# **Bastrop Historic Landmark Commission Agenda**

Bastrop City Hall City Council Chambers 1311 Chestnut Street Bastrop, TX 78602 (512) 332-8800



# July 19, 2023 Agenda - Historic Landmark Commission at 6:00 PM

Bastrop Historic Landmark Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

1. CALL TO ORDER

### 2. CITIZEN COMMENTS

At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Manager for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Board/Commission to allow a member of the public to slur the performance, honesty and/or integrity of the Board/Commission, as a body, or any member or members of the Board/Commission individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Board/Commission and/or any person in the Board/Commission's presence will not be tolerated.

### 3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the March 15, 2023, Historic Landmark Commission Regular Meeting.

Presented by: Melissa Gustafson, Development Services Technician

3B. Consider action on a Certificate of Appropriateness for .07 acres of Building Block 9, West of Water Street, located at 922 Main Street, a structure within the Bastrop Commercial National Register of Historic District, for repairs to the exterior.

Presented by: Kennedy Higgins, Planner, Development Services Department

<u>3C.</u> Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Courthouse Clocktower, located at 804 Pecan Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

Presented by: Kennedy Higgins, Planner, Development Services Department

<u>3D.</u> Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

Presented by: Kennedy Higgins, Planner, Development Services Department

### 4. WORKSHOP

4A. Items or topics requested by Historic Landmark Commission for future agendas.

### 5. ADJOURNMENT

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, <a href="www.cityofbastrop.org">www.cityofbastrop.org</a> and said Notice was posted on the following date and time: July 7, 2023 at 5:00 p.m. and remained posted for at least two hours after said meeting was convened.

/s/Kennedy Higgins
Kennedy Higgins, Planner



# STAFF REPORT

MEETING DATE: July 19, 2023

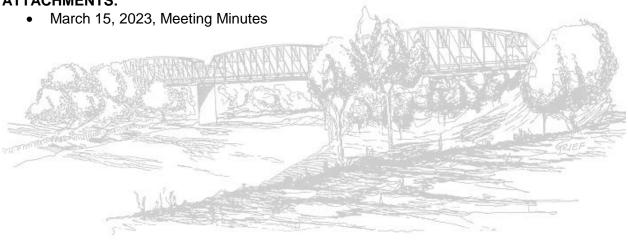
### TITLE:

Consider action to approve meeting minutes from the March 15, 2023, Historic Landmark Commission Regular Meeting.

### **STAFF REPRESENTATIVE:**

Melissa Gustafson, Development Services Technician

### **ATTACHMENTS:**



# HISTORIC LANDMARK COMMISSION MEETING

# March 15, 2023

# **Meeting Minutes**

The City of Bastrop Historic Landmark Commission met Wednesday, March 15, 2023, at 6:00 p.m. in the Bastrop City Council Chambers, 1311 Chestnut Street, Bastrop, Texas.

### 1. CALL TO ORDER

The Chair called the meeting to order at 6:00 PM.

### **Commissioners:**

Blake Kaiser, Chair Present
Sharah Johnson, Vice-Chair Present
Susan Long Present
Janean Whitten Present
Cheryl Long Absent
Patrice Parsons Present

### City Council Liaison:

Drusilla Rogers Absent

Staff:

Keehren Baah Present
Melissa Gustafson Present
Sylvia Carrillo Present

### 2. CITIZEN COMMENTS

Sylvia Carrillo provided an update on organizational changes for the Development Services Department.

### 3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the January 25, 2023, Historic Landmark Commission Regular Meeting.

Patrice Parsons made a motion to approve the meeting minutes from the January 25, 2023, Historic Landmark Commission meeting. Susan Long seconded the motion, and the motion carried unanimously.

3B. Consider action on a Certificate of Appropriateness for 0.11 acres of Building Block 8 West of Water Street, also known as the Erhard Building, located at 1006 Main Street, to install

Item 3A.

# HISTORIC LANDMARK COMMISSION MEETING

# March 15, 2023

# **Meeting Minutes**

a pre-existing nameplate sign onto the façade of the building designated as a Contributing Structure to the Bastrop Commercial National Register District.

Keehren Baah presented the item to the Commission.

Sylvia Carrillo presented concerns that were brought to her attention that the Iredell District may not be a valid District, provided information regarding those concerns, and plans for moving forward which also included discussion regarding the Certificate of Appropriateness (COA). She confirmed that the B3 Code as it currently stands will be open for discussion.

Shara Johnson made a motion to approve a Certificate of Appropriateness for 0.11 acres of Building Block 8 West of Water Street, also known as the Erhard Building, located at 1006 Main Street, to install a pre-existing nameplate sign onto the façade of the building designated as a Contributing Structure to the Bastrop Commercial National Register District. Patrice Parsons seconded the motion. The motion passed unanimously.

### 4. UPDATES

4A. Individual Requests from Historic Landmark Commissioners that particular items to be listed on future agendas (no group discussion allowed).

There were no requests from the Commissioners.

### 5. ADJOURNMENT

Shara Johnson made a motion to adjourn the meeting at 6:33 pm. Janeen Whitten seconded the motion. The motion passed unanimously.

Blake Kaiser	Sharah Johnson
Commission Chair	Commission Vice-Chair



# STAFF REPORT

MEETING DATE: July 19, 2023

### TITLE:

Consider action on a Certificate of Appropriateness for the exterior alterations/repair to a commercial building within the Bastrop Commercial National Register of Historic District, located at 922 Main Street, being .07 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

### **STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

**ITEM DETAILS:** 

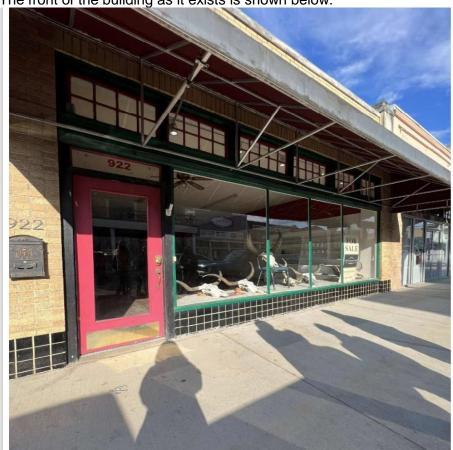
Site Address: 922 Main Street
Property Owner: Lacharose LTD
Agent: Erin Abbey
Current Use: Commercial
Existing Zoning: P5 Core

Designations: Structure in the Bastrop Commercial National Register Historic District

### **BACKGROUND/HISTORY:**

The business occupying 922 Main Street, Rhinestone Rattler Boutique, is wanting to remove the existing damaged awning and replace it with a new black metal awning with hardwood underneath. They are also proposing to cover the current black tile with stucco and whitewash the brick that is on the exterior of the structure at the front of the building. Additionally, they are wanting to paint the green window trim to black and repaint the door pink.

The front of the building as it exists is shown below:





### The proposed changes to the front facade are shown below:



### **POLICY EXPLANATION:**

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings. Any adopted design standards and Secretary of the Interior's Standards shall be made to the property owners of historic landmarks.
  - (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
  - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
  - (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
  - (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
  - (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.
  - (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.
  - (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
  - (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

### **RECOMMENDATION:**

Recommend approval on a Certificate of Appropriateness for the exterior alterations/repair to a commercial building within the Bastrop Commercial National Register of Historic District, located at 922 Main Street, being .07 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

### **ATTACHMENTS:**

- Attachment 1: City Manager Directive
- Attachment 2: Project Description
- Attachment 3: Survey
- Attachment 4: Example of Whitewashed Brick
- Attachment 5: Example of Stucco
- Attachment 6: Location Map

### **CITY MANAGER'S DIRECTIVE**

**To:** Bastrop Planning and Zoning, Bastrop Historic Landmark Commission, and

**Bastrop Development Services Department** 

From: Sylvia Carrillo, City Manager, ICMA-CM, CPM

**Date:** March 28, 2023

RE: Temporary Suspension of Building Materials requirements as condition of

approving Certificates of Appropriateness in the Iredell District

In accordance with Bastrop's Home Rule Charter, Section 4.04, as the chief administrative officer of the City I am responsible for the proper administration of all affairs of the City, including directing and supervising the administration of all departments, offices and agencies of the City. It is my duty under the Charter to see that the laws of the City are faithfully executed.

In accordance with my authority under the Charter, I hereby *temporarily suspend* the requirement that applications for Certificates of Appropriateness for historic projects in the Iredell District comply with building materials specifications in the Authentic Bastrop Pattern Book (as adopted under the *Building Bastrop Block Code* – B3).

In considering an application for a COA under B3, the Historic Landmark Commission is to be guided by any locally adopted design Standards, Section 9.3.006(a), p. 249. For building materials, architecture standards, architectural details, massing for a variety of building types, see the Pattern Book. B3, Section 9.3.006(a)(8), p. 250. The *Authentic Bastrop Pattern Book* (Pattern Book) is a supplemental set of Standards, information, and inspiration supporting this Code. Architecture, urban design, and landscape design are housed within its contents. B3, Section 10.1.002, p. 239. The Pattern Book states that it is, "mandatory in the Iredell District,..." p. 2. The Pattern Book specifies certain building materials, which vary depending on the project.

This directive is issued upon the recommendation of the City Attorney, who has evaluated the City's ability to require specific building materials in this area and concluded that certain necessary procedural steps may have been omitted. State and federal laws establish standards for designating historic areas and for mandating or restricting building materials beyond what is allowed in international codes.

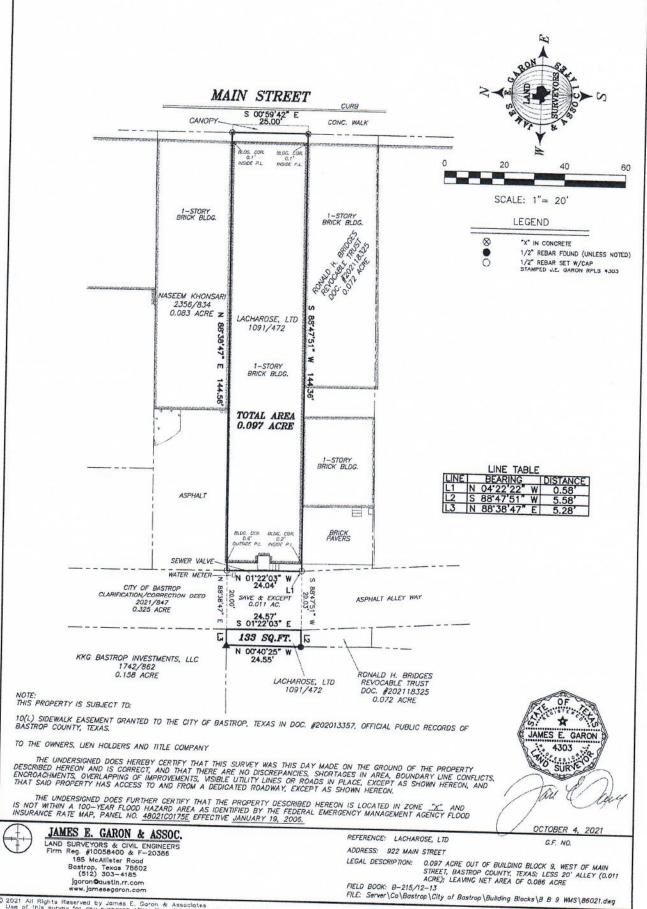
While this matter is under review, the City shall not base its approval of applications CoAs on compliance with the proposed building materials conforming to the Pattern Book. This directive shall remain in effect until I withdraw it or receive policy guidance from the Bastrop City Council.

Item 3B.



### **Project Description**

The proposed work to be done is as follows: removal of the damaged aluminum and cloth awning to be replaced with a new black metal awning with hardwood underneath, removal of the black tile to be replaced with brick to match existing that will then be lightly whitewashed. Existing window trim to be painted black. Existing door to be painted pink.



# JAMES E. GARON & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS

185 McAllister Road Bastrop, Texas 78602 512-303-4185 Firm #10058400 jgaron@austin.rr.com

May 2, 2022

LEGAL DESCRIPTION: BEING A 0.086 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF BUILDING BLOCK 9, WEST OF MAIN STREET, TOWN OF BASTROP IN BASTROP COUNTY, TEXAS AS SHOWN ON MAP OR PLAT RECORDED IN CABINET 1, PAGE 23-A PLAT RECORDS, BASTROP COUNTY, TEXAS AND BEING THE REMAINDER OF THAT CERTAIN TRACT OF LAND CONVEYED TO LACHAROSE, LTD BY DEED RECORDED IN VOLUME 1091, PAGE 472 OFFICIAL RECORDS, BASTROP COUNTY, TEXAS; SAID 0.086 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF JAMES E. GARON & ASSOCIATES IN OCTOBER, 2021:

BEGINNING at an "X" cut in concrete sidewalk in the west line of Main Street and east line of said Building Block 9 for the northeast corner hereof from which the calculated northeast corner of said Building Block 9 bears N 00°59'42" W a distance of 121.04 feet;

THENCE S 0°59'29" E a distance of 25.00 feet along said line to an "X" cut in concrete sidewalk for the southeast corner hereof;

THENCE S 88°47'51" W a distance of 144.36 feet to a 1/2" iron rod with cap stamped "JE Garon — RPLS 4303" set in the east line of a 20' alley conveyed to the City of Bastrop by deed recorded in Volume 431, Page 351 of said official records and in a clarification/correction deed recorded in Volume 2021, Page 847 of said official records;

THENCE S  $88^{\circ}47'51"$  W a distance of 20.03 feet to a point in the west line of said alley;

THENCE S 88°47'51" W a distance of 5.58 feet to a 1/2" iron rod found for the southwest corner hereof;

THENCE N 00°40'25" W a distance of 24.55 feet to a 60D nail in concrete found for the northwest corner hereof;

THENCE N 88°38'47" E a distance of 5.28 feet to a point in the west line of said 20' alley;

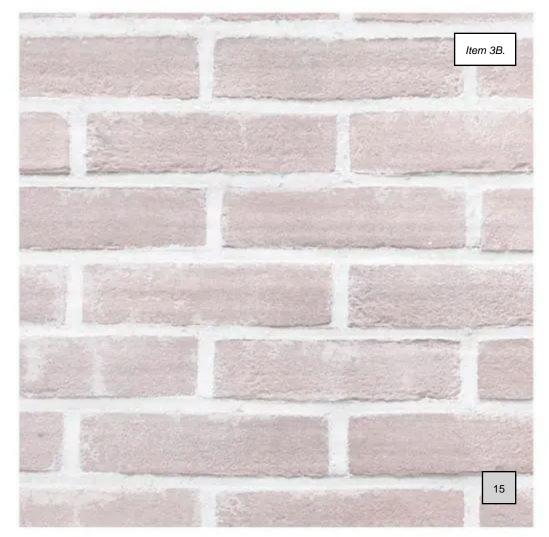
THENCE N 88°38'47" E a distance of 20.00 feet to a 1/2" iron rod with cap stamped "JE Garon - RPLS 4303" set in the east line of said 20' alley;

THENCE N 88°38'47" E a distance of 144.56 feet to the **POINT OF BEGINNING**, containing 0.097 acre of land, less 0.011 acre of land within said 20' alley and as shown on sketch of survey prepared herewith.

Surveyed by:



James E. Garon, R.P.L.S. Co/Bastrop/City of Bastrop/BB/BB9WMS/86021 legal









### Certificate of Appropiateness 922 Main Street

1 inch = 100 feet

### Date: 7/7/2023

Date: ////2023
The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility accuracy, completeness or usefullness of information, nor does it represent that its inot infringe upon privately owned right.



# STAFF REPORT

MEETING DATE: July 19, 2023

### TITLE:

Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Courthouse Clocktower, located at 804 Pecan Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

### **STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

**ITEM DETAILS:** 

Site Address: 804 Pecan Street
Property Owner: Bastrop County
Agent: Susan Frocheur
Current Use: Governmental

Existing Zoning: P-CS

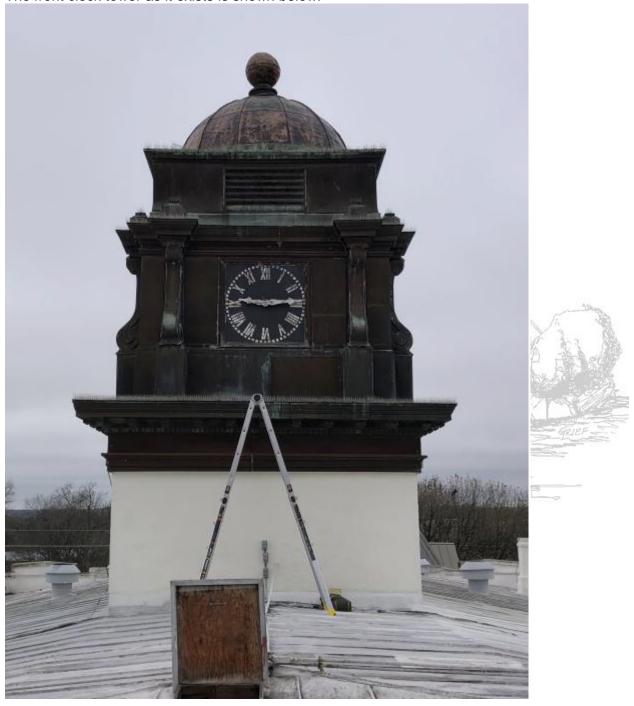
Designations: Recorded Texas Historic Landmark (RTHL), National Register (NRHP),

and State Antiquities Landmark (SAL)

### **BACKGROUND/HISTORY:**

The County Court House occupying 804 Pecan Street, is proposing repairs and restorations to the exterior façade of the building. Including repair and replacement of rough carpentry, they will be replacing the rotted and deteriorating wood sheathing, salvaging what possible. Repair of salvageable metal cladding and replacement of sheet metal roofing and cladding that is beyond repair. Removal/replacement of existing spiked bird deterrent system at horizonal and sloped surfaces (each cornice ledge). Restore and upgrade lightning protection system to meet current code. Restore clockworks and clock faces- restoration of clock faces, hands and dials – color to match the 1920's paint scheme, and exterior painting (cement parge coat).

The front clock tower as it exists is shown below:



### **POLICY EXPLANATION:**

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  - (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
  - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
  - (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
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- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
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### **RECOMMENDATION:**

Recommend approval of a Certificate of Appropriateness for exterior repairs to the Bastrop County Courthouse Clocktower, located at 804 Pecan Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

### **ATTACHMENTS:**

- Attachment 1: Project Description
- Attachment 2: SOI standards
- Attachment 3: Plans
- Attachment 4: Photos
- Attachment 5: City Manager Directive
- Attachment 6: Location Map

### **Project 1: Bastrop County Courthouse**

Project 1 is described as the Bastrop County Courthouse, Tower Repairs. This project has received funding from the National Park Service Emergency Supplemental Historic Preservation Fund Grant - Hurricane Harvey Disaster Assistance. The National Park Service (NPS) funding is coordinated through the Texas Historical Commission (THC) and was provided to aid owners whose property sustained damage following Hurricane Harvey's landfall on Texas in August 2017. Work generally includes:

- 1. Repair and replacement of rough carpentry.
- 2. Repair and replacement of sheet metal roofing and cladding.
- 3. Removal and replacement of bird deterrent system.
- 4. Restore and upgrade lightning protection system.
- 5. Restore clockworks and clock faces.
- 6. Provide electric strike for bell.
- 7. Exterior painting.

The work for this project is fully described in the following construction documents:

Bastrop County Courthouse, Tower Repairs, Project Manual, prepared by Architexas dated June 13, 2023, Issued for Bid

Bastrop County Courthouse, Tower Repairs, Construction Drawings, prepared by Architexas dated June 13, 2023, Issued for Bid

### **Bastrop County Courthouse**

Work of this project is described as the Bastrop County Courthouse, Tower Repairs. This project has received funding from the *National Park Service Emergency Supplemental Historic Preservation Fund Grant – Hurricane Harvey Disaster Assistance*. The National Park Service (NPS) funding is coordinated through the Texas Historical Commission (THC) and was provided to aid owners whose property sustained damage following Hurricane Harvey's landfall on Texas in August 2017. Work generally includes:

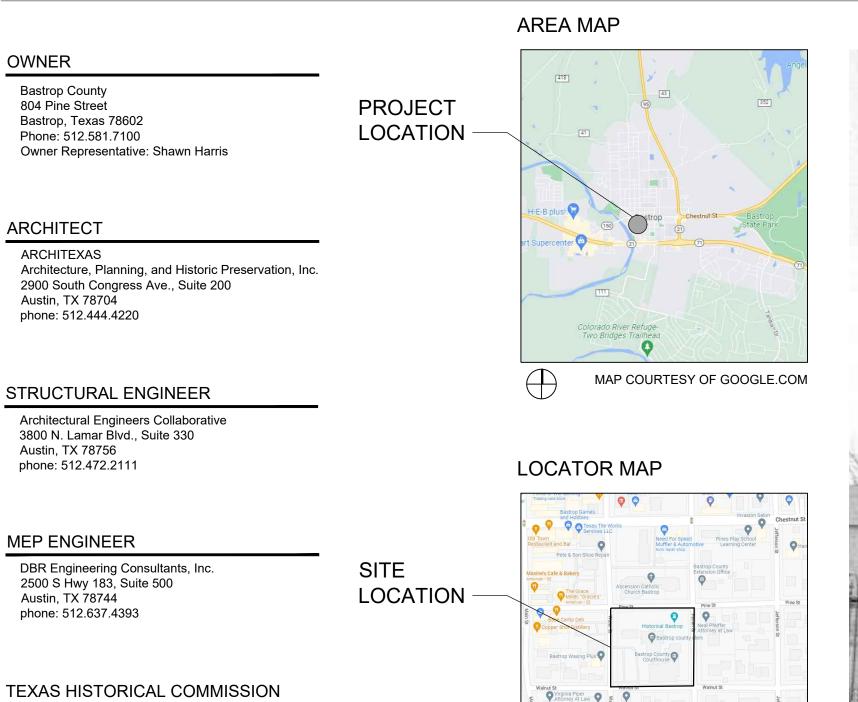
The THC and NPS utilize the Secretary of the Interior's Standards for the Treatment of Historic Properties (SOI Standards) to evaluate proposed work and ensure that grant funds are used appropriately.

Architexas has proposed a scope of work that is guided by the SOI Standards. SOI Standards considerations include:

- 1. Character defining features will remain.
- 2. Deteriorated architectural features will be repaired with in-kind materials.
- 3. Cleaning methods will include proven products that utilize the gentlest means necessary.

# BASTROP COUNTY COURTHOUSE

# TOWER REPAIRS Bastrop, Texas





### INDEX OF DRAWINGS

ARCHITECTURAL A-0.01 COVER SHEET FLOOR PLANS, ELEVATION, AND SECTION SHEET METAL DETAILS

TOWER FLOOR PLANS TOWER ELEVATION AND SECTION TYPICAL MASONRY DETAILS

TYPICAL WOOD DETAILS WOOD DETAILS

SYMBOLS LEGEND

ELECTRICAL SYMBOL LEGEND CLOCK TOWER POWER PLANS

ELECTRICAL ONE-LINE DIAGRAM & PANEL SCHEDULES

**BASTROP COUNTY** COURTHOUSE

**TOWER REPAIRS** 

804 Pine Street Bastrop, TX

Suite 200

p 512.444.4220

www.architexas.com Austin, Texas 78704

San Antonio

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**REVISION HISTORY** 

1. Issued for Bid June 13, 2023



June 13, 2023 **Sheet Name COVER SHEET** 

# **GENERAL NOTES**

108 W. 16th St. - Second Floor

Austin, TX 78701 phone: 512.463.6000

- Existing Conditions: A. Information contained on these drawings with regard to existing conditions for construction in no way releases the Contractor from the responsibility for verifying completely all field conditions relating to and affecting the execution of the work, as described in these Contract Documents. Cease work, notify Architect, and await instructions if materials or conditions encountered at the site are not as indicated by the Contract Documents.
- Field verification of existing conditions relating to specific portions of the work shall be undertaken in advance to allow for the timely identification of existing conditions that may effect the scheduled installation of new work as designed and detailed, and to avoid undue and unreasonable delays to the project should such conditions be discovered. Timely identifications of such conditions shall provide for a reasonable period of time during which the Architect will evaluate the conditions and make recommendations for accommodating new work.
- Assist the Architect in making their evaluations and recommendations by providing in a timely manner, at no additional cost to the Owner, accurate and complete drawings, sketches, and photographs sufficient to clearly describe discrepancies, conflicts, and concealed or otherwise unanticipated existing conditions affecting new construction. Assist the Architect by providing in a timely manner prepared solutions to unanticipated existing conditions.
- The Architect has endeavored to identify as completely as possible in the drawings and specifications existing items that are required to be removed or otherwise demolished so as to allow the execution of new work. This information is provided for the convenience of the Contractor, and is in no way intended to mean that demolition is limited only to those items specifically identified. Execute demolition work as required to allow the execution of new work.
- Areas and items indicating limits of work and lines of demarcation are shown for the convenience of the Contractor, and are not to be taken literally. Actual contract limits are to be determined prior to bid openings by field verification. Original elements removed are to be re-installed in their original location, unless

## 2. Blocking and Framing

Some general assumptions have been made on existing blocking, framing, and existing masonry profiles where conditions have not been uncovered. Re-secure existing blocking as necessary and provide new blocking as needed for proper installation of sheet metal roofing and cladding.

## 3. Dimension of original materials:

noted otherwise.

Dimensions indicated in Construction Documents for original materials are approximate and are to be field verified prior to submittal of shop drawings. Match exact sizes and profiles of original elements, unless noted otherwise Remove existing sealants and replace with specified sealants, typical.

MAP COURTESY OF GOOGLE.COM

A. Photographs of existing building conditions are included on portions of these drawings. Information contained on these photographs is provided for the convenience of the Contractor. Existing conditions may vary from what these photographs show. It shall be the responsibility of the Contractor to verify field conditions prior to the time of the bid and alert the Architect to any discrepancies between the existing conditions and the photographs.

- Existing construction shown to remain shall not be damaged during the demolition process. Provide temporary protection as necessary. If surfaces of wall are damaged, damaged areas shall be repaired with materials to match existing and restore the full structural capacity of the walls.
- Shoring drawings and associated structural calculations sealed by a Professional Engineer licensed in the State of Texas shall be submitted to the Architect's file and shall not be returned approved to the Contractor. The Contractor is solely responsible for the design and installation of all shoring necessary to accomplish
- All shoring shall transfer loading directly to existing masonry structure. Shoring shall be designed to support the full anticipated loading with no benefit from the existing structural framing.
- Where scaffolding is to be placed on existing roof structure, the contractor shall hire an engineer licensed in the State of Texas to verify the load capacity of that

THIS MATERIAL WAS PRODUCED WITH ASSISTANCE FROM THE EMERGENCY SUPPLEMENTAL HISTORIC PRESERVATION FUND, ADMINISTERED BY THE NATIONAL PARKS SERVICE, DEPARTMENT OF THE INTERIOR. ANY OPINIONS, FINDINGS, AND CONCLUSIONS OR RECOMMENDATIONS EXPRESSED IN THIS MATERIAL ARE THOSE OF THE AUTHOR(S) AND DO NOT REFLECT THE VIEWS OF THE DEPARTMENT OF THE INTERIOR.

### PLUS/MINUS DIAMETER AIR CONDITIONER ACM ASBESTOS CONTAINING (104A) MATERIAL AIR HANDLING UNIT CABS. CABINETS Window Type CLG. CEILING CONC. CONCRETE 1A — DN. DOWN **ELEVATOR** ELEV. Room Name and Number EQ. EQUAL EQUIP. **EQUIPMENT** EXIST. **EXISTING** FIXT. **FIXTURES** FLR. FLOOR MATERIALS LEGEND F.R. FIRE RATED GYP. GYPSUM HIST. HISTORIC MECH. MECHANICAL MISC. MISCELLANEOUS MTL. METAL OC ON CENTER ORIG. ORIGINAL QTR. QUARTER REF. REFERENCE REQ'D REQUIRED STRUCT. STRUCTURAL T.B.D. Thermal Batt Insulation TYP. U.O.N Acoustic Batt Insulation Sprayed Insulation

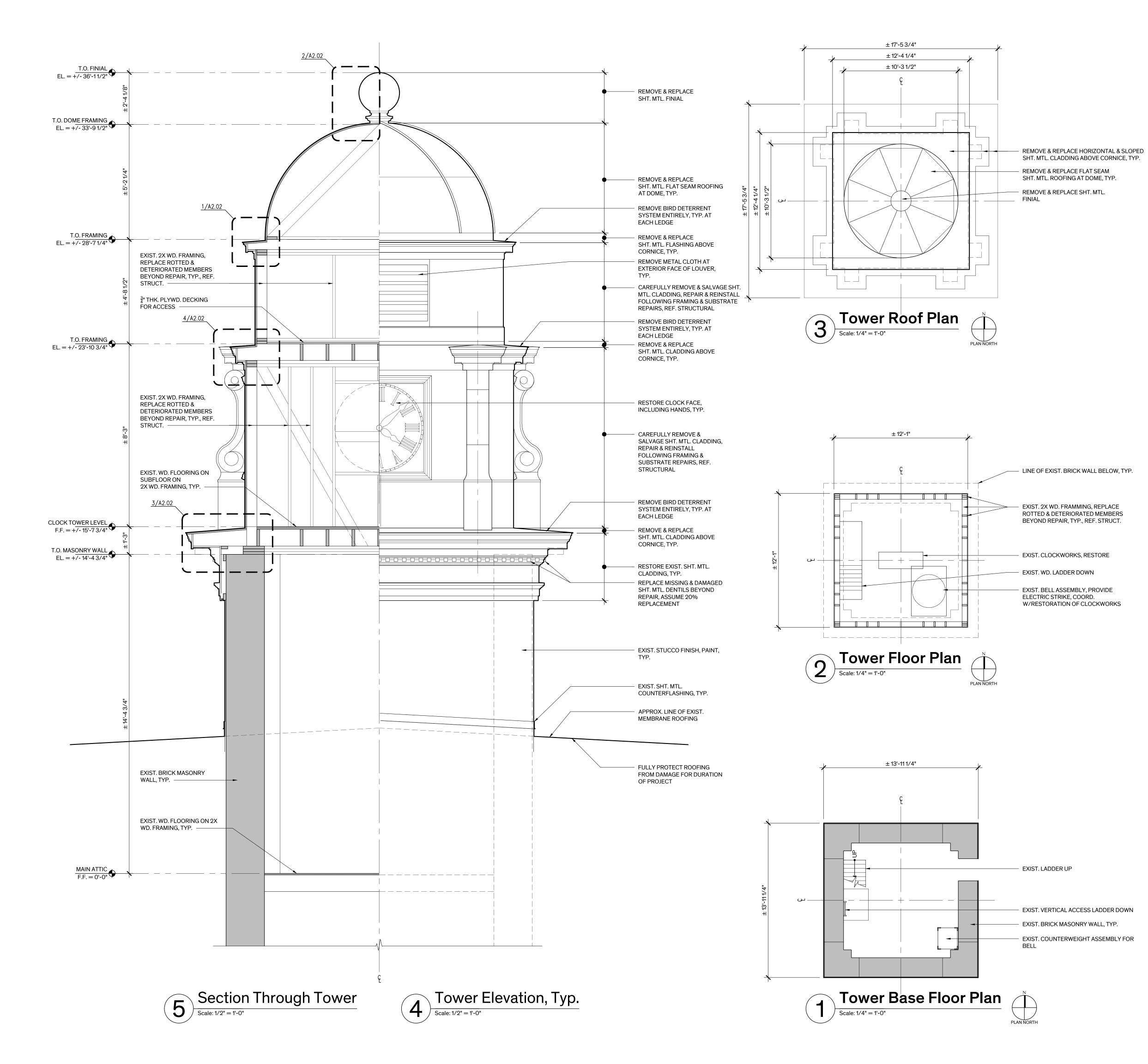
Sprayed Fire Insulation Existing, Where Noted Metal Lath and Plaster

TO BE DETERMINED TYPICAL UNLESS OTHERWISE NOTED VERIFY IN FIELD WOOD

**ABBREVIATIONS** 

NOTE: CONTRACTOR SHALL VERIFY WITH ARCHITECT FOR ANY ABBREVIATION NOT LISTED.

**Sheet Number** 



# **GENERAL NOTES**

. TEMPORARY PROTECTION: FULLY PROTECT EXISTING ROOFING AT MAIN ROOF FROM DAMAGE RESULTING FROM THE WORK OF THIS CONTRACT FOR THE DURATION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE CAUSED BY THEIR ACTIONS AT NO ADDITIONAL COST TO THE OWNER.

### . DEMOLITION:

A. REMOVE SPIKED BIRD DETERRENT SYSTEM ENTIRELY.

- B. REMOVE FINIAL, SHEET METAL ROOFING, & SHEET METAL CLADDING AT FLAT & SLOPED SURFACES 100%. RETAIN SAMPLE OF EACH UNIQUE PIECE FOR REPLICATION.
- C. CAREFULLY REMOVE REMAINING SHEET METAL CLADDING & SALVAGE FOR REINSTALLATION. NUMBER BACK SIDE OF EACH ELEMENT TO ENSURE IT IS REINSTALLED IN ITS ORIGINAL LOCATION.
- D. REMOVE ROTTED & DETERIORATED WOOD SHEATHING.
- E. REMOVE & SALVAGE WOOD SHEATHING BOARDS, IN GOOD CONDITION, AS REQUIRED TO REPAIR & OR REPLACE WOOD FRAMING MEMBERS.
- F. REMOVE MISCELLANEOUS ABANDONED FASTENERS ON THE EXTERIOR OF THE TOWER ATTACHED OR EMBEDDED IN EXISTING MATERIALS & ARE NOT BEING USED TO FASTEN ELEMENTS TO REMAIN. PATCH HOLES AT REMOVED FASTENERS.
- G. REMOVE CLOTH WIRE SCREEN AT EXTERIOR FACE OF LOUVERS, TYP.

### . ROUGH CARPENTRY:

- A. REPLACE ROTTED & DETERIORATED WOOD SHEATHING, ASSUME 20% REPLACEMENT AT DOME ROOFING, ASSUME 100% REPLACEMENT AT HORIZONTAL & SLOPED SURFACES, ASSUME 40% REPLACEMENT AT VERTICAL SURFACES.
- B. REPAIR & REPLACE DETERIORATED FRAMING MEMBERS, REF. STRUCTURAL. IN ADDITION TO REPAIR/REPLACEMENT NOTED ON STRUCTURAL DRAWINGS ASSUME REPAIR/REPLACEMENT OF 25% OF 2X WOOD OUTRIGGERS SUPPORTING CORNICE AT THREE LEVELS.
- C. PROVIDE CONTINUOUS WOOD BACKING BETWEEN OPEN FRAMING MEMBERS AS REQUIRED FOR PROPER INSTALLATION OF FULL WATERPROOFING MEMBRANE BEHIND SHEET METAL ROOFING & CLADDING.

