



ADMINISTRATIVE SERVICES COMMITTEE MEETING AGENDA

Commission Chamber
Tuesday, August 29, 2023
1:20 PM

ADMINISTRATIVE SERVICES

- 1.** Presentation of the Rightsizing Plan recommendations by Interim Administrator Douse. **(No recommendation from Administrative Services Committee July 11, 2023 - referred from July 18 Commission meeting)**
- 2.** Motion to approve utilizing state contract (#SWC 99999-SPD-ES40199373-002) for the purchase of nineteen Ford F150s, at a total cost of \$818,612 from Allan Vigil Ford for various departments.
- 3.** Motion to approve quantity one (1) Healthy Homes Project located at 2363 Mt. Auburn Street.
- 4.** Motion to approve Housing and Community Development Department's (HCD's) request to provide Laney Walker/Bethlehem Revitalization Funding to contract with Capitalrise, LLC to develop new construction of two (2) single family units, identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.
- 5.** Motion to approve Housing and Community Development Department's (HCD's) request to approve the addendum engagement agreement with Cherry Bekaert to continue to provide grant management assistance to the Housing and Community Development Department. (23-501C)
- 6.** Request for approval from the Central Services Department, bid #23-130, Vernon Forest Park – Restroom Permit Plan in the amount of \$28,500.00 to be performed by Johnson, Laschober & Associates, P.C.
- 7.** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural Retrofit in the amount of \$93,450.00 to be performed by Contract Management, Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final amount with contingency is \$121,485.00.
- 8.** Receive as information the emergency request for the replacement of the membrane roof system at the Probation Office in the amount of \$80,000.00 by Hixon's Roofing.
- 9.** Receive as information the emergency request for the replacement of a 5-ton HVAC unit at Mc Bean Community Center in the amount of \$25,998.00 by Trane Company.
- 10.** Receive as information the emergency request for the evaluation of the current conditions of the electrical distribution system at the Augusta Commons in the amount of \$28,000.00 by Johnson Laschober & Associates, P.C..
- 11.** Receive as information the emergency request for the demolition of the 4 5th Street building in the amount of \$37,250.00 by Thompson Building Wrecking Co.

- 12.** Request and discuss Information regarding the city's grant application process including seeking grants works. **(Requested by Commissioner Stacy Pulliam)**
- 13.** Request that the Augusta-Richmond County Board of Commissioners instruct the Board of Assessors, Chief Appraiser and/or their designee to appeal the 2022 Georgia Department of Audits and Accounts (DOAA) Sales Ratio Study, and to 'to refer the question of correctness of the current (2022) equalized adjusted property tax digest of the local school system to the state auditor' as permitted by Georgia Code 48-5-274, and to authorize the Board of Assessors, Chief Appraiser, and/or their designee to act on behalf of Augusta-Richmond County in any related hearings
- 14.** **Discuss** enhance lighting improvement to address safety concerns at the Augusta Judicial Center. **(Requested by Commissioner Wayne Guilfoyle)**
- 15.** Motion to approve the minutes of the Administrative Services Committee held on August 8, 2023.
- 16.** Discuss the organizational structure of the Choice Neighborhoods Initiative.
- 17.** Receive a **report** from the Administrator's Office regarding the current state of ARC 311 Department e.g.-call/email volume, job vacancies and the standard turnaround time given to departments/department heads to respond to 311 requests. **(Requested by Commissioner Stacy Pulliam)**



Commission Meeting

July 18, 2023

AO Rightsizing Presentation 07.11.23

Department: Administrator’s Office

Presenter: Takiyah A. Douse, Interim Administrator

Caption: Presentation of the Rightsizing Plan recommendations by Interim Administrator Douse. **(No recommendation from Administrative Services Committee July 11, 2023).**

Background: N/A

Analysis: N/A

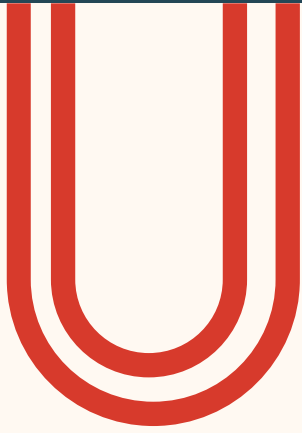
Financial Impact: N/A

Alternatives: N/A

Recommendation: N/A

Funds are available in the following accounts: N/A

REVIEWED AND APPROVED BY: N/A



RIGHT SIZING PLAN

TAKIYAH A. DOUSE, INTERIM ADMINISTRATOR
OFFICE OF THE ADMINISTRATOR

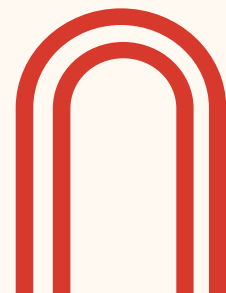


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MESSAGE FROM THE INTERIM ADMINISTRATOR

Mayor Johnson and Augusta Commissioners,

As tasked, I present to you my recommendations to save money within our consolidated government, without imposing an increase on property taxes. Information within this report is guided by (1) internal department engagement, (2) surveying/benchmarking practices from municipalities from over 30 communities and (3) a robust review of academic resources.

Like all local governments, Augusta is faced with major fiscal challenges (i.e., budget increases, revenue shortfalls, labor shortages, unexpected events) that threaten the timeliness and quality of service delivery. Additionally, the lasting impact of the COVID-19 pandemic has exacerbated these challenges to levels never imagined. In response, local governments must identify budget reduction and revenue enhancement practices—while sustaining citizen service demands.

In conjunction with the right-sizing study, Augusta is also undertaking a class and compensation study that will complement the right-sizing plan. The compensation study will provide accurate data and real-time resources at a more technical level than presented in this plan. In some regard, these individual plans should be considered as companion documents that will guide decision makers in better managing personnel, and programs — while controlling budgetary spending.

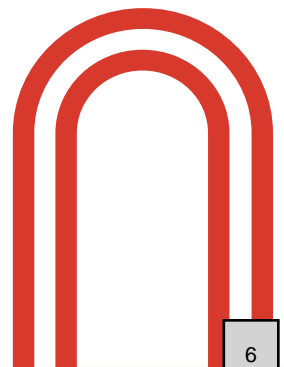
Looking ahead, Augusta will continue to maintain and improve existing service quality, while serving the public in the best possible manner. This will include a multi-disciplinary focus, involving all of our departments in collaboration with residents, civic groups, local businesses and the public at-large.

Finally, I am honored to lead our government to a new era of improved service performance standards, while aggressively leveraging our invested resources to achieve sustainable growth and development. I welcome the opportunity to share this plan with our stakeholders in the community and Region.

Best regards,



Takiyah A. Douse, Interim Administrator



STUDY PURPOSE AND PRIORITY AREAS

The purpose of the Right-sizing Plan is to present cost-saving and efficiency strategies as a means of right-sizing Augusta's consolidated government through managerial controls. This plan provides best practice strategies in managing personnel, service delivery expectations, procurement services, capital assets and revenue growth (taxes and fees). The priority areas and recommendations presented within this report were compared with academic and government perspectives from across the nation.

To achieve this purpose, staff has identified key priority areas to present to the Commission with detailed recommendations for implementation strategies:

1. **Explore outsourcing services** as a low-cost alternative, where appropriate, to deliver higher and more consistent service performance.
2. **Assess duplicative tasks** throughout departments through policy and procedural changes, pilot programs and organizational restructuring.
3. **Reduce workforce allowances** through position controls to ensure headcount is kept within efficiency limits and that vacant positions are not required to preserve public service integrity standards.
4. **Enhance revenue growth opportunities** through realized tax digest growth, pricing user fees and service charges according to the appropriate benefit received.
5. **Consider liquidating physical assets** which are underutilized—allowing considerable cost-savings in utilities, facility maintenance and long-term capital replacement spending. This category includes vehicles and city-owned facilities.
6. **Improve shared asset management procedures** such as equipment, vehicles, and office space where greater economies of scale can be realized.
7. **Restructure benefits and other personnel expenditures** to realize savings. This can be achieved by evaluating benefits and reducing them to appropriate levels.
8. **Implement technology solutions** through the acquisition of software products, licenses, and hardware.
9. **Mandatory percentage based budget cuts** will allow department directors the opportunity to participate in determining their budget reductions.

I. OUTSOURCING SERVICES

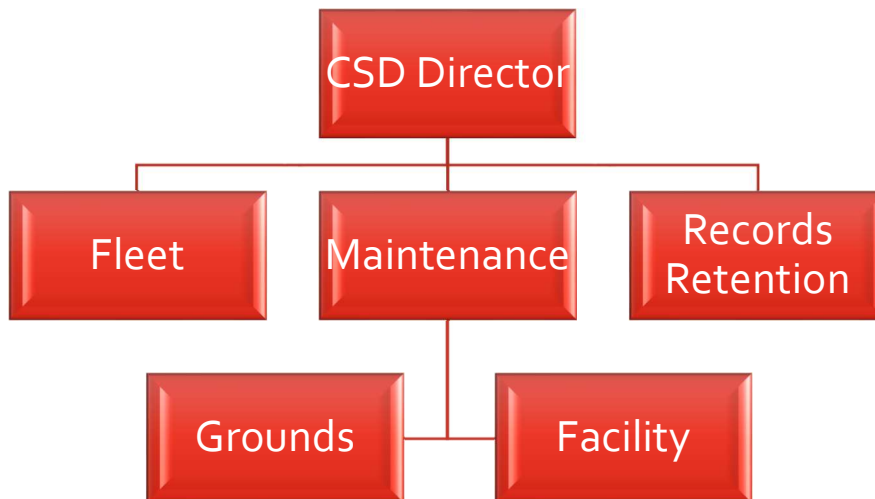
A. CENTRALIZE RIGHT-OF-WAY MAINTENANCE

As part of Augusta’s renewed emphasis on centralizing landscaping activities, in fiscal year 2023 the Commission allocated \$500,000 to manage and maintain highly visible right-of-way landscaped areas. This plan included the centralization of areas currently managed by the Engineering and Environmental Services Department (EESD) and the Parks and Recreation (P&R) Department. These combined activities enhance our surrounding aesthetics and are vital to minimizing public safety risk and associated hazard liabilities. By increasing the frequency of grounds related maintenance services, and consolidating vendor services previously utilized by multiple departments, Augusta is able to capitalize by economies of scale. This effort is noted as an added quality of life measure for our community.

B. CENTRAL SERVICES DEPARTMENT – GROUNDS MAINTENANCE DIVISION

The creation of a CSD-Grounds Maintenance Division will combine the current grounds efforts currently deployed by three (3) different departments. Central Services, Parks & Recreation and Engineering and Environmental Services all have staff responsible for grounds maintenance duties. The scope of work includes services from tree and right of way maintenance, to facility maintenance and park maintenance. Centralizing rounds related maintenance tasks under one department with one vision will seamlessly address Augusta’s resounding concerns about grass and tree maintenance.

While services may continue to be outsourced, allowing the Department to assess the best deployment of resources will ensure a schedule of need is addressed and recurring services are performed.



II. DUPLICATIVE TASKS

A. IMPLEMENTATION OF ADVANCED METERING INFRASTRUCTURE (AMI)

Augusta Utilities is continuing its implementation of Advanced Metering Infrastructure (AMI) as a means of streamlining its meter reading activities. The AMI System will result in the reduction of meter reading staff, which is a high-turnover position. This position is extremely labor-intensive and requires specialty knowledge of the system. Full rollout of the meter updates will take five (5) years and throughout this period the number of metering staff needed will be reduced through attrition (retire, resign, or retrained as technicians).

Accurate meters readings will increase revenue for the department and allow the customer to track their usage on an hourly, daily or monthly basis through an online portal.

AMI will feature the following benefits:

- a. Provide timely notification of leaks
- b. Provide customer guidance for meeting local guidelines
- c. Support conservation efforts
- d. Result in efficient service delivery and usage reporting

Cost Savings/Net Revenue Increase

\$450,000 per year

B. REDUCE AUTOMATIC DISPATCH OF FIRE TRUCKS

AFD will continue to monitor and adjust first responder emergency calls by limiting the number of first responder calls automatically dispatched to low-priority medical calls once Central EMS becomes fully operational.

This effort can lead to cost savings by:

1. **Reduced equipment costs** such as fire trucks, ambulances, and other specialized gear. Reducing the wear and tear on equipment, will prolong its lifespan and reduce replacement costs.
2. **Reduced fuel and maintenance costs** will be immediately realized as a result of fewer dispatched calls.

In addition to the savings noted above, the department will be able to **improve current response times and improve staff morale**. Resources will be available to respond faster to high-priority calls which will lead to positive outcomes for those in need. Staff has reported frustration when time and resources could be better served for more serious emergencies,

rather than low acuity related calls. By reducing the number of low-acuity calls, staff morale can improve, leading to better job satisfaction and potentially lower turnover rates.

Cost Savings

\$255,000 per year

C. REDUCE RESPONSES FOR USE OF AMBULANCE (MEDICAL) CALLS (MED UNIT).

With the addition of our new Emergency Medical Services (EMS) transport provider, Fire will reduce the number of responses by its Med-unit by making this unit only available as a medical sector response for structure fires. The unit will continue to perform and/or assist with training needs, as well as respond to any mutual aid request initiated by the Zone provider. The increased downtime will result in future savings fuel and maintenance cost. Savings will be offset by a reduction in revenue generated from patient care transport charges.

Scenarios where AFD will dispatch Medical (Ambulance) Units

1. All structure fires to provide a medical component for staff or victims
2. Mutual aid request when the zone provider reaches zero status for available ambulance service units.

Cost Savings

\$45,000 per year

D. IMPROVED FIRE ASSET MANAGEMENT

The department will improve upon current asset management practices. By automating the process of tracking and maintaining the use of physical assets to ensure they are being used effectively and efficiently. This will involve implementing a system to better track equipment and maintain it within the logistics division. The Department will explore City Works or similar software options, to accomplish this task via a digital platform. Automated processes are proven to provide better regulatory oversight, is prolong the lifespan assigned equipment and reduce replacement costs.

The benefits of effective asset management include:

1. **Prolonged lifespan of equipment-** By properly maintaining equipment, it can last longer and require fewer repairs or replacements. This can save money on replacement costs and reduce downtime associated with equipment failures.

2. **Improved Safety-** Well-maintained equipment is less likely to fail during an emergency, which can positively impact the safety of first responders and the public.
3. **Enhanced Efficiency-** By having an accurate inventory of assets and their condition, the department can better allocate resources and reduce downtime associated with equipment failure.
4. **Increased Accountability-** Having an asset management system in place provides accountability for the departments equipment and ensures that assets are being used as intended. This can mitigate misuse or theft of department property.
5. **Compliance-** Asset management can help ensure that equipment is being maintained to comply with regulatory requirements, such as safety and inspection requirements

E. FIRE DEPARTMENT COMMUNITY OUTREACH PROGRAM

The department will implement more community outreach programs that will educate our community on fire safety and prevention measures through a robust "Alert Augusta" Initiative. The objective for "Alert Augusta" is to meet the Department's mission of providing emergency services through community-focused education, outreach, events, and operational standards that will create a safer Augusta. Each program is rooted in the idea that prevention through education is ideal. The decisions and programs outlined in this plan will take into consideration key data points, Department operations, and community feedback. Evaluating the effectiveness of each program will be conducted with both a short and long-term goal in view. Evaluations will be done regularly on a monthly and yearly basis to determine emerging trends and repeatable successes. The creation of an Education Specialist, dedicated specifically towards the aforementioned efforts, will advance the mission of the Department in this area..

The plan revolves around three distinct principles, "Programs, Data, Partnerships." Creating targeted programs, driven by data, established through partnerships, under the premise, "if its predictable, its preventable." These programs can help reduce the number of incidents, make our community safer, and in turn, reduce the cost of emergency response.

F. COMMUNITY CAT TRAP-NEUTER-RELEASE (TNR) PROGRAM

A Community Cat TNR program offers a cost-savings by reducing the number of fiscal resources expended on cat food and euthanasia drugs. An additional cost-savings would be realized by reducing the amount of fuel consumed responding to cat related complaints.

Table 1. Cost-savings by Implementing a TNR Program

	No TNR Program		Proposed TNR Program
	2021	2022	
Number of Cats Impounded	2,258	2,326	381
Number of Cats Euthanized	1,378	1,443	381
Cost of Food and Cat Litter	\$6,977	\$7,180	\$1,173
Cost to Euthanize	\$1,598	\$1,673	\$441
Cost to Vaccinate	\$6,480	\$6,675	\$1,093
Total	\$15,056	\$15,529	\$2,707



III. WORKFORCE STAFFING AND POSITION CONTROL

As Of June 6, 2023, Augusta, Georgia has 331 vacancies. This figure represents the entire consolidated government to include elected officials. Of this figure, 34 positions have been vacant for more than twelve months (12) and represent vacancies within the General Fund. While positions are vacant for a myriad of reasons, mass abolishment based upon vacancy date is not recommended. Interim positions, highly trained technical positions, lack of upward mobility and the inability to offer a competitive wage with an attractive benefits package are all reported reasons as to why positions have been vacant for an extended period of time.

The Human Resources Department has ramped up efforts to assist departments with recruiting for positions deemed difficult to fill. Recent job fairs and online marketing efforts have reduced this number year to date.



IV. ENHANCE REVENUE OPPORTUNITIES

A. FORECASTED REVENUE GROWTH

Through tax digest growth, increased user fees and service charges according to the appropriate benefit received Augusta will assume enhance revenue growth.

In combination with controlling expenditures, steady and consistent revenue growth is at the heart of Augusta’s long-term (strategic) priorities. This includes various sources of revenue including taxes, fees and user service charges.

As in previous years, Augusta’s economy has remained stable despite the global COVID-19 pandemic possible recession. Consequently, Augusta has been afforded the advantage in maintaining consistent service levels—by keeping personnel and operating costs steady. Our revenue outlook for the next 12-24 months is reflective of our stable local and regional economy. Table 2 below identifies the forecasted increases in major revenue categories.

Table 2: Revenue FY’23 and FY’24 Outlook

Revenue Type	2023 Budget	2024 Forecast	Variance
Ad Valorem Taxes*	\$ 49,482,600	\$ 50,967,078	\$ 1,484,478
Sales Taxes*	\$ 43,140,000	\$ 44,434,200	\$ 1,294,200
TAVT*	\$ 10,845,080	\$ 11,170,432	\$ 325,352
Electric Franchise Fees	\$ 12,228,000	\$ 13,753,230	\$ 1,525,230
Alcoholic Beverage Excise Tax	\$ 2,720,000	\$ 2,870,000	\$ 150,000
Local Option Mixed Drink Tax	\$ 900,000	\$ 1,100,000	\$ 200,000
Total			\$ 4,979,260

*Growth Rate 3%

Net Revenue Increase

\$5 million

B. TRANSFER OF MERCHANT CREDIT FEES TO CUSTOMERS

The Augusta Utilities Department (AUD) currently pays the merchant services bank fee when a customer’s credit card is used to pay a water bill. This is due to historical policy in place because AUD was an early adopter of credit card payment technology for water billing. It was determined, at that time, to absorb the fee as a cost of doing business. Today, credit card

payment of bills is widely accepted, and comparable municipal service departments require customers to pay the fee, if they choose to use a credit or debit card for payment. Transferring the courtesy fee back to the card user would result in substantial savings to the department.

Cost Savings

\$500,000 per year

C. PROPOSED FLAT FEE FOR ALL SURRENDERED ANIMALS

The department recommends a flat user fee of \$50.00 for all animals regardless of the condition of the animal. Currently the department only charges a drop-off user fee (\$50.00) if the surrendered animal is requested to be euthanized (sick or aged). Note: Approximately 1,300 animals are surrendered per year.

Net Revenue Increase

\$30,000 per year

V. ASSET DIVESTMENT

A. HOME & COMMUNITY DEVELOPMENT (HCD) MANAGEMENT

The 2008 Laney Walker/Bethlehem Revitalization Implementation Plan details the acquisition of area residential and commercial parcels. The specific developmental areas of community economic development defined within the plan, are listed below.

DEVELOPMENT AREAS MANAGED BY HCD

1. New construction for homeownership,
2. Historic restorations for affordable rental housing,
3. Façade development,
4. Acquisition and rental housing development,
5. New construction mixed use development

Although the departmental focus has remained the same, the strategic developmental approach to each developmental area has shifted in some respects, making certain parcels acquired expendable and ready to be disposed. However, these parcels should be sold to the right development/contractor for like-minded community purposes.

Based on this maneuvering, Augusta could realize a direct capital infusion of funding from the sale of approximately twenty-five (25) lot parcels across a five-year period.

Net Revenue Increase

\$125,000 over 5 years

B. LIQUIDATION OF UNDERUTILIZED ASSETS

Real property owned by the City of Augusta represents a considerable investment of public funds. Proper managerial control of the assets should include efficient utilization and often disposition of property deemed surplus in accordance with policy or restrictions governing property disposition.

Augusta has valuable unused/surplus assets (land, buildings, etc.) that can be sold for private market use. The advantages from these asset sales can provide several positive short-term and long-term outcomes such significant revenue increases—as well as facility maintenance and utility cost-savings. Table 3 below identifies potential surplus property for disposition consideration, including location and current appraisal value.

Table 3: Proposed Surplus Asset by Appraisal Value

Description	Address	Appraisal Value
Old Engine Company #12	5098 Mike Padgett Hwy	\$ 222,751
Chamber of Commerce	600 Broad Street	\$ 483,202
Sheriff Substation South Side	3425 Mike Padgett Highway	\$ 281,574
Riverfront Property	330 Prep Phillips	\$ 716,360
Grand Total		\$ 1,703,887

Net Revenue Increase

\$1.7 million

C. LIQUIDATION OF SELECTED AUGUSTA PARKS

In 2022, the Augusta Commission conducted several public engagement activities to consider underused parks for divestiture. In addition to public meetings (in Commission Chambers) the Commission also conducted a 'Parks Tour' to observe (onsite) and discuss the current conditions of the identified parcels.

A key component of the potential cost-savings afforded from divestiture includes capital spending for improvements as well as maintenance. This particularly notable, considering that Augusta does not own parks that it currently assumes maintenance responsibilities. Table 4 highlights parks previously considered for divestiture.

Table 4: Previously Recommended Parks for Divestment

Park Facility	Current Cost to Maintain	Future Cost to Maintain	Cost Savings
Alexander Park	\$ 4,845	\$ 254	\$ 4,591
Bedford Heights	\$ 7,485	\$ -	\$ 7,485
Heard Ave Park	\$ 6,390	\$ 2,415	\$ 3,975
West Augusta Soccer Park	\$ 122,180	\$ -	\$ 122,180
Wood Street Park	\$ 8,335	\$ 1,560	\$ 6,775
Total	\$ 150,000 est.		\$ 145,000 est.



VI. SHARED ASSET MANAGEMENT

A. IMPROVED ASSET MANAGEMENT

The Office of the Administrator is recommending two (2) key cost-saving approaches as part of an improved shared asset program.

1. Reassigning Underutilized Vehicles

In lieu of purchasing new assets, vehicles deemed underutilized for consecutive years can be reassigned to departments requesting new vehicles (cars, vans, trucks).

2. Addressing Unscheduled Maintenance.

Departments will be held accountable for ensuring that routine maintenance is performed on all fleet assets deemed necessary. The tasks to be performed by vehicle operators include:

Note: Central Services Department estimates a 10%-20% cost reduction by implementing these measures

Figure A. Measures to Reduce Vehicle Maintenance Costs

- a. Daily vehicle and/ or asset inspections
- b. Annual Safety Driving Training and regular operator training
- c. Hold operators accountable for continuing to operate asset without the proper preventive maintenance

Figure B. Unscheduled Vehicle Maintenance Costs FY19-22

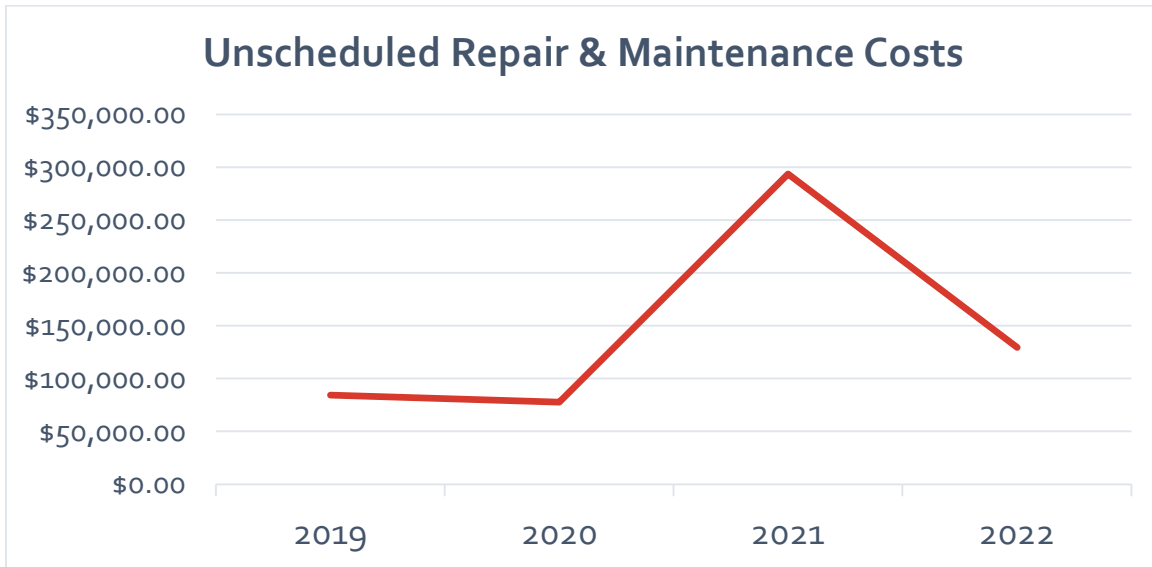


Table 5. Cost Savings from Improved Scheduled Maintenance

Total FY19-22	Yearly Avg.	10% Cost-Savings	20% Cost-Savings
\$ 585,388	\$ 146,347	\$ 14,635	\$ 29,269

Cost Savings

\$30,000 per year

VII. RESTRUCTURE BENEFIT PLANS

A. HEALTH INSURANCE RESTRUCTURING

Healthcare costs are a large and rapidly growing cost for local governments. Consequently, controlling healthcare costs is significantly vital to Augusta's financial stability.

To this end, Augusta is undertaking measures to address cost factors impacting its overall health expenditure liability. These measures are centered on new data collection/tracking and reporting metrics.

In cooperation with Augusta's benefit insurers, the following cost-savings are anticipated in the next three years.

- A. **Cancer Treatment (\$3M Annual Expenditure):** Educating employees on the value of preventive screenings. Estimated cost savings: \$100,000/yr.
- B. **Musculoskeletal Injuries (\$1.5M Annual Expenditure):** Promoting and encouraging employee participation in the revised Anthem Musculoskeletal Program: Estimated savings: \$30,000/yr.
- C. **Health and Condition Assessment:** Implementing new wellness tools such as the 'Sydney App', which will increase employee understanding of when and how to access care. Estimated savings: \$60,000/yr.
- D. **COVID Treatment (\$1.1M Expenditure in 2022):** Augusta anticipates a significant decrease over the next three years due to lower infections. Estimated savings: \$400,000 over the next 3-5 years.

Cost Savings

\$300,000 per year

VIII. TECHNOLOGY SOLUTIONS

A. AUGUSTA 311 SOFTWARE SOLUTIONS

1. Current Inefficiencies

Augusta currently manages two separate software platforms to manage its 311 Call Center service requests and workorder operations. Working with multiple vendors presents scheduling challenges along with software limitations between the platforms. Troubleshooting issues will be less cumbersome due to the unified platform and the ability to turn features on and off in both the web and mobile environment.

2. Implementing Cost Savings

Beginning this summer, Augusta will move back to a single platform which will not only reduce overall software costs but decrease redundancy. This will reduce errors by decreasing the number of support staff needed to make modifications to the system.

Table 6. Current vs. Future Costs for 311 Software Platforms

Software	Services Provided	Cost
Motorola	Internal Intake	\$ 70,000
See-Click-Fix	Web Portal/Mobile App	\$ 29,000
Total		\$ 99,000

Software	Services Provided	Cost
Motorola	<i>Combined</i> Internal Intake/Web Portal/Mobile App	\$ 77,000
Total		\$ 77,000

Cost Savings

\$20,000 per year

IX. PERCENTAGE BASED BUDGET CUTS

A. IMPLEMENTING ACROSS THE BOARD CUTS

Across-the-board cuts can have a positive and negative impact on both the budget and service delivery. While this measure can immediately reduce the amount of expenditures (short-term and long-term), this method can simultaneously reduce the overall value of our public services. From a managerial control perspective budget cuts can motivate program managers to shape and size programs in a more efficient and effective way than previously operated. Figure C below identifies across-the-board options commonly used in fiscal management.

Figure C. Department Budget Cutting Options

1. Percentage across all departments (equity approach)
2. Percentage across targeted departments (targeted approach)
3. Targeted program or service within a specific department (change in governing-body priorities)

Historically, Augusta has been reluctant to implement budget reductions at the expense of service level reductions. Typical reasons for such unwillingness were the fact that budget expenditures are heavily weighted toward personnel cuts. Thus, a large reduction in expenditures is typically realized only by reducing personnel—which in turn reduces the capacity to provide services. Other factors that create challenges of budget cuts include:

1. Negative Impact on Supplies and Contract Services: These line-item categories comprise 30% of the total budget, leaving little room to reduce the total budget by 5 or 10%.
2. Minimal General Fund Impact: Out of the total budget, 37% is controlled by Administrator/Reports to Commission, 57% controlled by elected officials, 4% is paid to outside agencies and 2% by Boards such as Elections and Tax Assessor. A true across the board cut would have to apply to all. Historically that has not happened.
3. Negative Impact on Larger Departments: In departments such as Central Services or Recreation, a large part of their non-salary budgets are allocated to Utilities where reductions are not easily controlled. In other areas, some large expenditures are tied to contracts - such as prisoner medical costs.

Table 7. Savings Compilation

Cost Savings Category	Amount
I. Outsourcing Service	-
II. Duplicative Tasks	\$ 765,000
III. Workforce Staffing and Position Control	\$ 1,600,000
IV. Enhance Revenue Opportunities	\$ 5,530,000
V. Asset Divestment	\$ 1,870,000
VI. Shared Asset Management	\$ 30,000
VII. Restructure Benefit Plan	\$ 300,000
VIII. Technology Solutions	\$ 20,000
IX. Percentage Based Budget Cuts	-
Total	\$10,115,000.00

Note : Figures provided within this report are estimates only.



Administrative Services

Meeting Date: 08/29/2023

2024 Ford F150S -SWC

Department:	Fleet
Presenter:	Ron Lampkin
Caption:	Motion to approve utilizing state contract (#SWC 99999-SPD-ES40199373-002) for the purchase of nineteen Ford F150s, at a total cost of \$818,612 from Allan Vigil Ford for various departments.
Background:	The state contract holder, Allan Vigil Ford, informed Fleet Management that the Ford manufacture pricing for 2024 Ford F150s will open in Fall 2024 and to place orders as soon as possible to ensure we meet the state pricing cut off. The vendor requested a LOI to potentially hold our orders until the Augusta Commission has approved the orders. Once approved, Fleet Management will acquire the purchase order and submit to the vendor for securing the asset purchase.
Analysis:	<p>The following departments are replacing assets that meet the Fleet Management, Operations, Maintenance and Replacement Policy criteria.</p> <ul style="list-style-type: none"> • Airport (1) • Central Services (3) • Engineering (2) • Recreation (4) • Planning and Development (2) • Utilities (1) <p>Engineering is requesting the purchase of one (1) new truck for a vacant Inspector II position to help manage the Capital Improvement Projects. Utilities is requesting five (5) new trucks to support recently filled meter reader positions, off road crew operations and lab technicians to perform field work.</p>

Financial Impact:

The Procurement Department approved the request to utilize Georgia State Contract (#SWC 99999-SPD-ES40199373-002) awarded to Allan Vigil Ford via letter of intent to purchase the following 2024 Ford F150s.

Dept.	Division	Quantity	Amount
Airport	Operation	1	\$ 36,108.00
Utilities	Customer Service	2	\$ 77,409.00
Utilities	Engineering	1	\$ 53,193.50
Utilities	Fort Gordon	1	\$ 50,568.50
Utilities	Highland Filter Plant	1	\$ 37,902.00
Utilities	Water Quality	1	\$ 46,219.50
Total GMA Funding (631101110)			\$ 301,400.50
Central Services	Fleet	1	\$ 36,892.00
Central Services	Facilities	2	\$ 78,344.00
Engineering	Maintenance & Traffic	2	\$ 93,409.00
Recreation	Parks	4	\$ 182,428.00
Total Fleet Capital (272016440)			\$ 391,073.00
Engineering	Stormwater	1	\$ 50,043.50
Total NPDES Funding (261041311)			\$ 50,043.50
Planning & Development	Building Inspection	2	\$ 76,095.00
Planning & Development Operating (217072210)			\$ 76,095.00

Alternatives:

Do not approve

Recommendation

Approve motion to utilize state contract for purchase of nineteen (19) Ford F150s at a total cost of \$818,612 from Allan Vigil Ford for various departments.

Funds are available in the following accounts:

GMA Lease (631-10-1110/54-99631)

Fleet Capital (272-01-6440/54-22210)

Engineering NPDES Use of Fund Balance for 2024 Vehicles (261-00-0000)

Planning and Development (217-07-2210/54-22210)



LETTER OF INTENT TO PURCHASE VEHICLE FROM ALLAN VIGIL FORD LINCOLN MERCURY, INC.

This letter of intent dated, July 31, 2023, is to inform you that the Central Services Department – Fleet Management Division has concluded that we intend to purchase: nineteen (19) 2024 Ford F-150s for the below listed Departments, utilizing:

Statewide Contract Number: 99999-SPD-ES40199373-002

Vehicles: 2024 Ford F-150

Contract: Effective Date: November 16, 2013 – Expiration Date: November 30, 2023

The specific specifications and pricing information for this purchase is attached.

- 1. Buyer: Augusta, Georgia – Central Services Department: Fleet Management Division
2. Seller: Allan Vigil Ford: Fleet & Government Sales (Attn: Bob Burtner) 6790 Mt. Zion Boulevard, Morrow, GA 30260
3. Vehicles Total Purchase Price: \$818,612.00
4. Source: Georgia Statewide Contract Number: 99999-SPD-ES40199373-002

Vehicles to be purchased and Departments to receive vehicles:

Table with 4 columns: # of Vehicles, Department, Division, Price. Rows include Airport, Utilities, Engineering, Fort Gordon Division, Highland Filter Plant, Water Quality, Central Services, Fleet, Facilities, Maintenance & Traffic, Parks, Stormwater, Building Inspection.

A purchase order will be provided upon the approval of the Augusta, Georgia Commission.

Respectfully submitted,

[Handwritten signature]

Geri A. Sams

Director of Procurement

Attachments: Vehicle Purchase Price /Specifications/Quotes

Room 605 - 535 Telfair Street, Augusta Georgia 30901 (706) 821-2422 - Fax (706) 821-2811

www.augustaga.gov

Register at www.demandstar.com/supplier for automatic bid notification



Scan this QR code with your smartphone or camera equipped tablet to visit the Augusta, Georgia



Central Services Department

Ron Lampkin, Interim Director
LaQuona Sanderson, Fleet Manager

Fleet Management
1568-C Broad Street
Augusta GA 30904
Phone: (706) 821-2892

MEMORANDUM

TO: Geri Sams, Director, Procurement Director

FROM: ~~Ron Lampkin, Interim Director, Central Services Director~~
[Signature]

DATE: July 26, 2023

SUBJECT: Request to Utilize State Contract #SWC 99999-SPD-ES40199373-002
– 2024 Ford F150

'23 JUL 28 11:40 AM

Central Services-Fleet Management request to utilize state contract #SWC 99999-SPD-ES40199373-002 (2024 Ford F150) and a "Letter of Intent" (LOI) to purchase 19 Ford F150s. The vendor requested a LOI to potentially hold our orders until our agenda process is complete.

The state contract holder, Allan Vigil Ford, informed Fleet Management that the Ford manufacture pricing for 2024 Ford F150s will open in Fall 2023 and to place orders as soon as possible to ensure we meet the state pricing cut off. The vendor requested a LOI to potentially hold our orders until the Augusta Commission has approved the orders. Once approved, Fleet Management will acquire the purchase order and submit to the vendor for securing the asset purchase.

The attached list the departments that requested for Ford F150s in their 2023 Operating and/or Capital budget and Central Services-Fleet Management has consulted with each department to ensure the truck specifications meet the department's operation needs.

Please approve the LOI in total amount of \$818,612.00 to Allan Vigil Ford. Thank you for your assistance. Please contact Fleet Management with any questions or concerns.

LS/kb

Dept.	Division	Quantity	Amount
Airport	Operation	1	\$ 36,108.00
Utilities	Customer Service	2	\$ 77,409.00
Utilities	Engineering	1	\$ 53,193.50
Utilities	Fort Gordon	1	\$ 50,568.50
Utilities	Highland Filter Plant	1	\$ 37,902.00
Utilities	Water Quality	1	\$ 46,219.50
Total GMA Funding (631101110)			\$ 301,400.50
Central Services	Fleet	1	\$ 36,892.00
Central Services	Facilities	2	\$ 78,344.00
Engineering	Maint. & Traffic	2	\$ 93,409.00
Recreation	Parks	4	\$ 182,428.00
Total Fleet Capital (272016210)			\$ 391,073.00
Engineering	Stormwater	1	\$ 50,043.50
Total Stormwater (261041311)			\$ 50,043.50
Planning & Development	Building Inspection	2	\$ 76,095.00
Planning & Development Operating (217072210)			\$ 76,095.00

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton)

Base Price

\$ 35,538.00

Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70Rx17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	\$ 6,435.00 X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	\$ 765.00 68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	\$ 315.00 471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

* 5.0L V8 or 3.5L Ecoboost engine required
** Not available with regular cab short wheel base
*** Super cab & Crew cab only

Additional Key	\$ 225.00	
Options total	\$ 8,239.00	
Other vendor added equipment	\$ 2,067.50	West Warn
Delivery	\$ 150.00	
Total	\$ 46,219.50	

Contact person _____
Agency _____
Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton) Base Price \$ 35,538.00
 Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70Rx17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
 Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES

6790 Mt. Zion Blvd
 Morrow, GA 30260

770-968-0680 Phone
 678-364-3910 Fax

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Options total	\$ 420.00
Other vendor added equipment	n/a
Delivery	\$ 150.00
Total	\$ 36,108.00

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Contact person _____
 Agency _____
 Phone Number _____

6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton) **Base Price** **\$ 35,538.00**
Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet****	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
 Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

Additional Key	\$ 225.00	
Options total	\$ 724.00	
Other vendor added equipment	\$ 2,067.50	West Warn
Delivery	\$ 150.00	
Total	\$ 38,704.50	

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Contact person _____
Agency _____
 Phone Number _____ **6/13/2023**

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton) **Base Price** **\$ 35,538.00**
Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	\$ 4,454.00 X1E
Skid plates (4X4s only)	155.00	\$ 155.00 413
Crew Cab SWB (5.5 ft bed)	8,765.00	\$ 8,765.00 W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	\$ 525.00 XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	\$ 295.00 T7C
Class IV Hitch (w/o tow pkg)	295.00	\$ 295.00 53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
 Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Additional Key	\$ 225.00
Options total	\$ 15,213.00
Other vendor added equipment	\$ 2,067.50 West Warn
Delivery	\$ 150.00
Total	\$ 53,193.50

Contact person _____
Agency _____
 Phone Number _____

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton) **Base Price** **\$ 35,538.00**
Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	\$ 6,435.00 X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	\$ 4,454.00 X1E
Skid plates (4X4s only)	155.00	\$ 155.00 413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	\$ 525.00 XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping,		
SYNC 4,cloth 40/console/40		
seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	\$ 295.00 53B
Trailer Tow Pkg(includes		
Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
 Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Additional Key	\$ 225.00	
Options total	\$ 12,588.00	
Other vendor added equipment	\$ 2,067.50	West Warn
Delivery	\$ 150.00	
Total	\$ 50,568.50	

Contact person _____
 Agency _____
 Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

**2024 Ford F150 (1/2 ton)
Regular Cab, 6 Cyl, 4x2, SWB**

Base Price \$ 35,538.00

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	\$ 295.00 53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES

**6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax**

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Additional Key	\$ 225.00	
Options total	\$ 1,019.00	
Other vendor added equipment	\$ 970.00	West Warn
Delivery	\$ 150.00	
Total	\$ 37,902.00	

Contact person _____
Agency _____
 Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

**2024 Ford F150 (1/2 ton)
Regular Cab, 6 Cyl, 4x2, SWB**

Base Price \$ 35,538.00

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	\$ 6,435.00 X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	\$ 345.00 91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	\$ 1,220.00 53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Add additional key	\$ 225.00
Options total	\$ 8,724.00
Other vendor added equipment	\$ 970.00 West Warn
Delivery	\$ 150.00
Total	\$ 45,607.00

Contact person _____
Agency _____
Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton) Base Price \$ 35,538.00
 Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping,		
SYNC 4,cloth 40/console/40		
seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes		
Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
 Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
 6790 Mt. Zion Blvd
 Morrow, GA 30260
 770-968-0680 Phone
 678-364-3910 Fax

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Add additional key	\$ 225.00
Options total	\$ 682.00
Other vendor added equipment	\$ 1,452.50 West Warn
Delivery	\$ 150.00
Total	\$ 38,047.50

Contact person _____
 Agency _____
 Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

**2024 Ford F150 (1/2 ton)
Regular Cab, 6 Cyl, 4x2, SWB**

Base Price \$ 35,538.00

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	\$ 6,435.00 X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	\$ 4,454.00 X1E
Skid plates (4X4s only)	155.00	\$ 155.00 413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	\$ 295.00 53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Add additional key	\$ 225.00
Options total	\$ 12,063.00
Other vendor added equipment	\$ 2,067.50 West Warn
Delivery	\$ 150.00
Total	\$ 50,043.50

Contact person _____
Agency _____
 Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

2024 Ford F150 (1/2 ton) **Base Price** **\$ 35,538.00**
Regular Cab, 6 Cyl, 4x2, SWB

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	\$ 6,435.00 X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	\$ 345.00 91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	\$ 1,220.00 53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
 Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Add additional key	\$ 225.00
Options total	\$ 8,724.00
Other vendor added equipment	\$ 2,067.50 West Warn
Delivery	\$ 150.00
Total	\$ 46,704.50

Contact person _____
Agency _____
 Phone Number _____ **6/13/2023**

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

**2024 Ford F150 (1/2 ton)
Regular Cab, 6 Cyl, 4x2, SWB**

Base Price \$ 35,538.00

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70Rx17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 EcoBoost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	\$ 345.00 91P
Blind spot alert, lane keeping, SYNC 4,cloth 40/console/40 seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes Electric Brake Controller)	1,220.00	\$ 1,220.00 53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
Delivery- see chart, \$75 minimum

ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

- * 5.0L V8 or 3.5L EcoBoost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Add additional key	\$ 225.00	
Options total	\$ 2,289.00	
Other vendor added equipment	\$ 970.00	West Warn
Delivery	\$ 150.00	
Total	\$ 39,172.00	

Contact person _____
Agency _____
 Phone Number _____ 6/13/2023

ALLAN VIGIL FORD-LINCOLN GOVERNMENT SALES

**2024 Ford F150 (1/2 ton)
Regular Cab, 6 Cyl, 4x2, SWB**

Base Price \$ 35,538.00

SWC #99999-SPD-ES40199373-002

Equipment included in base price:

- 3.3L V6 Flex Fuel engine
- 10 Speed Automatic Transmission
- Factory Installed A/C
- AM-FM Radio
- Solar Tinted Glass
- Power Steering/ABS Brakes
- Rear view back up camera
- Vinyl 40/20/40 Bench Seat
- Rubber Floor Covering
- Full Size Spare/ Step bumper
- Autolamp headlights
- Short Bed (6.5 ft)
- Power Windows, Locks & Mirrors
- Cruise control
- P245/70R17 Tires
- Ford SYNC (Bluetooth)
- Reverse sensing

Options	Price	Code
5.0L V8 Flex Fuel engine	2,150.00	995
3.5L V6 EcoBoost engine**	2,545.00	99G
2.7L V6 Ecoboost	1,260.00	99P
Long Bed (8 ft)	295.00	145
Extended range fuel tank**	410.00	655
Super Cab (6.5 ft. bed)	6,435.00	X1C
Super Cab (8 ft. bed) *	7,766.00	X1C/Long
4x4 Option- Regular cab	4,996.00	F1E
4X4 Option- Super&Crew Cabs	4,454.00	X1E
Skid plates (4X4s only)	155.00	413
Crew Cab SWB (5.5 ft bed)	8,765.00	W1Cs
Crew Cab LWB* (6.5 ft bed)	9,995.00	W1C/Long
3.5L Hybrid engine- Crew Cab)	12,442.00	99D
Limited Slip Axle	525.00	XL9
Daytime Running Lights	42.00	\$ 42.00 942
Power Driver Seat	345.00	91P
Blind spot alert, lane keeping,		
SYNC 4,cloth 40/console/40		
seat, 8" touch screen	675.00	102A
LT265/70R17C A/T tires	295.00	T7C
Class IV Hitch (w/o tow pkg)	295.00	53B
Trailer Tow Pkg(includes		
Electric Brake Controller)	1,220.00	53A
Tow Mirrors w/ spotlights***	495.00	54Y/59S
Running boards (black)	262.00	\$ 262.00 18B
Electric Brake Control for 53B	255.00	67T
40-20-40 Cloth Split Bench	N/C	CS
Cloth Buckets w/console***	275.00	WS
Rear window defroster	305.00	57Q/924
Fog Lights	135.00	595
Carpet w/ Mats	140.00	168
Aluminum Wheels & Bumpers	740.00	86A
SYNC 4 w/ SiriusXM	305.00	524/582
Bed Utility pkg/ tailgate step	765.00	68L
Spray-in Bedliner	420.00	\$ 420.00 ATK
400 Watt outlet***	315.00	471
XLT Package	6,650.00	300A
XLT Power Driver Seat	330.00	91P

Exterior Colors	Interior Color
D1 Stone Gray	Gray
PQ Race Red	"
HX Antimatter Blue	"
B3 Atlas Blue	"
JS Iconic Silver	"
UM Agate Black	"
M7 Carbonized Gray	"
YZ Oxford White	"

School Bus Yellow is available at \$925.00 per vehicle

FOB Allan Vigil Ford
Delivery- see chart, \$75 minimum

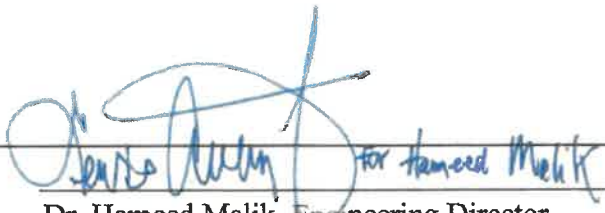
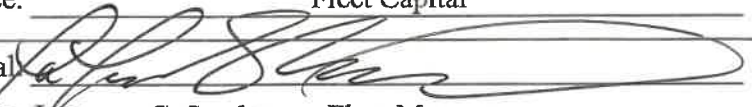
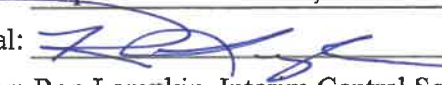
ALLAN VIGIL FORD GOV'T SALES
6790 Mt. Zion Blvd
Morrow, GA 30260
770-968-0680 Phone
678-364-3910 Fax

Add additional key	\$ 225.00	
Options total	\$ 724.00	
Other vendor added equipment	\$ 255.00	West Warn
Delivery	\$ 150.00	
Total	\$ 36,892.00	




- * 5.0L V8 or 3.5L Ecoboost engine required
- ** Not available with regular cab short wheel base
- *** Super cab & Crew cab only

Contact person _____
Agency _____
Phone Number _____ 6/13/2023




Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information	
Department Name: <u>Engineering-Maintenance</u>	Date: <u>3-Jul-23</u>
Org Key: <u>101-04-1260</u>	
Vehicle Description: <u>2005 Ford F250</u>	Asset Number: <u>204342</u>
Assigned Use:	The Division is responsible for the installation, maintenance and repairs on traffic signals.
Signature of Director/Elected Official:	
Name of Director/Elected Official:	<u>Dr. Hameed Malik, Engineering Director</u>
Purchase Date: <u>4/22/2005</u>	
Purchase Price: <u>\$20,018.65</u>	
Current Mileage: <u>174,395</u>	Current Hours: <u>N/A</u>
Replacement Criteria Scoring	
	<u>Score</u> <u>Details</u>
Miles/Hours	<u>17</u> _____
Type of Service	<u>3</u> <u>Public Service Work</u>
M&R Cost	<u>4</u> <u>96% OR \$19,293.50</u>
Reliability	<u>4</u> _____
Condition	<u>4</u> <u>2 previous accidents</u>
Total Score	<u>32</u> _____
Fleet Manager Recommendation:	
The vehicle has been in two accidents and endured \$19,293.50 repairs and maintenance cost which is 96% of the original purchase price. The current FMV of this truck is approximately \$7K in fair condition and the maintenance cost have surpassed the value of the truck. The department has requested a replacement vehicle and the truck will be replaced with the 2024 Ford order.	
Planned Replacement Year:	<u>2023</u>
Funding Source:	<u>Fleet Capital</u>
Fleet Manager Approval:	
Name of Fleet Manager:	<u>Laquona C. Sanderson, Fleet Manager</u>
Central Services Director Approval:	
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>

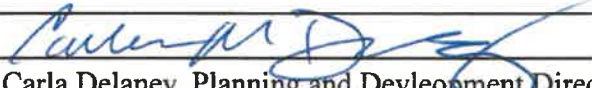


Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information	
Department Name:	Central Services Date: 3-Jul-23
Org Key:	101-01-6420
Vehicle Description:	2000 Ford F250 Asset Number: 994443
Assigned Use:	This vehicle was used by a plumber to transport tools and perform building maintenance on all Augusta, Georgia facilities.
Signature of Director/Elected Official:	
Name of Director/Elected Official:	Ron Lampkin, Interim Central Services Director
Purchase Date:	9/13/2000
Purchase Price:	\$25,742.00
Current Mileage:	132,778 Current Hours: N/A
Replacement Criteria Scoring	
	Score Details
Miles/Hours	13
Type of Service	3
M&R Cost	3 67% or \$17,143.10
Reliability	2
Condition	4 Fair condition due to age and wear
Total Score	25
Fleet Manager Recommendation:	
The 2000 Ford F250 has been towed in the shop on various occasions due to the vehicle continuously stalling out. The truck currently has 132,778 miles and has endured \$17,143.10 repairs and maintenance cost. The department has determined for the safety of employees the vehicle is no longer needed for the department and approved the disposal with consideration from Fleet Management.	
Planned Replacement Year:	2023
Funding Source:	Fleet Capital
Fleet Manager Approval:	
Name of Fleet Manager:	Laquona C. Sanderson, Fleet Manager
Central Services Director Approval:	
Name of Director:	Ron Lampkin, Interim Central Services Director



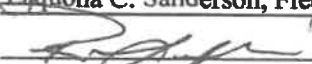
Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information		
Department Name: <u>Central Services</u>	Date: <u>11-Jul-23</u>	
Org Key: <u>101-01-6420</u>		
Vehicle Description: <u>2000 Ford F250</u>	Asset Number: <u>994444</u>	
Assigned Use:	This vehicle was used by a plumber to transport tools and perform building maintenance on all Augusta, Georgia facilities.	
Signature of Director/Elected Official: 		
Name of Director/Elected Official:	<u>Ron Lampkin, Interim Central Services Director</u>	
Purchase Date: <u>9/27/2000</u>		
Purchase Price: <u>\$25,724.00</u>		
Current Mileage: <u>149,125</u>	Current Hours: <u>N/A</u>	
Replacement Criteria Scoring		
	Score	Details
Miles/Hours	<u>15</u>	
Type of Service	<u>3</u>	
M&R Cost	<u>3</u>	<u>69% or \$17,787.90</u>
Reliability	<u>2</u>	
Condition	<u>4</u>	<u>Fair condition due to age and wear</u>
Total Score	<u>27</u>	
Fleet Manager Recommendation:		
The 2000 Ford F250 has been towed in the shop on various occasions due to the vehicle continuously stalling out. The truck currently has 149,125 miles and has endured \$17,787.90 repairs and maintenance cost. The department has determined for the safety of employees the vehicle is no longer needed for the department and approved the disposal with consideration from Fleet Management.		
Planned Replacement Year:	<u>2023</u>	
Funding Source:	<u>Fleet Capital</u>	
Fleet Manager Approval: 		
Name of Fleet Manager:	<u>Laquona C. Sanderson, Fleet Manager</u>	
Central Services Director Approval: 		
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>	

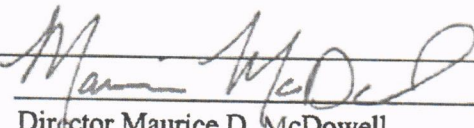
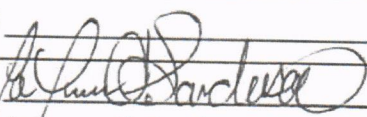
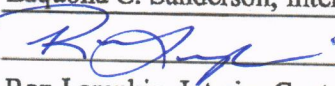
Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information															
Department Name: <u>Planning & Development</u>	Date: <u>3-Jul-23</u>														
Org Key: <u>217-07-2210</u>															
Vehicle Description: <u>2009 Ford Ranger</u>	Asset Number: <u>209004</u>														
Assigned Use:	<u>This vehicle was used by a building inspector.</u>														
Signature of Director/Elected Official: 															
Name of Director/Elected Official:	<u>Carla Delaney, Planning and Development Director</u>														
Purchase Date: <u>3/13/2009</u>															
Purchase Price: <u>\$15,459.00</u>															
Current Mileage: <u>97,519</u>	Current Hours: <u>N/A</u>														
Replacement Criteria Scoring															
	<table border="1"> <thead> <tr> <th>Score</th> <th>Details</th> </tr> </thead> <tbody> <tr> <td>Miles/Hours <u>10</u></td> <td></td> </tr> <tr> <td>Type of Service <u>2</u></td> <td></td> </tr> <tr> <td>M&R Cost <u>2</u></td> <td><u>25% or \$3,804.13</u></td> </tr> <tr> <td>Reliability <u>2</u></td> <td></td> </tr> <tr> <td>Condition <u>3</u></td> <td><u>1 previous accident</u></td> </tr> <tr> <td>Total Score <u>19</u></td> <td><u>Approved by Commission for GREEN AUGUSTA</u></td> </tr> </tbody> </table>	Score	Details	Miles/Hours <u>10</u>		Type of Service <u>2</u>		M&R Cost <u>2</u>	<u>25% or \$3,804.13</u>	Reliability <u>2</u>		Condition <u>3</u>	<u>1 previous accident</u>	Total Score <u>19</u>	<u>Approved by Commission for GREEN AUGUSTA</u>
Score	Details														
Miles/Hours <u>10</u>															
Type of Service <u>2</u>															
M&R Cost <u>2</u>	<u>25% or \$3,804.13</u>														
Reliability <u>2</u>															
Condition <u>3</u>	<u>1 previous accident</u>														
Total Score <u>19</u>	<u>Approved by Commission for GREEN AUGUSTA</u>														
Fleet Manager Recommendation:															
<p>This vehicle was approved by Augusta Commission for the Green Augusta Initiative. The vehicle will be sold and funds will help fulfill the Green Augusta Initiative.</p>															
Planned Replacement Year: <u>2023</u>															
Funding Source: <u>Building Inspection Funds</u>															
Fleet Manager Approval: 															
Name of Fleet Manager: <u>Laquona C. Sanderson, Fleet Manager</u>															
Central Services Director Approval: 															
Name of Director: <u>Ron Lampkin, Interim Central Services Director</u>															




Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information																						
Department Name: <u>Fleet Management</u>	Date: <u>1-Mar-23</u>																					
Org Key: <u>626-01-6440</u>																						
Vehicle Description: <u>2000 Ford Explorer</u>	Asset Number: <u>994421</u>																					
Assigned Use:	The vehicle was used as a pool car and for staff to attend meetings at various locations.																					
Signature of Director/Elected Official: 																						
Name of Director/Elected Official:	<u>Ron Lampkin, Interim Central Services Director</u>																					
Purchase Date: <u>6/19/2000</u>																						
Purchase Price: <u>\$22,422.25</u>																						
Current Mileage: <u>129,995</u>	<u>N/A</u>																					
	Current Hours: _____																					
Replacement Criteria Scoring																						
	<table border="1"> <thead> <tr> <th></th> <th>Score</th> <th>Details</th> </tr> </thead> <tbody> <tr> <td>Miles/Hours</td> <td><u>13</u></td> <td></td> </tr> <tr> <td>Type of Service</td> <td><u>3</u></td> <td></td> </tr> <tr> <td>M&R Cost</td> <td><u>4</u></td> <td><u>91% OR \$20,484.90</u></td> </tr> <tr> <td>Reliability</td> <td><u>5</u></td> <td></td> </tr> <tr> <td>Condition</td> <td><u>4</u></td> <td><u>Paint peeling, does not stay running, smokes once crunk</u></td> </tr> <tr> <td>Total Score</td> <td><u>29</u></td> <td></td> </tr> </tbody> </table>		Score	Details	Miles/Hours	<u>13</u>		Type of Service	<u>3</u>		M&R Cost	<u>4</u>	<u>91% OR \$20,484.90</u>	Reliability	<u>5</u>		Condition	<u>4</u>	<u>Paint peeling, does not stay running, smokes once crunk</u>	Total Score	<u>29</u>	
	Score	Details																				
Miles/Hours	<u>13</u>																					
Type of Service	<u>3</u>																					
M&R Cost	<u>4</u>	<u>91% OR \$20,484.90</u>																				
Reliability	<u>5</u>																					
Condition	<u>4</u>	<u>Paint peeling, does not stay running, smokes once crunk</u>																				
Total Score	<u>29</u>																					
Fleet Manager Recommendation:																						
This 2000 Ford Explorer can no longer be used as the vehicle is not safe to operate as it will not stay running and smokes once it is started. The vehicle needs an ABS hydraulic control unit that is no longer available due to age of vehicle.																						
Planned Replacement Year:	<u>2023</u>																					
Funding Source:	<u>2023 Capital</u>																					
Fleet Manager Approval: 																						
Name of Fleet Manager:	<u>Laquona C. Sanderson, Fleet Manager</u>																					
Central Services Director Approval: 																						
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>																					

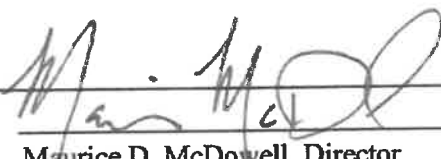
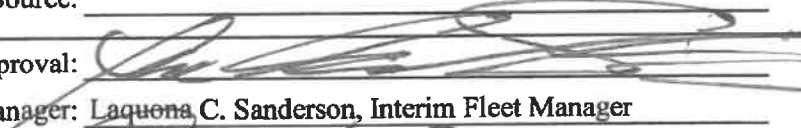
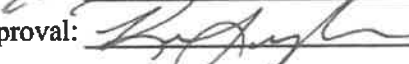
**Central Services Department - Fleet Management Division
Replacement Evaluation Form**

Asset Information	
Department Name: <u>RECREATION</u>	Date: <u>17-Jun-22</u>
Org Key: <u>101-06-3110</u>	
Vehicle Description: <u>1999 Ford Ranger</u>	Asset Number: <u>994161</u>
Assigned Use:	<u>Support of Cemetery Maintenance Operations</u>
Signature of Director/Elected Official: 	
Name of Director/Elected Official:	<u>Director Maurice D. McDowell</u>
Purchase Date: <u>5/27/1999</u>	
Purchase Price: <u>\$12,340.22</u>	
Current Mileage: <u>84,894</u>	Current Hours: <u>N/A</u>
Replacement Criteria Scoring	
Score	Details
Miles/Hours <u>8</u>	
Type of Service <u>3</u>	<u>Public service operations</u>
M&R Cost <u>4</u>	<u>\$10,511.11 or 85% of vehicle purchased value</u>
Reliability <u>3</u>	
Condition <u>5</u>	<u>Unable to obtain parts/repainting/transmission</u>
Total Score <u>23</u>	
Fleet Manager Recommendation:	
<u>Vehicle was turned in due to an inoperative instrument cluster in June 2022 needed for all vehicle gauges and parts are no longer able to be obtained for it's repair. Vehicle is badly rusted on the roof and much of the paint is gone down to bare metal on the hood and rear of vehicle. It is estimated to cost around \$3,500 for vehicle to be repainted. In addition, there is evidence of transmission issues due to inability to place shifter in park position.</u>	
Planned Replacement Year: _____	
Funding Source: _____	
Fleet Manager Approval: 	
Name of Fleet Manager:	<u>Laquona C. Sanderson, Interim Fleet Manager</u>
Central Services Director Approval: 	
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>

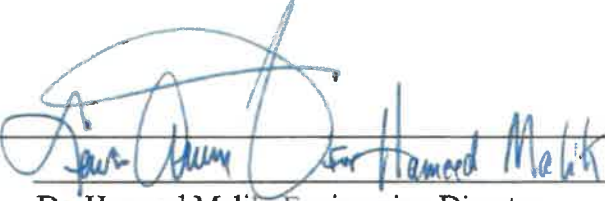
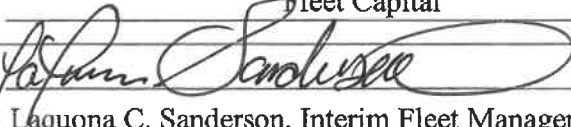

**Central Services Department - Fleet Management Division
Replacement Evaluation Form**

Asset Information			
Department Name:	RECREATION	Date:	13-Jul-22
Org Key:	101-06-1110		
Vehicle Description:	2003 Ford E350 Van	Asset Number:	F02297
Assigned Use:	Transport of Inmate personnel for landscaping operations		
Signature of Director/Elected Official:			
Name of Director/Elected Official:	Maurice D. McDowell, Director		
Purchase Date:	1/24/2003		
Purchase Price:	\$24,351.00		
Current Mileage:	82,483	Current Hours:	N/A
Replacement Criteria Scoring			
	Score	Details	
Miles/Hours	8		
Type of Service	3		
M&R Cost	4	\$21,289.11 or 87%	
Reliability	3		
Condition	5	Paint condition poor/rust, \$7,424 repairs required	
Total Score	23		
Fleet Manager Recommendation:			
<p>Vehicle was turned in due to cost of required repairs in the amount of \$7,424.00, age and condition in July 2022. If the vehicle were repaired the total M&R cost would be \$28,000.00, which is greater than the purchase price of \$24,351.00 and FMV of \$3,000.00. Vehicle has rust, peeling paint and damaged interior. Cost of overall repairs to date and additional repairs needed qualifies this vehicle for disposal and auction. This vehicle is uneconomically repairable and not suitable for retention in Augusta-Richmond County.</p>			
Planned Replacement Year: 2023-2024			
Funding Source: Capital			
Fleet Manager Approval:			
Name of Fleet Manager:	Laquona C. Sanderson, Interim Fleet Manager		
Central Services Director Approval:			
Name of Director:	Ron Lampkin, Interim Central Services Director		

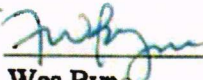
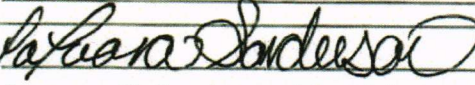
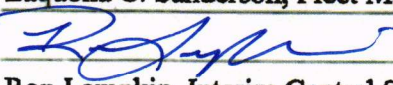
**Central Services Department - Fleet Management Division
Replacement Evaluation Form**

Asset Information	
Department Name: <u>RECREATION-CEMETERIES</u>	Date: <u>18-Jul-22</u>
Org Key: <u>101-06-3110</u>	
Vehicle Description: <u>1999 FORD RANGER</u>	Asset Number: <u>994167</u>
Assigned Use:	<u>Support of cemetery maintenance operations</u>
Signature of Director/Elected Official:	
Name of Director/Elected Official:	<u>Maurice D. McDowell, Director</u>
Purchase Date: <u>5/24/1999</u>	
Purchase Price: <u>\$14,250.85</u>	
Current Mileage: <u>105,504</u>	Current Hours: <u>N/A</u>
Replacement Criteria Scoring	
	Score Details
Miles/Hours	<u>10</u>
Type of Service	<u>3</u>
M&R Cost	<u>5</u> <u>\$14,555.32 or 102%</u>
Reliability	<u>1</u>
Condition	<u>5</u> <u>Major dents both sides/paint peeling</u>
Total Score	<u>24</u>
Fleet Manager Recommendation:	
<p>Vehicle was turned in due to damage on exterior, age and condition in July 2022. Vehicle has peeling paint, major scrapes and dents, possible engine issues and overall maintenance costs in the amount of \$14,555.32 have exceeded the original purchase price. It has had two previous recorded accidents over \$1,300. Cost of overall repairs to date and additional repairs needed qualifies this vehicle for disposal and auction.</p>	
Planned Replacement Year: _____	
Funding Source: _____	
Fleet Manager Approval:	
Name of Fleet Manager:	<u>Laquona C. Sanderson, Interim Fleet Manager</u>
Central Services Director Approval:	
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>

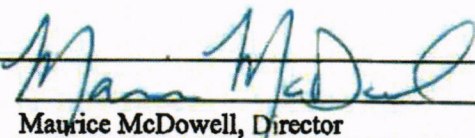
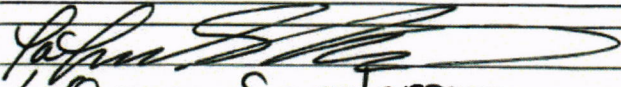
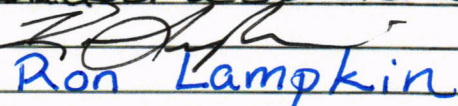
**Central Services Department - Fleet Management Division
Replacement Evaluation Form**

Asset Information	
Department Name: <u>Engineering - Traffic Engineers</u>	Date: <u>3-Jul-23</u>
Org Key: <u>101-04-1710</u>	
Vehicle Description: <u>2011 Ford F250</u>	Asset Number: <u>210158</u>
Assigned Use:	The Division is responsible for the installation, maintenance and repairs on traffic signals.
Signature of Director/Elected Official:	
Name of Director/Elected Official:	<u>Dr. Hameed Malik, Engineering Director</u>
Purchase Date: <u>10/20/2010</u>	
Purchase Price: <u>\$23,198.00</u>	
Current Mileage: <u>187,327</u>	Current Hours: <u>N/A</u>
Replacement Criteria Scoring	
	<u>Score</u>
Miles/Hours	<u>18</u>
Type of Service	<u>3</u>
M&R Cost	<u>3</u>
Reliability	<u>4</u>
Condition	<u>4</u>
Total Score	<u>32</u>
	<u>Details</u>
	<u>Public Service Work</u>
	<u>57% OR \$13,216.30</u>
	<u>2 previous accidents</u>
Fleet Manager Recommendation:	
The 2011 Ford F250 has surpassed the replacement mileage of 175K according to the Fleet Management Operations, Maintenance and Replacement Policy, 3.02 by approximately 12K miles. The vehicle has been in two accidents and endured \$13,216.30 repairs and maintenance cost. The department has requested a replacement vehicle and the truck will be replaced with the 2024 Ford order.	
Planned Replacement Year:	<u>2023</u>
Funding Source:	<u>Fleet Capital</u>
Fleet Manager Approval:	
Name of Fleet Manager:	<u>Laquona C. Sanderson, Interim Fleet Manager</u>
Central Services Director Approval:	
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>


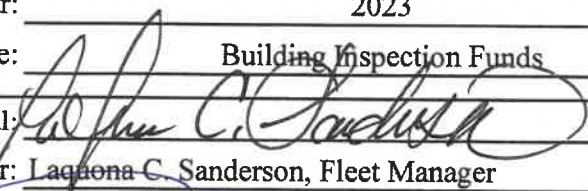

Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information			
Department Name:	Utilities-Filter Plant	Date:	4-Nov-22
Org Key:	506-04-3520		
Vehicle Description:	2003 Ford Ranger	Asset Number:	203192
Assigned Use:	This truck is used by Utilities staff at the Tobacco Road Filter Plant.		
Signature of Director/Elected Official:			
Name of Director/Elected Official:	Wes Byne		
Purchase Date:	8/14/2003		
Purchase Price:	\$15,374.19		
Current Mileage:	66,437	Current Hours:	n/a
Replacement Criteria Scoring			
	Score	Details	
Miles/Hours	6		
Type of Service	3		
M&R Cost	4	89% OR \$13,717.20	
Reliability	5	Vehicle needs major mechanical repairs	
Condition	5	Vehicle needs major mechanical repairs	
Total Score	23		
Fleet Manager Recommendation:			
This 19 year old vehicle was recommended for disposal due to the need for a new transmission in the amount of \$3,606.00. The transmission is on back order with an ETA of one month. The vehicle is part of the GREEN AUGUSTA initiative to phase out Ford Rangers and replace with an alternative fuel vehicle.			
Planned Replacement Year:	2023-2024		
Funding Source:	Utilities		
Fleet Manager Approval:			
Name of Fleet Manager:	Laquona C. Sanderson, Fleet Manager		
Central Services Director Approval:			
Name of Director:	Ron Lampkin, Interim Central Services Director		

**Central Services Department - Fleet Management Division
Replacement Evaluation Form**

Asset Information		
Department Name: <u>Recreation Department</u>	Date: <u>7-Apr-22</u>	
Org Key: <u>101-06-1110</u>		
Vehicle Description: <u>00' Ford Ranger</u>	Asset Number: <u>994242</u>	
Assigned Use: <u>Recreation Grounds and Landscaping Maintenance Support</u>		
Signature of Director/Elected Official: 		
Name of Director/Elected Official: <u>Maurice McDowell, Director</u>		
Purchase Date: <u>3/14/2000</u>		
Purchase Price: <u>12,336.50</u>		
Current Mileage: <u>81,673</u>		
Replacement Criteria Scoring		
	Score	Details
Miles/Hours	8	
Type of Service	3	Public Service
M&R Cost	3	67% or \$8,274.98
Reliability	1	Minimal work orders conducted over time
Condition	5	Transmission needs replacement
Total Score	20	
Fleet Manager Recommendation:		
<p>This 22 year old Ford Ranger has an average fair market value of \$3,675. In February 2022 it was identified as needing the transmission replaced for the cost of \$3,547 and a new paint job in the amount of \$1,500, due to the paint being peeled down to the metal. The total estimated repairs is \$4,547. Although, the vehicle does not meet the Replacement Criteria Matrix it is recommended for public auction approval due to it being inoperable.</p>		
Planned Replacement Year: <u>Currently not forecasted</u>		
Funding Source: <u>N/A</u>		
Fleet Manager Approval: 		
Name of Fleet Manager: <u>LeQuona Sanderson</u>		
Central Services Director Approval: 		
Name of Director: <u>Ron Lampkin</u>		

Central Services Department - Fleet Management Division
Replacement Evaluation Form

Asset Information																						
Department Name: <u>Planning & Development</u>	Date: <u>3-Jul-23</u>																					
Org Key: <u>217-07-2210</u>																						
Vehicle Description: <u>2009 Ford Ranger</u>	Asset Number: <u>209010</u>																					
Assigned Use:	This vehicle was used by a building inspector.																					
Signature of Director/Elected Official:																						
Name of Director/Elected Official:	<u>Carla Delaney, Planning and Development Director</u>																					
Purchase Date: <u>3/13/2009</u>																						
Purchase Price: <u>\$15,459.00</u>																						
Current Mileage: <u>97,519</u>	Current Hours: <u>N/A</u>																					
Replacement Criteria Scoring																						
	<table border="1"> <thead> <tr> <th></th> <th>Score</th> <th>Details</th> </tr> </thead> <tbody> <tr> <td>Miles/Hours</td> <td><u>10</u></td> <td></td> </tr> <tr> <td>Type of Service</td> <td><u>2</u></td> <td></td> </tr> <tr> <td>M&R Cost</td> <td><u>2</u></td> <td><u>25% or \$3,805.30</u></td> </tr> <tr> <td>Reliability</td> <td><u>1</u></td> <td></td> </tr> <tr> <td>Condition</td> <td><u>3</u></td> <td><u>2 previous accidents</u></td> </tr> <tr> <td>Total Score</td> <td><u>18</u></td> <td><u>Approved by Commision for GREEN AUGUSTA</u></td> </tr> </tbody> </table>		Score	Details	Miles/Hours	<u>10</u>		Type of Service	<u>2</u>		M&R Cost	<u>2</u>	<u>25% or \$3,805.30</u>	Reliability	<u>1</u>		Condition	<u>3</u>	<u>2 previous accidents</u>	Total Score	<u>18</u>	<u>Approved by Commision for GREEN AUGUSTA</u>
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Fleet Manager Recommendation:																						
<p>This vehicle was approved by Augusta Commission for the Green Augusta Initiative. The vehicle will be sold and funds will help fufill the Green Augusta Initative.</p>																						
Planned Replacement Year:	<u>2023</u>																					
Funding Source:	<u>Building Inspection Funds</u>																					
Fleet Manager Approval:																						
Name of Fleet Manager:	<u>Laqona C. Sanderson, Fleet Manager</u>																					
Central Services Director Approval:																						
Name of Director:	<u>Ron Lampkin, Interim Central Services Director</u>																					



Administrative Services Committee Meeting

Meeting Date: 08/29/2023

HCD_ Lead Hazard Reduction Program Approval Request

Department: HCD

Presenter: Hawthorne Welcher, Jr. and/or HCD Staf

Caption: Motion to approve quantity one (1) Healthy Homes Project located at 2363 Mt. Auburn Street.

Background: On November 21, 2019, HUD awarded \$3.3 million, to the State of Georgia as part of the record investment of \$314 million nationwide: to 77 state and local government agencies that will help protect Augusta, Georgia’s children and families from lead-based paint and home health hazards. The Lead-Based Paint Hazard Reduction Program (LBP) grants include \$3,000,000 in LBP funding and \$300,000 in HUD’s Healthy Homes Supplemental funding. The LBP grants include \$30 million nationwide in HUD’s Healthy Homes Supplemental funding to help communities address housing-related health and safety hazards, in addition to lead-based paint hazards.

Address: 2363 Mt. Auburn St. August GA 30904, Contractor: Blount’s Complete Home, Budget: \$36,600, Project Type: Healthy Homes

This program funds lead hazard reduction activities in owner-occupied single-family homes and rental properties if the unit meets the minimum program requirements. These requirements include, but are not limited to: the unit must be in need of lead hazard reduction activity; structurally sound upon completion of the lead hazard activity; and registered with the **Georgia Department of the Environment Lead Poisoning Prevention Program.**

Analysis: Approval of this request will allow the homeowner to participate in the City of Augusta Lead Safe Housing Initiative.

Financial Impact: Augusta, Georgia receives funding from HUD annually.

Alternatives: Deny HCD’s Request

Recommendation: Motion to approve HCD’s request to address healthy homes hazards.
Quantity (1) Lead Hazard Healthy Homes Rehabilitation Project.

Funds are available in the following accounts: Lead Grant: Total Amount Requested: \$36,600
221073227- 5211120 Contractual Services

REVIEWED AND APPROVED BY: Procurement
Finance
Law
Administrator
Clerk of Commission

AHCDD Form 508
(Rev. 05/04)

**AUGUSTA HOUSING & COMMUNITY
DEVELOPMENT DEPARTMENT**
**CONSTRUCTION CONTRACT -
REPAIR PROJECT**

Date:
08/02/23

This agreement is between (Contractor):

Blount's Complete Home
2907 Tobacco Rd C
Augusta, GA 30815

And: Augusta Housing & Community Development Department
925 Laney-Walker Boulevard
Augusta, GA 30901

Project : Augusta Homeowner
2363 Mount Auburn St
Augusta, GA 30904

Project : Healthy Homes Reduction Program

The Contractor agrees to furnish all labor and materials to complete in good, workmanlike manner repairs to the property shown above, for the total sum of **THIRTY SIX THOUSAND SIX HUNDRED DOLLARS - \$36,600.00.** All work will be accomplished in accordance with the attached Work Write-Up, and Housing and Urban Development Lead Hazard and Healthy Homes Guidelines.

The Contractor agrees to accept payment from the Augusta Housing and Community Development Department in accordance with Department payment procedures. The Contractor agrees to complete all repair work required by this contract within **10** working days of the date of this contract.

The undersigned, having reviewed and understood this contract, agrees to the terms as specified above and in the attached contract documents.

Hawthorne Welcher, Director
Housing & Community
Development Department

Contractor, Jimmy Blount

Witness: _____

SWORN TO AND SUBSCRIBED BEFORE ME, THIS
_____ DAY OF _____, 20____.

Notary Public, State of Georgia

(SEAL)

AHCDD Form 508
(Rev. 05/04)

**AUGUSTA HOUSING & COMMUNITY
DEVELOPMENT DEPARTMENT**
**CONSTRUCTION CONTRACT -
REPAIR PROJECT**

Date:
08/02/23

Approved as to Form:

By: _____
Augusta, GA Legal Department
As its Legal Representative

Date: _____

By: _____
Garnett L. Johnson
As its Mayor

Date: _____

By: _____
Takiyah A Douse
As its Interim Administrator

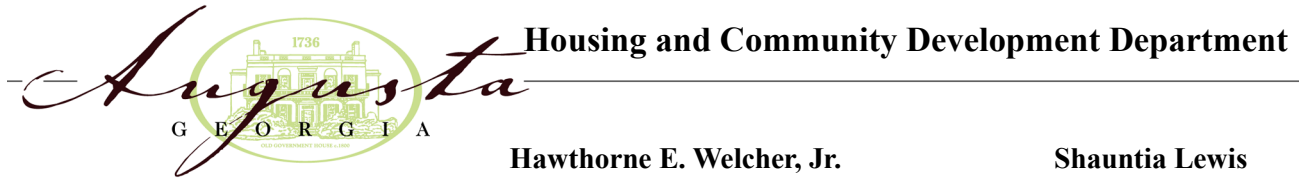
Date: _____

By: _____
Hawthorne Welcher, Jr.
As its Director, HCD

Date: _____

By: _____
Lena Bonner
As its Clerk

Date: _____



Hawthorne E. Welcher, Jr.
Director

Shauntia Lewis
Deputy Director

May 8, 2023

INVITATION TO BID, DELIVERED VIA EMAIL AND MAIL

Re: Lead Hazard Remediation

To Whom It May Concern,

The Augusta Housing and Community Development Department (HCD) is seeking bids for the following (4) addresses, a walk through will be held on 5/12/2023 beginning at 10:00 AM @ 1691 Old Savannah Rd. Augusta, GA 30901

The following houses will be visited:

- 1) **1691 Old Savannah Rd. Augusta, GA 30901**
- 2) **2363 Mt Auburn St. Augusta, GA 30904**
- 3) **1749 McAnally St. Augusta, GA 30904**
- 4) **214 Memory Dr. Augusta, GA 30906**

Please submit all bids to the address: by email or 510 Fenwick St Augusta, Ga 30901 on 5/17/2023 by 12:00 pm

Housing and Community Development Department
Attn: Lead Hazard Reduction Program
510 Fenwick Street
Augusta, GA. 30901

If you have any questions or need additional information, please feel free to call me at **(706) 821-1797**.

Regards,

Darrell Grant
Supervising Manager

Housing and Community Development
510 Fenwick Street, Augusta, GA 30901
(706) 821-1797 – Fax (706) 821-1784
www.augustaga.gov





Administrative Services Committee Meeting

Meeting Date: 08/29/2023

HCD_ Laney Walker/Bethlehem new construction of two (2) single family homes approval request

Department: HCD

Presenter: Hawthorne Welcher, Jr. and/or HCD Staff

Caption: Motion to approve Housing and Community Development Department’s (HCD's) request to provide Laney Walker/Bethlehem Revitalization Funding to contract with Capitalrise, LLC to develop new construction of two (2) single family units, identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.

Background: In 2008, the Augusta Commission passed legislation supporting community development in Laney Walker/Bethlehem. Since that time, the Augusta Housing & Community Development Department has developed a master plan and development guidelines for the area, set up financial incentive programs for developers and home buyers, selected a team of development partners to focus on catalytic change, and created a marketing strategy to promote the overall effort.

This project involves the new construction of two (2) single family homes identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.

<u>Address</u>	<u>Budget</u>	<u>Project Type</u>
1101 Cedar Street	\$152,455.36	New Construction
1110 Cedar Street Augusta, GA 30901	\$152,455.36	New Construction (Labor/Material)

Analysis: The approval of the contract will allow for development activities on these sites to begin.

Financial Impact: HCD utilizes Laney Walker/Bethlehem Revitalization funding.
Contract Amount: 1101 Cedar Street- \$152,455.36
Contract Amount: 1110 Cedar Street- \$152,455.36

Alternatives: Deny

Recommendation: Motion to approve Housing and Community Development Department’s (HCD's) request to provide Laney Walker/Bethlehem Revitalization Funding to contract with Capitalrise, LLC to develop new construction of two (2) single family units, identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.

Funds are available in the following accounts: Funding: Laney Walker/Bethlehem Revitalization funding
GL Code: 298-07-7343-5413150

REVIEWED AND APPROVED BY:
Procurement
Finance
Law
Administrator
Clerk of Commission

CONTRACT

between

AUGUSTA, GEORGIA

And

VETTED INVESTMENTS AND ACQUISITIONS, LLC

in the amount of
\$152,455.36 USD

One Hundred Fifty-Two Thousand Four Hundred Fifty-Five Dollars and 36/100
for Fiscal Year **2021**
Providing funding for

LANEY WALKER/BETHLEHEM REVITALIZATION PROJECT

1101 Cedar Street

THIS AGREEMENT (“Contract”), is made and entered into as of the ___ day of _____ 2022 (“the effective date”) by and between Augusta, Georgia, a political subdivision of the State of Georgia (hereinafter referred to as “Augusta”), acting through the Housing and Community Development Department (hereinafter referred to as “HCD”) - with principal offices at 510 Fenwick Street, Augusta, Georgia 30901, as party of the first part, and Vetted Investments & Acquisitions, LLC., a developer, organized pursuant to the Laws of the State of Georgia, hereinafter called "VIA" as party in the second part.

WITNESSETH

WHEREAS, Augusta is qualified by the U. S. Department of Housing and Urban Development (hereinafter called HUD) as a Participating Jurisdiction, and has received Laney Walker/Bethlehem Bond Financing for the purpose of providing and retaining affordable and market rate housing for eligible families; and

WHEREAS, VIA, a procured developer and contractor with HCD wishes to increase homeownership opportunities and preserve and increase the supply of affordable/market rate housing for eligible families; and

WHEREAS, Augusta wishes to enter into a contractual Agreement with VIA for the administration of eligible affordable and market rate housing development activities utilizing Laney Walker Bond Financing; and

WHEREAS, this activity has been determined to be an eligible activity in accordance with 24 CFR 92.504(c)(13) and will meet one or more of the national objectives and criteria outlined in Title 24 Code of Federal Regulations, Part 92 of the Housing and Urban Development regulations; and

WHEREAS, VIA has been selected and approved through a solicitation process for development partners to assist in the redevelopment of Laney Walker and Bethlehem communities; and

WHEREAS, VIA has agreed to provide services funded through this contract free from political activities, religious influences or requirements; and

WHEREAS, VIA has requested, and Augusta has approved a total of **\$152,455.36** in funding to perform eligible activities as described in Article I; below:

NOW, THEREFORE, the parties of this Agreement for the consideration set forth below, do here and now agree to the following terms and conditions:

ARTICLE I. SCOPE OF SERVICES

A. Scope of Services

Project Description: VIA agrees to utilize approved Laney Walker/Bethlehem Bond financing funds to support project related costs associated with the Laney Walker/Bethlehem Redevelopment Project. VIA agrees to match Laney Walker/Bethlehem Bond funds 50% of total construction cost in the form of reimbursement. Under this Agreement:

- ✚ VIA will perform new construction for one (1) single family detached home identified as property number **1101 Cedar Street**.
- ✚ VIA will perform all required construction management and project oversight; in accordance with all laws, ordinances, and regulations of Augusta.
- ✚ VIA will perform all functions required to ensure delivery of a final product meeting all requirements as set forth by said Agreement to include:
 - Materials list to include brand name and/or model number of materials as specified or agreed to adjustments to specifications including but not limited to: appliances, windows, HVAC, fixtures and First Quality lumber. VIA is to provide a finish schedule with the specifications, brands and model numbers for all interior finishes 90 days from completion for agreement by HCD. Actual material invoices may be requested to verify charges.

B. Use of Funds: Laney Walker/Bethlehem Bond funds shall be used by VIA for the purposes and objectives as stated in Article I, Scope of Services, of this Agreement. The use of funding for any other purpose(s) is not permitted. The following summarizes the proposed uses of funds under this Agreement based on **total material and labor cost of \$152,455.36**

1. Profit

An amount not to exceed percent (50%) of the construction cost as outlined and approved in Article I. Scope of Services, Section B. Use of Funds and on the Work Write-Up, shall be paid to VIA for costs identified as necessary operating time and expenses in addition to the profit accrued in the development of one single family detached home identified as **1101 Cedar Street**. The design and specifications of the property shall be approved by HCD prior to construction (see Appendix). HCD will have the latitude to pay O&P directly to the procured developer/contractor on a pay for performance basis or upon the sale of the single family detached home identified as **1101 Cedar Street**.

2. Developer's Fee Disbursements

Developer's Fee shall be dispensed when construction is 100% completed and certificate of occupancy is received. Co-Developer's Fee is dispensed upon sale of the home and should not exceed sixteen percent (16%).

C. Program Location and Specific Goals to be Achieved

VIA shall conduct project development activities and related services in its project area Laney Walker/Bethlehem that incorporates the following boundaries: Fifteenth Street, R.A. Dent, Wrightsboro Road, Twiggs Street, MLK Boulevard and Walton Way.

D. Project Eligibility Determination

It has been determined that the use of Laney Walker/Bethlehem Bond Financing funds by VIA will be in compliance with legislation supporting community development in Laney Walker/Bethlehem as authorized under the Urban Redevelopment Authority which acts in behalf of the Augusta Commission to provide oversight of the operation of the Laney Walker/Bethlehem Redevelopment Project. Notwithstanding any other provisions of this contract, VIA shall provide activities and services as described in the description of the project, including use of funds, its goals and objectives, tasks to be performed and a detailed schedule for completing the tasks for this project as provided in Exhibit A of this contract.

ARTICLE II. BUDGET AND METHOD OF PAYMENT

VIA will carry out and oversee the implementation of the project as set forth in this Agreement and agrees to perform the required services under the general coordination of HCD. In addition, and upon approval by Augusta, VIA may engage the services of outside professional services consultants and contractors to help carry out the program and projects.

- A. Augusta shall designate and make funds available in the following manner:
1. Augusta agrees to pay VIA, a maximum of **\$152,455.36** under this Agreement for project expenses incurred as outlined in ARTICLE I, Scope of Services, subject to VIA's compliance with all terms and conditions of this Agreement and the procedures for documenting expenses and activities as set forth in said Agreement;
 2. The method of payment for construction costs, including only materials and labor as outlined and approved on the Work Write-Up, not to exceed the aforementioned contracted amount of **\$152,455.36** and shall be on a pay for performance basis provided VIA and HCD determine the progress is satisfactory. VIA shall utilize the AIA Form provided by HCD (see Appendix). For invoicing, VIA will include documentation showing proof of completion of work in accordance with the amount requested, inspected, and accepted by HCD, lien waivers for vendors and sub-contractors, as specified in the Work Write-Up found in Exhibit B & E.
 3. When nearing 50%, the Developer, VIA, should be prepared to pay their 50%: **\$76,227.28** as agreed to HCD for material and labor only.
 4. HCD will monitor the progress of the project and VIA's performance on a weekly basis with regards to the production of housing units and the overall effectiveness of project.

5. Upon the completion of this Agreement, any unused or residual funds remaining shall revert to Augusta and shall be due and payable on such date of the termination and shall be paid no later than thirty (30) days thereafter. VIA and HCD shall share in the cost and proceeds of developing the residence at **1101 Cedar Street** as follows:
6. Funds may not be transferred from line item to line item in the project budget without the prior written approval of Augusta Housing and Community Development.
7. This Agreement is based upon the availability of funding under the Laney Walker/Bethlehem Revitalization Project. Should funds no longer be available, it is agreed to by both parties that this contract shall terminate and any VIA deemed satisfactorily progress made within the contracted construction only amount not to exceed fifty percent (50%) shall be paid to VIA.
8. HCD will retain ten percent (10%) of an amount within the one hundred percent (100%) of construction costs, including only materials and labor as outlined and approved on the Work Write-Up, after the Certificate of Occupancy has been issued until VIA and HCD determine that all HCD punch-list items have been satisfied.

B. Project Financing

The Augusta Housing and Community Development will provide an amount not to exceed the actual construction costs including only materials and labor as outlined and approved on the Work Write-Up to be expended by VIA for construction costs related to the development of one single family detached home identified as **1101 Cedar Street**.

Additionally, HCD will provide 100% of all change orders (where applicable) as approved by HCD and VIA in writing.

All funding is being provided as payment for services rendered as per this Agreement.

C. Timetable for Completion of Project Activities

VIA shall be permitted to commence with the expenditure of Laney Walker Bethlehem Bond Financing funds as outlined in said Agreement upon procurement of a construction contractor in accordance with its policies and procedures; and approval of a detailed outline of project expenditures anticipated for the completion of the development within 120 days of said home identified as **1101 Cedar Street**.

Liquidated Damages

VIA agrees to pay as liquidated damages to HCD the sum of two hundred dollars (\$200.00) for each consecutive calendar day after the expiration of the Contract Time of Completion Time, except for authorized extensions of time by Augusta. This section is independent of any section within this Agreement concerning the default of VIA. The parties agree that these provisions for liquidated damages are not intended to operate as penalties for breach of Contract.

The liquidated damages set forth above are not intended to compensate Augusta for any damages other than inconvenience and loss of use or delay in services. The existence or recovery of such liquidated damages shall not

preclude Augusta from recovering other damages in addition to the payments made hereunder which Augusta can document as being attributable to the documented failure of VIA. In addition to other costs that may be recouped, Augusta may include costs of personnel and assets used to coordinate, inspect, and re-inspect items within this Agreement as well as attorney fees if applicable.

Specified Excuses

VIA is not responsible for delay in performance caused by hurricanes, tornados, floods, and other severe and unexpected acts of nature. In any such event, the contract price and schedule shall be equitably adjusted.

Temporary Suspension or Delay of Performance of Contract

To the extent that it does not alter the scope of this Agreement, Augusta may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this Agreement.

D. Project Budget: Limitations

All costs associated with construction, O&P, construction management, and real estate expenses have been outlined in said Agreement as percentage-based costs related to the development of one single family detached home identified as **1101 Cedar Street** as part of the Laney Walker/Bethlehem Revitalization Project. HCD will have the latitude to pay such costs directly to the procured construction contractor. VIA shall be paid a total consideration of no more than **\$152,455.360** for full performance of the services specified under this Agreement. Any cost above this amount shall be the sole responsibility of HCD. It is also understood by both parties to this contract that the funding provided under this contract for this specific project shall be the only funds provided by Augusta unless otherwise agreed to by Augusta and VIA.

Augusta shall adhere to the budget as outlined in the Work Write-Up (Exhibit B) in the performance of this contract.

ARTICLE III. TERM OF CONTRACT

The term of this Agreement shall commence on the date when this Agreement is executed by Augusta and VIA (whichever date is later) and shall end at the completion of all program activities, within the time specified in Article II.C, or in accordance with ARTICLE X: Suspension and Termination.

ARTICLE IV. DOCUMENTATION AND PAYMENT

- A. This is a pay-for-performance contract and in no event shall HCD provide advance funding to VIA, or any subcontractor hereunder.
- B. VIA shall not use these funds for any purpose other than the purpose set forth in this Agreement.
- C. Subject to VIA's compliance with the provisions of this Agreement, Augusta agrees to reimburse all budgeted costs allowable under federal, state, and local guidelines.

- D. All purchases of capital equipment, goods and services shall comply with the procurement procedures of OMB Circular A-110 "Uniform Administrative Requirements for Grant Agreements with Institutions of Higher Education, Hospitals and Other Non-Profit Organizations" as well as the procurement policy of Augusta.
- E. Requests by VIA for payment shall be accompanied by proper documentation and shall be submitted to HCD, transmitted by a cover memo, for approval no later than thirty (30) calendar days after the last date covered by the request. For purposes of this section, proper documentation includes: Updated Exhibit A- schedule (Gantt Chart), Updated Exhibit B- Work Write-Up, and AIA Form.
- F. VIA shall maintain an adequate financial system and internal fiscal controls.
- G. Unexpended Funds: Unexpended funds shall be retained by Augusta upon written request, Augusta may consider the reallocation of unexpended funds to eligible projects proposed by VIA.
- H. The terms of this Agreement supersede any and all provisions of the Georgia Prompt Pay Act.
- I. Upon the sale of the detached single-family home at **1101 Cedar Street**, HCD is to provide VIA with any outstanding payments on approved invoices and related costs received within ten (10) business days.

ARTICLE V. ADMINISTRATIVE REQUIREMENTS

Conflict of Interest

VIA agrees to comply with the conflict-of-interest provisions contained in 24 CFR 85.36, 570.611, OMB Circular A-110 and OMB Circular A-102 as appropriate.

This conflict-of-interest provision applies to any person who is an employee, agent, consultant, officer, or elected official or appointed official of VIA. No person described above who exercises, may exercise or has exercised any functions or responsibilities with respect to the activities supported under this contract; or who are in a position to participate in a decision-making process or gain inside information with regard to such activities, may obtain any financial interest or benefit from the activities, or have a financial interest in any contract, sub-contract, or agreement with respect to the contract activities, either for themselves or those with whom they have business or family ties, during their tenure or for one year thereafter. For the purpose of this provision, "family ties", as defined in the above cited volume and provisions of the Code of Federal Regulations, include those related as Spouse, Father, Mother, Father-in-law, Mother-in-law, Step-parent, Children, Step-children, Brother, Sister, Brother-in-law, Sister-in-law, Grandparent, Grandchildren of the individual holding any interest in the subject matter of this Agreement. VIA in the persons of Directors, Officers, Employees, Staff, Volunteers and Associates such as Contractors, Sub-contractors and Consultants shall sign and submit a Conflict-of-Interest Affidavit. (Affidavit form attached as part in parcel to this Agreement).

Augusta may, from time to time, request changes to the scope of this Agreement and obligations to be performed hereunder by VIA. In such instances, VIA shall consult with HCD/Augusta on any changes that will result in substantive changes to this Agreement. All such changes shall be made via written amendments to this Agreement and shall be approved by the governing bodies of both Augusta and VIA.

Statutes, regulations, guidelines and forms referenced throughout this Agreement are listed in Appendix A and are attached and included as part in parcel to this Agreement.

ARTICLE VI. OTHER REQUIREMENTS

- A. VIA agrees that it will conduct and administer activities in conformity with Pub. L. 88-352, "Title VI of the Civil Rights Act of 1964", and with Pub. L. 90-284 "Fair Housing Act" and that it will affirmatively further fair housing. One suggested activity is to use the fair housing symbol and language in VIA publications and/or advertisements. (24 CFR 570.601).
- B. VIA agrees that the ownership in the housing assisted units must meet the definition of "homeownership" in §92.2.
- C. VIA agrees to comply with 24 CFR Part I, which provides that no person shall be excluded from participation in this project on the grounds of race, color, national origin, or sex; or be subject to discrimination under any program or activity funded in whole or in part with federal funds made available pursuant to the Act.
- D. No person employed in the work covered by this contract shall be discharged or in any way discriminated against because he or she has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable hereunder to his or her employer. (24 CFR 570.603)
- E. VIA agrees that in accordance with the National Environmental Policy Act of 1969 and 24 CFR Part 58, it will cooperate with Augusta/HCD in complying with the Act and regulations, and that no activities will be undertaken until notified by Augusta/HCD that the activity is in compliance with the Act and regulations. Prior to beginning any project development activity, an environmental review must be conducted by HCD pursuant to (24 CFR 570.604).
- F. Consistent with the Flood Disaster Protection Act of 1973 (42 USC 4001-4128), VIA agrees that funds shall not be expended for acquisition or construction in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards (representing the 100-year floodplain). Exceptions will be made if the community is participating in the National Flood Insurance Program or less than a year has passed since FEMA notification and flood insurance has been obtained in accordance with section 102(a) of the Flood Disaster Protection Act of 1973.
- G. VIA agrees to take all reasonable steps to minimize displacement of persons as a result of assisted activities. Any such activities will be conducted in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA) and the Housing and Community Development Act of 1974 (24 CFR 570.606).
- H. VIA agrees to comply with Executive Order 11246 and 12086 and the regulations issued pursuant thereto (41 CFR 60) which provides that no person shall be discriminated against on the basis of race, color, religion, sex, or national origin. VIA will in all solicitations or advertisements for employees placed state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin or familial status.

- I. VIA will not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or familial status. VIA will take appropriate action to ensure that applicants are employed, and that employees are treated fairly during employment, without regard to their race, color, religion, sex, national origin, or familial status. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or advertising; lay-off or termination, rates of pay or other forms of compensation; and selection for training, including apprenticeship. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by Augusta setting forth the provisions of this nondiscrimination clause.
- J. In accordance with Section 570.608 of the CDBG Regulations, VIA agrees to comply with the Lead Based Paint Poisoning Prevention Act pursuant to prohibition against the use of lead-based paint in residential structures and to comply with 24 CFR 570.608 and 24 CFR 35 with regard to notification of the hazards of lead-based paint poisoning and the elimination of lead-based paint hazards.
- K. VIA agrees to comply with 24 CFR 570.609 with regards to the direct or indirect use of any contractor during any period of debarment, suspension, or placement in ineligibility status. No contract will be executed until such time that the debarred, suspended, or ineligible contractor has been approved and reinstated by HCD.
- L. In accordance with 24 CFR part 24, subpart F, VIA agrees to administer a policy to provide a drug-free workplace that is free from illegal use, possession or distribution of drugs or alcohol by its beneficiaries as required by the Drug Free Workplace Act of 1988.
- M. Any publicity generated by VIA for the project funded pursuant to this Agreement, during the term of this Agreement or for one year thereafter, will make reference to the contribution of HCD in making the project possible. The words "Augusta, Georgia Department of Housing and Community Development" will be explicitly stated in any and all pieces of publicity; including but not limited to flyers, press releases, posters, brochures, public service announcements, interviews, and newspaper articles.
- N. VIA shall comply with all applicable laws, ordinances and codes of the federal, state, and local governments and shall commit no trespass on any public or private property in performing any of the work embraced by this contract. VIA agrees to obtain all necessary permits for intended improvements or activities.
- O. VIA shall not assign any interest in this contract or transfer any interest in the same without the prior written approval of Augusta.
- P. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by HCD, setting forth the provisions of this nondiscrimination clause. Except as prohibited by law or the March 14, 2007, Court Order in the case Thompson Wrecking, Inc. v. Augusta, Georgia, Civil Action No. 1:07-CV-019 (S.D. GA 2007). **ANY LANGUAGE THAT VIOLATES THIS COURT ORDER IS VOIDABLE BY THE AUGUSTA GOVERNMENT.** VIA agrees to comply with any federally mandated requirements as to minority and women owned business enterprises.
- Q. All contractors and subcontractors entering into contracts with Augusta, Georgia for the physical performance of services shall be required to execute an Affidavit verifying its compliance with O.C.G.A § 13-10-91, stating affirmatively that the individual, firm, or

corporation which is contracting with Augusta, Georgia has registered with and is participating in a federal work authorization program. All contractors and subcontractors must provide their E-Verify number and must be in compliance with the electronic verification of work authorized programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603, in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91 and shall continue to use the federal authorization program throughout the contract term. All contractors shall further agree that, should it employ or contract with any subcontractor in connection with the physical performance of services pursuant to its contract with Augusta, Georgia, the contractor will secure from such subcontractors each subcontractor's E-Verify number as evidence of verification of compliance with O.C.G.A §13-10-91 on the subcontractor affidavit provided in Rule 300-10-01-.08 or a substantially similar form. All contractors shall further agree to maintain records of such compliance and provide a copy of each such verification to HCD at the time the subcontractors are retained to perform such physical services.

- R. VIA agrees that low-and-moderate income persons reside within Augusta-Richmond County and that contract for work in connection with the project be awarded to eligible businesses which are located in or owned in substantial part by persons residing in Richmond County. (24 CFR 570.697) **Utilization of contractors and/or subcontractors outside of the Augusta, Georgia- Richmond County area is not desirable.**
- S. VIA agrees to comply with the prohibitions against discrimination on the basis of age under the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) and implementing regulations at 24 CFR part 146 and the prohibitions against otherwise qualified individuals with handicaps under section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at 24 CFR part 8. For purposes of the emergency shelter grants program, the term dwelling units in 24 CFR Part 8 shall include sleeping accommodations.
- T. VIA will not discriminate against any employee or applicant for employment on the basis of religion and will not give preference of persons on the basis of religion. VIA will not discriminate against any person applying for shelter on the basis of religion. VIA will provide no religious instruction or counseling, conduct no religious worship or services, engage in no religious proselytizing, and exert no religious influence in the provision of shelter and other eligible activities funded by this grant.
- U. Indirect costs will only be paid if VIA has indirect cost allocation plan approved by the Augusta Housing and Community Development prior to the execution of this Contract.
- V. HCD shall not approve any travel or travel related expenses to VIA with funds provided under this.
- W. Construction Requirements

In the absence of local codes, properties must meet the HUD Section 8 Housing Quality Standards [HQS]. All housing assisted under this Agreement is "new construction" by definition and therefore must meet the local building codes for new housing in Augusta, Georgia, as applicable.

VIA is required by state and local laws, to dispose of all site debris, trash, and rubble from the project be transported to and disposed of at the Augusta, Georgia Solid Waste Landfill in accordance with local and state regulations. The contractor shall provide evidence of proper disposal of, the name and location of the disposal facility, date of disposal and all related fees. Augusta, Georgia may, at reasonable times, inspect the part of the plant, place of business, or work site of VIA or any subcontractor of VIA or subunit thereof which is pertinent to the performance of any contract awarded or to be awarded by Augusta Housing & Community Development Department.

ARTICLE VII. SUSPENSION AND TERMINATION

- A. In the event VIA materially fails to comply with any terms of this Agreement, including the timely completion of activities as described in the timetable and/or contained in ARTICLE I.I.C, Augusta, Georgia may withhold cash payments until VIA cures any breach of the Agreement. If VIA fails to cure the breach, Augusta may suspend or terminate the current award of funds. VIA will not be eligible to receive any other funding.
- B. Damages sustained as a result of any breach of this Agreement. In addition, to any other remedies it may have at law or equity, HCD may withhold any payments to VIA for the purposes of offsetting the exact amount of damages once determined.
- C. In the best interest of the project and to better serve the people in the target areas and fulfill the purposes of the Laney Walker/ Bethlehem Revitalization project, either party may terminate this Agreement upon giving thirty (30) day notice in writing of its intent to terminate, stating its reasons for doing so. In the event Augusta terminates this Agreement, Augusta shall pay VIA for documented committed eligible costs incurred prior to the date of notice of termination.
- D. Notwithstanding any termination or suspension of this Agreement, VIA shall not be relieved of any duties or obligations imposed on it under this Agreement with respect to HCD funds previously disbursed or income derived therefrom.
- E. To the extent that it does not alter the scope of this Agreement, Augusta, GA may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this contract.

ARTICLE VIII. NOTICES

Whenever either party desires to give notice unto the other, such notice must be in writing, sent by certified United States mail, return receipt requested, addressed to the party for whom it is intended, at the place last specified, and the place for giving of notice shall remain such until it shall have been changed by written notice.

Augusta will receive all notices at the address indicated below:

Office of the Administrator
 ATTN: Takiyah A. Douse, Interim Administrator
 Municipal Building
 535 Telfair Street, Suite 910
 Augusta, Georgia 30901

With copies to:
 Augusta Housing and Community Development Department
 ATTN: Hawthorne Welcher, Jr., Director
 510 Fenwick Street
 Augusta, Georgia 30901

Vetted Investments & Acquisitions, LLC. will receive all notices at the address indicated below:

Vetted Investments & Acquisitions
 ATTN: Jeremy Johnson
 2333 Woodsman Drive
 Augusta, GA. 30906

With copies to:
 Capitalrise, LLC
 2924 Aylesbury Drive
 Augusta, GA. 30909

ARTICLE IX. INDEMNIFICATION

VIA will at all times hereafter indemnify and hold harmless Augusta, its officers, agents, and employees, against any and all claims, losses, liabilities, or expenditures of any kind, including court costs, attorney fees and expenses, accruing or resulting from any or all suits or damages of any kind resulting from injuries or damages sustained by any person or persons, corporation, or property, by virtue of the performance of this Agreement. By execution of this Agreement, VIA specifically consents to jurisdiction and venue in the Superior Court of Richmond County, Georgia and waives any right to contest jurisdiction or venue in said Court.

Should it become necessary to determine the meaning or otherwise interpret any work, phrase, or provision of this Agreement, or should the terms of this Agreement in any way be the subject of litigation in any court of laws or equity. It is agreed that the laws of the State of Georgia shall exclusively control the same.

The parties hereto do agree to bind themselves, their heirs, executors, administrators, trustees, successors, and assigns, all jointly and severally under the terms of this Agreement.

ARTICLE X. PRIOR AND FUTURE AGREEMENTS

This Document incorporates and includes all prior negotiations, correspondence, conversations, agreements, or understandings applicable to the matters contained herein and the parties agree that there are no commitments, agreements, or understandings concerning the subject matter of this Agreement that are not contained in this document. Accordingly, it is agreed that no deviation from the terms hereof shall be predicated upon any prior representations or agreements whether oral or written. HCD is not obligated to provide funding of any kind to VIA beyond the term of this Agreement.

VIA warrants that no person or selling agency has been employed or retained to solicit or secure this Agreement upon an agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by VIA for the purpose of securing business and that VIA has not received any non-Augusta fee related to this Agreement without the prior written consent of HCD. For breach or violation of this warranty, HCD shall have the right to annul this Agreement without liability or at its discretion to deduct from the Agreement prices of consideration the full amount of such commission, percentage, brokerage, or contingent fee.

ARTICLE XI. LEGAL PROVISIONS DEEMED INCLUDED

Each and every provision of any law or regulations and clause required by law or regulation to be inserted in this Agreement shall be deemed to be inserted herein and this Agreement shall be read and enforced as though it were included herein and if, through mistake or otherwise, any such provision is not inserted or is not correctly inserted, then upon application of either party this Agreement shall forthwith be amended to make such insertion.

ARTICLE XII. DISCLAIMER

Any and all language in this Agreement pertaining to HUD regulations and/or the utilizations of HOME funding is deemed voidable when utilizing Laney Walker Bond funds in its entirety. However, if there are any federal funds utilized by this project, including Homebuyer Subsidy funds, this Agreement will be enforceable in its entirety.

ARTICLE XIII. COUNTERPARTS

This Agreement is executed in two (2) counterparts– each of which shall be deemed an original and together shall constitute one and the same Agreement with one counterpart being delivered to each party hereto.

