

Bastrop Historic Landmark Commission Agenda

Bastrop City Hall City Council Chambers

1311 Chestnut Street

Bastrop, TX 78602

(512) 332-8800



February 04, 2026

Agenda - Historic Landmark Commission at 6:00 PM

Bastrop Historic Landmark Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the City Secretary at (512) 332-8800 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

1. CALL TO ORDER

2. CITIZEN COMMENTS

At this time, three (3) minute comments will be taken from the audience on any topic. Anyone in attendance wishing to address the Board/Commission must complete a citizen comment form and give the completed form to the Board/Commission Secretary prior to the start of the Board/Commission meeting. In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Board/Commission cannot discuss issues raised or make any decision at this time. Instead, the Board/Commission is limited to making a statement of specific factual information or a recitation of existing policy in response to the inquiry. Issues may be referred to the City Manager for research and possible future action. Profanity, physical or other threats are not allowed and may subject the speaker to loss of the time for comment, and if disruptive to the conduct of business, could result in removal of the speaker.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider and act to approve the meeting minutes from January 7, 2026, Joint Historic Landmark Commission and Main Street Advisory Meeting.

Submitted by: Nicole Peterson, Development Coordinator

3B. Consider and act on the request for a Certificate of Appropriateness for a front deck replacement on a commercial building within the Bastrop Commercial National Register of Historic District, located at 1009 Main Street, being .091 acres out of Building Block 5, West of Water Street within the City Limits of Bastrop.

Submitted by: James E. Cowey, Development Services Director

- 3C. Consider and act on a Certificate of Appropriateness for a blade sign on a commercial building within the Bastrop Commercial National Register of Historic District, located at 924 Main Street, being .083 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

Submitted by: Alondra Macias, Planner I, Development Services Department

4. UPDATES

- 4A. Update on Design Standards.

5. ADJOURNMENT

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place convenient and readily accessible to the general public, as well as to the City's website, www.cityofbastrop.org and said Notice was posted on the following date and time: January 29, 2026 at 6:00 p.m. and remained posted for at least two hours after said meeting was convened.

/s/Nicole Peterson
Nicole Peterson, Development Coordinator



Historic Landmark Commission STAFF REPORT

MEETING DATE: February 4, 2026

TITLE:

Consider and act to approve the meeting minutes from January 7, 2026, Joint Historic Landmark Commission and Main Street Advisory Meeting.

AGENDA ITEM SUBMITTED BY:

Nicole Peterson, Development Coordinator

ATTACHMENTS:

- January 7, 2026, Meeting Minutes

HISTORIC LANDMARK COMMISSION

MEETING MINUTES

January 7, 2026

The City of Bastrop Historic Landmark Commission met on Wednesday, January 7, 2026, at 5:00 PM in the Bastrop City Council Chambers, 1311 Chestnut Street, Bastrop, Texas.

1. CALL TO ORDER

The Chair called the meeting to order at 5:00 PM.

The Main Street Advisory Chair called the meeting to order at 5:02 PM.

Commissioners:

Samuel Bennett	Present
Lisa Laky, Vice-Chair	Present
Susan Long	Present – Arrived at 5:03 PM
Blake Kaiser, Chair	Present
Gary Moss	Present
Janean Whitten	Present – Arrived at 5:10 PM
Cheryl Long	Present

City Council Liaison:

Cynthia Meyer	Absent
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Staff:

Alondra Macias	Absent
Brittany Epling	Present
Nicole Peterson	Present
James E. Cowey	Present – Arrived at 5:26 PM

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider and act to approve the meeting minutes from December 4, 2025, Joint Historic Landmark Commission and Main Street Advisory Meeting.

Commissioner Gary Moss made a motion to approve the meeting minutes from December 4, 2025, Joint Historic Landmark Commission and Main Street Advisory Meeting. Commissioner Samuel Bennett seconded the motion. The motion passed unanimously.

HISTORIC LANDMARK COMMISSION

MEETING MINUTES

January 7, 2026

4. WORKSHOP WITH POSSIBLE ACTION

- 4A. Review, discuss, and provide recommendation on design guidelines to be adopted to the Bastrop Commercial District Overlay and Historic Core Overlay.

Senior Planner, Brittany Epling presented the changes that were discussed at the previous Joint Meeting.

Discussion commenced over the following topics of the Design Guidelines:

1. Mixed-Use Development Standards and Building Heights
2. Building Setback and Street Frontage Requirements
3. Building Materials and Masonry Requirements
4. Rooftop Design Coordination
5. Fence Regulations and Design Standards
6. Color Palette Guidelines for Historic Districts
7. Garage Placement and Parking Requirements
8. Light Pollution Standards
9. Business Use Ratios and Restrictions
10. Approval of Design Guidelines with Amendments

Commissioner Gary Moss made a motion to approve the design guidelines with the revision of excluding cinder block and split face cinder block as prohibited materials and updating all references from "Historic Preservation Commission" to Historic Landmark Commission in the design guidelines. Commissioner Samuel Bennett seconded the motion. The motion passed unanimously.

Kathryn Lang made a motion to approve the design guidelines with the revisions stated above by the Historic Landmark Commission. Heather Lyons seconded the motion. The motion passed unanimously.

5. ADJOURNMENT

Commissioner Gary Moss made a motion to adjourn the meeting at 6:02 PM. Commissioner Lisa Lakey seconded the motion. The motion passed unanimously.

Heather Lyons made a motion to adjourn the meeting at 6:02 PM. Amanda Shuman seconded the motion. The motion passed unanimously.

Blake Kaiser
Commission Chair

Lisa Lakey
Commission Vice-Chair

Jennifer Long, Chair



STAFF REPORT

MEETING DATE: February 4, 2026

TITLE:

Consider and act on the request for a Certificate of Appropriateness for a front deck replacement on a commercial building within the Bastrop Commercial National Register of Historic District, located at 1009 Main Street, being .091 acres out of Building Block 5, West of Water Street within the City Limits of Bastrop.

STAFF REPRESENTATIVE:

James E. Cowey, Development Services Director

ITEM DETAILS:

Site Address: 1009 Main Street
Property Owner: M19 Properties LLC
Agent: Erin Abbey
Current Use: Commercial
Existing Zoning: P5-Core
Designations: Structure in the Bastrop Commercial National Register Historic District

BACKGROUND/HISTORY:

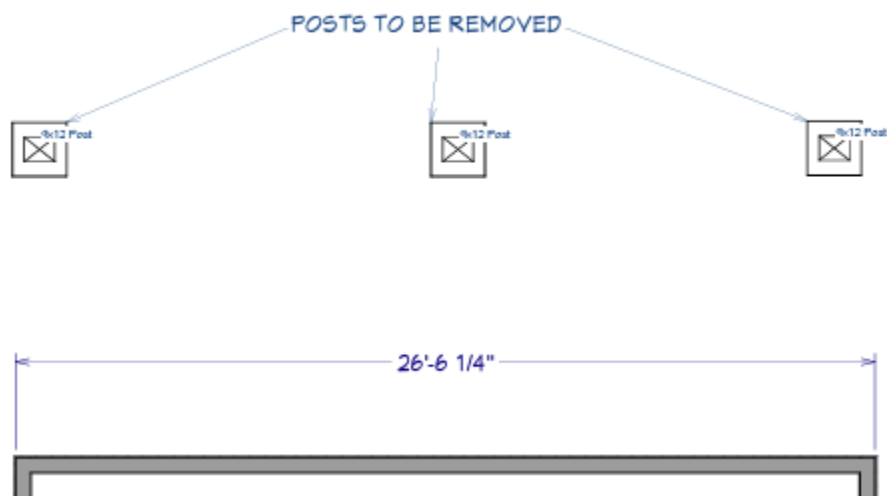
The owner of the property located at 1009 Main Street, M19 Properties LLC, is interested in replacing the existing deck with a new black steel deck to match the existing black posts on the building. They will remove and replace the existing deck and all components of the deck. The new 4 x 4 posts will be replacing 9 x 12 existing posts and will be placed in the same location.

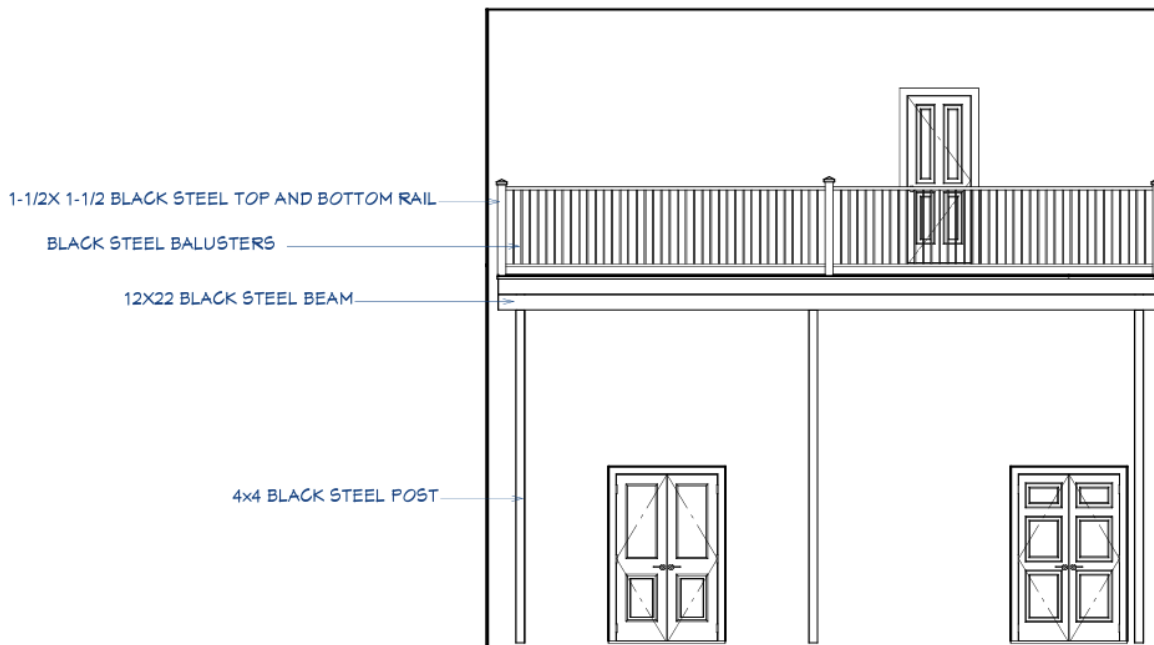
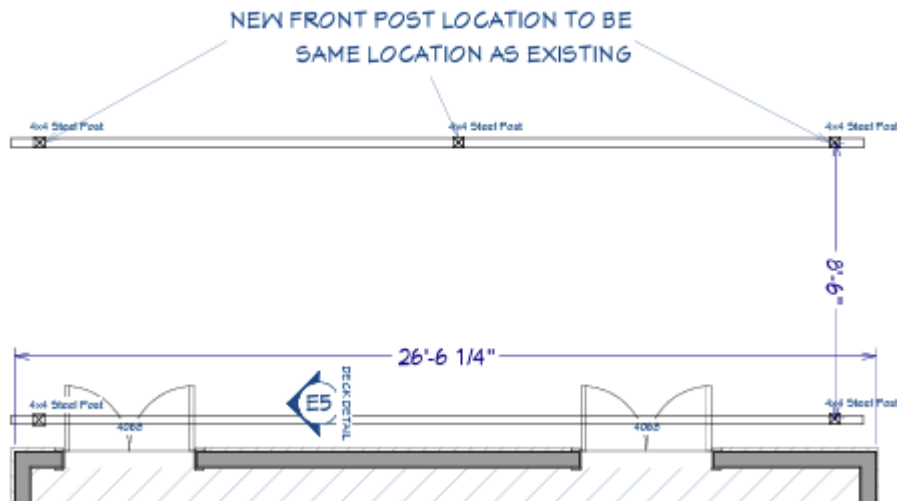
The building was built before 1879, once called the Old Iron Front Saloon. The 2-story brick building with raised parapet of press-tin cornice, dental saw tooth horizontal ribbon with frieze between brackets.