### S. SHEET METAL ROOFING & CLADDING:

- A. REPLACE SHEET METAL FINIAL.
- B. REPLACE FLAT SEAM SHEET METAL ROOFING AT DOME 100%.
- C. REPLACE SHEET METAL CLADDING AT HORIZONTAL & SLOPED SURFACES
- D. REINSTALL SALVAGED REMAINING SHEET METAL CLADDING IN GOOD CONDITION. SUPPLEMENT WITH NEW SHEET METAL WHERE EXISTING IS BEYOND REPAIR, ASSUME 30% OF TOTAL WALL AREA TO BE REPLACED.
- E. RESTORE & REINSTALL EXISTING SHEET METAL SCHEDULED TO REMAIN SCOPE GENERALLY INCLUDES:
- (1) REPAIR SMALL FASTENER HOLES WITH SEALANT. REPAIR LARGER HOLES (MAX. 3-INCHES) WITH SHEET METAL PATCH REPAIR. (2) ADJUST SHEET METAL TO ITS ORIGINAL POSITION WHERE MISALIGNED,
- SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLODGED. RE-SECURE SHEET METAL WHERE NECESSARY. (3) CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE
- TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED. (4) REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- I. LOUVERS: PROVIDE METAL CLOTH ON INTERIOR SIDE OF LOUVER TO PREVENT ENTRANCE OF BIRDS & RODENTS.
- . BIRD DETERRENT SYSTEM: PROVIDE BIRD DETERRENT SYSTEM AT HORIZONTAL & SLOPED SURFACES, I.E. EACH CORNICE LEDGE, FULL PERIMETER.
- 6. SEALANT: PROVIDE/ REPLACE SEALANT AT PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS NEEDED FOR WEATHERTIGHT ASSEMBLY.
- '. PAINTING: PAINT CEMENT PARGE COAT 100%.
- I. LIGHTNING PROTECTION SYSTEM: RESTORE & UPGRADE EXIST. SYSTEM AT THE TOWER FOR CODE COMPLIANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DESIGN DRAWINGS FOR COMPLETE LIGHTNING PROTECTION SYSTEM WHICH SHALL COMPLY WITH THE SPECIFICATIONS OF THE UNDERWRITERS LABORATORIES (UL 96A), THE NATIONAL FIRE PROTECTION INSTITUTE (NFPA NO. 780) & THE LIGHTNING PROTECTION INSTITUTE (LP1-75). THE UNDERWRITER'S LABORATORIES MASTER LABEL "C" SHALL BE DELIVERED TO THE ARCHITECT FOR APPROVAL BEFORE INSTALLATION IS COMPLETED.

## . CLOCK FACE / CLOCKWORKS & BELL:

- A. CLOCK FACE: RESTORE CLOCK FACES, HANDS, & DIALS TO ORIGINAL CONDITION. COLOR TO MATCH 1920'S PAINT SCHEME.
- B. CLOCKWORKS: RESTORE CLOCK WORKS TO ACCURATE ORIGINAL WORKING CONDITION.
- C. BELL: MODIFY BELL ASSEMBLY FOR ELECTRIC STRIKE. COORDINATE RINGING OF BELL WITH CLOCKWORKS TO STRIKE ON THE HOUR.



Item 3C.

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**BASTROP COUNTY** COURTHOUSE **TOWER REPAIRS** 

> 804 Pine Street Bastrop, TX

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1. Issued for Bid June 13, 2023

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**Sheet Name** 

Floor Plans, Elevation, and Section

Date

June 13, 2023

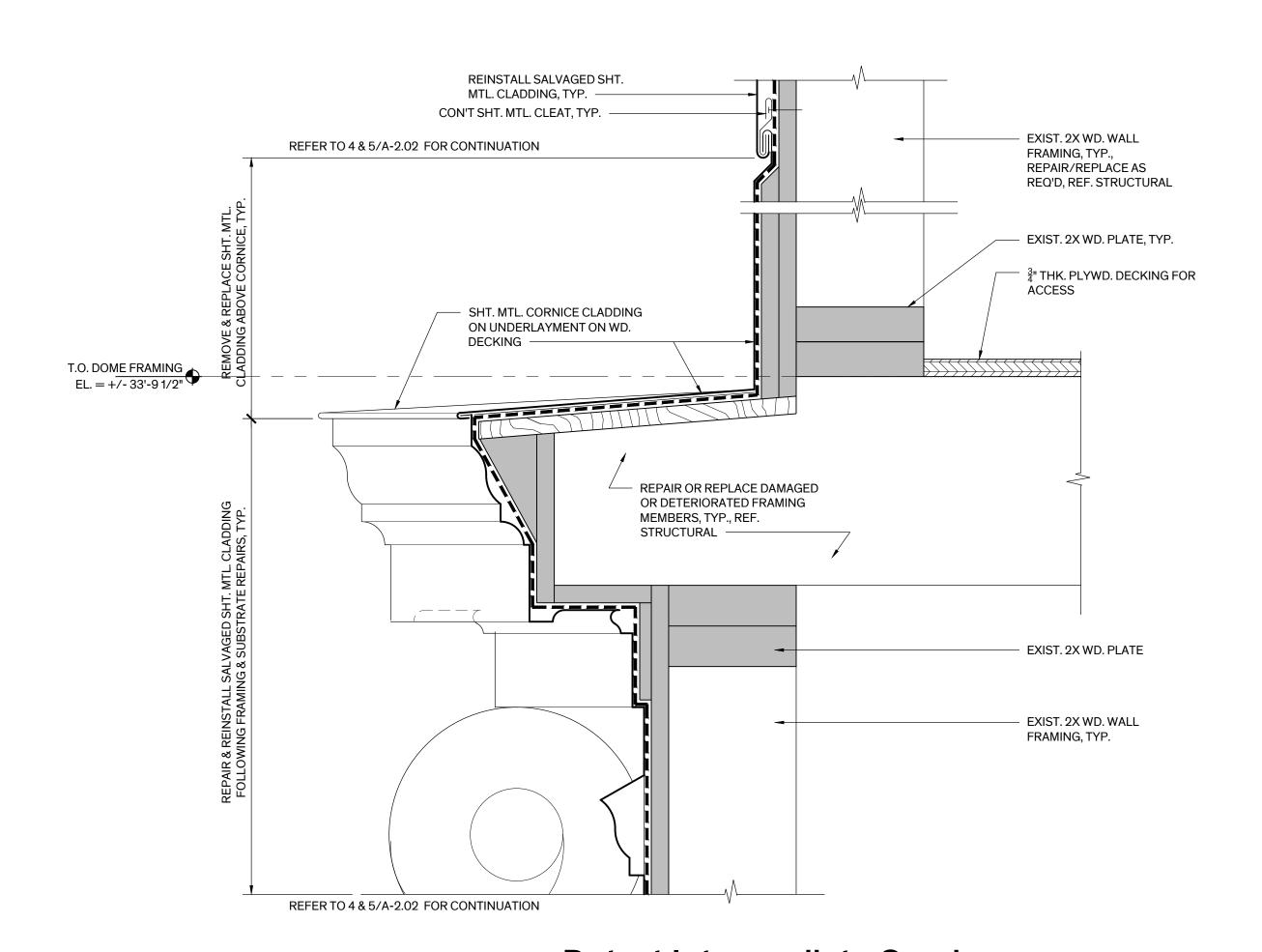
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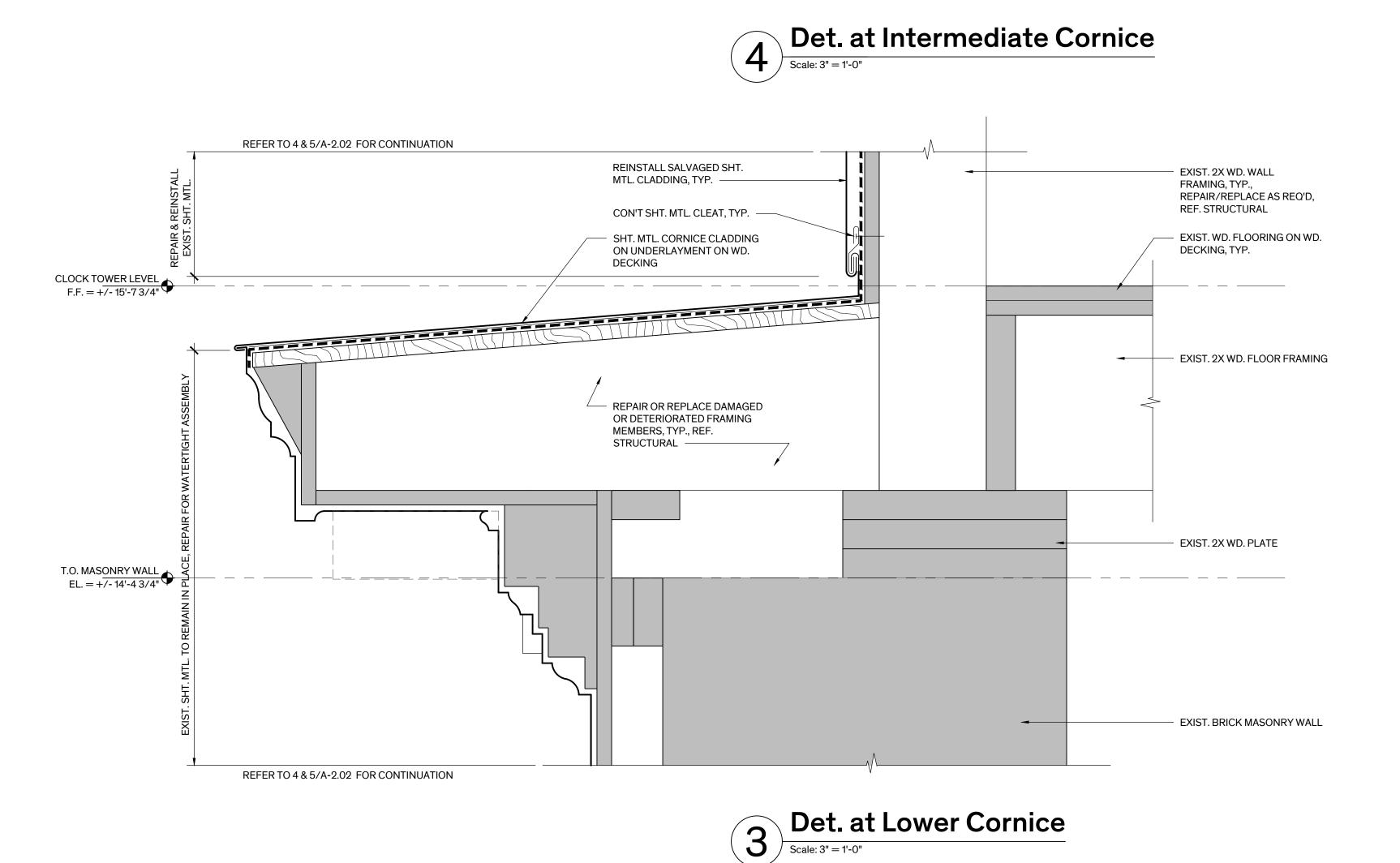
**LEGEND** 

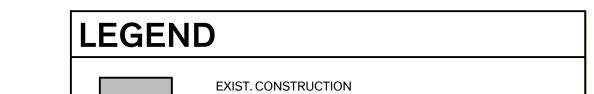
**ALTERNATES** REFER TO SPEC. SECTION 01230 - ALTERNATES FOR DETAILED DESCRIPTION

**EXISTING CONSTRUCTION** 

ALTERNATE NO. 1: IN LIEU OF RESTORING CLOCKWORKS TO ACCURATE ORIGINAL WORKING CONDITION, ABANDON EXIST. MECHANICAL SYSTEM & REPLACE WITH ELECTRIFIED SYSTEM AT EACH FACE.







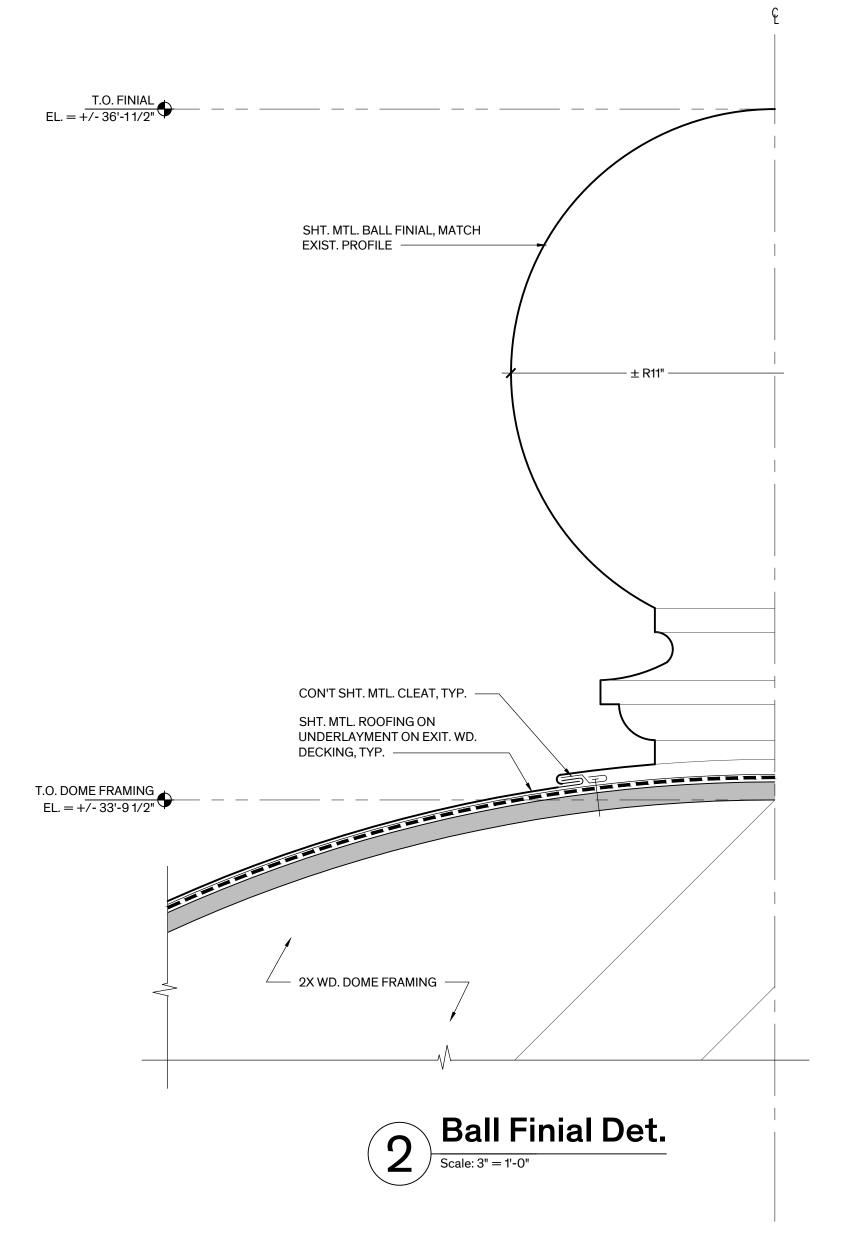
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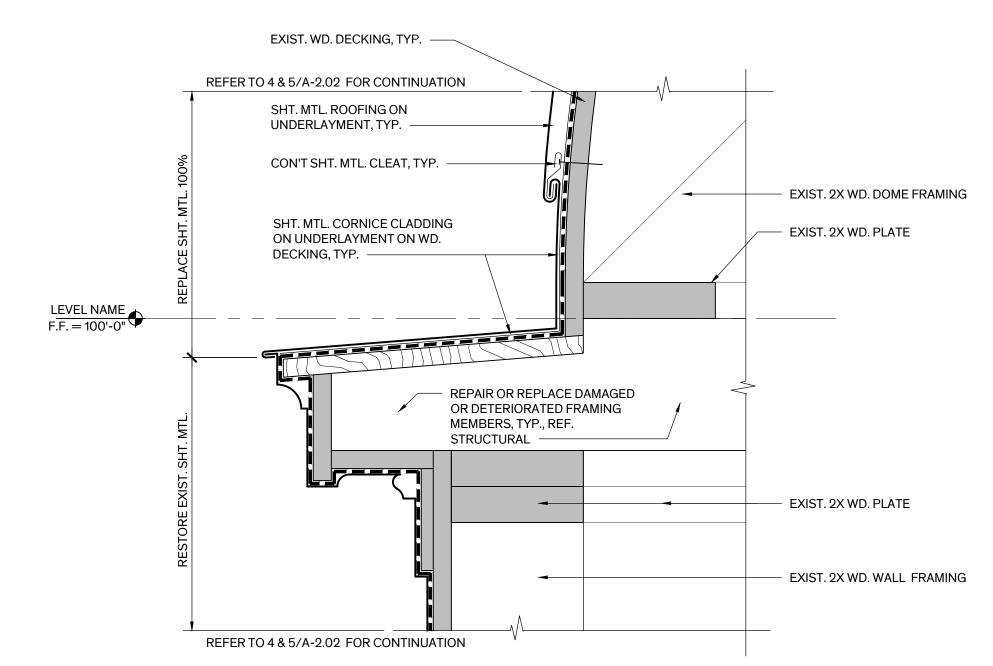
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2250 June 13, 2023

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Sheet Metal Details

Sheet Number

A-2.0

## COORDINATION

- Only large openings in structural framing members are shown on the structural drawings. However, all sleeves, embeds, inserts, openings and frames that are necessary for the work shall be provided. The Contractor shall coordinate with all trades sizes, locations and placement. All openings and embedded items which have an effect on the structure shall be submitted to the Engineer for review.
- Refer to Architectural, Mechanical, Electrical and Plumbing drawings for floor elevations, location of depressed or elevated floor areas, slopes and drains.
- Contractor shall coordinate the requirements for building equipment supported on or from the structure. Submittals identify all equipment including size, dimensions, clearances, accessibility, weights and reactions. Any deviations from specified equipment shall be noted on the submittals.
- Shop drawings shall be prepared for all structural items and submitted for review by the Engineer. Contract Drawings shall not be reproduced and used as shop drawings. All items deviating from the Contract Drawings or from previously submitted shop drawings shall be
- The details designated as "Typical Details" apply generally to the Drawings in all areas where conditions are similar to those described in the detail
- All dimensions and conditions of existing construction shall be verified at the job site. Differences between existing construction and the Drawings shall be referred to the Architect. Differences shall also be clouded on the shop drawings.
- The design and provision of all temporary supports required for the execution of the contract such as guys, braces, shores, reshores, falsework, supports and anchors are not included in these drawings and shall be the responsibility of the Contractor. Temporary supports shall not result in the overstress or damage to the structure.

### **SUBSTITUTIONS**

All requests for substitutions of materials or details shown in the contract documents shall be submitted for approval during the bidding period. Once bids are accepted, proposed substitutions will be considered only when they are officially submitted with an identified savings to be deducted from the contract.

# **CODES**

- IBC 2018 International Building Code and 2018 International Existing Building Code with City of Bastrop admendments.
- Wind and Earthquake Loads: Minimum Design Loads and Associated Criteria for Buildings and Other Structures, American Society of Civil Engineers, ASCE 7-16.
- Structural Reinforced Concrete: Building Code Requirements for Reinforced Concrete, American Concrete Institute, ACI 318-14.
- Structural Masonry: Building Code Requirements for Masonry Structures, reported by the Masonry Standards Joint Committee, TMS 402-16.
- 5. Structural Steel: Steel Construction Manual, American Institute of Steel Construction, Fourteenth Edition. Specification for Structural Steel Buildings, AISC 360-10.
- 6. Wood Framing: National Design Specification (NDS) For Wood Construction with 2015 Supplement, American Forest and Paper Association, ANSI/AWC NDS-2018, and Special Design Provisions for Wind and Seismic, ANSI/AWC SDPWS-15.

## **SUBMITTALS**

- 1. Shop drawings shall be prepared for all structural items and submitted for review by the Engineer. Contract Drawings shall not be reproduced and used as shop drawings. All items deviating from the Contract Drawings or from previously submitted shop drawings shall be
- The Contractor shall review shop drawings for compliance with the contract documents and shall certify that he has done so by a stamp noting that the drawings have been "Approved" and which bears the signature (or initials) of an authorized representative of the contractor and the date. Submittals which do not reflect the Contractor's approval, signature and date will be returned without review.
- The Contractor shall be responsible for delays caused by rejection of inadequate shop drawings.
- Where review and return of shop drawings is required or requested, the Engineer will review each submittal and, where possible, return within 2 weeks of receipt.
- Corrections or comments on shop drawings or manufacturer's data sheets do not relieve the contractor from compliance with requirements of the plans and specifications. The Engineer's review is for general conformance with the requirements of the Contract Documents. The Contractor is responsible for confirming and correcting all quantities and dimensions, selecting fabrication processes and techniques of construction, and coordinating their work with that of all other contractors.
- Refer to individual sections for specific submittal requirements.

### **DESIGN LOADS**

3. Wind Loads

Liv	e Loads	
a.	Roof	20 psf
b.	Stairs	100 psf
c.	Attic	60 psf
d.	Partition at areas with	
	80 psf live load or less	15psf

2. Dead Loads include the self weight of the structural elements and the following superimposed

a.	Ceiling and Mechanical at roof	10 p
b.	Ceiling and Mechanical at floor	5 ps
c.	Access flooring	10 p

- a. Wind Lateral Load on Structural Frame is based on the following: 120 mph i) *Ultimate* Design Wind Speed (3-sec. gust), V<sub>ult</sub> Nominal Design Wind Speed, Vasd 93 mph ii) Risk Category iii) Wind Exposure Category

iv) Internal Pressure Coefficient, GCpi v) Component & Cladding *Ultimate* Design Pressures for the Courthouse: Effective Area:  $\leq 10 \text{ ft}^2$ (Parapets)

+40.4 psf; -64.4 psf

+28.2 psf; -50.4 psf Zone 2e +28.2 psf; -68.2 psf +28.2 psf; -82.6 psf +28.2 psf; -68.2 psf Zone 3 Zone 4 +39.0 psf; -42.3 psf +40.4 psf; -43.8 psf

+39.0 psf; -52.3 psf

# Effective Area: 50 ft<sup>2</sup> Zone 1

Zone 5

+19.2 psf; -43.2 psf Zone 2e +19.2 psf; -54.5 psf +19.2 psf; -63.7 psf +19.2 psf; -54.5 psf Zone 3 Zone 4 +34.9 psf; -38.2 psf +34.9 psf; -44.1 psf Zone 5

### Effective Area: >100 ft<sup>2</sup> +15.4 psf; -37.8 psf

+15.4 psf; -48.7 psf Zone 2e +15.4 psf; -55.5 psf +15.4 psf; -48.7 psf Zone 3 Zone 4 +32.1 psf; -35.3 psf Zone 5 +32.1 psf; -39.3 psf

NOTE: Wall pressures for Zones 4 & 5 are based on ASCE 7-16, Figure 30.3-1. Roof pressures for Zones 1, 2e, 2r & 3 are based on ASCE 7-16, Figure 30.3-2H. "h" = 36 feet; "a" = 6.5 feet.

vi) Directional *Ultimate* Design Pressures for the Clock Tower

Zone A +10.19 psf; +19.24 psf Zone B -30.68 psf; -21.63 psf

Zone C -15.42 psf; -6.37 psf Walls Zone A2 +10.69 psf; +19.74 psf Zone A3 +12.54 psf; +21.59 psf

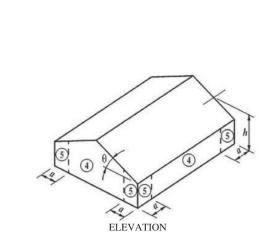
Zone B -15.42 psf; -6.37 psf Zone C -19.78 psf; -10.73 psf

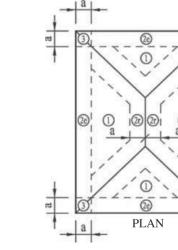
NOTE: Wall pressures for Zones A, B, &C are based on ASCE 7-16, Figure 27.3-2. "f" = 7 feet; "h" = 60 ft; "D" = 13.75 feet

a. Calculate the effective area for each component & cladding element, as defined by ASCE 7, depending on length and location. Effective area shall be the maximum of the following:

Effective Area = Length x Tributary Width (OR) Length x (Length/3)

b. Interpolation of uplift pressures is allowed between effective areas. or quantity shall be reported to the Architect immediately for verification of the structural





Wall Zones ASCE 7-16 Fig. 30.3-1

Roof Zones ASCE 7-16 Fig. 30.3-2H

5. Floor and roof live loads noted above have been reduced in accordance with the building

# **ADHESIVE ANCHORS**

- 1. Adhesive anchors shall only be used where specified on the drawings. The Contractor shall obtain approval from the Engineer of record prior to using the anchors for missing or misplaced cast-in-place anchors.
- 2. Unless otherwise noted, size and depth of the adhesive anchors specified in the drawings are based on HAS rods epoxy doweled with HIT-HY 200-R or HIT-RE 500 V3, Hilti Fastening
- 3. Substitution of adhesive anchor products with similar capacities shall be submitted to the engineer of record for approval.
- 4. Adhesive anchors of the size and embedment shown on the Drawings shall be installed in accordance with the Contract Documents, the manufacturer's recommendations, and the manufacturer's current ICBO report for the anchor. If conflicts exist between these referenced documents, the most stringent requirements shall govern.
- 5. The Contractor shall locate all existing reinforcing steel and other embedded items contained in the concrete using non-destructive methods and shall position anchor locations to avoid conflicts with existing embedded items. Anchor locations can be adjusted by a maximum of 1 inch from detailed locations to avoid conflicts, unless noted otherwise.
- 6. Based on field verified locations of reinforcing steel and embedded items, the Contractor shall create templates for each anchor group. Submit template dimensions for review prior to fabrication of connection plates.
- 7. Holes for anchors shall be drilled in a continuous operation using the bit type and size recommended by the anchor manufacturer. Holes shall be drilled perpendicular to the concrete surface and shall not be enlarged or redirected at any point along its length. All debris shall be blown out of the holes with compressed air after drilling.
- 8. All abandoned holes shall be filled with non-shrink grout.
- 9. Holes in connection plates shall be no more than 1/16" larger than the anchor diameter. If larger holes are required for erection purposes, Contractor shall provide 1/4" x 3" x 3" plate washers sufficiently welded to the connection plate to transfer the specified load.
- 10. Installation of adhesive anchors shall be continuously inspected by the testing agency to ensure that holes are of specified size, and that bolts are properly installed.

### TIMBER FRAMING

- 1. Unless otherwise noted, all structural framing lumber shall be clearly marked No. 2 Southern Yellow Pine or Douglas Fir-Larch, except that non-loadbearing interior walls may be stud grade Southern Yellow Pine, Douglas Fir-Larch, or Spruce-Pine-Fir.
- 2. Studs shall be 2x6's at 16" on center, typical, unless noted otherwise.
- 3. All wood headers, beams, and top plates shall be No. 2 Southern Yellow Pine or Douglas Fir-
- 4. All load bearing walls shall have solid 2x blocking at 4'-0" o.c. maximum vertically. End nail with 2-16d nails or side toe nail with 2-16d nails.
- 5. Provide double studs at all wall corners and on each side of all openings, unless noted or detailed otherwise.
- 6. Floor sheathing: Match existing thickness, 3/4" min APA rated tongue and groove sheathing with an Exposure 1 rating or 3/4" min grade C-D tongue and groove plywood with exterior glue. Floor sheathing shall be glued to the wood support members with a wet use adhesive, in addition to being nailed to the supports with 10d ring shank nails at 6" on center at supported edges and 12" on center at intermediate supports. Stagger joints in sheathing.
- 7. Roof sheathing: Match existing thickness, 1/2" min APA rated sheathing with an exposure 1 rating. Panels shall be continuous over two or more spans with the long dimension oriented perpendicular to the framing members. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports. Stagger joints in sheathing.
- 8. Wall sheathing: Match existing thickness, 1/2" min.
- 9. Solid 2x blocking or bandboard shall be provided at supports and cantilever ends of all wood joists, and between supports in rows not exceeding 8'-0" apart.
- 10. All framing members framing into the side of a header shall be attached using metal joist hangers of type "LU" as manufactured by the Simpson Company or equal. The hanger shall be sized and installed in accordance with the manufacturers recommendations for the size of joist supported.
- 11. Nailing and attachment of all framing members and sheathing shall be as specified in the Uniform Building Code Nailing Schedule (table 25Q) unless noted otherwise in the drawings. Common wire nails or spikes, or galvanized box nails shall be used for all framing unless noted otherwise.
- 12. Place a single plate at the bottom and a double plate at the top of all stud walls. Exterior sill plates shall be bolted to the existing masonry wall as shown in details. Provide a minimum of two bolts per plate segment. Sill plates in contact with concrete or masonry shall be pressure treated with a preservative.
- 13. Provide double joists under all interior partition walls oriented parallel to the joists.
- 14. All bolts and lag screws shall have standard washers. All anchor and expansion bolts used in wood to concrete connections in crawlspace areas shall be hot dip galvanized or stainless
- 15. Refer to the architectural drawings for additional wood framing members. Provide additional wood framing members shown on the architectural drawings even though they may not be shown on the structural drawings.

# STRUCTURAL ABBREVIATIONS

ADDITIONAL		MANUFACTURE(R)	
ADJACENT AGGREGATE	AUJ. AGGR	MASONRY MATERIAL	MAS. MAT'I
ALTERNATE		MECHANICAL	
ANCHOR ROD		METAL	MTL.
ARCHITECT(URAL)	ARCH('L).	MEZZANINE	MEZZ.
AIR CONDITIONER		MIDDLE	MID.
AIR HANDLING UNIT		MISCELLANEOUS	MISC. M.
APPROXIMATE(LY) AXIAL LOAD		MOMENTMOMENT CONNECTION(S)	IVI. M.C.
BACK FACE	R F	NEAR FACE	NF
BEAM	BM.	NOMINAL	NOM.
BEARING	BRG.	NON-SHRINK	N.S.
BETWEEN		NORMAL WEIGHT	
BLOCKING		NOT IN CONTRACT NOT TO SCALE	
BLOCK-OUTBOTTOM	в.О. ВОТ.	NOT TO SCALE	N.1.3.
BOTTOM OF	B.O.	ON CENTER	O.C.
BOTTOM OF STEEL	B.O.S.	OPENING(S)	OPNG(S
BRICK LEDGE		OPPOSITE	OPP.
BRIDGINGBUILDING		OPPOSITE HANDORIENTED STRAND BOARD	
BUILDING LINE		OUTSIDE FACE	
	0.5	OUTSIDE DIAMETER	
Cast-in-place Center line		PARALLEL_	ΡΔΡ
CENTER LINE OF STEEL		PARALLEL STRAND LUMBER_	
CENTER OF GRAVITY		PARTIAL JOINT PENETRATION	
CLEAR(ANCE)	CLR.	PENETRATION	PEN.
COLUMN		PERPENDICULAR	
COMPLETE JOINT PENETRATION_		PIECE	
COMPRESSIONCONCRETE		PLATE PLYWOOD	
CONCRETE MASONRY UNIT		POINT	
CONNECTIONS	CONX(S).	POST-TENSION(ED)	P.T.
CONTINUOUS	CONT.	POUND(S) X1000	KIP(S)
CONTRACTOR		POUNDS PER LINEAR FOOT POUNDS PER SQUARE FOOT	
CONTROL JOINTCONSTRUCTION		POUNDS PER SQUARE FOOT	
CONSTRUCTION JOINT		POUNDS PER CUBIC YARD	
COVER PLATE		PRECAST CONCRETE	
		PREFABRICATED	PREFAB
DEFORMED BAR ANCHOR(S)		PRELIMINARY	
DETAIL DEAD LOAD		PRESSURE PROJECT(ION)	
DIAGONAL			• • • • • • • • • • • • • •
DIAMETER	DIA.	RADIUS	R
DIMENSION(S)		REFER TO / REFERENCE	REF.
DIRECTION		REINFORCE(ING)(ED)(MENT)	
DRAWING(S) DOUBLE		REMAINDERREQUIRE	
DOUBLE EXTRA STRONG		REQUIRED	REQ'D
DOWEL(S)		RETURN	
		ROOF DRAIN	
EACHEACH FACE	EA.	ROUGH OPENING ROUND	
EACH WAY		KOOND	NND.
ELECTRICAL		SCHEDULE(D)	SCHED.
ELEVATION		SECTION	SECT.
ELEVATOR		SHEAR FORCE	
EMBEDMENTENGINEER		SHEET	
EQUAL		SIMILARSPACE(S)(ING)	
EQUIPMENT		SPECIFICATION(S)	
EXPANSION	EXP.	SPECIFIED	SPEC'D
EXPANSION JOINT		SQUARE	
XISTING	EXIST.	STAINLESS STEELSTANDARD	
EXTERIOREXTRA STRONG		STANDARDSTEEL	
_		STIFFENER	STIFF
FACE TO FACE	F. TO F.	STRAIGHT	STR.
FABRICATE(ION)(OR)	FAB.	STIRRUPS	STIR.
FAR SIDE	F.S.	STRUCTURE OR STRUCTURAL	
FINISH(ED) FINISHED FLOOR		SUPPORT(S)	3UP1(5)
FIREPROOF		TENSION	т
LANGE	FLG.	THICK(NESS)	THK.
LOOR	FL.	TONGUE AND GROOVE	T&G
FLOOR DRAIN	F.D.	TOP OF BEAM	
FOOTINGFOUNDATION		TOP OF BEAMTOP OF FOOTING	
<del></del>		TOP OF PIER	
GALVANIZED		TOP OF PIER CAP	T.O. P.C
GENERAL	GEN.	TOP OF STEEL	T.O.S.
GLUE LAMINATED TIMBER	<del></del>	TOP OF STRUCTURAL CONCRETE	
GRADE GRADE BEAM		TOP OF WALL TREATED	
		TYPICAL	
HOT DIP(PED)			
HEADED STUD(S)		UNLESS OTHERWISE NOTED	U.O.N.
HEADER		VEDTICAL	VEDT
HEIGHTHORIZONTAL		VERTICAL VOLUME	
100K			
		WATER STOP	W.S.
NSIDE DIAMETER		WELDED WIRE MESH	W.W.M
NSIDE FACE NTERIOR	I.F. INT.	WIDE FLANGE WIND BRACE	W.F. WB
NTERMEDIATE	INTERM.	WIND LOAD	W.L.
	_	WITH	W/
			/ -
JOINT JOIST(S)	JT. JST(S).	WITHOUT WATER PROOFING	W/O W.P.