ARTICLE XIV. INSURANCE

The DEVELOPER/CONTRACTOR shall provide, at all times that this Agreement is in effect, Insurance with limits of not less than:

- A. Workmen’s Compensation Insurance – in accordance with the laws of the State of Georgia.
- B. Public Liability Insurance – in an amount of not less than One Million (\$1,000,000) Dollars for injuries, including those resulting in death to any one person, and in an amount of not less than One Million (\$1,000,000) Dollars on account of any one occurrence.
- C. Property Damage Insurance – in an amount of not less than One Million (\$1,000,000) Dollars from damages on account of an occurrence, with an aggregate limit of One Million (\$1,000,000) Dollars.
- D. Valuable Papers Insurance – in an amount sufficient to assure the restoration of any plans, drawings, field notes, or other similar data relating to the work covered by the Project.
- E. Professional Liability Insurance – in an amount of not less than One Million (\$1,000,000) Dollars or an amount that correlates to the aggregate fee on the project should it exceed \$1,000,000.

IN WITNESS WHEREOF, the parties have set their hands and seals as of the date first written above:

Approved as to Form by (please initial here):
Augusta, GA Law Department

Date: _____

By: _____
Garnett L. Johnson, as its Mayor

Date: _____

By: _____
Takiyah A. Douse, as its Interim Administrator

Date: _____

By: _____
Hawthorne Welcher, Jr., as its Director

Date: _____

Affix Seal Here:

By: _____
Lena Bonner, as its Clerk of Commission

ATTEST: VIA

By: _____
Jeremy Johnson, VIA

Date: _____

APPENDIX 1
Architectural Plans/Designs

APPENDIX 2
American Institute of Architects (AIA) Form - Sample

APPENDIX 3
Statutes: (Available on Request)

OMB Circular A-110 - Uniform Administrative Requirements for Grants and Agreement with Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations

OMB Circular A- 122 - Cost Principles for Non-Profit Organizations

OMB Circular A-133 - Audits of Institutions of Higher Education & other Non-Profit Institutions

40 USC 276 Davis-Bacon Act

40 USC 327 Contract Work Hours and Safety Standard Act

Uniform Relocation Assistance and Real Property Acquisition Policies Act

Lead Based Paint Poisoning Prevention Act

24 CFR 35 – HUD Requirements for Notification, Evaluation and Reduction of Lead-Based Paint Hazards in Housing Receiving Federal Assistance and Federally-Owned Residential Property being sold, Final Rule

Augusta, Georgia- Richmond County Procurement Policy

Conflict of Interest Affidavit

APPENDIX 4
CONSTRUCTION REQUIREMENTS

1. All construction projects shall comply with Federal, State, and local codes and ordinances, including, but not limited to, the following:
 - A. All work shall be in compliance with the International Building Code current edition of National Electric Code, International Plumbing and Mechanical Code, and ADA 2010 Guidelines.
 - B. Georgia Energy Code International Energy Conservation Code (IECC-2015).
 - C. Williams-Steiger Occupational Safety and Health Act of 1970, Public Law 91-596.
 - D. Part 1910 – Occupational Safety and Health Standards, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 202, October 18, 1972).
 - E. Part 1926 - Safety and Health Regulations for Construction, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 243, December 16, 1972).
 - F. Section 106 of the National Historic Preservation Act (16 U.S.C. 470f).
2. Project Review. All plans, specifications, work write-ups, projected cost estimates, punch lists or other means of outlining work on a particular project will be submitted in writing to HCD for review and approval prior to bidding. HCD Construction and Rehabilitation Inspectors or HCD's agent will review these items for compliance with new construction and/or rehabilitation standards and materials use.
3. Rehabilitation Standards. All rehabilitation work will comply with the "Uniform Physical Condition Standards for HUD Housing." Workmanship and material standards will comply with the Antioch Ministries, Inc. -Richmond County Housing & Community Development Department Contractors Manual and Performance Standards. A copy of this manual is provided to every contractor when included on the HCD Approved Contractors List. A copy is enclosed for inclusion.
4. Inspections. All projects will be inspected and approved by an HCD Construction and Rehabilitation Inspector or HCD's agent prior to release of the funds for that project.

APPENDIX 5
CONTRACTOR ACKNOWLEDGEMENT

Capitalrise, LLC acknowledges that this contract and any changes to it by amendment, modification, change order or other similar document may have required or may require the legislative authorization of the Board of Commissioner and approval of the Mayor. Under Georgia law, Capitalrise, LLC is deemed to possess knowledge concerning HCD ability to assume contractual obligations and the consequences of Contractor’s provision of goods or services to HCD under an unauthorized contract, amendment, modification, change order or other similar document, including the possibility that Capitalrise, LLC may be precluded from recovering payment for such unauthorized goods or services. Accordingly, Capitalrise, LLC agrees that if it provides goods or services to Augusta, Georgia under a contract that has not received proper legislative authorization or if Capitalrise, LLC provides goods or services to Augusta, Georgia in excess of the any contractually authorized goods or services, as required by Augusta, Georgia’s Charter and Code, Augusta, Georgia may withhold payment for any unauthorized goods or services provided by Capitalrise, LLC. Capitalrise, LLC assumes all risk of non-payment for the provision of any unauthorized goods or services to Augusta, Georgia (Laney Walker/Bethlehem Revitalization Project), and it waives all claims to payment or to other remedies for the provision of any unauthorized goods or services to Augusta, Georgia, however characterized including, without limitation, all remedies at law or equity. This acknowledgement shall be a mandatory provision in all Augusta, Georgia contracts for goods and services, except revenue producing contracts.

Name
Capitalrise, LLC, Owner

EXHIBIT A

PROJECT SCHEDULE OF COMPLETION

VIA MUST PROVIDE A COMPLETED SCHEDULE OF COMPLETION AS EXHIBIT A- WITH APPROPRIATE PROJECT MILESTONES WITHIN 10 TO 15 DAYS AFTER SIGNING THIS AGREEMENT. THIS SCHEDULE MUST BE PROVIDED IN SUFFICIENT DETAIL TO PERMIT HCD TO MONITOR AND ASSESS PROGRESS IN CONNECTION WITH THE PERFORMANCE OF THIS AGREEMENT. A SAMPLE SCHEDULE IS PROVIDED.

EXHIBIT B

WORK WRITE-UP

EXHIBIT C

PROJECT DEVELOPMENT AND MANAGEMENT PROCEDURES

1. HCD must review and approve all new construction work, project specifications and total development cost for each residential development project before work is commenced and before funds can be released for payment reimbursement. Construction payments will be released to VIA in accordance with the attached drawdown schedule and budget.
2. HCD will provide the lot on which all new construction efforts will be performed under this Agreement and in connection with the project.
3. With HCD approval, VIA may use funds under this Agreement for the following purposes:
 - a. To support development costs as outlined in Item 6 below.
4. Completion delays, remedies, and penalties.
 - a. If the Contractor fails to complete the work within the time frame specified in the contract, plus any authorized delays, HCD may:
 - i. Terminate the contractor in accordance with the “Provisions for Augusta Housing and Community Development Department (HCD)” clause of this contract.
 - ii. Assess liquidated damages of Two Hundred Dollars (\$200) per working day from the schedule of completion to the date of final acceptance of the project. The total amount of liquidated damages will be deducted from the total contract price, plus any change order amounts.
 - b. The contractor shall not be charged with liquidated damages for any delays in the completion of the work due:
 - i. To any acts of the Federal, State, or City/County Government; including controls or restrictions upon or requisitioning of materials, equipment, tools or labor by reason of war, National Defense, or any other National, State, or City/County emergency.
 - ii. To any acts of the Owner that hinder the progress of the work;
 - iii. To cause not reasonable foreseeable by the parties in this contract at the time the execution of the contract which are beyond the control and without the fault or negligence of the Contractor; including but not restricted to acts of God; acts of the public enemy; acts of another contractor in the performance of some other contract with the owner; fires; floods; epidemics; quarantine restrictions; strikes; freight embargoes; and weather or unusual severity such as hurricanes, tornadoes, cyclones, and other extreme weather conditions; and
 - iv. To any delay of the subcontractor occasioned by any other causes specified in subparagraphs A and B above. Provided, however, that the contractor promptly (within 10 days) notifies HCD and VIA in writing of the cause of the delay. If the facts show the delay to be properly excusable under the terms of this contract, HCD shall extend the contract time by a period commensurate with the period of authorized delay to the completion of the work as whole; in the form of an amendment to this contract.
5. New Construction Costs and Requirements

- a. VIA will provide construction management for the project to ensure that construction work is being carried out in accordance with plans, specifications and the project budget.
 - b. VIA must make sure contractors obtain and post all permits on job site.
 - c. VIA must collect progress and final lien releases from the contractor, subcontractors, and material suppliers prior to making a payment to a contractor.
 - d. HCD or its agent may continually inspect each house for contract compliance and to determine the percent of completion prior to processing a draw request and releasing payment. HCD may choose not to release payments if the work being performed is not of acceptable quality to HCD and if the house is not being built or rehabilitated in accordance with plans and specifications, or if the project is not on schedule.
6. Permanent Financing and Sales Prices
- a. The sales price of each home sold in accordance with this Agreement must be based on a formal appraisal. Unless otherwise agreed to by HCD, the sales price of each house shall not exceed the appraised value of the house.
 - b. The purchasers of houses constructed must meet the Augusta, GA requirements.
 - c. Buyers will be required to borrow no less than 80% of the sale prices of the house from a private lending institution unless otherwise agreed to by HCD.

CONTRACT

between

AUGUSTA, GEORGIA

And

VETTED INVESTMENTS AND ACQUISITIONS, LLCin the amount of
\$152,455.36 USD**One Hundred Fifty-Two Thousand Four Hundred Fifty-Five Dollars and 36/100**
for Fiscal Year **2021**
Providing funding for**LANEY WALKER/BETHLEHEM REVITALIZATION PROJECT****1110 Cedar Street**

THIS AGREEMENT (“Contract”), is made and entered into as of the ___ day of _____ 2022 (“the effective date”) by and between Augusta, Georgia, a political subdivision of the State of Georgia (hereinafter referred to as “Augusta”), acting through the Housing and Community Development Department (hereinafter referred to as “HCD”) - with principal offices at 510 Fenwick Street, Augusta, Georgia 30901, as party of the first part, and Vetted Investments & Acquisitions, LLC., a developer, organized pursuant to the Laws of the State of Georgia, hereinafter called "VIA" as party in the second part.

WITNESSETH

WHEREAS, Augusta is qualified by the U. S. Department of Housing and Urban Development (hereinafter called HUD) as a Participating Jurisdiction, and has received Laney Walker/Bethlehem Bond Financing for the purpose of providing and retaining affordable and market rate housing for eligible families; and

WHEREAS, VIA, a procured developer and contractor with HCD wishes to increase homeownership opportunities and preserve and increase the supply of affordable/market rate housing for eligible families; and

WHEREAS, Augusta wishes to enter into a contractual Agreement with VIA for the administration of eligible affordable and market rate housing development activities utilizing Laney Walker Bond Financing; and

WHEREAS, this activity has been determined to be an eligible activity in accordance with 24 CFR 92.504(c)(13) and will meet one or more of the national objectives and criteria outlined in Title 24 Code of Federal Regulations, Part 92 of the Housing and Urban Development regulations; and

WHEREAS, VIA has been selected and approved through a solicitation process for development partners to assist in the redevelopment of Laney Walker and Bethlehem communities; and

WHEREAS, VIA has agreed to provide services funded through this contract free from political activities, religious influences or requirements; and

WHEREAS, VIA has requested, and Augusta has approved a total of **\$152,455.36** in funding to perform eligible activities as described in Article I; below:

NOW, THEREFORE, the parties of this Agreement for the consideration set forth below, do here and now agree to the following terms and conditions:

ARTICLE I. SCOPE OF SERVICES

A. Scope of Services

Project Description: VIA agrees to utilize approved Laney Walker/Bethlehem Bond financing funds to support project related costs associated with the Laney Walker/Bethlehem Redevelopment Project. VIA agrees to match Laney Walker/Bethlehem Bond funds 50% of total construction cost in the form of reimbursement. Under this Agreement:

- ✦ VIA will perform new construction for one (1) single family detached home identified as property number **1110 Cedar Street**.
- ✦ VIA will perform all required construction management and project oversight; in accordance with all laws, ordinances, and regulations of Augusta.
- ✦ VIA will perform all functions required to ensure delivery of a final product meeting all requirements as set forth by said Agreement to include:
 - Materials list to include brand name and/or model number of materials as specified or agreed to adjustments to specifications including but not limited to: appliances, windows, HVAC, fixtures and First Quality lumber. VIA is to provide a finish schedule with the specifications, brands and model numbers for all interior finishes 90 days from completion for agreement by HCD. Actual material invoices may be requested to verify charges.

B. Use of Funds: Laney Walker/Bethlehem Bond funds shall be used by VIA for the purposes and objectives as stated in Article I, Scope of Services, of this Agreement. The use of funding for any other purpose(s) is not permitted. The following summarizes the proposed uses of funds under this Agreement based on **total material and labor cost of \$152,455.36**

1. Profit

An amount not to exceed percent (50%) of the construction cost as outlined and approved in Article I. Scope of Services, Section B. Use of Funds and on the Work Write-Up, shall be paid to VIA for costs identified as necessary operating time and expenses in addition to the profit accrued in the development of one single family detached home identified as **1110 Cedar Street**. The design and specifications of the property shall be approved by HCD prior to construction (see Appendix). HCD will have the latitude to pay O&P directly to the procured developer/contractor on a pay for performance basis or upon the sale of the single family detached home identified as **1110 Cedar Street**.

2. Developer's Fee Disbursements

Developer's Fee shall be dispensed when construction is 100% completed and certificate of occupancy is received. Co-Developer's Fee is dispensed upon sale of the home and should not exceed sixteen percent (16%).

C. Program Location and Specific Goals to be Achieved

VIA shall conduct project development activities and related services in its project area Laney Walker/Bethlehem that incorporates the following boundaries: Fifteenth Street, R.A. Dent, Wrightsboro Road, Twiggs Street, MLK Boulevard and Walton Way.

D. Project Eligibility Determination

It has been determined that the use of Laney Walker/Bethlehem Bond Financing funds by VIA will be in compliance with legislation supporting community development in Laney Walker/Bethlehem as authorized under the Urban Redevelopment Authority which acts in behalf of the Augusta Commission to provide oversight of the operation of the Laney Walker/Bethlehem Redevelopment Project. Notwithstanding any other provisions of this contract, VIA shall provide activities and services as described in the description of the project, including use of funds, its goals and objectives, tasks to be performed and a detailed schedule for completing the tasks for this project as provided in Exhibit A of this contract.

ARTICLE II. BUDGET AND METHOD OF PAYMENT

VIA will carry out and oversee the implementation of the project as set forth in this Agreement and agrees to perform the required services under the general coordination of HCD. In addition, and upon approval by Augusta, VIA may engage the services of outside professional services consultants and contractors to help carry out the program and projects.

- A. Augusta shall designate and make funds available in the following manner:
1. Augusta agrees to pay VIA, a maximum of **\$152,455.36** under this Agreement for project expenses incurred as outlined in ARTICLE I, Scope of Services, subject to VIA's compliance with all terms and conditions of this Agreement and the procedures for documenting expenses and activities as set forth in said Agreement;
 2. The method of payment for construction costs, including only materials and labor as outlined and approved on the Work Write-Up, not to exceed the aforementioned contracted amount of **\$152,455.36** and shall be on a pay for performance basis provided VIA and HCD determine the progress is satisfactory. VIA shall utilize the AIA Form provided by HCD (see Appendix). For invoicing, VIA will include documentation showing proof of completion of work in accordance with the amount requested, inspected, and accepted by HCD, lien waivers for vendors and sub-contractors, as specified in the Work Write-Up found in Exhibit B & E.
 3. When nearing 50%, the Developer, VIA, should be prepared to pay their 50%: **\$76,227.28** as agreed to HCD for material and labor only.
 4. HCD will monitor the progress of the project and VIA's performance on a weekly basis with regards to the production of housing units and the overall effectiveness of project.

5. Upon the completion of this Agreement, any unused or residual funds remaining shall revert to Augusta and shall be due and payable on such date of the termination and shall be paid no later than thirty (30) days thereafter. VIA and HCD shall share in the cost and proceeds of developing the residence at **1110 Cedar Street** as follows:
6. Funds may not be transferred from line item to line item in the project budget without the prior written approval of Augusta Housing and Community Development.
7. This Agreement is based upon the availability of funding under the Laney Walker/Bethlehem Revitalization Project. Should funds no longer be available, it is agreed to by both parties that this contract shall terminate and any VIA deemed satisfactorily progress made within the contracted construction only amount not to exceed fifty percent (50%) shall be paid to VIA.
8. HCD will retain ten percent (10%) of an amount within the one hundred percent (100%) of construction costs, including only materials and labor as outlined and approved on the Work Write-Up, after the Certificate of Occupancy has been issued until VIA and HCD determine that all HCD punch-list items have been satisfied.

B. Project Financing

The Augusta Housing and Community Development will provide an amount not to exceed the actual construction costs including only materials and labor as outlined and approved on the Work Write-Up to be expended by VIA for construction costs related to the development of one single family detached home identified as **1110 Cedar Street**.

Additionally, HCD will provide 100% of all change orders (where applicable) as approved by HCD and VIA in writing.

All funding is being provided as payment for services rendered as per this Agreement.

C. Timetable for Completion of Project Activities

VIA shall be permitted to commence with the expenditure of Laney Walker Bethlehem Bond Financing funds as outlined in said Agreement upon procurement of a construction contractor in accordance with its policies and procedures; and approval of a detailed outline of project expenditures anticipated for the completion of the development within 120 days of said home identified as **1110 Cedar Street**.

Liquidated Damages

VIA agrees to pay as liquidated damages to HCD the sum of two hundred dollars (\$200.00) for each consecutive calendar day after the expiration of the Contract Time of Completion Time, except for authorized extensions of time by Augusta. This section is independent of any section within this Agreement concerning the default of VIA. The parties agree that these provisions for liquidated damages are not intended to operate as penalties for breach of Contract.

The liquidated damages set forth above are not intended to compensate Augusta for any damages other than inconvenience and loss of use or delay in services. The existence or recovery of such liquidated damages shall not

preclude Augusta from recovering other damages in addition to the payments made hereunder which Augusta can document as being attributable to the documented failure of VIA. In addition to other costs that may be recouped, Augusta may include costs of personnel and assets used to coordinate, inspect, and re-inspect items within this Agreement as well as attorney fees if applicable.

Specified Excuses

VIA is not responsible for delay in performance caused by hurricanes, tornados, floods, and other severe and unexpected acts of nature. In any such event, the contract price and schedule shall be equitably adjusted.

Temporary Suspension or Delay of Performance of Contract

To the extent that it does not alter the scope of this Agreement, Augusta may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this Agreement.

D. Project Budget: Limitations

All costs associated with construction, O&P, construction management, and real estate expenses have been outlined in said Agreement as percentage-based costs related to the development of one single family detached home identified as **1110 Cedar Street** as part of the Laney Walker/Bethlehem Revitalization Project. HCD will have the latitude to pay such costs directly to the procured construction contractor. VIA shall be paid a total consideration of no more than **\$152,455.360** for full performance of the services specified under this Agreement. Any cost above this amount shall be the sole responsibility of HCD. It is also understood by both parties to this contract that the funding provided under this contract for this specific project shall be the only funds provided by Augusta unless otherwise agreed to by Augusta and VIA.

Augusta shall adhere to the budget as outlined in the Work Write-Up (Exhibit B) in the performance of this contract.

ARTICLE III. TERM OF CONTRACT

The term of this Agreement shall commence on the date when this Agreement is executed by Augusta and VIA (whichever date is later) and shall end at the completion of all program activities, within the time specified in Article II.C, or in accordance with ARTICLE X: Suspension and Termination.

ARTICLE IV. DOCUMENTATION AND PAYMENT

- A. This is a pay-for-performance contract and in no event shall HCD provide advance funding to VIA, or any subcontractor hereunder.
- B. VIA shall not use these funds for any purpose other than the purpose set forth in this Agreement.
- C. Subject to VIA's compliance with the provisions of this Agreement, Augusta agrees to reimburse all budgeted costs allowable under federal, state, and local guidelines.

- D. All purchases of capital equipment, goods and services shall comply with the procurement procedures of OMB Circular A-110 "Uniform Administrative Requirements for Grant Agreements with Institutions of Higher Education, Hospitals and Other Non-Profit Organizations" as well as the procurement policy of Augusta.
- E. Requests by VIA for payment shall be accompanied by proper documentation and shall be submitted to HCD, transmitted by a cover memo, for approval no later than thirty (30) calendar days after the last date covered by the request. For purposes of this section, proper documentation includes: Updated Exhibit A- schedule (Gantt Chart), Updated Exhibit B- Work Write-Up, and AIA Form.
- F. VIA shall maintain an adequate financial system and internal fiscal controls.
- G. Unexpended Funds: Unexpended funds shall be retained by Augusta upon written request, Augusta may consider the reallocation of unexpended funds to eligible projects proposed by VIA.
- H. The terms of this Agreement supersede any and all provisions of the Georgia Prompt Pay Act.
- I. Upon the sale of the detached single-family home at **1110 Cedar Street**, HCD is to provide VIA with any outstanding payments on approved invoices and related costs received within ten (10) business days.

ARTICLE V. ADMINISTRATIVE REQUIREMENTS

Conflict of Interest

VIA agrees to comply with the conflict-of-interest provisions contained in 24 CFR 85.36, 570.611, OMB Circular A-110 and OMB Circular A-102 as appropriate.

This conflict-of-interest provision applies to any person who is an employee, agent, consultant, officer, or elected official or appointed official of VIA. No person described above who exercises, may exercise or has exercised any functions or responsibilities with respect to the activities supported under this contract; or who are in a position to participate in a decision-making process or gain inside information with regard to such activities, may obtain any financial interest or benefit from the activities, or have a financial interest in any contract, sub-contract, or agreement with respect to the contract activities, either for themselves or those with whom they have business or family ties, during their tenure or for one year thereafter. For the purpose of this provision, "family ties", as defined in the above cited volume and provisions of the Code of Federal Regulations, include those related as Spouse, Father, Mother, Father-in-law, Mother-in-law, Step-parent, Children, Step-children, Brother, Sister, Brother-in-law, Sister-in-law, Grandparent, Grandchildren of the individual holding any interest in the subject matter of this Agreement. VIA in the persons of Directors, Officers, Employees, Staff, Volunteers and Associates such as Contractors, Sub-contractors and Consultants shall sign and submit a Conflict-of-Interest Affidavit. (Affidavit form attached as part in parcel to this Agreement).

Augusta may, from time to time, request changes to the scope of this Agreement and obligations to be performed hereunder by VIA. In such instances, VIA shall consult with HCD/Augusta on any changes that will result in substantive changes to this Agreement. All such changes shall be made via written amendments to this Agreement and shall be approved by the governing bodies of both Augusta and VIA.

Statutes, regulations, guidelines and forms referenced throughout this Agreement are listed in Appendix A and are attached and included as part in parcel to this Agreement.

ARTICLE VI. OTHER REQUIREMENTS

- A. VIA agrees that it will conduct and administer activities in conformity with Pub. L. 88-352, "Title VI of the Civil Rights Act of 1964", and with Pub. L. 90-284 "Fair Housing Act" and that it will affirmatively further fair housing. One suggested activity is to use the fair housing symbol and language in VIA publications and/or advertisements. (24 CFR 570.601).
- B. VIA agrees that the ownership in the housing assisted units must meet the definition of "homeownership" in §92.2.
- C. VIA agrees to comply with 24 CFR Part I, which provides that no person shall be excluded from participation in this project on the grounds of race, color, national origin, or sex; or be subject to discrimination under any program or activity funded in whole or in part with federal funds made available pursuant to the Act.
- D. No person employed in the work covered by this contract shall be discharged or in any way discriminated against because he or she has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable hereunder to his or her employer. (24 CFR 570.603)
- E. VIA agrees that in accordance with the National Environmental Policy Act of 1969 and 24 CFR Part 58, it will cooperate with Augusta/HCD in complying with the Act and regulations, and that no activities will be undertaken until notified by Augusta/HCD that the activity is in compliance with the Act and regulations. Prior to beginning any project development activity, an environmental review must be conducted by HCD pursuant to (24 CFR 570.604).
- F. Consistent with the Flood Disaster Protection Act of 1973 (42 USC 4001-4128), VIA agrees that funds shall not be expended for acquisition or construction in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards (representing the 100-year floodplain). Exceptions will be made if the community is participating in the National Flood Insurance Program or less than a year has passed since FEMA notification and flood insurance has been obtained in accordance with section 102(a) of the Flood Disaster Protection Act of 1973.
- G. VIA agrees to take all reasonable steps to minimize displacement of persons as a result of assisted activities. Any such activities will be conducted in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA) and the Housing and Community Development Act of 1974 (24 CFR 570.606).
- H. VIA agrees to comply with Executive Order 11246 and 12086 and the regulations issued pursuant thereto (41 CFR 60) which provides that no person shall be discriminated against on the basis of race, color, religion, sex, or national origin. VIA will in all solicitations or advertisements for employees placed state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin or familial status.

- I. VIA will not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or familial status. VIA will take appropriate action to ensure that applicants are employed, and that employees are treated fairly during employment, without regard to their race, color, religion, sex, national origin, or familial status. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or advertising; lay-off or termination, rates of pay or other forms of compensation; and selection for training, including apprenticeship. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by Augusta setting forth the provisions of this nondiscrimination clause.
- J. In accordance with Section 570.608 of the CDBG Regulations, VIA agrees to comply with the Lead Based Paint Poisoning Prevention Act pursuant to prohibition against the use of lead-based paint in residential structures and to comply with 24 CFR 570.608 and 24 CFR 35 with regard to notification of the hazards of lead-based paint poisoning and the elimination of lead-based paint hazards.
- K. VIA agrees to comply with 24 CFR 570.609 with regards to the direct or indirect use of any contractor during any period of debarment, suspension, or placement in ineligibility status. No contract will be executed until such time that the debarred, suspended, or ineligible contractor has been approved and reinstated by HCD.
- L. In accordance with 24 CFR part 24, subpart F, VIA agrees to administer a policy to provide a drug-free workplace that is free from illegal use, possession or distribution of drugs or alcohol by its beneficiaries as required by the Drug Free Workplace Act of 1988.
- M. Any publicity generated by VIA for the project funded pursuant to this Agreement, during the term of this Agreement or for one year thereafter, will make reference to the contribution of HCD in making the project possible. The words "Augusta, Georgia Department of Housing and Community Development" will be explicitly stated in any and all pieces of publicity; including but not limited to flyers, press releases, posters, brochures, public service announcements, interviews, and newspaper articles.
- N. VIA shall comply with all applicable laws, ordinances and codes of the federal, state, and local governments and shall commit no trespass on any public or private property in performing any of the work embraced by this contract. VIA agrees to obtain all necessary permits for intended improvements or activities.
- O. VIA shall not assign any interest in this contract or transfer any interest in the same without the prior written approval of Augusta.
- P. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by HCD, setting forth the provisions of this nondiscrimination clause. Except as prohibited by law or the March 14, 2007, Court Order in the case Thompson Wrecking, Inc. v. Augusta, Georgia, Civil Action No. 1:07-CV-019 (S.D. GA 2007). **ANY LANGUAGE THAT VIOLATES THIS COURT ORDER IS VOIDABLE BY THE AUGUSTA GOVERNMENT.** VIA agrees to comply with any federally mandated requirements as to minority and women owned business enterprises.
- Q. All contractors and subcontractors entering into contracts with Augusta, Georgia for the physical performance of services shall be required to execute an Affidavit verifying its compliance with O.C.G.A § 13-10-91, stating affirmatively that the individual, firm, or

corporation which is contracting with Augusta, Georgia has registered with and is participating in a federal work authorization program. All contractors and subcontractors must provide their E-Verify number and must be in compliance with the electronic verification of work authorized programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603, in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91 and shall continue to use the federal authorization program throughout the contract term. All contractors shall further agree that, should it employ or contract with any subcontractor in connection with the physical performance of services pursuant to its contract with Augusta, Georgia, the contractor will secure from such subcontractors each subcontractor's E-Verify number as evidence of verification of compliance with O.C.G.A §13-10-91 on the subcontractor affidavit provided in Rule 300-10-01-.08 or a substantially similar form. All contractors shall further agree to maintain records of such compliance and provide a copy of each such verification to HCD at the time the subcontractors are retained to perform such physical services.

- R. VIA agrees that low-and-moderate income persons reside within Augusta-Richmond County and that contract for work in connection with the project be awarded to eligible businesses which are located in or owned in substantial part by persons residing in Richmond County. (24 CFR 570.697) **Utilization of contractors and/or subcontractors outside of the Augusta, Georgia- Richmond County area is not desirable.**
- S. VIA agrees to comply with the prohibitions against discrimination on the basis of age under the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) and implementing regulations at 24 CFR part 146 and the prohibitions against otherwise qualified individuals with handicaps under section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at 24 CFR part 8. For purposes of the emergency shelter grants program, the term dwelling units in 24 CFR Part 8 shall include sleeping accommodations.
- T. VIA will not discriminate against any employee or applicant for employment on the basis of religion and will not give preference of persons on the basis of religion. VIA will not discriminate against any person applying for shelter on the basis of religion. VIA will provide no religious instruction or counseling, conduct no religious worship or services, engage in no religious proselytizing, and exert no religious influence in the provision of shelter and other eligible activities funded by this grant.
- U. Indirect costs will only be paid if VIA has indirect cost allocation plan approved by the Augusta Housing and Community Development prior to the execution of this Contract.
- V. HCD shall not approve any travel or travel related expenses to VIA with funds provided under this.
- W. Construction Requirements

In the absence of local codes, properties must meet the HUD Section 8 Housing Quality Standards [HQS]. All housing assisted under this Agreement is "new construction" by definition and therefore must meet the local building codes for new housing in Augusta, Georgia, as applicable.

VIA is required by state and local laws, to dispose of all site debris, trash, and rubble from the project be transported to and disposed of at the Augusta, Georgia Solid Waste Landfill in accordance with local and state regulations. The contractor shall provide evidence of proper disposal of, the name and location of the disposal facility, date of disposal and all related fees. Augusta, Georgia may, at reasonable times, inspect the part of the plant, place of business, or work site of VIA or any subcontractor of VIA or subunit thereof which is pertinent to the performance of any contract awarded or to be awarded by Augusta Housing & Community Development Department.

ARTICLE VII. SUSPENSION AND TERMINATION

- A. In the event VIA materially fails to comply with any terms of this Agreement, including the timely completion of activities as described in the timetable and/or contained in ARTICLE I.I.C, Augusta, Georgia may withhold cash payments until VIA cures any breach of the Agreement. If VIA fails to cure the breach, Augusta may suspend or terminate the current award of funds. VIA will not be eligible to receive any other funding.
- B. Damages sustained as a result of any breach of this Agreement. In addition, to any other remedies it may have at law or equity, HCD may withhold any payments to VIA for the purposes of offsetting the exact amount of damages once determined.
- C. In the best interest of the project and to better serve the people in the target areas and fulfill the purposes of the Laney Walker/ Bethlehem Revitalization project, either party may terminate this Agreement upon giving thirty (30) day notice in writing of its intent to terminate, stating its reasons for doing so. In the event Augusta terminates this Agreement, Augusta shall pay VIA for documented committed eligible costs incurred prior to the date of notice of termination.
- D. Notwithstanding any termination or suspension of this Agreement, VIA shall not be relieved of any duties or obligations imposed on it under this Agreement with respect to HCD funds previously disbursed or income derived therefrom.
- E. To the extent that it does not alter the scope of this Agreement, Augusta, GA may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this contract.

ARTICLE VIII. NOTICES

Whenever either party desires to give notice unto the other, such notice must be in writing, sent by certified United States mail, return receipt requested, addressed to the party for whom it is intended, at the place last specified, and the place for giving of notice shall remain such until it shall have been changed by written notice.

Augusta will receive all notices at the address indicated below:

Office of the Administrator
 ATTN: Takiyah A. Douse, Interim Administrator
 Municipal Building
 535 Telfair Street, Suite 910
 Augusta, Georgia 30901

With copies to:
 Augusta Housing and Community Development Department
 ATTN: Hawthorne Welcher, Jr., Director
 510 Fenwick Street
 Augusta, Georgia 30901

Vetted Investments & Acquisitions, LLC. will receive all notices at the address indicated below:

Vetted Investments & Acquisitions
 ATTN: Jeremy Johnson
 2333 Woodsman Drive
 Augusta, GA. 30906

With copies to:
 Capitalrise, LLC
 2924 Aylesbury Drive
 Augusta, GA. 30909

ARTICLE IX. INDEMNIFICATION

VIA will at all times hereafter indemnify and hold harmless Augusta, its officers, agents, and employees, against any and all claims, losses, liabilities, or expenditures of any kind, including court costs, attorney fees and expenses, accruing or resulting from any or all suits or damages of any kind resulting from injuries or damages sustained by any person or persons, corporation, or property, by virtue of the performance of this Agreement. By execution of this Agreement, VIA specifically consents to jurisdiction and venue in the Superior Court of Richmond County, Georgia and waives any right to contest jurisdiction or venue in said Court.

Should it become necessary to determine the meaning or otherwise interpret any work, phrase, or provision of this Agreement, or should the terms of this Agreement in any way be the subject of litigation in any court of laws or equity. It is agreed that the laws of the State of Georgia shall exclusively control the same.

The parties hereto do agree to bind themselves, their heirs, executors, administrators, trustees, successors, and assigns, all jointly and severally under the terms of this Agreement.

ARTICLE X. PRIOR AND FUTURE AGREEMENTS

This Document incorporates and includes all prior negotiations, correspondence, conversations, agreements, or understandings applicable to the matters contained herein and the parties agree that there are no commitments, agreements, or understandings concerning the subject matter of this Agreement that are not contained in this document. Accordingly, it is agreed that no deviation from the terms hereof shall be predicated upon any prior representations or agreements whether oral or written. HCD is not obligated to provide funding of any kind to VIA beyond the term of this Agreement.

VIA warrants that no person or selling agency has been employed or retained to solicit or secure this Agreement upon an agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by VIA for the purpose of securing business and that VIA has not received any non-Augusta fee related to this Agreement without the prior written consent of HCD. For breach or violation of this warranty, HCD shall have the right to annul this Agreement without liability or at its discretion to deduct from the Agreement prices of consideration the full amount of such commission, percentage, brokerage, or contingent fee.

ARTICLE XI. LEGAL PROVISIONS DEEMED INCLUDED

Each and every provision of any law or regulations and clause required by law or regulation to be inserted in this Agreement shall be deemed to be inserted herein and this Agreement shall be read and enforced as though it were included herein and if, through mistake or otherwise, any such provision is not inserted or is not correctly inserted, then upon application of either party this Agreement shall forthwith be amended to make such insertion.

ARTICLE XII. DISCLAIMER

Any and all language in this Agreement pertaining to HUD regulations and/or the utilizations of HOME funding is deemed voidable when utilizing Laney Walker Bond funds in its entirety. However, if there are any federal funds utilized by this project, including Homebuyer Subsidy funds, this Agreement will be enforceable in its entirety.

ARTICLE XIII. COUNTERPARTS

This Agreement is executed in two (2) counterparts– each of which shall be deemed an original and together shall constitute one and the same Agreement with one counterpart being delivered to each party hereto.

ARTICLE XIV. INSURANCE

The DEVELOPER/CONTRACTOR shall provide, at all times that this Agreement is in effect, Insurance with limits of not less than:

- A. Workmen’s Compensation Insurance – in accordance with the laws of the State of Georgia.
- B. Public Liability Insurance – in an amount of not less than One Million (\$1,000,000) Dollars for injuries, including those resulting in death to any one person, and in an amount of not less than One Million (\$1,000,000) Dollars on account of any one occurrence.
- C. Property Damage Insurance – in an amount of not less than One Million (\$1,000,000) Dollars from damages on account of an occurrence, with an aggregate limit of One Million (\$1,000,000) Dollars.
- D. Valuable Papers Insurance – in an amount sufficient to assure the restoration of any plans, drawings, field notes, or other similar data relating to the work covered by the Project.
- E. Professional Liability Insurance – in an amount of not less than One Million (\$1,000,000) Dollars or an amount that correlates to the aggregate fee on the project should it exceed \$1,000,000.

IN WITNESS WHEREOF, the parties have set their hands and seals as of the date first written above:

Approved as to Form by (please initial here):
Augusta, GA Law Department

Date: _____

By: _____
Garnett L. Johnson, as its Mayor

Date: _____

By: _____
Takiyah A. Douse, as its Interim Administrator

Date: _____

By: _____
Hawthorne Welcher, Jr., as its Director

Date: _____

Affix Seal Here:

By: _____
Lena Bonner, as its Clerk of Commission

ATTEST: VIA

By: _____
Jeremy Johnson, VIA

Date: _____

APPENDIX 1
Architectural Plans/Designs

APPENDIX 2
American Institute of Architects (AIA) Form - Sample

APPENDIX 3
Statutes: (Available on Request)

OMB Circular A-110 - Uniform Administrative Requirements for Grants and Agreement with Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations

OMB Circular A- 122 - Cost Principles for Non-Profit Organizations

OMB Circular A-133 - Audits of Institutions of Higher Education & other Non-Profit Institutions

40 USC 276 Davis-Bacon Act

40 USC 327 Contract Work Hours and Safety Standard Act

Uniform Relocation Assistance and Real Property Acquisition Policies Act

Lead Based Paint Poisoning Prevention Act

24 CFR 35 – HUD Requirements for Notification, Evaluation and Reduction of Lead-Based Paint Hazards in Housing Receiving Federal Assistance and Federally-Owned Residential Property being sold, Final Rule

Augusta, Georgia- Richmond County Procurement Policy

Conflict of Interest Affidavit

APPENDIX 4
CONSTRUCTION REQUIREMENTS

1. All construction projects shall comply with Federal, State, and local codes and ordinances, including, but not limited to, the following:
 - A. All work shall be in compliance with the International Building Code current edition of National Electric Code, International Plumbing and Mechanical Code, and ADA 2010 Guidelines.
 - B. Georgia Energy Code International Energy Conservation Code (IECC-2015).
 - C. Williams-Steiger Occupational Safety and Health Act of 1970, Public Law 91-596.
 - D. Part 1910 – Occupational Safety and Health Standards, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 202, October 18, 1972).
 - E. Part 1926 - Safety and Health Regulations for Construction, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 243, December 16, 1972).
 - F. Section 106 of the National Historic Preservation Act (16 U.S.C. 470f).
2. Project Review. All plans, specifications, work write-ups, projected cost estimates, punch lists or other means of outlining work on a particular project will be submitted in writing to HCD for review and approval prior to bidding. HCD Construction and Rehabilitation Inspectors or HCD's agent will review these items for compliance with new construction and/or rehabilitation standards and materials use.
3. Rehabilitation Standards. All rehabilitation work will comply with the "Uniform Physical Condition Standards for HUD Housing." Workmanship and material standards will comply with the Antioch Ministries, Inc. -Richmond County Housing & Community Development Department Contractors Manual and Performance Standards. A copy of this manual is provided to every contractor when included on the HCD Approved Contractors List. A copy is enclosed for inclusion.
4. Inspections. All projects will be inspected and approved by an HCD Construction and Rehabilitation Inspector or HCD's agent prior to release of the funds for that project.

APPENDIX 5
CONTRACTOR ACKNOWLEDGEMENT

Capitalrise, LLC acknowledges that this contract and any changes to it by amendment, modification, change order or other similar document may have required or may require the legislative authorization of the Board of Commissioner and approval of the Mayor. Under Georgia law, Capitalrise, LLC is deemed to possess knowledge concerning HCD ability to assume contractual obligations and the consequences of Contractor’s provision of goods or services to HCD under an unauthorized contract, amendment, modification, change order or other similar document, including the possibility that Capitalrise, LLC may be precluded from recovering payment for such unauthorized goods or services. Accordingly, Capitalrise, LLC agrees that if it provides goods or services to Augusta, Georgia under a contract that has not received proper legislative authorization or if Capitalrise, LLC provides goods or services to Augusta, Georgia in excess of the any contractually authorized goods or services, as required by Augusta, Georgia’s Charter and Code, Augusta, Georgia may withhold payment for any unauthorized goods or services provided by Capitalrise, LLC. Capitalrise, LLC assumes all risk of non-payment for the provision of any unauthorized goods or services to Augusta, Georgia (Laney Walker/Bethlehem Revitalization Project), and it waives all claims to payment or to other remedies for the provision of any unauthorized goods or services to Augusta, Georgia, however characterized including, without limitation, all remedies at law or equity. This acknowledgement shall be a mandatory provision in all Augusta, Georgia contracts for goods and services, except revenue producing contracts.

Name
Capitalrise, LLC, Owner

EXHIBIT A

PROJECT SCHEDULE OF COMPLETION

VIA MUST PROVIDE A COMPLETED SCHEDULE OF COMPLETION AS EXHIBIT A- WITH APPROPRIATE PROJECT MILESTONES WITHIN 10 TO 15 DAYS AFTER SIGNING THIS AGREEMENT. THIS SCHEDULE MUST BE PROVIDED IN SUFFICIENT DETAIL TO PERMIT HCD TO MONITOR AND ASSESS PROGRESS IN CONNECTION WITH THE PERFORMANCE OF THIS AGREEMENT. A SAMPLE SCHEDULE IS PROVIDED.

EXHIBIT B

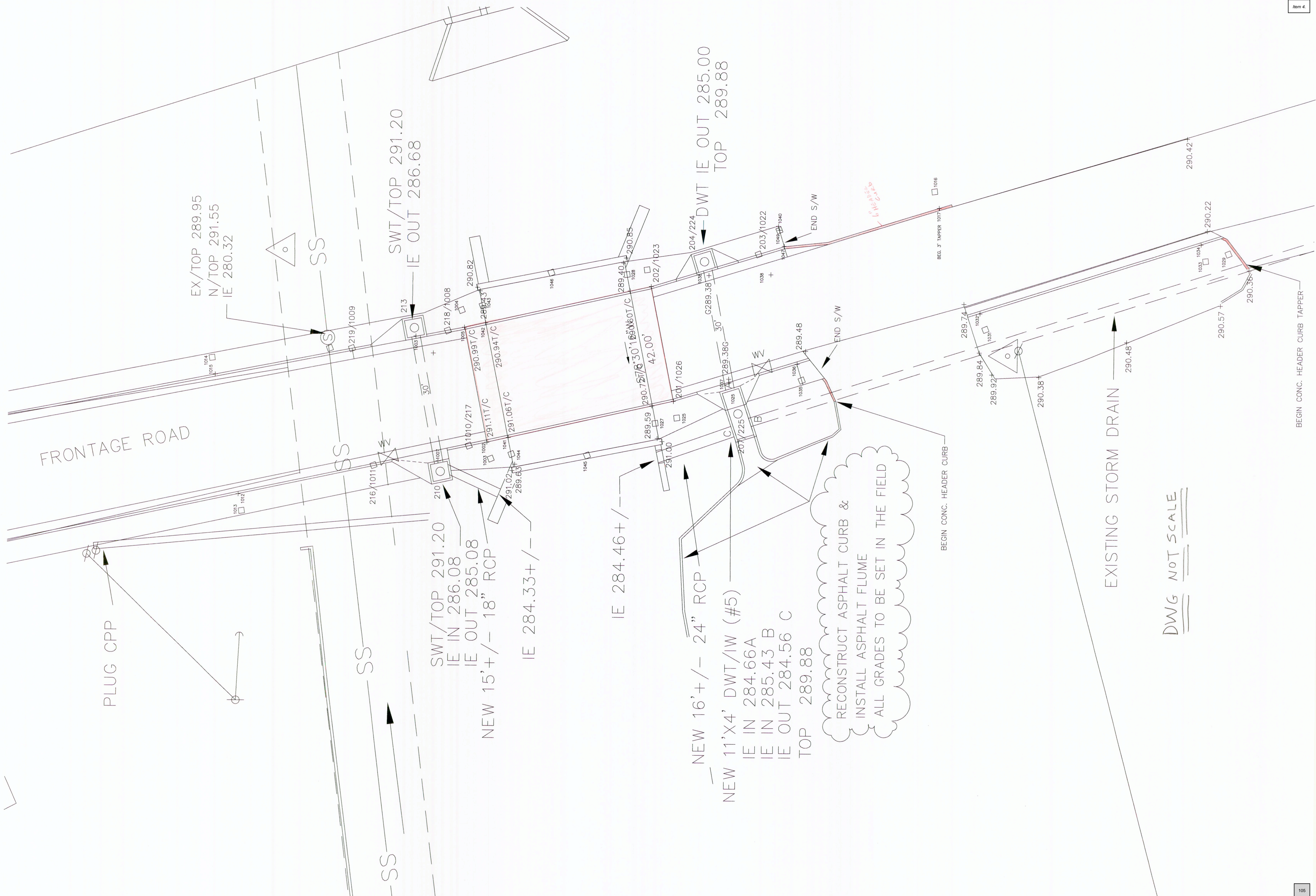
WORK WRITE-UP

EXHIBIT C

PROJECT DEVELOPMENT AND MANAGEMENT PROCEDURES

1. HCD must review and approve all new construction work, project specifications and total development cost for each residential development project before work is commenced and before funds can be released for payment reimbursement. Construction payments will be released to VIA in accordance with the attached drawdown schedule and budget.
2. HCD will provide the lot on which all new construction efforts will be performed under this Agreement and in connection with the project.
3. With HCD approval, VIA may use funds under this Agreement for the following purposes:
 - a. To support development costs as outlined in Item 6 below.
4. Completion delays, remedies, and penalties.
 - a. If the Contractor fails to complete the work within the time frame specified in the contract, plus any authorized delays, HCD may:
 - i. Terminate the contractor in accordance with the “Provisions for Augusta Housing and Community Development Department (HCD)” clause of this contract.
 - ii. Assess liquidated damages of Two Hundred Dollars (\$200) per working day from the schedule of completion to the date of final acceptance of the project. The total amount of liquidated damages will be deducted from the total contract price, plus any change order amounts.
 - b. The contractor shall not be charged with liquidated damages for any delays in the completion of the work due:
 - i. To any acts of the Federal, State, or City/County Government; including controls or restrictions upon or requisitioning of materials, equipment, tools or labor by reason of war, National Defense, or any other National, State, or City/County emergency.
 - ii. To any acts of the Owner that hinder the progress of the work;
 - iii. To cause not reasonable foreseeable by the parties in this contract at the time the execution of the contract which are beyond the control and without the fault or negligence of the Contractor; including but not restricted to acts of God; acts of the public enemy; acts of another contractor in the performance of some other contract with the owner; fires; floods; epidemics; quarantine restrictions; strikes; freight embargoes; and weather or unusual severity such as hurricanes, tornadoes, cyclones, and other extreme weather conditions; and
 - iv. To any delay of the subcontractor occasioned by any other causes specified in subparagraphs A and B above. Provided, however, that the contractor promptly (within 10 days) notifies HCD and VIA in writing of the cause of the delay. If the facts show the delay to be properly excusable under the terms of this contract, HCD shall extend the contract time by a period commensurate with the period of authorized delay to the completion of the work as whole; in the form of an amendment to this contract.
5. New Construction Costs and Requirements

- a. VIA will provide construction management for the project to ensure that construction work is being carried out in accordance with plans, specifications and the project budget.
 - b. VIA must make sure contractors obtain and post all permits on job site.
 - c. VIA must collect progress and final lien releases from the contractor, subcontractors, and material suppliers prior to making a payment to a contractor.
 - d. HCD or its agent may continually inspect each house for contract compliance and to determine the percent of completion prior to processing a draw request and releasing payment. HCD may choose not to release payments if the work being performed is not of acceptable quality to HCD and if the house is not being built or rehabilitated in accordance with plans and specifications, or if the project is not on schedule.
6. Permanent Financing and Sales Prices
- a. The sales price of each home sold in accordance with this Agreement must be based on a formal appraisal. Unless otherwise agreed to by HCD, the sales price of each house shall not exceed the appraised value of the house.
 - b. The purchasers of houses constructed must meet the Augusta, GA requirements.
 - c. Buyers will be required to borrow no less than 80% of the sale prices of the house from a private lending institution unless otherwise agreed to by HCD.



FRONTAGE ROAD

PLUG CPP

EX/TOP 289.95
N/TOP 291.55
IE 280.32

SWT/TOP 291.20
IE OUT 286.68

SWT/TOP 291.20
IE IN 286.08
IE OUT 285.08

NEW 15' +/- 18" RCP

IE 284.33 +/-

IE 284.46 +/-

NEW 16' +/- 24" RCP

NEW 11'x4' DWT/1W (#5)

IE IN 284.66A

IE IN 285.43 B

IE OUT 284.56 C

TOP 289.88

DWT IE OUT 285.00
TOP 289.88

RECONSTRUCT ASPHALT CURB &
INSTALL ASPHALT FLUME
ALL GRADES TO BE SET IN THE FIELD

BEGIN CONC. HEADER CURB

EXISTING STORM DRAIN

DWG NOT SCALE

AUGUSTA HOUSING AND COMMUNITY DEVL.

FOR Vetted Investment & Aquisitions, LLC

PO Box 8076 Fort Gordon, GA. 30905

Project Location: 1117 CEDAR ST. AUGUSTA ,GA. 30901

NOTICE

These plans and construction are subject to inspection by the Augusta Richmond County Inspection Dept. before, during and after completion of construction. All inspections are based on ICC or IRC codes as adopted by the State of Georgia & Richmond County. Any oversights on the part of the architect, contractor, or plans examiner not detected during preconstruction review of these prints will be subject to the above code and correction may be required.

Augusta Richmond County
Inspection Dept.

INSPECTIONS	
FSL	REL
TPE	R/MC
GRD	RPL
FT	P/P/R
FFT	FBU
CPL	FEL
CBU	FMC
MBU	FPL
INS	Low Vol
RFR	Gas Line
C-to CHL	

- 2 BDRM HOUSE
- LETTER FROM UTILITIES IN FILE
- VARIANCE IN FILE
- APPROVED SUBDIVISION IN FILE

SHEET INDEX

ID	Name
A-001	COVER SHEET
A-1	1. S-1 SITE PLAN
A-102	A-101 FIRST FLOOR
A-103	F-1 FOUNDATION PLAN
A-201	SOUTH ELEVATION
A-202	NORTH ELEVATION
A-203	EAST ELEVATION
A-204	WEST ELEVATION
FS-1	NCS DOOR FTMISH SCHEDULE

PROJECT DATA :

PROJECT INFORMATION:
ZONING: LEGAL DESCRIPTION: CONSTRUCTION TYPE: IIIA
PROJECT OCCUPANCY GROUP: GROUP R (RESIDENTIAL SINGLE FAMILY DETACHED) (IBC310.1)
PROJECT ADDRESS: 1117 Cedar St, Augusta, GA 30901 Vetted Investments & Acquisitions, LLC PO Box 8076 Fort Gordon, GA 30905

TYPE OF CONSTRUCTION: TYPE V WOOD FRAMING, NON-SPRINKLED
HEIGHT: 1 STORY 15'-8" AREA: 1,280 SQUARE FEET/1 STORY/15'-8" (IBC 406.1.2)
BUILDING CODE: IBC 2021 INTERNATIONAL BUILDING CODE IRC 2021 INTERNATIONAL RESIDENTIAL CODE

SQUARE FOOTAGE
FIRST FLOOR: 1,176 SQ. FT.
TOTAL A/C: 1,176 SQ. FT.
FRONT COV. PORCHED
GARAGE: N/A
TOTAL SQ. FT.
LOT USAGE
FOOTPRINT: 1,176 SQ. FT.
LOT SIZE:
TRACT A 059-2-185-00-0 TRACT B 059-2-184-00-0 TRACT C 059-2-183-00-0 TRACT D 059-2-182-00-0
NON ROOF AREA % OF LOT

THESE DEVELOPED DRAWINGS SHALL BE KEPT ON JOB SITE AND ACCESSIBLE FOR DURATION OF CONSTRUCTION.

Augusta Richmond County Inspection Dept.

By: *LLM* Date: 11/13

Emergency escape and rescue required. Basement with habitable space and every sleeping room shall have at least one operable emergency escape and rescue window or exterior door opening for emergency escape and rescue.

Minimum opening area. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet.

Exception: Grade floor openings shall have a minimum net clear opening of 8 square feet.

Minimum opening height. The minimum net clear opening height shall be 24 inches.

Minimum opening width. Minimum net clear opening width shall be 20 inches.

Operational constraints. Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys or tools.

Please check manufacturer's specifications.

ANCHOR BOLTS PER CODE

Smoke and Carbon Monoxide Detectors shall meet the requirements of section R311 through R315 of the residential code and all Amendments to this code section.

NOTE

FOUNDATION & SLAB SUB GRADE SHALL BE TERMITE TREATED & INSPECTED BEFORE SLAB POURED.

FOUNDATION ANCHOR BOLT SHALL BE 1/2" X 10" & SPACED 6' O.C. INSTALL ONE ANCHOR BOLT 12" OFF EACH CORNER.

SEE FOUNDATION PLAN FOR LOCATION OF 8" INCH THICKEN GRADE BEAMS.

FINISH ELEVATIONS SHALL PROVIDE A POSITIVE WATER FLOW AWAY FROM THE BUILDING ON ALL SIDE. PROTECT ADJACENT STREET & OTHER PROPERTY FROM SOIL EROSION. PROVIDE C POP SILK FENCING AS NEEDED TO PREVENT SOIL EROSION.

YARD GRASS SHALL BE ESTABLISH BEFORE FINAL INSPECTION IS ISSUE AND OR CERTIFICATE OF OCCUPANCY.

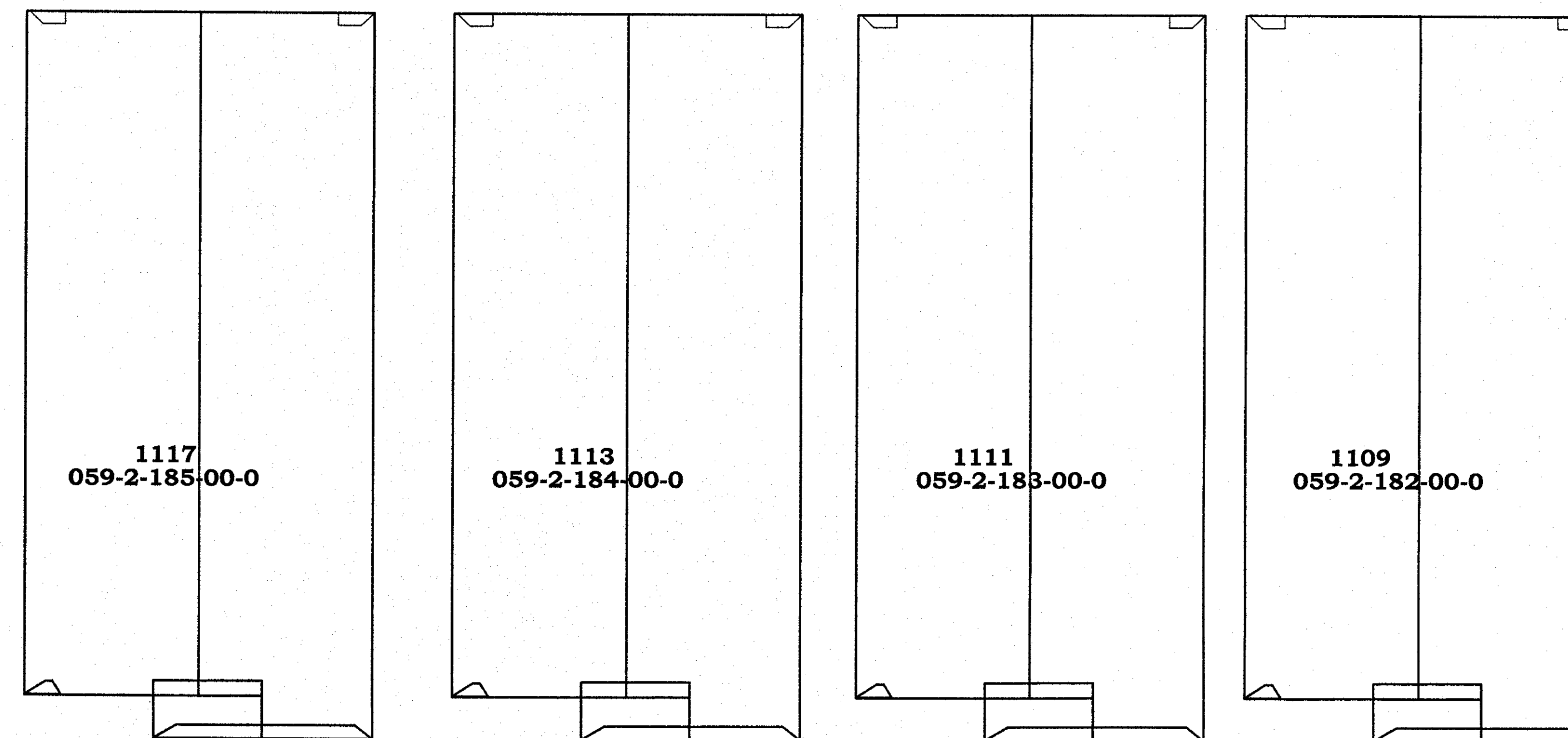
DO NOT SCALE DRAWING; IF ANY CLARITY NEEDED CALL DESIGN BUILD CONTRACTOR LISTED ON THE PLANS.

ALL EXISTING UTILITIES SHALL BE LOCATED AND PROPERLY MARKED BEFORE ANY DIGGING ON SITE. (CALL 811 FOR ALL LOCATES.)

ALL CONSTRUCTION PHASES SHALL BE GOVERN BY THE LOCAL CODE ,THE INTERNATIONAL RESIDENTIAL BUILDING CODES, INTERNATIONAL PLUMBING & MECHANICAL CODE, NATIONAL ELECTRICAL CODE, & ANY UPDATES THAT APPLY.

ALL SUBCONTRACTOR & TRADEMANS SHALL VERIFY ANY CONCERN OR ERRORS IN WRITING TO THE CONTRACTOR FOR CLARITY OR DICUSSION.

DESIGN BUILD CONTRACTOR SHALL BE HELD HARMLESS FOR ANY ERRORS OR OMISSIONS.



CEDAR STREET

2
A-001 S-1 SITE PLAN
SCALE: 1/8" = 1'-0"

Item 4.
LARRY L. MCCORD
DESIGN/BUILD
2016 HIGHLAND AVE AUGUSTA GA. 30904
llmccord@comcast.net
706.733.2931 (0)

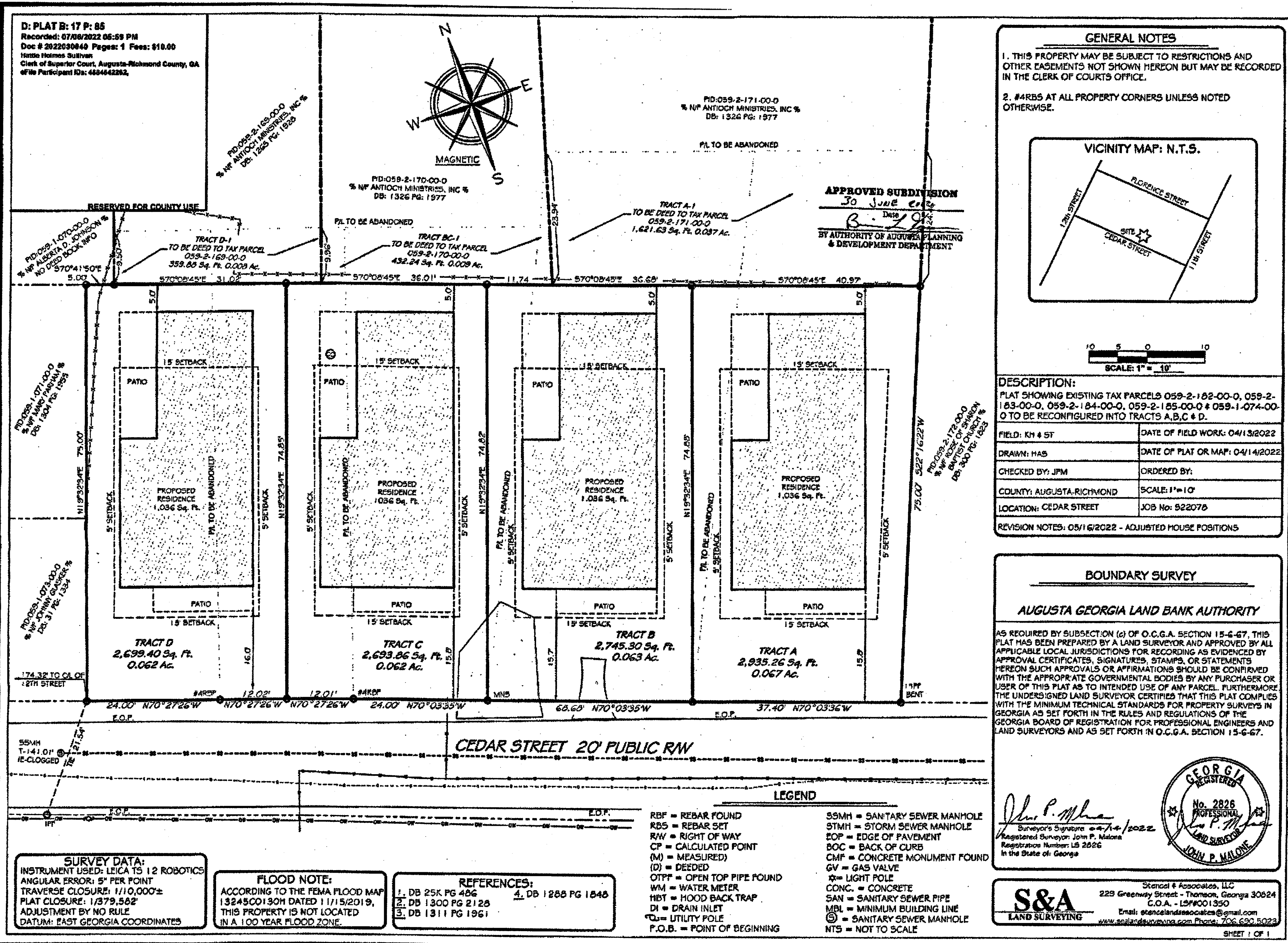
NEW RESIDENCES
LOTS 1117,1113,1111,1109 CEDAR ST.
AUGUSTA GA. 30901
VETTED INVESTMENTS ACQUISITIONS, LLC
PO BOX 8076
FORT GORDON, GA 30906

REVISED	DATE	DESCRIPTION
	3/2/22	PRELIM. FL.
	10/11/22	FIN. SET

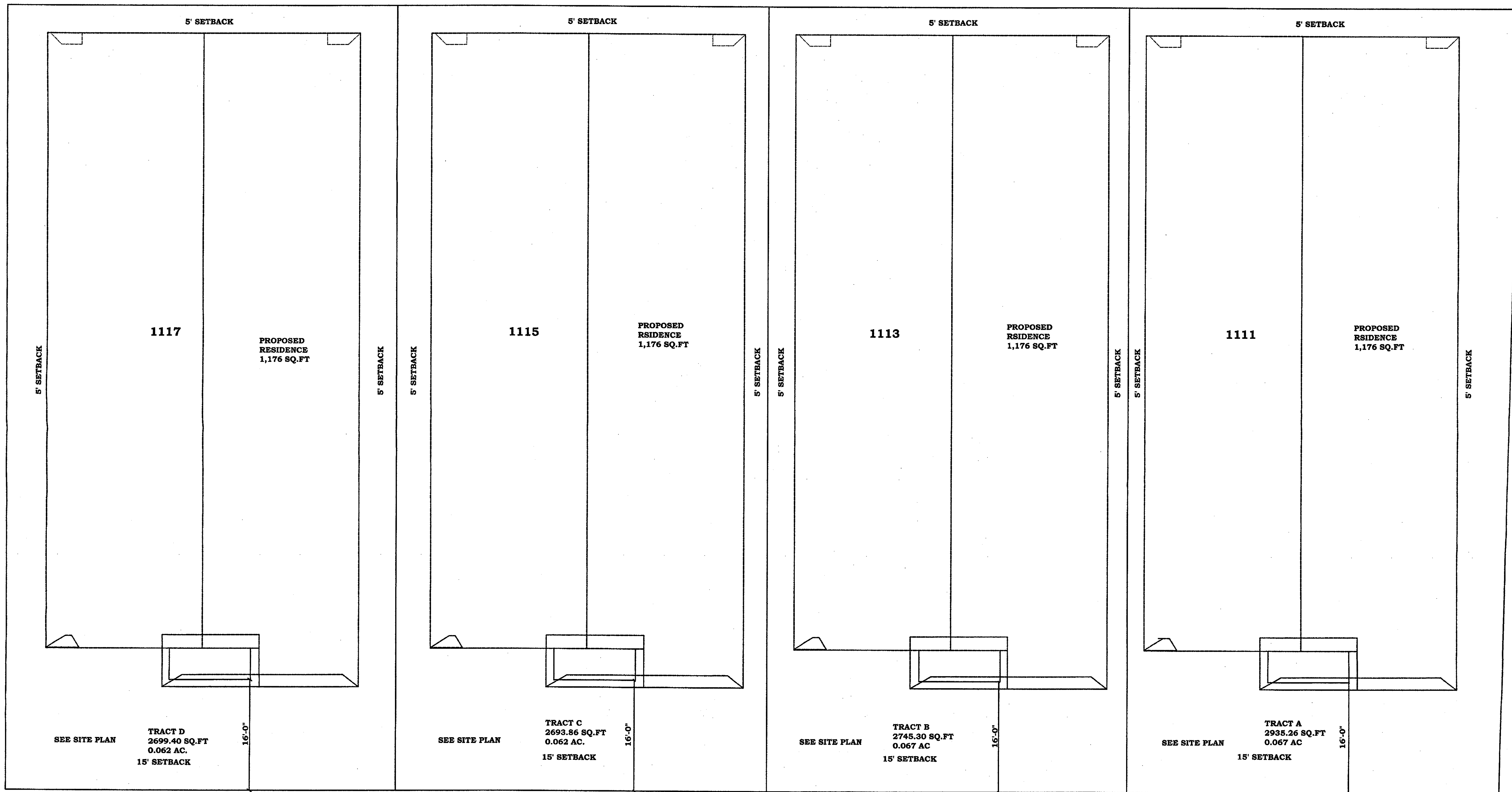
PROJECT NO.
DRAWN BY: LLM
CHKD. BY:

SHEET NO.
A-001

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 A+R WWW.ROBERTSRIVERA.COM <small>NOTE: ALL DIMENSIONS ON EXISTING CONDITIONS AND DEMOLITION PLANS TO BE FIELD VERIFIED. ALL RIGHTS RESERVED RobertsRivera LLC NO REPRODUCTION UNLESS WRITTEN CONSENT GIVEN.</small>	 Prepared For: Atelier Hornete Drawn by: RobertsRivera Consultants: N.A.	Project Address 1117 Cedar St, Augusta, GA 30901 Vetted Investments & Acquisitions, LLC PO BOX 8076 Fort Gordon, GA 30905	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>AMENDMENT</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev.	AMENDMENT	DATE													1117 Cedar St, Augusta, GA 30901 Survey SCAL 1" = 20'-0" DRAWN: Author	DRAWING No. <h1 style="margin: 0;">A002</h1>
Rev.	AMENDMENT	DATE																		



CEDAR STREET

1
A-1
S-1 SITE PLAN
SCALE: 1/4" = 1'-0"

Item 4.
LARRY L. MCCORD
DESIGN/BUILD
2016 HIGHLAND AVE
AUGUSTA, GA. 30904
llmccord@comcast.net
706 733 2931 (0)

NEW RESIDENCES
LOTS 1117, 1113, 1111, 1109 CEDAR ST.
AUGUSTA, GA. 30901
VETTED INVESTMENTS ACQUISITIONS, LLC
PO BOX 8076
FORT GORDON, GA 30906

REVISED	DATE	DESCRIPTION
	3/2/22	PRELIM. FL.
	10/11/22	FIN. SET

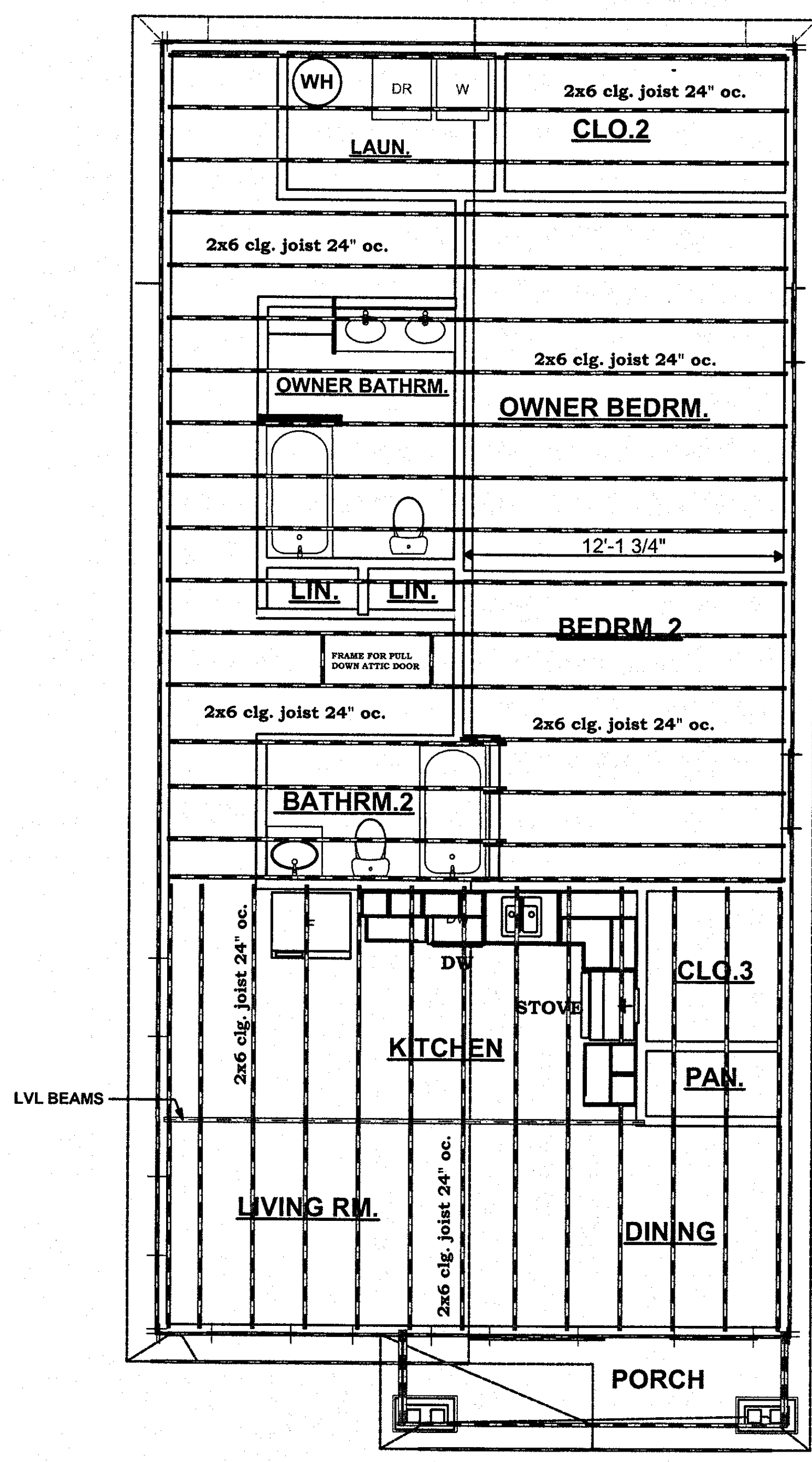
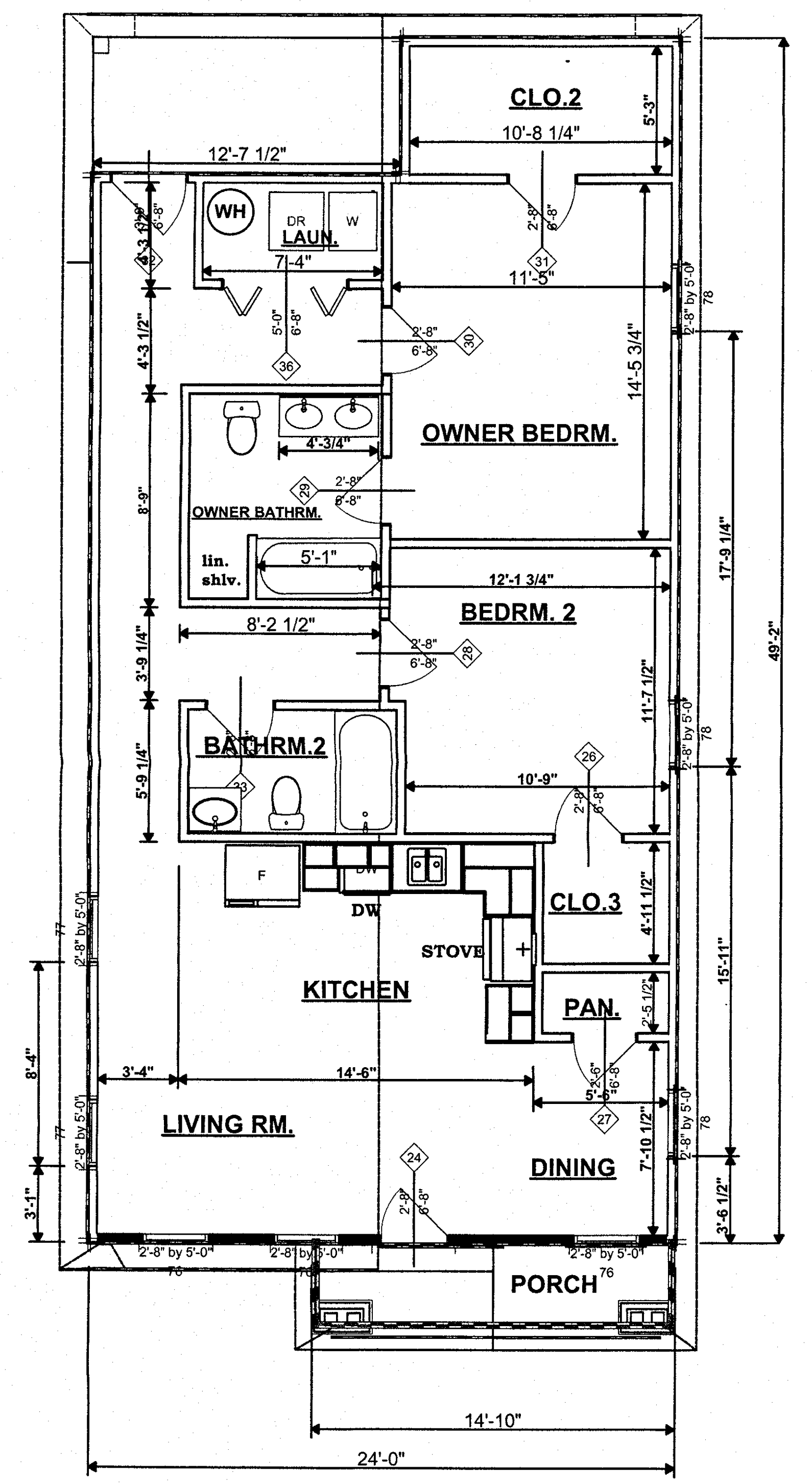
PROJECT NO.
DRAWN BY LLM
CHK'D. BY

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SHEET NO.
A-1

NOTES:

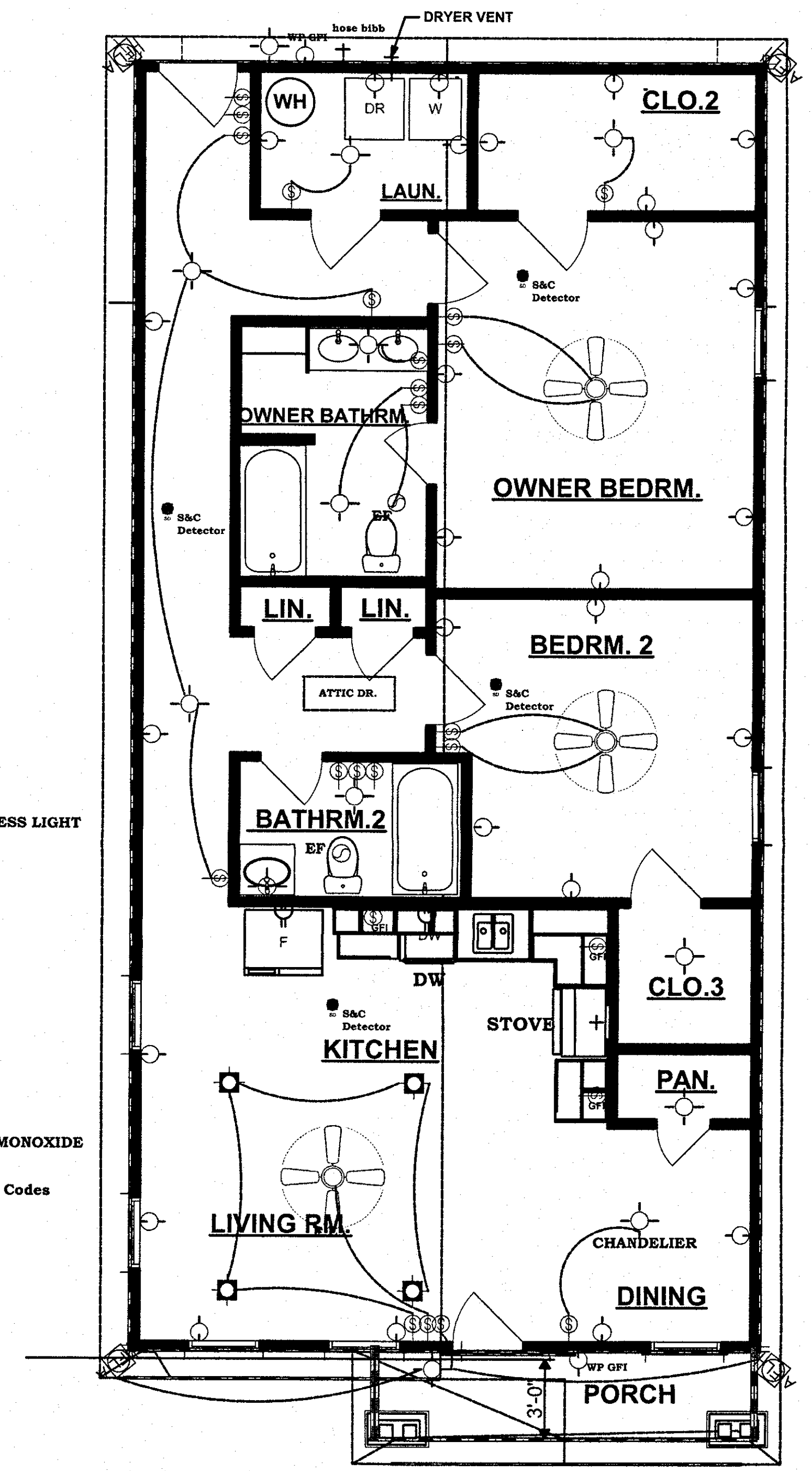
1. Provide light in attic near HVAC unit
2. Place R30 INSULATIONS IN ATTIC
3. Roof shall be 2x6 rafters 24"O.C.w/
2x8 ridge bd. cover with 7/16" ply.wd.
3. Provide insulated pull down attic door.



CEILING JOIST PLAN

LEGEND

- ☉ SURFACE MOUNT RECESS LIGHT
- LIGHT FIXTURE
- OUTLET
- F.L. FLOOD LIGHT
- EF EXHAUST FAN
- ⊖ SPECIAL OUTLET
- ⊕ SINGLE POLE SWITCH
- WH WATER HEATER
- S&C SMOKE & CARBON MONOXIDE DETECTOR
- Ground building to 2018 IRC Codes using number 5 rebar.



2
A-102

ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

1
A-102
 FIRST FLOOR
 SCALE: 1/4" = 1'-0"

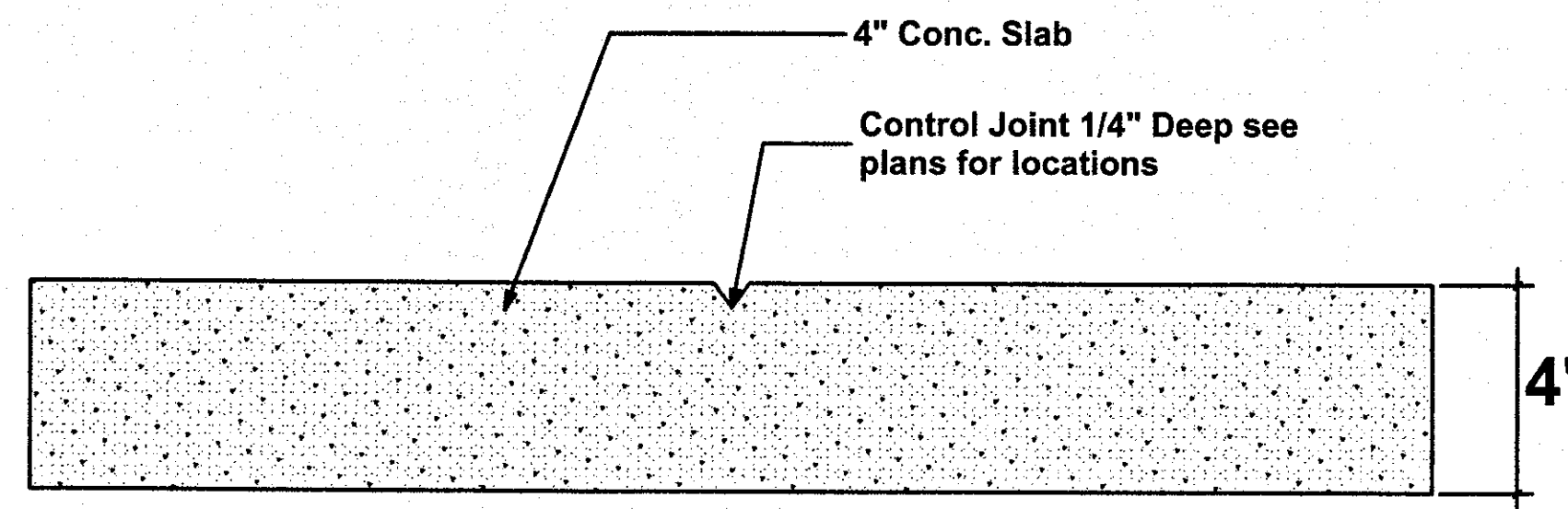
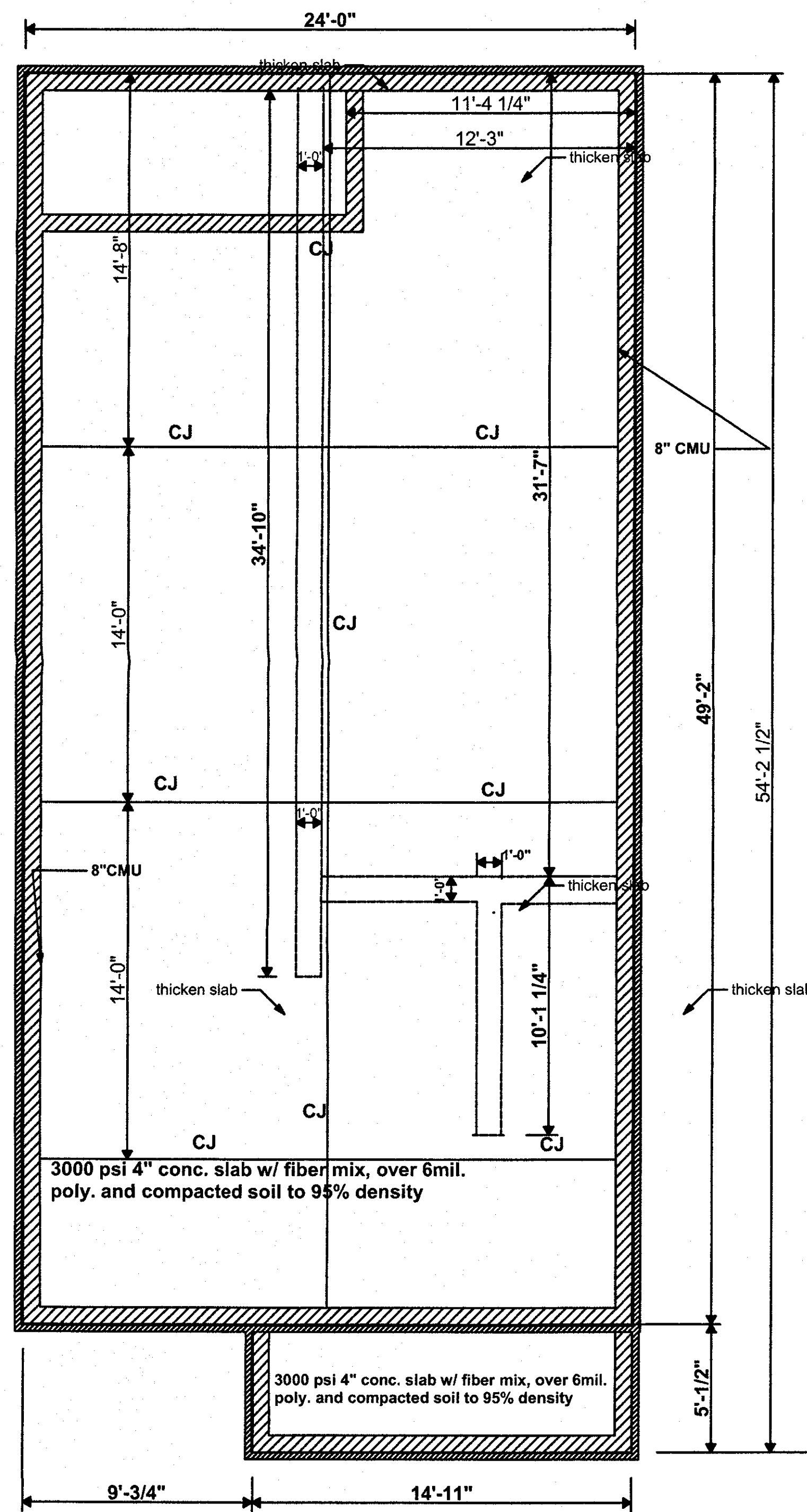
NEW RESIDENCES
 LOTS 1117,1113,1111,1109 CEDAR ST.
 AUGUSTA GA. 30901
 VETTED INVESTMENTS ACQUISITIONS,LLC
 PO BOX 8076 FORT GORDON, GA 30906

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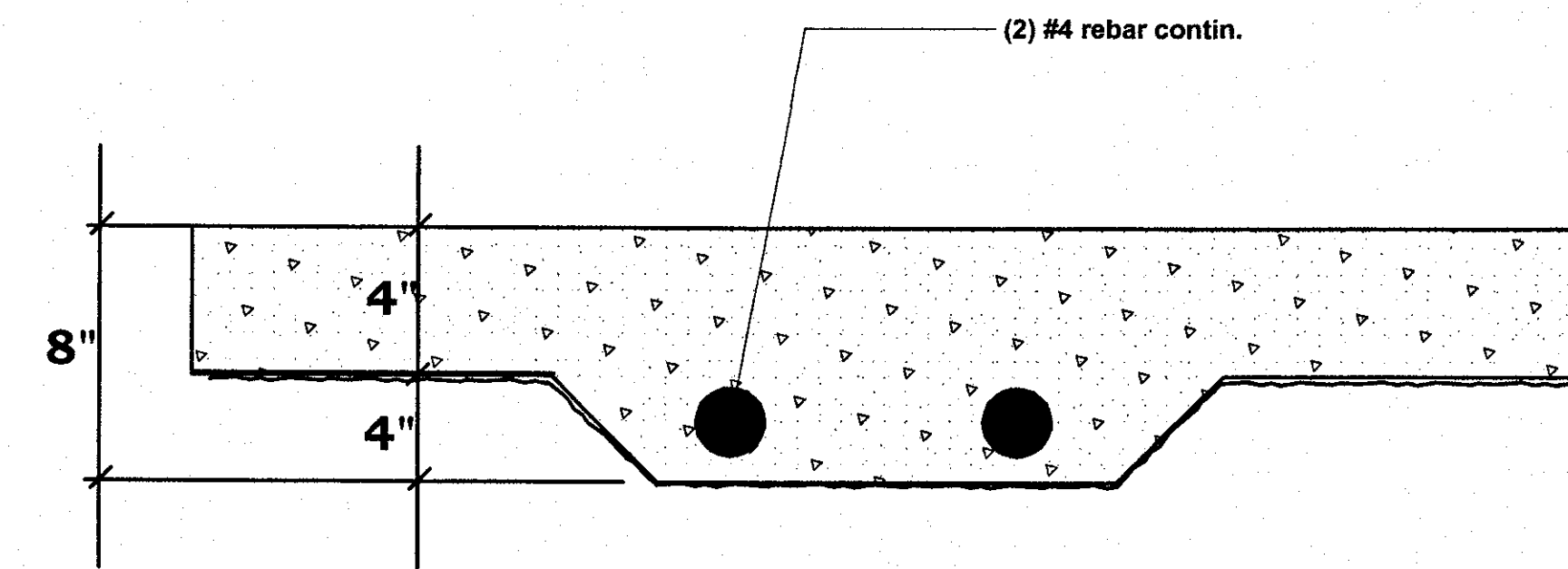
PROJECT NO.
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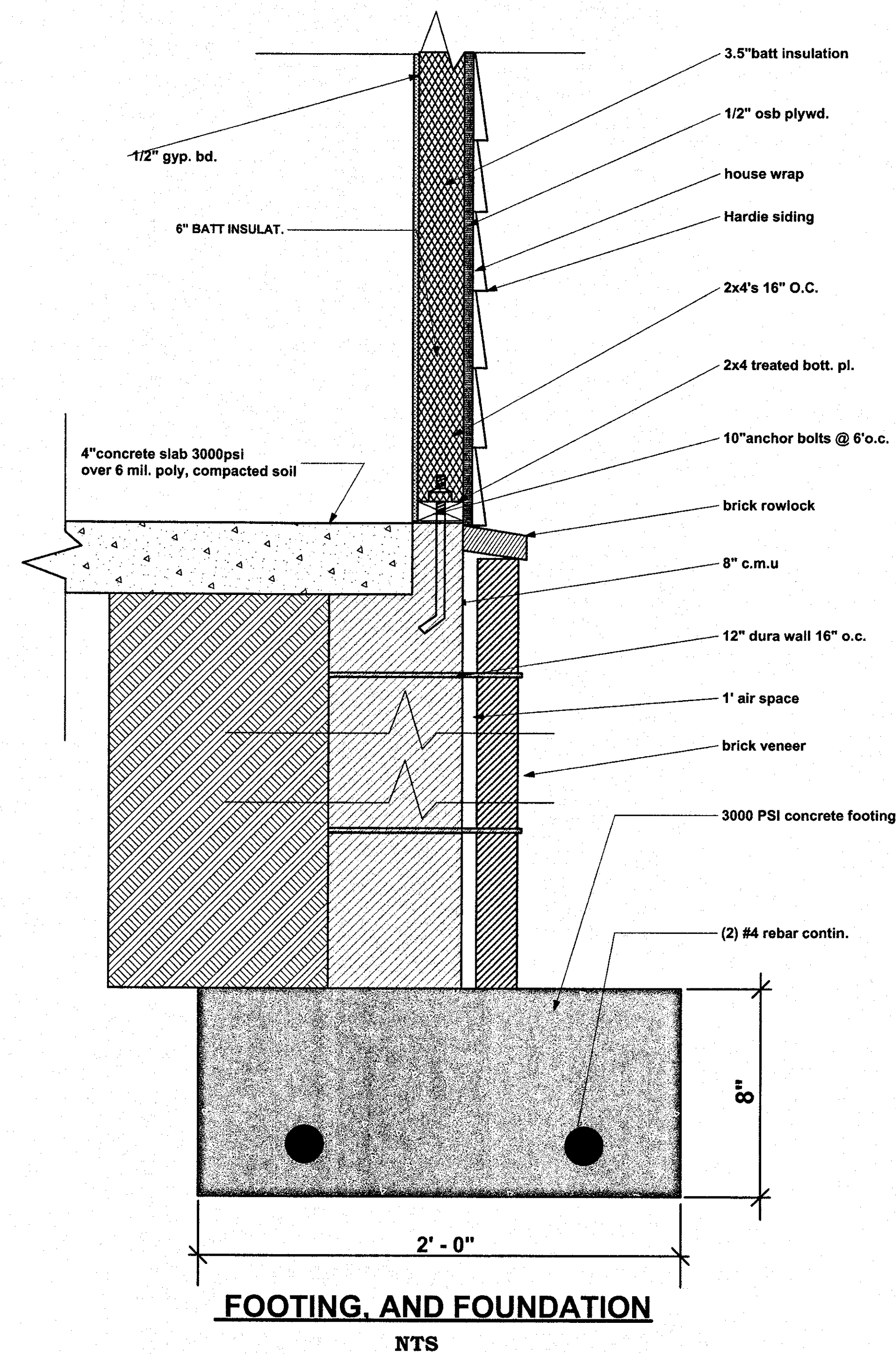
SHEET NO.
 A-102



CONTROL JOINT DETAIL
NTS



THICKEN SLAB



FOOTING AND FOUNDATION
NTS

1 FOUNDATION PLAN
A-103 SCALE: 1/4" = 1'-0"

LARRY L. McCORD
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2016 HIGHLAND AVE
AUGUSTA, GA. 30904
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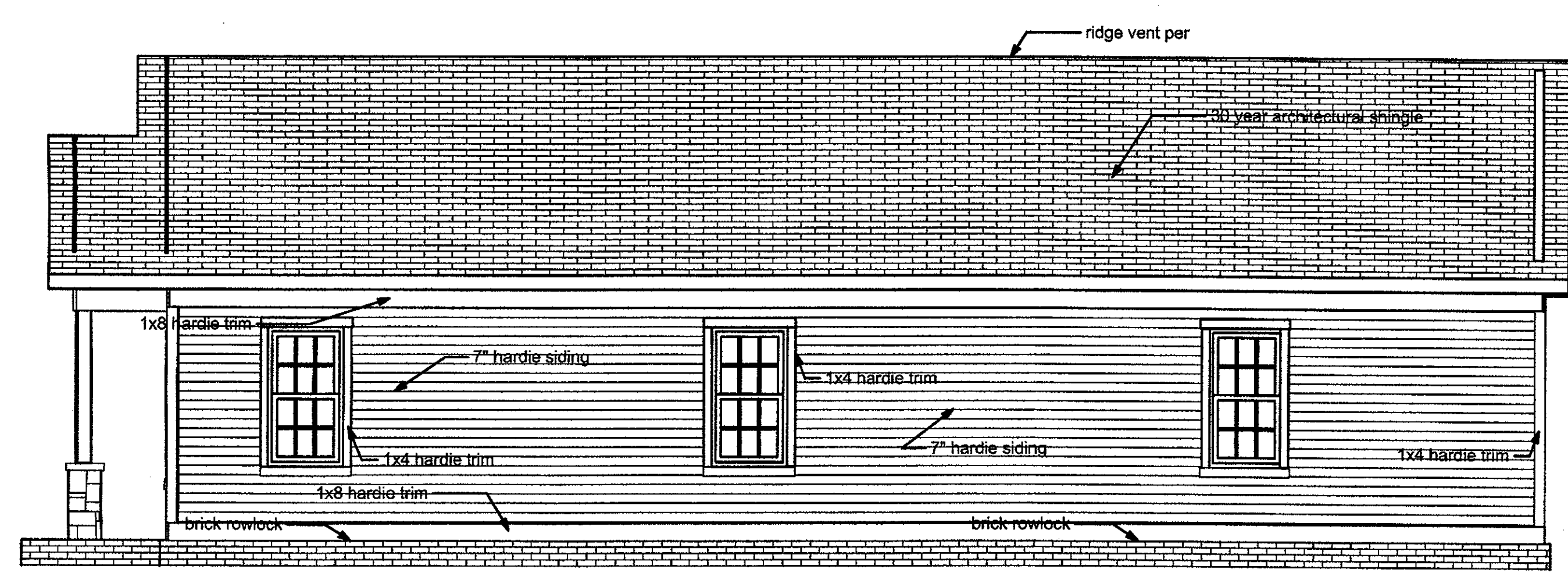
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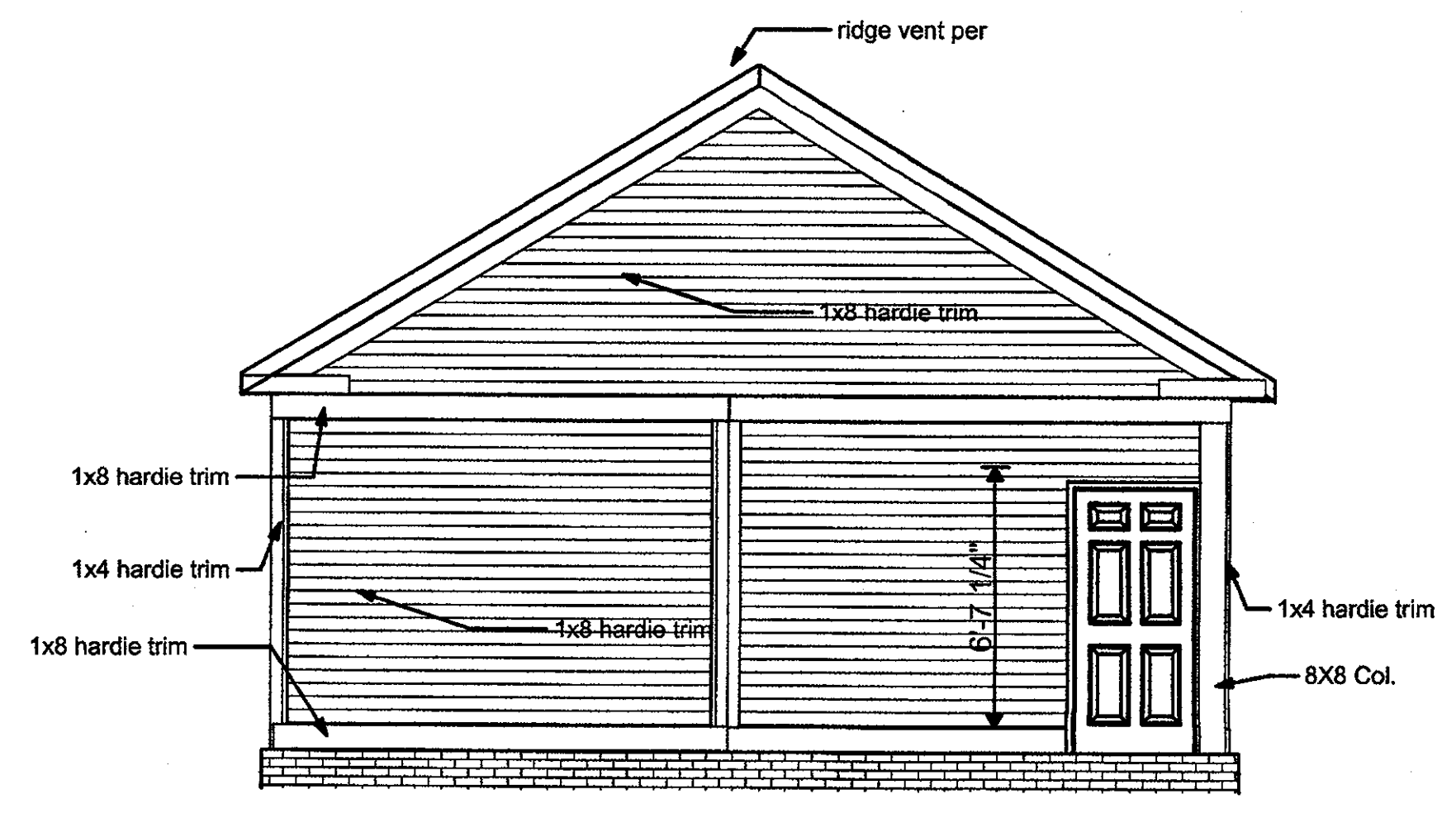
PROJECT NO.
DRAWN BY **LLM**
CHKD. BY

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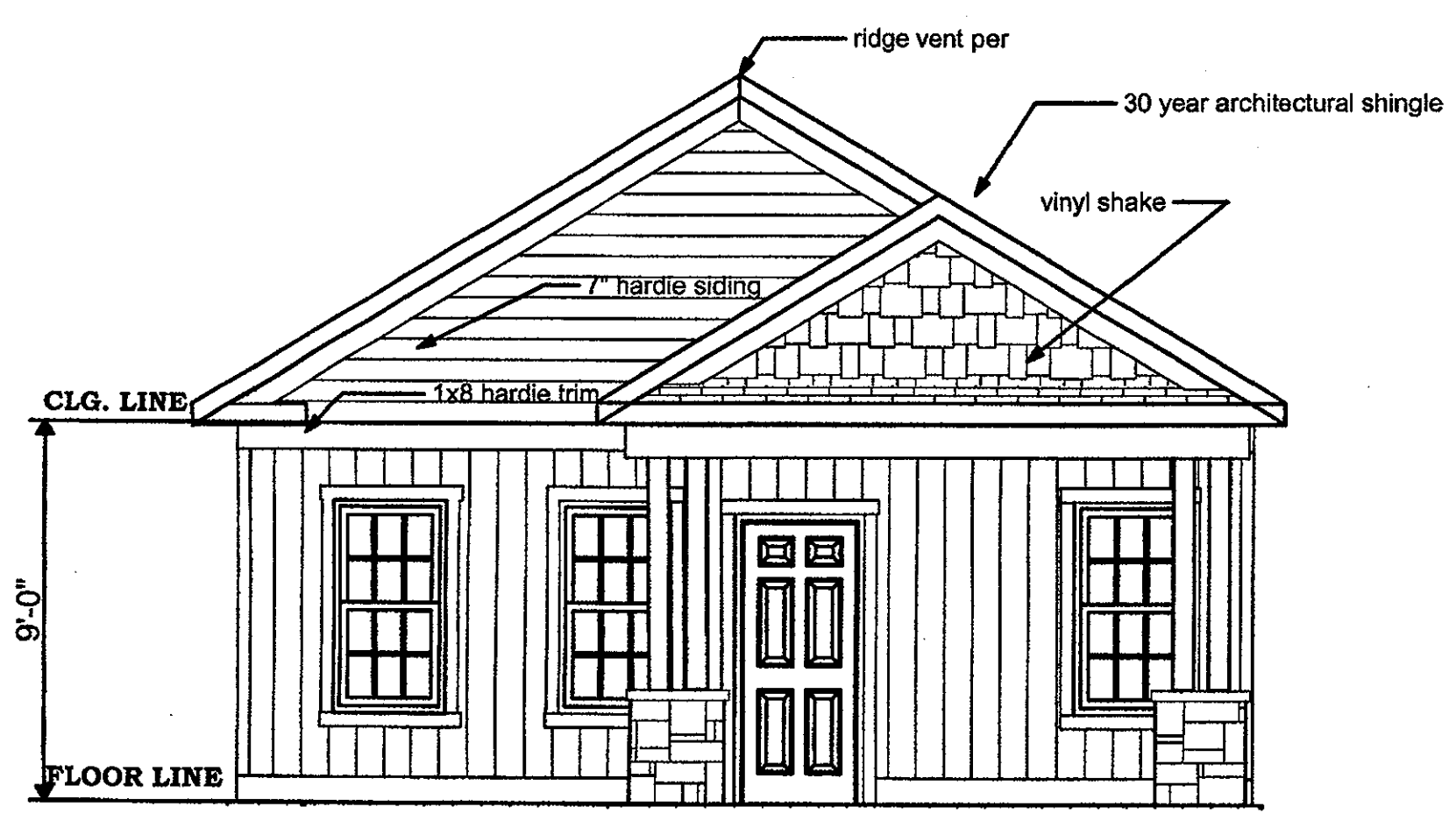
SHEET NO.
A-103



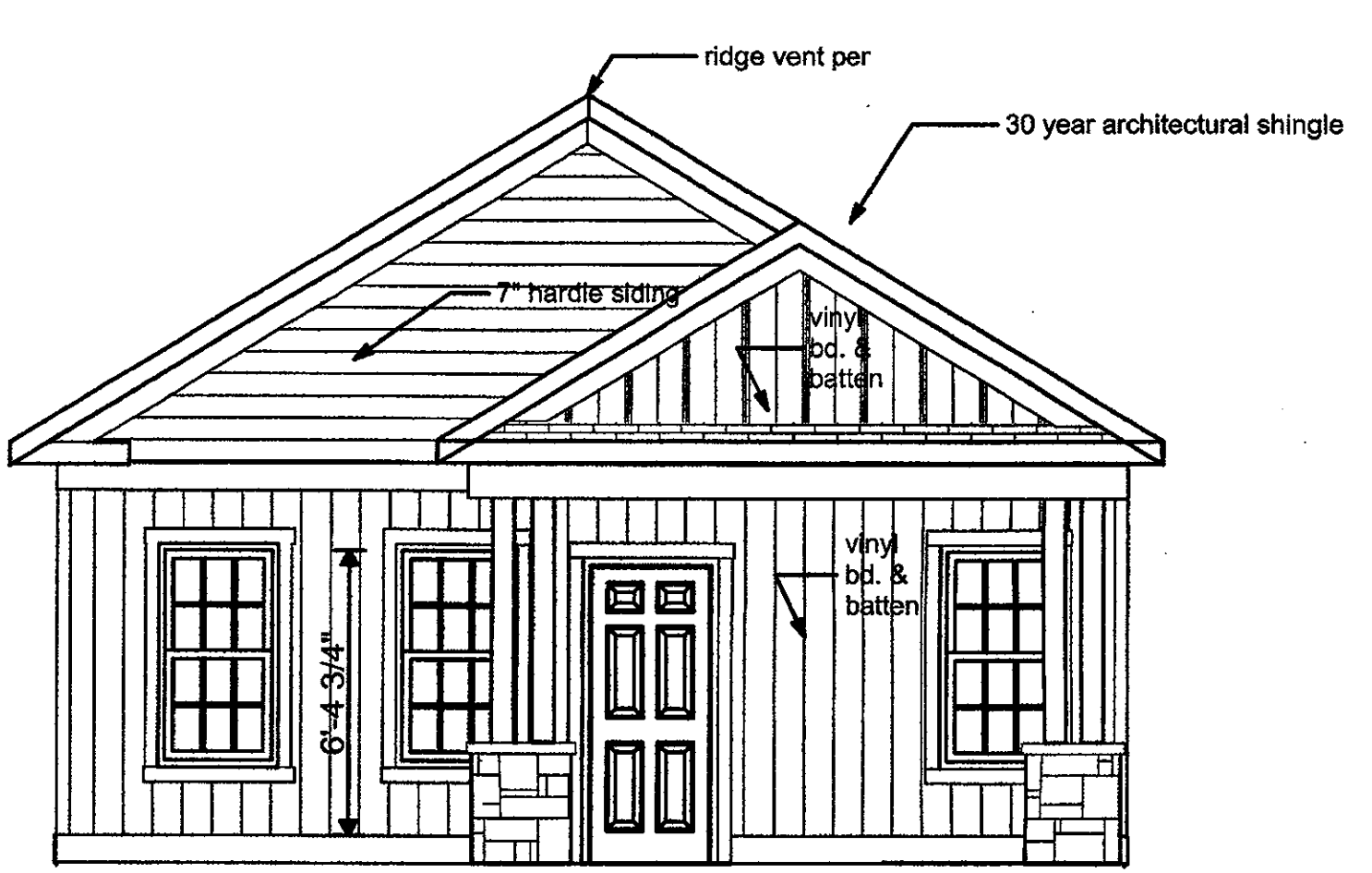
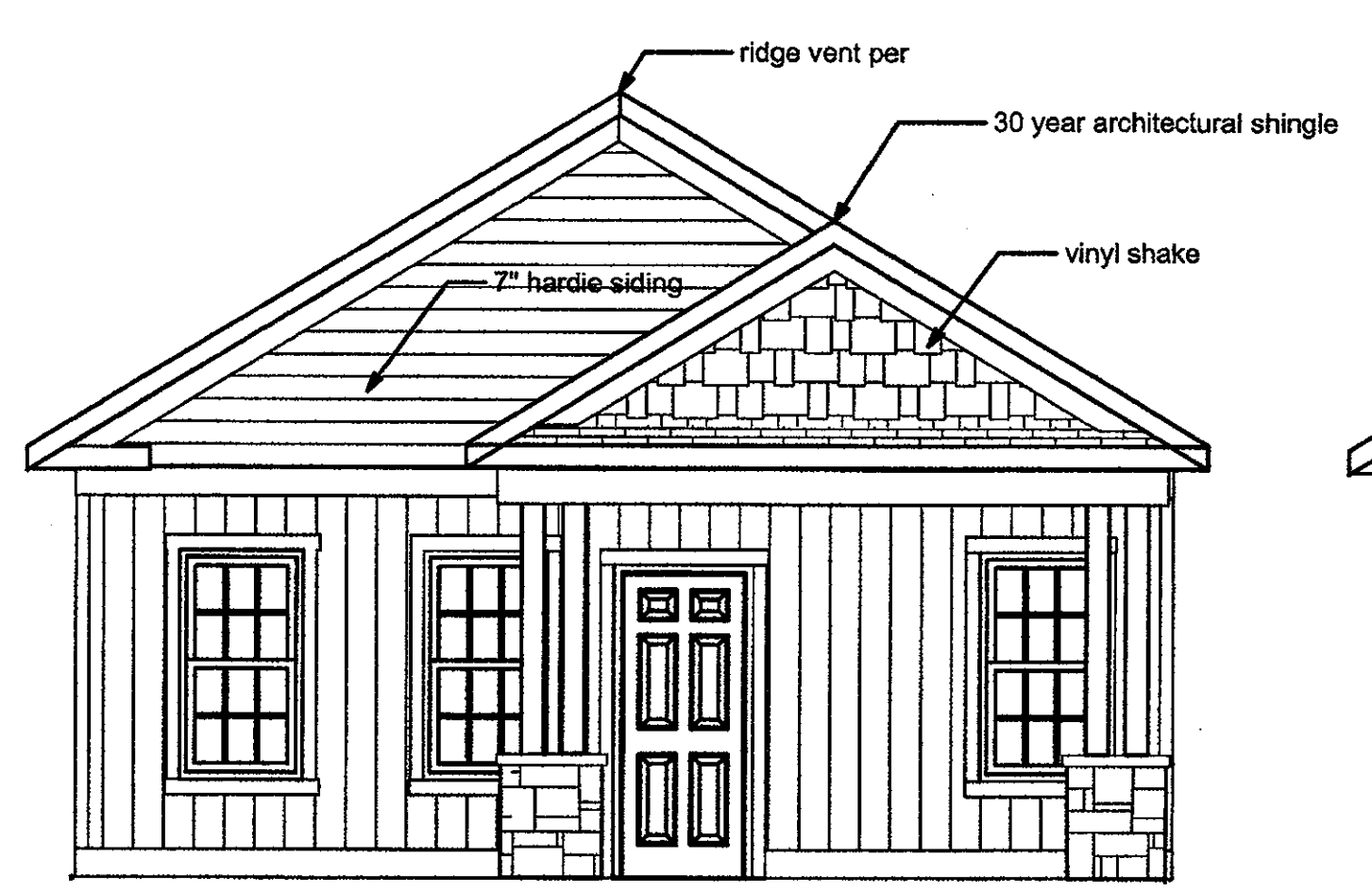
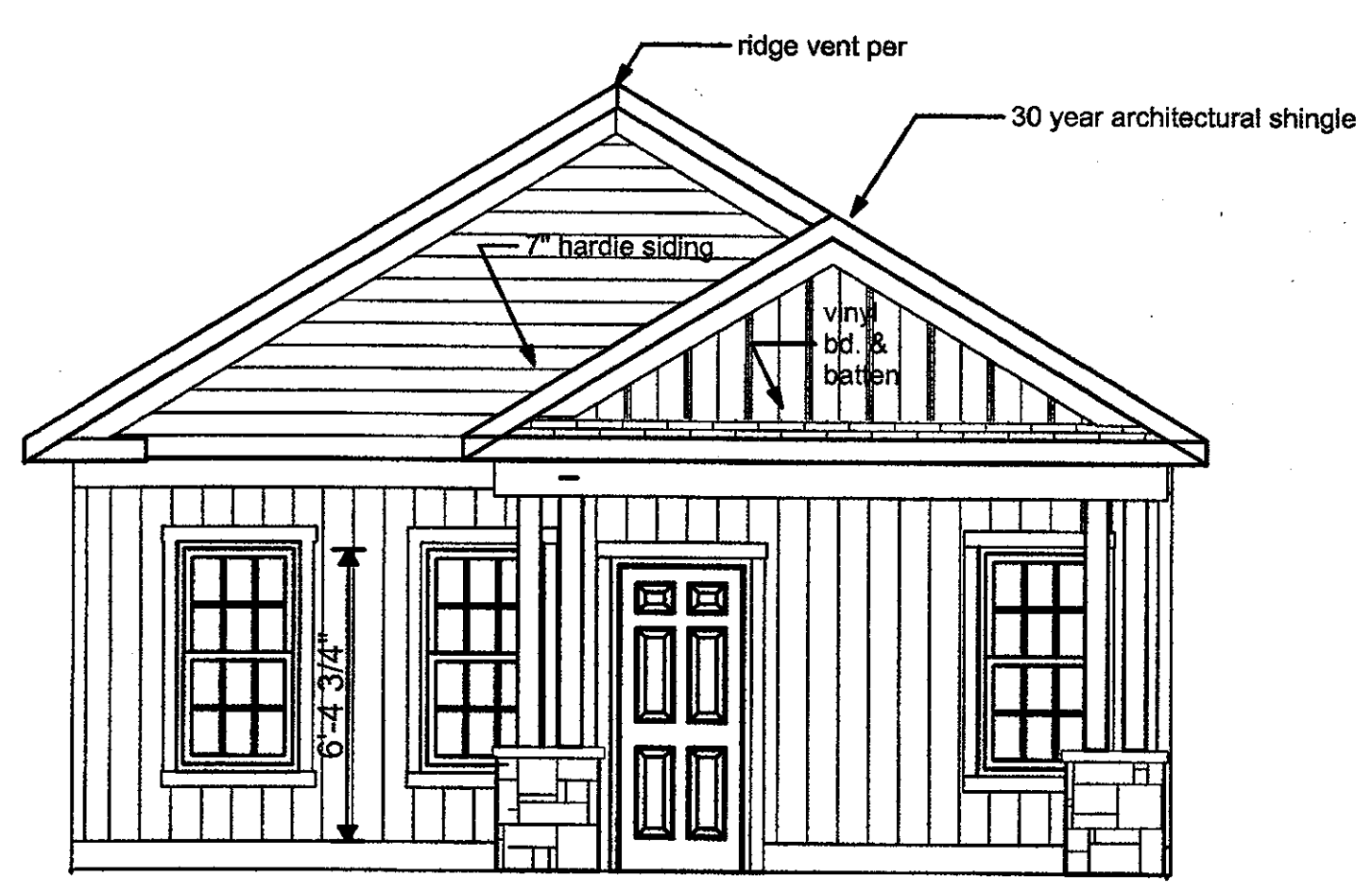
3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"
 0 2 4 8



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



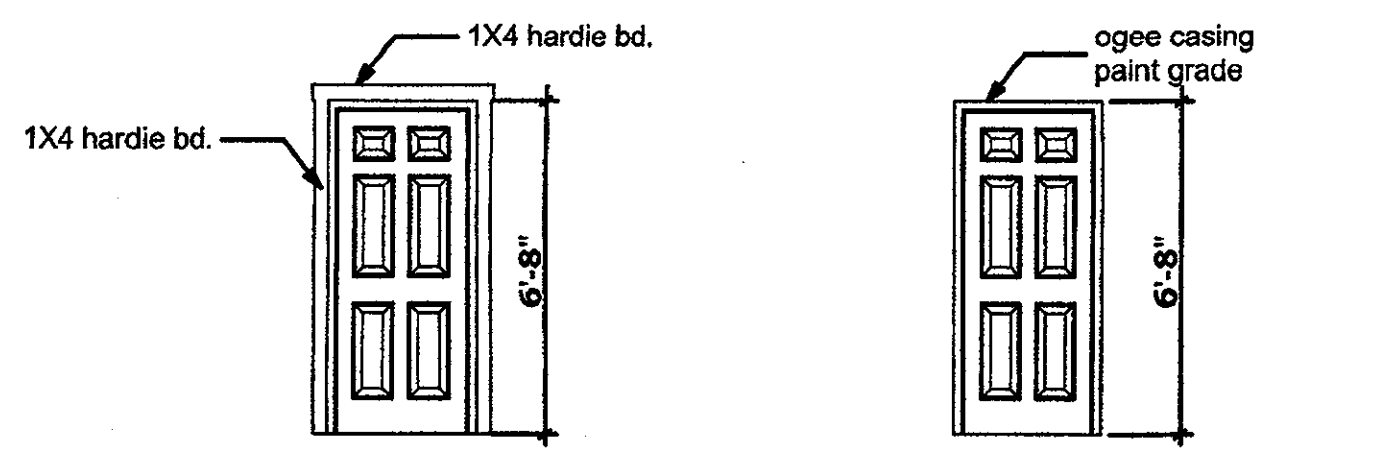
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 AUGUSTA GA. 30901
 VETTED INVESTMENTS ACQUISITIONS, LLC
 PO BOX 8076
 FORT GORDON, GA 30906

REVISED	DATE	DESCRIPTION
	3/2/22	PRELIM. FL.
	10/11/22	FIN. SET

PROJECT NO.
 DRAWN BY **LLM**
 CHKD. BY

SHEET NO.
A-201

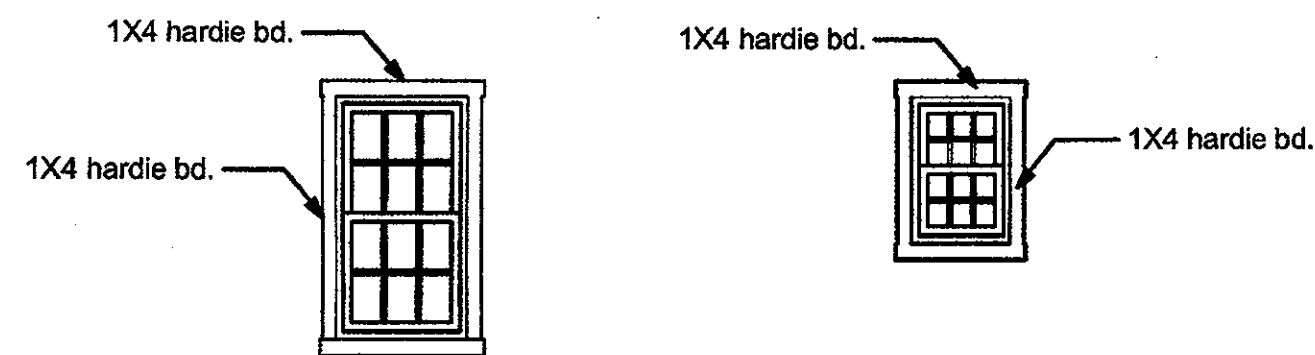
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SIX PANEL EXTER. MET. DOOR

SIX PANEL MASONITE INTER. DOOR

DOOR ELEVATION



WINDOW ELEVATION

NOTE: ALL INTER. TRIM SHALL BE PAINT FINISH.