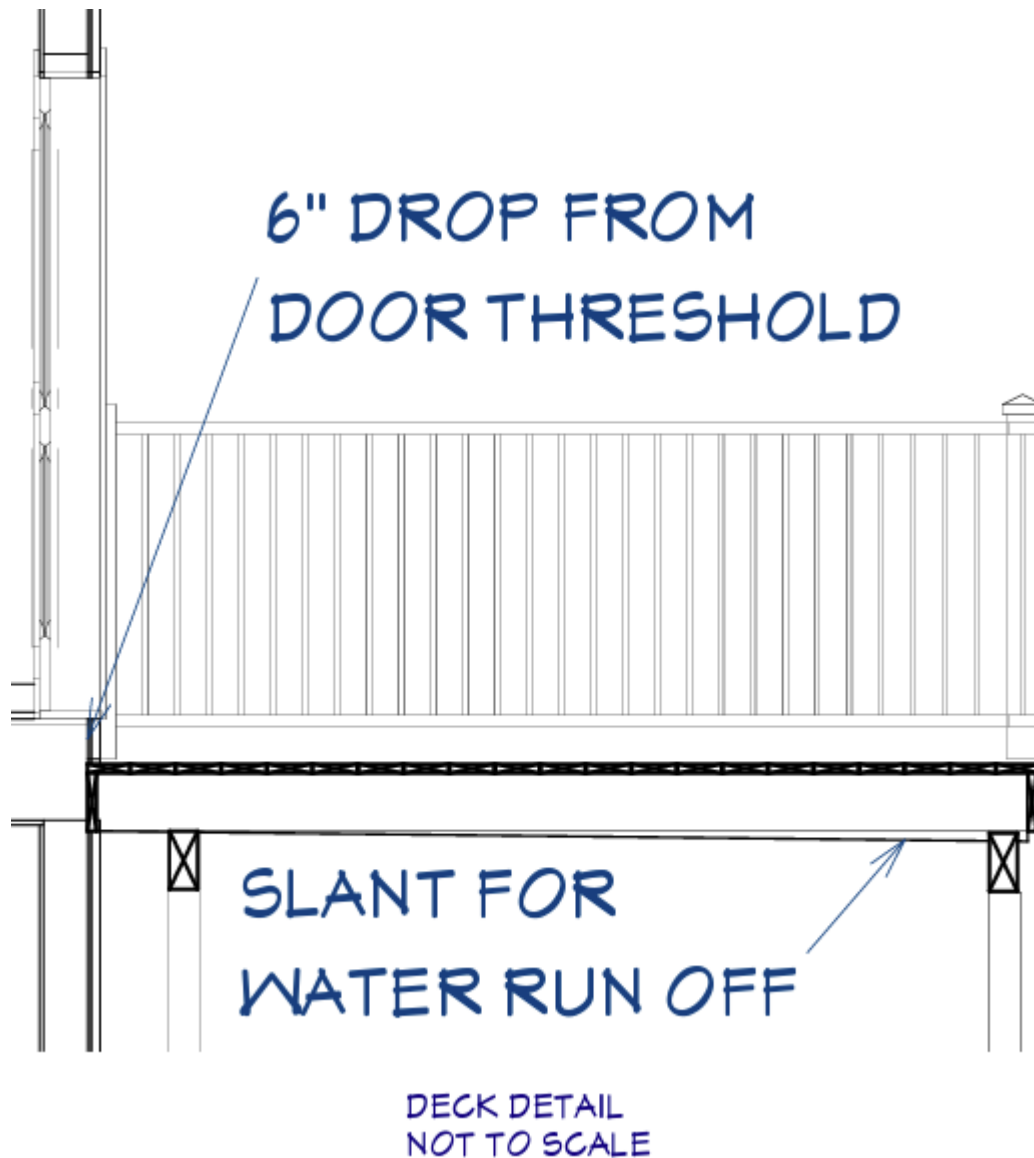
The front of the building as it exists is shown below:



The proposed changes to the front facade are shown below:







POLICY EXPLANATION:

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.

- (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
- (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.
- (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.
- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

RECOMMENDATION:

Consider and act on the request for a Certificate of Appropriateness for a front deck replacement on a commercial building within the Bastrop Commercial National Register of Historic District, located at 1009 Main Street, being .091 acres out of Building Block 5, West of Water Street within the City Limits of Bastrop.

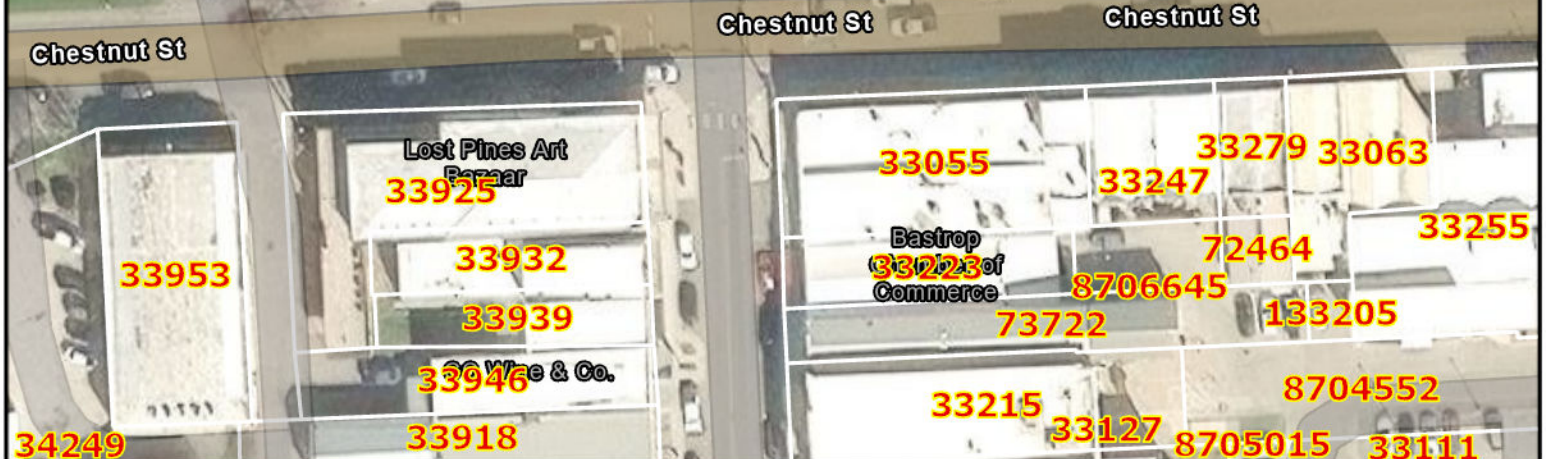
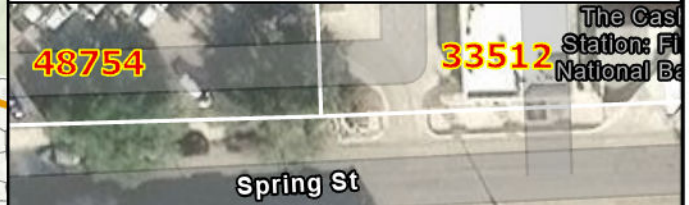
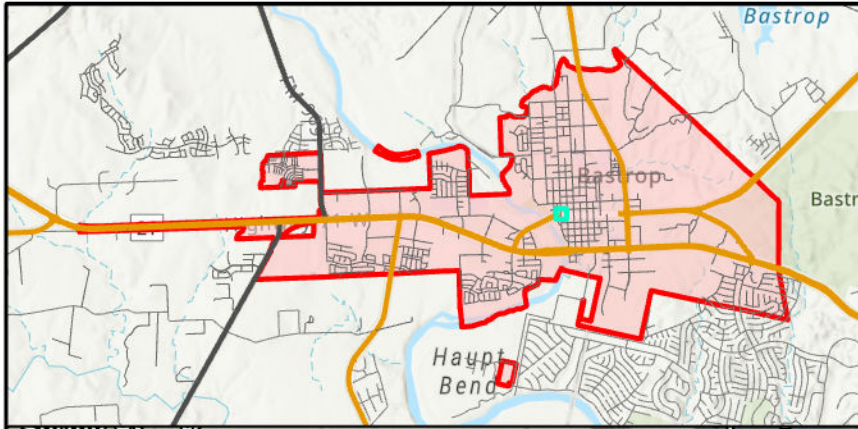
ATTACHMENTS:

- Attachment 1: Location Map
- Attachment 2: Existing Conditions
- Attachment 3: Proposed Replacement Plan



Attachment 1 Notification Map

1009 Main Street



1/27/2026



Scale: 1:932

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced. The map does not purport to depict boundaries between private and public property. This map is general in nature and is not for navigational purposes.