LAMINATED VENEER LUMBER LVL

LAMINATED STRAND LUMBER LSL

LIGHTWEIGHT

LONGITUDINAL

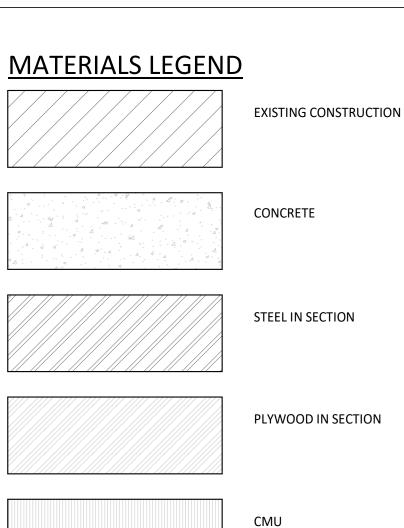
LONG LEG HORIZONTAL

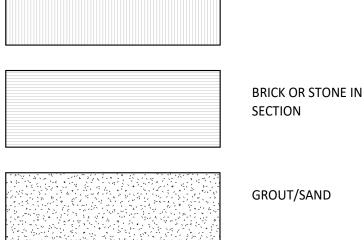
LONG SIDE HORIZONTAL

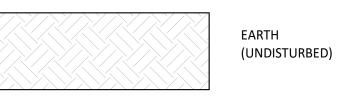
LONG SIDE VERTICAL\_\_\_\_

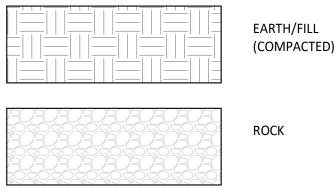
LONG LEG VERTICAL

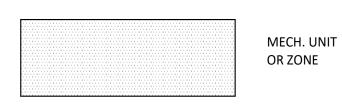
LIVE LOAD



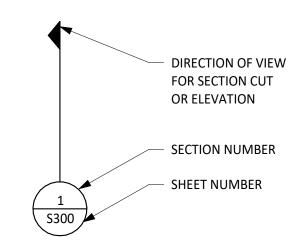






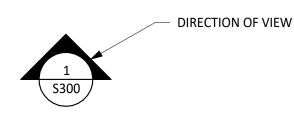


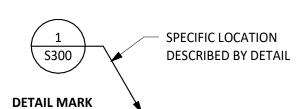
# DRAFTING SYMBOLS



**SECTION MARK** 

**ELEVATION MARK** 





# PLAN/DETAIL DESIGNATION



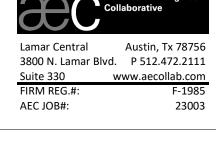
# STRUCTURAL DRAWING TYPES

- S1.... GENERAL NOTES
- S2 . . . . PLANS, ELEVATIONS, & SECTIONS S3 . . . . CONCRETE CONSTRUCTION
- S4 . . . . MASONRY CONSTRUCTION
- S5 . . . . STEEL CONSTRUCTION S6.... WOOD CONSTRUCTION

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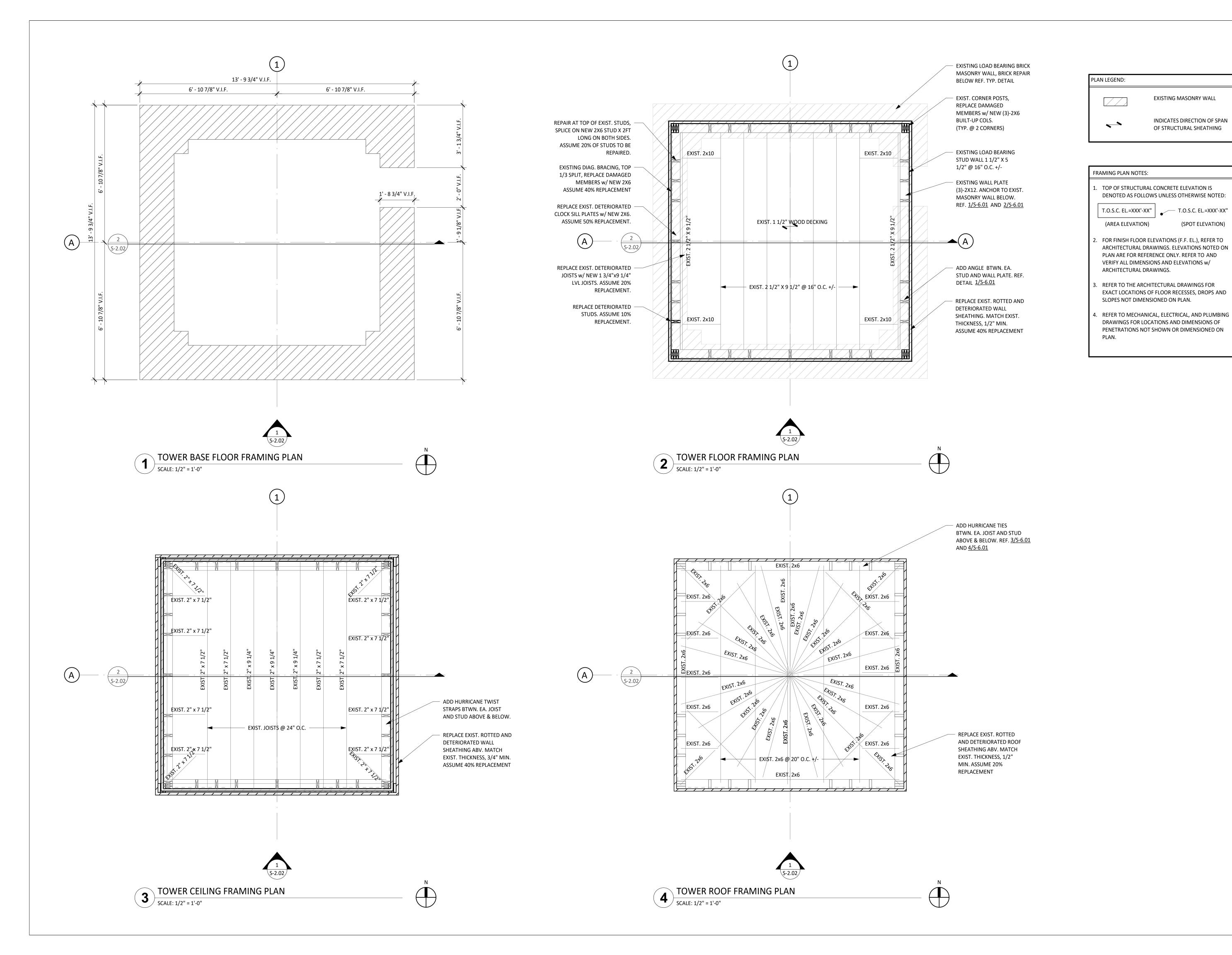
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**Architexas No** 225

Sheet **GENERAL** 

NOTES

S-1.00



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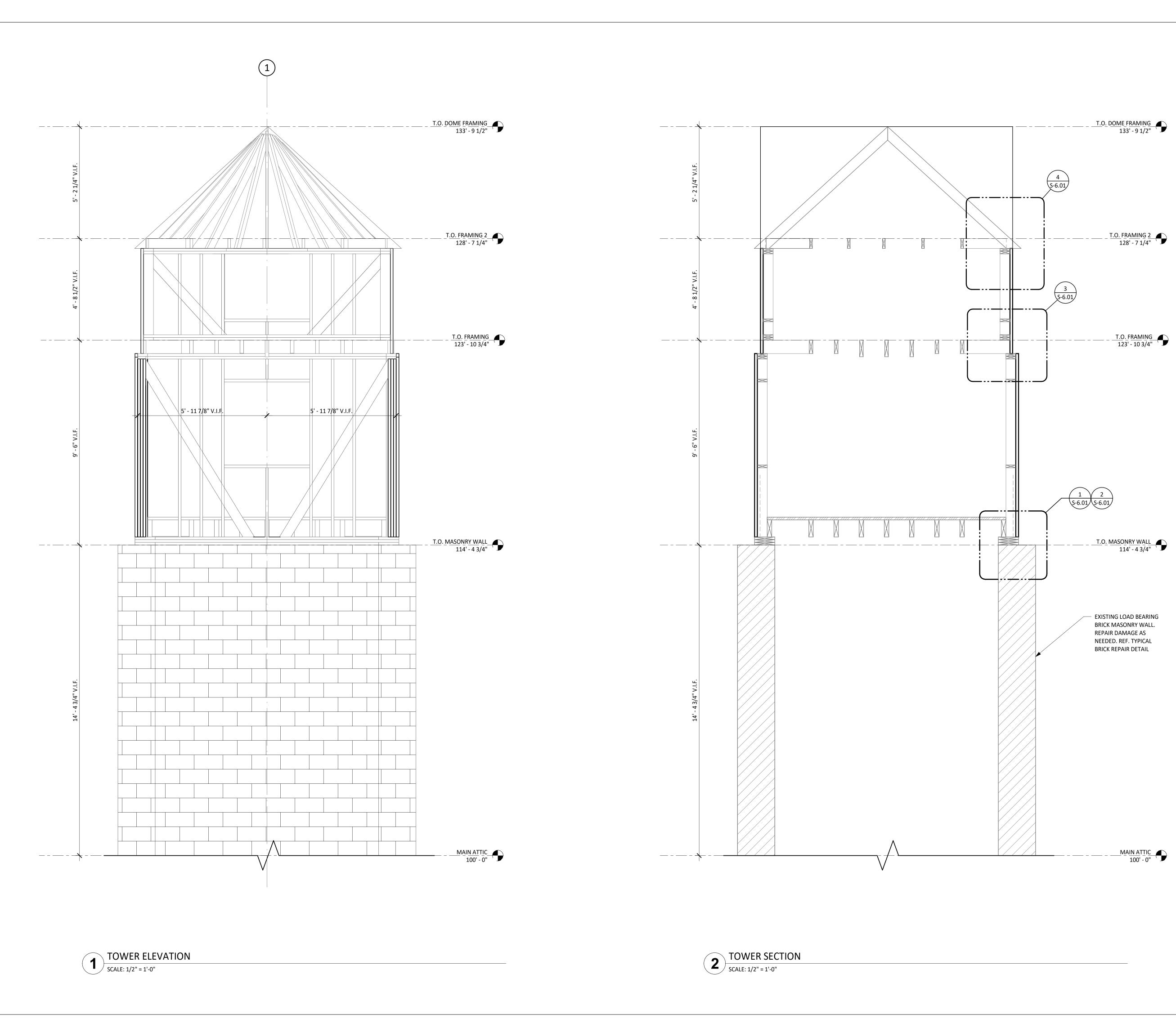


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TOWER FLOOR **PLANS** 

S-2.01



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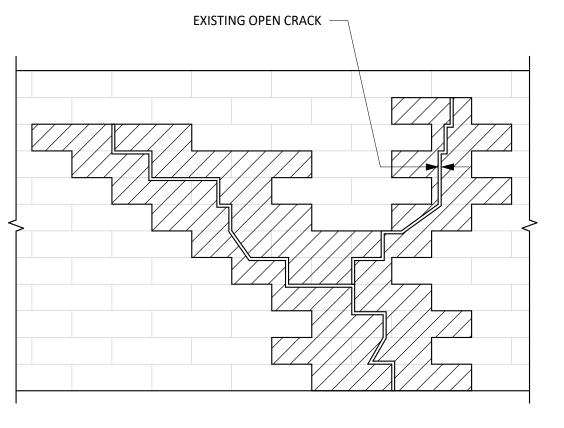


225

June 13, 2023

TOWER EL. & SECTION

Sheet S-2.02



NOTES:

1. DENOTES BRICK TO BE REPLACED. WHERE CRACK IS THRU WALL,
REPLACE ALL WYTHES OF BRICK ON EA. SIDE OF CRACK TO 1ST MORTAR
JOINT. REPLACE LOOSE AND CRACKED BRICKS. REPLACE EXISTING HEADERS W/
NEW HEADERS. WHERE CRACK IS ONLY IN OUTER WYTHE, REPLACE ONLY
OUTER WYTHE.

 WHERE CRACK IS OPEN AND 1/4" OR LESS AND IS PRESENT ONLY IN THE OUTER WYTHE AND ONLY IN JOINTS, RAKE AND REPOINT JOINTS ONLY.



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TYP. MASONRY DETAILS

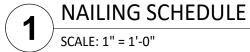
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NAILING SCHEDU	LE
CONNECTION	NAILING
1. FLOOR JOIST TO BAND JOIST, FACE NAIL	3-16d
2. FLOOR JOIST TO SILL PLATE OR GIRDER, TOE NAIL	3-8d
3. BRIDGING TO JOISTS, TOE NAIL OR END NAIL EACH END	2-8d
4. SILL PLATE TO BAND JOIST OR BLOCKING, FACE NAIL	16d AT 16" O.C.
5. TOP PLATE TO STUD, END NAIL	2-16d
6. STUD TO SILL PLATE	4-8d TOE NAIL OR 2-16d EACH END
7. DOUBLE STUDS, FACE NAIL	16d AT 24" O.C. MAX.
8. DOUBLE TOP PLATES, FACE NAIL	16d AT 16" O.C.
9. TOP PLATES AND INTERSECTIONS, FACE NAIL	2-16d OR 3-10d
10. TOP PLATES AND LAPS, FACE NAIL	8-16d
11. CONTINUOUS HEADER-TWO PIECES	16d AT 16" O.C. ALONG EACH EDGE
12. CEILING JOISTS TO PLATE, TOE NAIL	3-8d
13. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
14. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
15. RAFTER TO PLATE, TOE NAIL	3-8d
16. 3/4" LET-IN BRACE TO EACH STUD AND PLATES, FACE NAIL	2-8d
17. BUILT-UP CORNER STUDS	16d AT 24" O.C.
18. BUILT-UP GIRDER AND BEAMS, THREE MEMBERS	20d AT 32" O.C. AT TOP AND BOTTOM (STAGGERED) 2-20d AT ENDS

NOTES

PROVIDE NAILING CONNECTIONS INDICATED IN SCHEDULE UNLESS
 DETAILED OR NOTED OTHERWISE.



### WOOD CONSTRUCTION CONNECTOR NOTES:

- 1. ALL WOOD CONSTRUCTION CONNECTORS SHOWN ARE SIMPSON STRONG-TIE CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. (OR APPROVED EQUIVALENT). BEFORE SUBSTITUTING ANOTHER BRAND, CONFIRM LOAD CAPACITY BASED ON RELIABLE PUBLISHED TESTING DATA OR CALCULATIONS AND SUBMIT TO ARCHITECTURAL ENGINEERS COLLABORATIVE.
- 2. ALL SPECIFIED FASTENERS SHALL BE INSTALLED ACCORDING TO THE DETAILS AND THE MANUFACTURER'S INSTRUCTIONS. ALL HOLES IN CONNECTORS SHALL BE PROPERLY NAILED TO THE WOOD STRUCTURE. CONTACT ARCHITECTURAL ENGINEERS COLLABORATIVE FOR FASTENERS NOT SHOWN. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL. OR FINISH MAY CAUSE THE CONNECTION TO FAIL.
- TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL.

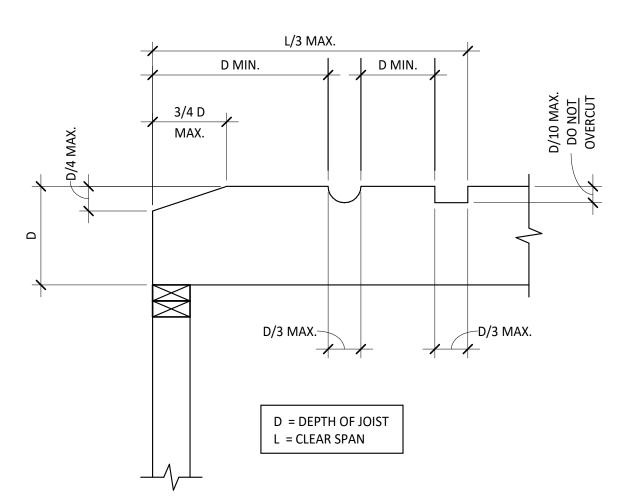
  3. BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16"
- LARGER THAN THE BOLT DIAMETER.
  4. INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
- 5. USE PROPER SAFETY EQUIPMENT.
- 6. WELDING GALVANIZED STEEL MAY PRODUCE HARMFUL FUMES; FOLLOW PROPER WELDING PROCEDURES AND SAFETY PRECAUTIONS. WELDING SHOULD BE IN ACCORDANCE WITH AWS STANDARDS.
- 7. PNEUMATIC OR POWDER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS. NAIL GUNS MAY BE USED TO INSTALL CONNECTORS, PROVIDED THE CORRECT QUANTITY AND TYPE OF NAILS ARE PROPERLY INSTALLED IN THE NAIL HOLES. GUNS WITH NAIL HOLE-LOCATING MECHANISMS SHOULD BE USED. FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND USE THE APPROPRIATE SAFETY EQUIPMENT.
- 8. UNLESS OTHERWISE NOTED, BOLTS AND NAILS SHALL NOT BE COMBINED. SIMILARLY, WELDS SHALL NOT BE COMBINED WITH BOLTS OR NAILS.
- 9. 8d, 10d, 12d, 16d AND 20d SPECIFY COMMON NAILS AND MAY NOT BE REPLACED WITH BOX OR SINKER NAILS UNLESS OTHERWISE SPECIFIED.

WOOD CONSTRUCTION CONNECTOR NOTES

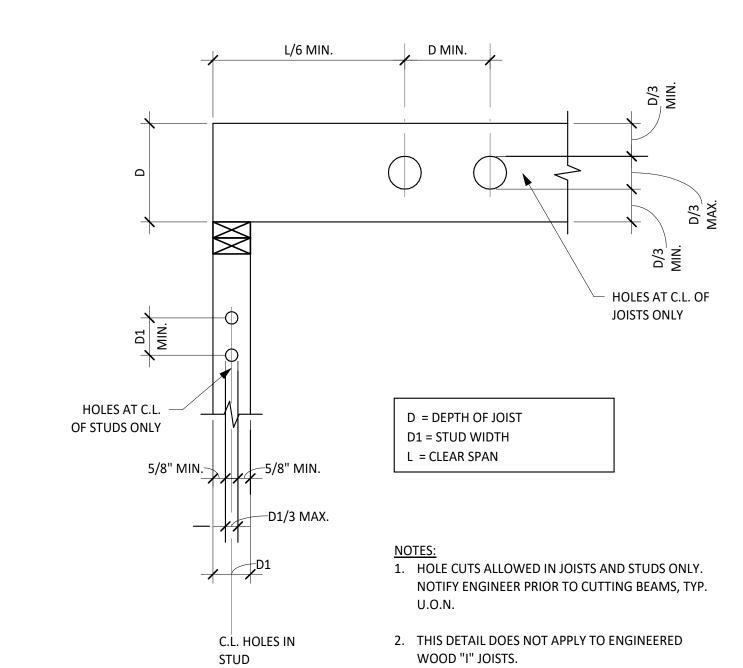
SCALE: 1" = 1'-0"

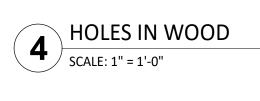
- 10. BOLTS SHALL BE ASTM A307, GRADE A OR BETTER.11. UNLESS OTHERWISE NOTED, BENDING STEEL IN THE FIELD MAY CAUSE FRACTURES AT THE BEND LINE. FRACTURED STEEL WILL NOT CARRY
- LOAD AND MUST BE REPLACED.

  12. A FASTENER THAT SPLITS THE WOOD WILL NOT SUPPORT THE DESIGN LOAD. IF THE WOOD HAS A TENDENCY TO SPLIT, PRE-BORE HOLES TO 3/4 OF THE NAIL DIAMETER PER THE NDS.



- NOTCH CUTS ALLOWED IN TOP OF JOISTS ONLY. NOTIFY ENGINEER PRIOR TO CUTTING BEAMS, TYP. U.O.N.
- 2. THIS DETAIL DOES NOT APPLY TO ENGINEERED WOOD "I" JOISTS.







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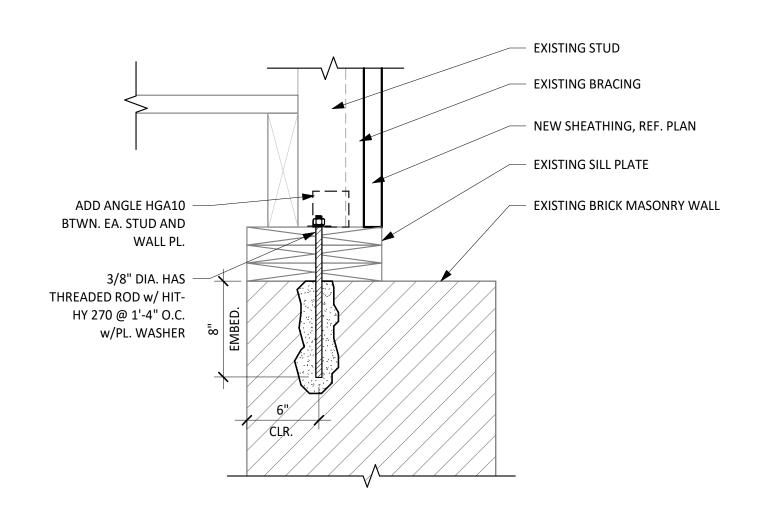
xas No. Date
June 13, 2023

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TYP. WOOD DETAILS

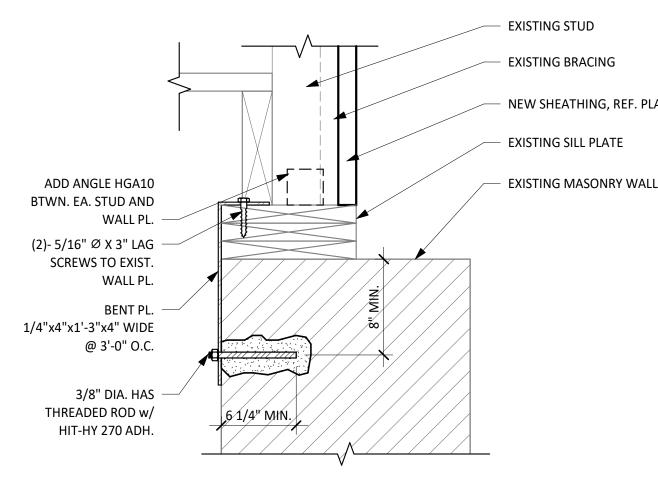
31

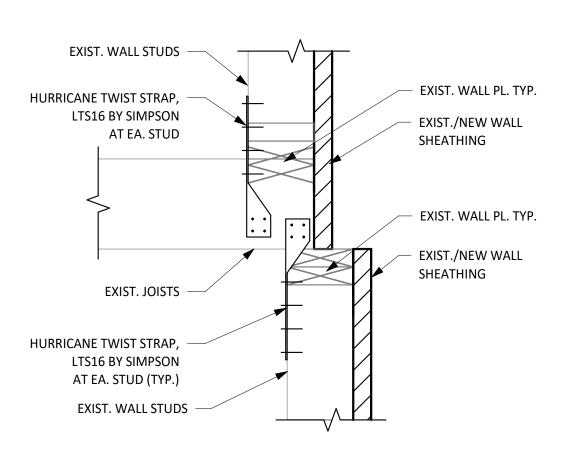
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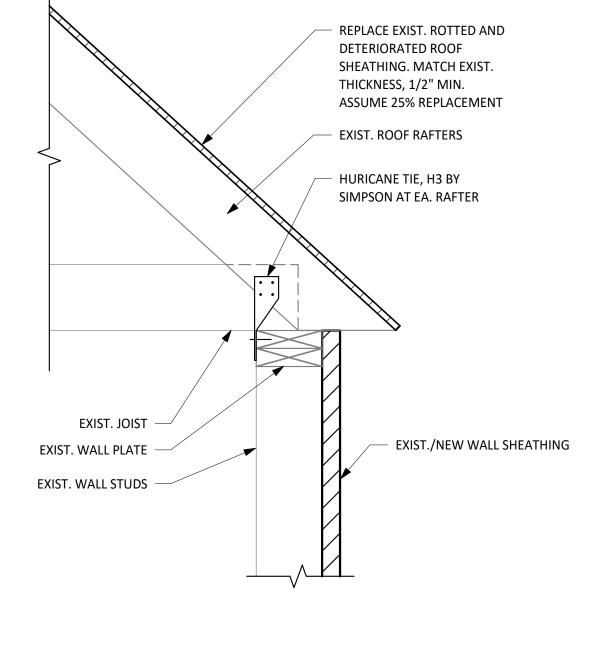


DETAIL - SILL PLATE AT MASONRY WALL

SCALE: 1 1/2" = 1'-0"







3 DETAIL - HURRICANE TIES AT EXISTING FRAMING

SCALE: 1 1/2" = 1'-0"

DETAIL - HURRICANE TIES AT EXISTING ROOF FRAMING

SCALE: 1 1/2" = 1'-0"

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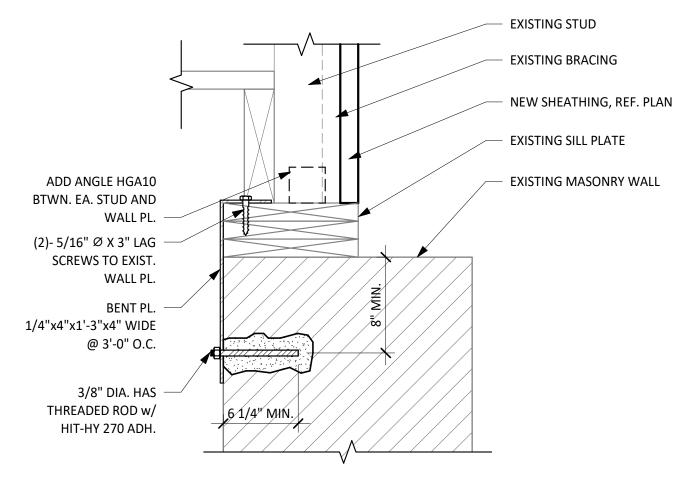
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WOOD DETAILS

