Bastrop Planning and Zoning Commission Agenda

Bastrop City Hall City Council Chambers 1311 Chestnut Street Bastrop, TX 78602 (512) 332-8800



July 25, 2024 Agenda - Planning and Zoning Commission at 6:00 PM

Bastrop Planning and Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

1. CALL TO ORDER

2. CITIZEN COMMENTS

At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Manager for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Board/Commission to allow a member of the public to slur the performance, honesty and/or integrity of the Board/Commission, as a body, or any member or members of the Board/Commission individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Board/Commission and/or any person in the Board/Commission's presence will not be tolerated.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

<u>3A.</u> Consider action to approve meeting minutes from the March 28, 2024, Planning and Zoning Commission Meeting.

Submitted by: Alondra Macias, Development Services Planner I

- 3B. Consider action to approve Valverde Amenity Center Final Plat, being 3.554 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.
 - Submitted by: Kennedy Higgins, Senior Planner, Development Services Department
- 3C. Consider action to approve Burleson Crossing East Final Plat, being 19.81 acres situated in the Nancy Blakey Survey, Abstract No. 98, located on the northeast corner of State Highway 71 and Edward Burleson Drive, within the city limits of Bastrop, Texas, as shown in Attachment 1.
 - Submitted by: Kennedy Higgins, Senior Planner, Development Services Department
- 3D. Consider action to approve the vacation of The Colony MUD 1D, Section 2 Final Plat, being 28.673 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.
 - Submitted by: Kennedy Higgins, Senior Planner, Development Services Department
- 3E. Consider action to approve the vacation of The Colony MUD 1D, Section 3 Final Plat, being 25.419 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.
 - Submitted by: Kennedy Higgins, Senior Planner, Development Services Department
- 3F. Consider action to approve The Colony MUD 1F, Section 2 Final Plat, being 32.250 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.
 - Submitted by: Kennedy Higgins, Senior Planner, Development Services Department
- 3G. Consider action to approve The Colony MUD 1F, Section 3 Final Plat, being 51.850 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.
 - Submitted by: Kennedy Higgins, Senior Planner, Development Services Department

4. ADJOURNMENT

- 4A. Future development related items
- 4B. Development Services Department Monthly Project Volume Report.
- 4C. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).

5. **ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, www.cityofbastrop.org and said Notice was posted on the

following date and time: at least two hours after said		at 4:00 p.m. and remained posted for
/s/ <i>Kennedy Higgins</i> Kennedy Higgins, Senior Pla	anner, Development Servic	ces Department



Planning and Zoning STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve meeting minutes from the May 30, 2024, Planning and Zoning Commission Meeting.

AGENDA ITEM SUBMITTED BY:

Alondra Macias, Development Services Planner I

ATTACHMENTS:

Meeting Minutes from May 30, 2024

Item 3A.

PLANNING & ZONING SPECIAL MEETING MEETING MINUTES

May 30, 2024, at 6:00 P.M.

The City of Bastrop Planning and Zoning Commission met Thursday, May 30, 2024, at 6:00 PM in the Council Chambers located at 1311 Chestnut Street, Bastrop, Texas 78602.

1. CALL TO ORDER

Chairman Ishmael Harris called the meeting to order at 6:00 pm.

Ishmael Harris	Present
David Barrow	Absent
Ashleigh Henson	Absent
Gary Moss	Present

Jordan Scott Present Arrived at 6:01

Patrice Parsons Present
Keith Ahlborn Present
Joshua Bingaman Present

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the May 9, 2024, Planning and Zoning Commission Meeting.

Commissioner Gary Moss made a motion to approve the meeting minutes from the May 9, 2024, Planning and Zoning Commission Meeting. Commissioner Patrice Parsons seconded the motion. The motion passed unanimously.

4. WORKSHOP

4A. Planning and Zoning Workshop Training

Rezzin Pullum from Bojorquez Law Firm presented the training to the Planning and Zoning Commission discussing the roles, codes, and resources available for the board.

5. ADJOURNMENT

Commissioner Gary Moss made a motion to adjourn the meeting at 7:49 p.m. Commissioner Patrice Parsons seconded the motion. The motion passed unanimously.

Ishmael Harris, Chair	David Barrow, Vice-Chair



STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve Valverde Amenity Center Final Plat, being 3.554 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Attachment 1.

AGENDA ITEM SUBMITTED BY:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: West of FM 969, North of SH 71 (Attachment 2)

Property ID 3.554 acres out of 8720280

Total Acreage: 3.554 +/-

Legal Description: 3.554 +/- acres out of the Nancy Blakey Survey Abstract Number 98

Property Owner: Continental Homes of Texas, LP Agent Contact: Megan Reynolds, BGE, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: Open Space

Adopted Plan: Valverde Development Agreement, Approved July 13, 2021

Future Land Use: Neighborhood Residential

BACKGROUND/HISTORY:

The final plat application, Valverde Amenity Center Subdivision, is a one lot subdivision for open space use. All public water and wastewater services will be provided per the Valverde Public Improvement Plan Phase 1 onto this project site. The site is currently vacant and will be developed as an amenity center for open space use. The development consists of streets, drainage, water, wastewater, and utility infrastructure extensions. The final plat is associated with the approved Viridian Development Agreement, Public Improvement Plans, and Final Drainage Plans for these phases of the development.

The final plat follows the standards adopted in the Viridian Development Agreement.

Infrastructure	Available (Y/N)	Proposed
Water	Υ	Line Extensions
Wastewater	Υ	Line Extensions
Drainage	Υ	Storm Sewer to Detention Pond
Transportation	Υ	Construction of new internal streets
Parks and Open Space	Υ	Amenity Center

Traffic Impact and Streets

From FM 969 the main access for the amenity center lot of Valverde will be Boca Chica Street, a 60' ROW street. There are two entrances/exits into the Valverde Amenity Center, one through Salcedo Street and one through Boca Chica Street. The internal streets are 55.5' in width and include parallel street parking. All streets and alleys are proposed to be for public use. Sidewalks will also be built within the development along the public streets.

Utilities

Water service (domestic and fire) will be provided by the City of Bastrop via water line extensions provided by the developer from the existing water tank on the south side of SH 71 on FM 20. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements.

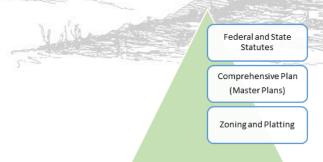
Wastewater collection and treatment will also be provided by the City of Bastrop via a line extension being installed parallel to FM 969 from an existing 24-in line by Bear Huner Drive.

Electric Service will be provided by Bluebonnet Electric.

Drainage

The drainage patterns generally flow in a south-to-northerly direction. This development aligns with the development agreement impervious covers as it proposes a <u>22.0%</u> coverage. The existing drainage patterns will be maintained, and the existing peak flow rates will not be increased.

POLICY EXPLANATION:



Final Plats are reviewed and approved by the Planning & Zoning Commission.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits.

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended by the owner of the tract to be dedicated to public use must have a plat of the subdivision prepared. A division of a tract under this subsection includes a division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or in a contract for a deed, by using a contract of sale or other executory contract to convey, or by using any other method. A division of land under this subsection does not include a division of land into parts greater than five acres, where each part has access, and no public improvement is being dedicated.

The applicant has proposed subdividing an undeveloped 3.554 acres of land to an amenity center lot.

Section 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
 - it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities.

It conforms with the general plan of open space within a neighborhood.

(2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities.

It conforms to the general plan of the extension of lines.

- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and
 - A fiscal guarantee has been provided for the construction and maintenance of the street improvements before any final plats can be recorded.
- (4) it conforms to any rules adopted under Section 212.002.

The final plat complies with the requirements of the adopted B³ Code and Viridian Development Agreement.

Compliance with 2036 Comprehensive Plan:

The Neighborhood Residential character area is for single family residential subdivision development, associated amenities such as parks, trails, open spaces, and public uses such as schools, fire stations, and more. Although individual developments may exhibit common features including home size, lot size, setbacks, impervious surface coverage, etc., the character area supports variations of these spatial and aesthetics characteristics, subject to appropriate transitions in form, scale, and density between blocks or adjacent developments. In some instances, transitions between developments and adjacent character areas may include higher density housing types or neighborhood oriented commercial uses of limited scale.

The development of this lot will be for an amenity center that will allow for that open space and park area for the residents in the Valverde subdivision.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Development Agreement with Valverde that allows the city to agree to specific land uses and development standards. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

This lot will be used as an amenity center for the neighborhood and open space for the residents to be able to go to. It follows the Viridian Development agreement's land use and development standards.

B³ Code – Chapter 1: Subdivisions

Section 1.3.004 Plat Requirements

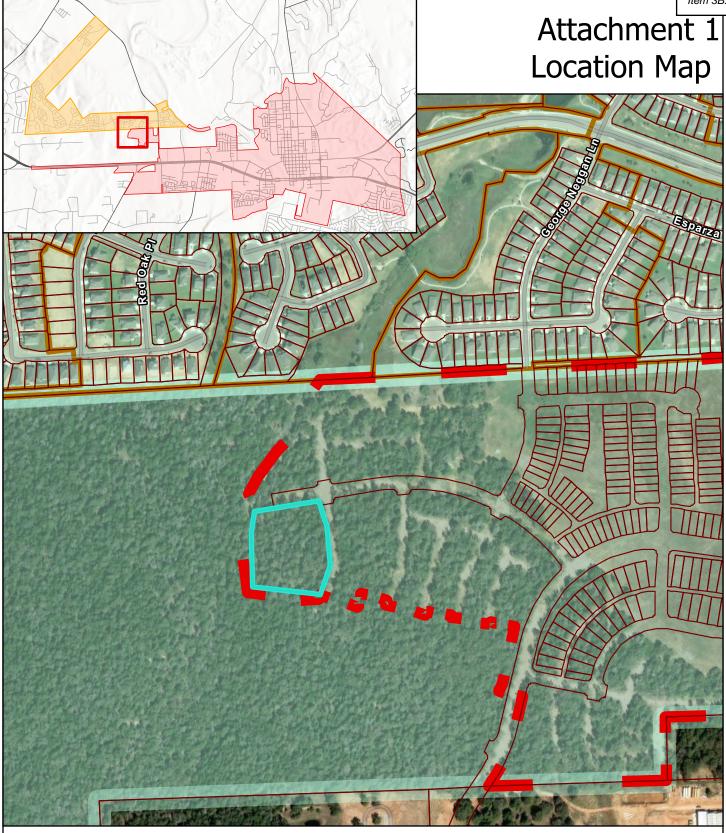
The Development Review Committee reviewed the Final Plat for Valverde Amenity Center Subdivision for compliance with subdivision and development agreement standards on June 27, 2024, and deemed the plat administratively complete. Staff recommends approval.

RECOMMENDATION:

Consider action to approve Valverde Amenity Center Subdivision Final Plat, being 3.554 acres out of Nancy Blakey Survey, Abstract Number 98, located west of FM 969, within the City of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: Valverde Amenity Center Subdivision Final Plat
- Attachment 1: Valverde Amenity Center Location Map
- Attachment 2: Valverde Concept Plan



Scale 1:5,300



Valverde Section 1, Phase 3, Amenity Center Final Plat

0 200 400 600 800 1,000 ft

Current Time: 6/28/2024 11:29 AM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced.

The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.

SUMMARY NOTES

(512) 879-0400

CONTINENTAL HOMES OF TEXAS, LP 10700 PECAN PARK BLVD., 4TH FLOOR

1701 DIRECTORS BLVD., SUITE 1000 AUSTIN, TEXAS 78744 (512) 879-0400

1701 DIRECTORS BLVD., SUITE 1000 AUSTIN, TEXAS 78744

LEGAL DESCRIPTION:

VALVERDE SECTION 1, PHASE 3, BLOCK P, LOT 1 AMENITY CENTER 3.55 AC TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, SITUATED IN BASTROP COUNTY, TEXAS.

APPROVED BY

OWNER'S SIGNATURE BLOCK:

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

NAME OF OWNER/TRUSTEE

(OWNER'S AUTHORIZED AGENT)

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

DIRECTOR OF PLANNING	DATE
CITY OF BASTROP ENGINEERING	DATE
CITT OF BASTROF ENGINEERING	DATE
CITY OF BASTROP FIRE DEPT.	DATE

BENCHMARK

- T.B.M."1" IS A MAG NAIL SET S 06° 38' 04" E, 217.4' FROM THE NE CORNER OF THE REMAINDER OF CALLED 410.599 ACRE TRACT (SUBJECT TRACT), AS SHOW HEREON. ELEV. 407.65' NAVD 88
- T.B.M."2" IS A CHISELED BOX IN CONCRETE HEADWALL MAG NAIL SET +/- 1,700' EAST OF THE INTERSECTION OF F.M. 969 AND THE TEXAS 71 FRONTAGE ROAD, AS SHOW HEREON. ELEV.387.29' NAVD 88

SUBMITTED BY

I, BRIAN J. GRACE DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.





BRIAN J. GRACE, P.E. BGE, INC TBPE NO. F-1046 1701 DIRECTORS BLVD., SUITE 1000 AUSTIN, TEXAS 78744 (512) 879-0400 (MAIN)

THIS TRACT IS LOCATED WITHIN THE COLORADO RIVER WATERSHED.

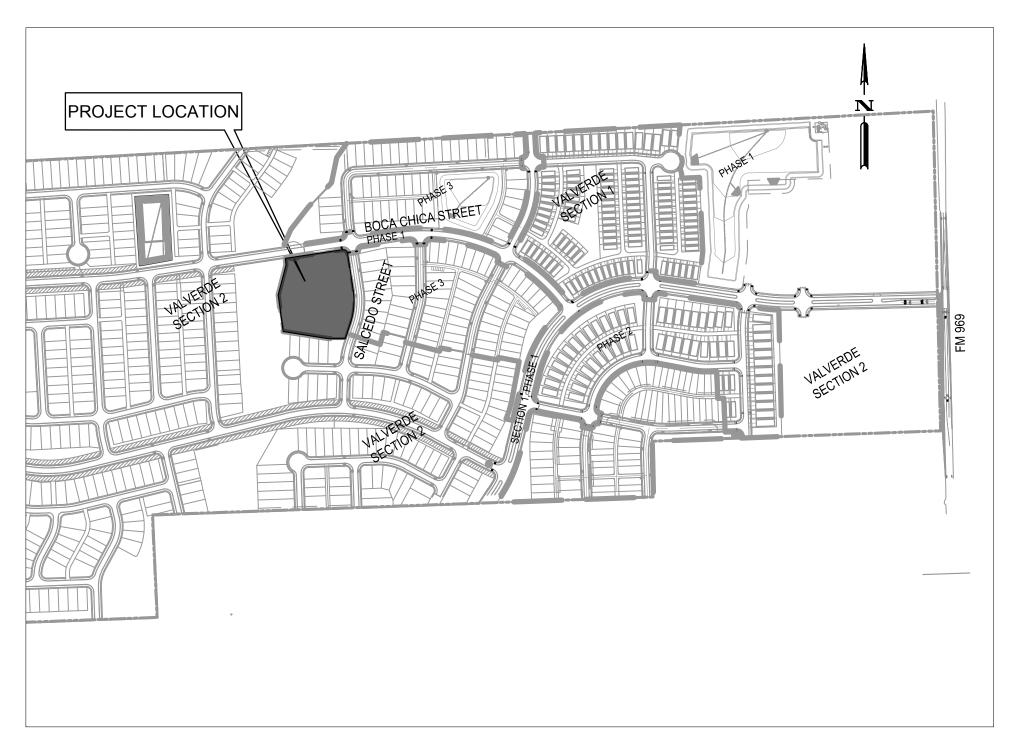
A PORTION OF THIS TRACT IS LOCATED WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) 48021C0355F, BASTROP COUNTY, TEXAS, DATED: MAY 9, 2023.

SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP COUNTY, TEXAS

SUBMITTAL DATE: JULY 8TH, 2024

VICINITY MAP

SCALE: 1" = 500'



	REVISIONS/CORRECTIONS											
SHEET	DESCRIPTION	DATE	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	ACCEPTED BY	APPROVAL DATE							

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	FINAL PLAT (1 OF 2)
3	FINAL PLAT (2 OF 2)
4	GENERAL NOTES (1 OF 2)
5	GENERAL NOTES (2 OF 2)
6	EXISTING CONDITION AND DEMOLITION PLAN
7	EROSION CONTROL PLAN
8	EROSION CONTROL DETAILS
9	OVERALL SITE PLAN
10	SITE DETAILS (1 OF 2)
11	SITE DETAILS (2 OF 2)
12	FIRE ACCESS AND CONTROL PLAN
13	OVERALL GRADING PLAN
14	WATER & WASTEWATER PLAN
15	WATER DETAILS (1 OF 2)
16	WATER DETAILS (2 OF 2)
17	WASTEWATER DETAILS (1 OF 3)
18	WASTEWATER DETAILS (2 OF 3)
19	WASTEWATER DETAILS (3 OF 3)
20	LANDSCAPING PLANS (1 OF 10)
21	LANDSCAPING PLANS (2 OF 10)
22	LANDSCAPING PLANS (3 OF 10)
23	LANDSCAPING PLANS (4 OF 10)
24 25	LANDSCAPING PLANS (5 OF 10) LANDSCAPING PLANS (6 OF 10)
25 26	LANDSCAPING PLANS (0 OF 10) LANDSCAPING PLANS (7 OF 10)
27	LANDSCAPING PLANS (8 OF 10)
28	LANDSCAPING PLANS (9 OF 10)
29	LANDSCAPING PLANS (10 OF 10)

CODES BEING USED: CITY OF BASTROP B3 TECHNICAL MANUAL CITY OF BASTROP STORMWATER DRAINAGE DESIGN MANUAL

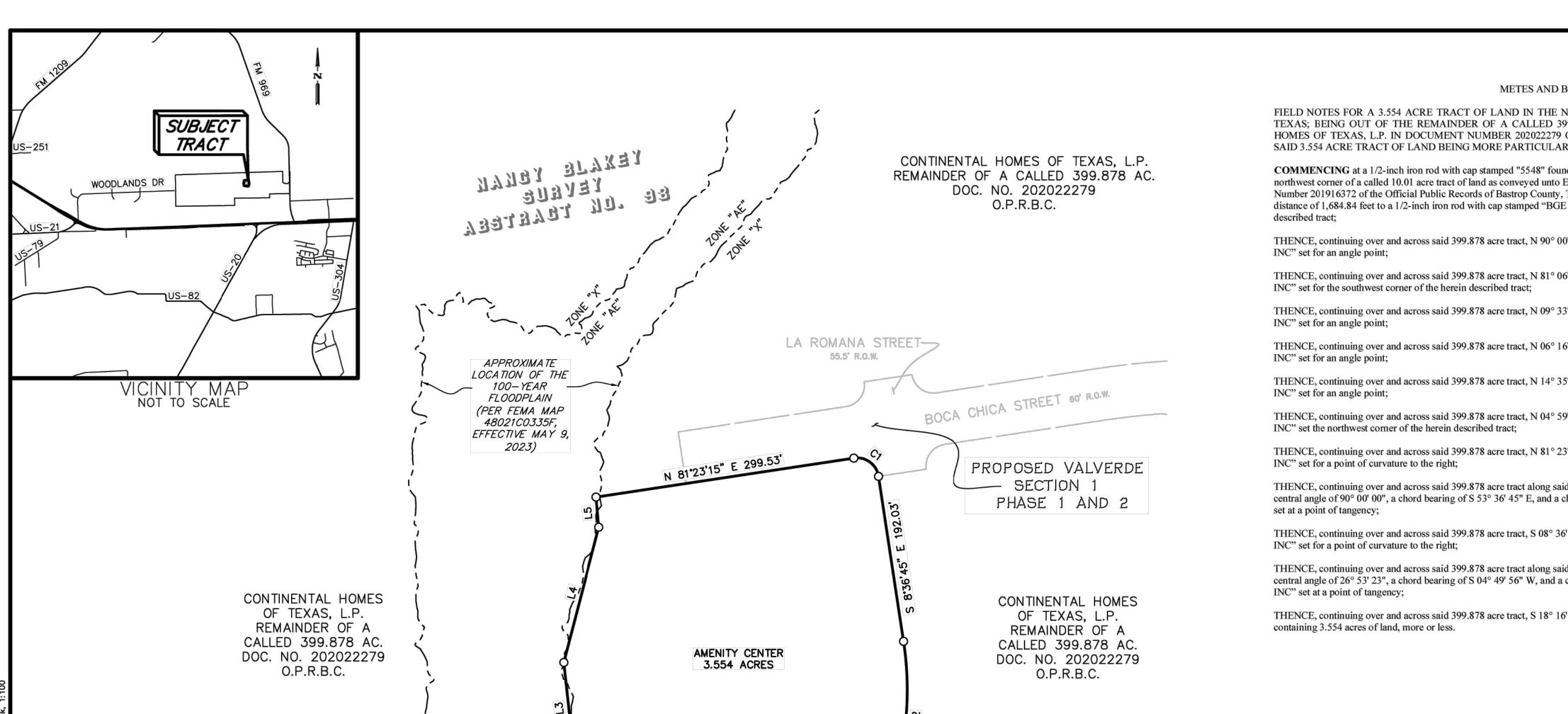
BASTROP FIF	RE DEPARTMENT
FIRE DESIGN CODES	INTERNATIONAL FIRE CODE 2018 EDITION WITH ADOPTED APPENDICES
FIRE FLOW DEMAND @ 20 PSI (GPM)	1,500 GPM
INTENDED USE	AMENITY CENTER
CONSTRUCTION CLASSIFICATION	TYPE V-B
BUILDING FIRE AREA (S.F.)	CLUBHOUSE = 1,685 SF
AUTOMOATIC FIRE SPRINKLER SYSTEM TYPE (IF APPLICABLE)	N/A
REDUCED FIRE FLOW DEMAND @ 20PSI FOR HAVING A SPRINKLER SYSTEM (GPM) (IF APPLICABLE)	N/A
AFD FIRE HYDRANT FLOW TEST DATE	7/1/2021
AFD FIRE HYDRANT FLOW TEST LOCATION	BLAKEY//DUFF
ALTERNATIVE METHOD OF COMPLIANCE AMOC (IF APPLICABLE)	N/A

8" PUBLIC WATER MAIN INSTALLATION PER VALVERDE PHASE 1 PUBLIC IMPROVEMENTS PLAN.



AUSTIN, TX 78744 TBPE Registration No. F-1046

TEL: 512-879-0400 www.bgeinc.com



METES AND BOUNDS DESCRIPTION

FIELD NOTES FOR A 3.554 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, IN BASTROP COUNTY, TEXAS; BEING OUT OF THE REMAINDER OF A CALLED 399.878 ACRE TRACT OF LAND AS CONVEYED UNTO CONTINENTAL HOMES OF TEXAS, L.P. IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS; SAID 3.554 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a 1/2-inch iron rod with cap stamped "5548" found at a southeasterly interior corner of said 399.878 acre tract, being the northwest corner of a called 10.01 acre tract of land as conveyed unto Esmeralda Vences-Maldonado and Fermin Vences-Maldonado in Document Number 201916372 of the Official Public Records of Bastrop County, Texas, THENCE, over and across said 399.878 acre tract, N 71° 29' 57" W, a distance of 1,684.84 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the southeast corner and **POINT OF BEGINNING** of the herein

THENCE, continuing over and across said 399.878 acre tract, N 90° 00' 00" W a distance of 88.16 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, N 81° 06' 35" W a distance of 238.54 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, N 09° 33' 10" W a distance of 89.33 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, N 06° 16' 41" W a distance of 103.52 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, N 14° 35' 31" E a distance of 160.75 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, N 04° 59′ 40″ W a distance of 34.76 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, N 81° 23' 15" E a distance of 299.53 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract along said curve to the right with a radius of 25.00 feet, an arc length of 39.27 feet, a central angle of 90° 00' 00", a chord bearing of S 53° 36' 45" E, and a chord distance of 35.36 feet to a 1/2-inch iron rod with cap stamped "BGE INC"

THENCE, continuing over and across said 399.878 acre tract, S 08° 36' 45" E a distance of 192.03 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract along said curve to the right with a radius of 372.25 feet, an arc length of 174.70 feet, a central angle of 26° 53' 23", a chord bearing of S 04° 49' 56" W, and a chord distance of 173.10 feet to a 1/2-inch iron rod with cap stamped "BGE

THENCE, continuing over and across said 399.878 acre tract, S 18° 16' 38" W a distance of 83.80 feet to the POINT OF BEGINNING and

LINE DATA NUMBER | BEARING DISTANCE N90°00'00"W 88.16' N9*33'10"W 89.33' N6°16'41"W | 103.52' N14°35'31"E | 160.75'

CURVE DATA NUMBER | RADIUS | DELTA ANGLE | ARC LENGTH | CHORD BEARING | CHORD DISTANCE 35.36' C1 25.00' 90'00'00" 39.27' S 53*36'45" E C2 372.25' 26 53 23" 174.70' S 4*49'56" W 173.10'

~P.O.B.

UNDER NO CIRCUMSTANCES WILL THE CITY BE OBLIGATED TO ACCEPT STREETS, ROADWAYS, ALLEYS, CURBS, GUTTERS/DRAINAGE SYSTEMS, SIDEWALKS, STREET LIGHTS, AND/OR RELATED IMPROVEMENTS WITHIN THE DISTRICT FOR OWNERSHIP, OPERATION, AND MAINTENANCE UNTIL SUCH TIME OF FULL-PURPOSE ANNEXATION. WITH RESPECT TO SUCH STREETS AND ROADWAYS WITHIN THE DISTRICT, THE DEVELOPER SHALL DESIGN AND CONSTRUCT THE STREETS AND ROADWAYS SOLELY TO THE CITY'S APPLICABLE STANDARDS, AS N4*59'40"W 34.76' MODIFIED BY THE DEVELOPMENT AGREEMENT. THE DISTRICT WILL BE OBLIGATED TO ACCEPT, OPERATE AND L6 S18°16'38"W 83.80'

FINAL PLAT **VALVERDE** AMENITY CENTER

MAINTAIN THE STREETS AND ALL OTHER COMPONENTS

THEREOF, INCLUDING BUT NOT LIMITED TO CURBS, GUTTER/DRAINAGE SYSTEMS, SIDEWALKS AND STREET

A SUBDIVISION OF 3.554 ACRES OF LAND LOCATED IN THE NANCY BLAKEY SURVEY ABSTRACT NO. 98 BASTROP COUNTY, TEXAS

CONTINENTAL HOMES OF TEXAS, L.P. ADDRESS: 10700 PECAN PARK BLVD., SUITE 400 AUSTIN, TX, 78750

N 81°06'35" W 238.54'

ACREAGE: 3.554 ACRES SURVEY: NANCY BLAKEY SURVEY, ABSTRACT NO. 98

PLAT SUBMITTED: ___/__/2024 PLAT REVISED:

> SURVEYOR: BGE, INC. (DION ALBERTSON, RPLS) PHONE: <u>210-581-3600</u>

> > PHONE: <u>512-879-0400</u>

ENGINEER: BGE, INC. (BRIAN J. GRACE, PE)

BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NAD 83. DISTANCES SHOWN ARE IN SURFACE VALUES. COMBINED SCALE FACTOR IS 0.99998269.

BEARING BASIS:

<u>LEGEND</u>

P.O.C. ¬/

CONTINENTAL HOMES

OF TEXAS, L.P. REMAINDER OF A CALLED 399.878 AC NO. 202022279 O.P.R.B.C.

ESMERALDA VENCES-MALDONADO

& FERMIN VENCES-MALDONADO

CALLED 10.01 AC.

DOC. NO. 201916372

O.P.R.B.C.

CABINET DOC. DOCUMENT NO. NUMBER O.P.R.B.C. OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY PG. P.O.B. POINT OF BEGINNING P.O.C. POINT OF COMMENCING P.R.B.C. PLAT RECORDS OF BASTROP COUNTY

R.O.W. RIGHT-OF-WAY VOL. VOLUME FOUND 1/2" IRON ROD

(UNLESS OTHERWISE NOTED) SET 1/2" IRON ROD W/ "BGE, INC." CAP



BGE, Inc. 7330 San Pedro Ave., Suite 202 San Antonio, TX 78216 Tel: 210-581-3600 • www.bgeinc.com TBPELS Registration No. F-1046 TBPELS Licensed Surveying Firm No. 10194490

SHEET 7 OF 2

DESIGNED BY: LS, MR REVIEWED BY: IL

DRAWN BY: LS, MR



AMENITY

VALVERDE /

STATE OF TEXAS § COUNTY OF WILLIAMSON §	STATE OF TEXAS § COUNTY OF BASTROP §
KNOW ALL MEN BY THESE PRESENTS: THAT CONTINENTAL HOMES OF TEXAS, L.P., BEING THE OWNER OF A 399.878 ACRE TRACT OF LAND IN THE NANCY BLAKEY SURVEY, ABSTRACT NO. 98, BASTROP COUNTY TEXAS, AS RECORDED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 202022279 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS, DOES	I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DAY OF, 20, A.D., AT O'CLOCK _M, IN THE PLAT RECORDS OF
HEREBY SUBDIVIDE 3.554 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT SHOWN HEREON, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE, TO BE KNOWN AS:	
VALVERDE AMENITY CENTER AND DOES HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY EASEMENTS, AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.	FILED FOR RECORD ON THE DAY OF, 20, A.D.
WITNESS MY HAND, THIS THE DAY OF, 20, A.D.	BY: KRISTA BARTSCH DEPUTY
	COUNTY CLERK BASTROP COUNTY, TEXAS
CONTINENTAL HOMES OF TEXAS, L.P. 10700 PECAN PARK BLVD., SUITE 400 AUSTIN, TEXAS 78750	
STATE OF TEXAS COUNTY OF WILLIAMSON	
BEFORE ME, THE UNDERSIGNED AUTHORITY, PERSONALLY APPEARED	
NOTARY PUBLIC, STATE OF TEXAS	
PRINT NOTARY'S NAME MY COMMISSION EXPIRES	
STATE OF TEXAS § COUNTY OF TRAVIS §	
I, BRIAN J. GRACE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLY WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF BASTROP, TEXAS.	
BRIAN J. GRACE, P.E. LICENSED PROFESSIONAL ENGINEER NO. 121846 BGE, INC. 1701 DIRECTORS BOULEVARD, SUITE 1000 AUSTIN, TEXAS 78744	
STATE OF TEXAS \$ COUNTY OF BEXAR \$	
I, DION P. ALBERTSON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL ON—THE—GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON WILL BE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BASTROP, TEXAS, UPON COMPLETION OF CONSTRUCTION.	
PRELIMINARY PENDING FINAL REVIEW	
DION P. ALBERTSON, R.P.L.S. DATE REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4963 BGE, INC. 7330 SAN PEDRO AVE, SUITE 202 SAN ANTONIO, TEXAS 78216	
GENERAL NOTES:	
 THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF BASTROP'S FULL PURPOSE JURISDICTION, BEARING ORIENTATION IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE 4203, NADB3 THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND IN ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT – BASE FLOOD ELEVATIONS DETERMINED) AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR BASTROP COUNTY, TEXAS, AND INCORPORATED AREAS, MAP NUMBER 48021C0335F, EFFECTIVE MAY 9, 2023. ANY FLOODPLAIN BOUNDARIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT DEPICTED AS A RESULT OF AN ON THE GROUND SURVEY. THIS SUBDIVISION IS IN AND SERVED BY CITY OF BASTROP UTILITIES FOR WATER SERVICE. ELECTRIC SERVICE TO BE PROVIDED BY BLUEBONNET ELECTRIC. NO DWELLING STRUCTURE MAY BE OCCUPIED UNTIL SUCH TIME AS WATER AND WASTEWATER CONNECTIONS ARE FULLY OPERATIONAL. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION, GAS, AND SIMILAR UTILITY OR SERVICE LINES SHALL BE PLACED UNDERGROUND, SUCH LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS ESTABLISHED BY EACH UTILITY OR SERVICE COMPANY, AS APPLICABLE, AND CITY ORDINANCE. NO PORTION OF THIS SUBDIVISION IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE OR CONTRIBUTING ZONE. THIS PROJECT IS LOCATED IN THE LOWER COLORADO—CUMMINS WATERSHED WHICH IS CLASSIFIED AS A SUBURBAN WATER SUPPLY WATERSHED. 	
VALVERDE	
AMENITY CENTER	BGE, Inc. 7330 San Pedro Ave., Suite 202 San Antonio, TX 78216

A SUBDIVISION OF 3.554 ACRES OF LAND

LOCATED IN THE
NANCY BLAKEY SURVEY ABSTRACT NO. 98
BASTROP COUNTY, TEXAS



BGE, Inc. 7330 San Pedro Ave., Suite 202 San Antonio, TX 78216 Tel: 210-581-3600 • www.bgeinc.com TBPELS Registration No. F-1046 TBPELS Licensed Surveying Firm No. 10194490

SHEET 2 of 2

DESIGNED BY: LS, MR REVIEWED BY: IL DRAWN BY: LS, MR SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS

SHEET 3 OF 29

CITY OF BASTROP - GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP DESIGN AND CONSTRUCTION STANDARDS
- ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY

DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION

MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, ETC. SHALL BE RAISED TO FINISHED GRADE AFTER TO FINAL PAVING CONSTRUCTION. A CONCRETE SQUARE SHALL BE POURED AROUND ALL APPURTENANCES.

OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS ARE APPROPRIATE.

- THE CONTRACTOR SHALL GIVE THE CITY OF BASTROP 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION. NOTICE SHALL BE GIVEN TO THE PLANNING AND DEVELOPMENT DEPARTMENT: TELEPHONE 512-332-8840.
- ALL AREA DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL FOLLOW THEIR REQUIRED BEST MANAGEMENT PRACTICES. 6.1. EACH SITE SHALL PROVIDE AN ACCESS DRIVE AND PARKING AREA OF SUFFICIENT DIMENSIONS AND DESIGN, SURFACED WITH MATERIAL THAT WILL PREVENT EROSION AND MINIMIZE TRACKING OR WASHING OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ALL NON-PAVED ACCESS DRIVES SHALL BE DESIGNED SO THAT STORM WATER RUNOFF FROM ADJACENT AREAS DOES NOT FLOW DOWN THE DRIVE SURFACE.
- ANY SIGNIFICANT AMOUNT OF RUNOFF FROM UP SLOPE LAND AREA, ROOFTOPS, OR OTHER SURFACES THAT DRAIN ACROSS THE PROPOSED LAND DISTURBANCE SHALL BE DIVERTED AROUND THE DISTURBED AREA, IF PRACTICAL, ANY DIVERSION OF UP SLOPE RUNOFF SHALL BE DONE IN A MANNER THAT PREVENTS EROSION OF THE FLOW PATH AND THE
- ANY CUTS AND FILLS SHALL BE PLANNED AND CONSTRUCTED TO MINIMIZE THE LENGTH AND STEEPNESS OF SLOPE AND STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN TIMELINES AND STANDARD OF THIS
- OPEN CHANNELS SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION.
- INLETS TO STORM DRAINS, CULVERTS, AND OTHER STORM WATER CONVEYANCE SYSTEMS SHALL BE PROTECTED FROM SILTATION UNTIL FINAL SITE STABILIZATION.
- WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM
- ALL OF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND-DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY THE FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN, OR EQUIVALENT.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ONE TIME, EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.
- 6.10. SOIL STOCKPILES SHALL BE LOCATED NO CLOSER THAN 25-FEET AWAY FROM LAKES, STREAMS, WETLANDS, DITCHES DRAINAGE WAYS, OR ROADWAY DRAINAGE SYSTEMS. STOCK PILES SHALL BE STABILIZED BY MULCHING, VEGETATION COVER, TARPS, OR OTHER MEANS IF REMAINING FOR 20 DAYS OR LONGER
- PRIOR TO ANY CONSTRUCTION, THE APPLICANT'S ENGINEER SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN HIMSELF, THE CITY OF BASTROP, THE CONTRACTOR, UTILITY COMPANIES, ANY AFFECTED PARTIES AND ANY OTHER ENTITY THE CITY OR THE ENGINEER MAY REQUIRE. REFERENCE DEVELOPMENT PACKET FOR GUIDANCE ON HOW TO SCHEDULE A PRECONSTRUCTION CONFERENCE.
- THE CONTRACTOR AND THE ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE ENGINEER SHALL FURNISH THE CITY OF BASTROP ACCURATE "AS-BUILT" DRAWINGS FOLLOWING COMPLETION OF ALL CONSTRUCTION. THESE "AS-BUILT" DRAWINGS SHALL MEET WITH THE SATISFACTION OF THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO FINAL ACCEPTANCE.
- THE BASTROP CITY COUNCIL SHALL NOT BE PETITIONED FOR ACCEPTANCE UNTIL ALL NECESSARY EASEMENT DOCUMENTS HAVE BEEN SIGNED AND RECORDED.
- WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE DIRECTOR.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.
- 12. AVAILABLE BENCHMARKS THAT MAY BE UTILIZED FOR THE CONSTRUCTION OF THIS PROJECT ARE DESCRIBED AS FOLLOWS:
- T.B.M."1" IS A MAG NAIL SET S 06° 38' 04" E, 217.4' FROM THE NE CORNER OF THE REMAINDER OF CALLED 410.599 ACRE TRACT (SUBJECT TRACT), AS SHOW HEREON. ELEV. 407.65' NAVD 88
- T.B.M."2" IS A CHISELED BOX IN CONCRETE HEADWALL MAG NAIL SET +/- 1,700' EAST OF THE INTERSECTION OF F.M. 969 AND THE TEXAS 71 FRONTAGE ROAD, AS SHOW HEREON. ELEV.387.29' NAVD 88

TRENCH SAFETY NOTES

- IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD AND COMPACT OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED. FURTHERMORE, ALL TRENCHES LESS THAN 5 FEET IN DEPTH SHALL ALSO BE EFFECTIVELY PROTECTED WHEN HAZARDOUS GROUND MOVEMENT MAY BE EXPECTED. TRENCH SAFETY SYSTEMS TO BE UTILIZED FOR THIS PROJECT WILL BE PROVIDED BY THE CONTRACTOR TO THE CITY. TRENCH SAFETY SYSTEM PLANS WILL BE PROVIDED WITH PRODUCT SUBMITTALS PRIOR TO ANY TRENCH CONSTRUCTION.
- IN ACCORDANCE WITH THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, WHEN PERSONS ARE IN TRENCHES 4-FEET DEEP OR MORE, ADEQUATE MEANS OF EXIT, SUCH AS A LADDER OR STEPS, MUST BE PROVIDED AND LOCATED SO AS TO REQUIRE NO MORE THAN 25 FEET OF LATERAL TRAVEL.
- IF TRENCH SAFETY SYSTEM DETAILS WERE NOT PROVIDED IN THE PLANS BECAUSE TRENCHES WERE ANTICIPATED TO BE LESS THAN 5 FEET IN DEPTH AND DURING CONSTRUCTION IT IS FOUND THAT TRENCHES ARE IN FACT 5 FEET OR MORE IN DEPTH OR TRENCHES LESS THAN 5 FEET IN DEPTH ARE IN AN AREA WHERE HAZARDOUS GROUND MOVEMENT IS EXPECTED, ALL CONSTRUCTION SHALL CEASE, THE TRENCHED AREA SHALL BE BARRICADED AND THE ENGINEER NOTIFIED IMMEDIATELY. CONSTRUCTION SHALL NOT RESUME UNTIL APPROPRIATE TRENCH SAFETY SYSTEM DETAILS, AS DESIGNED BY A PROFESSIONAL ENGINEER, ARE RETAINED AND COPIES SUBMITTED TO THE CITY OF BASTROP.

STREET AND DRAINAGE NOTES

- ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY INSPECTOR AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING. CONTACT THE PLANNING AND DEVELOPMENT DEPARTMENT WITH NOTICE 512-332-8841.
- BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION. THE REMAINING 3 INCHES SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
- DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT INCLUDING GAS, ELECTRIC, TELEPHONE, CABLE TV, WATER SERVICES, ETC., SHALL BE A MINIMUM OF 30 INCHES BELOW SUBGRADE.
- STREET RIGHTS-OF-WAY SHALL BE GRADED AT A SLOPE OF 1/4 INCH PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED. HOWEVER, IN NO CASE SHALL THE WIDTH OF RIGHT-OF-WAY AT 1/4 INCH PER FOOT SLOPE BE LESS THAN 10 FEET UNLESS A SPECIFIC REQUEST FOR AN ALTERNATE GRADING SCHEME IS MADE TO AND ACCEPTED BY THE CITY OF BASTROP PLANNING AND DEVELOPMENT DEPARTMENT.
- BARRICADES BUILT TO CITY OF BASTROP STANDARDS SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB AND PUBLIC SAFETY.
- ALL RCP SHALL BE MINIMUM CLASS III.
- THE SUBGRADE MATERIAL FOR THE STREETS SHOWN HEREIN WAS TESTED BY MLA GEOTECHNICAL. THE PAVING SECTIONS WERE DESIGNED BY MLA GEOTECHNICAL IN ACCORDANCE WITH THE CURRENT CITY OF BASTROP DESIGN CRITERIA. THE PAVING SECTIONS ARE TO BE CONSTRUCTED AS FOLLOWS:

RECOMMENDATIONS - PAVEMENT THICKNESS SECTIONS

Street lassification	Subgrade Material	Hot Mix Asphaltic Concrete, in	Concrete Pavement (JRCP), in	Crushed Limestone Base, in	Cement Stabilized Subgrade, in
Collectors Subgrade	0.1 1 DI -25	2.0	50	8	8
	Subgrade PI < 25		6	82	8
Collectors	C.1 1. DV - 25	2.0	-	12	8
1,000 VPD)	Subgrade PI < 25	9	6	(€)	8
Collectors	C. L I. DI - 25	3.0	3	14	8
2,000 VPD)	Subgrade PI < 25		7	625 625	8

- . The subgrade improvement should be extended 3 feet beyond the back of the curb line.
- . These pavement thickness designs are intended to transfer the load from the anticipated traffic
- The concern has arisen that ground water may enter the utility trenches at this site causing detrimental settlement of the utility trench backfill. To address this concern, the wastewater utility trenches could be turned in to French drains. To achieve this, additional poorly-graded gravel, such as the gravel already being used for pipe bedding at this site, should be placed above the pipe bedding material to the elevation where ground water is encountered. This extra layer of gravel should be covered with a geotextile fabric to prevent material above the gravel from infiltrating the gravel layer. Then, the utility trench should be filled in compacted layers in accordance with the construction plans. The wastewater utility trench must then be allowed to daylight from its lowest point such that water does not accumulate in the utility trench. Additional gravel may be required in the utility trench depending upon the depth that ground water is entering the utility trench during construction. A line item for French drains should be included in construction bid documents.
- All pavements should be constructed with a curb and gutter or shoulder/bar ditch system on all sides such that water drains away from the pavement system and does not pond near the pavement system. A bar ditch typically includes a 5-to-6-foot shoulder past the ribbon curb with a bar ditch beginning past the shoulder. Water must not be allowed to pond adjacent to the pavement.
- If positive drainage, similar to what is described in Item 4 cannot be established, a vertical moisture barrier is highly recommended. Moisture barriers should be installed to a depth of 4 feet below the current ground surface in order to prevent water from entering the pavement structure. The moisture barrier can be comprised of either deepened ribbon curb or 15-mil poly attached at the back of the
- . In areas like center islands, where irrigation or other sources of water will drain in the direction of the pavements, a moisture barrier consisting of 15-mil poly should be affixed to the back of the curb. The poly should cover the base and subgrade layers to a minimum depth of 3 feet below grade.
- MLA Geotechnical should review the final construction plans to determine if proper drainage has been
- established as well as the details for any moisture barriers if they will be utilized for this project. 3. The responsibility of assigning street classification to the streets in this project is left to the civil
- 8. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS.
- 9. WHERE PI'S ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER. THE GEOTECHNICAL ENGINEER SHALL RECOMMEND AN APPROPRIATE SUBGRADE STABILIZATION IF SULFATES ARE DETERMINED TO BE PRESENT.

WATER AND WASTEWATER NOTES

- 1. PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200), OR DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200). WATER SERVICES (2 INCHES OR LESS) SHALL BE POLYETHYLENE TUBING (BLACK, 200 PSI, DR 9).
- 2. PIPE MATERIAL FOR PRESSURE WASTEWATER MAINS SHALL BE PVC, OR DUCTILE IRON (MINIMUM CLASS 250). PIPE MATERIAL FOR GRAVITY WASTEWATER MAINS SHALL BE PVC (ASTM D2241 OR D3034, MAXIMUM DR-26), DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200200).
- 3. UNLESS OTHERWISE ACCEPTED BY THE CITY ENGINEER, DEPTH OF COVER FOR ALL LINES OUT OF THE PAVEMENT SHALL BE 42 INCHES MINIMUM, AND DEPTH OF COVER FOR ALL LINES UNDER PAVEMENT SHALL BE A MINIMUM OF 30 INCHES BELOW
- ALL FIRE HYDRANT LEADS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200) OR DUCTILE IRON PIPE (AWWA C-100, MINIMUM CLASS 200). AS APPROVED BY THE DIRECTOR OF WATER AND WASTEWATER DURING PLAN REVIEW.
- 5. ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED WITH MINIMUM 8-MIL POLYETHYLENE AND SEALED WITH DUCT TAPE OR EQUAL ACCEPTED BY THE CITY ENGINEER.
- 6. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR, TELEPHONE AT 512-332-8841 TO COORDINATE UTILITY TIE-INS AND NOTIFY HIM AT LEAST 48 HOURS PRIOR TO CONNECTING TO EXISTING LINES.
- 7. ALL MANHOLES SHALL BE CONCRETE WITH CAST IRON RING AND COVER. ALL MANHOLES LOCATED OUTSIDE OF THE PAVEMENT SHALL HAVE BOLTED COVERS. TAPPING OF FIBERGLASS MANHOLES SHALL NOT BE ALLOWED.
- 8. THE CONTRACTOR MUST OBTAIN A BULK WATER PERMIT OR PURCHASE AND INSTALL A WATER METER FOR ALL WATER USED DURING CONSTRUCTION. A COPY OF THIS PERMIT MUST BE CARRIED AT ALL TIMES BY ALL WHO USE WATER.
- 9. LINE FLUSHING OR ANY ACTIVITY USING A LARGE QUANTITY OF WATER MUST BE SCHEDULED WITH THE CITY INSPECTOR. TELEPHONE AT 512-332-8841.
- 10. THE CONTRACTOR, AT HIS EXPENSE, SHALL PERFORM STERILIZATION OF ALL POTABLE WATER LINES CONSTRUCTED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING TEST GAUGES), SUPPLIES (INCLUDING CONCENTRATED CHLORINE DISINFECTING MATERIAL), AND NECESSARY LABOR REQUIRED FOR THE STERILIZATION PROCEDURE. THE STERILIZATION PROCEDURE SHALL BE MONITORED BY CITY OF BASTROP PERSONNEL. WATER SAMPLES WILL BE COLLECTED BY THE CITY OF BASTROP TO VERIFY EACH TREATED LINE HAS ATTAINED AN INITIAL CHLORINE CONCENTRATION OF 50 PPM. WHERE MEANS OF FLUSHING IS NECESSARY, THE CONTRACTOR, AT HIS EXPENSE, SHALL PROVIDE FLUSHING DEVICES AND REMOVE SAID DEVICES PRIOR TO FINAL ACCEPTANCE BY THE CITY OF BASTROP.
- 11. SAMPLING TAPS SHALL BE BROUGHT UP TO 3 FEET ABOVE GRADE AND SHALL BE EASILY ACCESSIBLE FOR CITY PERSONNEL AT THE CONTRACTOR'S REQUEST, AND IN HIS PRESENCE, SAMPLES FOR BACTERIOLOGICAL TESTING WILL BE COLLECTED BY THE CITY OF BASTROP NOT LESS THAN 24 HOURS AFTER THE TREATED LINE HAS BEEN FLUSHED OF THE CONCENTRATED CHLORINE SOLUTION AND CHARGED WITH WATER APPROVED BY THE CITY. THE CONTRACTOR SHALL SUPPLY A CHECK OR MONEY ORDER, PAYABLE TO THE CITY OF BASTROP, TO COVER THE FEE CHARGED FOR TESTING EACH WATER SAMPLE. CITY OF BASTROP FEE AMOUNTS MAY BE OBTAINED BY CALLING THE WATER AND WASTEWATER DEPARTMENT, TELEPHONE AT 512-332-8960
- 12. THE CONTRACTOR, AT HIS EXPENSE, SHALL PERFORM QUALITY TESTING FOR ALL WASTEWATER PIPE INSTALLED AND PRESSURE PIPE HYDROSTATIC TESTING OF ALL WATER LINES CONSTRUCTED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING PUMPS AND GAUGES), SUPPLIES AND LABOR NECESSARY TO PERFORM THE TESTS. QUALITY AND PRESSURE TESTING SHALL BE MONITORED BY CITY OF BASTROP PERSONNEL.
- 13. THE CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY OF INSPECTOR AND PROVIDE NO LESS THAN 24 HOURS NOTICE PRIOR TO PERFORMING STERILIZATION, QUALITY TESTING OR PRESSURE TESTING.
- 14. THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES UNLESS AUTHORIZED BY THE CITY OF BASTROP.
- 15. ALL VALVE BOXES AND COVERS SHALL BE PLASTIC.
- 16. CONTACT THE WATER AND WASTEWATER DEPARTMENT, TELEPHONE AT 512-332-8960 FOR ASSISTANCE IN OBTAINING EXISTING WATER AND WASTEWATER LOCATIONS.
- 17. THE PLANNING AND DEVELOPMENT DEPARTMENT, TELEPHONE AT 512-332-8841 SHALL BE NOTIFIED 48 HOURS PRIOR TO TESTING OF ANY BUILDING SPRINKLER PIPING IN ORDER THAT THE BUILDING OFFICIAL AND/OR FIRE DEPARTMENT MAY MONITOR SUCH TESTING.
- 18. SAND, AS DESCRIBED IN SPECIFICATION ITEM 510 PIPE, SHALL NOT BE USED AS BEDDING FOR WASTEWATER LINES. ACCEPTABLE BEDDING MATERIALS ARE PIPE BEDDING STONE. PEA GRAVEL AND IN LIEU OF SAND. A NATURALLY OCCURRING OR MANUFACTURED STONE MATERIAL CONFORMING TO ASTM C33 FOR STONE QUALITY AND MEETING THE FOLLOWING GRADATION SPECIFICATION:

SIEVE SIZE PERCENT RETAINED BY WEIGHT

0-2 0-85 95-100

19. THE CONTRACTOR IS HEREBY NOTIFIED THAT CONNECTING TO, SHUTTING DOWN, OR TERMINATING EXISTING UTILITY LINES

MAY HAVE TO OCCUR AT OFF-PEAK HOURS. SUCH HOURS ARE USUALLY OUTSIDE NORMAL WORKING HOURS AND POSSIBLY BETWEEN 12 A.M. AND 6 A.M.

20. ALL WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REGULATIONS, 30 TAC CHAPTER 213 AND 317, AS APPLICABLE. WHENEVER TCEQ AND CITY OF BASTROP

TRAFFIC MARKING NOTES

- 1. ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- 2. ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.

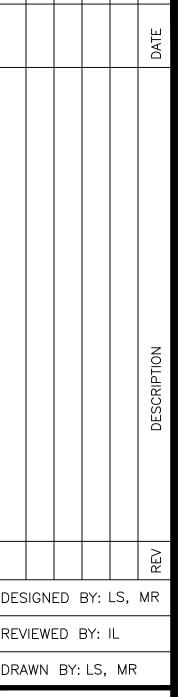
EROSION AND SEDIMENTATION CONTROL NOTES

SPECIFICATIONS CONFLICT, THE MORE STRINGENT SHALL APPLY.

- 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CODE OF ORDINANCES.
- 2. ALL SLOPES SHALL BE SODDED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
- 3. SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES. SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CITY OF BASTROP FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY ENGINEER, THEY ARE WARRANTED.
- 4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE CITY INSPECTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE CITY INSPECTOR.
- 5. 5.ALL MUD, DIRT, ROCKS, DEBRIS, ETC., SPILLED, TRACKED OR OTHERWISE DEPOSITED ON EXISTING PAVED STREETS, DRIVES AND AREAS USED BY THE PUBLIC SHALL BE CLEANED UP IMMEDIATELY.

