

# Bastrop Historic Landmark Commission Agenda

Bastrop City Hall City Council Chambers

1311 Chestnut Street

Bastrop, TX 78602

(512) 332-8800



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July 19, 2023

## Agenda - Historic Landmark Commission at 6:00 PM

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*Bastrop Historic Landmark Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.*

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1. **CALL TO ORDER**

2. **CITIZEN COMMENTS**

*At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to City Manager for research and possible future action.*

*It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Board/Commission to allow a member of the public to slur the performance, honesty and/or integrity of the Board/Commission, as a body, or any member or members of the Board/Commission individually or collectively, or members of the City's staff. Accordingly, profane, insulting or threatening language directed toward the Board/Commission and/or any person in the Board/Commission's presence will not be tolerated.*

3. **ITEMS FOR INDIVIDUAL CONSIDERATION**

3A. Consider action to approve meeting minutes from the March 15, 2023, Historic Landmark Commission Regular Meeting.

Presented by: Melissa Gustafson, Development Services Technician

3B. Consider action on a Certificate of Appropriateness for .07 acres of Building Block 9, West of Water Street, located at 922 Main Street, a structure within the Bastrop Commercial National Register of Historic District, for repairs to the exterior.

Presented by: Kennedy Higgins, Planner, Development Services Department

3C. Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Courthouse Clocktower, located at 804 Pecan Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

Presented by: Kennedy Higgins, Planner, Development Services Department

3D. Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

Presented by: Kennedy Higgins, Planner, Development Services Department

#### **4. WORKSHOP**

4A. Items or topics requested by Historic Landmark Commission for future agendas.

#### **5. ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public, as well as to the City's website, [www.cityofbastrop.org](http://www.cityofbastrop.org) and said Notice was posted on the following date and time: July 7, 2023 at 5:00 p.m. and remained posted for at least two hours after said meeting was convened.

/s/Kennedy Higgins  
Kennedy Higgins, Planner



# STAFF REPORT

**MEETING DATE:** July 19, 2023

**TITLE:**

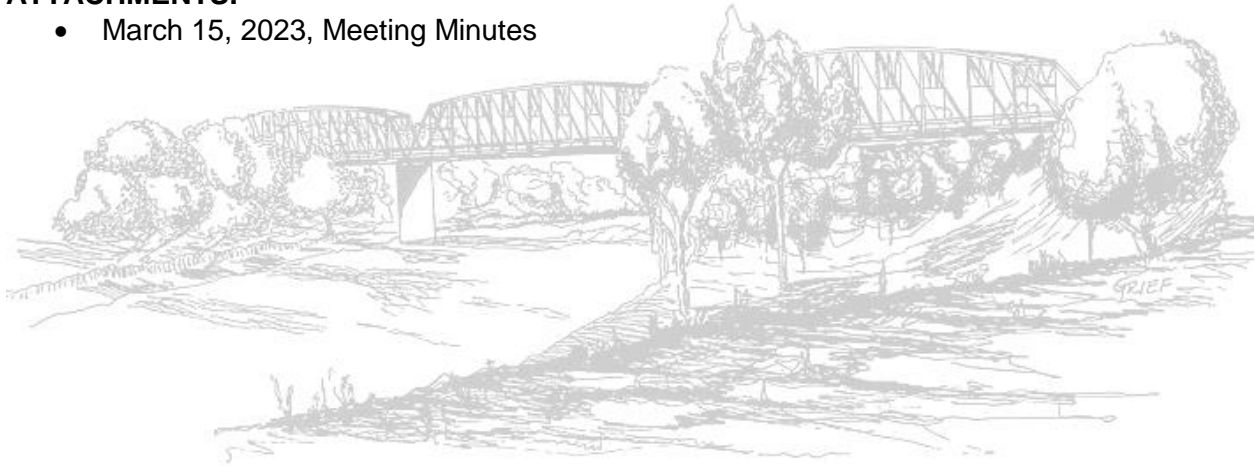
Consider action to approve meeting minutes from the March 15, 2023, Historic Landmark Commission Regular Meeting.

**STAFF REPRESENTATIVE:**

Melissa Gustafson, Development Services Technician

**ATTACHMENTS:**

- March 15, 2023, Meeting Minutes



# HISTORIC LANDMARK COMMISSION MEETING

## March 15, 2023

### Meeting Minutes

The City of Bastrop Historic Landmark Commission met Wednesday, March 15, 2023, at 6:00 p.m. in the Bastrop City Council Chambers, 1311 Chestnut Street, Bastrop, Texas.

#### 1. CALL TO ORDER

The Chair called the meeting to order at 6:00 PM.

Commissioners:

Blake Kaiser, Chair	Present
Sharah Johnson, Vice-Chair	Present
Susan Long	Present
Janean Whitten	Present
Cheryl Long	Absent
Patrice Parsons	Present

City Council Liaison:

Drusilla Rogers	Absent
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Staff:

Keehren Baah	Present
Melissa Gustafson	Present
Sylvia Carrillo	Present

#### 2. CITIZEN COMMENTS

Sylvia Carrillo provided an update on organizational changes for the Development Services Department.

#### 3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the January 25, 2023, Historic Landmark Commission Regular Meeting.

Patrice Parsons made a motion to approve the meeting minutes from the January 25, 2023, Historic Landmark Commission meeting. Susan Long seconded the motion, and the motion carried unanimously.

3B. Consider action on a Certificate of Appropriateness for 0.11 acres of Building Block 8 West of Water Street, also known as the Erhard Building, located at 1006 Main Street, to install

# HISTORIC LANDMARK COMMISSION MEETING

March 15, 2023

## Meeting Minutes

a pre-existing nameplate sign onto the façade of the building designated as a Contributing Structure to the Bastrop Commercial National Register District.

Keehren Baah presented the item to the Commission.

Sylvia Carrillo presented concerns that were brought to her attention that the Iredell District may not be a valid District, provided information regarding those concerns, and plans for moving forward which also included discussion regarding the Certificate of Appropriateness (COA). She confirmed that the B3 Code as it currently stands will be open for discussion.

Shara Johnson made a motion to approve a Certificate of Appropriateness for 0.11 acres of Building Block 8 West of Water Street, also known as the Erhard Building, located at 1006 Main Street, to install a pre-existing nameplate sign onto the façade of the building designated as a Contributing Structure to the Bastrop Commercial National Register District. Patrice Parsons seconded the motion. The motion passed unanimously.

#### 4. UPDATES

- 4A. Individual Requests from Historic Landmark Commissioners that particular items to be listed on future agendas (no group discussion allowed).

There were no requests from the Commissioners.

#### 5. ADJOURNMENT

Shara Johnson made a motion to adjourn the meeting at 6:33 pm. Janeen Whitten seconded the motion. The motion passed unanimously.

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Blake Kaiser  
Commission Chair

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Sharah Johnson  
Commission Vice-Chair



# STAFF REPORT

**MEETING DATE:** July 19, 2023

**TITLE:**

Consider action on a Certificate of Appropriateness for the exterior alterations/repair to a commercial building within the Bastrop Commercial National Register of Historic District, located at 922 Main Street, being .07 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

**STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

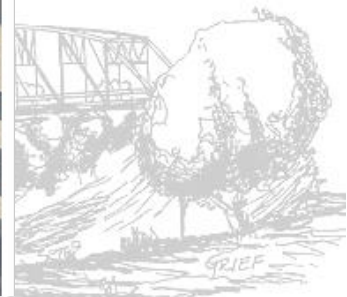
**ITEM DETAILS:**

Site Address: 922 Main Street  
 Property Owner: Lacharose LTD  
 Agent: Erin Abbey  
 Current Use: Commercial  
 Existing Zoning: P5 Core  
 Designations: Structure in the Bastrop Commercial National Register Historic District

**BACKGROUND/HISTORY:**

The business occupying 922 Main Street, Rhinestone Rattler Boutique, is wanting to remove the existing damaged awning and replace it with a new black metal awning with hardwood underneath. They are also proposing to cover the current black tile with stucco and whitewash the brick that is on the exterior of the structure at the front of the building. Additionally, they are wanting to paint the green window trim to black and repaint the door pink.

The front of the building as it exists is shown below:



The proposed changes to the front facade are shown below:

Existing Exterior

Proposed Exterior Elevation Front

Window trim to be painted black

Front door to be painted pink

Black standing seam metal awning, Brazilian hardwood underneath

Awning Example

333

The complex block contains several architectural elements. On the left is a photograph of the existing exterior of the building. In the center is a detailed architectural drawing of the proposed exterior elevation front, showing a door and a window with various annotations. To the right of the drawing is a photograph of a black standing seam metal awning with the number '333' on it. Below the drawing is a photograph of a similar awning on a brick building. The text 'Existing Exterior' is below the first photo, 'Proposed Exterior Elevation Front' is below the drawing, and 'Awning Example' is below the two awning photos.

**POLICY EXPLANATION:**

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

*Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)*

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.
- (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
  - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**
  - (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
  - (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
  - (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.**
  - (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.**
  - (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.**
  - (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.



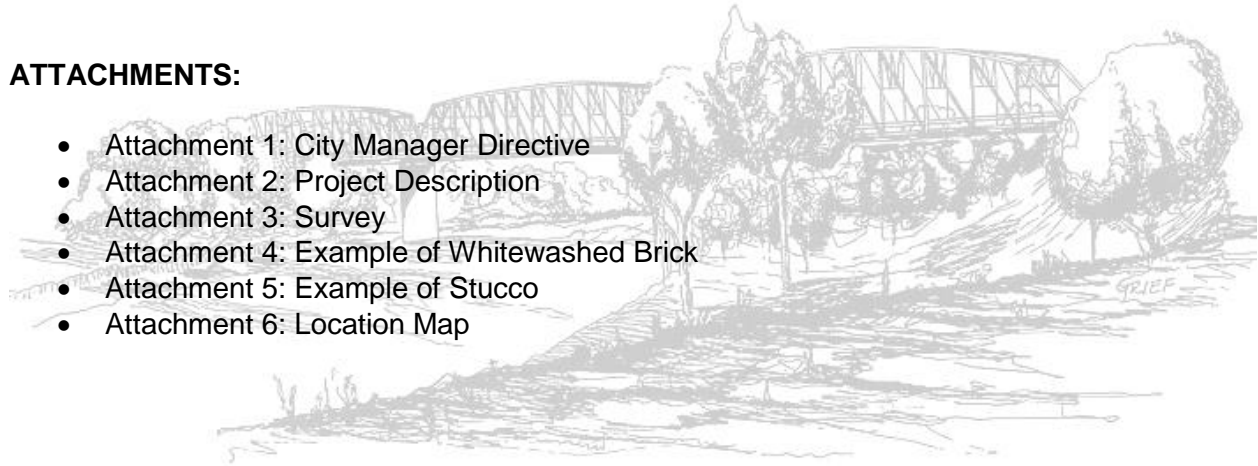
- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) **Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

**RECOMMENDATION:**

Recommend approval on a Certificate of Appropriateness for the exterior alterations/repair to a commercial building within the Bastrop Commercial National Register of Historic District, located at 922 Main Street, being .07 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

**ATTACHMENTS:**

- Attachment 1: City Manager Directive
- Attachment 2: Project Description
- Attachment 3: Survey
- Attachment 4: Example of Whitewashed Brick
- Attachment 5: Example of Stucco
- Attachment 6: Location Map



## CITY MANAGER'S DIRECTIVE

**To:** Bastrop Planning and Zoning, Bastrop Historic Landmark Commission, and Bastrop Development Services Department

**From:** Sylvia Carrillo, City Manager, ICMA-CM, CPM

**Date:** March 28, 2023

**RE: Temporary Suspension of Building Materials requirements as condition of approving Certificates of Appropriateness in the Iredell District**

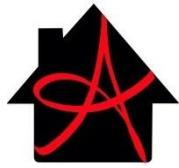
In accordance with Bastrop's Home Rule Charter, Section 4.04, as the chief administrative officer of the City I am responsible for the proper administration of all affairs of the City, including directing and supervising the administration of all departments, offices and agencies of the City. It is my duty under the Charter to see that the laws of the City are faithfully executed.

In accordance with my authority under the Charter, I hereby ***temporarily suspend*** the requirement that applications for Certificates of Appropriateness for historic projects in the Iredell District comply with building materials specifications in the Authentic Bastrop Pattern Book (as adopted under the *Building Bastrop Block Code – B3*).

In considering an application for a COA under B3, the Historic Landmark Commission is to be guided by any locally adopted design Standards, Section 9.3.006(a), p. 249. For building materials, architecture standards, architectural details, massing for a variety of building types, see the Pattern Book. B3, Section 9.3.006(a)(8), p. 250. The *Authentic Bastrop Pattern Book* (Pattern Book) is a supplemental set of Standards, information, and inspiration supporting this Code. Architecture, urban design, and landscape design are housed within its contents. B3, Section 10.1.002, p. 239. The Pattern Book states that it is, "mandatory in the Iredell District,..." p. 2. The Pattern Book specifies certain building materials, which vary depending on the project.

This directive is issued upon the recommendation of the City Attorney, who has evaluated the City's ability to require specific building materials in this area and concluded that certain necessary procedural steps may have been omitted. State and federal laws establish standards for designating historic areas and for mandating or restricting building materials beyond what is allowed in international codes.

While this matter is under review, the City shall not base its approval of applications CoAs on compliance with the proposed building materials conforming to the Pattern Book. This directive shall remain in effect until I withdraw it or receive policy guidance from the Bastrop City Council.

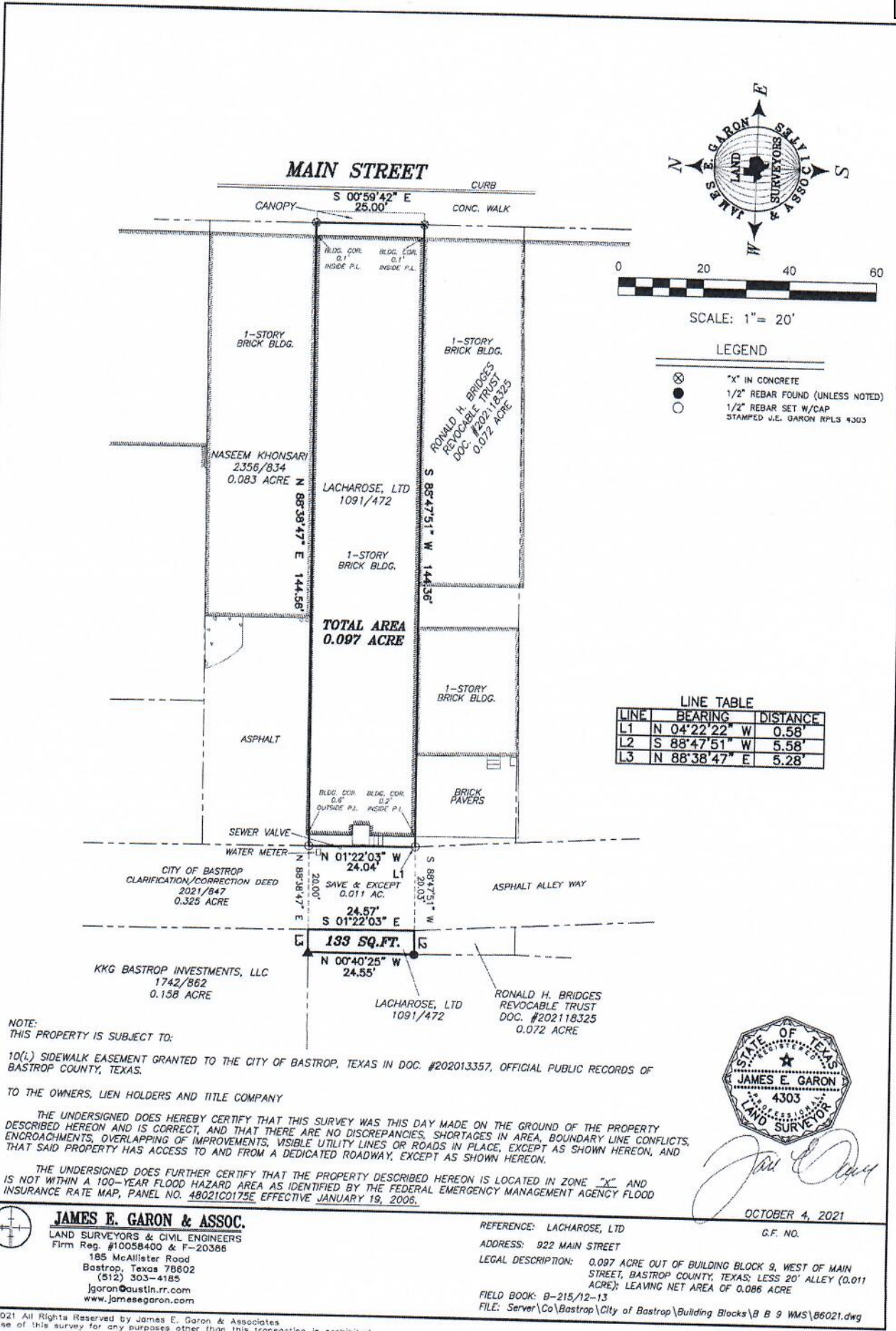


*Arnold* **CUSTOM BUILDERS**  
**WWW.ArnoldCustomBuilders.com**  
**512-321-9298**

Item 3B.

### **Project Description**

**The proposed work to be done is as follows: removal of the damaged aluminum and cloth awning to be replaced with a new black metal awning with hardwood underneath, removal of the black tile to be replaced with brick to match existing that will then be lightly whitewashed. Existing window trim to be painted black. Existing door to be painted pink.**



SCALE: 1" = 20'

LEGEND

- ⊗ "X" IN CONCRETE
  - 1/2" REBAR FOUND (UNLESS NOTED)
  - 1/2" REBAR SET W/CAP
- STAMPED J.E. GARON RPLS #303

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 04°22'22" W	0.58'
L2	S 88°47'51" W	5.58'
L3	N 88°38'47" E	5.28'

NOTE:  
THIS PROPERTY IS SUBJECT TO:

10(L) SIDEWALK EASEMENT GRANTED TO THE CITY OF BASTROP, TEXAS IN DOC. #202013357, OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS.  
TO THE OWNERS, LIEN HOLDERS AND TITLE COMPANY

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY DESCRIBED HEREON AND IS CORRECT, AND THAT THERE ARE NO DISCREPANCIES, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

THE UNDERSIGNED DOES FURTHER CERTIFY THAT THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE "X" AND IS NOT WITHIN A 100-YEAR FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, PANEL NO. 48021C0175E EFFECTIVE JANUARY 19, 2006.



*James E. Garon*  
OCTOBER 4, 2021  
G.F. NO.

**JAMES E. GARON & ASSOC.**  
LAND SURVEYORS & CIVIL ENGINEERS  
Firm Reg. #10058400 & F-20388  
185 McAllister Road  
Bastrop, Texas 78602  
(512) 303-4185  
jgaron@austin.rr.com  
www.jamesegarson.com

REFERENCE: LACHAROSE, LTD  
ADDRESS: 922 MAIN STREET  
LEGAL DESCRIPTION: 0.097 ACRE OUT OF BUILDING BLOCK 9, WEST OF MAIN STREET, BASTROP COUNTY, TEXAS; LESS 20' ALLEY (0.011 ACRE); LEAVING NET AREA OF 0.086 ACRE  
FIELD BOOK: B-215/12-13  
FILE: Server\Co\Bastrop\City of Bastrop\Building Blocks\B 9 WMS\B6021.dwg

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Use of this survey for any purposes other than this transaction is prohibited

**JAMES E. GARON  
& ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

185 McAllister Road  
Bastrop, Texas 78602  
512-303-4185  
Firm #10058400  
jgaron@austin.rr.com

May 2, 2022

**LEGAL DESCRIPTION:** BEING A 0.086 ACRE TRACT OF LAND LYING IN AND BEING SITUATED OUT OF BUILDING BLOCK 9, WEST OF MAIN STREET, TOWN OF BASTROP IN BASTROP COUNTY, TEXAS AS SHOWN ON MAP OR PLAT RECORDED IN CABINET 1, PAGE 23-A PLAT RECORDS, BASTROP COUNTY, TEXAS AND BEING THE REMAINDER OF THAT CERTAIN TRACT OF LAND CONVEYED TO LACHAROSE, LTD BY DEED RECORDED IN VOLUME 1091, PAGE 472 OFFICIAL RECORDS, BASTROP COUNTY, TEXAS; SAID 0.086 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS AND AS SURVEYED UNDER THE SUPERVISION OF JAMES E. GARON & ASSOCIATES IN OCTOBER, 2021:

**BEGINNING** at an "X" cut in concrete sidewalk in the west line of Main Street and east line of said Building Block 9 for the northeast corner hereof from which the calculated northeast corner of said Building Block 9 bears N 00°59'42" W a distance of 121.04 feet;

THENCE S 0°59'29" E a distance of 25.00 feet along said line to an "X" cut in concrete sidewalk for the southeast corner hereof;

THENCE S 88°47'51" W a distance of 144.36 feet to a 1/2" iron rod with cap stamped "JE Garon - RPLS 4303" set in the east line of a 20' alley conveyed to the City of Bastrop by deed recorded in Volume 431, Page 351 of said official records and in a clarification/correction deed recorded in Volume 2021, Page 847 of said official records;

THENCE S 88°47'51" W a distance of 20.03 feet to a point in the west line of said alley;

THENCE S 88°47'51" W a distance of 5.58 feet to a 1/2" iron rod found for the southwest corner hereof;

THENCE N 00°40'25" W a distance of 24.55 feet to a 60D nail in concrete found for the northwest corner hereof;

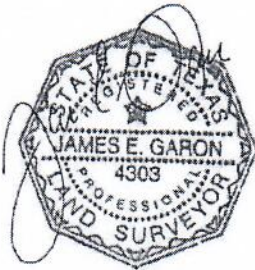
THENCE N 88°38'47" E a distance of 5.28 feet to a point in the west line of said 20' alley;

May 2, 2022

THENCE N 88°38'47" E a distance of 20.00 feet to a 1/2" iron rod with cap stamped "JE Garon - RPLS 4303" set in the east line of said 20' alley;

THENCE N 88°38'47" E a distance of 144.56 feet to the **POINT OF BEGINNING**, containing 0.097 acre of land, less 0.011 acre of land within said 20' alley and as shown on sketch of survey prepared herewith.

Surveyed by:



James E. Garon, R.P.L.S.  
Co/Bastrop/City of Bastrop/BB/BB9WMS/86021 legal



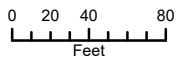
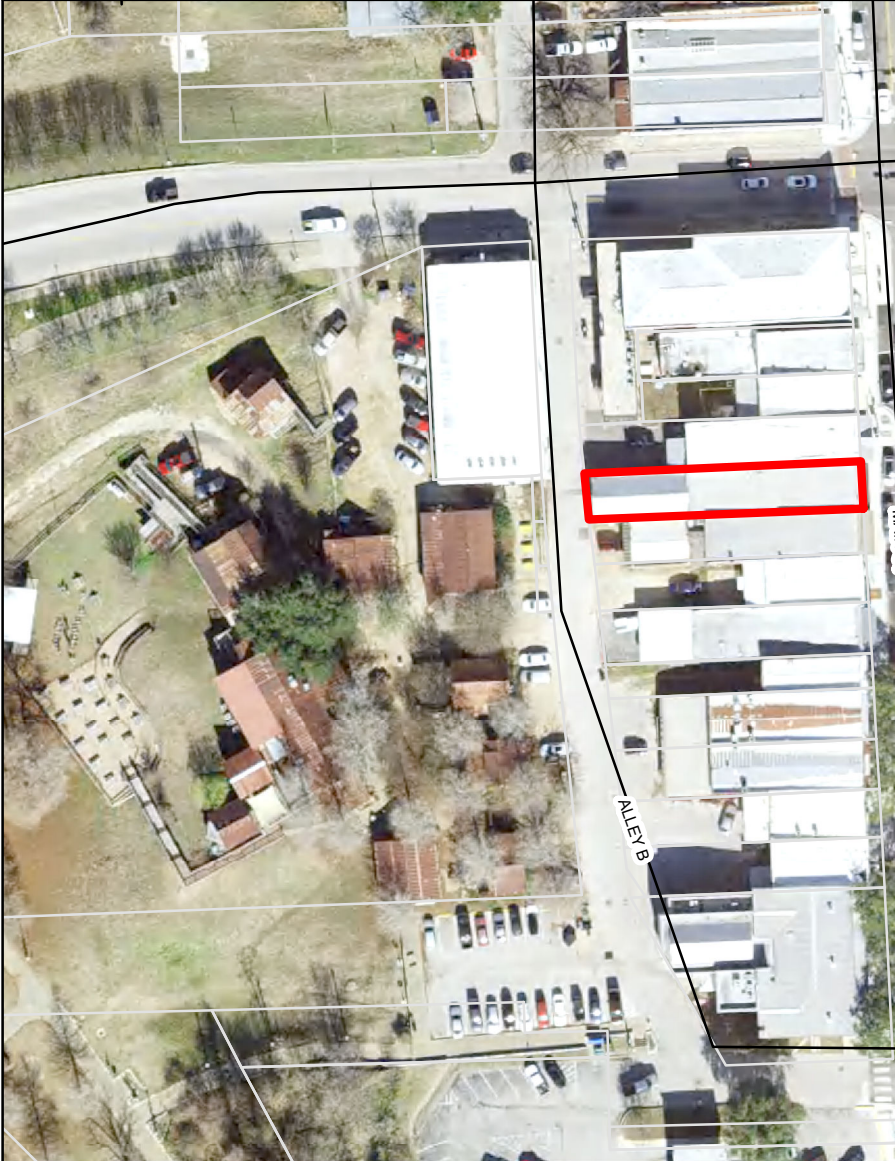
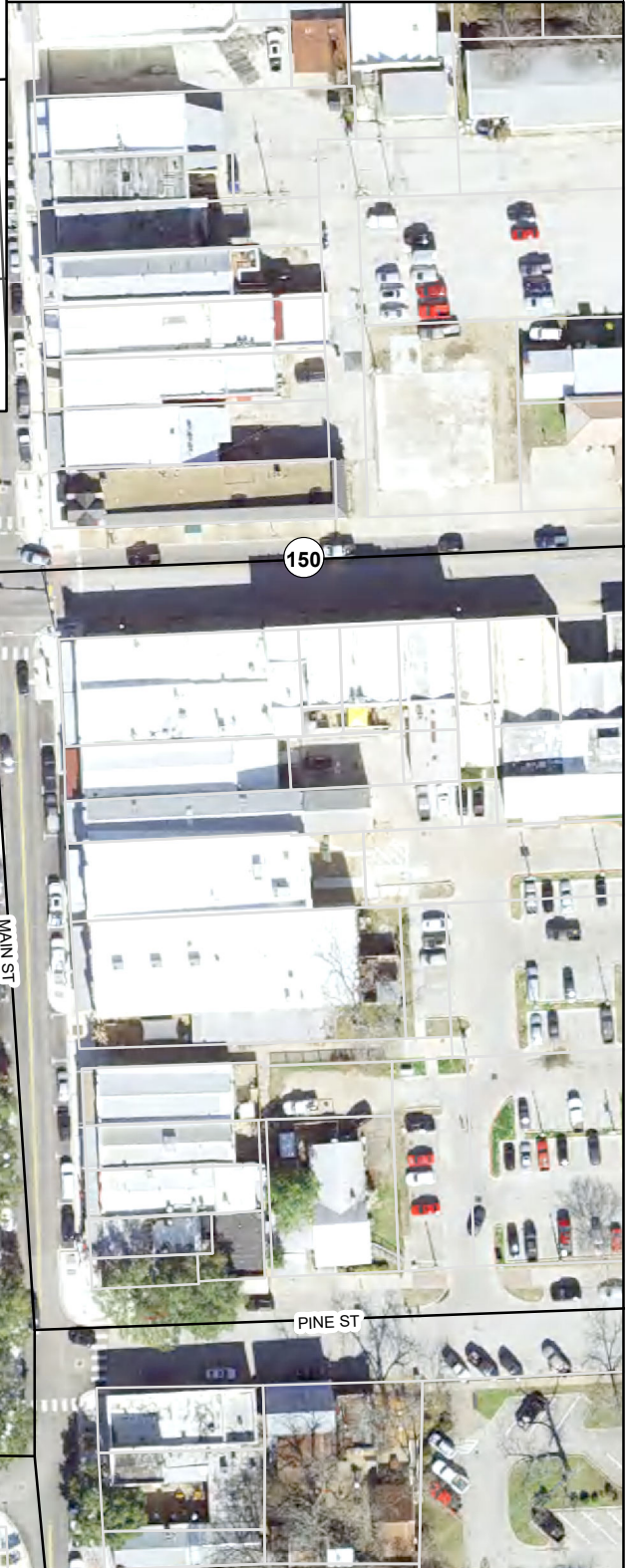
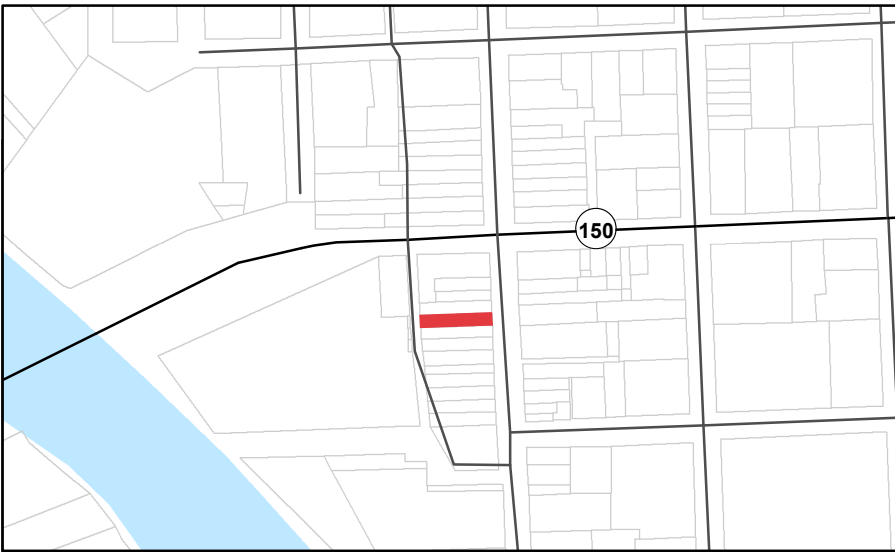
*Item 3B.*



*Item 3B.*

16





1 inch = 100 feet

Date: 7/7/2023

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for accuracy, completeness or usefulness of information, nor does it represent that its use will not infringe upon privately owned rights.





# STAFF REPORT

**MEETING DATE:** July 19, 2023

**TITLE:**

Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Courthouse Clocktower, located at 804 Pecan Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

**STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

**ITEM DETAILS:**

Site Address: 804 Pecan Street  
 Property Owner: Bastrop County  
 Agent: Susan Frocheur  
 Current Use: Governmental  
 Existing Zoning: P-CS  
 Designations: Recorded Texas Historic Landmark (RTHL), National Register (NRHP), and State Antiquities Landmark (SAL)

**BACKGROUND/HISTORY:**

The County Court House occupying 804 Pecan Street, is proposing repairs and restorations to the exterior façade of the building. Including repair and replacement of rough carpentry, they will be replacing the rotted and deteriorating wood sheathing, salvaging what possible. Repair of salvageable metal cladding and replacement of sheet metal roofing and cladding that is beyond repair. Removal/replacement of existing spiked bird deterrent system at horizontal and sloped surfaces (each cornice ledge). Restore and upgrade lightning protection system to meet current code. Restore clockworks and clock faces- restoration of clock faces, hands and dials – color to match the 1920's paint scheme, and exterior painting (cement parge coat).

The front clock tower as it exists is shown below:



**POLICY EXPLANATION:**

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

*Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)*

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.
- (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
  - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**
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  - (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
  - (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.**
  - (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.**
  - (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.**
  - (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

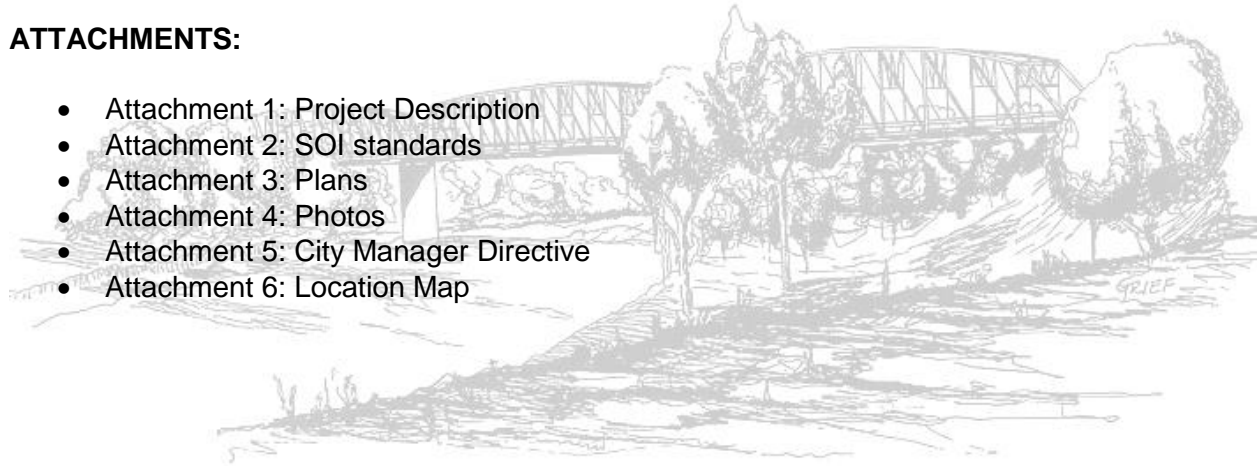
- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) **Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

**RECOMMENDATION:**

Recommend approval of a Certificate of Appropriateness for exterior repairs to the Bastrop County Courthouse Clocktower, located at 804 Pecan Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

**ATTACHMENTS:**

- Attachment 1: Project Description
- Attachment 2: SOI standards
- Attachment 3: Plans
- Attachment 4: Photos
- Attachment 5: City Manager Directive
- Attachment 6: Location Map



Project 1: Bastrop County Courthouse

Project 1 is described as the Bastrop County Courthouse, Tower Repairs. This project has received funding from the *National Park Service Emergency Supplemental Historic Preservation Fund Grant – Hurricane Harvey Disaster Assistance*. The National Park Service (NPS) funding is coordinated through the Texas Historical Commission (THC) and was provided to aid owners whose property sustained damage following Hurricane Harvey’s landfall on Texas in August 2017. Work generally includes:

1. Repair and replacement of rough carpentry.
2. Repair and replacement of sheet metal roofing and cladding.
3. Removal and replacement of bird deterrent system.
4. Restore and upgrade lightning protection system.
5. Restore clockworks and clock faces.
6. Provide electric strike for bell.
7. Exterior painting.

The work for this project is fully described in the following construction documents:

*Bastrop County Courthouse, Tower Repairs, Project Manual*, prepared by Architexas dated June 13, 2023, Issued for Bid

*Bastrop County Courthouse, Tower Repairs, Construction Drawings*, prepared by Architexas dated June 13, 2023, Issued for Bid

**Bastrop County Courthouse**

Work of this project is described as the Bastrop County Courthouse, Tower Repairs. This project has received funding from the *National Park Service Emergency Supplemental Historic Preservation Fund Grant – Hurricane Harvey Disaster Assistance*. The National Park Service (NPS) funding is coordinated through the Texas Historical Commission (THC) and was provided to aid owners whose property sustained damage following Hurricane Harvey’s landfall on Texas in August 2017. Work generally includes:

The THC and NPS utilize *the Secretary of the Interior’s Standards for the Treatment of Historic Properties (SOI Standards)* to evaluate proposed work and ensure that grant funds are used appropriately.

Architexas has proposed a scope of work that is guided by the SOI Standards. SOI Standards considerations include:

1. Character defining features will remain.
2. Deteriorated architectural features will be repaired with in-kind materials.
3. Cleaning methods will include proven products that utilize the gentlest means necessary.

# BASTROP COUNTY COURTHOUSE

## TOWER REPAIRS Bastrop, Texas

**OWNER**  
Bastrop County  
804 Pine Street  
Bastrop, Texas 78602  
Phone: 512.581.7100  
Owner Representative: Shawn Harris

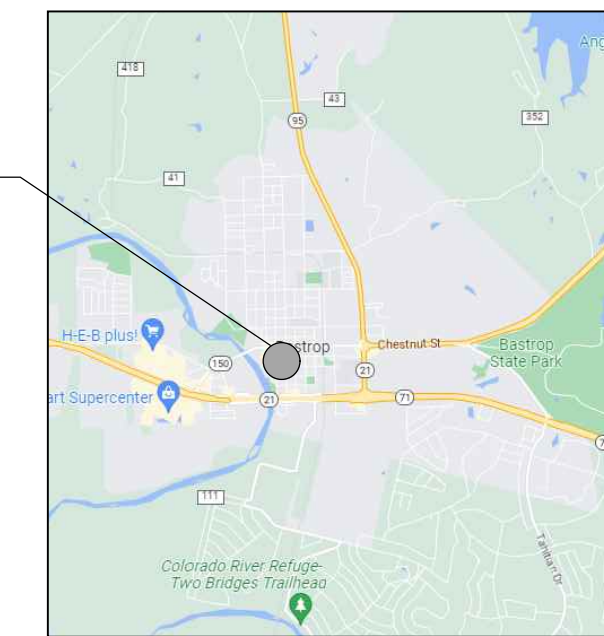
**ARCHITECT**  
ARCHITEXAS  
Architecture, Planning, and Historic Preservation, Inc.  
2900 South Congress Ave., Suite 200  
Austin, TX 78704  
phone: 512.444.4220

**STRUCTURAL ENGINEER**  
Architectural Engineers Collaborative  
3800 N. Lamar Blvd., Suite 330  
Austin, TX 78756  
phone: 512.472.2111

**MEP ENGINEER**  
DBR Engineering Consultants, Inc.  
2500 S Hwy 183, Suite 500  
Austin, TX 78744  
phone: 512.637.4393

**TEXAS HISTORICAL COMMISSION**  
108 W. 16th St. - Second Floor  
Austin, TX 78701  
phone: 512.463.6000

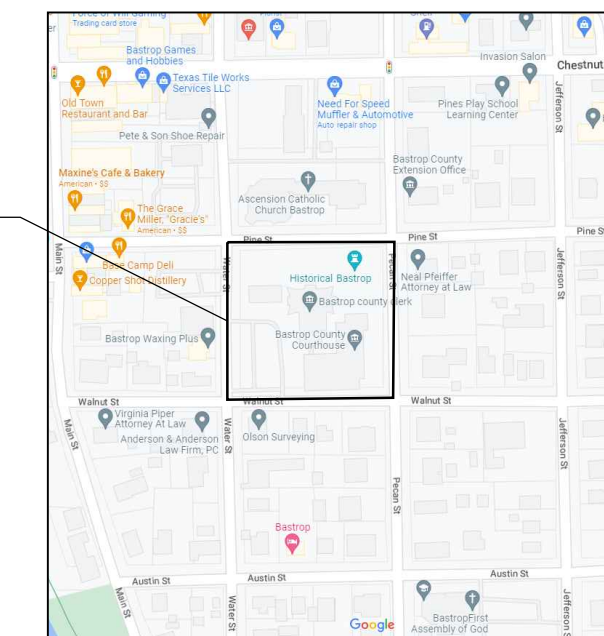
### AREA MAP



MAP COURTESY OF GOOGLE.COM

PROJECT LOCATION

### LOCATOR MAP



MAP COURTESY OF GOOGLE.COM

SITE LOCATION



### INDEX OF DRAWINGS

<b>ARCHITECTURAL</b>	
A-0.01	COVER SHEET
A-2.01	FLOOR PLANS, ELEVATION, AND SECTION
A-2.02	SHEET METAL DETAILS
<b>STRUCTURAL</b>	
S-1.00	GENERAL NOTES
S-2.01	TOWER FLOOR PLANS
S-2.02	TOWER ELEVATION AND SECTION
S-4.00	TYPICAL MASONRY DETAILS
S-6.00	TYPICAL WOOD DETAILS
S-6.01	WOOD DETAILS
<b>ELECTRICAL</b>	
E0.01	ELECTRICAL SYMBOL LEGEND
EP2.05	CLOCK TOWER POWER PLANS
E4.01	ELECTRICAL ONE-LINE DIAGRAM & PANEL SCHEDULES



BASTROP COUNTY  
COURTHOUSE,  
TOWER REPAIRS

804 Pine Street  
Bastrop, TX  
78602

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- Issued for Bid June 13, 2023

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Architexas No. 2250 Date June 13, 2023

Sheet Name COVER SHEET

Sheet Number

### GENERAL NOTES

- Existing Conditions:
  - Information contained on these drawings with regard to existing conditions for construction in no way releases the Contractor from the responsibility for verifying completely all field conditions relating to and affecting the execution of the work, as described in these Contract Documents. Cease work, notify Architect, and await instructions if materials or conditions encountered at the site are not as indicated by the Contract Documents.
  - Field verification of existing conditions relating to specific portions of the work shall be undertaken in advance to allow for the timely identification of existing conditions that may affect the scheduled installation of new work as designed and detailed, and to avoid undue and unreasonable delays to the project should such conditions be discovered. Timely identifications of such conditions shall provide for a reasonable period of time during which the Architect will evaluate the conditions and make recommendations for accommodating new work.
  - Assist the Architect in making their evaluations and recommendations by providing in a timely manner, at no additional cost to the Owner, accurate and complete drawings, sketches, and photographs sufficient to clearly describe discrepancies, conflicts, and concealed or otherwise unanticipated existing conditions affecting new construction. Assist the Architect by providing in a timely manner prepared solutions to unanticipated existing conditions.
  - The Architect has endeavored to identify as completely as possible in the drawings and specifications existing items that are required to be removed or otherwise demolished so as to allow the execution of new work. This information is provided for the convenience of the Contractor, and is in no way intended to mean that demolition is limited only to those items specifically identified. Execute demolition work as required to allow the execution of new work.
  - Areas and items indicating limits of work and lines of demarcation are shown for the convenience of the Contractor, and are not to be taken literally. Actual contract limits are to be determined prior to bid openings by field verification.
  - Original elements removed are to be re-installed in their original location, unless noted otherwise.
- Blocking and Framing
  - Some general assumptions have been made on existing blocking, framing, and existing masonry profiles where conditions have not been uncovered. Re-secure existing blocking as necessary and provide new blocking as needed for proper installation of sheet metal roofing and cladding.
- Dimension of original materials:
  - Dimensions indicated in Construction Documents for original materials are approximate and are to be field verified prior to submittal of shop drawings. Match exact sizes and profiles of original elements, unless noted otherwise.

- Sealants
  - Remove existing sealants and replace with specified sealants, typical.
- Photographs
  - Photographs of existing building conditions are included on portions of these drawings. Information contained on these photographs is provided for the convenience of the Contractor. Existing conditions may vary from what these photographs show. It shall be the responsibility of the Contractor to verify field conditions prior to the time of the bid and alert the Architect to any discrepancies between the existing conditions and the photographs.
- Exterior:
  - Existing construction shown to remain shall not be damaged during the demolition process. Provide temporary protection as necessary. If surfaces of wall are damaged, damaged areas shall be repaired with materials to match existing and restore the full structural capacity of the walls.
  - Shoring drawings and associated structural calculations sealed by a Professional Engineer licensed in the State of Texas shall be submitted to the Architect's file and shall not be returned approved to the Contractor. The Contractor is solely responsible for the design and installation of all shoring necessary to accomplish the work.
  - All shoring shall transfer loading directly to existing masonry structure. Shoring shall be designed to support the full anticipated loading with no benefit from the existing structural framing.
  - Where scaffolding is to be placed on existing roof structure, the contractor shall hire an engineer licensed in the State of Texas to verify the load capacity of that structure.

THIS MATERIAL WAS PRODUCED WITH ASSISTANCE FROM THE EMERGENCY SUPPLEMENTAL HISTORIC PRESERVATION FUND, ADMINISTERED BY THE NATIONAL PARKS SERVICE, DEPARTMENT OF THE INTERIOR. ANY OPINIONS, FINDINGS, AND CONCLUSIONS OR RECOMMENDATIONS EXPRESSED IN THIS MATERIAL ARE THOSE OF THE AUTHOR(S) AND DO NOT REFLECT THE VIEWS OF THE DEPARTMENT OF THE INTERIOR.

### SYMBOLS LEGEND

	Column Center Lines		Broken Section
	Center Line		Wall Section
	Door Type		Detail Section
	Window Type		Detail Key
	Wall Type		Detail Key
	Room Name and Number		Elevation Key

### MATERIALS LEGEND

	Earth/Compact Fill		Rough Wood
	Gravel Fill		Blocking
	Concrete		Finish Wood
	Hollow Clay Tile		Plywood
	Masonry		Rigid Insulation
	Split Face CMU		Thermal Batt Insulation
	Glass		Acoustic Batt Insulation
	Aluminum		Sprayed Insulation
	Steel		Sprayed Fire Insulation
	Sheet Metal		Ceramic Tile
	Existing, Where Noted		Gypsum Board
			Metal Lath and Plaster

### ABBREVIATIONS

±	PLUS/MINUS
Ø	DIAMETER
A/C	AIR CONDITIONER
ACM	ASBESTOS CONTAINING MATERIAL
AHU	AIR HANDLING UNIT
CABS.	CABINETS
CLG.	CEILING
CONC.	CONCRETE
DN.	DOWN
ELEV.	ELEVATOR
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
FIXT.	FIXTURES
FLR.	FLOOR
F.R.	FIRE RATED
GYP.	GYPSONUM
HIST.	HISTORIC
MECH.	MECHANICAL
MISC.	MISCELLANEOUS
MTL.	METAL
OC	ON CENTER
ORIG.	ORIGINAL
QTR.	QUARTER
REF.	REFERENCE
REQ'D	REQUIRED
STRUCT.	STRUCTURAL
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
U.O.N	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WD.	WOOD

NOTE: CONTRACTOR SHALL VERIFY WITH ARCHITECT FOR ANY ABBREVIATION NOT LISTED.