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Sheet S-6.01







A DDDEN// A TIONO	FI FOTBIOAL OVABOLA	OFNIED A	I NICTEC . A. NOT ALL SYMBOLS SHOWN ON THIS SYMBOL LIST ARE LISED IN THE
ABBREVIATIONS	ELECTRICAL SYMBOLS		L NOTES: A. NOT ALL SYMBOLS SHOWN ON THIS SYMBOL LIST ARE USED IN THE CONTRACT DOCUMENTS.
AC ALTERNATING CURRENT AF AMPERE FUSE, AMPERE FRAME AFO APPONE THIS IF OF THIS IF OF THE INFO	MOTORS AND CONTROLS	RACEWAYS AND WIRING	MISCELLANEOUS
AFC ABOVE FINISHED CEILING AFF ABOVE FINISHED FLOOR AFG ABOVE FINISHED GRADE	\$ MOTOR RATED SWITCH WITH THERMAL OVERLOADS	CAP AND STAKE	SHADED SYMBOLS INDICATE EXISTING DEVICES TO REMAIN, UNLESS OTHERWISE NOTED.
AFG ABOVE FINISHED GRADE AIC AMPERE INTERRUPT CAPACITY AL ALUMINUM	SINGLE OR THREE PHASE MOTOR NUMBER INDICATES HORSE POWER	————— CONDUIT CONCEALED IN WALL OR CEILING  —————— UNDERGROUND, UNDERSLAB, CONCEALED ROUTING	INDICATES WALL-MOUNTED WHEN ATTACHED TO ANY SYMBOL
AM AMMETER AMP AMPLIFIER	ELECTRIC DUCT HEATER  DISCONNECT (SAFETY) SWITCH "200/3/150" DENOTES	——OHE—— OVERHEAD ELECTRIC PRIMARY UTILITY POWER LINE	DRAWING NOTE REFERENCE
ANN ANNUNCIATOR ASC AMPERES SHORT CIRCUIT	AMPERES/POLE/FUSE, "NF" DENOTES NON-FUSED "N3R" DENOTES NEMA 3R		SOS AREA OF RESCUE ASSISTANCE
AT AMPERE TRIP RATING ATS AUTOMATIC TRANSFER SWITCH AUX AUXILIARY	B' ENCLOSED CIRCUIT BREAKER- "200/3/150" DENOTES AMPERES/POLE/TRIP.	HASH MARKS INDICATE NUMBER OF CONDUCTORS.	
BKR BREAKER BLDG. BUILDING	MOTOR STARTER FURNISHED BY DIVISION 23 AND INSTALLED BY DIVISION 26.	LEFT TO RIGHT: PHASE/NEUTRAL/GROUND/ISOLATED GROUND.  NO HASH MARKS INDICATES EMPTY CONDUIT, 1" MINIMUM,	FIRE ALARM
C CONDUIT, CELSIUS CKT CIRCUIT	COMBINATION DISCONNECT (SAFETY) SWITCH AND MOTOR	UNLESS NOTED OTHERWISE.	W WATER FLOW SWITCH
CLG. CEILING CONT. CONTINUOUS, CONTINUATION	STARTER, "30/3/15/#0" DENOTES AMPERES/POLES/FUSE/ STARTER SIZE, "NF" DENOTES NON-FUSED. FURNISHED BY DIVISION 23 AND INSTALLED BY DIVISION 26.	1LA-2,4,6	SP SUPERVISORY SWITCH
CONTR CONTROLLER, CONTRACTOR CT CURRENT TRANSFORMER/COOLING TOWER	VFD VARIABLE FREQUENCY DRIVE PROVIDED BY DIVISION 23 AND INSTALLED BY DIVISION 26.	PARTIAL/SHARED CIRCUIT HOMERUN TO PANEL.	S SMOKE DETECTOR - MULTI CRITERIA DETECTOR
CU COPPER DAS DISTRIBUTED ANTENNA SYSTEM DC DIRECT CURRENT	EPO EMERGENCY POWER OFF BUTTON.	(ON)1LA-6	S SMOKE DETECTOR - "SB" INDICATES IN INTEGRAL SOUNDER BASE "D" INDICATES DUCT TYPE
DC DIRECT CURRENT DISC DISCONNECT DP DISTRIBUTION PANEL	RECEPTACLES AND OUTLETS	TELECOMMUNICATIONS CABLE TRAY SHALL BE CONCEALED ABOVE ACCESSIBLE CEILING UNLESS	"R" INDICATES DOCT TIPE  "R" INDICATES 120 VOLT RESIDENTIAL TYPE
DPDT DOUBLE-POLE, DOUBLE-THROW DPST DOUBLE-POLE, SINGLE-THROW	ALL RECEPTACLES SHALL BE MOUNTED 18" ABOVE FINISHED	OTHERWISE NOTED.	H HEAT DETECTOR  S BEAM DETECTOR TRANSMITTER, HIGH IN CEILING WALL DIRECT
DWG DRAWING ELEV. ELEVATOR	FLOOR TO CENTER OF DEVICE UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL	ELECTRICAL EQUIPMENT	BT LINE OF SIGHT.
EPO EMERGENCY POWER OFF ERRC EMERGENCY RESPONDER RADIO COVERAGE SYSTE			BEAM DETECTOR RECEIVER, HIGH IN CEILING WALL DIRECT LINE OF SIGHT.
FA FIRE ALARM FF FURNITURE FEED FLA FULL LOAD AMPS	ABBREVIATIONS APPLICABLE TO RECEPTACLES:  "GFCI" GROUND FAULT INTERRUPTER	DISTRIBUTION PANEL	S FIRE ALARM SPEAKER STROBE / CEILING MOUNTED
FLA FULL LOAD AMPS FTL FEED—THRU LUGS GA GAUGE	"WP" WEATHERPROOF "IG" ISOLATED GROUND	MSB SWITCHBOARD, MAIN DISTRIBUTION PANEL OR	S FIRE ALARM SPEAKER / CEILING MOUNT.
GEN GENERATOR GND GROUND	"TR" TAMPER RESISTANT	MOTOR CONTROL CENTER	DH MAGNETIC DOOR HOLDER
GTD GENERATOR TRANSFER DEVICE IG ISOLATED GROUND	"USB" RECEPTACLE WITH USB CHARGING PORTS "AC" ABOVE COUNTER MOUNTING	PANELBOARD (FLUSH/SURFACE MOUNT)	R AUXILIARY CONTROL RELAY
LF LINEAR FEET LTG LIGHTING	"UC" UNDER COUNTER MOUNTING "H" HORIZONTALLY ORIENTED RECEPTACLE	FLOOR MOUNTED DRY-TYPE TRANSFORMER	
LV LOW VOLTAGE LVL LEVEL	SIMPLEX WALL RECEPTACLE, NEMA 5-20R, 20A, 125V.		
MAX. MAXIMUM MC METAL CLAD CABLE MCA MINIMUM CIRCUIT AMPS	DUPLEX WALL RECEPTACLE, NEMA 5-20R, 20A, 125V. SHADED INDICATES SPLIT-WIRED	SUSPENDED OR WALL MOUNTED TRANSFORMER  ATS  AUTOMATIC TRANSFER SWITCH	F FIRE ALARM PULL STATION +42" AFF
MCA MINIMUM CIRCUIT AMPS MCB MAIN CIRCUIT BREAKER MCCB MOLDED CASE CIRCUIT BREAKER	FOURPLEX (QUADRUPLEX) RECEPTACLE	FIRE RATED PLYWOOD TERMINAL BOARD, TYPE AS NOTED,	F FIREMAN'S TELEPHONE JACK +42" AFF
MCCB MOLDED CASE CIRCUIT BREAKER MD MOTORIZED DAMPER MDP MAIN DISTRIBUTION PANEL	DUPLEX RECEPTACLE (PEDESTAL MOUNTED)	4' X 8' X 3/4" UNLESS NOTED OTHERWISE	AUDIO VISUAL FIRE ALARM HORN STROBE +80" AFF- 15/75cd U.N.O.
MFR MANUFACTURER MIC MICROPHONE	CONTROLLED WALL RECEPTACLE.  DUPLEX: SPLIT—WRED	COMMUNICATIONS	VISUAL FIRE ALARM (STROBE) CEILING MOUNT - 15/75cd U.N.O.
MIN. MINIMUM MLO MAIN LUGS ONLY	QUAD: SEPARATELY WIRED UNDER A COMMON COVERPLATE.	DEFAULT ELEVATION (UNLESS INDICATED OTHERWISE) TO CENTER OF ROUGH-IN:	AUDIO FIRE ALARM HORN +80" AFF
MOCP MAXIMUM OVER—CURRENT PROTECTION MSB MAIN SWITCHBOARD	POWER DEVICE RED IN COLOR, ON EMERGENCY POWER CIRCUIT	18" ABOVE FINISHED FLOOR (AFF)  DATA/COMM/AV ROUGH—IN. CONDUIT TO PLENUM AND BOX ONLY	FACE FIRE ALARM CONTROL PANEL
N3R NEMA 3R N4X NEMA 4X	CEILING RECEPTACLE/QUAD, EMERGENCY POWER SYMBOL MAY APPLY		RPS REMOTE POWER SUPPLY FOR AUDIO/VISUAL
N.C. NORMALLY CLOSED  NEC NATIONAL ELECTRICAL CODE  NF NON-FUSED	SPECIAL RECEPTACLE, NEMA CONFIGURATION PER PLAN OR EQUIPMENT	HHS HDS SCHOOL INTERCOMMUNICATION SYSTEM HANDSET.	FIRE ALARM DEVICES.
NF NON-FUSED NFS NON-FUSED SWITCH NIC NOT IN CONTRACT	TV ROUGH-IN: 3-GANG RECESSED TV BOX, CONTAINING 1 DUPLEX	DEFAULT ELEVATION (UNLESS INDICATED OTHERWISE) TO CENTER OF ROUGH—IN: 42" AFF	FSD FIRE SMOKE DAMPER  REMOTE LED INDICATOR LIGHT
NC NOT IN CONTRACT NL NIGHT LIGHT N.O. NORMALLY OPEN	RECEPTACLE, 1 GANG FOR AV, 1 GANG FOR DATA	HVC VOLUME CONTROL - WALL MOUNTED	
NO. NUMBER NTS NOT TO SCALE	FLOOR BOX OR POKE THRU. POKE—THRU'S WHERE IN SUSPENDED SLABS, RECESSED IN FOUNDATION WHERE SLAB ON GRADE	HCB INTERCOM/PA SYSTEM CALL—IN OR CALL—BACK DEVICE	SECURITY
PH PHASE POS POINT OF SALE	FLUSH ELECTRICAL FLOOR OUTLET. REFER TO FLOOR BOX SCHEDULE, FIRE RATED POKE—THROUGH SCHEDULE AND KEYED NOTES.	DEFAULT ELEVATION (UNLESS INDICATED OTHERWISE) TO CENTER OF ROUGH—IN:	HPB ADA AUTO DOOR OPEN BUTTON
QTY QUANTITY RCP REFLECTED CEILING PLAN	DROP CORD WITH SIMPLEX RECEPTACLE UNLESS OTHERWISE NOTED	120" AFF OR 12" BELOW CEILING, WHICHEVER IS LOWER	DR DOOR RELEASE BUTTON
RCPT RECEPTACLE RE REFERENCE, REFER	CORD REEL WITH DUPLEX RECEPTACLE UNLESS OTHERWISE NOTED	HS INTERCOM/PA SPEAKER "L" LOCAL SOUND REINFORCEMENT	HCR WALL MOUNTED CARD READER
SF SQUARE FOOT SIM SIMILAR	JUNCTION BOX		REFERENCE TECHNOLOGY/SECURITY SHEET FOR ADDITIONAL INFORMATION.
SKVA STARTING KILOVOLT—AMPS SPD SURGE PROTECTION DEVICE	"MD" INDICATES POWER CONNECTION TO SERVE MOTOR DAMPER "HD" INDICATES POWER CONNECTION TO SERVE HAND DRYER	CEILING MOUNTED DEVICES:	SWITCHES AND LIGHTING CONTROL DEVICE
SPDT SINGLE—POLE, DOUBLE—THROW SPST SINGLE—POLE, SINGLE—THROW SPEC SPECIFICATION	"FV" INDICATES POWER CONNECTION TO SERVE FLUSH VALVES	SVC INTERCOM/PA SPEAKER. "VC" INDICATES VOLUME CONTROL ON SPEAKER.	STATISTICS AND EIGHTING CONTROL DEVICE
SPEC SPECIFICATION SQFT SQUARE FOOT ST SHUNT TRIP	P PULL BOX (OVER 4" SQUARE)		ALL SWITCH TYPES AND SENSORS TYPES FOUND ON ' <u>LIGHTING CONTROL DEVICE SCHEDULE'</u> LOCATED ON ELECTRICAL SCHEDULE SHEETS
SWB SWITCHBOARD TL TWIST-LOCK	BELL/BUZZER/CHIME	REFERENCE TECHNOLOGY/SECURITY SHEET FOR ADDITIONAL INFORMATION.	
TOC TOP OF CURB TOS TOP OF STEEL	PUSH BUTTON/DOOR BELL/START-STOP	ONE-LINE DIAGRAM	SWITCH ANNOTATION AS FOLLOWS: TYPE, PER SCHEDULE
TR TAMPER RESISTANT RECEPTACLE TV TELEVISION	PP POWER POLE  POINT OF DIPECT CONNECTION TO FOLIDMENT	TRANSFORMER, TYPE AND RATINGS AS NOTED	NO TYPE INDICATES SINGLE POLE TOGGLE SWITCH
TYP TYPICAL UG UNDERGROUND	POINT OF DIRECT CONNECTION TO EQUIPMENT  CLOCK RECEPTACLE SHALL BE MOUNTED 12" BELOW FINISHED CEILING. (2)	800A/3P SWITCH, RATING AS SHOWN	SWITCH LEGS, PER PLAN, SHOWN HERE AS 3 (a,b,c)
UNO UNLESS NOTED OTHERWISE UPS UNINTERRUPTIBLE POWER SYSTEM VFD VARIABLE FREQUENCY DRIVE	CLOCK RECEPTACLE SHALL BE MOUNTED 12" BELOW FINISHED CEILING. (2) DENOTES DOUBLE SIDED CLOCK.	400A FUSE, RATING AS SHOWN	OCCUPANCY SENSOR ANNOTATION, AS FOLLOWS:
VFD VARIABLE FREQUENCY DRIVE WP WEATHERPROOF WT WATERTIGHT, WEIGHT	LIGHTING	ST SHUNT TRIP	LIOCY OCCUPANCY / VACANCE SENSOR 'x'
WI WATERTIGHT, WEIGHT W/SF WATTS PER SQUARE FOOT XFMR TRANSFORMER	LETTER(S) DENOTE TYPE- SEE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.	GFP GROUND FAULT PROTECTION	INDICATES TYPE, PER SCHEDULE
MANY ABBREVIATIONS NOT LISTED MAY BE FOUND		KIRK-KEY INTERLOCK	CEILING SENSOR WITH BRACKET INDICATES WALL / CORNER MOUNT
IN THE NATIONAL ELECTRIC CODE, OR IN THE INTERNATIONAL AND UNIFORM CODES	2' X 4' 2' X 2' 1' X 4' 1' X 2' 1' X 1'	M DIGITAL METER OR SUB-METER INTEGRATED INTO EQUIPMENT	LIGHT SENSOR ANNOTATION, AS FOLLOWS:
	STRIP LIGHTING FIXTURES.	1200/5 CURRENT TRANSFORMER, RATED AS SHOWN	PC DIGITAL PHOTOCELL
PHASING	ROUND DOWNLIGHT FIXTURE.	II- GROUND CONNECTION	DS DAYLIGHT HARVESTING SENSOR
(E) EXISTING (TO REMAIN) (D) SHALL BE DEMOLISHED	SQUARE DOWNLIGHT FIXTURE.	AUTOMATIC TRANSFER SWITCH	RELAY PANELS, CONTACTORS, TIME SWITCHES:
(N) PROVIDE NEW		□→> BUS DUCT PLUG	XX RELAYS/CONTACTORS/TIMERS/DEVICES
(R) RELOCATED ELEMENT	FIXTURE SCHEDULE.	ELECTRICAL UTILITY REVENUE METER	WHERE 'XX' INDICATES: "LC" LIGHTING CONTRACTOR
	CEILING MOUNTED EXIT SIGN; ARROWS AS INDICATED. SHADED AREA DENOTES FACE.	SPD SURGE PROTECTION DEVICE  GANN GENERATOR ANNUNCIATOR PANEL	"LCP" LIGHTING CONTROL PANEL "TS" TIME SWITCH
	WALL MOUNTED EXIT SIGN; ARROWS AS INDICATED. SHADED AREA DENOTES FACE.	GENERATOR ANNUNCIATOR PANEL  CIRCUIT BREAKER	"TC" TIME CLOCK
	→ EMERGENCY WALL MOUNTED LIGHTING FIXTURE. BATTERY	CIRCUIT BREAKER	DRAWING/DETAIL REFERENCE KEY
	OPERATED UNLESS NOTED OTHERWISE.		REFER TO DRAWING/DETAIL NUMBER—1
	SITE LIGHTING FIXTURE.	DAYLIGHT ZONES	RE: 1 /E3-2
			SHEET NUMBER
	HATCHING PATTERNS BELOW SHALL APPLY TO ALL LIGHTING FIXTURE SYMBOLS.		PANELBOARD NOMENCLATURE
	EMERGENCY LIGHT FIXTURE WITH BATTERY PACK. PROVIDE WITH	DAYLIGHT ZONE/PRIMARY	
	UNSWITCHED HOT FOR LOSS OF VOLTAGE AND CHARGING (SAME CIRCUIT AS NORMAL POWER LIGHTING). FIXTURES SHALL BE WIRED IN A MANNER	DAYLIGHT ZONE	5 DP C H A 1
	NL AS TO ALLOW SWITCHING OF FIXTURES WITHOUT DISCHARGING THE EMERGENCY BATTERY, BATTERY PACK IS TO ONLY OPERATE IN THE		SUB PANEL AREA VOLTAGE
	EVENT OF A POWER OUTAGE.		
	"NL" NIGHT LIGHT ON UNSWITCHED 24HR OPERATION	SECONDARY DAYLIGHT ZONE	H: 480Y/277V L: 208Y/120V
	EM CIRCUIT LIGHT FIXTURE ON EMERGENCY BRANCH CIRCUIT, GENERATOR TRANSFER		BRANCH NONE: NORMAL
	DEVICES REQUIRED (UL1008 OR UL924) PROVIDE UNSWITCHED HOT, NEUTRAL AND GROUND FOR ALL EMERGENCY LIGHTING ORIGINATING	DAYLIGHT ZONES SHALL BE INCLUSIVE OF THE FIXTURES	E: LIFE SAFETY Q: EQUIPMENT
	FROM THE EMERGENCY CIRCUIT SHOWN.	WITHIN THE SHADED REGION, AND SHALL BE DIMMED USING	C: CRITICAL R: LEGALLY REQUIRED
	CRITICAL OPERATIONS LIGHTING ORIGINATING FROM THE CRITICAL CIRCUIT	ON-BOARD OR EXTERNAL CONTROL IN ACCORDANCE WITH IECC 2021. IECC 2018 OR 2015 MAY BE REFERENCED ONLY WHERE	X: OPTIONAL STAND-BY DISTRIBUTION PANEL
	I MANAGEMENT CONTROLLE OF LIVATIONS LIGHTHING ORIGINATING FROM THE CRITICAL CIRCUIT	ADOPTED BY LOCAL AHJ.	
	INDICATED, HATCHED AS INDICATED. HATCHING TYPICAL FOR ALL CRITICAL BRANCH LIGHT FIXTURES	ABOT TEB BY EGONE ATTO.	(IF APPLICABLE)  LEVEL

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Item 3C.



DBR Project Number 235003.000

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1. Issued for Bid June 13, 2023

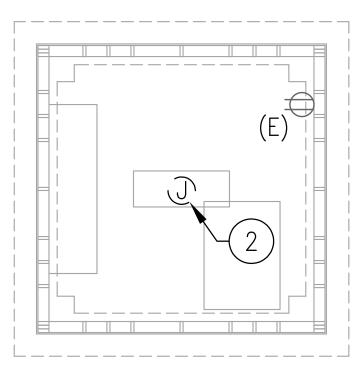
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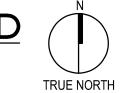
Date June 13, 2023 Sheet Name

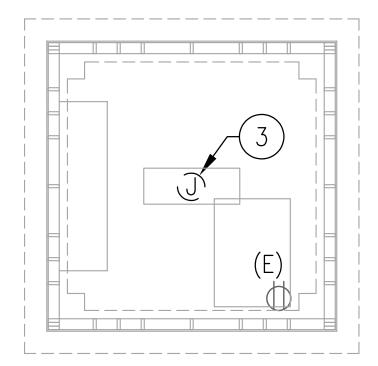
ELECTRICAL SYMBOL LEGEND





TOWER POWER DEMO PLAN - BASE BID



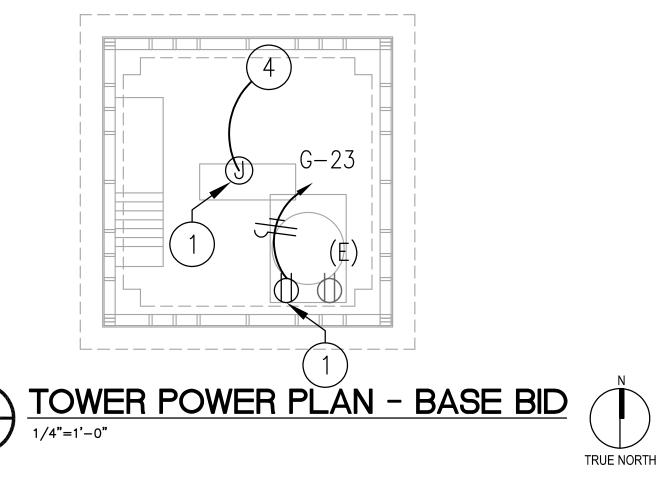


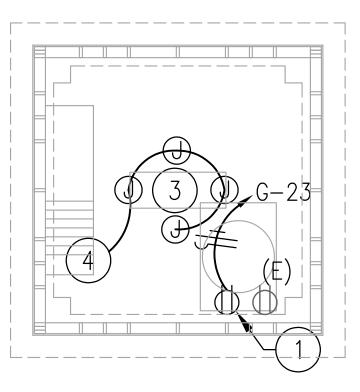


TOWER POWER DEMO PLAN - ALTERNATE BID #1













# **GENERAL ELECTRICAL NOTES:**

- A. REFER TO TOWER FLOOR PLAN ON SHEET A-2.01, SPECIFICATION SECTION 01230 AND SECTION 11100 FOR COMPLETE SCOPE OF WORK. COORDINATE WITH CLOCK RESTORATION SPECIALIST.
- B. ELECTRICAL DEVICES SHOWN ARE NOT EXACT. ALL DEVICE LOCATIONS SHALL BE VERIFIED WITH ARCHITECT.
- C. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES FOR ALL TECHNOLOGY, LOW VOLTAGE, ACCESS CONTROL SECURITY, SURVEILLANCE, AND OTHER DIVISION 27/28 SCOPE. REFER TO DIVISION 27/28 DRAWINGS AND SPECIFICATIONS FOR ALL WORK REQUIRED. OMISSION OF THIS SCOPE FROM DIV 26 SCOPE OF WORK IS PROHIBITED.
- D. PROVIDE LABELING OF ALL DEVICES, CONDUIT, PANELS, AND JUNCTION BOXES IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS.
- E. MULTI-WIRE HOME RUNS SHALL NOT BE ALLOWED. PROVIDE DEDICATED NEUTRALS FOR ALL CIRCUITS. SHARING CONDUIT IS PERMISSIBLE WHERE TOTAL CONDUCTOR AMPACITY DERATING HAS BEEN PERFORMED BY ELECTRICAL CONTRACTOR. THE NEUTRAL IS CONSIDERED CURRENT—CARRYING.
- F. ALL RECEPTACLES SHALL BE TAMPER RESISTANT TYPE. CONTRACTOR MAY PROVIDE NON-TAMPER-RESISTANT RECEPTACLES WHERE NOT REQUIRED PER CURRENT NEC ARTICLE 406
- G. LABEL ALL CIRCUITS AT ALL JUNCTION BOXES AND OUTLETS (AS DEFINED BY NEC) WITH TYPE-WRITTEN LABEL IDENTIFYING CIRCUIT ON THE BACK OF DÉVICE COVER PLATES AND ON COVER OF JUNCTION BOX. IF A BOX HAS MULTIPLE CIRCUITS WITHIN, LABEL ALL CIRCUITS.

# **#ELECTRICAL KEYED NOTES:**

- 1. PROVIDE POWER TO ELECTRIC STRIKE. COORDINATE POWER REQUIREMENTS WITH CLOCK RESTORATION SPECIALIST.
- 2. BASE BID: DISCONNECT AND RECONNECT ELECTRICAL CONNECTION TO EXISTING CLOCKWORKS. ENSURE SYSTEM IS FULLY FUNCTIONING.
- 3. UPON ACCEPTANCE OF ALTERNATE BID #1, DEMOLISH ELECTRICAL CONNECTION TO EXISTING CLOCKWORKS AND PROVIDE (4) NEW ELECTRIC CLOCK MOTORS, (1) FOR EACH CLOCK FACE.
- 4. RECONNECT TO EXISTING CIRCUIT SERVING CLOCKWORK.

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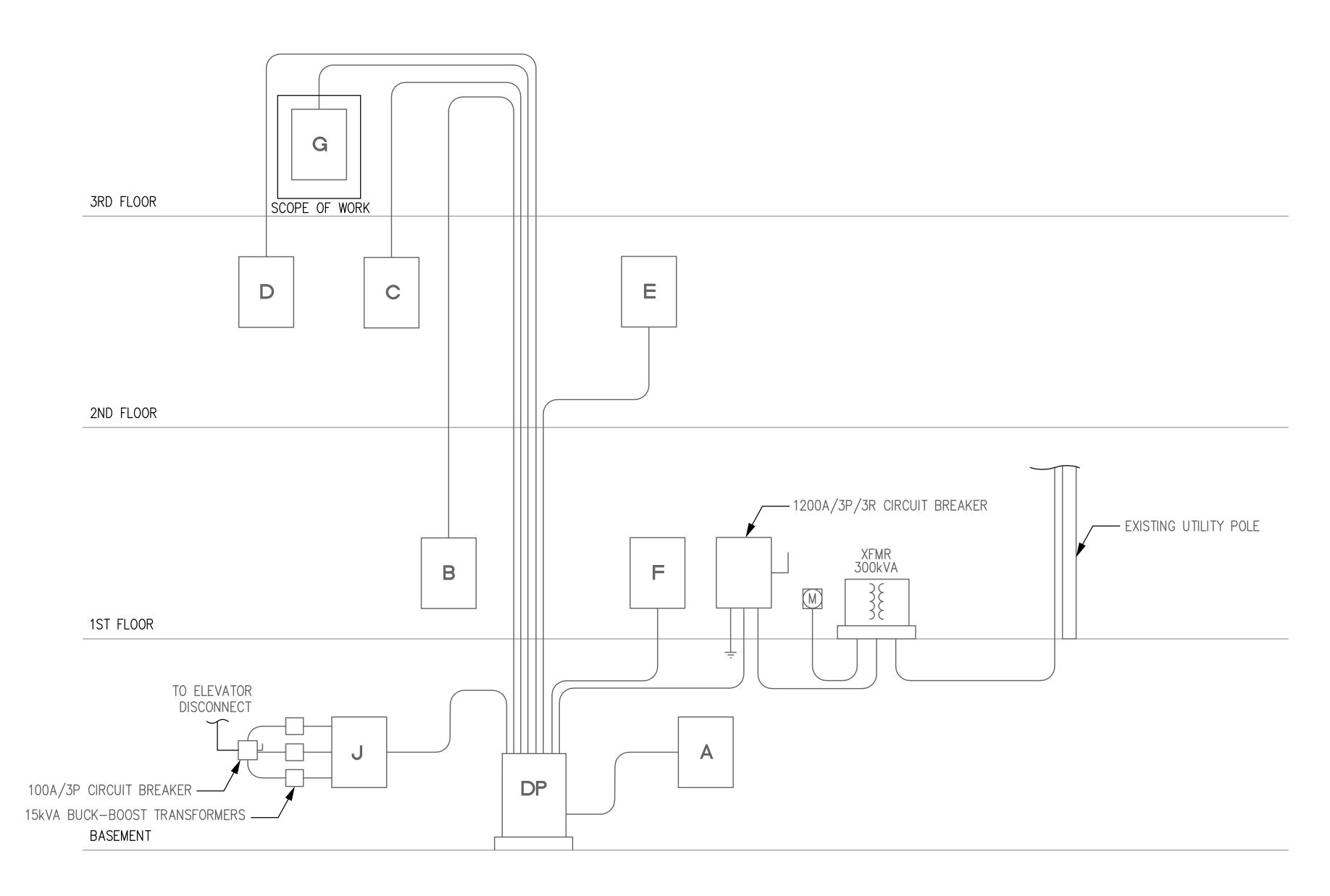
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Sheet Name

CLOCK TOWER POWER PLANS

Sheet Number

June 13, 2023





Panelboard G X Existing										000 AIC Rating					
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	120/208	8 Volt,3-Phase,4-Wire		MCB	0	ΔΙΛΙΕ	P MC	B				Single	Hew	Mounting	
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lotes	Load (VA)	Description	Туре	Wire	СВ	#	PH	#	СВ		re	Туре	Description	Load (VA)	Note
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	500	(E) TELEPHONE	M	12	20/1	3	В	4	20/1		2	R	(E) PLUGS RM. 305	1100	
	800	(E) PLUGS RM. 310	R	12	20/1	5	С	6	20/1	1 12	2	R	(E) PLUGS RM. 306 & HALLWAY E.	1100	
	1500	(E) COFFEE BAR	М	12	20/1	7	Α	8	15/2	2 12	,	н	(E) H.P. RM 312	1100	
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	20.60	(C) Cooling	0	0%	0		6	320.14		(E) Elevators				0 0 0	
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		(M) Misc. 14		100%	14,4	00			(	(SP) Sul	b Pa	anel	0 10	0 %	
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# Item 3C.

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REVISION HISTORY

1. Issued for Bid June 13, 2023

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Architexas No. 2250

Date June 13, 2023

Sheet Name ELECTRICAL ONE-LINE DIAGRAM & PANEL SCHEDULES

Sheet Number

### Photographs: Project 1 - Bastrop County Courthouse, Tower Repairs



Photo 1: Courthouse tower, existing conditions



Photo 2: Detail of existing sheet metal cladding and clock face.



Photo 3: Detail of existing sheet metal cladding

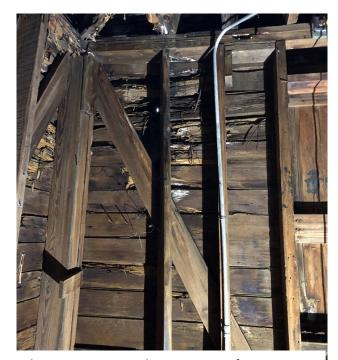


Photo 5: Existing conditions at tower framing



Photo 4: Existing conditions at tower framing



Photo 6: Detail of existing sheet metal cladding



Photo 7: View of clockworks and interior wood framing



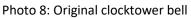




Photo 9: Original clockworks

#### CITY MANAGER'S DIRECTIVE

**To:** Bastrop Planning and Zoning, Bastrop Historic Landmark Commission, and

Bastrop Development Services Department

From: Sylvia Carrillo, City Manager, ICMA-CM, CPM

**Date:** March 28, 2023

RE: Temporary Suspension of Building Materials requirements as condition of

approving Certificates of Appropriateness in the Iredell District

In accordance with Bastrop's Home Rule Charter, Section 4.04, as the chief administrative officer of the City I am responsible for the proper administration of all affairs of the City, including directing and supervising the administration of all departments, offices and agencies of the City. It is my duty under the Charter to see that the laws of the City are faithfully executed.

In accordance with my authority under the Charter, I hereby *temporarily suspend* the requirement that applications for Certificates of Appropriateness for historic projects in the Iredell District comply with building materials specifications in the Authentic Bastrop Pattern Book (as adopted under the *Building Bastrop Block Code* – B3).

In considering an application for a COA under B3, the Historic Landmark Commission is to be guided by any locally adopted design Standards, Section 9.3.006(a), p. 249. For building materials, architecture standards, architectural details, massing for a variety of building types, see the Pattern Book. B3, Section 9.3.006(a)(8), p. 250. The *Authentic Bastrop Pattern Book* (Pattern Book) is a supplemental set of Standards, information, and inspiration supporting this Code. Architecture, urban design, and landscape design are housed within its contents. B3, Section 10.1.002, p. 239. The Pattern Book states that it is, "mandatory in the Iredell District,..." p. 2. The Pattern Book specifies certain building materials, which vary depending on the project.

This directive is issued upon the recommendation of the City Attorney, who has evaluated the City's ability to require specific building materials in this area and concluded that certain necessary procedural steps may have been omitted. State and federal laws establish standards for designating historic areas and for mandating or restricting building materials beyond what is allowed in international codes.

While this matter is under review, the City shall not base its approval of applications CoAs on compliance with the proposed building materials conforming to the Pattern Book. This directive shall remain in effect until I withdraw it or receive policy guidance from the Bastrop City Council.





#### Certificate of Appropiateness 804 Pecan Street/801 Pine Street

Date: 7/7/2023

Date: ////2023
The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility accuracy, completeness or usefullness of information, nor does it represent that its not infringe upon privately owned right.



# STAFF REPORT

MEETING DATE: July 19, 2023

#### TITLE:

Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

#### **STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

**ITEM DETAILS:** 

Site Address: 801 Pine Street
Property Owner: Bastrop County
Agent: Susan Frocheur
Current Use: Governmental

Existing Zoning: P-CS

Designations: Recorded Texas Historic Landmark (RTHL), National Register (NRHP),

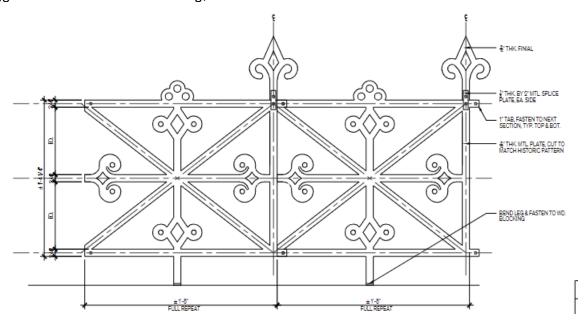
and State Antiquities Landmark (SAL)

#### **BACKGROUND/HISTORY:**

The County Court House & Jail, occupying 801 Pine Street, is proposing repairs and restoration to the exterior façade. The landscaping upgrades will include lawn restoration, 2' concrete mow strip (at perimeter of building – slope minimum of 2% away from the face of the building), instillation of French drain around perimeter of the building, construction of concrete area wells for crawlspace ventilation, removal and replacement of concrete pavers at the perimeter of the building, removal of metal edging and planting beds at the perimeter, regrading and extending the perimeter of the building footprint east, north, and west minimum of 20 feet- slope away form the building at a minimum of 5%. The brick masonry restoration (cleaning, repointing, and brick replacements/repairs) damaged or mismatched bricks will be replaced with salvaged brick or new brick to match the existing (see page 12 of plans – general notes), door and window restoration (restoration of metal door gates and window grills), and lightning protection system restored/upgraded to meet current code requirements. Roof repairs and restorations including removal and replacement of existing gutters, hatch and downspout (all that can be salvaged will be reused) (see page 11 of plans). Adding decorative metal cresting at perimeter or roof (see page 11 of plans).



Suggested decorative roof cresting;



#### **POLICY EXPLANATION:**

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings. Any adopted design standards and Secretary of the Interior's Standards shall be made to the property owners of historic landmarks.
  - (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
  - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
  - (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
  - (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
  - (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.
  - (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.
  - (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
  - (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

#### **RECOMMENDATION:**

Recommend approval on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

#### **ATTACHMENTS:**

- Attachment 1: SOI Standards
- Attachment 2: Photos
- Attachment 3: Plans
- Attachment 4: City Manager Directive
- Attachment 5: Location Map

#### **Historic Bastrop County Jail**

Work of this Project is described as the Historic Bastrop County Jail, Interior and Exterior Restoration. This project has received funding from the *National Park Service Emergency Supplemental Historic Preservation Fund Grant – Hurricane Harvey Disaster Assistance*. The National Park Service (NPS) funding is coordinated through the Texas Historical Commission (THC) and was provided to aid owners whose property sustained damage following Hurricane Harvey's landfall on Texas in August 2017. Work generally includes:

The THC and NPS utilize the Secretary of the Interior's Standards for the Treatment of Historic Properties (SOI Standards) to evaluate proposed work and ensure that grant funds are used appropriately.

Architexas has proposed a scope of work that is guided by the SOI Standards. SOI Standards considerations include:

- 1. Utility upgrades with minimal impact to historic buildings and site.
- 2. Character defining features will remain.
- 3. Prior incompatible modifications will be removed/reversed.
- 4. The building's established period of significance will lead proposed work.
- 5. Deteriorated architectural features will be repaired with in-kind materials.
- 6. Missing historic elements will be reconstructed (slate roofing, metal cresting, etc.).
- 7. Cleaning methods will include proven products that utilize the gentlest means necessary.

#### Photographs: Historic Bastrop County Jail, Interior and Exterior Restoration



Photo 1: North Elevation, 1977 (Source: THC & UNT's Portal to Texas History)



Photo 2: North Elevation, 2023

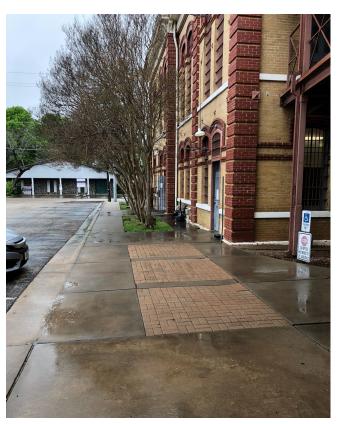


Photo 3: Perimeter of building will receive 2' wide concrete mow strip.



Photo 4: Existing sheet metal roofing to be replaced with slate roofing. Brick chimneys will be repointed 100%



Photo 5: Existing sheet metal roofing to be replaced with slate roofing. Brick chimneys will be repointed 100%

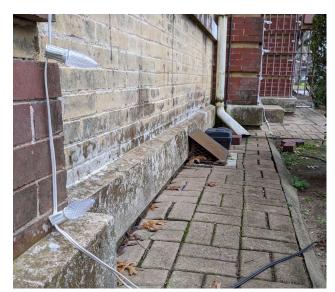


Photo 6: Existing brick pavers and covered crawlspace ventilation. Perimeter of building will receive 2' wide concrete mow strip.

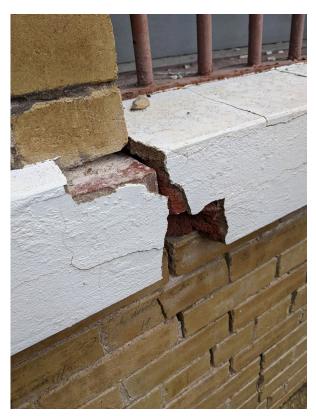


Photo 7: Parge coat to be restored 100%. Masonry restoration includes selective brick repairs/replacement, repointing 100%.



Photo 9: Windows and window grilles to be restored 100%. Masonry restoration includes selective brick repairs/replacement, repointing



Photo 8: Parge coat to be restored 100%. Masonry restoration includes selective brick repairs/replacement, repointing 100%.

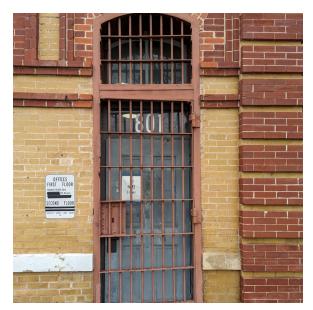


Photo 10: Exterior door and gate to be restored 100%.

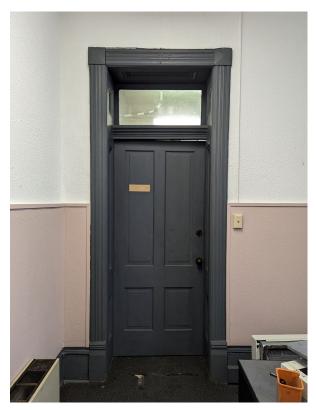


Photo 11: Interior door assemblies and finishes will be restored.

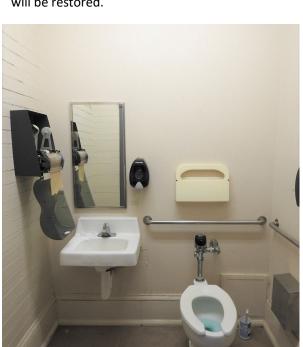


Photo 13: Existing non-ADA compliant  $\mathbf{1}^{\text{st}}$  floor restroom.



Photo 12: Electrical panels at first floor entry hall to be relocated.

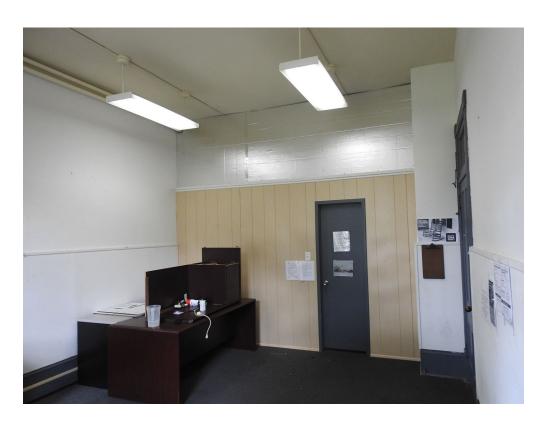


Photo 14: Non-original partitions will be removed, first floor.

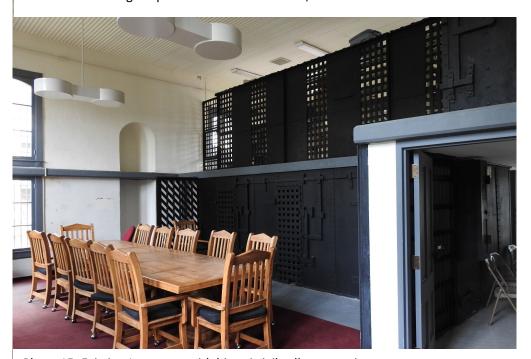


Photo 15: Existing Jury room with historic jail cells to remain.