- 1-COVER PAGE
- 2-DEMO PLANS
- 3-PROPOSED PLAN
- 4-NEW EXTERIOR ELEVATIONS
- 5-STRUCTURAL NOTES
- 6-ENGINEERED FOUNDATION PLAN
- 7-FRAMING PLAN
- 8-FRAMING DETAILS
- 9-WIND BRACING PLAN
- 10-PROPOSED SITE PLAN
- 11-EXISTING SITE PLAN

OLD TOWN DISTRICT
PLACE TYPE ZONING DISTRICT: P-5 CORE
PROPERTY ID: 33439
GEO ID: R33439
LEGAL DESCRIPTION: BUILDING BLOCK, BLOCK 5 W W ST, ACRES 0.091

WATER SERVICE: CITY OF BASTROP
WASTE WATER SERVICE: CITY OF BASTROP
ELECTRIC SERVICE: BP&L



Cover Page

M19 Properties LLC
1009 Main St
Bastrop, TX 78602

DATE:

/20/2026

SCALE:

SHEET:

1



1st Floor

2nd Floor

LIVING AREA
2652 SQ FT

[illegible]

Demo Plan

M19 Properties LLC
1009 Main St
Bastrop, TX 78602

DATE:

1/20/2026

SCALE:

$$3/16" = 1'-0"$$

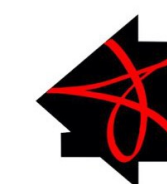
SHEET:

2



1st Floor

2nd Floor



Proposed Plan

M19 Properties LLC
1009 Main St
Bastrop, TX 78602

DATE:
1/20/2026

SCALE:
$3/16"=1'-0"$

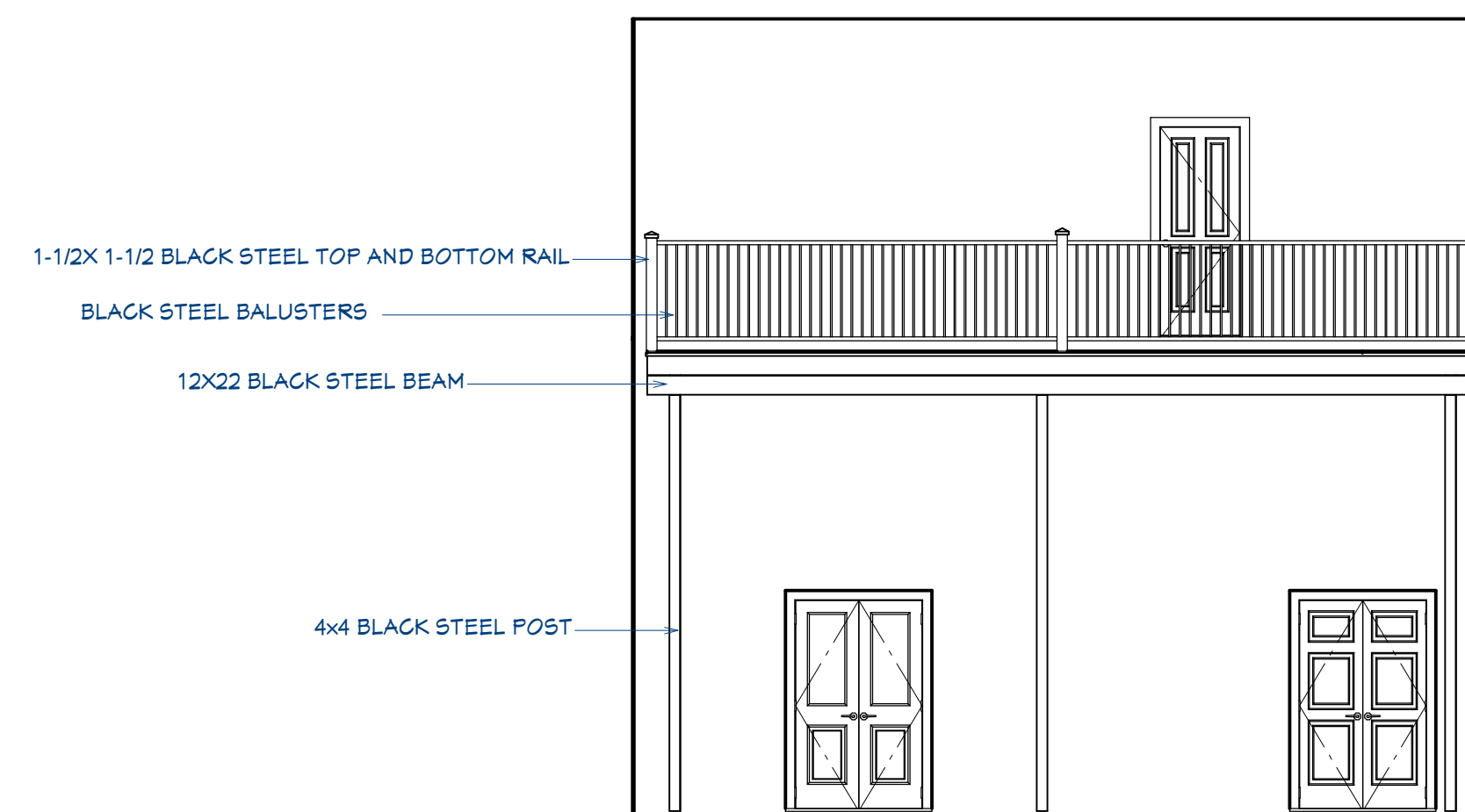
SHEET:
3

[illegible]

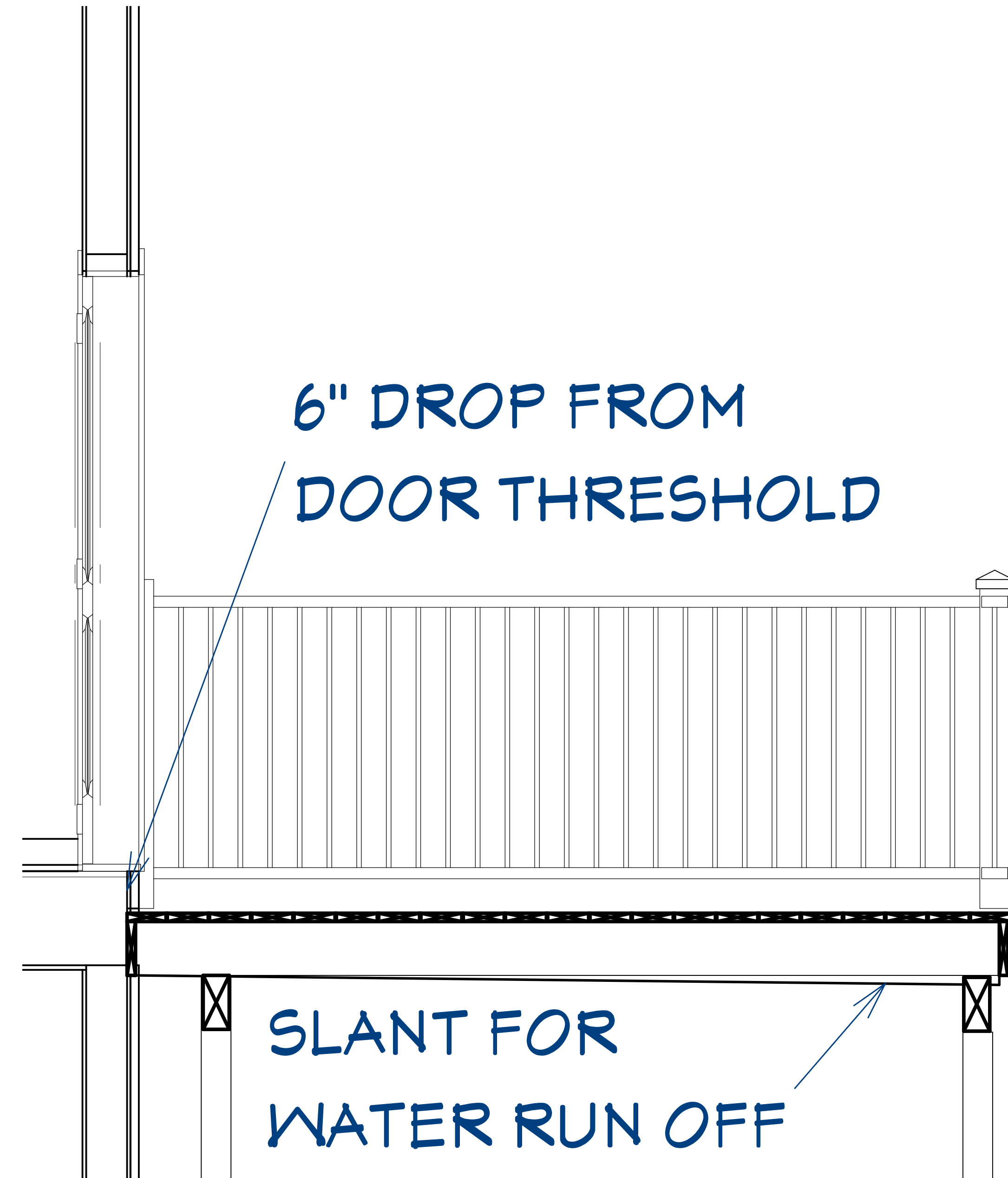
DECK RENDERING



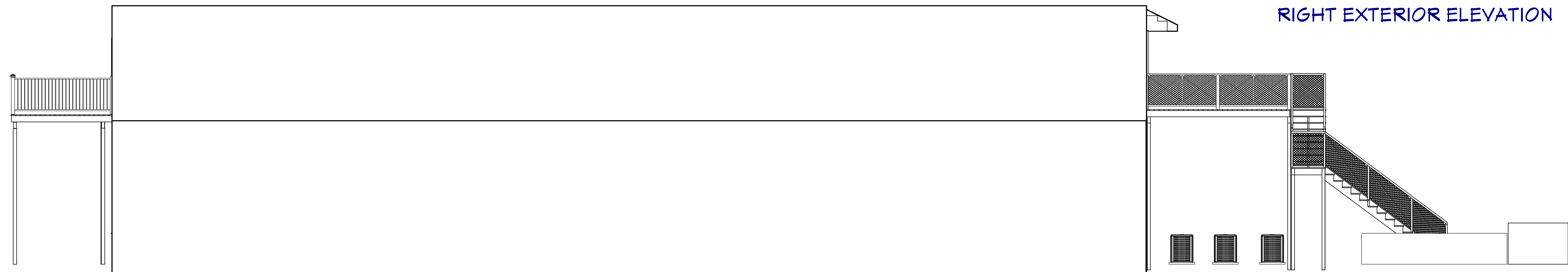
NEW DECK TO BE BLACK TO MATCH
EXISTING BLACK POSTS AS SEEN IN PHOTO



FRONT EXTERIOR ELEVATION



DECK DETAIL
NOT TO SCALE



RIGHT EXTERIOR ELEVATION

[illegible]

