas Local Government Code

Sec. 211.006. PROCEDURES GOVERNING ADOPTION OF ZONING REGULATIONS AND DISTRICT BOUNDARIES. (a) The governing body of a municipality wishing to exercise the authority relating to zoning regulations and zoning district boundaries shall establish procedures for adopting and enforcing the regulations and boundaries. A regulation or boundary is not effective until after a public hearing on the matter at which parties in interest and citizens have an opportunity to be heard. Before the 15th day before the date of the hearing, notice of the time and place of the hearing must be published in an official newspaper or a newspaper of general circulation in the municipality.

Zoning Change signs were visibly placed in the front of the property and notice was sent to property owners within 200 feet of the property boundary.

(b) In addition to the notice required by Subsection (a), a general-law municipality that does not have a zoning commission shall give notice of a proposed change in a zoning classification to each property owner who would be entitled to notice under Section 211.007(c) if the municipality had a zoning commission. That notice must be given in the same manner as required for notice to property owners under Section 211.007(c). The governing body may not adopt the proposed change until after the 30th day after the date the notice required by this subsection is given.

N/A. Bastrop is not a general-law municipality.

(c) If the governing body of a home-rule municipality conducts a hearing under Subsection (a), the governing body may, by a two-thirds vote, prescribe the type of notice to be given of the time and place of the public hearing. Notice requirements prescribed under this subsection are in addition to the publication of notice required by Subsection (a).

Notice of the meeting was posted at least 72 hours in advance.

(d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either:

(1) the area of the lots or land covered by the proposed change; or

(2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

(e) In computing the percentage of land area under Subsection (d), the area of streets and alleys shall be included.

At the time of this report, no protest has been received.

(f) The governing body by ordinance may provide that the affirmative vote of at least three-fourths of all its members is required to overrule a recommendation of the municipality's zoning commission that a proposed change to a regulation or boundary be denied.

If the Planning & Zoning Commission recommends denial of the zoning request, the City Council must have a minimum vote of 4 out of 5 members to approve the zoning request.

At least 5 members of the Planning & Zoning Commission must vote to make an official recommendation to the City Council. Failure to reach five vote means no official recommendation can be forwarded, but this does not impact the City Council's vote requirement to approve or deny the request.

Compliance with 2036 Comprehensive Plan:

The Transitional Residential character area is for lands to be developed with higher densities and a variety of housing types. The character area supports high density single-family detached, single-family attached (duplexes, triplexes, townhouses) and multifamily (apartments), and institutional residential uses such as nursing homes and assisted living facilities. Variation in form, scale, and density is allowed but appropriate transitions must be provided between land uses. In some cases, Transitional Residential uses may be included as part of a larger planned development within areas otherwise designated as Neighborhood Residential. Like, Transitional Residential character areas may also include associated amenities such as parks, trails, open spaces, and public uses such as schools, fire stations, and more.

Representative land uses that are appropriate in Transitional Residential include multifamily apartments which are proposed within Reed Ranch.

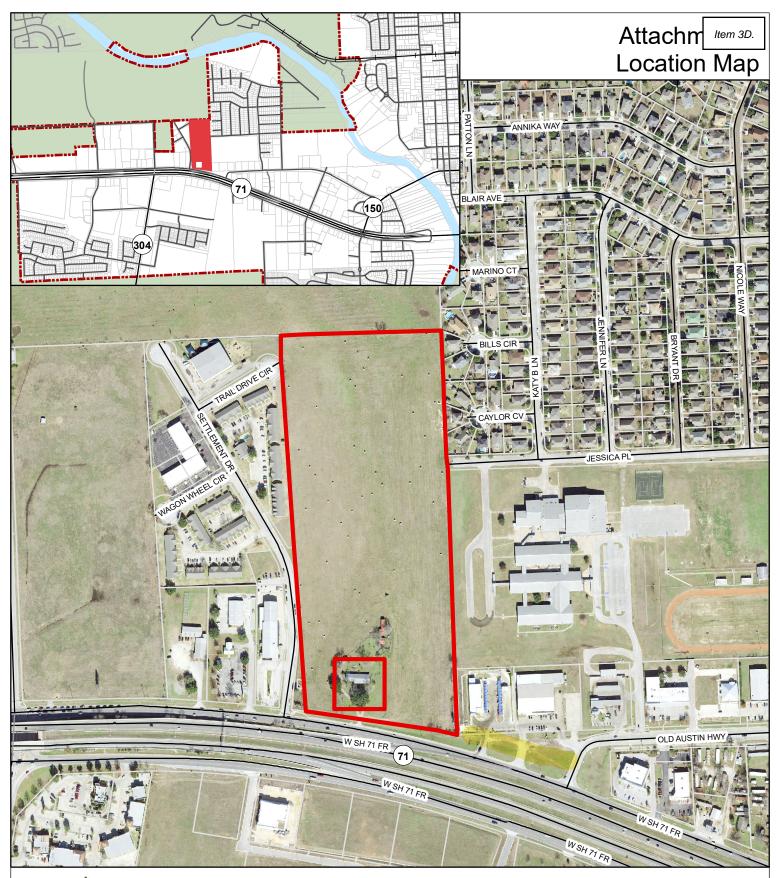
RECOMMENDATION:

The applicant has applied for a Zoning Concept Scheme for Reed Ranch (Attachment 4). The proposal is to place a Planned Development District (PDD) with a P4 Mix base zoning to appropriately incorporate multi-family housing which coincides with Transitional Residential as defined by our Future Land Use plan.

Staff will continue to develop private street standards that meet or exceed the industry standards along with easements needed for public infrastructure.

ATTACHMENTS:

- Attachment 1: Location Map
- Attachment 2: Future Land Use Map
- Attachment 3: Master Plan Exhibit A
- Attachment 4: Master Plan Exhibit B
- Attachment 5: Master Plan Exhibit C
- Attachment 6: Master Plan Exhibit D



Date: 8/17/2023



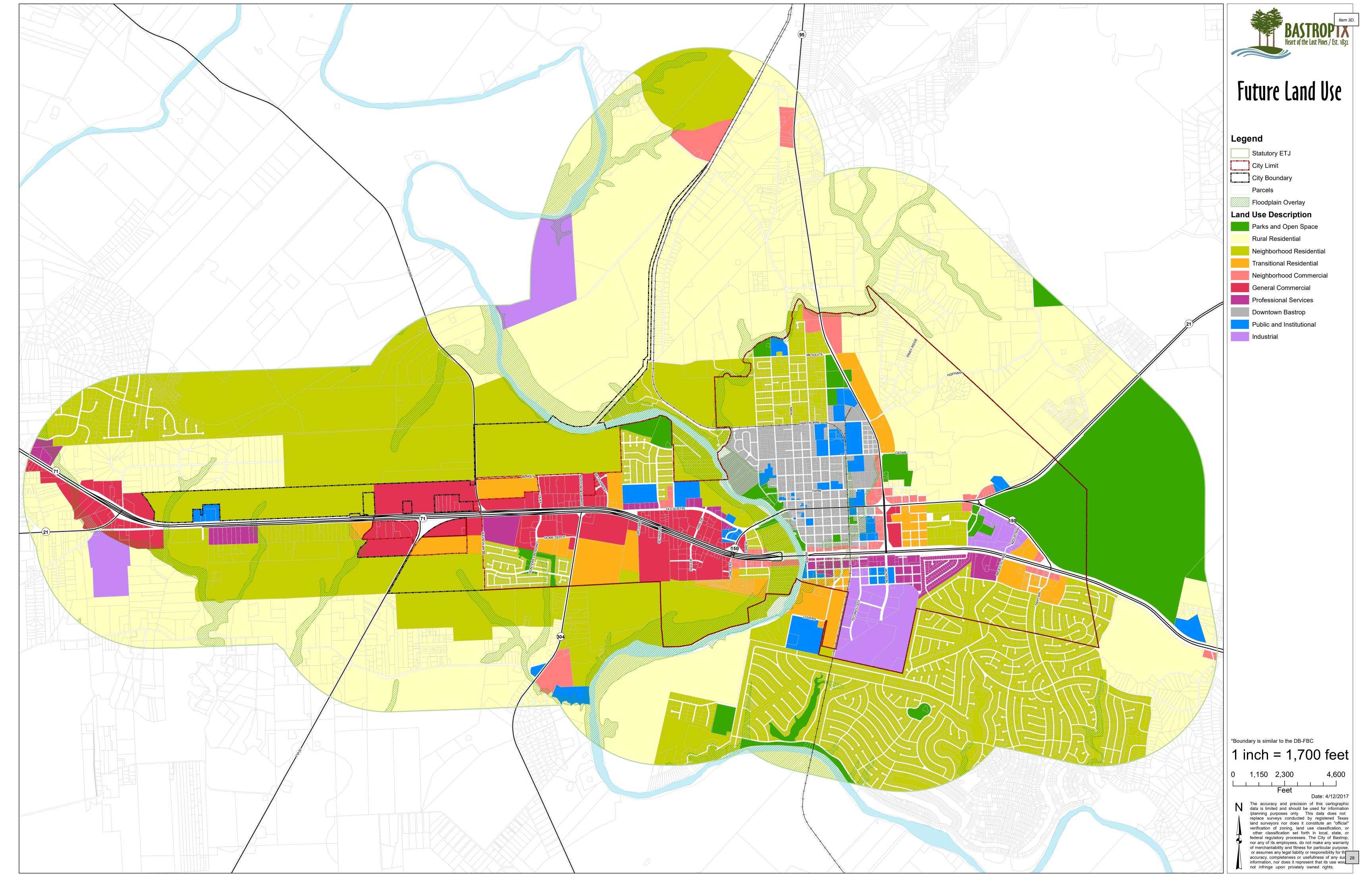
90 180 360 0 Feet L 1

Reed Ranch Property Location Map

1 inch = 400 feet

Date: 8/11/2023 The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility accuracy, completeness or usefulness in not infringe upon privately owned right