## BASTROP COUNTY COURTHOUSE, TOWER REPAIRS

804 Pine Street  
Bastrop, TX  
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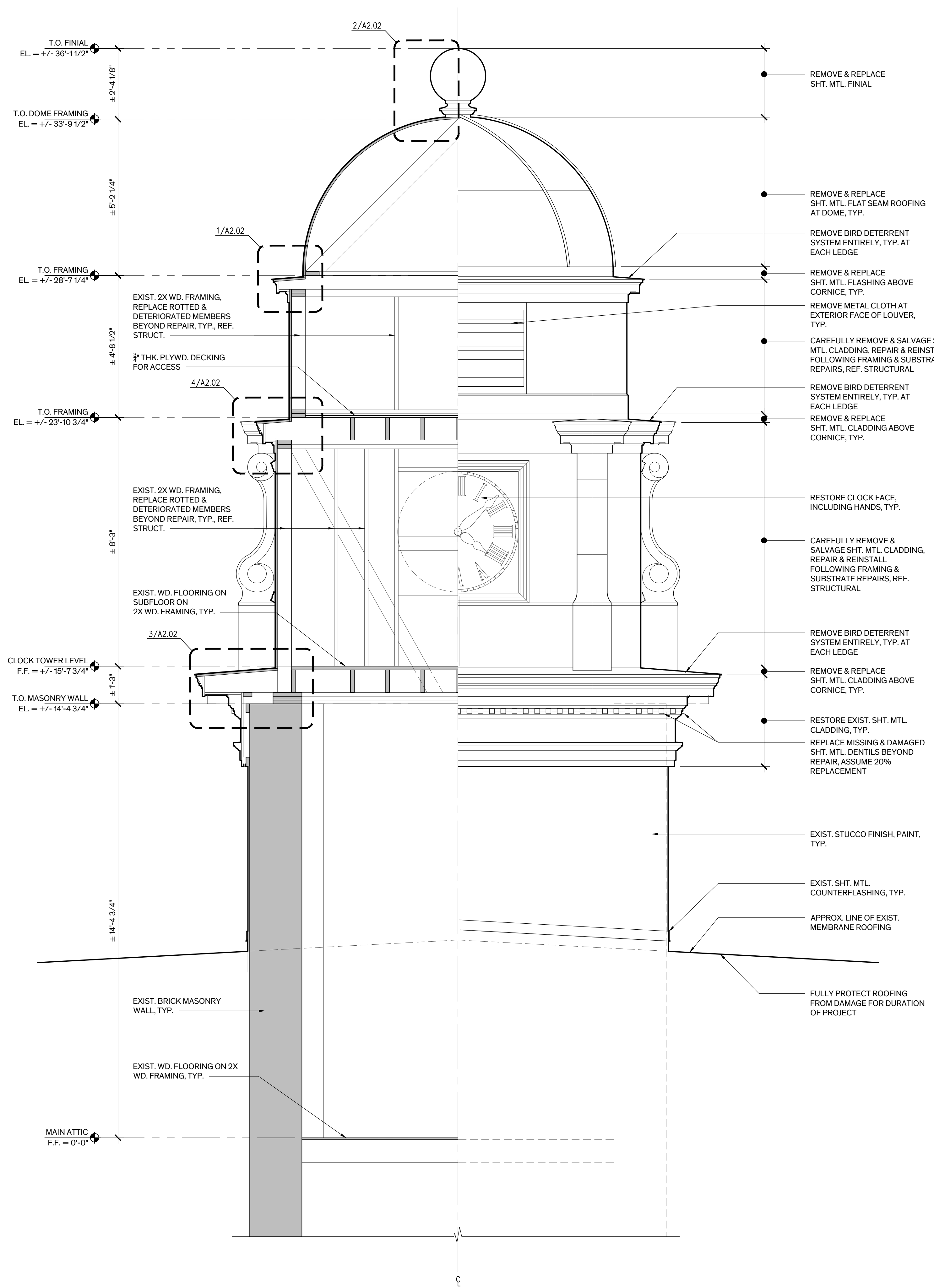
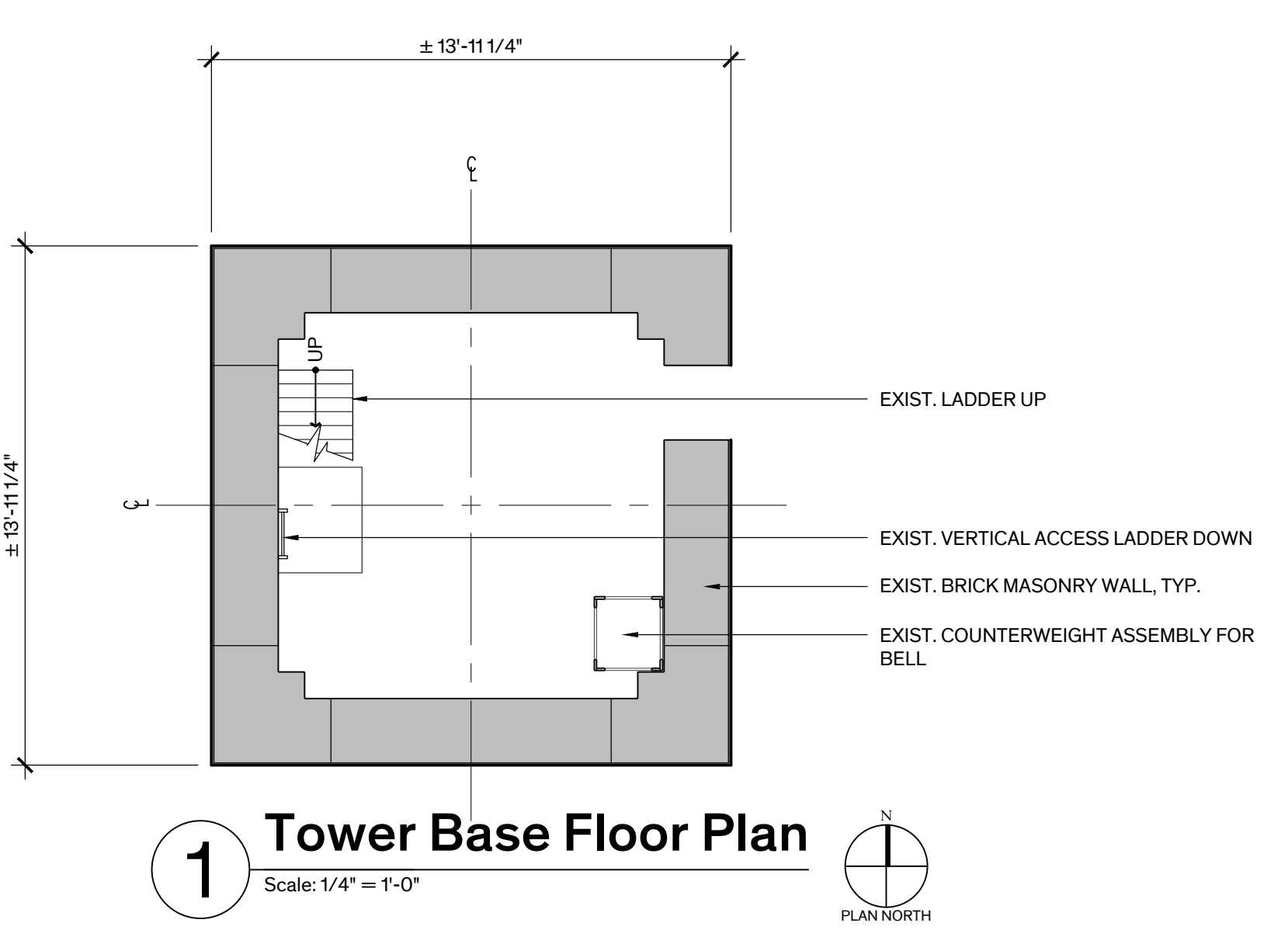
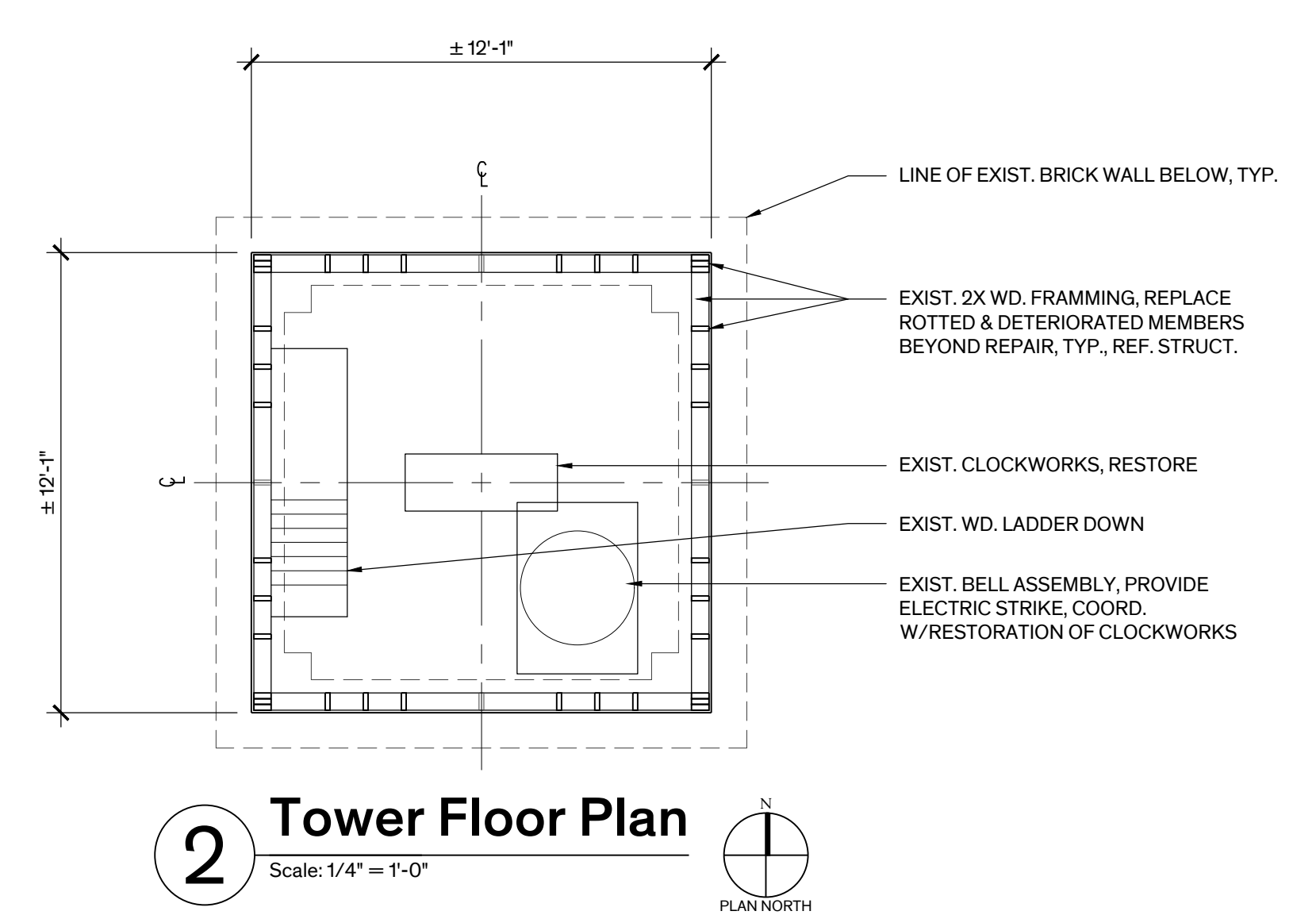
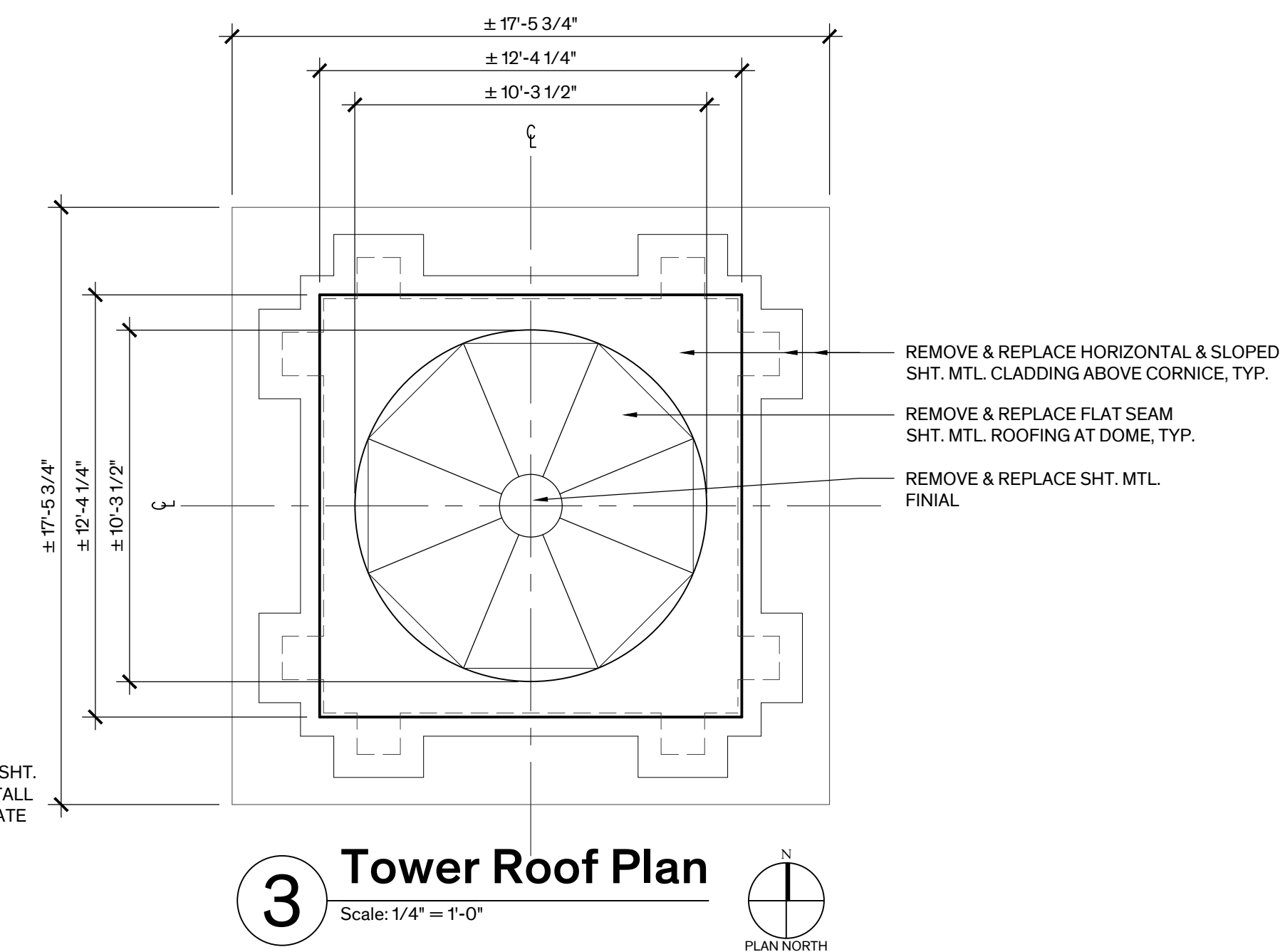
Architexas No. 2250 Date June 13, 2023

Sheet Name Floor Plans, Elevation, and Section

Sheet Number

## GENERAL NOTES

- TEMPORARY PROTECTION:** FULLY PROTECT EXISTING ROOFING AT MAIN ROOF FROM DAMAGE RESULTING FROM THE WORK OF THIS CONTRACT FOR THE DURATION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE CAUSED BY THEIR ACTIONS AT NO ADDITIONAL COST TO THE OWNER.
- DEMOLITION:**
  - REMOVE SPIKED BIRD DETERRENT SYSTEM ENTIRELY.
  - REMOVE FINIAL, SHEET METAL ROOFING, & SHEET METAL CLADDING AT FLAT & SLOPED SURFACES 100%. RETAIN SAMPLE OF EACH UNIQUE PIECE FOR REPLICATION.
  - CAREFULLY REMOVE REMAINING SHEET METAL CLADDING & SALVAGE FOR REINSTALLATION. NUMBER BACK SIDE OF EACH ELEMENT TO ENSURE IT IS REINSTALLED IN ITS ORIGINAL LOCATION.
  - REMOVE ROTTED & DETERIORATED WOOD SHEATHING.
  - REMOVE & SALVAGE WOOD SHEATHING BOARDS, IN GOOD CONDITION, AS REQUIRED TO REPAIR & OR REPLACE WOOD FRAMING MEMBERS.
  - REMOVE MISCELLANEOUS ABANDONED FASTENERS ON THE EXTERIOR OF THE TOWER ATTACHED OR EMBEDDED IN EXISTING MATERIALS & ARE NOT BEING USED TO FASTEN ELEMENTS TO REMAIN. PATCH HOLES AT REMOVED FASTENERS.
  - REMOVE CLOTH WIRE SCREEN AT EXTERIOR FACE OF LOUVERS, TYP.
- ROUGH CARPENTRY:**
  - REPLACE ROTTED & DETERIORATED WOOD SHEATHING, ASSUME 20% REPLACEMENT AT DOME ROOFING, ASSUME 100% REPLACEMENT AT HORIZONTAL & SLOPED SURFACES, ASSUME 40% REPLACEMENT AT VERTICAL SURFACES.
  - REPAIR & REPLACE DETERIORATED FRAMING MEMBERS, REF. STRUCTURAL. IN ADDITION TO REPAIR/REPLACEMENT NOTED ON STRUCTURAL DRAWINGS ASSUME REPAIR/REPLACEMENT OF 25% OF 2X WOOD OUTRIGGERS SUPPORTING CORNICE AT THREE LEVELS.
  - PROVIDE CONTINUOUS WOOD BACKING BETWEEN OPEN FRAMING MEMBERS AS REQUIRED FOR PROPER INSTALLATION OF FULL WATERPROOFING MEMBRANE BEHIND SHEET METAL ROOFING & CLADDING.
- SHEET METAL ROOFING & CLADDING:**
  - REPLACE SHEET METAL FINIAL.
  - REPLACE FLAT SEAM SHEET METAL ROOFING AT DOME 100%.
  - REPLACE SHEET METAL CLADDING AT HORIZONTAL & SLOPED SURFACES 100%.
  - REINSTALL SALVAGED REMAINING SHEET METAL CLADDING IN GOOD CONDITION. SUPPLEMENT WITH NEW SHEET METAL WHERE EXISTING IS BEYOND REPAIR, ASSUME 30% OF TOTAL WALL AREA TO BE REPLACED.
  - RESTORE & REINSTALL EXISTING SHEET METAL SCHEDULED TO REMAIN. SCOPE GENERALLY INCLUDES:
    - REPAIR SMALL FASTENER HOLES WITH SEALANT. REPAIR LARGER HOLES (MAX. 3-INCHES) WITH SHEET METAL PATCH REPAIR.
    - ADJUST SHEET METAL TO ITS ORIGINAL POSITION WHERE MISALIGNED, SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLOADED. RE-SECURE SHEET METAL WHERE NECESSARY.
    - CLOSE OPEN JOINTS WITH RIVETS & SOLDER, WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.
    - REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- LOUVERS:** PROVIDE METAL CLOTH ON INTERIOR SIDE OF LOUVER TO PREVENT ENTRANCE OF BIRDS & RODENTS.
- BIRD DETERRENT SYSTEM:** PROVIDE BIRD DETERRENT SYSTEM AT HORIZONTAL & SLOPED SURFACES, I.E. EACH CORNICE LEDGE, FULL PERIMETER.
- SEALANT:** PROVIDE/ REPLACE SEALANT AT PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS NEEDED FOR WEATHERTIGHT ASSEMBLY.
- PAINTING:** PAINT CEMENT PARGE COAT 100%.
- LIGHTNING PROTECTION SYSTEM:** RESTORE & UPGRADE EXIST. SYSTEM AT THE TOWER FOR CODE COMPLIANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DESIGN DRAWINGS FOR COMPLETE LIGHTNING PROTECTION SYSTEM WHICH SHALL COMPLY WITH THE SPECIFICATIONS OF THE UNDERWRITERS LABORATORIES (UL 96A), THE NATIONAL FIRE PROTECTION INSTITUTE (NFPA NO. 780) & THE LIGHTNING PROTECTION INSTITUTE (LPI-75). THE UNDERWRITER'S LABORATORIES MASTER LABEL "C" SHALL BE DELIVERED TO THE ARCHITECT FOR APPROVAL BEFORE INSTALLATION IS COMPLETED.
- CLOCK FACE / CLOCKWORKS & BELL:**
  - CLOCK FACE: RESTORE CLOCK FACES, HANDS, & DIALS TO ORIGINAL CONDITION. COLOR TO MATCH 1920'S PAINT SCHEME.
  - CLOCKWORKS: RESTORE CLOCK WORKS TO ACCURATE ORIGINAL WORKING CONDITION.
  - BELL: MODIFY BELL ASSEMBLY FOR ELECTRIC STRIKE. COORDINATE RINGING OF BELL WITH CLOCKWORKS TO STRIKE ON THE HOUR.



## LEGEND

- EXISTING CONSTRUCTION

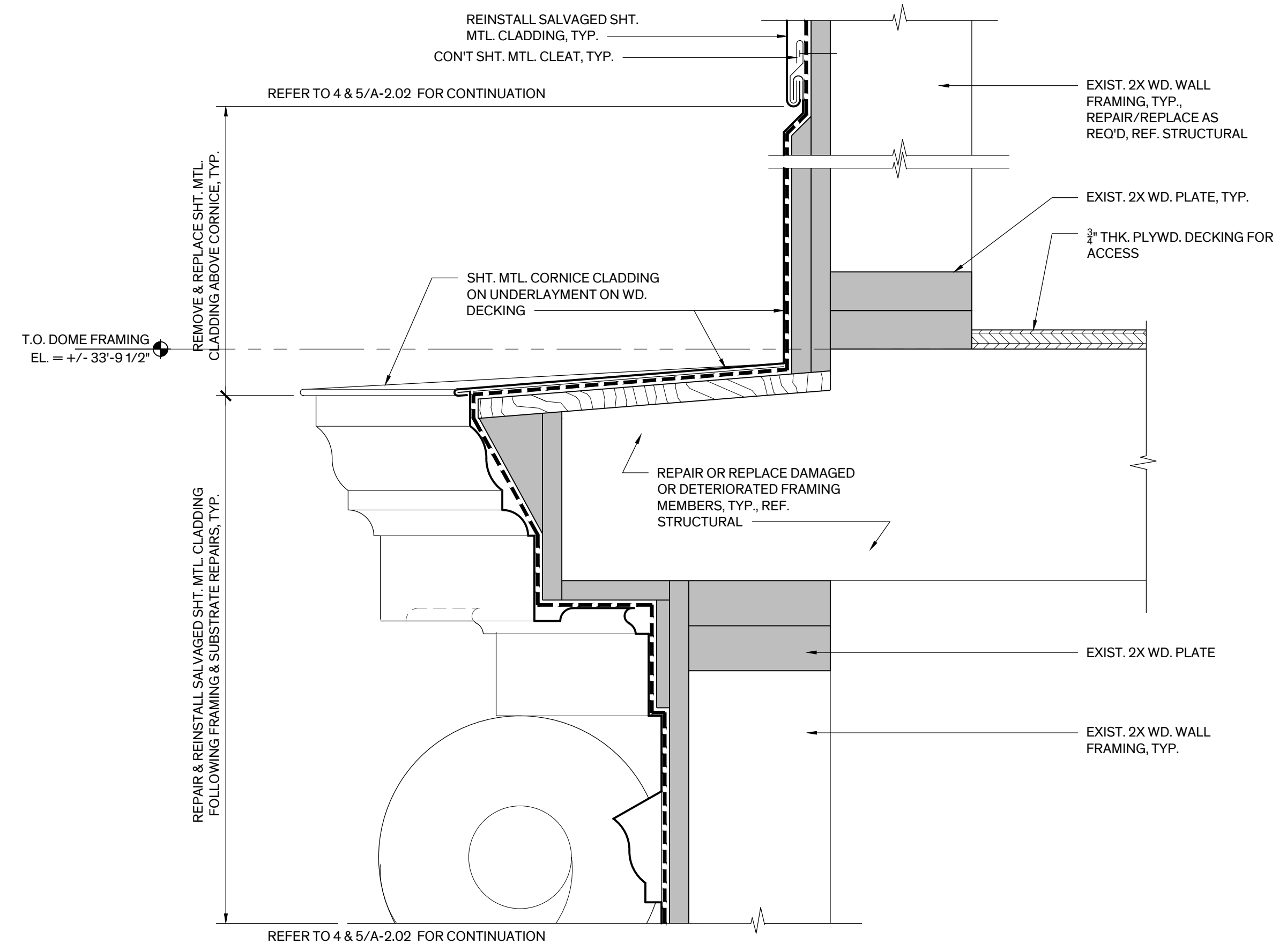
## ALTERNATES

REFER TO SPEC. SECTION 01230 - ALTERNATES FOR DETAILED DESCRIPTION OF WORK

ALTERNATE NO. 1: IN LIEU OF RESTORING CLOCKWORKS TO ACCURATE ORIGINAL WORKING CONDITION, ABANDON EXIST. MECHANICAL SYSTEM & REPLACE WITH ELECTRIFIED SYSTEM AT EACH FACE.

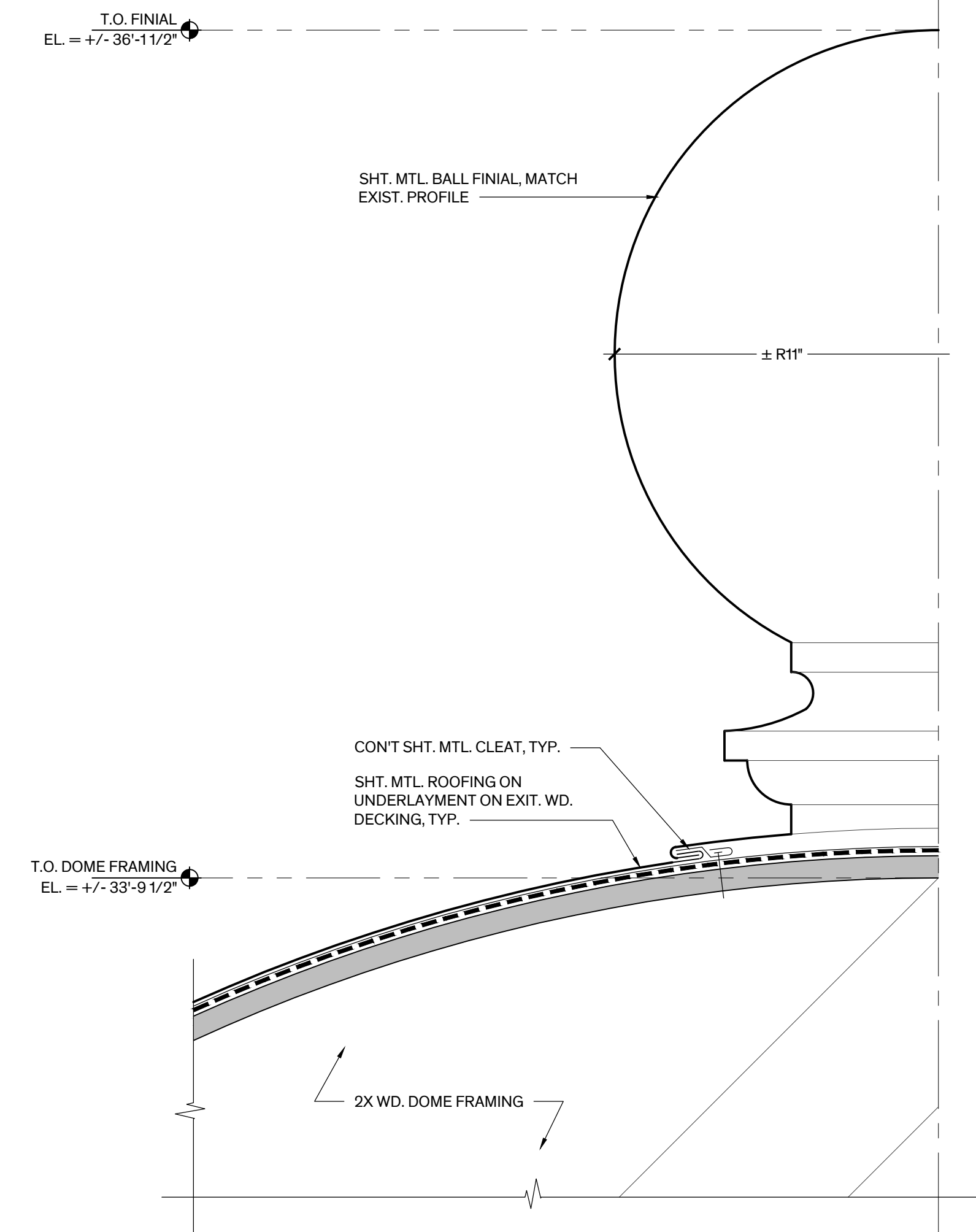
## LEGEND

EXIST. CONSTRUCTION



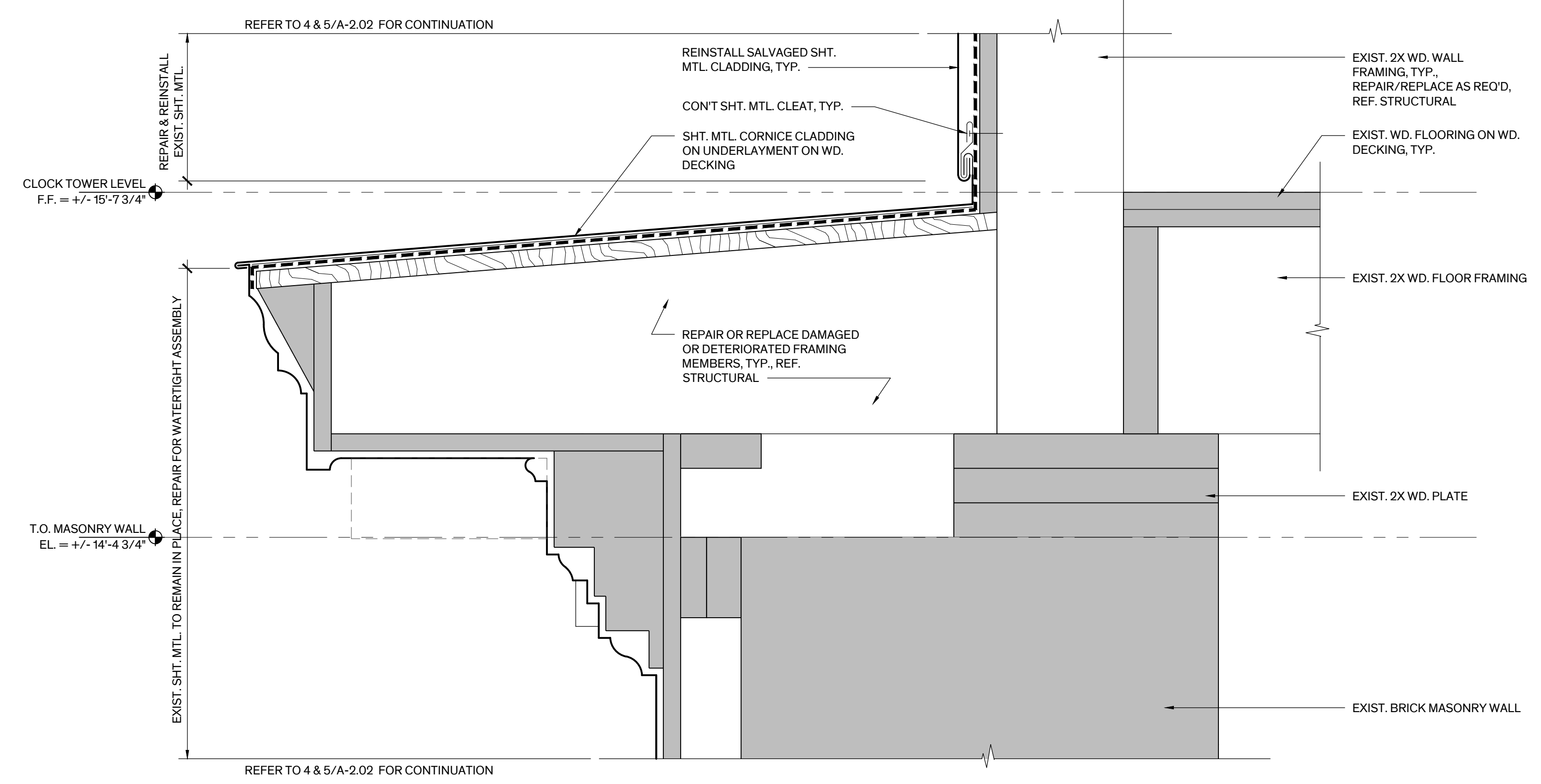
### 4 Det. at Intermediate Cornice

Scale: 3" = 1'-0"



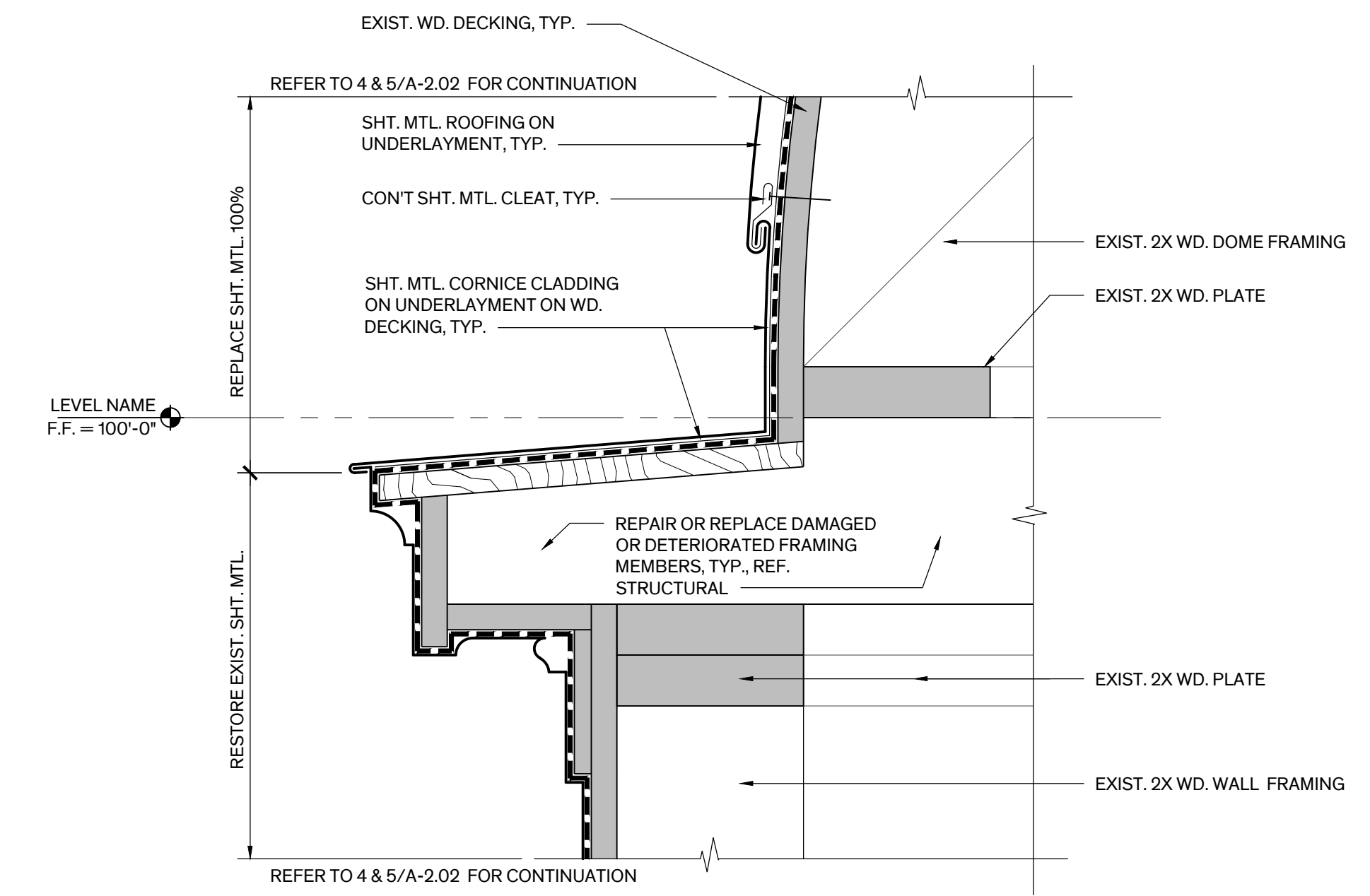
### 2 Ball Finial Det.

Scale: 3" = 1'-0"



### 3 Det. at Lower Cornice

Scale: 3" = 1'-0"



### 1 Det. at Base of Dome

Scale: 3" = 1'-0"



BASTROP COUNTY COURTHOUSE, TOWER REPAIRS

804 Pine Street  
Bastrop, TX  
78602

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#### REVISION HISTORY

- Issued for Bid June 13, 2023

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Architexas No. 2250 Date June 13, 2023

Sheet Name Sheet Metal Details

Sheet Number

COORDINATION

- 1. Only large openings in structural framing members are shown on the structural drawings. However, all sleeves, embeds, inserts, openings and frames that are necessary for the work shall be provided...

DESIGN LOADS

- 1. Live Loads
a. Roof 20 psf
b. Stairs 100 psf
c. Attic 60 psf
d. Partition at areas with 80 psf live load or less 15psf

SUBSTITUTIONS

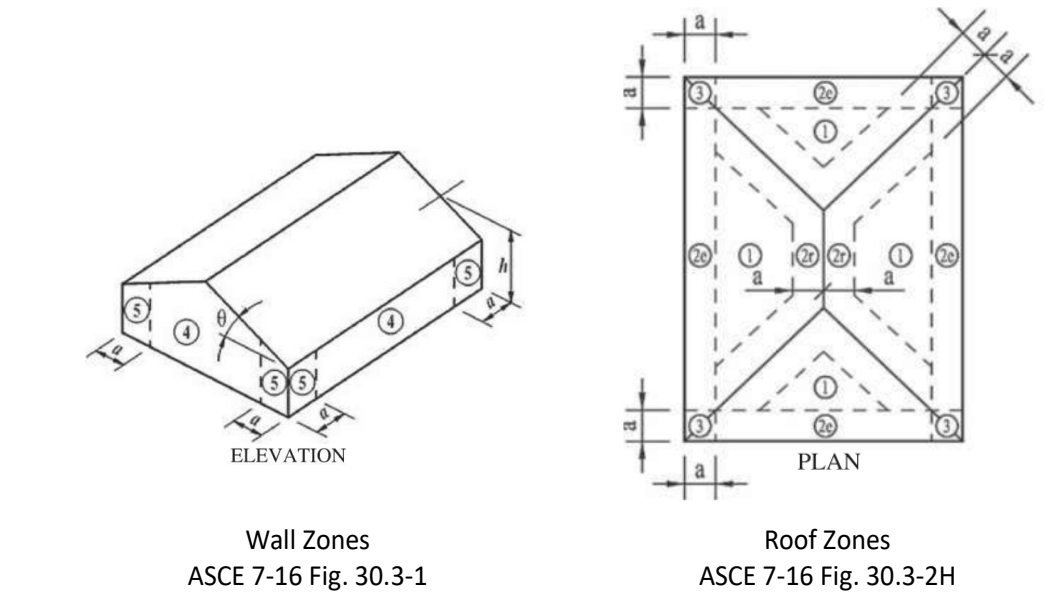
- 1. All requests for substitutions of materials or details shown in the contract documents shall be submitted for approval during the bidding period.

CODES

- 1. IBC 2018 International Building Code and 2018 International Existing Building Code with City of Bastrop admendments.
2. Wind and Earthquake Loads: Minimum Design Loads and Associated Criteria for Buildings and Other Structures...

SUBMITTALS

- 1. Shop drawings shall be prepared for all structural items and submitted for review by the Engineer. Contract Drawings shall not be reproduced and used as shop drawings.
2. The Contractor shall review shop drawings for compliance with the contract documents and shall certify that he has done so by a stamp noting that the drawings have been 'Approved'...



- 5. Floor and roof live loads noted above have been reduced in accordance with the building code.

ADHESIVE ANCHORS

- 1. Adhesive anchors shall only be used where specified on the drawings. The Contractor shall obtain approval from the Engineer of record prior to using the anchors for missing or misplaced cast-in-place anchors.
2. Unless otherwise noted, size and depth of the adhesive anchors specified in the drawings are based on HAS rods epoxy doweled with HIT-HY 200-R or HIT-RE 500 V3, Hilti Fastening Systems.

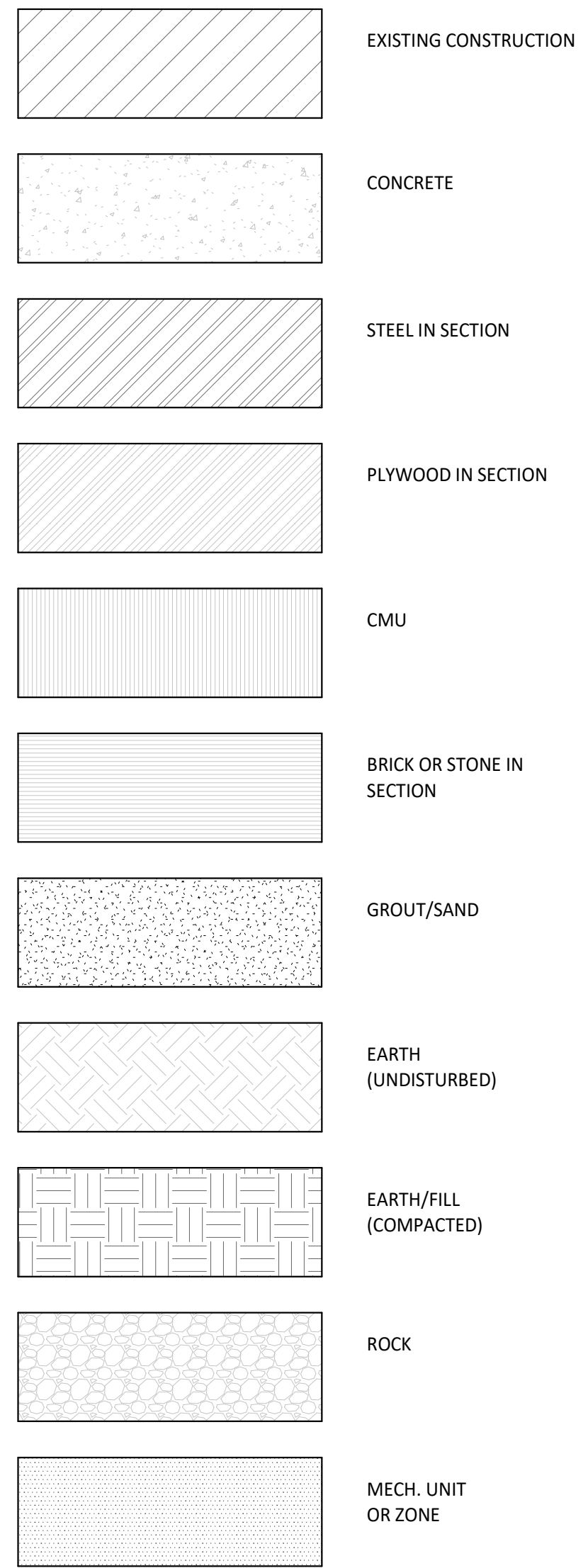
TIMBER FRAMING

- 1. Unless otherwise noted, all structural framing lumber shall be clearly marked No. 2 Southern Yellow Pine or Douglas Fir-Larch, except that non-loadbearing interior walls may be stud grade Southern Yellow Pine, Douglas Fir-Larch, or Spruce-Pine-Fir.
2. Studs shall be 2x6's at 16" on center, typical, unless noted otherwise.

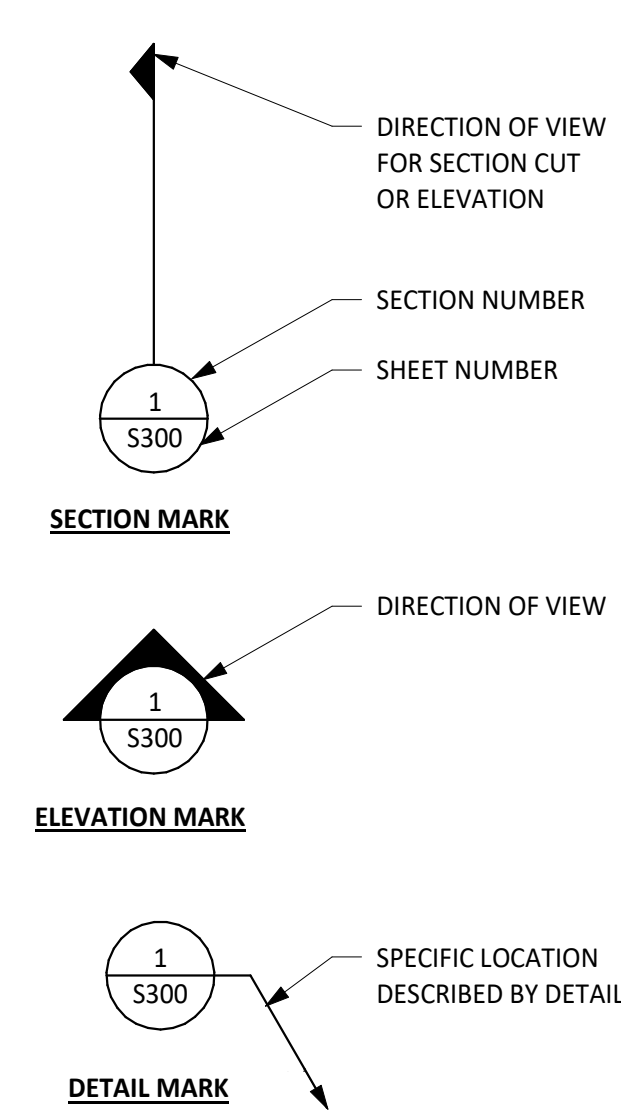
STRUCTURAL ABBREVIATIONS

Table of structural abbreviations including ADD'L, ADJ., AGGR., ALT., ANCHOR ROD, ARCHITECT (URAL), AIR CONDITIONER, AIR HANDLING UNIT, APPROXIMATE (LY), AXIAL LOAD, BACK FACE, BEAM, BEARING, BETWEEN, BLOCKING, BLOCK-OUT, BOTTOM, BOTTOM OF, BOTTOM OF STEEL, BRICK LEDGE, BRIDGING, BUILDING, BUILDING LINE, CAST-IN-PLACE, CENTER LINE, CENTER LINE OF STEEL, CENTER OF GRAVITY, CLEAR (ANCE), COLUMN, COMPLETE JOINT PENETRATION, COMPRESSION, CONCRETE, CONCRETE MASONRY UNIT, CONNECTIONS, CONTINUOUS, CONTRACTOR, CONTROL JOINT, CONSTRUCTION, CONSTRUCTION JOINT, COVER PLATE, DEFORMED BAR ANCHOR(S), DETAIL, DEAD LOAD, DIAGONAL, DIAMETER, DIMENSION(S), DIRECTION, DRAWING(S), DOUBLE, DOUBLE EXTRA STRONG, DOWEL(S), EACH, EACH FACE, EACH WAY, ELECTRICAL, ELEVATION, ELEVATOR, EMBEDMENT, ENGINEER, EQUAL, EQUIPMENT, EXPANSION, EXPANSION JOINT, EXISTING, EXTERIOR, EXTRA STRONG, FACE TO FACE, FABRICATE (ION)(OR), FAR SIDE, FINISH(ED), FINISHED FLOOR, FIREPROOF, FLANGE, FLOOR, FLOOR DRAIN, FOOTING, FOUNDATION, GALVANIZED, GENERAL, GLUE LAMINATED TIMBER, GRADE, GRADE BEAM, HOT DIP (PED), HEADED STUD(S), HEADER, HEIGHT, HORIZONTAL, HOOK, INSIDE DIAMETER, INSIDE FACE, INTERIOR, INTERMEDIATE, JOINT, JOIST(S), LAMINATED VENEER LUMBER, LAMINATED STRAND LUMBER, LIGHTWEIGHT, LIVE LOAD, LONGITUDINAL, LONG LEG HORIZONTAL, LONG LEG VERTICAL, LONG SIDE HORIZONTAL, LONG SIDE VERTICAL, MANUFACTURE(R), MASONRY, MATERIAL, MECHANICAL, METAL, MEZZANINE, MIDDLE, MISCELLANEOUS, MOMENT, MOMENT CONNECTION(S), NEAR FACE, NOMINAL, NON-SHRINK, NORMAL WEIGHT, NOT IN CONTRACT, NOT TO SCALE, ON CENTER, OPENING(S), OPPOSITE, OPPOSITE HAND, ORIENTED STRAND BOARD, OUTSIDE FACE, OUTSIDE DIAMETER, PARALLEL, PARALLEL STRAND LUMBER, PARTIAL JOINT PENETRATION, PENETRATION, PERPENDICULAR, PIECE, PLATE, PLYWOOD, POINT, POST-TENSION (ED), POUND(S) X1000, POUNDS PER LINEAR FOOT, POUNDS PER SQUARE FOOT, POUNDS PER CUBIC FOOT, POUNDS PER CUBIC YARD, PRECAST CONCRETE, PREFABRICATED, PRELIMINARY, PRESSURE, PROJECT (ION), RADIUS, REFER TO / REFERENCE, REINFORCE (ING) (ED) (MENT), REMAINDER, REQUIRE, REQUIRED, RETURN, ROOF DRAIN, ROUGH OPENING, ROUND, SCHEDULE (D), SECTION, SHEAR FORCE, SHEET, SIMILAR, SPACE(S) (ING), SPECIFICATION(S), SPECIFIED, SQUARE, STAINLESS STEEL, STANDARD, STEEL, STIFFENER, STRAIGHT, STIRRUPS, STRUCTURE OR STRUCTURAL, SUPPORT(S), TENSION, THICK (NESS), TONGUE AND GROOVE, TOP AND BOTTOM, TOP OF BEAM, TOP OF FOOTING, TOP OF PIER, TOP OF PIER CAP, TOP OF STEEL, TOP OF STRUCTURAL CONCRETE, TOP OF WALL, TREATED, TYPICAL, UNLESS OTHERWISE NOTED, VERTICAL, VOLUME, WATER STOP, WELDED WIRE MESH, WIDE FLANGE, WIND BRACE, WIND LOAD, WITH, WITHOUT, WATER PROOFING, WORK POINT, WOOD.

MATERIALS LEGEND



DRAFTING SYMBOLS



PLAN/DETAIL DESIGNATION

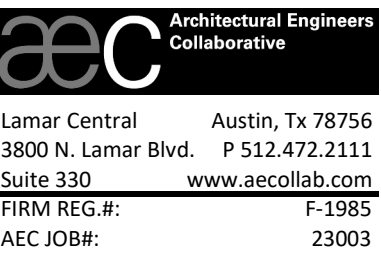
1. PLAN NAME/DETAIL TITLE
SCALE:

STRUCTURAL DRAWING TYPES

- S1 ... GENERAL NOTES
S2 ... PLANS, ELEVATIONS, & SECTIONS
S3 ... CONCRETE CONSTRUCTION
S4 ... MASONRY CONSTRUCTION
S5 ... STEEL CONSTRUCTION
S6 ... WOOD CONSTRUCTION

Architexas

Austin | Dallas | San Antonio | www.architexas.com
2900 S. Congress Ave. Suite Austin, Texas 78704
p 512.444.4220



BASTROP COUNTY COURTHOUSE, TOWER RESTORATION

804 Pine Street Bastrop, TX 78602

Owner No. 00000

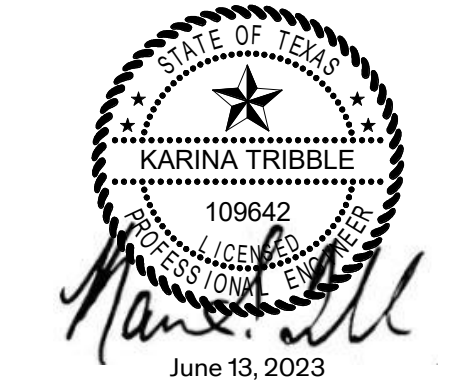
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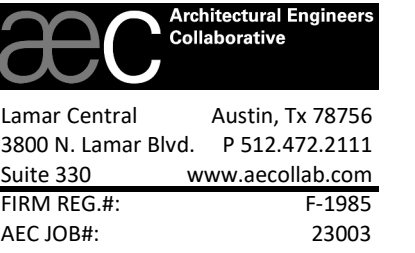
Architexas No. 225 Date June 13, 2023

Sheet

GENERAL NOTES

Sheet

S-1.00



## BASTROP COUNTY COURTHOUSE, TOWER RESTORATION

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Bastrop, TX  
78602

Owner No.  
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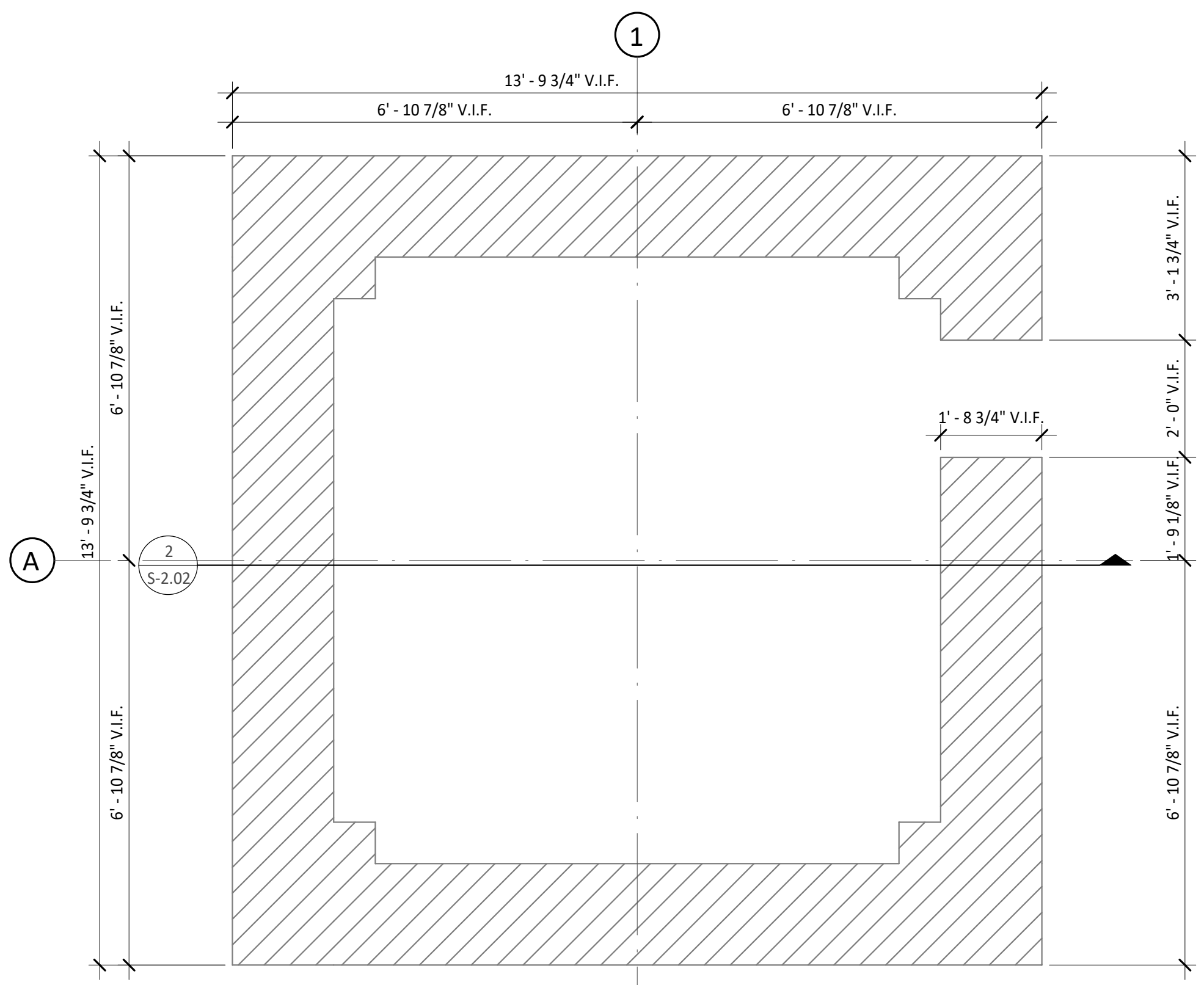


Architexas No. 225 Date June 13, 2023

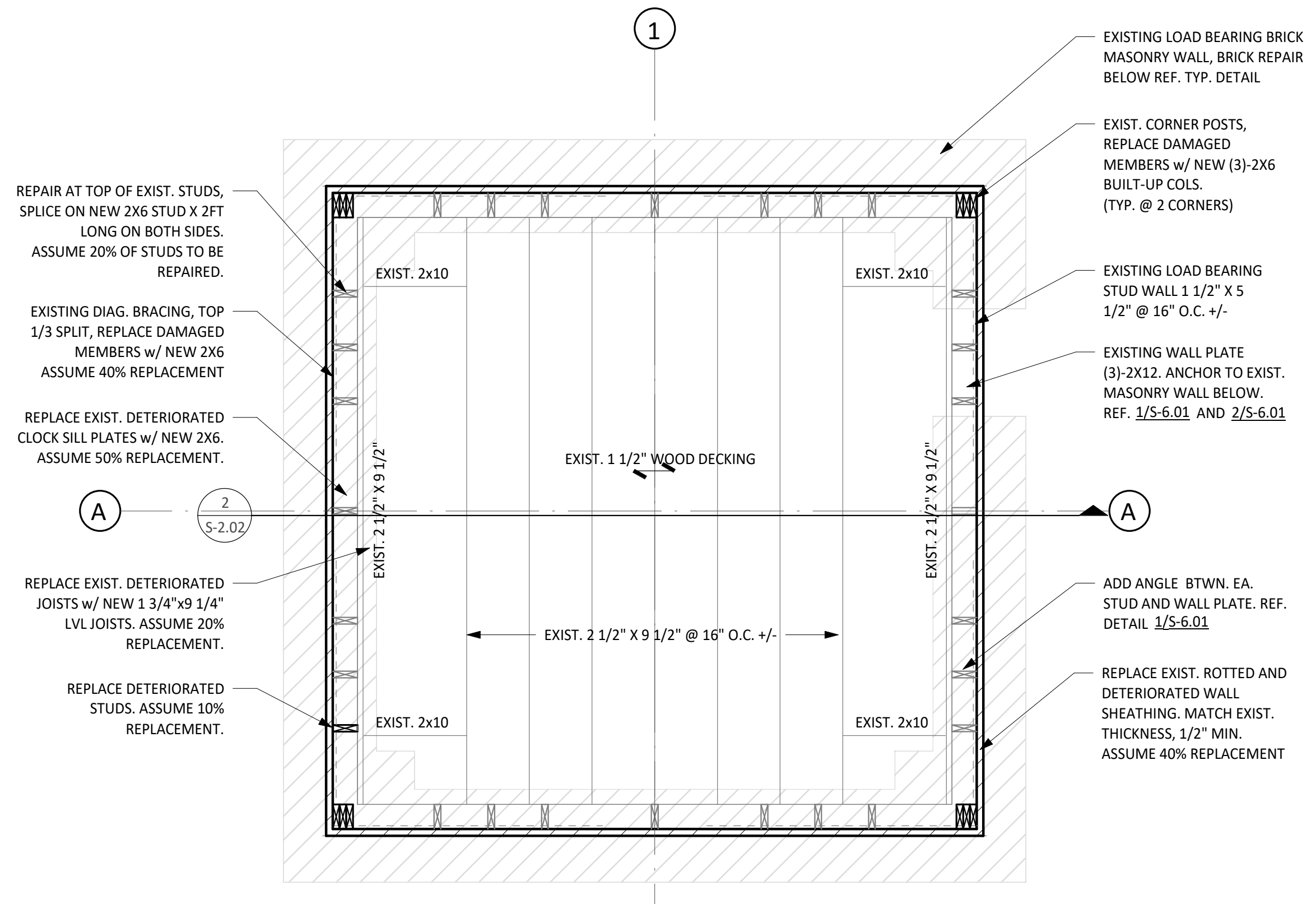
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## TOWER FLOOR PLANS

