

Bastrop Planning and Zoning Commission Agenda

Bastrop City Hall City Council Chambers
1311 Chestnut Street
Bastrop, TX 78602
(512) 332-8800



July 25, 2024

Agenda - Planning and Zoning Commission at 6:00 PM

Bastrop Planning and Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

1. **CALL TO ORDER**

2. **CITIZEN COMMENTS**

At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Manager for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Board/Commission to allow a member of the public to slur the performance, honesty and/or integrity of the Board/Commission, as a body, or any member or members of the Board/Commission individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Board/Commission and/or any person in the Board/Commission's presence will not be tolerated.

3. **ITEMS FOR INDIVIDUAL CONSIDERATION**

3A. Consider action to approve meeting minutes from the March 28, 2024, Planning and Zoning Commission Meeting.

Submitted by: Alondra Macias, Development Services Planner I

3B. Consider action to approve Valverde Amenity Center Final Plat, being 3.554 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

3C. Consider action to approve Burleson Crossing East Final Plat, being 19.81 acres situated in the Nancy Blakey Survey, Abstract No. 98, located on the northeast corner of State Highway 71 and Edward Burleson Drive, within the city limits of Bastrop, Texas, as shown in Attachment 1.

Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

3D. Consider action to approve the vacation of The Colony MUD 1D, Section 2 Final Plat, being 28.673 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

3E. Consider action to approve the vacation of The Colony MUD 1D, Section 3 Final Plat, being 25.419 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

3F. Consider action to approve The Colony MUD 1F, Section 2 Final Plat, being 32.250 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

3G. Consider action to approve The Colony MUD 1F, Section 3 Final Plat, being 51.850 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

4. **ADJOURNMENT**

4A. Future development related items

4B. Development Services Department Monthly Project Volume Report.

4C. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).

5. **ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, www.cityofbastrop.org and said Notice was posted on the

following date and time: June 17th, 2024 at 4:00 p.m. and remained posted for at least two hours after said meeting was convened.

 /s/*Kennedy Higgins*
Kennedy Higgins, Senior Planner, Development Services Department



Planning and Zoning STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve meeting minutes from the May 30, 2024, Planning and Zoning Commission Meeting.

AGENDA ITEM SUBMITTED BY:

Alondra Macias, Development Services Planner I

ATTACHMENTS:

- Meeting Minutes from May 30, 2024

PLANNING & ZONING SPECIAL MEETING
MEETING MINUTES
May 30, 2024, at 6:00 P.M.

The City of Bastrop Planning and Zoning Commission met Thursday, May 30, 2024, at 6:00 PM in the Council Chambers located at 1311 Chestnut Street, Bastrop, Texas 78602.

1. CALL TO ORDER

Chairman Ishmael Harris called the meeting to order at 6:00 pm.

Ishmael Harris	Present	
David Barrow	Absent	
Ashleigh Henson	Absent	
Gary Moss	Present	
Jordan Scott	Present	Arrived at 6:01
Patrice Parsons	Present	
Keith Ahlborn	Present	
Joshua Bingaman	Present	

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider action to approve meeting minutes from the May 9, 2024, Planning and Zoning Commission Meeting.

Commissioner Gary Moss made a motion to approve the meeting minutes from the May 9, 2024, Planning and Zoning Commission Meeting. Commissioner Patrice Parsons seconded the motion. The motion passed unanimously.

4. WORKSHOP

- 4A. Planning and Zoning Workshop Training

Rezzin Pullum from Bojorquez Law Firm presented the training to the Planning and Zoning Commission discussing the roles, codes, and resources available for the board.

5. ADJOURNMENT

Commissioner Gary Moss made a motion to adjourn the meeting at 7:49 p.m. Commissioner Patrice Parsons seconded the motion. The motion passed unanimously.

Ishmael Harris, Chair

David Barrow, Vice-Chair



STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve Valverde Amenity Center Final Plat, being 3.554 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

AGENDA ITEM SUBMITTED BY:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: West of FM 969, North of SH 71 (Attachment 2)
 Property ID: 3.554 acres out of 8720280
 Total Acreage: 3.554 +/-
 Legal Description: 3.554 +/- acres out of the Nancy Blakey Survey Abstract Number 98

Property Owner: Continental Homes of Texas, LP
 Agent Contact: Megan Reynolds, BGE, Inc.

Existing Use: Vacant/Undeveloped
 Existing Zoning: Open Space
 Adopted Plan: Valverde Development Agreement, Approved July 13, 2021
 Future Land Use: Neighborhood Residential

BACKGROUND/HISTORY:

The final plat application, Valverde Amenity Center Subdivision, is a one lot subdivision for open space use. All public water and wastewater services will be provided per the Valverde Public Improvement Plan Phase 1 onto this project site. The site is currently vacant and will be developed as an amenity center for open space use. The development consists of streets, drainage, water, wastewater, and utility infrastructure extensions. The final plat is associated with the approved Viridian Development Agreement, Public Improvement Plans, and Final Drainage Plans for these phases of the development.

The final plat follows the standards adopted in the Viridian Development Agreement.

Infrastructure	Available (Y/N)	Proposed
Water	Y	Line Extensions
Wastewater	Y	Line Extensions
Drainage	Y	Storm Sewer to Detention Pond
Transportation	Y	Construction of new internal streets
Parks and Open Space	Y	Amenity Center

Traffic Impact and Streets

From FM 969 the main access for the amenity center lot of Valverde will be Boca Chica Street, a 60' ROW street. There are two entrances/exits into the Valverde Amenity Center, one through Salcedo Street and one through Boca Chica Street. The internal streets are 55.5' in width and include parallel street parking. All streets and alleys are proposed to be for public use. Sidewalks will also be built within the development along the public streets.

Utilities

Water service (domestic and fire) will be provided by the City of Bastrop via water line extensions provided by the developer from the existing water tank on the south side of SH 71 on FM 20. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements.

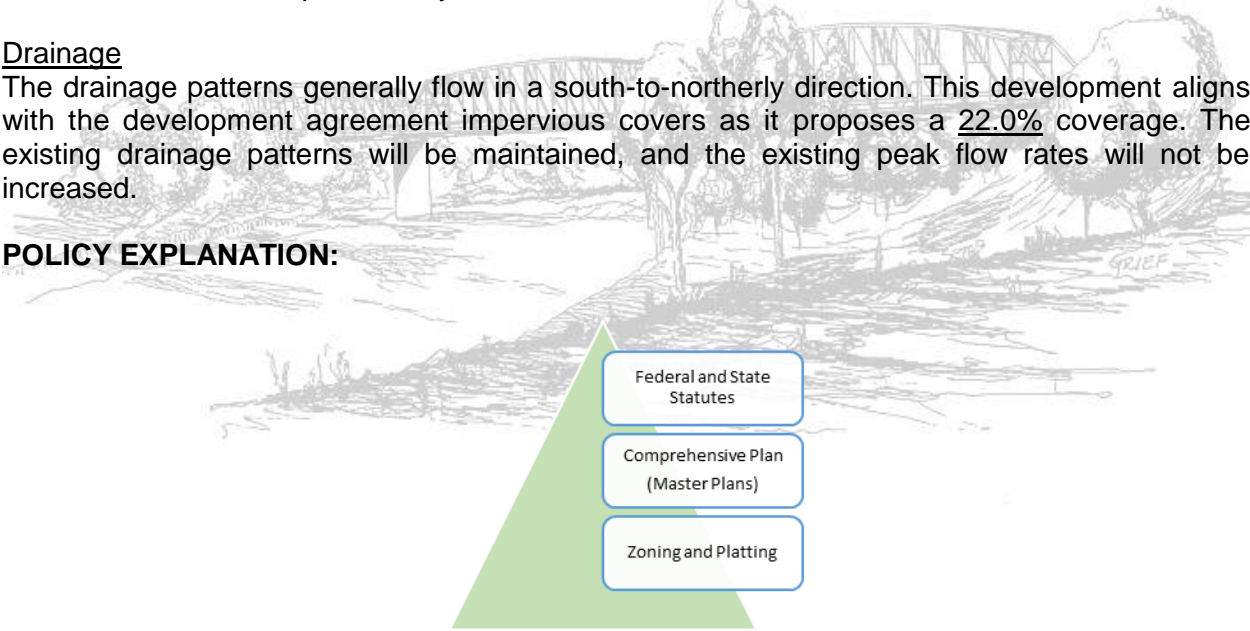
Wastewater collection and treatment will also be provided by the City of Bastrop via a line extension being installed parallel to FM 969 from an existing 24-in line by Bear Huner Drive.

Electric Service will be provided by Bluebonnet Electric.

Drainage

The drainage patterns generally flow in a south-to-northerly direction. This development aligns with the development agreement impervious covers as it proposes a 22.0% coverage. The existing drainage patterns will be maintained, and the existing peak flow rates will not be increased.

POLICY EXPLANATION:



Final Plats are reviewed and approved by the Planning & Zoning Commission.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits.

Section 212.004 Plat Required

- (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended by the owner of the tract to be dedicated to public use must have a plat of the subdivision prepared. A division of a tract under this subsection includes a division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or in a contract for a deed, by using a contract of sale or other executory contract to convey, or by using any other method. A division of land under this subsection does not include a division of land into parts greater than five acres, where each part has access, and no public improvement is being dedicated.

The applicant has proposed subdividing an undeveloped 3.554 acres of land to an amenity center lot.

Section 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities.

It conforms with the general plan of open space within a neighborhood.

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities.

It conforms to the general plan of the extension of lines.

- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee has been provided for the construction and maintenance of the street improvements before any final plats can be recorded.

- (4) it conforms to any rules adopted under Section [212.002](#).

The final plat complies with the requirements of the adopted B³ Code and Viridian Development Agreement.

Compliance with 2036 Comprehensive Plan:

The Neighborhood Residential character area is for single family residential subdivision development, associated amenities such as parks, trails, open spaces, and public uses such as schools, fire stations, and more. Although individual developments may exhibit common features including home size, lot size, setbacks, impervious surface coverage, etc., the character area supports variations of these spatial and aesthetics characteristics, subject to appropriate transitions in form, scale, and density between blocks or adjacent developments. In some instances, transitions between developments and adjacent character areas may include higher density housing types or neighborhood oriented commercial uses of limited scale.

The development of this lot will be for an amenity center that will allow for that open space and park area for the residents in the Valverde subdivision.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Development Agreement with Valverde that allows the city to agree to specific land uses and development standards. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

This lot will be used as an amenity center for the neighborhood and open space for the residents to be able to go to. It follows the Viridian Development agreement's land use and development standards.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.004 Plat Requirements

The Development Review Committee reviewed the Final Plat for Valverde Amenity Center Subdivision for compliance with subdivision and development agreement standards on June 27, 2024, and deemed the plat administratively complete. Staff recommends approval.

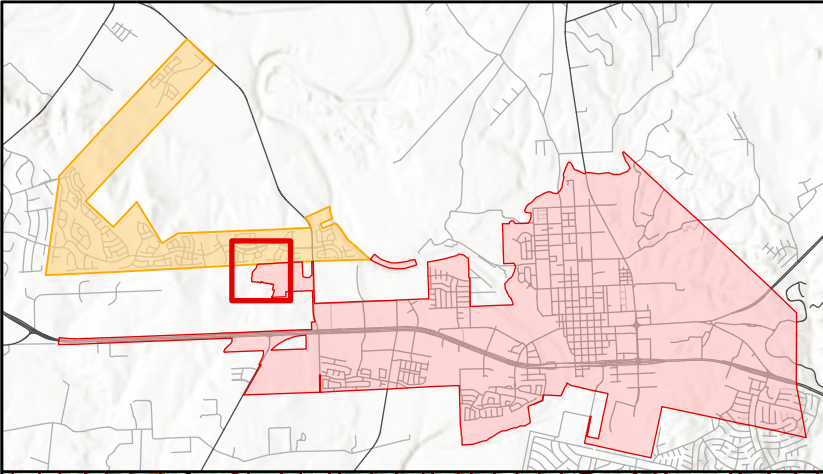
RECOMMENDATION:

Consider action to approve Valverde Amenity Center Subdivision Final Plat, being 3.554 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: Valverde Amenity Center Subdivision Final Plat
- Attachment 1: Valverde Amenity Center Location Map
- Attachment 2: Valverde Concept Plan

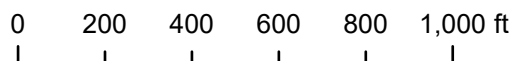
Attachment 1 Location Map



Scale 1:5,300



Valverde Section 1, Phase 3, Amenity Center Final Plat



Current Time: 6/28/2024 11:29 AM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced.

The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.

SUMMARY NOTES

OWNER:
CONTINENTAL HOMES OF TEXAS, LP
10700 PECAN PARK BLVD., 4TH FLOOR
AUSTIN, TEXAS 78750

ENGINEER:
BGE, INC. TBPE F-1046
1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TEXAS 78744
(512) 879-0400

SURVEYOR:
BGE, INC.
1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TEXAS 78744
(512) 879-0400

LEGAL DESCRIPTION:

VALVERDE SECTION 1, PHASE 3, BLOCK P, LOT 1 AMENITY CENTER 3.55 AC TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, SITUATED IN BASTROP COUNTY, TEXAS.

APPROVED BY

OWNER'S SIGNATURE BLOCK:

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

NAME OF OWNER/TRUSTEE	(OWNER'S AUTHORIZED AGENT)	DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

DIRECTOR OF PLANNING	DATE

CITY OF BASTROP ENGINEERING	DATE

CITY OF BASTROP FIRE DEPT.	DATE

BENCHMARK

- T.B.M."1" IS A MAG NAIL SET S 06° 38' 04" E, 217.4' FROM THE NE CORNER OF THE REMAINDER OF CALLED 410.599 ACRE TRACT (SUBJECT TRACT), AS SHOW HEREON. ELEV. 407.65' NAVD 88
- T.B.M."2" IS A CHISELED BOX IN CONCRETE HEADWALL MAG NAIL SET +/- 1,700' EAST OF THE INTERSECTION OF F.M. 969 AND THE TEXAS 71 FRONTAGE ROAD, AS SHOW HEREON. ELEV. 387.29' NAVD 88

SUBMITTED BY

I, BRIAN J. GRACE DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

Brian J. Grace
BRIAN J. GRACE, P.E.
BGE, INC TBPE NO. F-1046
1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TEXAS 78744
(512) 879-0400 (MAIN)

7/8/2024
DATE



THIS TRACT IS LOCATED WITHIN THE COLORADO RIVER WATERSHED.

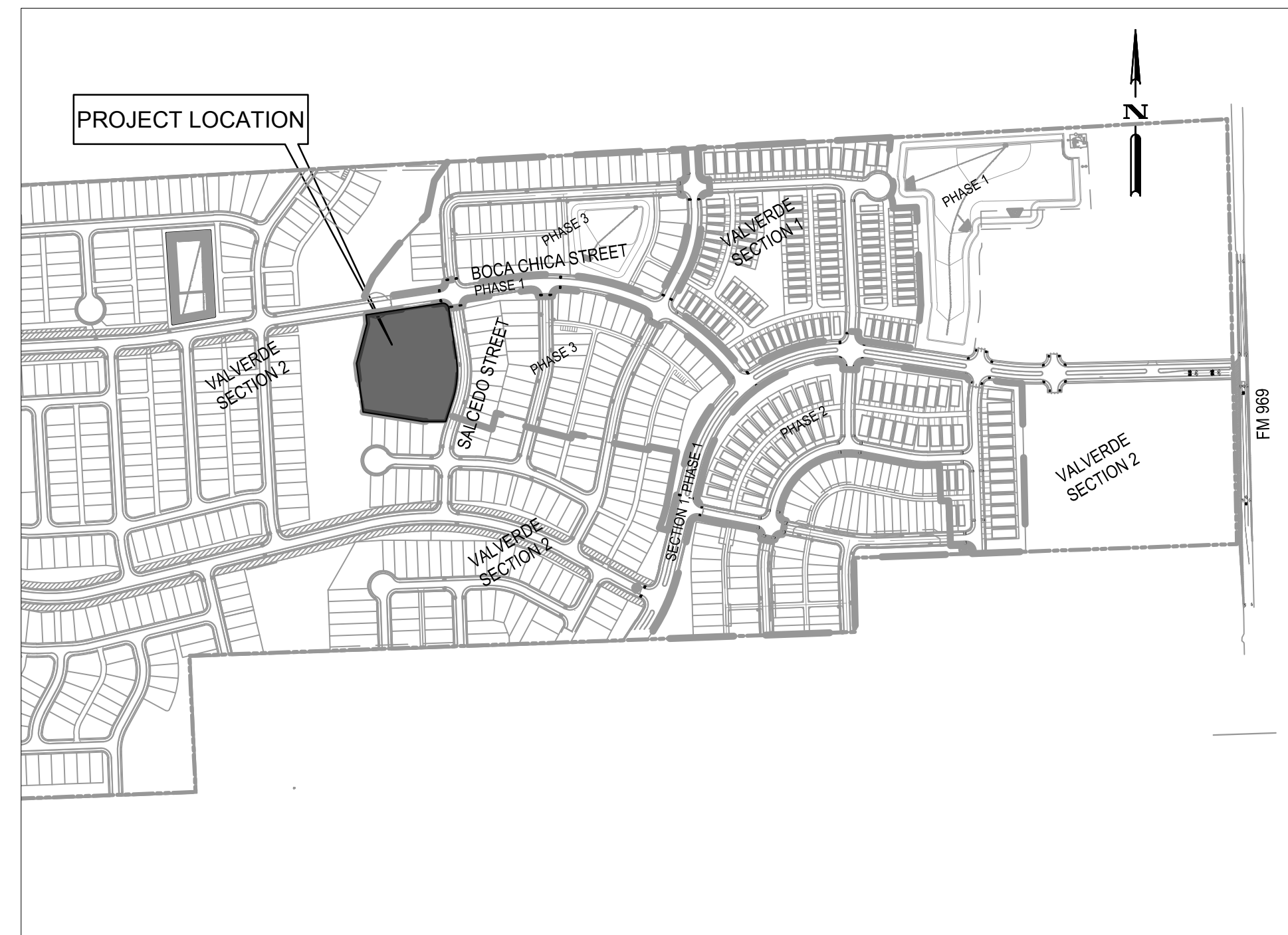
A PORTION OF THIS TRACT IS LOCATED WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 48021C0355F, BASTROP COUNTY, TEXAS, DATED: MAY 9, 2023.

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP COUNTY, TEXAS

SUBMITTAL DATE:
JULY 8TH, 2024

VICINITY MAP

SCALE: 1" = 500'



REVISIONS/CORRECTIONS					
SHEET LIST	DESCRIPTION	DATE	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	ACCEPTED BY	APPROVAL DATE

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	FINAL PLAT (1 OF 2)
3	FINAL PLAT (2 OF 2)
4	GENERAL NOTES (1 OF 2)
5	GENERAL NOTES (2 OF 2)
6	EXISTING CONDITION AND DEMOLITION PLAN
7	EROSION CONTROL PLAN
8	EROSION CONTROL DETAILS
9	OVERALL SITE PLAN
10	SITE DETAILS (1 OF 2)
11	SITE DETAILS (2 OF 2)
12	FIRE ACCESS AND CONTROL PLAN
13	OVERALL GRADING PLAN
14	WATER & WASTEWATER PLAN
15	WATER DETAILS (1 OF 2)
16	WATER DETAILS (2 OF 2)
17	WASTEWATER DETAILS (1 OF 3)
18	WASTEWATER DETAILS (2 OF 3)
19	WASTEWATER DETAILS (3 OF 3)
20	LANDSCAPING PLANS (1 OF 10)
21	LANDSCAPING PLANS (2 OF 10)
22	LANDSCAPING PLANS (3 OF 10)
23	LANDSCAPING PLANS (4 OF 10)
24	LANDSCAPING PLANS (5 OF 10)
25	LANDSCAPING PLANS (6 OF 10)
26	LANDSCAPING PLANS (7 OF 10)
27	LANDSCAPING PLANS (8 OF 10)
28	LANDSCAPING PLANS (9 OF 10)
29	LANDSCAPING PLANS (10 OF 10)

CODES BEING USED:
2018 IFC
CITY OF BASTROP B3 TECHNICAL MANUAL
CITY OF BASTROP STORMWATER DRAINAGE DESIGN MANUAL

BASTROP FIRE DEPARTMENT

FIRE DESIGN CODES	INTERNATIONAL FIRE CODE 2018 EDITION WITH ADOPTED APPENDICES
FIRE FLOW DEMAND @ 20 PSI (GPM)	1,500 GPM
INTENDED USE	AMENITY CENTER
CONSTRUCTION CLASSIFICATION	TYPE V-B
BUILDING FIRE AREA (S.F.)	CLUBHOUSE = 1,685 SF
AUTOMATIC FIRE SPRINKLER SYSTEM TYPE (IF APPLICABLE)	N/A
REDUCED FIRE FLOW DEMAND @ 20PSI FOR HAVING A SPRINKLER SYSTEM (GPM) (IF APPLICABLE)	N/A
AFD FIRE HYDRANT FLOW TEST DATE	7/1/2021
AFD FIRE HYDRANT FLOW TEST LOCATION	BLAKEY/DUFF
ALTERNATIVE METHOD OF COMPLIANCE AMOC (IF APPLICABLE)	N/A

- NOTE:
1. 8" PUBLIC WATER MAIN INSTALLATION PER VALVERDE PHASE 1 PUBLIC IMPROVEMENTS PLAN.



BGE, INC.
1701 Directors Blvd., Suite 1000
AUSTIN, TX 78744
TBPE Registration No. F-1046
TEL: 512-879-0400 www.bgeinc.com

DESIGNED BY: LS, MR

REVIEWED BY: IL

DRAWN BY: LS, MR



BROWN & GAY ENGINEERS, INC.
1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TX 78721
TYPE Registration No. F-1046
TEL: 512-979-4946 www.bgeinc.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
BASTROP, TEXAS

FINAL PLAT (1 OF 2)

METES AND BOUNDS DESCRIPTION

FIELD NOTES FOR A 3.554 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, IN BASTROP COUNTY, TEXAS; BEING OUT OF THE REMAINDER OF A CALLED 399.878 ACRE TRACT OF LAND AS CONVEYED UNTO CONTINENTAL HOMES OF TEXAS, L.P. IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS; SAID 3.554 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a 1/2-inch iron rod with cap stamped "5548" found at a southeasterly interior corner of said 399.878 acre tract, being the northwest corner of a called 10.01 acre tract of land as conveyed unto Esmeralda Vences-Maldonado and Fermin Vences-Maldonado in Document Number 201916372 of the Official Public Records of Bastrop County, Texas, THENCE, over and across said 399.878 acre tract, N 71° 29' 57" W, a distance of 1,684.84 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the southeast corner and POINT OF BEGINNING of the herein described tract;

THENCE, continuing over and across said 399.878 acre tract, N 90° 00' 00" W a distance of 88.16 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an angle point;

THENCE, continuing over and across said 399.878 acre tract, N 81° 06' 35" W a distance of 238.54 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the southwest corner of the herein described tract;

THENCE, continuing over and across said 399.878 acre tract, N 09° 33' 10" W a distance of 89.33 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an angle point;

THENCE, continuing over and across said 399.878 acre tract, N 06° 16' 41" W a distance of 103.52 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an angle point;

THENCE, continuing over and across said 399.878 acre tract, N 14° 35' 31" E a distance of 160.75 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for an angle point;

THENCE, continuing over and across said 399.878 acre tract, N 04° 59' 40" W a distance of 34.76 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature to the right;

THENCE, continuing over and across said 399.878 acre tract along said curve to the right with a radius of 25.00 feet, an arc length of 39.27 feet, a central angle of 90° 00' 00", a chord bearing of S 53° 36' 45" E, and a chord distance of 35.36 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

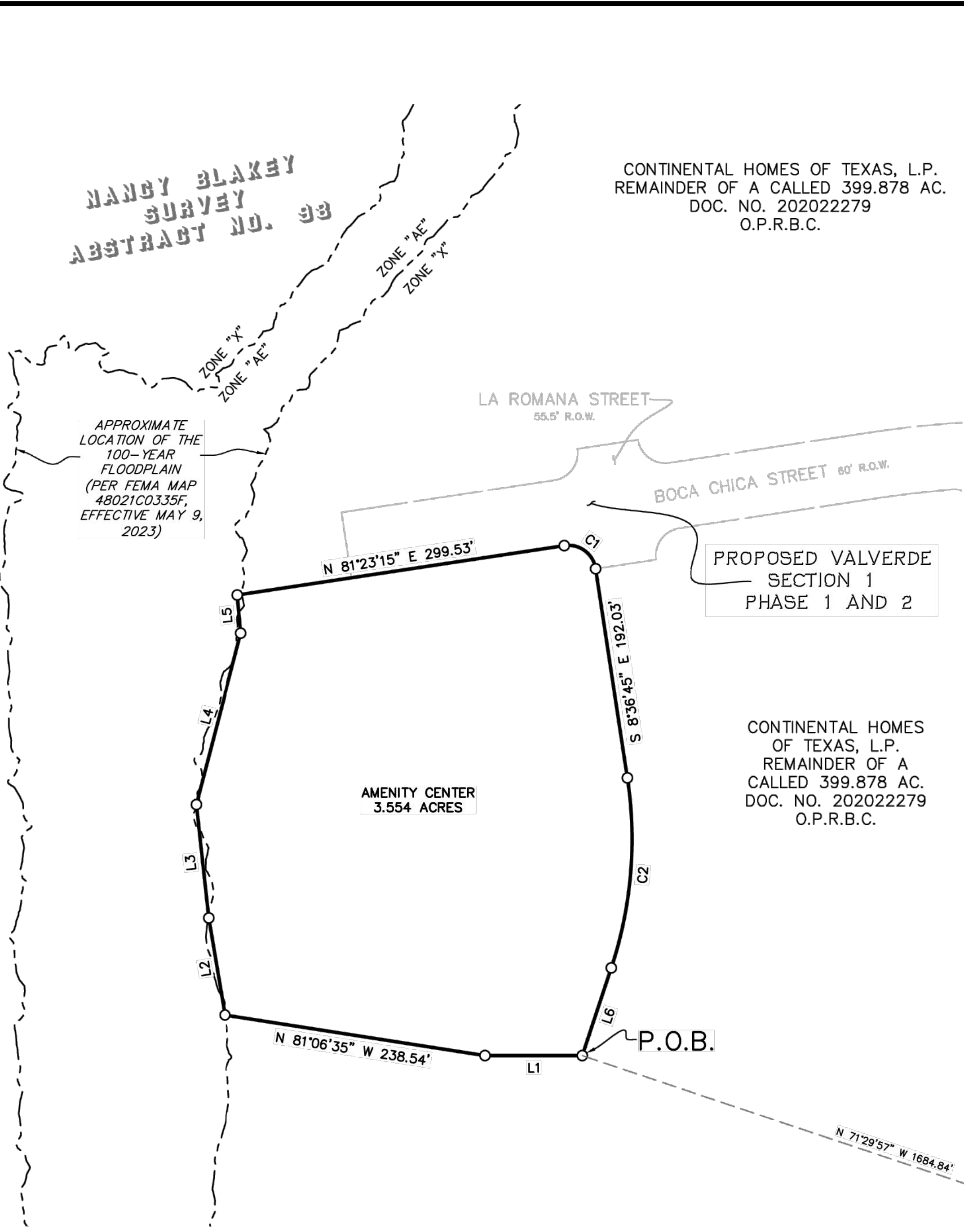
THENCE, continuing over and across said 399.878 acre tract, S 08° 36' 45" E a distance of 192.03 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for a point of curvature to the right;

THENCE, continuing over and across said 399.878 acre tract along said curve to the right with a radius of 372.25 feet, an arc length of 174.70 feet, a central angle of 26° 53' 23", a chord bearing of S 04° 49' 56" W, and a chord distance of 173.10 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set at a point of tangency;

THENCE, continuing over and across said 399.878 acre tract, S 18° 16' 38" W a distance of 83.80 feet to the POINT OF BEGINNING and containing 3.554 acres of land, more or less.



VICINITY MAP NOT TO SCALE



CONTINENTAL HOMES OF TEXAS, L.P.
REMAINDER OF A CALLED 399.878 AC.
DOC. NO. 202022279
O.P.R.B.C.

CONTINENTAL HOMES OF TEXAS, L.P.
REMAINDER OF A CALLED 399.878 AC.
DOC. NO. 202022279
O.P.R.B.C.

CONTINENTAL HOMES OF TEXAS, L.P.
REMAINDER OF A CALLED 399.878 AC.
DOC. NO. 202022279
O.P.R.B.C.

CONTINENTAL HOMES OF TEXAS, L.P.
REMAINDER OF A CALLED 399.878 AC.
DOC. NO. 202022279
O.P.R.B.C.

ESMERALDA VENCES-MALDONADO & FERMIN VENCES-MALDONADO
CALLED 10.01 AC.
DOC. NO. 201916372
O.P.R.B.C.

LINE DATA		
NUMBER	BEARING	DISTANCE
L1	N90°00'00"W	88.16'
L2	N9°33'10"W	89.33'
L3	N6°16'41"W	103.52'
L4	N14°35'31"E	160.75'
L5	N4°59'40"W	34.76'
L6	S18°16'38"W	83.80'

CURVE DATA					
NUMBER	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C1	25.00'	90°00'00"	39.27'	S 53°36'45" E	35.36'
C2	372.25'	26°53'23"	174.70'	S 4°49'56" W	173.10'

UNDER NO CIRCUMSTANCES WILL THE CITY BE OBLIGATED TO ACCEPT STREETS, ROADWAYS, ALLEYS, CURBS, GUTTERS/DRAINAGE SYSTEMS, SIDEWALKS, STREET LIGHTS, AND/OR RELATED IMPROVEMENTS WITHIN THE DISTRICT FOR OWNERSHIP, OPERATION, AND MAINTENANCE UNTIL SUCH TIME OF FULL-PURPOSE ANNEXATION. WITH RESPECT TO SUCH STREETS AND ROADWAYS WITHIN THE DISTRICT, THE DEVELOPER SHALL DESIGN AND CONSTRUCT THE STREETS AND ROADWAYS SOLELY TO THE CITY'S APPLICABLE STANDARDS, AS MODIFIED BY THE DEVELOPMENT AGREEMENT. THE DISTRICT WILL BE OBLIGATED TO ACCEPT, OPERATE AND MAINTAIN THE STREETS AND ALL OTHER COMPONENTS THEREOF, INCLUDING BUT NOT LIMITED TO CURBS, GUTTER/DRAINAGE SYSTEMS, SIDEWALKS AND STREET LIGHTS.

OWNER: CONTINENTAL HOMES OF TEXAS, L.P.
ADDRESS: 10700 PECAN PARK BLVD., SUITE 400
AUSTIN, TX 78750
PHONE: _____ FAX: _____

ACREAGE: 3.554 ACRES
SURVEY: NANCY BLAKEY SURVEY, ABSTRACT NO. 98

PLAT SUBMITTED: / /2024
PLAT REVISED:

SURVEYOR: BGE, INC. (DION ALBERTSON, RPLS)
PHONE: 210-581-3600 FAX: _____

ENGINEER: BGE, INC. (BRIAN J. GRACE, PE)
PHONE: 512-879-0400 FAX: _____



BEARING BASIS:
BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD 83. DISTANCES SHOWN ARE IN SURFACE VALUES. COMBINED SCALE FACTOR IS 0.99998269.

- LEGEND
- CAB. CABINET
 - DOC. DOCUMENT
 - NO. NUMBER
 - O.P.R.B.C. OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY
 - PG. PAGE
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCING
 - P.R.B.C. PLAT RECORDS OF BASTROP COUNTY
 - R.O.W. RIGHT-OF-WAY
 - VOL. VOLUME
 - FOUND 1/2" IRON ROD (UNLESS OTHERWISE NOTED)
 - SET 1/2" IRON ROD W/ "BGE, INC." CAP



BGE, Inc.
7330 San Pedro Ave., Suite 202
San Antonio, TX 78216
Tel: 210-581-3600 • www.bgeinc.com
TBPELS Registration No. F-1046
TBPELS Licensed Surveying Firm No. 10194490

FINAL PLAT
VALVERDE
AMENITY CENTER
A SUBDIVISION OF 3.554 ACRES OF LAND
LOCATED IN THE
NANCY BLAKEY SURVEY ABSTRACT NO. 98
BASTROP COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF WILLIAMSON §

KNOW ALL MEN BY THESE PRESENTS:

THAT CONTINENTAL HOMES OF TEXAS, L.P., BEING THE OWNER OF A 399.878 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, BASTROP COUNTY, TEXAS, AS RECORDED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS, DOES HEREBY SUBDIVIDE 3.554 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS:

VALVERDE AMENITY CENTER

AND DOES HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS, AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND, THIS THE _____ DAY OF _____, 20____, A.D.

CONTINENTAL HOMES OF TEXAS, L.P.
10700 PECAN PARK BLVD., SUITE 400
AUSTIN, TEXAS 78750

STATE OF TEXAS §
COUNTY OF WILLIAMSON §


BEFORE ME, THE UNDERSIGNED AUTHORITY, PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

NOTARY PUBLIC, STATE OF TEXAS

PRINT NOTARY'S NAME _____
MY COMMISSION EXPIRES _____

STATE OF TEXAS §
COUNTY OF TRAVIS §

I, BRIAN J. GRACE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLY WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF BASTROP, TEXAS.


BRIAN J. GRACE, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 121846
BGE, INC.
1701 DIRECTORS BOULEVARD, SUITE 1000
AUSTIN, TEXAS 78744

7/6/2024
DATE



STATE OF TEXAS §
COUNTY OF BEXAR §

I, DION P. ALBERTSON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON WILL BE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BASTROP, TEXAS, UPON COMPLETION OF CONSTRUCTION.

PRELIMINARY PENDING FINAL REVIEW

DION P. ALBERTSON, R.P.L.S. _____ DATE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4963
BGE, INC.
7330 SAN PEDRO AVE, SUITE 202
SAN ANTONIO, TEXAS 78216

GENERAL NOTES:

- THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF BASTROP'S FULL PURPOSE JURISDICTION.
- BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD83
- THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND IN ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT - BASE FLOOD ELEVATIONS DETERMINED) AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR BASTROP COUNTY, TEXAS, AND INCORPORATED AREAS, MAP NUMBER 48021C0335F, EFFECTIVE MAY 9, 2023. ANY FLOODPLAIN BOUNDARIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT DEPICTED AS A RESULT OF AN ON THE GROUND SURVEY.
- THIS SUBDIVISION IS IN AND SERVED BY CITY OF BASTROP UTILITIES FOR WATER SERVICE.
- ELECTRIC SERVICE TO BE PROVIDED BY BLUEBONNET ELECTRIC.
- NO DWELLING STRUCTURE MAY BE OCCUPIED UNTIL SUCH TIME AS WATER AND WASTEWATER CONNECTIONS ARE FULLY OPERATIONAL.
- ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION, GAS, AND SIMILAR UTILITY SERVICE LINES SHALL BE PLACED UNDERGROUND, SUCH LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE.
- NO PORTION OF THIS SUBDIVISION IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE OR CONTRIBUTING ZONE.
- THIS PROJECT IS LOCATED IN THE LOWER COLORADO-CUMMINS WATERSHED WHICH IS CLASSIFIED AS A SUBURBAN WATER SUPPLY WATERSHED.

FINAL PLAT
VALVERDE
AMENITY CENTER
A SUBDIVISION OF 3.554 ACRES OF LAND
LOCATED IN THE
NANCY BLAKEY SURVEY ABSTRACT NO. 98
BASTROP COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF BASTROP §

I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK ____M, IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET _____, PAGE _____.

FILED FOR RECORD ON THE _____ DAY OF _____, 20____, A.D.

KRISTA BARTSCH
COUNTY CLERK
BASTROP COUNTY, TEXAS

BY: _____
DEPUTY



BGE, Inc.
7330 San Pedro Ave., Suite 202
San Antonio, TX 78216
Tel: 210-581-3600 • www.bgeinc.com
TBPELS Registration No. F-1046
TBPELS Licensed Surveying Firm No. 10194490

SHEET 2 OF 2

REV	DESCRIPTION	DATE	AP

DESIGNED BY: LS, MR

REVIEWED BY: IL

DRAWN BY: LS, MR



BROWN & GAY ENGINEERS, INC.
1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TX 78721
TYPE Registration No. F-1046
TEL: 512-979-4466 www.browngay.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
BASTROP, TEXAS

FINAL PLAT (2 OF 2)

CITY OF BASTROP - GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP DESIGN AND CONSTRUCTION STANDARDS MANUAL.
2. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
3. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION, ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS ARE APPROPRIATE.

- 7. PRIOR TO ANY CONSTRUCTION, THE APPLICANT'S ENGINEER SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN HIMSELF, THE CITY OF BASTROP, THE CONTRACTOR, UTILITY COMPANIES, ANY AFFECTED PARTIES AND ANY OTHER ENTITY THE CITY OR THE ENGINEER MAY REQUIRE.
8. THE CONTRACTOR AND THE ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS, THE ENGINEER SHALL FURNISH THE CITY OF BASTROP ACCURATE 'AS-BUILT' DRAWINGS FOLLOWING COMPLETION OF ALL CONSTRUCTION, THESE 'AS-BUILT' DRAWINGS SHALL MEET WITH THE SATISFACTION OF THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO FINAL ACCEPTANCE.

TRENCH SAFETY NOTES

- 1. IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD AND COMPACT OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED.
2. IN ACCORDANCE WITH THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, WHEN PERSONS ARE IN TRENCHES 4 FEET DEEP OR MORE, ADEQUATE MEANS OF EXIT, SUCH AS A LADDER OR STEPS, MUST BE PROVIDED AND LOCATED SO AS TO REQUIRE NO MORE THAN 25 FEET OF LATERAL TRAVEL.

STREET AND DRAINAGE NOTES

- 1. ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY INSPECTOR AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING.
2. BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION.

RECOMMENDATIONS - PAVEMENT THICKNESS SECTIONS

Table with columns: Street Classification, Subgrade Material, Hot Mix Asphalt Concrete, Concrete, Pavement (JRC/F), Crushed Limestone Base, Cement Stabilized Subgrade.

Notes:

- 1. The subgrade improvement should be extended 3 feet beyond the back of the curb line.
2. These pavement thickness designs are intended to transfer the load from the anticipated traffic conditions.
3. The concern has arisen that ground water may enter the utility trenches at this site causing detrimental settlement of the utility trench backfill.

- 8. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS.
9. WHERE PIS ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER.

WATER AND WASTEWATER NOTES

- 1. PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200), OR DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200). WATER SERVICES (2 INCHES OR LESS) SHALL BE POLYETHYLENE TUBING (BLACK, 200 PSI, DR 9).
2. PIPE MATERIAL FOR PRESSURE WASTEWATER MAINS SHALL BE PVC, OR DUCTILE IRON (MINIMUM CLASS 250). PIPE MATERIAL FOR GRAVITY WASTEWATER MAINS SHALL BE PVC (ASTM D2241 OR D3034, MAXIMUM DR-26), DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200200).

- 11. SAMPLING TAPS SHALL BE BROUGHT UP TO 3 FEET ABOVE GRADE AND SHALL BE EASILY ACCESSIBLE FOR CITY PERSONNEL. AT THE CONTRACTOR'S REQUEST, AND IN HIS PRESENCE, SAMPLES FOR BACTERIOLOGICAL TESTING WILL BE COLLECTED BY THE CITY OF BASTROP NOT LESS THAN 24 HOURS AFTER THE TREATED LINE HAS BEEN FLUSHED OF THE CONCENTRATED CHLORINE SOLUTION AND CHARGED WITH WATER APPROVED BY THE CITY.
12. THE CONTRACTOR, AT HIS EXPENSE, SHALL PERFORM QUALITY TESTING FOR ALL WASTEWATER PIPE INSTALLED AND PRESSURE PIPE HYDROSTATIC TESTING OF ALL WATER LINES CONSTRUCTED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING PUMPS AND GAUGES), SUPPLIES AND LABOR NECESSARY TO PERFORM THE TESTS.

- MAY HAVE TO OCCUR AT OFF-PEAK HOURS. SUCH HOURS ARE USUALLY OUTSIDE NORMAL WORKING HOURS AND POSSIBLY BETWEEN 12 A.M. AND 6 A.M.
20. ALL WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REGULATIONS, 30 TAC CHAPTER 213 AND 317, AS APPLICABLE.

TRAFFIC MARKING NOTES

- 1. ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
2. ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.

EROSION AND SEDIMENTATION CONTROL NOTES

- 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CODE OF ORDINANCES.
2. ALL SLOPES SHALL BE SODED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
3. SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWSTREAM FACILITIES.

ELECTRICAL NOTES

- 1. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE CITY INSPECTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE CITY INSPECTOR.
2. ALL MUD, DIRT, ROCKS, DEBRIS, ETC. SPILLED, TRACKED OR OTHERWISE DEPOSITED ON EXISTING PAVED STREETS, DRIVES AND AREAS USED BY THE PUBLIC SHALL BE CLEANED UP IMMEDIATELY.
3. ALL UTILITIES ARE TO BE UNDERGROUND.

Layout: GENERAL NOTES (1 OF 2) Plotted: 7/2/2024 5:08:10 PM

Item 3B

REV DATE DESCRIPTION

DESIGNED BY: LS, MR
REVIEWED BY: IL
DRAWN BY: LS, MR



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SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
BASTROP, TEXAS
GENERAL NOTES (1 OF 2)



SHEET 4 OF 29

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TCEQ WATER DISTRIBUTION SYSTEM GENERAL CONSTRUCTION NOTES

- 1. THIS WATER DISTRIBUTION SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D. WHEN CONFLICTS ARE NOTED WITH LOCAL STANDARDS, THE MORE STRINGENT REQUIREMENT SHALL BE APPLIED. AT A MINIMUM, CONSTRUCTION FOR PUBLIC WATER SYSTEMS MUST ALWAYS MEET TCEQ'S "RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS."
2. ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/NSF INTERNATIONAL STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI [§290.44(A)(1)].
3. PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST BEAR THE NSF INTERNATIONAL SEAL OF APPROVAL (NSF-PW) AND HAVE AN ASTM DESIGN PRESSURE RATING OF AT LEAST 150 PSI OR A STANDARD DIMENSION RATIO OF 26 OR LESS [§290.44(A)(2)].
4. NO PIPE WHICH HAS BEEN USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF DRINKING WATER SHALL BE ACCEPTED OR RELOCATED FOR USE IN ANY PUBLIC DRINKING WATER SUPPLY [§290.44(A)(3)].
5. ALL WATER LINE CROSSINGS OF WASTEWATER MAINS SHALL BE PERPENDICULAR [§290.44(E)(4)(B)].
6. WATER TRANSMISSION AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. HOWEVER, THE TOP OF THE WATER LINE MUST BE LOCATED BELOW THE FROST LINE AND IN NO CASE SHALL THE TOP OF THE WATER LINE BE LESS THAN 24 INCHES BELOW GROUND SURFACE [§290.44(A)(4)].
7. THE MAXIMUM ALLOWABLE LEAD CONTENT OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS, AND FIXTURES IS 0.25 PERCENT [§290.44(B)].
8. THE CONTRACTOR SHALL INSTALL APPROPRIATE AIR RELEASE DEVICES WITH VENT OPENINGS TO THE ATMOSPHERE COVERED WITH 16-MESH OR FINER, CORROSION RESISTANT SCREENING MATERIAL OR AN ACCEPTABLE EQUIVALENT [§290.44(D)(1)].
9. THE CONTRACTOR SHALL NOT PLACE THE PIPE IN WATER OR WHERE IT CAN BE FLOODED WITH WATER OR SEWAGE DURING ITS STORAGE OR INSTALLATION [§290.44(F)(1)].
10. WHEN WATERLINES ARE LAID UNDER ANY FLOWING OR INTERMITTENT STREAM OR SEMI-PERMANENT BODY OF WATER THE WATERLINE SHALL BE INSTALLED IN A SEPARATE WATER-TIGHT PIPE ENCASUREMENT. VALVES MUST BE PROVIDED ON EACH SIDE OF THE CROSSING WITH FACILITIES TO ALLOW THE UNDERWATER PORTION OF THE SYSTEM TO BE ISOLATED AND TESTED [§290.44(F)(2)].
11. PURSUANT TO 30 TAC §290.44(A)(5), THE HYDROSTATIC LEAKAGE RATE SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY THE MOST CURRENT AWWA FORMULAS FOR PVC PIPE, CAST IRON AND DUCTILE IRON PIPE. INCLUDE THE FORMULAS IN THE NOTES ON THE PLANS. O THE HYDROSTATIC LEAKAGE RATE FOR POLYVINYL CHLORIDE (PVC) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-605 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE:
Q = (LD^5 P) / 148,000
WHERE:
Q = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR,
L = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,
D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND
P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).
THE HYDROSTATIC LEAKAGE RATE FOR DUCTILE IRON (DI) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-600 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE:
L = (SD P) / 148,000
WHERE:
L = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR,
S = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,
D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND
P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).
12. THE CONTRACTOR SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE IN ALL DIRECTIONS OF NINE FEET BETWEEN THE PROPOSED WATERLINE AND WASTEWATER COLLECTION FACILITIES INCLUDING MANHOLES. IF THIS DISTANCE CANNOT BE MAINTAINED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER FOR FURTHER DIRECTION. SEPARATION DISTANCES, INSTALLATION METHODS, AND MATERIALS UTILIZED MUST MEET §290.44(E)(1)-(4).
13. THE SEPARATION DISTANCE FROM A POTABLE WATERLINE TO A WASTEWATER MAIN OR LATERAL MANHOLE OR CLEANOUT SHALL BE A MINIMUM OF NINE FEET. WHERE THE NINE-FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE POTABLE WATERLINE SHALL BE ENCASED IN A JOINT OF AT LEAST 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE-FOOT INTERVALS WITH SPACERS OR BE FILLED TO THE SPRINGLINE WITH WASHED SAND. THE ENCASUREMENT PIPE SHALL BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEALANT [§290.44(E)(5)].
14. FIRE HYDRANTS SHALL NOT BE INSTALLED WITHIN NINE FEET VERTICALLY OR HORIZONTALLY OF ANY WASTEWATER LINE, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE REGARDLESS OF CONSTRUCTION [§290.44(E)(6)].
15. SUCTION MAINS TO PUMPING EQUIPMENT SHALL NOT CROSS WASTEWATER MAINS, WASTEWATER LATERALS, OR WASTEWATER SERVICE LINES. RAW WATER SUPPLY LINES SHALL NOT BE INSTALLED WITHIN FIVE FEET OF ANY TILE OR CONCRETE WASTEWATER MAIN, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE [§290.44(E)(7)]. WATERLINES SHALL NOT BE INSTALLED CLOSER THAN TEN FEET TO SEPTIC TANK DRAINFIELDS [§290.44(E)(8)].
16. THE CONTRACTOR SHALL DISINFECT THE NEW WATERLINES IN ACCORDANCE WITH AWWA STANDARD C-651-14OR MOST RECENT, THEN FLUSH AND SAMPLE THE LINES BEFORE BEING PLACED INTO SERVICE. SAMPLES SHALL BE COLLECTED FOR MICROBIOLOGICAL ANALYSIS TO CHECK THE EFFECTIVENESS OF THE DISINFECTION PROCEDURE WHICH SHALL BE REPEATED IF CONTAMINATION PERSISTS. A MINIMUM OF ONE SAMPLE FOR EACH 1,000 FEET OF COMPLETED WATERLINE WILL BE REQUIRED OR AT THE NEXT AVAILABLE SAMPLING POINT BEYOND 1,000 FEET AS DESIGNATED BY THE DESIGN ENGINEER [§290.44(F)(3)].
17. DECHLORINATION OF DISINFECTING WATER SHALL BE IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARD C655-09 OR MOST RECENT.

TREE PROTECTION NOTES

- 1. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES TO BE PRESERVED FROM HIS ACTIVITIES.
2. ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING. SEE: TREE PROTECTION TREE WELLS (EC-06), TREE PROTECTION LOCATION (EC-07) AND TREE PROTECTION FENCE-CHAIN LINK (EC-08)
3. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY STANDARDS FOR TREE PROTECTION, INCLUDING TYPES OF FENCING AND SIGNAGE.
4. TREE PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
5. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN TREE DRIP LINES.
6. FENCES SHALL SURROUND THE TREES OR CLUSTER OF TREES, LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE), AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
A. SOIL COMPACTION IN DRIPLINE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
B. DRIPLINE DISTURBANCES DUE TO GRADE CHANGES OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE FORESTRY MANAGER.
C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT;
D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
7. EXCEPTIONS TO INSTALLING TREE FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, OR TREE WELL
B. WHERE PERMEABLE PAVING IS TO BE INSTALLED. ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA
C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.
D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE FORESTRY MANAGER TO DISCUSS THE ALTERNATIVES
8. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE THAT IS CLOSER THAN 5 FEET TO A TREE TRUNK, THE TRUNK SHALL BE PROTECTED BY STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
9. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES UNDER THE DRIPLINE. THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
10. ALL GRADING WITHIN DRIPLINE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND BEHIND THE GRADE CHANGE AREA.
11. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOUL AND BACKFILLED WITH GOOD QUALITY TOP SOIL WITHIN TWO DAYS. IF EXPOSED ROOT AREAS CANNOT BE BACKFILLED WITHIN 2 DAYS, AN ORGANIC MATERIAL WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION SHALL BE PLACED TO COVER THE ROOTS UNTIL BACKFILL CAN OCCUR.
12. PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE WITH A ROCK SAW OR SIMILAR EQUIPMENT, IN A LOCATION AND TO A DEPTH APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
13. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES WILL BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS ARE TO BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON LEAVES.
14. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, A PLASTIC VAPOR BARRIER SHALL BE PLACED BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE ROOT ZONE.
15. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
16. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY TREE.

- 17. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS. ALL PRUNING MUST BE DONE ACCORDING TO CITY STANDARDS AND AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).
18. ALL OAK TREE CUTS, INTENTIONAL OR UNINTENTIONAL, SHALL BE SEALED WITH AN APPROVED PRUNING SEALER IMMEDIATELY (WITHIN 10 MINUTES). TREE PAINT MUST BE KEPT ON SITE AT ALL TIMES.
19. THE CITY INSPECTOR HAS THE AUTHORITY TO REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION.
20. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
21. DEVIATIONS FROM THE ABOVE REQUIREMENTS AND NEGLIGENT DAMAGE TO TREES MAY BE CONSIDERED AS ORDINANCE VIOLATIONS.

FIRE DEPARTMENT:

- 1. THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.
2. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE. TYPICALLY THREE TO SIX (6) FEET. THE AREA WITHIN THREE (3) FEET IN ALL DIRECTIONS FROM ANY FIRE HYDRANT SHALL BE FREE OF OBSTRUCTIONS AND THE AREA BETWEEN THE STEAMER OPENING AND THE STREET OR DRIVEWAY GIVING EMERGENCY VEHICLE ACCESS SHALL BE FREE OF OBSTRUCTIONS.
3. TIMING OF INSTALLATIONS: WHEN FIRE PROTECTION FEATURES (HYDRANTS, FIRE SPRINKLER MAINS, ETC.) ARE INSTALLED BY THE CONTRACTOR, SUCH FEATURES SHALL INCLUDE SURFACE ACCESS ROADS. EMERGENCY ACCESS ROADS OR DRIVES SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. ALL FIRE PROTECTION FEATURES SHALL BE INSTALLED AND MADE SERVICEABLE (TO INCLUDE ANY UNDERGROUND FIRE MAINS BEING INSTALLED AND HYDROVISUAL COMPLETED) PRIOR TO VERTICAL CONSTRUCTION. WHEN THE FIRE DEPARTMENT APPROVES AN ALTERNATE METHOD OF PROTECTION, THIS REQUIREMENT MAY BE MODIFIED AS DOCUMENTED IN THE APPROVAL OF THE ALTERNATE METHOD.
4. ALL EMERGENCY ACCESS ROADWAYS AND FIRE LANES, INCLUDING PERVIOUS/DECORATIVE PAVING, SHALL BE ENGINEERED, AND INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) AND A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.
5. FIRE LANES DESIGNATED ON SITE PLANS SHALL BE REGISTERED WITH THE BASTROP FIRE DEPARTMENT AND INSPECTED FOR FINAL APPROVAL.
6. THE MINIMUM VERTICAL CLEARANCE REQUIRED FOR EMERGENCY VEHICLE ACCESS ROADS OR DRIVES IS 13 FEET - 6 INCHES FOR THE FULL WIDTH OF THE ROADWAY OR DRIVEWAY.
7. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.

