

**COMMISSION MEETING AGENDA** 

Commission Chamber Tuesday, September 05, 2023 2:00 PM

### **INVOCATION**

Reverend Chris Leslie, Walnut Grove Baptist Church.

# PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA <u>DELEGATION(S)</u>

A. Ms. Nike Meyer regarding Instant Runoff Voting

### **CONSENT AGENDA**

(*Items 1-32*)

### **PUBLIC SERVICES**

- 1. Motion to approve New Ownership: A.N. 23-33: A request by Kourtney Patel for a retail package Liquor, Beer, & Wine License to be used in connection with Stevens Creek Wine & Spirits located at 1061 Stevens Creek Road. District 7. Super District 10. (Approved by Public Services Committee August 29, 2023)
- 2. Motion to approve Address Change Only: A request by Leonard Thomas Silas for a change of address for RTS- Restorative Therapy Solutions from 1219 West Wheeler Pkwy. to 149 Davis Road. District 7 Super District 10. (Approved by Public Services Committee August 29, 2023)
- 3. Motion to approve scheduling a work session to discuss the matter of transient occupant confusion within the next 45 days with the inclusion of Ms. Blake, representatives from Housing & Community Development, the Administrator's Office, Sheriff's Office, Marshal's Office, Planning & Development, Destination Augusta and the hoteliers in the work session. (Approved by Public Services Committee August 31, 2023)
- 4. Motion approve schedule a work session on this matter (panhandling ordinance for Augusta) within the next 60 days before drafting a panhandling ordinance. (Approved by Public Services Committee August 29, 2023)
- 5. Motion to **receive** a donation from the Trust of Oakland Park., (**Approved by Public Services** Committee August 29, 2023)
- 6. Motion to allow the Augusta Aviation Commission and its representatives to work with the Augusta Law Department on an amendment to the CFC Ordinance. (Approved by the Augusta Aviation Commission on July 27, 2023 and Public Services Committee August 29, 2023).

- Motion to approve bid award contract for RFQ# 23-153 ARTS Freight Plan Update to Metro Analytics. (Approved by Public Services Committee August 29, 2023)
- 8. Motion to **approve** tasking the Administrator's Office to work with Planning & Development to streamline the ordinance regarding mobile truck service with the use of readily identifiable decals for the vendors. (**Approved by Public Services Committee August 29, 2023**)

# **ADMINISTRATIVE SERVICES**

- 9. Motion to approve the Rightsizing Plan as presented. (Approved by Administrative Services August 29 2023)
- 10. Motion to approve utilizing state contract (#SWC 99999-SPD-ES40199373-002) for the purchase of nineteen Ford F150s, at a total cost of \$818,612 from Allan Vigil Ford for various departments. (Approved by Administrative Services August 29 2023)
- 11. Motion to approve quantity one (1) Healthy Homes Project located at 2363 Mt. Auburn Street. (Approved by Administrative Services Committee August 29, 2023)
- 12. Motion to approve Housing and Community Development Department's (HCD's) request to provide Laney Walker/Bethlehem Revitalization Funding to contract with Capitalrise, LLC to develop new construction of two (2) single family units, identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.(Approved by Administrative Services Committee August 29, 2023)
- 13. Motion to approve Housing and Community Development Department's (HCD's) request to approve the addendum engagement agreement with Cherry Bekaert to continue to provide grant management assistance to the Housing and Community Development Department. (23-501C)(Approved by Administrative Services Committee August 29, 2023)
- 14. Motion to approve request from the Central Services Department, bid #23-130, Vernon Forest Park Restroom Permit Plan in the amount of \$28,500.00 to be performed by Johnson, Laschober & Associates, P.C.(Approved by Administrative Services Committee August 29, 2023)
- 15. Motion to **approve** the award of bid #23-177, Augusta Print Shop Structural Retrofit in the amount of \$93,450.00 to be performed by Contract Management, Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final amount with contingency is \$121,485.00.(Approved by Administrative Services Committee August 29, 2023)
- 16. Motion to approve tasking the Administrator with compiling a consolidated listing of grants for commissioners. (Approved by Administrative Services Committee August 29, 2023)
- 17. Motion to approve a request that the Augusta-Richmond County Board of Commissioners instruct the Board of Assessors, Chief Appraiser and/or their designee to appeal the 2022 Georgia Department of Audits and Accounts (DOAA) Sales Ratio Study, and to 'to refer the question of correctness of the current (2022) equalized adjusted property tax digest of the local school system to the state auditor' as permitted by Georgia Code 48-5-274, and to authorize the Board of Assessors, Chief Appraiser, and/or their designee to act on behalf of Augusta-Richmond County in any related hearings. (Approved by Administrative Services Committee August 29, 2023)

### **ENGINEERING SERVICES**

18. Motion to approve funding in the amount of \$1,283,905.00 for Atlas Technical Consultants LLC (Atlas) Supplemental Agreement #1 for Task Order Two (TO2) for Willis Foreman Road

- Improvements Project Right of Way Acquisition under On-Call Property Appraisal and Acquisition for Augusta Engineering contract. Requested by Engineering. RFP 22-147 23ENG146(Approved by Engineering Services Committee August 29, 2023)
- Motion to authorize and approve construction of street lights for Windsor Spring Road Corridor between Meadowbrook Dr. & Crosscreek Rd. Also, approve and authorize allocating \$600,000 from Street Lighting Program ARPA designated funds to the streetlights construction. (Approved by Engineering Services Committee August 29, 2023)
- 20. Motion to approve proposal from Cranston Engineering Group, P.C. to provide additional engineering services to the sewer design for the Augusta Corporate Park Utility Extension. (Approved by Engineering Services Committee August 29, 2023)
- 21. Motion to **approve** a professional services contract with Ardurra Group for the Hicks Water Treatment Plant Filter 4 Rehabilitation project (RFQ18-132). (**Approved by Engineering Services Committee August 29, 2023**)
- 22. Motion to **approve** sole source contract with Kleinschmidt Associates to provide the Federal Energy Regulatory Commission's mandated Part 12D Independent Consultant Safety Inspection of the Augusta Canal in the amount of \$85,000.(**Approved by Engineering Services Committee August 29, 2023**)

### **FINANCE**

- 23. Motion to approve funding for the November 7, 2023 .05% sales and use tax for the James Brown arena. (Approved by Finance Committee August 29, 2023)
- 24. Motion to approve to refer to the Administrator as a funding priority for inclusion in the upcoming budget discussions the hiring of Post Certified guards for prison work crews.
  (Approved by Finance Committee August 29, 2023)
- 25. Motion to approve funding in the amount of \$310,000.00 from Contingency Fund as an emergency procurement for the replacement of locks and hinges a the Jail and to defer to the Administrator to come back with recommendation on funding for the new Jail pod.(Approved by Finance Services Committee August 29, 2023)
- 26. Motion to approve funding in the amount of \$30,000 for the shortfall for the 2023 Arts in the Heart Festival funded from Contingency Fund. (Approved by the Finance Committee August 29, 2023)
- 27. Motion to adopt updated funding timeline to reflect increased collection rate of SPLOST 8. (Approved by Finance Committee August 29, 2023).
- 28. Motion to approve resolution authorizing proceeding with the issuance by Augusta, Georgia of its water and sewerage revenue bonds in order (A) to finance in whole or in part, the cost of certain improvements to the water and sewerage system of Augusta, Georgia and (B) if economically feasible to refund outstanding debt of Augusta, Georgia relating to the water and sewerage system; to declare the intent of Augusta Georgia to reimburse itself with a portion of the proceeds of such bonds for expenditures made in connection with such improvements; and for other related purposes.(Approved by Finance Committee August 29, 2023)

### PETITIONS AND COMMUNICATIONS

29. Motion to **approve** the minutes of the Commission regular meeting held **August 15, 2023** and the Special Called Meeting held August 29, 2023.

- 30. Motion to ratify the commission's consensus to reschedule the following planning petitions from the September 5, 2023 meeting to September 19, 2023:
  - **Z-23-37** A request for concurrence with the Augusta Planning Commission to approve with the conditions petition by Drayton Parker Companies on behalf of DOC MOB Augusta III, LLC requesting a rezoning from zone **A** (**Agricultural**) and **B-1** (**Neighborhood Business**) to zone **B-2** (**General Business**) affecting property containing approximately 2.54 acres located at **3645**-Wheeler Road. Tax Map #030-0-244-00-0. **DISTRICT 3**
  - **Z-23-38** A request for concurrence with the Augusta Planning Commission to **approve** with the conditions a petition by Drayton Parker Companies on behalf of COLCO Solutions LLC requesting a rezoning from **zone B-1** (**Neighborhood Business**) **to zone B-2** (**General Business**) affecting property containing approximately 5.66 acres located at **1924 Barton Chapel Road**. Tax Map #068-0-007-00-0. **DISTRICT 5**

## APPOINTMENT(S)

- 31. Motion to **approve** the appointment of Mr. Marshall McKnight to Augusta Aviation Commission to fill the unexpired term of Mr. Mason McKnight, IV representing District 3.
- 32. Motion to **approve** the appointment of Mr. Tyler Snead to the Augusta Housing & Community Development Citizens Advisory Committee representing **Super District 10.**

# \*\*\*\*END CONSENT AGENDA\*\*\*\* AUGUSTA COMMISSION

# AUGUSTA COMMISSION REGULAR AGENDA

(Items 33-37)

### **ADMINISTRATIVE SERVICES**

- 33. Resolution by Augusta Richmond County Commission Approving the Issuance of Revenue Bonds by Development Authority of Augusta, Georgia for the benefit of AU Jaguar Facilities Development, LLC to Construct a Parking Deck.
- 34. Motion to **ratify** the submission of the GICH application, on behalf of Augusta, by the Housing and Community Development Department.

### **FINANCE**

35. Discuss requesting each department within the Augusta-Richmond County Consolidated Government model a 5% & 10% budget cut; to include the general and expenditure funding accounts. (Requested by Mayor Garnett L. Johnson) (No recommendation from Finance Committee August 29,2023)

# **PUBLIC SAFETY**

36. Motion to approve Amendment #1 to RFP 18-149 EMS Ambulance Billing Contract to extend terms and to authorize the mayor to execute all appropriate documents. (Requested by the

# Administrator- referred from the August 1, 2023 commission meeting - referred from August 8 Public Safety Committee)

# **LEGAL MEETING**

- A. Pending and Potential Litigation
- **B.** Real Estate
- C. Personnel
- 37. Motion to authorize execution by the Mayor of the affidavit of compliance with Georgia's Open Meeting Act.



# **Commission Meeting**

September 5, 2023

# Delegation

**Department:** N/A

**Presenter:** N/A

Caption: Ms. Nike Meyer regarding Instant Runoff Voting

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** N/A

**APPROVED BY:** 



# **Commission Meeting**

September 5, 2023

Alcohol Application

**Department:** Planning & Development Department

**Presenter:** Julietta H. Walton, Business License & Customer Service Manager

Caption: Motion to approve New Ownership: A.N. 23-33: A request by Kourtney

Patel for a retail package **Liquor**, **Beer**, & Wine License to be used in

connection with Stevens Creek Wine & Spirits located at 1061 Stevens Creek

Road. District 7. Super District 10. (Approved by Public Services

Committee August 29, 2023)

**Background:** This is a New Ownership Application. Formerly in the name of C.K. Bailey.

**Analysis:** The applicant meets the requirements of the City of Augusta's Alcohol

Ordinance.

**Financial Impact:** The applicant will pay a pro-rated fee of \$2,330.00.

**Alternatives:** N/A

**Recommendation:** The Planning & Development approved the application subject to additional

information not contradicting the applicant's statements.

The Sheriff's Office approved the application subject to additional

information not contradicting applicant's statements.

Funds are available in N/A

the following accounts:

REVIEWED AND APPROVED BY:

N/A

# PLANNING & DEVELOPMENT DEPARTMENT STAFF REPORT

Case Number:

A.N. 23-33

**Application Type:** 

Retail Package Liquor, Beer, Wine

**Business Name:** 

**Stevens Creek Wine & Spirits** 

**Hearing Date:** 

August 29, 2023

**Report Prepared By:** 

Julietta H. Walton, Business License & Customer Service Manager

Applicant:

Kourtney Patel

**Property Owner:** 

Ester B. Murry

Address of Property:

1061 Stevens Creek Road

Tax Parcel #:

012-0-10-00-0

Commission District:

District: 7 Super District: 10

Background:

Existing Location (New Ownership)

**ANALYSIS:** Location restrictions: zoning and proximity to churches, libraries, schools, and public recreation areas.

Zoning:

B-2(General Business) Zone

• Distance Requirements: The proposed location for retail package Liquor, Beer & Wine meets the minimum distance location to churches, schools, libraries, and public recreation areas.

### **ADDITIONAL CONSIDERATIONS:**

- Reputation, character. The applicant's reputation, character, trade and business associations or past business ventures, mental and physical capacity to conduct business.
- **Previous violations of liquor laws**. If the applicant is a previous holder of a license to sell alcoholic liquors, whether or not he has violated any laws, regulations or ordinance relating to such business.
- Manner of conducting prior liquor business. If the applicant is a previous holder of a license to sell alcoholic liquors, the manner in which he conducted the business thereunder especially as to the necessity for unusual police observation and inspection in order to prevent the violation of any law, regulation or ordinance relating to such business.

- **Location**. The location for which the license is sought, as to traffic congestion, general character of neighborhood, and the effect such an establishment would have on the adjacent surrounding property values.
  - The proposed is an Existing Location.
- Number of licenses in a trading area. The number of licenses already granted for similar business in the trading area of the place for which the license is sought.
- **Dancing**. If dancing is to be permitted upon the premise for which the license is sought and the applicant has previously permitted dancing upon the premises controlled or supervised by him, the manner in which he controlled or supervised such dancing to prevent any violation of any law, regulation, or ordinance.
- Previous revocation of license. If the applicant is a person, whose license issued under the
  police powers of any governing authority has been previously suspended or revoked or who has
  previously had an alcoholic beverages licenses suspended or revoked. Payment of taxes. If the
  applicant and business are not delinquent in the payment of any local taxes.
- Congregation of minors. Any circumstances, which may cause minors to congregate in the
  vicinity of the proposed location, even if the location meets the distance requirement under
  section 6-2-64 (b) herein.
- **Prior incidents.** Evidence that a substantial number of incidents requiring police intervention have occurred within a square city block of the proposed location during the twelve (12) months immediately preceding the date of application.
- **Previous Denial or Revocation**. The denial of an application or revocation of a license, occurring within the preceding twelve (12) months, which was based on the qualifications of the proposed location.

FINANCIAL IMPACT: The applicant will pay a pro-rated fee of \$2,330.00.

#### **RECOMMENDATION:**

The Planning & Development approved the application subject to additional information not contradicting the applicant's statements.

The Sheriff's Office approved the application subject to additional information not contradicting applicant's statements.

Note: The staff report includes the information available approximately two weeks prior to the Public Services Committee meeting. It represents an evaluation of the facts presented by the applicant, research done by the staff, and consideration of the relevant factors in the Comprehensive Zoning Ordinance and the Alcohol Ordinance of Augusta, Georgia. New facts may emerge, and staff reserves the right to make an oral recommendation at the hearing based on all the information available at that time.



# Augusta-Richmond County Planning & Development Department 1803 Marvin Griffin Road Augusta, GA. 30906

# ALCOHOL BEVERAGE APPLICATION

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16.	Have you eve	Have you ever applied for an Alcohol Beverage License before: NO						
	If so, give ve	ar of annlic	cation and its d	lisposition		1.5.	<del></del>	
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17.	Are you fami	liar with G	eorgia and Au	gusta-Ric	hmond Cour	ity laws regar	ding the sale of	
	alcoholic bev	erages? (	Yes () N	o If so, r	lease initial	<i>j</i> 6		



18. Attach a passport-size photograph (front view) taken within two years. Write name on back of the dealer submitting the license application.



19.	Has any liquor business in which you hold, or have held, any financial interest, or are employed, or have been employed, ever been cited for any violation of the rules and regulations of Augusta=-Richmond County or the State Revenue Commission relating to the sale and distribution of distilled spirits? ( ) Yes No If yes, give full details:						
20.	Have you ever been arrested, or held by Federal, State, or other law-enforcement authorities, for any violation of any Federal, State, County or Municipal law, regulation or ordinance: (Do not include traffic violations, with the exception of any offenses pertaining to alcohol or drugs). All other charges must be included, even if they are dismissed. () Yes (N) No  If yes, give reason charged or held, date and place where charged and its disposition.						
21.	List owner or	owners of buil	ding and n	ronerty			
21.	21. List owner or owners of building and property.						
22	Grey Mi	unay	·· 4 : £	nation for each person, firm or corporation			
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23.	property line	of school, church	ch, library,	or public recreation area to the wall of the			
		e alcohol beverag		) School			
	B) Library		D	) Public Recreation			
24.	Do solemnly s	ear, subject to th	e penalties o	nty, I, Yourny Outed of false swearing, that the statements and			
		by me as the app	olicant in the	e forgoing alcoholic beverage application are			
	true.			Sotus Dec			
				pplicant Signature			
25.	I hereby certify that Kourtuy D. Patel is personally known to be, That he/she signed his/her name to the forgoing allocation stating to me that he/she knew!!!!!!						
	and understoe	od all statemen	ts and ansv	wers made herein, and, under oath acts by C.U. A.			
				atements and answers are true, in the year 2023			
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**Commission Meeting** 

September 5, 2023

Massage Operator (Address Change Only)

**Department:** Planning & Development Department

**Presenter:** Julietta H. Walton, Customer Service & Business License Manager

Caption: Motion to approve Address Change Only: A request by Leonard Thomas

Silas for a change of address for RTS- Restorative Therapy

Solutions from 1219 West Wheeler Pkwy. to 149 Davis Road. District 7 Super District 10. (Approved by Public Services Committee August 29,

2023)

N/A

**Background:** This is an Existing Massage Therapist.

**Analysis:** The applicant meets the requirements of the City of Augusta's Massage

Therapy Ordinance.

**Financial Impact:** The applicant will pay a \$120.00 Administrative Fee.

**Alternatives:** N/A

**Recommendation:** Approval

Funds are available in N/A

the following accounts:

**REVIEWED AND** 

APPROVED BY:

### PLANNING & DEVELOPMENT DEPARTMENT STAFF REPORT

**Case Number:** 

Discussion

**Application Type:** 

Massage Operators License (New Location-Change of Address)

**Business Name:** 

RTS-Restorative Therapy Solutions

**Hearing Date:** 

August 29, 2023

Report Prepared By:

Julietta H. Walton, Business License and Customer Service Manager

Applicant:

**Leonard Thomas Silas** 

**Property Owner:** 

Davis MD LLC

**Address of Property:** 

149 Davis Road

Tax Parcel #:

016-0-021-00-0

**Commission District:** 

District: 7 Super District: 10

Background:

This is New Location (Change of Address)

**ANALYSIS:** Location restrictions:

Zoning:

B-2 (General Business)

#### **LICENSE REQUIRED:**

• Any person desiring to own, operate, conduct, or carry on, in Augusta, Georgia, the business of offering or providing massage therapy, before doing so shall have in his/her possession the current operator's license. A licensee holding an operator's license under this chapter is not authorized or licensed to actually perform the massage therapy on customers of the massage therapy business unless such licensee also holds a massage therapy license. Any person other than an exempt person, employed or otherwise engaged by a massage therapy business to perform massage therapy on members of the public shall, prior to engaging in such activity, have in such person's possession, a then current massage therapy license issued by the Augusta-Richmond County Commission. A licensee holding a massage therapy is not licensed to own, operate, conduct or carry on a massage therapy business without an operator's license. Any massage therapy business which does not maintain an office in Augusta, but which sends a massage therapist into Augusta to provide massage therapy on an outcall basis,

must possess an operator's license. Any person providing massage on an outcall basis must possess a massage therapy license.

### Qualifications for operator's license: § 6-4-3

- Must be a least 18 years of age and have received a high school diploma or graduate equivalency diploma.
- Must be a citizen of the United States or alien lawfully admitted.
- Must show ownership in the business.
- Consent to a criminal background
- No operator's license shall be issued to any person convicted of or pleading guilty or nolo
  contendere to any charge under any federal, state, or local law. Within ten years prior to filing
  date of application for an operator's license.
- No operator's license shall be issued to any person who has had any license under the police powers of Augusta revoked within two years to filing the application for an operator's license.
- If a person in whose name an operator's license is issued is not a resident of Augusta, such person must appoint and continuously maintain in Augusta a registered agent upon whom any process, notice or demand required or permitted by law or under this chapter may be served.
- An operator's license may be denied where it appears the Augusta Richmond County
  Commission that the applicant does not have adequate financial strength or adequate financial
  participation in the proposed business to direct and manage its affairs, or where it appears that
  the applicant is intended or likely to be a surrogate for a person who would not otherwise
  qualify for an operator's license.
- At the time of filing the application for an operator's license and thereafter, the applicant must have in his/her employ or under a binding contract, a person who holds a massage therapy license for the applicant if the operator's license is granted

**FINANCIAL IMPACT**: The applicant will pay an administrative fee of \$120.00 for the Massage Operator's License (Change of Address Only).

**RECOMMENDATION**: The Planning & Development approved the application subject to additional information not contradicting applicant's statements.

The Sheriff's Office approved the application subject to additional information not contradicting applicant's statements.

<u>Note:</u> The staff report includes the information available approximately two weeks prior to the Public Services Committee meeting. It represents an evaluation of the facts presented by the applicant, research done by the staff, and consideration of the relevant factors in the Comprehensive Zoning Ordinance and the Massage Therapy Ordinance of Augusta, Georgia. New facts may emerge, and staff reserves the right to make an oral recommendation at the hearing based on all the information available at that time.

# **BUSINESS LICENSE APPLICATION CALENDAR YE** Augusta, Georgia Planning & Development Office: (706) 312-5050 1803 Marvin Griffin Road Augusta, GA 30906 Fax: (706) 312-4277 535 Telfair Street Suite 300 Augusta, GA 30901 Circle One: Fax: (706) 312-5037 New X Amended \*\*Report Changes in Location / Mailing Address Promptly\*\* \*\*Please Print in Ink\*\* 5 6N14 Date Started New Business: Estimated Yearly Gross Revenue (1); \$ **Business Name:** Mailing Address: (Complete Mailing Address - City, State, Zip Code) **Primary Phone Number:** acondary Phone Number: Circle a contact method: Mailing Address Phone Text Message Email Fax Owner's Name and Address: Last 4 SSN (Required, **Primary Contact Number:** Officer's Name and Address: Last 4 SSN (Required): Officer's Position / Title: Phone Number: **Emergency Contact Name:** Primary Phone Number: **Local Contact Name:** 11 **Primary Phone Number:** Number of Decals: (Transportation / Contractors / Vending) Number of Employees (Company): \_ Federal Tax ID: State Tax ID: In accordance with the Business Ordinance of Augusta, Georgia, I, the undersigned, certify that I am the person duly authorized by the business herein named to file this application, including the accompanying schedules and statements and that the same are true, correct, and complete. Applicant's Signature: (1) Professionals and certain practitioners have the option of paying \$400 Professional Fee per practitioner in lieu of reporting gross receipts. Check with the Business Tax Office to determine eligibility for this option. Number of Professionals: Please Read and Initial each statement below: All business licenses expire December 31st each year. It is the responsibility of the business own before January 31st each year to avoid late fee penalties. to renew the license All renewal applications are due prior to October 31<sup>st</sup> each year to avoid Failure To Submit Required Paperwork pena I understand the penalty fees will not be dropped for my failure to make timely reports. FOR BUSINESS LICENSE OFFICIAL USE ONLY Account # Parcel ID: NAICS Code Tax Class: Entered By

# OFFICE LEASE AGREEMENT

This OFFICE LEASE AGREEMENT (this "Lease") is made as of this <u>6th</u> day of December, 2022 ("Effective Date") by and between Davis MD LLC., a Georgia limited liability company ("Landlord"), and and Restorative Therapy Solutions, a Georgia company ("Tenant").

### 1. <u>BASIC LEASE PROVISIONS</u>:

- 1.1. Property: 149 Davis Road Suite B
- 1.2. <u>Premises</u>: approximately 550 rentable square feet ("RSF") in Bulding 149 of the premises as shown in <u>Schedule 1</u>.
- 1.3. Commencement Date: The same as the execution date of the lease.
- 1.4. Rent Commencement Date: Same as execution date of the lease.
- 1.5. Expiration Date: Twelve (12) full months after the first calendar day of the month following the Rent Commencement Date. If the Rent Commencement Date falls on the first calendar day of the month, the Expiration Date shall be twelve (12) full months after the Rent Commencement Date.

1.6.

1.7. <u>Base Rent</u>: From and after the Rent Commencement Date, Tenant shall pay Base Rent in accordance with the following schedule:

Period of Term	Annual Base Rent (PSF)	Annual <u>Base Rent</u>	Monthly Base Rent
Months 1 to 12			7
Months 13 to 24			

The foregoing figures and actual dates shall be finalized and specified in the Commencement Date Agreement to be executed and delivered by Landlord and Tenant after the Commencement Date, based on the final Commencement Date and any adjustments for costs paid by Landlord on Tenant's behalf that are added to the Base Rent and amortized over the Lease Term, if any.

- 1.8. Base Year Adjustments: 3% escalation annually
- 1.9. Addresses for notices:
  - (a) Tenant:

1

Office Lease 149 Davis Road Suite B Augusta, GA 30909



#### 12/06/2022

[\_Restorative Therapy Solutions \_]
P.O. Box 1272
230 E. Trippe St
[Harlem, GA 30814]
Attn: [Leonard Thomas Silas]

(b) Landlord:

For payment of rent and all correspondence:

Beman Group and Blanchard and Calhoun 237 Davis Road Augusta, GA 30907

For all legal notices and other legal correspondence:

Beman Group and Blanchard and Calhoun 237 Davis Road Augusta, GA 30907

- 1.10. Permitted Use: Operation as an athletic massage therapist office.
- 1.11. Landlord's Work: None
- 1.12. Tenant Improvements: None
- 2. <u>DEFINITIONS</u>: Unless the context otherwise specifies or requires, the following terms will have the meanings set forth below:
  - 2.1. Common Areas: shall mean all areas and facilities outside the Premises and within the exterior boundaries of the Property (that are not leased to other tenants) and that are provided and designated by Landlord, in its sole discretion from time to time, for the general use and convenience of Tenant and other tenants of the Property and their authorized representatives, employees, invitees and the general public (such as parking areas, driveways, sidewalks, pedestrian walkways, loading areas, patios, lawn, landscaped areas, plazas, common entrances, stairways, hallways, corridors, elevators, restrooms, lobbies and the roof and exterior of the building). Landlord reserves the right to lease to and designate, from time to time, any Common Areas of the Property, including entrances, restrooms, stairways, storage rooms, loading areas, parking spaces and/or driveways, for the exclusive use of certain existing or future tenants of the Property.
  - 2.2. Environmental Law: shall mean any law, statute, ordinance or regulation pertaining to health, industrial hygiene or the environment including, without limitation, CERCLA (Comprehensive Environmental Response, Compensation and Liability Act of 1980),





# Commission Meeting September 5, 2023

# Delegation

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve scheduling a work session to discuss the

matter (**transient occupant confusion**) within the next 45 days with the inclusion of Ms. Blake, representatives from Housing & Community Development, the Administrator's Office, Sheriff's Office, Marshal's Office, Planning & Development, Destination Augusta and the hoteliers in the work

session . (Approved by Public Services Committee August 31, 2023)

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** 

**APPROVED BY:** 

### AGENDA ITEM REQUEST FORM

Commission meetings: First and third Tuesdays of each month -2:00 p.m. Committee meetings: Second and last Tuesdays of each month -1:00 p.m.

Commission/Committee: (Please check one	and insert meeting	date)					
× Commission	Date of Meetin	07/18/2023					
Public Safety Committee	Date of Meetin	g					
Public Services Committee	Date of Meetin	g					
Administrative Services Committee	tee Date of Meetin	.s					
Engineering Services Committee	Date of Meetin	g					
Finance Committee	Date of Meetin	g					
Contact Information for Individual/Present	er Making the Requ	iest:					
Name: Daniel New	A 20220						
Address: 1100 Abernathy Rd, Suite 725 Atlanta, GA 30328							
Telephone Number: 678-371-7153 Fax Number: daniel@aahoa.com  E-Mail Address: daniel@aahoa.com							
Fax Number:							
Caption/Topic of Discussion to be placed on Transient Occupant Confusion - local Augusta hotelia	0	orted from some local law enforcement					
when a hotel guest refuses to vacate their room for n	on-payment. We welcor	ne the opportunity to educate the					
Commissioners on this issue hoteliers are facing as							
Please send this request form to the following	ng address:						
Ms. Lena J. Bonner T	elephone Number:	706-821-1820					
Clerk of Commission F	ax Number:	706-821-1838					
Suite 220 Municipal Building E	-Mail Address:	nmorawski@augustaga.gov					
535 Telfair Street							
Augusta, GA 30901							

Requests may be faxed, e-mailed or delivered in person and must be received in the Clerk's Office no later than 9:00 a.m. on the Thursday preceding the Commission and Committee meetings of the following week. A five-minute time limit will be allowed for presentations.

	8.4	
Nancy	Moraws	"
INGIICY	IAIOI MAADI	

From:	Daniel New <daniel@aahoa.com></daniel@aahoa.com>			
Sent:	Thursday, June 29, 2023 12:24 PM			
To:	Nancy Morawski; Lena Bonner			
Subject:	[EXTERNAL] Re: Commissioner Agenda Item Request - Transient Occupant Confusion			
Attachments:	Augusta Commission Agenda Item Request Form 7.18.23.pdf			
My apologies - please use this att approval.	achment for the actual Caption/Topic we would like presented on the Agenda upon			
Thanks,				
<b>DANIEL NEW</b> Director of State Government Affairs, East	ern Region   AAHOA   404-419-8985			
X				
On Thu, Jun 29, 2023 at 12:20 PM Good morning Ms. Bonner,	Daniel New < <u>daniel@aahoa.com</u> > wrote:			
	uest for the <b>Tuesday, July 18 Commission Meeting</b> . Although I am the primary person ted to note it is on behalf of Augusta-Richmond Hoteliers.			
A couple Augusta hoteliers will be present at the meeting. I know if approved, we would be allotted up to 5 minutes to present. Would it be ok if within the 5 minutes, and upon the Commissioners approval, for some of the hoteliers present to speak on this issue as well?				
Thank you all for everything & if everything to you a.s.a.p	I need to provide any additional information, let me know and I will work to get			
Sincerely,				
A Line States and L				
DANIEL NEW Director of State Government Affairs, Eas	stern Region   AAHOA   404-419-8985			
Note the control of the shadow and another than the control of the				

Sec. 9-12-1. - Definitions.

Generally. For the purposes of this chapter, certain words and phrases shall have the meanings set out in this section, except in cases where the context clearly indicates a different meaning.

Capture means that the guest's name and the guest's address shall be written in a book/register inscribed with ink or indelible pencil.

Extended stay hotel and extended stay motel mean any hotel containing four or more guestrooms intended or designed to be used, or which are used, rented, or hired out to be temporarily occupied or which are temporarily occupied by tourists and travelers for sleeping purposes for more than ten days within any 30-day period and that contain fixed cooking appliances.

Fixed cooking appliance means a stove; a hotplate that does not serve as an integral part of an appliance designed solely to produce coffee; a conventional oven; a convection oven; or any oven producing heat using resistance heating elements, induction heating, or infrared heating sources. Fixed cooking appliances do not include microwaves or outdoor grills.

Guest means any person who occupies a guestroom.

Guestroom means temporary living and sleeping quarters for a person or persons.

Hotel means a building, structure or place containing ten or more guestrooms wherein tourists and travelers are temporarily provided lodging in exchange for financial compensation and in which ingress and egress to each guestroom is made through the interior of the building.

*Identification* means a current and valid government-issued photo identification card such as a driver's license, military identification card, state identification card, or passport.

Law enforcement personnel means any law enforcement officer, fire marshal, or any of his or her assistants, fire inspector, or code enforcement officer employed by the city.

Minor means an individual less than 18 years of age.

*Motel* means a building, structure or place containing ten or more guestrooms wherein tourists and travelers are temporarily provided lodging in exchange for financial compensation and in which ingress and egress to each guestroom is on the outside of the building.

Natural disaster means a flood, tornado, hurricane, earthquake, or other occurrence for which the President of the United States has made a federal disaster declaration under the Robert T. Stafford Disaster Relief and Emergency Assistance Act, 42 U.S.C. § 5121-5206. Should the State of Georgia's definition of "natural disaster" found in O.C.G.A. § 50-1-9 differ from the definition herein, the definition in O.C.G.A. § 50-1-9 controls.

*Person* means any individual, firm, owner, sole proprietorship, partnership, corporation, and unincorporated association governmental body, municipal corporation, executor, administrator, trustee, guardian, agent, occupant, or other legal entity.

*Record(s)* means the name and home address of each tourist or traveler renting or occupying a guestroom, including adults and minors, kept electronically in the hotel's or motel's electronic guest registration system or in a book/register inscribed with ink or indelible pencil.

Tourist and traveler mean a person who is going from one place to another for the purpose of business or pleasure.

(Ord. No. 2017-04, § 1, 4-11-17)

Item 3.

Sec. 9-12-2. - Enforcement.

Law enforcement personnel are authorized and shall have authority to enforce all provisions of this chapter.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-3. - Access to premises and records.

Law enforcement personnel shall have access at all reasonable times to all hotels and motels, except occupied guestrooms, unless so authorized by other laws or ordinances, for the purpose of investigating any complaint or enforcing any law, ordinance or regulation.

(Ord. No. <u>2017-04</u>, § 1, 4-11-17)

Sec. 9-12-4. - Numbering of guestrooms.

Each guestroom in any hotel or motel shall be numbered in a plain, conspicuous manner. Such numbers shall be at least three inches high and shall be placed at eye level on the outside of the outer door of each guestroom, and no two guestrooms shall bear the same number.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-5. - Registration generally.

- (a) For each person paying in cash for the occupation of a hotel or motel, every person operating a hotel or motel shall require each such person to provide identification prior to renting a guestroom. A record shall be kept on file for the duration of the occupancy and for 60 days thereafter. In the event the hotel or motel does not have an electronic guest registration system, the hotel or motel shall capture the guest's name and the guest's address and any unique identifier from the identification. Such record shall be signed by the person renting a guestroom or someone of his or her authority, and the operator of such hotel or motel, or his agent, shall thereupon electronically enter or write, opposite such name so registered, the number of the guestroom assigned to and occupied by such guest, together with the time when such guestroom is rented. Until all of the aforesaid entries have been made, no guest shall be permitted to occupy any guestroom in such hotel or motel. Such record is subject to inspection at all times provided that the city obtains consent of the owner of or person operating a hotel or motel or produces appropriate legal authorization through a warrant or subpoena. The individual paying in cash shall also be the individual occupying the guestroom.
- (b) For each person paying with a credit card for the occupation of a hotel or motel, every person operating a hotel or motel shall require each such person to provide identification prior to renting a guestroom. A record shall be kept on file for the duration of the occupancy and for 60 days thereafter. In the event the hotel or motel does not have an electronic guest registration system, the hotel or motel shall capture the guest's name and the guest's address and any unique identifier from the identification. Such record shall be signed by the person renting a guestroom or someone of his or her authority, and the operator of such hotel or motel, or his agent, shall thereupon electronically enter or write, opposite such name so registered, the number of the guestroom assigned to and occupied by such guest, together with the time when such guestroom is rented. Until all of the aforesaid entries have been made, no guest shall be permitted to occupy any

guestroom in such hotel or motel. Such record is subject to inspection at all times, provided that the city obtains consent of the owner of or person operating a hotel or motel or produces appropriate legal authorization through a warrant or subpose individual paying in cash shall also be the individual occupying the guestroom.

(c) For each individual who pays for a guestroom via an internet site or some other digital payment before arriving at the hotel or motel, every person operating a hotel or motel, shall require each such person to provide identification prior to renting a guestroom. A record shall be kept on file for the duration of the occupancy and for 60 days thereafter. In the event the hotel or motel does not have an electronic guest registration system, the hotel or motel shall capture the guest's name and the guest's address and any unique identifier from the identification. Such record shall be signed by the person renting a guestroom or someone of his or her authority, and the operator of such hotel or motel, or his agent, shall thereupon electronically enter or write, opposite such name so registered, the number of the guestroom assigned to and occupied by such guest, together with the time when such guestroom is rented. For each person paying via the internet or other digital payment, the individual paying shall also be the occupant of the guestroom. Until all of the aforesaid entries have been made, no guest shall be permitted to occupy any guestroom in such hotel or motel. Such record is subject to inspection at all times provided that the city obtains consent of the owner of or person operating a hotel or motel or produces appropriate legal authorization through a warrant or subpoena.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-6. - False registration by guests.

- (a) It shall be unlawful for any person to write, or cause to be written, or knowingly permit to be written, in any record in any hotel or motel, any other or different name or designation than the true name of the person registered therein.

  Identification shall be required to be produced at registration.
- (b) It shall be unlawful for any hotel or motel owner, operator, manager, or person in charge of a hotel or motel to allow a guest to pay for or occupy a guestroom without identification.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-7. - Giving false information to obtain lodging.

It shall be unlawful for any person to obtain lodging for any person under the age of 18 years in any hotel or motel by giving to the proprietor, owner, manager, agent, person in charge or keeper thereof, false information as to such person's age or false information as to the relationship to such person of any alleged parent or guardian. Further, it shall be unlawful for any person under the age of 18 years to obtain lodging for himself or herself in any such establishment by giving any such false information.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-8. - Renting or occupying guestroom for illegal or unlawful purposes.

- (a) It shall be unlawful for any person to rent or occupy any guestroom in any hotel or motel in this city for illegal or unlawful purposes, or for the proprietor, manager, or other person in charge of any such hotel or motel to rent, assign to or permit any person to occupy any such guestroom, with knowledge that they intend to use it for illegal or unlawful purposes.
- (b) It shall also be unlawful to rent or occupy any guestroom in any hotel or motel for otherwise legal commercial activity from guestrooms or common areas without obtaining approval from the city manager or his or her designee.
- (c) It shall be unlawful for any guest or other individual to advertise on any website, social media, printed material, radio or television advertisement any business, service or product (unlawful or lawful) being delivered, offered, performed distributed, or otherwise transacted from any guestroom within a hotel or motel.

Sec. 9-12-9. - Letting same guestroom more than once in one night.

It shall be unlawful for any person to let any guestroom in any hotel or motel more than once between the hours of 9:00 p.m. and 6:00 a.m. of the next day, except in the case of a written contract between the hotel or motel and the person (excluding a standard contract between the hotel or motel executed by virtue of payment of a deposit or room rate) in which:

- (1) A specific business entity desires such occupation for an employment-related purpose which requires temporary occupancy, including, but not limited to, relocation services; or
- (2) A government, charity, or insurance agency desires such occupation to house families in a natural disaster.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-10. - Length of stay.

- (a) It shall be unlawful for any person to stay at any hotel or motel for longer than ten days in a 40-day period. It shall also be unlawful for the owner, operator, manager, or person in charge of a hotel or motel or to permit or allow a person to stay at a hotel or motel in excess of ten days in a 30-day period.
- (b) Notwithstanding subsection (a) of this section, a stay in excess of ten days in a 30-day period may occur in the following situations:
  - (1) Where there is a written contract between a hotel or motel and a specific business entity for occupation for an employment-related purpose which requires temporary occupancy, including, but not limited to, relocation services;
  - (2) A government, charity, or insurance agency desires such occupation to house families in a natural disaster; or
  - (3) When the occupant of a guestroom is temporarily located while on active military duty.
- (c) The written contract, document, and authorization noted in subsection (b) shall be kept on file and must be available for inspection.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-11. - Receipt for payment received.

A receipt showing payment received shall be provided to the guest.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-12. - Hotel and motel guestroom and common area requirements.

- (a) All guestrooms shall be equipped with a hard-wired smoke detector approved by the fire marshal.
- (b) Smoking is prohibited in all areas of a hotel or motel, including but not limited to, exterior breezeways and stairwells, except for designated smoking guestrooms.
- (c) Each guestroom shall provide both hot and cold water from all faucets and shower heads.
- (d) All walls, carpet, floors, ceilings, and fixtures located in guestrooms or common areas shall be and remain clean, undamaged, free from dust, dirt, marks, or any obvious signs of patching or repair.
- (e) All furniture shall be and remain durable, clean, undamaged, free from any obvious signs of patching or repair, and free from evidence of deterioration. Within any individual area (guestroom, breakroom, seating area, etc.), the color and design of all furniture must match.

- (f) Entry doors, closet doors, bathroom doors, and guestroom doors shall be and remain clean, undamaged, free from scratches, indention, holes, scraps, stains, and free from any evidence of deterioration.

  \*\*Item 3.\*\*
- (g) All door hardware, including, but not limited to, latches, hinges, locks, and knobs, shall be and remain clean, undamaged, free from evidence of deterioration, free from obvious signs of patching or repair, and fully functional at all times to provide appropriate security, storage, and passage.
- (h) Fixed cooking appliances are not permitted inside guestrooms and no guestrooms shall be allowed to operate in an extended-stay capacity.
- (i) All interior areas of any hotel or motel shall be and remain free of insects, rodents, and other vermin.
- (j) All interior areas of any hotel or motel shall be clean and remain free of mold and dirt. Interior areas shall be maintained with fresh paint when necessary. All decorations must be maintained in good repair.
- (k) All windows shall be maintained free of cracks and excessive scratches, and they must be cleaned regularly according to hotel or motel industry standards. Any repairs to windows must be invisible and cannot display glue, tape, or wood.
- (I) Exterior areas shall be maintained free of all litter and debris. Sidewalks abutting the hotel or motel, exterior breezeways, and stairwells shall be clean and clear, in good repair without trip hazards or uneven surfaces. Hotels or motels allowing pets shall keep all areas free of noxious odors and animal excrement. All trash receptacles shall be emptied and cleaned on a regular basis. Trash receptacles with excessive dents, holes, or peeling paint shall be repaired or replaced.
- (m) Loitering is prohibited between the hours of 10:00 p.m. and 7:00 a.m. in the parking lot of a hotel or motel, on sidewalks abutting the hotel or motel, or in hallways outside of guestrooms.
- (n) Storage outside of hotels or motels is prohibited.
- (o) All exterior lights shall be maintained in good working order, and all lighting fixtures shall remain in good repair.
- (p) Parking lots, exterior breezeways, stairwells, sidewalks, and other common areas shall not be used for unplanned seating, clothes drying, congregating or other similar conditions or activities.
- (q) Parking lots shall remain in a reasonable state of repair and must be resurfaced in cases of excessive patching of potholes and widespread fracturing of asphalt.
- (r) All painted surfaces, including but not limited to, handrails, fences, exteriors building surfaces, and interior building finishes, shall be free of rust, dirt, graffiti, or other evidence of deterioration.
- (s) Grilling is only allowed in designated areas and where all applicable safety codes and regulations are met. Grilling is not permitted in guestrooms or on guestroom balconies.
- (t) All guestroom linen shall be in good condition, clean and free of stains. Torn, damaged, stained or worn linen are prohibited. Hotels and motels shall maintain, on site, a minimum supply of linen sufficient to accommodate a daily 100 percent occupancy room turnover. All occupied guestrooms shall be supplied with a minimum of two bath towels, two hand towels and two washcloths. Guests in rooms with more than two guests at one time shall be allotted an additional towel, hand towel, and wash cloth for each additional guest.

(Ord. No. 2017-04, § 1, 4-11-17)

Sec. 9-12-13. - Penalties.

Any person violating any provision of this chapter shall be guilty of an offense. Further, any hotel or motel that fails to meet the requirements of this chapter shall be subject to citation imposing the maximum penalty allowed under the charter and ordinances of the city for each day of noncompliance. Each day of noncompliance shall constitute a separate offense punishable by a separate citation.

25

Item 3.

#### CHAPTER XX. - HOTELS AND MOTELS

Sec. XXX. - Definitions.

**Generally.** For the purposes of this chapter, certain words and phrases shall have the meanings set out in this section, except in cases where the context clearly indicates a different meaning.

**Capture** means that the guest's name and the guest's address shall be written in a book/register inscribed with ink or indelible pencil.

**Guest** means any person who occupies a guestroom, and who pays a fee to the keeper of an Inn for the purpose of entertainment at that Inn, as defined in OCGA § 43-21-1.

Guestroom means temporary living and sleeping quarters for a person or persons.

**Hotel** means a building, structure or place containing ten or more guestrooms wherein tourists and travelers are temporarily provided lodging in exchange for financial compensation and in which ingress and egress to each guestroom is made through the interior of the building.

*Identification* means a current and valid government-issued photo identification card such as a driver's license, military identification card, state identification card, or passport.

"Inn" means all taverns, hotels, and houses of public general entertainment for guests, as defined in OCGA § 43-21-1.

**Innkeeper** means the owner, operator or keeper of the inn to whom the guest pays a fee for the purpose of entertainment at that inn; an innkeeper does not need to file a writ of possession to remove a non-paying or trespassing guest (*Efficiency Lodge, Inc. v. Neason, et. al*, June 21, 2023 GA Supreme Court, Docket No. S22G0838, p. 4.)

Law enforcement personnel means any law enforcement unit, peace officer, or law enforcement support personnel as defined by O.C.G.A. § 35-8-2. fire marshal, or any of his or her assistants, fire inspector, or code enforcement officer employed by the city.

*Minor* means an individual less than 18 years of age.

**Motel** means a building, structure or place containing ten or more guestrooms wherein tourists and travelers are temporarily provided lodging in exchange for financial compensation and in which ingress and egress to each guestroom is on the outside of the building.

**Person** means any individual, firm, owner, sole proprietorship, partnership, corporation, and unincorporated association governmental body, municipal corporation, executor, administrator, trustee, guardian, agent, occupant, or other legal entity.

**Record(s)** means the name and home address of each tourist or traveler renting or occupying a guestroom, including adults and minors, kept electronically in the hotel's or motel's electronic guest registration system or in a book/register inscribed with ink or indelible pencil.

**Tourist** and **traveler** mean a person who is going from one place to another for the purpose of business or pleasure.

<u>Trespass</u> means the offense of criminal trespass as set forth in GA Code section 16-7-21, which a person commits when he or she knowingly and without authority remains upon the land or premises of another person after receiving notice from the owner, rightful occupant, or, upon proper identification, an authorized representative of the owner or rightful occupant to depart.

Sec. XXX. - Enforcement.

Law enforcement personnel are authorized and shall have authority to enforce all provisions of this chapter. When the owner, innkeeper, rightful occupant, or upon proper identification, an authorized representative of the owner or innkeeper show probable cause that a person has committed or is in the commission of the offense of Trespass upon Inn, Hotel, or Motel premises located in Augusta, Richmond County, Georgia, law enforcement personnel may give such person the opportunity to voluntarily remove themselves and their personalities from the premises or shall remove such person subject to arrest at the time probable cause is

established that such person has committed or is in the commission of Trespass, as defined by O.C.G.A. § 16-7-21.

Sec. XXX. - Access to premises and records.

Law enforcement personnel shall have access at all reasonable times to all hotels and motels, except occupied guestrooms, unless so authorized by other laws or ordinances, for the purpose of investigating any complaint or enforcing any law, ordinance or regulation.

Sec. XXX. - False registration by guests.

- (a) It shall be unlawful for any person to write, or cause to be written, or knowingly permit to be written, in any record in any hotel or motel, any other or different name or designation than the true name of the person registered therein. Identification shall be required to be produced at registration.
- (b) It shall be unlawful for any hotel or motel owner, operator, manager, or person in charge of a hotel or motel to allow a guest to pay for or occupy a guestroom without identification.

Sec. XXX. - Giving false information to obtain lodging.

It shall be unlawful for any person to obtain lodging for any person under the age of 18 years in any hotel or motel by giving to the proprietor, owner, manager, agent, person in charge or keeper thereof, false information as to such person's age or false information as to the relationship to such person of any alleged parent or guardian. Further, it shall be unlawful for any person under the age of 18 years to obtain lodging for himself or herself in any such establishment by giving any such false information.

Sec. XXX. - Renting or occupying guestroom for illegal or unlawful purposes.

- (a) It shall be unlawful for any person to rent or occupy any guestroom in any hotel or motel in this city for illegal or unlawful purposes, or for the proprietor, manager, or other person in charge of any such hotel or motel to rent, assign to or permit any person to occupy any such guestroom, with knowledge that they intend to use it for illegal or unlawful purposes.
- (b) It shall also be unlawful to rent or occupy any guestroom in any hotel or motel for otherwise legal commercial activity from guestrooms or common areas without obtaining approval from the city manager or his or her designee.
- (c) It shall be unlawful for any guest or other individual to advertise on any website, social media, printed material, radio or television advertisement any business, service or product (unlawful or lawful) being delivered, offered, performed, created, distributed, or otherwise transacted from any guestroom within a hotel or motel.
- (e)(d) It shall be unlawful for any guest or other individual to criminally trespass by knowingly and without authority remain upon the land or premises, including a hotel, motel, or inn, of another person or innkeeper, after receiving notice from the owner, rightful occupant, innkeeper, or, upon proper identification, an authorized representative of the owner, rightful occupant, or innkeeper, to depart, including for failing to timely or fully pay for the guestroom for one or more nights of temporary lodging or stay.

Sec. XXX. - Penalties.

Any person violating any provision of this chapter shall be guilty of an offense. Further, any hotel or motel that fails to meet the requirements of this chapter shall be subject to citation imposing the maximum penalty allowed under the charter and ordinances of the city for each day of noncompliance. Each day of noncompliance shall constitute a separate offense punishable by a separate citation.



# **Commission Meeting**

September 5, 2023

# Panhandling ordinance

**Department:** N/A

**Presenter:** N/A

Caption: Motion approve schedule a work session on this matter (panhandling

ordinance for Augusta) within the next 60 days before drafting a

panhandling ordinance. (Approved by Public Services Committee August

29, 2023)

N/A

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** 

**APPROVED BY:** 

#### Lena Bonner

From:

Commissioner Sean Frantom

Sent:

Sunday, August 20, 2023 3:55 PM

To:

Lena Bonner

Subject:

**Public Service Committee** 

**Attachments:** 

23-01 Formal Resolution panhandling ordinance (01742443).docx

Ms. Bonner,

Please add this agenda item with the attachment to the public services committee.

Discuss the process of implementing a panhandling ordinance. (See attachment of Columbia County ordinance)

Thank you,

Sean

From: Commissioner Sean Frantom < SFrantom@augustaga.gov>

Sent: Thursday, February 23, 2023 9:24:55 PM

To: Takiyah A. Douse <TDouse@augustaga.gov>; Wayne Brown <WBrown@augustaga.gov>; Amelio R. Lamkin

<ALamkin@augustaga.gov>; Patrick Clayton <PClayton@augustaga.gov>; Commissioner Jordan Johnson

<CJohnson4@augustaga.gov>; Commissioner Stacy Pulliam <SPulliam@augustaga.gov>; Commissioner Catherine Smith-

McKnight < CSmith-McKnight@augustaga.gov>; Commissioner Alvin D. Mason < AMason@augustaga.gov>;

Commissioner Bobby Williams <Bobby.Williams@augustaga.gov>; Commissioner Tony Lewis

<tony.lewis@augustaga.gov>; Commissioner Brandon Garrett <BGarrett@augustaga.gov>; Commissioner Francine Scott

<CScott2@augustaga.gov>; Commissioner Wayne Guilfoyle <WGuilfoyle@augustaga.gov>

Subject: Panhandling Ordinance in Columbia County

Dear colleagues please see the attached panhandling ordinance passed by Columbia county this week.

Thanks, Sean

This e-mail contains confidential information and is intended only for the individual named. If you are not the named addressee, you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. The City of Augusta accepts no liability for the content of this e-mail or for the consequences of any actions taken on the basis of the information provided, unless that information is subsequently confirmed in writing. Any views or opinions presented in this e-mail are solely those of the author and do not necessarily represent those of the City of Augusta. E-mail transmissions cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or incomplete, or contain viruses. The sender therefore does not accept liability for any errors or omissions in the content of this message which arise as a result of the e-mail transmission. If verification is required, please request a hard copy version.

AED:104.1

#### **ORDINANCE NO.: 23-01**

ORDINANCE OF THE BOARD OF COMMISSIONERS OF COLUMBIA COUNTY, GEORGIA AMENDING THE CODE OF ORDINANCES COLUMBIA COUNTY GEORGIA; AMENDING CHAPTER 58; OFFENSES AND MISCELLANEOUS PROVISIONS; BY ADOPTING SECTION 58-10 TO ADD DEFINITIONS FOR SOLICIT, PANHANDLING, PUBLIC AREA, OUTDOOR DINING AREA, AGGRESSIVE PANHANDLING, AND AT NIGHT; TO RESTRICT PANHANDLING AND AGGRESSIVE PANHANDLING; TO PROVIDE FOR AN EFFECTIVE DATE AND TO REPEAL ANY CONFLICTING ORDINANCES.

**THIS ORDINANCE** adopted by the Board of Commissioners of Columbia County, Georgia (the "Board").

**WHEREAS**, the Board desires to amend the Code of Ordinances Columbia County, Georgia;

**WHEREAS**, the Board have reviewed and considered implementing an ordinance to regulate the practice of panhandling for the benefits of the citizens of Columbia County, Georgia.

**NOW, THEREFORE, BE IT ORDAINED** by the Board, and it is hereby ordained by the authority of the same as follows:

<u>Section 1.</u> <u>Amendment of Chapter 58.</u> Chapter 58, Offenses and Miscellaneous Provisions is hereby amended by the adoption of the following Section 58-10 to be entitled "Panhandling," to read as follows:

### Sec. 58-10. – Panhandling.

- (a) Purpose. This ordinance regulates the time, place, and manner of solicitations and panhandling in the unincorporated areas of the county and shall not apply to anyone exercising their rights to constitutionally-protected activity.
- (b) Definitions. The following words, terms, and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:
  - (1) Solicit or Panhandle shall mean to request an immediate donation of money or other thing of value from another person, regardless of the solicitor's purpose or intended use of the money or other thing of value, including a request for employment, business, or contributions, or to request the sale of goods or services. This definition shall include all methods of solicitation including, but not limited to, spoken, written, or printed words, or by other means of communication including, but not limited to, bodily gestures.

- (2) Public Area shall mean an area to which the public or a substantial group of persons has access, including, but not limited to, streets, highways, roadways (including shoulders and medians), bridges, the area above and below any bridge, sidewalks, alleys, parking lots and decks, plazas, parks, public greenspace areas, playgrounds, schools, transportation facilities, within a public-transportation vehicle, an area owned in whole or in part by, operated by, for, or under the custody and control of Columbia County, Georgia, and any other property where public gatherings occur on a regular basis, and any other property where public meetings are conducted.
- Outdoor Dining Area shall mean an outdoor dining area of a restaurant or other establishment serving food or drink for immediate consumption.
- (4) Aggressive Panhandling shall mean Panhandling, as defined in this section, in any one or more of the following manners in a public area or on private property without having first obtained the permission of the owner or other person legally in possession of the property:
  - a. Intentionally or recklessly making any physical contact with another person or vehicle in the course of soliciting without that person's express consent;
  - b. Continuing to solicit from a person after that person has given a negative response to an initial solicitation;
  - c. Approaching, speaking to, or following the person being solicited, if that manner of conduct is intended to, or is reasonably likely to cause a reasonable person to fear imminent bodily harm to that person or others in the area or the commission of a criminal act upon property in the person's possession, or is intended to, or is reasonably likely to intimidate the person being solicited into responding affirmatively to the solicitation;
  - d. Intentionally or recklessly blocking the safe or free passage of the person being solicited, or requiring the person, or the driver of a vehicle, to take evasive action to avoid physical contact with the person making the solicitation;
  - e. Intentionally or recklessly using violent, threatening, obscene, or abusive language or gestures that is intended to, or is reasonably likely to cause a reasonable person to fear imminent bodily harm to that person or others in the area or the commission of a criminal act upon property in the person's possession, or is intended to, or is reasonably likely to intimidate the person being solicited into responding affirmatively to the solicitation; and
  - f. Soliciting a person at night.
- (5) At Night shall mean the time period between 30 minutes after sunset to 30 minutes before sunrise.
- (c) Prohibited Acts. It shall be unlawful for any person within the unincorporated areas of the county to commit any of the following acts.
  - (1) No person shall engage in aggressive panhandling within the unincorporated areas of the county;

- (2) No person shall solicit or panhandle on private property without first having obtained the permission of the owner or other person legally in possession of the property.
- (3) No person shall solicit or panhandle on private property if the owner or other person legally in possession of the property has notified the person, by signage or otherwise, that they are not allowed to solicit on the property.
- (4) No person shall solicit or panhandle within 30 feet of any automated teller machine or any bank, financial institution, or check-cashing facility.
- (5) No person shall solicit or panhandle while under the influence of alcohol or a controlled substance, as defined by Georgia or federal law.
- (6) No person shall solicit or panhandle within ten feet of the entrance or exit of a building.
- (7) No person shall solicit or panhandle within 30 feet of an outdoor dining area.
- (8) No person shall solicit an operator or passenger of a motor vehicle while such person is operating or occupying a motor vehicle; provided, however, that this section shall not apply to services rendered in connection with the provision of emergency repairs requested by the operator or passengers of such vehicle.

<u>Section 2. Repeal of Conflicting Ordinances.</u> All ordinances or parts of ordinances previously adopted by the Board of Commissioners of Columbia County, Georgia which are in conflict with this ordinance are hereby repealed to the extent necessary to eliminate such conflict.

<u>Section 3.</u> <u>Effective Date.</u> This Ordinance shall become effective upon the date of its adoption.

**ADOPTED**, this 7th day of March, 2023, following approval on a first and second reading.

	Board of Commissioners of Columb County, Georgia	ia
	By: Douglas R. Duncan Its Chairman	
Attest: Patrice R. Crawley Its Clerk		

### **CLERK'S CERTIFICATE**

I, Patrice R. Crawley, County Clerk of the Board of Commissioners of Columbia County, Georgia, DO HEREBY CERTIFY that the foregoing pages of typewritten matter constitute a true and correct copy of an Ordinance adopted by the Board of Commissioners on its second and final reading at a regular meeting of the Board of Commissioners duly held on March 07, 2023 at 6:00 p.m. the first reading having been at a regular meeting of the Board of Commissioners duly held on February 21, 2023 at 6:00 p.m. both of which meetings were open to the public and at which a quorum was present and acting throughout, and that the original of said document appears of record in the Ordinance Book of the Board.

Given under my hand and seal of the Board, this 7th day of March, 2023.

PATRICE R. CRAWLEY
COUNTY CLERK,
BOARD OF COMMISSIONERS
OF COLUMBIA COUNTY, GEORGIA



# **Augusta, GA Commission Meeting**

September 5, 2023

Motion to receive a donation from the Trust of Oakland Park

**Department:** Parks & Recreation

**Presenter:** Maurice McDowell

**Caption:** Motion to receive a donation from the Trust of Oakland Park

**Background:** The Trustees of Oakland Park leased Hickman Park to Augusta on June 17,

1916 for a ninety-nine year term. Recently, the Augusta Commission

approved entering into a new lease agreement for the park. The trustees have

collected \$5,000 towards renovations at Hickman Park.

**Analysis:** The donated funds will be utilized towards upcoming renovations at the park.

Augusta will resurface the tennis courts and add striping for Pickleball.

**Financial Impact:** This donation would increase the expenditures at Hickman Park by the

amount of \$5,000 in line item 101-06-1323-5223111 to cover renovation

costs. The expenditures would be covered by the donated amount.

**Alternatives:** 1. Move to receive a donation from the Trustees of Oakland Park.

2. Move to no action.

N/A

**Recommendation:** Move to receive a donation from the Trustees of Oakland Park and increase

line item 101-06-1323-5223111 by \$5,000 (the amount of the donation).

Funds are available in N/A

the following accounts:

REVIEWED AND

APPROVED BY:



# **Commission Meeting**

September 5, 2023

Augusta Regional Airport

Augusta Regional Airport – Request to Amend the Customer Facility Charge **Department:** 

(CFC) Ordinance 7449

Herbert Judon **Presenter:** 

**Caption:** Motion to **allow** the Augusta Aviation Commission and its representatives to

> work with the Augusta Law Department on an amendment to the CFC Ordinance. (Approved by the Augusta Aviation Commission on July 27,

2023 and Public Services Committee August 29, 2023).

**Background:** 

In the past, the Aviation Commission had a clause in the On-Site Rental Car Concession agreements allowing for collection of CFC funds. In 2008, the Commission adopted an ordinance addressing collection of CFC's from offsite rental car companies providing service to customers at the Airport. The original ordinance was drafted after consultation with the rental car agencies. In 2012, the Commission entered into new concession agreements with the onsite rental car companies however, the new agreements did not address the collection of CFC's. In December 2013, the Aviation Commission voted to amend the CFC ordinance in order to address CFC collections to include the on-site rental car concessions.

Subsequently, the Airport contracted with a consulting firm that specializes in Airport Rental Car Contracts and related issues as part of the Consolidated Rental Car project. Upon reviewing the amended ordinance, the Consultant voiced concerns on the extremely restrictive nature of the ordinance's designated uses for the CFC funds. The Consultant recommended that the ordinance be amended to allow for more flexibility in the designation of the funds. These changes would allow the Airport to utilize the CFCs in case of emergencies or catastrophic events, such as a terrorist event or an extreme downturn in the economy. This would allow the CFCs, which are paid by Airport rental car customers, to be utilized for the continued operation of the Airport or to cover Airport or bond debts. The Ordinance was amended again to reflect these new changes.

A Consolidated Rental Car project is nearing completion on the building construction phase. Additional phases of the project are budgeted for future years. In consultation with the rental car agencies, it was determined that the best course of action would be to increase the CFC charge to cover costs of the future phases and to offset costs for the land rent. The increase in CFC Fees to \$4.50 per contract day requires another amendment to the original Ordinane

Item 6.

The current ordinance limits the changes in CFC fees to a January 1 start. The amendment will remove the January 1 limitation and allow more flexibility for AGS to make adjustments as necessary.

**Analysis:** 

The additional fee will allow for faster turnaround on the future phases of the Consolidated Rental Car project and will help to offset increased costs to the rental car agencies on land rent. The new rate fee is consistent with other airports around the southeast US. The change to the January 1 start date will allow for more flexibility for the AAC in the future. The basic language and intent of the CFC Ordinance will remain the same, providing facilities and infrastructure for rental car customers.

**Financial Impact:** 

The increased CFC Fees will provide additional revenue to complete the future budgeted projects in a more timely fashion.

**Alternatives:** 

To deny.

**Recommendation:** 

Recommend Approval. Approved by the Augusta Aviation Commission on

July 27, 2023.

Funds are available in the following accounts:

REVIEWED AND APPROVED BY:

N/A

N/A

AN ORDINANCE TO AMEND THE AUGUSTA-RICHMOND COUNTY CODE SECTION § 1-3-8.15-1.3.28 SO AS TO AMEND THE CODE TO PROVIDE FOR A RENTAL CAR CUSTOMER FACILITY CHARGE FOR ON PREMISES RENTAL CAR CONCESSIONS AT THE AUGUSTA REGIONAL AIRPORT AT BUSH FIELD; TO PROVIDE FOR LEVY AND COLLECTION OF SAID FEES; TO PROVIDE PENALTIES FOR UNTIMELY PAYMENT OF SAID FEES AND OTHER CHARGES; TO PROVIDE FOR SEVERABILITY; TO REPEAL ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH; TO PROVIDE AN EFFECTIVE DATE AND FOR OTHER PURPOSES.

BE IT ORDAINED BY THE AUGUSTA-RICHMOND COUNTY COMMISSION AND IT IS HEREBY ORDAINED BY THE AUTHORITY OF SAME, THAT THE AUGUSTA-RICHMOND COUNTY CODE BE AMENDED AS FOLLOWS:

SECTION 1. Augusta Richmond County Code Section § 1-3-8.15-1-3-8.28, as set forth in "Exhibit A" hereto is to be adopted as provided herein.

SECTION 2. The revisions to this Ordinance shall become effective upon its adoption in accordance with applicable laws.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

#### **SECTION 4. SAVINGS CLAUSE**

In the event any phrase, clause, sentence, paragraph, or paragraphs of this Ordinance is or are declared invalid for any reason, the remainder of this Ordinance shall not be invalidated, but shall remain in full force and effect, all parts of this Ordinance being declared separable and independent of all others. In the event that a judgment is entered, and all appeals exhausted, which judgment finds, concludes or declares this Ordinance is unconstitutional or is otherwise invalid, the Customer Facility Charge authorized by this Ordinance shall be suspended and terminated as of the date such declaration.

# **EXHIBIT A**

# **RENTAL CAR BUSINESS ORDINANCE**

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# RENTAL CAR BUSINESS ORDINANCE

#### Section 1-3-8.15

- (a) The County hereby adopts the following fiscal policy for the establishment of percentage fees to be paid by all concessionaire and non-concessionaire rental car businesses operating at the Airport.
- (b) The cost of operating, maintaining, and developing the Airport is paid solely through Airport revenues and such government grants as may be received by the Aviation Commission and lawfully used for Airport purposes, without the use of ad valorem taxes or other County revenue or pledges, so as not to place any burden on taxpayers or residents of the County.
- (c) The Aviation Commission shall fix, establish, maintain, and collect such rates, fees, rentals, and other charges for the use of the Airport and its services and shall revise the same from time to time whenever necessary, so as to always provide net revenues sufficient to pay for operating, maintaining and developing the Airport.
- (d) In furtherance of this policy and in accordance with the authority conferred upon the County by the laws of the State of Georgia, the County, acting though the Aviation Commission, shall assess, and periodically adjust as required, a Customer Facility Charge (as hereinafter defined) and a percentage fees on the Gross Revenue for all Rental Car Providers operating at the Airport.

#### Section 1-3-8.16—Definitions

The following terms in this section shall have the following meanings in this Ordinance unless expressly stated otherwise.

- (a) "Airport Customer" shall mean anyone who is provided transportation to or from the Airport as part of a rental car transaction in a rental car courtesy vehicle of a Concessionaire Rental Car Provider and who either (1) executes an agreement to rent a motor vehicle from a Concessionaire or Non-Concessionaire Rental Car Provider or had executed an agreement to rent a motor vehicle and completed the rental transaction with a Non-Concessionaire Rental Car Provider, or (2) takes delivery of a motor vehicle rented from a Concessionaire or Non-Concessionaire Rental Car Provider or returned a motor vehicle rented from a Concessionaire or Non-Concessionaire Rental Car Provider.
- (b) "Contract Day" shall mean each twenty-four-hour period, and each fraction thereof, during which a motor vehicle having been delivered by a Concessionaire or Non-Concessionaire Rental Car Provider to each customer picked up at the Airport which is rented by such Airport customer from a Concessionaire or Non-Concessionaire Rental Car Provider. Each fractional period less than a twenty-four-hour period shall be deemed a contract day.

- (c) "Concessionaire Rental Car Provider" shall mean all persons, firms, agencies, or companies providing rental car services from locations based at the Airport that are signatory to a concession lease with the Aviation Commission providing terminal building counter locations and rental car ready lot vehicular parking.
- (d) "Gross Revenue" of a Concessionaire or Non-Concessionaire Rental Car Provider shall mean:
  - 1. All amounts received by the Concessionaire or Non-Concessionaire Rental Car Provider, or which the a Concessionaire or Non-Concessionaire Rental Car Provider is entitled to receive, from (a) any rental of a motor vehicle to any person picked up by the Concessionaire or Non-Concessionaire Rental Car Provider, or its agent, from any point on the Airport, including but not limited to (i) the Airport terminal building, (ii) any premises leased by the Aviation Commission to Concessionaire or a third party doing business on the Airport, or (iii) any other location within the Airport, or from (b) any rental of a motor vehicle to any person returned by the Concessionaire or Non-Concessionaire Rental Car Provider, or its agent, to any point on the Airport, including but not limited to (i) the Airport terminal building, (ii) any premises leased by the Aviation Commission to a third party doing business on the Airport, or (iii) any other location on the Airport or within one (1.0) mile of the Airport.
  - 2. All revenue received by the Concessionaire or Non-Concessionaire Rental Car Provider from every Airport Customer who, at the business location of the Rental Car Provider, either (a) executes an agreement for the rental of a motor vehicle from the Rental Car Provider, or (b) takes delivery of a motor vehicle rented from the Rental Car Provider. Gross Revenue shall be deemed received at the time that the sales, lease, or service transaction occurs, giving rise to the Rental Car Provider's right to collect said monies, regardless of whether the transaction was conducted in person, by telephone, or by mail; whether the transaction was for cash or credit; and, if for credit, regardless of whether the Rental Car Provider ultimately collects the monies owed for said transaction from the Airport Customer.
  - 3. Any Gross Revenue owed the Aviation Commission and determined by the Rental Car Provider at a later date to be uncollectible shall not offset future percentage fees owed the Aviation Commission. If the initial rental car agreement entered into between the Rental Car Provider and the Airport Customer is subsequently amended because the Airport Customer's actual usage of the rental car vehicle differs from the usage contemplated in the original agreement, and the charges to be paid by the Airport Customer to the Rental Car Provider are therefore different from the charges contemplated in the original agreement, the percentage of Gross Revenue to which the Aviation Commission is entitled hereunder shall be based upon the Gross Revenue that the Rental Car Provider is entitled to receive under the rental car agreement with its Airport Customer, as amended.
  - 4. Gross Revenue shall not include:
    - a. Federal, State, or municipal sales taxes separately stated and collected from the Airport Customer.