ELECTRICAL NOTES

- 1. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE CITY INSPECTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION TO MAINTAIN ALL TEMPORARY
- EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE CITY INSPECTOR. 2. ALL MUD, DIRT, ROCKS, DEBRIS, ETC. SPILLED, TRACKED OF OTHERWISE DEPOSITED ON EXISTING PAVED STREETS, DRIVES AND AREAS USED BY THE PUBLIC SHALL BE CLEANED UP IMMEDIATELY
- ALL UTILITIES ARE TO BE UNDERGROUND 4. A BLANKET TEMPORARY ACCESS AND CONSTRUCTION EASEMENT FOR THE CONSTRUCTION OF ELECTRICAL FACILITIES IS
- CURRENTLY ON FIL FOR THE PROPERTY
- 5. A PLAT NOTE REFERENCING THE BLANKET TEMPORARY ACCESS AND CONSTRUCTION EASEMENT TO BE ADDED TO THE FINAL
- 6. UPON COMPLETION OF CONSTRUCTION AND INSTALLATION OF THE ELECTRIC FACILITIES ON THE PROPERTY THE
- DEVELOPER/OWNER SHALL HAVE THE PERMANENT UTILITY EASEMENT AREA (20-FOOT EASEMENT, TO INCLUDE A 10-FOOT BUFFER AROUND ALL NON-OPENING SIDES AND A 20-FOOT BUFFER AROUND OPENING SIDES OF EQUIPMENT) SURVEYED BY MEETS AND BOUNDS, AT ITS SOLE COST AND EXPENSE, AND A COPY OF THAT PERMANENT EASEMENT SURVEY PROVIDE TO BLUEBONNET ELECTRIC COOP FOR THE GRANTING AND RECODING OF A PERMANENT PUBLIC UTILITY EASEMENT. THE BLANKET TEMPORARY ACCESS AND CONSTRUCTION EASEMENT SHALL BE VACATED AT SUCH TIME AS BLUEBONNET ELECTRIC COOP ACCEPTS AND RECORDS THE PERMANENT PUBLIC UTILITY EASEMENT.
- AS SHOWN HEREIN, A TWENTY (20) FOOT WIDE PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO STREET ROW AND ALL LOTS.
- 8. THE ELECTRIC UTILITY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY VEGETATION AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE THE CITY OF BASTROP ELECTRIC UTILITY DEPARTMENT WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD
- AND UNDERGROUND ELECTRIC FACILITIES. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, RE-VEGETATION AND TREE PROTECTION FOR ELECTRIC UTILITY WORK REQUIRED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT.
- 10. ALL FEES MUST BE PAID BEFORE MATERIALS ARE ORDERED OR CONSTRUCTION OF ELECTRIC FACILITIES WILL BE SCHEDULED. 11. PROVIDE ELECTRIC SCHEDULE AND LOAD CALCULATIONS.



DRAWN BY: LS, MR





TCEQ WATER DISTRIBUTION SYSTEM GENERAL CONSTRUCTION NOTES

- THIS WATER DISTRIBUTION SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D. WHEN CONFLICTS ARE NOTED WITH LOCAL STANDARDS, THE MORE STRINGENT REQUIREMENT SHALL BE APPLIED. AT A MINIMUM, CONSTRUCTION FOR PUBLIC WATER SYSTEMS MUST ALWAYS MEET TCEQ'S "RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS."
- ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)/NSF INTERNATIONAL STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI [§290.44(A)(1)].
- PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST BEAR THE NSF INTERNATIONAL SEAL OF APPROVAL (NSF-PW) AND HAVE AN ASTM DESIGN PRESSURE RATING OF AT LEAST 150 PSI OR A STANDARD DIMENSION RATIO OF 26 OR LESS [§290.44(A)(2)].
- NO PIPE WHICH HAS BEEN USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF DRINKING WATER SHALL BE ACCEPTED OR RELOCATED FOR USE IN ANY PUBLIC DRINKING WATER SUPPLY [§290.44(A)(3)].
- ALL WATER LINE CROSSINGS OF WASTEWATER MAINS SHALL BE PERPENDICULAR [§290.44(E)(4)(B)].
- WATER TRANSMISSION AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. HOWEVER, THE TOP OF THE WATER LINE MUST BE LOCATED BELOW THE FROST LINE AND IN NO CASE SHALL THE TOP OF THE WATER LINE BE LESS THAN 24 INCHES BELOW GROUND SURFACE [§290.44(A)(4)].
- THE MAXIMUM ALLOWABLE LEAD CONTENT OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS, AND FIXTURES IS 0.25 PERCENT [§290.44(B)].
- THE CONTRACTOR SHALL INSTALL APPROPRIATE AIR RELEASE DEVICES WITH VENT OPENINGS TO THE ATMOSPHERE COVERED WITH 16-MESH OR FINER, CORROSION RESISTANT SCREENING MATERIAL OR AN ACCEPTABLE EQUIVALENT [§290.44(D)(1)].
- THE CONTRACTOR SHALL NOT PLACE THE PIPE IN WATER OR WHERE IT CAN BE FLOODED WITH WATER OR SEWAGE DURING ITS STORAGE OR INSTALLATION [§290.44(F)(1)].
- WHEN WATERLINES ARE LAID UNDER ANY FLOWING OR INTERMITTENT STREAM OR SEMI-PERMANENT BODY OF WATER THE WATERLINE SHALL BE INSTALLED IN A SEPARATE WATERTIGHT PIPE ENCASEMENT. VALVES MUST BE PROVIDED ON EACH SIDE OF THE CROSSING WITH FACILITIES TO ALLOW THE UNDERWATER PORTION OF THE SYSTEM TO BE ISOLATED AND TESTED [§290.44(F)(2)].
- PURSUANT TO 30 TAC §290.44(A)(5), THE HYDROSTATIC LEAKAGE RATE SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY THE MOST CURRENT AWWA FORMULAS FOR PVC PIPE, CAST IRON AND DUCTILE IRON PIPE. INCLUDE THE FORMULAS IN THE NOTES ON THE PLANS. O THE HYDROSTATIC LEAKAGE RATE FOR POLYVINYL CHLORIDE (PVC) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-605 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT

THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE;

Q = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR. L = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET, D= THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND

P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).

THE HYDROSTATIC LEAKAGE RATE FOR DUCTILE IRON (DI) PIPE AND APPURTENANCES SHALL NOT EXCEED THE AMOUNT ALLOWED OR RECOMMENDED BY FORMULAS IN AMERICA WATER WORKS ASSOCIATION (AWWA) C-600 AS REQUIRED IN 30 TAC §290.44(A)(5). PLEASE ENSURE THAT THE FORMULA FOR THIS CALCULATION IS CORRECT AND MOST CURRENT FORMULA IS IN USE;

L = THE QUANTITY OF MAKEUP WATER IN GALLONS PER HOUR, S = THE LENGTH OF THE PIPE SECTION BEING TESTED, IN FEET,

D = THE NOMINAL DIAMETER OF THE PIPE IN INCHES, AND

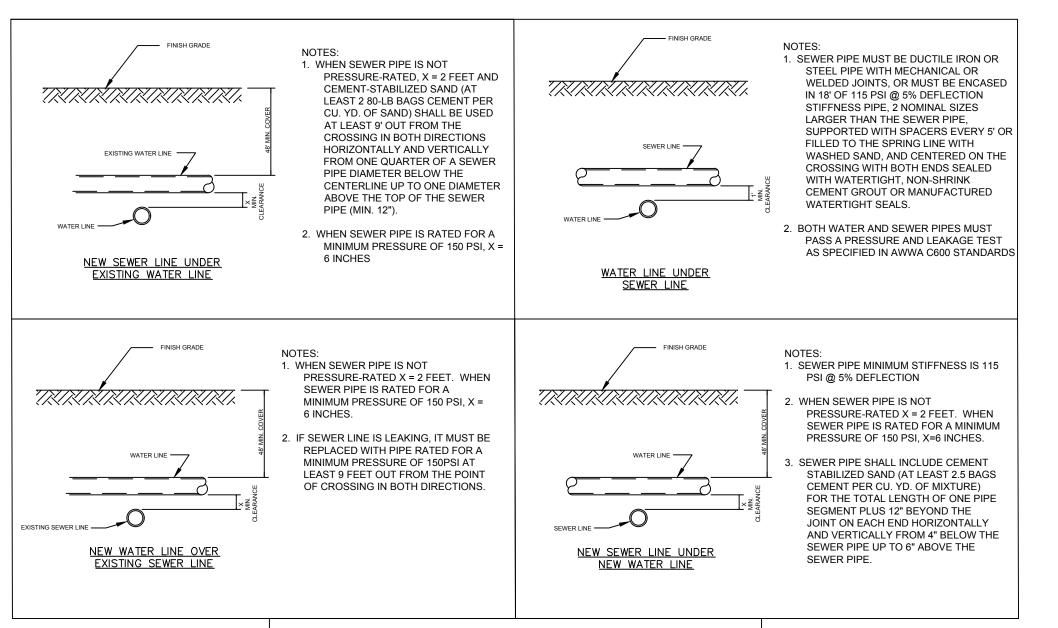
- P = THE AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST IN POUNDS PER SQUARE INCH (PSI).
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE IN ALL DIRECTIONS OF NINE FEET BETWEEN THE PROPOSED WATERLINE AND WASTEWATER COLLECTION FACILITIES INCLUDING MANHOLES. IF THIS DISTANCE CANNOT BE MAINTAINED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER FOR FURTHER DIRECTION. SEPARATION DISTANCES, INSTALLATION METHODS, AND MATERIALS UTILIZED MUST MEET §290.44(E)(1)-(4).
- THE SEPARATION DISTANCE FROM A POTABLE WATERLINE TO A WASTEWATER MAIN OR LATERAL MANHOLE OR CLEANOUT SHALL BE A MINIMUM OF NINE FEET. WHERE THE NINE-FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE POTABLE WATERLINE SHALL BE ENCASED IN A JOINT OF AT LEAST 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE-FOOT INTERVALS WITH SPACERS OR BE FILLED TO THE SPRINGLINE WITH WASHED SAND. THE ENCASEMENT PIPE SHALL BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEALANT [§290.44(E)(5)].
- FIRE HYDRANTS SHALL NOT BE INSTALLED WITHIN NINE FEET VERTICALLY OR HORIZONTALLY OF ANY WASTEWATER LINE, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE REGARDLESS OF CONSTRUCTION [§290.44(E)(6)]
- SUCTION MAINS TO PUMPING EQUIPMENT SHALL NOT CROSS WASTEWATER MAINS, WASTEWATER LATERALS, OR WASTEWATER SERVICE LINES. RAW WATER SUPPLY LINES SHALL NOT BE INSTALLED WITHIN FIVE FEET OF ANY TILE OR CONCRETE WASTEWATER MAIN, WASTEWATER LATERAL, OR WASTEWATER SERVICE LINE [§290.44(E)(7)]. WATERLINES SHALL NOT BE INSTALLED CLOSER THAN TEN FEET TO SEPTIC TANK DRAINFIELDS [§290.44(E)(8)].
- THE CONTRACTOR SHALL DISINFECT THE NEW WATERLINES IN ACCORDANCE WITH AWWA STANDARD C-651-14OR MOST RECENT, THEN FLUSH AND SAMPLE THE LINES BEFORE BEING PLACED INTO SERVICE. SAMPLES SHALL BE COLLECTED FOR MICROBIOLOGICAL ANALYSIS TO CHECK THE EFFECTIVENESS OF THE DISINFECTION PROCEDURE WHICH SHALL BE REPEATED IF CONTAMINATION PERSISTS. A MINIMUM OF ONE SAMPLE FOR EACH 1,000 FEET OF COMPLETED WATERLINE WILL BE REQUIRED OR AT THE NEXT AVAILABLE SAMPLING POINT BEYOND 1,000 FEET AS DESIGNATED BY THE DESIGN ENGINEER [\$290.44(F)(3)].
- DECHLORINATION OF DISINFECTING WATER SHALL BE IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARD C655-09 OR MOST RECENT.

TREE PROTECTION NOTES

- 1. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES TO BE PRESERVED FROM HIS ACTIVITIES.
- 2. ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING. SEE: TREE PROTECTION TREE WELLS (EC-06), TREE PROTECTION LOCATION (EC-07) AND TREE PROTECTION FENCE-CHAIN LINK (EC-08)
- PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY STANDARDS FOR TREE PROTECTION, INCLUDING TYPES OF FENCING AND SIGNAGE.
- TREE PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILDUP WITHIN TREE DRIP
- FENCES SHALL SURROUND THE TREES OR CLUSTER OF TREES, LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE), AND SHALL BE MAINTAINED THROUGHOUT
- A. SOIL COMPACTION IN DRIPLINE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
- B. DRIPLINE DISTURBANCES DUE TO GRADE CHANGES OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE FORESTRY MANAGER.
- C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT;

THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:

- OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING TREE FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
- WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, OR TREE WELL
- WHERE PERMEABLE PAVING IS TO BE INSTALLED. ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA
- WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE FORESTRY MANAGER TO DISCUSS THE
- 8. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE THAT IS CLOSER THAN 5 FEET TO A TREE TRUNK, THE TRUNK SHALL BE PROTECTED BY STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- 9. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES UNDER THE DRIPLINE. THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
- 10. ALL GRADING WITHIN DRIPLINE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND BEHIND THE GRADE CHANGE AREA.
- 11. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOUL AND BACKFILLED WITH GOOD QUALITY TOP SOIL WITHIN TWO DAYS. IF EXPOSED ROOT AREAS CANNOT BE BACKFILLED WITHIN 2 DAYS, AN ORGANIC MATERIAL WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO
- EVAPORATION SHALL BE PLACED TO COVER THE ROOTS UNTIL BACKFILL CAN OCCUR. 12. PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIPLINES, A CLEAN CUT SHALL BE MADE WITH A ROCK SAW OR SIMILAR EQUIPMENT, IN A LOCATION AND TO A
- DEPTH APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT, TO MINIMIZE DAMAGE TO REMAINING ROOTS.
- 13. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES WILL BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS ARE TO BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON LEAVES.
- 14. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, A PLASTIC VAPOR BARRIER SHALL BE PLACED BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE ROOT ZONE.
- 15. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
- 16. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE. NO TOPSOIL IS PERMITTED ON ROOT FLARES OF ANY



1. PER TCEQ § 217.53 AND § 290.44, WATER AND SEWER LINES MUST BE SEPARATED BY 9 FEET IN ALL DIRECTIONS, THE PIPES MUST BE INSTALLED IN SEPARATE DITCHES, AND THERE CAN BE NO PHYSICAL CONNECTIONS BETWEEN THEM. 2. ALSO PER TCEQ § 217.53 AND § 290.44, SEPARATION DISTANCES LESS THAN 9' ARE PERMISSIBLE IF PERFORMED PER THE DRAIWING BELOW 4' MIN. HORIZ. * FOR WATER LINE INSTALLATIONS NEAR EXISTING SEWER LINES, A TEXAS-LICENSED PROFESSIONAL ENGINEER MUST VERIFY THAT THE SEWER LINE IS NOT LEAKING, AND EVERY EFFORT SHALL BE EXERTED NOT TO DISTURB THE BEDDING AND BACKFILL OF THE EXISTING SEWER LINE. IF IT IS NOT POSSIBLE TO VERIFY THE LEAKS, THE SEWER LINE MUST BE REPLACED WITH AT LEAST 150 PSI PRESSURE RATED PIPE. PARALLEL SEWER/WATER LINES

17. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS. ALL PRUNING MUST BE DONE ACCORDING TO CITY STANDARDS AND AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).

18. ALL OAK TREE CUTS, INTENTIONAL OR UNINTENTIONAL, SHALL BE SEALED WITH AN APPROVED PRUNING SEALER IMMEDIATELY (WITHIN 10 MINUTES). TREE PAINT MUST BE KEPT ON SITE AT ALL TIMES.

- THE CITY INSPECTOR HAS THE AUTHORITY TO REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION.
- 20. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- 21. DEVIATIONS FROM THE ABOVE REQUIREMENTS AND NEGLIGENT DAMAGE TO TREES MAY BE CONSIDERED AS ORDINANCE VIOLATIONS.

FIRE DEPARTMENT:

 THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.

2. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE, TYPICALLY THREE TO SIX (6) FEET. THE AREA WITHIN THREE (3) FEET IN ALL DIRECTIONS FROM ANY FIRE HYDRANT SHALL BE FREE OF OBSTRUCTIONS AND THE AREA BETWEEN THE STEAMER OPENING AND THE STREET OR DRIVEWAY GIVING EMERGENCY VEHICLE ACCESS SHALL BE FREE OF OBSTRUCTIONS.

3. TIMING OF INSTALLATIONS: WHEN FIRE PROTECTION FEATURES (HYDRANTS, FIRE SPRINKLER MAINS, ETC.) ARE INSTALLED BY THE CONTRACTOR, SUCH FEATURES SHALL INCLUDE SURFACE ACCESS ROADS. EMERGENCY ACCESS ROADS OR DRIVES SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. ALL FIRE PROTECTION FEATURES SHALL BE INSTALLED AND MADE SERVICEABLE (TO INCLUDE ANY UNDERGROUND FIRE MAINS BEING INSTALLED AND HYDRO/VISUAL COMPLETED) PRIOR TO VERTICAL CONSTRUCTION. WHEN THE FIRE DEPARTMENT APPROVES AN ALTERNATE METHOD OF PROTECTION, THIS REQUIREMENT MAY BE MODIFIED AS DOCUMENTED IN THE APPROVAL OF THE ALTERNATE METHOD.

4. ALL EMERGENCY ACCESS ROADWAYS AND FIRE LANES, INCLUDING PERVIOUS/DECORATIVE PAVING, SHALL BE ENGINEERED, AND INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) AND A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.

- 5. FIRE LANES DESIGNATED ON SITE PLANS SHALL BE REGISTERED WITH THE BASTROP FIRE DEPARTMENT AND INSPECTED FOR FINAL APPROVAL.
- 6. THE MINIMUM VERTICAL CLEARANCE REQUIRED FOR EMERGENCY VEHICLE ACCESS ROADS OR DRIVES IS 13 FEET 6 INCHES FOR THE FULL WIDTH OF THE ROADWAY OR DRIVEWAY.

7. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.

DESIGNED BY: LS, MR REVIEWED BY: IL

DRAWN BY: LS, MR

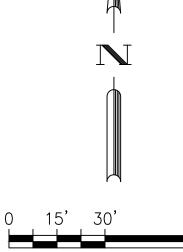


AMENIT

BRIAN J. GRACE



(R) = TO BE REMOVED (P) = PROTECTED TREE



LEGEND

- - PROPERTY BOUNDARY — — — EXISTING MAJOR CONTOUR ----- Existing minor contour LOC LIMITS OF CONSTRUCTION

OHP OVERHEAD POLE —100YR——— 100 YR FLOOD PLAIN

TREE TO REMAIN



TREE TO BE REMOVED

REMOVE OBJECT

* ALL UTILITY SYMBOLS ARE NOT TO SCALE AND ARE ONLY SHOWN FOR ILLUSTRATION PURPOSES.

A PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

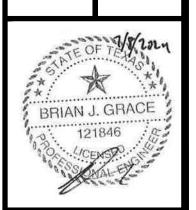
DESIGNED BY: LS, MR

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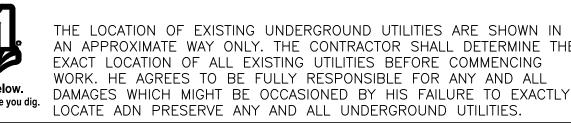


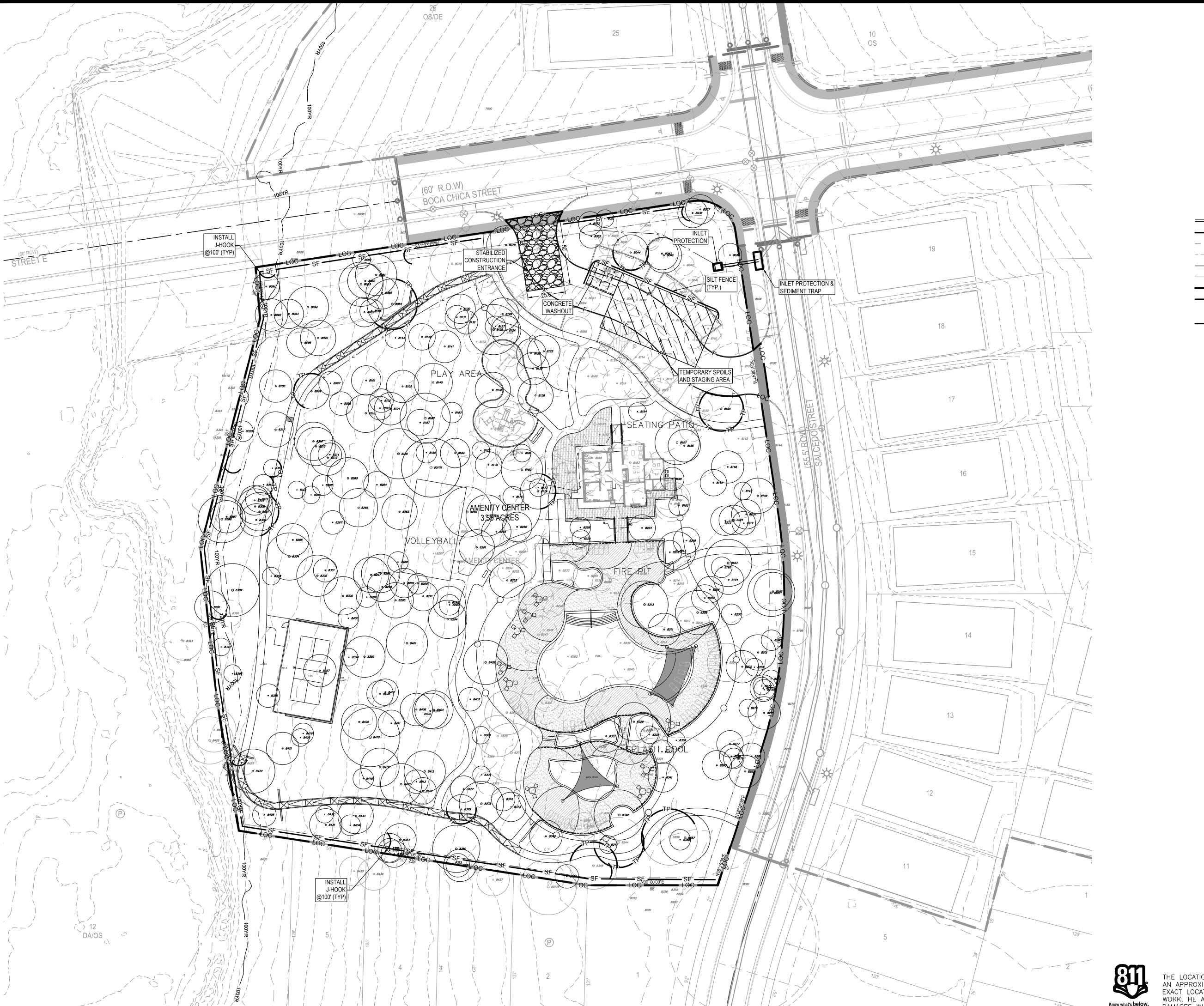
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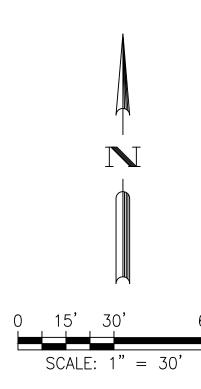
VALVERDE, TEXAS PLANS FOR N BASTROP,



SHEET 6 OF 29







LEGEND

 PROPERTY BOUNDARY — — EXISTING MAJOR CONTOUR

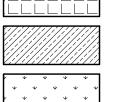
- PROPOSED MINOR CONTOUR LIMITS OF CONSTRUCTION

INLET PROTECTION

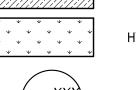
TP—TP—TP— TREE PROTECTION FENCE

CONCRETE WASHOUT AREA

STABILIZED CONSTRUCTION ENTRANCE



TEMPORARY SPOILS AND STORAGE AREA



HYDRO MULCH RESTORATION AREA



TREE TO BE REMOVED

 IF DISTURBED AREA IS NOT TO BE WORKED FOR MORE THAN 14 DAYS,
 DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, 2. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR

- MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS [LDC 25-8-182]
- 3. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR. 4. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE
- ROADS A MINIMUM OF ONCE DAILY. [ECM 1.4.4.D.4] 5. PER LDC 25-8-323(C), FOR AREAS ON THE SITE THAT ARE TO REMAIN PERVIOUS AFTER DEVELOPMENT, ANY SOILS THAT ARE COMPACTED DURING SITE GRADING AND CONSTRUCTION OPERATIONS MUST BE DECOMPACTED IN COMPLIANCE WITH THE
- ECM AND SSM. 6. FINISHED ELEVATION FOR PARKING-LOT ISLANDS, MEDIANS, PENINSULAS, AND SIMILAR LANDSCAPE AREAS MUST BE AT LEAST SIX (6) BELOW THE FINISHED CURB ELEVATION TO ALLOW FOR PLACEMENT OF SIX (6) INCHES OF TOPSOIL [ECM 1.4.7].

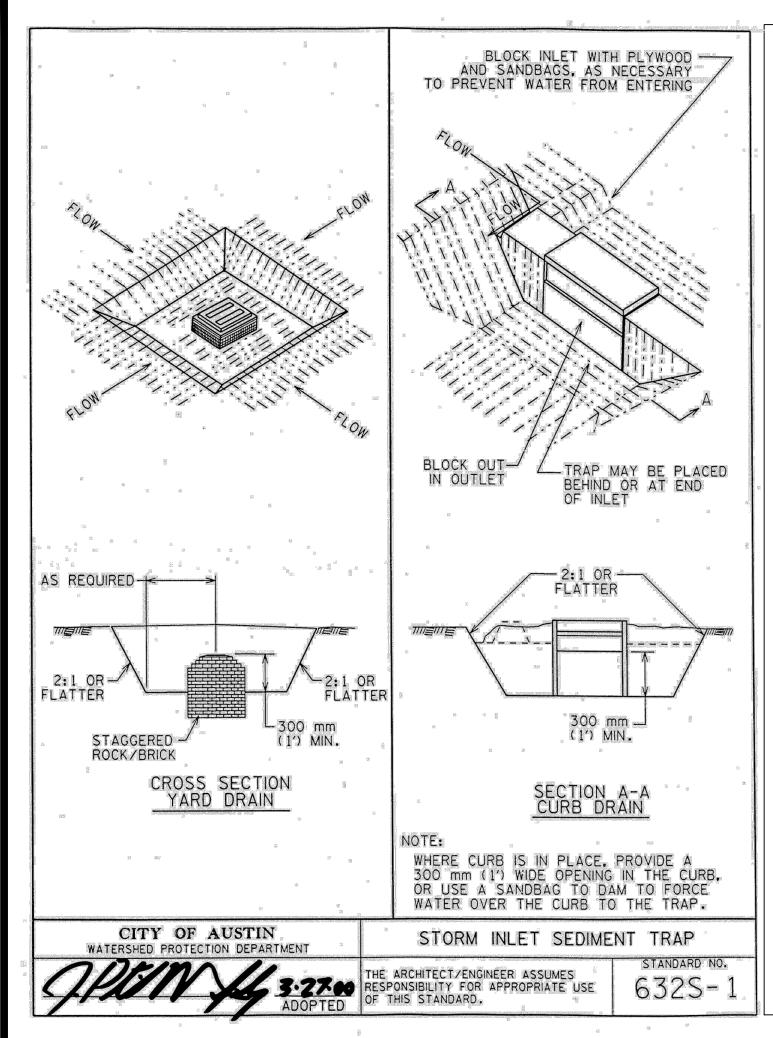
DESIGNED BY: LS, MR

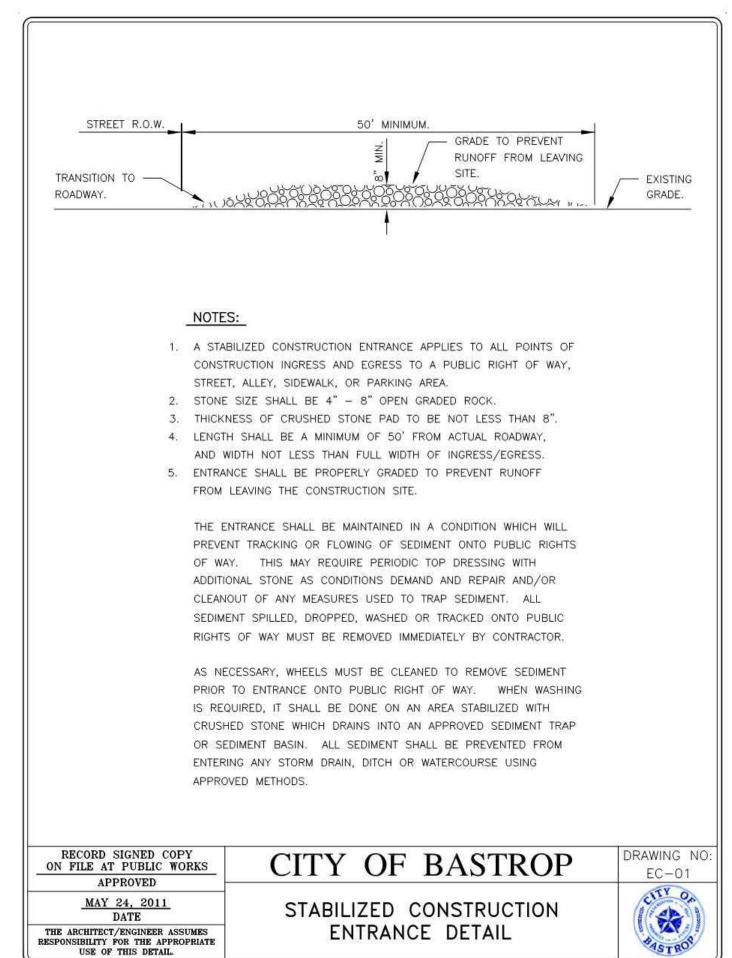
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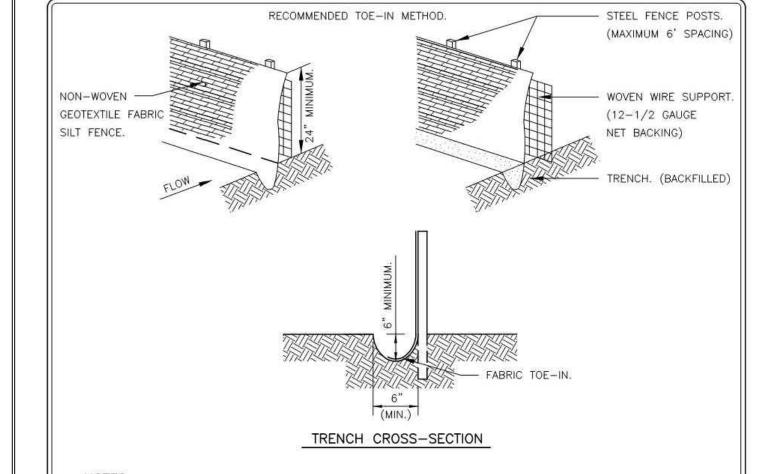
DRAWN BY: LS, MR

BRIAN J. GRACE

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE ADN PRESERVE ANY AND ALL UNDERGROUND UTILITIES. SHEET 7 OF 29



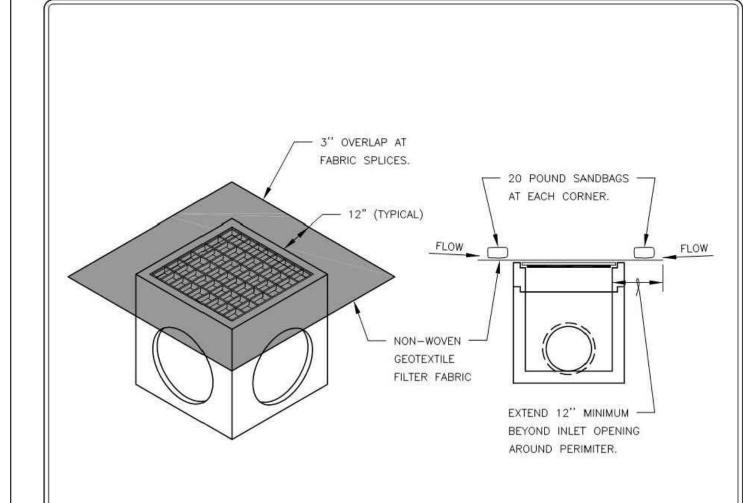




- 1. SILT FENCE SHALL CONFORM TO CITY OF BASTROP SPECIFICATION 642.
- 2. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MIN. OF ONE (1') FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT) WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW
- 4. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- 5. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS SECURELY FASTENED TO THE STEEL FENCE POSTS.
- 6. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE
- MADE PROMPTLY AS NEEDED. 7. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE
- STORM FLOW OR DRAINAGE. 8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE

DISPOSED	OF	IN	AN	APPROVED	SITE	AND	IN	SUCH	Α	MANNER	AS	TO	NOT	CONTRIBUTE	TO	ADDITIONAL	SILTATION.	

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED	CITY OF BASTROP	DRAWING EC-
MAY 24, 2011 DATE	SILT FENCE DETAIL	CITY
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.		HAST



- 1. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 2".
- 2. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY CLEAN THE INLET PROTECTION IF EXCESSIVE PONDING OCCURS.
- 3. INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

RECORD SIGNED COPY ON FILE AT PUBLIC WORKS APPROVED	CITY OF BASTROP	DRAWING NO EC-04
MAY 24, 2011 DATE	AREA INLET PROTECTION DETAIL	CITY OF
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.	AREA INCEL PROTEOTION DETAIL	MASTRO

DESIGNED BY: LS, MR REVIEWED BY: IL

DRAWN BY: LS, MR



SITE DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS



SHEET 8 OF 29



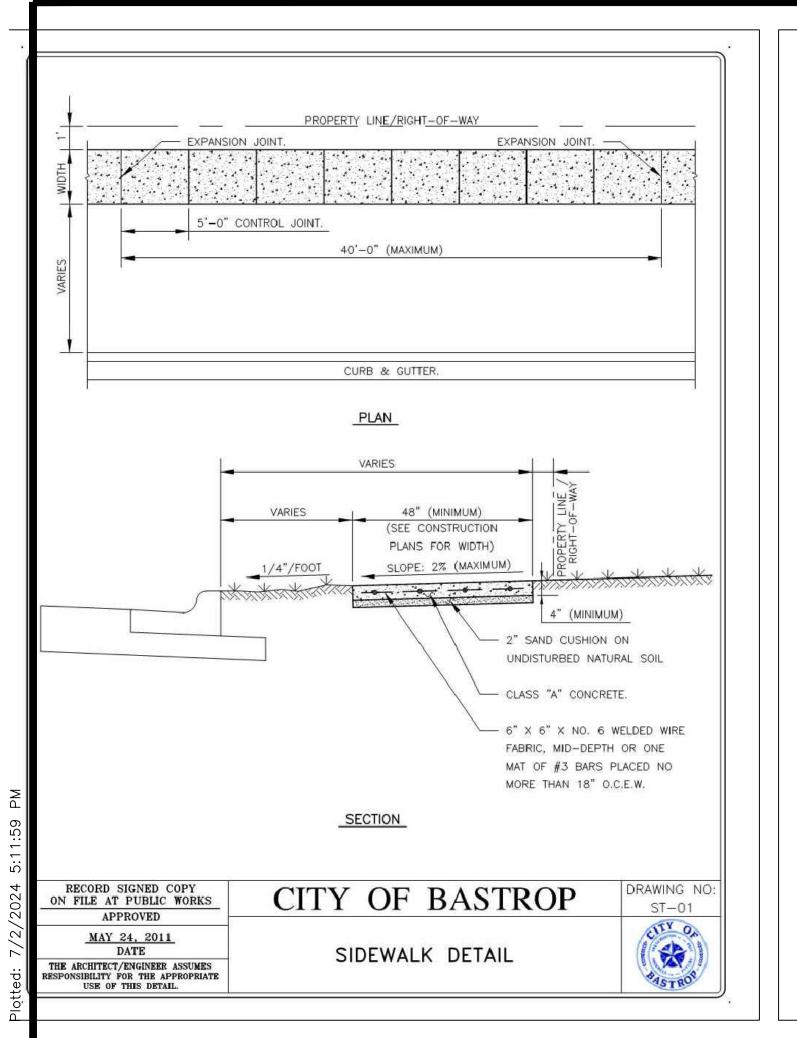
DESIGNED BY: LS, MR

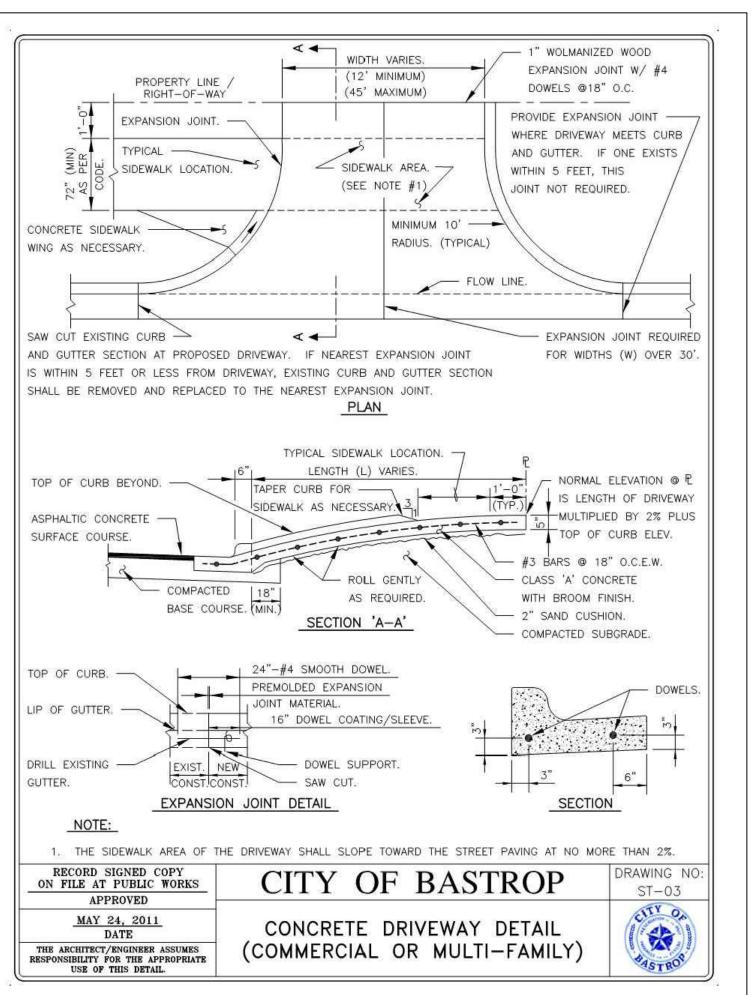


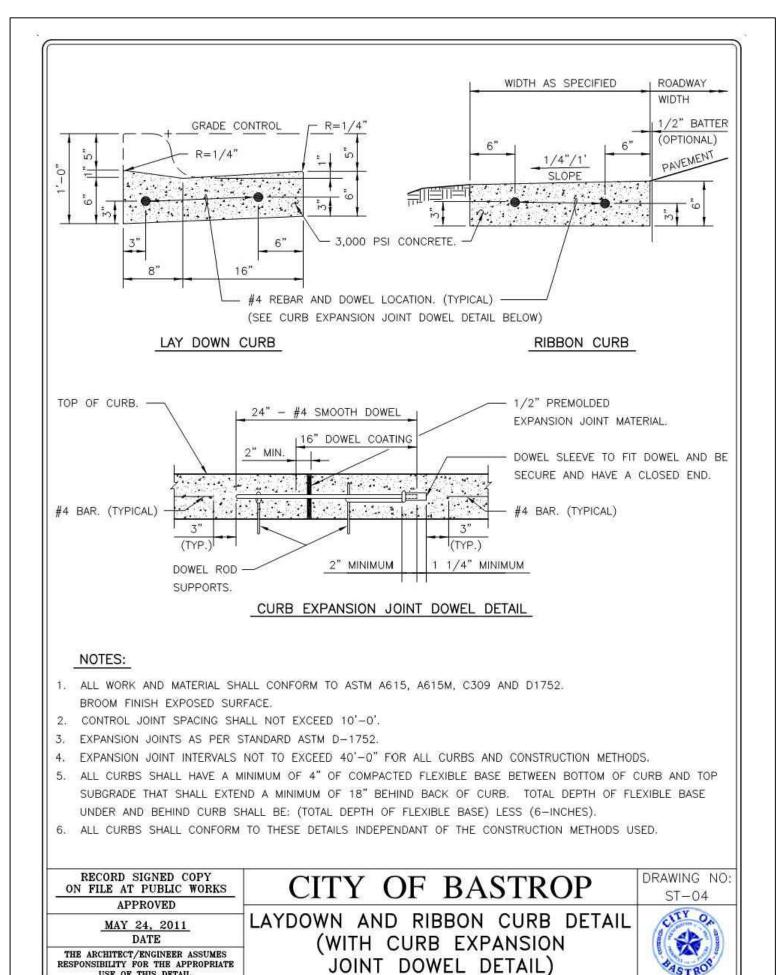
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE ADN PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



SHEET 9 OF 29

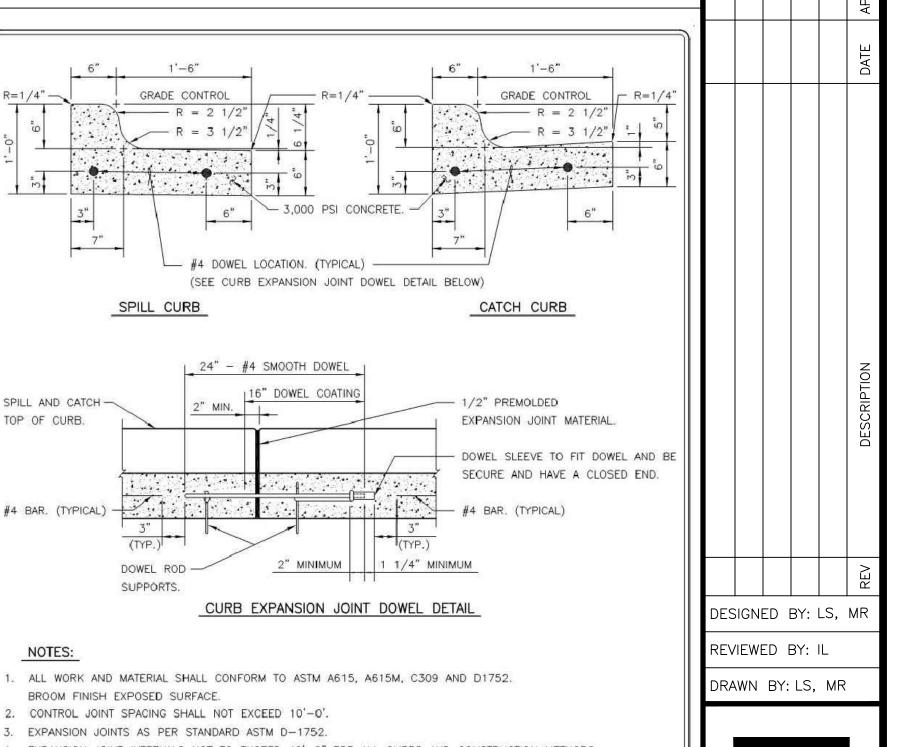






RESPONSIBILITY FOR THE APPROPRIATE

USE OF THIS DETAIL.



EXPANSION JOINT INTERVALS NOT TO EXCEED 40'-0" FOR ALL CURBS AND CONSTRUCTION METHODS.

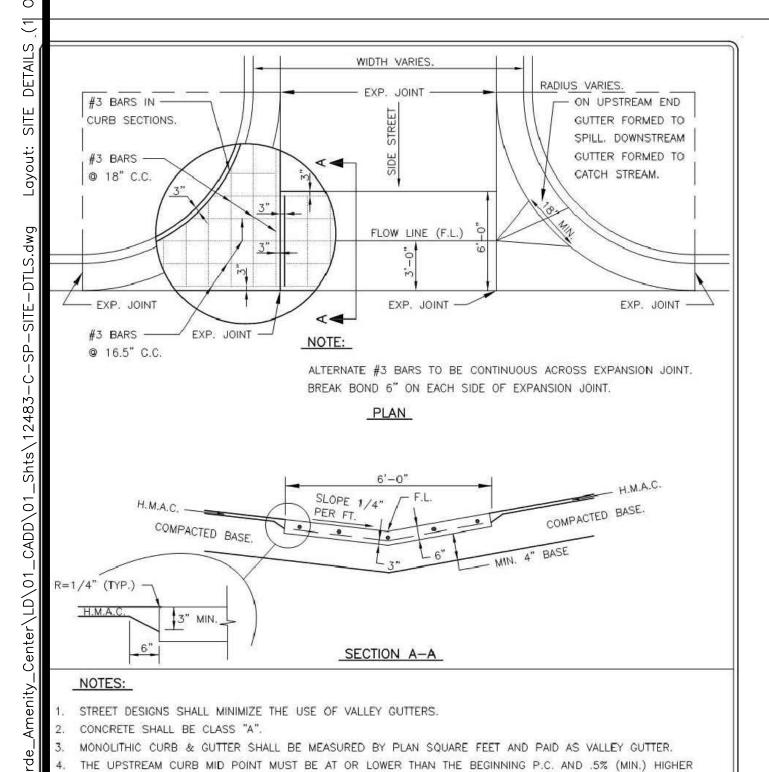
SHALL HAVE A MINIMUM OF 4" OF COMPACTED FLEXIBLE BASE BETWEEN BOTTOM OF CURB AND TOP SUBGRADE THAT SHALL EXTEND A MINIMUM OF 18" BEHIND BACK OF CURB. TOTAL DEPTH OF FLEXIBLE BASE UNDER AND BEHIND CURB SHALL BE: (TOTAL DEPTH OF FLEXIBLE BASE) LESS (6-INCHES).

ALL CURBS SHALL CONFORM TO THESE DETAILS INDEPENDANT OF THE CONSTRUCTION METHODS USED.

RECORD SIGNED COPY CITY OF BASTROP ON FILE AT PUBLIC WORKS APPROVED MAY 24, 2011 DATE THE ARCHITECT/ENGINEER ASSUME JOINT DOWEL DETAIL) USE OF THIS DETAIL.

SPILL AND CATCH CURB DETAIL (WITH CURB EXPANSION





ALLOWABLE CONSTRUCTION JOINT AT Q WHEN TRAFFIC FLOW MUST BE MAINTAINED, CONSTRUCTED AS A CONTROL

ALL EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" PREMOLDED EXPANSION JOINT MATERIAL AND DOWELS

CITY OF BASTROP

CONCRETE VALLEY GUTTER DETAIL

ST-06

*

JOINT. PROVIDE EXPANSION JOINT @ & FOR WIDTHS GREATER THAN 40 FEET.

AND CAPS (SEE STANDARD CURB DOWEL DETAIL ON DETAIL ST-05).

THAN THE OPPOSING MID POINT.

RECORD SIGNED COPY

ON FILE AT PUBLIC WORKS

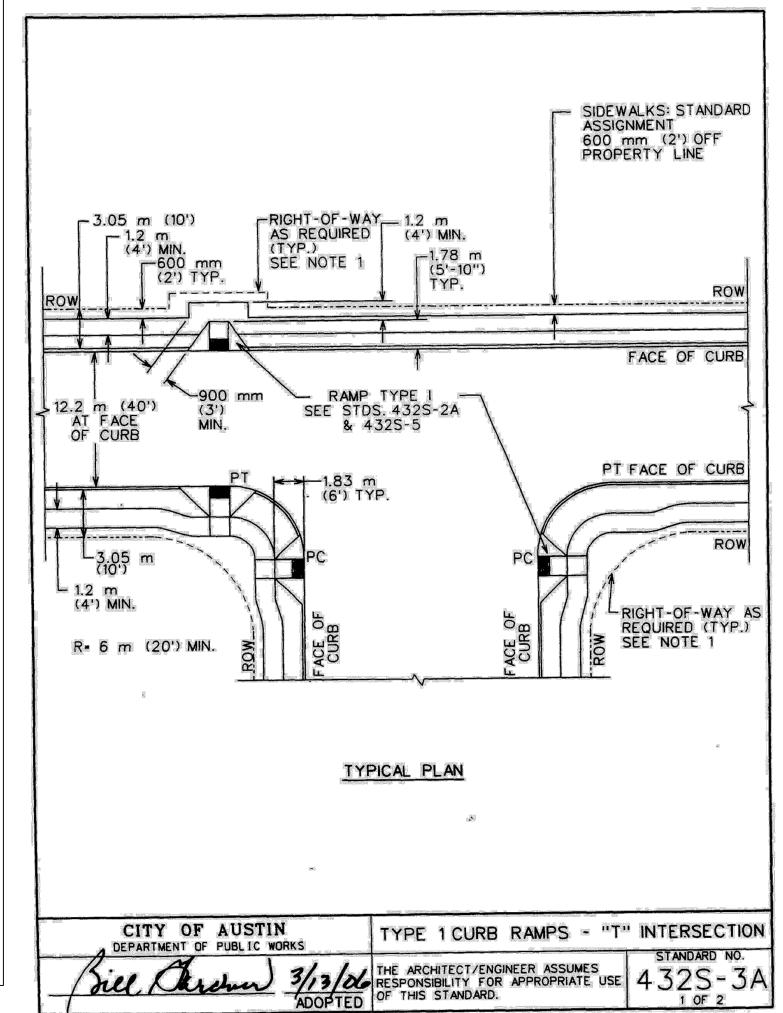
APPROVED MAY 24, 2011

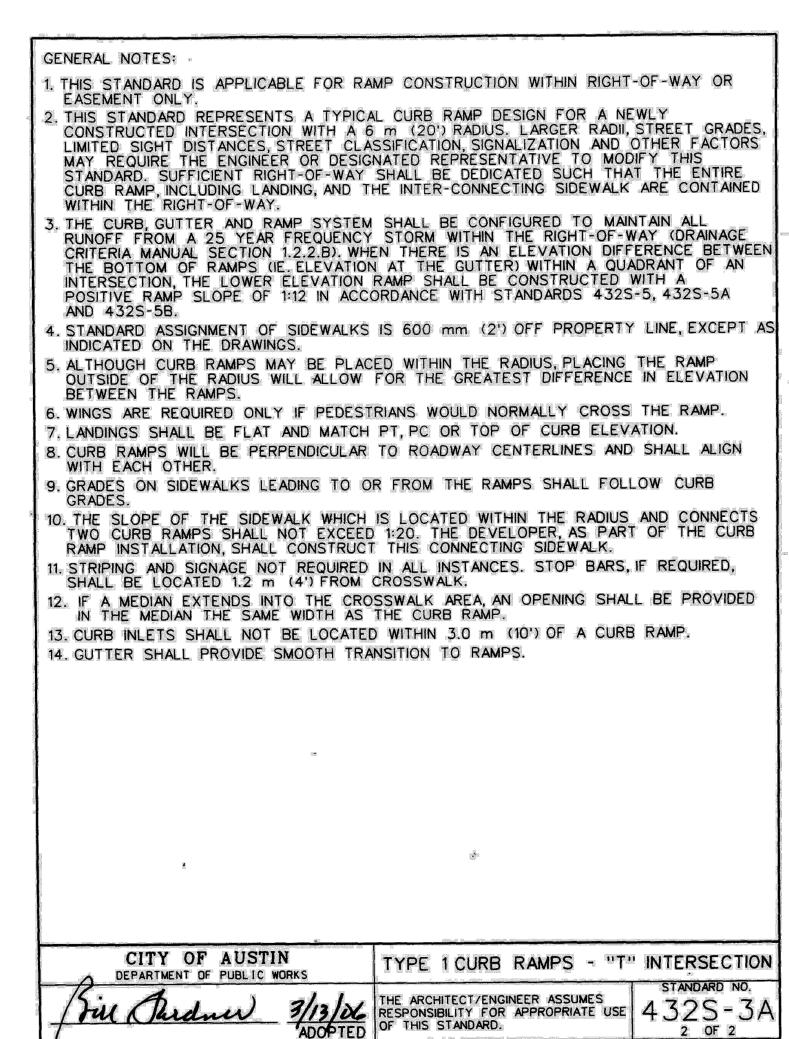
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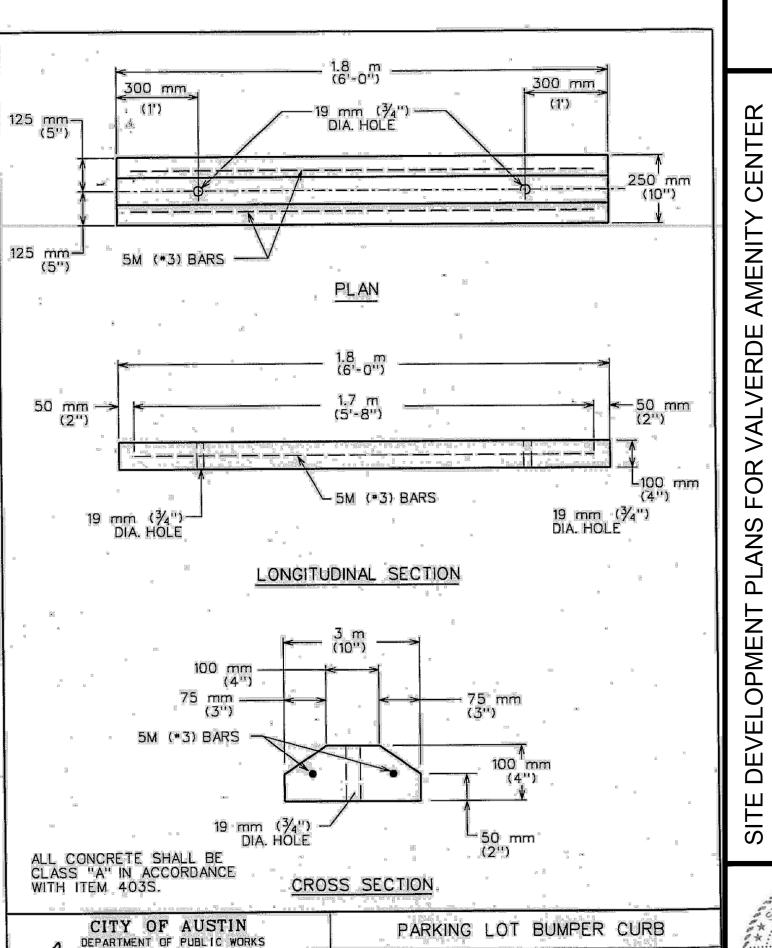
THE ARCHITECT/ENGINEER ASSUMES

USE OF THIS DETAIL.