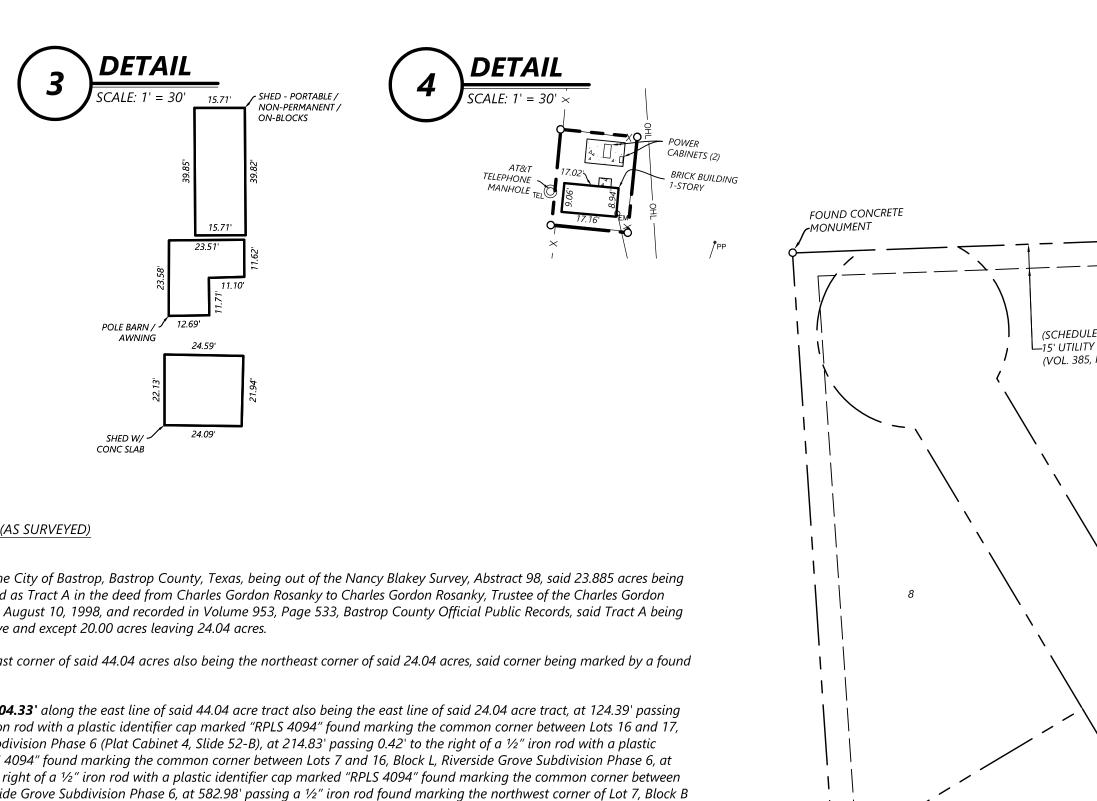
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| | 3 DETAIL DETAIL |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| $\mathbf{S}_{\mathbf{ALE: 1' = 30'}}$ | SCALE: 1' = 30' 15.71' SHED - PORTABLE / NON-PERMANENT / ON-BLOCKS SCALE: 1' = 30' × |
| BLAKEYUN BLAKEYUN BLAKEYUN | |
| | E 15.71' |
| | POLE BARN / 12.69' |
| BASTROP COUNTY 93.59' VICINITY MAP | AWNING 24.59' |
| (SCALE:1" = 5,000') 32.88' 5.51 NOTES ADDRESSING SCHEDULE "B" EXCEPTIONS (GF. NO. 4712023439-A) | 30.6 |
| Rights of tenants in possession, as tenants only, under unrecorded lease agreements. (Not survey related) | 30.83 ⁻ |
| Intentionally deleted. All leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges, | BOUNDARY DESCRIPTION (AS SURVEYED) TRACT 1: |
| and immunities relating thereto, appearing in the Public Records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of mineral interest that are not listed. 13. The following matters as shown on plat recorded in Plat Cabinet 2, Page 259B, Plat Record of Bastrop County, Texas. : | 23.885 ACRES of land in the City of Bastrop, Bastrop County, Texas, being out of the Nancy Blakey Survey, Abstract 98, said 23.8 all of that tract of land titled as Tract A in the deed from Charles Gordon Rosanky to Charles Gordon Rosanky, Trustee of the Cha Rosanky Family Trust dated August 10, 1998, and recorded in Volume 953, Page 533, Bastrop County Official Public Records, said described as 44.04 acres save and except 20.00 acres leaving 24.04 acres. |
| (Tract 2) a. 15 foot wide public utility easement, as shown on survey prepared by Westwood Professional Services, Inc., Michael Jack Needham, RPLS No. 5183, Job No. 0043796.00, dated May 2, 2023, last revised, 2023 (the "Survey"). b. Area 1A to be reserved for the owner(s) of Lot 1 for sign purposes. | BEGINNING at the northeast corner of said 44.04 acres also being the northeast corner of said 24.04 acres, said corner being mo concrete marker. |
| (As shown hereon. Affects the property surveyed, located along the east line of Tract 2.) 14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document, as shown on the survey: Granted to: Lower Colorado River Authority | THENCE S 02°19'53" E 1604.33' along the east line of said 44.04 acre tract also being the east line of said 24.04 acre tract, at 1 0.40' to the right of a ½" iron rod with a plastic identifier cap marked "RPLS 4094" found marking the common corner between L Block L, Riverside Grove Subdivision Phase 6 (Plat Cabinet 4, Slide 52-B), at 214.83' passing 0.42' to the right of a ½" iron rod with identifier cap marked "RPLS 4094" found marking the common corner between Lots 7 and 16, Block L, Riverside Grove Subdivision |
| Purpose: electric lines and systems Recording Date: September 23, 1961 Recording No: Volume 155, Page 232, Deed Records of Bastrop County, Texas. | 305.33' passing 0.29' to the right of a ½" iron rod with a plastic identifier cap marked "RPLS 4094" found marking the common c Lots 6 and 7, Block L, Riverside Grove Subdivision Phase 6, at 582.98' passing a ½" iron rod found marking the northwest corner o of Riverside Grove Subdivision Phase 1 (Plat Cabinet 3, Page 118-B), at 1412.92' passing a ½" iron rod found marking the southw |
| (As shown hereon. Affects the property surveyed, located along the northwest corner of Tract 1.) Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document, as noted on the Survey: Granted to: Aqua Water Supply Corp. | Lot 7, continuing along the east lines of said 44.04 acre and 24.04 acre tracts and along the west line of said Riverside Grove Sub to the southeast corner of said 44.04 acre tract also being the southeast corner of said 24.04 acre tract, said corner being called th State Highway 71 (no deed found); |
| Purpose: water pipe lines Recording Date: January 28, 1970 Recording No: Volume 194, Page 656, Deed Records of Bastrop County, Texas. (Unable to plot, blanket in nature, no visible evidence found.) | THENCE S 87°19'49" W 436.55' along the south line of said 44.04 acre tract also being the south line of said 24.04 acre tract, so called the north line of State Highway 71 (no deed found) to the east corner of the 11.534 acre tract of land described in the right the State of Texas recorded in Volume 148, Page 299, Bastrop County Deed Records, said corner being in the north line of Highw marked with a 1/2" iron rod found with an aluminum disk marked "TxDOT"; |
| 16. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document, as shown on the Survey: Granted to: Bluebonnet Electric Cooperative, Inc. | THENCE along the north line of said 11.534 acre tract being the north line of said State Highway 71 with a curve turning to the le length of 199.17', with a radius of 5358.89', with a chord bearing of N 80°33'20" W, and with a chord length of 199.16' |
| Purpose: electric distribution line or system and appurtenances Recording Date: August 9, 1985 Recording No: Volume 385, Page 294, Official Records of Bastrop County, Texas. (As shown hereon. Affects the property surveyed, located along the east line of Tract 2.) | corner of said 20.00 acre tract save and excepted from said 44.04 acre tract, said corner being located 0.45' S03°42'44"E of the sou Lot 1A of the Settlement on the Colorado (Plat Cabinet 2, Slide 259-B), said corner of Lot 1A being reestablished from other monu marking the corners of said Lot 1A, said corner of 20.00 acre tract also being located 0.73' S71°33'20"E of an iron rod found with identifier cap with illegible marking; |
| 17. Intentionally deleted. 18. Granted to: City of Bastrop | THENCE N 03°42'44" W 1568.92' along the east line of said 20.00 acre tract save and excepted from said 44.04 acre tract, said the east line of said Settlement on the Colorado to the north line of said 44.04 acre tract, said point being located 0.45' N 03°42'4 rod found at the northeast corner of said Settlement on the Colorado, said point in the north line of said 44.04 acre tract also beir |
| Purpose: water line Recording Date: December 14, 1998 Recording No: Volume 952, Page 256, Official Records of Bastrop County, Texas. | 573.58' N87°51'25″E of a concrete marker found at the northwest corner of said 44.04 acre tract; THENCE N 87°51'25'' E 669.32' along the north line of said 44.04 acre tract also being the north line of said 24.04 acre tract to |
| (As shown hereon. Affects the property surveyed, located along the south line of Tract 1.) Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document, as shown on the Survey: Granted to: City of Bastrop | beginning, this tract having an area of 23.885 acres. |
| Purpose: Public Utility Easement and Temporary Access & Construction Easement Recording Date: September 13, 2021 Recording No: 202119722; corrected by Instrument No. 202217429, Official Public Records of Bastrop County, Texas. | BOUNDARY DESCRIPTION (AS SURVEYED) TRACT 2: 0.158 ACRES of land in the City of Bastrop, Bastrop County, Texas, being out of Lot 1A of the Settlement on the Colorado (Plat C |
| Affects: Tract 1 (Affects the property surveyed, located in the area near the southwest corner of Tract 1.) | 259B), said subdivision being out of the Nancy Blakey Survey, Abstract 98, said 0.158 acres being all of said Lot 1A save and exce described in the deed from Victoria Bank & Trust Company - Central to Mohammad Mike Mematpour dated May 12,1990, record 572, Page 263, Bastrop County Official Public Records, said Lot 1A being described in deed as Tract G in the deed from Charles G Charles Gordon Rosanky, Trustee of the Charles Gordon Rosanky Family Trust dated August 10, 1998, and recorded in Volume 95 |
| Any rights, easements, interests or claims which may exist by reason of or reflected by overhead utility lines along and across Tract 1. | Bastrop County Official Public Records. BEGINNING at the southeast corner of said Lot 1A, said corner being marked by an iron rod found with a red plastic identifier comarking. |
| (As shown on the Survey) 22. Any rights, easements, interests or claims which may exist by reason of or reflected by gas and fiber optic lines across the south line of Tracts 1 & 2. | THENCE along the south line of said Lot 1A with a curve turning to the left with an arc length of 50.05', with a radius of 520 chord bearing of N 81°40'19" W, with a chord length of 50.05' to the southwest corner of said Lot 1A, said corner being mar |
| (As shown on the Survey) 23. Any rights, easements, interests or claims which may exist by reason of or reflected by encroachment/protrusion of fence along the east and west lines of Tract 1. | ½" iron rod; THENCE N 05°34'33" E 80.11' along the west line of Lot 1A and the east line of Settlement Drive to the southwest corner of said said corner being located N 84°22'20" W 0.24' of a found ½" iron rod; |
| (As shown on the Survey) 24. Denial of Access along a portion of the south line of Tract 1 according to TXDOT Plat AUS026504AF. | THENCE with the south, east, and north boundaries of said 0.017 acre tract as follows: S 84°22'20" E 23.93' to the southeast corner of said tract, said corner being marked with a found ½" iron rod; N 05°39'34" E 30.04' to the northeast corner of said tract, said corner being marked with a found ½" iron rod; |
| (As shown on the Survey) 25. Section 14 of the Conditions of this policy is hereby deleted. | • N 84°22'09" W 23.97' to the west line of said Lot 1A and the east line of said Settlement Drive, said point being the northw tract, said corner being marked with a found ½" iron rod; |
| TABLE A ITEMS: 2. Address(es) of the surveyed property if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork As shown hereon (Tract 1). No address observed (Tract 2). | THENCE along the west line of Lot 1A and the east line of Settlement Drive as follows: N 05°34'33" E 166.43' to the beginning of a curve to the left, said point being marked with a found ½" iron rod; with said curve turning to the left with an arc length of 53.67', with a radius of 330.00', with a chord bearing of N 0 with a chord length of 53.61', to the north corner of said Lot 1A in the east line of said Settlement on the Colorado, said corner |
| Flood zone classification depicted by scaled map location and graphic plotting only As shown hereon. Gross land area (and other areas if specified by the client) As shown hereon. | with a found ½" iron rod; THENCE S 03°42'44" E 336.82' with the east line of said Settlement on the Colorado and the east line of said Lot 1A to the poin this tract having an area of 0.158 acres (6884 square feet), as shown on the accompanying plat. Bearings are relative to State Pla |