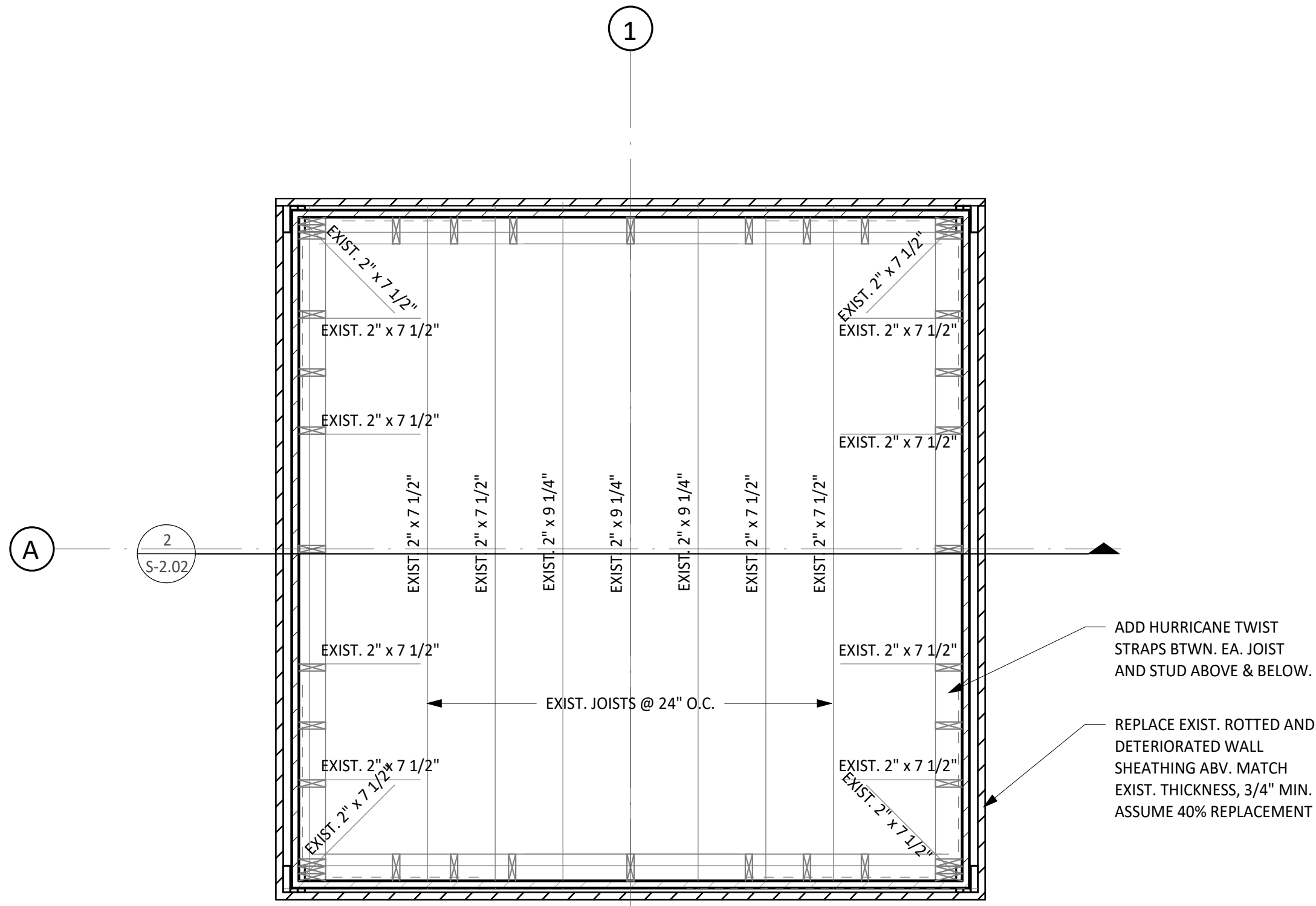
Sheet  
**S-2.01**



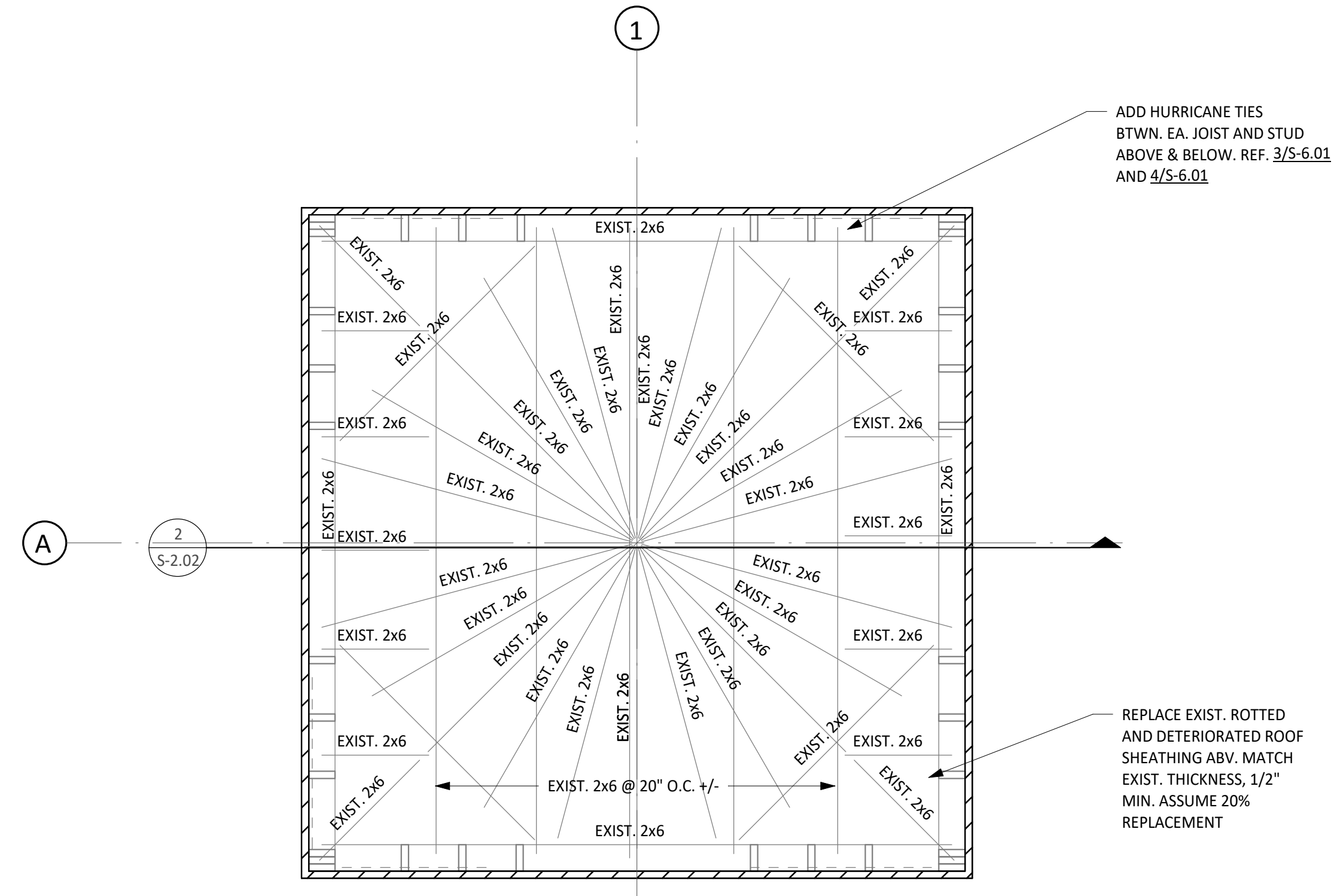
**1 TOWER BASE FLOOR FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



**2 TOWER FLOOR FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



**3 TOWER CEILING FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



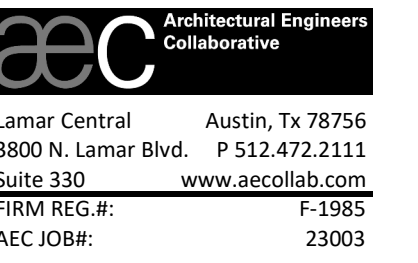
**4 TOWER ROOF FRAMING PLAN**  
SCALE: 1/2" = 1'-0"

**PLAN LEGEND:**

- EXISTING MASONRY WALL
- INDICATES DIRECTION OF SPAN OF STRUCTURAL SHEATHING

**FRAMING PLAN NOTES:**

- TOP OF STRUCTURAL CONCRETE ELEVATION IS DENOTED AS FOLLOWS UNLESS OTHERWISE NOTED:  
T.O.S.C. EL.=XXX'-XX" (AREA ELEVATION)      T.O.S.C. EL.=XXX'-XX" (SPOT ELEVATION)
- FOR FINISH FLOOR ELEVATIONS (F.F. EL.), REFER TO ARCHITECTURAL DRAWINGS. ELEVATIONS NOTED ON PLAN ARE FOR REFERENCE ONLY. REFER TO AND VERIFY ALL DIMENSIONS AND ELEVATIONS w/ ARCHITECTURAL DRAWINGS.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF FLOOR RECESSES, DROPS AND SLOPES NOT DIMENSIONED ON PLAN.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR LOCATIONS AND DIMENSIONS OF PENETRATIONS NOT SHOWN OR DIMENSIONED ON PLAN.



## BASTROP COUNTY COURTHOUSE, TOWER RESTORATION

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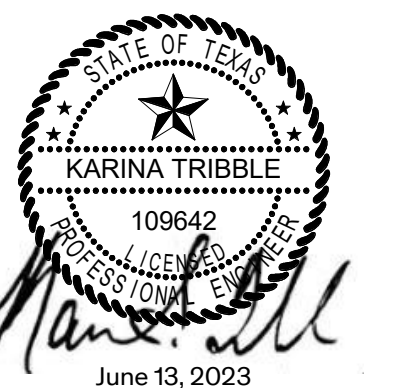
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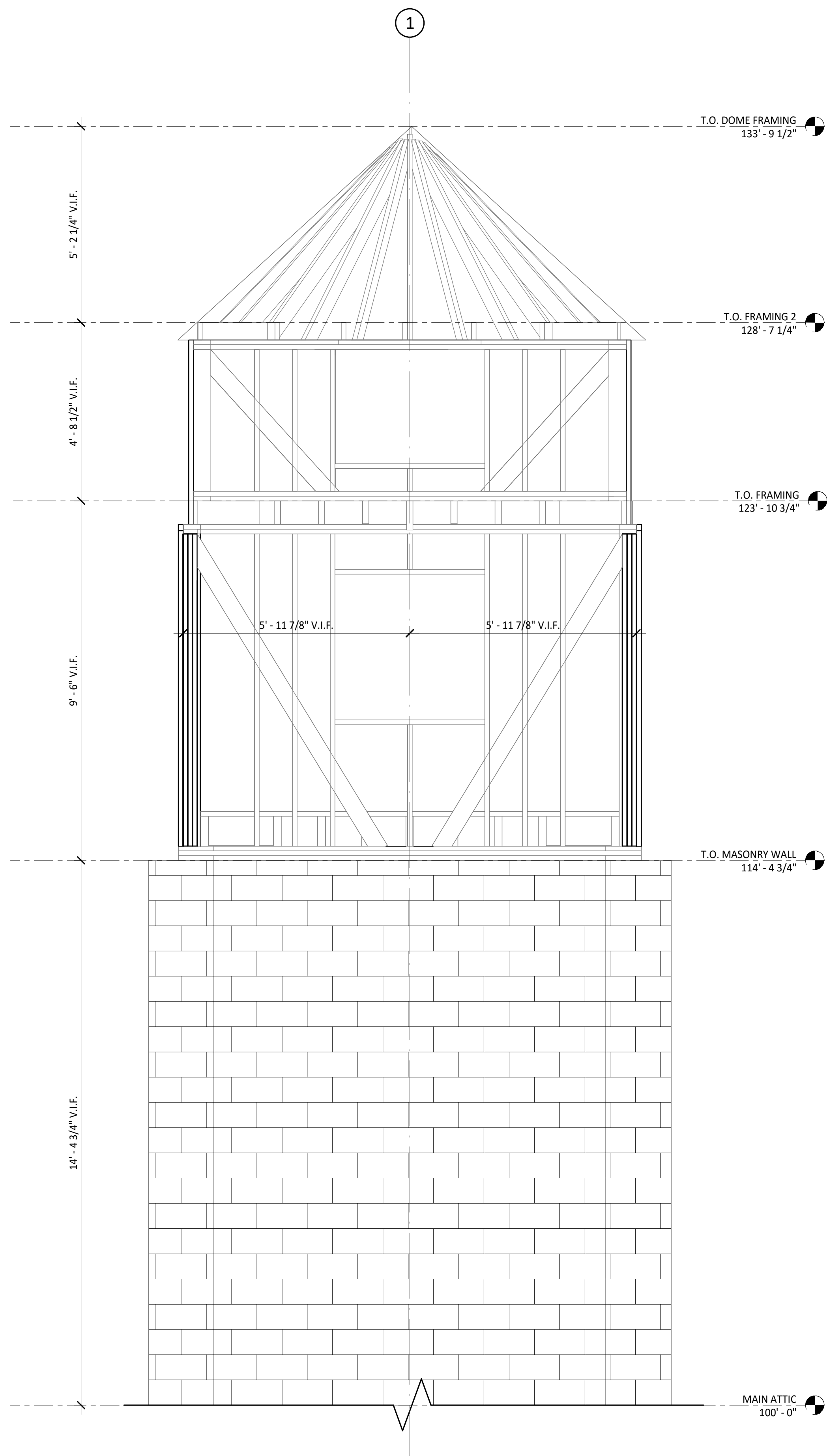


Architexas No. 225 Date June 13, 2023

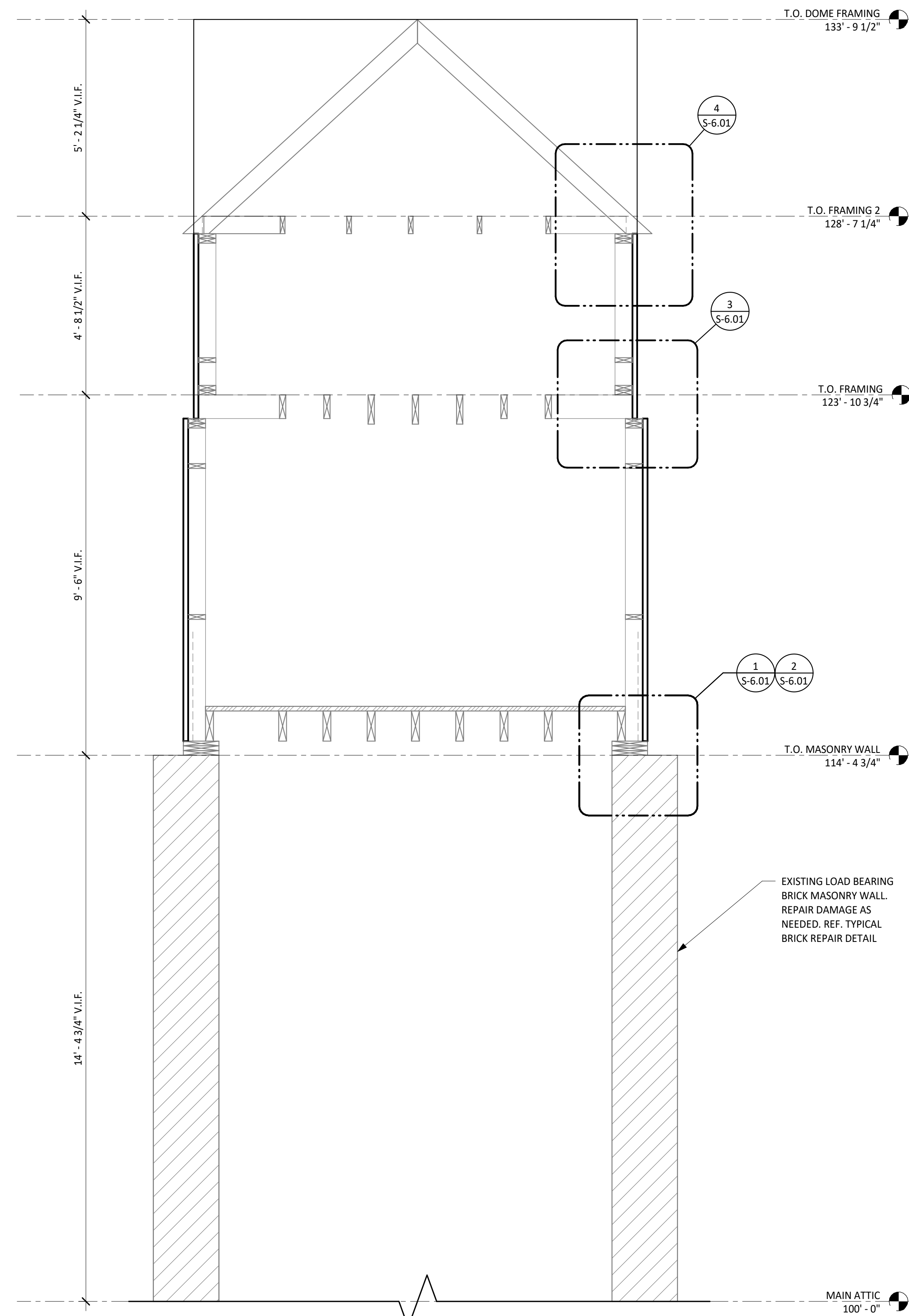
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## TOWER EL. & SECTION

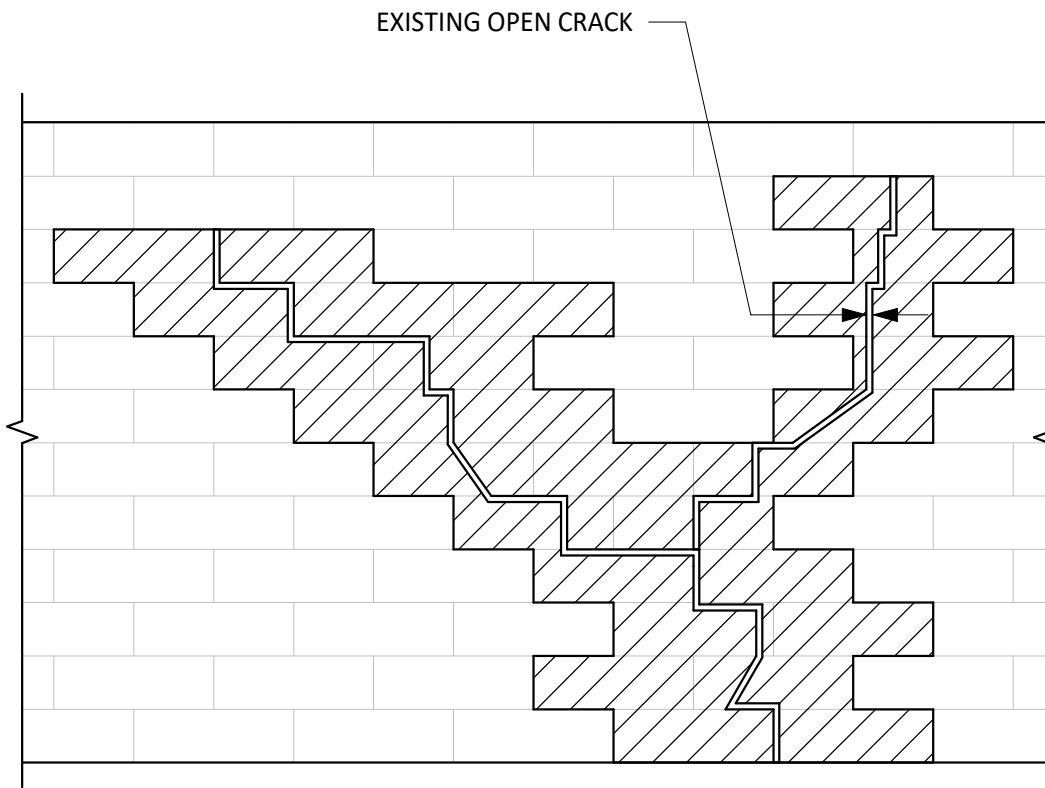
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**S-2.02**




**1** TOWER ELEVATION  
SCALE: 1/2" = 1'-0"



**2** TOWER SECTION  
SCALE: 1/2" = 1'-0"



**NOTES:**

1.  DENOTES BRICK TO BE REPLACED. WHERE CRACK IS THRU WALL, REPLACE ALL WYTHES OF BRICK ON EA. SIDE OF CRACK TO 1ST MORTAR JOINT. REPLACE LOOSE AND CRACKED BRICKS. REPLACE EXISTING HEADERS w/ NEW HEADERS. WHERE CRACK IS ONLY IN OUTER WYTBE, REPLACE ONLY OUTER WYTBE.
2. WHERE CRACK IS OPEN AND 1/4" OR LESS AND IS PRESENT ONLY IN THE OUTER WYTBE AND ONLY IN JOINTS, RAKE AND REPOINT JOINTS ONLY.

## 1 REPAIR IN BRICK MASONRY

SCALE: 1" = 1'-0"



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**Sheet**

## TYP. MASONRY DETAILS

**Sheet**

# S-4.00



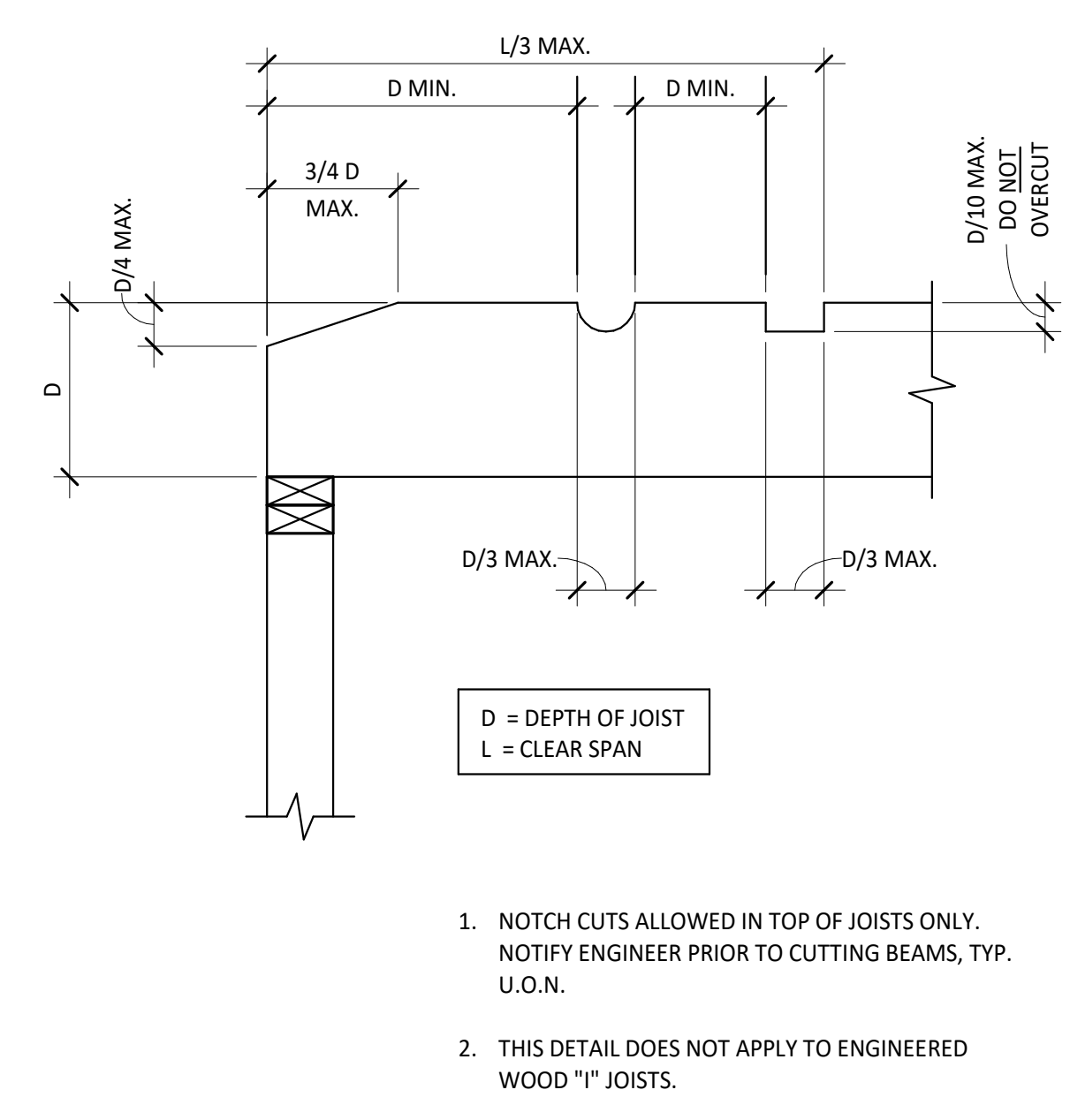
NAILING SCHEDULE	
CONNECTION	NAILING
1. FLOOR JOIST TO BAND JOIST, FACE NAIL	3-16d
2. FLOOR JOIST TO SILL PLATE OR GIRDER, TOE NAIL	3-8d
3. BRIDGING TO JOISTS, TOE NAIL OR END NAIL EACH END	2-8d
4. SILL PLATE TO BAND JOIST OR BLOCKING, FACE NAIL	16d AT 16" O.C.
5. TOP PLATE TO STUD, END NAIL	2-16d
6. STUD TO SILL PLATE	4-8d TOE NAIL OR 2-16d EACH END
7. DOUBLE STUDS, FACE NAIL	16d AT 24" O.C. MAX.
8. DOUBLE TOP PLATES, FACE NAIL	16d AT 16" O.C.
9. TOP PLATES AND INTERSECTIONS, FACE NAIL	2-16d OR 3-10d
10. TOP PLATES AND LAPS, FACE NAIL	8-16d
11. CONTINUOUS HEADER-TWO PIECES	16d AT 16" O.C. ALONG EACH EDGE
12. CEILING JOISTS TO PLATE, TOE NAIL	3-8d
13. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
14. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
15. RAFTER TO PLATE, TOE NAIL	3-8d
16. 3/4" LET-IN BRACE TO EACH STUD AND PLATES, FACE NAIL	2-8d
17. BUILT-UP CORNER STUDS	16d AT 24" O.C.
18. BUILT-UP GIRDER AND BEAMS, THREE MEMBERS	20d AT 32" O.C. AT TOP AND BOTTOM (STAGGERED) 2-20d AT ENDS

- NOTES:**
1. PROVIDE NAILING CONNECTIONS INDICATED IN SCHEDULE UNLESS DETAILED OR NOTED OTHERWISE.

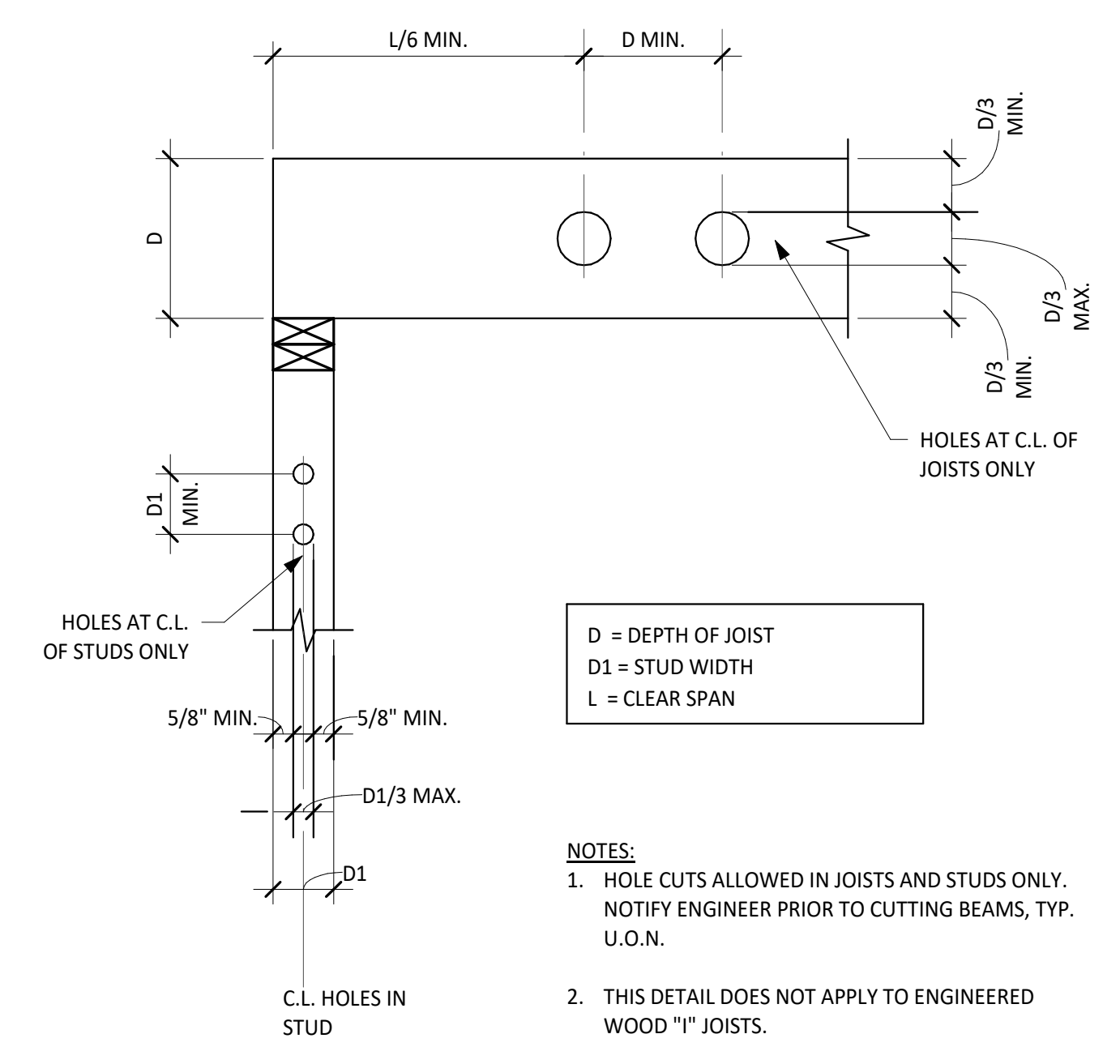
**1** NAILING SCHEDULE  
 SCALE: 1" = 1'-0"

- WOOD CONSTRUCTION CONNECTOR NOTES:**
1. ALL WOOD CONSTRUCTION CONNECTORS SHOWN ARE SIMPSON STRONG-TIE CONNECTORS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. (OR APPROVED EQUIVALENT). BEFORE SUBSTITUTING ANOTHER BRAND, CONFIRM LOAD CAPACITY BASED ON RELIABLE PUBLISHED TESTING DATA OR CALCULATIONS AND SUBMIT TO ARCHITECTURAL ENGINEERS COLLABORATIVE.
  2. ALL SPECIFIED FASTENERS SHALL BE INSTALLED ACCORDING TO THE DETAILS AND THE MANUFACTURER'S INSTRUCTIONS. ALL HOLES IN CONNECTORS SHALL BE PROPERLY NAILED TO THE WOOD STRUCTURE. CONTACT ARCHITECTURAL ENGINEERS COLLABORATIVE FOR FASTENERS NOT SHOWN. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL.
  3. BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
  4. INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION. USE PROPER SAFETY EQUIPMENT.
  5. WELDING GALVANIZED STEEL MAY PRODUCE HARMFUL FUMES; FOLLOW PROPER WELDING PROCEDURES AND SAFETY PRECAUTIONS. WELDING SHOULD BE IN ACCORDANCE WITH AWS STANDARDS.
  6. PNEUMATIC OR POWDER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS. NAIL GUNS MAY BE USED TO INSTALL CONNECTORS, PROVIDED THE CORRECT QUANTITY AND TYPE OF NAILS ARE PROPERLY INSTALLED IN THE NAIL HOLES. GUNS WITH NAIL HOLE-LOCATING MECHANISMS SHOULD BE USED. FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND USE THE APPROPRIATE SAFETY EQUIPMENT.
  7. UNLESS OTHERWISE NOTED, BOLTS AND NAILS SHALL NOT BE COMBINED. SIMILARLY, WELDS SHALL NOT BE COMBINED WITH BOLTS OR NAILS.
  8. 8d, 10d, 12d, 16d AND 20d SPECIFY COMMON NAILS AND MAY NOT BE REPLACED WITH BOX OR SINKER NAILS UNLESS OTHERWISE SPECIFIED.
  9. BOLTS SHALL BE ASTM A307, GRADE A OR BETTER.
  10. UNLESS OTHERWISE NOTED, BENDING STEEL IN THE FIELD MAY CAUSE FRACTURES AT THE BEND LINE. FRACTURED STEEL WILL NOT CARRY LOAD AND MUST BE REPLACED.
  11. A FASTENER THAT SPLITS THE WOOD WILL NOT SUPPORT THE DESIGN LOAD. IF THE WOOD HAS A TENDENCY TO SPLIT, PRE-BORE HOLES TO 3/4 OF THE NAIL DIAMETER PER THE NDS.

**2** WOOD CONSTRUCTION CONNECTOR NOTES  
 SCALE: 1" = 1'-0"



**3** NOTCHES IN WOOD  
 SCALE: 1" = 1'-0"



**4** HOLES IN WOOD  
 SCALE: 1" = 1'-0"



**BASTROP COUNTY COURTHOUSE, TOWER RESTORATION**

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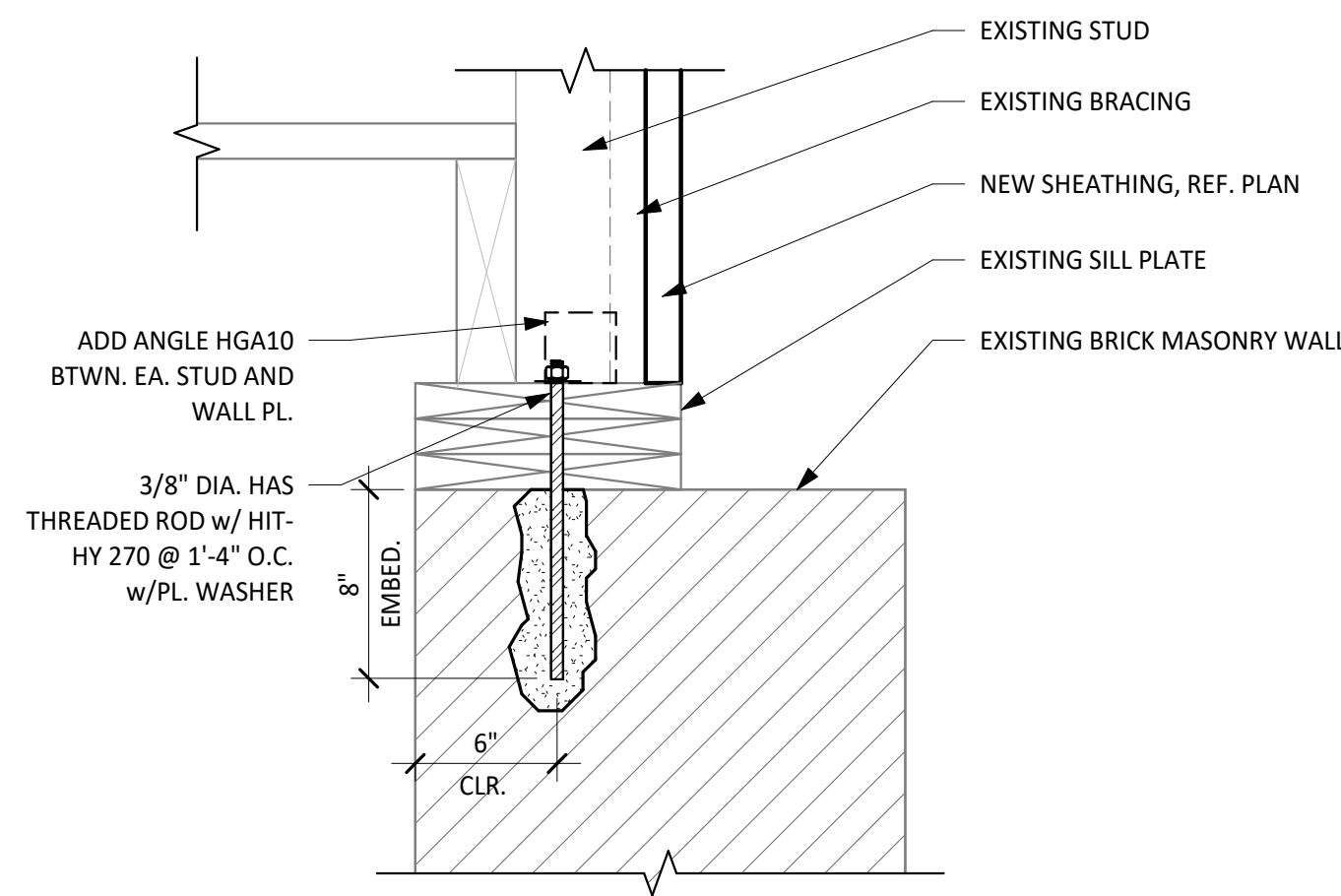
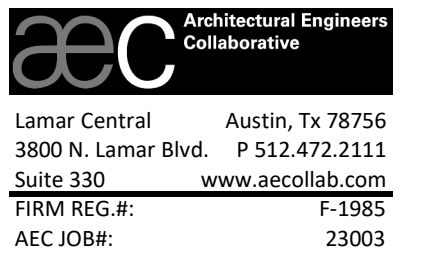
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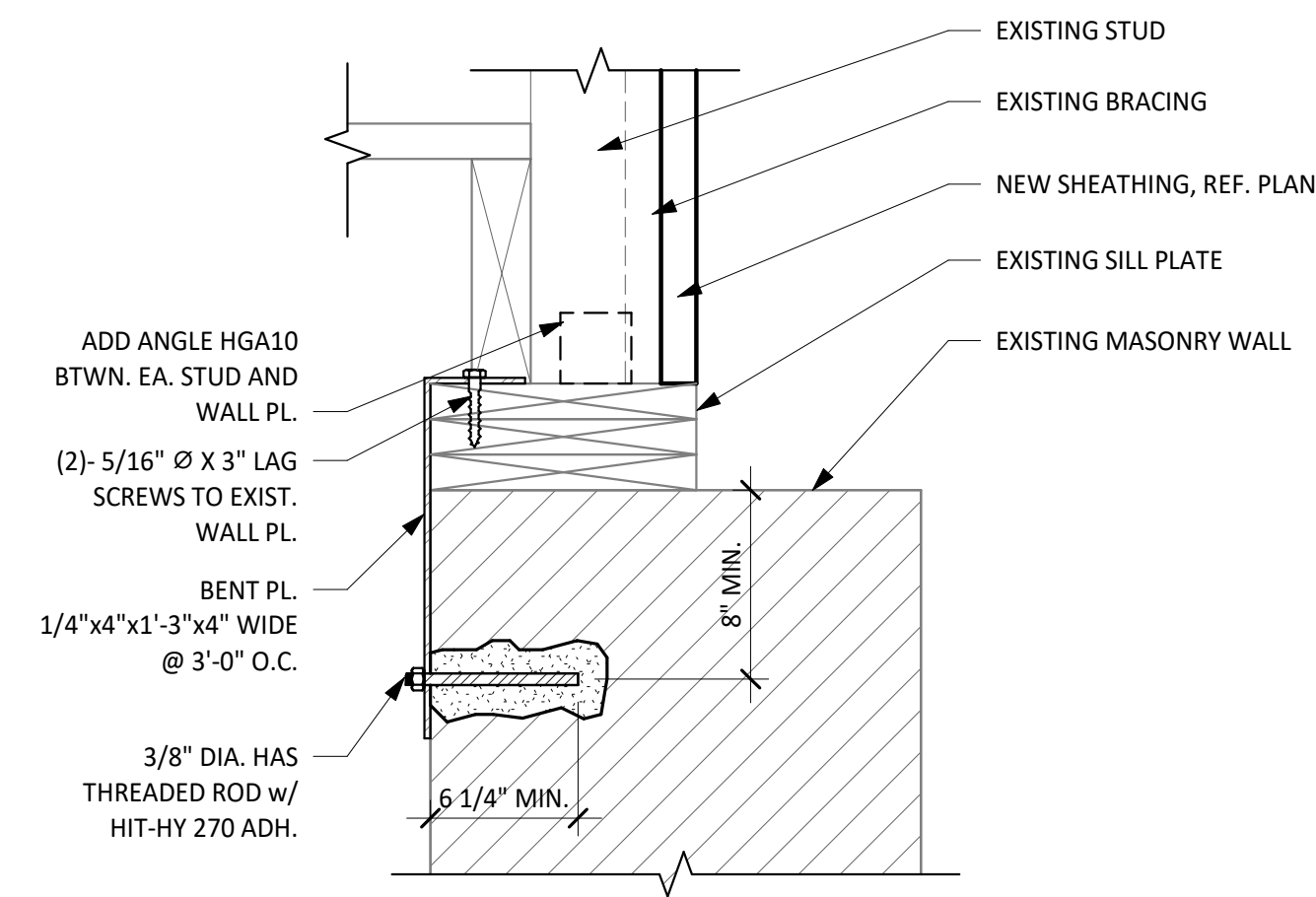
June 13, 2023

**Architexas No.** 225 **Date** June 13, 2023

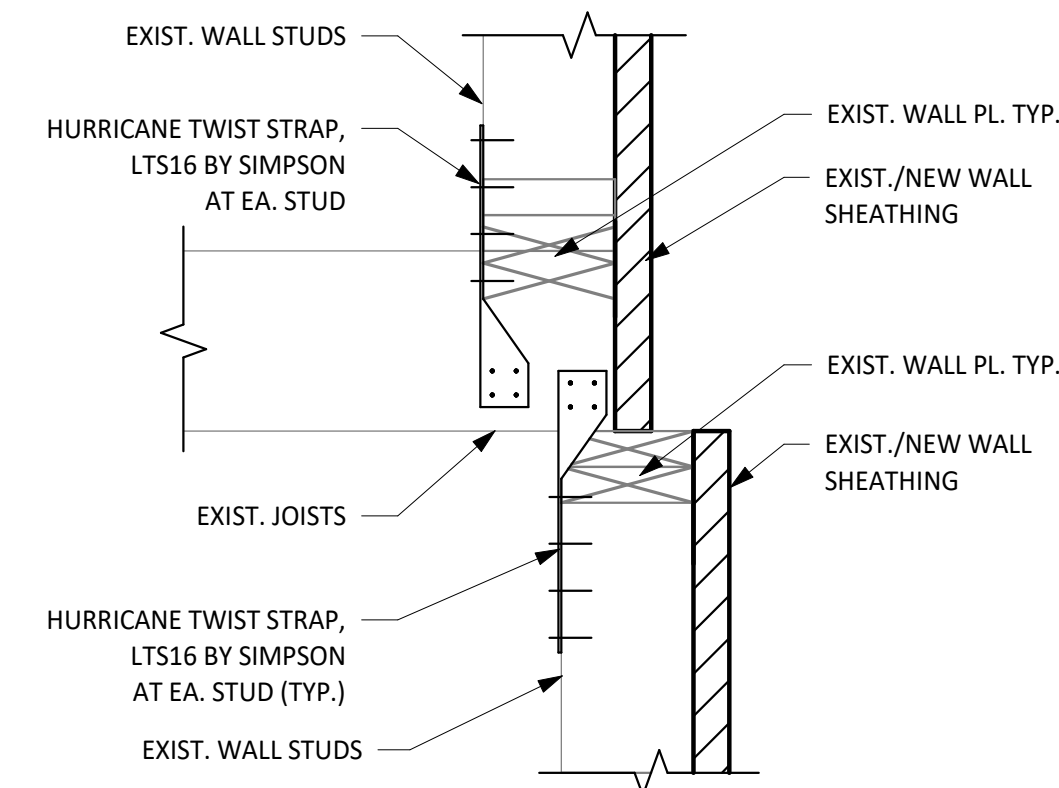
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**TYP. WOOD DETAILS**  
**Sheet**  
**S-6.00**



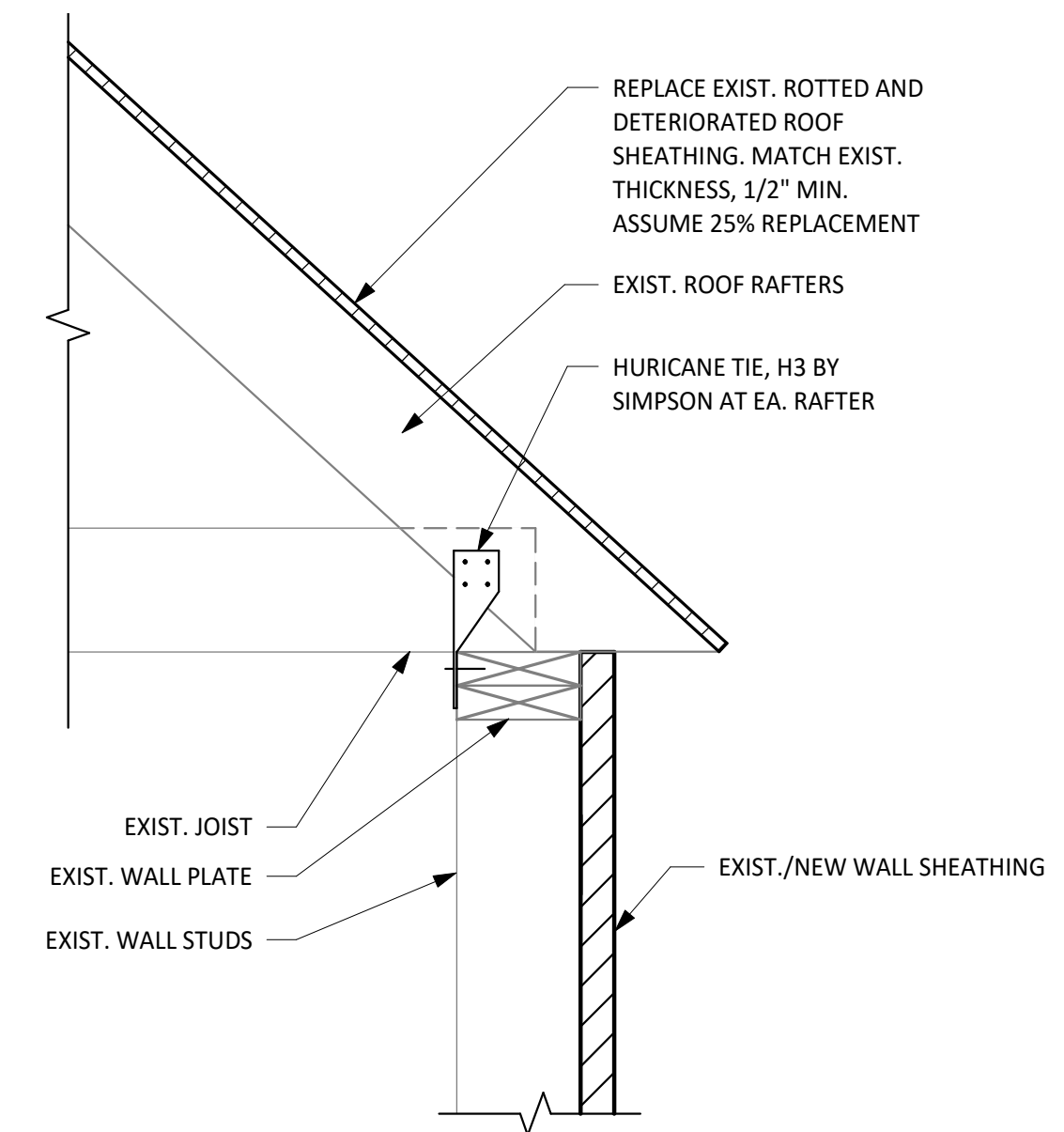
**1** DETAIL - SILL PLATE AT MASONRY WALL  
SCALE: 1 1/2" = 1'-0"



**2** DETAIL - SILL PLATE AT MASONRY WALL - ALTERNATE  
SCALE: 1 1/2" = 1'-0"



**3** DETAIL - HURRICANE TIES AT EXISTING FRAMING  
SCALE: 1 1/2" = 1'-0"



**4** DETAIL - HURRICANE TIES AT EXISTING ROOF FRAMING  
SCALE: 1 1/2" = 1'-0"



## BASTROP COUNTY COURTHOUSE, TOWER RESTORATION

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Architexas No. 225 Date June 13, 2023

Sheet

## WOOD DETAILS

Sheet  
**S-6.01**







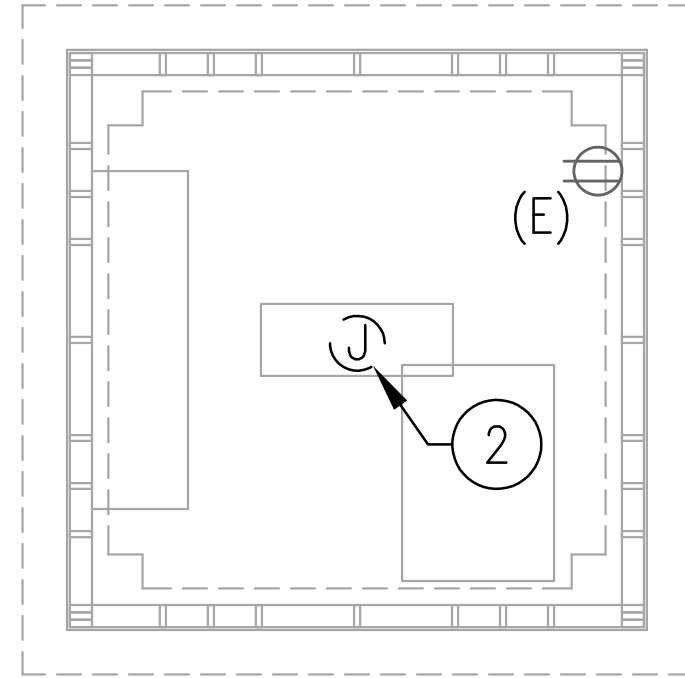
DBR Project Number		235003.000
EP	BB/LI	JA CE GC

### GENERAL ELECTRICAL NOTES:

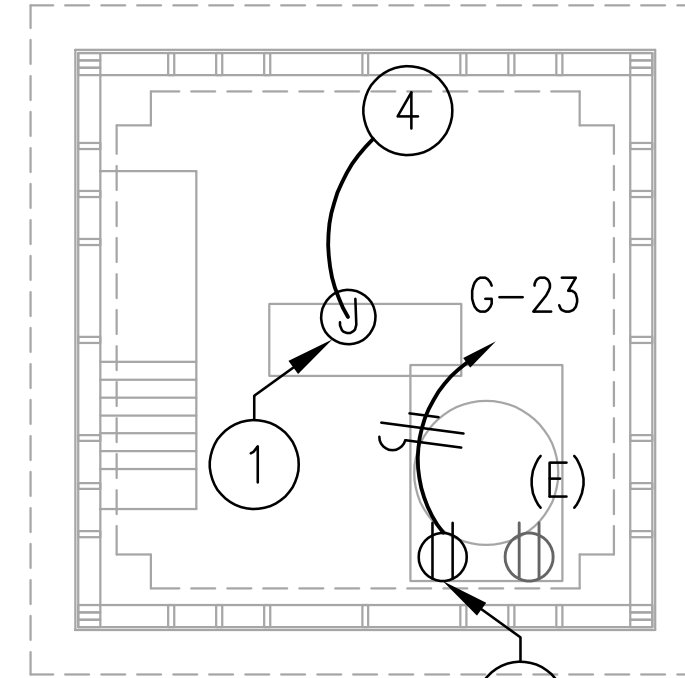
- A. REFER TO TOWER FLOOR PLAN ON SHEET A-2.01, SPECIFICATION SECTION 01230 AND SECTION 11100 FOR COMPLETE SCOPE OF WORK. COORDINATE WITH CLOCK RESTORATION SPECIALIST.
- B. ELECTRICAL DEVICES SHOWN ARE NOT EXACT. ALL DEVICE LOCATIONS SHALL BE VERIFIED WITH ARCHITECT.
- C. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES FOR ALL TECHNOLOGY, LOW VOLTAGE, ACCESS CONTROL SECURITY, SURVEILLANCE, AND OTHER DIVISION 27/28 SCOPE. REFER TO DIVISION 27/28 DRAWINGS AND SPECIFICATIONS FOR ALL WORK REQUIRED. OMISSION OF THIS SCOPE FROM DIV 28 SCOPE OF WORK IS PROHIBITED.
- D. PROVIDE LABELING OF ALL DEVICES, CONDUIT, PANELS, AND JUNCTION BOXES IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS.
- E. MULTI-WIRE HOME RUNS SHALL NOT BE ALLOWED. PROVIDE DEDICATED NEUTRALS FOR ALL CIRCUITS. SHARING CONDUIT IS PERMISSIBLE WHERE TOTAL CONDUCTOR AMPACITY DERATING HAS BEEN PERFORMED BY ELECTRICAL CONTRACTOR. THE NEUTRAL IS CONSIDERED CURRENT-CARRYING.
- F. ALL RECEPTACLES SHALL BE TAMPER RESISTANT TYPE. CONTRACTOR MAY PROVIDE NON-TAMPER-RESISTANT RECEPTACLES WHERE NOT REQUIRED PER CURRENT NEC ARTICLE 406.
- G. LABEL ALL CIRCUITS AT ALL JUNCTION BOXES AND OUTLETS (AS DEFINED BY NEC) WITH TYPE-WRITTEN LABEL IDENTIFYING CIRCUIT ON THE BACK OF DEVICE COVER PLATES AND ON COVER OF JUNCTION BOX. IF A BOX HAS MULTIPLE CIRCUITS WITHIN, LABEL ALL CIRCUITS.