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS		CEILING	CEILING HGT.	REMARKS
			MATERIAL	FINISH			
LIVING RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
DINING RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
KITCHEN	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
HALLWAY	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
AC CLO.	CONCRETE	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. #1	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. #2	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER BEDRM.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER BATHRM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BATHRM. #2	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
LAUN. RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
GARAGE	CONCRETE	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
				PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	

LARRY L. McCORD
 DESIGN/BUILD
 2016 HIGHLAND AVE. AUGUSTA GA. 30904
 706 733 2931 (0)
 llmccord@comcast.net

NEW RESIDENCES
 LOTS 1117,1113,1111,1109 CEDAR ST.
 AUGUSTA GA. 30901
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 APPROVED IN WRITING BY LARRY L McCORD
 OWNER OF LARRY L McCORD LLC DESIGN BUILD.

SHEET NO.
FS-1

AHCD

Contractor Work Write-up

Augusta Housing & Community Development Department

510 FENWICK ST Augusta GA. 30901

(706) 821-1797b -Fax (706) 821-1784 www.augustaga.gov

Hawthorne Welcher - Director

Finish of house \$ - TOTAL WRITE-UP (INCLUDING CONTINGENCY) \$ 152,455.36

TOTAL WRITE-UP INCLUDING FENCE, SIGN AND CONTINGENCY \$ 152,455.36

GENERAL INFORMATION: UNIT = SF.(SQUARE FEET), SQ (SQUARE), LF (LINEAR FEET), EA (EACH), LS (LUMP SUM), YD(YARD)

A	B	C	D	E	F	G	H	I	J
Enter Materials	Quantity	UNIT	MATERIAL COST PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
Homeowners Name	Laney Walker/Bethlehem Revitalization Project				Contractor:				
Homeowners Address	Cedar st								
City, State, Zip	Augusta, Georgia 30901								
Phone					Profit & Overhead Percentage:		20%		

FOUNDATION / MASONRY		House Heated Sq. Ft.	1,053	Total House Sq. Ft.					
Description of Material	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
construction entrance	EA	1	\$ -	\$ -	\$ 600.00	\$ 600.00	\$ 600.00	\$ 120.00	\$ 720.00
excavate	LF	0	\$ 3.13	\$ -	\$ 8.00	\$ -	\$ -	\$ -	\$ -
concrete ftg	CY	7	\$ 135.00	\$ 945.00	\$ 35.00	\$ 245.00	\$ 1,190.00	\$ 238.00	\$ 1,428.00
SILT FENCE & CONSTRUCTION ENTRANCE	ROLL	3	\$ -	\$ 289.59	\$ 100.00	\$ -	\$ 289.59	\$ 57.92	\$ 347.51
6 mil poly	ROLL	1	\$ 96.53	\$ 96.53	\$ 80.00	\$ 80.00	\$ 176.53	\$ 35.31	\$ 211.84
fill and tamp	CY	1	\$ 200.00	\$ 200.00	\$ 35.00	\$ 35.00	\$ 235.00	\$ 47.00	\$ 282.00
concrete pads for steps	CY	1	\$ 124.20	\$ 124.20	\$ 35.00	\$ 35.00	\$ 159.20	\$ 31.84	\$ 191.04
grading drive and sidewalk	LF	1	\$ 150.00	\$ 150.00	\$ 400.00	\$ 400.00	\$ 550.00	\$ 110.00	\$ 660.00
concrete drive and sidewalk	LF	600	\$ 5.00	\$ 3,000.00	\$ -	\$ -	\$ 3,000.00	\$ 600.00	\$ 3,600.00
rebar	EA	1	\$ 400.00	\$ 400.00	\$ 450.00	\$ 450.00	\$ 850.00	\$ 170.00	\$ 1,020.00
Adding dirt to raise house (development cost)	EA	5	\$ 200.00	\$ 1,000.00	\$ -	\$ -	\$ 1,000.00	\$ 200.00	\$ 1,200.00
anchor bolts	EA	50	\$ 1.94	\$ 97.00	\$ 1.60	\$ 80.00	\$ 177.00	\$ 35.40	\$ 212.40
block wall 8x8x16	EA	0	\$ 3.34	\$ -	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	\$ 400.00	\$ -
header blocks	EA	0	\$ 2.00	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -
mortar mix	BAGS	0	\$ 0.25	\$ -	\$ 0.36	\$ -	\$ -	\$ -	\$ -
mortar sand	Load	1	\$ 250.00	\$ 280.00	\$ 50.00	\$ 50.00	\$ 330.00	\$ 66.00	\$ 396.00
brick veneer	EA	0	\$ 0.30	\$ -	\$ 0.50	\$ -	\$ -	\$ -	\$ -
House slab	CY	16	\$ 175.00	\$ 2,800.00	\$ 135.00	\$ 2,160.00	\$ 4,960.00	\$ 992.00	\$ 5,952.00
Porch slab	EA	3	\$ 135.00	\$ 405.00	\$ 35.00	\$ 105.00	\$ 510.00	\$ 102.00	\$ 612.00
BRICK STEPS AS PER PLAN	STEP	2	\$ 100.00	\$ 375.00	\$ 100.00	\$ 200.00	\$ 575.00	\$ 115.00	\$ 690.00
Rollbricks	EA	0	\$ 0.30	\$ -	\$ 1.50	\$ -	\$ -	\$ -	\$ -
water sewer tap	LF	30	\$ 14.00	\$ 420.00	\$ 14.00	\$ 420.00	\$ 840.00	\$ 168.00	\$ 1,008.00
UTILITIES FEES ELECTRICAL	LS	1	\$ 350.00	\$ 350.00	\$ -	\$ -	\$ 350.00	\$ 70.00	\$ 420.00
UTILITIES FEES WATER	LS	1	\$ 350.00	\$ 350.00	\$ -	\$ -	\$ 350.00	\$ 70.00	\$ 420.00
BUILDERS RISK	LOT	1	\$ 700.00	\$ 700.00	\$ -	\$ -	\$ 700.00	\$ 140.00	\$ 840.00
LAYOUT AND BATTER BOARD	LS	1	\$ 300.00	\$ 300.00	\$ -	\$ -	\$ 300.00	\$ 60.00	\$ 360.00
TERMITE TREATMENT	LOT	1	\$ 250.00	\$ 250.00	\$ -	\$ -	\$ 250.00	\$ 50.00	\$ 300.00
PORT-O-LET	LOT	1	\$ 285.00	\$ 285.00	\$ -	\$ -	\$ 285.00	\$ 57.00	\$ 342.00
Total				\$ 12,817.32		\$ 6,860.00	\$ 19,677.32	\$ 3,935.46	\$ 21,212.78

Description of work to be completed: work completed as per plans

EXTERIOR		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
COLUMNS	EA	2	\$ 60.00	\$ 120.00	\$ 100.00	\$ 200.00	\$ 320.00	\$ 64.00	\$ 384.00	
GUTTERS & DOWNSPOUTS	PKG	1	\$ 1,250.00	\$ 1,250.00	\$ -	\$ -	\$ 1,250.00	\$ 250.00	\$ 1,500.00	
LANDSCAPING no irrigation	PKG	1	\$ 3,500.00	\$ 3,500.00	\$ -	\$ -	\$ 3,500.00	\$ 700.00	\$ 4,200.00	
Lot development to drain to front of property	PKG	1	\$ 1,000.00	\$ 1,500.00	\$ -	\$ -	\$ 1,950.00	\$ 390.00	\$ 2,340.00	
Fence 50 ft Plus 1 Gate sewer tap/water tap	EA	0	\$ 3,900.00	\$ 3,900.00	\$ -	\$ -	\$ 3,900.00	\$ 780.00	\$ -	
GRADING / SITE PREPARATION	LS	1	\$ 500.00	\$ 500.00	\$ 600.00	\$ 600.00	\$ 1,100.00	\$ 220.00	\$ 1,320.00	
Total				\$ 10,770.00		\$ 800.00	\$ 12,020.00	\$ 2,404.00	\$ 9,744.00	

Description of work to be completed:

SIDING AND PORCH		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
FASCIA AND SOFFIT AND SIDING VYNIL NOT CEMENT	PKG	1	\$ 4,300.00	\$ 4,300.00	\$ 4,000.00	\$ 4,000.00	\$ 8,300.00	\$ 1,660.00	\$ 9,960.00	
Total				\$ 4,300.00		\$ 4,000.00	\$ 8,300.00	\$ 1,660.00	\$ 9,960.00	

Description of work to be completed:

ROOFING		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
ROOFING PACKAGE (3 tab shingles SHINGLES, ROOF VENT & INSTALLATION)	PKG	1	\$ 2,650.00	\$ 2,650.00	\$ 1,300.00	\$ 1,300.00	\$ 3,950.00	\$ 790.00	\$ 4,740.00	
Continuous roof ridge vent with louvered side openings. Includes cutting of sheathing at roof and installation of shingle ridge cap.										
Total				\$ 2,650.00		\$ 12,000.00	\$ 3,950.00	\$ 790.00	\$ 4,740.00	

Description of work to be completed:

FRAMING & FINISH CARPENTRY		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
WALL FRAMING AS NEEDED per INT.CODE GAedillon 24" o.c.	PKG	1	\$ 10,000.00	\$ 10,000.00	\$ 5,000.00	\$ 5,000.00	\$ 15,000.00	\$ 3,000.00	\$ 18,000.00	
EXTERIOR DOORS PKG	EA	1	\$ 760.00	\$ 760.00	\$ 300.00	\$ 300.00	\$ 1,060.00	\$ 212.00	\$ 1,272.00	
WINDOWS	PKG	1	\$ 3,600.00	\$ 3,600.00	\$ 700.00	\$ 700.00	\$ 4,300.00	\$ 860.00	\$ 5,160.00	
INTERIOR DOORS & TRIM PKG	PKG	1	\$ 3,650.00	\$ 3,650.00	\$ 1,400.00	\$ 1,400.00	\$ 5,050.00	\$ 1,010.00	\$ 6,060.00	
Ikea Furniture and built in desk	PKG	0	\$ 830.00	\$ 830.00	\$ 350.00	\$ 350.00	\$ -	\$ -	\$ -	
LOCKSET PACKAGE	EA	1	\$ 234.78	\$ 234.78	\$ 100.00	\$ 100.00	\$ 334.78	\$ 66.96	\$ 401.74	
ATTIC STAIRWAY 10' ENG SAVER	EA	1	\$ 275.00	\$ 275.00	\$ 60.00	\$ 60.00	\$ 335.00	\$ 67.00	\$ 402.00	
MAIL BOX	EA	1	\$ 100.00	\$ 100.00	\$ -	\$ -	\$ 100.00	\$ 20.00	\$ 120.00	
HOUSE NUMBERS	EA	1	\$ 60.00	\$ 60.00	\$ -	\$ -	\$ 60.00	\$ 12.00	\$ 72.00	
CLOSET 12" SHELVES W/ RODS AND PANTRY/LINEN	PKG	1	\$ 900.00	\$ 900.00	\$ 800.00	\$ 800.00	\$ 1,500.00	\$ 300.00	\$ 1,800.00	
Garage doors -motor	EA	0	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
BLINDS	PKG	1	\$ 200.00	\$ 200.00	\$ 250.00	\$ 250.00	\$ 450.00	\$ 90.00	\$ 540.00	
Total				\$ 20,409.78		\$ 8,510.00	\$ 28,189.78	\$ 5,637.96	\$ 28,189.78	

2000 increase since last Boyd house (same amount of windows

Description of work to be completed:

FLOORS CARPET /TILE		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
FLOORING CARPET	PKG	1	\$ 1,400.00	\$ 1,400.00	\$ 800.00	\$ 800.00	\$ 2,200.00	\$ 440.00	\$ 2,640.00	
LAMINATED WOOD (glue down)	PKG	1	\$ 2,400.00	\$ 2,400.00	1400	\$ 1,400.00	\$ 3,800.00	\$ 760.00	\$ 4,560.00	
CERAMIC TILE (BATH Floor)	PKG	1	\$ 500.00	\$ 500.00	\$ 1,500.00	\$ 1,500.00	\$ 2,000.00	\$ 400.00	\$ 2,400.00	
Total				\$ 4,300.00		\$ 3,700.00	\$ 8,000.00	\$ 1,600.00	\$ 9,600.00	

Description of work to be completed:

DRYWALL/ PLASTER		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
1/2 IN DRYWALL	SF	7200	\$ 0.45	\$ 3,240.00	\$ 0.45	\$ 3,240.00	\$ 6,480.00	\$ 1,296.00	\$ 7,776.00	
Total				\$ 3,240.00		\$ 3,240.00	\$ 6,480.00	\$ 1,296.00	\$ 7,776.00	

Description of work to be completed:

PLUMBING		UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION
PLUMBING PACKAGE W/STAINLESS STEEL FIXTURES	PKG	1	\$ 9,000.00	\$ 9,000.00	\$ -	\$ -	\$ 9,000.00	\$ 1,800.00	\$ 10,800.00	

fixtures allowance faucets,shower valves	PKG	1	\$ 900.00	\$ 900.00		\$ 900.00	\$ 180.00	\$ 1,080.00		
Total				\$ 9,000.00	\$ -	\$ 9,900.00	\$ 1,980.00	\$ 11,880.00		
Includes all fittings, connections to fixtures, hangers, and removal of existing water lines.										
ELECTRICAL										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
ELECTRICAL	PKG	1	\$ 9,000.00	\$ 9,000.00	\$ -	\$ -	\$ 9,000.00	\$ 1,800.00	\$ 10,800.00	
ALARM SYSTEM W/CELLULAR MONITORING	EA	0	\$ 600.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
CAMERA SECURITY DURING CONSTRUCTION	EA	1	\$ 200.00	\$ 200.00	\$ -	\$ -	\$ 200.00	\$ 40.00	\$ 240.00	
LIGHT FIXTURES detectors,bath fan ALLOWANCE	PKG	1	\$ 1,000.00	\$ 1,000.00	\$ -	\$ -	\$ 1,000.00	\$ 200.00	\$ 1,200.00	
Total				\$ 10,200.00	\$ -	\$ 10,200.00	\$ 2,040.00	\$	\$ 12,240.00	
HEATING & AIR										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
HEATING & AIR 14 SEER	PKG	1	\$ 7,600.00	\$ 7,600.00	\$ -	\$ -	\$ 7,600.00	\$ 1,520.00	\$ 9,120.00	
RANGE HOOD ducting	PKG	1	\$ 250.00	\$ 250.00	\$ -	\$ -	\$ 250.00	\$ 50.00	\$ 300.00	
AC CAGES	EA	1	\$ 450.00	\$ 450.00	\$ -	\$ -	\$ 450.00	\$ 90.00	\$ 540.00	
Total				\$ 8,300.00	\$ -	\$ 8,300.00	\$ 1,660.00	\$	\$ 9,960.00	
CABINETS & APPLIANCES										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
BASE & WALL CABINETS & Granite Countertops	PKG	1	\$ 3,900.00	\$ 3,900.00	\$ -	\$ 700.00	\$ 4,600.00	\$ 920.00	\$ 5,520.00	
APPLIANCE PKG. (RANGE, MICROWAVE, DISH WASHER & REFRIGERATOR W/ICE MAKER	PKG	1	\$ 3,500.00	\$ 3,500.00	\$ 200.00	\$ 200.00	\$ 3,700.00	\$ 740.00	\$ 4,440.00	
Total				\$ 9,400.00	\$ -	\$ 1,700.00	\$ 11,100.00	\$ 2,220.00	\$ 13,320.00	
PAINTING INTERIOR only										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
PAINT 2 COATS WALL/CEILING PAINTING	SF	1648	\$ 1.00	\$ 1,648.00	\$ 2.00	\$ 3,296.00	\$ 4,944.00	\$ 988.80	\$ 5,932.80	
Total				\$ 1,648.00	\$ -	\$ 3,296.00	\$ 4,944.00	\$ 988.80	\$ 5,932.80	
BATHROOM ACCESSORIES										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
BATH ACCESSORIES SET & MIRRORS	PKG	1	\$ 900.00	\$ 900.00	\$ -	\$ -	\$ 900.00	\$ 180.00	\$ 1,080.00	
SHOWER DOOR FRAMED	PKG	0	\$ 850.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Total				\$ 900.00	\$ -	\$ -	\$ 900.00	\$ 180.00	\$ 1,080.00	
INSULATION										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
INSULATION ATTIC WALLS	PKG	1	\$ 2,550.00	\$ 2,550.00	\$ -	\$ -	\$ 2,550.00	\$ 510.00	\$ 3,060.00	
Total				\$ 2,550.00	\$ -	\$ -	\$ 2,550.00	\$ 510.00	\$ 3,060.00	
DEMOLITION & CLEAN -UP										
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	
CLEAN HOUSE	EA	1	\$ -	\$ -	\$ 450.00	\$ 450.00	\$ 450.00	\$ 90.00	\$ 540.00	
DUCT & BLOWER TEST	EA	1	\$ -	\$ -	\$ 400.00	\$ 400.00	\$ 400.00	\$ 80.00	\$ 480.00	
INTERIOR DEMOLITION	EA	1	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
EXTERIOR clean up	EA	1	\$ 400.00	\$ 400.00	\$ -	\$ -	\$ 400.00	\$ 60.00	\$ 460.00	
DUMPSTER	EA	1	\$ 1,200.00	\$ 1,200.00	\$ -	\$ -	\$ 1,200.00	\$ 240.00	\$ 1,440.00	
Total				\$ 1,200.00	\$ 850.00	\$ 2,450.00	\$ 4,700.00	\$ 470.00	\$ 2,920.00	
RECAP OF SECTIONS			SUM TOTAL WRITE-UP						\$ 151,615.36	
Description				TOTAL MATERIAL	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION		
FOUNDATION / MASONRY				\$ 12,817.32	\$ 6,860.00	\$ 19,677.32	\$ 3,935.46	\$ 21,212.78		
EXTERIOR				\$ 10,770.00	\$ 800.00	\$ 12,020.00	\$ 2,404.00	\$ 9,744.00		
SIDING				\$ 4,300.00	\$ 4,000.00	\$ 8,300.00	\$ 1,660.00	\$ 9,960.00		
ROOFING				\$ 2,650.00	\$ 12,000.00	\$ 3,950.00	\$ 790.00	\$ 4,740.00		
FRAMING & FINISH CARPENTRY				\$ 20,409.78	\$ 8,510.00	\$ 28,189.78	\$ 5,637.96	\$ 28,189.78		
FLOORS CARPET /TILE				\$ 4,300.00	\$ 3,700.00	\$ 8,000.00	\$ 1,600.00	\$ 9,600.00		
DRYWALL/ PLASTER				\$ 3,240.00	\$ 3,240.00	\$ 6,480.00	\$ 1,296.00	\$ 7,776.00		
PLUMBING				\$ 9,000.00	\$ -	\$ 9,900.00	\$ 1,980.00	\$ 11,880.00		
ELECTRICAL				\$ 10,200.00	\$ -	\$ 10,200.00	\$ 2,040.00	\$ 12,240.00		
HEATING & AIR				\$ 8,300.00	\$ -	\$ 8,300.00	\$ 1,660.00	\$ 9,960.00		
CABINETS & APPLIANCES				\$ 9,400.00	\$ 1,700.00	\$ 11,100.00	\$ 2,220.00	\$ 13,320.00		
PAINTING EXTERIOR/ INTERIOR				\$ 1,648.00	\$ 3,296.00	\$ 4,944.00	\$ 988.80	\$ 5,932.80		
BATHROOM ACCESSORIES				\$ 900.00	\$ -	\$ 900.00	\$ 180.00	\$ 1,080.00		
INSULATION				\$ 2,550.00	\$ -	\$ 2,550.00	\$ 510.00	\$ 3,060.00		
DEMOLITION & CLEAN -UP				\$ 1,200.00	\$ 850.00	\$ 2,450.00	\$ 470.00	\$ 2,920.00		
TOTALS				\$ 101,685.10	\$ 44,956.00	\$ 136,961.10	\$ 27,372.22	\$ 151,615.36		
Cost per sf heated			\$143.98	PERMITS				\$ 420.00		
Cost per sf heated plus garage			#DIV/0!	2-10 WARRANTY				\$ 420.00		
				TOTAL WRITE-UP				\$ 152,455.36		
Total					\$ -	\$ -	\$ -	\$ -		
CONTRACTOR				DATE HIRED	BY					
ACCEPTED:				TITLE	DATE					
PREPARED BY:					REVISED					



Administrative Services Committee Meeting

Meeting Date: 08/29/2023

HCD _ 2023 Addendum Accounting Engagement Approval Request Cherry Bekaert (23-501C)

Department: HCD

Presenter: Hawthorne Welcher, Jr. and/or HCD Staff

Caption: Motion to approve Housing and Community Development Department’s (HCD's) request to approve the addendum engagement agreement with Cherry Bekaert to continue to provide grant management assistance to the Housing and Community Development Department. (23-501C)

Background: Augusta Housing and Community Development engaged with Cherry Bekaert, a nationally Certified Public Accounting Firm, to help the HCD Finance team reconcile and provide guidance and assistance related to grant management. In June 2023, we reached 80% of the overall initial budget. We were presented with the option to extend our agreement to "GASB and a Service, " which will allow the additional assistance to complete the rest of the reconciliation work along with the go-forward business process and policy and procedures.

Analysis: The approval of this request will enable HCD to strengthen our current grant-related process and procedures, streamline our outdated reconciliation process, and ensure we remain compliant with all of the Department's Federal Programs. This is the 3rd amendment to RFP 20-501.

Financial Impact: In summation, this approval will enable HCD to continue its relationship with Cherry Bekaert to provide these accounting services. If approved, the term of the agreement expires on June 30th, 2024.

Alternatives: Do not approve HCD’s request.

Recommendation:

Motion to approve Housing and Community Development Department's (HCD's) request to approve the addendum engagement agreement with Cherry Bekaert to continue to provide grant management assistance to the Housing and Community Development Department.

Funds are available in the following accounts:

We will use the following General Ledger to pay the additional \$25,000.00
Misc Professional 221073110/5212119

REVIEWED AND APPROVED BY:

- Procurement
- Finance
- Law
- Administrator
- Clerk of Commission



July 17, 2023

VIA EMAIL:
HWelcher@augustaga.gov

Hawthorne Welcher
510 Fenwick Street
Augusta, Georgia 30901

Dear Mr. Welcher:

This Addendum to our original Engagement Letter dated August 1, 2022 (“Original Engagement Letter” between Cherry Bekaert Advisory LLC (“Cherry Bekaert”, the “Firm”, “we”, “us”) to provide advisory services to the Housing and Community Development Department of Augusta, Georgia (hereafter referred to as the “HCD”, “you”, “your”, or “management”) sets forth the nature and scope of the services we will provide in addition to the services set forth in our Original Engagement Letter, the fees we will charge for such additional services, as well as the terms of agreement. Such services will be subject to the same terms and conditions as set forth in our Original Engagement Letter.

Summary of Services

We will provide additional services related to the Original Engagement Letter as well as account reconciliation assistance and best practice recommendations related to cash, unearned revenue, program income, and the schedule of expenditures of federal awards.

Fees

The services in this arrangement letter are intended to be performed on a time and materials basis. The addendum will increase the estimated level of effort and related fees an additional \$75,000 from the Original Engagement Letter. We will work closely with you to make this engagement cost effective. If significant additional time is necessary, we will discuss it with you and arrive at a new fee estimate before we incur the additional costs. Rates by level for our consulting and risk management services are shown in our Original Engagement Letter.

Other Matters

Our procedures will not result in the expression of an opinion, or any other form of assurance, on HCD’s financial statements or any part thereof; nor an opinion or any other form of assurance on HCD’s internal control systems or its compliance with laws, regulations, or other matters. We will not express an opinion or any other form of assurance with respect to management’s system of internal control over financial reporting or in safeguarding HCD’s assets.

The terms of this agreement expire June 30, 2024.



Meeting Name

Meeting Date: August 29, 2023

Bid Item #23-130; Vernon Forest Park – Restroom Permit Plans

- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Request for approval from the Central Services Department, bid #23-130, Vernon Forest Park – Restroom Permit Plan in the amount of \$28,500.00 to be performed by Johnson, Laschober & Associates, P.C.
- Background:** Vernon Forest Park, located at 2101 Telfair Street in Augusta, GA lacks restroom facilities for the citizens that visit this location. In order to start this project, permit plans are the first requirement before the construction phase.
- Analysis:** Johnson, Laschober & Associates, P.C. was the only vendor to respond. The bid was compliant however, it was overbudget. Central Services has provided an overbudget justification and recommends award to Johnson, Laschober & Associates, P.C.
- Financial Impact:** \$28,500.00 SPLOST
- Alternatives:**
 - A -Award bid
 - B -Do not award bid
- Recommendation:** Award bid #23-130, Vernon Forest Park – Restroom Permit Plan in the amount of \$28,500.00 to be performed by Johnson, Laschober & Associates, P.C.
- Funds are available in the following accounts:**
 - \$12,500.00 SPLOST
 - GL: 329-05-1120
 - JL: 218-05-7126
 - \$16,000.00 SPLOST
 - GL: 330-05-1120
 - JL: To be determined

REVIEWED AND APPROVED BY:

Invitation to Bid

Sealed bids will be received at this office until **Monday, February 20, 2023 @ 11:00 a.m.** via ZOOM Meeting ID: **813 7027 0339**; Passcode: **322903** for furnishing:

Bid Item #23-130 Vernon Forest Park – Restroom Permit Plans for Augusta, GA – Central Service Department

Bids will be received by Augusta, GA Commission hereinafter referred to as the OWNER at the offices of:

Gerri A. Sams, Director
Augusta Procurement Department
535 Telfair Street - Room 605
Augusta, Georgia 30901

Bid documents may be viewed on the Augusta, Georgia web site under the Procurement Department **ARcbid**. Bid documents may be obtained at the offices of Augusta, GA Procurement Department, 535 Telfair Street – Suite 605, Augusta, GA 30901 **(706-821-2422)**.

All questions must be submitted in writing by fax to 706 821-2811 or by email to procbidandcontract@augustaga.gov to the office of the Procurement Department by Friday, February 10, 2023 @ 5:00 P.M. No bid will be accepted by fax or email, all must be received by mail or hand delivered.

No bids may be withdrawn for a period of ninety (90) days after bids have been opened, pending the execution of contract with the successful bidder.

Invitation for bids and specifications. An invitation for bids shall be issued by the Procurement Office and shall include specifications prepared in accordance with Article 4 (Product Specifications), and all contractual terms and conditions, applicable to the procurement. **All specific requirements contained in the invitation to bid including, but not limited to, the number of copies needed, the timing of the submission, the required financial data, and any other requirements designated by the Procurement Department are considered material conditions of the bid which are not waiveable or modifiable by the Procurement Director.** All requests to waive or modify any such material condition shall be submitted through the Procurement Director to the appropriate committee of the Augusta, Georgia Commission for approval by the Augusta, Georgia Commission. Please mark BID number on the outside of the envelope.

The local bidder preference program is applicable to this project. To be approved as a local bidder and receive bid preference an eligible bidder must submit a completed and signed written application to become a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project. An eligible bidder who fails to submit an application for approval as a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project, and who otherwise meets the requirements for approval as a local bidder, will not be qualified for a bid preference on such eligible local project.

GEORGIA E-Verify and Public Contracts: The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees. They may be exempt from this requirement if they have no employees and do not plan to hire employees for the purpose of completing any part of the public contract. Certain professions are also exempt. All requests for proposals issued by a city must include the contractor affidavit as part of the requirement for their bid to be considered.

Bidders are cautioned that acquisition of BID documents through any source other than the office of the Procurement Department is not advisable. Acquisition of BID documents from unauthorized sources placed the bidder at the risk of receiving incomplete or inaccurate information upon which to base his qualifications.

Correspondence must be submitted via mail, fax or email as follows:

Augusta Procurement Department
Attn: Gerri A. Sams, Director of Procurement
535 Telfair Street, Room 605
Augusta, GA 30901
Fax: 706-821-2811 or Email: procbidandcontract@augustaga.gov

No bid will be accepted by fax or email, all must be received by mail or hand delivered.

GERI A. SAMS, Procurement Director

Publish:

Augusta Chronicle January 19, 26, 2023 and February 2, 9, 2023
Metro Courier January 19, 2023



**Bid Opening Bid Item #23-130 Vernon Forest Park - Restroom Permit Plans
Augusta, GA - Central Services Department
Bid Date: Monday February 20, 2023 @ 11:00 a.m.**

**Total Number Specifications Mailed Out: 20
Total Number Specifications Download (Demandstar): 5
Total Electronic Notifications (Demandstar): 294
Georgia Procurement Registry: 339
Total Packages Submitted: 1
Total Noncompliant: 0**

Vendors	Attachment "B"	E-Verify Number	SAVE Form	Base Bid
Johnson, Laschober & Associates, P.C. 1296 Broad Street Augusta, GA 30901	Yes	226309	Yes	\$28,500.00



Central Services Department

Ron Lampkin, Interim Director 2760 Peach Orchard Road, Augusta GA 30906
 Maria Rivera-Rivera, Deputy Director (706) 828-7174 Phone (706) 799-5077 Fax

MEMORANDUM

TO: Ms. Geri Sams, Director, Procurement Department
FROM: Mr. Ron Lampkin, Interim Director, Central Services Department
DATE: March 1, 2023
SUBJECT: Bid Item #23-130; Vernon Forest Park – Restroom Permit Plans

On February 20, 2023, the Central Services Department – Facilities Maintenance Division received proposals for bid #23-130, Vernon Forest Park – Restroom Permit Plans. Johnson, Laschober & Associates, P.C submitted the lowest compliant bid for a total of \$28,500.00. This amount exceeds the estimated budget of \$24,000.00 by \$4,500.00 or 18%.

Per the Augusta, Georgia Procurement Code, sec. 1-10-60 Central Services Department is providing justification to proceed with Johnson, Laschober & Associates, P.C. as the lowest bid is within 20% of the estimated budget. It is not in our best interest to rebid or cancel the bid because the strained supply chain which could possibly create a dramatic increase in cost.

Central Services recommends award of contract to Johnson, Laschober & Associates, P.C for the development of restrooms permit plans as the current budget covers the proposed budget by this contractor.

Thank you for your assistance in securing these prices. Please do not hesitate to call if you have any questions or need additional clarification.

cc: Ron Lampkin
 Maria Rivera-Rivera

Cheatham, Fletcher, Scott Architects
420 8th Street
Augusta, GA 30901

Studio 3 Design Group
1617 Walton Way
Augusta, GA 30904

Dickinson Architects
771 Broad Street, Suite 200
Augusta, GA 30901

2km Architects
529 Greene Street
Augusta, GA 30901

EMC Engineering Services
4210 Columbia Rd., Suite 16A
Martinez, GA 30907

Chris Booker & Associates
670 Broad Street
Augusta, GA 30901

Woodhurst Architects
607 15th Street
Augusta, GA 30901

Johnson Laschober & Associates
1296 Broad Street
Augusta, GA 30901

Alan Venable Architects
309 11th Street
Augusta, GA 30901

Harley & Associates Architects
718 Broad Street
Augusta, GA 30901

James Swift & Associates
1206 Interstate Pkwy.
Augusta, GA 30909

Civil Services
851 Laney Walker Blvd.
Augusta, GA 30901

Attn: Scott Williams
Cranston Engineering
452 Ellis Street
Augusta, GA 30901

Rick Toole
Benesch Engineers
1005 Broad Street Suite 200
Augusta, GA 30901

Dickinson Architects
771 Broad Street, Suite 200
Augusta, GA 30901

Pruett Ford & Associates
1201 Broad Street
Augusta, GA 30901

Pond & Company
621 NW Frontage Rd
Augusta, GA 30907

GMC
1450 Greene St.
Augusta, GA 30901

ISM
1571 Broad St
Augusta, GA 30901

Moore & Associates
1009 East Ave.
North Augusta, SC 29841

Ron Lampkin
Central Services Department

Maria Rivera-Rivera
Central Services Department

Phyllis Johnson
Compliance Department

Maurice McDowell
Recreation & Parks

BID ITEM #23-130
VERNON FOREST PARK – RESTROOM
PERMIT PLANS FOR AUGUSTA, GA -
CENTRAL SERVICES DEPARTMENT
DUE: MON., FEB. 20, 2023 @ 11:00 A.M.

BID ITEM #23-130
VERNON FOREST PARK – RESTROOM
PERMIT PLANS FOR AUGUSTA, GA -
CENTRAL SERVICES DEPARTMENT
MAIL: 01/19/23

Item 6.

jas consultants 2023-01-19	frank@jasconsultants.net smith, frank	N	NOM
usregistryconnect 2023-01-19	rfq@usregistryconnect.com usregistry, usregistry	N	NOM

ETHNIC GROUP	COUNT
African American	43
Asian American	9
Native American	3
Hispanic/Latino	4
Pacific Island/American	1
Non Minority	116
Not Classified	0
Total Number of Vendors	176
Total Number of Contacts	339

[PR_bid_email_list](#)

Planholders

Add Supplier

Export To Excel

Supplier (5)

Supplier	Download Date
Dodge Data	01/25/2023
Its A Go Logistics LLC	01/26/2023
Onvia, Inc. - Content Department	01/24/2023
Pryco Structural, LLC	02/08/2023
Universal Uplift, LLC	02/10/2023

Add Supplier

Supplier Details

Supplier Name	Dodge Data
Contact Name	Bonny Mangold
Address	4300 Beltway Place, Ste 150 , Arlington, TX 76018
Email	dodge.docs@construction.com
Phone Number	413-376-7032

Documents

Filename	Type	Action
23-130_ITB	Bid Document / Specifications	View History



Meeting Name

Meeting Date: August 29, 2023

Bid Item #23-177; Augusta Print Shop – Structural Retrofit

- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural Retrofit in the amount of \$93,450.00 to be performed by Contract Management, Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final amount with contingency is \$121,485.00
- Background:** The project relates to a structural retrofit of the Augusta Print Shop, located at 712 4th Street in Augusta, GA. Work will be performed in accordance to plans and specification provided by Johnson, Laschober and Associates, P.C.
- Analysis:** Contract Management was the only vendor to respond. The bid was compliant and was within budget. Central Services recommends award to Contract Management, Inc.
- Financial Impact:** \$121,485.00 SPLOST
GL: 330-05-1120
- Alternatives:** A -Award bid
B -Do not award bid
- Recommendation:** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural Retrofit in the amount of \$93,450.00 to be performed by Contract Management, Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final amount with contingency is \$121,485.00
- Funds are available in the following accounts:** \$121,485.00 SPLOST
GL: 330-05-1120

REVIEWED AND APPROVED BY:

Invitation to Bid

Sealed bids will be received at this office until **Wednesday, July 26, 2023 @ 11:00 a.m.** via ZOOM Meeting ID: **821 8520 4718**; Passcode: **706034** for furnishing:

Bid Item #23-177 Augusta Print Shop – Structural Retrofit for Augusta, GA – Central Service Department

Bids will be received by Augusta, GA Commission hereinafter referred to as the OWNER at the offices of:

Geri A. Sams, Director
Augusta Procurement Department
535 Telfair Street - Room 605
Augusta, Georgia 30901

Bid documents may be viewed on the Augusta, Georgia web site under the Procurement Department **ARCbid**. Bid documents may be obtained at the offices of Augusta, GA Procurement Department, 535 Telfair Street – Suite 605, Augusta, GA 30901 **(706-821-2422)**.

A Pre-Bid Conference will be held on Monday, July 10, 2023 @ 10:00 a.m. via Zoom Meeting ID: 838 5310 1413; Passcode: 962395. Optional Site-Visit, Tuesday, July 11, 2023, at the site location. Contact Marie Rivera-Rivera at (706) 821-1629 for additional information.

All questions must be submitted in writing by fax to 706 821-2811 or by email to procbidandcontract@augustaga.gov to the office of the Procurement Department by Wednesday, July 12, 2023 @ 5:00 P.M. No bid will be accepted by fax or email, all must be received by mail or hand delivered.

No bids may be withdrawn for a period of ninety (90) days after bids have been opened, pending the execution of contract with the successful bidder. **A 100% performance bond and a 100% payment bond will be required for award.**

Invitation for bids and specifications. An invitation for bids shall be issued by the Procurement Office and shall include specifications prepared in accordance with Article 4 (Product Specifications), and all contractual terms and conditions, applicable to the procurement. **All specific requirements contained in the invitation to bid including, but not limited to, the number of copies needed, the timing of the submission, the required financial data, and any other requirements designated by the Procurement Department are considered material conditions of the bid which are not waiveable or modifiable by the Procurement Director.** All requests to waive or modify any such material condition shall be submitted through the Procurement Director to the appropriate committee of the Augusta, Georgia Commission for approval by the Augusta, Georgia Commission. Please mark BID number on the outside of the envelope.

The local bidder preference program is applicable to this project. To be approved as a local bidder and receive bid preference an eligible bidder must submit a completed and signed written application to become a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project. An eligible bidder who fails to submit an application for approval as a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project, and who otherwise meets the requirements for approval as a local bidder, will not be qualified for a bid preference on such eligible local project.

GEORGIA E-Verify and Public Contracts: The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees. They may be exempt from this requirement if they have no employees and do not plan to hire employees for the purpose of completing any part of the public contract. Certain professions are also exempt. All requests for proposals issued by a city must include the contractor affidavit as part of the requirement for their bid to be considered.

Bidders are cautioned that acquisition of BID documents through any source other than the office of the Procurement Department is not advisable. Acquisition of BID documents from unauthorized sources placed the bidder at the risk of receiving incomplete or inaccurate information upon which to base his qualifications.

Correspondence must be submitted via mail, fax or email as follows:

Augusta Procurement Department
Attn: Geri A. Sams, Director of Procurement
535 Telfair Street, Room 605
Augusta, GA 30901
Fax: 706-821-2811 or Email: procbidandcontract@augustaga.gov

No bid will be accepted by fax or email, all must be received by mail or hand delivered.

GERI A. SAMS, Procurement Director

Publish:

Augusta Chronicle June 8, 15, 22, 29, 2023
Metro Courier June 8, 2023



Central Services Department

Ron Lampkin, Interim Director 2760 Peach Orchard Road, Augusta GA 30906
Maria Rivera-Rivera, Deputy Director (706) 828-7174 Phone (706) 799-5077 Fax

MEMORANDUM

TO: Ms. Geri Sams, Director, Procurement Department
FROM: *[Signature]* Mr. Ron Lampkin, Interim Director, Central Services Department
DATE: July 26, 2023
SUBJECT: Bid Item #23-177; Augusta Print Shop – Structural Retrofit

On July 26, 2023, the Central Services Department – Facilities Maintenance Division received proposals for bid #23-177; Augusta Print Shop – Structural Retrofit. Contract Management, Inc. submitted the lowest bid for a total of \$93,450.00. This amount falls within the proposed budget for this project.

Central Services recommends award of contract to Contract Management, Inc. for the structural retrofit at the 712 Fourth Street location.

Thank you for your assistance in securing these prices. Please do not hesitate to call if you have any questions or need additional clarification.

cc: Ron Lampkin
Maria Rivera-Rivera

CONTRACT MANAGEMENT
1829 KILLINGSWORTH ROAD
AUGUSTA, GA 30904

KUHLKE CONSTRUCTION
3704 BENCHMARK DR.
AUGUSTA, GA 30909

R.W.ALLEN LLC
1015 BROAD STREET
AUGUSTA, GA 30901

ALLEN BATCHELOR CONSTRUCTION
1063 FRANKE INDUSTRIAL BLVD
AUGUSTA, GA 30909

RCN CONTRACTING INC
1115 FRANKE INDUSTRIAL BLVD.
AUGUSTA, GA 30909

R.D BROWN CONTRACTORS
410 CAROLINA SPRINGS ROAD
NORTH AUGUSTA, SC 29841

TWO STATE CONSTRUCTION COMPANY
2292 WASHINGTON ROAD
THOMSON, GA 30824

ACC CONSTRUCTION CO
635 NORTHWEST FRONTAGE
AUGUSTA, GA 30907

PROQUA CORPORATION
1827 KILLINGSWORTH ROAD
AUGUSTA, GA 30904

LARRY PITTMAN AND ASSOCIATES
1249 GORDON PARK RD
AUGUSTA, GA 30901

GS ROOFING AND CONSTRUCTION LLC
457 COLUMBIA INDUSTRIAL BLVD
EVANS, GA 30809

LARRY MCCORD DESIGN BUILD
2016 HIGHLAND AVE
AUGUSTA, GA 30904

J&B CONSTRUCTION & SRVC INC
3550 GORDON HIGHWAY
GROVETOWN GA 30813

QUINTECH SOLUTIONS
102 SANGRAEE PARK CT #4
SUMMERVILLE, SC 29486

HORIZON CONSTRUCTION
PO BOX 798
EVANS, GA 30809

CONTINENTAL CONSTRUCTION
4190 CROSSTOWNE COURT
EVANS, GA 30809

**HEAVENER & ASSOCIATES
CONSTRUCTION**
P.O. BOX 14129
AUGUSTA, GA 30919

ATTAWAY CONSTRUCTION
ATTN: MELISSA TYLER
4234 WHEELER ROAD
MARTINEZ, GA 30907

ROBERTSON RESTORATION
960 HICKMAN ROAD
AUGUSTA, GA 30904

B.R. WALDEN CONSTRUCTION
2320 WALDEN DRIVE
AUGUSTA, GEORGIA 30904

TWENTIETH CENTURY CONSTRUCTION
2106 KELLY STREET
AUGUSTA, GEORGIA 30904

SHEARER CONSTRUCTION
ATTN: ROBBIE SHEARER
P. O. BOX 2570
EVANS, GA 30809

S. D. CLIFTON CONSTRUCTION
4324 WHEELER ROAD
AUGUSTA, GA 30907

SPRATLIN & SON CONSTRUCTION
P.O. BOX 66
139 N. PEACHTREE STREET
LINCOLNTON, GA 30817

RON LAMPKIN
CENTRAL SERVICE

MARIA RIVERIA-RIVERIA
CENTRAL SERVICE

PHYLISS JOHNSON
COMPLIANCE DEPT.

BID ITEM# 23-177
AUGUSTA PRINT SHOP – STRUCTURAL
RETROFIT FOR CENTRAL SERVICE
DEPT
BID DUE: WED. 7/26/23 @ 11:00 A.M.

BID ITEM# 23-177
AUGUSTA PRINT SHOP – STRUCTURAL
RETROFIT FOR CENTRAL SERVICE
DEPT
BID MAILED: 6/08/23



1 of 1

Planholders

Add Supplier

Export To Excel

Supplier (7)

Supplier 	Download Date
ConstructConnect	06/16/2023 
Direct business worldwide enterprise	06/16/2023
Dodge Data	06/14/2023
McKnight Construction	06/13/2023
Muns Services, LLC	07/21/2023
Pryco Structural, LLC	07/21/2023
WOW CK Design LLC	06/13/2023

Add Supplier

2023-06-12			
WINTER CONSTRUCTION COMPANY 2023-06-12	sgolias@winter-construction.com SGOLIAS, SGOLIAS		
WOODWIND CONSTRUCTION COMPANY INC 2023-06-12	lberthen@woodwindconstruction.net WOODWIND, WOODWIND	N	NOM
WORLDSAPES LGP LLC 2023-06-12	worldscapes.bids@gmail.com WORLDSAPES, WORLDSAPES	Y	AFA
WURTH USA INC 2023-06-12	daisy.diaz-gleaves@wurthusa.com WURTHUSA1, WURTHUSA1	N	NOM
WURTH USA INC 2023-06-12	doreen.bechard@wurthusa.com WURTHUSA, WURTHUSA		
WURTH USA INC 2023-06-12	scott.newsome@wurthusa.com CARGOSCOTT, CARGOSCOTT		
WURTH USA INC 2023-06-12	thomas.quay@wurthusa.com TQUAY, TQUAY		
Waveshore inc 2023-06-12	danielinares_90@hotmail.com Linares, Daniel	N	NOM
West Peachtree Investments LLC 2023-06-12	jordache690@gmail.com Jordan, Anytwone	N	NOM
Wilcox Lee 2023-06-12	wilcoxlee26@gmail.com Lee, Wilcox	N	NOM
Young & Sons Construction 2023-06-12	1dreddogg@gmail.com Young, Sidney	N	NOM
ZEHNA INC 2023-06-12	kevinc.crr@gmail.com Cash, Kevin	N	NOM
iCrown Consulting LLC 2023-06-12	info@icrownconsulting.com Chisholm, Sanandia	N	NOM
mickey and sons llc 2023-06-12	yereny.diaz@gmail.com diaz, yereny	N	NOM
mr Fix It 30121 LLC 2023-06-12	mrfixit30121@yahoo.com Roney, Amy	Y	AFA
new world restoration llc 2023-06-12	newworldrestoration@hotmail.com zolanich, jonathan	N	NOM
sung h chund 2023-06-12	dannyjon0808@gmail.com jon, danny	N	NOM

ETHNIC GROUP	COUNT
African American	41
Asian American	4
Native American	6
Hispanic/Latino	5
Pacific Island/American	1
Non Minority	291
Not Classified	0
Total Number of Vendors	348
Total Number of Contacts	635



Meeting Name

Meeting Date: August 29, 2023

Bid Item #23-177; Augusta Print Shop – Structural Retrofit

- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural Retrofit in the amount of \$93,450.00 to be performed by Contract Management, Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final amount with contingency is \$121,485.00
- Background:** The project relates to a structural retrofit of the Augusta Print Shop, located at 712 4th Street in Augusta, GA. Work will be performed in accordance to plans and specification provided by Johnson, Laschober and Associates, P.C.
- Analysis:** Contract Management was the only vendor to respond. The bid was compliant and was within budget. Central Services recommends award to Contract Management, Inc.
- Financial Impact:** \$121,485.00 SPLOST
GL: 330-05-1120
- Alternatives:** A -Award bid
B -Do not award bid
- Recommendation:** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural Retrofit in the amount of \$93,450.00 to be performed by Contract Management, Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final amount with contingency is \$121,485.00
- Funds are available in the following accounts:** \$121,485.00 SPLOST
GL: 330-05-1120

REVIEWED AND APPROVED BY:



Administrative Services Committee

Meeting Date: 8/29/2023

Emergency - Probation Office Roof Replacement

- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Receive as information the emergency request for the replacement of the membrane roof system at the Probation Office in the amount of \$80,000.00 by Hixon’s Roofing.
- Background:** Due to recent severe weather, several leaks were detected at the Probation Office. These leaks are persistently creating interior issues and water damage. After an assessment of the roof was performed, it was found that the membrane roof system will require replacement. It is imperative that the maintenance process continues to preserve the integrity of the structure.
- Analysis:** Hixon’s Roofing will perform the replacement of the membrane roof system.
- Financial Impact:** \$80,000.00; Capital
GL: 272-01-6210 / 54.13120
- Alternatives:** A – Receive as information
B – Do not receive as information
- Recommendation:** Receive as information the emergency request for the replacement of the membrane roof system at the Probation Office in the amount of \$80,000.00 by Hixon’s Roofing.
- Funds are available in the following accounts:** \$80,000.00; Capital
GL: 272-01-6210 / 54.13120



Central Services Department

Ron Lampkin, Interim Director
Maria Rivera-Rivera, Deputy Director

2760 Peach Orchard Road, Augusta, GA 30906
(706) 821-7174 Phone (706) 796-5077 Fax

MEMORANDUM

TO: Geri Sams, Director, Procurement Department

FROM: Ron Lampkin, Interim Director, Central Services Department

DATE: August 1, 2023

SUBJECT: Emergency Memo – Probation Office Membrane Roof System Replacement

In accordance with §1-10-57 Emergency Procurements, I respectfully ask you to accept this communication as notification of an emergency at the Probation Office regarding several roof leaks.

The Probation Office is currently experiencing several leaks inside the building. These leaks are persistently causing interior issues and water damage to the walls, ceiling, and flooring. During an assessment conducted by the Central Services Department, it was found that the membrane roof system will require replacement. It is imperative that the maintenance process continues to preserve the integrity of the structure. Hixon’s Roofing has been deemed qualified to make the replacement of the membrane roof system.

Please process a purchase order to Hixon’s Roofing in the amount of \$80,000.00 for the needed roof system replacement.

If you have any questions or concerns, please contact the Central Services Department.

CONCURRENCE:	Concur	Reject	Date
Director of Central Services	<u>RL</u>	_____	<u>8/1/23</u>
Director of Finance	_____	_____	_____

ACTION BY ADMINISTRATOR:

Approved: _____ Rejected: _____

Date: _____

Item 8.

**AUGUSTA-RICHMOND COUNTY GEORGIA
PURCHASING DEPARTMENT
REQUISITION**

DEPARTMENT NAME: Central Services Department
 DEPARTMENT NUMBER: 272046210/54.13120
 DEPARTMENT HEAD: 

REQUISITION: _____
 REQUISITION DATE: 08/1/2023
 PURCHASE ORDER NUMBER: _____
 PURCHASE ORDER DATE: _____

ITEM NO	DESCRIPTION	Quantity	NAME OF BIDDER		NAME OF BIDDER		NAME OF BIDDER	
			Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	REPLACEMENT OF THE PROBATION OFFICE MEMBRANE ROOF SYSTEM TO INCLUDE: REMOVAL OF THE EXISTING ROOF SYSTEM INCLUDING EXISTING PLYWOOD DECK, INSTALLATION OF NEW 1/2" PLYWOOD DECK, MECHANICALLY ATTACH 2" RIGID INSULATION, MECHANICALLY ATTACH 60 MIL TPO, INSTALL NEW TERMINATION BAR IN EXISTING INTERNAL GUTTERS, NEW PIPE BOOTS, NEW DRIP EDGE AT ALL RAKES AND EAVES, CLEAN UP WORK AREA AND PROPERLY DISPOSE OF GENERATED TRASH AND DEBRIS	1	\$ 80,000.00	\$ 80,000.00				
2								
3	*Emergency							
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
TOTAL BID				\$ 80,000.00				
SHIPPING CHARGES								
DELIVERY TIME FROM RECEIPT OF PURCHASE ORDER								

VENDOR
 PHONE NUMBER
 QUOTED BY

Hixon's Roofing
 (803) 341-1729
 David Hixon

HIXON'S **ROOFING** **& CONSTRUCTION**

Item 8.

Proposal

Project Name: Richmond County Probation Office

Project Address: 398 Walton Way
Augusta, Georgia 30901

Proposal Date: 7/31/23

Proposal Version: 1

Contractor/Owner: Timothy Howard

Mobilization	
Remove Existing Roof System Including Existing Plywood Deck	
Install New 1/2" Plywood Deck	
Mechanically Attach 2" Rigid Insulation Per Manufactures Specifications	
Mechanically Attach 60 MIL TPO Per Manufactures Specifications	
Install New Termination Bar in Existing Internal Gutters	
Install New Pipe Boots	
Install New Drip Edge at All Rakes and Eaves	
Clean Up Work Area and Properly Dispose of Generated Trash and Debris	
Clarifications and Alternates	
1.)	20 Year Manufactures Warranty on Paint.
2.)	5 Year Labor Warranty

Base Bid Total:	\$80,000.00
------------------------	--------------------

1.)	Proposal is valid for 30 days from date listed on proposal.
2.)	No performance and payment bond included.
3.)	No items not specifically listed in proposal included.

272016210/54-13120

AUGUSTA, GEORGIA

PURCHASE ORDER

SUITE 605, PROCUREMENT DEPARTMENT
 535 TELFAIR STREET, MUNICIPAL BUILDING 1000
 AUGUSTA, GEORGIA 30901-2377
 PHONE: (706) 821-2422

PURCHASE ORDER NO.
P458122
 REQUISITION/QUOTE NO.
R379026

DATE 08/10/23	DEPARTMENT 016210	VENDOR PHONE # (803) 991-3018
VENDOR # 25041	E-VERIFY # 1463221	EMAIL VELVET@HIXONSROOFING.COM

PURCHASE ORDER NUMBER ABOVE
 MUST APPEAR ON ALL INVOICES,
 SHIPPING PAPERS, AND PACKAGES.

VENDOR HIXON'S ROOFING & CONSTRUCTION 521 SILVER BLUFF ROAD AIKEN, SC 29831	ATTN: EMERGENCY BID NUMBER: CONTRACT #: BUYER: DOREEN
---	--

SHIP TO: CENTRAL SERVICES ADMIN 2760 PEACH ORCHARD RD. BUILDING A AUGUSTA, GA 30906	BILL TO: AUGUSTA, GEORGIA ACCOUNTING DEPARTMENT, SUITE 800 535 TELFAIR STREET, MUNICIPAL BUILDING 1000 AUGUSTA, GA 30901-2379 (706) 821-2336 ALL INVOICES AND CORRESPONDENCE MUST BE SENT TO ABOVE ADDRESS REGARDLESS OF SHIPPING DESTINATION.
---	--

ITEM #	QUANTITY	UNIT	PRODUCT ID	DESCRIPTION	UNIT PRICE	AMOUNT
0001	1			REPLACEMENT OF THE PROBATION OFFICE MEMBRANE ROOF SYSTEM TO INCLUDE: REMOVAL OF THE EXISTING ROOF SYSTEM INCLUDING EXISTING PLYWOOD DECK, INSTALLATION OF NEW 1/2" PLYWOOD DECK, MECHANICALLY ATTACH 2" RIGID INSULATION, MECHANICALLY ATTACH 60 MIL TPO, INSTALL NEW TERMINATION BAR IN EXISTING INTERNAL GUTTERS NEW PIPE BOOTS, NEW DRIP EDGE AT ALL RAKES & EAVES, CLEAN UP WORK AREA & PROPERLY DISPOSE OF GENERATED TRASH & DEBRIS 272-01-6210/54-13120	80,000.00	80,000.00

CONDITIONS - READ CAREFULLY

- The purchaser is exempt by statute from payment of Federal, State, and Municipal sales, excise and other taxes.
- Shipping charges prepaid by vendor.
- Payment will be made on complete shipments only, unless otherwise requested.
- DELIVERY TICKET MUST ACCOMPANY GOODS.**
- No back orders. We will reorder if available.
- Please make deliveries between 9 A.M. and 4 P.M.
- All goods received with subsequent privilege to inspect and return at Vendor's expense if defective or not in compliance with our specifications.
- Indoor delivery if necessary.
- Payment Net 30 or according to contract.

NET TOTAL.....	80,000.00
APPROVED FOR ISSUE	<i>G.A. Sims</i>

VENDOR COPY

PROCUREMENT DIRECTOR



Administrative Services Committee

Meeting Date: 8/29/2023

Emergency – McBean Community Center HVAC Upgrades

- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Receive as information the emergency request for the replacement of a 5-ton HVAC unit at Mc Bean Community Center in the amount of \$25,998.00 by Trane Company.
- Background:** The 5-ton HVAC unit that services the McBean Community location was found to be out of operation. The failure of this unit, coupled with the outside temperature, is causing the building temperature to increase. It is imperative that the replacement of the HVAC unit takes place to properly provide the conditioned air required to prevent the threat to public health.
- Analysis:** Trane Company will perform the replacement of the 5-ton HVAC unit.
- Financial Impact:** \$25,998.00; Capital
GL: 272-01-6210 / 54.13120
- Alternatives:** A – Receive as information
B – Do not receive as information
- Recommendation:** Receive as information the emergency request for the replacement of a 5-ton HVAC unit at Mc Bean Community Center in the amount of \$25,998.00 by Trane Company.
- Funds are available in the following accounts:** \$25,998.00; Capital
GL: 272-01-6210 / 54.13120



Central Services Department

Ron Lampkin, Interim Director 2760 Peach Orchard Road, Augusta, GA 30906
Maria Rivera-Rivera, Deputy Director (706) 828-7174 Phone (706) 796-5077 Fax

MEMORANDUM

TO: Geri Sams, Director, Procurement Department
FROM: Ron Lampkin, Interim Director, Central Services Department
DATE: August 1, 2023
SUBJECT: Emergency Memo – McBean Community Center HVAC Upgrades

In accordance with §1-10-57 Emergency Procurements, we respectfully ask you to accept this communication as notification of an emergency at the McBean Community Center in regards to the failure of the HVAC units.

The 5-ton HVAC unit that services the McBean Community Center was found to be out of operation. After an inspection was performed on the unit, it was found that the 5-ton unit will require replacement, and the 10-ton unit requires a replacement drain pan. It is imperative that these replacements are made so that the HVAC units may maintain a consistent temperature within the building.

The failure of these HVAC units, coupled with the current outside temperature, will cause the room temperature to increase. Also, our current environmental concerns further heighten the need for the replacement of the 5-ton unit and repairs to the 10-ton unit, as the CDC has recommended air be properly circulated in public facilities to reduce the spread of communicable viruses/diseases thus prevent a threat to public health.

Please process a purchase order for Trane Company, in the amount of \$25,998.00 for the necessary HVAC upgrades to McBean Community Center.

If you have any questions or concerns, please contact the Central Services Department.

CONCURRENCE:	Concur	Reject	Date
Director of Central Services	<u>RL</u>	_____	<u>8/2/23</u>
Director of Finance	_____	_____	_____

ACTION BY ADMINISTRATOR:

Approved: _____ Rejected: _____
Date: _____

Item 9.

**AUGUSTA-RICHMOND COUNTY GEORGIA
PURCHASING DEPARTMENT**

DEPARTMENT NAME: Central Services Department
DEPARTMENT NUMBER: 272016210/54.13120
DEPARTMENT HEAD: 

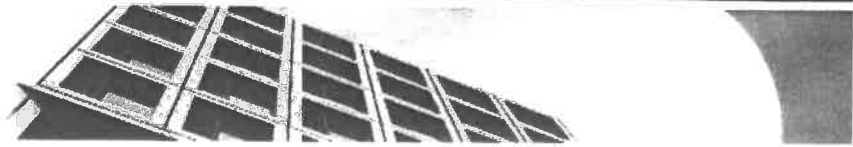
REQUISITION

REQUISITION:
REQUISITION DATE: 08/1/2023
PURCHASE ORDER NUMBER:
PURCHASE ORDER DATE:

ITEM NO	DESCRIPTION	Quantity	NAME OF BIDDER		NAME OF BIDDER		NAME OF BIDDER	
			Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
1	REPLACEMENT OF THE 5 AND 10 TON SPLIT SYSTEM HEAT PUMPS AT MCBEAN COMMUNITY CENTER	1	\$ 25,998.00	\$ 25,998.00				
2								
3								
4	*Emergency							
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19								
20								
21								
22								
TOTAL BID								
SHIPPING CHARGES			\$		25,998.00			
DELIVERY TIME FROM RECEIPT OF PURCHASE ORDER								

VENDOR
PHONE NUMBER
QUOTED BY

Trane
 (706) 738-8157
 Calvin Smith



Trane U.S. Inc.
 804 Trane Rd
 Augusta, GA 30909
 Phone: (706) 738-8157
 Fax: (706) 733-7842

July 10, 2023
 Revised July 20, 2023

Augusta-Richmond Cnty
 535 TELFAIR ST SUITE 800
 Augusta, GA 30901-3090

Site Address:
 McBean Community Center
 Augusta, GA 30906

ATTENTION: Maria Rivera

PROJECT NAME: McBean Community Center HVAC Upgrades

272016210154-1320

We are pleased to propose the following Trane services for the equipment listed. Services will be performed using Trane's exclusive service procedures provided by factory trained and experienced technicians. You receive the full benefit of our expertise derived from being Trane equipment's original manufacturer. Our procedures are environmentally and safety conscious while providing for the efficient delivery of these services.

EQUIPMENT LIST

The following "Covered Equipment" will be serviced at McBean Community Center:

Equipment	Qty	Manufacturer	Model Number	Serial Number
5 Ton Heat Indoor/Outdoor	1	Trane	TWG060A / TWA060D	225362P6V / 2291X2U1F
10 Ton Heat Indoor/Outdoor	1	Trane	TWE120A / TWA120A	R164NY15H / 13452Y63YA

SCOPE OF SERVICE

- Evacuate refrigerant from 5 ton system.
- Remove refrigerant from 5 ton system.
- Furnish and Install new 5-ton split system heat pump.
- Furnish and install new emergency drain pans with float switches on 5 and 10 ton system.
- Furnish and install new insulation on exterior suction lines and new interior suction line piping.
- Reconnect to the existing line set, electrical and utilities.
- Remove and reinstall all necessary duct to install the new Air Handlers.
- 410-A refrigerant
- Provide a proper pressure check, vacuum and start-up of the system installed.
- Trane will provide a 1-year parts and 5-year compressor warranty.

PRICING AND ACCEPTANCE

TOTAL PRICE:.....\$25,998 USD

CLARIFICATIONS

1. Applicable taxes are included and will be added to the invoice.
2. Any service not listed is not included.
3. Work will be performed during normal Trane business hours.
4. This proposal is valid for 30 days from July 20, 2023.

I appreciate the opportunity to earn your business and look forward to helping you with all of your service needs. Please contact me if you have any questions or concerns.

Sincerely,

Calvin Smith
 Account Manager
 E-mail: calvin.smith@trane.com
 Cell: (706) 699-3614

COVID-19 NATIONAL EMERGENCY CLAUSE

The parties agree that they are entering into this Agreement while the nation is in the midst of a national emergency due to the Covid-19 pandemic ("Covid-19 Pandemic"). With the continued existence of Covid-19 Pandemic and the evolving guidelines and executive orders, it is difficult to determine the impact of the Covid-19 Pandemic on Trane's performance under this Agreement. Consequently, the parties agree as follows:

1. Each party shall use commercially reasonable efforts to perform its obligations under the Agreement and to meet the schedule and completion dates, subject to provisions below;
2. Each party will abide by any federal, state (US), provincial (Canada) or local orders, directives, or advisories regarding the Covid-19 Pandemic with respect to its performance of its obligations under this Agreement and each shall have the sole discretion in determining the appropriate and responsible actions such party shall undertake to so abide or to safeguard its employees, subcontractors, agents and suppliers;
3. Each party shall use commercially reasonable efforts to keep the other party informed of pertinent updates or developments regarding its obligations as the Covid-19 Pandemic situation evolves; and
4. If Trane's performance is delayed or suspended as a result of the Covid-19 Pandemic, Trane shall be entitled to an equitable adjustment to the project schedule and/or the contract price.

This agreement is subject to Customer's acceptance of the attached Trane Terms and Conditions – Quoted Service.

CUSTOMER ACCEPTANCE	
Authorized Representative	
Printed Name	
Title	
Purchase Order	
Acceptance Date	
Trane's License Number: GA-CN007082	



Trane U.S. Inc.
804 Trane Rd
Augusta, GA 30909
Phone: (706) 738-8157
Fax: (706) 733-7842

July 10, 2023
Revised July 20, 2023

Augusta-Richmond Cnty
535 TELFAIR ST SUITE 800
Augusta, GA 30901-3090

Site Address:
McBean Community Center
Augusta, GA 30906

ATTENTION: Maria Rivera

PROJECT NAME: McBean Community Center HVAC Upgrades

We are pleased to propose the following Trane services for the equipment listed. Services will be performed using Trane's exclusive service procedures provided by factory trained and experienced technicians. You receive the full benefit of our expertise derived from being Trane equipment's original manufacturer. Our procedures are environmentally and safety conscious while providing for the efficient delivery of these services.

EQUIPMENT LIST

The following "Covered Equipment" will be serviced at McBean Community Center:

Equipment	Qty	Manufacturer	Model Number	Serial Number
5 Ton Heat Indoor/Outdoor	1	Trane	TWG060A / TWA060D	225362P6V / 2291X2U1F
10 Ton Heat Indoor/Outdoor	1	Trane	TWE120A / TWA120A	R164NY15H / 13452Y63YA

SCOPE OF SERVICE

- Evacuate refrigerant from 5 ton system.
- Remove refrigerant from 5 ton system.
- Furnish and Install new 5-ton split system heat pump.
- Furnish and install new emergency drain pans with float switches on 5 and 10 ton system.
- Furnish and install new insulation on exterior suction lines and new interior suction line piping.
- Reconnect to the existing line set, electrical and utilities.
- Remove and reinstall all necessary duct to install the new Air Handlers.
- 410-A refrigerant
- Provide a proper pressure check, vacuum and start-up of the system installed.
- Trane will provide a 1-year parts and 5-year compressor warranty.

PRICING AND ACCEPTANCE

TOTAL PRICE:.....\$25,998 USD

CLARIFICATIONS

1. Applicable taxes are included and will be added to the invoice.
2. Any service not listed is not included.
3. Work will be performed during normal Trane business hours.
4. This proposal is valid for 30 days from July 20, 2023.

I appreciate the opportunity to earn your business and look forward to helping you with all of your service needs. Please contact me if you have any questions or concerns.

Sincerely,

Calvin Smith
 Account Manager
 E-mail: calvin.smith@trane.com
 Cell: (706) 699-3614

COVID-19 NATIONAL EMERGENCY CLAUSE

The parties agree that they are entering into this Agreement while the nation is in the midst of a national emergency due to the Covid-19 pandemic ("Covid-19 Pandemic"). With the continued existence of Covid-19 Pandemic and the evolving guidelines and executive orders, it is difficult to determine the impact of the Covid-19 Pandemic on Trane's performance under this Agreement. Consequently, the parties agree as follows:

1. Each party shall use commercially reasonable efforts to perform its obligations under the Agreement and to meet the schedule and completion dates, subject to provisions below;
2. Each party will abide by any federal, state (US), provincial (Canada) or local orders, directives, or advisories regarding the Covid-19 Pandemic with respect to its performance of its obligations under this Agreement and each shall have the sole discretion in determining the appropriate and responsible actions such party shall undertake to so abide or to safeguard its employees, subcontractors, agents and suppliers;
3. Each party shall use commercially reasonable efforts to keep the other party informed of pertinent updates or developments regarding its obligations as the Covid-19 Pandemic situation evolves; and
4. If Trane's performance is delayed or suspended as a result of the Covid-19 Pandemic, Trane shall be entitled to an equitable adjustment to the project schedule and/or the contract price.

This agreement is subject to Customer's acceptance of the attached Trane Terms and Conditions – Quoted Service.

CUSTOMER ACCEPTANCE
_____ Authorized Representative
_____ Printed Name
_____ Title
_____ Purchase Order
_____ Acceptance Date
Trane's License Number: GA-CN007082

TERMS AND CONDITIONS – QUOTED SERVICE

“Company” shall mean Trane U.S. Inc..

To obtain repair service within the scope of Services as defined, contact your local Trane District office identified on the first page of the Agreement by calling the telephone number stated on that page. That Trane District office is responsible for Company’s performance of this Agreement. Only Trane authorized personnel may perform service under this Agreement. For Service covered under this Agreement, Company will be responsible for the cost of transporting a part requiring service.

1. Agreement. These terms and conditions are an integral part of Company’s offer and form the basis of any agreement (the “Agreement”) resulting from Company’s proposal (the “Proposal”) for the services (the “Services”) on equipment listed in the Proposal (the “Covered Equipment”). **COMPANY’S TERMS AND CONDITIONS ARE SUBJECT TO PERIODIC CHANGE OR AMENDMENT.**

2. Connected Services. In addition to these terms and conditions, the Connected Services Terms of Service (“Connected Services Terms”), available at <https://www.trane.com/TraneConnectedServicesTerms>, as updated from time to time, are incorporated herein by reference and shall apply to the extent that Company provides Customer with Connected Services, as defined in the Connected Services Terms.

3. Acceptance. The Proposal is subject to acceptance in writing by the party to whom this offer is made or an authorized agent (“Customer”) delivered to Company within 30 days from the date of the Proposal. If Customer accepts the Proposal by placing an order, without the addition of any other terms and conditions of sale or any other modification, Customer’s order shall be deemed acceptance of the Proposal subject to Company’s terms and conditions. If Customer’s order is expressly conditioned upon the Company’s acceptance or assent to terms and/or conditions other than those expressed herein, return of such order by Company with Company’s terms and conditions attached or referenced serves as Company’s notice of objection to Customer’s terms and as Company’s counteroffer to provide Services in accordance with the Proposal. If Customer does not reject or object in writing to Company within 10 days, the Company’s counteroffer will be deemed accepted. Customer’s acceptance of the Services by Company will in any event constitute an acceptance by Customer of Company’s terms and conditions. In the case of a dispute, the applicable terms and conditions will be those in effect at the time of delivery or acceptance of the Services. This Agreement is subject to credit approval by Company. Upon disapproval of credit, Company may delay or suspend performance or, at its option, renegotiate prices and/or terms and conditions with Customer. If Company and Customer are unable to agree on such revisions, this Agreement shall be cancelled without any liability, other than Customer’s obligation to pay for Services rendered by Company to the date of cancellation.

4. Cancellation by Customer Prior to Services; Refund. If Customer cancels this Agreement within (a) thirty (30) days of the date this Agreement was mailed to Customer or (b) twenty (20) days of the date this Agreement was delivered to Customer, if it was delivered at the time of sale, and no Services have been provided by Company under this Agreement, the Agreement will be void and Company will refund to Customer, or credit Customer’s account, the full Service Fee of this Agreement that Customer paid to Company, if any. A ten percent (10%) penalty per month will be added to a refund that is due but is not paid or credited within forty-five (45) days after return of this Agreement to Company. Customer’s right to cancel this Agreement only applies to the original owner of this Agreement and only if no Services have been provided by Company under this Agreement prior to its return to Company.

5. Cancellation by Company. This Agreement may be cancelled by Company for any reason or no reason, upon written notice from Company to Customer no later than 30 days prior to performance of any Services hereunder and Company will refund to Customer, or credit Customer’s account, that part of the Service Fee attributable to Services not performed by Company. Customer shall remain liable for and shall pay to Company all amounts due for Services provided by Company and not yet paid.

6. Services Fees and Taxes. Fees for the Services (the “Service Fee(s)”) shall be as set forth in the Proposal and are based on performance during regular business hours. Fees for outside Company’s regular business hours and any after-hours services shall be billed separately according to the then prevailing overtime or emergency labor/labour rates. In addition to the stated Service Fee, Customer shall pay all taxes not legally required to be paid by Company or, alternatively, shall provide Company with acceptable tax exemption certificates. Customer shall pay all costs (including attorneys’ fees) incurred by Company in attempting to collect amounts due.

7. Payment. Payment is due upon receipt of Company’s invoice. Company reserves the right to add to any account outstanding for more than 30 days a service charge equal to the lesser of the maximum allowable legal interest rate or 1.5% of the principal amount due at the end of each month. Customer shall pay all costs (including attorneys’ fees) incurred by Company in attempting to collect amounts due or otherwise enforcing these terms and conditions.

8. Customer Breach. Each of the following events or conditions shall constitute a breach by Customer and shall give Company the right, without an election of remedies, to terminate this Agreement or suspend performance by delivery of written notice: (1) Any failure by Customer to pay amounts when due; or (2) any general assignment by Customer for the benefit of its creditors, or if Customer becomes bankrupt or insolvent or takes the benefit of any statute for bankrupt or insolvent debtors, or makes or proposes to make any proposal or arrangement with creditors, or if any steps are taken for the winding up or other termination of Customer or the liquidation of its assets, or if a trustee, receiver, or similar person is appointed over any of the assets or interests of Customer; (3) Any representation or warranty furnished by Customer in connection with this Agreement is false or misleading in any material respect when made; or (4) Any failure by Customer to perform or comply with any material provision of this Agreement. Customer shall be liable to the Company for all Services furnished to date and all damages sustained by Company (including lost profit and overhead)

9. Performance. Company shall perform the Services in accordance with industry standards generally applicable in the state or province where the Services are performed under similar circumstances as of the time Company performs the Services. Company is not liable for any claims, damages, losses, or expenses, arising from or related to work done by or services provided by individuals or entities that are not employed by or hired by Company. Company may refuse to perform any Services or work where working conditions could endanger property or put at risk the safety of people. Parts used for any repairs made will be those selected by Company as suitable for the repair and may be parts not manufactured by Company. Customer must reimburse Company for services, repairs, and/or replacements performed by Company at Customer’s request beyond the scope of Services or otherwise excluded under this Agreement. The reimbursement shall be at the then prevailing applicable regular, overtime, or holiday rates for labor/labour and prices for materials. Prior to Company performing the additional services, repairs, and/or replacements, Customer may request a separate written quote stating the work to be performed and the price to be paid by Customer for the work.

10. Customer Obligations. Customer shall: (a) provide Company reasonable and safe access to the Covered Equipment and areas where Company is to work; and (b) unless otherwise agreed by Customer and Company, at Customer’s expense and before the Services begin, Customer will provide any necessary access platforms, catwalks to safely perform the Services in compliance with OSHA, state, or provincial industrial safety regulations or any other applicable industrial safety standards or guidelines.

11. Exclusions. Unless expressly included in the Proposal, the Services do not include, and Company shall not be responsible for or liable to the Customer for, any claims, losses, damages or expenses suffered by the Customer in any way connected with, relating to or arising from any of the following:

(a) Any guarantee of room conditions or system performance;

(b) Inspection, operation, maintenance, repair, replacement or performance of work or services outside the Services;

(c) Damage, repairs or replacement of parts made necessary as a result of the acts or omission of Customer or any Event of Force Majeure;

(d) Any claims, damages, losses, or expenses, arising from or related to conditions that existed in, on, or upon the premises before the effective date of this Agreement ("Pre-Existing Conditions") including, without limitation, damages, losses, or expenses involving a Pre-Existing Condition of building envelope issues, mechanical issues, plumbing issues, and/or indoor air quality issues involving mold/mould, bacteria, microbial growth, fungi or other contaminants or airborne biological agents; and

(e) Replacement of refrigerant is excluded, unless replacement of refrigerant is expressly stated as included with the Proposal.

12. Limited Warranty. Company warrants that: (a) the material manufactured by Company and provided to the Customer in performance of the Services is free from defects in material and manufacture for a period of 12 months from the earlier of the date of equipment start-up or replacement and (b) the labor/labour portion of the Services is warranted to have been properly performed for a period of 90 days from date of completion (the "Limited Warranty"). Company obligations of equipment start-up, if any are stated in the Proposal, are coterminous with the Limited Warranty period. Defects must be reported to Company within the Limited Warranty period. Company's obligation under the Limited Warranty is limited to repairing or replacing the defective part at its option and to correcting any improperly performed labor/labour. No liability whatsoever shall attach to Company until the Services have been paid for in full. Exclusions from this Limited Warranty include claims, losses, damages, and expenses in any way connected with, related to, or arising from failure or malfunction of equipment due to the following: wear and tear; end of life failure; corrosion; erosion; deterioration; Customer's failure to follow the Company-provided maintenance plan; unauthorized or improper maintenance; unauthorized or improper parts or material; refrigerant not supplied by Company; and modifications made by others to Company's equipment. Company shall not be obligated to pay for the cost of lost refrigerant or lost product. Some components of Company equipment may be warranted directly from the component supplier, in which case this Limited Warranty shall not apply to those components and any warranty of such components shall be the warranty given by the component supplier. Notwithstanding the foregoing, all warranties provided herein terminate upon termination or cancellation of this Agreement. Equipment, material and/or parts that are not manufactured by Company ("Third-Party Product(s)") are not warranted by Company and have such warranties as may be extended by the respective manufacturer. **CUSTOMER UNDERSTANDS THAT COMPANY IS NOT THE MANUFACTURER OF ANY THIRD-PARTY PRODUCT(S) AND ANY WARRANTIES, CLAIMS, STATEMENTS, REPRESENTATIONS, OR SPECIFICATIONS ARE THOSE OF THE THIRD-PARTY MANUFACTURER, NOT COMPANY AND CUSTOMER IS NOT RELYING ON ANY WARRANTIES, CLAIMS, STATEMENTS, REPRESENTATIONS, OR SPECIFICATIONS REGARDING THE THIRD-PARTY PRODUCT THAT MAY BE PROVIDED BY COMPANY OR ITS AFFILIATES, WHETHER ORAL OR WRITTEN.**

THE REMEDIES SET FORTH IN THIS LIMITED WARRANTY ARE THE SOLE AND EXCLUSIVE REMEDIES FOR WARRANTY CLAIMS PROVIDED BY COMPANY TO CUSTOMER UNDER THIS AGREEMENT AND ARE IN LIEU OF ALL OTHER WARRANTIES AND LIABILITIES, LIABILITIES, CONDITIONS AND REMEDIES, WHETHER IN CONTRACT, WARRANTY, STATUTE, OR TORT (INCLUDING NEGLIGENCE), EXPRESS OR IMPLIED, IN LAW OR IN FACT, INCLUDING ANY IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR USE OR FITNESS FOR A PARTICULAR PURPOSE AND/OR OTHERS ARISING FROM COURSE OF DEALING OR TRADE. COMPANY EXPRESSLY DISCLAIMS ANY REPRESENTATIONS OR WARRANTIES, ENDORSEMENTS OR CONDITIONS OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTIES OF QUALITY, FITNESS, MERCHANTABILITY, DURABILITY AND/OR OTHERS ARISING FROM COURSE OF DEALING OR TRADE OR REGARDING PREVENTION BY THE SCOPE OF SERVICES, OR ANY COMPONENT THEREOF. COMPANY MAKES NO REPRESENTATION OR WARRANTY OF ANY KIND, INCLUDING WARRANTY OF MERCHANTABILITY OR FITNESS FOR PARTICULAR PURPOSE. ADDITIONALLY, COMPANY MAKES NO REPRESENTATION OR WARRANTY OF ANY KIND REGARDING PREVENTING, ELIMINATING, REDUCING OR INHIBITING ANY MOLD, FUNGUS, BACTERIA, VIRUS, MICROBIAL GROWTH, OR ANY OTHER CONTAMINANTS (INCLUDING COVID-19 OR ANY SIMILAR VIRUS) (COLLECTIVELY, "CONTAMINANTS"), WHETHER INVOLVING OR IN CONNECTION WITH EQUIPMENT, ANY COMPONENT THEREOF, SERVICES OR OTHERWISE. IN NO EVENT SHALL COMPANY HAVE ANY LIABILITY FOR THE PREVENTION, ELIMINATION, REDUCTION OR INHIBITION OF THE GROWTH OR SPREAD OF SUCH CONTAMINANTS INVOLVING OR IN CONNECTION WITH ANY EQUIPMENT, THIRD-PARTY PRODUCT, OR ANY COMPONENT THEREOF, SERVICES OR OTHERWISE AND CUSTOMER HEREBY SPECIFICALLY ACKNOWLEDGES AND AGREES THERETO

13. Indemnity. To the maximum extent permitted by law, Company and Customer shall indemnify and hold harmless each other from any and all claims, actions, costs, expenses, damages and liabilities, including reasonable attorneys' fees, resulting from death or bodily injury or damage to real or personal property, to the extent caused by the negligence or misconduct of the indemnifying party, and/or its respective employees or authorized agents in connection with their activities within the scope of this Agreement. Neither party shall indemnify the other against claims, damages, expenses, or liabilities to the extent attributable to the acts or omissions of the other party or third parties. If the parties are both at fault, the obligation to indemnify shall be proportional to their relative fault. The duty to indemnify and hold harmless will continue in full force and effect, notwithstanding the expiration or early termination of this Agreement, with respect to any claims based on facts or conditions that occurred prior to expiration or termination of this Agreement.

14. Limitation of Liability. NOTWITHSTANDING ANYTHING TO THE CONTRARY, NEITHER PARTY SHALL BE LIABLE FOR SPECIAL, INCIDENTAL, INDIRECT, OR CONSEQUENTIAL LOSSES OR DAMAGES OF ANY KIND (INCLUDING WITHOUT LIMITATION REFRIGERANT LOSS, PRODUCT LOSS, LOST REVENUE OR PROFITS, OR LIABILITY TO THIRD PARTIES), INCLUDING CONTAMINANTS LIABILITIES, OR PUNITIVE DAMAGES WHETHER BASED IN CONTRACT, WARRANTY, STATUTE, TORT (INCLUDING NEGLIGENCE), STRICT LIABILITY, INDEMNITY OR ANY OTHER LEGAL THEORY OR FACTS. NOTWITHSTANDING ANY OTHER PROVISION OF THIS AGREEMENT, THE TOTAL AND AGGREGATE LIABILITY OF THE COMPANY TO THE CUSTOMER WITH RESPECT TO ANY AND ALL CLAIMS CONNECTED WITH, RELATED TO OR ARISING FROM THE PERFORMANCE OR NON-PERFORMANCE OF THIS AGREEMENT, WHETHER BASED IN CONTRACT, WARRANTY, STATUTE, TORT (INCLUDING NEGLIGENCE), STRICT LIABILITY, INDEMNITY OR ANY OTHER LEGAL THEORY OR FACTS, SHALL NOT EXCEED THE COMPENSATION RECEIVED BY COMPANY UNDER THIS AGREEMENT. IN NO EVENT SHALL SELLER BE LIABLE FOR ANY DAMAGES (WHETHER DIRECT OR INDIRECT) RESULTING FROM MOLD, FUNGUS, BACTERIA, MICROBIAL GROWTH, OR OTHER CONTAMINANTS OR AIRBORNE BIOLOGICAL AGENTS. TO THE MAXIMUM EXTENT ALLOWED BY LAW, COMPANY SHALL NOT BE LIABLE FOR ANY OF THE FOLLOWING IN CONNECTION WITH PROVIDING THE ENERGY AND BUILDING PERFORMANCE SERVICES: INTERRUPTION, DELETION, DEFECT, DELAY IN OPERATION OR TRANSMISSION; CUSTOMER'S NETWORK SECURITY; COMPUTER VIRUS; COMMUNICATION FAILURE; THEFT OR DESTRUCTION OF DATA; GAPS IN DATA COLLECTED; AND UNAUTHORIZED ACCESS TO CUSTOMER'S DATA OR COMMUNICATIONS NETWORK.

15. CONTAMINANTS LIABILITY

The transmission of COVID-19 may occur in a variety of ways and circumstances, many of the aspects of which are currently not known. HVAC systems, products, services and other offerings have not been tested for their effectiveness in reducing the spread of COVID-19, including through the air in closed environments. **IN NO EVENT WILL COMPANY BE LIABLE UNDER THIS AGREEMENT OR OTHERWISE FOR ANY INDEMNIFICATION, ACTION OR CLAIM, WHETHER BASED ON WARRANTY, CONTRACT, TORT OR OTHERWISE, FOR ANY BODILY INJURY (INCLUDING DEATH), DAMAGED TO PROPERTY, OR ANY OTHER LIABILITIES, DAMAGES OR COSTS RELATED TO CONTAMINANTS (INCLUDING THE SPREAD, TRANSMISSION MITIGATION, ELIMINATION, OR CONTAMINATION THEREOF) (COLLECTIVELY, "CONTAMINANTS LIABILITIES") AND CUSTOMER HEREBY EXPRESSLY RELEASES COMPANY FROM ANY SUCH CONTAMINANT LIABILITIES.**

16. Asbestos and Hazardous Materials. The Services expressly exclude any identification, abatement, cleanup, control, disposal, removal or other work connected with asbestos or other hazardous materials (collectively, "Hazardous Materials"). Should Company become aware of or suspect the presence of Hazardous Materials, Company may immediately stop work in the affected area and shall notify Customer. Customer will be responsible for taking any and all action necessary to correct the condition in accordance with all applicable laws and regulations. Customer shall be exclusively responsible for any claims, liability, fees and penalties, and the payment thereof, arising out of or relating to any Hazardous Materials on or about the premises, not brought onto the premises by Company. Company shall be required to resume performance of the Services only when the affected area has been rendered harmless.

17. Insurance. Company agrees to maintain the following insurance during the term of the contract with limits not less than shown below and will, upon request from Customer, provide a Certificate of evidencing the following coverage:

Commercial General Liability	\$2,000,000 per occurrence
Automobile Liability	\$2,000,000 CSL
Workers Compensation	Statutory Limits

If Customer has requested to be named as an additional insured under Company's insurance policy, Company will do so but only subject to Company's manuscript additional insured endorsement under its primary Commercial General Liability policies. In no event does Company or its insurer waive its right of subrogation

18. Force Majeure. Company's duty to perform under this Agreement is contingent upon the non-occurrence of an Event of Force Majeure. If Company shall be unable to carry out any material obligation under this Agreement due to an Event of Force Majeure, this Agreement shall at Company's election (i) remain in effect but Company's obligations shall be suspended until the uncontrollable event terminates or (ii) be terminated upon ten (10) days' notice to Customer, in which event Customer shall pay Company for all parts of the Services furnished to the date of termination. An "Event of Force Majeure" shall mean any cause or event beyond the control of Company. Without limiting the foregoing, "Event of Force Majeure" includes: acts of God; acts of terrorism, war or the public enemy; flood; earthquake; lightning; tornado; storm; fire; civil disobedience; pandemic insurrections; riots; labor disputes; labor or material shortages; sabotage; restraint by court order or public authority (whether valid or invalid), and action or non-action by or inability to obtain or keep in force the necessary governmental authorizations, permits, licenses, certificates or approvals if not caused by Company and the requirements of any applicable government in any manner that diverts either the material or the finished product to the direct or indirect benefit of the government.

19. General. Except as provided below, to the maximum extent provided by law, this Agreement is made and shall be interpreted and enforced in accordance with the laws of the state or province in which the Services are performed without regard to choice of law principles which might otherwise call for the application of a different state's or province's law. Any dispute arising under or relating to this Agreement that is not disposed of by agreement shall be decided by litigation in a court of competent jurisdiction located in the state or province in which the Services are performed. Any action or suit arising out of or related to this Agreement must be commenced within one year after the cause of action has accrued. To the extent the premises are owned and/or operated by any agency of the United States Federal Government, determination of any substantive issue of law shall be according to the United States Federal common law of Government contracts as enunciated and applied by Federal judicial bodies and boards of contract appeals of the Federal Government. This Agreement contains all of the agreements, representations and understandings of the parties and supersedes all previous understandings, commitments or agreements, oral or written, related to the Services. No documents shall be incorporated herein by reference except to the extent Company is a signatory thereon. If any term or condition of this Agreement is invalid, illegal or incapable of being enforced by any rule of law, all other terms and conditions of this Agreement will nevertheless remain in full force and effect as long as the economic or legal substance of the transaction contemplated hereby is not affected in a manner adverse to any party hereto. Customer may not assign, transfer, or convey this Agreement, or any part hereof, without the written consent of Company. Subject to the foregoing, this Agreement shall bind and inure to the benefit of the parties hereto and their permitted successors and assigns. This Agreement may be executed in several counterparts, each of which when executed shall be deemed to be an original, but all together shall constitute but one and the same Agreement. A fully executed facsimile copy hereof or the several counterparts shall suffice as an original. No modifications, additions or changes may be made to this Agreement except in a writing signed by Company. No failure or delay by the Company in enforcing any right or exercising any remedy under this Agreement shall be deemed to be a waiver by the Company of any right or remedy.

20. Equal Employment Opportunity/Affirmative Action Clause. Company is a United States federal contractor that complies fully with Executive Order 11246, as amended, and the applicable regulations contained in 41 C.F.R. Parts 60-1 through 60-60, 29 U.S.C. Section 793 and the applicable regulations contained in 41 C.F.R. Part 60-741; and 38 U.S.C. Section 4212 and the applicable regulations contained in 41 C.F.R. Part 60-250; and Executive Order 13496 and Section 29 CFR 471, appendix A to subpart A, regarding the notice of employee rights in the United States and with Canadian Charter of Rights and Freedoms Schedule B to the Canada Act 1982 (U.K.) 1982, c. 11 and applicable Provincial Human Rights Codes and employment law in Canada.

21. U.S. Government Contracts.

The following provision applies only to direct sales by Company to the US Government. The Parties acknowledge that all items or services ordered and delivered under this Agreement / Purchase Order are Commercial Items as defined under Part 12 of the Federal Acquisition Regulation (FAR). In particular, Company agrees to be bound only by those Federal contracting clauses that apply to "commercial" suppliers and that are contained in FAR 52.212-5(e)(1). Company complies with 52.219-8 or 52.219-9 in its service and installation contracting business. **The following provision applies only to indirect sales by Company to the US Government.** As a Commercial Item Subcontractor, Company accepts only the following mandatory flow down provisions: 52.219-8; 52.222-26; 52.222-35; 52.222-36; 52.222-39; 52.247-64. If the Services are in connection with a U.S. government contract, Customer agrees and hereby certifies that it has provided and will provide current, accurate, and complete information, representations and certifications to all government officials, including but not limited to the contracting officer and officials of the Small Business Administration, on all matters related to the prime contract, including but not limited to all aspects of its ownership, eligibility, and performance. Anything herein notwithstanding, Company will have no obligations to Customer unless and until Customer provides Company with a true, correct and complete executed copy of the prime contract. Upon request, Customer will provide copies to Company of all requested written communications with any government official related to the prime contract prior to or concurrent with the execution thereof, including but not limited to any communications related to contractor's Customer's ownership, eligibility or performance of the prime contract. Customer will obtain written authorization and approval from Company prior to providing any government official any information about Company's performance of the Services that are the subject of this offer or agreement, other than the Proposal or this Agreement.

22. Limited Waiver of Sovereign Immunity. If Customer is an Indian tribe (in the U.S.) or a First Nation or Band Council (in Canada), Customer, whether acting in its capacity as a government, governmental entity, a duly organized corporate entity or otherwise, for itself and for its agents, successors, and assigns: (1) hereby provides this limited waiver of its sovereign immunity as to any damages, claims, lawsuit, or cause of action (herein "Action") brought against Customer by Company and arising or alleged to arise out of the furnishing by Company of any product or service under this Agreement, whether such Action is based in contract, tort, strict liability, civil liability or any other legal theory; (2) agrees that jurisdiction and venue for any such Action shall be proper and valid (a) if Customer is in the U.S., in any state or United States court located in the state in which Company is performing this Agreement or (b) if Customer is in Canada, in the superior court of the province or territory in which the work was performed; (3) expressly consents to such Action, and waives any objection to jurisdiction or venue; (4) waives any requirement of exhaustion of tribal court or administrative remedies for any Action arising out of or related to this Agreement; and

(5) expressly acknowledges and agrees that Company is not subject to the jurisdiction of Customer's tribal court or any similar tribal forum, that Customer will not bring any action against Company in tribal court, and that Customer will not avail itself of any ruling or direction of the tribal court permitting or directing it to suspend its payment or other obligations under this Agreement. The individual signing on behalf of Customer warrants and represents that such individual is duly authorized to provide this waiver and enter into this Agreement and that this Agreement constitutes the valid and legally binding obligation of Customer, enforceable in accordance with its terms.

1-10.48 (0821)
Supersedes 1-10.48 (0720)



TRANE'S SAFETY STANDARD

Trane is committed to providing a safe work environment for all employees and to preventing accidents in its business operations. To accomplish our objectives Trane has instituted safety programs, procedures and training that incorporate a progressive approach to injury prevention.

PROVEN SAFETY SUCCESS

Trane's safety culture in North America is unparalleled in the building services industry and has demonstrated proven results via continuous reduction of injury rates.

TRANE INJURY RATES V. INDUSTRY COMPETITORS

Since 2003 the US Bureau of Labor Statistics records reflect Trane's Total Recordable Rate (TRIR) and Days away from work (DAFW) rate have been significantly lower than HVAC repair and maintenance contractors and Specialty Trade contractors (construction). Trane's safety culture in America is unparalleled in the building services industry and has demonstrated proven results via continuous reduction of injury rates.

Trane's incident (OSHA) rates are consistently 50-70% below the industry average. This outstanding safety achievement is the end result of the rigorous team-oriented approach to our safety program that creates accountability and empowerment in all employees and management and fuels our institutional safety culture. This is the key to our continual improvement.

SAFETY TOOLS, TRAINING & EXPERTISE

Trane's service and contracting technicians are not only among the most skilled in the industry they are also extensively trained in safe work procedures. Our technicians receive safety training, equipment, tools, procedures, and management support to identify jobsite hazards and take appropriate measures to prevent personal injuries. The resources available to Trane technicians include:

- Safety Training – 20 hrs per year, including classroom and web-based platforms.
- -Topics include, but are not limited to, Lockout/Tagout, Confined Space Entry, Hazard Communication, Respiratory Protection, Hearing Conservation, Excavations, Scaffolding, Rigging, Powered Industrial Truck operation, Ladders, Vehicle Safety, Fire Protection, PPE, Emergency Response, First Aid / CPR.
- Electrical Safety – NFPA 70E compliant – electrical PPE; flame-resistant clothing; training.
- Fall Protection – full complement of fall arrest and fall restraint equipment for each technician.
- Ergonomics – custom-designed for HVAC field technicians, includes training, material handling equipment and procedures.
- Smith System Safe Driving Program – Trane's safety Managers are certified instructors; safety Managers train technicians; 1-800 "How's My Driving?" stickers are located on the back of service vehicles.
- USDOT compliance – technicians scheduled within Material of Trade and Hours of Service limits and are fully qualified under Department of Transportation rules for driving commercial motor vehicles with GVWR >10,000 and 26,000 lbs.
- Refrigerant Management – Service technicians are trained to manage refrigerant in accordance with U.S. EPA rules using a sophisticated electronic tracking system developed by Trane.
- Empowerment - Technicians are empowered with full management support to address safety hazards as they see fit. If ever in doubt about how to do a job or task safely, the technician is required to ask a qualified person for assistance before proceeding with work.

MANAGEMENT LEADERSHIP AND COMMITMENT

Accident prevention is a primary responsibility of management at Trane. Trane's safety culture is based on the following management principles:

- Leadership at the local level manages the local organization's safety performance.
- Management is financially accountable for safety performance.
- Local management is actively engaged in risk reduction activities and training and manages safety performance outcomes.
- Management clearly communicates to all Trane employees their safety expectations and strongly enforces compliance with those expectations.
- Employees are held accountable when they fail to meet safety expectations.

Local management and supervisory personnel at the local level are responsible for implementation of the following safety program elements:

- The Safety Management System developed by Trane – developed in accordance with OHSAS 18001.
- Audits and Inspections – Supervisors, Middle and Upper Managers must conduct field inspections. Corporate Safety conducts detailed compliance and management systems audits.
- Company safety compliance programs – ensure that they are fully implemented.
- Safety and environmental performance – tracked using a Balanced Scorecard with leading and lagging indicators and metrics.
- Subcontractor Qualification – implement this process to promote safety and safety plan compliance on multi-employer job sites.
- Six Sigma and Lean – use these productivity tools to enhance safety on job sites.
- Drug and Alcohol Policy – mandatory DOT required for-cause and post-accident testing after recordable injuries and property damage.
- Motor Vehicle Records Search – annual checking of driving records of employees driving company vehicles.

JOBSITE SAFETY EQUALS CUSTOMER VALUE

At Trane safety is part of our culture for every employee. What this means to our customers is fewer job site accidents and the delays and liability concerns that come along with them. What this means to our staff is greater confidence in the practices and procedures they use on the job and the pride that comes from working for one of the premier service organizations in the world. Tighter safety standards and fewer accidents can also lead to better on-time project completion and higher quality results.

When you use Trane Building Services to install, maintain or upgrade your building systems you will take full advantage of our superior safety program, low incident rates and subcontractor safety management procedures. These help you manage project risk more effectively than you could using multiple contractors or even a single prime contractor with a less impressive safety record.

AUGUSTA, GEORGIA

Item 9.

PURCHASE ORDER

SUITE 605, PROCUREMENT DEPARTMENT
535 TELFAIR STREET, MUNICIPAL BUILDING 1000
AUGUSTA, GEORGIA 30901-2377
PHONE: (706) 821-2422

Page 1 of 1

PURCHASE ORDER NO. P458121
REQUISITION/QUOTE NO. R379022

DATE 08/10/23	DEPARTMENT 016210	VENDOR PHONE # (706) 733-7842	
VENDOR # 14101	E-VERIFY # 10647	EMAIL	PURCHASE ORDER NUMBER ABOVE MUST APPEAR ON ALL INVOICES, SHIPPING PAPERS, AND PACKAGES.