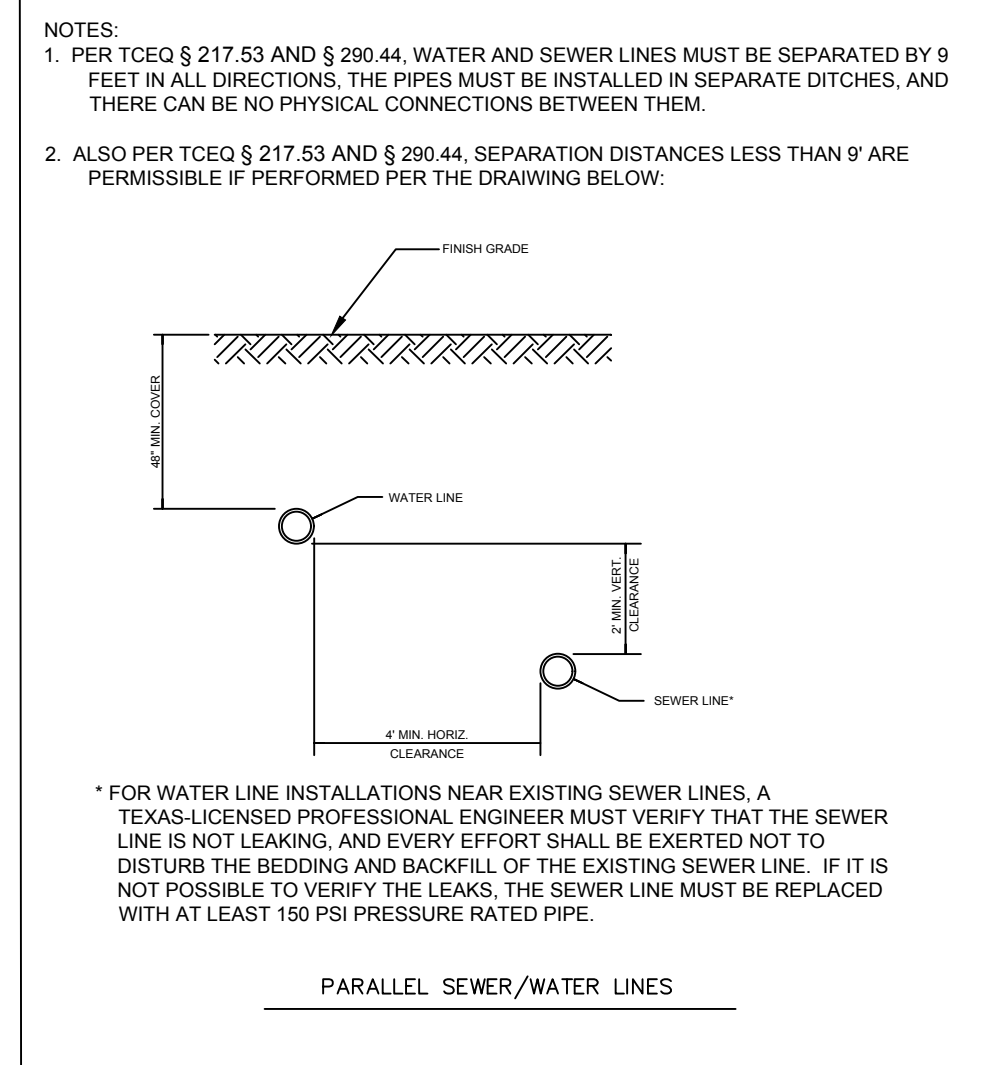
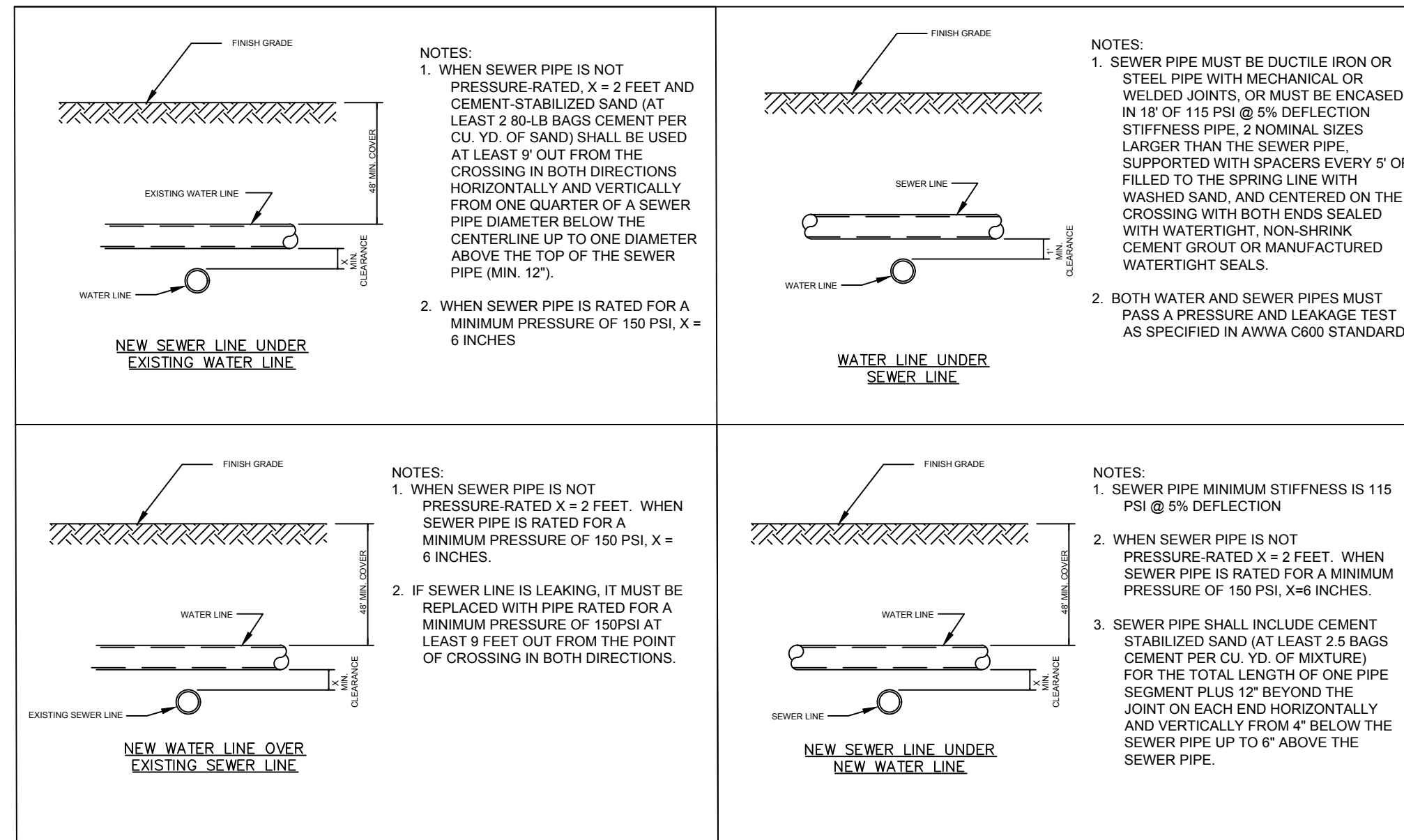


Table with columns: Item No., Date, Description, Rev. Includes a row for 'DESIGNED BY: LS, MR' and 'DRAWN BY: LS, MR'.



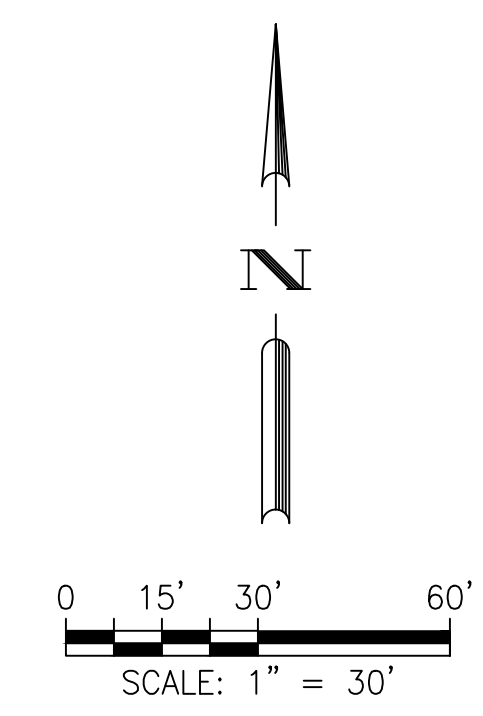
BROWN & GAY ENGINEERS, INC. 1701 DIRECTORS BLVD., SUITE 1000 AUSTIN, TX 78721 TEL: 512-979-4646 www.bge.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS

GENERAL NOTES (2 OF 2)



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LEGEND

- PROPERTY BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LOC LIMITS OF CONSTRUCTION
- SF SILT FENCE
- INLET PROTECTION
- TP-TP TREE PROTECTION FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT AREA
- TEMPORARY SPOILS AND STORAGE AREA
- HYDRO MULCH RESTORATION AREA
- TREE TO REMAIN
- TREE TO BE REMOVED

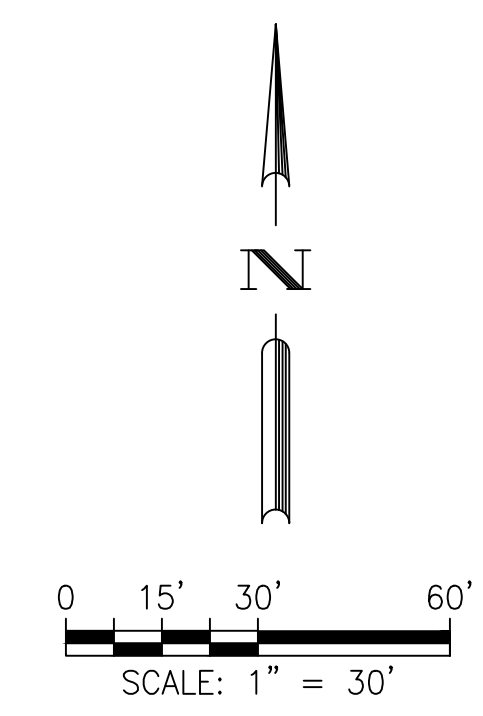
- NOTES:**
- IF DISTURBED AREA IS NOT TO BE WORKED FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP, OR REVEGETATION MATTING. [ECM 1.4.4.B.3, SECTION 5.1]
 - ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS [LDC 25-8-182]
 - CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. [ECM 1.4.4.D.4]
 - PER LDC 25-8-323(C), FOR AREAS ON THE SITE THAT ARE TO REMAIN PERVIOUS AFTER DEVELOPMENT, ANY SOILS THAT ARE COMPACTED DURING SITE GRADING AND CONSTRUCTION OPERATIONS MUST BE DECOMPACTED IN COMPLIANCE WITH THE ECM AND SSM.
 - FINISHED ELEVATION FOR PARKING LOT ISLANDS, MEDIANS, PENINSULAS, AND SIMILAR LANDSCAPE AREAS MUST BE AT LEAST SIX (6) BELOW THE FINISHED CURB ELEVATION TO ALLOW FOR PLACEMENT OF SIX (6) INCHES OF TOPSOIL [ECM 1.4.7].

Item 3B. DATE REV DESCRIPTION	
DESIGNED BY: LS, MR REVIEWED BY: IL DRAWN BY: LS, MR	
BROWN & GAY ENGINEERS, INC. 1701 DIRECTORS BLVD., SUITE 1000 AUSTIN, TX 78721 Registration No. F-1046 TEL: 512-979-4466 www.browngay.com	
SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS	
EROSION CONTROL PLAN	
SHEET 7 OF 29	



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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LEGEND

	PROPERTY BOUNDARY
	BUILDING SETBACK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	SIDEWALK - SEE LANDSCAPE PLAN FOR DETAILS
	ACCESSIBLE ROUTE
	FIRE LANE STRIPING
	EXISTING FIRE HYDRANT
	EXISTING STREET LIGHT
	MEDIUM DUTY PAVEMENT
	HEAVY DUTY PAVEMENT
	OPEN SPACE

- NOTES:**
- ALL PAVEMENT DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
 - ALL FIRE ACCESS DRIVES/ROADS SHALL HAVE A MINIMUM 14'-0" VERTICAL CLEARANCE.
 - WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF BASTROP.
 - ALL CURB RADI ARE MEASURED AT 3' UNLESS OTHERWISE NOTED.
 - FIRE LANE STRIPING SHALL BE CONTINUOUS 6" WIDE RED TRAFFIC PAINT STRIPE. THE WORDS "NO PARKING FIRE LANE" SHALL APPEAR IN 4" WHITE LETTERS NO GREATER THAN 30' APART. THESE WORDS SHALL BE MADE WITHIN THE RED STRIPE.
 - ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE DEVELOPMENT SERVICES DEPARTMENT.
 - ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
 - SIGNS REQUIRE SEPARATE PERMITS - APPROVAL OF THE SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY INCLUDED SIGN PLANS OR ELEMENTS.

SITE DATA TABLE		
SITE AREA	3.55	AC
	154,638	SF
LOC (Limits of Construction)	3.56	AC
	155,222	SF
REQUIRED ADA PARKING	1	SPACES
PROPOSED ADA PARKING	2	SPACES
OPEN SPACE	2.54	AC
OPEN SPACE (%)	71.6%	
BUILDING COVERAGE*	1,685	SF
	0.04	AC
BUILDING COVERAGE (%)	1.1%	
TOTAL GROSS FLOOR AREA	1,685	SF
	0.04	AC
FAR	0.01 : 1	
EXISTING IMPERVIOUS COVER	0	SF
	0.00	AC
PROPOSED IMPERVIOUS COVER (ON-SITE)	33,989	SF
	0.78	AC
IMPERVIOUS COVER (%) - (ON-SITE)	22.0%	
MAXIMUM IMPERVIOUS COVER (%) PER SECTION 2.5.003.A OF THE VALVERDE DEVELOPMENT AGREEMENT	BY WARRANT	
ZONING**	BASE D1	

BUILDING DATA TABLE								
BUILDING #	Building Type	No. Buildings	No. Units	Sprinkler Type	# OF STORIES	HEIGHT	SQ FOOTAGE	USE
CLUBHOUSE	Type V-B	1	-	N/A	1	25'-9"	1,685	LEASING/CLUBHOUSE
TOTAL GFA							1,685	

Item 3B.
AP
DATE
REV
DESCRIPTION

DESIGNED BY: LS, MR
REVIEWED BY: IL
DRAWN BY: LS, MR

BGE

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1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TX 78721
Registration No. F-1046
TEL: 512-979-4946 www.browngay.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
BASTROP, TEXAS

OVERALL SITE PLAN

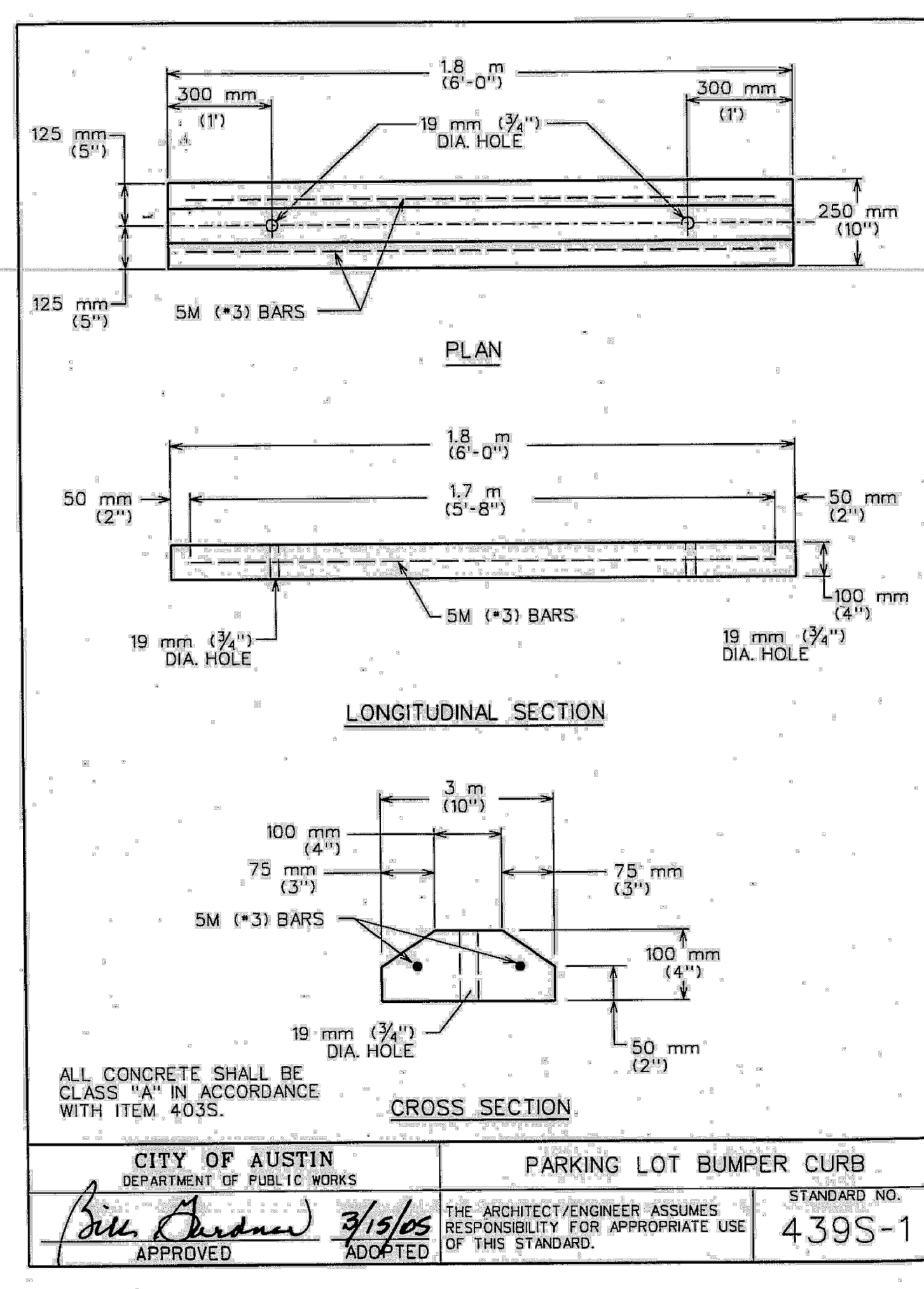
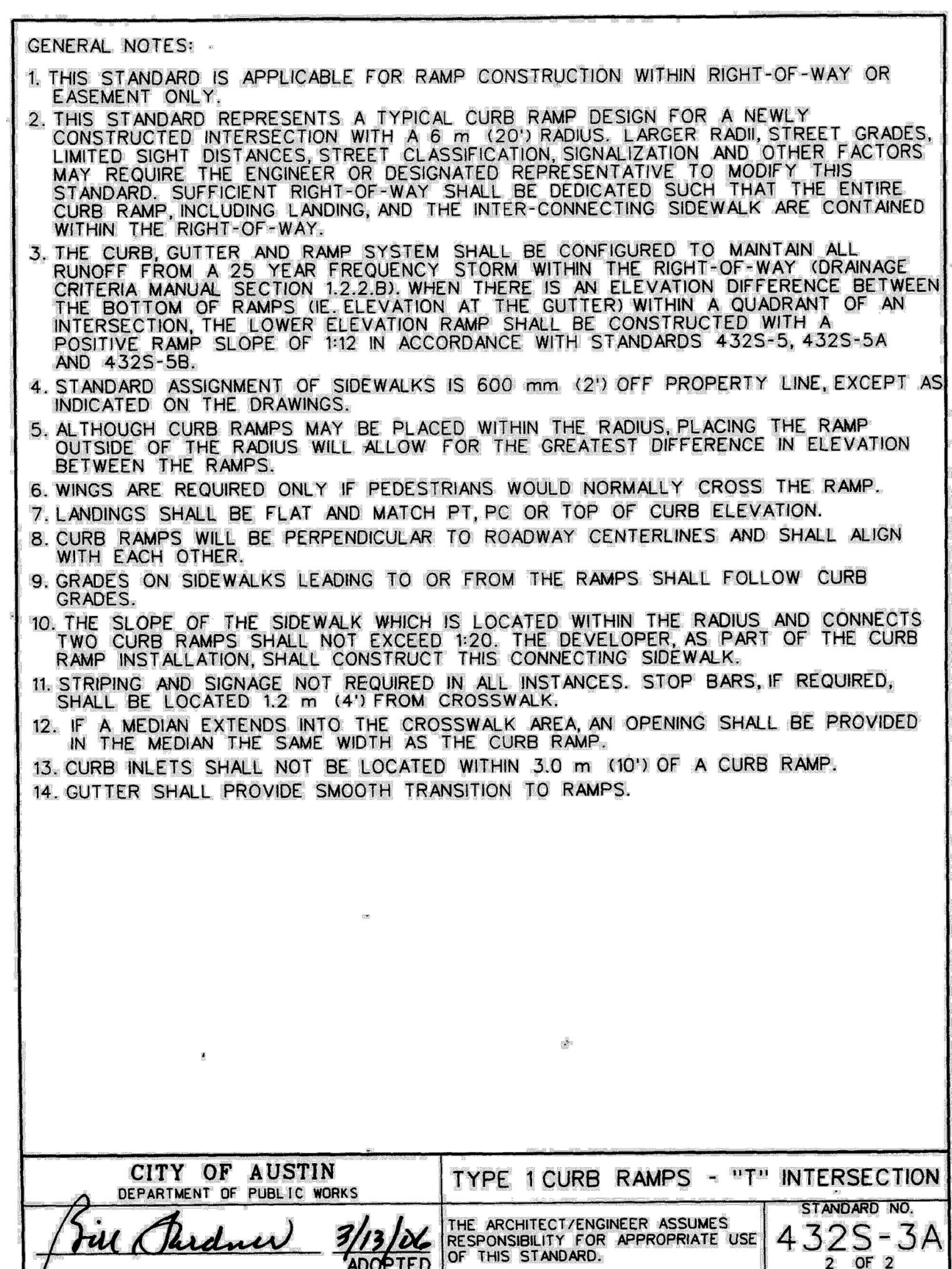
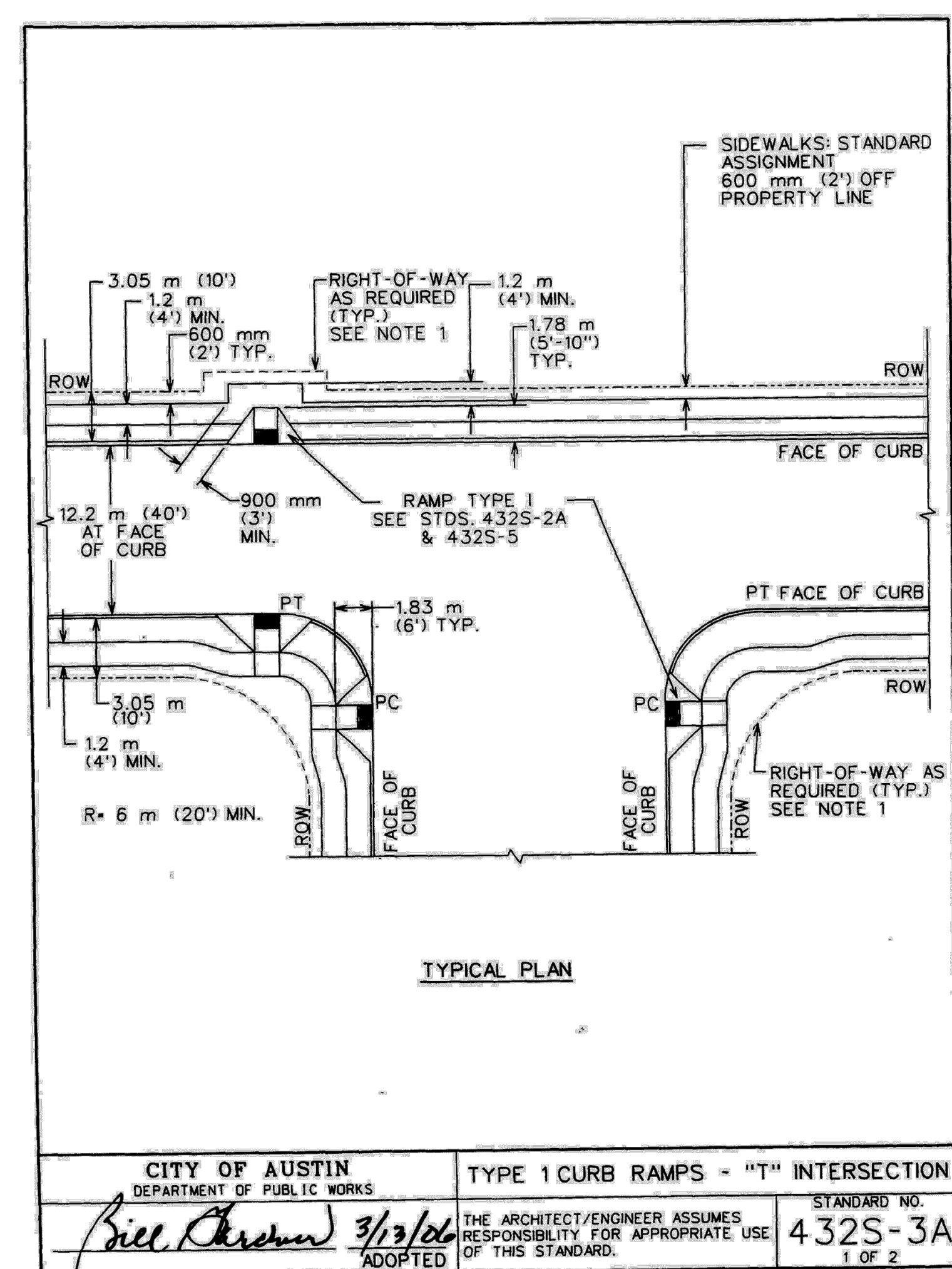
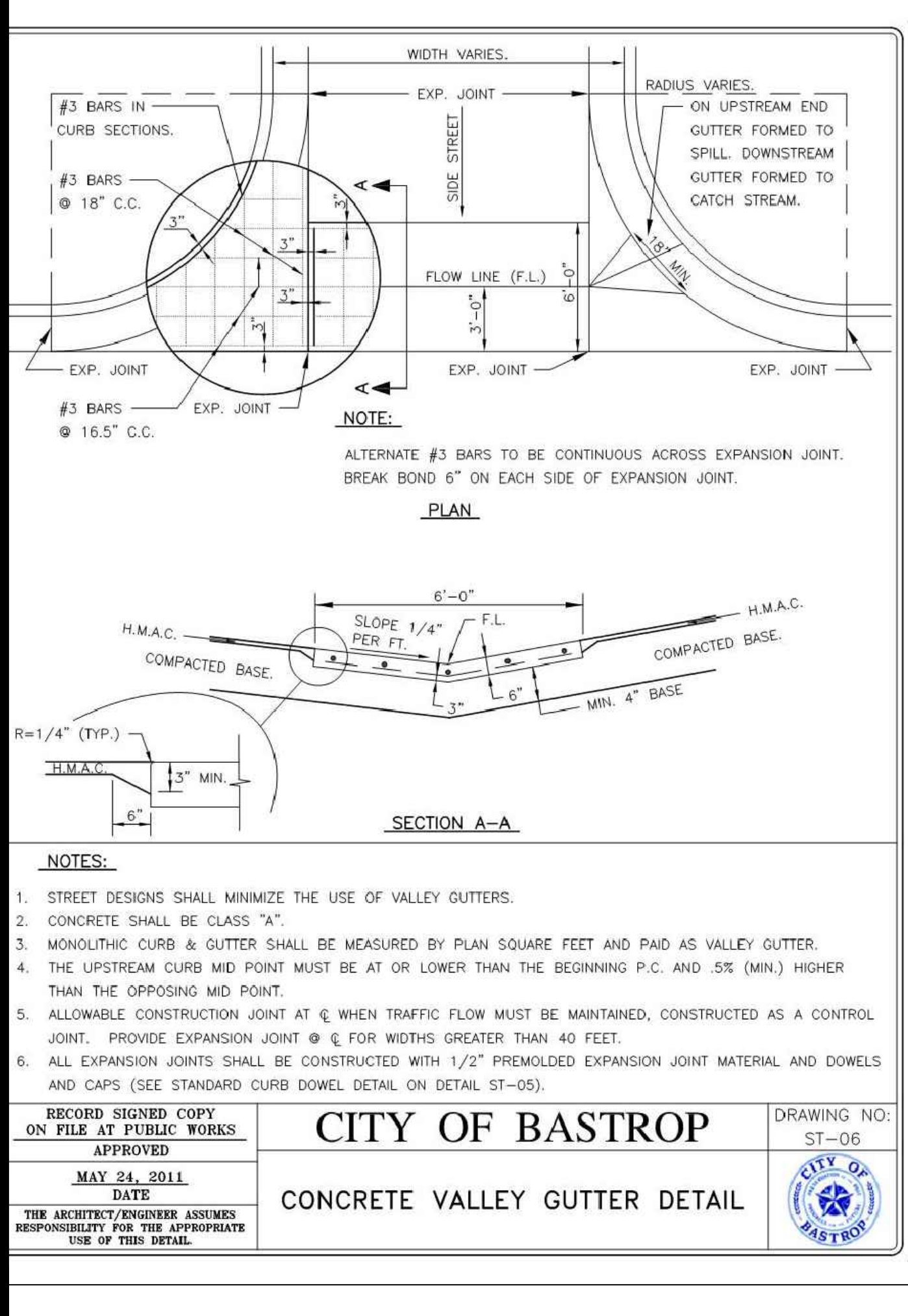
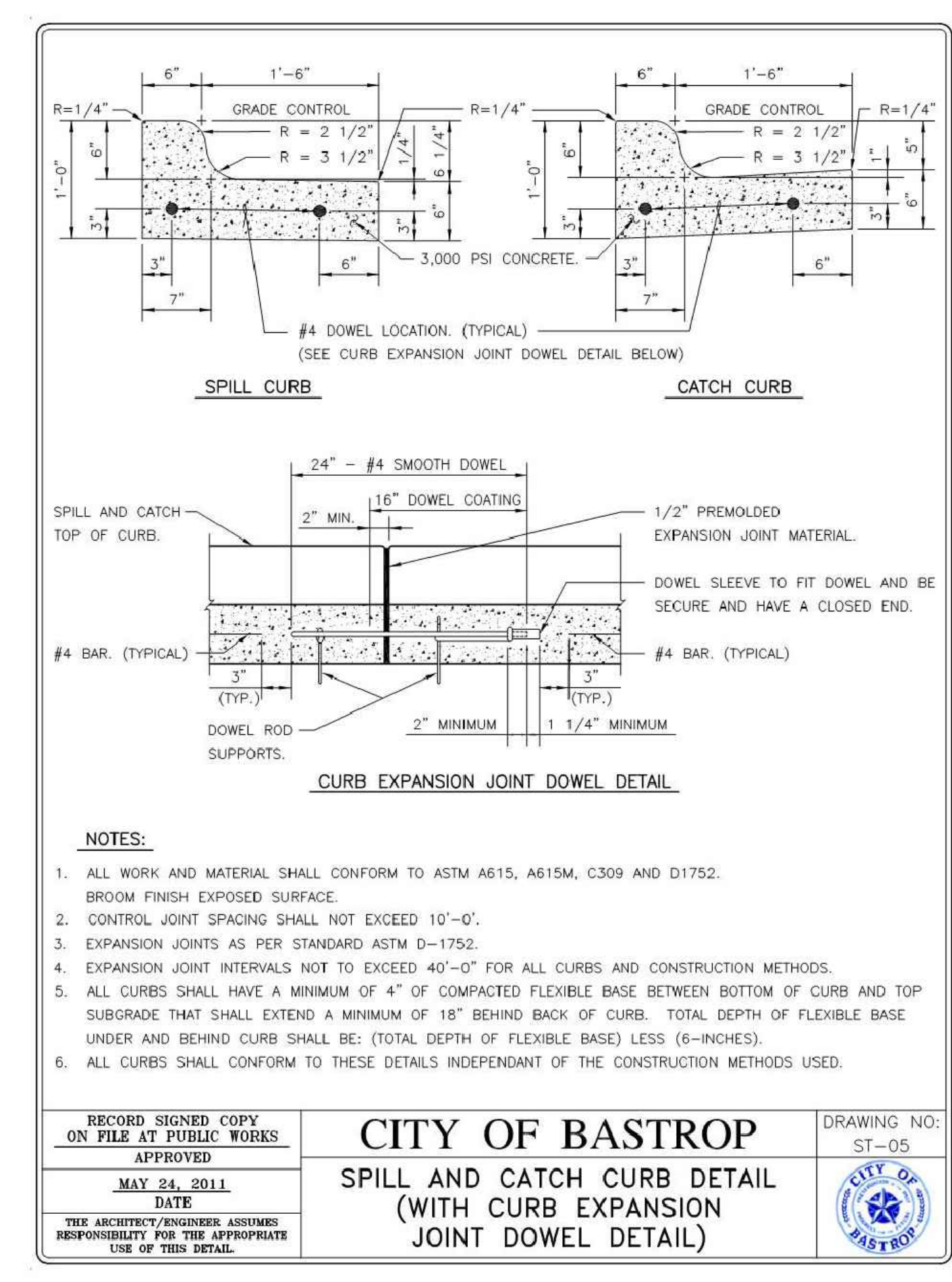
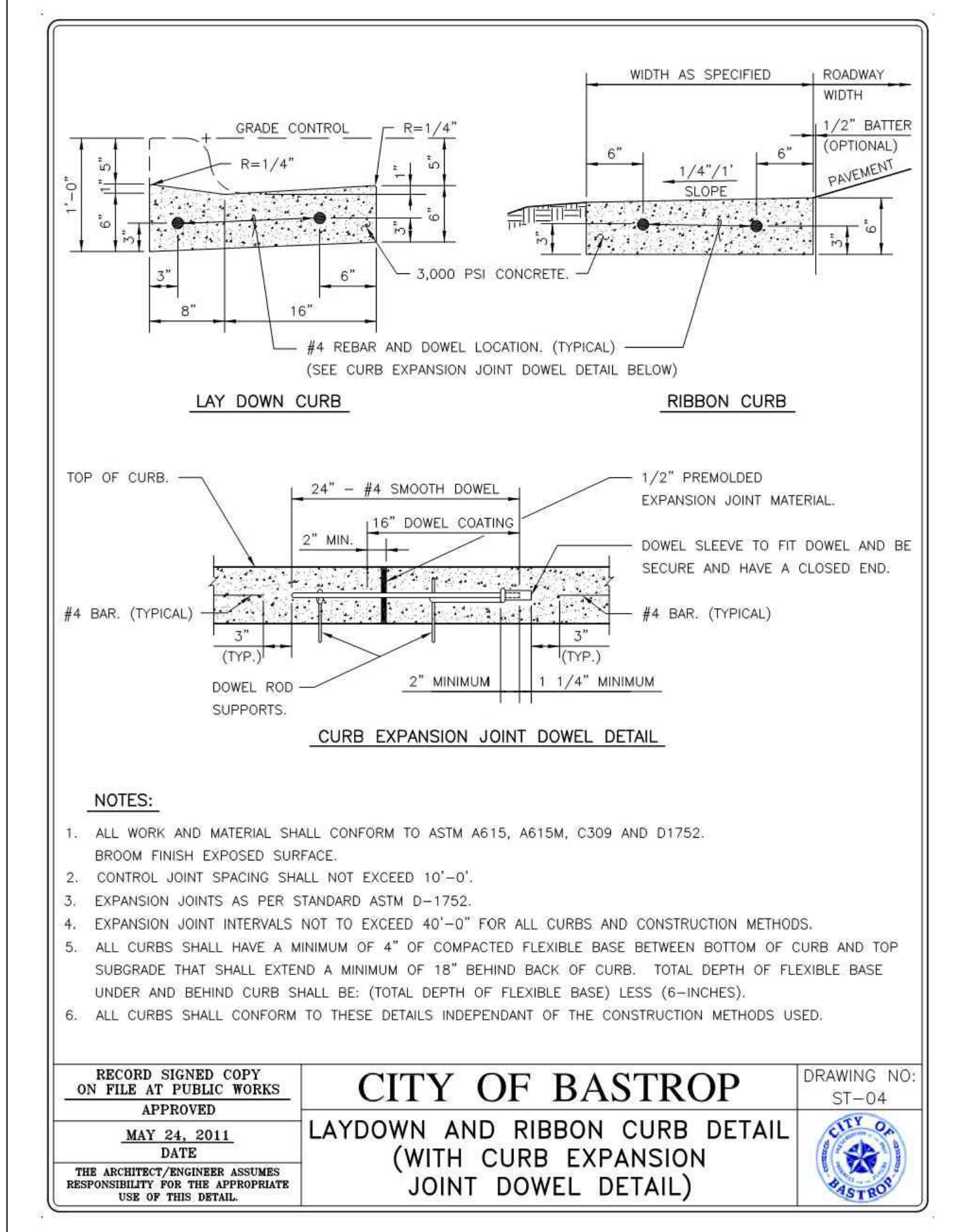
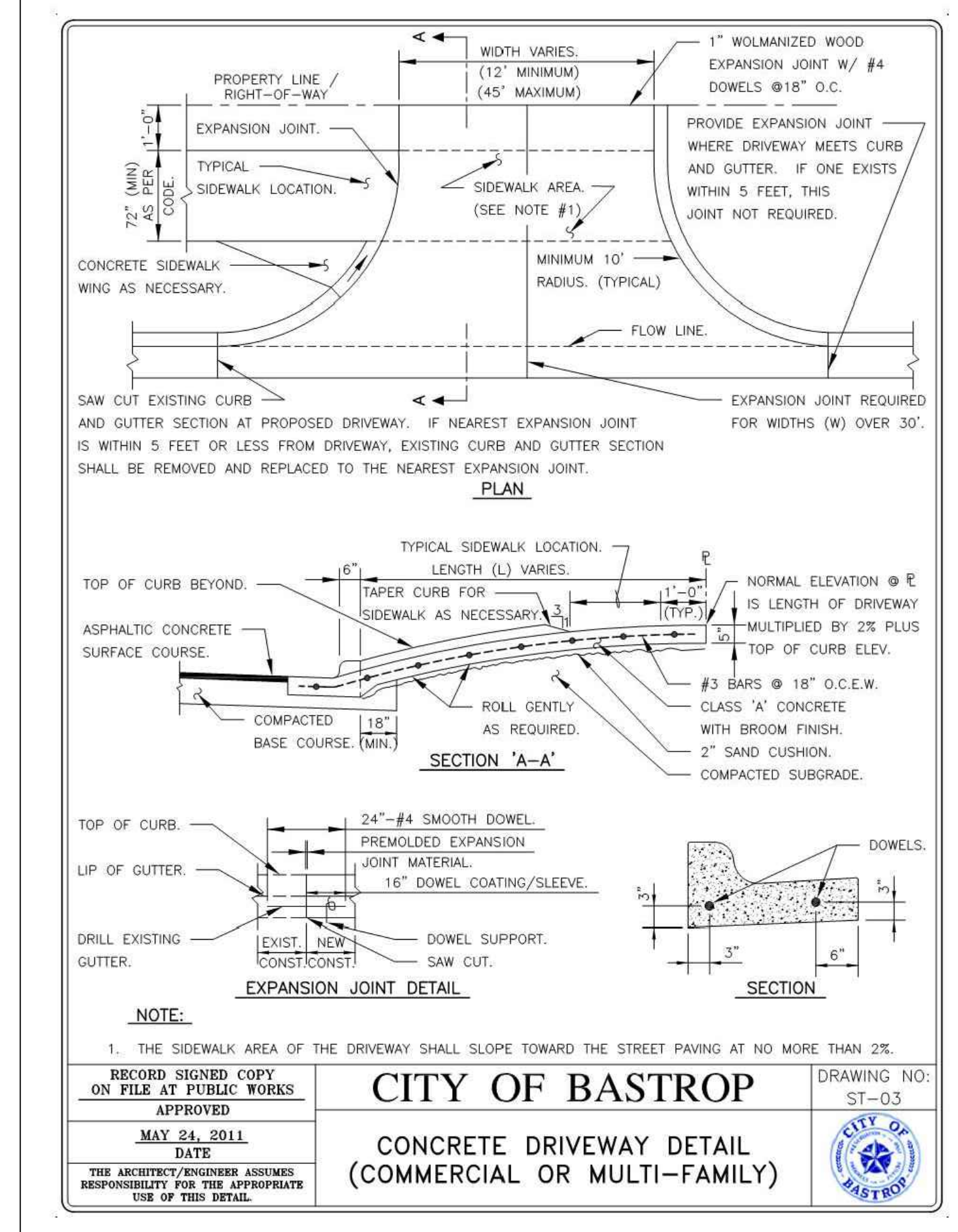
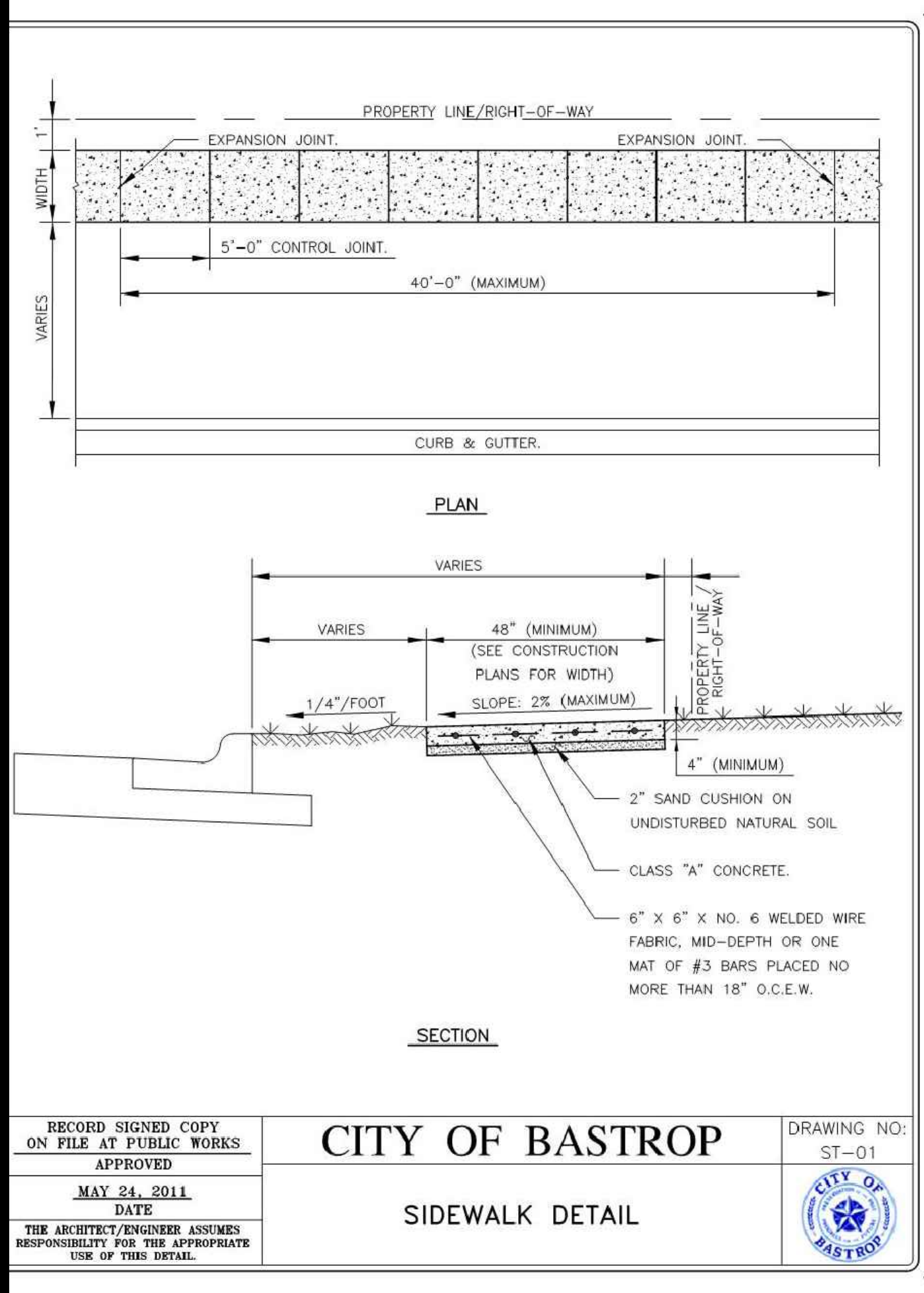
BRIAN J. GRACE
121846
REGISTERED PROFESSIONAL ENGINEER

SHEET
9 OF 29



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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Item 3B
DATE
DESCRIPTION
REV

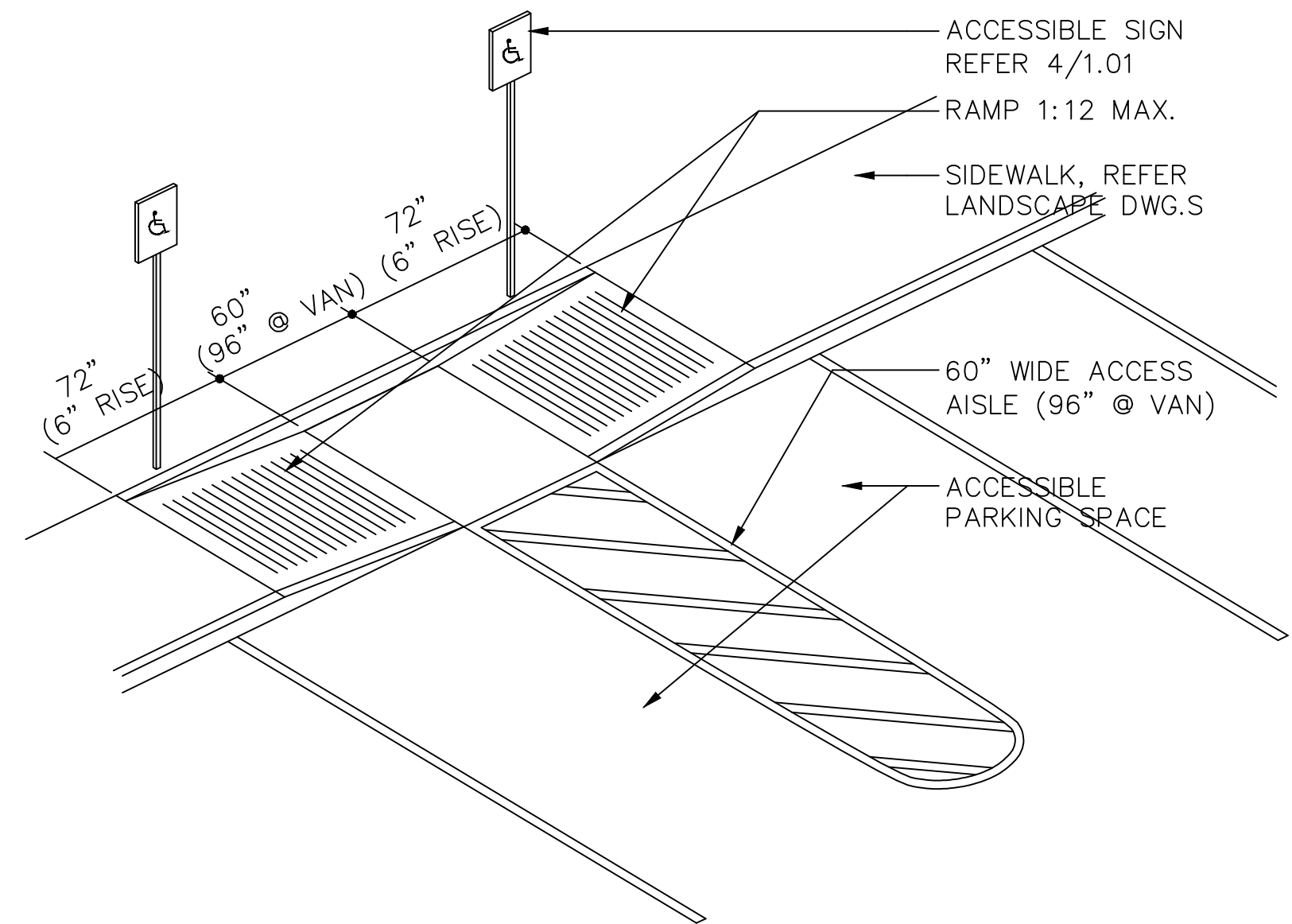
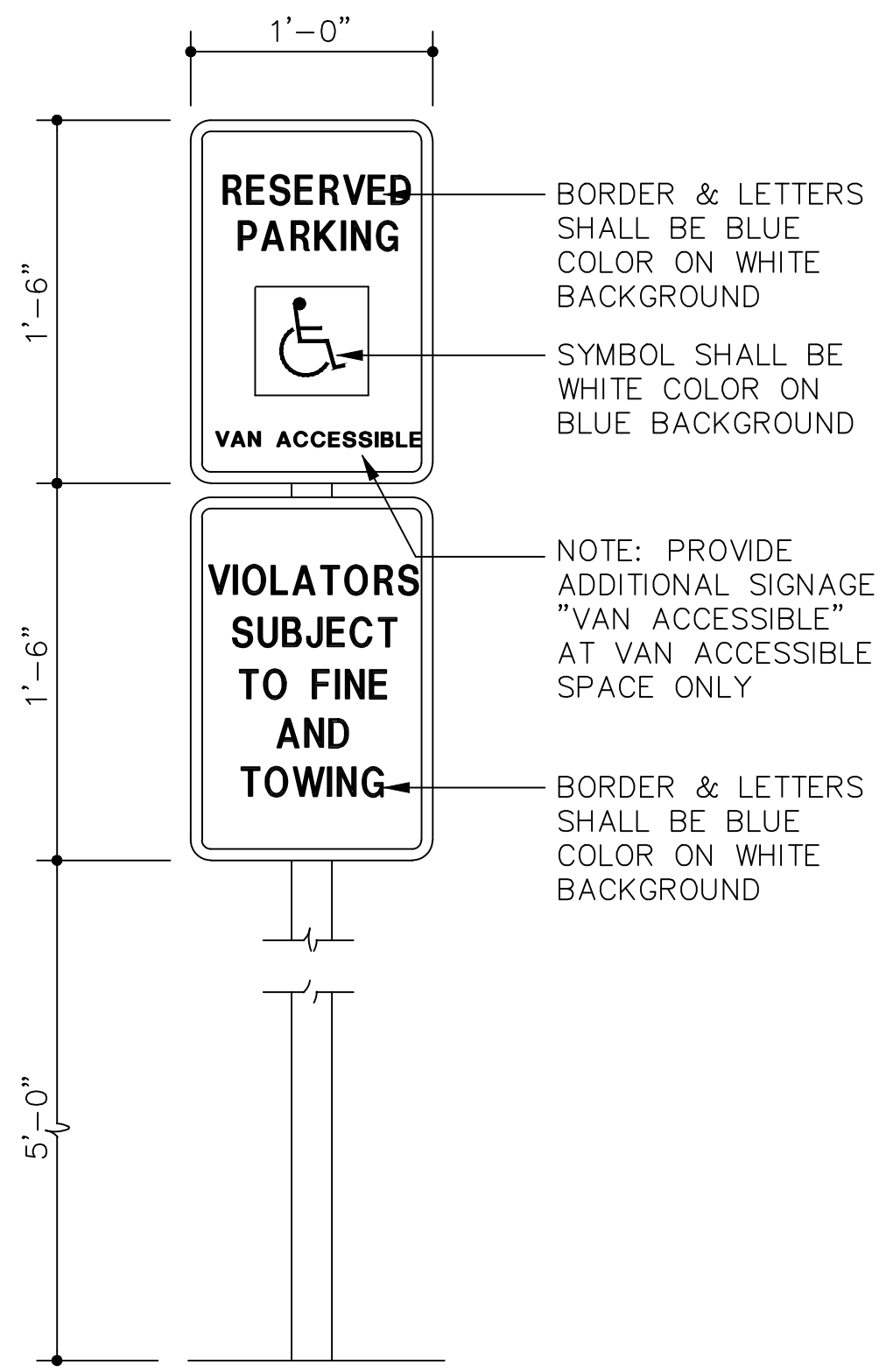
DESIGNED BY: LS, MR
REVIEWED BY: IL
DRAWN BY: LS, MR

BGE

BROWN & GAY ENGINEERS, INC.
1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TX 78721
TELEPHONE NO. F-1046
TEL: 012-079-0406 www.browngay.com

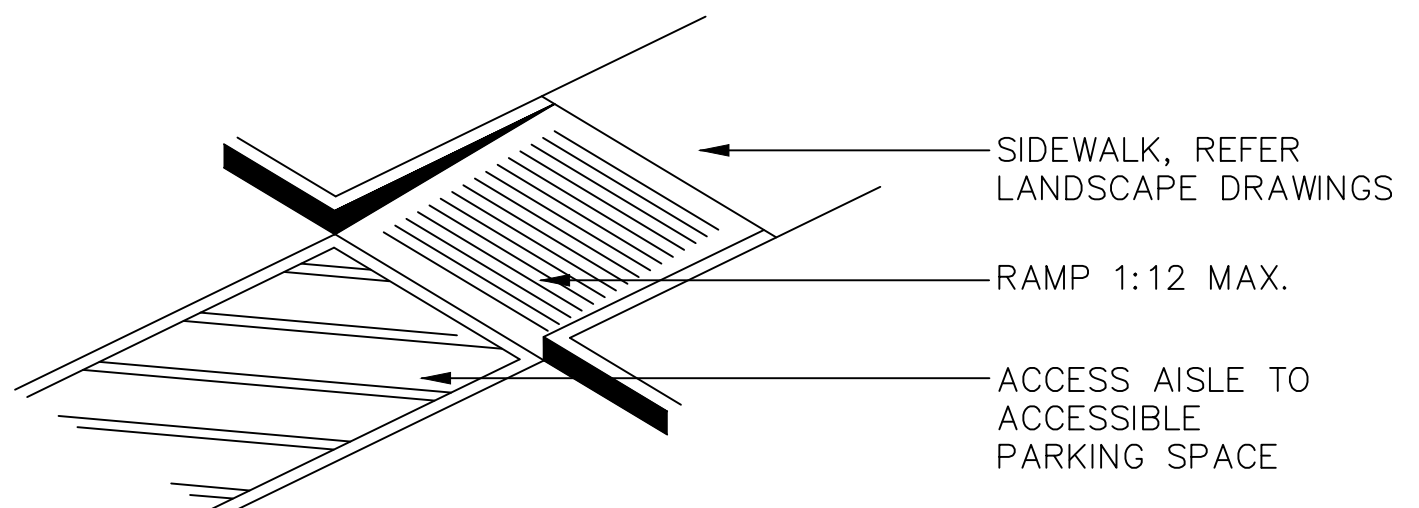
SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
BASTROP, TEXAS
SITE DETAILS (1 OF 2)