### ELECTRICAL KEYED NOTES:

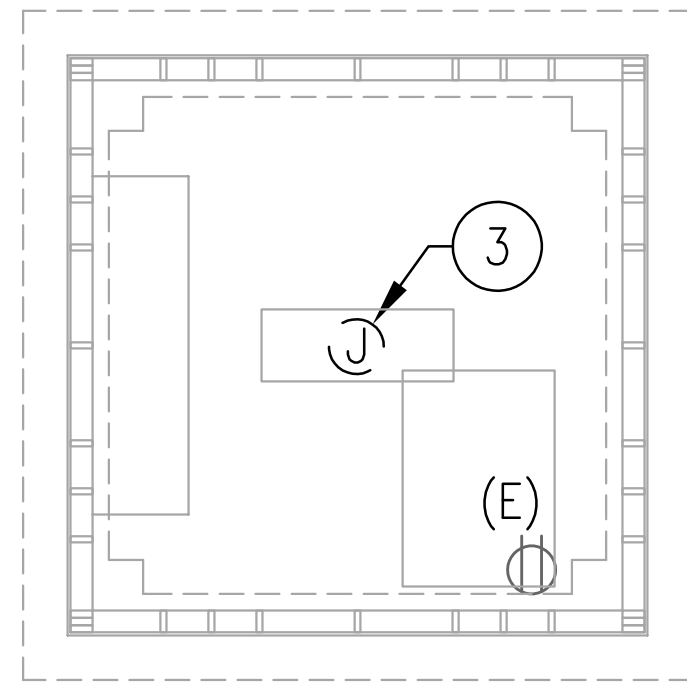
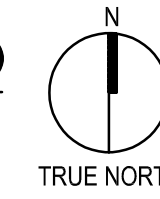
- 1. PROVIDE POWER TO ELECTRIC STRIKE. COORDINATE POWER REQUIREMENTS WITH CLOCK RESTORATION SPECIALIST.
- 2. BASE BID: DISCONNECT AND RECONNECT ELECTRICAL CONNECTION TO EXISTING CLOCKWORKS. ENSURE SYSTEM IS FULLY FUNCTIONING.
- 3. UPON ACCEPTANCE OF ALTERNATE BID #1, DEMOLISH ELECTRICAL CONNECTION TO EXISTING CLOCKWORKS AND PROVIDE (4) NEW ELECTRIC CLOCK MOTORS, (1) FOR EACH CLOCK FACE.
- 4. RECONNECT TO EXISTING CIRCUIT SERVING CLOCKWORK.



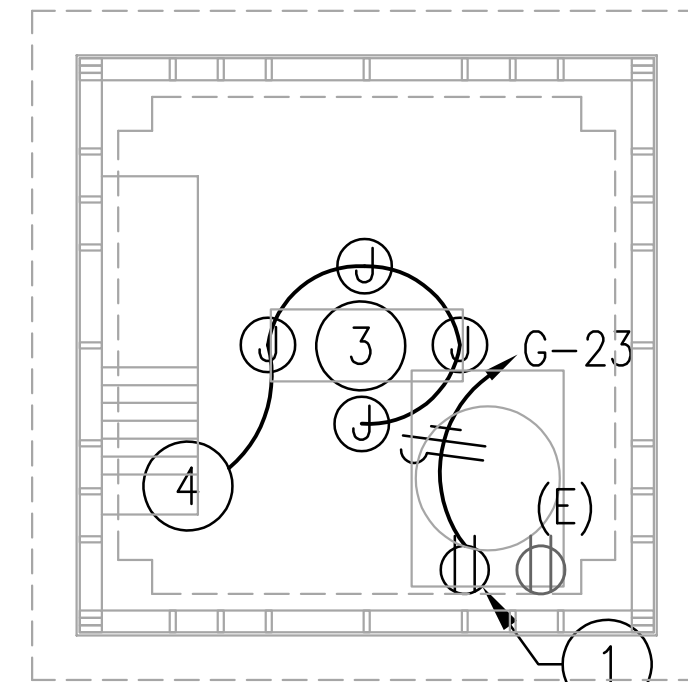
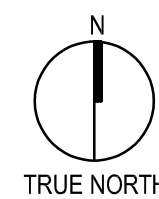
**1** TOWER POWER DEMO PLAN - BASE BID  
EP2.05 1/4"=1'-0"



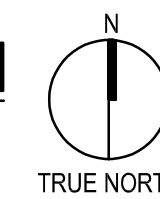
**2** TOWER POWER PLAN - BASE BID  
EP2.05 1/4"=1'-0"



**3** TOWER POWER DEMO PLAN - ALTERNATE BID #1  
EP2.05 1/4"=1'-0"



**4** TOWER POWER PLAN - ALTERNATE BID #1  
EP2.05 1/4"=1'-0"



BASTROP COUNTY COURTHOUSE,  
TOWER REPAIRS

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*Edward Puentes*  
06/13/2023

Architexas No. 2250 Date June 13, 2023

Sheet Name

CLOCK TOWER POWER PLANS

Sheet Number



DBR Project Number 235003.000

EP BB/LL JA CE GC



### BASTROP COUNTY COURTHOUSE, TOWER REPAIRS

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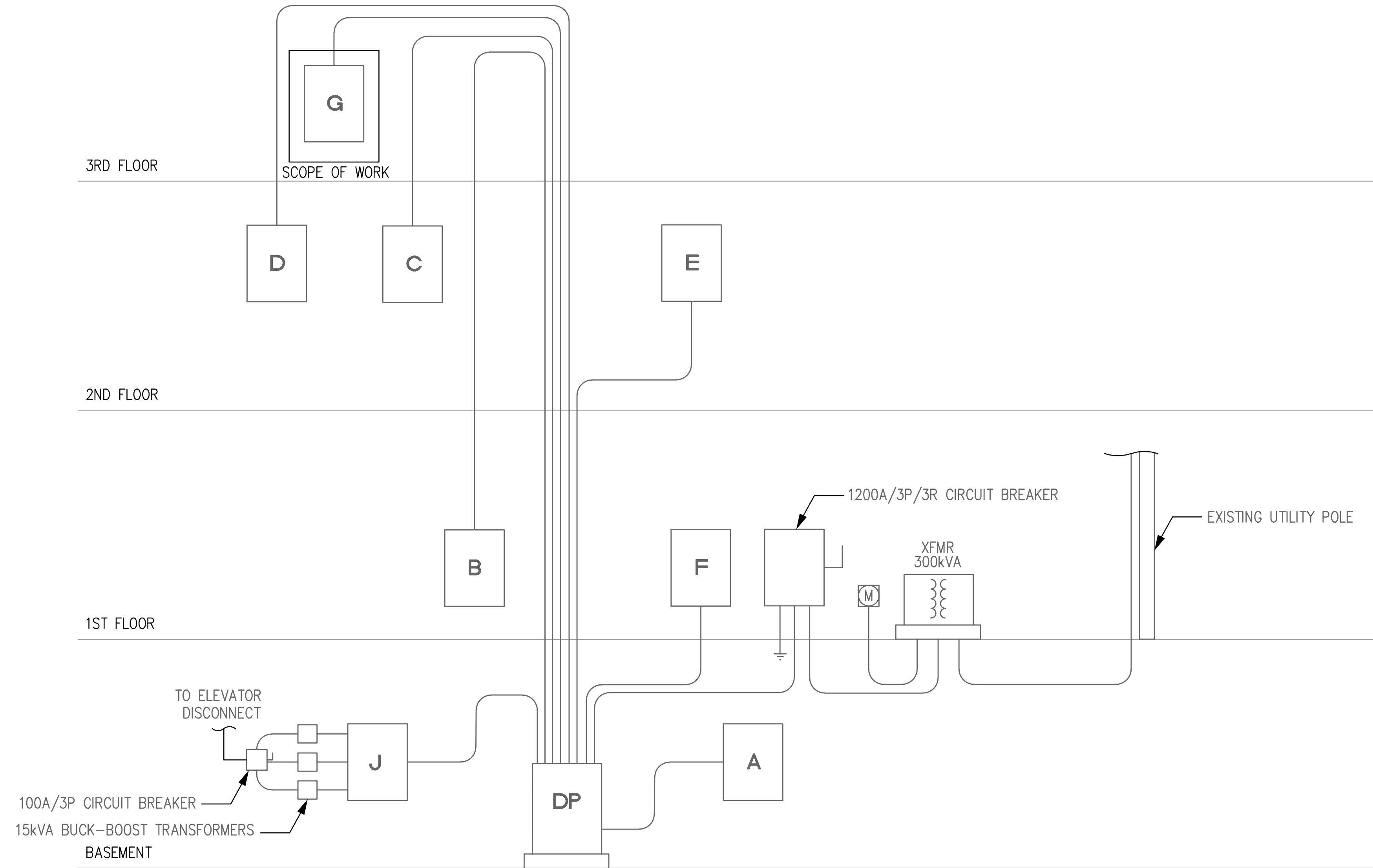


*Edward Puentes*  
06/13/2023

Architexas No. 2250 Date June 13, 2023

Sheet Name: ELECTRICAL ONE-LINE DIAGRAM & PANEL SCHEDULES

Sheet Number



**1** EXISTING ONE-LINE DIAGRAM  
E4.01 N.T.S.

Panelboard G												10,000 AIC Rating		
120/208 Volt, 3-Phase, 4-Wire 2 Section 1-Nema Rating												X Existing New		
120/208 Volt, 3-Phase, 4-Wire 2 Section 1-Nema Rating				MCB 0 AMP MCB 225 AMP BUS (Copper)				Single Double Feed - Thru				Mounting X Surface Flush		
Notes	Load (VA)	Description	Type	Wire	CB	CKT #	PH	CKT #	CB	Wire	Type	Description	Load (VA)	Notes
	1000	(E) PLUGS RM. 312, 313, 315	R	12	20/1	1	A	2	20/1	12	R	(E) PLUGS HALLWAY	1000	
	500	(E) TELEPHONE	M	12	20/1	3	B	4	20/1	12	R	(E) PLUGS RM. 305	1100	
	800	(E) PLUGS RM. 310	R	12	20/1	5	C	6	20/1	12	R	(E) PLUGS RM. 306 & HALLWAY E	1100	
	1500	(E) COFFEE BAR	M	12	20/1	7	A	8	15/2	12	H	(E) H.P. RM 312	1100	
	1400	(E) H.P. RM 313 & 315	H	12	15/2	9	B	10	11	C	12	(E) H.P. COURT RM	6900	
	6900	(E) H.P. COURT RM	H	10	30/3	13	A	14	15	B	16	(E) H.P. RM 301	1200	
	2000	(E) H.P.	H	12	20/2	17	C	18	19	A	20	(E) HEAT PUMP	3900	
	1500	ELECTRIC STRIKE	-	12	20/1	21	B	22	23	C	24	(E) H.P.	3900	
	2500	(E) H.P.	H	12	20/2	31	A	32	33	B	34	(E) LIGHTS COURT RM	1400	
	180	(E) LIGHT RM. 310	L	12	20/1	35	C	36	20/1	12	L	(E) LIGHTS HALLWAY WEST/LAW LIBRARY	1400	
	1400	(E) CLOCK	M	12	20/1	37	A	38	20/1	12	L	(E) LIGHTS HALLWAY EAST	1200	
	1100	(E) LIGHTS	L	12	20/1	39	B	40	20/1	12	H	(E) LIGHTS RESTROOMS	1000	
	1300	(E) LIGHTS COURT RM	L	12	20/1	41	C	42	20/1	12	L	(E) ROOF LIGHTS/PLUGS	1300	
	900	(E) LIGHTS COURT RM	L	12	20/1	43	A	44	20/1	12	L	(E) WATER HEATER	2000	
	1300	(E) LIGHTS ATTIC	L	12	20/1	45	B	46	20/2	12	WH	(E) ROOF PLUGS	1000	
	600	(E) CEILING FANS COURT RM	F	12	20/1	47	C	48	20/1	12	R	SPARE	1000	
	1000	(E) LIGHTS COURT RM	L	12	20/1	49	A	50	20/1	12	R	(E) CHRISTMAS	1000	
	1000	(E) CHRISTMAS	M	12	20/1	51	B	52	20/1	12	M	(E) CHRISTMAS	1000	
	1000	(E) CHRISTMAS	M	12	20/1	53	C	54	20/1	12	M	(E) CHRISTMAS	1000	
	1000	(E) CHRISTMAS	M	12	20/1	55	A	56	20/1	12	M	(E) CHRISTMAS	1000	
	1000	(E) CHRISTMAS	M	12	20/1	57	B	58	20/1	12	M	(E) ISOLATED PLUGS	1000	
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	1000	(E) CHRISTMAS	M	12	20/1	61	A	62	20/1	12	R	(E) ISOLATED PLUGS	1000	
	1000	(E) CHRISTMAS	M	12	20/1	63	B	64	20/1	12	R	(E) ISOLATED PLUGS	1000	
	1000	(E) CHRISTMAS	M	12	20/1	65	C	66	20/1	12	R	(E) ISOLATED PLUGS	1000	
	33,880	Subtotal										Subtotal	36,500	
N.E.C.		Load Type	Conn.	Fct.	Diversity	N.E.C.		(L) Lighting	Conn.	Fct.	Diversity			
220.44	(R) Recept	10,000	100%	0	10,000	210.20(a)		(EL) Ext. Ltg.	10,880	125%	13,600			
220.56	(K) Kitchen	0	0%	0	0	620.14		(E) Elevators	0	100%	0			
220.60	(C) Cooling	0	0%	0	0			(MT) Lrg. Mot.	2,000	100%	2,000			
220.60	(H) Heating	31,000	100%	31,000				(SP) Sub Panel	0	100%	0			
220.60	(F) Fans	600	100%	600										
	(M) Misc.	14,400	100%	14,400										
Total Connected Load =			68,880 VA =	191.3 AMPS			Location of Panel:		RM 304					
Total Load (Diversified)=			71,600 VA =	198.9 AMPS										

**Photographs: Project 1 - Bastrop County Courthouse, Tower Repairs**



Photo 1: Courthouse tower, existing conditions



Photo 2: Detail of existing sheet metal cladding and clock face.



Photo 3: Detail of existing sheet metal cladding



Photo 4: Existing conditions at tower framing



Photo 5: Existing conditions at tower framing



Photo 6: Detail of existing sheet metal cladding



Photo 7: View of clockworks and interior wood framing



Photo 8: Original clocktower bell



Photo 9: Original clockworks



## CITY MANAGER'S DIRECTIVE

**To:** Bastrop Planning and Zoning, Bastrop Historic Landmark Commission, and Bastrop Development Services Department

**From:** Sylvia Carrillo, City Manager, ICMA-CM, CPM

**Date:** March 28, 2023

**RE: Temporary Suspension of Building Materials requirements as condition of approving Certificates of Appropriateness in the Iredell District**

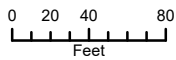
In accordance with Bastrop's Home Rule Charter, Section 4.04, as the chief administrative officer of the City I am responsible for the proper administration of all affairs of the City, including directing and supervising the administration of all departments, offices and agencies of the City. It is my duty under the Charter to see that the laws of the City are faithfully executed.

In accordance with my authority under the Charter, I hereby ***temporarily suspend*** the requirement that applications for Certificates of Appropriateness for historic projects in the Iredell District comply with building materials specifications in the Authentic Bastrop Pattern Book (as adopted under the *Building Bastrop Block Code – B3*).

In considering an application for a COA under B3, the Historic Landmark Commission is to be guided by any locally adopted design Standards, Section 9.3.006(a), p. 249. For building materials, architecture standards, architectural details, massing for a variety of building types, see the Pattern Book. B3, Section 9.3.006(a)(8), p. 250. The *Authentic Bastrop Pattern Book* (Pattern Book) is a supplemental set of Standards, information, and inspiration supporting this Code. Architecture, urban design, and landscape design are housed within its contents. B3, Section 10.1.002, p. 239. The Pattern Book states that it is, "mandatory in the Iredell District,..." p. 2. The Pattern Book specifies certain building materials, which vary depending on the project.

This directive is issued upon the recommendation of the City Attorney, who has evaluated the City's ability to require specific building materials in this area and concluded that certain necessary procedural steps may have been omitted. State and federal laws establish standards for designating historic areas and for mandating or restricting building materials beyond what is allowed in international codes.

While this matter is under review, the City shall not base its approval of applications CoAs on compliance with the proposed building materials conforming to the Pattern Book. This directive shall remain in effect until I withdraw it or receive policy guidance from the Bastrop City Council.



1 inch = 100 feet



Date: 7/7/2023

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of this information, nor does it represent that its use will not infringe upon privately owned rights.



# STAFF REPORT

**MEETING DATE:** July 19, 2023

**TITLE:**

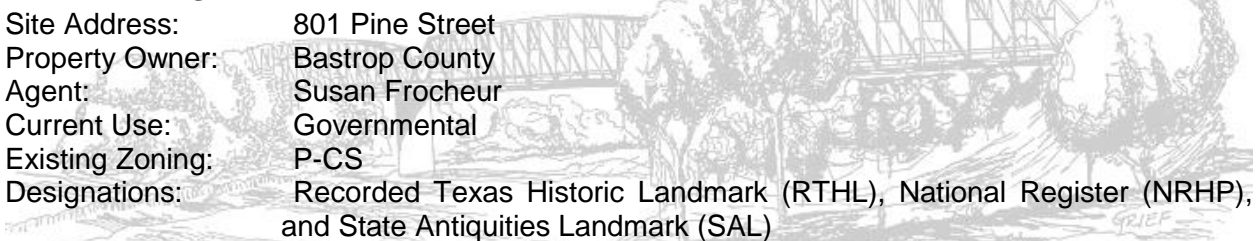
Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

**STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

**ITEM DETAILS:**

Site Address: 801 Pine Street  
 Property Owner: Bastrop County  
 Agent: Susan Frocheur  
 Current Use: Governmental  
 Existing Zoning: P-CS  
 Designations: Recorded Texas Historic Landmark (RTHL), National Register (NRHP), and State Antiquities Landmark (SAL)



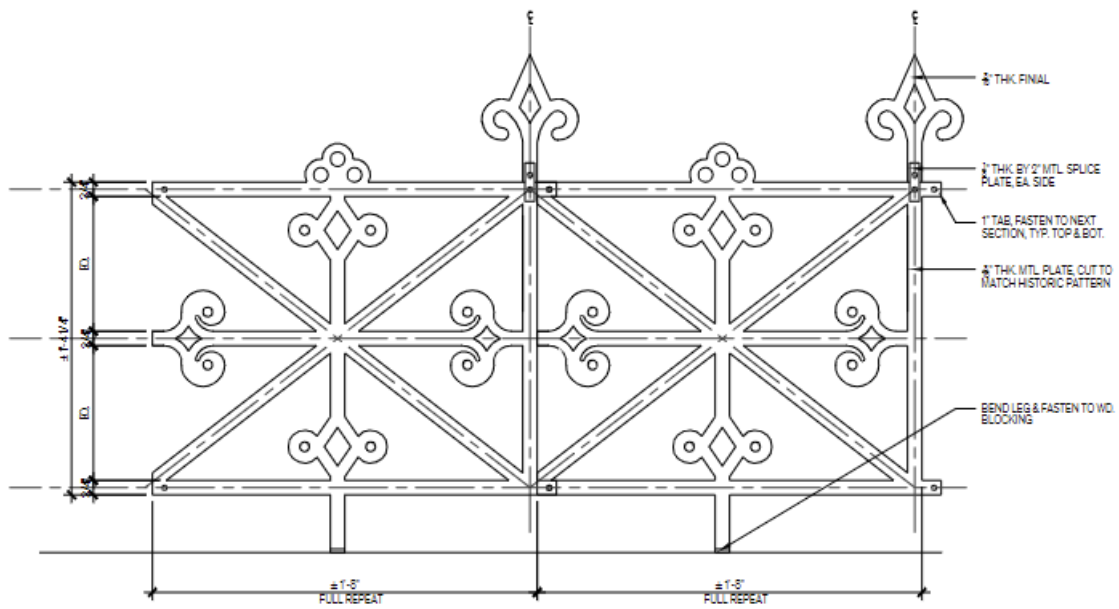
**BACKGROUND/HISTORY:**

The County Court House & Jail, occupying 801 Pine Street, is proposing repairs and restoration to the exterior façade. The landscaping upgrades will include lawn restoration, 2' concrete mow strip (at perimeter of building – slope minimum of 2% away from the face of the building), instillation of French drain around perimeter of the building, construction of concrete area wells for crawlspace ventilation, removal and replacement of concrete pavers at the perimeter of the building, removal of metal edging and planting beds at the perimeter, regrading and extending the perimeter of the building footprint east, north, and west minimum of 20 feet- slope away from the building at a minimum of 5%. The brick masonry restoration (cleaning, repointing, and brick replacements/repairs) damaged or mismatched bricks will be replaced with salvaged brick or new brick to match the existing (see page 12 of plans – general notes), door and window restoration (restoration of metal door gates and window grills), and lightning protection system restored/upgraded to meet current code requirements. Roof repairs and restorations including removal and replacement of existing gutters, hatch and downspout (all that can be salvaged will be reused) (see page 11 of plans). Adding decorative metal cresting at perimeter or roof (see page 11 of plans).

The front of the building, as it exists, is shown below;



Suggested decorative roof cresting;



**POLICY EXPLANATION:**

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

*Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)*

(1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.

- (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**
- (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
- (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.**
- (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.**
- (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.**
- (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) **Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

**RECOMMENDATION:**

Recommend approval on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

**ATTACHMENTS:**

- Attachment 1: SOI Standards
- Attachment 2: Photos
- Attachment 3: Plans
- Attachment 4: City Manager Directive
- Attachment 5: Location Map



**Historic Bastrop County Jail**

Work of this Project is described as the Historic Bastrop County Jail, Interior and Exterior Restoration. This project has received funding from the *National Park Service Emergency Supplemental Historic Preservation Fund Grant – Hurricane Harvey Disaster Assistance*. The National Park Service (NPS) funding is coordinated through the Texas Historical Commission (THC) and was provided to aid owners whose property sustained damage following Hurricane Harvey’s landfall on Texas in August 2017. Work generally includes:

The THC and NPS utilize *the Secretary of the Interior’s Standards for the Treatment of Historic Properties (SOI Standards)* to evaluate proposed work and ensure that grant funds are used appropriately.

Architexas has proposed a scope of work that is guided by the SOI Standards. SOI Standards considerations include:

1. Utility upgrades with minimal impact to historic buildings and site.
2. Character defining features will remain.
3. Prior incompatible modifications will be removed/reversed.
4. The building’s established period of significance will lead proposed work.
5. Deteriorated architectural features will be repaired with in-kind materials.
6. Missing historic elements will be reconstructed (slate roofing, metal cresting, etc.).
7. Cleaning methods will include proven products that utilize the gentlest means necessary.

**Photographs: Historic Bastrop County Jail, Interior and Exterior Restoration**



Photo 1: North Elevation, 1977 (Source: THC & UNT's Portal to Texas History)



Photo 2: North Elevation, 2023





Photo 3: Perimeter of building will receive 2' wide concrete mow strip.



Photo 4: Existing sheet metal roofing to be replaced with slate roofing. Brick chimneys will be repointed 100%



Photo 5: Existing sheet metal roofing to be replaced with slate roofing. Brick chimneys will be repointed 100%



Photo 6: Existing brick pavers and covered crawlspace ventilation. Perimeter of building will receive 2' wide concrete mow strip.



Photo 7: Parge coat to be restored 100%. Masonry restoration includes selective brick repairs/replacement, repointing 100%.



Photo 8: Parge coat to be restored 100%. Masonry restoration includes selective brick repairs/replacement, repointing 100%.



Photo 9: Windows and window grilles to be restored 100%. Masonry restoration includes selective brick repairs/replacement, repointing



Photo 10: Exterior door and gate to be restored 100%.



Photo 11: Interior door assemblies and finishes will be restored.



Photo 12: Electrical panels at first floor entry hall to be relocated.



Photo 13: Existing non-ADA compliant 1<sup>st</sup> floor restroom.



Photo 14: Non-original partitions will be removed, first floor.



Photo 15: Existing Jury room with historic jail cells to remain.





## HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street  
Bastrop, TX  
78602

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**REVISION HISTORY**

1.	SD Submission	14 February 2023
2.	DD Submission	4 April 2023
3.	95% CD Submission	30 May 2023

SEAL  
**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**  
SUSAN FROCHEUR, 5/30/23

**Architexas No.** 2251  
**Date** May 30th, 2023

**Sheet Name**  
Demo, Enlarged Site Plan

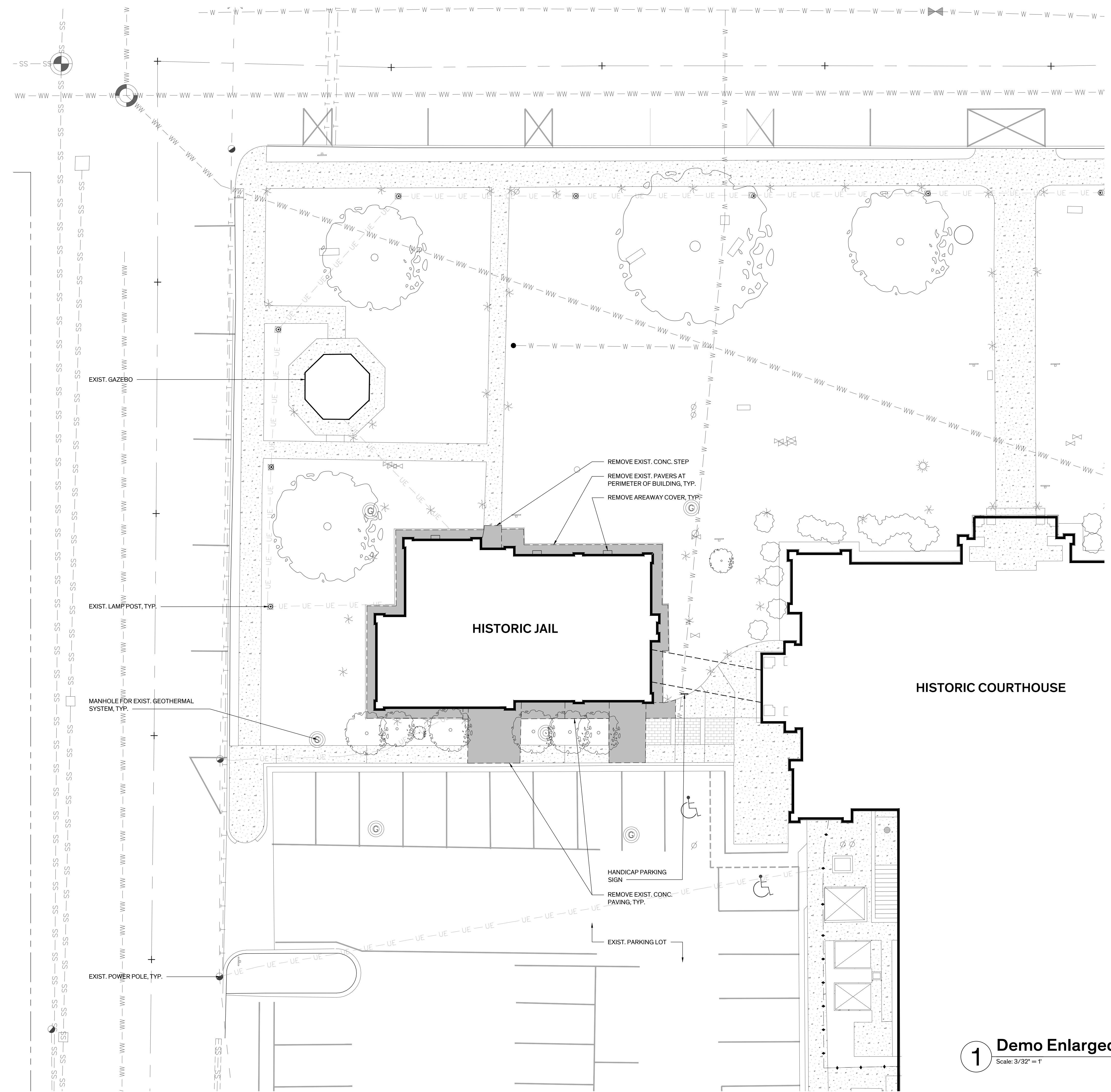
**Sheet Number**

### GENERAL NOTES - SITE DEMO

- GENERAL SITE WORK**
  - UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER, ELECTRICAL, & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.
  - REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.
  - INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
- MONUMENTS, MARKERS:** PROVIDE TEMPORARY PROTECTION FOR EXIST. MONUMENTS & RTHL MARKERS DURING CONSTRUCTION ACTIVITIES ON SITE.
- TREE PROTECTION:** PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- SITE RESTORATION:**
  - RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...
- DEMOLITION:**
  - REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
  - REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.
- SITE WORK:**
  - PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
  - EXCAVATE SOIL AT PERIMETER OF JAIL BUILDING TO INSTALL PERIMETER FOUNDATION DRAIN. CAREFULLY EXCAVATE TO PREVENT DAMAGE TO EXIST. BELOW GRADE PIPING TO REMAIN.
  - PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.
  - PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING, SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
  - RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 2'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.
  - INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.
- IRRIGATION:**
  - THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
  - RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.

### LEGEND

---	ELEMENTS TO BE REMOVED
[Pattern]	EXIST. CONCRETE PAVING & PAVERS TO BE REMOVED
[Pattern]	EXCAVATION AREA FOR FOUNDATION WATERPROOFING
[Pattern]	EXIST. CONCRETE PAVING TO REMAIN
[Pattern]	EXIST. BRICK PAVERS TO REMAIN
---	SUBGRADE DOWNSPOUT LEADERS
---	FOUNDATION DRAIN
---	PROPERTY LINE
---	EXIST. SUBGRADE DOWNSPOUT LEADERS
---	EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
---	EXIST. ELECTRICAL SERVICE
---	EXIST. SUBGRADE ELECTRICAL SERVICE
---	EXIST. STORM SEWER
---	EXIST. SANITARY
---	EXIST. WATER
---	EXIST. WASTE WATER
---	EXIST. GAS
---	EXIST. CHAIN LINK FENCE
○	EXIST. LAMP POST
◇	EXIST. STREET LAMP TO REMAIN
⊥	EXIST. STREET SIGN
⊛	EXIST. GROUND LIGHT
⊞	EXIST. VALVE
⊕	EXIST. CLEAN OUT
*	EXIST. SPRINKLER
●	EXIST. POWER POLE
⊙	EXIST. MANHOLE FOR GEOTHERMAL SYSTEM
⊕	EXIST. WASTE WATER MANHOLE
⊕	EXIST. STORM SEWER MANHOLE
⊕	EXIST. AT&T FIBER OPTICS MANHOLE



**1 Demo Enlarged Site Plan**  
Scale: 3/32" = 1'





HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street Bastrop, TX 78602

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**REVISION HISTORY**

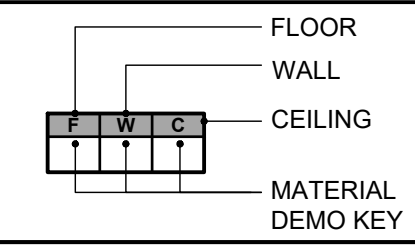
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3.	95% CD Submission	30 May 2023

**SEAL**  
**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**  
SUSAN FROCHEUR, 5/30/23

GENERAL NOTES - DEMO

- GENERAL:**
  - A. ITEMS NOT MARKED FOR REUSE ARE TO BE SALVAGED FOR THE OWNER OR ARE TO BE REMOVED FROM THE SITE & PROPERLY DISPOSED OF PER LOCAL CODE. COORDINATE ITEMS TO BE SALVAGED WITH OWNER.
- PROTECTION:**
  - A. PRIOR TO THE START OF WORK PROTECT INTERIOR FINISHES & ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION & CONSTRUCTION PROCEDURES. DAMAGE TO EXISTING FINISH SURFACES & ELEMENTS BY THE CONTRACTOR SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
  - B. PROVIDE PROTECTION FOR FLOOR ASSEMBLIES INCLUDING STAIR TREADS & FINISHES SCHEDULED TO REMAIN ADJACENT TO DEMOLITION ACTIVITY.
  - C. REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY, & MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION & CONSTRUCTION DEBRIS AND EQUIPMENT.
  - D. WHERE FLOOR ASSEMBLIES ARE SCHEDULED TO BE REMOVED, PROVIDE OSHA COMPLIANT TEMPORARY 2X4 WOOD RAILING AT PERIMETER OF FLOOR OPNG. DO NOT DAMAGE EXIST. FINISHES SCHEDULED TO REMAIN.
- FLOORS:**
  - A. GENERAL: REMOVE MISC. PIPES, CONDUIT, FASTENERS, ETC. OR CUT DOWN MIN. 1" BELOW FINISH FLOOR SURFACE AS REQUIRED TO PREP. SURFACES FOR SCHEDULED REPAIRS.
  - B. WOOD:
    - (1) 1ST FLOOR: CAREFULLY REMOVE EXIST. WOOD FLOORING THROUGHOUT TO EXPOSE FLOOR FRAMING & SALVAGE FOR REINSTALLATION, INCLUDING WOOD SHOE MOLD & THRESHOLDS.
    - (2) 2ND FLOOR: FULLY PROTECT WOOD FLOORING SCHEDULED TO REMAIN.
  - C. CARPET & RESILIENT TILE: REMOVE UNDERLAYMENT, ADHESIVES & ACCESSORIES INCLUDING CARPET PAD, PLYWOOD DECKING, TACK STRIPS, EDGING STRIPS, ETC., TO EXPOSE ORIGINAL OR EARLY WOOD OR CONCRETE FLOORING.
  - D. CONCRETE:
    - (1) CONCRETE SCHEDULED TO REMAIN EXPOSED: REMOVE LEVELING COMPOUNDS, PAINT COATINGS, MASTIC, WAXES, ETC., TO EXPOSE UNFINISHED CONCRETE FINISH.
    - (2) REMOVE CONCRETE FLOOR ASSEMBLY WHERE INDICATED FOR NEW LIFT. REF. FLOOR PLAN SHEET, A2.01.
- WALLS:**
  - A. REMOVE & DISCARD WALLS & ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS.
  - B. PLASTER: REMOVE DAMAGED, DETERIORATED OR DETACHED PLASTER FINISH TO SOUND SUBSTRATE INCLUDING SKIM COAT. REMOVE POOR PRIOR PATCHES & NON-ORIGINAL WALL TEXTURE.
  - C. REMOVE & SALVAGE WOOD BEAD BOARD SIDING FOR REUSE.
  - D. FIBER BOARD WAINSCOT: CAREFULLY REMOVE WAINSCOT 100% TO LIMIT DAMAGE TO PLASTER FINISH BEHIND.
- CEILING:**
  - A. REMOVE & DISCARD GYPSUM BOARD CEILING ASSEMBLY INCLUDING ASSOCIATED SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
  - B. REMOVE & DISCARD SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY INCLUDING ASSOCIATED GRID, SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
- DOORS:**
  - A. REMOVE & DISCARD NON-ORIGINAL DOORS & ASSOCIATED FRAME, CASINGS, & TRIM WHERE INDICATED U.O.N. REMOVE ALL HARDWARE & SALVAGE FOR OWNER. PLACE HARDWARE SET FOR EACH DOOR IN SEPARATE PLASTIC BAG. PLACE BAGS IN BOX, LABEL, & RETURN TO OWNER.
- MEP:**
  - A. REMOVE EXIST. MEP SYSTEMS ENTIRELY, REF. MEP. (AT CONFIRM WITH ENGINEER WHAT WILL REMAIN)
    - (1) MECHANICAL: REMOVE EXIST. MECHANICAL EQUIPMENT, RELATED DEVICES, & DISTRIBUTION LINES
    - (2) ELECTRICAL: REMOVE EXIST. LIGHT FIXTURES, RELATED DEVICES, & EXPOSED DISTRIBUTION LINES.
    - (3) PLUMBING: REMOVE EXIST. PLUMBING FIXTURES & RELATED PLUMBING LINES.
    - (4) FIRE ALARM:
    - (5) REMOVE ANY LINES THAT WILL BE ABANDONED RESULTING FROM THE WORK OF THIS CONTRACT.
  - B. DEMO & REINFORCE EXIST. CONSTRUCTION FOR INSTALLATION OF MEP SYSTEMS. REF. MEP & STRUCTURAL DWGS.
  - C. EXACT LOCATION OF FLOOR & CEILING GRILLES/REGISTERS ARE TO BE MARKED IN-SITU BY THE CONTRACTOR & APPROVED BY THE ARCHITECT PRIOR TO CUTTING OF STRUCTURAL FRAMING & FINISH SURFACES.
- RESTROOMS:** REMOVE EXIST. FIXTURES & TOILET ACCESSORIES ENTIRELY.
- ROOFING:** REFER TO SHT. A-2.10 FOR EXTENT OF DEMOLITION
- HAZARDOUS MATERIALS ABATEMENT:** ABATEMENT CONTRACTOR TO REMOVE ACM MATERIALS, INCLUDING BUT NOT LIMITED TO MASTIC BENEATH RESILIENT TILE FLOORING, PLASTER FINISH AT WALLS, & ROOFING MATERIALS. REFER TO ASBESTOS & LEAD ABATEMENT SPECIFICATIONS IN THE APPENDIX OF THE PROJECT MANUAL FOR FULL DESCRIPTION OF WORK

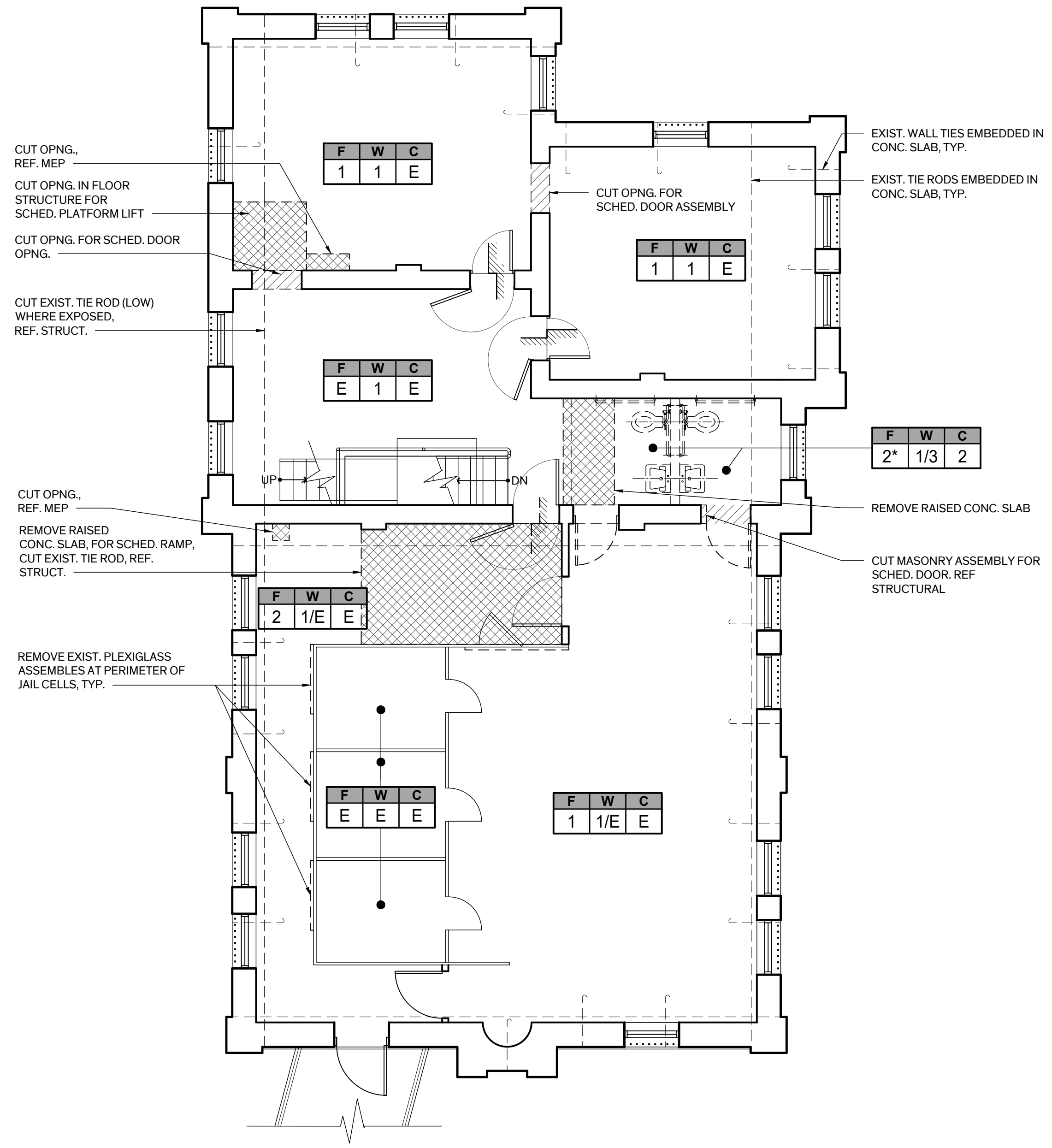
MATERIAL DEMO LEGEND



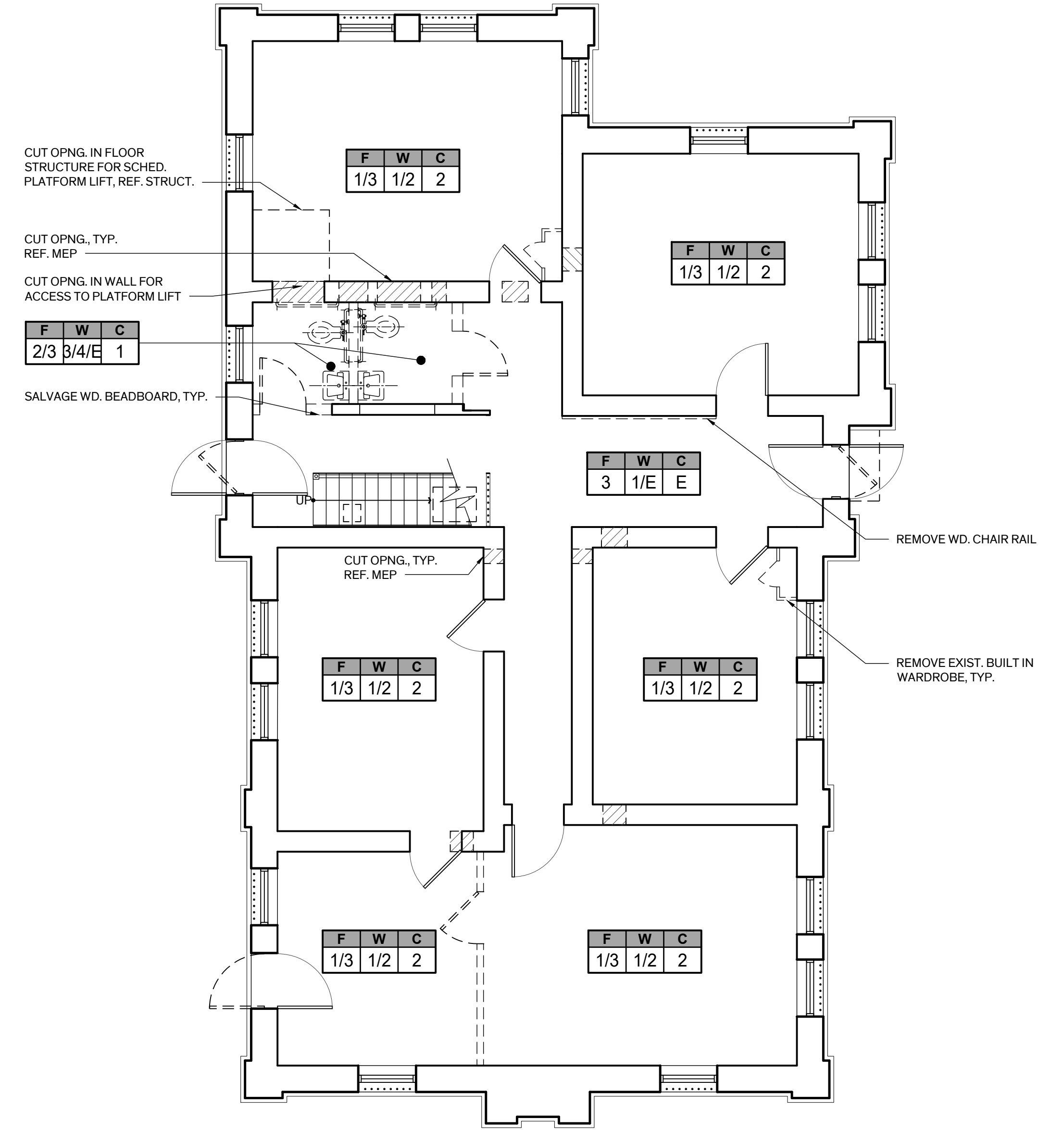
KEYS

FLOORS	WALLS	CEILING
1 CARPET	1 PLASTER*	1 SUSPENDED ACOUSTIC TILE
2 RESILIENT TILE*	2 FIBER BOARD WAINSCOT	2 GYPSUM BOARD
3 WOOD (SALVAGE)	3 GYPSUM BOARD	E EXIST. TO REMAIN
E EXIST. TO REMAIN	4 WOOD BEAD BOARD (SALVAGE)	
	E EXIST. TO REMAIN	

\*MASTIC BENEATH RESILIENT TILE CONTAINS ASBESTOS; REPAIRED AREAS OF PLASTER FINISH CONTAINS ASBESTOS. REF. ABATEMENT SPECIFICATION FOR EXTENT AND PROCEDURES FOR REMOVAL.



**2 Second Floor - Demolition Plan**  
Scale: 3/16" = 1'-0"  
TRUE NORTH



**1 First Floor - Demolition Plan**  
Scale: 3/16" = 1'-0"  
TRUE NORTH

DEMOLITION LEGEND

---	ELEMENT TO BE REMOVED
=====	EXIST. WALLS TO REMAIN
----	WALLS TO BE REMOVED
▨	CONCRETE FLOOR SLAB TO BE REMOVED
▩	BRICK MASONRY WALL TO BE REMOVED

Architexas No. 2251 Date May 30th, 2023

Sheet Name Demo. Plans - First & Second Floor

Sheet Number



## HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street  
Bastrop, TX  
78602

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### REVISION HISTORY

- SD Submission 14 February 2023
- DD Submission 4 April 2023
- 95% CD Submission 30 May 2023

### SEAL

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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

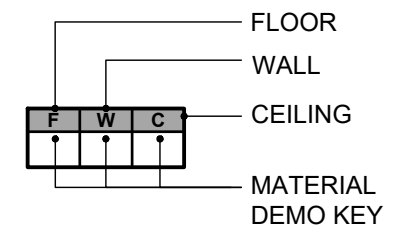
Sheet Name Demo, Plan - Mezzanine

Sheet Number

## GENERAL NOTES - DEMO

- GENERAL:**
  - ITEMS NOT MARKED FOR REUSE ARE TO BE SALVAGED FOR THE OWNER OR ARE TO BE REMOVED FROM THE SITE & PROPERLY DISPOSED OF PER LOCAL CODE. COORDINATE ITEMS TO BE SALVAGED WITH OWNER.
- PROTECTION:**
  - PRIOR TO THE START OF WORK PROTECT INTERIOR FINISHES & ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION & CONSTRUCTION PROCEDURES. DAMAGE TO EXISTING FINISH SURFACES & ELEMENTS BY THE CONTRACTOR SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
  - PROVIDE PROTECTION FOR FLOOR ASSEMBLIES INCLUDING STAIR TREADS & FINISHES SCHEDULED TO REMAIN ADJACENT TO DEMOLITION ACTIVITY.
  - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY, & MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION & CONSTRUCTION DEBRIS AND EQUIPMENT.
  - WHERE FLOOR ASSEMBLIES ARE SCHEDULED TO BE REMOVED, PROVIDE OSHA COMPLIANT TEMPORARY 2X4 WOOD RAILING AT PERIMETER OF FLOOR OPNG. DO NOT DAMAGE EXIST. FINISHES SCHEDULED TO REMAIN.
- FLOORS:**
  - GENERAL: REMOVE MISC. PIPES, CONDUIT, FASTENERS, ETC. OR CUT DOWN MIN. 1" BELOW FINISH FLOOR SURFACE AS REQUIRED TO PREP SURFACES FOR SCHEDULED REPAIRS.
  - WOOD:
    - 1ST FLOOR: CAREFULLY REMOVE EXIST. WOOD FLOORING THROUGHOUT TO EXPOSE FLOOR FRAMING & SALVAGE FOR REINSTALLATION, INCLUDING WOOD SHOE MOLD & THRESHOLDS.
    - 2ND FLOOR: FULLY PROTECT WOOD FLOORING SCHEDULED TO REMAIN.
  - CARPET & RESILIENT TILE: REMOVE UNDERLAYMENT, ADHESIVES & ACCESSORIES INCLUDING CARPET PAD, PLYWOOD DECKING, TACK STRIPS, EDGING STRIPS, ETC., TO EXPOSE ORIGINAL OR EARLY WOOD OR CONCRETE FLOORING.
  - CONCRETE:
    - CONCRETE SCHEDULED TO REMAIN EXPOSED: REMOVE LEVELING COMPOUNDS, PAINT COATINGS, MASTIC, WAXES, ETC., TO EXPOSE UNFINISHED CONCRETE FINISH.
    - REMOVE CONCRETE FLOOR ASSEMBLY WHERE INDICATED FOR NEW LIFT. REF. FLOOR PLAN SHEET, A2.01.
- WALLS:**
  - REMOVE & DISCARD WALLS & ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS.
  - PLASTER: REMOVE DAMAGED, DETERIORATED OR DETACHED PLASTER FINISH TO SOUND SUBSTRATE INCLUDING SKIM COAT. REMOVE POOR PRIOR PATCHES & NON-ORIGINAL WALL TEXTURE.
  - REMOVE & SALVAGE WOOD BEAD BOARD SIDING FOR REUSE.
  - FIBER BOARD WAINSCOT: CAREFULLY REMOVE WAINSCOT 100% TO LIMIT DAMAGE TO PLASTER FINISH BEHIND.
- CEILING:**
  - REMOVE & DISCARD GYPSUM BOARD CEILING ASSEMBLY INCLUDING ASSOCIATED SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
  - REMOVE & DISCARD SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY INCLUDING ASSOCIATED GRID, SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
- DOORS:**
  - REMOVE & DISCARD NON-ORIGINAL DOORS & ASSOCIATED FRAME, CASINGS, & TRIM WHERE INDICATED U.O.N. REMOVE ALL HARDWARE & SALVAGE FOR OWNER. PLACE HARDWARE SET FOR EACH DOOR IN SEPARATE PLASTIC BAG. PLACE BAGS IN BOX, LABEL, & RETURN TO OWNER.
- MEP:**
  - REMOVE EXIST. MEP SYSTEMS ENTIRELY, REF. MEP. (AT CONFIRM WITH ENGINEER WHAT WILL REMAIN)
    - MECHANICAL: REMOVE EXIST. MECHANICAL EQUIPMENT, RELATED DEVICES, & DISTRIBUTION LINES
    - ELECTRICAL: REMOVE EXIST. LIGHT FIXTURES, RELATED DEVICES, & EXPOSED DISTRIBUTION LINES
    - PLUMBING: REMOVE EXIST. PLUMBING FIXTURES & RELATED PLUMBING LINES.
    - FIRE ALARM:
    - REMOVE ANY LINES THAT WILL BE ABANDONED RESULTING FROM THE WORK OF THIS CONTRACT.
  - DEMO & REINFORCE EXIST. CONSTRUCTION FOR INSTALLATION OF MEP SYSTEMS. REF. MEP & STRUCTURAL DWGS.
  - EXACT LOCATION OF FLOOR & CEILING GRILLES/REGISTERS ARE TO BE MARKED IN-SITU BY THE CONTRACTOR & APPROVED BY THE ARCHITECT PRIOR TO CUTTING OF STRUCTURAL FRAMING & FINISH SURFACES.
- RESTROOMS:** REMOVE EXIST. FIXTURES & TOILET ACCESSORIES ENTIRELY.
- ROOFING:** REFER TO SHT. A-2.10 FOR EXTENT OF DEMOLITION
- HAZARDOUS MATERIALS ABATEMENT:** ABATEMENT CONTRACTOR TO REMOVE ACM MATERIALS, INCLUDING BUT NOT LIMITED TO MASTIC BENEATH RESILIENT TILE FLOORING, PLASTER FINISH AT WALLS, & ROOFING MATERIALS. REFER TO ASBESTOS & LEAD ABATEMENT SPECIFICATIONS IN THE APPENDIX OF THE PROJECT MANUAL FOR FULL DESCRIPTION OF WORK

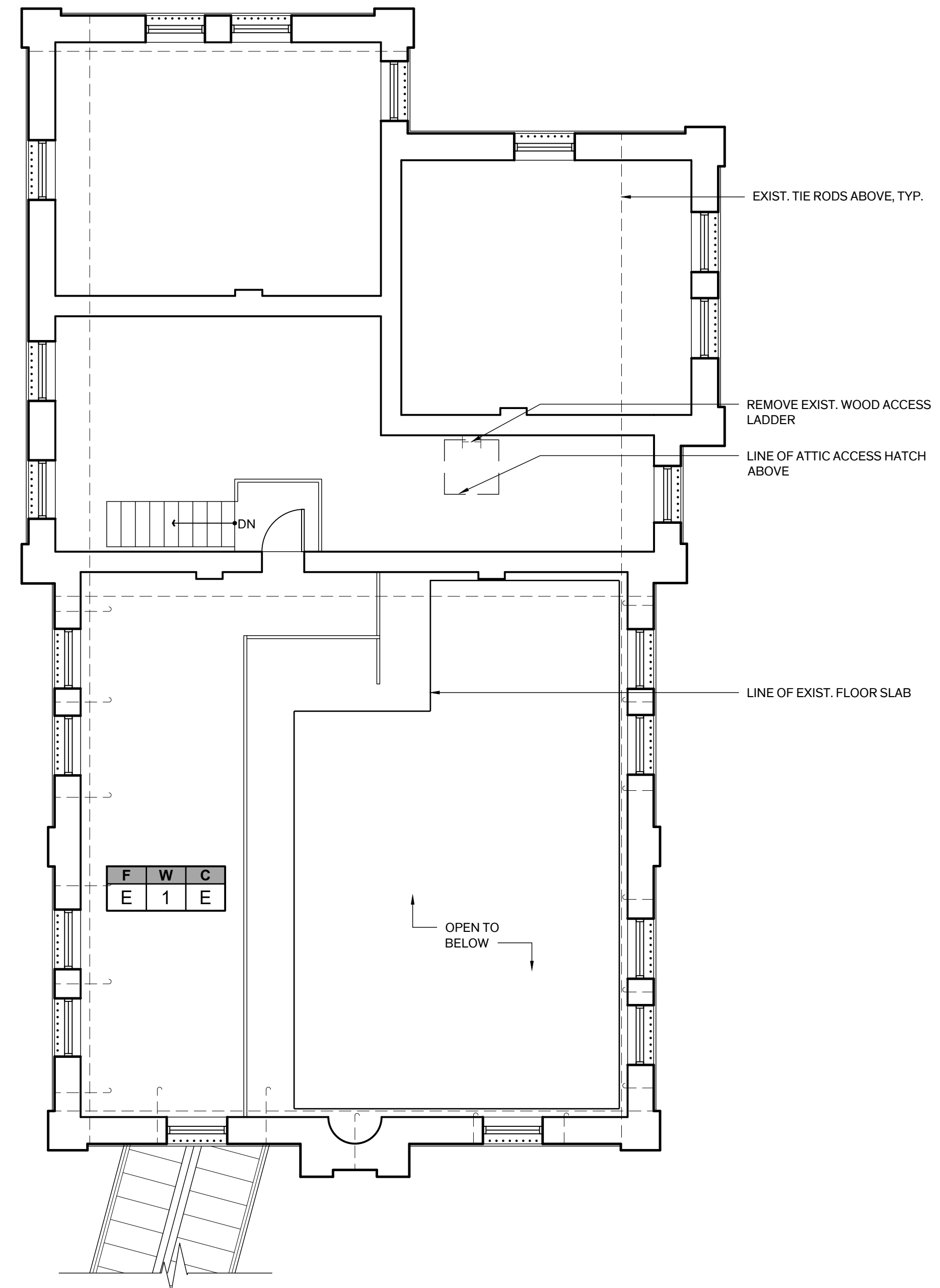
## MATERIAL DEMO LEGEND



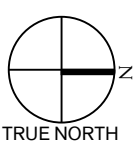
### KEYS

FLOORS		WALLS		CEILING	
1	CARPET	1	PLASTER*	1	SUSPENDED ACOUSTIC TILE
2	RESILIENT TILE*	2	FIBER BOARD WAINSCOT	2	GYPSUM BOARD
3	WOOD (SALVAGE)	3	GYPSUM BOARD	3	GYPSUM BOARD
E	EXIST. TO REMAIN	4	WOOD BEAD BOARD (SALVAGE)	E	EXIST. TO REMAIN
		E	EXIST. TO REMAIN		

\*MASTIC BENEATH RESILIENT TILE CONTAINS ASBESTOS; REPAIRED AREAS OF PLASTER FINISH CONTAINS ASBESTOS. REF. ABATEMENT SPECIFICATION FOR EXTENT AND PROCEDURES FOR REMOVAL.