- b. Amounts that the Rental Car Provider receives, or is entitled to receive, for the sale, disposition, loss, conversion, or abandonment of Rental Car Provider's used motor vehicles and other equipment, personal property, and trade fixtures.
- c. Amounts that the Rental Car Provider receives, or is entitled to receive, for the repair of damages to its motor vehicles.
- (e) Gross Revenue shall not be reduced by reason of any commission or similar amount paid by the Rental Car Provider to travel agents or others.
- (f) "Non-Concessionaire Rental Car Provider" or "Operator" or "Permittee" shall mean all persons, firms, agencies, or companies providing rental car services from locations based outside of the Airport that are not signatory to a concession lease with the Aviation Commission providing terminal building counter locations and rental car ready lot vehicular parking.
- (g) "Rental Car Courtesy Vehicle" shall mean a courtesy vehicle of the Non-Concessionaire Rental Car Provider if it is operated by, or under agreement with, the Non-Concessionaire Rental Car Provider. A courtesy vehicle shall be deemed operated under agreement with the Non-Concessionaire Rental Car Provider if the Airport Director finds that such courtesy vehicle is operated pursuant to any agreement or arrangement between the Operator of such courtesy vehicle and the Non-Concessionaire Rental Car Provider.
- (h) "Rental Car Customer Facility Charge" shall mean a charge imposed on a transactional basis and shall be a fixed uniform amount applied each day, or fraction thereof, by a Rental Car Provider from the renter of the vehicle.

#### Section 1-3-8.17--Non-Concessionaire Rental Car Business Permit

- (a) Each Non-Concessionaire Rental Car Provider seeking to operate at the Airport shall execute a written agreement with the Commission in the form of a Non-Concessionaire Rental Car Business Permit (Permit) before engaging in any business activities on the Airport. The Permit must be renewed annually, as described below. Application for such Permit shall be made to the office of the Airport Director.
- (b) The Permit shall be substantially in the form appended to this ordinance adopting this Ordinance, the terms of which are incorporated in and made a part of this Ordinance by reference. The Airport Director may modify the form of the Permit in any manner not inconsistent with the provisions of this section. In the event of conflict between any provisions of this section and any provision of the Permit, this section shall be controlling.
- (c) Operation of any Rental Car Courtesy Vehicle on the Airport shall be allowed only with a color-coded decal as required by this County Ordinance. Providers of Rental Car Courtesy Vehicles shall observe all rules and Ordinances of this section in addition to those established by other provisions of the Administrative Code of the County.
- (d) Non-concessionaire Rental Car Courtesy Vehicle decals shall be provided by the Airport Director initially to the Non-Concessionaire Rental Car Provider upon execution of the Permit and successful completion of a vehicle safety inspection. Decals shall be issued for each Rental Car

Courtesy Vehicle operated by the Non-Concessionaire Rental Car Provider. No decals shall be issued without the Operator having valid courtesy vehicle licenses as may be required by the Aviation Commission.

- (e) Decals shall be permanently affixed to the lower right hand corner of the front windshield of the Rental Car Courtesy Vehicle and shall be clearly visible at all times. Decals shall expire at the time of expiration of the Permit. Only those vehicles displaying valid decals will be authorized to pick up passengers at the Airport.
- (f) In the case of loss of a decal or damage beyond recognition, a duplicate decal may be obtained after payment by the Operator of Twenty Five Dollars (\$25.00) and after submission of a statement setting forth the circumstances of the loss or damage of the decal.
- (g) Application forms for annual renewal of Rental Car Courtesy Vehicle Airport Permit decals must be submitted to the Airport Director at least ten (10) working days prior to the expiration of the current decal. Renewal applications shall be reviewed and renewal of the decal shall be contingent upon satisfactory payment of the percentage fees and completion of the annual Rental Car Courtesy Vehicle inspection.
- (h) All Rental Car Courtesy Vehicles are subject to inspection by a representative of the Airport Director to determine if they are in an adequate state of repair.
- (i) The Airport Director or his representative, a police officer, or an Airport safety officer may inspect a Rental Car Courtesy Vehicle at any time while it is on the Airport. A vehicle found to be in an inadequate state of repair will be required to immediately leave the Airport and will not be permitted further access to the Airport until the noted deficiencies are corrected.
- (j) The Aviation Commission may suspend and/or revoke any Non-Concessionaire Rental Car Business Permit, including the non-concessionaire Rental Car Courtesy Vehicle decal. Such power of suspension and/or revocation may be exercised only upon the failure of the Non-Concessionaire Rental Car Provider to satisfy the conditions of this section or the Permit or for noncompliance with the Aviation Commission code regarding the operation of Rental Car Courtesy Vehicles.

# **Section 1-3-8.18 - Operational Procedures**

All Rental Car Courtesy Vehicles shall operate on the Airport in compliance with the Airport's operational procedures and all applicable federal, State and local laws.

# Section 1-3-8.19 - Percentage Fee

- (a) Each Non-Concessionaire Rental Car Provider offering rental car services from locations based outside the Airport shall pay to the Aviation Commission ten percent (10%) of all Gross Revenue derived by said Non-Concessionaire Rental Car Provider from the rental of motor vehicles to Airport Customers picked up by said Non-Concessionaire Rental Car Provider from any point within the Airport or returned by said Non-Concessionaire Rental Car Provider to any point within the Airport.
- (b) Each Non-Concessionaire Rental Car Provider shall submit to the office of the Airport Director, on or before the twentieth (20<sup>th</sup>) day of each month, a statement that sets forth:

- 1. The total gross revenue earned during the prior month; and
- 2. Information demonstrating to the satisfaction of the Airport Director which of the Non-Concessionaire Rental Car Provider's gross revenue during the prior month originated from Airport Customers and which gross revenue originated from non-Airport Customers.
- (c) It shall be presumed that ninety-five percent (95%) of all gross revenue earned by the Non-Concessionaire Rental Car Provider during the month for which the statement is submitted constituted Airport Customer-generated Gross Revenue, unless, and to the extent that, the Non-Concessionaire Rental Car Provider is able to demonstrate otherwise in its statement to the satisfaction of the Airport Director.
- (d) The statement of gross revenue shall be submitted together with the Non-Concessionaire Rental Car Provider's remittance in payment of the non-concessionaire rental car percentage fee incurred during the prior month. Each Non-Concessionaire Rental Car Provider shall submit a timely statement of gross revenue each month even if such Non-Concessionaire Rental Car Provider earned no Airport-generated Gross Revenue during the prior month (and therefore incurred no non-concessionaire rental car percentage fee during such prior month). In such case, the statement of gross revenue shall state the Non-Concessionaire Rental Car Provider's total gross revenue during the prior month and shall demonstrate to the satisfaction of the Airport Director that none of such revenue constituted Airport generated Gross Revenue.

#### Section 1-3-8.20 - Customer Facility Charge

- (a) The Aviation Commission will determine the amount adequate to cover the capital, financing, maintenance, marketing and operations allocable to the cost of providing infrastructure and facilities to the rental car industry and common use transportation equipment and facilities. In addition, the cost of collection, processing, enforcement of payment of the Customer Facility Charge, administration of the Customer Facility Charge and audits of all Concessionaire Rental Car Providers and Non-Concessionaire Rental Car Providers compliance with this Ordinance will be included in Customer Facility Charge. These amounts shall be the basis for calculating the Rental Car Customer Facility Charge.
- (b) The Customer Facility Charge shall be collected by Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider, as agent for the Aviation Commission, from customers and remitted to the Aviation Commission, as provided for below.
- (c) The Rental Car Customer Facility Charge shall be imposed on a transactional basis and shall be a fixed uniform amount applied each day, or fraction thereof, to each subject contract and shall be added to the amounts collected by Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider from the renter of the vehicle. The Rental Car Customer Facility Charge collected by Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider shall be the amount established by the Aviation Commission for all on-airport rental car operators at the Airport. It shall be collected from all customers of Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider, including customers receiving complimentary or discounted car rental under Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider's bona fide marketing plans.

- (d) An amount exactly equivalent to the Rental Car Customer Facility Charge collected or should have been collected by the Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider from customers shall be payable to the Aviation Commission. Such amount shall be immediately due to the Aviation Commission on collection by the Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider who shall be required to hold such amount in trust for the Aviation Commission's benefit. From the moment of collection, Customer Facility Charge proceeds shall be the Aviation Commission's property and Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider shall hold only a possessory interest, not an equitable interest, in these funds held in trust. The amount equivalent to that collected or which should have been collected shall be remitted by Concessionaire Rental Car Providers and Non-Concessionaire Rental Car Provider to Aviation Commission no later than the last day of each month.
- (e) Concessionaire Rental Car Providers and Non-Concessionaire Rental Car Providers shall maintain records and controls which are sufficient to demonstrate the correctness of the Rental Car Customer Facility Charge revenue collected and the amount of Rental Car Customer Facility Charges paid to the Aviation Commission. The records shall be subject to the same audit and review requirements as all other remittances as outlined in Section 11 of this Ordinance.
- (f) The current Rental Car Customer Facility Charge is three dollars and fifty cents (\$3.50) per Contract Day. As used in this Ordinance, "Contract Day" means each twenty-four (24) hour period, and each fraction thereof, during which a motor vehicle having been delivered by Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider to each customer at the Airport is rented by such customer from the Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider. Each fractional period less than a twenty-four (24) hour period shall be deemed a Contract Day. The Aviation Commission may adjust the Rental Car Customer Facility Charge annually, based on estimates of Contract Days for the upcoming year. Approximately 60 days prior to the end of the Aviation Commission's fiscal year (December 31, annually), the Aviation Commission shall calculate the revised Rental Car Customer Facility Charge and notify each Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider of the new Rental Car Customer Facility Charge. Any credits or shortfalls from the prior fiscal year, as determined by the Aviation Commission, shall carry forward to the next fiscal year. Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider shall provide its estimate of rental days for the upcoming fiscal year no later than October 1, annually.

After receiving the estimate for the adjusted Rental Car Customer Facility Charge, Concessionaire Rental Car Providers and Non-Concessionaire Rental Car Providers may request a meeting to discuss the estimated Rental Car Customer Facility Charge. The request for such a meeting shall be made within twenty (20) days after the forwarding of the estimated rate for the upcoming fiscal year.

The adjusted Rental Car Customer Facility Charge shall become effective on January 1 of each year.

(g) The number of transactions completed by Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider shall be reported to the Aviation Commission each month. The report, signed by an authorized agent of the Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider, is to be received no later than the last day of the month

- following such transactions and shall be remitted with the payment of the Rental Car Customer Facility Charge.
- (h) The Aviation Commission Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider acknowledge that it is anticipated that the individual members of the traveling public renting Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider's cars and directly benefiting from Airport infrastructure and facilities are to pay the Rental Car Customer Facility Charge on each transaction and that such renters are also subject to any sales tax imposed by the State for the lease or license of real property arising from the use of the facility. It shall be the responsibility of the Concessionaire Rental Car Provider and Non-Concessionaire Rental Car Provider to separately state any such tax liability on its rental contracts, to collect such tax and to remit it to the State.

#### Section 1-3-8.21 - Conditions of Permit

The Aviation Commission shall not issue a Non-Concessionaire Rental Car Business Permit, and if the Aviation Commission has issued such a Permit, may suspend and/or revoke that Permit, unless the subject Non-Concessionaire Rental Car Provider continuously complies with the provisions of this Ordinance and the Permit.

#### Section 1-3-822 - Suspension of Permit

- (a) The Airport Director may suspend any Non-Concessionaire Rental Car Business Permit upon the failure of the permitted Non-Concessionaire Rental Car Provider to continuously comply with any provision of this section or of the Permit, provided, however, that such suspension is to be imposed only following fourteen (14) days advance written notice to the Non-Concessionaire Rental Car Provider whose Permit is to be suspended.
- (b) A Non-Concessionaire Rental Car Provider whose Permit is suspended or subject to suspension may demonstrate to the Airport Director, at any time before or after such suspension has been imposed, that such Permittee is in compliance or has remedied its noncompliance or that it is making a good faith effort to do so.
- (c) If the Non-Concessionaire Rental Car Provider whose Permit is subject to suspension demonstrates that it has remedied its failure to satisfy the conditions of this section or the Permit, the Airport Director will remove the suspension of such Non-Concessionaire Rental Car Provider's Permit, if such suspension has been imposed, or shall abandon proceedings to suspend the Permit if such suspension has not yet been imposed.
- (d) If the Non-Concessionaire Rental Car Provider whose Permit is subject to suspension demonstrates that it is making a good faith effort to remedy its failure to comply with this section and/or the Permit (though it has not yet remedied such failure), the Airport Director may, at his discretion, remove the suspension of such Permittee's Non-Concessionaire Rental Car Business Permit, if such suspension has been imposed, or abandon proceedings to suspend the Permit if such suspension has not yet been imposed.
- (e) Once a Non-Concessionaire Rental Car Business Permit has been properly suspended, it shall remain suspended unless and until Permittee's noncompliance is remedied to the satisfaction of the Airport Director and its suspension is removed, or until the Permit is revoked.

(f) A Non-Concessionaire Rental Car Provider whose Permit has been properly suspended by the Airport Director may appeal the decision to the Aviation Commission.

#### Section 1-3-8.23 - Revocation of Permit

- (a) The Airport Director may revoke any Non-Concessionaire Rental Car Business Permit upon the failure of the Permittee to continuously comply with all provisions of this section and its Permit, provided, however, that:
  - 1. Such Permit has been properly suspended for at least thirty (30) days, and
  - 2. Permittee has been given thirty (30) days' advance written notice, which notice may be issued to the Non-Concessionaire Rental Car Provider holding such Permit only after the Permit has been suspended.
- (b) Upon revocation of its Non-Concessionaire Rental Car Business Permit, the Non-Concessionaire Rental Car Provider must immediately remove any rental car decals issued in connection with the revoked Permit from its Rental Car Courtesy Vehicles.
- (c) A Non-Concessionaire Rental Car Business Permit that has been revoked may not be reinstated. However, a Non-Concessionaire Rental Car Provider whose Permit has been revoked may apply for a new Permit after curing all causes of revocation.
- (d) The Airport Director may revoke, without notice, the Permit of any Non-Concessionaire Rental Car Provider if, at any time while such Permit is suspended, any of such Non-Concessionaire Rental Car Provider's vehicles seek to enter the Airport under the authority of the suspended Permit for the purpose of loading passengers for transport to or unloading passengers after transport from any facility of such Non-Concessionaire Rental Car Provider.

# Section 1-3-8.24 - Failure to Pay Percentage Fees and Customer Facility Charge Proceeds

- (a) If any Non-Concessionaire Rental Car Provider fails to submit any percentage fees and/or Customer Facility Charge Proceeds as required by this Ordinance by the end of the tenth (10<sup>th</sup>) day following the final day on which such remittance should have been submitted, the Non-Concessionaire Rental Car Provider shall pay interest to the County at the rate of eighteen percent (18%) per year (one-and-one-half percent (1.5%) per month) (or, if less, the maximum rate of interest allowed by law) on such overdue amounts calculated from the date on which such amounts should have been paid.
- (b) If any Concessionaire Rental Car Provider fails to submit any Customer Facility Charge Proceeds as required by this Ordinance by the end of the tenth (10th) day following the final day on which such remittance should have been submitted, the Concessionaire Rental Car Provider shall pay interest to the County at the rate of eighteen percent (18%) per year (one-and-one-half percent (1.5%) per month) (or, if less, the maximum rate of interest allowed by law) on such overdue amounts calculated from the date on which such amounts should have been paid.

# Section 1-3-8.25 - Records to Be Maintained by Permittee

(a) During and with respect to the term of any Non-Concessionaire Rental Car Business Permit issued to it, each Non-Concessionaire Rental Car Provider shall maintain such books and

records as would normally be examined by an independent certified public accountant in accordance with generally accepted auditing standards in performing an audit or examination of Permittee's revenues and gross revenue in accordance with generally accepted accounting principles and this section.

- (b) Each Non-Concessionaire Rental Car Provider to whom a Non-Concessionaire Rental Car Business Permit is issued shall make all records available for inspection by the Airport Director and/or his duly authorized representative(s), during reasonable business hours, for a period of not less than three (3) years following the end of the term of the Permit to which such records relate; provided, however, that no such inspection will be conducted at a time or in a manner that causes undue interference with the business of the Non-Concessionaire Rental Car Provider.
- (c) The Non-Concessionaire Rental Car Provider may make such records available for inspection at a specified place in Augusta, Georgia, or at its corporate headquarters. In the event that the inspection of such records is made at the Non-Concessionaire Rental Car Provider's corporate headquarters, and said corporate headquarters are located outside the limits of the County, then the Non-Concessionaire Rental Car Provider shall reimburse the County for all reasonable travel expenses associated with travel by the Airport Director and/or his duly authorized representative(s) to the Non-Concessionaire Rental Car Provider's corporate headquarters for the inspection of such records.

# Section 1-3-8.26 - Failure to Submit Statement of Gross Revenue and Customer Facility Charge Report

(a) If, in any month, any Concessionaire Rental Car Provider or Non-Concessionaire Rental Car Provider fails to submit a timely statement of gross revenue and Customer Facility Charge Report, as required by Section 5 of this Ordinance, at the end of the thirtieth (30th) day following the final day on which such timely statement should have been submitted, the Aviation Commission may, at its discretion, perform, or hire an agent to perform, an audit of Concessionaire Rental Car Provider or Non-Concessionaire Rental Car Provider 's various books and records (including, but not limited to, the records that such Concessionaire Rental Car Provider or Non-Concessionaire Rental Car Provider is required to maintain under the provisions of this Ordinance) to determine Concessionaire Rental Car Provider or Non-Concessionaire Rental Car Provider's gross revenue and Customer Facility Charge requirement during the month that would have been the subject of such timely statement of gross revenue and Customer Facility Charge report. The Concessionaire Rental Car Provider or Non-Concessionaire Rental Car Provider shall, within thirty (30) days of receipt of an invoice from the Aviation Commission therefor, reimburse the Aviation Commission for its reasonable cost of performing or of hiring an agent to perform, such audit.

#### Section 1-3-8.27 -Term of Permit

(a) The term of such Non-Concessionaire Rental Car Business Permit shall extend from the date it is issued until either midnight on the 31st day of December next following the date it was issued or the date on which such Permit is revoked, whichever is earlier. The Rental Car Courtesy Vehicle decals issued in connection with a Permit shall expire at the end of the term of such Permit.

(b) On the first day of January of each succeeding year, the term of the Non-Concessionaire Rental Car Business Permit shall be extended automatically for successive one (1) year periods, unless said Permit is earlier suspended or revoked. If a suspension is in effect on January 1, the Non-Concessionaire Rental Car Provider shall remedy all failures to comply with the provisions of this Ordinance and shall apply for a new Non-Concessionaire Rental Car Business Permit before any such Permit may be issued.

#### Section 1-3-8.28 - Permit Non-Transferable

(a) No Non-Concessionaire Rental Car Business Permit, and no rental car decal issued in connection with such Permit, may be transferred, assigned, loaned, or used in any way by any person or entity other than the Non-Concessionaire Rental Car Provider to whom such Permit was issued or the Operator of a Rental Car Courtesy Vehicle operated under agreement with such Non-Concessionaire Rental Car Provider.

Approved:	AVIATION COMMISSION: Approved:
Clas	Douglas friel
David Copenhaver, Mayor	Douglas Lively Chairman
3/18/14 Attest:	Attest:
Dancy W. Morawski	Lefi E. Chu
Clerk of Commission	Commission Secretary
Clerk (Seal)	Secretary (Seal)
Contract of the second	
Approved as to form:	
O. Low M. Mars land	

County Attorney



# **Commission Meeting**

September 5, 2023

ART Freight Plan Update to Metro Analytics

**Department:** Planning and Development

**Presenter:** Carla Delaney or Department Designee

**Caption:** Motion to **approve** bid award contract for RFQ# 23-153 ARTS Freight Plan

Update to Metro Analytics. (Approved by Public Services Committee

August 29, 2023)

On March 28, 2022, the Augusta Regional Transportation Study (ARTS) **Background:** 

Metropolitan Planning Organization (MPO) was approved for a \$300,000 grant from the Georgia Association Metropolitan Planning Organization (GAMPO) to complete the ARTS Freight Plan. On November 1, 2022, the Augusta-Richmond County Commission accepted the GAMPO grant award for the ARTS Freight Plan. On August 3, 2023, with the help of the Augusta

Procurement Department, Metro Analytics was deemed the successful

consultant to complete the ARTS Freight Plan update. The ARTS consists of Aiken, Augusta, Columbia, and Edgefield County. The last Freight Study

was completed in 2009.

N/A **Analysis:** 

\$300,000 has been earmarked in the 2023 City of Augusta's budget to cover **Financial Impact:** 

the expense.

The contract will utilize \$263,958.32 of the \$380,000.00 planned.

The funding source(s) are outlined as follows:

FHWA-GA-PL= Up to \$240,000.00

Augusta Planning and Development Local Match Up to \$60,000.00 which has been budgeted in 220016309-3911101. Finance and the Administrator's

Office approved the local match on September 9, 2022.

Aiken Local Match: Up to \$80,000.00

**Alternatives:** Forfeiture of the funds and the ARTS Freight Plan will remain outdated.

Planning & Development seeks approval to award the ARTS Freight Plan **Recommendation:** 

contract to Metro Analytics in the amount of \$263,958.32.

Funds are available in the following accounts: The contract will utilize \$263,958.32 of the \$380,000.00 planned. The budget

is in 220016309-5212999.

**REVIEWED AND** N/A **APPROVED BY:** 

#### Title\*

Motion to approve bid award contract for RFQ# 23-153 ARTS Freight Plan Update to Metro Analytics.

#### **Agenda Category**

**Planning** 

#### **Department:**

Planning and Development

#### Presenter:

Carla Delaney or Department Designee

#### Caption:

Motion to approve bid award contract for RFQ# 23-153 ARTS Freight Plan Update to Metro Analytics.

#### **Background:**

On March 28, 2022, the Augusta Regional Transportation Study (ARTS) Metropolitan Planning Organization (MPO) was approved for a \$300,000 grant from the Georgia Association Metropolitan Planning Organization (GAMPO) to complete the ARTS Freight Plan. On November 1, 2022, the Augusta-Richmond County Commission accepted the GAMPO grant award for the ARTS Freight Plan. On August 3, 2023, with the help of the Augusta Procurement Department, Metro Analytics was deemed the successful consultant to complete the ARTS Freight Plan update. The ARTS consists of Aiken, Augusta, Columbia, and Edgefield County. The last Freight Study was completed in 2009.

#### **Analysis:**

N/A

#### **Summary Financial:**

\$300,000 has been earmarked in the 2023 City of Augusta's budget to cover the expense.

The contract will utilize \$263,958.32 of the \$380,000.00 planned.

The funding source(s) are outlined as follows:

FHWA-GA-PL= Up to \$240,000.00

Augusta Planning and Development Local Match Up to \$60,000.00 which has been budgeted in 220016309-3911101. Finance and the Administrator's Office approved the local match on September 9, 2022.

Aiken Local Match: Up to \$80,000.00

#### **Alternatives:**

Forfeiture of the funds and the ARTS Freight Plan will remain outdated.

## Recommendation:

Planning & Development seeks approval to award the ARTS Freight Plan contract to Metro Analytics in the amount of \$263,958.32.

## **Funds:**

The contract will utilize \$263,958.32 of the \$380,000.00 planned. The budget is in 220016309-5212999.

# **Request for Qualifications**

Request for Qualifications will be received at this office until Monday, March 27, 2023 @ 11:00 a.m. via ZOOM Meeting ID: 860 9933 2338; Passcode: 183049 for furnishing:

RFQ Item #23-153 ARTS Regional Freight Plan Update for Augusta, GA – Planning Development Department

RFQs will be received by: The Augusta Commission hereinafter referred to as the OWNER at the offices of:

Geri A. Sams, Director Augusta Procurement Department 535 Telfair Street - Room 605 Augusta, Georgia 30901

RFQ documents may be viewed on the Augusta Georgia web site under the Procurement Department ARCbid. RFQ documents may be obtained at the office of the Augusta, GA Procurement Department, 535 Telfair Street – Room 605, Augusta, GA 30901 (706-821-2422).

All questions must be submitted in writing by fax to 706 821-2811 or by email to <a href="mailto:procbidandcontract@augustaga.gov">procbidandcontract@augustaga.gov</a> to the office of the Procurement Department by Friday, March 17, 2023 @ 5:00 P.M. No RFQ will be accepted by fax or email, all must be received by mail or hand delivered.

No RFQ may be withdrawn for a period of **90 days** after RFQ have been opened, pending the execution of contract with the successful bidder(s).

Request for qualifications (RFQ) and specifications. An RFQ shall be issued by the Procurement Office and shall include specifications prepared in accordance with Article 4 (Product Specifications), and all contractual terms and conditions, applicable to the procurement. All specific requirements contained in the request for qualification including, but not limited to, the number of copies needed, the timing of the submission, the required financial data, and any other requirements designated by the Procurement Department are considered material conditions of the bid which are not waivable or modifiable by the Procurement Director. All requests to waive or modify any such material condition shall be submitted through the Procurement Director to the appropriate committee of the Augusta, Georgia Commission for approval by the Augusta, Georgia Commission. Please mark RFQ number on the outside of the envelope.

**GEORGIA E-Verify and Public Contracts:** The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, **regardless of the number of employees**. They may be exempt from this requirement if they have no employees and do not plan to hire employees for the purpose of completing any part of the public contract. Certain professions are also exempt. All requests for qualification issued by a city must include the <u>contractor affidavit</u> as part of the requirement for their bid to be considered.

Respondents are cautioned that acquisition of RFQ documents through any source other than the office of the Procurement Department is not advisable. Acquisition of RFQ documents from unauthorized sources places the proponent at the risk of receiving incomplete or inaccurate information upon which to base their qualifications.

Correspondence must be submitted via mail, fax or email as follows:

Augusta Procurement Department Attn: Geri A. Sams, Director of Procurement 535 Telfair Street, Room 605 Augusta, GA 30901

Fax: 706-821-2811 or Email: procbidandcontract@augustaga.gov

GERI A. SAMS, Procurement Director

Publish:

Augusta Chronicle February 23, 2023, and March 2, 9, 16, 2023

Metro Courier February 23, 2023

Revised: 3/22/21



RFQ Item #23-153 ARTS Regional Freight Plan Update for Augusta, GA – Planning and Development Department Bid Date: Monday, Monday, April 3, 2023 @ 11:00 a.m.

Total Number Specifications Mailed Out: 22

Total Number Specifications Download (Demandstar): 6

Total Electronic Notifications (Demandstar): 262

Georgia Procuement Registry: 2204

Total Packages Submitted: 2

Total Noncompliant: 0

Vendors	Attachment "B"	E-Verify Number	Addendum 1	SAVE Form	Original	Copies 7
WSP USA INC. 3340 Peechtree Road, NE, Tower Place 100, Suite 2400 Atlanta, GA 30326	Yes	568440	Yes	Yes	Yes	Yes
Metro Analytics, PLLC 14030 Harvington Dr. Hunterville, NC 28078	Yes	1297287	Yes	Yes	Yes	Yes



Procurement Department Completion Date:

\_5/18/23\_

#### Evaluation Sheet RFQ Item #23-153 ARTS Regional Freight Plan Update

# for Augusta, GA – Planning and Development Department RFQ Evaluation Date: Wednesday, May 3, 2023 @ 3:00 p.m.

Vendors			WSP USA INC. 3340 Peechtree Road, NE, Tower Place 100, Suite 2400 Atlanta, GA 30326	Metro Analytics, PLLC 14030 Harvington Dr. Hunterville, NC 28078	WSP USA INC. 3340 Peechtree Road, NE, Tower Place 100, Suite 2400 Atlanta, GA 30326	Metro Analytics, PLLC 14030 Harvington Dr. Hunterville, NC 28078	
Phase 1			Ranking of 0-5 (Enter a n	umber value between 0			
Evaluation Criteria	Ranking Points Scale 0 (Low) to 5 (High) Wei		s Scale 0 (Low) to 5 (High)		Weighted	hted Scores	
1. Completeness of Response  Package submitted by the deadline  Package is complete (includes requested information as required per this solicitation)  Attachment B is complete, signed and notarized	N/A	Pass/Fail	PASS	PASS	PASS	PASS	
2. Qualifications & Experience	(0-5)	20	4.7	4.7	93.7	94.3	
3. Organization & Approach Include	(0-5)	20	4.3	4.4	85.1	88.6	
4. Scope of Services: Firms experience and understanding of the scope of service and task included in Section IV:  •Project Understanding, Technical Approach, and knowledge of federal and state requirements for Freight Planning.  •Pemonstrated examples and experience in the development of Freight Plans. This experience should include, multi-modal planning, public involvement and stakeholder engagement, and cost estimating for freight projects.  •Enowledge of establishing criteria to evaluate and rank freight improvements and projects.	(0-5)	25	4.1	4.4	102.9	110.7	
5. Schedule of Work	(0-5)	10	4.6	4.9	45.7	48.6	
5. Financial Stability	(0-5)	5	4.7	3.7	23.6	18.6	
7. References	(0-5)	5	4.4	5.0	22.1	25.0	
Phase 1 Total - (Total Maximum Ranking 30 - Maximum Weighted Total Possible 425)			26.8	27.1	373.1	385.7	
Phase 2 (Option - Numbers 9-10 (Vendors May Not Receive Less T	han a 3 Ra			· ·			
9. Presentation by Team	(0-5)	10	4.7	5.0	46.7	50.0	
LO. Q&A Response to Panel Questions	(0-5)	5	4.8	5.2	23.8	25.8	
Total Phase 2 - (Total Maximum Ranking 10 - Maximum Weighted Total Possible 75)			9.4	10.2	70.4	75.8	
Total (Total Possible Score 500) Total (May not Receive Less Than a 3 Rankin	g in Any Cat	egory to be (	Considered for Award)				
Total Cumulative Score (Maximum point is 500)			36.2	37.3	443.6	461.5	
			al Use Only				
Evaluator:Cumulative Date:	_5/18/23_						
Procurement DepartmentRepresentative:Nancy Williams							



# PLANNING & DEVELOPMENT DEPARTMENT

535 Telfair Street • Suite 300 Augusta Georgia 30901 1803 Marvin Griffin Road Augusta, Georgia 30906

#### **AWARD RECOMMENDATION**

TO:

Geri Sams, Procurement

FROM:

Carla Delaney

**DATE:** 

May 30, 2023

**CONTRACTOR:** 

METRO ANALYTICS, PLLC 14030 HARVINGTON DR. HUNTERVILLE, NC 28078

**PROJECT:** 

RFQ 23-153 - ARTS Regional Freight Plan Update

Good afternoon Ms. Sams,

This letter represents a recommendation from the evaluation committee to award Metro Analytics, PLLC. the RFQ 23-153 for the ARTS Regional Freight Plan Update.

The evaluation committee scored Metro Analytics, PLLC. the highest of all participating consultants and recommends that negotiations start as soon as possible.

Sincerely,

Carla Delaney

Director, Planning and Development Department

Cc: Nar

**Nancy Williams** 

Darrell White

Carla Delaney

**Brian Kepner** 

RS&H CONSULTANTS ATTN: STEVE COTE 730 PEACHTREE STREET N.E. SUITE 430 ATLANTA, GA 30308

POND COMPANY 621 NW FRONTAGE RD. SUITE 320 AUGUSTA, GA 30907

WSP MANAGING DIRECTOR 3340 PEACHTREE ROAD NE SUITE 2400 ATLANTA, GA 30326

VHB 1355 PEACHTREE ST. NE SUITE 100 ATLANTA, GA 30309

TSW 1447 PEACHTREE STREET, NE SUITE 850 ATLANTA, GA 30309

CRANSTON ENGINEERING 452 ELLIS STREET AUGUSTA, GEORGIA 30901

KIMLEY-HORN 817 W PEACHTREE ST NW THE BILTMORE, SUITE 601 ATLANTA, GA 30308 CAMBRIDGE SYSTEMATICS MANAGING DIRECTOR 730 PEACHTREET STREET N.E. SUITE 500 ATLANTA, GA 30308

AECOM ATTN: GARRICK EDWARDS 1360 PEACHTREE STREET N.E. SUITE 500 ATLANTA, GA 30309

ATKINS MANAGING DIRECTOR 1600 RIVEREDGE PARKWAY, NW SUITE 700 ATLANTA, GA 30328

STANTEC CONSULTING 521 EAST MOREHEAD ST. SUITE 425 CHARLOTTE, NC 28202-2695

ALTA PLANNING & DESIGN 711 SE GNAND AVENUE PORTLAND, OR 97214

KIMLEY-HORN 554 EAST GORDON STREET SUITE 200 SAVANNAH, GA 31401

BENESCH 1005 BROAD STREET, STE 200 AUGUSTA, GA 30901

CARLA DELANEY
PLANNING AND DEVELOPMENT

RFQ ITEM #23-153
AUGUSTA REGIONAL TRANSPORTATION STUDY 2045
METROPOLITAN TRANSPORTATION PLAN UPDATEPERFORMANCE BASED MULTIMODAL
TRANSPORTATION PLAN-AUGUSTA, GA-PLANNING AND
DEVELOPMENT DEPARTMENT
RFQ MAILED: 2/7/19

GRESHAM SMITH & PARTNERS MANAGING DIRECTOR
600 WEST PEACHTREE STREET N.W.
SUITE 1550
ATLANTA, GA 30308

CDM SMITH ATTN: DEBRA JAMES 3200 WINDY HILL RD SE SUITE 210 W ATLANTA, GA 30339

NELSON/NYGAARD ATTN: MANNY GARCIA 215 PARK AVENUE SOUTH 6<sup>TH</sup> FLOOR NEW YORK, NY 10003

RK&K 2100 EAST CARY ST., SUITE 309 RICHMOND, VA 23223

POND CO. 3500 PARKWAY LANE, SUITE 500 PEACHTREE CORNERS, GA 30092

GOODWYN MILLS CAWOOD 801 BROAD STREET SUITE 900 AUGUSTA, GA 30901

**PHYLLIS MILLS JOHNSON** 

**COMPLIANCE OFFICE** 

JOHNSON LASCHOBER & ASSOCIATES 1296 BROAD STREET AUGUSTA, GA 30901

RFQ ITEM #23-153 AUGUSTA REGIONAL TRANSPORTATION STUDY 2045 METROPOLITAN TRANSPORTATION PLAN UPDATE-

METROPOLITAN TRANSPORTATION PLAN UPDATEPERFORMANCE BASED MULTIMODAL
TRANSPORTATION PLAN-AUGUSTA, GA-PLANNING AND
DEVELOPMENT DEPARTMENT

RFQ DUE: FRIDAY, 3/15/19@ 11:00 a.m.

60

simpledu ∠ach@simpledu.org N NOM Sheppard, Zach

**ETHNIC GROUP** COUNT African American 121 33 Asian American **Native American** 7 9 Hispanic/Latino 2 Pacific Island/American Non Minority 1071 **Not Classified** 0 Total Number of Vendors 1243 Total Number of Contacts 2204

PR\_bid\_email\_list

# **Planholders**

**Add Supplier** 

**Export To Excel** 

# Supplier (6)

Supplier ₹↓	Download Date	oad Date	
Augusta quality surplus	03/05/2023	:9	
Cambridge Systematics, Inc.	02/28/2023		
JLUL LOGISTICS LLC	02/28/2023		
Onvia, Inc Content Department	02/24/2023		
Total Quality Logistics	03/02/2023		
YOWHI Transportation	03/03/2023		

**Add Supplier** 

# **Supplier Details**

Supplier Name Augusta quality surplus

Contact Name Marcus Evans

Address 1021 Country Place Dr , Augusta, GA 30906

Email fifitz706@gmail.com

**Phone Number** 706-726-7005

#### **Documents**

Filename	Туре	Action
23-153_RFQ	Bid Document / Specifications	View History
23-153_ADD1	Addendum	View History

# AUGUSTA REGIONAL TRANSPORTATION STUDY (ARTS) METROPOLITAN PLANNING ORGANIZATION (MPO) PROFESSIONAL SERVICES AGREEMENT

This PROFESSIONAL SERVICES AGREEMENT BETWEEN THE AUGUSTA REGIONAL TRANSPORTATION STUDY (ARTS) METROPOLITAN PLANNING ORGANIZATION (MPO) AND THE CONSULTANT (the "Agreement") is made and entered into effective the date last signed below by and between the Augusta Regional Transportation Study ("ARTS") Metropolitan Planning Organization ("MPO") and Metro Analytics, PLLC ("Consultant") (individually referred to as "Party" and collectively as "Parties"). This Agreement is for the Consultant to perform certain professional services (the "Services").

NOW, THEREFORE, in consideration of the mutual promises, covenants and agreements stated herein, and for other good and valuable consideration, the sufficiency of which is hereby acknowledged, MPO and Consultant agree as follows:

#### 1. Term.

The "Effective Date" of this Agreement shall be the date said Agreement is last signed below. The time period from the Effective Date through the end of the Contract Time, and the satisfactory completion of the Project if later, shall be the "Term".

#### 2. Definitions.

Wherever used in this Agreement, whether in the singular or in the plural, the following terms shall have the following meanings:

#### 2.1 Change Order.

Change Order shall mean a written order to Consultant executed by MPO, and sent to Consultant after execution of a Task Work Order, authorizing and directing a change in the Work and/or the Contract Time, or any combination thereof.

#### 2.2 MPO.

The MPO means the Augusta Regional Transportation Study Metropolitan Planning Organization, located in Augusta, Georgia.

#### 2.3 Contract.

The Contract includes the Contract Documents and is the entire and integrated agreement between the Parties hereto and supersedes prior negotiations, representations, or agreements, whether written or oral.

#### 2.4 Contract Documents.

The Contract Documents consist of: this Agreement between MPO and Consultant; Change Orders, Amendments to this Agreement executed by MPO and Consultant; executed Task Work Orders; Drawings, Specifications, Exhibits, and Addenda issued in connection with executed Task Work Orders; and agreed Change Orders and Amendments to executed Task Work Orders.

#### 2.5 Contract Execution Date.

Contract Execution means the date on which Consultant executes and enters into a Task Work Order.

#### 2.6 Contract Price.

Contract Price means the total monies, adjusted in accordance with any provision herein, payable to the Consultant pursuant to a Task Work Order.

#### 2.7 Contract Time.

Contract Time means the period of time stated in a Task Work Order for the completion of the Work. Time is of the essence.

#### 2.8 Consultant.

Consultant means Metro Analytics, PLLC.

#### 2.9 Drawings.

The drawings are the graphic and pictorial portions of the Contract Documents, whether completed or partially completed.

#### 2.10 Liaison.

The representative of the MPO who shall act as Liaison between the MPO and the Consultant for all matters pertaining to this Agreement, including review of Consultant's plans, drawings, schedule, invoicing, documentation, report, and Work, unless otherwise specified in writing by MPO. At the time of execution of this Agreement, the liaison is <u>Carla Delaney</u>. The MPO may at any time and at its sole discretion change the liaison and, if so changed, shall notify the Consultant via electronic mail.

#### 2.11 Project.

Project means a task or set of tasks assigned pursuant to a Task Work Order. It shall have a scope of Work, Milestone dates, and dates for Substantial Completion and Final Completion. Project shall also mean a task or set of tasks assigned without a separate Task Work Order.

#### 2.12 Subconsultant.

Subconsultant means any person, firm, partnership, joint venture, company, corporation, or entity having a contractual agreement with Consultant or with any of its subconsultants at any tier to provide any portion of the Work called for by this Agreement. The Consultant shall notify the MPO of all Subconsultants prior to engaging said subconsultant. The MPO shall have the right to approve or disapprove the subconsultant at the MPO's sole discretion.

#### 2.13 Supplier.

Supplier means an entity providing only equipment or materials for the performance of the Work.

#### 2.14 Task Work Order.

A Task Work Order means a written order to Consultant signed by the MPO and accepted by Consultant, assigning a Project to Consultant. Each Task Work Order undertaken pursuant to this Agreement shall include or incorporate by reference, at least the following information:

- (a) the specific Work to be performed by Consultant;
- (b) any Work product or other deliverables to be produced by Consultant and delivered to MPO in connection with the Work;
- (c) the Contract Time;
- (d) any unique Final Completion criteria for the Work;
- (e) a description of all required progress meetings and the personnel required to participate;
- (f) a description of all Milestone Dates;
- (g) a list of the Parties' representatives;
- (h) any special Intellectual Property provisions;
- (i) the method for calculating the Contract Price;
- (j) the compensation method;
- (k) any special termination provisions;
- (l) any assumption(s) on which performance of the professional Work is conditioned;
- (m) any additional terms and conditions; and
- (n) any special warranty provisions.

#### 2.15 Work.

Work means all the work required by the Task Work Order and includes services provided or to be provided by Consultant to fulfill Consultant's obligations under a Task Work Order, and shall be recognized as instruments of professional Services.

#### 3. Compensation.

- 3.1 For Work satisfactorily performed pursuant to this Agreement, MPO shall pay Consultant the fee documented in the project specific Task Work Order. Consultant is not authorized to begin Work, and MPO is not obligated to pay compensation, unless pursuant to a Task Work Order. Work will be performed and reimbursed on payment terms agreeable to both Parties (*i.e.*, lump sum, hourly, etc.). Any proposed unit rates are to be broken out by labor category and included in a Task Work Order. Any unique unit rates or costs related to outside Subconsultants contracted to the Consultant to provide specialized services for specific Work tasks will be included in the Project specific Task Work Orders. Consultant will update the MPO every month regarding incurred fees for the various Projects executed under this Agreement. Consultant will also update MPO on Project progress and schedules monthly to ensure timely completion of Work.
- 3.2 The labor category unit rates are included in a Task Work Order and apply to those employees of the Consultant who are engaged in providing professional Services under this Agreement. In addition to the customary overhead items, the following costs are specifically defined as overhead charges and there shall be no additional charges for these costs: telephone charges, computer expenses, use of company vehicles, in-house reproduction, photocopying, and routine expendable/office supplies. Direct expenses (including Subconsultants hired by the Consultant) will be invoiced at cost times 1.1 to help mitigate cost of accounting and liability.

3.3 The MPO reserves the right to insert a liquidated damages provision in any Task Work Order subject to Consultant's right to decline acceptance of such Task Work Order.

#### 4. Scope of Services.

Consultant shall provide professional Services to the MPO as set forth in a Task Work Order.

#### 5. Relationship between the Parties

The relationship between MPO and Consultant is that of an independent Consultant and nothing in this Agreement shall be deemed or construed to make Consultant (nor any of its employees, agents, or Subconsultants) an agent, employee, partner, joint venture, or legal representative of MPO for any purpose whatsoever. Consultant shall have no authority to accept any order or make any offer or to execute any instrument or to assume or otherwise create any responsibility or commitment, express or implied, on behalf of or in the name of MPO or to bind MPO in any matter or thing whatsoever. Consultant shall be fully responsible for the Work, deliverables, materials, and the acts, omissions, defaults, and negligence of any Subcontractor or Subconsultant, their agents or employees as fully as if they were the acts, defaults, and neglects of Consultant or those of agents or employees of Consultant. Consultant will have the sole responsibility of paying the salaries, taxes (including, but not limited to, Federal Social Security Taxes and Federal and State Unemployment Taxes and withholding), Worker's Compensation Insurance, and all other expenses relating to each such employee, agent, or Subconsultant of Consultant, and for paying all other costs incurred in performing the Services.

#### 6. Personnel, Subconsultants and Suppliers.

#### 6.1 Terms of Subcontracts.

All subcontracts and purchase orders with Subconsultants shall afford Consultant rights against the Subconsultant which correspond to those rights afforded to MPO against Consultant herein, including those rights of Contract suspension, termination, and stop work orders as set forth herein. It is expressly agreed that no relationship of agency, employment, contract, obligation or otherwise shall be created between MPO and any Subconsultant of Consultant and a provision to this effect shall be inserted into all agreements between Consultant and its Subconsultants.

#### 6.2 Consultant Responsible for Acts and Omissions of Its Subconsultants.

Should Consultant subcontract all or any part of the Work, such subcontracting of the Work shall not relieve Consultant of any liability or obligation under the Contract or under any applicable policy, law, or regulation, and Consultant shall be responsible for all and any acts, defaults, omissions, or negligence of its Subconsultants, Suppliers, and consultants. The Consultant shall not subcontract all or any part of the Work without the express, written permission of the MPO to be given or not given by the MPO at its sole discretion.

#### 6.3 Personnel.

Consultant shall employ and assign only qualified and competent personnel to perform any Services or Work concerning a Project. Prior to the commencement of any Work, Consultant shall designate one such person as a Project Manager. Absent written instruction from Consultant to the contrary, a Project Manager shall be deemed to be Consultant's authorized representative and shall be authorized to receive and accept any and all communications from MPO.

#### 6.4 Removal of Subconsultants and Personnel.

If, at any time during the course of the Work, MPO determines in its sole discretion that the performance of any Subconsultant or any member of Consultant's staff working on the Work is unsatisfactory, MPO's Liaison may require Consultant to remove such Subconsultant or staff member from the Work immediately and replace the staff member at no cost or penalty to MPO for delays or inefficiencies the change may cause.

#### 6.5 Notice of Personnel Changes.

No changes or substitutions shall be permitted in the Consultant's key personnel without the prior written approval of MPO.

#### 6.6 Supervision of the Work.

The Work shall be supervised and directed by Consultant who shall bear full responsibility for any and all acts or omissions of those engaged in the Work on behalf of Consultant.

#### 7. Standard of Care.

Work performed by Consultant under a Task Work Order shall be performed in accordance with that degree of care and skill ordinarily exercised by members of Consultant's profession practicing at the same time in the same location, and in compliance with applicable federal, state, and local statutes, rules, and regulations. Consultant further represents all personnel providing services or Work on the Project shall be properly experienced, professional, competent, and properly licensed and qualified in all governmental jurisdictions in which the Work is to be performed. Consultant shall furnish such evidence relating to the qualifications of its personnel and the Consultant's ability to perform fully its Work in accordance with the Contract. Unqualified Consultant personnel, or Consultant personnel otherwise reasonably objected to by MPO, shall be promptly replaced. All labor furnished to progress the Work under the Contract will be competent to perform the tasks undertaken and will yield only quality results in compliance with a Task Work Order. Consultant will at all times in good faith perform the Work. Any and all Work not conforming to these requirements shall be considered defective and shall constitute a breach of the Contract. The obligations in this Agreement shall be deemed cumulative and shall not be deemed alternative or exclusive, nor shall they be deemed to alter or limit any other. The MPO shall not be liable or responsible for the accuracy of the Work or any error or omission in any phase of the Work. The Consultant shall have the sole liability and responsibility for its Work and that it is in federal, state, and local compliance, and that neither the MPO nor any other governmental entities are out of compliance due to the Consultant or Word done by the Consultant, its employees, agents, or Subconsultants.

#### 8. Payment to Consultants.

8.1 For each specific item or subset of Work authorized under a Task Work Order, MPO shall pay the Consultant on the basis of the method specifically set forth in a Task Work Order. Each invoice shall be accompanied by a letter progress report, which outlines the Work accomplished during the billing period, the percentage of the Work completed, the percentage of the budget expended, and any problems which may affect a Project's execution.

- 8.2 Payments for services shall be made monthly in proportion to services performed. Payments are due and payable upon presentation of Consultant's invoice. Amounts unpaid thirty (30) days after the invoice date shall bear interest of as set forth in O.C.G.A. §7-4-2(a)(1)(A) (currently 7% simple interest per annum).
- 8.3 The Consultant shall not perform Work on any phase or task of a Project that will result in costs that will exceed the budget specified for such Task Work Order without the written consent of MPO.
- 8.4 There will be no payments for overtime billing. Overtime may be performed at the discretion of the Consultant, but the premium time portion of the overtime will not be billed to the MPO.
- **8.5** Reimbursable Expenses are not in addition to compensation as set forth in this Contract unless specifically agreed to by the MPO in writing, and include expenses incurred by the Consultant and the Consultant's consultants directly related to the Project, as follows:
  - 1. Printing, reproductions, plots, and standard form documents, not included in the Scope of Work.
  - 2. Renderings, physical models, mock-ups professional photography, and presentation materials requested by the Owner, not included in the Scope of Work.

#### 8.6 Final Payment.

Upon completion by the Consultant of the Work, including the receipt of any final written submissions and the approval thereof by the authorized MPO representative, the MPO will pay the Consultant all amounts earned. The MPO incurs no obligation to pay the Consultant for 100 percent of the not-to-exceed amount. Payment will only be made for the amounts earned. The Consultant agrees that acceptance of final payment shall be in full and final settlement of all claims arising against the MPO for Work performed, materials furnished, costs incurred, or otherwise arising out of a Task Work Order and releases the MPO from any and all further claims of whatever nature, whether known or unknown, for and on account of said Task Work Order, and for any and all Work performed, and labor and materials furnished, in connection with same.

#### 9. Changes in Work and Extensions of Time.

#### 9.1 MPO's Right to Order Changes.

Change Order shall mean a written order to Consultant executed by MPO, issued after execution of a Task Work Order, authorizing and directing a change in the Work and/or the Contract Time, or any combination thereof.

#### 9.2 Adjustments to Contract Price or Contract Time.

Presentation by the MPO of a Change Order and the execution of a Change Order by Consultant shall constitute conclusive confirmation of Consultant's agreement to the ordered changes in the Work, the Contract Price, or the Contract Time, if any, as amended.

#### 9.3 Effect of Executed Change Order.

The presentation to and execution of a Change Order by Consultant shall constitute conclusive confirmation of Consultant's agreement to the ordered changes in the Work, the Contract Price, or the Contract Time, if any, as amended.

# 10. Termination without cause by the MPO.

- 10.1 The MPO may for any reason, or no reason whatsoever terminate performance under this Agreement by the Consultant without cause and at the sole discretion of the MPO. The MPO need not provide a reason for termination of this Agreement under this section. The MPO shall give written notice of such termination to the Consultant specifying when termination becomes effective, which must be a minimum of ten calendar (10) days from the date the Consultant receives the written notice.
- 10.2 This Agreement shall terminate immediately and absolutely at such time as appropriated and otherwise unobligated funds or other revenues are no longer available to satisfy the obligations of the MPO under this Agreement.
- 10.3 The Consultant shall incur no further obligations in connection with the Work and the Consultant shall stop Work when any such termination notice is received by the Consultant from MPO. The Consultant shall also terminate outstanding orders and subcontracts and reasonably mitigate against any costs or losses associated with the termination of such affected orders and subcontracts.
- 10.4 Within ten (10) calendar days of receipt by the Consultant of termination under this section, the Consultant shall transfer title and deliver to the MPO such completed or partially completed Work, including but not limited to hard copies and electronic copies, and materials, equipment, parts, fixtures, information, and Contract rights as the Consultant has.
- 10.5 Within thirty (30) days after its termination under this section, the Consultant shall submit a termination claim to the MPO specifying the amounts due for the Work completed or partially completed through the date of Consultant's receipt of notice of termination together with costs, pricing, or other data required by the MPO. The claim shall be signed by an officer of the Consultant under oath and under penalty of perjury. If the Consultant fails to file a complete and proper claim within the time required herein, any such claim shall be deemed waived and no further sums will be due the Consultant. The total sum to be paid the Consultant under this Subsection 11.5 shall not exceed the total Contract Price, as properly adjusted, reduced by the amount of payments otherwise made and amounts not due for Work that has not performed, and shall in no event include duplication of payment. Payment of the sums due hereunder shall constitute full and complete satisfaction of all sums due Consultant for the termination of the Contract for convenience.

#### 11. Termination for Cause.

If Consultant breaches any provision of this Agreement, MPO may give notice to Consultant of such breach in writing. If the breach is not cured within ten (10) calendar days of receipt of such notice, Consultant shall be in default hereunder and MPO may, at its sole discretion, elect to terminate the Agreement, or to continue the Agreement subject to receiving adequate assurances of performance from Consultant. In the event that MPO terminates this Agreement pursuant to this Section, MPO shall not be required to make any payments to Consultant with respect to material that has not been delivered or Work that have not been performed as of the date of termination. If the sum of all previous deposits and payments under this Agreement with respect to the Work so terminated exceeds the amount owed to Consultant with respect to material that has been delivered and Work that have been performed as of the date of termination, the excess shall be immediately refunded to MPO.

Notwithstanding anything to the contrary in this Section, any breach of Section 7 of this Agreement shall result in automatic and immediate termination of this Agreement with no opportunity to cure.

#### 12. Suspension of Work by the MPO.

The MPO may, by written notice, direct the Consultant to suspend all or any part of the Work under this Agreement for such period of time as may be determined by the MPO in its sole discretion to be necessary or desirable for its convenience. If such suspension causes additional cost to Consultant or delays the progress of the Work and is due to something other than the failure of the Consultant to correct the Work as required by this Agreement or carry out the Work in accordance with this Agreement, then the Consultant will be entitled to additional compensation and a time extension in accordance with the provisions of this Agreement. Adjustments to the Contract Price and/or Contract Time will be based on actual costs and actual days lost resulting directly from the suspension. In no event shall the Consultant be entitled to any prospective profits. Any claim by the Consultant for an adjustment hereunder must be asserted within thirty (30) days from the date of a start order for resumption of Work.

#### 13. Indemnification.

#### 13.1 From Personal Injury or Damage to Tangible Property.

For all matters related to its professional planning services, Consultant shall indemnify, covenant not to sue, and hold the MPO; including the MPO President, the MPO Board Members, the MPO Officers, the MPO employees, City of Augusta Government, the United States of America, and the State of Georgia, their agencies, departments, their officials, officers, directors, employees, inspectors, and servants, past and present, harmless from any and all claims, liability, damages, penalties, fines, loss, and cost to the extent arising from Consultant's negligent or intentionally wrongful acts and omissions in performance of the Agreement, provided that such claims, liability, damage, loss, cost, or expense is due to sickness, personal injury, disease or death, or to loss or destruction of tangible property, including loss of use resulting there from, to the extent caused by or resulting from the negligence, recklessness, or intentionally wrongful conduct or the Consultant or other persons employed or utilized by the Consultant in the performance of this Agreement.

Notwithstanding the duty to indemnify and hold harmless, the Consultant expressly agrees, after adjudication by a court of competent jurisdiction, to reimburse the MPO pursuant to this provision for any costs and attorneys' fees determined by the court to have been reasonably, necessarily and actually incurred by the MPO specifically founded upon the Consultant's negligence.

For all other matters, Consultant shall indemnify, defend, covenant not to sue, and hold the MPO; including the MPO President, the MPO Board Members, the MPO Officers, the MPO employees, City of Augusta Government, the United States of America, and the State of Georgia, their agencies, departments, their officials, officers, directors, employees, inspectors, and servants, past and present, harmless from any and all claims, liability, damages, penalties, fines, loss, cost, and expense of every type whatsoever including, without limitation, attorneys' fees and expenses, in connection with Consultant's negligent or intentionally wrongful acts and omissions in performance of the Agreement, provided that such claims, liability, damage, loss, cost or expense is due to sickness, personal injury, disease or death, or to loss or destruction of tangible property, including loss of use resulting there from, to the extent caused by Consultant or anyone for whose acts Consultant may be liable, regardless of whether such liability, claim, damage, loss, cost or expense is caused in part by the MPO. The indemnification obligations herein shall not be limited by the coverage limitations in Consultant's insurance policies. The Consultant agrees to satisfy and pay and cause to be discharged judgments of

record which may rendered against those indemnified hereunder in connection with Consultant's negligent or intentionally wrongful performance of the Agreement.

# 13.2 From Violations of Laws, Environmental Requirements, Performance Guidelines, and Licensing Requirements.

Consultant shall indemnify, defend, and hold harmless the MPO; including the MPO President, the MPO Board Members, the MPO Officers, the MPO employees, the City of Augusta Government, the United States of America, and the State of Georgia, their officials, officers, directors, servants, agents, inspectors, and employees, past and present, from and against all claims, liabilities, damages, losses, costs, fines, expenses (including reasonable attorney's fees and expenses, and fees and expenses of experts) for bodily injury, including death, or damage to or loss of property, or any other type or form of loss occurring or sustained or arising in any way from the performance of the Work, including without limitation, the following:

- **13.2.1** Any violation by, or caused by, Consultant, its Subconsultants, representatives, employees, and agents of any local, state, or federal laws, rules, or regulations applicable to the performance of its obligations under the Contract.
- 13.2.2 Environmental violations or contamination from hazardous substances, hazardous wastes and emissions, or other substances or chemicals regulated by any applicable environmental laws or regulations and resulting from any willful misconduct, negligent act or omission, or legal violation by Consultant, its Subconsultants, Suppliers, representatives, employees, or agents;
- 13.2.3 The failure of any of Consultant's employees, agents, representatives, Suppliers, or Subconsultants to obtain and maintain the required skills, licenses, certificates, and permits mandated by applicable federal, state, or local governing authorities;
- **13.2.4** Any error or omission or act arising from Consultant's performance of the Work.

#### 14. Insurance.

#### 14.1 Required Coverage and Limits.

Consultant shall, at its sole expense, obtain and maintain the following minimum insurance coverages issued by an insurance company authorized to do business in the State of Georgia with a minimum A.M. Best rating of "A VII" and reasonably acceptable to the MPO. Insurance provided by Consultant shall be primary and non-contributory coverage and shall be endorsed accordingly. MPO shall be granted a waiver of subrogation on all applicable insurance carried by Subconsultants. Consultant shall provide full insurance policies, declaration pages, certificates of insurance, and Endorsements evidencing these coverages to MPO upon execution of this Agreement.

- (a) <u>Worker's Compensation Insurance</u> in accordance with the laws of the State of Georgia.
- (b) <u>Commercial General Liability Insurance</u> including Bodily Injury and Property Damage in an amount of not less than Two Million Dollars (\$2,000,000) in the aggregate and One Million Dollars (\$1,000,000) per occurrence.
- (c) <u>Automobile Liability Insurance</u> in an amount not less than One Million Dollars (\$1,000,000) in the aggregate and One Million Dollars (\$1,000,000) per occurrence.
- (d) <u>Valuable Papers Insurance</u> in an amount sufficient to assure the restoration of any plans,

drawings, field notes, or other similar data relating to the Work.

- (e) <u>Employers' Liability Insurance</u> in the minimum of One Million Dollars (\$1,000,000) each acMPOent, One Million Dollars (\$1,000,000) each employee, and One Million Dollars (\$1,000,000) policy limit.
- (f) <u>Professional Liability Insurance</u> in the minimum of One Million Dollars (\$1,000,000) per claim and Two Million Dollars (\$2,000,000) in the aggregate.
- (g) <u>Umbrella Insurance</u> in the minimum of One Million Dollars (\$1,000,000) over and above the underlying required coverages of Commercial General Liability, Professional Liability, and Auto Liability coverage.

Consultant shall provide MPO a minimum thirty (30) days written notice prior to any change in insurance coverage. Said commercial general liability, auto liability, and umbrella liability insurance policies shall name MPO; including the MPO President, the MPO Board Members, the MPO Officers, the MPO employees, City of Augusta Government, the United States of America, and the State of Georgia, as additional insureds.

All insurance requirements shall be maintained in full force and effect during the life of the Agreement and shall cover liability resulting from Consultant's neglect in Services and Work regardless of when claims are made, during completion of the Services.

#### 14.2 Increases in Coverage.

At the request of MPO, Consultant shall increase the above insurance limits or obtain additional coverage at MPO's expense.

#### 15. Correction of Work

- 15.1 Prior to Final Payment hereunder, Consultant shall promptly correct Work rejected by MPO in accordance with the terms of this Agreement or known by Consultant to be defective or failing to conform to the requirements of the Contract measured by Section 7, above (herein referenced as "Standard of Care"). Subject to the terms of this Agreement, Consultant shall bear costs of correcting such rejected Work.
- 15.2 If Consultant fails to correct nonconforming Work as required or fails to perform the Work in accordance with the Contract and the Project is not yet complete, MPO may, by written order, direct Consultant to stop the Work, or any portion thereof, until the cause for such order has been eliminated.
- 15.3 If Consultant defaults or neglects to carry out the Work in accordance with the Standard of Care and fails within five (5) business days after receipt of written notice from MPO to commence and continue correction of such default or neglect with diligence and promptness, MPO may terminate this Agreement for Cause immediately, notwithstanding any other provisions in this Agreement, and seek all available remedies. At the sole discretion of the MPO, the MPO may elect to not terminate this Agreement, correct such deficiencies, and charge the actual cost thereof to Consultant. In such case an appropriate Change Order shall be issued deducting from payments then or thereafter due to Consultant, MPO's actual costs of correcting such deficiencies.

#### 16. Miscellaneous.

#### 16.1 Agreement Not to Discriminate.

During the performance of this Agreement, the Consultant will not discriminate against any employee

or applicant for employment, subcontractor, qualified client, or recipient of services, because of race, creed, or belief, political affiliation, color, sex, national origin, age, religion, handicap, or disability which does not preclude the applicant or employee from performing the essential functions of the position. The Consultant will also, in all solicitations or advertisements for employees placed by qualified applicants, consider the same without regard to race, creed, or belief, political affiliation, color, sex, national origin, age, religion, handicap, or disability which does not preclude the applicant from performing the essential functions of the job. The Consultant will cause the foregoing provisions to be inserted in all subcontracts for any Work covered by the Contract so that such provision will be binding upon each Subconsultant, providing that the foregoing provisions shall not apply to contracts or Subconsultants for standard commercial supplies of raw materials.

#### 16.2 Assignment.

The Consultant shall not sublet, assign, transfer, pledge, convey, sell, or otherwise dispose of the whole or any part of this Agreement or his right, title, or interest therein to any person, firm, or corporation without the previous consent of the MPO in writing.

#### 16.3 Waiver.

A waiver by either Party of any breach of any provision, term, covenant, or condition of this Agreement shall not be deemed a waiver of any subsequent breach of the same or any other provision, term, covenant, or condition.

#### 16.4 Severability.

The Parties agree that each of the provisions included in this Agreement is separate, distinct, and severable from the other and remaining provisions of this Agreement, and that the invalidity of any Agreement provision shall not affect the validity of any other provision or provisions of this Agreement.

#### 16.5 Governing Law; Jurisdiction.

The Parties agree that this Agreement shall be governed and construed in accordance with the laws of the State of Georgia. This Agreement has been signed and will be performed in Augusta, Georgia. Jurisdiction for the purposes of dispute resolution and litigation shall be Augusta, Georgia.

#### 16.6 Merger.

The Parties agree that the terms of this Agreement include the entire agreement between the Parties, and as such, shall exclusively bind the Parties. No other representations, either oral or written, may be used to contradict the terms of this Agreement. Any previous contracts or agreements between the Parties related to the scope of Services or Work contained in any Task Work Order issued contemporaneously with or subsequently to this Agreement are hereby superseded by this Agreement.

#### 16.7 Findings Confidential.

The Consultant agrees that its conclusions and any reports are for the confidential information of the MPO and that it will not disclose its conclusions in whole or in part to any persons whatsoever, other than to submit its written documentation to the MPO, and will only discuss the same with it or its authorized representatives, except as directed by MPO. All documents, reports, maps, data, and studies

prepared by the Consultant pursuant to this Agreement shall become the property of the MPO and be delivered to MPO. It is the MPO's sole determination whether such information will be publicly disclosed. Articles, papers, bulletins, reports, or other materials reporting the plans, progress, analyses, or results and findings of the Work conducted under this Agreement, during the course of this Agreement, shall not be presented publicly or published without prior approval in writing of the MPO.

It is further agreed that if any information concerning the Work, its conduct, results, or data gathered or processed should be released by the Consultant without prior approval from the MPO, the release of same shall be a breach of this Agreement and, if not completed, shall constitute grounds for immediate termination of this Agreement without indemnity to the Consultant. Should any such information be released without restriction (a) by the MPO or (b) by the Consultant with such prior written approval by the MPO, the same shall be regarded as public information and no longer subject to the restrictions of this Agreement.

The Consultant acknowledges its correspondence, documents, and other records may be deemed subject to the Georgia Open Records Act, and to that extent may not be confidential. Prior to releasing any correspondence, documents, or other records upon receipt of an Open Records Request, the Consultant shall forward the request to the MPO and receive written approval for releasing any such records.

#### **16.8** Consultant to Cooperate.

If the MPO undertakes or awards other contracts for additional related work, the Consultant shall fully cooperate with such other contractor and the MPO, and carefully coordinate its own Work with such additional work as may be directed by the MPO. The Consultant shall not commit or permit any act which will interfere with the performance of work by any other contractor or by MPO to the best of Consultant's ability and as made known to the Consultant by the MPO.

#### 16.9 Conflict of Interest.

#### 16.9.1 Consultant's Interest.

The Consultant agrees that it presently has no interest and shall acquire no interest, direct or indirect, that would conflict in any manner or degree with the performance of its Services hereunder. The Consultant further agrees that, in the performance of the Agreement, no person having any such interest shall be employed.

#### 16.9.2 Interest of Public Officials.

The Consultant will not, directly or indirectly, attempt in any manner to hire or attempt to hire or cause or otherwise encourage any employee of the MPO to leave the employ of the MPO in order to work for the Consultant or another entity.

#### 16.10 Anti-Kickback.

Salaries of architects, draftsmen, Consultants, and technicians performing Work under this Agreement shall be paid by Consultant unconditionally and not less often than once a month without deduction or rebate on any account except only such payroll deductions as are allowed by law. The Consultant hereby promises to comply with all applicable "Anti-kickback" laws, and shall insert appropriate provisions in all subcontracts covering Work under this Agreement.

#### 16.11 Audits.

At any time during normal business hours and as often as the MPO may deem necessary, the Consultant shall make available to the MPO, federal, state, or local government and/or their agencies and representatives for examination all of its records with respect to the Work and all matters covered by this Agreement. It shall also produce for inspection and permit the foregoing and/or their agencies and representatives to audit, examine, and make copies, excerpts, or transcripts from such records of personnel, conditions of employment and other data relating to the Work and all matters covered by this Agreement.

Consultant shall maintain all books, documents, papers, accounting records, and other evidence pertaining to a Project and shall make such material available at all reasonable times during the period of the Agreement, and for seven (7) years from close out of construction of the Project, for inspection by the MPO or any federal, state, or local reviewing agencies, and copies thereof shall be furnished upon request. Consultant agrees that the provisions of this Article shall be included in any agreements it may make with any Subconsultant, assignee, or transferee.

#### 16.12 Verbal.

No verbal agreement or conversation with any officer, agent, or employee of the MPO, either before, during, or after the execution of this Agreement, shall affect or modify any of the terms or obligations herein contained, nor shall such verbal agreement or conversation entitle Consultant to any additional payment whatsoever under the terms for this Agreement. All changes to this Agreement shall be in writing and appended hereto as prescribed in Section 10 above, or by written Amendment.

#### 16.13 Ownership of Documents.

As between the Parties, the deliverable Documents per the Work Order or things prepared by Consultant for the Work, shall immediately become and be the property of MPO. Any documents furnished by MPO shall remain the property of MPO. Consultant may be permitted to retain copies of any documents furnished by MPO for its records with approval in writing of MPO; provided, however, that in no event shall Consultant use, or permit to be used, any portion or MPO furnished documents on other projects without MPO's prior written authorization. The Consultant shall provide an electronic copy and a hard copy of all deliverables.

#### 16.14 Amendment.

Any change, alteration, or addition to the terms and conditions set forth in this Agreement must be in the form of a written Amendment signed by both Parties.

#### **16.15** Notices.

Any notices to be given hereunder by either Party to the other may be affected either by personal delivery in writing, by mail (registered or certified), postage prepaid with return receipt requested, or by a recognized overnight delivery service to the following addresses, or address changes subsequently provided to the other Party in writing:

#### If to the MPO:

Augusta Regional Transportation Study Metropolitan Planning Organization c/o Director Carla Delaney 535 Telfair Street, Suite 300 Augusta, GA 30901

With a copy to General Counsel:

Wayne Brown 535 Telfair St, Building 3000 Augusta GA 30901

If to the Consultant:

Metro Analytics, PLLC c/o Chandler Duncan; Managing Partner 14030 Harvington Drive Huntersville, NC 28078

#### 16.16 Attorney Fees.

If any action at law or in equity is necessary to enforce or interpret the terms and conditions of this Agreement, the prevailing Party shall be entitled to reasonable attorney's fees, costs, and necessary disbursements in addition to any other relief to which it may be entitled.