| 7. (a) Exterior dimensions of all buildings at ground level As shown hereon. | NAD 83(2011), Texas Central Zone. Distances and areas reflect the application of a combined scale factor of 1.00003 and thus represented and the set measurements. Set stakes are 1/2" rebar with Westwood plastic identifier caps. |
| B. Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse) As shown hereon. | DESCRIPTION FROM TITLE COMMITMENT |
| As specified by the client, distance to the nearest intersecting street As shown hereon. Evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the | TRACT 1: 23.885 ACRES OF LAND, IN THE CITY OF BASTROP, BASTROP COUNTY, TEXAAS, BEING OUT OFF THE NANCY BLAKEY SURVEY, ABSTRACT 98: |
| fieldwork None observed. NOTES | SAID 23.885 ACRES BEING ALL OF THAT TRACT OF LAND TITLED AS TRACT A IN THE DEED FROM CHARLES GORDON ROSANK TO CHARLES GORDON ROSANKY, TRUSTEE OF THE CHARLES GORDON ROSANKY FAMILY TRUST DATED AUGUST 10, 1998, AN RECORDED IN VOLUME 953, PAGE 533, OFFICIAL PUBLIC RECORDS, SAID TRACT A BEING DESCRIBED AS 44.04 ACRES SAVE AI EXCEPT 20.00 ACRES LEAVING 24.04 ACRES. |
| 1. Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas Central Zone 4203. Distances and areas reported have been scaled by applying the TxDOT surface adjustment factor of 1.00003. | THENCE S 02°19'53" E 1604.33' ALONG THE EAST LINE OF SAID 44.04 ACRE TRACT ALSO BEING THE EAST LINE OF SAID 24.04 ACRE TRACT, AT 124.39' PASSING 0.40' TO THE RIGHT OF A 1/2" IRON ROD WITH A PLASTIC IDENTIFIER CAP MARKED "RPLS 4094" FOUND MARKING THE COMMON CORNER BETWEEN LOTS 16 AND 17, BLOCK L, RIVERSIDE GROVE SUBDIVISION PHAS |
| Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Bastrop County, Texas and Incorporated Areas, | (PLAT CABINET 4, SLIDE 52-B), AT 214.83' PASSING 0.42' TO THE RIGHT OF A 1/2" IRON ROD WITH A PLASTIC IDENTIFIER CAP MARKED "RPLS 4094" FOUND MARKING THE COMMON CORNER BETWEEN LOTS 7 AND 16, BLOCK L, RIVERSIDE GROVE SUBDIVISION PHASE 6, AT 305.33' PASSING 0.29' TO THE RIGHT OF A 1/2" IRON ROD WITH A PLASTIC IDENTIFIER CAP MARKI "RPLS 4094" FOUND MARKING THE COMMON CORNER BETWEEN LOTS 6 AND 7, BLOCK L, RIVERSIDE GROVE SUBDIVISION |
| Map No. 48021C0355E, Community-Panel No. 481193 0355 E, Revised Date: January 19, 2006. All of the subject property is shown to be located in Zone "X" on said map. The location of the said floodzones is based on said map, is approximate and is not located on the ground. Relevant zones are defined on said map as follows: | PHASE 6, AT 582.98' PASSING A 1/2" IRON ROD FOUND MARKING THE NORTHWEST CORNER OF LOT 7, BLOCK B OF RIVERSIL GROVE SUBDIVISION PHASE 1 (PLAT CABINET 3, PAGE 118-B), AT 1412.92' PASSING A 1/2" IRON ROD FOUND MARKING THE SOUTHWEST CORNER OF SAID LOT 7, CONTINUING ALONG THE EAST LINES OF SAID 44.04 ACRE AND 24.04 ACRE TRACTS AI |
| Zone "X" (Unshaded) - Other Areas: Areas determined to be outside 0.2% annual chance floodplain. Zone "X" (Shaded) - Other Flood Areas: Areas of 0.2% annual chance flood; areas of 1% annual chance | ALONG THE WEST LINE OF SAID RIVERSIDE GROVE SUBDIVISION PHASE 1 TO THE SOUTHEAST CORNER OF SAID 44.04 ACRE TRACT ALSO BEING THE SOUTHEAST CORNER OF SAID 24.04 ACRE TRACT, SAID CORNER BEING CALLED THE NORTH LINE OF STATE HIGHWAY 71 (NO DEED FOUND); |
| flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood. | THENCE S 87°19'49" W 436.55' ALONG THE SOUTH LINE OF SAID 44.04 ACRE TRACT ALSO BEING THE SOUTH LINE OF SAID 24 ACRE TRACT, SAID LINE BEING CALLED THE NORTH LINE OF STATE HIGHWAY 71 (NO DEED FOUND) TO THE EAST CORNER O THE 11.534 ACRE TRACT OF LAND DESCRIBED IN THE RIGHT OF WAY DEED TO THE STATE OF TEXAS RECORDED IN VOLUME PAGE 299, BASTROP COUNTY DEED RECORDS, SAID CORNER BEING IN THE NORTH LINE OF HIGHWAY 71 AND BEING MARKI |
| 3. This survey is based on deeds, easements and/or recorded plats and other records furnished by the client and/or the client's representative as well as significant visible monuments found on the subject property and adjacent properties, field measurements and evidence of boundaries found on the ground. However, this survey shall not represent warranty of title or guarantee of ownership. The surveyor did not abstract the subject property. This survey was performed with the benefit of a | WITH A 1/2" IRON ROD FOUND WITH AN ALUMINUM DISK MARKED "TXDOT"; THENCE ALONG THE NORTH LINE OF SAID 11.534 ACRE TRACT BEING THE NORTH LINE OF SAID STATE HIGHWAY 71 WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 199.17', WITH A RADIUS OF 5358.89", WITH A CHORD BEARING OF |
| current title abstract provided by Chicago Title Insurance Company, GF No. 4712023439-A, effective date April 30, 2023, issued May 25, 2023. 4. All underground utility information depicted on the survey is based on available record information on file at the City of | 80°33'20" W, AND WITH A CHORD LENGTH OF 199.16", TO THE SOUTHEAST CORNER OF SAID 20.00 ACRE TRACT SAVE AND EXCEPTED FROM SAID 44.04 ACRE TRACT, SAID CORNER BEING LOCATED 0.45' S03°42'44"E OF THE SOUTHEAST CORNER OF LOT 1A OF THE SETTLEMENT ON THE COLORADO (PLAT CABINET 2, SLIDE 259-B), SAID CORNER OF LOT 1A BEING REESTABLISHED FROM OTHER MONUMENTS FOUND MARKING THE CORNERS OF SAID LOT 1A, SAID CORNER OF 20.00 ACRE |
| Bastrop and the appropriate public utility companies. This information has been verified where possible by visible utility appurtenances. The surveyor cannot guarantee the accuracy or completeness of these records. Lacking excavation, the exact location of underground utilities cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. The Surveyor has contacted the Texas One | TRACT ALSO BEING LOCATED 0.73' S71°33'20"E OF AN IRON ROD FOUND WITH A RED PLASTIC IDENTIFIER CAP WITH ILLEGIE MARKING; |
| Call System (DigTess) and depicted hereon the visible and apparent markings on the ground as a result of locate #2358693843. | THENCE N 03°42'44" W 1568.92" ALONG THE EAST LINE OF SAID 20.00 ACRE TRACT SAVE AND EXCEPTED FROM SAID 44.04 ACRE TRACT, SAID LINE NOW BEING THE EAST LINE OF SAID SETTLEMENT ON THE COLORADO TO THE NORTH LINE OF SAID 44.04 ACRE TRACT, SAID POINT BEING LOCATED 0.45' N 03°42'44"W OF A 1/2" IRON ROD FOUND AT THE NORTHEAST CORN OF SAID SETTLEMENT ON THE COLORADO, SAID POINT IN THE NORTH LINE OF SAID 44.04 ACRE TRACT ALSO BEING LOCATE 572 58' N87551'25"E OF A CONCRETE MARKED FOUND AT THE NORTHWEST CORNED OF SAID 44.04 ACRE TRACT. |
| 5. This survey does not provide a determination or opinion concerning the location or existence of wetlands, faultlines, toxic or hazardous waste areas, subsidence, subsurface and environmental conditions or geological issues. No statement is made concerning the suitability of the subject tract for any intended use, purpose or development. | 573.58' N87°51'25"E OF A CONCRETE MARKER FOUND AT THE NORTHWEST CORNER OF SAID 44.04 ACRE TRACT; THENCE N 87°51'25" E 669.32' ALONG THE NORTH LINE OF SAID 44.04 ACRE TRACT ALSO BEING THE NORTH LINE OF SAID 24.04 ACRE TRACT TO THE POINT OF BEGINNING, THIS TRACT HAVING AN AREA OF 23.885 ACRES. |
| Square footage totals shown hereon or referenced herein are based on mathematical closures and do not necessarily represent the positional accuracy of the boundary monuments. The word "certify" or "certificate" as shown and used hereon means an expression of professional opinion regarding the facts | NOTE: COMPANY DOES NOT REPRESENT THAT THE ABOVE ACREAGE AND/OR SQUARE FOOTAGE CALCULATIONS ARE CORR |
| of the survey and does not constitute a warranty or guarantee, expressed or implied. 8. Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject tract: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or | LOT 1A, SETTLEMENT ON THE COLORADO, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT CABINET NO. 2, PAGE 259B, PLAT RECORDS, BASTROP COUNTY, TEXAS, SAVE AND EXCEPT 0.017 ACRE PARCEL DESCRIBED IN VOLUME 572, PAGE 263, OFFICIAL RECORDS, BASTROP COUNTY, TEXAS IN EXHIBIT A-3 ATTACHED THERETO. |
| other land-use regulations; Agreements; Lease Agreements; and ownership title evidence. 9. Any declaration made hereon or herein is made to the original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. | |
| Institutions or subsequent owners. 10. Intrusions or protrusions are as shown. Whether the intrusion or protrusion rises to the level of being an encroachment is a matter of law which takes into consideration currently unknown conditions. | LEGEND AC @ A/C UNIT |
| SURVEYOR'S CERTIFICATE To: HLC Communities LLC, a Texas limited liability company; Charles Gordon Rosanky, Trustee of the Charles Gordon Rosanky Family Trust; | CBL = UG CABLE MARKER III HAND HOLE CABLE TEL □ TELEPHONE BOX CO · CLEANOUT III HAND HOLE TELEPHONE TEL = UG TELEPHONE MARKER 区ゾ CABLE VAULT ICV IRRIGATION CONTROL VALVE TRW TRASH CAN ELEC □ ELECTRIC BOX LS 法 LIGHT STANDARD 法法法 TRAFFIC SIGNAL |
| Charles Gordon Rosanky, Trustee of the Charles Gordon Rosanky Family Trust; Chicago Title Insurance Company; Hayden Lunsford: and Wick Phillips Gould & Martin, LLP: | ELEC© ELECTRIC MANHOLE MH© MANHOLE (TYPE UNKNOWN) TSC□ TRAFFIC SIGNAL CONTROL EM© ELECTRIC METER MB□ MAILBOX TSP TRAFFIC SIGNAL POLE EV ELECTRIC VAULT MW© MONITORING WELL TS IN TRAFFIC SENSOR ELECT UG ELECTRIC MARKER NPI NEWSPAPER STAND TST TEST STA. (TYPE UNKNOWN) FDC< |
| This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 7(a), 8, 14 and 16 of Table A thereof. | FH OF FIRE HYDRANT PBE PULL BOX ELECTRIC ST SEPTIC TANK FIB TUG FIB. OPTIC MARKER PBC PULL BOX CABLE STMO STORM SEWER MANHOLE FIB FIB. OPTIC MANHOLE PBF PULL BOX FIBER OPTIC TC PULL BOX FIBER OPTIC TC PULL BOX FIBER OPTIC FIP FLAG POLE PBT PULL BOX TELEPHONE TELO TELEPHONE MANHOLE |
| The field work was completed on May 1, 2023. Date of Plat or Map: June 27, 2023. | FL [⊥] FLOOD LIGHT PH ♥ PAY PHONE IV VAULT (TYPE UNKNOWN) EV FIBER OPTIC VAULT PLM ♥ UG PIPELINE MARKER IVI VENT GAS ♥ UG GAS MARKER PM ♥ PARKING METER WIT ♥ UG WATER MARKER GAS © GAS MANHOLE PP ♥ POWER POLE WM ♥ WATER METER GM ⊗ GAS METER PPM ♥ METAL UTILITY POLE WTR © WATER MANHOLE |
| A D C & Marchen Constraints | GP•GUY POLE $\not\leftarrow \rightarrow$ PP W/ LIGHT wv WATER VAULTGP \square GAS PUMP $\leftarrow \rightarrow$ PP W/ GUY ANCHOR $wv \otimes$ WATER VALVEGPSTGOAL POST $PP W/ CROSS$ $arm (LENGTH IN FEET)$ IRS $1/2$ -INCH IRON RODGTOGREASE TRAP $PP(1) \bullet$ $PP W/ CROSS$ $arm (LENGTH IN FEET)$ IRS $1/2$ -INCH IRON ROD |
| Michael Jack Needham Michael Jack Needham Registered Professional Land Surveyor | GTS GAS TEST STATION RD □ ROOF DRAIN |