**1 Mezzanine - Demolition Plan**  
Scale: 3/16" = 1'-0"



## DEMOLITION LEGEND

- ELEMENT TO BE REMOVED
- ==== EXIST. WALLS TO REMAIN
- WALLS TO BE REMOVED
- [Cross-hatched] CONCRETE FLOOR SLAB TO BE REMOVED
- [Diagonal lines] BRICK MASONRY WALL TO BE REMOVED





HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street  
Bastrop, TX  
78602

GENERAL NOTES - SITE PLAN

- GENERAL SITE WORK**
  - UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER, ELECTRICAL & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.
  - REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.
  - INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
  - REFER TO MEP-1 SITE PLAN IN THE APPENDIX OF THE PROJECT MANUAL FOR ADDITIONAL BELOW GRADE MEP PIPING & GEOTHERMAL DESIGN. PROVIDED FOR REFERENCE ONLY.
- MONUMENTS, MARKERS:** PROVIDE TEMPORARY PROTECTION FOR EXIST. MONUMENTS & RTHL MARKERS DURING CONSTRUCTION ACTIVITIES ON SITE.
- TREE PROTECTION:** PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- SITE RESTORATION:**
  - RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...
- DEMOLITION:**
  - REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
  - REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.
- SITE WORK:**
  - PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
  - PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.
  - PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING. SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
  - RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.
  - INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.
- IRRIGATION:**
  - THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
  - RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.

SITE PLAN LEGEND

	EXIST. CONCRETE PAVING
	EXIST. BRICK PAVERS
	NEW CONCRETE PAVING
	DS DOWNSPOUT LOCATIONS
	DS SUBGRADE DOWNSPOUT LEADERS
	FD FOUNDATION DRAIN
	PROPERTY LINE
	DS EXIST. SUBGRADE DOWNSPOUT LEADERS
	T EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
	EXIST. ELECTRICAL SERVICE
	UE EXIST. SUBGRADE ELECTRICAL SERVICE
	SS EXIST. STORM SEWER
	S EXIST. SANITARY
	WW EXIST. WATER
	W EXIST. WASTE WATER
	G EXIST. GAS
	EXIST. CHAIN LINK FENCE
	EXIST. LAMP POST
	EXIST. STREET LAMP TO REMAIN
	EXIST. STREET SIGN
	EXIST. GROUND LIGHT
	EXIST. VALVE
	EXIST. CLEAN OUT
	EXIST. SPRINKLER
	EXIST. POWER POLE
	EXIST. MANHOLE FOR GEOTHERMAL SYSTEM
	EXIST. WASTE WATER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. AT&T FIBER OPTICS MANHOLE

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**REVISION HISTORY**

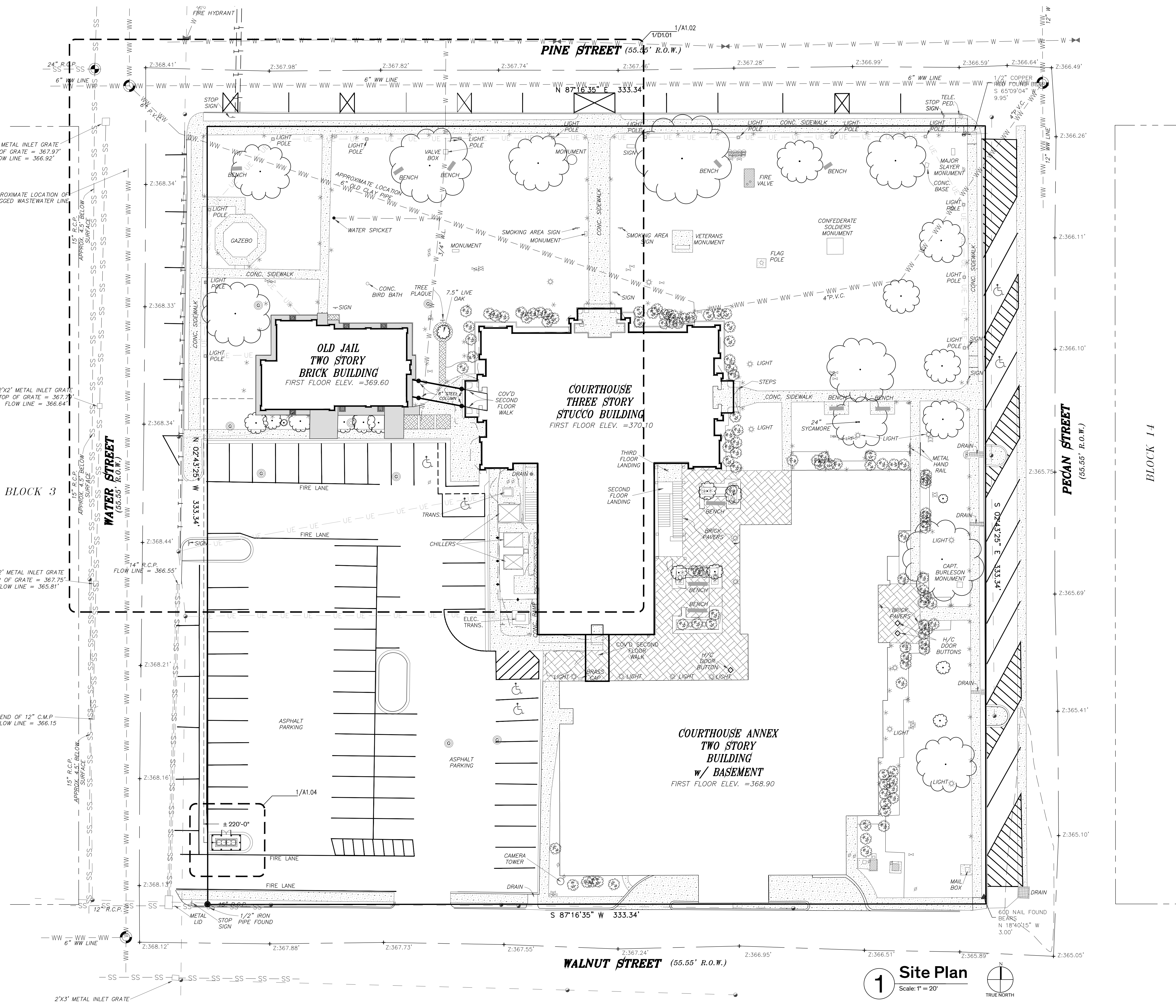
1. SD Submission	14 February 2023
2. DD Submission	4 April 2023
3. 95% CD Submission	30 May 2023

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION  
SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name Site Plan

Sheet Number



1 Site Plan  
Scale: 1" = 20'

BLOCK 2

BLOCK 6

BLOCK 15

## GENERAL NOTES - SITE PLAN

- GENERAL SITE WORK**
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  - REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.
  - INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
  - REFER TO MEP-1 SITE PLAN IN THE APPENDIX OF THE PROJECT MANUAL FOR ADDITIONAL BELOW GRADE MEP PIPING & GEOTHERMAL DESIGN. PROVIDED FOR REFERENCE ONLY.
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- SITE RESTORATION:**
  - RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...
- DEMOLITION:**
  - REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
  - REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.
- SITE WORK:**
  - PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
  - PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.
  - PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING. SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
  - RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0" SLOPE AWAY FROM BUILDING MINIMUM 5%.
  - INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.
- IRRIGATION:**
  - THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
  - RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.



### HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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## SITE PLAN LEGEND

	EXIST. CONCRETE PAVING
	EXIST. BRICK PAVERS
	NEW CONCRETE PAVING
	DOWNSPOUT LOCATIONS
	SUBGRADE DOWNSPOUT LEADERS
	FOUNDATION DRAIN
	PROPERTY LINE
	EXIST. SUBGRADE DOWNSPOUT LEADERS
	EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
	EXIST. ELECTRICAL SERVICE
	EXIST. SUBGRADE ELECTRICAL SERVICE
	EXIST. STORM SEWER
	EXIST. SANITARY
	EXIST. WATER
	EXIST. WASTE WATER
	EXIST. GAS
	EXIST. CHAIN LINK FENCE
	EXIST. LAMP POST
	EXIST. STREET LAMP TO REMAIN
	EXIST. STREET SIGN
	EXIST. GROUND LIGHT
	EXIST. VALVE
	EXIST. CLEAN OUT
	EXIST. SPRINKLER
	EXIST. POWER POLE
	EXIST. MANHOLE FOR GEOTHERMAL SYSTEM
	EXIST. WASTE WATER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. AT&T FIBER OPTICS MANHOLE

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**REVISION HISTORY**

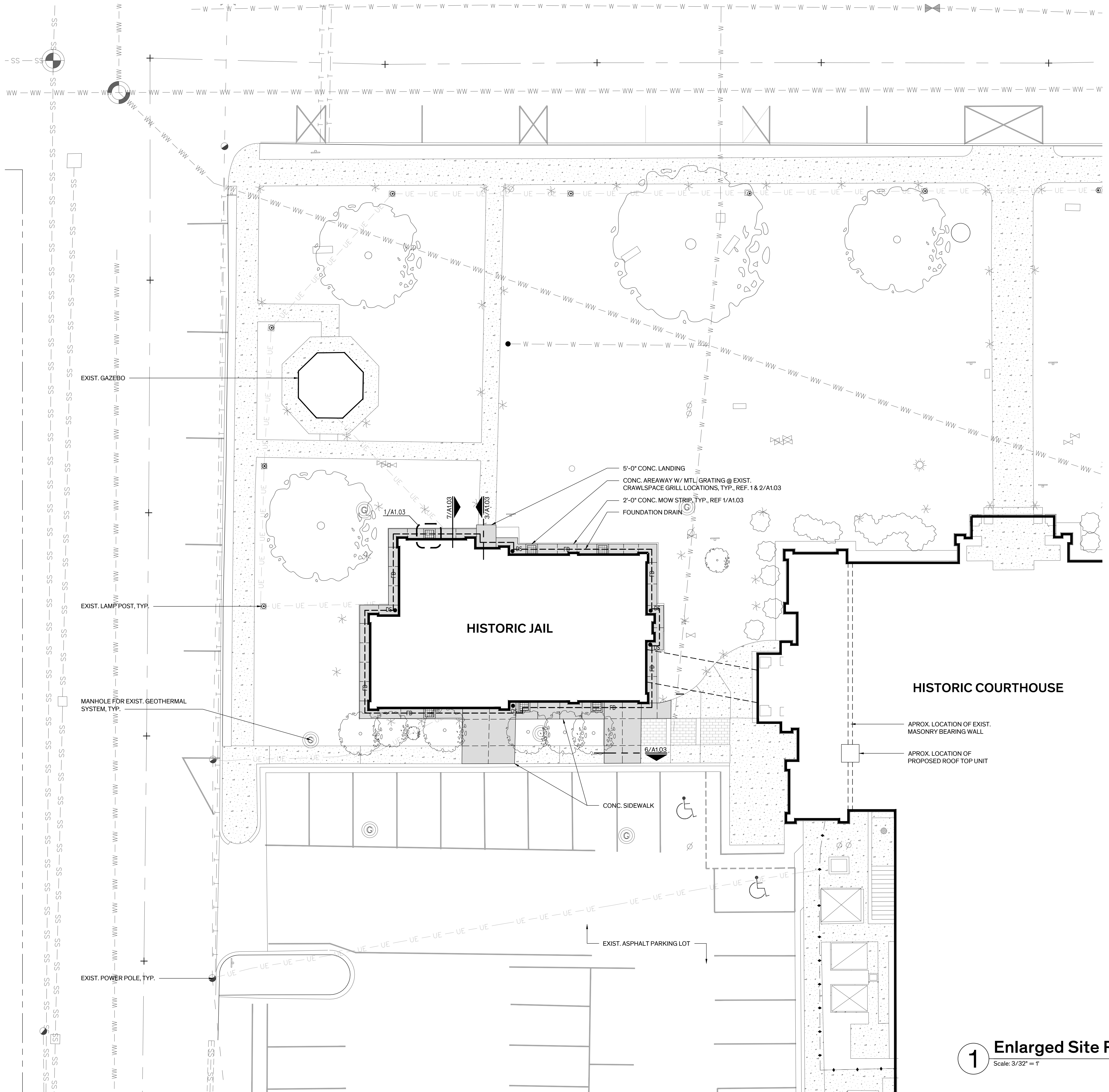
1.	SD Submission	14 February 2023
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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name  
Enlarged Site Plan

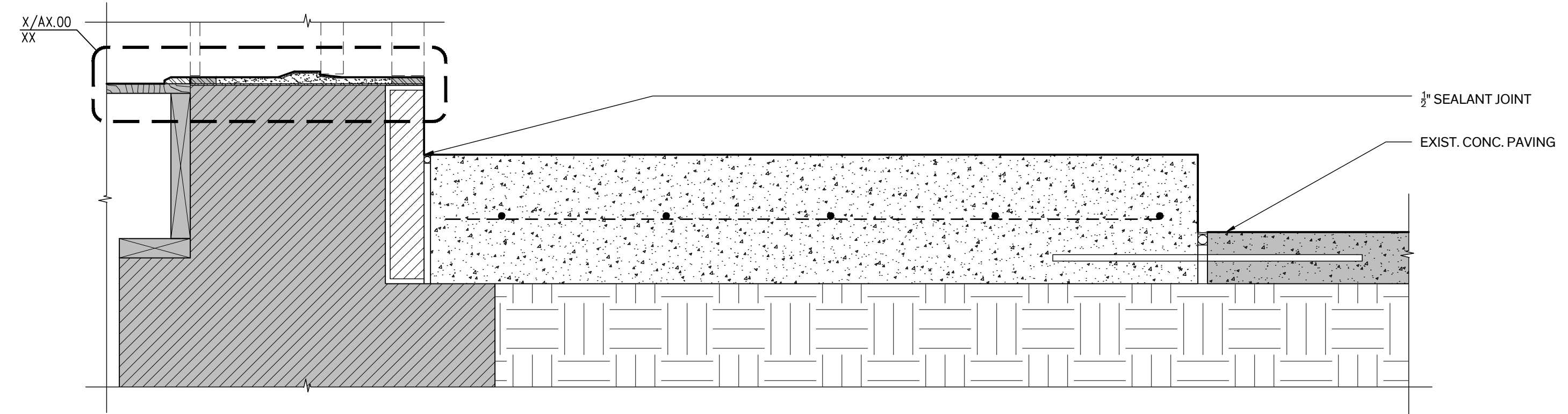
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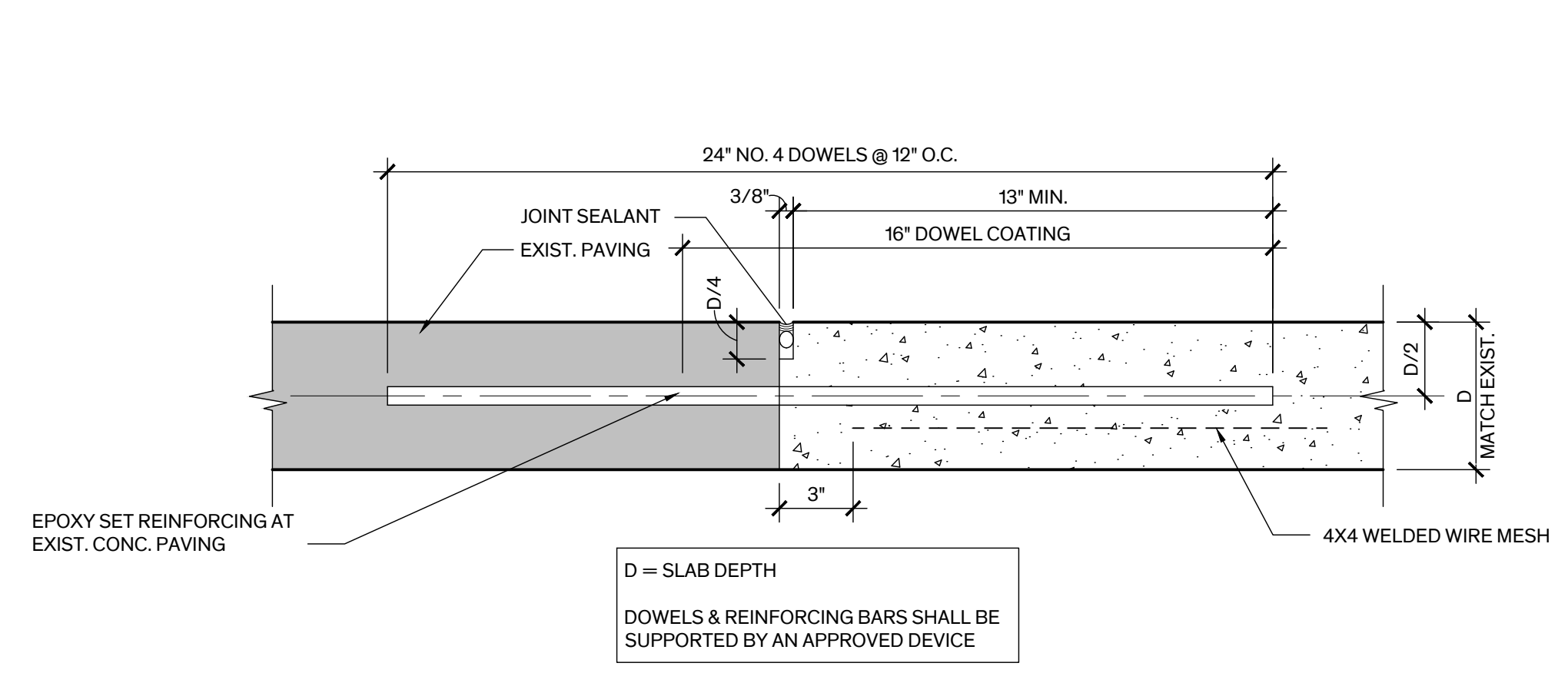
**1 Enlarged Site Plan**  
Scale: 3/32" = 1'



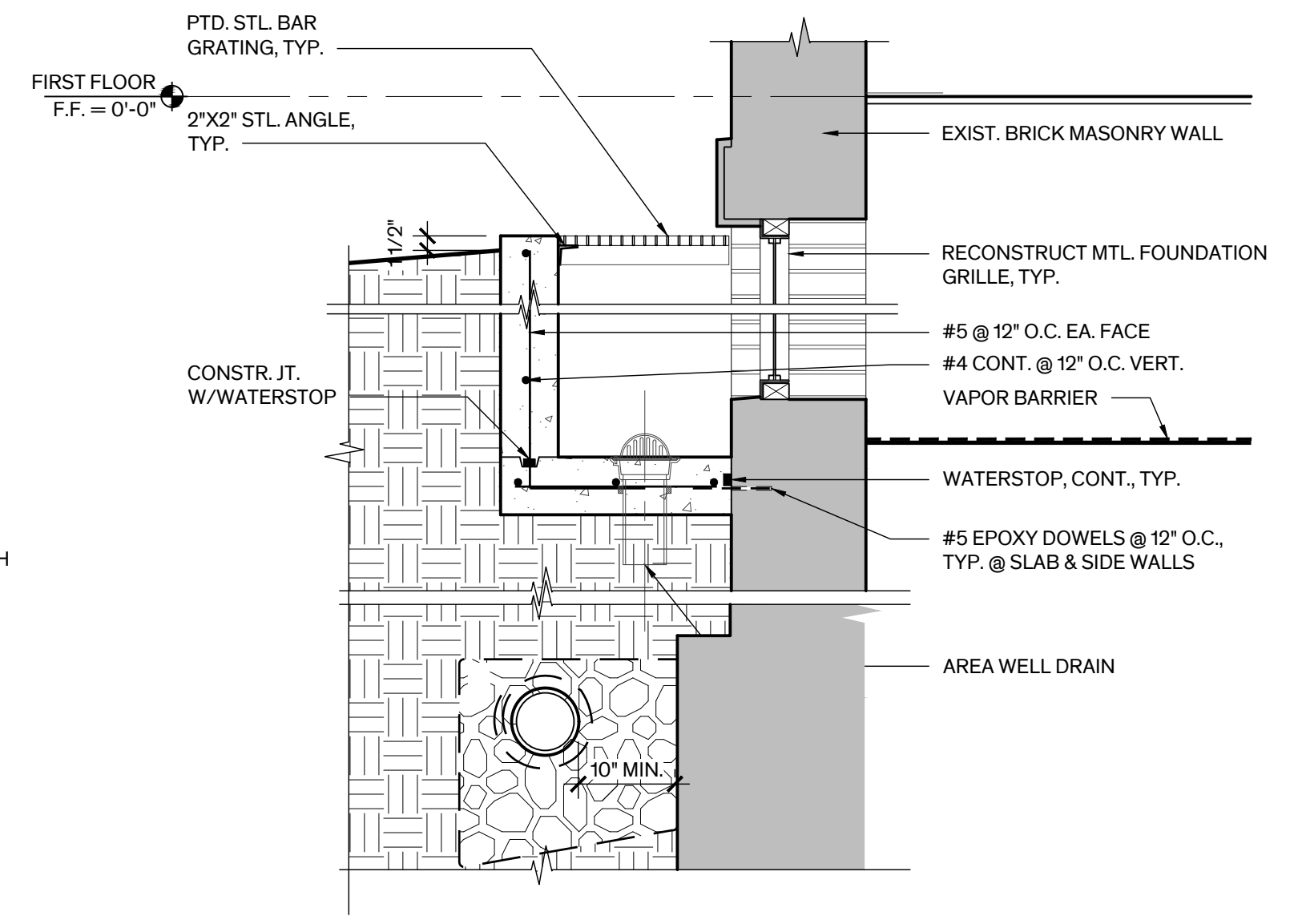
LEGEND	
	EXIST. CONSTRUCTION



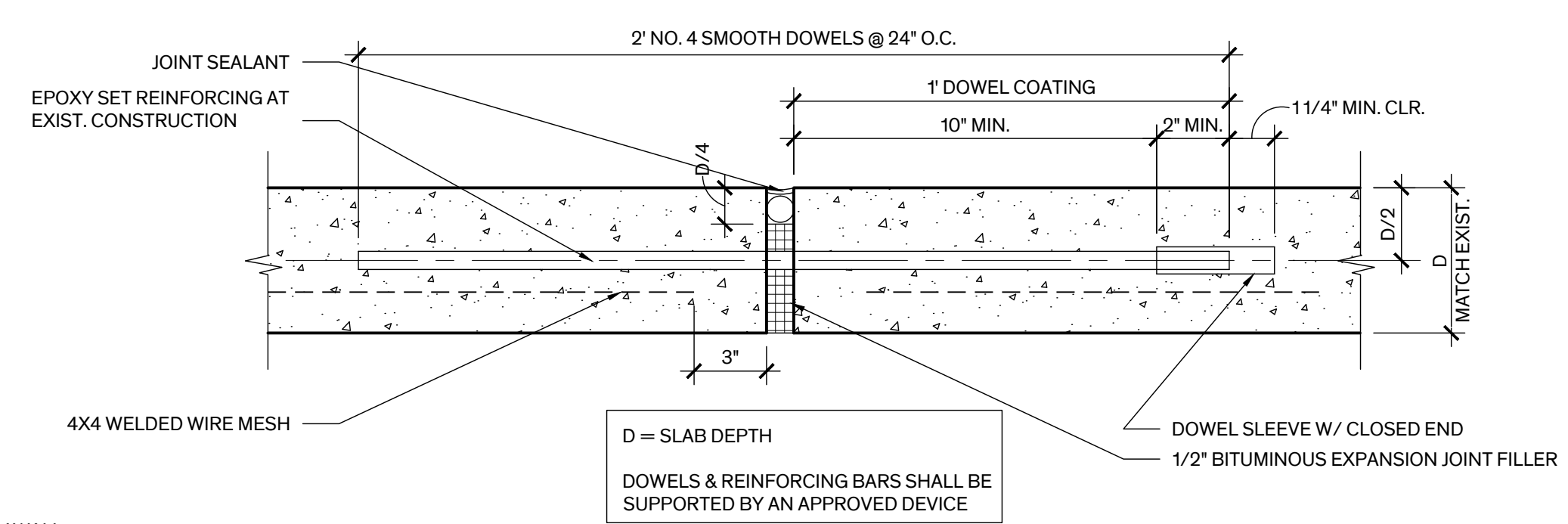
**3 Section Through North Landing**  
Scale: 1 1/2" = 1'-0"



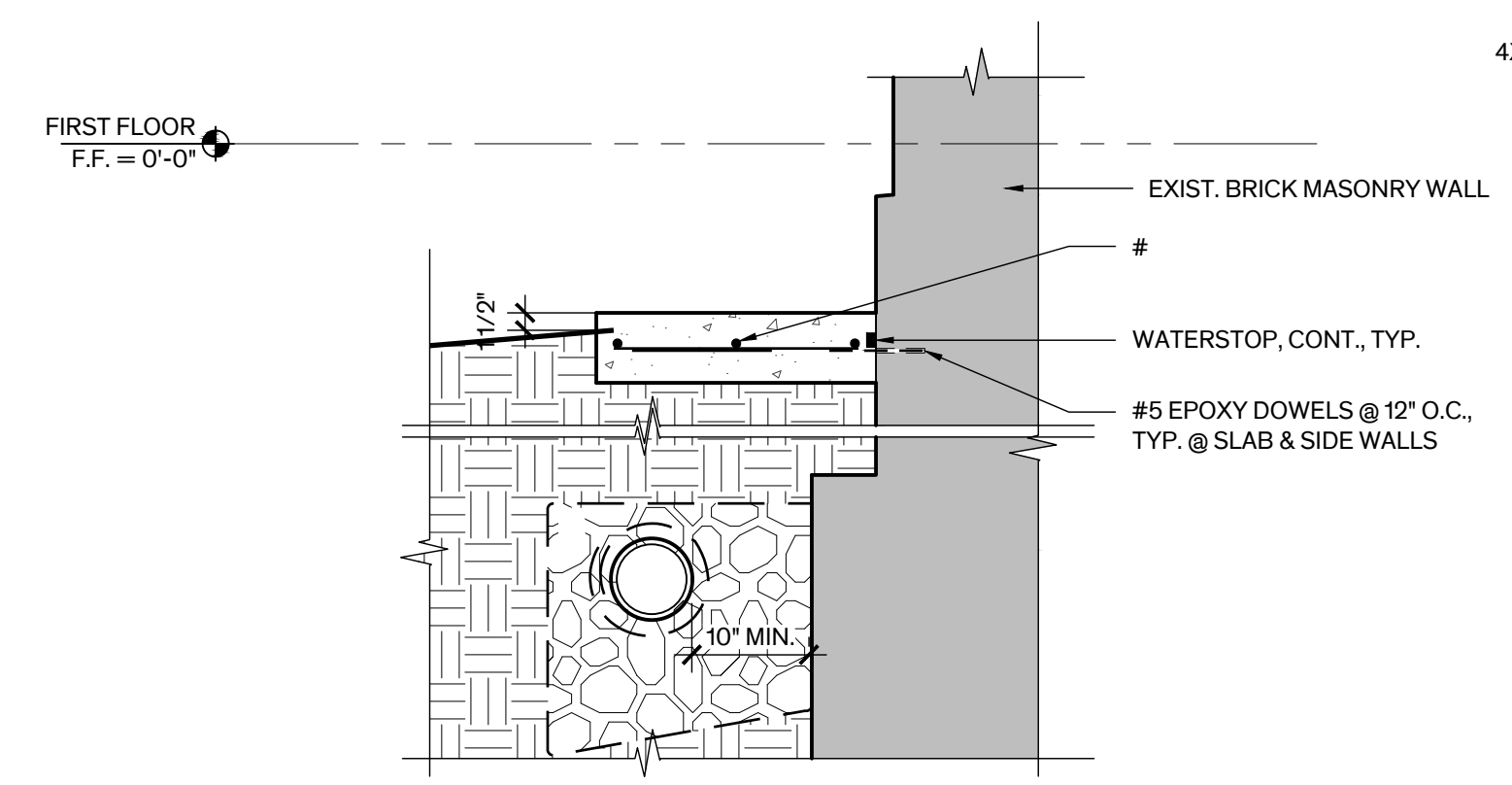
**6 Construction Joint Det.**  
Scale: 3" = 1'-0"



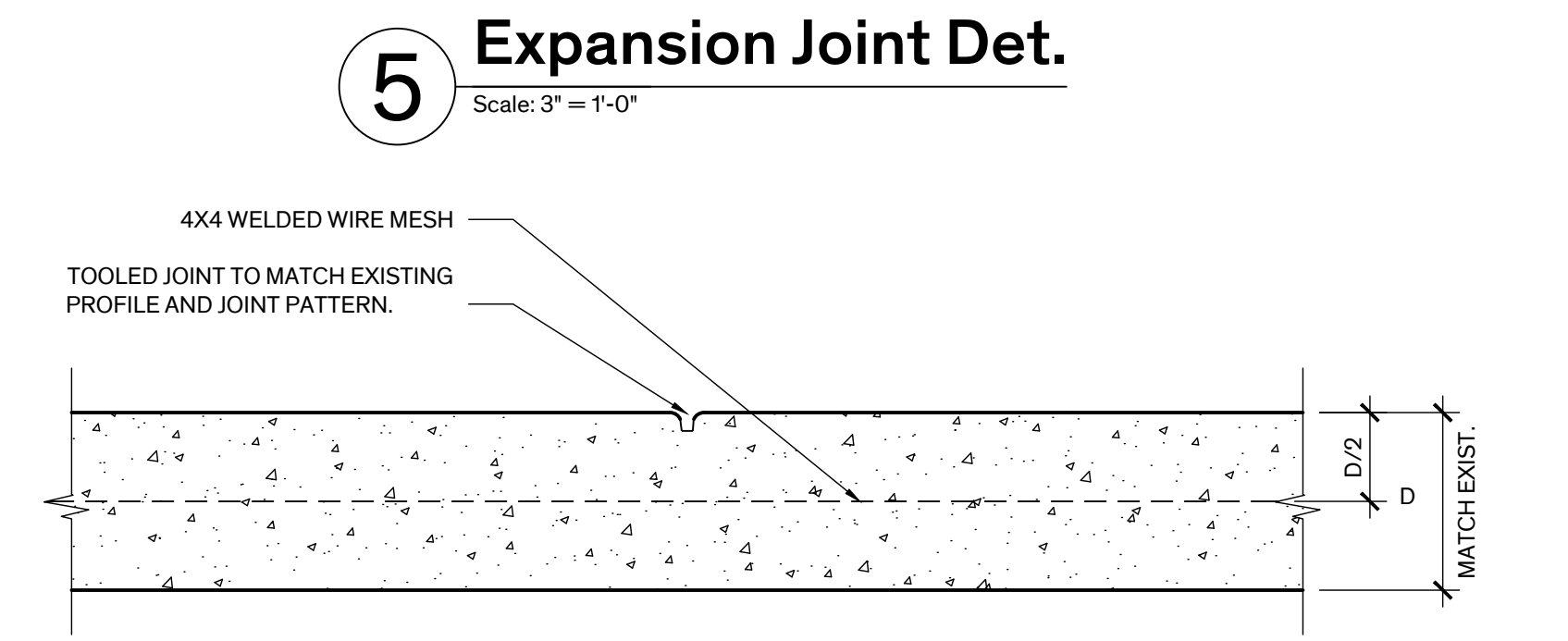
**2 Section Through Area Well, Typ.**  
Scale: 3/4" = 1'-0"



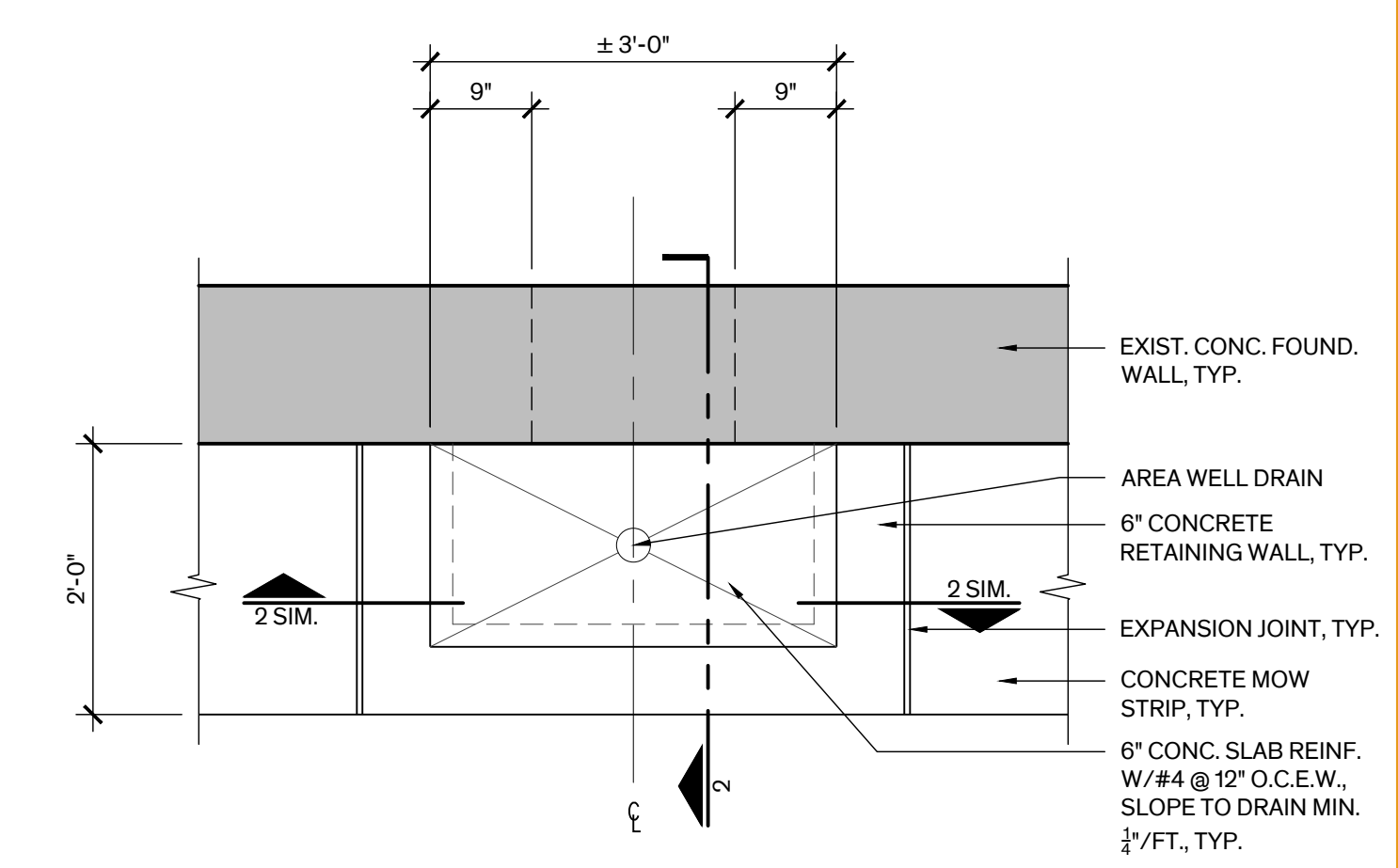
**5 Expansion Joint Det.**  
Scale: 3" = 1'-0"



**7 Mow Strip Det.**  
Scale: 3/4" = 1'-0"



**4 Control Joint Det.**  
Scale: 3" = 1'-0"



**1 Area Well Found. Plan**  
Scale: 3/4" = 1'-0"



HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name Site Details

Sheet Number



## HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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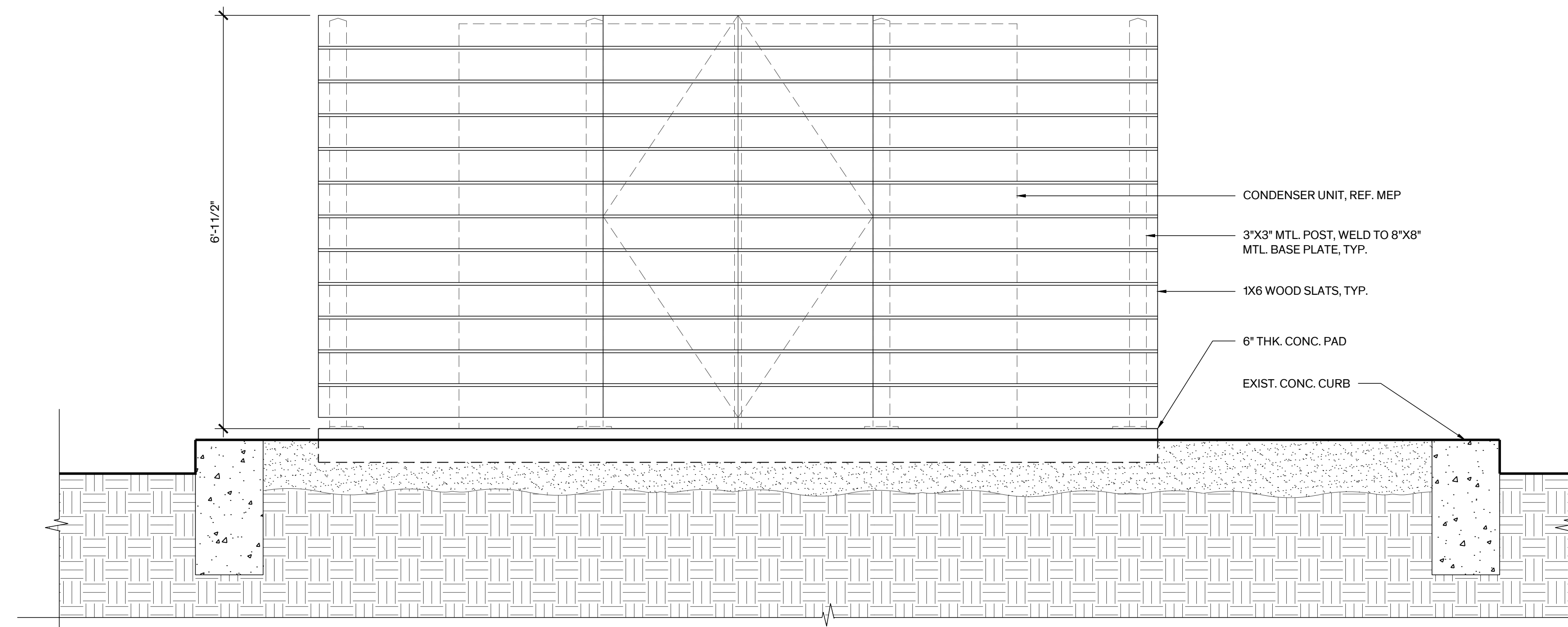
### SEAL

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SUSAN FROCHEUR, 5/30/23

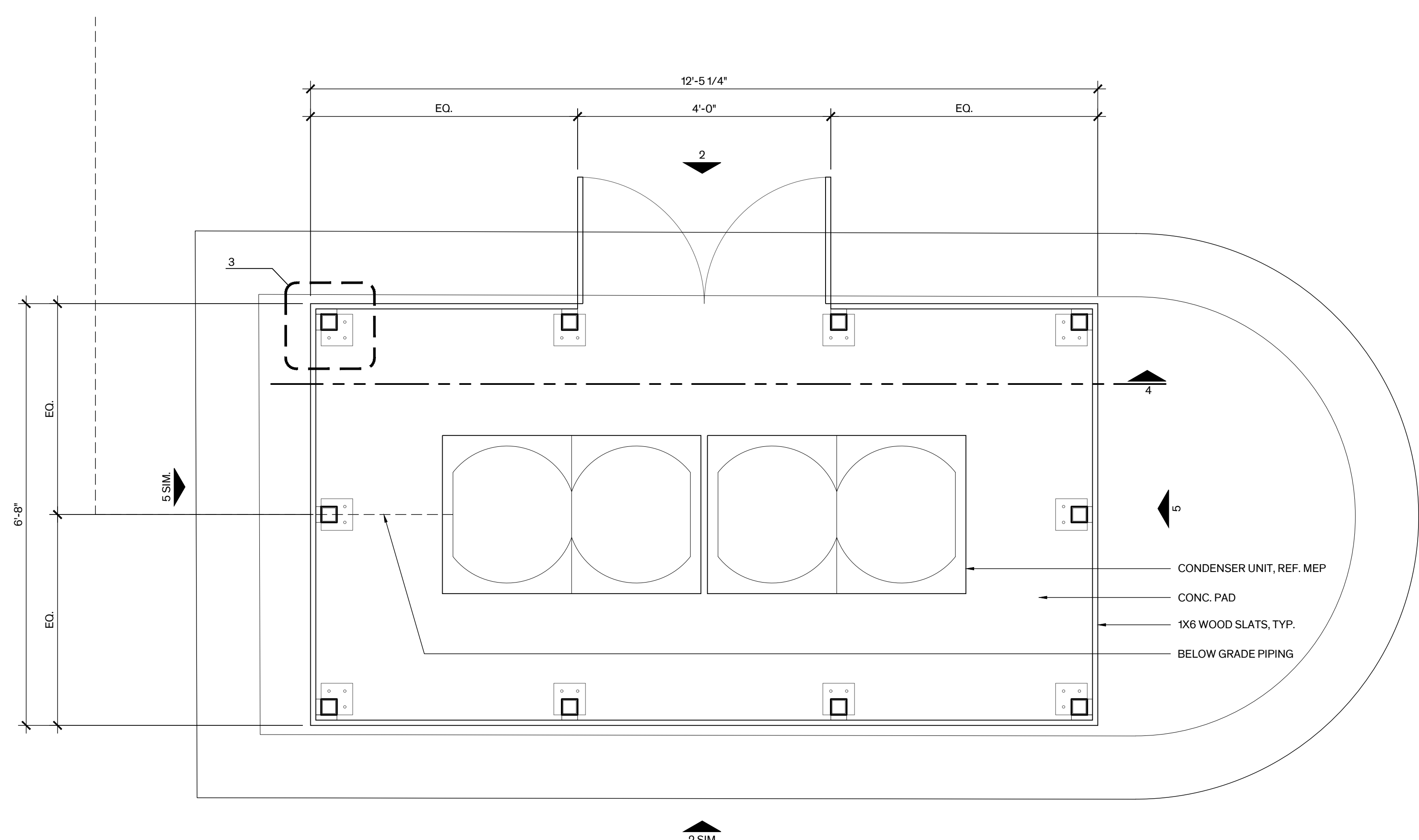
Architexas No. 2251 Date May 30th, 2023

Sheet Name Site Details

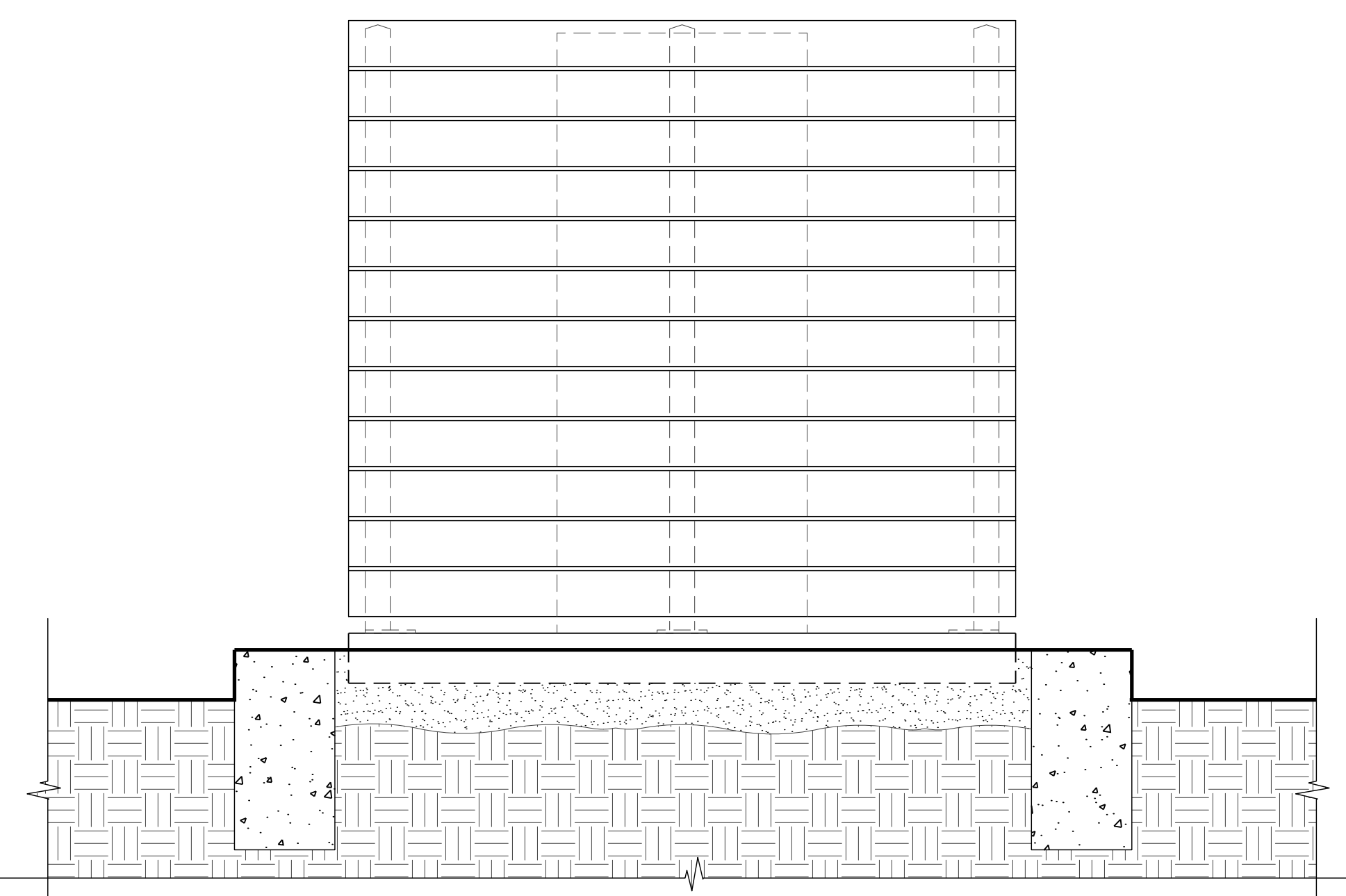
Sheet Number



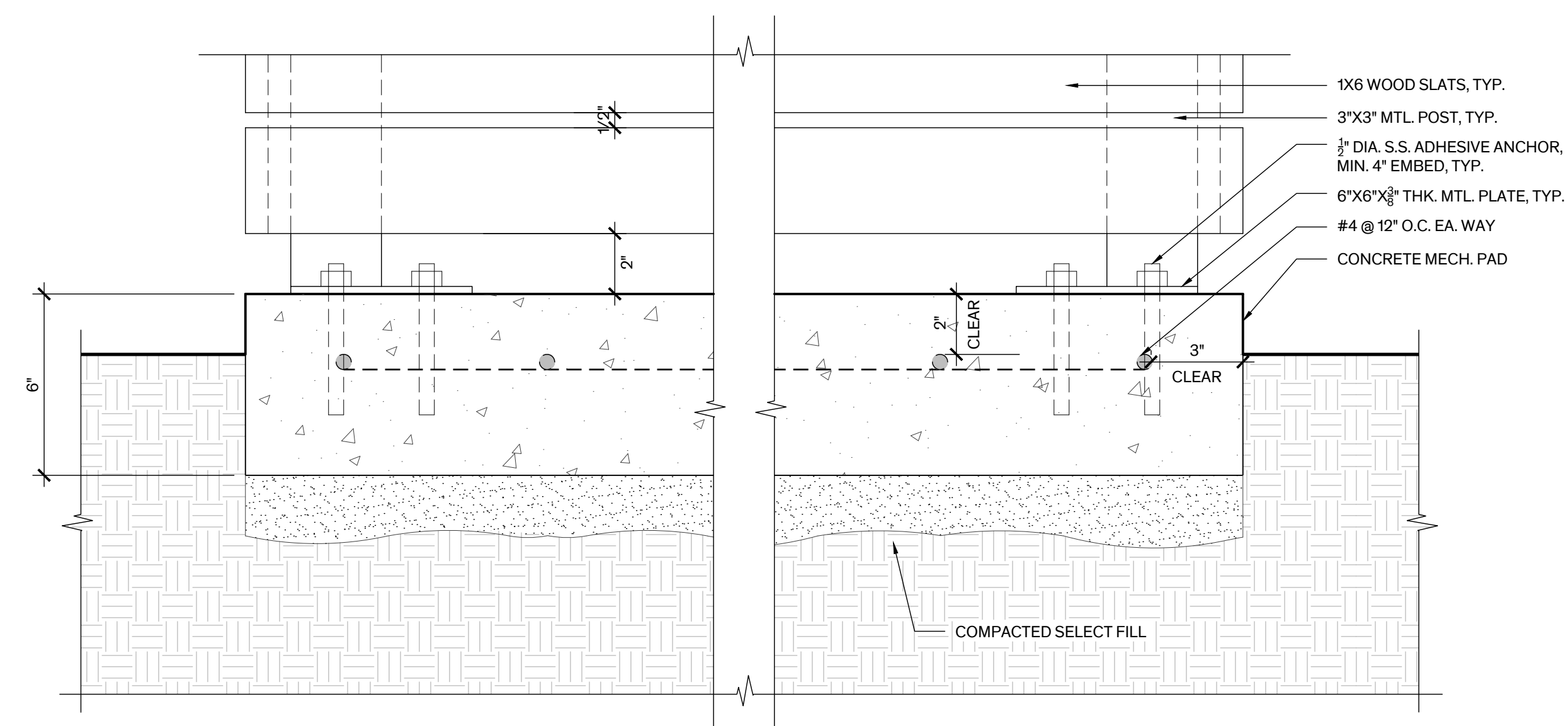
**2 Mechanical Enclosure-North Elev., South Sim.**  
Scale: 3/4" = 1'-0"