Exterior Elevations

M1q Properties LLC
100q Main St
Bastrop, TX 78602

DATE:

./20/2026

SCALE:

$$3/16" = 1'-0"$$

SHEET:

4

1. GENERAL

- 1.1.

DIMENSIONS REFER TO ROUGH SURFACES. THE CONTRACTOR MUST VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
- 1.2.

ALL DRAWINGS ARE CONSIDERED PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF CONSTRUCTION SO THAT CLARIFICATION CAN BE ISSUED. ANY WORK IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR STRUCTURAL ENGINEER.
- 1.3.

ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE BUILDING CODE AS WELL AS ANY OTHER REGULATING AUTHORITY OVER ANY PORTION OF THE WORK INCLUDING THOSE ADDITIONAL CODES AND STANDARDS LISTED IN THE STRUCTURAL NOTES AND SPECIFICATIONS.
- 1.4.

THE ENGINEER SHALL NOT CONTROL AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES; FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK; FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR FOR ANY PERSONS PERFORMING THE WORK; OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- 1.5.

SITE OBSERVATIONS BY FIELD REPRESENTATIVES OF THE ENGINEER ARE SOLELY FOR THE PURPOSE OF DETERMINING IF THE WORK OF THE CONTRACTOR IS PROCEEDING IN ACCORDANCE WITH THE STRUCTURAL CONTRACT DRAWINGS. THIS LIMITED SITE OBSERVATION SHOULD NOT BE CONSTRUED AS EXHAUSTIVE OR CONTINUOUS TO CHECK THE QUALITY OR QUANTITY OF THE WORK, BUT RATHER AN EFFORT TO GUARD THE OWNER AGAINST DEFECTS OR DEFICIENCIES IN THE WORK OF THE CONTRACTOR.
- 1.6.

ANY INSPECTIONS, INVESTIGATIONS, OR TESTING CALLED FOR IN THESE NOTES WHICH ARE WAIVED BY THE OWNER SHALL BE UNDERTAKEN AT THE OWNER'S SOLE RISK. THE OWNER ACKNOWLEDGES THAT WAIVING SUCH SERVICES MAY INCREASE THE LIKELIHOOD OF UNFORESEEN CONDITIONS, ADDITIONAL COSTS, OR FUTURE PERFORMANCE ISSUES FOR WHICH THE ENGINEER SHALL NOT BE RESPONSIBLE.
- 1.7.

ALL STRUCTURES REQUIRE PERIODIC MAINTENANCE TO EXTEND LIFE SPAN AND TO ENSURE STRUCTURAL INTEGRITY FROM EXPOSURE TO THE ENVIRONMENT.

A PLANNED PROGRAM OF MAINTENANCE SHALL BE ESTABLISHED BY THE BUILDING OWNER. THIS PROGRAM SHALL INCLUDE ITEMS SUCH AS MOISTURE CONDITIONING EXPANSIVE SOILS, PAINTING OF STRUCTURAL STEEL, PROTECTIVE COATING FOR CONCRETE, SEALANTS, AND CAULKING.

2. DESIGN DATA

- 2.1.

GENERAL BUILDING CODE

2024 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2.2.

LOADS

GROUND SNOW LOAD5 PSF
WIND SPEED (3-SECOND GUST)115 MPH
RISK CATEGORYII
EXPOSURE CATEGORYC
SEISMIC DESIGN CATEGORYA

LIVE LOADS

FLOORS, TYPICAL40 PSF
EXTERIOR BALCONIES60 PSF
PATIOS/DECKS40 PSF
PASSENGER VEHICLE GARAGES50 PSF
ATTICS WITHOUT STORAGE10 PSF
ATTICS WITH STORAGE20 PSF
SLEEPING ROOMS30 PSF

GUARDRAILS AND HANDRAILS200 LBS
STAIR TREADS300 LBS
- 2.3.

ALLOWABLE DEFLECTIONS

THE BUILDING MOVEMENT SPECIFIED BELOW IS ANTICIPATED TO OCCUR IN THE COURSE OF NORMAL USE AND SHOULD BE CONSIDERED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK.

RAFTERSL/180
CEILINGSL/240
PATIOS/DECKSL/240
FLOORSL/360

3. CONSTRUCTION INSPECTIONS

- 3.1.

THE STRUCTURAL ENGINEER OF RECORD, OR HIS DESIGNATE, ARE AVAILABLE TO PROVIDE STRUCTURAL OBSERVATION OF THE STRUCTURAL SYSTEM FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS AT SIGNIFICANT CONSTRUCTION STAGES.
- 3.2.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 72 HOURS PRIOR TO THE DATE THE OBSERVATION IS REQUIRED IN ORDER TO ENSURE AVAILABILITY OF AN INSPECTOR.
- 3.3.

THE FOLLOWING ITEMS REQUIRE STRUCTURAL OBSERVATION:

FOUNDATION REINFORCING AND GRADE BEAM LAYOUT PRIOR TO CASTING CONCRETE.

WALL SHEATHING PRIOR TO INSTALLING BUILDING WRAP OR SIDING.

FRAMING PRIOR TO THE INSTALLATION OF GYPSUM BOARD OR WALL COVERING.

4. REINFORCED CONCRETE

- 4.1.

SPECIFICATIONS AND BUILDING CODE

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM

WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI) 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY.

4.2. MATERIALS

- 4.2.1.

CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:

28 DAY STRENGTH:3000 PSI
AGGREGATE TYPE:C33
MAX. AGGREGATE SIZE:1-1/2"
- 4.2.2.

REINFORCING STEEL SHALL MEET THE FOLLOWING REQUIREMENTS:

#3 TO #18:ASTM A615 GRADE 60
- 4.3.

CONCRETE TESTING

CONTRACTOR SHALL FURNISH MIX DESIGN FOR ALL CLASSES OF CONCRETE AND RETAIN A QUALIFIED TESTING LABORATORY TO MAKE CONCRETE CYLINDERS AND PERFORM COMPRESSIVE TESTS.

A MINIMUM OF THREE CYLINDERS SHALL BE TAKEN PER 50 CUBIC YARDS OF CONCRETE WITH ONE TEST AT 7 DAYS AND TWO AT 28 DAYS.
- 4.4.

REINFORCING STEEL COVERAGE

FOR LAYER NEAREST SURFACE UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

4.4.1. CONCRETE SURFACES CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH:

#3 TO #18 BARS:3"

4.4.2. CONCRETE SURFACES EXPOSED TO EARTH OR WEATHER:

#3 TO #5 BARS1.5"
#6 TO #18 BARS2"

4.4.3. CONCRETE SURFACES NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:

#3 TO #11 BARS IN SLABS & WALLS:1"
#3 TO #18 BARS IN BEAMS & COLUMNS1.5"
- 4.5.

REINFORCING DETAILS

4.5.1. PROVIDE CORNER BARS FOR ALL CONTINUOUS REINFORCING BARS AT ALL CORNERS WITH A MINIMUM LAP OF 24".

4.5.2. LAP TOP BEAM REINFORCING BARS AT MID-SPAN.

4.5.3. LAP BOTTOM REINFORCING BARS AT SUPPORTS.

4.5.4. LAP VERTICAL BARS IN COLUMNS AND WALLS ONLY AT FLOOR LINES, UNLESS NOTED OTHERWISE.

4.5.5. PROVIDE STANDARD HOOKS IN TOP BARS AT CANTILEVER AND DISCONTINUOUS ENDS OF BEAMS, WALLS, AND SLABS.

4.5.6. EMBEDDED CONDUITS, PIPES, AND SLEEVES SHALL MEET THE REQUIREMENTS OF ACI 318-19, SECTION 20.6.
- 4.6.

MINIMUM LAP LENGTH

CONTINUOUS REINFORCING BARS SHALL HAVE A MINIMUM LAP OF 30 DIAMETERS OR 24 INCHES, WHICHEVER IS GREATER.
- 4.7.

CONTROL JOINTS

4.7.1. INSTALL CRACK CONTROL JOINTS AT 15'-0" O.C.E.W. IF CRACK CONTROL IS NOT A CONSIDERATION AS DETERMINED BY BOTH THE BUILDER AND THE OWNER, THEN THE JOINTS MAY BE ELIMINATED.

4.7.2. CREATE CRACK CONTROL JOINTS BY TOOLING OR SAWCUTTING TO A DEPTH OF ONE THIRD THE SLAB THICKNESS. TOOL THE BASE OF ALL DROPS-IN-SLAB TO FUNCTION AS CONTROL JOINTS.

4.5.3. CONTRACTOR SHALL SUBMIT PROPOSED LOCATIONS FOR CONSTRUCTION JOINTS NOT SHOWN ON DRAWINGS FOR REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.

5. FOUNDATION

- 5.1.