No. 5183 Michael.Needham@westwoodps.com www.westwoodps.com





id 44.04 acre and 24.04 acre tracts and along the west line of said Riverside Grove Subdivision Phase 1 tract also being the southeast corner of said 24.04 acre tract, said corner being called the north line of e south line of said 44.04 acre tract also being the south line of said 24.04 acre tract, said line being no deed found) to the east corner of the 11.534 acre tract of land described in the right of way deed to Page 299, Bastrop County Deed Records, said corner being in the north line of Highway 71 and being

acre tract being the north line of said State Highway 71 with a curve turning to the left **with an arc 3.89**', with a chord bearing of N 80°33'20" W, and with a chord length of 199.16', to the southeast epted from said 44.04 acre tract, said corner being located 0.45' S03°42'44"E of the southeast corner of (Plat Cabinet 2, Slide 259-B), said corner of Lot 1A being reestablished from other monuments found rner of 20.00 acre tract also being located 0.73' S71°33'20"E of an iron rod found with a red plastic

the east line of said 20.00 acre tract save and excepted from said 44.04 acre tract, said line now being prado to the north line of said 44.04 acre tract, said point being located 0.45' N 03°42'44"W of a ½" iron ettlement on the Colorado, said point in the north line of said 44.04 acre tract also being located ound at the northwest corner of said 44.04 acre tract;

e north line of said 44.04 acre tract also being the north line of said 24.04 acre tract to the point of 85 acres.

Bastrop County, Texas, being out of Lot 1A of the Settlement on the Colorado (Plat Cabinet 2, Slide ncy Blakey Survey, Abstract 98, said 0.158 acres being all of said Lot 1A save and except 0.017 acres Trust Company - Central to Mohammad Mike Mematpour dated May 12,1990, recorded in Volume blic Records, said Lot 1A being described in deed as Tract G in the deed from Charles Gordon Rosanky to harles Gordon Rosanky Family Trust dated August 10, 1998, and recorded in Volume 953, Page 533,

d Lot 1A, said corner being marked by an iron rod found with a red plastic identifier cap with illegible

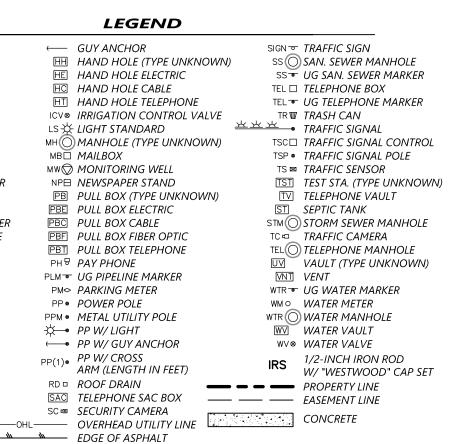
with a curve turning to the left with an arc length of 50.05', with a radius of 5208.71', with a chord length of 50.05' to the southwest corner of said Lot 1A, said corner being marked with a found

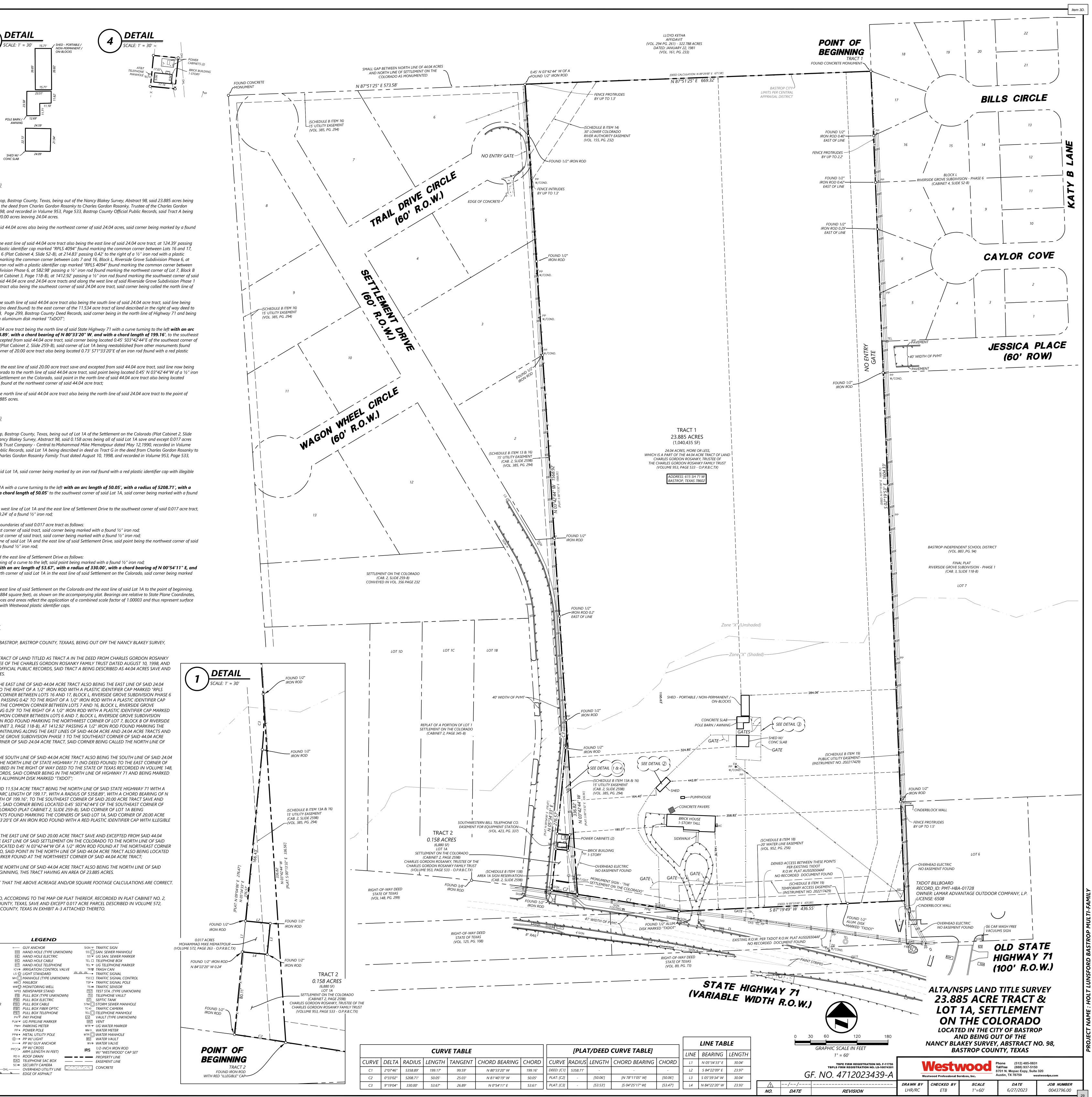
west line of Lot 1A and the east line of Settlement Drive to the southwest corner of said 0.017 acre tract, 0.24' of a found ½″ iron rod;

t corner of said tract, said corner being marked with a found 1/2" iron rod; e of said Lot 1A and the east line of said Settlement Drive, said point being the northwest corner of said found ½″ iron rod;

the east line of Settlement Drive as follows: ing of a curve to the left, said point being marked with a found ½" iron rod; th an arc length of 53.67', with a radius of 330.00', with a chord bearing of N 00°54'11" E, and corner of said Lot 1A in the east line of said Settlement on the Colorado, said corner being marked

east line of said Settlement on the Colorado and the east line of said Lot 1A to the point of beginning, 884 square feet), as shown on the accompanying plat. Bearings are relative to State Plane Coordinates, ces and areas reflect the application of a combined scale factor of 1.00003 and thus represent surface with Westwood plastic identifier caps.





| | | | | | | [| | | | | | LINE TAB | SLE | |
|----------|----------|---------|----------|---------------|---------|------------|----------|----------|-----------------|----------|------|---------------|--------|----|
| | | CURV | 'E TABLE | | | | [PLA | T/DEED | CURVE TABLE] | | LINE | BEARING | LENGTH | |
| DELTA | RADIUS | LENGTH | TANGENT | CHORD BEARING | CHORD | CURVE | RADIUS | LENGTH | CHORD BEARING | CHORD | L1 | N 05°34'33" E | 30.04' | |
| 2°07'46" | 5358.89' | 199.17' | 99.59' | N 80°33'20" W | 199.16' | DEED: [C1] | 5358.71' | - | - | - | L2 | S 84°22'09" E | 23.97' | |
| 0°33'02" | 5208.71' | 50.05' | 25.03' | N 81°40'19" W | 50.05' | PLAT: [C2] | - | [50.06'] | [N 78°11'05" W] | [50.06'] | L3 | S 05°39'34" W | 30.04' | |
| 9°19'04" | 330.00' | 53.67' | 26.89' | N 0°54'11" E | 53.61' | PLAT: [C3] | - | [53.53'] | [S 04°25'17" W] | [53.47'] | L4 | N 84°22'20" W | 23.93' | |
| | | | | | | | | | | | | | | NC |

OWNER

ROSANKY, CHARLES G FAMILY TRUST 615 HWY 71 W BASTROP, TX 78602

DEVELOPER

HOLT LUNSFORD HOLDINGS 5950 BERKSHIRE LANE, SUITE 900 DALLAS, TX 75225

<u>ARCHITECT</u>

ARCHON CORPORATION 210 N. PARK BLVD, SUITE 100 GRAPEVINE, TX 76051

<u>ENGINEER</u>

Westwood Professional Services, Inc.

HOLLIS SCHEFFLER, P.E. 8701 N. MOPAC EXPY, SUITE 320 AUSTIN, TEXAS 78759 PHONE: (512) 485-0831

SURVEYOR



MICHAEL JACK NEEDHAM 8701 N. MOPAC EXPY, SUITE 320 AUSTIN, TEXAS 78759 PHONE: (512) 485-0831

LEGAL DESCRIPTION:

A98 BLAKEY, NANCY, ACRES 23.0400



Westwood Professional Services, Inc.