ONSIBILITY FOR THE APPROPRIATE







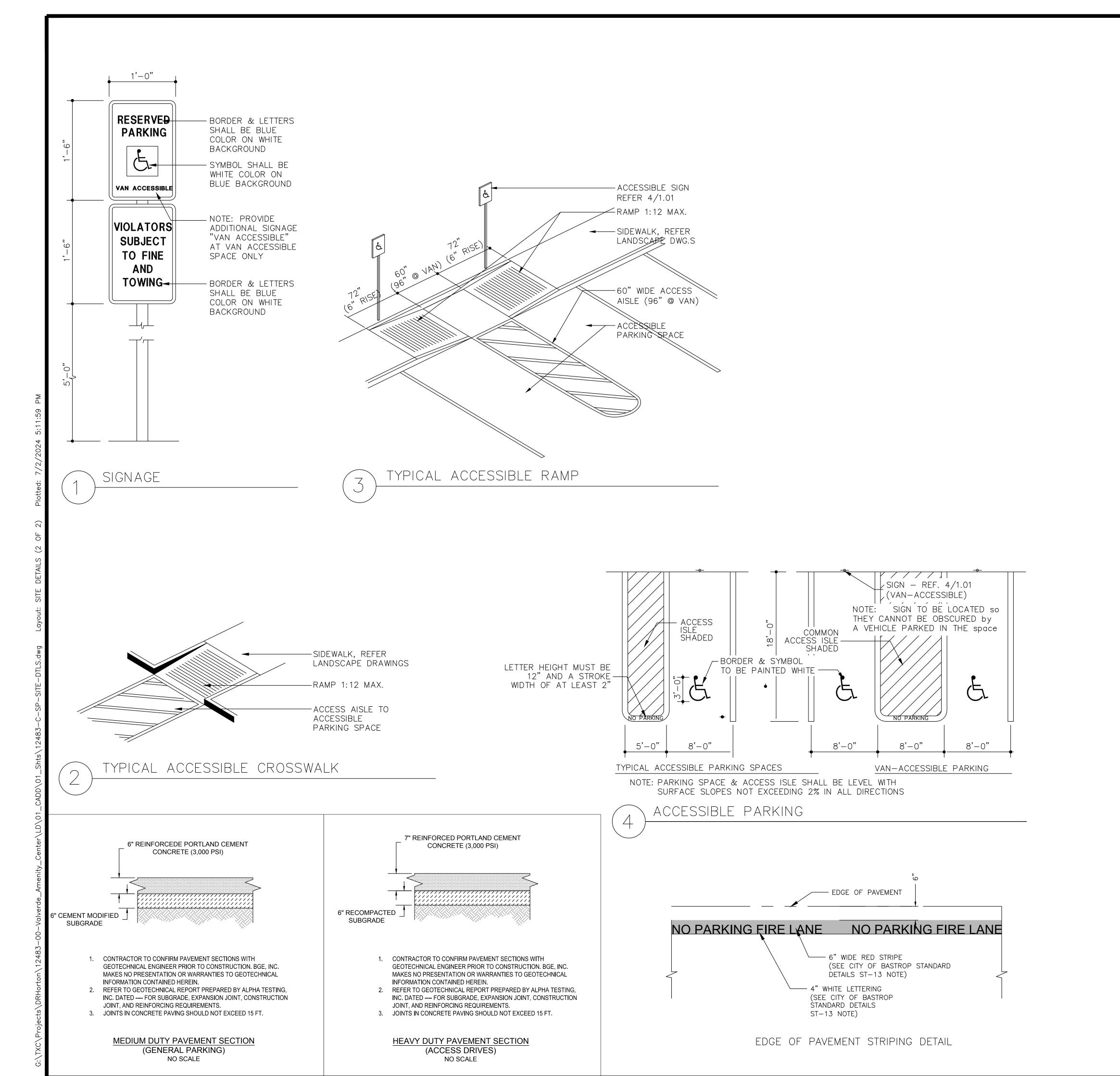
THE ARCHITECT/ENGINEER ASSUMES

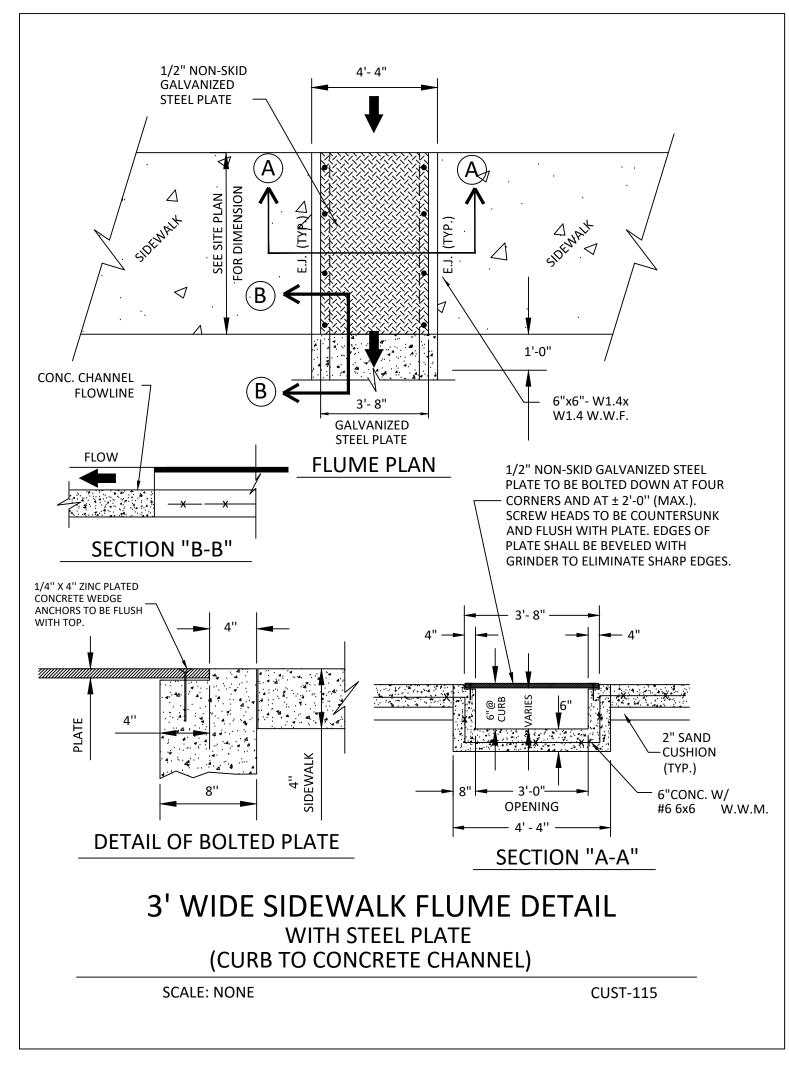
75/05 RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

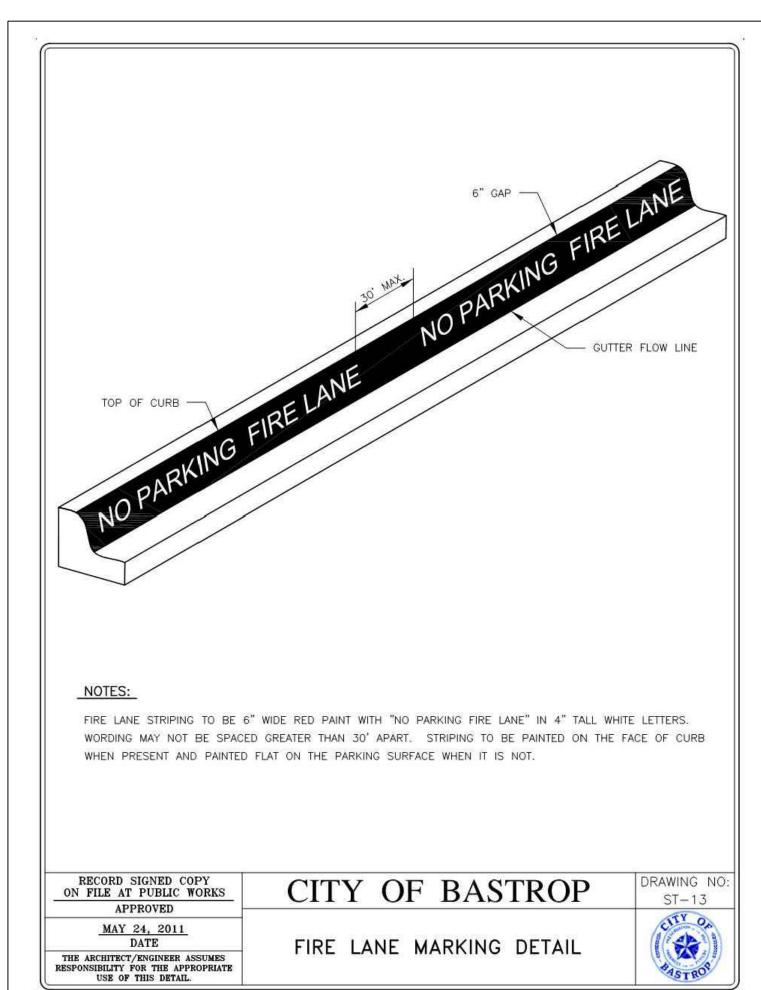


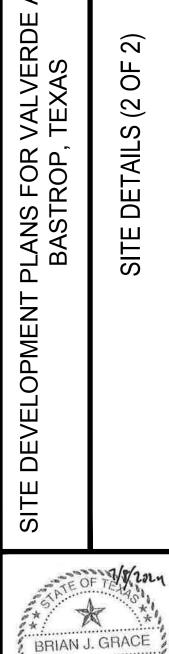
STANDARD NO

2









11OF 29

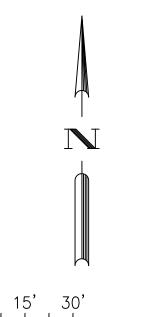
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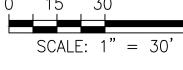
DESIGNED BY: LS, MR

REVIEWED BY: IL

DRAWN BY: LS, MR







— — — PROPERTY BOUNDARY — — — EASEMENT —— WATER LINE — WASTEWATER LINE ———F———— FIRE LANE

FIRE HYDRANT ASSEMBLY

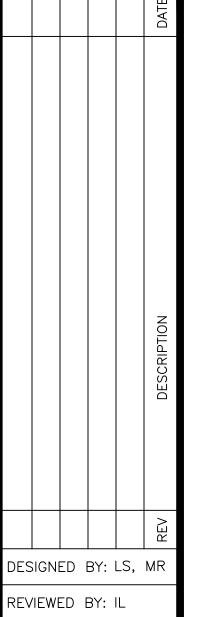
LEGEND

GATE VALVE

FIRE DEPARTMENT CONNECTION

BASTROP FIRE DEPARTMENT NOTES:

- 1. THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR
- 2. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE, TYPICALLY THREE (3) TO SIX (6) FEET. THE AREA WITHIN THREE (3) FEET IN ALL DIRECTIONS FROM ANY FIRE HYDRANT SHALL BE FREE OF OBSTRUCTIONS AND THE AREA BETWEEN THE STEAMER OPENING AND THE STREET OR DRIVEWAY GIVING EMERGENCY VEHICLE ACCESS SHALL BE FREE OF OBSTRUCTIONS.
- 3. TIMING OF INSTALLATIONS: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE CONTRACTOR, SUCH FACILITIES SHALL INCLUDE SURFACE ACCESS ROADS. EMERGENCY ACCESS ROADS OR DRIVES SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHEN THE FIRE DEPARTMENT APPROVES AN ALTERNATE METHOD OF PROTECTION, THIS REQUIREMENT MAY BE MODIFIED AS DOCUMENTED IN THE APPROVAL OF THE ALTERNATE METHOD.
- 4. ALL EMERGENCY ACCESS ROADWAYS AND FIRE LANES, INCLUDING PERVIOUS/DECORATIVE PAVING, SHALL BE ENGINEERED AND INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) AND A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.
- 5. FIRE LANES DESIGNATED ON SITE PLANS SHALL BE REGISTERED WITH THE BASTROP FIRE DEPARTMENT AND INSPECTED FOR FINAL
- 6. THE MINIMUM VERTICAL CLEARANCE REQUIRED FOR EMERGENCY VEHICLE ACCESS ROADS OR DRIVES IS 13 FEET - 6 INCHES FOR THE FULL WIDTH OF THE ROADWAY OR DRIVEWAY.
- 7. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.



DRAWN BY: LS, MR

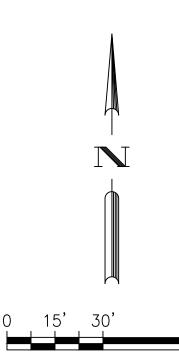




SHEET 12 OF 29

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE ADN PRESERVE ANY AND ALL UNDERGROUND UTILITIES.





PROPERTY BOUNDARY — — — EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR SWALE

EXISTING GRADE FINISH GRADE TOP OF CURB **BOTTOM OF CURB** TOP OF GRATE INLET TOP OF STAIR BOTTOM OF STAIR TOP OF WALL BOTTOM OF WALL FINISH FLOOR ELEVATION

DESIGNED BY: LS, MR

REVIEWED BY: IL DRAWN BY: LS, MR

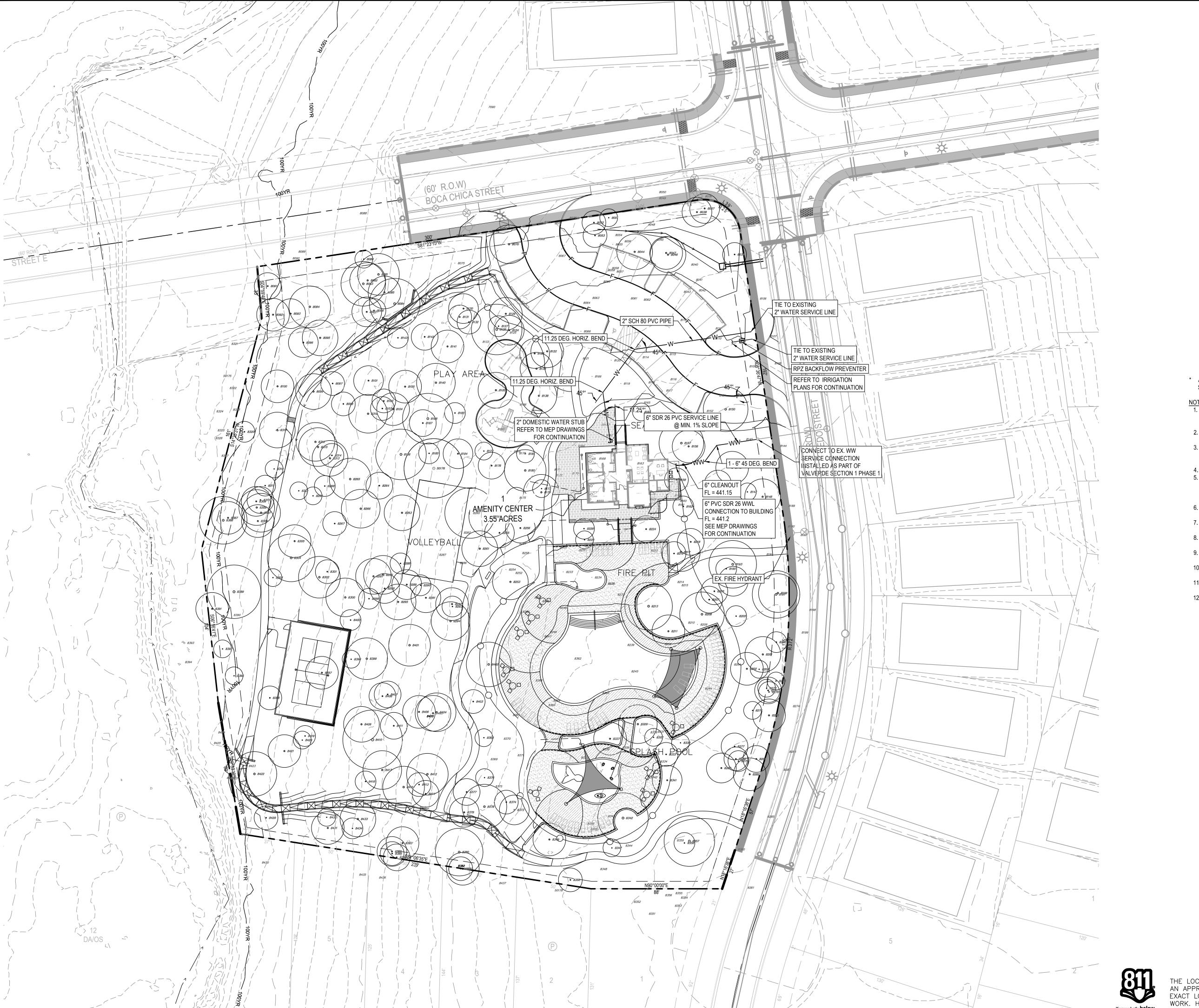


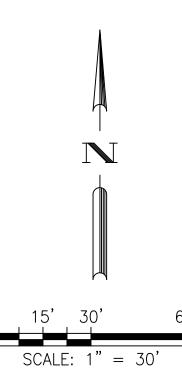
VALVERDE /

AMENITY



SHEET 13 OF 29





LEGEND

PROPERTY BOUNDARY BUILDING SETBACK

 EXISTING MAJOR CONTOUR — — — EXISTING MINOR CONTOUR ─W── WATER LINE

WASTEWATER LINE SWALE

WASTEWATER MANHOLE

CLEANOUT FIRE HYDRANT ASSEMBLY

GATE VALVE

FIRE DEPARTMENT CONNECTION

* ALL WATER & WASTEWATER SYMBOLS ARE NOT TO SCALE AND ARE ONLY SHOWN FOR ILLUSTRATION PURPOSES.

- 1. ALL ITEMS ARE TO BE FURNISHED AND INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION. 2. ALL GRAVITY LINES ARE TO BE INSTALLED FROM DOWNSTREAM TO
- 3. ALL WASTEWATER LINES SHALL BE PVC SDR-26 CONFORMING TO ASTM
- D30304 WITH MINIMUM PIPE STIFFNESS OF 115 PSI AS DETERMINED BY
- 4. TRACER TAPE SHALL BE PLACED ABOVE ALL PLASTIC PIPES.
- 5. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, PRIOR TO UTILITY INSTALLATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY BETWEEN THE PLANS AND EXISTING UTILITIES IN THE FIELD. 6. GATE VALVES AND FIRE HYDRANTS ARE NOT ALLOWED IN CURBS, GUTTER
- PANS, OR SIDEWALKS. 7. ALL PRIVATE WATERLINES SHALL BE C900 PVC UNLESS OTHERWISE
- SPECIFIED. 8. CONTRACTOR SHALL RAISE VALVES, HYDRANTS, AND OTHER
- APPURTENANCES TO FINISHED GRADE UPON COMPLETION OF PAVING. 9. ALL WATER MAINS SHALL HAVE 4 FOOT MINIMUM COVER FROM FINISHED
- 10. CONTRACTOR TO INSTALL WASTEWATER LINES UP TO 5' FROM BUILDING. COORDINATE WITH MEP PLANS AT BUILDING CONNECTION POINTS.
- 11. ALL WASTEWATER INFRASTRUCTURE IS PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
- 12. ALL CLEANOUTS IN PAVED AREAS SHALL HAVE TRAFFIC RATED LID AND

DESIGNED BY: LS, MR REVIEWED BY: IL

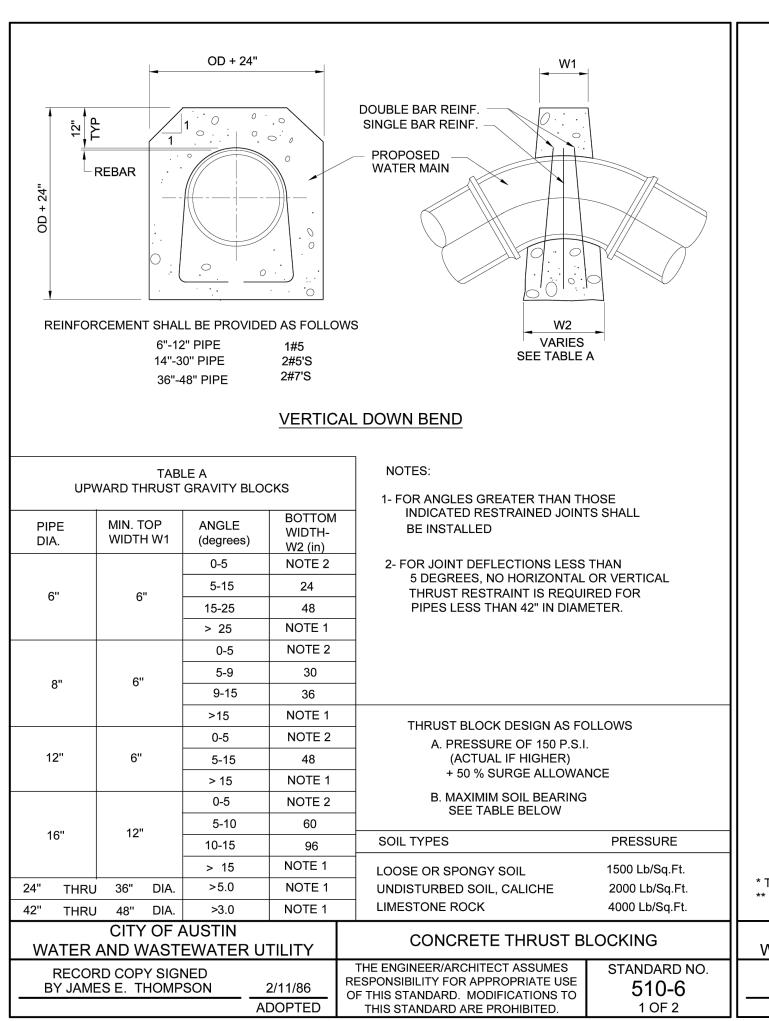
DRAWN BY: LS, MR

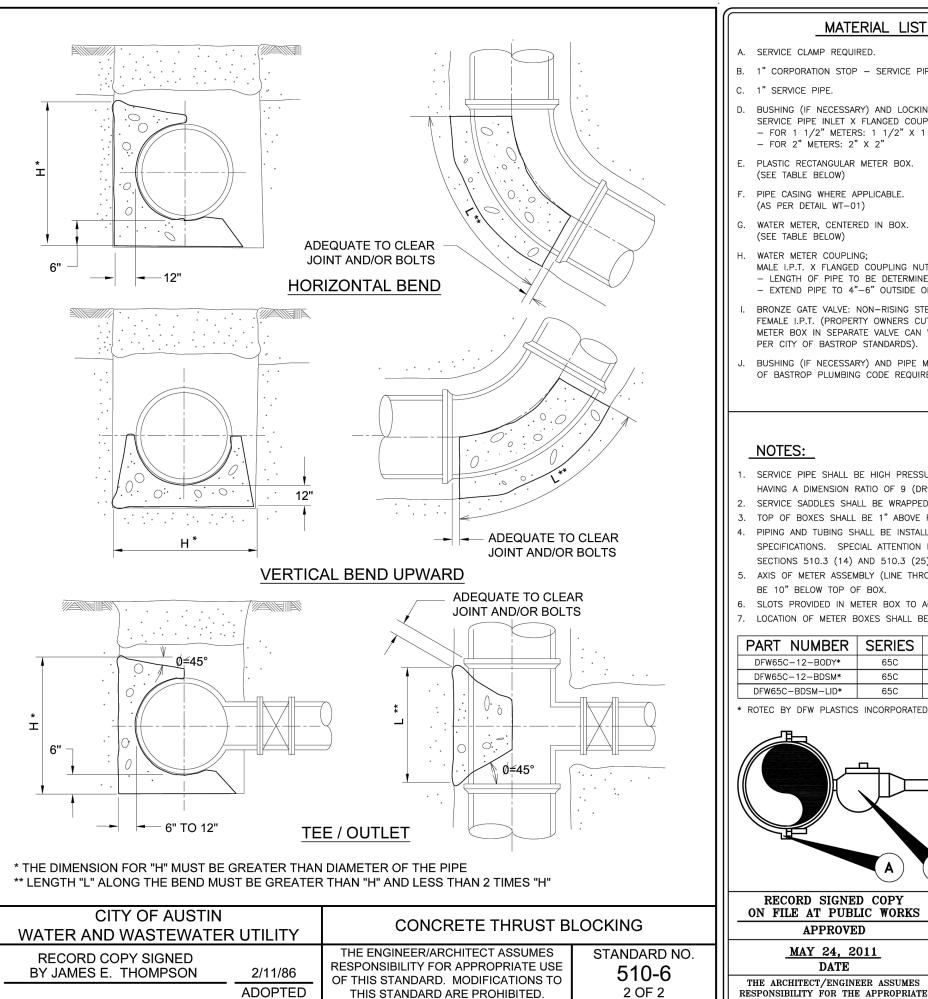


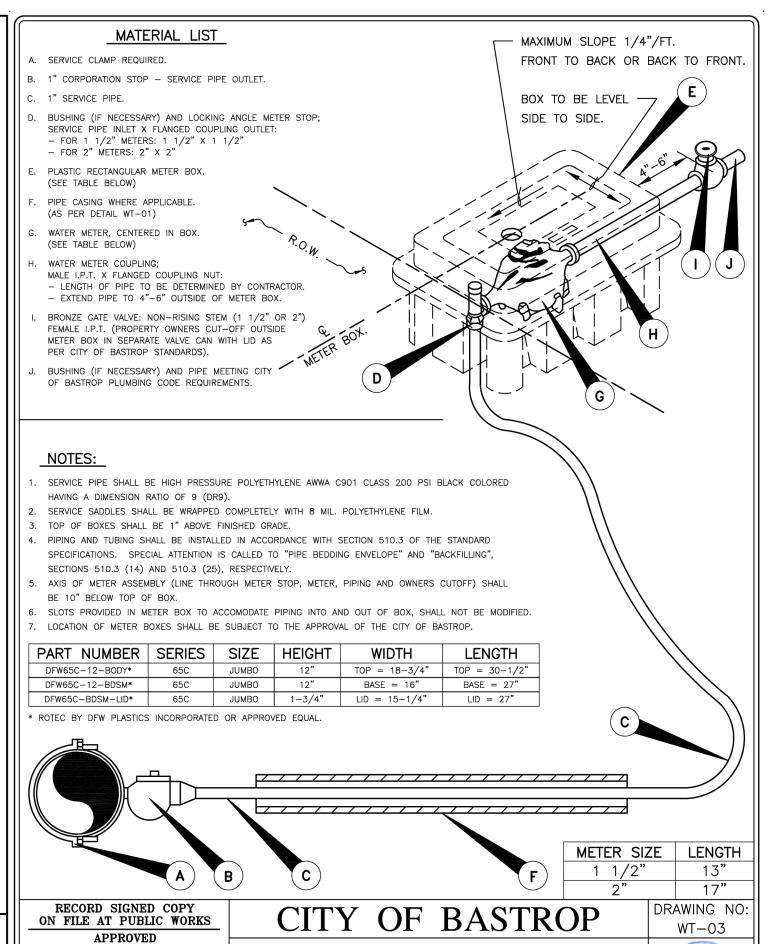
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SHEET 14 OF 29



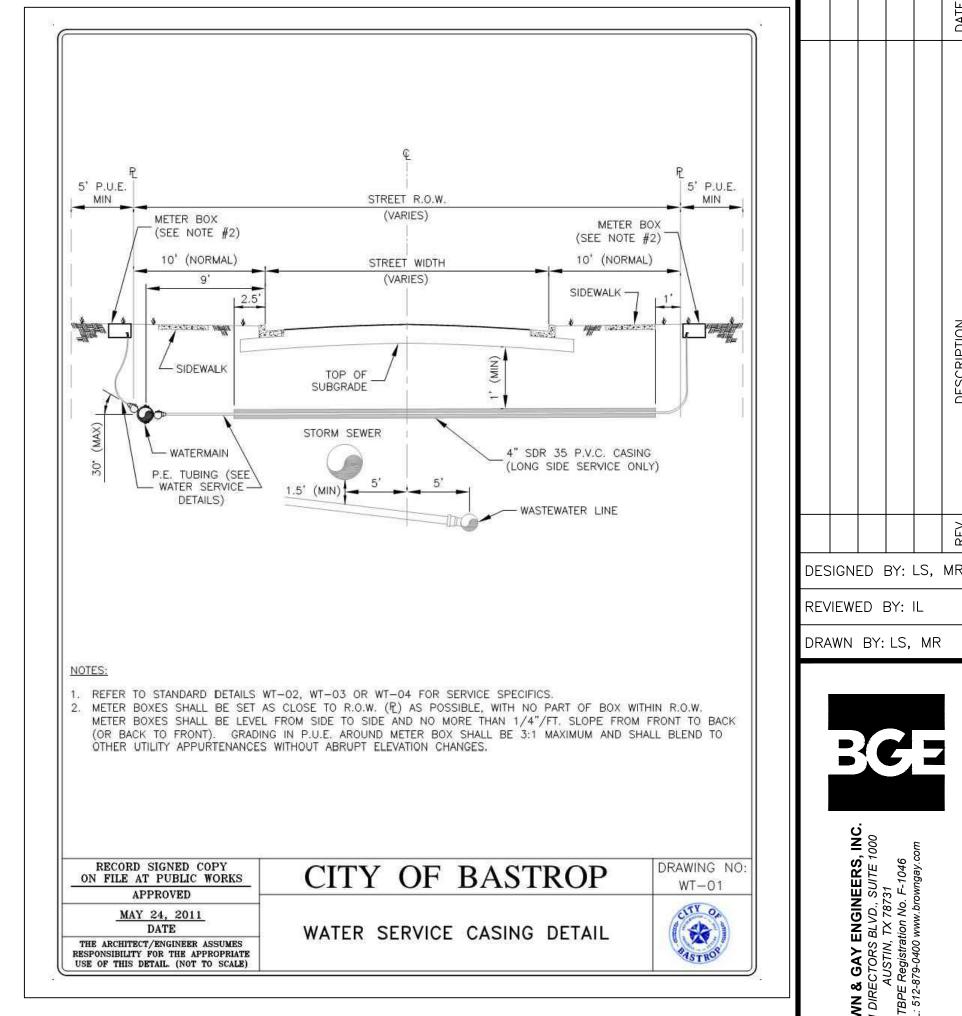


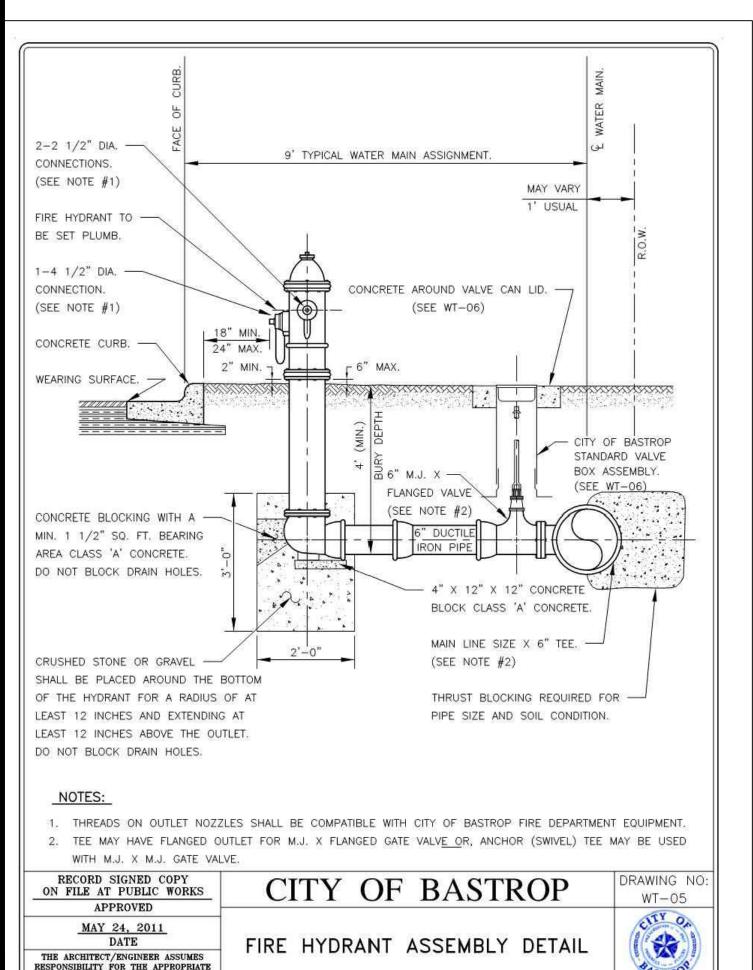


MAY 24, 2011

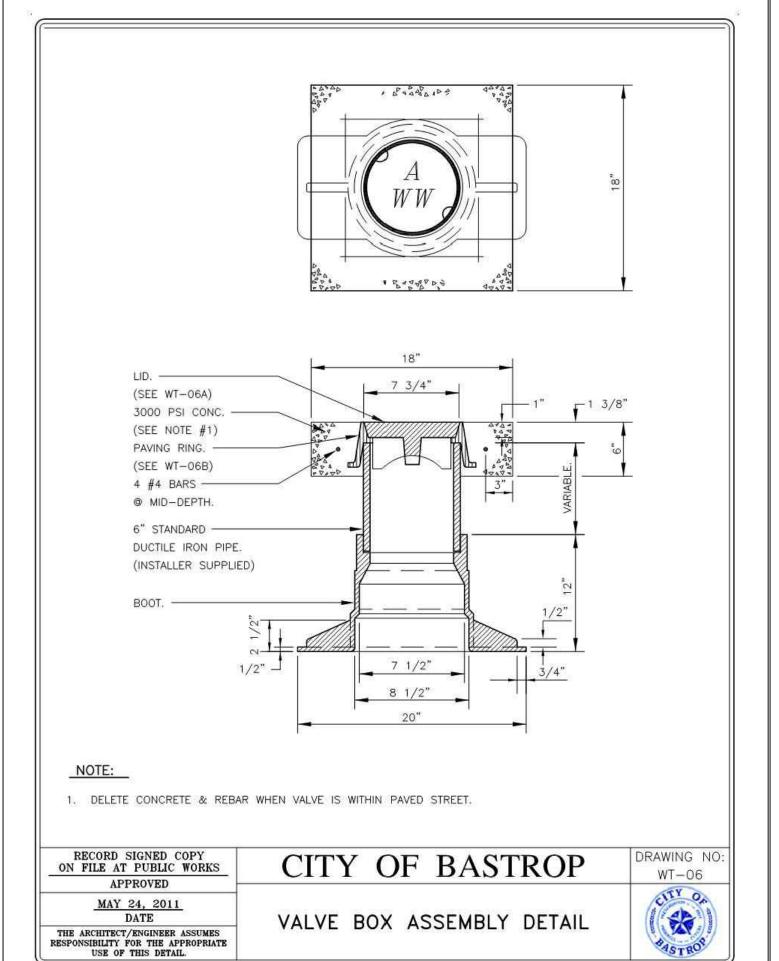
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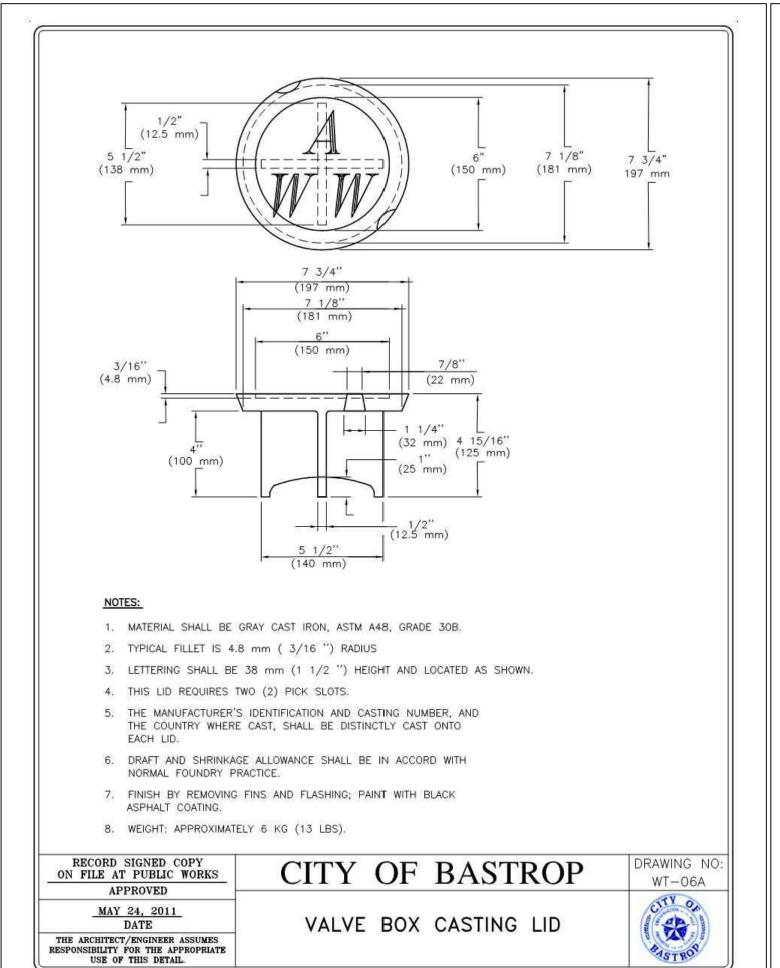
USE OF THIS DETAIL.





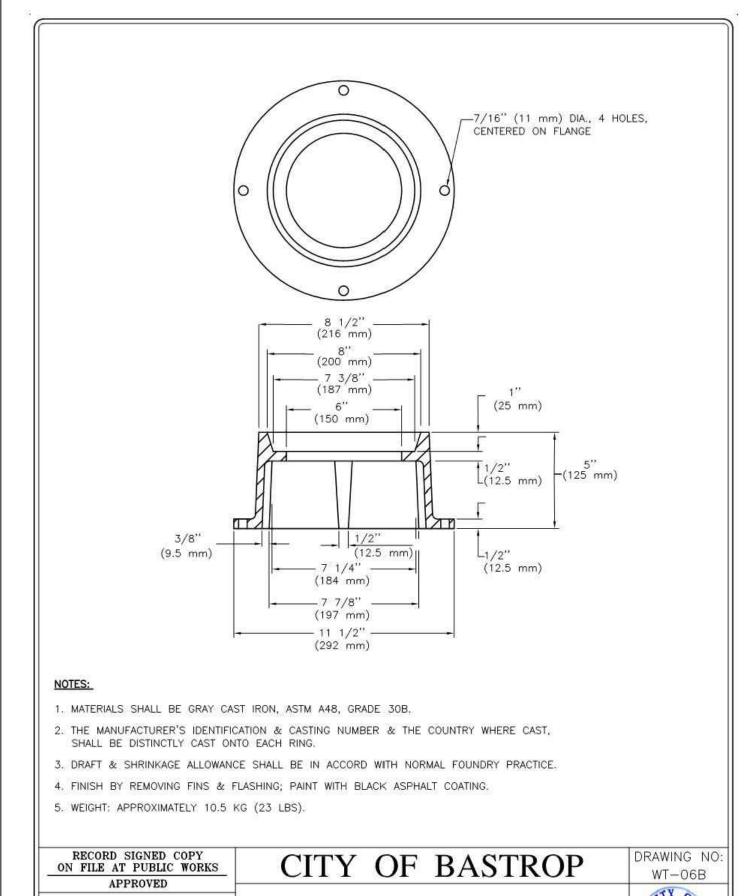
USE OF THIS DETAIL.





SINGLE 1 1/2" OR 2"

WATER METER DETAIL

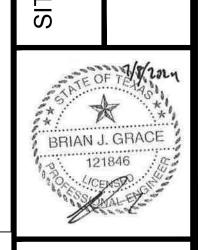


VALVE BOX CASTING PAVING RING

MAY 24, 2011

DATE

THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.

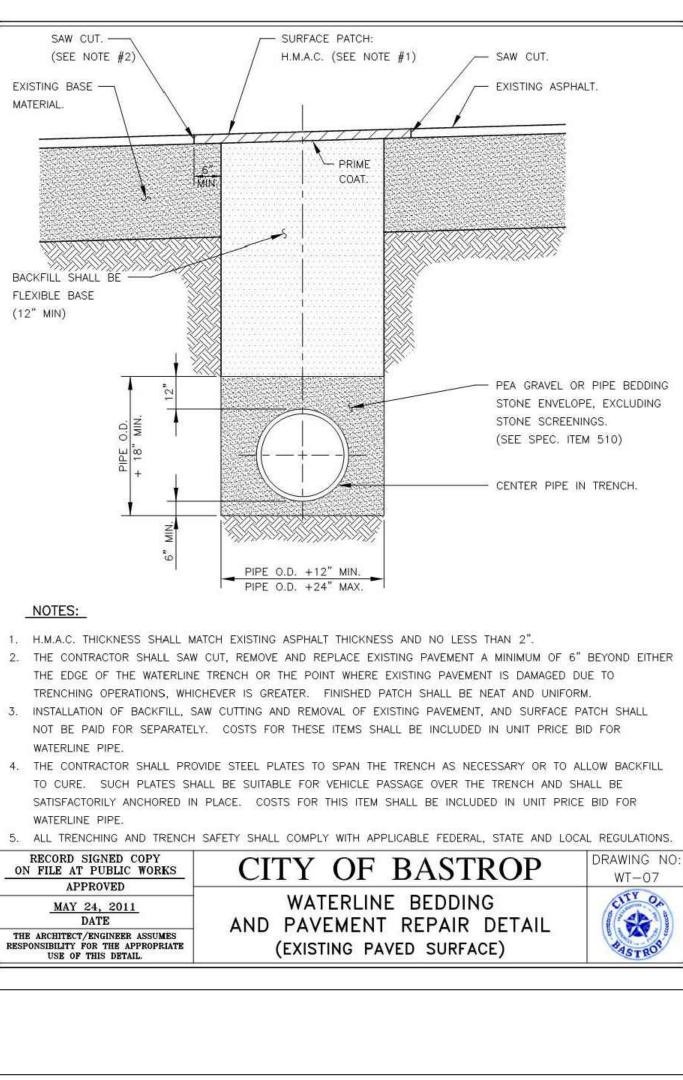


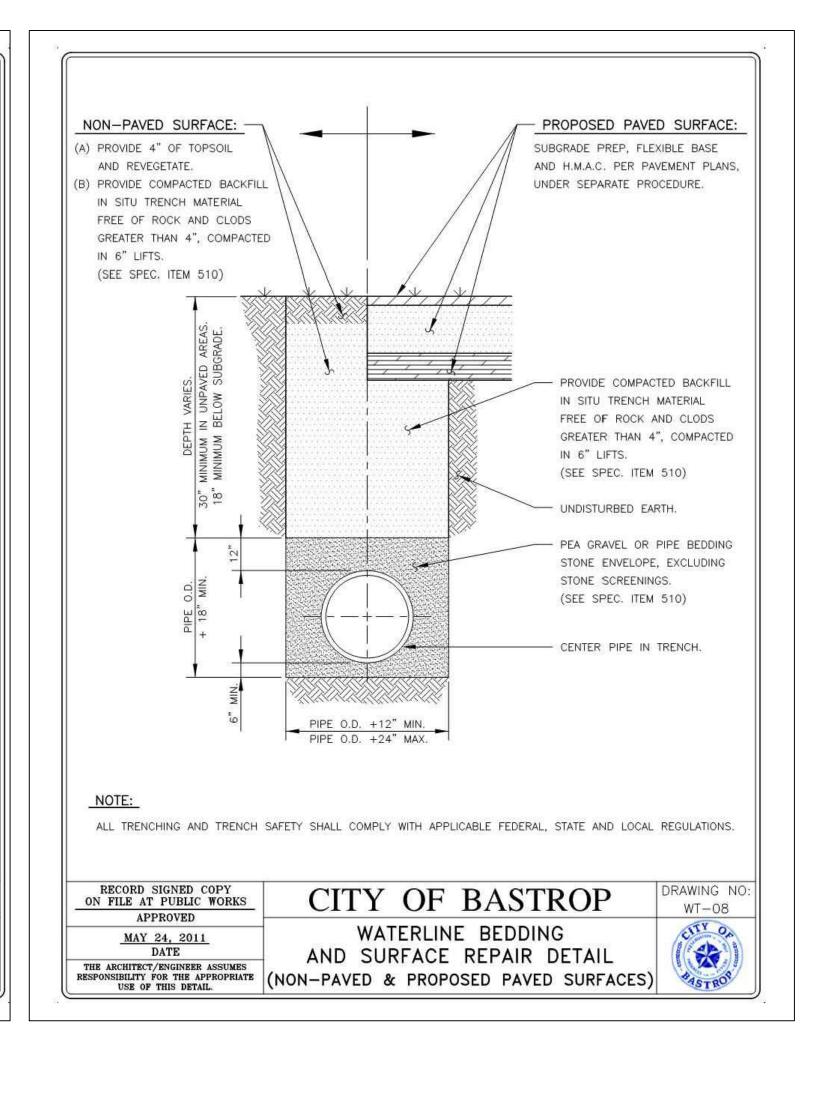
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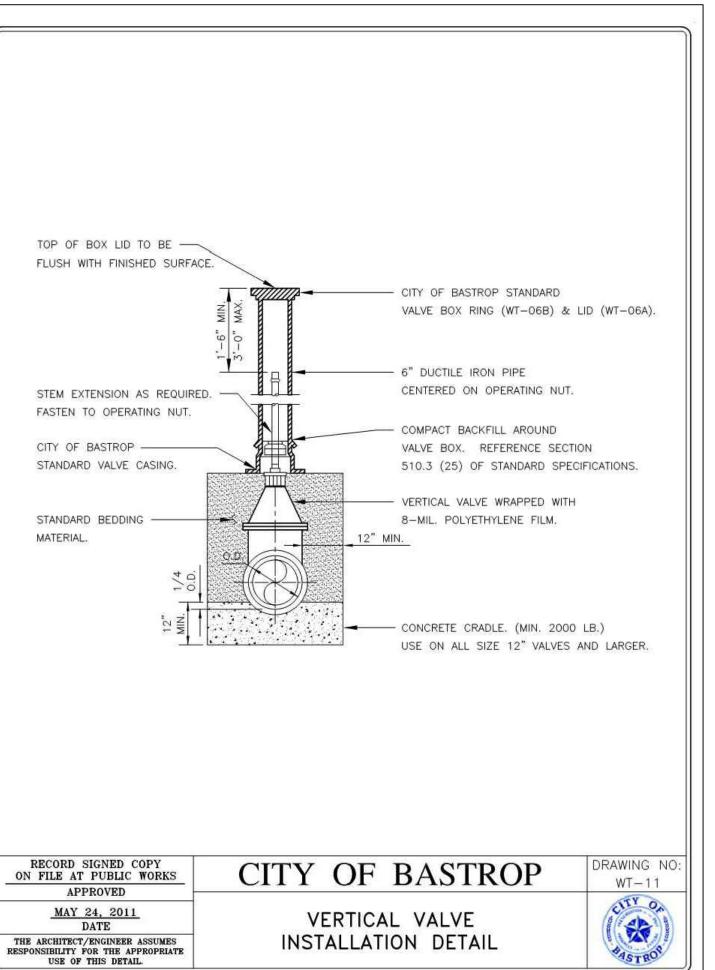
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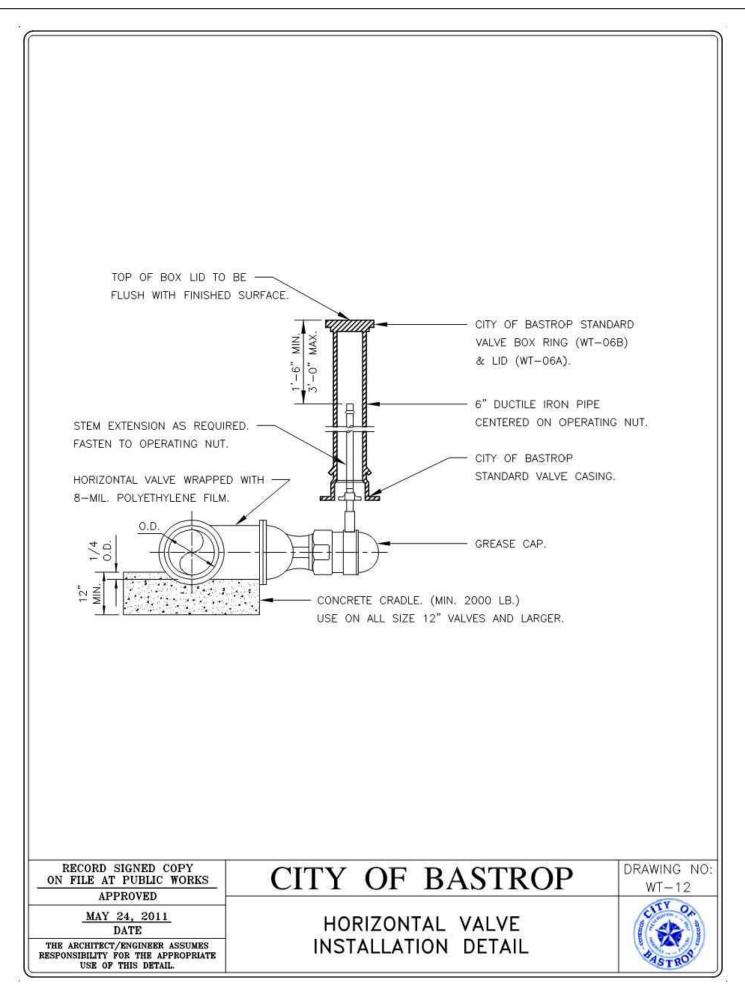
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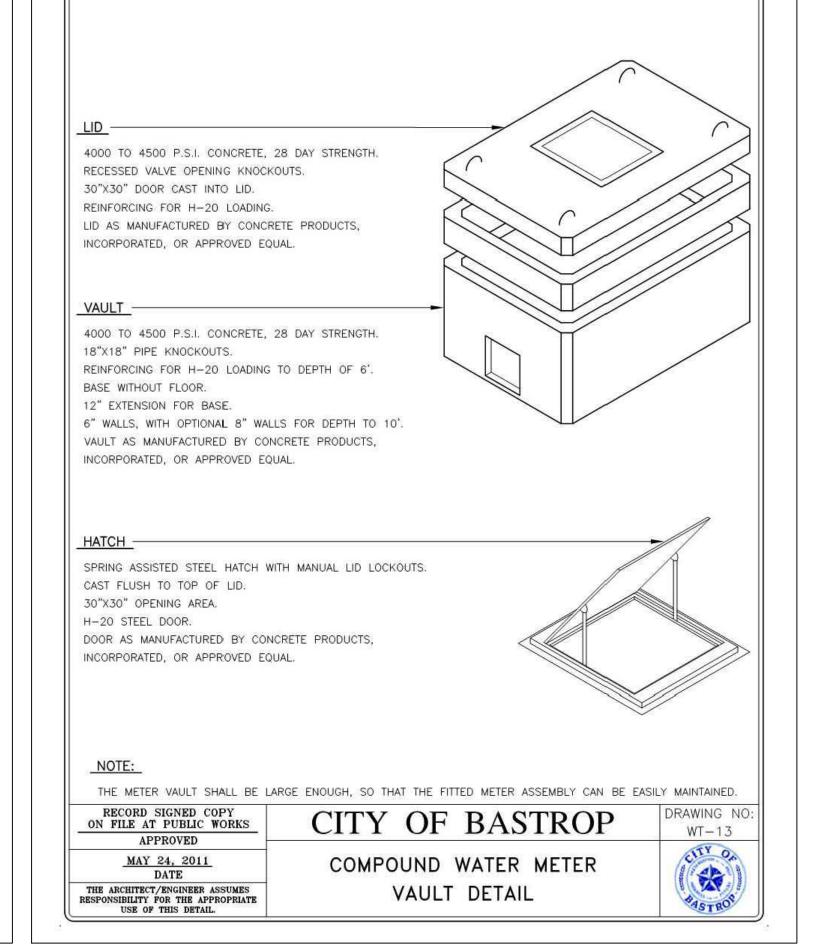
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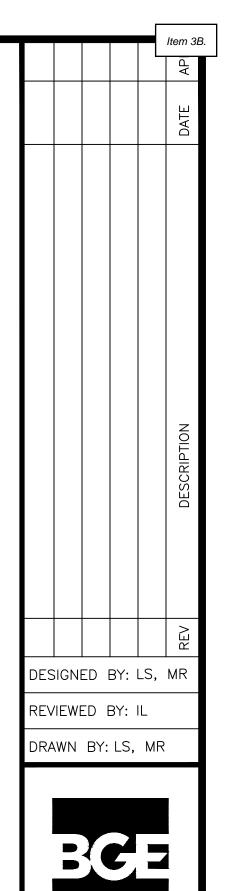






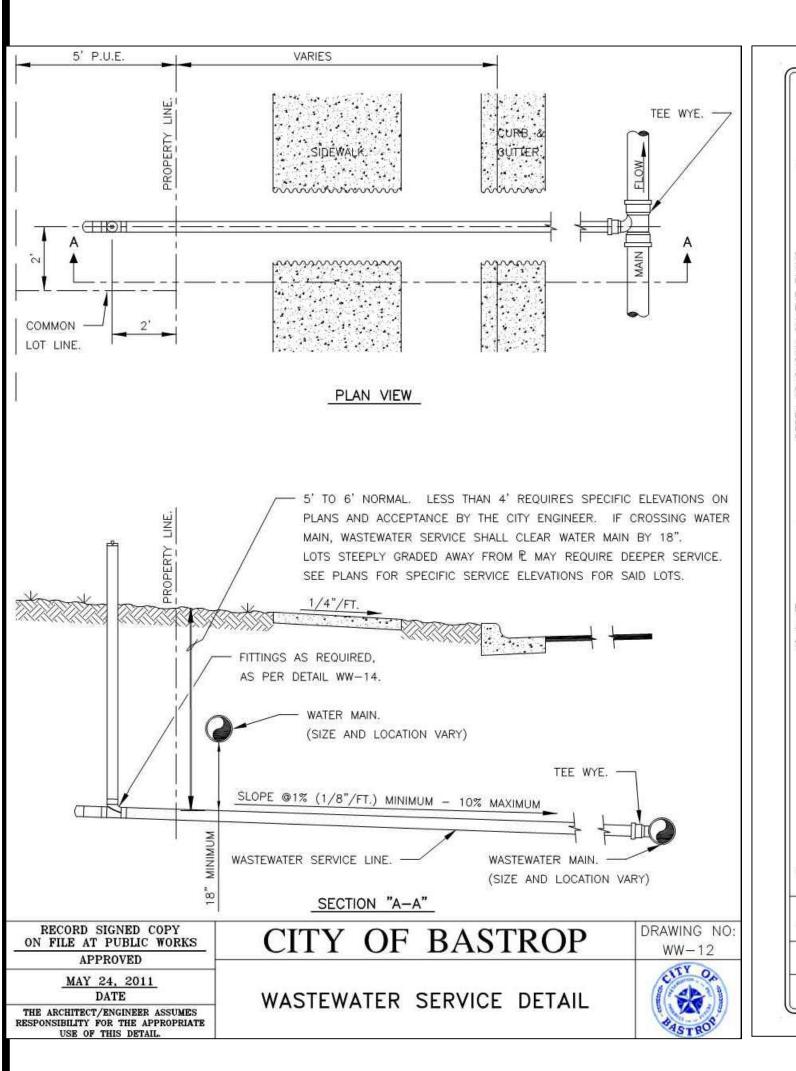


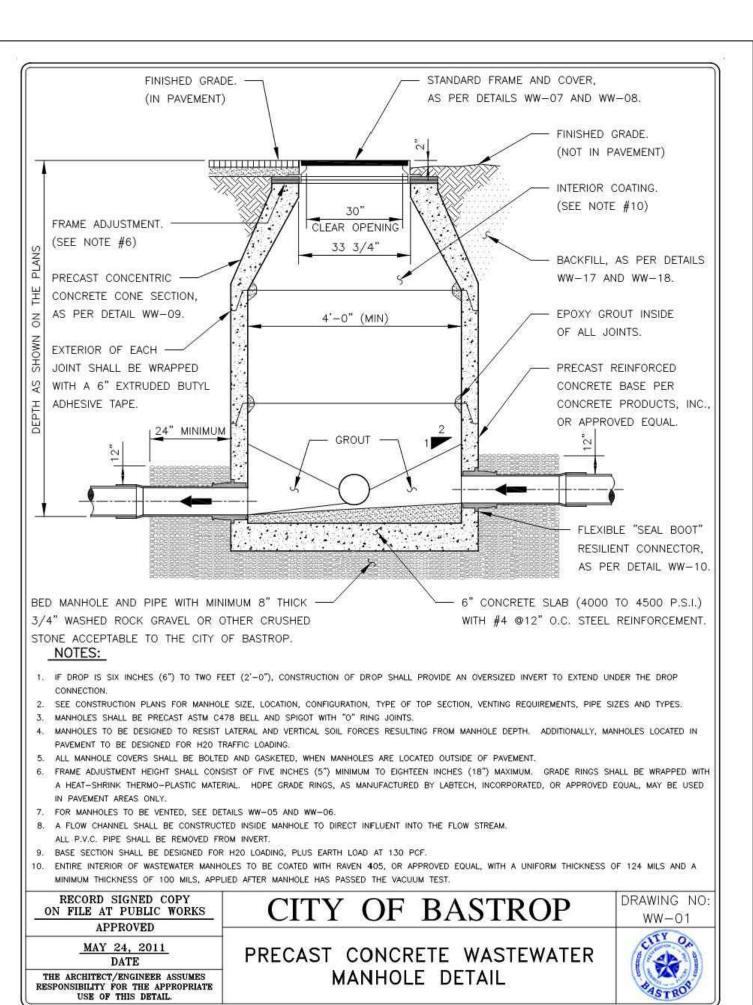


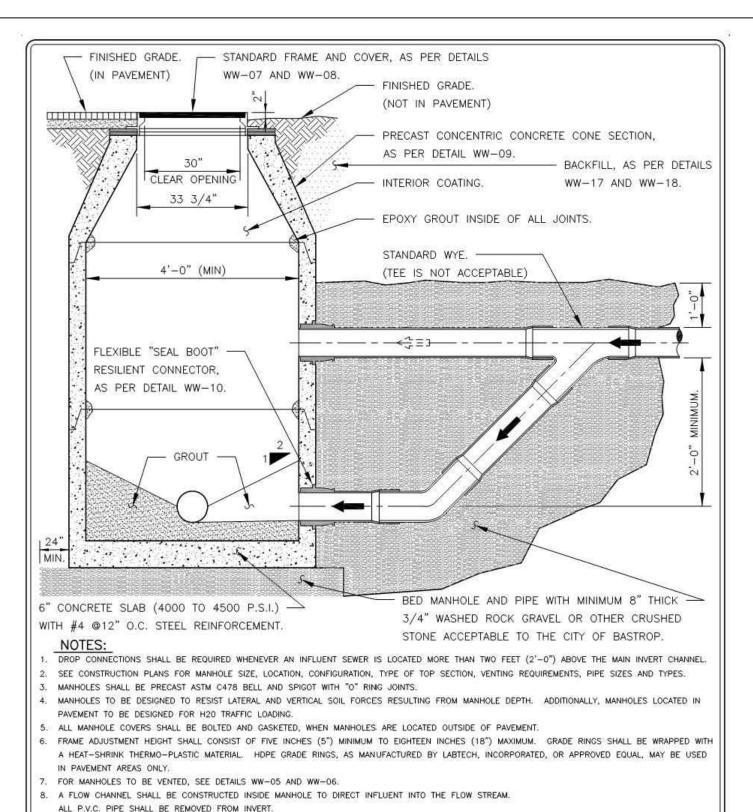


VALVERDE, TEXAS

BRIAN J. GRACE







ENTIRE INTERIOR OF WASTEWATER MANHOLES TO BE COATED WITH RAVEN 405, OR APPROVED EQUAL, WITH A UNIFORM THICKNESS OF 124 MILS AND A

CITY OF BASTROP

PRECAST CONCRETE WASTEWATER

MANHOLE WITH DROP CONNECTION

DETAIL

DRAWING NO

WW-02

WHEN P.V.C. PIPE IS USED IN SANITARY SEWER LINES, SOLVENT TYPE JOINT P.V.C. FITTINGS MAY BE UTILIZED IN THE DROP ASSEMBLY ONL

BASE SECTION SHALL BE DESIGNED FOR H20 LOADING, PLUS EARTH LOAD AT 130 PCF.