# HISTORIC BASTROP COUNTY JAIL

# INTERIOR AND EXTERIOR RESTORATION

Bastrop, Texas

## **OWNER**

**Bastrop County** 804 Pine Street Bastrop, Texas 78602 Phone: 512.581.7100 Owner Representative: Shawn Harris email: shawn.harris@co.bastrop.tx.us

#### **ARCHITECT**

Architexas Architecture, Planning, and Historic Preservation, Inc. 2900 South Congress Ave., Suite 200 Austin, TX 78704 phone: 512.444.4220

#### STRUCTURAL ENGINEER

Architectural Engineers Collaborative 3800 N. Lamar Blvd., Suite 330 Austin, TX 78756 phone: 512.472.2111 x1007

#### MEP ENGINEER

DBR Engineering Consultants, Inc. 2500 S HWY 183. Suite 500 Austin, TX 78744 email: zmorton@dbrinc.com phone: 210.546.0200

#### TEXAS HISTORICAL COMMISSION

108 W. 16th St. - Second Floor Austin, TX 78701 phone: 512.463.6000

# **PROJECT** LOCATION MAP COURTESY OF GOOGLE.COM **LOCATOR MAP**

**AREA MAP** 

MAP COURTESY OF GOOGLE.COM



#### INDEX OF DRAWINGS

**ARCHITECTURAL** COVER SHEET CODE ANALYSIS LIFE SAFETY NOTES & PLANS, **BUSINESS OCCUPANCY** CODE ANALYSIS LIFE SAFETY NOTES & PLANS, MUSEUM OCCUPANCY DEMO. ENLARGED SITE PLAN DEMO. PLANS - FIRST & SECOND FLOOR D-2.02 DEMO. PLAN- MEZZANINE ENLARGED SITE PLAN SITE DETAILS FIRST & SECOND FLOOR PLANS MEZZANINE & ATTIC PLANS FIRST & SECOND REFLECTED CEILING PLANS A-2.10 ROOF PLAN NORTH & SOUTH ELEVATIONS EAST & WEST ELEVATIONS ROOF DETAILS DOOR SCHEDULE & TYPES A-5.03 DOOR DETAILS WINDOW SCHEDULE, TYPES, & DETAILS

ROOM FINISH SCHEDULE, NOTES, & WALL TYPES

ENLARGED RR PLANS/INT. ELEVS.

1ST & 2ND FLR. FRAMING PLANS

COURTHOUSE ROOF FRAMING PLAN

WINDOW DETAILS WINDOW DETAILS

ADA DIAGRAMS

GENERAL NOTES

**GENERAL NOTES** 

ROOF FRAMING PLAN

TYP. MASONRY DETAILS

TYP. STEEL DETAILS

TYP. WOOD DETAILS

STEEL DETAILS

WOOD DETAILS

A-8.01

S-1.00

S-2.00

S-4.00

S-5.00

S-6.01

**PLUMBING** PLUMBING SYMBOL LEGEND PLUMBING DEMO. PLANS - LEVELS 1 & 2 PLUMBING DEMO. MEZZANINE PLAN PLUMBING PLANS - LEVELS 1 & 2 P5.01 PLUMBING SCHEDULES PLUMBING DETAILS

**MECHANICAL** 

M5.01

MEP1.01 MEP SITE PLAN

MECHANICAL SYMBOL LEGEND

MECH. DEMO. MEZZANINE PLAN

MECH. PLANS - LEVELS 1 & 2

MECH. MEZZANINE PLAN MECH. ROOF PLAN

MECHANICAL SCHEDULES

ELECTRICAL SYMBOL LEGEND

LIGHTING DEMO. PLANS - LEVELS 1 & 2

**ELECTRICAL ONE-LINE DIAGRAM & SCHEDULES** 

POWER DEMO. PLANS - LEVELS 1 & 2

POWER DEMO. MEZZANINE PLAN

LIGHTING PLANS - LEVELS 1 & 2

LIGHTING MEZZANINE PLAN

POWER PLANS - LEVELS 1 & 2

MECHANICAL DETAILS

MECH. DEMO. PLANS - LEVELS 1 & 2

HISTORIC BASTROP **COUNTY JAIL INTERIOR & EXTERIOR** RESTORATION

> 801 Pine Street Bastrop, TX

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May 30th, 2023

**Sheet Name** 

Cover Sheet **Sheet Number** 

**GENERAL NOTES** 

1. Existing Conditions: A. Information contained on these drawings with regard to existing conditions for construction in no way releases the Contractor from the responsibility for verifying completely all field conditions relating to and affecting the execution of the work, as described in these Contract Documents. Cease work, notify Architect, and await instructions if materials or conditions encountered at the site are not as indicated by the Contract Documents.

LOCATION

Field verification of existing conditions relating to specific portions of the work shall be undertaken in advance to allow for the timely identification of existing conditions that may effect the scheduled installation of new work as designed and detailed, and to avoid undue and unreasonable delays to the project should such conditions be discovered. Timely identifications of such conditions shall provide for a reasonable period of time during which the Architect will evaluate the conditions and make recommendations for accommodating new work.

Assist the Architect in making their evaluations and recommendations by providing in a timely manner, at no additional cost to the Owner, accurate and complete drawings, sketches, and photographs sufficient to clearly describe discrepancies, conflicts, and concealed or otherwise unanticipated existing conditions affecting new construction. Assist the Architect by providing in a timely manner prepared solutions to unanticipated existing conditions.

The Architect has endeavored to identify as completely as possible in the drawings and specifications existing items that are required to be removed or otherwise demolished so as to allow the execution of new work. This information is provided for the convenience of the Contractor, and is in no way intended to mean that demolition is limited only to those items specifically identified. Execute demolition work as required to allow the execution of new work.

Areas and items indicating limits of work and lines of demarcation are shown for the convenience of the Contractor, and are not to be taken literally. Actual contract limits are to be determined prior to bid openings by field verification. Original elements removed are to be re-installed in their original location, unless

#### 2. Blocking and Framing

Some general assumptions have been made on existing blocking, framing, and existing masonry profiles where conditions have not been uncovered. Re-secure existing blocking as necessary and provide new blocking as needed at door frames, door casings, windows, window casing, baseboards, chair rail, and other millwork areas.

3. Dimension of original materials:

Dimensions indicated in Construction Documents for original materials are approximate and are to be field verified prior to submittal of shop drawings. Match exact sizes and profiles of original elements, unless noted otherwise Remove existing sealants and replace with specified sealants, typical.

A. Masonry infill is to match adjacent material type, size, coursing, color, mortar, etc.

6. Photographs Photographs of existing building conditions are included on portions of these drawings. Information contained on these photographs is provided for the convenience of the Contractor. Existing conditions may vary from what these photographs show. It shall be the responsibility of the Contractor to verify field conditions prior to the time of the bid and alert the Architect to any discrepancies between the existing conditions and the photographs.

Existing construction shown to remain shall not be damaged during the demolition process. Provide temporary protection as necessary. If surfaces of wall are damaged, damaged areas shall be repaired with masonry to match existing and

restore the full structural capacity of the walls. Shoring drawings and associated structural calculations sealed by a Professional Engineer licensed in the State of Texas shall be submitted to the Architect's file and shall not be returned approved to the Contractor. The Contractor is solely responsible for the design and installation of all shoring necessary to accomplish

All shoring shall transfer loading directly to existing masonry structure. Shoring shall be designed to support the full anticipated loading with no benefit from the

The maximum allowable loading on the existing floor structures shall be 100 psf. All areas of the building which may have greater loading imposed on it by the Contractor's demolition procedure shall be shored.

#### GENERAL MEP & AUDIO VISUAL NOTES

1. Concealment of conduit, piping, and devices, general:

Conduit, piping, and devices are not to be exposed in any location unless Electrical boxes and associated elements must be recessed into walls, floors, or

baseboards so that cover plates are flush with the finish surface. 2. Concealment of conduit, piping, and devices at walls: Conduit, wiring, and piping are to be concealed behind finish face of plaster walls unless noted otherwise.

Route conduit into the plaster and masonry so that a full application of lath and plaster system is installed over the material and conduit and piping is concealed in walls behind the plaster.

At brick walls route minimum depth required for installation of conduit to maximum 2-inches for horizontal runs and 4-inches for vertical runs.

Concealment of conduit, piping, and devices at concrete floors: Conduit cannot be embedded in the existing concrete slab. Install conduit, piping, and devices in clear space between the concrete and suspended or finished ceiling. Contractor to verify floor/ceiling assembly and the direction of the joists/beams prior to the start of the work.

4. Concealment of conduit, piping, and devices at concrete columns and beams: Routing is not permitted unless approved by Structural Engineer. Conduit and piping is to be concealed behind furr-outs at column face and around beams as detailed.

5. Exposed conduit, piping, and devices at ceilings: A. Wherever possible make every effort to run conduit and piping concealed within scheduled furr-downs or between existing floor/ceiling joists. Where not possible run conduit and piping in the most direct and shortest route and return to closest furr-down following the criteria listed under item 9 and related architectural details.

6. Exposed conduit, piping, and devices: Run parallel to walls and beams.

Gang piping and conduit in parallel groups where possible and equidistant to each other. When ganged piping is bent, it must remain equidistant to each

A. Attachment to stone, brick, terra cotta (i.e. conduit, metal framing, wood furring, etc...) must be attached into masonry joints unless noted otherwise. Do not drill through, penetrate or alter in any way the original materials or structure unless

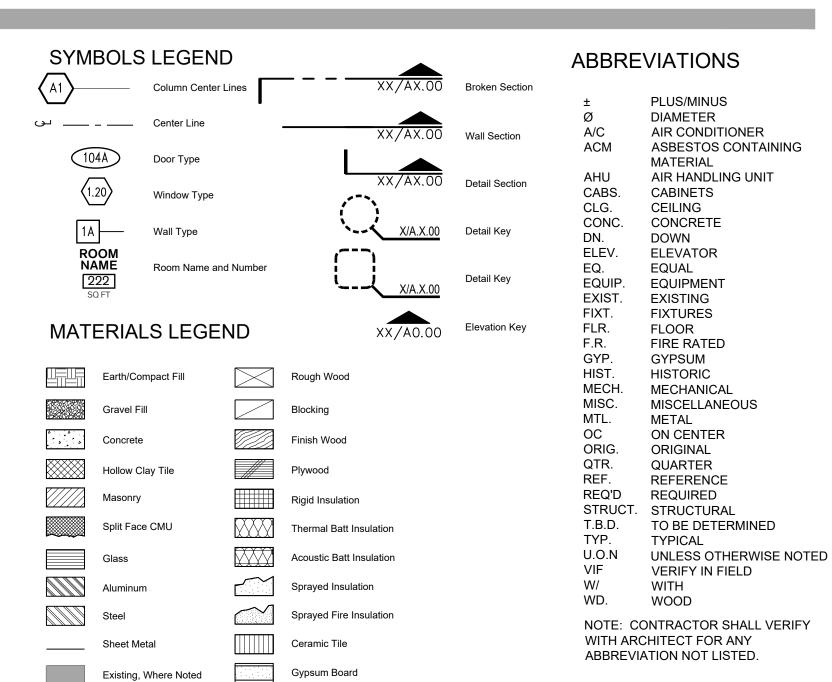
Refer to structural for attachment requirements of MEP equipment to structure.

8. Penetration at masonry walls:

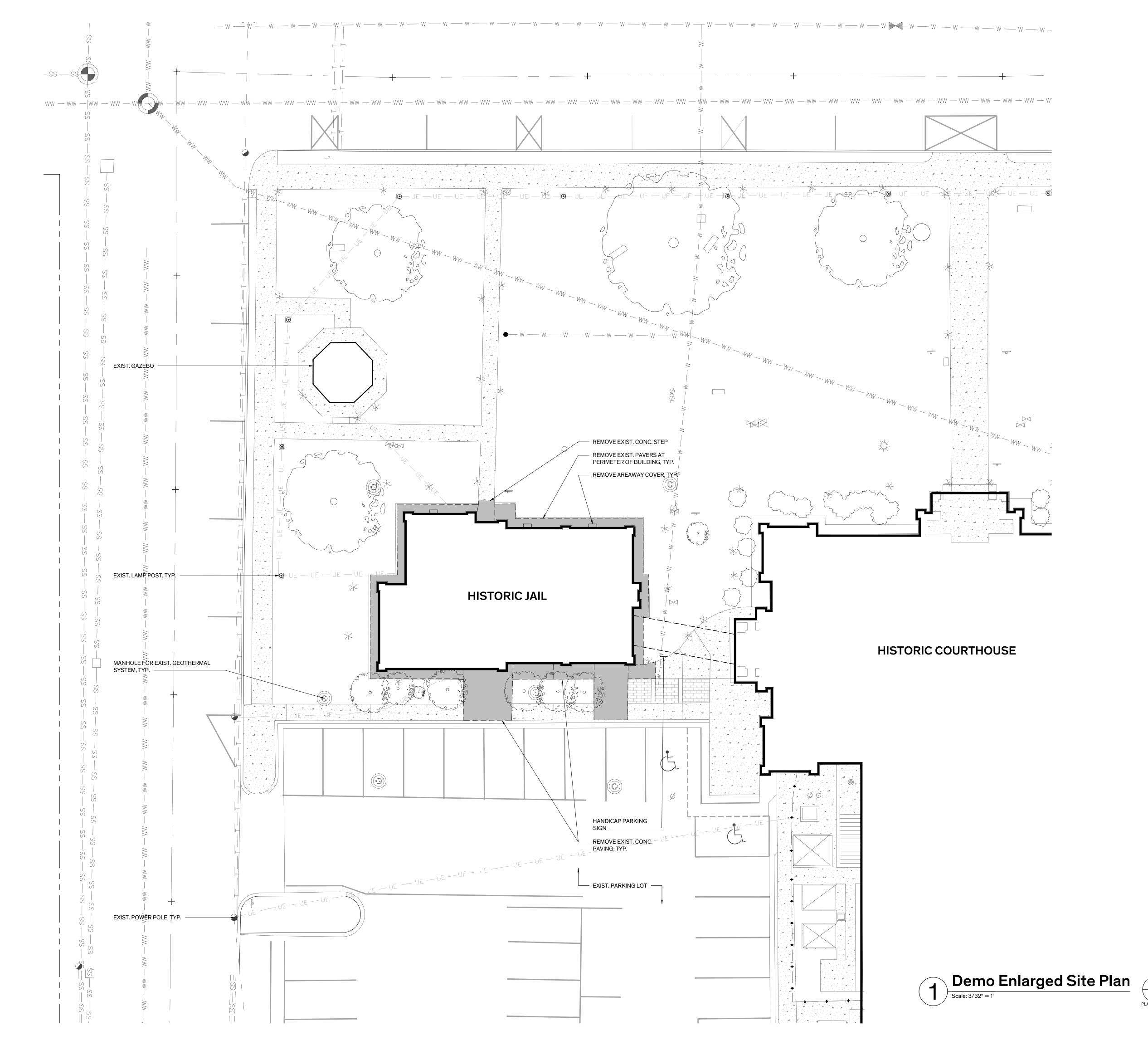
Cut/core plaster and masonry walls as necessary to accommodate new materials, components, and systems including conduit, wiring, piping, ducts, and all other items required for installation and operation of electrical, mechanical, and plumbing systems. See structural drawings for penetration details at masonry load bearing walls.

Mechanical ductwork and piping shop drawings are to include spot elevations to the bottom of these systems above finish floor to verify clearances at suspended ceilings and furr-downs.

THIS MATERIAL WAS PRODUCED WITH ASSISTANCE FROM THE EMERGENCY SUPPLEMENTAL HISTORIC PRESERVATION FUND, ADMINISTERED BY THE NATIONAL PARKS SERVICE, DEPARTMENT OF THE INTERIOR. ANY OPINIONS, FINDINGS, AND CONCLUSIONS OR RECOMMENDATIONS EXPRESSED IN THIS MATERIAL ARE THOSE OF THE AUTHOR(S) AND DO NOT REFLECT THE VIEWS OF THE DEPARTMENT OF THE INTERIOR.



Metal Lath and Plaster



# GENERAL NOTES - SITE DEMO

#### 1. GENERAL SITE WORK

- A. UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER, ELECTRICAL, & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.
- B. REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK. C. INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
- . MONUMENTS, MARKERS: PROVIDE TEMPORARY PROTECTION FOR EXIST. MONUMENTS & RTHL MARKERS DURING CONSTRUCTION ACTIVITIES ON
- S. TREE PROTECTION: PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.

#### 4. SITE RESTORATION:

A. RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...

#### . DEMOLITION:

- A. REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING. B. REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE
- BUILDING INCLUDING PLANTINGS.

#### 6. SITE WORK:

- A. PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP
- OF AREAWAY FLUSH WITH CONCRETE MOW STRIP. B. EXCAVATE SOIL AT PERIMETER OF JAIL BUILDING TO INSTALL PERIMETER FOUNDATION DRAIN. CAREFULLY EXCAVATE TO PREVENT DAMAGE TO EXIST. BELOW GRADE PIPING TO REMAIN.
- C. PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING. D. PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING, SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING. E. RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN
- EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%. F. INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM

#### BUILDING FOUNDATION. . IRRIGATION:

- A. THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
- B. RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.

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HISTORIC BASTROP **COUNTY JAIL INTERIOR & EXTERIOR** RESTORATION

> 801 Pine Street Bastrop, TX

# LEGEND

ELEMENTS TO BE REMOVED

EXIST. CONCRETE PAVING & PAVERS TO BE REMOVED

EXCAVATION AREA FOR FOUNDATION WATERPROOFING

EXIST. CONCRETE PAVING TO REMAIN

EXIST. BRICK PAVERS TO REMAIN

--- DS --- SUBGRADE DOWNSPOUT LEADERS ---FD --- FOUNDATION DRAIN PROPERTY LINE

---DS --- EXIST. SUBGRADE DOWNSPOUT LEADERS --T -- EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE — — — — — EXIST. ELECTRICAL SERVICE

— — — UE— — — EXIST. SUBGRADE ELECTRICAL SERVICE --- SS --- EXIST. STORM SEWER

— — — \$ — — — EXIST. SANITARY — — —WW— — — EXIST. WATER — — — W— — — EXIST. WASTE WATER

— — G — — EXIST. GAS ---  $\bigcirc$  -- EXIST. CHAIN LINK FENCE

EXIST. LAMP POST EXIST. STREET LAMP TO REMAIN EXIST. STREET SIGN EXIST. GROUND LIGHT

EXIST. VALVE EXIST. CLEAN OUT

EXIST. SPRINKLER EXIST. POWER POLE

EXIST. MANHOLE FOR GEOTHERMAL SYSTEM

EXIST. AT&T FIBER OPTICS MANHOLE

EXIST. WASTE WATER MANHOLE EXIST. STORM SEWER MANHOLE

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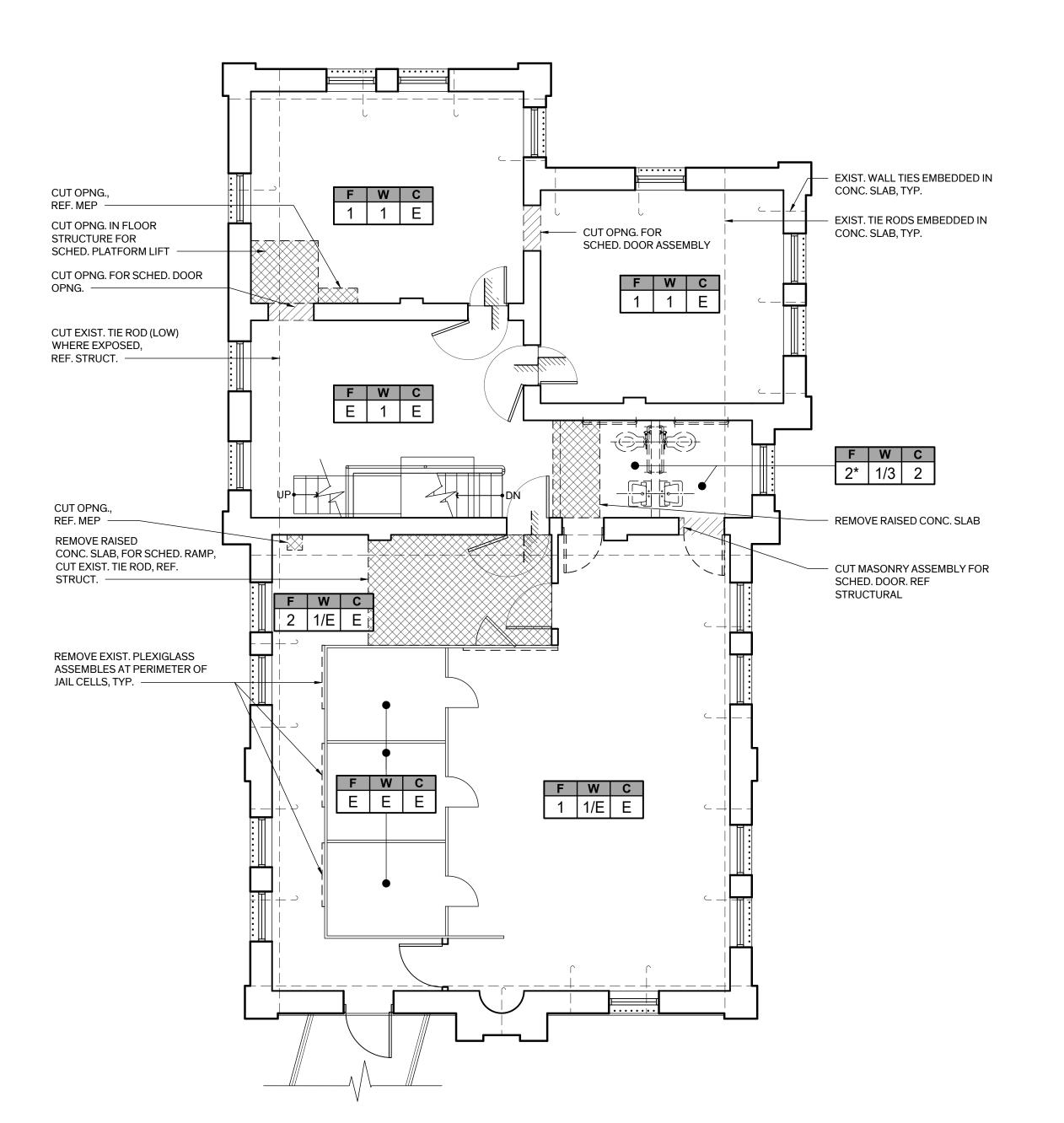
May 30th, 2023

**Sheet Name** 

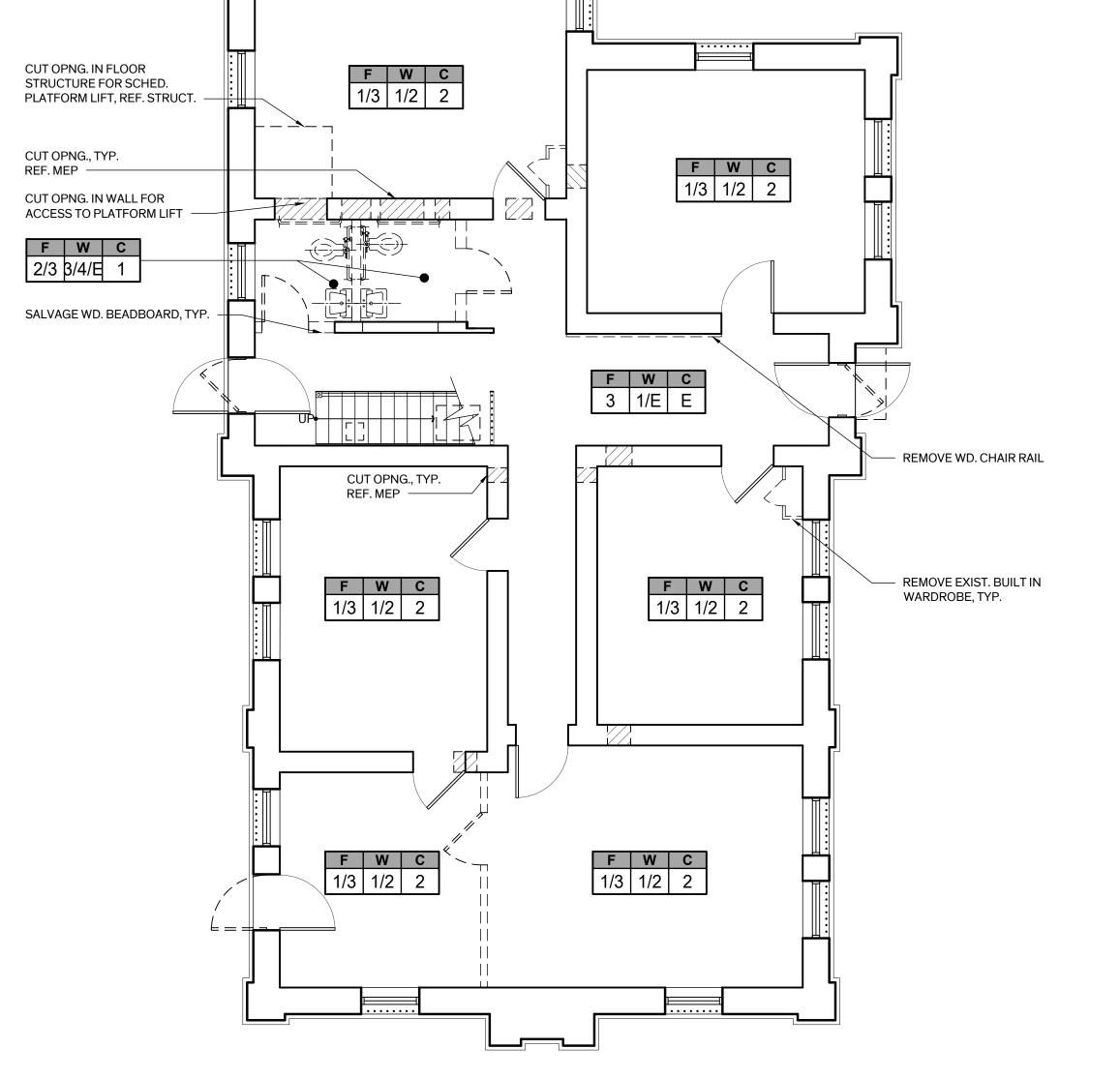
Demo. Enlarged Site Plan

**Sheet Number** 









# First Floor - Demolition Plan



# GENERAL NOTES - DEMO

#### . GENERAL:

A. ITEMS NOT MARKED FOR REUSE ARE TO BE SALVAGED FOR THE OWNER OR ARE TO BE REMOVED FROM THE SITE & PROPERLY DISPOSED OF PER LOCAL CODE. COORDINATE ITEMS TO BE SALVAGED WITH OWNER.

#### 2. PROTECTION:

- A. PRIOR TO THE START OF WORK PROTECT INTERIOR FINISHES & ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION & CONSTRUCTION PROCEDURES. DAMAGE TO EXISTING FINISH SURFACES & ELEMENTS BY THE CONTRACTOR SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- B. PROVIDE PROTECTION FOR FLOOR ASSEMBLIES INCLUDING STAIR TREADS & FINISHES SCHEDULED TO REMAIN ADJACENT TO DEMOLITION ACTIVITY.
- C. REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY, & MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION & CONSTRUCTION DEBRIS AND EQUIPMENT.
- D. WHERE FLOOR ASSEMBLIES ARE SCHEDULED TO BE REMOVED, PROVIDE OSHA COMPLIANT TEMPORARY 2X4 WOOD RAILING AT PERIMETER OF FLOOR OPNG. DO NOT DAMAGE EXIST. FINISHES SCHEDULED TO REMAIN.

#### 3. FLOORS:

A. GENERAL: REMOVE MISC. PIPES, CONDUIT, FASTENERS, ETC. OR CUT DOWN MIN. 1" BELOW FINISH FLOOR SURFACE AS REQUIRED TO PREP. SURFACES FOR SCHEDULED REPAIRS.

#### B. WOOD:

(1) 1ST FLOOR: CAREFULLY REMOVE EXIST. WOOD FLOORING THROUGHOUT TO EXPOSE FLOOR FRAMING & SALVAGE FOR REINSTALLATION, INCLUDING WOOD SHOE MOLD & THRESHOLDS.

(2) 2ND FLOOR: FULLY PROTECT WOOD FLOORING SCHEDULED TO

C. CARPET & RESILIENT TILE: REMOVE UNDERLAYMENT, ADHESIVES & ACCESSORIES INCLUDING CARPET PAD, PLYWOOD DECKING, TACK STRIPS, EDGING STRIPS, ETC..., TO EXPOSE ORIGINAL OR EARLY

#### D. CONCRETE:

WOOD OR CONCRETE FLOORING.

- (1) CONCRETE SCHEDULED TO REMAIN EXPOSED: REMOVE LEVELING COMPOUNDS, PAINT COATINGS, MASTIC, WAXES, ETC...TO EXPOSE UNFINISHED CONCRETE FINISH.
- (2) REMOVE CONCRETE FLOOR ASSEMBLY WHERE INDICATED FOR NEW LIFT, REF. FLOOR PLAN SHEET, A2.01.

- A. REMOVE & DISCARD WALLS & ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS.
- B. PLASTER: REMOVE DAMAGED, DETERIORATED OR DETACHED PLASTER FINISH TO SOUND SUBSTRATE INCLUDING SKIM COAT. REMOVE POOR PRIOR PATCHES & NON-ORIGINAL WALL TEXTURE.
- C. REMOVE & SALVAGE WOOD BEAD BOARD SIDING FOR REUSE.
- D. FIBER BOARD WAINSCOT: CAREFULLY REMOVE WAINSCOT 100% TO LIMIT DAMAGE TO PLASTER FINISH BEHIND.

#### 5. CEILING:

- A. REMOVE & DISCARD GYPSUM BOARD CEILING ASSEMBLY INCLUDING ASSOCIATED SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
- B. REMOVE & DISCARD SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY INCLUDING ASSOCIATED GRID, SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE

#### 5. DOORS:

A. REMOVE & DISCARD NON-ORIGINAL DOORS & ASSOCIATED FRAME, CASINGS, & TRIM WHERE INDICATED U.O.N. REMOVE ALL HARDWARE & SALVAGE FOR OWNER. PLACE HARDWARE SET FOR EACH DOOR IN SEPARATE PLASTIC BAG. PLACE BAGS IN BOX, LABEL, & RETURN TO

#### 6. MEP:

- A. REMOVE EXIST. MEP SYSTEMS ENTIRELY, REF. MEP. (AT CONFIRM WITH ENGINEER WHAT WILL REMAIN)
- (1) MECHANICAL: REMOVE EXIST. MECHANICAL EQUIPMENT, RELATED DEVICES, & DISTRIBUTION LINES.
- (2) ELECTRICAL: REMOVE EXIST. LIGHT FIXTURES, RELATED DEVICES
- & EXPOSED DISTRIBUTION LINES. (3) PLUMBING: REMOVE EXIST. PLUMBING FIXTURES & RELATED
- PLUMBING LINES. (4) FIRE ALARM:
- (5) REMOVE ANY LINES THAT WILL BE ABANDONED RESULTING FROM THE WORK OF THIS CONTRACT.
- B. DEMO & REINFORCE EXIST. CONSTRUCTION FOR INSTALLATION OF MEP SYSTEMS. REF. MEP & STRUCTURAL DWGS.
- C. EXACT LOCATION OF FLOOR & CEILING GRILLES/REGISTERS ARE TO BE MARKED IN-SITU BY THE CONTRACTOR & APPROVED BY THE ARCHITECT PRIOR TO CUTTING OF STRUCTURAL FRAMING & FINISH SURFACES.
- 7. RESTROOMS: REMOVE EXIST. FIXTURES & TOILET ACCESSORIES ENTIRELY
- **8. ROOFING:** REFER TO SHT. A-2.10 FOR EXTENT OF DEMOLITION
- 9. HAZARDOUS MATERIALS ABATEMENT: ABATEMENT CONTRACTOR TO REMOVE ACM MATERIALS, INCLUDING BUT NOT LIMITED TO MASTIC BENEATH RESILIENT TILE FLOORING, PLASTER FINISH AT WALLS, & ROOFING MATERIALS. REFER TO ASBESTOS & LEAD ABATEMENT SPECIFICATIONS IN THE APPENDIX OF THE PROJECT MANUAL FOR FULL DESCRIPTION OF WORK

## **DEMOLITION LEGEND**

---- ELEMENT TO BE REMOVED EXIST. WALLS TO REMAIN WALLS TO BE REMOVED \_ \_ \_ \_ \_ \_ \_ CONCRETE FLOOR SLAB TO BE REMOVED BRICK MASONRY WALL TO BE REMOVED

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Item 3D.



HISTORIC BASTROP **COUNTY JAIL** INTERIOR & EXTERIOR RESTORATION

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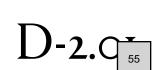
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**Sheet Name** 

Demo. Plans - First & Second Floor

**Sheet Number** 



May 30th, 2023

# E EXIST. TO REMAIN CEILING 1 SUSPENDED ACOUSTIC TILE 2 GYPSUM BOARD E EXIST. TO REMAIN \*MASTIC BENEATH RESILIENT TILE CONTAINS ASBESTOS; REPAIRED AREAS OF PLASTER FINISH CONTAINS ASBESTOS. REF. ABATEMENT SPECIFICATION FOR EXTENT AND PROCEDURES FOR REMOVAL. - EXIST. TIE RODS ABOVE, TYP. REMOVE EXIST. WOOD ACCESS - LINE OF ATTIC ACCESS HATCH - LINE OF EXIST. FLOOR SLAB OPEN TO BELOW ---

MATERIAL DEMO

WALLS

1 PLASTER\*

2 FIBER BOARD WAINSCOT

4 WOOD BEAD BOARD (SALVAGE)

3 GYPSUM BOARD

LEGEND

KEYS

LOORS

1 CARPET

2 RESILIENT TILE\*

3 WOOD (SALVAGE)

E EXIST TO REMAIN





# GENERAL NOTES - DEMO

#### F W C CEILING 1. GENERAL:

WALL

MATERIAL

DEMO KEY

A. ITEMS NOT MARKED FOR REUSE ARE TO BE SALVAGED FOR THE OWNER OR ARE TO BE REMOVED FROM THE SITE & PROPERLY DISPOSED OF PER LOCAL CODE. COORDINATE ITEMS TO BE SALVAGED WITH OWNER.