VENDOR TRANE COMPANY 804 TRANE ROAD AUGUSTA, GA 30909-0010	ATTN: EMERGENCY BID NUMBER: CONTRACT #: BUYER: DOREEN
--	--

SHIP TO: CENTRAL SERVICES ADMIN 2760 PEACH ORCHARD RD. BUILDING A AUGUSTA, GA 30906	BILL TO: AUGUSTA, GEORGIA ACCOUNTING DEPARTMENT, SUITE 800 635 TELFAIR STREET, MUNICIPAL BUILDING 1000 AUGUSTA, GA 30901-2379 (706) 821-2335 ALL INVOICES AND CORRESPONDENCE MUST BE SENT TO ABOVE ADDRESS REGARDLESS OF SHIPPING DESTINATION.
--	---

ITEM #	QUANTITY	UNIT	PRODUCT ID	DESCRIPTION	UNIT PRICE	AMOUNT
0001	1			REPLACEMENT OF THE 5 & 10 TON SPLIT SYSTEM HEAT PUMPS AT MCBEAN COMMUNITY CENTER 272-01-6210/54-13120	25,998.00	25,998.00

- CONDITIONS - READ CAREFULLY**
1. The purchaser is exempt by statute from payment of Federal, State, and Municipal sales, excise and other taxes.
 2. Shipping charges prepaid by vendor.
 3. Payment will be made on complete shipments only, unless otherwise requested.
 4. **DELIVERY TICKET MUST ACCOMPANY GOODS.**
 5. No back orders. We will reorder if available.
 6. Please make deliveries between 9 A.M. and 4 P.M.
 7. All goods received with subsequent privilege to inspect and return at Vendor's expense if defective or not in compliance with our specifications.
 8. Indoor delivery if necessary.
 9. Payment Net 30 or according to contract.

NET TOTAL.....	25,998.00
APPROVED FOR ISSUE <div style="text-align: right; margin-top: 10px;"> PROCUREMENT DIRECTOR </div>	

VENDOR COPY

PROCUREMENT DIRECTOR



Administrative Services Committee

Meeting Date: 8/29/2023

Emergency – Augusta Commons Electrical Issues


- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Receive as information the emergency request for the evaluation of the current conditions of the electrical distribution system at the Augusta Commons in the amount of \$28,000.00 by Johnson Laschober & Associates, P.C..
- Background:** During recent work performed at the Augusta Commons, deficiencies relating to circuits and underground wiring were detected. These findings present an eminent safety risk, thus constituting an emergency. To comply with electrical and safety regulations, a thorough evaluation of the current condition of the electrical distribution system must be performed. This action will be followed by a comprehensive report and recommendations for the correction of the findings.
- Analysis:** Johnson, Laschober & Associates, P.C. will perform the evaluation of the electrical distribution system.
- Financial Impact:** \$28,000.00; Capital
GL: 272-01-6210 / 54.12110
- Alternatives:** A – Receive as information
B – Do not receive as information
- Recommendation:** Receive as information the emergency request for the evaluation of the current conditions of the electrical distribution system at the Augusta Commons in the amount of \$28,000.00 by Johnson Laschober & Associates, P.C..
- Funds are available in the following accounts:** \$28,000.00; Capital
GL: 272-01-6210 / 54.12110



Central Services Department

Ron Lampkin, Interim Director 2760 Peach Orchard Road, Augusta, GA 30906
Maria Rivera-Rivera, Deputy Director (706) 828-7174 Phone (706) 796-5077 Fax

MEMORANDUM

TO: Geri Sams, Director, Procurement Department
FROM: ~~Ron Lampkin~~, Interim Director, Central Services Department
DATE: 
August 11, 2023
SUBJECT: Emergency Memo – Augusta Commons Electrical Issues

In accordance with §1-10-57 Emergency Procurements, I respectfully ask you to accept this communication as notification of an emergency at the Augusta Commons relating to electrical issues.

During recent work at the Augusta Commons location, deficiencies related to circuits, and underground wiring were detected. These findings present an eminent safety risk, thus constituting an emergency. To comply with electrical and safety regulations, a thorough evaluation of the current condition of the electrical distribution system will be performed. by Johnson, Laschober and Associates, P.C. This action will be followed by a comprehensive report and recommendations for the correction of the findings.

Please proceed with the attached quote from Johnson, Laschober & Associated, P.C. in the amount of \$28,000.00 for the previously mentioned actions.

If you have any questions or concerns, please contact the Central Services Department.

RL/mcrr

Item 10.

AUGUSTA-RICHMOND COUNTY GEORGIA

DEPARTMENT NAME Central Services Department
 DEPARTMENT NUMBER 272016210 / 5412110
 DEPARTMENT HEAD 

PURCHASING DEPARTMENT
 REQUISITION

REQUISITION
 REQUISITION DATE 8/14/2023
 PURCHASE ORDER NUMBER
 PURCHASE ORDER DATE

ITEM NO	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE	NAME OF BIDDER	
					NAME OF BIDDER	NAME OF BIDDER
1	Electrical Engineering Services to Augusta-Richmond	1			Johnson, Laschober & Associate	
2	County for an evaluation and redesign of the electrical				706-724-5756	
3	deficiencies related to the circuits and underground wiring					
4	at the Augusta Commons					
5						
6	Emergency					
7						
8						
9						
10						
11						
12						
13						
14						
15						
16						
17						
18						
19						
20						
21						
TOTAL BID				\$28,000.00		
SHIPPING CHARGES						
DELIVERY TIME FROM RECEIPT OF PURCHASE ORDER						



ARCHITECTS ♦ ENGINEERS ♦ LANDSCAPE ARCHITECTS

FEE AGREEMENT**PROPOSAL #:** 181**DATE:** 7/18/23**TO:** Maria Rivera-Rivera
Augusta-Richmond County**SENT BY:** PHONE
 FAX
 EMAIL MRivera-Rivera@augustaga.gov**RE:** Augusta Common Electrical Improvements**BY:** Howard Wayt, P.E.**FEE ARRANGEMENT:** Assessment and Design - \$22,500
Construction Phase Services - \$5,500
TOTAL: \$28,000**LOCATION:** Augusta Common
Augusta, GA**SCOPE OF SERVICES:**

Johnson, Laschober & Associates (JLA) appreciates the opportunity to provide a fee proposal for electrical engineering services to Augusta-Richmond County for an evaluation and redesign of the electrical distribution systems for the Augusta Common between Broad and Reynolds Streets in Augusta, GA.

Scope of Services shall include the following under this contract:

- Evaluation of the existing function and condition of the electrical distribution and lighting systems.
- Determination of desired function for the electrical distribution and lighting systems.
- Design modifications and/or upgrades to the electrical distribution systems.

Deliverables shall include the following under this contract:

- A memo reporting the results of the evaluation and recommendations for design.
- Design drawings.

JLA proposes to perform the following construction related services:

- Answer Contractor questions and Requests for Information (RFI's.)
- Perform up to three (3) site visits during construction to observe compliance with the design intent.
- Provide clarifying sketches, if required for the contractor.

SPECIAL CONDITIONS:

- None.

Thank you for the opportunity to submit this proposal. We look forward to working with you on this project.

Sincerely,

JOHNSON, LASCHOBBER & ASSOCIATES, P.C.


Rett Harbeson, PLA

Terms and Conditions

Johnson, Laschober & Associates P.C. (JLA) shall perform the services outlined in this agreement for the stated fee agreement.

Access to Site -- Unless otherwise stated, JLA will have access to the site for activities necessary for the performance of the services. JLA will take precautions to minimize damage due to these activities but has not included in the fee the cost of restoration of any resulting damage.

Fee --The total fee, except stated lump sum, shall be understood to be an estimate, based upon Scope of Services, and shall not be exceeded by more than ten percent, without written approval of the Client. Where the fee arrangement is to be on an hourly basis, the rates shall be those that prevail at the time services are rendered.

Billings/Payments -- Invoices will be submitted monthly for services and reimbursable expenses and are due when rendered. Invoices shall be considered PAST DUE if not paid within 30 days after the invoice date and JLA may, without waiving any claim or right against Client, and without liability whatsoever to the Client, terminate the performance of the service. Retainers shall be credited on the final invoice. A service charge will be charged at 1.5% (or the legal rate) per month on the unpaid balance. In the event any portion of an account remains unpaid 90 days after billing, the Client shall pay cost of collection, including reasonable attorneys' fees.

Indemnifications -- The Client shall indemnify and hold harmless JLA and all of its personnel from and against any and all claims, damages, losses and expenses (including reasonable attorneys' fees) arising out of or resulting from the performance of the services, provided that any such claims, damage, loss or expense is caused in whole or in part by the negligent act or omission and/or strict liability of the Client, anyone directly or indirectly employed by the Client (except JLA) or anyone for whose acts any of them may be liable.

Hidden Conditions -- A hidden condition is hidden if concealed by existing finishes or if it cannot be investigated by reasonable visual observation. If JLA has reason to believe that such a condition may exist JLA shall notify the client who shall authorize and pay for all costs associated with the investigation of such a condition and, if necessary, all costs necessary to correct said condition. If (1) the client fails to authorize such investigation or correction after due notification, or (2) JLA has no reason to believe that such a condition exists, the client is responsible for all risks associated with this condition, JLA shall not be responsible for the existing condition nor any resulting damages to persons or property.

Risk Allocation -- In recognition of the relative risks, rewards and benefits of the project to both the Client and JLA, the risks have been allocated so that the Client agrees that, to the fullest extent permitted by law, JLA's total liability to the Client, for any and all injuries, claims, losses, expenses, damages or claim expenses arising out of this agreement, from any cause or causes, shall not exceed the total amount of JLA's fee or other amount agreed upon when added under Special Conditions. Such causes include, but are not limited to JLA's negligence, errors, omissions, strict liability, breach of contract or breach of warranty.

Jobsite Safety -- Neither the professional activities of JLA, nor the presence of JLA or its employees and subconsultants at a construction/project site, shall relieve the General Contractor of its obligations, duties, and responsibilities including but not limited to, construction means, methods, sequence, techniques or procedures necessary for performing, superintending and coordinating the Work in accordance with the contract documents and any health or safety precautions required by any regulatory agencies. JLA and its personnel have no authority to exercise any control over any construction contractor or its employees in connection with their work or any health or safety programs or procedures. The Client agrees that the General Contractor shall be solely responsible for jobsite safety and warrants that this intent shall be carried out in the Client's contract with the General Contractor. The Client also agrees that the Client, JLA, and the Consultant's subconsultants shall be indemnified by the General Contractor and shall be made additional insureds under the General Contractor's policies of general liability insurance.

Termination of Services -- This agreement may be terminated upon 10 days written notice by either party should the other fail to perform his obligations hereunder. In the event of termination, the Client shall pay JLA for all services, rendered to the date of termination, all reimbursable expenses, and reasonable termination expenses.

Ownership Documents -- All documents produced by JLA under this agreement shall remain the property of JLA and may not be used by this Client for any other endeavor without the written consent of JLA.

Applicable Law -- Unless otherwise specified, this agreement shall be governed by the laws of the principal place of business of JLA.

Johnson, Laschober & Associates, P.C.:

Accepted by **(Client Name)** :

(signature)

(signature)

(printed name/title)

(printed name/title)

Billing Address: _____

(executed agreement date)

Arlene New

From: Maria Rivera-Rivera
Sent: Friday, August 11, 2023 2:13 PM
To: Arlene New
Cc: Ron Lampkin; Scarlet Green
Subject: Emergency Request - Augusta Commons - Electrical
Attachments: PZL219 Rev(8-9).pdf; Emergency Memo 2023 - Augusta Commons.docx

Importance: High

Good afternoon,

Attached the proposal, emergency memo and the account for the emergency request related to the electrical deficiencies found at the Augusta Commons.

Account 272016210/5412110.

Please proceed with the emergency PO request.

Thanks,
Maria Rivera-Rivera

Maria Rivera-Rivera | Deputy Director, Facilities
Augusta - Richmond County | Central Services Department
2760 Peach Orchard Rd | Augusta, Georgia 30906
(p) 706-821-1629 | (f) 706-796-5077
MRivera-Rivera@augustaga.gov | www.augustaga.gov



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AED:104.1



Administrative Services Committee

Meeting Date: 8/29/2023

Emergency – 4 5th Street Building Demolition

- Department:** Central Services Department
- Presenter:** Ron Lampkin
- Caption:** Receive as information the emergency request for the demolition of the 4 5th Street building in the amount of \$37,250.00 by Thompson Building Wrecking Co.
- Background:** A structural assessment of the 4 5th Street location was performed. During the assessment, several flooring and foundation issues were found among other findings. This type of structural damage can make the building subject to a stability failure. The recommendation is to demolish the structure as it is unsalvable.
- Analysis:** Thompson Building Wrecking Co, Inc. will perform the demolition of the structure.
- Financial Impact:** \$37,250.00; Capital
GL: 272-01-6210 / 54.25310
- Alternatives:** A – Receive as information
B – Do not receive as information
- Recommendation:** Receive as information the emergency request for the demolition of the 4 5th Street building in the amount of \$37,250.00 by Thompson Building Wrecking Co.
- Funds are available in the following accounts:** \$37,250.00; Capital
GL: 272-01-6210 / 54.25310



Central Services Department

Ron Lampkin, Interim Director
Maria Rivera-Rivera, Deputy Director

Central Services Department
2760 Peach Orchard Road, Augusta GA 30906
(706) 828-7174 Phone

MEMORANDUM

To: Ms. Geri Sams, Procurement Department Director

From: Mr. Ron Lampkin, Central Services Interim Director

Date: August 8, 2023

Subject: Emergency Memo – 4 5th Street Building Demolition

In accordance with §1-10-57 Emergency Procurements, I respectfully ask you to accept this communication as notification of an emergency at the 4 5th Street location regarding structural issues.

A structural assessment of the 4 5th Street location was performed. The assessment uncovered flooring and foundation issues among other findings. This type of structural damage can make the building subject to a stability failure. The failure could be sudden and could occur with little to no warning. The recommendation is to demolish the structure as it is unsalvable. In addition, homeless individuals have made a shelter out of this building creating an unhealthy environment. Thompson Building Wrecking CO, Inc. has been deemed qualified to perform the building demolition.

Please process a purchase order to Thompson Building Wrecking CO, Inc. in the amount of \$37,250.00 for the demolition of the structure.

If you have any questions or concerns, please contact the Central Services Department.

CONCURRENCE:	Concur	Reject	Date
Director of Central Services (Initials)	<u>RL</u>	_____	<u>8/9/23</u>
Director of Procurement (Initials)	_____	_____	_____

ACTION BY ADMINISTRATOR:

Approved: _____ Rejected _____

Date: _____

Item 11.

AUGUSTA-RICHMOND COUNTY GEORGIA

DEPARTMENT NAME Central Services Department
DEPARTMENT NUMBER 272016210 / 5425310

PURCHASING DEPARTMENT
REQUISITION

REQUISITION
REQUISITION DATE 8/8/2023
PURCHASE ORDER NUMBER
PURCHASE ORDER DATE

DEPARTMENT HEAD 

ITEM NO	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE	NAME OF BIDDER	
					UNIT PRICE	TOTAL PRICE
1	Demolition of the Structure located at 4 5 th Street	1		37,250.00	Thompson Bldg. Wrecking Co.	
2	Abatement					
3	Demolition of Building					
4	Acquiring local and state demolition permits					
5	Filing State Notifications					
6	All Proper Insurance					
7						
8	Emergency					
9						
10						
11						
12						
13						
14						
15						
16						
17						
18						
19						
20						
21						
TOTAL BID				\$37,250.00		
SHIPPING CHARGES						
DELIVERY TIME FROM RECEIPT OF PURCHASE ORDER						

THOMPSON BUILDING WRECKING CO, INC.

HIRAM E. THOMPSON
President

631 Eleventh Street
P.O. Box 932
Augusta, Georgia 30903
Phone: (706) 722-1432
Fax: (706) 722-4253

Commercial
Demolition
Equipment Rental
Grading / Clearing

Augusta 7, 2023

Augusta-Richmond County Central Services Department
ATTN: Ms. Maria Rivera-Rivera
2760 Peach Orchard Rd.
Augusta, GA 30906
Email: mrivera-rivera@augustaga.gov

REF: DEMO QUOTE: #4 FIFTH ST., AUGUSTA, GA

We at Thompson Building Wrecking Co. are pleased to submit our proposal as follows:

TURN-KEY QUOTE AS FOLLOWS:

- **BUILDING DEMOLITION**
 - ABATEMENT
 - DEMOLITION OF BUILDING LOCATED AT #4 FIFTH ST
 - ACQUIRING LOCAL AND STATE DEMOLITION PERMITS
 - FILING STATE NOTIFICATIONS
 - ALL PROPER INSURANCE

..... **\$37,250.00**

*** PARKING LOT TO REMAIN ****

Our quote includes Thompson Building Wrecking Company providing the manpower, supervision, tools, equipment, disposal fees, permits and insurance necessary to start and complete this demolition project in a timely and professional manner.

We look forward to providing the professional demolition services offered by Thompson Building Wrecking Company, Inc. Should there be any questions or if I can be of further help please do not hesitate to call.

Respectfully,



JP Goulet, Project Estimator



Administrative Services Committee

August 29, 2023

Grant Application Process

Department:	N/A
Presenter:	N/A
Caption:	Request and discuss Information regarding the city's grant application process including seeking grants works. (Requested by Commissioner Stacy Pulliam)
Background:	N/A
Analysis:	N/A
Financial Impact:	N/A
Alternatives:	N/A
Recommendation:	N/A
Funds are available in the following accounts:	N/A
<u>REVIEWED AND APPROVED BY:</u>	N/A

From: Commissioner Stacy Pulliam
Sent: Thursday, August 17, 2023 8:52 AM
To: Lena Bonner
Cc: Natasha L. McFarley
Subject: Agenda Item

Great Morning,

I would like to add the following item to the agenda:

Information on how the grant application process including seeking grants works.

Best Regards,

Stacy A. Pulliam

Augusta Commission, District 2

(762)328-8256 Mobile



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AED:104.1



Administrative Services Committee

Meeting Date: August 29, 2023

Ratio Study Appeal to Georgia Department of Audits and Accounts

- Department:** Board of Assessors
- Presenter:** Scott Rountree, Chief Appraiser
- Caption:** Request that the Augusta-Richmond County Board of Commissioners instruct the Board of Assessors, Chief Appraiser and/or their designee to appeal the 2022 Georgia Department of Audits and Accounts (DOAA) Sales Ratio Study, and to ‘to refer the question of correctness of the current (2022) equalized adjusted property tax digest of the local school system to the state auditor’ as permitted by Georgia Code 48-5-274, and to authorize the Board of Assessors, Chief Appraiser, and/or their designee to act on behalf of Augusta-Richmond County in any related hearings
- Background:** This item is in reference to the Georgia Department of Audits and Accounts 2022 Sales Ratio Study. The Board of Commissioners’ office received the report from DOAA on August 9, 2023. The Board of Assessors requests approval from the Board of Commissioners to appeal the 2022 Sales Ratio Study for Richmond County properties, conducted by the Georgia Department of Audits and Accounts.
- Analysis:** N/A
- Financial Impact:** N/A
- Alternatives:** N/A
- Recommendation:** To approve the Board of Assessors request for the Board of Commissioners to permit an appeal of the 2022 Georgia Department of Audits and Accounts Sales Ratio Study for Richmond County properties.
- Funds are available in the following accounts:** N/A
- REVIEWED AND APPROVED BY:** N/A



Item 13.

2022 SALES RATIO STUDY • AUGUST 9, 2023

Richmond County

Georgia

Greg S. Griffin | State Auditor
Lee Thomas | Sales Ratio Division Director



DOAA
Georgia Department
of Audits & Accounts



DEPARTMENT OF AUDITS AND ACCOUNTS

SALES RATIO DIVISION

270 Washington Street, S.W.
Atlanta, Georgia 30334-8400

GREG S. GRIFFIN
STATE AUDITOR
(404) 656-2174

LEE THOMAS
DIRECTOR
(404) 656-0494

August 9, 2023

As required by Georgia Code 48-5-274, the State Auditor's office hereby delivers to each county and independent school system, the 2022 100% Statewide Equalized Adjusted School Property Tax Digest Report. These digests are subject to change resulting from hearings, arbitrations, or legal requirements. Also included with the report are the Statistical and Computation reports for each school system.

The digests were based on property transfers during 2022. These transfers were supplemented by appraisals. The values of these sales and appraisals were matched to assessments on the 2022 county tax digest.

Each county governing authority, each governing authority of a municipality having an independent school system and each local board of education will have a right, upon written request made within 30 days after receipt of the digest information, to refer the question of correctness of the current equalized adjusted school property tax digest of the local school system to:

Department of Audits and Accounts
Sales Ratio Division
Lee Thomas, Director
270 Washington Street, S.W.
Atlanta, GA 30334-8400

A hearing will be scheduled upon receipt of request. If you have any questions concerning your right for a hearing, please contact Lee Thomas, Director at (404)-656-0494.

If there are any adjustments made due to hearings or arbitrations, a finalized report will be delivered upon completion of all hearings and/or arbitrations. Any counties that have not requested a hearing should consider this their final report.



DEPARTMENT OF AUDITS AND ACCOUNTS

SALES RATIO DIVISION

2022 SALES RATIO STUDY

Item 13.

121 - RICHMOND COUNTY

COMPUTATION SHEET

1. STUDY DATA

NUMBER OF SAMPLES IN STUDY.....	2,141
OVERALL RATIO.....	35.07

2. ADJUSTED 100% DIGEST COMPUTATIONS

<u>PROPERTY CLASS</u>		<u>ASSESSMENT</u>		<u>RATIO</u>		<u>100% VALUE</u>
REAL PROPERTY	=	<u>5,605,710,343</u>	÷	<u>35.07 %</u>	=	<u>15,983,420,573</u>
PERSONAL PROPERTY	=	<u>1,236,160,767</u>	÷	<u>35.07 %</u>	=	<u>3,524,634,030</u>
CURRENT USE PROPERTY	=	<u>14,046,048</u>	÷	<u>40.00 %</u>	=	<u>35,115,120</u>
MOTOR VEHICLES	=	<u>43,273,895</u>	÷	<u>40.00 %</u>	=	<u>108,184,738</u>
100% VALUE FOR LOCALLY ASSESSED PROPERTY						<u>19,651,354,461</u>

3. 100% VALUE COMPUTATIONS

LOCALLY ASSESSED PROPERTY	19,651,354,461
PUBLIC UTILITY PROPERTY	575,528,462
TIMBER	746,370
QUALIFIED TIMBER PROPERTY	0
TOTAL 100% ADJUSTED COUNTY DIGEST	<u>20,227,629,293</u>



DEPARTMENT OF AUDITS AND ACCOUNTS

Item 13.

SALES RATIO DIVISION

2022 SALES RATIO STUDY

REVENUE STATISTICS REPORT

121-RICHMOND COUNTY

2022 DIGEST - RATIO ANALYSIS

CLASS	#SAMPLES	LCI	UCI	MEDIAN	AGGREGATE	COD	PRD
RESIDENTIAL	2,056	35.90	36.64	36.23	36.11	17.76	102.71
AGRICULTURAL	2,141	35.77	36.48	36.17	35.79	17.88	103.36
COMMERCIAL	76	31.16	36.57	33.87	33.27	20.02	103.99
INDUSTRIAL	79	31.01	36.20	33.66	33.21	20.22	103.89

PROPERTY CLASS RATIO CALCULATION

CLASS	2022 ASSESSMENTS	RATIO	M/A	PROJECTED DIGEST	% OF DIGEST
RESIDENTIAL	3,608,746,636	36.23	M	9,959,610,806	50.89%
AGRICULTURAL	62,509,594	36.17	M	172,807,962	0.88%
COMMERCIAL	2,640,378,957	33.87	M	7,795,246,499	37.23%
INDUSTRIAL	572,558,359	33.66	M	1,701,062,230	8.07%
PUBLIC UTILITY	207,571,142	35.24		589,021,402	2.93%
QUALIFIED TIMBER	0	0.00		0	0.00%
TOTAL	7,091,764,688	35.08		20,217,748,899	100.00%



DEPARTMENT OF AUDITS AND ACCOUNTS

Item 13.

SALES RATIO DIVISION

2022 SALES RATIO STUDY

121-RICHMOND COUNTY

PUBLIC UTILITY EQUALIZATION RATIO CALCULATION

CLASS	2022 ASSESSMENT	RATIO	M/A	PROJECTED DIGEST
RESIDENTIAL	3,591,266,219	36.23	M	9,911,367,422
AGRICULTURAL	62,509,594	36.17	M	172,807,962
COMMERCIAL	2,640,378,957	33.87	M	7,795,246,499
INDUSTRIAL	572,558,359	33.66	M	1,701,062,230
TOTAL	6,866,713,129	35.07		19,580,484,113



2022 Sales Ratio Study

121 - RICHMOND COUNTY

Item 13.

Sample	Seller Purchaser / Owner	Street-Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
00731	AMAYA CAROL F 1 ZACHARY PLACE LLC	1 ZACHARY PL 121119000	02/09/22 0.06	1828 294	RES IMP	\$ 154,406	\$ 49,757	32.22
05845	1008 MAGNOLIA LLC A SOUTH CAROLINA 1008 MAGNEWCO LLC A GEORGIA LIMITED	1008 MAGNOLIA 019-2-024-00-0~LT 5 , 6	09/01/22 5.18	1857 673	COM IMP	\$ 1,167,805	\$ 527,026	45.13
03073	NEAL JOSEPH R 10515 BELLS FERRY LLC AND MICHAEL A	2232 MCDOWELL 442090000	05/13/22 0.28	1841 2732	RES IMP	\$ 649,608	\$ 226,193	34.82
05827	COLEMAN VELDA C 1736 HOLDINGS LLC	1936 FENWICK ST 353097000	08/26/22 0.21	1857 650	RES IMP	\$ 53,208	\$ 24,684	46.39
08117	FRANCIS L LEGRAND JR AND SHIRLEY JEAN P 1736 HOLDINGS LLC	309 CALVARY 862018000	12/05/22 0.29	1869 1133	RES IMP	\$ 55,783	\$ 18,525	33.21
00761	HUANG FU BIN 1867 CENTRAL QZB LLC	1867 CENTRAL AVE 453033000~LOT 200, SUMMERVILLE	02/21/22 0.17	1828 1331	RES IMP	\$ 136,295	\$ 40,124	29.44
00658	CURTIS A BRISCOE AND CURTIS A BRISCOE 2 TARAS AND 3RD LLC	1108 13TH ST 463114000	02/11/22 0.10	1827 64	RES IMP	\$ 9,193	\$ 1,940	21.10
08361	2840 LLC A GEORGIA LIMITED LIABILITY 2101 CENTRAL AVE LLC A GEORGIA LIMITED	442141000, 442141010~LT 10,11,12 BLK	12/29/22 0.46	1870 2097	COM IMP	\$ 382,110	\$ 166,322	43.53
08605	2283 WRIGHTSBORO ROAD LLC	2283 WRIGHTSBORO RD 443108000	0.54		COM IMP	\$ 656,323	\$ 201,118	30.64
02119	AUGUSTA STEPPINGSTONES TO RECOVERY 2614 COMMONS BLVD LLC	2614 COMMONS BLVD 120481000~UNIT B-9	04/22/22 0.14	1838 2456	COM VAC	\$ 37,923	\$ 19,320	50.95
01966	ELLIS EVELYN D 2715 HAZEL ST LLC	2715 HAZEL 332174000	03/31/22 0.22	1836 692	RES IMP	\$ 134,833	\$ 63,485	47.08
00594	DONAHUE MARK S 309 EIGHTH STREET LLC A GEORGIA LIMITED	309 EIGHTH ST 471124000	02/09/22 0.09	1826 1557	RES IMP	\$ 760,882	\$ 289,961	38.11
01587	MUCHNICK DANIEL W 341 ALEX LANE LLC	341 ALEX LN 122008000	03/16/22 0.10	1833 403	RES IMP	\$ 160,089	\$ 51,938	32.44
08612	4-H CLUB ROAD PROPERTIES LLC	1511 FOUR H CLUB RD 1710153040	10.00		COM IMP	\$ 5,258,840	\$ 1,792,446	34.08
05694	GORDON JEPHREY 822 BROAD LLC	822 BROAD ST 471039000	08/24/22 0.11	1856 779	COM IMP	\$ 333,779	\$ 77,966	23.36
04084	HATCHER PAUL MICHAEL A C INVESTMENTS INC	1212 DANTIGNAC ST 464021000	06/21/22 0.33	1847 1866	COM IMP	\$ 72,681	\$ 17,616	24.24
00707	HOSEY PRISCILLA A GUNTER AARON BENJAMIN ATKINS	3301 RAVENWOOD 160048150	02/08/22 0.36	1827 646	RES IMP	\$ 194,013	\$ 69,494	35.82
02745	ROY GOODEN JR AARON CRAIG STEVENS AND SANDY	1571 PINE RIDGE DR E 2320216000	05/02/22 0.49	1840 552	RES IMP	\$ 246,524	\$ 111,216	45.11
01428	WHITMAG PROPERTIES LLC AARON DIXON	812 ONA 203144000	03/15/22 0.30	1832 1662	RES IMP	\$ 113,099	\$ 37,032	32.74
03162	RCB CAPITAL LLC ACOSTA DAVID	2428 BARTON CHAPEL RD 830203000	05/19/22 0.33	1842 2428	RES IMP	\$ 93,496	\$ 22,748	24.33
06692	FREEMAN JOHN DANIEL IV ACTIVO PROPERTIES LLC	2048 WHARTON DR 574128000	09/30/22 0.25	1862 649	RES IMP	\$ 47,201	\$ 20,790	44.05
01186	GRAHAM KEISHA MONIQUE ADAIN DAVENLEY	3610 BREMAN DR 1430880190	02/07/22 0.19	1829 2289	RES IMP	\$ 135,919	\$ 55,722	41.00
06288	WADE DIANA R WILLIAMS ADAIR MICHELLE LYNN	2934 AYLESBURY DR 403169000~LOT 31, BLK B, AYLESBURY	09/19/22 0.10	1859 2166	RES IMP	\$ 188,803	\$ 83,093	44.01
08138	HEINEMAN JASON/PIAZZA TRISTAN ADAM A APPLGATE	3720 HICKORY GROVE RD 1520188000	12/09/22 0.37	1869 484	RES IMP	\$ 167,348	\$ 65,461	39.12
01078	DANIEL R DURETTE AND AMY DURETTE ADAM MICHAEL SEAY AND NUSHKA PEREZ	916 INMAN 780134000	02/24/22 0.17	1829 1897	RES IMP	\$ 263,301	\$ 93,302	35.44
03328	PERDUE JUSTIN GLEN ADAMS LINDSEY/AGRAN-ST PIERRE DAKOTA	1 TINKERS CREEK TRL 3710008000	05/20/22 3.00	1843 293	RES IMP	\$ 275,163	\$ 88,404	32.13
02943	BARRIENTOS BEATRIZ ALEXIS ADAMS SAMUEL R/ADAMS SARA N	2721 BRICKRUN PL 131169000	05/10/22 0.10	1841 1562	RES IMP	\$ 184,167	\$ 73,720	40.03
03446	SPARBEL PATRICK ADAMSON PAUL/ADAMSON MEREDITH	1107 HEARD 442154000	05/20/22 0.17	1844 747	RES IMP	\$ 142,479	\$ 63,159	44.33
04800	CASTLEBERRY JUSTIN ADOMAKO DENNIS	2517 PEACH BLOSSOM PASS 1813032000	07/05/22 0.29	1850 2254	RES IMP	\$ 225,276	\$ 83,0	7



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00775	COLEMAN MYRA B AFFET ELIZABETH	3466 MORGAN RD 1184002000	02/18/22 1.45	1828 1368	RES IMP	\$ 180,410	\$ 58,045	32.17
06322	D R HORTON INC AHMED SHARFUN KHAZI SYED/SYED NAYEEM	2010 RIVER PARK DR 74055000	09/09/22 0.07	1859 923	RES IMP	\$ 213,390	\$ 58,771	27.54
02198	LAIRD-KYLLO DEVONNE E AIKEN DERICK	3007 PLUMBRIDGE CT 1290481000	03/30/22 0.34	1838 420	RES IMP	\$ 186,135	\$ 71,083	38.19
01132	ROBINSON MICHAEL T AJ REMODELING AND RENOVATIONS LLC	3719 FAIRINGTON DR 1400099000	02/22/22 0.38	1829 1800	RES IMP	\$ 134,265	\$ 55,072	41.02
06199	YOUR HOME REALTY LLC AJC ENTERPRISES LLC	2020 KENNEDY DR 712264000	09/12/22 0.40	1859 2398	RES IMP	\$ 46,343	\$ 22,985	49.60
06926	MIN JIANG AJC ENTERPRISES LLC AND AF INVESTMENTS	1771 KISSINGBOWER 573087000	10/21/22 0.53	1863 1089	RES IMP	\$ 88,394	\$ 58,684	66.39
00008	BROMELL LOUIS NELLO AJLANI SAFWAN SAID	1842 ELLIS ST 352257000	01/01/22 0.20	1819 614	RES IMP	\$ 8,000	\$ 3,189	39.86
08261	JENKINS JAMES AKINS KRIS M/AKINS APRIL	2526 WINTERVILLE DR 520594000	11/21/22 0.55	1871 47	RES IMP	\$ 214,463	\$ 80,549	37.56
02064	SPENCER DIANE ALAM SHAFIN	1701 LUCKEY ST 584522000-LOTS 3 AND 4	03/31/22 0.15	1836 1960	RES IMP	\$ 6,509	\$ 1,451	22.29
03874	RUTZAKIS ANGELO ALBRECHT II RICHARD	3426 CRANE FERRY RD 100170000	06/16/22 0.28	1847 673	RES IMP	\$ 150,811	\$ 48,142	31.92
06348	JACKSON DEBBIE SUE ALDIN JOHN-ROSS JONES AND AYANA A	4010 NUIE DR 1410451000	09/23/22 0.26	1860 1169	RES IMP	\$ 188,803	\$ 69,840	36.99
03129	JOSEPH B WARING JR ALECIA KENT AND ESSIE CAMP JTWROS	3390 THAMES PL 1433093000	05/17/22 0.33	1842 1891	RES IMP	\$ 214,286	\$ 93,231	43.51
03343	RONALD BURRELL ALEJANDRO CAPISTRAN	538 BOY SCOUT 254145000	05/24/22 0.16	1843 1843	RES IMP	\$ 39,931	\$ 14,729	36.89
08192	MARTIN CRYSTAL DARLENE PHILLIPS ALEK K NELOMS	1704 ETHAN WAY 1523197000-L 17 BL N	12/22/22 0.35	1870 1356	RES IMP	\$ 308,092	\$ 108,703	35.28
07594	SCHAFFER ROBERT J ALEXANDER IV JAMES BISHOP	3403 FOREST ESTATES DR 542030000	11/10/22 0.28	1866 1084	RES IMP	\$ 137,311	\$ 51,732	37.67
03479	RUSSELL ABIGAIL E MCDUGAL ALEXANDRA P SUNNENBERG	3202 NORRIS 171196000	06/01/22 0.33	1844 2499	RES IMP	\$ 202,640	\$ 54,298	26.80
06838	WILLIAMS JENNIFER NICOLE STEIN ALEXANDRIA R DOWNS	1106 MURPHY 451167000	10/18/22 0.17	1863 737	RES IMP	\$ 68,656	\$ 30,382	44.25
06190	GROW ADAM C ROFS AND LYNN M ALEXIS M STRANAHAN AND KYLE D	3612 BERMUDA CIR W 311021000	09/22/22 0.34	1860 1199	RES IMP	\$ 142,461	\$ 68,219	47.89
07941	BRUBAKER MARGARET M ALFE DAVID/ALFE CAROLE	2230 OVERTON RD 264095000	12/02/22 0.45	1868 1197	RES IMP	\$ 283,119	\$ 143,078	50.54
01162	HOMAS WILLIAM HOLMES AND HANNAH ALFRED P NORDMANN	2350 MCDOWELL 441166000	02/24/22 0.30	1830 294	RES IMP	\$ 487,347	\$ 139,814	28.69
05041	HANES SHIRLEY A ALICEA JOANA MOORE	2493 CARROLL DR 2090035000	07/29/22 0.56	1853 96	RES IMP	\$ 141,602	\$ 45,338	32.02
02200	FRITZ-PIZZI TINA MARIE ALL THINGS INVESTMENTS LLC	1301 WINDSONG CIR 60342000	04/14/22 5.18	1838 418	RES IMP	\$ 73,509	\$ 22,261	30.28
07171	IMS PROPERTIES LLC ALLEN D SHIPES SR AND XEM T SHIPES	2512 TEAKWOOD DR 1530365000	10/31/22 0.37	1864 1804	RES IMP	\$ 102,984	\$ 33,662	32.69
06544	DUBOSE ELIZABETH JACKSON ALLEN DEN-RAY	3006 BROCKHAM CT 531123000	09/19/22 0.11	1861 2245	RES IMP	\$ 190,520	\$ 73,678	38.67
07066	GARDIN TAURUS AND ERICKA ROFS ALLEN T BERRY AND RONI M BERRY JTWROS	604 WINDSONG CIR 60288000	10/28/22 0.48	1864 1071	RES IMP	\$ 64,365	\$ 22,261	34.59
06012	ALEXANDER ANGELO ALONZO ALLYSON LEE FIRELLI	3414 STONEY BROOK RD 1430234000	09/09/22 0.28	1858 938	RES IMP	\$ 177,647	\$ 70,984	39.96
03813	COLLINS KAYLA A/RANDALL H II ALPHA DUMBUYA AND AMBER DUMBUYA	2220 SUNNDY DAY DR 1961011000	06/09/22 0.40	1846 521	RES IMP	\$ 293,038	\$ 126,606	43.20
04595	IMS PROPERTIES LLC ALTHEA D BURNS	3714 HICKORY COVE RD 1520185000	07/08/22 0.36	1849 2628	RES IMP	\$ 127,013	\$ 37,009	29.14
05940	ANN MARIE FISHER NKA ANN MARIE RAMOS ALTON THOMAS FISHER AND EDITH LORAINE	2126 TURTLE CT 73023000	08/31/22 0.07	1857 1547	RES IMP	\$ 139,028	\$ 33,2	2



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06588	JAMES MATTHEW M ALVAREZ CARMEN	4229 RHENEY RD 2110051000-TRACT 3, RHENEY RD	10/03/22 0.50	1861 1924	RES IMP	\$ 177,647	\$ 54,797	30.85
02799	HINSON BERNARD L ALVAREZ CAROLINA	2157 SILVERDALE RD 1212135000	05/03/22 0.41	1841 177	RES IMP	\$ 168,123	\$ 55,714	33.14
08074	MOORE WALTER JR ALVITER REAL ESTATE SERVICES LLC	1111 EMMETT ST 452222000-88	12/09/22 0.12	1869 452	RES IMP	\$ 115,856	\$ 29,208	25.21
06051	MARY MARGARET DEREMER AMBER CRIDER AND ROBERT CRIDER JR AS	2407 FAIRMONT ST 853202000	09/12/22 0.37	1858 1312	RES IMP	\$ 130,017	\$ 60,272	46.36
04877	OSBORN MANOR FARMS INC AME OLDE TOWN II LLC A GEORGIA LIMITED	248 ELLIS ST 472284000	07/14/22 0.12	1851 2607	RES VAC	\$ 3,862	\$ 1,523	39.44
03853	LONG CARPENTER LLC AMERCO REAL ESTATE COMPANY	1070 CLAUSSEN RD 70208000-LT 26 BLK C SCT II	06/14/22 10.76	1846 1535	COM VAC	\$ 1,154,111	\$ 545,328	47.25
03302	NANCY L HOEHN AMIE C GEER	1519 JOHNS 443237000	05/25/22 0.17	1843 2247	RES IMP	\$ 165,786	\$ 57,704	34.81
05190	NOMAR INV LLC ANC REAL ESTATE SERVICES LLC	3328 HILLIS RD 1080176000	07/11/22 0.24	1853 2718	RES IMP	\$ 34,328	\$ 22,743	66.25
05200	WARREN KIMBERLY C BRYANT ANDERSON ANTHONY M	3152 BILSTON DR 403195000-LOT 96, BLK E, AYLESBURY	08/04/22 0.14	1853 1811	RES IMP	\$ 193,094	\$ 73,582	38.11
02602	LEVERETT WILLIE JR ANDERSON ASIAREE R	4124 SYLVANIA CT 1530034000	04/22/22 0.45	1839 1016	RES IMP	\$ 145,917	\$ 46,456	31.84
05509	RINGCARIO PROPERTIES LLC ANDERSON KATHERINE	2243 OVERTON RD 264043000-LOT 20, BLK I, COUNTRY	08/10/22 0.39	1854 2534	RES IMP	\$ 227,422	\$ 84,402	37.11
01212	MCNEELY WILLIAM M ANDERSON TABITHA B	1287 BROWN RD 2160002110-LOT 1, BLOCK B, SEC I OF	02/11/22 2.16	1830 713	RES IMP	\$ 208,056	\$ 58,146	27.95
06300	EZZELL GREY THOMPSON ANDERSON TATIANA	1726 PENNSYLVANIA AVE 434080000-44	09/23/22 0.17	1860 1698	RES IMP	\$ 180,221	\$ 58,450	32.43
00858	DEASE ALICIA R ANDERSON TYANNIA L	3221 RIVERSTONE DR 43008000	01/31/22 5.18	1829 16	RES IMP	\$ 275,335	\$ 84,892	30.83
04278	GUPTA SHRUTI ANDERSON WENDELL S	118 YORK WAY 181035000	06/30/22 0.07	1848 1839	RES IMP	\$ 181,938	\$ 63,606	34.96
03214	ELIM TARYL R ALEXANDER ANDREVVY SOLUTIONS LLC	1605 STAYMAN PL 1234055000	05/09/22 0.23	1843 220	RES IMP	\$ 80,025	\$ 21,325	26.65
04103	BOLTON HENRY L AND MOZELLA ANDREW ALVAREZ	3504 GREENWOOD DR 1430033000	06/28/22 0.35	1848 688	RES IMP	\$ 141,003	\$ 48,616	34.48
01612	JACOBSON JESSICA LYNN ANDREW DOAK	2040 GLENNFIELD LN 124012000	03/21/22 0.10	1833 977	RES IMP	\$ 227,408	\$ 61,464	27.03
00582	DEBRA M PUGH ANDREW JACOB MUELLER AND SABRINA	2807 ANNE 974256000	02/11/22 0.28	1827 924	RES IMP	\$ 58,546	\$ 18,973	32.41
02072	LORETTA C FENTON ANDREW JEFFERSON II TRAVIS JEFFERSON	776 BENNOCK MILL 3040007010-PROPERTY 1	04/11/22 22.98	1836 1285	AGR VAC	\$ 86,621	\$ 33,702	38.91
04190	MARCUS WAYNE AMICK ANDREW MICHAEL ROSS	1342 OAKRIDGE PLANTATION RD 2700131000	06/22/22 0.68	1847 2777	RES IMP	\$ 242,060	\$ 94,913	39.21
01325	PRIDE JABARI A ANDREW PRIDE JR	112 WATKINS 611046000	03/02/22 0.18	1832 1077	RES IMP	\$ 47,637	\$ 21,856	45.88
07326	KLETT JAMES F ROFS/DEBRA K ANDREW R ROBINSON AND ALLISON	3202 WISTERIA CT 113221000	11/04/22 0.36	1865 1215	RES IMP	\$ 266,041	\$ 90,753	34.11
00255	CALEB J MENTZER ANDREW SWILLING	2528 CENTRAL 441228000	01/11/22 0.17	1822 2697	RES IMP	\$ 251,999	\$ 76,618	30.40
02610	GLADSTONE LINDSAY ANDREW WALLER AND OCTAVIA WALLER	3317 BLANCHARD RD 1080097000	04/26/22 0.24	1839 91	RES IMP	\$ 107,128	\$ 29,074	27.14
06250	SCENIC LAND HOMES LLC ANGEL MOODY AKA ANGEL MOODY BELL	3317 BLANCHARD RD 1410324000	09/27/22 0.25	1860 1426	RES IMP	\$ 150,270	\$ 50,324	33.49
03430	LEDARRELL O CALVIN ANGELA DUBOIS AND ANTHONY DUBOIS	4014 PULLMAN CIR 790105000	06/01/22 5.18	1844 2352	RES IMP	\$ 273,123	\$ 113,692	41.63
01716	ERIC E HARDIMAN ANGELA M KIM AND SEUNG HWAN KIM	3008 VASSAR 253062000	03/25/22 0.65	1834 719	RES IMP	\$ 272,440	\$ 120,455	44.21
06287	JEWETT WILLIAM A ANGELA S HICKSON	2034 LILLIAN DR 122226000	09/15/22 0.12	1859 743	RES IMP	\$ 180,221	\$ 55,612	30.85



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07980	FERRELL JOAN ANGELO HOLDINGS LLC	844 BROOKFIELD PKWY 60133000	11/15/22 0.35	1869 82	RES IMP	\$ 150,184	\$ 72,522	48.29
00931	CARPENTER HA N ANKIT J PATEL AND KANAN A PATEL JTWROS	2101 RESERVE LN 73143000	02/22/22 0.05	1828 2416	RES IMP	\$ 187,012	\$ 63,442	33.92
03807	DANIEL RYAN GREENE ANTHONY ALEXANDER NANES AND	9061 BREVARD 653221000	06/08/22 0.19	1846 481	RES IMP	\$ 247,774	\$ 89,188	36.00
05789	JOSHUA CHARLES ROESCH AND BROOKE ANTHONY STEPHEN GONZALES	8022 CRAWLEY 640105000	09/02/22 0.21	1857 1599	RES IMP	\$ 248,877	\$ 91,654	36.83
07809	SMITH HORACE D AND EBONY P ANTONIO BRADLEY AND JASMINE BRADLEY	1616 CHASE CREEK 780167000	11/21/22 0.39	1867 57	RES IMP	\$ 450,553	\$ 187,196	41.55
03561	MICHAEL GIBSON ANTONIO D HARGROVE	4237 BATH EDIE RD 2460034000	06/01/22 1.43	1844 2434	RES IMP	\$ 189,424	\$ 48,687	25.70
06192	LEE VIRGINIA B APOLLO HB AUGUSTA LLC	1313 BEMAN 453197000	09/13/22 0.17	1860 1418	RES IMP	\$ 68,913	\$ 39,998	58.04
03483	SEARLES DORIS APOLLO HB AUGUSTA LLC	3004 GRIFFIS CT 1070643000	05/31/22 0.22	1845 1638	RES IMP	\$ 74,956	\$ 36,841	49.15
04230	WATTS ANGELA APOLLO HB AUGUSTA LLC	1805 HAVERHILL CT 1113087000	06/01/22 0.31	1848 2217	RES IMP	\$ 69,602	\$ 20,922	30.06
01663	HALKEN INVESTMENT PROPERTIES OF EVANS APOLLO HB AUGUSTA LLC	1408 RANCH 412243000	02/18/22 0.20	1833 724	RES IMP	\$ 84,672	\$ 37,854	44.71
01037	HOWARD GLENDA APOLLO HB AUGUSTA LLC	2904 ABELIA DR 1102272000	02/25/22 0.24	1830 2664	RES IMP	\$ 62,184	\$ 19,377	31.16
03341	NAKRE LLC APOLLO HB AUGUSTA LLC	1659 KENTUCKY 563037000	05/13/22 0.55	1843 2074	RES IMP	\$ 65,319	\$ 34,832	53.33
00047	CAISON KATHRYN S AQUINDE CATHY C/AQUINDE DEXTER N	604 BOURNE 351183000	01/04/22 0.63	1821 2528	RES IMP	\$ 423,996	\$ 105,036	24.77
06369	CRYSTAL L EDWARDS AKA CRYSTAL L AR'SHAWNNA D WHITE	3402 BUCKDEN 403173000	09/23/22 0.10	1860 843	RES IMP	\$ 211,116	\$ 73,109	34.63
07886	DOUGLAS PATRICK P ARDREY BRANNON MELISSA/ARDREY	2202 RICHMOND 444115000	11/30/22 0.20	1868 1545	RES IMP	\$ 351,860	\$ 131,205	37.29
06722	STONE JULIA L ARGERICH 2022-1 LLC	3322 SUGARBERRY DR 403104000	10/05/22 0.26	1862 639	RES IMP	\$ 158,251	\$ 60,984	38.54
06819	RINGER JOBE A ARGERICH 2022-1 LLC	3509 DAYTON ST 1300115000	10/14/22 0.25	1862 2416	RES IMP	\$ 124,438	\$ 49,186	39.53
06959	LOFTIN CASSANDRA G ARGERICH 2022-1 LLC	2626 CRANBROOK DR 1300356000	11/02/22 0.22	1865 773	RES IMP	\$ 133,020	\$ 36,090	27.13
06376	HOVERSLAND HEATHER LAURA ARGERICH 2022-1 LLC	4119 COUNTRY LN 1530229000	09/23/22 0.37	1860 950	RES IMP	\$ 139,457	\$ 40,197	28.82
00465	VENTURA RIVERA ARICH REAL ESTATE LLC	3606 LONDON 830186000	01/31/22 0.44	1825 1199	RES IMP	\$ 117,164	\$ 41,646	35.55
06308	XIE KUN ARID LLC	1036 BROOKWOOD DR 131085000	09/06/22 0.46	1859 1452	RES IMP	\$ 172,497	\$ 71,947	41.71
03458	YOLANDA J AKPER ARIONE S WIMBERLY	1848 HEATHERS 1834005000	06/03/22 0.24	1845 267	RES IMP	\$ 204,036	\$ 83,557	40.95
05991	BROWN ROBERT E AND MELISSA Y ARNGLETTA THOMAS	1006 WALLIE 1540321000	09/02/22 0.37	1857 2182	RES IMP	\$ 128,729	\$ 44,995	34.95
01169	SHARREN BRUNSON AND LILLIE MAY ASA EELLS	1711 RUSK 2130131000	02/22/22 0.37	1829 2151	RES IMP	\$ 134,265	\$ 62,025	46.20
03038	LEEKING NINA SUE ASCA ENTERPRISES LLC	3323 KENNY RD 693016000~LOT B	05/06/22 0.28	1842 1658	RES IMP	\$ 36,061	\$ 14,477	40.15
03520	SHANTHI SHAVER FKA SHANTHI ASHLEY CLEMENT	1133 EISENHOWER 134198000	06/06/22 0.29	1845 1780	RES IMP	\$ 236,818	\$ 73,473	31.03
07618	DOROODCHI ATBIN ASUMDA FAIZAL ZANGWIO	936 BROAD ST 373252000	11/16/22 0.02	1866 1180	RES IMP	\$ 185,370	\$ 74,299	40.08
04231	THIBODEAU STEVE D ASWARNAUTH TREVOR	2427 PLANTATION 1790076000	06/03/22 0.39	1848 2311	RES VAC	\$ 7,915	\$ 4,800	60.64
00940	TAFAZOLI MARIAM L ATBH HOLDINGS LLC	2111 WOODLAND AVE 572020010	02/18/22 0.22	1828 2688	RES IMP	\$ 154,431	\$ 44,300	28.99



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01240	BILLIPS ELIZABETH ATBH HOLDINGS LLC	1701 HOLLY HILL RD 572165000	02/18/22 0.25	1829 1772	RES IMP	\$ 146,733	\$ 42,995	29.30
02014	HOWE JARIUS D AND SADEARA FLETCHER ATHA TECHNOLOGIES LLC	1118 FOX DEN 1650083000	04/01/22 0.79	1835 2778	RES IMP	\$ 202,543	\$ 73,890	36.48
03197	HARRELL CARA S ATKINS HAROLD K JR/SAULSBERY BRIDGITTE	605 CALDWELL 233002000	05/13/22 0.06	1843 464	RES IMP	\$ 152,322	\$ 55,090	36.17
03718	COLOHAN SR RICHARD N AUGUSTA CAPITAL GROUP LLC	247 ELLIS 472191000	06/08/22 0.16	1846 456	RES IMP	\$ 74,420	\$ 42,054	56.51
02788	CRAWFORD LAWRENCE C AUGUSTA CASKET CO LLC	2721 PEACH ORCHARD RD 983241000-TRCT B	04/28/22 1.34	1839 2233	COM IMP	\$ 89,801	\$ 38,012	42.33
02066	RENDITION PROPERTIES LLC AUGUSTA EVENTS LLC	401 WARREN 171092000-LT 1 BLK A	03/29/22 0.40	1836 1625	COM IMP	\$ 191,861	\$ 47,940	24.99
04583	RILLMAN JAMES KELLY AUGUSTA GA RENT LLC	1215 PINE ST 464747000-LOT 4, WEST PINE LANE	06/29/22 0.16	1849 2340	RES IMP	\$ 197,566	\$ 81,229	41.11
01215	FOUR G HOLDINGS LLC AUGUSTA PRESERVATION INVESTMENTS LLC	2921 WHISTLER 1091056000	02/28/22 0.18	1829 2707	RES IMP	\$ 57,258	\$ 19,228	33.58
04334	C E PROPERTY INVESTMENTS LLC AUGUSTA PRESERVATION INVESTMENTS LLC	1619 APPLE VALLEY 1233106000	07/01/22 0.27	1849 266	RES IMP	\$ 64,365	\$ 29,231	45.41
02335	FU'S MANAGEMENT LLC AUGUSTA PRESERVATION INVESTMENTS LLC	2404 WIMBERLY 864141000	04/13/22 5.18	1836 2588	RES IMP	\$ 80,469	\$ 34,356	42.69
01222	MOON WANDY AUGUSTA PRESERVATION INVESTMENTS LLC	2812 GLENN HILLS 843226000	03/07/22 5.18	1830 2068	RES IMP	\$ 80,647	\$ 27,909	34.61
00227	ADELAIDE TURNER AUSTIN JAMES	2606 PARKWAY 562136000	01/19/22 0.25	1823 1787	RES IMP	\$ 147,873	\$ 32,728	22.13
06438	BOWMAN DEBORAH H TUCKER AUSTIN KAPLAN	4208 ERVAY 1540053000	09/22/22 0.44	1860 464	RES IMP	\$ 90,111	\$ 38,513	42.74
00865	PRATHER LARRY S SR AV3 PROPERTIES LLC A MARYLAND LIMITED	1291 1295 INTERSTATE 220122000,123000	02/23/22 2.04	1828 2785	COM IMP	\$ 1,316,532	\$ 495,783	37.66
00832	SEYMORE DANA T AYCOCK BROTHERS LLC	2546 SHERATON DR 973156000	02/08/22 0.23	1827 2553	RES IMP	\$ 53,354	\$ 14,332	26.86
00759	SUNBELT PROPERTY INVESTMENTS LLC A AYCOCK BROTHERS LLC A GEORGIA LIMITED	1706 KENTUCKY AVE 563069000	02/18/22 0.23	1828 574	RES IMP	\$ 48,109	\$ 19,295	40.11
05109	HOWARD MARION AYCOCK BROTHERS LLC A GEORGIA LIMITED	2353 HENRY CIR 972034000	08/09/22 0.36	1853 2673	RES IMP	\$ 44,626	\$ 27,180	60.91
06749	COMBS MICHAEL B D ASSETS LLC	1429 STOVALL 443077000	10/07/22 0.17	1862 1518	RES IMP	\$ 223,131	\$ 82,536	36.99
02907	NARVARTE MIGUEL BAISLEY JASON MICHAEL/PAULS-BAISLEY	2220 WINSTON WAY 1310070000	05/10/22 0.24	1841 609	RES IMP	\$ 112,297	\$ 46,450	41.36
04903	MASON JACK AND NEDRA A BAMCO ENTERPRISES LLC	927 MOLLY POND 733013000-TRCT C	07/27/22 5.42	1852 1672	COM IMP	\$ 140,895	\$ 62,571	44.41
02147	KELSEY REAL KENNEDY AND MICHAEL BARBARA M YANCEY AND DAVID AR YANCEY	3073 WHEELER 253023000	04/11/22 0.36	1836 2552	RES IMP	\$ 277,287	\$ 84,149	30.35
07150	MARSHALL RUBERT REESE SR BARLETT DONNA LORRAINE	1200 AZALEA DR 134161000	10/18/22 0.34	1863 1967	RES IMP	\$ 115,856	\$ 68,714	59.31
01602	DAVID W GUTIERREZ BARNEE C BAXTER III AND SETH TOPOREK	866 HICKMAN 353330000	03/07/22 0.20	1832 2194	RES IMP	\$ 194,503	\$ 47,491	24.42
06407	ANTHONY JOSEPH BOUFFLER AND PETER BARNETT WINTON	1025 BROOKWOOD DR 133109000	09/09/22 0.37	1859 2595	RES IMP	\$ 313,242	\$ 110,095	35.15
05680	HENLEY JACK WARFORD III BARR JOY ELIZABETH/BARR MICHAEL JOSEPH	329 TELFAIR ST 474072000	08/19/22 0.15	1856 128	RES IMP	\$ 225,706	\$ 70,046	31.03
01796	KIRVEN DAVID B BARROW JAMES ALLEN	3337 WEDGEWOOD 412108000	03/25/22 0.25	1834 2118	RES IMP	\$ 93,461	\$ 46,197	49.43
00922	MORGAN JAMES R AND KATHERINE N BARRY L GOFF JR	1073 WOODBERRY DR 2140238000	02/18/22 0.37	1829 881	RES IMP	\$ 96,219	\$ 50,834	52.83
07574	BONSER ROBERT BARTOCCI KRISTYNA MARIE/BARTOCCI PAUL	1322 LAUREL 454084000	11/10/22 0.17	1866 1931	RES IMP	\$ 120,147	\$ 33,433	27.83
04715	MARCH CHARLENE C BURKE BASKETT DESMOND JERMEL	2615 SPIRIT CREEK RD 1520438000	07/15/22 0.28	1851 516	RES IMP	\$ 154,389	\$ 58,511	38.54



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01216	TRUST-N-CARE SERVICES OF AMERICA INC BASKETT HAROLD	1899 CENTRAL AVE 453031000	02/28/22 0.23	1829 2643	COM IMP	\$ 170,252	\$ 44,771	26.30
07525	NORTH ATLANTIC CONSTRUCTION LLC BASSAM SEIFELDEIN AND SALMA OSMAN	2820 FAIRMONT 851263000	11/14/22 0.21	1866 1235	RES IMP	\$ 88,154	\$ 27,692	31.41
05944	VELEZ NAFTALI BASSETT GRACE HOGLUND/BASSETT	2903 PLEASANT COVE CT 162123000	08/26/22 0.20	1857 2301	RES IMP	\$ 238,493	\$ 86,182	36.14
05688	BOYLE AUSTIN O BATTLE JULIAN THOMAS	3103 BRANSFORD RD 333104000~LOTS 4, 5 & 6, BLOCK C,	08/24/22 0.31	1856 794	RES IMP	\$ 330,405	\$ 112,218	33.96
06832	GRANGER DOUGLAS S BAYTON TURNER PAULETTE EM	3635 PAMPLONA DR 1410118000	10/19/22 0.22	1863 1217	RES IMP	\$ 158,766	\$ 52,427	33.02
07029	JONES INVESTMENT GROUP LLC BCL INVESTING LLC	1116 KIRK PL 324062000	10/27/22 0.45	1864 2464	RES IMP	\$ 171,639	\$ 64,993	37.87
06737	A B E PROPERTIES LLC BCL INVESTING LLC	2909 DAHLIA DR 1190181000	09/21/22 0.31	1862 414	RES IMP	\$ 51,492	\$ 26,862	52.17
02554	R2D2 LLC BDC ESTATES LLC	2117 KENNEDY DR 712223000	04/22/22 0.37	1839 1272	RES IMP	\$ 62,054	\$ 20,972	33.80
03342	GORDON JEFFREY W BEARD RACHEL NICOLE/JONG DION DE	1213 MAGNOLIA DR 134168000	05/16/22 0.26	1843 1132	RES IMP	\$ 201,071	\$ 65,315	32.48
07944	PRYOR PATRICIA E BEARDEN FREDERICK D	4704 CAHILL CT 1400815000	11/30/22 0.35	1868 1079	RES IMP	\$ 157,908	\$ 61,558	38.98
03277	MAYEDA PATRICK BEARDSLEY CONNIE PRICKETT/BEARDSLEY	760 OXFORD RD 322032000~19, D	05/18/22 0.31	1842 2181	RES IMP	\$ 242,465	\$ 103,111	42.53
02773	JONES CAROLINE BELL BEATTY ALLISON S/BEATTY ADAM W	802 AUMOND 322118000	04/29/22 0.82	1840 1006	RES IMP	\$ 428,123	\$ 166,472	38.88
02688	WINCHESTER HOMES OF GA INC BEATY-STEWART ENOTRA KAREN	1106 GEORGE W CRAWFORD DR 663062000~LOT 74, BLK B, GOVERNORS	04/28/22 0.18	1839 2732	RES IMP	\$ 255,245	\$ 112,159	43.94
03940	BYRD CASEY D BECK CANDICE CHARLENE/BECK KILAND	3406 LINDERWOOD DR 1430488000	06/03/22 0.38	1846 1754	RES IMP	\$ 193,483	\$ 74,024	38.26
08429	MILLER KENNETH J BEHM LINDA H	416 DUNBARTON RD 113266000	12/22/22 0.17	1871 477	RES IMP	\$ 197,385	\$ 80,347	40.71
04397	MARVIN DAVIS BELINDA WIDENER	2105 STEVENS RD 871057000	07/06/22 5.18	1849 842	RES IMP	\$ 17,164	\$ 5,746	33.48
03319	BRUNACHE RAMSES BELL AUNJERIKA/BELL MALCOLM	3201 WAVERLY LN 653060000	05/12/22 0.23	1843 255	RES IMP	\$ 286,975	\$ 133,400	46.48
02988	ECKERSON ANNE BELL BETTY JEAN	2236 SULLIVAN RD 723213000	05/12/22 5.18	1841 2685	RES IMP	\$ 22,868	\$ 11,782	51.52
01129	BALL CHRISTOPHER ALAN BELL LEAH M/BELL LESLIE D	404 OSPREY DR 160150000	03/07/22 0.39	1830 1629	RES IMP	\$ 189,759	\$ 45,503	23.98
06871	AYANA M BRACERO BENIEL J MURRY	199 SIMS 800117000	10/20/22 0.17	1863 800	RES IMP	\$ 233,429	\$ 94,198	40.35
00379	THOMAS E GUILLEBEAU AND TINA MARIE BENJAMIN BOONE MAYES III	1948 KISSINGBOWER 861012000	01/28/22 0.40	1825 623	RES IMP	\$ 80,256	\$ 27,025	33.67
02375	KRISTY REECE AKA KRISTY A HARDIN BENJAMIN J CAVISTON	3201 NORRIS 171188000	04/12/22 0.33	1837 1455	RES IMP	\$ 230,108	\$ 62,498	27.16
05978	THOMPSON CALVIN E BENNETT UNLIMITED LLC	2577 SAN SEBASTIAN CT 1410135000	08/12/22 0.26	1858 100	RES IMP	\$ 98,693	\$ 55,631	56.37
06213	STRASSER RENATE PRICE BENTLEY CHRISTOPHER/BENTLEY KRISTEN	467 FOREST HILLS DR 314047720	09/13/22 0.03	1860 1619	RES IMP	\$ 109,420	\$ 39,488	36.09
03360	ROSENZWEIG DENISE D BENTON CONSTANCE COSTEN	1913 OHIO AVE 434042000	05/27/22 0.17	1843 2770	RES IMP	\$ 137,172	\$ 44,041	32.11
00059	IRIZARRY ALAN M BERNARD KELSEY JR AND LATOYA TUCKER-	4414 BERN CT 1400382000	01/07/22 0.56	1822 559	RES IMP	\$ 199,055	\$ 68,438	34.38
08585	LAW HEATHER SCOTT BEST CHOICE PROPERTIES LLC	1130 TURPIN ST 722030000	12/16/22 0.16	1875 52	RES IMP	\$ 38,619	\$ 24,131	62.49
08003	LYNCH MELBA MELVA LOIS BETHEA CHRISTOFERR ORBEN/BETHEA	825 1ST ST~LOT 40 602073000~NORTHMOST 12 FEET OF	12/14/22 0.17	1869 246	RES IMP	\$ 43,414	\$ 20,235	46.61
07157	LINDA J MCINTOSH AND HELEN HENDEE BEVERLY M FULLER AND HARRY L FULLER III	828 BARRETT 333214000	10/24/22 0.17	1863 2449	RES IMP	\$ 424,807	\$ 102,217	41.7



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01561	BALKUM RICHARD L BILAL M HAROON AND MELILA MCSTRAVICK	4664 MIKE PADGETT HWY 2790037000	03/21/22 0.52	1833 393	RES VAC	\$ 4,220	\$ 2,280	54.03
01397	JASMINE JILES BIQUIELLIA HARMON	3552 GARDENBROOK DR 1200439000	03/11/22 0.22	1831 1804	RES IMP	\$ 72,950	\$ 28,503	39.07
04535	TROTTER PAUL G BIRD BRENTON TAYLOR/BIRD CARTER	3023 BRANSFORD RD 333130000~PART OF 13 & 14 - 10	07/12/22 0.46	1850 474	RES IMP	\$ 952,598	\$ 251,297	26.38
02109	JACKSON QUINCY L BIRKENTALL JOHN CHARLES	5142 COPSE 653239000	03/28/22 0.21	1836 1204	RES IMP	\$ 256,369	\$ 94,569	36.89
06267	ARNOLD CHARLES F BJA LLC	207 PINEVIEW DR 1710131000	09/20/22 0.34	1859 2403	RES IMP	\$ 72,947	\$ 38,288	52.49
03494	KEALY CAROLINE E STEWART BLACK CASSIE HODGES	2624 SPRINGWOOD DR 132109000~1, 21	06/01/22 0.27	1844 1792	RES IMP	\$ 242,287	\$ 67,278	27.77
05725	TRICARE ASSOCIATES LLC BLACK DOOR REALTY LLC	3604 WHEELER 310163000,164000~LT 3, 4 OF PARCEL E	08/08/22 0.64	1856 1860	COM IMP	\$ 360,820	\$ 145,950	40.45
04733	PENROW ROBERT B BLACK RHETT BRANDON	426 AUMOND RD 251231000	07/22/22 0.39	1851 1737	RES IMP	\$ 224,676	\$ 110,588	49.22
05139	BRANTLEY CHADWICK TURNER BLACKER STEPHANIE SHOWMAN/BLACKER	2263 OVERTON RD 261013000	08/08/22 0.38	1854 789	RES IMP	\$ 236,004	\$ 101,139	42.85
02412	DOWNS RYAN M BLALOCK IV CLARENCE A	2215 TERRACE RD 264141000	04/21/22 0.46	1838 249	RES IMP	\$ 388,170	\$ 140,827	36.28
03930	DUGGAN ASA D JR BLOCK JAMES/BLOCK ISABELLA RAYMOND	2602 WOODBLUFF CIR 180302000	06/17/22 0.16	1847 411	RES IMP	\$ 230,136	\$ 80,520	34.99
02549	SASLONA BRIAN K BLOUNT TAMARA	1025 CEDARVIEW CIR 2130187000	04/25/22 0.37	1839 113	RES IMP	\$ 165,655	\$ 55,695	33.62
07115	JACKSON LYNDA C BMH H LP	313 ALEX LN 122022000	10/11/22 0.06	1863 2362	RES IMP	\$ 137,311	\$ 49,815	36.28
03160	OWENS ISHEKA BNTR SFR OWNER LLC	2312 PEACH BLOSSOM PASS 1961045000	05/19/22 0.27	1842 2426	RES IMP	\$ 298,580	\$ 112,691	37.74
03083	JACKSON LEONARD BNTR SFR OWNER LLC	3232 WOODLANDS DR 1513001000	05/13/22 0.23	1842 11	RES IMP	\$ 264,323	\$ 94,680	35.82
03292	MCKENZIE XIU L BNTR SFR OWNER LLC	1156 ROSLAND CIR 790057000	05/23/22 0.18	1843 1195	RES IMP	\$ 254,894	\$ 95,942	37.64
03780	POLLARD RYAN T BNTR SFR OWNER LLC	1811 EVA LN 1523080000	06/08/22 0.54	1846 142	RES IMP	\$ 209,689	\$ 69,806	33.29
03353	BAUHY JENNIFER BNTR SFR OWNER LLC	2031 BASSFORD DR 1640096000	05/26/22 0.30	1843 2523	RES IMP	\$ 178,925	\$ 63,414	35.44
03025	FERGUSON MARK BNTR SFR OWNER LLC	5258 COPSE DR 653322000	05/13/22 0.19	1842 174	RES IMP	\$ 247,523	\$ 95,756	38.69
05849	ALLEN TIA R BNTR SFR OWNER LLC	3802 CREIGHTON PL 1700036000	08/29/22 0.28	1856 2276	RES IMP	\$ 151,042	\$ 46,068	30.50
02809	LOWERY DONALD BNTR SFR OWNER LLC	912 INMAN DR 780132000	05/06/22 5.18	1841 129	RES IMP	\$ 275,867	\$ 103,095	37.37
02980	SWEENEY KEVIN W BNTR SFR OWNER LLC	3114 VASSAR 244059000	05/11/22 0.39	1841 1364	RES IMP	\$ 224,396	\$ 83,252	37.10
02976	MOODY BRADLEY BNTR SFR OWNER LLC	2011 OSSABAW DR 1990152000	05/10/22 0.62	1841 1312	RES IMP	\$ 166,199	\$ 52,228	31.42
05638	FIOCCO ROBERT LAWRENCE BNTR SFR OWNER LLC	2518 PEACH BLOSSOM PASS 1813029000	08/24/22 0.33	1856 838	RES IMP	\$ 232,571	\$ 95,599	41.11
05450	WEST DONALD F JR BOBBY MCCARTER	2701 LUMPKIN 962114000	08/22/22 0.33	1855 2291	RES IMP	\$ 133,879	\$ 34,089	25.46
02501	SCENIC LAND HOMES LLC BOBINVESTUS LLC	518 2ND AVE 341054000	04/18/22 0.08	1838 845	RES IMP	\$ 47,617	\$ 23,056	48.42
05798	MORIN PROPERTIES LLC A GEORGIA LIMITED BODENHAMER III ROBERT EDGAR	1710 FENWICK ST 354398000	08/26/22 0.07	1856 1143	RES IMP	\$ 36,473	\$ 13,005	35.66
04627	INGRAM DONNA DUNLAP BOHAM ROBERT SCOTT/BOHAM PATRICIA	3413 KERRY 314118000	07/08/22 0.49	1850 2044	RES IMP	\$ 401,207	\$ 95,638	23.84
02701	RUTSOHN PHILIP D BOLTON KIRK/PARKER AMANDA LORRAINE	2414 WOODBLUFF CT 180317000	04/29/22 0.17	1839 2621	RES IMP	\$ 309,098	\$ 105,7	2



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00824	FELKER DAWN L BOOKER LEE CATHERINE	822 FLEMING AVE 343030000	02/15/22 0.41	1827 2349	RES IMP	\$ 366,432	\$ 178,423	48.69
02295	STEPHENS JOHN R BOOKER MARVIN/BOOKER SENITA	4834 KEN MILES DR 1654039000	04/18/22 0.30	1837 2736	RES IMP	\$ 298,428	\$ 107,858	36.14
07906	KNS PROPERTY SOLUTIONS LLC BOYKIN ANTHONY BERNARD	4903 MOSSYCUP CT 3350041000	11/14/22 0.37	1868 1288	RES IMP	\$ 147,181	\$ 49,458	33.60
03175	DURSHIMER FRANK W BPREP SFR OWNER LLC	2014 LILLIAN DR 122216000	05/20/22 0.11	1842 2480	RES IMP	\$ 169,194	\$ 53,866	31.84
03390	JACKSON DEVIN JOSEPH BPREP SFR OWNER LLC	3027 SPRING CREEK DR 1513044000	05/27/22 0.25	1843 2595	RES IMP	\$ 262,839	\$ 94,375	35.91
04442	BEALIN PATRICIA ANNE BPREP SFR OWNER LLC	2132 MIMS RD 2510069000	07/07/22 0.88	1849 1503	RES IMP	\$ 156,192	\$ 61,478	39.36
04574	LEVERETT HENRY S BPREP SFR OWNER LLC	2007 WALTON FARMS DR 1651093000	07/13/22 0.65	1850 1706	RES IMP	\$ 245,015	\$ 109,067	44.51
02960	GANDHI HIMANSHU M BPREP SFR OWNER LLC	2144 RESERVE LN 73140000	05/13/22 0.05	1841 2221	RES IMP	\$ 174,722	\$ 62,905	36.00
02816	HOME UPGRADES LLC BPREP SFR OWNER LLC	1861 ENGLE CT 1700110000	05/06/22 0.29	1840 2409	RES IMP	\$ 162,274	\$ 54,756	33.74
02852	WISCAVER DONALD R BPREP SFR OWNER LLC	3744 PINNACLE PLACE DR 1400210000	05/04/22 0.57	1840 2590	RES IMP	\$ 195,973	\$ 55,494	28.32
02967	SPENCER II WILLIE BPREP SFR OWNER LLC	2622 SERENITY LN 654052000	05/10/22 0.13	1841 769	RES IMP	\$ 260,528	\$ 101,828	39.09
04778	JONES BRIAN BPREP SFR OWNER LLC	3007 BROCKHAM CT 403114000	07/22/22 0.10	1851 2437	RES IMP	\$ 173,356	\$ 72,074	41.58
02153	REYES JUAN A AND ROBIN BRADFORD JAMES W	1516 TARA CT 1990003280	04/15/22 0.34	1837 1232	RES IMP	\$ 243,288	\$ 79,401	32.64
01220	TRIPLE A FOUR K'S INC BRADLEY MICHAEL/BRADLEY TONY J	1164 HANCOCK MILL LANE 3190085000--LOT 41, BLOCK C, SECT. 2,	01/03/22 0.46	1829 2126	RES VAC	\$ 8,487	\$ 3,392	39.97
02689	CASE BRIAN D BRADLEY RORIE TODD	3407 SASANQUA DR 312026000	04/29/22 0.45	1839 2391	RES IMP	\$ 340,140	\$ 94,172	27.69
04484	TRIPLE A FOUR K'S INC BRADLEY TONY J/BRADLEY MICHAEL	1172 HANCOCK MILL LANE 3190089000--LOT 43, BLOCK C, SECT. II,	06/28/22 0.63	1849 2231	RES VAC	\$ 7,910	\$ 3,392	42.88
02503	COLVIN WILLENE BRADY BARBARA	5280 HENDERSON RD 3320002000	04/21/22 7.05	1838 503	RES VAC	\$ 42,927	\$ 8,460	19.71
05045	HUITZ ABRAHAM CEBALLOS BRANCH XAVIER MAURICE	7411 EXUMA 402142000	07/19/22 0.08	1853 759	RES IMP	\$ 148,468	\$ 52,934	35.65
05069	PATEL ATUL BRANDON JANET L/BRANDON AJEYA LANAI	2549 WALTON WAY 343068190	07/27/22 0.04	1852 2572	RES IMP	\$ 132,162	\$ 54,550	41.28
02786	AARON CRAIG STEVENS BRANDON L PENVOSE	4310 WARWICK AVE 2090028000	05/02/22 0.31	1840 775	RES IMP	\$ 119,417	\$ 30,678	25.69
01556	PATRICIA POLLARD BRASWELL TANKSLEY	3040 GREY FOX DR 2710027000	03/16/22 1.05	1833 201	RES VAC	\$ 17,798	\$ 7,560	42.48
06875	CATAMOUNT PROPERTIES 2018 LLC BRAUHN GREG/BRAUHN GINGER E	3404 WALKER CREEK RD 2950055000	10/14/22 1.38	1863 137	RES IMP	\$ 317,533	\$ 129,474	40.78
02406	CODY DUNN BRENDA ELEY	2950 BRIDGEPORT 520436000	04/12/22 0.47	1837 1449	RES IMP	\$ 197,893	\$ 60,032	30.34
02154	WALTER A COOPER BRENDAN OCONNELL AKA BRENDAN	440 FOREST HILLS 314047570	04/14/22 0.03	1837 2208	RES IMP	\$ 147,017	\$ 37,455	25.48
07668	KING KARLEIGH ANNE BRENT'S LLC	1131 MERRY ST 451182000	11/30/22 0.17	1867 2561	RES IMP	\$ 90,111	\$ 30,618	33.98
02598	JENNIEI MORGAN AND ROBERT L MORGAN BRENT'S LLC	2706 LAKEWOOD 711054000	04/15/22 0.57	1839 759	RES IMP	\$ 101,906	\$ 60,964	59.82
08169	DIXON ELNORA BRETZIUS DALE	4009 CALYPSO DR 303095000--LOT 4, BLOCK L	12/16/22 0.08	1869 2782	RES IMP	\$ 128,729	\$ 43,610	33.88
01691	MORRISON RICHARD N BREY JOHN/BREY JANIERNE	1229 GREENE ST 364281000	03/21/22 0.12	1833 1634	COM VAC	\$ 24,076	\$ 11,500	47.77
06023	ROSCOE COOK JR BREYANNA LASHEL FUNCHESS	2122 EASTSIDE CT 1103023000	09/08/22 0.31	1858 636	RES IMP	\$ 106,416	\$ 27,800	25.97



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07933	WISE CHOICE RESIDENTIAL SERVICES INC BRIAN COLEMAN	2525 KENSINGTON DR 1080281000	12/02/22 0.29	1868 1595	RES IMP	\$ 145,808	\$ 37,717	25.87
02226	VICKI B LEWIS BRIAN J MARSHALL AND PATRICIA POWLEDGE	303 CHATHAM 162023000	04/22/22 0.39	1838 2360	RES IMP	\$ 215,363	\$ 71,808	33.34
06889	WICK TERRENCE L BRIAN THOMAS MCHENRY	2315 REDWOOD 271018000	10/14/22 0.52	1863 29	RES IMP	\$ 227,422	\$ 70,738	31.10
08373	ANDERSON WILLIE L BRIAN WILLIAMS	110 E WATKINS ST 611045000	12/29/22 0.18	1870 2726	RES IMP	\$ 52,779	\$ 22,531	42.69
05609	HUNTER JERRI M BRIDGES RICKEY	2980 CLARKSTON RD 533005000~LOT 13 BLK C GRANITE HILL	08/15/22 0.26	1855 1954	RES IMP	\$ 253,168	\$ 114,487	45.22
07265	ALLISON JERRY DAVID BRIGHAM WILLIAM B/BRIGHAM JUDY C	436 WAVERLY 240111000	10/12/22 0.33	1864 55	RES IMP	\$ 519,209	\$ 195,582	37.67
05811	NELSON BRITTANY MARIE BRIGHT CANDACIA AVIONTA	1715 TAMARIND WAY 1830098000	08/19/22 0.25	1857 1123	RES IMP	\$ 151,901	\$ 48,633	32.02
03143	MARTIN PHILLIP A BRISENO ADRIANNA	2608 NATIONAL WOODS DR 132207000	04/29/22 0.27	1842 954	RES IMP	\$ 219,504	\$ 56,629	25.80
04116	MILLER MARK WILLIAM ROFS/MICHELLE D BRITTANY S KING-AVERITTE	3154 SUMMERCHASE 424134000	06/24/22 0.12	1848 427	RES IMP	\$ 147,560	\$ 45,537	30.86
04603	SUSAN ELAINE BRANNEN AKA SUSAN BRITTANY WAITES	1538 CITATION RD 2330058000	07/08/22 4.87	1850 1449	RES IMP	\$ 127,013	\$ 48,939	38.53
05147	FA PROPERTIES LLC BRITTINGHAM EMILY/WALTERS WILLIAM	1852 CENTRAL AVE 453141000	07/06/22 0.16	1853 2753	RES IMP	\$ 171,553	\$ 45,996	26.81
08598	BRITTINGHAM THOMAS W JR LIVING	3742 WALTON WAY EXT 160027090	0.28		COM IMP	\$ 436,135	\$ 170,006	38.98
02492	TOLBERT RODERICK BROADWATER QUALAN	2730 LAKEWOOD DR 711024000	04/15/22 0.48	1837 2782	RES IMP	\$ 160,662	\$ 50,442	31.40
03484	PHILLIPS MICHAEL R BROCKINGTON SHAVAUYEAH	1844 FORMOSA DR 1223198000	05/31/22 0.25	1845 1615	RES IMP	\$ 136,684	\$ 38,592	28.23
03886	PARKER KAREN BRODER JEFFREY N	1102 BROOKSTONE 402426000	06/07/22 0.13	1846 1923	RES IMP	\$ 267,276	\$ 97,724	36.56
03258	CICCIO DANIEL BROTHERSVILLE PROPERTIES LLC	2696 BIG DOG TRL 2710004000	05/11/22 82.10	1843 194	AGR VAC	\$ 119,275	\$ 53,201	44.60
06681	TOUCHTONE ARTHUR JOHN BROWER SHAWN M/BROWER SHAWN C	419 DORCHESTER 170021040	10/05/22 0.35	1862 1453	RES IMP	\$ 266,041	\$ 98,725	37.11
05050	WESCO JOYCE B BROWN AKILAH H/BROWN TREVIAN D	3555 MONTE CARLO DR 1430123000	07/22/22 0.34	1852 856	RES IMP	\$ 191,378	\$ 64,076	33.48
02810	TSAI JOHN W BROWN ANDREW STONE	684 RIVERFRONT DR 623006000~6	05/06/22 0.10	1840 2361	RES IMP	\$ 234,396	\$ 100,298	42.79
04353	PULLIUM ANN MARIE BROWN CURTIS/WATSON LAURA JOY	1558 CITATION RD 2330047000	07/08/22 1.20	1849 1845	RES VAC	\$ 13,731	\$ 6,299	45.87
04763	MERCER SPENCER EDWARD III BROWN EMILY JARRETT/BROWN STEVEN	3124 HOLLY HAVEN DR 170114000	07/19/22 0.42	1851 1186	RES IMP	\$ 246,731	\$ 81,569	33.06
04302	LANDRY ADRIAN BROWN EVA	3536 MUTIMER DR 1083003000	06/28/22 0.81	1848 2387	RES IMP	\$ 163,357	\$ 43,743	26.78
07020	OLSON LAURA BETH BROWN III SAMUEL/BROWN MARYSHA	4332 BATH EDIE RD 2460041000	10/31/22 1.27	1864 1603	RES IMP	\$ 300,283	\$ 124,835	41.57
05710	CORDY YVETTE DENISE/GOWDY BONITA BROWN INGEBORG/SUAREZ PEDRO	821 BENNOCK MILL RD 3040002000	08/29/22 3.83	1856 1882	RES VAC	\$ 26,226	\$ 10,022	38.21
04411	VEAL JOSHUA H BROWN JOY	1854 OHIO 434108000	06/30/22 0.41	1849 1009	RES IMP	\$ 171,639	\$ 58,505	34.09
04638	SIRULL DAVID BROWN MARK S	2224 OVERTON RD 264098000	07/06/22 0.67	1850 1708	RES IMP	\$ 326,114	\$ 113,131	34.69
04300	CHEEK BEN J BROWN NICOLE	24 MACAULAY PL 121149000	06/01/22 0.06	1848 2140	RES IMP	\$ 198,234	\$ 61,995	31.27
02846	POWERS ISAAC G BROWN SANDRA	2716 DAN ST 131017000	04/29/22 0.28	1840 1822	RES IMP	\$ 180,047	\$ 70,326	39.06
03653	JASCHEN KYLE STEVEN/EHLERS BRYNN BRUCE JOHN-DAVID CONSTANTINE	1544 SCHLEY 443035000	05/24/22 0.15	1845 1553	RES IMP	\$ 206,751	\$ 65,913	31.85



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05395	BING MATTHEW C BRUNELLE MEIR JOHN/BRUNELLE DANIEL	2318 SUMAC DR-7 & K 703041000	08/11/22 0.34	1855 1728	RES IMP	\$ 107,274	\$ 30,666	28.59
01778	PALOMO DAVID J AND VERONICA S ROFS BRYAN R BROACH	2119 CUMMING 353311040	03/28/22 0.21	1835 162	RES IMP	\$ 582,656	\$ 166,195	28.52
05993	HUFF ALICIA Y ARNOLD BRYAN WILLIAMS	808 OSHIELDS CT 43049000	09/02/22 0.17	1857 2138	RES IMP	\$ 207,683	\$ 80,199	38.62
03102	HEINZMAN JEAN A BRYANT BETTY	2604 CHAUCER DR 300139000	05/18/22 0.20	1842 1665	RES IMP	\$ 291,707	\$ 107,192	36.75
06948	POSS ASHLYN ELISE BRYANT WILLIAM I	2087 HECKLE 353029000	10/27/22 0.17	1864 519	RES IMP	\$ 154,475	\$ 55,829	36.14
01838	MILLER LARRY D BRYANT-PIERSON BENJAMIN W/PIERSON	3057 BROOKHAVEN WAY 122118000	03/24/22 0.06	1834 1899	RES IMP	\$ 70,155	\$ 37,792	53.87
04227	WILLIAMS DENNIS G BSFR I OWNER I L P	2750 HUNTCLIFFE DR 653144000	07/01/22 0.13	1848 2341	RES IMP	\$ 261,750	\$ 108,821	41.57
03760	ROPER MARY BSFR I OWNER I L P	2704 DAVIS MILL RD 1640185000	06/09/22 0.31	1846 110	RES IMP	\$ 185,007	\$ 65,612	35.46
00809	WATSON DEBORAH J BSFR I OWNER I L P A DELAWARE LIMITED	1478 GOSHEN RD 1990081020	02/16/22 0.97	1828 1722	RES IMP	\$ 194,680	\$ 73,268	37.64
00996	RUSH ENTERPRISES LLC BSFR I OWNER I L P A DELAWARE LIMITED	3540 STONEY BROOK RD 1320325000	02/23/22 0.24	1829 1851	RES IMP	\$ 138,946	\$ 41,498	29.87
01199	WALLACE RODERICK BSFR I OWNER I L P A DELAWARE LIMITED	4211 REDCLIFF 662027000	03/01/22 0.77	1830 906	RES IMP	\$ 183,076	\$ 67,174	36.69
01605	BRITTANY BURT BSFR I OWNER I L P A DELAWARE LIMITED	3003 BURGESS 653039000	03/18/22 0.15	1833 492	RES IMP	\$ 270,287	\$ 101,104	37.41
02712	JEFFREY PETERSON BSFR I OWNER I L P A DELAWARE LIMITED	3420 LUCIE ST 1210083000	04/29/22 0.24	1840 1066	RES IMP	\$ 87,529	\$ 26,290	30.04
01767	CHARLES E ROBINSON BSFR I OWNER I L P A DELAWARE LIMITED	2827 CRANBROOK DR 1290738000	03/28/22 0.24	1834 1819	RES IMP	\$ 121,192	\$ 43,675	36.04
01710	ROBERT DANIELS JR BSFR I OWNER I L P A DELAWARE LIMITED	2715 HUNTCLIFFE 654172000	03/25/22 0.17	1834 1516	RES IMP	\$ 242,999	\$ 99,650	41.01
01712	JOHN C NOAH AND CARLA A NOAH BSFR I OWNER I L P A DELAWARE LIMITED	3533 ANDOVER DR 1290426000	03/23/22 0.26	1834 624	RES IMP	\$ 154,471	\$ 55,944	36.22
01794	FERRELL DONNIE AND FELECIA D ROFS BSFR I OWNER I L P A DELAWARE LIMITED	3012 WHITE SAND DR 1410474000	03/28/22 0.27	1834 1683	RES IMP	\$ 172,466	\$ 60,305	34.97
01936	HOYT D CROZIER AND CECILIA CROZIER BSFR I OWNER I L P A DELAWARE LIMITED	3239 PENINSULA 403107000	03/31/22 0.21	1835 619	RES IMP	\$ 177,143	\$ 60,156	33.96
02042	ETTEVI J ROSA AND YESENIA C AGUILERA BSFR I OWNER I L P A DELAWARE LIMITED	929 BURLINGTON 671169000	04/01/22 0.19	1835 1444	RES IMP	\$ 269,903	\$ 102,219	37.87
02645	APPLING INVESTORS LLC BSFR I OWNER I L P A DELAWARE LIMITED	3714 FAIRINGTON DR 1400118000	02/28/22 0.40	1840 833	RES IMP	\$ 150,065	\$ 32,852	21.89
00179	TUCKER LATOYA C KELSEY BSFR I OWNER I L P A DELAWARE LIMITED	2513 SADDLE HORN CT 1290566000	01/18/22 0.48	1823 1188	RES IMP	\$ 138,125	\$ 49,969	36.18
00019	NEXTGEN INVESTMENTS LLC BSFR I OWNER I L P A DELAWARE LIMITED	4022 WHISPERING PINES RD S 1980353000	01/05/22 0.36	1821 2122	RES IMP	\$ 185,912	\$ 53,748	28.91
01628	DURFLINGER PEYTON R AND BRITTANY M BSFR I OWNER I L P A DELAWARE LIMITED	3410 WENTWORTH PL 1322145000	03/18/22 0.31	1833 466	RES IMP	\$ 179,564	\$ 58,820	32.76
05607	JASON EDWARD HODGE ELCIRA M HODGE BUGGS KUM OK	3704 BANSBURY PL 1424150000	08/15/22 0.22	1855 285	RES IMP	\$ 175,930	\$ 62,593	35.58
04201	HOFFMANN J CHRIS BUI MICHAEL D/BUI LINDSAY JOINER	1121 MERRY 451187000	06/24/22 0.17	1848 7	RES IMP	\$ 51,775	\$ 31,056	59.98
02670	KOBLEUR JR JAMES R BULL STEPHANIE E	1611 PENDLETON 572046000	05/02/22 0.26	1840 246	RES IMP	\$ 147,462	\$ 54,805	37.17
04716	STOKES ROBINSTINE BULLOCK WILLIAM CARL	4332 PARKWOOD DR 1800042000	06/21/22 7.32	1851 1478	RES VAC	\$ 25,959	\$ 4,666	17.97
07984	ZACHMAN ELIZABETH A BURKE MAMIE J/BURKE DONALD D	1156 BROOKSTONE WAY 402453000	12/14/22 0.11	1869 1296	RES IMP	\$ 291,701	\$ 121,082	41.51
07562	WIDEMAN ERNEST BURNS NOLIE	2051 BASSFORD DR 1770025000	11/09/22 0.31	1866 1833	RES IMP	\$ 145,808	\$ 63,4	2



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03070	TRIPLE A FOUR K'S INC BURNSIDE CHARLES C JR	1180 HANCOCK MILL LANE 3190096000~LOT 45, BLOCK C, SECT. II,	04/14/22 0.75	1842 657	RES VAC	\$ 8,453	\$ 3,392	40.13
00951	LASKER CARRIE SUZANNE BURTON STEPHANIE	1307 DOMINICA 313052000	02/14/22 0.41	1828 2030	RES IMP	\$ 265,468	\$ 73,511	27.69
08438	CULVER NICHOLAS R BUSH LAURIE A	3526 RICHMOND HILL RD 1322006000	12/27/22 0.28	1871 1919	RES IMP	\$ 180,221	\$ 60,866	33.77
06519	SCOTT BETH A MONTGOMERY BUSSEY WESLEY A/BUSSEY MEAGHAN	2928 SUSSEX RD 183076000~LOT 3, BLK A,	09/30/22 0.30	1861 1969	RES IMP	\$ 300,283	\$ 129,860	43.25
07635	BARNES ERMA L BUSSYOUNG CONTRACTING DEVELOPMENT	1653 BRINSON ST 361116000	11/21/22 0.05	1867 2039	RES IMP	\$ 12,015	\$ 5,925	49.31
08263	VUPPULA SHIVA C A FLIPPIN INVESTMENTS LLC	4377 SAXON DR 2270241000	11/22/22 0.34	1871 76	RES IMP	\$ 57,499	\$ 30,122	52.39
06055	TEDESCO FRANCIS J C CANADA CONSTRUCTION LLC	3410 KERRY 323077000	09/09/22 5.18	1858 2255	RES VAC	\$ 68,656	\$ 16,000	23.30
03794	HUTCHINSON LISA A BAKER CAA REAL ESTATE LLC	1925 WOODSIDE RD 1333076000	06/02/22 0.34	1846 129	RES IMP	\$ 154,925	\$ 47,390	30.59
07904	SAXON JOSEPH W AND ROBIN J CADAVOS JOSEPH	2906 STRATFORD DR 183058000	11/29/22 0.32	1868 1827	RES IMP	\$ 139,457	\$ 83,033	59.54
06639	ASMUS LLC CAILA LENE	23234 GARDNER 342101000	10/05/22 0.63	1861 2784	RES IMP	\$ 76,379	\$ 33,923	44.41
04237	WILLIAMS SHERRY J CALAMAS KATHERINE/CALAMAS BRANDON	1700 NORTH LEG CT 551001000~LT 1 BLK B	06/29/22 0.36	1848 1242	COM IMP	\$ 109,953	\$ 36,788	33.46
07419	CONNER H PARKS CALEB MARSH FAIREY	1738 KISSINGBOWER 574004000	11/08/22 0.21	1865 1632	RES IMP	\$ 101,267	\$ 47,289	46.70
05778	MILFORD R JONES JR CALIFORNIA FAMILY INVESTMENT LLC	2012 HELMSDALE LN 122059000	08/30/22 0.07	1857 268	RES IMP	\$ 163,057	\$ 42,505	26.07
02013	ADERIBIGDE YEKEEN CALLE DAVID/DIXON VALERIE	2609 HENRY 341499000	03/04/22 0.10	1836 91	RES IMP	\$ 157,607	\$ 52,590	33.37
00469	SMITH LAURENCE CALLENDER DALE OLVA	3434 THAMES PL 1431081000	01/20/22 0.32	1826 1376	RES IMP	\$ 226,557	\$ 91,522	40.40
02569	JOHN AMOS JOHNSON CALVIN W SMITH	3303 YOUNG FOREST DR 1222012000	04/27/22 0.25	1839 862	RES IMP	\$ 145,378	\$ 56,125	38.61
05956	BROTHERSVILLE DEVELOPMENT CORP CAMACHO MILAGROS	2713 FLEMING DR 983043000	09/07/22 0.23	1858 313	RES VAC	\$ 6,436	\$ 4,032	62.64
06614	EUCHEE CREEK DEVELOPMENT CO INC CAMANINI DEWAYNE J/YOUNG HAILEY M	4903 CANNON CT 2790105000~LOT 17, BLK A, CHASE	09/16/22 0.86	1861 2037	RES VAC	\$ 19,653	\$ 6,600	33.58
00076	CUMMINGS ZARIA K CAMECA ATKINSON-REID	4354 SANDERLING DR 1672057000	01/12/22 0.65	1822 2410	RES IMP	\$ 206,098	\$ 77,270	37.49
03573	WESLEY B CUMMINGS JR CAMERON PITTS	1501 BLEAKLEY 582099000	06/02/22 0.14	1844 1903	RES IMP	\$ 22,006	\$ 6,604	30.01
03719	GENGHIS LLC CAMPBELL CAMPBELL LLC	1017 STEVENS CREEK RD K213 120250000	06/10/22 0.11	1846 454	RES IMP	\$ 78,656	\$ 23,158	29.44
03016	ROGERS BRITTANY CANNON MELISSA M	1015 OSSABAW CT 1982003000	04/29/22 0.10	1842 2673	RES IMP	\$ 167,802	\$ 56,742	33.81
00708	BRAXTON BENJAMIN A CAPPAERT DANIEL REX/CAPPAERT PATRICIA	3102 BRANSFORD RD 333138000	02/11/22 0.40	1827 384	RES IMP	\$ 377,403	\$ 135,620	35.94
01998	SMITHSON CASSANDRA CARDENAZ DALTON MICHALE	2917 TOWER PINES 520397000	03/29/22 0.37	1835 2394	RES IMP	\$ 176,046	\$ 67,428	38.30
03576	JOHNSON JEREMIAH CARLEY GREGORY	3330 YOUNG FOREST DR 1222242000	06/06/22 0.23	1845 1321	RES IMP	\$ 80,693	\$ 35,589	44.10
02170	BONSER ROBERT CARLEY GREGORY	1908 MOORE RD 1231101000	04/05/22 0.36	1838 1365	RES IMP	\$ 73,983	\$ 22,709	30.69
05730	ALTHAF RAHMATH K CARLOS DAISY	2533 COMMONS 131181000	08/26/22 0.11	1856 1915	RES IMP	\$ 196,390	\$ 63,681	32.43
07792	ROBINSON CEAIRA S CARMEN KERRY	1231 PARAMOUNT CT 2150227000	11/17/22 0.28	1867 1569	RES IMP	\$ 158,766	\$ 88,283	55.61
07519	WALKER REGINALD CARNES HARLEY/YOUNG OTHEAH	3619 MONMOUTH RD 1300584000	11/15/22 0.30	1866 1873	RES IMP	\$ 175,930	\$ 53,500	30.43



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06573	TRAVIS A WIGGINS CAROL M TABER	2797 HENRY 332339000	10/05/22 0.51	1861 2507	RES IMP	\$ 321,824	\$ 154,241	47.93
03053	LENA CAPITAL GROUP LLC CARPENTER DENNIS	1817 ELLIS ST 352101000	05/10/22 0.09	1842 1807	RES IMP	\$ 29,197	\$ 16,170	55.38
01818	SCENIC LAND HOMES LLC CARPENTER SEAN	920 FLYTHE DR 201111000	03/10/22 0.23	1834 1425	RES IMP	\$ 184,554	\$ 56,521	30.63
05325	CARTER ANTHONY D CARR MEREDITH CAMPBELL	2603 SHERBORNE CT 181020000	08/05/22 0.14	1853 1718	RES IMP	\$ 278,914	\$ 107,532	38.55
06335	FLIERMANS MATTHEW CARR MICHAEL DAVID/CARR DIANA LYNN	747 TRIPPS CT 230046000~LOT 11, TRIPPS COURT	09/16/22 0.62	1859 2198	RES IMP	\$ 338,987	\$ 88,166	26.01
06144	GRAY ERIC C II CARR SAMANTHA	1740 WYCLIFFE 571170000	08/19/22 0.34	1858 2524	RES IMP	\$ 160,483	\$ 47,647	29.69
07790	TIMOTHY NEIL TRACY JR CARRA POE	3310 CUSHENDAL 532133000	11/18/22 0.09	1866 2729	RES IMP	\$ 184,512	\$ 54,834	29.72
08154	DELAIGLE HELEN I CARRUTH JESSICA ANN/CARRUTH RYAN	3147 CRANE FERRY RD 171150000~5	12/21/22 0.24	1870 283	RES IMP	\$ 154,389	\$ 63,864	41.37
01070	ANTHONY W PRIDEMORE AND STEPHANIE M CARSON M THOMPSON AND JOEL D	726 SOMERSET 240238000	03/07/22 0.45	1831 56	RES IMP	\$ 407,886	\$ 100,138	24.55
04949	DUMAS CALVIN CHANDLER CARSWELL KAYLA/LOCHNER JEFFREY ALAN	3728 WOODLAKE RD 1410240000	06/29/22 0.26	1852 1971	RES IMP	\$ 148,175	\$ 40,705	27.47
06129	VIOLETTE RYAN TAYLOR CART JONATHAN/CART MARY CAPERS	624 CANTERBURY DR 242110000~47, J	09/13/22 0.37	1858 1964	RES IMP	\$ 268,615	\$ 120,689	44.93
00664	EAGLE MAINTENANCE SERVICES LLC CARTAGENA HENRY	1017 STEVENS CREEK RD A116 120153000	01/12/22 0.11	1826 2660	RES IMP	\$ 59,480	\$ 18,758	31.54
00261	SARAH B JONES AND JULIE BATES JONES CARTER CODELL AND CAITY FORGEY	2008 SUMMER RIDGE 451378000	01/19/22 0.10	1823 2171	RES IMP	\$ 226,640	\$ 80,598	35.56
07864	BASS MEGAN G CARTER IRA	3312 CRANE FERRY 162039000	10/27/22 0.34	1867 2741	RES IMP	\$ 215,407	\$ 66,838	31.03
08100	BRADLEY NATASHA THOMAS CARTER JUDYE	3103 GREENSBORO WAY 530113000~LOT 8, BL. B, SECTION ONE,	12/07/22 0.28	1868 2624	RES IMP	\$ 171,553	\$ 59,323	34.58
06340	HOLLAND NATHAN O SR CARTER RAESHELL/CARTER AILEA	2624 SERENITY 654053000	09/12/22 0.13	1859 1734	RES IMP	\$ 240,295	\$ 110,096	45.82
07004	WRIGHT GARRY S JR CASTLEBERRY HARMON REAL ESTATE LLC	4563 PINEVIEW LN 1794054000	10/27/22 0.25	1865 816	RES IMP	\$ 101,323	\$ 58,678	57.91
01093	RUSHING-SMALLS NATASHA N CASTO-WATERS BRANDI/CASTO-WATERS	1421 HEATH 443064000	02/14/22 0.18	1829 1348	RES IMP	\$ 318,465	\$ 85,278	26.78
06839	MEWBORN JAMIE L CASTRO RUSULENNI	1123 MCCOYS CREEK RD 780062000~LOT 90, BL. A, MCCOYS	10/14/22 0.22	1863 83	RES IMP	\$ 337,271	\$ 136,405	40.44
01331	D R HORTON INC CAUSEY IV ROBERT BROOKS/CAUSEY	339 STABLERIDGE DR 800193000	03/11/22 5.18	1831 2274	RES IMP	\$ 335,945	\$ 137,834	41.03
02753	HUGHES PROPERTY SOLUTIONS LLC A CEK PARTNERS LLC A GEORGIA LIMITED	1930 BATTLE ROW 352459000	05/03/22 0.18	1840 589	RES IMP	\$ 83,158	\$ 26,523	31.89
05137	HARTY JOSEPH T CEYSSSENS WOUTER J	2325 ALLEN CT 974330000	08/09/22 0.26	1854 998	RES IMP	\$ 84,103	\$ 39,624	47.11
05358	CAROLINA AVENUE LLC CHACKAL ANTHONY	1834 MCDOWELL ST 453037000	08/02/22 0.17	1853 2011	RES IMP	\$ 153,617	\$ 43,367	28.23
00417	FERGUSON JEFFREY CHAMPERY RENTAL REO LLC BY:	2178 PEPPERIDGE DR 1430247000	01/28/22 0.30	1825 663	RES IMP	\$ 132,128	\$ 68,076	51.52
05155	ARTHUR KELSEY L CHANCEY HEATHER	2228 KIMBERLY 571153000	08/09/22 5.18	1854 232	RES IMP	\$ 141,602	\$ 45,173	31.90
03793	VERNON LINDSEY S WERRICK CHANNELL REBEKAH	1217 OAKDALE RD 132100000	05/27/22 0.28	1846 150	RES IMP	\$ 245,140	\$ 66,018	26.93
00892	YOUNG JESSE C CHAPPELLE TIMOTHY/RILEY ELENORA	3208 HILLSVIEW 520308000	02/11/22 0.34	1829 291	RES IMP	\$ 195,475	\$ 49,094	25.12
02362	CAMERON AUTRY CHARLES ANTHONY WIGGINS	296 CALDWELL 233026000	04/12/22 0.08	1837 371	RES IMP	\$ 172,121	\$ 60,342	35.06
08119	ANDREW A KESTER AKA ANDREW KESTER CHARLES BRYAN CATES AND SHANNON	1732 KING WOODS DR 574045000	12/14/22 0.21	1869 1770	RES IMP	\$ 72,088	\$ 37,100	51.19



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03358	MOORE ABIGAIL E AND MICHAEL A CHARLES MICHAEL CHEEK AND BRIDGETTE	2626 RAYMOND 432187000	05/27/22 0.19	1844 313	RES IMP	\$ 358,417	\$ 146,882	40.98
07126	HUGHES JOSEPH JR CHARLES WOBIL AND DONNA SIMMONS	2722 ASHTON DR 1661173000	10/31/22 0.29	1865 1	RES IMP	\$ 227,422	\$ 82,065	36.08
05949	GLENN A WALL AND TRISTAN D WALL CHASE WILLIAMS AND DAVID WAYNE	4051 BURNING TREE LN 1980177000	09/06/22 0.31	1857 2583	RES IMP	\$ 163,057	\$ 57,521	35.28
01080	KELLY TRAVIS W CHAVOUS CHARLES A	4520 BROTHERSVILLE RD 2490039040~1	02/25/22 0.35	1829 1022	RES IMP	\$ 137,856	\$ 40,586	29.44
02953	ALEXIS LEACH AND SANDRA BUICE CHELSEA BERRY THURMOND	3018 RICHMOND HILL RD 1094005010	05/11/22 2.12	1841 1316	RES IMP	\$ 62,831	\$ 18,722	29.80
06217	WILSON CHRISTIAN DIOR CHEN ALLY	4675 CRESTED BUTTE RD 662138000~39, E	09/23/22 0.64	1860 1717	RES IMP	\$ 177,861	\$ 71,058	39.95
00948	BEST ELIZABETH CHEN SI-ING/CHEN SI-LONG	2600 SPRINGWOOD DR 132147000~14, 23	02/21/22 0.27	1828 1910	RES IMP	\$ 215,480	\$ 55,586	25.80
04433	SHEUNG CHUN LI CHERINE CLUNIS	233 CALDWELL 220224000	06/30/22 5.18	1848 2487	RES IMP	\$ 193,008	\$ 57,274	29.67
04530	MONGE BRANDY LYNN CHERRY AVE REVITALIZATION ENTERPRISES	1314 CHERRY AVE 613184000	07/11/22 0.15	1850 378	RES IMP	\$ 28,320	\$ 14,312	50.54
03195	LESTER ADRIENNE NICOLE HARPER CHIDUZIEM ONYEDIMMA	1213 KENDAL CT 121018000	05/17/22 0.09	1842 1100	RES IMP	\$ 160,715	\$ 57,906	36.03
02089	VIOLETTE MICHAEL A JR ROFS CHIGLO CHERIA	3412 KERRY PL 323076000~3, A	04/11/22 0.44	1836 1581	RES IMP	\$ 337,167	\$ 90,432	26.82
04474	WELLINGTON PARK LLC CHIRIBOGA ALBELIZ PERERO	258 JAPONICA AVE 611106010	07/01/22 0.34	1849 2334	RES IMP	\$ 45,055	\$ 10,982	24.37
01713	KELLY B BALDWIN CHRIS C MORRIS	3012 STRATFORD 251097000	03/25/22 0.33	1834 665	RES IMP	\$ 225,242	\$ 80,371	35.68
03757	MICHAEL MARCHMAN CHRISTIAN A SIFUENTES	2024 OHIO 562033000	06/07/22 0.21	1845 2317	RES IMP	\$ 108,663	\$ 36,072	33.20
04112	TERZIA RICHARD L III CHRISTIE LISA/HARBIN PATTI	1128 EINSENHOWER DR 134258000	06/23/22 0.40	1848 585	RES IMP	\$ 182,243	\$ 61,173	33.57
07902	JASMINE G GARCIA CHRISTINE JOY WRIGHT	408 FOLKSTONE CIR 110091760	12/02/22 0.16	1868 950	RES IMP	\$ 148,210	\$ 52,112	35.16
04820	BOB H J HERMAN CHRISTOPHER CHARLES REED	2923 OLD MORRIS 380065010	07/12/22 3.70	1850 2275	RES IMP	\$ 197,385	\$ 47,397	24.01
02558	DAVID S LEACH CHRISTOPHER D PAINE AND ALAYNA N PAINE	603 NORWICH 242011000	04/25/22 0.66	1839 694	RES IMP	\$ 354,974	\$ 126,793	35.72
02274	STEPHAN PSILLOS AKA STEPHAN J PSILLOS CHRISTOPHER ELKINGTON	3114 OCEAN 520047040	04/11/22 1.93	1836 2506	RES IMP	\$ 171,347	\$ 51,057	29.80
02408	BASH AUSTIN HOLDINGS LLC CHRISTOPHER LEE BLACK	1017 STEVENS CREEK RD J196 120233000	04/13/22 0.11	1837 1437	RES IMP	\$ 85,987	\$ 21,520	25.03
08320	SUMMERS DUSTIN A CHRISTOPHER NESBITT	2105 TURTLE CT 73008000	12/28/22 0.03	1870 1858	RES IMP	\$ 107,274	\$ 33,284	31.03
03294	WIGGINS JOYCE A CHRISTOPHER PARK	4309 REGANS 662204000	05/20/22 0.28	1843 1369	RES IMP	\$ 231,529	\$ 86,483	37.35
02607	SUSAN H TAYLOR CHRISTOPHER ROWLEY	709 HIGHLAND 332269000	04/26/22 0.55	1839 25	RES IMP	\$ 291,009	\$ 72,927	25.06
01046	ANDREW PRIDE JR CHRISTOPHER WILLIAMS	3717 DRAYTON DR 1060041000	02/23/22 0.25	1829 1270	RES VAC	\$ 19,165	\$ 4,800	25.05
07341	ROGERS VASQUEZ INVESTMENTS LLC CHUE QUAN LI	1915 LOBELIA LN 1830086000	11/02/22 0.20	1865 1261	RES IMP	\$ 133,020	\$ 54,049	40.63
03558	SCHAAACK MORGAN T CHUNG DANIEL P	1752 KISSINGBOWER 573111000	05/31/22 0.21	1844 1885	RES IMP	\$ 176,366	\$ 56,859	32.24
05075	BLAYLOCK THOMAS S CHURCH STREET HOLDINGS LLC	804 HICKMAN RD 353334000	08/08/22 0.79	1854 804	RES IMP	\$ 217,124	\$ 116,983	53.88
02945	KRISTEN EVANS NEVILLE FKA KRISTEN MARIE CINDY KRAKOWSKI	2013 GLENNFIELD LN 133147000	05/10/22 0.09	1841 1856	RES IMP	\$ 192,252	\$ 55,669	28.96
07947	HIGH YIELD RE LLC CJ COREVISIONS LLC	1120 TENTH 722261000	12/08/22 0.14	1868 2621	RES IMP	\$ 17,164	\$ 5,9	182