SHEET
10 OF 29

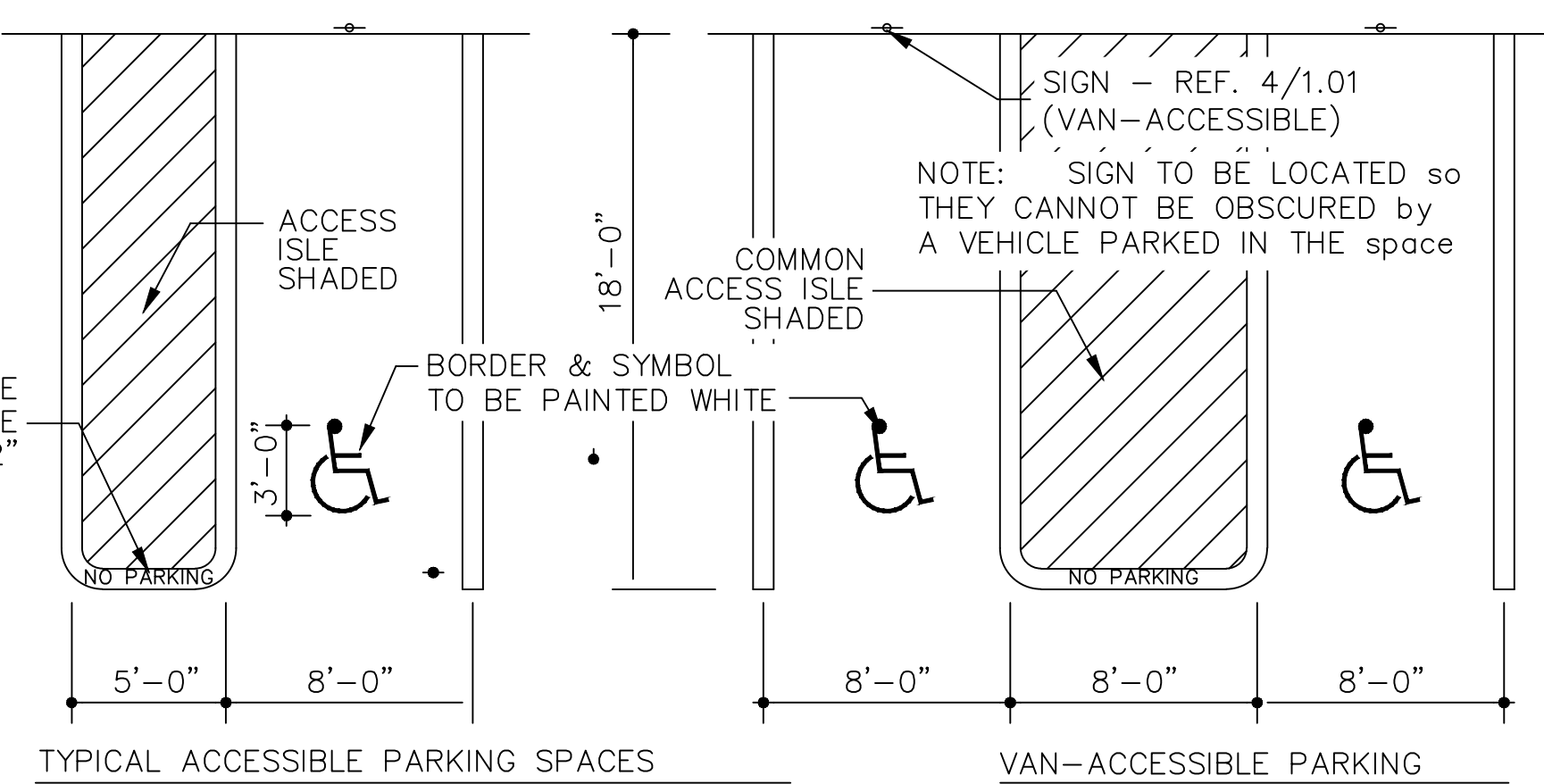


1 SIGNAGE

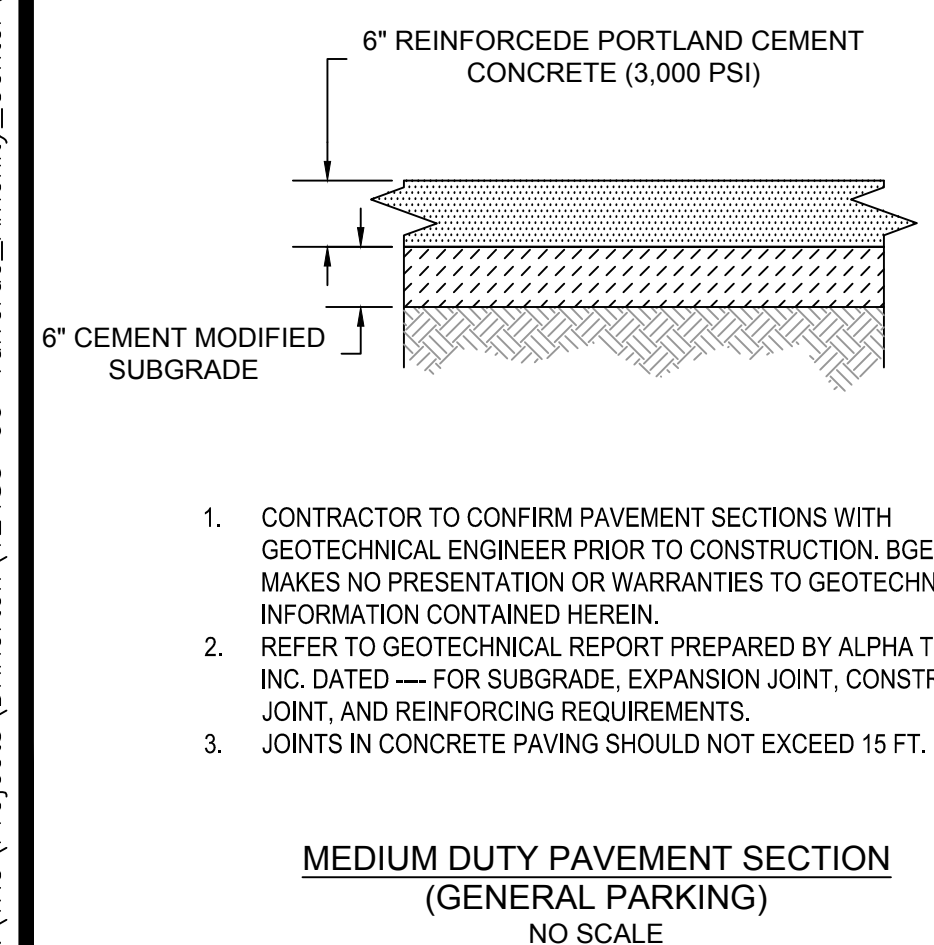
3 TYPICAL ACCESSIBLE RAMP



2 TYPICAL ACCESSIBLE CROSSWALK

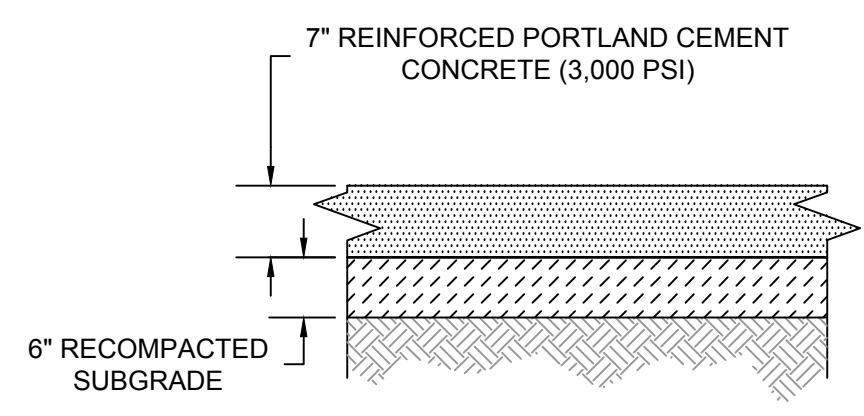


4 ACCESSIBLE PARKING



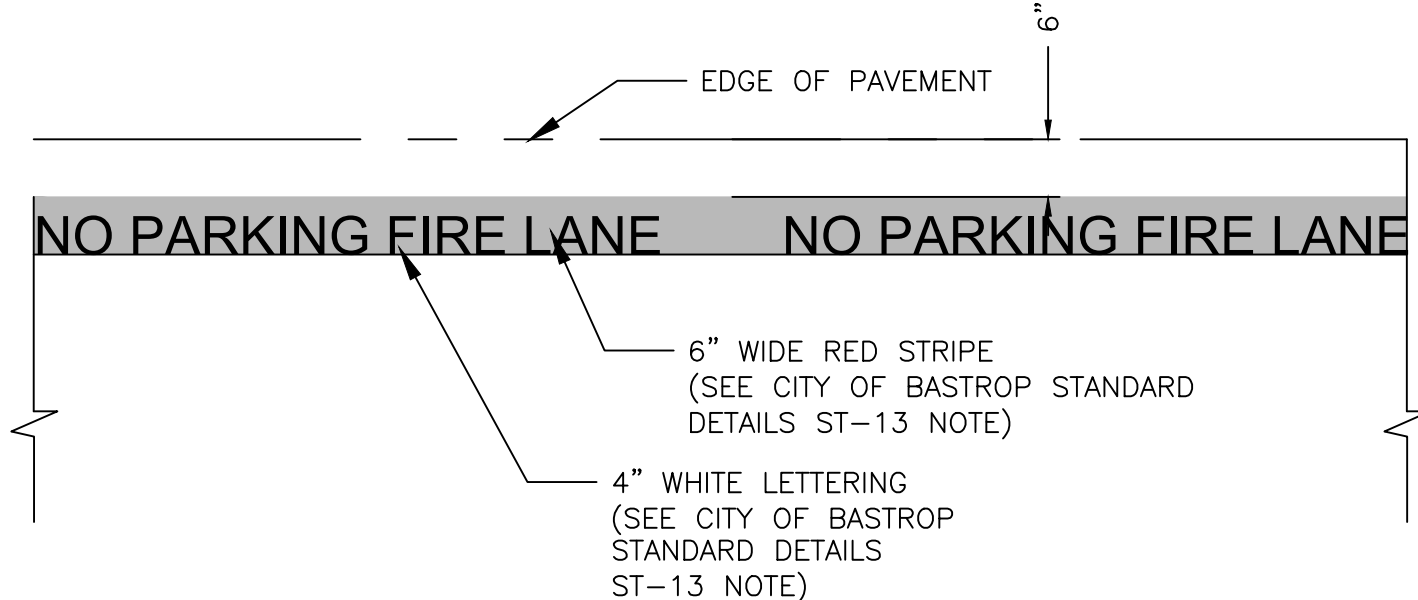
- CONTRACTOR TO CONFIRM PAVEMENT SECTIONS WITH GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. BGE, INC. MAKES NO PRESENTATION OR WARRANTIES TO GEOTECHNICAL INFORMATION CONTAINED HEREIN.
- REFER TO GEOTECHNICAL REPORT PREPARED BY ALPHA TESTING, INC. DATED — FOR SUBGRADE, EXPANSION JOINT, CONSTRUCTION JOINT, AND REINFORCING REQUIREMENTS.
- JOINTS IN CONCRETE PAVING SHOULD NOT EXCEED 15 FT.

MEDIUM DUTY PAVEMENT SECTION (GENERAL PARKING) NO SCALE

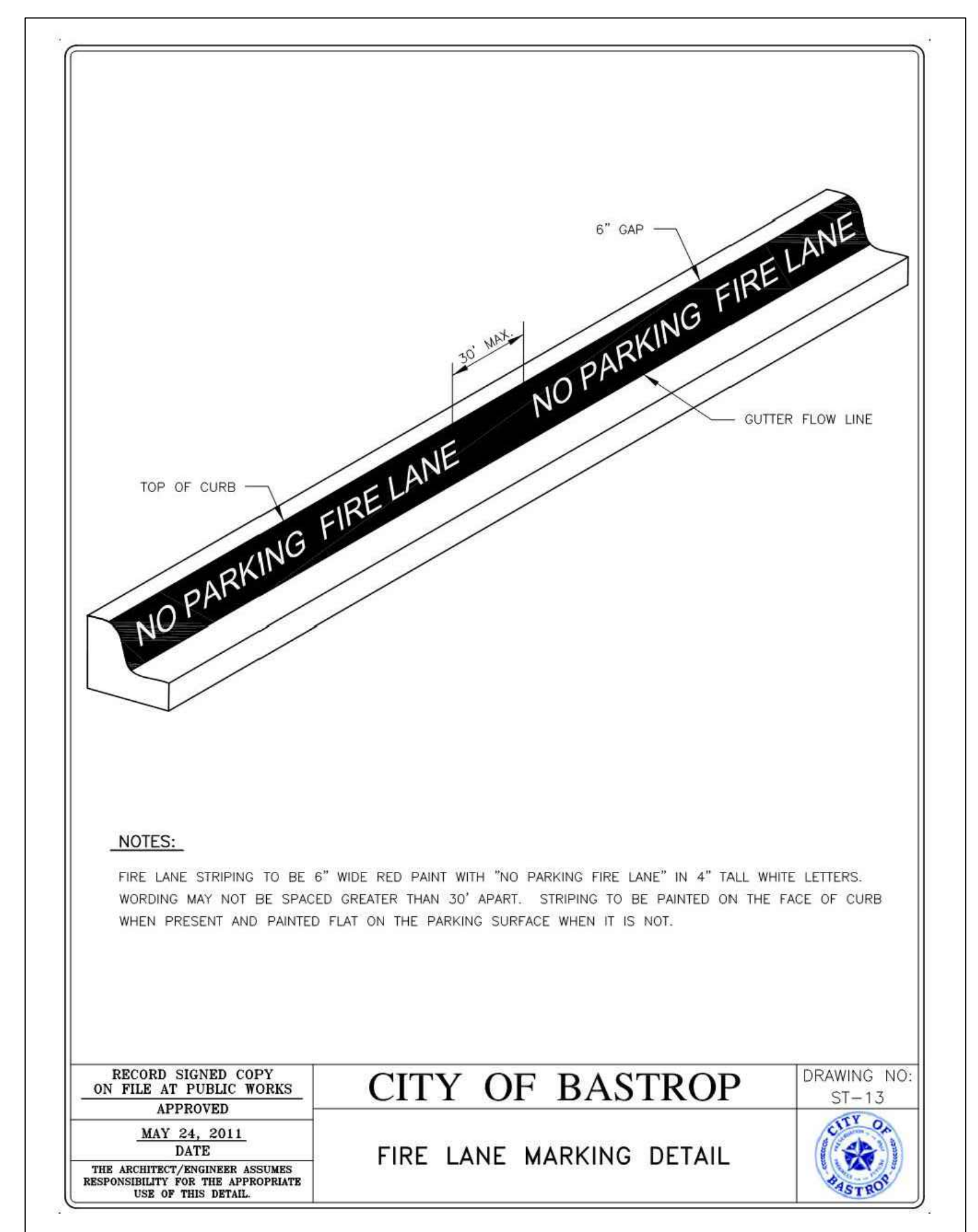
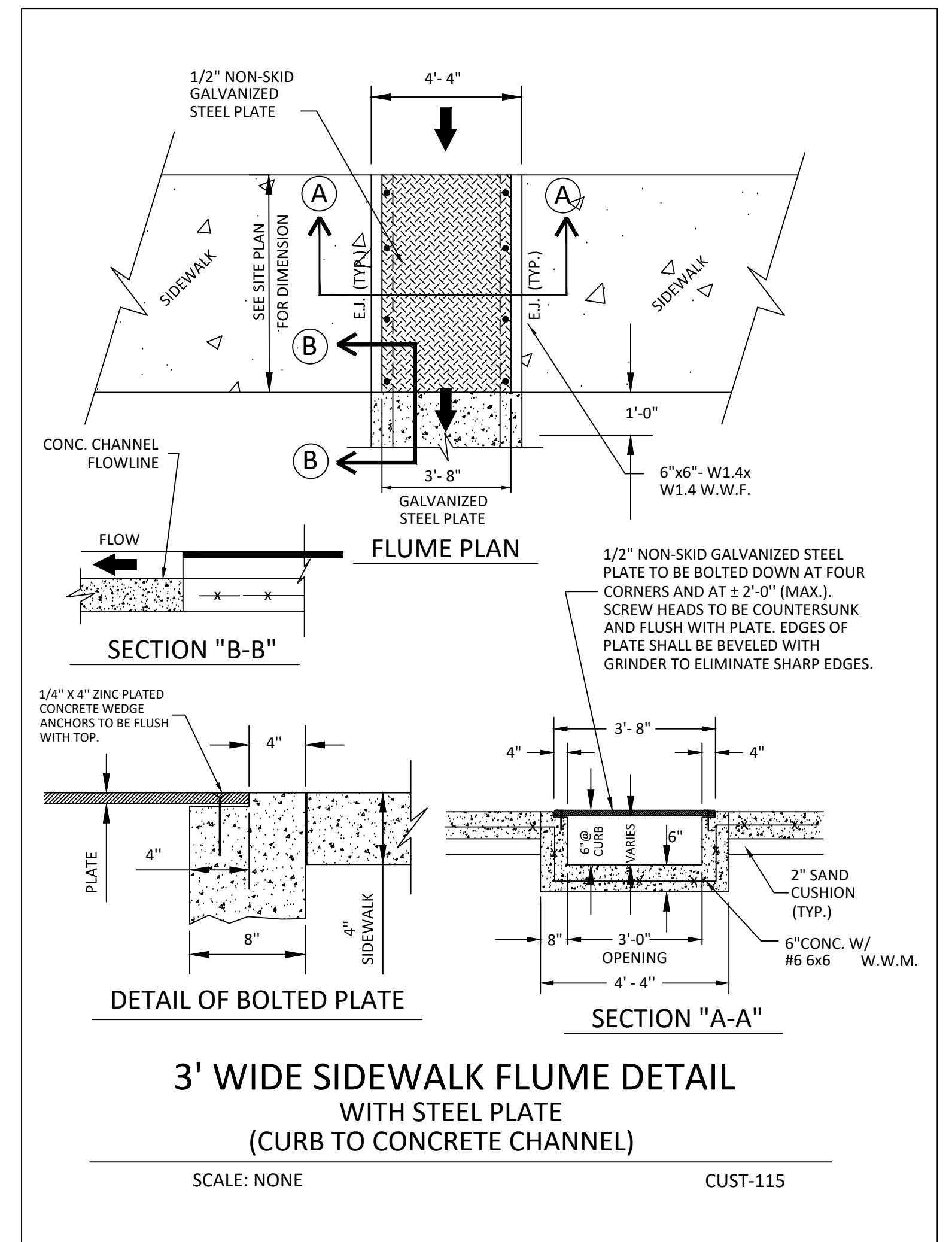


- CONTRACTOR TO CONFIRM PAVEMENT SECTIONS WITH GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. BGE, INC. MAKES NO PRESENTATION OR WARRANTIES TO GEOTECHNICAL INFORMATION CONTAINED HEREIN.
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- JOINTS IN CONCRETE PAVING SHOULD NOT EXCEED 15 FT.

HEAVY DUTY PAVEMENT SECTION (ACCESS DRIVES) NO SCALE



EDGE OF PAVEMENT STRIPING DETAIL



RECORDED SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED
 MAY 24, 2011 DATE
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.

CITY OF BASTROP
 FIRE LANE MARKING DETAIL

DRAWING NO: ST-13
 121846
 CITY OF BASTROP

Item 3B
 DATE
 REV
 DESCRIPTION

DESIGNED BY: LS, MR
 REVIEWED BY: IL
 DRAWN BY: LS, MR

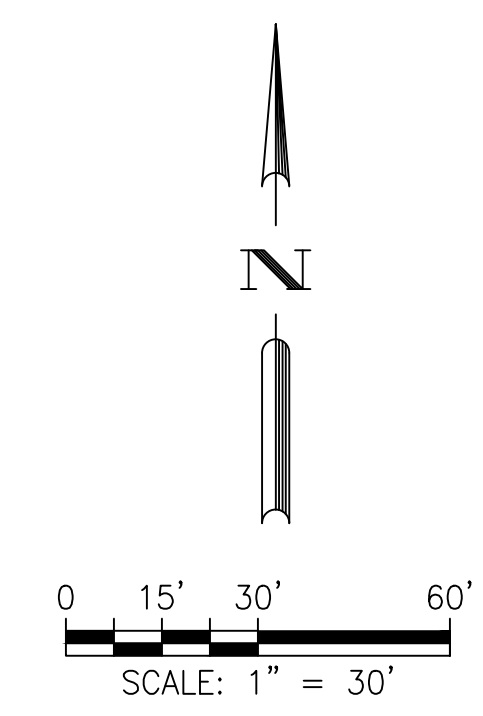
BGE
 BROWN & GAY ENGINEERS, INC.
 1701 DIRECTORS BLVD., SUITE 1000
 AUSTIN, TX 78731
 Registration No. F-1046
 TEL: 512-979-4466 www.browngay.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
 BASTROP, TEXAS

SITE DETAILS (2 OF 2)

SHEET 11 OF 29

BRIAN J. GRACE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF TEXAS



LEGEND

---	PROPERTY BOUNDARY
- - -	EASEMENT
W	WATER LINE
---	WASTEWATER LINE
F	FIRE LANE
○ F	FIRE HYDRANT ASSEMBLY
○ V	GATE VALVE
○ D	CAP
○	FIRE DEPARTMENT CONNECTION

- BASTROP FIRE DEPARTMENT NOTES:**
1. THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.
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 5. FIRE LANES DESIGNATED ON SITE PLANS SHALL BE REGISTERED WITH THE BASTROP FIRE DEPARTMENT AND INSPECTED FOR FINAL APPROVAL.
 6. THE MINIMUM VERTICAL CLEARANCE REQUIRED FOR EMERGENCY VEHICLE ACCESS ROADS OR DRIVES IS 13 FEET - 6 INCHES FOR THE FULL WIDTH OF THE ROADWAY OR DRIVEWAY.
 7. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.



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DESIGNED BY: LS, MR REVIEWED BY: IL DRAWN BY: LS, MR	REVISIONS REV. DATE DESCRIPTION
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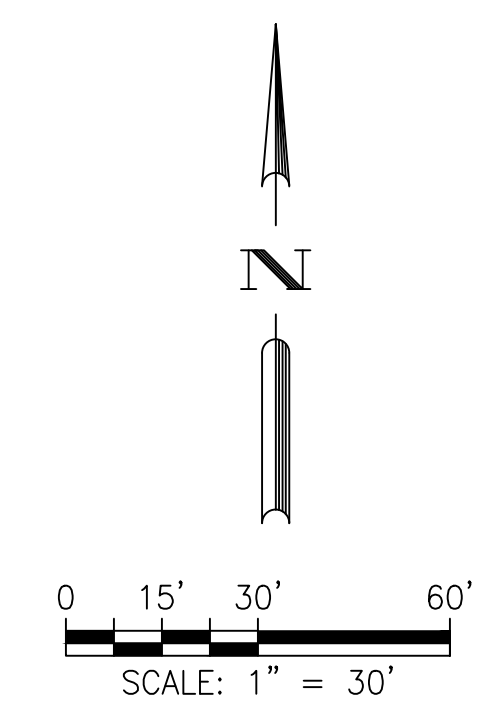
BROWN & GAY ENGINEERS, INC.
 1701 DIRECTORS BLVD., SUITE 1000
 AUSTIN, TX 78721
 TYPE Registration No. F-1046
 TEL: 512-979-4600 www.browngay.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
 BASTROP, TEXAS

FIRE ACCESS AND CONTROL PLAN



SHEET
12 OF 29

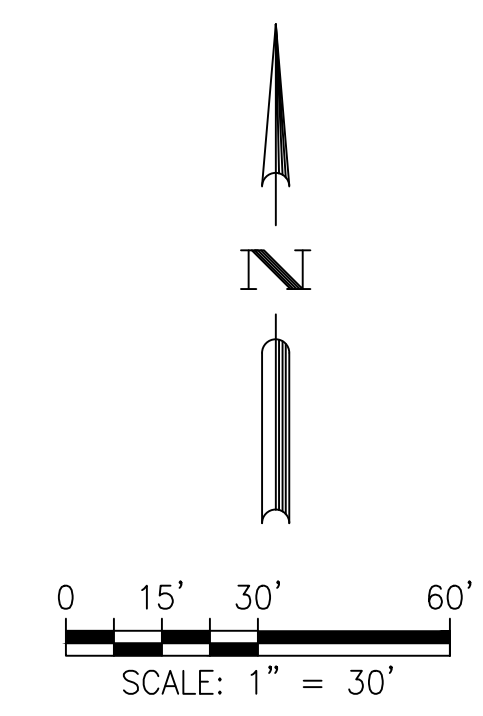
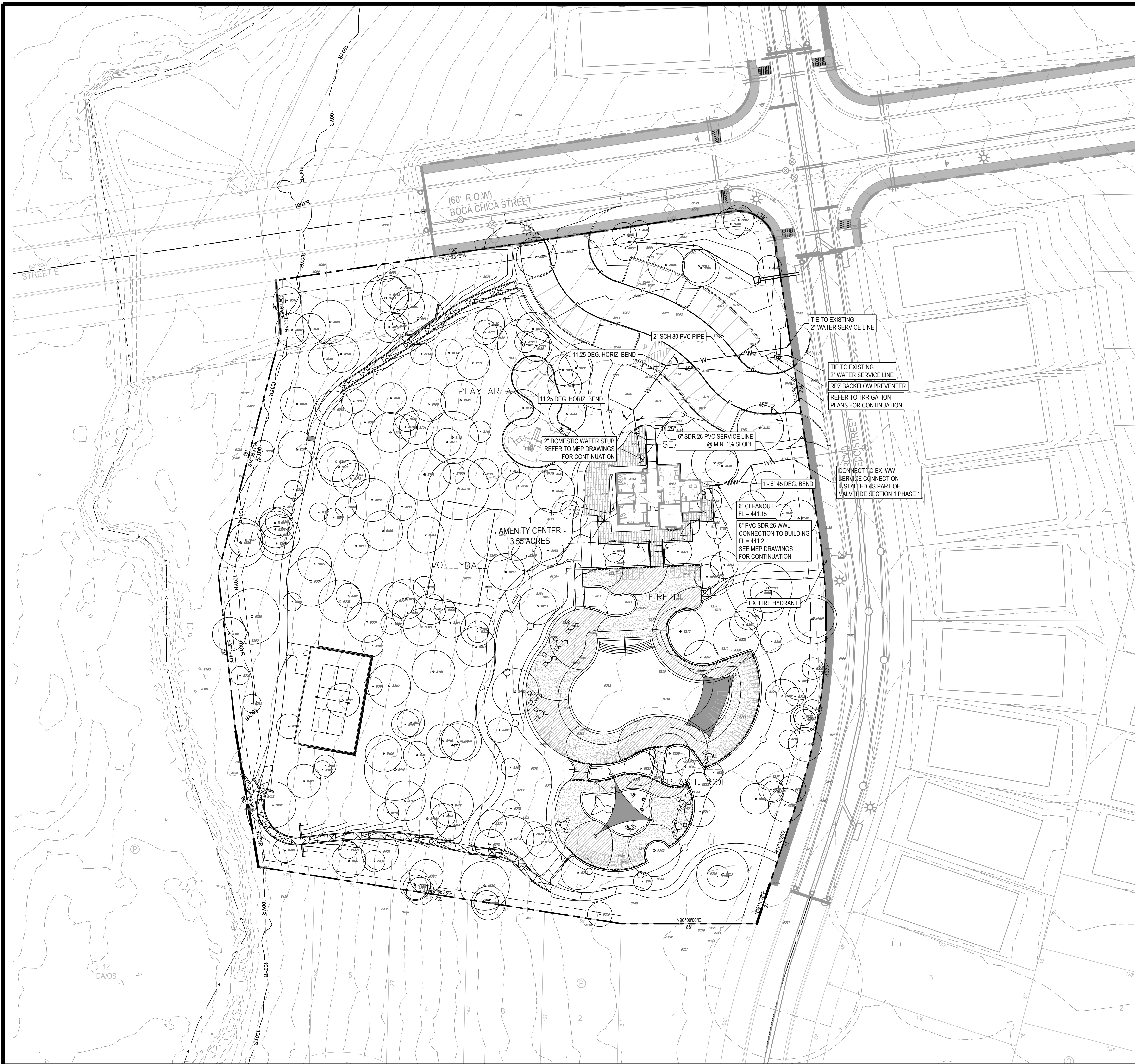
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LEGEND

---	PROPERTY BOUNDARY
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	SWALE
EG	EXISTING GRADE
FG	FINISH GRADE
TOC	TOP OF CURB
BOC	BOTTOM OF CURB
TIGRATE	TOP OF GRATE INLET
T/STAIR	TOP OF STAIR
B/STAIR	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
FFE	FINISH FLOOR ELEVATION
HP=500.0	HIGH POINT
LP=100.0	LOW POINT

Item 3B	DATE
AP	REV
DESCRIPTION	REV
DESIGNED BY: LS, MR	
REVIEWED BY: IL	
DRAWN BY: LS, MR	
BGE	
BROWN & GAY ENGINEERS, INC. 1701 DIRECTORS BLVD., SUITE 1000 AUSTIN, TX 78721 Registration No. F-1046 TEL: 512-979-4466 www.bge.com	
SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS	
OVERALL GRADING PLAN	
	
	
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SHEET 13 OF 29	23



LEGEND

---	PROPERTY BOUNDARY
- - -	BUILDING SETBACK
- - - -	EXISTING MAJOR CONTOUR
- - - - -	EXISTING MINOR CONTOUR
— W —	WATER LINE
— WW —	WASTEWATER LINE
---	SWALE
○	WASTEWATER MANHOLE
○	CLEANOUT
⊕	FIRE HYDRANT ASSEMBLY
●	GATE VALVE
⊖	CAP
⊕	FIRE DEPARTMENT CONNECTION

* ALL WATER & WASTEWATER SYMBOLS ARE NOT TO SCALE AND ARE ONLY SHOWN FOR ILLUSTRATION PURPOSES.

- NOTES:**
1. ALL ITEMS ARE TO BE FURNISHED AND INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 2. ALL GRAVITY LINES ARE TO BE INSTALLED FROM DOWNSTREAM TO UPSTREAM.
 3. ALL WASTEWATER LINES SHALL BE PVC SDR-26 CONFORMING TO ASTM D3034 WITH MINIMUM PIPE STIFFNESS OF 115 PSI AS DETERMINED BY ASTM D2412.
 4. TRACER TAPE SHALL BE PLACED ABOVE ALL PLASTIC PIPES.
 5. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, PRIOR TO UTILITY INSTALLATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY BETWEEN THE PLANS AND EXISTING UTILITIES IN THE FIELD.
 6. GATE VALVES AND FIRE HYDRANTS ARE NOT ALLOWED IN CURBS, GUTTER PANS, OR SIDEWALKS.
 7. ALL PRIVATE WATERLINES SHALL BE C900 PVC UNLESS OTHERWISE SPECIFIED.
 8. CONTRACTOR SHALL RAISE VALVES, HYDRANTS, AND OTHER APPURTENANCES TO FINISHED GRADE UPON COMPLETION OF PAVING.
 9. ALL WATER MAINS SHALL HAVE 4 FOOT MINIMUM COVER FROM FINISHED GRADE.
 10. CONTRACTOR TO INSTALL WASTEWATER LINES UP TO 5' FROM BUILDING. COORDINATE WITH MEP PLANS AT BUILDING CONNECTION POINTS.
 11. ALL WASTEWATER INFRASTRUCTURE IS PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
 12. ALL CLEANOUTS IN PAVED AREAS SHALL HAVE TRAFFIC RATED LID AND FRAME.

REV	DESCRIPTION	DATE	BY

DESIGNED BY: LS, MR
 REVIEWED BY: IL
 DRAWN BY: LS, MR

BROWN & GAY ENGINEERS, INC.
 1701 DIRECTORS BLVD., SUITE 1000
 AUSTIN, TX 78721
 REGISTRATION NO. F-1046
 TEL: 512-979-4040 www.browngay.com

**SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
 BASTROP, TEXAS**

WATER & WASTEWATER PLAN

BRIAN J. GRACE
 121846
 LICENSED PROFESSIONAL ENGINEER

SHEET
 14 OF 29

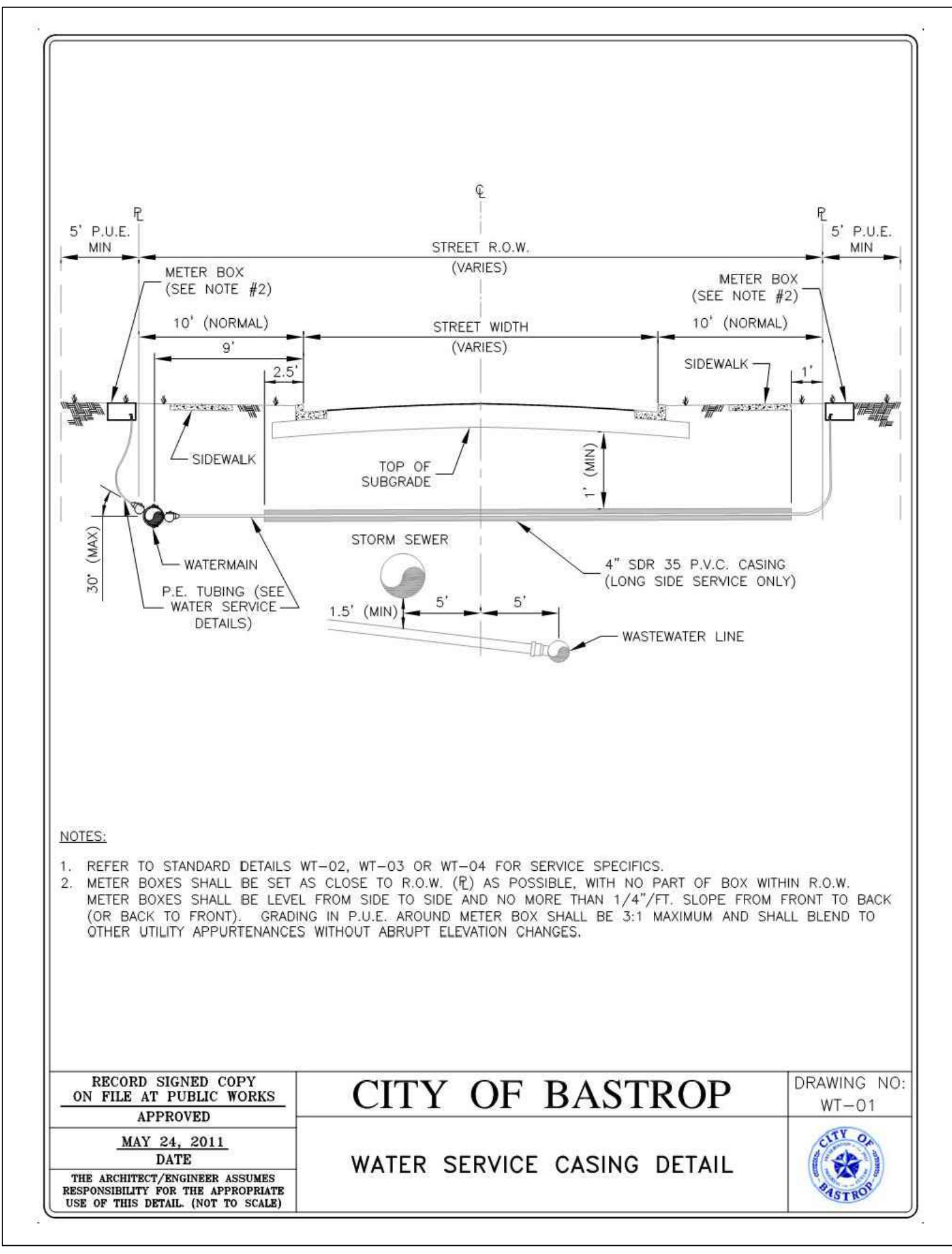


THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

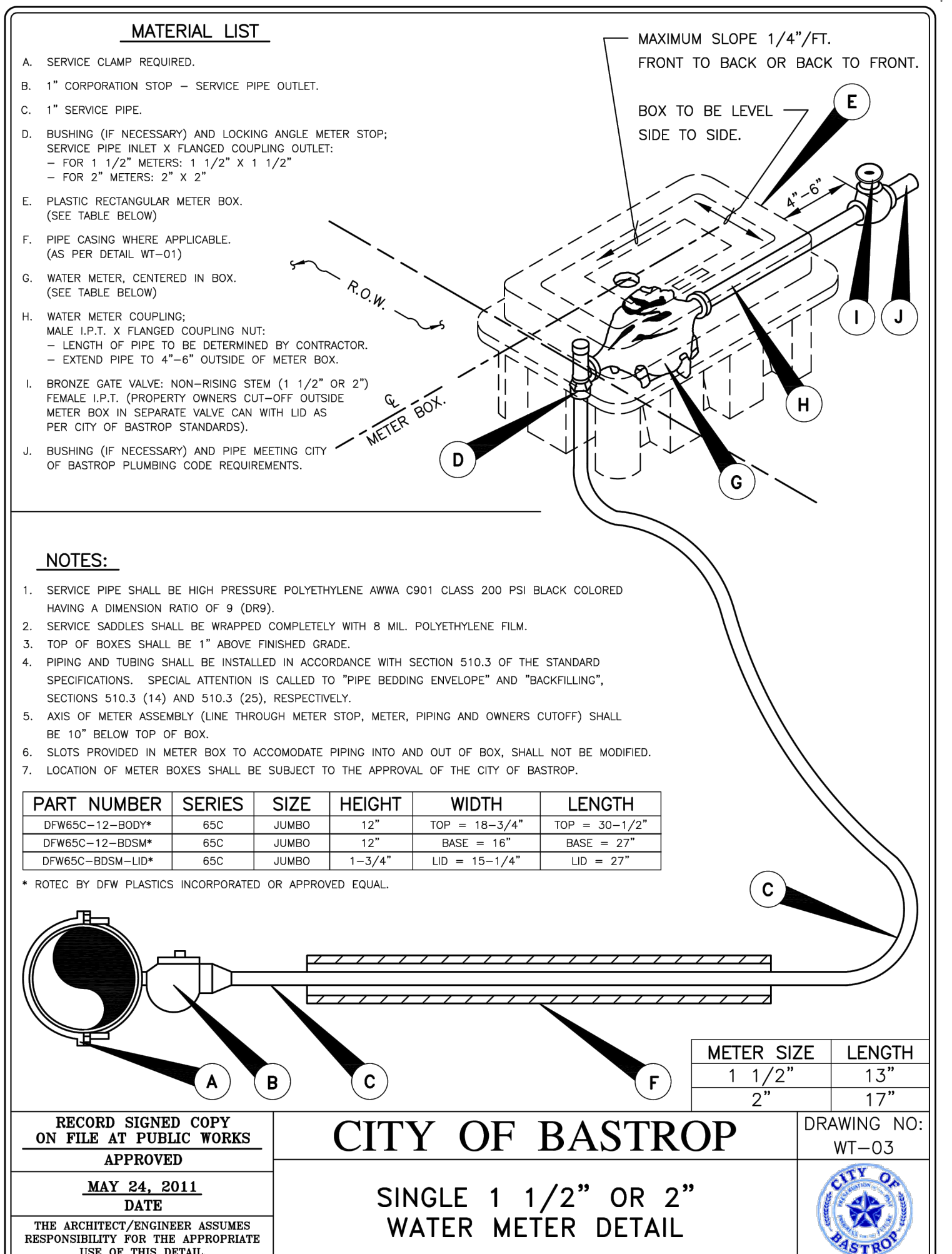


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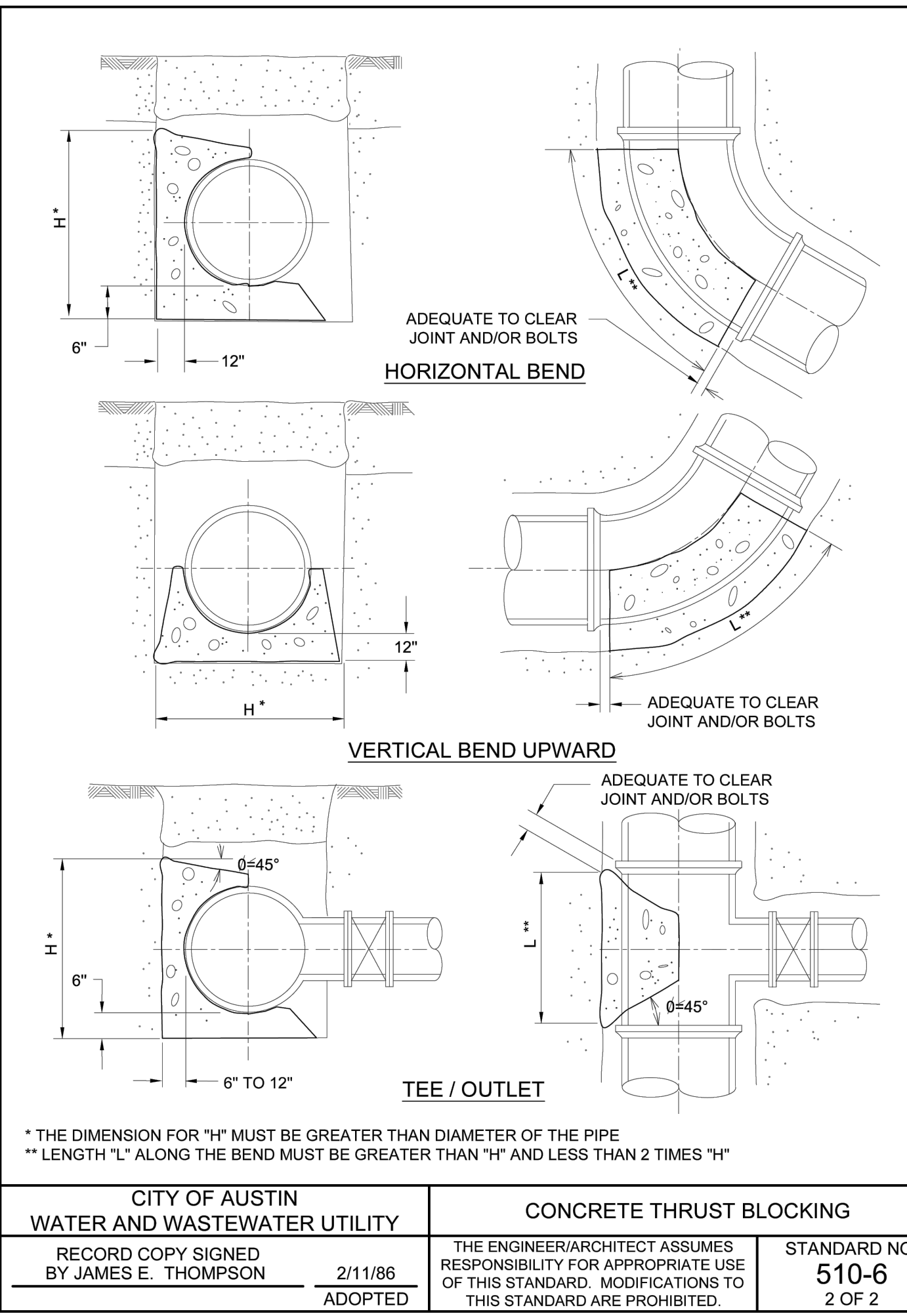
SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS WATER DETAILS (1 OF 2)



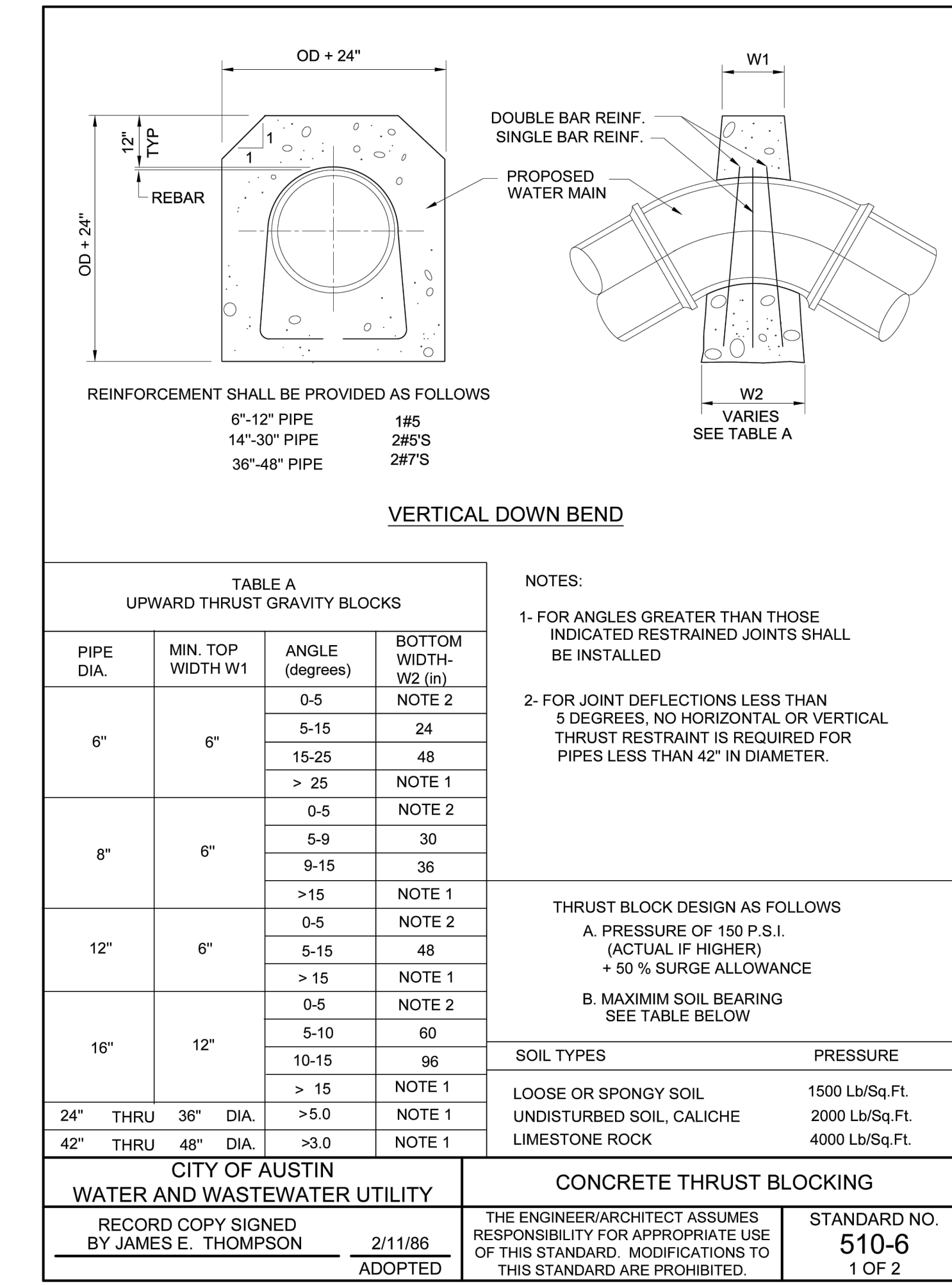
CITY OF BASTROP WATER SERVICE CASING DETAIL. RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011. DRAWING NO: WT-01



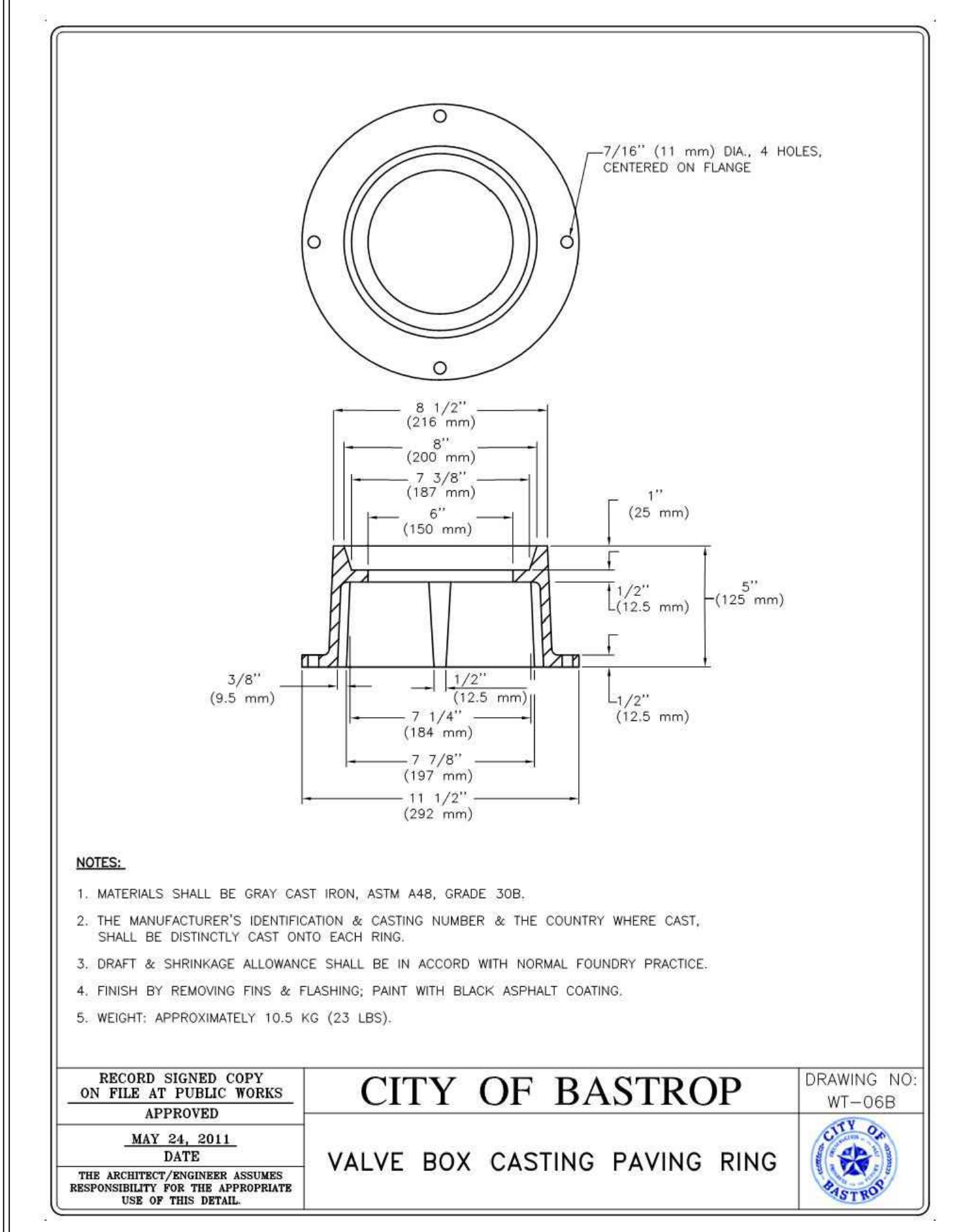
CITY OF BASTROP SINGLE 1 1/2" OR 2" WATER METER DETAIL. RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011. DRAWING NO: WT-03



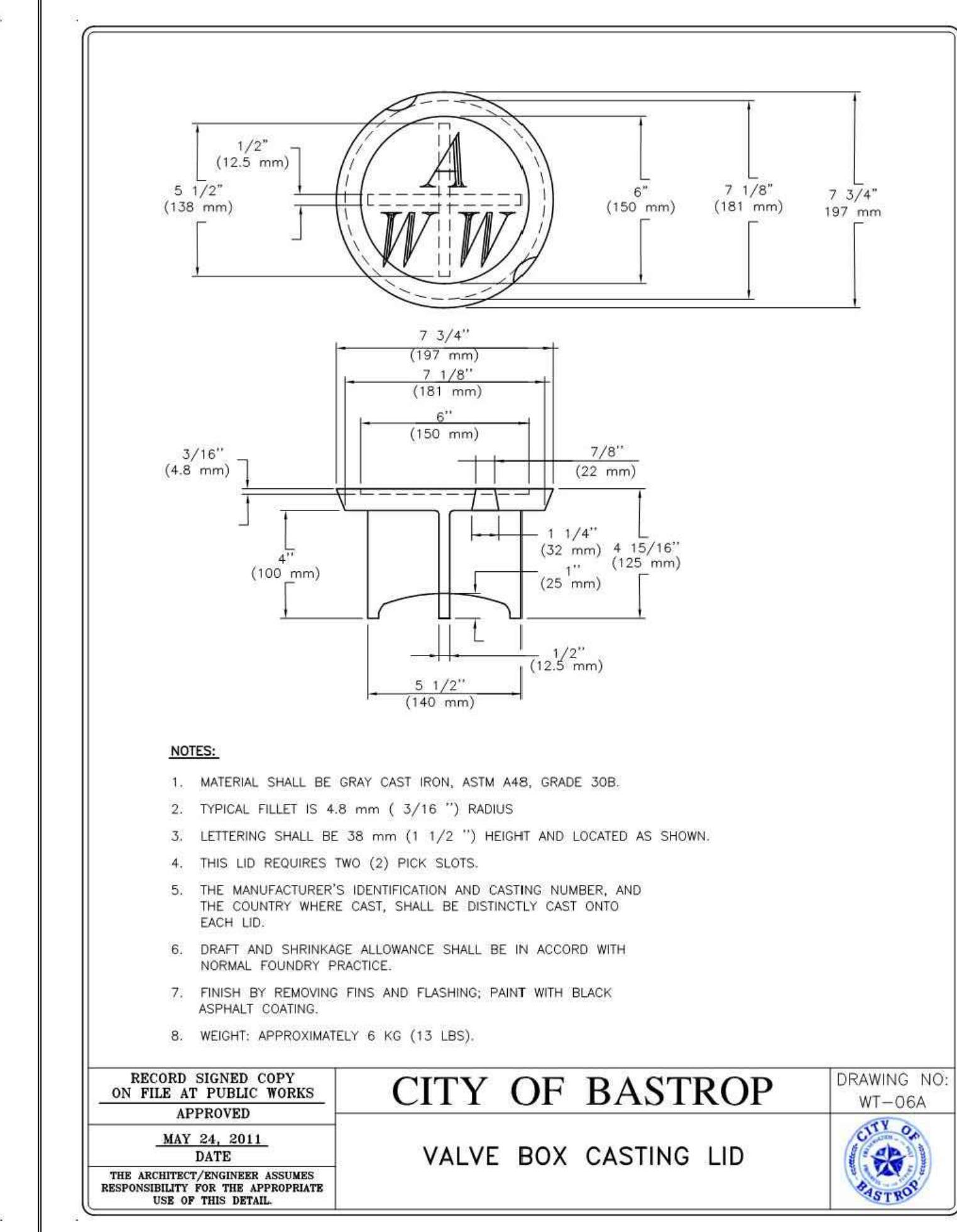
CITY OF BASTROP CONCRETE THRUST BLOCKING. RECORD COPY SIGNED BY JAMES E. THOMPSON 2/11/86 ADOPTED. STANDARD NO. 510-6 2 OF 2