#### 16.17 Informal Dispute Resolution; Litigation.

#### 16.17.1 Informal Dispute Resolution Procedure.

The Parties shall attempt in good faith to resolve all disputes arising under the Contract promptly by negotiation as follows. Any Party may give the other Party written notice of any dispute not resolved in the normal course of business. Executives of both Parties with appropriate decision-making authority shall meet at a mutually acceptable time and place within ten (10) days after delivery of such notice, and thereafter as often as they reasonably deem necessary, to exchange relevant information and to attempt to resolve the dispute. More than one meeting to negotiate a resolution of the dispute may be held. However, if, within forty-five (45) days after the initial notice of dispute, the Parties are not successful in resolving the dispute through negotiation, then the Parties agree that the dispute may be resolved by Litigation as provided in this Agreement.

#### 16.17.2 Work to Continue.

In the case of any dispute arising under the Contract, Consultant shall proceed diligently with performance of the Work pending final resolution of the dispute, and MPO shall continue to make payments to Consultant in accordance with the Agreement for those portions of the Work completed that are not the subject of dispute.

#### 16.17.3 Litigation.

As a condition precedent to the filing of any legal action by Consultant against the MPO arising out of or relating to this Agreement, Consultant shall first provide the MPO thirty (30) days written notice of its intent to file such action. Such notice shall include an identification of the anticipated parties to said action and a description of all anticipated claims and causes of action to be asserted in said action to the best of the Consultant's ability.

#### 16.18 Venue.

If any action at law or in equity is necessary to enforce or interpret the terms of this Agreement or the Contract Documents, venue shall lie in Augusta, Georgia, and Consultant specifically waives its right under the Georgia Constitution to object to venue lying in Augusta, Georgia.

#### 16.19 Cooperation with Governmental Requirements.

If Federal funds are used to finance any portion of a Project, all requirements resulting from the use of Federal funds are hereby automatically incorporated into a Task Work Order for a Project. The Consultant shall cooperate fully with MPO, City if Augusta, the United States of America, and the State of Georgia, consultants on adjacent projects, construction Contractors, local government officials, utility companies, and others, as may be directed by the MPO. Such cooperation shall include attendance at meetings, discussions, and hearings, as may be requested by the MPO, furnishing plans, documents, and other data produced in the course of Work on the Project, as may be requested from time to time by the MPO to affect such cooperation and compliance with all directives issued by the MPO in accordance with this Agreement. It is understood and agreed that MPO, City of Augusta, the United States of America, and the State of Georgia will have access to the Work and be furnished information as directed by the MPOs and the Consultant's time in retrieving such information will be compensated. Consultant shall provide documents and cooperate with the MPO so the MPO is in compliance with any intergovernmental agreement with City of Augusta, the United States of America, and the State of Georgia, and any other federal, state, or local agencies and departments.

#### 16.20 Immigration Law Compliance.

To the extent applicable, Consultant acknowledges it and its Subconsultants are solely responsible for complying with the provisions of, including maintaining and providing records of compliance, and providing affidavits verifying compliance with, the Immigration Reform and Control Act of 1986, located at 8 U.S.C Section 1324, et seq., the Georgia Security and Immigration Compliance Act of 2006 located at OCGA §13-10-90, et seq., Georgia Department of Labor Rule 300-10-1-.02, and all regulations relating to the foregoing.

#### 16.21 Survival.

The warranty, payment, indemnification, insurance, confidentiality, litigation, venue, cooperation, audit, and governing law obligations herein survive the expiration, cancellation, or termination of this Agreement.

#### 16.22 No Third-Party Beneficiaries.

Nothing in this Agreement, expressed or implied, is intended or shall be construed to confer upon or give to any person, firm, or corporation, any legal or equitable rights by reason of this Agreement or any term, covenant or condition herein, all of which shall be for the sole and exclusive benefit of the Parties hereto and their successors and permitted assigns.

#### 16.23 Counterparts.

This Agreement may be executed in any number of counterparts, each of which shall be an original, but all of which together shall constitute one and the same instrument.

#### 16.24 No Strict Construction.

Each Party has participated in negotiating and drafting this Agreement, so if ambiguity or a question of intent or interpretation arises, this Agreement is to be construed as if the Parties had drafted it jointly, as opposed to being construed against a party because it was responsible for drafting one or more provisions of this Agreement.

Executed by the Parties' duly authorized representatives as indicated by their signatures below.

AUGUSTA REGIONAL TRANSPORTATION METRO ANALYTICS, PLLC

STUDY MPO	
BY:	BY:
(Printed Name, Title and Address)	(Printed Name, Title and Address)
Date:	Date:

# **EXHIBIT 1 - FINAL COMPLETION CERTIFICATE**

Consultant Metro Analytics, PLLC, hereby certifies, w	arrants and represents that: (i) the Work described in the
Professional Services Agreement dated by	and between MPO and Consultant is completed and has
been performed in strict accordance with the Agreer	ment; (b) Contractor has made payment in full to all
Subconsultants for all labor, materials utilized and expende	ed in the performance of the Work; and (c)
N mo	
MPO	Consultant
By:	By:
Title.	•
Title:	Title:
Date:	Date:

# AUGUSTA REGIONAL TRANSPORTATION STUDY (ARTS) METROPOLITAN PLANNING ORGANIZATION (MPO) PROFESSIONAL SERVICES AGREEMENT TASK WORK ORDER NO. 1

This Task Work Order No. 1 is issued by the Augusta Regional Transportation Study ("ARTS") Metropolitan Planning Organization ("MPO"), and upon valuable consideration is accepted by Metro Analytics, PLLC ("Consultant") on the Contract Execution date signed below by the Consultant, pursuant to, and governed by the terms of, the Professional Services Agreement ("Agreement") between the Parties effective, 2023. This Task Work Order becomes one of the Contract Documents as defined by the Agreement.
PROJECT SCOPE OF SERVICES AND TECHNICAL SPECIFICATIONS
Develop a Freight Plan to study all modes of freight movement in the ARTS MPO boundary area as set forth in Exhibit "A".
DELIVEDADI EC
DELIVERABLES Set forth in Exhibit "A", attached.
PROJECT SCHEDULE
Set forth in Exhibit "B", attached.
CONTRACT PRICE AND COMPENSATION METHOD Set forth in Exhibit "C", attached.
PROJECT SCOPE (as defined in proposal dated April 3, 2023) Set forth in "Exhibit "D", attached
Executed by the Parties' duly authorized representatives as indicated by their signatures below.
Issued by MPO: AUGUSTA REGIONAL TRANSPORTATION STUDY MPO
By:
Date
(Printed name and Title)

Date

Accepted by Consultant: METRO ANALYTICS

By:

Itam	7
пет	7.

(Printed name and Title)

# METROPOLITAN TRANSPORTATION FREIGHT PLAN CONTRACT

# **AUGUSTA REGIONAL TRANSPORTATION STUDY (ARTS)**

FHWA METROPOLITAN PLANNING PROGRAM

PLANNING (PL) FUNDS FISCAL YEAR (FY) 2023

# CATALOG OF FEDERAL DOMESTIC ASSISTANCE NUMBER 20.205 FEDERAL-AID PARTICIPATING PROJECT

PI Number: 0019245-PLN Contract ID: 48400-415-IGDPL2301049

> Federal Share 80% \$240,000 Local Match Share 20% \$60,000 Total Contract Cost \$300,000

#### METROPOLITAN TRANSPORTATION PLANNING SERVICES CONTRACT

Between the

# DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA ONE GEORGIA CENTER, 600 WEST PEACHTREE STREET NW ATLANTA, GEORGIA 30308

and the

#### AUGUSTA REGIONAL TRANSPORTATION STUDY

THIS AGREEMENT is made and entered into thi	28th .s	day of	ecember	_, 2022, by
and between the DEPARTMENT OF TRANSPORTA	TION, aı	n agency of	the State of	of Georgia,
hereinafter called the "DEPARTMENT", and the AUG	USTA R	REGIONAL T	TRANSPO	RTATION
STUDY, organized and existing under the laws of the	he State	of Georgia,	hereinafter	called the
"DESIGNATED AGENCY".				

WHEREAS, the DEPARTMENT is recognized by the United States Department of Transportation as the agency responsible for cooperative, comprehensive, continuing transportation planning pursuant to the provisions of Fixing America's Surface Transportation Act (FAST Act) of 2015, 23 U. S. C. Section 134, the Federal Transit Act, 49 U.S.C. Section 5303; and relevant amendments and subsequent legislation pertaining thereto; and

WHEREAS, the DEPARTMENT is authorized under O.C.G.A. § 32-2-2(7) to "accept and use federal funds...; and to do all things necessary, proper, or expedient to achieve compliance with the provision and requirements of all applicable federal-aid acts and programs"; and

WHEREAS, the DEPARTMENT is responsible for developing a workable formula for distributing the apportionment of planning funds pursuant to 23 U.S.C § 104 (d); and

WHEREAS, the DESIGNATED AGENCY is an approved metropolitan planning organization responsible for carrying out the transportation planning process in its urbanized area in accordance with 23 U.S.C. § 134; and

WHEREAS, the DESIGNATED AGENCY has developed its Unified Planning Work Program for Fiscal Year 2023, which describes its transportation planning priorities for Fiscal Year 2023 that are funded by FHWA-PL and FTA 5303 planning funds; and

WHEREAS, the DEPARTMENT desires to participate jointly with the DESIGNATED AGENCY to perform certain services, which will consist of providing the DESIGNATED AGENCY with information for the continuing transportation planning process as set forth in **EXHIBIT D**, "Work **Program**, **Fiscal Year 2023**" (hereinafter referred to as the "PROJECT").

NOW, THEREFORE, for and in consideration of the mutual promises, covenants, and contracts contained herein, and other good and valuable consideration as set out hereinafter, it is agreed by and between the DEPARTMENT and the DESIGNATED AGENCY that:

#### **ARTICLE I**

#### SCOPE AND PROCEDURES

The scope and procedure of the PROJECT shall be that stated in the Work Program, which is affixed to this Agreement under the label of **EXHIBIT D**, "Work Program - Fiscal Year 2023", the same as if fully set forth herein. The DESIGNATED AGENCY shall perform or cause to be performed the services to accomplish the PROJECT, the work for which is set forth in the aforementioned **EXHIBIT D**, "Work Program - Fiscal Year 2023".

The DESIGNATED AGENCY shall perform the PROJECT activities, and shall do so under such control and supervision by the DEPARTMENT as the DEPARTMENT may deem appropriate.

The DEPARTMENT shall perform the services incumbent upon it as stated in **EXHIBIT D**, "Work Program - Fiscal Year 2023".

#### **ARTICLE II**

#### EMPLOYMENT OF DEPARTMENT'S PERSONNEL

The DESIGNATED AGENCY shall not employ any person or persons in the employ of the DEPARTMENT for any work required by the terms of this Agreement, without the written permission of the DEPARTMENT except as may otherwise be provided for herein.

#### **ARTICLE III**

#### **REVIEW OF WORK**

Authorized representatives for the DEPARTMENT and the Federal Government may at all reasonable times review and inspect the PROJECT activities and data collected under this Agreement and amendments thereto. All reports, drawings, studies, specifications, estimates, maps, and computations, prepared by or for the DESIGNATED AGENCY, shall be made available to authorized representatives of the DEPARTMENT and representatives of the Federal Government for inspection and review at all reasonable times. Acceptance shall not relieve the DESIGNATED AGENCY of its professional obligation to correct, at its own expense, any of its errors in the work.

#### **ARTICLE IV**

#### AUTHORIZATION AND APPROVAL

TIME IS OF THE ESSENCE TO THIS AGREEMENT. The DESIGNATED AGENCY shall initiate the work as described in Article I, Scope and Procedures, on July 1, 2022. The work outlined therein shall be completed no later than June 30, 2023. The work shall be carried on expeditiously and in accordance with the work schedule as set forth in **EXHIBIT F**, "Schedule – Fiscal Year 2023", attached hereto and incorporated by reference.

#### **ARTICLE V**

#### RESPONSIBILITY FOR CLAIMS AND LIABILITY

The DESIGNATED AGENCY shall be responsible for any and all damages to property or persons and shall save harmless the DEPARTMENT, its officers, agents and employees from all suits, claims, actions, or damages of any nature whatsoever resulting from the negligence of the DESIGNATED AGENCY in the performance of work under this Agreement.

#### **ARTICLE VI**

#### **COMPENSATION**

#### A. Total Cost

The DEPARTMENT and the DESIGNATED AGENCY agree that the total estimated allowable cost for the completion of the PROJECT, as shown in EXHIBIT E, "Budget Estimate - Fiscal Year 2023", attached hereto and incorporated herein by reference, is THREE HUNDRED THOUSAND DOLLARS AND ZERO CENTS (\$300,000). It is

agreed that the amount which the DEPARTMENT shall be obligated to pay is eighty percent (80%) of the total cost, which represents the Federal Share of the cost of the PROJECT up to TWO HUNDRED FORTY THOUSAND DOLLARS AND ZERO CENTS(\$240,000). However, if the total of the actual allowable cost for the PROJECT is less than the total estimated allowable cost, then it is further agreed that the DEPARTMENT shall be obligated to pay only the 80% Federal Share of the actual allowable cost incurred. In no event shall the DEPARTMENT be obligated to pay more than the maximum Federal share of \$240,000. In no event shall the DEPARTMENT be required to pay the Federal Share, if the Federal Share is not provided to the DEPARTMENT by the Federal Highway Administration.

2. The DESIGNATED AGENCY shall be obligated to pay twenty percent (20%) of the total allowable cost, which represents the Local Match rate of the cost of the PROJECT up to SIXTY THOUSAND DOLLARS AND ZERO CENTS (\$60,000). However, if the total of the actual allowable cost for the PROJECT is less than the total estimated allowable cost, the DESIGNATED AGENCY shall pay a 20% Local Match rate of the actual allowable cost incurred. In no event shall the DESIGNATED AGENCY be obligated to pay more than the maximum Local Match of the Federal Share (\$60,000). Any portion of the Local Match may consist of "soft" match and/or "in-kind" services as referenced in Title 23, Part 420, Subchapter E of the Code of Federal Regulations ("C.F.R."), "Planning and Research Program Administration", and 2 C.F.R., Part 200, "Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards", and all other relevant sections of Federal law, Federal regulations and Federal guidance applicable to the subject, as appropriate, in lieu of a traditional cash match. The Local Match total of any traditional cash match and any "soft" match and/or "in-kind" services must constitute 20% of the cost of the PROJECT up to \$60,000 or a 20% match rate of the allowable cost incurred.

#### **B.** Allowable Costs

Allowable costs shall include both direct and indirect costs incurred by the DESIGNATED AGENCY, which is provided for in **EXHIBIT E**, "**Budget Estimate - Fiscal Year 2023**", "and subject to the maximum limitation prescribed in Subsection A of Article VI and the limitations outlined below:

#### 1. Direct Cost

The DEPARTMENT shall pay to the DESIGNATED AGENCY for the performance of this Agreement an amount equal to such direct costs as are incurred by the DESIGNATED AGENCY and are chargeable to the PROJECT under generally accepted accounting principles and as allowed in 2 C.F.R. Part 200, "Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards", and not prohibited by the laws of the State of Georgia, including salaries and wages, and the cost of travel, and other miscellaneous direct costs incurred by the DESIGNATED AGENCY. As specified in Article X, the validity of the direct costs may be verified from the cost records of the DESIGNATED AGENCY by authorized representatives of the DEPARTMENT and the Federal Government as the work progresses, and in any event, before final settlement of the DESIGNATED AGENCY'S costs under the terms of this Agreement or amendments hereto.

The cost of any nonexpendable tools, instruments, or equipment used in the execution and performance of the PROJECT shall not be an allowable direct cost when such items are of the nature and kind of tools, instruments or equipment normally and generally used in an office or laboratory, provided however that the cost of data processing equipment shall be an allowable expense when such expenditure complies with the provisions of 2 C.F.R. § 200 ("Uniform Grant Guidance") and is specifically detailed in **EXHIBIT D**, "Work Program - Fiscal Year 2023", and **EXHIBIT E**, "Budget Estimate - Fiscal Year 2023", of this Agreement. If at any time during the duration of the useful life of the PROJECT's data processing equipment the DESIGNATED AGENCY fails to utilize such equipment for the purpose of accomplishing the PROJECT the DEPARTMENT at its discretion may require the DESIGNATED AGENCY to remit to the DEPARTMENT 100% of the DEPARTMENT'S Federal and State Share of the fair market value, if any, of such equipment. For the purpose of this Article, the fair market value shall be deemed to be the value of the equipment as determined by an appraisal conducted as soon as feasible after

such withdrawal or misuse occurs or the actual proceeds from the public sale of such equipment, whichever is approved by the DEPARTMENT.

The rate of compensation for work performed on the PROJECT by a professional staff member or employee of the DESIGNATED AGENCY shall not exceed the salary rate that is applicable to said person's other activities for the DESIGNATED AGENCY. Charges for salaries and wages of the individuals will be supported by time and attendance and payroll distribution records. Premiums pay for overtime, extra-pay shifts, and multi-shift work are not reimbursable under this Agreement unless such costs are included in **EXHIBIT E**, "**Budget Estimate - Fiscal Year 2023"**, or unless such costs have been given prior written approval by the DEPARTMENT.

No expense for travel outside the State of Georgia shall be an allowable direct cost under this Agreement unless such travel is listed in **EXHIBIT E**, "**Budget Estimate - Fiscal Year 2023**", or approved in advance by the DEPARTMENT. Staff from the DESIGNATED AGENCY seeking travel approval should submit the details for the requested travel expenses to the DEPARTMENT in advance and must include information on how the travel request will benefit the transportation planning process of the DESIGNATED AGENCY. In addition, all expenses for food, fuel, mileage, and lodging accommodations incurred from travel within or outside of the State of Georgia shall be limited to the currently approved amounts posted on the United States General Services Administration (GSA) website for the corresponding geographic location.

#### 2. Indirect Costs

The DEPARTMENT shall reimburse the DESIGNATED AGENCY for such indirect costs as are properly chargeable to the PROJECT under generally accepted accounting principles and as allowed in 2 C.F.R. Part 200, "Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards", and not prohibited by the laws of the State of Georgia. Fringe benefits shall be reimbursed at a provisional overhead rate of 23.92% of the amount paid as direct salaries and wages to persons employed by the DESIGNATED AGENCY on the PROJECT. Indirect Personnel cost shall be reimbursed at a provisional overhead rate of 86.36% of the amount paid as direct salaries, wages and fringe benefits to persons employed by the DESIGNATED AGENCY that are chargeable to the

PROJECT. Upon completion of the PROJECT, the DEPARTMENT will determine the final payment for indirect costs by the audit of the DESIGNATED AGENCY'S accounts to establish the actual allowable overhead rate experienced during the period of performance of this Agreement. The DESIGNATED AGENCY understands and agrees that the DEPARTMENT may accept, in lieu of its own audit, a federal audit, or an audit by an independent accountant or accounting firm. The audit of an independent accountant or accounting firm shall be made and reported in accordance with audit requirements, 2 C.F.R. Part 200. The DESIGNATED AGENCY shall ensure that the independent accountant or accounting firm shall make available upon request to authorized representatives of the DEPARTMENT all audit work papers pertaining to this AGREEMENT to determine said final payment for indirect costs.

In the event the DESIGNATED AGENCY'S actual allowable overhead rate during the period of this Agreement is less than the provisional overhead rate established herein, the DESIGNATED AGENCY shall reimburse the DEPARTMENT the difference between the indirect cost actually paid and the actual allowable indirect cost as determined by the final audit in accordance with the provisions of this Article.

The DESIGNATED AGENCY further agrees that the decision of the DEPARTMENT in the establishment of the actual allowable overhead rate for final payment of indirect costs shall be final.

The validity of these indirect cost payments may be verified from the indirect cost records of the DESIGNATED AGENCY by authorized representatives of the DEPARTMENT and the Federal Government as the work progresses and in any event before the final settlement of the DESIGNATED AGENCY'S costs under this Agreement or amendments hereto.

#### **ARTICLE VII**

#### SUBSTANTIAL CHANGES

If prior to the satisfactory completion of the services under this Agreement, the DEPARTMENT materially changes the scope, character, complexity, or duration of the services from those required under the Basic Agreement, a supplemental agreement shall be executed between the parties. Minor changes that do not involve changes in compensation, the Scope and Procedure, the extension of the term, or the goals and objectives of the PROJECT may be made by written notification of such change by either party with the written approval of the other party.

#### **ARTICLE VIII**

#### PARTIAL PAYMENT

The DESIGNATED AGENCY shall submit to the DEPARTMENT itemized vouchers showing, in reasonable detail, the actual allowable costs per work element, incurred by the DESIGNATED AGENCY on the PROJECT for the voucher period. A summary of the cost breakdown and work progress for each work element shall accompany each voucher. Upon the basis of its review of such vouchers, the DEPARTMENT may, at the request of the DESIGNATED AGENCY, make payment to the DESIGNATED AGENCY as the work progresses but not more often than four times during the fiscal year. The vouchers shall be numbered consecutively, and subsequent vouchers shall be submitted every three months, but no later than forty-five (45) days after the end of each quarter, until the PROJECT is completed. Payment shall be made in the amount of sums earned, less previous partial payments.

#### ARTICLE IX

#### FINAL PAYMENT

IT IS FURTHER AGREED that upon satisfactory completion by the DESIGNATED AGENCY and acceptance by the DEPARTMENT of the work described in Article I of this Agreement, the DESIGNATED AGENCY shall submit to the DEPARTMENT a written submission for a final payment not more than forty-five (45) days after the completion date of the PROJECT. Upon receipt of any final written submission by the DESIGNATED AGENCY, the DEPARTMENT shall pay the DESIGNATED AGENCY a sum equal to one hundred percent (100%) of the allowable cost set forth herein less the total of all previous partial payments, paid or in the process of payment.

The DESIGNATED AGENCY agrees that acceptance of this final payment shall be in full and final settlement of all claims arising against the DEPARTMENT for work done, materials furnished, costs incurred, or otherwise arising out of the Agreement and shall release the DEPARTMENT from any and all further claims of whatever nature, whether known or unknown for and on account of said Agreement, and for any and all work done, and labor and materials furnished, in connection with the same.

#### **ARTICLE X**

#### MAINTENANCE OF CONTRACT COST RECORDS

The DESIGNATED AGENCY shall maintain all books, documents, papers, accounting records, and other evidence pertaining to costs incurred on the PROJECT and shall make material available at all reasonable times during this period of the Agreement, and for three years from the date of final payment under the Agreement, for inspection by the DEPARTMENT, and the Federal Highway Administration and any reviewing agencies, and copies thereof shall be furnished upon request.

The DESIGNATED AGENCY shall certify that items of equipment included indirect costs have been excluded from the indirect costs.

The DESIGNATED AGENCY agrees that the provisions of this Article shall be included in any contracts it may make with any subcontractor, assignee, or transferee.

#### ARTICLE XI

#### SUBCONTRACTS, ASSIGNMENT, OR TRANSFER RESTRICTIONS

The DESIGNATED AGENCY agrees not to assign, sublet, or transfer any or all of its interest in the Agreement without the prior written approval of the DEPARTMENT and the Federal Highway Administration. The DESIGNATED AGENCY also agrees that all subcontracts shall be subject to the provisions contained in this Agreement. The DESIGNATED AGENCY also agrees that any subcontracts exceeding Ten Thousand Dollars (\$10,000) in cost shall contain all the required provisions of this Agreement. All consultants hired by the DESIGNATED AGENCY shall be on the DEPARTMENT'S pre-qualified consultants list.

#### **ARTICLE XII**

#### **USE OF DOCUMENTS**

The DESIGNATED AGENCY agrees that all reports, drawings, studies, specifications, estimates, maps, computations, and other data, prepared by or for it under the terms of this Agreement shall be made available to the DEPARTMENT and the Federal Highway Administration at all reasonable times during the period of the Agreement and upon termination or completion of the work. The DEPARTMENT shall have the right to use the same without restriction or limitation and without compensation to the DESIGNATED AGENCY other than that provided for in this Agreement.

#### ARTICLE XIII

#### **TERMINATION**

The DEPARTMENT reserves the right to terminate this Agreement at any time for just cause, or for any cause, upon 30 days written notice to the DESIGNATED AGENCY, notwithstanding any just claims by the DESIGNATED AGENCY for payment of services rendered prior to the date of termination.

Should the work under this Agreement be terminated by the DEPARTMENT pursuant to this Article, final payment to the DESIGNATED AGENCY shall be made in the amount of sums earned, less previous partial payments. Any work elements that are incomplete by the termination date shall be reimbursed based upon the percentage of work completed for said work element(s).

#### **ARTICLE XIV**

#### **PUBLISHED REPORTS**

It is agreed that articles, papers, bulletins, data, studies, statistics, interim or final reports, oral transmittals or any other materials reporting the plans, progress, analyses, results, or findings of work conducted under this Agreement shall not be presented publicly or published without prior written approval by the DEPARTMENT.

It is further agreed that all published reports shall include a disclaimer provision on the cover or title page in the following form:

"The opinions, findings, and conclusions in this publication are those of the author(s) and not necessarily reflect the official views or policies of those of the Department of Transportation, State of Georgia, or the Federal Highway Administration. This publication does not constitute a standard, specification, or regulation."

All reports published by the DESIGNATED AGENCY shall contain a credit reference to the Federal Highway Administration such as:

"Prepared in cooperation with the Department of Transportation, State of Georgia, and the Federal Highway Administration."

It is further agreed that any information concerning the PROJECT, its conduct, results or data gathered or processed shall not be released other than as required under the Georgia Open Records Act, O.C.G.A. § 50-18-70, et seq. Any request directed to the DESIGNATED AGENCY pursuant to the Georgia Open Records Act, for documents or information that are either received or maintained by the DESIGNATED AGENCY in the performance of the work under this Contract, for or on behalf of the DEPARTMENT, shall be released pursuant to the provisions of the Act. Further, the DESIGNATED AGENCY agrees to consult with the DEPARTMENT prior to releasing the requested documents, where required by the DEPARTMENT.

# ARTICLE XV COPYRIGHTING

The DESIGNATED AGENCY shall be free to copyright material developed under this Agreement with the provisions that the DEPARTMENT and the Federal Highway Administration reserve a royalty-free, non-exclusive, and irrevocable license to reproduce, publish, or otherwise use, and authorize others to use, the work for government purposes.

#### ARTICLE XVI

#### **COVENANT AGAINST CONTINGENT FEES**

The DESIGNATED AGENCY shall comply with all relevant federal, state and local laws. The DESIGNATED AGENCY warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for the DESIGNATED AGENCY, to solicit or secure this Agreement and that it has not paid or agreed to pay any company or person, other than a bona fide employee working solely for the DESIGNATED AGENCY, any fee, commission, percentage, brokerage fee, gifts or any other consideration, contingent upon or resulting from the award or making of this Agreement. For breach or violation of this warranty, the DEPARTMENT shall have the right to annul this Agreement without liability or, at its discretion, to deduct from the contract price or consideration, or otherwise recover, the full amount of such fee, commission, percentage, brokerage fee, gift or contingent fee.

#### ARTICLE XVII

#### **CONTRACT DISPUTES**

This Agreement shall be deemed to have been executed in Fulton County, Georgia, and all questions of interpretation and construction shall be governed by the laws of the State of Georgia.

#### **ARTICLE XVIII**

#### COMPLIANCE WITH APPLICABLE LAW

A. The undersigned certify that the provisions of the Official Code of Georgia Annotated ("O.C.G.A."), Sections 45-10-20 through 45-10-28, relating to conflict of interest, have been complied with in full.

- B. It is further agreed that the DESIGNATED AGENCY shall comply with and shall require its subcontractors to comply with the regulations for compliance with Title VI of the Civil Rights Act of 1964 as amended, and 23 C.F.R. Part 200 as stated in APPENDIX A, "Notice Of Contractors, Compliance With Title VI Of The Civil Rights Act Of 1964", of this Agreement.
- C. It is further agreed that and certified by the DESIGNATED AGENCY that neither it nor any of its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this transaction by any State or Federal department or agency, and is eligible to receive the Federal funding assistance provided for in this Agreement, as provided for in APPENDIX B, "Certification Regarding Debarment, Suspension, Proposed Debarment, And Other Responsibility Matters".
- D. It is further agreed that and certified by the DESIGNATED AGENCY that the provisions of the O.C.G.A §§ 50-24-1 through 50-24-6, relating to the "Drug-Free Workplace Act", have been complied with in full as stated in **APPENDIX C**, "**Drug-Free Workplace Certificate**".
- E. It is further agreed that and certified by the DESIGNATED AGENCY that the provisions of the O.C.G.A § 13-10-91, relating to the "Georgia Security and Immigration Compliance Act" have been complied with in full as stated in **APPENDIX D**, "Georgia Security And Immigration Compliance Act Affidavit".
- F. It is further agreed and certified that, pursuant to O.C.G.A § 50-5-85, the DESIGNATED AGENCY is not currently engaged in and agrees that for the duration of this Agreement, it will not engage in a boycott of Israel.
- G. The covenants herein contained shall, except as otherwise provided, accrue to the benefit of and be binding upon the successors and assigns of the parties hereto.

#### ARTICLE XIX

#### **AUDITS OF COST RECORDS**

The DEPARTMENT shall have the right to perform an audit of all documents and records pertaining to costs incurred on this PROJECT for a period of three (3) years after the final payment under Article IX is made by the DEPARTMENT to the DESIGNATED AGENCY under this Agreement. If

requested, the DESIGNATED AGENCY shall assist in making the result of the audit performed pursuant to 2 C.F.R. Part 200, "Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards" available to the DEPARTMENT. To the extent such audit is applicable, the DEPARTMENT, in its sole discretion, may agree to accept the Single Audit in lieu of its audit as herein allowed. Further, the DESIGNATED AGENCY agrees to reimburse the DEPARTMENT for the DEPARTMENT's share of any and all costs disallowed as a result of either the Single Audit or by the audit allowed hereunder by the DEPARTMENT, unless the cost was incurred due to reliance of DEPARTMENT guidance.

#### ARTICLE XX

#### **INSURANCE**

By execution of this agreement, the DESIGNATED AGENCY certifies to the DEPARTMENT that it and any subcontractors or consultants will maintain the following minimum amounts of insurance:

- A. Workmen's Compensation Insurance in accordance with the laws of the State of Georgia.
- B. Public Liability Insurance as follows:

Each Occurrence Limit: \$1,000,000.00
 Personal Injury/Death Limit: \$1,000,000.00
 General Aggregate Limit: \$2,000,000.00
 Products/Completed Ops.: \$2,000,000.00

Aggregate Limit

5. Automobile Liability Limit: \$1,000,000.00 (Combined Single Limit)

6. Umbrella Liability: \$2,000,000.00

Insurance shall be maintained in full force and effect during the life of the contract, or amendments hereto, and shall protect the DESIGNATED AGENCY, its employees, agents and representatives from claims for damages, for personal injury, and death and for damages arising in any manner from the negligent or wrongful acts or failures to act by DESIGNATED AGENCY, its employees, agents, or representatives in the performance of the work covered by the contract, or amendments hereto.

IN WITNESS WHEREOF, said parties have hereunto set their hands and affixed their seals the day and year above first written.

GEORGIA DEPARTMENT OF TRANSPORTATION	AUGUSTA REGIONAL TRANSPORTATION STUDY
— Docusigned by: Russell K McMurry	DocuSigned by:
76D6577D00644FA Commissioner	Director
ATTEST: —DocuSigned by:	IN THE PRESENCE OF:
TOUSSITEOFAC425	Willess 20,72C3A048A
	Signed, Sealed and Delivered  This day of, 2022  in the presence of:  NOTARY PUBLIC
	I attest that the corporate seal attached to this document is, in fact, the seal of the Corporation executing this Document does, in fact, occupy the official position indicated and is duly authorized to execute such document on behalf of this Corporation.
	ATTEST:  DocuSigned by:  182212665994FA  58-2204274  Federal Employee Tax No.:
	Federal Employee Tax No.:

#### **EXHIBIT A**

# **Certification of Designated Agency**

I hereby certify that I am the DIRECTOR and duly authorized representative of the Augusta Regional Transportation Study, whose address is 535 Telfair Street, Augusta, Suite 300, GA 30901, and that neither I nor the entity I here represent has:

- (a) Employed or retained for a commission, percentage, brokerage, contingent fee, or other consideration, any firm or person (other than a bona fide employee working solely for me or the above commission to solicit or secure the Agreement.
- (b) Agreed, as an express or implied condition for obtaining this Agreement, to employ or retain the services of any firm or person in connection with carrying out the Agreement, or
- (c) paid, or agreed to pay, to any firm, organization or person (other than a bona fide employee working solely for me or the above commission) any fee, contribution, donation, or consideration of any kind, or in connection with, procuring or carrying out the Agreement; except as here expressly stated (if any):

I acknowledge that this certificate is to be furnished to the Georgia Department of Transportation and the Federal Highway Administration, U.S. Department of Transportation, in connection with the Agreement involving the participation of Federal-Aid highway funds, and is subject to applicable State and Federal laws, both criminal and civil.

11/30/2022	Och MJ
(Date)	Signature of Authorized Representative
	Carla Delaney
	Type or Print Name

#### **EXHIBIT B**

### Certification of Department Of Transportation of the State of Georgia

I hereby certify that I am the COMMISSIONER of the Department of Transportation of the State of Georgia and that the above Planning Commission in **EXHIBIT A** or its representative has not been required, directly, or indirectly, as an express or implied condition in connection with obtaining or carrying out this Agreement to:

- (a) Employ or retain, or agree to employ or retain, any firm or person, or
- (b) Pay, or agree to pay, to any firm, person, or organization, any fee, contribution, donation, or consideration of any kind; except as here expressly stated (if any):

I acknowledge that this certificate is to be furnished the Federal Highway Administration, U. S. Department of Transportation, in connection with this Agreement involving the participation of Federal-Aid highway funds, and is subject to applicable State and Federal laws, both criminal and civil.

	DocuSigned by:
12/28/2022	Russell R McMurry
(Date)	70D0577D00044FA Commissioner

#### **EXHIBIT C**

#### **Federal Award Identification Required Elements**

- 1. Sub-recipient Name: AUGUSTA REGIONAL TRANSPORTATION STUDY
- 2. Sub-recipient's DUNS Number (Data Universal Numbering System, required under 2 C.F.R. § 200.32): #073438418
- 3. Federal Award Identification Number: PI# 0019245
- 4. Federal Award Date (2 CFR 200.39, date when the federal award is signed by the federal awarding agency): 11/01/2022
- 5. Sub-award Period of Performance start and end date: October 1st, 2022 July 31st, 2024
- 6. Amount of federal funds obligated by this action: \$240,000
- 7. Total amount of the federal funds obligated to sub-recipient: \$240,000
- 8. Total Amount of the federal award: \$240,000
- Federal Award Project Description (as required under the Federal Funding Accountability and Transparency Act): THE AUGUSTA REGIONAL TRANSPORTATION STUDY – FREIGHT PLAN FY 2023
- 10. Name of Federal Awarding Agency: Federal Highway Administration
- 11. Pass-through entity: Georgia Department of Transportation's Office of Planning
- 12. Contact information for the awarding official: FHWA Georgia Division, 61 Forsyth Street, Suite 17T100, Atlanta, GA 30303
- 13. CFDA Number and Name: 20.205
- 14. Is this a Research and Development Project? **NO**
- 15. Indirect cost rate if used (2C.F.R. § 200.414): **86.36%**

#### **EXHIBIT D**

# Work Program - Fiscal Year 2023

See Task 4.3 – Intermodal Planning of the *Unified Planning Work Program (UPWP) – FY 2023* Document can be found here:

https://www.augustaga.gov/2086/Unified-Planning-Work-Program

(Current as of July 1, 2022)

## **TASK 4.3 - Intermodal Planning**

**Purpose:** To incorporate bicycle, pedestrian, public transit, freight, and non-motorized transportation planning activities into the overall ARTS transportation planning process. To implement projects that resolve conflicts between modes of transportation, such as rail/highway conflicts, and projects that improve connections and travel alternatives among modes of transportation.

This work element will be used to foster a transportation system that accommodates bicycle, pedestrian, public transit, freight, and other non-motorized means of transportation. Activities under this work element will focus on evaluating the highway and rail conflicts in the ARTS area; addressing the efficient movement of freight; identifying possible solutions to problem locations related to intermodal connections, and improving safety for non-motorized travel.

Through the implementation of the Regional Bicycle and Pedestrian Plan, the ARTS transportation system will be more intermodal. This plan prioritized proposed projects based on numerous factors identified by local stakeholders. The plan recommends local governments strengthen policies related to:

- 1. Bicycle paths and parking
- 2. Pedestrian facilities
- 3. Regional connectivity
- 4. Bicycle and Pedestrian Safety and Educational Outreach

The implementation of the Regional Bicycle and Pedestrian Plan will be pursued by ARTS MPO committees as projects in the TIP progress preliminary engineering and all subsequent phases of work during the project implementation.

#### **Previous Work**

- 1. The 2050 MTP and FY 2021-2024 TIP updates include future transportation projects on routes/corridors serving freight traffic.
- 2. ARTS Bicycle and Pedestrian Plan (Implementation and monitoring Transportation Alternatives Program (TAP) projects).
- 3. Aiken County Bicycle and Pedestrian Plan (Implementation and monitoring TAP projects).
- 4. ARTS staff continued work on compiling data to assess Sidewalk and Bus Stop/Shelter Gap Analysis based on the Americans with Disabilities Act (ADA) Self Evaluation Plan for Richmond County.
- 5. ARTS staff released a solicitation for Transportation Alternatives (TA) Set-aside grant applications.

#### FY 2023 Work Activities and Schedule

	ACTIVITIES	EXPECTED COMPLETION DATE
1.	Complete Streets Policy Technical Report	January 31, 2023
2.	Education and outreach materials for bicycle and pedestrian safety	February 15, 2023
3.	Collect data to create GIS map of Critical Freight Corridors	April 2023

ACTIVITIES	EXPECTED COMPLETION DATE
4. Collect and analyze traffic conflicts at railroad crossings	June 30, 2023
5. Task 0 – Project Management	July 2022 – June 2023
6. Task 1 – Project Initiation	July 2022 – August 2022
7. Task 2 – Existing Conditions Inventory and Profiles Analysis	July 2022 – Sept. 2022
8. Task 3 – Stakeholder Involvement / Freight Advisory Committee	July 2022 – June 2023
9. Task 4 – Freight Project Identification	Oct. 2022 – Feb. 2023
10. Task 5 – Freight Project Evaluation / Project Feasibility	Jan 2023 – April 2023
11. Task 6 – Draft and Final Freight Report	April 2023 – July 2023

#### Product(s)

- 1. Complete Streets Policy Technical Report.
- 2. Draft 2022 ARTS Regional Freight Plan Update completed by selected consultant pending GAMPO application. ARTS staff will intermodal task funds to assist the selected consultant with public outreach and administrative support.

#### **COST ESTIMATES AND PROPOSED FUNDING SOURCES**

**Responsible Agencies:** Augusta Planning and Development Department (APDD), Aiken County Planning and Development Department (ACPDD), Federal Highway Administration – GA(FHWA GA), Federal Highway Administration – SC (FHWA SC), Georgia Department of Transportation (GDOT), and South Carolina Department of Transportation (SCDOT).

FUNDING SOURCE	APDD	ACPDD	TOTALS
FHWA (GA PL)	\$44,358.82		\$44,358.82
APDD (GA PL Match)	\$11,089.70		\$11,089.70
FHWA (SC PL)	\$400.00	\$3,200.00	\$3,600.00
ACPDD (SC PL Match)	\$100.00	\$800.00	\$900.00
FHWA (GA PL) – GAMPO	\$240,000.00		\$240,000.00
APDD (GA PL Match) – GAMPO	\$60,000.00		\$60,000.00
TOTAL	\$355,948.52	\$4,000.00	\$359,948.52

# **EXHIBIT E**

**Budget Estimate - Fiscal Year 2023** 

# **FY 2023 UPWP BUDGET**

# Figure 3 - FY 2023 UPWP Budget

FIGURE 3	AUGUSTA PLANNING & DEVELOPMENT DEPARTMENT						AIKEN COUNTY PLANNING & DEVELOPMENT		LOWER SAVANNAH COUNCIL OF GOVERNMENTS		NORTH AUGUSTA PLANNING & DEVELOPMENT			
ARTS FY 2023 UPWP					FTA	SEC 5303	SEC 5303			FTA	SEC 5303			TOTAL
WORK ELEMENTS BY FUNDING SOURCE Revised 05/05/2022	FHWA GA PL	APDD MATCH	FHWA SC PL	ACPDD MATCH	SEC 5303 FUNDS	GA STATE MATCH	APDD MATCH	FHWA SC PL	ACPDD MATCH	SEC 5303 SC PL	LSCOG MATCH	FHWA SC PL	NAPDD MATCH	
1.1 Program Coordination/Administration	\$52,000.00	\$13,000.00	\$6,000.00	\$1,500.00	¢ _	\$ -	\$ -	\$45,000.00	\$11,250.00	¢ _	\$ -	ė _	\$ -	\$128,750.00
1.2 Training/Employee Education	\$32,000.00	\$8,000.00		\$1,300.00			\$ -	\$6,000.00	\$1,500.00	Ψ	\$ -	*	\$ -	\$47,500.00
1.3 UPWP	\$18,400.00	\$4,600.00	\$800.00	\$200.00	•	\$ -	¢ -	\$2,000.00	\$500.00	\$ -	٠ • -	¢ -	¢ -	\$26,500.00
Subtotal: Program Administration	\$102,400.00	\$25,600.00	\$6,800.00	\$1,700.00	\$ -	\$ -	\$ -	\$53,000.00	\$13,250.00	\$ -	\$ -	\$ -	\$ -	\$202,750.00
2.1 Community Outreach / Education	\$26,400.00	\$6,600.00	\$2,000.00	\$500.00	· -	\$ -	\$ -	\$5,000.00	\$1,250.00	· -	· -	ċ -	, , -	\$41,750.00
Subtotal: Public Involvement	\$26,400.00	\$6,600.00	\$2,000.00	\$500.00	-	7	\$ -	\$5,000.00	\$1,250.00	\$ -	\$ -	\$ -	\$ -	\$41,750.00
3.1 Environmental Justice & Socioeconomic Data	\$16,000.00	\$4,000.00	\$1,200.00	\$300.00	¢ _	\$ -	\$ -	\$2,400.00	\$600.00	¢ .	¢ _	ė _	\$ -	\$24,500.00
3.2 Land Use Monitoring	\$14,400.00	\$3,600.00	\$ -		ċ -	e -	\$ -	\$5,200.00	\$1,300.00	ė -	ċ -	ċ	· ·	\$24,500.00
3.3 Transportation Surveys, Models & Analysis	\$17,600.00	\$4,400.00	\$400.00	\$100.00	\$ -	, - , -	\$ -	\$2,400.00	\$600.00	\$ -	, - , -	٠ د -	\$ -	\$25,500.00
3.4 Environmental Justice / Title VI	\$16,000.00	\$4,000.00	\$ -		*	\$ -	٠ د -	\$2,400.00	\$600.00	\$ -	- د -	¢ -	\$ -	\$23,000.00
3.5 GIS Development & Applications	\$28,000.00	\$7,000.00	\$ -	*	*	٠ د -	\$ -	\$40,000.00	\$10,000.00	\$ -	٠ • -	ς -	ς -	\$85,000.00
Subtotal: Data Collection/ Analysis	\$92,000.00	\$23,000.00	\$1,600.00	\$400.00	\$ -	\$ -	\$ -	\$52,400.00	\$13,100.00	\$ -	\$ -	\$ -	\$ -	\$182,500.00
4.1 Metropolitan Transportation Plan	\$14,400.00	\$3,600.00	\$800.00	\$200.00	Ť	\$ -	\$ -	\$4,800.00	\$1,200.00	\$ -	¢ -	¢ .	\$ .	\$25,000.00
4.2 Congestion Management	\$14,400.00	\$4,000.00	\$800.00	\$200.00	÷ -	- د	ė -	\$3,200.00	\$1,200.00	÷ -	- ¢	č	\$ - \$ -	\$25,000.00
4.2 Congestion Management 4.3 Intermodal Planning	\$16,000.00	\$4,000.00	\$400.00	\$200.00	, - \$ -	- د د	\$ - \$ -	\$3,200.00	\$800.00	- د -	\$ - \$ -	š -	\$ - \$ -	\$25,000.00
4.4 Air Quality Issues	\$18,400.00	\$4,600.00	\$1,600.00	\$400.00	, - \$ -	, - \$ -	\$ - \$ -	\$3,200.00	\$900.00	- د -	- د -	\$ -	٠ د -	\$29,500.00
4.5 Bike and Pedestrian Plan Update	\$40,000.00	\$10,000.00	. ,		\$ -	ş - \$ -	\$ - \$ -	\$ 5,600.00		\$ -	, - \$ -	š -	š -	\$50,000.00
4.6 Complete Streets	\$ - 4	\$10,000.00		\$ -	\$ -	\$ -	\$ -	, , ,	\$ -	\$ -	\$ -	_	\$ -	\$0.00
Subtotal: Transportation System Planning	\$133,158.82	\$33,289.70	\$3,600.00	\$900.00	\$ -	<del>y</del> \$ -	\$ -	\$14,800.00	\$3,700.00	\$ -	\$ -	\$ -	\$ -	\$189,448.52
								1.						
4.7.1 Georgia Avenue Traffic Calming and Pedestrian Access	\$ - \$		*	\$ -	Ş -	\$ -	Ş -	Ş - Ş	S -	Ş -	\$ -	\$40,000.00	\$10,000.00	\$50,000.00
4.7.2 North Augusta Unified Transportation Plan	\$ - 5		*	\$ -	\$ -	\$ -	\$ -	\$ - 5		\$ -	\$ -	\$80,000.00	\$20,000.00	\$100,000.00
4.7.3 Transportation Hub Accessibility and Land Travel Patterns	\$36,000.00	\$9,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ - 5	-	\$ -	\$ -	\$ -	\$ -	\$45,000.00
4.7.4 US1 Corridor Pedestrian Fatalities Analysis	\$36,000.00	\$9,000.00	\$ -	Ş -	\$ -	Ş -	Ş -	\$ - 9		\$ -	Ş -	Ş -	\$ -	\$45,000.00
4.7.5 Bettis Academy Road Feasibility Study	\$ - 5	-	\$ -	\$ -	\$ -	\$ -	\$ -	\$160,000.00	\$40,000.00	\$ -	\$ -	\$ -	\$ -	\$200,000.00
4.7.6 Whiskey Road Feasibility Study	\$ - ;	-	\$ -	\$ -	\$ -	\$ -	\$ -	\$40,000.00	\$10,000.00	\$ -	\$ -	\$ -	\$ -	\$50,000.00
4.7.7 Aiken County Urbanized Area Bicycle Pedestrian Plan Update	\$ - \$	-	\$ -	\$ -	\$ -	\$ -	\$ -	\$160,000.00	\$40,000.00	\$ -	\$ -	\$ -	\$ -	\$200,000.00
4.7.8 Five Notch Corridor Study	\$ - \$	-	Ş -	Ş -	\$ -	Ş -	Ş -	\$ - 5		\$ -	Ş -	\$80,000.00	\$20,000.00	\$100,000.00
4.7.9 US 278/5th Street Intersection and Gateway Study	\$ - \$	-	Ş -	Ş -	\$ -	Ş -	Ş -	\$ - 5		\$ -	Ş -	\$40,000.00	\$10,000.00	\$50,000.00
4.7.10 US 278/Martintown Road/Buena Vista Boulevard Study	\$ - \$	-	\$ -	\$ -	*	\$ -	\$ -	\$ - 5		\$ -	\$ -	\$40,000.00	\$40,000.00	\$80,000.00
4.7.11 SC 118 Intersection Analysis Subtotal: Special Transportation Studies	\$ - 5	\$18,000.00	\$ -	\$ - <b>\$0.00</b>	Ÿ	\$ - \$ -	\$ -	\$ 80,000.00 S	\$ 20,000.00 <b>\$110,000.00</b>	\$ -	\$ - \$ -	\$ - \$ 280,000.00	\$ - \$ 100,000.00	\$100,000.00
Subtotal. Special Hallsportation Studies	\$72,000.00	\$18,000.00	\$0.00	\$0.00	<del>-</del>	<b>,</b> -	<b>&gt;</b> -	\$440,000.00	\$110,000.00	<b>&gt;</b> -	<b>,</b> -	\$ 280,000.00	\$ 100,000.00	\$1,020,000.00
5.1 Program Support and Administration	\$ - 5	<b>;</b> -	\$ -	\$ -	\$33,089.00	\$4,136.13	\$4,136.13	\$ - 5	\$ -	\$26,040.00	\$6,510.00	\$ -	\$ -	\$73,911.25
5.2 Long-Range Transportation Planning	\$ - 5	<b>&gt;</b> -	\$ -	\$ -	\$48,800.00	\$6,100.00	\$6,100.00	\$ - 5	\$ -	\$2,000.00	\$500.00	\$ -	\$ -	\$63,500.00
5.3 Short -Range Transportation Planning	\$ - 5	\$ -	\$ -	\$ -	\$36,000.00	\$4,500.00	\$4,500.00	\$ - 5	\$ -	\$15,960.00	\$3,990.00	\$ -	\$ -	\$64,950.00
5.4 Transportation Improvement Program	\$ - 5	<del>-</del>	7	\$ -	\$33,600.00	\$4,200.00	\$4,200.00		,	\$4,000.00	\$1,000.00		\$ -	\$47,000.00
Subtotal: Public Transit/Paratransit	\$ - :	\$ -	\$ -	\$ -	\$151,489.00	\$18,936.13	\$18,936.13	\$ - :	\$ -	\$48,000.00	\$12,000.00	\$ -	\$ -	\$249,361.25
6.1 Performance Based Planning	\$20,000.00	\$5,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$9,600.00	\$2,400.00	\$ -	\$ -	\$ -	\$ -	\$37,000.00
Subtotal: Performance Based Planning	\$20,000.00	\$5,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$9,600.00	\$2,400.00	\$ -	\$ -	\$ -	\$ -	\$37,000.00
7.1 Transportation Improvement Program	\$16,000.00	\$4,000.00	\$1,600.00	\$400.00	\$ -	\$ -	\$ -	\$5,200.00	\$1,300.00	\$ -	\$ -	\$ -	\$ -	\$28,500.00
Subtotal: Transportation Improvement Program	\$16,000.00	\$4,000.00	\$1,600.00	\$400.00	\$ -	\$ -	\$ -	\$5,200.00	\$1,300.00	\$ -	\$ -	\$ -	\$ -	\$28,500.00
SUBTOTAL: FY 2023 MPO PL & Local Match	\$461,958.82	115.489.70	\$15,600.00	\$3.900.00	\$151,489.00	18.936.13	\$18.936.13	\$580,000.00	145.000.00	\$48,000.00	\$12,000.00	\$280.000.00	\$100,000.00	\$1,951,309.77
4.3 GAMPO 2022 Freight Plan Update (Pending Gampo Approval)	\$240,000.00	\$60,000.00												\$300,000.00
4.5 GAMPO PL 0018099-PLN 2022 Bike and Pedestrian Plan	\$240,000.00	\$60,000.00	\$ -	٠.	\$ -	<b>Š</b> -	<b>s</b> -	s - 9	<u>.</u>	\$ -	\$ -	\$ -	\$ -	\$300,000.00
4.5 GAMPO PE 0018059-PEN 2022 Bike and Pedestrian Plan Y410 FUNDING - Complete Streets Funding (Pending		ου,υυυ.υυ .υυ		- ب		- ب	· -	] - ;	, -	- ب	· -	-	· -	\$300,000.00
4.6 Supplemental Agreement)	\$11,459.55	\$2,864.89												\$14,324.4
SUBTOTAL: FY 2023 GAMPO PL & Local Match	\$491,459.55	122,864.89	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$614,324.44
GRAND TOTAL: FY 2023 MPO PL & Local Match w/ FY 2023 GAMPO PL & Local Match	\$953,418.37	238,354.59	\$15,600.00	3,900.00	\$151,489.00	18,936.13	\$18,936.13	\$580,000.00	145,000.00	\$48,000.00	\$12,000.00	\$280,000.00	\$100,000.00	
														105

# **EXHIBIT F**

Schedule - Fiscal Year 2023

ARTS Regional Freight Plan Update																			
Task Name	2022			2023												2024			
	Oct.	Nov.	Dec.	Jan.	Feb.	March	Apr.	May	June	July	Aug	Sept	Oct	Nov	Dec.	Jan.	Feb.	March	Apr.
Task 0 – Project Management	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>	<b>A</b>					
Task 1 – Project Initiation																			
Task 2 – Existing Conditions Inventory and Profiles Analysis																			
Task 3 – Stakeholder Involvement / Freight Advisory Committee		•				•				•				•					
Task 4 – Freight Project Identification																			
Task 5 – Freight Project Evaluation / Project Feasibility																			
Task 6 – Draft and Final Freight Report																			
	LE	GEND: ● =	Stakeholde	r Involvem	ent / Freigh	t Advisory C	committee	; ▲ = Consu	ltant & MP	O Staff Mee	eting								

#### **APPENDIX A**

# NOTICE OF CONTRACTORS COMPLIANCE WITH TITLE VI OF THE CIVIL RIGHTS ACTS OF 1964 AS AMENDED BY THE CIVIL RIGHTS RESTORATION ACT OF 1987 FOR FEDERAL-AID CONTRACTS

During the performance of this Contract, the contractor, for itself, its assignees and successors in interest (hereinafter referred to as the "Contractor") agrees as follows:

- (1) <u>Compliance with Regulations:</u> The Contractor will comply with the Regulations of the U.S. Department of Transportation relative to nondiscrimination in Federally-assisted programs of the Department of Transportation (Title 49, Code of Federal Regulations, Part 21, hereinafter referred to as the Regulations), which are herein incorporated by reference and made a part of this contract.
- (2) **Nondiscrimination:** The Contractor, with regard to the work performed by it after award and prior to completion of contract work, will not discriminate on the ground of race, color, national origin or sex in the selection and retention of subcontractors including procurement of materials and leases of equipment. The Contractor will not participate either directly or indirectly in the discrimination prohibited by Section 21.5 of the Regulations, including employment practices when the contract covers a program, set forth in Appendix B of the Regulations. In addition, the Contractor will not participate either directly or indirectly in the discrimination prohibited by 23 CFR 200 (b).
- (3) <u>Solicitations for Subcontracts, Including Procurement of Materials and</u> <u>Equipment:</u> In all solicitations, either by competitive bidding or negotiations made by the Contractor for work to be performed under a subcontract, including procurement of materials or equipment, each potential subcontractor or supplier shall be notified by the Contractor of the Contractor's obligations under this contract and the Regulations relative to nondiscrimination on the ground of race, color, national origin or sex.
- (4) <u>Information and Reports:</u> The Contractor will provide all information and reports required by the Regulations, to permit access to its books, records, accounts, other sources of information and its facilities as may be determined by the Department of Transportation or the Federal Highway Administration to be pertinent to ascertain compliance with such Regulations, orders and instructions. Where any information required of a Contractor is in the exclusive possession of another who fails or refuses to furnish this information, the Contractor shall so certify to the DEPARTMENT or the Federal Highway Administration as appropriate, and shall set forth what efforts it has made to obtain the information.
- (5) <u>Sanctions for Noncompliance:</u> In the event of the Contractor's noncompliance with the nondiscrimination provisions of this contract, the DEPARTMENT shall impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to,
  - (a) withholding of payments to the Contractor under the contract until the Contractor complies, and/or
  - (b) cancellation, termination or suspension of the contract, in whole or in part.
- (6) <u>Incorporation of Provisions:</u> The Contractor will include the provision of paragraphs (1) through (6) in every subcontract, including procurement of materials and leases of equipment, unless exempt by the Regulations, order, or instructions issued pursuant thereto. The Contractor will take such action with respect to any subcontract or procurement as the DEPARTMENT or the Federal Highway Administration may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, however, that in the event a Contractor becomes involved in, or is threatened with, litigation with a subcontractor or supplier as a result of such direction, the Contractor may request the State to enter into such litigation to protect the interests of the State, and in addition, the Contractor may request the United States to enter into such litigation to protect the interests of the United States.

#### APPENDIX B

## CERTIFICATION FOR STATE REGARDING DEBARMENT, SUSPENSION, AND OTHER RESPONSIBILITY MATTERS - PRIMARY COVERED TRANSACTIONS

The AUGUSTA REGIONAL TRANSPORTATION STUDY, as an Applicant for a Federal PL Fund grant or cooperative agreement, certifies to the best of its knowledge and belief, that its principals:

- (1) Are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any federal department or agency;
- (2) Have not within a three year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain or performing a public (Federal, State, or Local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
- (3) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State or Local) with the commission of any of the offenses enumerated in paragraph (2) of this certification; and
- (4) Have not within a three year period preceding this application/proposal had one or more public transactions (Federal, State or Local) terminated for cause or default.

Where the State is unable to certify to any of the statements in this certification with respect to its principals, the State shall attach an explanation to this proposal.

THE AUGUSTA REGIONAL TRANSPORTATION STUDY CERTIFIES OR AFFIRMS THE TRUTHFULNESS AND ACCURACY OF THE CONTENTS OF THE STATEMENTS SUBMITTED ON OR WITH THIS CERTIFICATION AND UNDERSTANDS THAT THE PROVISIONS OF 31 U.S.C. SECTIONS 3801 <u>ET SEC.</u> ARE APPLICABLE THERETO.

DocuSigned by:		
Could haff	11/30/2022	
Director	Date	

#### APPENDIX C

## CERTIFICATION OF CONSULTANT DRUG-FREE WORKPLACE

I hereby certify that I am a principal and duly authorized representative of AUGUSTA REGIONAL TRANSPORTATION STUDY, whose address is 535 TELFAIR STREET, SUITE 300, AUGUSTA, GA 30901 and it is also certified that:

- (1) The provisions of Section 50-24-1 through 50-24-6 of the Official Code of Georgia Annotated, relating to the "Drug-Free Work Place Act", have been complied with in full; and
- (2) A drug-free workplace will be provided for the consultant's employees during the performance of the contract; and
- (3) Each subcontractor, if any, hired by the DESIGNATED AGENCY shall be required to ensure that the subcontractor's employees are provided a drug-free workplace. The DESIGNATED AGENCY shall secure from that subcontractor the following written certification:

"As part of the subcontracting agreement with the AUGUSTA REGIONAL TRANSPORTATION STUDY certifies that a drug-free workplace will be provided for the subcontractor's employees during the performance of this contract pursuant to paragraph (7) of subsection (b) of the Official Code of Georgia Annotated Section 50-24-3", and

(4) It is certified that the undersigned will not engage in unlawful manufacture, sale, distribution, dispensation, possession, or use of a controlled substance or marijuana during the performance of the contract.

11/30/2022	Oul MJ
Date	Director

## APPENDIX D - GEORGIA SECURITY AND IMMIGRATION COMPLIANCE ACT AFFIDAVIT

Name of Contracting Entity: AUGUSTA REGIONAL TRANSPORTATION STUDY

Contract No. and Name: PL 0019245-PLN (IGDPL2301049)

ARTS Freight Study FY23

By executing this affidavit, the undersigned person or entity verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm, or entity which is contracting with the Georgia Department of Transportation has registered with, is authorized to participate in, and is participating in the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91.

The undersigned person or entity further agrees that it will continue to use the federal work authorization program throughout the contract period, and it will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present an affidavit to the undersigned with the information required by O.C.GA. § 13-10-91(b).

The undersigned person or entity further agrees to maintain records of such compliance and provide a copy of each such verification to the Georgia Department of Transportation within five (5) business days after any subcontractor is retained to perform such service.

DocuSigned by:

46923	Hardie Davis, Jr. seal
E-Verify Company Identification Number	Signature of Authorized Officer or Agent
07/09/2007	Hardie Davis, Jr. seal
Date of Authorization	Printed Name of Authorized Officer or Agent
Augusta Regional Transportation Study	Mayor
Name of Contractor	Title of Authorized Officer or Agent
	11/30/2022
	Date
SUBSCRIBED AND SWORN BEFORE ME ON THIS THE  7 day of December	[NOTARY SEAL]
My Commission Expires on:	
DI    0010245 DI N	D 06 606



14030 Harvington Dr. Huntersville, NC 28078 (704) 280-7858 metroanalytics.com

July 31, 2023

Nancy Williams Augusta Regional Transportation Study MPO 535 Telfair Street Augusta, Georgia 30901

#### Dear Ms. Williams:

On behalf of the Metro Analytics team, we are presenting a revised budget for your approval. This revised offer and accompanying Exhibit B is more aligned with the scope and present our updated budget to match the budget provided by ARTS. Exhibit B addresses our reasoning for the proposed changes to personnel hours based on the available fee. Please let us know if you have any questions or concerns. As noted in Exhibit B, key highlights of the changes include:

- The project initiation task has been eliminated and rolled up into the Project Management and Stakeholder Involvement Tasks.
- The proposed allocation protects the original budgets for core elements of the Plan, such as Tasks 2, 4, and 5.

## EXHIBIT A-1 Budget Estimate\*

Task	Description	Personnel Hours	Total
1	Project Management/Initiation	160	\$22,678.44
2	Existing Conditions Inventory and Profile Analysis	348	\$50,792.80
3	Stakeholder Involvement/FAC	376	\$71,194.24
4	Freight Project Identification	344	\$51,060.64
5	Freight Project Evaluation	308	\$40,649.60
6	Draft and Final Freight Report	180	\$27,573.60
		Grand Total (Labor+Directs)	\$263,958.32
		Direct Expenses (Not Included in Overhead): Grand Total	\$5,000.00 \$268,958.32

Very Respectfully,

Vincent Matheney
Warrant Officer

**Exhibit B: Revised Budget Worksheet** 

Task	Original Hours	Arts Revised Hours	MA Revised Hours	Original Budget	Arts Revised Budget	MA Revised Budget	Change Description
Task 1: Project Management	128	128	160	\$16,617.04	\$18,000.00	\$22,687.44	We have consolidated Tasks 1 and 2 and moved activities related to the FAC to Task 4.
Task 2: Project Initiation (CONSOLIDATED)	144	144		\$26,847.44	\$28,000.00		The project management plan was moved to Task 1 and the committee-related activities have been allocated to Task 4.
Task 2: Existing Conditions Inventory and Profile Analysis	348	348	348	\$50,792.80	\$41,000.00	\$50,792.80	We would like to protect this budget, as it is at the core of the freight plan and requires data collection from two states.
Task 3: Stakeholder Involvement/FAC	392	392	376	\$72,427.76	\$63,000.00	\$71,194.24	The Stakeholder Outreach and Engagement Plan will be developed as part of this task. Staff for committee meetings was reduced.
Task 4: Freight Project Identification	344	344	344	\$51,060.64	\$47,500.00	\$51,060.64	We would like to protect this budget as it is at the core of the freight plan. No changes proposed.
Task 5: Freight Project Evaluation	308	308	308	\$40,649.60	\$33,000.00	\$40,649.60	We would like to protect this budget as it is at the core of the freight plan. No changes proposed.
Task 6: Draft and Final Freight Report	244	244	180	\$35,031.20	\$32,000.00	\$27,573.60	Our original proposal included providing an ArcGIS StoryMap version of the Final Report. Our new budget removes that to conserve labor hours.
Direct Expenses				\$6,500.00	\$6,500.00	\$5,000.00	To reduce our direct expenses, we will have no more than 2 staff members present at in-person outreach activities and proposes an electronic submittal of the Plan.
Total	1908	1908	1716	\$299,926.48	\$269,000.00	\$268,958.32	



## **Commission Meeting**

September 5, 2023

Discuss the development of a Food Truck Ordinance

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve tasking the Administrator's Office to work with Planning

& Development to streamline the ordinance regarding mobile truck service with the use of readily identifiable decals for the vendors. (**Approved by** 

**Public Services Committee August 29, 2023)** 

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

N/A

the following accounts:

REVIEWED AND

**APPROVED BY:** 



COMMISSION MEETING MINUTES

Commission Chamber Tuesday, August 15, 2023 2:00 PM

#### **PRESENT**

Mayor Garnett Johnson

Commissioner Brandon Garrett

Commissioner Jordan Johnson

Commissioner Bobby Williams

Commissioner Alvin Mason

Commissioner Sean Frantom

Commissioner Francine Scott

Commissioner Catherine Smith-McKnight (participates by telephone)

Commissioner Stacy Pulliam

Commissioner Tony Lewis

Commissioner Wayne Guilfoyle

#### INVOCATION

Reverend Marc Trimm, Senior Pastor. Church of Our Redeemer Metropolitan Community Church

## PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA RECOGNITION(S)

A. Congratulations! 2023 July Years of Service (YOS) 25-50 year recipients.

Presentations are made to the July Years of Service recipients.

B. Presentation of Proclamation to Raven Allen relative to her attending the Special Olympics. (Requested by Mayor Garnett Johnson)

Presentation is made to Ms. Raven Allen.

### **DELEGATION(S)**

C. Ms. Lyn Cobbett regarding her state of homelessness and disability.

Ms. Cobbett did not appear before the Commission.

D. Mr. R. John Ennis regarding Food Truck in Downtown Augusta.

Presentation is made by Mr. Ennis; it was the consensus of the Commission without any objections that the matter of the development of a food truck ordinance that is fair to everyone be discussed at the next committee meeting.



## **Commission Meeting**

September 5, 2023

AO Rightsizing Presentation 07.11.23

**Department:** Administrator's Office

N/A

**Presenter:** Takiyah A. Douse, Interim Administrator

Caption: Motion to approve the Rightsizing Plan as presented. (Approved by

**Administrative Services August 29 2023)** 

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

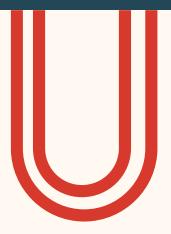
**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** 

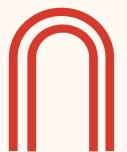
**APPROVED BY:** 



# RIGHT SIZING PLAN

TAKIYAH A. DOUSE, INTERIM ADMINISTRATOR
OFFICE OF THE ADMINISTRATOR





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## MESSAGE FROM THE INTERIM ADMINISTRATOR

Mayor Johnson and Augusta Commissioners,

As tasked, I present to you my recommendations to save money within our consolidated government, without imposing an increase on property taxes. Information within this report is guided by (1) internal department engagement, (2) surveying/benchmarking practices from municipalities from over 30 communities and (3) a robust review of academic resources.

Like all local governments, Augusta is faced with major fiscal challenges (i.e., budget increases, revenue shortfalls, labor shortages, unexpected events) that threaten the timeliness and quality of service delivery. Additionally, the lasting impact of the COVID-19 pandemic has exacerbated these challenges to levels never imagined. In response, local governments must identify budget reduction and revenue enhancement practices—while sustaining citizen service demands.

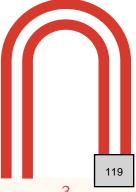
In conjunction with the right-sizing study, Augusta is also undertaking a class and compensation study that will complement the right-sizing plan. The compensation study will provide accurate data and real-time resources at a more technical level than presented in this plan. In some regard, these individual plans should be considered as companion documents that will guide decision makers in better managing personnel, and programs — while controlling budgetary spending.

Looking ahead, Augusta will continue to maintain and improve existing service quality, while serving the public in the best possible manner. This will include a multi-disciplinary focus, involving all of our departments in collaboration with residents, civic groups, local businesses and the public at-large.

Finally, I am honored to lead our government to a new era of improved service performance standards, while aggressively leveraging our invested resources to achieve sustainable growth and development. I welcome the opportunity to share this plan with our stakeholders in the community and Region.

Best regards,

Takiyah A. Douse, Interim Administrator



Augusta

## STUDY PURPOSE AND PRIORITY AREAS

The purpose of the Right-sizing Plan is to present cost-saving and efficiency strategies as a means of right-sizing Augusta's consolidated government through managerial controls. This plan provides best practice strategies in managing personnel, service delivery expectations, procurement services, capital assets and revenue growth (taxes and fees). The priority areas and recommendations presented within this report were compared with academic and government perspectives from across the nation.