THE FOUNDATION DESIGN WAS BASED ON A LIMITED GEOTECHNICAL INVESTIGATION. SOILS WERE PROBED AND FIELD INSPECTED TO A DEPTH OF 3' OR REFUSAL. THERE MAY BE DEEPER SUB-SURFACE CONDITIONS THAT ARE UNKNOWN AT THE TIME OF DESIGN AND WOULD REQUIRE A MORE THOROUGH GEOTECHNICAL INVESTIGATION.
- 5.2.

SOILS

PER THE 2021 IRC THE FOLLOWING PRESUMPTIVE LOAD BEARING CAPACITY WAS USED:

CLAY1,500 PSF

THE CENTRAL TEXAS AREA HAS CLAY SOIL, WHICH SHRINKS AND SWELLS WITH VARIATIONS IN THE MOISTURE CONTENT. THIS PHENOMENON CAN CAUSE FOUNDATIONS TO MOVE AND CRACKS TO OCCUR. THE HOMEOWNER MUST MAINTAIN A CONSTANT MOISTURE CONTENT IN THE SOIL AROUND THE FOUNDATION IN ORDER TO REDUCE FOUNDATION MOVEMENT IN THE FUTURE.
- 5.3.

SITE PREP

REMOVE TOP 6 INCHES OF SOIL (MIN.) AND REPLACE WITH COMPACT ROAD BASE
- 5.4.

ALL GRADE BEAMS AND FOOTINGS SHALL BE EXCAVATED A MINIMUM OF 12 INCHES INTO UNDISTURBED SOIL OR TO SOLID ROCK.
- 5.5.

VAPOR BARRIER SHALL BE POLYETHYLENE SHEETS HAVING A MINIMUM THICKNESS OF 10 MIL.
- 5.6.

TOP OF SLAB SHALL BE NO LESS THAN 8" ABOVE FINISHED GRADE.
- 5.7.

PROVIDE ADEQUATE DRAINAGE AWAY FROM THE BUILDING TO ENSURE THAT WATER DOES NOT STAND NEAR THE BUILDING OR SEEP UNDERNEATH THE BUILDING.

6. STRUCTURAL STEEL

- 6.1.

SPECIFICATIONS AND BUILDING CODE

STRUCTURAL STEEL DESIGN, FABRICATION AND CONSTRUCTION SHALL BE GOVERNED BY THE FOLLOWING AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) DOCUMENTS:

AISC 360 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS

THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS.

AISC 303 CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 6.2.

MATERIALS

6.2.1. ALL HOT ROLLED STRUCTURAL STEEL PLATES, SHAPES AND BARS SHALL BE NEW STEEL CONFORMING TO ASTM A616/A6.

6.2.2. UNLESS NOTED OTHERWISE ON THESE DRAWINGS, STRUCTURAL STEEL SHALL BE AS FOLLOWS:

W-SHAPESASTM A992
C-SHAPESASTM A36
L-SHAPESASTM A36
HSS-SHAPESASTM A1085

6.2.3. ALL CONNECTION MATERIAL INCLUDING BEARING PLATES, GUSSET PLATES, STIFFENER PLATES, ANGLES, ETC.: ASTM A36 (UNLESS HIGHER GRADE IS REQUIRED BY STRENGTH)
- 6.3.

CONNECTIONS

SEE TYPICAL DETAILS ON DRAWINGS.
- 6.4.

STRUCTURAL BOLTS AND THREADED FASTENERS

6.4.1. UNLESS NOTED OTHERWISE, ALL BOLTS IN STRUCTURAL CONNECTIONS SHALL CONFORM TO ASTM A325 TYPE.

6.4.2. MATERIALS

THREADED ROD:ASTM 572 GRADE 50
PINS:ASTM A36
- 6.5.

WELDING

6.5.1. SPECIFICATION AND BUILDING CODE

WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STANDARD D1.1.

6.5.2. UNLESS NOTED OTHERWISE, ELECTRODES FOR WELDING SHALL CONFORM TO E70XX (SMAW)
- 6.6.

GROUT

6.6.1. USE NON-METALLIC, NON-SHRINK GROUT WITH A MINIMUM STRENGTH OF 6000PSI.
- 6.7.

HEADED CONCRETE ANCHORS

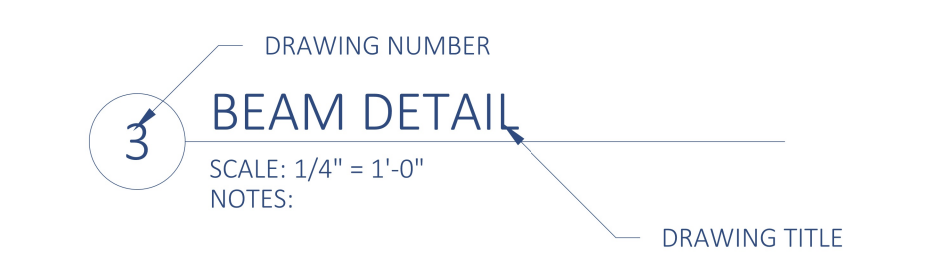
6.7.1. HEADED CONCRETE ANCHORS SHALL BE NELSON HEADED CONCRETE ANCHORS (OR APPROVED EQUAL), AND SHALL CONFORM TO ASTM A108, GRADES C-1010 THROUGH C-1020.

6.7.2. ANCHORS SHALL BE AUTOMATICALLY END WELDED WITH SUITABLE STUD WELDING EQUIPMENT IN THE SHOP OR IN THE FIELD. WELDING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE NELSON STUD WELDING COMPANY.

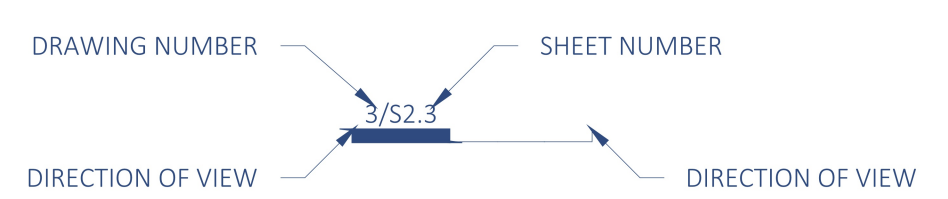
COMMON ABBREVIATIONS

BWL	BRACED WALL LINE
CL	CENTERLINE
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CS	CONTINUOUSLY SHEATHED
DBL	DOUBLE
DEMO	DEMOLISH
DIA	DIAMETER
EA	EACH
EQ	EQUAL
EW	EACH WAY
FFL	FINISHED FLOOR LEVEL
GA	GAUGE
GYP	GYPSUM
HSS	HOLLOW STEEL SECTION
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OC	ON-CENTER
OCEW	ON-CENTER, EACH WAY
OD	OUTER DIAMETER
OSB	ORIENTED STRAND BOARD
REV	REVISION
RO	ROUGH OPENING
SP	SOUTHERN PINE
STD	STANDARD
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN THE FIELD
WPF	WOOD PORTAL FRAME
WSP	WOOD STRUCTURAL PANEL
Ø	DIAMETER