RECORD SIGNED COPY

APPROVED

MAY 24, 2011

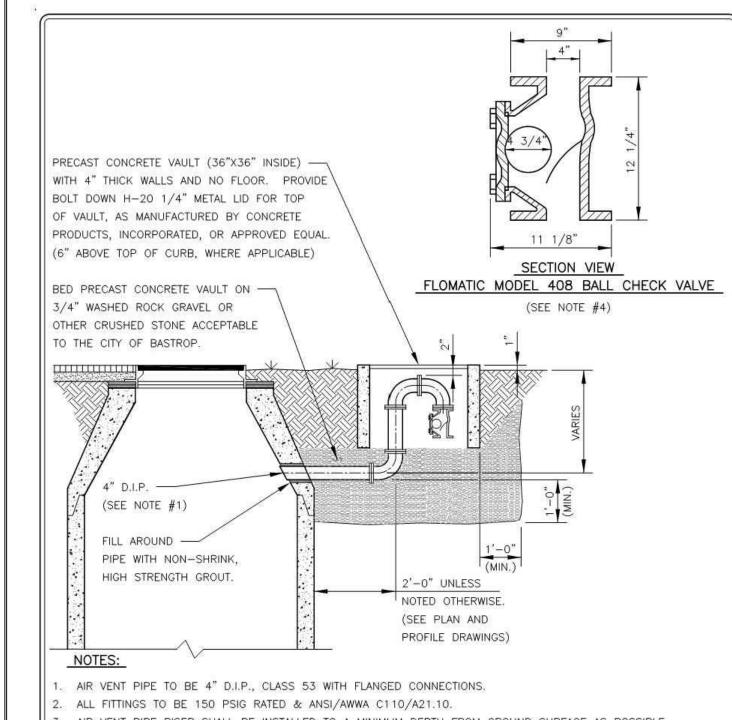
DATE

THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR THE APPROPRIATE

USE OF THIS DETAIL.

ON FILE AT PUBLIC WORKS

MINIMUM THICKNESS OF 100 MILS, APPLIED AFTER MANHOLE HAS PASSED THE VACUUM TEST.



AIR VENT PIPE RISER SHALL BE INSTALLED TO A MINIMUM DEPTH FROM GROUND SURFACE AS POSSIBLE,

PREFERABLY LOCATED IN THE CONCENTRIC CONCRETE CONE.

MINIMUM ELEVATION AT THE VENT OPENING SHALL BE 1 FOOT (1'-0") ABOVE THE ULTIMATE 100 YEAR FLOOD PLAIN ELEVATION. IF ELEVATION OF VENT OPENING IS LESS THAN 1 FOOT (1'-0") ABOVE THE ULTIMATE 100 YEAR FLOOD PLAIN ELEVATION, A FLOMATIC MODEL 408, PART #2145 BALL CHECK VALVE, OR APPROVED EQUAL, WITH FLOATING TYPE BALL, SHALL BE INSTALLED AT DOWN TURNED OPENING OF VENT. A 16 MESH 304 STAINLESS

GROUND INSTALLATION DETAIL

(DEVELOPED AREAS)

STEEL INSECT SCREEN SHALL BE PLACED IN THE OPENING. RECORD SIGNED COPY CITY OF BASTROP ON FILE AT PUBLIC WORKS APPROVED MANHOLE VENT FOR BELOW MAY 24, 2011

DRAWING NO: WW-05

DESIGNED BY: LS, MR

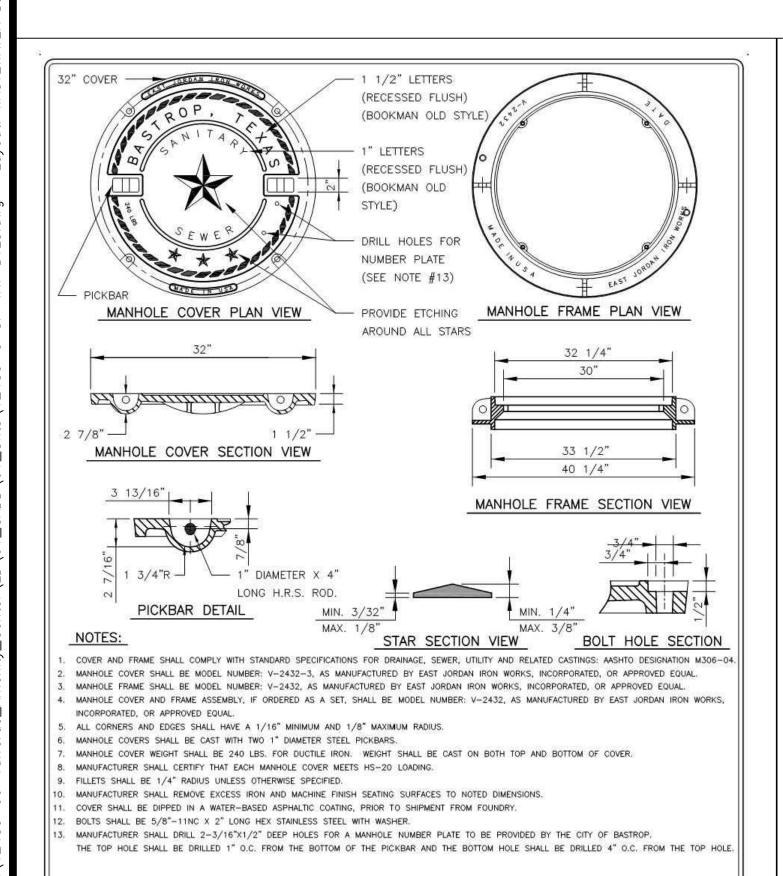
REVIEWED BY: IL

AMENITY

'ALVERDE'

FOR ROP.

DRAWN BY: LS, MR



CITY OF BASTROP

BOLTED WASTEWATER MANHOLE

COVER AND FRAME DETAIL

RECORD SIGNED COPY

ON FILE AT PUBLIC WORKS

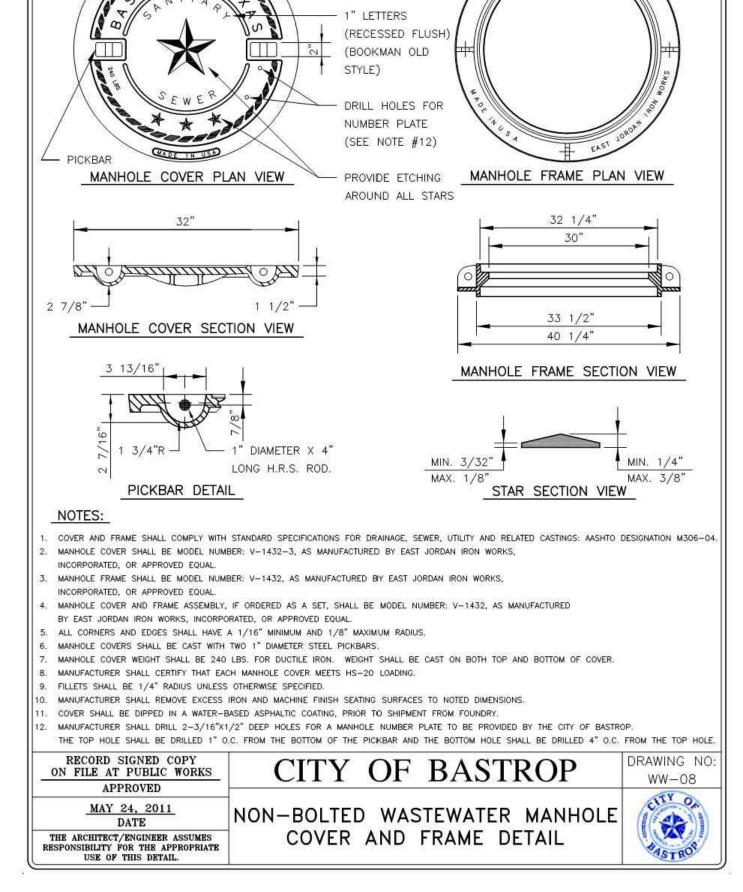
MAY 24, 2011

DATE

THE ARCHITECT/ENGINEER ASSUMES

RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.

APPROVED



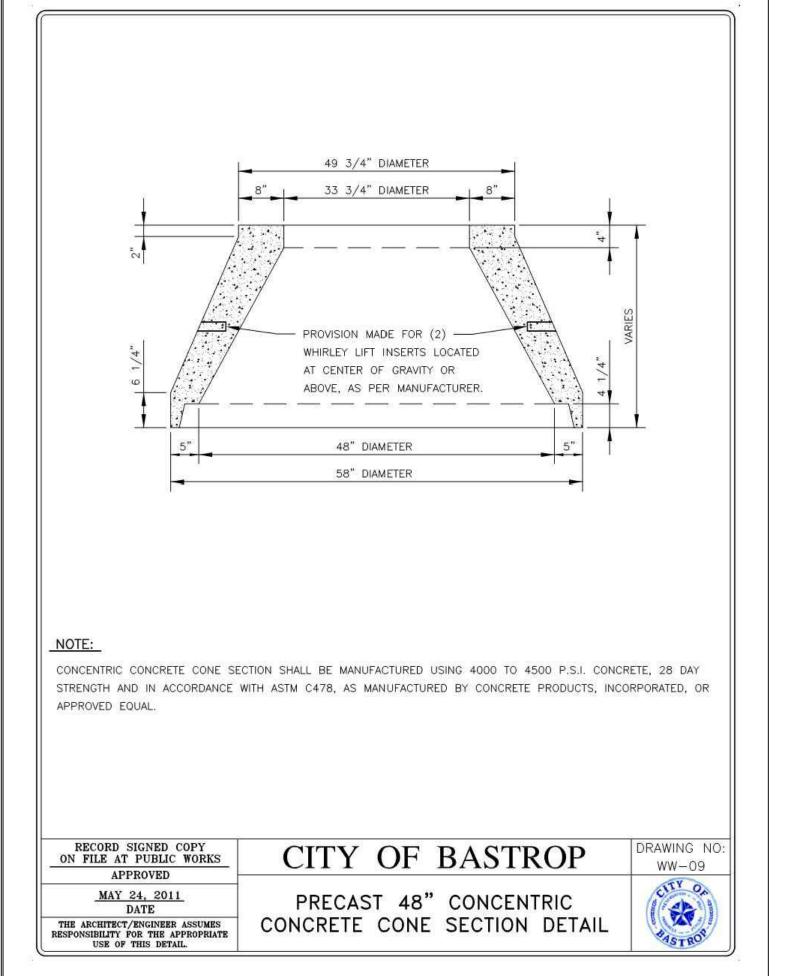
(RECESSED FLUSH)

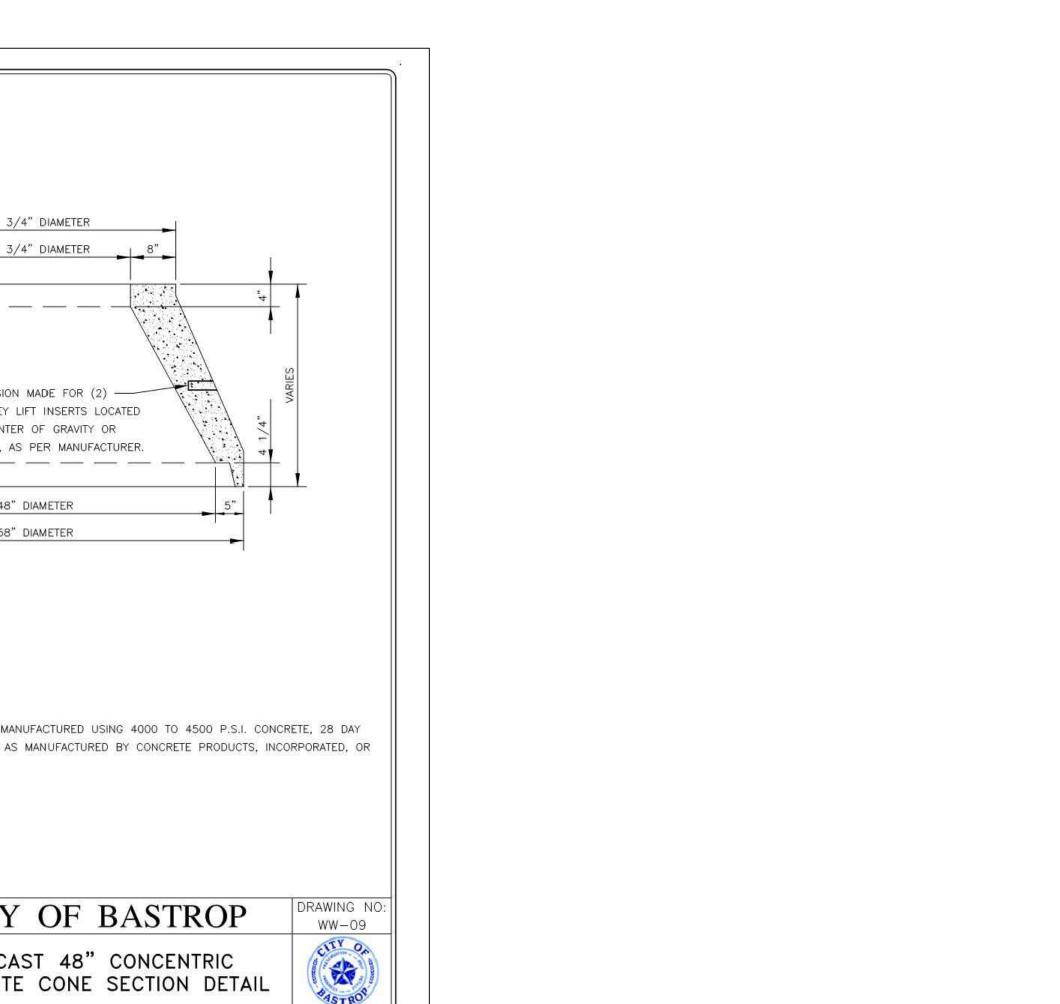
(BOOKMAN OLD STYLE)

32" COVER -

DRAWING NO:

WW-07

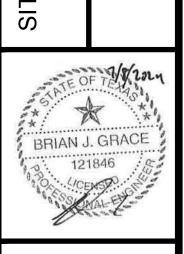


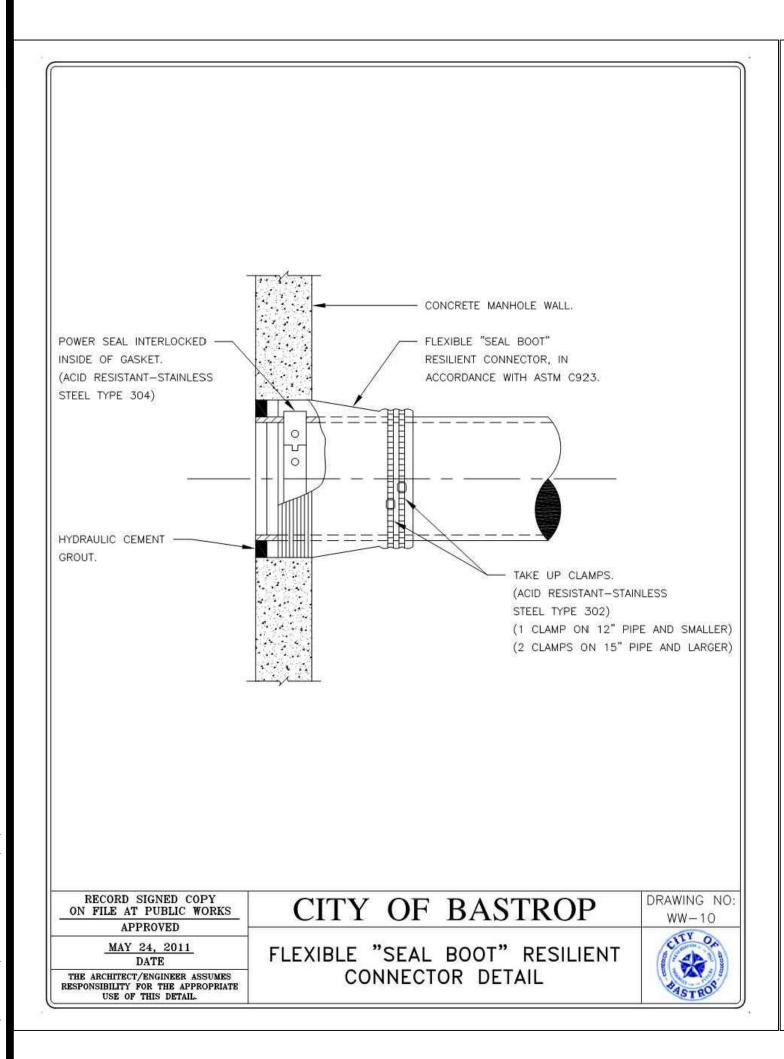


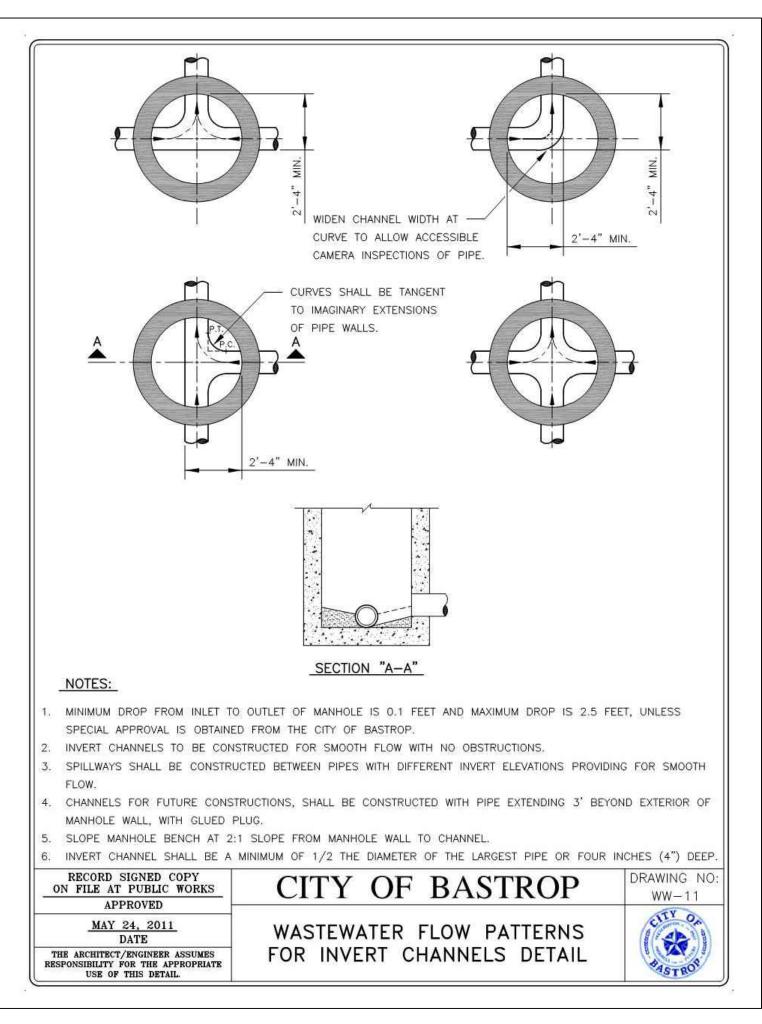
DATE

THE ARCHITECT/ENGINEER ASSUMES

RESPONSIBILITY FOR THE APPROPRIATE USE OF THIS DETAIL.







- SURFACE PATCH:

H.M.A.C. (SEE NOTE #1)

- PRIME

_ SAW CUT.

EXISTING ASPHALT.

PEA GRAVEL OR PIPE BEDDING

STONE ENVELOPE, EXCLUDING

STONE SCREENINGS.

(SEE SPEC. ITEM 510)

- CENTER PIPE IN TRENCH.

SAW CUT. -

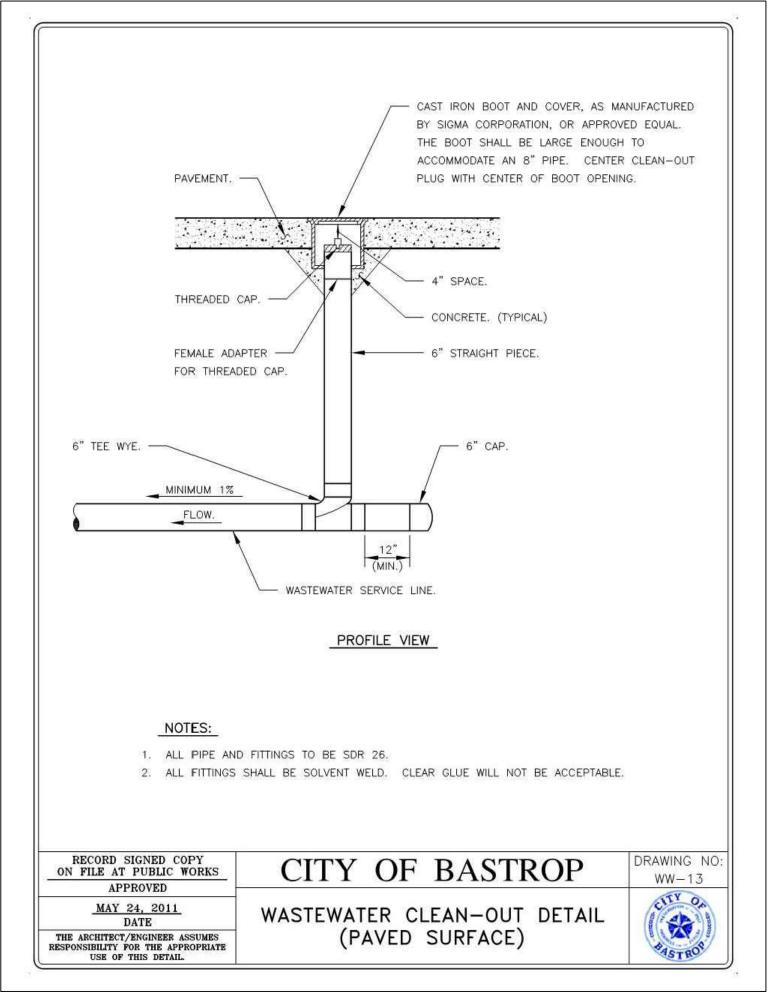
EXISTING BASE -

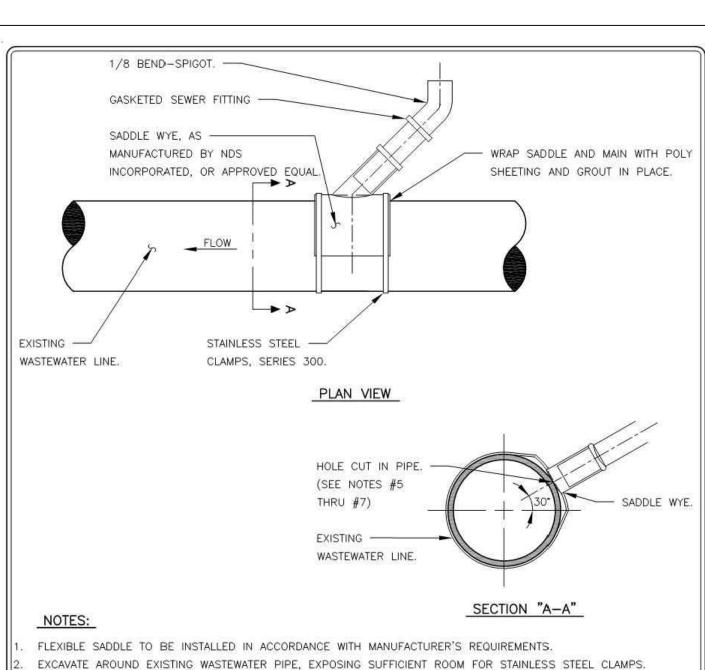
BACKFILL SHALL BE

FLEXIBLE BASE. (MIN 12")

MATERIAL.

(SEE NOTE #2)





- EXCAVATE AROUND EXISTING WASTEWATER PIPE, EXPOSING SUFFICIENT ROOM FOR STAINLESS STEEL CLAMPS.
- THOROUGHLY CLEAN AND DRY THE MATING SURFACE.

ENSURE SADDLE FITS HOLE PROPERLY.

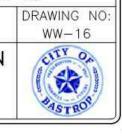
THE ARCHITECT/ENGINEER ASSUMES

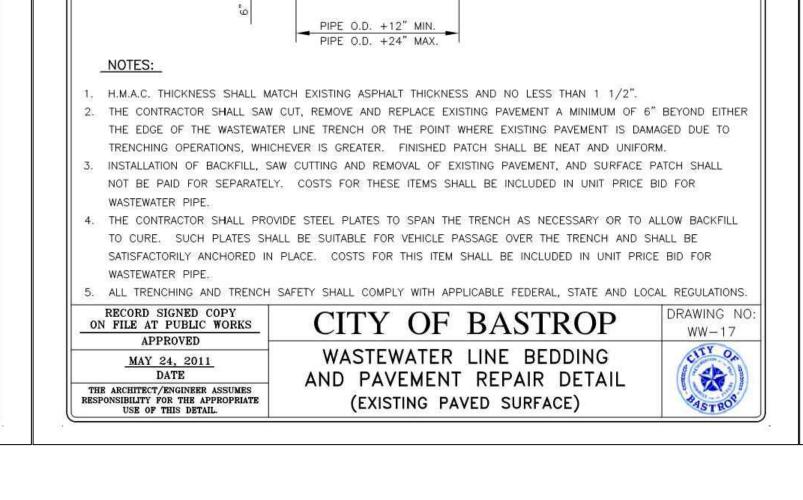
RESPONSIBILITY FOR THE APPROPRIATE
USE OF THIS DETAIL.

- MARK THE SIZE OF THE HOLE TO BE CUT USING THE SADDLE ITSELF AS A TEMPLATE. SAW OUT THE SECTION OF THE PIPE WHERE THE SADDLE WILL BE LOCATED, WITH A SABER OR KEY HOLE SAW. PIPE COUPONS SHALL BE REMOVED FROM EXISTING MAIN AND DISCARDED. PIPE CUTTINGS IN EXCESS OF 1" IN DIAMETER SHALL NOT BE LEFT IN EXISTING MAIN.
- PLACE GASKET SKIRT AND SADDLE OVER OPENING AND TIGHTEN BAND CLAMPS EVENLY UNTIL SADDLE IS FIRMLY ATTACHED TO THE PIPE. APPLY PRESSURE ON THE SADDLE AGAINST THE PIPE WHILE TIGHTENING THE CLAMPS
- AS INDICATED ABOVE. DO NOT OVER TIGHTEN, DO NOT STRIP THREAD. SERVICE PIPE SHALL BE INSERTED FULLY TO CONTACT SEAT FORMED IN FITTING.

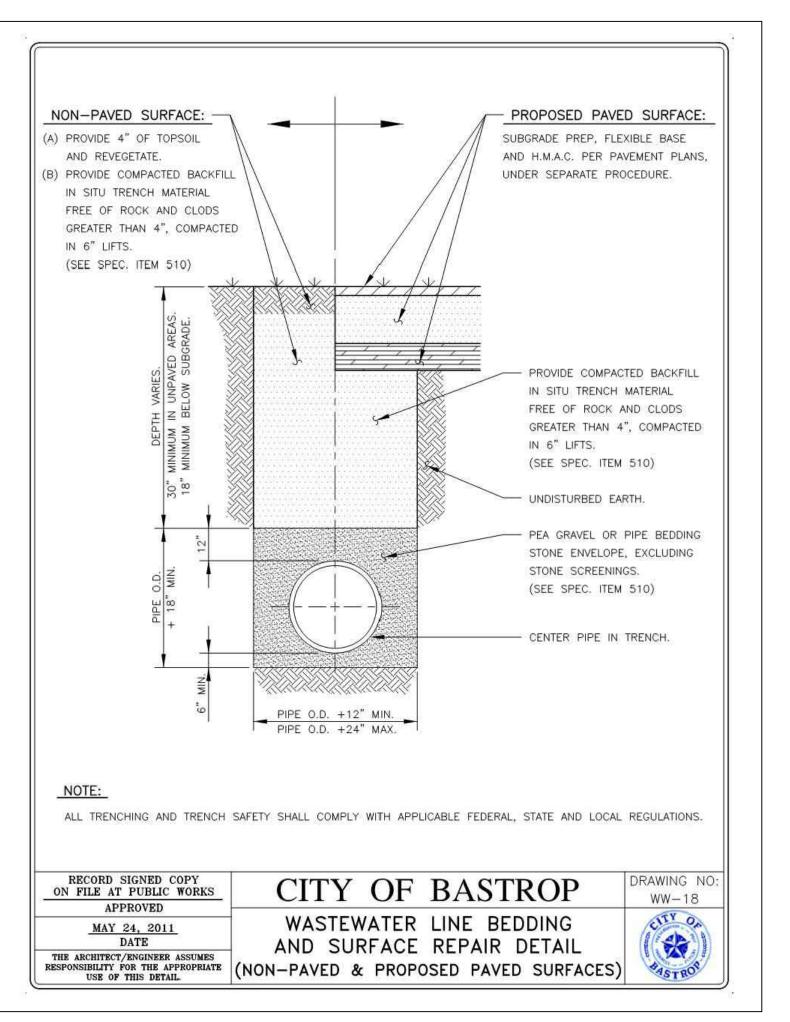
REPLACE THE BEDDING AND BACKFILL IN ACCORDANCE WITH THE TRENCH EMBEDMENT DETAILS (WW-18). CITY OF BASTROP ON FILE AT PUBLIC WORKS WW-16 APPROVED WASTEWATER LATERAL CONNECTION MAY 24, 2011 TO EXISTING WASTEWATER MAIN DATE

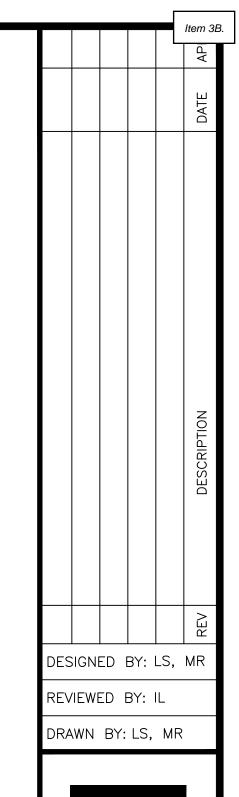
DETAIL





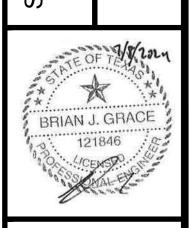
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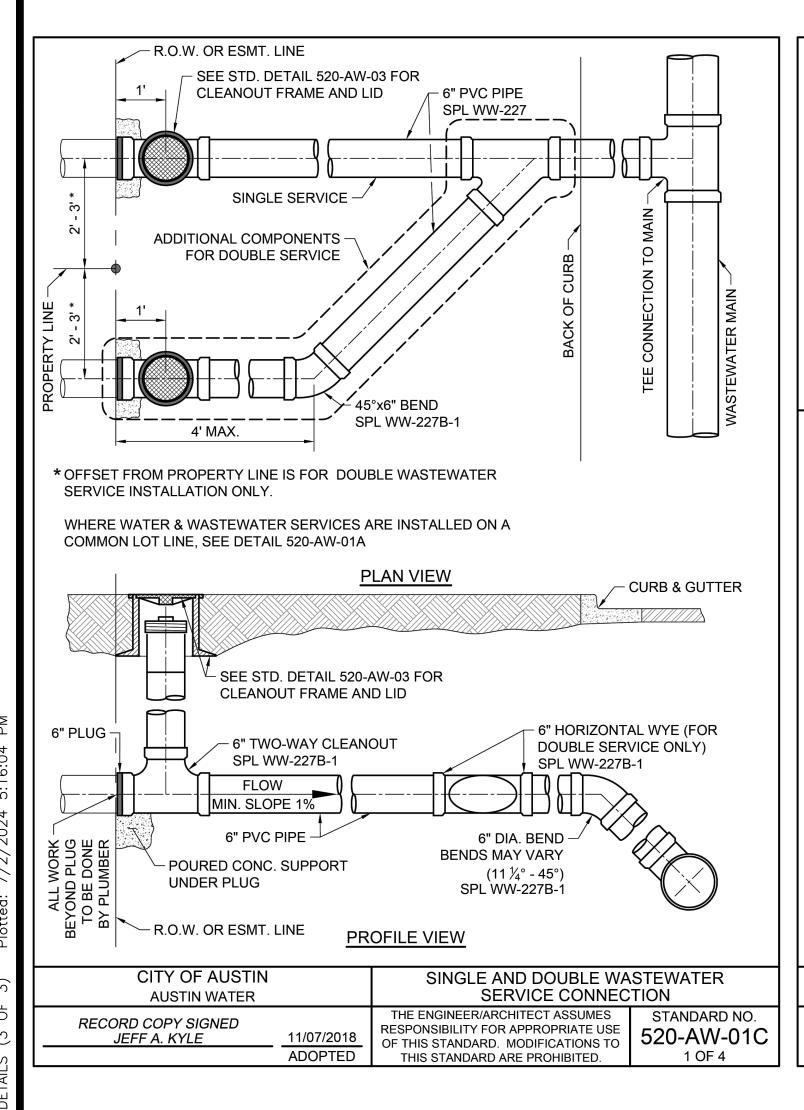


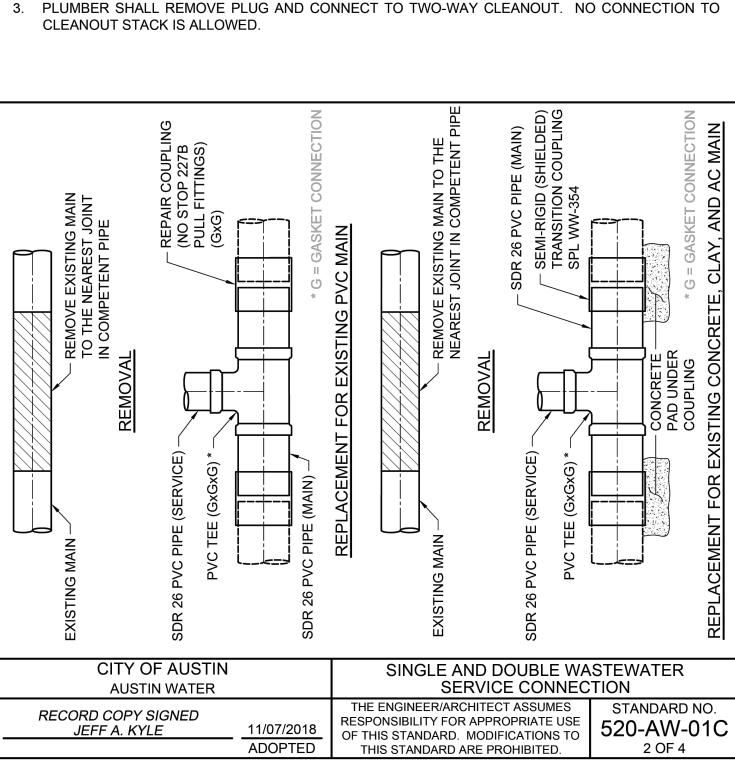




VALVERDE, TEXAS FOR ROP,







DURING SUBDIVISION CONSTRUCTION, UTILITY CONTRACTOR INSTALLS WASTEWATER TEE

CONNECTION TO MAIN, 6" STUB, HORIZONTAL WYE FOR DOUBLE SERVICES, 6" SERVICE BRANCH

WITH TWO-WAY CLEANOUT(S) AND RISER, FRAME, AND COVER. CLEANOUT(S) TO BE PLUGGED

AT PROPERTY LINE OR EASEMENT LINE END. ALL WASTEWATER PIPING SHALL HAVE

ELASTOMERIC GASKET TYPE JOINTS AND SLOPE DOWNWARD TO MAIN 1% MIN. TO 45° MAX. DEPTH OF SERVICE AT PROPERTY LINE WILL BE SHOWN ON PLANS BY ENGINEER IF GREATER

THAN 4', OTHERWISE THE INSTALLED DEPTH WILL BE 4' MIN. AND 6' MAX. AT PROPERTY LINE. IF

WASTEWATER SERVICE LINE TO MAIN REQUIRES DEFLECTION EXCEEDING 45°, SEE SHEET 3 OF 4.

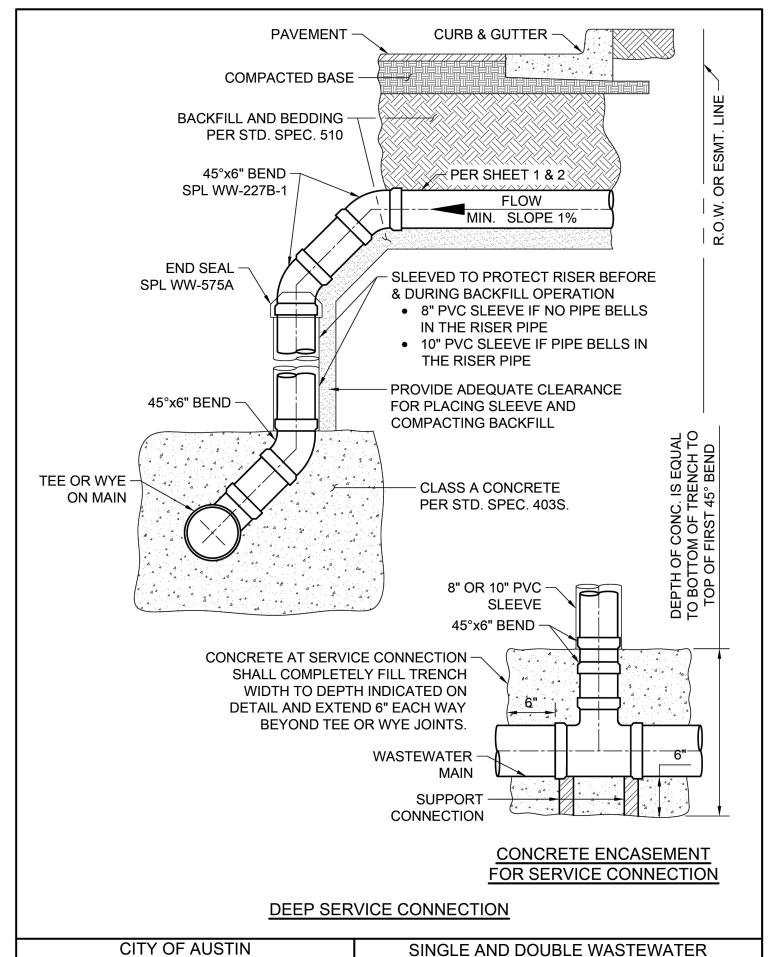
PIPING IN STREET RIGHT-OF-WAY AND IN EASEMENT AREA SHALL BE BEDDED IN GRANULAR

MATERIALS AS REQUIRED BY CITY OF AUSTIN STANDARD SPECIFICATION 510.3 (14); MATERIALS

SHALL BE AS SPECIFIED IN 510.2 (2)(A) AND (3)(B); BACKFILL ABOVE THE GRANULAR BEDDING SHALL BE AS REQUIRED BY SECTION 510.3 (25). SERVICE LINES IN THESE AREAS SHALL HAVE A

MIN. COVER BELOW FINAL STREET GRADE OF 42".

NOTES:



AUSTIN WATER

11/07/2018

ADOPTED

RECORD COPY SIGNED

JEFF A. KYLE

SERVICE CONNECTION

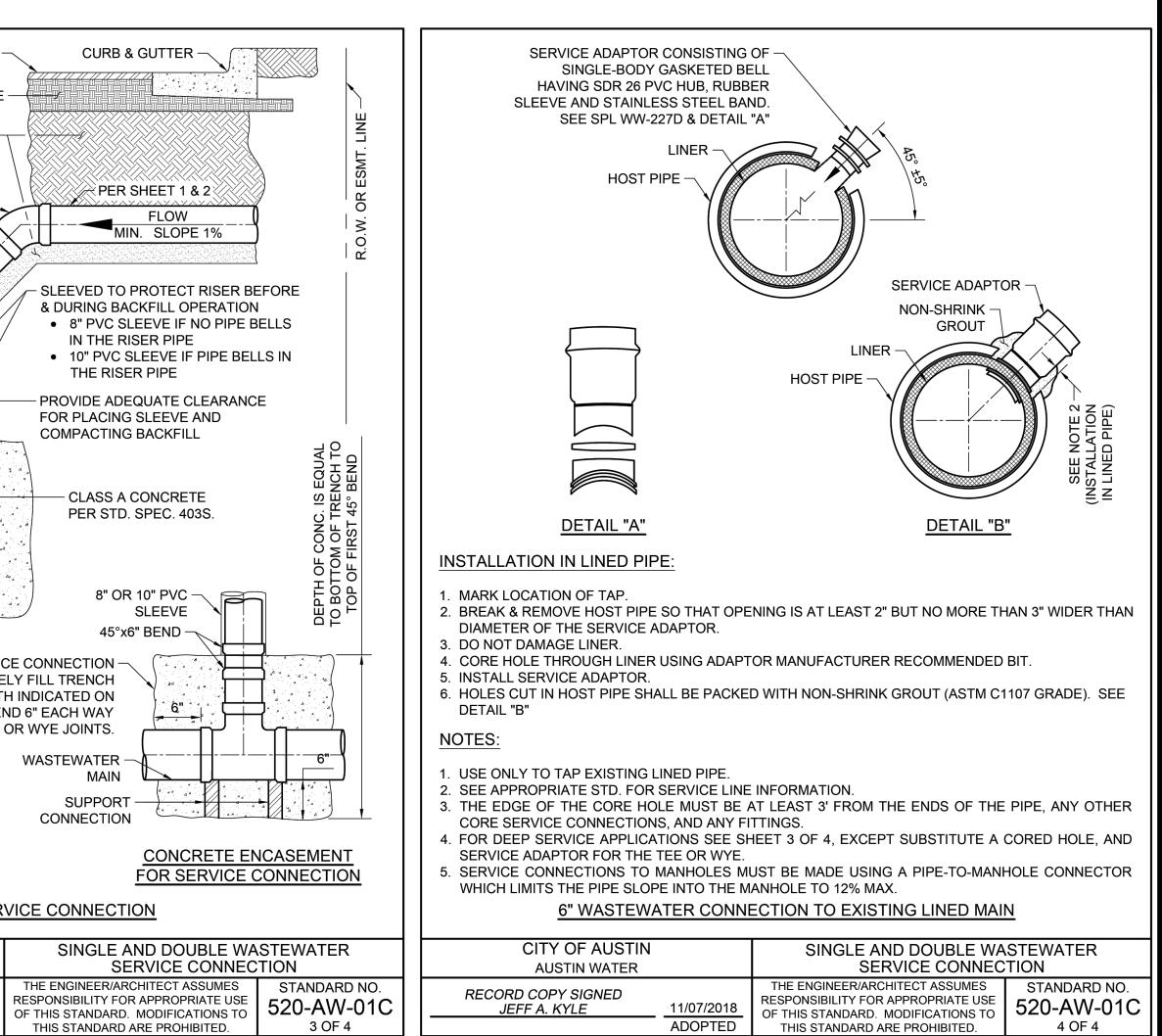
STANDARD NO.

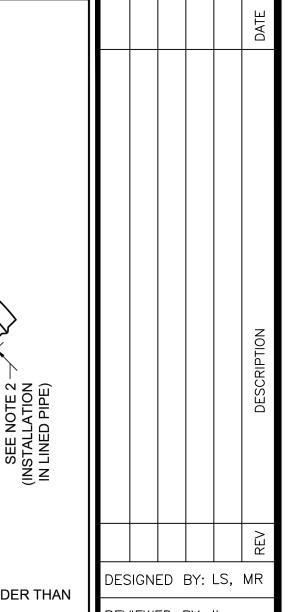
3 OF 4

THE ENGINEER/ARCHITECT ASSUMES

RESPONSIBILITY FOR APPROPRIATE USE

THIS STANDARD ARE PROHIBITED.