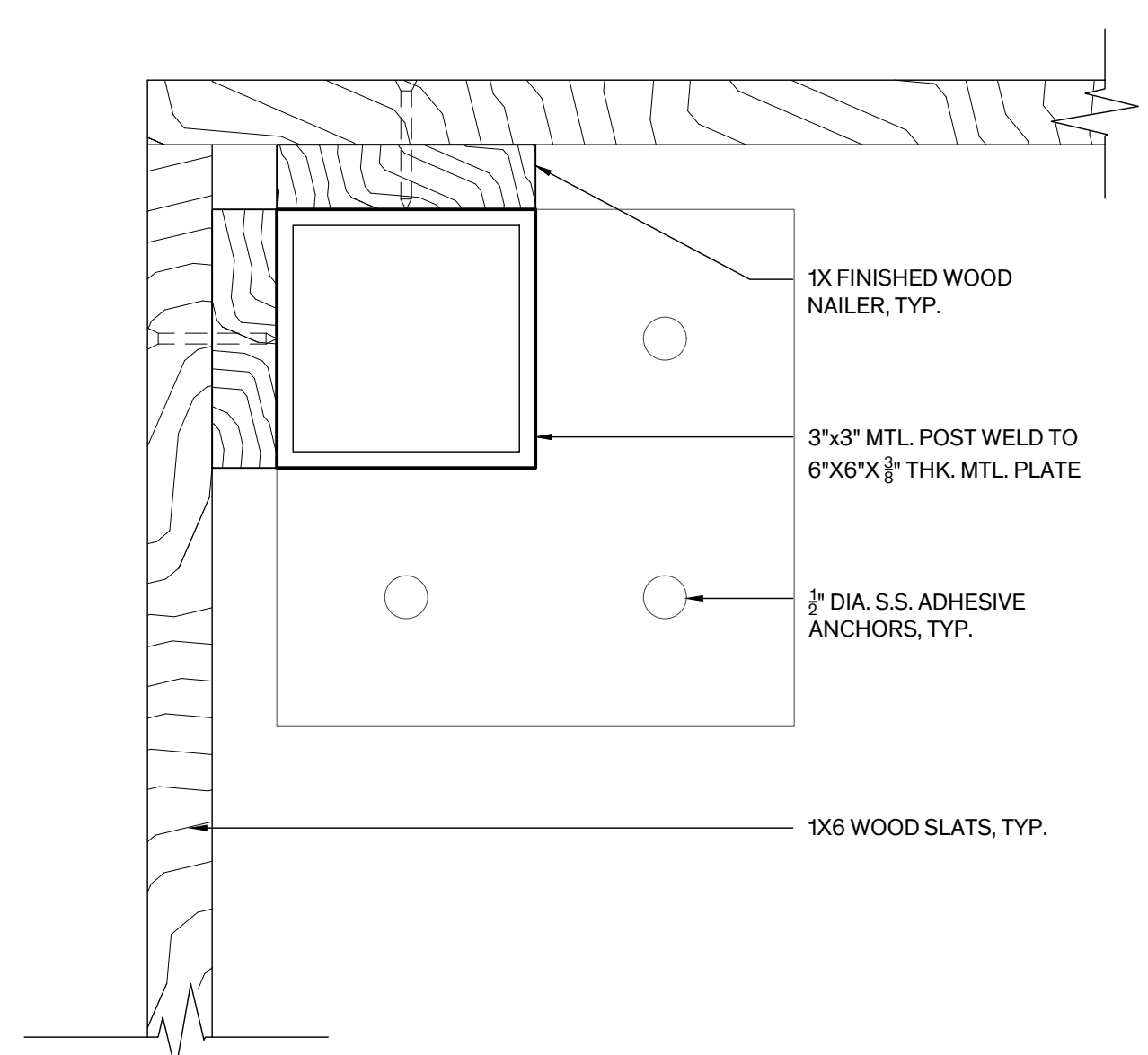
**1 Mechanical Enclosure Plan**  
Scale: 3/4" = 1'-0"



**5 Mechanical Enclosure-East Elev., West Sim.**  
Scale: 3/4" = 1'-0"



**4 Mechanical Pad Detail**  
Scale: 3" = 1'-0"



**3 Enclosure Post Detail**  
Scale: 6" = 1'-0"

## GENERAL NOTES - PLANS

- DIMENSIONING AT WALLS:** WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.O.N.
- MASONRY INFILL:**
  - FILL OPENINGS AT ABANDONED MEP PENETRATIONS TO MATCH EXISTING CONSTRUCTION. FINISH WALLS & CEILINGS AS SCHEDULED TO PROVIDE A SEAMLESS TRANSITION BETWEEN EXISTING & NEW CONSTRUCTION.
- EXISTING CONCRETE FLOOR & CEILING STRUCTURE:** REPAIR HOLES THROUGH SLAB MATCH EXIST. CONSTRUCTION/ASSEMBLY.
- STRUCTURAL STEEL (REFER TO STRUCTURAL):**
  - PROVIDE LINTELS AT NEW OR MODIFIED OPENINGS IN BRICK MASONRY WALLS AT SCHEDULED DOOR OPENING OR MEP PENETRATIONS WHERE INDICATED.
  - RE-FRAME 2ND FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
- ROUGH CARPENTRY (REFER TO STRUCTURAL):**
  - 1ST FLOOR:
    - SELECTIVELY REPAIR & REPLACE DETERIORATED FLOOR FRAMING. ASSUME 10% OF TOTAL FLOOR JOISTS REQUIRE REPAIR & 5% ARE BEYOND REPAIR & REQUIRE REPLACEMENT.
    - REPLACE WOOD SILL PLATE 100%, PERIMETER & INTERIOR MASONRY WALLS.
    - REPLACE FLOOR FRAMING BELOW EXIST. STAIR.
    - RE-FRAME FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
  - ATTIC:
    - SELECTIVELY REPLACE DETERIORATED WOOD SILL PLATE, ASSUME 10% OF TOTAL SILL PLATE.
    - SELECTIVELY REINFORCE ROOF FRAMING AT LONGER SPANS WHERE INDICATED.
    - MECHANICALLY FASTEN SILL PLATE TO MASONRY WALLS & PROVIDE HURRICANE TIES AT EACH ROOF RAFTER.
- PARTITIONS:**
  - REFER TO SHT. A-6.01 FOR PARTITION TYPES.
  - ALL WALL PARTITIONS SHALL BE TYPE "1" UNLESS OTHERWISE NOTED.
  - REPAIR HOLES IN EXIST. PARTITIONS SCHEDULED TO REMAIN. MATCH CONSTRUCTION & FINISH OF EXISTING WALL ASSEMBLY AS REQUIRED TO PROVIDE A SEAMLESS TRANSITION BETWEEN REPAIRED AREAS & ADJACENT SURFACES.
- MILLWORK:**
  - WOOD BASE: REFER TO ROOM FINISH SCHED., SHT. A6.01 FOR SCOPE OF WORK.
- STAIR & LADDERS:**
  - 1ST FLOOR: RE-SUPPORT & LEVEL ORIGINAL METAL STAIR IN-SITU EXTENDING FROM 1ST TO 2ND FLOOR. REF. STRUCTURAL. PROVIDE METAL HANDRAIL WITH METAL WALL BRACKETS AT WALL SIDE.
  - PROVIDE VERTICAL METAL LADDER FOR ATTIC ACCESS WHERE INDICATED.
- DOORS:** REFER TO DOOR SCHEDULE ON SHT. A-5.01 & DETAILED DOOR INVENTORY IN THE APPENDIX OF THE PROJECT MANUAL FOR SCOPE OF WORK.
- WINDOWS:** REFER TO WINDOW SCHEDULE ON SHT. A-5.10 FOR SCOPE OF WORK.
- FINISHES:** REFER TO ROOM FINISH SCHEDULE & GENERAL FINISH NOTES ON SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- FLAT PLASTER WALL & CEILING RESTORATION:** REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- FLOOR FINISH RESTORATION:** REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- TOILET ACCESSORIES:** REFER TO TOILET ACCESSORIES SCHEDULE ON SHT. A-6.10.
- FIRE EXTINGUISHERS:** PROVIDE RECESSED CABINETS & WALL MOUNTED FIRE EXTINGUISHERS WHERE SHOWN.
- SIGNAGE:** PROVIDE ROOM SIGNAGE TO COMPLY WITH TAS, REF. SPEC. SECT. 10425 - SIGNAGE.
- INSULATION:**
  - REFER TO WALL TYPES SHT. A-6.01 FOR INSULATION IN NEW WALLS.
  - ATTIC: PROVIDE THERMAL BATT INSULATION BETWEEN CEILING JOISTS, TYP.
- LIFT:** PROVIDE ADA COMPLIANT VERTICAL PLATFORM LIFT WITH CUSTOM METAL ENCLOSURE INCLUDING GATES FOR A COMPLETE SYSTEM. REINFORCE AND PROVIDE BLOCKING IN ADJACENT WALL / PARTITION FOR ATTACHMENT OF TOWER. REF. STRUCT. & MEP.
- MECHANICAL CLOSETS:** PROVIDE METAL FRAMED PLATFORMS / FLOOR ASSEMBLIES CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS FOR FAN COIL UNITS (FCU), REF. MEP.



HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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**REVISION HISTORY**  
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3. 95% CD Submission 30 May 2023

## KEY NOTES

- 1 PROVIDE LINTEL AT NEW OR MODIFIED OPENING IN BRICK MASONRY WALL FOR SCHEDULED DOOR OPENING OR MEP PENETRATION

## FLOOR PLAN LEGEND

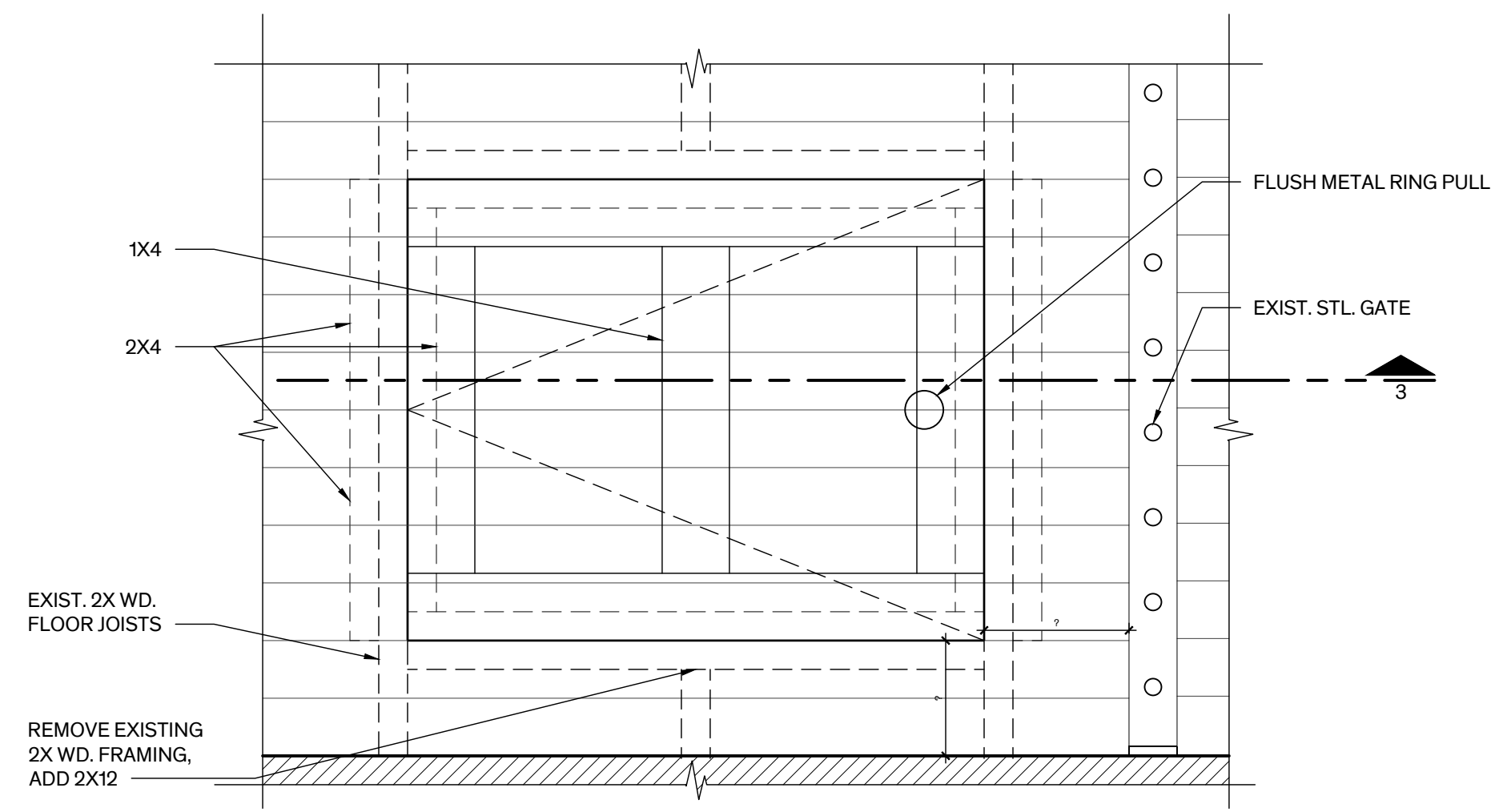
	NEW WALL / ELEMENT
	EXIST. WALLS TO REMAIN
	REPAIR HOLE IN WALL AT REMOVED MEP. MATCH EXIST. WALL CONSTRUCTION & FINISH
	REPLACE MISSING, POORLY PATCHED OR DAMAGED PLASTER FINISH
	NEW CONCRETE FLOOR ASSEMBLY, REF. STRUCT.
	SUPPLY GRILLE
	RETURN GRILLE
	WALL MOUNTED FIRE EXTINGUISHER
	RECESSED FIRE EXTINGUISHER CABINET
	DRINKING FOUNTAIN

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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

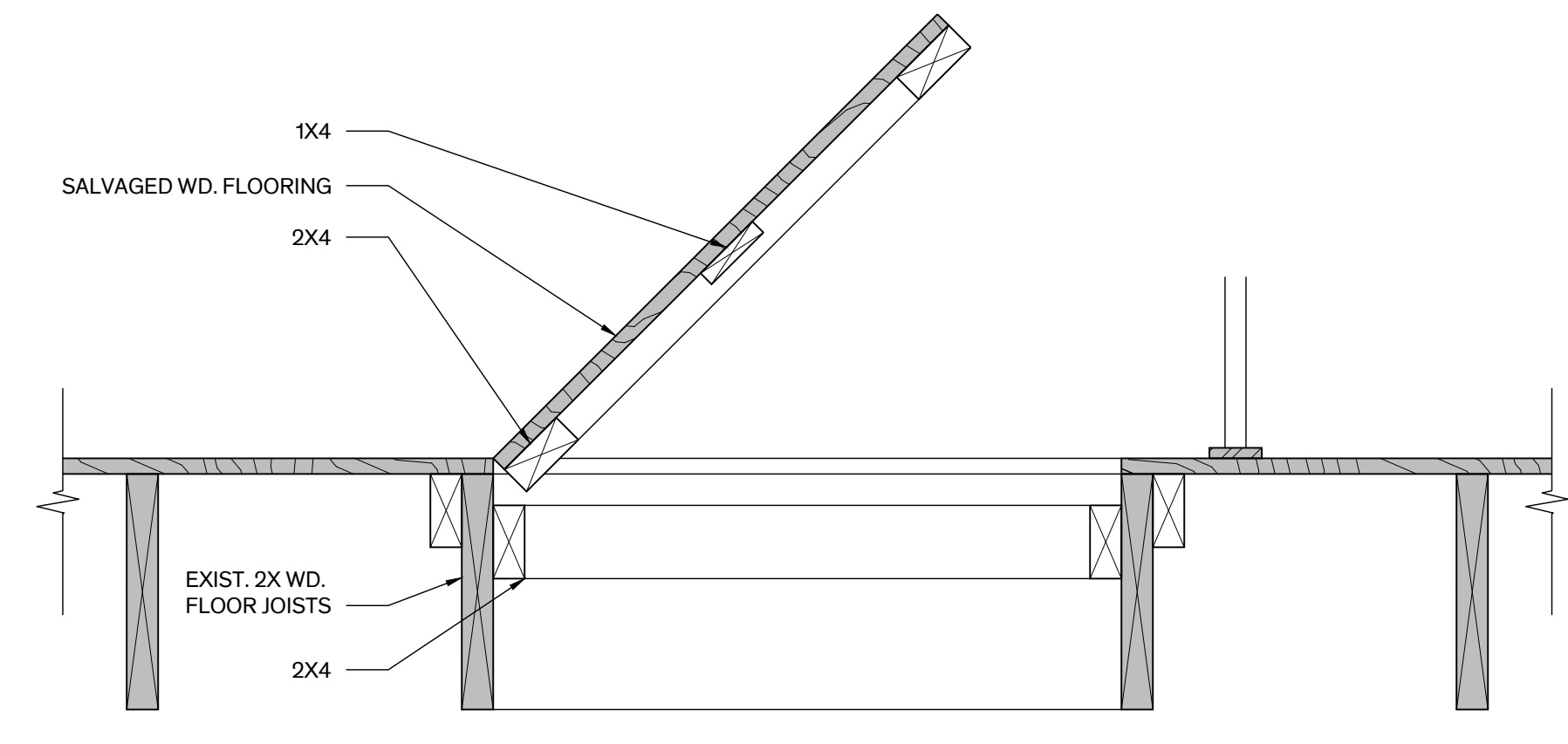
Sheet Name First & Second Floor Plans

Sheet Number



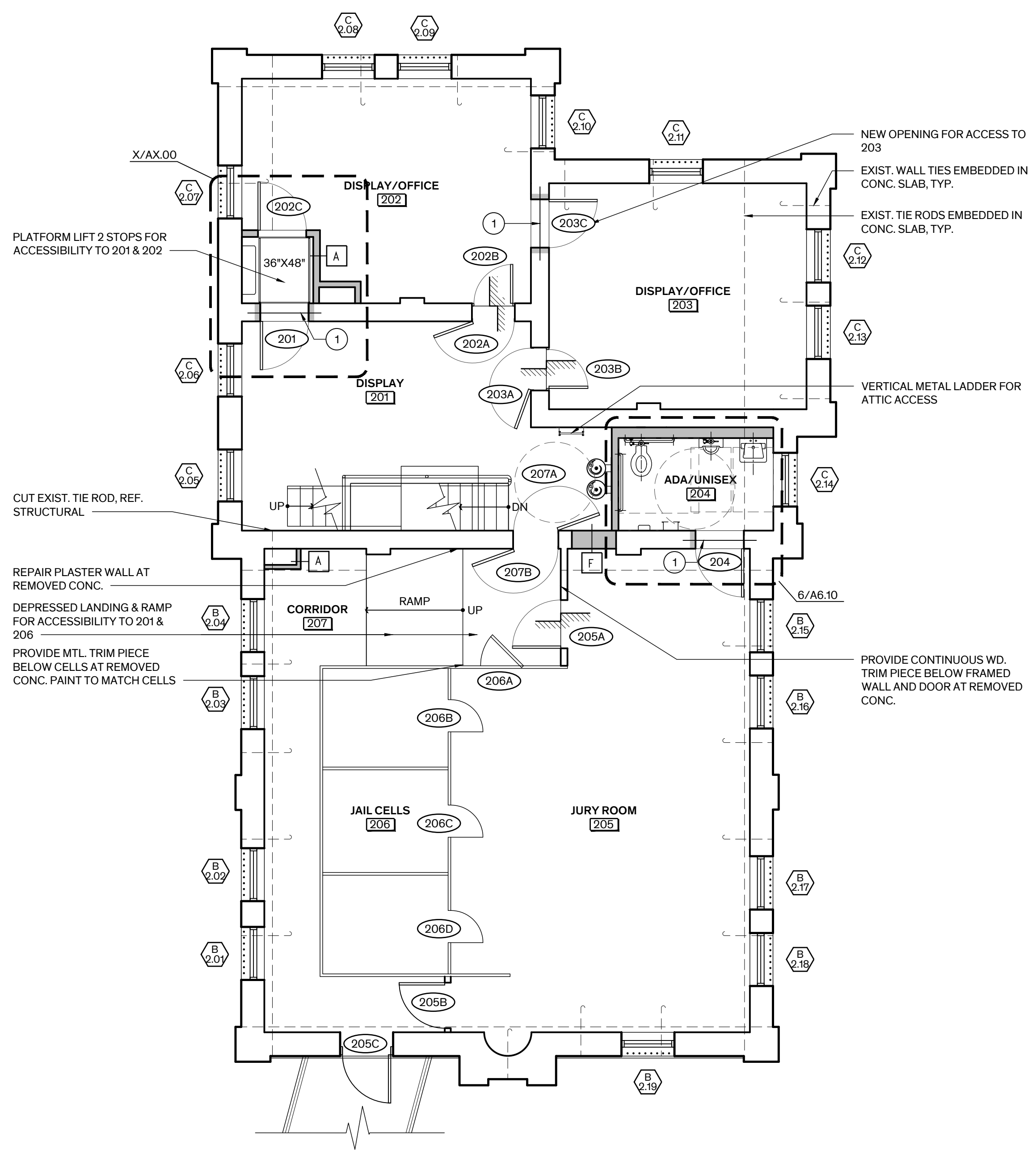
### 4 Crawspace Hatch Plan Detail

Scale: 1 1/2" = 1'-0"



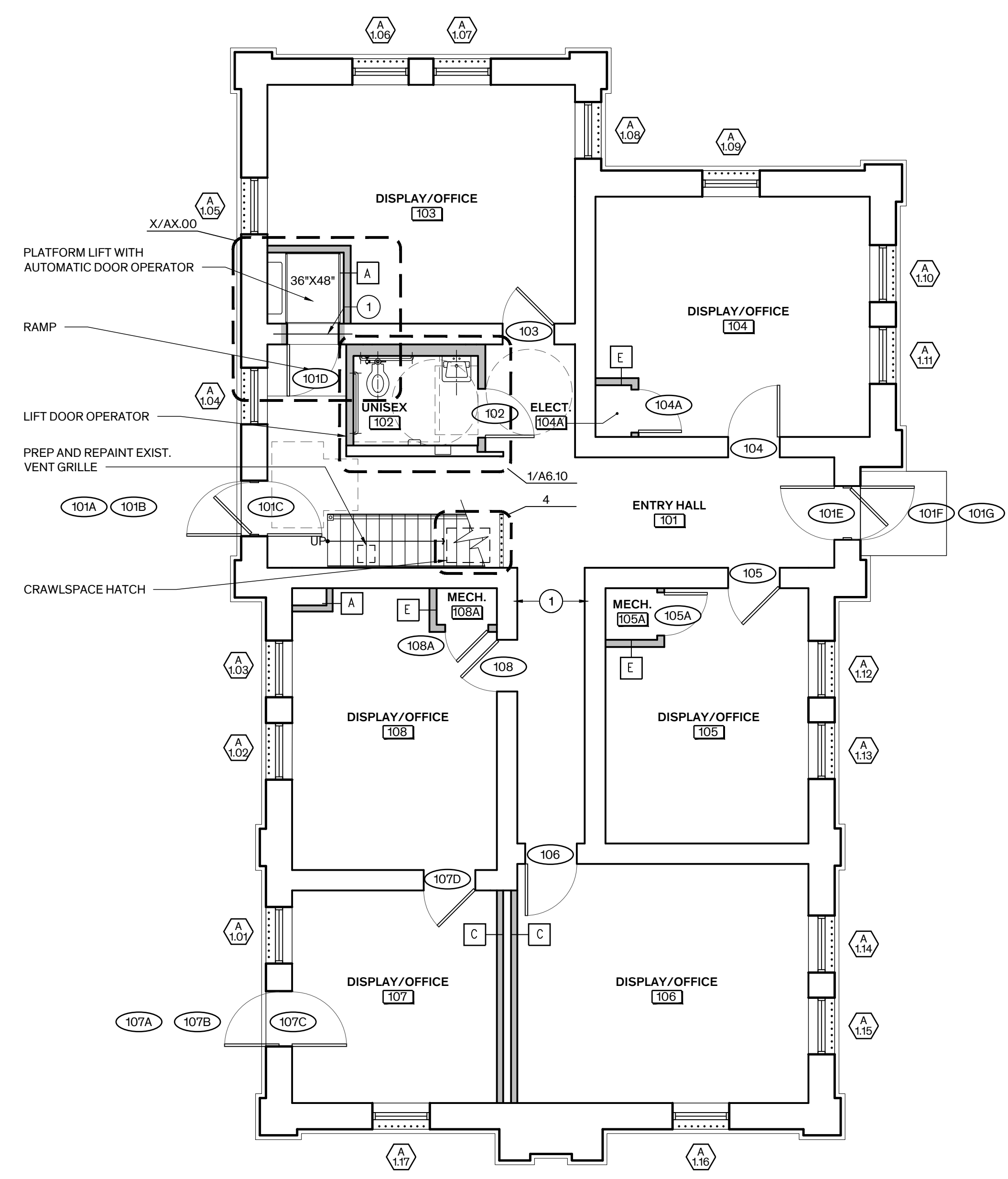
### 3 Crawspace Hatch Section Detail

Scale: 1 1/2" = 1'-0"



### 2 Second Floor Plan

Scale: 3/16" = 1'-0"

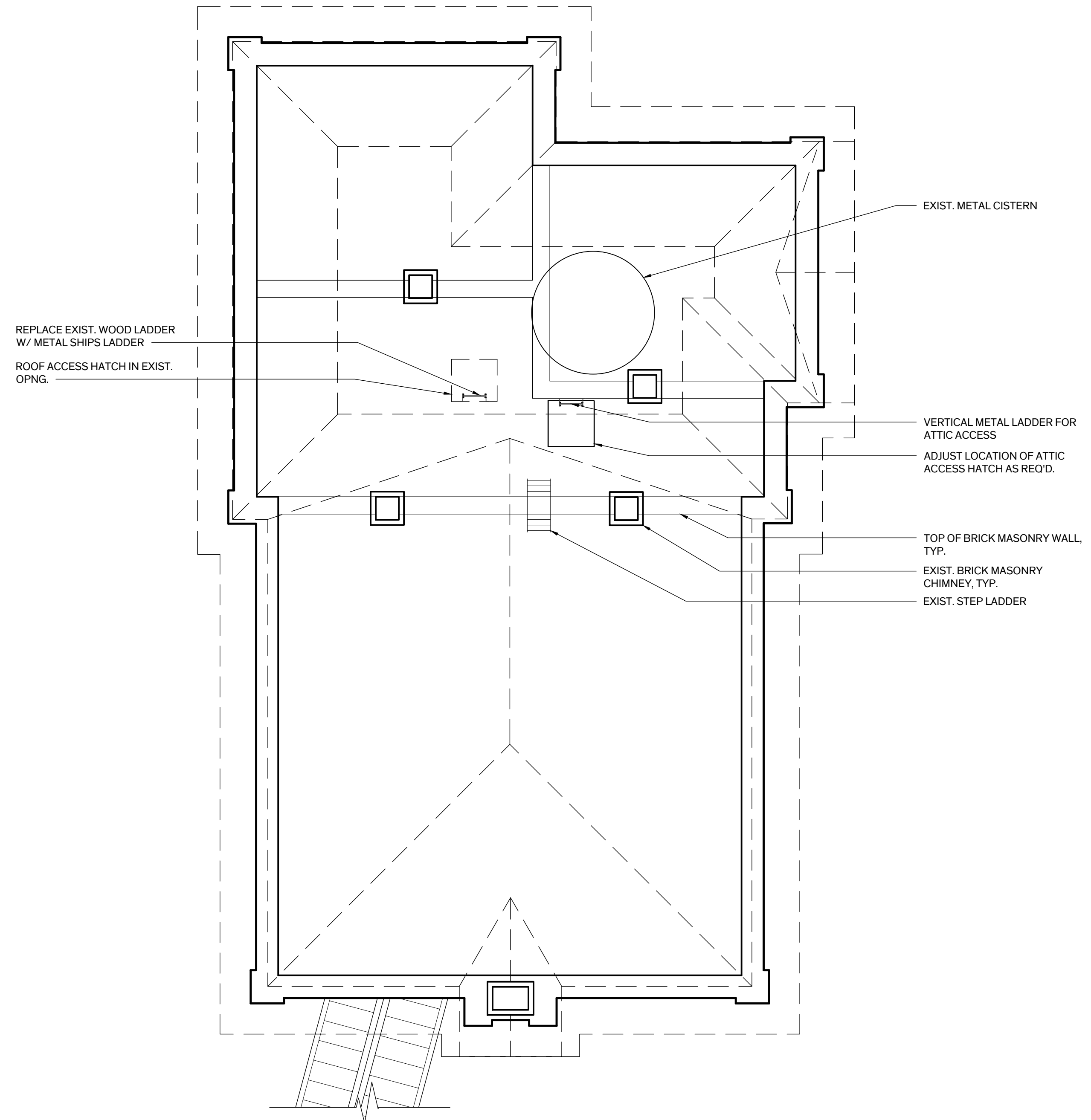


### 1 First Floor Plan

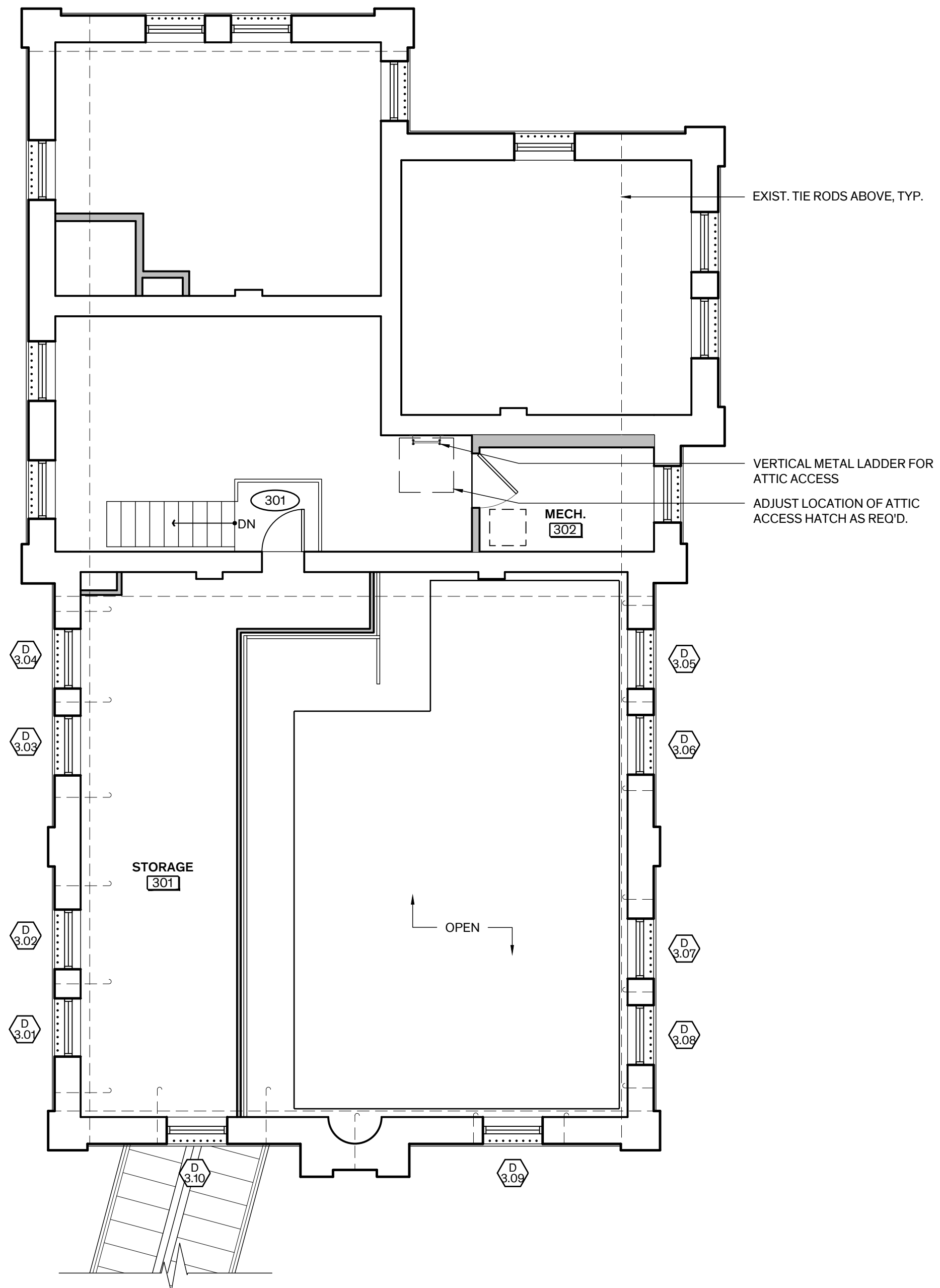
Scale: 3/16" = 1'-0"

GENERAL NOTES - PLANS

- 1. DIMENSIONING AT WALLS: WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.O.N.
2. MASONRY INFILL: A. FILL OPENINGS AT ABANDONED MEP PENETRATIONS TO MATCH EXISTING CONSTRUCTION. FINISH WALLS & CEILINGS AS SCHEDULED TO PROVIDE A SEAMLESS TRANSITION BETWEEN EXISTING & NEW CONSTRUCTION.
3. EXISTING CONCRETE FLOOR & CEILING STRUCTURE: REPAIR HOLES THROUGH SLAB MATCH EXIST. CONSTRUCTION/ASSEMBLY.
4. STRUCTURAL STEEL (REFER TO STRUCTURAL): A. PROVIDE LINTELS AT NEW OR MODIFIED OPENINGS IN BRICK MASONRY WALLS AT SCHEDULED DOOR OPENING OR MEP PENETRATIONS WHERE INDICATED. B. RE-FRAME 2ND FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
5. ROUGH CARPENTRY (REFER TO STRUCTURAL): A. 1ST FLOOR: (1) SELECTIVELY REPAIR & REPLACE DETERIORATED FLOOR FRAMING... B. ATTIC: (1) SELECTIVELY REPLACE DETERIORATED WOOD SILL PLATE...
6. PARTITIONS: A. REFER TO SHT. A-6.01 FOR PARTITION TYPES. B. ALL WALL PARTITIONS SHALL BE TYPE "1" UNLESS OTHERWISE NOTED.
7. MILLWORK: A. WOOD BASE: REFER TO ROOM FINISH SCHED., SHT. A6.01 FOR SCOPE OF WORK.
8. STAIR & LADDERS: A. 1ST FLOOR: RE-SUPPORT & LEVEL ORIGINAL METAL STAIR... B. PROVIDE VERTICAL METAL LADDER FOR ATTIC ACCESS WHERE INDICATED.
9. DOORS: REFER TO DOOR SCHEDULE ON SHT. A-5.01 & DETAILED DOOR INVENTORY IN THE APPENDIX OF THE PROJECT MANUAL FOR SCOPE OF WORK.
10. WINDOWS: REFER TO WINDOW SCHEDULE ON SHT. A-5.10 FOR SCOPE OF WORK.
11. FINISHES: REFER TO ROOM FINISH SCHEDULE & GENERAL FINISH NOTES ON SHT. A-6.01 FOR SCOPE OF WORK.
12. FLAT PLASTER WALL & CEILING RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK.
13. FLOOR FINISH RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK.
14. TOILET ACCESSORIES: REFER TO TOILET ACCESSORIES SCHEDULE ON SHT. A-6.10.
15. FIRE EXTINGUISHERS: PROVIDE RECESSED CABINETS & WALL MOUNTED FIRE EXTINGUISHERS WHERE SHOWN.
16. SIGNAGE: PROVIDE ROOM SIGNAGE TO COMPLY WITH TAS, REF. SPEC. SECT. 10425 - SIGNAGE.
17. INSULATION: A. REFER TO WALL TYPES SHT. A-6.01 FOR INSULATION IN NEW WALLS. B. ATTIC: PROVIDE THERMAL BATT INSULATION BETWEEN CEILING JOISTS, TYP.
18. LIFT: PROVIDE ADA COMPLIANT VERTICAL PLATFORM LIFT WITH CUSTOM METAL ENCLOSURE INCLUDING GATES FOR A COMPLETE SYSTEM.
19. MECHANICAL CLOSETS: PROVIDE METAL FRAMED PLATFORMS / FLOOR ASSEMBLIES CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS FOR FAN COIL UNITS (FCU), REF. MEP.



2 Attic Plan Scale: 3/16" = 1'-0" TRUE NORTH



1 Mezzanine Plan Scale: 3/16" = 1'-0" TRUE NORTH

KEY NOTES

- 1 PROVIDE LINTEL AT NEW OR MODIFIED OPENING IN BRICK MASONRY WALL FOR SCHEDULED DOOR OPENING OR MEP PENETRATION

FLOOR PLAN LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for New Wall/Element, Existing Walls, Repair Holes, Replace Missing Plaster, New Concrete Floor, Supply/Return Grilles, Fire Extinguishers, and Drinking Fountain.



HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street Bastrop, TX 78602

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REVISION HISTORY table with 3 columns: Revision Number, Description, Date. Includes SD Submission, DD Submission, and 95% CD Submission.

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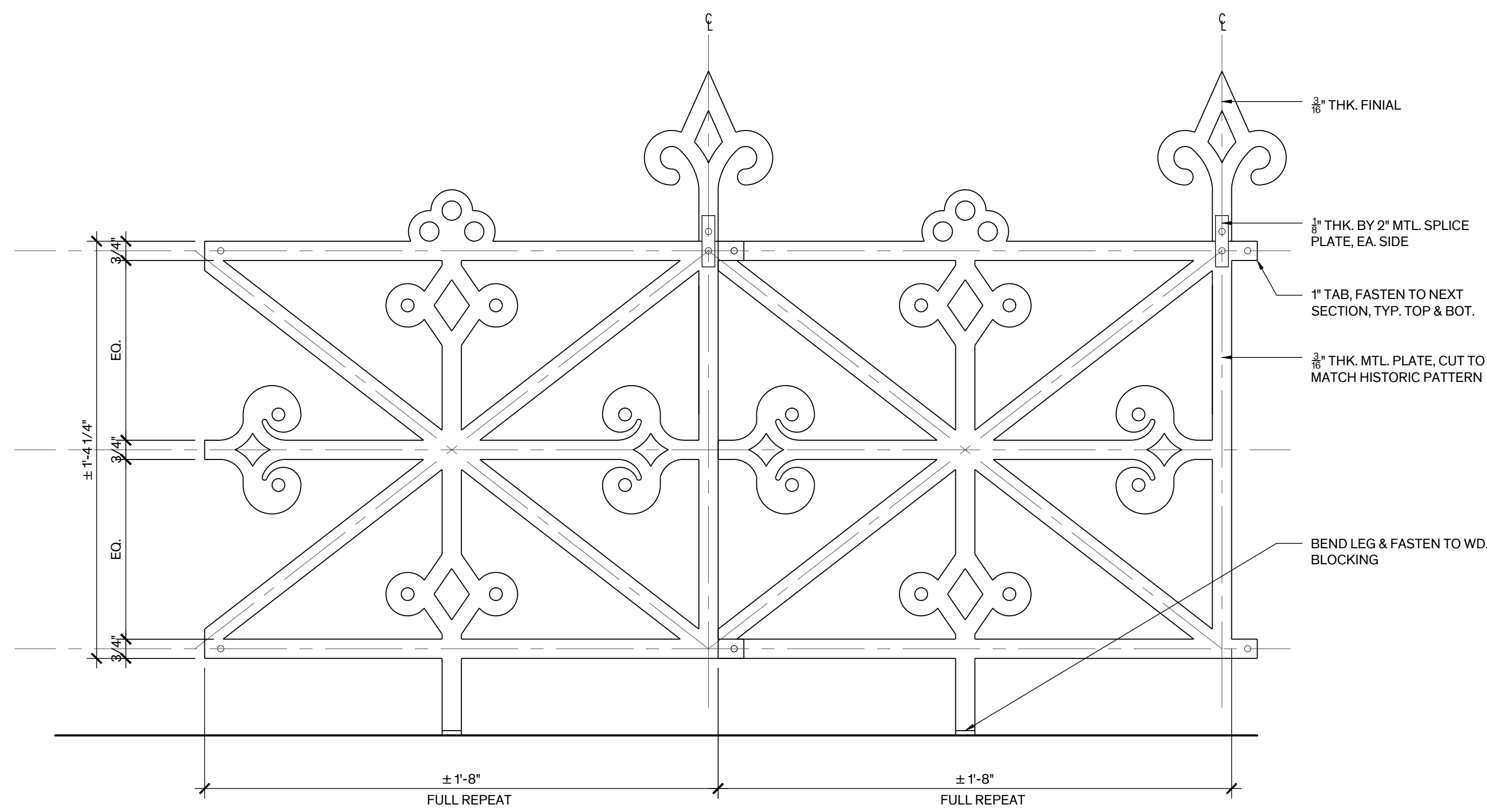
Architexas No. 2251 Date May 30th, 2023

Sheet Name Mezzanine and Attic Plans

Sheet Number

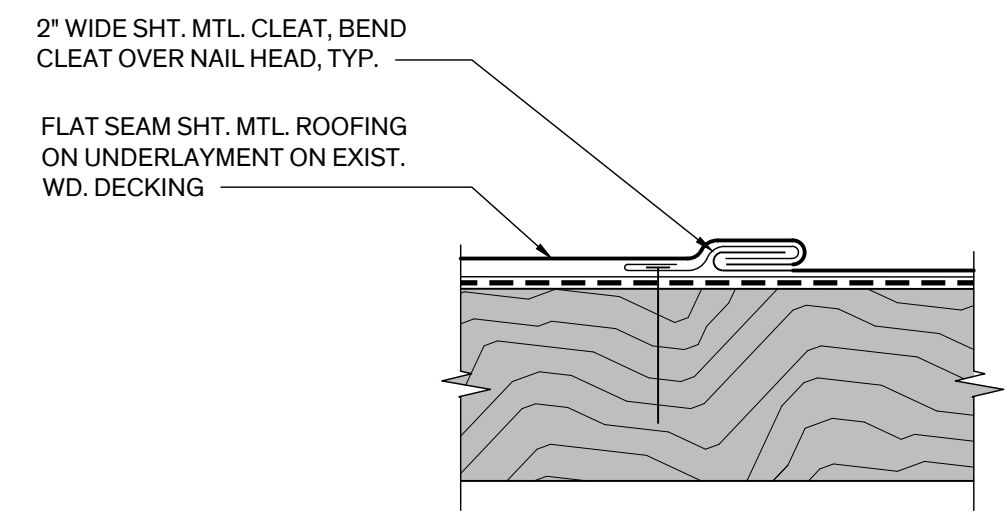
## GENERAL NOTES-ROOF PLAN

- A. DEMOLITION:**
1. REMOVED EXIST. SHEET METAL ROOFING TO EXPOSE WOOD SUBSTRATE INCLUDING UNDERLAYMENT, FLAT SEAM & STANDING SEAM ROOFING, GUTTER LINER, & ASSOCIATED FLASHING ELEMENTS.
  2. REMOVE EXIST. ACCESS HATCH AT FLAT ROOF.
  3. REMOVE EXIST. SHT. MTL. DOWNSPOUTS, SALVAGE DOWNSPOUT STRAPS IN GOOD CONDITION FOR REUSE.
- B. ROOFING:**
1. PROVIDE SLATE ROOFING AT SLOPED MANSARD ROOF & HIPPED ROOFS INCLUDING UNDERLAYMENT & SHEET METAL FLASHING ELEMENTS AS REQ'D FOR A COMPLETE SYSTEM.
  2. PROVIDE FLAT SEAM SHEET METAL ROOFING AT FLAT AREAS OF MANSARD ROOF INCLUDING UNDERLAYMENT & SHEET METAL FLASHING ELEMENTS AS REQ'S FOR A COMPLETE SYSTEM.
  3. PROVIDE SHEET METAL GUTTER LINER AT PERIMETER OF ROOF INCLUDING UNDERLAYMENT. MODIFY SUBSTRATE AS REQ'D FOR PROPER SLOPE TO DOWNSPOUT LOCATIONS. CONNECT LINER TO SHEET METAL CORNICE SCHEDULED TO REMAIN. ISOLATE DISSIMILAR METALS AS REQ'D TO PREVENT GALVANIC CORROSION.
  4. REPAIR & OR REPLACE DAMAGED AREAS OF WOOD SUBSTRATE AT ROOF & CORNICE GUTTER, MATCH EXIST. TYPE & THICKNESS. ASSUME 5% OF TOTAL ROOF/GUTTER AREA SHALL BE REPLACED.
  5. REPLACE ROOF ACCESS HATCH IN EXIST. OPENING.
- C. CRESTING:** PROVIDE DECORATIVE ORNAMENTAL METAL CRESTING AT PERIMETER OF FLAT MANSARD ROOF INCLUDING METAL TIE BACKS, WOOD BLOCKING, & ASSOCIATED FLASHING AS REQ'D FOR COMPLETE SYSTEM.
- D. CHIMNEYS:**
1. REPOINT CHIMNEYS 100%
  2. PROVIDE SHEET METAL CRICKETS WHERE REQ'D BY CODE
  3. PROVIDE SHEET METAL BASE & COUNTER FLASHING AT ROOF PENETRATION
  4. PROVIDE SHEET METAL CAP AT ALL CHIMNEYS.
- E. LIGHTNING PROTECTION SYSTEM:** RESTORE & UPGRADE EXIST. LIGHTNING PROTECTION SYSTEM TO COMPLY WITH CURRENT CODES, REF. MEP.



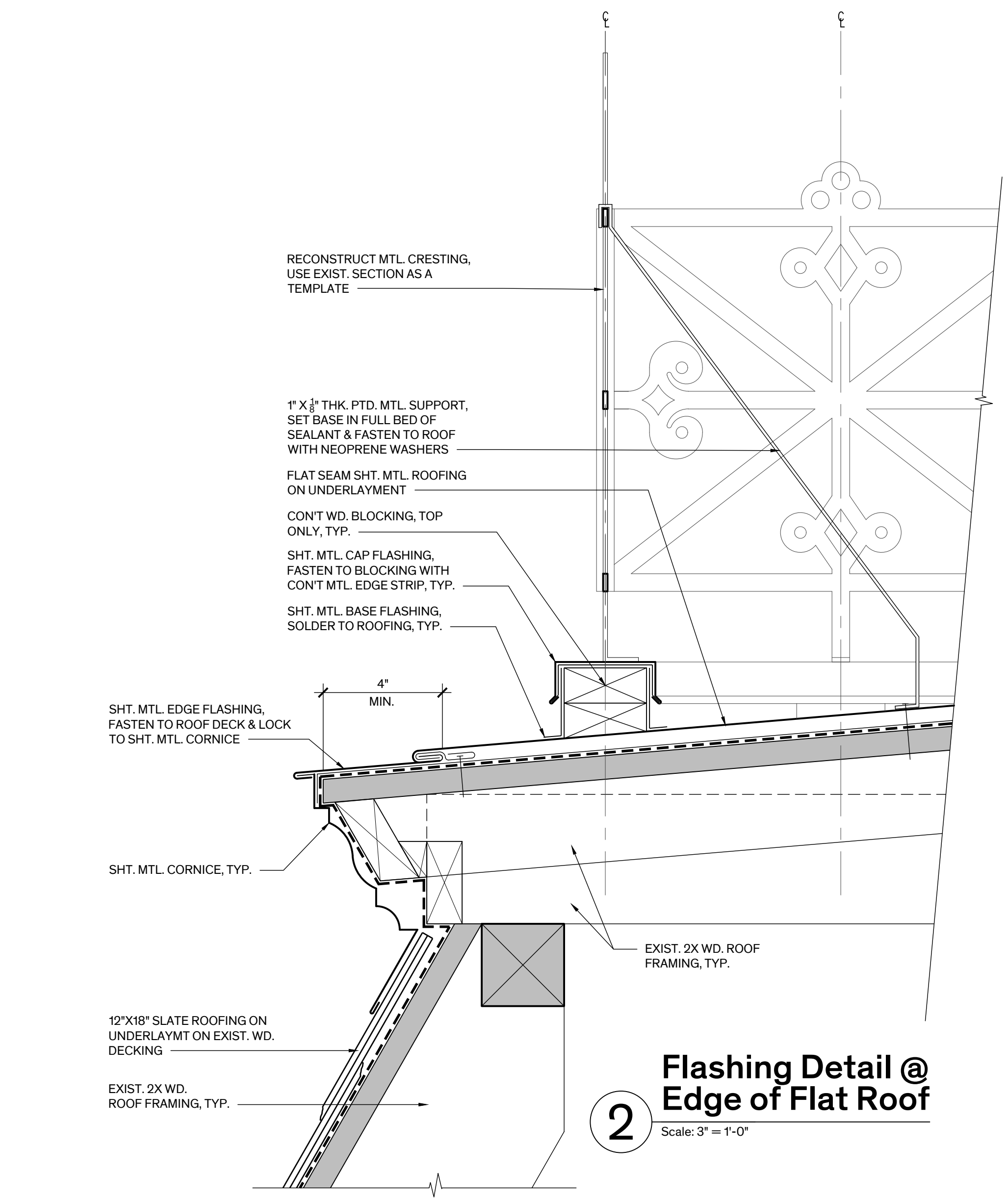
### 3 Roof Cresting Elevation

Scale: 3" = 1'-0"



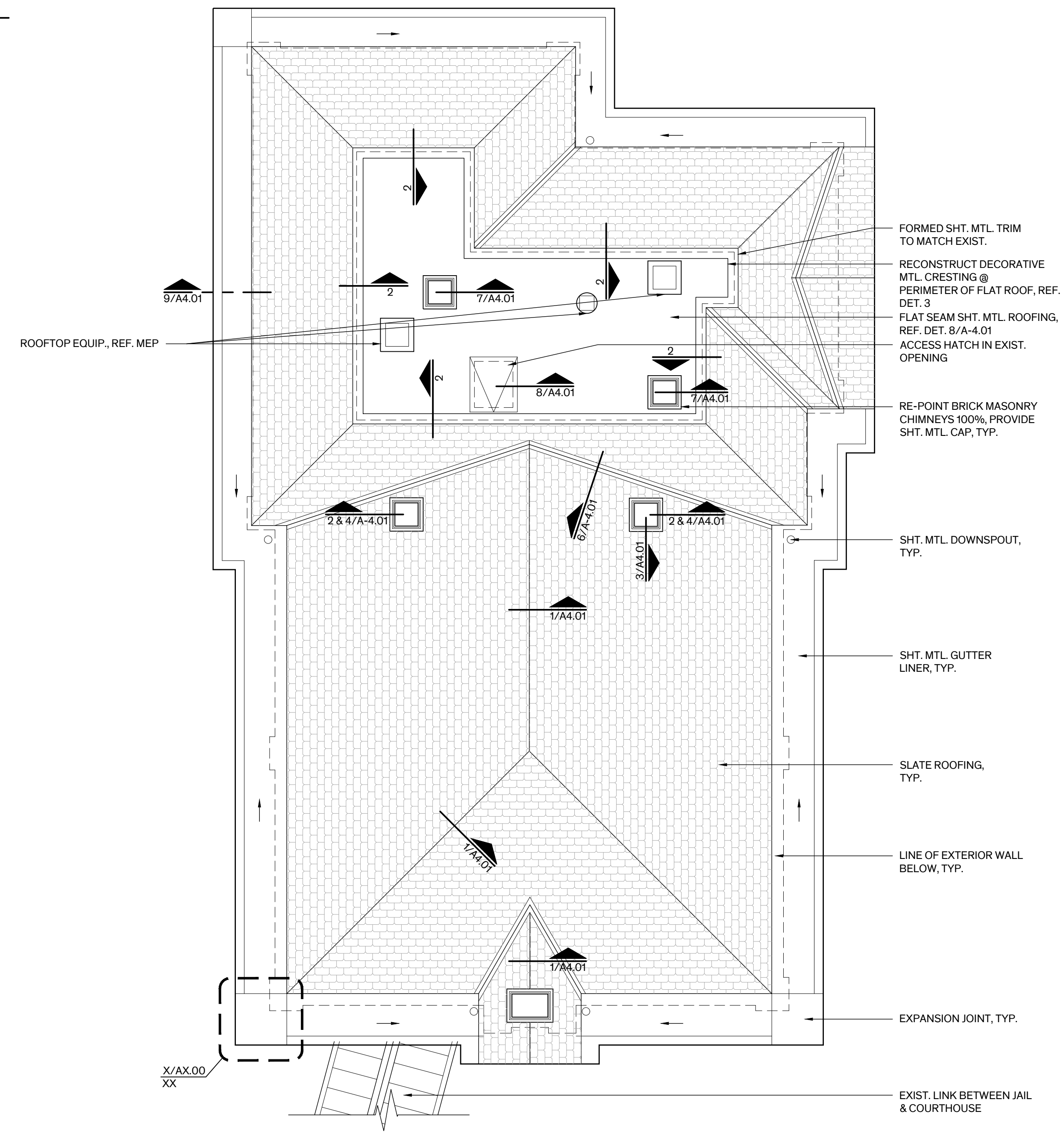
### 4 Flat Seam Metal Roofing Detail, Typ.