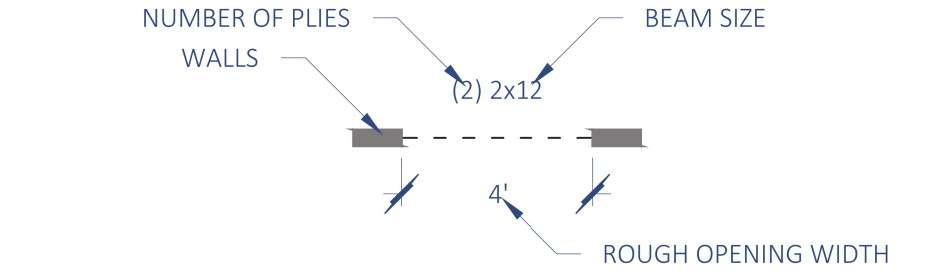
DRAWING LABEL



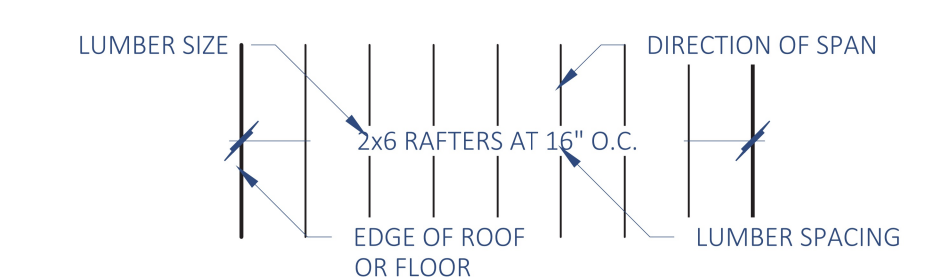
SECTION LABEL



BEAM AND HEADER LABEL

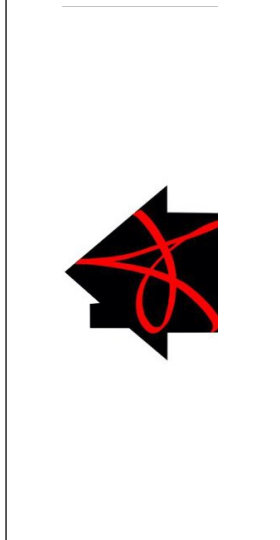


JOIST / RAFTER / TRUSS LABEL



S0.0

REVISION TABLE	
NUMBER	DATE
REVISED BY DESCRIPTION	



Structural Notes

M1q Properties LLC
100q Main St
Bastrop, TX 76602

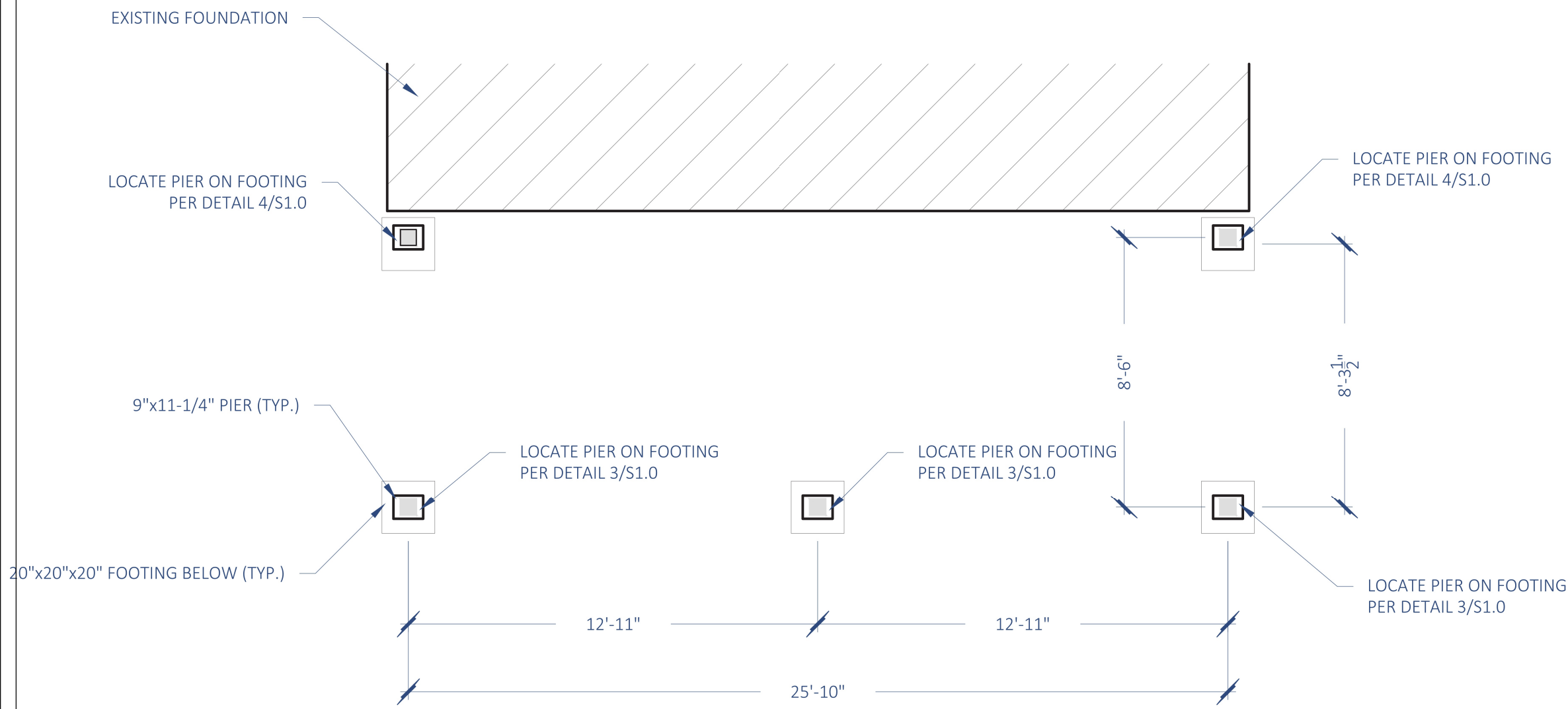
DATE:

1/20/2026

SCALE:

SHEET:

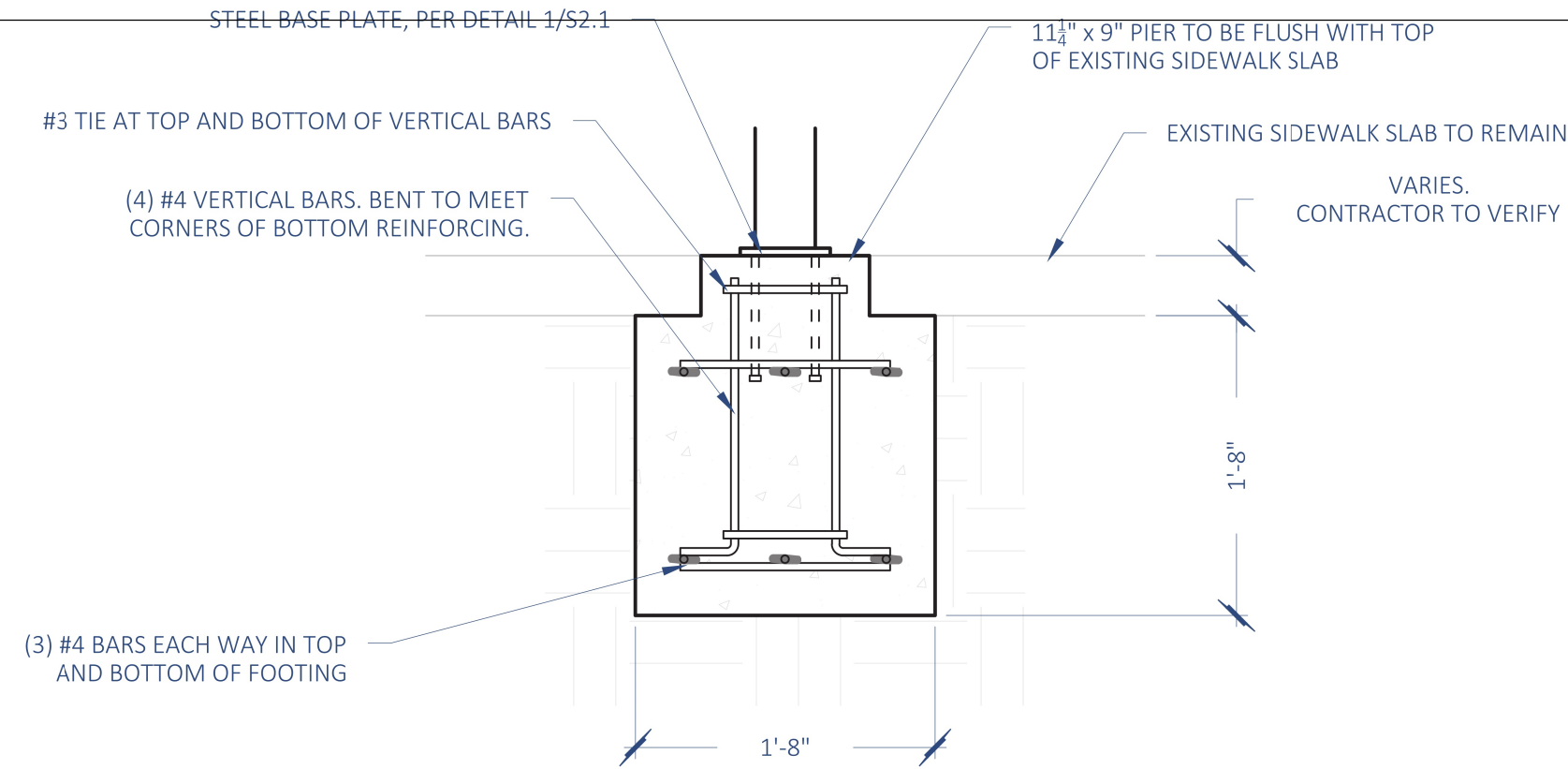
5



1 FOUNDATION PLANS

SCALE: 3/4" = 1'-0"

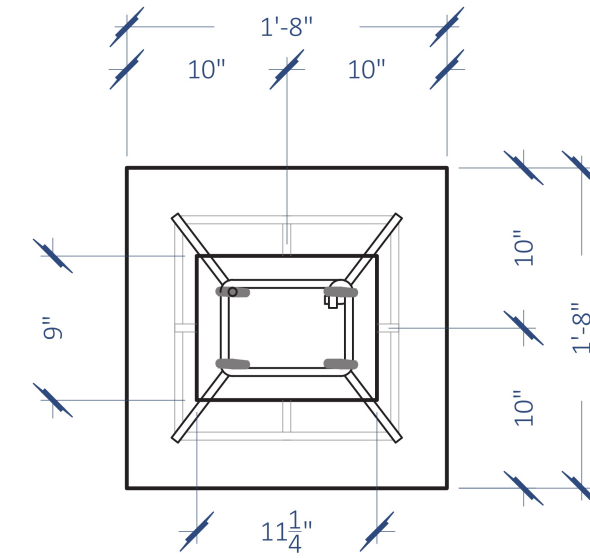
NOTES:



2 SPREAD FOOTING / PIER DETAIL

SCALE: NOT TO SCALE

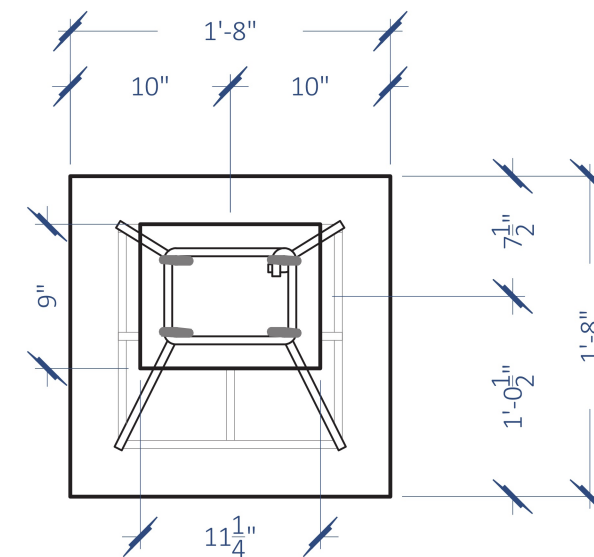
NOTES: THESE PIERS IN CLAY SOIL MAY EXPERIENCE MOVEMENT DUE TO MOISTURE CHANGES RESULTING IN CRACKS AND STICKING DOORS. ADJUSTMENTS MAY NEED TO BE MADE PERIODICALLY.