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00024	ABRAHAM ASSOCIATES LEASING LLC CLAN 7 ENTERPRISES LLC	2713 OAKLAND AVE 332241000	01/07/22 0.28	1822 18	RES IMP	\$ 89,575	\$ 43,922	49.03
02207	ROBERSON THOMAS V CLAN7 ENTERPRISES LLC	2726 OAKLAND AVE 332310000	04/22/22 0.42	1839 205	RES IMP	\$ 135,263	\$ 52,552	38.85
01697	MICKENS CHUNDRA TOLBERT CLARENCE CHADWICK GIBBS	2114 VANDIVERE 564084000	03/21/22 0.13	1833 1419	RES IMP	\$ 140,665	\$ 37,332	26.54
07001	COLLINS VERLIN LEVI JR/DELIA CLARK DON R	4048 MADISON LN 534069000	10/31/22 0.85	1865 786	RES IMP	\$ 283,119	\$ 103,406	36.52
05859	COOK KYLE CLARKE ANDREA MICHELLE	502 ELLISON WAY 121084000~37	08/30/22 0.13	1856 2539	RES IMP	\$ 199,101	\$ 53,355	26.80
02245	BUNDY JUSTIN V CLAUSSEN JOHN	1351 WATERS EDGE DR 362056000	04/19/22 0.15	1837 2201	RES IMP	\$ 380,606	\$ 169,716	44.59
02979	SCENIC LAND HOMES LLC CLAYTON NILES	2340 TRAVIS PINES DR 1540133000	05/10/22 0.34	1841 850	RES IMP	\$ 152,724	\$ 36,174	23.69
06485	LEE YOUNG MI CLEARLAKE CAPITAL LLC	2517 MILLEDGEVILLE RD 714014010	09/29/22 2.14	1861 836	COM IMP	\$ 523,943	\$ 210,400	40.16
01977	HEISE JONATHAN CLOUTIER III LAWRENCE PAUL/CLOUTIER	4020 CALYPSO 303109000	03/31/22 5.18	1835 2105	RES IMP	\$ 129,138	\$ 43,610	33.77
07586	LOSGAR STEVEN G CLUB MAGNOLIA LLC	1022 MAGNOLIA DR 134124000~LOT 12, BLOCK 'C',	11/17/22 0.40	1866 1828	RES IMP	\$ 321,824	\$ 132,512	41.18
02957	R M PROPERTY MANAGEMENT LLC AN COASTAL WASTE RECYCLING OF GEORGIA	3925 GOSHEN INDUSTRIAL BLVD 1842001000	05/05/22 10.00	1841 2202	IND IMP	\$ 786,569	\$ 333,064	42.34
04682	HERNANDEZ DAVID COBB KIMBERLY L	3403 THAMES PL 1431052000	07/13/22 0.26	1851 825	RES IMP	\$ 184,512	\$ 87,068	47.19
05814	BEST KASEY A COLE JOSHUA	2965 CLARKSTON 671087000	07/29/22 0.27	1856 1717	RES IMP	\$ 308,865	\$ 126,667	41.01
05209	ROSE JOHN L COLEMAN GLORIA J/COLEMAN DENISE V	2321 REDWOOD DR 271016000~5, E	08/03/22 0.87	1853 1304	RES IMP	\$ 236,004	\$ 89,658	37.99
08195	BURKE DONALD D COLLINS MARGIE REE	3948 LAKESIDE PASS 1803012000	12/12/22 0.62	1870 530	RES IMP	\$ 330,405	\$ 154,132	46.65
07329	HAUPTMAN ALLYSON I COLLINS MICHAEL R/COLLINS LINDSEY A	3103 THEODORE 653080000	11/10/22 0.13	1865 2560	RES IMP	\$ 248,877	\$ 109,096	43.84
00442	DAOUD JOSEPH KHALIL COLLINS THEDRICK	2624 DRAYTON DR 940171000	01/28/22 0.29	1825 815	RES IMP	\$ 111,771	\$ 44,386	39.71
01119	SIMMONDS KEMAR J COLLINS TONY	1127 ROSLAND 800046000	02/16/22 0.18	1829 1519	RES IMP	\$ 264,071	\$ 95,678	36.23
07624	BRUXVOORT JENNA L COMBS MICHAEL EDWARD/STANDARD A/K/A	3122 RAMSGATE 242050000	11/02/22 0.35	1866 1422	RES IMP	\$ 253,168	\$ 95,821	37.85
06070	AHO HOLDINGS LLC COMMONS LLC	2608 COMMONS BLVD 120441000~BLDG B-1 PH III	08/31/22 0.44	1858 1579	COM IMP	\$ 332,551	\$ 103,139	31.01
01934	PATRICIA R JENNINGS CONCHETTA GIBBONS	3013 HOLLINS DR 1400346000	04/01/22 0.44	1835 623	RES IMP	\$ 146,797	\$ 47,309	32.23
00168	REICHARD INVESTMENTS LLC CONE WILLIE/CONE CLEMENTINE	818 BELAFONTE DR 613012000~LOT 7, BOCK D, SUNLIGHT	01/06/22 0.14	1822 1126	RES IMP	\$ 31,874	\$ 11,069	34.73
05328	STOKES ELIZABETH CONLON CHARRITI	2111 LAKE 273002000	08/03/22 0.22	1853 1757	RES IMP	\$ 133,020	\$ 48,249	36.27
03934	GELPI GREGORY J CONRAD EVA MARIE	801 MONTE SANO AVE 341383150~5, C	06/13/22 0.08	1846 1101	RES IMP	\$ 96,311	\$ 30,489	31.66
01671	OYENUGA CHRISTOPHER A COOK JAMES FREDERICK	2425 YOUNG DR 973098000	03/21/22 0.28	1833 1364	RES IMP	\$ 108,781	\$ 36,762	33.79
02258	LOPEZ GUSTAVO A COOK KEONDRA M	1731 ETHAN WAY 1521076000	04/18/22 0.28	1837 2598	RES IMP	\$ 283,869	\$ 101,486	35.75
02363	ZAMCHO ANTHONY COOK NATALIE J	1739 HARROGATE DR 2140210000	03/25/22 0.31	1837 802	RES IMP	\$ 163,557	\$ 53,956	32.99
03516	FRANK E WILLIAMS COOSAWHATCHIE INVESTMENTS LLC	1639 SAINT LUKE 352300000	06/03/22 0.24	1845 1751	RES VAC	\$ 12,313	\$ 3,754	30.49
06851	JACKSON RHONDA HAWKINS COOSAWHATCHIE INVESTMENTS LLC	519 WRIGHTS 354313000	10/19/22 0.13	1863 326	RES IMP	\$ 76,379	\$ 28,611	36.83



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02480	HENRY A JONES JR COOSAWHATCHIE INVESTMENTS LLC	1825 WATKINS 354010000	04/13/22 0.15	1837 1440	RES VAC	\$ 9,196	\$ 2,656	28.88
02026	LORI C DAVIS AND RUNETTA RIGDON AND COOSAWHATCHIE INVESTMENTS LLC	1758 WATKINS 354198000	03/31/22 0.20	1835 773	RES VAC	\$ 23,247	\$ 4,322	18.59
01890	ALLEN ODOM COOSAWHATCHIE INVESTMENTS LLC	511 WRIGHTS 363110000	03/30/22 0.13	1834 2392	RES IMP	\$ 55,840	\$ 16,912	30.29
05049	BUSINESS OF HISNESS LLC COOSAWHATCHIE INVESTMENTS LLC	1623 FENWICK 354211000	07/22/22 0.15	1852 636	RES IMP	\$ 48,917	\$ 20,679	42.27
05178	CWW GROUP INC COOSAWHATCHIE INVESTMENTS LLC	432 REYNOLDS 472042010	08/02/22 0.37	1853 1589	COM VAC	\$ 180,074	\$ 35,458	19.69
04618	JOHN CROPPER COOSAWHATCHIE INVESTMENTS LLC	1640 CLEVELAND 452101000	07/15/22 5.18	1850 1855	RES VAC	\$ 11,586	\$ 5,120	44.19
03655	YEE AND MARGARET CHAU CHEN PING CORBIN JAKE A	801 MONTE SANO 341383040	05/26/22 0.08	1845 1646	RES IMP	\$ 82,377	\$ 36,333	44.11
00359	JOHNSON EDDIE P CORBO DEVON G	3402 HEATHER 323071020	01/20/22 0.65	1825 591	RES VAC	\$ 44,326	\$ 20,000	45.12
05699	LUCREE CHRISTOPHER M CORD C COLLINS	3346 WEDGEWOOD 412118000	08/26/22 0.25	1856 1633	RES IMP	\$ 158,766	\$ 64,930	40.90
00932	WASHINGTON CAROL RENEE COREY A HOWARD	2017 JOCELYN PL 1521046000	02/22/22 0.41	1828 2361	RES IMP	\$ 280,997	\$ 103,668	36.89
04436	JAMES E RICHARDSON AND LATOYA G COREY VANESS HODGES	4546 PINEVIEW LN 1794043000	06/30/22 0.20	1848 2315	RES IMP	\$ 163,057	\$ 59,362	36.41
01447	ROONEY-FENN MARIA R CORNELIUS DAISY MARIA	2622 DUBLIN DR-23 940198000-C	03/10/22 0.22	1832 756	RES IMP	\$ 63,411	\$ 30,546	48.17
00201	SATERFIELD KEVIN BRUCE CORREA LUZ MERY/HERRERA	2118 PEPPERIDGE DR 1430031000	01/21/22 0.32	1824 20	RES IMP	\$ 132,873	\$ 62,854	47.30
01473	FULLER KIMIKA S CORTES CO LLC	3526 DAVIS DR 1200027060	02/25/22 1.04	1832 113	RES IMP	\$ 80,784	\$ 42,846	53.04
01633	AVERY DIANA CORTES CO LLC	2948 HAMILTON DR 964016000	03/23/22 0.88	1833 2146	RES IMP	\$ 74,895	\$ 42,076	56.18
00313	FLORIDA ANDREW T CORTEZ ERNESTO A/CORTEZ CARMEN A	1610 WHITNEY ST 443146000-6	01/28/22 0.17	1824 2326	RES IMP	\$ 92,001	\$ 44,484	48.35
00625	DOUGLAS ANGELA HOOD CORTEZ ERNESTO A/CORTEZ ENRIQUE	1204 HIGHLAND 334209000	02/07/22 0.17	1826 2164	RES IMP	\$ 169,899	\$ 57,682	33.95
07342	LONAKER DANA/MCCLURE EDWARD COUNTRY ACRES PARTNERS LLC	903 HORSESHOE 2810116000	11/10/22 0.98	1865 2596	RES VAC	\$ 13,731	\$ 6,400	46.61
03717	MARGARET A BROWN COURTNEY HILLS	3739 CREST 1390142000	06/07/22 0.38	1846 188	RES IMP	\$ 144,592	\$ 44,657	30.88
00686	SPEARS MARY L COUZENS JAMAEL	2834 BRENTWAY DR 1180450000--LOT 36, OF THE	01/11/22 0.22	1826 1985	RES IMP	\$ 159,632	\$ 41,315	25.88
05141	MAY J BRADFORD COVINGTON III HOWARD W	1462 HEATH 443071000	08/12/22 0.19	1854 1472	RES IMP	\$ 225,706	\$ 69,584	30.83
06720	SCENIC LAND HOMES LLC COVINGTON KETURAH	2808 BENNINGTON 1300812000	09/23/22 0.24	1862 749	RES IMP	\$ 141,602	\$ 39,505	27.90
01678	SFR2-060 LLC CRAWFORD JR PETER I/PATRICK GLORIA L	2720 BARCLAY ST 1300499000	03/16/22 0.24	1832 2278	RES IMP	\$ 89,462	\$ 38,383	42.90
05498	MORGAN CHARLES R CRAWFORD PATRICK L	3112 NATALIE CIR 323093000-11, B	08/19/22 0.47	1855 1337	RES IMP	\$ 351,775	\$ 162,170	46.10
01631	CARR MEREDITH C CREECH CHARLES/WOOD ABIGAIL	2239 HUNTINGTON RD 264013000	03/24/22 0.42	1833 2084	RES IMP	\$ 299,328	\$ 117,647	39.30
04646	TRIPLE A FOUR K'S INC CROCKETT LORA A	1120 HANCOCK MILL LANE 3190075000--LOT 31, BLOCK C, SECT. II,	06/13/22 0.50	1849 2217	RES VAC	\$ 7,408	\$ 3,392	45.79
03738	MAKERSON RICHARD CROOKS CASANDRA	3537 JONATHAN CIR 1234011000--LOT 54, BL. D, APPLE	06/07/22 0.22	1845 2575	RES IMP	\$ 70,105	\$ 23,646	33.73
00123	GLORIA ALLRED CROSSTOWNS INVESTMENTS CONSULTING	2707 BOLLING RD 133046000	01/14/22 0.31	1823 565	RES IMP	\$ 250,904	\$ 64,962	25.89
03485	AGUILAR JOSEPH M CROWDER STEVEN DOUGLAS	2703 BRICKRUN PL 131156000	05/31/22 0.10	1845 1598	RES IMP	\$ 211,639	\$ 69,584	32.89



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01426	COLES JOSEY CRUZ AMANDA JEAN/CRUZ ANDREW	1013 BURLINGTON DR 673041000~LOT 2, BLK I, GRANITE HILL	03/01/22 0.32	1831 638	RES IMP	\$ 263,362	\$ 103,142	39.16
08064	CATCHPOLE DANA A CRW HOLDINGS LLC	1016 RIVER RIDGE 133098000	12/09/22 0.32	1868 2476	RES IMP	\$ 162,971	\$ 59,850	36.72
07634	KEEZER TERESA A CRW HOLDINGS LLC	2927 POINTEWEST 180419000	11/30/22 0.10	1867 2035	RES IMP	\$ 171,639	\$ 69,021	40.21
04570	MALEKA BURNETTE CRYSTAL N STRINGER	3973 SCOTT 510130000	07/08/22 0.47	1850 1305	RES VAC	\$ 34,328	\$ 10,080	29.36
08603	CSRA ECONOMIC OPPORTUNITY AUTHORITY	1261 GREENE ST 364277000	0.33		COM IMP	\$ 473,748	\$ 121,128	25.57
02575	1220 GEORGE C WILSON DRIVE LLC A CSRA ESSENTIALS LLC A GEORGIA LIMITED	1220 GEORGE C. WILSON DR 310002000	04/26/22 1.93	1839 188	COM IMP	\$ 1,230,071	\$ 414,028	33.66
04177	POWELL SHANNON CSRA HOUSING LLC	1014 EUSTIS DR 203069000	06/17/22 0.41	1847 1809	RES IMP	\$ 127,660	\$ 42,102	32.98
02924	THOMPSON SCOTTIE JOHN CSRA HOUSING LLC	803 PARKER ST 70152000	05/10/22 0.23	1841 961	RES IMP	\$ 94,329	\$ 46,626	49.43
06616	BRIEL KRISTA M CSRA RENTAL SOLUTIONS LLC	3867 MIKE PADGETT HWY 1840002000	09/16/22 0.65	1861 2119	RES IMP	\$ 77,238	\$ 32,679	42.31
08015	HEALY DAVID P CTP HOLDINGS LLLP	2401 WILKSHIRE DR 192130000~LOT 17, BLK C, WINDSOR	11/30/22 0.44	1868 2137	RES IMP	\$ 218,840	\$ 101,310	46.29
02099	DUNCAN GERALDINE R CTP HOLDINGS LLP	1025 OLEANDER DR 201181000~LOT 30, SECTION E,	03/21/22 0.32	1836 1400	RES IMP	\$ 149,104	\$ 43,997	29.51
07175	SEIBEL NATHANIEL J CUMMINGS STARRENZO	5376 BULL ST 821085000~LOT 83, BLK E, ELDERBERRY,	10/28/22 0.52	1865 631	RES IMP	\$ 288,354	\$ 102,106	35.41
01931	RUSH ENTERPRISES LLC CUNNINGHAM BRIAN	2012 CHERRY RD 714112000	03/29/22 0.43	1835 689	RES IMP	\$ 55,888	\$ 17,284	30.93
02039	RUSH ENTERPRISES LLC CUNNINGHAM BRIAN	850 LAKE TERRACE DR 201220000	03/29/22 0.23	1835 1007	RES IMP	\$ 74,331	\$ 42,043	56.56
07601	SWANIKER CAROL CUNNINGHAM ZAHRELL	307 WILEY AVE 962033000	10/18/22 0.30	1866 2341	RES IMP	\$ 102,898	\$ 29,540	28.71
08197	BREONN STEPHENS CYNTHIA A CRAWFORD	10556 ROSLAND 790081000	12/21/22 0.18	1870 1382	RES IMP	\$ 218,840	\$ 84,382	38.56
03076	DIPAOLLO JANET L CYNTHIA LONG	2610 CASTLETOWN DR 1300292000	05/13/22 0.23	1842 386	RES IMP	\$ 89,601	\$ 40,451	45.15
06076	MCHENRY SAMANTHA DAB LLC	3714 TEAKWOOD CT 1530507000	09/14/22 0.40	1859 148	RES IMP	\$ 120,147	\$ 44,297	36.87
05606	LAFLEUR ALEXANDER WILLIAM DAB LLC	2904 PILLAR LN 520354000~2 AND F	08/09/22 0.35	1855 240	RES IMP	\$ 165,632	\$ 72,233	43.61
08043	PLOOSTER KIMBERLY JO DABIT DEANA J/BOWERS CODY E	4986 COPSE 640120000	12/15/22 0.21	1869 2443	RES IMP	\$ 253,168	\$ 99,389	39.26
02529	SHELFER ALEXIS DAFFEY JR BOBOUCARR	1547 BROWN RD 2140066000~5	04/26/22 0.72	1838 2741	RES IMP	\$ 187,337	\$ 53,150	28.37
02124	GRISSETT ANTHONY T DAL RAHILA	2204 GRANDWOOD LN 683021000	04/06/22 0.24	1837 1156	RES IMP	\$ 199,834	\$ 95,772	47.93
08414	DOZIER TAMMIE DALTON E EPPERLY	2021 RIDING RING CT 1960033000	12/30/22 4.45	1871 399	RES IMP	\$ 257,459	\$ 131,254	50.98
07070	WILLIAM N BURGOS JR AND AMANDA C DAMIEN DOOLITTLE AND LASHAWN SUSIE	4069 MADISON 533081000	10/31/22 0.27	1864 2609	RES IMP	\$ 256,429	\$ 99,091	38.64
04220	NAPOLEON ROBINSON DANIEL A GROOVER	2941 RUNNING CREEK 164005000	06/24/22 0.06	1847 2560	RES IMP	\$ 157,052	\$ 42,449	27.03
07539	SIMMERMAN ERIKA L MABES DANIEL B HOBBS	3010 SUSSEX 251072000	11/15/22 0.37	1866 2064	RES IMP	\$ 274,623	\$ 76,670	27.92
01613	SCENIC LAND HOMES LLC DANIEL CARLTON JACKSON	3861 DARDEN 520082000	03/21/22 0.46	1833 909	RES IMP	\$ 178,175	\$ 41,218	23.13
07738	HARRELL SUE G FAIN DANIEL OCAMPO AND SERGIO LONDONO	3229 KEVIN DR 1222307000	11/28/22 0.26	1867 2104	RES IMP	\$ 67,913	\$ 31,422	46.27
02437	FA PROPERTIES LLC A GEORGIA LIMITED DANIELS ANTHONY L/DANIELS COURTNEY	940 RUSSELL ST 451057000	04/14/22 0.17	1837 645	RES IMP	\$ 202,148	\$ 58,7	29.04



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04503	BLACKBURN BOBBY DANNER VANESSA EVONNE/DANNER	3651 WOODCOCK DR 1300840000~34, I	07/11/22 0.27	1850 175	RES IMP	\$ 158,766	\$ 61,752	38.89
01514	TEROSKY JOHN IV DANNY ROSE AND SHELLEY ROSE AS JOINT	2546 CROSSCREEK RD 1300040000	03/16/22 0.24	1832 1249	RES IMP	\$ 160,089	\$ 53,616	33.49
01987	LEE NATHANIEL AND DELORES D DARLENE HUGGINS	2722 FAWN DR 1200416000	04/06/22 0.23	1835 2254	RES IMP	\$ 69,387	\$ 32,896	47.41
01954	MICHAEL BALL DARYL A JOHNSON AKA DARYL JOHNSON AND	8037 CRAWLEY 640092000	04/01/22 0.20	1836 494	RES IMP	\$ 255,409	\$ 92,647	36.27
06521	GAGE GARRETT BRADLEY ISAIH ROF/CINDY M DAT CAO HOANG	936 BROAD 373249000	09/30/22 0.02	1861 1382	RES IMP	\$ 163,057	\$ 62,605	38.39
03185	RAYMOND E MANDERS JR DAVID BASH AND PHILLIP AUSTIN JTWROS	836 LAKE TERRACE 203220000	05/19/22 0.23	1843 556	RES IMP	\$ 140,377	\$ 41,399	29.49
00800	MARSHALL MARVIN A SR DAVID C ROBINSON AND HELEN G HARRIS AS	2177 RAMBLEWOOD DR 1430256000	02/14/22 0.24	1827 2259	RES IMP	\$ 144,704	\$ 46,092	31.85
01182	RENE LEMMONS DAVID DAVIS	17831 BERKELEY 571160000	02/28/22 0.30	1829 2645	RES IMP	\$ 158,320	\$ 57,013	36.01
01002	WILKERSON CARRIE ETHEL HARRING ET AL DAVID DENEMARK AND JOANN DENEMARK	1027 SEVENTH 722592000	03/01/22 0.14	1830 1198	RES IMP	\$ 17,449	\$ 8,114	46.50
07093	SOTO PROPERTIES LLC DAVID H MYNHIER AND JAMIE D MYNHIER	3551 RAVENWOOD DR 100212000	11/01/22 0.38	1865 18	RES IMP	\$ 184,426	\$ 56,162	30.45
05959	HARRIS RUTH BABETTE SYLVIA DAVID LEWIS ALLEN AND MARGARET	3040 CARDINAL 431113000	09/01/22 0.46	1857 2064	RES IMP	\$ 369,024	\$ 126,455	34.27
04700	KEEN ACQUISITIONS LLC DAVID RUSS	1936 SATCHER BLVD 1331093000	07/15/22 0.57	1851 412	RES IMP	\$ 150,184	\$ 47,238	31.45
04935	ANDERSON JAMES T DAVID T NGUYEN	2004 GARDNER 351320000	07/25/22 0.20	1852 642	RES IMP	\$ 97,834	\$ 30,445	31.12
00522	TERRANOVA DEVELOPMENT CORP DAVIS ANDREA J	1423 FELDSPAR 402492000	01/05/22 0.09	1826 884	RES IMP	\$ 259,181	\$ 95,708	36.93
02052	JENKINS ANDREW DAVIS ANTONIO	2295 WALDEN DR 564125000	04/01/22 0.61	1835 817	RES VAC	\$ 12,543	\$ 6,600	52.62
05929	ROSSUM ALLEGRA VAN DAVIS III ALEX	2820 HARWOOD DR 1390310000	08/09/22 0.58	1857 2250	RES IMP	\$ 201,247	\$ 79,545	39.53
06350	SAID JAMES T ROFS AND KIMBERLY DAVIS JOSHUA KYLE/ARTHUR KELSEY	746 MCCLURE 244114000	09/09/22 0.28	1859 1348	RES IMP	\$ 287,496	\$ 119,219	41.47
04485	SHAHBAZIAN KEVIN MICHAEL DAVIS RICHARD	9053 BREVARD RD 653223000~15, L	07/06/22 0.21	1849 2129	RES IMP	\$ 214,463	\$ 87,965	41.02
08104	FORRY MICHAEL R DAVIS TORRE FREDRICK/BROWN-DAVIS	4216 CAP CHAT ST 1660225000~LOT 13, BLK B, SEC I,	12/09/22 0.37	1869 1021	RES IMP	\$ 124,438	\$ 42,181	33.90
00492	GSC HOME INVESTMENTS LLC DAVIS WILLIAM A	1006 RUSSELL ST 451253000	02/01/22 0.22	1826 586	RES IMP	\$ 351,208	\$ 154,027	43.86
06001	NGUYEN DANIEL T DAVIS YOYLANDA TYONNE	925 BURLINGTON 671168000	09/02/22 0.21	1857 1736	RES IMP	\$ 260,297	\$ 107,034	41.12
01430	NYCK GAVIRIA DAWSON L HILLIS AND SARAH A HILLIS	1323 YORK DR 780159000	03/15/22 5.18	1832 1697	RES IMP	\$ 263,897	\$ 105,414	39.95
01417	WHITFORD JENNIFER L DAY BRENNAN PAUL	1413 JOHNS RD 441273000	03/14/22 0.14	1832 475	RES IMP	\$ 197,145	\$ 54,800	27.80
02895	WHITE REAL ESTATE DEVELOPMENT DCP TPH LLC	1543 GORDON HWY 862068000	05/05/22 0.97	1841 2432	COM IMP	\$ 1,154,740	\$ 248,833	21.55
03619	GOINS ANWAR DE GUZMAN MINE THILDE/DE GUZMAN GIAN	403 THIRD ST 474081080	05/27/22 0.06	1844 576	RES IMP	\$ 111,154	\$ 32,408	29.16
06282	MCCRACKEN MARY W DEJUN SPANN AND LATONYA SPANN	4025 HARPER FRANKLIN AVE 662020000	09/28/22 0.22	1860 2153	RES IMP	\$ 223,045	\$ 88,282	39.58
02941	O'BRIEN CYNTHIA K DEAN BROWN AND HENRY GILLIAM JTWROS	133 LAKEMONT 271036000	05/10/22 0.78	1841 1811	RES IMP	\$ 450,085	\$ 102,950	22.87
00557	WADFORD KAYLA DEAR II SAMUEL DANIEL/DEAR RAMI CHANEL	1011 RUSSELL 451248000	02/10/22 0.17	1827 478	RES IMP	\$ 203,286	\$ 62,136	30.57
08352	EWA GROUP LLC DEAS TIARA ANN/HENLEY MATTHEW I	3645 SEELYE DR 1430214000~LOT 21, BLK N, SEC IV,	12/27/22 0.27	1871 1113	RES IMP	\$ 166,490	\$ 54,4	32.8



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07220	SAYLORS DONNA J DEBORAH A JACKSON	1598 GOSHEN RD C 1990019000	11/03/22 0.12	1865 286	RES IMP	\$ 111,565	\$ 32,535	29.16
05053	BURNETTE UHURU WILLIE DENETRIA MORRIS NEELY	1018 RIVER RIDGE 133099000	07/28/22 0.36	1852 2800	RES IMP	\$ 128,729	\$ 85,868	66.70
07442	ALLEN THOMAS ANDREW/JAMIE K DENNIS J NEGRON	520 ELLISON WAY 121075000	11/10/22 0.10	1865 2751	RES IMP	\$ 193,094	\$ 52,453	27.16
01296	TRAN MICHAEL T DENNIS STEPHANIE MARIE/DENNIS	3016 BREEZE HILL DR 950410000	03/11/22 5.18	1831 2572	RES IMP	\$ 165,487	\$ 56,572	34.19
08553	BURNETTE NIYA DENZIL E WHYATT AND KENDRA P WHYATT	1620 SAYBROOK 510112000	12/20/22 0.73	1872 2652	RES VAC	\$ 42,910	\$ 10,080	23.49
03051	AKEEM OLAJAWON STALLING DEREK R FARRINGTON	2917 AVALON CT 1661136000	05/16/22 0.29	1842 1022	RES IMP	\$ 192,134	\$ 65,624	34.16
04596	HOPE LAWANDA DESCARTES INA/WARD JR DANIEL NORMAN	2608 CLARKSTON CT 520618000~LOT 44, BLK M, ASBURY	06/29/22 0.37	1849 2342	RES IMP	\$ 193,271	\$ 59,548	30.81
05240	MARSELLE JOHNSON DESHON TAYLOR	4020 EDENFILED CT 1951024000	08/05/22 0.24	1853 2196	RES IMP	\$ 304,660	\$ 117,664	38.62
03838	HARRIET EVANS DESMOND A HUNTER AND MELVINA J	4423 DAVE MACDONALD DR 1663012000	06/14/22 0.30	1846 1825	RES IMP	\$ 259,499	\$ 94,566	36.44
07958	MARTIN CRAIG T DEVON RAY BOWERS	4138 BURNING TREE LN 2140176000	12/09/22 0.56	1868 2650	RES IMP	\$ 205,881	\$ 77,378	37.58
01640	JOHN LOVETT AND GLENDA G LOVETT DEXTER INGRAM AND NICCEAU P INGRAM	2526 BROOKSHIRE RD 1310004000	03/21/22 0.27	1833 889	RES IMP	\$ 103,154	\$ 24,092	23.36
01680	KENNETH W ROBERTS DIAMON WILLIAMS	4012 RIO PINAR DR 1980208000	03/18/22 0.37	1833 573	RES IMP	\$ 192,632	\$ 64,512	33.49
08008	JAMES EDWARD DEVA AND JORDAN C MOORE DIAMOND ARMOUR-HILL	2004 COUNTRY PLACE DR 1840156000	12/12/22 0.48	1869 149	RES IMP	\$ 201,676	\$ 95,562	47.38
04450	NISH2INVESTMENTS LLC DIAMOND RAYS LLC	2121 RESERVE LN 73152000	07/06/22 0.05	1849 1770	RES IMP	\$ 161,770	\$ 63,449	39.22
00498	RODRIGUEZ PRESTON DIANA Q KRAWLECKI	1204 KENDAL CT 121041000	01/28/22 0.10	1825 2618	RES IMP	\$ 153,661	\$ 53,384	34.74
04374	WALTER CHRISTIAN ETTERLEE II DIANA RENEE WILLIAMS	418 MILLEDGE 351098000	07/01/22 0.21	1849 614	RES IMP	\$ 163,057	\$ 55,844	34.25
02360	KEYAUNICE HAWES DIANNE CLARK	2707 DEVEREUX 532084000	04/12/22 0.14	1837 398	RES IMP	\$ 163,837	\$ 50,414	30.77
04404	WAHLERT DOUGLAS L DIAS THOMAS JAMES/DIAS MELISSA	4216 MATCH POINT 312090000	05/31/22 0.04	1849 480	RES IMP	\$ 139,329	\$ 42,313	30.37
04250	SMITH-ANDERSON MAKIESHIEM M DIAZ VELEZ RICCARDO JOSHUA/AMOROS	3918 LAKESIDE PASS 1951011000	06/07/22 0.21	1848 1572	RES IMP	\$ 237,481	\$ 98,763	41.59
00093	LEON-GUERRERO KENNETH MELISSA DIBBLE BENJAMIN P	1221 RIVER RIDGE DR 132196000	01/13/22 0.38	1823 1254	RES IMP	\$ 241,693	\$ 87,730	36.30
04481	MARTIN JAMES MATTHEW DIEL CHRISTEN J	2920 ARROWHEAD 180238000	07/01/22 0.09	1849 2643	RES IMP	\$ 152,759	\$ 43,123	28.23
02724	LEE GWO S DIENST RYAN/DEIGHAN JAMES	115 YORK 181044000	05/03/22 0.07	1840 482	RES IMP	\$ 185,297	\$ 63,606	34.33
05411	PEREZ KIMBERLY A ROFS/MICHAEL DANIEL DINA ELBELEIDY	3759 FAIRINGTON DR 1520115000	08/17/22 0.39	1855 2453	RES IMP	\$ 163,915	\$ 59,024	36.01
01879	PRUIETT DAMIEN D DIXON TYCIONNA	310 CLEARVIEW CT~31 1401015000~PHASE I	03/23/22 0.07	1833 2602	RES IMP	\$ 81,916	\$ 33,369	40.74
01662	SCROGGS MARTHA C DJIMBINOV SANAL	746 LANCASTER RD 244126000	03/11/22 0.37	1833 1844	RES IMP	\$ 226,954	\$ 105,137	46.33
03027	RABUN HENRY E JR DM RICHARDSON GROUP LLC	2926 PROFESSIONAL 160416000~LT 3 BLK A	05/16/22 5.18	1842 1447	COM IMP	\$ 430,953	\$ 156,001	36.20
04986	DUNLAP ALFRED ROFS AND DOROTHY T DNS CAPITAL VENTURES LLC	3450 MCALPINE DR 1080498000	07/25/22 0.20	1852 2390	RES IMP	\$ 116,715	\$ 29,656	25.41
03501	VARGAS MARCO T AND ANA L ROFS DO DAT XUAN/DO PHUNG ANHHONG	105 TREMONT WAY 110202000	06/02/22 0.42	1845 1006	RES IMP	\$ 203,339	\$ 52,055	25.60
06327	SUH KATHY DOAN TRAN AND OANH PHUNG JTWROS	1609 EMMA 303337000	09/22/22 0.46	1859 2610	RES IMP	\$ 145,893	\$ 49,915	34.23



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04655	RICHARDS JOHN PRESTON DOMAN JENNIFER J/DOMAN DAVID M	508 REGENT PL 242028000	07/18/22 1.28	1850 2422	RES IMP	\$ 793,831	\$ 291,838	36.76
06882	PILCHER-HARDY RENTALS LLC DONALD W SMITH	3322 OLD LOUISVILLE RD 1224039030	10/14/22 1.50	1862 2720	COM VAC	\$ 51,973	\$ 18,295	35.20
07550	ISOM ROOSEVELT III DONALDSON KAREN/DONALDSON JAMES	3635 CRAWFORDVILLE 530234000	11/17/22 0.37	1866 2561	RES IMP	\$ 199,101	\$ 69,370	34.84
03266	PROPERTY SISTERS REAL ESTATE DONNA A MUHAMMAD	1815 FORMOSA DR 1224148000	05/19/22 0.23	1843 529	RES IMP	\$ 137,258	\$ 39,802	29.00
04435	RYAN C WAGNER DONOVAN BRUCE BROCK	4916 MOSSYCUP CT 3350027000	06/29/22 0.45	1848 2264	RES IMP	\$ 128,762	\$ 48,280	37.50
00349	MARCO RODRECIUS O'NEAL DONOVAN LEDEE	3374 MONTE CARLO DR 1433014000	01/21/22 0.21	1824 1565	RES IMP	\$ 156,495	\$ 55,165	35.25
05062	KOUZIOS LEA MARIE/NICHOLAS DONTRELL J REDD	3507 RICHMOND HILL RD 1214078000	07/28/22 0.36	1852 1646	RES IMP	\$ 189,661	\$ 58,929	31.07
00880	MILLER JUDITH H DOOLEY KELLY RENEE	2012 DUNHAM CT 1103079000	02/24/22 0.18	1829 460	RES IMP	\$ 105,225	\$ 29,688	28.21
00510	SHEEHAN LOUISE FRANKLIN DORIS JACOB B/KIM ELIZABETH SUN	2703 WELLINGTON DR 254123000	02/04/22 0.55	1826 353	RES IMP	\$ 374,688	\$ 96,078	25.64
01256	GREGORY PAMELA DORN RAYMOND	4612 DUNBARTON DR 2720049000	03/08/22 0.26	1830 2682	RES IMP	\$ 93,853	\$ 32,420	34.54
00117	WILLIAMS CELYA T DORN SCOTT A/DORN BRIGITTE H	2523 GEORGETOWN DR 1080212000	01/17/22 0.24	1822 2726	RES IMP	\$ 156,996	\$ 34,352	21.88
04317	MATNEY DEBORAH A DORY ISRAEL	2823 SPRINGWOOD DR 83028000	06/29/22 0.08	1848 1415	RES IMP	\$ 167,931	\$ 46,453	27.66
02795	CHEW MARGARET BAXLEY DOWNING JR MICHAEL LARUE	738 OXFORD RD 244106000	05/06/22 0.36	1840 2318	RES IMP	\$ 315,444	\$ 120,158	38.09
06546	DUTKO DOLORES M DOZIER JAMES L	4389 CLEMENTS RD 2280028010	10/07/22 0.52	1861 2700	RES IMP	\$ 64,365	\$ 29,828	46.34
02989	SAPP THOMAS CLYDE DREAM NATION LLC	1722 KISSINGBOWER RD 572182000~LOTS 32, 33 & 34, BLK A,	05/04/22 0.21	1842 1610	RES IMP	\$ 81,279	\$ 36,411	44.80
07588	HEITE LLC DREAM NATION LLC	2046 MCDADE FARM RD 1960027010	11/10/22 1.32	1866 2297	RES IMP	\$ 167,348	\$ 73,104	43.68
07559	WILSON DAWN DREAM NATION LLC	4331 BIG DIPPER CIR 2140110000	11/14/22 0.46	1866 1629	RES IMP	\$ 145,893	\$ 66,247	45.41
07866	DOUGLAS WINTHROP LLC DREAM NATION LLC	2835 LUMPKIN RD 843211000~LT 29 BLK D	11/14/22 0.19	1867 464	RES IMP	\$ 84,103	\$ 25,745	30.61
05515	POOLE BRUCE SHAY DREAM REALTY SOLUTIONS LLC	2062 GREENE ST 351103000~LOTS 4 AND 5, BL. G	08/16/22 0.29	1855 980	RES IMP	\$ 94,402	\$ 48,597	51.48
08445	RILEY VICTORIA DREAM REALTY SOLUTIONS LLC	3671 MADRID DR 820565000	12/30/22 0.28	1871 2157	RES IMP	\$ 73,951	\$ 44,637	60.36
05884	HIGGINS PROPERTIES LLC DUDLEY JUDI	1742 DAVIDSON DR 573102000	08/18/22 0.25	1857 771	RES IMP	\$ 68,656	\$ 34,365	50.05
07970	FIRMIN CORAZON S DUGAN DEREK	2715 DAN ST 131044000~-5, 18	12/02/22 0.31	1868 2677	RES IMP	\$ 235,918	\$ 79,527	33.71
00450	DOWDELL EDDIE W JR ROFS DUGAN JR DENNIS	2826 CRANBROOK DR 1290724000	01/31/22 0.33	1825 854	RES IMP	\$ 122,046	\$ 44,791	36.70
07727	EVANS SARAH MAE DUGGAN SEAN CAMPBELL/DUGGAN TAMI	2017 TRACY DR 3360006010	12/05/22 3.38	1868 874	RES IMP	\$ 94,402	\$ 30,276	32.07
07926	B AND J OFFICE LLC A GEORGIA LIMITED DULY LLC A GEORGIA LIMITED LIABILITY	2910 PROFESSIONAL PKWY 160431000~LT 6 BLK C	12/05/22 0.28	1868 1005	COM IMP	\$ 387,274	\$ 110,659	28.57
02106	GPW AUGUSTA 1 LLC DURDEN PATRICIA DIANNE	1918 STARNES ST 353182000	04/01/22 0.20	1836 1162	RES IMP	\$ 148,656	\$ 66,827	44.95
01810	TRIPLE A FOUR K'S INC DURHAM JUSTIN A/BROWN REBECCA A	1173 HANCOCK MILL LANE 3190130000~LOT 37, BLOCK B, SECT. 2,	03/17/22 0.75	1834 1723	RES VAC	\$ 8,656	\$ 3,392	39.18
07927	WORTHY MARK A DURRANT CAPITAL GROUP LLC	2018 BUCKHAVEN WAY 80043000~LOT 9	12/05/22 0.04	1868 1032	RES IMP	\$ 103,842	\$ 41,491	39.96
02485	CORDARO STEPHEN EAKER JAMES RONALD/EAKER SUSAN	2213 BRECKENBRIDGE 573047000	03/30/22 0.35	1836 2738	RES IMP	\$ 158,215	\$ 47,815	30.18



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01339	WELCOME HOME AFFORDABLE RENTALS LLC EARLY PATRICIA A	3325 WESTCLIFFE CT 104065000	03/08/22 0.26	1832 1481	RES IMP	\$ 142,201	\$ 38,450	27.04
02203	LIVINGSTON JACOB A EASTMAN CAROLYN	3507 REINS CT 1290637000~LOT 26, BL. I, PHASE I-A	04/15/22 0.28	1837 2337	RES IMP	\$ 133,120	\$ 56,801	42.67
05059	BATES BRUCE A ECO SOLUTION INVESTORS LLC	1836 WALKER 352567000	07/15/22 0.15	1853 488	RES IMP	\$ 80,241	\$ 43,514	54.23
06699	SNEED GEORGE L SR/TALIB R SHELTON ED TAYLOR ENTERPRISES LLC	3609 ALENE CIR 1070374000	10/11/22 0.22	1862 790	RES IMP	\$ 81,529	\$ 44,182	54.19
05412	DAN HENRY LEE IV EDDIE WRITER AND DAVID J BRENDZA	936 BROAD 373260000	08/18/22 0.02	1855 2421	RES IMP	\$ 124,438	\$ 54,972	44.18
01837	SMITH JOSEPH E EDGE JOE W/AMIN DILIP A/MURUGAPPAN	429 WALKER ST 473369000~LT 6	03/30/22 0.28	1834 2272	COM IMP	\$ 287,651	\$ 106,261	36.94
01952	HARDY MARTIN Q/KIMBERLY C ROFS EDWARD DUKES	1790 POWELL 510042010	04/01/22 0.51	1836 399	RES IMP	\$ 46,455	\$ 22,639	48.73
00571	MICHAEL MOBLEY EDWARD MALCOLM GILLESPIE	410 ASHLAND 184002000	02/07/22 0.56	1827 890	RES IMP	\$ 223,296	\$ 97,422	43.63
04221	KUN KANG EDWIN RUSSELL SCOTT AND LOIS ANN	425 FOLKSTONE CT 110091610	06/23/22 0.15	1847 2742	RES IMP	\$ 165,832	\$ 53,172	32.06
02589	OYENUGA CHRISTOPHER ADEGOKE EISNER-ROMEO SUSAN/EISNER SARA	3509 POTOMAC DR 1322032000	04/11/22 0.27	1838 2537	RES IMP	\$ 202,668	\$ 57,636	28.44
02923	MILLER KIMBERLY L ELAM ALICIA	3305 SADDLEBROOK DR 1290501000	05/11/22 0.29	1841 2027	RES IMP	\$ 130,150	\$ 45,058	34.62
01982	JOHN C WEAVER HOMEBUILDERS INC ELEY AMANDA N/ELEY LARRY D	266 CHURCH ST 2430030000	03/30/22 1.06	1835 1949	RES IMP	\$ 353,656	\$ 109,175	30.87
08246	RICE ELIZABETH L HURT ELITE EVENTS AND TICKETS LLC A GEORGIA	922 PAPAYA ST 201047000	12/23/22 0.28	1870 1192	RES IMP	\$ 188,803	\$ 66,803	35.38
05856	WALKER CALVIN B ELITE HOLDINGS LLP	513 BOY SCOUT RD 254044000	08/19/22 0.22	1856 2006	RES IMP	\$ 51,492	\$ 19,433	37.74
07119	GUNN JUSTIN L ELITE PROPERTIES II LLC	2361 REDWOOD 194126000	10/06/22 0.12	1863 2286	RES IMP	\$ 171,639	\$ 56,633	33.00
01071	CARSON M THOMPSON AND JOEL THOMPSON ELIZABETH A BOURG AND MICHAEL L	3020 FOX SPRING 333114000	03/07/22 0.37	1831 82	RES IMP	\$ 352,951	\$ 85,973	24.36
05444	LYONS BROOKE JACKSON ELIZABETH A LOY	3325 CUSHENDAL 532120000	08/16/22 0.05	1854 2471	RES IMP	\$ 137,311	\$ 45,454	33.10
02747	FELICITIA GARRIS ELIZABETH SHAKE AND KYLE SHAKE JTWROS	3131 RAMSGATE 174018000	05/02/22 0.40	1840 1193	RES IMP	\$ 264,165	\$ 95,754	36.25
00541	ROSEBOOM DEBORAH W ELLIOTT KATHERINE M/ELLIOTT EZRA J	1124 MAGNOLIA DR 134228000	01/31/22 0.26	1826 673	RES IMP	\$ 186,974	\$ 69,708	37.28
01163	GOLDBLOOM ISAAC H ELLISON PROPERTIES LLC	1822 MCDOWELL 453052000	02/25/22 0.17	1830 317	RES IMP	\$ 114,801	\$ 31,736	27.64
02973	JAMES SEMION ADAMS ELVIS ANTONIO CARPIO CONTRERAS	3051 OLD MCDUFFIE RD 830014000	05/11/22 5.18	1841 1853	RES VAC	\$ 31,416	\$ 7,040	22.41
01975	FULLER BEVERLY M ELVIS PHILLIP RYAN/ELVIS RACHEL COOK	808 BARRETT LN 333225000~TRACT B	04/05/22 0.15	1835 1642	RES IMP	\$ 395,842	\$ 117,250	29.62
03054	MICHAEL D MCPHERSON EMILY ROESNER AND CHARLES ROESNER	816 MITCHELL ST 70115000	05/16/22 0.39	1842 716	RES IMP	\$ 189,453	\$ 58,661	30.96
04449	HARRIS TOSHANNE APRIL EMRICK JOSHUA/EMRICK HOLLY	4134 OLD WAYNESBORO RD 2130035000	07/05/22 0.79	1849 1786	RES IMP	\$ 193,952	\$ 62,731	32.34
04477	SLAWSON SHAUN THOMAS EPIE J OTERO	5077 COPSE 640044000	07/07/22 0.24	1849 2757	RES IMP	\$ 287,496	\$ 121,610	42.30
02544	MCCORMICK MARIE EPPERLY GABRIELLA JULIA	2106 CHADWICK RD 1320103000	04/28/22 0.40	1839 1512	RES IMP	\$ 96,230	\$ 44,684	46.43
07779	SWINFORD STANLEY HUGH EPPS REGINA	4006 CUFFEY CT 1400664000	10/28/22 0.36	1867 624	RES IMP	\$ 182,796	\$ 58,859	32.20
07056	CRAWFORD ZAYNUS EPPS SEAN A	5376 COPSE DR 640171000~LOT 16, BLK N, HAYNES	10/27/22 0.33	1865 483	RES IMP	\$ 291,787	\$ 111,162	38.10
04189	LABRADOR DIANA S ERIC E YU	1732 ELIZABETH 303415000	06/22/22 5.18	1848 446	RES IMP	\$ 138,320	\$ 49,2	



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01720	IRVIN HARRIS ERICA JEANINE TAYLOR	3423 KENSINGTON DR N 1070260000	03/30/22 0.26	1835 187	RES IMP	\$ 46,534	\$ 27,673	59.47
01435	HARSKI KATHRYN M LECEA ERIN LYNCH DAVIS	657 CENTER COURT 314047220	03/08/22 0.06	1831 962	RES IMP	\$ 180,121	\$ 60,063	33.35
05341	SHANAY LORELLE JONES AND JOHNNIE ESMERALDA SPARKS AND JASON SKYLER	1096 SIMS 653389000	08/03/22 0.20	1854 1889	RES IMP	\$ 223,131	\$ 93,053	41.70
00680	SMITH SHANESHIA ESPADA-RIVERA JAN M	2124 JULIUS DR 1312012000	02/08/22 0.04	1827 536	RES IMP	\$ 106,707	\$ 41,202	38.61
05764	AUGUSTA ISOTOPES HOLDING LLC A ETHERIDGE MELISSA	2311 WRIGHTSBORO RD 443090000~TRCT B	09/02/22 0.18	1857 1567	COM IMP	\$ 163,886	\$ 47,327	28.88
01197	OSBON MIKE ETTERLE PATRICIA ANN/DOERING TERRY LEE	362 FOLKSTONE CIR 110091200	03/01/22 0.17	1829 2323	RES IMP	\$ 162,098	\$ 50,254	31.00
03007	JONES YOLANDA EVANS BRIAN CHRISTOPHER/EVANS	9041 BREVARD RD 653226000	05/16/22 0.20	1842 222	RES IMP	\$ 259,068	\$ 100,435	38.77
05025	SUFNAR AARON EVANS HEATHER/EVANS TYLER	2801 HUNTCLIFFE DR 653021000	07/28/22 0.18	1852 2101	RES IMP	\$ 232,571	\$ 109,130	46.92
02174	TIPPINS NIKITA D EVANS JACKSON	547 TUBMAN 351224000	04/05/22 0.30	1838 2165	RES IMP	\$ 105,558	\$ 51,270	48.57
08239	B AND N INVESTORS LLC EVERARD CLARKE	2012 SHARK 864036000	12/23/22 0.22	1870 1143	RES IMP	\$ 85,820	\$ 24,722	28.81
05377	KOSTOVICK JOSEPH G EVERETT JR DAN	3709 CRAWFORDVILLE CT 532010000	08/10/22 0.67	1854 1032	RES IMP	\$ 253,168	\$ 105,508	41.68
05732	JONES ZANTA NICOLE EVERTSZ HAMLET BONILLA	1909 OLD SAVANNAH RD 731052000	08/24/22 0.17	1856 1967	RES IMP	\$ 85,820	\$ 33,994	39.61
07158	EDWARD JASMINE EWA GROUP LLC	3421 MONTE CARLO DR 1430746000	10/19/22 0.24	1863 1752	RES IMP	\$ 137,311	\$ 48,260	35.15
04624	LAWRENCE M PINKNEY EZEIKEL FORMEN	3908 CREST DR 1400313000	07/08/22 0.39	1850 573	RES IMP	\$ 163,057	\$ 44,360	27.21
06173	STEELE MATTHEW H FACEY KELVIN	1842 OHIO 434113000	09/09/22 0.21	1859 49	RES IMP	\$ 137,311	\$ 39,789	28.98
01118	CARAWAY EUGENE E FARMER VICKI	2143 ALFRED LN 1094089000	02/18/22 0.24	1829 2728	RES IMP	\$ 122,198	\$ 30,450	24.92
06354	WALTERS TRAVIS FAUGHMAN WILLIAM	2751 MAYO RD 60184000	09/07/22 0.29	1859 2056	RES IMP	\$ 214,549	\$ 69,957	32.61
04908	WESTLAND KIM MI-SUN FELDER MAUREEN A	4120 FOREMAN WAY 1790159000	06/29/22 0.41	1852 1965	RES IMP	\$ 144,739	\$ 65,114	44.99
01036	GARRISON STEVE FELZ ANNA	2211 BANDLER RD 981259000	02/24/22 0.23	1830 2482	RES IMP	\$ 66,065	\$ 22,370	33.86
01853	ROBERTS JERRY L FELZ ANNA	2608 COLEMAN AVE 984188000	03/30/22 0.23	1834 1949	RES IMP	\$ 46,068	\$ 26,117	56.69
02952	ANGUILLA LOLA E FELZ INVESTMENT GROUP LLC	1017 PAPAYA ST 143058000	05/10/22 0.51	1841 618	RES IMP	\$ 148,232	\$ 66,426	44.81
05177	PYLAND MARY FRANCES FELZ INVESTMENT GROUP LLC	2140 VETERANS 554129000	07/14/22 0.56	1853 1186	RES IMP	\$ 60,074	\$ 22,222	36.99
01346	CAZEE APRIL FELZ INVESTMENT GROUP LLC/TINTENFISCH	1518 HEATH 443193000	02/28/22 0.26	1831 2385	RES IMP	\$ 133,603	\$ 45,425	34.00
00667	WON BONG HUI AND YONG N FENDER CASEY	1512 TARA CT 2150008000	02/09/22 0.38	1827 4	RES IMP	\$ 193,855	\$ 59,206	30.54
00154	RACHEL T RABITSCH LLC FENGWEI YANG AND YAO CAI JTWROS	2252 M L KING JR 721124000	01/14/22 0.94	1823 1170	COM IMP	\$ 32,700	\$ 12,811	39.18
00264	COOK ANTHONY P FERGUSON JR CARLTON	3116 THEODORE 653073000	01/21/22 0.13	1824 249	RES IMP	\$ 270,667	\$ 107,016	39.54
08288	BOURG MONICA FERN MEGAN/FERN KYLER J	3405 NANCE BLVD 1280160000	12/22/22 0.46	1870 1591	RES IMP	\$ 163,057	\$ 51,576	31.63
01382	SHARPE GENTRY FERNANDEZ MICHAEL A	3762 FAIRINGTON DR 1520289000	02/23/22 0.37	1831 1642	RES IMP	\$ 138,850	\$ 44,376	31.96
06629	PRESCOTT LINUS R FERRELL GABRIELLE	4011 BROWN HURST RD 2150016000	09/23/22 0.46	1861 2400	RES IMP	\$ 197,299	\$ 74,215	37.10



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05046	WILLIAMSON RONALD R FIELDS FAMILY HOLDINGS LLC	3553 MORGAN RD 1290221000	07/12/22 0.46	1852 952	RES IMP	\$ 81,100	\$ 35,428	43.68
06155	THRIFT BARBARA S FIELDS FAMILY HOLDINGS LLC	3317 KARIAN 1222071000	09/14/22 0.24	1859 306	RES IMP	\$ 64,365	\$ 36,656	56.95
07386	JOSEPH L FLANDERS FIELDS FAMILY HOLDINGS LLC	7210 CURACAS 402070000	11/07/22 0.08	1865 2031	RES IMP	\$ 105,129	\$ 54,378	51.73
06470	SCOTT DALE V FILOSA JESSICA ANDREA	2846 WALTON WAY, APT 31 334060370	09/28/22 0.09	1860 2467	RES IMP	\$ 98,693	\$ 31,138	31.55
05623	GREEN MILLETTE S FINN CONNOR	3130 BILSTON DR 403206000~LOT 107, BLK E, AYLESBURY	08/12/22 0.12	1855 2558	RES IMP	\$ 217,982	\$ 79,334	36.39
05054	HALL CHRISTOPHER M FINNEGAN KEVIN T	2301 NORTON DR 974298000	07/29/22 0.39	1852 2517	RES IMP	\$ 203,822	\$ 126,214	61.92
05966	LEWIS FREDDIE FINNEY JEMAL	3004 ROXBURY CT 841056000~LOT 31, BLK B, SEC 6,	09/08/22 0.42	1858 746	RES IMP	\$ 98,693	\$ 28,822	29.20
01324	STRADER DAYTON JAMES FINNIE WILLIAM JEANS AKA GENE	718 GARY ST 353013000	03/10/22 0.26	1831 2017	RES IMP	\$ 335,983	\$ 176,203	52.44
07312	MACK STANLEY FIRST IMEX CORPORATION	3554 EVANGELINE DR 1200009000	10/24/22 0.49	1865 1769	RES IMP	\$ 102,984	\$ 33,219	32.26
04989	SCHMIDT WALTER U FISHER III GEORGE LAWRENCE/FISHER IV	2910 HENRY ST 332367000	07/29/22 0.34	1852 1828	RES IMP	\$ 145,893	\$ 79,300	54.35
06615	MERIMAC LLC FISHER SHAKIRA R	4010 CALYPSO DR 303104000~LOT 4, BLK S, PH I, SEC I, ST.	09/22/22 0.07	1861 2046	RES IMP	\$ 137,311	\$ 43,531	31.70
05475	BATES BRUCE A FLEISCHMAN DANA	1116 8TH ST 722334000	08/10/22 0.14	1855 646	RES IMP	\$ 40,550	\$ 17,494	43.14
05873	HAYES HARVEY G FLOBERG PROPERTIES LLC	2059 COUNTY LINE RD 2910001000	08/31/22 6.51	1857 533	RES VAC	\$ 30,037	\$ 14,906	49.63
03321	JD DANMINE LLC A GEORGIA LIMITED FOLMAR CARMEN Y/FOLMAR MARCUS E	3109 WILBUR ST 1104125000	05/24/22 0.19	1843 2359	RES IMP	\$ 76,312	\$ 27,078	35.48
02466	3 TALENTS LLC A GEORGIA LIMITED LIABILITY FORRESTER PROPERTIES LLC A GEORGIA	3643 WALTON WAY EXTENSION, BLDG 5 230027040	04/15/22 0.35	1837 882	COM IMP	\$ 489,947	\$ 153,396	31.31
05156	CARNAHAN TYLER S FORSMARK DONALD	3016 STERLING RD 70063000	07/29/22 5.18	1854 325	RES IMP	\$ 205,967	\$ 61,609	29.91
07612	SMALLS ESTER M FOSKEY JENNIFER/PRYOR WANDA OCTAVIA	3184 RIVER OAK RD 551030000	10/26/22 0.23	1866 1475	RES IMP	\$ 141,517	\$ 45,506	32.16
07043	REYES LYNNETTE K AND BECKIE K FOSTER BRIAN	1814 DIXON AIRLINE RD 1450018000	10/31/22 0.88	1865 446	RES IMP	\$ 205,967	\$ 80,832	39.25
01439	HADDEN PROPERTIES LLC A GEORGIA FOUNTAIN LAUREN	534 FOLKSTONE CIR 113262000	03/15/22 0.15	1832 889	RES IMP	\$ 212,060	\$ 73,601	34.71
03860	YOUNG LINDA GAYLE FOUSHEE JOEL	3419 DEANS BRIDGE RD 1070018010	06/14/22 0.50	1846 1904	COM IMP	\$ 69,247	\$ 27,539	39.77
06215	STEPHENS JR CARLA FRAILS KIARA	501 MILLEDGE RD 342017780	09/13/22 0.09	1860 1911	RES IMP	\$ 77,238	\$ 25,124	32.53
07794	DUNCAN WILLIAM JOSEPH FRANCIS LEEROY ROBERT/FRANCIS PATRICIA	1100 TWIGGS ST 601047000	11/18/22 1.32	1867 1571	COM IMP	\$ 208,214	\$ 57,698	27.71
06649	GRACY TIMOTHY D AND MARIETTA P FRANCIS OPORE AND ANDREW ROBINSON	1437 PERRY 463442000	10/04/22 0.08	1861 1695	RES IMP	\$ 38,619	\$ 19,924	51.59
05523	WARD NATHAN JR FRANCO MANUEL	1910 VIRGINIA AVE 984059000	08/19/22 0.19	1855 1402	RES IMP	\$ 63,506	\$ 18,775	29.56
02706	TEQUANNAH M HARRIS FRANK R THOMPSON JR	6026 SANIBEL 402244000	04/29/22 0.10	1840 410	RES IMP	\$ 160,546	\$ 61,408	38.25
01110	WILLIAMS NATASHA FRANK TOBIAS	1105 ELEVENTH AVE 722277000	02/28/22 0.14	1829 1837	RES IMP	\$ 42,944	\$ 25,636	59.70
06229	HARRY B JAMES III FRANK TOBIAS	214 BARROW 723090000	09/08/22 0.29	1859 1450	RES IMP	\$ 34,328	\$ 14,251	41.51
02483	WHITAKER ALEC R FRAZIER AMELIA/FRAZIER JOSHUA/FRAZIER	3522 NASSAU DR 314105000~23, B	04/20/22 0.45	1838 488	RES IMP	\$ 260,527	\$ 87,974	33.77
04273	LOWRY SCOTT H SR ROFS/GERALDINE FRAZILUS SOLON	3320 TOBIN ST 1223209000	06/30/22 0.27	1848 1762	RES IMP	\$ 120,147	\$ 28,8	3



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05150	DANNY G GLOVER FRED OATMAN SR	1961 PIEDMONT 982229000	08/03/22 0.19	1853 1084	RES IMP	\$ 60,074	\$ 24,415	40.64
04981	BAYNARD SAMMY G FREEDOM LOTS USA LLC	3833 CLANTON RD 1690071000	07/26/22 8.27	1852 1475	RES VAC	\$ 21,455	\$ 9,924	46.26
06808	JONES LOIS REGINIA FREEMAN DEMETRIS/FREEMAN MAHARI	2818 KING ST 974250000	09/29/22 0.28	1862 2649	RES IMP	\$ 49,346	\$ 25,161	50.99
05866	GREEN KURTIS D FREEMAN JESSIE	1110 FOX DEN RD 1650079000	07/29/22 0.79	1856 1688	RES IMP	\$ 197,299	\$ 78,696	39.89
06430	JEVOUNE CHRISTIAN AND AJHA AVIN- FREEMAN TYSON	2026 HATTON COURT 800043000~65	09/22/22 0.19	1860 1240	RES IMP	\$ 240,295	\$ 90,103	37.50
01203	SHEREE HILL FRESH IMAGE PROPERTIES LLC	2715 RICHMOND HILL 974120000	03/02/22 0.26	1829 2439	RES IMP	\$ 54,782	\$ 27,014	49.31
05737	DAVIDSON RAYMOND B FROST JASON NICHOLAS	2120 SIBLEY RD 554004000	09/01/22 0.50	1857 711	RES IMP	\$ 51,492	\$ 34,235	66.49
07087	DALEY-WEEKS MARTHA V FULLER KYNDRA	2323 NEAL 974094000	10/27/22 0.26	1864 936	RES IMP	\$ 130,446	\$ 36,069	27.65
08153	LAFRANCE ROBERT H FUREY LIAM GEORGE/FUREY ASHLEY	2113 WRIGHTSBORO RD 444137000	11/18/22 0.28	1869 2280	RES IMP	\$ 223,131	\$ 90,216	40.43
00144	TESSA R THOMPSON FURSHA S BOOTH AND JIMMY C JONES II	3745 FAIRINGTON DR 1400112000	01/21/22 0.43	1823 2633	RES IMP	\$ 159,448	\$ 32,783	20.56
02053	D R HORTON INC FUSSELL III MELVIN C/HAWKINS DANIXSA	532 POST OAK LN 800224000	03/30/22 5.18	1835 1092	RES IMP	\$ 371,553	\$ 165,004	44.41
07116	STILLER LINDA G3 INVESTMENTS LLC	1215 LONGPOINT DR 1702009000	10/11/22 0.08	1863 2413	RES IMP	\$ 111,565	\$ 42,725	38.30
06640	GRIFFIN MEAGAN D SHOWS G3 INVESTMENTS LLC	2636 BLUEBERRY DR 1103095000	10/06/22 0.30	1861 2787	RES IMP	\$ 60,074	\$ 29,072	48.39
07672	PASSONS ANITA L GA-CAROLINA PROPERTIES LLC	921 AVOCADO ST 134279000	11/30/22 0.36	1868 787	RES IMP	\$ 133,020	\$ 76,724	57.68
04022	VETTER JACOB D GA-CAROLINA PROPERTIES LLC	633 BOHLER AVE 354214000~3	06/06/22 0.12	1847 1825	RES IMP	\$ 96,481	\$ 42,728	44.29
02287	BRACK JR CARLTON S GA-CAROLINA PROPERTIES LLC	1716 FENWICK ST 354400000	04/15/22 0.15	1837 2680	RES IMP	\$ 42,231	\$ 25,285	59.87
02551	ALFREDRICK L CAMBRIC GALE FERGUSON	2211 ALTMAN WAY 1640191000	04/25/22 0.28	1839 582	RES IMP	\$ 172,936	\$ 60,406	34.93
02516	SCREVEN MADELINE GAMBLE JAMES E	3030 OLD LODGE RD 2710067000	04/01/22 1.19	1838 1106	RES IMP	\$ 325,184	\$ 92,347	28.40
04545	PERRY DAVID W GANGLANI HOLDINGS LLC	231 DAVIS 160411040~PARCEL A	07/12/22 0.53	1850 938	COM IMP	\$ 432,341	\$ 194,231	44.93
00849	PATTERSON WILLIAM DOUGLAS GARDEN CITY CONSULTING AND	2515 TUPELO DR 261045000	01/24/22 0.20	1828 2487	RES IMP	\$ 378,760	\$ 122,096	32.24
05702	LIN JIAN LI GARDEN CITY CONSULTING AND	2915 POINTEWEST DR 180425000	08/19/22 0.12	1856 2474	RES IMP	\$ 213,691	\$ 73,305	34.30
05705	EVANS CHARLES E GARDEN CITY CONSULTING AND	3016 FOX SPRING RD 333116000	08/22/22 0.37	1857 99	RES IMP	\$ 171,553	\$ 109,258	63.69
05595	WAGNER RYAN S GARDEN CITY PROPERTIES II LLC	2420 MOHICAN 194083000	08/05/22 0.65	1855 2103	RES IMP	\$ 369,024	\$ 123,674	33.51
03468	NAIR VIJAYAKUMAR V GARDEN CITY PROPERTIES II LLC	2331 WASHINGTON 262137000	05/19/22 0.41	1844 573	RES IMP	\$ 200,539	\$ 64,013	31.92
05967	ACOSTA CATHERINE S GARE LLC	2237 SIBLEY RD 692064000	08/22/22 0.43	1858 320	RES IMP	\$ 64,365	\$ 24,850	38.61
08488	DONALDSON JACQUELINE B GARE LLC	3009 LONSDALE DR 1104202000	12/30/22 0.22	1872 117	RES IMP	\$ 62,219	\$ 38,348	61.63
06991	OSBORN KEVIN W GARY KRISTIN M	2113 ORCHARD DR 1813038000	10/31/22 0.28	1865 831	RES IMP	\$ 281,488	\$ 114,103	40.54
02253	DEBORAH JAN ROGERS GARY PORTERFIELD	3416 RAVENWOOD 160131000	04/18/22 0.34	1838 314	RES IMP	\$ 164,827	\$ 76,761	46.57
03583	PARGAS BRANDON S GASKINS JESUP DYLAN	1809 EVA LN 1523079000	06/01/22 0.55	1844 1336	RES IMP	\$ 273,123	\$ 95,3	34.90



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02491	RONICA R CUMMINGS GASPAR MEJIA	1811 LAUREN 303432000	04/14/22 0.05	1837 1443	RES IMP	\$ 157,124	\$ 50,845	32.36
05378	GILLESPIE KARIN P GAY ELIZABETH ANSLEY/WILSON MICHAEL	1317 BUENA VISTA 431053000	08/12/22 0.24	1854 1608	RES IMP	\$ 308,951	\$ 108,784	35.21
02098	CRENSHAW RONNIE L GAY TAKISHA SHAVONNE	3532 NORTHPINES DR 1450156000~LOT 15, BLK D, SEC 4,	03/31/22 0.43	1836 1355	RES IMP	\$ 148,782	\$ 60,694	40.79
04332	CHARLOTTE ARNOLD FORMERLY KNOWN AS GAYNOR NOREEN A	413 YORK LN 181057000~2-A	07/05/22 0.07	1849 70	RES IMP	\$ 193,094	\$ 63,606	32.94
03095	OKASHAH TAISER GAYRILOVA-JORDAN LARISA	1107 COLONY PLACE DR 120352000	05/19/22 0.09	1842 1985	RES IMP	\$ 108,737	\$ 33,664	30.96
03443	CROCKETT FLOYD A AND EDITH ROFS GEBRAN F ABDELMASSIH	1093046000	05/27/22 0.35	1844 580	RES IMP	\$ 181,421	\$ 48,354	26.65
02096	HERNANDEZ DAVID GEORGE SR DARRYL BEVON/GEORGE ERICA	5328 BULL ST 664172000	04/11/22 0.28	1836 1812	RES IMP	\$ 311,280	\$ 113,364	36.42
01989	GAMBLE COMPANY LLC GEORGIA CAROLINA FOODS LAND	1431 MARVIN GRIFFIN RD 1350013000	03/28/22 8.00	1835 2296	COM IMP	\$ 2,936,906	\$ 891,676	30.36
07905	KENNETH RYAN ROSS GERALD WESTON	3106 CLARENDON 400132000	12/07/22 0.19	1868 1843	RES IMP	\$ 240,209	\$ 97,578	40.62
04511	WEATHERSBEE SHAWN J GERLING JAMES J	100254000	07/05/22 0.20	1850 1188	RES IMP	\$ 201,676	\$ 71,228	35.32
03856	REEVES TARA GERONIMO RICARDO DE DIOS/VIDAL ANDREA	2020 SCOTT RD 982065000	06/14/22 0.46	1846 1610	RES IMP	\$ 203,419	\$ 60,294	29.64
04811	ANDERSON INVESTMENTS LLC GIBBS ASHLEY B/PROVEAUX CHARLES A	122253000	07/22/22 0.04	1851 2582	RES IMP	\$ 111,565	\$ 43,882	39.33
03066	ELLIOTT JOHN R GIBBS CHARLES	4535 WINDSOR SPRING RD 1940064000	05/12/22 0.65	1842 927	RES IMP	\$ 102,683	\$ 42,803	41.68
04862	IMS PROPERTIES LLC GILBERTO VALDEZ	1670459000	07/15/22 0.37	1851 44	RES IMP	\$ 131,733	\$ 42,130	31.98
00086	HALL GERTRUDE GILLARD JAMIE	3303 BINGHAM 403152000	01/10/22 0.10	1822 2279	RES IMP	\$ 191,632	\$ 71,630	37.38
00482	FIELDS RICHARD C GIVENS JOHN STEVEN	750 MALVERN LN 322086000	02/08/22 0.48	1826 1335	RES IMP	\$ 206,139	\$ 93,976	45.59
08487	LEGARE RICHARD GLASS SARAH/VINSON REECE M	1400137000	11/30/22 0.38	1871 2366	RES IMP	\$ 180,221	\$ 62,464	34.66
05266	BRASWELL JR GEORGE EDWARD GLEASON GEOFFREY THOMAS/ELIZABETH	5227 NEELY RD 3510015000~TRCT D-3B	08/11/22 10.97	1854 1795	RES VAC	\$ 78,855	\$ 17,960	22.78
07916	THOMPSON ALAN WARREN GLEE SMITH VENTURES LLC	2404 CAMELOT DR 192128000	12/02/22 0.41	1868 1947	RES IMP	\$ 171,639	\$ 94,508	55.06
05714	THOMPSON ALAN WARREN GLEE SMITH VENTURES LLC	2406 CAMELOT DR 192127000	08/24/22 0.37	1857 1391	RES IMP	\$ 171,639	\$ 82,837	48.26
03151	PEACHES M BROWN AND ROBERT M BROWN GLENN A CASSEDY	3209 HILLSVIEW 520314000	05/18/22 0.37	1843 80	RES IMP	\$ 173,865	\$ 40,553	23.32
03592	VIMAX ENTERPRISES INC GLENN JONES AND RANDI JONES JTWROS	974242000	06/03/22 5.18	1845 672	RES IMP	\$ 114,331	\$ 32,394	28.33
00384	LYNN M HARKINS NKA LYNN MARSHALL GLENROY BREWSTER	349 BROAD 472073000	01/28/22 0.14	1825 1268	RES IMP	\$ 259,363	\$ 67,892	26.18
08384	GOSHEN ESTATE LLC GO AMERICA LLC	991004000	12/30/22 0.15	1871 1753	RES IMP	\$ 38,619	\$ 11,211	29.03
08428	SHAPIRO LEE GO AMERICA LLC	1200037000	12/30/22 0.77	1871 475	RES IMP	\$ 47,115	\$ 15,416	32.72
03346	GRIFFIN CARROLL J JR GO AMERICA LLC	1092060010	05/16/22 0.16	1843 1070	RES IMP	\$ 40,214	\$ 10,418	25.91
00195	FYFB LLC GO AMERICA LLC	2469 REESE 982148000	01/13/22 0.23	1823 1505	RES IMP	\$ 59,433	\$ 19,990	33.63
00221	PUETZ MARTIN C GOATWINE LLC	415 FOURTH 474061000	01/07/22 0.12	1823 1639	COM IMP	\$ 149,579	\$ 37,606	25.14
04671	HENRY CYNTHIA R GOLDILOCKS RENTALS LLC	2603 GLOUCESTER DR 184110000~UNIT 2603G, BLDG 1,	07/20/22 0.01	1852 221	RES IMP	\$ 133,020	\$ 57,0	



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08505	THOMPSON DAVID J GOMEZ FARIHT/SPONSELLER HANNAH LEAH	800077000	12/02/22 0.39	1872 1994	RES IMP	\$ 240,295	\$ 89,932	37.43
07960	EISELE KAREN B GOMEZ GLADIS/GOMEZ ALEX	1421 LEIGH 303375000	12/06/22 0.05	1868 2450	RES IMP	\$ 180,221	\$ 73,740	40.92
05101	MALOYD OLLA MAE GOOD BEGINNINGS PROPERTIES LLC	2398 COUGAR DR 1660123000	08/11/22 0.57	1854 1409	RES VAC	\$ 8,582	\$ 4,800	55.93
06315	EDMISTON DAVID GOOD FAITH MANAGEMENT LLC	4016 CALYPSO DR 303107000	09/23/22 0.07	1860 1840	RES IMP	\$ 111,565	\$ 44,110	39.54
02600	HOLTON CECIL THOMAS/BETTY ANN GOOD FAITH MANAGEMENT LLC	131207000	04/27/22 0.07	1839 830	RES IMP	\$ 99,948	\$ 37,725	37.74
06142	HIGGINS DANIEL VINCENT GOODMAN NICHOLAS DIEHL	938 MERRY 451103000	09/09/22 0.16	1859 208	RES IMP	\$ 205,967	\$ 62,685	30.43
02659	COLLIER CHRISTOPHER ALLEN JR GOODSON CELESTE N/GOODSON CHRYSTAL	3014 WILLIS FOREMAN RD 1504001000	04/26/22 0.50	1839 2458	RES IMP	\$ 218,257	\$ 86,965	39.85
05468	WILSON RODNEY D GORDON DAVID E/GORDON TERESA L	4017 NUITE DR 1400527000	08/08/22 0.25	1856 8	RES IMP	\$ 159,195	\$ 50,380	31.65
01069	NEWTON NOLEN F GORE ARTHUR N/GORE SANDRA S	5309 BULL 664181000	03/02/22 0.26	1830 1597	RES IMP	\$ 295,347	\$ 107,538	36.41
02632	EVANS MADELENE N GOSNEY CODY	253 WATKINS ST 474359000	04/28/22 0.12	1839 1659	RES IMP	\$ 39,037	\$ 9,132	23.39
00045	ZABKA RYAN M GOSNEY CODY	2409 SOUTHGATE DR 863060000~LOT 23, BL. E, SOUTHGATE	01/07/22 0.26	1822 97	RES IMP	\$ 94,551	\$ 35,527	37.57
04441	HORNSBY KALEB ZANE GOWARD REBEKAH LYNN/GOWARD ERIC	132188000	06/29/22 0.30	1849 1039	RES IMP	\$ 204,438	\$ 73,570	35.99
08120	BRANT NANCY B GOWDY MEGAN NICOLE	3202 WIMBLEDON 314047190	12/15/22 0.08	1869 1814	RES IMP	\$ 162,843	\$ 50,286	30.88
00769	HOLLIE EARL MCMANUS JR AND KARI GRACE HALVERON	3124 RAMSGATE 242049000	02/17/22 0.36	1828 911	RES IMP	\$ 248,351	\$ 102,848	41.41
06196	BROWN GREG CURTIS GRACE OLAUNDRA SHONTAE	4406 SILVERTON RD 662075000	09/09/22 0.22	1859 1509	RES IMP	\$ 175,930	\$ 65,509	37.24
03381	STANLEY KEVIN S SR GRACIELA DELACRUZ AND EPIGMENIO	1640217000	05/31/22 0.27	1844 247	RES IMP	\$ 194,003	\$ 78,674	40.55
04370	CARY PEGGY F GRAFF STEVE VAN DE	3626 MADRID DR 670041000	07/01/22 0.25	1849 602	RES IMP	\$ 82,387	\$ 30,649	37.20
04453	SHELTON JANA MARIE GRAFF STEVEN VAN DE	2735 EDWARD DR 702025000	07/01/22 0.45	1849 605	RES IMP	\$ 94,402	\$ 43,150	45.71
02652	KEY BRITTANY L GRANT KELVIN	2404 HAMPSHIRE CROSS ST 2270246000~LOT 4, BLK A, HEPHZIBAH	04/21/22 0.34	1839 1765	RES IMP	\$ 168,968	\$ 37,474	22.18
08419	WARRICK ANTONIO GRANT SR O'BRIEN MCDONALD/GRANT	1504 OGLETHORPE DR 2152019000~LOT 77, BLK A, SPIRIT	12/15/22 0.34	1870 2547	RES IMP	\$ 267,053	\$ 118,093	44.22
02560	COTTER CORY GREEN KEDRICK J	3021 BROCKHAM CT 403218000	04/28/22 0.10	1839 1541	RES IMP	\$ 217,879	\$ 84,979	39.00
00623	TRIPLE A FOUR K'S INC GREEN LATOYA DENISE/DONALDSON	1148 HANCOCK MILL LN 3190088000~LOT 37, BLK C, HANCOCK	02/01/22 0.75	1827 1198	RES VAC	\$ 8,292	\$ 3,392	40.90
07777	MAYS ULYSSES WESLEY GREEN RAKESHA	3128 EXETER RD 242172000~LOT 2, BL. M, BRYNWOOD,	11/17/22 0.33	1867 262	RES IMP	\$ 285,350	\$ 111,803	39.18
01098	PEARSON GREGORY A GREENE STREET RESTORATIONS LLC	831 LAKE TERRACE 203250000	03/03/22 0.59	1830 964	RES IMP	\$ 88,531	\$ 39,438	44.55
04589	WEW PROPERTIES I LLC A GEORGIA LIMITED GRIFFIN BLONDELL	2675 CRANBROOK DR 1300334000	07/15/22 0.34	1850 1942	RES IMP	\$ 163,057	\$ 41,495	25.45
00538	MARTIN SAMANTHA A GRIFFIN DEOHVEON	1904 VALLEY SPRING 424043000	01/28/22 0.33	1826 981	RES IMP	\$ 176,073	\$ 67,917	38.57
00356	ARELLANO AARON M GRIFFIN JORDAN SCOTT	4064 PULLMAN 640037000	01/20/22 0.21	1825 1586	RES IMP	\$ 221,534	\$ 83,722	37.79
02951	JEFFERSON PATRICIA GRIFFIN ROXIE	504 SECOND AVE 341061000	05/12/22 0.10	1841 2195	RES IMP	\$ 4,484	\$ 2,385	53.19
01321	GRAYBEAL CONSTRUCTION DESIGN LLC GRIFFITH EMILY HALL/BYRD LELAN C	2205 CLAYTON LN 344136060	03/04/22 0.08	1831 582	RES IMP	\$ 577,732	\$ 192,1	5



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06933	FUREL MEREDITH B GRIMES HOME BUYERS LLC	705 HIGHLAND AVE 332267000	10/03/22 0.37	1863 1150	RES IMP	\$ 102,984	\$ 52,772	51.24
06090	THE HERTZ CORPORATION A DELAWARE GSP TRANSPORTATION INC A SOUTH	1640 TOBACCO RD 1580005140	08/31/22 2.98	1858 1283	COM IMP	\$ 363,590	\$ 152,548	41.96
00335	KLEIN SANDRA W GUITTON JEAN MARC	2846 WALTON WAY 334060230~APT 17, GEORGETOWN CLUB	01/24/22 0.09	1824 1321	RES IMP	\$ 147,282	\$ 41,357	28.08
08025	IOVINO MICHAEL A GUMUS GABRIELLE ELAINE	1447 TROUPE ST 572013000~26, B	12/16/22 0.33	1869 1879	RES IMP	\$ 128,729	\$ 43,911	34.11
07343	JENKINS SAMUEL MCCORD GUNNELS JEFFREY	1015 MONTE SANO 343039000	10/28/22 0.25	1865 2614	RES IMP	\$ 300,369	\$ 85,795	28.56
04887	GROVETOWN CENTER LLC GVS HOLDING IV LLC	736 E ROBINSON 780020000~PARCEL D	07/15/22 3.32	1850 2526	COM VAC	\$ 488,474	\$ 204,905	41.95
08143	ROBINSON BERTHA M GWENDOLYN PEARSALL REID	1661191000	12/12/22 0.27	1869 954	RES IMP	\$ 212,747	\$ 80,413	37.80
04422	IMS PROPERTIES LLC H S REMODELING SERVICES LLC	1224147000	07/05/22 0.43	1849 1591	RES IMP	\$ 102,984	\$ 37,528	36.44
01490	GAY EDWARD RANDOLPH HADDEEN JAMES E	804 ANN ST 203182000	03/02/22 0.29	1831 1684	RES IMP	\$ 109,564	\$ 44,432	40.55
00966	RUSH ENTERPRISES LLC HADDEEN JAMES E	1215 GLENWOOD DR 132131000	02/11/22 0.37	1829 1770	RES IMP	\$ 179,025	\$ 54,370	30.37
00025	DOVE ADAM N HADDEEN JOHN M	2212 KIMBERLY DR 571178000~LOT 51	01/07/22 0.39	1821 2094	RES IMP	\$ 209,505	\$ 61,384	29.30
05747	KENNETH JAMES GAUTHREUX AND CORA HAIDEN HUFFMAN AND EDWARD HUFFMAN	1503 CHASE CREEK 780115000	08/24/22 0.24	1856 1379	RES IMP	\$ 411,848	\$ 183,526	44.56
00479	GILLIAM JOI G HALEY SR TYSON J/HALEY SARA J	2370 COURTNEY 851168000	02/02/22 0.34	1825 2538	RES IMP	\$ 143,294	\$ 54,996	38.38
08087	PATRICK DARIEN G HAMMONS KRISTIN LYNN/HAMMONS JOSHUA	3033 MABUS DR 520476000	12/06/22 0.46	1868 2747	RES IMP	\$ 154,475	\$ 69,017	44.68
04346	COLEMAN IVEY M HAMPTON MARK DAVID/HAMPTON LAURA	769 LANCASTER 322115000	06/13/22 0.48	1846 1208	RES IMP	\$ 294,597	\$ 98,832	33.55
05932	HOBLOS WESAM HAN TONGBANG	4068 HARPER FRANKLIN 671085000	09/08/22 0.29	1858 731	RES IMP	\$ 210,258	\$ 86,895	41.33
00066	MARTIN WANDA S HANDY KIM M	1802 WINDSOR SPRING RD 1104181000	01/05/22 0.43	1822 338	RES IMP	\$ 112,644	\$ 41,962	37.25
02474	WASHINGTON KIMBERLY HANFORD LATISHA/HANFORD CHRISTOPHER	1804004000	04/15/22 0.27	1837 992	RES IMP	\$ 266,240	\$ 97,999	36.81
07654	COSPER SHARON M AND JONATHAN J HANNAH FUNSCH	2360 RUBY 974038000	11/29/22 0.26	1867 2563	RES IMP	\$ 77,238	\$ 27,733	35.91
00612	SHEAROUSE RICHARD E HARDIGREE SCOTT	3540 WHEELER 310134000~UNIT 4 BLDG 4	02/09/22 0.09	1826 2056	COM IMP	\$ 103,085	\$ 29,294	28.42
06840	BENJAMIN WACHOVIA R HARKRIDER BAILEY	1830015010	09/30/22 0.49	1863 279	RES IMP	\$ 175,930	\$ 44,577	25.34
01109	FRASER BEVERLEY HARMON BIQUIELLA	1113013000	02/10/22 0.23	1829 1352	RES IMP	\$ 67,697	\$ 18,523	27.36
07331	TURNER DANIEL W HARRELL JERRY/HARRELL BRENDA	1224073000	10/31/22 0.23	1865 1901	RES IMP	\$ 126,155	\$ 47,991	38.04
05996	SOUTHERN BANK HARRIS GERALD/TAWANDA H	4480 BOULINEAU RD 2450003000~TRCT D	09/08/22 11.82	1858 744	RES IMP	\$ 45,484	\$ 16,787	36.91
02043	KALOHI DAVID AND NICOLE A ROFS HARRIS JR AUGUSTUS R	5090 COPSE DR 640057000	02/25/22 0.28	1835 913	RES IMP	\$ 354,925	\$ 128,858	36.31
03907	CARUSO SALVATORE D JR HARRIS KYLE	1625 WINTER ST 571112000	06/13/22 0.27	1846 1698	RES IMP	\$ 191,749	\$ 50,260	26.21
04999	ROMAN-ORTEGA PABLO HARRIS-REDD BETTINA L	2911 LANDER CT 1400357000	07/27/22 0.69	1852 2021	RES IMP	\$ 187,087	\$ 54,109	28.92
03154	OGLE DYLAN REED HARRISON ALLANNA SCOTT	3117 FIELDSTONE CIR 60117000	05/24/22 0.29	1843 1063	RES IMP	\$ 275,077	\$ 78,953	28.70
07050	CURRIE N/K/A TILL LACY KRISTEN HARRISON MARY	511 AUMOND RD 251029000	10/26/22 0.34	1864 2520	RES IMP	\$ 214,549	\$ 81,8	4



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08368	FELZ INVESTMENT GROUP LLC HARTLEY ACQUISITIONS LLC	3306 VICTOR RD 1231067000	09/01/22 0.20	1857 2022	RES IMP	\$ 36,044	\$ 21,314	59.13
01083	KHAN IQBAL HASHIMI FARIHA K/HASHIMI SAID	1309 COLONY PL 120425000~UNIT 1309, COLONY PLACE,	02/18/22 0.09	1830 680	RES IMP	\$ 81,786	\$ 25,117	30.71
00999	KHAN M IQBAL HASHIMI HOSSAI/HASHIMI SAID	1309 COLONY PLACE DR 120427000~UNIT 1311, COLONY PLACE,	02/18/22 0.09	1830 682	RES IMP	\$ 104,397	\$ 28,866	27.65
02044	BAKER MAXWELL HAWKES MICHAEL/EAVENSON LINA	655 CENTER COURT 314047400	03/04/22 0.08	1836 209	RES IMP	\$ 158,843	\$ 60,626	38.17
00610	VERTICAL INVESTMENTS LLC HAWKINBERRY REBECCA	5019 WHEELER LAKE 304066000	01/18/22 0.08	1827 1687	RES IMP	\$ 144,045	\$ 49,007	34.02
03437	BENTON JOSHUA BOONE HAWKNS WENDY	2205 SPEER POINT DR 1980423000	06/03/22 0.81	1845 772	RES IMP	\$ 221,626	\$ 62,157	28.05
08262	COBB GEORGE M HAWN CHANDLER	854029000	11/21/22 0.48	1871 74	RES IMP	\$ 60,074	\$ 28,010	46.63
01344	WILBERT W SMITH AND SHIRLEY EVANS HB21 PROPERTY SOLUTIONS LLC	4303 WHITE PINE CT 1420029000	03/08/22 0.37	1831 2335	RES IMP	\$ 133,147	\$ 60,462	45.41
04781	KONG PHILIP Y HEARD LEE	1509 HEATH 443185000	07/22/22 0.11	1851 1758	RES IMP	\$ 255,313	\$ 92,290	36.15
00196	MAYFAIR ON WALTON LLC HEARON CAITLIN T/HEARON II MICHAEL	121 MAYFAIR ABBEY LN 322174000~5	01/21/22 0.35	1823 2752	RES VAC	\$ 153,542	\$ 68,000	44.29
04621	IANNACONE RICHARD W JR HEATHER CLARK SEALS AND DJAKARTA	132192000	07/11/22 0.36	1850 1134	RES IMP	\$ 223,131	\$ 57,546	25.79
06197	TEICH JOSHUA P HEGGINS GENEZA	936 BROAD ST 373224000	06/21/22 0.02	1859 1321	RES IMP	\$ 147,099	\$ 72,147	49.05
07234	LOWE SARAH HELEN HENDEE AND LINDA J MCINTOSH	2211 TERRACE 264139000	10/25/22 0.36	1863 2729	RES IMP	\$ 283,205	\$ 98,299	34.71
02353	ROBERTSON RHONDA J HELIOS REAL ESTATE HOLDINGS LLC	2334 HAPPY CIR 703056070~LOT 3	04/19/22 0.32	1838 757	RES IMP	\$ 128,088	\$ 49,788	38.87
02094	ROBERTSON RHONDA HELIOS REAL ESTATE HOLDINGS LLC	3102 FLOYD DR 1092096000~PARCEL 3-C	03/31/22 0.57	1836 1299	RES IMP	\$ 55,793	\$ 31,374	56.23
00796	SMITH-MCKENNEY TINA ANN/ELVIS HENRY BRADLEY AND TERESA BRADLEY AS	1962005000	02/14/22 1.58	1827 2249	RES IMP	\$ 328,215	\$ 105,828	32.24
02476	PANZELLA HEATHER R HENRY HUANG	134302000	04/15/22 0.26	1837 1557	RES IMP	\$ 230,343	\$ 85,804	37.25
05923	SLAVENS PROPERTIES --II LLC HENRY ROBERT WALDELE	2229 RALEIGH 712194000	09/07/22 0.31	1858 329	RES IMP	\$ 124,438	\$ 33,178	26.66
07350	SMITH MARLON D HERNANDEZ ORLANDO REYES	2128 RESERVE LN 73133000	11/04/22 0.05	1865 1553	RES IMP	\$ 154,475	\$ 63,449	41.07
06113	WILLIAMS ANDREW M HERNANDEZ RACHEL E	3032 HAYNES STATION 640019000	09/16/22 0.25	1859 603	RES IMP	\$ 318,820	\$ 128,349	40.26
05107	GRAHAM KENDRALL HICKS ANDREW KYLE	752 AUMOND 322017000	08/05/22 0.69	1853 2658	RES IMP	\$ 227,422	\$ 123,677	54.38
05102	GAY ANDREW E HICKS GREGORY	1720 HARROGATE DR 2140195000	08/12/22 0.30	1854 1411	RES IMP	\$ 185,799	\$ 56,163	30.23
00462	INFORMED CONSUMER NETWORKS LLC A HIGA ASHLEY S/KOBASHIGAWA BRIAN I	1320513000	01/31/22 0.23	1825 965	RES IMP	\$ 136,691	\$ 47,713	34.91
03333	CARLISLE INVESTMENT PROPERTIES LLC HILL ANDREW LITCHFIELD	2068 WALTON WAY 353447000~UNIT 204	05/26/22 0.03	1843 2377	RES IMP	\$ 88,577	\$ 43,738	49.38
05596	CARY PEGGY F HILL CARTINA	4409 OLD MIMS RD 2510072000	08/12/22 1.03	1854 2515	RES IMP	\$ 100,838	\$ 45,097	44.72
00817	BARRON SUZANNE E HILL DAMASCUS	2320045000	01/14/22 1.00	1828 1628	RES IMP	\$ 178,157	\$ 46,451	26.07
00618	BAMAN RAKESH HINTON SIDNEY W	1189 BROOKSTONE 402222000	01/18/22 0.13	1827 1680	RES IMP	\$ 291,049	\$ 119,257	40.97
02290	WILKINS DEBORAH HOUCK HIS PROPERTY GROUP LLC	1909 FENWICK STREET 353073000	04/18/22 0.12	1838 869	RES IMP	\$ 45,785	\$ 26,951	58.86
06186	SMITH AMY H HITT BRUCE A	603 WESTBURY DR 251235000	09/16/22 0.43	1859 1089	RES IMP	\$ 150,184	\$ 78,0	5

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04512	FAULKNER DAVID HOWARD HOBBS JOHN	425 SHALLOWFORD CIR 160201000~LOT 19, BLK B, CROFTON	06/30/22 0.35	1849 2384	RES IMP	\$ 201,676	\$ 70,651	35.03
05672	HALL PATSY ANN HOBBS JOSHUA LYNN	3250041030	08/18/22 0.63	1856 629	RES IMP	\$ 9,440	\$ 4,274	45.27
08297	WILLIAMS SUZAN F HOBBS JOSHUA LYNN/JOHNNY DANIEL HOBBS	1320258000	12/23/22 0.40	1870 1655	RES IMP	\$ 80,670	\$ 47,385	58.74
02157	HALL BERNARD J HODGE SARAH/ABERNETHY MATHIEU	2509 BELLEVUE AVE 343123000	04/15/22 0.14	1837 1283	RES IMP	\$ 573,793	\$ 170,496	29.71
07168	MAURO CARTER HODGES CHRISTOPHER S	2992 GALAHAD WAY 531065000	10/21/22 0.23	1864 1629	RES IMP	\$ 210,258	\$ 93,178	44.32
08299	MUELLER KAREN A HOFFMAN SYLVIA MONICA/OWEN ROBERT	524 MARTIN LN 331115000	12/22/22 0.38	1870 1618	RES IMP	\$ 214,549	\$ 92,426	43.08
04365	FONSECA DEBORA J HOLLAND WAYNE ELROY JR	1831058000	06/10/22 0.24	1849 2084	RES IMP	\$ 170,421	\$ 64,212	37.68
03817	MARTIN LEGACY HOLDINGS LLC HOME RELIEF LLC	2816 BERGEN 252019000	06/09/22 0.35	1846 718	RES IMP	\$ 279,917	\$ 131,690	47.05
04955	BRADY CAROLINE T HOOKS KATHERINE WILCOX/HOOKS VENDIE	827 MILLEDGE 344076030	07/08/22 0.09	1852 2548	RES IMP	\$ 205,967	\$ 57,675	28.00
00224	RITTER EDMOND HOPKINS WILLIAM CUNNINGHAM/HOPKINS	2229 MCDOWELL 442012000	01/20/22 0.59	1824 666	RES IMP	\$ 1,063,834	\$ 257,456	24.20
03589	WARD NICOLE E HORN CREEK PROPERTIES LLC	3047 BROOKHAVEN WAY 122113000	06/02/22 0.06	1844 2297	RES IMP	\$ 136,439	\$ 37,495	27.48
03663	BRYAN M LOWE HORST E SPERLICH AND DAGMAR E	790088000	05/31/22 5.18	1844 1644	RES IMP	\$ 238,094	\$ 86,545	36.35
06537	HAYES ELOISE J HORTON JR ALFRED LEWIS	1104234000	10/03/22 0.23	1861 889	RES IMP	\$ 81,529	\$ 28,230	34.63
03803	MILLER TEDDY J HOUSE HEROES LLC	2620 LUMPKIN RD 962148010	06/10/22 0.32	1846 852	RES IMP	\$ 61,177	\$ 27,663	45.22
07567	MILLER TEDDY J HOUSE HEROES LLC	3073 QUIST DR 971215000	11/15/22 0.72	1866 2661	RES IMP	\$ 66,510	\$ 23,612	35.50
04470	PATEL BIRENKUMAR R HOW HIGH HOLDINGS LLC	62004000	07/06/22 5.18	1850 1059	RES IMP	\$ 205,881	\$ 67,768	32.92
01315	BREAD BASKET BROWN LLC HOWARD BLAKE FITZWATER AND LEA ANN	138 GREENE 474130000	03/15/22 0.12	1832 1640	COM IMP	\$ 386,342	\$ 122,760	31.77
04200	HUTTO WESLEY M HOWARD MARY HELEN/HOWARD JANICE GAIL	2635 RAYMOND AVE 432165000	06/24/22 0.18	1847 2177	RES IMP	\$ 302,023	\$ 116,721	38.65
00414	TURN BACK THE BLOCK INC HOWARD SHANOVIA	1922 BATTLE 352477000	01/25/22 0.14	1824 1633	RES VAC	\$ 145,202	\$ 60,002	41.32
06630	GEORGETOWN 42 LLC HOWERDD MARTHA A/PRICE KATHERINE	2846 WALTON 334060480	09/23/22 0.08	1861 2427	RES IMP	\$ 113,282	\$ 40,170	35.46
05063	KAMATH LLC HOYLE PATRICIA	411 THIRD ST 474081120	07/26/22 0.06	1852 1207	RES IMP	\$ 109,420	\$ 32,408	29.62
04619	DOERR KYLE W HPA III ACQUISITIONS 1 LLC A DELAWARE	5157 COPSE DR 653243000	07/15/22 0.23	1850 2065	RES IMP	\$ 261,750	\$ 107,377	41.02
04960	SHOULTS LAURA HPA III ACQUISITIONS 1 LLC A DELAWARE	205 DUCAL 653257000	07/22/22 0.27	1852 1280	RES IMP	\$ 274,623	\$ 109,506	39.88
06698	NORTON JOHN MATTHEW HPA III ACQUISITIONS 1 LLC A DELAWARE	1156 GEORGE W CRAWFORD 663050000	10/11/22 0.14	1862 1039	RES IMP	\$ 251,280	\$ 105,637	42.04
00081	RODRIGUEZ MATTHEW M HPA III ACQUISITIONS 1 LLC A DELAWARE	1122 MCCOYS CREEK 780070000	01/04/22 0.24	1822 2607	RES IMP	\$ 339,196	\$ 135,706	40.01
00325	DARRISAW TOMEKIA S HPA III ACQUISITIONS 1 LLC A DELAWARE	4665 CRESTED BUTTER 524025000	01/26/22 0.36	1825 2098	RES IMP	\$ 210,766	\$ 67,791	32.16
00555	GOLDEN SETH T HPA III ACQUISITIONS 1 LLC A DELAWARE	4140 PULLMAN 790117000	02/07/22 0.22	1826 2067	RES IMP	\$ 271,838	\$ 94,430	34.74
01234	NOLAN REED AND TRACY REED HPA III ACQUISITIONS 1 LLC A DELAWARE	5222 COPSE 653318000	02/22/22 0.32	1830 1467	RES IMP	\$ 292,505	\$ 117,412	40.14
01534	TODD SMITH AND MELYN SMITH HPA III ACQUISITIONS 1 LLC A DELAWARE	2544 WINTERVILLE 520635000	03/02/22 0.43	1832 2102	RES IMP	\$ 200,074	\$ 75,1	37.5



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01768	YIM DARA KEVIN HPA III ACQUISITIONS 1 LLC A DELAWARE	8005 CRAWLEY 653193000	03/29/22 0.20	1834 1973	RES IMP	\$ 237,523	\$ 87,057	36.65
01850	FOTI MICHAEL HPA III ACQUISITIONS 1 LLC A DELAWARE	5310 COPSE 653215000	03/21/22 0.41	1834 13	RES IMP	\$ 257,885	\$ 96,274	37.33
01831	HUGHES JORDAN T HPA III ACQUISITIONS 1 LLC A DELAWARE	113 GREYSON 653292000	03/18/22 5.18	1833 2668	RES IMP	\$ 286,739	\$ 116,423	40.60
01891	JUSTICE KRISTOPHER JORDAN HPA III ACQUISITIONS 1 LLC A DELAWARE	7049 SUMMERTON 640064000	03/24/22 0.21	1834 2265	RES IMP	\$ 233,850	\$ 86,887	37.15
01776	MCMILLIAN RICHARD HPA III ACQUISITIONS 1 LLC A DELAWARE	3025 MABUS DR 520480000	03/16/22 0.38	1833 2638	RES IMP	\$ 183,632	\$ 59,213	32.25
01994	DICHIARO MICHAEL P HPA III ACQUISITIONS 1 LLC A DELAWARE	6054 CLIFFORD 653198000	04/04/22 0.20	1835 2642	RES IMP	\$ 268,753	\$ 105,578	39.28
02002	HAGLER FELISHA J HPA III ACQUISITIONS 1 LLC A DELAWARE	2927 GALAHAD 531005000	03/31/22 0.23	1835 837	RES IMP	\$ 247,350	\$ 91,637	37.05
01409	BELL RAKIEL K HPA III ACQUISITIONS 1 LLC A DELAWARE	4664 CRESTED BUTTE 524017000	03/07/22 0.40	1832 549	RES IMP	\$ 199,247	\$ 63,982	32.11
02470	SANFORD JR LEE C HPA III ACQUISITIONS 1 LLC A DELAWARE	3459 CAMAK 532055000	04/14/22 0.38	1838 447	RES IMP	\$ 262,793	\$ 99,479	37.85
02578	BALDERSTON BLAKE HPA III ACQUISITIONS 1 LLC A DELAWARE	4118 ELDERS 662183000	04/26/22 0.29	1839 1063	RES IMP	\$ 231,898	\$ 77,550	33.44
03202	GUERRA JR ANGEL E HPA III ACQUISITIONS 1 LLC A DELAWARE	2970 GALAHAD 531082000	05/12/22 0.26	1842 1253	RES IMP	\$ 213,438	\$ 75,533	35.39
03348	LOMELI HECTOR DANIEL GARCIA/QUEZADA HPA III ACQUISITIONS 1 LLC A DELAWARE	7010 SUMMERTON DR 653185000	05/20/22 0.22	1843 2443	RES IMP	\$ 262,696	\$ 104,942	39.95
03638	CLARK SHAMONDA HPA III ACQUISITIONS 1 LLC A DELAWARE	3887 BARRETT ST 660036000	06/02/22 0.46	1845 1205	RES IMP	\$ 242,070	\$ 82,681	34.16
03918	PIERCE CALEB HPA III ACQUISITIONS 1 LLC A DELAWARE	3372 BEAVER DR 412195000	06/16/22 1.15	1847 489	RES IMP	\$ 234,691	\$ 68,686	29.27
03846	ROSS CARY A AND JESSICA WHITE ROFS HPA III ACQUISITIONS 1 LLC A DELAWARE	4077 PULLMAN CIR 640021000	06/10/22 0.20	1846 1751	RES IMP	\$ 224,606	\$ 91,088	40.55
04500	JUDGE LANESHA S HPA III ACQUISITIONS 1 LLC A DELAWARE	3018 BROCKHAM 403230000	07/08/22 0.10	1850 189	RES IMP	\$ 188,803	\$ 76,256	40.39
04507	RAY KENNETH T HPA III ACQUISITIONS 1 LLC A DELAWARE	4508 CASTLE ROCK RD 662156000	07/13/22 0.24	1850 1592	RES IMP	\$ 201,848	\$ 74,525	36.92
05219	MICHAEL BEST AND DOLORES BEST HPA III ACQUISITIONS 1 LLC A DELAWARE	2023 HATTON CT 800037000	08/10/22 0.18	1854 1314	RES IMP	\$ 235,489	\$ 92,454	39.26
05332	TAIMALELAGI ETENE F HPA III ACQUISITIONS 1 LLC A DELAWARE	2737 HUNTCLIFFE 653140000	08/10/22 0.18	1854 1497	RES IMP	\$ 241,411	\$ 159,712	66.16
04853	ZIA AHMAD HPA III ACQUISITIONS 1 LLC A DELAWARE	3108 THEODORE 653077000	07/22/22 0.13	1852 100	RES IMP	\$ 256,515	\$ 107,516	41.91
06483	BOYD JERREL T HPA III ACQUISITIONS 1 LLC A DELAWARE	4086 HARPER FRANKLIN 671110000	09/26/22 0.27	1860 2470	RES IMP	\$ 284,235	\$ 119,502	42.04
05356	NESBITT ELISEHIA R HPA III ACQUISITIONS 1 LLC A DELAWARE	2772 HUNTCLIFFE 653068000	08/11/22 0.14	1854 1639	RES IMP	\$ 244,586	\$ 105,806	43.26
01111	BEJI ANGELLA M HPA III ACQUISITIONS 1 LLC A DELAWARE	4806 LOGANS 664018000	02/25/22 0.33	1830 1494	RES IMP	\$ 272,651	\$ 91,676	33.62
07317	WALKER HILL LLC HUDSON VIRGIL	2950074000	11/04/22 1.98	1866 56	RES VAC	\$ 34,328	\$ 15,456	45.02
06214	HILDRETH BARBARA JEAN HUGENE L JONES	2111 CLAIRMONT 562207000	09/27/22 0.36	1860 1814	RES IMP	\$ 148,039	\$ 40,297	27.22
03399	GREEN NICOLE HUNNICUTT ANN	120165000	05/18/22 0.11	1844 42	RES IMP	\$ 85,639	\$ 23,663	27.63
03896	NETHERTON CORNELIA HURT JR JOHN THOMAS/HURT MCCAULEY	2638 BELLEVUE AVE 334200000	06/17/22 0.16	1847 242	RES IMP	\$ 369,086	\$ 98,308	26.64
06029	DANNER AUSTIN HUSFELT STEPHANIE	2704 CROSSHAVEN DR 1300737000	08/31/22 0.26	1857 2799	RES IMP	\$ 171,639	\$ 58,090	33.84
02930	WELDON TAEKO HUSSAINI FARZANA S	1907 COLONY PARK 552081000	04/26/22 0.36	1841 2394	RES IMP	\$ 63,658	\$ 24,363	38.30