TBPE FIRM REGISTRATION NO. F-11756 TBPLS FIRM REGISTRATION NO. LS-10074301

ZONING CONCEPT PLANS FOR **REED RANCH** 615 SH 71 W BASTROP TX, 78602



VICINITY MAP (1"=2000')

PROJECT ZONING:

P-2

PROJECT ADDRESS:

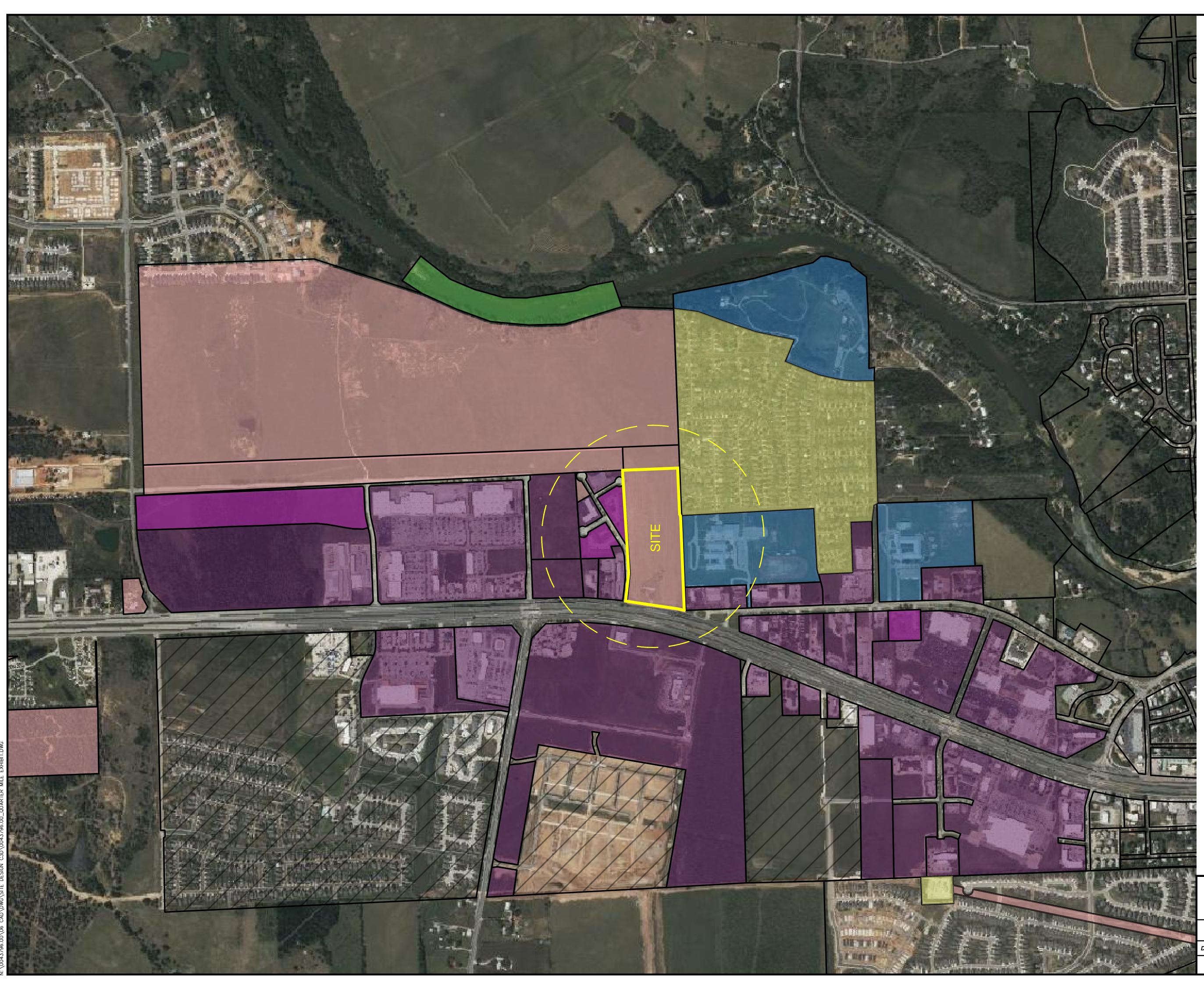
615 SH 71 W

SUBMITTAL DATE:

JULY 10, 2032

| Sheet NumberSheet Title1COVER2PEDESTRIAN SHED3PD SITE PLAN4LOT AND BLOCK LAYOUT5EXISTING DRAINAGE AREA MAP6PROPOSED DRAINAGE AREA MAP7UTILITY PLAN 1 OF 28UTILITY PLAN 2 OF 2 | pac Expy, | neet List Table | S |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------------------------|---|
| 2 PEDESTRIAN SHED 3 PD SITE PLAN 4 LOT AND BLOCK LAYOUT 5 EXISTING DRAINAGE AREA MAP 6 PROPOSED DRAINAGE AREA MAP 7 UTILITY PLAN 1 OF 2 8 UTILITY PLAN 2 OF 2 | 701 N. Mc | Sheet Title | |
| 6 PROPOSED DRAINAGE AREA MAP 7 UTILITY PLAN 1 OF 2 8 UTILITY PLAN 2 OF 2 | | | |
| 6 PROPOSED DRAINAGE AREA MAP 7 UTILITY PLAN 1 OF 2 8 UTILITY PLAN 2 OF 2 | 12) 485 | | 4 |
| 7UTILITY PLAN 1 OF 28UTILITY PLAN 2 OF 2 | (51 | EXISTING DRAINAGE AREA MAP | 5 |
| 8 UTILITY PLAN 2 OF 2 | υ | PROPOSED DRAINAGE AREA MAP | 6 |
| | Phon | UTILITY PLAN 1 OF 2 | 7 |
| | → B | UTILITY PLAN 2 OF 2 | 8 |

| | うううううう | Dhone (512) 485-0831 8701 N Monec Event Strifte 320 | e (888) 937-5150 | westwoodps.com | Westwood Professional Services, Inc. TBPE FIRM REGISTRATION NO. F-469 | 00080-00 | m 3D. |
|-------------|----------------------|---------------------------------------------------------------------|---------------------------------------------------------------------------|---------------------------------|-----------------------------------------------------------------------------|----------|-------|
| | BΥ | | | | | | |
| REVISIONS | DESCRIPTION | | | | | | |
| | DATE | | | | | | |
| REED RANCH | | 615 SH 71 W | BASTROP TX. 78602 | | COVER | | |
| PRELIMINARY | NOT FOR CONSTRUCTION | THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY | AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES. | PLANS PREPARED UNDER THE DIRECT | SUPERVISION OF HOLLIS ANN SCHEFFLER, P.E. TEXAS REGISTRATION NO. 136049. | | |
| | | PURI | BIDD | 2 | | | |



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| P2 | Р3 | Ρ4 | CIVIC | P5 | TOTAL |
|--------|--------|-------|--------|--------|--------|
| 30.40% | 12.35% | 4.90% | 14.68% | 24.58% | 86.91% |

| | PLANNED DEVELOPMENT |
|--|---------------------|
| | NATURE |
| | CIVIC SPACE |
| | RURAL |
| | NEIGHBORHOOD |
| | MIX |
| | CORE |
| | |

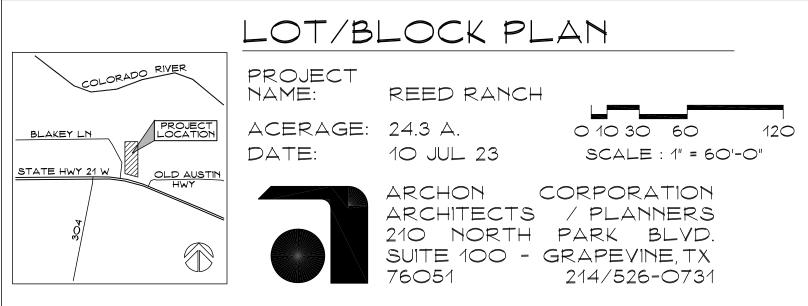
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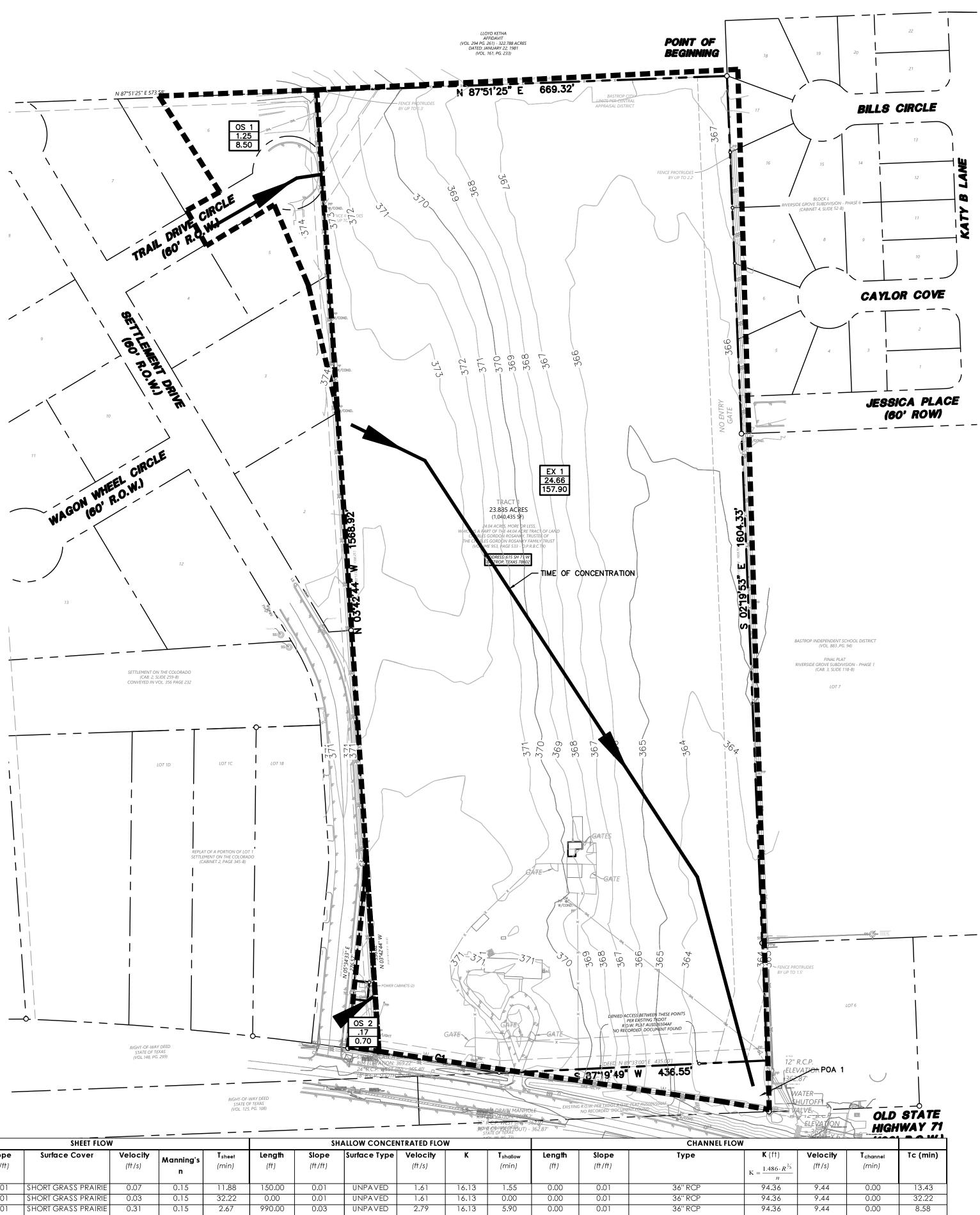
| | | two | nc. TBPE FII | Toll Free (84 8701 N. Mopac Austin, TX 787 RM REGISTRATIO | | s.com |
|-------|-------|-----------|-----------------|--------------------------------------------------------------------|---------|----------|
| PR | OPOS | ED PE | DEST | RIAN | SHED (1 | /4 MILE) |
| ESIGN | DRAWN | DATE | SCALE | NOTES | FILE | NO. |
| NP | NP | 5/31/2023 | 1"=500' | | | EXHB |





ARCHITECT: GARY G. WOOD #12202 PRELIMINARY - NOT TO BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION DATE: 10 JUL 23 Item 3D.