REVIEWED BY: IL

DRAWN BY: LS, MR

DEVELOPMENT PLANS FOR VALVERDE AMENITY CENTER BASTROP, TEXAS

BRIAN J. GRACE

SHEET 19 OF 29

GENERAL CONSTRUCTION NOTES

- 1. These drawings and documents are submitted to the Owner of the project for review and approval prior to any release for bidding or construction. Contractors shall receive all bid information, instructions, bid forms, general terms and conditions, and all other required clarification from the Owner's Authorized Representative administering this project. Unless otherwise indicated, the Owner's Representative for this project shall be a specifically designated Landscape Architect from SEC Planning. The contractor will also be required to coordinate and correspond with the Landscape Architect from SEC Planning and key consultants for the Owner.
- 2. These drawings supplement other contractual information which includes Bid Instructions and Project Specifications. Anything mentioned in the Project Specifications and not in the drawings, or vice-versa, shall be of like effect as if shown on or mentioned in both. In case of a discrepancy between Drawings or Project Specifications, the matter shall be immediately submitted to the Owners Representative; without his decision said discrepancy shall not be adjusted by the Contractor, save only at his own risk and expense. The contractor shall not take advantage of any apparent error or omission on the Drawings or in the Specifications. In the event the Contractor discovers such error or omission, they shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Contractor to fulfill the intent of the Contract.
- 3. The intent of these drawings, details and associated specifications is for the Contractor to provide the Owner with a complete, accurate, functionally and technically sound project as generally described in these documents. In most cases, unless explicitly noted otherwise, drawing symbols are used to represent complete-in-place systems to be provided as part of the base bid. All elements shown or implied by the drawings, if not specifically detailed or specified, shall be installed per building codes, manufacturer's recommendations, state highway department standards, city standards and specifications and standard industry
- 4. All plan quantities provided are approximate only. The Contractor is responsible for their own plan take-off's and accuracy of their bid based on actual site conditions. The contractor shall not take advantage of any apparent error or omission on the Drawings or in the Specifications. In the event the Contractor discovers such error or omission, they shall immediately notify the Owner's Representative. The Owner's Representative will then make such clarification and interpretations as may be deemed necessary for the Contractor to fulfill the intent of the Contract.
- 5. All work within this project shall conform to current local codes, ordinances, as well as all other applicable governing regulations in effect.
- 6. All range points, ties, benchmarks or other survey control points which may be encountered during construction, must be preserved or modified/recorded by a registered surveyor at the Contractor's expense. Immediately upon discovery, the Contractor shall notify the Owner's Representative of any survey control points found and obtain direction prior to proceeding with construction.
- 7. The Contractor shall coordinate and obtain all permits which are necessary to perform the proposed work. Owner is to pay for all construction permits unless otherwise indicated in the Contract Documents. Contractor shall obtain, at his expense, all specialty permits needed for specific items included with the work, unless otherwise indicated in the Contract Documents. Should the Contractor commence work, prior to obtaining the required permits or jurisdictional approvals, the Contractor shall be responsible corrections, modifications, replacement or removal of the non-permitted work.
- 8. It is the Contractor's responsibility to be aware of and comply with all notifications and inspection requirements of the Jurisdiction.
- 9. Unless specifically noted otherwise in the Contract Documents, the Contractor shall obtain and coordinate all technical tests and reports by a certified independent laboratory or agency as outlined in the Specifications or these Drawings. The Owner may, at the Owner's sole discretion, provide separate testing and/or inspection service and the Contractor is required to fully coordinate with those consultants/contractors. Owner is to pay for all soils and materials testing.
- 10. An Existing Condition Survey may have been provided to the Owner by registered surveyors under separate contracts for the basis of design. It is not to be considered as part of these Contract Documents. If provided, these survey plans may have been reformatted and included in these documents. The Contractor is required to visit the site to verify information. Without exception, any deviations or omissions found between these plans and existing site conditions shall immediately be brought to the attention of the Owner's Representative, but will not be considered as basis for additional payment except as allowed in change order process per General Conditions and Supplementary Conditions under the "Owner-Contractor Agreements/Contracts. For official survey information, Contractor may wish to contact the Owner, or Owner's surveyor at the Contractors expense.
- 11. Existing utility information and utility information for proposed work by others that is shown in these documents is approximate and for general information only. It is not intended to depict exact locations of all utilities. The Contractor shall notify all utility companies to stake and field verify the locations including depths of all utilities (existing, proposed by others, or currently under construction), prior to commencing any related operations. Contractor shall maintain utility locations/structures during all remaining phases of work. The Contractor shall report to the Owner's Representative any utilities that may conflict with proposed work. This Contractor shall explore, understand, and coordinate (with subcontractors and others) all utilities impacts prior to submitting bid and shall be responsible for any modifications or damages to utility lines, structures or injuries therefrom. For existing utility information contact Texas 811. A minimum notice of 3 business days in advance of locational needs is required.
- 12. These drawings do not specify safety materials, staffing, equipment, methods or sequencing to protect persons and property. It shall be the Contractor's sole responsibility to direct and implement safety operations, staffing, procedures to protect the Owner and his representatives, new improvements, property, other contractors, the public and others.
- 13. The Contractor shall meet periodically with the Owner's Representative to determine marshalling areas, on-site storage, and contractor staff parking and to coordinate security issues, construction sequencing/phasing, scheduling, and maintaining public, emergency, handicapped or operations access before starting the related work. The Contractor shall meet any "Construction Criteria" or requirements shown on any Contract Documents, phasing plans or any imposed plan by the Owner as a part of the Base Bid.
- 14. Some work in this Contract may occur concurrent with work by others. Phasing, sequencing and coordination, with work by others, and on-going facility operations in and around the site area, is a part of the scope of work for this project. Notice to proceed with work in any general area shall be obtained from the Owner.
- 15. The Contractor will be required to complete all the work of this project according to these proposed drawings or subsequent clarification. A strict period of performance, including dates of substantial completion (for all and/or portions) and liquidation damages may be an integral element of the Contract
- 16. Any site improvements requiring removal under this contract shall be properly and legally disposed off-site or, at the Owner's option, surrendered/stockpiled in an
- approved on-site location per the direction of the Owner or Owner's Representative. 17. The Contractor is required to maintain a complete and "up-to-date" set of all Contract Documents, including clarifications, change orders, etc., in good condition, at the construction site at all times. This set of documents will be made immediately available for review by the Owner's Representative and/or authorized
- 18. Maintenance, warranties and performance guarantees may be a requirement of this contract see specifications.

Consultants upon request. Complete "As-Built" drawings and document submittals are also a requirement of this contract.

- 19. Notes and details on specific drawings shall take precedence over general notes and typical details. The Contractor shall refer to all other Division Notes, Sheets Notes, Drawings and Project Contract Documents for additional information.
- 20. Contractor shall refer to other related drawings for all other related improvements that will impact this project and require coordination. Drawings may be made available to the Contractors at request.

TREE PROTECTION NOTE

1. All existing trees shall be protected from construction activities within construction zone. During which time, the use of a silt or chain link fence is required around each singular or group of protected trees. Parking of construction vehicles, equipment, and stockpiles within tree root zones is strictly prohibited. Contractor shall LIGHTING be responsible for any damage incurred to existing trees, including replacement, fees, fines or reimbursement to owner for said damages and, or to the City or Jurisdiction with governing authority per the Tree Ordinance.

OAK WILT PREVENTION NOTE

1. If Oak Wilt is found on site within work zone, owner must be notified and the following procedures must be followed in accordance with USDA standards, (http://www.na.fs.fed.us) including disinfecting construction removal devices, tree removal and treatment to prevent development of spore mats. These treatments include debarking, chipping and drying the wood, covering dead wood with plastic, burying the edges for six months and air drying for a similar amount of time to kill fungus and associated insects off site at state designated facility.

- 1. Layout of concrete walkways shall be staked in the field and review by the Owner or Owner's Representative prior to construction. At that time walk may be adjusted as needed, using the Hardscape Plan as a guide. All grades and layout shall be confirmed prior to construction. Notify Owner and Owner's Representative of any conflicts or deviations to the issued plans.
- 2. All pedestrian paths shall be in compliance with all current Texas Accessibility Standards (T.A.S.) and ADA standards
- 3. All walkway grades shall have a running slope of no greater than 4.7% (1:21) and a cross-slope that is not greater than 1.5% (1:66).
- 4. Slopes at or between 5.0% (1:20) and 8.3% (1:12) must have hand rails on both sides with ADA compliant level landings, and cross-slopes shall not exceed 1.5%

HARDSCAPE LAYOUT AND INSTALLATION

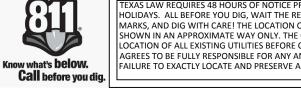
- 1. All work shown shall be field staked and subject to field verification, review and approval by the Owner or Owner's Representative prior to any constructions or demolition. Field staking of all proposed work and adjacent construction (even if future work by others) may be required by the Owner's Representative prior to approval of all improvements and adequate stakes shall be provided by Contractor's surveyor.
- 2. To expedite, the layout of the site layout coordinates and/or grids may have been established in the Drawings. These points shall be field staked by the Contractor's surveyor as a part of this contract. The establishment of these points shall be approved by the Owner's Representative prior to any construction in those areas and will assist the Contractor in the layout of all site improvements as shown on drawing or otherwise.
- 3. The construction tolerances for this project are minimal and the dimensions shown are to be strictly adhered to.
- 4. Computed dimensions shall take precedence over scaled dimensions. Large scale drawings shall take precedence over small scale drawings. Dimensions shown with (+/-) shall be the only layout information allowed to vary, and may only vary to the tolerances given.
- The Contractor is responsible to provide complete-in-place systems, and a complete project. Any intermittent or periodic approvals received for portions of work, stakes, grades, or forms (by the Owner or Owner's Representative, Architects, Engineers, or others) shall not waive the Contractor's requirements to comply with the intent of any and all portions of this contract.
- 6. All locations for walks, roads, swales, walls, curbs, structures etc. shall be staked by the Contractor. All layout information is based on ground coordinates and the Contractor shall meet with the owner's surveyors and engineers to clarify all datum, benchmark and control point requirements. Specific layout information will be provided to the Contractor by the Owner's Representative in AutoCAD (.dwg) format when requested.
- 7. It is the intent and requirement of this contract to provide curvilinear walks, walls and curbs with smooth transitions and arcs (both horizontal and vertical). Straight segments and abrupt transitions will not be accepted unless shown as such on the plans. Wood curving forms may be required to obtain the proper effects.
- 8. Hardscape improvements that are to be constructed per the drawings, shall be coordinated on site with the Owner's Representative, and be field staked or painted for approval of layout by the Owner's Representative prior to installation. Notify the Owner's Representative a minimum of 24 hours in advance for review. Improvements installed without field approval by Owner's Representative may be rejected and will be replaced at Contractors expense. At the time of staking, the Contractor shall confirm the quantity of the improvements match the approved contract. In the event the Contractor discovers such a discrepancy, he shall immediately notify the Owner's or Owner's Representative for direction on how to proceed, prior to commencing work.
- 9. All lot fencing or lot screen walls shall be placed on the property line or property boundary. Contractor shall confirm final location by field staking, to be reviewed by the Owner or Owner's Representative prior to construction.
- 10. Rock gravel, rock mulch, synthetic mulch should be installed over weed barrier fabric. Weed barrier fabric should overlap edges a minimum of 6".

- 1. The Contractor shall obtain and review the Summary Report and Recommendations prepared by the geotechnical engineers and fully understand the existing soil conditions encountered prior to submitting bid. The Contractor shall comply with all recommendations made by the geotechnical engineers, civil engineers, structural engineers and Owner's Representative, as designated in the soil report, on these drawings, specified, or as directed during field observations and
- 2. All earthwork operations will be subject to full inspection and regular testing by a qualified soils and materials engineer and this Contractor shall be responsible to coordinate scheduling, notification and procuring test results and documentation as required. The Contractor shall notify the Owner's Representative of any subsoil conditions encountered, which vary from those found during previous soil investigations and/or that may not have been known during design. Any failed tests which must be retested will be a Contractor's expense.
- All earthwork operations shall be conducted in strict compliance with the project specifications including but not limited to:
- a. Full locating, investigating and protection of ALL existing utilities to remain.
- b. Removal of any organic materials or debris.
- c. Stripping and stockpiling of all topsoil in approved location(s).
- d. Removal of all unstable fill materials encountered.

Supplementary Conditions under the existing "Owner-Contractor Agreements/Contracts".

- e. Scarification and re-compaction to the minimum depth as specified and/or directed within all areas to receive fill, pavements or structures. f. All classifications of "excavation" as required to meet proposed lines, grades, typical cross sections and improvement elevations.
- g. Placement, shaping, and structural compaction of all classifications of "fill" or "embankment" as required to meet proposed lines, grades, typical cross sections and improvement elevations
- h. Providing dewatering, optimum moisture control, climate protection, dust control, erosion control and all other specified treatments. i. Replacement of topsoil after grading changes have been accomplished.
- 4. See, and comply with, all specifications for depth of moisture density treatments, controls and compaction requirements.
- These grading plans are intended to show vertical control of the site and are based upon the benchmarks, existing elevations and topography as provided by the Owner's surveyor. However, the Contractor, upon submittal of bid, agrees to accept the site grades and make all adjustments required to accomplish the work as proposed. Additionally proposed design elevations for adjacent construction projects may have to be incorporated if necessary. (Construction drawings for work by others, if applicable, are available upon request). Staking of future adjacent improvements, by this contract phase or by others, may be required if directed by the
- Owner's Representative to ensure proper coordination and requested staking is to be provided as part of this Base Bid. This Contractor shall verify all existing grades to remain and all adjacent new construction grades for compliance with those shown, prior to bid and construction. All deviations or conflicts with proposed work shall be reported immediately (with follow-up written) notice within 24 hours to the Owner's Representative for direction to proceed, but will not be considered as basis for additional payment except as allowed in change order process per General Conditions and
- 7. The plans may call for specific temporary benchmarks to be transferred to the site by a certified surveyor and accurately established on site as a part of this contract. Contractor shall verify all benchmarks and information used in design and compare to existing conditions.
- 8. It is this Contractor's responsibility to provide proper positive drainage throughout this contract area. Field conditions shall be verified in conjunction with the proposed elevations to ensure that adequate drainage is provided. Report deviations or conflicts to Owner's Representative. Unless otherwise indicated, minimum slope for paved surfaces shall be 1.5% and minimum slope for non-paved areas shall be 2%. Slope away from all structures shall be 2% minimum, for a distance of 5' minimum. Maximum ground slopes to be 4' horizontal to 1' vertical, unless otherwise approved in advance.
- All design elevations shown are "finished grades" unless otherwise indicated. Contractors shall refer to drawings, details and specifications regarding depth of sub-grade materials required to construct project improvements.
- 10. All topsoil and/or drainage way muck excavation shall be saved and stockpiled in approved locations for future use.

- Landscape lighting system is to be installed by a licensed electrician with documented experience in installing lighting systems of similar scope within the last two years. The Contractor is to supply a complete lighting system including all associated equipment such as conduit, weather proof and/or water proof junction boxes, ballasts, connectors, harnesses, time clocks, photocells, etc.
- The Contractor shall review proposed layout of lighting system and all related equipment locations with the Owner or Owner's Representative prior to
- After installation the Contractor will be required to adjust light fixtures until the Owner's Representative is satisfied with the desired effect. This will require the Contractor and/or the Contractor's electrician to meet with the Owner and Owner's Representative after sunset. This adjustment is to be included in the base Bid
- The Contractor shall provide a two year warranty on all equipment including lamps, ballasts and installation.
- Independent ballasts, if required, shall be "ganged" in an inconspicuous, accessible location in a horizontal, weatherproof box or tray near ground level. Mounting of ballast in trees will not be allowed without written authorization from the Owner's Representative.
- 6. All exposed boxes, trays, conduit, etc. shall be painted by the contractor to blend in with surrounding landscape elements.
- All equipment shall be U.L. listed and installation shall comply with N.E.C. and all other applicable codes.
- 8. All lights are to be controlled by a photocell on and timer off system unless specified otherwise on the drawings.
- 9. All wire run underground must be in rigid conduit.
- 10. Plan layout of underground wiring to minimize disturbance to the roots of existing trees. If underground wiring must pass through the critical root zone of protected trees, trenching and related work must be preformed by hand. No mechanical trenching is permitted within the Critical Root Zone.
- 11. Tree lighting (if applicable):
- a) Install Karlock (or equal) flexible conduit from base of tree to a minimum eight foot height above ground. At the end of the conduit install a waterproof hub (for single cable) or W-P bell box for multiple cables. Paint conduit and box to match tree trunk. Use SJTO electrical cord from conduit to light fixture. Attach cord to tree using long galvanized cord staples or other approved method. Provide a 36" loop of extra cord at the light fixture to allow for light adjustment and tree
- b) Attach light fixtures to trees utilizing galvanized mounting plates drilled for hub connection with a minimum of two mounting screws. Mounting screws are to be %-20 threads x 5" length (one end wood screw threads and the other end bolt threads). Install at least two inches of thread into tree and install with at least two inches between tree and mounting plate.
- c) All tree downlights are to be mounted in the top third of the tree canopy. d) All fixtures are to be located, adjusted as needed and shielded to prevent glare, light trespass on to adjacent properties or Rights-of-way.



TEXAS LAW REQUIRES 48 HOURS OF NOTICE PRIOR TO DIGGING. EXCLUDING WEEKENDS AND HOLIDAYS. ALL BEFORE YOU DIG, WAIT THE REQUIRED AMOUNT OF TIME, RESPECT THE ARKS, AND DIG WITH CARE! THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE HOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXAC OCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR GREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY A LURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



4201 W. Parmer Lane Bldg A Suite 220 Austin, TX 78727 T 512.246.7003 www.secplanning.com

LAND PLANNING

LANDSCAPE ARCHITECTURE

COMMUNITY BRANDING

America's Builder 10700 PECAN PARK BLVD, 4th FLOOR AUSTIN, TX 78750 T: 281-979-7426



05/09/2024

AM AL D.

Drawing File Name Sheets\LN-1-CITY SUBMITTAL.dwg Issued: 12/14/2023 . CLIENT REVIEW CITY SUBMITTAL 05/09/2024 Revisions: Issue Date: 05/09/2024 Drawn By: JC, JL, OD

Reviewed By: CM

CONSTRUCTION NOTES

200202-HORT

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COMMUNITY BRANDING 4201 W. Parmer Lane Bldg A Suite 220 Austin, TX 78727 T 512.246.7003

D·R·HORTON America's Builder 10700 PECAN PARK BLVD, 4th FLOOR AUSTIN, TX 78750

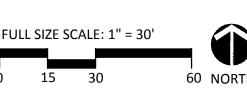
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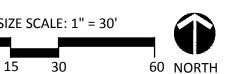
05/09/2024

LIGHTING LEGEND QTY. CATEGORY FIXTURE DESCRIPTION (S2) POOL AREA LIGHT, VOLLEYBALL LITHONIA LIGHTING COURT, PICKLEBALL COURT FULL CUTOFF SITE FIXTURE DSX2 LED P8 40K T4M VOLTAGE SPA NLTAIR2 PIRHN FINISH 82 L.F. (T) STRING LIGHTS A5-ZOZO-STN-24-27K-GSF-WET-XX LITHONIA LIGHTING (S1) PARKING LIGHT DSXO LED P6 40K T4M VOLTAGE SPA FULL CUTOFF SITE FIXTURE NLTAIR2 PIRHN FINISH OUTDOOR ELECTRICAL OUTLET PER CONTRACTOR

NOTES: CONTRACTOR RESPONSIBLE FOR FULL WORKING AUTOMATED LIGHTING SYSTEM, WHICH INCLUDES NECESSARY ELECTRICAL PANELS, JUNCTION BOXES, RUNNING CONDUIT TO METER AND PHOTOCELL SENSOR.



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L-4.0 <u>21</u> of <u>29</u>

Drawing File Name

Sheets\L-4-Sheets_recover.dwg

1. CLIENT REVIEW

CITY SUBMITTAL

Drawn By: JC, JL, OD

Reviewed By: CM

Issued:

Revisions:

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Issue Date: <u>05/09/2024</u>

200202-HORT

LIGHTING PLAN





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D·R·HORTON° America's Builder 10700 PECAN PARK BLVD, 4th FLOOR AUSTIN, TX 78750

T: 281-979-7426



05/09/2024

VALVERDE AME A D.R. HORTON LANDSCAPE IMPRO BASTROP,

 $\label{lem:v:loop} V:\200202-HORT\Cadfiles\LA\Amenity\Sheets\CD\ Set Sheets\L-4-Sheets_recover.dwg$ Issued: 1. CLIENT REVIEW 12/14/2023 05/09/2024 2. CITY SUBMITTAL Revisions: Issue Date: 05/09/2024 Drawn By: JC, JL, OD Reviewed By: CM

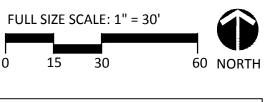
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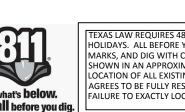
200202-HORT

PHOTOMETRIC PLAN

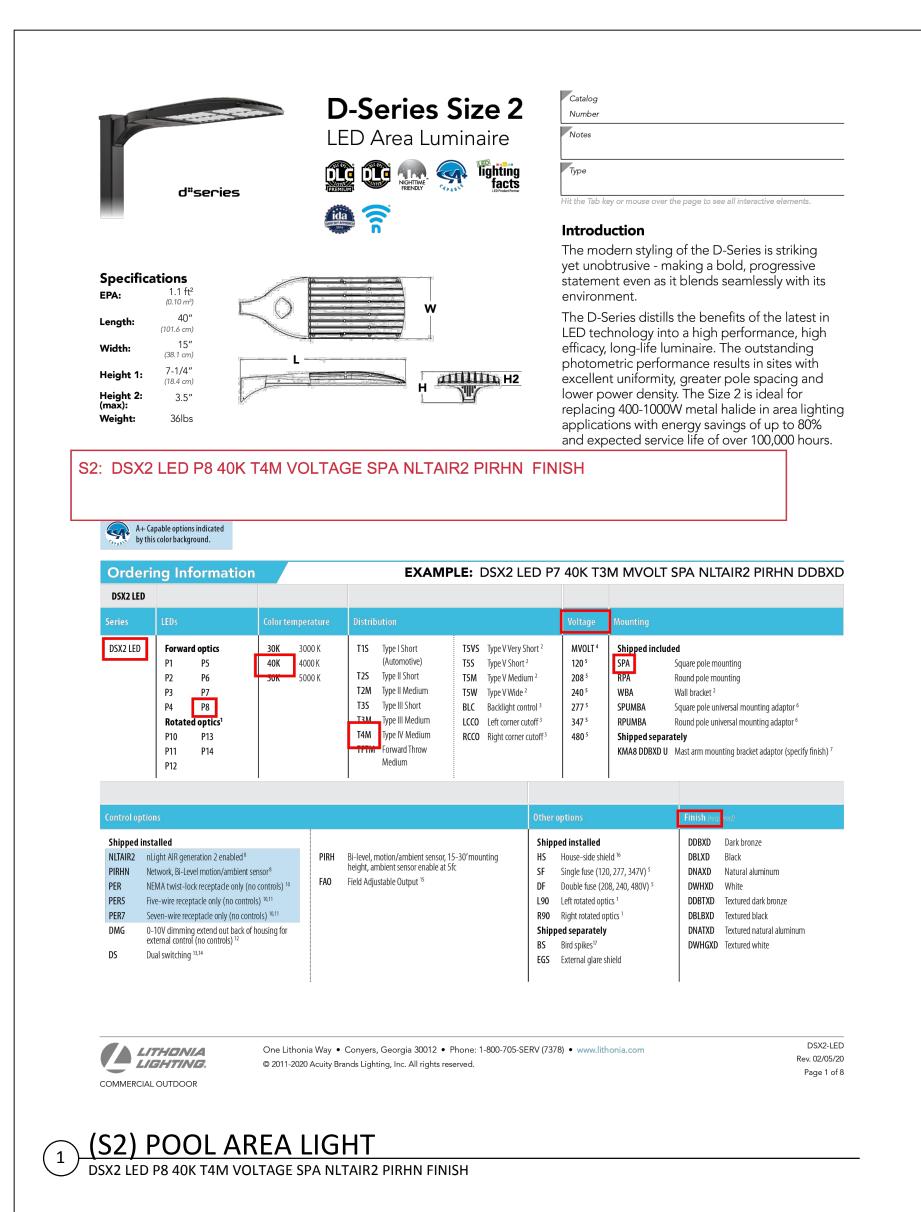
L-4.1 <u>22</u> of <u>29</u> The reproduction, copying or other use of this drawing without the written consent of SEC Planning, LLC is prohibited.

Statistics Description Min Max/Min Avg/Min 0.6 fc 4.3:1 2.7:1 + 1.6 fc 2.6 fc Parking Area 30.9 fc 39.0 fc 22.9 fc 1.7:1 1.3:1 Pickleball 0.7 fc 1.1:1 1.0:1 0.8 fc Stringlight Area Volleyball 18.6 fc 24.5 fc 11.7 fc | 2.1:1 | 1.6:1 Code Compliant Calculation 16.2 fc | 20.5 fc 10.3 fc | 2.0:1 | 1.6:1





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LITHONIA LIGHTING® Catalog Number

INTENDEDUSE - These specifications are for USA standards only. Check with factory for Canadian and Canadian are for USA standards on the Canadian and Canadian are for USA standards on the USA standards on the USA standar**specifications.** Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights.

(11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-

frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and

Pole Top: A flush non-metalic black top cap is provided for all poles that will receive drilling patterns for

Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side

A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech

Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware.

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with

Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be

altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured

to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI).

HARDWARE – All structural fasteners are high-strength galvanized carbon steel. All non-structural

FINISH — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze

and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red

and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but

are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors

and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint

This pole provides a robust yet cost effective option for mounting area lights and floodlights. **CONSTRUCTION** — **Pole Shaft:** The note shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI

FEATURES & SPECIFICATIONS

excellent torsional qualities. Available shaft widths are 4", 5" and 6".

side-mount luminaire arm assemblies or when ordered with PT option.

each pole assembly. Additional base cover options are available upon request.

Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

WARRANTY — 1-year limited warranty. Complete warranty terms located at:

NOTE: Actual performance may differ as a result of end-user environment and application.

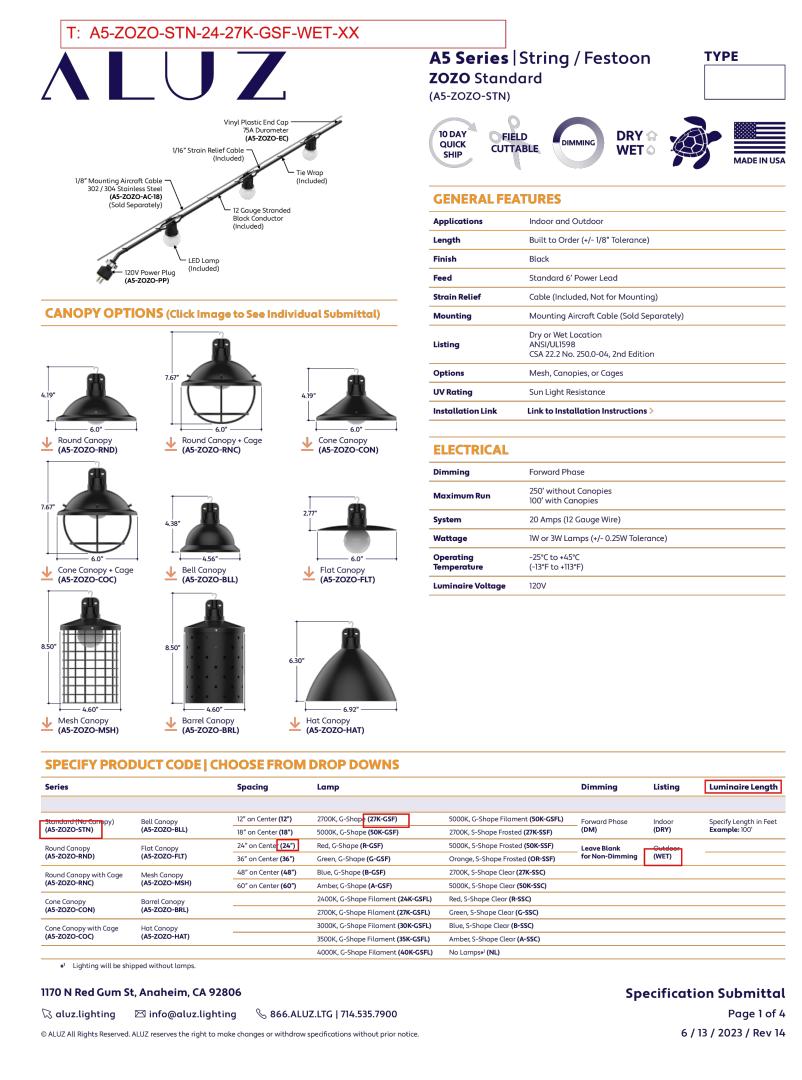
www.acuitybrands.com/CustomerResources/Terms and conditions.aspx

Specifications subject to change without notice.

S1 and S2 Pole: SSS 30 5C DM19AS FINISH

fasteners are galvanized or zinc-plated carbon steel or stainless steel.

The handhole has a nominal dimension of 2.5" x 5".







2. PT open top poles include top cap. When ordering tenon mounting and

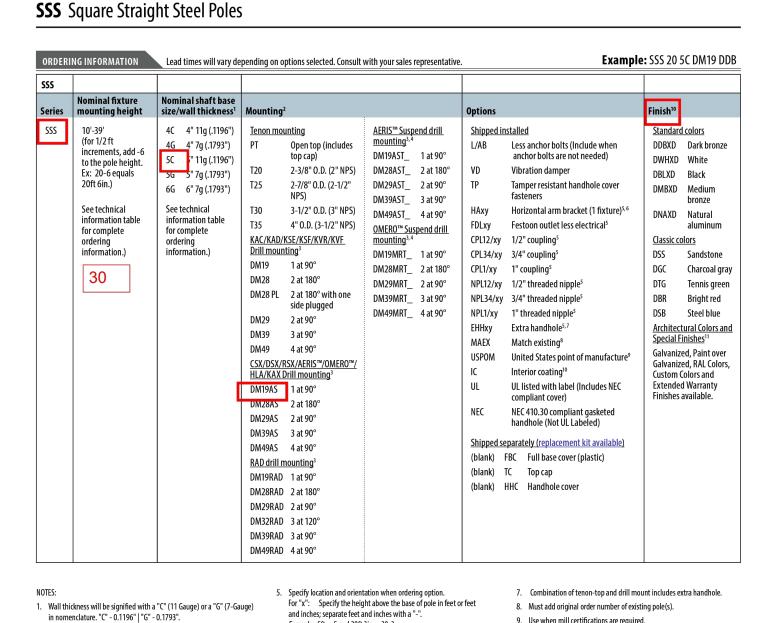
drill mounting for the same pole, follow this example: DM28/T20.

3. Refer to the fixture spec sheet for the correct drilling template pattern

Insert "1" or "2" to designate fixture size; e.g. DM19AST2.

Anchor Base Poles

SQUARE STRAIGHT STEEL



Example: 5ft = 5 and 20ft 3in = 20-3

For "v": Specify orientation from handhole (A.B.C.D)

same height, specify with HAxyy. Example: HA20BD.

Example: 1/2" coupling at 5'8", orientation C = CPL12/5-8C

6. Horizontal arm is 18" x 2-3/8" O.D. tenon standard, with radius curve

providing 12" rise and 2-3/8" O.D. If ordering two horizontal arm at the

Refer to the Handhole Orientation diagram below.

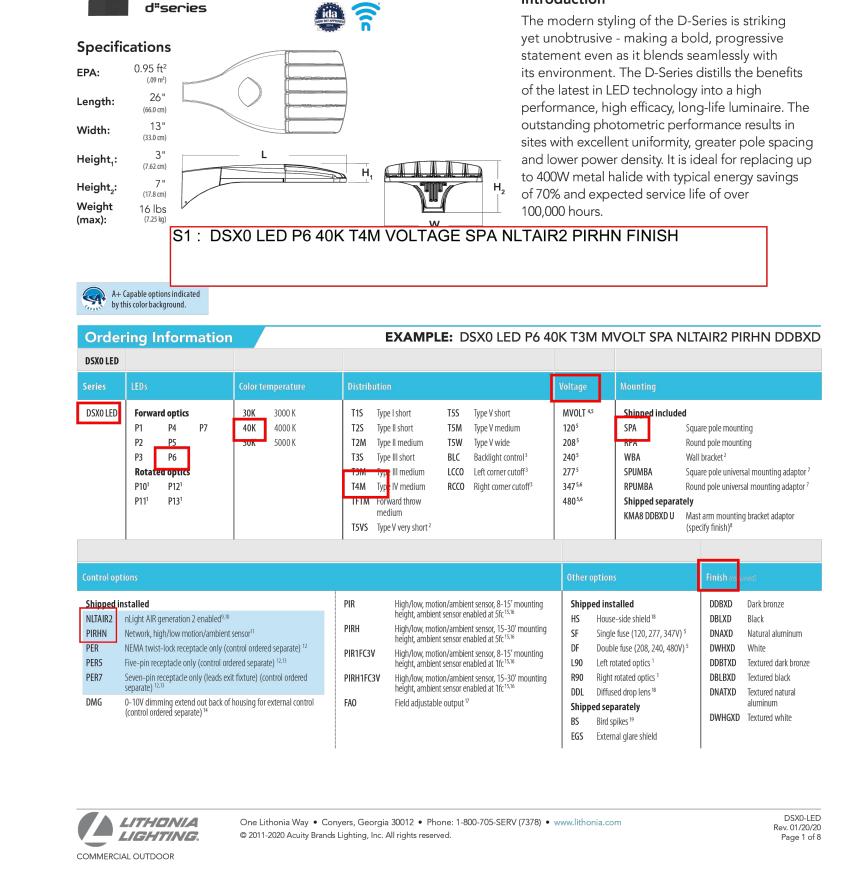
9. Use when mill certifications are required.

Provides enhanced corrosion resistance.

quote only, consult factory for details.

11. Additional colors available; see www.lithonia.com/archcolors or

Architectural Colors brochure (Form No. 794.3). Available by formal



(S1) PARKING LIGHT

D-Series Size 0

LED Area Luminaire

Introduction

ENITY O 'ALVERDE, D.R. HORT SSCAPE IN

SEC Planning, LLC

Austin, Texas

LAND PLANNING

LANDSCAPE ARCHITECTURE

COMMUNITY BRANDING

4201 W. Parmer Lane Bldg A Suite 220

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05/09/2024

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Drawing File Name V:\200202-HORT\Cadfiles\LA\Amenity\Sheets\CD Set Sheets\L-4-Sheets_recover.dwg Issued: 12/14/2023 . CLIENT REVIEW . CITY SUBMITTAL 05/09/2024 Revisions: Issue Date: 05/09/2024

Drawn By: JC, JL, OD Reviewed By: CM

200202-HORT

LIGHTING SPEC SHEETS

L-4.2 <u>23</u> of <u>29</u>

(S1, S2) POOL AREA LIGHT AND PARKING LIGHT POLE
SSS 30 5C DM19AS FINISH

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TEXAS LAW REQUIRES 48 HOURS OF NOTICE PRIOR TO DIGGING EXCLUDING WEEKENDS AND HOLIDAYS. ALL BEFORE YOU DIG, WAIT THE REQUIRED AMOUNT OF TIME, RESPECT THE ARKS, AND DIG WITH CARE! THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXAC OCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY A AILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

GENERAL PLANTING NOTES

- 1. Contractor shall be responsible for becoming aware of all related existing conditions, utilities, pipes and structures, etc. prior to bidding and construction. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines, including depths, prior to any excavation. The Contractor shall notify the Owner's representative of apparent conflicts with construction and utilities so that adjustments can be planned prior to installation. Contractor shall take sole responsibility for any and all cost or other liabilities incurred due to damage of said utilities/structures/etc.
- 2. The Contractor shall not willfully proceed with construction as designed when it is apparent that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's Representative for clarification. The Contractor shall assume full responsibility for all liabilities, including necessary revisions due to failure to give such notification.
- 3. Contractor shall be responsible for coordination with subcontractors and other contractors of related trades as required to accomplish the planting and related operations.
- 4. The acceptable tolerances for this project are minimal and specific layout is required as shown on the layout, planting and other plans. Final location and staking of all plant materials shall be accepted by the Owner's Representative in advance of plantings.
- 5. Coordinate installation of all plant material with installation of all adjacent irrigation, pavements, curb and related structures. Any damage to existing improvements is the responsibility of the Contractor.
- 6. Contractor shall notify Owner's Representative 48 hours prior to commencement of work to coordinate project inspection schedules.
- 7. The Contractor shall take all necessary scheduling and other precautions to avoid climatic damage to plants. A "planting" of specific calendar days is required to be submitted by the Contractor for approval and planting operations should occur per this approved schedule.
- 8. If conflicts arise between size of areas and plans, Contractor is required to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate the materials.
- 9. Plant names may be abbreviated on the drawings. See plant legend for symbols, abbreviations, botanical/common names, sizes, estimated quantities (if given) and other remarks.
- 10. It is the Contractor's responsibility to furnish all plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Contractor and certified pest and disease free. It is the Contractor's obligation to maintain and warranty all plant materials per the specifications. All plants shall be subject to Owner's approval prior to installation.
- 11. Where provided, area takeoffs and plant quantity estimates in plant list are for information only. Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans. In case of any discrepancies, plans take precedence over call-outs and/or the plant list(s).
- 12. Contractor shall provide "per-unit costs" for every size of plant material, and by type, as called out on Planting Plans in the Bid Proposal. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, warranty, etc., as detailed and specified for each size, "complete in place".
- 13. The Contractor is responsible to restore all areas of the site, or adjacent areas, where disturbed by operations of or related to the Contractor's work. Sod areas disturbed shall be restored with new sod. Native areas disturbed, if not already improved to meet other requirements of this contract, shall be restored consistent with type, rates and species of existing condition.
- 14. During plant establishment, native and wetland areas shall be protected from sedimentation and erosion. Prior to construction activities, native and wetland areas outside of the project limits shall be protected with silt fence.
- 15. When planting trees and shrubs in existing natural areas, minimize disturbance to adjacent existing vegetation.
- 16. No Ball & Burlap (B&B) material will be allowed or accepted unless specifically specified.
- 17. All plants shall be nursery grown, Grade 1 plants meeting American Nursery and Landscape Association (ANLA) standards set forth in the "American Standard for Nursery Stock" (ANSI Z60.1-2004). Plants are to be typical in shape and size for species. Plants shall not be root-bound or loose in their containers. Handle all plants with care in transporting, planting and maintenance until inspection and final acceptance.
- 18. Warranty: Provide a one-year replacement warranty for all plant materials. Warranty shall cover plants which have died or partially died (thereby ruining their natural shape), but shall not include damage by vandalism, browsing, hail, abnormal freezes, drought or negligence by the Owner. The Warranty is intended to cover Contractor negligence, infestations, disease and damage or shock to plants. Plants replaced under Warranty will be warranted for one year following replacement.

PLANTING LAYOUT AND INSTALLATION

- 1. The Contractor shall be responsible for accurately laying out the plant beds and lawn areas by scaling the Drawings. The Contractor shall provide paint lines/stakes/hose or other means to fully indicate the specific layout geometry of all bed lines for approval by Owner's Representative prior to installation. The Contractor's Base Bid shall anticipate minor adjustments as directed by the Landscape Architect in the field. Changes affecting quantities will be covered by unit prices.
- 2. Following the approval of layout, the Contractor shall closely coordinate the installation of the irrigation system to conform to the approved layout.
- 3. All planting beds are to be separated from adjacent Turf Sod, Turf Seed and Native Seed areas with edging per specifications and details. Additional locations may be indicated on the Drawings. Install edging following manufacture's installation instructions. Maintain an accurate layout with smooth curves and transitions, free of kinks and abrupt bends. Top of edging is to be 1" above soil level of adjacent turf. In Bid Proposal furnish a unit price per linear foot of edging installed.
- 4. Provide matching sizes and forms for all species of trees and plants installed on grid or spaced equally in rows as shown on drawings. Adjust spacing (to "equal-equal") as necessary, subject to acceptance by the Owner's Representative.
- 5. Unless otherwise indicated:
- a. All groupings of groundcovers, perennials, ornamental grasses and annuals shall be triangularly spaced (equal-equal).
- b. All planting areas including sod, seed and planting beds, shall receive soil amendments per the notes and specifications.
- c. Sodded lawn shall have been grown between 9 and 18 months and shall be vigorous, well-rooted and healthy turf. Minimum thatch thickness shall be ¾".
- d. All gravel areas or rock mulches should be installed over weed barrier fabric. Edges of weed barrier should overlap minimum 6".
- e. All bulb planting shall occur after mid-October and before ground is frozen. See details for bulb planting layout.
- 6. All Plant Beds and pit planted plants shall receive a 3" depth layer of shredded hardwood mulch. Refer to plans, details and specifications for location and type of any alternate mulch used. In Bid Proposal furnish a unit price(s) per cubic yard of mulch(es) placed. This unit price(s) will be used in the adjustment of bed areas.
- 7. Planting pits for 1 and 5 gallon shrubs shall be at least 8" larger in diameter than the container size. Larger container sizes and B&B plants shall be planted in pits at least 3 times larger in diameter than the root ball size.
- 8. Plants shall be installed to present their best side facing the viewer.
- 9. Owner's representative shall have final approval of plant material layout.

IRRIGATION GENERAL NOTES:

- 1. Obtain all permits and licenses applicable prior to the start of work.
- 2. All required landscape areas shall be irrigated per applicable local ordinances and toeq regulations.
- 3. Drip irrigation shall be placed in accordance with manufacturer recommendations. extend drip lines to irrigate planting adjacent to plant beds.
 - a. Maximum drip lateral length shall not exceed manufacturer specifications
- 4. Any quantities shown are approximate. verify quantities and provide all labor, materials, and devices necessary to complete the irrigation system.
- 5. The layout shown is diagrammatic. do not place lines or devices in the critical root zone of any tree, or in pavement areas, or areas that conflict with proper installation and function of the system.

6. Site conditions:

- a. Verify and mark the location of all on-site utilities which might be affected by the irrigation system.
- b. Verify and mark the location of all buried cables, conduits, piping, etc. prior to trenching or digging. call Texas 811 per Texas utilities code title 5 chapter 251 underground facility damage prevention and safety.
- c. Adjust the design as necessary, together with the licensed irrigator, and owners, to suit site conditions, elevations and grades before proceeding with work.
- d. Protect from damage as necessary, existing property, existing landscape features, plant material, structures, this work in progress,
- 7. Provide professional grade valve boxes large enough to accommodate valves and other devices shown in the details. box extensions may be required. ground boxes shall be constructed of materials sufficient in strength to accept loads (pedestrian or vehicular) required based on actual installation location.

8. Pressure regulating component(s) shall be required where static pressure exceeds manufacturer's recommended operating range.

9. See details for other required materials and devices.

10. Piping and fittings:

a. Mainline irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe. lateral irrigation system piping 3" and larger shall be bell & gasketed schedule 40 pvc pipe.

- b. All piping shall utilize thrust blocks at pipe connections per details. where leemco fitting/joint restraints are used thrust blocks may be excluded.
- c. All pipes and electrical bundles passing beneath driveways or paved areas must be sleeved with schedule 40 pvc pipe with solvent welded joints. sleeve diameter must equal twice that of the pipe or sized as shown on plans.
- d. All pvc pipe fittings shall be primed with a colored primer, prior to applying pvc cement.
- e. Irrigation mainline and laterals 4" and larger shall utilize leemco fittings/joint restraints as per manufacturer specifications.
- f. All lateral pipe shall buried to a min. depth of 6"
- g. All mainline pipe shall be buried to a depth of 18", where conditions prohibit this depth, a min. depth of 6" may be used when approved by the licensed irrigator

- a. Excavate to depths required to provide 4" depth of sand bedding for piping when rock or other unsuitable bearing materials are encountered
- b. Excavate trenches and install piping and fill during the same working day. do not leave open trenches or partially filled trenches open overnight

12. Irrigation controller and system shall be equipped with an evapotranspiration sensor for daily weather adjustment to run times, the e/t sensor shall have

rain/freeze shutoff.

- a. Irrigation controller shall be equipped with a flow sensor
- b. irrigation controller shall be programmed prior to project closeout.
- 13. Backflow prevention devices:
 - a. Install per manufacturer specifications
 - b. Adequate insulation must be provided to protect against freeze



LAND PLANNING LANDSCAPE ARCHITECTURE COMMUNITY BRANDING 4201 W. Parmer Lane Bldg A Suite 220

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05/09/2024

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Issued:	
1. CLIENT REVIEW	12/14/202
2. CITY SUBMITTAL	05/09/202
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Revisions:	
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Issue Date:	05/09/2024

Drawn By: JC, JL, OD Reviewed By: CM

200202-HORT

PLANTING NOTES

LPN-1 <u>24</u> of <u>29</u>

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	SC								
ODE	QTY	BOTANICAL / COMMON NAME		CONTAINER	CALIPER		HT/SPD \	VATER USE NO	OTES
	5 7	Quercus virginiana / Southern Live Oak Ulmus crassifolia / Cedar Elm		Container Grown			12-15 H X 8 Spd L 12-15 H X 8 Spd N		ust be from a Single Root Stock
NAME	NTAL 1	TREES						,	
TE	12	Cercis canadensis texensis / Texas Redbud Lagerstroemia indica Tuscarora / Crape Myrtle		Container Grown			-		ust be from a Single Root Stock
							·		asi be from a single Roof Stock
	QTY	BOTANICAL / COMMON NAME		CONTAINER	CONTAINE	R SIZE	NOTES \\	VATER USE	
<u>IRUBS</u> Gr	21	Abelia x grandifiora / Giossy Abelia		Container Grown	n 5 gallon		Full to Ground L	-M	
	83 15	Dietes bicolor / Fortnight Lily llex cornuta Burfordli Nana / Dwarf Burford Holly		Container Grown			Full to Ground L		
U	8	llex cornuta Burfordii / Burford Chinese Holly		Container Grown			Full to Ground		
	74 13	llex vomitoria Nana / Dwarf Yaupon Leucophyllum frutescens / Texas Sage		Container Grown Container Grown			Full to Ground L		
'DD	9	Myrica cerifera Dons Dwarf / Dons Dwarf Wax Myrtle		Container Grown	n 5 gallon		Full to Ground L	-М	
	23 40	Rhaphiolepis indica / indian Hawthorn Rosa x 'Melbenbino' TM / Petite Knock Out Rose		Container Grown Container Grown			Full Canopy, Shrub Form N Full to Ground L	1	
	38	Russella equisetiformis / Firecracker Plant		Container Grown				-M	
	120 11	Salvia greggii / Autumn Sage Viburnum suspensum / Sandankwa Viburnum		Container Grown Container Grown			Full to Ground L Full Canopy, Shrub Form N	1	
ASSES	2	, ,							
U	210	Liriope muscari / Lily Turf		Container Grown				-М	
	48 55	Miscanthus sinensis Gracillimus / Maiden Grass Muhlenbergia capillaris / Gulf Coast Muhly		Container Grown Container Grown			Full L		
ILI	52	Muhlenbergia lindhelmeri / Big Muhly		Container Grown	n 5 gallon		Full	1	
	5 145	Nolina nelsonii / Blue Nolina Stipa tenuissima / Mexican Feathergrass		Container Grown Container Grown			Full L		
ERENNI	ΔΙς								
AAR	62	Malvaviscus arboreus / Turks Cap		Container Grown				-М	
	15 120	Salvia leucantha / Mexican Bush Sage Symphyotrichum obiongifolium / Fall Aster		Container Grown Container Grown			Full L	-М	
ı		of the first of th		100	J. Gameri				
JCCULE SAM	ENTS 7	Agave americana / Century Plant		Container Grown	n 7 gallon		Full, Unbroken Blades	'L	
	6	Agave ovatifolia Whales Tongue / Whales Tongue Agave	Э	Container Grown				L	
	3 27	Dasylirion texanum / Texas Sotol Hesperaloe parviflora Desert Flamenco TM / Desert Flame	enco Red Yucca	Container Grown Container Grown				L L	
∋ A	28	Yucca glauca / Softleaf Yucca		Container Grown	n 5 gallon		Full, Unbroken Blades	'L	
NG MOA	19 89 66	Juniperus horizontalis Bar Harbor / Bar Harbor Creeping J Lantana camara New Gold / New Gold Lantana Lantana montevidensis Alba / White Trailing Lantana	luniper	Container Grown Container Grown Container Grown	n 1 gallon n 1 gallon		Full Canopy, Shrub Form \\ Full Canopy, Shrub Form L	-M 'L	
	6 19	Rosa x Novarospop / Popcorn Drift Rose Santolina chamaecyparissus / Lavender Cotton Santolina	<u> </u>	Container Grown Container Grown				-M -M	
	29	Santolina pinnata / Green Santolina	TUDE CDASS/ DIA	Container Grown				-M	
			TURF GRASS/ PLA	NAME		LINUTE			
			The same of the sa		TOTAL	UNIIS	DESCRIPTION		
			Plant Bed		11,750			6" depth (Pro-Gro	Soil Mix by Whittlesey Landscape
			Plant Bed				DESCRIPTION Planting mix	6" depth (Pro-Gro	Soil Mix by Whittlesey Landscape d equal)
			Plant Bed		11,750	sf			d equal)
				`Tif 419` / Bermuda	11,750 218 109	sf cy	Planting mix	Supply or approve	d equal) Hardwood Mulch)
					11,750 218 109 Grass 37,830 4,203	sf cy cy sf sy	Planting mix Mulch Turf Sod	Supply or approve 3" Depth (Native I Cynodon dactylor Bermuda T419	d equal) Hardwood Mulch) "TIFWAY 419"
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			Cynodon dactylon	`Tif 419` / Bermuda	11,750 218 109 Grass 37,830 4,203 701 Adromulch 8,336 926	sf cy cy sf sy cy	Planting mix Mulch Turf Sod Top Soil Turf Seed	Supply or approve 3" Depth (Native I Cynodon dactylor Bermuda T419 6" Depth (75% Ch Cynodon dactylor Common Bermuda	d equal) Hardwood Mulch) "TIFWAY 419" ocolate Loam / 25% Compost)
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			Cynodon dactylon Cynodon dactylon MISCELANEOUS River Rock Gravel Mulch Decomposed Gran Steel Edging Large Boulder	`Tif 419` / Bermuda / Bermuda Seed Hyo NAME	11,750 218 109 109 1 Grass 37,830 4,203 701 2 dromulch 8,336 926 51 TOTAL 3,795 2,126 2,490 2,530 16	sf cy cy sf sy cy sf sy cy UNITS sf st sf	Planting mix Mulch Turf Sod Top Soil Turf Seed Top Soil DESCRIPTION 4" Depth, 70% 1-2" Dia., 30% 2-4" Dia. 3" Depth (Texas Hardwood Mulch) 3" Depth Sunset Color by Whittlesey Landscape Supplies with weed barrier 3/16" thick; Brown Native Limestone, min. size: 24"x36"x1	Supply or approve 3" Depth (Native I Cynodon dactylor Bermuda T419 6" Depth (75% Ch Cynodon dactylor Common Bermuda 2" Depth (Chocola Santa Fe River Re	d equal) Hardwood Mulch) "TIFWAY 419" ocolate Loam / 25% Compost) te Loam) COMMENTS ock from Whittlesey Landscape Supplie
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05/09/2024

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LANDSCAPE IMPROVEMENT PLANS
BASTROP, TEXAS

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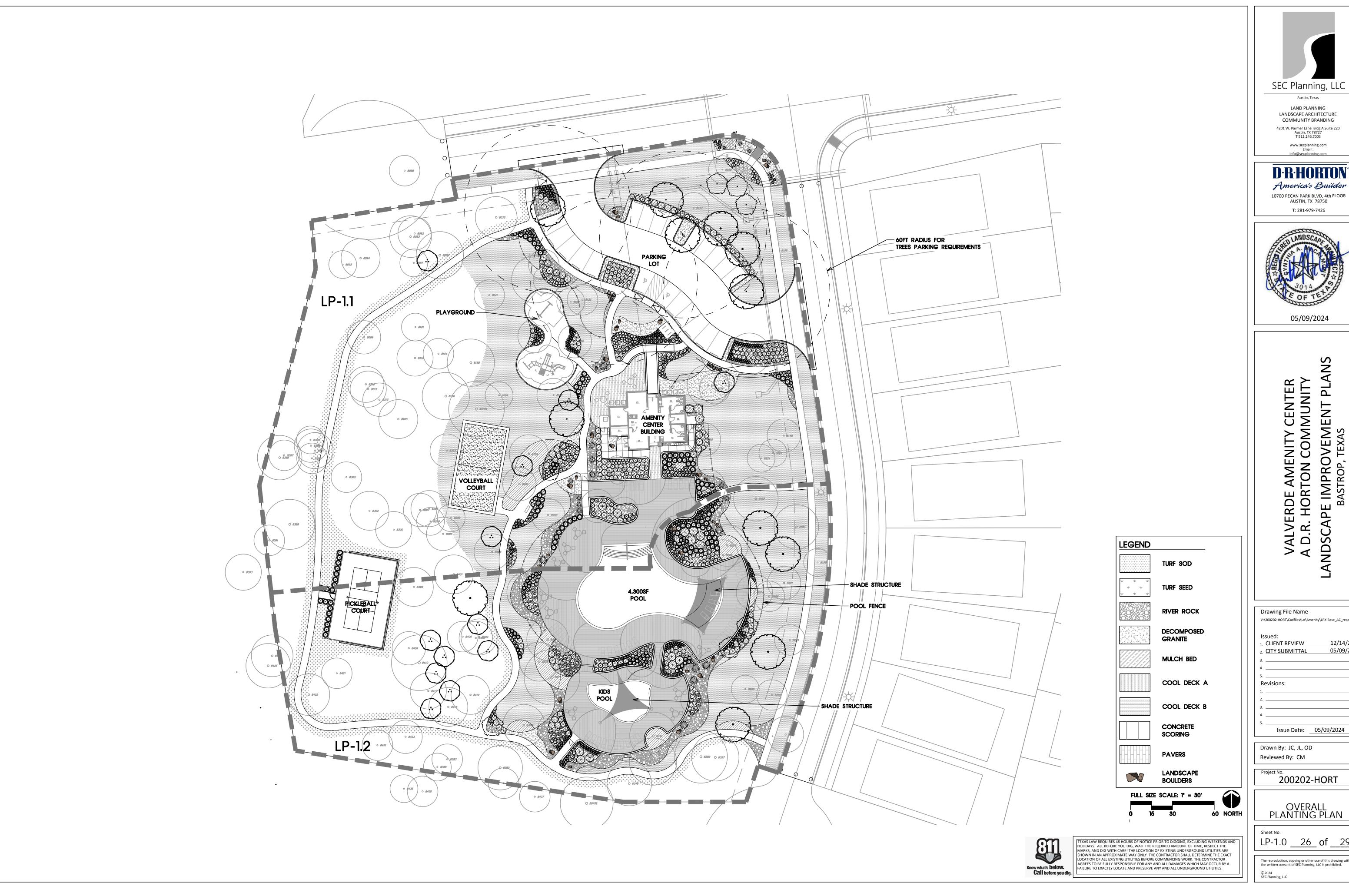
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PLANTING SCHEDULE AND CALCULATIONS