To achieve this purpose, staff has identified key priority areas to present to the Commission with detailed recommendations for implementation strategies:

- 1. **Explore outsourcing services** as a low-cost alternative, where appropriate, to deliver higher and more consistent service performance.
- 2. **Assess duplicative tasks** throughout departments through policy and procedural changes, pilot programs and organizational restructuring.
- Reduce workforce allowances through position controls to ensure headcount is kept within efficiency limits and that vacant positions are not required to preserve public service integrity standards.
- 4. **Enhance revenue growth opportunities** through realized tax digest growth, pricing user fees and service charges according to the appropriate benefit received.
- 5. **Consider liquidating physical assets** which are underutilized—allowing considerable cost-savings in utilities, facility maintenance and long-term capital replacement spending. This category includes vehicles and city-owned facilities.
- 6. **Improve shared asset management procedures** such as equipment, vehicles, and office space where greater economies of scale can be realized.
- 7. **Restructure benefits and other personnel expenditures** to realize savings. This can be achieved by evaluating benefits and reducing them to appropriate levels.
- 8. **Implement technology solutions** through the acquisition of software products, licenses, and hardware.
- 9. **Mandatory percentage based budget cuts** will allow department directors the opportunity to participate in determining their budget reductions.



## I. OUTSOURCING SERVICES

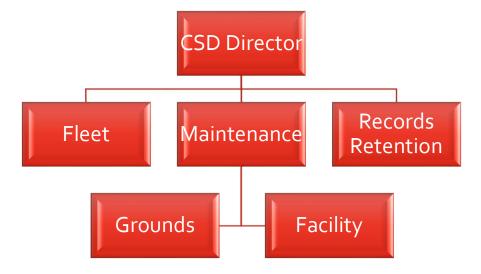
#### A. CENTRALIZE RIGHT-OF-WAY MAINTENANCE

As part of Augusta's renewed emphasis on centralizing landscaping activities, in fiscal year 2023 the Commission allocated \$500,000 to manage and maintain highly visible right-of-way landscaped areas. This plan included the centralization of areas currently managed by the Engineering and Environmental Services Department (EESD) and the Parks and Recreation (P&R) Department. These combined activities enhance our surrounding aesthetics and are vital to minimizing public safety risk and associated hazard liabilities. By increasing the frequency of grounds related maintenance services, and consolidating vendor services previously utilized by multiple departments, Augusta is able to capitalize by economies of scale. This effort is noted as an added quality of life measure for our community.

## B. CENTRAL SERVICES DEPARTMENT – GROUNDS MAINTENANCE DIVISION

The creation of a CSD-Grounds Maintenance Division will combine the current grounds efforts currently deployed by three (3) different departments. Central Services, Parks & Recreation and Engineering and Environmental Services all have staff responsible for grounds maintenance duties. The scope of work includes services from tree and right of way maintenance, to facility maintenance and park maintenance. Centralizing rounds related maintenance tasks under one department with one vision will seamlessly address Augusta's resounding concerns about grass and tree maintenance.

While services may continue to be outsourced, allowing the Department to assess the best deployment of resources will ensure a schedule of need is addressed and recurring services are performed.





## II. DUPLICATIVE TASKS

## A. IMPLEMENTATION OF ADVANCED METERING INFRASTRUCTURE (AMI)

Augusta Utilities is continuing its implementation of Advanced Metering Infrastructure (AMI) as a means of streamlining its meter reading activities. The AMI System will result in the reduction of meter reading staff, which is a high-turnover position. This position is extremely labor-intensive and requires specialty knowledge of the system. Full rollout of the meter updates will take five (5) years and throughout this period the number of metering staff needed will be reduced through attrition (retire, resign, or retrained as technicians).

Accurate meters readings will increase revenue for the department and allow the customer to track their usage on an hourly, daily or monthly basis through an online portal.

AMI will feature the following benefits:

- a. Provide timely notification of leaks
- b. Provide customer guidance for meeting local guidelines
- c. Support conservation efforts
- d. Result in efficient service delivery and usage reporting

## Cost Savings/Net Revenue Increase

\$450,000 per year

#### **B. REDUCE AUTOMATIC DISPATCH OF FIRE TRUCKS**

AFD will continue to monitor and adjust first responder emergency calls by limiting the number of first responder calls automatically dispatched to low-priority medical calls once Central EMS becomes fully operational.

This effort can lead to cost savings by:

- 1. Reduced equipment costs such as fire trucks, ambulances, and other specialized gear.

  Reducing the wear and tear on equipment, will prolong its lifespan and reduce replacement costs.
- **2. Reduced fuel and maintenance costs** will be immediately realized as a result of fewer dispatched calls.

In addition to the savings noted above, the department will be able to **improve current response times and improve staff morale**. Resources will be available to respond faster to high-priority calls which will lead to positive outcomes for those in need. Staff has reported frustration when time and resources could be better served for more serious emergencies,



rather than low acuity related calls. By reducing the number of low-acuity calls, staff morale can improve, leading to better job satisfaction and potentially lower turnover rates.

## Cost Savings

\$255,000 per year

## C. REDUCE RESPONSES FOR USE OF AMBULANCE (MEDICAL) CALLS (MED UNIT).

With the addition of our new Emergency Medical Services (EMS) transport provider, Fire will reduce the number of responses by its Med-unit by making this unit only available as a medical sector response for structure fires. The unit will continue to perform and/or assist with training needs, as well as respond to any mutual aid request initiated by the Zone provider. The increased downtime will result in future savings fuel and maintenance cost. Savings will be offset by a reduction in revenue generated from patient care transport charges.

### Scenarios where AFD will dispatch Medical (Ambulance) Units

- 1. All structure fires to provide a medical component for staff or victims
- 2. Mutual aid request when the zone provider reaches zero status for available ambulance service units.

## Cost Savings

\$45,000 per year

#### D. IMPROVED FIRE ASSET MANAGEMENT

The department will improve upon current asset management practices. By automating the process of tracking and maintaining the use of physical assets to ensure they are being used effectively and efficiently. This will involve implementing a system to better track equipment and maintain it within the logistics division. The Department will explore City Works or similar software options, to accomplish this task via a digital platform. Automated processes are proven to provide better regulatory oversight, is prolong the lifespan assigned equipment and reduce replacement costs.

The benefits of effective asset management include:

Prolonged lifespan of equipment- By properly maintaining equipment, it can last longer and require fewer repairs or replacements. This can save money on replacement costs and reduce downtime associated with equipment failures.



- 2. **Improved Safety-** Well-maintained equipment is less likely to fail during an emergency, which can positively impact the safety of first responders and the public.
- Enhanced Efficiency- By having an accurate inventory of assets and their condition, the
  department can better allocate resources and reduce downtime associated with equipment
  failure.
- 4. Increased Accountability- Having an asset management system in place provides accountability for the departments equipment and ensures that assets are being used as intended. This can mitigate misuse or theft of department property.
- 5. **Compliance** Asset management can help ensure that equipment is being maintained to comply with regulatory requirements, such as safety and inspection requirements

#### E. FIRE DEPARTMENT COMMUNITY OUTREACH PROGRAM

The department will implement more community outreach programs that will educate our community on fire safety and prevention measures through a robust "Alert Augusta" Initiative. The objective for "Alert Augusta" is to meet the Department's mission of providing emergency services through community-focused education, outreach, events, and operational standards that will create a safer Augusta. Each program is rooted in the idea that prevention through education is ideal. The decisions and programs outlined in this plan will take into consideration key data points, Department operations, and community feedback. Evaluating the effectiveness of each program will be conducted with both a short and long-term goal in view. Evaluations will be done regularly on a monthly and yearly basis to determine emerging trends and repeatable successes. The creation of an Education Specialist, dedicated specifically towards the aforementioned efforts, will advance the mission of the Department in this area..

The plan revolves around three distinct principles, "Programs, Data, Partnerships." Creating targeted programs, driven by data, established through partnerships, under the premise, "if its predictable, its preventable." These programs can help reduce the number of incidents, make our community safer, and in turn, reduce the cost of emergency response.

#### F. COMMUNITY CAT TRAP-NEUTER-RELEASE (TNR) PROGRAM

A Community Cat TNR program offers a cost-savings by reducing the number of fiscal resources expended on cat food and euthanasia drugs. An additional cost-savings would be realized by reducing the amount of fuel consumed responding to cat related complaints.

Augusta

Table 1. Cost-savings by Implementing a TNR Program

	No TNR Program 2021 2022		Proposed TNR Program	
			Proposed TNK Program	
Number of Cats Impounded	2,258	2,326	381	
Number of Cats Euthanized	1,378	1,443	381	
Cost of Food and Cat Litter	\$6 <b>,</b> 977	\$7,180	\$1,173	
Cost to Euthanize	\$1,598 \$1,673 \$441		\$441	
Cost to Vaccinate \$6,480 \$		\$6,675	\$1,093	
Total	\$15,056 \$15,529		\$2,707	

## Cost Savings

\$15,000 per year

## III. WORKFORCE STAFFING AND POSITION CONTROL

As Of June 6, 2023, Augusta, Georgia has 331 vacancies. This figure represents the entire consolidated government to include elected officials. Of this figure, 34 positions have been vacant for more than twelve months (12) and represent vacancies within the General Fund. While positions are vacant for a myriad of reasons, mass abolishment based upon vacancy date is not recommended. Interim positions, highly trained technical positions, lack of upward mobility and the inability to offer a competitive wage with an attractive benefits package are all reported reasons as to why positions have been vacant for an extended period of time.

The Human Resources Department has ramped up efforts to assist departments with recruiting for positions deemed difficult to fill. Recent job fairs and online marketing efforts have reduced this number year to date.

## Cost Savings

\$1.6 million per year



## IV. ENHANCE REVENUE OPPORTUNITIES

#### A. FORECASTED REVENUE GROWTH

Through tax digest growth, increased user fees and service charges according to the appropriate benefit received Augusta will assume enhance revenue growth.

In combination with controlling expenditures, steady and consistent revenue growth is at the heart of Augusta's long-term (strategic) priorities. This includes various sources of revenue including taxes, fees and user service charges.

As in previous years, Augusta's economy has remained stable despite the global COVID-19 pandemic possible recession. Consequently, Augusta has been afforded the advantage in maintaining consistent service levels—by keeping personnel and operating costs steady. Our revenue outlook for the next 12-24 months is reflective of our stable local and regional economy. Table 2 below identifies the forecasted increases in major revenue categories.

Table 2: Revenue FY'23 and FY'24 Outlook

Revenue Type	2023 Budget	2024 Forecast	Variance
Ad Valorem Taxes*	\$ 49,482,600	\$ 50,967,078	\$ 1,484,478
Sales Taxes*	\$ 43,140,000	\$ 44,434,200	\$ 1,294,200
TAVT*	\$ 10,845,080	\$ 11,170,432	\$ 325,352
Electric Franchise Fees	\$ 12,228,000	\$ 13,753,230	\$ 1,525,230
Alcoholic Beverage Excise Tax	\$ 2,720,000	\$ 2,870,000	\$ 150,000
Local Option Mixed Drink Tax	\$ 900,000	\$ 1,100,000	\$ 200,000
		Total	\$ 4,979,260

<sup>\*</sup>Growth Rate 3%

Net Revenue Increase

\$5 million

#### **B. TRANSFER OF MERCHANT CREDIT FEES TO CUSTOMERS**

The Augusta Utilities Department (AUD) currently pays the merchant services bank fee when a customer's credit card is used to pay a water bill. This is due to historical policy in place because AUD was an early adopter of credit card payment technology for water billing. It was determined, at that time, to absorb the fee as a cost of doing business. Today, credit card



payment of bills is widely accepted, and comparable municipal service departments require customers to pay the fee, if they choose to use a credit or debit card for payment. Transferring the courtesy fee back to the card user would result in substantial savings to the department.

## Cost Savings

\$500,000 per year

#### C. PROPOSED FLAT FEE FOR ALL SURRENDERED ANIMALS

The department recommends a flat user fee of \$50.00 for all animals regardless of the condition of the animal. Currently the department only charges a drop-off user fee (\$50.00) if the surrendered animal is requested to be euthanized (sick or aged). Note: Approximately 1,300 animals are surrendered per year.

### Net Revenue Increase

\$30,000 per year

## V. ASSET DIVESTMENT

#### A. HOME & COMMUNITY DEVELOPMENT (HCD) MANAGEMENT

The 2008 Laney Walker/Bethlehem Revitalization Implementation Plan details the acquisition of area residential and commercial parcels. The specific developmental areas of community economic development defined within the plan, are listed below.

#### **DEVELOPMENT AREAS MANAGED BY HCD**

- 1. New construction for homeownership,
- 2. Historic restorations for affordable rental housing,
- 3. Façade development,
- 4. Acquisition and rental housing development,
- 5. New construction mixed use development

Although the departmental focus has remained the same, the strategic developmental approach to each developmental area has shifted in some respects, making certain parcels acquired expendable and ready to be disposed. However, these parcels should be sold to the right development/contractor for like-minded community purposes.



Based on this maneuvering, Augusta could realize a direct capital infusion of funding from the sale of approximately twenty-five (25) lot parcels across a five-year period.

## Net Revenue Increase

\$125,000 over 5 years

#### **B. LIQUIDATION OF UNDERUTILIZED ASSETS**

Real property owned by the City of Augusta represents a considerable investment of public funds. Proper managerial control of the assets should include efficient utilization and often disposition of property deemed surplus in accordance with policy or restrictions governing property disposition.

Augusta has valuable unused/surplus assets (land, buildings, etc.) that can be sold for private market use. The advantages from these asset sales can provide several positive short-term and long-term outcomes such significant revenue increases—as well as facility maintenance and utility cost-savings. Table 3 below identifies potential surplus property for disposition consideration, including location and current appraisal value.

Table 3: Proposed Surplus Asset by Appraisal Value

Description	Address	Appraisal Value
Old Engine Company #12	5098 Mike Padgett Hwy	\$ 222,751
Chamber of Commerce	600 Broad Street	\$ 483,202
Sheriff Substation South Side	3425 Mike Padgett Highway	\$ 281,574
Riverfront Property	330 Prep Phillips	\$ 716,360
Grand Total	\$ 1,703,887	

## Net Revenue Increase

\$1.7 million

#### C. LIQUIDATION OF SELECTED AUGUSTA PARKS

In 2022, the Augusta Commission conducted several public engagement activities to consider underused parks for divestiture. In addition to public meetings (in Commission Chambers) the Commission also conducted a 'Parks Tour' to observe (onsite) and discuss the current conditions of the identified parcels.



A key component of the potential cost-savings afforded from divestiture includes capital spending for improvements as well as maintenance. This particularly notable, considering that Augusta does not own parks that it currently assumes maintenance responsibilities. Table 4 highlights parks previously considered for divestiture.

Table 4: Previously Recommended Parks for Divestment

Park Facility	Current Cost to Maintain	Future Cost to Maintain	Cost Savings
Alexander Park	\$ 4,845	\$ 254	\$ 4,591
Bedford Heights	\$ 7,485	\$ -	\$ 7,485
Heard Ave Park	\$ 6,390	\$ 2,415	\$ 3,975
West Augusta Soccer Park	\$ 122,180	\$ -	\$ 122,180
Wood Street Park	\$ 8,335	\$ 1,560	\$ 6,775
Total	\$ 150,000 est.		\$ 145,000 est.

## Cost Savings

**\$145,000** per year

## VI. SHARED ASSET MANAGEMENT

#### A. IMPROVED ASSET MANAGEMENT

The Office of the Administrator is recommending two (2) key cost-saving approaches as part of an improved shared asset program.

### 1. Reassigning Underutilized Vehicles

In lieu of purchasing new assets, vehicles deemed underutilized for consecutive years can be reassigned to departments requesting new vehicles (cars, vans, trucks).

#### 2. Addressing Unscheduled Maintenance.

Departments will be held accountable for ensuring that routine maintenance is performed on all fleet assets deemed necessary. The tasks to be performed by vehicle operators include:

**Note:** Central Services Department estimates a 10%-20% cost reduction by implementing these measures



#### Figure A. Measures to Reduce Vehicle Maintenance Costs

- a. Daily vehicle and/ or asset inspections
- b. Annual Safety Driving Training and regular operator training
- c. Hold operators accountable for continuing to operate asset without the proper preventive maintenance

Figure B. Unscheduled Vehicle Maintenance Costs FY19-22

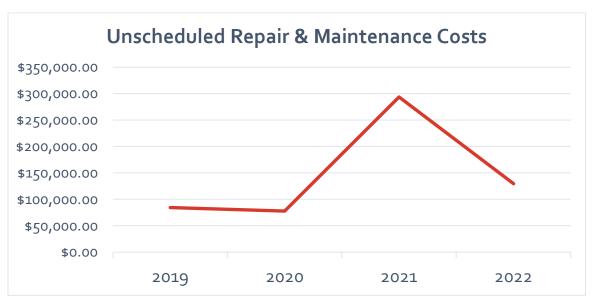


Table 5. Cost Savings from Improved Scheduled Maintenance

То	tal FY19-22	Yearly Avg.	10% Cost-Savings	20% Cost-Savings
9	\$ 585,388	\$ 146,347	<b>\$ 14,6</b> 35	\$ 29,269

## Cost Savings

\$30,000 per year



## VII. RESTRUCTURE BENEFIT PLANS

#### A. HEALTH INSURANCE RESTRUCTURING

Healthcare costs are a large and rapidly growing cost for local governments. Consequently, controlling healthcare costs is significantly vital to Augusta's financial stability.

To this end, Augusta is undertaking measures to address cost factors impacting its overall health expenditure liability. These measures are centered on new data collection/tracking and reporting metrics.

In cooperation with Augusta's benefit insurers, the following cost-saving are anticipated in the next three years.

- A. **Cancer Treatment (\$3M Annual Expenditure)**: Educating employees on the value of preventive screenings. Estimated cost savings: \$100,000/yr.
- B. **Musculoskeletal Injuries (\$1.5M Annual Expenditure):** Promoting and encouraging employee participation in the revised Anthem Musculoskeletal Program: Estimated savings: \$30,000/yr.
- C. **Health and Condition Assessment:** Implementing new wellness tools such as the 'Sydney App', which will increase employee understanding of when and how to access care. Estimated savings: \$60,000/yr.
- D. **COVID Treatment (\$1.1M Expenditure in 2022)**: Augusta anticipates a significant decrease over the next three years due to lower infections. Estimated savings: \$400,000 over the next 3-5 years.

## Cost Savings

\$300,000 per year



## VIII. TECHNOLOGY SOLUTIONS

#### A. AUGUSTA 311 SOFTWARE SOLUTIONS

#### 1. Current Inefficiencies

Augusta currently manages two separate software platforms to manage its 311 Call Center service requests and workorder operations. Working with multiple vendors presents scheduling challenges along with software limitations between the platforms. Troubleshooting issues will be less cumbersome due to the unified platform and the ability to turn features on and off in both the web and mobile environment.

#### 2. Implementing Cost Savings

Beginning this summer, Augusta will move back to a single platform which will not only reduce overall software costs but decrease redundancy. This will reduce errors by decreasing the number of support staff needed to make modifications to the system.

Table 6. Current vs. Future Costs for 311 Software Platforms

Software	Services Provided	Cost
Motorola	Internal Intake	\$ 70,000
See-Click-Fix	Web Portal/Mobile App	\$ 29,000
Total		\$ 99,000

Software	Services Provided	Cost
Motorola	Combined Internal Intake/Web Portal/Mobile App	\$ 77,000
Total		\$ 77,000

## Cost Savings

\$20,000 per year



## IX. PERCENTAGE BASED BUDGET CUTS

#### A. IMPLEMENTING ACROSS THE BOARD CUTS

Across-the-board cuts can have a positive and negative impact on both the budget and service delivery. While this measure can immediately reduce the amount of expenditures (short-term and long-term), this method can simultaneously reduce the overall value of our public services. From a managerial control perspective budget cuts can motivate program managers to shape and size programs in a more efficient and effective way than previously operated. Figure C below identifies across-the-board options commonly used in fiscal management.

### Figure C. Department Budget Cutting Options

- 1. Percentage across all departments (equity approach)
- 2. Percentage across targeted departments (targeted approach)
- 3. Targeted program or service within a specific department (change in governing-body priorities)

Historically, Augusta has been reluctant to implement budget reductions at the expense of service level reductions. Typical reasons for such unwillingness were the fact that budget expenditures are heavily weighted toward personnel cuts. Thus, a large reduction in expenditures is typically realized only by reducing personnel—which in turn reduces the capacity to provide services. Other factors that create challenges of budget cuts include:

- 1. Negative Impact on Supplies and Contract Services: These line-item categories comprise 30% of the total budget, leaving little room to reduce the total budget by 5 or 10%.
- 2. Minimal General Fund Impact: Out of the total budget, 37% is controlled by Administrator/Reports to Commission, 57% controlled by elected officials, 4% is paid to outside agencies and 2% by Boards such as Elections and Tax Assessor. A true across the board cut would have to apply to all. Historically that has not happened.
- 3. Negative Impact on Larger Departments: In departments such as Central Services or Recreation, a large part of their non-salary budgets are allocated to Utilities where reductions are not easily controlled. In other areas, some large expenditures are tied to contracts - such as prisoner medical costs.



Table 7. Savings Compilation

Cost Savings Category	Amount
I. Outsourcing Service	-
II. Duplicative Tasks	\$ 765,000
III. Workforce Staffing and Position Control	\$ 1,600,000
IV. Enhance Revenue Opportunities	\$ 5,530,000
V. Asset Divestment	\$ 1,870,000
VI. Shared Asset Management	\$ 30,000
VII. Restructure Benefit Plan	\$ 300,000
VIII. Technology Solutions	\$ 20,000
IX. Percentage Based Budget Cuts	-
Total	\$10,115,000.00

Note: Figures provided within this report are estimates only.





**Commission Meeting** 

September 5, 2023

2024 Ford F150S -SWC

**Department:** Fleet

**Presenter:** Ron Lampkin

**Caption:** 

Motion to **approve** utilizing state contract (#SWC 99999-SPD-ES40199373-002) for the purchase of nineteen Ford F150s, at a total cost of \$818,612 from Allan Vigil Ford for various departments. ( **Approved by Administrative Services August 29 2023**)

**Background:** 

The state contract holder, Allan Vigil Ford, informed Fleet Management that the Ford manufacture pricing for 2024 Ford F150s will open in Fall 2024 and to place orders as soon as possible to ensure we meet the state pricing cut off. The vendor requested a LOI to potentially hold our orders until the Augusta Commission has approved the orders. Once approved, Fleet Management will acquire the purchase order and submit to the vendor for securing the asset purchase.

**Analysis:** 

The following departments are replacing assets that meet the Fleet Management, Operations, Maintenance and Replacement Policy criteria.

- Airport (1)
- Central Services (3)
- Engineering (2)
- Recreation (4)
- Planning and Development (2)
- Utilities (1)

Engineering is requesting the purchase of one (1) new truck for a vacant Inspector II position to help manage the Capital Improvement Projects. Utilities is requesting five (5) new trucks to support recently filled meter reader positions, off road crew operations and lab technicians to perform field work.

Item 10.

## **Financial Impact:**

The Procurement Department approved the request to utilize Georgia State C (#SWC 99999-SPD-ES40199373-002) awarded to Allan Vigil Ford via letter of intent to purchase the following 2024 Ford F150s.

Dept.	Division	Quantity	Amount
Airport	Operation	1	\$ 36,108.00
Utilities	Customer Service	2	\$ 77,409.00
Utilities	Engineering	1	\$ 53,193.50
Utilities	Fort Gordon	1	\$ 50,568.50
Utilities	Highland Filter Plant	1	\$ 37,902.00
Utilities	Water Quality	1	\$ 46,219.50
Total	<b>GMA Funding (631101110)</b>		\$ 301,400.50
Central Services	Fleet	1	\$ 36,892.00
Central Services	Facilities	2	\$ 78,344.00
Engineering	Maintenance & Traffic	2	\$ 93,409.00
Recreation	Parks	4	\$ 182,428.00
Tota	l Fleet Capital (272016440)		\$ 391,073.00
Engineering	Stormwater	1	\$ 50,043.50
Total N	\$ 50,043.50		
Planning &			
Development	Building Inspection	2	\$ 76,095.00
Planning & D	evelopment Operating (217	072210)	\$ 76,095.00

**Alternatives:** Do not approve

**Recommendation** Approve motion to utilize state contract for purchase of nineteen (19) Ford

F150s at a total cost of \$818,612 from Allan Vigil Ford for various

departments.

Funds are available in the following accounts:

GMA Lease (631-10-1110/54-99631)

Fleet Capital (272-01-6440/54-22210)

Engineering NPDES Use of Fund Balance for 2024 Vehicles (261-00-0000)

Planning and Development (217-07-2210/54-22210)

Augusta GEFORGIA

Mrs. Geri Sams, Director

## LETTER OF INTENT TO PURCHASE VEHICLE FROM ALLAN VIGIL FORD LINCOLN MERCURY, INC.

This letter of intent dated, **July 31, 2023**, is to inform you that the Central Services Department – Fleet Management Division has concluded that we intend to purchase: <u>nineteen (19) 2024 Ford F-150s</u> for the below listed Departments, utilizing:

Statewide Contract Number: 99999-SPD-ES40199373-002

Vehicles: 2024 Ford F-150

Contract: Effective Date: November 16, 2013 – Expiration Date: November 30, 2023

The specific specifications and pricing information for this purchase is attached.

1. <u>Buyer</u>: Augusta, Georgia – Central Services Department: Fleet Management Division

2. <u>Seller</u>: Allan Vigil Ford: Fleet & Government Sales (Attn: Bob Burtner)

6790 Mt. Zion Boulevard, Morrow, GA 30260

3. Vehicles Total Purchase Price: \$818,612.00

4. <u>Source</u>: Georgia Statewide Contract Number: <u>99999-SPD-ES40199373-002</u>

Vehicles to be purchased and Departments to receive vehicles:

# of Vehicles	Department	Division	Price
One (1)	Airport	Operation	\$36,108.00
Two (2)	Utilities	Customer Service	\$77,409.00
One (1)	Utilities	Engineering	\$53,193.50
One (1)	Utilities	Fort Gordon Division	\$50,568.50
One (1)	Utilities	Highland Filter Plant	\$37,902.00
One (1)	Utilities	Water Quality	\$46,219.50
One (1)	Central Services	Fleet	\$36,892.00
Two (2)	Central Services	Facilities	\$78,344.00
Two (2)	Engineering	Maintenance & Traffic	\$93,409.00
Four (4)	Recreation & Parks	Parks	\$182,428.00
One (1)	Engineering	Stormwater	\$50,043.50
Two (2)	Planning & Development	Building Inspection	\$76,095.00

A purchase order will be provided upon the approval of the Augusta, Georgia Commission.

Respectfully submitted,

Geri A. Sams

**Director of Procurement** 

Attachments: Vehicle Purchase Price /Specifications/Quotes

Room 605 - 535 Telfair Street, Augusta Georgia 30901 (706) 821-2422 - Fax (706) 821-2811

www.augustaga.gov

Register at www.demandstar.com/supplier for automatic bid notification





## Central Services Department

Ron Lampkin, Interim Director LaQuona Sanderson, Fleet Manager Fleet Management 1568-C Broad Street Augusta GA 30904 Phone: (706) 821-2892

#### **MEMORANDUM**

TO:

Geri Sams, Director, Procurement Director

'23 JUL 28 11:40 A

FROM:

Ron Lampkin, Interim Director, Central Services Director

DATE:

July 26, 2023

**SUBJECT:** 

Request to Utilize State Contract #SWC 99999-SPD-ES40199373-002

- 2024 Ford F150

Central Services-Fleet Management request to utilize state contract #SWC 99999-SPD-ES40199373-002 (2024 Ford F150) and a "Letter of Intent" (LOI) to purchase 19 Ford F150s. The vendor requested a LOI to potentially hold our orders until our agenda process is complete.

The state contract holder, Allan Vigil Ford, informed Fleet Management that the Ford manufacture pricing for 2024 Ford F150s will open in Fall 2023 and to place orders as soon as possible to ensure we meet the state pricing cut off. The vendor requested a LOI to potentially hold our orders until the Augusta Commission has approved the orders. Once approved, Fleet Management will acquire the purchase order and submit to the vendor for securing the asset purchase.

The attached list the departments that requested for Ford F150s in their 2023 Operating and/or Capital budget and Central Services-Fleet Management has consulted with each department to ensure the truck specifications meet the department's operation needs.

Please approve the LOI in total amount of \$818,612.00 to Allan Vigil Ford. Thank you for your assistance. Please contact Fleet Management with any questions or concerns.

LS/kb

Dept.	Division	Quantity		Amount	
Airport	Operation	1	\$	36,108.00	
Utilities	Customer Service	2	\$	77,409.00	
Utilities	Engineering	1	\$	53,193.50	
Utilities	Fort Gordon	1	\$	50,568.50	
Utilities	Highland Filter Plant	1	\$	37,902.00	
Utilities	Water Quality	1	\$	46,219.50	
Total GMA Funding (631101110)			\$	301,400.50	
Central Services	Fleet	1	\$	36,892.00	
Central Services	Facilities	2	\$	78,344.00	
Engineering	Maint. & Traffic	2	\$	93,409.00	
Recreation	Parks	4	\$	182,428.00	
Total Fleet Capital (272016210)				391,073.00	
Engineering	Stormwater	1	\$	50,043.50	
Total Stormwater (261041311)				50,043.50	
Planning & Devlopment	Building Inspection	2	\$	76,095.00	
Planning & Development Operating (217072210)				76,095.00	

2024 Ford F150 (1/2 ton) **Base Price** \$ 35,538.00 Regular Cab, 6 Cyl, 4x2, SWB **Options Price** Code 5.0L V8 Flex Fuel engine SWC #99999-SPD-ES40199373-002 2.150.00 995 3.5L V6 EcoBoost engine\*\* 2,545.00 99G Equipment included in base price: 2.7L V6 Ecoboost 1,260.00 99P 3.3L V6 Flex Fuel engine Long Bed (8 ft) 295.00 145 Extended range fuel tank\*\* 10 Speed Automatic Transmission 410.00 655 Factory Installed A/C Super Cab (6.5 ft. bed) 6,435.00 \$ 6,435.00 X1C AM-FM Radio Super Cab (8 ft. bed) \* 7,766.00 X1C/Long 4x4 Option-Regular cab Solar Tinted Glass 4.996.00 F1E Power Steering/ABS Brakes 4X4 Option-Super&Crew Cabs 4,454.00 X1E Rear view back up camera Skid plates (4X4s only) 155.00 413 Crew Cab SWB (5.5 ft bed) 8,765.00 W1Cs Vinyl 40/20/40 Bench Seat Crew Cab LWB\* (6.5 ft bed) Rubber Floor Covering 9.995.00 W1C/Long 3.5L Hybrid engine-Crew Cab) 12,442.00 Full Size Spare/ Step bumper 99D Autolamp headlights Limited Slip Axle 525.00 XL9 Short Bed (6.5 ft) **Daytime Running Lights** 42.00 42.00 \$ 942 Power Windows, Locks & Mirrors Power Driver Seat 345.00 91P Cruise control Blind spot alert, lane keeping, P245/70Rx17 Tires SYNC 4,cloth 40/console/40 Ford SYNC (Bluetooth) seat, 8" touch screen 675.00 102A LT265/70R17C A/T tires 295.00 T7C Reverse sensing 53B Class IV Hitch (w/o tow pkg) 295.00 Trailer Tow Pkg(includes **Exterior Colors** Interior Color **Electric Brake Controller)** 1,220.00 53A Tow Mirrors w/ spotlights\*\*\* 495.00 54Y/59S D1 Stone Grav Grav Running boards (black) 262.00 262.00 18B PQ Race Red HX Antimatter Blue Electric Brake Control for 53B 255.00 67T N/C 40-20-40 Cloth Split Bench CS B3 Atlas Blue Cloth Buckets w/console\*\*\* 275.00 WS JS Iconic Silver **UM Agate Black** Rear window defroster 305.00 57Q/924 M7 Carbonized Gray Fog Lights 135.00 595 YZ Oxford White Carpet w/ Mats 140.00 168 School Bus Yellow is available at Aluminum Wheels & Bumpers 740.00 86A 305.00 \$925.00 per vehicle SYNC 4 w/ SiriusXM 524/582 765.00 68L Bed Utility pkg/ tailgate step 765.00 420.00 420.00 ATK FOB Allan Vigil Ford Spray-in Bedliner \$ Delivery- see chart, \$75 minimum 400 Watt outlet\*\*\* 315.00 315.00 471 XLT Package 6.650.00 300A XLT Power Driver Seat **ALLAN VIGIL FORD GOV'T SALES** 330.00 91P 6790 Mt. Zion Blvd Additional Key \$ Morrow, GA 30260 225.00 770-968-0680 Phone Options total \$ 8,239.00 Other vendor added equipment \$ 2,067.50 West Warn 678-364-3910 Fax Delivery 150.00 5.0L V8 or 3.5L Ecoboost Total 46,219.50 engine required Not available with regular Contact person cab short wheel base Agency Phone Number Super cab & Crew cab only 6/13/2023

2024 Ford F150 (1/2 ton) Regular Cab, 6 Cyl, 4x2, SWB	Base	Price	\$ 35,538.00	
	Options	Price		Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00		995
	3.5L V6 EcoBoost engine**	2,545.00		99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00		99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00		145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00		655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00		_X1C
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00	-	X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00		F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	•		X1E
Rear view back up camera	Skid plates (4X4s only)	155.00		413
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00		W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00		W1C/Long
Full Size Spare/ Step bumper	3.5L Hybrid engine-Crew Cab)	12,442.00	<del></del>	99D
Autolamp headlights	Limited Slip Axle	525.00		XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00		942
Power Windows, Locks & Mirrors	Power Driver Seat	345.00		942 91P
Cruise control	Blind spot alert, lane keeping,	343.00		SIP
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40			
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00		4004
Reverse sensing	LT265/70R17C A/T tires	295.00		102A
Neverse sensing				T7C
	Class IV Hitch (w/o tow pkg) Trailer Tow Pkg(includes	295.00		53B
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00		53A
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00		54Y/59S
PQ Race Red "	Running boards (black)	262.00		18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00		67T
B3 Atlas Blue "	40-20-40 Cloth Split Bench	N/C		CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00		WS
UM Agate Black "	Rear window defroster	305.00		57Q/924
M7 Carbonized Gray "	Fog Lights	135.00	Α	595
YZ Oxford White "	Carpet w/ Mats	140.00		168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00		86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00		524/582
	Bed Utility pkg/ tailgate step	765.00		68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$ 420.00	ATK
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00		471
	XLT Package	6,650.00		300A
ALLAN VIGIL FORD GOV'T SALES 6790 Mt. Zion Blvd Morrow, GA 30260	XLT Power Driver Seat	330.00		91P
	Ontinna total	,	A 400.00	
770-968-0680 Phone	Options total	,	\$ 420.00	
678-364-3910 Fax	Other vendor added equipment		n/a	
* 5.01 V8 or 3.51 Ecohoost	Delivery		\$ 150.00	
3.0E VO 01 3.3E ECODOOSt	Total		\$ 36,108.00	
engine required  ** Not available with regular	Contact person			
cab short wheel base	Agency			
*** Super cab & Crew cab only	Phone Number			6/13/2023

2024 Ford F150 (1/2 ton) **Base Price** \$ 35,538,00 Regular Cab, 6 Cyl, 4x2, SWB Code **Price Options** 995 SWC #99999-SPD-ES40199373-002 5.0L V8 Flex Fuel engine 2.150.00 3.5L V6 EcoBoost engine\*\* 2,545.00 99G 99P 1,260.00 2.7L V6 Ecoboost Equipment included in base price: 145 Long Bed (8 ft) 295.00 3.3L V6 Flex Fuel engine 10 Speed Automatic Transmission Extended range fuel tank\*\* 410.00 655 Super Cab (6.5 ft. bed) 6,435.00 X1C Factory Installed A/C Super Cab (8 ft. bed) \* 7,766.00 X1C/Long AM-FM Radio Solar Tinted Glass 4x4 Option-Regular cab 4.996.00 F1E 4X4 Option-Super&Crew Cabs Power Steering/ABS Brakes 4,454.00 X1E Skid plates (4X4s only) 413 155.00 Rear view back up camera Crew Cab SWB (5.5 ft bed) 8.765.00 W1Cs Vinvl 40/20/40 Bench Seat Crew Cab LWB\* (6.5 ft bed) W1C/Long Rubber Floor Covering 9,995.00 3.5L Hybrid engine-Crew Cab) 12,442.00 99D Full Size Spare/ Step bumper Limited Slip Axle XL9 525.00 Autolamp headlights **Daytime Running Lights** 42.00 42.00 942 Short Bed (6.5 ft) 91P Power Driver Seat 345.00 Power Windows, Locks & Mirrors Blind spot alert, lane keeping, Cruise control P245/70Rx17 Tires SYNC 4,cloth 40/console/40 seat, 8" touch screen 675.00 102A Ford SYNC (Bluetooth) 295.00 LT265/70R17C A/T tires T7C Reverse sensing Class IV Hitch (w/o tow pkg) 295.00 53B Trailer Tow Pkg(includes **Electric Brake Controller)** 1,220.00 53A Interior Color **Exterior Colors** Tow Mirrors w/ spotlights\*\*\* 495.00 54Y/59S D1 Stone Gray Gray 262.00 18B PQ Race Red Running boards (black) 262.00 Electric Brake Control for 53B 255.00 67T **HX** Antimatter Blue 40-20-40 Cloth Split Bench N/C CS B3 Atlas Blue 275.00 WS JS Iconic Silver Cloth Buckets w/console\*\*\* Rear window defroster 305.00 57Q/924 **UM Agate Black** 135.00 595 M7 Carbonized Gray Fog Lights YZ Oxford White 140.00 168 Carpet w/ Mats Aluminum Wheels & Bumpers 740.00 86A School Bus Yellow is available at SYNC 4 w/ SiriusXM 305.00 524/582 \$925.00 per vehicle 765.00 Bed Utility pkg/ tailgate step 68L 420.00 420.00 ATK FOB Allan Vigil Ford Spray-in Bedliner 400 Watt outlet\*\*\* 315.00 471 Delivery- see chart, \$75 minimum 6,650.00 300A XLT Package XLT Power Driver Seat 330.00 91P **ALLAN VIGIL FORD GOV'T SALES** 6790 Mt. Zion Blvd 225.00 Additional Key Morrow, GA 30260 Options total 724.00 770-968-0680 Phone 2.067.50 West Warn Other vendor added equipment 678-364-3910 Fax 150.00 Delivery Total 38,704.50 5.0L V8 or 3.5L Ecoboost engine required Contact person Not available with regular Agency cab short wheel base Phone Number 6/13/2023 Super cab & Crew cab only

2024 Ford F150 (1/2 ton) Regular Cab, 6 Cyl, 4x2, SWB	Base	Price	\$ 35,538.00	)
110ga.a. 0ab, 0 0y., 1, 0112	Options	Price		Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00		995
	3.5L V6 EcoBoost engine**	2,545.00		99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00		99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00		 145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00		655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00		X1C
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00		X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00	2	F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00	\$ 4,454.00	X1E
Rear view back up camera	Skid plates (4X4s only)	155.00	\$ 155.00	413
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00	\$ 8,765.00	W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00		W1C/Long
Full Size Spare/ Step bumper	3.5L Hybrid engine-Crew Cab)	12,442.00	-	99D
Autolamp headlights	Limited Slip Axle	525.00	\$ 525.00	XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00	\$ 42.00	942
Power Windows, Locks & Mirrors	Power Driver Seat	345.00		91P
Cruise control	Blind spot alert, lane keeping,			-
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40			
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00		102A
Reverse sensing	LT265/70R17C A/T tires	295.00	\$ 295.00	
1.0.0.00 00.1011.9	Class IV Hitch (w/o tow pkg)	295.00	\$ 295.00	_
	Trailer Tow Pkg(includes			
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00		53A
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00		54Y/59S
PQ Race Red "	Running boards (black)	262.00	\$ 262.00	_
HX Antimatter Blue "	Electric Brake Control for 53B	255.00		67T
B3 Atlas Blue	40-20-40 Cloth Split Bench	N/C		CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00		ws
UM Agate Black "	Rear window defroster	305.00		57Q/924
M7 Carbonized Gray "	Fog Lights	135.00		595
YZ Oxford White "	Carpet w/ Mats	140.00		168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00		86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00		524/582
4020.00 por vornoio	Bed Utility pkg/ tailgate step	765.00		_68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$ 420.00	-
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00		471
Donvory Coo Grant, the minimum	XLT Package	6,650.00		300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00		91P
6790 Mt. Zion Blvd	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			
Morrow, GA 30260	Additional Key		\$ 225.00	
770-968-0680 Phone	Options total		\$ 15,213.00	
678-364-3910 Fax	Other vendor added equipment			West Warn
UIU-SUM-STIV FAX	Delivery		\$ 2,007.30	- Trost Hairi
* 5.0L V8 or 3.5L Ecoboost	Total		\$ 53,193.50	= 5
engine required	i Otal		Ψ 00,100.00	-
** Not available with regular	Contact person			
cab short wheel base	Agency			-
*** Super cab & Crew cab only	Phone Number			-
Super can a crew can only	I HORE PARTIDO			-

2024 Ford F150 (1/2 ton) Regular Cab, 6 Cyl, 4x2, SWB	Base	Price	\$	35,538.00	
110gana. can, c c,, m., c 110	Options	Price			Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00			995
344C #99999-3FD-E340199313-002	3.5L V6 EcoBoost engine**	2,545.00	_		99G
Fundament in alread in hose prices		1,260.00			99P
Equipment included in base price:	2.7L V6 Ecoboost		-		_
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00			145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00	-	- 105.00	655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00	\$_	6,435.00	
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00			X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00			F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00	\$	4,454.00	•
Rear view back up camera	Skid plates (4X4s only)	155.00	\$	155.00	413
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00			W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00			W1C/Long
Full Size Spare/ Step bumper	3.5L Hybrid engine-Crew Cab)	12,442.00			99D
Autolamp headlights	Limited Slip Axle	525.00	\$	525.00	XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00	\$	42.00	942
Power Windows, Locks & Mirrors	Power Driver Seat	345.00	_		91P
Cruise control	Blind spot alert, lane keeping,	0.0.00			
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40				
	seat, 8" touch screen	675.00			102A
Ford SYNC (Bluetooth)		295.00			T7C
Reverse sensing	LT265/70R17C A/T tires		_	205.00	
	Class IV Hitch (w/o tow pkg)	295.00	<u> </u>	295.00	53B
E. C. College Interior Color	Trailer Tow Pkg(includes	1 220 00			53A
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00			
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00	_	202.00	54Y/59S
PQ Race Red	Running boards (black)	262.00	_\$_	262.00	18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00			67T
B3 Atlas Blue "	40-20-40 Cloth Split Bench	N/C			CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00			WS
UM Agate Black "	Rear window defroster	305.00			57Q/924
M7 Carbonized Gray "	Fog Lights	135.00			595
YZ Oxford White "	Carpet w/ Mats	140.00			168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00			86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00			524/582
· -	Bed Utility pkg/ tailgate step	765.00			68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$	420.00	ATK
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00			471
Don't dry and arrange to minimum.	XLT Package	6,650.00			300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00			91P
6790 Mt. Zion Blvd	7.2.1. Gitte, 2.11. Git 3.3.1				
Morrow, GA 30260	Additional Key		\$	225.00	
•	•	9			
770-968-0680 Phone	Options total			2,588.00	Most Mes-
678-364-3910 Fax	Other vendor added equipment		\$		West Warn
	Delivery	-	\$	150.00	
* 5.0L V8 or 3.5L Ecoboost	Total		<b>\$</b>	50,568.50	
engine required					
** Not available with regular	Contact person				
cab short wheel base	Agency				
*** Super cab & Crew cab only	Phone Number				6/13/2023

2024 Ford F150 (1/2 ton)	Base	Price	\$ 35,538.00	
Regular Cab, 6 Cyl, 4x2, SWB	<b>~</b> 41	D-!		0-4-
		Price		Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00		995
	3.5L V6 EcoBoost engine**	2,545.00		99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00		99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00	-	145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00		655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00		X1C
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00		X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00		F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00		X1E
Rear view back up camera	Skid plates (4X4s only)	155.00		413
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00		W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00		W1C/Long
Full Size Spare/ Step bumper	3.5L Hybrid engine-Crew Cab)	12,442.00		99D
Autolamp headlights	Limited Slip Axle	525.00		XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00	\$ 42.00	942
Power Windows, Locks & Mirrors	Power Driver Seat	345.00		91P
Cruise control	Blind spot alert, lane keeping,			
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40			
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00		102A
Reverse sensing	LT265/70R17C A/T tires	295.00		T7C
	Class IV Hitch (w/o tow pkg)	295.00	\$ 295.00	53B
	Trailer Tow Pkg(includes			
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00		53A
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00		54Y/59S
PQ Race Red "	Running boards (black)	262.00	\$ 262.00	18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00		67T
B3 Atlas Blue "	40-20-40 Cloth Split Bench	N/C		CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00		WS
UM Agate Black "	Rear window defroster	305.00		57Q/924
M7 Carbonized Gray "	Fog Lights	135.00		595
YZ Oxford White "	Carpet w/ Mats	140.00		168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00		86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00		524/582
	Bed Utility pkg/ tailgate step	765.00		68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$ 420.00	ATK
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00		471
•	XLT Package	6,650.00		300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00		91P
6790 Mt. Zion Blvd				
Morrow, GA 30260	Additional Key		\$ 225.00	•0
770-968-0680 Phone	Options total		\$ 1,019.00	
678-364-3910 Fax	Other vendor added equipment			West Warn
	Delivery		\$ 150.00	
* 5.0L V8 or 3.5L Ecoboost	Total	5	\$ 37,902.00	
engine required				
** Not available with regular	Contact person			
cab short wheel base	Agency			
*** Super cab & Crew cab only	Phone Number			6/13/2023

2024 Ford F150 (1/2 ton)	Base	Price	\$ 35,538.00	
Regular Cab, 6 Cyl, 4x2, SWB		Dulas		0-4-
	Options	Price		Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00		_995
	3.5L V6 EcoBoost engine**	2,545.00		_99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00		_99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00		_145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00		655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00	\$ 6,435.00	X1C
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00		X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00		F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00		X1E
Rear view back up camera	Skid plates (4X4s only)	155.00		413
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00		W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00		W1C/Long
<u> </u>	3.5L Hybrid engine-Crew Cab)	12,442.00		99D
Full Size Spare/ Step bumper		525.00		_33D XL9
Autolamp headlights	Limited Slip Axle	42.00	\$ 42.00	942
Short Bed (6.5 ft)	Daytime Running Lights			_
Power Windows, Locks & Mirrors	Power Driver Seat	345.00	\$ 345.00	912
Cruise control	Blind spot alert, lane keeping,			
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40			
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00		_102A
Reverse sensing	LT265/70R17C A/T tires	295.00		_T7C
	Class IV Hitch (w/o tow pkg)	295.00		53B
	Trailer Tow Pkg(includes			
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00	\$ 1,220.00	53A
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00		54Y/59S
PQ Race Red "	Running boards (black)	262.00	\$ 262.00	_ 18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00		67T
B3 Atlas Blue	40-20-40 Cloth Split Bench	N/C		CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00		ws
	Rear window defroster	305.00		57Q/924
UM Agate Black "		135.00		595
M7 Carbonized Gray	Fog Lights	140.00		- 168
YZ Oxford write	Carpet w/ Mats			- 100 - 86A
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00		-
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00		524/582
	Bed Utility pkg/ tailgate step	765.00	A 100.00	68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$ 420.00	ATK
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00		471
	XLT Package	6,650.00		_300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00		91P
6790 Mt. Zion Blvd				
Morrow, GA 30260	Add additional key		\$ 225.00	_
770-968-0680 Phone	Options total		\$ 8,724.00	
678-364-3910 Fax	Other vendor added equipment			West Warn
OI O-GOT-OOI VII UA	Delivery		\$ 150.00	
* 5.0L V8 or 3.5L Ecoboost	Total		\$ 45,607.00	-
	10141		J,001.100	-
engine required	Contact person			
Mot available with reducin	Contact person			-
cab short wheel base	Agency Phone Number			6/13/2023
*** Super cab & Crew cab only	Phone Number			- 0/13/2023

2024 Ford F150 (1/2 ton)	Base Price		\$ 35,538.00	
Regular Cab, 6 Cyl, 4x2, SWB				
, , ,	Options	Price		Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00		995
	3.5L V6 EcoBoost engine**	2,545.00		<sup>-</sup> 99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00		99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00		_ 145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00		655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00		X1C
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00		X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00		F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00		X1E
Rear view back up camera	Skid plates (4X4s only)	155.00		413
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00		W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00		W1C/Long
Full Size Spare/ Step bumper	3.5L Hybrid engine-Crew Cab)	12,442.00		99D
Autolamp headlights	Limited Slip Axle	525.00		XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00		942
Power Windows, Locks & Mirrors	Power Driver Seat	345.00		91P
Cruise control	Blind spot alert, lane keeping,			
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40			
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00		102A
Reverse sensing	LT265/70R17C A/T tires	295.00 °		T7C
<u> </u>	Class IV Hitch (w/o tow pkg)	295.00		53B
	Trailer Tow Pkg(includes			
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00		53A
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00		54Y/59S
PQ Race Red "	Running boards (black)	262.00	\$ 262.00	18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00		67T
B3 Atlas Blue	40-20-40 Cloth Split Bench	N/C		CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00		WS
UM Agate Black "	Rear window defroster	305.00		57Q/924
M7 Carbonized Gray "	Fog Lights	135.00		595
YZ Oxford White "	Carpet w/ Mats	140.00		168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00		86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00		524/582
	Bed Utility pkg/ tailgate step	765.00		68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00		ATK
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00		471
	XLT Package	6,650.00		300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00		91P
6790 Mt. Zion Blvd				
Morrow, GA 30260	Add additional key		\$ 225.00	
770-968-0680 Phone	Options total		\$ 682.00	
678-364-3910 Fax	Other vendor added equipment			West Warn
	Delivery		\$ 150.00	
* 5.0L V8 or 3.5L Ecoboost	Total	-	\$ 38,047.50	
engine required				
** Not available with regular	Contact person			
cab short wheel base	Agency			0/40/0000
*** Super cab & Crew cab only	Phone Number			6/13/2023

2024 Ford F150 (1/2 ton)	Base Price			35,538.00	
Regular Cab, 6 Cyl, 4x2, SWB					
	•	Price			Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00			_995
	3.5L V6 EcoBoost engine**	2,545.00			_99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00			_99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00	_		145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00			655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00	\$	6,435.00	
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00			_X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00			F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00	\$	4,454.00	X1E
Rear view back up camera	Skid plates (4X4s only)	155.00	\$	155.00	
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00			W1Cs
Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00			W1C/Long
Full Size Spare/ Step bumper	3.5L Hybrid engine-Crew Cab)	12,442.00			_99D
Autolamp headlights	Limited Slip Axle	525.00			XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00	_\$_	42.00	
Power Windows, Locks & Mirrors	Power Driver Seat	345.00			91P
Cruise control	Blind spot alert, lane keeping,				
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40				
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00			_102A
Reverse sensing	LT265/70R17C A/T tires	295.00			T7C
	Class IV Hitch (w/o tow pkg)	295.00	_\$_	295.00	53B
	Trailer Tow Pkg(includes				
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00			_53A
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00			54Y/59S
PQ Race Red "	Running boards (black)	262.00	\$	262.00	18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00			67T
B3 Atlas Blue "	40-20-40 Cloth Split Bench	N/C			CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00			WS
UM Agate Black "	Rear window defroster	305.00			57Q/924
M7 Carbonized Gray "	Fog Lights	135.00			595
YZ Oxford White "	Carpet w/ Mats	140.00			168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00			86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00			524/582
	Bed Utility pkg/ tailgate step	765.00			68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$	420.00	
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00			471
	XLT Package	6,650.00			300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00			91P
6790 Mt. Zion Blvd					
Morrow, GA 30260	Add additional key		\$	225.00	
770-968-0680 Phone	Options total	-	\$	12,063.00	
678-364-3910 Fax	Other vendor added equipment		\$	2,067.50	West Warn
	Delivery		\$	150.00	
* 5.0L V8 or 3.5L Ecoboost	Total		\$	50,043.50	
engine required					
** Not available with regular	Contact person				
cab short wheel base	Agency				
*** Super cab & Crew cab only	Phone Number				6/13/2023

2024 Ford F150 (1/2 ton) Regular Cab, 6 Cyl, 4x2, SWB	Base	Price	\$	35,538.00	
110gaia: 0ab, 0 0j., 122, 212	Options	Price			Code
SWC #99999-SPD-ES40199373-002	5.0L V8 Flex Fuel engine	2,150.00			995
0770 #30005-01 B 20-10 100010 002	3.5L V6 EcoBoost engine**	2,545.00			_99G
Equipment included in base price:	2.7L V6 Ecoboost	1,260.00			99P
3.3L V6 Flex Fuel engine	Long Bed (8 ft)	295.00			145
10 Speed Automatic Transmission	Extended range fuel tank**	410.00			655
Factory Installed A/C	Super Cab (6.5 ft. bed)	6,435.00	\$	6,435.00	
AM-FM Radio	Super Cab (8 ft. bed) *	7,766.00	Ψ	0,400.00	X1C/Long
Solar Tinted Glass	4x4 Option-Regular cab	4,996.00	-		F1E
Power Steering/ABS Brakes	4X4 Option-Super&Crew Cabs	4,454.00	77.		-X1E
Rear view back up camera	Skid plates (4X4s only)	155.00			413
•	Crew Cab SWB (5.5 ft bed)	8,765.00	_		W1Cs
Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed) Crew Cab LWB* (6.5 ft bed)	9,995.00	_		W1CS W1C/Long
Rubber Floor Covering	·	12,442.00	_		
Full Size Spare/ Step bumper	,	,			99D
Autolamp headlights	Limited Slip Axle	525.00	_	40.00	XL9
Short Bed (6.5 ft)	Daytime Running Lights	42.00	\$	42.00	942
Power Windows, Locks & Mirrors	Power Driver Seat	345.00	_\$_	345.00	91P
Cruise control	Blind spot alert, lane keeping,				
P245/70Rx17 Tires	SYNC 4,cloth 40/console/40				
Ford SYNC (Bluetooth)	seat, 8" touch screen	675.00			102A
Reverse sensing	LT265/70R17C A/T tires	295.00			T7C
	Class IV Hitch (w/o tow pkg)	295.00			53B
	Trailer Tow Pkg(includes				
Exterior Colors Interior Color	Electric Brake Controller)	1,220.00	_\$_	1,220.00	•
D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00			54Y/59S
PQ Race Red "	Running boards (black)	262.00	_\$_	262.00	_18B
HX Antimatter Blue "	Electric Brake Control for 53B	255.00			67T
B3 Atlas Blue "	40-20-40 Cloth Split Bench	N/C			CS
JS Iconic Silver "	Cloth Buckets w/console***	275.00			WS
UM Agate Black "	Rear window defroster	305.00			57Q/924
M7 Carbonized Gray "	Fog Lights	135.00			595
YZ Oxford White "	Carpet w/ Mats	140.00			168
School Bus Yellow is available at	Aluminum Wheels & Bumpers	740.00			86A
\$925.00 per vehicle	SYNC 4 w/ SiriusXM	305.00			524/582
	Bed Utility pkg/ tailgate step	765.00			68L
FOB Allan Vigil Ford	Spray-in Bedliner	420.00	\$	420.00	ATK
Delivery- see chart, \$75 minimum	400 Watt outlet***	315.00			471
	XLT Package	6,650.00			300A
ALLAN VIGIL FORD GOV'T SALES	XLT Power Driver Seat	330.00			91P
6790 Mt. Zion Blvd					
Morrow, GA 30260	Add additional key		\$	225.00	
770-968-0680 Phone	Options total		\$	8,724.00	
678-364-3910 Fax	Other vendor added equipment	2	\$		West Warn
	Delivery		\$	150.00	
* 5.0L V8 or 3.5L Ecoboost	Total		_	46,704.50	
engine required		,			
** Not available with regular	Contact person				
cab short wheel base	Agency				
*** Super cab & Crew cab only	Phone Number				6/13/2023
Jupoi dus a didir dus dilly					3, . 0, 2020

SWC #99999-SPD-ES40199373-002   5.0L V8 Flex Fuel engine   2.150.00   995	2024 Ford F150 (1/2 ton) Regular Cab, 6 Cyl, 4x2, SWB	Base	Price	\$ 35,538.00	
SWC #9999-SPD-ES40199373-002   5.01. V8 Flex Fuel engine   2,150.00   995	, c c,,,, c	Ontions	Price		Code
Sequipment included in base price:   2.7L V6 Ecoboost   1,260.00   99G	SWC #00000-SPD-FS40100373-002				
Equipment included in base price: 3.3 L V6 Flex Fuel engine	3440 #39393-31 D-L040133373-002				
1.5   2.0	Equipment included in been price:				-
Extended range fuel tank**	• •				•
Factory Installed A/C	<del>-</del>	. ,			
AM-FM Radio   Super Cab (8 ft. bed) * 7,766.00   X1C/Long Solar Tinted Glass   4x4 Option-Regular cab   4,996.00   F1E	•				
Solar Tinted Glass					
Not available with regular Contact person   Assemblance   Assemblance					
Rear view back up camera					
Viryl 40/20/40 Bench Seat   Crew Cab SWB (5.5 ft bed)   8,765.00   W1Cs	Power Steering/ABS Brakes		-		
Rubber Floor Covering   Crew Cab LWB* (6.5 ft bed)   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   9,995.00   1,242.00   9,995.00   1,242.00   9,995.00   1,220.00   9,995.00   1,220.00   9,995.00   1,220.00   9,995.00   1,220.00	Rear view back up camera	• • •			
Full Size Spare/ Step bumper	Vinyl 40/20/40 Bench Seat	Crew Cab SWB (5.5 ft bed)	8,765.00		W1Cs
Full Size Spare/ Step bumper	Rubber Floor Covering	Crew Cab LWB* (6.5 ft bed)	9,995.00		W1C/Long
Autolamp   neadlights   Limited Slip Axle   525.00   XL9		3.5L Hybrid engine-Crew Cab)	12,442.00		99D
Short Bed (6.5 ft)			525.00		XL9
Power Windows, Locks & Mirrors   Power Driver Seat   Sat.   Sat.   Sat.	·	•		\$ 42.00	
Cruise control   P245/70Rx17 Tires   SYNC 4,cloth 40/console/40   Seat, 8" touch screen   675.00   102A					
P245/70Rx17 Tires	-		0.000	Ψ 040.00	
Ford SYNC (Bluetooth)   Seat, 8" touch screen   675.00   102A   77C		· · · · · · · · · · · · · · · · · · ·			
Reverse sensing			675.00		1024
Class IV Hitch (w/o tow pkg)   Trailer Tow Pkg(includes   Tow Mirrors w/ spotlights***   495.00   53A   54Y/59S	•				
Trailer Tow Pkg(includes   1,220.00   53A   54Y/59S	Reverse sensing				
D1 Stone Gray   Gray   Tow Mirrors w/ spotlights***   495.00   54Y/59S     PQ Race Red		Trailer Tow Pkg(includes			
PQ Race Red         " Electric Brake Control for 53B         262.00         \$262.00         18B           HX Antimatter Blue         " Electric Brake Control for 53B         255.00         67T           B3 Atlas Blue         " 40-20-40 Cloth Split Bench         N/C         CS           JS Iconic Silver         " Cloth Buckets w/console***         275.00         WS           UM Agate Black         " Rear window defroster         305.00         57Q/924           M7 Carbonized Gray         " Fog Lights         135.00         595           YZ Oxford White         " Carpet w/ Mats         140.00         168           School Bus Yellow is available at         Aluminum Wheels & Bumpers         740.00         86A           \$925.00 per vehicle         SYNC 4 w/ SiriusXM         305.00         524/582           FOB Allan Vigil Ford         Spray-in Bedliner         420.00         420.00         ATK           Delivery- see chart, \$75 minimum         400 Watt outlet***         315.00         300A         471           XLT Package         6,650.00         300A         300A         91P           6790 Mt. Zion Blvd         Add additional key         \$2,289.00         \$70.00         \$2,289.00           770-968-0680 Phone         Options total         \$970.00	Exterior Colors Interior Color	Electric Brake Controller)	1,220.00	\$ 1,220.00	53A
HX	D1 Stone Gray Gray	Tow Mirrors w/ spotlights***	495.00		54Y/59S
HX		Running boards (black)	262.00	\$ 262.00	18B
B3			255.00		67T
S   Iconic Silver   Cloth Buckets w/console***   275.00   WS			N/C		CS
UM Agate Black         "Rear window defroster         305.00         57Q/924           M7 Carbonized Gray         Fog Lights         135.00         595           YZ Oxford White         Carpet w/ Mats         140.00         168           School Bus Yellow is available at         Aluminum Wheels & Bumpers         740.00         86A           \$925.00 per vehicle         SYNC 4 w/ SiriusXM         305.00         524/582           Bed Utility pkg/ tailgate step         765.00         68L           FOB Allan Vigil Ford         Spray-in Bedliner         420.00         420.00         ATK           Delivery- see chart, \$75 minimum         400 Watt outlet***         315.00         471         471           XLT Package         6,650.00         300A         91P         471		•	275.00		WS
M7 Carbonized Gray       Fog Lights       135.00       595         YZ Oxford White       Carpet w/ Mats       140.00       168         School Bus Yellow is available at       Aluminum Wheels & Bumpers       740.00       86A         \$925.00 per vehicle       SYNC 4 w/ SiriusXM       305.00       524/582         Bed Utility pkg/ tailgate step       765.00       68L         FOB Allan Vigil Ford       Spray-in Bedliner       420.00       \$ 420.00       ATK         Delivery- see chart, \$75 minimum       400 Watt outlet***       315.00       471         XLT Package       6,650.00       300A         ALLAN VIGIL FORD GOV'T SALES       XLT Power Driver Seat       330.00       91P         6790 Mt. Zion Blvd       Add additional key       \$ 225.00       91P         770-968-0680 Phone       Options total       \$ 2,289.00       970.00       West Warn         678-364-3910 Fax       Other vendor added equipment Delivery       \$ 970.00       93,172.00       **         * 5.0L V8 or 3.5L Ecoboost engine required       Total       \$ 39,172.00       **         ** Not available with regular cab short wheel base       Contact person       Agency       **					
YZ Oxford White       " Carpet w/ Mats       140.00       168         School Bus Yellow is available at       Aluminum Wheels & Bumpers       740.00       86A         \$925.00 per vehicle       SYNC 4 w/ SiriusXM       305.00       524/582         Bed Utility pkg/ tailgate step       765.00       68L         FOB Allan Vigil Ford       Spray-in Bedliner       420.00       \$ 420.00       ATK         Delivery- see chart, \$75 minimum       400 Watt outlet***       315.00       471         XLT Package       6,650.00       300A         ALLAN VIGIL FORD GOV'T SALES       XLT Power Driver Seat       330.00       91P         6790 Mt. Zion Blvd       Add additional key       \$ 225.00       91P         770-968-0680 Phone       Options total       \$ 2,289.00       970.00       West Warn         678-364-3910 Fax       Other vendor added equipment Delivery       \$ 970.00       \$ 39,172.00       *         * 5.0L V8 or 3.5L Ecoboost engine required       Total       \$ 39,172.00       *       *         ** Not available with regular cab short wheel base       Contact person       Contact person       Agency       *       *					
School Bus Yellow is available at \$925.00 per vehicle         Aluminum Wheels & Bumpers 740.00 524/582         86A           \$925.00 per vehicle         SYNC 4 w/ SiriusXM 305.00 68L         524/582           FOB Allan Vigil Ford         Spray-in Bedliner 420.00 \$420.00 ATK           Delivery- see chart, \$75 minimum 400 Watt outlet*** 315.00 XLT Package 6,650.00 300A         471           ALLAN VIGIL FORD GOV'T SALES 6790 Mt. Zion Blvd Morrow, GA 30260 Add additional key Morrow, GA 30260 Add additional key 91P         \$225.00 91P           770-968-0680 Phone 678-364-3910 Fax Other vendor added equipment Delivery 150.00 engine required 800 Not available with regular cab short wheel base Agency         Total 39,172.00 150.00 39,172.00 170.00	•				
\$925.00 per vehicle  SYNC 4 w/ SiriusXM  Bed Utility pkg/ tailgate step  765.00  FOB Allan Vigil Ford  Delivery- see chart, \$75 minimum  400 Watt outlet***  XLT Package  6,650.00  ALLAN VIGIL FORD GOV'T SALES  KLT Power Driver Seat  330.00  Add additional key  Morrow, GA 30260  770-968-0680 Phone  678-364-3910 Fax  Add additional key  ** 5.0L V8 or 3.5L Ecoboost  engine required  ** Not available with regular  cab short wheel base  SYNC 4 w/ SiriusXM  305.00  524/582  68L  ATK  420.00  \$ 420.00  471  271  472  473  300A  474  471  ADDITION STATES  ADDITION STATES  SYNC 4 w/ SiriusXM  305.00  68L  68L  524/582  68L  68L  68L  68L  68L  68L  68L  6		•	9		
Bed Utility pkg/ tailgate step   765.00   68L					
FOB Allan Vigil Ford   Spray-in Bedliner   420.00 \$ 420.00   ATK	\$925.00 per venicie				
Delivery- see chart, \$75 minimum	TOD AN AR H.E			¢ 400.00	
XLT Package   6,650.00   300A	•			<del>3 420.00</del>	
ALLAN VIGIL FORD GOV'T SALES  6790 Mt. Zion Blvd  Morrow, GA 30260  Add additional key  Options total  Other vendor added equipment Delivery  * 5.0L V8 or 3.5L Ecoboost engine required  ** Not available with regular cab short wheel base  XLT Power Driver Seat  330.00  91P  * 225.00  \$ 2,289.00  \$ 970.00  * 970.00  * 3970.00  * 39,172.00  * 39,172.00  * 39,172.00	Delivery- see chart, \$75 minimum				
6790 Mt. Zion Blvd       Add additional key       \$ 225.00         Morrow, GA 30260       Add additional key       \$ 2,289.00         770-968-0680 Phone       Options total       \$ 2,289.00         678-364-3910 Fax       Other vendor added equipment Delivery       \$ 970.00         * 5.0L V8 or 3.5L Ecoboost engine required       Total       \$ 39,172.00         ** Not available with regular cab short wheel base       Contact person       Agency		•			
Morrow, GA 30260         Add additional key         \$ 225.00           770-968-0680 Phone         Options total         \$ 2,289.00           678-364-3910 Fax         Other vendor added equipment Delivery         \$ 970.00           * 5.0L V8 or 3.5L Ecoboost engine required         Total         \$ 39,172.00           ** Not available with regular cab short wheel base         Contact person		XLT Power Driver Seat	330.00		91P
770-968-0680 Phone         Options total         \$ 2,289.00           678-364-3910 Fax         Other vendor added equipment         \$ 970.00           * 5.0L V8 or 3.5L Ecoboost engine required         Total         \$ 39,172.00           ** Not available with regular cab short wheel base         Contact person           Agency         Agency	6790 Mt. Zion Blvd				
678-364-3910 Fax  Other vendor added equipment Delivery  * 5.0L V8 or 3.5L Ecoboost engine required  ** Not available with regular cab short wheel base  Other vendor added equipment S 970.00  \$ 39,172.00  Contact person Agency	Morrow, GA 30260	Add additional key		\$ 225.00	
678-364-3910 Fax  Other vendor added equipment Delivery  * 5.0L V8 or 3.5L Ecoboost engine required  ** Not available with regular cab short wheel base  Other vendor added equipment S 970.00  \$ 39,172.00  Contact person Agency	770-968-0680 Phone	Options total		\$ 2,289.00	
* 5.0L V8 or 3.5L Ecoboost engine required  ** Not available with regular cab short wheel base  ** Delivery  * Total  \$ 39,172.00		•	,		West Warn
* 5.0L V8 or 3.5L Ecoboost Total engine required  ** Not available with regular cab short wheel base Agency  Total \$ 39,172.00					
** Not available with regular Contact person Cab short wheel base Agency	* 5.01 V8 or 3.51 Ecohoost	•	,		
** Not available with regular Contact person  cab short wheel base Agency		. 5.4.	,		
cab short wheel base Agency	<u> </u>	Contact person			
Oupci oub a oron oub orn)		Phone Number			6/13/2023