3 SPREAD FOOTING PLAN VIEW DIMENSIONS

SCALE: NOT TO SCALE

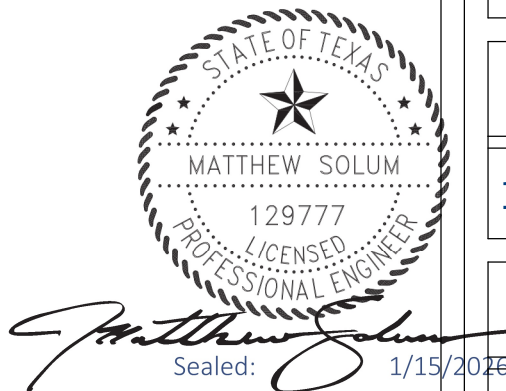
NOTES:



4 SPREAD FOOTING PLAN VIEW DIMENSIONS

SCALE: NOT TO SCALE

NOTES:



S1.0

6

1009 Main Street, Bastrop, Texas

Foundation and Framing Plans for Balcony Replacement

M19 Properties LLC
1009 Main St
Bastrop, TX 70602

Registration No. 86511 • 1311 Chisholm Trail, Suite 303, Round Rock, Texas • (512) 255-7477 • TuckerEngineering.Net

Engineered
Foundation Plan

REVISION TABLE	
NUMBER	DATE
REVISION DESCRIPTION	

Revisions
11/17/2025 - MS - Revised to use bolted connections.
12/2/2025 - JG - Revised to use steel deck.
01/15/2026 - JG - Revised guard rail detail and added expanded structural notes.

TUCKER
Engineering

Sealed: 1/15/2026

DATE:

1/20/2026

SCALE:

SHEET:

Revisions
11/17/2025 - MS - Revised to
use bolted connections.
12/2/2025 - JG - Revised
connection details
1/15/2026 - MS - Revised
guard rail detail and added
expanded structural notes.

1009 Main Street, Bastrop, Texas

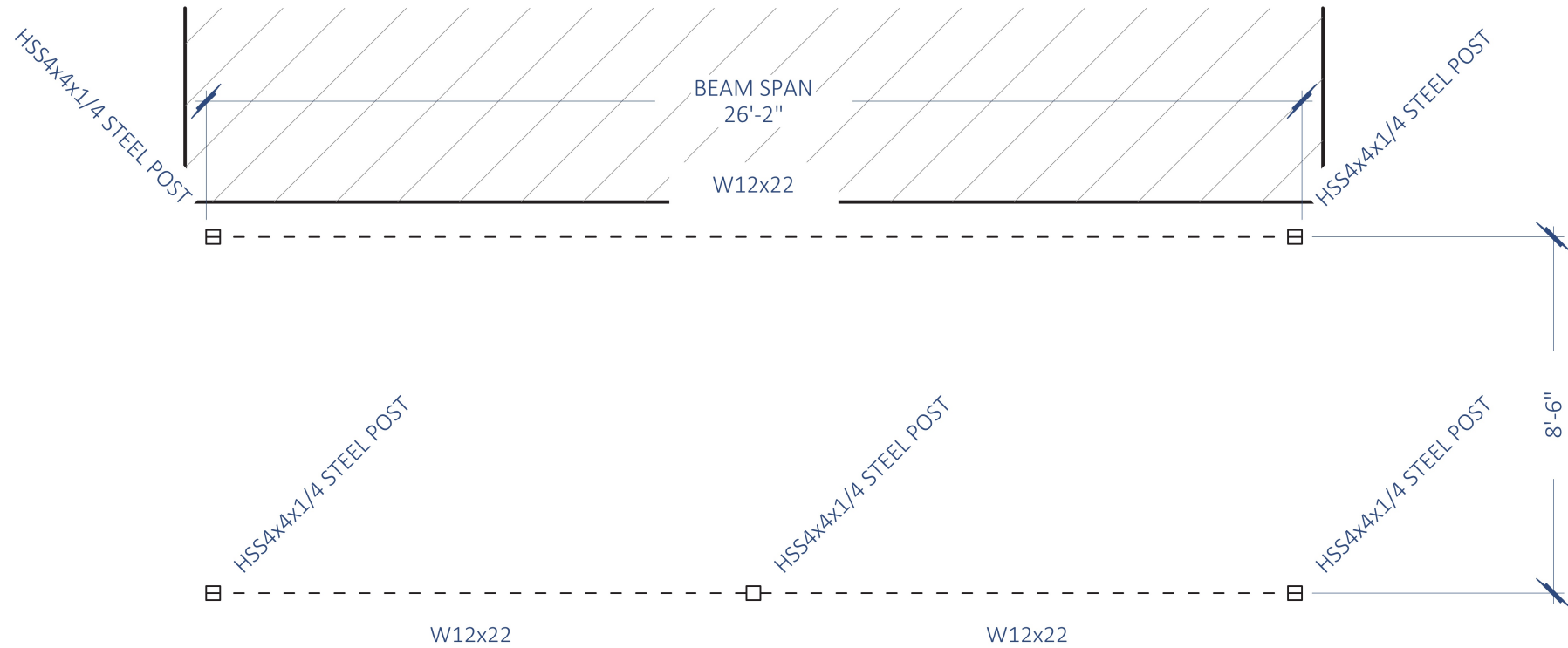
Foundation and Framing Plans for Balcony Replacement

Tucker Engineering, Inc. - Registration No. F-8611 - 1311 Chisholm Trail, Suite 303, Round Rock, Texas - (512) 255-7477 - TuckerEngineering.Net

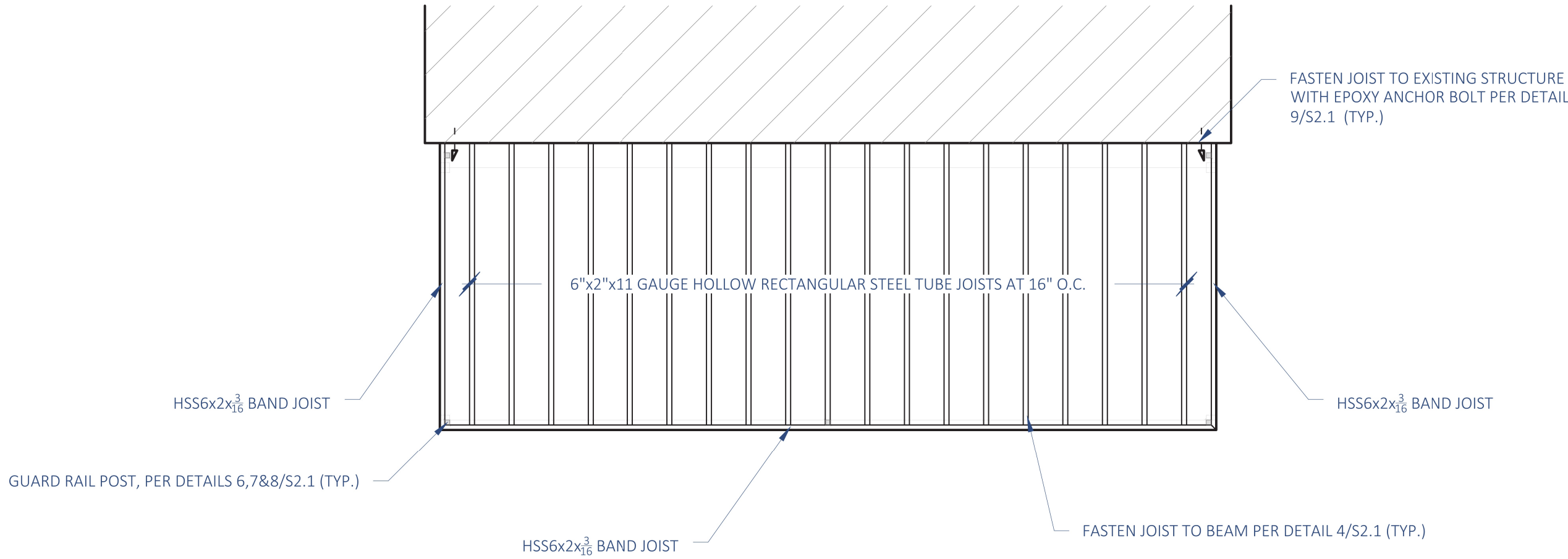


S2.0

Framing Plans



1 POST AND BEAM PLAN
SCALE: 1/4" = 1'-0"
NOTES:



2 DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"
NOTES:



Framing Plans

M11q Properties LLC
1009 Main St
Bastrop, TX 70602

DATE:
1/20/2026

SCALE:

SHEET:
7





BWL
STEEL FRAME

E. BWL

E. BWL

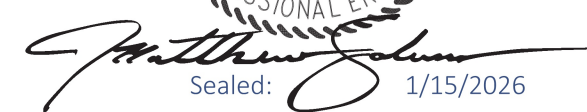
WIND BRACING PLAN

SCALE: 1/4" = 1'-0"
NOTES:

Wind Bracing Plan

Foundation and Framing Plans for Balcony Replacement

Revisions
11/17/2025 - MS - Revised to use bolted connections.
12/2/2025 - JG - Revised connection details
1/15/2025 - MS - Revised guard rail detail and added expanded structural notes.