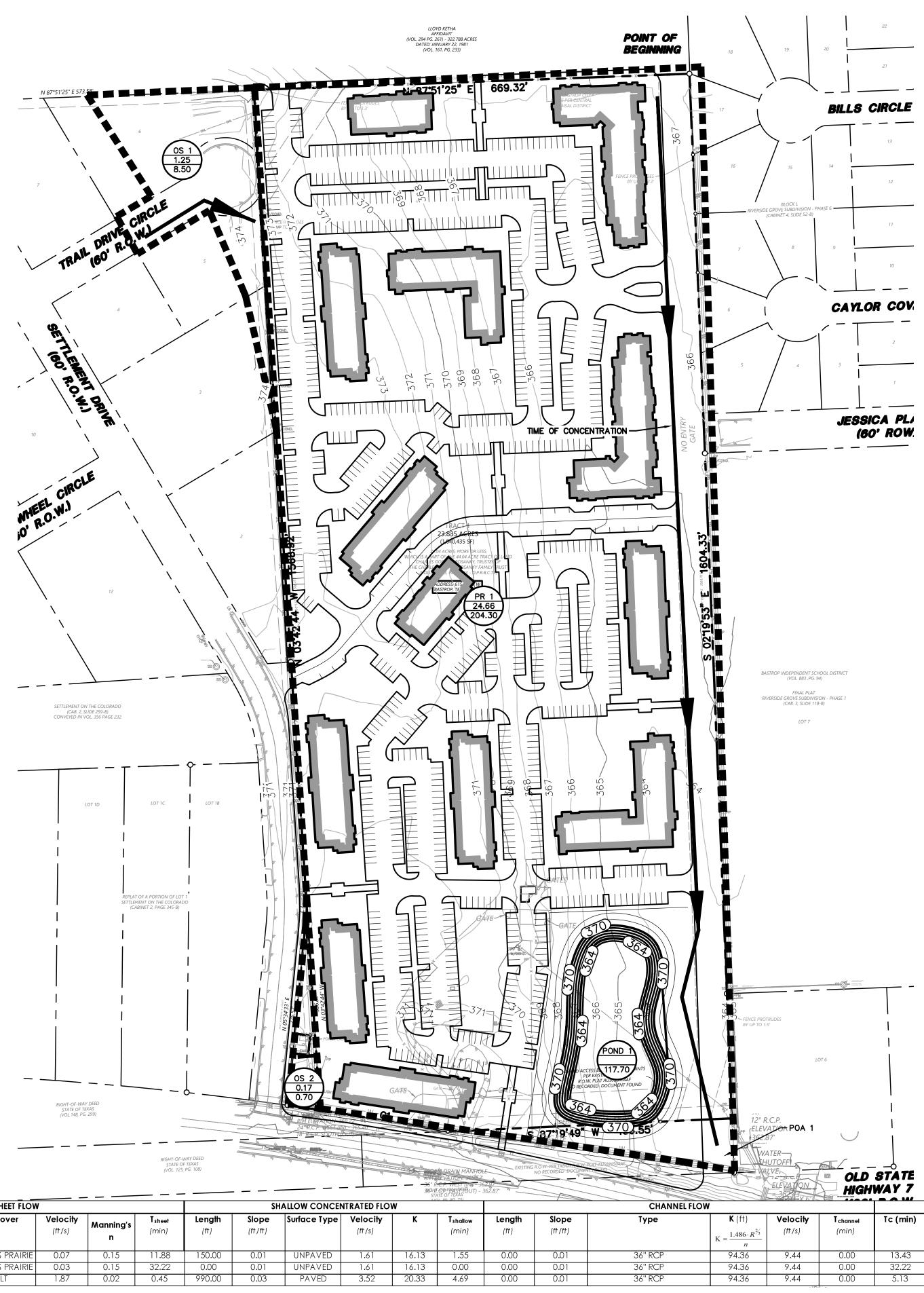


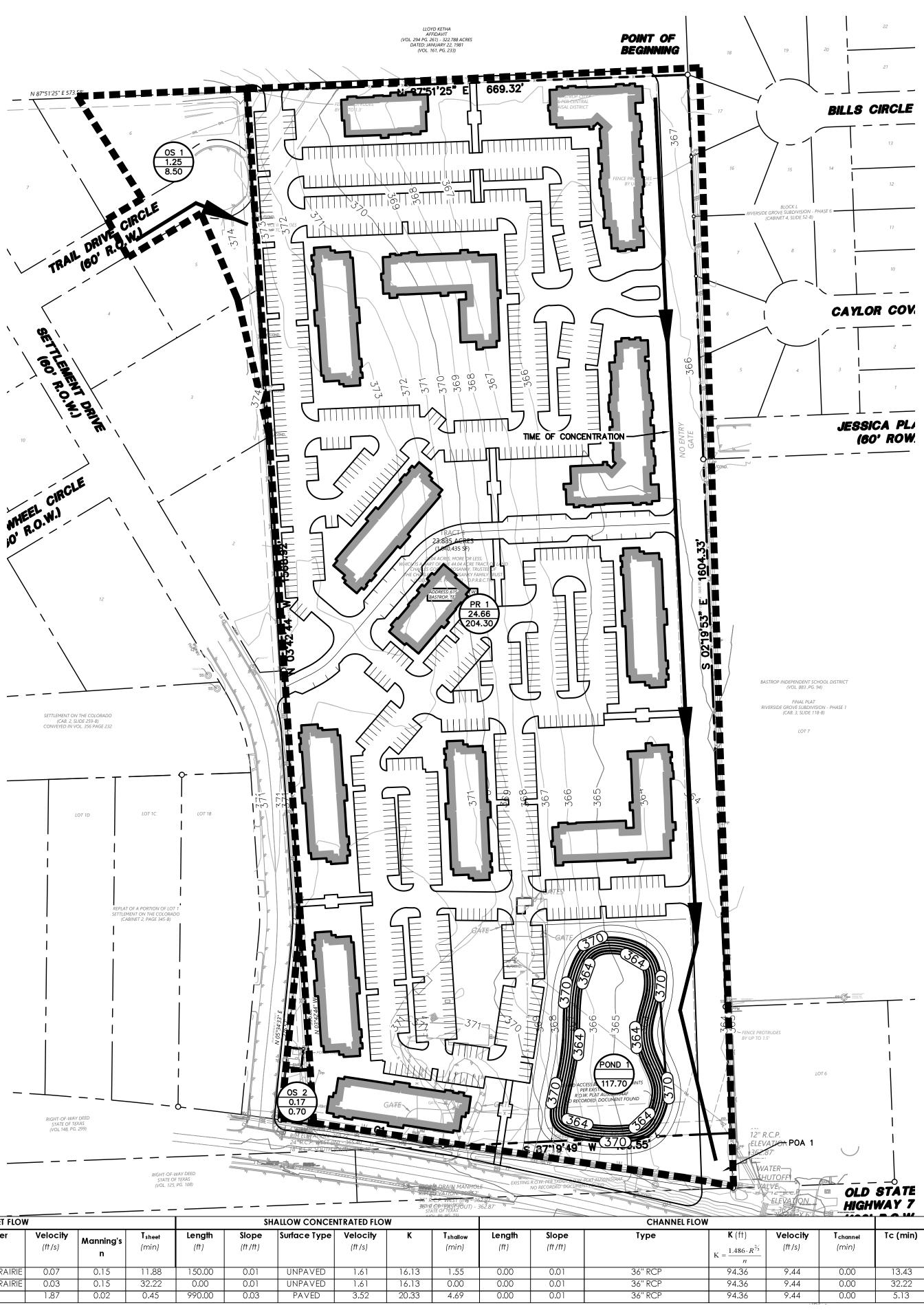
| | | | SHEET FLOW | | | | | | | |
|--------------------|-----------------|-----------------|----------------|------------------|---------------------|--------------------|----------------|-------------------------|----------------|--|
| DRAINAGE NUMBER | INLET NUMBER | AREA (acres) | Length (ft) | Slope (ft/ft) | Surface Cover | Velocity (ft/s) | Manning's n | T sheet (min) | Length (f†) | |
| OS 1 | OS 1 | 1.25 | 50.00 | 0.01 | SHORT GRASS PRAIRIE | 0.07 | 0.15 | 11.88 | 150.00 | |
| OS 2 | OS 2 | 0.17 | 50.00 | 0.01 | SHORT GRASS PRAIRIE | 0.03 | 0.15 | 32.22 | 0.00 | |
| EX 1 | EX 1 | 24.66 | 50.00 | 0.01 | SHORT GRASS PRAIRIE | 0.31 | 0.15 | 2.67 | 990.00 | |

HEC-HMS SUMMARY: EXISTING CONDITONS 2 YEAR STORM **10 YEAR STORM** Runoff Per Routed Runoff Per Routed Drainage Drainage Cumulative Cumulative Area Basin 🛛 Drainage 🛛 Base Curve Drainage Impervious Designation Number CN Lag Time Cover Area Runoff Area Runoff Area (ac) (min) % (cfs) (cfs) (cfs) (cfs) OS 1 2.50 1.25 61 8.06 34.64% 5.50 OS 1 1.25 0.00% 0.10 0.40 19.33 61 86.20 1.32% EX 1 24.66 5.15 27.40 61 POA 1 86.20 27.40

| 25 YEAR | STORM | 100 YEAR STORM | | | | |
|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--|--|--|
| Runoff Per Drainage Area | Routed Cumulative Runoff | Runoff Per Drainage Area | Routed Cumulative Runoff | | | |
| (cfs) | (cfs) | (cfs) | (cfs) | | | |
| 6.10 | | 8.50 | | | | |
| 0.50 | | 0.70 | | | | |
| 103.80 | | 157.90 | | | | |
| 103.80 | | 157.90 | | | | |

| 0 50 100 200 300 GRAPHIC SCALE IN FEET 1"=100" GRAPHIC SCALE IN FEET 1"=100" B. BOLLARD EM@ ELECTRIC METER PP POWER POLE LIGHT STANDARD WMO WATER METER WV@ WATER METER WV@ IRRIGATION CONTROL VALVE FHC FIRE HYDRANT CG CLEANOUT MHO MANHOLE TSC- TRAFFIC SIGNAL CONTROL TSC- TRAFFIC SIGNAL POLE TSC- TRAFFIC SIGNAL POLE TSC- TRAFFIC SIGNAL POLE TSC- TRAFFIC SIGNAL POLE TSC- TRAFFIC SIGNAL CONTROL TAFFIC SIGNAL CONTROL TRAFFIC SIGN MHO TRAFFIC SIGN TRAFFIC SIGN PROPERTY LINE FENCE FENCE GIAINAGE FLOW DIRECTION DRAINAGE FLOW DIRECTION | BY Medge for an and a straight of a stra |
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| DRAINAGE FLOW DIRECTION 100-YR FLOODPLAIN LIMITS DRAINAGE DIVIDE EX 8 1.00 7.99 EX 8 0.00 1.00 7.99 EX 8 1.00 1.00 7.99 EX 8 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1.00 < | NO. DATE REVISIONS NO. DATE DESCRIPTION E |
| | REED RANCH 615 SH 71 W BASTROP TX, 78602 EXISTING DRAINAGE AREA MAP |
| | PRELIMINARY NOT FOR CONSTRUCTION THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES. PLANS PREPARED UNDER THE DIRECT SUPERVISION OF HOLLIS ANN SCHEFTLER, P.E. TEXAS REGISTRATION NO. 136049. DATE: xx/xx/xxxx |