**Base Price** 2024 Ford F150 (1/2 ton) \$ 35,538.00 Regular Cab, 6 Cyl, 4x2, SWB **Options** Price Code 995 5.0L V8 Flex Fuel engine 2,150.00 SWC #99999-SPD-ES40199373-002 3.5L V6 EcoBoost engine\*\* 99G 2,545.00 99P Equipment included in base price: 2.7L V6 Ecoboost 1,260.00 295.00 145 Long Bed (8 ft) 3.3L V6 Flex Fuel engine Extended range fuel tank\*\* 655 410.00 10 Speed Automatic Transmission Factory Installed A/C Super Cab (6.5 ft. bed) 6.435.00 X<sub>1</sub>C Super Cab (8 ft. bed) \* 7,766.00 X1C/Long AM-FM Radio 4x4 Option-Regular cab 4,996.00 F1E Solar Tinted Glass 4X4 Option-Super&Crew Cabs 4.454.00 X1E Power Steering/ABS Brakes Skid plates (4X4s only) 155.00 413 Rear view back up camera Crew Cab SWB (5.5 ft bed) 8,765.00 W1Cs Vinyl 40/20/40 Bench Seat Crew Cab LWB\* (6.5 ft bed) W1C/Long 9,995.00 Rubber Floor Covering 3.5L Hybrid engine-Crew Cab) 12,442.00 99D Full Size Spare/ Step bumper Limited Slip Axle 525.00 XL9 Autolamp headlights **Daytime Running Lights** 42.00 42.00 942 Short Bed (6.5 ft) Power Windows, Locks & Mirrors Power Driver Seat 345.00 91P Blind spot alert, lane keeping, Cruise control SYNC 4,cloth 40/console/40 P245/70Rx17 Tires seat, 8" touch screen 675.00 102A Ford SYNC (Bluetooth) T7C LT265/70R17C A/T tires 295.00 Reverse sensing 53B Class IV Hitch (w/o tow pkg) 295.00 Trailer Tow Pkg(includes **Exterior Colors** Interior Color **Electric Brake Controller)** 1,220.00 53A Tow Mirrors w/ spotlights\*\*\* 495.00 54Y/59S D1 Stone Grav Gray Running boards (black) 262.00 262.00 18B PQ Race Red 67T HX Antimatter Blue Electric Brake Control for 53B 255.00 40-20-40 Cloth Split Bench N/C CS B3 Atlas Blue Cloth Buckets w/console\*\*\* 275.00 WS JS Iconic Silver Rear window defroster 305.00 57Q/924 **UM Agate Black** 135.00 595 M7 Carbonized Gray Fog Lights Carpet w/ Mats 140.00 168 YZ Oxford White Aluminum Wheels & Bumpers 740.00 86A School Bus Yellow is available at 305.00 524/582 SYNC 4 w/ SiriusXM \$925.00 per vehicle 765.00 Bed Utility pkg/ tailgate step 68L 420.00 ATK Spray-in Bedliner 420.00 FOB Allan Vigil Ford 400 Watt outlet\*\*\* 315.00 471 Delivery- see chart, \$75 minimum XLT Package 6,650.00 300A XLT Power Driver Seat 330.00 91P **ALLAN VIGIL FORD GOV'T SALES** 6790 Mt. Zion Blvd Add additional key \$ 225.00 Morrow, GA 30260 724.00 \$ 770-968-0680 Phone Options total 255.00 West Warn Other vendor added equipment 678-364-3910 Fax 150.00 Delivery \$ 36,892.00 Total 5.0L V8 or 3.5L Ecoboost engine required Contact person Not available with regular cab short wheel base Agency 6/13/2023 Phone Number Super cab & Crew cab only

Asset Information					
Department Name:	Engineering-M	[aintenance	Date:	3-Jul-23	
Org Key:	101-04-	1260			
Vehicle Description:	2005 Ford F250		Asset Number: _	204342	
Assigned Use:	The Division is re	spnsible for the	installation, maintenar	nce and repairs on	
	traffic signals.	95	1	W 1.f	
Signature of Director	/Elected Official:	Tento	My for Hem.	eed I'veh K	
Name of Director	:/Elected Official:	Dr. Hamee	ed Malik, Engineering I	Director	
Purchase Date:	4/22/2005				
Purchase Price:	\$20,018.65		_		
Current Mileage:	174,395	Cı	errent Hours:	N/A	
	Repla	acement Criter	ia Scoring		
	Score	<b>Details</b>			
Miles/Hours	17				
T -	Type of Service 3 Public Service Work				
M&R Cost	4		96% OR \$19,293.50	0	
Reliability					
Condition	4		2 previous accident	S	
Total Score	32				
Fleet Manager I	Recommendation:				
The vehicle has been in two accidents and endured \$19,293.50 repairs and maintenance cost which is 96% of the original purchase price. The current FMV of this truck is aproximately \$7K in fair condition and the maintenance cost have surpassed the value of the truck. The department has requested a replacement vehicle and the truck will be replaced with the 2024 Ford order.					
Planned R	eplacement Year:		2023		
i	Funding Source:	00	Fleet Capital		
Fleet M	lanager Approval	aten 1	See.		
Name of Fleet Manager: Laquona C. Sanderson, Fleet Manager					
Central Services D	oirector Approval:	70			
Name of Director: Ron Lampkin, Interim Central Services Director					

		Asset Inform	ation		
Department Name:	Central S	Services	Date:	3-Jul-23	
Org Key:	101-01	-6420	-		
Vehicle Description:	2000 Ford F250		Asset Number:	994443	
Assigned Use:  This vehicle was used by a plumber to transport tools and perform building maintenance on all Augusta, Georgia facilities.					
Signature of Director	Elected Official:	1/4	X.1.		
Name of Director/	Elected Official:	Ron Lamp	okin, Interim Central So	ervices Director	
Purchase Date:	9/13/2000				
Purchase Price:	\$25,742.00		_		
Current Mileage:	132,778	C	urrent Hours:	N/A	
	Repl	lacement Crite	ria Scoring		
	Score	Details			
Miles/Hours_	13	<u> </u>			
Type of Service	3				
M&R Cost_		¥	67% or \$17,143.10	)	
Reliability_	2		1*** 1 .	1	
Condition_	<u>4</u>	Faii	condition due to age a	ind wear	
Total Score_	<u>25</u>				
Fleet Manager R					
			ous occassions due to		
continously stalling ou					
repairs and maintenance	_		_		
vehicle is no longer ne Fleet Management.	eded for the depar	runent and appr	oved the disposal with	consideration from	
	placement Year:		2023	<u> </u>	
	-				
	Funding Source:	1)/	Fleet Capital		
Fleet Ma	nager Approval	afr	0		
Name of	f Fleet Manager:	Laquona C. San	derson, Fleet Manager		
Central Services Dia	rector Approval:	20	se .		
N	ame of Director:	Ron Lampkin, I	nterim Central Service	s Director	

		Asset Inform	ation	
Department Name:	Central S	Services	Date:	11-Jul-23
Org Key:	101-01	-6420	:=	
Vehicle Description:	2000 Ford F250		Asset Number:	994444
			· · · · · · · · · · · · · · · · · · ·	
Assigned Use:			er to transport tools ar	d perform building
	maintenance on a	all Augusta, Geor	rgia facilities.	
Signature of Director	:/Elected Official:	154	8 al	
Name of Director			kin, Interim Central Se	ervices Director
Purchase Date:	9/27/2000	-0		
Purchase Price:	\$25,724.00			
Current Mileage:	149,125	Cu	rrent Hours:	N/A
	Rep	lacement Criter	ia Scoring	
	Score	Details		
Miles/Hours	15			
Type of Service	3			*
M&R Cost	3		69% or \$17,787.90	
Reliability	2			
Condition	4	Fair	condition due to age a	nd wear
Total Score				
Elect Menney D				
	Recommendation:	the shop on read	ous occassions due to t	ha vahiala
		_	miles and has endured	
		•	nined for the safety of	· ·
	_		oved the disposal with	- '
Fleet Management.		11		
Planned Re	eplacement Year:		2023	
	Funding Source:		Fleet Capital	7
			21	
Fleet Ma	anager Approval:	Ya Jan	and the same	MAR
Name o	of Fleet Manager:	Laquona C. San	derson, Fleet Manager	
Central Services D	irector Approval:	120	2-1	
N	Jame of Director	Ron Lamnkin I	nterim Central Services	Director

		Asset Informa	ation			
Department Name:	Planning & D	evelopment	Date:	3-Jul-23		
Org Key:	217-07-	-2210				
Vehicle Description:	2009 Ford	Ranger	Asset Number:	209004		
Assigned Use:	This vehicle was	used by a buildi	ng inspector.			
Signature of Director	/Elected Official:	Paul	un Do	=/		
Name of Director/Elected Official: Carla Delaney, Planning and Devleopment Director						
Purchase Date:	3/13/2009					
Purchase Price:	\$15,459.00					
Current Mileage:	97,519	Cı	arrent Hours:	N/A		
	Repl	acement Criter	ia Scoring			
	Score	Details				
Miles/Hours	10					
Type of Service	2					
M&R Cost	2		25% or \$3,804.13			
Reliability	2					
Condition	3		1 previous accident			
Total Score		Approved b	y Commision for GREE	N AUGUSTA		
Fleet Manager F	Recommendation:					
This vehicle was approved by Augusta Commission for the Green Augusta Initiative. The vehicle will be sold and funds will help fufill the Green Augusta Initative.						
Planned R	eplacement Year:		2023			
	Funding Source:	A	Building Inspection Fun	nds		
Fleet M	anager Approval:/	alen	Clant	este		
Name of Fleet Manager, Laquona C. Sanderson, Fleet Manager						
Central Services D	1	12	26			
		Ron Lampkin, I	nterim Central Services	Director		

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	Asset Information						
Department Name:	Fleet Man	agement	Date:	1-Mar-23			
Org Key:	626-01-	-6440	_				
Vehicle Description:	2000 Ford	Explorer	Asset Number:	994421			
Assigned Use:	The vehicle was uvarious locations.		r and for staff to attend	meetings at			
Signature of Director	Elected Official:	(1)	1.1.				
Name of Director	/Elected Official:	Ron Lamp	cin, Interim Central Ser	vices Director			
Purchase Date:	6/19/2000						
Purchase Price:	\$22,422.25						
Current Mileage:	129,995			N/A			
		Cu	rrent Hours:				
Replacement Criteria Scoring							
	Score	Details					
Miles/Hours	13						
Type of Service	3						
M&R Cost	4		91% OR \$20,484.90				
Reliability	5						
Condition	4	Paint peeling, d	loes not stay running, sr	mokes once crunk			
Total Score	29						
Fleet Manager R	Recommendation:						
		be used as the ve	hicle is not safe to oper	rate as it will not			
stay running and smok	es once it is starte	d. The vehicle n	eeds an ABS hydaulic	control unit that is			
stay running and smokes once it is started. The vehicle needs an ABS hydaulic control unit that is no longer available due to age of vehicle.							
Planned Re	eplacement Year:		2023				
	Funding Source:	16/	2023 Capital				
	anager Approval:	Yafine Of	(ke)				
Name of Fleet Manager: Lanuona C. Sanderson, Fleet Manager							
Central Services Director Approval:							
Name of Director: Ron Lampkin, Interim Central Services Director							

		Asset Inform	ation			
Department Name:	RECRE	ATION	Date:	17-Jun-22		
Org Key:	101-06	-3110	_			
Vehicle Description:	1999 Ford	Ranger	Asset Number:	994161		
Assigned Use:	Support of Cemetery Maintenance Operations					
Signature of Director	/Elected Official:	Man	Alon.	9		
Name of Director/Elected Official: Director Maurice D. McDowell						
Purchase Date:	5/27/1999					
Purchase Price:	\$12,340.22					
Current Mileage:	84,894	Cu	rrent Hours:	N/A		
Replacement Criteria Scoring						
Score Details						
Miles/Hours	8					
-	Type of Service 3 Public service operations					
M&R Cost_	4		or 85% of vehicle pure			
Reliability_	3					
Condition_	5	Unable to	obtain parts/repainting/	transmission		
Total Score	23			_		
Fleet Manager Re	ecommendation:					
Vehicle was turned in o	lue to an inonerati	ve instrument c	luster in June 2022 need	and for all and the		
gauges and parts are no	longer able to be	obtained for it's	repair. Vehicle is badly	rusted on the		
ool and much of the pa	aint is gone down	to bare metal or	the bood and rear of w	phicle It is		
estimated to cost around	d \$3,500 for vehic	ele to be repainte	ed. In addition, there is	evidence of		
ransmission issues due	to inability to pla	ce shifter in par	k position.	CVIdence ()1		
Planned Rep	olacement Year:					
F	Funding Source:	1. AND				
Fleet Manager Approval: The world of the state of the sta						
Name of Fleet Manager: Laquona C. Sanderson, Interim Fleet Manager						
Central Services Dire	-	KOZ	f '			
Na	Name of Director: Ron Lampkin, Interim Central Services Director					

Asset Information					
Department Name:	RECREA	TION	· Date:	13-Jul-22	
Org Key:					
Vehicle Description:			Asset Number:	F02297	
Assigned Use:	Transport of Imma	te personnel for	landscaping operations		
G' 4 CDivide	/DI - 4-1 OCC -:-1-	Al	1/	/	
Signature of Director		11 am	100	•	
Name of Director	/Elected Official:	M: urice D.	McDowell, Director		
Purchase Date:	1/24/2003				
Purchase Price:	\$24,351.00				
Current Mileage:	82,483	Cu	rrent Hours:	N/A	
	Repl	acement Criter	a Scoring		
- Manage	Score	Details	x		
Miles/Hours	8				
Type of Service	3				
M&R Cost	4 \$21,289.11 or 87%				
Reliability	3				
Condition	5 Paint condition poor/rust, \$7,424 repairs required				
Total Score					
	Recommendation:				
July 2022. If the vehicle the purchase price of \$2 interior. Cost of overall	were repaired the t 4,351.00 and FMV repairs to date and	to total M&R cost of \$3,000.00. Ve additional repairs	mount of \$7,424.00, age a would be \$28,000.00, which has rust, peeling paneeded qualifies this vehicle suitable for retention in	nich is greater than int and damaged icle for disposal	
Planned R	eplacement Year:	2023-2024			
	Funding Source:	Capital		_>	
Fleet M	anager Approval:				
Name o	of Fleet Manager:	Laquona C. San	ierson, Interim Fleet M	anager	
Central Services D	irector Approval:	1.	1		
ı	Name of Director:	Ron Lampkin, li	nterim Central Services	Director	

Asset Information					
Department Name:	RECREATION-0	CEMETERIES	Date:	18-Jul-22	
Org Key:					
Vehicle Description:	1999 FORD	RANGER	Asset Number:	994167	
Assigned Use:	Support of cemete	ery maintenance	operations		
				n	
		10/1	1.1	/	
at a spiral	/D1 1 OFF -1-1.	-///	MI		
Signature of Director		- / m	M.D. vell Diseases		
Name of Director	r/Elected Official:	Maurice D	. McDowell, Director		
Purchase Date:	5/24/1999				
Purchase Price:	\$14,250.85		_		
Current Mileage:	105,504	Cu	rrent Hours:	N/A	
	Donl	acement Criter	ia Scoring		
	Score	Details	ia beoring		
Miles/Hours	10	Details			
Type of Service				•	
M&R Cost			\$14,555.32 or 102%		
Reliability					
Condition	5 Major dents both sides/paint peeling				
Total Score					
Total Score					
Fleet Manager l	Recommendation:				
		exterior, age ar	d condition in July 202	2. Vehicle has	
peeling paint, major s	crapes and dents,	possible engine	issues and overall main	tenance costs in	
the amount of \$14,555.32 have exceeded the original purchase price. It has had two previous					
recorded accidents over \$1,300. Cost of overall repairs to date and additional repairs needed					
qualifies this vehicle for disposal and auction.					
Planned Replacement Year:					
Funding Source:					
	lanager Approval:	1		8	
Name of Fleet Manager: Laquona C. Sanderson, Interim Fleet Manager					
Central Services Director Approval:					
Name of Director: Ron Lampkin, Interim Central Services Director					
A Committee of the comm					

Asset Information						
Department Name:	Engineering - Tra	affic Engineers	Date:	3-Jul-23		
Org Key:	101-04-1710					
Vehicle Description:	2011 Ford	d F250	Asset Number:	210158		
Assigned Use:		spnsible for the	installation, maintenar	nce and repairs on		
	traffic signals.	-	/			
		and the same of th	A			
		At				
Signature of Director	/Flected Official:	Jaux-	Lum Son Jan	and Malik		
_	/Elected Official:		d Malik, Engineering I	Director		
Name of Director	/Elected Official.	Di. Hamee	d Mair, Engineering i	Director		
Purchase Date:	10/20/2010					
Purchase Price:	\$23,198.00		_			
Current Mileage:	187,327	Cu	irrent Hours:	N/A		
	Repl	acement Criter	ia Scoring			
	Score	<u>Details</u>				
Miles/Hours	18					
Type of Service						
M&R Cost	3					
Reliability	4					
Condition 4 2 previous accidents						
Total Score	Total Score 32					
Fleet Manager Recommendation:						
		enlacement mile	eage of 175K according	to the Fleet		
The 2011 Ford F250 has surpassed the replacement mileage of 175K according to the Fleet Management Operations, Maintenance and Replacement Policy, 3.02 by approximately 12K						
miles. The vehicle has been in two accidents and endured \$13,216.30 repairs and maintenance						
			le and the truck will be			
2024 Ford order.						
Planned R	Planned Replacement Year: 2023					
	Funding Source: Fleet Capital					
Fleet Manager Approval: June Combined						
Name of Fleet Manager: Laquona C. Sanderson, Interim Fleet Manager						
Central Services Director Approval:						
Name of Director: Ron Lampkin, Interim Central Services Director						

		Asset Inform	ation		
Department Name: Utilities-Filter Plan			Date:	4-Nov-22	
Org Key:	506-04	-3520	To the second se		
Vehicle Description:	2003 Ford Ranger		Asset Number:	203192	
Assigned Use:	This truck is used	by Utilities stat	ff at the Tobacco Road Fi	lter Plant.	
Signature of Director	Elected Official:	Jush	\		
Name of Director	/Elected Official:	Wes Byne	<u> </u>		
Purchase Date:	8/14/2003				
Purchase Price:	\$15,374.19				
Current Mileage:	66,437	C	urrent Hours:	n/a	
	Repl	lacement Crite	ria Scoring		
	Score	Details			
Miles/Hours	6				
Type of Service	3				
M&R Cost	4 89% OR \$13,717.20				
Reliability	5	Vehicle needs major mechanical repairs			
Condition_	5	Vehicle needs major mechanical repairs			
Total Score	23				
Fleet Manager R	ecommendation:				
		ded for disposl	due to the need for a new	transmission in	
the amount of \$3,606.0	00. The transmission	on is on back or	der with an ETA of one	month. The	
vehicle is apart of the	GREEN AUGUST	A initiative to	phase out Ford Rangers a	nd replace with	
an alternative fuel vehi	icle.		parabo out I old Italigoid a	ad replace with	
Planned Re	placement Year:		2023-2024		
	Funding Source:		Utilities		
Fleet Ma	nager Approval:	Mans	Shidoesa		
	/	aquona C. San	derson, Fleet Manager		
Central Services Di		201	1	***************************************	
N	ame of Director: F	Ron Lampkin II	nterim Central Services D	Director	
- 1		I	College Dol 11003 L	AN OUT	

		Asset Information	
Department Name:	Recreation Departm	nent Date:	7-Apr-22
Org Key:	101-06-1110		
Vehicle Description:	00' Ford Ranger	Asset Number:	994242
Assigned Use:			
Recreation Grounds ar	nd Landscaping Ma	intenance Support	
Signature of Director	r/Elected Official:	Maurice McDowell, Director	0
Purchase Date:	3/14/2000		
Purchase Price:			
Current Mileage:	81,673		
	Repla	cement Criteria Scoring	
	Score	Details	
Miles/Hours	8		
Type of Service	3	Public Service	
M&R Cost	3	67% or \$8,274.98	
Reliability_	1	Minimal work orders conducte	ed over time
Condition _	5	Transmission needs repla	cement
Total Score	20		
identified as needing to amount of \$1,500, due \$4,547. Although, the for public auction appropriate Planned Research Planned	Ranger has an avera the transmission rep to the paint being vehicle does not me proval due to it bein eplacement Year: ( Funding Source: )	Currently not forecasted N/A	paint job in the timated repairs is
		/	

Asset Information					
Department Name:	Planning & I	Development	Date:	3-Jul-23	
Org Key:	217-07-2210				
Vehicle Description:	2009 For	d Ranger	Asset Number:	209010	
Assigned Use:	This vehicle was used by a building inspector.				
Signature of Director	Elected Official:	- Cael	Males		
Name of Director	Elected Official:	Carla Dela	ney, Planning and De	evelopment Director	
Purchase Date:	3/13/2009				
Purchase Price:	\$15,459.00				
Current Mileage:	97,519	- Cu	rrent Hours:	N/A	
	Rep	lacement Criter	ia Scoring		
	Score	Details			
Miles/Hours_	10				
Type of Service	2				
M&R Cost	2 25% or \$3,805.30				
Reliability	1				
Condition	2 previous accidents				
Total Score	Approved by Commission for GREEN AUGUSTA				
Fleet Manager Recommendation:					
This vehicle was approved by Augusta Commission for the Green Augusta Initiative. The vehicle will be sold and funds will help fufill the Green Augusta Initative.					
Planned Replacement Year: 2023					
Funding Source: Building Inspection Funds					
Fleet Manager Approval: ( ) the ( ) with (					
Name of Fleet Manager: Laguona C. Sanderson, Fleet Manager					
Central Services Di	rector Approval:	72	10		
Name of Director: Ron Lampkin, Interim Central Services Director					



**Commission Meeting** 

September 5, 2023

HCD\_ Lead Hazard Reduction Program Approval Request

**Department:** HCD

**Presenter:** Hawthorne Welcher, Jr. and/or HCD Staf

**Caption:** 

Motion to **approve** quantity one (1) Healthy Homes Project located at 2363 Mt. Auburn Street. (**Approved by Administrative Services Committee August 29, 2023**)

**Background:** 

On November 21, 2019, HUD awarded \$3.3 million, to the State of Georgia as part of the record investment of \$314 million nationwide: to 77 state and local government agencies that will help protect Augusta, Georgia's children and families from lead-based paint and home health hazards.

The Lead-Based Paint Hazard Reduction Program (LBP) grants include \$3,000,000 in LBP funding and \$300,000 in HUD's Healthy Homes Supplemental funding. The LBP grants include \$30 million nationwide in HUD's Healthy Homes Supplemental funding to help communities address housing-related health and safety hazards, in addition to lead-based paint hazards.

Address: 2363 Mt. Auburn St. August GA 30904, Contractor: Blount's Complete Home, Budget: \$36,600, Project Type: Healthy Homes

This program funds lead hazard reduction activities in owner-occupied single-family homes and rental properties if the unit meets the minimum program requirements. These requirements include, but are not limited to: the unit must be in need of lead hazard reduction activity; structurally sound upon completion of the lead hazard activity; and registered with the **Georgia Department of the Environment Lead Poisoning Prevention Program.** 

**Analysis:** 

Approval of this request will allow the homeowner to participate in the City of Augusta Lead Safe Housing Initiative.

**Financial Impact:** 

Augusta, Georgia receives funding from HUD annually.

**Alternatives:** Deny HCD's Request

**Recommendation:** Motion to approve HCD's request to address healthy homes hazards.

Quantity (1) Lead Hazard Healthy Homes Rehabilitation Project.

Funds are available in the following accounts:

Lead Grant: Total Amount Requested: \$36,600 221073227- 5211120 Contractional Services

REVIEWED AND APPROVED BY:

Procurement

Finance

Law

Administrator

**Clerk of Commission** 

Item 11.

AHCDD Form 508 (Rev. 05/04)

# AUGUSTA HOUSING & COMMUNITY DEVELOPMENT DEPARTMENT CONSTRUCTION CONTRACT REPAIR PROJECT

Date:

08/02/23

This agreement is between (Contractor):

Blount's Complete Home 2907 Tobacco Rd C Augusta, GA 30815

And: Augusta Housing & Community Development Department

925 Laney-Walker Boulevard

Augusta, GA 30901

Project: Augusta Homeowner

2363 Mount Auburn St Augusta, GA 30904

**Project: Healthy Homes Reduction Program** 

The Contractor agrees to furnish all labor and materials to complete in good, workmanlike manner repairs to the property shown above, for the total sum of **THIRTY SIX THOUSAND SIX HUNDRED DOLLARS - \$36,600.00.** All work will be accomplished in accordance with the attached Work Write-Up, and Housing and Urban Development Lead Hazard and Healthy Homes Guidelines.

The Contractor agrees to accept payment from the Augusta Housing and Community Development Department in accordance with Department payment procedures. The Contractor agrees to complete all repair work required by this contract within **10** working days of the date of this contract.

The undersigned, having reviewed and understood this contract, agrees to the terms as specified above and in the attached contract documents.

Hawthorne Welcher, Director Housing & Community Development Department	Contractor, Jimmy Blount
Witness:	•
SWORN TO AND SUBSCRIBED BEFORE ME,	THIS
DAY OF	, 20
Notary Public, State of Georgia	(SEAL)

Item 11.

**AHCDD Form 508** (Rev. 05/04)

# AUGUSTA HOUSING & COMMUNITY DEVELOPMENT DEPARTMENT

## CONSTRUCTION CONTRACT - REPAIR PROJECT

Date:

08/02/23

Appro	ved as to Form:	
Ву:	Augusta, GA Legal Department As its Legal Representative	Date:
Ву:	Garnett L. Johnson As its Mayor	Date:
Ву:	Takiyah A Douse As its Interim Administrator	Date:
Ву:	Hawthorne Welcher, Jr. As its Director, HCD	Date:
Ву:	Lena Bonner As its Clerk	Date:



## Housing and Community Development Department

Hawthorne E. Welcher, Jr. Director

**Shauntia Lewis Deputy Director** 

May 8, 2023

#### INVITATION TO BID, DELIVERED VIA EMAIL AND MAIL

Re: Lead Hazard Remediation

To Whom It May Concern,

The Augusta Housing and Community Development Department (HCD) is seeking bids for the following (4) addresses, a walk through will be held on 5/12/2023 beginning at 10:00 AM @ 1691 Old Savannah Rd. Augusta, GA 30901

The following houses will be visited:

- 1) 1691 Old Savannah Rd. Augusta, GA 30901
- 2) 2363 Mt Auburn St. Augusta, GA 30904
- 3) 1749 McAnally St. Augusta, GA 30904
- 4) 214 Memory Dr. Augusta, GA 30906

Please submit all bids to the address: by email or 510 Fenwick St Augusta, Ga 30901 on 5/17/2023 by 12:00 pm

Housing and Community Development Department Attn: Lead Hazard Reduction Program 510 Fenwick Street Augusta, GA. 30901

If you have any questions or need additional information, please feel free to call me at (706) 821-1797.

Regards,

Darrell Grant Supervising Manager



Item 11.

AHCDD Form 504 (Rev. 10/05)

## **AUGUSTA HOUSING & COMMUNITY DEVELOPMENT DEPARTMENT**

### **HEALTHY HOMES BID TABULATION SHEET**

Date: 06/08/2023

Time: 11:00 AM

	PROJECT: 2363 Mount Auburn St. Bessie Williams			
CONTRACTOR				
NATIONAL ENVIRIONMENTAL SOLUTIONS	NO SHOW			
Clean & Green Environmental Solutions	NO BID			
Blount's Complete Home	\$36,600	WINNING BID		
Legacy 4 Construction	\$46,375			
Upper Bid Limit	\$38,500			
AHCDD Estimate	\$35,000			
Lower Bid Limit	\$31,500			
<sup>1</sup> Bid is outside acceptable range.				
NOTES:	<sup>2</sup> Excessive bid e	errors.		
3 Already awarded maximum number of projects.				



#### **Commission Meeting**

September 5, 2023

HCD\_ Laney Walker/Bethlehem new construction of two (2) single family homes approval request

**Department:** HCD

**Presenter:** Hawthorne Welcher, Jr. and/or HCD Staff

Caption: Motion to approve Housing and Community Development Department's

(HCD's) request to provide Laney Walker/Bethlehem Revitalization Funding to contract with Capitalrise, LLC to develop new construction of two (2) single family units, identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.(Approved by Administrative Services Committee

August 29, 2023)

Background: In 2008, the Augusta Commission passed legislation supporting community

development in Laney Walker/Bethlehem. Since that time, the Augusta Housing & Community Development Department has developed a master plan and development guidelines for the area, set up financial incentive programs for developers and home buyers, selected a team of development partners to focus on catalytic change, and created a marketing strategy to promote the

overall effort.

This project involves the new construction of two (2) single family homes identified as 1101 and 1110 Cedar Street, within Laney Walker/Bethlehem.

AddressBudgetProject Type1101 Cedar Street\$152,455.36New Construction1110 Cedar Street\$152,455.36New ConstructionAugusta, GA 30901(Labor/Material)

Analysis:

The approval of the contract will allow for development activities on these

sites to begin.

Financial Impact: HCD utilizes Laney Walker/Bethlehem Revitalization funding.

Contract Amount: 1101 Cedar Street- \$152,455.36 Contract Amount: 1110 Cedar Street- \$152,455.36 **Alternatives:** Deny

Recommendation: Motion to approve Housing and Community Development Department's

(HCD's) request to provide Laney Walker/Bethlehem Revitalization Funding to contract with Capitalrise, LLC to develop new construction of two (2) single family units, identified as 1101 and 1110 Cedar Street, within Laney

Walker/Bethlehem.

Funds are available in the following accounts:

Funding: Laney Walker/Bethlehem Revitalization funding

GL Code: 298-07-7343-5413150

REVIEWED AND APPROVED BY:

Procurement

Finance

Law

Administrator

Clerk of Commission

#### **CONTRACT**

#### between

#### AUGUSTA, GEORGIA

#### And

#### VETTED INVESTMENTS AND ACQUISITIONS, LLC

in the amount of \$152,455.36 USD

One Hundred Fifty-Two Thousand Four Hundred Fifty-Five Dollars and 36/100

for Fiscal Year **2021** Providing funding for

#### LANEY WALKER/BETHLEHEM REVITALIZATION PROJECT

#### 1101 Cedar Street

THIS AGREEMENT ("Contract"), is made and entered into as of the \_\_\_ day of \_\_\_ 2022 ("the effective date") by and between Augusta, Georgia, a political subdivision of the State of Georgia (hereinafter referred to as "Augusta"), acting through the Housing and Community Development Department (hereinafter referred to as "HCD") - with principal offices at 510 Fenwick Street, Augusta, Georgia 30901, as party of the first part, and Vetted Investments & Acquisitions, LLC., a developer, organized pursuant to the Laws of the State of Georgia, hereinafter called "VIA" as party in the second part.

#### WITNESSETH

**WHEREAS**, Augusta is qualified by the U. S. Department of Housing and Urban Development (hereinafter called HUD) as a Participating Jurisdiction, and has received Laney Walker/Bethlehem Bond Financing for the purpose of providing and retaining affordable and market rate housing for eligible families; and

WHEREAS, VIA, a procured developer and contractor with HCD wishes to increase homeownership opportunities and preserve and increase the supply of affordable/market rate housing for eligible families; and

**WHEREAS**, Augusta wishes to enter into a contractual Agreement with VIA for the administration of eligible affordable and market rate housing development activities utilizing Laney Walker Bond Financing; and

**WHEREAS,** this activity has been determined to be an eligible activity in accordance with 24 CFR 92.504(c)(13) and will meet one or more of the national objectives and criteria outlined in Title 24 Code of Federal Regulations, Part 92 of the Housing and Urban Development regulations; and

WHEREAS, VIA has been selected and approved through a solicitation process for development partners to assist in the redevelopment of Laney Walker and Bethlehem communities; and

WHEREAS, VIA has agreed to provide services funded through this contract free from political activities, religious influences or requirements; and

WHEREAS, VIA has requested, and Augusta has approved a total of \$152,455.36 in funding to perform eligible activities as described in Article I; below:

**NOW, THEREFORE**, the parties of this Agreement for the consideration set forth below, do here and now agree to the following terms and conditions:

#### ARTICLE I. SCOPE OF SERVICES

#### A. Scope of Services

Project Description: VIA agrees to utilize approved Laney Walker/Bethlehem Bond financing funds to support project related costs associated with the Laney Walker/Bethlehem Redevelopment Project. VIA agrees to match Laney Walker/Bethlehem Bond funds 50% of total construction cost in the form of reimbursement. Under this Agreement:

- **↓** VIA will perform new construction for one (1) single family detached home identified as property number **1101 Cedar Street.**
- **↓** VIA will perform all required construction management and project oversight; in accordance with all laws, ordinances, and regulations of Augusta.
- → VIA will perform all functions required to ensure delivery of a final product meeting all requirements as set forth by said Agreement to include:
  - Materials list to include brand name and/or model number of materials as specified or agreed to adjustments to specifications including but not limited to: appliances, windows, HVAC, fixtures and First Quality lumber. VIA is to provide a finish schedule with the specifications, brands and model numbers for all interior finishes 90 days from completion for agreement by HCD. Actual material invoices may be requested to verify charges.
- B. <u>Use of Funds</u>: Laney Walker/Bethlehem Bond funds shall be used by VIA for the purposes and objectives as stated in Article I, Scope of Services, of this Agreement. The use of funding for any other purpose(s) is not permitted. The following summarizes the proposed uses of funds under this Agreement based on **total material and labor cost of \$152,455.36**

#### 1. Profit

An amount not to exceed percent (50%) of the construction cost as outlined and approved in Article I. Scope of Services, Section B. Use of Funds and on the Work Write-Up, shall be paid to VIA for costs identified as necessary operating time and expenses in addition to the profit accrued in the development of one single family detached home identified as **1101 Cedar Street.** The design and specifications of the property shall be approved by HCD prior to construction (see Appendix). HCD will have the latitude to pay O&P directly to the procured developer/contractor on a pay for performance basis or upon the sale of the single family detached home identified as **1101 Cedar Street.** 

#### 2. Developer's Fee Disbursements

Developer's Fee shall be dispensed when construction is 100% completed and certificate of occupancy is received. Co-Developer's Fee is dispensed upon sale of the home and should not exceed sixteen percent (16%).

#### C. Program Location and Specific Goals to be Achieved

VIA shall conduct project development activities and related services in its project area Laney Walker/Bethlehem that incorporates the following boundaries: Fifteenth Street, R.A. Dent, Wrightsboro Road, Twiggs Street, MLK Boulevard and Walton Way.

#### **D.** Project Eligibility Determination

It has been determined that the use of Laney Walker/Bethlehem Bond Financing funds by VIA will be in compliance with legislation supporting community development in Laney Walker/Bethlehem as authorized under the Urban Redevelopment Authority which acts in behalf of the Augusta Commission to provide oversight of the operation of the Laney Walker/Bethlehem Redevelopment Project. Notwithstanding any other provisions of this contract, VIA shall provide activities and services as described in the description of the project, including use of funds, its goals and objectives, tasks to be performed and a detailed schedule for completing the tasks for this project as provided in Exhibit A of this contract.

#### ARTICLE II. BUDGET AND METHOD OF PAYMENT

VIA will carry out and oversee the implementation of the project as set forth in this Agreement and agrees to perform the required services under the general coordination of HCD. In addition, and upon approval by Augusta, VIA may engage the services of outside professional services consultants and contractors to help carry out the program and projects.

- A. Augusta shall designate and make funds available in the following manner:
- 1. Augusta agrees to pay VIA, a maximum of \$152,455.36 under this Agreement for project expenses incurred as outlined in ARTICLE I, Scope of Services, subject to VIA's compliance with all terms and conditions of this Agreement and the procedures for documenting expenses and activities as set forth in said Agreement;
- 2. The method of payment for construction costs, including only materials and labor as outlined and approved on the Work Write-Up, not to exceed the aforementioned contracted amount of \$152,455.36 and shall be on a pay for performance basis provided VIA and HCD determine the progress is satisfactory. VIA shall utilize the AIA Form provided by HCD (see Appendix). For invoicing, VIA will include documentation showing proof of completion of work in accordance with the amount requested, inspected, and accepted by HCD, lien waivers for vendors and sub-contractors, as specified in the Work Write-Up found in Exhibit B & E.
- 3. When nearing 50%, the Developer, VIA, should be prepared to pay their 50%: \$76,227.28 as agreed to HCD for material and labor only.
- 4. HCD will monitor the progress of the project and VIA's performance on a weekly basis with regards to the production of housing units and the overall effectiveness of project.

- 5. Upon the completion of this Agreement, any unused or residual funds remaining shall revert to Augusta and shall be due and payable on such date of the termination and shall be paid no later than thirty (30) days thereafter. VIA and HCD shall share in the cost and proceeds of developing the residence at **1101 Cedar Street** as follows:
- 6. Funds may not be transferred from line item to line item in the project budget without the prior written approval of Augusta Housing and Community Development.
- 7. This Agreement is based upon the availability of funding under the Laney Walker/Bethlehem Revitalization Project. Should funds no longer be available, it is agreed to by both parties that this contract shall terminate and any VIA deemed satisfactorily progress made within the contracted construction only amount not to exceed fifty percent (50%) shall be paid to VIA.
- 8. HCD will retain ten percent (10%) of an amount within the one hundred percent (100%) of construction costs, including only materials and labor as outlined and approved on the Work Write-Up, after the Certificate of Occupancy has been issued until VIA and HCD determine that all HCD punch-list items have been satisfied.

#### B. <u>Project Financing</u>

The Augusta Housing and Community Development will provide an amount not to exceed the actual construction costs including only materials and labor as outlined and approved on the Work Write-Up to be expended by VIA for construction costs related to the development of one single family detached home identified as **1101 Cedar Street**.

Additionally, HCD will provide 100% of all change orders (where applicable) as approved by HCD and VIA in writing.

All funding is being provided as payment for services rendered as per this Agreement.

#### C. <u>Timetable for Completion of Project Activities</u>

VIA shall be permitted to commence with the expenditure of Laney Walker Bethlehem Bond Financing funds as outlined in said Agreement upon procurement of a construction contractor in accordance with its policies and procedures; and approval of a detailed outline of project expenditures anticipated for the completion of the development within 120 days of said home identified as **1101 Cedar Street**.

#### Liquidated Damages

VIA agrees to pay as liquidated damages to HCD the sum of two hundred dollars (\$200.00) for each consecutive calendar day after the expiration of the Contract Time of Completion Time, except for authorized extensions of time by Augusta. This section is independent of any section within this Agreement concerning the default of VIA. The parties agree that these provisions for liquidated damages are not intended to operate as penalties for breach of Contract.

The liquidated damages set forth above are not intended to compensate Augusta for any damages other than inconvenience and loss of use or delay in services. The existence or recovery of such liquidated damages shall not preclude Augusta from recovering other damages in addition to the payments made hereunder which Augusta can document as being attributable to the documented failure of VIA. In addition to other costs that may be recouped, Augusta may include costs of personnel and assets used to coordinate, inspect, and re-inspect items within this Agreement as well as attorney fees if applicable.

#### **Specified Excuses**

VIA is not responsible for delay in performance caused by hurricanes, tornados, floods, and other severe and unexpected acts of nature. In any such event, the contract price and schedule shall be equitably adjusted.

Temporary Suspension or Delay of Performance of Contract

To the extent that it does not alter the scope of this Agreement, Augusta may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this Agreement.

#### D. Project Budget: Limitations

All costs associated with construction, O&P, construction management, and real estate expenses have been outlined in said Agreement as percentage-based costs related to the development of one single family detached home identified as 1101 Cedar Street as part of the Laney Walker/Bethlehem Revitalization Project. HCD will have the latitude to pay such costs directly to the procured construction contractor. VIA shall be paid a total consideration of no more than \$152,455.360 for full performance of the services specified under this Agreement. Any cost above this amount shall be the sole responsibility of HCD. It is also understood by both parties to this contract that the funding provided under this contract for this specific project shall be the only funds provided by Augusta unless otherwise agreed to by Augusta and VIA.

Augusta shall adhere to the budget as outlined in the Work Write-Up (Exhibit B) in the performance of this contract.

#### ARTICLE III. TERM OF CONTRACT

The term of this Agreement shall commence on the date when this Agreement is executed by Augusta and VIA (whichever date is later) and shall end at the completion of all program activities, within the time specified in Article II.C, or in accordance with ARTICLE X: Suspension and Termination.

#### ARTICLE IV. DOCUMENTATION AND PAYMENT

- A. This is a pay-for-performance contract and in no event shall HCD provide advance funding to VIA, or any subcontractor hereunder.
- B. VIA shall not use these funds for any purpose other than the purpose set forth in this Agreement.
- C. Subject to VIA's compliance with the provisions of this Agreement, Augusta agrees to reimburse all budgeted costs allowable under federal, state, and local guidelines.

- D. All purchases of capital equipment, goods and services shall comply with the procurement procedures of OMB Circular A-110 "Uniform Administrative Requirements for Grant Agreements with Institutions of Higher Education, Hospitals and Other Non-Profit Organizations" as well as the procurement policy of Augusta.
- E. Requests by VIA for payment shall be accompanied by proper documentation and shall be submitted to HCD, transmitted by a cover memo, for approval no later than thirty (30) calendar days after the last date covered by the request. For purposes of this section, proper documentation includes: Updated Exhibit A- schedule (Gantt Chart), Updated Exhibit B- Work Write-Up, and AIA Form.
- F. VIA shall maintain an adequate financial system and internal fiscal controls.
- G. <u>Unexpended Funds</u>: Unexpended funds shall be retained by Augusta upon written request, Augusta may consider the reallocation of unexpended funds to eligible projects proposed by VIA.
- H. The terms of this Agreement supersede any and all provisions of the Georgia Prompt Pay Act.
- I. Upon the sale of the detached single-family home at **1101 Cedar Street**, HCD is to provide VIA with any outstanding payments on approved invoices and related costs received within ten (10) business days.

#### ARTICLE V. ADMINISTRATIVE REQUIREMENTS

#### **Conflict of Interest**

VIA agrees to comply with the conflict-of-interest provisions contained in 24 CFR 85.36, 570.611, OMB Circular A-110 and OMB Circular A-102 as appropriate.

This conflict-of-interest provision applies to any person who is an employee, agent, consultant, officer, or elected official or appointed official of VIA. No person described above who exercises, may exercise or has exercised any functions or responsibilities with respect to the activities supported under this contract; or who are in a position to participate in a decision-making process or gain inside information with regard to such activities, may obtain any financial interest or benefit from the activities, or have a financial interest in any contract, sub-contract, or agreement with respect to the contract activities, either for themselves or those with whom they have business or family ties, during their tenure or for one year thereafter. For the purpose of this provision, "family ties", as defined in the above cited volume and provisions of the Code of Federal Regulations, include those related as Spouse, Father, Mother, Father-in-law, Mother-in-law, Step-parent, Children, Step-children, Brother, Sister, Brother-in-law, Sister-in-law, Grandparent, Grandchildren of the individual holding any interest in the subject matter of this Agreement. VIA in the persons of Directors, Officers, Employees, Staff, Volunteers and Associates such as Contractors, Sub-contractors and Consultants shall sign and submit a Conflict-of-Interest Affidavit. (Affidavit form attached as part in parcel to this Agreement).

Augusta may, from time to time, request changes to the scope of this Agreement and obligations to be performed hereunder by VIA. In such instances, VIA shall consult with HCD/Augusta on any changes that will result in substantive changes to this Agreement. All such changes shall be made via written amendments to this Agreement and shall be approved by the governing bodies of both Augusta and VIA.

Statutes, regulations, guidelines and forms referenced throughout this Agreement are listed in Appendix A and are attached and included as part in parcel to this Agreement.

#### ARTICLE VI. OTHER REQUIREMENTS

- A. VIA agrees that it will conduct and administer activities in conformity with Pub. L. 88-352, "Title VI of the Civil Rights Act of 1964", and with Pub. L. 90-284 "Fair Housing Act" and that it will affirmatively further fair housing. One suggested activity is to use the fair housing symbol and language in VIA publications and/or advertisements. (24 CFR 570.601).
- B. VIA agrees that the ownership in the housing assisted units must meet the definition of "homeownership" in §92.2.
- C. VIA agrees to comply with 24 CFR Part I, which provides that no person shall be excluded from participation in this project on the grounds of race, color, national origin, or sex; or be subject to discrimination under any program or activity funded in whole or in part with federal funds made available pursuant to the Act.
- D. No person employed in the work covered by this contract shall be discharged or in any way discriminated against because he or she has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable hereunder to his or her employer. (24 CFR 570.603)
- E. VIA agrees that in accordance with the National Environmental Policy Act of 1969 and 24 CFR Part 58, it will cooperate with Augusta/HCD in complying with the Act and regulations, and that no activities will be undertaken until notified by Augusta/HCD that the activity is in compliance with the Act and regulations. Prior to beginning any project development activity, an environmental review must be conducted by HCD pursuant to (24 CFR 570.604).
- F. Consistent with the Flood Disaster Protection Act of 1973 (42 USC 4001-4128), VIA agrees that funds shall not be expended for acquisition or construction in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards (representing the 100-year floodplain). Exceptions will be made if the community is participating in the National Flood Insurance Program or less than a year has passed since FEMA notification and flood insurance has been obtained in accordance with section 102(a) of the Flood Disaster Protection Act of 1973.
- G. VIA agrees to take all reasonable steps to minimize displacement of persons as a result of assisted activities. Any such activities will be conducted in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA) and the Housing and Community Development Act of 1974 (24 CFR 570.606).
- H. VIA agrees to comply with Executive Order 11246 and 12086 and the regulations issued pursuant thereto (41 CFR 60) which provides that no person shall be discriminated against on the basis of race, color, religion, sex, or national origin. VIA will in all solicitations or advertisements for employees placed state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin or familial status.

- I. VIA will not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or familial status. VIA will take appropriate action to ensure that applicants are employed, and that employees are treated fairly during employment, without regard to their race, color, religion, sex, national origin, or familial status. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or advertising; lay-off or termination, rates of pay or other forms of compensation; and selection for training, including apprenticeship. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by Augusta setting forth the provisions of this nondiscrimination clause.
- J. In accordance with Section 570.608 of the CDBG Regulations, VIA agrees to comply with the Lead Based Paint Poisoning Prevention Act pursuant to prohibition against the use of leadbased paint in residential structures and to comply with 24 CFR 570.608 and 24 CFR 35 with regard to notification of the hazards of lead-based paint poisoning and the elimination of leadbased paint hazards.
- K. VIA agrees to comply with 24 CFR 570.609 with regards to the direct or indirect use of any contractor during any period of debarment, suspension, or placement in ineligibility status. No contract will be executed until such time that the debarred, suspended, or ineligible contractor has been approved and reinstated by HCD.
- L. In accordance with 24 CFR part 24, subpart F, VIA agrees to administer a policy to provide a drug-free workplace that is free from illegal use, possession or distribution of drugs or alcohol by its beneficiaries as required by the Drug Free Workplace Act of 1988.
- M. Any publicity generated by VIA for the project funded pursuant to this Agreement, during the term of this Agreement or for one year thereafter, will make reference to the contribution of HCD in making the project possible. The words "Augusta, Georgia Department of Housing and Community Development" will be explicitly stated in any and all pieces of publicity; including but not limited to flyers, press releases, posters, brochures, public service announcements, interviews, and newspaper articles.
- N. VIA shall comply with all applicable laws, ordinances and codes of the federal, state, and local governments and shall commit no trespass on any public or private property in performing any of the work embraced by this contract. VIA agrees to obtain all necessary permits for intended improvements or activities.
- O. VIA shall not assign any interest in this contract or transfer any interest in the same without the prior written approval of Augusta.
- P. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by HCD, setting forth the provisions of this nondiscrimination clause. Except as prohibited by law or the March 14, 2007, Court Order in the case Thompson Wrecking, Inc. v. Augusta, Georgia, Civil Action No. 1:07-CV-019 (S.D. GA 2007). ANY LANGUAGE THAT VIOLATES THIS COURT ORDER IS VOIDABLE BY THE AUGUSTA GOVERNMENT. VIA agrees to comply with any federally mandated requirements as to minority and women owned business enterprises.
- Q. All contractors and subcontractors entering into contracts with Augusta, Georgia for the physical performance of services shall be required to execute an Affidavit verifying its compliance with O.C.G.A § 13-10-91, stating affirmatively that the individual, firm, or

corporation which is contracting with Augusta, Georgia has registered with and is participating in a federal work authorization program. All contractors and subcontractors must provide their E-Verify number and must be in compliance with the electronic verification of work authorized programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603, in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91 and shall continue to use the federal authorization program throughout the contract term. All contractors shall further agree that, should it employ or contract with any subcontractor in connection with the physical performance of services pursuant to its contract with Augusta, Georgia, the contractor will secure from such subcontractors each subcontractor's E-Verify number as evidence of verification of compliance with O.C.G.A §13-10-91 on the subcontractor affidavit provided in Rule 300-10-01-.08 or a substantially similar form. All contractors shall further agree to maintain records of such compliance and provide a copy of each such verification to HCD at the time the subcontractors are retained to perform such physical services.

- **R.** VIA agrees that low-and-moderate income persons reside within Augusta-Richmond County and that contract for work in connection with the project be awarded to eligible businesses which are located in or owned in substantial part by persons residing in Richmond County. (24 CFR 570.697) **Utilization of contractors and/or subcontractors outside of the Augusta, Georgia-Richmond County area is not desirable.**
- S. VIA agrees to comply with the prohibitions against discrimination on the basis of age under the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) and implementing regulations at 24 CFR part 146 and the prohibitions against otherwise qualified individuals with handicaps under section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at 24 CFR part 8. For purposes of the emergency shelter grants program, the term dwelling units in 24 CFR Part 8 shall include sleeping accommodations.
- T. VIA will not discriminate against any employee or applicant for employment on the basis of religion and will not give preference of persons on the basis of religion. VIA will not discriminate against any person applying for shelter on the basis of religion. VIA will provide no religious instruction or counseling, conduct no religious worship or services, engage in no religious proselytizing, and exert no religious influence in the provision of shelter and other eligible activities funded by this grant.
- U. Indirect costs will only be paid if VIA has indirect cost allocation plan approved by the Augusta Housing and Community Development prior to the execution of this Contract.
- V. HCD shall not approve any travel or travel related expenses to VIA with funds provided under this.

## W. Construction Requirements

In the absence of local codes, properties must meet the HUD Section 8 Housing Quality Standards [HQS]. All housing assisted under this Agreement is "new construction" by definition and therefore must meet the local building codes for new housing in Augusta, Georgia, as applicable.

VIA is required by state and local laws, to dispose of all site debris, trash, and rubble from the project be transported to and disposed of at the Augusta, Georgia Solid Waste Landfill in accordance with local and state regulations. The contractor shall provide evidence of proper disposal of, the name and location of the disposal facility, date of disposal and all related fees. Augusta, Georgia may, at reasonable times, inspect the part of the plant, place of business, or work site of VIA or any subcontractor of VIA or subunit thereof which is pertinent to the performance of any contract awarded or to be awarded by Augusta Housing & Community Development Department.

## ARTICLE VII. SUSPENSION AND TERMINATION

- A. In the event VIA materially fails to comply with any terms of this Agreement, including the timely completion of activities as described in the timetable and/or contained in ARTICLE II.C, Augusta, Georgia may withhold cash payments until VIA cures any breach of the Agreement. If VIA fails to cure the breach, Augusta may suspend or terminate the current award of funds. VIA will not be eligible to receive any other funding.
- B. Damages sustained as a result of any breach of this Agreement. In addition, to any other remedies it may have at law or equity, HCD may withhold any payments to VIA for the purposes of offsetting the exact amount of damages once determined.
- C. In the best interest of the project and to better serve the people in the target areas and fulfill the purposes of the Laney Walker/ Bethlehem Revitalization project, either party may terminate this Agreement upon giving thirty (30) day notice in writing of its intent to terminate, stating its reasons for doing so. In the event Augusta terminates this Agreement, Augusta shall pay VIA for documented committed eligible costs incurred prior to the date of notice of termination.
- D. Notwithstanding any termination or suspension of this Agreement, VIA shall not be relieved of any duties or obligations imposed on it under this Agreement with respect to HCD funds previously disbursed or income derived therefrom.
- E. To the extent that it does not alter the scope of this Agreement, Augusta, GA may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this contract.

## ARTICLE VIII. NOTICES

Whenever either party desires to give notice unto the other, such notice must be in writing, sent by certified United States mail, return receipt requested, addressed to the party for whom it is intended, at the place last specified, and the place for giving of notice shall remain such until it shall have been changed by written notice.

Augusta will receive all notices at the address indicated below:

Office of the Administrator ATTN: Takiyah A. Douse, Interim Administrator Municipal Building 535 Telfair Street, Suite 910 Augusta, Georgia 30901 With copies to:
Augusta Housing and Community Development Department
ATTN: Hawthorne Welcher, Jr., Director
510 Fenwick Street
Augusta, Georgia 30901

Vetted Investments & Acquisitions, LLC. will receive all notices at the address indicated below:

Vetted Investments & Acquisitions ATTN: Jeremy Johnson 2333 Woodsman Drive Augusta, GA. 30906

With copies to: Capitalrise, LLC 2924 Aylesbury Drive Augusta, GA. 30909

## ARTICLE IX. INDEMNIFICATION

VIA will at all times hereafter indemnify and hold harmless Augusta, its officers, agents, and employees, against any and all claims, losses, liabilities, or expenditures of any kind, including court costs, attorney fees and expenses, accruing or resulting from any or all suits or damages of any kind resulting from injuries or damages sustained by any person or persons, corporation, or property, by virtue of the performance of this Agreement. By execution of this Agreement, VIA specifically consents to jurisdiction and venue in the Superior Court of Richmond County, Georgia and waives any right to contest jurisdiction or venue in said Court.

Should it become necessary to determine the meaning or otherwise interpret any work, phrase, or provision of this Agreement, or should the terms of this Agreement in any way be the subject of litigation in any court of laws or equity. It is agreed that the laws of the State of Georgia shall exclusively control the same.

The parties hereto do agree to bind themselves, their heirs, executors, administrators, trustees, successors, and assigns, all jointly and severally under the terms of this Agreement.

## ARTICLE X. PRIOR AND FUTURE AGREEMENTS

This Document incorporates and includes all prior negotiations, correspondence, conversations, agreements, or understandings applicable to the matters contained herein and the parties agree that there are no commitments, agreements, or understandings concerning the subject matter of this Agreement that are not contained in this document. Accordingly, it is agreed that no deviation from the terms hereof shall be predicated upon any prior representations or agreements whether oral or written. HCD is not obligated to provide funding of any kind to VIA beyond the term of this Agreement.

VIA warrants that no person or selling agency has been employed or retained to solicit or secure this Agreement upon an agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by VIA for the purpose of securing business and that VIA has not received any non-Augusta fee related to this Agreement without the prior written consent of HCD. For breach or violation of this warranty, HCD shall have the right to annul this Agreement without liability or at its discretion to deduct from the Agreement prices of consideration the full amount of such commission, percentage, brokerage, or contingent fee.

## ARTICLE XI. LEGAL PROVISIONS DEEMED INCLUDED

Each and every provision of any law or regulations and clause required by law or regulation to be inserted in this Agreement shall be deemed to be inserted herein and this Agreement shall be read and enforced as though it were included herein and if, through mistake or otherwise, any such provision is not inserted or is not correctly inserted, then upon application of either party this Agreement shall forthwith be amended to make such insertion.

## ARTICLE XII. DISCLAIMER

Any and all language in this Agreement pertaining to HUD regulations and/or the utilizations of HOME funding is deemed voidable when utilizing Laney Walker Bond funds in its entirety. However, if there are any federal funds utilized by this project, including Homebuyer Subsidy funds, this Agreement will be enforceable in its entirety.

## ARTICLE XIII. COUNTERPARTS

This Agreement is executed in two (2) counterparts— each of which shall be deemed an original and together shall constitute one and the same Agreement with one counterpart being delivered to each party hereto.

## ARTICLE XIV. INSURANCE

The DEVELOPER/CONTRACTOR shall provide, at all times that this Agreement is in effect, Insurance with limits of not less than:

- A. Workmen's Compensation Insurance in accordance with the laws of the State of Georgia.
- B. Public Liability Insurance in an amount of not less than One Million (\$1,000,000) Dollars for injuries, including those resulting in death to any one person, and in an amount of not less than One Million (\$1,000,000) Dollars on account of any one occurrence.
- C. Property Damage Insurance in an amount of not less than One Million (\$1,000,000) Dollars from damages on account of an occurrence, with an aggregate limit of One Million (\$1,000,000) Dollars.
- D. Valuable Papers Insurance in an amount sufficient to assure the restoration of any plans, drawings, field notes, or other similar data relating to the work covered by the Project.
- E. Professional Liability Insurance in an amount of not less than One Million (\$1,000,000) Dollars or an amount that correlates to the aggregate fee on the project should it exceed \$1,000,000.

Approved as to Form by (please initial here):	
Augusta, GA Law Department	By:
Date:	By: Garnett L. Johnson, as its Mayor  Date:
By: Takiyah A. Douse, as its Interim Administrator	By: Hawthorne Welcher, Jr., as its Director
<b>Takiyah A. Douse,</b> as its Interim Administrator	Hawthorne Welcher, Jr., as its Director
Date:	Date:
	Affix Seal Here:
Dv	
By: Lena Bonner, as its Clerk of Commission	
ATTEST: VIA	
By:	

# APPENDIX 1 Architectural Plans/Designs

## <u>APPENDIX 2</u> <u>American Institute of Architects (AIA) Form - Sample</u>

# APPENDIX 3 Statutes: (Available on Request)

OMB Circular A-110 - Uniform Administrative Requirements for Grants and Agreement with Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations

OMB Circular A- 122 - Cost Principles for Non-Profit Organizations

OMB Circular A-133 - Audits of Institutions of Higher Education & other Non-Profit Institutions

40 USC 276 Davis-Bacon Act

40 USC 327 Contract Work Hours and Safety Standard Act

Uniform Relocation Assistance and Real Property Acquisition Policies Act

Lead Based Paint Poisoning Prevention Act

24 CFR 35 – HUD Requirements for Notification, Evaluation and Reduction of Lead-Based Paint Hazards in Housing Receiving Federal Assistance and Federally-Owned Residential Property being sold, Final Rule

Augusta, Georgia- Richmond County Procurement Policy

Conflict of Interest Affidavit

# APPENDIX 4 CONSTRUCTION REQUIREMENTS

- 1. All construction projects shall comply with Federal, State, and local codes and ordinances, including, but not limited to, the following:
  - A. All work shall be in compliance with the International Building Code current edition of National Electric Code, International Plumbing and Mechanical Code, and ADA 2010 Guidelines.
  - B. Georgia Energy Code International Energy Conservation Code (IECC-2015).
  - C. Williams-Steiger Occupational Safety and Health Act of 1970, Public Law 91-596.
  - D. Part 1910 Occupational Safety and Health Standards, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 202, October 18, 1972).
  - E. Part 1926 Safety and Health Regulations for Construction, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 243, December 16, 1972.
  - F. Section 106 of the National Historic Preservation Act (16 U.S.C. 470f').
- 2. Project Review. All plans, specifications, work write-ups, projected cost estimates, punch lists or other means of outlining work on a particular project will be submitted in writing to HCD for review and approval prior to bidding. HCD Construction and Rehabilitation Inspectors or HCD's agent will review these items for compliance with new construction and/or rehabilitation standards and materials use.
- 3. Rehabilitation Standards. All rehabilitation work will comply with the "Uniform Physical Condition Standards for HUD Housing." Workmanship and material standards will comply with the Antioch Ministries, Inc. -Richmond County Housing & Community Development Department Contractors Manual and Performance Standards. A copy of this manual is provided to every contractor when included on the HCD Approved Contractors List. A copy is enclosed for inclusion.
- 4. Inspections. All projects will be inspected and approved by an HCD Construction and Rehabilitation Inspector or HCD's agent prior to release of the funds for that project.

# APPENDIX 5 CONTRACTOR ACKNOWLEDGEMENT

Capitalrise, LLC acknowledges that this contract and any changes to it by amendment, modification, change order or other similar document may have required or may require the legislative authorization of the Board of Commissioner and approval of the Mayor. Under Georgia law, Capitalrise, LLC is deemed to possess knowledge concerning HCD ability to assume contractual obligations and the consequences of Contractor's provision of goods or services to HCD under an unauthorized contract, amendment, modification, change order or other similar document, including the possibility that Capitalrise, LLC may be precluded from recovering payment for such unauthorized goods or services. Accordingly, Capitalrise, LLC agrees that if it provides goods or services to Augusta, Georgia under a contract that has not received proper legislative authorization or if Capitalrise, LLC provides goods or services to Augusta, Georgia in excess of the any contractually authorized goods or services, as required by Augusta, Georgia's Charter and Code, Augusta, Georgia may withhold payment for any unauthorized goods or services provided by Capitalrise, LLC. Capitalrise, LLC assumes all risk of non-payment for the provision of any unauthorized goods or services to Augusta, Georgia (Laney Walker/Bethlehem Revitalization Project), and it waives all claims to payment or to other remedies for the provision of any unauthorized goods or services to Augusta, Georgia, however characterized including, without limitation, all remedies at law or equity. This acknowledgement shall be a mandatory provision in all Augusta, Georgia contracts for goods and services, except revenue producing contracts.

Name

Capitalrise, LLC, Owner

## EXHIBIT A

## PROJECT SCHEDULE OF COMPLETION

VIA MUST PROVIDE A COMPLETED SCHEDULE OF COMPLETION AS EXHIBIT A- WITH APPROPRIATE PROJECT MILESTONES WITHIN 10 TO 15 DAYS AFTER SIGNING THIS AGREEMENT. THIS SCHEDULE MUST BE PROVIDED IN SUFFICIENT DETAIL TO PERMIT HCD TO MONITOR AND ASSESS PROGRESS IN CONNECTION WITH THE PERFORMANCE OF THIS AGREEMENT. A SAMPLE SCHEDULE IS PROVIDED.

## **EXHIBIT B**

## **WORK WRITE-UP**

## EXHIBIT C

## PROJECT DEVELOPMENT AND MANAGEMENT PROCEDURES

- 1. HCD must review and approve all new construction work, project specifications and total development cost for each residential development project before work is commenced and before funds can be released for payment reimbursement. Construction payments will be released to VIA in accordance with the attached drawdown schedule and budget.
- 2. HCD will provide the lot on which all new construction efforts will be performed under this Agreement and in connection with the project.
- 3. With HCD approval, VIA may use funds under this Agreement for the following purposes:
  - a. To support development costs as outlined in Item 6 below.
- 4. Completion delays, remedies, and penalties.
  - a. If the Contractor fails to complete the work within the time frame specified in the contract, plus any authorized delays, HCD may:
    - Terminate the contractor in accordance with the "Provisions for Augusta Housing and Community Development Department (HCD)" clause of this contract.
    - ii. Assess liquidated damages of Two Hundred Dollars (\$200) per working day from the schedule of completion to the date of final acceptance of the project. The total amount of liquidated damages will be deducted from the total contract price, plus any change order amounts.
  - b. The contractor shall not be charged with liquidated damages for any delays in the completion of the work due:
    - To any acts of the Federal, State, or City/County Government; including controls or restrictions upon or requisitioning of materials, equipment, tools or labor by reason of war, National Defense, or any other National, State, or City/County emergency.
    - ii. To any acts of the Owner that hinder the progress of the work;
    - iii. To cause not reasonable foreseeable by the parties in this contract at the time the execution of the contract which are beyond the control and without the fault or negligence of the Contractor; including but not restricted to acts of God; acts of the public enemy; acts of another contractor in the performance of some other contract with the owner; fires; floods; epidemics; quarantine restrictions; strikes; freight embargoes; and weather or unusual severity such as hurricanes, tornadoes, cyclones, and other extreme weather conditions; and
    - iv. To any delay of the subcontractor occasioned by any other causes specified in subparagraphs A and B above. Provided, however, that the contractor promptly (within 10 days) notifies HCD and VIA in writing of the cause of the delay. If the facts show the delay to be properly excusable under the terms of this contract, HCD shall extend the contract time by a period commensurate with the period of authorized delay to the completion of the work as whole; in the form of an amendment to this contract.
- 5. New Construction Costs and Requirements

- a. VIA will provide construction management for the project to ensure that construction work is being carried out in accordance with plans, specifications and the project budget.
- b. VIA must make sure contractors obtain and post all permits on job site.
- c. VIA must collect progress and final lien releases from the contractor, subcontractors, and material suppliers prior to making a payment to a contractor.
- d. HCD or its agent may continually inspect each house for contract compliance and to determine the percent of completion prior to processing a draw request and releasing payment. HCD may choose not to release payments if the work being performed is not of acceptable quality to HCD and if the house is not being built or rehabilitated in accordance with plans and specifications, or if the project is not on schedule.

## 6. Permanent Financing and Sales Prices

- a. The sales price of each home sold in accordance with this Agreement must be based on a formal appraisal. Unless otherwise agreed to by HCD, the sales price of each house shall not exceed the appraised value of the house.
- b. The purchasers of houses constructed must meet the Augusta, GA requirements.
- c. Buyers will be required to borrow no less than 80% of the sale prices of the house from a private lending institution unless otherwise agreed to by HCD.

## **CONTRACT**

## between

## **AUGUSTA, GEORGIA**

## And

## VETTED INVESTMENTS AND ACQUISITIONS, LLC

in the amount of \$152,455.36 USD

One Hundred Fifty-Two Thousand Four Hundred Fifty-Five Dollars and 36/100

for Fiscal Year **2021** Providing funding for

## LANEY WALKER/BETHLEHEM REVITALIZATION PROJECT

#### 1110 Cedar Street

THIS AGREEMENT ("Contract"), is made and entered into as of the \_\_\_ day of \_\_\_ 2022 ("the effective date") by and between Augusta, Georgia, a political subdivision of the State of Georgia (hereinafter referred to as "Augusta"), acting through the Housing and Community Development Department (hereinafter referred to as "HCD") - with principal offices at 510 Fenwick Street, Augusta, Georgia 30901, as party of the first part, and Vetted Investments & Acquisitions, LLC., a developer, organized pursuant to the Laws of the State of Georgia, hereinafter called "VIA" as party in the second part.

#### WITNESSETH

WHEREAS, Augusta is qualified by the U. S. Department of Housing and Urban Development (hereinafter called HUD) as a Participating Jurisdiction, and has received Laney Walker/Bethlehem Bond Financing for the purpose of providing and retaining affordable and market rate housing for eligible families; and

WHEREAS, VIA, a procured developer and contractor with HCD wishes to increase homeownership opportunities and preserve and increase the supply of affordable/market rate housing for eligible families; and

**WHEREAS**, Augusta wishes to enter into a contractual Agreement with VIA for the administration of eligible affordable and market rate housing development activities utilizing Laney Walker Bond Financing; and

**WHEREAS,** this activity has been determined to be an eligible activity in accordance with 24 CFR 92.504(c)(13) and will meet one or more of the national objectives and criteria outlined in Title 24 Code of Federal Regulations, Part 92 of the Housing and Urban Development regulations; and

WHEREAS, VIA has been selected and approved through a solicitation process for development partners to assist in the redevelopment of Laney Walker and Bethlehem communities; and

**WHEREAS**, VIA has agreed to provide services funded through this contract free from political activities, religious influences or requirements; and

WHEREAS, VIA has requested, and Augusta has approved a total of \$152,455.36 in funding to perform eligible activities as described in Article I; below:

**NOW, THEREFORE**, the parties of this Agreement for the consideration set forth below, do here and now agree to the following terms and conditions:

#### ARTICLE I. SCOPE OF SERVICES

## A. Scope of Services

Project Description: VIA agrees to utilize approved Laney Walker/Bethlehem Bond financing funds to support project related costs associated with the Laney Walker/Bethlehem Redevelopment Project. VIA agrees to match Laney Walker/Bethlehem Bond funds 50% of total construction cost in the form of reimbursement. Under this Agreement:

- **↓** VIA will perform new construction for one (1) single family detached home identified as property number **1110 Cedar Street.**
- **↓** VIA will perform all required construction management and project oversight; in accordance with all laws, ordinances, and regulations of Augusta.
- → VIA will perform all functions required to ensure delivery of a final product meeting all requirements as set forth by said Agreement to include:
  - Materials list to include brand name and/or model number of materials as specified or agreed to adjustments to specifications including but not limited to: appliances, windows, HVAC, fixtures and First Quality lumber. VIA is to provide a finish schedule with the specifications, brands and model numbers for all interior finishes 90 days from completion for agreement by HCD. Actual material invoices may be requested to verify charges.
- B. <u>Use of Funds</u>: Laney Walker/Bethlehem Bond funds shall be used by VIA for the purposes and objectives as stated in Article I, Scope of Services, of this Agreement. The use of funding for any other purpose(s) is not permitted. The following summarizes the proposed uses of funds under this Agreement based on **total material and labor cost of \$152,455.36**

## 1. Profit

An amount not to exceed percent (50%) of the construction cost as outlined and approved in Article I. Scope of Services, Section B. Use of Funds and on the Work Write-Up, shall be paid to VIA for costs identified as necessary operating time and expenses in addition to the profit accrued in the development of one single family detached home identified as **1110 Cedar Street.** The design and specifications of the property shall be approved by HCD prior to construction (see Appendix). HCD will have the latitude to pay O&P directly to the procured developer/contractor on a pay for performance basis or upon the sale of the single family detached home identified as **1110 Cedar Street.** 

## 2. <u>Developer's Fee Disbursements</u>

Developer's Fee shall be dispensed when construction is 100% completed and certificate of occupancy is received. Co-Developer's Fee is dispensed upon sale of the home and should not exceed sixteen percent (16%).