LPN-1 <u>25</u> of <u>29</u>

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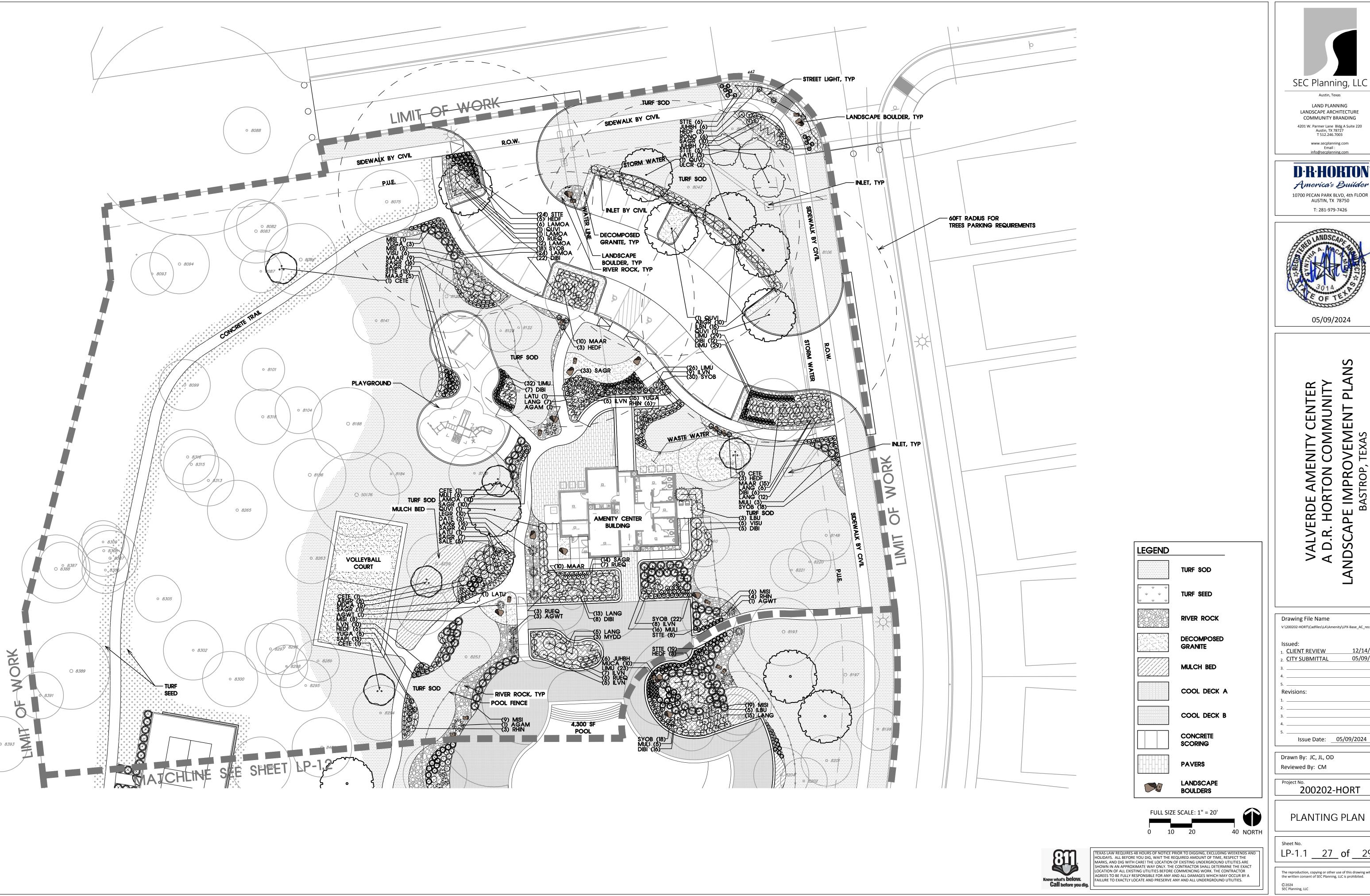


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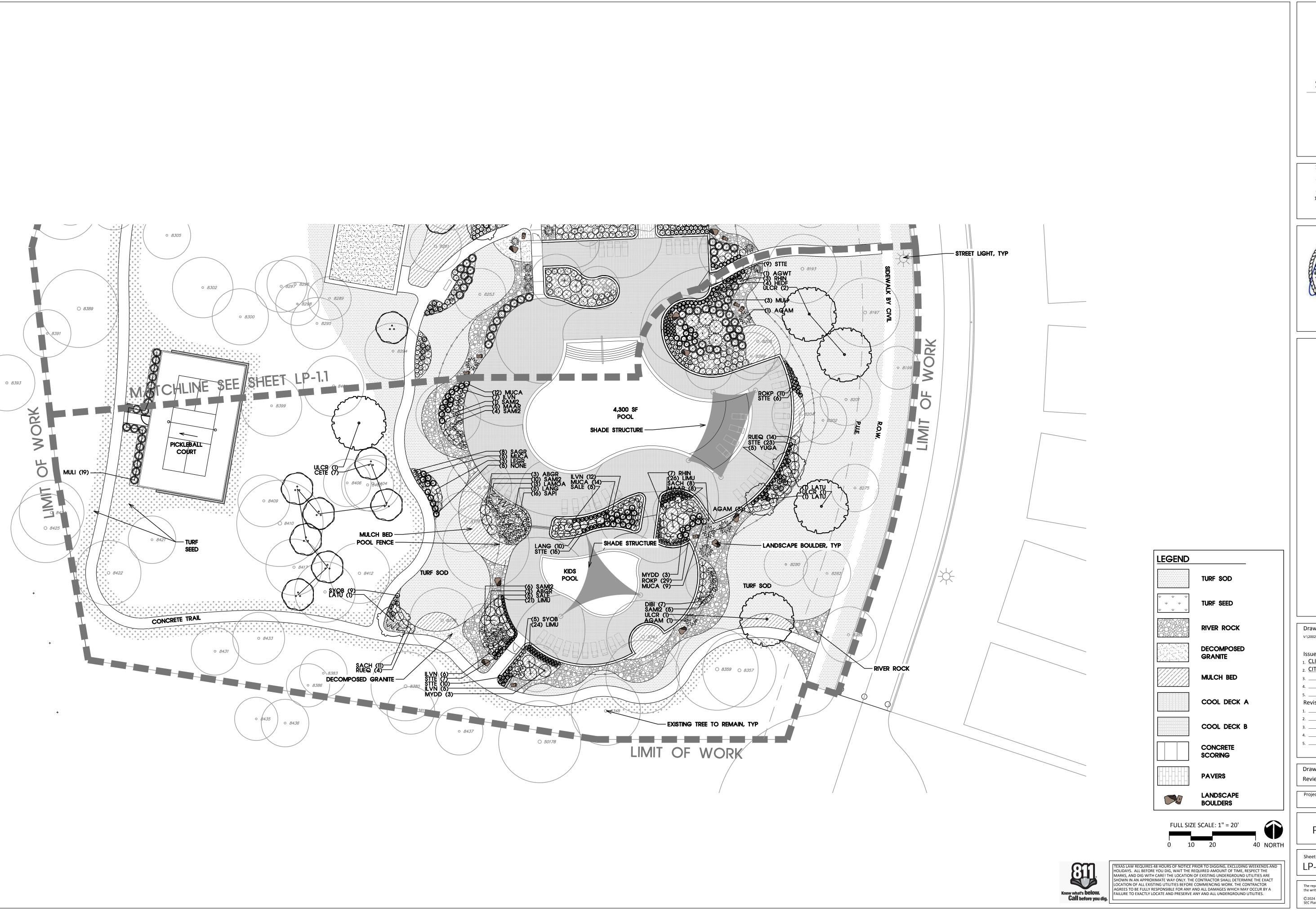


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PLANTING PLAN

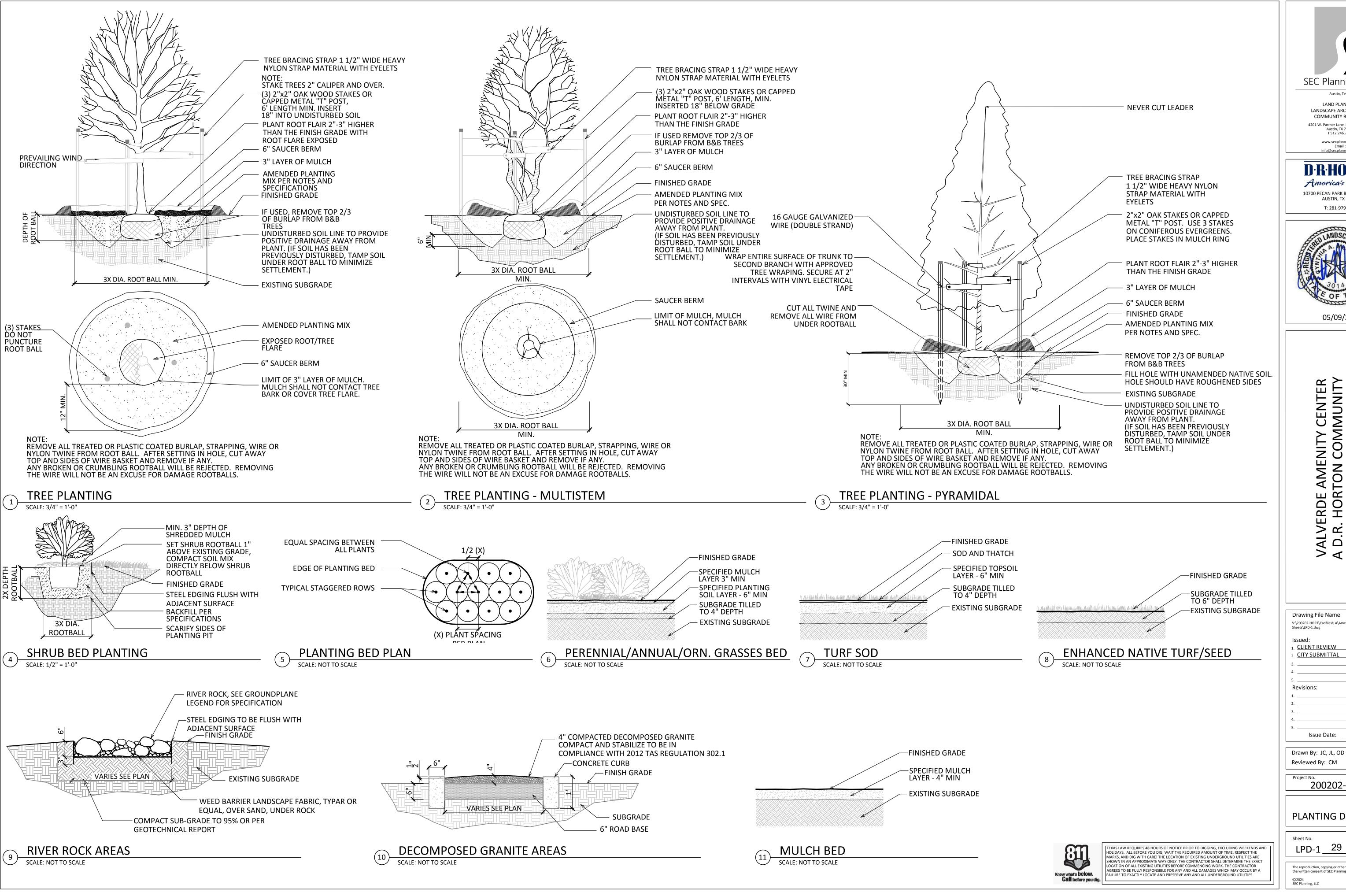
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PLANTING DETAILS

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STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve Burleson Crossing East Final Plat, being 19.81 acres situated in the Nancy Blakey Survey, Abstract No. 98, located on the northeast corner of State Highway 71 and Edward Burleson Drive, within the city limits of Bastrop, Texas, as shown in Attachment 1.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: Northeast corner of State Highway 71 and Edward Burleson Drive

Total Acreage: 19.81 acres Acreage Rezoned: 19.81 acres

Legal Description: 19.81 acres out of the Nancy Blakey Survey, Abstract No. 98

Property Owner: BRP East, L.P. Agent Contact: Steve Durham

Existing Use: Vacant/Undeveloped

Existing Zoning: Planned Development District, P5 Core Base Zoning

Character District: Cattleman's

Future Land Use: General Commercial

BACKGROUND:

On September 26, 2023, a Planned Development District, which included the original list of warrants, was approved by Council. The currently proposed final plat proposes 10 commercial lots and associated improvements. A TIA was previously approved as a part of the Preliminary Plat, no changes are proposed. The preliminary plat was approved on September 28, 2023.

Infrastructure	Available (Y/N)	Proposed
Water	Υ	Line Extensions
Wastewater	Y	Line Extensions
Drainage	Y	Storm sewer, detention pond
Transportation	Y	Extension, private drive, widening
Parks and Open Space	N	

Drainage

Stormwater runoff generated within the property will be routed onsite to one central location for detention and a storm sewer connection to the detention pond to the west in the Burleson Crossing development. A Drainage Plan has been reviewed and approved by the City Engineer. The maximum impervious cover stated in the PDD is no more than 85% for the entire development. Some lots may have a greater impervious cover to be offset by lots with less impervious cover.

Utilities

Wastewater and water service (domestic and fire) will be provided by the City of Bastrop via line extensions from existing infrastructure located on Edward Burleson Street. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements.

Electric service provided by Bluebonnet Electric.

Gas will be provided by CenterPoint Energy / Entex.

Traffic Impact and Streets

This Plat creates a private drive, includes Right of Way dedication for widening Edward Burleson and an extension of Blakey Lane eastward. A private drive resembling a typical city street will run through the heart of the development, leading to Wagon Wheel Circle. Access to the development will primarily be provided via entry points located off Edward Burleson. Additionally, on the eastern flank, there will be a coordinated connection to the SH 71 service road, extending northward towards Blakey Lane, with collaboration undertaken in conjunction with TxDOT. The street ROW's meet the 55.5' width requirement. The street design will follow the B3 Code, Section 7.3 for design and layout. A Traffic Impact Analysis has been conducted and completed by LJA Engineering for the development.

POLICY EXPLANATION:



Texas Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ). The B³ Code replaced Bastrop Code of Ordinances Chapter 10, which previously addressed subdivision requirements.

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped tract into ten commercial lots.

Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The preliminary plat conforms to the Future Land Use Plan, which is designated General Commercial for this area.

(2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities:

A traffic impact analysis (TIA) for the overall development of the ten-lot Burleson Crossing East has been previously approved by the City and TXDOT and the plat is consistent with the recommendations of that analysis.

(3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

A fiscal guarantee will be provided for the construction and maintenance of the infrastructure improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

The plat complies with the requirements of the PDD and Bastrop Code of Ordinances, B3 code Chapter 1 – Subdivision in effect at the time of the Preliminary Plat submittal.

B³ Code – Chapter 1: Subdivisions

Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Drainage Plan, Preliminary Infrastructure Plan, Preliminary Plat, Public Improvement Plan, Public Improvement Plan Agreement and a Final Plat.

Section 1.3.002 Preliminary Plat

The Preliminary Plat was approved by the planning and zoning commission on September 28, 2023

Section 1.3.004 Plat Requirements

The Development Review Committee reviewed the Final Plat for Burleson Crossing East for compliance with subdivision and utility standards and deemed the plat administratively complete.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan – The General Commercial character area supports local and regional businesses that rely on heavy traffic volumes and the visibility that is associated with being located near major roadways. General Commercial developments typically involve varying development intensities, from smaller locally owned shops to big box retailers. These areas are predominantly auto oriented, with large accessory parking areas. While General Commercial development will continue to be auto-oriented, improved street-side and parking lot landscaping, buffers, appropriately designed and scaled signage, bicycle and pedestrian accommodations, higher quality building materials, and access management techniques (e.g., limited access points and inter-parcel connectivity) will help to improve overall development quality and appearance.

Representative land uses that are appropriate in General Commercial include General Retail Sales, Food Service, Medical or Health Care Facilities, and Professional Offices which are what is anticipated for Burleson Crossing East.

RECOMMENDATION:

Consider action to approve Burleson Crossing East Final Plat, being 19.81 acres situated in the Nancy Blakey Survey, Abstract No. 98, located on the northeast corner of State Highway 71 and Edward Burleson Drive, within the city limits of Bastrop, Texas, as shown in Attachment 1.

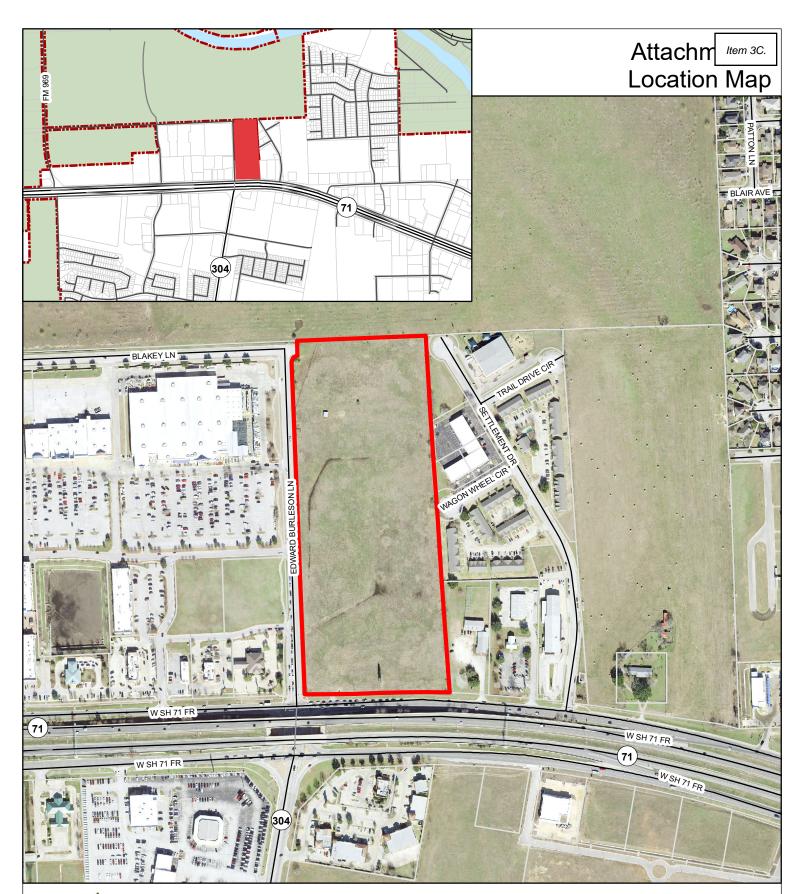
ATTACHMENTS:

- Exhibit A: Burleson Crossing East Final Plat
- Attachment 1: Location Map



1"=100' | 06/03/24 | A141-0407

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Burleson Crossing East

90 180

Property Location Map

Date: 7/22/2024

Date: //22/2024

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility accuracy, completeness or usefullness of information, nor does it represent that its not infringe upon privately owned right.



STAFF REPORT

MEETING DATE: July 25th, 2024

TITLE:

Consider action to approve the vacation of The Colony MUD 1D, Section 2 Final Plat, being 28.673 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: North of Sam Houston Drive (Attachment 1)

Total Acreage: 28.673 acres

Legal Description: 28.673 acres of the Jose Manuel Bangs Survey, Abstract No. 5

Property Owner: Rick Neff/Hunt Communities Bastrop, L.L.C.

Agent Contact: Taunia Halcomb, Carlson, Brigance, and Doering, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: None. Extra-Territorial Jurisdiction, The Colony MUD

Adopted Plan: Fourth Amendment to the Colony MUD Consent Agreement,

Approved November 5, 2020

Future Land Use: Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application to vacate the Final Plat for The Colony MUD 1D, Section 2. The plat currently includes 120 residential lots and 1 non-residential lots (Exhibit A). The request for the vacation is in order to support a reconfiguration of the lots which will result in an overall decrease in lots. A new preliminary plat has been submitted showing the new configuration.

POLICY EXPLANATION:

Vacating plats are reviewed and approved in the manner the original plat was approved. This final plat was approved by the Planning & Zoning Commission.

Local Government Code

Sec. 212.013. VACATING PLAT. (a) The proprietors of the tract covered by a plat may vacate the plat at any time before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

- (b) If lots in the plat have been sold, the plat, or any part of the plat, may be vacated on the application of all the owners of lots in the plat with approval obtained in the manner prescribed for the original plat.
- (c) The county clerk shall write legibly on the vacated plat the word "Vacated" and shall enter on the plat a reference to the volume and page at which the vacating instrument is recorded.
- (d) On the execution and recording of the vacating instrument, the vacated plat has no effect.

The original Final Plat was approved by the Planning and Zoning Commission January 26, 2023.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure Platting
- (c) Vacating Plat: Refer to Texas Local Government Code Chapter 212, Subchapter A. Regulations of Subdivisions, Section 212.013 Vacating Plat.

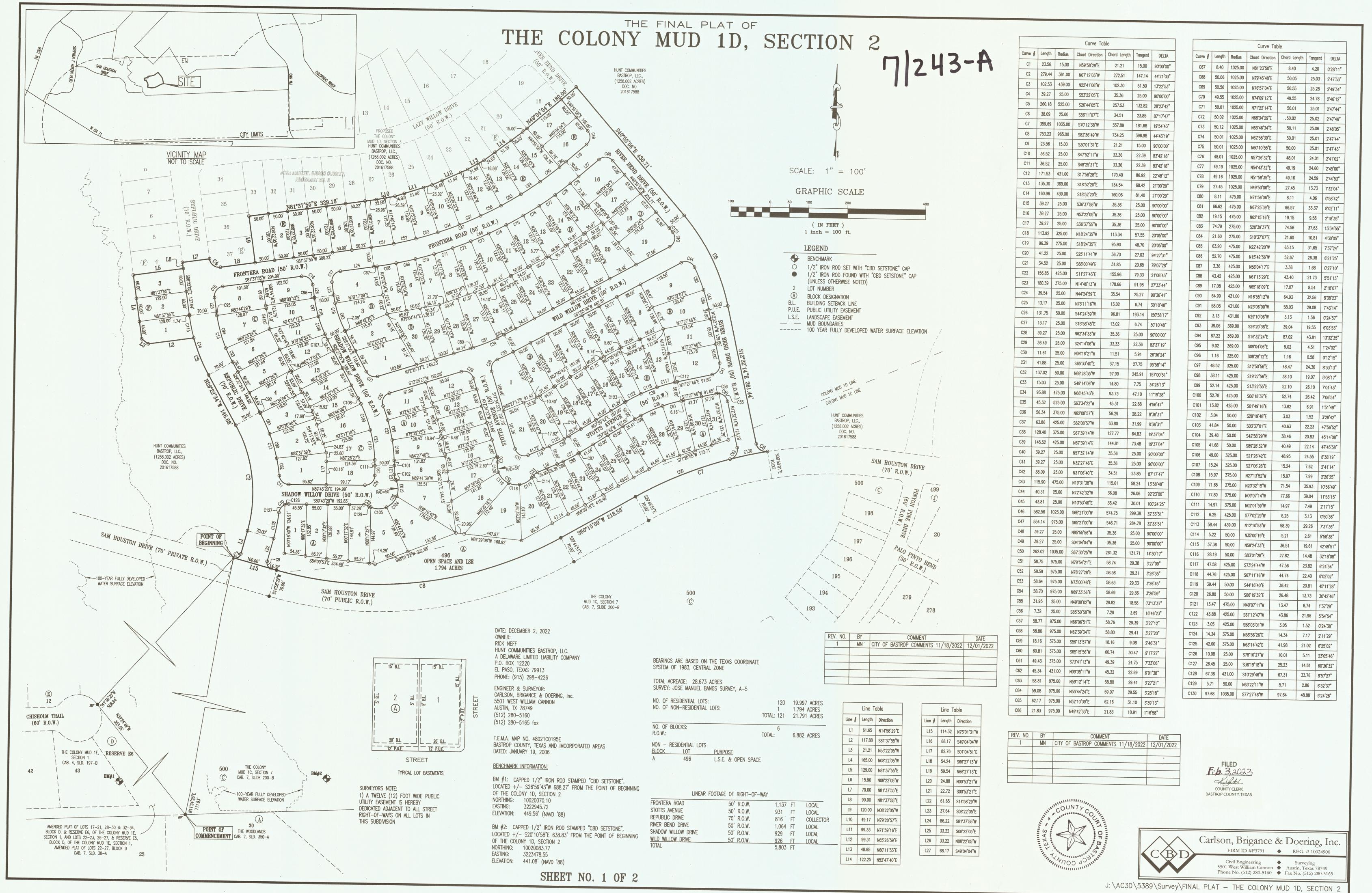
The B3 code references compliance with the Texas Local Government Code in regards to vacation of a plat.

RECOMMENDATION:

Consider action to approve the vacation of The Colony MUD 1D, Section 2 Final Plat, being 28.673 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1D, Section 2 Final Plat
- Attachment 1: Location Map



THE COLONY MUD 1D, SECTION 2 7 243-B

1. THE BENCHMARKS USED ARE:

BM #1: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE", LOCATED +/- S26'59'43"W 688.27' FROM THE POINT OF BEGINNING OF THE COLONY 1D, SECTION 2

NORTHING=10020070.10 EASTING=3222945.72 ELEVATION: 449.56' (NAVD '88)

BM #2: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE", LOCATED +/- S20'10'58"E 638.83' FROM THE POINT OF BEGINNING OF THE COLONY 1D, SECTION 2

NORTHING=10020083.77 EASTING=3223478.55 ELEVATION: 441.08' (NAVD '88)

3. WASTEWATER SERVICE IS PROVIDED BY THE COLONY M.U.D. 1D.

2. WATER IS PROVIDED BY THE COLONY M.U.D. 1D.

4. ELECTRIC SERVICE WILL PROVIDED BY BLUEBONNET ELECTRIC.

5. THIS PLAT CONFORMS TO THE PRELIMINARY PLAT APPROVED BY THE PLANNING & ZONING COMMISSION ON JUNE 30, 2022.

6. ALL SUBDIVISION PERMITS SHALL CONFORM TO THE CITY OF BASTROP CODE OF ORDINANCES, PUBLIC IMPROVEMENT STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES. 7. CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND ACCEPTED BY THE CITY OF BASTROP PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.

8. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES SOLE RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF BASTROP. THE

OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

9. BY APPROVING THIS FINAL PLAT, THE CITY OF BASTROP ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO THE CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATE OF OCCUPANCY.

10. FISCAL SURETY FOR SUBDIVISION CONSTRUCTION, IN A FORM ACCEPTABLE TO THE CITY OF BASTROP, SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE CITY.

11. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER DISTRIBUTION AND WASTEWATER CONNECTION FACILITIES

12. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REQUIREMENTS.

13. ALL NEW UTILITIES WILL BE UNDERGROUND.

14. IMPACT FEES SHALL BE ASSESSED IN ACCORDANCE WITH THE ORDINANCE EFFECTIVE AT THE TIME OF PLATTING.

15. DEVELOPER OR PROPERTY OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL RELOCATIONS AND MODIFICATIONS TO EXISTING UTILITIES.

16. NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP PANEL NO. 48021C0195E, FOR BASTROP COUNTY TEXAS, EFFECTIVE JANUARY 19, 2006. COMMUNITY NUMBER 481193, AND IS ON ZONE X.

17. TEMPORARY AND PERMANENT EASEMENTS ARE TO BE PROVIDED, AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF-SITE IMPROVEMENTS.

18. AS SHOWN HEREON, A TWELVE (12) FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY DEDICATED ADJACENT TO STREET RIGHT-OF-WAY ON ALL LOTS. A FIVE (5) FOOT WIDE P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE AND REAR LOT LINE.

19. PROPERTY OWNERS SHALL PROVIDE FOR ACCESS TO ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENT AUTHORITIES.

20. NO BUILDING, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF BASTROP AND/OR BASTROP COUNTY.

21. ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNEES.

22. NO LOT OR STRUCTURE SHALL BE OCCUPIED PRIOR TO THE APPLICANT SUBMITTING TO THE CITY OF BASTROP DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH TEXAS ARCHITECTURAL BARRIERS ACT (TABA).

23. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE CITY OF BASTROP ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION.

24. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN HEREON AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES AND NATURAL GAS LINES.

25. A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT. 26. ALL INFRASTRUCTURE REQUIRED FOR PUBLIC ROADS, DRAINAGE, OR OTHER PUBLIC INFRASTRUCTURE (INCLUDING BUT NOT LIMITED TO LIGHTING, SIGNAGE, TRAFFIC LIGHTS, SIDEWALKS, PARKING AREAS, STORM SEWERS, OR OTHER DRAINAGE INFRASTRUCTURE), SHALL BE

MAINTAINED BY THE DEVELOPER, OR THEIR ASSIGNS, UNTIL SUCH A TIME THAT IT IS ACCEPTED, IF AT ALL, BY A GOVERNMENTAL ENTITY FOR MAINTENANCE. 27. UNTIL SUCH A TIME AS BASTROP COUNTY, THROUGH THE BASTROP COUNTY COMMISSIONERS COURT, ACCEPTS THE DEDICATION OF THE IMPROVEMENTS DELINEATED AND SHOWN ON THIS FINAL PLAT, SAID IMPROVEMENTS ARE NOT BASTROP COUNTY IMPROVEMENTS AND ARE

NOT SUBJECT TO BASTROP COUNTY MAINTENANCE. 28. THIS SUBDIVISION IS LOCATED WITHIN THE STATUTORY ETJ OF THE CITY OF BASTROP.

29. FLOOD WARNING: THE DEGREE OF FLOOD WATER PROTECTION REQUIRED BY THE CITY OF BASTROP FLOOD DAMAGE PREVENTION ORDINANCE IS CONSIDERED REASONABLE FOR THE REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. ACCEPTANCE OF THIS FINAL PLAT BY THE CITY COUNCIL DOES NOT IMPLY THAT LAND OUTSIDE OF THE AREA OF SPECIAL FLOOD HAZARDS OR USES PERMITTED IN SUCH AREAS WILL BE FREE FROM FLOODING OR FLOOD DAMAGES. NOR SHALL ACCEPTANCE OF THIS FINAL PLAT CREATE LIABILITY ON THE PART OF THE CITY OF BASTROP OR ANY OFFICIAL OR EMPLOYEE THEREOF FOR ANY FLOOD DAMAGES. THAT RESULT FROM RELIANCE ON THE INFORMATION CONTAINED WITHIN THIS FINAL PLAT OR ANY ADMINISTRATION DECISION LAWFULLY MADE HEREUNDER.

30. ALL DRAINAGE EASEMENTS, STORM WATER FACILITIES / FEATURES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.

31. ALL WORK, INCLUDING SIGNS, SHALL COMPLY WITH THE CITY OF BASTROP ORDINANCES AND THE CONSENT AGREEMENT FOR THE COLONY MUD NUMBER 1 AND SUBSEQUENT AMENDMENTS.

32. THE DEVELOPER, BUILDER, SELLER, OR AGENT SHALL INFORM, IN WRITING, EACH BUYER OF SUBDIVISION LOTS OR PROPERTY LOCATED WITHIN THE FLOOD HAZARD AREAS THAT SUCH PROPERTY IS AN IDENTIFIED FLOOD HAZARD AREA.

33. ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE COMMITMENT EFFECTIVE DATE: 04-26-2021, CONDUCTED BY CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT GF. NO. 4210006025 ISSUED BY CHICAGO TITLE INSURANCE COMPANY FOR THIS PROPERTY ARE SHOWN ON THIS FINAL PLAT

34. IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER WITHOUT PONDING IN OR AROUND THE LOT, FROM ITS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.

35. AN OWNER'S ASSOCIATION AND/OR M.U.D. IS RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPE EASEMENTS, DRAINAGE EASEMENTS, SIDEWALKS, AND PRIVATE PARKS AND ALL OTHER COMMON AREAS.

36. STREET LIGHTING LOCATION WILL BE ADDED ON THE FINAL CONSTRUCTION PLANS.

37, PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRICAL CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.

38. PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO: BASTROP COUNTY 9-1-1 ADDRESSING ASSIGNMENT, DRIVEWAY/CULVERT, DEVELOPMENT, FLOODPLAIN, ON-SITE SEWAGE FACILITY, AND LOST PINES HABITAT CONSERVATION PLAN.

39. COUNTY PERMITS ARE OBTAINED AND ISSUED THROUGH THE BASTROP COUNTY DEVELOPMENT SERVICES DEPARTMENT.

40. NO STRUCTURES OR FENCES MAY BE BUILT IN ANY EASEMENT. ANY EXISTING STRUCTURES LOCATED IN A PUBLIC UTILITIES EASEMENT MUST BE REMOVED AT UTILITY COMPANY DISCRETION. 41. NO STRUCTURES OR LAND USE (INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, LANDSCAPING) THAT NEGATIVELY IMPACTS STORMWATER FLOWS SHALL BE ALLOWED IN AREAS DESIGNATED AS PONDS, DRAINAGE EASEMENTS OR DETENTION/RETENTION AREAS.

42. THE CONSENT AGREEMENT LAND USE TYPE FOR THIS PLAT IS COLONY-S (STANDARD LOT).

BEING ALL OF THAT CERTAIN 28.673 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, LLC., BY DEED RECORDED IN DOCUMENT NUMBER 201617588, OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS (O.P.R.B.C.TX.), SAID 28.673 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING, AT A 1/2 INCH IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID 1258.002 ACRE TRACT OF LAND, BEING THE SOUTHEAST CORNER OF RESERVE E6, BLOCK D AMENDED PLAT OF LOTS 17-21, 28-30 & 32-34, BLOCK D, & RESERVE E6, OF THE COLONY MUD 1E, SECTION 1, AND LOTS 22-23, 26-27, & RESERVE E5, BLOCK D, OF THE COLONY MUD 1E, SECTION 1, AMENDED PLAT OF LOTS 22-27, BLOCK D, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 38-A, PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.TX.), SAME BEING ON THE NORTH LINE OF LOT 30, BLOCK A, THE WOODLANDS, A SUBDIVISION RECORDED IN CABINET 2, SLIDE 350-A, P.R.B.C.TX., FOR THE POINT OF COMMENCEMENT OF THE HEREIN DESCRIBED TRACT OF LAND, FROM WHICH A 1/2 INCH IRON ROD FOUND AT THE NORTHEAST CORNER OF SAID RESERVE E6, BEING IN THE CURVING EAST RIGHT-OF-WAY LINE OF CHISHOLM TRAIL (60' RADIUS), SAME BEING A POINT OF CURVATURE ON THE SOUTH LINE OF SAID 1258.002 ACRE TRACT, BEARS N39°24'49"W, A DISTANCE OF 363.05 FEET,

THENCE, N11'24'26"E, OVER AND ACROSS SAID 1258.002 ACRE TRACT OF LAND, A DISTANCE OF 711.93 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" ON THE NORTH LINE OF SAM HOUSTON DRIVE (70' R.O.W. ACCORDING TO THE PLAT OF THE COLONY MUD 1C, SECTION 7 RECORDED IN CABINET 7, SLIDE 200-B, P.R.B.C.TX.), BEING AT THE BEGINNING OF A CURVE TO THE LEFT, FOR THE SOUTHWEST CORNER AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND,

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWENTY-FIVE (25) COURSES AND DISTANCES, NUMBERED 1 THROUGH 25,

1) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 23.56 FEET, AND A CHORD THAT BEARS N59°58'29"E, A DISTANCE OF 21.21 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE"

2) N14'58'29"E, A DISTANCE OF 61.65 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

3) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 361.00 FEET, AN ARC LENGTH OF 279.44 FEET, AND A CHORD THAT BEARS NO7'12'03"W, A DISTANCE OF 272.51 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE"

4) N29°22'34"W, A DISTANCE OF 146.68 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,

5) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 439.00 FEET, AN ARC LENGTH OF 102.53 FEET, AND A CHORD THAT BEARS N22*41'08"W, A DISTANCE OF 102.30 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

6) S81°37'55"W, A DISTANCE OF 117.88 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

7) N53'22'05"W, A DISTANCE OF 21.21 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 8) NO8"22"05"W, A DISTANCE OF 165.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND,

9) N81°37'55"E, A DISTANCE OF 129.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 10) NO8°22'05"W, A DISTANCE OF 15.90 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

11) N81°37'55"E, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

12) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.27 FEET, AND A CHORD THAT BEARS \$53°22'05"E, A DISTANCE OF 35.36 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE"

13) N81°37'55"E, A DISTANCE OF 90.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

14) NO8°22'05"W, A DISTANCE OF 120.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

15) N81°37'55"E, A DISTANCE OF 329.18 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 16) N79°20'57"E, A DISTANCE OF 49.17 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

17) N71°59'16"E, A DISTANCE OF 99.33 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

18) N65°26'59"E, A DISTANCE OF 99.31 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 19) N60'11'53"E, A DISTANCE OF 48.65 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

20) N52'47'40"E, A DISTANCE OF 122.25 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

21) N49°04'04"E, A DISTANCE OF 180.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND, S40°55'56"E, A DISTANCE OF 430.71 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,

23) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 525.00 FEET, AN ARC LENGTH OF 260.18 FEET, AND A CHORD THAT BEARS S26°44'05"E, A DISTANCE OF 257.53 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD

SETSTONE" FOR CORNER, 24) S12°32'14"E, A DISTANCE OF 361.44 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT, AND

25) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 38.09 FEET, AND A CHORD THAT BEARS S56°11'07"E, A DISTANCE OF 34.51 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" ON THE NORTH LINE OF SAID SAM HOUSTON DRIVE, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT AND WITH THE NORTH LINE OF SAID SAM HOUSTON DRIVE, THE FOLLOWING FOUR (4) COURSES AND DISTANCES, NUMBERED 1 THROUGH 4,

1) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1035.00 FEET, AN ARC LENGTH OF 359.69 FEET, AND A CHORD THAT BEARS S70°12'38"W, A DISTANCE OF 357.89 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER,

2) S60°15'09"W, A DISTANCE OF 218.58 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT, 3) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 965.00 FEET, AN ARC LENGTH OF 753.23 FEET, AND A CHORD THAT BEARS S82°36'49"W, A DISTANCE OF 734.25 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD

SETSTONE" FOR CORNER, AND

4) N75°01'31"W, A DISTANCE OF 114.32 FEET TO THE POINT OF BEGINNING AND CONTAINING 28.673 ACRES OF LAND.

NON - RESIDENTIAL LOTS LOT PURPOSE 496 L.S.E. & OPEN SPACE

OCK	LOT	SQ. FT.	BLOCK	LOT	SQ. FT.
4	1	7,099	D	1	9,605
4	2 3	7,472	D	2 3	7,335
1		7,804	D		7,704
1	4	8,098	D	4	9,337
4	5	9,585	D	5	6,234
4	6 7	11,604	D	6	6,300
4		11,770	D	7	6,859
4	8	7,933	D	8	6,753
4	9	7,559	D D	9	6,753
4	10	7,331	D	11	6,909 6,085
4	11 12	7,861	D	12	6,260
4	13	6,466 5,400	D	13	6,491
A	14	5,400	D	14	6,472
A	15	5,514	D	15	6,631
A	16	5,820	D	16	8,605
A	17	7,592	D	17	7,728
A	18	10,340	D	18	7,642
A	19	12,450	D	19	10,343
A	20	7,988	D	20	8,543
A	21	6,016	D	21	7,171
A	22	6,026	D	22	6,926
A	23	5,951	D	23	6,826
A	24	5,593	D	24	6,746
A	25	5,663	D	25	6,532
A	26	5,734	D	26	6,756
A	27	6,322	D	27	7,567
A	28	6,770	D D	28 29	6,737 6,669
Α	29 30	6,544	D	30	9,484
A A	31	5,971 5,616	U	30	3,707
A	496	78,149			
^	730	70,143	E	1	6,000
			E E E	2 3	6,000
В	1	10,144			6,000
В	2	6,597	E	4	6,000
В	3	6,329	E	5 6 7	6,000
R	4	6,205	E	6	6,026
R	2 3 4 5 6 7 8	6,067	E	/	6,599
D R	7	6,012	Ł	8	6,552
D D	0	6,146 8,547	Ŀ	9	6,638
D	0	10,919	Ĺ C	10 11	6,658
R	10	9,196	E E	12	6,747 6,749
R	11	8,070	F	13	6,843
B	12	9,116		14	7,073
В	13	7,512	. F	15	7,322
В	14	6,639	Ē	16	7,915
В	15	6,296	Ē	17	6,900
В	16	5,918			
B B B B B B B B B B B B B B B B B B B	17	5,784			
В	18	5,784	F F F	1	7,703
В	19	6,106	F	2 3	7,740
В	20 21	6,768	F	5	7,740
R	21	7,887			
C	1	9,068			
C	2	9,678			
C	3	8,059			
C	4	7,422			
C	5	7,323			
C	2 3 4 5 6 7	7,763			
00000000	7	8,860			
•	8	8,864			

7,722

7,746

SHEET NO. 2 OF 2

THAT, HUNT COMMUNITIES BASTROP, LLC., A DELAWARE LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH RICK NEFF, SENIOR VICE PRESIDENT AND BEING THE OWNER OF 1258,002 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDED 28.673 ACRE TRACT OF LANDWITH THE PLAT SHOWN HERE ON, TO BE KNOWN AS:

"THE COLONY MUD 1D, SECTION 2" SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY STREETS AND/OR EASEMENTS

HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY 4401 N. MESA STREET, EL PASO, TEXAS 79902

STATE OF TEXAS COUNTY OF BASTROP § KNOW ALL MEN BY THESE PRESENTS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE 20 DAY OF JOIN VOICE

Journ's Halcomb NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



FLOOD PLAIN NOTE:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021C0195E FOR BASTROP COUNTY TEXAS, DATED JANUARY 19, 2006. COMMUNITY NUMBER 481193.

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS COUNTY OF BASTROP)(KNOW ALL MEN BY THESE PRESENTS:

I, MAHER HARMOUCHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP.

AUSTIN, TEXAS 78749

5501 WEST WILLIAM CANNON DRIVE



STATE OF TEXAS)(KNOW ALL MEN BY THESE PRESENTS: COUNTY OF BASTROP

THAT I, JOHN DAVID KIPP, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BASTROP, BASTROP COUNTY, TEXAS. ALL EASEMENTS OF RECORD AS SHOWN ON THE TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, GF NO. 4210006025, EFFECTIVE DATE APRIL 26, 2021, ISSUED DATE MAY 5, 2021 HAVE BEEN IDENTIFIED ON THIS PLAT TO THE BEST OF MY KNOWLEDGE.

DATE 12/09/2022 JOHN DAVID KIPP ~ R.P.L.S. NO. 5844 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749



____, 20.23 A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

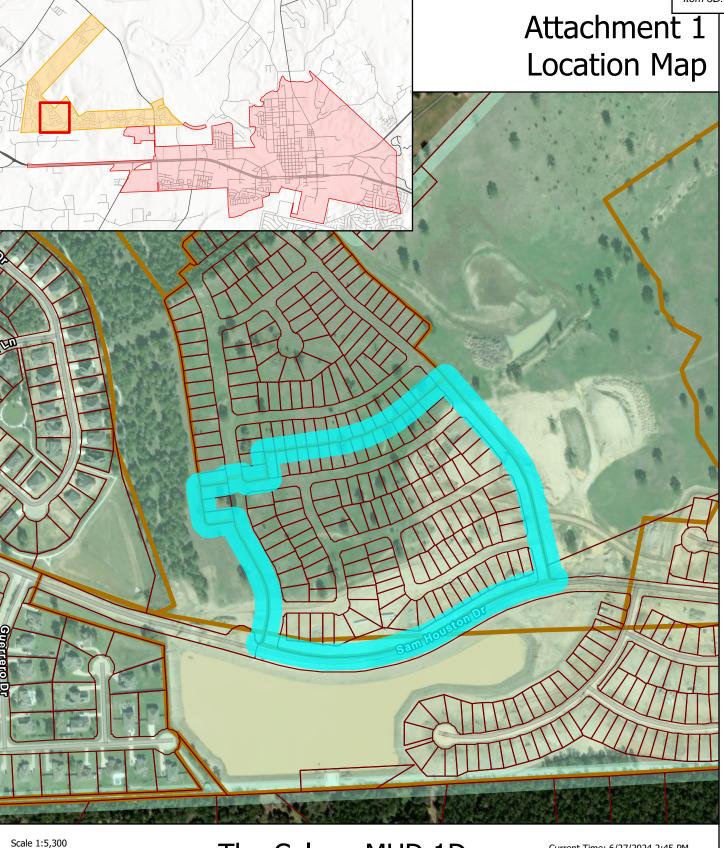
STATE OF TEXAS COUNTY OF BASTROP

FILED FOR RECORD ON THE 3rd DAY OF FEBRUARY, 20 23 A.D.

Kuphantel COUNTY CLERK **BASTROP COUNTY, TEXAS**



J:\AC3D\5389\Survey\FINAL PLAT - THE COLONY MUD 1D, SECTION 2



The Colony MUD 1D, Section 2 Vacating Plat

600 800 1,000 ft 200

Current Time: 6/27/2024 2:45 PM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced. The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.



STAFF REPORT

MEETING DATE: July 25th, 2024

TITLE:

Consider action to approve the vacation of The Colony MUD 1D, Section 3 Final Plat, being 25.419 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: North of Sam Houston Drive (Attachment 1)

Total Acreage: 25.419 acres

Legal Description: 25.419 acres of the Jose Manuel Bangs Survey, Abstract No. 5

Property Owner: Rick Neff/Hunt Communities Bastrop, L.L.C.

Agent Contact: Taunia Halcomb, Carlson, Brigance, and Doering, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: None. Extra-Territorial Jurisdiction, The Colony MUD

Adopted Plan: Fourth Amendment to the Colony MUD Consent Agreement,

Approved November 5, 2020

Future Land Use: Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application to vacate the Final Plat for The Colony MUD 1D, Section 3. The plat currently includes 111 residential lots and 1 non-residential lots (Exhibit A). The request for the vacation is in order to support a reconfiguration of the lots which will result in an overall decrease in lots. A new preliminary plat has been submitted showing the new configuration.

POLICY EXPLANATION:

Vacating plats are reviewed and approved in the manner the original plat was approved. This final plat was approved by the Planning & Zoning Commission.

Local Government Code

Sec. 212.013. VACATING PLAT. (a) The proprietors of the tract covered by a plat may vacate the plat at any time before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.

- (b) If lots in the plat have been sold, the plat, or any part of the plat, may be vacated on the application of all the owners of lots in the plat with approval obtained in the manner prescribed for the original plat.
- (c) The county clerk shall write legibly on the vacated plat the word "Vacated" and shall enter on the plat a reference to the volume and page at which the vacating instrument is recorded.
- (d) On the execution and recording of the vacating instrument, the vacated plat has no effect.

The original Final Plat was approved by the Planning and Zoning Commission January 26, 2023.

B³ Code – Chapter 1: Subdivisions

- Section 1.3.001 Standard Procedure Platting
- (c) Vacating Plat: Refer to Texas Local Government Code Chapter 212, Subchapter A. Regulations of Subdivisions, Section 212.013 Vacating Plat.

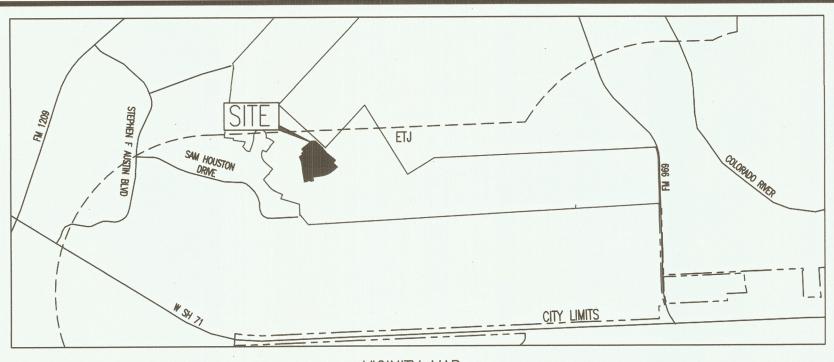
The B3 code references compliance with the Texas Local Government Code in regards to vacation of a plat.

RECOMMENDATION:

Consider action to approve the vacation of The Colony MUD 1D, Section 3 Final Plat, being 25.419 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1D, Section 3 Final Plat
- Attachment 1: Location Map



GENERAL NOTES:

1. THE BENCHMARKS USED ARE:

BM #1: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE", LOCATED +/- N38'46'37"W 943.39' FROM THE POINT OF BEGINNING OF THE COLONY 1D, SECTION 3

NORTHING=10022140.31 EASTING=3222398.37 ELEVATION: 465.02' (NAVD '88) BM #2: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE", LOCATED +/- N49°57'58"W 1199.72' FROM THE POINT OF BEGINNING OF THE COLONY 1D, SECTION 3

NORTHING=10022176.56 EASTING=3222070.62 ELEVATION: 479.69' (NAVD '88)

2. WATER IS PROVIDED BY THE COLONY M.U.D. 1D.

3. WASTEWATER SERVICE IS PROVIDED BY THE COLONY M.U.D. 1D. 4. ELECTRIC SERVICE WILL PROVIDED BY BLUEBONNET ELECTRIC.

5. THIS PLAT CONFORMS TO THE PRELIMINARY PLAT APPROVED BY THE PLANNING & ZONING COMMISSION ON JUNE 30, 2022.

6. ALL SUBDIVISION PERMITS SHALL CONFORM TO THE CITY OF BASTROP CODE OF ORDINANCES, PUBLIC IMPROVEMENT STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.

AND REQUIREMENTS OF THE CITY OF BASTROP. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED. DLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

BASTROP ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION NFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO THE CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATE OF OCCUPANCY.

10. FISCAL SURETY FOR SUBDIVISION CONSTRUCTION, IN A FORM ACCEPTABLE TO THE CITY OF BASTROP, SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE CITY.

11. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER DISTRIBUTION AND WASTEWATER CONNECTION FACILITIES

12. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REQUIREMENTS.

14. IMPACT FEES SHALL BE ASSESSED IN ACCORDANCE WITH THE ORDINANCE EFFECTIVE AT THE TIME OF PLATTING.

15. DEVELOPER OR PROPERTY OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL RELOCATIONS AND MODIFICATIONS TO EXISTING UTILITIES.

THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP PANEL NO. 48021C0195E, FOR XAS, EFFECTIVE JANUARY 19, 2006. COMMUNITY NUMBER 481193, AND IS IN ZONE X.

17. TEMPORARY AND PERMANENT EASEMENTS ARE TO BE PROVIDED, AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF-SITE IMPROVEMENTS.

18. AS SHOWN HEREON, A TWELVE (12) FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY DEDICATED ADJACENT TO STREET RIGHT-OF-WAY ON ALL LOTS. A FIVE (5) FOOT WIDE P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE AND REAR LOT LINE.

19. PROPERTY OWNERS SHALL PROVIDE FOR ACCESS TO ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENT AUTHORITIES.

20. NO BUILDING, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF BASTROP AND/OR BASTROP

21. ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNEES.

22. NO LOT OR STRUCTURE SHALL BE OCCUPIED PRIOR TO THE APPLICANT SUBMITTING TO THE CITY OF BASTROP DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH TEXAS ARCHITECTURAL

24. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN HEREON AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE

25. A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT.

26. ALL INFRASTRUCTURE REQUIRED FOR PUBLIC ROADS, DRAINAGE, OR OTHER PUBLIC INFRASTRUCTURE (INCLUDING BUT NOT LIMITED TO LIGHTING, SIGNAGE, TRAFFIC LIGHTS, SIDEWALKS, PARKING AREAS, STORM SEWERS, OR OTHER DRAINAGE INFRASTRUCTURE), SHALL BE MAINTAINED BY THE DEVELOPER, OR THEIR ASSIGNS, UNTIL SUCH A TIME THAT IT IS ACCEPTED, IF AT

27. UNTIL SUCH A TIME AS BASTROP COUNTY, THROUGH THE BASTROP COUNTY COMMISSIONERS COURT, ACCEPTS THE DEDICATION OF THE IMPROVEMENTS DELINEATED AND SHOWN ON THIS FINAL PLAT, SAID IMPROVEMENTS ARE NOT BASTROP COUNTY IMPROVEMENTS AND ARE NOT SUBJECT TO BASTROP COUNTY MAINTENANCE.

28. THIS SUBDIVISION IS LOCATED WITHIN THE STATUTORY ETJ OF THE CITY OF BASTROP.

29. FLOOD WARNING: THE DEGREE OF FLOOD WATER PROTECTION REQUIRED BY THE CITY OF BASTROP FLOOD DAMAGE PREVENTION ORDINANCE IS CONSIDERED REASONABLE FOR THE REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. ACCEPTANCE OF THIS FINAL PLAT BY THE CITY COUNCIL DOES NOT IMPLY THAT LAND OUTSIDE OF THE AREA OF SPECIAL FLOOD HAZARDS OR USES PERMITTED IN SUCH AREAS WILL BE FREE FROM FLOODING OR FLOOD DAMAGES. NOR SHALL ACCEPTANCE OF THIS FINAL PLAT CREATE LIABILITY ON THE PART OF THE CITY OF BASTROP OR ANY OFFICIAL OR EMPLOYEE THEREOF FOR ANY FLOOD DAMAGES THAT RESULT FROM RELIANCE ON THE INFORMATION CONTAINED WITHIN THIS FINAL PLAT OR ANY

ADMINISTRATION DECISION LAWFULLY MADE HEREUNDER. 30. ALL DRAINAGE EASEMENTS, STORM WATER FACILITIES / FEATURES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.

31. ALL WORK, INCLUDING SIGNS, SHALL COMPLY WITH THE CITY OF BASTROP ORDINANCES AND THE CONSENT AGREEMENT FOR THE COLONY MUD NUMBER 1 AND SUBSEQUENT AMENDMENTS.

32. THE DEVELOPER, BUILDER, SELLER, OR AGENT SHALL INFORM, IN WRITING, EACH BUYER OF SUBDIVISION LOTS OR PROPERTY LOCATED WITHIN THE FLOOD HAZARD AREAS THAT SUCH PROPERTY IS AN IDENTIFIED FLOOD HAZARD AREA. 33. ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE COMMITMENT EFFECTIVE DATE: 04-26-2021, CONDUCTED BY CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT

GF. NO. 4210006025 ISSUED BY CHICAGO TITLE INSURANCE COMPANY FOR THIS PROPERTY ARE SHOWN ON THIS FINAL PLAT

34. IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER WITHOUT PONDING IN OR AROUND THE LOT, FROM ITS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.