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03635	NEW MARILYN C HUSSAINI FARZANA S	7410 EXUMA DR 402158000~LOT 1, BLK 5 I, WEST	05/24/22 0.07	1845 291	RES IMP	\$ 119,792	\$ 52,934	44.19
00054	TURNER JEAN C WOOD HUTTO MARVIN G	516 HUNTINGTON ST 354059000	01/06/22 0.07	1821 1152	RES IMP	\$ 54,783	\$ 25,548	46.63
06189	SMITH ALDRIN ANTHONY ROFS/STEPHANIE HWOYONG SOEK	8046 CRAWLEY 640099000	09/22/22 0.21	1860 439	RES IMP	\$ 274,537	\$ 117,536	42.81
08001	EDENFIELD DIANE HYATT ANTHONY D	2416 PONDEROSA CT 143024000	12/12/22 0.32	1869 122	RES IMP	\$ 128,729	\$ 57,392	44.58
06423	STACIA M MORENOS AND KRISTEN MORENOS HYLTON ADAM M	3064 ASHLEY LOOP 640147000	09/16/22 0.19	1859 2710	RES IMP	\$ 261,750	\$ 104,136	39.78
06081	MCLEAN INETHA L HYMES ANDRE M/HYMES KAILA	1550130000	08/19/22 0.37	1858 2471	RES IMP	\$ 184,512	\$ 56,825	30.80
00640	JOHNSON CURTIS LAMONTE HYNSON MICHAL/WELLS RICARDO RICKEY	3243 LEXINGTON WAY 533075000~LOT 20, BLK D, GRANITE	02/07/22 0.59	1827 1127	RES IMP	\$ 235,917	\$ 85,486	36.24
05202	FA PROPERTIES LLC IANNAcone AMY/IANNAcone RICHARD	2238 MORNINGSIDE DR 264024130~UNIT D, 2238 MORNINGSIDE	08/04/22 0.10	1853 1879	RES IMP	\$ 164,774	\$ 53,214	32.30
01727	COBB AKA THOMASENA COBB BUTLER IDLTDAGP HOLDINGS LLC	1236 STEINER AVE 593163000	02/08/22 0.11	1834 302	RES IMP	\$ 25,222	\$ 13,788	54.67
02424	HUSZ SONJA R IKNER BRIAN	336 BAY 472020040	03/31/22 0.03	1838 1876	RES IMP	\$ 139,483	\$ 47,193	33.83
02329	NGUYEN BE VAN ILES JENSEN	1927 HOPIE 704038000	04/15/22 0.36	1838 1	RES IMP	\$ 76,200	\$ 18,112	23.77
00648	MORRIS CHRIS C ILLERA ADELA H	2321 LIONS GATE DR 122301000	02/04/22 0.06	1826 2735	RES IMP	\$ 139,170	\$ 46,331	33.29
03444	BRANDON GOLDEN INDIA R BROWN	3350022000	05/27/22 0.43	1844 596	RES IMP	\$ 145,933	\$ 50,348	34.50
00473	LACHER CONSTRUCTION INC INFORMED CONSUMER NETWORKS LLC	2277 PUND AVE 273179000	02/03/22 0.64	1825 2444	RES IMP	\$ 260,059	\$ 86,217	33.15
04640	BOYINGTON JUSTIN K INGHAM LORCAN C	122052000	07/07/22 0.06	1850 13	RES IMP	\$ 165,203	\$ 49,518	29.97
00774	TILL AS FIDUCIARY ELIZABETH INGRAM DREW M	516 MARTIN 331119000	02/18/22 0.27	1828 1351	RES IMP	\$ 140,960	\$ 73,401	52.07
06841	LOHR WILLIAM J JR INSIGHT INVESTMENTS C LLC	4014 GOSHEN LAKE DR 1980144000	10/11/22 0.35	1863 1304	RES IMP	\$ 108,991	\$ 55,521	50.94
07279	LAVARNWAY KEITH J INTEGRITY DEVELOPMENT GROUP-ATL LLC	3270 DEANS BRIDGE RD 1070112010	10/31/22 13.40	1865 251	COM VAC	\$ 413,343	\$ 216,188	52.30
03355	JEREMY CALINI IRFAN AFZAL	1190228000	05/26/22 0.29	1843 2686	RES IMP	\$ 93,006	\$ 34,760	37.37
06909	JD DANMINE LLC IRIBHOGBE ADEOLA	2507 REESE AVE 982167000~LOT 23, BL. C, FLEMING	10/18/22 0.21	1863 57	RES IMP	\$ 55,783	\$ 19,501	34.96
04556	CALEB TAUB ISABEL RUIZ	5226 COPSE 653319000	07/12/22 0.30	1850 675	RES IMP	\$ 257,459	\$ 95,371	37.04
05208	KRENZ JORDAN ARLO ISEMAN AMY	315 ALEX LN 122021000	08/04/22 0.06	1854 882	RES IMP	\$ 154,475	\$ 48,301	31.27
03001	TRIPLE A FOUR K'S INC IVEY RANITA N	1065 HANCOCK MILL LANE 3190099000~LOT 10, BLOCK B, SECT. 2,	04/01/22 0.69	1842 670	RES VAC	\$ 8,548	\$ 3,392	39.68
08446	HAYES HARVEY G J AND C HOMES GA LLC	3403 SMITH RD 2440008010	12/22/22 1.37	1871 2173	RES VAC	\$ 24,029	\$ 7,960	33.13
04643	ROSS JACOB J NATE AND MICHELLE ENTERPRISE LLC	2437 DEMASCUS RD 564062000	06/28/22 0.28	1849 2331	RES IMP	\$ 53,306	\$ 29,517	55.37
05433	JENNIFER LE TRAN JONATHAN LE TRAN AND JABERE T WASHINGTON	2150014000	08/05/22 0.46	1854 2320	RES IMP	\$ 210,258	\$ 71,642	34.07
03461	MCDANIEL MERCY LINEBERRY JACKSON ALICECIA	114072000	06/03/22 0.04	1845 936	RES IMP	\$ 143,353	\$ 41,148	28.70
03603	CONRAD EVA M JACKSON GEORGIA MOJICA	214 AVONDALE DR 171170000~38, L	06/07/22 0.32	1845 1366	RES IMP	\$ 219,079	\$ 62,013	28.31
04352	RHONDA F FRANCE SAMUEL W FLEMING JACKSON JOE L/JANICE ALLEN JACKSON	641 SEA ISLE DR 612233000	06/30/22 0.14	1849 670	RES IMP	\$ 30,037	\$ 20,000	66.47



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07474	JOHNSON SIDNEY M JACKSON JR WADE	3310 HILLIS RD 1080167000	11/09/22 0.24	1866 729	RES IMP	\$ 98,693	\$ 29,043	29.43
01185	JEFFERSON BOONE AIKEN KNOX JR JACKSON MATHEW AUSTIN	1005 MONTE SANO AVE 343036000	02/28/22 0.37	1829 2263	RES IMP	\$ 653,701	\$ 198,106	30.31
06855	MADISON TYRONE L JACKSON STANLEY	2751 DAVIS MILL RD 1770066000	10/19/22 0.72	1863 196	RES IMP	\$ 173,785	\$ 77,308	44.48
05094	NWFAM COMMUNITIES LLC JACKSON TARROD W	2724 OAKLAND 332311000	07/28/22 0.34	1853 2551	RES IMP	\$ 134,737	\$ 51,774	38.43
00604	ZABOROWSKI ELLIS T JACOB A SODERBERG	1950018050	02/09/22 1.83	1827 312	RES IMP	\$ 159,931	\$ 55,905	34.96
01254	WILLIAM BRENTON DICKENS JACOB ZACHARY LOTT AND MADISON CLAIRE	1040 REDBIRD 201110000	03/07/22 0.25	1831 1	RES IMP	\$ 180,271	\$ 56,612	31.40
02241	KATHY HITCHCOCK JACQUELINE ANTONIA BROWN	1212007000	04/22/22 0.39	1838 1612	RES IMP	\$ 175,210	\$ 52,862	30.17
07308	ORRIDGE KAREN D JACQUELINE YVETTE ROGERS	2130 WHITNEY SOUTH 571227000	11/09/22 0.12	1866 240	RES IMP	\$ 150,184	\$ 54,188	36.08
08200	LONG JENNIFER NICOLE JAHMSKY LLC	1330 WINGFIELD ST 444030000	12/21/22 0.32	1870 948	RES IMP	\$ 344,995	\$ 97,020	28.12
07867	VAZQUEZ ANGEL L DIAZ ROFS.DIAZ CARMEN JAIME S VELASQUEZ GIRON	1430590000	11/21/22 0.28	1867 1341	RES IMP	\$ 147,610	\$ 48,158	32.63
01198	RILLMAN LAURA NICOLE PARKER JAKOBSEN POUL JESPER	7 CONIFER SQ 230200000	03/01/22 0.12	1829 2417	RES IMP	\$ 395,711	\$ 152,001	38.41
05138	JESSE RIVER READ JAMES D DAVIDSON JR	805 ANN 203238000	08/10/22 0.22	1854 761	RES IMP	\$ 183,654	\$ 60,121	32.74
00978	WRESCH JOANNA M JAMES DANIEL WILLIAMS	1961056000	03/03/22 0.28	1830 1780	RES IMP	\$ 238,938	\$ 80,927	33.87
04885	PAULA M FORD JAMES E CURNUTT AND PAMELA W CURNUTT	3820 BELAIR 520060000	07/15/22 0.92	1851 20	RES IMP	\$ 115,856	\$ 54,695	47.21
06577	MOMENT JOSEPH JR ROFS/HENRIETTA M JAMES EVANS	1652069000	10/03/22 0.37	1861 1288	RES IMP	\$ 255,313	\$ 95,740	37.50
05589	JAMES M MENGER JR JAMES HOSPODARSKY AND CYNTHIA	3103 RAMSGATE 174030000	08/09/22 0.29	1855 1838	RES IMP	\$ 215,064	\$ 82,904	38.55
03432	WEATHERSPOON TAMASI T JAMES JONES	5009 CHARLIE 664161000	06/01/22 0.30	1844 2523	RES IMP	\$ 273,123	\$ 94,784	34.70
05301	AAIA RML LLC JAMES JR THOMAS E	3839 WOODLAKE DR 1400536000~LOT 1, BL. B, CLARKE	07/26/22 0.32	1853 852	RES IMP	\$ 216,265	\$ 105,230	48.66
06854	THOMAS TONYA E JAMES KENDRICK/JAMES ADRIENNE L	1300579000	10/14/22 0.28	1863 163	RES IMP	\$ 137,311	\$ 50,803	37.00
03285	ELSIE A BREWTON JAMES LAMB AND BARBARA LAMB JTWROS	54 SUNNYVALE 162217000	05/20/22 0.11	1843 1335	RES IMP	\$ 133,574	\$ 38,642	28.93
03262	SANDERS KATHY ROFS/BRIAN JAMES M WALKER	902 MONTE SANO 341417000	05/20/22 0.18	1843 582	RES IMP	\$ 296,980	\$ 79,142	26.65
05477	FORD ANTONNIO M AND CASSANDRA L JAMES MICHAEL KELLEY	1523114000	08/22/22 1.15	1855 2258	RES IMP	\$ 229,138	\$ 97,552	42.57
00099	MORRIS DEVIN JAMES TINA/JAMES STEPHEN LANE	1205 COLONY PLACE DR 120366000	01/13/22 0.09	1822 2047	RES IMP	\$ 118,866	\$ 33,910	28.53
01026	RICHARDS JOSEPH MICHAEL JAMES TYLER EDWARD/JAMES ELIZABETH	3238 WARE RD 551056000	03/02/22 0.46	1830 993	RES IMP	\$ 80,982	\$ 29,490	36.42
02150	SAMSEL JEREMIAH A AND TONYA M ROFS JAMES WANASEK AND CHRISTINE WANASEK	2700059000	04/22/22 1.51	1838 2322	RES IMP	\$ 205,325	\$ 78,716	38.34
06402	TERRELL L TARVER AND SHERIKA N TARVER JAMIRA WILLIAMS	1603 CHASE CREEK 780176000	09/16/22 0.23	1859 1830	RES IMP	\$ 429,012	\$ 206,516	48.14
03140	UNIVERSAL FUNDING INC JAMISON THOMAS JETER	132134000	05/20/22 0.31	1843 1317	RES IMP	\$ 244,886	\$ 68,758	28.08
07930	RUTH P HODGES JANE ADAMS	3126 GREENSBORO 530126000	12/02/22 0.44	1868 1540	RES IMP	\$ 171,553	\$ 57,460	33.49
07245	AMERSON MITCHELL EARL JANETTE G JESTER	110153000	10/26/22 0.82	1864 698	RES IMP	\$ 210,258	\$ 53,9	25



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05832	GOLDMAN DEBRA WILLIAMS JANEY G HALL	3380035000	09/02/22 0.92	1857 1592	RES IMP	\$ 91,999	\$ 34,472	37.47
01557	ANDERSON KERRY D JANICE JOHNSON	1320518000	03/18/22 0.30	1833 256	RES IMP	\$ 145,720	\$ 51,284	35.19
02405	FRANK E MCWILLIAMS JASMINE ROLAND	1540335000	04/13/22 0.42	1837 1416	RES IMP	\$ 137,947	\$ 42,578	30.87
00281	POUNDS TONY M SR ROFS/LIZZIE A FOWLER JASON HARRIS	1530556000	01/13/22 0.38	1822 2367	RES IMP	\$ 120,450	\$ 47,892	39.76
05823	PAUL A STEPHENS JASZMINE L MCGRADY	1424120000	08/29/22 0.24	1856 2081	RES IMP	\$ 231,713	\$ 77,752	33.56
00234	MCZILKEY DALE EDWARD JAY A STONEHOCKER AND GAIL R	2330022010	01/10/22 1.18	1822 1069	RES IMP	\$ 218,341	\$ 75,151	34.42
02477	JOHN T MARCUS AND CHARITY D MARCUS JAY ISON MORGAN	1315 WINTER 442229000	04/14/22 0.24	1837 1324	RES IMP	\$ 202,148	\$ 84,615	41.86
05666	GROCE CHRISTPHER W JEAN COOK AND BAYON K COOK AS JOINT	4310 SANDERLING DR 1672026000	08/24/22 0.22	1856 562	RES IMP	\$ 180,221	\$ 64,438	35.75
00428	JANET H MUNS JEANETTE PELLOT ORTIZ	740 RIVERFRONT 760050000	01/28/22 0.03	1825 347	RES IMP	\$ 264,257	\$ 80,851	30.60
07875	HUBBARD AMANDA HENDERSON JEFF NORDIN AND TATUM NORDIN JTWROS	1507 HEATH 443186010	11/28/22 0.09	1867 2554	RES IMP	\$ 197,385	\$ 79,258	40.15
00502	TOUCHSTONE JANET L FRAZIER JELEESA ALLISON R BAIN	1430760000	01/28/22 0.31	1826 503	RES IMP	\$ 166,286	\$ 49,356	29.68
04929	HASHAMI WAHEDDA JENKINS ASHANTI	2141 GATEWOOD DR 864167000~LOT 20, BL. A, LOMBARD	07/28/22 0.28	1852 2581	RES IMP	\$ 131,304	\$ 32,791	24.97
03253	SHARPE DAVID Z/ALLEN STACIE C JENNIFER E KRIETE	38 INNISBROOK 162204000	05/19/22 0.08	1842 2233	RES IMP	\$ 110,519	\$ 41,277	37.35
03977	GILPIN BRANDON S JENNIFER LADD	1660352000	06/10/22 0.44	1846 1412	RES IMP	\$ 122,353	\$ 45,282	37.01
06016	RSY DON A JENSEN CHRISTOPHER K	1990142000	08/26/22 0.15	1857 1846	RES IMP	\$ 102,984	\$ 56,920	55.27
01702	JOHNSON JANIE MAE JEREMIAH WELCH III	113250000	03/17/22 0.35	1833 180	RES IMP	\$ 221,115	\$ 66,276	29.97
00659	MICHELLE L MATTHEWS JEREMY B CERF	1070894000	02/11/22 0.15	1827 1821	RES IMP	\$ 119,550	\$ 30,065	25.15
01249	ABRAHAM TORRALVA AND KARLI JEREMY EVERETT AND MEGGAN OEHLKE	1533054000	03/01/22 0.25	1830 459	RES IMP	\$ 219,310	\$ 78,385	35.74
03842	PEACHY FAB PROPERTIES LLC JEREMY RICHARDSON	1190293000	06/13/22 0.24	1846 2707	RES IMP	\$ 126,903	\$ 47,562	37.48
06867	GOODHAND BRAD A JERRY H AYERS AND PATRICIA R AYERS	1814001000	10/14/22 3.10	1862 2764	RES VAC	\$ 15,018	\$ 7,290	48.54
01054	TWANDA T PARKS JERRY ST CLAIR AND SHELBY JEAN ST CLAIR	1433009000	03/04/22 0.22	1830 1803	RES IMP	\$ 171,208	\$ 61,590	35.97
02879	GERARD A ANAYA JESSE L MANGRUM	2933 GALAHAD 403047000	05/06/22 0.22	1841 509	RES IMP	\$ 193,828	\$ 87,754	45.27
02611	BAIROS SEAN C AND AMBER JESSI LHOWE	1322207000	03/10/22 0.23	1839 1787	RES IMP	\$ 194,964	\$ 60,898	31.24
02058	CRAIG RICHARD Z III JESSICA K LITAVEC AND ANDREJA LITAVEC AS	140063000	04/07/22 0.13	1836 858	RES IMP	\$ 194,118	\$ 48,676	25.08
06021	MARIANNA D WILLIAMS JETT L MCCULLOUGH AND MARY LYNN	827 MILLEDGE 344076120	09/07/22 0.08	1858 393	RES IMP	\$ 160,912	\$ 51,059	31.73
04359	CHARLES R DARRACOTT III AND SHIRLEY H JILL J KELLY	307 SANDY RUN 162044000	06/30/22 0.44	1848 2419	RES IMP	\$ 224,847	\$ 73,527	32.70
06077	ROY DAVID M JILLELLA ANAND P/JILLELLA HANNAH M	1438 ANTHONY RD 444004000	09/15/22 0.26	1859 150	RES IMP	\$ 403,266	\$ 149,186	36.99
00067	MIRIAM R MONTOYA JKV HOMES LLC	2832 GLEN HILLS 843236000	01/06/22 0.19	1821 1812	RES IMP	\$ 138,353	\$ 49,392	35.70
00248	MELTHAN LLC JKV HOMES LLC	2123 GATEWOOD 864177000	01/07/22 0.29	1822 1700	RES IMP	\$ 109,480	\$ 42,600	38.91



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00271	WILKINS VALERIE JKV HOMES LLC	1180264000	01/13/22 0.19	1823 1041	RES IMP	\$ 118,866	\$ 39,426	33.17
02304	3250 AUGUSTA LLC JMCG DEANS BRIDGE RD LLC	3250 DEANS BRIDGE RD 1080449000	03/16/22 1.41	1837 149	COM IMP	\$ 579,232	\$ 226,983	39.19
00250	HANLIN DONALD E ROFS/DANNE J GOODWIN JOANNA GARCIA	1322015000	01/18/22 0.28	1823 1966	RES IMP	\$ 196,582	\$ 65,984	33.57
04458	JEWEL COLEMAN LEWIS PITTMAN FKA JEWEL JOAO CARLOS NUNES DA CRUZ	24 INNISBROOK 162211000	06/30/22 0.08	1848 2402	RES IMP	\$ 145,893	\$ 43,396	29.75
00565	GENE THOMAS SMOAK JOAQUIN CARMONA AND GLORIA CARMONA	1640150000	02/11/22 0.34	1827 1990	RES IMP	\$ 208,056	\$ 66,615	32.02
04720	PRICE MICHAEL DAVID-RAY/ANGEL JOEY B GASKIN SR AND TAMERA DIANE	2700148000	07/21/22 0.86	1851 1818	RES IMP	\$ 240,295	\$ 87,583	36.45
06592	ANN BETH STRELEC JOHN C MCKNIGHT AND MARY ALICE	936 BROAD 373247000	10/03/22 0.02	1861 1681	RES IMP	\$ 214,549	\$ 89,997	41.95
05570	WOLF SAMANTHA ANN CAIN ROFS/JAMES JOHN CHAUNCEY BRIGGS AND NATALIE	9028 BREVARD 653248000	08/19/22 0.18	1855 2369	RES IMP	\$ 257,030	\$ 98,888	38.47
04801	DAY JANET C JOHN E DAVIS AND MARY DAVIS	43006000	07/22/22 5.18	1852 29	RES IMP	\$ 240,295	\$ 74,831	31.14
00393	LOTT JOE H JR AND PAULINE H JOHN HONEYBLUE	1300843000	01/13/22 0.26	1825 1323	RES IMP	\$ 158,487	\$ 53,722	33.90
07049	BEULAH G BYRD AKA BEULAH C BYRD JOHN LARRY LORD	504 MILLEDGE 351191000	10/31/22 0.28	1864 2635	RES IMP	\$ 171,639	\$ 66,401	38.69
01293	TENIOLA IDRIS TAIWO JOHN ROBERT MARTIN AND BRITTA WHITE	3011 CREEK VIEW 162084000	03/11/22 0.07	1832 215	RES IMP	\$ 156,977	\$ 38,403	24.46
05384	ALISON R HOUSTON AND CHARLES G JOHN ROBERT MARTIN AND BRITTA WHITE	2798 HENRY 332371000	08/05/22 0.38	1854 1	RES IMP	\$ 347,569	\$ 153,701	44.22
01783	RANJANBALA S AMIN AND SHASHIKANT N JOHNNIE M WILSON	69 MONTEBELLO 162169000	03/28/22 0.07	1834 2432	RES IMP	\$ 144,405	\$ 38,540	26.69
07415	VARNADO REGGIE A II JOHNSON CHICO LAVETTE	2898 RASHA DR 950451000	11/01/22 0.18	1865 2087	RES IMP	\$ 74,848	\$ 46,675	62.36
00909	BERGER AND SMITH LLC JOHNSON DANIEL	1633 GORDON HWY 862153010~PARCEL C	02/24/22 3.36	1829 526	COM IMP	\$ 1,203,806	\$ 492,158	40.88
05119	M E INVESTMENTS INC JOHNSON DARON DEMETRIUS/JOHNSON	3245 HWY 88 2230002160-LT 10	08/03/22 2.17	1854 1686	AGR VAC	\$ 19,612	\$ 10,608	54.09
04337	VANN J MARSHALL JOHNSON EMILY HAGLER/JOHNSON JR	3050 HILLSDALE DR 331012000~14, D	07/05/22 0.47	1849 56	RES IMP	\$ 514,918	\$ 131,811	25.60
02682	JANELLE RONALD C JR JOHNSON FLIP REAL ESTATE INVESTMENTS	853256000	04/27/22 5.18	1839 2243	RES IMP	\$ 45,431	\$ 15,084	33.20
07221	ST CLAIR KATHRYN B HYLTON JOHNSON III JAMES F/JOHNSON COURTNEY	1402 MAGNOLIA DR 431110000~LOT 11, FOREST HILLS	11/02/22 0.92	1865 477	RES IMP	\$ 677,975	\$ 297,461	43.87
06753	WASHINGTON LAURA L SPRUILL JOHNSON KATRINA NICOLE	1431005000	10/14/22 0.19	1862 2524	RES IMP	\$ 154,475	\$ 60,489	39.16
00521	KONE MELODY ARTIS JOHNSON KEITH	1530082000	01/05/22 0.46	1826 1034	RES VAC	\$ 12,560	\$ 4,467	35.56
01708	BRITT DOVAIN JOHNSON KENNETH W	2414 PENNYHILL DR 864164000	03/31/22 0.30	1834 2656	RES IMP	\$ 125,535	\$ 30,925	24.63
00783	W S HARRIS AND ASSOCIATES INC JOHNSON REGINALD V/JOHNSON SHELETTE R	3964 510177000	02/02/22 0.46	1828 750	RES IMP	\$ 397,270	\$ 131,056	32.99
03029	JONES CATHERINE H JOHNSON REID J	623 CARLTON 251245000	05/16/22 0.30	1842 931	RES IMP	\$ 205,539	\$ 70,882	34.49
08303	GOLPHIN MICHANDA L BROWN ROFS JOHNSON SYLVONCY L/JOHNSON SYLVONICA	3011 SPRING CREEK DR 1511004000~LOT 6, SPRING CREEK	12/20/22 0.26	1870 2506	RES IMP	\$ 237,720	\$ 101,119	42.54
07695	ARAM L MESINA JOHVONTE F SINGLETON	3333 CUSHENDAL 532124000	11/30/22 0.06	1868 574	RES IMP	\$ 148,897	\$ 45,574	30.61
04357	ADRIAN STANFORD JANIT JONATHAN ANDERSON	2528 TUPELO 261066000	06/30/22 0.09	1848 2525	RES IMP	\$ 304,660	\$ 101,882	33.44
00822	KIMBERLEY A KESTERKE JONATHAN BROCHINSKY	1442 JOHNS 443105000	02/15/22 0.17	1828 336	RES IMP	\$ 217,024	\$ 65,8	30.31



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Sample	Seller Purchaser / Owner	Street-Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
00288	MARY D BROWNING JONATHAN DANIEL MCNEAL	132052000	01/21/22 0.37	1824 215	RES IMP	\$ 183,069	\$ 67,298	36.76
08002	WRIGHT CURTIS A JONATHAN LEE SALINAS	1180383000	12/09/22 0.38	1868 2788	RES IMP	\$ 165,632	\$ 49,180	29.69
03491	JOSEPH COARD JR AND HENRIETTA COARD JONATHAN R ROWLING AND TIMOTHY	1426 SPRINGFIELD 411106000	05/31/22 0.25	1844 940	RES IMP	\$ 180,775	\$ 44,021	24.35
08597	JONES ALFRED JR	114 PLEASANT HOME RD 100060000	0.46		COM IMP	\$ 510,831	\$ 223,848	43.82
05068	FA PROPERTIES LLC JONES ANNESIA L	1975 HOWARD AVE 451075000	07/25/22 0.29	1853 349	RES IMP	\$ 193,094	\$ 67,640	35.03
06505	CARUSO DRAKE JONES ANTON/ROBINSON SYMONE	1434 ISSAC WAY 1521022000-3, T	09/30/22 0.28	1861 460	RES IMP	\$ 244,586	\$ 87,846	35.92
02401	MERRY EARL H JONES CECILIA BEAUFORT/JONES JR RONALD	603 REGENT RD 241030000	04/14/22 0.50	1837 562	RES IMP	\$ 519,154	\$ 143,118	27.57
02364	RENDITION PROPERTIES LLC JONES CHARISSA S/THE JONES GROUP	403 WARREN RD 171093000	04/08/22 0.46	1837 73	RES IMP	\$ 108,983	\$ 39,189	35.96
02791	ROY L WIREMAN JONES GODLEY PROPERTIES LLC	1080276000	05/06/22 0.26	1840 2740	RES IMP	\$ 40,569	\$ 24,032	59.24
00692	JOE HOUSTON AND VIVALORIA HOUSTON JONES JONATHAN RODRIGUEZ	613 BRANSFORD 331138000	02/04/22 0.26	1827 218	RES IMP	\$ 97,321	\$ 36,836	37.85
03857	HOLLAND MELVIN A III JONES LEVI	2510075000	06/13/22 0.45	1846 1646	RES IMP	\$ 165,602	\$ 52,656	31.80
08602	JONES WILLIAM M III	2024 GARDNER ST 351290000	0.19		COM IMP	\$ 62,229	\$ 21,736	34.93
03291	DOZIER RAICO JORDAN JR NAPOLEON	3516 BROCKDALE DR-6 1430848000-B	05/19/22 0.22	1842 2629	RES IMP	\$ 115,867	\$ 52,942	45.69
07504	RASHAD S ROBERTS JORDAN M CROUSE	1770086000	11/09/22 0.43	1866 507	RES IMP	\$ 197,385	\$ 80,392	40.73
01267	KIEU MY THUAN THI JORDAN QUANTIZ F	4471 ETTERLEE RD 1750021000-TRACT 30, SEC 3, PART 3,	02/25/22 2.81	1831 759	RES IMP	\$ 94,710	\$ 39,727	41.95
00372	WALKER JOSEPH A JORDAN RANDY STUART	113213000	01/25/22 0.22	1824 2710	RES IMP	\$ 186,408	\$ 47,764	25.62
04129	DRAKE A RUDOLPH JOSEF D TRACY	2216 MONTCLAIR 571188000	06/27/22 0.42	1848 842	RES IMP	\$ 160,925	\$ 46,328	28.79
03433	ZHIXING YAO AND KYRA SCHMIDT JOSEPH COARD JR AND HENRIETTA COARD	3419 HEATHER 323023000	05/31/22 0.40	1844 2377	RES IMP	\$ 291,004	\$ 110,836	38.09
06538	WILLINGHAM TOMICA W JOSEPH TERRELL/JOSEPH VALERIE	2466 MADRID DR 940013000	09/27/22 0.25	1861 947	RES IMP	\$ 51,492	\$ 26,031	50.55
06593	HARWOOD WALTER H III JOSEPH WILLIAM SAXON AND ROBIN	131170000	10/07/22 0.10	1862 278	RES IMP	\$ 170,781	\$ 66,161	38.74
02261	EMAD FRANCIS JOSEPHINE DAWN WILLIAMS	1240 JAMES BROWN 592836000	04/18/22 0.22	1838 323	RES IMP	\$ 108,511	\$ 30,898	28.47
06820	BISHOP DONIESHA K JOSHUA A SHARPE AND MADISON LANE	1533052000	10/14/22 0.24	1862 1578	RES IMP	\$ 227,422	\$ 80,907	35.58
07324	PRICE CHRISTOPHER FRANKLYN VLCEK JOSHUA DETCHEMENDY	3118 EXETER 242177000	11/04/22 0.38	1865 1239	RES IMP	\$ 172,497	\$ 92,519	53.64
07584	CARRINGTON PHILLIP AND MARY J JOSHUA RASHAUN JACKSON AND TASHERRIE	1290462000	11/17/22 0.26	1866 2774	RES IMP	\$ 165,632	\$ 57,384	34.65
06188	JONES DEBRA S AND WALTER C JOSHUA T KLOCK-WALD	3233 PENINSULA 403110000	09/21/22 0.21	1859 2549	RES IMP	\$ 197,385	\$ 71,435	36.19
07427	ROBERTS LAUREN H JOSUE GABRIEL HERNANDEZ MEJIA	3308 QUAKER SPRING 160225000	11/11/22 0.29	1865 2701	RES IMP	\$ 199,960	\$ 69,128	34.57
01038	VENA BIJOUX JUAN A PENA	1433055000	02/26/22 0.20	1829 1744	RES IMP	\$ 159,537	\$ 70,843	44.41
08396	MCDADE MONIQUE GRACE M JUAN MANUEL GUTIERREZ NAVARRO	654070000	12/28/22 0.15	1871 94	RES IMP	\$ 266,041	\$ 109,126	41.02
03278	BURTON CARRIE B JULIA J BUSSEY	950240000	05/16/22 0.32	1842 1240	RES IMP	\$ 144,056	\$ 50,000	34.5



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04483	ROBERTS CAROLYN D JULIE S FELTON AND FRANCES JULIE FELTON	827 MILLEDGE 344076100	07/11/22 0.08	1849 2785	RES IMP	\$ 171,553	\$ 51,552	30.05
01785	ARTHA TECHNOLOGIES LLC JULIUS G HARDEN AND VERA L HARDEN AND	1817 KISSINGBOWER 573137000	03/28/22 0.48	1834 2476	RES IMP	\$ 163,144	\$ 37,483	22.98
07969	WHITE LEERAVEN R JULIUS W FAIR SR AND DELISE FAIR JTWROS	1406 LEIGH 303382000	12/09/22 0.05	1869 566	RES IMP	\$ 188,803	\$ 77,105	40.84
01607	HAYES WILLIAM T JR JULIUS WILSON FAIR SR	864030000	03/18/22 0.26	1833 937	RES IMP	\$ 79,911	\$ 25,770	32.25
08607	JULY KISS CO INC	1773 KISSINGBOWER RD 573089010	0.47		COM IMP	\$ 229,446	\$ 75,922	33.09
05244	PATTERSON MIKA M LINDSEY JUNTUNEN JASON JAMES	140090000	07/27/22 0.24	1853 1529	RES IMP	\$ 187,087	\$ 62,358	33.33
08196	AUDREY A SELKING KAITLIN M CARTER	1623 WINTER 571111000	12/20/22 0.24	1870 1316	RES IMP	\$ 150,184	\$ 48,478	32.28
01266	DOVE ADAM NEIL KAMPS JESSE/KAMPS JULIA GUYTON	2229 KIMBERLY DR 571150000~LOT 95, LYNDON GROVE	02/25/22 0.30	1831 780	RES IMP	\$ 210,468	\$ 72,540	34.47
01445	COPING BARBARA S KANG SOONIM	2341 WALDEN 564086000	02/22/22 0.64	1831 990	RES IMP	\$ 182,217	\$ 52,308	28.71
06462	GONZALEZ RAFAEL A GERALDO KANTHITA HOUSE	1530092000	09/28/22 0.46	1860 2683	RES IMP	\$ 163,057	\$ 52,155	31.99
05888	BROWN SHALONDA T ROFS/JOHNSON MELVIN KARL MELVIN HARRIS II	1520589000	08/31/22 0.28	1857 986	RES IMP	\$ 189,661	\$ 77,765	41.00
03596	REBECCA PRICE BEARDEN KATHERINE LOCHIAOOT AND ELIZABETH	3053 ABBA 303153000	06/03/22 0.06	1845 721	RES IMP	\$ 136,317	\$ 49,926	36.62
00586	DANNY W HAYWOOD JR KATHRYN HAMM	943 BEMAN 452013000	02/11/22 0.14	1827 948	RES IMP	\$ 79,378	\$ 38,249	48.19
03055	ALEX R HUX III AND ALEXANDRA G HUX KATRINA BUCZKOWSKI AND BRENDAN	3315 OAKRIDGE 412020000	05/13/22 5.18	1842 697	RES IMP	\$ 156,802	\$ 58,775	37.48
04673	FLY CHRISTOPHER A KAUR BALVEEN	1231 GLENN AVE 334205000	07/22/22 0.36	1851 1991	RES IMP	\$ 682,266	\$ 204,602	29.99
01673	PURPLE HEART HOMES INC KAURI'S CORNER LLC	724064000	03/22/22 5.18	1833 2245	RES VAC	\$ 3,279	\$ 880	26.83
06185	STEPHEN GRIFFIN KAYLA DANIELLE WADFORD	859 KATHERINE 201200000	09/16/22 0.25	1859 1888	RES IMP	\$ 128,729	\$ 33,943	26.37
02081	SPRADLIN ALISON M KEARNEY AMANDA	2026 CATON DR 303191000~LOT 13, BLK B, ST. GEORGES	04/01/22 0.09	1836 1325	RES IMP	\$ 153,301	\$ 52,019	33.93
01376	MERCADO-MICHEL IRACELIS KECO ARBER/KING CATHERINE STILLEY	26 MULBERRY 172009000	03/16/22 0.10	1832 1512	RES IMP	\$ 273,000	\$ 82,623	30.26
03218	ENTREKIN JOSEPH CAMERON KEENUM-FELKER DAWN LARAY	2326 REDWOOD DR 262158000~27	05/20/22 0.42	1842 2719	RES IMP	\$ 146,932	\$ 64,373	43.81
04012	WHITE KADESH J ROFS/DESTENI C KEISHA LEE	800068000	06/17/22 5.18	1847 871	RES IMP	\$ 238,733	\$ 92,169	38.61
05143	BENJAMIN COUNCIL SR KEITH JOHNSON	1540204000	08/12/22 0.40	1854 1699	RES VAC	\$ 6,866	\$ 2,960	43.11
01552	DOEDEN RENEE KELKER JOAN EDWARDS/KELKER PAUL	2718 BOARS HEAD RD 60259000~9, A	03/18/22 0.63	1832 2332	RES IMP	\$ 321,524	\$ 129,198	40.18
03105	LEVALLE NICOLE D KELLEY KEITCHA	2570 ANTHONY DEJUAN PKWY 1530255000	05/11/22 0.37	1842 1409	RES IMP	\$ 146,502	\$ 33,396	22.80
00701	COLEMAN SANDRA D KELLY PATRICIA ANN	2733 FAWN DR 1190292000	02/11/22 0.28	1827 2065	RES IMP	\$ 103,447	\$ 23,771	22.98
05330	DB ESTATES LLC KELLY VU	73030000	08/05/22 0.05	1853 2268	RES IMP	\$ 141,602	\$ 34,560	24.41
05649	KHATOD NEIL KUMMAN KELTNER KYLE P/KELTNER KAYLA A	3358 SUGAR MILL 170125000	08/22/22 0.21	1856 464	RES IMP	\$ 245,873	\$ 88,933	36.17
03521	EUGENE B COX AND FITMA A COX KELVEY WHITENER	1803011000	06/07/22 0.21	1845 1754	RES IMP	\$ 315,386	\$ 158,474	50.25
00638	DOZIER ROGER KENNEBREW JONATHAN	3821 NICOLL DR 1700073000~LOT 11, BLK D, SEC 3,	02/04/22 0.26	1827 1114	RES IMP	\$ 126,031	\$ 42,3	33.58



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02016	BEARD ZABIAN AND JENNIFER DENISE KENNETH A GEORGE	1433094000	04/01/22 0.26	1835 2761	RES IMP	\$ 211,834	\$ 79,544	37.55
05364	CONYERS RUTHIE M KENNETH HARPER	1200512000	08/10/22 0.22	1854 756	RES IMP	\$ 122,293	\$ 33,003	26.99
00587	BRIAN HALL KENNETH L FULLER	112 RIVERBEND 760023000	02/11/22 0.03	1827 921	RES IMP	\$ 246,764	\$ 82,803	33.56
01146	CHADWICK CHRISTOPHER/DEBORAH KENNETH LAMAR NELSON	301 CALVARY 714127000	02/24/22 0.31	1829 1999	RES IMP	\$ 99,576	\$ 23,264	23.36
00286	ANTONIA MYERS KENYA COOK	1804008000	01/18/22 0.35	1823 2015	RES IMP	\$ 244,679	\$ 85,828	35.08
06184	CRIGER KENNETH A KETURAH STEWART AND GLENN PALMER	2326 CENTRAL 441257000	09/16/22 0.17	1859 1921	RES IMP	\$ 286,637	\$ 78,032	27.22
02725	KRISTIN KIRBY HARTLEY KEVIN BENDERMAN	1222226000	05/02/22 0.26	1840 1212	RES IMP	\$ 112,180	\$ 37,938	33.82
07096	PRESTIGE REAL ESTATE WORLDWIDE KEVIN BOZADA	120210000	10/31/22 0.11	1864 2785	RES IMP	\$ 78,954	\$ 26,953	34.14
06329	MATTHEWS SARAH K SMITH ROFS KEVIN BOZADA	124017000	09/23/22 0.09	1860 1885	RES IMP	\$ 193,094	\$ 57,484	29.77
01248	BRITNI P WATTS AND THOMAS K WATTS III KEVIN MCKERLEY AND AARON FERA JTWROS	2414 MOHICAN 262037000	02/24/22 0.26	1830 499	RES IMP	\$ 248,939	\$ 84,195	33.82
05018	COLLEEN L FLEMING KEVIN PICKERING AND JAIME WEBER-	314132000	07/28/22 1.00	1852 2423	RES IMP	\$ 188,803	\$ 55,627	29.46
04144	MARCIA HUFF KEVIN W MCKERLEY AND AARON L FERA	905 EISENHOWER 192042000	06/21/22 0.23	1847 2381	RES IMP	\$ 189,411	\$ 70,593	37.27
01166	LINDA H KEY AND PATRICIA A HERRINGTON KEYANNA SMITH	1410 LEIGH 303384000	02/25/22 0.05	1830 355	RES IMP	\$ 189,421	\$ 75,820	40.03
04001	GARDEN CITY CAPITAL LLC KEYSER BRIAN A/KEYSER BETH L	1973 SANFORD COURT 712184000	06/10/22 0.16	1847 1008	RES IMP	\$ 67,294	\$ 15,875	23.59
06585	CROWELL CO INC KEYSTONE HOMES INC	214 HUMBERSIDE 673049000~7 BL J	09/02/22 0.21	1861 1793	RES VAC	\$ 48,917	\$ 18,000	36.80
06586	CROWELL CO INC KEYSTONE HOMES INC	2006 MERIDIAN 673047000~47 BL F	09/02/22 0.22	1861 1778	RES VAC	\$ 48,917	\$ 18,000	36.80
07062	CROWELL CO INC KEYSTONE HOMES INC	4005 COTTINGHAM 673055000~LOT 13 BLOCK J GRANITE	10/18/22 0.22	1864 217	RES VAC	\$ 48,917	\$ 18,000	36.80
07194	CROWELL CO INC KEYSTONE HOMES INC	4001 COTTINGHAM 673056000~LOT 14 BLOCK J GRANITE	10/18/22 0.27	1863 1678	RES VAC	\$ 48,917	\$ 18,000	36.80
06565	CROWELL CO INC KEYSTONE HOMES INC	673085000~4L GRANITE HILL	06/27/22 0.24	1861 1112	RES IMP	\$ 49,052	\$ 18,000	36.70
01342	RAND-CAMPBELL AMANDA KHAN HAMMAD	1721 ELIZABETH 303404000	02/23/22 0.05	1831 2246	RES IMP	\$ 148,528	\$ 49,967	33.64
03665	THOMAS NATASHA M/MICHAEL A KIARA BROWN AND DESHAW BROWN	800098000	05/31/22 5.18	1844 1619	RES IMP	\$ 248,676	\$ 96,860	38.95
06104	FELTON JULIA MAE S KIM CAMPBELL	2140049000	09/12/22 0.47	1858 1944	RES IMP	\$ 250,593	\$ 65,216	26.02
05448	JOHNSON JASMINE C KIM YIRANG/SONG HOSEOK	325 WHITNEY PL 220186000~LOT 7, BLK B, WHITNEY	08/05/22 0.05	1854 2573	RES IMP	\$ 134,308	\$ 60,787	45.26
03649	LONG FAYE C KLOSINSKI SCOTT J	827 MILLEDGE 344076210	05/20/22 0.07	1845 1578	RES IMP	\$ 146,932	\$ 46,791	31.85
00083	DONNAN MAXWELL W KNIGHT DONNA/KNIGHT AMOS L	304 GARDNERS MILL 171018000	01/11/22 0.30	1822 2135	RES IMP	\$ 221,243	\$ 59,792	27.03
07608	JENNINGS JENNIFER R KNIGHT SR DONTE J	2622 OAKLAND 332348000	11/16/22 0.85	1866 1699	RES IMP	\$ 123,752	\$ 60,648	49.01
00214	NIXON KARYN C KNOX JR JEFFERSON BOONE AIKEN/KNOX	12 INDIAN CREEK RD 254184000	01/19/22 0.48	1823 1423	RES IMP	\$ 765,982	\$ 229,890	30.01
08563	SHARIF AJMAL KNOX REAL ESTATE LLC	104 WINDSONG CIR 70212000	12/30/22 0.09	1873 2593	RES IMP	\$ 73,633	\$ 22,261	30.23
05419	LYUBOV ABRAHAM KORDORSKY JOSEPH J/KORDORSKY DOREEN	150107000	08/17/22 0.14	1855 359	RES IMP	\$ 180,221	\$ 58,1	5



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03863	BMH H LP KOREAN ASSOCIATION OF AUGUSTA INC	3109 DEANS BRIDGE RD 962206000	06/14/22 5.18	1846 2083	COM IMP	\$ 350,850	\$ 136,160	38.81
01276	MILLER BLAKE ANDREW KRANENBURG JACOB R/KRANENBURG KAYLA	2403 PONDEROSA DR 143011000	03/04/22 0.37	1831 515	RES IMP	\$ 253,103	\$ 68,624	27.11
02931	PARKER GREGORY A KRISHNAN VIKRAM	143010000	04/26/22 0.33	1841 2379	RES IMP	\$ 172,787	\$ 62,598	36.23
07073	DEVAN M PRAYMOUS KRISTA BENNETT AND JOSHUA BENNETT AS	3052 ASHLEY 640144000	10/28/22 0.20	1864 990	RES IMP	\$ 259,604	\$ 97,138	37.42
05639	TERRY LEE MUSSELWHITE AKA TERRY LEE KRISTIN STRUPP HELMUS AND VINCENT	8018 REAGAN 303266000	08/23/22 0.07	1856 840	RES IMP	\$ 136,024	\$ 52,262	38.42
04704	HELEN YARBROUGH KRISTINA YARBROUGH	972047000	07/15/22 5.18	1851 598	RES IMP	\$ 72,947	\$ 33,927	46.51
00167	YOUNG LESTER SHINCHEN KRUEGER JOY G/KRUEGER JAMES RUSSELL	3404 WALTON WAY 321012000	01/24/22 1.01	1823 2624	RES IMP	\$ 1,865,573	\$ 538,122	28.84
05952	CAPUY HALBERT C KUTTY SHELBY/SHIVARAM KETAN/SHIVARAM	2323 GREENGATE DR 161008000--LOT 12, BLK A, GREENGATE	09/01/22 0.09	1857 1912	RES IMP	\$ 120,147	\$ 35,848	29.84
07602	TARVER MAYE ALICE KWADEY PAMELA RENA	1190068000	10/26/22 0.27	1866 1461	RES IMP	\$ 126,584	\$ 40,849	32.27
02015	WHITNEY A LIVESAY KYLE NULTY	790112000	03/31/22 5.18	1835 2735	RES IMP	\$ 255,719	\$ 95,678	37.42
00424	PARR TOMMY LAB PROPERTIES INC A GEORGIA	5119 WHEELER LAKE RD 402282000	01/28/22 0.13	1824 2507	RES IMP	\$ 156,597	\$ 61,471	39.25
02193	CHILDERS CATHERINE A LADELL PETER WILLIS JR AND SHERRELL D	1980093000	04/15/22 0.34	1837 2251	RES IMP	\$ 211,156	\$ 68,471	32.43
04106	DOROTHY E WELLS LAFFY TAFFY PROPERTIES LLC	1807 MCDOWELL 451326000	06/27/22 0.17	1848 259	RES IMP	\$ 94,662	\$ 36,524	38.58
01899	KOUAME GAIL LAFFY TAFFY PROPERTIES LLC	1744 DREXEL 573065000	03/04/22 0.30	1834 584	RES IMP	\$ 146,478	\$ 46,346	31.64
03661	COLEMAN BOBBY E LAFFY TAFFY PROPERTIES LLC	1616 CENTRAL AVE 454064000	05/17/22 0.16	1845 833	RES IMP	\$ 71,429	\$ 31,084	43.52
03745	JEREMY MARTIN AND SHANNON MARTIN LAFFY TAFFY PROPERTIES LLC	2003 LANIER 581009000	06/09/22 0.22	1846 222	RES IMP	\$ 104,969	\$ 28,865	27.50
03789	EARL L EUBANKS SR LAFFY TAFFY PROPERTIES LLC	2242 WALDEN 573015100	06/08/22 0.32	1846 262	RES IMP	\$ 91,930	\$ 21,619	23.52
03732	SHAW EMMA LAFFY TAFFY PROPERTIES LLC	1306 BEMAN ST 454047000--PARCEL B	05/26/22 0.16	1846 416	RES IMP	\$ 142,166	\$ 32,465	22.84
01301	SCENIC LAND HOMES LLC LAFFY TAFFY PROPERTIES LLC	504 HEARD 351285000	03/02/22 0.16	1831 1850	RES IMP	\$ 161,964	\$ 55,486	34.26
04272	ALEXANDER C HOWARD SR AND SANDRA C LAFFY TAFFY PROPERTIES LLC	1091026000	06/30/22 0.17	1848 1660	RES IMP	\$ 106,845	\$ 30,005	28.08
07660	CLEMENTS KIMBERLI C LAFFY TAFFY PROPERTIES LLC	2426 APRICOT 192096000	11/23/22 0.34	1867 964	RES IMP	\$ 184,383	\$ 90,930	49.32
04276	LEAHANN E DAHL NKA LEAHANN E MILLER LAFFY TAFFY PROPERTIES LLC	3325 TANGLEWOOD 412076000	06/30/22 0.25	1848 1722	RES IMP	\$ 124,438	\$ 64,972	52.21
03183	WILLIAMS DANIEL M LAFRANCE ROBERT H	2121 MCDOWELL ST 442032000	05/25/22 0.19	1843 2022	RES IMP	\$ 221,639	\$ 79,579	35.90
05787	HOUK JESSICA LAMB CHRISTOPHER ERIC	2132 WILLHAVEN DR 654062000	08/05/22 0.15	1857 1147	RES IMP	\$ 270,246	\$ 120,910	44.74
05002	DUNN TIMOTHY R LAMONS REUBEN ALLEN	2135 WHITNEY SOUTH DR 571217000	07/05/22 0.11	1853 366	RES IMP	\$ 115,856	\$ 48,592	41.94
04659	R2D2 LLC LAMPKIN KEISHA	616 BEAUFORT AVE 611287000	07/08/22 0.16	1850 2225	RES IMP	\$ 81,529	\$ 24,212	29.70
00485	BELL BARBARA RENEE LANDIS PROPERTIES II LLC	1416 SPRINGFIELD 411101000	02/04/22 0.24	1826 473	RES IMP	\$ 168,366	\$ 40,129	23.83
04152	WINDLEY PROPERTIES GA LLC LANPHEAR MICHAEL LEON/HAMED KHALED	2234 LEE ST 443278000	06/29/22 0.26	1848 975	RES IMP	\$ 146,027	\$ 46,661	31.95
06112	CRESPO ALBERTO JR LAPAN MELVIN/LAPAN ANNIE	228 THREAD NEEDLE 171123000	09/12/22 0.51	1858 2649	RES IMP	\$ 295,134	\$ 124,000	41.67



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03825	TICE BRUCE AND TERESA LARON MARCEL CHURCHWELL	1223040000	06/13/22 0.45	1846 1044	RES IMP	\$ 161,680	\$ 52,672	32.58
01475	VETTED INVESTMENTS ACQUISITIONS LLC LARRY L MCCORD	116 COURTLAND 612186000	03/15/22 0.23	1832 323	RES VAC	\$ 6,786	\$ 1,600	23.58
03380	WILLIE CLYDE BRIGHT LARRY L MCCORD	152 MCELMURRAY 612202000	05/31/22 0.29	1844 230	RES VAC	\$ 7,055	\$ 1,600	22.68
02641	POSS SARA WALDEN LARSEN TYLER	2823 BRICKRUN WAY 131256000~LOT 13 ALEXANDER	04/26/22 0.06	1840 735	RES IMP	\$ 180,971	\$ 63,352	35.01
04942	BROWN ROBERT JAMES LASHANA ROGERS AND DAMIAND QUIJANO	2790031000	07/29/22 0.52	1852 1879	RES IMP	\$ 156,192	\$ 48,434	31.01
01474	PARKS TERRY DEON/STARNEISHA LASHAY LATARRIEA BURTON AND BRANDON FEW AS	1430725000	03/15/22 0.26	1832 1166	RES IMP	\$ 163,051	\$ 57,584	35.32
02723	LEE SUN BROOKS LATOYA WHITE	1290161000	05/02/22 0.27	1840 465	RES IMP	\$ 167,365	\$ 43,548	26.02
03375	LINEHAN ERIN E LATREMOUILLE RACHEL H	1962 MCDOWELL ST 451352010	05/31/22 0.19	1844 369	RES IMP	\$ 224,867	\$ 79,507	35.36
02792	HUTCHESON WANDA M LAUREN E SEANOR	1322097000	05/06/22 0.78	1840 2750	RES IMP	\$ 202,843	\$ 68,604	33.82
03270	MORGAN T SMITH LAUREN ELIZABETH LINFORD AND JONATHAN	2706 KIPLING 180255000	05/13/22 0.42	1842 1341	RES IMP	\$ 246,313	\$ 69,242	28.11
00329	PEEL HAROLD DAVID AND HOPE B LAUREN FRYER	110091810	01/21/22 0.16	1824 1031	RES IMP	\$ 211,612	\$ 62,693	29.63
05172	GEORGE HARRISON LAURIE B HUDSON	2316 LAUREL 271003000	08/04/22 0.48	1853 1625	RES IMP	\$ 102,984	\$ 36,495	35.44
02862	RUSH ENTERPRISES LLC LAVERY INVESTMENTS LLC	211 PLEASANT HOME RD 100269000~LT 7	05/09/22 0.21	1841 286	COM IMP	\$ 413,656	\$ 111,943	27.06
01134	MCCALL G DANIEL JR LAW DOUGLAS R/LAW GARY J	3211 SKINNER MILL RD 170037000	02/24/22 0.54	1829 1766	RES IMP	\$ 38,298	\$ 17,544	45.81
05999	ABRAHAM ASSOCIATES LEASING LLC A LAW PHILLIP ANTWAN	827 FORSYTHE STREET 602055000	08/19/22 0.17	1858 62	RES IMP	\$ 39,649	\$ 17,488	44.11
05151	LAWERY JR LEWIS LAWRENCE MEI	3347 TANGLEWOOD DR 412005000	08/02/22 0.29	1853 1035	RES IMP	\$ 162,027	\$ 41,910	25.87
04478	KIM WANSOO LAY E-Z LIFE LLC	2318 WALDEN DR 564151010	07/08/22 1.22	1849 2556	COM IMP	\$ 272,707	\$ 97,559	35.77
06870	MARSON OLIVER ANTHONY JR LCS ASSOCIATES LLC	1307 THIRTEENTH ST 591030000	07/14/22 0.21	1863 329	RES IMP	\$ 21,455	\$ 13,590	63.34
03883	HERZBERG JOSEPH W LEASEBONUS COM LLC	501 MILLEDGE RD 342017470	06/15/22 0.09	1846 1956	RES IMP	\$ 95,701	\$ 36,756	38.41
04839	SOX PARKER KIRKLAND LEE VIRGINIA STUART/TRIAL BRIAN RAYMOND	2267 CENTRAL AVE 441186000	07/15/22 0.23	1850 2169	RES IMP	\$ 276,253	\$ 105,708	38.26
06420	EARLENE WYATT AKA EARLENE C WYATT LEESTHER WILLIAMS	1300461000	09/21/22 0.34	1859 2644	RES IMP	\$ 141,602	\$ 51,174	36.14
03186	RAYMOND WINSLOW GOODSPEED AND MARY LEI WANG	3200001120	05/19/22 6.09	1843 603	RES VAC	\$ 26,739	\$ 12,944	48.41
02011	PAJ RETIREMENT FUND LLC LENA CAPITAL GROUP LLC	1549 HEATH ST 443168000	03/24/22 0.07	1835 793	RES IMP	\$ 72,400	\$ 21,232	29.33
06969	SNIPES JUDY J ANN LEON DYERS JR	1990104000	10/20/22 0.15	1864 787	RES IMP	\$ 144,177	\$ 40,478	28.08
02750	HEEMER SCOT A LEWIS ALLEN	790091000	04/22/22 5.18	1840 979	RES IMP	\$ 240,367	\$ 82,485	34.32
00187	STAFFORD COREY C LEWIS CANDACE	1715 OAK RD 572198000~LOTS 48, 49, 50 IN BLOCK C,	01/06/22 0.21	1822 1133	RES IMP	\$ 169,330	\$ 52,294	30.88
01350	REGINALD MASON JR LEWIS G POWERS	1320225000	03/14/22 0.23	1831 2671	RES IMP	\$ 147,151	\$ 44,802	30.45
03771	WEST KESHA L LI FRANKLIN	1136 GEORGE W CRAWFORD 663055000	06/01/22 0.14	1846 112	RES IMP	\$ 277,528	\$ 102,840	37.06
04286	PATEL NILAMKUMAR LIBBY CHRIS S	2811 BRICKRUN WAY 131250000	06/30/22 0.06	1848 2041	RES IMP	\$ 147,610	\$ 63,400	42.90



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04952	JACKS ISAAC LEARY LIGON DALEE	546 WHITEHEAD 253109000	07/11/22 0.31	1852 2039	RES IMP	\$ 175,930	\$ 62,308	35.42
03412	LUCIANO MONTALVO CHRISTIAN J LIM-TOM MARCIA/LIM-TOM CURTIS	1427 CALUMET DR 780190000-LOT 64, BLOCK A, MCCOYS	05/31/22 0.35	1844 1241	RES IMP	\$ 388,005	\$ 155,743	40.14
01801	MATTHEW DAVID SANDERSON LINDA G HENDERSON AND VICTORIA	3332 QUAKER SPRING 160213000	03/25/22 0.30	1834 2411	RES IMP	\$ 223,372	\$ 58,355	26.12
04402	BENJAMIN L HUTTON LINDA J BROWN	414 GOLDFINCH 160075000	07/07/22 0.34	1849 1767	RES IMP	\$ 189,661	\$ 53,353	28.13
04381	MOTEN EDUARDO T LINGENFELTER CURTIS	1390398000	06/30/22 0.77	1849 867	RES IMP	\$ 227,422	\$ 87,050	38.28
04257	OWENS WILLIAM F LIPHAM JOSEPH C	3241 RAMSGATE RD 241058000-9, F	06/29/22 0.45	1848 1074	RES IMP	\$ 219,041	\$ 92,925	42.42
02933	QCC PROPERTIES INC LISTER BROWN LLC	3350047000	05/12/22 2.84	1841 1502	RES IMP	\$ 44,840	\$ 20,459	45.63
06568	MULHERIN CAROLYN B LITCHFIELD KATHERINE DIANNE	1 REID CT 324118000	10/06/22 0.19	1861 2282	RES IMP	\$ 669,393	\$ 233,099	34.82
03425	AMERICAN ADVISORS GROUP LOCKWOOD RODNEY	2301 HARDWICK RD 842189000-20-BLK E	06/01/22 0.34	1844 1704	RES IMP	\$ 95,417	\$ 34,641	36.30
03457	MCBRIDE JESSE A LOGGINS ERIC/LOGGINS OMEEKA P	3180 WHEELER ROAD 244085000-19	05/27/22 0.35	1844 2318	RES IMP	\$ 253,990	\$ 100,096	39.41
01718	SPATES FRANK A LONG JASON H	1529 JOHNS RD 443232000	03/31/22 0.17	1834 2654	RES IMP	\$ 292,821	\$ 71,519	24.42
07822	BOYLES CARL LONG JASON HENSLEY	2492 COLEMAN AVE 982190000	11/18/22 0.18	1867 55	RES IMP	\$ 102,898	\$ 32,126	31.22
04985	WILLIAMS ANDREW D LONG TYLER	2101 WHITNEY SOUTH 573244000	07/29/22 0.43	1852 1499	RES IMP	\$ 133,020	\$ 49,456	37.18
06232	KEELS MATTHEW ROBERT LORANG KENNETH C	613 WESTBURY 251240000	09/01/22 0.34	1860 701	RES IMP	\$ 193,104	\$ 73,382	38.00
02775	MICHAEL ANTHONY MAY LORENZO MYKOL FLORES	2819 RIDGEVIEW 390158000	05/03/22 0.36	1840 1232	RES IMP	\$ 171,648	\$ 50,466	29.40
06355	LAURIE HIGGINBOTHAM LORIE TREMAINE	2619 WOODBLUFF 180286000	09/23/22 0.18	1860 881	RES IMP	\$ 227,422	\$ 83,221	36.59
00695	SHEPHERD SCOTT F LOUIS MERTINS	1333009000	02/09/22 0.40	1827 506	RES IMP	\$ 61,840	\$ 27,946	45.19
00787	BENTIVEGNA SCOTT MICHAEL LOUISE HARRIS AND CHARLES HARRIS	1180485000	02/21/22 0.42	1828 1548	RES IMP	\$ 136,295	\$ 44,681	32.78
05998	WOOTEN CURTIS P LOVE ZANBRIA	4009 ROYAL OAKS CT 1980266000	08/31/22 0.41	1858 842	RES IMP	\$ 165,031	\$ 53,120	32.19
04657	BRUCE DARRELL D LOVETT CHANNELE	1540052000	06/23/22 0.75	1851 1447	RES IMP	\$ 95,872	\$ 38,802	40.47
06175	JOHNSON SHELITA LRET INVESTMENTS LLC	1967 LIONEL 871094000	08/09/22 0.24	1859 85	RES IMP	\$ 64,365	\$ 20,583	31.98
04410	CONREX RESIDENTIAL PROPERTY GROUP LUCAS OTILIO FUNES	1300810000	06/30/22 0.24	1849 993	RES IMP	\$ 44,626	\$ 15,220	34.11
07361	HORNSBY JESSICA R LUIS D APONTE CALDERO	2104 WHITNEY SOUTH 571236000	11/04/22 0.14	1865 1810	RES IMP	\$ 148,468	\$ 50,007	33.68
07085	CHO CHO LLC A GEORGIA LIMITED LIABILITY LUNA RESOURCES LLC	1509 WOOTEN 721074040	10/27/22 0.32	1864 1557	RES IMP	\$ 69,428	\$ 32,482	46.79
01150	FA PROPERTIES LLC LUSANE REAL ESTATE GROUP LLC	1429 JOHNS 443097000	02/22/22 0.17	1829 1842	RES IMP	\$ 148,650	\$ 62,581	42.10
01452	MCWHIRTER JESSE AND SARA LUTHER SMITH IV	780147000	03/08/22 5.18	1831 1533	RES IMP	\$ 250,273	\$ 89,083	35.59
00549	VARHOL CHASE A LUTHMAN KAREN/LUTHMAN PAUL	3104 EDINBURGH 251003000	02/09/22 0.33	1827 428	RES IMP	\$ 295,629	\$ 116,509	39.41
02273	JEFFREY MARION HAIR LYLE M BURNS	3083 WHEELER 253167000	04/12/22 0.45	1836 2532	RES IMP	\$ 262,323	\$ 74,924	28.56
06000	TRIPLE A FOUR K'S INC LYNCH ELEANOR R	1092 HANCOCK MILL LANE 3190069000-LOT 24, BLOCK C, SECT. 2,	08/22/22 0.59	1858 760	RES VAC	\$ 7,895	\$ 3,3	5



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01763	RANDOLPH TERRY E LYNN JULIE SCOGGINS	2901 KIPLING DR 183130000	03/31/22 0.35	1835 232	RES IMP	\$ 325,460	\$ 111,507	34.26
04011	ASKIN ENTERPRISES LTD CO LYONS JAMES S	2198 MCNUTT ROAD 2810171000~TRACT B-5, ASKIN ACRES	05/24/22 7.20	1847 2732	RES VAC	\$ 13,306	\$ 6,623	49.78
04927	RATTLEY SAMMAYAH ASSALAM LYONS SR DEITRICH LENARD/LYONS	1650168000	07/05/22 0.83	1852 2447	RES IMP	\$ 244,586	\$ 95,544	39.06
04155	MELODY SAN JOSE PALO MA JOSEPHINE BECAR PARRENO AND ALLIH	3644 CRAWFORDVILLE 530257000	06/21/22 0.37	1847 2393	RES IMP	\$ 129,793	\$ 56,618	43.62
08036	FORETHOUGHT LIFE INSURANCE COMPANY MACDONALD BENJAMIN	1104331000	11/14/22 0.24	1869 124	RES IMP	\$ 61,361	\$ 33,818	55.11
08174	BROWN ROBIN ELAINE HAMILTON MACK CURRY	1091180000	12/20/22 0.29	1870 55	RES IMP	\$ 60,074	\$ 37,872	63.04
00643	SIRULL DAVID MACK JORDAN DAVID/DRYE BRANDI NICOLE	1054 HICKMAN RD 442067000	02/04/22 0.07	1826 2720	RES IMP	\$ 221,893	\$ 79,358	35.76
06643	MCCUMBERS KENNETH MACKENNA HOLDINGS LLC	4206 FOREST RD 2320242000	10/06/22 0.87	1862 69	RES VAC	\$ 25,746	\$ 5,865	22.78
04428	CREWS JEANNIE S MACKEY KYLE R	981189000	07/01/22 5.18	1849 1807	RES IMP	\$ 128,729	\$ 43,880	34.09
08110	KEY STEPHANIE PETREA MADDEN ROBERT	2318 CADDEN RD 1213111000	12/15/22 0.30	1869 2064	RES IMP	\$ 86,678	\$ 41,747	48.16
06299	CHAVIS MICHAEL G MADDOX MARY J	2106 GROUSE CT 1650217000	09/13/22 0.52	1860 1671	RES IMP	\$ 194,810	\$ 82,390	42.29
05080	MONTE SANO PROPERTIES LLC MADDOX MULHERIN PROPERTIES LLC	1530 MONTE SANO 443008000	08/08/22 0.18	1854 677	RES IMP	\$ 180,221	\$ 65,424	36.30
02434	ANDREW B JACKSON MAEGAN KUHN AND GAGE MATOTT AS JOINT	3303 TANGLEWOOD 412065000	04/14/22 0.29	1837 1534	RES IMP	\$ 131,396	\$ 45,346	34.51
08055	CHAUDHRY KHALID ROFS/EVANS TERESA M MAGALIE VOLTAIRE-MOYEN	3008 BURGESS 653034000	12/09/22 0.13	1869 718	RES IMP	\$ 261,750	\$ 110,517	42.22
08059	HUTTO DONNA S MAGNOIR CASTILLO AND CRISTINA DIAZ	3216 WASHINGTON RD 111012000	12/12/22 0.98	1869 980	COM VAC	\$ 150,953	\$ 85,140	56.40
01777	LING C LOW MAGNOLIA ROOTS REAL ESTATE III LLC	2733 EDWARD 711039000	03/23/22 0.48	1834 2389	RES IMP	\$ 140,335	\$ 74,952	53.41
07553	MCALISTER A/K/A D DAVID MCALISTER MAIBUSCH KIERON T	201196000	11/16/22 0.02	1866 1896	RES VAC	\$ 26,175	\$ 6,400	24.45
05342	RUFF NATASHA BRIDGES/JOSEPH MAJESTIC COLA	2108 DIVISION 271050000	08/08/22 0.23	1853 2237	RES IMP	\$ 94,316	\$ 22,352	23.70
01923	DAVIS JAMES RONALD MALDONADO MARCOS ANTONIO MEJIA	2011 CIRCULAR DR 981138000	04/01/22 3.50	1835 1175	RES IMP	\$ 120,783	\$ 34,487	28.55
01394	BISHOP NATHANIEL MALILE JULIAN/MALILE HALEY	3519 JONATHAN CIR 1342047000~LOT 63, BL. D, SECTION III,	03/08/22 0.22	1831 491	RES IMP	\$ 91,008	\$ 20,652	22.69
05681	MORGAN KYLIE A MALONE KEVIN A/MALONE KIMBERLY A	2413 BRENTWOOD 201010000	08/23/22 0.55	1856 686	RES IMP	\$ 207,683	\$ 63,336	30.50
00561	BROWN GIDDENS JACQUELINE ELIZABETH MALONEY DIANE	1010 HICKMAN 442063220	02/11/22 0.04	1827 737	RES IMP	\$ 130,640	\$ 45,484	34.82
06647	THOMPSON KATHARINA MANICCIA LEO BENJAMIN/MANICCIA MORGAN	2208 MARTIN RD 983112000	10/04/22 2.30	1861 2166	RES IMP	\$ 240,295	\$ 60,661	25.24
04141	JACKSON RASHEEN C MANNING DEIDRA SHARMEKA	1001 ROSLAND CIR 790031000	06/06/22 0.22	1847 1839	RES IMP	\$ 280,585	\$ 112,920	40.24
06119	FELZ JOE MANNING WILLIAM	2474 MILES AVE 982068040	08/26/22 0.18	1859 644	RES IMP	\$ 68,656	\$ 27,270	39.72
02090	ALLEN JOHNNY R MANTECA SARAH A/MANTECA JR ESTEVAN	2507 DRUMCLIFF CT 1310154000	04/05/22 0.31	1836 1605	RES IMP	\$ 152,781	\$ 44,636	29.22
08277	BECTON JAMES LOUIS JR MANTON III JOHN PHILIP	343068090	12/27/22 0.04	1870 2355	RES IMP	\$ 120,147	\$ 54,550	45.40
01833	HARRIS AUGUSTUS R JR MARATHON HLDGS LLC	1341049000	02/28/22 0.23	1833 2501	RES IMP	\$ 128,049	\$ 53,836	42.04
00119	ROBERT HARTSOCK MARC MCINTOSH AND KRISTEN KENCK AS	2700072000	01/13/22 1.02	1823 1933	RES IMP	\$ 251,599	\$ 95,610	38.03



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07323	WANG PHILLIP A ROFS/VICKIE L R MARCHAL DEPASQUALE	1209 BROOKSTONE 402212000	11/04/22 0.24	1865 1185	RES IMP	\$ 223,131	\$ 88,002	39.44
06198	GAVIN LEWIS-BISSELL MARCO THOMAS MUELLER	1856 OLD SAVANNAH 731085000	09/19/22 0.17	1859 1990	RES IMP	\$ 63,936	\$ 17,843	27.91
02494	INFORMED CONSUMER NETWORKS LLC MARCUS W ODUMS	1234084000	04/15/22 0.19	1837 1560	RES IMP	\$ 110,168	\$ 26,911	24.43
03364	FRANCIS PATRICIA MARCUS WASHINGTON	722602000	05/26/22 5.18	1843 2641	RES IMP	\$ 77,062	\$ 17,708	22.98
02382	ROLL SPARTY LLC MARGARET ROSE EVANS	1533 HEATH 443174000	04/18/22 0.32	1838 1211	RES IMP	\$ 91,571	\$ 26,292	28.71
07521	REGIONAL INVESTORS GROUP LLC MARIBEL VALDEZ AND ALAN PALACIOS AS	1102246000	11/17/22 0.23	1866 1972	RES IMP	\$ 33,470	\$ 16,303	48.71
06809	KIMBERLY G PIPPIN AND BYRON F PIPPIN MARIE VIVIANE JEUNE PIERRE	251055000	10/11/22 0.38	1862 1472	RES IMP	\$ 270,332	\$ 113,780	42.09
03349	XAVIER L CREEKMUR MARILYN M LIBERT	2004 CATON 303180000	05/26/22 0.06	1843 2667	RES IMP	\$ 154,124	\$ 49,674	32.23
05783	ALMODOVAR ERIK R MARKS AMANDA/MARKS CYLE	2928 FOXHALL CIR 160391000	08/25/22 0.43	1857 744	RES IMP	\$ 268,186	\$ 84,083	31.35
00790	WHITE W MARSHALL MARQUISE D WASHINGTON	1654008000	02/18/22 0.35	1828 1648	RES IMP	\$ 341,576	\$ 137,146	40.15
02429	WAGNER ANTHONY E MARTIN AMANDA D/MARTIN SR JAMES M	71 CONIFER CIR 230242000	04/25/22 0.57	1838 1906	RES IMP	\$ 787,315	\$ 237,420	30.16
04936	DAVID MARIAH L MARTIN CARSON	2815 BRICKRUN WAY 131252000	07/15/22 0.05	1852 686	RES IMP	\$ 181,938	\$ 63,477	34.89
02140	GREER LAKENYA MARTIN CHRIS LAMAR	1521 CHESTNUT 591472000	04/04/22 0.09	1838 1131	RES IMP	\$ 53,751	\$ 16,672	31.02
00795	COPELAND SARAH R MARTIN CHRISTOPHER SCOTT	2604 BILLINGS RD 1300212000	02/15/22 0.24	1828 631	RES IMP	\$ 144,682	\$ 47,949	33.14
03255	WILLIAMS RILEY G MARTIN ERIN KIMBERLY	248 VINELAND RD 262083000~25, G	05/20/22 0.26	1842 2705	RES IMP	\$ 200,362	\$ 75,274	37.57
07318	HEATON EMILY FRICKS MARTIN HERRERA	1615 SANDALWOOD 542029000	11/11/22 0.29	1866 191	RES IMP	\$ 107,274	\$ 44,239	41.24
06564	WISNER GEORGE J MARTIN ISABELLE FORYSTH/DARBY CHARLES	3212 MONTPELIER DR 322138000~2, E	10/03/22 0.61	1861 1074	RES IMP	\$ 523,500	\$ 176,164	33.65
06392	MARTINEZ FRANCYNE FELLE MARTIN LEGACY HOLDINGS LLC	1674 GOSHEN RD 1980010110	09/09/22 0.20	1859 2245	RES IMP	\$ 98,693	\$ 32,164	32.59
05169	STARK JASON A MARTIN LEGACY HOLDINGS LLC	132197000	07/07/22 0.53	1853 1153	RES IMP	\$ 163,057	\$ 64,472	39.54
06973	MEEKS BEVERLY R MARTIN LEGACY HOLDINGS LLC	2323 MARTIN RD 972164010	10/14/22 0.31	1864 719	RES IMP	\$ 77,238	\$ 25,916	33.55
06920	MANCIA DANIEL A MARTIN LEGACY HOLDINGS LLC	3341 SUGAR MILL RD 160323000	10/20/22 0.36	1863 1292	RES IMP	\$ 189,636	\$ 105,721	55.75
07523	TERRY C MARK MARTIN LEGACY HOLDINGS LLC	427 BOY SCOUT RD 252031000	11/07/22 0.31	1866 2271	RES IMP	\$ 138,170	\$ 76,447	55.33
01819	RICHARDSON WILLIE MARTIN LEGACY HOLDINGS LLC	1139 MERRY ST 451322000	03/28/22 0.08	1834 1871	RES IMP	\$ 37,290	\$ 17,809	47.76
05238	MARSHAL YVONNE MARTIN LEGACY HOLDINGS LLC	2372 BERLIN DR 820436000	07/29/22 0.23	1853 1380	RES IMP	\$ 41,193	\$ 15,350	37.26
05608	WIDENER DANNY MARTIN LEGACY HOLDINGS LLC	802 MARY AVE 203151000	08/18/22 0.31	1855 1180	RES IMP	\$ 102,984	\$ 41,913	40.70
07409	AJONESK2 LLC MARTIN MARIANNE B/MARTIN EVERETT B	3124 FIELDSTONE CIR 60120000	11/04/22 0.29	1866 194	RES IMP	\$ 225,405	\$ 75,101	33.32
01011	WELDENAAR LINDSEY RAE MARTINEZ DAVID	110108000	02/17/22 0.50	1830 1734	RES IMP	\$ 178,150	\$ 47,865	26.87
04287	FINNEGAN KEVIN T MARTINI ANTHONY E/MARTINI KAREN M	2453 LESLIE CIR 973077000	07/01/22 0.31	1848 2059	RES IMP	\$ 133,020	\$ 54,136	40.70
01509	TANKSLEY KIMBERLY JOY BRASWELL DELAUN MARVIN JOVANI BENAVIDES PINEDA	1080015000	03/15/22 1.16	1832 1694	RES VAC	\$ 13,195	\$ 3,7	28.9



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00263	GEORGIA-LINA PROPERTY GROUP LLC MARY PIXLEY	3008 PINEWOOD 851065000	01/19/22 0.32	1823 2151	RES IMP	\$ 147,873	\$ 46,667	31.56
02991	BLACKWELL CHARLES MASON DAVID	830146000	01/14/22 5.18	1822 2072	RES VAC	\$ 7,423	\$ 1,400	18.86
06633	SLADE ROY D MATHEWES DARLYNE GAIL/MATHEWES JOHN	210 GARDNERS MILL RD 171160000~20,O	10/07/22 0.24	1862 37	RES IMP	\$ 107,274	\$ 58,203	54.26
07881	THOMPSON MACKENZIE ELIZABETH MATHIS MATTHEW A/MATHIS MARGARET R	4019 CALYPSO DR 303090000	12/05/22 0.07	1868 1493	RES IMP	\$ 149,326	\$ 43,610	29.20
03182	DILLARD-WRIGHT DAVID BENJAMIN DEVIDASI MATSON VICTORIA	2214 BRECKENBRIDGE AVE 573052000	05/25/22 0.30	1843 1982	RES IMP	\$ 115,252	\$ 48,394	41.99
04895	HUGHES JOSEPH W MATSON WILLIAM J	2217 MONTCLAIR ST 571187000~54	07/21/22 0.45	1851 1381	RES IMP	\$ 154,475	\$ 43,295	28.03
04713	JOHNSON-SHARP LAUREN A MATTHEW BIGELOW AND LAURA BIGELOW	1450144000	07/15/22 0.28	1851 337	RES IMP	\$ 158,766	\$ 58,335	36.74
05744	WEEKS EDWIN MATTHEWS WILLIAM B	70160000	08/31/22 0.24	1857 1443	RES IMP	\$ 133,020	\$ 59,484	44.72
06418	SCENIC LAND HOMES LLC MAURICE A SMITH	1070308000	09/16/22 0.32	1859 1852	RES IMP	\$ 111,480	\$ 30,102	27.00
06527	ROBERT ELTZROTH MAURICE PRESTON	2940073000	10/06/22 1.04	1861 2212	RES IMP	\$ 304,660	\$ 115,684	37.97
08372	CEYSSSENS WOUTER MAUTSCHKE ERIC D	2306 GETZEN ST 974057000	12/28/22 0.33	1871 11	RES IMP	\$ 64,365	\$ 20,178	31.35
04245	JENNIFER SEARS MAXWELL ODUM	1831035000	06/29/22 0.26	1848 1418	RES IMP	\$ 190,919	\$ 93,630	49.04
06734	HAMM ZANETA MAYES HOYT	4521 FRANK WARREN DR 1663047000	10/06/22 0.24	1862 1005	RES IMP	\$ 261,750	\$ 113,115	43.21
04821	MASI MARY MAYES MATTHEW B	609 CARLTON DR 251261000	07/12/22 0.37	1850 2621	RES IMP	\$ 211,116	\$ 90,780	43.00
02819	SHOCKLEY LINDSEY E MAYS ANDREW S	2610 WOODBLUFF 180306000	04/29/22 0.14	1840 1678	RES IMP	\$ 239,458	\$ 80,983	33.82
07479	ABRAHAM GAJRAJSINGH MAZEN FAKHOURI	2033 TELFAIR 351124000	11/11/22 0.22	1866 890	RES IMP	\$ 87,815	\$ 34,687	39.50
00543	MARY STOKES AKA MARY E GANTT MBTA LLC	2633 OAKLAND AVE 332287000	01/31/22 0.43	1825 2596	RES IMP	\$ 136,691	\$ 64,742	47.36
01703	FUNSCH II ROBERT MCADAMS MICHAEL ANTHONY	2311 GETZEN ST 974078000	03/18/22 0.26	1832 2609	RES IMP	\$ 56,408	\$ 24,167	42.84
04268	KES DAY INC MCALLISTER MARCIA	3428 WINESAP WAY 1341098000~LOT 60, BLOCK I	06/30/22 0.23	1848 2702	RES IMP	\$ 62,648	\$ 24,519	39.14
04314	LOWRY EUGENE MCALLISTER MARCIA JENNIFER	2524 DRAYTON DR 940106000~19, A	07/06/22 0.27	1849 410	RES IMP	\$ 100,409	\$ 25,229	25.13
08367	MULLIGAN SABRINA D MCCANN TYLER CHASE	2009 HATTON CT 790017000	12/30/22 0.18	1871 1309	RES IMP	\$ 208,370	\$ 80,070	38.43
05588	JUDY ANN SHIPES MCCHOSE INVESTMENTS LLC	1338 FOLLOWING WELLS 290062000	08/04/22 0.27	1855 1798	RES IMP	\$ 77,238	\$ 31,042	40.19
00173	TUTT CLEO PRESTON MCCLADDIE SHEILA/MCCLADDIE MITCHELL	3958 SCOTT 510057000	01/22/22 0.45	1823 955	RES VAC	\$ 43,272	\$ 10,080	23.29
06950	WEEKS CASEY R MCCLARY CARLEE	114061000	11/01/22 0.04	1864 2266	RES IMP	\$ 141,602	\$ 43,370	30.63
05880	DIAZ DAVYN MCCLURE ALLAN J	1644003000	08/08/22 0.29	1856 2588	RES IMP	\$ 171,639	\$ 67,546	39.35
03369	COOPER ZACH W MCCLURE JACOB/MCCLURE BRITTANY	312 BROAD ST 472178000	05/31/22 0.17	1844 148	RES IMP	\$ 273,367	\$ 71,559	26.18
00139	D R HORTON INC MCCOY LAKESHIA S	404 FURLOUGH 800144000	01/12/22 0.19	1823 15	RES IMP	\$ 287,487	\$ 104,780	36.45
01795	WORKMAN JR CHARLES L MCCOY RUEBIN/MCCOY MELINDA	4866 KEN MILES DR 1654031000	03/25/22 0.28	1834 1656	RES IMP	\$ 299,076	\$ 113,108	37.82
00309	ARTOUNIAN ART MCCRACKEN AMICK INC	2232 LUMPKIN RD 1092119000	01/25/22 0.44	1824 1517	COM IMP	\$ 197,755	\$ 53,3	211



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00141	CARR VICKI L MCCRAY TORON	3005 SUNNYSLOPE CT 1180365000	01/14/22 0.38	1823 642	RES IMP	\$ 157,273	\$ 57,689	36.68
00471	HUGHES DAVID JENNINGS MCCULLOUGH CLARIN/MCCULLOUGH	3239 RAMSGATE 241059000	01/31/22 0.45	1825 2297	RES IMP	\$ 331,867	\$ 95,370	28.74
02928	PRITCHARD PAMELA T MCDOWMEY LACOURTNEY/MCDOWNEY	1717 FENWICK ST 354177000	05/11/22 0.24	1841 1475	RES IMP	\$ 85,271	\$ 34,229	40.14
08601	MCELREATH BENJAMIN F	3540 WHEELER RD 310089000			COM IMP	\$ 62,494	\$ 24,933	39.90
00481	K P AUTO MACHINE SHOP INC A GEORGIA MCGANN MORTON S	2228 MARTIN LUTHER KING JUNIOR BLVD 721134000	02/02/22 0.36	1825 2647	COM IMP	\$ 44,326	\$ 10,973	24.76
06359	BROWN PRICILLA MCGHEE AMY/ENGLAND THOMAS	1044 PREP ST 724248000	09/22/22 0.16	1860 1000	RES IMP	\$ 66,081	\$ 16,724	25.31
05945	THOMPSON ANDREA M MCINTIRE LAETITIA ANN	206 KITTS 303026000	09/02/22 0.06	1857 2698	RES IMP	\$ 150,184	\$ 43,870	29.21
07091	NGUYEN TAN MCINTOSH RICHARD	2215 RAMBLEWOOD DR 1430326000	10/11/22 0.35	1863 1875	RES IMP	\$ 208,542	\$ 69,034	33.10
07888	MAMER PATRICK J MCKINNEY MEHGAN/PICKETT EVAN	2841 LOMBARDY CT 432005000	12/06/22 0.11	1868 1622	RES IMP	\$ 193,094	\$ 85,867	44.47
02990	GREENE ROBERT MCLENDON JANICE/MCLENDON TRAVIS	4908A OLD WAYNESBORO RD 3360103000	04/18/22 2.28	1843 2100	RES IMP	\$ 15,567	\$ 8,878	57.03
01955	HAMMONDS CONSTANCE D MCMICKENS SONISHA	1521082000	03/02/22 0.49	1835 2120	RES IMP	\$ 281,056	\$ 107,002	38.07
00788	GAVIN VENTURES LLC MCPHEE AARON ALAN	1878 BROWN ROAD 2133005000	02/16/22 35.01	1828 1391	RES IMP	\$ 222,655	\$ 53,754	24.14
01343	SHIELDS JASON K MCRAE CHERYL	131133000	02/24/22 0.08	1831 2330	RES IMP	\$ 172,247	\$ 45,260	26.28
00856	STEVEN RODRIGUEZ MEA HOLMES	1430576000	02/22/22 0.24	1829 628	RES IMP	\$ 155,364	\$ 53,733	34.59
00965	MACKIE KATHARINE MEARS LINDSEY M/MEARS BRANDON G	2330 KINGS WAY 441149000	02/16/22 1.01	1830 182	RES IMP	\$ 539,706	\$ 187,825	34.80
00532	KENNEDY DEREK S MEATTE GLADYS	601 WINDSONG 60285000	02/01/22 0.09	1826 1260	RES IMP	\$ 43,901	\$ 22,261	50.71
07815	ENNIS DEBORAH COLEMAN MEEHAN ELIZABETH	1104 BROOKSTONE 402425000	11/28/22 0.12	1867 2369	RES IMP	\$ 252,310	\$ 92,214	36.55
06793	HADDEN GLENWOOD H JR MELEAR PROPERTIES LLC	3232 WIMBLETON 314047640	10/14/22 0.02	1862 1649	RES IMP	\$ 88,566	\$ 36,623	41.35
03869	DARR DANIEL G AND SARAH MELISSA BLACKWELL AND FREDERICK LEON	3170034000	06/15/22 1.25	1847 278	RES IMP	\$ 334,955	\$ 122,978	36.71
00920	KERVIN PAUL WESS/TONYA DENISE MELISSA L PALFALVI	1980409000	02/18/22 0.52	1829 862	RES IMP	\$ 288,656	\$ 92,919	32.19
02964	ETHERIDGE SHARON MENDEZ-GONZALEZ RIGOBERTO	1440008000	04/27/22 0.40	1841 2205	RES VAC	\$ 9,086	\$ 4,600	50.63
02767	DIXON JAMES R JR MENK SARAH HOLLINGTON/MENK PETER	936 BROAD ST 373268000-UNIT 415	05/02/22 0.02	1840 146	RES IMP	\$ 135,701	\$ 57,499	42.37
05684	PAIGE PATRICK MENNES ASHLEY N/STIEG FORREST N	140049000	08/23/22 0.14	1856 709	RES IMP	\$ 165,117	\$ 55,984	33.91
01351	BRUDVIK LISA A MERADI A PEREZ	121093000	03/14/22 0.12	1831 2693	RES IMP	\$ 175,450	\$ 47,094	26.84
02880	DUNSTAN DANIEL MILES MERCIER ROBERT JONES	1834 JENKINS ST 353299000	05/10/22 0.15	1841 569	RES IMP	\$ 44,919	\$ 25,924	57.71
02012	ESSIE D FEBUS NKA ESSIE DEL CARMEN MERRITT ZACHARIAH	21 INNISBROOK 162189000	03/04/22 0.08	1836 121	RES IMP	\$ 109,383	\$ 40,788	37.29
04125	BAC PROPERTIES LLC MERWIN IV JAMES T	2410 CENTRAL 441250000	06/24/22 0.21	1848 895	RES IMP	\$ 152,919	\$ 80,658	52.75
01816	SWEETING RACHEL GRACE MERWIN IV JAMES T	1599 TROUPE ST 572019000	03/09/22 0.30	1834 1329	RES IMP	\$ 196,074	\$ 68,518	34.94
07437	HODSON SANDRA J MESSINA CATHERINE LOUISE/MESSINA DAVID	2914 HENRY ST 332365000~4	11/08/22 0.34	1865 1687	RES IMP	\$ 205,967	\$ 102,9	50.00



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03768	JANET C STULB MICHAEL BERG AND SHARON E	437 FOREST HILLS 314047500	06/09/22 0.08	1846 538	RES IMP	\$ 190,256	\$ 60,371	31.73
03828	MAGNOLIA PROPERTY MANAGEMENT OF MICHAEL CHEEK AND BRIDGETTE CHEEK	1526 GLENN 432187010	06/13/22 0.19	1846 1349	RES IMP	\$ 95,875	\$ 37,140	38.74
01634	MCCLELLAN ELTON G MICHAEL E WISE AND TERRI WISE AS JOINT	2330020000	03/23/22 2.00	1833 2248	RES VAC	\$ 14,043	\$ 5,520	39.31
02021	PENNIE ADAMS MICHAEL IMLER AND ROSENA COUNCIL AS	2810206000	03/31/22 0.74	1835 602	RES VAC	\$ 15,808	\$ 6,400	40.49
05165	KIRKLAND JANA BOLIN MICHAEL P CHANIN JR	1980032000	08/12/22 0.46	1854 1749	RES IMP	\$ 193,094	\$ 62,803	32.52
02238	BERNICE HUNT SANDERS MICHAEL SCHWERDTFEGER AKA MICHAEL B	2027 WHARTON 574234000	04/21/22 0.27	1838 1635	RES IMP	\$ 77,634	\$ 19,931	25.67
02225	RICHARD MAKERSON JR MICHAEL SCHWERDTFETER AKA MICHAEL B	2017 WHARTON 574247000	04/21/22 0.35	1838 2383	RES IMP	\$ 68,501	\$ 19,379	28.29
04922	DOLAN CHARLES A MICHAEL SHELTON AND PATRICIA M	1002 KATHERINE 343139080	07/29/22 0.19	1853 11	RES IMP	\$ 407,693	\$ 125,790	30.85
03767	HART LINDA DIANE MICHAEL T DENNIS	111007000	06/08/22 0.25	1845 2341	RES IMP	\$ 135,707	\$ 51,496	37.95
04361	WARREN WAYNE WHITE MICHAEL WAYNE BADKE JR	1400251000	06/30/22 0.34	1848 2599	RES IMP	\$ 151,901	\$ 54,472	35.86
05855	SCOTT HALL MICHELLE SALDANA AND JOHN DICKERSON	423 FOREST HILLS 314047430	08/26/22 0.03	1856 2740	RES IMP	\$ 141,602	\$ 43,234	30.53
03626	SOUTH END BUILDERS DEVELOPERS LLC MICKENS BRANDON TREMAINE	4375 SEAGO RD 2540063000	06/03/22 1.38	1844 2304	RES IMP	\$ 251,088	\$ 83,494	33.25
05771	JD INVESTORS LLC MIDDLETON CAROLINE/JONES PHOEBE	2534 WINDERMERE DR 1180076000~LOT 18, BL. D, SECTION I,	08/24/22 0.24	1856 1157	RES IMP	\$ 124,438	\$ 47,558	38.22
03958	MAAOUIA CARLA MIGUEL JOSE/PEREZ DE MIGUEL FLOR DE	981010000	06/16/22 5.18	1847 86	RES IMP	\$ 169,064	\$ 47,435	28.06
04973	FRANKIE LEE HESTER MIL 312 LLC	809 SCOTT NIXON MEMO 220007000	07/29/22 0.46	1852 1387	RES IMP	\$ 34,328	\$ 13,502	39.33
04109	RHODE CHRISTINE DELORIS BELL MILES CHARNDA	2365 TRAVIS PINES DR 1540105000	06/15/22 0.44	1848 778	RES IMP	\$ 52,201	\$ 27,290	52.28
06183	BEARD RONNIE MILES JR JAMES H	2375 BOYKIN RD 1660011050~LOT 5	09/15/22 0.43	1859 2182	RES IMP	\$ 130,875	\$ 34,649	26.47
02678	BPREP SFR OWNER LLC MILLAGE LAURINDA	1713 TAMARIND WAY 1830099000	05/04/22 0.25	1840 1442	RES IMP	\$ 176,105	\$ 59,279	33.66
00403	PRIDE LOYCE MILLER CURTIS LEVON	2977 GALAHAD WAY 531052000	01/25/22 0.35	1825 564	RES IMP	\$ 274,706	\$ 106,156	38.64
04828	ANDERSON CRAIG MILLER LATOYA	60165000	07/15/22 5.18	1852 422	RES IMP	\$ 219,698	\$ 67,621	30.78
00231	SMITH WOODNEY G MILLINES RACQUEL	1094097000	01/20/22 0.25	1824 49	RES IMP	\$ 49,252	\$ 20,627	41.88
03303	ANDREWS WILLIAM M MIMBS JAMES WILBUR/SMITH MARY	19 ROCKBROOK 254194000	05/17/22 0.63	1843 1037	RES IMP	\$ 793,752	\$ 217,866	27.45
00949	MARCKINI AMBERLY MINCEY FREDERICO	1320516000	02/16/22 0.23	1828 1955	RES IMP	\$ 155,647	\$ 46,454	29.85
01384	O'CONNELL WINSTON J MINNIER LEE	1637 EMMA ST 303348000	03/01/22 0.05	1831 566	RES IMP	\$ 143,028	\$ 49,967	34.94
03827	LEONARD FRAKELIA MINOR GRADY/MINOR HOLLIE T	3412 THAMES PL 1431035000~LOT 67, BLOCK B, SECTION	05/31/22 0.33	1846 2498	RES IMP	\$ 220,458	\$ 84,098	38.15
01304	STONE MATTHEW A MIREA ALYSSA/MIREA MIRCEA	1015 ROSLAND CIR 790063000~LOT 13, BLK B, PH 2-A,	02/24/22 0.17	1831 690	RES IMP	\$ 292,025	\$ 105,747	36.21
04900	WILLIAMS PAUL HOWARD JR ROFS/AND MISTY DAWN HASTY	1672067000	07/18/22 0.22	1851 1821	RES IMP	\$ 180,135	\$ 65,101	36.14
06405	FREEMAN JEREMIAH D MITCHELL BECKMAN	43061000	09/20/22 0.29	1859 2659	RES IMP	\$ 268,186	\$ 90,318	33.68
05711	BRAWNER RONALD MITTAL CHAITANYA S	2017 RESERVE LN 73119000	08/15/22 0.05	1856 1831	RES IMP	\$ 156,621	\$ 64,6	5



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05158	DAVIS BRIAN K MOBLEY RONALD GUY	1606 CREEK RUN RD 1520444000	08/10/22 0.28	1854 1556	RES IMP	\$ 162,199	\$ 57,617	35.52
05186	SANTOS MARIA E MOCK BERNARD	3433 JONATHAN CIR 1341010000	08/02/22 0.24	1854 361	RES IMP	\$ 54,066	\$ 32,713	60.51
06503	MANICCIA BENJAMIN LEO MOEGENBURG PHILLIP M/BRADY CAROL	2322 NEAL ST 974089000	09/23/22 0.26	1860 2429	RES IMP	\$ 121,864	\$ 39,290	32.24
05979	LAMB JAMES W MOMIN AZIM	2032 OHIO 562029000	08/11/22 0.21	1858 98	RES IMP	\$ 105,792	\$ 38,142	36.05
05380	WILSON TERRENCE MONROE EDNA	3020 BREEZE HILL 950412000	07/14/22 0.27	1853 1799	RES IMP	\$ 171,639	\$ 69,688	40.60
01649	ATABEKOV KANAT MONTEJO COTE	3216 WAVERLY LN 653104000	03/14/22 0.18	1833 1997	RES IMP	\$ 278,267	\$ 106,494	38.27
06982	CRW HOLDINGS LLC MONTIEL PROPERTY MANAGEMENT LLC	2615 GLENN HILLS 962158000	10/05/22 0.23	1864 2556	RES IMP	\$ 58,357	\$ 20,938	35.88
02638	MORGANFIELD WILLIAM MORANT NORMA	4735 LAUREL OAK DR 1794129000~LOT 39 BLOCK B SEC 6	04/21/22 0.20	1840 697	RES IMP	\$ 135,175	\$ 55,240	40.87
01488	SHELTON JR HAROLD L MORANT NORMA	3861 CREST DR 1400506000	03/04/22 0.99	1831 2052	RES IMP	\$ 142,673	\$ 48,507	34.00
07946	THOMAS ALEXANDRIA C MORGAN N FRIES	116 GREYSON 653293000	12/09/22 0.19	1869 479	RES IMP	\$ 218,840	\$ 89,616	40.95
01245	PRITRIJ MANAGEMENT LLC MORONICA DENISE JACKSON CARTER	3910 CAROLYN 520115000	03/02/22 0.46	1830 1145	RES VAC	\$ 30,487	\$ 12,000	39.36
02510	STEBBINS III CHARLES C MORRIS CHRISTOPHER L/MORRIS DORN S	1217 PEACHTREE 334071000	04/20/22 0.42	1838 670	RES IMP	\$ 399,475	\$ 180,506	45.19
02995	FOGARTY VIRGINIA D MORROW MARLON S/BURLEY NANDELE K	241 ELLIS 472193000	04/21/22 0.12	1842 432	RES IMP	\$ 246,602	\$ 77,925	31.60
04280	WILSON JANICE A MORSE TAYLOR Z	4102 MICHAEL PL 1530099000	06/29/22 0.62	1848 1553	RES IMP	\$ 201,861	\$ 66,744	33.06
06804	CATHY M SIMPKINS AND MAURICE R MOSES J JONES	3431 TOMS 950283000	10/14/22 0.30	1862 1705	RES IMP	\$ 156,621	\$ 52,836	33.73
02309	WELCHER MICHAEL S MOSS T-KEYAH	1904 LOBELIA LN 1830091000	04/12/22 0.18	1836 2277	RES IMP	\$ 193,291	\$ 59,443	30.75
07378	MUCHA SUSAN POLONUS MOSTOFI JAMES E	508 BERCKMANS 252117040	10/18/22 0.84	1865 2150	RES IMP	\$ 510,541	\$ 220,862	43.26
07522	BAGWELL BRADLEY JACKSON MOTTA BYRON ROGELIO RECINOS	121 WARREN RD 110105000~-2, D	11/18/22 0.50	1866 2205	RES IMP	\$ 119,289	\$ 44,310	37.15
05372	JONES AMON LEE MOUNTAIN DANNIE	1210061000	07/19/22 0.22	1853 2644	RES VAC	\$ 13,731	\$ 6,400	46.61
05373	JONES AMON LEE MOUNTAIN DANNIE	1210062000	07/19/22 0.30	1853 2098	RES VAC	\$ 13,731	\$ 6,400	46.61
02857	ITS YOUR WEEK LLC A GEORGIA LIMITED MP WASHINGTON LLC	2436 CAMELOT 192145000	03/18/22 0.79	1840 2144	RES IMP	\$ 549,974	\$ 162,046	29.46
07226	SHIN HUI HYON MSP BETTER NEIGHBORS LLC	1731 HICKS, 1824 WATKINS 352387000,354153000	10/27/22 0.17	1864 320	RES IMP	\$ 158,766	\$ 69,787	43.96
04750	SCOTT MARTHA K MUELLER DEBRA	3380076000	07/22/22 7.20	1851 2197	RES IMP	\$ 171,639	\$ 54,902	31.99
08354	MONEY INVESTMENTS LLC MUELLER MARCO THOMAS	2910 DAHLIA DR 1190162000	12/28/22 0.27	1870 2622	RES IMP	\$ 93,972	\$ 26,943	28.67
07097	JOHNSON III JAMES FRANKLIN MULLER MORGAN MILANO/MULLER BENJAMIN	1313 BUENA VISTA RD 431051000~LOT 16, FOREST HILLS	11/02/22 0.31	1865 615	RES IMP	\$ 643,561	\$ 217,985	33.87
05168	REX AUGUSTA LLC A GEORGIA LIMITED MULLER ROY E	248 BROAD 472220000	07/29/22 0.69	1853 937	RES IMP	\$ 1,115,655	\$ 517,945	46.43
02448	STREET JOSEPH M MUNK BILL	3050042000	04/15/22 1.36	1837 851	RES VAC	\$ 14,689	\$ 5,146	35.03
02447	STREET JAY K MUNK BILL	1005 MCNUTT WAY 3050041000	04/15/22 1.47	1837 848	RES VAC	\$ 14,689	\$ 5,251	35.75
08107	AKRIDGE BOBBI N M MURPHY ASHLAN	2125 GATEWOOD CT 864175000	12/12/22 0.46	1869 1963	RES IMP	\$ 126,155	\$ 42,9	5



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02376	ANDREWS ETHAN W MURPHY JONATHAN W/MURPHY BROOK	606 NORWICH RD 242020000	03/22/22 0.47	1837 323	RES IMP	\$ 355,114	\$ 149,456	42.09
08627	STOKES GERRIE LYNN MW CAPITAL PROPERTIES LLC	1743 TAMARIND WAY 1831044000	12/20/22 0.17	1877 1592	RES IMP	\$ 123,108	\$ 61,356	49.84
05894	SMITH SCOTT L MYERS EMMA LOUISE	3109 EDINBURGH DR 242063000	08/12/22 0.33	1857 575	RES IMP	\$ 212,404	\$ 84,307	39.69
07203	CALHOUN SHERI S MYERS HOUSE BUYERS LLC	1734 GOSHEN RD 1980114000	08/05/22 0.38	1863 2685	RES IMP	\$ 145,893	\$ 57,997	39.75
04071	MOODY PETER D MYRICK MIA/STAPLETON DIONNE	2526 MEADOWBROOK DR 1200059000	06/21/22 0.24	1847 1296	RES IMP	\$ 61,781	\$ 24,948	40.38
01001	MOORE ROY MYRNA MARGARITA GARCIA AND JESUS	1180086000	03/01/22 0.22	1830 1050	RES IMP	\$ 117,283	\$ 43,153	36.79
00693	HARRIS HENRY T/THOMAS DIANNE NADINE R PULLING	1080264000	02/08/22 0.26	1827 500	RES VAC	\$ 9,701	\$ 5,200	53.60
02743	SALAS BRANDON J NALLEY JAMES H/NALLEY MALLORY T	1305 HIGHLAND 432024000	05/02/22 0.21	1840 912	RES IMP	\$ 343,777	\$ 103,200	30.02
04548	DYSON SHEILA MARIE SIMMONS NAM H VUONG	3608 CRAWFORDVILLE 530275000	07/13/22 0.37	1850 1505	RES IMP	\$ 171,639	\$ 58,426	34.04
02158	BELLA ESTATES LLC NANIK RAM	122158000	04/15/22 0.04	1837 2270	RES IMP	\$ 128,438	\$ 40,338	31.41
00162	FA PROPERTIES LLC NANJI ALISHAN/NANJI ROHAID	1321 HOLDEN ST 453175000	01/18/22 0.18	1823 1208	RES IMP	\$ 263,424	\$ 72,434	27.50
01870	FIELD LYNN NANJI ROHAID SALIM	1612 FAIRWOOD DR 414166000~LOT 4, BLK C, SEC 3, FOREST	03/21/22 0.24	1834 385	RES IMP	\$ 151,918	\$ 45,903	30.22
02922	MONTGOMERY BRIAN P NASER DANIELLE C/SHAW VIVEK M	5002 COPSE DR 640116000~LOT 33 BL A PHASE III	05/12/22 0.19	1841 1620	RES IMP	\$ 263,838	\$ 111,375	42.21
00251	JOHN C MORGAN AND LORI M BURKHEAD NATALIE LYNN FIELDS	542 HIGHLAND 332214000	01/18/22 0.16	1823 2001	RES IMP	\$ 115,926	\$ 32,415	27.96
03935	JOHN C HAITHCOCK SR NATHANIEL JOHNSON	2940104000	06/14/22 1.19	1846 1566	RES IMP	\$ 330,904	\$ 107,928	32.62
04185	SHELL RAYMOND B NATION JODY/NATION SHERRI	2911 FERNWOOD DR 1102063000	06/24/22 0.25	1848 329	RES IMP	\$ 81,978	\$ 41,063	50.09
08604	NATIONAL RETAIL PROPERTIES LP	3166 WRIGHTSBORO RD 422002030	0.82		COM IMP	\$ 436,055	\$ 128,045	29.36
07557	COVIN JOHNUEL NAVARRO LOUIS R/NAVARRO MARY CLEM	3015 OLD KARLEEN ROAD 1390004020	11/18/22 4.84	1866 2606	RES VAC	\$ 12,873	\$ 6,408	49.78
07359	CLEM-BONHAM GLORIA NAVARRO LOUIS R/NAVARRO MARY CLEM	4402 BOULINEAU RD 2450004060	11/14/22 2.12	1866 588	RES IMP	\$ 38,619	\$ 24,152	62.54
05900	VARGAS DIALMARYS VELEZ NAZARIO ALVIN A/BAUTISTA BRIANNA	3629 MEADOWGROVE DR 1070228000	08/25/22 0.27	1856 2479	RES IMP	\$ 124,438	\$ 46,822	37.63
04647	BECK CHRISTINE NAZARIO ELIUDITH/RAMOS EDWIN E	122251000	07/08/22 0.04	1850 194	RES IMP	\$ 139,028	\$ 44,142	31.75
05026	CHAWLA DHRUV NEGRON BRENDA LIZ	2032 EMERALD BAY DR 122164000	07/29/22 0.04	1852 2324	RES IMP	\$ 137,311	\$ 45,341	33.02
05008	COLLIER REALTY HOLDINGS LLC NEK RESTAURANT HOLDINGS LLC	2132 LUMPKIN RD 1101027000	07/25/22 1.01	1852 875	RES VAC	\$ 82,816	\$ 14,320	17.29
06301	O'GRADY THOMAS NELSON MICHAEL STEVEN/NELSON TARA	904 HORSESHOE RD 2810044000	09/27/22 1.27	1860 2070	RES IMP	\$ 15,448	\$ 6,671	43.18
01088	FISCHER JOHN A NESBITT CHRISTOPHER RASHUN	22 DOMINION WAY 173027000	02/28/22 0.04	1830 809	RES IMP	\$ 120,863	\$ 32,909	27.23
03785	WEAVER JOHN C NEVILLE JACOB	1801 HARCOURT DR 2130142000	06/08/22 0.46	1846 347	RES IMP	\$ 156,632	\$ 62,862	40.13
06587	ODOM ALLEN NEWELL GARY	1704 APPLE VALLEY RD 1233097000	10/04/22 0.23	1861 1177	RES IMP	\$ 53,637	\$ 25,261	47.10
05974	HENSLEY GWEN T NFR REAL ESTATE HOLDINGS LLC	2247 BRIDGETON RD 83064000~LOT 4, BRIDGETON	09/09/22 0.08	1858 869	RES IMP	\$ 130,875	\$ 44,846	34.27
05760	JONES ERNEST B NGUYEN HIEN M/LE THI MY TIEN	1337 APACHE TRL 1644008000	08/24/22 0.47	1857 42	RES IMP	\$ 196,527	\$ 80,7	3



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03227	WISE KRISTI NGUYEN MYPHUC	1918 KRISTI WAY 1524062000	05/17/22 0.37	1843 380	RES IMP	\$ 218,750	\$ 85,232	38.96
00636	JARED CHARLES TAU AND SARAH KATHRYN NICHOLAS A NEWSOME	1524 STOVALL 443226000	02/10/22 0.14	1827 1728	RES IMP	\$ 203,382	\$ 59,462	29.24
05023	RIENKS MONICA ELIZABETH NICHOLAS GRANT HAYDEN	2110064000	07/29/22 1.01	1852 1861	RES IMP	\$ 274,537	\$ 99,568	36.27
07267	JOSEPH WILSON AND JILL FRANCISCO NICHOLAS ZELLER AND CARLY ZELLER	3106 GOOLSBY RD 2660002030	10/26/22 10.00	1864 1010	RES IMP	\$ 316,674	\$ 98,416	31.08
00484	LANE GUY F SR/LANE GUYNETTE V NICHOLS HOLDINGS LLC	1980010210	02/04/22 0.17	1825 2712	RES IMP	\$ 85,643	\$ 33,605	39.24
03338	RAMSEY ANN M NEWTON NICOLAS J ANDERSON AND JENNIFER L	3407 KERRY 321076000	05/20/22 0.38	1843 1348	RES IMP	\$ 360,651	\$ 94,337	26.16
03424	DEVINY MESORANA NICOLE ARRAZOLO	3660 CRAWFORDVILLE 530249000	05/31/22 0.37	1844 895	RES IMP	\$ 208,994	\$ 68,963	33.00
03298	MARY R JAMES NICOLE D LEVALLE	4715 BILLIE J 664093000	05/24/22 0.30	1843 1788	RES IMP	\$ 302,496	\$ 107,746	35.62
01784	BAUMERT OSCAR JACOB III AND CAPRICE A NICOLE MITCHELL	1332014000	03/28/22 0.31	1834 2455	RES IMP	\$ 127,718	\$ 35,402	27.72
01933	AUBREY CLIFTON AND NIDIA C GOMEZ	2704 DEVEREUX 532090000	03/31/22 0.15	1835 661	RES IMP	\$ 177,608	\$ 69,045	38.87
00785	HERIN WILLIAM P NLT INVESTMENT GROUP LLC	503 SHEFFIELD 251103000	01/13/22 0.39	1828 772	RES IMP	\$ 156,506	\$ 75,728	48.39
08511	BLAIR STEVEN D AND WANIKA L NOBLE SEAN REGINALD WILSON	671046000	12/15/22 0.34	1872 1821	RES IMP	\$ 248,791	\$ 98,772	39.70
01635	KEVIN BOZADA NOLAN GRAF	2409 WRIGHTSBORO 443039000	03/21/22 0.17	1833 1443	RES IMP	\$ 126,598	\$ 46,737	36.92
01086	STEVEN JOHN CASE AND COREY LEE CASE NOLAN REED AND TRACY L REED JTWROS	6002 CLIFFORD 653174000	02/25/22 0.28	1829 1866	RES IMP	\$ 330,051	\$ 124,747	37.80
03331	FERNANDEZ MICHAEL NORDHOLM BENJAMINE ELROY/NORDHOLM	2523 CROSSCREEK RD 1300005000	05/25/22 0.25	1843 2183	RES IMP	\$ 150,715	\$ 41,954	27.84
02597	FYFB LLC NORMAN E STUART AND LOCKSLEY ANTHONY	2145 BAYVALE 554111000	04/25/22 0.30	1839 796	RES IMP	\$ 86,468	\$ 33,107	38.29
00064	FYFB LLC NORMAN E STUART AND LOCKSLEY ANTHONY	2339 WALDEN 564087030	01/07/22 0.13	1822 591	RES IMP	\$ 144,315	\$ 36,970	25.62
03631	BERSACH MANUEL S NORMAN SANDRA L	2215 PLEASANT DR 100255000	06/07/22 0.17	1845 1540	RES IMP	\$ 209,439	\$ 64,176	30.64
05550	KEY SR JESSE L NORRIS JULIANA	2110015000	08/16/22 7.29	1855 62	RES IMP	\$ 205,109	\$ 90,933	44.33
02242	BARBARA CLEERE NU LIFE DEVELOPMENTS LLC	972218000	04/22/22 5.18	1838 1661	RES IMP	\$ 132,320	\$ 38,956	29.44
01779	C N PROPERTIES LIMITED LLC NUNNALLY'S INVESTMENT LLC	2604 MEADOWBROOK DR 1200042000	03/25/22 0.27	1834 1544	RES VAC	\$ 9,346	\$ 4,600	49.22
02478	CAMERON MILLS NYKIA GOLFF	1422019000	04/14/22 0.33	1837 1342	RES IMP	\$ 183,771	\$ 63,477	34.54
02118	RAYBURN WILLIAM STUART AND HEATHER O'SHEA RITA CATHERINE	3139 SWITZER 324067040	04/12/22 0.18	1837 2000	RES IMP	\$ 179,484	\$ 42,118	23.47
05619	COOK JOSHUA E ODIOR SAMSON	2140270000	07/28/22 0.80	1855 1664	RES IMP	\$ 194,725	\$ 69,367	35.62
04351	HOLIMON GRETTA P OKORAFOR EMMANUEL	2703 BOARS HEAD RD 60248000	06/21/22 0.35	1849 1919	RES IMP	\$ 293,765	\$ 121,978	41.52
04159	DAVIS DIANA L OLIVE GROVE PROPERTY LLC	2642 COVENTRY DR 184210000	06/21/22 0.01	1847 2217	RES IMP	\$ 205,073	\$ 67,565	32.95
00407	THOMAS KEENAN M OLIVIA JENKINS	122085000	01/26/22 0.20	1824 1707	RES IMP	\$ 220,569	\$ 66,662	30.22
05594	AMMAR TAHAR OLMSTEAD PROPERTIES GEORGIA LLC	2618 BERKSHIRE 184121000	08/04/22 0.01	1855 2101	RES IMP	\$ 253,168	\$ 61,186	24.17
01665	ANTONIO MENTIS OPHILA H MERCER	1300093000	03/21/22 0.25	1833 1878	RES IMP	\$ 150,042	\$ 53,000	35.35