## C. Program Location and Specific Goals to be Achieved

VIA shall conduct project development activities and related services in its project area Laney Walker/Bethlehem that incorporates the following boundaries: Fifteenth Street, R.A. Dent, Wrightsboro Road, Twiggs Street, MLK Boulevard and Walton Way.

## **D.** Project Eligibility Determination

It has been determined that the use of Laney Walker/Bethlehem Bond Financing funds by VIA will be in compliance with legislation supporting community development in Laney Walker/Bethlehem as authorized under the Urban Redevelopment Authority which acts in behalf of the Augusta Commission to provide oversight of the operation of the Laney Walker/Bethlehem Redevelopment Project. Notwithstanding any other provisions of this contract, VIA shall provide activities and services as described in the description of the project, including use of funds, its goals and objectives, tasks to be performed and a detailed schedule for completing the tasks for this project as provided in Exhibit A of this contract.

## ARTICLE II. BUDGET AND METHOD OF PAYMENT

VIA will carry out and oversee the implementation of the project as set forth in this Agreement and agrees to perform the required services under the general coordination of HCD. In addition, and upon approval by Augusta, VIA may engage the services of outside professional services consultants and contractors to help carry out the program and projects.

- A. Augusta shall designate and make funds available in the following manner:
- 1. Augusta agrees to pay VIA, a maximum of \$152,455.36 under this Agreement for project expenses incurred as outlined in ARTICLE I, Scope of Services, subject to VIA's compliance with all terms and conditions of this Agreement and the procedures for documenting expenses and activities as set forth in said Agreement;
- 2. The method of payment for construction costs, including only materials and labor as outlined and approved on the Work Write-Up, not to exceed the aforementioned contracted amount of \$152,455.36 and shall be on a pay for performance basis provided VIA and HCD determine the progress is satisfactory. VIA shall utilize the AIA Form provided by HCD (see Appendix). For invoicing, VIA will include documentation showing proof of completion of work in accordance with the amount requested, inspected, and accepted by HCD, lien waivers for vendors and sub-contractors, as specified in the Work Write-Up found in Exhibit B & E.
- 3. When nearing 50%, the Developer, VIA, should be prepared to pay their 50%: \$76,227.28 as agreed to HCD for material and labor only.
- 4. HCD will monitor the progress of the project and VIA's performance on a weekly basis with regards to the production of housing units and the overall effectiveness of project.

- 5. Upon the completion of this Agreement, any unused or residual funds remaining shall revert to Augusta and shall be due and payable on such date of the termination and shall be paid no later than thirty (30) days thereafter. VIA and HCD shall share in the cost and proceeds of developing the residence at **1110 Cedar Street** as follows:
- 6. Funds may not be transferred from line item to line item in the project budget without the prior written approval of Augusta Housing and Community Development.
- 7. This Agreement is based upon the availability of funding under the Laney Walker/Bethlehem Revitalization Project. Should funds no longer be available, it is agreed to by both parties that this contract shall terminate and any VIA deemed satisfactorily progress made within the contracted construction only amount not to exceed fifty percent (50%) shall be paid to VIA.
- 8. HCD will retain ten percent (10%) of an amount within the one hundred percent (100%) of construction costs, including only materials and labor as outlined and approved on the Work Write-Up, after the Certificate of Occupancy has been issued until VIA and HCD determine that all HCD punch-list items have been satisfied.

## B. <u>Project Financing</u>

The Augusta Housing and Community Development will provide an amount not to exceed the actual construction costs including only materials and labor as outlined and approved on the Work Write-Up to be expended by VIA for construction costs related to the development of one single family detached home identified as **1110 Cedar Street**.

Additionally, HCD will provide 100% of all change orders (where applicable) as approved by HCD and VIA in writing.

All funding is being provided as payment for services rendered as per this Agreement.

## C. <u>Timetable for Completion of Project Activities</u>

VIA shall be permitted to commence with the expenditure of Laney Walker Bethlehem Bond Financing funds as outlined in said Agreement upon procurement of a construction contractor in accordance with its policies and procedures; and approval of a detailed outline of project expenditures anticipated for the completion of the development within 120 days of said home identified as **1110 Cedar Street**.

## Liquidated Damages

VIA agrees to pay as liquidated damages to HCD the sum of two hundred dollars (\$200.00) for each consecutive calendar day after the expiration of the Contract Time of Completion Time, except for authorized extensions of time by Augusta. This section is independent of any section within this Agreement concerning the default of VIA. The parties agree that these provisions for liquidated damages are not intended to operate as penalties for breach of Contract.

The liquidated damages set forth above are not intended to compensate Augusta for any damages other than inconvenience and loss of use or delay in services. The existence or recovery of such liquidated damages shall not preclude Augusta from recovering other damages in addition to the payments made hereunder which Augusta can document as being attributable to the documented failure of VIA. In addition to other costs that may be recouped, Augusta may include costs of personnel and assets used to coordinate, inspect, and re-inspect items within this Agreement as well as attorney fees if applicable.

## **Specified Excuses**

VIA is not responsible for delay in performance caused by hurricanes, tornados, floods, and other severe and unexpected acts of nature. In any such event, the contract price and schedule shall be equitably adjusted.

Temporary Suspension or Delay of Performance of Contract

To the extent that it does not alter the scope of this Agreement, Augusta may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this Agreement.

## D. Project Budget: Limitations

All costs associated with construction, O&P, construction management, and real estate expenses have been outlined in said Agreement as percentage-based costs related to the development of one single family detached home identified as 1110 Cedar Street as part of the Laney Walker/Bethlehem Revitalization Project. HCD will have the latitude to pay such costs directly to the procured construction contractor. VIA shall be paid a total consideration of no more than \$152,455.360 for full performance of the services specified under this Agreement. Any cost above this amount shall be the sole responsibility of HCD. It is also understood by both parties to this contract that the funding provided under this contract for this specific project shall be the only funds provided by Augusta unless otherwise agreed to by Augusta and VIA.

Augusta shall adhere to the budget as outlined in the Work Write-Up (Exhibit B) in the performance of this contract.

## ARTICLE III. TERM OF CONTRACT

The term of this Agreement shall commence on the date when this Agreement is executed by Augusta and VIA (whichever date is later) and shall end at the completion of all program activities, within the time specified in Article II.C, or in accordance with ARTICLE X: Suspension and Termination.

#### ARTICLE IV. DOCUMENTATION AND PAYMENT

- A. This is a pay-for-performance contract and in no event shall HCD provide advance funding to VIA, or any subcontractor hereunder.
- B. VIA shall not use these funds for any purpose other than the purpose set forth in this Agreement.
- C. Subject to VIA's compliance with the provisions of this Agreement, Augusta agrees to reimburse all budgeted costs allowable under federal, state, and local guidelines.

- D. All purchases of capital equipment, goods and services shall comply with the procurement procedures of OMB Circular A-110 "Uniform Administrative Requirements for Grant Agreements with Institutions of Higher Education, Hospitals and Other Non-Profit Organizations" as well as the procurement policy of Augusta.
- E. Requests by VIA for payment shall be accompanied by proper documentation and shall be submitted to HCD, transmitted by a cover memo, for approval no later than thirty (30) calendar days after the last date covered by the request. For purposes of this section, proper documentation includes: Updated Exhibit A- schedule (Gantt Chart), Updated Exhibit B- Work Write-Up, and AIA Form.
- F. VIA shall maintain an adequate financial system and internal fiscal controls.
- G. <u>Unexpended Funds</u>: Unexpended funds shall be retained by Augusta upon written request, Augusta may consider the reallocation of unexpended funds to eligible projects proposed by VIA.
- H. The terms of this Agreement supersede any and all provisions of the Georgia Prompt Pay Act.
- I. Upon the sale of the detached single-family home at **1110 Cedar Street**, HCD is to provide VIA with any outstanding payments on approved invoices and related costs received within ten (10) business days.

## ARTICLE V. ADMINISTRATIVE REQUIREMENTS

## **Conflict of Interest**

VIA agrees to comply with the conflict-of-interest provisions contained in 24 CFR 85.36, 570.611, OMB Circular A-110 and OMB Circular A-102 as appropriate.

This conflict-of-interest provision applies to any person who is an employee, agent, consultant, officer, or elected official or appointed official of VIA. No person described above who exercises, may exercise or has exercised any functions or responsibilities with respect to the activities supported under this contract; or who are in a position to participate in a decision-making process or gain inside information with regard to such activities, may obtain any financial interest or benefit from the activities, or have a financial interest in any contract, sub-contract, or agreement with respect to the contract activities, either for themselves or those with whom they have business or family ties, during their tenure or for one year thereafter. For the purpose of this provision, "family ties", as defined in the above cited volume and provisions of the Code of Federal Regulations, include those related as Spouse, Father, Mother, Father-in-law, Mother-in-law, Step-parent, Children, Step-children, Brother, Sister, Brother-in-law, Sister-in-law, Grandparent, Grandchildren of the individual holding any interest in the subject matter of this Agreement. VIA in the persons of Directors, Officers, Employees, Staff, Volunteers and Associates such as Contractors, Sub-contractors and Consultants shall sign and submit a Conflict-of-Interest Affidavit. (Affidavit form attached as part in parcel to this Agreement).

Augusta may, from time to time, request changes to the scope of this Agreement and obligations to be performed hereunder by VIA. In such instances, VIA shall consult with HCD/Augusta on any changes that will result in substantive changes to this Agreement. All such changes shall be made via written amendments to this Agreement and shall be approved by the governing bodies of both Augusta and VIA.

Statutes, regulations, guidelines and forms referenced throughout this Agreement are listed in Appendix A and are attached and included as part in parcel to this Agreement.

## ARTICLE VI. OTHER REQUIREMENTS

- A. VIA agrees that it will conduct and administer activities in conformity with Pub. L. 88-352, "Title VI of the Civil Rights Act of 1964", and with Pub. L. 90-284 "Fair Housing Act" and that it will affirmatively further fair housing. One suggested activity is to use the fair housing symbol and language in VIA publications and/or advertisements. (24 CFR 570.601).
- B. VIA agrees that the ownership in the housing assisted units must meet the definition of "homeownership" in §92.2.
- C. VIA agrees to comply with 24 CFR Part I, which provides that no person shall be excluded from participation in this project on the grounds of race, color, national origin, or sex; or be subject to discrimination under any program or activity funded in whole or in part with federal funds made available pursuant to the Act.
- D. No person employed in the work covered by this contract shall be discharged or in any way discriminated against because he or she has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable hereunder to his or her employer. (24 CFR 570.603)
- E. VIA agrees that in accordance with the National Environmental Policy Act of 1969 and 24 CFR Part 58, it will cooperate with Augusta/HCD in complying with the Act and regulations, and that no activities will be undertaken until notified by Augusta/HCD that the activity is in compliance with the Act and regulations. Prior to beginning any project development activity, an environmental review must be conducted by HCD pursuant to (24 CFR 570.604).
- F. Consistent with the Flood Disaster Protection Act of 1973 (42 USC 4001-4128), VIA agrees that funds shall not be expended for acquisition or construction in an area identified by the Federal Emergency Management Agency (FEMA) as having special flood hazards (representing the 100-year floodplain). Exceptions will be made if the community is participating in the National Flood Insurance Program or less than a year has passed since FEMA notification and flood insurance has been obtained in accordance with section 102(a) of the Flood Disaster Protection Act of 1973.
- G. VIA agrees to take all reasonable steps to minimize displacement of persons as a result of assisted activities. Any such activities will be conducted in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA) and the Housing and Community Development Act of 1974 (24 CFR 570.606).
- H. VIA agrees to comply with Executive Order 11246 and 12086 and the regulations issued pursuant thereto (41 CFR 60) which provides that no person shall be discriminated against on the basis of race, color, religion, sex, or national origin. VIA will in all solicitations or advertisements for employees placed state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, national origin or familial status.

- I. VIA will not discriminate against any employee or applicant for employment because of race, color, religion, sex, national origin, or familial status. VIA will take appropriate action to ensure that applicants are employed, and that employees are treated fairly during employment, without regard to their race, color, religion, sex, national origin, or familial status. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or advertising; lay-off or termination, rates of pay or other forms of compensation; and selection for training, including apprenticeship. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by Augusta setting forth the provisions of this nondiscrimination clause.
- J. In accordance with Section 570.608 of the CDBG Regulations, VIA agrees to comply with the Lead Based Paint Poisoning Prevention Act pursuant to prohibition against the use of leadbased paint in residential structures and to comply with 24 CFR 570.608 and 24 CFR 35 with regard to notification of the hazards of lead-based paint poisoning and the elimination of leadbased paint hazards.
- K. VIA agrees to comply with 24 CFR 570.609 with regards to the direct or indirect use of any contractor during any period of debarment, suspension, or placement in ineligibility status. No contract will be executed until such time that the debarred, suspended, or ineligible contractor has been approved and reinstated by HCD.
- L. In accordance with 24 CFR part 24, subpart F, VIA agrees to administer a policy to provide a drug-free workplace that is free from illegal use, possession or distribution of drugs or alcohol by its beneficiaries as required by the Drug Free Workplace Act of 1988.
- M. Any publicity generated by VIA for the project funded pursuant to this Agreement, during the term of this Agreement or for one year thereafter, will make reference to the contribution of HCD in making the project possible. The words "Augusta, Georgia Department of Housing and Community Development" will be explicitly stated in any and all pieces of publicity; including but not limited to flyers, press releases, posters, brochures, public service announcements, interviews, and newspaper articles.
- N. VIA shall comply with all applicable laws, ordinances and codes of the federal, state, and local governments and shall commit no trespass on any public or private property in performing any of the work embraced by this contract. VIA agrees to obtain all necessary permits for intended improvements or activities.
- O. VIA shall not assign any interest in this contract or transfer any interest in the same without the prior written approval of Augusta.
- P. VIA agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by HCD, setting forth the provisions of this nondiscrimination clause. Except as prohibited by law or the March 14, 2007, Court Order in the case Thompson Wrecking, Inc. v. Augusta, Georgia, Civil Action No. 1:07-CV-019 (S.D. GA 2007). ANY LANGUAGE THAT VIOLATES THIS COURT ORDER IS VOIDABLE BY THE AUGUSTA GOVERNMENT. VIA agrees to comply with any federally mandated requirements as to minority and women owned business enterprises.
- Q. All contractors and subcontractors entering into contracts with Augusta, Georgia for the physical performance of services shall be required to execute an Affidavit verifying its compliance with O.C.G.A § 13-10-91, stating affirmatively that the individual, firm, or

corporation which is contracting with Augusta, Georgia has registered with and is participating in a federal work authorization program. All contractors and subcontractors must provide their E-Verify number and must be in compliance with the electronic verification of work authorized programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603, in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91 and shall continue to use the federal authorization program throughout the contract term. All contractors shall further agree that, should it employ or contract with any subcontractor in connection with the physical performance of services pursuant to its contract with Augusta, Georgia, the contractor will secure from such subcontractors each subcontractor's E-Verify number as evidence of verification of compliance with O.C.G.A §13-10-91 on the subcontractor affidavit provided in Rule 300-10-01-.08 or a substantially similar form. All contractors shall further agree to maintain records of such compliance and provide a copy of each such verification to HCD at the time the subcontractors are retained to perform such physical services.

- **R.** VIA agrees that low-and-moderate income persons reside within Augusta-Richmond County and that contract for work in connection with the project be awarded to eligible businesses which are located in or owned in substantial part by persons residing in Richmond County. (24 CFR 570.697) **Utilization of contractors and/or subcontractors outside of the Augusta, Georgia-Richmond County area is not desirable.**
- S. VIA agrees to comply with the prohibitions against discrimination on the basis of age under the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) and implementing regulations at 24 CFR part 146 and the prohibitions against otherwise qualified individuals with handicaps under section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at 24 CFR part 8. For purposes of the emergency shelter grants program, the term dwelling units in 24 CFR Part 8 shall include sleeping accommodations.
- T. VIA will not discriminate against any employee or applicant for employment on the basis of religion and will not give preference of persons on the basis of religion. VIA will not discriminate against any person applying for shelter on the basis of religion. VIA will provide no religious instruction or counseling, conduct no religious worship or services, engage in no religious proselytizing, and exert no religious influence in the provision of shelter and other eligible activities funded by this grant.
- U. Indirect costs will only be paid if VIA has indirect cost allocation plan approved by the Augusta Housing and Community Development prior to the execution of this Contract.
- V. HCD shall not approve any travel or travel related expenses to VIA with funds provided under this.

## W. Construction Requirements

In the absence of local codes, properties must meet the HUD Section 8 Housing Quality Standards [HQS]. All housing assisted under this Agreement is "new construction" by definition and therefore must meet the local building codes for new housing in Augusta, Georgia, as applicable.

VIA is required by state and local laws, to dispose of all site debris, trash, and rubble from the project be transported to and disposed of at the Augusta, Georgia Solid Waste Landfill in accordance with local and state regulations. The contractor shall provide evidence of proper disposal of, the name and location of the disposal facility, date of disposal and all related fees. Augusta, Georgia may, at reasonable times, inspect the part of the plant, place of business, or work site of VIA or any subcontractor of VIA or subunit thereof which is pertinent to the performance of any contract awarded or to be awarded by Augusta Housing & Community Development Department.

## ARTICLE VII. SUSPENSION AND TERMINATION

- A. In the event VIA materially fails to comply with any terms of this Agreement, including the timely completion of activities as described in the timetable and/or contained in ARTICLE II.C, Augusta, Georgia may withhold cash payments until VIA cures any breach of the Agreement. If VIA fails to cure the breach, Augusta may suspend or terminate the current award of funds. VIA will not be eligible to receive any other funding.
- B. Damages sustained as a result of any breach of this Agreement. In addition, to any other remedies it may have at law or equity, HCD may withhold any payments to VIA for the purposes of offsetting the exact amount of damages once determined.
- C. In the best interest of the project and to better serve the people in the target areas and fulfill the purposes of the Laney Walker/ Bethlehem Revitalization project, either party may terminate this Agreement upon giving thirty (30) day notice in writing of its intent to terminate, stating its reasons for doing so. In the event Augusta terminates this Agreement, Augusta shall pay VIA for documented committed eligible costs incurred prior to the date of notice of termination.
- D. Notwithstanding any termination or suspension of this Agreement, VIA shall not be relieved of any duties or obligations imposed on it under this Agreement with respect to HCD funds previously disbursed or income derived therefrom.
- E. To the extent that it does not alter the scope of this Agreement, Augusta, GA may unilaterally order a temporary stopping of the work or delaying of the work to be performed by VIA under this contract.

## ARTICLE VIII. NOTICES

Whenever either party desires to give notice unto the other, such notice must be in writing, sent by certified United States mail, return receipt requested, addressed to the party for whom it is intended, at the place last specified, and the place for giving of notice shall remain such until it shall have been changed by written notice.

Augusta will receive all notices at the address indicated below:

Office of the Administrator ATTN: Takiyah A. Douse, Interim Administrator Municipal Building 535 Telfair Street, Suite 910 Augusta, Georgia 30901 With copies to:
Augusta Housing and Community Development Department
ATTN: Hawthorne Welcher, Jr., Director
510 Fenwick Street
Augusta, Georgia 30901

Vetted Investments & Acquisitions, LLC. will receive all notices at the address indicated below:

Vetted Investments & Acquisitions ATTN: Jeremy Johnson 2333 Woodsman Drive Augusta, GA. 30906

With copies to: Capitalrise, LLC 2924 Aylesbury Drive Augusta, GA. 30909

## ARTICLE IX. INDEMNIFICATION

VIA will at all times hereafter indemnify and hold harmless Augusta, its officers, agents, and employees, against any and all claims, losses, liabilities, or expenditures of any kind, including court costs, attorney fees and expenses, accruing or resulting from any or all suits or damages of any kind resulting from injuries or damages sustained by any person or persons, corporation, or property, by virtue of the performance of this Agreement. By execution of this Agreement, VIA specifically consents to jurisdiction and venue in the Superior Court of Richmond County, Georgia and waives any right to contest jurisdiction or venue in said Court.

Should it become necessary to determine the meaning or otherwise interpret any work, phrase, or provision of this Agreement, or should the terms of this Agreement in any way be the subject of litigation in any court of laws or equity. It is agreed that the laws of the State of Georgia shall exclusively control the same.

The parties hereto do agree to bind themselves, their heirs, executors, administrators, trustees, successors, and assigns, all jointly and severally under the terms of this Agreement.

## ARTICLE X. PRIOR AND FUTURE AGREEMENTS

This Document incorporates and includes all prior negotiations, correspondence, conversations, agreements, or understandings applicable to the matters contained herein and the parties agree that there are no commitments, agreements, or understandings concerning the subject matter of this Agreement that are not contained in this document. Accordingly, it is agreed that no deviation from the terms hereof shall be predicated upon any prior representations or agreements whether oral or written. HCD is not obligated to provide funding of any kind to VIA beyond the term of this Agreement.

VIA warrants that no person or selling agency has been employed or retained to solicit or secure this Agreement upon an agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by VIA for the purpose of securing business and that VIA has not received any non-Augusta fee related to this Agreement without the prior written consent of HCD. For breach or violation of this warranty, HCD shall have the right to annul this Agreement without liability or at its discretion to deduct from the Agreement prices of consideration the full amount of such commission, percentage, brokerage, or contingent fee.

## ARTICLE XI. LEGAL PROVISIONS DEEMED INCLUDED

Each and every provision of any law or regulations and clause required by law or regulation to be inserted in this Agreement shall be deemed to be inserted herein and this Agreement shall be read and enforced as though it were included herein and if, through mistake or otherwise, any such provision is not inserted or is not correctly inserted, then upon application of either party this Agreement shall forthwith be amended to make such insertion.

## ARTICLE XII. DISCLAIMER

Any and all language in this Agreement pertaining to HUD regulations and/or the utilizations of HOME funding is deemed voidable when utilizing Laney Walker Bond funds in its entirety. However, if there are any federal funds utilized by this project, including Homebuyer Subsidy funds, this Agreement will be enforceable in its entirety.

## ARTICLE XIII. COUNTERPARTS

This Agreement is executed in two (2) counterparts— each of which shall be deemed an original and together shall constitute one and the same Agreement with one counterpart being delivered to each party hereto.

## ARTICLE XIV. INSURANCE

The DEVELOPER/CONTRACTOR shall provide, at all times that this Agreement is in effect, Insurance with limits of not less than:

- A. Workmen's Compensation Insurance in accordance with the laws of the State of Georgia.
- B. Public Liability Insurance in an amount of not less than One Million (\$1,000,000) Dollars for injuries, including those resulting in death to any one person, and in an amount of not less than One Million (\$1,000,000) Dollars on account of any one occurrence.
- C. Property Damage Insurance in an amount of not less than One Million (\$1,000,000) Dollars from damages on account of an occurrence, with an aggregate limit of One Million (\$1,000,000) Dollars.
- D. Valuable Papers Insurance in an amount sufficient to assure the restoration of any plans, drawings, field notes, or other similar data relating to the work covered by the Project.
- E. Professional Liability Insurance in an amount of not less than One Million (\$1,000,000) Dollars or an amount that correlates to the aggregate fee on the project should it exceed \$1,000,000.

approved as to Form by (please initial here): augusta, GA Law Department	By
	By: Garnett L. Johnson, as its Mayor
Date:	Date:
y: <b>Takiyah A. Douse,</b> as its Interim Administrator	By:
<b>Takiyah A. Douse,</b> as its Interim Administrator	<b>Hawthorne Welcher, Jr.</b> , as its Director
Date:	Date:
	Affix Seal Here:
By:	
By: Lena Bonner, as its Clerk of Commission	
TTEST: VIA	
By: Jeremy Johnson, VIA	
Jeremy Johnson, VIA	

# APPENDIX 1 Architectural Plans/Designs

## <u>APPENDIX 2</u> <u>American Institute of Architects (AIA) Form - Sample</u>

# APPENDIX 3 Statutes: (Available on Request)

OMB Circular A-110 - Uniform Administrative Requirements for Grants and Agreement with Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations

OMB Circular A- 122 - Cost Principles for Non-Profit Organizations

OMB Circular A-133 - Audits of Institutions of Higher Education & other Non-Profit Institutions

40 USC 276 Davis-Bacon Act

40 USC 327 Contract Work Hours and Safety Standard Act

Uniform Relocation Assistance and Real Property Acquisition Policies Act

Lead Based Paint Poisoning Prevention Act

24 CFR 35 – HUD Requirements for Notification, Evaluation and Reduction of Lead-Based Paint Hazards in Housing Receiving Federal Assistance and Federally-Owned Residential Property being sold, Final Rule

Augusta, Georgia- Richmond County Procurement Policy

Conflict of Interest Affidavit

# APPENDIX 4 CONSTRUCTION REQUIREMENTS

- 1. All construction projects shall comply with Federal, State, and local codes and ordinances, including, but not limited to, the following:
  - A. All work shall be in compliance with the International Building Code current edition of National Electric Code, International Plumbing and Mechanical Code, and ADA 2010 Guidelines.
  - B. Georgia Energy Code International Energy Conservation Code (IECC-2015).
  - C. Williams-Steiger Occupational Safety and Health Act of 1970, Public Law 91-596.
  - D. Part 1910 Occupational Safety and Health Standards, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 202, October 18, 1972).
  - E. Part 1926 Safety and Health Regulations for Construction, Chapter XVII of Title 29, Code of Federal Regulations (Federal Register, Volume 37, Number 243, December 16, 1972.
  - F. Section 106 of the National Historic Preservation Act (16 U.S.C. 470f').
- Project Review. All plans, specifications, work write-ups, projected cost estimates, punch lists or
  other means of outlining work on a particular project will be submitted in writing to HCD for
  review and approval prior to bidding. HCD Construction and Rehabilitation Inspectors or HCD's
  agent will review these items for compliance with new construction and/or rehabilitation
  standards and materials use.
- 3. Rehabilitation Standards. All rehabilitation work will comply with the "Uniform Physical Condition Standards for HUD Housing." Workmanship and material standards will comply with the Antioch Ministries, Inc. -Richmond County Housing & Community Development Department Contractors Manual and Performance Standards. A copy of this manual is provided to every contractor when included on the HCD Approved Contractors List. A copy is enclosed for inclusion.
- 4. Inspections. All projects will be inspected and approved by an HCD Construction and Rehabilitation Inspector or HCD's agent prior to release of the funds for that project.

## APPENDIX 5 CONTRACTOR ACKNOWLEDGEMENT

Capitalrise, LLC acknowledges that this contract and any changes to it by amendment, modification, change order or other similar document may have required or may require the legislative authorization of the Board of Commissioner and approval of the Mayor. Under Georgia law, Capitalrise, LLC is deemed to possess knowledge concerning HCD ability to assume contractual obligations and the consequences of Contractor's provision of goods or services to HCD under an unauthorized contract, amendment, modification, change order or other similar document, including the possibility that Capitalrise, LLC may be precluded from recovering payment for such unauthorized goods or services. Accordingly, Capitalrise, LLC agrees that if it provides goods or services to Augusta, Georgia under a contract that has not received proper legislative authorization or if Capitalrise, LLC provides goods or services to Augusta, Georgia in excess of the any contractually authorized goods or services, as required by Augusta, Georgia's Charter and Code, Augusta, Georgia may withhold payment for any unauthorized goods or services provided by Capitalrise, LLC. Capitalrise, LLC assumes all risk of non-payment for the provision of any unauthorized goods or services to Augusta, Georgia (Laney Walker/Bethlehem Revitalization Project), and it waives all claims to payment or to other remedies for the provision of any unauthorized goods or services to Augusta, Georgia, however characterized including, without limitation, all remedies at law or equity. This acknowledgement shall be a mandatory provision in all Augusta, Georgia contracts for goods and services, except revenue producing contracts.

Name

Capitalrise, LLC, Owner

## EXHIBIT A

## PROJECT SCHEDULE OF COMPLETION

VIA MUST PROVIDE A COMPLETED SCHEDULE OF COMPLETION AS EXHIBIT A- WITH APPROPRIATE PROJECT MILESTONES WITHIN 10 TO 15 DAYS AFTER SIGNING THIS AGREEMENT. THIS SCHEDULE MUST BE PROVIDED IN SUFFICIENT DETAIL TO PERMIT HCD TO MONITOR AND ASSESS PROGRESS IN CONNECTION WITH THE PERFORMANCE OF THIS AGREEMENT. A SAMPLE SCHEDULE IS PROVIDED.

## **EXHIBIT B**

## **WORK WRITE-UP**

## EXHIBIT C

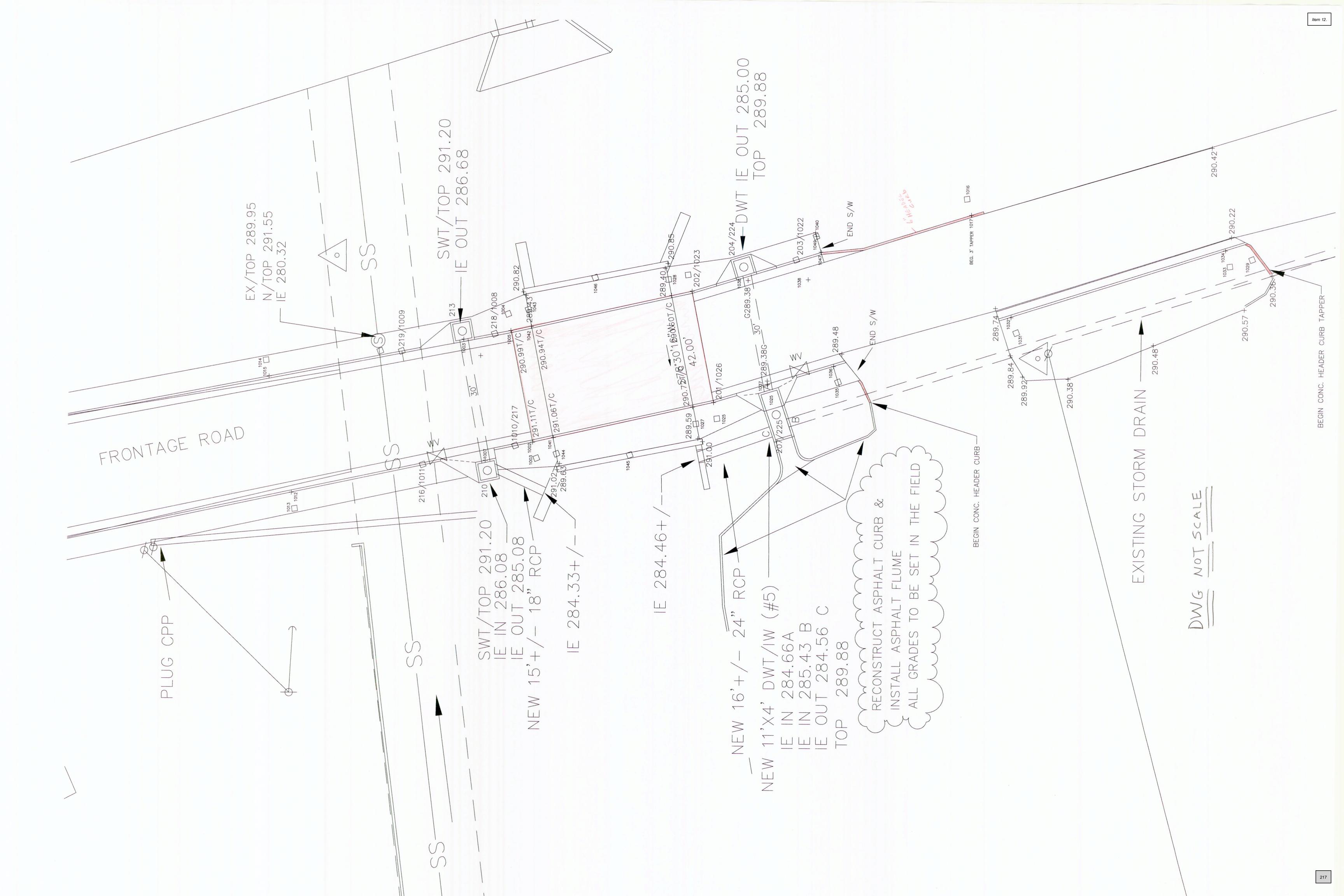
## PROJECT DEVELOPMENT AND MANAGEMENT PROCEDURES

- 1. HCD must review and approve all new construction work, project specifications and total development cost for each residential development project before work is commenced and before funds can be released for payment reimbursement. Construction payments will be released to VIA in accordance with the attached drawdown schedule and budget.
- 2. HCD will provide the lot on which all new construction efforts will be performed under this Agreement and in connection with the project.
- 3. With HCD approval, VIA may use funds under this Agreement for the following purposes:
  - a. To support development costs as outlined in Item 6 below.
- 4. Completion delays, remedies, and penalties.
  - a. If the Contractor fails to complete the work within the time frame specified in the contract, plus any authorized delays, HCD may:
    - Terminate the contractor in accordance with the "Provisions for Augusta Housing and Community Development Department (HCD)" clause of this contract.
    - ii. Assess liquidated damages of Two Hundred Dollars (\$200) per working day from the schedule of completion to the date of final acceptance of the project. The total amount of liquidated damages will be deducted from the total contract price, plus any change order amounts.
  - b. The contractor shall not be charged with liquidated damages for any delays in the completion of the work due:
    - To any acts of the Federal, State, or City/County Government; including controls or restrictions upon or requisitioning of materials, equipment, tools or labor by reason of war, National Defense, or any other National, State, or City/County emergency.
    - ii. To any acts of the Owner that hinder the progress of the work;
    - iii. To cause not reasonable foreseeable by the parties in this contract at the time the execution of the contract which are beyond the control and without the fault or negligence of the Contractor; including but not restricted to acts of God; acts of the public enemy; acts of another contractor in the performance of some other contract with the owner; fires; floods; epidemics; quarantine restrictions; strikes; freight embargoes; and weather or unusual severity such as hurricanes, tornadoes, cyclones, and other extreme weather conditions; and
    - iv. To any delay of the subcontractor occasioned by any other causes specified in subparagraphs A and B above. Provided, however, that the contractor promptly (within 10 days) notifies HCD and VIA in writing of the cause of the delay. If the facts show the delay to be properly excusable under the terms of this contract, HCD shall extend the contract time by a period commensurate with the period of authorized delay to the completion of the work as whole; in the form of an amendment to this contract.
- 5. New Construction Costs and Requirements

- a. VIA will provide construction management for the project to ensure that construction work is being carried out in accordance with plans, specifications and the project budget.
- b. VIA must make sure contractors obtain and post all permits on job site.
- c. VIA must collect progress and final lien releases from the contractor, subcontractors, and material suppliers prior to making a payment to a contractor.
- d. HCD or its agent may continually inspect each house for contract compliance and to determine the percent of completion prior to processing a draw request and releasing payment. HCD may choose not to release payments if the work being performed is not of acceptable quality to HCD and if the house is not being built or rehabilitated in accordance with plans and specifications, or if the project is not on schedule.

## 6. Permanent Financing and Sales Prices

- a. The sales price of each home sold in accordance with this Agreement must be based on a formal appraisal. Unless otherwise agreed to by HCD, the sales price of each house shall not exceed the appraised value of the house.
- b. The purchasers of houses constructed must meet the Augusta, GA requirements.
- c. Buyers will be required to borrow no less than 80% of the sale prices of the house from a private lending institution unless otherwise agreed to by HCD.



# AUGUSTA HOUSING AND COMMUNITY DEVL.

# FOR

# Vetted Investment & Aquisitions, LLC

PO Box 8076

Fort Gordon, GA. 30905

Project Location: 1117 CEDAR ST. AUGUSTA, GA. 30901

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-LETTER FROMUTILITIES IN FILE
- VARIANCE IN FILE
- APPROVED SUBDIVISION IN FILE

## NOTICE These plans and construction are subject inspection by the Augusta Richmond Cour

Inspection Dept. before, during and at completion of construction. All Inspectic are based on ICC or IRC codes as adopti by the State of Georgia & Richmond Coun Any oversights on the part of the architec contractor, or plans examiner not detecte during preconstruction review of the prints will be subject to the above code and correction may be required.

> Augusta Richmond Coun Inspection Dept.

## SHEET INDEX Name **COVER SHEET** A-001

A-1	1. S-1 SITE PLAN	
A-102	A-101 FIRST FLOOR	
A-103	F-1 FOUNDATION PLAN	
A-201	SOUTH ELEVATION	

	A-202	NORTH	ELEVATION
<b>I</b>		<u> </u>	· ·

A-203	EAST ELEVATION

A-204	WEST ELEVATION
FS-1	NCS DOOR FTNISH SCHEDULE

## NOTE

FOUNDATION & SLAB SUB GRADE SHALL BE TERMITE TREATED & INSPECTED BEFORE SLAB POURED.

FOUNDATION ANCHOR BOLT SHALL BE 1/2"X 10" & SPACED 6' O.C. INSTALL ONE ANCHOR BOLT 12" OFF EACH CORNER.

SEE FOUNDATION PLAN FOR LOCATION OF 8" INCH THICKEN GRADE BEAMS.

FINISH ELEVATIONS SHALL PROVIDE A POSITIVE WATER FLOW AWAY FROM THE BUILDING ON ALL SIDE. PROTECT ADJACENT STREET & OTHER PROPERTY FROM SOIL EROSION. PROVIDE C POP SILK FENCING AS NEEDED TO PREVENT SOIL EROSION.

YARD GRASS SHALL BE ESTABLISH BEFORE FINAL INSPECTION IS ISSUE AND OR CERTIFICATE OF OCUPANCY.

DO NOT SCALE DRAWING; IF ANY CLARITY NEEDED CALL DESIGN BUILD CONTRACTOR LISTED ON THE PLANS.

ALL EXISTING UTILITIES SHALL BE LOCATED AND PROPERLY MARKED BEFORE ANY DIGGING ON SITE. (CALL 811 FOR ALL LOCATES.)

ALL CONSTRUCTION PHASES SHALL BE GOVERN BY THE LOCAL CODE THE INTERNATIONAL RESIDENTIAL BUILDING CODES, INTERNATINAL PLUMBING & MECHANICAL CODE, NATIONAL ELECTRICAL CODE, & ANY UPDATES THAT APPLY.

ALL SUBCONTRACTOR & TRADEMANS SHALL VERIFY ANY CONCERN OR ERRORS IN WRITING TO THE CONTRACTOR FOR CLARITY OR DICUSSION.

DESIGN BUILD CONTRACTOR SHALL BE HELD HARMLESS FOR ANY ERRORS OR OMISSIONS.

## PROJECT DATA:

## PROJECT INFORMATION: LEGAL DESCRIPTION:

DETACHED) (IBC310.1)

Fort Gordon, GA 30905

CONSTRUCTION TYPE: IIIA **PROJECT OCCUPANCY GROUP:** GROUP R (RESIDENTIAL SINGLE FAMILY

**PROJECT ADDRESS:** 1117 Cedar St, Augusta, GA 30901 Vetted Investments & Acquisitions, LLC PO Box 8076

## TYPE OF CONSTRUCTION: TYPE V WOOD FRAMING, NON-SPRINKLED **HEIGHT:** 1 STORY 15'-8" AREA: 1,280 SQUARE FEET/1 STORY/15'-8" (IBC 406.1.2)

IBC 2021 INTERNATIONAL BUILDING CODE IRC 2021 INTERNATIONAL RESIDENTIAL CODE

## **SQUARE FOOTAGE** FIRST FLOOR: 1,176 SQ. FT. TOTAL A/C: 1,176 SQ. FT. FRONT COV. PORCHED GARAGE: N/A TOTAL SQ. FT. LOT USAGE FOOTPRINT: 1,176 SQ. FT. TRACT A 059-2-185-00-0

TRACT B 059-2-184-00-0 TRACT C 059-2-183-00-0 TRACT D 059-2-182-00-0

NON ROOF AREA % OF LOT

## SHALL BE KEPT ON JOB SITE AND ACCESSIBLE FOR DURATION OF

Augusta Richmond County Inspection Dept

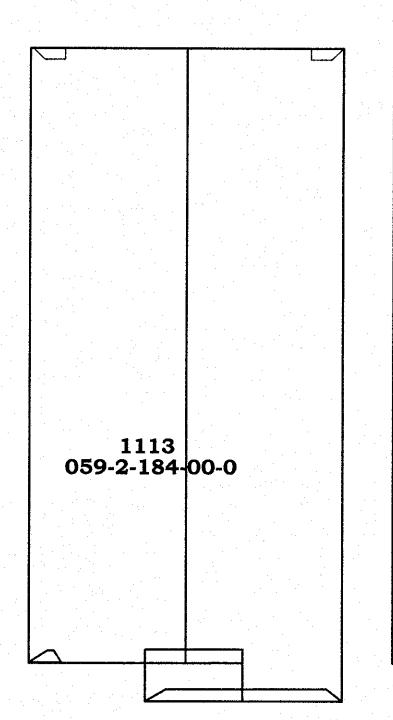
Minimum coening width. Minimum net clear

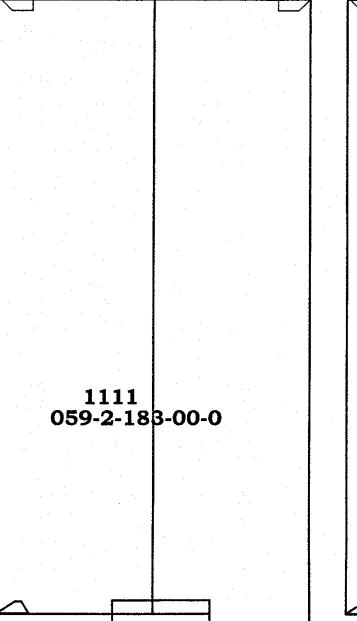
Operational constraints. Emergency escape and rescue openings shall be operational from the inside of the

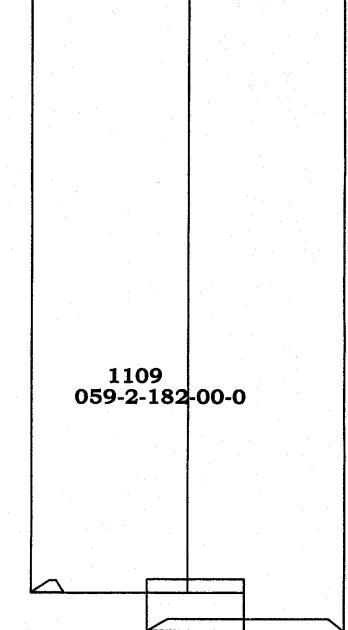
ANCHOR BOLTS PER CODE

Smoke and Carbon Monoxide Detectors shall meet the requirements of section R314 through R315 of the residential code and C. .. Amendments to this code section.

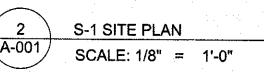
# 1117 059-2-185-00-0

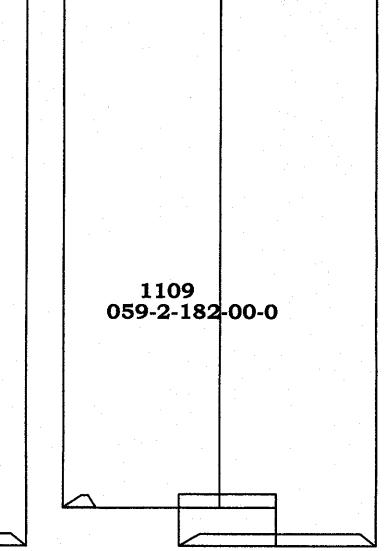






**CEDAR STREET** 





PROJECT NO. DRAWN BY CHK'D. BY

REVISED DATE

3/2/22 PRELIM. FL

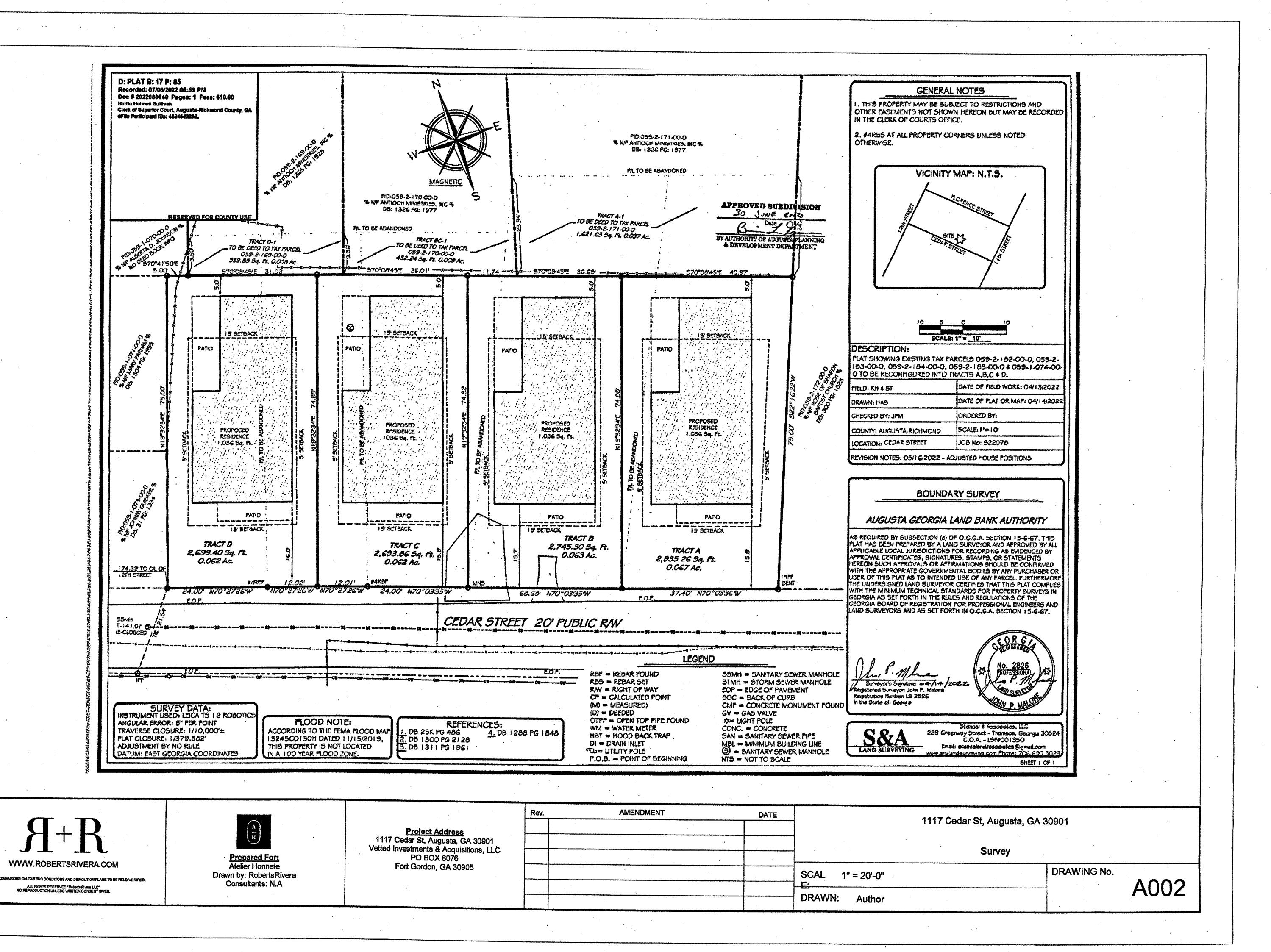
LLM

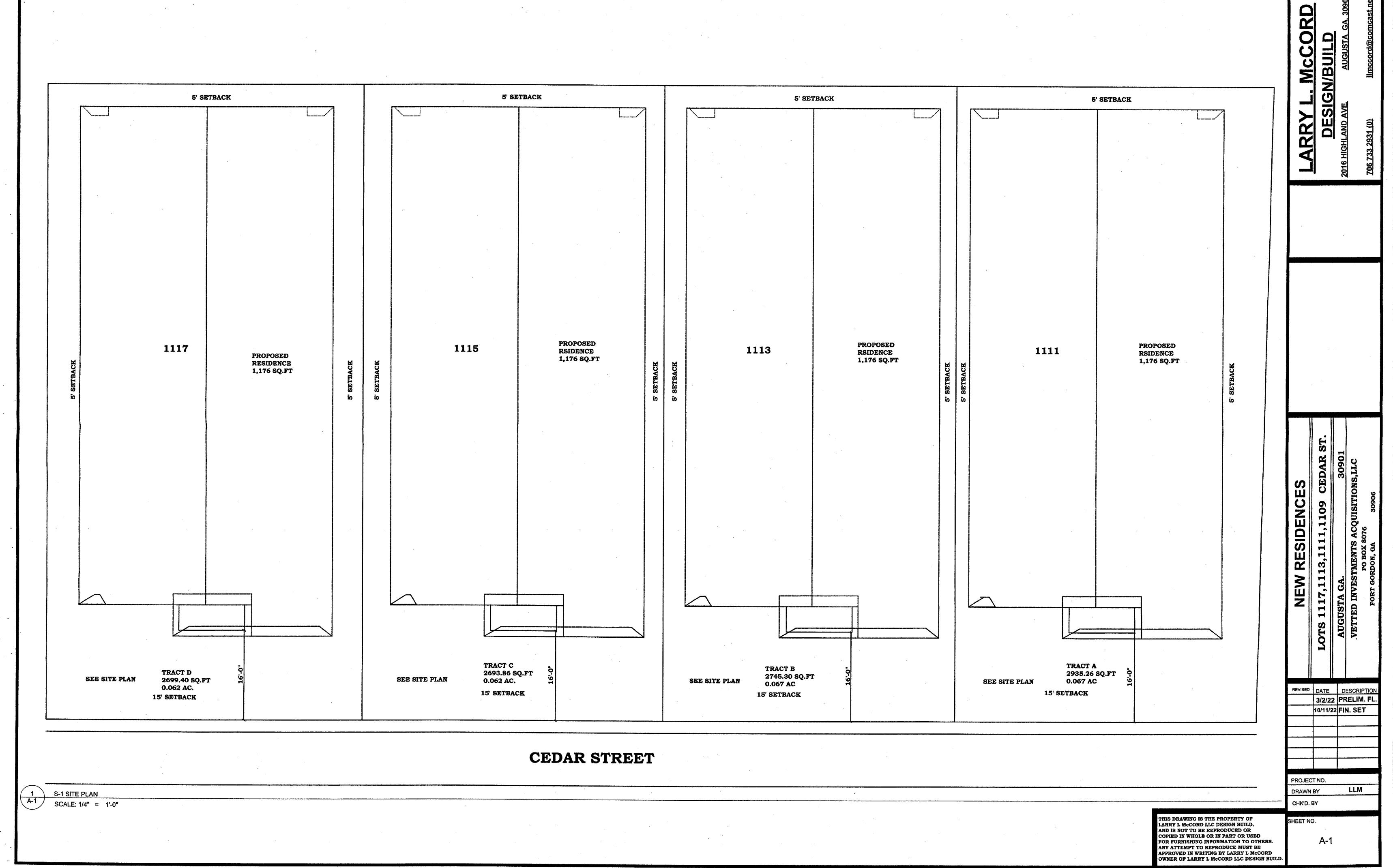
10/11/22 FIN. SET

SIDENCI

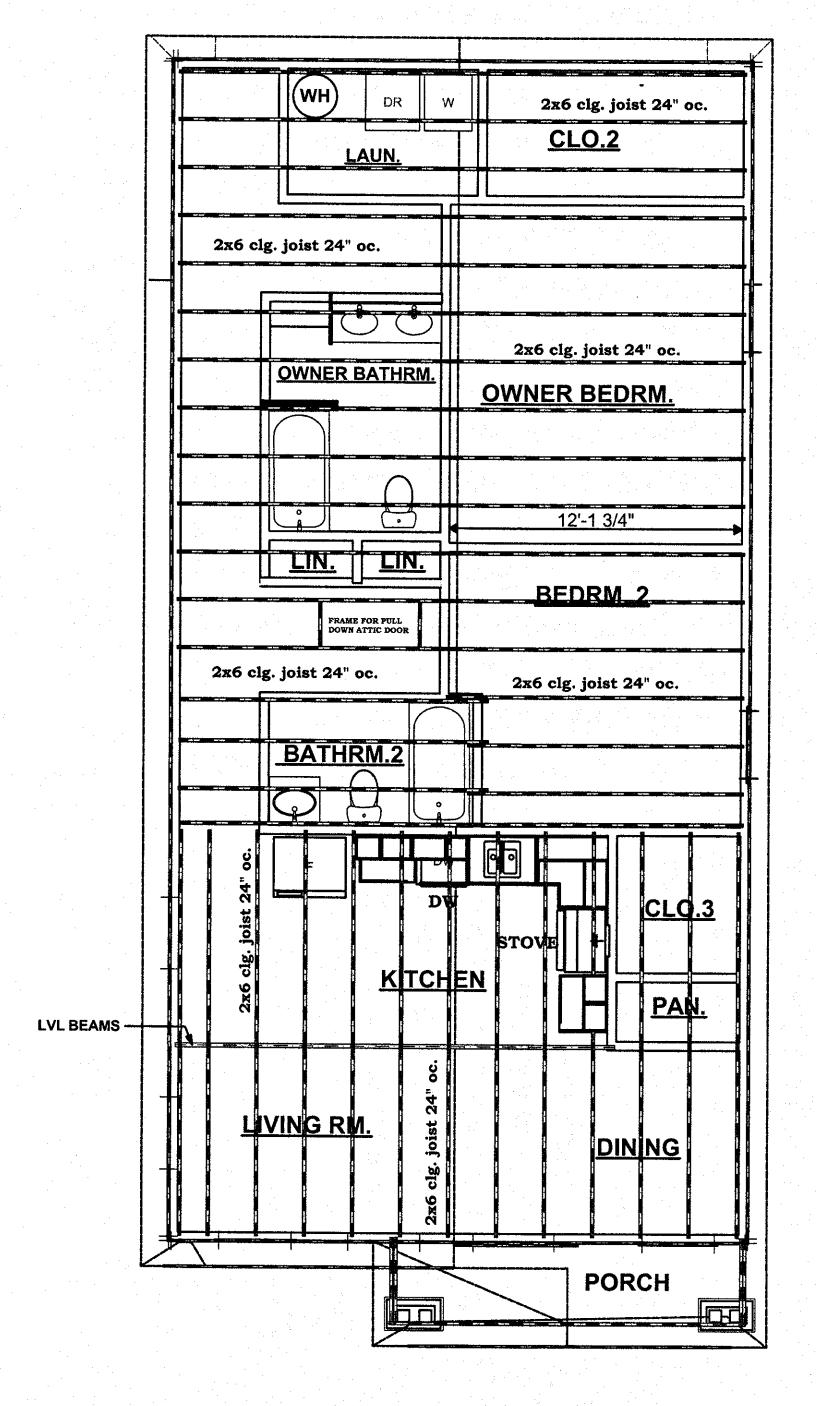
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SHEET NO. A-001

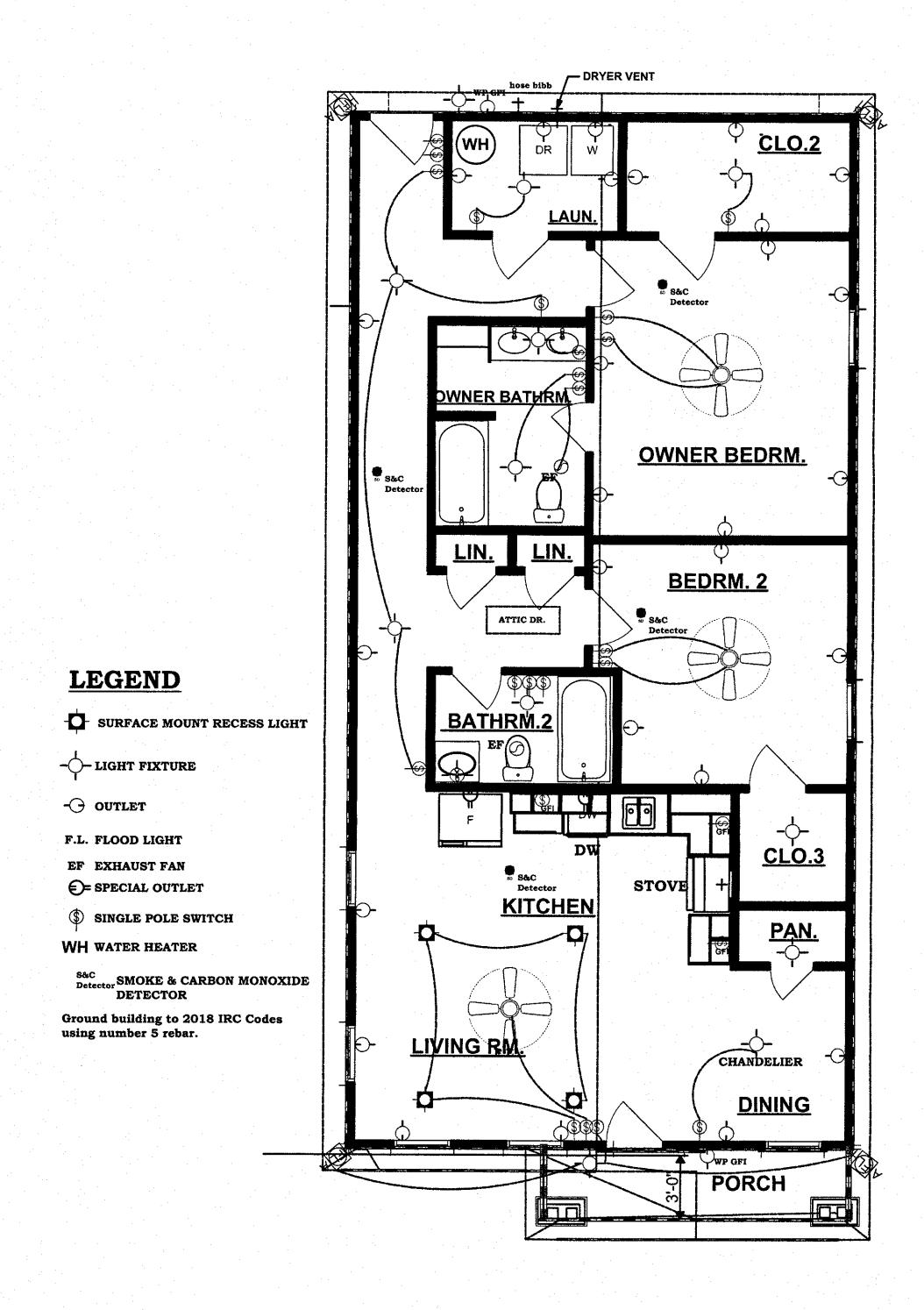




- 1. Provide light in attic near HVAC unit
- 2. Place R30 INSULATIONS IN ATTIC
- 3. Roof shall be 2x6 rafters 24"O.C.w/ 2x8 ridge bd. cover with 7/16" ply.wd.
- 3. Provide insulated pull down attic door.



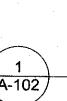
**CEILING JOIST PLAN** 



2 A-102

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR

SCALE: 1/4" = 1'-0"

<u>CLO.2</u>

OWNER BEDRM.

12'-1 3/4"

BEDRM. 2

STOVE

**DINING** 

14'-10"

**KITCHEN** 

12'-7 1/2"

OWNER BATHRM.

8'-2 1/2"

shlv.

LIVING RM.

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OWNER OF LARRY L McCORD LLC DESIGN BUILD

SHEET NO. A-102

PROJECT NO.

CHK'D. BY

REVISED DATE DESCRIPTION

3/2/22 PRELIM. FL

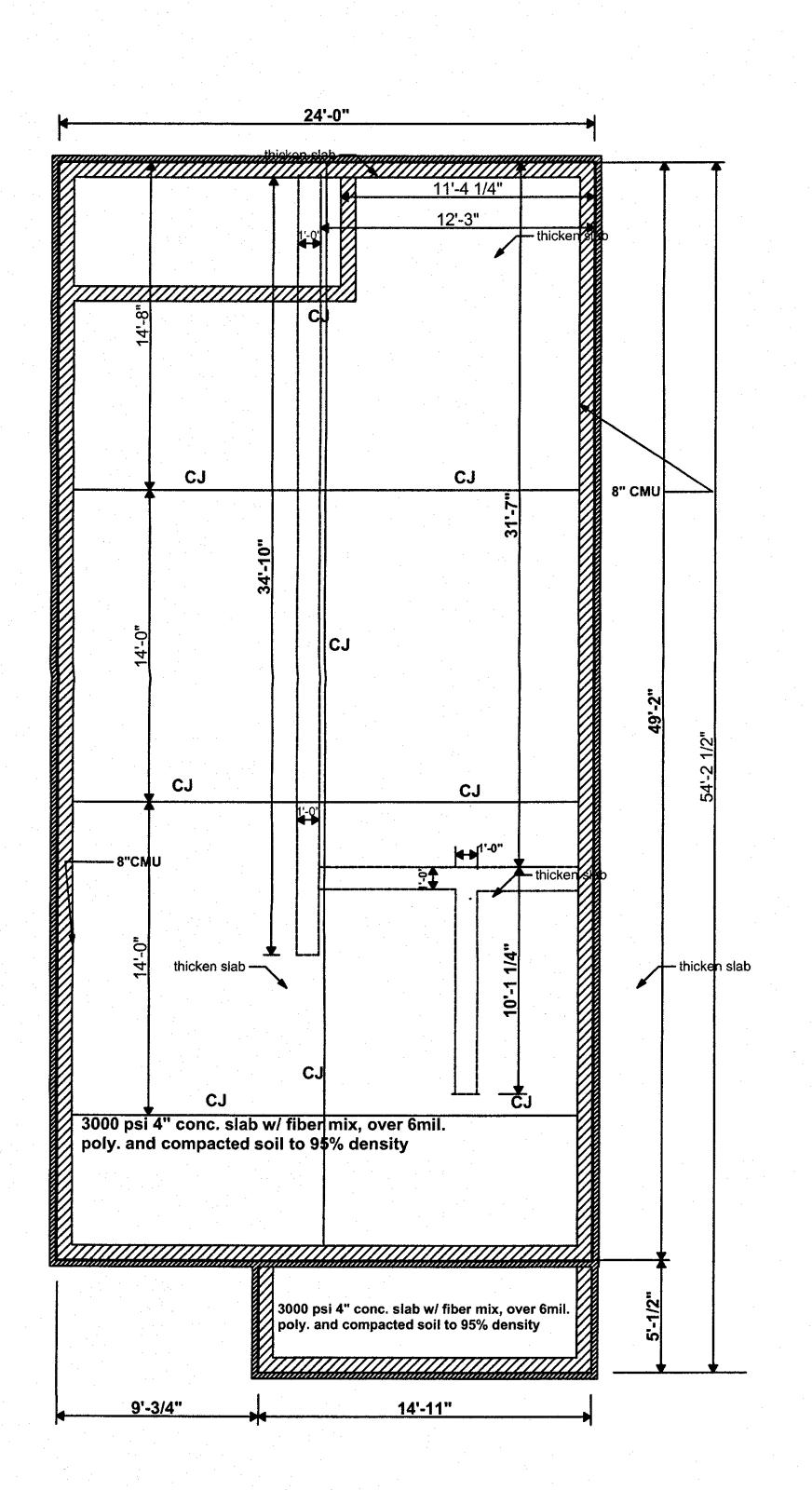
LLM

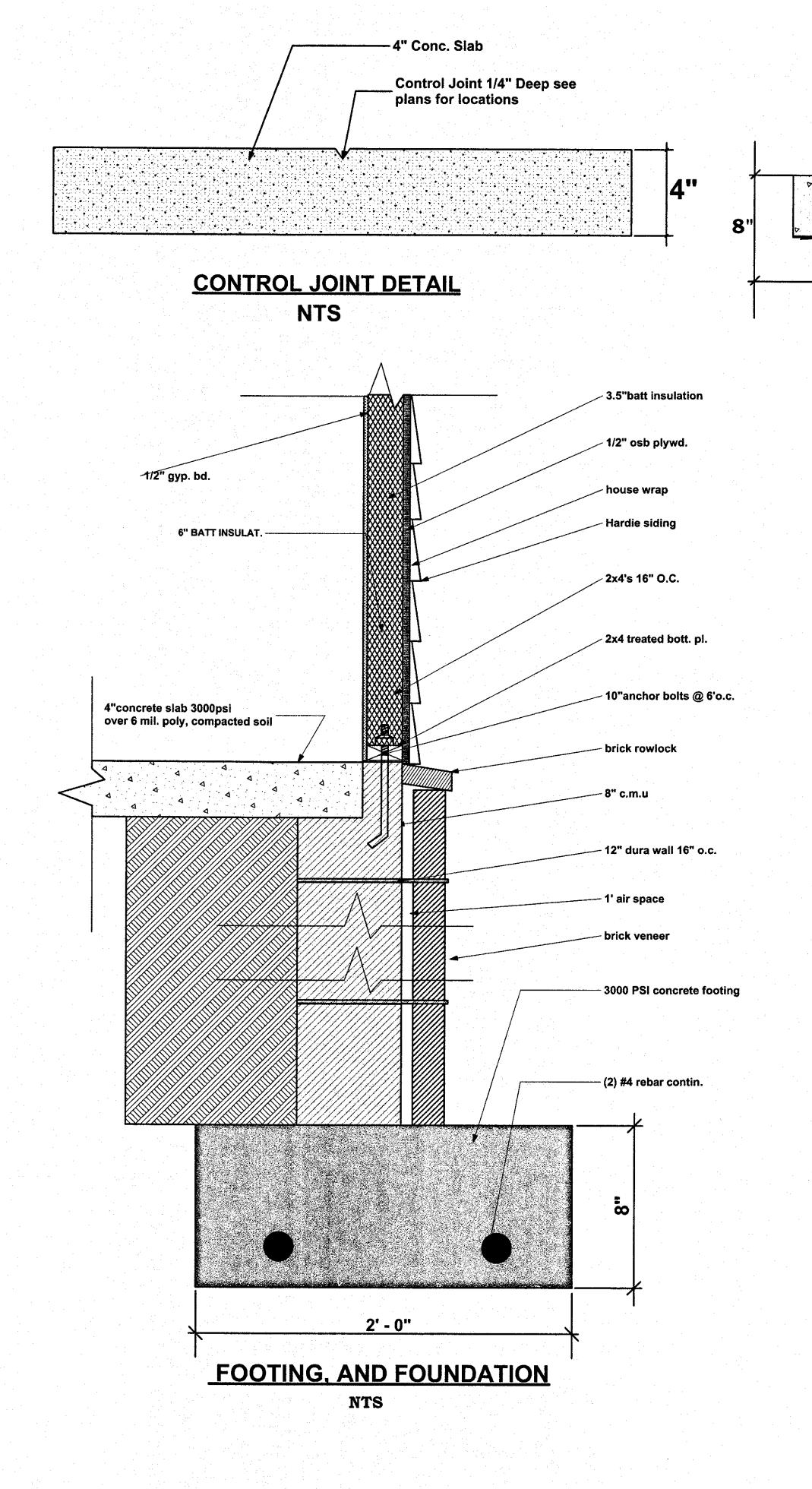
10/11/22 FIN. SET

CEDAR S

LOTS 1117,11113,11111,1109

NEW RESIDENCES





**NEW RESIDENCES** LOTS 1117,11113,1111,1109 3/2/22 PRELIM. FL. 10/11/22 FIN. SET PROJECT NO. LLM DRAWN BY CHK'D. BY SHEET NO.