Scale: 1" = 1"



### 2 Flashing Detail @ Edge of Flat Roof

Scale: 3" = 1'-0"



### 1 Roof Plan

Scale: 3/16" = 1'-0"



## LEGEND



## ALTERNATES

- REFER TO SPEC. SECTION 01230 - ALTERNATES FOR DETAILED DESCRIPTION OF WORK
- ALTERNATE NO. 1:** DELETE ROOFING WORK, INCLUDE THE FOLLOWING, SLATE ROOFING, FLAT SEAM SHEET METAL ROOFING, SHEET METAL GUTTER LINER, FLASHINGS & SHEET METAL TRIM ASSOCIATED WITH ROOFING, SHEET METAL CHIMNEY CAPS, DOWNSPOUTS, RECONSTRUCTION OF ROOF CRESTING, ROOF HATCH, & LIGHTNING PROTECTION.
- ALTERNATE NO. 2: ROOFING MATERIAL OPTIONS:**
- 2A: IN LIEU OF SLATE ROOFING PROVIDE TERNE COATED COPPER STANDING SEAM ROOFING.
- 2B: IN LIEU OF SLATE ROOFING PROVIDE GALVANIZED SHEET STEEL STANDING SEAM ROOFING.
- 2C: IN LIEU OF SLATE ROOFING PROVIDE SYNTHETIC SLATE ROOFING, CENTENNIAL SLATE BY CERTAINTED OR APPROVED EQUAL.



## HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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78602

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### REVISION HISTORY

1. SD Submission 14 February 2023
2. DD Submission 4 April 2023
3. 95% CD Submission 30 May 2023

### SEAL

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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name Roof Plan

Sheet Number



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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name North & South Elevations

Sheet Number A-3.01

## GENERAL NOTES - EXIST. ELEV.

- MASONRY CLEANING:**
  - PRIOR TO CLEANING OF EXTERIOR, CLEAN & REMOVE DEBRIS (DIRT, BIRD DROPPING, ETC.) FROM EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO, PARGED MASONRY, BRICK MASONRY, & CONCRETE STEPS AT ENTRY DOORS SCHEDULED TO REMAIN.
  - CLEAN BRICK MASONRY, PARGE COAT, & CONCRETE STEPS 100%.
- MASONRY RESTORATION:** SELECTIVELY REPAIR BRICK MASONRY WHERE INDICATED, SEE BELOW FOR DESCRIPTION OF WORK.
  - BRICK REPLACEMENT: CAREFULLY REMOVE CRACKED, DAMAGED, OR MISMATCHING BRICK UNIT(S) & REPLACE WITH NEW OR SALVAGED UNIT(S) TO MATCH EXIST. IN SIZE, COLOR, & SURFACE TEXTURE/FINISH. DO NOT DAMAGE ADJACENT UNITS. TOOTH-IN REPLACEMENT UNITS TO MATCH ADJACENT JOINTING & BONDING PATTERN. SET UNITS IN FULL SETTING BED & REPOINT WITH APPROVED MORTAR. CRACKED OR DAMAGED UNITS WITHIN THE HEADER COURSES ARE TO REMAIN UNLESS THEY OCCUR AT CORNERS.
  - SELECTIVE BRICK REPLACEMENT: REPLACE BRICK UNITS WITH MAJOR SURFACE SPALLING OR FAILING & OR INCOMPATIBLE PATCHING MATERIAL MORE THAN 25% OF FACE SURFACE AREA MISSING. ALLOW REPLACEMENT OF 50 UNITS.
  - PARGING RESTORATION: RESTORE PARGE COAT 100% AT BASE & FIRST & SECOND FLOOR SILL COURSES. REMOVE LOOSE & OR UNSOUND CEMENT PARGING FROM BRICK SUBSTRATE. RESET OR REPLACE LOOSE, MISSING, OR DAMAGED BRICK SUBSTRATE. REPOINT CRACKED, DAMAGED, OR OPEN JOINTS. TOOL BRICK SUBSTRATE FOR PROPER KEY & RESTORE PARGE COAT AS SPECIFIED TO MATCH ORIGINAL PROFILE AND FINISH.
  - PATCH DAMAGED EDGES OF BRICK UNITS AT BRICK QUIUNS, TYPICAL AT LOWER OUTSIDE CORNERS. PATCH AREAS OF DAMAGE LARGER THAN 1", ASSUME 50 LOCATIONS.
  - RESTORE AREAS SURROUNDING TIE ROD & STAR TIE ANCHORS. REMOVE PREVIOUS INCOMPATIBLE PATCHING MATERIAL & REPLACE WITH APPROVED PATCHING MORTAR TO MATCH ADJACENT BRICK. REPLACE ANY BRICK UNITS WITH MAJOR SURFACE SPALLING, MORE THAN 25% OF SURFACE AREA MISSING.
- MASONRY MORTAR JOINTS:** REPOINT BRICK MASONRY JOINTS 100%. INCLUDE CHIMNEYS, & EXPOSED BRICK MASONRY WALLS (PERIMETER & INTERIOR) WITHIN THE CRAWL SPACE.
- REMOVAL OF FASTENERS:** REMOVE MISCELLANEOUS ABANDONED FASTENERS, BOLTS, CLAMPS, MECHANICAL EQUIPMENT BRACKETS, & HOLIDAY LIGHTING, ETC., ON THE EXTERIOR OF THE BUILDING THAT ARE ATTACHED OR EMBEDDED IN EXISTING MATERIALS & ARE NOT BEING USED TO FASTEN ELEMENTS TO REMAIN. PATCH HOLES AT REMOVED FASTENERS OR BRACKETS TO MATCH ADJACENT SURFACES. PROVIDE BRICK PATCH REPAIR OR REPLACE BRICK WHERE DAMAGE EXTENDS BEYOND FASTENER HOLE.
- DOWNSPOUTS:**
  - REPLACE SHEET METAL DOWNSPOUTS 100%. PROVIDE BOOTS & CONNECT TO SUBSURFACE DRAINAGE SYSTEM. REVIEW LOCATIONS WITH ROOF DRAINAGE PLAN. MASONRY DETERIORATION PATTERNS SUGGEST DOWNSPOUTS HAVE BEEN RELOCATED FROM HISTORIC POSITION.
  - PROVIDE OR REUSE SALVAGED DOWNSPOUT STRAPS, MATCH EXIST. TWO-PIECE TYPE. FASTEN STRAPS TO MASONRY AT JOINTS. DO NOT ANCHOR INTO BRICK UNITS.
- ORNAMENTAL SHEET METAL:** RESTORE EXISTING SHEET METAL CORNICE.
  - RE-SET LOOSE OR RAISED FASTENERS. REPLACE MISSING OR NON-COMPATIBLE FASTENERS WITH STAINLESS STEEL FASTENERS.
  - REPAIR SMALL FASTENER HOLES WITH SEALANT. REPAIR LARGER HOLES (MAX. 3-INCHES) WITH SHEET METAL PATCH REPAIR.
  - ADJUST SHEET METAL INTO ITS ORIGINAL POSITION WHERE MISALIGNED, SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLODGED. RE-SECURE SHEET METAL WHERE NECESSARY.
  - CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.
  - REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- ROOF:** REFER TO SHT. D2.10 & A2.10 FOR EXTENT OF ROOFING WORK.
- DOOR & WINDOW GRILLES & GATES:**
  - RESTORE METAL DOOR GATES & TRANSOM GRILLES 100%, REFER TO SHT. A5.01 FOR EXTENT OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
  - RESTORE METAL WINDOW GRILLES 100%. REFER TO SHT. A5.10 FOR EXTENT OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
  - REPLACE DAMAGED, CRACKED, OR MISSING BRICK, & RESET DISPLACED BRICK ADJACENT TO EMBEDDED PLATES. NOTCH REPLACEMENT BRICK AS REQ'D TO ACCOMMODATE EMBEDDED PLATE DIMENSION.
- DOORS & WINDOWS:**
  - REFER DOOR SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
  - RESTORE WOOD WINDOWS 100%. REFER TO WINDOW SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
- CRAWL SPACE VENTS & COVERS:** REMOVE METAL VENT COVERS & PROVIDE CONCRETE AREAWAYS WITH PERIMETER CONCRETE MOW STRIP WITH METAL GRATE COVERING. ADD AREAWAYS AT SOUTH ELEVATION FOR CROSS VENTILATION. COORDINATE LOCATIONS WITH MEP.
- SEALANT:** PROVIDE/REPLACE SEALANT AT PERIMETER OF DOOR & WINDOW OPENINGS, PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS INDICATED.
- PAINTING:**
  - WOOD WINDOW ASSEMBLIES
  - METAL DOOR ASSEMBLIES
  - METAL DOOR & WINDOW GRILLE & GATE ASSEMBLIES INCLUDING TRANSOMS
  - CEMENT PARGE COAT
  - SHEET METAL WHERE EXPOSED TO VIEW
  - TIE RODS & TIE ROD ANCHOR PLATES
- MEP:**
  - REMOVE EXIST. MEP EQUIPMENT & DISTRIBUTION SYSTEMS ATTACHED TO THE EXTERIOR OF THE BUILDING UNLESS OTHERWISE NOTED, REF. MEP.

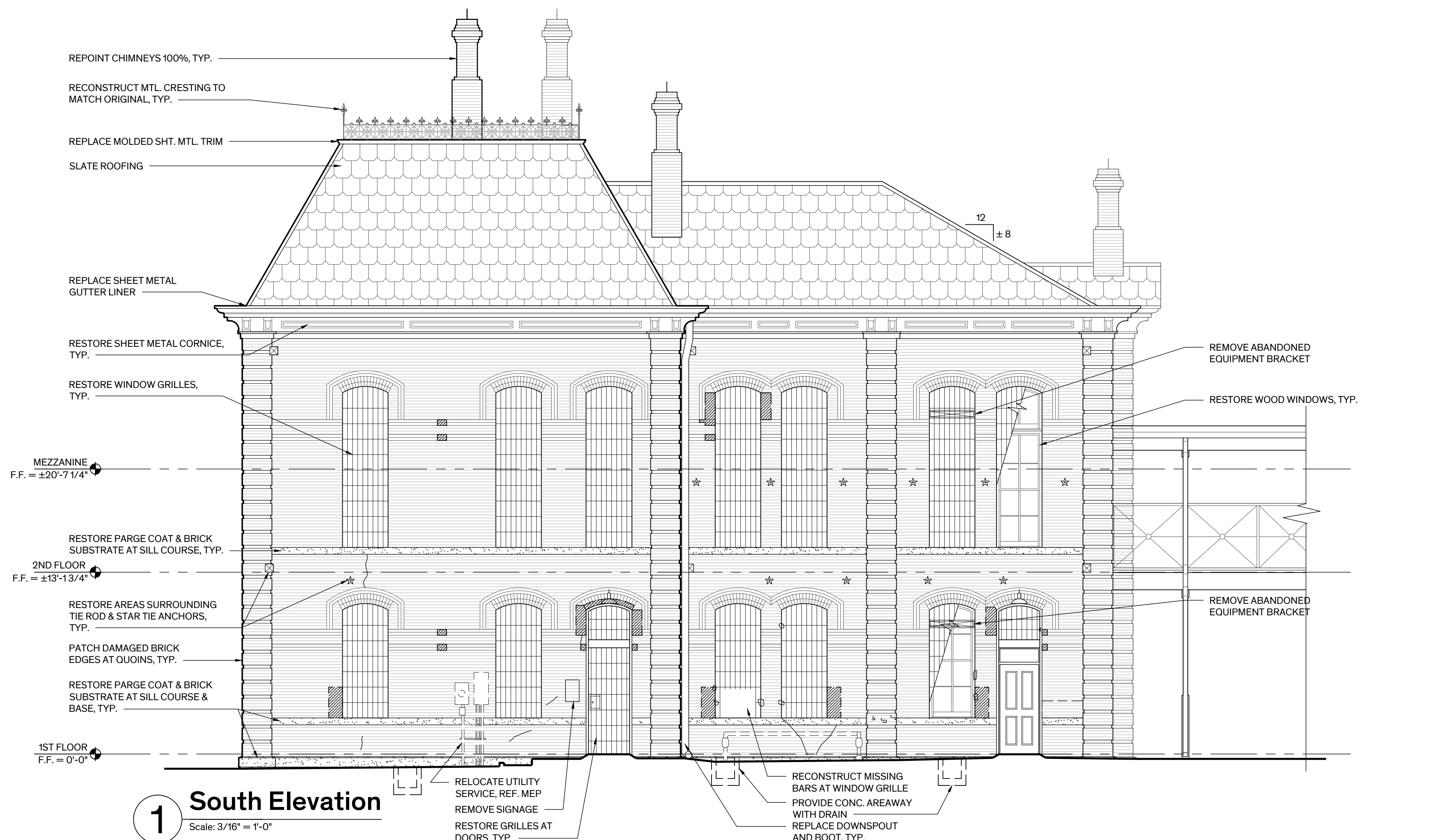
## LEGEND

- BRICK REPLACEMENT
- RESTORE PARGE COAT & BRICK SUBSTRATE
- REPAIR CRACK
- HOLIDAY LIGHTS & ANCHORS TO BE REMOVED



### 2 North Elevation

Scale: 3/16" = 1'-0"



### 1 South Elevation

Scale: 3/16" = 1'-0"





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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name East & West Elevations

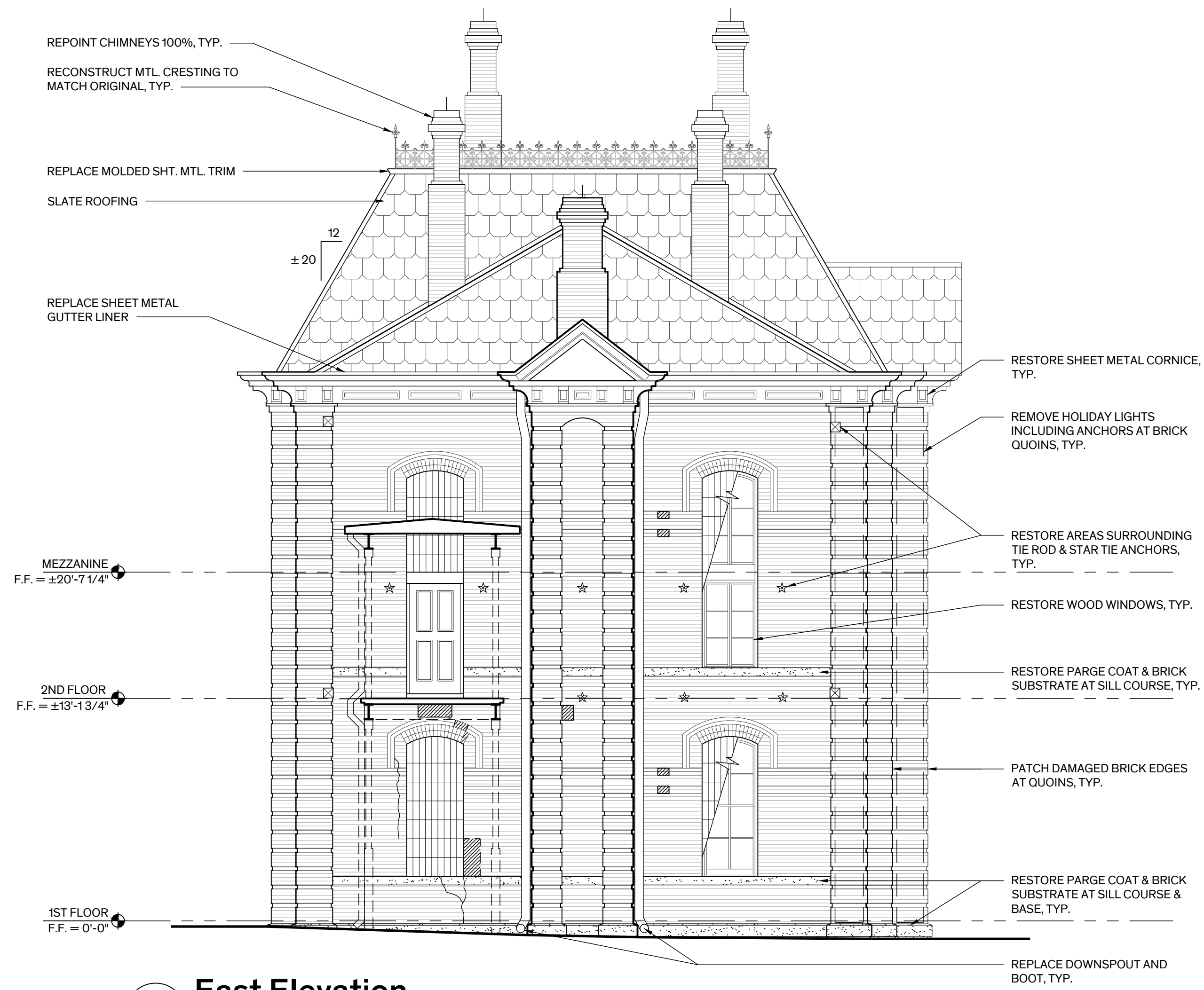
Sheet Number A-3.02

GENERAL NOTES - EXIST. ELEV.

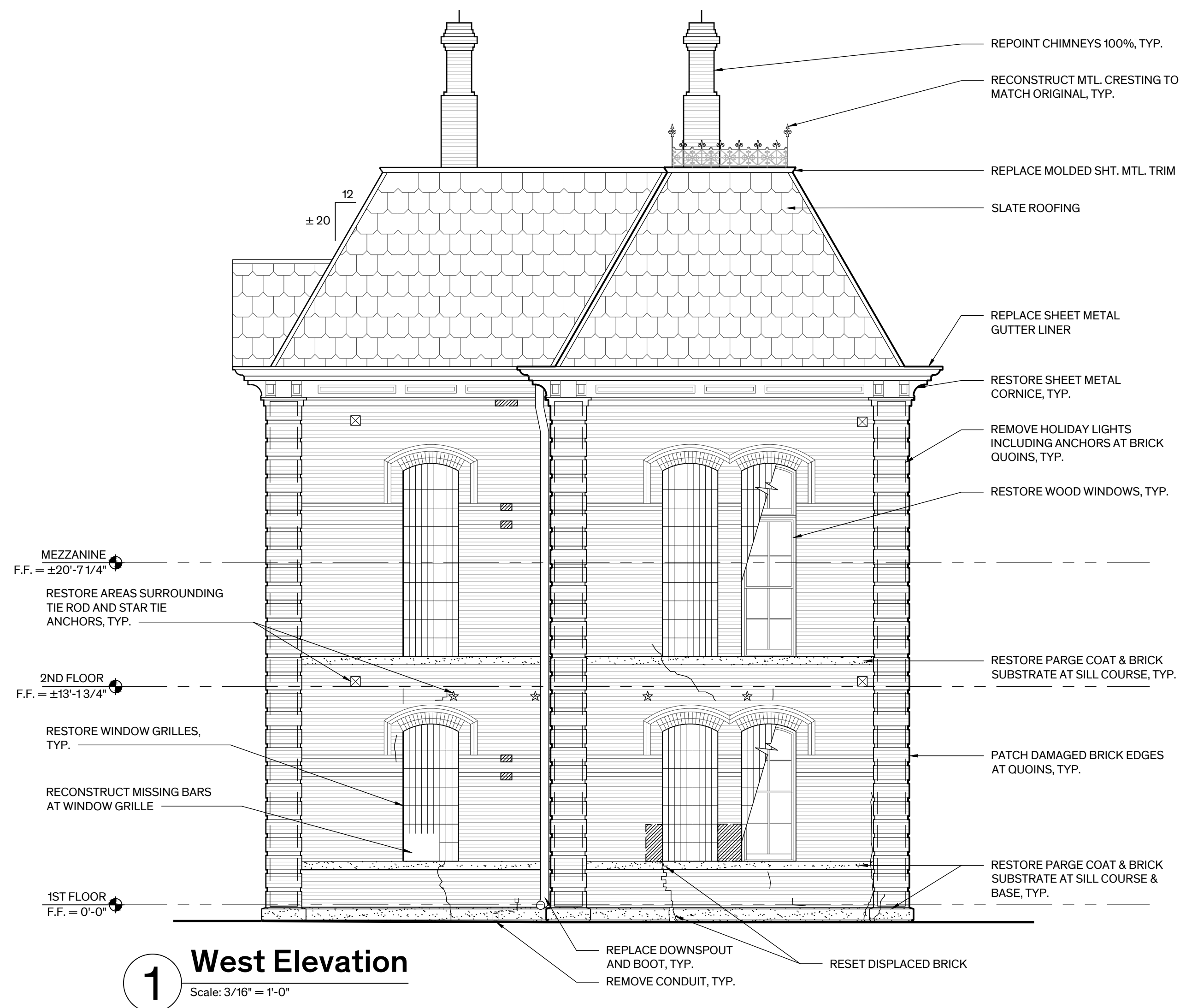
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  - CLEAN BRICK MASONRY, PARGE COAT, & CONCRETE STEPS 100%.
- MASONRY RESTORATION:** SELECTIVELY REPAIR BRICK MASONRY WHERE INDICATED. SEE BELOW FOR DESCRIPTION OF WORK.
  - BRICK REPLACEMENT: CAREFULLY REMOVE CRACKED, DAMAGED, OR MISMATCHING BRICK UNIT(S) & REPLACE WITH NEW OR SALVAGED UNIT(S) TO MATCH EXIST. IN SIZE, COLOR, & SURFACE TEXTURE/FINISH. DO NOT DAMAGE ADJACENT UNITS. TOOTH-IN REPLACEMENT UNITS TO MATCH ADJACENT JOINTING & BONDING PATTERN. SET UNITS IN FULL SETTING BED & REPOINT WITH APPROVED MORTAR. CRACKED OR DAMAGED UNITS WITHIN THE HEADER COURSES ARE TO REMAIN UNLESS THEY OCCUR AT CORNERS.
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  - PARGING RESTORATION: RESTORE PARGE COAT 100% AT BASE & FIRST & SECOND FLOOR SILL COURSES. REMOVE LOOSE & OR UNSOUND CEMENT PARGING FROM BRICK SUBSTRATE. RESET OR REPLACE LOOSE, MISSING, OR DAMAGED BRICK SUBSTRATE. REPOINT CRACKED, DAMAGED, OR OPEN JOINTS. TOOL BRICK SUBSTRATE FOR PROPER KEY & RESTORE PARGE COAT AS SPECIFIED TO MATCH ORIGINAL PROFILE AND FINISH.
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- DOWNSPOUTS:**
  - REPLACE SHEET METAL DOWNSPOUTS 100%. PROVIDE BOOTS & CONNECT TO SUBSURFACE DRAINAGE SYSTEM. REVIEW LOCATIONS WITH ROOF DRAINAGE PLAN. MASONRY DEGRADATION PATTERNS SUGGEST DOWNSPOUTS HAVE BEEN RELOCATED FROM HISTORIC POSITION.
  - PROVIDE OR REUSE SALVAGED DOWNSPOUT STRAPS, MATCH EXIST. TWO-PIECE TYPE. FASTEN STRAPS TO MASONRY AT JOINTS. DO NOT ANCHOR INTO BRICK UNITS.
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  - ADJUST SHEET METAL INTO ITS ORIGINAL POSITION WHERE MISALIGNED, SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLODGED. RE-SECURE SHEET METAL WHERE NECESSARY.
  - CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.
  - REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- ROOF:** REFER TO SHT. D2.10 & A2.10 FOR EXTENT OF ROOFING WORK.
- DOOR & WINDOW GRILLES & GATES:**
  - RESTORE METAL DOOR GATES & TRANSOM GRILLES 100%. REFER TO SHT. A5.01 FOR EXTENT OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
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- CRAWL SPACE VENTS & COVERS:** REMOVE METAL VENT COVERS & PROVIDE CONCRETE AREAWAYS WITHIN PERIMETER. CONCRETE MOW STRIP WITH METAL GRATE COVERING. ADD AREAWAYS AT SOUTH ELEVATION FOR CROSS VENTILATION. COORDINATE LOCATIONS WITH MEP.
- SEALANT:** PROVIDE/ REPLACE SEALANT AT PERIMETER OF DOOR & WINDOW OPENINGS, PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS INDICATED.
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  - WOOD WINDOW ASSEMBLIES
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  - METAL DOOR & WINDOW GRILLE & GATE ASSEMBLIES INCLUDING TRANSOMS
  - CEMENT PARGE COAT
  - SHEET METAL WHERE EXPOSED TO VIEW
  - TIE RODS & TIE ROD ANCHOR PLATES
- MEP:**
  - REMOVE EXIST. MEP EQUIPMENT & DISTRIBUTION SYSTEMS ATTACHED TO THE EXTERIOR OF THE BUILDING UNLESS OTHERWISE NOTED, REF. MEP.

LEGEND

- BRICK REPLACEMENT
- RESTORE PARGE COAT & BRICK SUBSTRATE
- REPAIR CRACK
- HOLIDAY LIGHTS & ANCHORS TO BE REMOVED

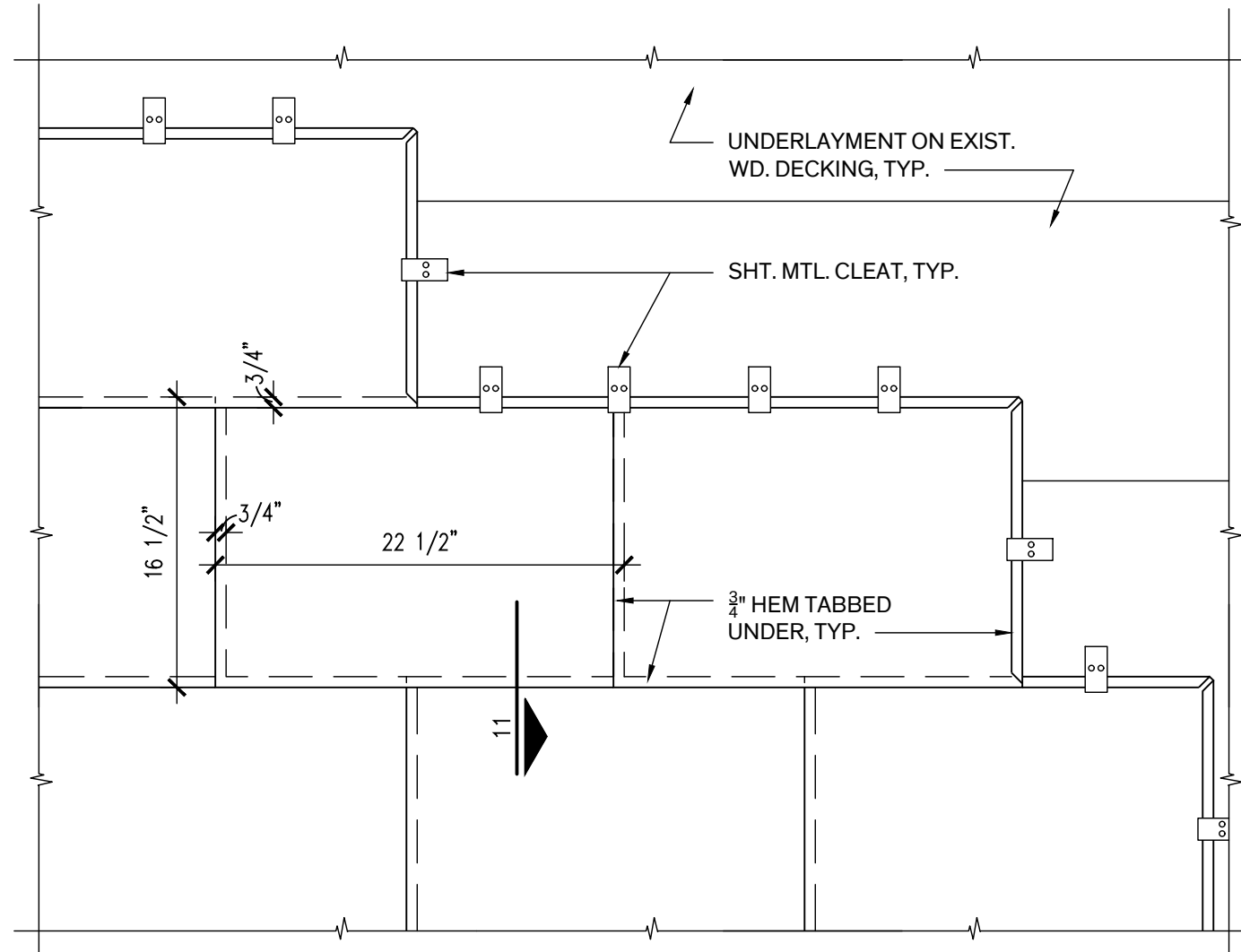


2 East Elevation  
Scale: 3/16" = 1'-0"

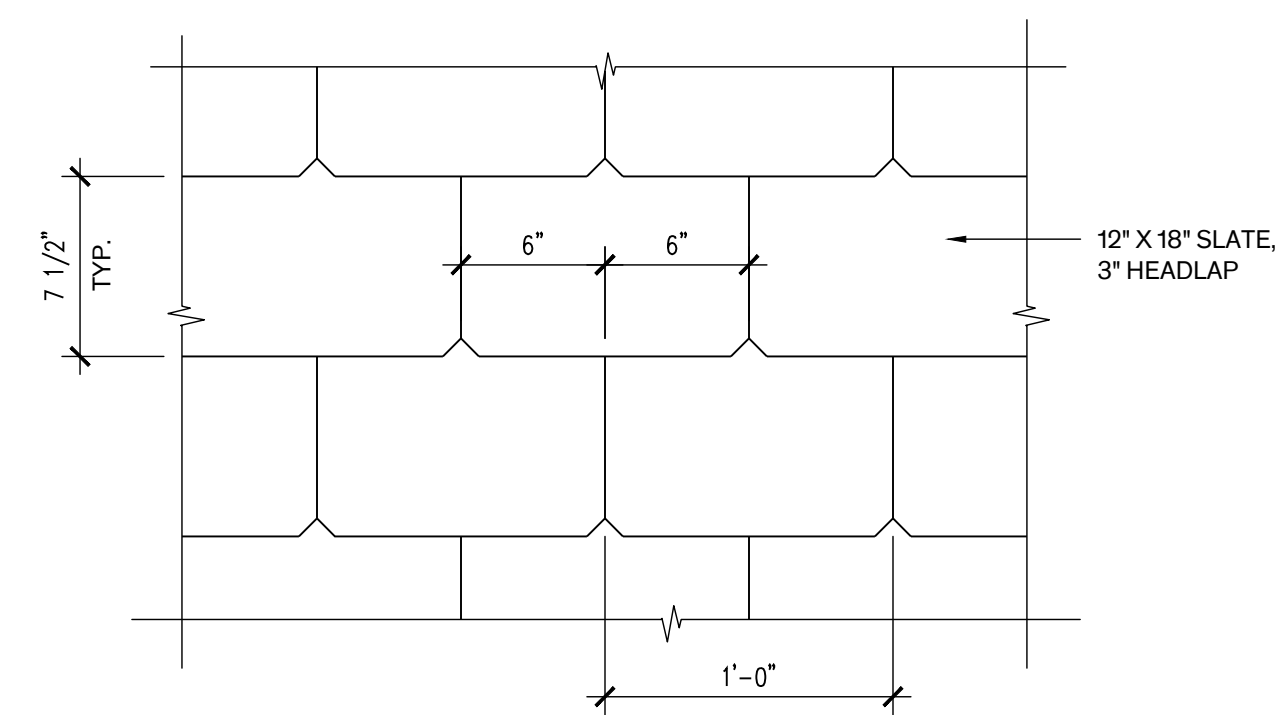


1 West Elevation  
Scale: 3/16" = 1'-0"

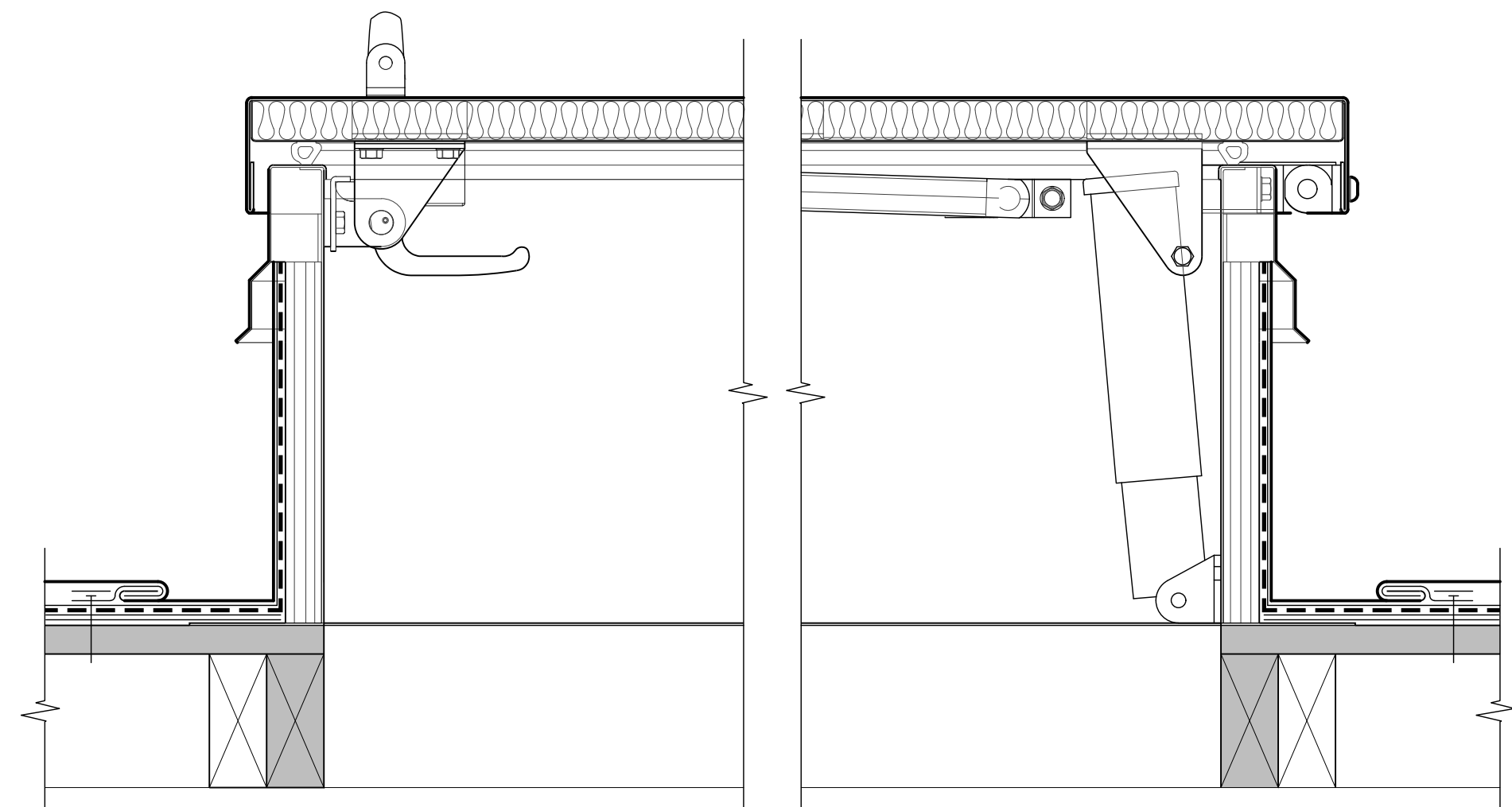
LEGEND	
	EXIST. CONSTRUCTION



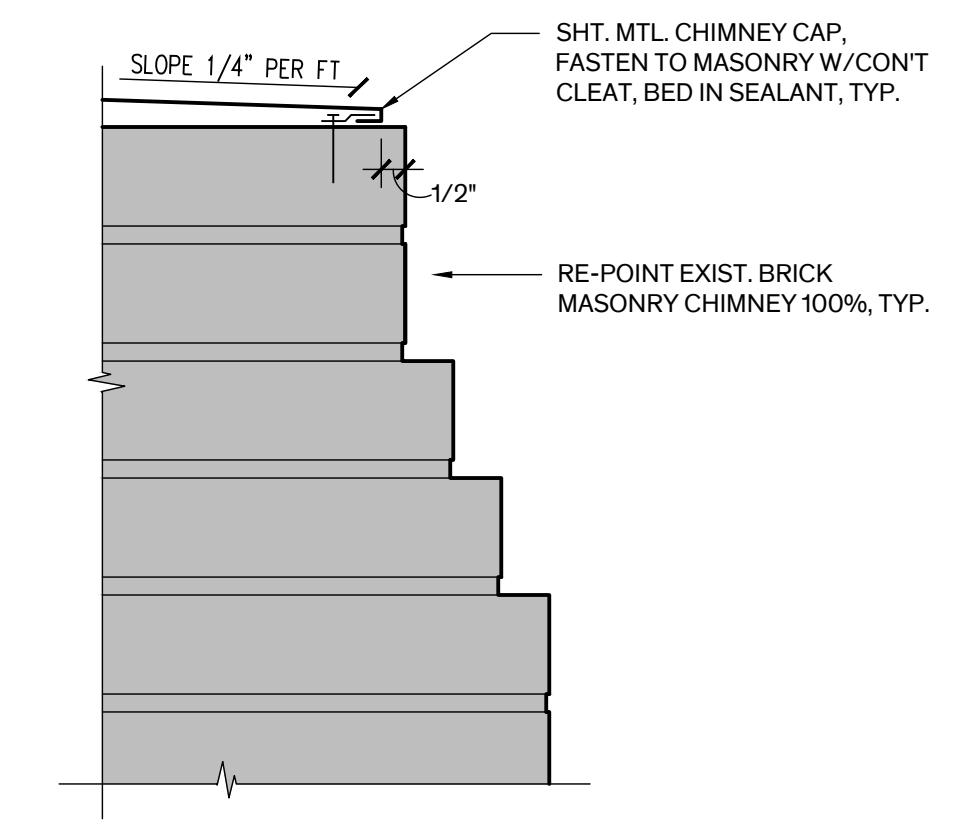
**11 Flat Seam Roof Detail, Typ.**  
Scale: 1 1/2" = 1'-0"



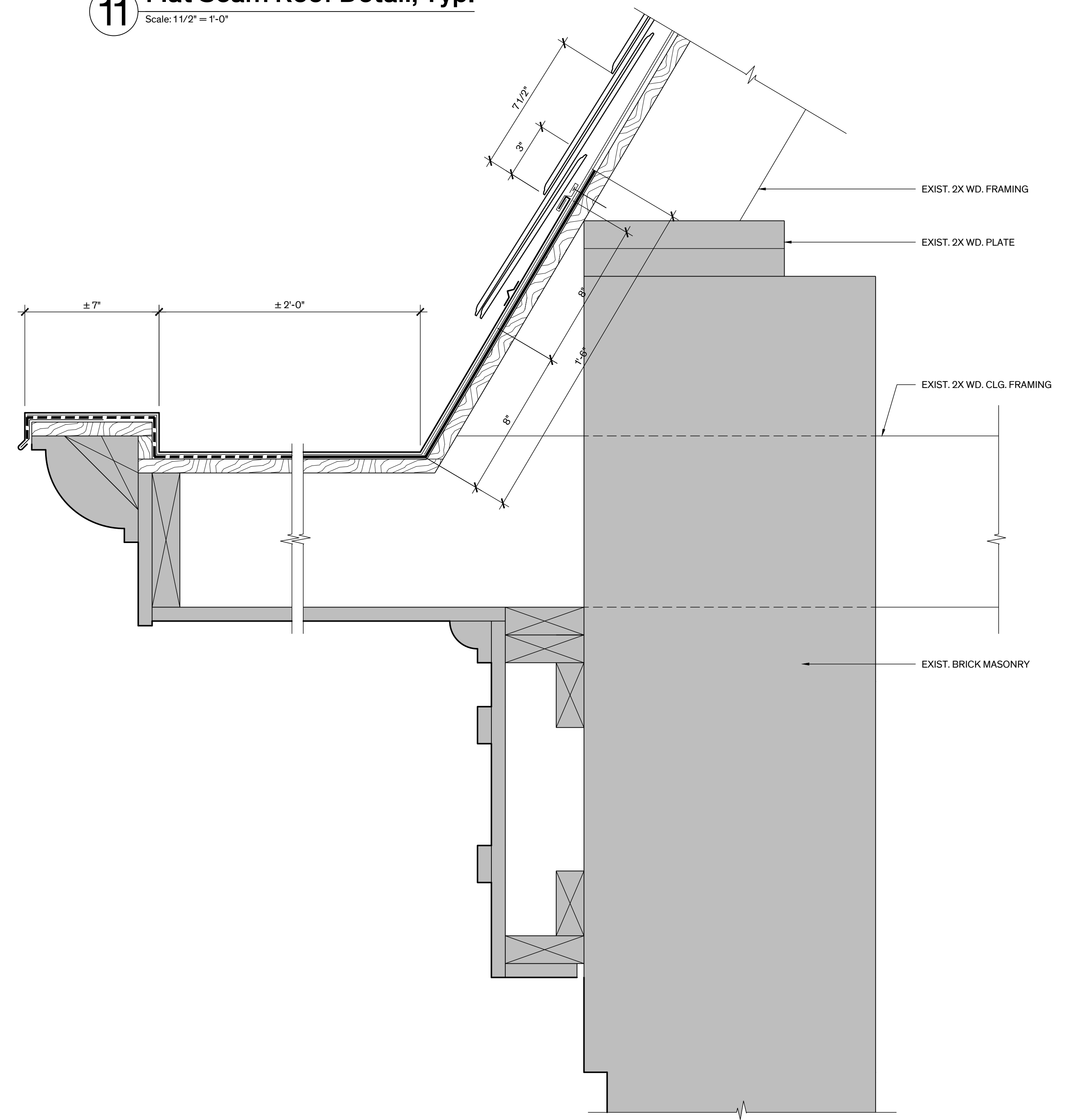
**10 Slate Coursing, Typ.**  
Scale: 1 1/2" = 1'-0"



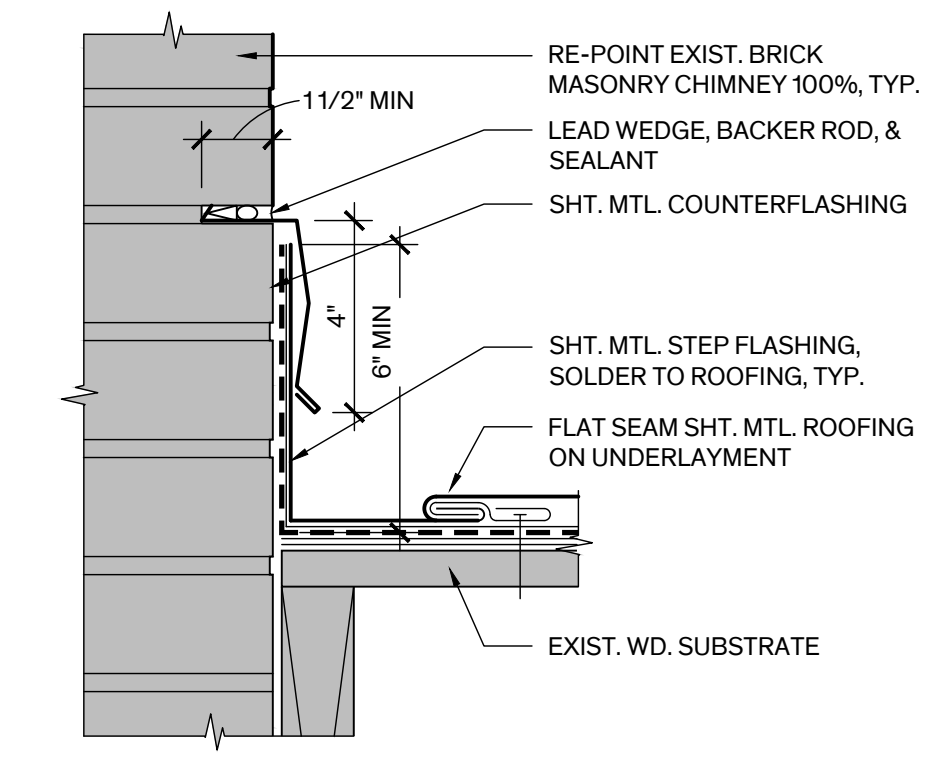
**8 Roof Hatch Dtl.**  
Scale: 3" = 1'-0"



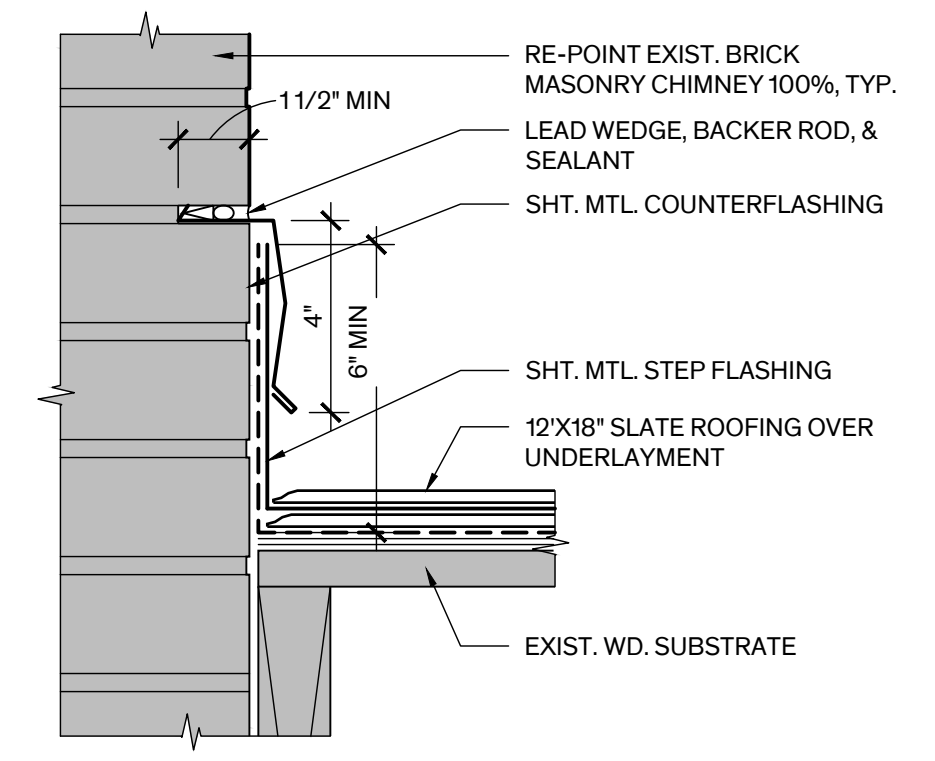
**4 Chimney Cap Detail, Typ.**  
Scale: 3" = 1'-0"



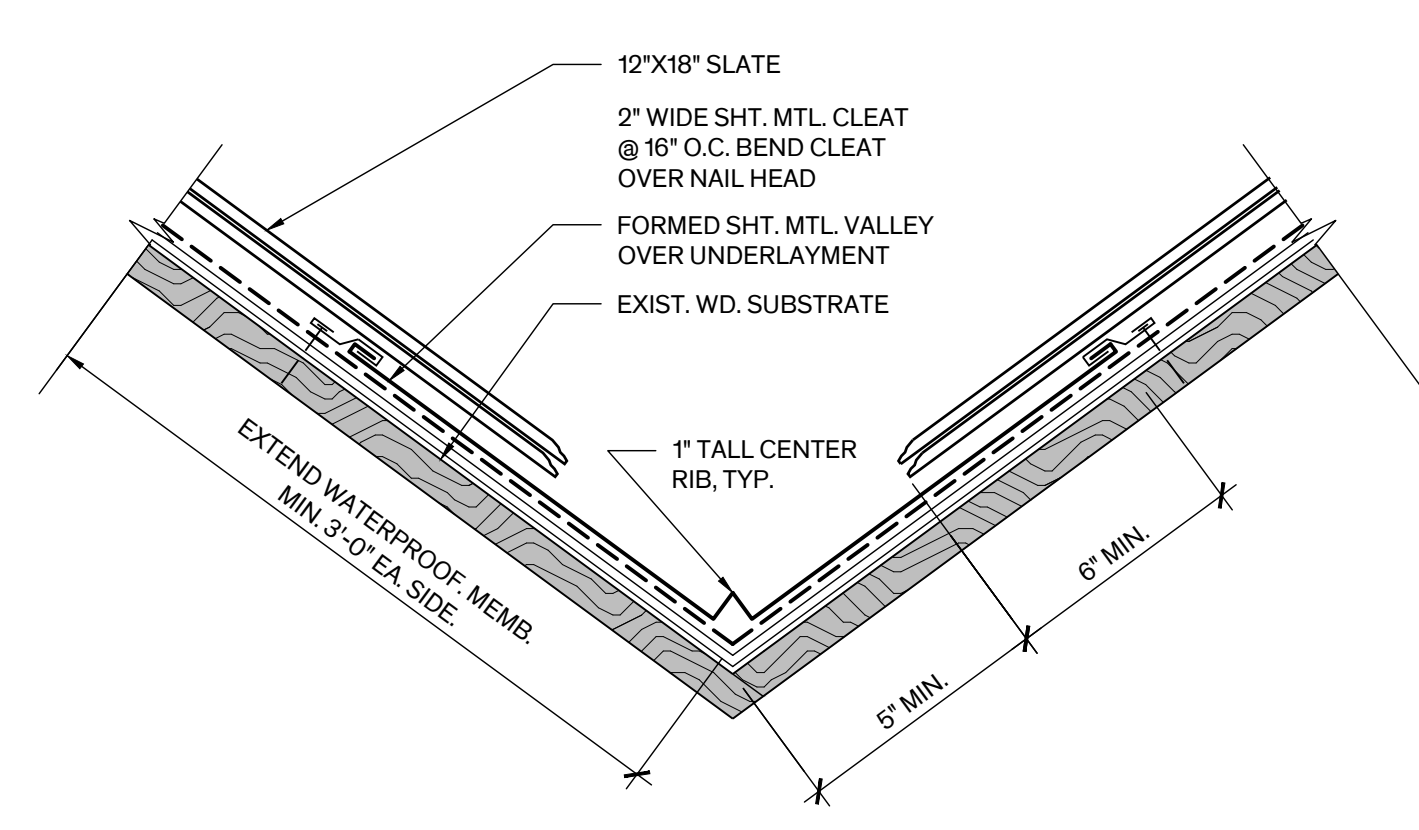
**9 Detail Thru Cornice Gutter**  
Scale: 3" = 1'-0"