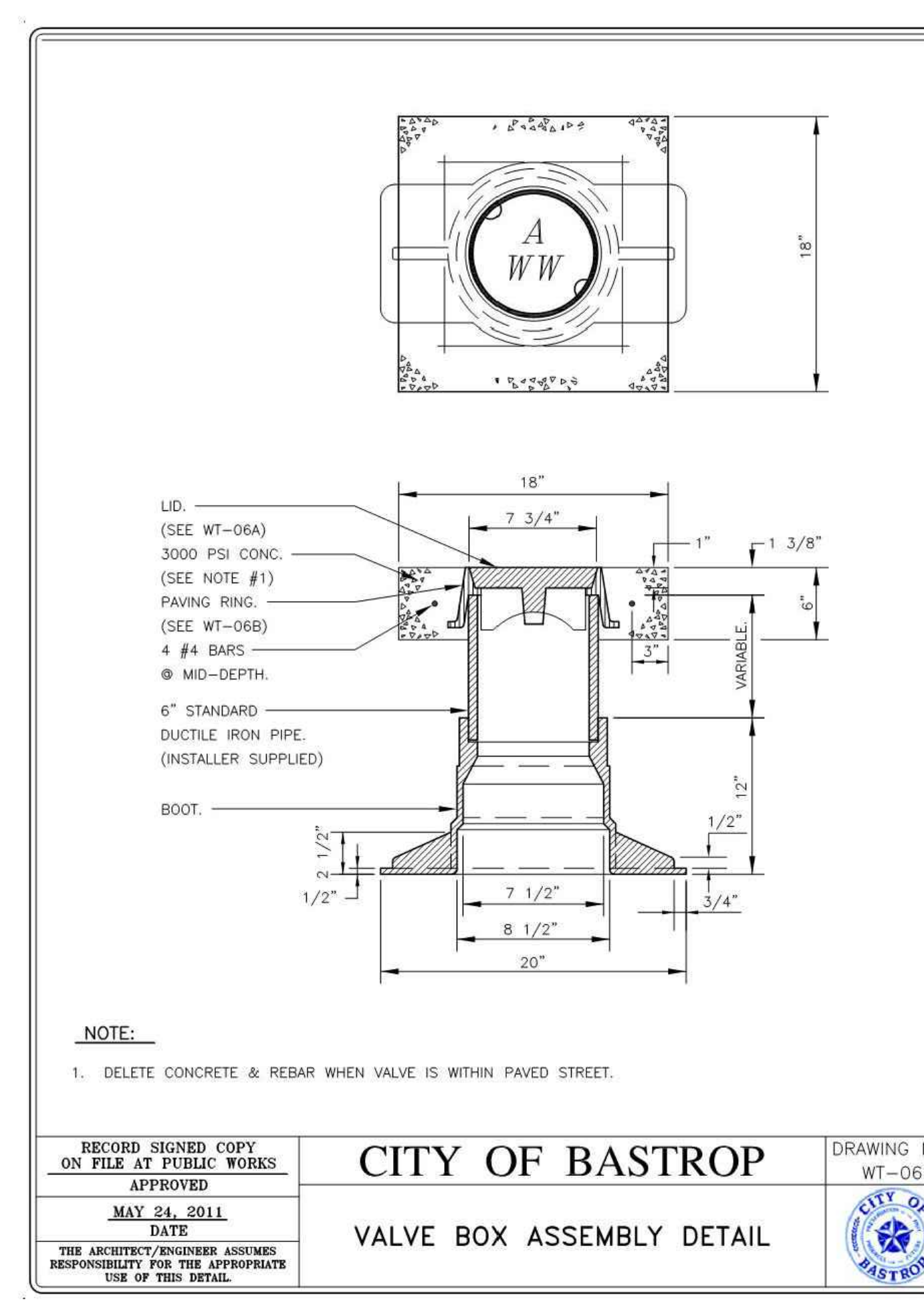
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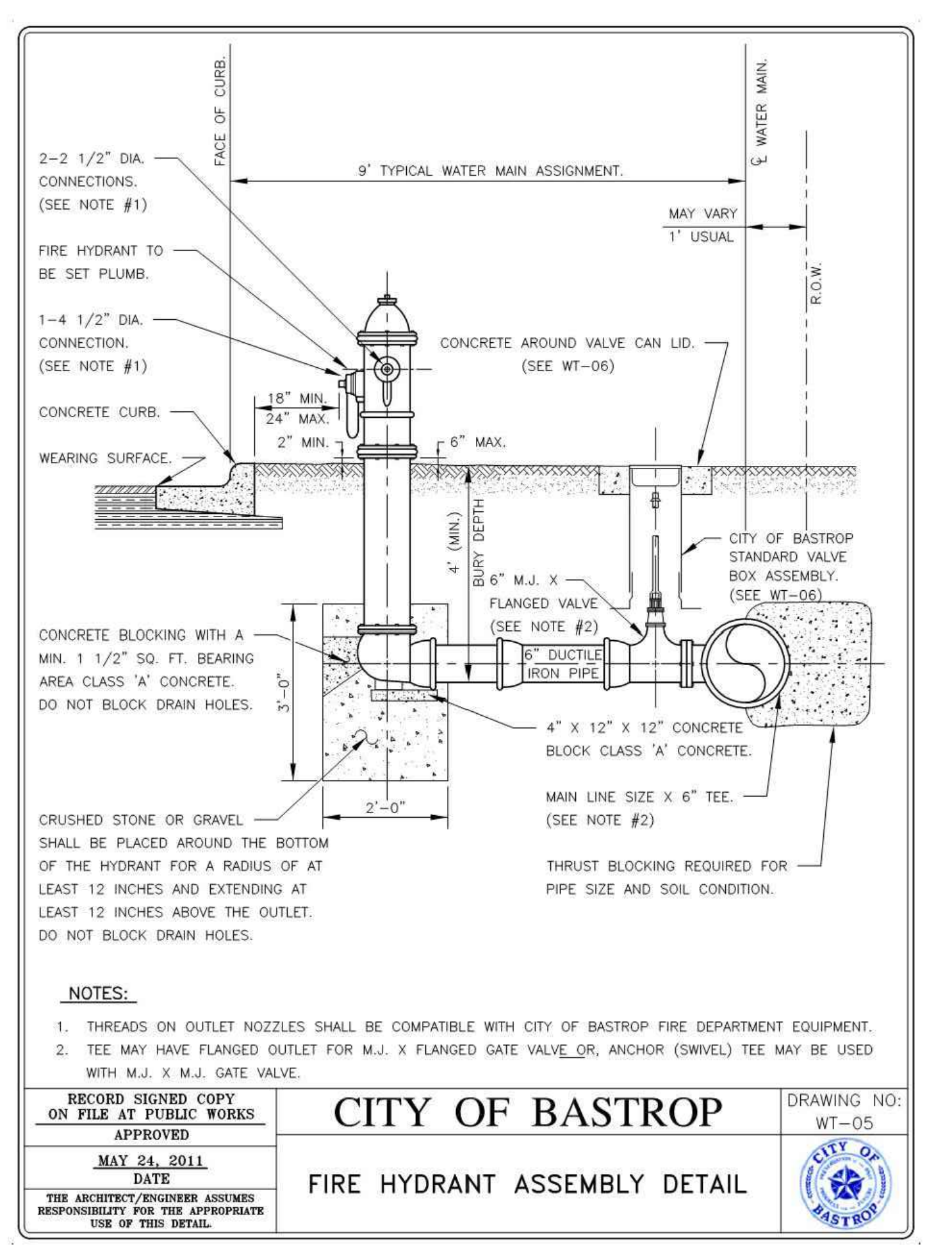
CITY OF BASTROP VALVE BOX CASTING PAVING RING. RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011. DRAWING NO: WT-06B



CITY OF BASTROP VALVE BOX CASTING LID. RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011. DRAWING NO: WT-06A



CITY OF BASTROP VALVE BOX ASSEMBLY DETAIL. RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011. DRAWING NO: WT-06



CITY OF BASTROP FIRE HYDRANT ASSEMBLY DETAIL. RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011. DRAWING NO: WT-05

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NOTES:

- H.M.A.C. THICKNESS SHALL MATCH EXISTING ASPHALT THICKNESS AND NO LESS THAN 2".
- THE CONTRACTOR SHALL SAW CUT, REMOVE AND REPLACE EXISTING PAVEMENT A MINIMUM OF 6" BEYOND EITHER THE EDGE OF THE WATERLINE TRENCH OR THE POINT WHERE EXISTING PAVEMENT IS DAMAGED DUE TO TRENCHING OPERATIONS, WHICHEVER IS GREATER. FINISHED PATCH SHALL BE NEAT AND UNIFORM.
- INSTALLATION OF BACKFILL, SAW CUTTING AND REMOVAL OF EXISTING PAVEMENT, AND SURFACE PATCH SHALL NOT BE PAID FOR SEPARATELY. COSTS FOR THESE ITEMS SHALL BE INCLUDED IN UNIT PRICE BID FOR WATERLINE PIPE.
- THE CONTRACTOR SHALL PROVIDE STEEL PLATES TO SPAN THE TRENCH AS NECESSARY OR TO ALLOW BACKFILL TO CURE. SUCH PLATES SHALL BE SUITABLE FOR VEHICLE PASSAGE OVER THE TRENCH AND SHALL BE SATISFACTORILY ANCHORED IN PLACE. COSTS FOR THIS ITEM SHALL BE INCLUDED IN UNIT PRICE BID FOR WATERLINE PIPE.
- ALL TRENCHING AND TRENCH SAFETY SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	CITY OF BASTROP WATERLINE BEDDING AND PAVEMENT REPAIR DETAIL (EXISTING PAVED SURFACE)	DRAWING NO.: WT-07
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NOTE:

ALL TRENCHING AND TRENCH SAFETY SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	CITY OF BASTROP WATERLINE BEDDING AND SURFACE REPAIR DETAIL (NON-PAVED & PROPOSED PAVED SURFACES)	DRAWING NO.: WT-08
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RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	CITY OF BASTROP VERTICAL VALVE INSTALLATION DETAIL	DRAWING NO.: WT-11
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RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	CITY OF BASTROP HORIZONTAL VALVE INSTALLATION DETAIL	DRAWING NO.: WT-12
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RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	CITY OF BASTROP COMPOUND WATER METER VAULT DETAIL	DRAWING NO.: WT-13
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SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
BASTROP, TEXAS

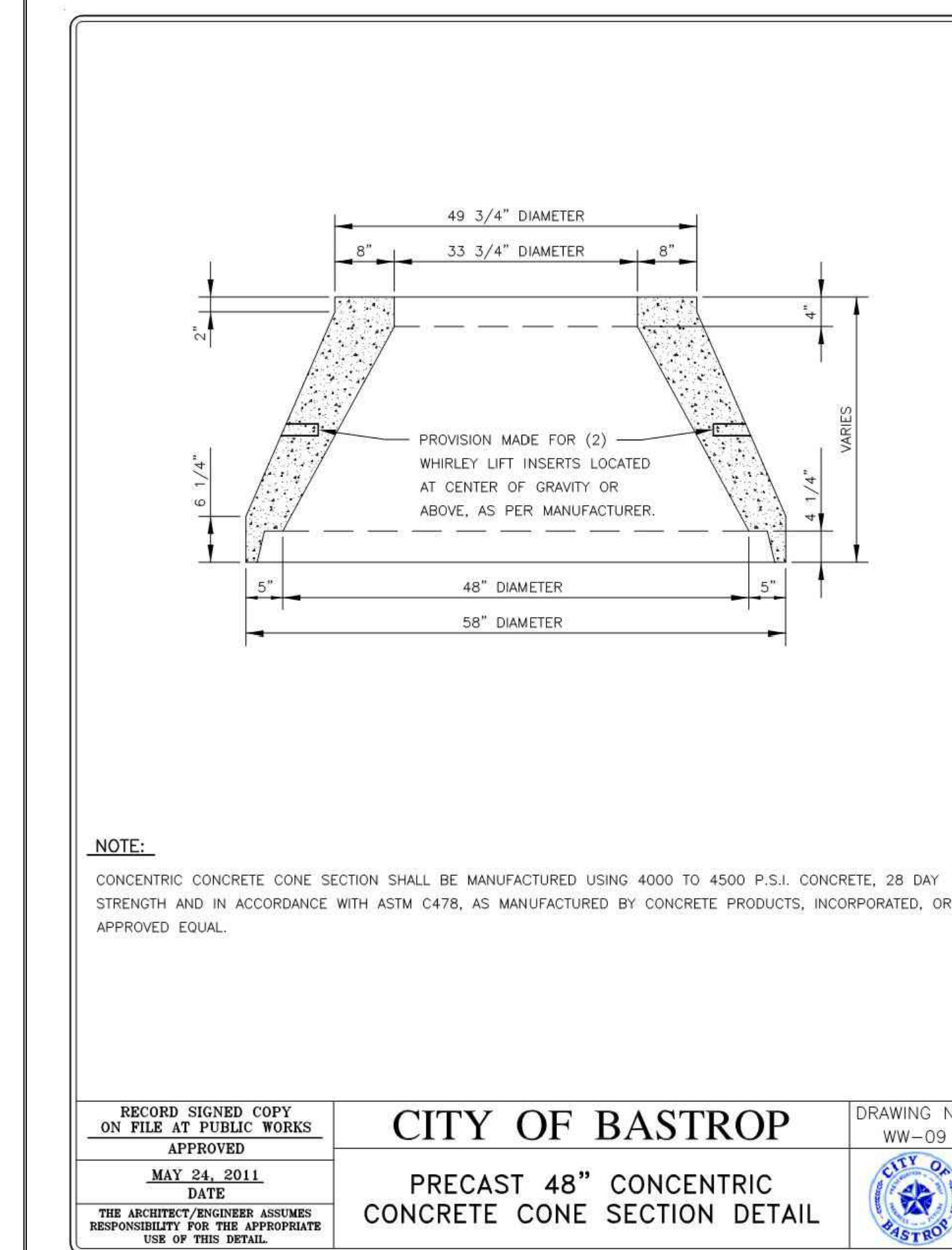
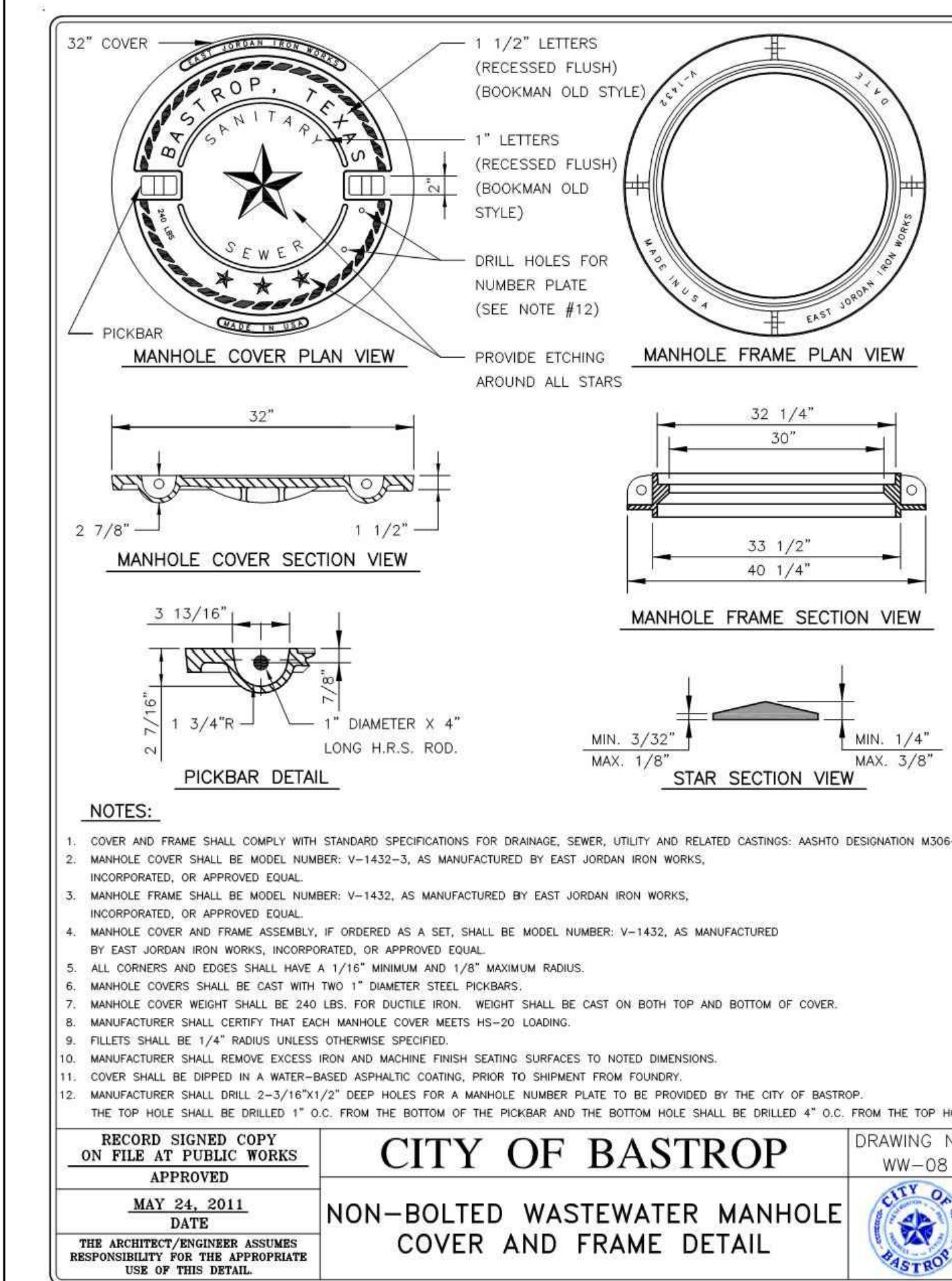
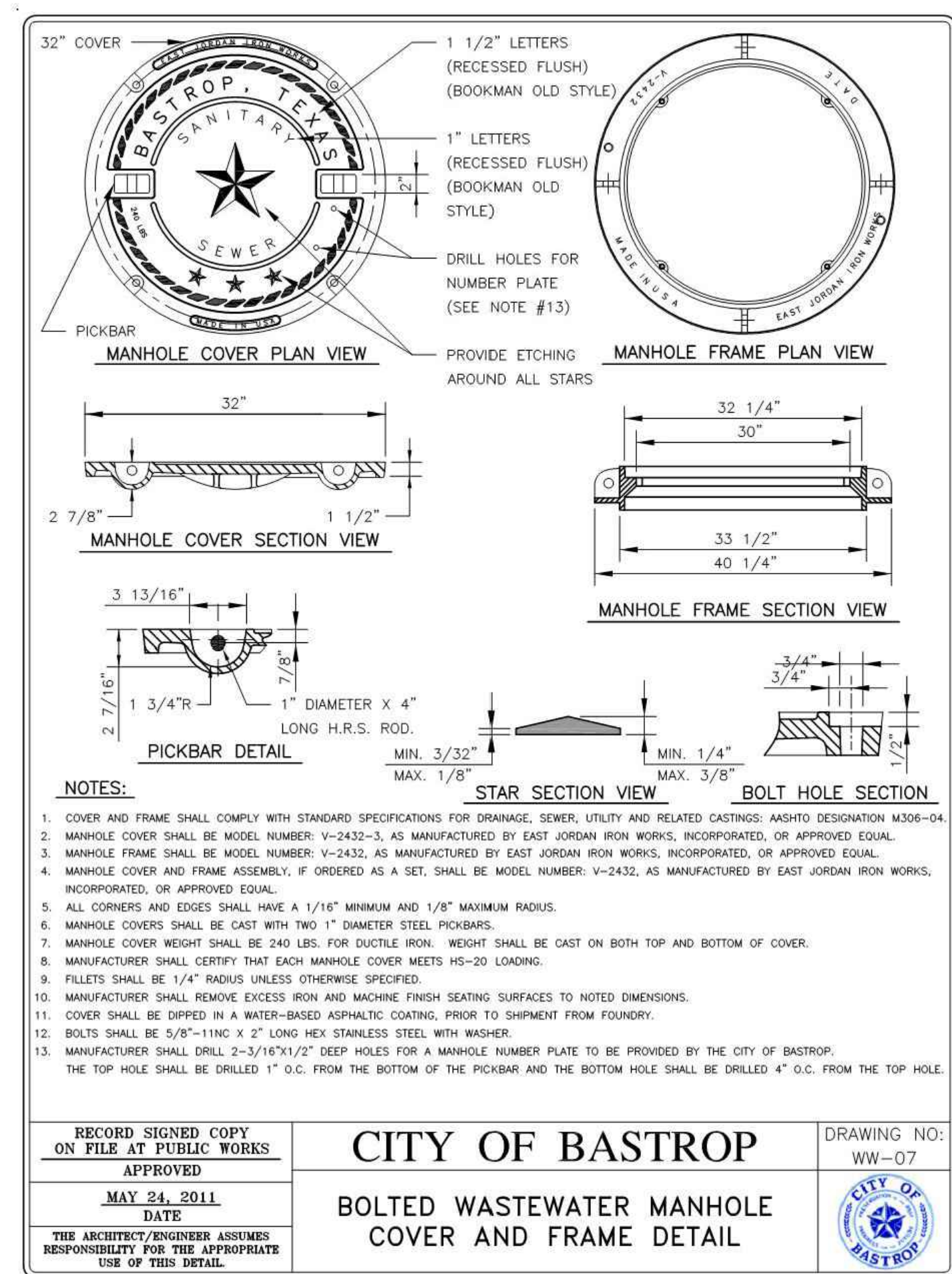
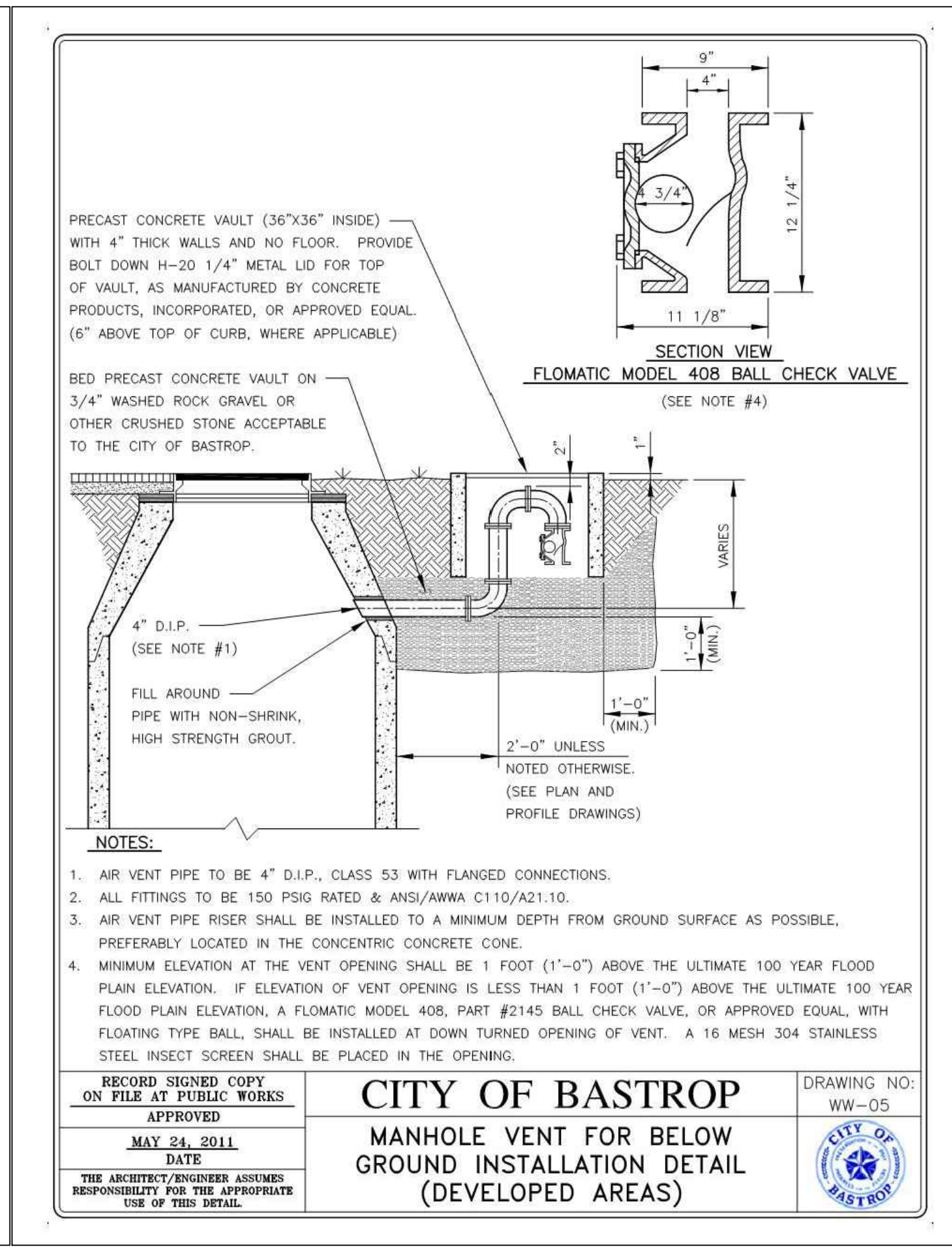
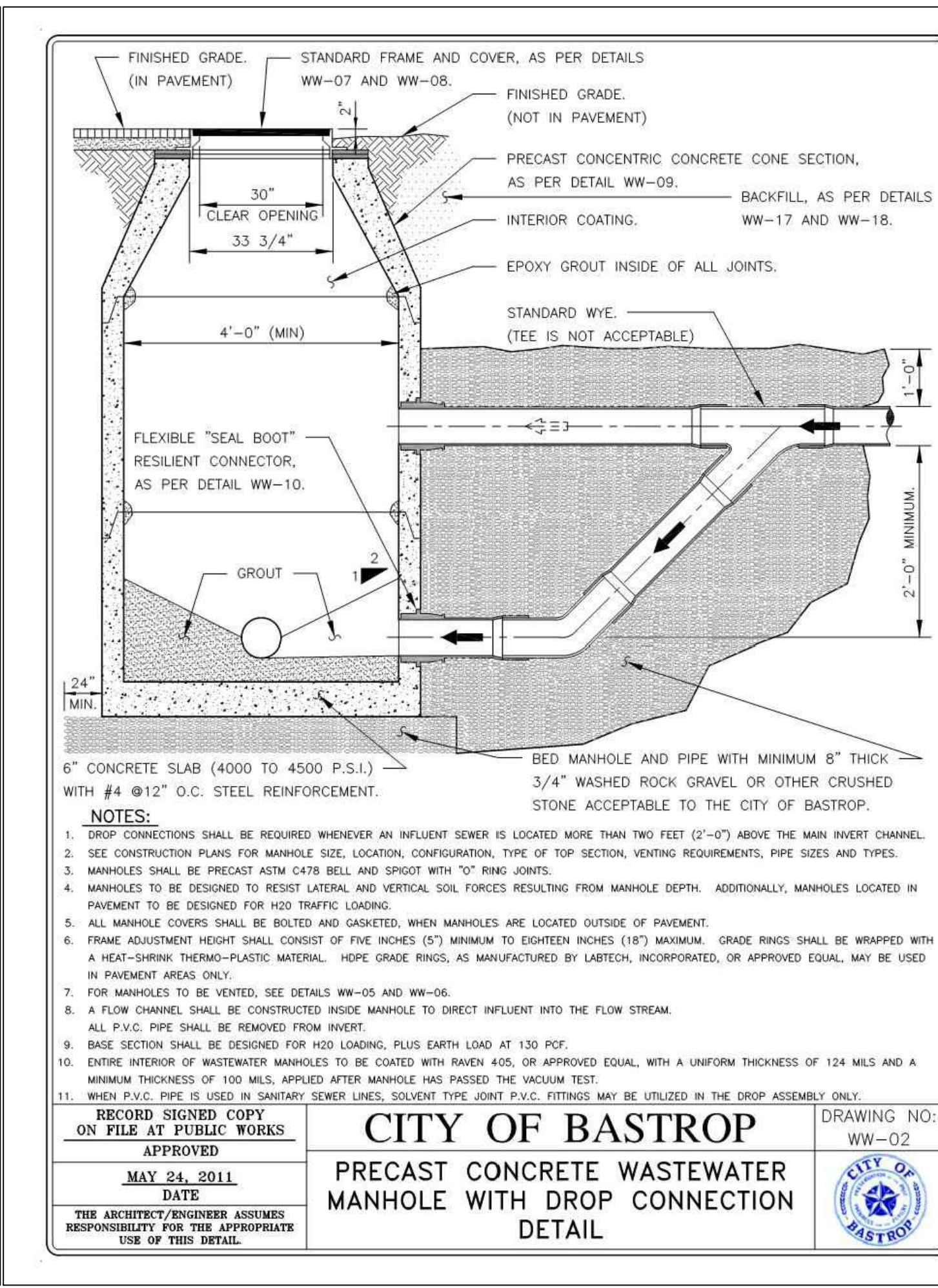
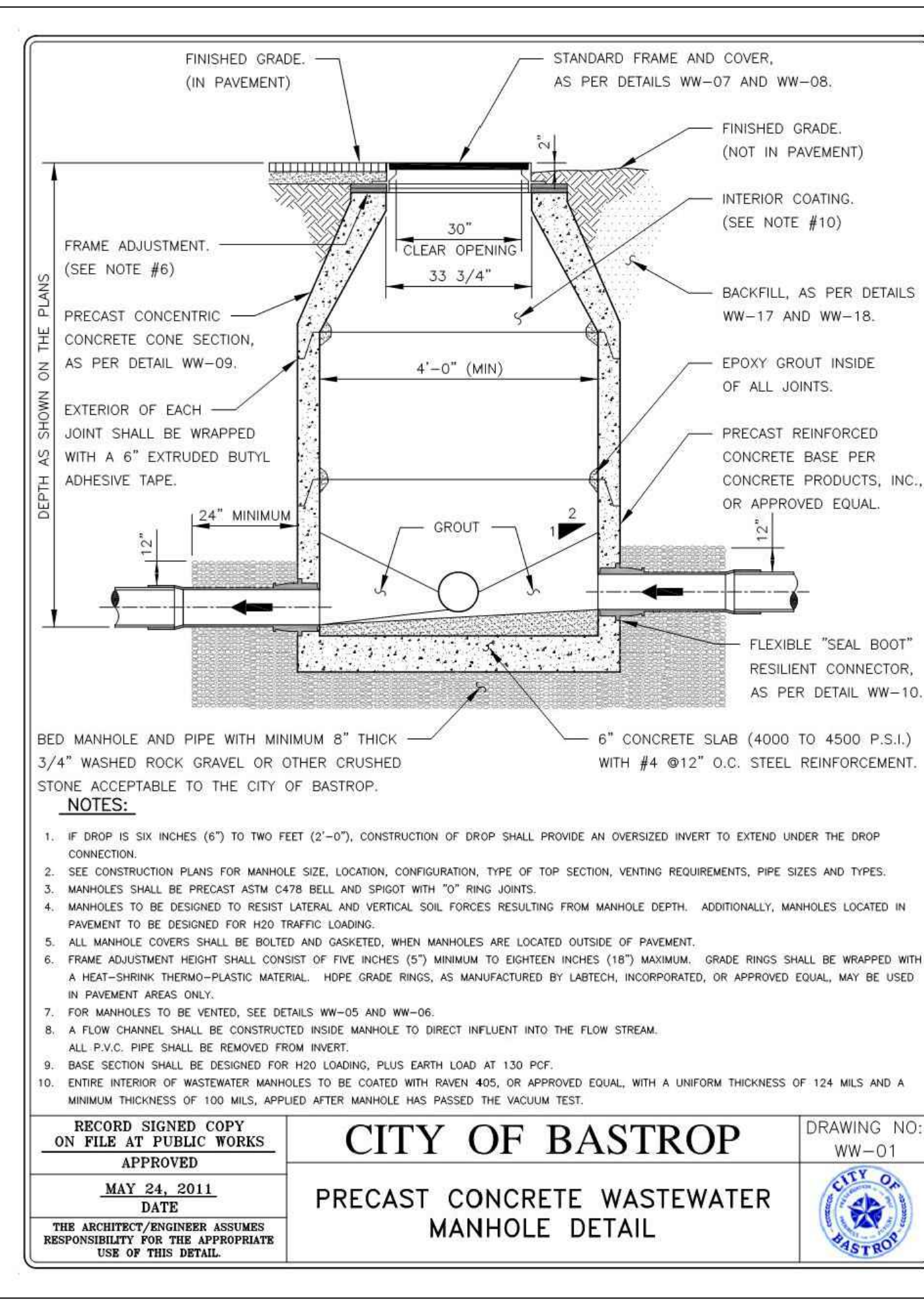
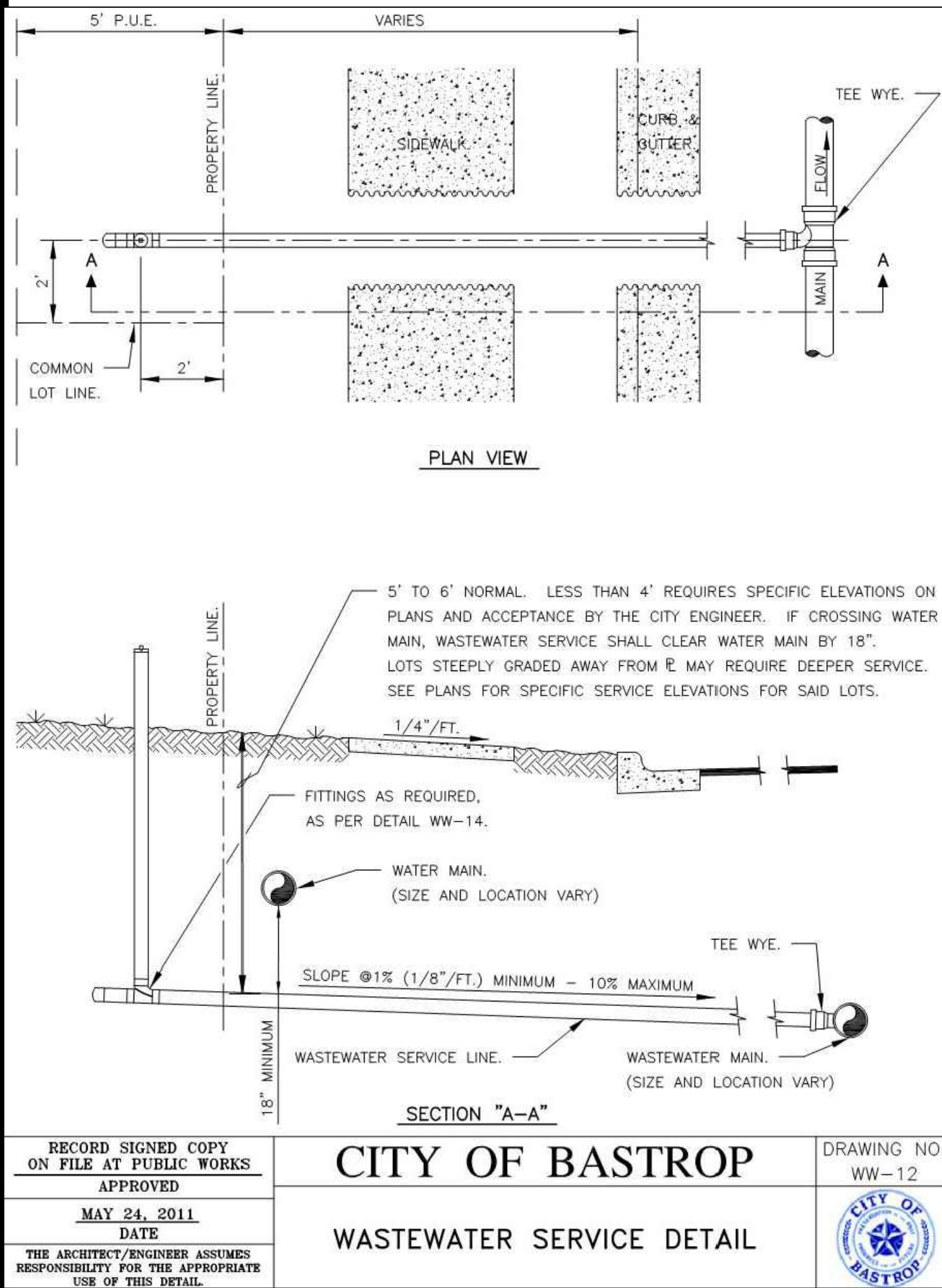


DESIGNED BY: LS, MR	REVIEWED BY: IL
DRAWN BY: LS, MR	

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1701 DIRECTORS BLVD., SUITE 1000
AUSTIN, TX 78721
Registration No. F-1046
TEL: 512-979-6468 www.browngay.com

REV	DATE	DESCRIPTION

G:\TXC\Projects\DRHorton\12483-00-Valverde_Amenity_Center\LD\01_CADD\01_Shts\12483-C-SP-WW-DTL-Dwg Layout: WASTEWATER DETAILS (1 OF 3) Plotted: 7/2/2024 5:16:00 PM



SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS

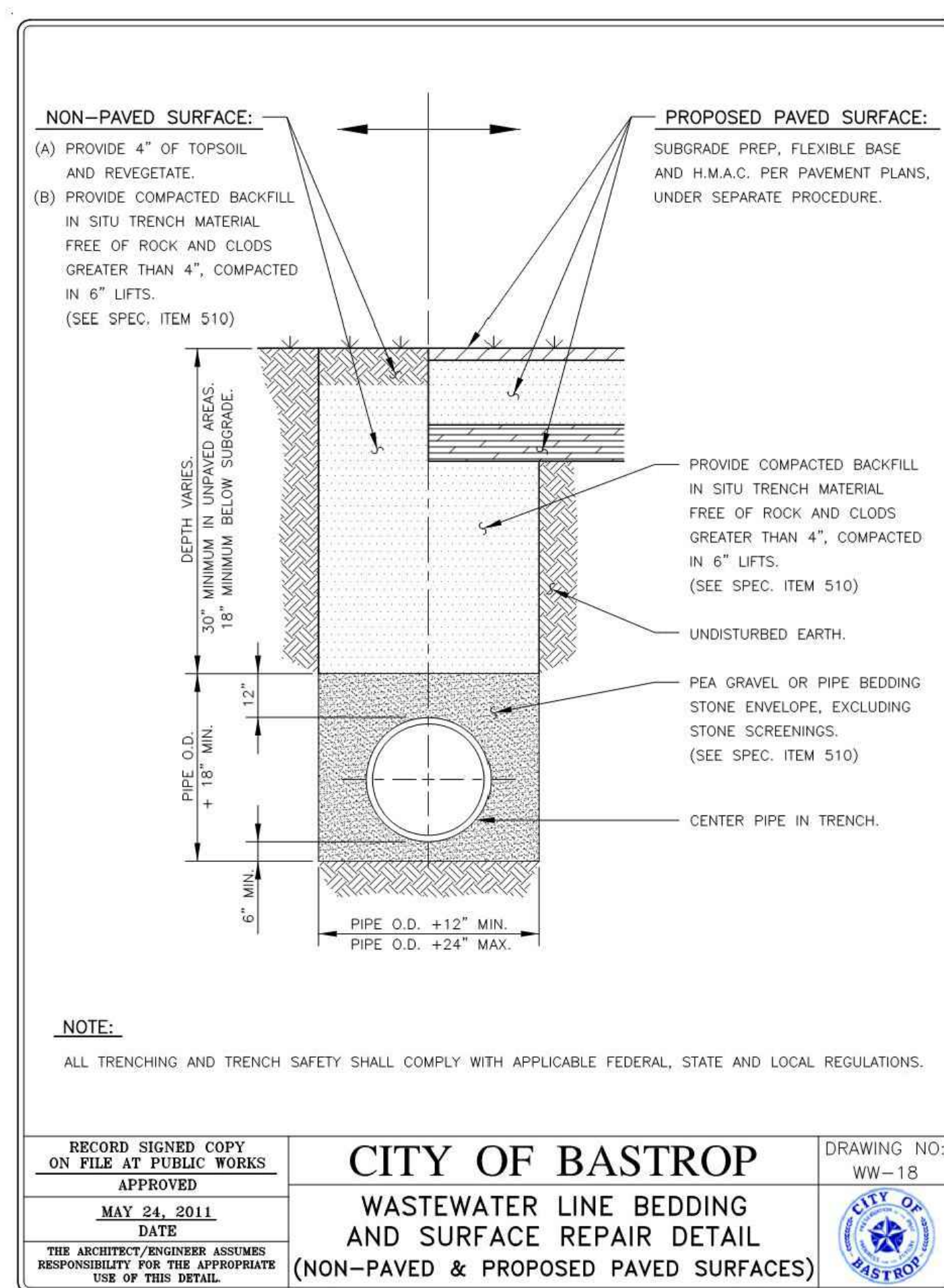
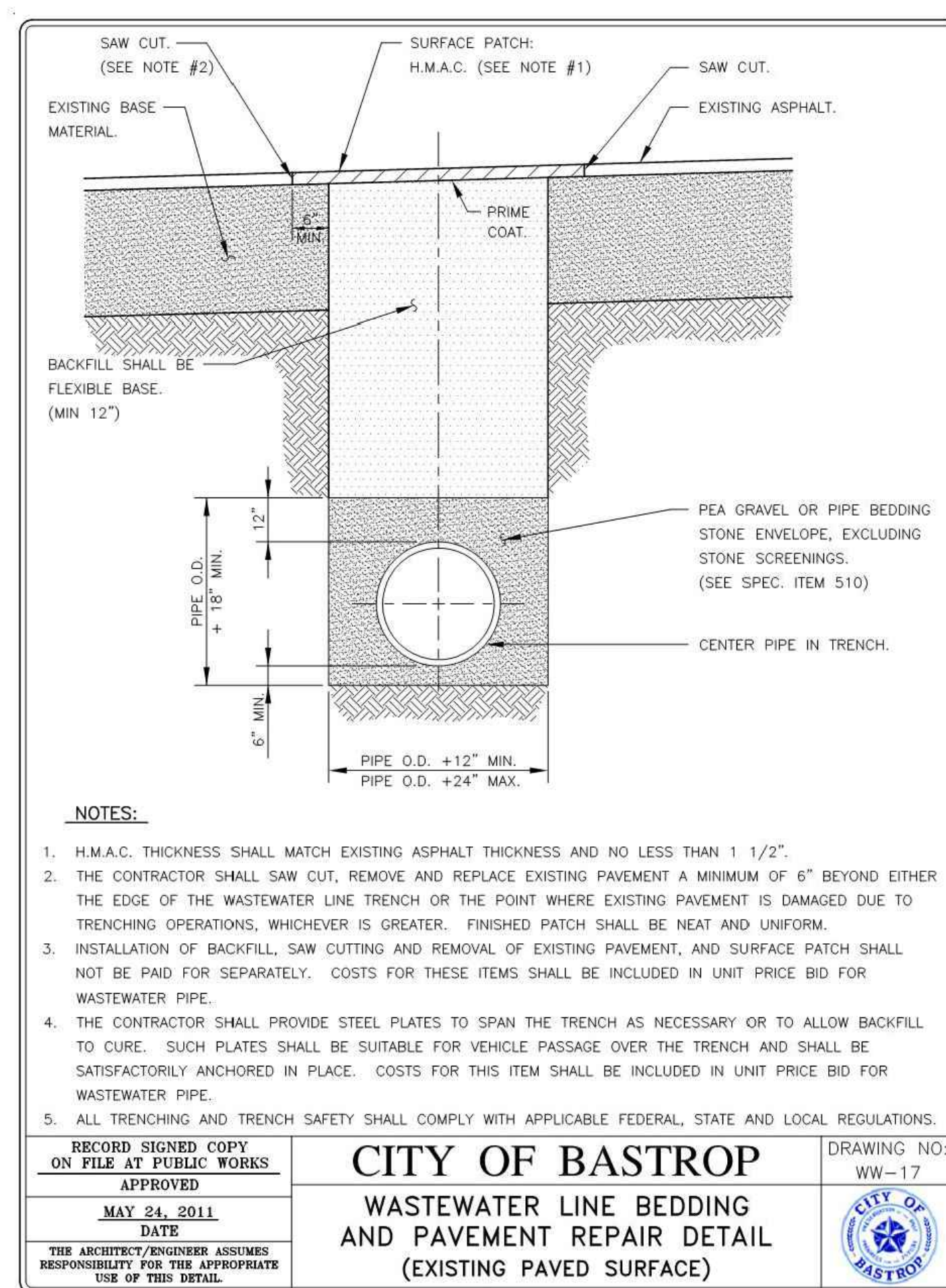
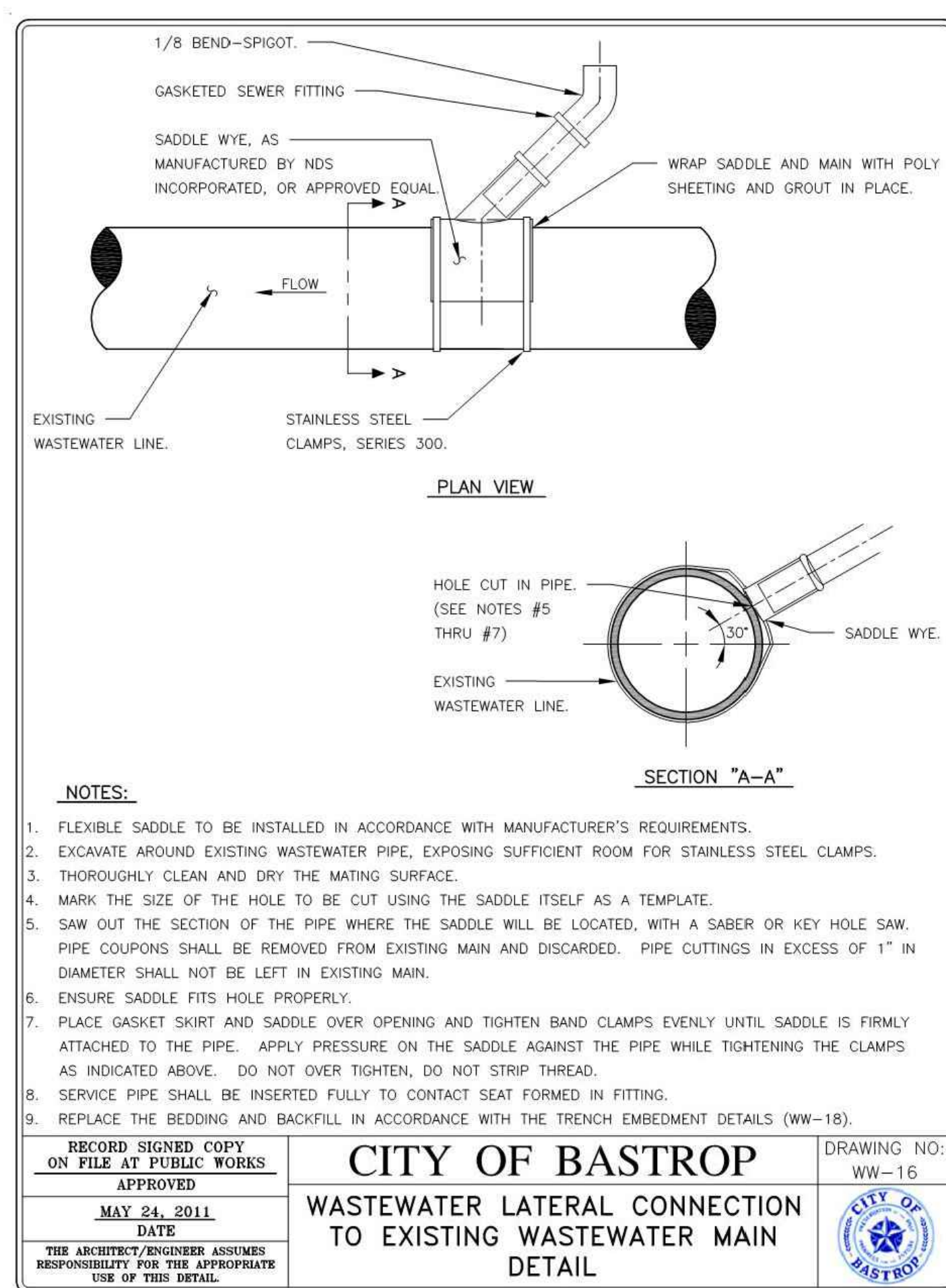
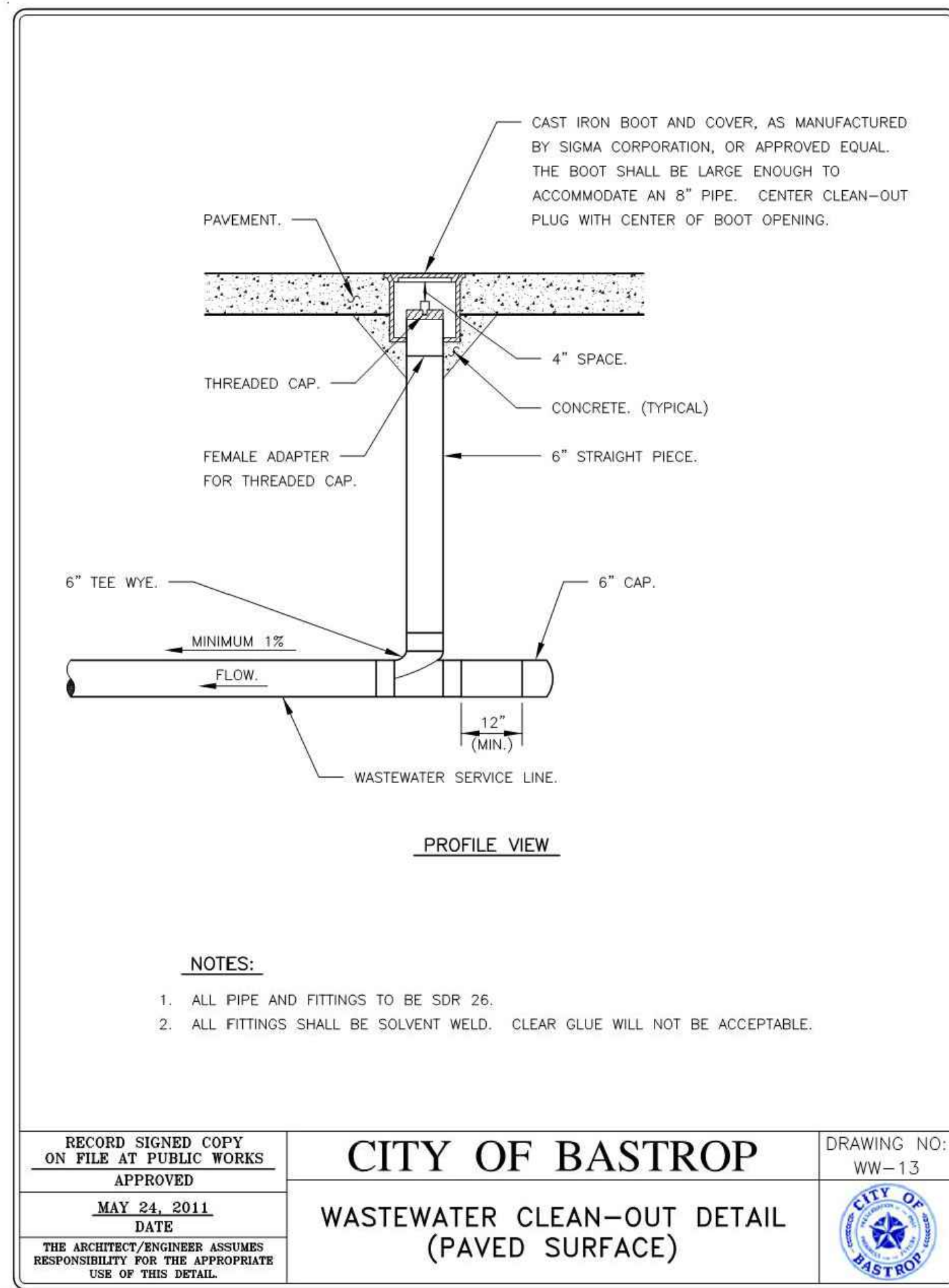
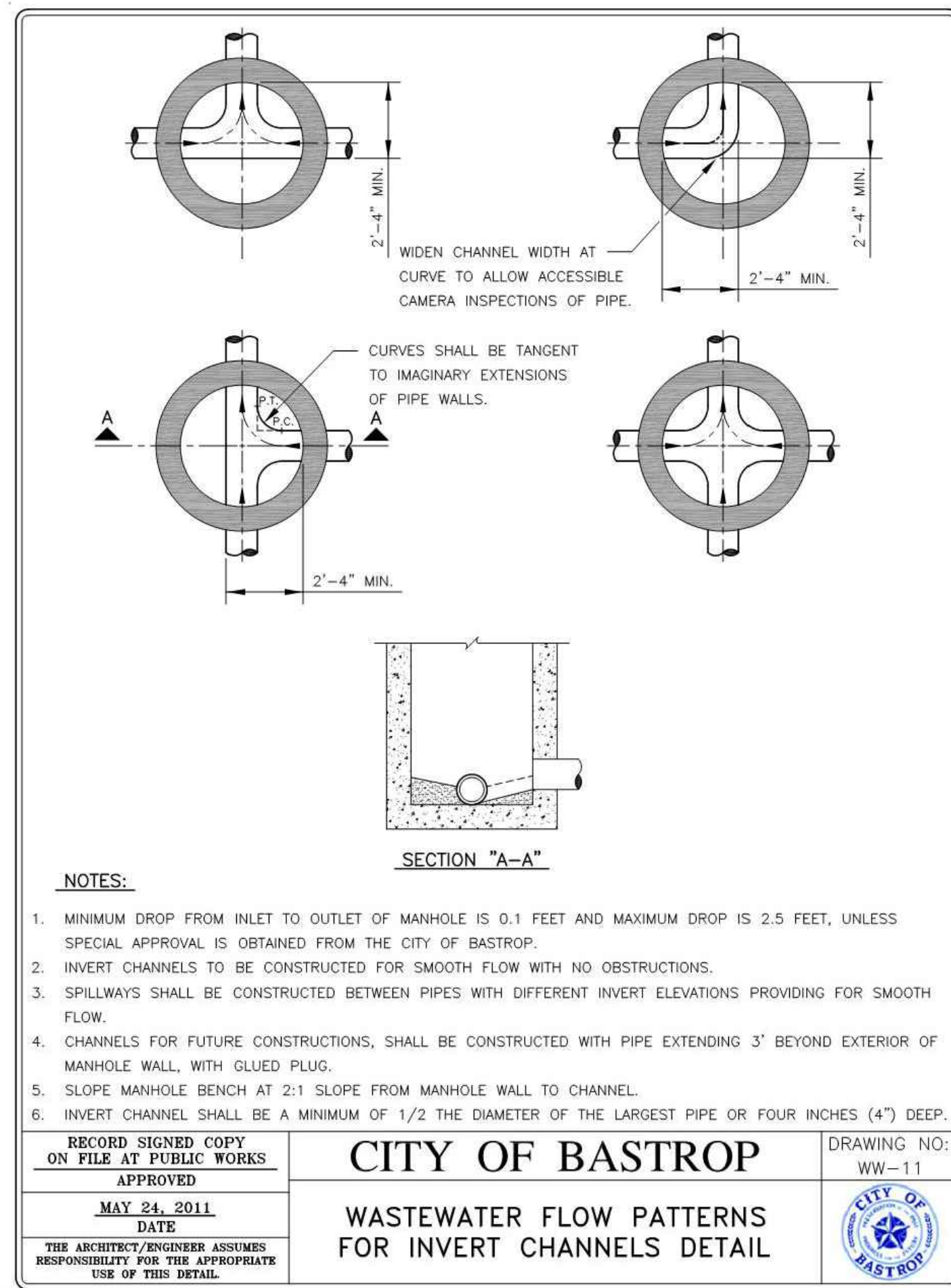
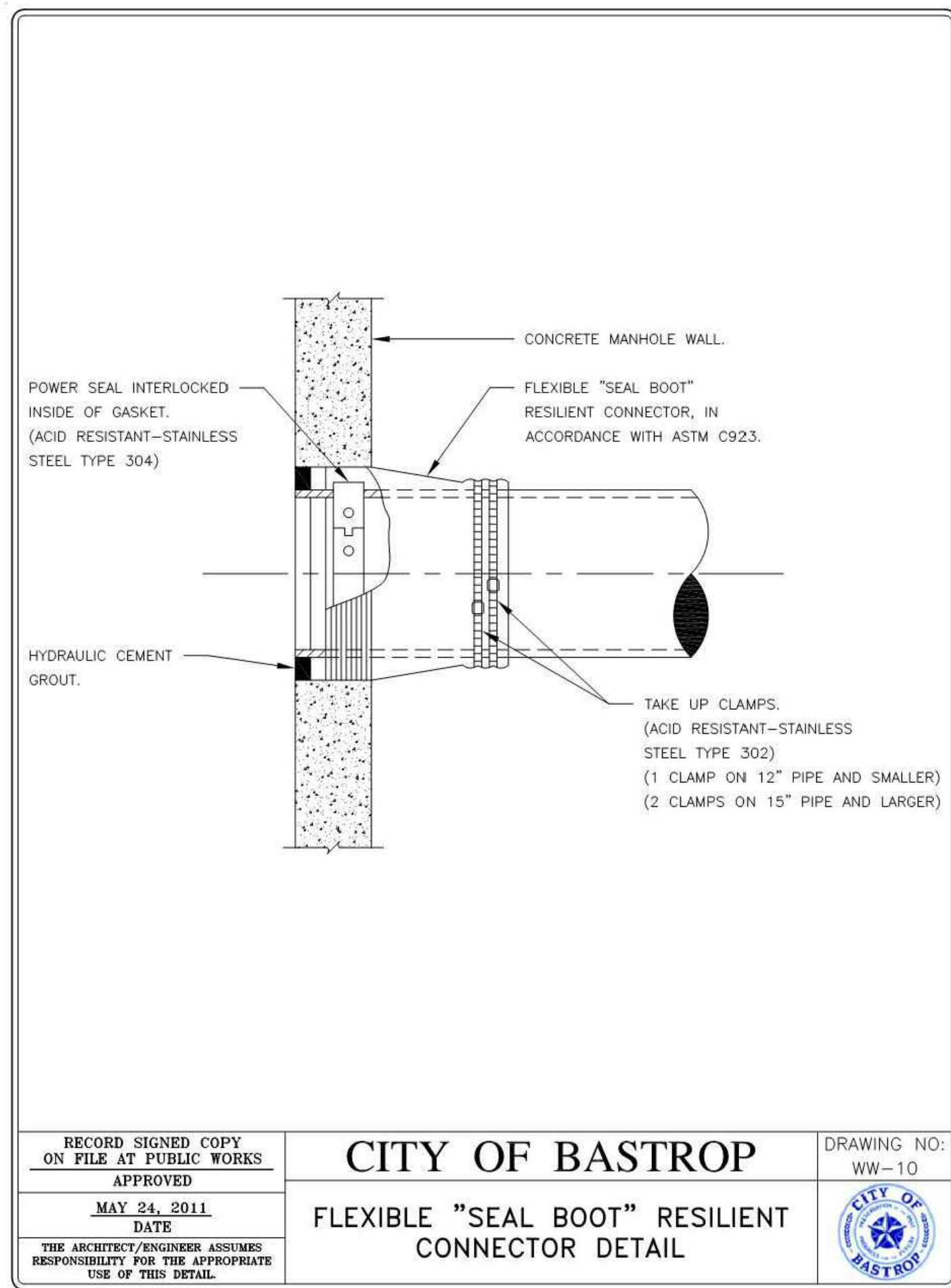