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02835	BUSSEY PAMELA E OPLULENCE PROPERTIES LLC	962162000	05/05/22 5.18	1840 2538	RES IMP	\$ 84,817	\$ 36,504	43.04
06041	PASCHAL TONY D OPORE FRANCIS/ROBINSON ANDREW	1433 PERRY 463444000	09/02/22 0.13	1859 114	RES IMP	\$ 78,954	\$ 19,360	24.52
08433	MCINTOSH CHRISTOPHER ORTA-FOWLER II BEATRIZ/FOWLER DARREN L	1990151000	11/22/22 0.64	1870 1486	RES IMP	\$ 154,389	\$ 51,330	33.25
07274	AHMADI ZIA A ORTIZ BALTAZAR D	1586 GOSHEN RD 1990091000~UNIT B, BLDG 1586,	10/24/22 0.15	1865 569	RES IMP	\$ 145,893	\$ 39,575	27.13
06399	VERNON JOHNSON OUTSIDE THE BOX INVESTORS LLC	604010000	09/16/22 0.17	1859 1885	RES VAC	\$ 3,433	\$ 1,600	46.61
07537	TIBIWINSTON LTD OUTSIDE THE BOX INVESTORS LLC	612149000	11/15/22 0.32	1866 1259	RES VAC	\$ 10,298	\$ 1,600	15.54
02604	USRY TERRY W OWENS THERESIA/OWENS JOSEPH	1940 ROBERSON RD 1222194000	04/21/22 0.21	1838 2713	RES IMP	\$ 47,494	\$ 16,380	34.49
06210	POWELL THOMAS S PALMER RYAN WILLIAM	2239 BAYVALE 692025000	09/12/22 0.30	1860 2065	RES IMP	\$ 94,402	\$ 50,285	53.27
05040	ARAKA L WALKER AND NATHANIEL S WALKER PAMELA B RASCON	1011 REDBIRD 203057000	07/29/22 0.46	1853 136	RES IMP	\$ 157,050	\$ 58,609	37.32
04431	MILTON BENNINGS PAMELA DYCHES	982240000	07/07/22 5.18	1849 1100	RES IMP	\$ 72,947	\$ 29,453	40.38
05992	LEWIS JONATHAN DALE/CARA ROFS PAMELA L MATHIS	112 AZALEA 271010000	09/02/22 0.26	1857 2157	RES IMP	\$ 254,884	\$ 83,107	32.61
03855	ROUSE DAVID TYREL/STEWART DEBORAH PAMELA S CHINNERY	1222265000	06/14/22 0.26	1846 1547	RES IMP	\$ 134,974	\$ 47,606	35.27
02756	NUSRAT FAHEEM PARKS AMANDA JON	3214 ALPINE 421017000	04/20/22 0.29	1840 9	RES IMP	\$ 131,635	\$ 35,111	26.67
07674	AME OLDE TOWN LLC PARR ENDEAVOURS LP	201 BROAD ST 472108000	11/22/22 0.12	1867 1069	RES IMP	\$ 158,766	\$ 62,907	39.62
05838	JOHNSON BRYAN PATEL CHIRAG G	532 ELLISON WAY 121069000	08/31/22 0.14	1857 630	RES IMP	\$ 167,348	\$ 56,915	34.01
00490	GURU PROPERTIES LLC PATEL KALPESH/PATEL HIRAL	2003 RIVIERA DR 122204000	01/28/22 0.04	1826 604	RES IMP	\$ 146,809	\$ 38,233	26.04
04077	LITTLE MEGAN E PATEL PAYALBEN/PATEL VIRENDRAKUMAR	100093000	06/27/22 0.34	1848 978	RES IMP	\$ 203,092	\$ 72,401	35.65
06401	DAVE SUJAL K PATEL SUKETU	121070000	09/02/22 0.10	1860 772	RES IMP	\$ 150,184	\$ 53,373	35.54
05043	MICHAEL FOX LUCAS PETERSON PATRICK MURPHY	120160000	08/03/22 0.11	1853 478	RES IMP	\$ 47,201	\$ 18,734	39.69
05460	KOEHLER VICTOR A PATTERSON JEAN	2549 WALTON WAY 343068020~UNIT A3, COLONIAL COURT	08/16/22 0.04	1855 2391	RES IMP	\$ 194,810	\$ 72,098	37.01
00608	WEW PROPERTIES II LLC PATTERSON LANISHA EVANS	1538 MAPLE ST 594144000	01/14/22 0.13	1826 1807	RES IMP	\$ 27,713	\$ 7,670	27.68
00226	SMITH DAVID E PATTERSON SHAUNA/BAILEY RUSSELL/HAYES	1547 CENTURION 2330003010~LT 35 BLK A	01/17/22 24.91	1823 1774	AGR VAC	\$ 90,816	\$ 20,177	22.22
06775	BOONE CHIVON J PAUL L HORNE AND RONNIE E HORNE	5190 COPSE 653311000	10/12/22 0.23	1862 1753	RES IMP	\$ 266,041	\$ 106,717	40.11
02823	NORWOOD 2907 LLC PAULETTE FREEMAN	2907 NORWOOD 530109000	05/05/22 0.36	1840 2280	RES IMP	\$ 169,635	\$ 51,812	30.54
02449	GINA K FLAKES KENNETH D FLAKES THOMAS PAULINE WATERMAN	1266 MARKS CHURCH 313146000	04/20/22 0.29	1838 2085	RES IMP	\$ 226,704	\$ 55,388	24.43
07088	CARLISLE INVESTMENT PROPERTIES LLC A PAWS FARMS LLC A GEORGIA LIMITED	2068 WALTON WAY, UNIT 203 353446000	10/31/22 0.03	1864 1626	RES IMP	\$ 128,729	\$ 41,474	32.22
07170	GEORGE WALTON INVESTMENT PROPERTIES PAWS FARMS LLC A GEORGIA LIMITED	2068 WALTON 353440000,353442000	10/31/22 0.06	1864 1620	RES IMP	\$ 257,459	\$ 100,916	39.20
00051	PAGE III EDWIN MAGRUDER PAYNE DORT BARTLEY	3212 WHEELER RD 244035000	01/05/22 2.20	1821 1045	RES IMP	\$ 598,109	\$ 210,493	35.19
08415	CARTER MILDRED L PAYNE ROY	83052000	12/30/22 0.05	1871 481	RES IMP	\$ 137,311	\$ 44,600	32.13



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08610	PCS NITROGEN FERTILIZER LP	1408 COLUMBIA NITROGEN DR 760015000	9.35		COM IMP	\$ 1,814,345	\$ 586,582	32.33
07218	DUPREE KAFILAT PEARCY BRIAN SCOTT	1843 JENKINS ST 353294000	10/31/22 0.11	1864 2189	RES IMP	\$ 55,783	\$ 24,956	44.74
05454	MOORE DORETHA J PEARSON RENTAL PROPERTIES (INC)	2008 EWART CT 1300800000~LOT 10, BLK A, AMBERLAKE	08/05/22 0.27	1854 2575	RES IMP	\$ 102,984	\$ 46,618	45.27
02643	RUSH ENTERPRISES LLC PEARSON RENTAL PROPERTIES INC	FLEMING DR 1101009000~LOT 1, BLK E, NEW	04/20/22 0.30	1840 81	RES IMP	\$ 86,842	\$ 28,188	32.46
03392	BOWMAN FRANCES L PECIII PROPERTIES LLC	1190310000	05/26/22 0.23	1844 478	RES IMP	\$ 93,892	\$ 39,092	41.64
00687	STEFFES CHRISTINA PECKHAM JONATHAN MARK	1028 EUSTIS DR 203062000~SEE LEGAL REEL 182P.2243	01/26/22 0.49	1826 1971	RES IMP	\$ 171,553	\$ 59,678	34.79
01858	ARID LLC PEEBLES EDITH M	2423 APRICOT LN 192075000	03/22/22 0.32	1833 2332	RES IMP	\$ 173,341	\$ 59,094	34.09
00818	TAYLOR MELANIE PENTON EBONY	2008 HATTON CT 790029000	02/16/22 0.20	1828 832	RES IMP	\$ 260,119	\$ 96,550	37.12
01320	COLEMAN BARRY LERENZA PEREZ FRANKLIN H	3648 JAMAICA DR 313134000~LOT 24, BLK J, SEC 2-E,	02/25/22 0.38	1831 736	RES IMP	\$ 200,901	\$ 66,766	33.23
01217	SWARTZ JESSICA PEREZ JENNIFER J C/CRUZ CYNTHIA PEREZ	5220 ARUBA 402413000	02/25/22 0.10	1829 2687	RES IMP	\$ 150,197	\$ 52,256	34.79
00042	WONG MING-CHAU PEREZ SHAVIER A	3071 WHEELER RD 253028000~26, C	01/07/22 0.38	1821 2304	RES IMP	\$ 248,818	\$ 73,874	29.69
03475	JETT LIGHTSEY LAFFITTE PERKINSON DAVID BAYLESS/PERKINSON	422 WAVERLY DR 240104000~29, H	06/01/22 0.38	1844 1715	RES IMP	\$ 361,227	\$ 124,110	34.36
06833	TREMBLE JESSIE L PERRY DONALD R/PERRY SUSIE A	2669 NEW HOPE CIR 2940100000	10/18/22 1.00	1863 1244	RES IMP	\$ 308,951	\$ 132,391	42.85
06044	COOPER JR CHARLES H PERSTIN MICHAEL	2128 BAYVALE RD 554098000~LOT 73 BAYVALE PARK	09/09/22 0.28	1859 578	RES IMP	\$ 77,238	\$ 31,127	40.30
04829	R R PROPERTY MGT LLC AUGUSTA GA PERSTIN MICHAEL	1091041000	06/24/22 0.36	1851 2539	RES IMP	\$ 60,405	\$ 22,617	37.44
06042	COOPER CHARLES H JR ROFS PERSTIN MICHAEL	1192 BENNOCK MILL RD 2340032000~LOT 6, PINEHURST	09/09/22 0.36	1859 561	RES IMP	\$ 72,947	\$ 20,210	27.71
08498	BUCHHOLZ MURIEL M PETER J MARTINEZ AND DIANA B MARTINEZ	312003000	12/14/22 1.02	1872 1377	RES IMP	\$ 750,922	\$ 252,055	33.57
00381	ALLMOND MICHAEL SHERMAN PETER JACKSON AND EASTER M JACKSON AS	1650160000	01/28/22 0.62	1825 1239	RES IMP	\$ 254,470	\$ 85,039	33.42
00097	MW CAPITAL PROPERTIES LLC PETER JOHN LARSON	2425 CAMELOT 192056000	01/12/22 0.37	1822 2323	RES IMP	\$ 272,617	\$ 105,235	38.60
03680	WERRICK GINA MARIE PETERSON MAX	3258 SUMMERCHASE 424152000	05/23/22 0.19	1844 1089	RES IMP	\$ 152,759	\$ 56,945	37.28
05044	O'BRIGHT JASON M PETRY ELIZABETH	4085 PEACH ORCHARD RD 2110002000, 2110047010~TRCT B, TRCT	07/15/22 2.22	1853 525	AGR IMP	\$ 168,661	\$ 57,898	34.33
02057	RASCAL ENTERPRISES INC PEYTON QUANESHA M	1502 KERON WAY 3360139000~LOT 4, BLOCK A, SECTION I,	01/24/22 0.76	1836 1908	RES VAC	\$ 9,721	\$ 4,020	41.36
02531	CRAWFORD RICHARD L PEZELY ELIZABETH L	4354 BATH EDIE RD 2690001050	04/27/22 1.38	1839 453	RES IMP	\$ 193,671	\$ 105,852	54.66
04865	WILLIAMS JR KENNETH PHIDD RIAN	4144 PULLMAN CIR 790116000	07/11/22 0.22	1850 2766	RES IMP	\$ 290,070	\$ 119,730	41.28
06641	JAMIE BROWN FKA JAMIE MCGAHEE PHILLIP MICHAEL PIERCE	2005 VIRGINIA 984099000	08/25/22 0.31	1861 2792	RES IMP	\$ 51,492	\$ 18,998	36.90
07428	HOUSEY JASMINE J PHILLIPS BENJAMIN	3120 SCENIC DR 554030000	10/27/22 0.32	1866 209	RES IMP	\$ 49,003	\$ 28,304	57.76
05851	WILLIAM REID GOOD PICHI WELSH	2213 WOODLAND 572004000	08/29/22 0.26	1856 2122	RES IMP	\$ 201,676	\$ 73,577	36.48
03518	EMAC GROUP INC PIEDMONT HOME RENTALS LLC	1104186000	06/06/22 0.29	1845 1797	RES IMP	\$ 48,241	\$ 22,130	45.87
01341	DIXON WILLIAM M PITTMAN LYSSA B	5007 DIXON CT 2220083000	03/11/22 1.26	1832 1380	RES VAC	\$ 11,821	\$ 6,3	5



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08370	CLARK BENJAMIN PITTS JEREL	2804 WYNDHAM DR 1661030000~LOT 2, BLK F,	12/22/22 0.21	1871 1128	RES IMP	\$ 188,803	\$ 65,141	34.50
01305	BRAHIER SEBASTIAN SCOTT PLEW CAROLINA/PLEW STEPHEN	3102 CAWLEY CT 333226000~LOT 1, CAWLEY PLACE	03/02/22 0.08	1831 615	RES IMP	\$ 160,059	\$ 57,420	35.87
06133	SHAW PETER J PLOOSTER SKYLER DALE	1005 BERTRAM ROAD EXT 74038000	09/07/22 0.08	1858 1071	RES IMP	\$ 171,553	\$ 52,039	30.33
01449	GRAHAM MICHAEL A AND THERESA G PMD56 LLC	2915 KINGS VIEW 520323000	03/10/22 0.39	1831 1339	RES IMP	\$ 141,964	\$ 57,296	40.36
00415	BRIAN M JAMES POCOTALIGO INVESTORS LLC	1575 FENWICK 354292000	01/24/22 0.07	1824 1756	RES IMP	\$ 58,913	\$ 26,600	45.15
01704	JOHN W OSBON POCOTALIGO INVESTORS LLC	501 BEAUFORT 351163000	03/18/22 0.22	1833 204	RES IMP	\$ 115,166	\$ 34,036	29.55
04363	BECK JASON PON KRISTEN/PON JASON	83065000	06/23/22 0.07	1849 888	RES IMP	\$ 121,783	\$ 44,846	36.82
06716	SPINELLO CHAD C POOLE TRISTAN L	1770052000	09/27/22 0.36	1862 710	RES IMP	\$ 186,229	\$ 56,588	30.39
07387	COELLO RYAN J PORRAS RUBEN L/PORRAS ASHLEY M	8041 CRAWLEY ST 640091000	11/07/22 0.20	1865 1473	RES IMP	\$ 227,336	\$ 86,235	37.93
05700	GONDER JACQUELINE POSH PADS LLC	915 HOPKINS ST 464463000	08/26/22 0.07	1856 1843	RES IMP	\$ 87,176	\$ 53,663	61.56
00004	AEF INVESTMENT PROPERTIES LLC POWERS SHANNON M	1290654000	01/03/22 0.36	1821 453	RES IMP	\$ 144,821	\$ 50,871	35.13
07476	DIANNE MAULDIN PITTMAN PRANEETH KUDARAVALLI AND ELIZABETH A	2291 OVERTON 262187000	11/10/22 0.62	1866 791	RES IMP	\$ 270,332	\$ 97,988	36.25
03401	KLEMENT PATRICK J PRATHER ROBERT CHASE	2549 WALTON WAY, APT B2 343068050	05/27/22 0.04	1844 1	RES IMP	\$ 138,500	\$ 54,151	39.10
04447	101 GOOD INVESTMENTS LLC PRENTICE K EDWARDS AND ERIC K	1519 HEATH 443180000	06/29/22 0.16	1848 2285	RES IMP	\$ 245,424	\$ 100,503	40.95
02045	ORTIZ MARITZA PREWITT NETTIE R	1400493000	03/17/22 0.52	1836 173	RES IMP	\$ 164,660	\$ 57,690	35.04
00527	BARBARA JOAN LEE STENSTROM BY ERIKA PRUITT ELLEN NEAL	1301 ANTHONY RD 441190000~B	02/07/22 0.12	1826 767	RES IMP	\$ 339,798	\$ 134,403	39.55
01531	SIPLIN ELIZABETH VANESSA PRYOR DWIGHT/PRYOR FELECIA	1300834000	03/14/22 0.32	1832 298	RES IMP	\$ 165,923	\$ 53,270	32.11
03305	BYRD CECILIA L PUCKETT DEBORAH E	1980010280	05/24/22 0.19	1843 1061	RES IMP	\$ 133,013	\$ 33,640	25.29
02661	ROBERTSON THELMA PULLING NADINE R	4526 LOGANS 662238000	04/27/22 0.26	1839 2783	RES IMP	\$ 248,415	\$ 93,839	37.78
04375	GEORGE THURMOND AND ANNETTE PYE INVESTMENTS LLC	2018 M L KING JR 722022000	07/01/22 0.17	1849 660	RES IMP	\$ 94,402	\$ 33,831	35.84
02399	ROSE III CHARLES E PYOR JESSICA TORRES/PRYOR MICHELS	1324 HICKMAN 444150000	04/12/22 0.32	1837 675	RES IMP	\$ 207,005	\$ 86,388	41.73
00563	ALSTON DARREN QING YUN LLC A GEORGIA LIMITED LIABILITY	2906 PEACH ORCHARD RD 1101094000	02/14/22 0.65	1827 1152	COM IMP	\$ 375,117	\$ 90,960	24.25
04639	JESSICA M WEBER QUANSHENG DU AND JIANGYAN TAN JTWROS	3317 CUSHENDAL 532116000	07/14/22 0.08	1850 1852	RES IMP	\$ 163,057	\$ 55,767	34.20
07967	MUJADIDI ADAM S QUEEN E MORGAN	1951013000	12/09/22 0.21	1869 634	RES IMP	\$ 300,798	\$ 129,333	43.00
07054	BEVERLY L MITCHELL ET AL QUENEDA DANIELLE LANE	1400270000	11/03/22 0.42	1865 269	RES IMP	\$ 158,766	\$ 49,190	30.98
04469	DYLAN LAZAR QUENTIN HEATH DILLINGHAM	2240055000	07/13/22 2.46	1850 1219	RES VAC	\$ 25,746	\$ 5,412	21.02
08401	FRAZIER CHRISTOPHER M QUINTIN JOHNSON	954048000	12/30/22 0.25	1871 245	RES IMP	\$ 180,221	\$ 79,115	43.90
03801	JOSHUA D AUSTIN RACHEL MICHELLE BARNARD	70168000	06/10/22 0.24	1846 506	RES IMP	\$ 158,185	\$ 50,758	32.09
00432	IDK HOMES INC RACHEL YARBROUGH	1803007000	01/28/22 0.21	1825 16	RES IMP	\$ 352,245	\$ 127,9	36.31



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04322	PETRILLI CARL E RACHELS BRYAN S	5052 COPSE 640180000	07/01/22 0.29	1849 229	RES IMP	\$ 283,205	\$ 110,623	39.06
00013	GOOLSBY HORACE G RADEMAN BROC/RADEMAN JESSICA ERYN	3421 WALTON WAY 310029000-8	01/03/22 0.90	1820 2197	RES IMP	\$ 424,330	\$ 122,669	28.91
07771	JULIA A LEWIS RAFAEL GERALDO GONZALEZ	1660041000	12/05/22 0.46	1868 937	RES IMP	\$ 20,597	\$ 8,903	43.23
05934	LAUREN CARLIE AND KEVIN CARLIE RAFAEL LOPEZ	3015 BROCKHAM 403118000	09/09/22 0.10	1858 734	RES IMP	\$ 170,781	\$ 69,892	40.92
00819	PANTSARI MATTHEW WILLIAM RAINSFORD JR BETTIS	736 RAVENEL RD 240143000~31, B	02/15/22 0.47	1827 2313	RES IMP	\$ 694,475	\$ 263,114	37.89
06441	KING DAVID J ROFS/STEPHANIE K RAMONA PAUL-THOMPSON	114063000	09/23/22 0.04	1860 1863	RES IMP	\$ 147,610	\$ 40,740	27.60
02197	CUMMINGS A RENEE RAMOS ADRIAN D	2770 HUNTCLIFFE 653069000	03/29/22 0.14	1838 450	RES IMP	\$ 260,809	\$ 108,682	41.67
06944	SCHEELER JOHNATHAN RAMOS ALEXANDER	3318 QUAKER SPRING CT 160220000-9, C	10/28/22 0.37	1864 864	RES IMP	\$ 239,437	\$ 67,633	28.25
05256	POTTER THOMAS RAMSEY EVANS	5301 COPSE DR 653264000	08/01/22 0.19	1853 1389	RES IMP	\$ 253,168	\$ 107,179	42.34
05564	RHODES RANDAL RAMSEY REGINA/PHILLIPPS WILLIAM	3423 COVINGTON CT 533097000	08/12/22 0.26	1855 1040	RES IMP	\$ 313,242	\$ 110,680	35.33
02570	GERMANN DAVID R RANKIN ELEANOR E/RANKIN JOHN G	2438 NORTON DR 973206260	04/20/22 0.29	1839 70	RES IMP	\$ 123,408	\$ 39,722	32.19
08600	RASP INVESTMENTS LLC	1236 AUGUSTA WEST PKWY 300223000	0.13		COM IMP	\$ 145,001	\$ 50,473	34.81
07536	HOBBS DANIEL B ROFS/MCBRIDE MARIN RAVEN RENEE ROBINSON	2322 GETZEN 974065000	11/15/22 0.27	1866 1278	RES IMP	\$ 139,028	\$ 48,594	34.95
00455	MASTERS CHARLES L REAL HOME SOLUTIONS LLC	48 CHASTE TREE 162159000	01/31/22 0.06	1825 1519	RES IMP	\$ 117,164	\$ 39,048	33.33
00435	MASTERS CHRISTOPHER T REAL HOME SOLUTIONS LLC	63 MONTEBELLO 162166000	01/31/22 0.07	1825 1511	RES IMP	\$ 117,164	\$ 40,204	34.31
00150	MOTLEY RODNEY REAVES DARRYL	1803016000	01/18/22 0.19	1824 605	RES IMP	\$ 350,246	\$ 139,460	39.82
08430	DIXON TAYLOR NJENNIFER WALTZ ROFS REBECCA FAIRCLOTH	411022000	12/30/22 0.26	1871 1006	RES IMP	\$ 158,766	\$ 53,298	33.57
06043	BRIDGES SUSAN REDEL CHRISTINE ANN/REDEL KALINDA	314153000	08/29/22 0.04	1859 118	RES IMP	\$ 177,647	\$ 53,988	30.39
06826	UNRUH INVESTMENTS LLC REDUS DANIELLE B	1290436000	09/30/22 0.25	1862 2358	RES IMP	\$ 180,135	\$ 56,486	31.36
00180	DESBROW MARY A REED BURTON LEON/REED PANDORA L	1716 GOSHEN RD 1980105000	01/19/22 0.40	1823 1191	RES IMP	\$ 237,484	\$ 67,617	28.47
08431	RUSSELLO KAITLIN REED JOURNEY LYNN	4243 JAMES DR 1660005080	12/30/22 0.47	1871 479	RES IMP	\$ 124,438	\$ 45,740	36.76
05593	DIAZ SAMUEL SALGADO REESE MARCUS J	2913 AYLESBURY 531116000	08/04/22 0.09	1855 2084	RES IMP	\$ 211,974	\$ 95,496	45.05
01021	FRAZIER JANET REGA HOLDINGS LLC	2918 RASHA 950442000	02/25/22 0.30	1829 1859	RES IMP	\$ 110,017	\$ 43,996	39.99
00056	FRAZIER JANET REGA HOLDINGS LLC	2906 RASHA 950448000	01/07/22 0.34	1822 437	RES IMP	\$ 109,480	\$ 46,308	42.30
02380	KEITH NORRIS REGGIE FICKLIN	945 BEMAN 452014000	04/18/22 0.20	1838 369	RES IMP	\$ 128,199	\$ 40,291	31.43
06602	ALYCIA D JENKINS REGINA ELIZABETH ROLLAND	3135 BELLEMEADE 842182000	10/07/22 0.29	1862 247	RES IMP	\$ 100,409	\$ 37,546	37.39
05153	DENISIUK JOHN REGINA SANDERS HOWARD A/K/A REGINA	704 RIVERFRONT 620025000	07/29/22 0.08	1854 269	RES IMP	\$ 273,765	\$ 99,288	36.27
01438	GUNNS KENNETTA R REID CLEVE/REID MONIQUE	1420027000	03/14/22 0.37	1832 932	RES IMP	\$ 202,805	\$ 63,994	31.55
05753	CECELINE MULDROW RENITA R FLAKES	1222323000	08/26/22 0.26	1856 2723	RES IMP	\$ 60,074	\$ 31,3	5



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00392	IDRIS S SHAKUR AND CHRYSTAL A SHAKUR RENT BOSS LLC	2984 CLARKSTON 533007000	01/31/22 0.26	1825 1312	RES IMP	\$ 153,289	\$ 86,910	56.70
07785	JOHNSON JR VERNON B RERAY PROPERTIES LLC	3107 DEANS BRIDGE RD 962205000	11/28/22 0.29	1867 1532	COM IMP	\$ 253,552	\$ 70,747	27.90
05552	BARTON CHAPEL DENTAL GROUP LLC RERAY PROPERTIES LLC	2755 BARTON CHAPEL RD 1070834000~TRCT A	08/11/22 0.27	1855 50	COM IMP	\$ 287,667	\$ 99,158	34.47
04003	MILES AMANDA LYNN REYES KARINA L/GONZALEZ SANCHEZ	4664 WINDSOR SPRING RD 2090056000	06/16/22 0.52	1847 1221	RES VAC	\$ 13,038	\$ 7,000	53.69
06563	DILLON JAMES J REYNOLDS CODY	1859 BARTON DR 1450148000	09/30/22 0.28	1861 1094	RES IMP	\$ 186,658	\$ 59,494	31.87
01205	THIGPEN MELINDA COLEMAN REYNOLDS GERALD D/REYNOLDS REBECCA H	2473 MCDOWELL ST 441023000	02/25/22 0.25	1830 865	RES IMP	\$ 196,118	\$ 86,821	44.27
02227	BRUCE A CLIATT RHODES VENTURES LLC	928 MEIGS 442046000	04/25/22 0.22	1838 2345	RES IMP	\$ 382,280	\$ 131,980	34.52
06906	AAL-AZEEZ EHAB Q RHONDA ANN RAWLINGS	80033000	10/17/22 0.04	1863 1	RES IMP	\$ 95,946	\$ 41,762	43.53
00124	BUGGELN SHIVAUN RHONDA R DE COSTA	120177000	01/17/22 0.11	1823 568	RES IMP	\$ 108,613	\$ 23,529	21.66
01073	CHRISTOPHER BOWLES RICARDO MACK	1331149000	03/07/22 0.15	1831 103	RES IMP	\$ 128,087	\$ 50,444	39.38
03650	SOUTHFUND PARTNERS III RICH DENNIS E	2213 NORTH LEG 690013100	05/19/22 4.85	1845 1545	COM IMP	\$ 130,963	\$ 38,880	29.69
04434	JEANETTA RAY LINGLE RICHARD AARON AYALA AND SABRINA AYALA	1990042000	06/30/22 0.18	1848 2360	RES IMP	\$ 158,766	\$ 56,984	35.89
00828	LUSTER STEPHEN M AND ASPASIA L RICHARD ALLEN BASS	114113000	02/15/22 0.04	1828 459	RES IMP	\$ 144,682	\$ 41,892	28.95
05255	JACK D STEELE RICHARD ALLEN OWENS	1700093000	08/04/22 0.33	1853 2234	RES IMP	\$ 120,147	\$ 46,682	38.85
00601	MING F LIN RICHARD BERNARD WILCOX JR	1300663000	02/09/22 0.29	1827 408	RES IMP	\$ 150,238	\$ 50,067	33.33
00989	GRANT KODY RICHARD CABRERA-CICERO JR	2700155000	03/04/22 0.72	1830 1498	RES IMP	\$ 209,254	\$ 65,634	31.37
04461	SEPULVADO SHARON KAY VALLERY RICHARD FRERICHS	2315 WHEELESS 703002000	07/08/22 2.48	1850 549	COM IMP	\$ 63,844	\$ 24,594	38.52
02553	CARTER ERIC L AND BRIDGETTE P ROFS RICHARD J BAME	1640200000	04/25/22 0.35	1839 626	RES IMP	\$ 195,691	\$ 79,422	40.59
00153	ABDIEL VELEZ GONZALEZ AND CLAUDIA R RICHARD JOSEPH DOMBROSKI III AND JOHN D	1413 RIDGEWOOD 412169000	01/18/22 0.19	1823 1155	RES IMP	\$ 137,138	\$ 36,281	26.46
03133	MATTHEW C CAMPUZANO AND LINDSEY A RICHARD LOUIS HERNANDEZ III AND	780143000	05/17/22 5.18	1843 63	RES IMP	\$ 241,072	\$ 89,438	37.10
02239	STANSELL LEE D AND AMY R RICHARD M THEOBALD JR AND ANGELA J	1320017000	04/20/22 0.23	1838 2278	RES IMP	\$ 131,543	\$ 35,485	26.98
08366	MONTING Y GARY/NKA PATRICIA MONTING Y RICHARDS ROBERT	501 MILLEDGE RD 342017220	12/15/22 0.09	1871 1306	RES IMP	\$ 70,372	\$ 25,124	35.70
01834	JACKSON LENARD L RICHARDSON DARRYL	4505 ETTERLEE RD 1750002110	03/21/22 2.73	1834 176	RES VAC	\$ 23,444	\$ 6,275	26.77
04471	STEPHENS EMMA CAROLINE RICHARDSON HAYLEE	1729 OAK 574025000	06/16/22 0.21	1850 92	RES IMP	\$ 147,768	\$ 46,942	31.77
07626	MARTIN WILSON JR RICHARDSON RENTHIA/RICHARDSON	4046 MADISON 534070000	10/26/22 0.88	1866 1503	RES IMP	\$ 374,173	\$ 144,156	38.53
03363	ROBERTS JOYCE RICHARDSON RITA/RICHARDSON JEFFREY A	4325 WOODVALLEY PL 1670498000	05/26/22 0.37	1844 115	RES IMP	\$ 109,392	\$ 38,256	34.97
08483	SIMS PHEBEE VUN RILEY SHELIA	3890 MURRAY ST 660001000~LOT 8, BLK B, SEC 1, BELAIR	12/27/22 0.46	1872 359	RES VAC	\$ 30,037	\$ 10,080	33.56
04293	CLAYTON ANTHONY RILEY TAYLOR W	5261 COPSE 653274000	06/23/22 0.19	1848 1303	RES IMP	\$ 231,474	\$ 93,255	40.29
06045	JOYCE TOOLE PROPERTIES INC RIVERA LUPE R	1104073000	09/07/22 0.26	1859 143	RES IMP	\$ 103,413	\$ 24,5	5



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03138	HOBBS JR R HAROLD RIVERA SHARON ALEITHA	303 ALEX LN 122027000	05/18/22 0.06	1842 2110	RES IMP	\$ 156,915	\$ 52,038	33.16
07284	LOTT III JOHN H RIXE OLIVIER	1231 SANDE HILL PLACE 324099280~UN 5A	11/02/22 0.08	1864 2719	RES IMP	\$ 121,006	\$ 48,873	40.39
03577	BARSTOOL AUGUSTA LLC RJF STUDENT PROPERTIES INC	134217000	06/03/22 0.28	1845 1319	RES VAC	\$ 175,893	\$ 39,030	22.19
01453	QUALAWASH HOLDINGS LLC RNK DEVELOPMENT LLC	1601 MARVIN GRIFFIN RD 1340003010	03/03/22 3.53	1831 1592	COM IMP	\$ 340,013	\$ 95,042	27.95
04418	ELEANOR L SIMPKINS ROBERT BOWMAN	3024 WILLIS FOREMAN RD 1500008000	07/07/22 10.02	1849 1687	RES IMP	\$ 205,967	\$ 55,373	26.88
04151	TYLER P DEVINE ROBERT J HITE AND DARCEE CLAIR HITE	3004 STARBOARD 520371000	06/21/22 0.33	1847 1540	RES IMP	\$ 194,603	\$ 71,564	36.77
01328	NELLO A THOMAS AND IVY D THOMAS ROBERT LOGAN FERRARO	1700128000	03/11/22 0.30	1831 2470	RES IMP	\$ 127,662	\$ 44,355	34.74
07478	WHITLEY CHRISTOPHER LEE ROFS/KALEE ROBERT MCCALL BARNES	725 HICKMAN 353011000	11/10/22 0.29	1866 467	RES IMP	\$ 240,295	\$ 119,502	49.73
02038	MAURICE D WOODS AND DARSHHELL WOODS ROBERTO ACOSTA JR	2806 HUNTCLIFFE 654164000	04/01/22 0.13	1835 1057	RES IMP	\$ 264,793	\$ 111,242	42.01
08470	SMITH BRANDON A ROBERTO CHRISTIANE M/SAYLOR-ROBERTO	2490002010	12/08/22 1.59	1871 1996	RES IMP	\$ 188,803	\$ 66,158	35.04
04582	KLEINBUB MATTHEW T ROBERTS CAROLYN D	3133 SWITZER 324067010	07/06/22 0.15	1849 2239	RES IMP	\$ 177,647	\$ 43,565	24.52
05933	JACOBSON WILLIAM KETCHAM ROBERTS GUY B/ROBERTS HELENE W	3005 VASSAR DRIVE 253066000~17,18,19	09/06/22 0.62	1858 789	RES IMP	\$ 579,282	\$ 226,291	39.06
04688	NICHOLSON JAMES C ROBERTS JULIAN H	3125 WALTON WAY 322117000	07/20/22 0.87	1851 1397	RES IMP	\$ 343,278	\$ 149,832	43.65
04259	JOHNSON JR ROBERT H ROBERTS LISA NEWMAN	2347 WALTON WAY 344065000	06/30/22 0.46	1848 1787	RES IMP	\$ 418,714	\$ 148,627	35.50
08130	ATKINSON BILL ROBERTSON RHONDA	1092101010	12/08/22 0.42	1869 137	RES VAC	\$ 12,873	\$ 3,920	30.45
07426	MANESS JAMES F ROBINS NEST HOME SERVICES LLC	2017 CANDADA DR 1221053000	10/28/22 0.34	1866 42	RES IMP	\$ 77,152	\$ 37,921	49.15
07516	CATAMOUNT PROPERTIES 2018 LLC ROBINSON DONNELL D/ROBINSON CRYSTAL	2320199000	11/14/22 0.41	1866 1555	RES IMP	\$ 221,415	\$ 93,226	42.10
02762	D R HORTON INC ROBINSON GINA Y	568 POST OAK 653406000	04/29/22 0.19	1840 35	RES VAC	\$ 362,117	\$ 149,920	41.40
04780	LASCHKEWITSCH SCOTT ROBINSON JARVIE D	4525 LOGANS WAY 662247000	07/15/22 0.28	1851 1678	RES IMP	\$ 227,336	\$ 80,515	35.42
08519	TROUPE MICHAEL L JR/LAUREN /ANGELICA ROBINSON-WILSON OCTAVIA L	1521053000	12/28/22 0.28	1873 950	RES IMP	\$ 379,323	\$ 169,204	44.61
06836	ADAMS DOROTHY C ROCHE KATHLEEN F/ROCHE SEAN M	2511 WALTON WAY 343061020	10/21/22 0.98	1863 1289	RES IMP	\$ 986,925	\$ 290,482	29.43
01180	STEPHANIE SHEPARD ROCHELLE MCCULLOUGH	1911 ROCK SPRINGS 423053000	02/28/22 0.38	1830 514	RES IMP	\$ 159,369	\$ 51,866	32.54
00646	JOHNSON CALEB MICHAEL ROCKY POND LLC	3216 HILLSVIEW DR 520312000	02/04/22 0.37	1826 2685	RES IMP	\$ 175,179	\$ 43,894	25.06
05148	STEVENS BARBARA A RODD BRITTANY R/RODD DONALD A	3013 OLD LODGE RD 2710054000~LOT 7, BLK A, SPREAD OAK	08/02/22 1.19	1853 1861	RES IMP	\$ 257,459	\$ 94,989	36.89
01489	KALYNN WALKER SHEPHERD AND RODERICK ERNEST RILEY AND LESLEY D	3929 CAROLYN 520144000	03/10/22 0.46	1831 1514	RES IMP	\$ 459,018	\$ 150,620	32.81
01463	SIKES DANIEL B RODRIGUEZ CARLOS/RODRIGUEZ MARINA	2903 RIDGEVIEW 390164000	03/16/22 0.28	1832 1412	RES IMP	\$ 139,372	\$ 54,489	39.10
03921	BODDIFORD MCQUE RODRIGUEZ DONNA	3021 HUMMINGBIRD LN 1091176000	06/16/22 0.28	1846 2691	RES VAC	\$ 7,823	\$ 3,128	39.98
04325	CROSBY HEATHER R RODRIGUEZ-SOBRADO MICHELLE	2720025000	06/30/22 0.23	1848 1700	RES IMP	\$ 101,267	\$ 30,231	29.85
00704	MOODY SARA P AND THOMAS W ROGER L EDEN	114110000	02/10/22 0.04	1827 513	RES IMP	\$ 142,852	\$ 42,2	29.9



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04118	IMS PROPERTIES LLC ROGER RAMSARAM	1670394000	06/27/22 0.51	1848 806	RES IMP	\$ 126,933	\$ 35,632	28.07
00902	WBHC LLC ROGERS TANYA Y	3618 ALENE CIR 1070342000	02/22/22 0.25	1829 495	RES IMP	\$ 119,879	\$ 27,629	23.05
03782	LARSON ALEXANDER R ROJAS SAMANTHA/ROJAS MAXIMO	260 DEERFIELD LN 220051000	06/10/22 0.36	1846 662	RES IMP	\$ 219,799	\$ 77,549	35.28
08606	ROLLING FRITO-LAY SALES LP	1715 NORTH LEG CT 551085010	1.62		COM IMP	\$ 443,350	\$ 148,563	33.51
04199	ELLIOTT HANNAH E ROLLRENTAL ONE LLC	1223033000	06/24/22 0.24	1847 2636	RES IMP	\$ 120,809	\$ 66,518	55.06
00245	MORGAN ROBERSON RONNIE MARSHALL	1212039000	01/21/22 0.24	1824 494	RES IMP	\$ 157,381	\$ 45,380	28.83
00016	RODNEY O WHITE RONTRES HARRIS	3647 MADRID 820553000	01/05/22 0.28	1821 760	RES IMP	\$ 84,732	\$ 31,701	37.41
04832	WORLEY E PIERSON III AND KELLI M PIERSON RORY WATTS	2990011000	07/22/22 0.90	1851 2247	RES IMP	\$ 210,258	\$ 89,060	42.36
00893	GRAHAM V STEVENSON AND REBECCA R ROSA E JACKSON	2303 DEARBORN 571043000	02/23/22 0.28	1829 607	RES IMP	\$ 160,985	\$ 36,482	22.66
00159	RABUN RONALD K ROSIER ANDREW	2417 SOUTHGATE DR 863064000	01/19/22 0.26	1823 2794	RES IMP	\$ 69,895	\$ 24,846	35.55
01436	RODMAN THOMAS J ROSIER CHARLES KALEF/ROSIER SARAH	4219 SEAGO RD 2310017000	03/16/22 3.09	1832 1001	RES IMP	\$ 188,341	\$ 55,745	29.60
05715	SULLIVAN ALBERT JOHN JR/DEBORAH P ROSLYN DENISE JOHNSON	3315 WOODHAVEN 414159000	08/30/22 0.31	1857 275	RES IMP	\$ 176,273	\$ 54,336	30.82
05393	ROCKERS BRUCE M ROSS DAVID J/ROSS CHRISTINE N	3406 WOODSTONE PL 240186000-46, A	08/19/22 0.63	1855 1679	RES IMP	\$ 450,553	\$ 185,828	41.24
01334	JCGMD LLC A GEORGIA LIMITED LIABILITY ROTH EDITH HARRISON	46 INDIAN COVE RD 254196240	03/10/22 0.50	1831 923	RES IMP	\$ 322,732	\$ 96,452	29.89
01705	D R HORTON INC ROUNDTREE SONDR/ROUNDTREE SR	800222000	03/14/22 5.18	1832 2699	RES IMP	\$ 376,113	\$ 150,519	40.02
02674	JONES HARVEY S ROWE CHRISTOPHER	1650183000	04/21/22 0.56	1840 447	RES IMP	\$ 264,778	\$ 83,468	31.52
05558	SCONYERS OLLIE BURT TURNER ROWE SCOTT/ROWE LINDA/ROWE JEFF	4405 TRAYLOR ST 2270111000	08/20/22 1.29	1856 7	RES IMP	\$ 64,365	\$ 27,294	42.41
06375	WALTER R TERRELL III ROY LEE KITTS	5248 ARUBA 402397000	09/26/22 0.09	1860 944	RES IMP	\$ 137,311	\$ 52,256	38.06
03057	TOBACCO MIKE LLC RTB INVESTMENTS LLC A GEORGIA LIMITED	1808 TOBACCO RD 1574007000-PARCEL A	05/16/22 4.36	1842 429	IND VAC	\$ 131,159	\$ 34,880	26.59
03072	CORL CASSIE H RUBIN DAVID NATHAN/BRAMBLE HEATHER	2915 HAMILTON DR 973244000	05/13/22 1.15	1842 325	RES IMP	\$ 89,601	\$ 30,497	34.04
06495	GASTON JR OTIS L RUFFIN KELVIN	1400589000	09/29/22 0.32	1861 18	RES IMP	\$ 211,974	\$ 56,486	26.65
07266	WALKER MAXIE L RUIZ DANIA	2402 SUMAC 851053000	10/11/22 0.42	1863 2245	RES IMP	\$ 86,678	\$ 34,967	40.34
06741	ANTHONY KIMBERLY RUNNELS ALEXANDRA S	1300322000	09/23/22 0.24	1862 771	RES IMP	\$ 128,644	\$ 44,924	34.92
01645	SINGH SAHIB RUSH KIETHA	3615 BELAIR RD 530022010	03/11/22 0.40	1833 1533	RES IMP	\$ 146,574	\$ 62,446	42.60
04610	KERNAGHAN MORRI RUSSELL ADAM	260 BROAD ST 472223000	07/08/22 0.13	1849 2529	RES IMP	\$ 174,214	\$ 48,347	27.75
04437	DAVID K HOGAN RUTH ANN D'ARCO AND SAMUEL C D'ARCO	3023 POINTEWEST 182038000	06/29/22 0.06	1848 2384	RES IMP	\$ 219,041	\$ 79,701	36.39
07190	NIKMANESH FATIMA ALINA RW BLACK LLC	304 YORK LN 181073000-LOT B-1, THE STATION	10/24/22 0.07	1863 1767	RES IMP	\$ 188,803	\$ 63,606	33.69
02826	KISHA ENGLISH RYAN A BOWLER	853065000	05/04/22 5.18	1840 2242	RES IMP	\$ 126,434	\$ 35,613	28.17
00829	CLAIRE L STONE RYAN MATTHEW MAHONEY	221 WATER OAK 262220000	02/15/22 0.11	1828 496	RES IMP	\$ 217,024	\$ 66,1	223



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03965	RODNEY B TORRES CABRERA AND JEANNIE C RYAN THOMAS FARRIS	969 BURLINGTON 671179000	06/10/22 0.23	1846 1301	RES IMP	\$ 301,509	\$ 124,648	41.34
05767	DENISE LYNN BEAUSOLEIL S 11 ENTERPRISES LLC	2918 ARROWHEAD 180237000	08/25/22 0.11	1856 1398	RES IMP	\$ 121,864	\$ 47,006	38.57
06939	FOSKEY JENNIFER MARIE S W HASHAMI PROPERTIES LLC	1017 STEVENS CREEK RD 120207000~UNIT 170, BLDG 6,	10/26/22 0.11	1863 2660	RES IMP	\$ 70,372	\$ 21,326	30.30
03679	HAG PROPERTIES LLC SAID SHARIFA AHMED	1850 OHIO AVE 434109000	05/01/22 0.21	1844 1561	RES IMP	\$ 119,521	\$ 30,061	25.15
04371	ANDERSON PAMELA D SAINTIL AJULIE	3460 LINDERWOOD DR 1430045000	07/07/22 0.28	1849 1530	RES IMP	\$ 163,057	\$ 61,858	37.94
00580	KELLY MICHAEL T SR ROFS SALDANA MAYRA GRANADOS	2715 ELKINS AVE 713081010	02/06/22 0.30	1827 1039	RES IMP	\$ 31,092	\$ 12,945	41.63
03960	KYONG SUK ROSE SALLY MCNEIL AND NORFLEET STEWART	1524046000	06/10/22 0.28	1846 1251	RES IMP	\$ 218,488	\$ 85,100	38.95
07491	SMITH KATHRINE SALON VINTAGE PROPERTY MANAGEMENT	2709 MIKE PADGETT HWY 1111039030	11/08/22 0.46	1866 547	COM IMP	\$ 140,997	\$ 34,395	24.39
02292	VARNADO SOLOMON SALVADOR PEREZ DENIA YAMILETH/ORTEGA	3705 WOODCOCK DR 1290175000	04/19/22 0.27	1838 609	RES IMP	\$ 106,130	\$ 24,040	22.65
06008	DAVIS JAMES R/NESMITH SHERRELL M SAMUEL CARPIO REYES	1212014000	09/06/22 0.32	1858 396	RES IMP	\$ 137,311	\$ 42,993	31.31
01625	JOSEPH DEL SIGNORE JODY J DEL SIGNORE SANCHEZ GUSTAVO	3323 QUAKER SPRING 160172000	03/18/22 0.33	1833 238	RES IMP	\$ 206,828	\$ 60,110	29.06
05524	SIMMONS DUSTIN P SANDERS JOANN	2709 BARCLAY ST 1300273000~LOT 7, BLK L, SEC 2-B,	08/19/22 0.31	1855 2540	RES IMP	\$ 137,311	\$ 42,634	31.05
04126	HERNANDEZ CECIL SANDOVAL PATRICK A	7093 SUMMERTON DR 640075000	06/28/22 0.19	1848 875	RES IMP	\$ 251,913	\$ 97,599	38.74
01208	CHRISTOPHER WOLF BASCHUNG SANDRA XIOMARA SHEPARD	313014000	03/07/22 0.37	1830 2232	RES IMP	\$ 228,659	\$ 65,314	28.56
05496	WHIGHAM TERA SANFORD KEYONNA SHUNTAY	3540 MUTIMER DR 1083001000~LOT 3 THE WEALD AT	08/17/22 0.23	1855 2782	RES IMP	\$ 161,341	\$ 41,470	25.70
06880	UNITED ATLANTA INVESTMENTS LLC SANKAR PRIYADHARSHINI/VIVEKANADAN	2641 ROYAL ST 332117000	10/07/22 0.07	1863 507	RES IMP	\$ 62,863	\$ 17,584	27.97
04695	ABIMBOLA ADEMOLA SANTEE BRITTANY/WIGGINS NICHOLAS	1103 GEORGE W. CRAWFORD DR 663019000~LOT 17, BLK B, GOVERNORS	07/15/22 0.22	1852 240	RES IMP	\$ 261,750	\$ 103,174	39.42
04154	ZACHARY T NEWTON AND DONNA H SAOIRSE HOMES LLC	2001 SUMMER RIDGE 451374000	06/21/22 0.14	1847 2375	RES IMP	\$ 246,607	\$ 104,444	42.35
00584	MACKENZIE ALLEN MULLINS AND ELLEN R SARAH A PRITCHARD	2408 MCDOWELL 441142000	02/11/22 0.27	1827 2005	RES IMP	\$ 314,503	\$ 128,473	40.85
06534	KYONG OK MISKELLY SARAH E EGBERT	2213 HILLSVIEW 390197000	10/04/22 0.65	1861 2189	RES IMP	\$ 205,967	\$ 75,873	36.84
04394	JACOB A GRAYBILL SARAH ELIZABETH STRICKLAND	1440 JONHS 443104000	07/01/22 0.17	1849 617	RES IMP	\$ 171,639	\$ 70,106	40.84
03556	WHITLEY K PENNYCUFF SARAH NELL REYNOLDS AND WILLIAM C	1734 OAK 574061000	05/27/22 0.21	1844 1598	RES IMP	\$ 143,367	\$ 45,871	32.00
01072	CLIFFORD BRANDON SANDERS AND MELANIE SARAH SEBERT	1938 GEORGE 713108000	03/07/22 0.29	1831 127	RES IMP	\$ 91,559	\$ 31,844	34.78
03454	STEPHENS VIRGINIA C SASNETT III RICHARD BORDEN/SASNETT	3214 DRESDEN WAY 323013000~12, G	05/31/22 0.60	1844 1670	RES IMP	\$ 639,327	\$ 302,103	47.25
00791	JOSEPH DENIS SAVANNAH BEASLEY AND AMY STACKS	1080174000	02/18/22 0.24	1828 1509	RES IMP	\$ 124,603	\$ 30,236	24.27
04725	ROTGER ERLEEN ANN DAVIS SAVANNAH ROSIER	121031000	07/18/22 0.09	1851 500	RES IMP	\$ 188,803	\$ 56,109	29.72
02797	GAFFNEY PETER SCALES DARRELL KEVIN	1202 HICKMAN RD 442270000	05/06/22 0.10	1840 2300	RES IMP	\$ 266,635	\$ 81,158	30.44
05800	MONTAG ASHLEY M WALLACE ROFS SCALES DARRELL KEVIN	1425 TROUPE ST 444222000	08/24/22 0.30	1856 1802	RES IMP	\$ 241,153	\$ 76,836	31.86
01983	HOWELL W MARK SCHAFFER JAMES VICTOR/WATSON MATTHEW	2846 WALTON 334060240	04/01/22 0.09	1835 2183	RES IMP	\$ 139,365	\$ 45,2	32.49



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02251	WILSON JEREMY ELTON SCHILLER SHANTI/SCHILLER THOMAS	2920 MAYFAIR 251136000	04/22/22 0.52	1838 2252	RES IMP	\$ 293,637	\$ 87,183	29.69
02742	HONAKER CHARLES W SCHMIDT DAVID W/SCHMIDT MICHELE J	3212 RHONDA DR 1222039000	04/28/22 0.30	1840 728	RES IMP	\$ 58,101	\$ 29,482	50.74
04841	SMITH JR BRENT ADAMS SCHOTT MARCUS	1727 OAK 574021000	07/11/22 0.21	1850 2385	RES IMP	\$ 186,229	\$ 67,892	36.46
03766	THOMAS AMANDA SCHULTZ JACK	1311 MURPHY ST 453135000	06/02/22 0.18	1846 345	RES IMP	\$ 154,045	\$ 35,396	22.98
07816	BOYER GREGORY SCHWARTZ ABIGAIL K	3111 RAMSGATE RD 174026000~16, S	11/30/22 0.29	1867 2480	RES IMP	\$ 240,295	\$ 99,378	41.36
06386	BENNETT ROBERT F SCIFLEET BAILEY	113222000	09/19/22 0.33	1859 989	RES IMP	\$ 210,258	\$ 60,854	28.94
00458	RUTH N COOPER SCOTT DENNISON AND CHRISTINE DENNISON	2804 PALMER 252090000	01/28/22 0.34	1825 344	RES IMP	\$ 225,010	\$ 103,456	45.98
05745	HAGGINS CHRISTOPHER E/PAMELA D SEAN C CLEMMONS JR	1074004000	08/31/22 0.23	1857 1575	RES IMP	\$ 128,729	\$ 42,210	32.79
03967	SURYASH S BAINS SEAN C RECK	245 DUCAL 653276000	06/10/22 0.22	1846 1028	RES IMP	\$ 262,098	\$ 102,003	38.92
05821	FISHER ROBERT T (ROFS) AND SHIRLEY H SEAN D CAZZELL AND LINDSAY E DAHL AS	408 NORMANDY 170080000	08/26/22 0.33	1856 1648	RES IMP	\$ 227,336	\$ 95,046	41.81
05011	CHAMBERLAIN MARJORIE L SEAN DUDISH	3137 SWITZER 324067030	07/29/22 0.16	1852 2463	RES IMP	\$ 171,639	\$ 42,121	24.54
05420	MCNEILL JOVONDA D/ANNECIA L SEAN F GITTENS AND SHARON A GITTENS AS	1651006000	08/16/22 0.60	1855 451	RES IMP	\$ 317,533	\$ 137,962	43.45
03594	PATRICK L CRAWFORD SEAN THOMAS AND LAURA THOMAS JTWROS	2207 MORNINGSIDE 264162000	06/03/22 0.69	1845 697	RES IMP	\$ 281,429	\$ 92,850	32.99
02515	GORDON LENA SEYMORE SECONDWIND PROPERTIES 56 LLC	1300426000	04/14/22 0.29	1838 1129	RES IMP	\$ 137,828	\$ 46,113	33.46
01731	GRAY JEFFREY S SECONDWIND PROPERTIES 56 LLC	3360240000	03/16/22 0.80	1834 1132	RES IMP	\$ 18,834	\$ 5,442	28.89
02825	EVE REID SECONDWIND PROPERTIES 56 LLC	2917 NORWOOD 530133000	04/29/22 0.35	1840 1782	RES IMP	\$ 122,450	\$ 63,084	51.52
03215	WALKER COURTNEY L SECONDWIND PROPERTIES 56 LLC	2 WHITNEY 573225000	05/12/22 0.35	1843 960	RES IMP	\$ 117,352	\$ 57,925	49.36
04266	EDGERTON SHIRLEY T SELECT PROPERTY MANAGEMENT LLC	2007 CATON DR~4 303175000~A	06/28/22 0.08	1848 2179	RES IMP	\$ 124,667	\$ 51,830	41.57
01543	CROZIER CONSTRUCTION INC SELF MARGARET/SELF THOMAS D JR	4056 BATH EDIE RD 2060006140	02/18/22 9.45	1832 2377	RES IMP	\$ 302,607	\$ 84,558	27.94
05955	SUER VALERIE K SERVANDO GARCIA JR AND ALTHEA S	1104149000	09/06/22 0.32	1858 576	RES IMP	\$ 124,438	\$ 40,055	32.19
07520	NAVA DOROTHY S SEWELL PRICE	1101163000	11/11/22 0.32	1866 1917	RES IMP	\$ 77,238	\$ 50,203	65.00
07111	GILMORE LEE O SFR ACQUISITIONS 4 LLC A DELAWARE	4527 LOGANS 662248000	10/24/22 0.28	1864 255	RES IMP	\$ 224,161	\$ 94,779	42.28
06858	PETERSEN ROBERT F SFR ACQUISITIONS 4 LLC A DELAWARE	2504 VICTORY 654078000	10/20/22 0.16	1863 1117	RES IMP	\$ 234,802	\$ 99,956	42.57
07048	MANN DUSTIN A SFR3-000 LLC	2317 MARTIN RD 972167000	11/01/22 0.48	1864 2134	RES IMP	\$ 68,656	\$ 27,439	39.97
06479	ZIMMERMAN PHILLIP SFR3-000 LLC	3403 BLACKSTONE ST 1080347000	09/27/22 0.41	1861 665	RES IMP	\$ 60,074	\$ 22,276	37.08
05733	TATE THOMAS SFR3-000 LLC	2242 BASSWOOD DR 1670446000	08/22/22 0.37	1856 2002	RES IMP	\$ 96,109	\$ 42,374	44.09
05385	SMITH MAURICE A SFR3-000 LLC	1304 BEMAN ST 454046000	07/29/22 0.16	1853 2160	RES IMP	\$ 55,783	\$ 26,428	47.38
00036	KALLIOKOSKI THOMAS EDWIN SFR3-040 LLC	3028 ACORN RD 971045000	01/11/22 0.36	1822 687	RES IMP	\$ 46,630	\$ 20,199	43.32
03833	WALKER BERNICE R SFR3-040 LLC	2805 ROYAL ST 332074000	06/10/22 0.17	1846 1447	RES IMP	\$ 48,067	\$ 26,2	2



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03449	COLBERT MELVIN J SFR3-040 LLC	3633 CAMERON DR 1070716000	05/19/22 0.27	1844 578	RES IMP	\$ 66,846	\$ 36,884	55.18
03493	BAME MICHAEL PAUL SFR3-040 LLC	3206 OLD LOUISVILLE RD 1222154000	05/19/22 0.18	1844 1046	RES IMP	\$ 26,739	\$ 11,222	41.97
03700	HARFORD INVESTMENTS LLC SFR3-040 LLC	2021 GARR DR 864029000	05/31/22 0.20	1845 568	RES IMP	\$ 48,501	\$ 22,636	46.67
03372	WALTON GISELLE G SFR3-040 LLC	2810 RICHMOND HILL RD 974227000	05/23/22 0.30	1843 2639	RES IMP	\$ 46,183	\$ 19,758	42.78
00152	CARROWAY JERRY D SFR3-050 LLC	1187 BENNOCK MILL ROAD 2340029000	01/14/22 0.85	1823 1027	RES IMP	\$ 56,911	\$ 23,487	41.27
00441	SIPSY THERESA K SFR3-050 LLC	2224 HARDING RD 1092097000	01/27/22 0.65	1825 951	RES IMP	\$ 107,747	\$ 46,708	43.35
00726	WILLIAMS ROBERT A SFR3-050 LLC	2120 KELLY ST 562252000	02/14/22 0.25	1828 255	RES IMP	\$ 77,227	\$ 39,984	51.77
00073	SPEARS ROY L SFR3-050 LLC	3103 ARCADIA 843099000	01/05/22 0.22	1822 316	RES IMP	\$ 53,830	\$ 18,140	33.70
03936	JONES KIMMIE BROWN SFR3-050 LLC	308 STERLING ST 614065000	06/08/22 0.14	1846 1274	RES IMP	\$ 56,909	\$ 20,148	35.40
02715	FITTER JAY SFR3-060 LLC	2839 GLENN HILLS CIR 843184000	04/08/22 5.18	1840 1120	RES IMP	\$ 62,804	\$ 24,678	39.29
01842	SIMPSON MARION C SFR3-060 LLC	520 HILLWOOD CIR 253150000	03/29/22 0.36	1834 1935	RES IMP	\$ 135,062	\$ 48,674	36.04
02804	FOREMAN GUY R JR SFR3-070 LLC	2704 TARA HEIGHTS CT 844364000	05/05/22 0.33	1840 2342	RES IMP	\$ 81,208	\$ 33,456	41.20
02266	RODRIGUEZ JORGE L SFR3-070 LLC	2126 CADDEN RD 1212146000	04/21/22 0.29	1838 1588	RES IMP	\$ 84,941	\$ 41,030	48.30
02868	HOLDER JUANITA J AROCHO SFR3-070 LLC A DELAWARE LIMITED	1909 DUNHAM CT 1104058000	05/09/22 0.26	1841 820	RES IMP	\$ 58,446	\$ 34,189	58.50
05863	HARRIS JONAVON J SFR3-080 LLC	3108 COLLIER RD 843085000	08/31/22 0.17	1857 1439	RES IMP	\$ 42,052	\$ 12,388	29.46
05721	SHIPES SR ALLEN D SFR3-080 LLC	1630 APPLE VALLEY DR 1233099000	08/30/22 0.27	1857 1030	RES IMP	\$ 55,783	\$ 23,946	42.93
05582	SMITH MAURICE A SFR3-080 LLC	1710 WALKER ST 354094000	08/10/22 0.12	1855 1178	RES IMP	\$ 42,910	\$ 22,273	51.91
05284	GREENE ROBERT FRANKLIN SFR3-080 LLC	2411 BREAM AVE 864099000	08/04/22 0.22	1853 1781	RES IMP	\$ 64,365	\$ 34,526	53.64
07222	DB ESTATES LLC SFR3-080 LLC	507 DELANO ST 341105000	10/28/22 0.12	1865 109	RES IMP	\$ 38,619	\$ 21,259	55.05
07047	PIERCE DWANDA SFR3-080 LLC	604 SEA ISLE DR 611374000	10/28/22 0.14	1864 1976	RES IMP	\$ 45,484	\$ 19,646	43.19
05703	BURN GEMMA SFR3-080 LLC	1852 DERBY DR 712143000	08/22/22 0.24	1856 2472	RES IMP	\$ 48,917	\$ 23,076	47.17
05911	GREEN ROBERT F SFR3-080 LLC	2407 BREAM AVE 864068000	08/30/22 0.22	1857 2040	RES IMP	\$ 68,656	\$ 28,296	41.21
06762	DUNSON RANDY SFR3-080 LLC	2028 TELFAIR ST 351267000	10/07/22 0.19	1862 1528	RES IMP	\$ 42,052	\$ 25,033	59.53
06417	WIGGINS TASHUNNA SFR3-080 LLC	2039 FERNWOOD CT 1101160000	09/15/22 0.30	1859 1086	RES IMP	\$ 60,074	\$ 28,888	48.09
05875	KEEL EMORY SCOTT SFR3-080 LLC	3827 BEACON DR 1700191000	08/31/22 0.24	1857 1542	RES IMP	\$ 68,656	\$ 41,106	59.87
05707	HALKEN INVESTMENT PROPERTIES OF EVANS SFR3-080 LLC	3526 REDD DR 1200105000	08/24/22 0.25	1857 1376	RES IMP	\$ 57,928	\$ 24,256	41.87
00924	MARY A SILAS AKA MARY ANN SWENSON SFRES OWNER LLC	221 CALDWELL 220218000	02/25/22 0.07	1829 945	RES IMP	\$ 152,972	\$ 48,538	31.73
03367	CARTER REBECCA LYNN/JONATHAN DAVID SHADAY L HENDERSON	3013 HERON CT 1640144000	05/26/22 0.33	1844 260	RES IMP	\$ 194,869	\$ 68,856	35.33
03602	STEVENS CYNTHIA F BURROUGHS SHAHBAZIAN KEVIN/SHAHBAZIAN KAYLA	2131 MCDOWELL ST 442027000	06/07/22 0.14	1845 1344	RES IMP	\$ 271,658	\$ 80,4	29.2



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03931	JOHNSON LARRY A III SHAHEED EVANS	3726 WOODLAKE RD 1410239000	06/13/22 0.23	1846 1068	RES IMP	\$ 183,034	\$ 70,357	38.44
02623	HIMES ANTHONY J SHAKEMA HERNANDEZ	2326 BOYKIN RD 1670011010	04/28/22 0.46	1839 2595	RES IMP	\$ 167,948	\$ 53,592	31.91
04222	CHARVETTE BERNITA COLLIER SHAMBELE LAVENDER	2544 KENSINGTON DR E 1080313000	06/24/22 0.35	1847 2675	RES IMP	\$ 120,809	\$ 32,936	27.26
08292	TORRES GLENDA/MAYEN LYNN V SHAMECA L DUDLEY	3215 WARE RD 552028000	12/27/22 0.36	1870 2174	RES IMP	\$ 119,289	\$ 54,199	45.43
06452	PING LI AND YAPING PAN SHANEE WHITE	2105 WHITNEY SOUTH 571202000	09/26/22 0.14	1860 2286	RES IMP	\$ 137,226	\$ 48,534	35.37
04364	ROBERT H MERRIMAN III AND SANDRA M SHANNON JANE HOHOSH AND ROBERT	2065 MCDADE FARM RD 1960003000	07/01/22 3.32	1848 2462	RES IMP	\$ 278,914	\$ 96,129	34.47
05722	JACKSON BRITNY MOSBY SHANTELE WALKER SIMMONS	2157 WILLHAVEN 654150000	08/31/22 0.23	1857 1000	RES IMP	\$ 285,264	\$ 124,261	43.56
01516	RABUN DAVID SHARIF FAAIZAH L	3409 ARDEN CT 1070326000~13, C	03/16/22 0.41	1832 1140	RES IMP	\$ 109,238	\$ 27,331	25.02
00678	NORDMANN ALFRED P SHARP JR JOSEPH F/SHARP ELIZABETH H	2914 HAMPSHIRE DR 251167000	01/31/22 0.30	1827 608	RES IMP	\$ 268,501	\$ 81,219	30.25
00149	D R HORTON INC SHARPE WAYNE ANTHONY/SHARPE ERMANIE	551 POST OAK 653427000	01/10/22 0.22	1823 1441	RES IMP	\$ 351,758	\$ 143,066	40.67
04532	RAYMOND HOEFS SHEENA H CARTER	5085 WHEELER LAKE 402111000	07/11/22 0.11	1850 830	RES IMP	\$ 171,639	\$ 59,788	34.83
02313	AL-OLOFI AFAF SHEFFIELD ELLEN	410 TUBMAN ST 351137000	04/11/22 0.08	1836 2315	RES IMP	\$ 64,485	\$ 19,088	29.60
03113	BAKER BRAITHWAITE INVESTMENTS LLC SHEMERBE LLC	3977 GOSHEN INDUSTRIAL BLVD 1840118000	02/14/22 2.10	1842 1731	COM IMP	\$ 636,622	\$ 222,441	34.94
00588	REYNALDA T MANAHAN SHEMICKA DEJUANE MILLER	4549 LOGANS 671033000	02/11/22 0.32	1827 2013	RES IMP	\$ 164,509	\$ 89,829	54.60
01766	WR INVESTORS LLC SHERMAN TERRY ACKMAN/SHERMAN III JOHN	2349 WILLIAMS ST 344160000	03/18/22 0.04	1834 1173	RES IMP	\$ 357,248	\$ 128,814	36.06
06459	WALKER WALIDAH SHERMAN TRACY	2041 BOYKIN RD 1680121000	09/28/22 0.46	1861 505	RES IMP	\$ 171,639	\$ 55,911	32.57
05924	HH HEPHZIBAH HOLDINGS LLC SHIMEI XING	2626 TOBACCO RD 1400010100	09/07/22 0.67	1858 861	COM IMP	\$ 419,677	\$ 122,737	29.25
05157	BUSBY KRISTEN MUNN SHINE HIS LIGHT INVESTMENTS LLC	2356 MINTO ST 443269000	08/05/22 0.21	1854 241	RES IMP	\$ 104,826	\$ 33,060	31.54
05174	IMS PROPERTIES LLC SHIRLEY WATERS	2830 PTARMIGAN RD 1290115000	08/04/22 0.38	1853 1622	RES IMP	\$ 107,274	\$ 34,654	32.30
05948	CAPUY HALBERT C SHIVARAM KETAN/SHIVARAM PUSHPA/KUTTY	2321 GREENGATE DR 161007000~LOT 11, BLK A, GREENGATE	09/01/22 0.09	1857 1884	RES IMP	\$ 120,147	\$ 35,848	29.84
07099	ANDRAE C ATKINS SHON MCKINNON	2920 PANHANDLE CIR 1200274000	10/25/22 0.26	1863 2136	RES IMP	\$ 96,118	\$ 34,508	35.90
07847	ANDERSON MATTHEW P SHOOK LANDSCAPING LLC	936 BROAD 373230000	11/21/22 0.03	1867 333	RES IMP	\$ 236,004	\$ 87,994	37.28
06022	DAVID W DUNN SHYVONNE T GILLETTE	3918 ELLEN ST 1400522000	09/08/22 0.26	1858 617	RES IMP	\$ 178,505	\$ 62,006	34.74
01970	SKYRAE PROPERTIES LLC SIDDALL RICHARD/SIDDALL HEATHER	1015 RUSSELL 451246000	03/25/22 0.17	1835 1707	RES IMP	\$ 271,038	\$ 74,544	27.50
00249	SAMUEL M HOFFMAN SIDNEY RAE STANLEY AND CHARLES ISAAC	3909 GOSHEN LN N 1990003050	01/20/22 0.24	1824 200	RES IMP	\$ 194,938	\$ 48,428	24.84
07829	HUGGINS ROBERT T SILER DONNA L/SILER CHRISTOPHER D	3131 EDINBURGH 242074000	11/21/22 0.28	1867 2365	RES IMP	\$ 272,048	\$ 101,524	37.32
06477	JOSE LUIS ROSARIO SILVIA RUTH THOMAS AND FREDDIE LEE	3473 ESSEX PL 1424193000	09/29/22 0.27	1861 169	RES IMP	\$ 193,008	\$ 73,202	37.93
07872	JBTROTTER PROPERTIES LLC A GEORGIA SIMMONS MATTHEW NEIL	936 BROAD STREET, UNIT 404 373257000	11/29/22 0.02	1867 1961	RES IMP	\$ 227,422	\$ 87,098	38.30
00380	AMANDA BELL F/K/A AMANDA M MCDAVID SIMONS III JOHN ROBERT	918 FLYTHE 201112000	01/28/22 0.21	1825 433	RES IMP	\$ 97,873	\$ 29,915	30.5



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07833	HALKEN INVESTMENT PROPERTIES OF EVANS SIMPLERE LLC	2843 LUMPKIN RD 843207000	11/18/22 0.19	1867 254	RES IMP	\$ 89,252	\$ 29,820	33.41
04870	SMALLEY DARIUS LASHAWN SIMPSON MONICA	2428 JUNIPER DR 844230000	07/19/22 0.37	1852 87	RES IMP	\$ 83,245	\$ 24,662	29.63
04928	KEYS FREDDIE V SIMS RODERICK L	1770096000	07/28/22 0.33	1852 1283	RES IMP	\$ 195,669	\$ 78,067	39.90
03035	KYE HUI KIM SIN JOON KANG	940289000	05/16/22 5.18	1842 1297	RES IMP	\$ 89,365	\$ 30,372	33.99
08561	GREENE JAMEELAH J SINGFIELD CHRISTOPHER JASON	2534 PARKWAY DR 562174000	12/29/22 0.27	1874 1141	RES IMP	\$ 96,547	\$ 36,548	37.86
01780	GOOD FAITH MANAGEMENT LLC SINK PAUL	1765 LISSINGBOWER RD 573085000	03/28/22 0.23	1834 2289	RES IMP	\$ 144,499	\$ 53,261	36.86
03388	BAUM FELECIA SKILES ALEXANDRA MARIE	2440 RIVERLOOK DR 140051000	05/24/22 0.14	1844 427	RES IMP	\$ 185,455	\$ 56,252	30.33
00650	ARBOGAST COREY SLEURS YOLANDA	1440045000	02/15/22 0.36	1827 1793	RES IMP	\$ 183,264	\$ 78,011	42.57
04971	HAGLER BENJAMIN L JR SLOOP SHAWNEE/KEARNEY LAWRENCE	2205 DARTMOUTH 264004000	07/29/22 0.39	1852 1840	RES IMP	\$ 296,078	\$ 107,040	36.15
06263	FORSTER SELENA A SLS PROPERTIES LLC	3828 HIGHPOINTE DR 1400567000	09/12/22 0.38	1860 822	RES IMP	\$ 90,111	\$ 42,026	46.64
08102	222 MATTHEWS ENTERPRISES LLC A SM2 PROPERTIES LLC A GEORGIA LIMITED	1228 GORDON HWY 600008000	12/07/22 0.76	1868 2342	COM IMP	\$ 210,241	\$ 67,066	31.90
02932	MICHAEL MICKENS SMALL CHARLES/BESSIE	2334 MIMS RD 2500004030-PARCEL 2	05/12/22 11.95	1841 1497	RES VAC	\$ 41,100	\$ 17,746	43.18
01606	WADMAN JAIME LOUISE SMALLS KENJI SHAMAR/RUSHING-SMALLS	510 MILLEDGE 351188000	02/25/22 0.40	1833 1037	RES IMP	\$ 717,408	\$ 179,600	25.03
02985	TRIPLE A FOUR K'S INC SMITH ALFREDA M/SMITH DEVON D	1189 HANCOCK MILL LANE 3190128000-LOT 41, BLOCK B, SEC. 2,	04/26/22 0.46	1842 669	RES VAC	\$ 8,367	\$ 3,392	40.54
04396	KAYE JUDY SMITH BENJAMIN A	3005 BROOKHAVEN WAY 131204000	06/24/22 0.06	1849 818	RES IMP	\$ 144,540	\$ 37,725	26.10
01437	BALCKUM RICHARD L SMITH DAVID	711 FIFTH 473188000	03/11/22 0.12	1832 942	COM VAC	\$ 12,580	\$ 2,091	16.62
00496	MAHONEY ELLEN E SMITH HARRISON	1010 HICKMAN RD 442063250	02/03/22 0.04	1826 567	RES IMP	\$ 141,230	\$ 44,067	31.20
08376	DUNN CHRISTY L SMITH IVORY JEAN/SMITH III NELSON B	1129 MCCOYS CREEK RD 780065000	12/19/22 0.22	1871 1333	RES IMP	\$ 338,987	\$ 145,063	42.79
07876	CULBRETH TERESA ANN SMITH JOHNNY M	1902 HOPIE 704083000	12/01/22 0.35	1867 2546	RES IMP	\$ 5,149	\$ 1,410	27.38
00332	4 T'S INVESTMENTS LLC SMITH LATOYA DIANE	1606 FAIRWOOD DR 414169000	01/25/22 0.28	1824 1674	RES IMP	\$ 188,370	\$ 59,759	31.72
04758	WHITE CHARLES M SMITH MATTHEW DYLAN	3325 DAVANT ST 100086000	07/19/22 0.34	1851 1914	RES IMP	\$ 188,803	\$ 49,911	26.44
06515	MARSHALL LUCILLE SMITH PRESTON	4205 ROSE HILL DR 1940070000	09/27/22 0.47	1861 2659	RES IMP	\$ 163,057	\$ 48,165	29.54
01798	JACKSON TERRENCE D SMITH RALERIA	1461 BROOKSTONE RD 1524005000	03/25/22 0.30	1834 1183	RES IMP	\$ 231,784	\$ 81,778	35.28
03747	BUNCH WILLIAM M SMITH SAMUEL	2511 LUMPKIN RD 973199000	06/09/22 0.23	1846 82	RES IMP	\$ 94,472	\$ 24,815	26.27
06942	BEATY EMILY J SMITH TERESA C	224 GREENE ST 474119000	10/14/22 0.17	1863 1848	RES IMP	\$ 177,647	\$ 54,541	30.70
05890	MURRAY CATHERINE M SMSS CORPORATION	1290664000	08/19/22 0.27	1856 2757	RES IMP	\$ 132,162	\$ 50,951	38.55
07092	ASMUS LLC SNEAD INVESTMENTS LLC	2319 GARDNER 342079000	10/28/22 0.51	1864 2288	RES IMP	\$ 55,783	\$ 19,708	35.33
01590	OWENS WILBER SNEAD MARSHALL	1102079000	03/18/22 0.21	1832 2124	RES IMP	\$ 37,605	\$ 22,538	59.93
08397	WOLFE JUDITH LORRAINE SNEAD MARSHALL/SNEAD MARY T C	442248000	12/30/22 0.28	1871 140	RES IMP	\$ 169,837	\$ 73,9	2



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03607	SMITH JEROME C SNOW JEAN L/GODWIN JAMES ANDREW	3305 BINGHAM CT 403151000	06/01/22 0.12	1844 1401	RES IMP	\$ 191,186	\$ 74,246	38.83
06831	RICKS SHAYLA M SNYDER CHRISTINA	2217 BUCKINGHAM DR 1213147000	10/19/22 0.21	1863 992	RES IMP	\$ 143,319	\$ 44,283	30.90
08208	TEMPLES JUNE/DAVIS WILLIAM SOCIAL ELEMENTS LLC	1910 WARREN 353257000	12/21/22 0.15	1870 1342	RES IMP	\$ 91,827	\$ 32,260	35.13
04995	RODNEY GAIRY H AND RUTH N SOLE SOURCE LLC	743 METCALF 353226000	07/26/22 0.13	1852 1118	RES IMP	\$ 47,201	\$ 15,830	33.54
04219	MICHAEL S NIMESHEIM JR AND SADIE J SOLIMAR KITANA RODRIGUEZ	3129 BILSTON 403182000	06/22/22 0.15	1847 2072	RES IMP	\$ 185,867	\$ 70,787	38.08
05542	IMS PROPERTIES LLC SOLOMON AKRAM/PHILLIP LUVERNE A	2274 BASSWOOD DR 1670487000~LOT 7 BLK M WOODVALLEY	08/12/22 0.37	1855 1084	RES IMP	\$ 121,006	\$ 33,396	27.60
06414	IAN DEAN SOLOMON BYNES JR AND CELIA BYNES	1980290000	09/16/22 0.39	1859 1944	RES IMP	\$ 244,586	\$ 98,749	40.37
08134	SELENE FINANCE LP SOMMA INVESTMENTS INC	3526 JACK KELLY RD 1560031010	12/16/22 0.47	1869 2215	RES IMP	\$ 53,637	\$ 28,360	52.87
06225	TRAPP RUSSELL SOMMERS PATRICK JEROME	820 ONA DR 203140000~LOT 12, BLK A, LAKEMONT	09/09/22 0.21	1859 2123	RES IMP	\$ 120,147	\$ 39,352	32.75
04615	BURMEISTER SUSAN J SONG HOSEOK/KIM YIRANG	2193 BRIDGETON RD 74027000~LOT 35, BRIDGETON	06/30/22 0.07	1850 1331	RES IMP	\$ 128,729	\$ 44,663	34.70
05499	WIMBERLY FRANCES D SONIA BENTLEY	3126 SUMMERCHASE 424181000	08/19/22 0.16	1855 1513	RES IMP	\$ 186,229	\$ 45,048	24.19
04078	MARK RUSSELL STEELY AND NATHALIE SOPHIA VILLER	545 MARTIN 253094000	06/24/22 0.32	1847 2654	RES IMP	\$ 194,158	\$ 64,275	33.10
04901	BURKE RAESHUN L SOS HOME OFFERS LLC	1670404000	04/04/22 0.37	1851 1470	RES IMP	\$ 78,772	\$ 42,827	54.37
08206	TALBOTT ERIC SOS HOME OFFERS LLC	2927 WOLF CT 150103000	12/09/22 0.05	1870 561	RES IMP	\$ 102,125	\$ 54,984	53.84
04760	OJB PROPERTIES LLC SOTO BLANDINO MARJORIE INES	724 HEARD AVE 353160000	07/15/22 0.20	1851 452	RES IMP	\$ 60,932	\$ 22,390	36.75
03229	MCCLADDIE CARNELLE D SOUTHERN OAK REAL ESTATE INVESTMENTS	1219 HEMLOCK DR 412033000	05/20/22 0.22	1843 417	RES IMP	\$ 92,612	\$ 42,446	45.83
07923	THE TRYLLION GROUP ISTKEE995 SPARKS THOMAS	2022 COOK 712277000	12/07/22 0.35	1868 1963	RES IMP	\$ 51,492	\$ 16,044	31.16
00444	WHITEHEAD MARY D SPEARS TERESA S	2808 SPRINGWOOD DR 83015000	02/01/22 0.08	1825 1058	RES IMP	\$ 171,702	\$ 51,266	29.86
01247	AUGUSTUS CAVANEZ SPENCER PARRISH	3412 COLONIAL 542178000	03/01/22 0.23	1830 1171	RES IMP	\$ 145,889	\$ 54,318	37.23
03217	HODGE ROBERT III SPONSEL MELINDA E/SPONSEL JEFFREY D	780183000	05/09/22 5.18	1842 1407	RES IMP	\$ 395,631	\$ 154,523	39.06
02614	FORCE JOHN SRE LLC	3225 WRIGHTSBORO 421029000	04/28/22 0.26	1840 290	COM IMP	\$ 118,159	\$ 41,104	34.79
03671	DALLOO FRANK A SRF3-040 LLC	3616 MEADOWLARK RD 1190020000	05/27/22 0.33	1844 2775	RES IMP	\$ 64,604	\$ 33,154	51.32
05841	COPENNY ALICE ST LEO LLC	133132000	08/02/22 0.05	1856 1715	RES IMP	\$ 77,238	\$ 32,771	42.43
02861	POWELL HARRISON E STACKER JOSEPH/STACKER CHARITY	1129 BROOKWOOD DR 131070000	05/02/22 5.18	1841 271	RES IMP	\$ 244,263	\$ 82,582	33.81
05916	SHEILA K MULKEY F/K/A SHEILA K HALL STARLING PROPERTIES LLC A GEORGIA	1702 FAIRVIEW 563130000	09/09/22 0.42	1858 933	RES IMP	\$ 16,306	\$ 8,797	53.95
03210	BLACK HADLEIGH KITCHENS STARNES JR JAMES	2330061000	05/23/22 0.99	1843 1077	RES IMP	\$ 186,508	\$ 51,586	27.66
01107	SHEARER MARK CRAIG STEEL RIDGE HOLDINGS LLC	1504 HEARD AVE 572108000	03/03/22 0.46	1830 2427	RES IMP	\$ 256,549	\$ 64,199	25.02
01482	SAMUEL ANDERSEN WILLIS AND ASHLEY STEPHEN A GERARD	2818 LOMBARDY 432046000	03/09/22 0.23	1831 1316	RES IMP	\$ 284,165	\$ 76,593	26.95
01192	ALEXANDER J FRIEDMAN STEPHEN CARROLL	419 AUMOND 251179000	03/04/22 0.30	1830 2253	RES IMP	\$ 265,373	\$ 97,4	2



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02308	DEBORAH K EVANS STEPHEN K HOLT	7128 BELIZE 402053000	04/12/22 0.12	1836 2484	RES IMP	\$ 170,740	\$ 63,724	37.32
02183	MICHAEL JOHN ANDERSON AND SAMANTHA R STEPHEN PAUL CORDARO AND KRISTIN	2812 LAWRENCE 184020000	04/21/22 0.40	1838 1241	RES IMP	\$ 219,202	\$ 77,398	35.31
01313	DAVIS ANTONIO STEPHENSON JACQUELINE VIRETTA	2908 LEE ST 971183000	03/11/22 0.29	1831 2777	RES IMP	\$ 187,143	\$ 44,578	23.82
03513	PULLING DAVID GEORGE STERBA KATHRYN/STERBA BRETT W	2349 MCDOWELL ST 441037000	06/03/22 0.61	1844 2568	RES IMP	\$ 773,931	\$ 263,087	33.99
03612	KITCHENS LITA MICHELLE J PILCHER STEREOS PROPERTIES LIMITED CO	2749 WALTON WAY 334030000	05/23/22 0.56	1845 1425	RES IMP	\$ 435,185	\$ 241,212	55.43
05586	THADDEAUS M MOHLER STEVEN C HOPKINS AND ALYSSA J HOPKINS	3729 BELAIR 531085000	08/05/22 0.14	1855 1761	RES IMP	\$ 190,520	\$ 74,656	39.19
05716	FOX MICHAEL WILLIAMS STEVEN FIEGENBAUM	120158000	08/31/22 0.11	1857 858	RES IMP	\$ 47,201	\$ 18,734	39.69
00906	RICHBOURG JOHN L STEVEN FLOURNOY	2430018000	02/16/22 3.40	1828 2525	RES IMP	\$ 236,121	\$ 70,540	29.87
02310	2626 DRAYTON LLC STEVENS AUGUSTA LLC A GEORGIA LIMITED	2029 VIRGINIA AVE 984007000	04/12/22 0.35	1836 2292	RES IMP	\$ 59,828	\$ 20,172	33.72
01487	2626 DRAYTON LLC A GEORGIA LIMITED STEVENS AUGUSTA LLC A GEORGIA LIMITED	1847 WARREN ST 353210000	03/03/22 0.11	1831 856	RES IMP	\$ 80,915	\$ 22,880	28.28
07021	WINFERY SANDRA STEVENSON REBECCA LYNN	3309 GREENING LN 1233122000	10/28/22 0.18	1864 1505	RES IMP	\$ 59,816	\$ 22,866	38.23
05525	GILLESPIE DYKE STEWART FELECIA MARCIA	1229 BROOKSTONE 402165000	08/03/22 0.12	1856 58	RES IMP	\$ 240,295	\$ 93,864	39.06
05305	ENGLAND NDRE B STEWART JONATHAN W	3029 SPRING CREEK DR 1513045000	08/03/22 0.24	1854 863	RES IMP	\$ 270,332	\$ 105,992	39.21
07870	LEGACY PROCURANCE INC STILL-STEVE M GABRIELLE	3123 VILLAGE CT 110248000	11/22/22 0.14	1867 601	RES IMP	\$ 122,293	\$ 34,718	28.39
02866	WOOD JOSEPH C STILLWELL ANGELA W	2724 HENRY ST 334012000	04/29/22 0.46	1841 1227	RES IMP	\$ 428,417	\$ 163,434	38.15
07202	DEER MARY ELIZABETH STOCK TRACY	1525 JOHNS RD 443234000	10/25/22 0.17	1863 2640	RES IMP	\$ 175,930	\$ 42,097	23.93
03500	FOX THEDFORD F STOUFFER ROBERT/STOUFFER SYDNEY	3602 SAINT CROIX 311027000	06/06/22 0.61	1845 1051	RES IMP	\$ 219,276	\$ 76,784	35.02
05598	DROSS DAVID F STRATOSPHERE INVESTMENTS LLC	3029 CARDINAL 431104000	08/15/22 0.73	1854 2068	RES IMP	\$ 171,639	\$ 89,060	51.89
08439	FILARDI PATRICK C STRICKLAND KIMBERLY	2932 ARROWHEAD DR 180244000	12/05/22 0.10	1871 1960	RES IMP	\$ 167,262	\$ 45,362	27.12
05796	ECO SOLUTIONS INVESTORS LLC STUART NORMAN EUGENE/HAYNES	1149 MERCIER 593294000	08/11/22 0.12	1856 2436	RES IMP	\$ 51,492	\$ 12,193	23.68
01944	BAILEY SAMMY SUCCOUR PROPERTY SOLUTIONS GA	924 FLORENCE 592260000	03/25/22 0.31	1836 364	RES VAC	\$ 7,477	\$ 1,400	18.72
05381	PAK MYONG OK SUCHITHPAL REDDY LANKALA	3082 DEANS BRIDGE 962187000	08/05/22 0.34	1854 48	COM IMP	\$ 67,422	\$ 36,642	54.35
04335	BURCHETT MICHAEL G SUNSHINE GUS HOMES RENTALS LLC	307 WHITE ASH CT 194163000	06/30/22 0.15	1848 2019	RES VAC	\$ 24,459	\$ 9,240	37.78
06003	MAYNARD HUNTER A ROFS/KATE J SUPATTRA S RABIN	3079 WESTWOOD 170079000	09/02/22 0.30	1857 2202	RES IMP	\$ 248,019	\$ 102,618	41.38
00685	LYONS STEVEN RODGER SURRY CANDID/PHILLIPS LAVERT A	1824 STARNES ST 354439000~LOT 4	01/14/22 0.18	1826 1947	RES IMP	\$ 206,860	\$ 89,301	43.17
08457	KELLEY MARGARET LOUISE SWIFT CYNTHIA	3380003090	12/09/22 4.29	1871 2798	RES IMP	\$ 214,549	\$ 54,190	25.26
01869	MCCOY THOMAS F TABBY'S PROPERTIES LLC	2314 BUCKINGHAM CT 1213117000	02/28/22 0.44	1833 2661	RES IMP	\$ 106,540	\$ 55,198	51.81
04205	ZIMMER KURT TABBY'S PROPERTIES LLC	2705 CARDIGAN CT 1410346000	06/17/22 0.25	1847 1645	RES IMP	\$ 89,883	\$ 53,322	59.32
01706	MILLS BRIDGET TABBY'S PROPERTIES LLC A GEORGIA	1116 EIGHTH ST 592146000	03/15/22 0.04	1832 2727	RES IMP	\$ 94,249	\$ 54,7	



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04355	WILKERSON CHARMAINE TABBYS PROPERTIES LLC	1300298000	06/10/22 0.23	1849 2038	RES IMP	\$ 79,530	\$ 43,807	55.08
06860	RANDALL C HAMIL TAEFA AYERS	1104117000	10/24/22 0.22	1863 1522	RES IMP	\$ 85,820	\$ 22,572	26.30
01872	WILLIAM O KEY III AND BRITTANY L BYERS TAKINA HOLLOMAN AND MARC	2007 SUMMER RIDGE 451371000	03/23/22 0.09	1834 73	RES IMP	\$ 232,175	\$ 102,480	44.14
05939	ROSS B MONTGOMERY TAMARA D HENDERSON	3105 SHELLEY 244135000	08/31/22 0.34	1857 1620	RES IMP	\$ 207,683	\$ 73,262	35.28
01246	ARELIS VALENTINE RODRIGUEZ TAMARA WILSON	3145 BILSTON 403189000	03/01/22 0.10	1830 482	RES IMP	\$ 196,425	\$ 74,218	37.78
03646	WALLIS BLAKE W TAMMYRIA JENNINGS	1410456000	06/06/22 0.25	1845 1725	RES IMP	\$ 175,421	\$ 63,634	36.28
02040	ABBIE G DAVIS TAMRA L LAMAR	1104190000	03/31/22 0.25	1835 982	RES IMP	\$ 65,092	\$ 27,207	41.80
07285	COLEMAN PHILLIP O TANG KAREN	3922 WILLOWOOD RD 150072000	11/01/22 0.36	1865 228	RES IMP	\$ 121,006	\$ 71,081	58.74
02935	MONTANER GUIOMAR DURAN TAWANNA LAWSHAWN LATHAN	981147000	05/12/22 5.18	1841 1506	RES IMP	\$ 102,235	\$ 23,324	22.81
03434	NIJU J PHILIP AND MEAGAN M PHILIP TAYLOR B GLOVER AND MARY KATHRYN	609 WESTBURY 251238000	06/02/22 0.34	1844 2468	RES IMP	\$ 204,219	\$ 69,634	34.10
02972	PIERSON ROBERT J TAYLOR FREDDIE W/TAYLOR ROBERT	1960003010	05/10/22 6.28	1841 793	RES IMP	\$ 159,911	\$ 96,044	60.06
05149	HICKMAN PATRICIA P TAYLOR FREDDIE/TAYLOR ROBERT W	2280029000	07/25/22 1.13	1853 1001	RES IMP	\$ 111,565	\$ 52,112	46.71
00362	JACKSON RUTHIE TAYLOR GEORGE MITCHELL	2725 WHEELER 332032000	01/21/22 0.19	1824 1816	RES IMP	\$ 131,397	\$ 33,498	25.49
02530	SASSER BRADD W TAYLOR R LUNDE AND TERESA M LUNDE	120437000	04/25/22 0.09	1839 42	RES IMP	\$ 72,313	\$ 25,117	34.73
03862	BECKUM RUSSELL B TAYLOR ROBERT/TAYLOR EDDIE	1214023000	06/10/22 0.54	1846 2008	RES IMP	\$ 139,395	\$ 53,787	38.59
04492	CLARK DAVID PATRICK JR TERESA HERNANDEZ AND GUSTAVO	2853 PINEVIEW 180032000	07/11/22 0.75	1850 35	RES IMP	\$ 255,313	\$ 64,509	25.27
07901	BRITTNEY C JONES TERESA JOHNSON	7026 REAGAN 303287000	12/02/22 0.07	1868 985	RES IMP	\$ 141,602	\$ 51,584	36.43
08243	TABER CAROL M TERESA S KITCHENS	1452 TROUPE 444254000	12/19/22 0.29	1870 336	RES IMP	\$ 210,258	\$ 74,900	35.62
06605	MARIE A CHISWELL TERESA SWAIN DAVIS AND DONELL SEMIKO	2732 VERNON 961158000	10/04/22 0.37	1861 1687	RES IMP	\$ 74,663	\$ 26,808	35.91
04380	ANTHONY'S ESTATES LLC TERRANCE BURTON	3071 WESTWOOD 170075000	07/01/22 0.27	1848 2504	RES IMP	\$ 287,496	\$ 109,650	38.14
06823	REAVES MAIER L ROFS/GEORGIETTA M TERRANCE J ALBEA	3918 RUTH 510104000	10/14/22 0.44	1862 2158	RES VAC	\$ 38,619	\$ 10,080	26.10
02876	THOMAS BRADLEY H TERRI MEGGS	110091840	05/09/22 0.16	1841 983	RES IMP	\$ 197,816	\$ 61,182	30.93
08345	JAMIE LEE DENMARK TERRI THOMPSON	1640178000	12/29/22 0.31	1870 2449	RES IMP	\$ 169,408	\$ 60,017	35.43
08051	ANTONIA D AUTRY AND TERESA M EVANS TH REAL ESTATE LLC	2635 ROYAL 341237000	11/18/22 0.10	1869 258	RES IMP	\$ 38,619	\$ 21,255	55.04
04176	GIBSON KAYLA IMAN THE BFT GROUP LLC	24 WALKER ST 474430000	06/24/22 0.06	1848 318	RES IMP	\$ 56,090	\$ 29,729	53.00
06674	COGLE WILLIAM S THE FLIPPIN BOWMANS LLC	1210139000	09/22/22 0.33	1862 741	RES IMP	\$ 59,130	\$ 32,797	55.47
01085	ANGUILLA MIRIAM U THE HALE FOUNDATION INC	1048 REDBIRD RD 201106010~LOTS 29 & 30, SEC D,	02/24/22 0.57	1830 676	RES IMP	\$ 153,193	\$ 67,292	43.93
06007	SIM S JOHNSON JR THE HOME STATION LLC	2220037000	09/02/22 0.56	1857 2219	RES IMP	\$ 24,888	\$ 14,265	57.32
07023	HUDSON LISA H THE O'DONNELL GROUP	2303 WILLOW CREEK CT 252167000	09/30/22 0.13	1864 979	RES IMP	\$ 287,410	\$ 95,4	33.21



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07782	TURNER TONYA THE ROMAN GROUP LLC	1213069000	10/28/22 0.37	1867 950	RES IMP	\$ 85,820	\$ 54,235	63.20
08552	CASTELLINO CANDICE/HALL GRAHAM B THEODOSAKIS CHRIS	314142000	12/20/22 0.05	1872 2695	RES IMP	\$ 189,447	\$ 57,300	30.25
08029	ENGLISH VIRGINIA ELIZABETH BRUGAM THERESA ANN EVANGELISTA GOSAI AND	2262 LYNDA 972143000	12/02/22 0.31	1868 2495	RES IMP	\$ 128,729	\$ 41,359	32.13
05820	SIMON JOANNE THI LE PHUONG DUNG	2705 SMITH CREEK RD 133058000	08/25/22 0.33	1856 1132	RES IMP	\$ 154,475	\$ 69,878	45.24
04204	ELLER ENOCH B JR/TAMARA L THOMAS B MACIEJEWSKI	1223147000	06/23/22 0.23	1847 2099	RES IMP	\$ 118,328	\$ 39,190	33.12
06877	GILLIARD EVANS L III THOMAS BRADY AND MICHELLE BRADY AS	1651049000	10/20/22 0.59	1863 662	RES IMP	\$ 231,713	\$ 83,919	36.22
08291	HUTCHESON ANNE P THOMAS CASON WEST II	264135000	12/22/22 0.62	1870 2155	RES IMP	\$ 290,928	\$ 100,121	34.41
05751	LANDWHO OF GEORGIA LLC AND GEORGE S THOMAS CLARENCE D/GORDON KAREN	3625 KARLEEN RD~10 1280081000~A	08/26/22 0.49	1857 76	RES IMP	\$ 98,693	\$ 58,082	58.85
07121	VERNITA HOLMAN THOMAS E SEIBERT	2140241000	10/28/22 0.37	1864 666	RES IMP	\$ 180,221	\$ 57,502	31.91
04238	STEWART DAVID THOMAS III RONALD J/THOMAS JEAN	1190294000	06/16/22 0.24	1848 1322	RES IMP	\$ 145,161	\$ 42,866	29.53
01807	BANKUS JOHN E THOMAS MICHAEL A/THOMAS NATASHA M	2620 NEW HOPE CIR 2940048000	03/15/22 1.00	1834 1265	RES IMP	\$ 334,113	\$ 125,655	37.61
01875	FRANKLIN MILLICENT V THOMAS MYLE G/THOMAS IDELLA G	423079000	03/25/22 0.27	1835 251	RES IMP	\$ 183,184	\$ 61,698	33.68
02035	KADO HERBERT JERALD THOMAS PATRICIA A	1440041000	03/04/22 0.31	1836 187	RES IMP	\$ 133,162	\$ 64,674	48.57
06265	JARVIS BRENDA L THOMAS TAMETRA	1530522000	08/31/22 0.36	1860 737	RES IMP	\$ 150,098	\$ 47,570	31.69
03798	O'KEEFE SUSAN A THOMPSON COLIN J/THOMPSON KELLY W	421 WAVERLY DR 240091000~19, J	06/07/22 0.39	1845 2193	RES IMP	\$ 424,224	\$ 131,682	31.04
06131	WELLS FARGO USA HOLDINGS INC THOMPSON DEADRA	2903 MILLEDGEVILLE RD 702044000	08/30/22 0.80	1858 1066	RES IMP	\$ 68,656	\$ 34,745	50.61
03881	MILES SR CECIL B THOMPSON EMELINE	1980086000	06/09/22 0.45	1846 1978	RES IMP	\$ 249,301	\$ 86,963	34.88
06204	FINLEY GREGORY D THOMPSON TERICA	2711 LOREN PKWY 1290368000	09/23/22 0.47	1860 2133	RES IMP	\$ 145,808	\$ 37,837	25.95
01094	SCOTT JAN MICHAEL SR THURMOND GEORGE SR	2318 GOLDEN CAMP 694104000	02/10/22 0.34	1829 1350	RES VAC	\$ 4,019	\$ 2,323	57.80
02905	STEPHENSON STEPHEN L THURMOND GEORGE/THURMOND ANNETTE	1250 MERRY ST 451360000	05/09/22 0.19	1841 700	COM IMP	\$ 108,115	\$ 34,291	31.72
01791	KORKIS DONALD JEFFREY TICKNOR TANNER	1106 MILLEDGE RD 442110000	03/29/22 0.26	1834 1724	RES IMP	\$ 507,646	\$ 165,501	32.60
02787	GARNETT S MACMILLAN TIFFANY BURKE JUSTICE	74023000	05/04/22 0.08	1840 1897	RES IMP	\$ 132,756	\$ 44,663	33.64
05891	FARMER VALERIE M TIMOTEO MANCILLA	1770035000	08/26/22 0.35	1856 1613	RES IMP	\$ 178,934	\$ 52,870	29.55
04336	TERRIE DINKINS TIMOTHY GARCIA AND DEYSY TREVINO AS	3367 BRAESWOOD 411028000	06/30/22 0.52	1849 115	RES IMP	\$ 208,542	\$ 82,045	39.34
02359	MASTHEAD LANDING LLC TIMOTHY LEE FILE	5411 COPSE 640188000	04/12/22 0.32	1837 345	RES IMP	\$ 312,487	\$ 111,482	35.68
06015	LANCE HALVORSON TIMOTHY WUU	3424 HEATHER 323064000	09/06/22 0.44	1858 162	RES IMP	\$ 270,332	\$ 99,717	36.89
06332	VUPPULA GOURI P TINTENFISCH BUSINESS VENTURES LLC	2112 HAROLD RD 983191000	09/13/22 0.34	1859 2547	RES IMP	\$ 87,536	\$ 26,686	30.49
04611	DAVID L AVRETT TODD ALLEN HEUSSNER AND LINDA J	2559 WALTON 343069000	07/11/22 0.43	1850 275	RES IMP	\$ 763,794	\$ 302,951	39.66
03848	KEITH A STARR TODD LAMB	817 LAKE TERRACE 203257000	06/14/22 0.36	1847 267	RES IMP	\$ 69,664	\$ 23,7	34.5



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04668	WEIJUN GU AND LENNY SIE TODD LANGSTON JEFFRIES JR AND TASHA	846 BURLINGTON 671155000	07/15/22 0.20	1851 160	RES IMP	\$ 300,369	\$ 127,628	42.49
04412	POWELL JR JAMES B TODD MOSES	2747 DEANS BRIDGE RD 854079000	05/11/22 0.57	1849 608	RES IMP	\$ 48,021	\$ 20,207	42.08
06507	LOTT CHARLES M TOLBERT HOLDINGS LLC	2837 LUMPKIN RD 843210000	09/23/22 0.19	1861 796	RES IMP	\$ 137,311	\$ 32,898	23.96
00957	RICHARD D ROGERS TOM W CELY	1533 CRAIG 441206000	02/21/22 0.16	1829 140	RES IMP	\$ 75,826	\$ 36,117	47.63
00958	RICHARD D ROGERS TOM W CELY	1541 CRAIG 443017000	02/21/22 0.16	1829 137	RES IMP	\$ 81,585	\$ 47,311	57.99
04984	ZHENG SHUYI TOMLINSON NICHOLAS L	2025 RESERVE LN 73090000	07/29/22 0.04	1852 1447	RES IMP	\$ 165,632	\$ 62,442	37.70
01398	R C POWELL TONJANIKA JACKSON	2314006000	03/11/22 4.09	1831 2005	RES VAC	\$ 43,027	\$ 9,744	22.65
05500	ROLAX MARY R TONY REED	1650130000	08/19/22 0.40	1855 1508	RES IMP	\$ 205,967	\$ 64,443	31.29
06220	REEVES WALTER SAMUEL JR TORABI INVESTMENT GROUP LLC	519 MARTIN 331087000	09/08/22 0.40	1859 1397	RES IMP	\$ 141,602	\$ 66,932	47.27
06227	ERWIN SARAH B TORABI INVESTMENT GROUP LLC	3023 WRIGHTSBORO 431153000	09/16/22 0.28	1859 1414	RES IMP	\$ 171,639	\$ 62,383	36.35
03978	STEVEN CARLY M TOWING ATL LLC	983208010	06/10/22 5.18	1846 1409	RES IMP	\$ 92,289	\$ 33,010	35.77
04016	ALFRED MOON AND CLARA MOON TRACY PHELPS AND COOPER PHELPS	1217 REID 324041020	06/17/22 0.10	1847 931	RES IMP	\$ 266,610	\$ 106,761	40.04
05591	SUTTON SHANNON W TRAN PHUONG H	7023 ANTILLES 304097000	08/02/22 0.10	1855 2105	RES IMP	\$ 155,333	\$ 59,304	38.18
08157	MICHELLE VAN KLEECK AND JONATHAN S TRAVIS KIMMEL AND CATHERINE KIMMEL AS	5003 CHARLIE 664158000	12/16/22 0.32	1870 739	RES IMP	\$ 323,969	\$ 120,653	37.24
01224	SUMNER GARY S TREJO ANGELA	1603 FOREST CREEK 542192000	03/07/22 0.40	1830 2134	RES IMP	\$ 144,122	\$ 46,477	32.25
05407	SKINNER LEONARD THOMAS TREJO MARCELINO	3857 HENSLEY RD 1680064040	08/12/22 1.34	1855 1249	RES VAC	\$ 10,298	\$ 4,200	40.78
01081	ARTHUR TAYLOR D TRICKEL JACK/TRICKEL JESSICCA LYNNE	1521081000	02/22/22 0.28	1829 1366	RES IMP	\$ 285,792	\$ 83,361	29.17
08599	TROTTER BROTHERS LLC	525 A PLEASANT HOME RD 163008000	0.33		COM IMP	\$ 285,365	\$ 86,882	30.45
00102	HENSLEY PATRICIA A TROTTER IV WILLIAM A	2846 WALTON WAY 334060110-5	01/13/22 0.09	1822 1938	RES IMP	\$ 153,535	\$ 35,740	23.28
00058	CAGLE STEVEN J TRUITT MARY Y	1962001000	01/04/22 4.70	1822 54	RES IMP	\$ 468,889	\$ 209,519	44.68
05864	HEBBARD JOHN H JR TRUMPET IN ZION FELLOWSHIP INC A	2809 WYLDSD RD 540083020	09/01/22 2.14	1857 1529	COM IMP	\$ 740,091	\$ 345,345	46.66
01572	HOOPER THOMAS E TUCKER PHILLIP	2216 WINDSOR SPRING RD 1212050000	02/23/22 0.40	1833 1676	RES IMP	\$ 162,902	\$ 59,320	36.41
00323	WILLIAMS ANTHONY TURNER BRANDON L	1031 PLEASANT VALLEY DR 2710042000	01/24/22 0.61	1825 58	RES IMP	\$ 270,017	\$ 56,062	20.76
07878	NYAH LUXURY RENTALS LLC TURNER ERIC A	1702026000	12/02/22 0.08	1868 505	RES IMP	\$ 114,140	\$ 42,725	37.43
08608	TURNER JERRY W	1245 GORDON PARK RD 590054000	0.23		COM IMP	\$ 64,771	\$ 26,809	41.39
05465	CARTER JULIAN TURNER SHAMEKA CHENIQUE	2218 BUNGALOW RD 863054000	08/09/22 0.21	1855 1322	RES IMP	\$ 84,961	\$ 42,038	49.48
06682	MARTIN ROBERT DANIEL ROFS/SHREE H TURTURRO CHRISTOPHER	422 KEMP DR 252024000	08/26/22 0.46	1862 651	RES IMP	\$ 188,803	\$ 94,466	50.03
03590	ZHANG ZHENRONG ROFS TYLER LIPSCOMB AND THAO UYEN LE	43045000	06/01/22 5.18	1844 2413	RES IMP	\$ 254,621	\$ 82,499	32.40
04795	PILCHER-HARDY RENTALS LLC A GEORGIA TYLER RAY PROPERTIES LLC A GEORGIA	1831 GORDON HWY 702008000-TRCT A	07/27/22 1.39	1852 485	COM IMP	\$ 171,603	\$ 44,7	5