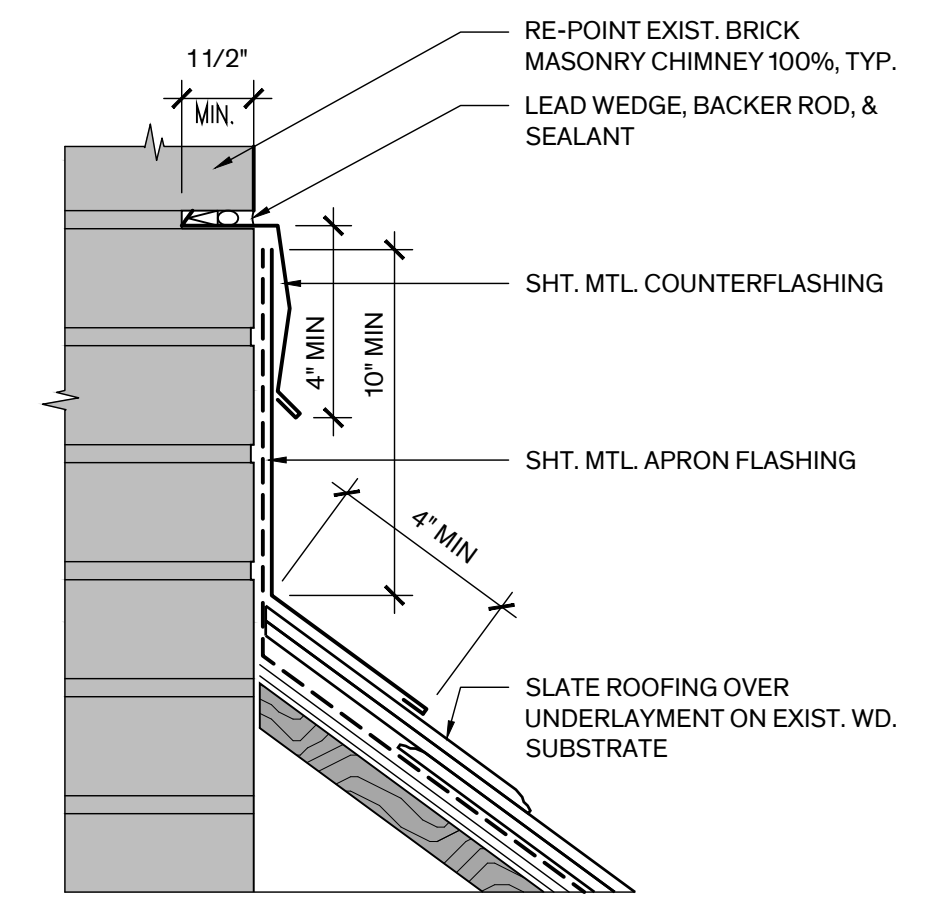
**7 Flashing Dtl. @ Chimney, Typ.**  
Scale: 3" = 1'-0"



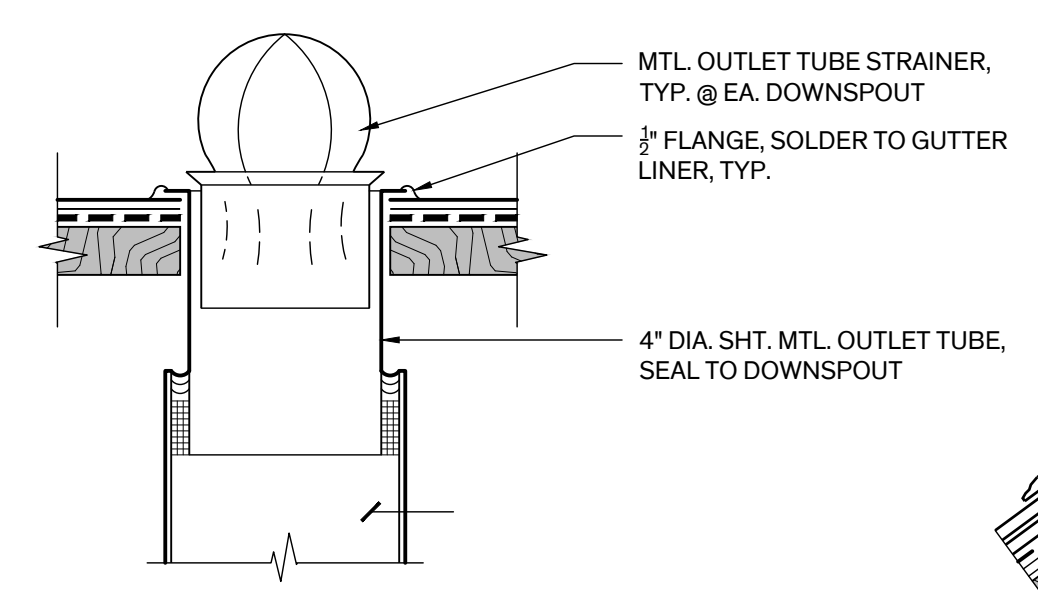
**3 Flashing Dtl. @ Chimney, Typ.**  
Scale: 3" = 1'-0"



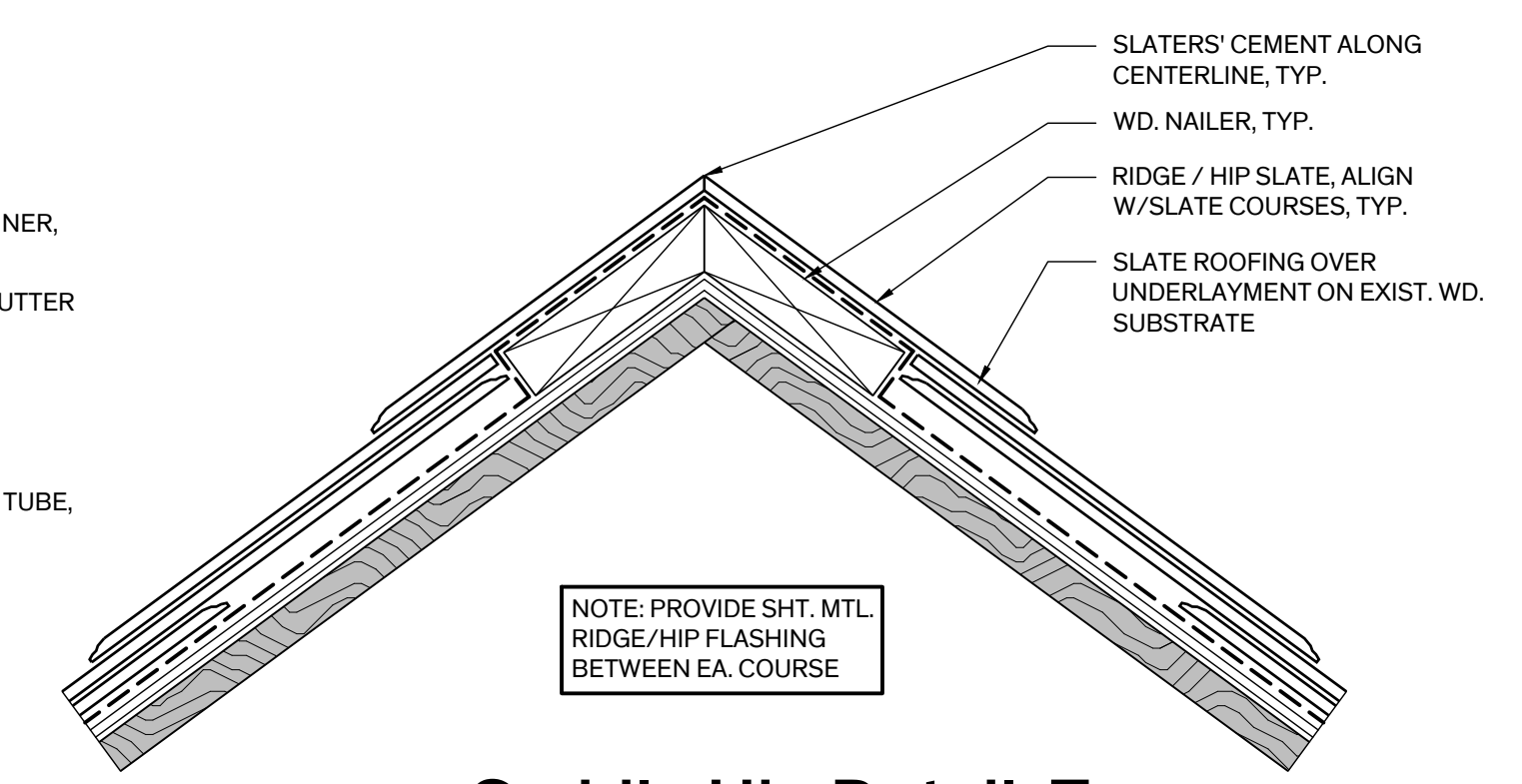
**6 Valley Detail, Typ.**  
Scale: 3" = 1'-0"



**2 Flashing Dtl. @ Chimney, Typ.**  
Scale: 3" = 1'-0"



**5 Detail @ Roof Drain**  
Scale: 3" = 1'-0"



**1 Saddle Hip Detail, Typ.**  
Scale: 3" = 1'-0"



HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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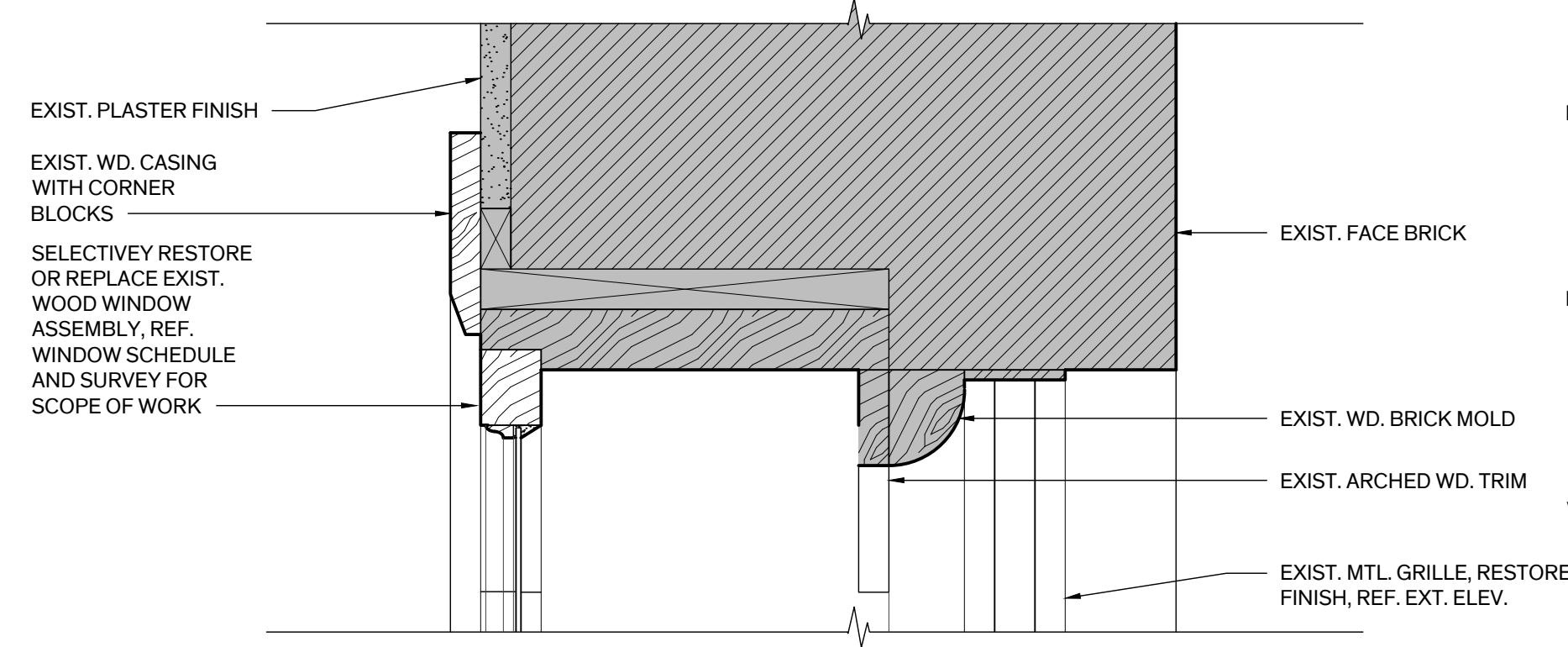
REVISION HISTORY	
1. SD Submission	14 February 2023
2. DD Submission	4 April 2023
3. 95% CD Submission	30 May 2023

SEAL  
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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251	Date May 30th, 2023
Sheet Name	Roof Details
Sheet Number	

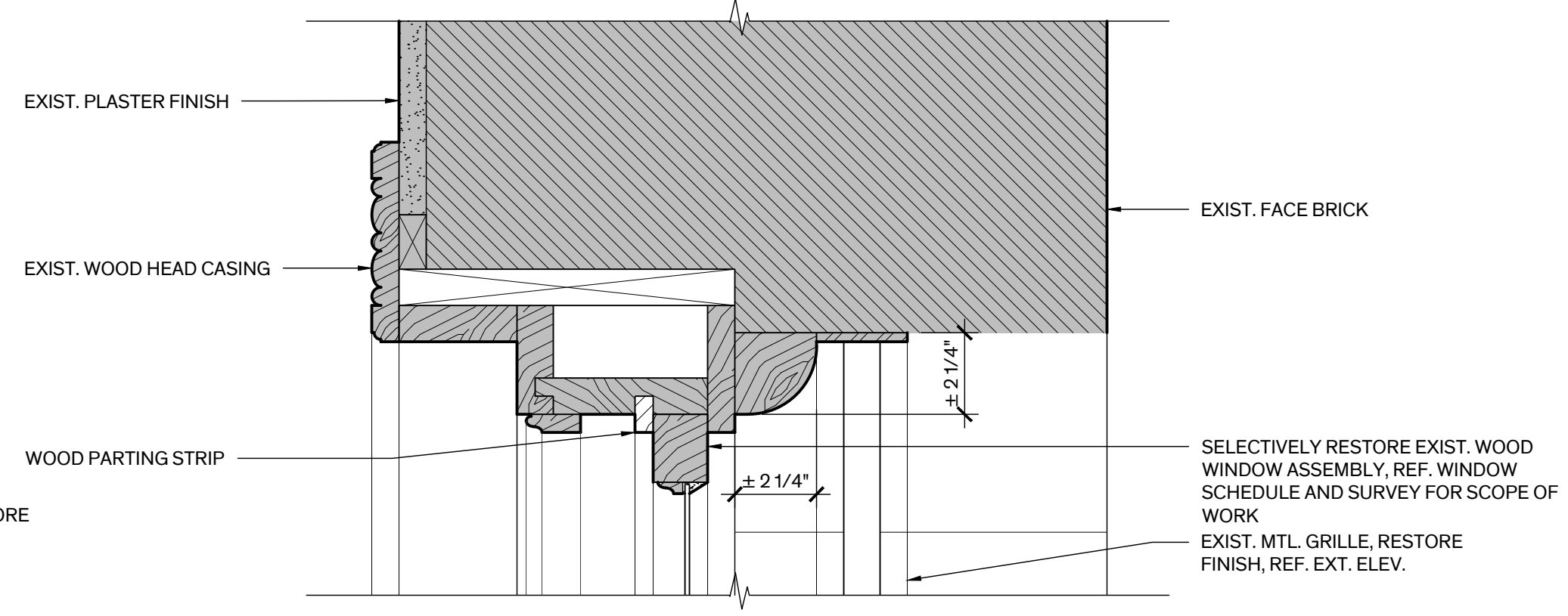
## LEGEND

EXIST. CONSTRUCTION



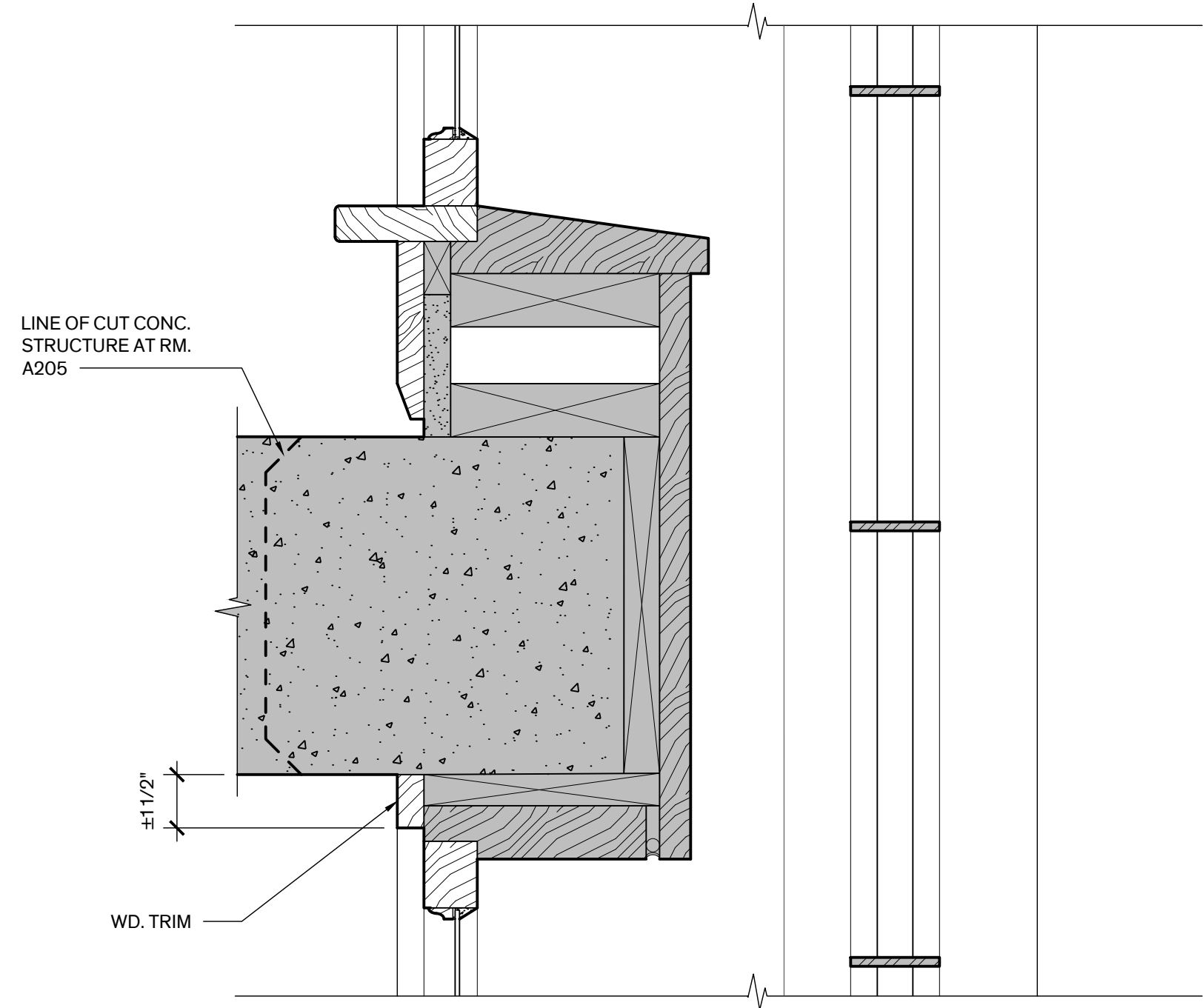
### 7 Casement Head Detail

Scale: 3" = 1'-0"



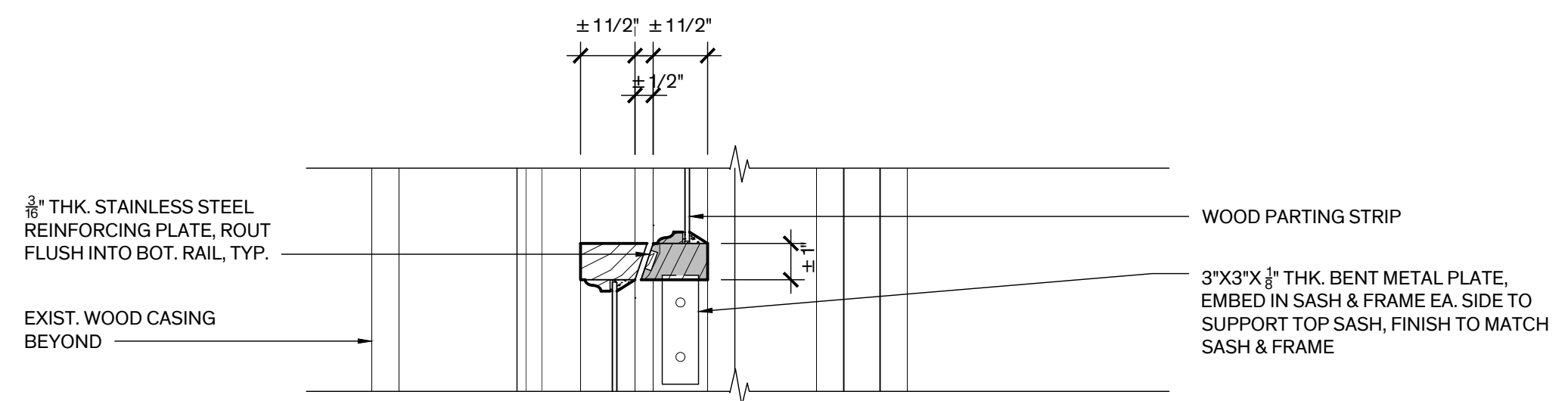
### 8 Double Hung Head Detail

Scale: 3" = 1'-0"



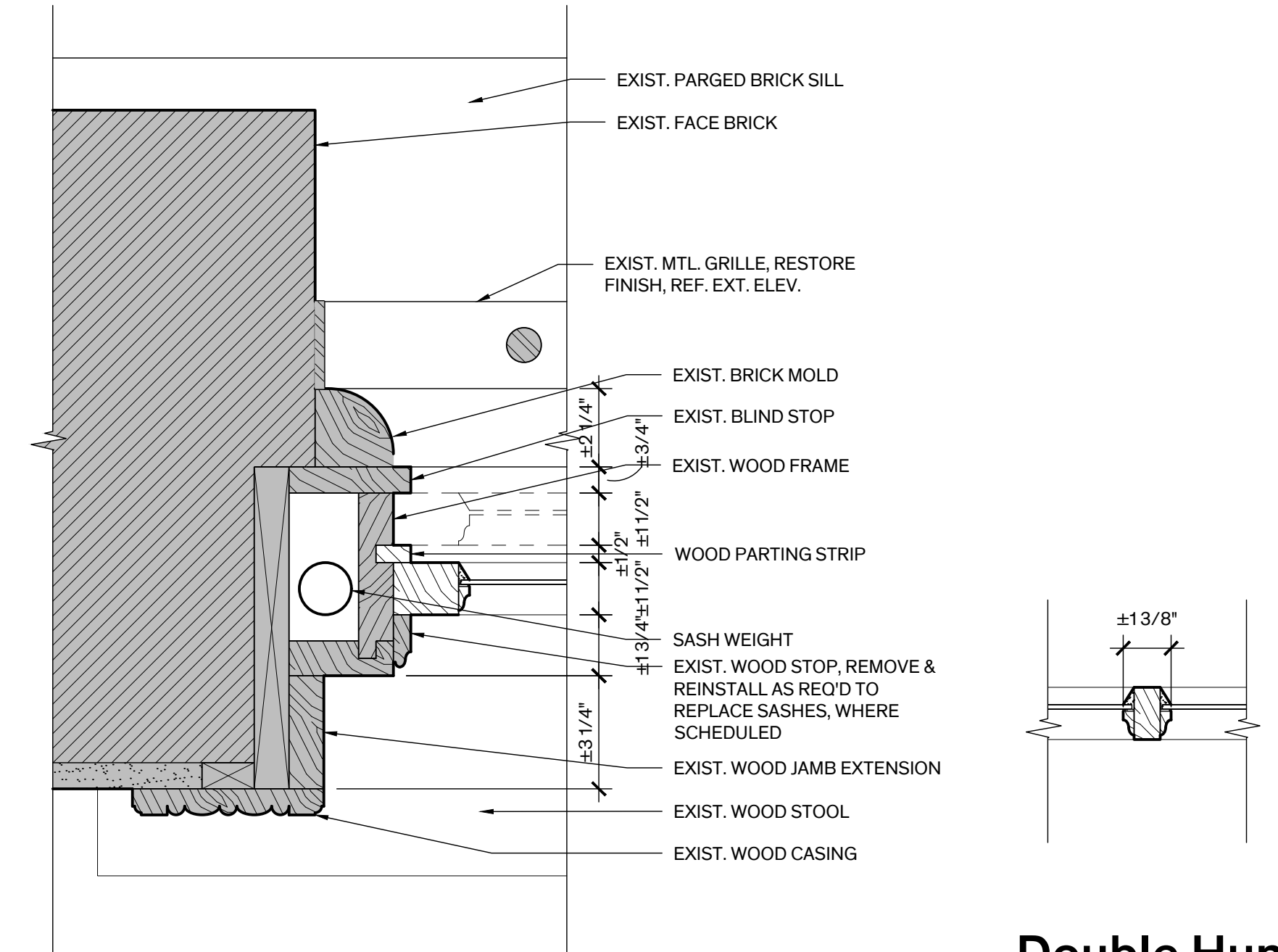
### 6 Casement Head & Sill Detail

Scale: 3" = 1'-0"



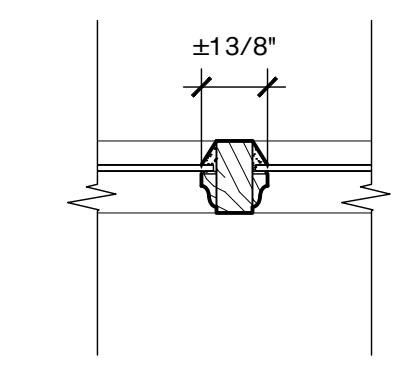
### 7 Double Hung Meeting Rail Detail

Scale: 3" = 1'-0"



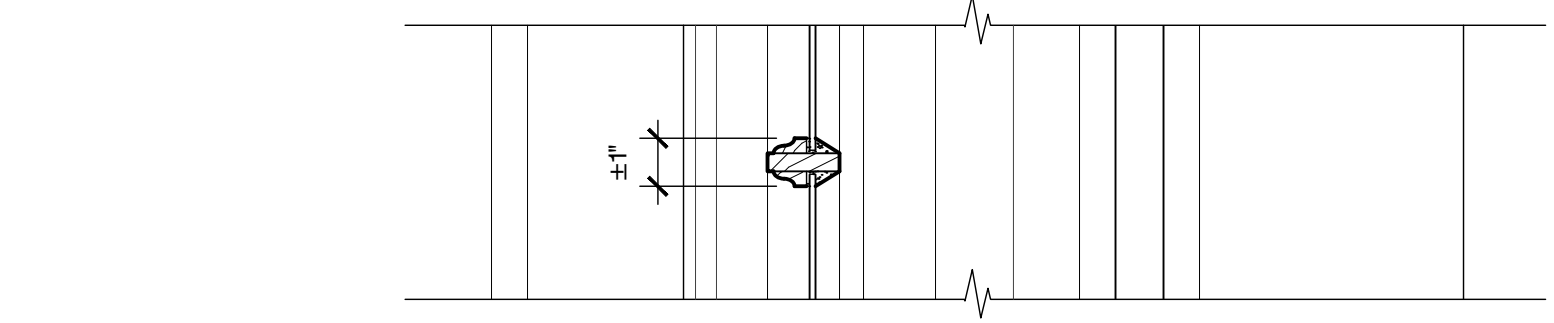
### 4 Double Hung Jamb Detail

Scale: 3" = 1'-0"



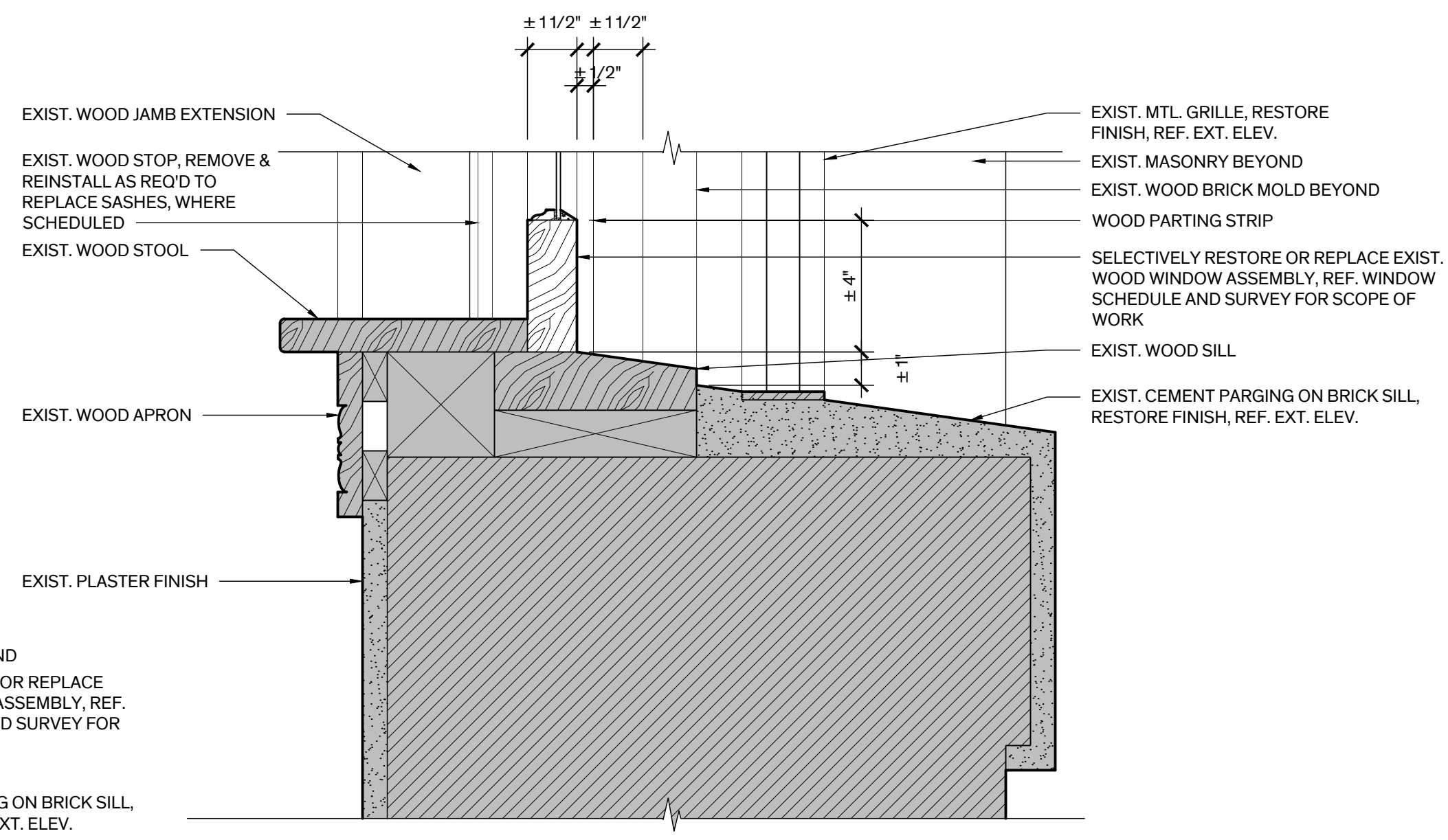
### 3 Double Hung Vertical Muntin Detail

Scale: 3" = 1'-0"



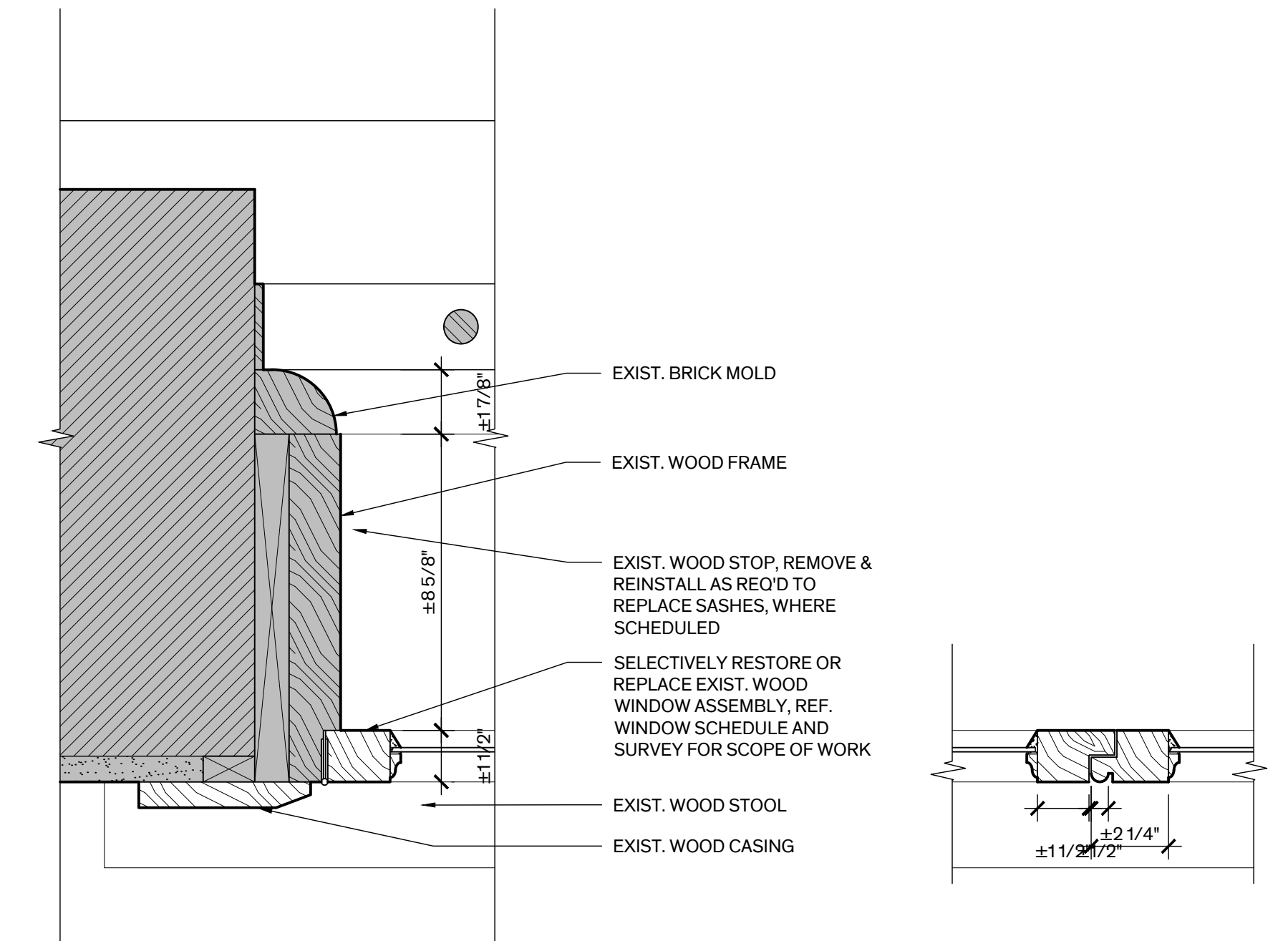
### 7 Double Hung Horizontal Muntin Detail

Scale: 3" = 1'-0"



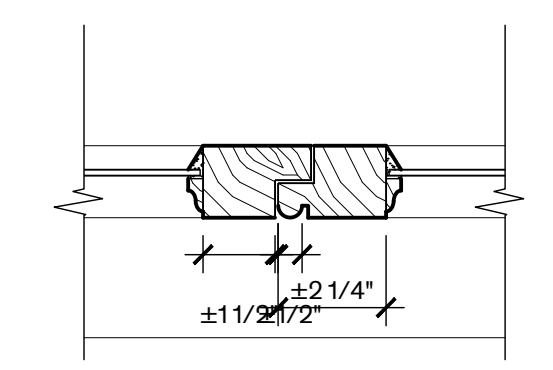
### 5 Double Hung Sill Detail

Scale: 3" = 1'-0"



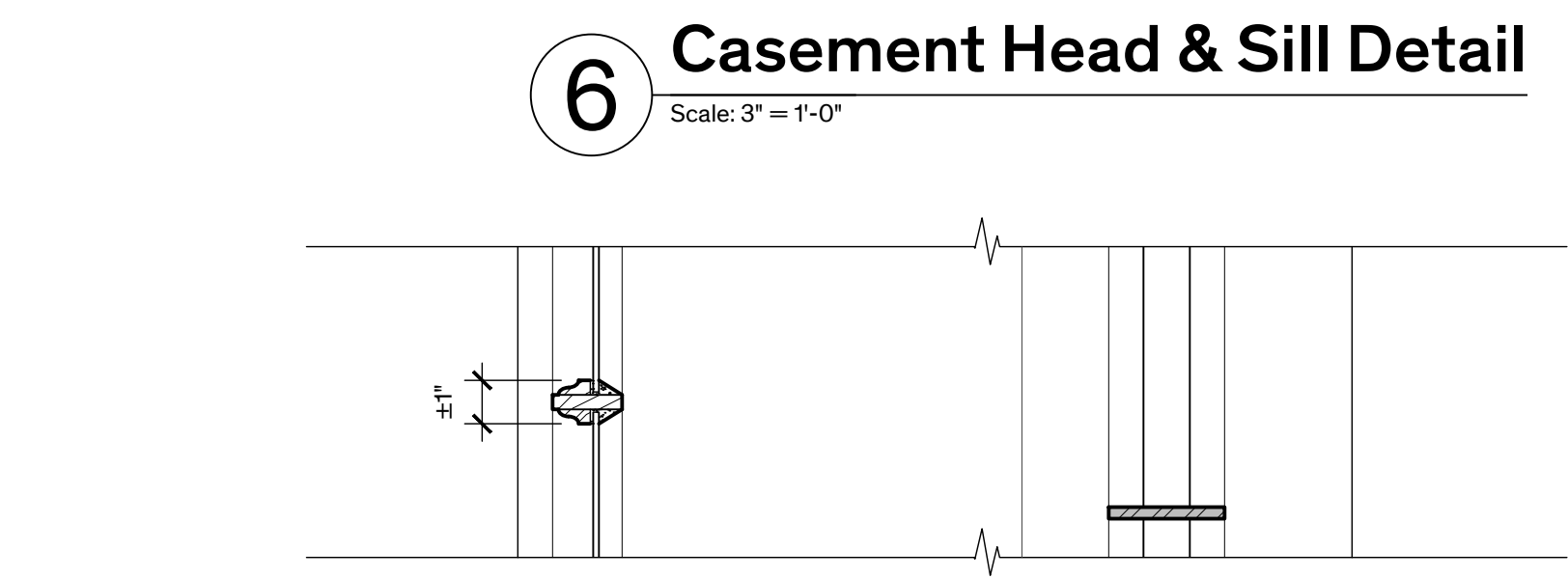
### 2 Casement Jamb Detail

Scale: 3" = 1'-0"



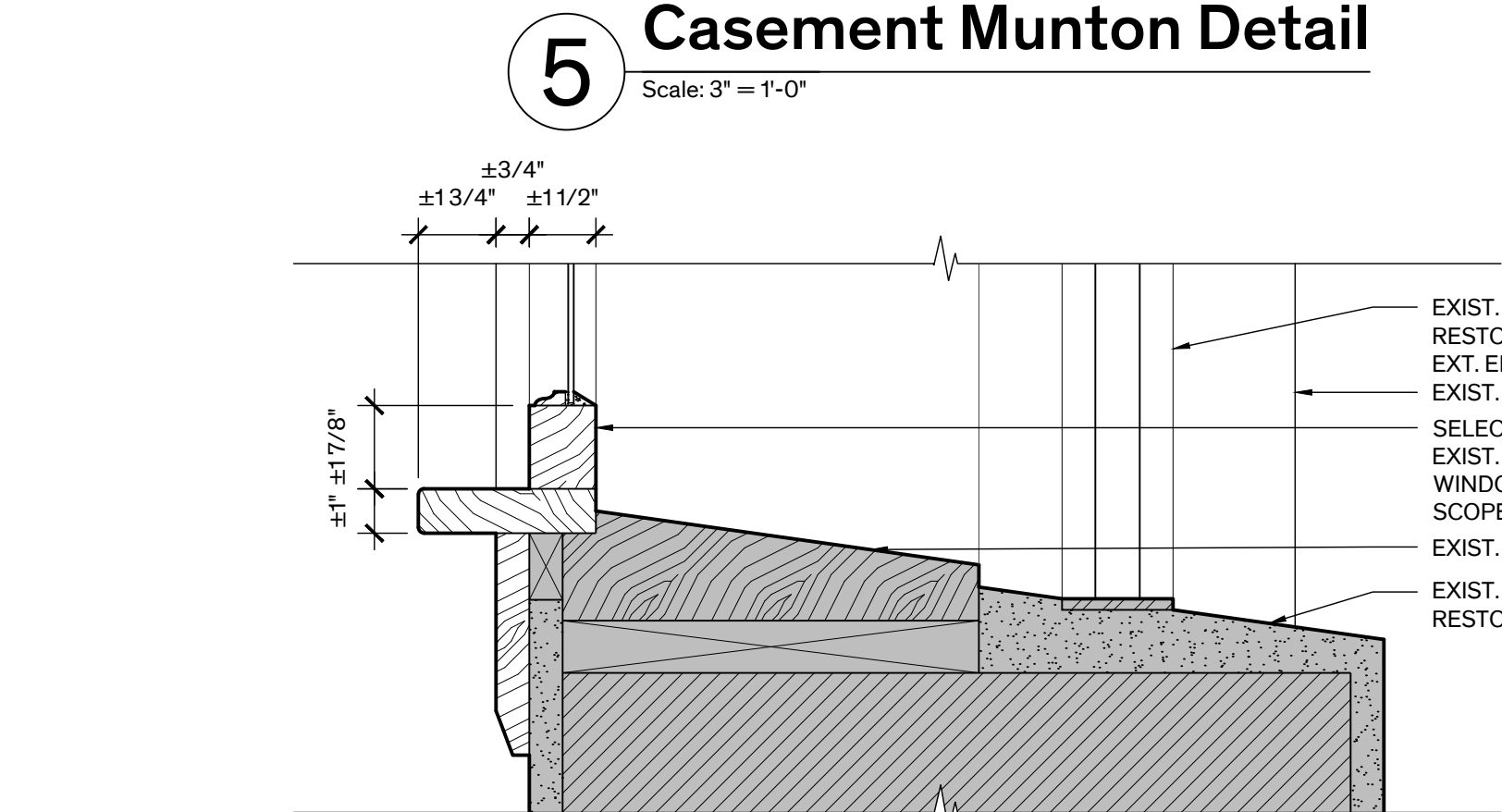
### 1 Casement Meeting Rail

Scale: 3" = 1'-0"



### 5 Casement Muntin Detail

Scale: 3" = 1'-0"



### 4 Casement Sill Detail

Scale: 3" = 1'-0"



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1. SD Submission 14 February 2023
2. DD Submission 4 April 2023
3. 95% CD Submission 30 May 2023

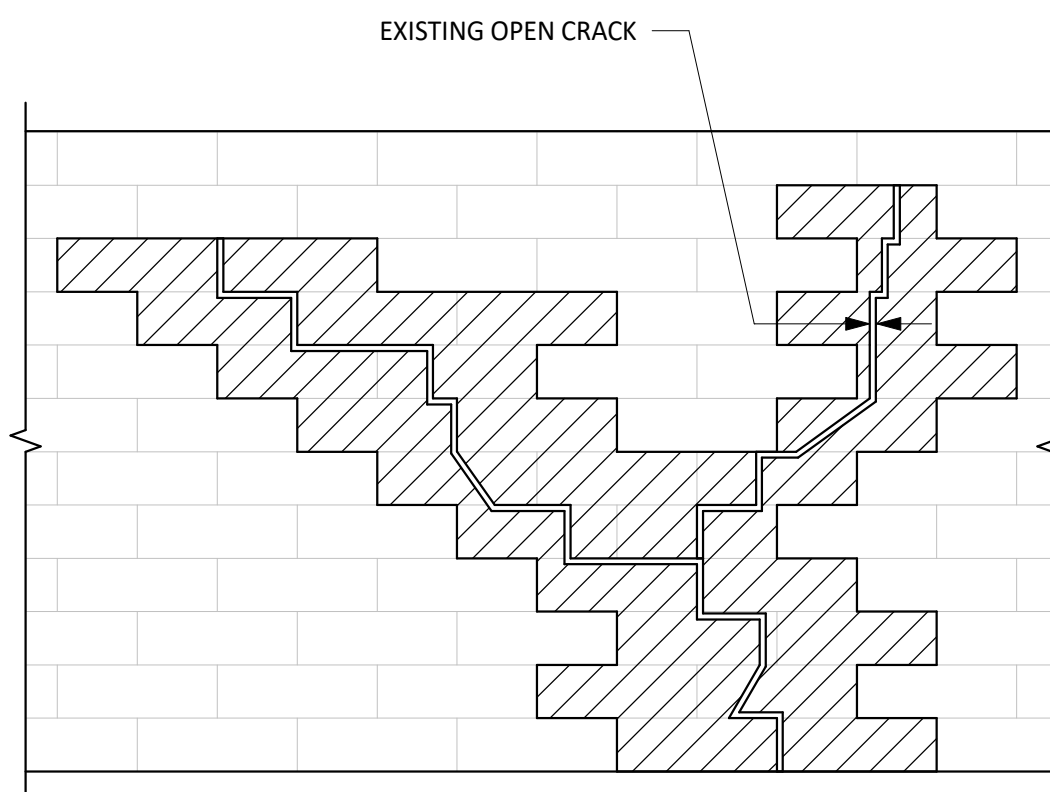
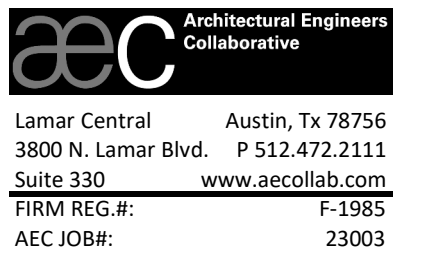
#### SEAL

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SUSAN FROCHEUR, 5/30/23


Architexas No. 2251 Date May 30th, 2023

Sheet Name Window Details

Sheet Number



**NOTES:**

1.  DENOTES BRICK TO BE REPLACED. WHERE CRACK IS THRU WALL, REPLACE ALL WYTHES OF BRICK ON EA. SIDE OF CRACK TO 1ST MORTAR JOINT. REPLACE LOOSE AND CRACKED BRICKS. REPLACE EXISTING HEADERS w/ NEW HEADERS. WHERE CRACK IS ONLY IN OUTER WYTHE, REPLACE ONLY OUTER WYTHE.
2. WHERE CRACK IS OPEN AND 1/4" OR LESS AND IS PRESENT ONLY IN THE OUTER WYTHE AND ONLY IN JOINTS, RAKE AND REPOINT JOINTS ONLY.

### TYPICAL DETAIL REPAIR IN BRICK MASONRY

1

NO SCALE



### BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

801 Pine Street  
Bastrop, TX  
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**Owner No.**  
00000

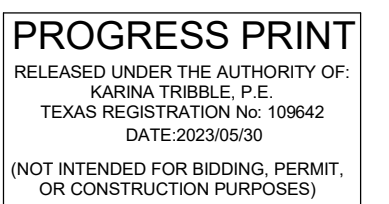
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**REVISION HISTORY**

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2. DD Submission	04 April 2023
3. 95% CD Submission	30 May 2023

SEAL



**Architexas No.**  
2251  
**Date**  
May 30th, 2023

**Sheet**  
**TYP. MASONRY  
DETAILS**

**Sheet**  
**S-4.00**



DBR Project Number 235003.000

EP BB/L JA CE GC



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### SEAL

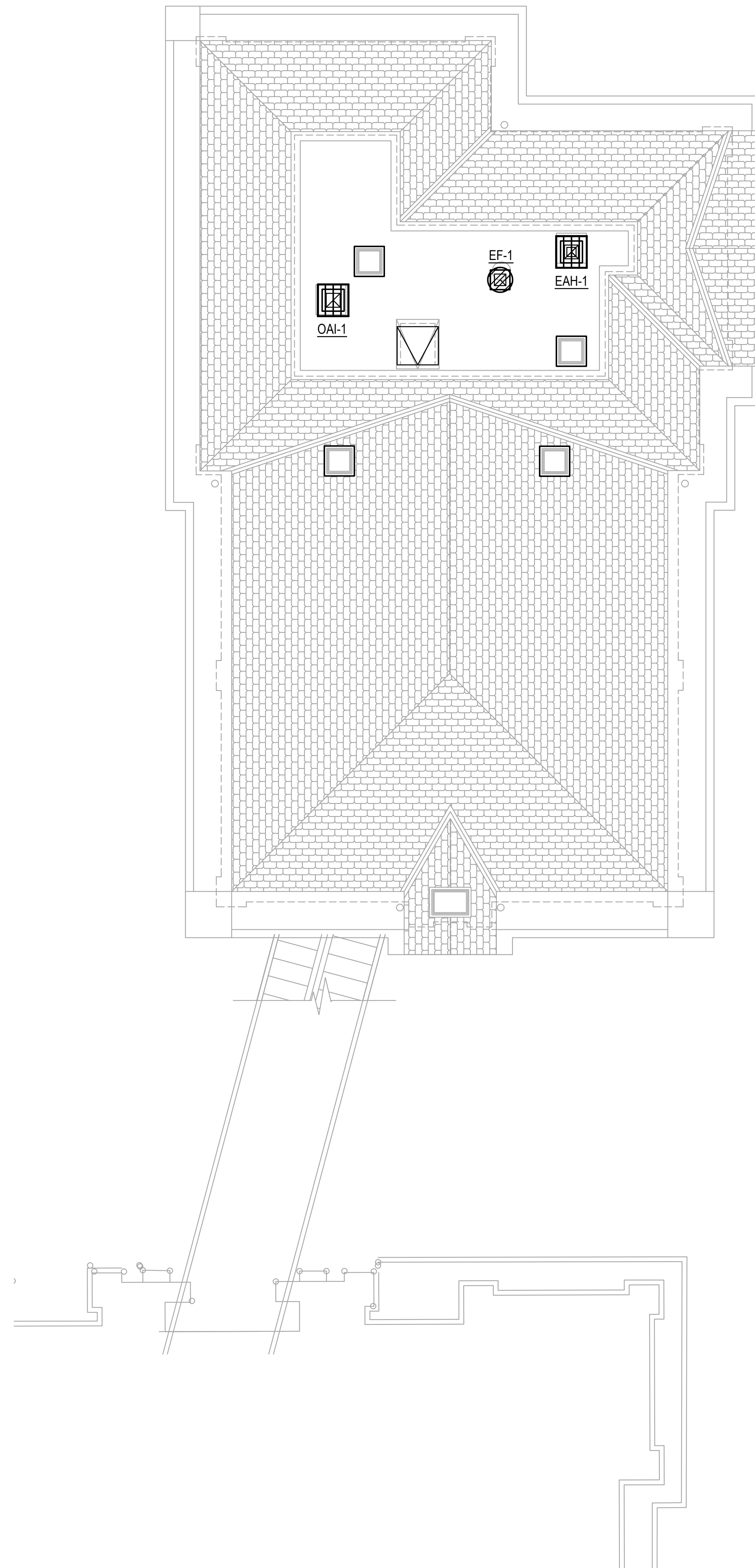
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REVIEW ONLY  
05/30/2023  
EDUARDO PUENTES, P.E.  
TEXAS #102338

Architexas No. 2251 Date May 30th, 2023

Sheet Name  
MECHANICAL ROOF PLAN

Sheet Number

# M2.03



**1** MECHANICAL ROOF PLAN  
M2.03 1/4"=1'-0"  
TRUE NORTH

## CITY MANAGER'S DIRECTIVE

**To:** Bastrop Planning and Zoning, Bastrop Historic Landmark Commission, and Bastrop Development Services Department

**From:** Sylvia Carrillo, City Manager, ICMA-CM, CPM

**Date:** March 28, 2023

**RE: Temporary Suspension of Building Materials requirements as condition of approving Certificates of Appropriateness in the Iredell District**

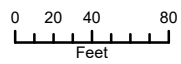
In accordance with Bastrop's Home Rule Charter, Section 4.04, as the chief administrative officer of the City I am responsible for the proper administration of all affairs of the City, including directing and supervising the administration of all departments, offices and agencies of the City. It is my duty under the Charter to see that the laws of the City are faithfully executed.

In accordance with my authority under the Charter, I hereby ***temporarily suspend*** the requirement that applications for Certificates of Appropriateness for historic projects in the Iredell District comply with building materials specifications in the Authentic Bastrop Pattern Book (as adopted under the *Building Bastrop Block Code – B3*).

In considering an application for a COA under B3, the Historic Landmark Commission is to be guided by any locally adopted design Standards, Section 9.3.006(a), p. 249. For building materials, architecture standards, architectural details, massing for a variety of building types, see the Pattern Book. B3, Section 9.3.006(a)(8), p. 250. The *Authentic Bastrop Pattern Book* (Pattern Book) is a supplemental set of Standards, information, and inspiration supporting this Code. Architecture, urban design, and landscape design are housed within its contents. B3, Section 10.1.002, p. 239. The Pattern Book states that it is, "mandatory in the Iredell District,..." p. 2. The Pattern Book specifies certain building materials, which vary depending on the project.

This directive is issued upon the recommendation of the City Attorney, who has evaluated the City's ability to require specific building materials in this area and concluded that certain necessary procedural steps may have been omitted. State and federal laws establish standards for designating historic areas and for mandating or restricting building materials beyond what is allowed in international codes.

While this matter is under review, the City shall not base its approval of applications CoAs on compliance with the proposed building materials conforming to the Pattern Book. This directive shall remain in effect until I withdraw it or receive policy guidance from the Bastrop City Council.



1 inch = 100 feet



Date: 7/7/2023

### Certificate of Appropriateness 804 Pecan Street/801 Pine Street

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of information, nor does it represent that its use will not infringe upon privately owned rights.