DESIGNED BY: LS, MR
REVIEWED BY: IL
DRAWN BY: LS, MR



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1701 DIRECTORS BLVD., SUITE 1000
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TYPE Registration No. F-1046
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WASTEWATER DETAILS (1 OF 3)



Item 3B	DATE	DESCRIPTION
AP		
REV		
DESIGNED BY: LS, MR		
REVIEWED BY: IL		
DRAWN BY: LS, MR		

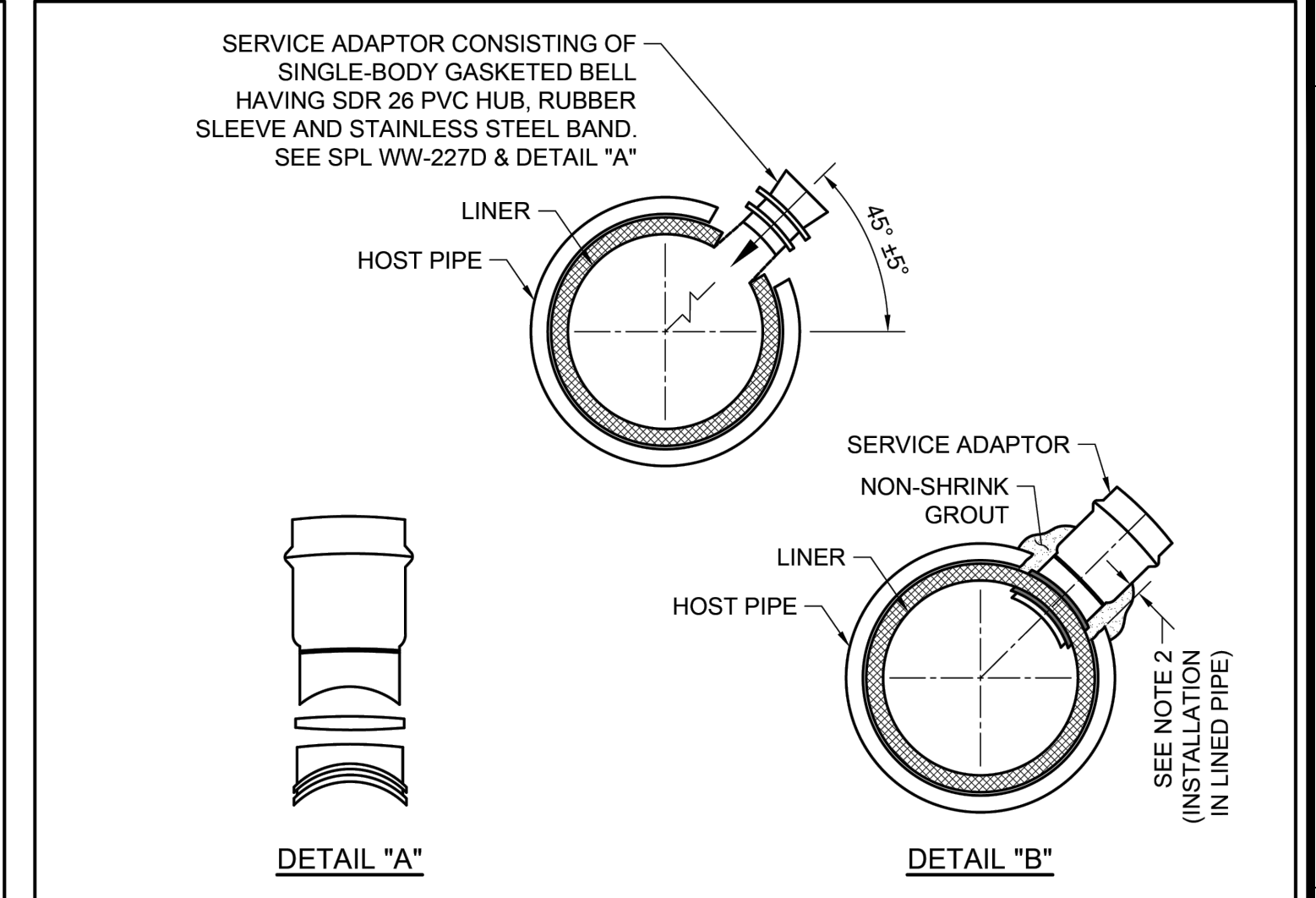
DATE
DESCRIPTION
REV
MR

DESIGNED BY: LS, MR
 REVIEWED BY: IL
 DRAWN BY: LS, MR



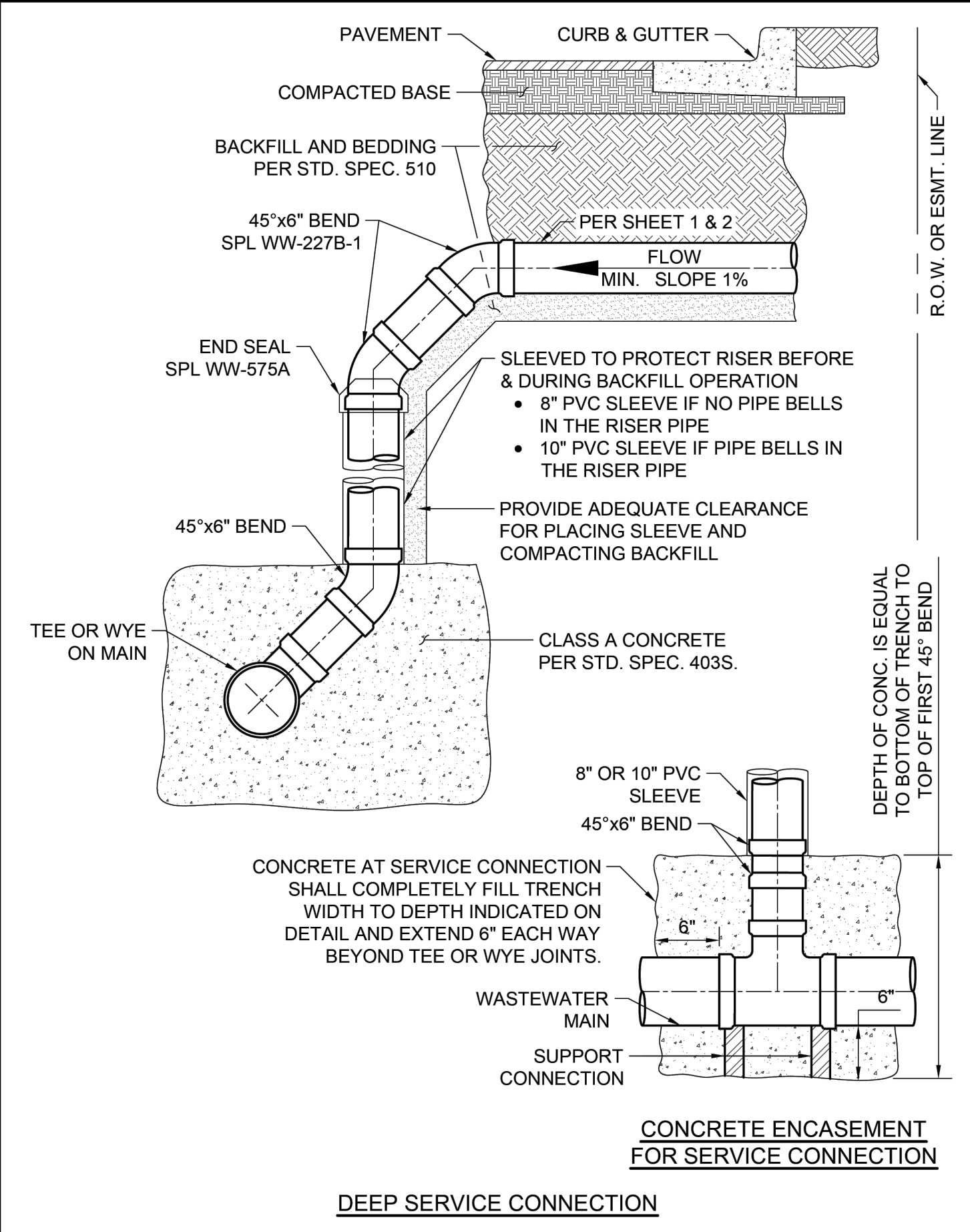
BROWN & GAY ENGINEERS, INC.
 1701 DIRECTORS BLVD., SUITE 1000
 AUSTIN, TX 78731
 TYPE Registration No. F-1046
 TEL: 512-979-6666 www.brownandgay.com

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER
 BASTROP, TEXAS
 WASTEWATER DETAILS (3 OF 3)



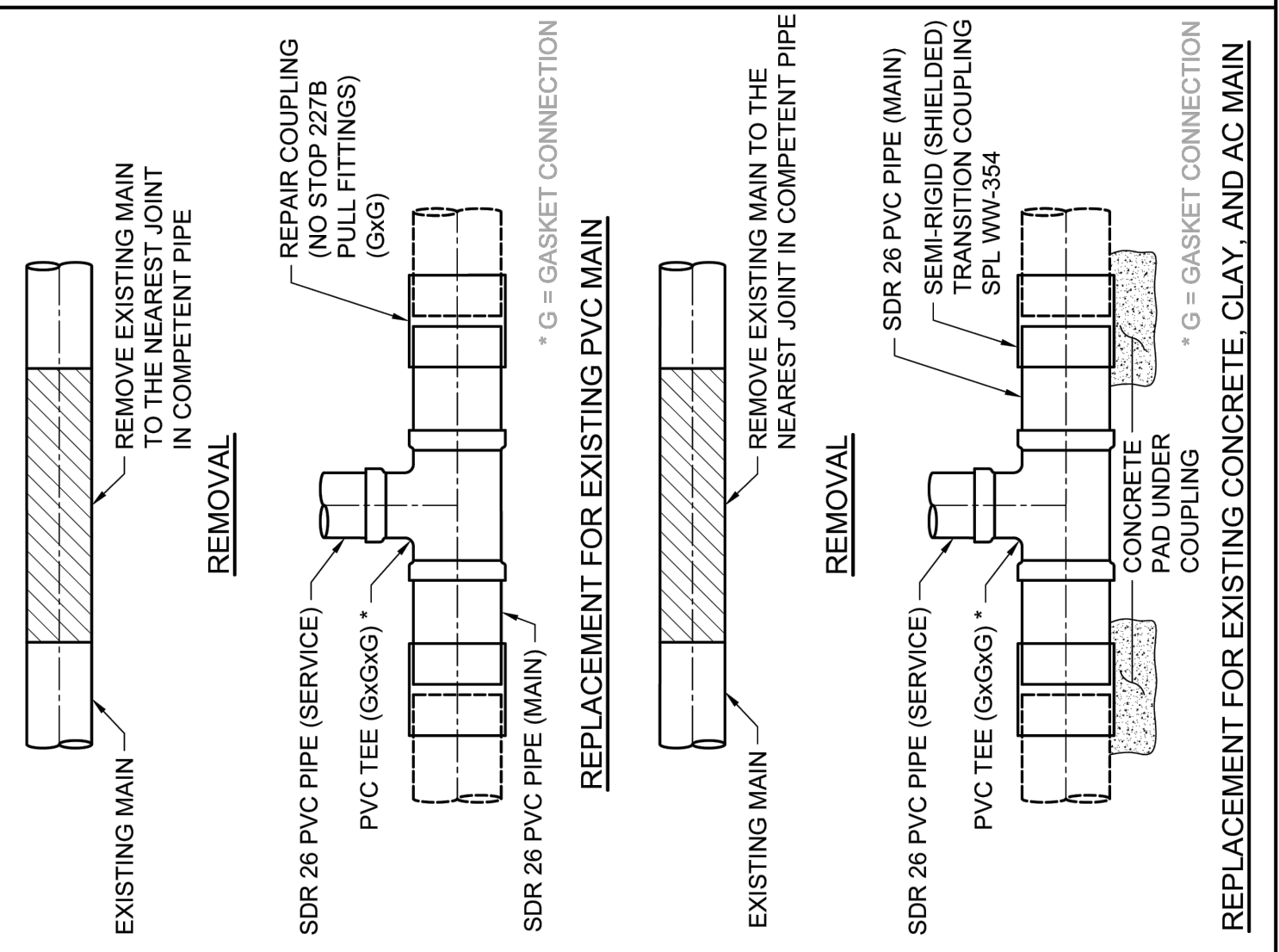
- INSTALLATION IN LINED PIPE:**
1. MARK LOCATION OF TAP.
 2. BREAK & REMOVE HOST PIPE SO THAT OPENING IS AT LEAST 2" BUT NO MORE THAN 3" WIDER THAN DIAMETER OF THE SERVICE ADAPTOR.
 3. DO NOT DAMAGE LINER.
 4. CORE HOLE THROUGH LINER USING ADAPTOR MANUFACTURER RECOMMENDED BIT.
 5. INSTALL SERVICE ADAPTOR.
 6. HOLES CUT IN HOST PIPE SHALL BE PACKED WITH NON-SHRINK GROUT (ASTM C1107 GRADE). SEE DETAIL "B"
- NOTES:**
1. USE ONLY TO TAP EXISTING LINED PIPE.
 2. SEE APPROPRIATE STD. FOR SERVICE LINE INFORMATION.
 3. THE EDGE OF THE CORE HOLE MUST BE AT LEAST 3' FROM THE ENDS OF THE PIPE, ANY OTHER CORE SERVICE CONNECTIONS, AND ANY FITTINGS.
 4. FOR DEEP SERVICE APPLICATIONS SEE SHEET 3 OF 4, EXCEPT SUBSTITUTE A CORED HOLE, AND SERVICE ADAPTOR FOR THE TEE OR WYE.
 5. SERVICE CONNECTIONS TO MANHOLES MUST BE MADE USING A PIPE-TO-MANHOLE CONNECTOR WHICH LIMITS THE PIPE SLOPE INTO THE MANHOLE TO 12% MAX.
- 6" WASTEWATER CONNECTION TO EXISTING LINED MAIN**

CITY OF AUSTIN AUSTIN WATER	SINGLE AND DOUBLE WASTEWATER SERVICE CONNECTION	STANDARD NO. 520-AW-01C
RECORD COPY SIGNED JEFF A. KYLE	11/07/2018 ADOPTED	THE ENGINEER/ARCHITECT ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. MODIFICATIONS TO THIS STANDARD ARE PROHIBITED.
		1 OF 4

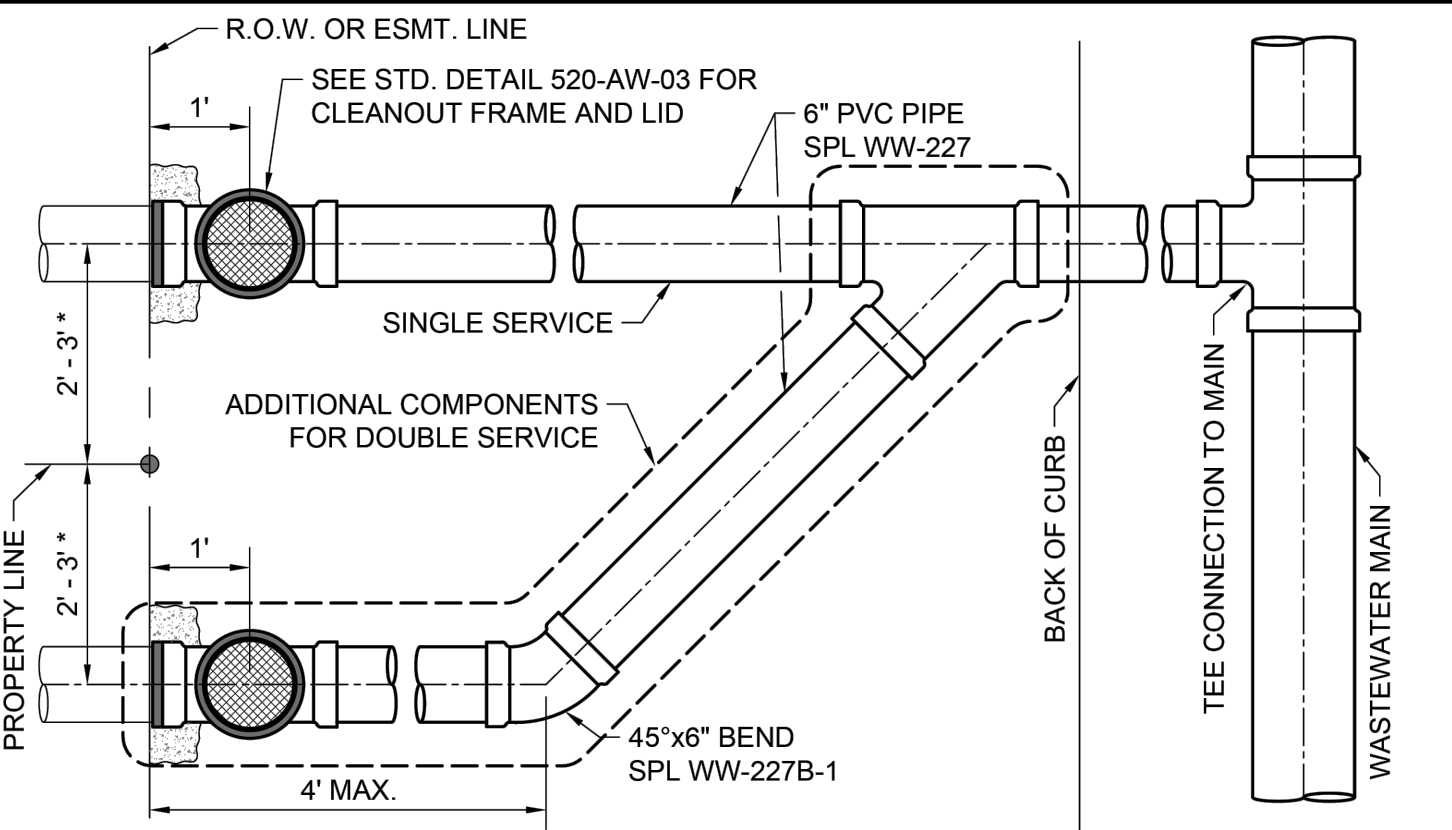


CITY OF AUSTIN AUSTIN WATER	SINGLE AND DOUBLE WASTEWATER SERVICE CONNECTION	STANDARD NO. 520-AW-01C
RECORD COPY SIGNED JEFF A. KYLE	11/07/2018 ADOPTED	THE ENGINEER/ARCHITECT ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. MODIFICATIONS TO THIS STANDARD ARE PROHIBITED.
		3 OF 4

- NOTES:**
1. DURING SUBDIVISION CONSTRUCTION, UTILITY CONTRACTOR INSTALLS WASTEWATER TEE CONNECTION TO MAIN, 6" STUB, HORIZONTAL WYE FOR DOUBLE SERVICES, 6" SERVICE BRANCH WITH TWO-WAY CLEANOUT(S) AND RISER, FRAME, AND COVER. CLEANOUT(S) TO BE PLUGGED AT PROPERTY LINE OR EASEMENT LINE END. ALL WASTEWATER PIPING SHALL HAVE ELASTOMERIC GASKET TYPE JOINTS AND SLOPE DOWNWARD TO MAIN 1% MIN. TO 45" MAX. DEPTH OF SERVICE AT PROPERTY LINE WILL BE SHOWN ON PLANS BY ENGINEER IF GREATER THAN 4', OTHERWISE THE INSTALLED DEPTH WILL BE 4' MIN. AND 6' MAX. AT PROPERTY LINE. IF WASTEWATER SERVICE LINE TO MAIN REQUIRES DEFLECTION EXCEEDING 45", SEE SHEET 3 OF 4.
 2. PIPING IN STREET RIGHT-OF-WAY AND IN EASEMENT AREA SHALL BE BEDDED IN GRANULAR MATERIALS AS REQUIRED BY CITY OF AUSTIN STANDARD SPECIFICATION 510.3 (14); MATERIALS SHALL BE AS SPECIFIED IN 510.2 (2)(A) AND (3)(B); BACKFILL ABOVE THE GRANULAR BEDDING SHALL BE AS REQUIRED BY SECTION 510.3 (25). SERVICE LINES IN THESE AREAS SHALL HAVE A MIN. COVER BELOW FINAL STREET GRADE OF 42".
 3. PLUMBER SHALL REMOVE PLUG AND CONNECT TO TWO-WAY CLEANOUT. NO CONNECTION TO CLEANOUT STACK IS ALLOWED.



CITY OF AUSTIN AUSTIN WATER	SINGLE AND DOUBLE WASTEWATER SERVICE CONNECTION	STANDARD NO. 520-AW-01C
RECORD COPY SIGNED JEFF A. KYLE	11/07/2018 ADOPTED	THE ENGINEER/ARCHITECT ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. MODIFICATIONS TO THIS STANDARD ARE PROHIBITED.
		2 OF 4



- * OFFSET FROM PROPERTY LINE IS FOR DOUBLE WASTEWATER SERVICE INSTALLATION ONLY.**
- WHERE WATER & WASTEWATER SERVICES ARE INSTALLED ON A COMMON LOT LINE, SEE DETAIL 520-AW-01A

CITY OF AUSTIN AUSTIN WATER	SINGLE AND DOUBLE WASTEWATER SERVICE CONNECTION	STANDARD NO. 520-AW-01C
RECORD COPY SIGNED JEFF A. KYLE	11/07/2018 ADOPTED	THE ENGINEER/ARCHITECT ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. MODIFICATIONS TO THIS STANDARD ARE PROHIBITED.
		1 OF 4

GENERAL CONSTRUCTION NOTES

- These drawings and documents are submitted to the Owner of the project for review and approval prior to any release for bidding or construction. Contractors shall receive all bid information, instructions, bid forms, general terms and conditions, and all other required clarification from the Owner's Authorized Representative administering this project. Unless otherwise indicated, the Owner's Representative for this project shall be a specifically designated Landscape Architect from SEC Planning. The contractor will also be required to coordinate and correspond with the Landscape Architect from SEC Planning and key consultants for the Owner.
- These drawings supplement other contractual information which includes Bid Instructions and Project Specifications. Anything mentioned in the Project Specifications and not in the drawings, or vice-versa, shall be of like effect as if shown on or mentioned in both. In case of a discrepancy between Drawings or Project Specifications, the matter shall be immediately submitted to the Owner's Representative; without his decision said discrepancy shall not be adjusted by the Contractor, save only at his own risk and expense. The contractor shall not take advantage of any apparent error or omission on the Drawings or in the Specifications. In the event the Contractor discovers such error or omission, they shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Contractor to fulfill the intent of the Contract.
- The intent of these drawings, details and associated specifications is for the Contractor to provide the Owner with a complete, accurate, functionally and technically sound project as generally described in these documents. In most cases, unless explicitly noted otherwise, drawing symbols are used to represent complete-in-place systems to be provided as part of the base bid. All elements shown or implied by the drawings, if not specifically detailed or specified, shall be installed per building codes, manufacturer's recommendations, state highway department standards, city standards and specifications and standard industry practices.
- All plan quantities provided are approximate only. The Contractor is responsible for their own plan take-off's and accuracy of their bid based on actual site conditions. The contractor shall not take advantage of any apparent error or omission on the Drawings or in the Specifications. In the event the Contractor discovers such error or omission, they shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Contractor to fulfill the intent of the Contract.
- All work within this project shall conform to current local codes, ordinances, as well as all other applicable governing regulations in effect.
- All range points, ties, benchmarks or other survey control points which may be encountered during construction, must be preserved or modified/recorded by a registered surveyor at the Contractor's expense. Immediately upon discovery, the Contractor shall notify the Owner's Representative of any survey control points found and obtain direction prior to proceeding with construction.
- The Contractor shall coordinate and obtain all permits which are necessary to perform the proposed work. Owner is to pay for all construction permits unless otherwise indicated in the Contract Documents. Contractor shall obtain, at his expense, all specialty permits needed for specific items included with the work, unless otherwise indicated in the Contract Documents. Should the Contractor commence work prior to obtaining the required permits or jurisdictional approvals, the Contractor shall be responsible for corrections, modifications, replacement or removal of the non-permitted work.
- It is the Contractor's responsibility to be aware of and comply with all notifications and inspection requirements of the Jurisdiction.
- Unless specifically noted otherwise in the Contract Documents, the Contractor shall obtain and coordinate all technical tests and reports by a certified independent laboratory or agency as outlined in the Specifications or these Drawings. The Owner may, at the Owner's sole discretion, provide separate testing and/or inspection service and the Contractor is required to fully coordinate with those consultants/contractors. Owner is to pay for all soils and materials testing.
- An Existing Condition Survey may have been provided to the Owner by registered surveyors under separate contracts for the basis of design. It is not to be considered as part of these Contract Documents. If provided, these survey plans may have been reformatted and included in these documents. The Contractor is required to visit the site to verify information. Without exception, any deviations or omissions found between these plans and existing site conditions shall immediately be brought to the attention of the Owner's Representative, but will not be considered as basis for additional payment except as allowed in change order process per General Conditions and Supplementary Conditions under the "Owner-Contractor Agreements/Contracts". For official survey information, Contractor may wish to contact the Owner, or Owner's surveyor at the Contractors expense.
- Existing utility information and utility information for proposed work by others that is shown in these documents is approximate and for general information only. It is not intended to depict exact locations of all utilities. The Contractor shall notify all utility companies to stake and field verify the locations including depths of all utilities (existing, proposed by others, or currently under construction), prior to commencing any related operations. Contractor shall maintain utility locations/structures during all remaining phases of work. The Contractor shall report to the Owner's Representative any utilities that may conflict with proposed work. This Contractor shall explore, understand, and coordinate (with subcontractors and others) all utilities impacts prior to submitting bid and shall be responsible for any modifications or damages to utility lines, structures or injuries therefrom. For existing utility information contact Texas 811. A minimum notice of 3 business days in advance of locational needs is required.
- These drawings do not specify safety materials, staffing, equipment, methods or sequencing to protect persons and property. It shall be the Contractor's sole responsibility to direct and implement safety operations, staffing, procedures to protect the Owner and his representatives, new improvements, property, other contractors, the public and others.
- The Contractor shall meet periodically with the Owner's Representative to determine marshalling areas, on-site storage, and contractor staff parking and to coordinate security issues, construction sequencing/phasing, scheduling, and maintaining public, emergency, handicapped or operations access before starting the related work. The Contractor shall meet any "Construction Criteria" or requirements shown on any Contract Documents, phasing plans or any imposed plan by the Owner as a part of the Base Bid.
- Some work in this Contract may occur concurrent with work by others. Phasing, sequencing and coordination, with work by others, and on-going facility operations in and around the site area, is a part of the scope of work for this project. Notice to proceed with work in any general area shall be obtained from the Owner.
- The Contractor will be required to complete all the work of this project according to these proposed drawings or subsequent clarification. A strict period of performance, including dates of substantial completion (for all and/or portions) and liquidation damages may be an integral element of the Contract.
- Any site improvements requiring removal under this contract shall be properly and legally disposed off-site or, at the Owner's option, surrendered/stockpiled in an approved on-site location per the direction of the Owner or Owner's Representative.
- The Contractor is required to maintain a complete and "up-to-date" set of all Contract Documents, including clarifications, change orders, etc., in good condition, at the construction site at all times. This set of documents will be made immediately available for review by the Owner's Representative and/or authorized Consultants upon request. Complete "As-Built" drawings and document submittals are also a requirement of this contract.
- Maintenance, warranties and performance guarantees may be a requirement of this contract - see specifications.
- Notes and details on specific drawings shall take precedence over general notes and typical details. The Contractor shall refer to all other Division Notes, Sheets Notes, Drawings and Project Contract Documents for additional information.
- Contractor shall refer to other related drawings for all other related improvements that will impact this project and require coordination. Drawings may be made available to the Contractors at request.

TREE PROTECTION NOTE

- All existing trees shall be protected from construction activities within construction zone. During which time, the use of a silt or chain link fence is required around each singular or group of protected trees. Parking of construction vehicles, equipment, and stockpiles within tree root zones is strictly prohibited. Contractor shall be responsible for any damage incurred to existing trees, including replacement, fees, fines or reimbursement to owner for said damages and, or to the City or Jurisdiction with governing authority per the Tree Ordinance.

OAK WILT PREVENTION NOTE

- If Oak Wilt is found on site within work zone, owner must be notified and the following procedures must be followed in accordance with USDA standards, (<http://www.na.fs.fed.us>) including disinfecting construction removal devices, tree removal and treatment to prevent development of spore mats. These treatments include debarking, chipping and drying the wood, covering dead wood with plastic, burying the edges for six months and air drying for a similar amount of time to kill fungus and associated insects off site at state designated facility.

SIDEWALK NOTES:

- Layout of concrete walkways shall be staked in the field and review by the Owner or Owner's Representative prior to construction. At that time walk may be adjusted as needed, using the Hardscape Plan as a guide. All grades and layout shall be confirmed prior to construction. Notify Owner and Owner's Representative of any conflicts or deviations to the issued plans.
- All pedestrian paths shall be in compliance with all current Texas Accessibility Standards (T.A.S.) and ADA standards.
- All walkway grades shall have a running slope of no greater than 4.7% (1:21) and a cross-slope that is not greater than 1.5% (1:66).
- Slopes at or between 5.0% (1:20) and 8.3% (1:12) must have hand rails on both sides with ADA compliant level landings, and cross-slopes shall not exceed 1.5% (1:66).

HARDSCAPE LAYOUT AND INSTALLATION

- All work shown shall be field staked and subject to field verification, review and approval by the Owner or Owner's Representative prior to any constructions or demolition. Field staking of all proposed work and adjacent construction (even if future work by others) may be required by the Owner's Representative prior to approval of all improvements and adequate stakes shall be provided by Contractor's surveyor.
- To expedite, the layout of the site layout coordinates and/or grids may have been established in the Drawings. These points shall be field staked by the Contractor's surveyor as a part of this contract. The establishment of these points shall be approved by the Owner's Representative prior to any construction in those areas and will assist the Contractor in the layout of all site improvements as shown on drawing or otherwise.
- The construction tolerances for this project are minimal and the dimensions shown are to be strictly adhered to.
- Computed dimensions shall take precedence over scaled dimensions. Large scale drawings shall take precedence over small scale drawings. Dimensions shown with (+/-) shall be the only layout information allowed to vary, and may only vary to the tolerances given.
- The Contractor is responsible to provide complete-in-place systems, and a complete project. Any intermittent or periodic approvals received for portions of work, stakes, grades, or forms (by the Owner or Owner's Representative, Architects, Engineers, or others) shall not waive the Contractor's requirements to comply with the intent of any and all portions of this contract.
- All locations for walks, roads, swales, walls, curbs, structures etc. shall be staked by the Contractor. All layout information is based on ground coordinates and the Contractor shall meet with the owner's surveyors and engineers to clarify all datum, benchmark and control point requirements. Specific layout information will be provided to the Contractor by the Owner's Representative in AutoCAD (.dwg) format when requested.
- It is the intent and requirement of this contract to provide curvilinear walks, walls and curbs with smooth transitions and arcs (both horizontal and vertical). Straight segments and abrupt transitions will not be accepted unless shown as such on the plans. Wood curving forms may be required to obtain the proper effects.
- Hardscape improvements that are to be constructed per the drawings, shall be coordinated on site with the Owner's Representative, and be field staked or painted for approval of layout by the Owner's Representative prior to installation. Notify the Owner's Representative a minimum of 24 hours in advance for review. Improvements installed without field approval by Owner's Representative may be rejected and will be replaced at Contractors expense. At the time of staking, the Contractor shall confirm the quantity of the improvements match the approved contract. In the event the Contractor discovers such a discrepancy, he shall immediately notify the Owner's or Owner's Representative for direction on how to proceed, prior to commencing work.
- All lot fencing or lot screen walls shall be placed on the property line or property boundary. Contractor shall confirm final location by field staking, to be reviewed by the Owner or Owner's Representative prior to construction.
- Rock gravel, rock mulch, synthetic mulch should be installed over weed barrier fabric. Weed barrier fabric should overlap edges a minimum of 6".

GRADING NOTES

- The Contractor shall obtain and review the Summary Report and Recommendations prepared by the geotechnical engineers and fully understand the existing soil conditions encountered prior to submitting bid. The Contractor shall comply with all recommendations made by the geotechnical engineers, civil engineers, structural engineers and Owner's Representative, as designated in the soil report, on these drawings, specified, or as directed during field observations and inspections.
- All earthwork operations will be subject to full inspection and regular testing by a qualified soils and materials engineer and this Contractor shall be responsible to coordinate scheduling, notification and procuring test results and documentation as required. The Contractor shall notify the Owner's Representative of any subsol conditions encountered, which vary from those found during previous soil investigations and/or that may not have been known during design. Any failed tests which must be retested will be a Contractor's expense.
- All earthwork operations shall be conducted in strict compliance with the project specifications including but not limited to:
 - Full locating, investigating and protection of ALL existing utilities to remain.
 - Removal of any organic materials or debris.
 - Stripping and stockpiling of all topsoil in approved location(s).
 - Removal of all unstable fill materials encountered.
 - Scarification and re-compaction to the minimum depth as specified and/or directed within all areas to receive fill, pavements or structures.
 - All classifications of "excavation" as required to meet proposed lines, grades, typical cross sections and improvement elevations.
 - Placement, shaping, and structural compaction of all classifications of "fill" or "embankment" as required to meet proposed lines, grades, typical cross sections and improvement elevations.
 - Providing dewatering, optimum moisture control, climate protection, dust control, erosion control and all other specified treatments.
 - Replacement of topsoil after grading changes have been accomplished.
- See, and comply with, all specifications for depth of moisture density treatments, controls and compaction requirements.
- These grading plans are intended to show vertical control of the site and are based upon the benchmarks, existing elevations and topography as provided by the Owner's surveyor. However, the Contractor, upon submittal of bid, agrees to accept the site grades and make all adjustments required to accomplish the work as proposed. Additionally proposed design elevations for adjacent construction projects may have to be incorporated if necessary. (Construction drawings for work by others, if applicable, are available upon request). Staking of future adjacent improvements, by this contract phase or by others, may be required if directed by the Owner's Representative to ensure proper coordination and requested staking is to be provided as part of this Base Bid.
- This Contractor shall verify all existing grades to remain and all adjacent new construction grades for compliance with those shown, prior to bid and construction. All deviations or conflicts with proposed work shall be reported immediately (with follow-up written) notice within 24 hours to the Owner's Representative for direction to proceed, but will not be considered as basis for additional payment except as allowed in change order process per General Conditions and Supplementary Conditions under the existing "Owner-Contractor Agreements/Contracts".
- The plans may call for specific temporary benchmarks to be transferred to the site by a certified surveyor and accurately established on site as a part of this contract. Contractor shall verify all benchmarks and information used in design and compare to existing conditions.
- It is this Contractor's responsibility to provide proper positive drainage throughout this contract area. Field conditions shall be verified in conjunction with the proposed elevations to ensure that adequate drainage is provided. Report deviations or conflicts to Owner's Representative. Unless otherwise indicated, minimum slope for paved surfaces shall be 1.5% and minimum slope for non-paved areas shall be 2%. Slope away from all structures shall be 2% minimum, for a distance of 5' minimum. Maximum ground slopes to be 4' horizontal to 1' vertical, unless otherwise approved in advance.
- All design elevations shown are "finished grades" unless otherwise indicated. Contractors shall refer to drawings, details and specifications regarding depth of sub-grade materials required to construct project improvements.
- All topsoil and/or drainage way muck excavation shall be saved and stockpiled in approved locations for future use.

LIGHTING

- Landscape lighting system is to be installed by a licensed electrician with documented experience in installing lighting systems of similar scope within the last two years. The Contractor is to supply a complete lighting system including all associated equipment such as conduit, weather proof and/or water proof junction boxes, ballasts, connectors, harnesses, time clocks, photocells, etc.
- The Contractor shall review proposed layout of lighting system and all related equipment locations with the Owner or Owner's Representative prior to commencing installation.
- After installation the Contractor will be required to adjust light fixtures until the Owner's Representative is satisfied with the desired effect. This will require the Contractor and/or the Contractor's electrician to meet with the Owner and Owner's Representative after sunset. This adjustment is to be included in the base Bid amount.
- The Contractor shall provide a two year warranty on all equipment including lamps, ballasts and installation.
- Independent ballasts, if required, shall be "ganged" in an inconspicuous, accessible location in a horizontal, weatherproof box or tray near ground level. Mounting of ballast in trees will not be allowed without written authorization from the Owner's Representative.
- All exposed boxes, trays, conduit, etc. shall be painted by the contractor to blend in with surrounding landscape elements.
- All equipment shall be U.L. listed and installation shall comply with N.E.C. and all other applicable codes.
- All lights are to be controlled by a photocell and timer off system unless specified otherwise on the drawings.
- All wire run underground must be in rigid conduit.
- Plan layout of underground wiring to minimize disturbance to the roots of existing trees. If underground wiring must pass through the critical root zone of protected trees, trenching and related work must be performed by hand. No mechanical trenching is permitted within the Critical Root Zone.
- Tree lighting (if applicable):
 - Install Karlock (or equal) flexible conduit from base of tree to a minimum eight foot height above ground. At the end of the conduit install a waterproof hub (for single cable) or W-P bell box for multiple cables. Paint conduit and box to match tree trunk. Use SJO electrical cord from conduit to light fixture. Attach cord to tree using long galvanized cord staples or other approved method. Provide a 36" loop of extra cord at the light fixture to allow for light adjustment and tree growth.
 - Attach light fixtures to trees utilizing galvanized mounting plates drilled for hub connection with a minimum of two mounting screws. Mounting screws are to be ¼-20 threads x 5" length (one end wood screw threads and the other end bolt threads). Install at least two inches of thread into tree and install with at least two inches between tree and mounting plate.
 - All tree downlights are to be mounted in the top third of the tree canopy.
 - All fixtures are to be located, adjusted as needed and shielded to prevent glare, light trespass on to adjacent properties or Rights-of-way.



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05/09/2024

VALVERDE AMENITY CENTER
 A D.R. HORTON COMMUNITY
 LANDSCAPE IMPROVEMENT PLANS
 BASTROP, TEXAS

Drawing File Name

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 Sheets\LN-1-CITY SUBMITTAL.dwg

Issued:

1. CLIENT REVIEW 12/14/2023
 2. CITY SUBMITTAL 05/09/2024

3. _____
 4. _____
 5. _____

Revisions:

1. _____
 2. _____
 3. _____
 4. _____
 5. _____

Issue Date: 05/09/2024

Drawn By: JC, JL, OD

Reviewed By: CM

Project No.

200202-HORT

CONSTRUCTION NOTES

Sheet No.

LN-1 20 of 29

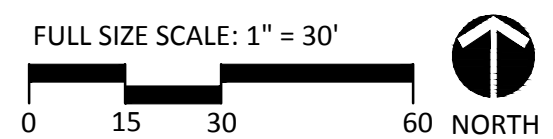
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LIGHTING LEGEND			
SYMBOL	QTY.	CATEGORY	FIXTURE DESCRIPTION
○	16	(S2) POOL AREA LIGHT, VOLLEYBALL COURT, PICKLEBALL COURT FULL CUTOFF SITE FIXTURE	LITHONIA LIGHTING DSX2 LED P8 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH
—	82 L.F. 31	(T) STRING LIGHTS	ALUZ A5-ZOZO-STN-24-27K-GSF-WET-XX
▲	2	(S1) PARKING LIGHT FULL CUTOFF SITE FIXTURE	LITHONIA LIGHTING DSX0 LED P6 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH
⊕	2	OUTDOOR ELECTRICAL OUTLET	PER CONTRACTOR

NOTES: CONTRACTOR RESPONSIBLE FOR FULL WORKING AUTOMATED LIGHTING SYSTEM, WHICH INCLUDES NECESSARY ELECTRICAL PANELS, JUNCTION BOXES, RUNNING CONDUIT TO METER AND PHOTOCELL SENSOR.



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05/09/2024

**VALVERDE AMENITY CENTER
A D.R. HORTON COMMUNITY
LANDSCAPE IMPROVEMENT PLANS
BASTROP, TEXAS**

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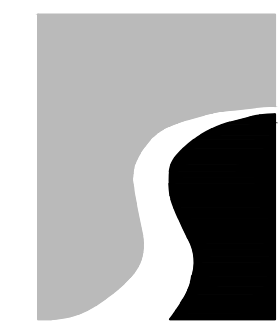
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Reviewed By: CM

Project No.
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LIGHTING PLAN

Sheet No.
L-4.0 21 of 29

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Austin, Texas

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Issue Date: 05/09/2024

Drawn By: JC, JL, OD
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Project No.
200202-HORT

PHOTOMETRIC
PLAN

Sheet No.
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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	1.6 fc	2.6 fc	0.6 fc	4.3:1	2.7:1
Pickleball	+	30.9 fc	39.0 fc	22.9 fc	1.7:1	1.3:1
Stringlight Area	+	0.7 fc	0.8 fc	0.7 fc	1.1:1	1.0:1
Volleyball	+	18.6 fc	24.5 fc	11.7 fc	2.1:1	1.6:1
Code Compliant Calculation	+	16.2 fc	20.5 fc	10.3 fc	2.0:1	1.6:1

FULL SIZE SCALE: 1" = 30'
0 15 30 60 NORTH



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D-Series Size 2 LED Area Luminaire

Specifications table for D-Series Size 2 LED Area Luminaire including EPA, Length, Width, Height 1, Height 2, and Weight.

Form for Catalog Number, Notes, and Type.

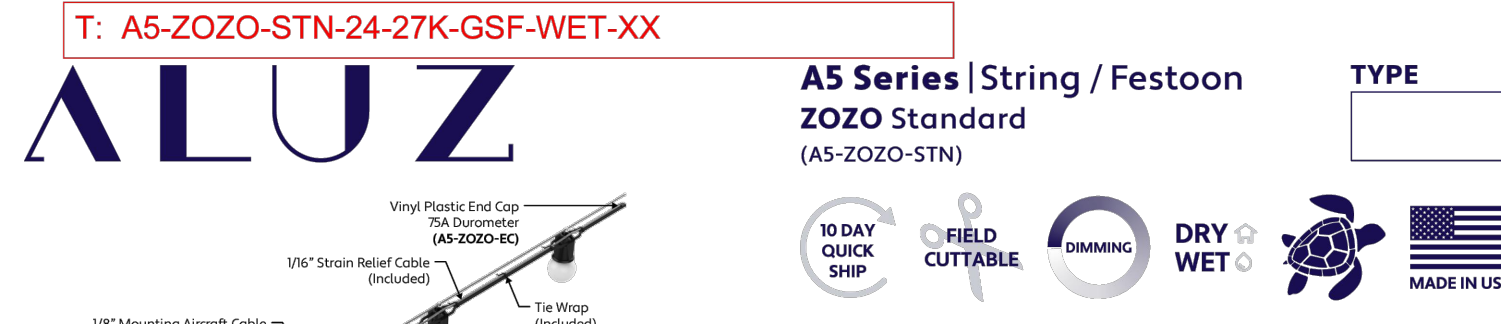
Introduction text describing the modern styling of the D-Series luminaire.

S2: DSX2 LED P8 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH

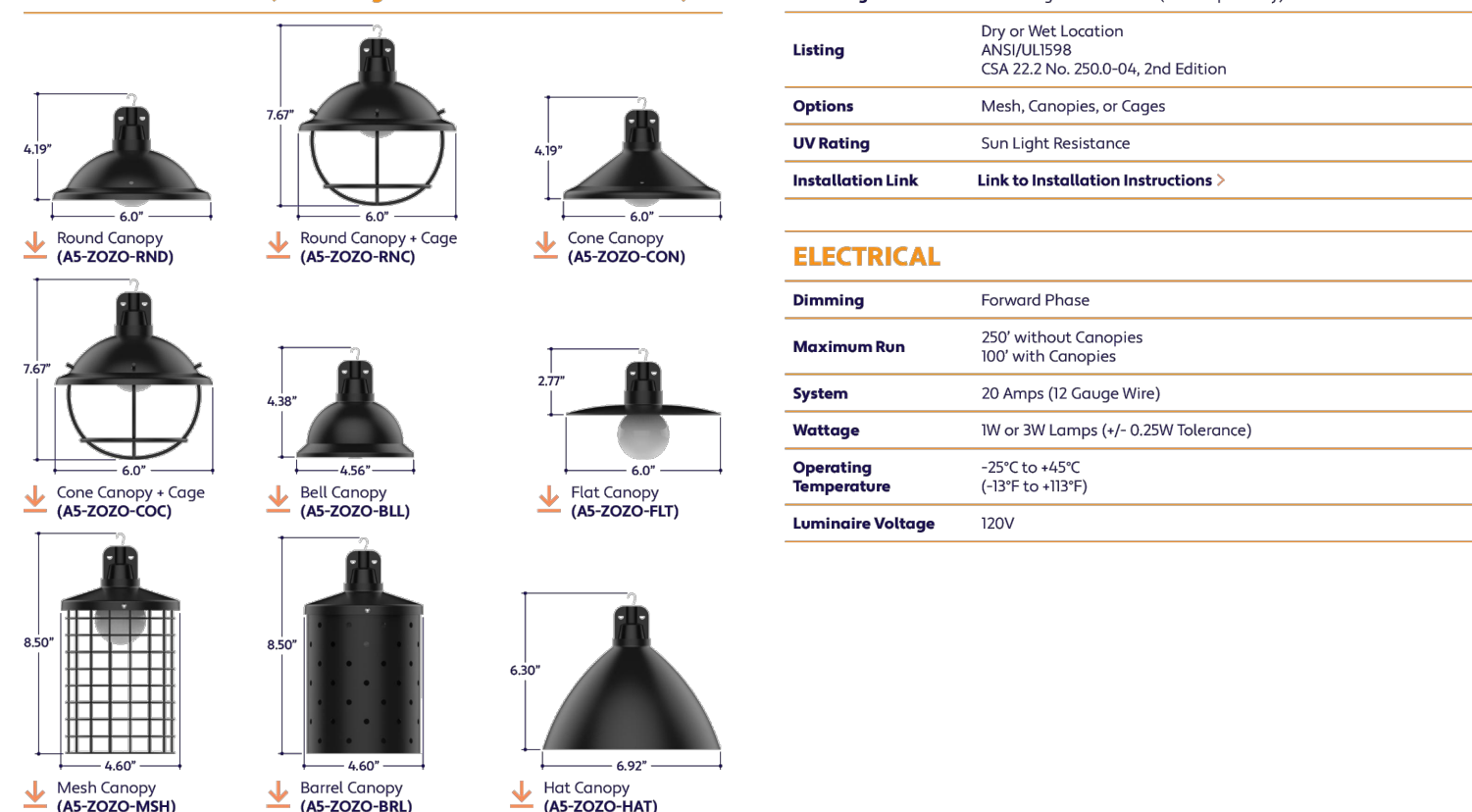
Ordering information table for DSX2 LED, including Series, LEDs, Color temperature, Distribution, Voltage, Mounting, and Shipped included items.

Control options table for DSX2 LED, listing various options like NLTAIR2, PIRHN, PERS, and DMG.

(S2) POOL AREA LIGHT DSX2 LED P8 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH



GENERAL FEATURES and Applications for the ALUZ A5 Series String / Festoon luminaire.



SPECIFY PRODUCT CODE | CHOOSE FROM DROP DOWNS table with columns for Series, Spacing, Lamp, Dimming, Listing, and Luminaire Length.

1170 N Red Gum St, Anaheim, CA 92806 and Specification Submittal information.

(T) STRING LIGHTS A5-ZOZO-STN-24-27K-GSF-WET-XX



Specifications table for D-Series Size 0 LED Area Luminaire including EPA, Length, Width, Height, and Weight.

Form for Catalog Number, Notes, and Type.

Introduction text describing the modern styling of the D-Series luminaire.

S1: DSX0 LED P6 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH

Ordering information table for DSX0 LED, including Series, LEDs, Color temperature, Distribution, Voltage, Mounting, and Shipped included items.

Control options table for DSX0 LED, listing various options like NLTAIR2, PIRHN, PIRHFCV, and DMG.

(S1) PARKING LIGHT DSX0 LED P6 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH

LITHONIA LIGHTING SSS Square Straight Steel Poles. Features & Specifications section including pole shaft details, mounting options, and finishes.

(S1, S2) POOL AREA LIGHT AND PARKING LIGHT POLE SSS 30 5C DM19AS FINISH

SSS Square Straight Steel Poles. ORDERING INFORMATION table with columns for Series, Nominal fixture mounting height, Nominal shaft base size, Mounting, Options, and Finish.

NOTES section providing technical details and installation instructions for the SSS poles.

SEC Planning, LLC logo and contact information including address and phone number.

D-R HORTON logo and contact information including address and phone number.

LANDSCAPE ARCHITECTURE logo and contact information for VALVERDE AMENITY CENTER.

VALVERDE AMENITY CENTER A D.R. HORTON COMMUNITY LANDSCAPE IMPROVEMENT PLANS BASTROP, TEXAS

Drawing File Name and Revisions table for the landscape improvement plans.

Drawn By: J.C., J.L. and Reviewed By: CM.

Project No: 200202-HORT

LIGHTING SPEC SHEETS

Sheet No: L-4.2 23 of 29



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GENERAL PLANTING NOTES

1. Contractor shall be responsible for becoming aware of all related existing conditions, utilities, pipes and structures, etc. prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.
2. The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
3. Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and related operations.
4. The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
5. Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb and related structures. Any damage to existing improvements is the responsibility of the Contractor.
6. Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
7. The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
8. If conflicts arise between size of areas and plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
9. Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.
10. It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to Owner's approval prior to installation.
11. Where provided, area takeoffs and plant quantity estimates in plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans take precedence over call-outs and/or the plant list(s).
12. Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Planting Plans in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".
13. The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed by operations of or related to the Contractor's work. Sod areas disturbed shall be restored with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates and species of existing condition.
14. During plant establishment, native and wetland areas shall be protected from sedimentation and erosion. Prior to construction activities, native and wetland areas outside of the project limits shall be protected with silt fence.
15. When planting trees and shrubs in existing natural areas, minimize disturbance to adjacent existing vegetation.
16. No Ball & Burlap (B&B) material will be allowed or accepted unless specifically specified.
17. All plants shall be nursery grown, Grade 1 plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60.1-2004). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until inspection and final acceptance.
18. **Warranty:** Provide a one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by vandalism, browsing, hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

PLANTING LAYOUT AND INSTALLATION

1. The Contractor shall be responsible for accurately laying out the plant beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/stakes/hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Landscape Architect in the field. Changes affecting quantities will be covered by unit prices.
2. Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout.
3. All planting beds are to be separated from adjacent Turf Sod, Turf Seed and Native Seed areas with edging per specifications and details. Additional locations may be indicated on the Drawings. Install edging following manufacture's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 1" above soil level of adjacent turf. In Bid Proposal furnish a unit price per linear foot of edging installed.
4. Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equally in rows as shown on drawings. Adjust spacing (to "equal-equal") as necessary, subject to acceptance by the Owner's Representative.
5. Unless otherwise indicated:
 - a. All groupings of groundcovers, perennials, ornamental grasses and annuals shall be triangularly spaced (equal-equal).
 - b. All planting areas including sod, seed and planting beds, shall receive soil amendments per the notes and specifications.
 - c. Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be ¾".
 - d. All gravel areas or rock mulches should be installed over weed barrier fabric. Edges of weed barrier should overlap minimum 6".
 - e. All bulb planting shall occur after mid-October and before ground is frozen. See details for bulb planting layout.
6. All Plant Beds and pit planted plants shall receive a 3" depth layer of shredded hardwood mulch. Refer to plans, details and specifications for location and type of any alternate mulch used. In Bid Proposal furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
7. Planting pits for 1 and 5 gallon shrubs shall be at least 8" larger in diameter than the container size. Larger container sizes and B&B plants shall be planted in pits at least 3 times larger in diameter than the root ball size.
8. Plants shall be installed to present their best side facing the viewer.
9. Owner's representative shall have final approval of plant material layout.