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02030	WARD ILSE M TYLER TIMOTHY	1430181000	03/29/22 0.30	1835 576	RES IMP	\$ 130,405	\$ 49,790	38.18
01045	PINEY HEIGHTS LLC TYREKE HARRIS	3050019000	02/25/22 0.43	1829 1285	RES IMP	\$ 25,084	\$ 10,251	40.87
05088	CATAMOUNT PROPERTIES 2018 LLC TYRELL ANNIE M	5098 COPSE 640059000	08/02/22 0.26	1853 2473	RES IMP	\$ 296,078	\$ 125,394	42.35
01253	KB7 REAL ESTATE CREATIONS LLC TYRONE BLACKWOOD	2953 BRIDGEPORT 520455000	03/08/22 0.37	1831 23	RES IMP	\$ 175,286	\$ 57,587	32.85
08343	HERNANDEZ CHRISTOPHER AND EMILY ROFS ULANDA R HICKS	542019000	12/28/22 0.24	1870 2245	RES IMP	\$ 158,766	\$ 37,924	23.89
02168	SONG INSEOK AND SAJIN ROFS UN CHA KIM	122313000	04/20/22 0.06	1838 1180	RES IMP	\$ 155,402	\$ 45,549	29.31
04499	WILLIAM STEVE GARRISON AND NANCY UNION TEAM RENTALS LLC	760022000	07/13/22 5.18	1850 1484	RES IMP	\$ 223,131	\$ 81,249	36.41
03909	NORDAHL TAMMY UNRUH INVESTMENTS LLC A GEORGIA	1574 GOSHEN RD 1990106000	06/13/22 0.17	1846 1814	RES IMP	\$ 69,727	\$ 28,269	40.54
04464	WHITTLE CHARLENE DUNAWAY UPTOWN PROPERTY MANAGEMENT LLC	2629 MILLEDGEVILLE RD 713015000	07/06/22 0.32	1850 735	RES IMP	\$ 44,626	\$ 24,668	55.28
08300	KEY BILLIE L URENA JUAN G	2725 INGLESIDE DR 252144000	12/19/22 0.39	1870 1699	RES IMP	\$ 240,295	\$ 92,056	38.31
01947	HOPKINS WILLIAM C UROS NICHOLAS MICHAEL/DORMINEY-UROS	2248 CUMMING 344147060	03/02/22 2.09	1835 1527	RES IMP	\$ 2,191,284	\$ 697,041	31.81
01873	J ASHLEY HOLDINGS LLC URSULA A PANKEY	7224 CURACAS 402077000	03/24/22 0.11	1834 56	RES IMP	\$ 164,630	\$ 63,590	38.63
08611	USB PROPERTIES LLC	1885 TOBACCO RD 1570004010	5.02		IND IMP	\$ 1,435,698	\$ 387,997	27.02
03009	ASKIN ENTERPRISES LTD CO USHER TRAVIS L	1123 HEPHZIBAH MCBEAN ROAD 3370062000~LOT 7, BLOCK A,	05/02/22 0.91	1842 656	RES VAC	\$ 9,951	\$ 4,958	49.82
00037	KLOSINSKI BOWEN A USRY ANNMARIE/USRY MATTHEW	578 MARTIN 253074000	01/10/22 0.43	1822 689	RES IMP	\$ 204,043	\$ 64,698	31.71
01368	PREFERRED RENTAL PROPERTY INC VANCE PAUL/WASHINGTON VINCENT/PROUTY	1622 CLEVELAND 452106000	03/15/22 0.19	1832 853	RES IMP	\$ 81,525	\$ 25,105	30.79
03868	GRANONE GARRETT VAUGHEN IV ALVIE THEODORE	7029 SUMMERTON 653182000	06/13/22 0.21	1846 2057	RES IMP	\$ 252,761	\$ 94,758	37.49
00536	HEPPEL JOHN EDWARD VAUGHT MATTHEW TODD	3121 SUSSEX 242105000	02/04/22 0.33	1826 1168	RES IMP	\$ 257,805	\$ 111,434	43.22
01979	BLACKBURN JONATHAN BROOKS VAZQUEZ TRACY	854002000	03/31/22 5.18	1836 447	RES IMP	\$ 79,040	\$ 30,678	38.81
02422	ROLAND FRANCES LUTHER VB ONE LLC	1911 WILLIAMS DR 1233011000	04/19/22 0.17	1838 283	RES IMP	\$ 50,320	\$ 19,330	38.41
02550	KING-WILLIAMS INESHA G VB ONE LLC	4520 CASTLE ROCK RD 662162000	04/26/22 0.22	1839 139	RES IMP	\$ 149,142	\$ 70,835	47.49
02539	ALEXANDER DAVID ALLEN VB ONE LLC	2503 LUMPKIN RD 973195000	04/28/22 0.21	1839 1506	RES IMP	\$ 99,861	\$ 35,847	35.90
03103	WILLIAMSON RONALD R VB ONE LLC	2571 RHODES DR 981106000	05/18/22 0.21	1842 2321	RES IMP	\$ 62,445	\$ 29,791	47.71
03330	JONES JEANNA L VB ONE LLC	2552 SHERATON DR 973153000	05/24/22 0.25	1843 1858	RES IMP	\$ 62,114	\$ 22,514	36.25
03251	HOLCOMBE JACK VB ONE LLC	3504 BILTMORE PL 1200542000	05/12/22 0.21	1842 9	RES IMP	\$ 62,776	\$ 28,321	45.11
03310	BUSSEY WILLIE VB ONE LLC	2513 PARKWAY DR 562088000	05/23/22 0.25	1843 1312	RES IMP	\$ 81,708	\$ 21,167	25.91
03667	DUNN KEITH VB ONE LLC	3316 SADDLEBROOK DR 1290529000	05/31/22 0.22	1844 1982	RES IMP	\$ 128,747	\$ 50,344	39.10
03752	RW RENOVATION INC VB ONE LLC	2918 WALTERS CT 254034000	06/07/22 0.22	1846 959	RES IMP	\$ 83,735	\$ 20,008	23.89
03753	LOMBARD NICHOLAS M VB ONE LLC	3498 MONTE CARLO DR 1320369000	06/07/22 0.28	1846 957	RES IMP	\$ 116,112	\$ 60,7	52.39



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03783	MAKERSON RICHARD VB ONE LLC	3022 LONSDALE DR 1103216000	06/08/22 0.27	1846 953	RES IMP	\$ 102,437	\$ 40,075	39.12
03784	SHIPES SR ALLEN D VB ONE LLC	3632 ELLIOTT BLVD 1320164000	06/07/22 0.23	1846 949	RES IMP	\$ 87,632	\$ 38,838	44.32
03987	WILLIAMSON RONALD R VB ONE LLC	3567 MORGAN RD 1290214000	06/07/22 0.46	1846 961	RES IMP	\$ 87,147	\$ 32,701	37.52
03988	FARRAR DANIEL L VB ONE LLC	3304 SADDLEBROOK DR 1290535000	06/09/22 0.27	1846 951	RES IMP	\$ 126,837	\$ 47,836	37.71
04113	HOWARD JARAID S VB ONE LLC	2132 CHADWICK RD 1320116000	06/27/22 0.42	1848 873	RES IMP	\$ 97,243	\$ 41,641	42.82
03993	TOMBLIN CHRISTOPHER V VB ONE LLC	2314 OVERLOOK RD 972177000	06/16/22 0.28	1847 1319	RES IMP	\$ 108,653	\$ 32,018	29.47
04080	COWANS MARY L VB ONE LLC	2212 WINSTON WAY 1310074000	06/22/22 0.27	1847 2122	RES IMP	\$ 86,450	\$ 33,340	38.57
04149	HOWARD CARL/LEONTEEN VB ONE LLC	3043 DORN CT 694130000	06/22/22 0.34	1847 1974	RES IMP	\$ 83,673	\$ 23,711	28.34
04316	ROBERT AND JOAN BONSER VB ONE LLC	3704 ROME WAY 820443000	06/28/22 0.23	1848 1570	RES IMP	\$ 85,977	\$ 33,448	38.90
04594	HUDSON HOLDINGS CSRA LLC VB ONE LLC	3441 WAYSIDE DR 1333005000	07/06/22 0.51	1849 2483	RES IMP	\$ 94,402	\$ 40,744	43.16
05090	KOONE JAMES M III AND SUSAN J VB ONE LLC	1425 RIDGEWOOD DR 412175000	08/10/22 0.18	1854 1660	RES IMP	\$ 120,062	\$ 35,161	29.29
05099	HARRIS JR ANTHONY L VB ONE LLC	3611 BROOKSHIRE RD 1200321000	08/10/22 0.23	1854 1140	RES IMP	\$ 111,565	\$ 44,893	40.24
04626	CSRA PROPERTY GROUP LLC VB ONE LLC	1810 EMPRESS AVE 1224122000	07/13/22 0.24	1850 1960	RES IMP	\$ 107,274	\$ 39,649	36.96
05343	NIXON HOLDINGS LLC VB ONE LLC	2629 DRAYTON DR 1060024000	08/04/22 0.22	1853 1915	RES IMP	\$ 113,282	\$ 43,351	38.27
05449	THE PROPERTY PROFESSIONALS LLC VB ONE LLC	2409 FAIRMONT ST 853203000	08/15/22 0.30	1855 429	RES IMP	\$ 111,480	\$ 39,292	35.25
04792	KACOS ANNE-RUTLEDGE L AND WIL VB ONE LLC	3023 JEANNE RD 961058000	07/19/22 0.26	1851 2180	RES IMP	\$ 80,241	\$ 23,095	28.78
04807	GREENE JOE D VB ONE LLC	3707 ANDOVER CT 1300829000	07/21/22 0.24	1852 391	RES IMP	\$ 111,565	\$ 56,453	50.60
04873	CARDELL MURRAY AND NUTASHA VB ONE LLC	3681 WOODCOCK DR 1290287000	07/19/22 0.33	1851 2182	RES IMP	\$ 114,998	\$ 49,369	42.93
06128	TOOLE WALLACE S JR VB ONE LLC	1922 FAIRWAY DR 1331128000	09/12/22 0.73	1858 1935	RES IMP	\$ 68,656	\$ 33,591	48.93
06151	JONES PAUL C VB ONE LLC	2067 FERNWOOD 1101081000, 1224165000	09/08/22 0.51	1858 1154	RES IMP	\$ 150,184	\$ 63,006	41.95
06105	HUDSON JEAN MARIE VB ONE LLC	2117 CLAIRMONT DR 562210000	09/12/22 0.31	1858 2602	RES IMP	\$ 136,453	\$ 41,326	30.29
06099	DIX PAUL VB ONE LLC	5313 TIMERWOOD DR 2330135000	09/15/22 0.37	1859 523	RES IMP	\$ 130,446	\$ 54,119	41.49
06385	OGLESBY RAYMOND VB ONE LLC	2437 MADRID DR 820216000	09/12/22 0.24	1859 979	RES IMP	\$ 72,947	\$ 20,389	27.95
06431	NORMAN FRANK VB ONE LLC	3415 WEBSTER RD 1080201000	09/15/22 0.22	1859 969	RES IMP	\$ 77,238	\$ 22,708	29.40
06439	DAMON WILLIAM G II VB ONE LLC	3205 BUCKEYE CT 1430463000	09/21/22 0.35	1860 398	RES IMP	\$ 124,438	\$ 55,603	44.68
06467	REBECCA BUCHWITZ LAMB F/K/A REBECCA VB ONE LLC	4037 BURNING TREE LN 1980170000	09/26/22 0.31	1860 2742	RES IMP	\$ 125,297	\$ 51,498	41.10
06524	KELLY ROOSEVELT L VB ONE LLC	1400109000	10/03/22 0.37	1861 2139	RES IMP	\$ 107,274	\$ 33,578	31.30
04940	RUCKER YOLANDA A VB ONE LLC	2623 CLAYMONT RD 1300666000	07/21/22 0.30	1852 1737	RES IMP	\$ 85,838	\$ 52,345	60.98
06708	BOYD WILLIE L VB ONE LLC	2710 BENNINGTON DR 1300486000	08/04/22 0.38	1862 886	RES IMP	\$ 85,820	\$ 41,0	7



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06813	ADAMS JEANETTE VB ONE LLC	1520388000	10/11/22 0.39	1862 1872	RES IMP	\$ 118,431	\$ 47,422	40.04
06824	CATAMOUNT PROPERTIES 2018 LLC VB ONE LLC	3336 IDLEWILD 414174000	10/11/22 0.27	1862 2015	RES IMP	\$ 128,644	\$ 46,042	35.79
07619	COPING BARBARA VB ONE LLC	843133000	11/09/22 0.02	1866 1208	RES IMP	\$ 81,529	\$ 27,411	33.62
07565	MORRIS JAMES D VB ONE LLC	1530001010	11/10/22 0.46	1866 1346	RES IMP	\$ 107,274	\$ 35,531	33.12
06034	BURTON RICKY R VB ONE LLC	2112 HILLSINGER RD 564115000	09/01/22 0.24	1857 2020	RES IMP	\$ 113,282	\$ 38,590	34.07
06037	MERCER SHERRY VB ONE LLC	2005 CARP DR 862095000	09/06/22 0.22	1858 669	RES IMP	\$ 77,238	\$ 33,256	43.06
06993	WOBIL CHARLES A VB ONE LLC	1070743000	10/26/22 0.43	1865 364	RES IMP	\$ 120,062	\$ 54,838	45.67
07071	LYONS DERRICK T VB ONE LLC	1400127000	10/24/22 0.39	1864 2665	RES IMP	\$ 111,565	\$ 29,496	26.44
07278	4 T'S INVESTMENT LLC VB ONE LLC	1070746000	10/24/22 0.22	1864 1896	RES IMP	\$ 145,035	\$ 50,944	35.13
07124	LAFONTAINE KERRY VB ONE LLC	1222322000	10/20/22 0.26	1864 1870	RES IMP	\$ 61,790	\$ 30,252	48.96
07252	TAYLOR CARLA D VB ONE LLC	1400049000	10/24/22 0.29	1864 2710	RES IMP	\$ 119,289	\$ 37,172	31.16
07033	KLETZ SCOTT L VB ONE LLC	1530234000	11/01/22 0.37	1865 359	RES IMP	\$ 117,573	\$ 48,314	41.09
07034	BAKER-LANGFORD ANJOLI VB ONE LLC	1070895000	10/25/22 0.15	1865 400	RES IMP	\$ 120,147	\$ 31,593	26.30
00089	STEINBERG STEPHEN H VB ONE LLC	2018 DUNHAM CT 1103076000	01/18/22 0.18	1823 2222	RES IMP	\$ 54,263	\$ 24,130	44.47
00090	SCOTT JAN MICHAEL SR VB ONE LLC	2316 GOLDEN CAMP RD 694105000	01/18/22 0.34	1823 2226	RES IMP	\$ 67,583	\$ 21,129	31.26
00197	FITTER JAY VB ONE LLC	2511 BECKET CT 1070469000	01/06/22 0.25	1824 688	RES IMP	\$ 91,140	\$ 23,300	25.57
00202	FITTER JAY VB ONE LLC	1981 NEPTUNE DR 1224217000	01/06/22 0.21	1824 22	RES IMP	\$ 92,335	\$ 21,154	22.91
00207	NIXON HOLDINGS LLC VB ONE LLC	3636 MEADOWLARK RD 1190030000	01/06/22 0.25	1822 1698	RES IMP	\$ 110,065	\$ 42,391	38.51
00208	YOU TAO VB ONE LLC	2922 PANHANDLE CIR 1200275000	01/06/22 0.26	1823 1025	RES IMP	\$ 97,614	\$ 25,526	26.15
00209	ST STEPHENS LLC VB ONE LLC	2616 TEAKWOOD DR 1530301000	01/04/22 0.42	1822 1694	RES IMP	\$ 97,768	\$ 34,236	35.02
00103	CARPENTER NICOLE VB ONE LLC	2930 ROLLINGWOOD DR 1070589000	01/18/22 0.25	1823 2230	RES IMP	\$ 98,661	\$ 30,424	30.84
00104	MOORE BEVERLY A VB ONE LLC	3051 HAWTHORNE DR 962086000	01/18/22 0.23	1823 2232	RES IMP	\$ 96,688	\$ 28,144	29.11
00121	HAMILTON HEATHER RENEE SHEETS VB ONE LLC	3532 WOODLAKE RD 1310184000	01/13/22 0.27	1823 122	RES IMP	\$ 114,408	\$ 58,741	51.34
00129	PRATT WYATT C VB ONE LLC	3507 HEMSTEAD CT 1310148000	01/06/22 0.27	1823 2364	RES IMP	\$ 132,476	\$ 51,066	38.55
00311	ESTROFF MALCOLM C VB ONE LLC	2509 COLEMAN AVE 982089000	01/24/22 0.28	1824 990	RES IMP	\$ 53,022	\$ 17,615	33.22
00343	GREENE STREET RESTORATIONS LLC VB ONE LLC	2843 ROCKY CREEK ROAD 854012000	01/24/22 0.28	1824 983	RES IMP	\$ 82,773	\$ 28,997	35.03
00452	CAREY WILLI W J VB ONE LLC	2660 CRANBROOK DR 1300339000	01/31/22 0.28	1825 1486	RES IMP	\$ 112,282	\$ 42,484	37.84
00478	SEYMORE DANA T VB ONE LLC	1840 DERBY DRIVE 712149000	02/03/22 0.24	1826 1328	RES IMP	\$ 102,270	\$ 34,783	34.01
00447	PERRINE ROBERT VB ONE LLC	3614 GIBRALTER CT 1410298000	02/02/22 0.27	1825 2126	RES IMP	\$ 123,603	\$ 48,000	39.00



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00556	BATES BRUCE VB ONE LLC	2435 SUMAC DR 844206000	02/10/22 0.26	1827 475	RES IMP	\$ 67,794	\$ 25,433	37.52
00639	R2 PROPERTIES LLC VB ONE LLC	2352 BERLIN DR 820426000	02/09/22 0.23	1826 2361	RES IMP	\$ 92,561	\$ 40,180	43.41
01707	CRW HOLDINGS LLC VB ONE LLC	2804 CORNELIA RD 852035000	03/30/22 0.28	1834 2528	RES IMP	\$ 112,146	\$ 24,570	21.91
00743	ESTROFF MALCOM C VB ONE LLC	3635 MEADOWGROVE DR 1070231000	02/15/22 0.27	1828 516	RES IMP	\$ 67,518	\$ 25,969	38.46
00762	VASQUEZ MIGUEL K VB ONE LLC	6 WHITNEY CT 573229000	02/17/22 0.19	1828 1162	RES IMP	\$ 105,927	\$ 60,678	57.28
00908	INSPIRE HOMES LLC VB ONE LLC	2401 MICKEY CT 1530333000	02/22/22 0.34	1829 563	RES IMP	\$ 120,167	\$ 30,203	25.13
00863	MARCUCCI SAMUEL SANTANA VB ONE LLC	2640 CROSSCREEK RD 1300264000	02/22/22 0.29	1828 2744	RES IMP	\$ 133,306	\$ 39,998	30.00
00897	NIXON HOLDINGS LLC VB ONE LLC	2674 BARCLAY ST 1300371000	02/22/22 0.29	1829 447	RES IMP	\$ 132,347	\$ 46,118	34.85
00963	MILLER BARRY D VB ONE LLC	3012 ALENE CT 1070388000	02/21/22 0.22	1828 2283	RES IMP	\$ 81,105	\$ 32,860	40.52
01560	CSRA4RENT LLC VB ONE LLC	3123 TATE RD 843065000	03/17/22 0.17	1833 20	RES IMP	\$ 118,555	\$ 25,686	21.67
01595	BINNS JR CARROLL D VB ONE LLC	2147 KINGSLEY CT 1321020000	03/16/22 0.38	1832 1957	RES IMP	\$ 135,511	\$ 33,683	24.86
01596	MONTGOMERY CHARLES E VB ONE LLC	3435 GEBHART CT 1190586000	03/15/22 0.22	1832 1963	RES IMP	\$ 90,479	\$ 45,463	50.25
01626	THEZINE THIERRY A VB ONE LLC	3626 AUDUBON PL 1190090000	03/09/22 0.36	1833 254	RES IMP	\$ 90,933	\$ 41,153	45.26
01911	SAMS ROBERT LEE JR VB ONE LLC	3490 CACTUS CT 1080028000	03/22/22 0.26	1834 238	RES IMP	\$ 84,796	\$ 24,586	28.99
01762	BONSER ROBERT VB ONE LLC	2615 CAIRO DR 1060061000	03/30/22 0.24	1835 230	RES IMP	\$ 83,761	\$ 34,406	41.08
01877	OGLESBY RAYMOND BERNARD VB ONE LLC	2342 PRAGUE CT 820150000	03/29/22 0.26	1834 2185	RES IMP	\$ 60,545	\$ 19,021	31.42
01932	BURTON RICKY R VB ONE LLC	2121 EASTLAND DR 562149000	04/06/22 0.26	1836 89	RES IMP	\$ 92,516	\$ 29,914	32.33
01976	GLOVER DANNY G VB ONE LLC	2720 FLEMING DR 983129000	04/04/22 0.22	1835 1737	RES IMP	\$ 63,852	\$ 22,449	35.16
02076	SAPP YOLANDA VB ONE LLC	2665 CROSSCREEK RD 1300231000	04/07/22 0.26	1836 1074	RES IMP	\$ 85,967	\$ 43,787	50.93
02069	MAKERSON RICHARD JR VB ONE LLC	1827 MEDLAR ST 1102180000	04/07/22 0.22	1836 1233	RES IMP	\$ 80,882	\$ 38,152	47.17
01415	THE KHALIFA GROUP LLC VB ONE LLC	3057 ACORN RD 962099000	03/14/22 0.31	1832 413	RES IMP	\$ 67,916	\$ 23,342	34.37
01377	ANDERSON RAYMOND C VB ONE LLC	2633 CARRINGTON DR 1520237000	03/15/22 0.38	1832 1752	RES IMP	\$ 98,962	\$ 40,628	41.05
01522	HAMMOCK HAVEN PROPERTIES LLC VB ONE LLC	3643 ALENE CIR 1070408000	03/15/22 0.24	1832 1720	RES IMP	\$ 83,646	\$ 28,655	34.26
01528	BUTLER GEORGE VB ONE LLC	3441 MURPHY CT 1320003000	03/10/22 0.46	1831 2565	RES IMP	\$ 118,304	\$ 28,815	24.36
02104	SAXON WESLEY VB ONE LLC	2115 ASHLEY DR 1320035000	04/07/22 0.23	1836 1037	RES IMP	\$ 115,546	\$ 46,390	40.15
02763	CSRA HOUSINGS LLC VB ONE LLC	2212 ALBEMARLE DR 1310089000	05/02/22 0.42	1840 638	RES IMP	\$ 90,468	\$ 37,386	41.33
02681	WILLIAMS SHERARD L VB ONE LLC	3716 CLAYBORN DR 1520127000	05/03/22 0.36	1840 1444	RES IMP	\$ 112,986	\$ 29,849	26.42
02780	CLECKLEY TARA T VB ONE LLC	3735 WOODLAKE RD 1410185000	04/28/22 0.30	1839 1959	RES IMP	\$ 99,861	\$ 45,722	45.79
02757	CLINE JR SAMUEL VB ONE LLC	3236 OLD LOUISVILLE RD 1222139000	04/28/22 0.24	1840 636	RES IMP	\$ 77,165	\$ 19,6	3



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02828	SMITH DENISE M VB ONE LLC	2605 HEXE CT 950054000	05/05/22 0.47	1840 2502	RES IMP	\$ 73,990	\$ 34,818	47.06
02929	NIXON HOLDINGS LLC VB ONE LLC	2725 GLENN HILLS CT 961120000	05/10/22 0.37	1841 1495	RES IMP	\$ 78,967	\$ 26,969	34.15
02934	CREWE ACQUISITIONS VB ONE LLC	3710 MASSOIT DR 940272000	05/10/22 0.29	1841 1541	RES IMP	\$ 79,955	\$ 28,017	35.04
02222	CHO-CHO LLC VB ONE LLC	2806 HAZEL ST 332228000	04/21/22 0.14	1838 1470	RES IMP	\$ 84,027	\$ 33,621	40.01
02224	CAMACHO ANGEL SEPULVEDA A VB ONE LLC	2620 CORNING ST 1410389000	04/21/22 0.29	1838 1474	RES IMP	\$ 91,334	\$ 48,937	53.58
02180	MARTIN CLIFFORD T II VB ONE LLC	3638 WOODCOCK DR 1300865000	04/14/22 0.24	1837 1718	RES IMP	\$ 119,451	\$ 54,354	45.50
02534	R W RENOVATIONS INC VB ONE LLC	2831 CORNELIA RD 853145000	04/28/22 0.26	1839 1504	RES IMP	\$ 67,860	\$ 22,514	33.18
02655	J MICHAEL SCOTT PROPERTIES LLC VERDERY CHRIS	2407 CAMELOT DR 192107000~LOT 7, BLK B, WINDSOR	04/25/22 0.40	1840 33	RES IMP	\$ 309,465	\$ 141,902	45.85
05530	DEAN WILLIAM E AND NANCY F VERGE CORY ANNE	2550 RICHMOND HILL RD~10, 11 863147000	08/12/22 1.53	1855 573	RES IMP	\$ 223,131	\$ 55,515	24.88
01586	BLACK DANNY RAY VERONICA C BISNOTT-HUDSON	1670483000	03/17/22 0.36	1832 2507	RES IMP	\$ 164,660	\$ 50,568	30.71
00721	LARRY G LEE JR VERONICA ELLIS	1840049000	02/17/22 0.52	1828 381	RES IMP	\$ 96,297	\$ 38,720	40.21
02705	TAVARES R CURRY VERONICA SESVOLD AND SARAH ANNE	954013000	04/29/22 5.18	1840 389	RES IMP	\$ 222,225	\$ 80,209	36.09
06828	LIFSEY CYNTHIA HUFFMAN VICKEY RAEFORD	1651146000	10/12/22 1.04	1862 1772	RES VAC	\$ 18,880	\$ 11,144	59.02
02410	CHADWICK S FITZGERALD AND TAYLOR A VICTOR C LAIRCEY JR	2937 RUNNING CREEK 162100000	04/14/22 0.11	1837 1510	RES IMP	\$ 144,260	\$ 41,705	28.91
01148	CHESNEY BELL LLC VICTOR RAMON RAMIREZ MONTANO	1231006000	02/23/22 0.29	1829 1815	RES IMP	\$ 117,385	\$ 27,141	23.12
07246	MCGRODY KIMBERLY ROFS AND JASON VICTORIA LEANN CATES	1739 KING WOODS 574014000	10/28/22 0.21	1864 1852	RES IMP	\$ 157,908	\$ 47,959	30.37
05133	GABI REALTY LLC VICTORIA WAKEFIELD	1091011000	08/05/22 0.26	1854 640	RES IMP	\$ 90,111	\$ 40,356	44.78
06938	HAGLER CHARLES W VIDYA LAKSHMI LLC	3115 SWITZER DR 333023000	10/04/22 0.66	1863 1165	RES IMP	\$ 85,820	\$ 28,724	33.47
05472	CARLISLE EVERETTE L VINCENT DUANE G	314 DOGWOOD DR 1840072000~LOT 4, BLK F, PINE VIEW	08/11/22 0.56	1854 2598	RES IMP	\$ 137,226	\$ 50,624	36.89
05464	ROOKS BILLY C VIOLETTE JODI/VIOLETTE RYAN	17 SUMMERVILLE LN 320001010~TRACT B	08/16/22 0.76	1855 1908	RES IMP	\$ 583,573	\$ 177,488	30.41
00453	HAYES WESLEY TODD VIOLETTE JR MICHAEL ANDREW/CHAPMAN	3304 SOMERSET PL 240209000~13, A	01/31/22 0.59	1825 1493	RES IMP	\$ 585,722	\$ 168,582	28.78
00755	WUCHTE GERALD J VIRRUETA CELIA ANDRADE/GAMINO MARTIN	1510039000	02/18/22 0.46	1828 518	RES VAC	\$ 9,141	\$ 3,600	39.38
01465	BURNS KETURAH VO QUANG	4537 LOGANS 671022000	02/22/22 0.28	1831 1665	RES IMP	\$ 232,086	\$ 80,515	34.69
03261	CLANCY KAITLYN E BERESFORD VOIGT JEAN-ELIE	412 ASHLAND DR 184015000~LOT 73, SEC 2, BERCKMAN	05/10/22 0.41	1842 1608	RES IMP	\$ 229,085	\$ 93,579	40.85
05836	JOSHUA B GALBREATH AND MARY ROSE V VONZELLA M ROBERTSON	3279 LEXINGTON 534083000	08/29/22 0.28	1856 2099	RES IMP	\$ 266,041	\$ 122,446	46.03
04633	WISE CHOICE RESIDENTIAL SERVICES INC VY A NGUYEN	1080400000	07/08/22 0.26	1849 2725	RES IMP	\$ 132,763	\$ 41,166	31.01
04866	RONALD FRANK MELTON JR WADE A BERZETT AND KATRINA C BERZETT	964059000	07/18/22 5.18	1851 684	RES IMP	\$ 111,565	\$ 26,367	23.63
04454	BRYANT BENJAMIN III WALDEN DORA A	1400637000	07/01/22 0.28	1849 1822	RES IMP	\$ 179,363	\$ 59,410	33.12
03233	GRAHAM PATRICIA K WALKER CARLATRENA	1700004180	05/13/22 0.28	1843 1393	RES IMP	\$ 89,601	\$ 41,600	46.03



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02202	CHANCE WENDY ANN/CEDRIC DEJANERIO WALKER KAREN	2606 NEW HOPE CIR 2940042000-3	04/15/22 1.01	1837 1840	RES IMP	\$ 327,751	\$ 122,483	37.37
01383	BERNIER JUDITH A WALKER OLA MAE	100175000	02/24/22 0.23	1831 1623	RES IMP	\$ 168,513	\$ 59,471	35.29
07199	YOU TAO WALKER SYLVESTER JUNIOR/WALKER	1341033000	10/07/22 0.22	1864 580	RES IMP	\$ 102,984	\$ 37,007	35.93
04685	JAMES BRIAN WALL BRANDON A	3391 BEAVER DR 411051000	07/20/22 0.91	1851 849	RES IMP	\$ 77,238	\$ 32,577	42.18
01648	MORGAN JAMES M WALL WILLIAM AUGUST/WALL STACEY	1119 HIGHLAND AVE 334142000	03/22/22 0.23	1833 1305	RES IMP	\$ 234,244	\$ 92,788	39.61
03866	BARNETT MICHAEL WALLACE ANGELA ELAINE	800115000	06/10/22 5.18	1846 2042	RES IMP	\$ 242,959	\$ 103,928	42.78
04848	SYLVESTER CHARLES SR WALLACE CHEVEENE	1832017000	06/21/22 0.24	1851 1483	RES IMP	\$ 212,860	\$ 86,488	40.63
04162	THOMAS CLARENCE D WAMSLEY CHRISTIAN	3517 MORGAN RD 1180380000	06/22/22 0.46	1847 2201	RES IMP	\$ 90,772	\$ 36,074	39.74
07178	UNRUH INVESTMENTS LLC WAMSLEY CHRISTIAN	1190305000	10/20/22 0.31	1864 2548	RES IMP	\$ 64,365	\$ 40,573	63.04
01972	TERRANOVA DEVELOPMENT CORP WANG HANG/CHEN PING	1401 FELDSPAR 402483000	03/03/22 0.09	1835 2160	RES IMP	\$ 267,258	\$ 96,675	36.17
03127	KAMMER MEAGHAN N WARD NATOVIAN	1908 WARREN ST 353258000	04/22/22 0.16	1842 1810	RES IMP	\$ 93,993	\$ 45,169	48.06
03496	BROWN RUSSELL WARE NATOYA	1734 TAMARIND WAY 1830073000-LOT 19, BL. B, CYPRESS	05/31/22 0.18	1844 2097	RES IMP	\$ 159,611	\$ 57,926	36.29
01926	HOWELL DOUGLAS F WARE VELINSIE R/WARE DARREN A	4829 APPLE CT 664072000	04/04/22 0.30	1835 1496	RES IMP	\$ 310,456	\$ 126,600	40.78
05830	EQUITY TRUST COMPANY FBO ELIZABETH WARREN JENNIFER LEIGH/LASSITER	1820 WATKINS ST 354151000	09/01/22 0.15	1857 1220	RES IMP	\$ 41,193	\$ 27,315	66.31
04372	JASMINE E BRADLEY AND ANTONIO A WARREN W WHITE	831048000	06/30/22 5.18	1848 2570	RES IMP	\$ 274,623	\$ 114,304	41.62
05561	HOUCK THOMAS P WATFORD PROPERTIES LLC	2674 COVENTRY 184225000	08/16/22 0.01	1854 2448	RES IMP	\$ 236,004	\$ 61,186	25.93
06715	GREENE GARY L WATFORD PROPERTIES LLC	2411 MOHICAN 194077000	09/27/22 0.24	1862 739	RES IMP	\$ 193,094	\$ 73,726	38.18
04236	HAYNES NATHANIEL JAMES WATSON KIMBERLY N	2152011000	06/27/22 0.26	1848 1214	RES IMP	\$ 254,726	\$ 111,094	43.61
02350	GRISWOLD BRANUM GAGE WATTS DAVID GARREN	1211 MILLEDGE 442205000	04/15/22 0.35	1838 54	RES IMP	\$ 348,866	\$ 134,883	38.66
05438	FLOWERS MIRIAM WCV #2 LLC	2942 MEADOWBROOK DR 1070209000	08/15/22 0.23	1855 1291	RES IMP	\$ 25,746	\$ 10,653	41.38
04430	JOHNSON LAURA K WEAVER SHELIA T/WEAVER JOHN C	1668 GOSHEN RD 1980010380	07/06/22 0.16	1849 1152	RES IMP	\$ 126,584	\$ 33,640	26.58
03714	SCOTT MICHAEL WEIDENAAR LINDSEY RAE	3203 NORRIS CT 171189000-LOT 13, BLK P, SEC 5,	05/27/22 0.32	1845 2466	RES IMP	\$ 196,466	\$ 74,881	38.11
01211	THE MOSS FAMILY-AUGUSTA LLC WEIGLE CHARLAR C	3119 APPLGATE LN 322099000-LOT 16, IN KIRK PLACE	02/14/22 0.44	1830 733	RES IMP	\$ 330,628	\$ 130,957	39.61
00867	RAINEY PRESTON WELLS DESMOND	2903 NORWOOD 530107000	02/09/22 0.36	1829 56	RES IMP	\$ 198,702	\$ 64,188	32.30
05793	EBERHARDT ROBERT M WESBY TROY D	2005 OSSABAW DR 1990150010-LOTS 3 & 4, BLK B, PH 4,	07/29/22 1.28	1856 1454	RES IMP	\$ 247,160	\$ 89,092	36.05
06373	MITCHELL DAWANNA WESTO LLC	2606 FOX CT 150084000	09/14/22 0.06	1860 326	RES IMP	\$ 90,111	\$ 39,378	43.70
00116	WILLIAMS TEMIKA S WESTO LLC	1814 CRIMSON LEAF 423120000	01/17/22 0.08	1823 713	RES IMP	\$ 144,160	\$ 46,780	32.45
01696	WILLIAMSON RONALD R WESTO LLC	3109 JENNIFER CT 973296000	03/22/22 0.24	1833 1089	RES IMP	\$ 68,399	\$ 25,530	37.32
03017	WILLIAMSON RONALD R WESTO LLC	984082000	05/05/22 5.18	1841 2622	RES IMP	\$ 45,116	\$ 17,4	4



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03705	WILLIAMSON RONALD R WESTO LLC	2527 RHODES 981128000	06/03/22 0.25	1845 371	RES IMP	\$ 43,973	\$ 24,651	56.06
01275	SANCKEN ENTERPRISES LLLP WESTO LLLC	1801 WILSON 453257000	03/04/22 0.15	1832 1298	RES IMP	\$ 118,895	\$ 31,555	26.54
05388	IMS PROPERTIES LLC WHEATLEY ADAM JOELLYN	2341 RICHWOOD DR 1670470000~LOT 24, BLK M	08/15/22 0.36	1855 1984	RES IMP	\$ 135,595	\$ 43,400	32.01
00411	PORTER KENDALL CHOU WHEELER ABIGAIL G/WHEELER JOSHUA T	622 CANTERBURY DR 242111000	01/31/22 0.35	1825 1055	RES IMP	\$ 258,639	\$ 89,940	34.77
02060	VARNADO SOLOMON D WHEELER SHAQUILLE D	3528 GARDENBROOK DR 1200451000	04/08/22 0.22	1836 1893	RES IMP	\$ 91,897	\$ 30,046	32.70
05516	FURSE JERRY M WHEELER TALAYA M	3342 WEDGEWOOD DR 412120000	08/16/22 0.27	1855 591	RES IMP	\$ 143,319	\$ 43,463	30.33
02114	FENNEL SHIRIN S WHISENHUNT ARIELLA/WHISENHUNT	1218 GLENWOOD DR 132159000	04/11/22 0.39	1836 1537	RES IMP	\$ 170,426	\$ 59,723	35.04
04987	ROTH JOHN S WHITE ABIGAIL BRANNEN	2845 LOMBARDY CT 432003000~29, A	07/28/22 0.23	1852 1398	RES IMP	\$ 287,496	\$ 87,677	30.50
00669	JONES SHAWANDA AND RUSSELL JR WHITE ALBERT J	1390344000	02/09/22 1.53	1827 47	RES IMP	\$ 193,855	\$ 90,873	46.88
01639	REES RICHARD C WHITE RACHEL L	2112 SHAMROCK 562131000	03/17/22 0.29	1833 645	RES IMP	\$ 75,273	\$ 44,369	58.94
02303	TRIPLE A FOUR K'S INC WHITE TYMIRIAL S/JACKSON DAVID J JR	1069 HANCOCK MILL LANE 3190100000~LOT 11, BLOCK B, SECT. II,	03/11/22 0.69	1838 1867	RES VAC	\$ 8,700	\$ 3,392	38.99
05926	SPARKS THOMAS J WHITEHURST DEBORAH J/SPEDDING GARY	2060 WRIGHTSBORO RD 444294000~PORTION OF LOTS 6, 7 & 8,	08/31/22 0.42	1857 1859	RES IMP	\$ 214,549	\$ 78,885	36.77
08504	HAIRE ROBIN E WHITFIELD ADRIAN	1125 WALTONS TRL 1780087000	12/19/22 0.43	1872 2563	RES IMP	\$ 229,997	\$ 79,215	34.44
04572	F A PROPERTIES LLC A GEORGIA LIMITED WHITMAG PROPERTIES LLC A GEORGIA	437 FOLKSTONE CT 110091670	07/13/22 0.15	1850 1569	RES IMP	\$ 132,162	\$ 52,248	39.53
07201	KELLY JR GORDON M WHITMARSH PATRICIA B/WHITMARSH	501 MILLEDGE 342017550	10/12/22 0.09	1863 2572	RES IMP	\$ 91,827	\$ 36,756	40.03
05637	HOLMES KENNETH A WIDENER RYAN	2961 HILLCREEK DR 300127000	08/12/22 0.24	1856 330	RES IMP	\$ 193,094	\$ 105,586	54.68
07139	JAMES JESSIE COLLINS WIEBE HOMES LLC	1390168000	10/12/22 0.39	1864 93	RES IMP	\$ 74,234	\$ 46,482	62.62
06610	HALL JAMES A WIEBE HOMES LLC	3703 CREEK CT 1530539000	09/23/22 0.37	1862 9	RES IMP	\$ 97,234	\$ 48,340	49.72
06626	BELLAMY NELSON S WIGGINS MARCUS D	1454 BROOKSTONE RD 1524030000	09/30/22 0.26	1861 1132	RES IMP	\$ 150,184	\$ 64,358	42.85
00409	CHAMBERS LANDIS D WILCOX SHONTRIS REMELL	2912 WELLINGTON ST 653005000	01/24/22 0.13	1824 2665	RES IMP	\$ 273,945	\$ 102,999	37.60
02108	RENTING AUGUSTA GEORGIA LLC WILDE JAMES A	701 WINDSONG CIR 60293000~UNIT 701, BLDG 7, PH 1,	03/31/22 0.09	1836 1378	RES IMP	\$ 57,653	\$ 22,261	38.61
07768	CADLE JAMES WESLEY JR ROFS/SNELLINGS WILEY ASHTON BLAKE/FORRESTER EMILY	612 OBERLIN 253055000	11/22/22 0.38	1868 363	RES IMP	\$ 301,227	\$ 117,840	39.12
07399	FROST COURTNEY M WILLIAMSON MICHAEL DEMETRIC	1513018000	10/21/22 0.29	1865 2199	RES IMP	\$ 261,750	\$ 105,768	40.41
07010	GOFF HAZEL L WILLETTE WILEY AND ROOSEVELT WILEY JR	864107000	11/07/22 0.03	1865 1108	RES IMP	\$ 56,212	\$ 20,144	35.84
05382	HERRING JONATHAN DANIEL WILLIAM A MAY	2099 WILLHAVEN 654123000	08/05/22 0.15	1854 42	RES IMP	\$ 204,251	\$ 97,067	47.52
08071	BRIAN A TYNDALL WILLIAM A MAY	1290012020	12/05/22 1.26	1868 2033	RES IMP	\$ 42,052	\$ 18,691	44.45
02407	DWIGHT B HAMBRICK WILLIAM A MAY	3039 WRIGHTSBORO 431161000	04/12/22 0.28	1837 1452	RES IMP	\$ 115,054	\$ 52,006	45.20
01683	JOSHUA PAUL LAM AND RACHEL EDEN LAMB WILLIAM C EVANS AND CLAUDIA M EVANS	113085000	03/18/22 0.37	1833 212	RES IMP	\$ 253,834	\$ 72,204	28.45
01164	BAILEY DOUGLAS ROBERT WILLIAM EVAN DICKEY AND HANNAH	113100000	02/25/22 0.28	1829 2665	RES IMP	\$ 210,372	\$ 59,7	28.45



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02628	NUNNALLY JOE M WILLIAM JOHNSON FERGUSON JR	1070622000	04/28/22 0.33	1839 1961	RES IMP	\$ 147,068	\$ 40,887	27.80
06566	ARMSTRONG PHILLIP M WILLIAM JOYNER AND LATANZA JOYNER AS	1424069000	09/30/22 0.31	1861 1271	RES IMP	\$ 244,586	\$ 88,601	36.22
03354	RICHARD L BALKCUM WILLIAM MICHAEL GUTHRIE AKA WILLIAM	3390009060	05/26/22 5.57	1843 2689	RES VAC	\$ 48,717	\$ 9,405	19.31
04954	TRIPHELIA HUNTER WILLIAM MURRAY	1300705000	07/29/22 0.30	1852 1790	RES IMP	\$ 180,135	\$ 55,264	30.68
00770	R LEWIS CONSTRUCTION LLC WILLIAM OLLIE KEY III AND BRITTANY BYERS	2112 CARNES 344136020	02/17/22 5.18	1828 894	RES VAC	\$ 625,836	\$ 213,173	34.06
07060	DUANE L WILSON AND REBECCA P WILSON WILLIAM RAYFIELD WADLEY JR AND	2220 KINGS 442201000	10/26/22 0.17	1864 545	RES IMP	\$ 321,824	\$ 193,714	60.19
00801	REINALDO BURGOS JR AND TAEOR M WILLIAM WALKER	1303 BIMINI 313081000	02/15/22 0.35	1827 2281	RES IMP	\$ 221,846	\$ 60,884	27.44
03858	WINGATE KRISTOPHER K WILLIAMS ANDREW D/CONLEY ASIA J	1541 OGLETHORPE DR 2152006000	06/10/22 0.26	1846 1664	RES IMP	\$ 253,446	\$ 101,331	39.98
04323	GREEN JANIE WILLIAMS ANGELA D	2705 VERNON 961194000	07/01/22 5.18	1849 268	RES IMP	\$ 128,729	\$ 42,140	32.74
04833	CARTER LISA M WILLIAMS ANTOINETTA	2614 SERENITY LN 654048000	07/20/22 0.13	1851 1794	RES IMP	\$ 253,082	\$ 103,711	40.98
03823	HATCHER ERROLL M WILLIAMS ASHLEY LEVERETT PATTERSON	2621 BELLEVUE AVE 343107000	06/09/22 0.24	1845 2733	RES IMP	\$ 290,195	\$ 158,732	54.70
06040	ROSE KELLY WILLIAMS BRIANA L	3131 OLDE BROWNSTONE CT 314146000	09/09/22 0.05	1858 890	RES IMP	\$ 195,240	\$ 61,921	31.72
03570	THOMAS JOSEPH JR WILLIAMS CASSANDRA L	4018 MARSHALL 660046000	05/18/22 0.48	1844 1501	RES IMP	\$ 414,813	\$ 145,195	35.00
05257	LINK PERCY A WILLIAMS DESMOND	4528 PINEVIEW 1794029000	07/29/22 0.22	1853 1430	RES IMP	\$ 133,020	\$ 58,569	44.03
05804	COX SHEILA D WILLIAMS DIANE	3204 SUMMERCHASE CIR 424108000	08/25/22 0.16	1856 2659	RES IMP	\$ 148,897	\$ 52,088	34.98
01461	REID ROSA DOWNS WILLIAMS EDNA M	3437 SHARON RD 540056010	03/03/22 0.25	1831 2744	RES VAC	\$ 2,856	\$ 517	18.10
02794	YOUNG SUSAN L WILLIAMS JR HERMON	3532 GARDENBROOK 1200449000	05/05/22 0.22	1840 2721	RES IMP	\$ 78,501	\$ 28,578	36.40
06046	HILLMAN HELEN R WILLIAMS JR HERMON E	3727 WOODLAKE 1410189000~LT 8 BLK C2	09/02/22 0.28	1859 435	RES IMP	\$ 84,532	\$ 43,277	51.20
06082	HALL CARLOS VERNANDO WILLIAMS JR LUIS ARTHUR/WILLIAMS ASHLEY	1824 CYPRESS 1102175000	08/25/22 0.21	1858 2443	RES IMP	\$ 96,762	\$ 37,873	39.14
02676	COOK KEONDR A MONIQUE WILLIAMS LATISHA TYWANNA	2826 BRENTWAY DR 1180406000	04/29/22 0.24	1840 954	RES IMP	\$ 151,476	\$ 43,906	28.99
07058	BUXTON THOMAS B WILLIAMS LESLEY-ANNE DYER/WILLIAMS III	3325 SUGAR MILL RD 160315000	10/27/22 0.29	1864 159	RES IMP	\$ 287,496	\$ 71,430	24.85
03599	TANNER TANIMA WILLIAMS LISA M	4078 BURNING TREE LN 1980247000~23, D	06/07/22 0.29	1845 1325	RES IMP	\$ 201,553	\$ 56,878	28.22
02298	TRIPLE A FOUR K'S INC WILLIAMS MARGARET S	1125 HANCOCK MILL LANE 3190112000~LOT 25, BLOCK B, SECT. II,	03/10/22 0.46	1838 1861	RES VAC	\$ 8,045	\$ 3,392	42.16
06153	SPEERS ROGER A JR ROFS WILLIAMS MARK	1531 JOHNS RD 443231000	09/06/22 0.25	1858 1210	RES IMP	\$ 223,131	\$ 90,180	40.42
06978	WILSON EDWIN WILLIAMS RHYHEEM SHYDEL	4739 LAUREL OAK DR 1794131000	10/27/22 0.30	1864 2397	RES IMP	\$ 142,031	\$ 52,100	36.68
08459	STEPHENS LEVI AUGUSTUS WILLIAMS ROXANNE	2119 HILLSINGER 564046000	12/09/22 0.31	1872 60	RES IMP	\$ 163,057	\$ 59,764	36.65
05403	OSTBY NATHANIEL J WILLIAMSON III ANDREW J	1735 OAK 574028000	08/15/22 0.21	1854 2233	RES IMP	\$ 115,856	\$ 45,054	38.89
04693	WHIGHAM RAYBUN WILLIN X ABEL LLC	233 WALKER ST 474227000	06/15/22 0.13	1851 376	RES IMP	\$ 17,400	\$ 8,491	48.80
00645	PABON JOEL WILLIS DEON L	2824 RIDGEVIEW DR 390235000	02/07/22 0.40	1826 2688	RES IMP	\$ 199,025	\$ 77,2	38.80



2022 Sales Ratio Study

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Item 13.

Sample	Seller Purchaser / Owner	Street-Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
00091	MAJASA LLC WILSON CHRISTOPHER T	2846 WALTON 334060250	01/21/22 0.09	1824 627	RES IMP	\$ 113,188	\$ 33,090	29.23
01330	HUGHES NICHOLAS WILSON DANIEL	3427 HIGHWAY 88 2440008020	03/10/22 3.93	1832 527	RES IMP	\$ 282,036	\$ 96,780	34.31
03981	WOODSON TIA LASHONE FOSTER WILSON DENICE	1116 MCCOYS CREEK RD 780073000~LOT 8, BL. B, MCCOYS	06/13/22 0.24	1846 1454	RES IMP	\$ 344,278	\$ 137,246	39.86
04414	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2322 BELAIR SPRING RD 663206000~LOT 152, GOVERNORS	06/16/22 0.16	1849 1223	RES VAC	\$ 47,373	\$ 20,800	43.91
05344	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	1207 GEORGE W. CRAWFORD DR 663128000~LOT 42, GOVERNORS PLACE,	07/15/22 0.23	1854 612	RES VAC	\$ 46,772	\$ 20,800	44.47
05345	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2335 BELAIR SPRING RD 663167000~LOT 115, GOVERNORS	07/15/22 0.13	1854 617	RES VAC	\$ 46,772	\$ 20,800	44.47
05346	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2306 BELAIR SPRING RD 663181000~LOT 128, GOVERNORS	07/15/22 0.15	1854 622	RES VAC	\$ 46,772	\$ 20,800	44.47
01845	SOUTHERN SPECIALTY DEVELOPMENT WINCHESTER HOMES OF GA INC	1724 ETHAN WAY 1521109000~LOT 20, BLK T, SEC 8,	03/15/22 0.28	1833 2407	RES VAC	\$ 27,332	\$ 10,000	36.59
01846	SOUTHERN SPECIALTY DEVELOPMENT WINCHESTER HOMES OF GA INC	1722 ETHAN WAY 1521110000~LOT 21, BLK T, SEC 8,	03/15/22 0.28	1833 2423	RES VAC	\$ 27,332	\$ 10,000	36.59
01847	SOUTHERN SPECIALTY DEVELOPMENT WINCHESTER HOMES OF GA INC	2161 KANECK WAY 1521094000~LOT 55, BLK L, SEC 8,	03/15/22 0.49	1833 2439	RES VAC	\$ 21,677	\$ 10,000	46.13
01848	SOUTHERN SPECIALTY DEVELOPMENT WINCHESTER HOMES OF GA INC	2159 KANECK WAY 1521095000~LOT 56, BLK L, SEC 8,	03/15/22 0.62	1833 2455	RES VAC	\$ 21,677	\$ 10,000	46.13
02647	GOVERNOR'S PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2209 BELAIR SPRING RD 663135000~LOT 84, GOVERNOR'S PLACE,	04/15/22 0.14	1839 1753	RES VAC	\$ 50,035	\$ 20,800	41.57
02648	GOVERNOR'S PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2221 BELAIR SPRING RD 663138000~LOT 87, GOVERNOR'S PLACE	04/15/22 0.14	1839 1741	RES VAC	\$ 50,035	\$ 20,800	41.57
02649	GOVERNOR'S PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2229 BELAIR SPRING RD 663140000~LOT 89, GOVERNOR'S PLACE	04/15/22 0.14	1839 1721	RES VAC	\$ 50,035	\$ 20,800	41.57
02651	GOVERNOR'S PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2257 BELAIR SPRING RD 663147000~LOT 96, GOVERNOR'S PLACE	04/15/22 0.25	1839 1699	RES VAC	\$ 50,035	\$ 20,800	41.57
02987	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2370 BELAIR SPRING RD 663198000~LOT 145, GOVERNORS	04/13/22 0.15	1842 1649	RES VAC	\$ 50,121	\$ 20,800	41.50
03119	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2297 BELAIR SPRING RD 663157000~LOT 106, GOVERNORS	05/12/22 0.20	1842 2378	RES VAC	\$ 48,876	\$ 20,800	42.56
03091	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2246 BELAIR SPRING RD 663193000~LOT 140, GOVERNORS	05/12/22 0.19	1842 2521	RES VAC	\$ 48,876	\$ 20,800	42.56
03125	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2327 BELAIR SPRING RD 663165000~LOT 113, GOVERNORS	05/12/22 0.14	1842 2499	RES VAC	\$ 48,876	\$ 20,800	42.56
03044	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2294 BELAIR SPRING RD 663182000~LOT 129, GOVERNORS	05/12/22 0.13	1842 2400	RES VAC	\$ 48,876	\$ 20,800	42.56
03045	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2230 BELAIR SPRING RD 663194000~LOT 141, GOVERNORS	05/12/22 0.16	1842 2543	RES VAC	\$ 48,876	\$ 20,800	42.56
03046	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2331 BELAIR SPRING RD 663166000~LOT 114, GOVERNORS	05/12/22 0.14	1842 2565	RES VAC	\$ 48,876	\$ 20,800	42.56
03117	GOVERNORS PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2253 BELAIR SPRING RD 663146000~LOT 95, GOVERNORS PLACE,	04/13/22 0.25	1842 1639	RES VAC	\$ 50,121	\$ 20,800	41.50
03118	GOVERNOR'S PLACE PARTNERS LLC WINCHESTER HOMES OF GA INC	2217 BELAIR SPRING RD 663137000~LOT 86, GOVERNORS PLACE,	05/12/22 0.14	1842 2356	RES VAC	\$ 48,876	\$ 20,800	42.56
08072	KAITLIN B WILLIAMSON WINFIELD GROUP LLC	1437 JOHNS 443095000	12/05/22 0.17	1868 2515	RES IMP	\$ 201,676	\$ 73,185	36.29
03322	GIRARD AMANDA J WITMER JONATHAN D	2302 BUTTERNUT CT 683018000	05/26/22 0.32	1843 2416	RES IMP	\$ 243,586	\$ 99,468	40.83
08609	WMMNH LLC	1824 WILKINSON RD 702014000	1.49		COM IMP	\$ 245,995	\$ 102,461	41.65
01793	MERCHEN LEE A WOLFF ZACHARY L	2150 BATTLE ROW 344015000	03/10/22 1.74	1833 2484	RES IMP	\$ 1,230,358	\$ 560,893	45.59
06631	HADDEN JR ERNEST B WOOD CHRISTOPHER BRUCE	4969 FULCHER RD 3470020000~TRCT A	09/23/22 5.00	1861 2435	AGR IMP	\$ 341,244	\$ 93,8	29



2022 Sales Ratio Study

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Sample	Seller Purchaser / Owner	Street-Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
02683	GODLEY PROPERTIES LLC WOODARD DAESIYAH	1018 CEDARVIEW 2130208000	04/28/22 0.38	1839 2248	RES IMP	\$ 145,252	\$ 49,362	33.98
00842	PICKWICK HOLDINGS LLC WOOLWARD RICHARD	2026 BRIGHTON CIR 1103143000	02/11/22 0.26	1827 2722	RES IMP	\$ 174,186	\$ 47,394	27.21
04897	MAYES MATTHEW B WORTMAN EMILIE LORRAINE	814 BARRETT LN 333080000	07/18/22 0.31	1850 2619	RES IMP	\$ 317,018	\$ 98,327	31.02
04536	RANDOLPH PROPERTY GROUP LLC WP I - AUGUSTA LLC	630 THIRTEENTH 462113000	07/12/22 1.59	1850 718	COM IMP	\$ 5,506,658	\$ 1,271,927	23.10
01717	RENAUD SANDRA I WRIGHT LATISHA	3503 BECTON RD 1300635000	03/31/22 0.42	1834 2709	RES IMP	\$ 92,989	\$ 40,818	43.90
05803	TADLOCK AUSTIN M WYNN MARY GRACE	1726 KING WOODS 574024000	08/30/22 0.28	1857 16	RES IMP	\$ 161,255	\$ 61,194	37.95
02404	BAO JIANXIONG/OEI XIAOLEI PAN XINYI QIN	802 WINDSONG 60302000	04/12/22 5.18	1837 1409	RES IMP	\$ 64,430	\$ 22,261	34.55
05001	HERNANDEZ MARIA C YARBROUGH DAVID D/YARBROUGH SUSAN D	4232 FOREST RD 2320229000	07/11/22 0.87	1853 155	RES IMP	\$ 244,586	\$ 85,565	34.98
03223	IPLAN GROUP AGENT FOR CUSTODIAN FBO YONESAKI MICHAEL	2403 NORFOLK 991084000	05/12/22 0.26	1843 458	RES IMP	\$ 16,591	\$ 8,896	53.62
08203	HUTCHESON WAYMON J YOUNGBLOOD JESSICA CARLA/YOUNGBLOOD	4745 MCCOMBS RD 3540008070	12/19/22 4.85	1870 441	RES IMP	\$ 218,840	\$ 68,342	31.23
07781	BUYING HOUSES R-US LLC YOUR NEIGHBORHOOD BUILDER LLC	1108 SUMMER 464717000	10/28/22 0.06	1867 558	RES IMP	\$ 12,873	\$ 3,770	29.29
06146	BYERLY STEVEN E YSTEBO DYLAN D/SHIRLEY NATALIE	4064 FAIRLANE 1980289000	08/22/22 0.39	1858 2502	RES IMP	\$ 257,459	\$ 95,511	37.10
02428	THOMPSON DOUGLAS LIONEL AND LINDA YUNBO XU AND GUANGKUO DONG	101 WINDSONG 70209000	04/22/22 0.09	1838 2275	RES IMP	\$ 64,791	\$ 22,261	34.36
06683	RHODES PHILLIP J YVONNE BRADLEY-REID	413 GOLDFINCH 100220000	10/11/22 0.37	1862 690	RES IMP	\$ 205,109	\$ 65,542	31.95
02185	ROBERT V BAXTER JR YVONNE JOHNSON	3335 IDLEWILD 414108000	04/20/22 0.22	1838 1159	RES IMP	\$ 73,130	\$ 41,871	57.26
07614	MORGAN JONATHAN L ZACHARY MICHAEL SESSOMS AND	2517 WATERFRONT 821009000	11/14/22 0.26	1866 1210	RES IMP	\$ 171,210	\$ 77,312	45.16
00319	LEWIS BENJAMIN D ZACHARY T LEWIS AND SANDRA E LEWIS	1748 DAVIDSON 573099000	01/24/22 0.25	1824 1207	RES IMP	\$ 119,298	\$ 68,063	57.05
07244	LYNCH LINA ZAMORA MISTI GALE/VALLEJOS REYNALDO	2618 CRANBROOK DR 1300181000	10/06/22 0.28	1864 181	RES IMP	\$ 153,188	\$ 49,340	32.21
00507	FLOURNOY MOZELLA ZELLARS ROWLAND	1806 M L KING JR 593223000	01/24/22 0.08	1826 298	RES IMP	\$ 19,638	\$ 7,873	40.09
01184	STUTTS JAMES E ZEPERNICK KATHLEEN H/ZEPERNICK III	814 POINDEXTER DR 324018000-8, D	02/28/22 0.61	1829 2207	RES IMP	\$ 415,124	\$ 158,566	38.20
01849	ROBINSON CHRISTOPHER A ZHAO PENG	262 LAFAYETTE DR 180380000	03/21/22 0.21	1833 2510	RES IMP	\$ 228,111	\$ 84,043	36.84
02497	JOAN ALLEN AND EDWARD D ALLEN ZHENHENG LI AND XIUZHEN LU JTWROS	1307 WINDSONG 60347000	04/14/22 5.18	1837 1446	RES IMP	\$ 55,591	\$ 22,261	40.04
01096	THREATT BRENDA M ZOU JUANE	345 ALEX 122123000	03/03/22 0.06	1830 909	RES IMP	\$ 152,311	\$ 55,095	36.17
00188	MOYER BOBBIE T ZWANZIGER ALEX	1207 EISENHOWER DR 134181000	01/06/22 0.42	1823 349	RES IMP	\$ 222,122	\$ 71,881	32.36

* Adjusted as necessary for items such as: standing timber, personal property, intangibles, time, etc.



SALES RATIO STUDY • AUGUST 9, 2023

2022 State-Wide Equalized 100% Adjusted Property Tax Digest Report

Greg S. Griffin | State Auditor
Lee Thomas | Sales Ratio Division Director



DOAA
Georgia Department
of Audits & Accounts

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

The following report includes the State-wide Equalized 100% Digest for school tax purposes from the Sales Ratio Study for calendar year 2022. Each digest is computed by school district and includes the established ratio and adjusted 100% digest of each district. These digests are subject to change resulting from hearings, arbitrations or legal actions.

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
			\$
001	APPLING	33.61	3,224,244,349
002	ATKINSON	29.86	623,162,444
003	BACON	36.69	817,802,595
004	BAKER	38.26	351,220,111
005	BALDWIN	36.69	4,052,689,437
006	BANKS	35.04	2,413,806,071
007	BARROW	34.23	10,825,254,438
008	BARTOW	34.25	13,196,991,824
009	BEN HILL	38.23	1,219,305,198
010	BERRIEN	26.83	1,427,957,206
011	BIBB	39.14	13,537,244,757
012	BLECKLEY	41.05	823,012,508
013	BRANTLEY	33.27	1,134,197,759
014	BROOKS	38.26	1,414,558,548
015	BRYAN	33.89	6,570,193,372
016	BULLOCH	36.04	7,419,365,526
017	BURKE	38.02	18,062,048,362
018	BUTTS	37.61	2,600,175,951
019	CALHOUN	39.41	359,571,758
020	CAMDEN	36.60	6,018,384,647
021	CANDLER	37.30	835,461,027

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
022	CARROLL	36.11	9,973,526,710
023	CATOOSA	28.76	7,912,819,875
024	CHARLTON	38.11	1,025,597,031
025	CHATHAM	35.91	62,384,395,556
026	CHATTAHOOCHEE	35.14	173,624,782
027	CHATTOOGA	29.04	1,775,681,198
028	CHEROKEE	35.30	48,969,301,423
029	CLARKE	38.04	16,724,474,684
030	CLAY	37.50	309,148,058
031	CLAYTON	33.87	31,676,962,981
032	CLINCH	31.86	754,778,100
033	COBB	36.01	126,324,384,277
034	COFFEE	31.63	3,182,548,830
035	COLQUITT	38.51	3,124,142,340
036	COLUMBIA	37.31	20,813,298,429
037	COOK	32.12	1,439,792,358
038	COWETA	35.46	24,205,693,799
039	CRAWFORD	36.48	899,157,751
040	CRISP	38.09	2,046,918,334
041	DADE	38.16	1,772,546,719
042	DAWSON	37.15	5,909,103,667
043	DECATUR	39.17	2,789,640,520
044	DEKALB	36.66	107,240,594,078
045	DODGE	36.38	1,252,455,708
046	DOOLY	38.37	985,044,153
047	DOUGHERTY	35.58	6,172,530,867
048	DOUGLAS	36.11	20,523,815,493
049	EARLY	39.23	1,392,593,125
050	ECHOLS	31.69	332,445,345
051	EFFINGHAM	35.18	8,389,694,342

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
052	ELBERT	35.07	1,951,739,411
053	EMANUEL	40.16	1,508,958,405
054	EVANS	34.91	722,686,834
055	FANNIN	39.70	7,526,869,068
056	FAYETTE	37.93	22,923,589,677
057	FLOYD	35.58	6,963,410,859
058	FORSYTH	35.02	57,075,062,703
059	FRANKLIN	32.44	2,966,234,843
060	FULTON	35.45	140,040,305,185
061	GILMER	38.04	6,296,060,919
062	GLASCOCK	35.28	286,639,746
063	GLYNN	34.66	21,148,013,300
064	GORDON	33.68	3,849,552,459
065	GRADY	32.46	1,896,166,414
066	GREENE	36.02	7,485,250,314
067	GWINNETT	37.41	148,859,589,075
068	HABERSHAM	35.36	5,023,135,716
069	HALL	35.48	30,004,464,647
070	HANCOCK	32.80	1,095,612,805
071	HARALSON	33.04	2,129,126,321
072	HARRIS	38.98	4,321,145,766
073	HART	34.32	4,153,768,462
074	HEARD	39.16	1,223,493,172
075	HENRY	36.49	35,961,097,872
076	HOUSTON	34.73	15,284,221,573
077	IRWIN	36.58	682,138,695
078	JACKSON	31.96	10,086,392,249
079	JASPER	37.34	1,772,909,307
080	JEFF DAVIS	36.80	1,160,479,054
081	JEFFERSON	31.74	1,653,565,506

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
082	JENKINS	33.91	760,056,790
083	JOHNSON	39.50	468,651,945
084	JONES	32.90	2,312,057,958
085	LAMAR	36.37	1,951,040,831
086	LANIER	34.45	565,268,228
087	LAURENS	34.01	2,996,140,166
088	LEE	35.50	3,324,680,814
089	LIBERTY	35.18	5,388,226,123
090	LINCOLN	35.50	1,002,653,347
091	LONG	34.03	1,194,257,648
092	LOWNDES	36.14	5,517,500,036
093	LUMPKIN	34.12	4,308,341,779
094	MACON	35.10	1,175,577,949
095	MADISON	33.01	3,184,628,147
096	MARION	40.27	519,006,309
097	MCDUFFIE	35.74	2,160,387,355
098	MCINTOSH	36.02	1,708,643,562
099	MERIWETHER	38.00	1,779,183,689
100	MILLER	35.65	573,327,472
101	MITCHELL	38.71	1,609,169,120
102	MONROE	40.31	3,946,913,169
103	MONTGOMERY	38.54	523,296,596
104	MORGAN	31.81	3,821,507,555
105	MURRAY	37.09	3,799,643,862
106	MUSCOGEE	34.27	19,312,785,770
107	NEWTON	36.77	12,774,325,937
108	OCONEE	37.29	7,902,254,042
109	OGLETHORPE	31.67	1,700,390,673
110	PAULDING	35.87	22,075,110,975
111	PEACH	37.88	2,490,409,439

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
112	PICKENS	38.96	4,813,017,319
113	PIERCE	31.47	1,789,361,401
114	PIKE	29.63	2,284,428,733
115	POLK	31.19	3,864,151,060
116	PULASKI	31.64	822,088,813
117	PUTNAM	39.02	5,270,453,966
118	QUITMAN	41.83	215,768,923
119	RABUN	36.42	5,684,729,906
120	RANDOLPH	42.24	578,890,010
121	RICHMOND	35.07	20,227,629,293
122	ROCKDALE	33.70	12,529,320,216
123	SCHLEY	43.07	354,646,545
124	SCREVEN	35.78	1,276,214,356
125	SEMINOLE	39.56	867,848,505
126	SPALDING	35.73	6,606,124,410
127	STEPHENS	30.51	2,647,487,954
128	STEWART	34.89	496,774,333
129	SUMTER	34.64	2,149,794,839
130	TALBOT	38.04	672,134,310
131	TALIAFERRO	38.88	184,862,247
132	TATTNALL	33.06	1,471,388,473
133	TAYLOR	37.27	711,413,566
134	TELFAIR	38.18	863,874,771
135	TERRELL	34.64	902,308,906
136	THOMAS	37.35	2,720,417,844
137	TIFT	30.00	4,382,385,960
138	TOOMBS	38.07	1,325,619,358
139	TOWNS	37.06	3,211,484,832
140	TREUTLEN	40.39	327,094,483
141	TROUP	38.92	8,463,658,251

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
142	TURNER	31.88	699,315,356
143	TWIGGS	35.70	934,386,146
144	UNION	38.19	5,612,108,559
145	UPSON	33.88	2,386,599,578
146	WALKER	38.09	5,148,983,175
147	WALTON	38.33	11,969,321,962
148	WARE	38.24	2,687,148,509
149	WARREN	35.83	545,263,758
150	WASHINGTON	37.45	1,927,076,417
151	WAYNE	33.63	2,622,896,863
152	WEBSTER	36.26	267,801,993
153	WHEELER	34.08	422,531,420
154	WHITE	34.04	3,911,750,400
155	WHITFIELD	29.04	7,572,082,453
156	WILCOX	35.59	565,690,525
157	WILKES	33.63	1,159,095,212
158	WILKINSON	37.05	1,065,239,827
159	WORTH	32.68	1,613,641,652

2022 SALES RATIO STUDY

STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT

August 9, 2023

<u>CODE</u>	<u>SCHOOL DISTRICT</u>	<u>OVERALL RATIO</u>	<u>ADJUSTED 100% DIGEST</u>
200	ATLANTA (DEKALB)	36.66	8,228,355,277
201	ATLANTA (FULTON)	35.45	110,251,977,445
202	BREMEN (CARROLL)	36.11	101,227,781
203	BREMEN (HARALSON)	33.04	856,191,302
204	BUFORD (GWINNETT)	37.41	5,407,861,540
205	BUFORD - HALL	35.48	1,681,197,633
206	CALHOUN	33.68	3,866,703,194
207	CARROLLTON	36.11	3,724,813,280
208	CARTERSVILLE	34.25	4,553,331,945
209	CHICKAMAUGA	38.09	401,629,574
210	COMMERCE	31.96	1,278,354,331
211	DALTON	72.61	5,521,399,779
212	DECATUR	45.83	5,983,614,435
213	DUBLIN	34.01	2,014,024,643
214	GAINESVILLE	88.70	3,323,622,582
215	JEFFERSON	31.96	3,599,679,673
216	MARIETTA	36.01	12,226,372,931
217	PELHAM	38.71	140,060,967
218	ROME	35.58	4,437,538,450
219	SOCIAL CIRCLE (NEWTON)	36.77	4,145,793
220	SOCIAL CIRCLE (WALTON)	38.33	787,252,490
221	THOMASVILLE	37.35	2,273,267,058
222	TRION	29.04	209,760,650
223	VALDOSTA	36.14	5,140,983,197
224	VIDALIA (MONTGOMERY)	38.54	32,805,223
225	VIDALIA (TOOMBS)	38.07	1,170,929,584
SUB-TOTAL-CITIES			\$ 187,217,100,757
SUB-TOTAL-COUNTIES			1,433,126,783,452
100% STATE DIGEST			\$ 1,620,343,884,209



Administrative Services

August 29, 2023

Safety concerns at the Judicial Center

Department:	N/A
Presenter:	N/A
Caption:	Discuss enhance lighting improvement to address safety concerns at the Augusta Judicial Center. (Requested by Commissioner Wayne Guilfoyle)
Background:	N/A
Analysis:	N/A
Financial Impact:	N/A
Alternatives:	N/A
Recommendation:	N/A
Funds are available in the following accounts:	N/A
<u>REVIEWED AND APPROVED BY:</u>	N/A

Lena Bonner

From: Commissioner Wayne Guilfoyle
Sent: Wednesday, August 23, 2023 10:49 AM
To: Lena Bonner
Subject: Public Service Committee

Mrs. Bonner, can you add to Public Service Committee: Discuss lighting and at the Judicial Building for safety concerns. Also, can you ask the Honorable Danny Craig if he could be present for this matter?

Thank You, Wayne G.

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AED:104.1



Administrative Services Committee

August 29, 2023

Minutes

- Department:** N/A
- Presenter:** N/A
- Caption:** Motion to approve the minutes of the Administrative Services Committee held on August 8, 2023.
- Background:** N/A
- Analysis:** N/A
- Financial Impact:** N/A
- Alternatives:** N/A
- Recommendation:** N/A
- Funds are available in the following accounts:** N/A
- REVIEWED AND APPROVED BY:** N/A



ADMINISTRATIVE SERVICES COMMITTEE MEETING MINUTES
 Commission Chamber
 Tuesday, August 08, 2023
 1:20 PM

ADMINISTRATIVE SERVICES

PRESENT

Mayor Garnett Johnson
 Commissioner Tony Lewis
 Commissioner Sean Frantom
 Commissioner Jordan Johnson

ABSENT

Commissioner Francine Scott

1. Motion to approve the minutes of the Administrative Services Committee held on July 11, 2023.

Motion to approve.

Motion made by Frantom, Seconded by Johnson.

Voting Yea: Lewis, Frantom, Johnson

Motion carries 3-0.

2. Motion to **approve** RFP 23-850 Professional Services for Executive Recruiting Services to Developmental Associates, LLC in the amount of \$31,750.

Motion to refer this item to the next Commission meeting on August 15.

Motion made by Johnson, Seconded by Frantom.

Voting Yea: Lewis, Frantom, Johnson

Motion carries 3-0.

3. Motion to approve the lease between Augusta, Georgia and the Downtown Development Authority of Augusta-Richmond County for property located at 600 Broad Street.

Motion to approve.

Motion made by Frantom, Seconded by Johnson.

Voting Yea: Lewis, Frantom, Johnson

Motion carries 3-0.

4. Receive as information a presentation by the Downtown Development Authority.

It was the consensus of the committee that this item be received as information without objection.

- 5. Motion to approve Housing and Community Development Department's (HCD's) request to enter into agreement for Consultant Services with Point To Point Environmental for the Acquisition of one (1) Historic property located at 2403 Mount Auburn Street.

Motion to approve.

Motion made by Frantom, Seconded by Johnson.
Voting Yea: Lewis, Frantom, Johnson

Motion carries 3-0.

- 6. Motion to approve HCD's request to enter into a service agreement with The Environmental Institute for one (1) Instructor to administer a Lead Worker and Renovation, Repair, and Paint (RRP) course.

Motion to approve.

Motion made by Frantom, Seconded by Johnson.
Voting Yea: Lewis, Frantom, Johnson

Motion carries 3-0.

- 7. Discuss the adoption of an Environmental Justice Ordinance. **(Referred from the August 1, 2023 Commission Meeting)**

Motion to approve tasking Legal to draft an ordinance to be reviewed after all of the town hall meetings have concluded with the community.

Motion dies for lack of a second.

Motion to approve tasking the Administrator with scheduling a work session to explore the creation of an environmental justice ordinance with necessary staff and associated parties participating and to bring back a report at the second committee meeting in September.

Motion made by Frantom, Seconded by Johnson.
Voting Yea: Lewis, Frantom, Johnson. Motion carries 3-0.



Finance Committee

Meeting Date: August 29, 2023

AO CNI Org

- Department:** Administrator’s Office
- Presenter:** Takiyah A. Douse, Interim Administrator
- Caption:** Discuss the organizational structure of the Choice Neighborhoods Initiative.
- Background:**
- Analysis:**
- Financial Impact:**
- Alternatives:**
- Recommendation:**
- Funds are available in the following accounts:**
- REVIEWED AND APPROVED BY:**

**Office of the Administrator****Odie Donald, II
Administrator**

July 2, 2021

Mr. Jacob Oblesby, Executive Director
The Augusta Housing Authority
1435 Walton Way
Augusta, GA 30901

Dear Mr. Oglesby:

At the Commission meeting held Thursday, July 1, 2021, the Augusta, Georgia Commission took action on the following:

- * 11. Approved the Choice Neighborhoods Application Certifications - Planning Grants and MOU. Augusta as the lead applicant is required to execute attached documents and include them as a part of the full submission due July 9, 2021.

If you have any questions, please contact me.

In Service,

A handwritten signature in blue ink, appearing to be "Odie Donald, II", written over the typed name.

Odie Donald, II
Administrator

Cc: Ian Mercier, MCG Foundation
Shawn Edwards, Augusta Land Bank Authority



Office of the City Administrator

**Odie Donald, II MBA
Administrator**

January 18, 2022

Mr. Hawthorne Welcher
Housing Community & Development Director
510 Fenwick Street
Augusta, GA 30901

Dear Director Welcher:

At the regular meeting Tuesday, January 18, 2022, The Augusta, Georgia Commission took action on the following:

7. Approved a motion to accept the 2021 CDBG COVID grant from the GA DCA and authorize the Mayor to execute the grant award and required documents. (Approved by Administrative Services Committee January 11, 2022)
- * 9. Approved a motion to approve Augusta, Georgia's receipt of FY2021 Choice Neighborhoods Planning Grant, to include: a) accept FY2021 Choice Neighborhoods Planning Grant; b) authorize a Commission Resolution authorizing the Lead Grantee (Augusta, Georgia's) Chief Executive Officer to sign the HUD form-1044; c) provide Mayor authorization to sign Grant Agreement and related documents d) allow City Administrator to move forward with implementation of recommended usage plan; and e) instruct Finance Department to make necessary budget adjustments to add available funding to FY2022 Budget for immediate use and implementation. (Approved by Administrative Services Committee January 11, 2022)

If you have any questions, please contact me.

In Service,


Odie Donald, II
Administrator

**Office of the Administrator**

Odie Donald, II
Administrator

February 15, 2022

Mr. Jacob Oglesby, Executive Director
The Augusta Housing Authority
1435 Walton Way
Augusta, GA 30901

Dear Mr. Oglesby:

At the Commission meeting held Tuesday, February 15, 2022, the Augusta, Georgia Commission took action on the following:

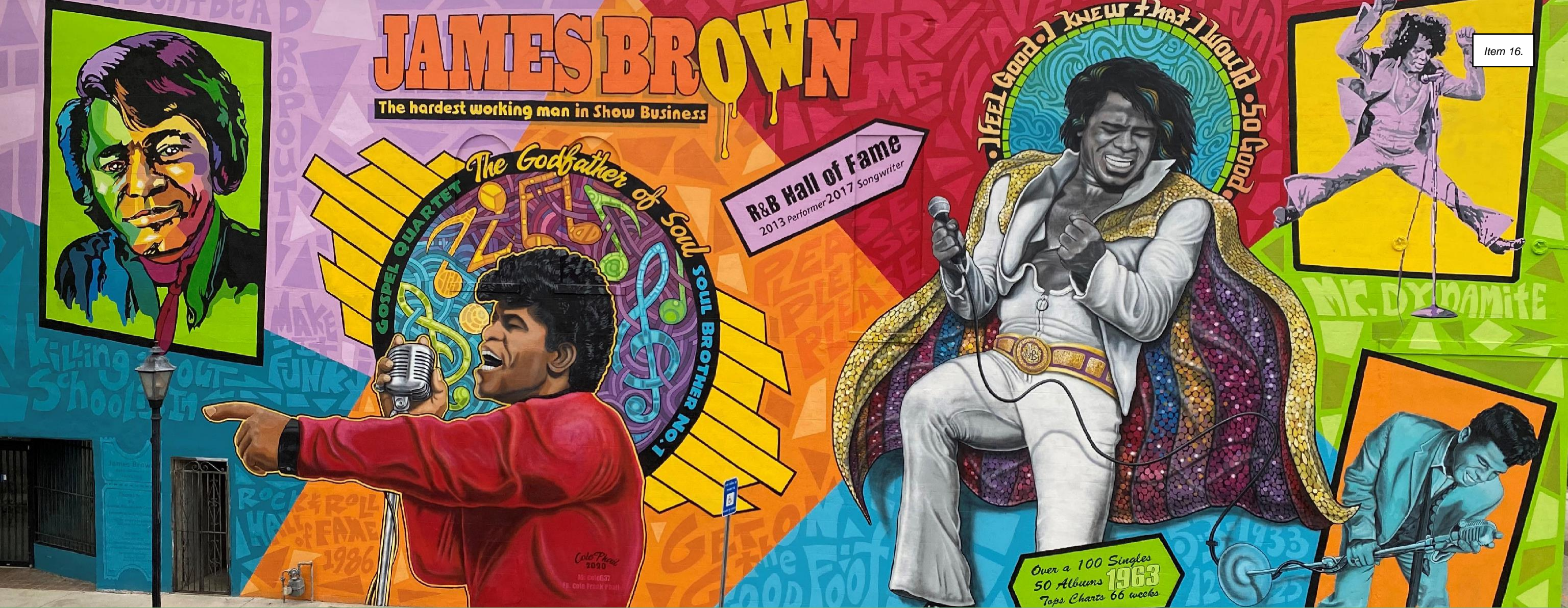
- ✦ 8. Motion to approve the contract for signature for the Choice Neighborhood Planning consultant previously approved by Commission in RFP #21-295 that was awarded to WRT Consulting per correspondence from Procurement dated July 7, 2021. (Approved by Administrative Services Committee February 8, 2022)

If you have any questions, please contact me.

In Service,



Odie Donald, II
Administrator



Laney-Walker

Harrisburg

AUGUSTA'S CHOICE



Agenda

- 1 What is the Choice Neighborhoods Initiative?
- 2 Project Timeline
- 3 Project Update

WHAT IS CNI?

...look at what some other cities have done.

MARSHALL-RIDLEY CHOICE NEIGHBORHOOD PLAN [UNIVERSITY HEIGHTS, IL]

ABOUT:

The Marshall-Ridley Opportunity Center includes a woodshop, music studio, art gallery, and job training facility that will be above several floors of office space.

WHAT IS IMPORTANT ABOUT IT?

...

WHAT DID IT ACHIEVE?

...



SHARSWOOD-BLUMBERG CHOICE NEIGHBORHOOD PLAN [UNIVERSITY HEIGHTS, IL]

ABOUT:

200 Choice Neighborhood Planning Grant 2020 Implementation Grant

The Choice Neighborhood is a historic Preservation level suburban-style block with a mix of new and old, and a mix of apartment units, row houses, and townhomes. The historic Blumberg Apartment building which were widely across the city with a mix of row houses and townhomes.

WHAT IS IMPORTANT ABOUT IT?

Today the neighborhood is undergoing significant transformation. The planning process included an affordable housing plan that provided Community Leadership Training to residents to help them secure the property, and become owners of the property through implementation. To address preservation and prevent displacement, programs are in place with affordable housing and existing residents, including the Rental and Ownership Programs to allow residents to stay in their homes under improved conditions.

WHAT DID IT ACHIEVE?

Continuation is a key element of 2020 the revitalization efforts, including affordable and market-rate units. The historic building is being renovated to support the new affordable units. The historic building has been transformed into a new style and the historic building has a modern apartment units with a mix of row houses and townhomes.

IMPACT STORY 1

Blumberg residents wanted to see a historic building transformed into a vibrant, multi-story mixed-use building. The building is being renovated to support the new affordable units. The historic building has been transformed into a new style and the historic building has a modern apartment units with a mix of row houses and townhomes.



BE INSPIRED!

Take a look at what some other cities have done.

UNIVERSITY CHOICE NEIGHBORHOOD PLAN [UNIVERSITY HEIGHTS, IL]

ABOUT:

...

WHAT IS IMPORTANT ABOUT IT?

...

WHAT DID IT ACHIEVE?

...



ABOUT THE CHOICE NEIGHBORHOODS INITIATIVE.

Sponsored by the Department of Housing & Urban Development (HUD), this program supports neighborhood revitalization that is centered around a public housing site, Allen Homes, in need of renovation.

- + Through this initiative, the City of Augusta and Augusta Housing Authority received a 2-year planning grant.
- + The goal of the planning process is to **bring Allen Homes residents and residents of the larger community together with local partners to create a shared vision for the future of the neighborhood.**
- + The initiative aims to rebuild neighborhoods by focusing on 3 areas: **Housing, People, Neighborhood.**



HOUSING

Replacing distressed public and assisted housing (Allen Homes) with high-quality mixed-income housing that is well-managed and responsive to the needs of the surrounding neighborhood.



PEOPLE

Improving the lives of households living in Allen Homes with regard to employment and income, health, and children's education.



NEIGHBORHOOD

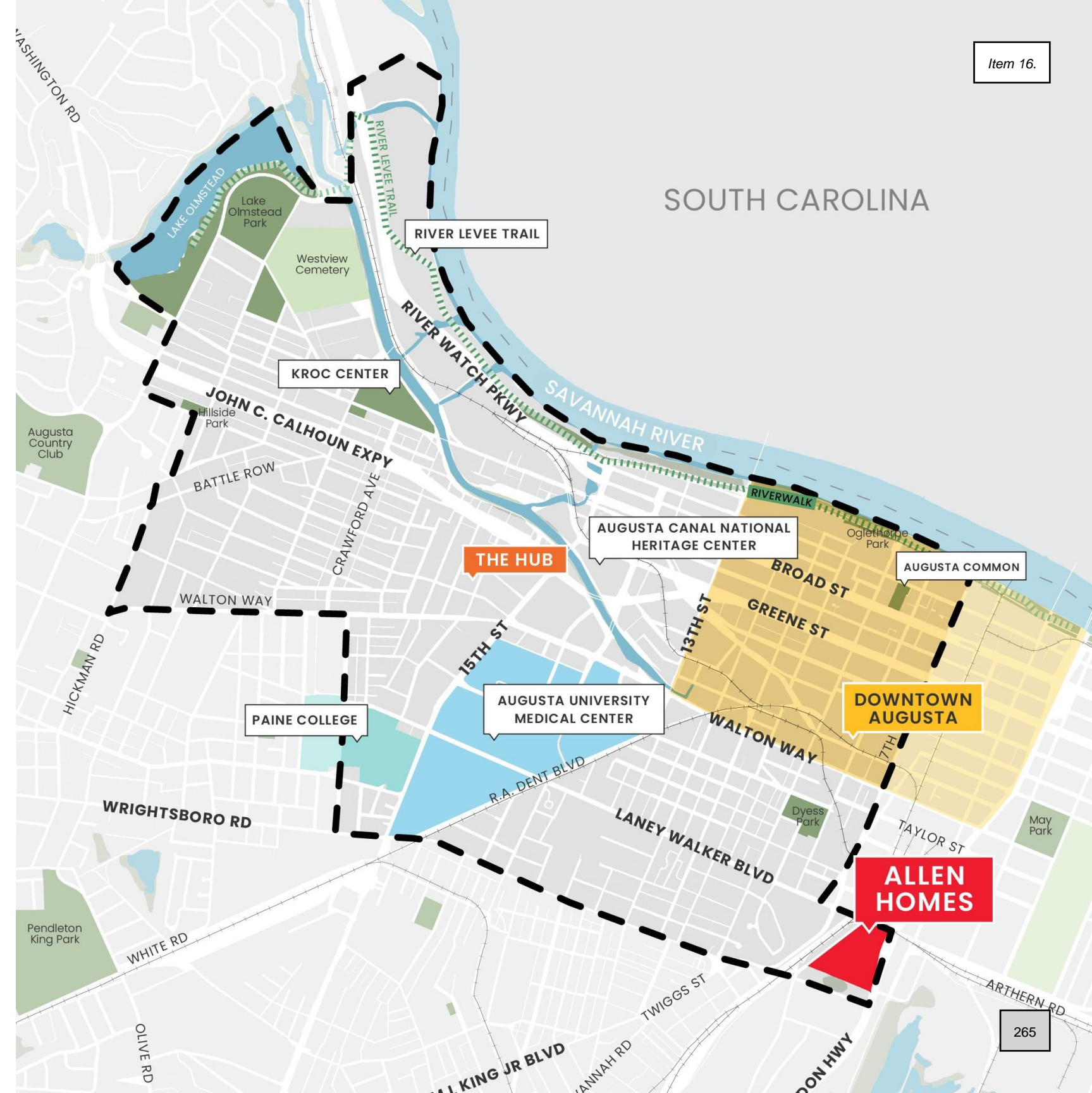
Improving conditions and access through public and private investment to amenities and services such as good schools, grocery stores, banks, barbers, public transportation, parks, and safety.

AUGUSTA'S CHOICE NEIGHBORHOOD.

Our neighborhood covers historic Laney Walker and Harrisburg, the Medical Campus, and Downtown.

There are several significant assets to build on (history, art, river, canal) as well as restaurants and stores, schools, medical services, and public transit.

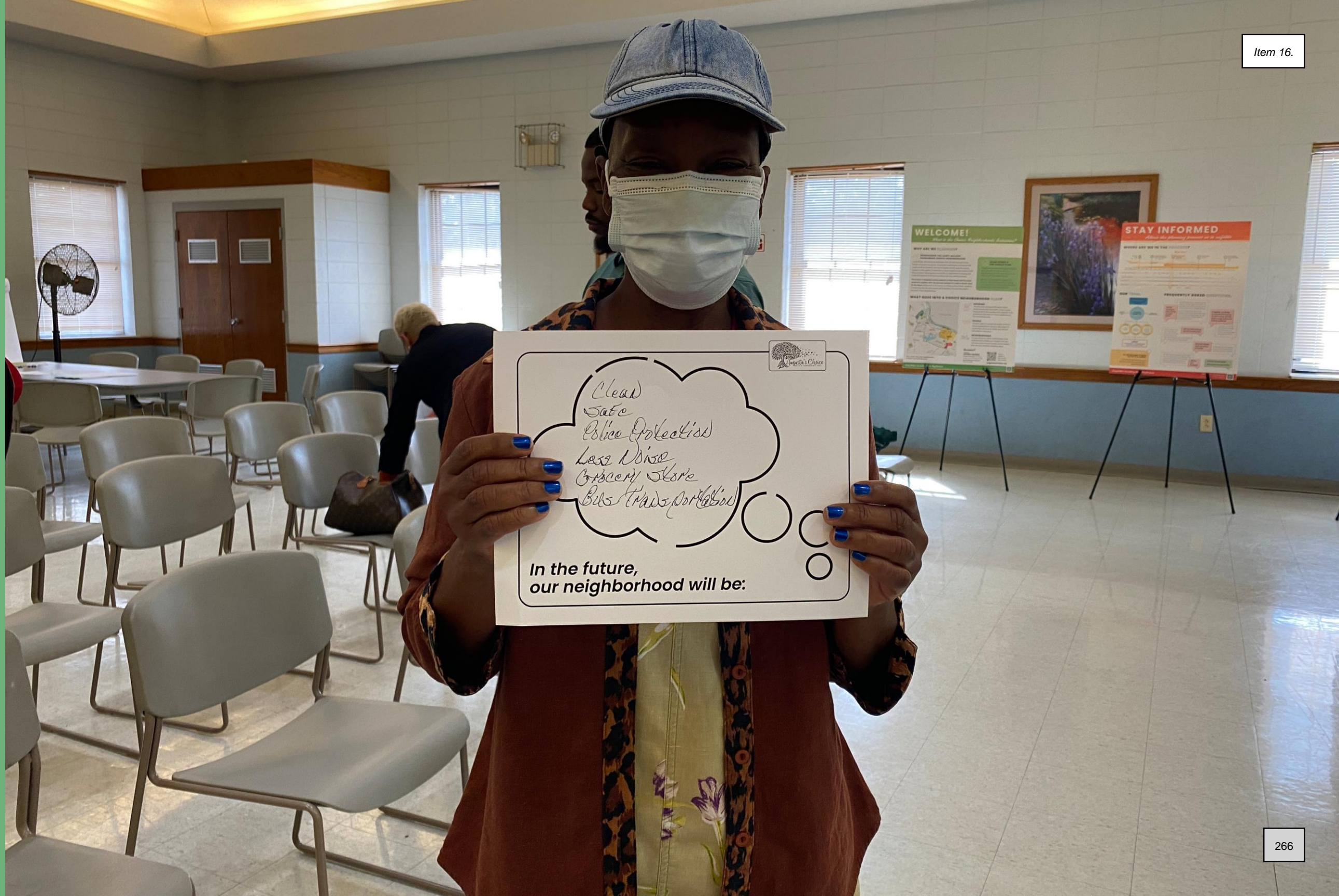
A main focus of the plan exploring ways to improve the quality of life for Allen Homes residents.



0

2

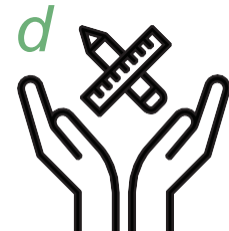
PROJECT
TIMELINE



MAJOR DELIVERABLES.

Complete

Upcoming



HUD SITE VISIT

NEEDS ASSESSMENT

OUTLINE WITH CONTENT

DRAFT PLAN

FINAL PLAN

Mar 10 + 11, 2022

July - Aug 2022

Nov 22, 2022

May 22, 2023

Nov 22, 2023

A 2-day virtual event to introduce the “plan for the plan,” to HUD. The event included key partners, their roles, and details of the process.

A comprehensive assessment of Allen Homes residents was required by HUD, and a neighborhood survey was elected. The findings helped identify issues & create a baseline for the plan strategies and metrics to measure progress.

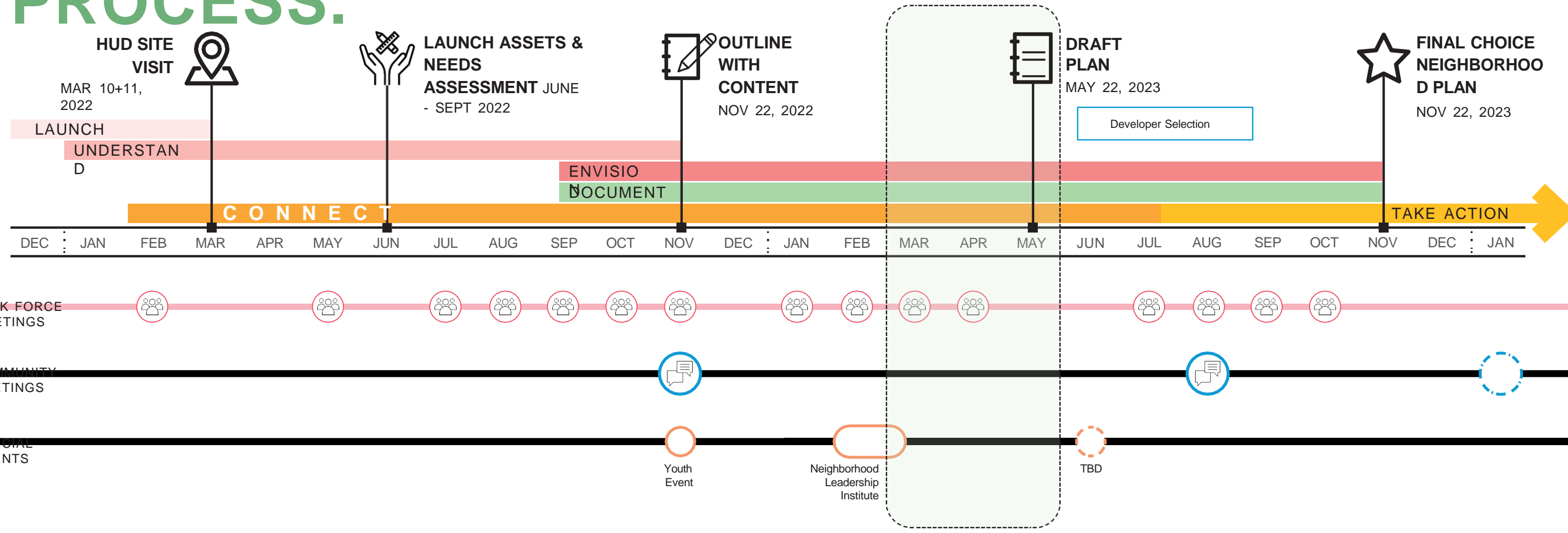
Heard from **66% of Allen Homes residents** and **4.7% of neighborhood residents.** *exceeded our goal*

This document outlined the plan with a summary of existing conditions, findings from the Needs Assessment, and a vision for transformation describing a preliminary set of goals and strategies. The final document submitted to HUD is available on the website: AugustasChoice.org

The Draft Plan builds on the Outline with Content with goals and strategies that have been prioritized and refined, and conceptual graphics illustrating the vision.

The Final Plan offers a clear step by step roadmap for neighborhood revitalization with timelines, responsible parties, and metrics to track progress.

WHERE WE ARE IN THE PROCESS.



WE ARE AT A CRITICAL POINT

to receive direction on what this plan should be striving to achieve

PROJECT 30 UPDATES



HOUSING OBJECTIVES.



The Housing Plan focuses on transforming housing so that it is:

+ **Well-Managed and Financially Viable:**

Developments resulting from CNI will have budgeted appropriately for the rental income that can be generated from the project and meet or exceed industry standards for quality management and maintenance of the property.

+ **Mixed-Income:** Housing will be affordable to families and individuals with a broad range of incomes including low-income, moderate-income, and market rate or unrestricted.

+ **Energy Efficient, Climate Resistant, and Sustainable:**

Housing will have low per unit energy and water consumption and be built to be resistant to local disaster risk.

+ **Accessible, Healthy, and Free from Discrimination:**

Housing will be well-designed, meet the requirements of accessible design and embrace concepts of visitability and universal design. It will also have healthy indoor air quality, affordable broadband Internet access, and be free from discrimination.

As part of the final plan, we are expected to develop performance metrics based on these objectives and a plan for implementation

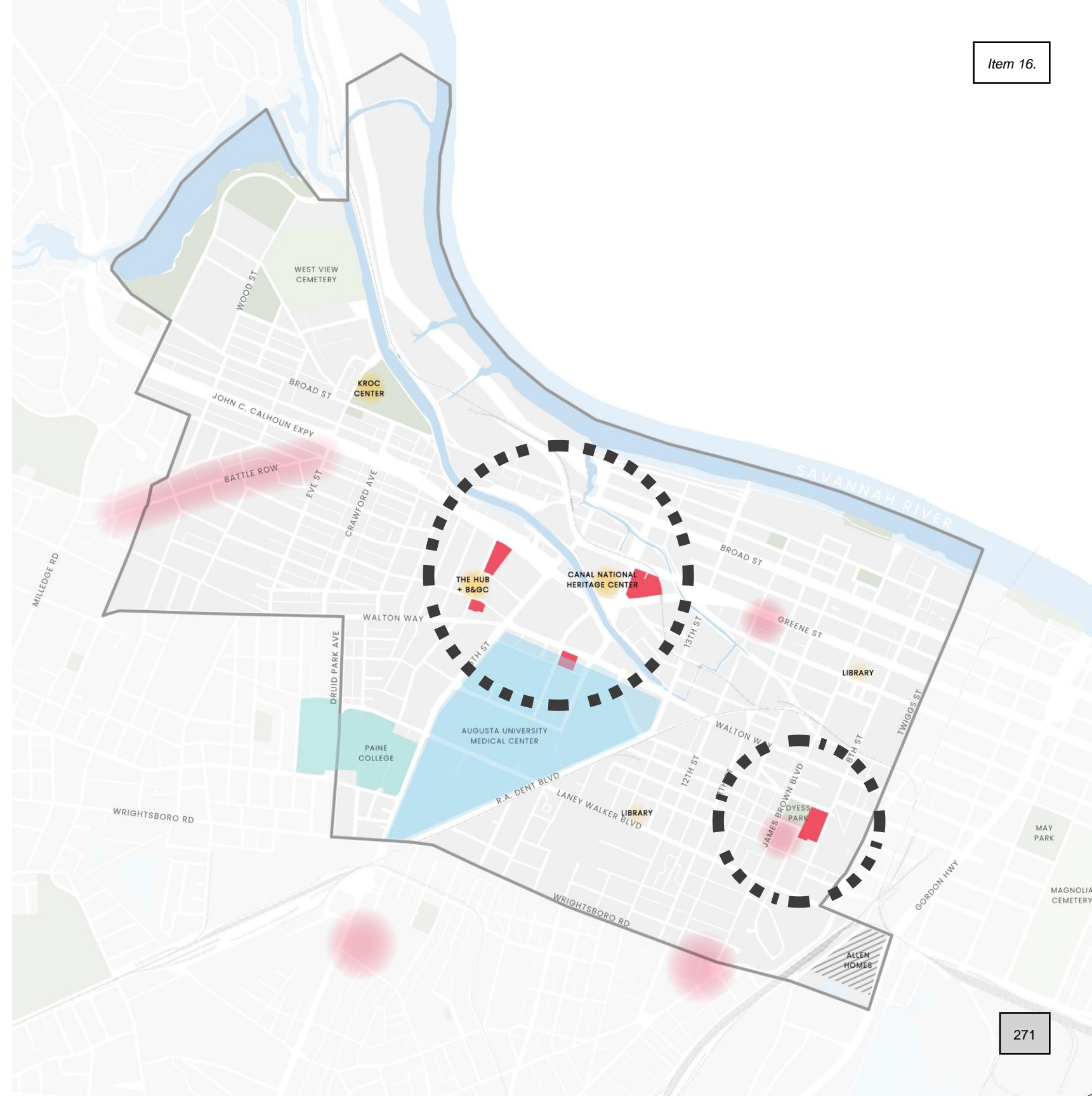
HOUSING WHERE WE ARE.

Identifying core areas to focus investments

Clustering development and investments will create a larger positive impact in both neighborhoods.

Identified two core areas within the choice boundary:

- + Dyess Park + Canal Trailhead
- + The HUB, Walton Way + Canal



NEIGHBORHOOD OBJECTIVES.



The overarching goal is to **enhance the quality and accessibility of amenities and assets** that are important to people in choosing where to live.

+ **Private and Public Investment in the**

Neighborhood: Catalyzing investment so that neighboring housing has a very low vacancy/ abandonment rate, the housing inventory is of high quality, and the neighborhood is mixed income and maintains a mixture of incomes over time.

+ **Amenities:** Basic services are located in or nearby the neighborhood. These include grocery stores, banks, health clinics and dentist offices, public transit, and high-quality early learning programs and services.

+ **Effective Public Schools:** Public schools in the target neighborhood are safe and welcoming places. In addition, schools have test scores that are as good as or better than the state average.

(Note: generally, enhancing programs and services related to improving children’s educational performance falls under the People Plan).

+ **Safety:** Residents are living in a safer environment as evidenced by the revitalized neighborhood having significantly lower crime rates than the neighborhood had prior to redevelopment and maintaining a lower crime rate over time.

As part of the final plan, we are expected to develop performance metrics based on these objectives and a plan for implementation

NEIGHBORHOOD WHAT WE NEED.

GUIDANCE ON THE CITY'S OVERALL VISION AND PRIORITY


- + The neighborhood plan strategies should support citywide efforts
- + What does the future of Augusta look like?
- + What should this plan focus on?
 - + *For example - parks / open space network, improved streetscapes, recreational amenities, development and activity around the canal / canal trail, improving public transit access and mobility?*

NOTE: neighborhood investments should relate to the housing site locations






QUESTIONS FROM SPRING 2023

ENGAGEMENT:






Throughout the neighborhood, **WHAT WOULD MAKE YOU FEEL SAFER / HAVE A POSITIVE IMPACT?**

					Something else?
Youth + Police Athletic League	Monthly Meetings with the Sheriff	Neighborhood Watch	Vacant Lot Clean Green	Better Lighting &	

HOW WOULD YOU LIKE TO USE THE

					Something else?
For Recreation <i>(walking, biking, enjoying outdoors)</i>	As a Connector to Other Destinations	As a Destination <i>(with shops, food, park spaces)</i>	As a Historical / Cultural Trail	As an Exercise / Wellness Loop	

WHAT IMPROVEMENTS DO YOU WANT TO SEE ON CORRIDORS *(Walton Way, Laney Walker Blvd, 15th St)?*

					Something else?
Banners, Signage, Wayfinding	Bike Lanes	Street Furniture <i>(benches, trash cans)</i>	Enhanced Sidewalks + Crosswalks	Enhanced Bus Stops <i>(benches, shelters/shade)</i>	

PEOPLE OBJECTIVES.



The People Plan aims to **improve the lives of people** who **live in the neighborhood**, with a primary focus on residents of **Allen Homes**.

- + **Focus on:** education for children, employment and income, health and wellness, and youth.
- + **Effective Education:** A high level of resident access to high-quality early learning programs and services so children enter kindergarten ready to learn and quality schools and/or educational supports that ultimately prepare students to graduate from high school college- and/or career-ready.
- + **Employment Opportunities:** The income of residents of the target housing development, particularly wage income for non-elderly/non-disabled adult residents, increases over time.
- + **Quality Health Care:** Residents have increased access to health services and have improved physical and mental health over time.

As part of the final plan, we are expected to develop performance metrics based on these objectives and a plan for implementation

PEOPLE WHAT WE NEED.

COMMUNITY AND RESIDENT ENGAGEMENT

- + The People Task Force includes many local organizations and service providers who are dedicated to improving lives, but need resident input and guidance around the specific barriers and challenges they are facing.



EARLY ACTION ACTIVITIES.

“DOING WHILE PLANNING”

EAs are designed to respond to issues and show physical neighborhood improvements during the planning phase that demonstrate the commitment to change and generate build momentum.

EDIBLE GARDENS

- + To address food access, vacancy, neighborhood fabric, and digital divide.
- + The committee is exploring ways to include free public WiFi, public art (generated with the community), shade, and urban agriculture education.
- + Three locations in the neighborhood: Allen Homes, Mother Trinity Church, and a yet to be confirmed Harrisburg site.



\$100,000 of the grant funding + additional \$30,000 leveraged funds are earmarked for the Early Action Activities.

Questions?



AugustasChoice.org



FOR IMMEDIATE RELEASE

From the Office of Mayor Garnett L. Johnson

Office of Mayor Garnett L. Johnson offers an update on the Choice Neighborhoods Initiative

CONTACT: Brennan Meagher, 706-993-7961, bmeagher@augustaga.gov

AUGUSTA, GA (August 4, 2023) – The Office of Mayor Garnett L. Johnson is providing the following update regarding the Choice Neighborhoods Planning Grant. As we prepare to make our final submission for the Choice Neighborhoods plan in November and move forward to pursue the implementation phase of the process, we are realigning the team to include the Office of Mayor Garnett L. Johnson, the Department of Housing and Community Development, the Augusta Housing Authority, the Department of Planning and Development, and our community partners.

“This comes at a pivotal time in our community as many residents navigate a difficult housing market,” said Mayor Garnett L. Johnson. “The Choice Neighborhoods Initiative will enable us to create affordable, sustainable housing while honoring the rich history and culture of our city and its neighborhoods.”

In 2021, HUD selected the City of Augusta to receive a \$450,000 Choice Neighborhoods Planning Grant. This federal funding was for a two-year planning grant aimed at supporting the development of comprehensive neighborhood revitalization plans, which focus on directing resources to address housing, people, and neighborhoods.

“As we conclude our planning efforts, I’m excited to prepare to submit the implementation grant,” Johnson said. “This grant has the potential to impact so many members of our community.”

Media interested in covering this topic should contact Brennan Meagher at bmeagher@augustaga.gov or 706-993-7961.

###



Administrative Services

August 29, 2023

311 Department

Department:	N/A
Presenter:	N/A
Caption:	Receive a report from the Administrator’s Office regarding the current state of ARC 311 Department e.g.-call/email volume, job vacancies and the standard turnaround time given to departments/department heads to respond to 311 requests. (Requested by Commissioner Stacy Pulliam)
Background:	N/A
Analysis:	N/A
Financial Impact:	N/A
Alternatives:	N/A
Recommendation:	N/A
Funds are available in the following accounts:	N/A
<u>REVIEWED AND APPROVED BY:</u>	N/A

Lena Bonner

From: Commissioner Stacy Pulliam
Sent: Thursday, August 24, 2023 8:47 AM
To: Lena Bonner
Cc: Natasha L. McFarley
Subject: 311

Great Morning 😊

Ms. Bonner will you add the following to the appropriate committee agenda-

Receive a report from the Administrator's office regarding the current state of our 311 department
-call/email volume
-job vacancies
Etc.

What is the standard turnaround time given to department/department heads to respond to 311 request?

Stacy A. Pulliam

Augusta Commission, District 2

(762)328-8256 Mobile



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AED:104.1