1 FOUNDATION PLAN
A-103 SCALE: 1/4" = 1'-0"

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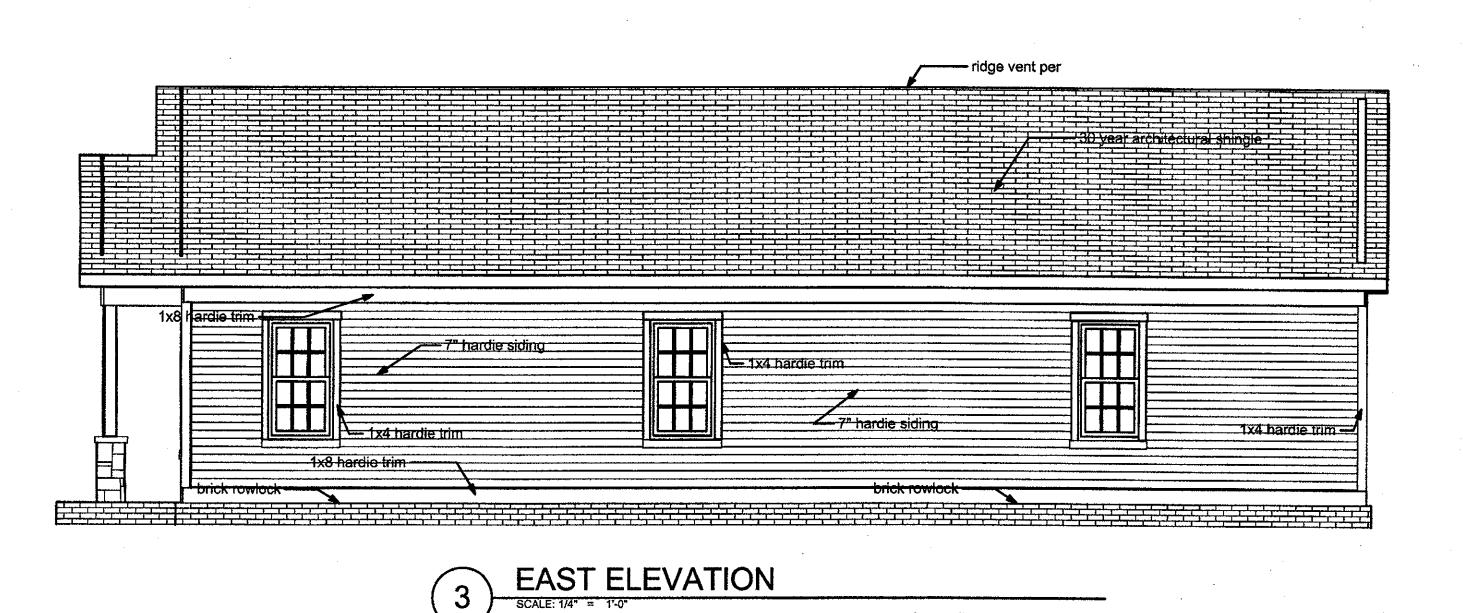
- (2) #4 rebar contin.

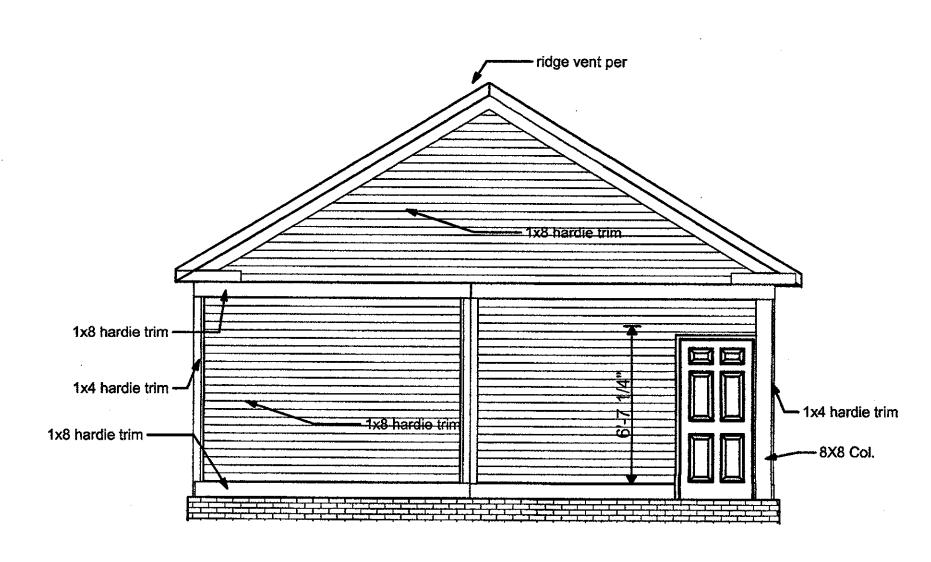
SLAB

THICKEN

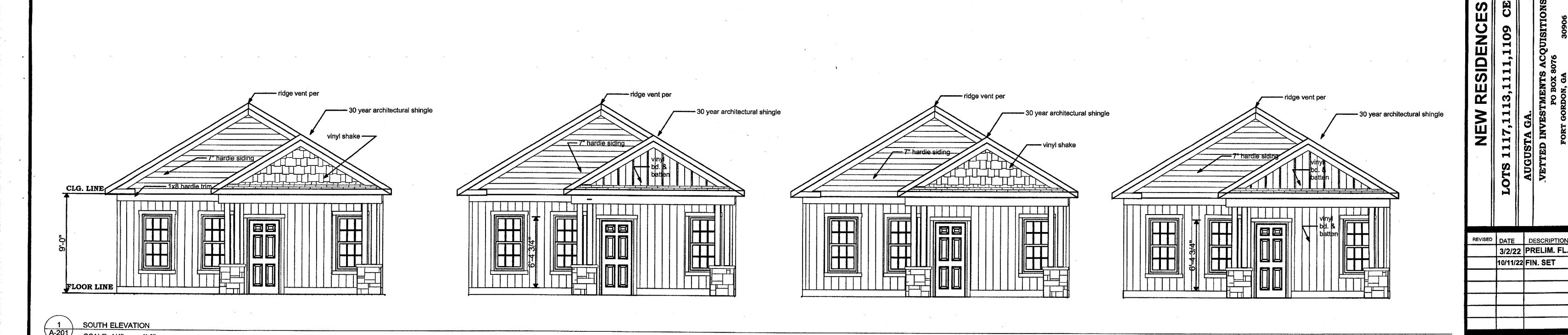
222

A-103





**NORTH ELEVATION** 



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APPROVED IN WRITING BY LARRY L McCORD
OWNER OF LARRY L McCORD LLC DESIGN BUILD.

223

A-201

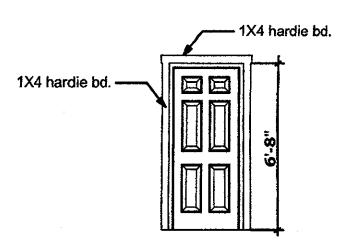
LLM

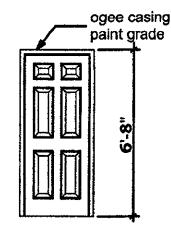
PROJECT NO.

DRAWN BY

CHK'D. BY

AUGUSTA GA. VETTED INVEST



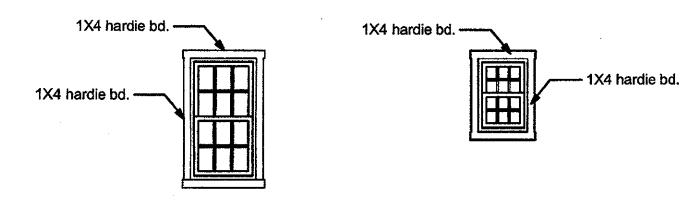


SIX PANEL EXTER. MET. DOOR

SIX PANEL MASONITE

INTER. DOOR

## **DOOR ELEVATION**



WINDOW ELEVATION

NOTE: ALL INTER. TRIM SHALL BE PAINT FINISH.

			FINISH	SCH	IEDULE		
		·	WA	LLS			
ROOM NAME	FLOOR	BASE	MATERIAL	FINISH	CEILING	CEILING HGT.	REMARKS
LIVING RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
DINING RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	· · · · · · · · · · · · · · · · · · ·
KITCHEN	Luxury Vinyl Tile	3 1/2" WD, BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
HALLWAY	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
AC CLO.	CONCRETE	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. #1	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. #2	CARPET	3 1/2" WD. BASE Wd.	GYP. BD,	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER BEDRM.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER BATHRM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	· · · · · · · · · · · · · · · · · · ·
BATHRM. #2	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	•
LAUN. RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
GARAGE	CONCRETE	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
				PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	**************************************
				<del></del>			······································
					<u> </u>	I	

LOTS 1117,1113,1111,1109 CEDAR AUGUSTA GA. 30901

VETTED INVESTMENTS ACQUISITIONS, LLC PO BOX 8076 **NEW RESIDENCES** 
 REVISED
 DATE
 DESCRIPTION

 3/2/22
 PRELIM. FL.

 10/11/22
 FIN. SET

DRAWN BY

CHK'D. BY

FS-1

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			AH	<b>ICD</b>				Contractor	wk Mirita u-		
Augusta Ho	วมร	ina 8			)evel	opment l	Departm	ent	rk Write-up		
Augustan	Jus			K sT Augusta		-	ocpartii.	CIIC			
(706) 821-1797b -Fax (706) 821-1784 ww	w.aug						orne Welcher	- Director			
Finish of house			TOTAL 14/5	NTE UD (NOLU	DWO 001	NTINGENOV		٨	450 455 00		
Finish of house	\$	-		RITE-UP (INCLU	DING COI	NTINGENCY)	•		152,455.36		
TOTAL WRITE-UP INCLUDING FENCE	,SIGN	N AND	CONTING	ENCY			\$	15	2,455.36		
GENERAL INFORMATION: UNIT = SF.(SQUARE	FEET)		UARE), LF (I		EA (EACH)	, LS (LUMP SUN	I), YD(YARD)	OLUMN	TOTAL COST PER SECTION		
Enter Materials	UNIT	Quantity	MATERIAL COST PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MAT & LABOR	PROFIT & OVER	TOTAL COST PER SECTION		
Homeowners Name		Walker/Beth	nlehem Revitali	zation Project	TER OIL	Contractor:		TIEND			
Homeowners Address City, State, Zip	Cedars	a, Georgia	20004								
Phone							head Percentage:	20%			
OUNDATION / MASONRY	House F	Heated Sq. I	Ft.	1,053	Total House S	Sq. Ft.			TOTAL COST PER SECTION		
Description of Material	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD			
enstruction entrance cavate	EA LF	0	\$ - \$ 3.13	\$ - \$ -	\$ 600.00 \$ 8.00	\$ 600.00 \$ -	\$ 600.00 \$ -		\$ 720.00 \$ -		
ncrete ftg LT FENCE & CONSTRUCTION ENTRANCE	CY ROLL	7	\$ 135.00	\$ 945.00 \$ 289.59	\$ 35.00 \$ 100.00	\$ 245.00 \$ -	\$ 1,190.00 \$ 289.59	\$ 238.00 \$ 57.92	\$ 1,428.00 \$ 347.51		
mil poly and tamp	ROLL	1	\$ 96.53 \$ 200.00	\$ 96.53 \$ 200.00	\$ 80.00 \$ 35.00	\$ 80.00 \$ 35.00	\$ 176.53 \$ 235.00	\$ 35.31 \$ 47.00	\$ 211.84 \$ 282.00		
oncrete pads for steps rading drive and sidewalk	CY LF	1	\$ 124.20 \$ 150.00	\$ 124.20 \$ 150.00	\$ 35.00	\$ 35.00 \$ 400.00	\$ 159.20 \$ 550.00	\$ 31.84 \$ 110.00	\$ 191.04 \$ 660.00		
oncrete drive and sidewalk	LF	600	\$ 5.00	\$ 3,000.00	\$ -	s -	\$ 3,000.00	\$ 600.00	\$ 3,600.00		
dding dirt to raise house (development cost )	EA EA	5	\$ 400.00 \$ 200.00	\$ 1,000.00		\$ -	\$ 850.00 \$ 1,000.00	\$ 200.00	\$ 1,200.00		
nchor bolts lock wall 8x8x156	EA EA	50	\$ 1.94 \$ 3.34		\$ 2,000.00	\$ 80.00 \$ 2,000.00	\$ 177.00 \$ 2,000.00	\$ 35.40 \$ 400.00	\$ 212.40 \$ -		
eader blocks oortar mix	EA BAGS	0	\$ 2.00 \$ 0.25		\$ 2.00 \$ 0.36	\$ - \$ -	\$ -	\$ -	\$ -		
ortar sand rick veneer	Load EA	0	\$ 250.00 \$ 0.30	\$ 280.00 \$ -	\$ 0.50	\$ 50.00 \$ -	\$ 330.00 \$ -	\$ 66.00 \$ -	\$ 396.00 \$ -		
louse slab Porch slab	CY EA	16 3	\$ 175.00 \$ 135.00	\$ 2,800.00 \$ 405.00		\$ 2,160.00 \$ 105.00	\$ 4,960.00 \$ 510.00	\$ 992.00 \$ 102.00	\$ 5,952.00 \$ 612.00		
RICK STEPS AS PER PLAN	STEP EA	2	\$ 100.00 \$ 0.30	\$ 375.00 \$ -	\$ 100.00 \$ 1.50	\$ 200.00 \$ -	\$ 575.00 \$ -	\$ 115.00 \$ -	\$ 690.00 \$		
ater sewer tap TILITIES FEES ELECTRICAL	LF LS	30	\$ 14.00 \$ 350.00	\$ 420.00 \$ 350.00	\$ 14.00 \$	\$ 420.00 \$	\$ 840.00 \$ 350.00	\$ 168.00 \$ 70.00	\$ 1,008.00 \$ 420.00		
ITILITIES FEES WATER UILDERS RISK	LS	1 1	\$ 350.00 \$ 700.00	\$ 350.00 \$ 700.00	\$ -	\$ -	\$ 350.00 \$ 700.00	\$ 70.00	\$ 420.00 \$ 840.00		
AYOUT AND BATTER BOARD	LS	1	\$ 300.00	\$ 300.00	\$ -	\$ -	\$ 300.00	\$ 60.00	\$ 360.00 \$ 300.00		
ORT-O-LET	LOT	1	\$ 250.00 \$ 285.00	\$ 250.00 \$ 285.00	\$ -	\$ - \$ -	\$ 250.00 \$ 285.00	\$ 57.00	\$ 342.00		
otal escription of work to be completed: work completed as per plans				\$ 12,817.32		\$ 6,860.00	\$ 19,677.32	\$ 3,935.46	\$ 21,212.78		
EXTERIOR			Material Costs		LABOR COST		TOTAL COST	PROFIT &	TOTAL COST PER SECTION		
Description OLUMNS	UNIT	Quantity 2	PER UNIT \$ 60.00	TOTAL MATERIAL \$ 120.00	PER UNIT \$ 100.00	TOTAL LABOR \$ 200.00	MATERIAL & LABOR \$ 320.00	PROFIT & OVERHEAD \$ 64.00	\$ 384.00		
SUTTERS & DOWNSPOUTS ANDSCAPING no irrigation	PKG PKG	1	\$ 1,250.00 \$ 3,500.00	\$ 1,250.00 \$ 3,500.00	\$ - \$ -	\$ - \$ -	\$ 1,250.00 \$ 3,500.00		\$ 1,500.00 \$ 4,200.00		
ot development to drain to front of property	PKG EA	1 0	\$ 1,000.00 \$ 3,900.00	\$ 1,500.00 \$ 3,900.00		\$ - \$ -	\$ 1,950.00 \$ 3,900.00	\$ 390.00	\$ 2,340.00 \$ -		
GRADING / SITE PREPARATION	LS	1	\$ 500.00	\$ 500.00 \$ 10,770.00	\$ 600.00	\$ 600.00 \$ 800.00	\$ 1,100.00 \$ 12,020.00	\$ 220.00 \$ 2,404.00	\$ 1,320.00 \$ 9,744.00		
Total escription of work to be completed:				\$ 10,770.00		\$ 800.00	\$ 12,020.00	\$ 2,404.00	ψ 3,144.00		
SIDING AND PORCH  Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION		
	PKG	1	\$ 4,300.00		\$ 4,000.00	\$ 4,000.00	\$ 8,300.00	\$ 1,660.00	\$ 9,960.00		
ASCIA AND SOFFIT AND SIDING VYNIL NOT CEMENT OTAL				\$ 4,300.00		\$ 4,000.00	\$ 8,300.00	\$ 1,660.00	\$ 9,960.00		
escription of work to be completed:  ROOFING											
Description	UNIT	Quantity	Material Costs PER UNIT		LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION		
COOFING PACKAGE ( 3 tab shingles SHINGLES, ROOF VENT INSTALLATION	PKG	1	\$ 2,650.00	,,,,,,,	\$ 1,300.00	\$ 1,300.00	\$ 3,950.00	\$ 790.00	\$ 4,740.00		
ontinuous roof ridge vent with louvered side openings. Includes o	cutting of	sneathing a	st root and install	lation of shingle ridge \$ 2,650.00	e cap.	\$ 12,000.00	\$ 3,950.00	\$ 790.00	\$ 4,740.00	]	
FRAMING & FINISH CARPENTRY			Material Costs		LABOR COST		TOTAL COST	PROFIT &	TOTAL COST PER SECTION		
Description	UNIT	Quantity 1	PER UNIT \$ 10,000.00	TOTAL MATERIAL	PER UNIT \$ 5,000.00	TOTAL LABOR	MATERIAL & LABOR \$ 15,000.00	OVERHEAD	\$ 18,000.00	1	
WALL FRAMING AS NEEDED per INT.CODEGAedition 24" o.c. EXTERIOR DOORS PKG	EA	1	\$ 760.00	\$ 10,000.00 \$ 760.00	\$ 300.00	\$ 5,000.00 \$ 300.00	\$ 1,060.00	\$ 212.00	\$ 1,272.00		
VINDOWS ITERIOR DOORS & TRIM PKG	PKG	1	\$ 3,600.00 \$ 3,650.00	\$ 3,650.00	\$ 700.00 \$ 1,400.00	\$ 1,400.00	\$ 4,300.00 \$ 5,050.00	\$ 860.00 \$ 1,010.00	\$ 5,160.00 \$ 6,060.00	2000 increase since last	Boyd house ( same amopun
tea Furniture and built in desk OCKSET PACKAGE	PKG EA	1	\$ 830.00 \$ 234.78		\$ 100.00		\$ 334.78		\$ - \$ 401.74		
TTIC STAIRWAY 10' ENG SAVER IAIL BOX	EA EA	1	\$ 275.00 \$ 100.00	\$ 100.00			\$ 100.00	\$ 20.00	\$ 677.00 \$ 120.00		
OUSE NUMBERS LOSET 12" SHELVES W/ RODS AND PANTRY/LINEN	PKG	1		\$ 60.00 \$ 900.00	\$ - \$ 600.00	\$ - \$ 600.00	\$ 60.00 \$ 1,500.00	\$ 12.00 \$ 300.00	\$ 72.00 \$ 1,800.00		
arage doors +motor LINDS	EA PKG	1	\$ 1,500.00 \$ 200.00	\$ - \$ 200.00	\$ 250.00	\$ 250.00	\$ - \$ 450.00		\$ - \$ 540.00		
otal FLOORS CARPET /TILE				\$ 20,409.78		\$ 8,510.00	\$ 28,189.78	\$ 5,637.96	\$ 28,189.78	J	
Description	UNIT	Quantity	Material Costs PER UNIT	TOTAL MATERIAL	LABOR COST PER UNIT	TOTAL LABOR	TOTAL COST MATERIAL & LABOR	PROFIT & OVERHEAD	TOTAL COST PER SECTION	]	
OORING CARPET  MINATED WOOD (glue down )	PKG PKG	1	\$ 1,400.00	\$ 1,400.00 \$ 2,400.00	\$ 800.00	\$ 800.00	\$ 2,200.00 \$ 3,800.00		\$ 2,640.00 \$ 4,560.00		
	PKG		\$ 500.00	\$ 500.00	\$ 1,500.00	\$ 1,500.00	\$ 2,000.00	\$ 400.00	\$ 2,400.00 \$ 9,600.00	1	
		1		\$ 4,300.00		\$ 3,700.00	\$ 8,000.00	\$ 1,600.00	y 5,000.00	_	
otal escription of work to be completed:											
Cotal lescription of work to be completed:  DRYWALL/ PLASTER			Material Costs		LABOR COST		TOTAL COST	PROFIT &	TOTAL COST BED SECTION	1	
otal lescription of work to be completed:	UNIT	Quantity 7200	Material Costs PER UNIT \$ 0.45	TOTAL MATERIAL \$ 3,240.00	LABOR COST PER UNIT \$ 0.45		TOTAL COST MATERIAL & LABOR \$ 6,480.00	PROFIT & OVERHEAD \$ 1,296.00	TOTAL COST PER SECTION \$ 7,776.00	]	
otal escription of work to be completed:  DRYWALL/ PLASTER  Description  Z IN DRYWALL  otal			PER UNIT			\$ 3,240.00	\$ 6,480.00	OVERHEAD			
otal lescription of work to be completed: DRYWALL/ PLASTER Description			PER UNIT	\$ 3,240.00 \$ 3,240.00		\$ 3,240.00	MATERIAL & LABOR \$ 6,480.00	OVERHEAD \$ 1,296.00	\$ 7,776.00		

fixtures allowance faucets, shower valves	PKG	1	\$ 900.00	\$	900.00				\$	900.00	\$	180.00		1 000 00
Total	PKG			s	9,000.00		s		\$	9,900.00	s	1,980.00	\$	1,080.00 <b>11,880.00</b>
Includes all fittings, connections to fixtures, hangers, and removal	of existin	g water line	S.	-	0,000.00		•		Ť	0,000.00	Ť	1,000.00	7	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
ELECTRICAL											Т			
Description	UNIT	Quantity	Material Costs PER UNIT	тот	TAL MATERIAL	LABOR COST PER UNIT	то	TAL LABOR	MATE	OTAL COST ERIAL & LABOR		PROFIT & OVERHEAD	TOTA	COST PER SECTION
ELECTRICAL	PKG	1	\$ 9,000.00	\$	9,000.00	\$ -	\$	-	\$	9,000.00	\$	1,800.00	\$	10,800.00
ALARM SYSTEM W/CELLULAR MONITORING CAMERA SECURITY DURING CONSTRUCTION	EΑ	1	\$ 600.00 \$ 200.00	\$	200.00	\$ - \$	\$	-	\$	200.00	\$	40.00	\$	240.00
LIGHT FIXTURES detectors,bath fan ALLOWANCE	EA PKG	1	\$ 200.00 \$ 1,000.00	\$	200.00 1,000.00	\$ -	\$	-	\$	200.00 1,000.00	\$	200.00	\$	1,200.00
Total				\$	10,200.00		\$	-	\$	10,200.00	\$	2,040.00	\$	12,240.00
HEATING & AIR									L		L			
Description	UNIT	Quantity	Material Costs PER UNIT	TOT	TAL MATERIAL	PER UNIT	то	TAL LABOR	MATE	OTAL COST ERIAL & LABOR		PROFIT & OVERHEAD		COST PER SECTION
HEATING & AIR 14 SEER RANGE HOOD ducting	PKG PKG	1	\$ 7,600.00 \$ 250.00	\$	7,600.00 250.00	\$ -	\$	-	\$	7,600.00 250.00	\$	1,520.00 50.00	\$	9,120.00 300.00
AC CAGES	EA	- 1	\$ 450.00	\$	450.00	\$ -	\$	-	\$	450.00	\$	90.00	\$	540.00
Total				\$	8,300.00		\$	-	\$	8,300.00	\$	1,660.00	\$	9,960.00
CABINETS & APPLIANCES			Material Costs			1 4 DOD 0007			_	2741 0007		DDOFIT A		
Description	UNIT	Quantity	PER UNIT	T01	TAL MATERIAL	LABOR COST PER UNIT	то	TAL LABOR	MATE	OTAL COST FRIAL & LABOR	L	PROFIT & OVERHEAD	TOTA	COST PER SECTION
BASE & WALL CABINETS & Granite Countertops	PKG	1	\$ 3,900.00 \$ 2,000.00	\$	2,000.00	\$ -	\$	700.00 800.00	\$	4,600.00 2,800.00	\$	920.00 560.00	\$	5,520.00 3,360.00
APPLIANCE PKG (RANGE MICROWAVE DISH WASHER &	PKG	1	\$ 3,500.00	s	3,500.00	\$ 200.00	s	200.00	s	3,700.00	s	740.00	\$	4,440.00
REFRIGERATOR W/ICE MAKER	1110	-	0,000.00			200.00					Ŀ			
Total				\$	9,400.00		\$	1,700.00	\$	11,100.00	\$	2,220.00	\$	13,320.00
PAINTING INTERIOR only	<u> </u>		Material Costs			LABOR COST PER UNIT			TI	OTAL COST ERIAL & LABOR	$\vdash$	PROFIT & OVERHEAD	TOT	COST PER SECTION
Description PAINT 2 COATS WALL/CEILING PAINTING	UNIT	Quantity 1648	Material Costs PER UNIT	T01	1,648.00	PER UNIT	TO	3.296.00	MATE	4,944.00	ç	OVERHEAD 988.80	S S	5,932.80
Total	JF.	1040	1.00	S	1,648.00	_	s	3,296.00	\$	4.944.00	S	988.80	\$	5,932.80
BATHROOM ACCESSORIES	t			Ť	1,040.00		Ť	5,280.00	Ť	-,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Ť	230.00	Ť	2,302.00
Description	UNIT	Quantity	Material Costs PER UNIT	707	TAL MATERIAL	LABOR COST PER UNIT		TAL LABOR	T	OTAL COST ERIAL & LABOR		PROFIT & OVERHEAD	TOTA	COST PER SECTION
BATH ACCESSORIES SET & MIRRORS	PKG	1	\$ 900.00	\$	900.00	\$ -	\$	IAL LABUR	\$	900.00	\$	180.00	\$	1,080.00
SHOWER DOOR FRAMED	PKG	0	\$ 850.00	\$	-	\$ -	\$	-	\$	-	\$	-	\$	
Total				\$	900.00		\$	-	\$	900.00	\$	180.00	\$	1,080.00
INSULATION	ļ		Material Costs			LABOR COST			70	DTAL COST	L	DDOELT 0		
Description	UNIT	Quantity	Material Costs PER UNIT	T01	TAL MATERIAL	LABOR COST PER UNIT	TO	TAL LABOR	MATE	OTAL COST ERIAL & LABOR	Ļ	PROFIT & OVERHEAD		COST PER SECTION
INSULATION ATTIC WALLS  Total	PKG	1	\$ 2,550.00	\$	2,550.00	\$ -	\$	-	\$	2,550.00	\$	510.00	\$	3,060.00 3,060.00
DEMOLITION & CLEAN -UP				\$	2,550.00		\$	-	\$	2,550.00	ð	510.00	φ	3,000.00
	UNIT		Material Costs PFR UNIT			LABOR COST		TAL LABOR	T	OTAL COST		PROFIT & OVERHEAD	TOTA	COST PER SECTION
Description  CLEAN HOUSE	EA	Quantity 1	S -	\$	TAL MATERIAL	PER UNIT \$ 450.00	s	450.00	S	450.00	s	90.00	\$	540.00
DUCT & BLOWER TEST	EA	1	\$ -	\$	-	\$ 400.00	\$		\$	400.00	\$	80.00	\$	480.00
INTERIOR DEMOLITION EXTERIOR clean up	EA EA	1	s 400.00	s			_		s	400.00	\$	60.00	s	460.00
DUMPSTER DUMPSTER	EA	1	\$ 1,200.00	\$	1,200.00	\$ -	\$	-	\$	1,200.00	\$	240.00	\$	1,440.00
Total				\$	1,200.00		\$	850.00	\$	2,450.00	\$	470.00	\$	2,920.00
RECAP OF SECTIO	NS					SUM TO	ΤΔΙ	L WRITE-	ΠP		-		\$	151,615.36
						COM TO				2741 0007	_			TAL COST PER
Description				TOT	AL MATERIAL		то	OTAL LABOR		OTAL COST ERIAL & LABOR		PROFIT & OVERHEAD		SECTION
FOUNDA		IASONRY		\$	12,817.32		\$	6,860.00	\$	19,677.32	\$	3,935.46	\$	21,212.78
		XTERIOR		\$	10,770.00 4.300.00		\$	800.00 4.000.00	\$	12,020.00 8.300.00	\$	2,404.00 1.660.00	\$	9,744.00 9,960.00
		ROOFING		\$	2,650.00		\$	12,000.00		3,950.00		790.00	\$	4,740.00
FRAMING & FIN				\$	20,409.78		\$		\$	28,189.78	\$	5,637.96	\$	28,189.78
		PET /TILE PLASTER		\$	4,300.00 3,240.00		\$	3,700.00 3,240.00		8,000.00 6,480.00		1,600.00 1,296.00		9,600.00 7,776.00
DR.	PI	LUMBING		\$	9,000.00		\$		\$	9,900.00		1,980.00		11,880.00
		CTRICAL		\$	10,200.00		\$		\$	10,200.00	\$	2,040.00	\$	12,240.00
1	HEATI	NG & AIR		\$	8,300.00 9,400.00		\$		\$	8,300.00 11,100.00		1,660.00 2,220.00	\$	9,960.00 13,320.00
CARINET	S & APP									4,944.00	\$	988.80	\$	5,932.80
CABINET PAINTING EXT				\$	1,648.00		\$	3,296.00	\$				Ψ	
	ERIOR/I	NTERIOR SSORIES		\$	900.00		\$	-	\$	900.00	\$	180.00	\$	1,080.00
PAINTING EXT BATHROOM	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION		\$	900.00 2,550.00		\$	-	\$	900.00 2,550.00	\$	180.00 510.00	\$	3,060.00
PAINTING EXT	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION		\$	900.00		\$	-	\$	900.00	\$	180.00 510.00 470.00	\$	
PAINTING EXT BATHROOM	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION LEAN -UP		\$	900.00 2,550.00 1,200.00		\$	- 850.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$	3,060.00 2,920.00
PAINTING EXT BATHROOI DEMOLIT	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION LEAN -UP		\$ \$ \$ \$	900.00 2,550.00 1,200.00		\$	- 850.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$	3,060.00 2,920.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION LEAN -UP	\$143.98 #DIV/0!	\$ \$ \$ PER	900.00 2,550.00 1,200.00 101,685.10	Υ	\$	- 850.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$ \$	3,060.00 2,920.00 151,615.36
PAINTING EXT BATHROOI DEMOLIT	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION LEAN -UP	\$143.98	\$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS		\$	- 850.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION LEAN -UP	\$143.98	\$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10		\$	- 850.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$ \$	3,060.00 2,920.00 151,615.36 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated	ERIOR/I M ACCE INS	NTERIOR SSORIES ULATION LEAN -UP	\$143.98	\$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS		\$	- 850.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated  Cost per sf heated plus garage	ERIOR/ I M ACCE INS ION & CI	NTERIOR SSORIES ULATION LEAN -UP	\$143.98	\$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS		\$	- - 850.00 44,956.00	\$ \$ \$ \$	900.00 2,550.00 2,450.00	\$ \$ \$ \$	180.00 510.00 470.00	\$ \$ \$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated Cost per sf heated plus garage  Tota	ERIOR/ I M ACCE INS ION & CI	NTERIOR SSORIES ULATION LEAN -UP	\$143.98 #DIV/0!	\$ \$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS D WARRANT	UP	\$ \$ \$ \$ \$ \$	- - 850.00 44,956.00	\$	900.00 2,550.00 2,450.00	\$	180.00 510.00 470.00	\$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated  Cost per sf heated plus garage	ERIOR/ I M ACCE INS ION & CI	NTERIOR SSORIES ULATION LEAN -UP	\$143.98	\$ \$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS D WARRANT	UP	\$ \$ \$ \$ \$	- - 850.00 44,956.00	\$ \$ \$ \$	900.00 2,550.00 2,450.00	\$ \$ \$ \$	180.00 510.00 470.00	\$ \$ \$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated  Cost per sf heated plus garage  Tota  CONTRACTOR	ERIOR/ I	NTERIOR SSORIES SULATION LEAN -UP TOTALS	\$143.98 #DIV/0!	\$ \$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS D WARRANT TAL WRITE-	UP	\$ \$ \$ \$ \$ \$	- - 850.00 44,956.00	\$ \$ \$ \$	900.00 2,550.00 2,450.00	\$ \$ \$ \$	180.00 510.00 470.00	\$ \$ \$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00
PAINTING EXT BATHROOI  DEMOLIT  Cost per sf heated Cost per sf heated plus garage  Tota	ERIOR/ I M ACCE INS ION & CI	NTERIOR SSORIES SULATION LEAN -UP TOTALS	\$143.98 #DIV/0!	\$ \$ \$ \$ PER 2-10	900.00 2,550.00 1,200.00 101,685.10 RMITS D WARRANT TAL WRITE-	UP	\$ \$ \$ \$ \$	- - 850.00 44,956.00	\$ \$ \$ \$	900.00 2,550.00 2,450.00	\$ \$ \$ \$	180.00 510.00 470.00	\$ \$ \$ \$ \$	3,060.00 2,920.00 151,615.36 420.00 420.00



**Commission Meeting** 

September 5, 2023

HCD \_ 2023 Addendum Accounting Engagement Approval Request Cherry Bekaert (23-501C)

**Department:** HCD

Presenter: Hawthorne Welcher, Jr. and/or HCD Staff

Caption: Motion to approve Housing and Community Development Department's

(HCD's) request to approve the addendum engagement agreement with Cherry Bekaert to continue to provide grant management assistance to the Housing and Community Development Department. (23-501C)(Approved)

by Administrative Services Committee August 29, 2023)

Background: Augusta Housing and Community Development engaged with Cherry Bekaert,

a nationally Certified Public Accounting Firm, to help the HCD Finance team reconcile and provide guidance and assistance related to grant management. In June 2023, we reached 80% of the overall initial budget. We were presented with the option to extend our agreement to "GASB and a Service," which will allow the additional assistance to complete the rest of the reconciliation work along with the go-forward business process and policy

and procedures.

Analysis: The approval of this request will enable HCD to strengthen our current

grant-related process and procedures, streamline our outdated

reconciliation process, and ensure we remain compliant with all of the Department's Federal Programs. This is the 3<sup>rd</sup> amendment to RFP 20-501.

Financial Impact: In summation, this approval will enable HCD to continue its relationship with

Cherry Bekaert to provide these accounting services. If approved, the term of

the agreement expires on June 30<sup>th</sup>, 2024.

**Alternatives:** Do not approve HCD's request.

**Recommendation:** Motion to approve Housing and Community Development Department's

(HCD's) request to approve the addendum engagement agreement with Cherry Bekaert to continue to provide grant management assistance to the

Housing and Community Development Department.

Funds are available in the following accounts: We will use the following General Ledger to pay the additional \$25,000.00

Misc Professional 221073110/5212119

REVIEWED AND APPROVED BY:

**Procurement** 

Finance

Law

Administrator

**Clerk of Commission** 



July 17, 2023

VIA EMAIL: HWelcher@augustaga.gov

Hawthorne Welcher 510 Fenwick Street Augusta, Georgia 30901

Dear Mr. Welcher:

This Addendum to our original Engagement Letter dated August 1, 2022 ("Original Engagement Letter" between Cherry Bekaert Advisory LLC ("Cherry Bekaert", the "Firm", "we", "us") to provide advisory services to the Housing and Community Development Department of Augusta, Georgia (hereafter referred to as the "HCD", "you", "your", or "management") sets forth the nature and scope of the services we will provide in addition to the services set forth in our Original Engagement Letter, the fees we will charge for such additional services, as well as the terms of agreement. Such services will be subject to the same terms and conditions as set forth in our Original Engagement Letter.

#### Summary of Services

We will provide additional services related to the Original Engagement Letter as well as account reconciliation assistance and best practice recommendations related to cash, unearned revenue, program income, and the schedule of expenditures of federal awards.

#### Fees

The services in this arrangement letter are intended to be performed on a time and materials basis. The addendum will increase the estimated level of effort and related fees an additional \$75,000 from the Original Engagement Letter. We will work closely with you to make this engagement cost effective. If significant additional time is necessary, we will discuss it with you and arrive at a new fee estimate before we incur the additional costs. Rates by level for our consulting and risk management services are shown in our Original Engagement Letter.

#### **Other Matters**

Our procedures will not result in the expression of an opinion, or any other form of assurance, on HCD's financial statements or any part thereof; nor an opinion or any other form of assurance on HCD's internal control systems or its compliance with laws, regulations, or other matters. We will not express an opinion or any other form of assurance with respect to management's system of internal control over financial reporting or in safeguarding HCD's assets.

The terms of this agreement expire June 30, 2024.

This Addendum, together with our Original Engagement Letter and Engagement Letter Terms and Conditions and any Exhibits, sets forth the entire understanding between HCD and Cherry Bekaert regarding the additional services described herein and supersedes any previous proposals, correspondence, and understandings, whether written or oral.

If the foregoing is in accordance with your understanding, please sign a copy of this Addendum in the space provided and return it to us in paper form or by electronic transmission. The parties agree that this Addendum may be electronically signed and that the electronic signatures will be deemed to have the same force and effect as handwritten signatures. The terms, fees, and conditions listed herein will expire 60 days from the date of this Addendum if unsigned, unless Cherry Bekaert, at its sole discretion, expressly agrees to waive the provisions of this paragraph. Please maintain a copy of this Addendum for your files.

We want to express our appreciation for this opportunity to be of service to you. If you have any questions or concerns regarding this Addendum, please do not hesitate to contact us.

Sincerely,

Title / Entity

CHERRY BEKAERT ADVISORY LLC	
ACCEPTED BY:	
Printed Name	Signature

Date

Cherry Bekaert Advisory LLC



#### **Commission Meeting**

September 5, 2023

Bid Item #23-130; Vernon Forest Park – Restroom Permit Plans

**Department:** Central Services Department

**Presenter:** Ron Lampkin

Caption: Motion to approve request from the Central Services Department, bid #23-130,

Vernon Forest Park – Restroom Permit Plan in the amount of \$28,500.00 to be

performed by Johnson, Laschober & Associates, P.C.(Approved by

**Administrative Services Committee August 29, 2023)** 

**Background:** Vernon Forest Park, located at 2101 Telfair Street in Augusta, GA lacks

restroom facilities for the citizens that visit this location. In order to start this project, permit plans are the first requirement before the construction phase.

**Analysis:** Johnson, Laschober & Associates, P.C. was the only vendor to respond. The

bid was compliant however, it was overbudget. Central Services has provided an overbudget justification and recommends award to Johnson, Laschober &

Associates, P.C.

Financial Impact: \$28,500.00 SPLOST

**Alternatives:** A -Award bid

B -Do not award bid

**Recommendation:** Award bid #23-130, Vernon Forest Park – Restroom Permit Plan in the amount

of \$28,500.00 to be performed by Johnson, Laschober & Associates, P.C.

Funds are available

in the following accounts:

\$12,500.00 SPLOST

GL: 329-05-1120 JL: 218-05-7126

\$16,000.00 SPLOST

GL: 330-05-1120

JL: To be determined

## REVIEWED AND APPROVED BY:

#### **Invitation to Bid**

Sealed bids will be received at this office until Monday, February 20, 2023 @ 11:00 a.m. via ZOOM Meeting ID: 813 7027 0339; Passcode: 322903 for furnishing:

Bid Item #23-130 Vernon Forest Park – Restroom Permit Plans for Augusta, GA – Central Service Department

Bids will be received by Augusta, GA Commission hereinafter referred to as the OWNER at the offices of:

Geri A. Sams, Director Augusta Procurement Department 535 Telfair Street - Room 605 Augusta, Georgia 30901

Bid documents may be viewed on the Augusta, Georgia web site under the Procurement Department ARCbid. Bid documents may be obtained at the offices of Augusta, GA Procurement Department, 535 Telfair Street – Suite 605, Augusta, GA 30901 (706-821-2422).

All questions must be submitted in writing by fax to 706 821-2811 or by email to <a href="mailto:procbidandcontract@augustaga.gov">procbidandcontract@augustaga.gov</a> to the office of the Procurement Department by Friday, February 10, 2023 @ 5:00 P.M. No bid will be accepted by fax or email, all must be received by mail or hand delivered.

No bids may be withdrawn for a period of ninety **(90)** days after bids have been opened, pending the execution of contract with the successful bidder.

Invitation for bids and specifications. An invitation for bids shall be issued by the Procurement Office and shall include specifications prepared in accordance with Article 4 (Product Specifications), and all contractual terms and conditions, applicable to the procurement. All specific requirements contained in the invitation to bid including, but not limited to, the number of copies needed, the timing of the submission, the required financial data, and any other requirements designated by the Procurement Department are considered material conditions of the bid which are not waiveable or modifiable by the Procurement Director. All requests to waive or modify any such material condition shall be submitted through the Procurement Director to the appropriate committee of the Augusta, Georgia Commission for approval by the Augusta, Georgia Commission. Please mark BID number on the outside of the envelope.

The local bidder preference program is applicable to this project. To be approved as a local bidder and receive bid preference an eligible bidder must submit a completed and signed written application to become a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project. An eligible bidder who fails to submit an application for approval as a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project, and who otherwise meets the requirements for approval as a local bidder, will not be qualified for a bid preference on such eligible local project.

**GEORGIA E-Verify and Public Contracts:** The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees. They may be exempt from this requirement if they have no employees and do not plan to hire employees for the purpose of completing any part of the public contract. Certain professions are also exempt. All requests for proposals issued by a city must include the contractor affidavit as part of the requirement for their bid to be considered.

Bidders are cautioned that acquisition of BID documents through any source other than the office of the Procurement Department is not advisable. Acquisition of BID documents from unauthorized sources placed the bidder at the risk of receiving incomplete or inaccurate information upon which to base his qualifications.

Correspondence must be submitted via mail, fax or email as follows:

Augusta Procurement Department
Attn: Geri A. Sams, Director of Procurement
535 Telfair Street, Room 605
Augusta, GA 30901

Fax: 706-821-2811 or Email: <a href="mailto:procbidandcontract@augustaga.gov">procbidandcontract@augustaga.gov</a>

No bid will be accepted by fax or email, all must be received by mail or hand delivered.

GERI A. SAMS, Procurement Director

Publish:

Augusta Chronicle January 19, 26, 2023 and February 2, 9, 2023

Metro Courier January 19, 2023

Augusta Bio

Bid Opening Bid Item #23-130 Vernon Forest Park - Restroom Permit Plans
Augusta, GA - Central Services Department

Bid Date: Monday February 20, 2023 @ 11:00 a.m.

Total Number Specifications Mailed Out: 20

Total Number Specifications Download (Demandstar): 5

Total Electronic Notifications (Demandstar): 294

Georgia Procuement Registry: 339 Total Packages Submitted: 1 Total Noncompliant: 0

Vendors	Attachment "B"	E-Verify Number	SAVE Form	Base Bid
Johnson, Laschober & Associates, P.C. 1296 Broad Street Augusta, GA 30901	Yes	226309	Yes	\$28,500.00



## Central Services Department

Ron Lampkin, Interim Director Maria Rivera-Rivera, Deputy Director 2760 Peach Orchard Road, Augusta GA 30906 (706) 828-7174 Phone (706)799-5077 Fax

#### **MEMORANDUM**

TO: Ms. Geri Sams, Director, Procurement Department

FROM: Mr. Ron Lampkin, Interim Director, Central Services Department

DATE: March 1, 2023

SUBJECT: Bid Item #23-130; Vernon Forest Park – Restroom Permit Plans

On February 20, 2023, the Central Services Department – Facilities Maintenance Division received proposals for bid #23-130, Vernon Forest Park – Restroom Permit Plans. Johnson, Laschober & Associates, P.C submitted the lowest compliant bid for a total of \$28,500.00. This amount exceeds the estimated budget of \$24,000.00 by \$4,500.00 or 18%.

Per the Augusta, Georgia Procurement Code, sec. 1-10-60 Central Services Department is providing justification to proceed with Johnson, Laschober & Associates, P.C. as the lowest bid is within 20% of the estimated budget. It is not in our best interest to rebid or cancel the bid because the strained supply chain which could possibly create a dramatic increase in cost.

Central Services recommends award of contract to Johnson, Laschober & Associates, P.C for the development of restrooms permit plans as the current budget covers the proposed budget by this contractor.

Thank you for your assistance in securing these prices. Please do not hesitate to call if you have any questions or need additional clarification.

cc:

Ron Lampkin Maria Rivera-Rivera Cheatham, Fletcher, Scott Architects 420 8<sup>th</sup> Street Augusta, GA 30901

Studio 3 Design Group 1617 Walton Way Augusta, GA 30904 Dickinson Architects 771 Broad Street, Suite 200 Augusta, GA 30901

2km Architects 529 Greene Street Augusta, GA 30901 EMC Engineering Services 4210 Columbia Rd., Suite 16A Martinez, GA 30907 Chris Booker & Associates 670 Broad Street Augusta, GA 30901

Woodhurst Architects 607 15<sup>th</sup> Street Augusta, GA 30901 Johnson Laschober & Associates 1296 Broad Street Augusta, GA 30901 Alan Venable Architects 309 11<sup>th</sup> Street Augusta, GA 30901

Harley & Associates Architects 718 Broad Street Augusta, GA 30901 James Swift & Associates 1206 Interstate Pkwy. Augusta, GA 30909 Civil Services 851 Laney Walker Blvd. Augusta, GA 30901

Attn: Scott Williams Cranston Engineering 452 Ellis Street Augusta, GA 30901 Rick Toole Benesch Engineers 1005 Broad Street Suite 200 Augusta, GA 30901

Dickinson Architects 771 Broad Street, Suite 200 Augusta, GA 30901

Pruett Ford & Associates 1201 Broad Street Augusta, GA 30901 Pond & Company 621 NW Frontage Rd Augusta, GA 30907 GMC 1450 Greene St. Augusta, GA 30901

ISM 1571 Broad St Augusta, GA 30901 Moore & Associates 1009 East Ave. North Augusta, SC 29841

Ron Lampkin Central Services Department Maria Rivera-Rivera Central Services Department Phyllis Johnson Compliance Department

Maurice McDowell Recreation & Parks

BID ITEM #23-130
VERNON FOREST PARK – RESTROOM
PERMIT PLANS FOR AUGUSTA, GA CENTRAL SERVICES DEPARTMENT
DUE: MON., FEB. 20, 2023 @ 11:00 A.M.

BID ITEM #23-130
VERNON FOREST PARK – RESTROOM
PERMIT PLANS FOR AUGUSTA, GA CENTRAL SERVICES DEPARTMENT
MAIL: 01/19/23

PR\_bid\_email\_list

Item 14.

jas consultants 2023-01-19	frank@jasconsultants.net smith, frank	N	NOM
usregistryconnect 2023-01-19	rfq@usregistryconnect.com usregistry, usregistry	N	NOM

ETHNIC GROUP	COUNT
African American	43
Asian American	9
Native American	3
Hispanic/Latino	4
Pacific Island/American	1
Non Minority	116
Not Classified	0
Total Number of Vendors	176
<b>Total Number of Contacts</b>	339

PR\_bid\_email\_list

## **Planholders**

**Add Supplier** 

**Export To Excel** 

#### Supplier (5)

Supplier 🖘 Download Date

Dodge Data 01/25/2023

Its A Go Logistics LLC 01/26/2023

Onvia, Inc. - Content Department 01/24/2023

Pryco Structural, LLC 02/08/2023

Universal Uplift, LLC 02/10/2023

**Add Supplier** 

## **Supplier Details**

Supplier Name Dodge Data

Contact Name Bonny Mangold

Address 4300 Beltway Place, Ste 150 , Arlington, TX 76018

Email dodge.docs@construction.com

**Phone Number** 413-376-7032

#### **Documents**

Filename Type Action

23-130\_ITB Bid Document / Specifications View

History



#### **Meeting Name**

Meeting Date: August 29, 2023

Bid Item #23-177; Augusta Print Shop – Structural Retrofit

**Department:** Central Services Department

**Presenter:** Ron Lampkin

Caption: Motion to approve the award of bid #23-177, Augusta Print Shop – Structural

Retrofit in the amount of \$93,450.00 to be performed by Contract Management,

Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final

amount with contingency is \$121,485.00

**Background:** The project relates to a structural retrofit of the Augusta Print Shop, located at

712 4<sup>th</sup> Street in Augusta, GA. Work will be performed in accordance to plans

and specification provided by Johnson, Laschober and Associates, P.C.

**Analysis:** Contract Management was the only vendor to respond. The bid was compliant

and was within budget. Central Services recommends award to Contract

Management, Inc.

Financial Impact: \$121,485.00 SPLOST

GL: 330-05-1120

**Alternatives:** A -Award bid

B -Do not award bid

**Recommendation:** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural

Retrofit in the amount of \$93,450.00 to be performed by Contract Management,

Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final

amount with contingency is \$121,485.00

Funds are available

- , ,

\$121,485.00 SPLOST

in the following accounts:

GL: 330-05-1120

## REVIEWED AND APPROVED BY:

#### **Invitation to Bid**

Sealed bids will be received at this office until Wednesday, July 26, 2023 @ 11:00 a.m. via ZOOM Meeting ID: 821 8520 4718; Passcode: 706034 for furnishing:

Bid Item #23-177 Augusta Print Shop – Structural Retrofit for Augusta, GA – Central Service Department

Bids will be received by Augusta, GA Commission hereinafter referred to as the OWNER at the offices of:

Geri A. Sams, Director Augusta Procurement Department 535 Telfair Street - Room 605 Augusta, Georgia 30901

Bid documents may be viewed on the Augusta, Georgia web site under the Procurement Department **ARCbid.** Bid documents may be obtained at the offices of Augusta, GA Procurement Department, 535 Telfair Street – Suite 605, Augusta, GA 30901 (706-821-2422).

A Pre-Bid Conference will be held on Monday, July 10, 2023 @ 10:00 a.m. via Zoom Meeting ID: 838 5310 1413; Passcode: 962395. Optional Site-Visit, Tuesday, July 11, 2023, at the site location. Contact Marie Rivera-Rivera at (706) 821-1629 for additional information.

All questions must be submitted in writing by fax to 706 821-2811 or by email to <a href="mailto:procbidandcontract@augustaga.gov">procbidandcontract@augustaga.gov</a> to the office of the Procurement Department by Wednesday, July 12, 2023 @ 5:00 P.M. No bid will be accepted by fax or email, all must be received by mail or hand delivered.

No bids may be withdrawn for a period of ninety (90) days after bids have been opened, pending the execution of contract with the successful bidder. A 100% performance bond and a 100% payment bond will be required for award.

Invitation for bids and specifications. An invitation for bids shall be issued by the Procurement Office and shall include specifications prepared in accordance with Article 4 (Product Specifications), and all contractual terms and conditions, applicable to the procurement. All specific requirements contained in the invitation to bid including, but not limited to, the number of copies needed, the timing of the submission, the required financial data, and any other requirements designated by the Procurement Department are considered material conditions of the bid which are not waiveable or modifiable by the Procurement Director. All requests to waive or modify any such material condition shall be submitted through the Procurement Director to the appropriate committee of the Augusta, Georgia Commission for approval by the Augusta, Georgia Commission. Please mark BID number on the outside of the envelope.

The local bidder preference program is applicable to this project. To be approved as a local bidder and receive bid preference an eligible bidder must submit a completed and signed written application to become a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project. An eligible bidder who fails to submit an application for approval as a local bidder at least thirty (30) days prior to the date bids are received on an eligible local project, and who otherwise meets the requirements for approval as a local bidder, will not be qualified for a bid preference on such eligible local project.

**GEORGIA E-Verify and Public Contracts:** The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees. They may be exempt from this requirement if they have no employees and do not plan to hire employees for the purpose of completing any part of the public contract. Certain professions are also exempt. All requests for proposals issued by a city must include the contractor affidavit as part of the requirement for their bid to be considered.

Bidders are cautioned that acquisition of BID documents through any source other than the office of the Procurement Department is not advisable. Acquisition of BID documents from unauthorized sources placed the bidder at the risk of receiving incomplete or inaccurate information upon which to base his qualifications.

Correspondence must be submitted via mail, fax or email as follows:

Augusta Procurement Department
Attn: Geri A. Sams, Director of Procurement
535 Telfair Street, Room 605
Augusta, GA 30901

Fax: 706-821-2811 or Email: <a href="mailto:procbidandcontract@augustaga.gov">procbidandcontract@augustaga.gov</a>

No bid will be accepted by fax or email, all must be received by mail or hand delivered.

GERI A. SAMS, Procurement Director

Publish:

Augusta Chronicle June 8, 15, 22, 29, 2023

Metro Courier June 8, 2023



Central Services Department

Ron Lampkin, Interim Director

2760 Peach Orchard Road, Augusta GA 30906 Maria Rivera-Rivera, Deputy Director (706) 828-7174 Phone (706) 799-5077 Fax

#### **MEMORANDUM**

TO:

Ms. Geri Sams, Director, Procurement Department

FROM:

Mr. Ron Lampkin, Interim Director, Central Services Department

DATE:

SUBJECT:

Bid Item #23-177; Augusta Print Shop - Structural Retrofit

On July 26, 2023, the Central Services Department - Facilities Maintenance Division received proposals for bid #23-177; Augusta Print Shop - Structural Retrofit. Contract Management, Inc. submitted the lowest bid for a total of \$93,450.00. This amount falls within the proposed budget for this project.

Central Services recommends award of contract to Contract Management, Inc. for the structural retrofit at the 712 Fourth Street location.

Thank you for your assistance in securing these prices. Please do not hesitate to call if you have any questions or need additional clarification.

cc:

Ron Lampkin Maria Rivera-Rivera CONTRACT MANAGEMENT 1829 KILLINGSWORTH ROAD AUGUSTA, GA 30904 KUHLKE CONSTRUCTION 3704 BENCHMARK DR. AUGUSTA, GA 30909 R.W.ALLEN LLC 1015 BROAD STREET AUGUSTA, GA 30901

ALLEN BATCHELOR CONSTRUCTION 1063 FRANKE INDUSTRIAL BLVD AUGUSTA, GA 30909 RCN CONTRACTING INC 1115 FRANKE INDUSTRIAL BLVD. AUGUSTA, GA 30909

R.D BROWN CONTRACTORS 410 CAROLINA SPRINGS ROAD NORTH AUGUSTA, SC 29841

TWO STATE CONSTRUCTION COMPANY 2292 WASHINGTON ROAD THOMSON, GA 30824 ACC CONSTRUCTION CO 635 NORTHWEST FRONTAGE AUGUSTA, GA 30907

PROQUA CORPORATION 1827 KILLINGSWORTH ROAD AUGUSTA, GA 30904

LARRY PITTMAN AND ASSOCIATES 1249 GORDON PARK RD AUGUSTA, GA 30901 GS ROOFING AND CONSTRUCTION LLC 457 COLUMBIA INDUSTRIAL BLVD EVANS, GA 30809 LARRY MCCORD DESIGN BUILD 2016 HIGHLAND AVE AUGUSTA, GA 30904

J&B CONSTRUCTION & SRVC INC 3550 GORDON HIGHWAY GROVETOWN GA 30813 QUINTECH SOLUTIONS 102 SANGRAEE PARK CT #4 SUMMERVILLE, SC 29486 HORIZON CONSTRUCTION PO BOX 798 EVANS, GA 30809

CONTINENTAL CONSTRUCTION 4190 CROSSTOWNE COURT EVANS, GA 30809 HEAVENER & ASSOCIATES CONSTRUCTION P.O. BOX 14129 AUGUSTA, GA 30919 ATTAWAY CONSTRUCTION ATTN: MELISSA TYLER 4234 WHEELER ROAD MARTINEZ, GA 30907

ROBERTSON RESTORATION 960 HICKMAN ROAD AUGUSTA, GA 30904 B.R. WALDEN CONSTRUCTION 2320 WALDEN DRIVE AUGUSTA, GEORGIA 30904

TWENTIETH CENTURY CONSTRUCTION 2106 KELLY STREET AUGUSTA, GEORGIA 30904

SHEARER CONSTRUCTION ATTN: ROBBIE SHEARER P. O. BOX 2570 EVANS, GA 30809

S. D. CLIFTON CONSTRUCTION 4324 WHEELER ROAD AUGUSTA, GA 30907 SPRATLIN & SON CONSTRUCTION P.O. BOX 66 139 N. PEACHTREE STREET LINCOLNTON, GA 30817

RON LAMPKIN CENTRAL SERVICE MARIA RIVERIA-RIVERIA CENTRAL SERVICE

PHYLISS JOHNSON COMPLIANCE DEPT.

BID ITEM# 23-177
AUGUSTA PRINT SHOP – STRUCTURAL
RETROFIT FOR CENTRAL SERVICE
DEPT
BID DUE: WED. 7/26/23 @ 11:00 A.M.

BID ITEM# 23-177
AUGUSTA PRINT SHOP – STRUCTURAL
RETROFIT FOR CENTRAL SERVICE
DEPT
BID MAILED: 6/08/23

1 of 1

## **Planholders**

Add Supplier

**Export To Excel** 

## Supplier (7)

Supplier ₹↓	Download Date	
ConstructConnect	06/16/2023	4
Direct business worldwide enterprise	06/16/2023	
Dodge Data	06/14/2023	
McKnight Construction	06/13/2023	
Muns Services, LLC	07/21/2023	
Pryco Structural, LLC	07/21/2023	
WOW CK Design LLC	06/13/2023	

**Add Supplier** 

Item 15.

2023-06-12			
WINTER CONSTRUCTION COMPANY 2023-06-12	sgolias@winter-construction.com SGOLIAS, SGOLIAS		
WOODWIND CONSTRUCTION COMPANY INC 2023-06-12	Iberthen@woodwindconstruction.net WOODWIND, WOODWIND	N	NOM
WORLDSCAPES LGP LLC 2023-06-12	worldscapes.bids@gmail.com WORLDSCAPES, WORLDSCAPES	Y	AFA
WURTH USA INC 2023-06-12	daisy.diaz-gleaves@wurthusa.com WURTHUSA1, WURTHUSA1	N	NOM
WURTH USA INC 2023-06-12	doreen.bechard@wurthusa.com WURTHUSA, WURTHUSA		
WURTH USA INC 2023-06-12	scott.newsome@wurthusa.com CARGOSCOTT, CARGOSCOTT		
WURTH USA INC 2023-06-12	thomas.quay@wurthusa.com TQUAY, TQUAY		
Waveshore inc 2023-06-12	danilinares_90@hotmail.com Linares, Daniel	N	NOM
West Peachtree Investments LLC 2023-06-12	jordache690@gmail.com Jordan, Anytwone	N	NOM
Wilcox Lee 2023-06-12	wilcoxlee26@gmail.com Lee, Wilcox	N	NOM
Young & Sons Construction 2023-06-12	1dreddogg@gmail.com Young, Sidney	N	NOM
ZEHNA INC 2023-06-12	kevinc.crr@gmail.com Cash, Kevin	N	NOM
iCrown Consulting LLC 2023-06-12	info@icrownconsulting.com Chisholm, Sanandia	N	NOM
mickey and sons llc 2023-06-12	yereny.diaz@gmail.com diaz, yereny	N	NOM
mr Fix It 30121 LLC 2023-06-12	mrfixit30121@yahoo.com Roney, Amy	Y	AFA
new world restoration llc 2023-06-12	newworldrestoration@hotmail.com zolanich, jonathan	N	NOM
sung h chund 2023-06-12	dannyjon0808@gmail.com jon, danny	N	NOM

ETHNIC GROUP	COUNT
African American	41
Asian American	4
Native American	6
Hispanic/Latino	5
Pacific Island/American	1
Non Minority	291
Not Classified	0
Total Number of Vendors	348
Total Number of Contacts	635



#### **Meeting Name**

Meeting Date: August 29, 2023

Bid Item #23-177; Augusta Print Shop – Structural Retrofit

**Department:** Central Services Department

**Presenter:** Ron Lampkin

Caption: Motion to approve the award of bid #23-177, Augusta Print Shop – Structural

Retrofit in the amount of \$93,450.00 to be performed by Contract Management,

Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final

amount with contingency is \$121,485.00

**Background:** The project relates to a structural retrofit of the Augusta Print Shop, located at

712 4<sup>th</sup> Street in Augusta, GA. Work will be performed in accordance to plans

and specification provided by Johnson, Laschober and Associates, P.C.

**Analysis:** Contract Management was the only vendor to respond. The bid was compliant

and was within budget. Central Services recommends award to Contract

Management, Inc.

Financial Impact: \$121,485.00 SPLOST

GL: 330-05-1120

**Alternatives:** A -Award bid

B -Do not award bid

**Recommendation:** Motion to approve the award of bid #23-177, Augusta Print Shop – Structural

Retrofit in the amount of \$93,450.00 to be performed by Contract Management,

Inc. A thirty percent (30%) contingency of \$28,035.00 was included. The final

amount with contingency is \$121,485.00

Funds are available

in the following

accounts:

\$121,485.00 SPLOST

GL: 330-05-1120

## REVIEWED AND APPROVED BY:



## **Commission Meeting**

September 5, 2023

## **Grant Application Process**

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve tasking the Administrator with compiling a consolidated

listing of grants for commissioners. (Approved by Administrative Services

Committee August 29, 2023)

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

REVIEWED AND APPROVED BY:

N/A

**Lena Bonner** 

Item 16.

From:

Commissioner Stacy Pulliam

Sent:

Thursday, August 17, 2023 8:52 AM

To:

Lena Bonner

Cc:

Natasha L. McFarley

Subject:

Agenda Item

Great Morning,

I would like to add the following item to the agenda:

Information on how the grant application process including seeking grants works.

Best Regards,

Stacy A. Pulliam

Augusta Commission, District 2

(762)328-8256 Mobile

Augusta

This e-mail contains confidential information and is intended only for the individual named. If you are not the named addressee, you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. The City of Augusta accepts no liability for the content of this e-mail or for the consequences of any actions taken on the basis of the information provided, unless that information is subsequently confirmed in writing. Any views or opinions presented in this e-mail are solely those of the author and do not necessarily represent those of the City of Augusta. E-mail transmissions cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or incomplete, or contain viruses. The sender therefore does not accept liability for any errors or omissions in the content of this message which arise as a result of the e-mail transmission. If verification is required, please request a hard copy version.



#### **Administrative Services Committee**

Meeting Date: August 29, 2023

Ratio Study Appeal to Georgia Department of Audits and Accounts

**Department:** Board of Assessors

**Presenter:** Scott Rountree, Chief Appraiser

**Caption:** Request that the Augusta-Richmond County Board of Commissioners

instruct the Board of Assessors, Chief Appraiser and/or their designee to appeal the 2022 Georgia Department of Audits and Accounts (DOAA) Sales Ratio Study, and to 'to refer the question of correctness of the current (2022) equalized adjusted property tax digest of the local school system to the state auditor' as permitted by Georgia Code 48-5-274, and to authorize the Board of Assessors, Chief Appraiser, and/or their designee to act on behalf of

Augusta-Richmond County in any related hearings

**Background:** This item is in reference to the Georgia Department of Audits and Accounts

2022 Sales Ratio Study. The Board of Commissioners' office received the report from DOAA on August 9, 2023. The Board of Assessors requests approval from the Board of Commissioners to appeal the 2022 Sales Ratio

Study for Richmond County properties, conducted by the Georgia

Department of Audits and Accounts.

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** To approve the Board of Assessors request for the Board of Commissioners

to permit an appeal of the 2022 Georgia Department of Audits and Accounts

Sales Ratio Study for Richmond County properties.

Funds are available in N/A

the following accounts:

**REVIEWED AND** N/A

**APPROVED BY:** 



2022 SALES RATIO STUDY · AUGUST 9, 2023

## **Richmond County**

Georgia

Greg S. Griffin | State Auditor Lee Thomas | Sales Ratio Division Director





## DEPARTMENT OF AUDITS AND ACCOUNTS

#### SALES RATIO DIVISION

270 Washington Street, S.W. Atlanta, Georgia 30334-8400

GREG S. GRIFFIN STATE AUDITOR (404) 656-2174 LEE THOMAS DIRECTOR (404) 656-0494

August 9, 2023

As required by Georgia Code 48-5-274, the State Auditor's office hereby delivers to each county and independent school system, the 2022 100% Statewide Equalized Adjusted School Property Tax Digest Report. These digests are subject to change resulting from hearings, arbitrations, or legal requirements. Also included with the report are the Statistical and Computation reports for each school system.

The digests were based on property transfers during 2022. These transfers were supplemented by appraisals. The values of these sales and appraisals were matched to assessments on the 2022 county tax digest.

Each county governing authority, each governing authority of a municipality having an independent school system and each local board of education will have a right, upon written request made within 30 days after receipt of the digest information, to refer the question of correctness of the current equalized adjusted school property tax digest of the local school system to:

Department of Audits and Accounts Sales Ratio Division Lee Thomas, Director 270 Washington Street, S.W. Atlanta, GA 30334-8400

A hearing will be scheduled upon receipt of request. If you have any questions concerning your right for a hearing, please contact Lee Thomas, Director at (404)-656-0494.

If there are any adjustments made due to hearings or arbitrations, a finalized report will be delivered upon completion of all hearings and/or arbitrations. Any counties that have not requested a hearing should consider this their final report.

Item 17.

# NENTMENT OF THE PROPERTY OF TH

## DEPARTMENT OF AUDITS AND ACCOUNTS

## **SALES RATIO DIVISION**

## 2022 SALES RATIO STUDY

121 - RICHMOND COUNTY					COMP	UTATION SHEET
1. STUDY DATA						
NUMBER OF SAMPLES IN ST	UDY					2,141
OVERALL RATIO						35.07
2. ADJUSTED 100% DIGEST C	OMPUT	ATIONS				
PROPERTY CLASS		ASSESSMENT		<u>RATIO</u>		<u>100% VALUE</u>
REAL PROPERTY	=	5,605,710,343	÷	35.07 %	=	15,983,420,573
PERSONAL PROPERTY	=	1,236,160,767	÷	35.07 %	=	3,524,634,030
CURRENT USE PROPERTY	=	14,046,048	÷	40.00%	=	35,115,120
MOTOR VEHICLES	=	43,273,895	÷	40.00%	=	108,184,738
100% VALUE FOR LOCALLY ASSESSED PROPERTY						19,651,354,461
3. 100% VALUE COMPUTATIO	NS					
LOCALLY ASSESSED PROPERTY						19,651,354,461
PUBLIC UTILITY PROPERTY						575,528,462
TIMBER					746,370	
QUALIFIED TIMBER PROPERTY						0
TOTAL 100% ADJUSTED COU	INTY DIG	EST				20,227,629,293

# SUNKTMENTO OF THE STATE OF THE

**TOTAL** 

## DEPARTMENT OF AUDITS AND ACCOUNTS SALES RATIO DIVISION

2022 SALES RATIO STUDY

#### REVENUE STATISTICS REPORT

121-RICHMOND COUNTY

2022 DIGEST - RATIO ANALYSIS							
CLASS	#SAMPLES	LCI	UCI	MEDIAN	AGGREGATE	COD	PRD
RESIDENTIAL	2,056	35.90	36.64	36.23	36.11	17.76	102.71
AGRICULTURAL	2,141	35.77	36.48	36.17	35.79	17.88	103.36
COMMERCIAL	76	31.16	36.57	33.87	33.27	20.02	103.99
INDUSTRIAL	79	31.01	36.20	33.66	33.21	20.22	103.89

PROPERTY CLASS RATIO CALCULATION						
CLASS	2022 ASSESSMENTS	RATIO	M/A	PROJECTED DIGEST	% OF DIGEST	
RESIDENTIAL	3,608,746,636	36.23	M	9,959,610,806	50.89%	
AGRICULTURAL	62,509,594	36.17	M	172,807,962	0.88%	
COMMERCIAL	2,640,378,957	33.87	M	7,795,246,499	37.23%	
INDUSTRIAL	572,558,359	33.66	M	1,701,062,230	8.07%	
PUBLIC UTILITY	207,571,142	35.24		589,021,402	2.93%	
QUALIFIED TIMBER	0	0.00		0	0.00%	
	* *					

35.08

7,091,764,688

20,217,748,899

100.00%

Item 17.



## DEPARTMENT OF AUDITS AND ACCOUNTS SALES RATIO DIVISION

2022 SALES RATIO STUDY

121-RICHMOND COUNTY

## PUBLIC UTILITY EQUALIZATION RATIO CALCULATION

CLASS	2022 ASSESSMENT	RATIO	M/A	PROJECTED DIGEST
RESIDENTIAL	3,591,266,219	36.23	M	9,911,367,422
AGRICULTURAL	62,509,594	36.17	M	172,807,962
COMMERCIAL	2,640,378,957	33.87	M	7,795,246,499
INDUSTRIAL	572,558,359	33.66	M	1,701,062,230
TOTAL	6,866,713,129	35.07		19,580,484,113



121 - RICHMOND COUNTY

Item 17.