IRRIGATION GENERAL NOTES:

1. Obtain all permits and licenses applicable prior to the start of work.
2. All required landscape areas shall be irrigated per applicable local ordinances and tceq regulations.
3. Drip irrigation shall be placed in accordance with manufacturer recommendations. extend drip lines to irrigate planting adjacent to plant beds.
 - a. Maximum drip lateral length shall not exceed manufacturer specifications
4. Any quantities shown are approximate. verify quantities and provide all labor, materials, and devices necessary to complete the irrigation system.
5. The layout shown is diagrammatic. do not place lines or devices in the critical root zone of any tree, or in pavement areas, or areas that conflict with proper installation and function of the system.
6. Site conditions:
 - a. Verify and mark the location of all on-site utilities which might be affected by the irrigation system.
 - b. Verify and mark the location of all buried cables, conduits, piping, etc. prior to trenching or digging. call Texas 811 per Texas utilities code title 5 chapter 251 underground facility damage prevention and safety.
 - c. Adjust the design as necessary, together with the licensed irrigator, and owners, to suit site conditions, elevations and grades before proceeding with work.
 - d. Protect from damage as necessary, existing property, existing landscape features, plant material, structures, this work in progress, and the work of other trades.
7. Provide professional grade valve boxes large enough to accommodate valves and other devices shown in the details. box extensions may be required. ground boxes shall be constructed of materials sufficient in strength to accept loads (pedestrian or vehicular) required based on actual installation location.
8. Pressure regulating component(s) shall be required where static pressure exceeds manufacturer's recommended operating range.
9. See details for other required materials and devices.
10. Piping and fittings:
 - a. Mainline irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe. lateral irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe.
 - b. All piping shall utilize thrust blocks at pipe connections per details. where leemco fitting/joint restraints are used thrust blocks may be excluded.
 - c. All pipes and electrical bundles passing beneath driveways or paved areas must be sleeved with schedule 40 pvc pipe with solvent welded joints. sleeve diameter must equal twice that of the pipe or sized as shown on plans.
 - d. All pvc pipe fittings shall be primed with a colored primer, prior to applying pvc cement.
 - e. Irrigation mainline and laterals 4" and larger shall utilize leemco fittings/joint restraints as per manufacturer specifications.
 - f. All lateral pipe shall buried to a min. depth of 6"
 - g. All mainline pipe shall be buried to a depth of 18", where conditions prohibit this depth, a min. depth of 6" may be used when approved by the licensed irrigator
11. Excavation:
 - a. Excavate to depths required to provide 4" depth of sand bedding for piping when rock or other unsuitable bearing materials are encountered
 - b. Excavate trenches and install piping and fill during the same working day. do not leave open trenches or partially filled trenches open overnight
12. Irrigation controller and system shall be equipped with an evapotranspiration sensor for daily weather adjustment to run times, the e/t sensor shall have rain/freeze shutoff.
 - a. Irrigation controller shall be equipped with a flow sensor
 - b. irrigation controller shall be programmed prior to project closeout.
13. Backflow prevention devices:
 - a. Install per manufacturer specifications
 - b. Adequate insulation must be provided to protect against freeze



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 LANDSCAPE IMPROVEMENT PLANS
 BASTROP, TEXAS**

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PLANTING NOTES

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PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HT/SPD	WATER USE	NOTES
TREES							
QUVI	5	Quercus virginiana / Southern Live Oak	Container Grown	3" Cal	12-15 H X 8 Spd	L	Must be from a Single Root Stock
ULCR	7	Ulmus crassifolia / Cedar Elm	Container Grown	3" Cal	12-15 H X 8 Spd	M	Must be from a Single Root Stock
ORNAMENTAL TREES							
CETE	12	Cercis canadensis texensis / Texas Redbud	Container Grown	1" Cal @ 3 trunks, min.	8-9 H X 3-4 Spd	L, M	Must be from a Single Root Stock
LATU	9	Lagerstroemia indica Tuscarora / Crape Myrtle	Container Grown	1" Cal @ 3 trunks, min.	8-9 H X 3-4 Spd	M	Must be from a Single Root Stock
CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CONTAINER SIZE	NOTES	WATER USE	
SHRUBS							
ABGR	21	Abelia x grandiflora / Glossy Abelia	Container Grown	5 gallon	Full to Ground	L-M	
DIBI	83	Dietses bicolor / Fortnight Lily	Container Grown	5 gallon	Full to Ground	L	
ILBN	15	Ilex cornuta Burfordii Nana / Dwarf Burford Holly	Container Grown	5 gallon	Full to Ground	M	
ILBU	8	Ilex cornuta Burfordii / Burford Chinese Holly	Container Grown	15 gallon	Full to Ground	M	
ILVN	74	Ilex vomitoria Nana / Dwarf Yaupon	Container Grown	5 gallon	Full to Ground	L	
LEGR	13	Leucophyllum frutescens / Texas Sage	Container Grown	5 gallon	Full to Ground	L-M	
MYDD	9	Myrica cerifera Dons Dwarf / Dons Dwarf Wax Myrtle	Container Grown	5 gallon	Full to Ground	L-M	
RHIN	23	Rhaphiolepis indica / Indian Hawthorn	Container Grown	5 gallon	Full Canopy, Shrub Form	M	
ROKP	40	Rosa x 'Melbenbino' TM / Petite Knock Out Rose	Container Grown	1 gallon	Full to Ground	L	
RUEQ	38	Russelia equisetiformis / Firecracker Plant	Container Grown	5 gallon	Full to Ground	L-M	
SAGR	120	Salvia greggii / Autumn Sage	Container Grown	5 gallon	Full to Ground	L	
VISU	11	Viburnum suspensum / Sandankwa Viburnum	Container Grown	5 gallon	Full Canopy, Shrub Form	M	
GRASSES							
LMU	210	Liriope muscari / Lily Turf	Container Grown	1 gallon	Full	L-M	
MISJ	48	Miscanthus sinensis Gracillimus / Maiden Grass	Container Grown	5 gallon	Full	L	
MUCA	55	Muhlenbergia capillaris / Gulf Coast Muhly	Container Grown	3 gallon	Full	L	
MULJ	52	Muhlenbergia lindheimeri / Big Muhly	Container Grown	5 gallon	Full	M	
NONE	5	Nolina nelsonii / Blue Nolina	Container Grown	3 gallon	Full	L	
STTE	145	Stipa tenuissima / Mexican Feathergrass	Container Grown	1 gallon	Full	L	
PERENNIALS							
MAAR	62	Malvastrum arborescens / Turks Cap	Container Grown	5 gallon	Full	L-M	
SALE	15	Salvia leucantha / Mexican Bush Sage	Container Grown	3 gallon	Full	L	
SYOB	120	Symphoricarpos oblongifolium / Fall Aster	Container Grown	1 gallon	Full	L-M	
SUCCULENTS							
AGAM	7	Agave americana / Century Plant	Container Grown	7 gallon	Full, Unbroken Blades	VL	
AGWT	6	Agave ovatifolia Whales Tongue / Whales Tongue Agave	Container Grown	7 gallon	Full, Unbroken Blades	VL	
DATE	3	Dasylistron texanum / Texas Sotol	Container Grown	5 gallon	Full, Unbroken Blades	VL	
HEDF	27	Hesperaloe parviflora Desert Flamenco TM / Desert Flamenco Red Yucca	Container Grown	3 gallon	Full, Unbroken Blades	VL	
YUGA	28	Yucca glauca / Softleaf Yucca	Container Grown	5 gallon	Full, Unbroken Blades	VL	
CYCADS/PALMS							
SAM2	26	Sabal minor / Dwarf Palmetto	5 gal. cont. grwn				
GROUND COVER							
JJHB	19	Juniperus horizontalis Bar Harbor / Bar Harbor Creeping Juniper	Container Grown	1 gallon	Full Canopy, Shrub Form	L-M	
LANG	89	Lantana camara New Gold / New Gold Lantana	Container Grown	1 gallon	Full Canopy, Shrub Form	VL	
LAMOA	66	Lantana montevidensis Alba / White Trailing Lantana	Container Grown	1 gallon	Full Canopy, Shrub Form	L	
RONO	6	Rosa x Novarosopop / Popcorn Drift Rose	Container Grown	1 gallon	Full Canopy, Shrub Form	L-M	
SACH	19	Santolina chamaecyparissus / Lavender Cotton Santolina	Container Grown	1 gallon	Full Canopy, Shrub Form	L-M	
SAPI	29	Santolina pinnata / Green Santolina	Container Grown	1 gallon	Full Canopy, Shrub Form	L-M	

TURF GRASS/ PLANT BEDS				
NAME	TOTAL UNITS	DESCRIPTION		
Plant Bed	11,750 sf			
	218 cy	Planting mix	6" depth (Pro-Cro Soil Mix by Whittlesey Landscape Supply or approved equal)	
	109 cy	Mulch	3" Depth (Native Hardwood Mulch)	
Cynodon dactylon 'TIF 419' / Bermuda Grass	37,830 sf		Cynodon dactylon "TIFWAY 419"	
	4,203 sy	Turf Sod	Bermuda T419	
	701 cy	Top Soil	6" Depth (75% Chocolate Loam / 25% Compost)	
Cynodon dactylon / Bermuda Seed Hydromulch	8,336 sf		Cynodon dactylon	
	926 sy	Turf Seed	Common Bermuda	
	51 cy	Top Soil	2" Depth (Chocolate Loam)	
MISCELLANEOUS				
NAME	TOTAL UNITS	DESCRIPTION	COMMENTS	
River Rock Gravel	3,795 sf	4" Depth, 70% 1-2" Dia., 30% 2-4" Dia.	Santa Fe River Rock from Whittlesey Landscape Supplies	
Mulch	2,126 st	3" Depth (Texas Hardwood Mulch)		
Decomposed Granite	2,490 sf	3" Depth Sunset Color by Whittlesey Landscape Supplies with weed barrier		
Steel Edging	2,530 lf	3/16" thick; Brown		
Large Boulder	16 ea	Native Limestone, min. size: 24"x36"x18"	Natural Boulders. No machine markings, gouges	
Small Boulder	16 ea	Native Limestone, min. size: 18"x24"x18"	Natural Boulders. No machine markings, gouges	
IRRIGATION				
SYMB	QTY	UNITS	DESCRIPTION	COMMENTS
CONTROLLER	1	ea.	Rainbird, Hunter, or Approved Equal	
PLANT BEDS	11,750	s.f.	Drip/Spray	
TREES (2 per shade)	45	ea.	Drip/Bubbler	
SOD/TURF	46,166	s.f.	Drip/Spray/Bubbler	

Valverde Amenity Center			
Planting Calculations			
2/23/2024			
PARKING LOT SCREENING (Bastrop Building Block Technical Manual)			
	Total Length	Total Required	Total Provided
Shade Trees (1 Tree within 60 ft of Every Parking Space)	225 LF	4 EA	4 EA



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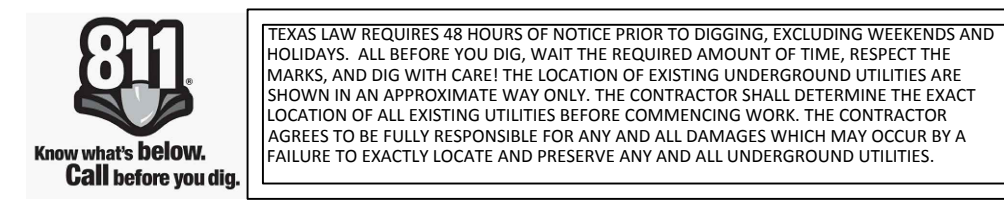
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PLANTING SCHEDULE AND CALCULATIONS

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LEGEND

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	TURF SEED
	RIVER ROCK
	DECOMPOSED GRANITE
	MULCH BED
	COOL DECK A
	COOL DECK B
	CONCRETE SCORING
	PAVERS
	LANDSCAPE BOULDERS



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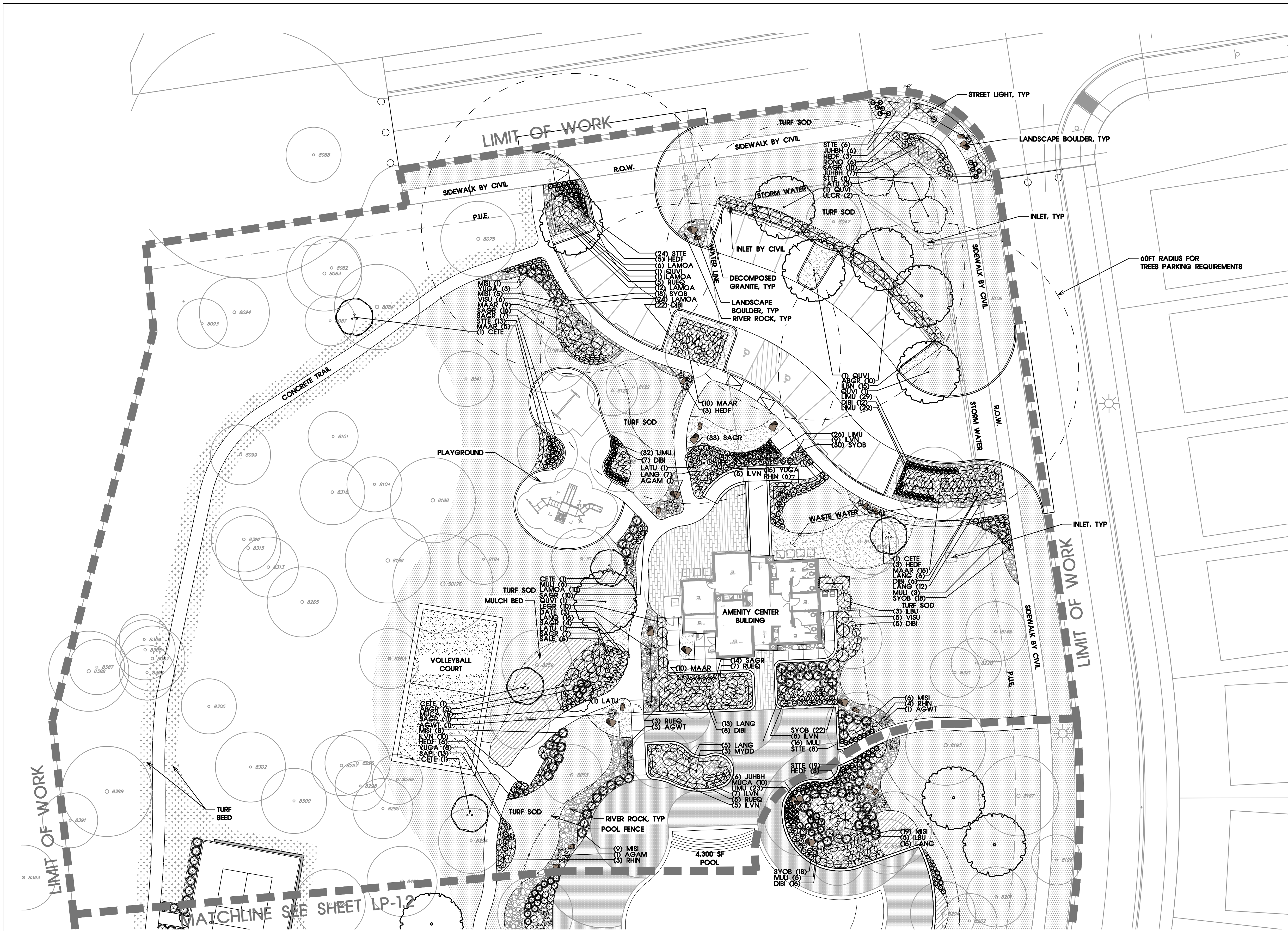
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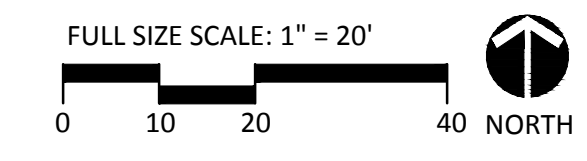
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PLANTING PLAN

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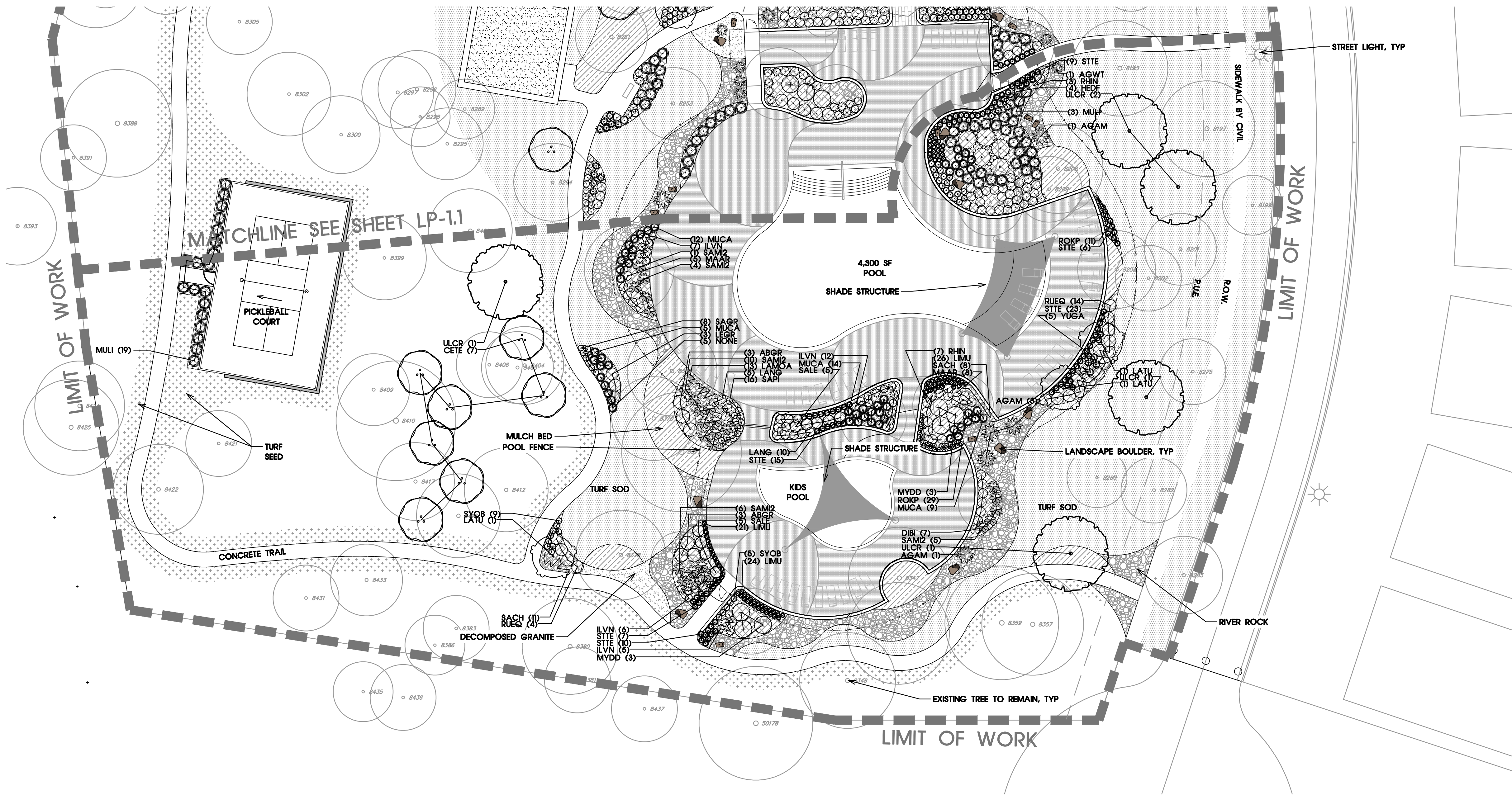
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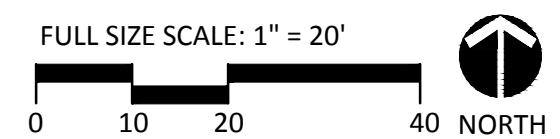
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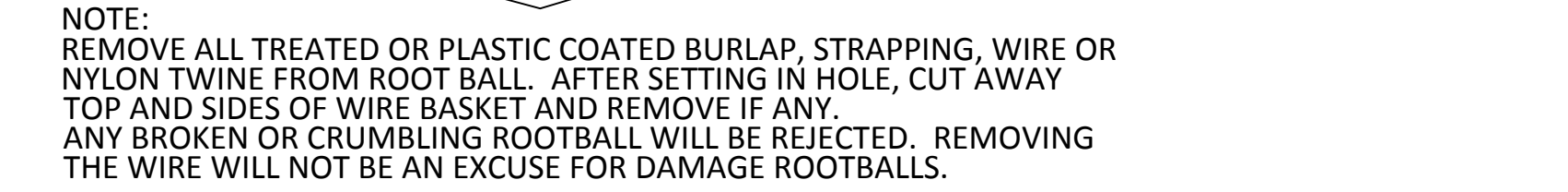
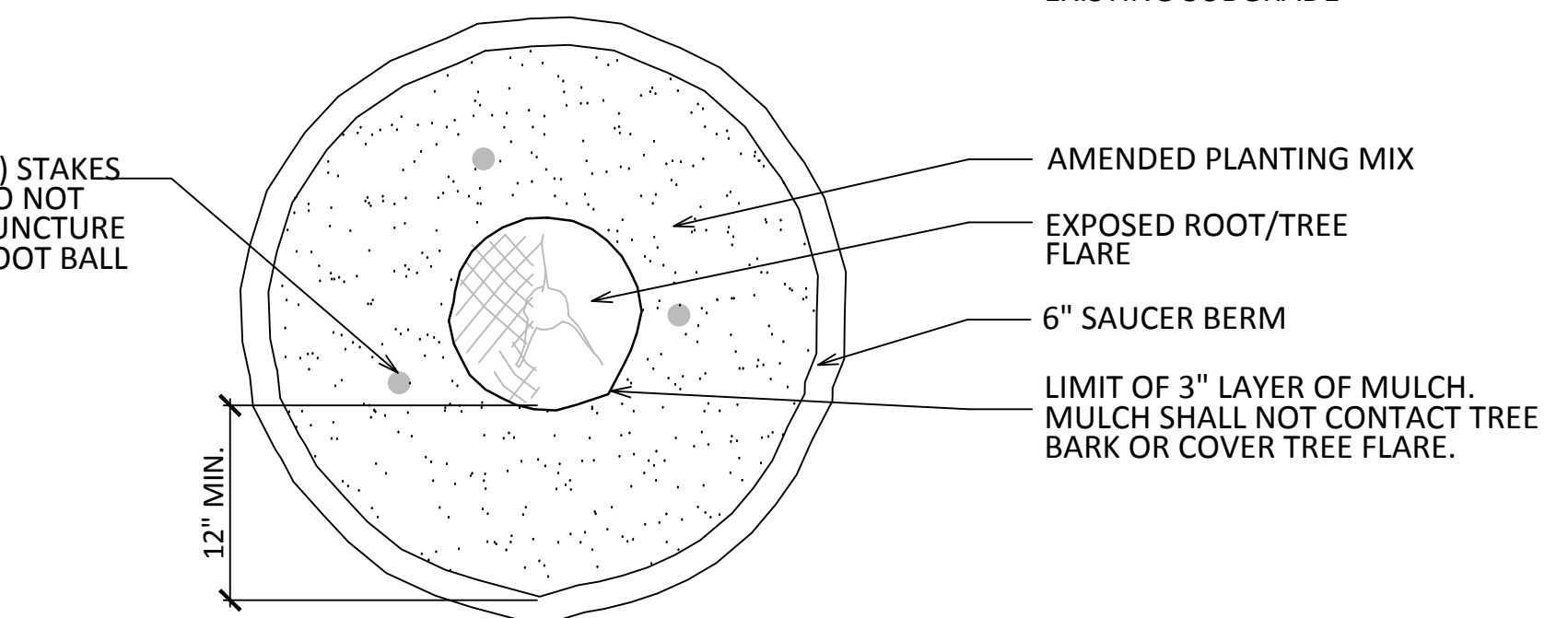
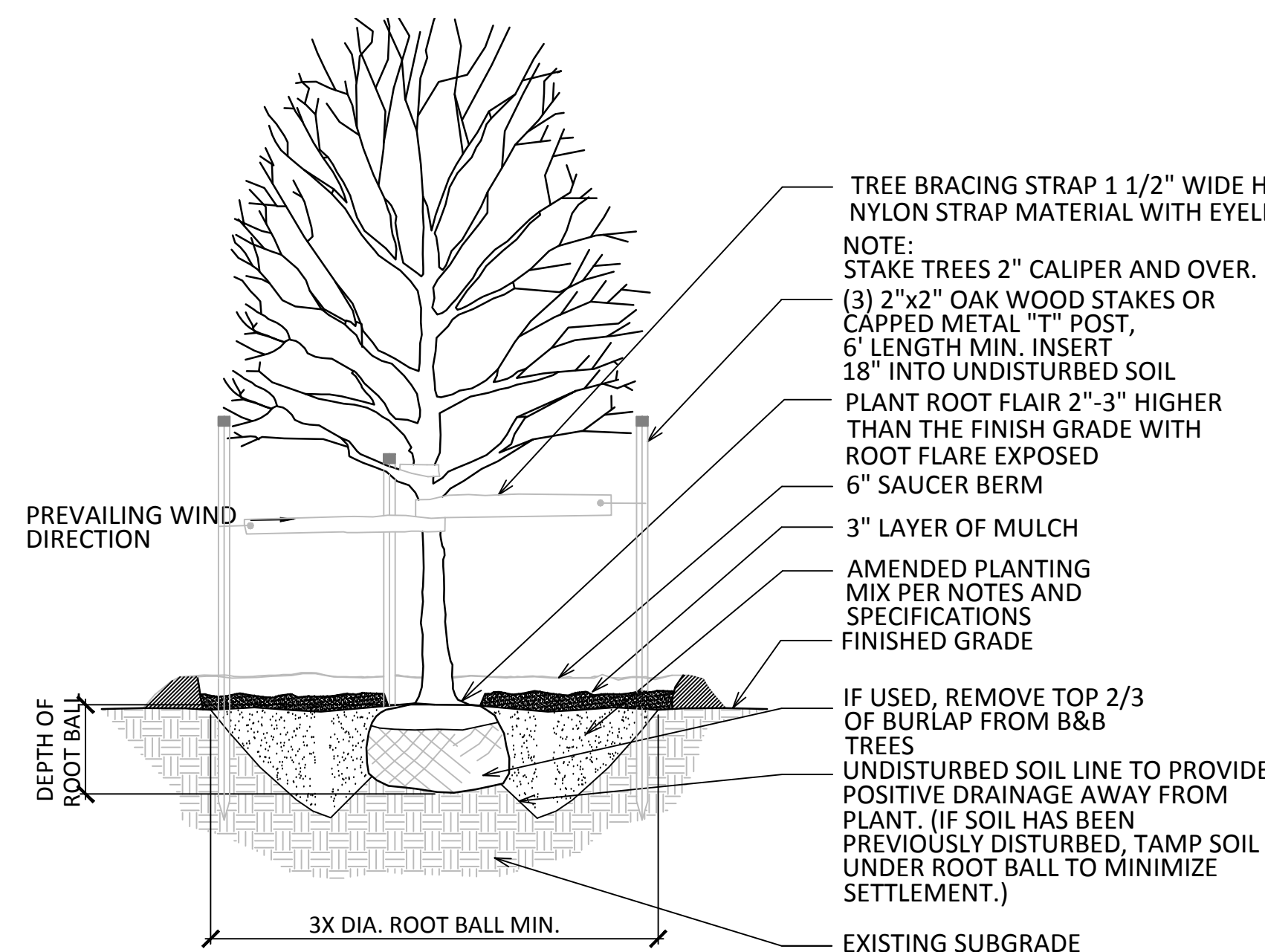


LEGEND

- TURF SOD
- TURF SEED
- RIVER ROCK
- DECOMPOSED GRANITE
- MULCH BED
- COOL DECK A
- COOL DECK B
- CONCRETE SCORING
- PAVERS
- LANDSCAPE BOULDERS



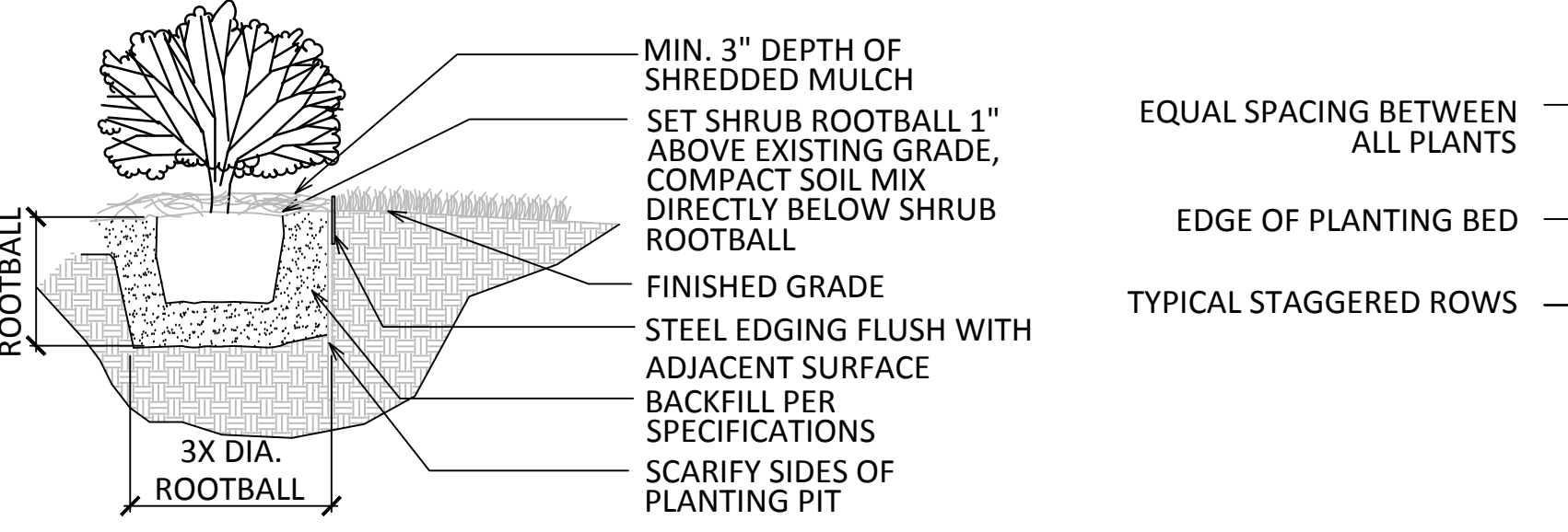
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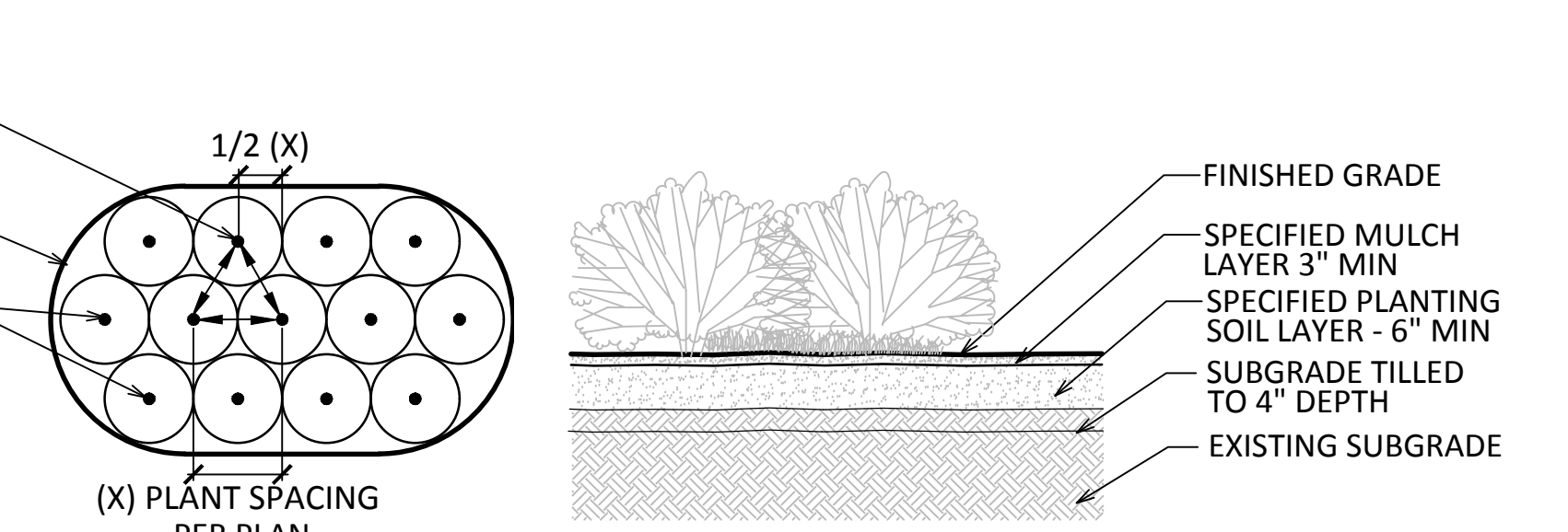
1 TREE PLANTING SCALE: 3/4" = 1'-0"

2 TREE PLANTING - MULTISTEM SCALE: 3/4" = 1'-0"

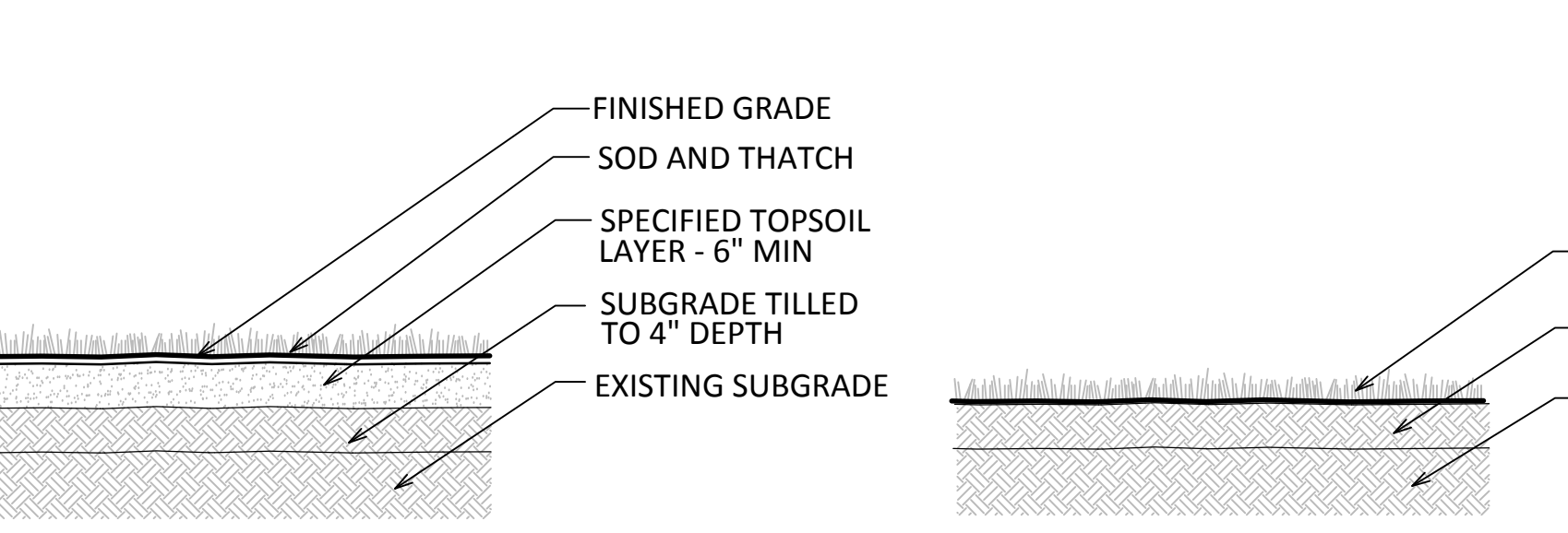
3 TREE PLANTING - PYRAMIDAL SCALE: 3/4" = 1'-0"



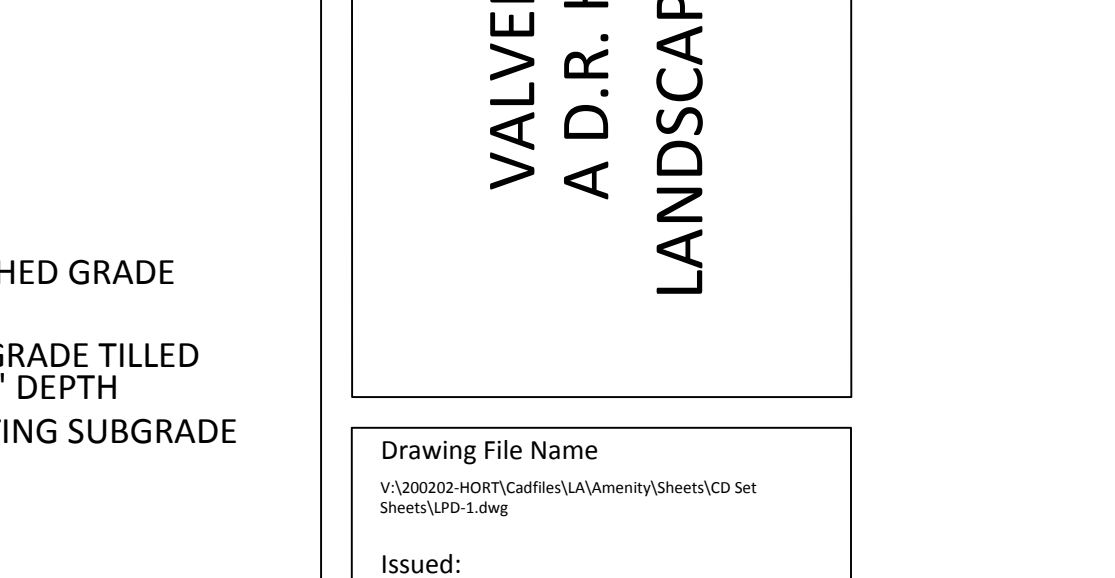
4 SHRUB BED PLANTING SCALE: 1/2" = 1'-0"



5 PLANTING BED PLAN SCALE: NOT TO SCALE

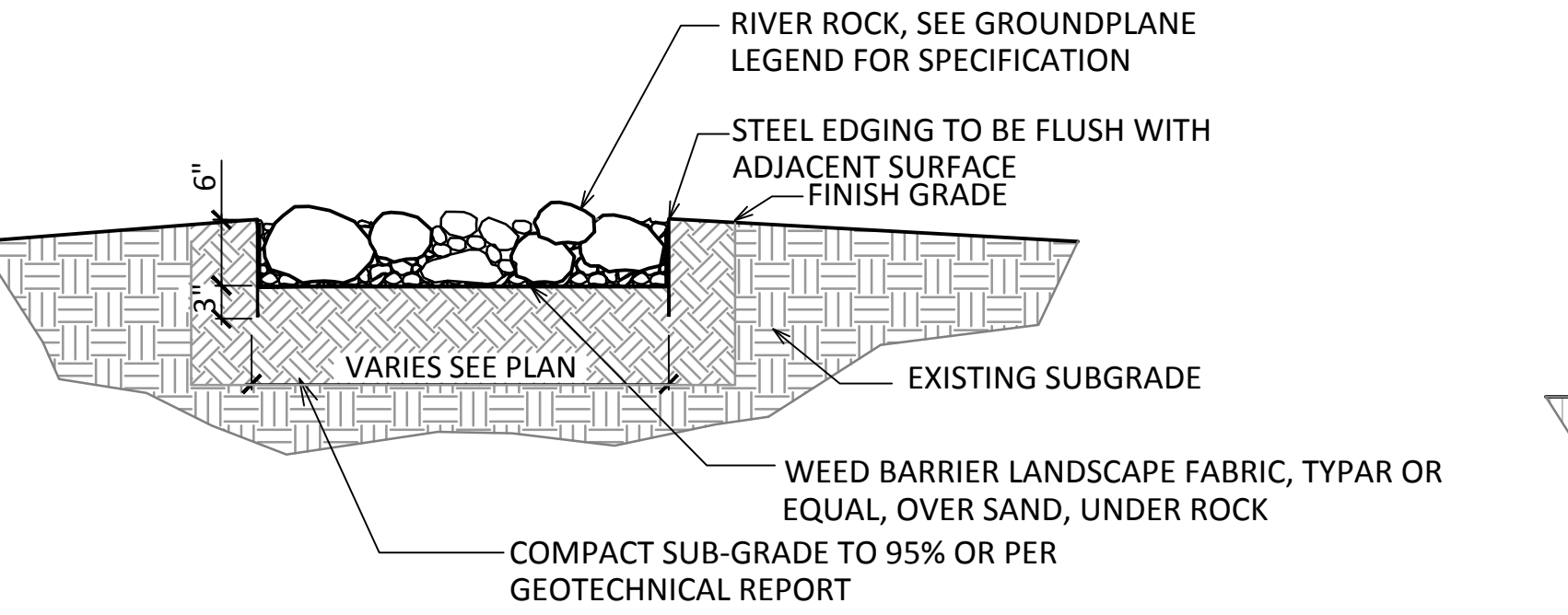


6 PERENNIAL/ANNUAL/ORN. GRASSES BED SCALE: NOT TO SCALE

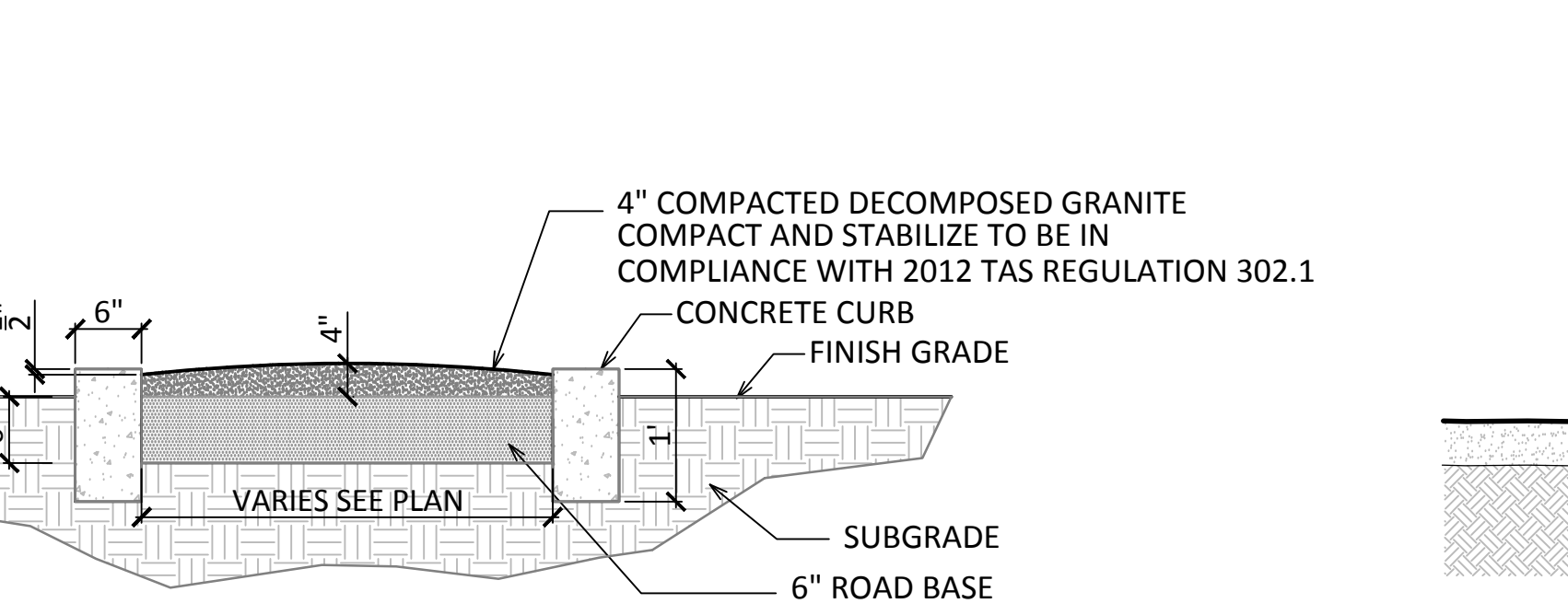


7 TURF SOD SCALE: NOT TO SCALE

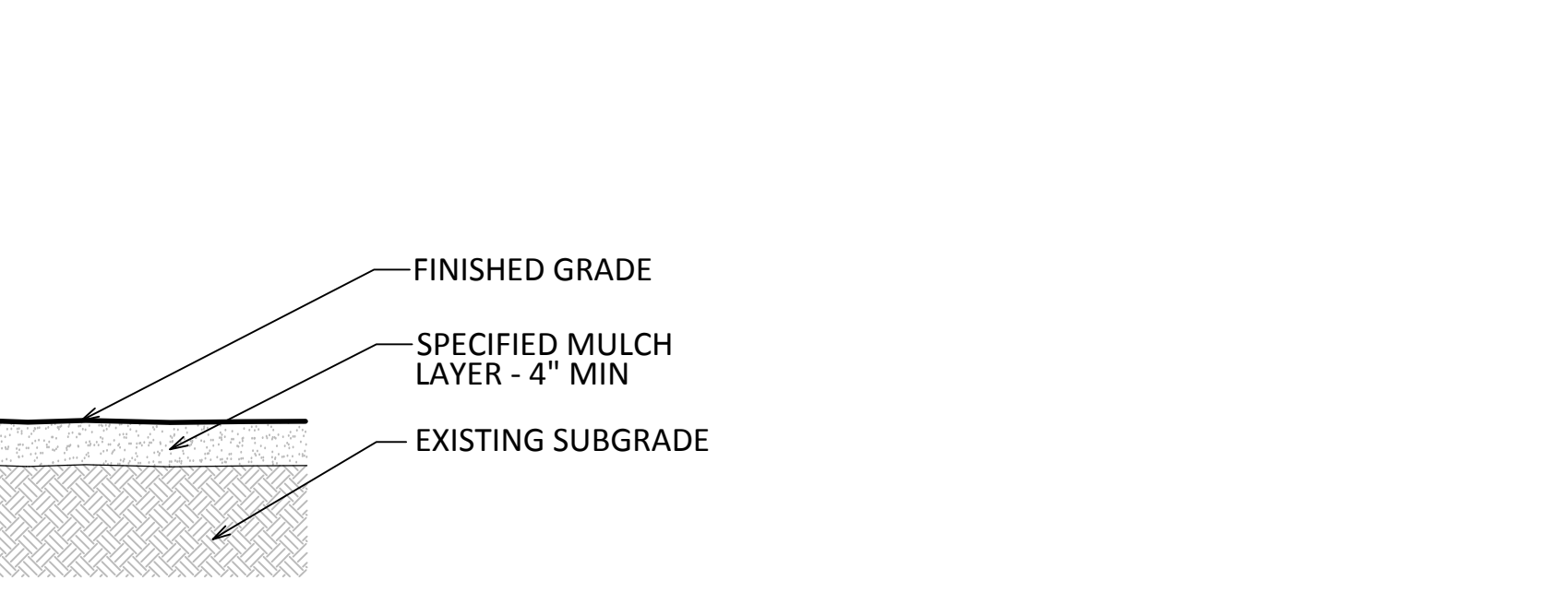
8 ENHANCED NATIVE TURF/SEED SCALE: NOT TO SCALE



9 RIVER ROCK AREAS SCALE: NOT TO SCALE



10 DECOMPOSED GRANITE AREAS SCALE: NOT TO SCALE



11 MULCH BED SCALE: NOT TO SCALE

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PLANTING DETAILS

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811
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 Call before you dig.

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STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve Burleson Crossing East Final Plat, being 19.81 acres situated in the Nancy Blakey Survey, Abstract No. 98, located on the northeast corner of State Highway 71 and Edward Burleson Drive, within the city limits of Bastrop, Texas, as shown in Attachment 1.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: Northeast corner of State Highway 71 and Edward Burleson Drive
 Total Acreage: 19.81 acres
 Acreage Rezoned: 19.81 acres
 Legal Description: 19.81 acres out of the Nancy Blakey Survey, Abstract No. 98

Property Owner: BRP East, L.P.
 Agent Contact: Steve Durham

Existing Use: Vacant/Undeveloped
 Existing Zoning: Planned Development District, P5 Core Base Zoning
 Character District: Cattleman's
 Future Land Use: General Commercial

BACKGROUND:

On September 26, 2023, a Planned Development District, which included the original list of warrants, was approved by Council. The currently proposed final plat proposes 10 commercial lots and associated improvements. A TIA was previously approved as a part of the Preliminary Plat, no changes are proposed. The preliminary plat was approved on September 28, 2023.

Infrastructure	Available (Y/N)	Proposed
Water	Y	Line Extensions
Wastewater	Y	Line Extensions
Drainage	Y	Storm sewer, detention pond
Transportation	Y	Extension, private drive, widening
Parks and Open Space	N	

Drainage

Stormwater runoff generated within the property will be routed onsite to one central location for detention and a storm sewer connection to the detention pond to the west in the Burleson Crossing development. A Drainage Plan has been reviewed and approved by the City Engineer. The maximum impervious cover stated in the PDD is no more than 85% for the entire development. Some lots may have a greater impervious cover to be offset by lots with less impervious cover.

Utilities

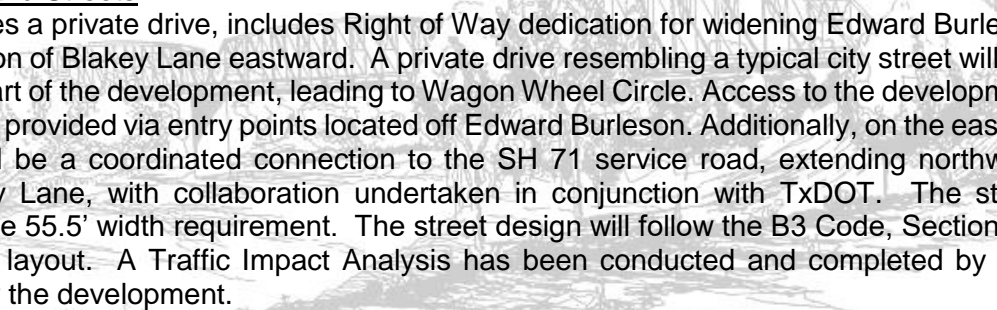
Wastewater and water service (domestic and fire) will be provided by the City of Bastrop via line extensions from existing infrastructure located on Edward Burleson Street. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements.

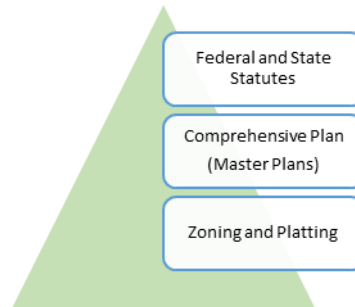
Electric service provided by Bluebonnet Electric.

Gas will be provided by CenterPoint Energy / Entex.

Traffic Impact and Streets

This Plat creates a private drive, includes Right of Way dedication for widening Edward Burleson and an extension of Blakey Lane eastward. A private drive resembling a typical city street will run through the heart of the development, leading to Wagon Wheel Circle. Access to the development will primarily be provided via entry points located off Edward Burleson. Additionally, on the eastern flank, there will be a coordinated connection to the SH 71 service road, extending northward towards Blakey Lane, with collaboration undertaken in conjunction with TxDOT. The street ROW's meet the 55.5' width requirement. The street design will follow the B3 Code, Section 7.3 for design and layout. A Traffic Impact Analysis has been conducted and completed by LJA Engineering for the development.



POLICY EXPLANATION:Texas Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ). The B³ Code replaced Bastrop Code of Ordinances Chapter 10, which previously addressed subdivision requirements.

Section 212.004 Plat Required

- (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped tract into ten commercial lots.

Sec. 212.010. Standards for Approval

(a) The municipal authority responsible for approving plats shall approve a plat if:

- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The preliminary plat conforms to the Future Land Use Plan, which is designated General Commercial for this area.

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

A traffic impact analysis (TIA) for the overall development of the ten-lot Burleson Crossing East has been previously approved by the City and TXDOT and the plat is consistent with the recommendations of that analysis.

(3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee will be provided for the construction and maintenance of the infrastructure improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

The plat complies with the requirements of the PDD and Bastrop Code of Ordinances, B3 code Chapter 1 – Subdivision in effect at the time of the Preliminary Plat submittal.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Drainage Plan, Preliminary Infrastructure Plan, Preliminary Plat, Public Improvement Plan, Public Improvement Plan Agreement and a Final Plat.

- Section 1.3.002 Preliminary Plat

The Preliminary Plat was approved by the planning and zoning commission on September 28, 2023

- Section 1.3.004 Plat Requirements

The Development Review Committee reviewed the Final Plat for Burleson Crossing East for compliance with subdivision and utility standards and deemed the plat administratively complete.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan – The General Commercial character area supports local and regional businesses that rely on heavy traffic volumes and the visibility that is associated with being located near major roadways. General Commercial developments typically involve varying development intensities, from smaller locally owned shops to big box retailers. These areas are predominantly auto oriented, with large accessory parking areas. While General Commercial development will continue to be auto-oriented, improved street-side and parking lot landscaping, buffers, appropriately designed and scaled signage, bicycle and pedestrian accommodations, higher quality building materials, and access management techniques (e.g., limited access points and inter-parcel connectivity) will help to improve overall development quality and appearance.

Representative land uses that are appropriate in General Commercial include General Retail Sales, Food Service, Medical or Health Care Facilities, and Professional Offices which are what is anticipated for Burleson Crossing East.

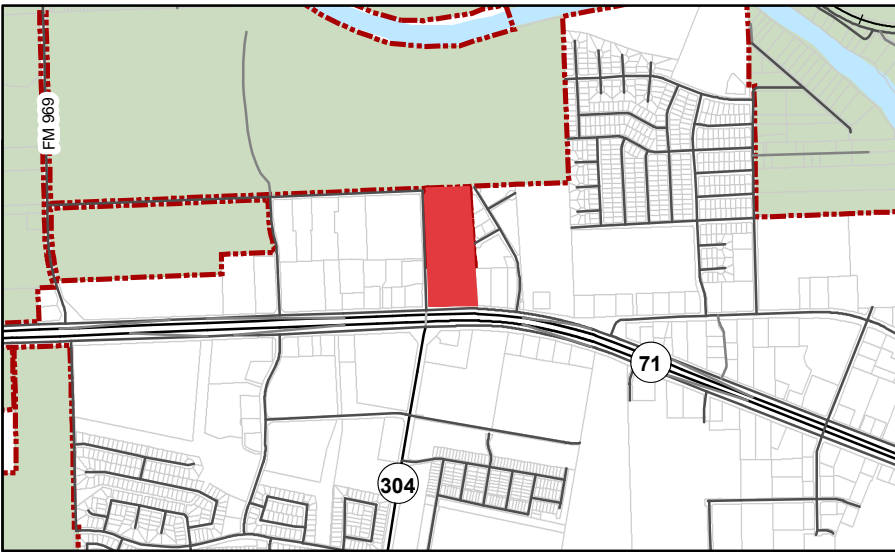
RECOMMENDATION:

Consider action to approve Burleson Crossing East Final Plat, being 19.81 acres situated in the Nancy Blakey Survey, Abstract No. 98, located on the northeast corner of State Highway 71 and Edward Burleson Drive, within the city limits of Bastrop, Texas, as shown in Attachment 1.

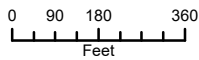
ATTACHMENTS:

- Exhibit A: Burleson Crossing East Final Plat
- Attachment 1: Location Map





**Burleson Crossing East
 Property Location Map**



1 inch = 400 feet

Date: 7/22/2024

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of information, nor does it represent that its use will not infringe upon privately owned rights.





STAFF REPORT

MEETING DATE: July 25th, 2024

TITLE:

Consider action to approve the vacation of The Colony MUD 1D, Section 2 Final Plat, being 28.673 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address:	North of Sam Houston Drive (Attachment 1)
Total Acreage:	28.673 acres
Legal Description:	28.673 acres of the Jose Manuel Bangs Survey, Abstract No. 5
Property Owner:	Rick Neff/Hunt Communities Bastrop, L.L.C.
Agent Contact:	Taunia Halcomb, Carlson, Brigance, and Doering, Inc.
Existing Use:	Vacant/Undeveloped
Existing Zoning:	None. Extra-Territorial Jurisdiction, The Colony MUD
Adopted Plan:	Fourth Amendment to the Colony MUD Consent Agreement, Approved November 5, 2020
Future Land Use:	Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application to vacate the Final Plat for The Colony MUD 1D, Section 2. The plat currently includes 120 residential lots and 1 non-residential lots (Exhibit A). The request for the vacation is in order to support a reconfiguration of the lots which will result in an overall decrease in lots. A new preliminary plat has been submitted showing the new configuration.