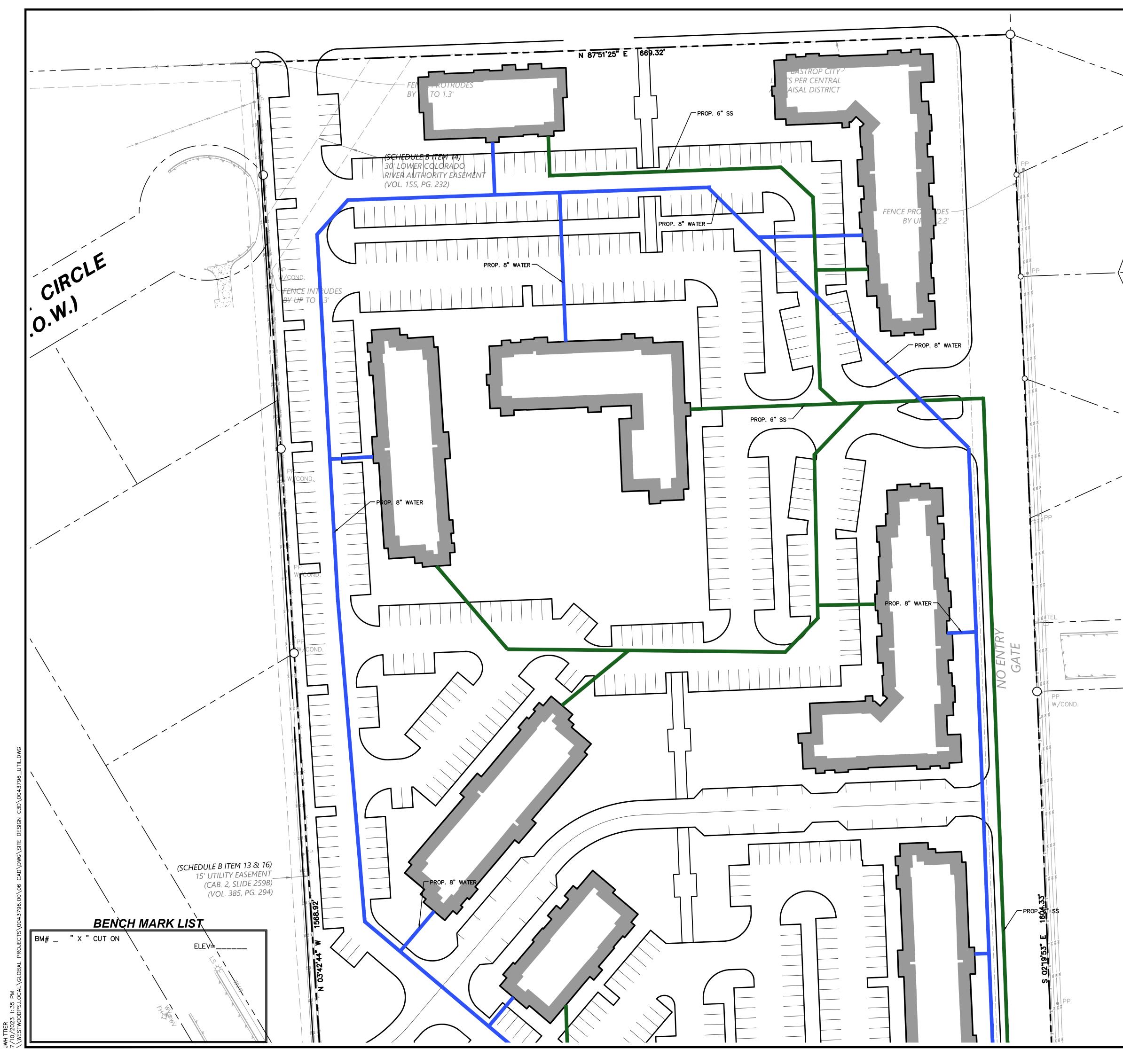




| | | | SHEET FLOW | | | | | | |
|--------------------|-----------------|-----------------|----------------|------------------|---------------------|---------------------------|----------------|-----------------------------|----------------|
| DRAINAGE NUMBER | INLET NUMBER | AREA (acres) | Length (ft) | Slope (ft/ft) | Surface Cover | Velocity (ft/s) | Manning's n | T _{sheet} (min) | Length (ft) |
| OS 1 | OS 1 | 1.25 | 50.00 | 0.01 | SHORT GRASS PRAIRIE | 0.07 | 0.15 | 11.88 | 150.00 |
| OS 2 | OS 2 | 0.17 | 50.00 | 0.01 | SHORT GRASS PRAIRIE | 0.03 | 0.15 | 32.22 | 0.00 |
| PR 1 | PR 1 | 24.66 | 50.00 | 0.01 | ASPHALT | 1.87 | 0.02 | 0.45 | 990.00 |

| | | | | | | 2 YEAR | STORM | 10 YEAF | R STORM | 25 YEAI | RSTORM | 100 YEA | RSTORM |
|---------------------------------------|--------------------------|-------------------------|-------------------|----------------------------|--------------------------|-----------------------------------------|-----------------------------------------|-----------------------------------------|-----------------------------------------|-----------------------------------------|-----------------------------------------|-----------------------------------------|-----------------------------------------|
| Drainage Area Basin Designation | Drainage Area (ac) | Base Curve Number CN | Lag Time (min) | Cumulative Area (ac) | Impervious Cover % | Runoff Per Drainage Area (cfs) | Routed Cumulative Runoff (cfs) |
| OS 1 | 1.25 | 61 | 8.06 | 34.64 | /0 | 2.50 | (015) | 5.50 | | 6.10 | (015) | 8.50 | |
| OS 2 | 0.17 | 61 | 19.33 | 0.00 | | 0.10 | | 0.40 | | 0.50 | | 0.70 | |
| PR 1 | 24.66 | 61 | 3.08 | 62.90 | | 78.00 | | 149.00 | | 155.70 | | 204.30 | |
| POND 1 | | | | | | | 27.20 | | 82.50 | | 91.00 | | 117.70 |
| POA 1 | | | | | | 27.20 | | 82.50 | | 91.00 | | 117.70 | |

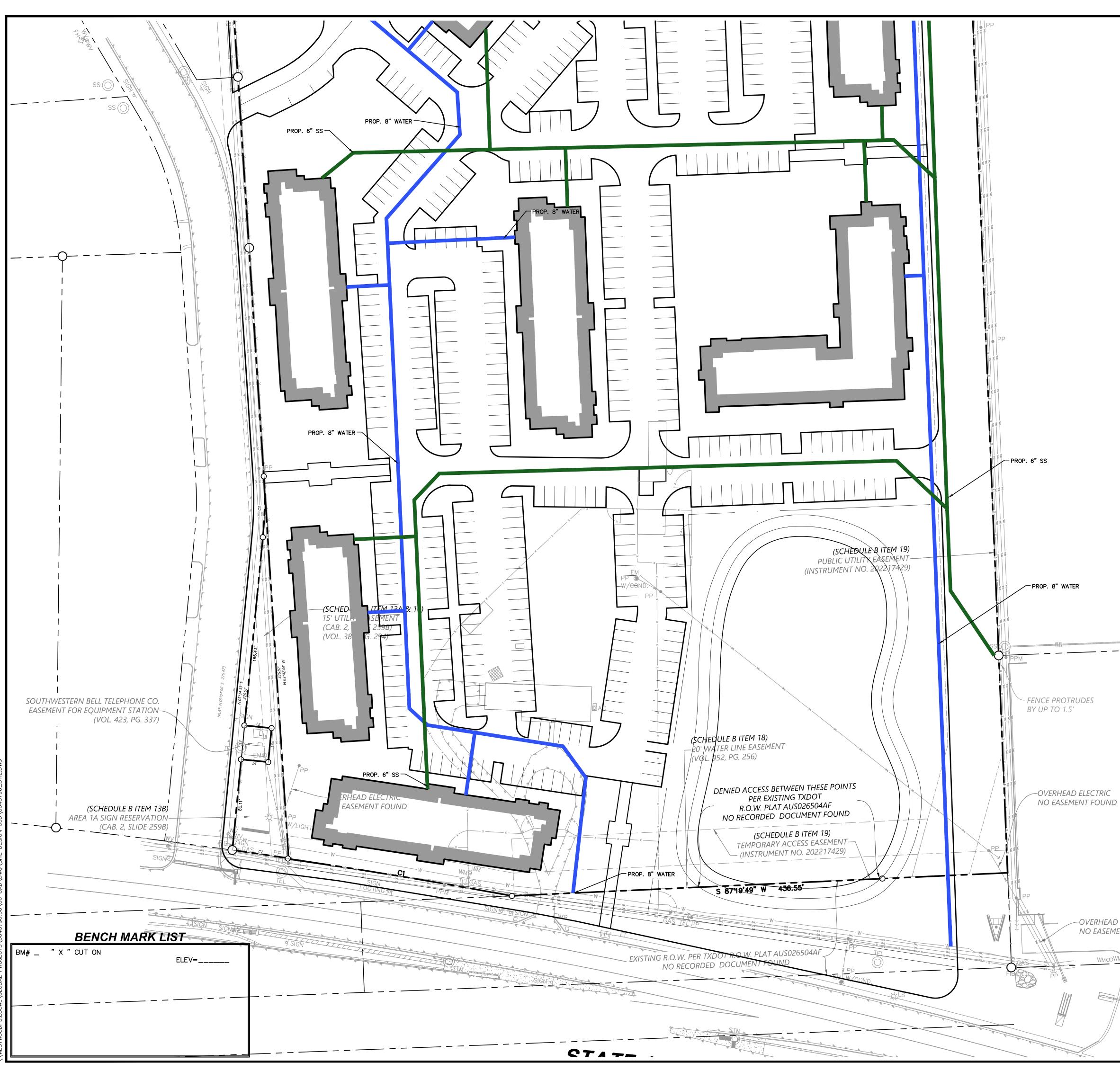
| 0 50 100 200 300 GRAPHIC SCALE IN FEET 1"=100" Image: Scale In Feet 1"Image: Scale In Feet Image: | BY Phone [512] 485-0831 8701 N. Mopac Expy, Suite 320 Phone (512) 485-0831 8701 N. Mopac Expy, Suite 320 TollFree (888) 937-5150 Austin, TX 78759 westwoodps.com westwoodps.com Westwood Professional Services, Inc. TBPLS FIRM REGISTRATION NO. LS-100080-00 |). |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| 7.99 Q100 IN CUBIC FEET PER SECOND | NO. DATE REVISIONS DESCRIPTION | |
| | REED RANCH 615 SH 71 W BASTROP TX, 78602 PROPOSED DRAINAGE AREA MAP | |
| | Design Design Image: Design Design | |



| 0 20 40 80 120 GRAPHIC SCALE IN FEET T=40 GRAPHIC SCALE IN FEET T=40 GRAPHIC SCALE IN FEET T=40 D B. BOLLARD EMO ELECTRIC METER PPOWER POLE LIGHT STANDARD WMO WATER WATER WWO WATER WATER WWO WATER METER WWO WATER MATER GO CLEANOUT MHO MANHOLE TSC TRAFFIC SIGNAL CONTROL TSC TRAFFIC SIGNAL CONTROL MHO MANHOLE TSC TRAFFIC SIGNAL CONTROL TELE TELEPHONE BOX XX FLOOD LIGHT Fr. FLOOD LIGHT SIGN TRAFFIC SIGN ROD WY TRAFFIC SIGN ROD WX TRAFFIC SIGN ROD WX TRAFFIC SIGN ROD WX TRAFFIC SIGN ROD <td< th=""><th></th><th></th><th>Phone (512) 485-0831 8701 N. Mopac Expy, Suite 320 Toll Free (888) 937-5150 Austin, TX 78759 westwoodps.com</th><th>Westwood Professional Services, Inc. TBPE FIRM REGISTRATION NO. F-469 TBPLS FIRM REGISTRATION NO. LS-100080-00</th></td<> | | | Phone (512) 485-0831 8701 N. Mopac Expy, Suite 320 Toll Free (888) 937-5150 Austin, TX 78759 westwoodps.com | Westwood Professional Services, Inc. TBPE FIRM REGISTRATION NO. F-469 TBPLS FIRM REGISTRATION NO. LS-100080-00 |
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| ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPARTARY SEWER MAINFOLE PROTECTION PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC SERVICES. AND LATERALS ARE INSTALLED, THE SHING PVC DE FINISHED GRADE, UNLESS OTHERWISE NOTED. SANITARY SEWER AMAINS, SERVICES, AND LATERALS ARE INSTALLED, THE SHALL BE PVC SERVICE AND SECTION (d) SEPARATION DISTANCES. 6.B. TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION | REVISIONS | NO. DATE DESCRIPTION BY | | |
| SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS. ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS. THE UTLITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FILE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTLITY CONTRACTOR AND TED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS." 11. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFTIC AREAS. 12. TIENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NOTCOG ITEM 504.2 AND SHALL BE LOCATED IN NON-TRAFTIC AREAS. 12. TIENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NOTCOG ITEM 504.2 AND SHALL BE MECHANICALLY CONPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NOTCOG ITEM 504.2 NOT SPECIFICATIONS. 13. EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NOTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS. 14. VALVE BOXES SHOUND ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS. 14. VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTLITY CONTRACTOR SHALL POUR A 24*324*0C CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE. 14. VALVE BOXES THAULGHMENT HAS BEEN COMPLETED. THE UTLITY CONTRACTOR SHALL PLOYN A 24*324*0C CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE. | REED RANCH | | BASTROP TX, 78602 | UTILITY PLAN 1 OF 2 |
| | DESI JD SHE | | DRAWN CAH | DATE JULY 2023 |