#### 2. PROTECTION:

- A. PRIOR TO THE START OF WORK PROTECT INTERIOR FINISHES & ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION & CONSTRUCTION PROCEDURES. DAMAGE TO EXISTING FINISH SURFACES & ELEMENTS BY THE CONTRACTOR SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- B. PROVIDE PROTECTION FOR FLOOR ASSEMBLIES INCLUDING STAIR TREADS & FINISHES SCHEDULED TO REMAIN ADJACENT TO DEMOLITION ACTIVITY.
- C. REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY, & MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION & CONSTRUCTION DEBRIS AND EQUIPMENT.
- D. WHERE FLOOR ASSEMBLIES ARE SCHEDULED TO BE REMOVED, PROVIDE OSHA COMPLIANT TEMPORARY 2X4 WOOD RAILING AT PERIMETER OF FLOOR OPNG. DO NOT DAMAGE EXIST. FINISHES SCHEDULED TO REMAIN.

#### 3. FLOORS:

A. GENERAL: REMOVE MISC. PIPES, CONDUIT, FASTENERS, ETC. OR CUT DOWN MIN. 1" BELOW FINISH FLOOR SURFACE AS REQUIRED TO PREP. SURFACES FOR SCHEDULED REPAIRS.

#### B. WOOD:

- (1) 1ST FLOOR: CAREFULLY REMOVE EXIST. WOOD FLOORING THROUGHOUT TO EXPOSE FLOOR FRAMING & SALVAGE FOR
- REINSTALLATION, INCLUDING WOOD SHOE MOLD & THRESHOLDS. (2) 2ND FLOOR: FULLY PROTECT WOOD FLOORING SCHEDULED TO
- C. CARPET & RESILIENT TILE: REMOVE UNDERLAYMENT, ADHESIVES & ACCESSORIES INCLUDING CARPET PAD, PLYWOOD DECKING, TACK STRIPS, EDGING STRIPS, ETC..., TO EXPOSE ORIGINAL OR EARLY WOOD OR CONCRETE FLOORING.

#### D. CONCRETE:

- (1) CONCRETE SCHEDULED TO REMAIN EXPOSED: REMOVE LEVELING COMPOUNDS, PAINT COATINGS, MASTIC, WAXES, ETC...TO EXPOSE UNFINISHED CONCRETE FINISH. (2) REMOVE CONCRETE FLOOR ASSEMBLY WHERE INDICATED FOR
- NEW LIFT, REF. FLOOR PLAN SHEET, A2.01.

- A. REMOVE & DISCARD WALLS & ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS.
- B. PLASTER: REMOVE DAMAGED, DETERIORATED OR DETACHED PLASTER FINISH TO SOUND SUBSTRATE INCLUDING SKIM COAT. REMOVE POOR PRIOR PATCHES & NON-ORIGINAL WALL TEXTURE.
- C. REMOVE & SALVAGE WOOD BEAD BOARD SIDING FOR REUSE.
- D. FIBER BOARD WAINSCOT: CAREFULLY REMOVE WAINSCOT 100% TO LIMIT DAMAGE TO PLASTER FINISH BEHIND.

#### 5. CEILING:

- A. REMOVE & DISCARD GYPSUM BOARD CEILING ASSEMBLY INCLUDING ASSOCIATED SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
- B. REMOVE & DISCARD SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY INCLUDING ASSOCIATED GRID, SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE

#### 5. DOORS:

A. REMOVE & DISCARD NON-ORIGINAL DOORS & ASSOCIATED FRAME, CASINGS, & TRIM WHERE INDICATED U.O.N. REMOVE ALL HARDWARE & SALVAGE FOR OWNER. PLACE HARDWARE SET FOR EACH DOOR IN SEPARATE PLASTIC BAG. PLACE BAGS IN BOX, LABEL, & RETURN TO OWNER.

#### 6. MEP:

- A. REMOVE EXIST. MEP SYSTEMS ENTIRELY, REF. MEP. (AT CONFIRM
- WITH ENGINEER WHAT WILL REMAIN) (1) MECHANICAL: REMOVE EXIST. MECHANICAL EQUIPMENT, RELATED
- DEVICES, & DISTRIBUTION LINES. (2) ELECTRICAL: REMOVE EXIST. LIGHT FIXTURES, RELATED DEVICES,
- & EXPOSED DISTRIBUTION LINES. (3) PLUMBING: REMOVE EXIST. PLUMBING FIXTURES & RELATED
- PLUMBING LINES. (4) FIRE ALARM:
- (5) REMOVE ANY LINES THAT WILL BE ABANDONED RESULTING FROM THE WORK OF THIS CONTRACT.
- B. DEMO & REINFORCE EXIST. CONSTRUCTION FOR INSTALLATION OF MEP SYSTEMS. REF. MEP & STRUCTURAL DWGS.
- C. EXACT LOCATION OF FLOOR & CEILING GRILLES/REGISTERS ARE TO BE MARKED IN-SITU BY THE CONTRACTOR & APPROVED BY THE ARCHITECT PRIOR TO CUTTING OF STRUCTURAL FRAMING & FINISH SURFACES.
- 7. RESTROOMS: REMOVE EXIST. FIXTURES & TOILET ACCESSORIES ENTIRELY
- **8. ROOFING:** REFER TO SHT. A-2.10 FOR EXTENT OF DEMOLITION
- 9. HAZARDOUS MATERIALS ABATEMENT: ABATEMENT CONTRACTOR TO REMOVE ACM MATERIALS, INCLUDING BUT NOT LIMITED TO MASTIC BENEATH RESILIENT TILE FLOORING, PLASTER FINISH AT WALLS, & ROOFING MATERIALS. REFER TO ASBESTOS & LEAD ABATEMENT SPECIFICATIONS IN THE APPENDIX OF THE PROJECT MANUAL FOR FULL DESCRIPTION OF WORK

## **DEMOLITION LEGEND**

---- ELEMENT TO BE REMOVED EXIST. WALLS TO REMAIN WALLS TO BE REMOVED \_ \_ \_ \_ \_ \_ CONCRETE FLOOR SLAB TO BE REMOVED BRICK MASONRY WALL TO BE REMOVED

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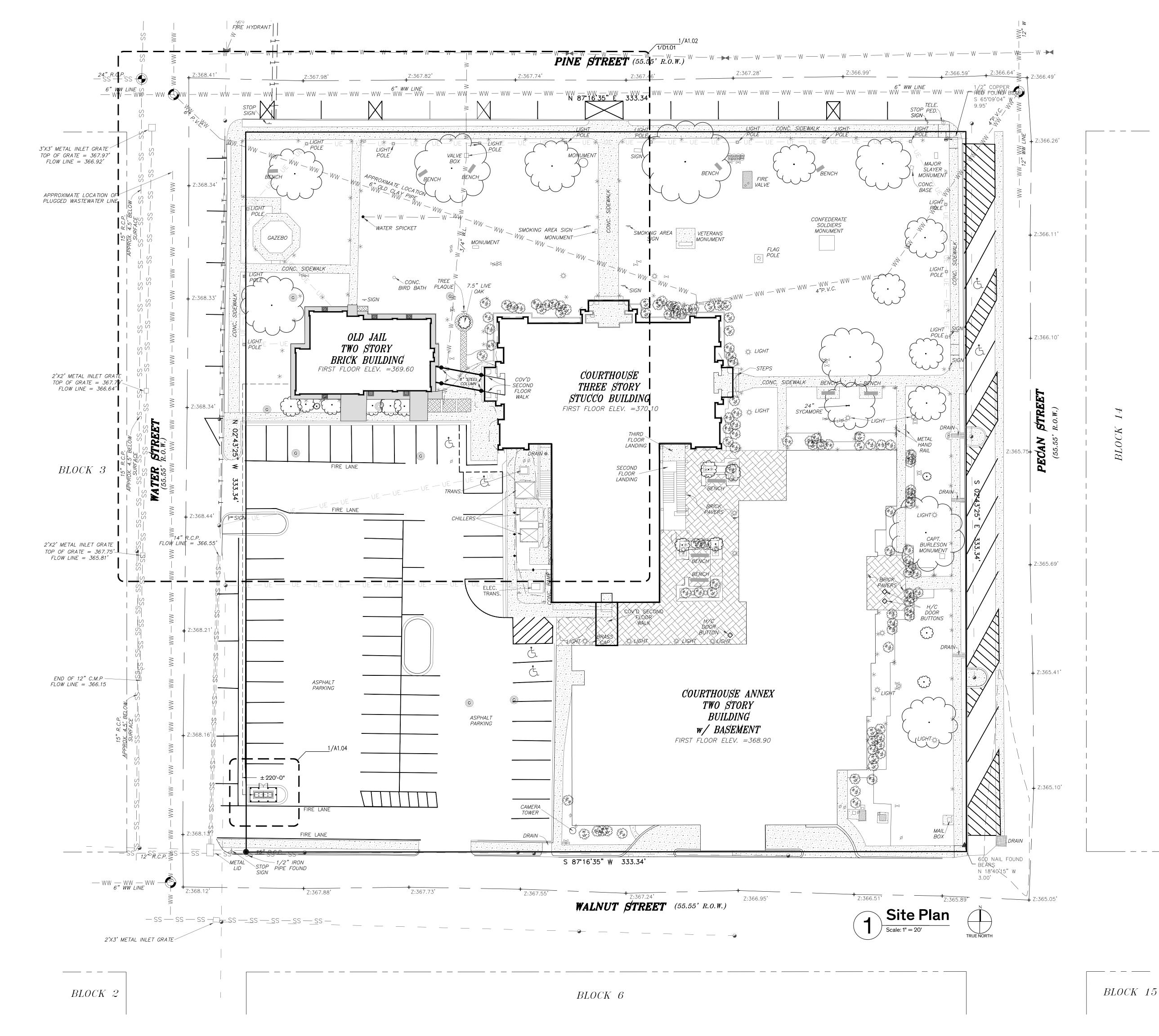
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Demo. Plan - Mezzanine

**Sheet Number** 



May 30th, 2023



# **GENERAL NOTES - SITE PLAN**

#### 1. GENERAL SITE WORK

A. UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER,

ELECTRICAL, & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.

B. REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.

C. INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7

D. REFER TO MEP-1 SITE PLAN IN THE APPENDIX OF THE PROJECT MANUAL FOR ADDITIONAL BELOW GRADE MEP PIPING & GEOTHERMAL DESIGN. PROVIDED FOR REFERENCE ONLY.

2. MONUMENTS, MARKERS: PROVIDE TEMPORARY PROTECTION FOR EXIST. MONUMENTS & RTHL MARKERS DURING CONSTRUCTION ACTIVITIES ON SITE.

3. TREE PROTECTION: PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.

## 4. SITE RESTORATION: C. RESTORE DAMAGE

C. RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...

#### 5. DEMOLITIO

 A. REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
 B. REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.

#### 6. SITE WORK:

- A. PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
- B. PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.C. PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING, SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
- EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.

  E. INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR

D. RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN

E. INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.

#### 6. IRRIGATION:

- A. THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
- B. RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.

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## SITE PLAN LEGEND

EXIST. CONCRETE PAVING

EXIST. BRICK PAVERS



NEW CONCRETE PAVING

PROPERTY LINE

- — DS — — EXIST. SUBGRADE DOWNSPOUT LEADERS

- — T — — EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE

— — — — — EXIST. ELECTRICAL SERVICE

— — — UE— — — EXIST. SUBGRADE ELECTRICAL SERVICE

— — — SS — — — EXIST. STORM SEWER
— — — S — — — EXIST. SANITARY
— — — — WW— — — EXIST. WATER

— — W— — — EXIST. WASTE WATER

— — — G — — — EXIST. GAS

— — — ◇ — — — EXIST. CHAIN LINK FENCE

EXIST. CHAIN LINK FENCE
 EXIST. LAMP POST
 EXIST. STREET LAMP TO REMAIN

Ø EXIST. CLEAN OUT★ EXIST. SPRINKLER

EXIST. POWER POLE

EXIST. MANHOLE FOR GEOTHERMAL SYSTEM

EXIST. AT&T FIBER OPTICS MANHOLE

EXIST. WASTE WATER MANHOLE
EXIST. STORM SEWER MANHOLE

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# **GENERAL NOTES - SITE PLAN**

#### 1. GENERAL SITE WORK

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#### 4. SITE RESTORATION:

C. RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...

#### 5. DEMOLITION:

A. REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.B. REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.

#### 6. SITE WORK:

A. PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.

B. PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.C. PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING, SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.

D. RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.

E. INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.

#### 6. IRRIGATION:

A. THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.

B. RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.



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# SITE PLAN LEGEND

EXIST. CONCRETE PAVING

EXIST. BRICK PAVERS

NEW CONCRETE PAVING

DOWNSPOUT LOCATIONS

PROPERTY LINE

- - DS - - SUBGRADE DOWNSPOUT LEADERS

- — DS — — EXIST. SUBGRADE DOWNSPOUT LEADERS
- — — T — — EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
— — — — — EXIST. ELECTRICAL SERVICE

— — —UE— — — EXIST. SUBGRADE ELECTRICAL SERVICE

— — — \$\$ — — — EXIST. STORM SEWER

— — — \$ — — — EXIST. SANITARY

— — — WW— — — EXIST. WATER

— — — W— — — EXIST. WASTE WATER
— — — G — — EXIST. GAS

- — — ♦ — — EXIST. CHAIN LINK FENCE

© EXIST. LAMP POST

- ♦ EXIST. STREET LAMP TO REMAIN

✓ EXIST. VALVEØ EXIST. CLEAN OUT

EXIST. SPRINKLER

EXIST. POWER POLE

EXIST. MANHOLE FOR GEOTHERMAL SYSTEM

EXIST. WASTE WATER MANHOLE

EXIST. WASTE WATER MANHOLE
EXIST. STORM SEWER MANHOLE
EXIST. AT&T FIBER OPTICS MANHOLE

#### \_\_\_\_

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Sheet Name

Enlarged Site Plan

Sheet Number





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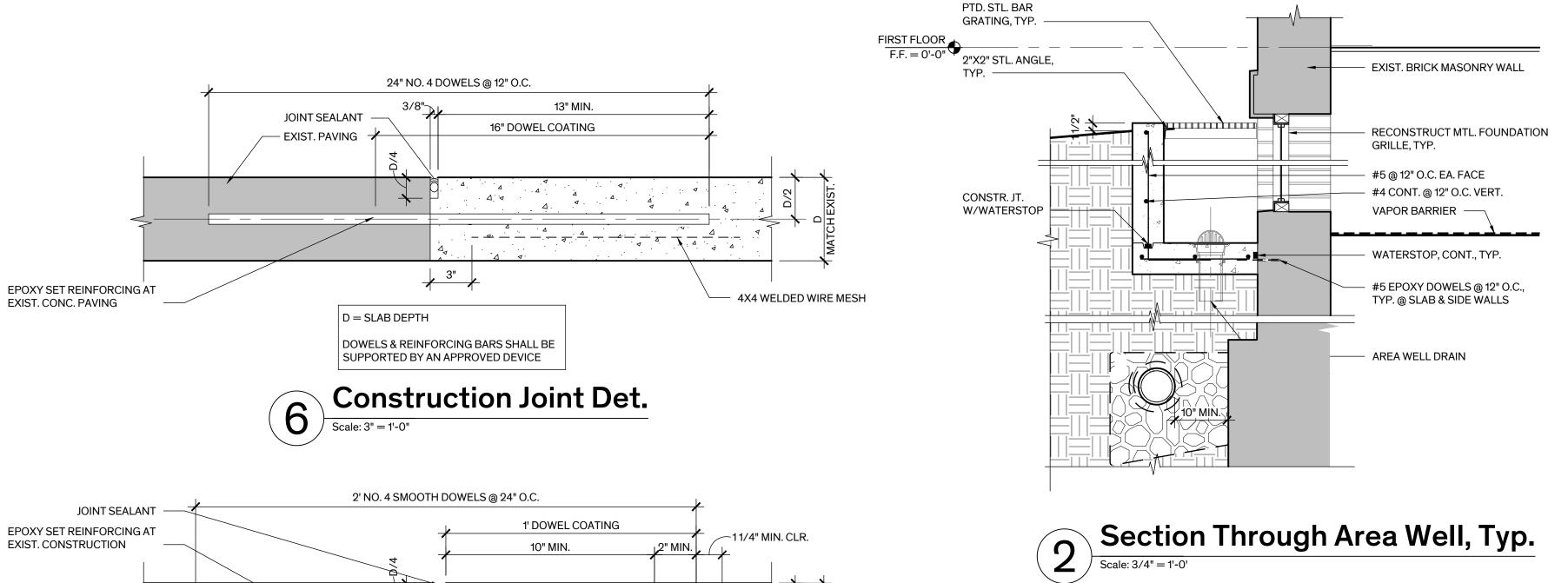
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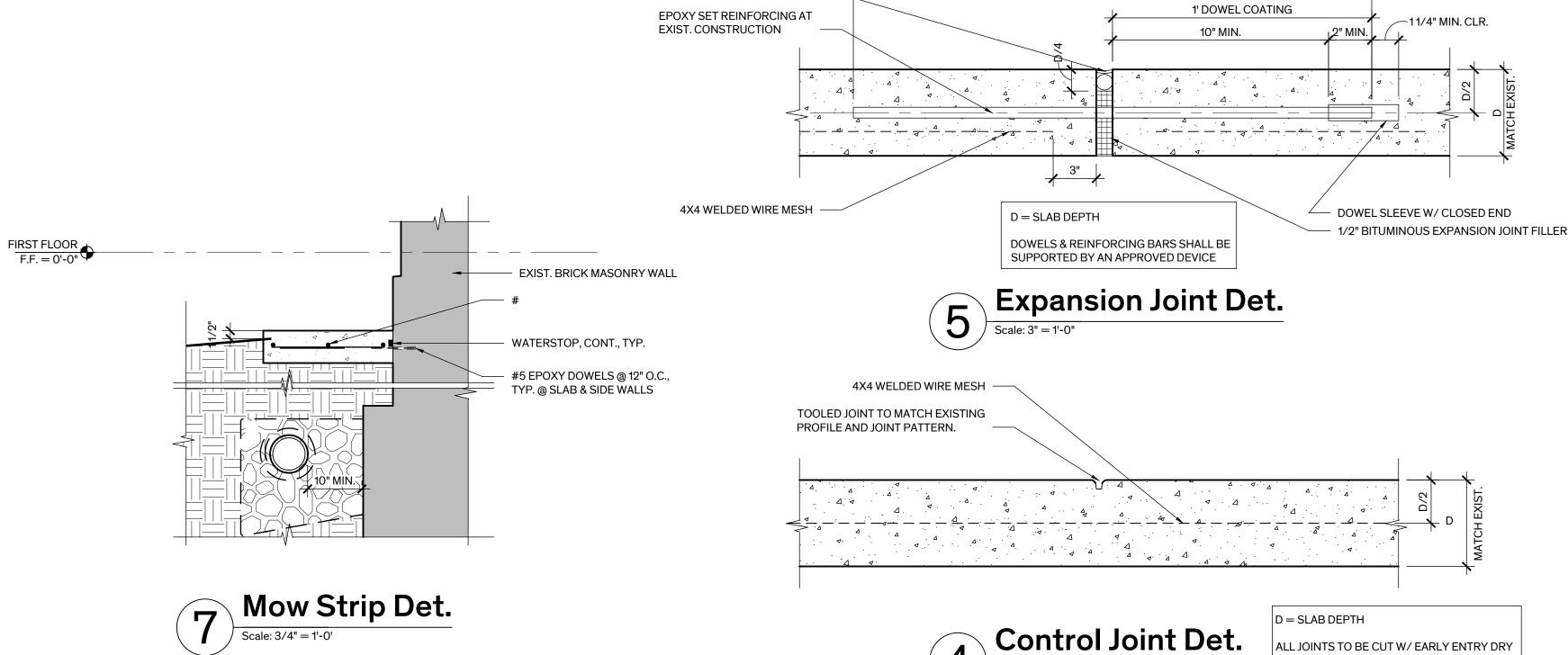
 $\frac{1}{2}$ " SEALANT JOINT EXIST. CONC. PAVING

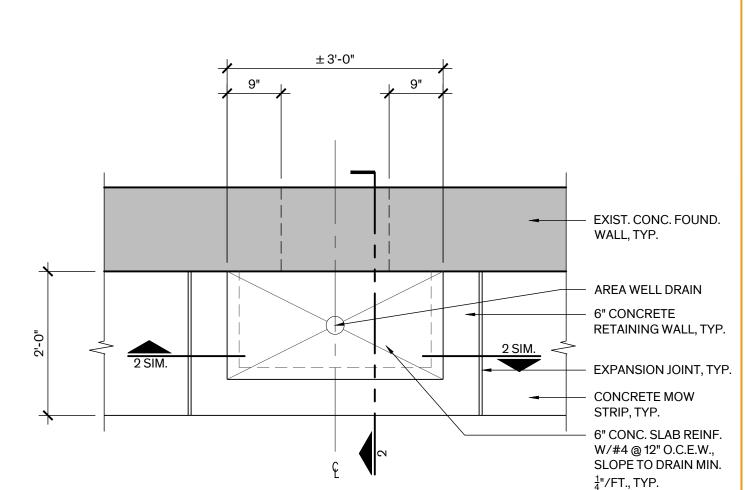
# Section Through North Landing Scale: 11/2" = 1'-0"



CUT SAW. & IMMEDIATELY AFTER INITIAL SET

OF THE CONC. @ JOINT LOCATION.









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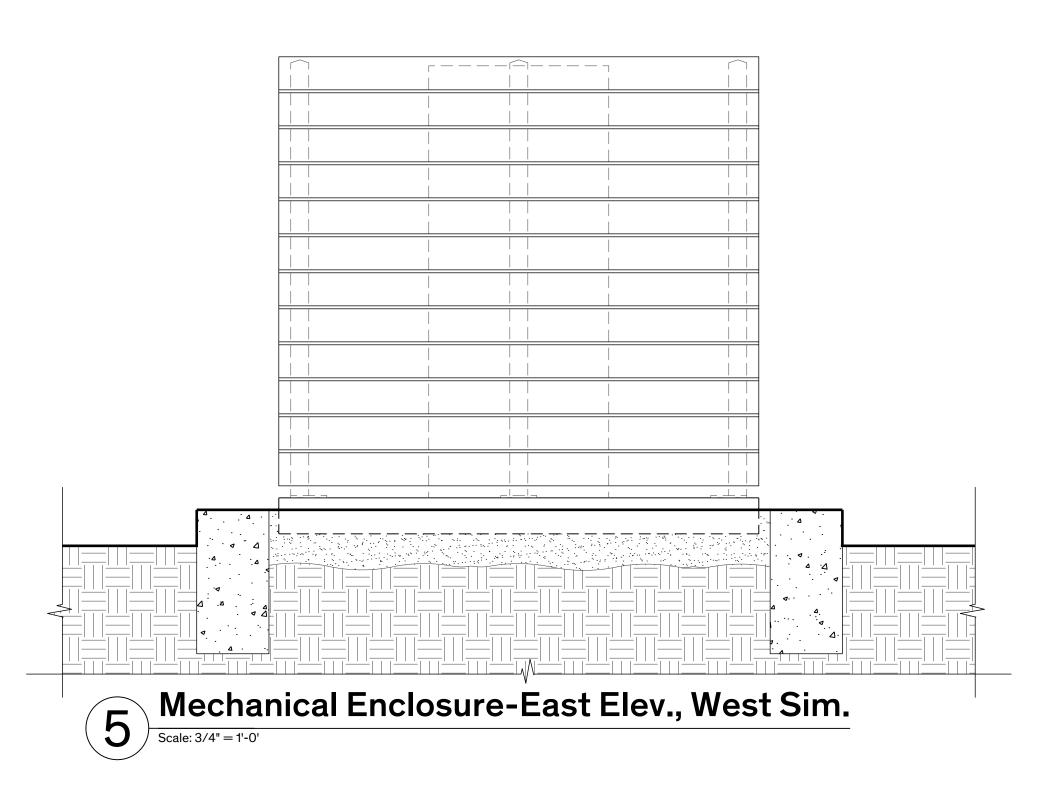
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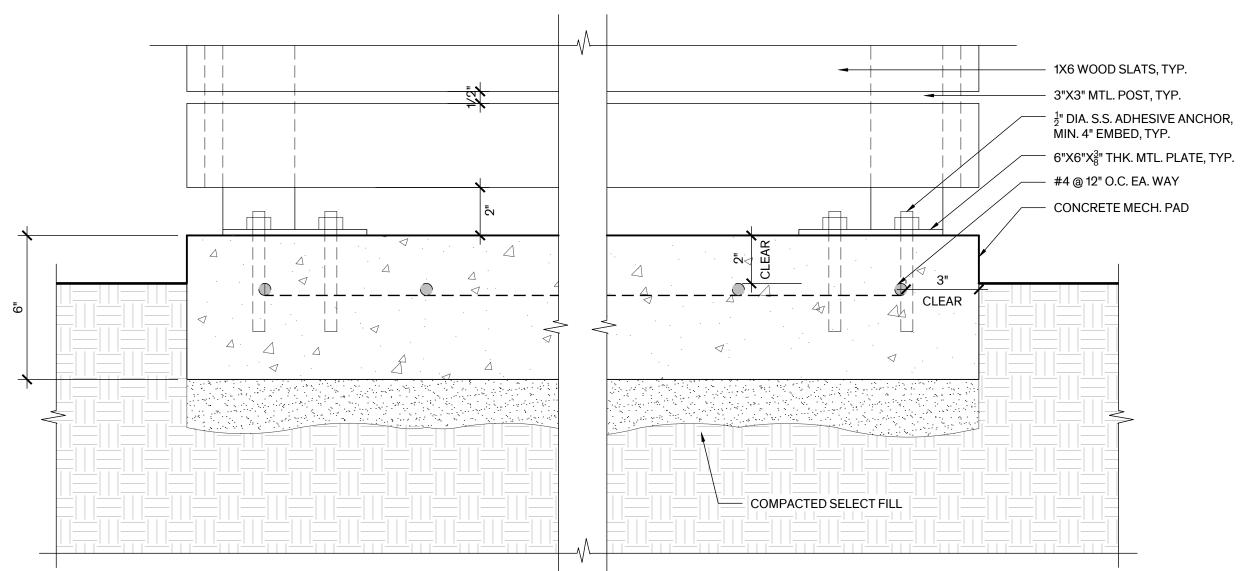
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Site Details

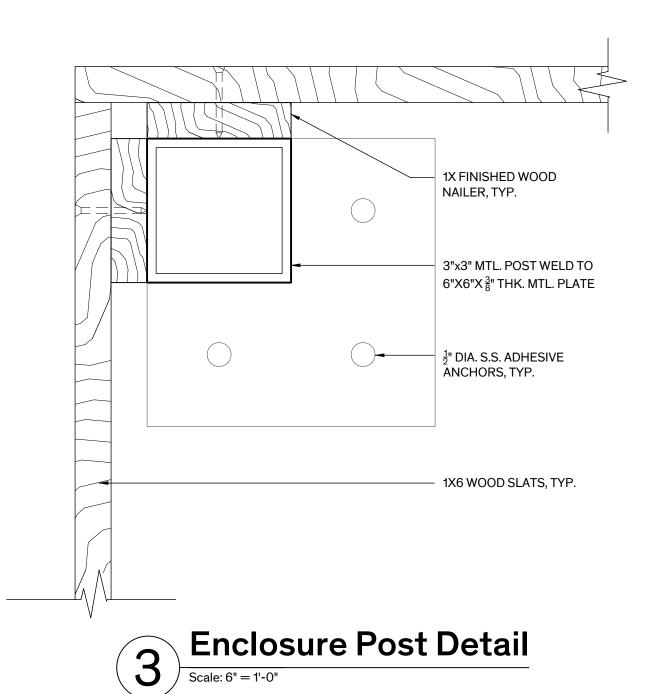
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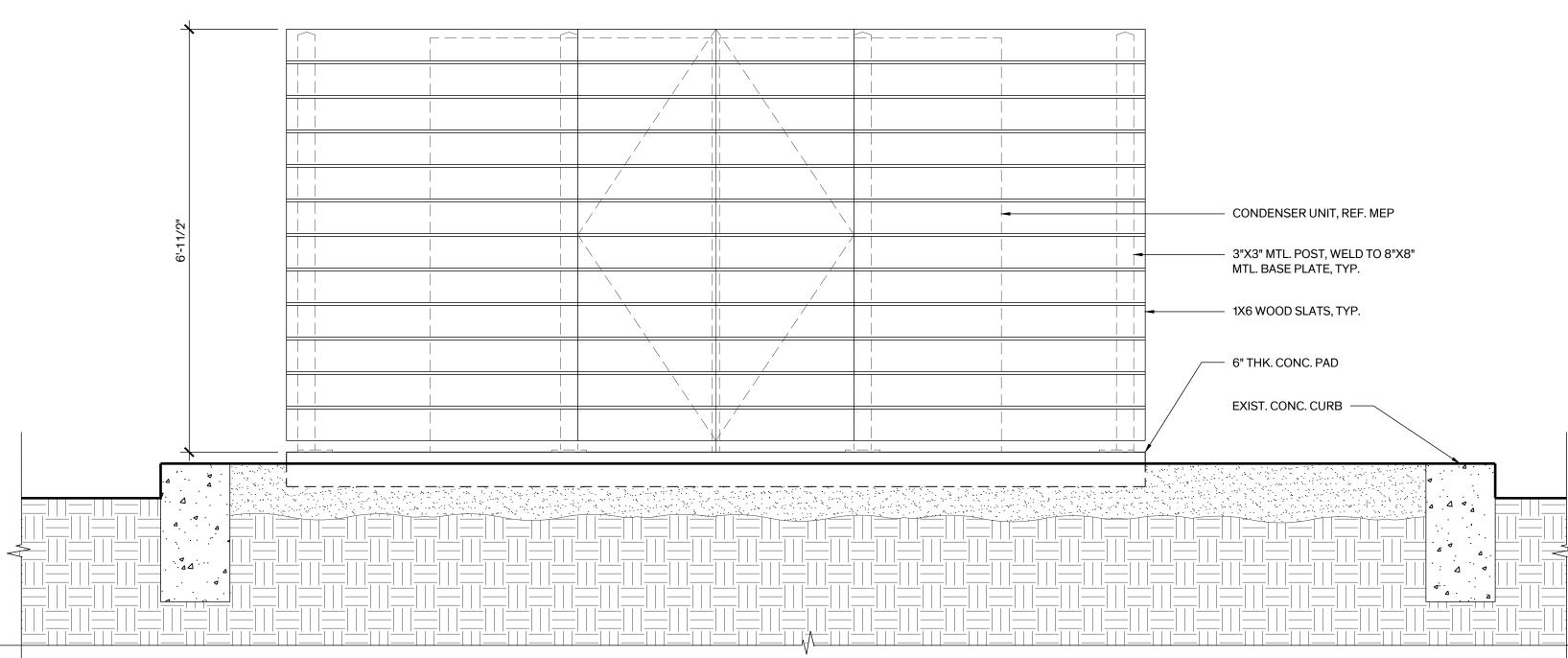
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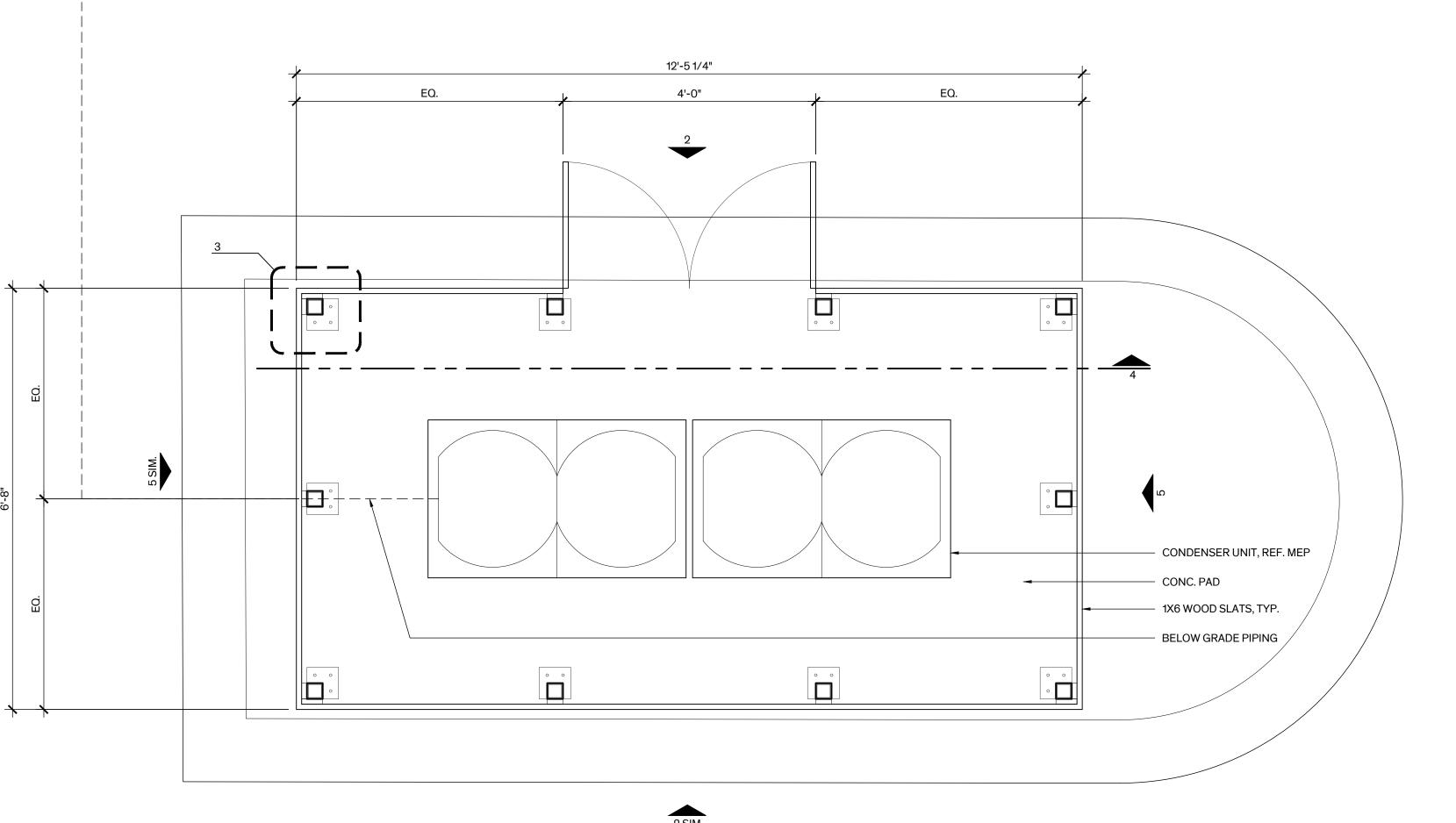






Mechanical Enclosure-North Elev., South Sim.