POLICY EXPLANATION:

Vacating plats are reviewed and approved in the manner the original plat was approved. This final plat was approved by the Planning & Zoning Commission.

Local Government Code

Sec. 212.013. VACATING PLAT. (a) The proprietors of the tract covered by a plat may vacate the plat at any time before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

(b) If lots in the plat have been sold, the plat, or any part of the plat, may be vacated on the application of all the owners of lots in the plat with approval obtained in the manner prescribed for the original plat.

(c) The county clerk shall write legibly on the vacated plat the word "Vacated" and shall enter on the plat a reference to the volume and page at which the vacating instrument is recorded.

(d) On the execution and recording of the vacating instrument, the vacated plat has no effect.

The original Final Plat was approved by the Planning and Zoning Commission January 26, 2023.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure - Platting

(c) Vacating Plat: Refer to Texas Local Government Code Chapter 212, Subchapter A. Regulations of Subdivisions, Section 212.013 – Vacating Plat.

The B3 code references compliance with the Texas Local Government Code in regards to vacation of a plat.

RECOMMENDATION:

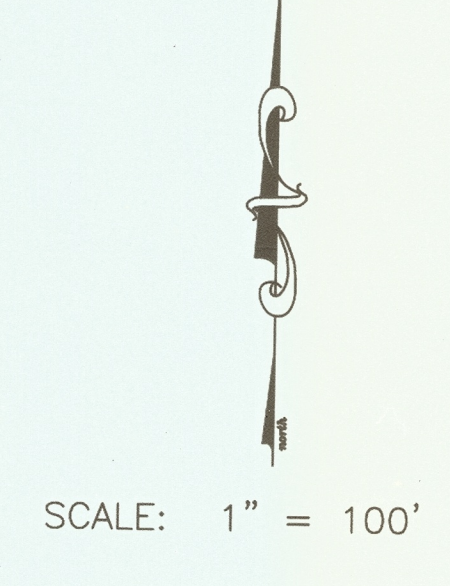
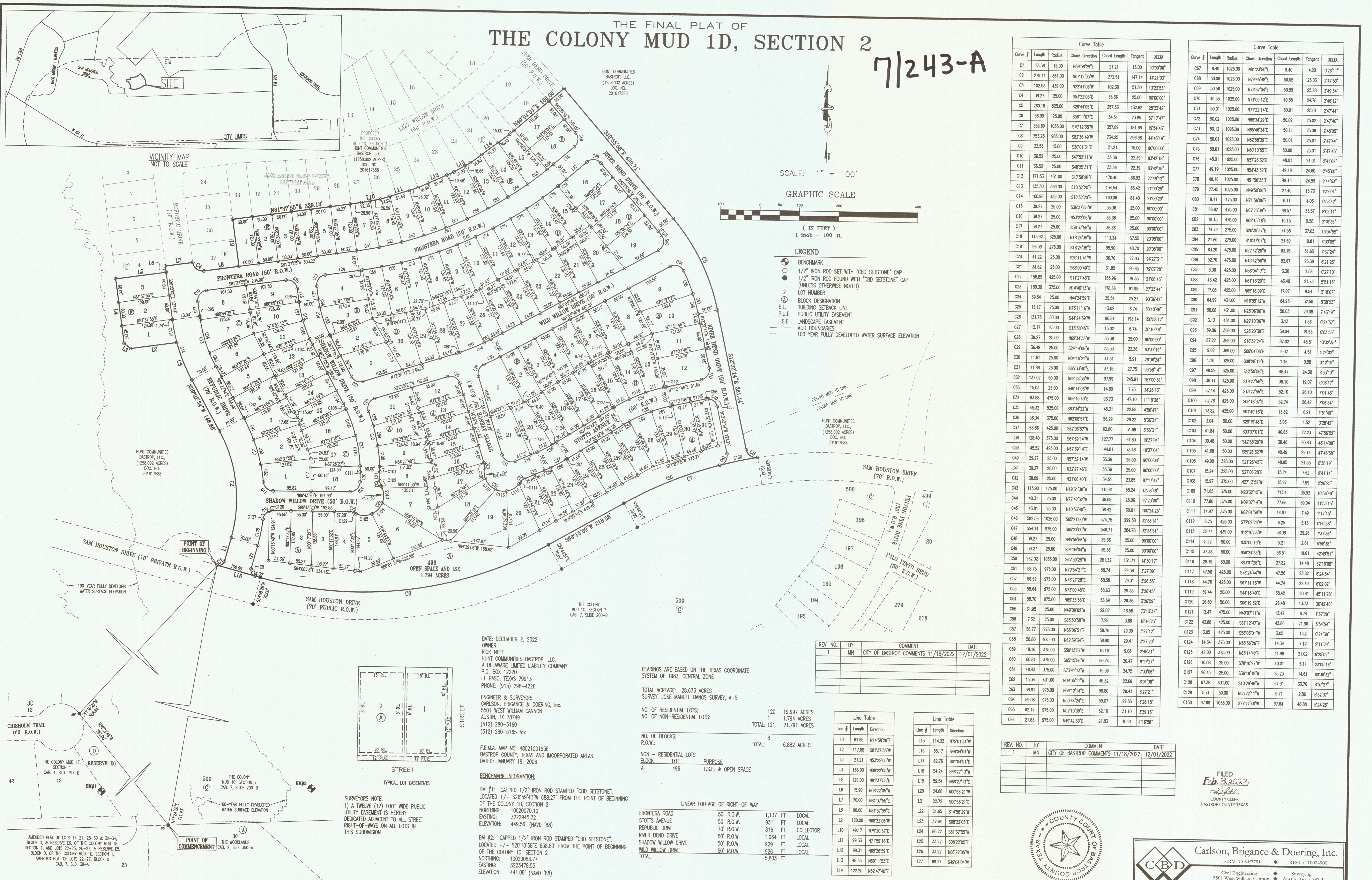
Consider action to approve the vacation of The Colony MUD 1D, Section 2 Final Plat, being 28.673 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1D, Section 2 Final Plat
- Attachment 1: Location Map

THE FINAL PLAT OF THE COLONY MUD 1D, SECTION 2

7/243-A



Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C1	23.56	15.00	N59°58'29"E	21.21	15.00	90°00'00"
C2	279.44	361.00	N07°12'03"W	272.51	147.14	44°21'03"
C3	102.53	439.00	N22°41'08"W	102.30	51.50	132°22'53"
C4	39.27	25.00	S52°22'05"E	35.36	25.00	90°00'00"
C5	280.18	525.00	S28°44'05"E	257.53	132.82	282°24'42"
C6	38.09	25.00	S56°11'07"E	34.51	23.85	87°17'47"
C7	359.89	1035.00	S70°12'38"W	357.89	181.68	195°44'33"
C8	753.23	965.00	S82°36'49"W	734.25	396.98	44°43'19"
C9	23.56	15.00	S30°01'31"E	21.21	15.00	90°00'00"
C10	36.52	25.00	S47°52'11"W	33.36	22.39	83°42'18"
C11	36.52	25.00	S48°25'31"E	33.36	22.39	83°42'18"
C12	171.53	431.00	S17°59'28"E	170.40	86.92	22°48'12"
C13	135.30	369.00	S18°32'20"E	134.54	68.42	21°00'29"
C14	160.96	439.00	S18°52'20"E	160.06	81.40	21°00'29"
C15	39.27	25.00	S36°37'55"W	35.36	25.00	90°00'00"
C16	39.27	25.00	N63°22'05"W	35.36	25.00	90°00'00"
C17	39.27	25.00	S36°37'55"W	35.36	25.00	90°00'00"
C18	113.92	325.00	N18°24'35"W	113.34	57.55	20°05'00"
C19	96.39	275.00	S18°24'35"E	95.90	48.70	20°05'00"
C20	41.22	25.00	S25°11'41"W	36.70	27.03	94°27'31"
C21	34.52	25.00	S88°00'49"E	31.85	20.85	79°07'28"
C22	156.85	425.00	S12°27'43"E	155.96	79.33	21°08'43"
C23	180.39	375.00	N14°40'13"W	178.66	91.98	27°33'44"
C24	39.54	25.00	N44°24'58"E	35.54	25.27	90°36'41"
C25	13.17	25.00	N79°11'16"W	13.02	6.74	30°10'48"
C26	131.75	50.00	S44°24'58"W	98.61	193.14	150°58'17"
C27	13.17	25.00	S19°56'45"E	13.02	6.74	30°10'48"
C28	39.27	25.00	N62°34'33"W	35.36	25.00	90°00'00"
C29	36.49	25.00	S24°14'06"W	33.33	22.36	83°37'19"
C30	11.61	25.00	N04°16'21"W	11.51	5.91	26°36'24"
C31	41.88	25.00	S65°33'40"E	37.15	27.75	95°58'14"
C32	137.02	50.00	N69°28'35"W	97.99	245.91	157°00'51"
C33	15.03	25.00	S49°14'06"W	14.80	7.75	34°26'13"
C34	93.88	475.00	N66°45'43"E	93.73	47.10	11°19'28"
C35	45.32	525.00	S63°34'22"W	45.31	22.88	4°56'47"
C36	56.34	375.00	N62°08'57"E	56.29	28.22	8°36'31"
C37	63.86	425.00	S62°08'57"W	63.80	31.99	8°36'31"
C38	128.40	375.00	S67°39'14"W	127.77	64.83	19°37'04"
C39	145.52	425.00	N67°39'14"E	144.81	73.48	19°37'04"
C40	39.27	25.00	N57°32'14"W	35.36	25.00	90°00'00"
C41	39.27	25.00	N32°27'46"W	35.36	25.00	90°00'00"
C42	38.09	25.00	N31°06'40"E	34.51	23.85	87°17'47"
C43	115.90	475.00	N19°31'38"W	115.61	58.24	13°36'48"
C44	40.31	25.00	N72°42'32"E	36.08	26.06	9°23'00"
C45	43.81	25.00	N10°53'46"E	38.42	30.01	100°24'25"
C46	582.56	1025.00	S85°21'00"W	574.75	299.38	32°33'51"
C47	554.14	975.00	S85°21'00"W	546.71	284.78	32°33'51"
C48	39.27	25.00	N85°55'56"W	35.36	25.00	90°00'00"
C49	39.27	25.00	S04°04'04"W	35.36	25.00	90°00'00"
C50	282.02	1035.00	S67°30'25"W	281.32	131.71	14°30'17"
C51	58.75	975.00	N79°54'21"E	58.74	29.38	37°27'09"
C52	58.59	975.00	N76°27'28"E	58.58	29.31	37°26'35"
C53	58.64	975.00	N73°00'49"E	58.63	29.33	37°26'45"
C54	58.70	975.00	N69°33'56"E	58.69	29.36	37°26'58"
C55	31.95	25.00	N49°09'02"W	28.82	18.58	73°13'37"
C56	7.32	25.00	S85°50'59"W	7.29	3.89	16°46'23"
C57	58.77	975.00	N68°06'51"E	58.76	29.39	37°27'12"
C58	58.80	975.00	N62°39'34"E	58.80	29.41	37°27'20"
C59	18.16	375.00	S59°13'57"W	18.16	9.08	24°6'31"
C60	80.81	375.00	S85°19'56"W	80.74	30.47	9°17'27"
C61	49.43	375.00	S73°41'13"W	49.39	24.75	7°33'06"
C62	45.34	431.00	N09°35'11"W	45.32	22.89	6°01'38"
C63	58.81	975.00	N59°12'14"E	58.80	29.41	37°27'21"
C64	59.08	975.00	N55°44'24"E	59.07	29.55	37°28'18"
C65	62.17	975.00	N52°10'39"E	62.16	31.10	37°31'13"
C66	21.83	975.00	N49°42'33"E	21.83	10.91	17°16'58"

Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C67	8.40	1025.00	N81°23'50"E	8.40	4.20	0°28'11"
C68	50.06	1025.00	N79°45'48"E	50.05	25.03	2°47'53"
C69	50.56	1025.00	N76°57'04"E	50.55	25.28	2°49'34"
C70	49.55	1025.00	N74°09'12"E	49.55	24.78	2°48'12"
C71	50.01	1025.00	N71°22'14"E	50.01	25.01	2°47'44"
C72	50.02	1025.00	N68°34'29"E	50.02	25.02	2°47'46"
C73	50.12	1025.00	N65°46'34"E	50.11	25.06	2°48'05"
C74	50.01	1025.00	N62°58'39"E	50.01	25.01	2°47'44"
C75	50.01	1025.00	N60°10'55"E	50.00	25.01	2°47'43"
C76	48.01	1025.00	N57°26'32"E	48.01	24.01	2°41'02"
C77	49.19	1025.00	N54°43'32"E	49.19	24.60	2°45'00"
C78	49.16	1025.00	N51°58'35"E	49.16	24.59	2°44'53"
C79	27.45	1025.00	N49°09'06"E	27.45	13.73	1°32'04"
C80	8.11	475.00	N71°56'06"E	8.11	4.06	0°58'42"
C81	66.62	475.00	N67°25'39"E	66.57	33.37	8°02'11"
C82	19.15	475.00	N62°15'16"E	19.15	9.58	2°18'35"
C83	74.79	275.00	S20°39'37"E	74.56	37.63	15°34'55"
C84	21.60	275.00	S10°37'07"E	21.60	10.81	4°30'05"
C85	63.20	475.00	N52°42'20"E	63.15	31.65	7°37'24"
C86	52.70	475.00	N15°42'56"W	52.67	26.38	6°21'25"
C87	3.36	425.00	N58°04'17"E	3.36	1.68	0°27'10"
C88	43.42	425.00	N52°11'29"E	43.40	21.73	5°51'13"
C89	17.08	425.00	N65°18'09"E	17.07	8.54	2°18'07"
C90	64.89	431.00	N16°55'12"W	64.83	32.56	8°38'23"
C91	58.08	431.00	N29°06'00"W	58.03	29.08	7°43'14"
C92	3.13	431.00	N29°10'06"W	3.13	1.56	0°24'57"
C93	39.06	369.00	S28°20'38"E	39.04	19.55	6°03'53"
C94	87.22	369.00	S16°32'24"E	87.02	43.61	13°32'35"
C95	9.02	369.00	S09°04'06"E	9.02	4.51	1°24'02"
C96	1.16	325.00	S08°28'12"E	1.16	0.58	0°12'15"
C97	48.52	325.00	S12°50'56"E	48.47	24.30	8°33'13"
C98	38.11	425.00	S19°27'56"E	38.10	19.07	5°08'17"
C99	52.14	425.00	S13°22'55"E	52.10	26.10	7°01'43"
C100	52.78	425.00	S06'18'37"E	52.74	26.42	7°06'54"
C101	13.82	425.00	S01°49'16"E	13.82	6.91	1°51'49"
C102	3.04	50.00	S29°19'48"E	3.03	1.52	3°28'42"
C103	41.84	50.00	S03'37'01"E	40.83	22.23	4°56'52"
C104	39.48	50.00	S42°58'29"W	38.46	20.83	45°14'08"
C105	41.68	50.00	S89°28'32"W	40.49	22.14	47°45'58"
C106	49.00	325.00	S21°26'42"E	48.95	24.55	6°38'19"
C107	15.24	325.00	S27°06'28"E	15.24	7.62	2°11'14"
C108	15.97	375.00	N27°13'52"W	15.97	7.99	2°28'25"
C109	71.85	375.00	N20°32'15"W	71.54	35.93	10°56'49"
C110	77.80	375.00	N09°07'14"W	77.66	39.04	11°53'15"
C111	14.97	375.00	N02°01'59"W	14.97	7.49	2°17'15"
C112	6.25	425.00	S77°02'29"W	6.25	3.13	0°50'36"
C113	58.44	439.00	N12°10'53"W	58.39	29.26	7°37'36"
C114	5.22	50.00	N35°00'19"E	5.21	2.61	5°58'38"
C115	37.38	50.00	N59°24'33"E	36.51	19.61	42°49'51"
C116	28.19	50.00	S83°01'28"E	27.82	14.48	32°18'08"
C117	47.58	425.00	S73°24'44"W	47.56	23.82	6°24'54"
C118	44.76	425.00	S67°11'16"W	44.74	22.40	6°02'02"
C119	39.44	50.00	S41°16'40"E	38.42	20.81	45°11'28"
C120	26.80	50.00	S06°19'32"E	26.48	13.73	3°42'46"
C121	13.47	475.00	N47°07'11"W	13.47	6.74	13°7'29"
C122	43.88	425.00	S61°12'47"W	43.86	21.96	5°54'54"
C123	3.05	425.00	S58°03'01"W	3.05	1.52	0°24'38"
C124	14.34	375.00	N58°56'29"E	14.34	7.17	2°11'29"
C125	42.00	375.00	N63°14'42"E	41.98	21.02	6°25'02"
C126	10.08	25.00	S78°10'27"W	10.01	5.11	23°05'46"
C127	28.45	25.00	S36°19'18"W	25.23	14.61	6°03'32"
C128	67.38	431.00	S10°29'46"W	67.31	33.76	8°57'27"
C129	5.71	50.00	N63°22'11"W	5.71	2.86	6°32'37"
C130	97.68	1035.00	S77°27'46"W	97.64	48.88	5°24'26"

REV. NO.	BY	COMMENT	DATE
1	MN	CITY OF BASTROP COMMENTS 11/18/2022	12/01/2022

Line #	Length	Direction
L1	81.65	N14°58'29"E
L2	117.88	S81°37'55"W
L3	21.21	N53°22'05"E
L4	165.00	N08°22'05"W
L5	129.00	N81°37'55"E
L6	15.90	N08°22'05"W
L7	70.00	N81°37'55"E
L8	90.00	N81°37'55"E
L9	120.00	N08°22'05"W
L10	49.17	N79°20'57"E
L11	99.33	N71°59'16"E
L12	99.31	N65°26'59"E
L13	48.85	N60°11'53"E
L14	122.25	N52°47'40"E

Line #	Length	Direction
L15	114.32	N75°01'31"W
L16	68.17	S49°04'04"W
L17	82.76	S01°04'51"E
L18	54.24	S68°27'13"W
L19	59.54	N66°27'13"E
L20	24.88	N05°53'21"W
L21	22.72	S00°53'21"E
L22	51.48	S14°58'29"W
L23	37.64	S68°22'05"E
L24	86.22	S81°37'55"W
L25	33.22	S08°22'05"E
L26	33.22	N08°22'05"W
L27	68.17	S49°04'04"W

BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE

TOTAL ACREAGE: 28.673 ACRES
SURVEY: JOSE MANUEL BANGS SURVEY, A-5

NO. OF RESIDENTIAL LOTS:	120	19,997 ACRES
NO. OF NON-RESIDENTIAL LOTS:	1	1,794 ACRES
TOTAL:	121	21,791 AC

THE FINAL PLAT OF THE COLONY MUD 1D, SECTION 2 7/243-B

- GENERAL NOTES: 1. THE BENCHMARKS USED ARE: BM #1: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE"...

Table with 3 columns: BLOCK, LOT, PURPOSE. Row 1: A, 496, L.S.E. & OPEN SPACE

Table with 3 columns: BLOCK, LOT, SQ. FT. Lists lots 1-30 for blocks A and B.

Table with 3 columns: BLOCK, LOT, SQ. FT. Lists lots 1-21 for blocks B and C.

Table with 3 columns: BLOCK, LOT, SQ. FT. Lists lots 1-18 for blocks C and D.

METES AND BOUNDS BEING ALL OF THAT CERTAIN 28.673 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, BASTROP COUNTY, TEXAS...

COMMENCING, AT A 1/2 INCH IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID 1258.002 ACRE TRACT OF LAND, BEING THE SOUTHEAST CORNER OF RESERVE E6, BLOCK D AMENDED PLAT OF LOTS 17-21, 28-30 & 32-34, BLOCK D, & RESERVE E6, OF THE COLONY MUD 1E, SECTION 1...

THENCE, N11°24'26"E, OVER AND ACROSS SAID 1258.002 ACRE TRACT OF LAND, A DISTANCE OF 711.93 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" ON THE NORTH LINE OF SAM HOUSTON DRIVE (70' R.O.W.)...

- THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWENTY-FIVE (25) COURSES AND DISTANCES, NUMBERED 1 THROUGH 25, 1) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 23.56 FEET...

- THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT AND WITH THE NORTH LINE OF SAID SAM HOUSTON DRIVE, THE FOLLOWING FOUR (4) COURSES AND DISTANCES, NUMBERED 1 THROUGH 4, 1) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1035.00 FEET, AN ARC LENGTH OF 359.69 FEET...

STATE OF TEXAS § COUNTY OF BASTROP § KNOW ALL MEN BY THESE PRESENTS:

THAT, HUNT COMMUNITIES BASTROP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH RICK NEFF, SENIOR VICE PRESIDENT AND BEING THE OWNER OF 1258.002 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS...

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY STREETS AND/OR EASEMENTS SHOWN HEREON TO THE PUBLIC WITNESS MY HAND THIS 20 DAY OF JAN, 2023, A.D.

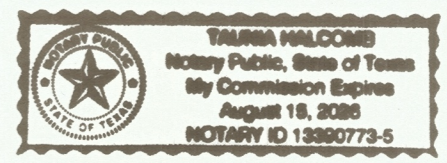
RICK NEFF HUNT COMMUNITIES BASTROP, LLC, A DELAWARE LIMITED LIABILITY COMPANY 4401 N. MESA STREET, EL PASO, TEXAS 79902

STATE OF TEXAS § COUNTY OF BASTROP § KNOW ALL MEN BY THESE PRESENTS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE 20 DAY OF JANUARY, 2023, A.D.

Jaunia Halems NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



FLOOD PLAN NOTE: NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021C0195E FOR BASTROP COUNTY TEXAS...

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS (X) COUNTY OF BASTROP (X) KNOW ALL MEN BY THESE PRESENTS:

I, MAHER HARMOUCHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP.

ENGINEERING BY: M. Harhouché DATE: 01/16/2023 MAHER HARMOUCHE, P.E. #143982 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749



STATE OF TEXAS (X) COUNTY OF BASTROP (X) KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOHN DAVID KIPP, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION...

SURVEYED BY: John D Kipp DATE: 12/09/2022 JOHN DAVID KIPP - R.P.L.S. NO. 5844 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749



APPROVED THIS DAY 26th of January, 2023 A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

APPROVED: Cassi Cady PLANNING & ZONING COMMISSION CHAIRPERSON APPROVED: Ann Brandt CITY SECRETARY

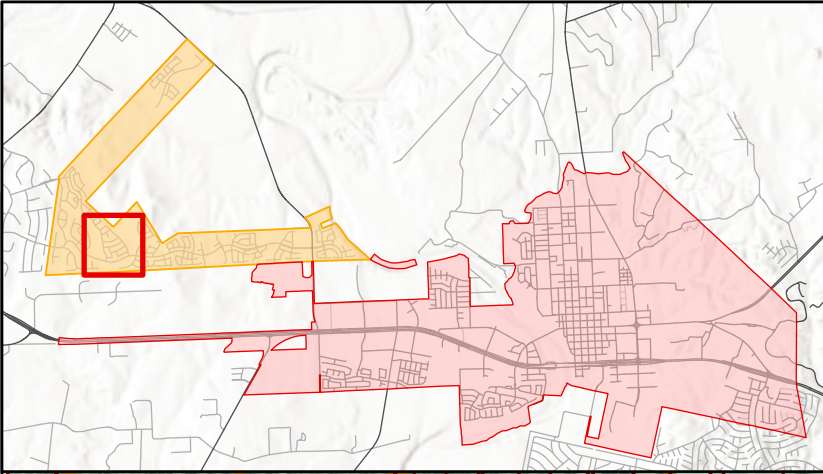
STATE OF TEXAS (X) COUNTY OF BASTROP (X)

I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON 7th DAY OF February, 2023 A.D. AT 10:52 O'CLOCK AM IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET 7, PAGE 243A AND 243-B.

FILED FOR RECORD ON THE 3rd DAY OF February, 2023 A.D. Cynthia Dickey DEPUTY COUNTY CLERK, BASTROP COUNTY, TEXAS

Filed Feb 3, 2023 County Clerk Bastrop County, Texas. Carlson, Brigrance & Doering, Inc. Firm ID #E3791 REG. # 10024900 Civil Engineering Surveying 5501 West William Cannon Austin, Texas 78749 Phone No. (512) 280-5160 Fax No. (512) 280-5165

Attachment 1 Location Map



Scale 1:5,300



The Colony MUD 1D, Section 2 Vacating Plat

0 200 400 600 800 1,000 ft

 A graphic scale bar showing distances from 0 to 1,000 feet in increments of 200 feet.

Current Time: 6/27/2024 2:45 PM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced.

The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.



STAFF REPORT

MEETING DATE: July 25th, 2024

TITLE:

Consider action to approve the vacation of The Colony MUD 1D, Section 3 Final Plat, being 25.419 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address:	North of Sam Houston Drive (Attachment 1)
Total Acreage:	25.419 acres
Legal Description:	25.419 acres of the Jose Manuel Bangs Survey, Abstract No. 5
Property Owner:	Rick Neff/Hunt Communities Bastrop, L.L.C.
Agent Contact:	Taunia Halcomb, Carlson, Brigance, and Doering, Inc.
Existing Use:	Vacant/Undeveloped
Existing Zoning:	None. Extra-Territorial Jurisdiction, The Colony MUD
Adopted Plan:	Fourth Amendment to the Colony MUD Consent Agreement, Approved November 5, 2020
Future Land Use:	Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application to vacate the Final Plat for The Colony MUD 1D, Section 3. The plat currently includes 111 residential lots and 1 non-residential lots (Exhibit A). The request for the vacation is in order to support a reconfiguration of the lots which will result in an overall decrease in lots. A new preliminary plat has been submitted showing the new configuration.

POLICY EXPLANATION:

Vacating plats are reviewed and approved in the manner the original plat was approved. This final plat was approved by the Planning & Zoning Commission.

Local Government Code

Sec. 212.013. VACATING PLAT. (a) The proprietors of the tract covered by a plat may vacate the plat at any time before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

(b) If lots in the plat have been sold, the plat, or any part of the plat, may be vacated on the application of all the owners of lots in the plat with approval obtained in the manner prescribed for the original plat.

(c) The county clerk shall write legibly on the vacated plat the word "Vacated" and shall enter on the plat a reference to the volume and page at which the vacating instrument is recorded.

(d) On the execution and recording of the vacating instrument, the vacated plat has no effect.

The original Final Plat was approved by the Planning and Zoning Commission January 26, 2023.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure - Platting

(c) Vacating Plat: Refer to Texas Local Government Code Chapter 212, Subchapter A. Regulations of Subdivisions, Section 212.013 – Vacating Plat.

The B3 code references compliance with the Texas Local Government Code in regards to vacation of a plat.

RECOMMENDATION:

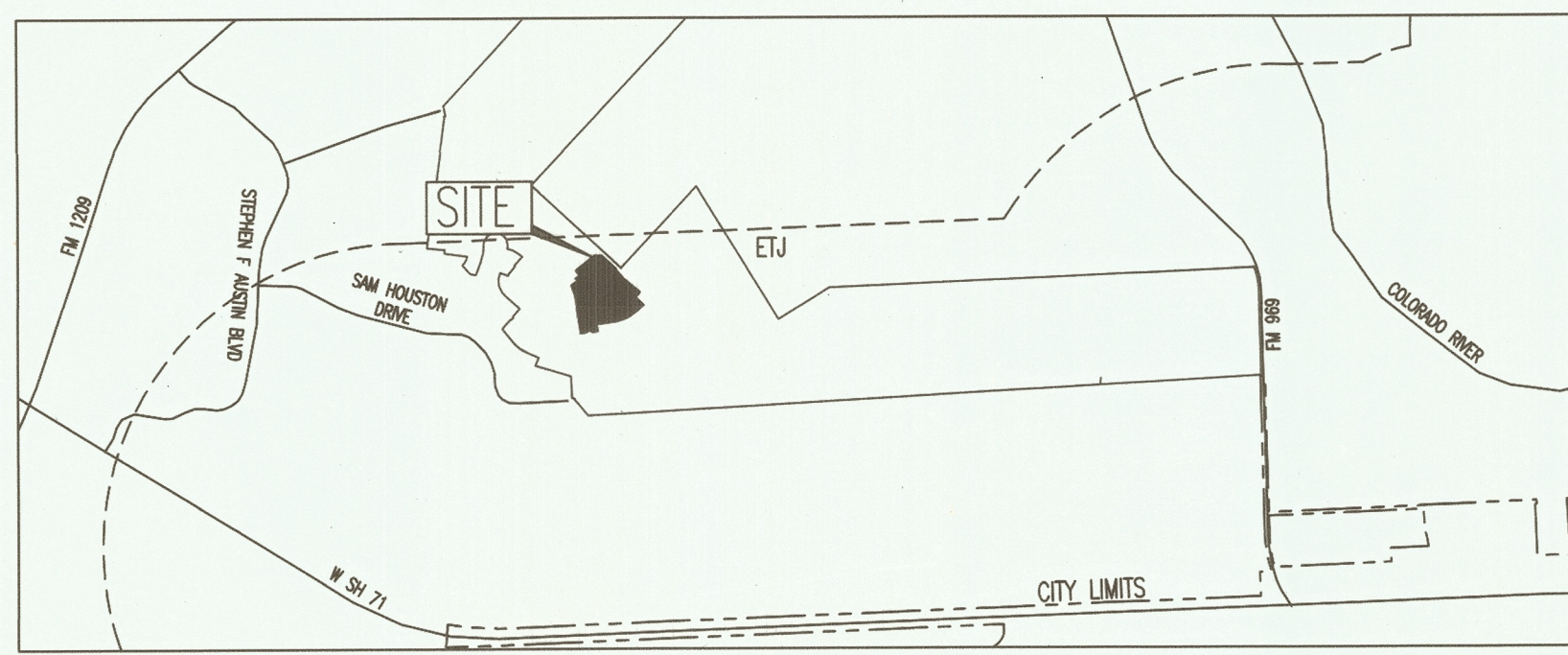
Consider action to approve the vacation of The Colony MUD 1D, Section 3 Final Plat, being 25.419 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1D, Section 3 Final Plat
- Attachment 1: Location Map

THE FINAL PLAT OF THE COLONY MUD 1D, SECTION 3

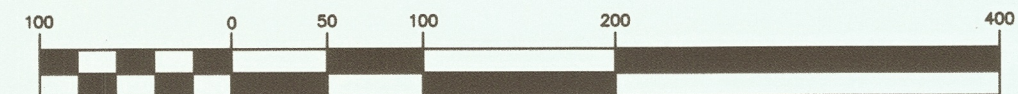
7/244-A



VICINITY MAP NOT TO SCALE

SCALE: 1" = 100'

GRAPHIC SCALE



LEGEND

- 1/2" IRON ROD SET WITH "CBD SETSTONE" CAP
- 1/2" IRON ROD FOUND
- 2 LOT NUMBER
- Ⓐ BLOCK DESIGNATION
- B.L. BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- L.S.E. LANDSCAPE EASEMENT
- D.E. DRAINAGE EASEMENT
- MUD BOUNDARIES
- - - 100 YEAR FULLY DEVELOPED WATER SURFACE ELEVATION

DATE: DECEMBER 2, 2022

OWNER:
 ROCK NEFF
 HUNT COMMUNITIES BASTROP, LLC.
 A DELAWARE LIMITED LIABILITY COMPANY
 P.O. BOX 12220
 EL PASO, TEXAS 79913
 PHONE: (915) 298-4226

ENGINEER & SURVEYOR:
 MAHER HARMOUCHE, P.E.
 AND JOHN DAVID KIPP, R.P.L.S.
 CARLSON, BRIGANCE & DOERING, Inc.
 5501 WEST WILLIAM CANNON
 AUSTIN, TX 78749
 (512) 280-5160
 (512) 280-5165 fax

F.E.M.A. MAP NO. 48021C0195E
 BASTROP COUNTY, TEXAS AND INCORPORATED AREAS
 DATED: JANUARY 19, 2006

BENCHMARK INFORMATION:

BM #1: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE",
 LOCATED +/- N38°46'37"W 943.39' FROM THE POINT OF BEGINNING
 OF THE COLONY 1D, SECTION 3
 NORTHING: 10022140.31
 EASTING: 3222398.37
 ELEVATION: 465.02' (NAVD '88)

BM #2: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE",
 LOCATED +/- N49°57'58"W 1199.72' FROM THE POINT OF BEGINNING
 OF THE COLONY 1D, SECTION 3
 NORTHING: 10022176.56
 EASTING: 3222070.62
 ELEVATION: 479.69' (NAVD '88)

BEARINGS ARE BASED ON THE TEXAS COORDINATE
 SYSTEM OF 1983, CENTRAL ZONE

TOTAL ACREAGE: 25.419 ACRES
 SURVEY: JOSE MANUEL BANGS SURVEY, A-5

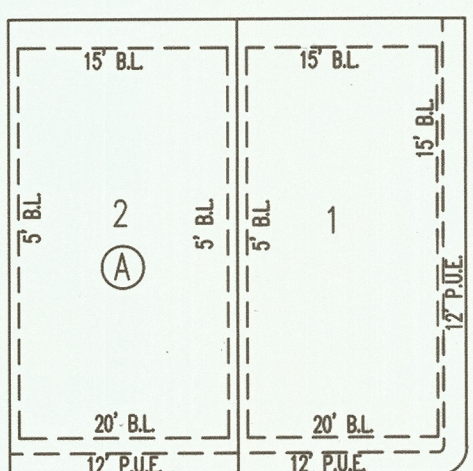
NO. OF RESIDENTIAL LOTS: 111 19.902 ACRES
 NO. OF NON-RESIDENTIAL LOTS: 1 0.062 ACRE
 TOTAL: 112 19.964 ACRES

NO. OF BLOCKS: 5
 R.O.W.: TOTAL: 5,455 ACRES

NON-RESIDENTIAL LOTS
 BLOCK LOT PURPOSE
 1 25 ACCESS, P.U.E., & D.E. LOT

LINEAR FOOTAGE OF RIGHT-OF-WAY

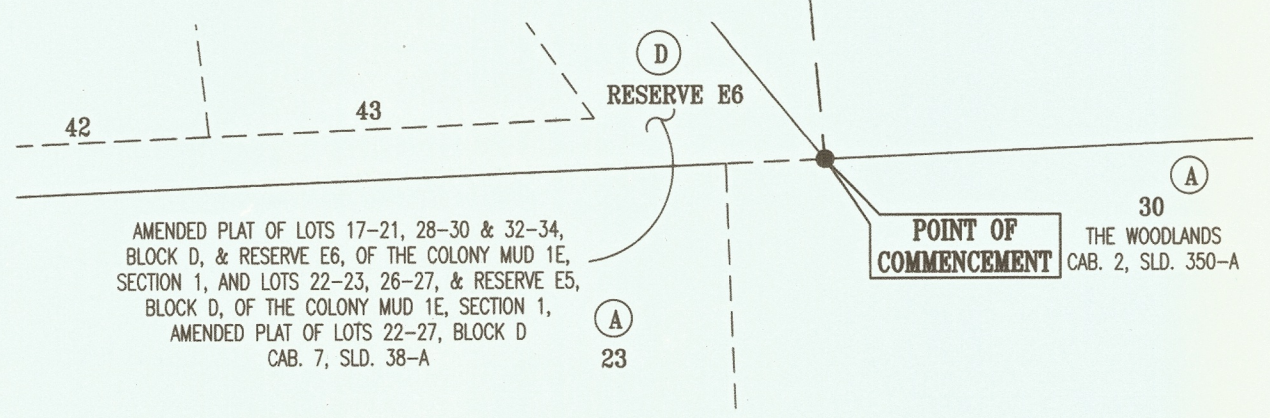
ROAD	50' R.O.W.	234 FT	LOCAL
FOREST WILLOW CIRCLE	50' R.O.W.	959 FT <td>LOCAL</td>	LOCAL
LAZY WILLOW DRIVE	70' R.O.W.	1,005 FT <td>COLLECTOR</td>	COLLECTOR
REPUBLIC DRIVE	50' R.O.W.	1,535 FT <td>LOCAL</td>	LOCAL
RIVER BEND DRIVE	50' R.O.W.	568 FT <td>LOCAL</td>	LOCAL
WILLOW GLEN DRIVE	50' R.O.W.	4,301 FT <td>LOCAL</td>	LOCAL
TOTAL			



TYPICAL LOT EASEMENTS

HUNT COMMUNITIES BASTROP, LLC. (1258.002 ACRES) DOC. NO. 201617588

PROPOSED THE COLONY MUD 1D, SECTION 3 HUNT COMMUNITIES BASTROP, LLC. (1258.002 ACRES) DOC. NO. 201617588



REV. NO.	BY	COMMENT	DATE
1	AP	CITY COMMENTS	04/05/22
2	MN	CITY OF BASTROP COMMENTS 11/18/22	12/01/22

FILED
 Feb 3, 2023
 County Clerk
 BASTROP COUNTY, TEXAS



Carlson, Brigance & Doering, Inc.
 FIRM ID #F3791 REG. # 10024900
 Civil Engineering Surveying
 5501 West William Cannon Austin, Texas 78749
 Phone No. (512) 280-5160 Fax No. (512) 280-5165

J:\AC3D\5393\Survey\FINAL PLAT - THE COLONY MUD 1D-3

THE FINAL PLAT OF THE COLONY MUD 1D, SECTION 3

7/244-B

Table with 7 columns: Curve #, Length, Radius, Chord Direction, Chord Length, Tangent, DELTA. Contains curves C1 through C33.

Table with 7 columns: Curve #, Length, Radius, Chord Direction, Chord Length, Tangent, DELTA. Contains curves C34 through C66.

Table with 7 columns: Curve #, Length, Radius, Chord Direction, Chord Length, Tangent, DELTA. Contains curves C67 through C99.

Table with 2 columns: Line #, Length, Direction. Contains lines L1 through L16.

Table with 2 columns: Line #, Length, Direction. Contains lines L17 through L31.

STATE OF TEXAS § KNOW ALL MEN BY THESE PRESENTS: COUNTY OF BASTROP §

THAT, HUNT COMMUNITIES BASTROP, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH RICK NEFF, SENIOR VICE PRESIDENT AND BEING THE OWNER OF 1258.002 ACRES OF LAND OUT OF THE JOSE MANUEL BANKS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDED 25.419 ACRES TRACT OF LAND WITH THE PLAT SHOWN HERE ON, TO BE KNOWN AS:

THE COLONY MUD 1D, SECTION 3

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY STREETS AND/OR EASEMENTS SHOWN HEREON TO THE PUBLIC. WITNESS MY HAND THIS 20 DAY OF JAN, 2023 A.D.

RICK NEFF HUNT COMMUNITIES BASTROP, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY 4401 N. MESA STREET, EL PASO, TEXAS 79902

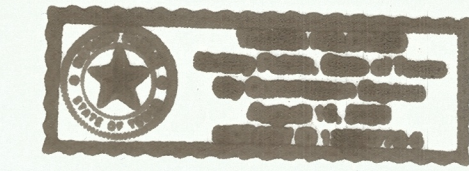
STATE OF TEXAS § KNOW ALL MEN BY THESE PRESENTS: COUNTY OF BASTROP §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS 20 DAY OF January, 2023 A.D.

Zoania Haleomb

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



NON - RESIDENTIAL LOTS BLOCK LOT PURPOSE 1 25 ACCESS, P.U.E., & D.E.

Table with 4 columns: BLOCK, LOT, SQ. FT., BLOCK, LOT, SQ. FT. Lists lots 1 through 39.

METES AND BOUNDS BEING ALL OF THAT CERTAIN 25.419 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANKS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, L.L.C., BY DEED RECORDED IN DOCUMENT NUMBER 201617588, OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS (O.P.R.B.C.T.X.), SAID 25.419 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/2 INCH IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID 1258.002 ACRE TRACT OF LAND, BEING AT THE SOUTHEAST CORNER OF RESERVE E6, BLOCK D AMENDED PLAT OF LOTS 17-21, 28-30 & 32-34, BLOCK D, & RESERVE E6, OF THE COLONY MUD 1E, SECTION 1, AND LOTS 22-23, 26-27, & RESERVE E5, BLOCK D, OF THE COLONY MUD 1E, SECTION 1, AMENDED PLAT OF LOTS 22-27, BLOCK D, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 38-A, PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.T.X.), SAME BEING ON THE NORTH LINE OF LOT 30, BLOCK A, THE WOODLANDS, A SUBDIVISION RECORDED IN CABINET 2, SLIDE 350-A, P.R.B.C.T.X., FOR THE POINT OF COMMENCEMENT OF THE HEREIN DESCRIBED TRACT OF LAND,

THENCE, N05°09'30"W, OVER AND ACROSS SAID 1258.002 ACRE TRACT OF LAND, A DISTANCE OF 1425.12 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE SOUTHWEST CORNER AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND,

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING THIRTY-SEVEN (37) COURSES AND DISTANCES, NUMBERED 1 THROUGH 37,

- List of 37 courses and distances, including bearings and distances for curves and straight lines.

STATE OF TEXAS COUNTY OF BASTROP KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOHN DAVID KIPP, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BASTROP, BASTROP COUNTY, TEXAS. ALL EASEMENTS OF RECORD AS SHOWN ON THE TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, GF. NO. 421006025, EFFECTIVE DATE APRIL 26, 2021, ISSUED DATE MAY 5, 2021 HAVE BEEN IDENTIFIED ON THIS PLAT TO THE BEST OF MY KNOWLEDGE.

SURVEYED BY: John D Kipp DATE 12/09/2022 JOHN DAVID KIPP - R.P.L.S. NO. 5844 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749



APPROVED THIS DAY 26th OF January, 2023 A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

APPROVED: [Signature] ATTEST: [Signature] PLANNING & ZONING COMMISSION CHAIRPERSON CITY SECRETARY

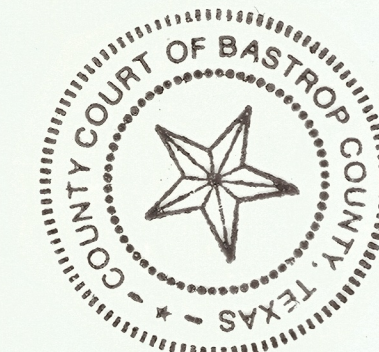
STATE OF TEXAS COUNTY OF BASTROP KNOW ALL MEN BY THESE PRESENTS:

I, KRISTIA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE 3rd DAY OF February, 2023 A.D. AT 11:10 O'CLOCK AM IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET 7, PAGE 244-A and 244-B.

FILED FOR RECORD ON THE 3rd DAY OF February, 2023 A.D.

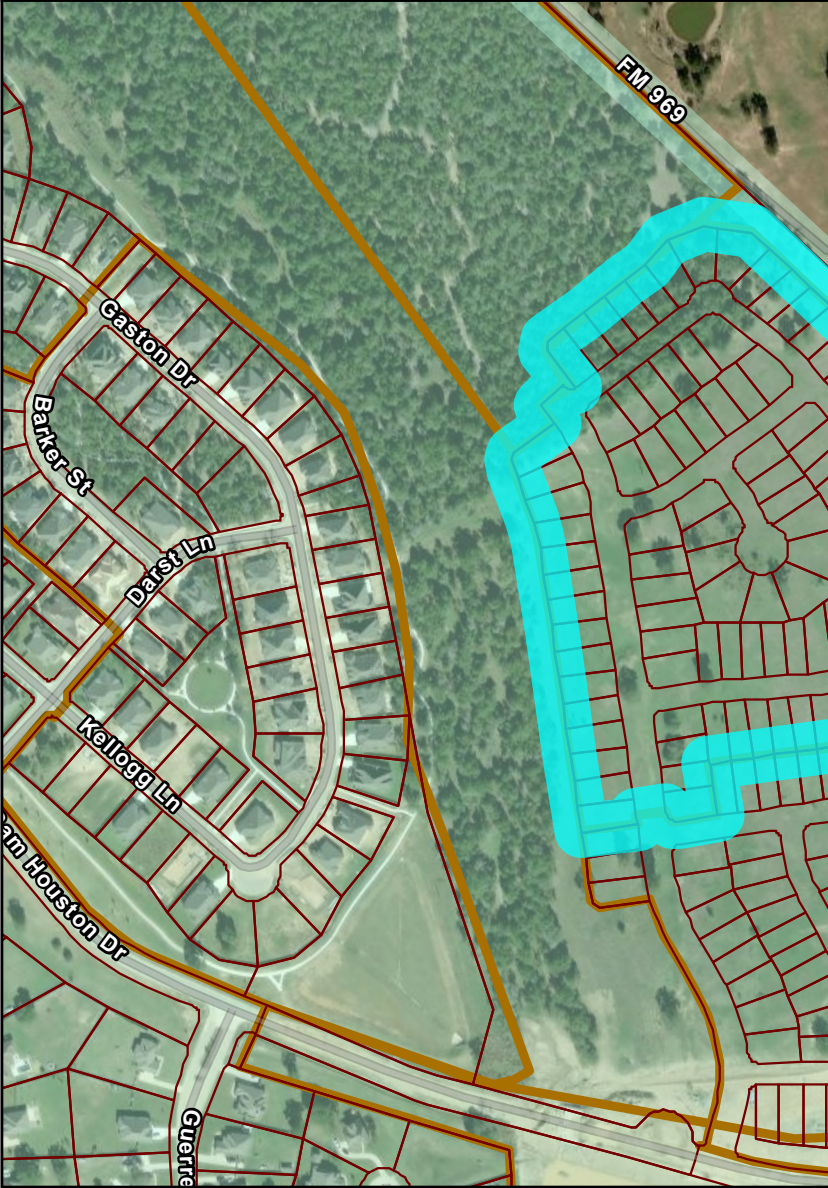
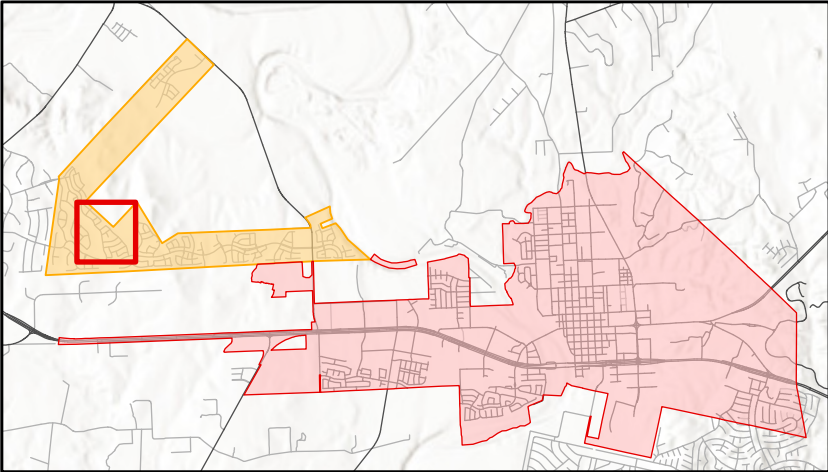
Deputy: Cynthia Dickuy County Clerk: [Signature]

FILED Feb. 3, 2023 COUNTY CLERK BASTROP COUNTY TEXAS



Carlson, Brigrance & Doering, Inc. FIRM ID #F3791 REG. # 10024900 Civil Engineering Surveying 5501 West William Cannon Austin, Texas 78749 Phone No. (512) 280-5160 Fax No. (512) 280-5165

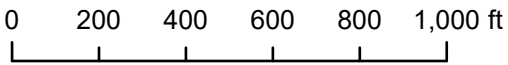
Attachment 1 Location Map



Scale 1:5,300



The Colony MUD 1D, Section 3 Vacating Plat



Current Time: 6/27/2024 2:46 PM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced.

The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.



STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve The Colony MUD 1F, Section 2 Final Plat, being 32.250 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address:	Southwest of Republic Drive (Attachment 1)
Total Acreage:	32.250 acres
Legal Description:	32.250 acres of the Jose Manuel Bangs Survey, Abstract No. 5
Property Owner:	Rick Neff/Hunt Communities Bastrop, L.L.C.
Agent Contact:	Matt Synatschk, Carlson, Brigrance, and Doering, Inc.
Existing Use:	Vacant/Undeveloped
Existing Zoning:	None. Extra-Territorial Jurisdiction, The Colony MUD
Adopted Plan:	Fourth Amendment to the Colony MUD Consent Agreement, Approved November 5, 2020
Future Land Use:	Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application for a Final Plat for The Colony MUD 1F, Section 2. The plat includes 103 residential lots and a total of 6 non-residential lots (Exhibit A). The proposed single-family lots follow the lot standards adopted in the Consent Agreement, as amended.

Traffic Impact and Streets

The Final Plat proposes to extend Republic Drive, which connects to Sam Houston Drive to the northern arm of the development and provides the main access into the development. Sidewalks will also be built within the development, which will ultimately connect to the existing neighborhood trail system.

A traffic impact analysis (TIA) for the overall development of The Colony MUD has been previously approved by the City, and the plat is consistent with the numbers for the impact to the existing roadways. Improvements along FM 969 have been completed with previous sections, and provisions for a future traffic signal are included in an agreement with TxDOT.

Republic Drive will serve as the main collector that will connect Sam Houston to the remainder of The Colony in the northern arm. The developer has the option to gate the individual neighborhoods off Sam Houston Drive within this section.

Utilities

Water service (domestic and fire) will be provided by The Colony MUD via water line extensions from existing infrastructure located near FM 969. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Public Improvement Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by The Colony MUD. Wastewater improvements were included in the approved Public Improvement Plan.

Drainage

Stormwater runoff generated within the western portion of the property will be routed to a detention pond to the west. The remainder of the stormwater runoff within the property will be routed through an underground storm sewer network, which will then flow into a detention pond east of the section. Both ponds will then discharge at pre-developed rates to the north. The drainage plan is using the updated rainfall totals of Atlas 14. Additionally, the residential lots will include maximum impervious coverage limit that is reflected in the system capacity. A Final Drainage Plan has been reviewed and approved by the City Engineer.

POLICY EXPLANATION:

Final Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area. The plat proposes residential lots.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Consent Agreement with the Colony Municipal Utility District that allows the city to agree to specific land uses and development standards, even though the development is not within the city limits. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Consent Agreement, The Colony MUD development includes four different single-family lot standards and two multi-family standards.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ).

Section 212.004 Plat Required

- (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 32.250-acre tract into 103 residential lots and 6 non-residential lots. Public improvements within the subdivision (streets, drainage, and other utilities) will be dedicated to The Colony Municipal Utility District upon their completion.

Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The final plat conforms to the Future Land Use Plan, which is designated Neighborhood Residential for this area.

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

A traffic impact analysis (TIA) for the overall development of The Colony Subdivision has been previously approved by the City, and the plat is consistent with the recommendations of that analysis. Improvements along FM 969 were built with the previous section and included items such as turning and deceleration lanes. Provisions for a future traffic signal have been required by the Texas Department of Transportation.

- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

- (4) it conforms to any rules adopted under Section 212.002.

The plat complies with the requirements of the adopted B³ Code and Consent Agreement.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.

- Section 1.3.002 Preliminary Plat or Section 1.3.003 Final Plat

The Preliminary Plat was approved by the Planning and Zoning Commission on February 24, 2022.

The Final Drainage Plan to determine drainage requirements was approved by the City Engineer on June 20, 2024.

The Public Improvement Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on June 20, 2024.