35. AN OWNER'S ASSOCIATION AND/OR M.U.D. IS RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPE EASEMENTS, DRAINAGE EASEMENTS, SIDEWALKS, AND PRIVATE PARKS AND ALL OTHER COMMON AREAS.

36. STREET LIGHTING LOCATION WILL BE ADDED ON THE FINAL CONSTRUCTION PLANS.

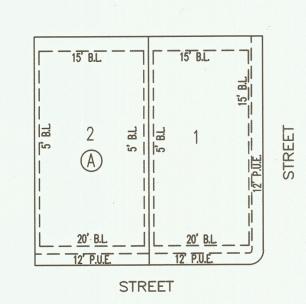
37. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRICAL CONDUCTORS, DRAINAGE

38. PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO: BASTROP COUNTY 9-1-1 ADDRESSING ASSIGNMENT, DRIVEWAY/CULVERT, DEVELOPMENT, FLOODPLAIN, ON-SITE SEWAGE FACILITY, AND LOST PINES HABITAT CONSERVATION PLAN.

39. COUNTY PERMITS ARE OBTAINED AND ISSUED THROUGH THE BASTROP COUNTY DEVELOPMENT SERVICES DEPARTMENT.

40. NO STRUCTURES OR FENCES MAY BE BUILT IN ANY EASEMENT. ANY EXISTING STRUCTURES LOCATED IN A PUBLIC UTILITIES EASEMENT MUST BE REMOVED AT UTILITY COMPANY DISCRETION. 41. NO STRUCTURES OR LAND USE (INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, LANDSCAPING) THAT NEGATIVELY IMPACTS STORMWATER FLOWS SHALL BE ALLOWED IN AREAS DESIGNATED AS PONDS, DRAINAGE EASEMENTS OR DETENTION/RETENTION AREAS.

42. THE CONSENT AGREEMENT LAND USE TYPE FOR THIS PLAT IS COLONY—S (STANDARD LOT).



TYPICAL LOT EASEMENTS

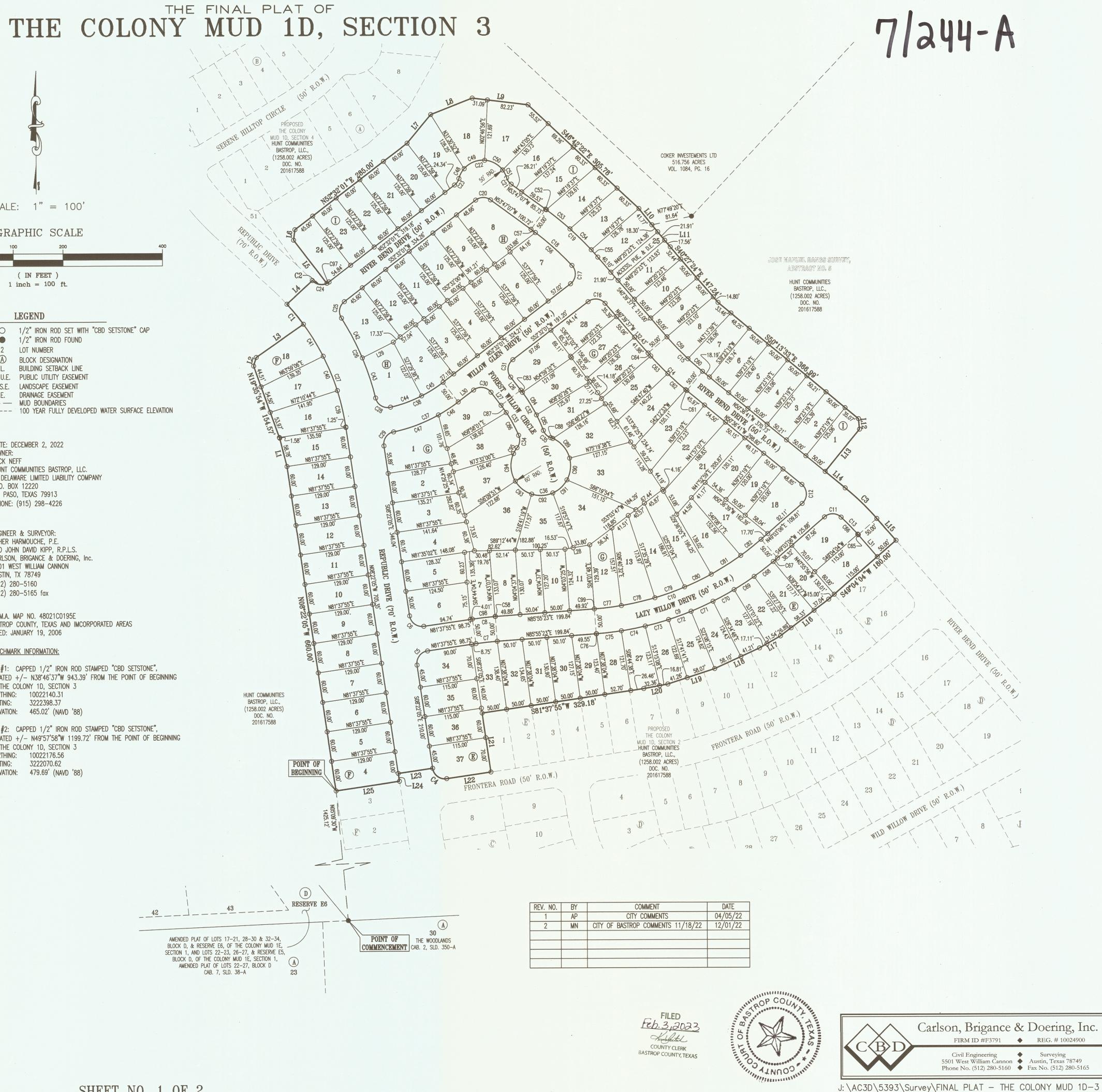
BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE

TOTAL ACREAGE: 25.419 ACRES SURVEY: JOSE MANUEL BANGS SURVEY, A-5

111 19.902 ACRES NO. OF RESIDENTIAL LOTS: NO. OF NON-RESIDENTIAL LOTS: 1 0.062 ACRE TOTAL: 112 19.964 ACRES NO. OF BLOCKS: TOTAL: 5.455 ACRES R.O.W.: NON - RESIDENTIAL LOTS ACCESS, P.U.E., & D.E. LOT

LINEAR FOOTAGE OF RIGHT-OF-WAY

FOREST WILLOW CIRCLE	50' R.O.W.	234	FT	LOCAL
LAZY WILLOW DRIVE	50' R.O.W.	959	FT	LOCAL
REPUBLIC DRIVE	70' R.O.W.	1,005	FT	COLLECTOR
RIVER BEND DRIVE	50 R.O.W.	1,535	FT	LOCAL
WILLOW GLEN DRIVE	50 R.O.W.	568	FT	LOCAL
TOTAL		4,301	FT	



SCALE: 1" = 100'

GRAPHIC SCALE

(IN FEET)

1 inch = 100 ft.

● 1/2" IRON ROD FOUND

BLOCK DESIGNATION

P.U.E. PUBLIC UTILITY EASEMENT

L.S.E. LANDSCAPE EASEMENT

D.E. DRAINAGE EASEMENT --- MUD BOUNDARIES

DATE: DECEMBER 2, 2022

PHONE: (915) 298-4226

ENGINEER & SURVEYOR: MAHER HARMOUCHE, P.E.

AUSTIN, TX 78749

(512) 280-5160

(512) 280-5165 fax

AND JOHN DAVID KIPP, R.P.L.S. CARLSON, BRIGANCE & DOERING, Inc.

5501 WEST WILLIAM CANNON

F.E.M.A. MAP NO. 48021C0195E

OF THE COLONY 1D, SECTION 3

ELEVATION: 465.02' (NAVD '88)

OF THE COLONY 1D, SECTION 3

ELEVATION: 479.69' (NAVD '88)

NORTHING: 10022176.56

EASTING: 3222070.62

NORTHING: 10022140.31

EASTING: 3222398.37

DATED: JANUARY 19, 2006

BENCHMARK INFORMATION:

BASTROP COUNTY, TEXAS AND IMCORPORATED AREAS

BM #1: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE",

BM #2: CAPPED 1/2" IRON ROD STAMPED "CBD SETSTONE",

LOCATED +/- N38'46'37"W 943.39' FROM THE POINT OF BEGINNING

LOCATED +/- N49'57'58"W 1199.72' FROM THE POINT OF BEGINNING

HUNT COMMUNITIES BASTROP, LLC.

A DELAWARE LIMITED LIABILITY COMPANY

OWNER: RICK NEFF

P.O. BOX 12220 EL PASO, TEXAS 79913

BUILDING SETBACK LINE

LOT NUMBER

O 1/2" IRON ROD SET WITH "CBD SETSTONE" CAP

---- 100 YEAR FULLY DEVELOPED WATER SURFACE ELEVATION

LEGEND

THE COLONY MUD 1D, SECTION 3

Line Table

L17 48.65 S60°11'53"W

L18 99.31 S65°26'59"W

L19 99.33 S71°59'16"W

L20 49.17 S79°20'57"W

L21 | 120.00 | S08°22'05"E

L22 90.00 S81°37'55"W

L23 70.00 S81°37'55"W

L24 15.90 S08°22°05"E

L25 | 129.00 | S81°37'55"W

L26 33.22 S37°27'59"E

L27 33.22 N37°27'59"W

L28 50.33 S80°08'56"W

L29 70.06 S63°16'54"W

Line # Length Direction

C1	Length 52.50 31.84 88.69 39.27 39.27 43.07 46.81 402.21	Radius 466.00 25.00 525.00 25.00 25.00 25.00 625.00 625.00	Chord Direction N39'21'09"W S79'04'12"E S45'46'18"E N53'22'05"W S36'37'55"W S53'22'05"E S83'46'39"W	52.47 29.73 88.58 35.36 35.36 35.36 43.05	Tangent 26.28 18.49 44.45 25.00 25.00 21.54	DELTA 6"27'17" 72'58'50" 9"40'45" 90'00'00" 90'00'00"
C2 C3 C4 C5 C6 C7 C8	31.84 88.69 39.27 39.27 39.27 43.07 46.81	25.00 525.00 25.00 25.00 25.00 575.00 625.00	\$79'04'12"E \$45'46'18"E N53'22'05"W \$36'37'55"W \$53'22'05"E \$83'46'39"W	29.73 88.58 35.36 35.36 35.36	18.49 44.45 25.00 25.00 25.00	72'58'50" 9'40'45" 90'00'00" 90'00'00"
C3	88.69 39.27 39.27 39.27 43.07 46.81 402.21	525.00 25.00 25.00 25.00 575.00 625.00	S45'46'18"E N53'22'05"W S36'37'55"W S53'22'05"E S83'46'39"W	88.58 35.36 35.36 35.36	44.45 25.00 25.00 25.00	9°40'45" 90°00'00" 90°00'00" 90°00'00"
C4	39.27 39.27 39.27 43.07 46.81 402.21	25.00 25.00 25.00 575.00 625.00	N53'22'05"W S36'37'55"W S53'22'05"E S83'46'39"W	35.36 35.36 35.36	25.00 25.00 25.00	90°00'00"
C5 C6 C7 C8 C9	39.27 39.27 43.07 46.81 402.21	25.00 25.00 575.00 625.00	S36'37'55"W S53'22'05"E S83'46'39"W	35.36 35.36	25.00 25.00	90°00'00"
C6 C7 C8 C9	39.27 43.07 46.81 402.21	25.00 575.00 625.00	S53°22'05"E S83°46'39"W	35.36	25.00	90°00'00"
C7 C8 C9	43.07 46.81 402.21	575.00 625.00	S83°46'39"W			
C8 C9	46.81 402.21	625.00		43.05	21.54	49472009
C9	402.21		007940170741	.0.00		4°17'28"
		605.00	S83°46'39"W	46.80	23.42	4°17'28"
C10		625.00	N67°29'15"E	395.30	208.34	36°52'17"
010	370.03	575.00	N67°29'15"E	363.68	191.68	36°52'17"
C11	36.67	25.00	N88°55'21"W	33.47	22.53	84°03'06"
C12	43.49	25.00	N00°46'47"W	38.21	29.62	99°39'47"
C13	49.45	475.00	N43°54'52"W	49.43	24.75	5°57'53"
C14	108.55	625.00	S45°38'09"E	108.41	54.41	9°57'04"
C15	99.87	575.00	S45°38'09"E	99.74	50.06	9°57'04"
C16	37.88	25.00	N84°03'48"W	34.36	23.64	86°48'22"
C17	41.60	25.00	N04°51'47"E	36.96	27.45	95°20'29"
C18	110.17	575.00	N48'17'47"W	110.00	55.25	10°58'39"
C19	143.17	625.00	N47°13'22"W	142.86	71.90	13°07'30"
C20	32.15	25.00	S89°22'27"W	29.98	18.73	73°40′52″
C21	16.08	25.00	S35°21'39"E	15.80	8.33	36°50'56"
C22	128.65	50.00	S89°21'05"W	95.99	171.12	147"25'29"
C23	16.10	25.00	N34°05'11"E	15.82	8.34	36°53'41"
C24	37.04	25.00	S85°01'23"E	33.74	22.86	84°53'12"
C25	37.04	25.00	S10°05'25"W	33.74	22.86	84°53'12"
C26	175.80	536.00	N22°57'25"W	175.01	88.70	18°47'32"
C27	278.25	466.00	N25'28'26"W	274.14	143.41	34°12'42"
C28	38.97	25.00	S58°13'13"E	35.14	24.70	89°19'08"
C29	37.70	25.00	S34°49'58"W	34.23	23.48	86°24'05"
C30	39.27	25.00	N82°27'59"W	35.36	25.00	90°00'00"
C31	39.27	25.00	S07°32'01"W	35.36	25.00	90°00'00"
C32	93.41	325.00	N29°13'57"W	93.09	47.03	16°28'02"

			Curve Ta	ble		
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C34	26.31	25.00	N07°16'52"E	25.11	14.52	60°17'51"
C35	21.43	25.00	S45°33'32"E	20.78	11.42	49°07'12"
C36	301.12	60.00	N73°39'20"E	70.92	43.95	287°32'56
C37	144.64	325.00	N65°17'01"E	143.45	73.54	25°29'59"
C38	118.01	275.00	N64°49'37"E	117.10	59.93	24°35'11"
C39	75.33	466.00	N12°59'57"W	75.25	37.75	9°15'44"
C40	74.63	466.00	N22°13'06"W	74.55	37.40	9°10'34"
C41	75.79	466.00	N31°27'57"W	75.71	37.98	9°19'08"
C42	90.64	536.00	S27°30'31"E	90.53	45.43	9°41'19"
C43	85.16	536.00	S18°06'45"E	85.07	42.67	9°06'13"
C44	66.72	275.00	N70°10'10"E	66.56	33.53	13°54'05"
C45	51.29	275.00	N57*52'35"E	51.21	25.72	10°41'07"
C46	47.63	325.00	N56°43'56"E	47.59	23.86	8°23'49"
C47	97.01	325.00	N69°28'55"E	96.65	48.87	17°06'10"
C48	22.41	50.00	N28°28'42"E	22.22	11.40	25°40'43"
C49	46.38	50.00	N67°53'19"E	44.73	25.01	53°08'32"
C50	42.17	50.00	S61°22'48"E	40.93	22.43	48"19'14"
C51	17.70	50.00	S27°04'41"E	17.61	8.94	20°17'00"
C52	2.08	625.00	N53°41'24"W	2.08	1.04	0°11'26"
C53	60.97	625.00	N50°47'59"W	60.95	30.51	5°35'23"
C54	60.21	625.00	N45°14'42"W	60.19	30.13	5'31'12"
C55	19.90	625.00	N41°34'21"W	19.90	9.95	1°49'29"
C56	99.39	575.00	N47°45'36"W	99.27	49.82	9°54'15"
C57	10.77	575.00	N53°14'55"W	10.77	5.39	1°04'24"
C58	0.69	625.00	N85°53'30"E	0.69	0.34	0°03'48"
C59	61.34	575.00	S43°42'59"E	61.31	30.70	6°06'44"
C60	38.53	575.00	S48°41'31"E	38.52	19.27	3°50'20"
C61	3.03	625.00	N50°28'20"W	3.03	1.52	0°16'41"
C62	48.39	625.00	N48°06'54"W	48.38	24.21	4°26'10"
C63	49.11	625.00	N43°38'46"W	49.10	24.57	4°30'07"
C64	8.02	625.00	N41°01'39"W	8.02	4.01	0°44'06"
C65	1.73	475.00	N41°02'10"W	1.73	0.86	0°12'29"
C66	47.72	475.00	N44°01'07"W	47.70	23.88	5°45'23"

		Curve Tal	ole		
ength	Radius	Chord Direction	Chord Length	Tangent	DELTA
1.35	625.00	N49°34'19"E	11.35	5.68	1°02'26"
8.46	625.00	N52°18'49"E	48.45	24.24	4°26'32"
8.46	625.00	N56°45'22"E	48.45	24.24	4*26'34"
8.46	625.00	N61°11'55"E	48.45	24.24	4°26'34"
8.46	625.00	N65°38'29"E	48.45	24.24	4*26'34"
8.46	625.00	N70°05'02"E	48.45	24.24	4°26'34"
8.46	625.00	N74°31'36"E	48.45	24.24	4°26'34"
9.18	625.00	N79°00'07"E	49.16	24.60	4°30'30"
0.36	625.00	N83°33′53″E	50.35	25.20	4°37'02"
0.54	625.00	N85°53'54"E	0.54	0.27	0.03,00,
4.65	575.00	N83°11'28"E	54.63	27.35	5°26'46"
9.26	575.00	N77°01'02"E	69.22	34.67	6'54'05"
3.80	575.00	N70°23'16"E	63.77	31.93	6°21'28"
9.29	575.00	N64°15′18″E	59.26	29.67	5*54'28"
0.29	575.00	N57°47'56"E	70.25	35.19	7°00'15"
2.64	575.00	N51°40'28"E	52.62	26.34	5*14'43"
5.69	325.00	S36°57'52"E	5.69	2.85	1°00'14"
3.53	325.00	S31°44'38"E	53.47	26.83	9°26′14"
4.18	325.00	S24°00'44"E	34.17	17.11	6"01'35"

C86 | 52.06 | 275.00 | N28*17*28*W | 51.98 | 26.11 | 10*50'49*

C87 | 18.01 | 275.00 | N35°35'26"W | 18.00 | 9.01 | 3°45'06"

C88 | 4.45 | 60.00 | S67"59"37"E | 4.45 | 2.23 | 4"15"01"

C89 | 54.00 | 60.00 | S40°05'09"E | 52.19 | 28.98 | 51°33'55"

C90 | 45.06 | 60.00 | S07"12"33"W | 44.00 | 23.65 | 43"01"28"

C91 | 39.28 | 60.00 | S47"28'41"W | 38.59 | 20.38 | 37"30'49"

C92 | 43.61 | 60.00 | S87°03'18"W | 42.65 | 22.82 | 41°38'26"

C93 42.99 60.00 N51°35′50″W 42.08 22.47 41°03′19″

C94 | 57.71 | 60.00 | N03°30′49″W | 55.51 | 31.31 | 55°06′42″

C95 | 14.02 | 60.00 | N30°44°10"E | 13.99 | 7.04 | 13°23°16"

C97 | 5.20 | 25.00 | N58°29'12"E | 5.19 | 2.61 | 11°54'22"

C98 | 46.12 | 625.00 | N83°44'46"E | 46.11 | 23.07 | 4°13'41"

C99 0.09 575.00 N85'55'07"E 0.09 0.05 0'00'33"

L30 38.98 S52°32'01"W L31 58.27 N40°55'56"W 2°47'40"W

BEING ALL OF THAT CERTAIN 25.419 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO AND BOUNDS AS FOLLOWS:

COMMENCING, AT A 1/2 INCH IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID 1258.002 ACRE TRACT OF LAND, BEING AT THE SOUTHEAST CORNER OF RESERVE E6, BLOCK D AMENDED PLAT OF LOTS 17-21, 28-30 & 32-34, BLOCK D, & RESERVE E6, OF THE COLONY MUD 1E, SECTION 1, AND LOTS 22-23, 26-27, & RESERVE E5, BLOCK D, OF THE COLONY MUD 1E, SECTION 1, AMENDED PLAT OF LOTS 22-27, BLOCK D, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 38-A, PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.TX.), SAME BEING ON THE NORTH LINE OF LOT 30, BLOCK A, THE WOODLANDS, A SUBDIVISION RECORDED IN CABINET 2, SLIDE 350-A, P.R.B.C.TX., FOR THE POINT OF COMMENCEMENT OF THE

THENCE, NO5'09'30"W, OVER AND ACROSS SAID 1258.002 ACRE TRACT OF LAND, A DISTANCE OF 1425.12 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE SOUTHWEST CORNER AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND,

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING THIRTY-SEVEN (37) COURSES AND DISTANCES, NUMBERED 1 THROUGH 37,

1) NO8'22'05"W, A DISTANCE OF 660.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

2) N14'29'51"W, A DISTANCE OF 58.78 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

3) N19°35'54"W, A DISTANCE OF 154.57 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 4) N17°42'40"E, A DISTANCE OF 18.04 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

5) N55'01'15"E, A DISTANCE OF 116.13 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT, 6) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 466.00 FEET, AN ARC LENGTH OF 52.50 FEET, AND A CHORD THAT BEARS N39°21'09"W, A DISTANCE OF 52.47 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE"

7) N47°25'13"E, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

8) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 31.84 FEET, AND A CHORD THAT BEARS S79°04'12"E, A DISTANCE OF 29.73 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE"

9) N37°27'59"W, A DISTANCE OF 109.46 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

10) NO7°32'01"E, A DISTANCE OF 21.21 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

11) N52°32'01"E, A DISTANCE OF 285.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 12) N39°41'33"E, A DISTANCE OF 74.81 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

13) N68°30'23"E, A DISTANCE OF 89.79 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

14) S82°52'51"E, A DISTANCE OF 113.31 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

15) S46°42'22"E, A DISTANCE OF 305.78 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

16) S38°18'59"E, A DISTANCE OF 41.77 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, FROM WHICH A 1/2 INCH IRON ROD FOUND AT AN ANGLE POINT ON THE NORTH LINE OF SAID 1258.002 ACRE TRACT, BEING AT THE SOUTHEAST CORNER OF A CALLED 516.756 ACRE TRACT OF LAND CONVEYED TO COKER INVESTMENTS, LTD. BY DEED RECORDED IN VOLUME 1084, PAGE 16, O.P.R.B.C.TX., BEARS N77*49'20"E, A DISTANCE OF 81.64

17) S39°29'29"E, A DISTANCE OF 57.77 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

18) S40°27'24"E, A DISTANCE OF 147.24 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 19) S50°13'33"E, A DISTANCE OF 366.99 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

20) S05°25'07"E, A DISTANCE OF 21.18 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

21) S39°23'19"W, A DISTANCE OF 109.79 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

22) S50°36'40"E, A DISTANCE OF 52.33 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,

23) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 525.00 FEET, AN ARC LENGTH OF 88.69 FEET, AND A CHORD THAT BEARS S45°46'18"E, A DISTANCE OF 88.58 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

24) S40'55'56"E, A DISTANCE OF 58:27 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND,

25) S49°04'04"W, A DISTANCE OF 180.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

26) S52°47'40"W, A DISTANCE OF 122.25 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 27) S60°11'53"W, A DISTANCE OF 48.65 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

28) S65'26'59"W, A DISTANCE OF 99.31 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

29) S71°59'16"W, A DISTANCE OF 99.33 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

30) S79°20'57"W, A DISTANCE OF 49.17 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

31) S81°37'55"W, A DISTANCE OF 329.18 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 32) S08*22'05"E, A DISTANCE OF 120.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

33) S81°37'55"W, A DISTANCE OF 90.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT, 34) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.27 FEET, AND A CHORD THAT BEARS N53*22'05"W, A DISTANCE OF 35.36 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD

SETSTONE" FOR CORNER, 35) S81°37'55"W, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

36) S08*22'05"E, A DISTANCE OF 15.90 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, AND

37) S81°37'55"W, A DISTANCE OF 129.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 25.419 ACRES OF LAND.

7,740 7,740 7,740 7,933 9,078 9,123 8.699 7,919 8,306 8,706 7,593 9,024 6,749 6,749 6,438 6,291 6,348 7,386 8,873 9,297 10,033 8,297 8,744 7,994 6,000 6,209 9,862 9,053 8,672 7,985 7,037 6,410 6.844 7,365 7,948 7,006 7,296 8,604 15,503 12,018 8,908 12,200 8,418 9,353 8,632

NON - RESIDENTIAL LOTS

BLOCK LOT PURPOSE

1 25 ACCESS, P.U.E., & D.E.

8,421

7,500

7,500

7,500

9,383

7,500

7,500 7,500

9,018

6,261

6,304

6,311

6,328

6.648

6,159

6,168

6,180

7,522

7,531

7,614

8,005

8,725

11,355

10,206

8,452

7,500

7,500

7,500

7,500 7,386

2,720

10.644

6,900

7,822

6.638 6,826 7,102 7,916 6,900

6,900

7,916

7,740

7,740 7,740

7,740

7,740

7,740

STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS

THAT, HUNT COMMUNITIES BASTROP, LLC., A DELAWARE LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH RICK NEFF, SENIOR VICE PRESIDENT AND BEING THE OWNER OF 1258.002 ACRE TRACT OF LANDOUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5. SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDED 25.419 ACRE TRACT OF LAND WITH THE PLAT SHOWN HERE ON, TO BE KNOWN AS:

"THE COLONY MUD 1D, SECTION 3"

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY STREETS AND/OR EASEMENTS

SHOWN HEREON TO THE PUBLIC.
WITNESS MY HAND THIS _____ DAY OF

HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY 4401 N. MESA STREET, EL PASO, TEXAS 79902

STATE OF TEXAS

COUNTY OF BASTROP § KNOW ALL MEN BY THESE PRESENTS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING. AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE 20 DAY OF January

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





FLOOD PLAIN NOTE:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021C0195E FOR BASTROP COUNTY TEXAS, DATED JANUARY 19, 2006, COMMUNITY NUMBER 481193.

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS COUNTY OF BASTROP)(KNOW ALL MEN BY THESE PRESENTS:

I, MAHER HARMOUCHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP.

CARLSON, BRIGANCE & DOERING, INC.



STATE OF TEXAS COUNTY OF BASTROP KNOW ALL MEN BY THESE PRESENTS:

AUSTIN, TEXAS 78749

AUSTIN, TEXAS 78749

5501 WEST WILLIAM CANNON DRIVE

THAT I, JOHN DAVID KIPP, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON—THE—GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BASTROP, BASTROP COUNTY, TEXAS. ALL EASEMENTS OF RECORD AS SHOWN ON THE TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, GF NO. 4210006025, EFFECTIVE DATE APRIL 26, 2021, ISSUED DATE MAY 5, 2021 HAVE BEEN IDENTIFIED ON THIS PLAT TO THE BEST OF MY KNOWLEDGE.

JOHN DAVID KIPP ~ R.P.L.S. NO. 5844 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE



216th OF January, 2023 A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

STATE OF TEXAS COUNTY OF BASTROP

O'CLOCK MIN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET ____

FILED FOR RECORD ON THE 3rd DAY OF FEBRUARY, 2023 A.D.



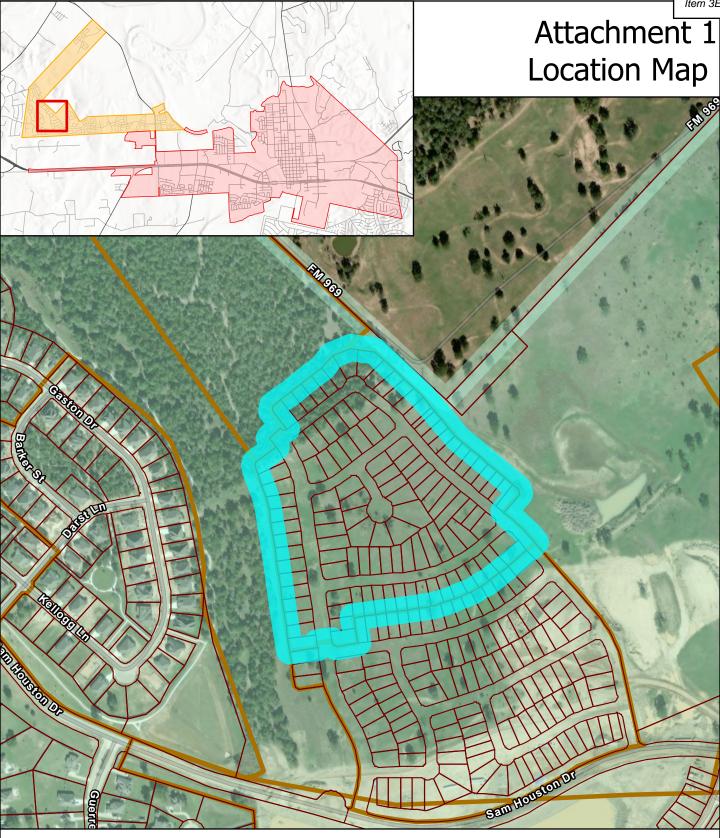




Carlson, Brigance & Doering, Inc. FIRM ID #F3791 • REG. # 10024900

5501 West William Cannon Austin, Texas 78749 Phone No. (512) 280-5160 Fax No. (512) 280-5165

J:\AC3D\5393\Survey\FINAL PLAT - THE COLONY MUD 1D-3



Scale 1:5,300



The Colony MUD 1D, Section 3 Vacating Plat

600 800 1,000 ft 200

Current Time: 6/27/2024 2:46 PM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced. The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.



STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve The Colony MUD 1F, Section 2 Final Plat, being 32.250 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins – Senior Planner, Development Services

ITEM DETAILS:

Site Address: Southwest of Republic Drive (Attachment 1)

Total Acreage: 32.250 acres

Legal Description: 32.250 acres of the Jose Manuel Bangs Survey, Abstract No. 5

Property Owner: Rick Neff/Hunt Communities Bastrop, L.L.C.

Agent Contact: Matt Synatschk, Carlson, Brigance, and Doering, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: None. Extra-Territorial Jurisdiction, The Colony MUD

Adopted Plan: Fourth Amendment to the Colony MUD Consent Agreement,

Approved November 5, 2020

Future Land Use: Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application for a Final Plat for The Colony MUD 1F, Section 2. The plat includes 103 residential lots and a total of 6 non-residential lots (Exhibit A). The proposed single-family lots follow the lot standards adopted in the Consent Agreement, as amended.

Traffic Impact and Streets

The Final Plat proposes to extend Republic Drive, which connects to Sam Houston Drive to the northern arm of the development and provides the main access into the development. Sidewalks will also be built within the development, which will ultimately connect to the existing neighborhood trail system.

A traffic impact analysis (TIA) for the overall development of The Colony MUD has been previously approved by the City, and the plat is consistent with the numbers for the impact to the existing roadways. Improvements along FM 969 have been completed with previous sections, and provisions for a future traffic signal are included in an agreement with TxDOT.

Republic Drive will serve as the main collector that will connect Sam Houston to the remainder of The Colony in the northern arm. The developer has the option to gate the individual neighborhoods off Sam Houston Drive within this section.

Utilities

Water service (domestic and fire) will be provided by The Colony MUD via water line extensions from existing infrastructure located near FM 969. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Public Improvement Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by The Colony MUD. Wastewater improvements were included in the approved Public Improvement Plan.

Drainage

Stormwater runoff generated within the western portion of the property will be routed to a detention pond to the west. The remainder of the stormwater runoff within the property will be routed through an underground storm sewer network, which will then flow into a detention pond east of the section. Both ponds will then discharge at pre-developed rates to the north. The drainage plan is using the updated rainfall totals of Atlas 14. Additionally, the residential lots will include maximum impervious coverage limit that is reflected in the system capacity. A Final Drainage Plan has been reviewed and approved by the City Engineer.

POLICY EXPLANATION:

Final Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area. The plat proposes residential lots.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Consent Agreement with the Colony Municipal Utility District that allows the city to agree to specific land uses and development standards, even though the development is not within the city limits. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Consent Agreement, The Colony MUD development includes four different single-family lot standards and two multi-family standards.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ).

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 32.250-acre tract into 103 residential lots and 6 non-residential lots. Public improvements within the subdivision (streets, drainage, and other utilities) will be dedicated to The Colony Municipal Utility District upon their completion.

Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
 - (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The final plat conforms to the Future Land Use Plan, which is designated Neighborhood Residential for this area.

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;
 - A traffic impact analysis (TIA) for the overall development of The Colony Subdivision has been previously approved by the City, and the plat is consistent with the recommendations of that analysis. Improvements along FM 969 were built with the previous section and included items such as turning and deceleration lanes. Provisions for a future traffic signal have been required by the Texas Department of Transportation.
- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality;and

A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

The plat complies with the requirements of the adopted B³ Code and Consent Agreement.

B³ Code – Chapter 1: Subdivisions

Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.

Section 1.3.002 Preliminary Plat or Section 1.3.003 Final Plat
 The Preliminary Plat was approved by the Planning and Zoning Commission on February 24, 2022.

The Final Drainage Plan to determine drainage requirements was approved by the City Engineer on June 20, 2024.

The Public Improvement Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on June 20, 2024.

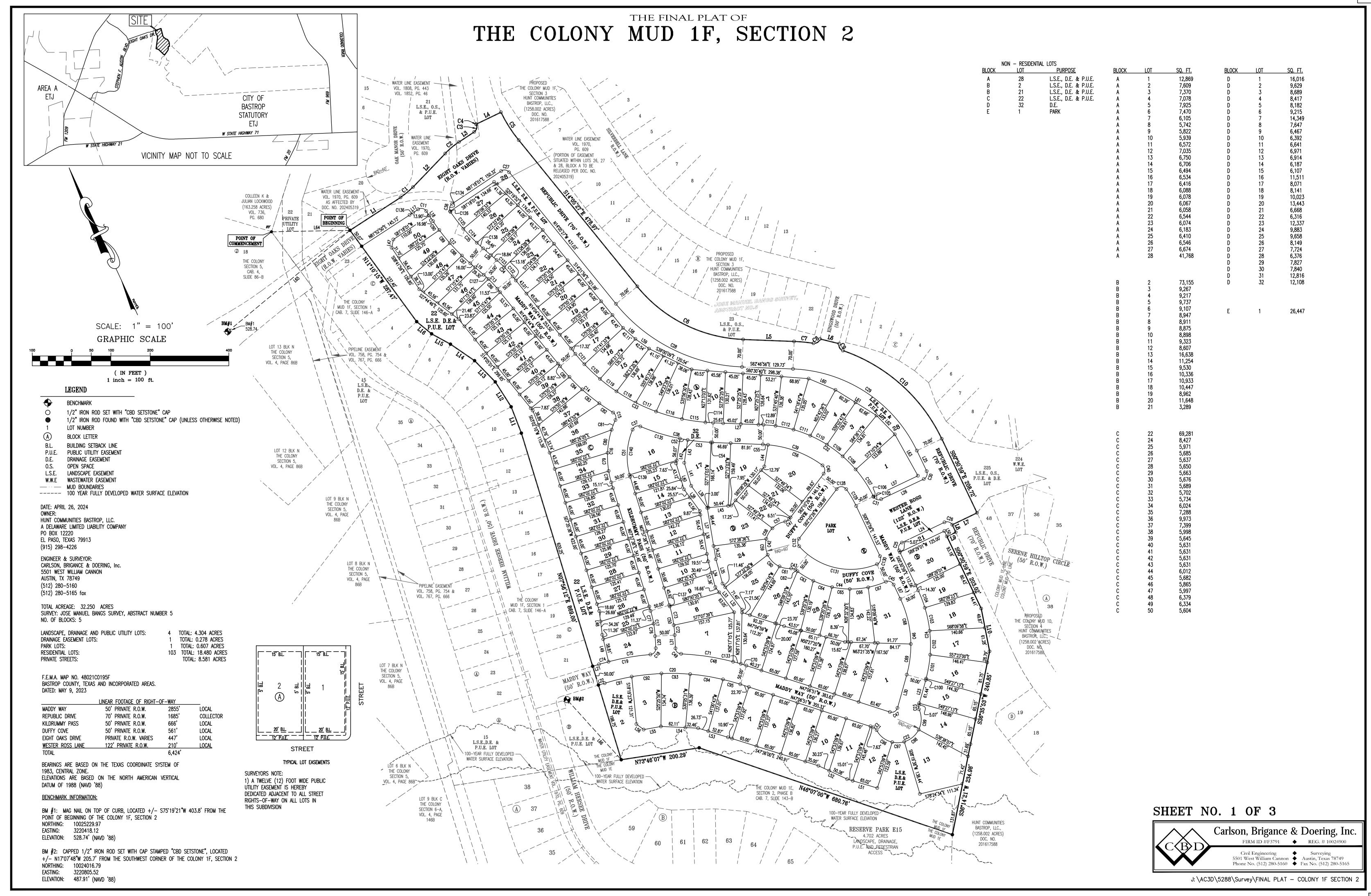
- Section 1.3.004 Plat Requirements
 - The Development Review Committee reviewed Final Plat for The Colony MUD 1F Section 2, for compliance with subdivision and utility standards and deemed the plat administratively complete.

RECOMMENDATION:

Consider action to approve The Colony MUD 1F, Section 2 Final Plat, being 32.250 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1D, Section 2 Final Plat
- Attachment 1: Location Map
- Attachment 2: The Colony MUD Lot Layout



THE FINAL PLAT OF MUD 1F, SECTION 2

			Curve Ta	ble		
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C1	41.15	189.00	N75°03'49"E	41.06	20.65	12°28'25"
C2	45.72	210.00	N75°03'49"E	45.63	22.95	12°28'25"
C3	21.52	15.00	N40°11'43"E	19.72	13.09	82'12'36"
C4	0.67	435.00	N00°51'56"W	0.67	0.33	0'05'17"
C5	84.53	365.00	S07°27'22"E	84.34	42.46	13'16'09"
C6	310.19	365.00	S38°26'12"E	300.94	165.16	48*41'30"
C7	49.44	435.00	S59°31'35"E	49.41	24.75	6°30'43"
C8	22.23	15.00	N81°16'46"E	20.25	13.72	84°54'01"
C9	22.23	15.00	S03°37'15"E	20.25	13.72	84*54'01"
C10	345.86	435.00	S23'17'38"E	336.82	182.65	45'33'16"
C11	23.56	15.00	N53°41'59"W	21.21	15.00	90'00'00"
C12	143.63	525.00	N16°32'14"W	143.18	72.27	15'40'29"
C13	49.42	275.00	N19°13'36"W	49.35	24.77	10°17'44"
C14	179.89	525.00	N23°53'41"W	179.01	90.83	19°37'55"
C15	21.76	15.00	N07°51'07"E	19.90	13.30	83"07'30"
C16	162.79	225.00	N28°41'15"E	159.26	85.14	41°27'14"
C17	65.64	275.00	N14°47'53"E	65.48	32.97	13°40'30"
C18	23.19	15.00	N65°55'13"E	20.95	14.63	88'34'09"
C19	133.56	625.00	N75°55'02"W	133.31	67.04	12"14'39"
C20	350.49	575.00	N64°34'36"W	345.09	180.88	34°55'30"
C21	11.61	15.00	N24°55'54"W	11.33	6.12	44°21'55"
C22	185.59	60.00	N88'38'23"E	119.96	2474.89	177"13'21"
C23	10.65	15.00	N20°22'22"E	10.43	5.56	40°41'19"
C24	233.89	325.00	N20°06'01"E	228.88	122.27	41°14'01"
C25	23.56	15.00	N44°29'01"E	21.21	15.00	90'00'00"
C26	22.54	15.00	N47°23'21"W	20.48	14.01	86'06'03"
C27	22.15	15.00	N56°23'43"W	20.19	13.65	84°36'32"
C28	369.67	435.00	N38°26'11"W	358.65	196.83	48'41'29"
C29	396.66	365.00	N31°38'57"W	377.43	220.47	62"15'57"
C30	23.56	15.00	N44°29'01"E	21.21	15.00	90'00'00"
C31	23.43	15.00	N45°46'32"W	21.12	14.86	89*28'55"
C32	350.25	325.00	N31°54'31"W	333.55	194.31	61°44'52"
C33	403.77	475.00	N38°25'50"W	391.72	214.99	48°42'13"
C34	58.40	325.00	N19°13'36"W	58.32	29.28	10°17'44"
C35	124.66	475.00	N16°51'21"W	124.31	62.69	15'02'15"
C36	23.73	15.00	N35°58'54"E	21.33	15.17	90'38'15"
C37	23.48	15.00	N87°03'31"W	21.15	14.92	89°40'38"
C38	188.41	525.00	N52°30'04"W	187.40	95.23	20'33'45"
C39	163.21	275.00	N45°46'48"W	160.83	84.09	34°00'18"
C40	23.81	15.00	N16°41'54"E	21.39	15.25	90'57'05"
C41	11.32	15.00	N83°47'22"E	11.05	5.94	43'13'52"
C42	183.56	60.00	N17°45'36"E	119.90	1459.10	175*17'26"
C43	11.40	15.00	N48°06'31"W	11.13	5.99	43°33′12″
C44	244.35	225.00	N57°26'40"W	232.52	135.79	62°13'28"
C45	23.05	15.00	N44°32'11"W	20.85	14.50	88'02'25"
C46	197.91	275.00	N20°06'01"E	193.66	103.46	41°14'01"
C47	24.13	15.00	N86°48'05"E	21.61	15.58	92'10'07"

			Curve Tab	sle		
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C48	169.18	625.00	N54°52'08"W	168.66	85.11	15'30'33"
C49	22.06	15.00	N20°29'38"W	20,12	13,57	84*15'33"
C50	77.57	325.00	N14°47'53"E	77.38	38.97	13'40'30"
C51	122.61	175.00	N28°01'54"E	120.11	63.94	40'08'31"
C52	20.01	525.00	S54°49'47"E	20.01	10.01	2'11'01"
C53	59.56	525.00	S59°10'18"E	59.53	29.81	6'30'01"
C54	3.31	525.00	N62°36'07"W	3.31	1.65	0°21'39"
C55	13.23	275.00	N61°24'14"W	13.23	6.62	2'45'26"
C56	149.98	275.00	N44°24'05"W	148.13	76.90	31°14′51″
C57	37.37	60.00	S87°33'46"W	36.77	19.31	35'41'04"
C58	31.50	60.00	S54°40'48"W	31.14	16.12	30'04'52"
C59	41.26	60.00	S19'56'13"W	40.46	21.49	39°24'19"
C60	43.07	60.00	S20°19'47"E	42.15	22.51	41'07'42"
C61	30.36	60.00	S55°23'23"E	30.04	15.51	28'59'29"
C62	6.85	225.00	S27°12'17"E	6.85	3.43	1°44'43"
C63	47.24	225.00	N34°05'30"W	47.15	23.70	12'01'43"
C64	50.24	225.00	S46°30'08"E	50.13	25.22	12'47'33"
C65	45.54	225.00	S58'41'48"E	45.46	22.85	11'35'48"
C66	47.06	225.00	S70°29'13"E	46.98	23.62	11'59'02"
C67	47.43	225.00	S82°31'04"E	47.34	23.80	12'04'39"
C68	118.80	275.00	N11°51'36"E	117.88	60.34	24°45′10″
C69	79.10	275.00	N32°28'36"E	78.83	39.83	16'28'51"
C70	14.80	625.00	N47°47'34"W	14.80	7.40	1°21'25"
C71	133.74	625.00	N56°29'37"W	133.48	67.12	12'15'36"
C72	25.30	325.00	N19°24'20"E	25.29	12.66	4°27'37 "
C73	48.76	325.00	N12°52'39"E	48.71	24.43	8'35'45"
C74	25.26	625.00	N80°52'53"W	25.26	12.63	2'18'56"
C75	108.30	625.00	N74°45'34"W	108.17	54.29	9'55'42"
C76	31.92	275.00	N18°18'36"E	31.91	15.98	6'39'04"
C77	33.71	275.00	N11°28'21"E	33.69	16.88	7'01'25"
C78	29.98	225.00	N11°46'39"E	29.95	15.01	7"38'01"
C79	46.37	225.00	S21°29'53"W	46.29	23.27	11'48'27"
C80	59.99	225.00	S35'02'24"W	59.81	30.17	15'16'35"
C81	26.45	225.00	S46°02'47"W	26.44	13.24	6°44′11"
C82	42.21	525.00	S31°24'27"E	42.19	21.11	4°36'22"
C83	56.17	525.00	N26°02'22"W	56.14	28.11	6°07'49"
C84	45.30	525.00	S20°30'09"E	45.28	22.66	4°56'37"
C85	36.21	525.00	S16°03'17"E	36.20	18.11	<i>3</i> *57'07 *
C86	33.53	275.00	N17°34'20"W	33.51	16.79	6°59'12"
C87	29.16	525.00	S22°47'00"E	29.15	14.58	<i>3</i> °10'55"
C88	43.90	525.00	S18°47'48"E	43.89	21.97	4°47'30"
C89	42.86	525.00	S14°03'43"E	42.85	21.44	4°40'40"
C90	27.70	525.00	S10°12'41"E	27.70	13.85	3'01'24"
C91	70.82	575.00	N78°30'39"W	70.78	35.45	7*03'25"
C92	76.05	575.00	N71°11'37"W	75.99	38.08	7"34'40"
C93	73.21	575.00	N63°45'25"W	73.16	36.66	7*17'44"
C94	84.82	575.00	N55°53'00"W	84.74	42.49	8'27'06"

			Curve Tab	ole 		
Curve #	Length	Radius	Chord Direction	Chord Length	Tangent	DELTA
C95	45.59	575.00	N49°23'09"W	45.58	22.81	4°32'36"
C96	51.39	60.00	S27"17'07"E	49.83	27.39	49'04'21
C97	31.26	60.00	S66°44'50"E	30.91	15.99	29'51'0
C98	49.28	60.00	N74°47'44"E	47.91	26.13	47'03'47
C99	53.65	60.00	N25°38'47"E	51.88	28.77	51°14'08
C100	3.56	325.00	S40°24'10"W	3.56	1.78	0°37'42"
C101	61.77	325.00	N34°38'36"E	61.68	30.98	10°53'26
C102	61.27	325.00	N23'47'49"E	61.18	30.73	10°48'08
C103	59.86	325.00	N13'07'10"E	59.77	30.01	10°33'11
C104	47.42	325.00	N03'39'48"E	47.38	23.75	8"21'34"
C105	22.56	15.00	S47°25'40"E	20.49	14.03	86°10'39
C106	0.87	15.00	S02°41'12"E	0.86	0.43	3*18'16"
C107	82.64	325.00	N08'19'10"W	82.42	41.55	14°34'11
C108	47.00	325.00	N19°44'51"W	46.96	23.54	8°17'11"
C109	49.68	325.00	N28'16'12"W	49.64	24.89	8*45'32"
C110	48.18	325.00	S36*53'48"E	48.14	24.14	8'29'40"
C111	45.26	325.00	N45°08'02"W	45.23	22.67	7'58'48"
C112	46.71	325.00	N53°14'27"W	46.67	23.39	8*14'02"
C113	30.77	325.00	N60°04'13"W	30.76	15.40	5*25'28"
C114	19.41	475.00	N61°36'42"W	19.41	9.71	2*20'30"
C115	60.35	475.00	S56°48'04"E	60.31	30.22	7'16'47"
C116	68.71	475.00	S49'01'02"E	68.65	34.42	8*17'17"
C117	56.76	475.00	N41°26'59"W	56.73	28.42	6°50'49"
C118	56.43	475.00	S34°37'22"E	56.40	28.25	6'48'25"
C119	52.71	475.00	S28°02'25"E	52.68	26.38	6"21'29"
C120	54.30	475.00	S21°35'11"E	54.27	27.18	6'32'59"
C121	35.09	475.00	S16'11'42"E	35.08	17.55	4*13'58"
C122	31.91	325.00	N16°53'29"W	31.89	15.97	5*37'30"
C123	26.49	325.00	N22°02'21"W	26.49	13.25	4°40'15"
C124	49.57	475.00	S18*47'58"E	49.54	24.81	5'58'44"
C125	53.66	475.00	S12'34'25"E	53.63	26.86	6"28'22"
C126	2.17	15.00	S05'11'14"E	2.17	1.09	8'17'59"
C127	15.88	275.00	N22°43'12"W	15.88	7.94	<i>3</i> *18'33"
C128	27.99	15.00	S64°21'52"E	24.10	20.24	106'55'2
C129	49.85	275.00	N05°42'35"W	49.78	24.99	10°23'12
C130	24.33	15.00	N45'57'14"E	21.75	15.79	92'57'45
C131	216.78	175.00	N52°05'20"W	203.18	124.77	70°58'27
C132	20.62	15.00	N22°47'10"E	19.04	12.32	78'46'32
C133	20.64	625.00	N49°25'03"W	20.64	10.32	1°53'32"
C134	21.56	15.00	S40°07'53"W	19.75	13.12	82°20'16
C135	105.54	525.00	S47°58'44"E	105.36	52.95	11'31'04
C136	10.38	1025.00	N81°35'26"E	10.38	5.19	0°34'49"
C137	3.51	325.00	N08'16'12"E	3.51	1.75	0°37'08"
C138	21.44	475.00	S23°04'54"E	21.43	10.72	2'35'08"
C139	5.12	175.00	N08'47'54"E	5.12	2.56	1°40'31"
C140	117.49	175.00	N28'52'10"E	115.30	61.06	38°28'00

			_			
	Line To	able			Line To	able
ine #	Length	Direction		Line #	Length	Direction
L1	153.33	N81°52'55"E		L18	30.88	N08°41°59″W
L2	118.44	N68'49'37"E		L19	45.30	N24°22'28"W
L3	46.50	N81°18'01"E		L20	30.75	N21°38'08"E
L4	70.00	N89°10'42"E		L21	16.59	N82'02'22"W
L5	129.73	S62°46'56"E		L22	16.57	N82°02'22"W
L6	50.00	S51°10′15″E		L23	66.51	N40°43'02"E
L7	70.00	S89'29'01"W		L24	120.05	N89°29'01"E
L8	21.07	S00°30'59"E		L25	57.72	N00°30′59″W
L9	25.00	S89'29'01"W		L26	120.01	N89°29'01"E
L10	111.14	S13'56'44"W		L27	128.61	N62°46'57"W
L11	71.60	N03°46′19″E		L28	45.30	N24°22'28"W
L12	75.34	N07'31'25"W		L29	128.61	N62°46'57"W
L13	75.35	N19'12'40"W		L30	88.12	N40°43'02"E
L14	74.08	N30°47'27"W		L31	33.76	N21°38'08"E
L15	55.00	N36°04'27"W		L32	82.86	S11°59'08"E
L16	48.98	N25'54'00"W		L33	79.71	S11°59'08"E
L17	15.38	N81°18'01"E		L34	67.85	S09°27'56"W

	Line Table			
Line #	Length	Direction		
L53	79.60	S47'54'48"E		
L54	94.58	S62'30'00"E		
L55	44.94	S75'15'00"E		
L56	22.93	S27°57'48"E		
L57	124.98	S89°29'01"W		
L58	42.11	N23°11'47"W		
L59	42.54	S29'55'41"E		
L60	74.12	S42'32'14"E		
L61	122.97	S33'00'07"E		
L62	67.07	S19'22'02"E		
L63	120.35	S04°11'08"E		
L64	199.82	S66°06'04"E		
L65	403.84	S75°19'19"W		
L66	205.76	N17'07'48"W		
L67	39.89	N00°30'59"W		

SHEET NO. 2 OF 3



THE COLONY MUD 1F, SECTION 2

GENERAL NOTES:

- 1. THE BENCHMARKS USED ARE:
- BM #1: MAG NAIL ON TOP OF CURB, LOCATED +/- S75'19'21"W 403.8' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 2 NORTHING=10025229.97 EASTING=3220418.12 ELEVATION: 528.74' (NAVD '88)
- BM #2: CAPPED 1/2" IRON ROD SET WITH CAP STAMPED "CBD SETSTONE", LOCATED +/- N17'07'48"W 205.7' FROM THE SOUTHWEST CORNER OF THE COLONY 1F, SECTION 2
- NORTHING=10024016.79 EASTING=3220805.52 ELEVATION: 487.91' (NAVD '88)
- 2. WATER IS PROVIDED BY THE COLONY M.U.D. 1F.
- 3. WASTEWATER SERVICE IS PROVIDED BY THE COLONY M.U.D. 1F.
- 4. ELECTRIC SERVICE WILL BE PROVIDED BY BLUEBONNET ELECTRIC.
- 5. GAS SERVICE WILL BE PROVIDED BY CENTER POINT ENERGY.
- 6. CABLE SERVICE WILL BE PROVIDED BY SPECTRUM.7. THIS PLAT CONFORMS TO THE PRELIMINARY PLAT APPROVED BY THE PLANNING & ZONING COMMISSION ON FEBRUARY 24, 2022.
- 8. ALL SUBDIVISION PERMITS SHALL CONFORM TO THE CITY OF BASTROP CODE OF ORDINANCES, PUBLIC IMPROVEMENT STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.
- 9. CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND ACCEPTED BY THE CITY OF BASTROP PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- 10. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES SOLE RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF BASTROP. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE—PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- 11. BY APPROVING THIS FINAL PLAT, THE CITY OF BASTROP ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO THE CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS. SITE PLAN APPROVALS AND/OR CERTIFICATE OF OCCUPANCY.
- 12. FISCAL SURETY FOR SUBDIVISION CONSTRUCTION, IN A FORM ACCEPTABLE TO THE CITY OF BASTROP, SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE CITY.
- 13. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER DISTRIBUTION AND WASTEWATER CONNECTION FACILITIES
- 14. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REQUIREMENTS.
- 15. ALL NEW UTILITIES WILL BE UNDERGROUND.
- 16. IMPACT FEES SHALL BE ASSESSED IN ACCORDANCE WITH THE ORDINANCE EFFECTIVE AT THE TIME OF PLATTING.
- 17. DEVELOPER OR PROPERTY OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL RELOCATIONS AND MODIFICATIONS TO EXISTING UTILITIES.
- 18. NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP PANEL NO. 48021C0195F, FOR BASTROP COUNTY TEXAS, EFFECTIVE MAY 9, 2023. COMMUNITY NUMBER 481193.
- 19. TEMPORARY AND PERMANENT EASEMENTS ARE TO BE PROVIDED AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF—SITE IMPROVEMENTS.