TUCKER
engineering



Wind Bracing Plan

M19 Properties LLC
1009 Main St
Bastrop, TX 78602

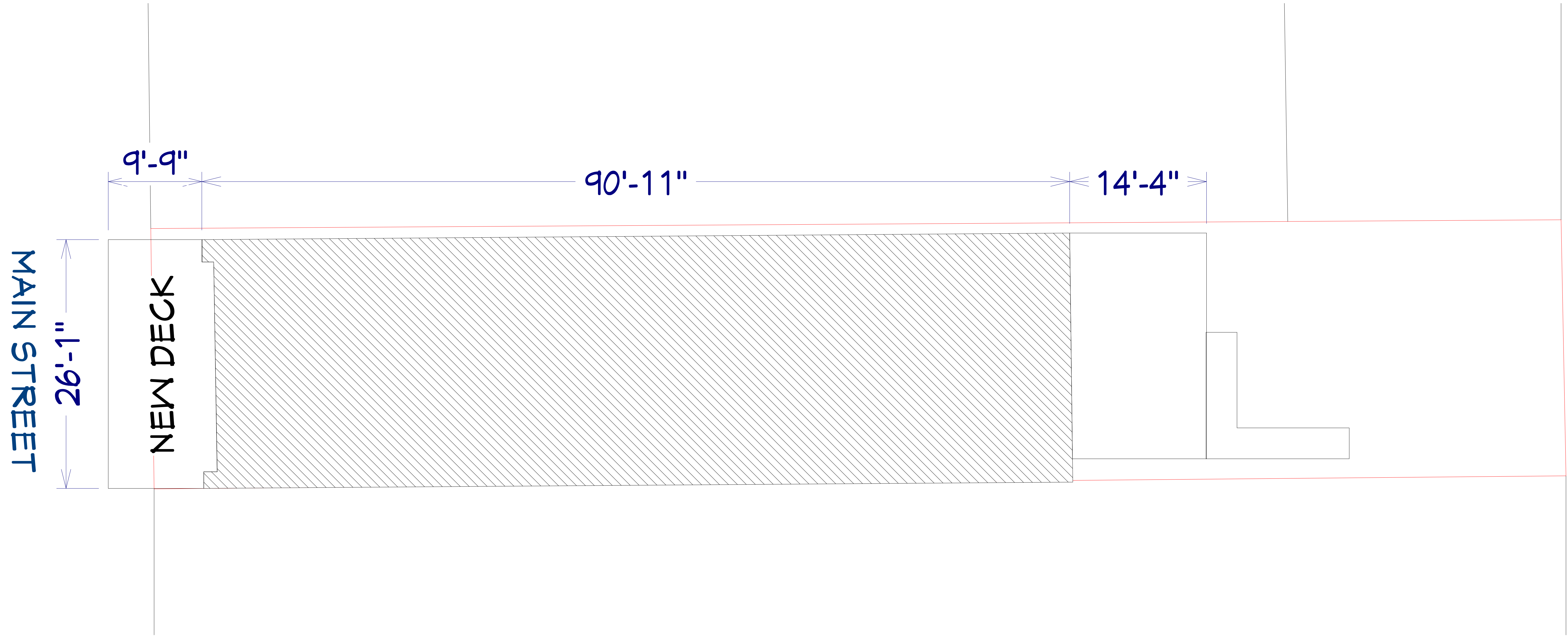
DATE:

1/20/2026

SCALE:

SHEET:

9



M19 Properties LLC
1009 Main St
Bastrop, TX 78602

DATE:

/20/2026

SCALE:

$$16'' = 1'-0''$$

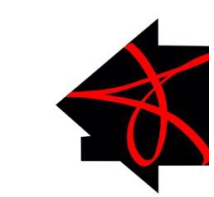
SHEET:

10

Proposed Site Plan

[illegible]

MAIN STREET

[illegible]

Existing Site Plan

M19 Properties LLC
1009 Main St
Bastrop, TX 78602

DATE:

1/20/2026

SCALE:

$$3/16" = 1'-0"$$

SHEET:

11



STAFF REPORT

MEETING DATE: February 4, 2026

TITLE:

Consider and act on a Certificate of Appropriateness for a blade sign on a commercial building within the Bastrop Commercial National Register of Historic District, located at 924 Main Street, being .083 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

STAFF REPRESENTATIVE:

Alondra Macias, Planner I, Development Services Department

ITEM DETAILS:

Site Address:	924 Main Street
Property Owner:	John Wayne Formica
Agent:	Joseph Feminella
Current Use:	Commercial
Existing Zoning:	P5-Core
Designations:	Structure in the Bastrop Commercial National Register Historic District

BACKGROUND/HISTORY:

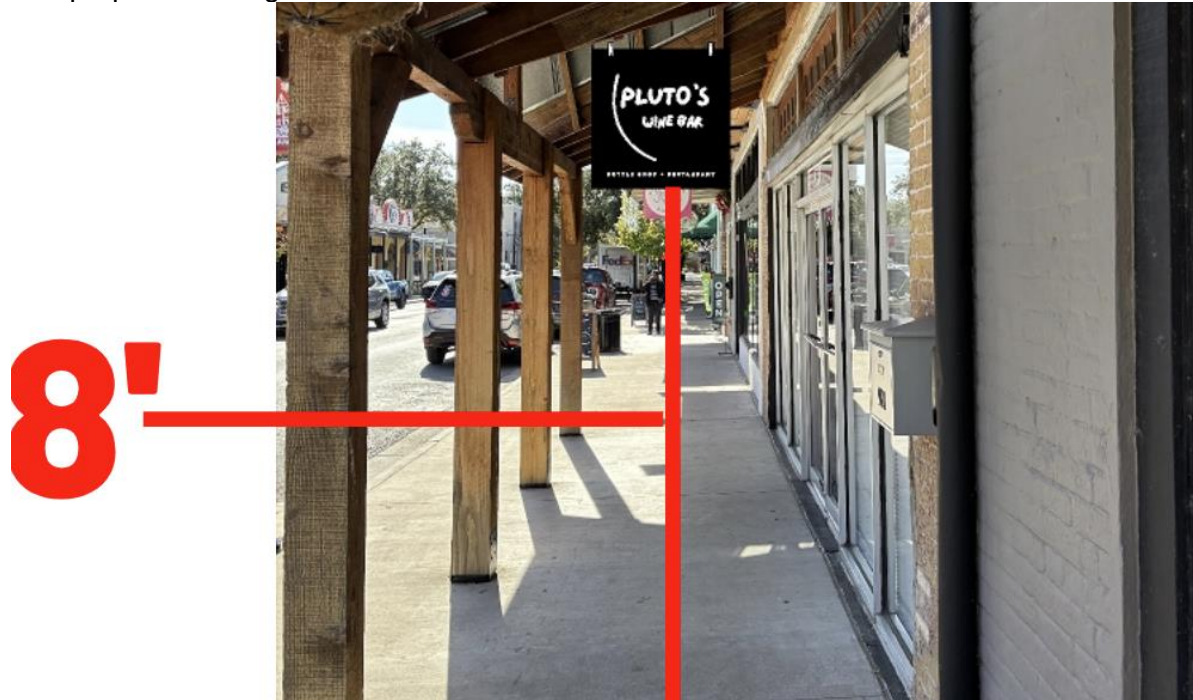
The business, occupying 924 Main Street, Pluto's Wine Bar, is interested in putting up a blade sign. The blade sign measures 30 inches by 30 inches, with the tallest letter being 5-inch tall, and will be hung beneath the awning with a head clearance of 8 feet from sidewalk to the bottom of the sign.

The sign will be a double sided 6 mm aluminum composite sign. It has a black background with white letters.

The front of the building as it exists is shown below:



The proposed changes to the front facade are shown below:



POLICY EXPLANATION:

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.
 - (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
 - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
 - (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
 - (D) **Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.**
 - (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.
 - (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.
 - (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
 - (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.
 - (I) **Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not**

destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.

- (J) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

RECOMMENDATION:

Consider and act to approve a Certificate of Appropriateness for a blade sign on a commercial building within the Bastrop Commercial National Register of Historic District, located at 924 Main Street, being .083 acres out of Building Block 9, West of Water Street within the City Limits of Bastrop.

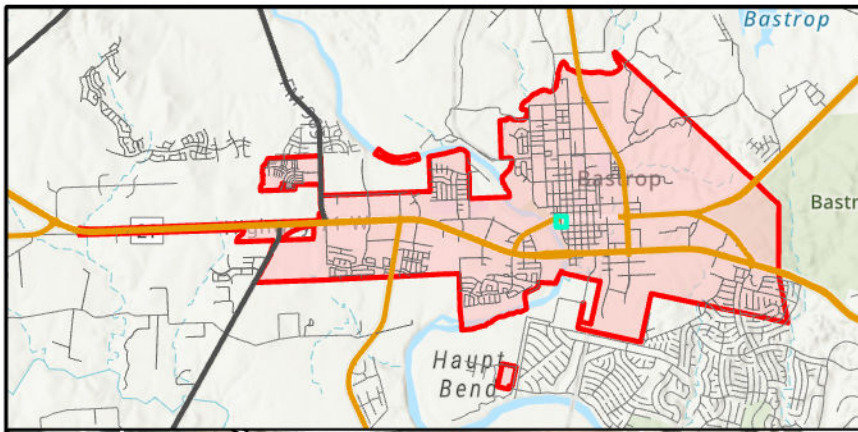
ATTACHMENTS:

- Attachment 1: Location Map
- Attachment 2: Sign Details
- Attachment 3: Certificate of Appropriateness Explanation

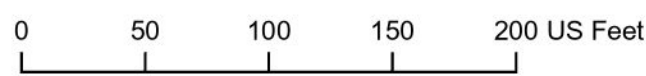


Attachment 1 Notification Map

924 Main Street



1/27/2026



Scale: 1:932

The City of Bastrop, Texas makes no warranties regarding the accuracy or completeness of the information used to compose this map or the data from which it was produced. The map does not purport to depict boundaries between private and public property. This map is general in nature and is not for navigational purposes.

EXISTING CONDITIONS



PROPOSED SIGN



double sided 6MM aluminum composite sign

Project Description

Blade sign to be installed perpendicular to, and above the doorway.

The material is 6mm ACM.

The size is 30" x 30".

The sign will be double sided.

Black background with white text.

8'



Tallest Letter is 4.25" Tall
Shortest Letter is .75" Tall

Certificate of Appropriateness Checklist for Pluto's Blade Sign

- Every reasonable effort will be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
 - We will not need to alter the building.
- When the sign is installed - The distinguishing original qualities or character of a building, structure, object, or site and its environment will not be destroyed. The removal or alteration of any historic material or distinctive architectural features will be avoided when possible.
- All buildings, structures, objects, and sites will be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
 - We will not be making any alteration to the building itself
- Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance will be recognized and respected.
 - When installing the sign, this significance will be recognized and respected
- Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site will be kept to the greatest extent practical.
 - We will not be altering any distinctive stylistic features
- When installing the sign - Deteriorated architectural features will be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material will reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features will be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- The surface cleaning of structures will be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials will not be undertaken.
 - We do not need to sandblast or clean any surfaces.
- When installing the sign - Every reasonable effort will be made to protect and preserve archeological resources affected by, or adjacent to, any project.
- Contemporary design for alterations and additions to existing properties will not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
 - The design of Pluto's blade sign is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- Wherever possible, new additions or alterations to buildings, structures, objects, or sites will be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.
 - This will be hung with chains and clamps and will be very easy to remove without damage.