- Section 1.3.004 Plat Requirements

- *The Development Review Committee reviewed Final Plat for The Colony MUD 1F Section 2, for compliance with subdivision and utility standards and deemed the plat administratively complete.*

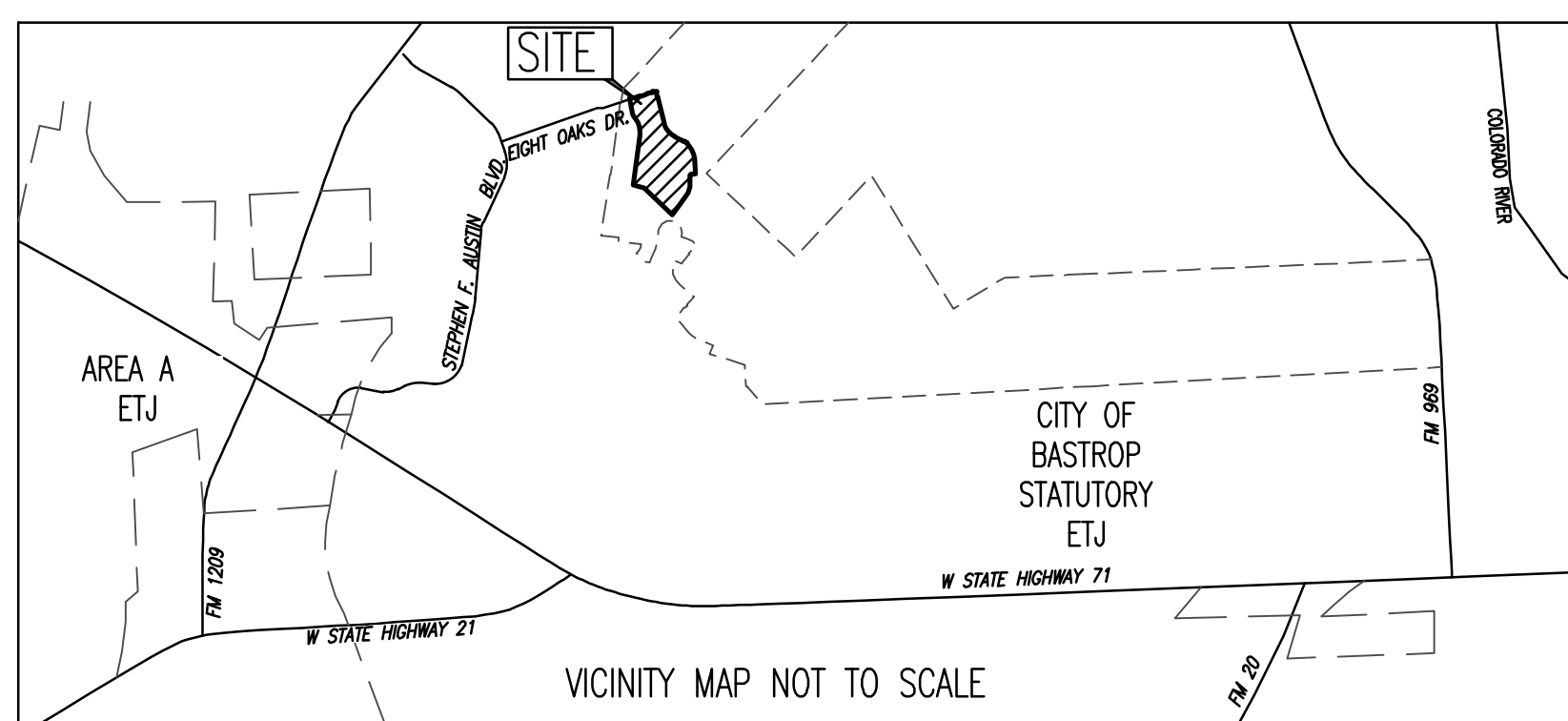
RECOMMENDATION:

Consider action to approve The Colony MUD 1F, Section 2 Final Plat, being 32.250 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

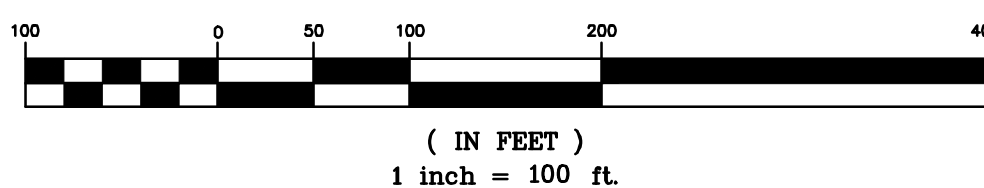
- Exhibit A: The Colony MUD 1D, Section 2 Final Plat
- Attachment 1: Location Map
- Attachment 2: The Colony MUD Lot Layout

THE FINAL PLAT OF THE COLONY MUD 1F, SECTION 2



NON - RESIDENTIAL LOTS			NON - RESIDENTIAL LOTS		
BLOCK	LOT	PURPOSE	BLOCK	LOT	SQ. FT.
A	28	L.S.E., D.E. & P.U.E.	A	1	12,869
B	2	L.S.E., D.E. & P.U.E.	D	2	9,629
B	21	L.S.E., D.E. & P.U.E.	A	3	7,370
C	22	L.S.E., D.E. & P.U.E.	D	4	8,417
D	32	D.E.	A	5	7,925
E	1	PARK	A	6	7,470
			D	7	6,105
			A	8	5,742
			D	9	5,822
			A	10	5,539
			D	11	6,572
			A	12	7,035
			D	13	6,750
			A	14	6,706
			D	15	6,494
			A	16	6,534
			D	17	6,416
			A	18	6,088
			D	19	6,078
			A	20	6,067
			D	21	6,058
			A	22	6,544
			D	23	6,074
			A	24	6,183
			D	25	6,410
			A	26	6,546
			D	27	7,724
			A	28	6,674
			D	29	7,827
			D	30	7,840
			D	31	12,816
			D	32	12,108

SCALE: 1" = 100'
GRAPHIC SCALE



LEGEND

- ⊕ BENCHMARK
- 1/2" IRON ROD SET WITH "CBD SETSTONE" CAP
- 1/2" IRON ROD FOUND WITH "CBD SETSTONE" CAP (UNLESS OTHERWISE NOTED)
- 1 LOT NUMBER
- A BLOCK LETTER
- B.L. BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- O.S. OPEN SPACE
- L.S.E. LANDSCAPE EASEMENT
- W.W.E. WASTEWATER EASEMENT
- MUD BOUNDARIES
- 100 YEAR FULLY DEVELOPED WATER SURFACE ELEVATION

DATE: APRIL 26, 2024
OWNER:
HUNT COMMUNITIES BASTROP, LLC
A DELAWARE LIMITED LIABILITY COMPANY
PO BOX 12220
EL PASO, TEXAS 79913
(915) 298-4226

ENGINEER & SURVEYOR:
CARLSON, BRIGANCE & DOERING, Inc.
5501 WEST WILLIAM CANNON
AUSTIN, TX 78749
(512) 280-5160
(512) 280-5165 fax

TOTAL ACREAGE: 32.250 ACRES
SURVEY: JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5
NO. OF BLOCKS: 5

LANDSCAPE, DRAINAGE AND PUBLIC UTILITY LOTS: 4 TOTAL: 4.304 ACRES
DRAINAGE EASEMENT LOTS: 1 TOTAL: 0.278 ACRES
PARK LOTS: 1 TOTAL: 0.607 ACRES
RESIDENTIAL LOTS: 103 TOTAL: 18.480 ACRES
PRIVATE STREETS: TOTAL: 8.581 ACRES

F.E.M.A. MAP NO. 48021C0195F
BASTROP COUNTY, TEXAS AND INCORPORATED AREAS.
DATED: MAY 9, 2023

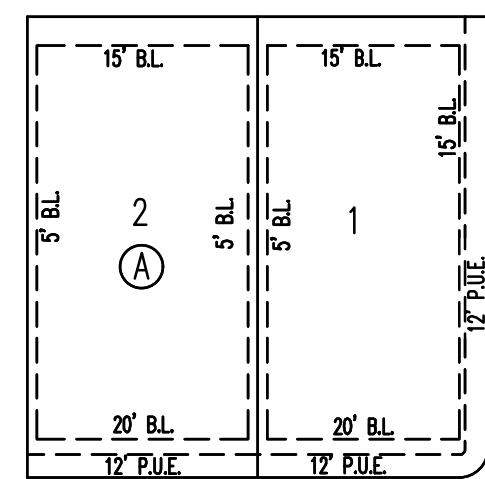
LINEAR FOOTAGE OF RIGHT-OF-WAY			
MADDY WAY	50' PRIVATE R.O.W.	2855'	LOCAL
REPUBLIC DRIVE	70' PRIVATE R.O.W.	1685'	COLLECTOR
KILDURMUMY PASS	50' PRIVATE R.O.W.	666'	LOCAL
DUFFY COVE	50' PRIVATE R.O.W.	561'	LOCAL
EIGHT OAKS DRIVE	PRIVATE R.O.W. VARIES	447'	LOCAL
WESTER ROSS LANE	122' PRIVATE R.O.W.	210'	LOCAL
TOTAL		6,424'	

BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE.
ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88)

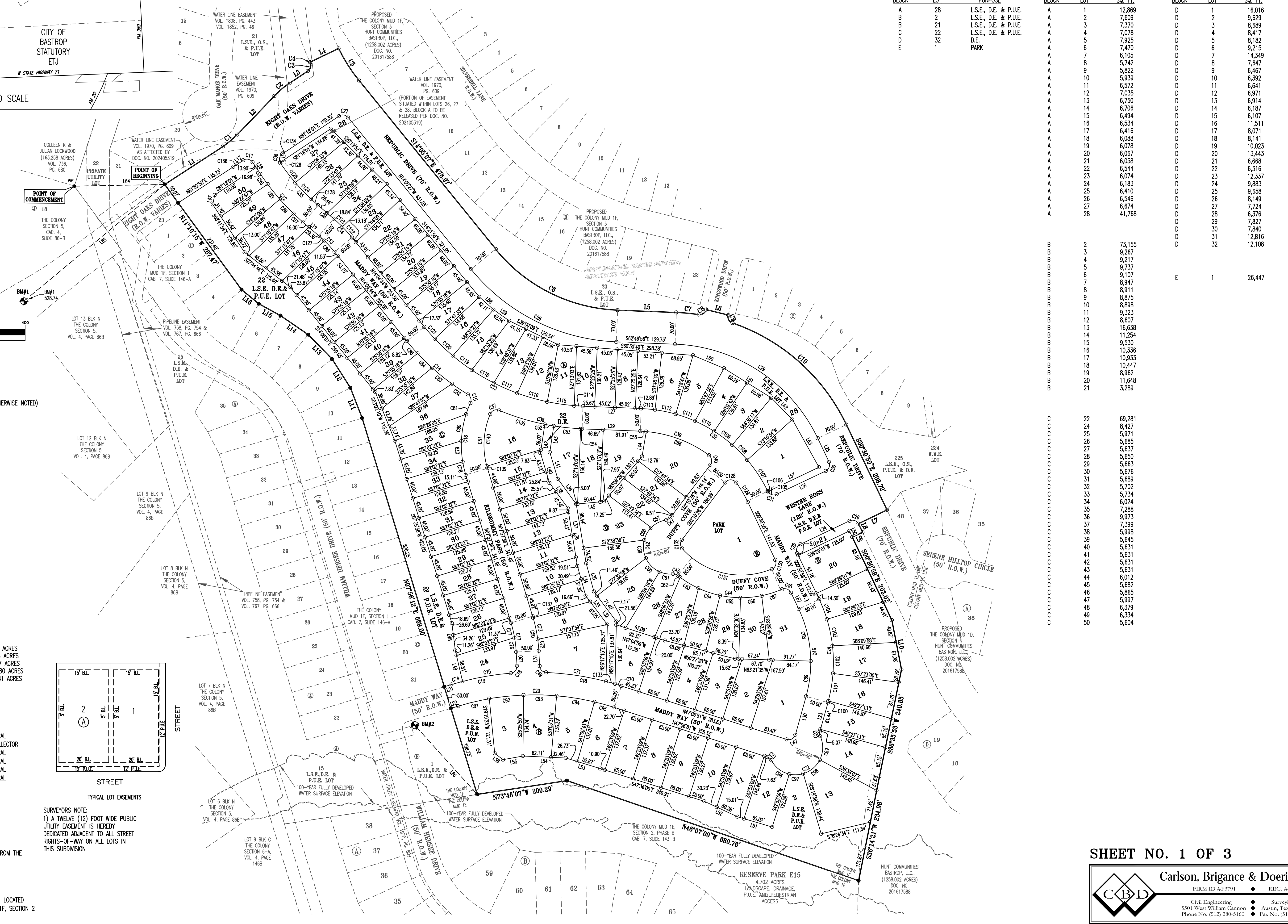
BENCHMARK INFORMATION:

BM #1: MAG NAIL ON TOP OF CURB, LOCATED +/- S75°19'21" W 403.8' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 2
NORTHING: 10025229.97
EASTING: 3220418.12
ELEVATION: 528.74' (NAVD '88)

BM #2: CAPPED 1/2" IRON ROD SET WITH CAP STAMPED "CBD SETSTONE", LOCATED +/- N17°07'48" W 205.7' FROM THE SOUTHWEST CORNER OF THE COLONY 1F, SECTION 2
NORTHING: 10024016.79
EASTING: 3220805.52
ELEVATION: 487.91' (NAVD '88)



SURVEYORS NOTE:
1) A TWELVE (12) FOOT WIDE PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET RIGHTS-OF-WAY ON ALL LOTS IN THIS SUBDIVISION



SHEET NO. 1 OF 3

Carlson, Brigance & Doering, Inc.
FIRM ID #F3791 REG. # 10024900

Civil Engineering 5501 West William Cannon Austin, Texas 78749 Phone No. (512) 280-5160
Surveying 5501 West William Cannon Austin, Texas 78749 Fax No. (512) 280-5165

THE FINAL PLAT OF THE COLONY MUD 1F, SECTION 2

GENERAL NOTES:

- 1. THE BENCHMARKS USED ARE:
BM #1: MAG NAIL ON TOP OF CURB, LOCATED +/- S75°19'21"W 403.8' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 2
BM #2: CAPPED 1/2" IRON ROD SET WITH CAP STAMPED "CBD SETSTONE", LOCATED +/- N17°07'48"W 205.7' FROM THE SOUTHWEST CORNER OF THE COLONY 1F, SECTION 2
...
32. ALL DRAINAGE EASEMENTS, STORM WATER FACILITIES / FEATURES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.

FIELD NOTES

BEING ALL OF THAT CERTAIN 32.250 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, LLC., BY DEED RECORDED IN DOCUMENT NUMBER 201617588, OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS (O.P.R.B.C.TX.), SAID 32.250 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING, AT A 1/2 INCH IRON ROD FOUND, BEING AN ANGLE POINT ON THE WEST LINE OF SAID 1258.002 ACRE TRACT AND BEING THE NORTHEAST CORNER OF LOT 1B, BLOCK J OF THE COLONY SECTION 5, A SUBDIVISION RECORDED IN CABINET 4, SLIDE 86-B OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.TX.), AND BEING ALSO THE SOUTHEAST CORNER OF A CALLED 163.258 ACRE TRACT OF LAND CONVEYED TO COLLEEN K AND JULIAN LOCKWOOD BY DEED RECORDED IN VOLUME 736, PAGE 680 OF THE DEED RECORDS OF BASTROP COUNTY, TEXAS (D.R.B.C.TX.), FOR THE POINT OF COMMENCEMENT OF THE HEREIN DESCRIBED TRACT,

THENCE, S66°06'04"E, OVER AND ACROSS SAID 1258.002 ACRE TRACT, A DISTANCE OF 199.82 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" ON THE NORTH LINE OF EIGHT OAKS DRIVE (R.O.W. VARIES), BEING THE NORTHEAST CORNER OF THE COLONY M.U.D. 1F, SECTION 1, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 146-A, P.R.B.C.TX., FOR THE NORTHWEST CORNER AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT,

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWENTY-FIVE (25) COURSES AND DISTANCES, NUMBERED 1 THROUGH 25,

- 1. N81°52'55"E, A DISTANCE OF 153.33 FEET TO CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,
2. ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 188.00 FEET, AN ARC LENGTH OF 41.15 FEET, AND A CHORD THAT BEARS N75°03'49"E, A DISTANCE OF 41.08 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
...
17. ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 345.86 FEET, AND A CHORD THAT BEARS S2317'38"E, A DISTANCE OF 336.82 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT AND WITH THE NORTH LINE OF SAID RESERVE PARK E15, THE FOLLOWING TWO (2) COURSES AND DISTANCES, NUMBERED 1 AND 2,

- 1) N46°07'00"W, A DISTANCE OF 680.76 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, AND
2) N73°46'07"W, A DISTANCE OF 200.29 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" AT THE SOUTHEAST CORNER OF SAID THE COLONY M.U.D. 1F, SECTION 1 AND THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT,

THENCE, WITH THE EAST LINE OF SAID THE COLONY M.U.D. 1F, SECTION 1 AND OVER AND ACROSS SAID 1258.002 ACRE TRACT THE FOLLOWING EIGHT (8) COURSES AND DISTANCES, NUMBERED 1 THROUGH 8,

- 1) N07°56'12"E, A DISTANCE OF 869.00 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER,
2) N03°46'19"E, A DISTANCE OF 71.60 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER,
3) N07°31'25"W, A DISTANCE OF 75.34 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER,
...
8) N11°10'15"W, A DISTANCE OF 287.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 32.250 ACRES OF LAND.

STATE OF TEXAS KNOW ALL MEN BY THESE PRESENTS
COUNTY OF BASTROP

THAT WE, RICK NEFF, HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNERS OF A 1258.002 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDE 32.250 ACRES OF LAND WITH THE PLAT SHOWN HEREON, TO BE KNOWN AS:

"THE COLONY MUD 1F, SECTION 2"

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY EASEMENTS SHOWN HEREON TO THE PUBLIC.

WITNESS MY HAND THIS ____ DAY OF _____, 20____, A.D.

RICK NEFF
HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY
PO BOX 12220
EL PASO, TEXAS 79913

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____, A.D.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

APPROVED THIS DAY ____ OF _____, 20____, A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

APPROVED: ATTEST:

PLANNING & ZONING COMMISSION CHAIRPERSON CITY SECRETARY

STATE OF TEXAS KNOW ALL MEN BY THESE PRESENTS
COUNTY OF BASTROP

I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20____, A.D. AT ____ O'CLOCK _____, IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET _____, PAGE _____.

FILED FOR RECORD ON THE ____ DAY OF _____, 20____, A.D.

DEPUTY COUNTY CLERK, BASTROP COUNTY, TEXAS

FLOOD PLAN NOTE:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48201C0195F FOR BASTROP COUNTY TEXAS, DATED MAY 9, 2023. COMMUNITY NUMBER 481193.

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS KNOW ALL MEN BY THESE PRESENTS
COUNTY OF BASTROP

I, MAHER HARMOUICHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BASTROP AND THAT THE 100-YR FLOOD PLAN IS AS SHOWN AND WILL BE CONTAINED WITHIN THE DRAINAGE EASEMENT AND OR DRAINAGE RIGHT-OF-WAY, AS SHOWN HEREON.



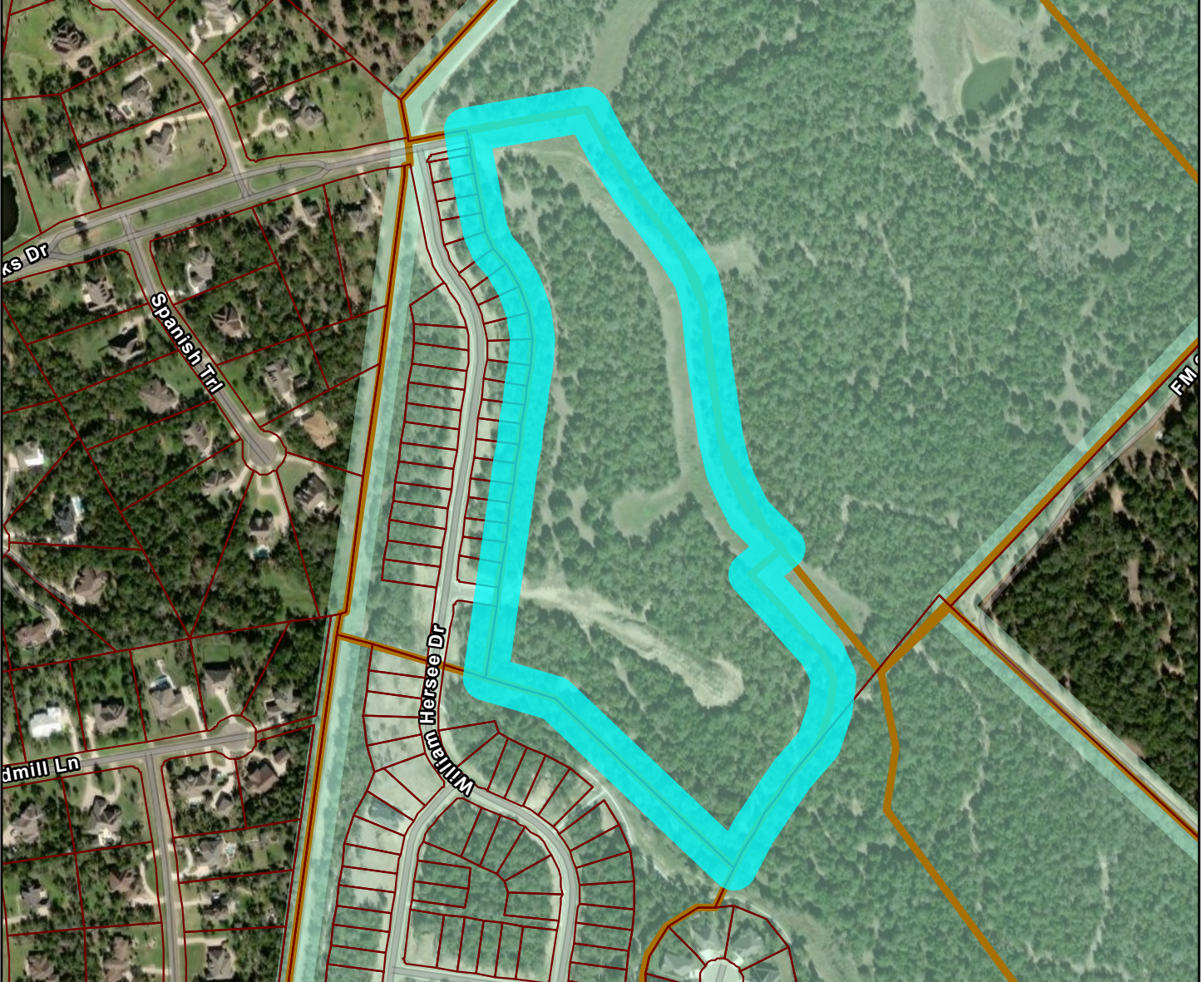
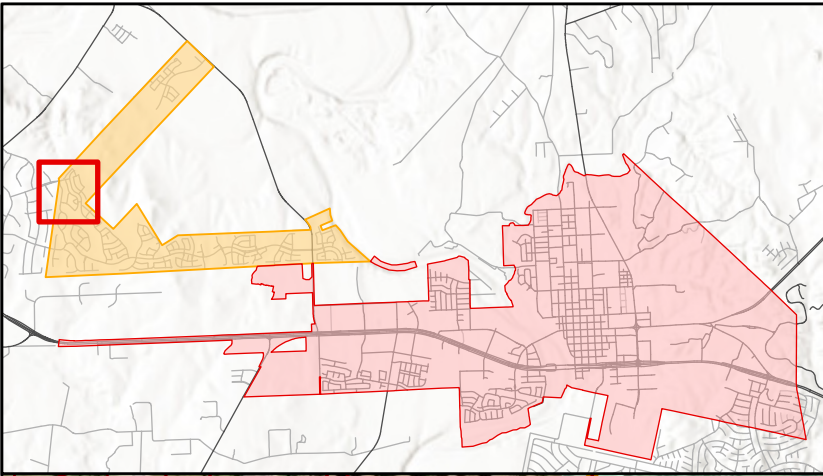
ENGINEERING BY: MAHER HARMOUICHE, P.E. #143982
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TEXAS 78749

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. FOR REVIEW ONLY. RELEASE DATE 4/29/2024.

SHEET NO. 3 OF 3

Carlson, Brigance & Doering, Inc. FIRM ID #F3791 REG. # 10024900
Civil Engineering Surveying
5501 West William Cannon Austin, Texas 78749
Phone No. (512) 280-5160 Fax No. (512) 280-5165

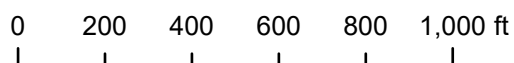
Attachment 1 Location Map



Scale 1:5,300



The Colony MUD 1F, Section 2 Final Plat



Current Time: 6/28/2024 11:58 AM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced.

The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.



STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve The Colony MUD 1F, Section 3 Final Plat, being 51.850 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address:	East of Republic Drive (Attachment 1)
Total Acreage:	51.850 acres
Legal Description:	51.850 acres of the Jose Manuel Bangs Survey, Abstract No. 5
Property Owner:	Rick Neff/Hunt Communities Bastrop, L.L.C.
Agent Contact:	Matt Synatschk, Carlson, Brigance, and Doering, Inc.
Existing Use:	Vacant/Undeveloped
Existing Zoning:	None. Extra-Territorial Jurisdiction, The Colony MUD
Adopted Plan:	Fourth Amendment to the Colony MUD Consent Agreement, Approved November 5, 2020
Future Land Use:	Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application for a Final Plat for The Colony MUD 1F, Section 3. The plat includes 110 residential lots and a total of 7 non-residential lots (Exhibit A). The proposed single-family lots follow the lot standards adopted in the Consent Agreement, as amended.

Traffic Impact and Streets

The Final Plat proposes to extend Republic Drive, which connects to Sam Houston Drive to the northern arm of the development and provides the main access into the development. Sidewalks will also be built within the development, which will ultimately connect to the existing neighborhood trail system.

A traffic impact analysis (TIA) for the overall development of The Colony MUD has been previously approved by the City, and the plat is consistent with the numbers for the impact to the existing roadways. Improvements along FM 969 have been completed with previous sections, and provisions for a future traffic signal are included in an agreement with TxDOT.

Republic Drive will serve as the main collector that will connect Sam Houston to the remainder of The Colony in the northern arm.

Utilities

Water service (domestic and fire) will be provided by The Colony MUD via water line extensions from existing infrastructure located near FM 969. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Public Improvement Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by The Colony MUD. Wastewater improvements were included in the approved Public Improvement Plan.

Drainage

Stormwater runoff generated within the western portion of the property will be routed to a detention pond to the west. The remainder of the stormwater runoff within the property will be routed through an underground storm sewer network, which will then flow into a detention pond east of the section. Both ponds will then discharge at pre-developed rates to the north. The drainage plan is using the updated rainfall totals of Atlas 14. Additionally, the residential lots will include maximum impervious coverage limit that is reflected in the system capacity. A Final Drainage Plan has been reviewed and approved by the City Engineer.

POLICY EXPLANATION:

Final Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area. The plat proposes residential lots.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Consent Agreement with the Colony Municipal Utility District that allows the city to agree to specific land uses and development standards, even though the development is not within the city limits. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Consent Agreement, The Colony MUD development includes four different single-family lot standards and two multi-family standards.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ).

Section 212.004 Plat Required

- (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 51.850-acre tract into 110 residential lots and 7 non-residential lots. Public improvements within the subdivision (streets, drainage, and other utilities) will be dedicated to The Colony Municipal Utility District upon their completion.

Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The final plat conforms to the Future Land Use Plan, which is designated Neighborhood Residential for this area.

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

A traffic impact analysis (TIA) for the overall development of The Colony Subdivision has been previously approved by the City, and the plat is consistent with the recommendations of that analysis. Improvements along FM 969 were built with the previous section and included items such as turning and deceleration lanes. Provisions for a future traffic signal have been required by the Texas Department of Transportation.

- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

- (4) it conforms to any rules adopted under Section 212.002.

The plat complies with the requirements of the adopted B³ Code and Consent Agreement.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.

- Section 1.3.002 Preliminary Plat or Section 1.3.003 Final Plat

The Preliminary Plat was approved by the Planning and Zoning Commission on August 25, 2022.

The Final Drainage Plan to determine drainage requirements was approved by the City Engineer on March 7, 2024.

The Public Improvement Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on March 21, 2024.

- Section 1.3.004 Plat Requirements

The Development Review Committee reviewed the Final Plat for The Colony MUD 1F, Section 2 for compliance with subdivision and utility standards, and deemed the plat administratively complete.

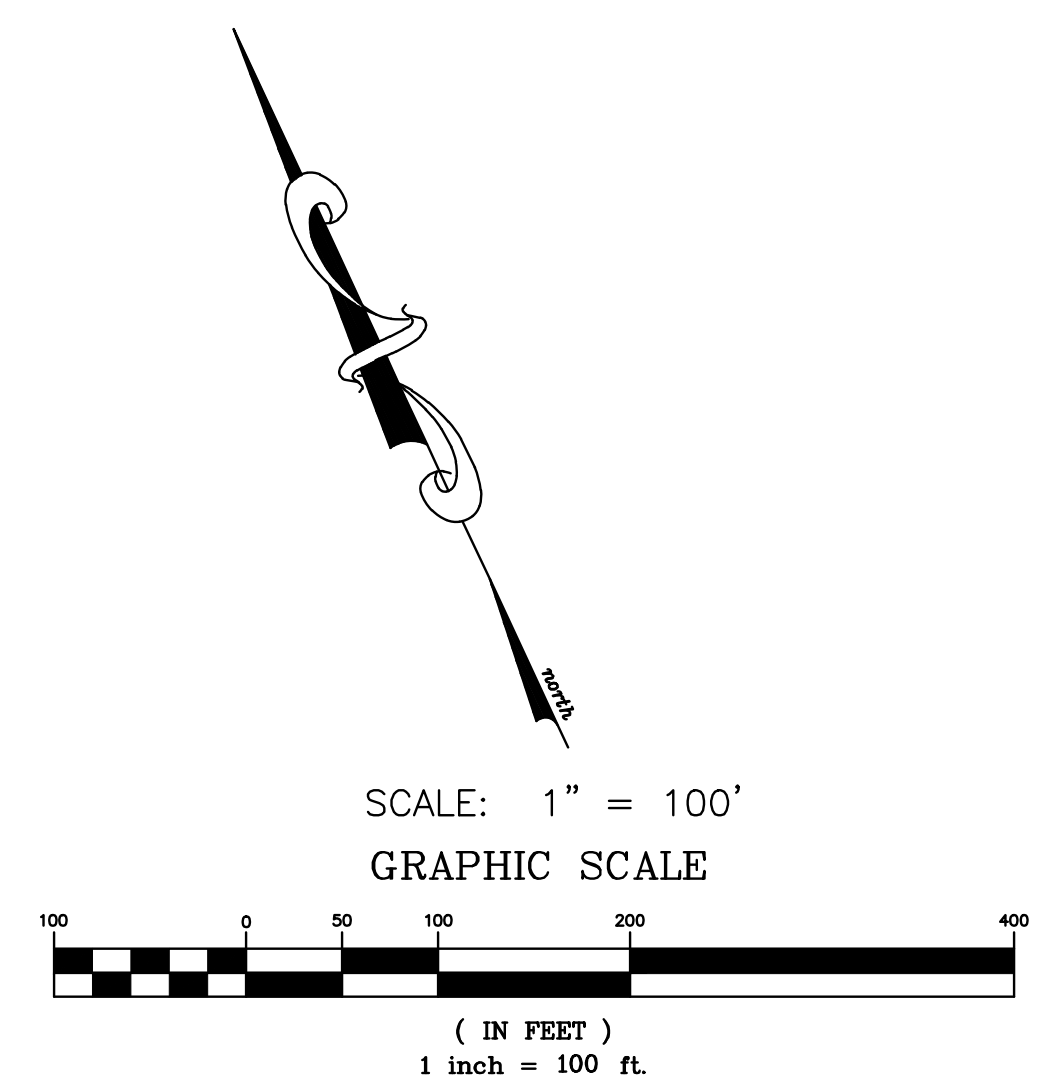
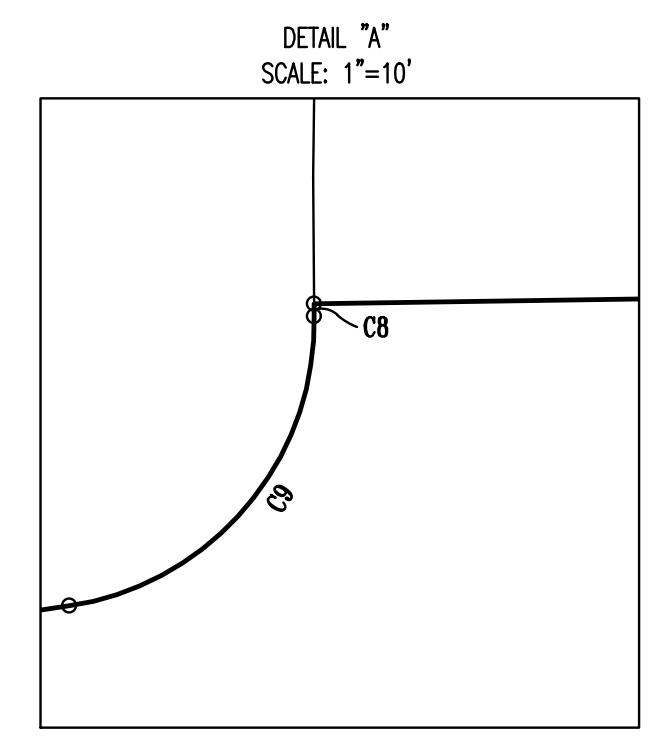
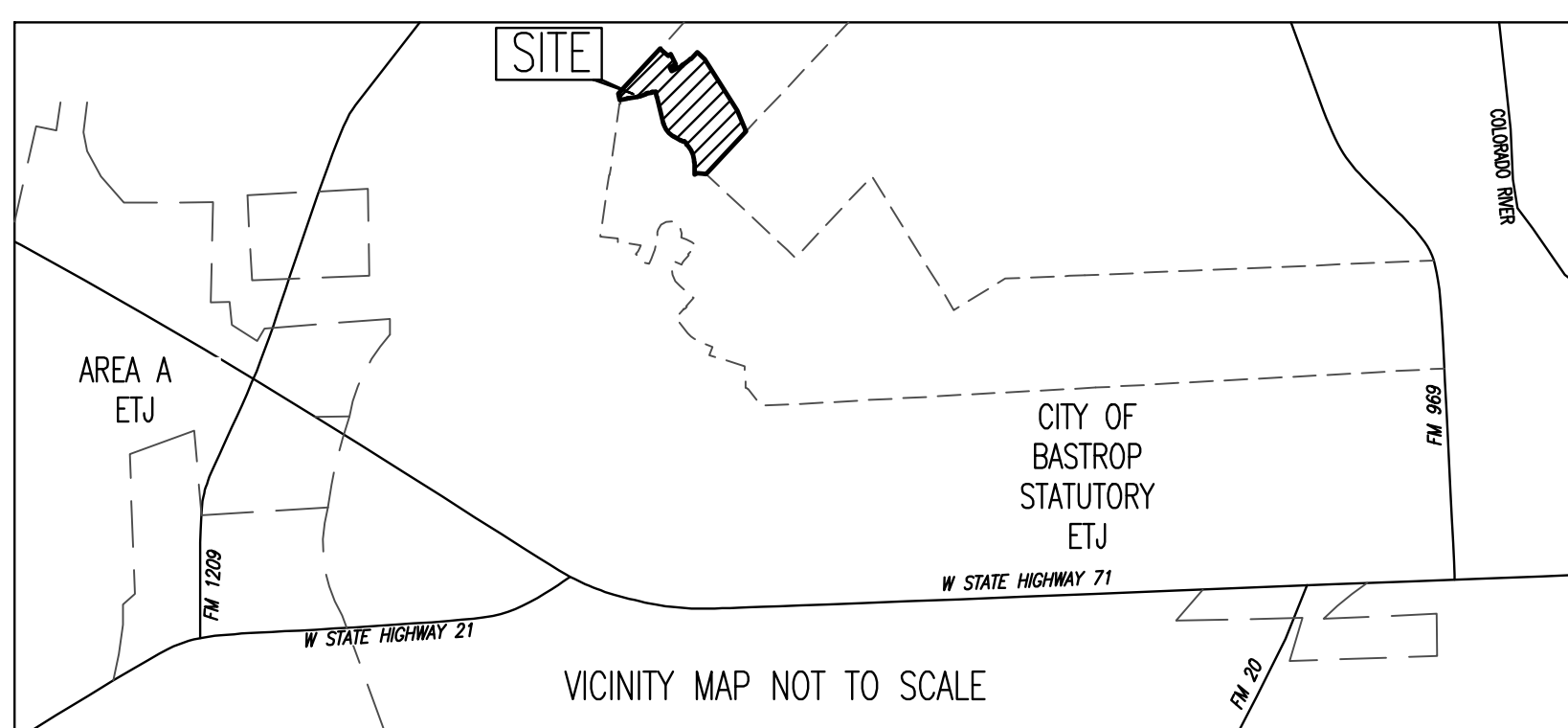
RECOMMENDATION:

Consider action to approve The Colony MUD 1F, Section 3 Final Plat, being 51.850 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1F, Section 3 Final Plat
- Attachment 1: Location Map

THE FINAL PLAT OF THE COLONY MUD 1F, SECTION 3



- LEGEND**
- 1/2" CAPPED IRON ROD SET STAMPED "CBD SETSTONE"
 - 1/2" IRON ROD FOUND
 - ⊙ 1/2" IRON PIPE FOUND
 - 1 LOT NUMBER
 - Ⓐ BLOCK LETTER
 - B.L. BUILDING SETBACK LINE
 - P.U.E. PUBLIC UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - O.S. OPEN SPACE
 - L.S.E. LANDSCAPE EASEMENT
 - W.W.E. WASTEWATER EASEMENT
 - MUD BOUNDARIES

DATE: JULY 1, 2024
 OWNER:
 HUNT COMMUNITIES BASTROP, LLC,
 A DELAWARE LIMITED LIABILITY COMPANY
 PO BOX 12220
 EL PASO, TEXAS 79913
 (915) 298-4226

ENGINEER & SURVEYOR:
 CARLSON, BRIGANCE & DOERING, Inc.
 5501 WEST WILLIAM CANNON
 AUSTIN, TX 78749
 (512) 280-5160
 (512) 280-5165 FAX

TOTAL ACREAGE: 51.650 ACRES
 SURVEY: JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5

NO. OF RESIDENTIAL LOTS:	110	18,707 ACRES
NO. OF NON-RESIDENTIAL LOTS:	7	27,112 ACRES
TOTAL:	117	45,819 ACRES

NO. OF BLOCKS:	4
R.O.W.:	TOTAL: 6.031 ACRES

NON-RESIDENTIAL LOTS

BLOCK	LOT	PURPOSE
A	23	L.S.E., O.S. & P.U.E. LOT
A	24	L.S.E., O.S. & P.U.E. LOT
A	25	PRIVATE UTILITY LOT
B	23	L.S.E., O.S. & P.U.E. LOT
C	40	L.S.E., O.S., P.U.E. & D.E. LOT
C	41	W.W.E. LOT
D	28	L.S.E., O.S., & P.U.E. LOT

F.E.M.A. MAP NO. 48021C0195F
 BASTROP COUNTY, TEXAS AND INCORPORATED AREAS
 DATED: MAY 9, 2023

LINEAR FOOTAGE OF RIGHT-OF-WAY

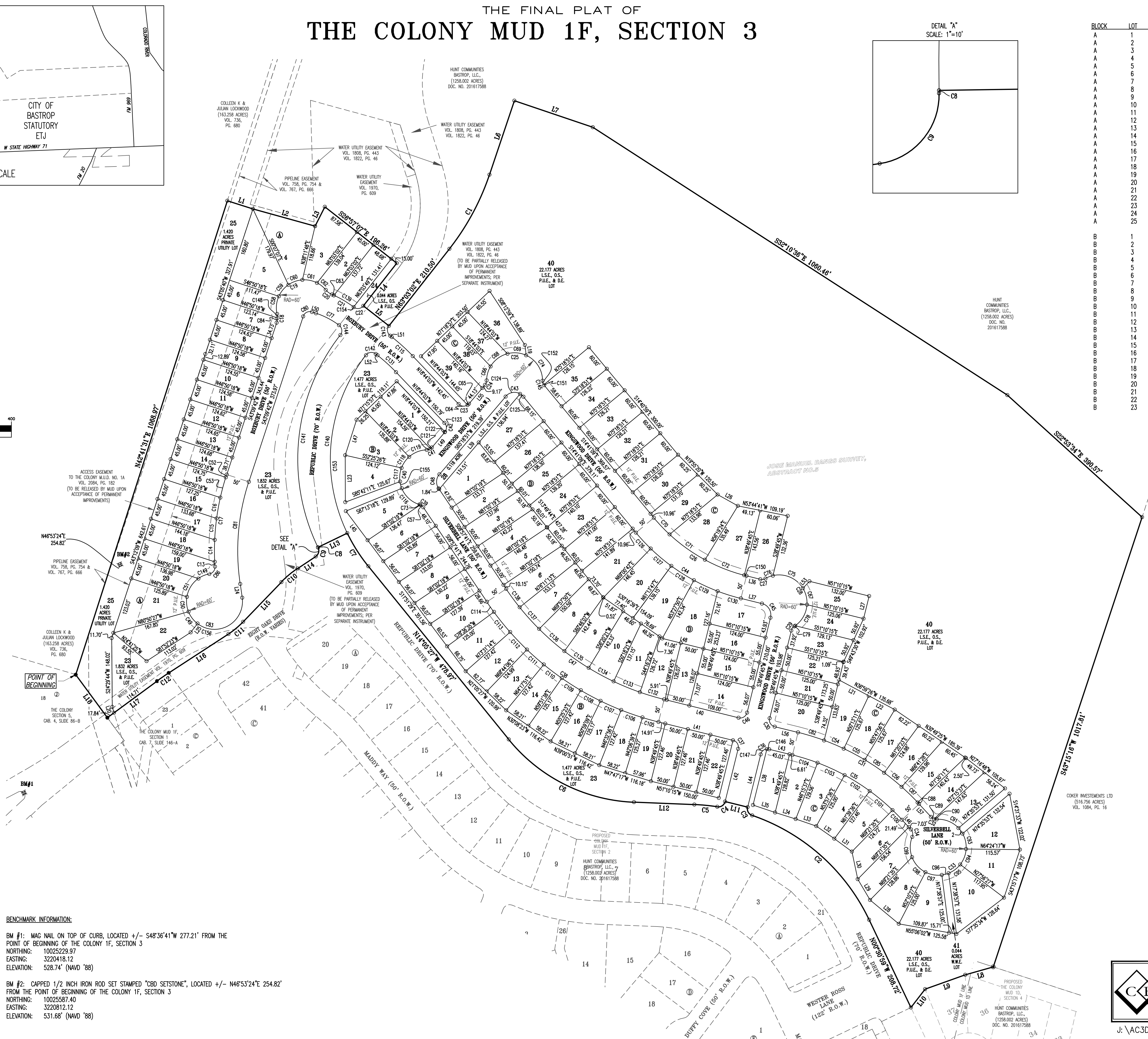
ROAD	50' R.O.W.	70' R.O.W.	LOCAL
KINGSWOOD DRIVE	50'	1,564'	LOCAL
REPUBLIC DRIVE	70'	524'	LOCAL
ROXBURY DRIVE	50'	1,173'	LOCAL
SILVERBELL LANE	50'	1,432'	LOCAL
TOTAL		4,693'	

BASIS OF BEARING - TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (4203)
 ELEVATION DATUM - NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88)

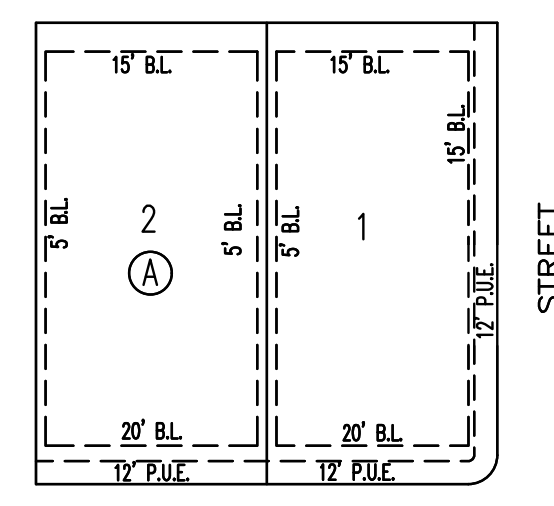
BENCHMARK INFORMATION:

BM #1: MAG NAIL ON TOP OF CURB, LOCATED +/- S48°36'41"W 277.21' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 3
 NORTHING: 10025229.97
 EASTING: 3220418.12
 ELEVATION: 528.74' (NAVD '88)

BM #2: CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE", LOCATED +/- N46°53'24"E 254.82' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 3
 NORTHING: 10025587.40
 EASTING: 3220812.12
 ELEVATION: 531.68' (NAVD '88)



BLOCK	LOT	SQ. FT.	BLOCK	LOT	SQ. FT.
A	1	6,505	C	1	6,334
A	2	6,247	C	2	7,093
A	3	9,308	C	3	7,053
A	4	11,038	C	4	7,038
A	5	11,521	C	5	6,999
A	6	5,168	C	6	7,116
A	7	5,605	C	7	7,278
A	8	5,607	C	8	7,554
A	9	5,605	C	9	8,622
A	10	5,605	C	10	9,048
A	11	5,607	C	11	7,942
A	12	5,609	C	12	8,849
A	13	5,610	C	13	7,098
A	14	5,611	C	14	7,325
A	15	5,656	C	15	7,257
A	16	5,856	C	16	6,866
A	17	6,236	C	17	7,010
A	18	6,805	C	18	7,161
A	19	7,000	C	19	7,559
A	20	5,769	C	20	8,898
A	21	10,345	C	21	6,250
A	22	9,095	C	22	6,250
A	23	79,820	C	23	6,480
A	24	1,926	C	24	6,149
A	25	61,838	C	25	6,672
B	1	7,308	C	26	8,549
B	2	6,429	C	27	9,739
B	3	8,698	C	28	9,615
B	4	7,710	C	29	8,015
B	5	6,205	C	30	7,737
B	6	7,683	C	31	7,572
B	7	7,530	C	32	7,573
B	8	7,371	C	33	7,573
B	9	7,213	C	34	7,573
B	10	7,286	C	35	7,573
B	11	7,681	C	36	7,318
B	12	7,226	C	37	5,339
B	13	6,704	C	38	5,883
B	14	6,708	C	39	6,841
B	15	6,710	C	40	966,016
B	16	6,708	C	41	1,920
B	17	6,709	D	1	8,620
B	18	6,712	D	2	6,792
B	19	6,847	D	3	7,005
B	20	6,373	D	4	7,217
B	21	6,373	D	5	7,430
B	22	6,373	D	6	8,055
B	23	64,356	D	7	8,251
B			D	8	8,897
B			D	9	8,263
B			D	10	7,522
B			D	11	7,159
B			D	12	6,796
B			D	13	6,304
B			D	14	8,764
B			D	15	6,820
B			D	16	6,820
B			D	17	8,470
B			D	18	9,739
B			D	19	9,384
B			D	20	9,559
B			D	21	9,408
B			D	22	8,487
B			D	23	8,434
B			D	24	8,380
B			D	25	8,272
B			D	26	8,272
B			D	27	8,975
B			D	28	5,121



SURVEYORS NOTE:
 1) A TWELVE (12) FOOT WIDE PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET RIGHT-OF-WAYS ON ALL LOTS IN THIS SUBDIVISION

SHEET NO. 1 OF 2

Carlson, Brigance & Doering, Inc.
 FIRM ID #F3791 REG. # 10024900

Civil Engineering 5501 West William Cannon Austin, Texas 78749
 Phone No. (512) 280-5160

Surveying 5501 West William Cannon Austin, Texas 78749
 Phone No. (512) 280-5160 Fax No. (512) 280-5165

THE FINAL PLAT OF THE COLONY MUD 1F, SECTION 3

Curve Table with columns: Curve #, Length, Radius, Chord Direction, Chord Length, Tangent, DELTA. Rows 1-78.

Curve Table with columns: Curve #, Length, Radius, Chord Direction, Chord Length, Tangent, DELTA. Rows 79-156.

Line Table with columns: Line #, Length, Direction. Rows 1-157.

METES AND BOUNDS BEING ALL OF THAT CERTAIN 51.850 ACRE TRACT OR PARCEL OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT...

BEGINNING, AT A 1/2 INCH IRON ROD FOUND, BEING AN ANGLE POINT ON THE WEST LINE OF SAID 1258.002 ACRE TRACT AND BEING THE NORTHEAST CORNER OF LOT 18, BLOCK 4 OF THE COLONY SECTION 5, A SUBDIVISION RECORDED IN CABINET 4, SLIDE 86-B OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.T.X.)...

THENCE, N42°41'31"E, WITH THE COMMON LINE OF SAID 1258.002 ACRE TRACT AND SAID 163.258 ACRE TRACT, A DISTANCE OF 1068.97 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT,

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWELVE (12) COURSES AND DISTANCES, NUMBERED 1 THROUGH 12,

- 1) S47°18'29"E, A DISTANCE OF 57.65 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 2) S49°36'35"E, A DISTANCE OF 138.64 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER...

THENCE, S43°15'16"W, WITH THE COMMON LINE OF SAID 1258.002 ACRE TRACT AND SAID 516.756 ACRE TRACT, A DISTANCE OF 1017.61 FEET TO A 1/2 INCH IRON PIPE FOUND AT AN ANGLE POINT ON THE EAST LINE OF SAID 1258.002 ACRE TRACT, BEING THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT AND THE SOUTHWEST CORNER OF SAID 516.756 ACRE TRACT,

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWENTY-ONE (21) COURSES AND DISTANCES, NUMBERED 1 THROUGH 21,

- 1) N80°47'01"W, A DISTANCE OF 62.76 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 2) N84°41'23"W, A DISTANCE OF 91.62 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER...

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, WITH THE NORTH LINE OF SAID EIGHT OAKS DRIVE, BEING ALSO THE NORTH LINE OF SAID THE COLONY MUD 1F, SECTION 1, THE FOLLOWING TWO (2) COURSES AND DISTANCES, NUMBERED 1 AND 2,

- 1) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 545.00 FEET, AN ARC LENGTH OF 30.61 FEET, AND A CHORD THAT BEARS S80°11'43"W, A DISTANCE OF 30.61 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, AND

2) S78°34'58"W, A DISTANCE OF 132.54 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR THE NORTHWEST CORNER OF THE WEST TERMINUS LINE OF SAID EIGHT OAKS DRIVE, BEING ON THE WEST LINE OF SAID 1258.002 ACRE TRACT, SAME BEING THE EAST LINE OF SAID THE COLONY SECTION 5,

THENCE, N112°21'18"W, WITH THE WEST LINE OF SAID 1258.002 ACRE TRACT AND THE EAST LINE OF SAID THE COLONY SECTION 5, A DISTANCE OF 114.65 FEET TO THE POINT OF BEGINNING AND CONTAINING 51.850 ACRES OF LAND.

GENERAL NOTES:

- 1. THE BENCHMARKS USED ARE: BM #1: MAG NAIL ON TOP OF CURB, LOCATED +/- S48°36'41"W 277.21' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 3... BM #2: CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE", LOCATED +/- N46°53'24"E 254.82' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 3...

STATE OF TEXAS COUNTY OF BASTROP KNOW ALL MEN BY THESE PRESENTS:

THAT WE, RICK NEFF, HUNT COMMUNITIES BASTROP, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNERS OF THE 1258.002 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDE 51.850 ACRES OF LAND WITH THE PLAT SHOWN HEREON, TO BE KNOWN AS:

"THE COLONY MUD 1F, SECTION 3"

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE EASEMENTS SHOWN HEREON TO THE PUBLIC. WITNESS MY HAND THIS DAY OF 20 A.D.

RICK NEFF HUNT COMMUNITIES BASTROP, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY PO BOX 12220 EL PASO, TEXAS 79913

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE DAY OF 20 A.D.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

FLOOD PLAIN NOTE:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021C0195F FOR BASTROP COUNTY TEXAS, DATED MAY 9, 2023. COMMUNITY NUMBER 481193.

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS COUNTY OF TRAVIS KNOW ALL MEN BY THESE PRESENTS:

I, MAHER HARMOUCHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP.



ENGINEERING BY: MAHER HARMOUCHE, P.E. #143982 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749

STATE OF TEXAS COUNTY OF TRAVIS KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOHN DAVID KIPP, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BASTROP, BASTROP COUNTY, TEXAS. ALL EASEMENTS OF RECORD AS SHOWN ON THE TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, OF NO. 421006025, EFFECTIVE DATE APRIL 26, 2021, ISSUED DATE MAY 5, 2021 HAVE BEEN IDENTIFIED ON THIS PLAT TO THE BEST OF MY KNOWLEDGE.



SURVEYED BY: JOHN DAVID KIPP ~ P.L.S. NO. 5844 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749

APPROVED THIS DAY 20 OF 20 A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

APPROVED: ATTEST:

PLANNING & ZONING COMMISSION CHAIRPERSON CITY SECRETARY

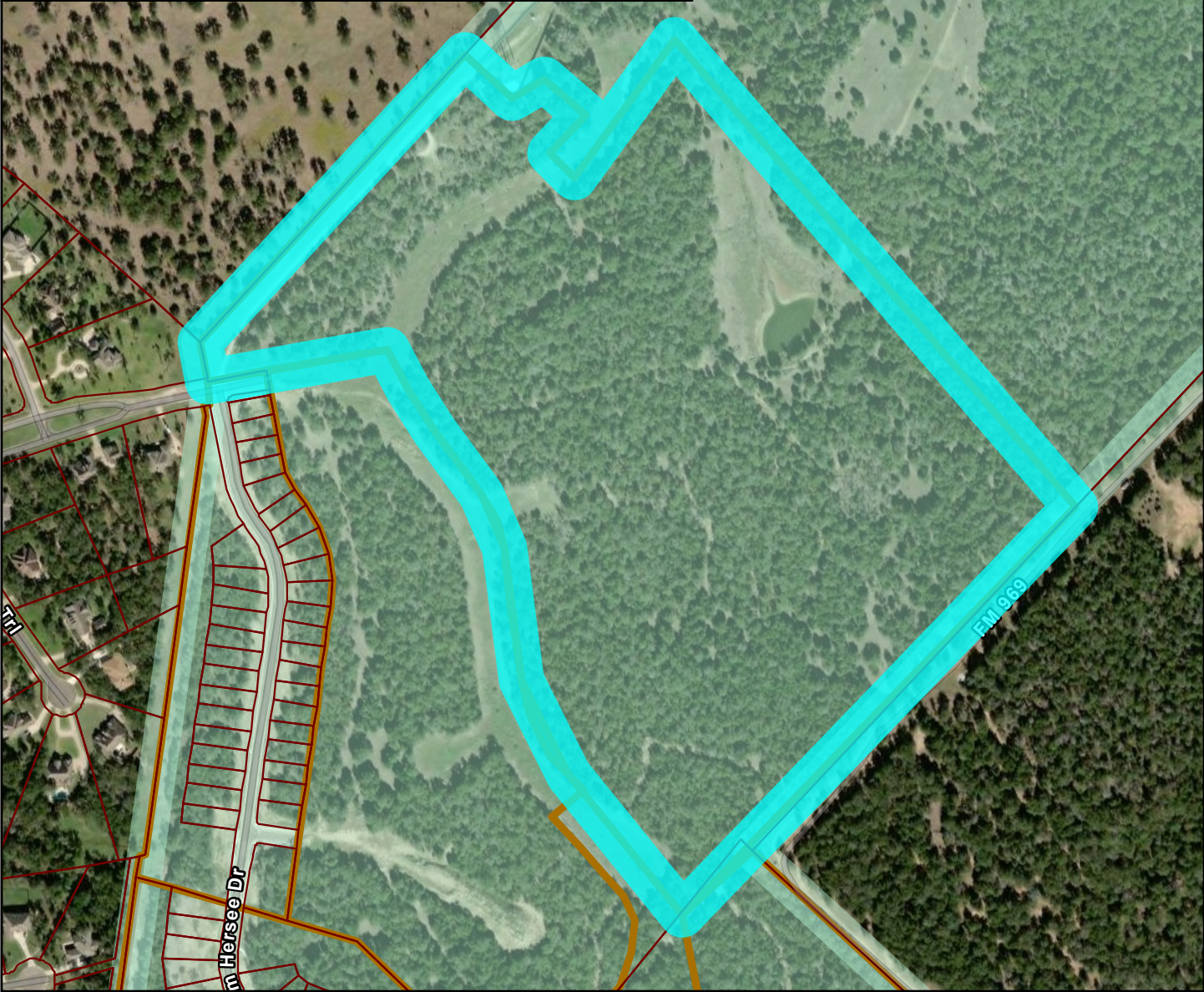
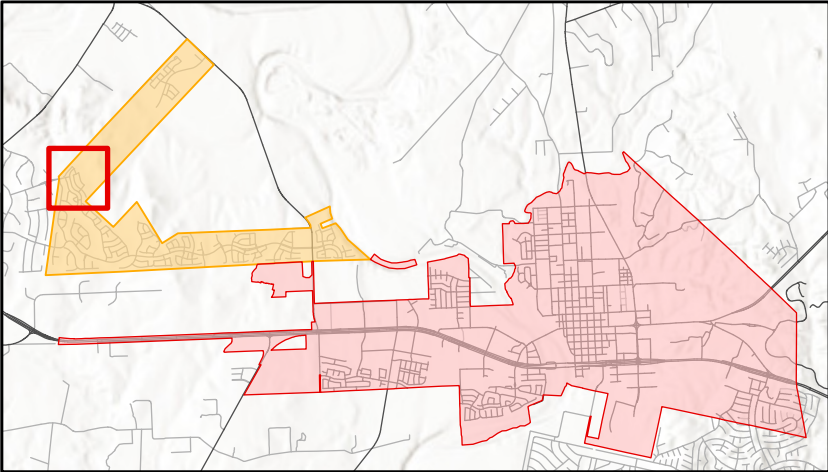
STATE OF TEXAS COUNTY OF BASTROP

I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DAY OF 20 A.D. AT O'CLOCK IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET FILED FOR RECORD ON THE DAY OF 20 A.D.

DEPUTY COUNTY CLERK, BASTROP COUNTY, TEXAS

SHEET NO. 2 OF 2 Carlsson, Brigance & Doering, Inc. FIRM ID #93791 REG. # 10024900. Includes contact info for Austin, Texas.

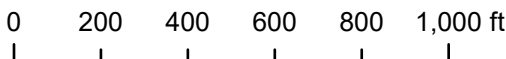
Attachment 1 Location Map



Scale 1:5,300



The Colony MUD 1F, Section 3 Final Plat



Current Time: 6/27/2024 2:43 PM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced.

The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.