 20. AS SHOWN HEREON, A TWELVE (12) FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY DEDICATED ADJACENT TO STREET
- RIGHT-OF-WAY ON ALL LOTS. A FIVE (5) FOOT WIDE P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE AND REAR LOT LINE.
 21. PROPERTY OWNERS SHALL PROVIDE FOR ACCESS TO ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY
- GOVERNMENT AUTHORITIES.
 22. NO BUILDING, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY
- THE CITY OF BASTROP AND/OR BASTROP COUNTY.

 23. ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNEES.
- 24. NO LOT OR STRUCTURE SHALL BE OCCUPIED PRIOR TO THE APPLICANT SUBMITTING TO THE CITY OF BASTROP DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH TEXAS ARCHITECTURAL BARRIERS ACT (TABA).
- 25. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE CITY OF BASTROP ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION.
- 26. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES AND NATURAL GAS LINES.
- 27. A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT.
- 28. ALL INFRASTRUCTURE REQUIRED FOR ROADS, DRAINAGE, OR OTHER PUBLIC INFRASTRUCTURE (INCLUDING BUT NOT LIMITED TO LIGHTING, SIGNAGE, TRAFFIC LIGHTS, SIDEWALKS, PARKING AREAS, STORM SEWERS, OR OTHER DRAINAGE INFRASTRUCTURE), SHALL BE MAINTAINED BY THE DEVELOPER, OR THEIR ASSIGNS, UNTIL SUCH A TIME THAT IT IS ACCEPTED, IF AT ALL, BY A GOVERNMENTAL ENTITY FOR MAINTENANCE.
- 29. UNTIL SUCH A TIME AS BASTROP COUNTY, THROUGH THE BASTROP COUNTY COMMISSIONERS COURT, ACCEPTS THE DEDICATION OF THE IMPROVEMENTS DELINEATED AND SHOWN ON THIS FINAL PLAT, SAID IMPROVEMENTS ARE NOT BASTROP COUNTY IMPROVEMENTS AND ARE NOT SUBJECT TO BASTROP COUNTY MAINTENANCE.
- 30. THIS SUBDIVISION IS LOCATED WITHIN THE STATUTORY ETJ OF THE CITY OF BASTROP.
- 31. FLOOD WARNING: THE DEGREE OF FLOOD WATER PROTECTION REQUIRED BY THE CITY OF BASTROP FLOOD DAMAGE PREVENTION ORDINANCE IS CONSIDERED REASONABLE FOR THE REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. ACCEPTANCE OF THIS FINAL PLAT BY THE CITY COUNCIL DOES NOT IMPLY THAT LAND OUTSIDE OF THE AREA OF SPECIAL FLOOD HAZARDS OR USES PERMITTED IN SUCH AREAS WILL BE FREE FROM FLOODING OR FLOOD DAMAGES. NOR SHALL ACCEPTANCE OF THIS FINAL PLAT CREATE LIABILITY ON THE PART OF THE CITY OF BASTROP OR ANY OFFICIAL OR EMPLOYEE THEREOF FOR ANY FLOOD DAMAGES THAT RESULT FROM RELIANCE ON THE INFORMATION CONTAINED WITHIN THIS FINAL PLAT OR ANY ADMINISTRATION DECISION LAWFULLY MADE HEREUNDER.
- 32. ALL DRAINAGE EASEMENTS, STORM WATER FACILITIES / FEATURES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
 33. ALL WORK, INCLUDING SIGNS, SHALL COMPLY WITH THE CITY OF BASTROP ORDINANCES AND THE CONSENT AGREEMENT FOR THE COLONY MUD
- NUMBER 1 AND SUBSEQUENT AMENDMENTS.

 34. THE DEVELOPER, BUILDER, SELLER, OR AGENT SHALL INFORM, IN WRITING, EACH BUYER OF SUBDIVISION LOTS OR PROPERTY LOCATED WITHIN
- THE DEVELOPER, BUILDER, SELLER, OR AGENT SHALL INFORM, IN WRITING, EACH BUTER OF SUBDIVISION LOTS OR PROPERTY LOCATED WITHIN THE FLOOD HAZARD AREAS.

 35. ALL FASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE COMMITMENT EFFECTIVE DATE: 04—26—2021. CONDUCTED BY CHICAGO.
- TITLE INSURANCE COMPANY, TITLE COMMITMENT GF. NO. 4210006025 ISSUED BY CHICAGO TITLE INSURANCE COMPANY FOR THIS PROPERTY ARE SHOWN ON THIS FINAL PLAT

 36. IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH
- WILL CONVEY SURFACE WATER WITHOUT PONDING IN OR AROUND THE LOT, FROM ITS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- 37. AN OWNER'S ASSOCIATION AND/OR M.U.D. IS RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPE EASEMENTS, DRAINAGE EASEMENTS AND PRIVATE PARKS AND ALL OTHER COMMON AREAS.
- 38. STREET LIGHTING LOCATION WILL BE ADDED ON THE FINAL CONSTRUCTION PLANS.
- 39. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRICAL CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- 40. PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO: BASTROP COUNTY 9-1-1 ADDRESSING ASSIGNMENT, DRIVEWAY/CULVERT, DEVELOPMENT, FLOODPLAIN, ON-SITE SEWAGE FACILITY, AND LOST PINES HABITAT CONSERVATION PLAN.
- 41. COUNTY PERMITS ARE OBTAINED AND ISSUED THROUGH THE BASTROP COUNTY DEVELOPMENT SERVICES DEPARTMENT.
- 42. NO STRUCTURES MAY BE BUILT IN ANY EASEMENT. ANY EXISTING STRUCTURES LOCATED IN A PUBLIC UTILITIES EASEMENT MUST BE REMOVED AT UTILITY COMPANY DISCRETION.
- 43. NO STRUCTURES OR LAND USE (INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, LANDSCAPING) THAT NEGATIVELY IMPACTS STORMWATER FLOWS SHALL BE ALLOWED IN AREAS DESIGNATED AS PONDS, DRAINAGE EASEMENTS OR DETENTION/RETENTION AREAS.
- 44. THE CONSENT AGREEMENT LAND USE TYPE FOR THIS PLAT IS COLONY-S (STANDARD LOT).
- 45. ALL STREETS TO BE CLASSIFIED AS PRIVATE STREETS AND WILL BE MAINTAINED BY THE H.O.A. OR ASSIGNS.

BEING ALL OF THAT CERTAIN 32.250 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, LLC., BY

BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, LLC., BY DEED RECORDED IN DOCUMENT NUMBER 201617588, OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS (O.P.R.B.C.TX.), SAID 32.250 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

FIELD NOTES

COMMENCING, AT A 1/2 INCH IRON ROD FOUND, BEING AN ANGLE POINT ON THE WEST LINE OF SAID 1258.002 ACRE TRACT AND BEING THE NORTHEAST CORNER OF LOT 18, BLOCK J OF THE COLONY SECTION 5, A SUBDIVISION RECORDED IN CABINET 4, SLIDE 86-B OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.TX.), AND BEING ALSO THE SOUTHEAST CORNER OF A CALLED 163.258 ACRE TRACT OF LAND CONVEYED TO COLLEEN K AND JULIAN LOCKWOOD BY DEED RECORDED IN VOLUME 736, PAGE 680 OF THE DEED RECORDS OF BASTROP COUNTY, TEXAS (D.R.B.C.TX.), FOR THE POINT OF COMMENCEMENT OF THE HEREIN DESCRIBED TRACT,

THENCE, S66'06'04"E, OVER AND ACROSS SAID 1258.002 ACRE TRACT, A DISTANCE OF 199.82 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" ON THE NORTH LINE OF EIGHT OAKS DRIVE (R.O.W. VARIES), BEING THE NORTHEAST CORNER OF THE COLONY M.U.D. 1F, SECTION 1, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 146-A, P.R.B.C.TX., FOR THE NORTHWEST CORNER AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT.

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWENTY-FIVE (25) COURSES AND DISTANCES, NUMBERED 1 THROUGH 25.

- 1. N81'52'55"E, A DISTANCE OF 153.33 FEET TO CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE
- 2. ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 189.00 FEET, AN ARC LENGTH OF 41.15 FEET, AND A CHORD THAT BEARS N75'03'49"E, A DISTANCE OF 41.06 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 3. N68'49'37"E, A DISTANCE OF 118.44 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,
- 4. ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 210.00 FEET, AN ARC LENGTH OF 45.72 FEET, AND A CHORD THAT BEARS N75'03'49"E, A DISTANCE OF 45.63 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 5. N81'18'01"E, A DISTANCE OF 46.50 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE
- BEGINNING OF A CURVE TO THE LEFT,
 6. ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 21.52 FEET, AND A CHORD THAT BEARS
 N40'11'43"E, A DISTANCE OF 19.72 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE
- BEGINNING OF A CURVE TO THE RIGHT,
 7. ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 0.67 FEET, AND A CHORD THAT BEARS
 NOO'51'56"W, A DISTANCE OF 0.67 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 8. N89'10'42"E, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,
- 9. ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 365.00 FEET, AN ARC LENGTH OF 84.53 FEET, AND A CHORD THAT BEARS S07'27'22"E, A DISTANCE OF 84.34 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 10.S14'05'27"E, A DISTANCE OF 478.97 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,
 11.ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 365.00 FEET, AN ARC LENGTH OF 310.19 FEET, AND A CHORD THAT BEARS
- S38'26'12"E, A DISTANCE OF 300.94 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

 12.S62'46'56"E, A DISTANCE OF 129.73 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE
- BEGINNING OF A CURVE TO THE RIGHT,

 13.ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 49.44 FEET, AND A CHORD THAT BEARS

 S59'31'35"E, A DISTANCE OF 49.41 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE
- BEGINNING OF A CURVE TO THE LEFT,

 14.ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 22.23 FEET, AND A CHORD THAT BEARS

 N81*16'46"E, A DISTANCE OF 20.25 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

 15.S51*10'15"E, A DISTANCE OF 50.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE
- BEGINNING OF A CURVE TO THE LEFT,

 16.ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 22.23 FEET, AND A CHORD THAT BEARS
- SO3'37'15"E, A DISTANCE OF 20.25 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 435.00 FEET AN ARC LENGTH OF 345.86 FEET AND A CHORD THAT BEARS.
- 17.ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 345.86 FEET, AND A CHORD THAT BEARS \$23'17'38"E, A DISTANCE OF 336.82 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 18.S00°30°59″E, A DISTANCE OF 208.72 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 19.S89°29°01″W, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 20. S00'30'59"E, A DISTANCE OF 21.07 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 21. S89'29'01"W, A DISTANCE OF 25.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 22. S00°30'59"E, A DISTANCE OF 203.02 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
- 23. S13'56'44"W, A DISTANCE OF 111.14 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,
 24. S36'35'53"W, A DISTANCE OF 240.85 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, AND
 25. S36'14'21"W, A DISTANCE OF 234.98 FEET TO CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" AT THE NORTHEAST CORNER

OF RESERVE PARK E15 OF THE COLONY M.U.D. 1E SECTION 2 PHASE B, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 143-B, P.R.B.C.TX.,

FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND,

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT AND WITH THE NORTH LINE OF SAID RESERVE PARK E15, THE FOLLOWING TWO (2)

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT AND WITH THE NORTH LINE OF SAID RESERVE PARK E15, THE FOLLOWING TWO (2) COURSES AND DISTANCES, NUMBERED 1 AND 2,

1) N46'07'00"W, A DISTANCE OF 680.76 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, AND 2) N73'46'07"W, A DISTANCE OF 200.29 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" AT THE SOUTHEAST CORNER OF SAID THE COLONY M.U.D. 1F, SECTION 1 AND THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT.

THENCE, WITH THE EAST LINE OF SAID THE COLONY M.U.D. 1F, SECTION 1 AND OVER AND ACROSS SAID 1258.002 ACRE TRACT THE FOLLOWING EIGHT (8) COURSES AND DISTANCES, NUMBERED 1 THROUGH 8,

- 1) NO7'56'12"E, A DISTANCE OF 869.00 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, 2) NO3'46'19"E, A DISTANCE OF 71.60 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, 3) NO7'31'25"W, A DISTANCE OF 75.34 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, 4) N19'12'40"W, A DISTANCE OF 75.35 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, 5) N30'47'27"W, A DISTANCE OF 74.08 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, 6) N36'04'27"W, A DISTANCE OF 55.00 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, 7) N25'54'00"W, A DISTANCE OF 48.98 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR CORNER, AND 8) N11'10'15"W, A DISTANCE OF 287.47 FEET TO THE POINT OF BEGINNING AND CONTAINING 32.250 ACRES OF LAND.
- STATE OF TEXAS \$
 \$ KNOW ALL MEN BY THESE PRESENTS
 COUNTY OF BASTROP \$

THAT WE, RICK NEFF, HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNERS OF A 1258.002 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDE 32.250 ACRES OF LAND WITH THE PLAT SHOWN HEREON, TO BE KNOWN AS:

"THE COLONY MUD 1F, SECTION 2"

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY EASEMENTS SHOWN HEREON TO THE PUBLIC.

WITNESS MY HAND THIS ______ DAY OF ______, 20____, A.D.

RICK NEFF
HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY
PO BOX 12220
EL PASO. TEXAS 79913

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__, A.D.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

APPROVED THIS DAY ______ OF _____, 20____, A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS.

ATTEST:

PLANNING & ZONING COMMISSION CHAIRPERSON CITY SECRETARY

STATE OF TEXAS \$ \$ KNOW ALL MEN BY THESE PRESENTS COUNTY OF BASTROP \$

I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ______ DAY OF ______. 20_____, A.D. AT ______ O'CLOCK _____, IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET _______, PAGE ______.

FILED FOR RECORD ON THE _____ DAY OF _____, 20____, 20____ A.D.

FLOOD PLAIN NOTE:

APPROVED:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48201C0195F FOR BASTROP COUNTY TEXAS, DATED MAY 9, 2023. COMMUNITY NUMBER 481193.

COUNTY CLERK, BASTROP COUNTY, TEXAS

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.—F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN—MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS \$
\$ KNOW ALL MEN BY THESE PRESENTS
COUNTY OF BASTROP \$

AUSTIN, TEXAS 78749

I, MAHER HARMOUCHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP AND THAT THE 100-YR FLOOD PLAIN IS AS SHOWN AND WILL BE CONTAINED WITHIN THE DRAINAGE EASEMENT AND OR DRAINAGE RIGHT-OF-WAY. AS SHOWN HEREON.

ENGINEERING BY: _____ DATE _____ DATE ______

MAHER HARMOUCHE, P.E. #143982
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE

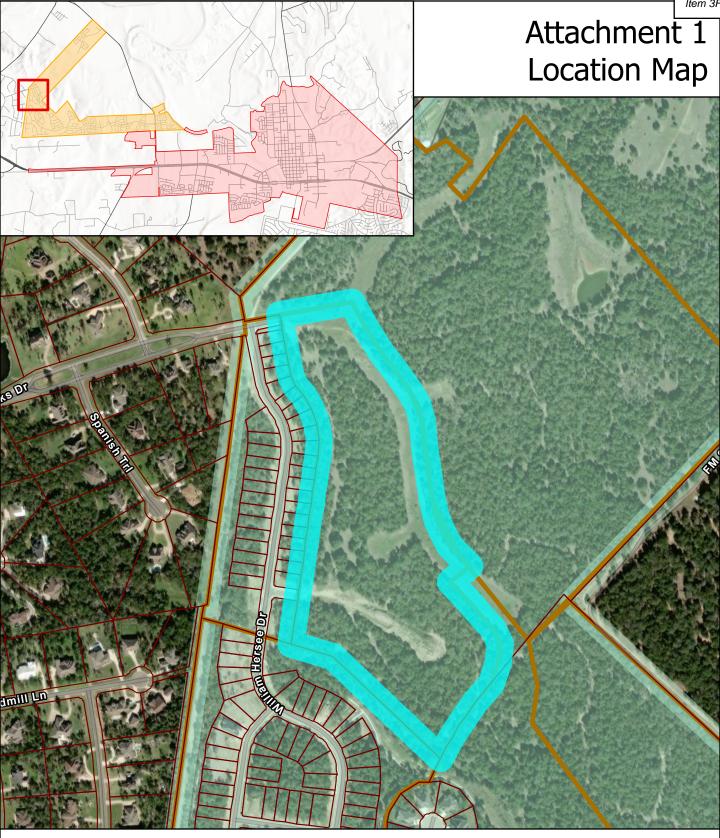


PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. FOR REVIEW ONLY. RELEASE DATE 4/29/2024.

SHEET NO. 3 OF 3



J:\AC3D\5288\Survey\FINAL PLAT - COLONY 1F SECTION 2



Scale 1:5,300



The Colony MUD 1F, Section 2 Final Plat

800 1,000 ft 200 600

Current Time: 6/28/2024 11:58 AM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced. The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.



STAFF REPORT

MEETING DATE: July 25, 2024

TITLE:

Consider action to approve The Colony MUD 1F, Section 3 Final Plat, being 51.850 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located southwest of Republic Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Kennedy Higgins - Senior Planner, Development Services

ITEM DETAILS:

Site Address: East of Republic Drive (Attachment 1)

Total Acreage: 51.850 acres

Legal Description: 51.850 acres of the Jose Manuel Bangs Survey, Abstract No. 5

Property Owner: Rick Neff/Hunt Communities Bastrop, L.L.C.

Agent Contact: Matt Synatschk, Carlson, Brigance, and Doering, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: None. Extra-Territorial Jurisdiction, The Colony MUD

Adopted Plan: Fourth Amendment to the Colony MUD Consent Agreement,

Approved November 5, 2020

Future Land Use: Neighborhood Residential

BACKGROUND/HISTORY:

The applicant has submitted an application for a Final Plat for The Colony MUD 1F, Section 3. The plat includes 110 residential lots and a total of 7 non-residential lots (Exhibit A). The proposed single-family lots follow the lot standards adopted in the Consent Agreement, as amended.

Traffic Impact and Streets

The Final Plat proposes to extend Republic Drive, which connects to Sam Houston Drive to the northern arm of the development and provides the main access into the development. Sidewalks will also be built within the development, which will ultimately connect to the existing neighborhood trail system.

A traffic impact analysis (TIA) for the overall development of The Colony MUD has been previously approved by the City, and the plat is consistent with the numbers for the impact to the existing roadways. Improvements along FM 969 have been completed with previous sections, and provisions for a future traffic signal are included in an agreement with TxDOT.

Republic Drive will serve as the main collector that will connect Sam Houston to the remainder of The Colony in the northern arm.

Utilities

Water service (domestic and fire) will be provided by The Colony MUD via water line extensions from existing infrastructure located near FM 969. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Public Improvement Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by The Colony MUD. Wastewater improvements were included in the approved Public Improvement Plan.

Drainage

Stormwater runoff generated within the western portion of the property will be routed to a detention pond to the west. The remainder of the stormwater runoff within the property will be routed through an underground storm sewer network, which will then flow into a detention pond east of the section. Both ponds will then discharge at pre-developed rates to the north. The drainage plan is using the updated rainfall totals of Atlas 14. Additionally, the residential lots will include maximum impervious coverage limit that is reflected in the system capacity. A Final Drainage Plan has been reviewed and approved by the City Engineer.

POLICY EXPLANATION:

Final Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat complies with the Future Land Use Plan, which shows Neighborhood Residential in this area. The plat proposes residential lots.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Consent Agreement with the Colony Municipal Utility District that allows the city to agree to specific land uses and development standards, even though the development is not within the city limits. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Consent Agreement, The Colony MUD development includes four different single-family lot standards and two multi-family standards.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ).

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 51.850-acre tract into 110 residential lots and 7 non-residential lots. Public improvements within the subdivision (streets, drainage, and other utilities) will be dedicated to The Colony Municipal Utility District upon their completion.

Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
 - (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

The final plat conforms to the Future Land Use Plan, which is designated Neighborhood Residential for this area.

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;
 - A traffic impact analysis (TIA) for the overall development of The Colony Subdivision has been previously approved by the City, and the plat is consistent with the recommendations of that analysis. Improvements along FM 969 were built with the previous section and included items such as turning and deceleration lanes. Provisions for a future traffic signal have been required by the Texas Department of Transportation.
- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality;and

A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

The plat complies with the requirements of the adopted B³ Code and Consent Agreement.

B³ Code – Chapter 1: Subdivisions

Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.

Section 1.3.002 Preliminary Plat or Section 1.3.003 Final Plat
 The Preliminary Plat was approved by the Planning and Zoning Commission on August 25, 2022.

The Final Drainage Plan to determine drainage requirements was approved by the City Engineer on March 7, 2024.

The Public Improvement Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on March 21, 2024.

Section 1.3.004 Plat Requirements

The Development Review Committee reviewed the Final Plat for The Colony MUD 1F, Section 2 for compliance with subdivision and utility standards, and deemed the plat administratively complete.

RECOMMENDATION:

Consider action to approve The Colony MUD 1F, Section 3 Final Plat, being 51.850 acres out of the Jose Manual Bangs Survey, Abstract No. 5, located north of Sam Houston Drive, within the extraterritorial jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1F, Section 3 Final Plat
- Attachment 1: Location Map

69

THE FINAL PLAT OF

THE COLONY MUD 1F, SECTION 3

 jth		Curve Ta	1	Γ	Γ
l	Radius	Chord Direction	Chord Length	Tangent	DELTA
	535.00	N53*19'14"E	180.83	91.74	19°27'35"
I	435.00	N23°17'38"W	336.82	182.65	45°33'16"
	15.00	N03°37'15"W	20.25	13.72	84*54'01"
	15.00 435.00	S81°16'46"W N59°31'35"W	20.25 49.41	13.72 24.75	84°54'01" 6°30'43"
	365.00	N38°26'12"W	300.94	165.16	48*41'30"
	365.00	N07*27'22"W	84.34	42.46	13°16'09"
	435.00	S00°51′56″E	0.67	0.33	0°05'17"
	15.00	S40°11'43"W	19.72	13.09	82*12'36"
· ·	210.00	S75°03'49"W	45.63	22.95	12°28'25"
- 5	189.00	S75°03'49"W	41.06	20.65	12"28'25"
)	545.00	S80°11'43"W	30.61	15.31	3°13'05"
	525.00	S21°49'09"W	10.25	5.13	1*07'08"
	525.00	S24°57'52"W	47.37	23.71	5'10'17"
	525.00	S30°04'19"W	46.20	23.12	5'02'37"
	525.00	S35*04'29"W	45.45	22.75	4°57'43"
)	525.00	S32°12'39"W	199.47	101.58	21*54'07"
_	35.00	N27'38'43"E	18.73	9.72	31°01'59"
'	60.00	S88°39'11"W	116.70	250.39	153'02'56"
	35.00	S28*18'36"E	16.33	8.39	26*58'31"
	225.00	N34°54'07"W	54.03	27.21	13°47'30"
	15.00	S72°28'40"E	21.02	14.73	88*56'36"
	15.00	S66*42'36"E	22.29	16.65	95*57'07"
	15.00	N45°33'26"E	10.14	5.39	39°30'49"
	60.00	N64°36'59"W	120.00	8244.06	179'09'58"
,	375.00	S32°55'42"E	234.78	123.60	36°29'05"
	15.00	S72°47'11"E	11.05	5.94	43°13'52"
	60.00	N06°10'15"W	119.94	1942.96	176°27'45"
	15.00	S60°26'42"W	11.05	5.94	43°13'52"
	15.00	S06°10'15"E	21.21	15.00	90°00'00"
	525.00	N34°27'19"W	302.00	157.66	33°25'51"
	15.00	S42°54'57"E	12.76	7.05	50°21'07"
	60.00	N79°23'41"E	64.50	38.24	294*58'24"
	15.00	N14°34'15"E	16.04	9.49	64°37'17"
	475.00	N34°27'19"W	273.24	142.65	33*25'51"
	15.00	S83°49'45"W	21.21	15.00	90'00'00"
	15.00	N06°10'15"W	21.21	15.00	90°00'00"
	625.00	S30°03'58"E	450.09	241.23	42*12'34"
	15.00	N28°28'58"W	10.02	5.32	39*02'34"
	60.00	S32°29'09"W	118.35	358.15	160°58'46"
<u> </u>	15.00	N89°08'41"E	12.12	6.63	47*39'41"
)	15.00	N23*17'24"E	20.08	13.52	84°02'53"
5 	25.00	N64°41'09"W	38.30	29.79	100°00'00"
3	425.00	S32*55'42"E	266.08	140.08	36°29'05"
7	25.00	N06°10'15"W	35.36	25.00	90°00'00"
6	15.00	N83'49'45"E	21.21	15.00	90°00'00"
0	575.00	S30°03'58"E	414.08	221.93	42°12'34"
) 	25.00 60.00	S28°10'35*W	30.19 32.00	18.93 16.60	74*16'31" 30*55'55"
_	60.00	S12°04'43"E S18°51'12"W	32.00	16.60	30°55'55"
) 	60.00	S57°02'34"W	46.35	25.13	45*26'48"
9	525.00	N42*49'07*E	6.29	3.14	0°41'10"
}	525.00	N42 49 07 E S40°00'57*W	45.07	22.55	4*55'12"
· 	525.00	N42°17'04"W	45.88	22.96	5'00'30"
	525.00	N36°59'26"W	51.10	25.58	5'34'45"
	525.00	N26°06'19"W	48.11	24.08	5'15'07"
	15.00	N24°51'21"W	8.22	4.27	31*47'20"
	60.00	S30°39'24"W	38.13	20.11	37*03'22"
	60.00	S64°39'03"W	32.00	16.60	30°55'55"
	60.00	N84°25'02"W	32.00	16.60	30°55'55"
	60.00	N53°29'07"W	32.00	16.60	30°55'55"
	60.00	N26°25'15"W	24.13	12.31	23*11'48"
	225.00	N41°11'58"W	4.70	2.35	1°11'47"
	15.00	S58*56'13"E	19.36	12.68	80°24'21"
	15.00	N73°05'13"E	4.06	2.05	15°32'45"
_	60.00	N40°47'19"E	31.03	16.06	29*58'33"
	60.00	S10°53'58"W	36.37	19.08	35*17'22"
	60.00	S77°57'36"W	45.31	24.47	44*22'01"
⊢	60.00	N60°22'49"W	40.01	21.22	38°57'15"
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C69 | 40.79 | 60.00 | N60°22'49"W | 40.01 | 21.22 | 38°57'15"

C77 | 55.91 | 175.00 | N37°41'07"W | 55.67 | 28.20 | 18°18'21"

C78 | 53.60 | 60.00 | N54°08'18"E | 51.84 | 28.74 | 51°11'19"

49.15 | 24.63 | 7°30'52"

93.58 | 47.16 | 14°20'09"

90.63 | 45.65 | 13°52'50"

1.90 | 0.95 | 7°15'13"

65.24 | 38.87 | 65*52'13

69.84 | 42.94 | 71°11'07'

17.19 | 8.68 | 16°28'17

C70 | 49.18 | 375.00 | S18°26'36"E |

C71 | 93.83 | 375.00 | S29°22'06"E

C72 | 90.85 | 375.00 | S43°28'35"E

C73 | 1.90 | 15.00 | N44°22'38"W

C74 | 68.98 | 60.00 | NO7°58'07"W

C75 | 74.55 | 60.00 | N42°20'16"W

C76 | 17.25 | 60.00 | N86°09'58"W

BEING ALL OF THAT CERTAIN 51.850 ACRE TRACT OR PARCEL OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY. ABSTRACT NUMBER 5. SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258,002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, LLC.. BY DEED RECORDED IN DOCUMENT NUMBER 201617588, OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS (O.P.R.B.C.TX.), SAID 51.850 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS

Line Table

L1 | 57.65 | S47°18'29"E

L2 | 138.64 | S49°36'35"E

L3 | 46.56 | N51°48'15"E

L4 | 116.40 | S63°03'02"W

L5 | 70.00 | S26°58'58"E

| L6 | 167.77 | N4*3*°35'27"E

L7 | 177.79 | S46°24'33"E

L9 | 91.62 | N84°41'23"W

L10 49.82 S62'34'07"W

L11 | 50.00 | N51°10'15"W

L12 | 129.73 | N62*46'56"W

L13 | 70.00 | S89°10'42"W

L14 | 46.50 | S81°18'01"W

L15 | 118.44 | S68°49'37"W

L16 | 153.33 | S81°52'55"W

L17 | 132.54 | S78°34'58"W

L18 | 114.65 | N11°22'18"W

L19 | 22.21 | S19'02'19"W

L20 | 13.03 | S07°51'50"W

L21 72.35 N36*59'26"W

L22 | 63.33 | S36*59'26"E

L23 | 100.74 | S24°50'53"W

L24 | 29.80 | N16°51'04"E

L25 | 24.10 | N62*49'38"E

L26 | 49.75 | S35°42'54"E

L27 | 50.00 | S38°49'45"W

L28 | 80.25 | N25*18'00"W

L29 | 52.00 | N05°43'41"W

L30 | 60.60 | N12*54'36"E

L31 | 46.93 | N28°38'45"W

L32 | 47.07 | N30°02'04"W

L33 | 46.92 | N46°17'50"W

L34 | 46.32 | N47°27'00"W

L35 | 50.18 | N46°19'15"W

L36 | 30.71 | S51°10'15"E

L37 | 46.73 | S51°10'15"E

L38 | 123.73 | N38°49'45"E

L39 | 268.45 | N65°18'51"E

| L40 | 164.91 | S51°10'15"E

L41 | 164.91 | S51°10'15"E

L42 | 116.78 | S38'49'45"W

L43 | 51.64 | S51°10'15"E

L44 | 116.78 | S38°49'45"W

L45 | 78.08 | N11°51'29"W

L46 28.53 S17*44'23"E

L47 | 80.39 | N42°41'37"E

L48 | 91.06 | S51°10'15"E

L49 | 42.79 | S65°18'51"W

L50 8.92 N46°50'18"W

L51 4.57 N26°56'58"W

L52 4.56 N26*56'58"W

L53 | 20.52 | N68°18'21"E

L55 | 53.30 | S65'18'51"W

L56 | 51.64 | S51°10'15"E

L57 | 38.54 | S17°44'23"E

C148 | 8.53 | 35.00 | N19°06'45"E | 8.51 | 4.29 | 13°58'03"

C151 | 1.39 | 15.00 | S12°01'41"E | 1.39 | 0.70 | 5°18'57"

C153 | 489.21 | 365.00 | S24°18'21"W | 453.41 | 289.26 | 76°47'37"

C155 | 15.16 | 60.00 | N10°01'02"E | 15.12 | 7.62 | 14°28'39"

C156 | 141.48 | 60.00 | N84°54'20"E | 110.91 | 145.21 | 135°05'59"

25.41 | 13.00 | 24°27'10"

2.47 0°45'14"

4.63 34°20'12"

0.15 0°04'42"

4.93

0.31

C149 | 25.61 | 60.00 | S88°00'27"E |

C150 | 4.93 | 375.00 | S50°47'37"E |

C154 | 0.31 | 225.00 | S28'02'45"E |

C152 | 8.99 | 15.00 | S07°47'54"W | 8.86

Line # | Length | Direction

BEGINNING, AT A 1/2 INCH IRON ROD FOUND, BEING AN ANGLE POINT ON THE WEST LINE OF SAID 1258.002 ACRE TRACT AND BEING THE NORTHEAST CORNER OF LOT 18. BLOCK J OF THE COLONY SECTION 5. A SUBDIVISION RECORDED IN CABINET 4. SLIDE 86-B OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.TX.), AND BEING ALSO THE SOUTHEAST CORNER OF A CALLED 163.258 ACRE TRACT OF LAND CONVEYED TO COLLEEN K AND JULIAN LOCKWOOD BY DEED RECORDED IN VOLUME 736, PAGE 680 OF THE DEED RECORDS OF BASTROP COUNTY, TEXAS (D.R.B.C.TX.), FOR THE SOUTHWEST CORNER AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT,

THENCE, N42°41'31"E, WITH THE COMMON LINE OF SAID 1258.002 ACRE TRACT AND SAID 163.258 ACRE TRACT, A DISTANCE OF 1068.97 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT,

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWELVE (12) COURSES AND DISTANCES, NUMBERED

1) \$47'18'29"E, A DISTANCE OF 57.65 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER. 2) S49°36'35"E. A DISTANCE OF 138.64 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER. 3) N51°48'15"E, A DISTANCE OF 46.56 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 4) \$26°57'07"E, A DISTANCE OF 196.26 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 5) S63'03'02"W, A DISTANCE OF 116.40 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 6) S26*58'58"E, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

7) N63'03'02"E, A DISTANCE OF 210.50 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT, 8) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 535.00 FEET, AN ARC LENGTH OF 181.71 FEET, AND A CHORD THAT

CORNER. 9) N43'35'27"E, A DISTANCE OF 167.77 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 10) S46°24'33"E. A DISTANCE OF 177.79 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER. 11) S32*10'36"E, A DISTANCE OF 1060.46 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

BEARS N53*19*14"E, A DISTANCE OF 180.83 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR

12) S22°53'34"E, A DISTANCE OF 390.57 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" ON THE EAST LINE OF SAID 1258.002 ACRE TRACT, BEING THE WEST LINE OF A CALLED 516.756 ACRE TRACT OF LAND CONVEYED TO COKER INVESTMENTS LTD BY DEED RECORDED IN VOLUME 1084, PAGE 16, O.P.R.B.C.TX., FOR THE NORTHEAST CORNER OF THE HEREIN

THENCE, \$43'15'16"W, WITH THE COMMON LINE OF SAID 1258.002 ACRE TRACT AND SAID 516.756 ACRE TRACT, A DISTANCE OF 1017.81 FEET TO A 1/2 INCH IRON PIPE FOUND AT AN ANGLE POINT ON THE EAST LINE OF SAID 1258.002 ACRE TRACT, BEING THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT AND THE SOUTHWEST CORNER OF SAID 516.756 ACRE TRACT,

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING TWENTY-ONE (21) COURSES AND DISTANCES, NUMBERED 1 THROUGH 21,

1) N80°47'01"W, A DISTANCE OF 62.76 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 2) N84°41'23"W, A DISTANCE OF 91.62 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 3) S62°34'07"W, A DISTANCE OF 49.82 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, 4) NOO 30 59 W, A DISTANCE OF 208.72 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

BEING AT THE BEGINNING OF A CURVE TO THE LEFT, 5) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 345.86 FEET, AND A CHORD THAT BEARS N23'17'38"W, A DISTANCE OF 336.82 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR

CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT, 6) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 22.23 FEET, AND A CHORD THAT BEARS NO3'37'15"W, A DISTANCE OF 20.25 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR

7) N51'10'15"W, A DISTANCE OF 50.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,

8) ALONG SAID CURVE TO THE RIGHT. HAVING A RADIUS OF 15.00 FEET. AN ARC LENGTH OF 22.23 FEET. AND A CHORD THAT BEARS S81°16'46"W, A DISTANCE OF 20.25 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

9) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 49.44 FEET, AND A CHORD THAT BEARS N59'31'35"W, A DISTANCE OF 49.41 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR 10) N62'46'56"W, A DISTANCE OF 129.73 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER,

BEING AT THE BEGINNING OF A CURVE TO THE RIGHT, 11) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 365.00 FEET, AN ARC LENGTH OF 310.19 FEET, AND A CHORD THAT BEARS N38'26'12"W, A DISTANCE OF 300.94 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE"

12) N14'05'27"W, A DISTANCE OF 478.97 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,

13) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 365.00 FEET, AN ARC LENGTH OF 84.53 FEET, AND A CHORD THAT BEARS NO7'27'22"W, A DISTANCE OF 84.34 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR

14) S89°10'42"W, A DISTANCE OF 70.00 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT, 15) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 435.00 FEET, AN ARC LENGTH OF 0.67 FEET, AND A CHORD THAT

BEARS S00°51'56"E, A DISTANCE OF 0.67 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT 16) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, AN ARC LENGTH OF 21.52 FEET, AND A CHORD THAT BEARS \$40°11'43"W, A DISTANCE OF 19.72 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR

17) S81°18'01"W, A DISTANCE OF 46.50 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

18) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 210.00 FEET, AN ARC LENGTH OF 45.72 FEET, AND A CHORD THAT BEARS \$75'03'49"W, A DISTANCE OF 45.63 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR

19) S68°49'37"W. A DISTANCE OF 118.44 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, BEING AT THE BEGINNING OF A CURVE TO THE RIGHT,

20) ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 189.00 FEET, AN ARC LENGTH OF 41.15 FEET, AND A CHORD THAT BEARS \$75'03'49"W, A DISTANCE OF 41.06 FEET TO A CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE" FOR CORNER, AND

21) S81°52'55"W, A DISTANCE OF 153.33 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR THE NORTHEAST CORNER OF THE EAST TERMINUS LINE OF EIGHT OAKS DRIVE (R.O.W. VARIES), ACCORDING TO THE PLAT OF THE COLONY MUD 1F, SECTION 1, A SUBDIVISION RECORDED IN CABINET 7, SLIDE 146-A, P.R.B.C.TX., BEING AT THE BEGINNING OF A CURVE TO THE LEFT,

THENCE, CONTINUING OVER AND ACROSS SAID 1258.002 ACRE TRACT, WITH THE NORTH LINE OF SAID EIGHT OAKS DRIVE, BEING ALSO THE NORTH LINE OF SAID THE COLONY MUD 1F, SECTION 1, THE FOLLOWING TWO (2) COURSES AND DISTANCES, NUMBERED 1

1) ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 545.00 FEET, AN ARC LENGTH OF 30.61 FEET. AND A CHORD THAT BEARS S80'11'43"W, A DISTANCE OF 30.61 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR

CORNER, AND 2) S78°34'58"W, A DISTANCE OF 132.54 FEET TO A CAPPED 1/2 INCH IRON ROD FOUND STAMPED "CBD SETSTONE" FOR THE NORTHWEST CORNER OF THE WEST TERMINUS LINE OF SAID EIGHT OAKS DRIVE, BEING ON THE WEST LINE OF SAID 1258.002 ACRE TRACT, SAME BEING THE EAST LINE OF SAID THE COLONY SECTION 5.

THENCE, N11°22'18"W, WITH THE WEST LINE OF SAID 1258.002 ACRE TRACT AND THE EAST LINE OF SAID THE COLONY SECTION 5, A DISTANCE OF 114.65 FEET TO THE POINT OF BEGINNING AND CONTAINING 51.850 ACRES OF LAND.

1. THE BENCHMARKS USED ARE:

BM #1: MAG NAIL ON TOP OF CURB, LOCATED +/- S48'36'41"W 277.21' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 3

NORTHING=10025229.97 EASTING=3220418.12 ELEVATION: 528.74' (NAVD '88) BM #2: CAPPED 1/2 INCH IRON ROD SET STAMPED "CBD SETSTONE", LOCATED +/- N46°53'24"E 254.82'

FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 3 NORTHING=10025587.40 EASTING=3220812.12 ELEVATION: 531.68' (NAVD '88)

2. WATER SERVICE IS PROVIDED BY THE COLONY M.U.D. 1F. 3. WASTEWATER SERVICE IS PROVIDED BY THE COLONY M.U.D. 1F.

4. ELECTRIC SERVICE WILL PROVIDED BY BLUEBONNET ELECTRIC.

GAS SERVICE WILL BE PROVIDED BY CENTER POINT ENERGY. 6. CABLE SERVICE IS PROVIDED BY SPECTRUM.

. THIS PLAT CONFORMS TO THE PRELIMINARY PLAT APPROVED BY THE PLANNING & ZONING COMMISSION ON AUGUST 25, 2022.

8. ALL SUBDIVISION PERMITS SHALL CONFORM TO THE CITY OF BASTROP CODE OF ORDINANCES, PUBLIC IMPROVEMENT STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.

9. CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND ACCEPTED BY THE CITY OF BASTROP PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.

10. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES SOLE RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF BASTROP. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO

NOT COMPLY WITH SUCH CODES AND REQUIREMENTS. 11. BY APPROVING THIS FINAL PLAT, THE CITY OF BASTROP ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE LOTS IN THIS SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR THE

OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO THE CITY STANDARDS MAY BE

JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATE OF OCCUPANCY. 12. FISCAL SURETY FOR SUBDIVISION CONSTRUCTION, IN A FORM ACCEPTABLE TO THE CITY OF BASTROP, SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE CITY.

13. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER DISTRIBUTION AND WASTEWATER CONNECTION FACILITIES

14. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REQUIREMENTS.

15. ALL NEW UTILITIES WILL BE UNDERGROUND.

16. IMPACT FEES SHALL BE ASSESSED IN ACCORDANCE WITH THE ORDINANCE EFFECTIVE AT THE TIME OF PLATTING. 17. DEVELOPER OR PROPERTY OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL RELOCATIONS AND MODIFICATIONS TO existing utilities.

18. NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP PANEL NO. 4821C0195F, FOR BASTROP COUNTY TEXAS, EFFECTIVE MAY 9, 2023. COMMUNITY NUMBER 481193.

19. TEMPORARY AND PERMANENT EASEMENTS ARE TO BE PROVIDED AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF-SITE IMPROVEMENTS. 20. AS SHOWN HEREON, A TWELVE (12) FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY DEDICATED ADJACENT

TO STREET RIGHT-OF-WAY ON ALL LOTS. A FIVE (5) FOOT WIDE P.U.E. IS HEREBY DEDICATED ALONG EACH SIDE AND REAR LOT LINE. 21. PROPERTY OWNERS SHALL PROVIDE FOR ACCESS TO ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT

PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES. 22. NO BUILDING, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN,

EXCEPT AS APPROVED BY THE CITY OF BASTROP AND/OR BASTROP COUNTY. 23. ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER

ASSIGNEES. 24. NO LOT OR STRUCTURE SHALL BE OCCUPIED PRIOR TO THE APPLICANT SUBMITTING TO THE CITY OF BASTROP DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH

TEXAS ARCHITECTURAL BARRIERS ACT (TABA). 25. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN HEREON AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL

CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES AND NATURAL GAS LINES. 26. A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT.

27. ALL INFRASTRUCTURE REQUIRED FOR PUBLIC ROADS, DRAINAGE, OR OTHER PUBLIC INFRASTRUCTURE (INCLUDING BUT NOT LIMITED TO LIGHTING, SIGNAGE, TRAFFIC LIGHTS, SIDEWALKS, PARKING AREAS, STORM SEWERS, OR OTHER DRAINAGE INFRASTRUCTURE), SHALL BE MAINTAINED BY THE DEVELOPER, OR THEIR ASSIGNS, UNTIL SUCH A TIME THAT IT IS ACCEPTED, IF AT ALL, BY A GOVERNMENTAL ENTITY FOR MAINTENANCE.

28. UNTIL SUCH A TIME AS BASTROP COUNTY, THROUGH THE BASTROP COUNTY COMMISSIONERS COURT. ACCEPTS THE DEDICATION OF THE IMPROVEMENTS DELINEATED AND SHOWN ON THIS FINAL PLAT, SAID IMPROVEMENTS ARE NOT BASTROP COUNTY IMPROVEMENTS AND ARE NOT SUBJECT TO BASTROP COUNTY MAINTENANCE. 29. THIS SUBDIVISION IS LOCATED WITHIN THE STATUTORY ETJ OF THE CITY OF BASTROP.

30. ALL DRAINAGE EASEMENTS, STORM WATER FACILITIES / FEATURES SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.

31. ALL WORK. INCLUDING SIGNS. SHALL COMPLY WITH THE CITY OF BASTROP ORDINANCES AND THE CONSENT. AGREEMENT FOR THE COLONY MUD NUMBER 1 AND SUBSEQUENT AMENDMENTS. 32. THE DEVELOPER, BUILDER, SELLER, OR AGENT SHALL INFORM, IN WRITING, EACH BUYER OF SUBDIVISION LOTS OR

PROPERTY LOCATED WITHIN THE FLOOD HAZARD AREAS THAT SUCH PROPERTY IS AN IDENTIFIED FLOOD HAZARD AREA. 33. ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE COMMITMENT EFFECTIVE DATE: 04-26-2021, CONDUCTED BY CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT GF. NO. 4210006025 ISSUED BY CHICAGO

TITLE INSURANCE COMPANY FOR THIS PROPERTY ARE SHOWN ON THIS FINAL PLAT 34. IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER WITHOUT PONDING IN OR AROUND THE LOT, FROM ITS STRUCTURE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER

35. AN OWNER'S ASSOCIATION AND/OR M.U.D. IS RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPE EASEMENTS, DRAINAGE EASEMENTS, STREET LIGHTING, PRIVATE PARKS AND ALL OTHER COMMON AREAS. 36. STREET LIGHTING LOCATION WILL BE ADDED ON THE FINAL CONSTRUCTION PLANS.

37. PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN AND/OR DESCRIBED HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONUITS, ELECTRICAL CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.

38. PROPERTY IN THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO: BASTROP COUNTY 9-1-1 ADDRESSING ASSIGNMENT, DRIVEWAY/CULVERT, DEVELOPMENT, FLOODPLAIN, ON-SITE SEWAGE FACILITY, AND LOST PINES HABITAT CONSERVATION

39. COUNTY PERMITS ARE OBTAINED AND ISSUED THROUGH THE BASTROP COUNTY DEVELOPMENT SERVICES DEPARTMENT. 40. NO STRUCTURES MAY BE BUILT IN ANY EASEMENT. ANY EXISTING STRUCTURES LOCATED IN A PUBLIC UTILITIES EASEMENT MUST BE REMOVED AT UTILITY COMPANY DISCRETION.

41. NO STRUCTURES OR LAND USE (INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, LANDSCAPING) THAT NEGATIVELY IMPACTS STORMWATER FLOWS SHALL BE ALLOWED IN AREAS DESIGNATED AS PONDS, DRAINAGE EASEMENTS OR DETENTION/RETENTION AREAS.

42. THE CONSENT AGREEMENT LAND USE TYPE FOR THIS PLAT IS COLONY—S (STANDARD LOT). 43. ALL STREETS TO BE CLASSIFIED AS PRIVATE STREETS AND WILL BE MAINTAINED BY THE H.O.A. OR ASSIGNS.

FLOODPLAIN NOTES:

1. EROSION AND SEDIMENTATION CONTROLS, CONSTRUCTED IN ACCORDANCE WITH THE CODE OF ORDINANCES OF THE CITY OF BASTROP, ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, INCLUDING SINGLE FAMILY, DUPLEX, AND MULTI-FAMILY CONSTRUCTION.

2. FLOOD WARNING: THE DEGREE OF FLOOD WATER PROTECTION REQUIRED BY THE CITY OF BASTROP AND BASTROP COUNTY FLOOD DAMAGE PREVENTION ORDER IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES AND IS BASED ON SCIENTIFIC AND ENGINEERING CONSIDERATIONS. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. ACCEPTANCE OF THIS FINAL PLAT BY THE CITY COUNCIL AND COMMISSIONERS COURT DOES NOT IMPLY THAT LAND OUTSIDE OF THE AREA OF SPECIAL FLOOD HAZARDS OR USES PERMITTED IN SUCH AREAS WILL BE FREE FROM FLOODING OR FLOOD DAMAGES. NOR SHALL ACCEPTANCE OF THIS FINAL PLAT CREATE LIABILITY ON THE PART OF THE CITY OF BASTROP. BASTROP COUNTY OR ANY OFFICIAL OR EMPLOYEE THEREOF FOR ANY FLOOD DAMAGES THAT RESULT FROM RELIANCE ON THE INFORMATION CONTAINED WITHIN THIS FINAL PLAT OR ANY ADMINISTRATION DECISION LAWFULLY MADE HEREUNDER.

STATE OF TEXAS COUNTY OF BASTOP)(KNOW ALL MEN BY THESE PRESENTS:

THAT WE, RICK NEFF, HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNERS OF THE 1258.002 ACRE TRACT OF LANDOUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDE 51.850 ACRES OF LAND WITH THE PLAT SHOWN HEREON, TO BE KNOWN AS:

"THE COLONY MUD 1F, SECTION 3

SUBJECT TO EASEMENTS AN	D RESTRICTIONS HERETOFORE	GRANTED AND NOT I	RELEASED AND DO	HEREBY DEDICATE	EASEMENTS SHOWN	HEREON TO
THE PUBLIC.						
WITH THAND THIS	DAY OF	20	ΔD			

HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY

PO BOX 12220

EL PASO, TEXAS 79913

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK NEFF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__, A.D.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

FLOOD PLAIN NOTE:

SURVEYED BY

STATE OF TEXAS

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021C0195F FOR BASTROP COUNTY TEXAS, DATED MAY 9, 2023. COMMUNITY NUMBER 481193.

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS COUNTY OF TRAVIS)(KNOW ALL MEN BY THESE PRESENTS:

I. MAHER HARMOUCHE, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP.

* MAHER HARMOUCHE 143982 SS/ONAL ENGINEER MAHER HARMOUCHE, P.E. #143982 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE CARLSON, BRIGANCE, & DOERING, INC. AUSTIN, TEXAS 78749

COUNTY OF TRAVIS KNOW ALL MEN BY THESE PRESENTS:

AUSTIN, TEXAS 78749

THAT I, JOHN DAVID KIPP, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BASTROP, BASTROP COUNTY, TEXAS. ALL EASEMENTS OF RECORD AS SHOWN ON THE TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, GF NO. 4210006025, EFFECTIVE DATE APRIL 26, 2021, ISSUED DATE MAY 5, 2021 HAVE BEEN IDENTIFIED ON THIS PLAT TO THE BEST OF MY KNOWLEDGE.

		Son of the state o
		JOHN DAVID KIPP
		5844
JOHN DAVID KIPP ~ R.P.L.S. NO. 5844	_ DATE	TINESSION OF
CARLSON, BRIGANCE & DOERING, INC.		SURV
5501 WEST WILLIAM CANNON DRIVE		

APPROVED THIS DAY _____ OF ___ , 20 $_{---}$ A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, ATTEST: APPROVED:

PLANNING & ZONING COMMISSION CHAIRPERSON CITY SECRETARY

COUNTY OF BASTROP I, KRISTA BARTSCH, COUNTY CLERK OF BASTROP COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ______ DAY OF _____

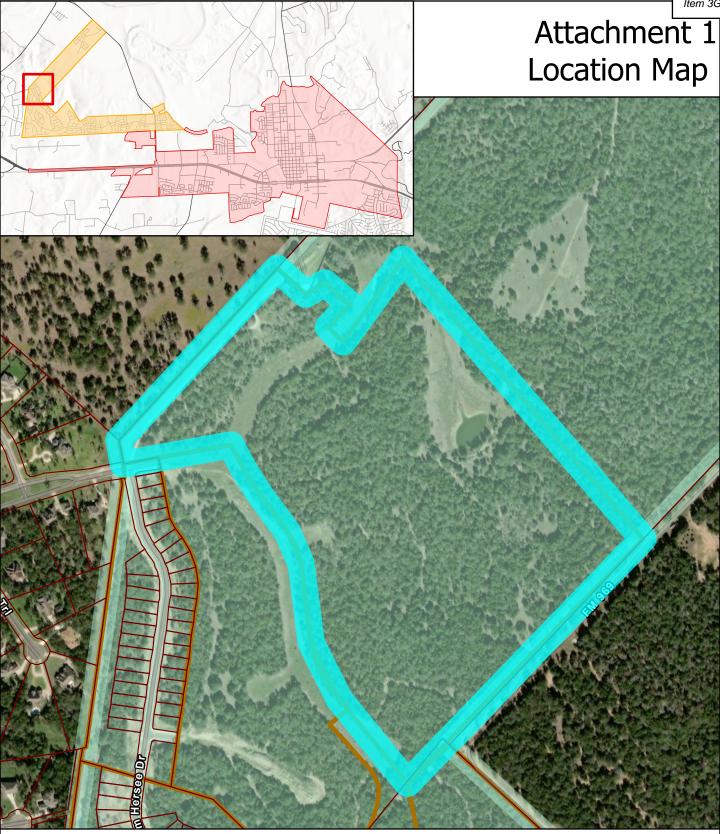
______ O'CLOCK ____, IN THE PLAT RECORDS OF BASTROP COUNTY, TEXAS IN PLAT CABINET ______, PAGE FILED FOR RECORD ON THE _____ DAY OF _____, 20____, A.D.

COUNTY CLERK, BASTROP COUNTY, TEXAS

SHEET NO. 2 OF 2



J:\AC3D\5289\Survey\FINAL PLAT - COLONY 1F SECTION 3



Scale 1:5,300



The Colony MUD 1F, Section 3 Final Plat

800 1,000 ft

Current Time: 6/27/2024 2:43 PM

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced. The map does not purport to depict the boundaries between private and public lands. This map is general in nature and is not suitable for navigational purposes.