Scale: 3/4" = 1'-0'



Mechanical Enclosure Plan

| Scale: 3/4" = 1'-0' |



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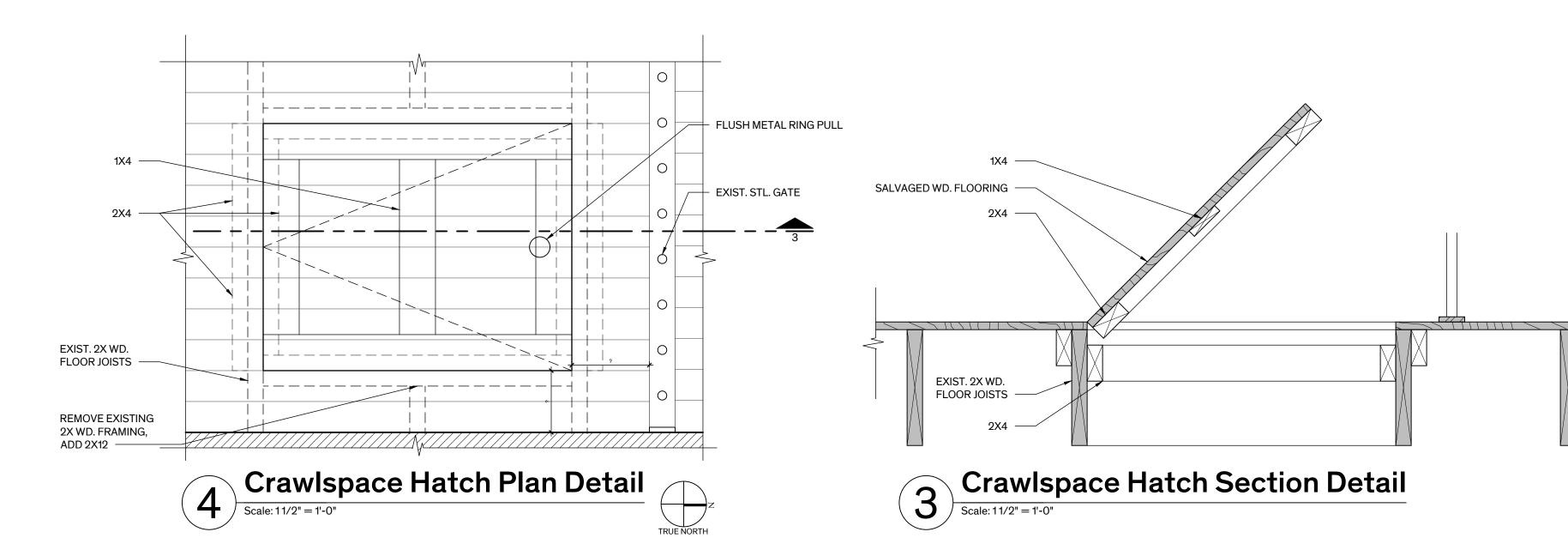
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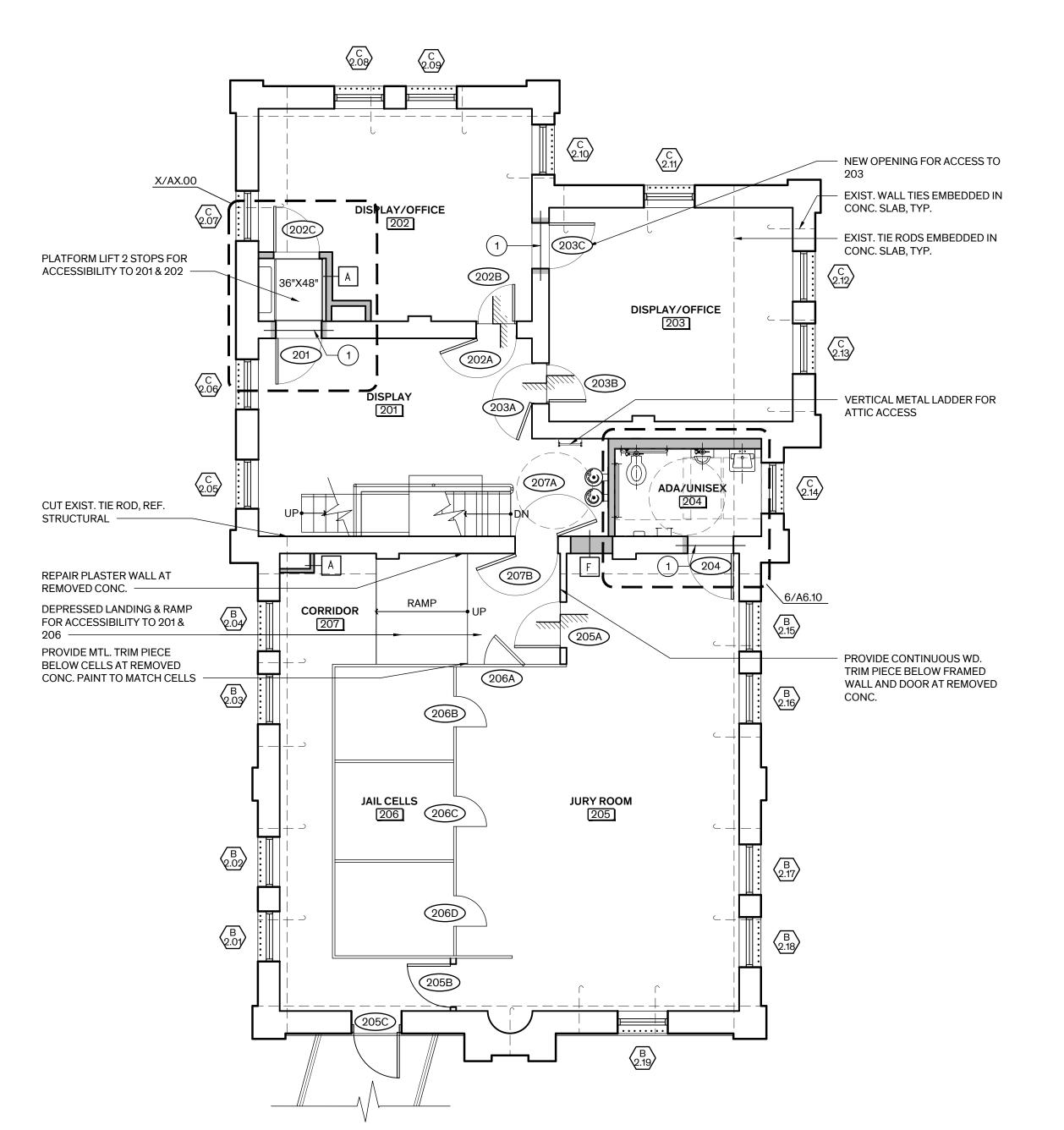
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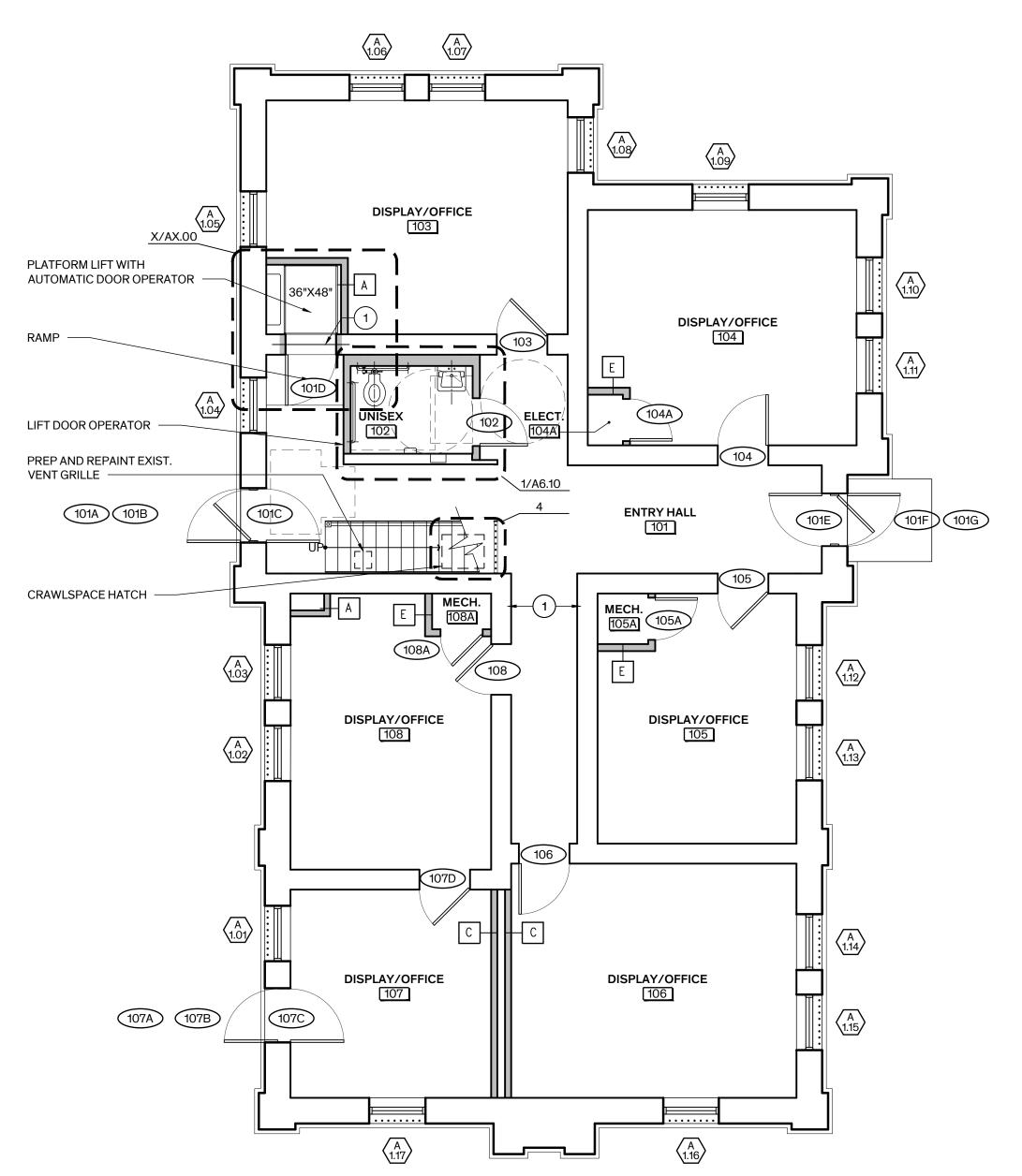
Site Details

Sheet Number

A-1.04











# GENERAL NOTES - PLANS

1. DIMENSIONING AT WALLS: WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.O.N.

#### . MASONRY INFILL:

A. FILL OPENINGS AT ABANDONED MEP PENETRATIONS TO MATCH EXISTING CONSTRUCTION. FINISH WALLS & CEILINGS AS SCHEDULED TO PROVIDE A

SEAMLESS TRANSITION BETWEEN EXISTING & NEW CONSTRUCTION. B. EXISTING CONCRETE FLOOR & CEILING STRUCTURE: REPAIR HOLES THROUGH SLAB

#### MATCH EXIST. CONSTRUCTION/ASSEMBLY. 4. STRUCTURAL STEEL (REFER TO STRUCTURAL):

A. PROVIDE LINTELS AT NEW OR MODIFIED OPENINGS IN BRICK MASONRY WALLS AT SCHEDULED DOOR OPENING OR MEP PENETRATIONS WHERE INDICATED. B. RE-FRAME 2ND FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.

#### 5. ROUGH CARPENTRY (REFER TO STRUCTURAL):

(1) SELECTIVELY REPAIR & REPLACE DETERIORATED FLOOR FRAMING, ASSUME 10% OF TOTAL FLOOR JOISTS REQUIRE REPAIR & 5% ARE BEYOND REPAIR & REQUIRE REPLACEMENT. (2) REPLACE WOOD SILL PLATE 100%, PERIMETER & INTERIOR MASONRY WALLS.

(3) REPLACE FLOOR FRAMING BELOW EXIST. STAIR. (4) RE-FRAME FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT. (1) SELECTIVELY REPLACE DETERIORATED WOOD SILL PLATE, ASSUME 10% OF TOTAL SILL PLATE.

(3) MECHANICALLY FASTEN SILL PLATE TO MASONRY WALLS & PROVIDE HURRICANE TIES AT EACH ROOF RAFTER.

(2) SELECTIVELY REINFORCE ROOF FRAMING AT LONGER SPANS WHERE

#### 6. PARTITIONS:

A. 1ST FLOOR:

A. REFER TO SHT. A-6.01 FOR PARTITION TYPES. B. ALL WALL PARTITIONS SHALL BE TYPE "1" UNLESS OTHERWISE NOTED. C. REPAIR HOLES IN EXIST. PARTITIONS SCHEDULED TO REMAIN. MATCH CONSTRUCTION & FINISH OF EXISTING WALL ASSEMBLY AS REQUIRED TO PROVIDE A SEAMLESS TRANSITION BETWEEN REPAIRED AREAS & ADJACENT

#### 5. MILLWORK:

A. WOOD BASE: REFER TO ROOM FINISH SCHED., SHT. A6.01 FOR SCOPE OF WORK.

A. 1ST FLOOR: RE-SUPPORT & LEVEL ORIGINAL METAL STAIR IN-SITU EXTENDING FROM 1ST TO 2ND FLOOR, REF. STRUCTURAL. PROVIDE METAL HANDRAIL WITH METAL WALL BRACKETS AT WALL SIDE.

B. PROVIDE VERTICAL METAL LADDER FOR ATTIC ACCESS WHERE INDICATED.

7. DOORS: REFER TO DOOR SCHEDULE ON SHT. A-5.01 & DETAILED DOOR INVENTORY IN THE APPENDIX OF THE PROJECT MANUAL FOR SCOPE OF WORK.

B. WINDOWS: REFER TO WINDOW SCHEDULE ON SHT. A-5.10 FOR SCOPE OF WORK. 9. FINISHES: REFER TO ROOM FINISH SCHEDULE & GENERAL FINISH NOTES ON SHT.

A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION 10. FLAT PLASTER WALL & CEILING RESTORATION: REFER TO ROOM FINISH

SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD

11. FLOOR FINISH RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.

12. TOILET ACCESSORIES: REFER TO TOILET ACCESSORIES SCHEDULE ON SHT. A-6.10 13. FIRE EXTINGUISHERS: PROVIDE RECESSED CABINETS & WALL MOUNTED FIRE EXTINGUISHERS WHERE SHOWN.

14. SIGNAGE: PROVIDE ROOM SIGNAGE TO COMPLY WITH TAS, REF. SPEC. SECT. 10425 - SIGNAGE.

KEY NOTES

 $\bowtie$ 

A. REFER TO WALL TYPES SHT. A-6.01 FOR INSULATION IN NEW WALLS. B. ATTIC: PROVIDE THERMAL BATT INSULATION BETWEEN CEILING JOISTS, TYP.

**16. LIFT**: PROVIDE ADA COMPLIANT VERTICAL PLATFORM LIFT WITH CUSTOM METAL ENCLOSURE INCLUDING GATES FOR A COMPLETE SYSTEM. REINFORCE AND PROVIDE BLOCKING IN ADJACENT WALL / PARTITION FOR ATTACHMENT OF TOWER.

PROVIDE LINTEL AT NEW OR MODIFIED OPENING IN BRICK MASONRY WALL FOR

REPAIR HOLE IN WALL AT REMOVED MEP. MATCH EXIST.

REPLACE MISSING, POORLY PATCHED OR DAMAGED

NEW CONCRETE FLOOR ASSEMBLY, REF. STRUCT.

SCHEDULED DOOR OPENING OR MEP PENETRATION

NEW WALL / ELEMENT

PLASTER FINISH

SUPPLY GRILLE

RETURN GRILLE

DRINKING FOUNTAIN

EXIST. WALLS TO REMAIN

WALL CONSTRUCTION & FINISH

WALL MOUNTED FIRE EXTINGUISHER

RECESSED FIRE EXTINGUISHER CABINET

FLOOR PLAN LEGEND

17. MECHANICAL CLOSETS: PROVIDE METAL FRAMED PLATFORMS / FLOOR ASSEMBLIES CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS FOR FAN COIL UNITS



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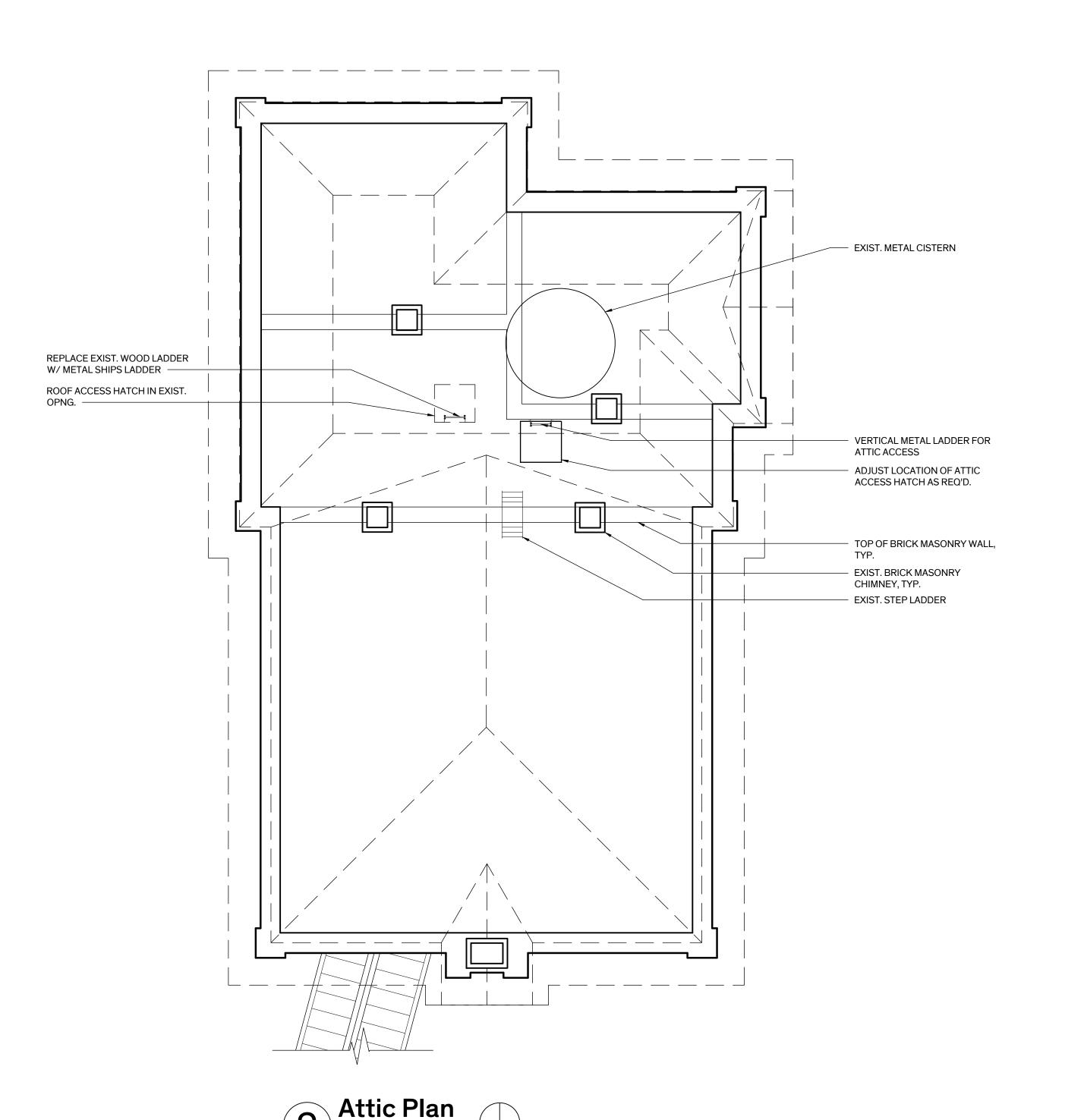
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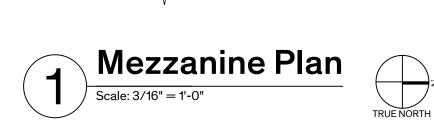
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First & Second Floor Plans

**Sheet Number** 

May 30th, 2023





301

(D) 3.04)

# GENERAL NOTES - PLANS

1. **DIMENSIONING AT WALLS**: WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.O.N.

## 2. MASONRY INFILL:

A. FILL OPENINGS AT ABANDONED MEP PENETRATIONS TO MATCH EXISTING CONSTRUCTION. FINISH WALLS & CEILINGS AS SCHEDULED TO PROVIDE A SEAMLESS TRANSITION BETWEEN EXISTING & NEW CONSTRUCTION.

3. EXISTING CONCRETE FLOOR & CEILING STRUCTURE: REPAIR HOLES THROUGH SLAB MATCH EXIST. CONSTRUCTION/ASSEMBLY.

#### 4. STRUCTURAL STEEL (REFER TO STRUCTURAL):

A. PROVIDE LINTELS AT NEW OR MODIFIED OPENINGS IN BRICK MASONRY WALLS AT SCHEDULED DOOR OPENING OR MEP PENETRATIONS WHERE INDICATED. B. RE-FRAME 2ND FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.

#### 5. ROUGH CARPENTRY (REFER TO STRUCTURAL): A. 1ST FLOOR:

(3) REPLACE FLOOR FRAMING BELOW EXIST. STAIR.

(1) SELECTIVELY REPAIR & REPLACE DETERIORATED FLOOR FRAMING, ASSUME 10% OF TOTAL FLOOR JOISTS REQUIRE REPAIR & 5% ARE BEYOND REPAIR & REQUIRE REPLACEMENT. (2) REPLACE WOOD SILL PLATE 100%, PERIMETER & INTERIOR MASONRY WALLS.

(4) RE-FRAME FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT. (1) SELECTIVELY REPLACE DETERIORATED WOOD SILL PLATE, ASSUME 10% OF TOTAL SILL PLATE.

(2) SELECTIVELY REINFORCE ROOF FRAMING AT LONGER SPANS WHERE

(3) MECHANICALLY FASTEN SILL PLATE TO MASONRY WALLS & PROVIDE HURRICANE TIES AT EACH ROOF RAFTER.

#### 6. PARTITIONS:

A. REFER TO SHT. A-6.01 FOR PARTITION TYPES. B. ALL WALL PARTITIONS SHALL BE TYPE "1" UNLESS OTHERWISE NOTED. C. REPAIR HOLES IN EXIST. PARTITIONS SCHEDULED TO REMAIN. MATCH CONSTRUCTION & FINISH OF EXISTING WALL ASSEMBLY AS REQUIRED TO PROVIDE A SEAMLESS TRANSITION BETWEEN REPAIRED AREAS & ADJACENT

#### 5. MILLWORK:

A. WOOD BASE: REFER TO ROOM FINISH SCHED., SHT. A6.01 FOR SCOPE OF WORK.

A. 1ST FLOOR: RE-SUPPORT & LEVEL ORIGINAL METAL STAIR IN-SITU EXTENDING FROM 1ST TO 2ND FLOOR, REF. STRUCTURAL. PROVIDE METAL HANDRAIL WITH METAL WALL BRACKETS AT WALL SIDE.

B. PROVIDE VERTICAL METAL LADDER FOR ATTIC ACCESS WHERE INDICATED.

7. DOORS: REFER TO DOOR SCHEDULE ON SHT. A-5.01 & DETAILED DOOR INVENTORY IN THE APPENDIX OF THE PROJECT MANUAL FOR SCOPE OF WORK.

8. WINDOWS: REFER TO WINDOW SCHEDULE ON SHT. A-5.10 FOR SCOPE OF WORK.

9. FINISHES: REFER TO ROOM FINISH SCHEDULE & GENERAL FINISH NOTES ON SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION

10. FLAT PLASTER WALL & CEILING RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION

11. FLOOR FINISH RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.

12. TOILET ACCESSORIES: REFER TO TOILET ACCESSORIES SCHEDULE ON SHT. A-6.10 13. FIRE EXTINGUISHERS: PROVIDE RECESSED CABINETS & WALL MOUNTED FIRE EXTINGUISHERS WHERE SHOWN.

**14. SIGNAGE**: PROVIDE ROOM SIGNAGE TO COMPLY WITH TAS, REF. SPEC. SECT. 10425 - SIGNAGE.

- EXIST. TIE RODS ABOVE, TYP.

VERTICAL METAL LADDER FOR

ADJUST LOCATION OF ATTIC

ACCESS HATCH AS REQ'D.

ATTIC ACCESS

302

A. REFER TO WALL TYPES SHT. A-6.01 FOR INSULATION IN NEW WALLS. B. ATTIC: PROVIDE THERMAL BATT INSULATION BETWEEN CEILING JOISTS, TYP.

**16. LIFT:** PROVIDE ADA COMPLIANT VERTICAL PLATFORM LIFT WITH CUSTOM METAL ENCLOSURE INCLUDING GATES FOR A COMPLETE SYSTEM. REINFORCE AND PROVIDE BLOCKING IN ADJACENT WALL / PARTITION FOR ATTACHMENT OF TOWER.

17. MECHANICAL CLOSETS: PROVIDE METAL FRAMED PLATFORMS / FLOOR ASSEMBLIES CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS FOR FAN COIL UNITS

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## HISTORIC BASTROP **COUNTY JAIL INTERIOR & EXTERIOR** RESTORATION

801 Pine Street Bastrop, TX

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#### **REVISION HISTORY**

SD Submission 14 February 2023

DD Submission 4 April 2023 3. 95% CD Submission 30 May 2023

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SEAL

**Sheet Name** 

Mezzanine and Attic Plans

**Sheet Number** 

May 30th, 2023

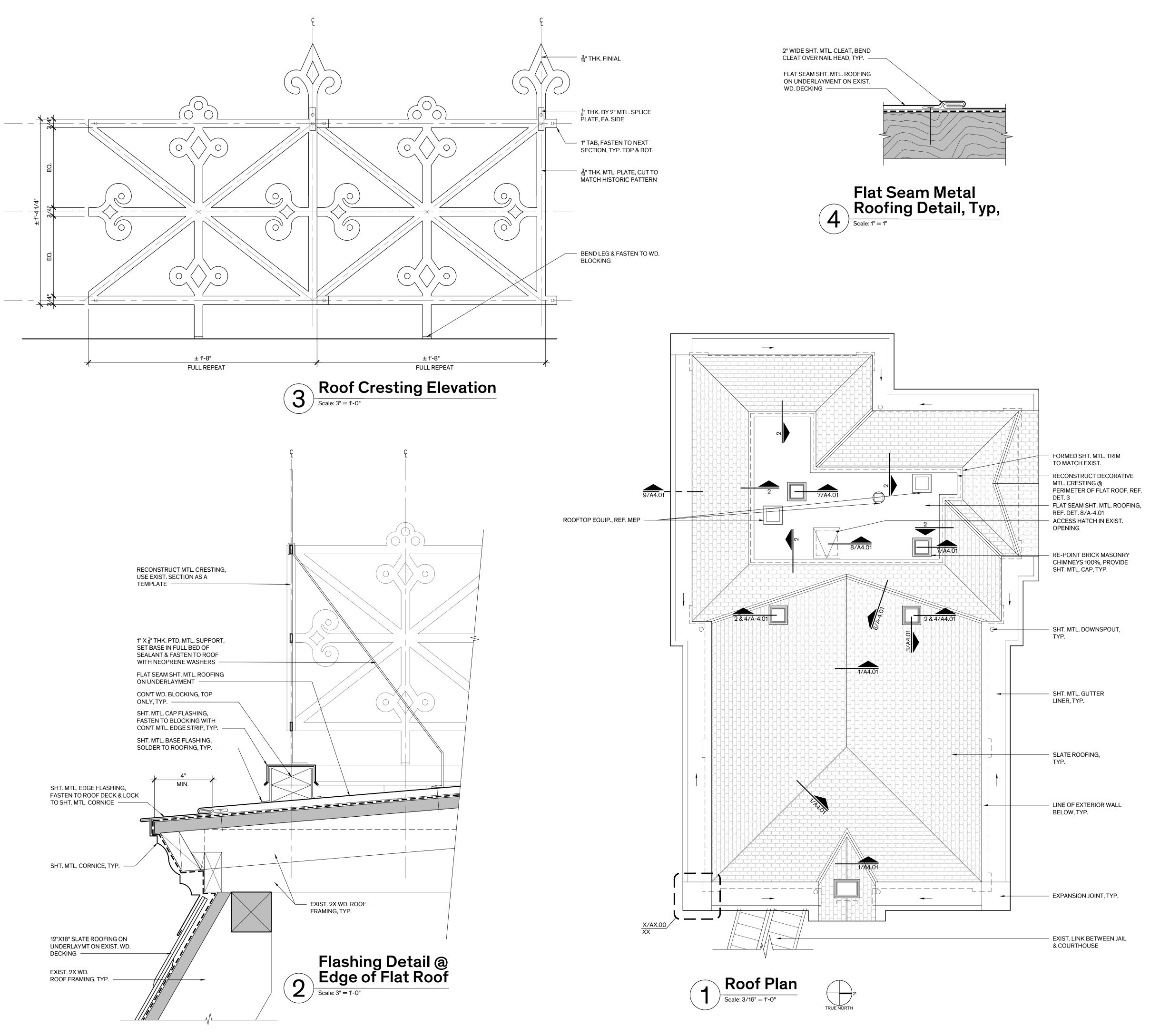


PROVIDE LINTEL AT NEW OR MODIFIED OPENING IN BRICK MASONRY WALL FOR SCHEDULED DOOR OPENING OR MEP PENETRATION

# FLOOR PLAN LEGEND

NEW WALL / ELEMENT

<u> </u>	EXIST. WALLS TO REMAIN
	REPAIR HOLE IN WALL AT REMOVED MEP. MATCH EXIST. WALL CONSTRUCTION & FINISH
	REPLACE MISSING, POORLY PATCHED OR DAMAGED PLASTER FINISH
	NEW CONCRETE FLOOR ASSEMBLY, REF. STRUCT.
$\bowtie$	SUPPLY GRILLE
	RETURN GRILLE
FX P	WALL MOUNTED FIRE EXTINGUISHER
FT FE	RECESSED FIRE EXTINGUISHER CABINET
	DRINKING FOUNTAIN



# **GENERAL NOTES-ROOF PLAN**

#### A. DEMOLITION:

1. REMOVED EXIST. SHEET METAL ROOFING TO EXPOSE WOOD SUBSTRATE INCLUDING UNDERLAYMENT, FLAT SEAM & STANDING SEAM ROOFING, GUTTER LINER, & ASSOCIATED FLASHING ELEMENTS.

2. REMOVE EXIST. ACCESS HATCH AT FLAT ROOF. 3. REMOVE EXIST. SHT. MTL. DOWNSPOUTS, SALVAGE DOWNSPOUT STRAPS

IN GOOD CONDITION FOR REUSE.

#### **B. ROOFING:** 1. PROVIDE SLATE ROOFING AT SLOPED MANSARD ROOF & HIPPED ROOFS

INCLUDING UNDERLAYMENT & SHEET METAL FLASHING ELEMENTS AS REQ'D FOR A COMPLETE SYSTEM.

2. PROVIDE FLAT SEAM SHEET METAL ROOFING AT FLAT AREAS OF MANSARD ROOF INCLUDING UNDERLAYMENT & SHEET METAL FLASHING ELEMENTS AS REQ'S FOR A COMPLETE SYSTEM.

3. PROVIDE SHEET METAL GUTTER LINER AT PERIMETER OF ROOF INCLUDING UNDERLAYMENT. MODIFY SUBSTRATE AS REQ'D FOR PROPER SLOPE TO DOWNSPOUT LOCATIONS. CONNECT LINER TO SHEET METAL CORNICE SCHEDULED TO REMAIN. ISOLATE DISSIMILAR METALS AS REQ'D TO PREVENT GALVANIC CORROSION.

4. REPAIR & OR REPLACE DAMAGED AREAS OF WOOD SUBSTRATE AT ROOF & CORNICE GUTTER, MATCH EXIST. TYPE & THICKNESS. ASSUME 5% OF TOTAL ROOF/GUTTER AREA SHALL BE REPLACED.

5. REPLACE ROOF ACCESS HATCH IN EXIST. OPENING. C. CRESTING: PROVIDE DECORATIVE ORNAMENTAL METAL CRESTING AT PERIMETER OF FLAT MANSARD ROOF INCLUDING METAL TIE BACKS, WOOD

BLOCKING, & ASSOCIATED FLASHING AS REQ'D FOR COMPLETE SYSTEM.

#### D. CHIMNEYS:

1. REPOINT CHIMNEYS 100%

- 2. PROVIDE SHEET METAL CRICKETS WHERE REQ'D BY CODE 3. PROVIDE SHEET METAL BASE & COUNTER FLASHING AT ROOF
- PENETRATION 4. PROVIDE SHEET METAL CAP AT ALL CHIMNEYS.

E. LIGHTNING PROTECTION SYSTEM: RESTORE & UPGRADE EXIST. LIGHTNING PROTECTION SYSTEM TO COMPLY WITH CURRENT CODES, REF. MEP.



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## **ALTERNATES**

**LEGEND** 

REFER TO SPEC. SECTION 01230 - ALTERNATES FOR DETAILED DESCRIPTION

EXIST. CONSTRUCTION

ALTERNATE NO. 1: DELETE ROOFING WORK, INCLUDE THE FOLLOWING, SLATE ROOFING, FLAT SEAM SHEET METAL ROOFING, SHEET METAL GUTTER LINER, FLASHINGS & SHEET METAL TRIM ASSOCIATED WITH ROOFING, SHEET METAL CHIMNEY CAPS, DOWNSPOUTS, RECONSTRUCTION OF ROOF CRESTING, ROOF HATCH, & LIGHTNING PROTECTION.