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| B. BOLLARD B. BOLLARD EMO C. CLEAND WO WATER METER WW WATER METER | Wotwood | | Phone (512) 485-0831 8701 N. Mopac Expy, Suite 320 Toll Free (888) 937-5150 Austin, TX 78759 westwoodps.com | | TBPLS FIRM REGISTRATION NO. LS-100080-00 |
| IRS W/"PACHECO KOCH" CAP SET (C.M.) CONTROLLING MONUMENT PROPERTY LINE FENCE | | ВY | | | |
| ATER & SANITARY SEWER GENERAL NOTES ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR. WATER MAINS SHALL BE PVC SOR-35. WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL APPLY: 6.A. TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATE TRENCHES. WHERE THEN INKE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY: 6.A. TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATE TRENCHES. WHERE THEN INKE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY: 6.A. TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATE TRENCHES. WHERE THEY SHALL APPLY: 6.A. TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATE TRENCHES. WHERE THEY SHALL APPLY: 6.A. TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONTRACTOR SHALL TE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF S | REVISIONS | NO. DATE DESCRIPTION | | | |
| ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS. THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS." ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS. TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS. EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS. VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"X24"X6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE. CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE. | REED RANCH | Ū L | пе с ROP 1 | LITY PLAN 2 OF 2 | |

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Exhibit C – Warrant List

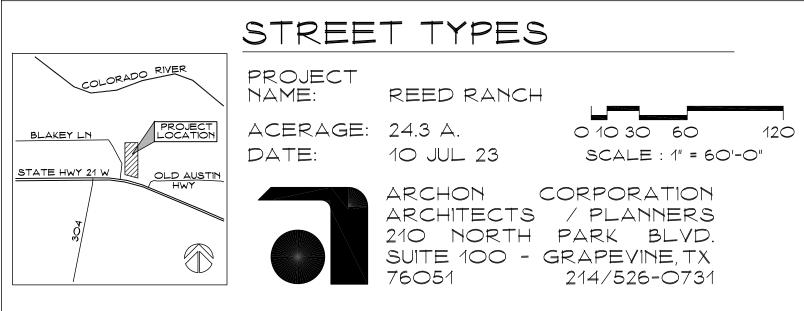
| B3 Code Section | Description | Development Issue | Proposed Alternative & Reasoning |
|--------------------|-----------------------------------------------------------------------------------|------------------------------------|-------------------------------------|
| 7.1.002(k) | To prevent future conflicts regarding Street | Dedication requirement does not | Allowing for streets to be |
| 7.1.002(R) | maintenance, private Streets are prohibited, except | permit developer to manage and | privately owned, managed, and |
| | where justified by special considerations. | maintain streets. | maintained is fiscally sustainable. |
| 7.2.003 | | maintain streets. | |
| | Street right-of-way must be dedicated Traffic Lanes: Two lanes at 10 feet each | Compluing with booth (cofety) | Dermitting 12 F' lance such that |
| 7.3.004 | ITAILIC Laries. Two laries at 10 leet each | Complying with health/safety | Permitting 12.5' lanes such that |
| | | codes requires lanes to be wider. | the street can meet fire lane |
| | Parking Lanes: Both sides parallel at 8 feet, marked | Only namellal marking data mat | requirements meets the intent of |
| | | Only parallel parking does not | the code and is fiscally |
| | | allow for a financially feasible | sustainable. Allowing for head-in |
| | | amount of parking spaces. | parking to be 18' is fiscally |
| 7 5 000(1) | | | sustainable. |
| 7.5.002(d) | Storm Drainage Facilities, if equipped to provide Civic | Drainage requires a large portion | An amenitized wet pond with a |
| | Space, may be counted toward the 10% Civic Place | of the project to be a pond. Not | trail meets the intent of code, is |
| | Type allocations requirement by warrant. | allocating this space toward the | fiscally sustainable, and |
| | | Civic Space requirement makes | authentically Bastrop. |
| | | project fiscally infeasible. | |
| 7.1.002(h) | Dead-end Streets must be avoided. | Proposed design does not show | For avoidance of doubt, internal |
| | | dead-end streets. Rather, internal | drives culminating into 20' |
| | | drives culminate into left and | walkway easement places as |
| | | right parking aisles for buildings | generally shown in the |
| | | or walkway plazas in line with | Conceptual PD Master Plan |
| | | 5.2.002(d). | meets the intent of code. |
| 5.2.002 | Preferred block size is 330' by 330'and max block | Drainage block is large due to odd | Allowing for a single larger block |
| | perimeter of 1,320' | shape of site and need for a large | complies with intent of code. |
| | | pond. | |
| | | | Permitting private drives as |
| | | Treating private | shown on the Conceptual PD |
| | | streets/driveways as block | Master Plan is fiscally sustainable |
| | | boundaries for this measurement | and meets the intent of code. |
| | | results in an urban fabric of slow | |

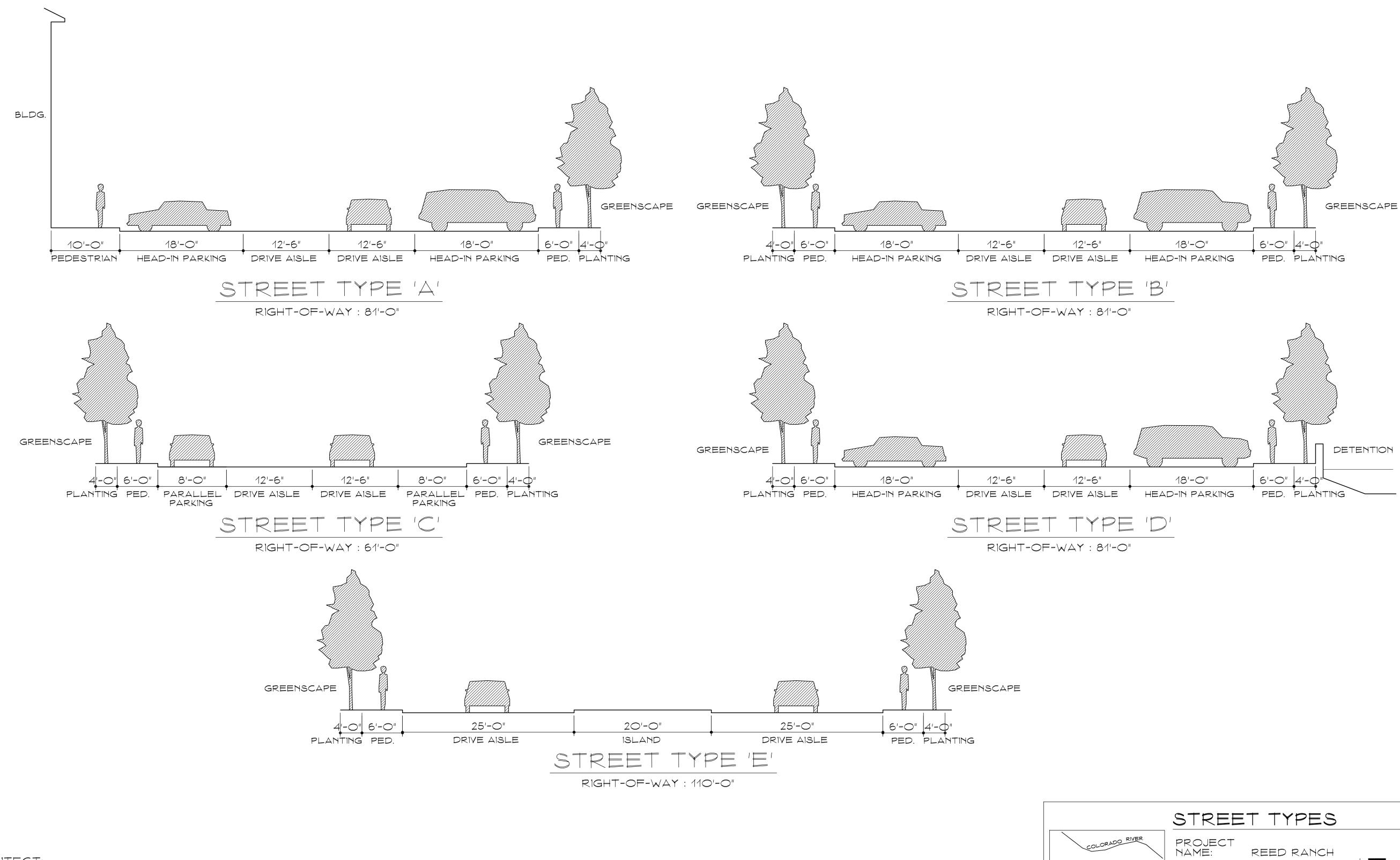
| | | streets, with the plazas acting as | |
|------------|-------------------------------------------------------|-------------------------------------|------------------------------------|
| | | traffic calming devices. | |
| 5.2.002(f) | In the P4 Mix, a minimum Residential mix of three | Proposed design elects only | As the project is unlikely to move |
| | Building Types (not less than 20%) shall be required. | apartment buildings with | forward if a variety of building |
| | | amenity and civic spaces. A | types are required, allowing for a |
| | | variety of building types is not | warrant is fiscally sustainable. |
| | | fiscally sustainable. | |
| 6.5.003 | -70 percent max lot coverage; | Conceptual PD Master Plan | Permitting lot occupation as |
| | -60% minimum buildout at build-to-line; | generally meets build-to-line | shown in Conceptual PD Master |
| | -Build-to-line is 5-15 ft | requirements of P4 but may not | Plan is fiscally sustainable. |
| | | meet all façade buildout or lot | |
| | | coverage requirements. | |
| | | Specifically, the 60% buildout line | |
| | | is doable along the publicly | |
| | | dedicated streets but not interior | |
| | | privately owned and maintained | |
| | | streets. | |
| 7.5.002 | Plazas not permitted in P4 and require a minimum | Walkway/paseos as shown on | Allowing warrant meets the |
| | size of ½ acres. | Conceptual PD Master Plan allow | intent of code in that it improves |
| | | for improved site | walkability. |
| | | design/walkability. | |



ARCHITECT: GARY G. WOOD #12202 PRELIMINARY - NOT TO BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION DATE: 10 JUL 23

Item 3D.





ARCHITECT: GARY G. WOOD #12202 PRELIMINARY - NOT TO BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION DATE: 10 JUL 23