**ALTERNATE NO. 2: ROOFING MATERIAL OPTIONS:** 2A: IN LIEU OF SLATE ROOFING PROVIDE TERNE COATED COPPER STANDING

2B: IN LIEU OF SLATE ROOFING PROVIDE GALVANIZED SHEET STEEL

STANDING SEAM ROOFING.

CENTENNIAL SLATE BY CERTAINTEED OR APPROVED EQUAL.

2C: IN LIEU OF SLATE ROOFING PROVIDE SYNTHETIC SLATE ROOFING,

2251

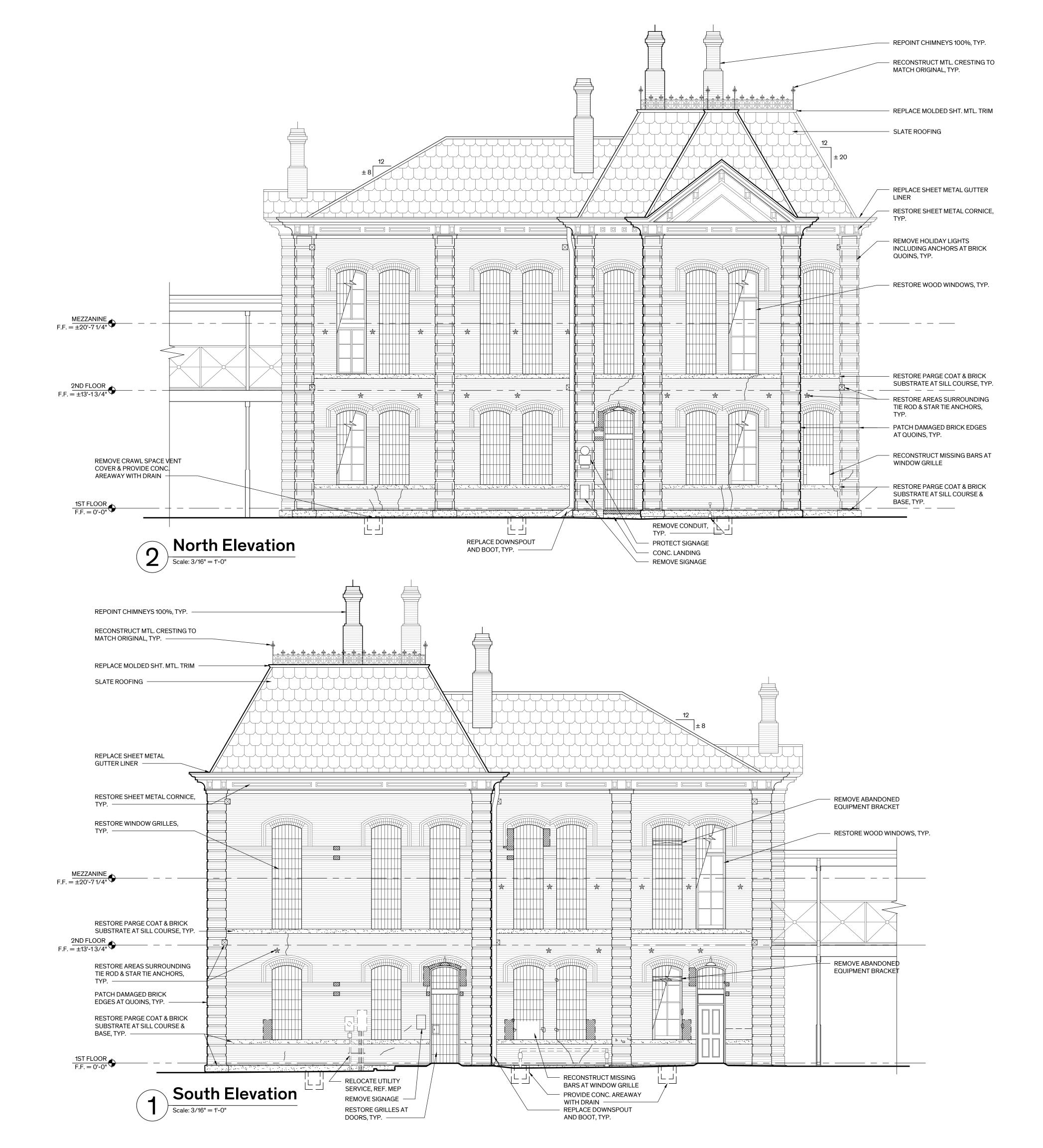
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May 30th, 2023



# **GENERAL NOTES - EXIST.** ELEV.

. MASONRY CLEANING: A. PRIOR TO CLEANING OF EXTERIOR, CLEAN & REMOVE DEBRIS (DIRT, BIRD DROPPING, ETC...) FROM EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO, PARGED MASONRY, BRICK MASONRY, & CONCRETE STEPS AT ENTRY DOORS SCHEDULED TO REMAIN.

B. CLEAN BRICK MASONRY, PARGE COAT, & CONCRETE STEPS 100%.

. MASONRY RESTORATION: SELECTIVELY REPAIR BRICK MASONRY WHERE INDICATED, SEE BELOW FOR DESCRIPTION OF WORK.

- A. BRICK REPLACEMENT: CAREFULLY REMOVE CRACKED, DAMAGED, OR MISMATCHING BRICK UNIT(S) & REPLACE WITH NEW OR SALVAGED UNIT(S) TO MATCH EXIST. IN SIZE, COLOR, & SURFACE TEXTURE/FINISH. DO NOT DAMAGE ADJACENT UNITS. TOOTH-IN REPLACEMENT UNITS TO MATCH ADJACENT JOINTING & BONDING PATTERN. SET UNITS IN FULL SETTING BED & REPOINT WITH APPROVED MORTAR. CRACKED OR DAMAGED UNITS WITHIN THE HEADER COURSES ARE TO REMAIN UNLESS THEY OCCUR AT
- B. SELECTIVE BRICK REPLACEMENT: REPLACE BRICK UNITS WITH MAJOR SURFACE SPALLING OR FAILING & OR INCOMPATIBLE PATCHING MATERIAL MORE THAN 25% OF FACE SURFACE AREA MISSING, ALLOW REPLACEMENT OF 50 UNITS.
- C. PARGING RESTORATION: RESTORE PARGE COAT 100% AT BASE & FIRST & SECOND FLOOR SILL COURSES. REMOVE LOOSE & OR UNSOUND CEMENT PARGING FROM BRICK SUBSTRATE. RESET OR REPLACE LOOSE, MISSING OR DAMAGED BRICK SUBSTRATE. REPOINT CRACKED, DAMAGED, OR OPEN JOINTS. TOOL BRICK SUBSTRATE FOR PROPER KEY & RESTORE PARGE COAT AS SPECIFIED TO MATCH ORIGINAL PROFILE AND FINISH.
- D. PATCH DAMAGED EDGES OF BRICK UNITS AT BRICK QUOINS, TYPICAL AT LOWER OUTSIDE CORNERS. PATCH AREAS OF DAMAGE LARGER THAN 1", ASSUME 50 LOCATIONS.
- E. RESTORE AREAS SURROUNDING TIE ROD & STAR TIE ANCHORS. REMOVE PREVIOUS INCOMPATIBLE PATCHING MATERIAL & REPLACE WITH APPROVED PATCHING MORTAR TO MATCH ADJACENT BRICK. REPLACE ANY BRICK UNITS WITH MAJOR SURFACE SPALLING, MORE THAN 25% OF SURFACE AREA MISSING.
- . MASONRY MORTAR JOINTS: REPOINT BRICK MASONRY JOINTS 100%, INCLUDE CHIMNEYS, & EXPOSED BRICK MASONRY WALLS (PERIMETER & INTERIOR) WITHIN THE CRAWL SPACE.
- . REMOVAL OF FASTENERS: REMOVE MISCELLANEOUS ABANDONED FASTENERS, BOLTS, CLAMPS, MECHANICAL EQUIPMENT BRACKETS, & HOLIDAY LIGHTING, ETC... ON THE EXTERIOR OF THE BUILDING THAT ARE ATTACHED OR EMBEDDED IN EXISTING MATERIALS & ARE NOT BEING USED TO FASTEN ELEMENTS TO REMAIN. PATCH HOLES AT REMOVED FASTENERS OR BRACKETS TO MATCH ADJACENT SURFACES. PROVIDE BRICK PATCH REPAIR OR REPLACE BRICK WHERE DAMAGE EXTENDS BEYOND FASTENER

#### DOWNSPOUTS:

- A. REPLACE SHEET METAL DOWNSPOUTS 100%. PROVIDE BOOTS & CONNECT TO SUBSURFACE DRAINAGE SYSTEM. REVIEW LOCATIONS WITH ROOF DRAINAGE PLAN. MASONRY DETERIORATION PATTERNS SUGGEST DOWNSPOUTS HAVE BEEN RELOCATED FROM HISTORIC POSITION.
- B. PROVIDE OR REUSE SALVAGED DOWNSPOUT STRAPS, MATCH EXIST. TWO-PIECE TYPE. FASTEN STRAPS TO MASONRY AT JOINTS. DO NOT ANCHOR INTO BRICK UNITS.
- i. ORNAMENTAL SHEET METAL: RESTORE EXISTING SHEET METAL CORNICE. A. RE-SET LOOSE OR RAISED FASTENERS. REPLACE MISSING OR
- NON-COMPATIBLE FASTENERS WITH STAINLESS STEEL FASTENERS. B. REPAIR SMALL FASTENER HOLES WITH SEALANT. REPAIR LARGER HOLES
- (MAX. 3-INCHES) WITH SHEET METAL PATCH REPAIR. C. ADJUST SHEET METAL INTO ITS ORIGINAL POSITION WHERE MISALIGNED. SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLODGED. RE-SECURE SHEET METAL WHERE NECESSARY.
- D. CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.
- E. REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- . ROOF: REFER TO SHT. D2.10 & A2.10 FOR EXTENT OF ROOFING WORK.

#### B. DOOR & WINDOW GRILLES & GATES:

- A. RESTORE METAL DOOR GATES & TRANSOM GRILLES 100%, REFER TO SHT A5.01 FOR EXTENT OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
- B. RESTORE METAL WINDOW GRILLES 100%. REFER TO SHT. A5.10 FOR EXTENT OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD
- C. REPLACE DAMAGED, CRACKED, OR MISSING BRICK, & RESET DISPLACED BRICK ADJACENT TO EMBEDDED PLATES. NOTCH REPLACEMENT BRICK AS REQ'D TO ACCOMMODATE EMBEDDED PLATE DIMENSION.

#### . DOORS & WINDOWS:

A. REFER DOOR SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE

DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.

- B. RESTORE WOOD WINDOWS 100%, REFER TO WINDOW SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
- 0. CRAWL SPACE VENTS & COVERS: REMOVE METAL VENT COVERS & PROVIDE CONCRETE AREAWAYS WITHIN PERIMETER CONCRETE MOW STRIP WITH METAL GRATE COVERING. ADD AREAWAYS AT SOUTH ELEVATION FOR CROSS VENTILATION. COORDINATE LOCATIONS WITH MEP.
- 1. SEALANT: PROVIDE/ REPLACE SEALANT AT PERIMETER OF DOOR & WINDOW OPENINGS, PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS INDICATED.

#### 12.PAINTING:

- A. WOOD WINDOW ASSEMBLIES
- B. METAL DOOR ASSEMBLIES
- C. METAL DOOR & WINDOW GRILLE & GATE ASSEMBLIES INCLUDING TRANSOMS
- D. CEMENT PARGE COAT
- E. SHEET METAL WHERE EXPOSED TO VIEW
- F. TIE RODS & TIE ROD ANCHOR PLATES

A. REMOVE EXIST. MEP EQUIPMENT & DISTRIBUTION SYSTEMS ATTACHED TO THE EXTERIOR OF THE BUILDING UNLESS OTHERWISE NOTED, REF. MEP.

## **LEGEND**

BRICK REPLACEMENT RESTORE PARGE COAT & BRICK SUBSTRATE

REPAIR CRACK

---- HOLIDAY LIGHTS & ANCHORS TO BE REMOVED

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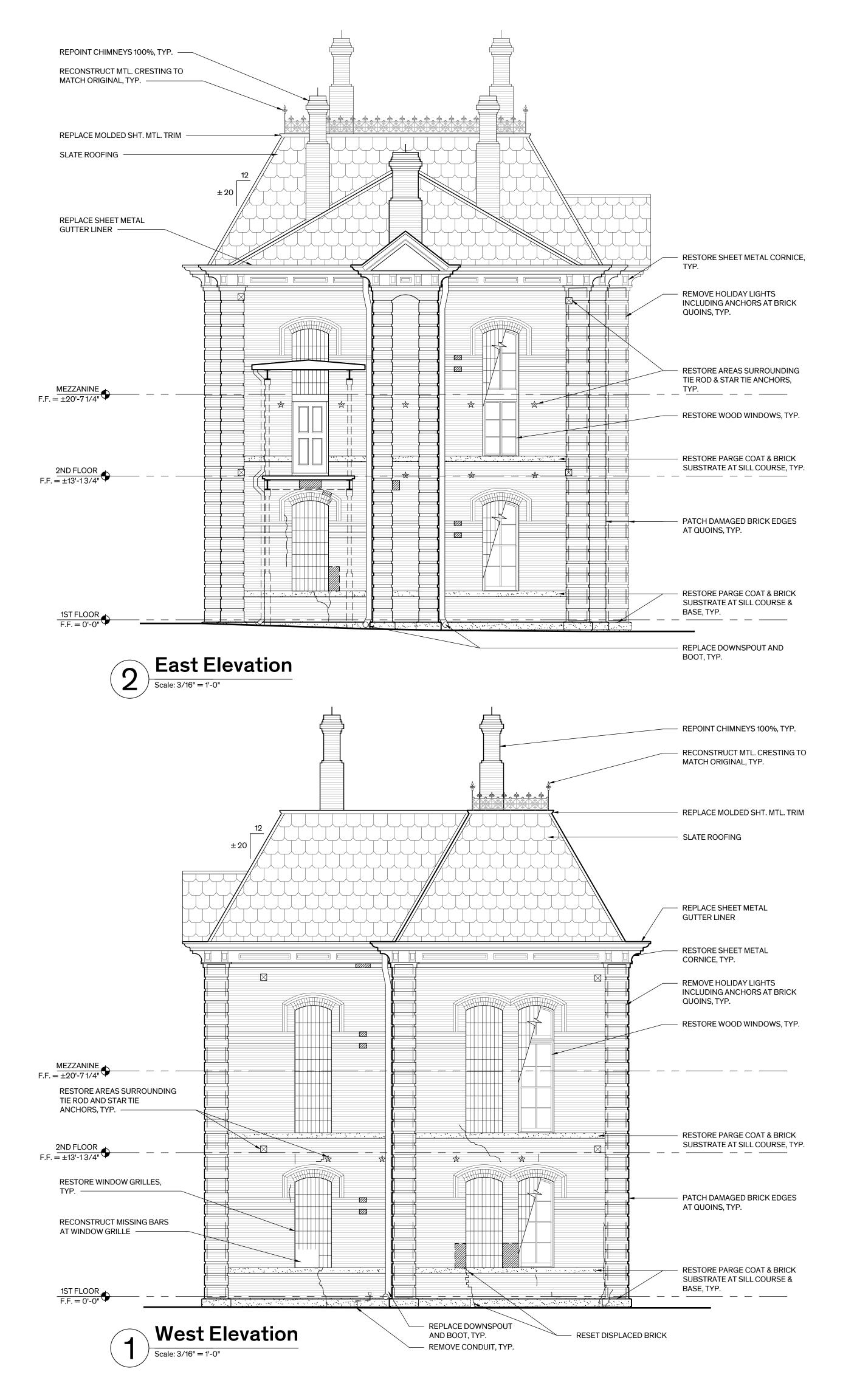
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**Sheet Name** 

North & South Elevations

**Sheet Number** 



# GENERAL NOTES - EXIST. ELEV.

ENTRY DOORS SCHEDULED TO REMAIN.

## 1. MASONRY CLEANING:

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B. CLEAN BRICK MASONRY, PARGE COAT, & CONCRETE STEPS 100%.

2. MASONRY RESTORATION: SELECTIVELY REPAIR BRICK MASONRY WHERE INDICATED, SEE BELOW FOR DESCRIPTION OF WORK.

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- D. CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.

RE-SECURE SHEET METAL WHERE NECESSARY.

- E. REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- 7. ROOF: REFER TO SHT. D2.10 & A2.10 FOR EXTENT OF ROOFING WORK.

#### B. DOOR & WINDOW GRILLES & GATES:

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O. CRAWL SPACE VENTS & COVERS: REMOVE METAL VENT COVERS & PROVIDE CONCRETE AREAWAYS WITHIN PERIMETER CONCRETE MOW STRIP WITH METAL GRATE COVERING. ADD AREAWAYS AT SOUTH ELEVATION FOR CROSS VENTILATION. COORDINATE LOCATIONS WITH MEP.

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- E. SHEET METAL WHERE EXPOSED TO VIEWF. TIE RODS & TIE ROD ANCHOR PLATES

A. REMOVE EXIST. MEP EQUIPMENT & DISTRIBUTION SYSTEMS ATTACHED TO THE EXTERIOR OF THE BUILDING UNLESS OTHERWISE NOTED, REF. MEP.

## **LEGEND**

BRICK REPLACEMENT
RESTORE PARGE COAT & BRICK SUBSTRATE

REPAIR CRACK

- - - - HOLIDAY LIGHTS & ANCHORS TO BE REMOVED

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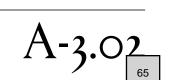
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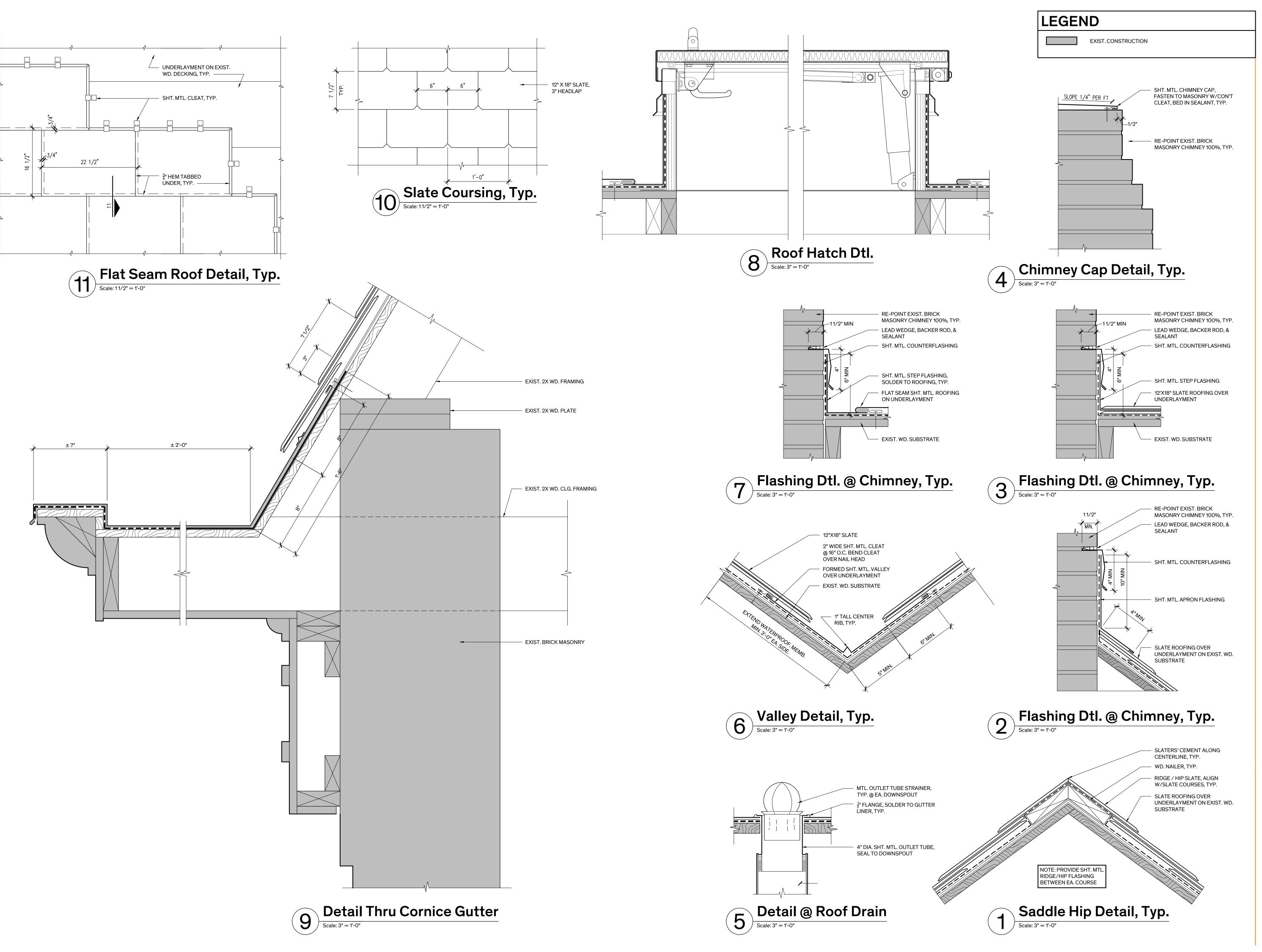
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Sheet Name

East & West Elevations

**Sheet Number** 





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REVISION HISTORY

SD Submission 14 February 2023
 DD Submission 4 April 2023
 95% CD Submission 30 May 2023

SEAL

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION SUSAN FROCHEUR, 5/30/23

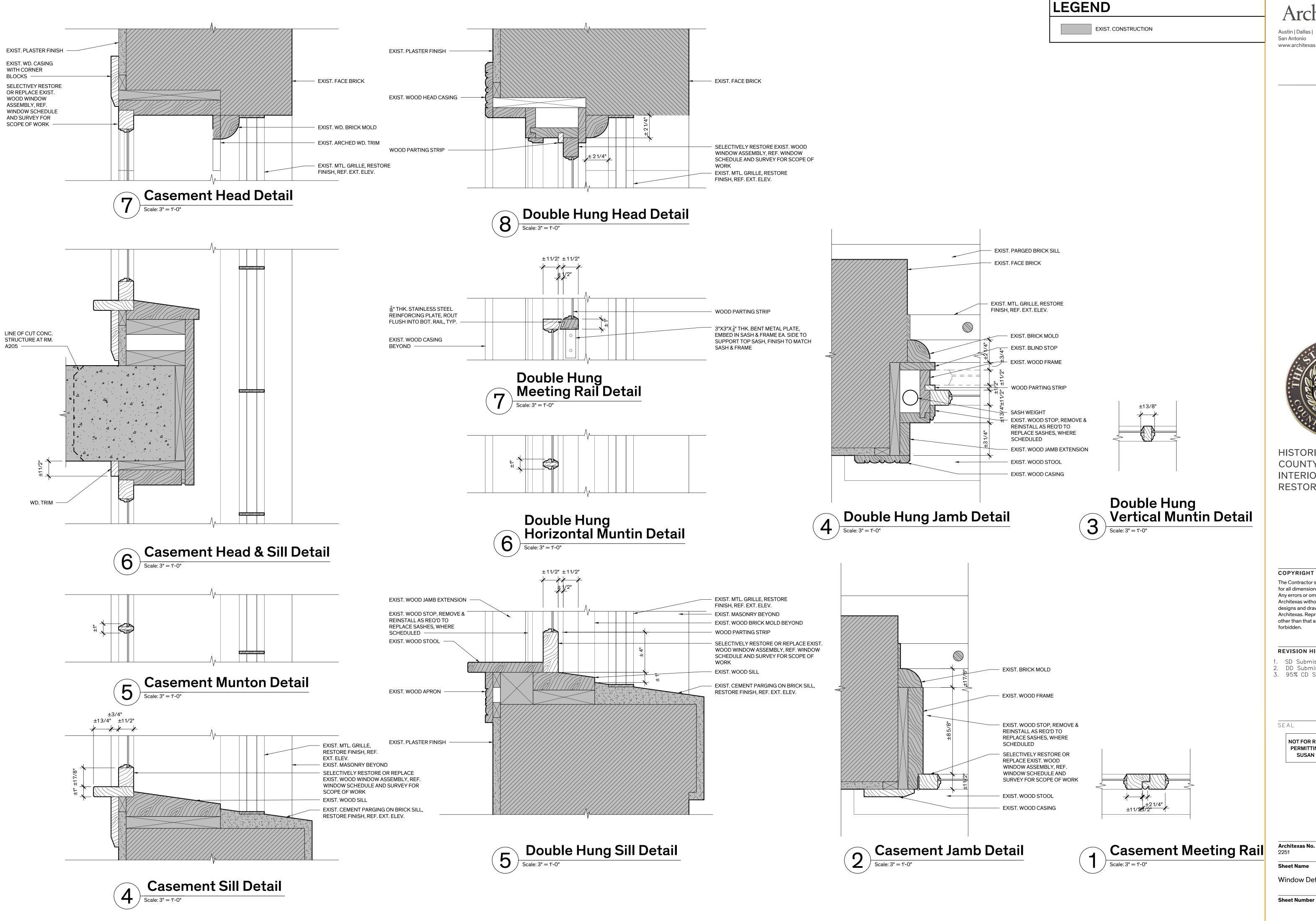
Architexas No.
2251

Date
May 30th, 2023

Sheet Name

Roof Details

Sheet Number
A-4.0



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www.architexas.com Austin, Texas 78704

p 512.444.4220

Item 3D.

HISTORIC BASTROP **COUNTY JAIL INTERIOR & EXTERIOR** RESTORATION

> 801 Pine Street Bastrop, TX

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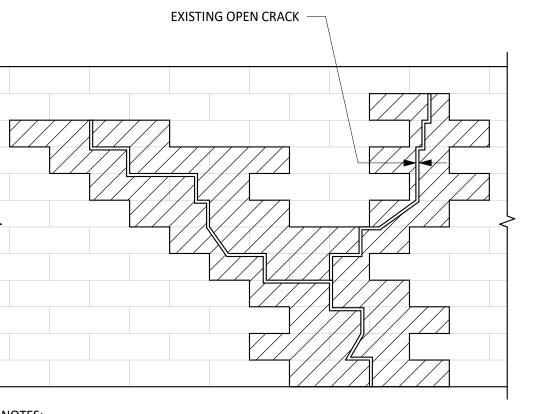
**REVISION HISTORY** 

1. SD Submission 14 February 2023 2. DD Submission 4 April 2023 3. 95% CD Submission 30 May 2023

> NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION SUSAN FROCHEUR, 5/30/23

May 30th, 2023

Window Details



1. DENOTES BRICK TO BE REPLACED. WHERE CRACK IS THRU WALL, REPLACE ALL WYTHES OF BRICK ON EA. SIDE OF CRACK TO 1ST MORTAR JOINT. REPLACE LOOSE AND CRACKED BRICKS. REPLACE EXISTING HEADERS w/ NEW HEADERS. WHERE CRACK IS ONLY IN OUTER WYTHE, REPLACE ONLY OUTER WYTHE.

2. WHERE CRACK IS OPEN AND 1/4" OR LESS AND IS PRESENT ONLY IN THE OUTER WYTHE AND ONLY IN JOINTS, RAKE AND REPOINT JOINTS ONLY.

#### TYPICAL DETAIL

REPAIR IN BRICK MASONRY

NO SCALE

San Antonio www.architexas.com

Austin, Texas 78704 p 512.444.4220

3800 N. Lamar Blvd. P 512.472.2111



BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

> 801 Pine Street Bastrop, TX 78602

Owner No. 00000

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**REVISION HISTORY** 

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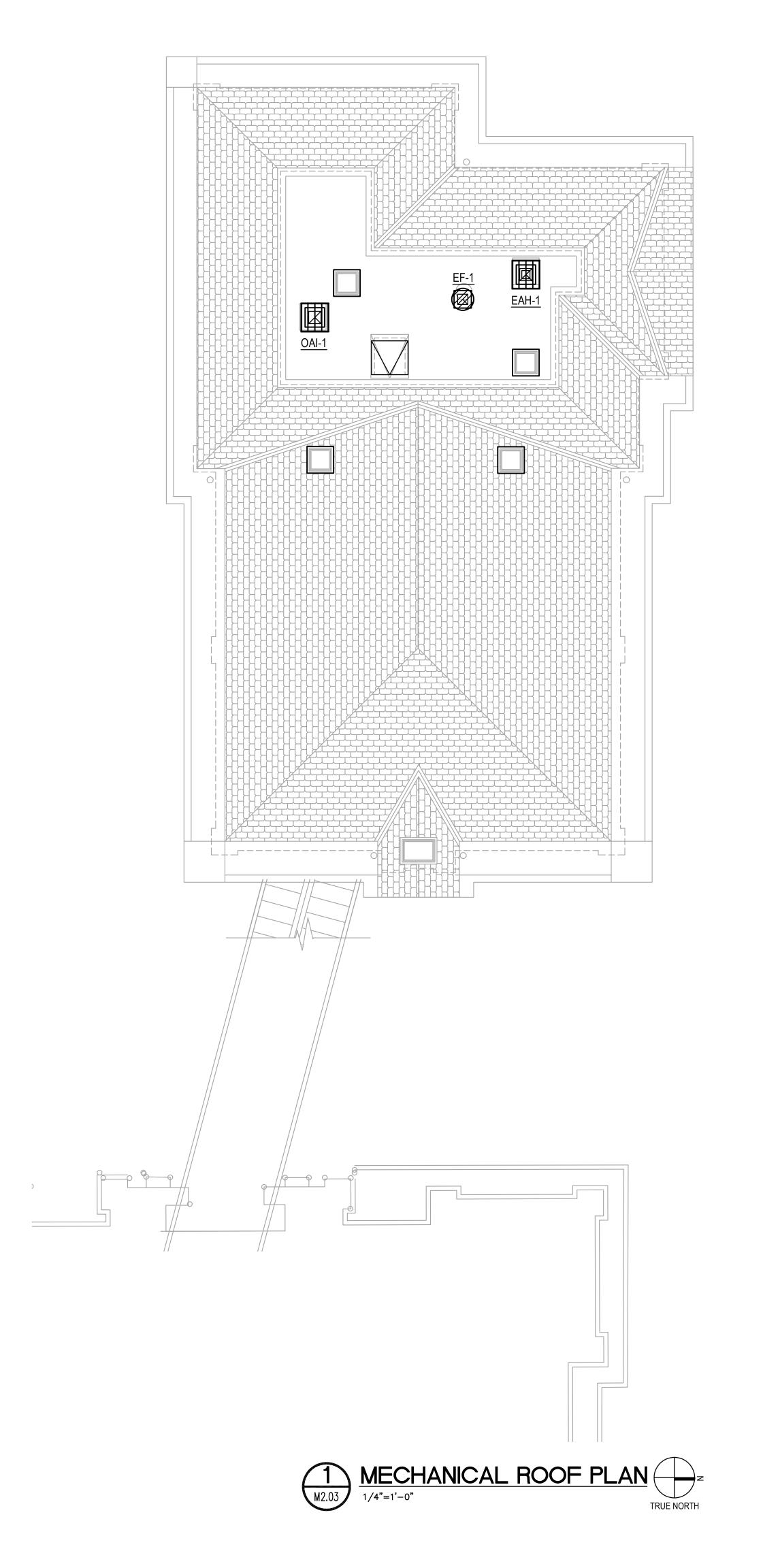
SEAL

PROGRESS PRINT RELEASED UNDER THE AUTHORITY OF: KARINA TRIBBLE, P.E. TEXAS REGISTRATION No: 109642 DATE:2023/05/30 (NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES)

Architexas No.

**Date** May 30th, 2023

TYP. MASONRY **DETAILS** 



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DBR Project Number 235003.000

EP BB/IL JA CE GC



HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street Bastrop, TX 78602

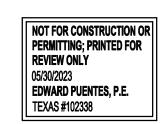
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REVISION HISTORY

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SEAL



Architexas No. 2251

Sheet Name

MECHANICAL ROOF PLAN

Sheet Number

Date May 30th, 2023

#### **CITY MANAGER'S DIRECTIVE**

To: Bastrop Planning and Zoning, Bastrop Historic Landmark Commission, and

**Bastrop Development Services Department** 

From: Sylvia Carrillo, City Manager, ICMA-CM, CPM

**Date:** March 28, 2023

RE: Temporary Suspension of Building Materials requirements as condition of

approving Certificates of Appropriateness in the Iredell District

In accordance with Bastrop's Home Rule Charter, Section 4.04, as the chief administrative officer of the City I am responsible for the proper administration of all affairs of the City, including directing and supervising the administration of all departments, offices and agencies of the City. It is my duty under the Charter to see that the laws of the City are faithfully executed.

In accordance with my authority under the Charter, I hereby *temporarily suspend* the requirement that applications for Certificates of Appropriateness for historic projects in the Iredell District comply with building materials specifications in the Authentic Bastrop Pattern Book (as adopted under the *Building Bastrop Block Code* – B3).

In considering an application for a COA under B3, the Historic Landmark Commission is to be guided by any locally adopted design Standards, Section 9.3.006(a), p. 249. For building materials, architecture standards, architectural details, massing for a variety of building types, see the Pattern Book. B3, Section 9.3.006(a)(8), p. 250. The *Authentic Bastrop Pattern Book* (Pattern Book) is a supplemental set of Standards, information, and inspiration supporting this Code. Architecture, urban design, and landscape design are housed within its contents. B3, Section 10.1.002, p. 239. The Pattern Book states that it is, "mandatory in the Iredell District,..." p. 2. The Pattern Book specifies certain building materials, which vary depending on the project.

This directive is issued upon the recommendation of the City Attorney, who has evaluated the City's ability to require specific building materials in this area and concluded that certain necessary procedural steps may have been omitted. State and federal laws establish standards for designating historic areas and for mandating or restricting building materials beyond what is allowed in international codes.

While this matter is under review, the City shall not base its approval of applications CoAs on compliance with the proposed building materials conforming to the Pattern Book. This directive shall remain in effect until I withdraw it or receive policy guidance from the Bastrop City Council.





#### Certificate of Appropiateness 804 Pecan Street/801 Pine Street

#### Date: 7/7/2023

Date: ////2023
The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility accuracy, completeness or usefullness of information, nor does it represent that its into infringe upon privately owned right.