Page 1 of 74

Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
00731	AMAYA CAROL F 1 ZACHARY PLACE LLC	1 ZACHARY PL 121119000	02/09/22 0.06	1828 294	RES IMP	\$ 154,406	\$ 49,757	32.22
05845	1008 MAGNOLIA LLC A SOUTH CAROLINA	1008 MAGNOLIA	09/01/22	1857	СОМ	\$ 1,167,805	\$ 527.026	45.13
	1008 MAGNEWCO LLC A GEORGIA LIMITED	019-2-024-00-0~LT 5 , 6	5.18	673	IMP	, , , , , , , , , , , , , , , , , , , ,	, , , , ,	
03073	NEAL JOSEPH R	2232 MCDOWELL	05/13/22	1841	RES	\$ 649,608	\$ 226,193	34.82
	10515 BELLS FERRY LLC AND MICHAEL A	442090000	0.28	2732	IMP		<b>V</b> ===0,100	
05827	COLEMAN VELDA C	1936 FENWICK ST	08/26/22	1857	RES	\$ 53,208	\$ 24,684	46.39
0002.	1736 HOLDINGS LLC	353097000	0.21	650	IMP	<b>\$ 55,255</b>	φ 2 1,00 1	10.00
08117	FRANCIS L LEGRAND JR AND SHIRLEY JEAN P	309 CALVARY	12/05/22	1869	RES	\$ 55.783	\$ 18,525	33.21
	1736 HOLDINGS LLC	862018000	0.29	1133	IMP	<b>,</b> , , , , ,	<b>V</b> 10,0_0	
00761	HUANG FU BIN	1867 CENTRAL AVE	02/21/22	1828	RES	\$ 136,295	\$ 40,124	29.44
	1867 CENTRAL QZB LLC	453033000~LOT 200, SUMMERVILLE	0.17	1331	IMP	, , , , ,	, ,	
00658	CURTIS A BRISCOE AND CURTIS A BRISCOE	1108 13TH ST	02/11/22	1827	RES	\$ 9,193	\$ 1,940	21.10
00000	2 TARAS AND 3RD LLC	463114000	0.10	64	IMP	ψ 0,100	Ψ 1,5 15	21.10
08361	2840 LLC A GEORGIA LIMITED LIABILITY		12/29/22	1870	СОМ	\$ 382,110	\$ 166,322	43.53
00301	2101 CENTRAL AVE LLC A GEORGIA LIMITED	  442141000, 442141010~LT 10,11,12 BLK	0.46	2097	IMP	ψ 302,110	ψ 100,322	40.00
08605	2101 CENTRAL AVE LEG A GLORGIA LIMITED	2283 WRIGHTSBORO RD	0.40	2001	СОМ	\$ 656,323	\$ 201.118	30.64
00003	2283 WRIGHTSBORO ROAD LLC	443108000	0.54		IMP	φ 030,323	\$ 201,118	30.04
00440				4000		¢ 07 000	£ 40 200	50.05
02119	AUGUSTA STEPPINGSTONES TO RECOVERY	2614 COMMONS BLVD	04/22/22	1838	COM	\$ 37,923	\$ 19,320	50.95
21222	2614 COMMONS BLVD LLC	120481000~UNIT B-9		2456	VAC	<b>*</b> *********	<b>*</b> • • • • • • • • • • • • • • • • • • •	4= 00
01966	ELLIS EVELYN D	2715 HAZEL	03/31/22	1836	RES	\$ 134,833	\$ 63,485	47.08
	2715 HAZEL ST LLC	332174000	0.22	692	IMP			
00594	DONAHUE MARK S	309 EIGHTH ST	02/09/22	1826	RES	\$ 760,882	\$ 289,961	38.11
	309 EIGHTH STREET LLC A GEORGIA LIMITED	471124000	0.09	1557	IMP			
01587	MUCHNICK DANIEL W	341 ALEX LN	03/16/22	1833	RES	\$ 160,089	\$ 51,938	32.44
	341 ALEX LANE LLC	122008000	0.10	403	IMP			
08612		1511 FOUR H CLUB RD			COM	\$ 5,258,840	\$ 1,792,446	34.08
	4-H CLUB ROAD PROPERTIES LLC	1710153040	10.00		IMP			
05694	GORDON JEPHREY	822 BROAD ST	08/24/22	1856	COM	\$ 333,779	\$ 77,966	23.36
	822 BROAD LLC	471039000	0.11	779	IMP			
04084	HATCHER PAUL MICHAEL	1212 DANTIGNAC ST	06/21/22	1847	COM	\$ 72,681	\$ 17,616	24.24
	A C INVESTMENTS INC	464021000	0.33	1866	IMP			
00707	HOSEY PRISCILLA A GUNTER	3301 RAVENWOOD	02/08/22	1827	RES	\$ 194,013	\$ 69,494	35.82
	AARON BENJAMIN ATKINS	160048150	0.36	646	IMP			
02745	ROY GOODEN JR	1571 PINE RIDGE DR E	05/02/22	1840	RES	\$ 246,524	\$ 111,216	45.11
	AARON CRAIG STEVENS AND SANDY	2320216000	0.49	552	IMP			
01428	WHITMAG PROPERTIES LLC	812 ONA	03/15/22	1832	RES	\$ 113,099	\$ 37,032	32.74
	AARON DIXON	203144000	0.30	1662	IMP			
03162	RCB CAPITAL LLC	2428 BARTON CHAPEL RD	05/19/22	1842	RES	\$ 93,496	\$ 22,748	24.33
	ACOSTA DAVID	830203000	0.33	2428	IMP	, ,		
06692	FREEMAN JOHN DANIEL IV	2048 WHARTON DR	09/30/22	1862	RES	\$ 47,201	\$ 20,790	44.05
	ACTIVO PROPERTIES LLC	574128000	0.25	649	IMP	•,=•	<b>V</b> ==,, ==	
01186	GRAHAM KEISHA MONIQUE	3610 BREMAN DR	02/07/22	1829	RES	\$ 135.919	\$ 55,722	41.00
01100	ADAIN DAVENLEY	1430880190	0.19	2289	IMP	ψ 100,515	Ψ 55,7 22	71.00
06288	WADE DIANA R WILLIAMS	2934 AYLESBURY DR	09/19/22	1859	RES	\$ 188,803	\$ 83,093	44.01
00200	ADAIR MICHELLE LYNN	403169000~LOT 31, BLK B, AYLESBURY	0.10	2166	IMP	\$ 100,003	\$ 65,095	44.01
00120	HEINEMAN JASON/PIAZZA TRISTAN	3720 HICKORY GROVE RD	12/09/22	1869	RES	¢ 167 240	¢ 65 461	39.12
08138						\$ 167,348	\$ 65,461	39.12
	ADAM A APPLEGATE	1520188000	0.37	484	IMP		<b>*</b> • • • • • • • • • • • • • • • • • • •	0= 44
01078	DANIEL R DURETTE AND AMY DURETTE	916 INMAN	02/24/22	1829	RES	\$ 263,301	\$ 93,302	35.44
	ADAM MICHAEL SEAY AND NUSHKA PEREZ	780134000	0.17	1897	IMP	•	•	
03328	PERDUE JUSTIN GLEN	1 TINKERS CREEK TRL	05/20/22	1843	RES	\$ 275,163	\$ 88,404	32.13
	ADAMS LINDSEY/AGRAN-ST PIERRE DAKOTA	3710008000	3.00	293	IMP			
02943	BARRIENTOS BEATRIZ ALEXIS	2721 BRICKRUN PL	05/10/22	1841	RES	\$ 184,167	\$ 73,720	40.03
	ADAMS SAMUEL R/ADAMS SARA N	131169000	0.10	1562	IMP			
03446	SPARBEL PATRICK	1107 HEARD	05/20/22	1844	RES	\$ 142,479	\$ 63,159	44.33
	ADAMSON PAUL/ADAMSON MEREDITH	442154000	0.17	747	IMP			
04800	CASTLEBERRY JUSTIN	2517 PEACH BLOSSOM PASS	07/05/22	1850	RES	\$ 225,276		7
			1	2254	IMP	ı		253



#### 2022 Sales Ratio Study 121 - RICHMOND COUNTY

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#### Sample Street~Land Lot~Land Dist Sale Date Deed Book Type Sales Assessment Ratio Purchaser / Owner Map/Parcel~SLB **Price** Prop COLEMAN MYRA B 3466 MORGAN RD 00775 02/18/22 1828 RES \$ 180 410 \$ 58.045 32 17 1184002000 1368 IMP AFFET ELIZABETH 1 45 06322 D R HORTON INC 2010 RIVER PARK DR 09/09/22 1859 RES \$ 213,390 \$ 58,771 27.54 AHMED SHARFUN KHAZI SYED/SYED NAYEEM 74055000 0.07 923 IMP LAIRD-KYLLO DEVONNE E 02198 3007 PLUMBRIDGE CT 03/30/22 1838 RFS \$ 186 135 \$71.083 38 19 IMP AIKEN DERICK 1290481000 0.34 420 ROBINSON MICHAEL T 3719 FAIRINGTON DR 01132 02/22/22 1829 RFS \$55.072 \$ 134,265 41 02 IMP AJ REMODELING AND RENOVATIONS LLC 1400099000 0.38 1800 06199 YOUR HOME REALTY LLC 2020 KENNEDY DR 09/12/22 1859 RES \$ 46,343 \$22,985 49.60 712264000 2398 IMP AJC ENTERPRISES LLC 0.40 06926 MIN JIANG 1771 KISSINGBOWER 10/21/22 1863 RFS \$ 88,394 \$ 58,684 66.39 AJC ENTERPRISES LLC AND AF INVESTMENTS 573087000 0.53 1089 IMP 00008 BROMELL LOUIS NELLO 1842 FILIS ST 1819 RES \$8,000 39.86 01/01/22 \$3,189 AJLANI SAFWAN SAID 352257000 0.20 614 IMP JENKINS JAMES 2526 WINTERVILLE DR 11/21/22 08261 1871 RES \$ 214,463 \$80.549 37.56 520594000 IMP AKINS KRIS M/AKINS APRIL 0.55 47 02064 SPENCER DIANE 1701 LUCKEY ST 03/31/22 1836 RES \$ 6.509 \$ 1.451 22.29 ALAM SHAFIN 584522000~LOTS 3 AND 4 0.15 1960 IMP 03874 RUTZAKIS ANGELO 3426 CRANE FERRY RD 06/16/22 1847 RES \$ 150.811 \$48,142 31.92 **IMP** ALBRECHT ILRICHARD 100170000 0.28 673 06348 JACKSON DEBBIE SLIE 4010 NUITE DR 09/23/22 1860 RES \$ 188 803 \$69.840 36 99 IMP ALDIN JOHN-ROSS JONES AND AYANA A 1410451000 0.26 1169 03129 JOSEPH B WARING JR 3390 THAMES PL 05/17/22 1842 RFS \$ 214,286 \$ 93,231 43 51 IMP 1433093000 0.33 1891 ALECIA KENT AND ESSIE CAMP JTWROS 03343 RONALD BURRELL 538 BOY SCOUT 05/24/22 1843 RES \$ 14,729 \$ 39.931 36.89 ALEJANDRO CAPISTRAN 254145000 0.16 1843 IMP MARTIN CRYSTAL DARLENE PHILLIPS 1704 FTHAN WAY RES 08192 12/22/22 1870 \$ 308.092 \$ 108,703 35.28 1523197000~L 17 BL N 0.35 1356 IMP ALEK K NELOMS 07594 SCHAFFER ROBERT J 3403 FOREST ESTATES DR 11/10/22 1866 RES \$ 137,311 \$51,732 37.67 IMP ALEXANDER IV JAMES BISHOP 542030000 0.28 1084 03479 RUSSELL ABIGAIL E MCDOUGAL 3202 NORRIS 06/01/22 1844 RFS \$ 202 640 \$ 54 298 26.80 ALEXANDRA P SUNNENBERG 171196000 0.33 2499 IMP 06838 WILLIAMS JENNIFER NICOLE STEIN 1106 MURPHY 10/18/22 1863 RES \$ 68,656 \$30,382 44.25 ALEXANDRIA R DOWNS 451167000 0.17 737 IMP 06190 GROW ADAM C ROFS AND LYNN M 3612 BERMUDA CIR W 09/22/22 1860 RFS \$ 142 461 47 89 \$ 68.219 ALEXIS M STRANAHAN AND KYLE D 311021000 0.34 1199 IMP 07941 BRUBAKER MARGARET M 2230 OVERTON RD 12/02/22 1868 RFS \$ 283,119 \$ 143,078 50.54 264095000 IMP ALFE DAVID/ALFE CAROLE 0.45 1197 HOMAS WILLIAM HOLMES AND HANNAH 2350 MCDOWELL 02/24/22 1830 RES \$ 487,347 \$ 139,814 01162 28.69 IMP ALFRED P NORDMANN 441166000 0.30 294 2493 CARROLL DR 05041 HANES SHIRLEY A 07/29/22 1853 RFS \$ 45.338 32 02 \$ 141 602 ALICEA JOANA MOORE 2090035000 0.56 96 IMP 02200 FRITZ-PIZZI TINA MARIF 1301 WINDSONG CIR 04/14/22 1838 RES \$ 73 509 \$ 22 261 30.28 60342000 IMP ALL THINGS INVESTMENTS LLC 5 18 418 IMS PROPERTIES LLC RES 07171 2512 TEAKWOOD DR 10/31/22 1864 \$ 102,984 \$33,662 32.69 1530365000 0.37 1804 IMP ALLEN DISHIPES SRIAND XEMIT SHIPES 06544 DUBOSE ELIZABETH JACKSON 3006 BROCKHAM CT 09/19/22 1861 RFS \$ 190.520 \$73.678 38.67 ALLEN DEN-RAY 531123000 0.11 2245 IMP GARDIN TAURUS AND ERICKA ROFS 604 WINDSONG CIR RFS 07066 10/28/22 1864 \$ 22 261 \$ 64 365 34 59 ALLEN T BERRY AND RONI M BERRY JTWROS 60288000 0.48 1071 IMP 06012 ALEXANDER ANGELO ALONZO 3414 STONEY BROOK RD 09/09/22 1858 RES \$ 177,647 \$70,984 39.96 1430234000 0.28 938 IMP ALLYSON LEE FIRELLI 03813 COLLINS KAYLA A/RANDALL H II 2220 SUNNDY DAY DR 06/09/22 1846 RFS \$ 293 038 \$ 126,606 43 20 ALPHA DUMBUYA AND AMBER DUMBUYA 1961011000 0.40 521 IMP RES 04595 IMS PROPERTIES LLC 3714 HICKORY COVE RD 1849 29 14 07/08/22 \$ 127 013 \$37.009 ALTHEA D BURNS 1520185000 2628 IMP 0.36 2126 TURTLE CT 1857 RES ANN MARIE FISHER NKA ANN MARIE RAMOS 08/31/22 \$ 139.028 \$ 33.2 254 73023000 0.07 1547 IMP ALTON THOMAS FISHER AND EDITH LORAINE



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Prop	* Sales Price	Assessment	Ratio
06588	JAMES MATTHEW M ALVAREZ CARMEN	4229 RHENEY RD 2110051000~TRACT 3, RHENEY RD	10/03/22 0.50	1861 1924	RES IMP	\$ 177,647	\$ 54,797	30.85
02799	HINSON BERNARD L ALVAREZ CAROLINA	2157 SILVERDALE RD 1212135000	05/03/22 0.41	1841 177	RES IMP	\$ 168,123	\$ 55,714	33.14
08074	MOORE WALTER JR	1111 EMMETT ST 452222000~88	12/09/22	1869 452	RES	\$ 115,856	\$ 29,208	25.21
06051	ALVITER REAL ESTATE SERVICES LLC MARY MARGARET DEREMER	2407 FAIRMONT ST	0.12	1858	RES	\$ 130,017	\$ 60,272	46.36
00031	AMBER CRIDER AND ROBERT CRIDER JR AS	853202000	0.37	1312	IMP	ψ 130,017	Ψ 00,272	40.50
04877	OSBORN MANOR FARMS INC	248 ELLIS ST	07/14/22	1851	RES	\$ 3,862	\$ 1,523	39.44
	AME OLDE TOWN II LLC A GEORGIA LIMITED	472284000	0.12	2607	VAC			
03853	LONG CARPENTER LLC	1070 CLAUSSEN RD	06/14/22	1846	СОМ	\$ 1,154,111	\$ 545,328	47.25
	AMERCO REAL ESTATE COMPANY	70208000~LT 26 BLK C SCT II	10.76	1535	VAC			
03302	NANCY L HOEHN	1519 JOHNS	05/25/22	1843	RES	\$ 165,786	\$ 57,704	34.81
05400	AMIE C GEER	443237000	0.17	2247	IMP	<b>*</b> 0.4.000	A 00 740	00.05
05190	NOMAR INV LLC ANC REAL ESTATE SERVICES LLC	3328 HILLIS RD 1080176000	07/11/22	1853 2718	RES	\$ 34,328	\$ 22,743	66.25
05200	WARREN KIMBERLY C BRYANT	3152 BILSTON DR	08/04/22	1853	RES	\$ 193,094	\$ 73,582	38.11
00200	ANDERSON ANTHONY M	403195000~LOT 96, BLK E, AYLESBURY	0.14	1811	IMP	Ψ 155,054	ψ 70,302	30.11
02602	LEVERETT WILLIE JR	4124 SYLVANIA CT	04/22/22	1839	RES	\$ 145,917	\$ 46,456	31.84
	ANDERSON ASIAREE R	1530034000	0.45	1016	IMP		, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
05509	RINGCARIO PROPERTIES LLC	2243 OVERTON RD	08/10/22	1854	RES	\$ 227,422	\$ 84,402	37.11
	ANDERSON KATHERINE	264043000~LOT 20, BLK I, COUNTRY	0.39	2534	IMP			
01212	MCNEELY WILLIAM M	1287 BROWN RD	02/11/22	1830	RES	\$ 208,056	\$ 58,146	27.95
	ANDERSON TABITHA B	2160002110~LOT 1, BLOCK B, SEC I OF	2.16	713	IMP			
06300	EZZELL GREY THOMPSON	1726 PENNSYLVANIA AVE	09/23/22	1860	RES	\$ 180,221	\$ 58,450	32.43
	ANDERSON TATIANA	434080000~44	0.17	1698	IMP			
00858	DEASE ALICIA R	3221 RIVERSTONE DR	01/31/22	1829	RES	\$ 275,335	\$ 84,892	30.83
04070	ANDERSON TYANNIA L	43008000	5.18	16	IMP RES	£ 404 020	f c2 c0c	24.00
04278	GUPTA SHRUTI ANDERSON WENDELL S	118 YORK WAY 181035000	06/30/22	1848 1839	IMP	\$ 181,938	\$ 63,606	34.96
03214	ELIM TARYL R ALEXANDER	1605 STAYMAN PL	05/09/22	1843	RES	\$ 80,025	\$ 21,325	26.65
002	ANDREVY SOLUTIONS LLC	1234055000	0.23	220	IMP	00,020	\$21,020	20.00
04103	BOLTON HENRY L AND MOZELLA	3504 GREENWOOD DR	06/28/22	1848	RES	\$ 141,003	\$ 48,616	34.48
	ANDREW ALVAREZ	1430033000	0.35	688	IMP			
01612	JACOBSON JESSICA LYNN	2040 GLENNFIELD LN	03/21/22	1833	RES	\$ 227,408	\$ 61,464	27.03
	ANDREW DOAK	124012000	0.10	977	IMP			
00582	DEBRA M PUGH	2807 ANNE	02/11/22	1827	RES	\$ 58,546	\$ 18,973	32.41
	ANDREW JACOB MUELLER AND SABRINA	974256000	0.28	924	IMP			
02072	LORETTA C FENTON	776 BENNOCK MILL 3040007010~PROPERTY 1	04/11/22 22.98	1836 1285	AGR VAC	\$ 86,621	\$ 33,702	38.91
04190	ANDREW JEFFERSON II TRAVIS JEFFERSON MARCUS WAYNE AMICK	1342 OAKRIDGE PLANTATION RD	06/22/22	1847	RES	\$ 242,060	\$ 94,913	39.21
04130	ANDREW MICHAEL ROSS	2700131000	0.68	2777	IMP	Ψ 242,000	Ψ 54,516	00.21
01325	PRIDE JABARI A	112 WATKINS	03/02/22	1832	RES	\$ 47,637	\$ 21,856	45.88
	ANDREW PRIDE JR	611046000	0.18	1077	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
07326	KLETT JAMES F ROFS/DEBRA K	3202 WISTERIA CT	11/04/22	1865	RES	\$ 266,041	\$ 90,753	34.11
	ANDREW R ROBINSON AND ALLISON	113221000	0.36	1215	IMP			
00255	CALEB J MENTZER	2528 CENTRAL	01/11/22	1822	RES	\$ 251,999	\$ 76,618	30.40
	ANDREW SWILLING	441228000	0.17	2697	IMP			
02610	GLADSTONE LINDSAY	3317 BLANCHARD RD	04/26/22	1839	RES	\$ 107,128	\$ 29,074	27.14
0.5	ANDREW WALLER AND OCTAVIA WALLER	1080097000	0.24	91	IMP	A . =	<b>A</b> = · · ·	
06250	SCENIC LAND HOMES LLC	3317 BLANCHARD RD	09/27/22	1860	RES	\$ 150,270	\$ 50,324	33.49
03430	ANGEL MOODY AKA ANGEL MOODY BELL	1410324000	0.25	1426	IMP	¢ 272 422	¢ 112 602	11 62
03430	LEDARRELL O CALVIN ANGELA DUBOIS AND ANTHONY DUBOIS	4014 PULLMAN CIR 790105000	06/01/22 5.18	1844 2352	RES	\$ 273,123	\$ 113,692	41.63
01716	ERIC E HARDIMAN	3008 VASSAR	03/25/22	1834	RES	\$ 272,440	\$ 120,455	44.21
0.710	ANGELA M KIM AND SEUNG HWAN KIM	253062000	0.65	719	IMP	Ψ 2, 2, 7, 40	Ψ 120,433	-7.21
06287	JEWETT WILLIAM A	2034 LILLIAN DR	09/15/22	1859	RES	\$ 180,221	\$ 55,6	b
	ANGELA S HICKSON	122226000	0.12	743	IMP			255



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
07980	FERRELL JOAN ANGELO HOLDINGS LLC	844 BROOKFIELD PKWY 60133000	11/15/22 0.35	1869 82	RES IMP	\$ 150,184	\$ 72,522	48.29
00931	CARPENTER HA N	2101 RESERVE LN	02/22/22	1828	RES	\$ 187,012	\$ 63,442	33.92
	ANKIT J PATEL AND KANAN A PATEL JTWROS	73143000	0.05	2416	IMP	V 101,012	<b>\$</b> 55,1.2	00.02
03807	DANIEL RYAN GREENE	9061 BREVARD	06/08/22	1846	RES	\$ 247,774	\$ 89,188	36.00
00001	ANTHONY ALEXANDER NANES AND	653221000	0.19	481	IMP	Ψ2,	ψ 33,133	00.00
05789	JOSHUA CHARLES ROESCH AND BROOKE	8022 CRAWLEY	09/02/22	1857	RES	\$ 248,877	\$ 91,654	36.83
03703	ANTHONY STEPHEN GONZALES	640105000	0.21	1599	IMP	\$ 240,077	\$ 91,034	30.03
07809	SMITH HORACE D AND EBONY P	1616 CHASE CREEK	11/21/22	1867	RES	\$ 450,553	\$ 187.196	41.55
07009	ANTONIO BRADLEY AND JASMINE BRADLEY	780167000	0.39	57	IMP	\$ 450,555	\$ 167,190	41.55
03561	MICHAEL GIBSON	4237 BATH EDIE RD	06/01/22	1844	RES	¢ 190 424	¢ 40 607	25.70
03361			1			\$ 189,424	\$ 48,687	25.70
	ANTONIO D HARGROVE	2460034000	1.43	2434	IMP			
06192	LEE VIRGINIA B	1313 BEMAN	09/13/22	1860	RES	\$ 68,913	\$ 39,998	58.04
	APOLLO HB AUGUSTA LLC	453197000	0.17	1418	IMP			
03483	SEARLES DORIS	3004 GRIFFIS CT	05/31/22	1845	RES	\$ 74,956	\$ 36,841	49.15
	APOLLO HB AUGUSTA LLC	1070643000	0.22	1638	IMP			
04230	WATTS ANGELA	1805 HAVERHILL CT	06/01/22	1848	RES	\$ 69,602	\$ 20,922	30.06
	APOLLO HB AUGUSTA LLC	1113087000	0.31	2217	IMP			
01663	HALKEN INVESTMENT PROPERTIES OF EVANS	1408 RANCH	02/18/22	1833	RES	\$ 84,672	\$ 37,854	44.71
	APOLLO HB AUGUSTA LLC	412243000	0.20	724	IMP			
01037	HOWARD GLENDA	2904 ABELIA DR	02/25/22	1830	RES	\$ 62,184	\$ 19,377	31.16
	APOLLO HB AUGUSTA LLC	1102272000	0.24	2664	IMP			
03341	NAKRE LLC	1659 KENTUCKY	05/13/22	1843	RES	\$ 65,319	\$ 34,832	53.33
	APOLLO HB AUGUSTA LLC	563037000	0.55	2074	IMP			
00047	CAISON KATHRYN S	604 BOURNE	01/04/22	1821	RES	\$ 423,996	\$ 105,036	24.77
	AQUINDE CATHY C/AQUINDE DEXTER N	351183000	0.63	2528	IMP			
06369	CRYSTAL L EDWARDS AKA CRYSTAL L	3402 BUCKDEN	09/23/22	1860	RES	\$ 211,116	\$ 73,109	34.63
	AR'SHAWNNA D WHITE	403173000	0.10	843	IMP			
07886	DOUGLAS PATRICK P	2202 RICHMOND	11/30/22	1868	RES	\$ 351,860	\$ 131,205	37.29
	ARDREY BRANNON MELISSA/ARDREY	444115000	0.20	1545	IMP			
06722	STONE JULIA L	3322 SUGARBERRY DR	10/05/22	1862	RES	\$ 158,251	\$ 60,984	38.54
	ARGERICH 2022-1 LLC	403104000	0.26	639	IMP			
06819	RINGER JOBE A	3509 DAYTON ST	10/14/22	1862	RES	\$ 124,438	\$ 49,186	39.53
000.0	ARGERICH 2022-1 LLC	1300115000	0.25	2416	IMP	<b>\$ 12.1, 100</b>	<b>\$</b> 10,100	00.00
06959	LOFTIN CASSANDRA G	2626 CRANBROOK DR	11/02/22	1865	RES	\$ 133,020	\$ 36,090	27.13
00000	ARGERICH 2022-1 LLC	1300356000	0.22	773	IMP	ψ 100,020	ψ 30,030	27.10
06276		4119 COUNTRY LN				¢ 120 457	¢ 40 407	20.02
00370	HOVERSLAND HEATHER LAURA	1530229000	09/23/22	1860 950	RES IMP	\$ 139,457	\$ 40,197	20.02
00405	ARGERICH 2022-1 LLC					£ 447.404	£ 44 C4C	25.55
00465	VENTURA RIVERA	3606 LONDON	01/31/22	1825	RES	\$ 117,164	\$ 41,646	35.55
	ARICH REAL ESTATE LLC	830186000	0.44	1199	IMP	<b>*</b> 1=0 10=	0 = 1 0 1 =	
06308	XIE KUN	1036 BROOKWOOD DR	09/06/22	1859	RES	\$ 172,497	\$ 71,947	41.71
	ARID LLC	131085000	0.46	1452	IMP			
03458	YOLANDA J AKPER	1848 HEATHERS	06/03/22	1845	RES	\$ 204,036	\$ 83,557	40.95
	ARIONE S WIMBERLY	1834005000	0.24	267	IMP			
05991	BROWN ROBERT E AND MELISSA Y	1006 WALLIE	09/02/22	1857	RES	\$ 128,729	\$ 44,995	34.95
	ARNGLETTA THOMAS	1540321000	0.37	2182	IMP			
01169	SHARREN BRUNSON AND LILLIE MAY	1711 RUSK	02/22/22	1829	RES	\$ 134,265	\$ 62,025	46.20
	ASA EELLS	2130131000	0.37	2151	IMP			
03038	LEEKING NINA SUE	3323 KENNY RD	05/06/22	1842	RES	\$ 36,061	\$ 14,477	40.15
	ASCA ENTERPRISES LLC	693016000~LOT B	0.28	1658	IMP			
03520	SHANTHI SHAVER FKA SHANTHI	1133 EISENHOWER	06/06/22	1845	RES	\$ 236,818	\$ 73,473	31.03
	ASHLEY CLEMENT	134198000	0.29	1780	IMP			
07618	DOROODCHI ATBIN	936 BROAD ST	11/16/22	1866	RES	\$ 185,370	\$ 74,299	40.08
	ASUMDA FAIZAL ZANGWIO	373252000	0.02	1180	IMP			
04231	THIBODEAU STEVE D	2427 PLANTATION	06/03/22	1848	RES	\$ 7,915	\$ 4,800	60.64
	ASWARNAUTH TREVOR	1790076000	0.39	2311	VAC	\$ 7,070	,,,,,,,,	55.64
00940	TAFAZOLI MARIAM L	2111 WOODLAND AVE	02/18/22	1828	RES	\$ 154,431	\$ 44,3	ŀ
00340		572020010	0.22	2688	IMP	ψ 134,431		256
	ATBH HOLDINGS LLC	012020010	0.22	2000	HVII			



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
01240	BILLIPS ELIZABETH ATBH HOLDINGS LLC	1701 HOLLY HILL RD 572165000	02/18/22 0.25	1829 1772	RES IMP	\$ 146,733	\$ 42,995	29.30
02014	HOWE JARIUS D AND SADEARA FLETCHER ATHA TECHNOLOGIES LLC	1118 FOX DEN 1650083000	04/01/22 0.79	1835 2778	RES IMP	\$ 202,543	\$ 73,890	36.48
03197	HARRELL CARA S ATKINS HAROLD K JR/SAULSBERY BRIDGITTE	605 CALDWELL 233002000	05/13/22 0.06	1843 464	RES IMP	\$ 152,322	\$ 55,090	36.17
03718	COLOHAN SR RICHARD N AUGUSTA CAPITAL GROUP LLC	247 ELLIS 472191000	06/08/22	1846 456	RES IMP	\$ 74,420	\$ 42,054	56.51
02788	CRAWFORD LAWRENCE C AUGUSTA CASKET CO LLC	2721 PEACH ORCHARD RD 983241000~TRCT B	04/28/22	1839 2233	COM	\$ 89,801	\$ 38,012	42.33
02066	RENDITION PROPERTIES LLC AUGUSTA EVENTS LLC	401 WARREN 171092000~LT 1 BLK A	03/29/22	1836 1625	COM	\$ 191,861	\$ 47,940	24.99
04583	RILLMAN JAMES KELLY AUGUSTA GA RENT LLC	1215 PINE ST 464747000~LOT 4, WEST PINE LANE	06/29/22	1849 2340	RES	\$ 197,566	\$ 81,229	41.11
01215	FOUR G HOLDINGS LLC	2921 WHISTLER 1091056000	02/28/22	1829 2707	RES IMP	\$ 57,258	\$ 19,228	33.58
04334	AUGUSTA PRESERVATION INVESTMENTS LLC C E PROPERTY INVESTMENTS LLC AUGUSTA PRESERVATION INVESTMENTS LLC	1619 APPLE VALLEY 1233106000	07/01/22	1849 266	RES IMP	\$ 64,365	\$ 29,231	45.41
02335	FU'S MANAGEMENT LLC AUGUSTA PRESERVATION INVESTMENTS LLC	2404 WIMBERLY 864141000	04/13/22 5.18	1836 2588	RES IMP	\$ 80,469	\$ 34,356	42.69
01222	MOON WANDY AUGUSTA PRESERVATION INVESTMENTS LLC	2812 GLENN HILLS 843226000	03/07/22 5.18	1830 2068	RES IMP	\$ 80,647	\$ 27,909	34.61
00227	ADELAIDE TURNER AUSTIN JAMES	2606 PARKWAY 562136000	01/19/22 0.25	1823 1787	RES IMP	\$ 147,873	\$ 32,728	22.13
06438	BOWMAN DEBORAH H TUCKER AUSTIN KAPLAN	4208 ERVAY 1540053000	09/22/22 0.44	1860 464	RES IMP	\$ 90,111	\$ 38,513	42.74
00865	PRATHER LARRY S SR AV3 PROPERTIES LLC A MARYLAND LIMITED	1291 1295 INTERSTATE 220122000,123000	02/23/22 2.04	1828 2785	COM IMP	\$ 1,316,532	\$ 495,783	37.66
00832	SEYMORE DANA T AYCOCK BROTHERS LLC	2546 SHERATON DR 973156000	02/08/22 0.23	1827 2553	RES IMP	\$ 53,354	\$ 14,332	26.86
00759	SUNBELT PROPERTY INVESTMENTS LLC A AYCOCK BROTHERS LLC A GEORGIA LIMITED	1706 KENTUCKY AVE 563069000	02/18/22 0.23	1828 574	RES IMP	\$ 48,109	\$ 19,295	40.11
05109	HOWARD MARION AYCOCK BROTHERS LLC A GEORGIA LIMITED	2353 HENRY CIR 972034000	08/09/22 0.36	1853 2673	RES IMP	\$ 44,626	\$ 27,180	60.91
06749	COMBS MICHAEL B D ASSETS LLC	1429 STOVALL 443077000	10/07/22 0.17	1862 1518	RES IMP	\$ 223,131	\$ 82,536	36.99
02907	NARVARTE MIGUEL BAISLEY JASON MICHAEL/PAULS-BAISLEY	2220 WINSTON WAY 1310070000	05/10/22 0.24	1841 609	RES IMP	\$ 112,297	\$ 46,450	41.36
04903	MASON JACK AND NEDRA A BAMCO ENTERPRISES LLC	927 MOLLY POND 733013000~TRCT C	07/27/22 5.42	1852 1672	COM IMP	\$ 140,895	\$ 62,571	44.41
02147	KELSEY REAL KENNEDY AND MICHAEL BARBARA M YANCEY AND DAVID AR YANCEY	3073 WHEELER 253023000	04/11/22 0.36	1836 2552	RES IMP	\$ 277,287	\$ 84,149	30.35
07150	MARSHALL RUBERT REESE SR BARLETT DONNA LORRAINE	1200 AZALEA DR 134161000	10/18/22 0.34	1863 1967	RES IMP	\$ 115,856	\$ 68,714	59.31
01602	DAVID W GUTIERREZ BARNEE C BAXTER III AND SETH TOPOREK	866 HICKMAN 353330000	03/07/22 0.20	1832 2194	RES IMP	\$ 194,503	\$ 47,491	24.42
06407	ANTHONY JOSEPH BOUFFLER AND PETER BARNETT WINTON	1025 BROOKWOOD DR 133109000	09/09/22 0.37	1859 2595	RES IMP	\$ 313,242	\$ 110,095	35.15
05680	HENLEY JACK WARFORD III BARR JOY ELIZABETH/BARR MICHAEL JOSEPH	329 TELFAIR ST 474072000	08/19/22 0.15	1856 128	RES IMP	\$ 225,706	\$ 70,046	31.03
01796	KIRVEN DAVID B BARROW JAMES ALLEN	3337 WEDGEWOOD 412108000	03/25/22 0.25	1834 2118	RES IMP	\$ 93,461	\$ 46,197	49.43
00922	MORGAN JAMES R AND KATHERINE N BARRY L GOFF JR	1073 WOODBERRY DR 2140238000	02/18/22	1829 881	RES	\$ 96,219	\$ 50,834	52.83
07574	BONSER ROBERT BARTOCCI KRYSTYNA MARIE/BARTOCCI PAUL	1322 LAUREL	11/10/22	1866 1931	RES IMP	\$ 120,147	\$ 33,433	27.83
04715	MARCH CHARLENE C BURKE	2615 SPIRIT CREEK RD	07/15/22	1851 516	RES IMP	\$ 154,389	\$ 58,5	257



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Sample	e Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
01216	TRUST-N-CARE SERVICES OF AMERICA INC BASKETT HAROLD	1899 CENTRAL AVE 453031000	02/28/22 0.23	1829 2643	COM IMP	\$ 170,252	\$ 44,771	26.30
07525	NORTH ATLANTIC CONSTRUCTION LLC BASSAM SEIFELDEIN AND SALMA OSMAN	2820 FAIRMONT 851263000	11/14/22 0.21	1866 1235	RES IMP	\$ 88,154	\$ 27,692	31.41
05944	VELEZ NAFTALI	2903 PLEASANT COVE CT	08/26/22	1857	RES	\$ 238,493	\$ 86,182	36.14
	BASSETT GRACE HOGLUND/BASSETT	162123000	0.20	2301	IMP			
05688	BOYLE AUSTIN O	3103 BRANSFORD RD	08/24/22	1856	RES	\$ 330,405	\$ 112,218	33.96
	BATTLE JULIAN THOMAS	333104000~LOTS 4, 5 & 6, BLOCK C,	0.31	794	IMP			
06832	GRANGER DOUGLAS S	3635 PAMPLONA DR	10/19/22	1863	RES	\$ 158,766	\$ 52,427	33.02
	BAYTON TURNER PAULETTE EM	1410118000	0.22	1217	IMP			
07029	JONES INVESTMENT GROUP LLC BCL INVESTING LLC	1116 KIRK PL 324062000	10/27/22 0.45	1864 2464	RES IMP	\$ 171,639	\$ 64,993	37.87
00707						<b>↑ 54,400</b>	¢ 00 000	50.45
06737	A B E PROPERTIES LLC	2909 DAHLIA DR	09/21/22	1862 414	RES IMP	\$ 51,492	\$ 26,862	52.17
00554	BCL INVESTING LLC	1190181000	0.31			0.00.054	# 00 0 <b>7</b> 0	00.00
02554	R2D2 LLC BDC ESTATES LLC	2117 KENNEDY DR 712223000	04/22/22	1839 1272	RES IMP	\$ 62,054	\$ 20,972	33.80
02242		1213 MAGNOLIA DR				¢ 204 074	\$ 65.315	22.40
03342	GORDON JEFFREY W		05/16/22	1843	RES	\$ 201,071	\$ 65,315	32.48
07044	BEARD RACHEL NICOLE/JONG DION DE	134168000	0.26	1132	IMP	£ 457.000	₾ 04 EE0	20.00
07944	PRYOR PATRICIA E BEARDEN FREDERICK D	4704 CAHILL CT 1400815000	11/30/22 0.35	1868 1079	RES IMP	\$ 157,908	\$ 61,558	38.98
03277	MAYEDA PATRICK	760 OXFORD RD	05/18/22	1842	RES	\$ 242.465	\$ 103,111	42.53
03211	BEARDSLEY CONNIE PRICKETT/BEARDSLEY	322032000~19, D	0.31	2181	IMP	Ψ 242,403	Ψ 103,111	42.50
02773	JONES CAROLINE BELL	802 AUMOND	04/29/22	1840	RES	\$ 428,123	\$ 166,472	38.88
02110	BEATTY ALLISON S/BEATTY ADAM W	322118000	0.82	1006	IMP	ψ 420,120	ψ 100,472	00.00
02688	WINCHESTER HOMES OF GA INC	1106 GEORGE W CRAWFORD DR	04/28/22	1839	RES	\$ 255,245	\$ 112,159	43.94
02000	BEATY-STEWART ENOTRA KAREN	663062000~LOT 74, BLK B, GOVERNORS	0.4/20/22	2732	IMP	\$ 255,245	φ 112,139	43.92
03940	BYRD CASEY D	3406 LINDERWOOD DR	06/03/22	1846	RES	\$ 193,483	\$ 74,024	38.26
	BECK CANDICE CHARLENE/BECK KILAND	1430488000	0.38	1754	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, ,	
08429	MILLER KENNETH J	416 DUNBARTON RD	12/22/22	1871	RES	\$ 197,385	\$ 80,347	40.71
	BEHM LINDA H	113266000	0.17	477	IMP			
04397	MARVIN DAVIS	2105 STEVENS RD	07/06/22	1849	RES	\$ 17,164	\$ 5,746	33.48
	BELINDA WIDENER	871057000	5.18	842	IMP			
03319	BRUNACHE RAMSES	3201 WAVERLY LN	05/12/22	1843	RES	\$ 286,975	\$ 133,400	46.48
	BELL AUNJERIKA/BELL MALCOLM	653060000	0.23	255	IMP			
02988	ECKERSON ANNE	2236 SULLIVAN RD	05/12/22	1841	RES	\$ 22,868	\$ 11,782	51.52
	BELL BETTY JEAN	723213000	5.18	2685	IMP			
01129	BALL CHRISTOPER ALAN	404 OSPREY DR	03/07/22	1830	RES	\$ 189,759	\$ 45,503	23.98
	BELL LEAH M/BELL LESLIE D	160150000	0.39	1629	IMP			
06871	AYANA M BRACERO	199 SIMS	10/20/22	1863	RES	\$ 233,429	\$ 94,198	40.35
	BENIEL J MURRY	800117000	0.17	800	IMP			
00379	THOMAS E GUILLEBEAU AND TINA MARIE	1948 KISSINGBOWER	01/28/22	1825	RES	\$ 80,256	\$ 27,025	33.67
	BENJAMIN BOONE MAYES III	861012000	0.40	623	IMP			
02375	KRISTY REECE AKA KRISTY A HARDIN	3201 NORRIS 171188000	04/12/22	1837 1455	RES IMP	\$ 230,108	\$ 62,498	27.16
05978	BENJAMIN J CAVISTON THOMPSON CALVIN E	2577 SAN SEBASTIAN CT	0.33	1858	RES	\$ 98,693	\$ 55,631	56.37
03976	BENNETT UNLIMITED LLC	1410135000	0.26	100	IMP	φ 90,093	\$ 55,651	30.37
06213	STRASSER RENATE PRICE	467 FOREST HILLS DR	09/13/22	1860	RES	\$ 109,420	\$ 39,488	36.09
00210	BENTLEY CHRISTOPHER/BENTLEY KRISTEN	314047720	0.03	1619	IMP	ψ 100, 120	ψ σσ, 1σσ	00.00
03360	ROSENZWEIG DENISE D	1913 OHIO AVE	05/27/22	1843	RES	\$ 137,172	\$ 44,041	32.11
	BENTON CONSTANCE COSTEN	434042000	0.17	2770	IMP	*,	• • • • • • • • • • • • • • • • • • • •	
00059	IRIZARRY ALAN M	4414 BERN CT	01/07/22	1822	RES	\$ 199,055	\$ 68,438	34.38
	BERNARD KELSEY JR AND LATOYA TUCKER-	1400382000	0.56	559	IMP		,	
08585	LAW HEATHER SCOTT	1130 TURPIN ST	12/16/22	1875	RES	\$ 38,619	\$ 24,131	62.49
	BEST CHOICE PROPERTIES LLC	722030000	0.16	52	IMP			
08003	LYNCH MELBA MELVA LOIS	825 1ST ST~LOT 40	12/14/22	1869	RES	\$ 43,414	\$ 20,235	46.61
	BETHEA CHRISTOFERR ORBEN/BETHEA	602073000~NORTHMOST 12 FEET OF	0.17	246	IMP	,		
07157	LINDA J MCINTOSH AND HELEN HENDEE	828 BARRETT	10/24/22	1863	RES	\$ 424,807	\$ 102,2	
	1	1	1	2449	IMP	1		258



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01561	BALKCUM RICHARD L BILAL M HAROON AND MELILA MCSTRAVICK	4664 MIKE PADGETT HWY 2790037000	03/21/22 0.52	1833 393	RES VAC	\$ 4,220	\$ 2,280	54.03
01397	JASMINE JILES	3552 GARDENBROOK DR	03/11/22	1831	RES	\$ 72,950	\$ 28,503	39.07
01001	BIQUIELLIA HARMON	1200439000	0.22	1804	IMP	ψ 72,000	Ψ 20,000	00.07
04535	TROTTER PAUL G	3023 BRANSFORD RD	07/12/22	1850	RES	\$ 952,598	\$ 251,297	26.38
04000	BIRD BRENTON TAYLOR/BIRD CARTER	333130000~PART OF 13 & 14 - 10	0.46	474	IMP	ψ 932,390	Ψ 231,297	20.50
02109	JACKSON QUINCY L	5142 COPSE	03/28/22	1836	RES	\$ 256.369	¢ 04 560	36.89
02109	BIRKENTALL JOHN CHARLES	653239000	0.21	1204	IMP	\$ 250,509	\$ 94,569	30.08
00007						₾ 70.047	¢ 00 000	FO 40
06267	ARNOLD CHARLES F BJA LLC	207 PINEVIEW DR 1710131000	09/20/22	1859 2403	RES IMP	\$ 72,947	\$ 38,288	52.49
03494	KEALY CAROLINE E STEWART	2624 SPRINGWOOD DR	06/01/22	1844	RES	\$ 242,287	\$ 67,278	27.77
00 10 1	BLACK CASSIE HODGES	132109000~1, 21	0.27	1792	IMP	Ψ Σ 12,207	ψ 07,270	
05725	TRICARE ASSOCIATES LLC	3604 WHEELER	08/08/22	1856	COM	\$ 360,820	\$ 145.050	40.45
05725			1	1860	IMP	\$ 360,620	\$ 145,950	40.45
2.4700	BLACK DOOR REALTY LLC	310163000,164000~LT 3, 4 OF PARCEL E	0.64			# 004 0 <del>7</del> 0	<b>#</b> 440 500	40.00
04733	PENROW ROBERT B	426 AUMOND RD	07/22/22	1851	RES	\$ 224,676	\$ 110,588	49.22
	BLACK RHETT BRANDON	251231000	0.39	1737	IMP			
05139	BRANTLEY CHADWICK TURNER	2263 OVERTON RD	08/08/22	1854	RES	\$ 236,004	\$ 101,139	42.85
	BLACKER STEPHANIE SHOWMAN/BLACKER	261013000	0.38	789	IMP			
)2412	DOWNS RYAN M	2215 TERRACE RD	04/21/22	1838	RES	\$ 388,170	\$ 140,827	36.28
	BLALOCK IV CLARENCE A	264141000	0.46	249	IMP			
03930	DUGGAN ASA D JR	2602 WOODBLUFF CIR	06/17/22	1847	RES	\$ 230,136	\$ 80,520	34.99
	BLOCK JAMES/BLOCK ISABELLA RAYMOND	180302000	0.16	411	IMP			
02549	SASLONA BRIAN K	1025 CEDARVIEW CIR	04/25/22	1839	RES	\$ 165,655	\$ 55,695	33.62
	BLOUNT TAMARA	2130187000	0.37	113	IMP			
07115	JACKSON LYNDA C	313 ALEX LN	10/11/22	1863	RES	\$ 137,311	\$ 49,815	36.28
	BMH H LP	122022000	0.06	2362	IMP			
03160	OWENS ISHEKA	2312 PEACH BLOSSOM PASS	05/19/22	1842	RES	\$ 298,580	\$ 112,691	37.74
	BNTR SFR OWNER LLC	1961045000	0.27	2426	IMP			
03083	JACKSON LEONARD	3232 WOODLANDS DR	05/13/22	1842	RES	\$ 264,323	\$ 94,680	35.82
	BNTR SFR OWNER LLC	1513001000	0.23	11	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, , , , , , , , , , , , , , , , , , , ,	
03292	MCKENZIE XIU L	1156 ROSLAND CIR	05/23/22	1843	RES	\$ 254,894	\$ 95,942	37.64
00202	BNTR SFR OWNER LLC	790057000	0.18	1195	IMP	Ψ 20 1,00 1	Ψ 00,0 12	01.0
03780	POLLARD RYAN T	1811 EVA LN	06/08/22	1846	RES	\$ 209.689	\$ 69,806	33.29
03700	BNTR SFR OWNER LLC	1523080000	0.54	142	IMP	ψ 209,009	ψ 09,000	33.23
03353	BAUHY JENNIFER	2031 BASSFORD DR	05/26/22	1843	RES	\$ 178,925	\$ 63,414	35.44
03333		1640096000	0.30	2523	IMP	\$ 176,925	\$ 03,414	33.44
00005	BNTR SFR OWNER LLC					# 0.47 F00	<b># 05 750</b>	00.00
03025	FERGUSON MARK	5258 COPSE DR	05/13/22	1842	RES	\$ 247,523	\$ 95,756	38.69
	BNTR SFR OWNER LLC	653322000	0.19	174	IMP			
05849	ALLEN TIA R	3802 CREIGHTON PL	08/29/22	1856	RES	\$ 151,042	\$ 46,068	30.50
	BNTR SFR OWNER LLC	1700036000	0.28	2276	IMP			
02809	LOWERY DONALD	912 INMAN DR	05/06/22	1841	RES	\$ 275,867	\$ 103,095	37.37
	BNTR SFR OWNER LLC	780132000	5.18	129	IMP			
02980	SWEENEY KEVIN W	3114 VASSAR	05/11/22	1841	RES	\$ 224,396	\$ 83,252	37.10
	BNTR SFR OWNER LLC	244059000	0.39	1364	IMP			
02976	MOODY BRADLEY	2011 OSSABAW DR	05/10/22	1841	RES	\$ 166,199	\$ 52,228	31.42
	BNTR SFR OWNER LLC	1990152000	0.62	1312	IMP			
05638	FIOCCO ROBERT LAWRENCE	2518 PEACH BLOSSOM PASS	08/24/22	1856	RES	\$ 232,571	\$ 95,599	41.11
	BNTR SFR OWNER LLC	1813029000	0.33	838	IMP			
05450	WEST DONALD F JR	2701 LUMPKIN	08/22/22	1855	RES	\$ 133,879	\$ 34,089	25.46
	BOBBY MCCARTER	962114000	0.33	2291	IMP			
02501	SCENIC LAND HOMES LLC	518 2ND AVE	04/18/22	1838	RES	\$ 47,617	\$ 23,056	48.4
	BOBINVESTUS LLC	341054000	0.08	845	IMP	, ,,,,,,	, 2,220	
05798	MORIN PROPERTIES LLC A GEORGIA LIMITED	1710 FENWICK ST	08/26/22	1856	RES	\$ 36,473	\$ 13,005	35.66
	BODENHAMER III ROBERT EDGAR	354398000	0.07	1143	IMP	\$ 50,475	Ψ 10,000	55.5
04627	INGRAM DONNA DUNLAP	3413 KERRY	0.07	1850		¢ 404 207	¢ of coo	23.8
U4UZ1		314118000	07/08/22	2044	RES IMP	\$ 401,207	\$ 95,638	23.84
00704	BOHAM ROBERT SCOTT/BOHAM PATRICIA					# 000 000	# 405 T	
02701	RUTSOHN PHILIP D	2414 WOODBLUFF CT	04/29/22	1839	RES	\$ 309,098		259
	BOLTON KIRK/PARKER AMANDA LORRAINE	180317000	0.17	2621	IMP	I	1 4	



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Sample	Seller	Street~Land Lot~Land Dist	Sale Date	Deed Book	Type	, Sales	Assessment	
Sample	Purchaser / Owner	Map/Parcel~SLB	Sale Date	Deed Book	Prop	Price	Assessment	Ratio
	FELKER DAWN L BOOKER LEE CATHERINE	822 FLEMING AVE 343030000	02/15/22 0.41	1827 2349	RES IMP	\$ 366,432	\$ 178,423	48.69
02295	STEPHENS JOHN R BOOKER MARVIN/BOOKER SENITA	4834 KEN MILES DR 1654039000	04/18/22	1837 2736	RES IMP	\$ 298,428	\$ 107,858	36.14
	KNS PROPERTY SOLUTIONS LLC	4903 MOSSYCUP CT	11/14/22	1868	RES	\$ 147,181	\$ 49,458	33.60
	BOYKIN ANTHONY BERNARD	3350041000	0.37	1288	IMP			
	DURSHIMER FRANK W	2014 LILLIAN DR	05/20/22	1842	RES	\$ 169,194	\$ 53,866	31.84
	BPREP SFR OWNER LLC	122216000	0.11	2480	IMP	Φ 000 000	0.04.075	05.04
03390	JACKSON DEVIN JOSEPH	3027 SPRING CREEK DR 1513044000	05/27/22 0.25	1843 2595	RES	\$ 262,839	\$ 94,375	35.91
04442	BPREP SFR OWNER LLC BEALIN PATRICIA ANNE	2132 MIMS RD	07/07/22	1849	RES	\$ 156,192	\$ 61,478	39.36
	BPREP SFR OWNER LLC	2510069000	0.88	1503	IMP	\$ 130,192	\$61,476	39.30
	LEVERETT HENRY S	2007 WALTON FARMS DR	07/13/22	1850	RES	\$ 245,015	\$ 109,067	44.51
	BPREP SFR OWNER LLC	1651093000	0.65	1706	IMP	Ψ 243,013	\$ 109,007	44.51
	GANDHI HIMANSHU M	2144 RESERVE LN	05/13/22	1841	RES	\$ 174,722	\$ 62,905	36.00
02000	BPREP SFR OWNER LLC	73140000	0.05	2221	IMP	Ų 17 1,722	ψ 02,000	00.00
02816	HOME UPGRADES LLC	1861 ENGLE CT	05/06/22	1840	RES	\$ 162,274	\$ 54,756	33.74
	BPREP SFR OWNER LLC	1700110000	0.29	2409	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
	WISCAVER DONALD R	3744 PINNACLE PLACE DR	05/04/22	1840	RES	\$ 195,973	\$ 55,494	28.32
	BPREP SFR OWNER LLC	1400210000	0.57	2590	IMP	,	1	
02967	SPENCER II WILLIE	2622 SERENITY LN	05/10/22	1841	RES	\$ 260,528	\$ 101,828	39.09
	BPREP SFR OWNER LLC	654052000	0.13	769	IMP		,	
04778	JONES BRIAN	3007 BROCKHAM CT	07/22/22	1851	RES	\$ 173,356	\$ 72,074	41.58
	BPREP SFR OWNER LLC	403114000	0.10	2437	IMP			
02153	REYES JUAN A AND ROBIN	1516 TARA CT	04/15/22	1837	RES	\$ 243,288	\$ 79,401	32.64
	BRADFORD JAMES W	1990003280	0.34	1232	IMP			
01220	TRIPLE A FOUR K'S INC	1164 HANCOCK MILL LANE	01/03/22	1829	RES	\$ 8,487	\$ 3,392	39.97
	BRADLEY MICHAEL/BRADLEY TONY J	3190085000~LOT 41, BLOCK C, SECT. 2,	0.46	2126	VAC			
02689	CASE BRIAN D	3407 SASANQUA DR	04/29/22	1839	RES	\$ 340,140	\$ 94,172	27.69
	BRADLEY RORIE TODD	312026000	0.45	2391	IMP			
04484	TRIPLE A FOUR K'S INC	1172 HANCOCK MILL LANE	06/28/22	1849	RES	\$ 7,910	\$ 3,392	42.88
	BRADLEY TONY J/BRADLEY MICHAEL	3190089000~LOT 43, BLOCK C, SECT. II,	0.63	2231	VAC			
02503	COLVIN WILLENE	5280 HENDERSON RD	04/21/22	1838	RES	\$ 42,927	\$ 8,460	19.71
	BRADY BARBARA	3320002000	7.05	503	VAC			
05045	HUITZ ABRAHAM CEBALLOS	7411 EXUMA	07/19/22	1853	RES	\$ 148,468	\$ 52,934	35.65
	BRANCH XAVIER MAURICE	402142000	0.08	759	IMP			
	PATEL ATUL	2549 WALTON WAY	07/27/22	1852	RES	\$ 132,162	\$ 54,550	41.28
	BRANDON JANET L/BRANDON AJEYA LANAI	343068190	0.04	2572	IMP			
	AARON CRAIG STEVENS	4310 WARWICK AVE	05/02/22	1840	RES	\$ 119,417	\$ 30,678	25.69
	BRANDON L PENVOSE	2090028000	0.31	775	IMP	0.47.700	0.7.500	40.40
	PATRICIA POLLARD	3040 GREY FOX DR	03/16/22	1833	RES	\$ 17,798	\$ 7,560	42.48
	BRASWELL TANKSLEY	2710027000	1.05	201	VAC	¢ 047 500	£ 400 474	40.70
	CATAMOUNT PROPERTIES 2018 LLC	3404 WALKER CREEK RD 2950055000	10/14/22	1863 137	RES	\$ 317,533	\$ 129,474	40.78
	BRAUHN GREG/BRAUHN GINGER E CODY DUNN	2950 BRIDGEPORT	04/12/22	1837	RES	\$ 197.893	\$ 60,032	30.34
	BRENDA ELEY	520436000	0.47	1449	IMP	φ 197,093	\$ 60,032	30.34
	WALTER A COOPER	440 FOREST HILLS	04/14/22	1837	RES	\$ 147,017	\$ 37,455	25.48
	BRENDAN OCONNELL AKA BRENDAN	314047570	0.03	2208	IMP	Ψ 147,017	ψ 07,400	20.40
	KING KARLEIGH ANNE	1131 MERRY ST	11/30/22	1867	RES	\$ 90,111	\$ 30,618	33.98
	BRENT'S LLC	451182000	0.17	2561	IMP	ψ 30,111	ψ 30,010	00.00
	JENNIEI MORGAN AND ROBERT L MORGAN	2706 LAKEWOOD	04/15/22	1839	RES	\$ 101,906	\$ 60,964	59.82
	BRENT'S LLC	711054000	0.57	759	IMP	Ψ 101,300	ψ 00,304	00.02
	DIXON ELNORA	4009 CALYPSO DR	12/16/22	1869	RES	\$ 128,729	\$ 43,610	33.88
	BRETZIUS DALE	303095000~LOT 4, BLOCK L	0.08	2782	IMP	1 .20,720	.5,510	55.55
	MORRISON RICHARD N	1229 GREENE ST	03/21/22	1833	COM	\$ 24,076	\$ 11,500	47.77
	BREY JOHN/BREY JANIENNE	364281000	0.12	1634	VAC	Ψ 2-7,070	\$ 11,000	/
	ROSCOE COOK JR	2122 EASTSIDE CT	09/08/22	1858	RES	\$ 106,416	\$ 27,8	
	BREYANNA LASHEL FUNCHESS	1103023000	0.31	636	IMP	1 .55,.10		260



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
07933	WISE CHOICE RESIDENTIAL SERVICES INC BRIAN COLEMAN	2525 KENSINGTON DR 1080281000	12/02/22 0.29	1868 1595	RES IMP	\$ 145,808	\$ 37,717	25.87
02226	VICKI B LEWIS BRIAN J MARSHALL AND PATRICIA POWLEDGE	303 CHATHAM	04/22/22	1838 2360	RES IMP	\$ 215,363	\$ 71,808	33.34
06889	WICK TERRENCE L	2315 REDWOOD	10/14/22	1863	RES	\$ 227,422	\$ 70,738	31.10
	BRIAN THOMAS MCHENRY	271018000	0.52	29	IMP			
08373	ANDERSON WILLIE L BRIAN WILLIAMS	110 E WATKINS ST 611045000	12/29/22 0.18	1870 2726	RES IMP	\$ 52,779	\$ 22,531	42.69
05609	HUNTER JERRI M	2980 CLARKSTON RD 533005000~LOT 13 BLK C GRANITE HILL	08/15/22 0.26	1855 1954	RES IMP	\$ 253,168	\$ 114,487	45.22
07265	BRIDGES RICKEY ALLISON JERRY DAVID	436 WAVERLY	10/12/22	1864	RES	\$ 519,209	\$ 195,582	37.67
	BRIGHAM WILLIAM B/BRIGHAM JUDY C	240111000	0.33	55	IMP			
05811	NELSON BRITTANY MARIE	1715 TAMARIND WAY	08/19/22	1857	RES	\$ 151,901	\$ 48,633	32.02
	BRIGHT CANDACIA AVIONTA	1830098000	0.25	1123	IMP			
03143	MARTIN PHILLIP A	2608 NATIONAL WOODS DR	04/29/22	1842	RES	\$ 219,504	\$ 56,629	25.80
04440	BRISENO ADRIANNA	132207000	0.27	954	IMP	£ 447.500	¢ 45 507	20.00
04116	MILLER MARK WILLIAM ROFS/MICHELLE D BRITTANY S KING-AVERITTE	3154 SUMMERCHASE 424134000	06/24/22	1848 427	RES IMP	\$ 147,560	\$ 45,537	30.86
04603	SUSAN ELAINE BRANNEN AKA SUSAN	1538 CITATION RD	07/08/22	1850	RES	\$ 127,013	\$ 48,939	38.53
	BRITTANY WAITES	2330058000	4.87	1449	IMP			
05147	FA PROPERTIES LLC	1852 CENTRAL AVE	07/06/22	1853	RES IMP	\$ 171,553	\$ 45,996	26.81
08598	BRITTINGHAM EMILY/WALTERS WILLIAM	453141000 3742 WALTON WAY EXT	0.16	2753	COM	\$ 436,135	\$ 170,006	38.98
	BRITTINGHAM THOMAS W JR LIVING	160027090	0.28		IMP			
02492	TOLBERT RODERICK	2730 LAKEWOOD DR	04/15/22	1837	RES	\$ 160,662	\$ 50,442	31.40
	BROADWATER QUALAN	711024000	0.48	2782	IMP			
03484	PHILLIPS MICHAEL R	1844 FORMOSA DR	05/31/22	1845	RES	\$ 136,684	\$ 38,592	28.23
00000	BROCKINGTON SHAVAUYEAH	1223198000	0.25	1615	IMP	<b>A</b> 007 070	<b>*</b> 07.704	00.50
03886	PARKER KAREN BRODER JEFFREY N	1102 BROOKSTONE 402426000	06/07/22	1846 1923	RES IMP	\$ 267,276	\$ 97,724	36.56
03258	CICCIO DANIEL	2696 BIG DOG TRL	05/11/22	1843	AGR	\$ 119,275	\$ 53,201	44.60
	BROTHERSVILLE PROPERTIES LLC	2710004000	82.10	194	VAC		, , .	
06681	TOUCHTONE ARTHUR JOHN	419 DORCHESTER	10/05/22	1862	RES	\$ 266,041	\$ 98,725	37.11
	BROWER SHAWN M/BROWER SHAWN C	170021040	0.35	1453	IMP			
05050	WESCO JOYCE B	3555 MONTE CARLO DR	07/22/22	1852	RES	\$ 191,378	\$ 64,076	33.48
02810	BROWN AKILAH H/BROWN TREVIAN D TSAI JOHN W	1430123000 684 RIVERFRONT DR	0.34	856 1840	IMP RES	\$ 234,396	\$ 100,298	42.79
02010	BROWN ANDREW STONE	623006000~6	0.10	2361	IMP	Ψ 254,590	Ψ 100,230	42.73
04353	PULLIUM ANN MARIE	1558 CITATION RD	07/08/22	1849	RES	\$ 13,731	\$ 6,299	45.87
	BROWN CURTIS/WATSON LAURA JOY	2330047000	1.20	1845	VAC			
04763	MERCER SPENCER EDWARD III	3124 HOLLY HAVEN DR	07/19/22	1851	RES	\$ 246,731	\$ 81,569	33.06
	BROWN EMILY JARRETT/BROWN STEVEN	170114000	0.42	1186	IMP			
04302	LANDRY ADRIAN BROWN EVA	3536 MUTIMER DR 1083003000	06/28/22 0.81	1848 2387	RES IMP	\$ 163,357	\$ 43,743	26.78
07020	OLSON LAURA BETH	4332 BATH EDIE RD	10/31/22	1864	RES	\$ 300,283	\$ 124,835	41.57
07020	BROWN III SAMUEL/BROWN MARYSHA	2460041000	1.27	1603	IMP	\$ 300,283	\$ 124,033	41.57
05710	CORDY YVETTE DENISE/GOWDY BONITA	821 BENNOCK MILL RD	08/29/22	1856	RES	\$ 26,226	\$ 10,022	38.21
	BROWN INGEBORG/SUAREZ PEDRO	3040002000	3.83	1882	VAC			
04411	VEAL JOSHUA H	1854 OHIO	06/30/22	1849	RES	\$ 171,639	\$ 58,505	34.09
	BROWN JOY	434108000	0.41	1009	IMP			
04638	SIRULL DAVID	2224 OVERTON RD 264098000	07/06/22 0.67	1850 1708	RES IMP	\$ 326,114	\$ 113,131	34.69
04300	BROWN MARK S CHEEK BEN J	24 MACAULAY PL	0.67	1848	RES	\$ 198,234	\$ 61,995	31.27
3 1000	BROWN NICOLE	121149000	0.06	2140	IMP	ψ 150,254	ψ 01,990	51.21
02846	POWERS ISAAC G	2716 DAN ST	04/29/22	1840	RES	\$ 180,047	\$ 70,326	39.06
	BROWN SANDRA	131017000	0.28	1822	IMP			
03653	JASCHEN KYLE STEVEN/EHLERS BRYNN	1544 SCHLEY	05/24/22	1845	RES	\$ 206,751	\$ 65,9	361 3
	BRUCE JOHN-DAVID CONSTANTINE	443035000	0.15	1553	IMP			261



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05395	BING MATTHEW C BRUNELLE MEIR JOHN/BRUNELLE DANIEL	2318 SUMAC DR~7 & K 703041000	08/11/22 0.34	1855 1728	RES IMP	\$ 107,274	\$ 30,666	28.59
01778	PALOMO DAVID J AND VERONICA S ROFS BRYAN R BROACH	2119 CUMMING 353311040	03/28/22	1835 162	RES IMP	\$ 582,656	\$ 166,195	28.52
05993	HUFF ALICIA Y ARNOLD	808 OSHIELDS CT	09/02/22	1857	RES	\$ 207,683	\$ 80,199	38.62
00400	BRYAN WILLIAMS	43049000	0.17	2138	IMP	A 004 707	<b>0.107.100</b>	00.75
03102	HEINZMAN JEAN A BRYANT BETTY	2604 CHAUCER DR 300139000	05/18/22 0.20	1842 1665	RES IMP	\$ 291,707	\$ 107,192	36.75
06948	POSS ASHLYN ELISE	2087 HECKLE	10/27/22	1864	RES	\$ 154,475	\$ 55,829	36.14
	BRYANT WILLIAM I	353029000	0.17	519	IMP			
01838	MILLER LARRY D	3057 BROOKHAVEN WAY	03/24/22	1834	RES	\$ 70,155	\$ 37,792	53.87
0.4007	BRYANT-PIERSON BENJAMIN W/PIERSON	122118000	0.06	1899	IMP	<b># 004 750</b>	<b>#</b> 400 004	44.55
04227	WILLIAMS DENNIS G	2750 HUNTCLIFFE DR	07/01/22	1848	RES	\$ 261,750	\$ 108,821	41.57
	BSFR I OWNER I L P	653144000	0.13	2341	IMP			
03760	ROPER MARY BSFR I OWNER I L P	2704 DAVIS MILL RD 1640185000	06/09/22	1846 110	RES IMP	\$ 185,007	\$ 65,612	35.46
00000	WATSON DEBORAH J	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			RES	£ 404 600	f 72 260	37.64
00809	BSFR I OWNER I L P A DELAWARE LIMITED	1478 GOSHEN RD 1990081020	02/16/22	1828 1722	IMP	\$ 194,680	\$ 73,268	37.02
00996	RUSH ENTERPRISES LLC	3540 STONEY BROOK RD	02/23/22	1829	RES	\$ 138,946	\$ 41,498	29.87
00996	BSFR I OWNER I L P A DELAWARE LIMITED	1320325000	0.24	1851	IMP	\$ 136,946	\$ 41,496	29.67
01199	WALLACE RODERICK	4211 REDCLIFF	03/01/22	1830	RES	\$ 183,076	\$ 67,174	36.69
	BSFR I OWNER I L P A DELAWARE LIMITED	662027000	0.77	906	IMP	,,.	, ,	
01605	BRITTANY BURT	3003 BURGESS	03/18/22	1833	RES	\$ 270,287	\$ 101,104	37.4
	BSFR I OWNER I L P A DELAWARE LIMITED	653039000	0.15	492	IMP			
02712	JEFFREY PETERSON	3420 LUCIE ST	04/29/22	1840	RES	\$ 87,529	\$ 26,290	30.0
	BSFR I OWNER I L P A DELAWARE LIMITED	1210083000	0.24	1066	IMP			
01767	CHARLES E ROBINSON	2827 CRANBROOK DR	03/28/22	1834	RES	\$ 121,192	\$ 43,675	36.04
	BSFR I OWNER I L P A DELAWARE LIMITED	1290738000	0.24	1819	IMP			
01710	ROBERT DANIELS JR	2715 HUNTCLIFFE	03/25/22	1834	RES	\$ 242,999	\$ 99,650	41.01
	BSFR I OWNER I L P A DELAWARE LIMITED	654172000	0.17	1516	IMP			
01712	JOHN C NOAH AND CARLA A NOAH	3533 ANDOVER DR	03/23/22	1834	RES	\$ 154,471	\$ 55,944	36.22
	BSFR I OWNER I L P A DELAWARE LIMITED	1290426000	0.26	624	IMP			
01794	FERRELL DONNIE AND FELECIA D ROFS	3012 WHITE SAND DR	03/28/22	1834	RES	\$ 172,466	\$ 60,305	34.97
	BSFR I OWNER I L P A DELAWARE LIMITED	1410474000	0.27	1683	IMP	•		
01936	HOYT D CROZIER AND CECILIA CROZIER	3239 PENINSULA	03/31/22	1835	RES	\$ 177,143	\$ 60,156	33.96
	BSFR I OWNER I L P A DELAWARE LIMITED	403107000	0.21	619	IMP			
02042	ETTEVI J ROSA AND YESENIA C AGUILERA	929 BURLINGTON 671169000	04/01/22 0.19	1835 1444	RES IMP	\$ 269,903	\$ 102,219	37.8
00645	BSFR I OWNER I L P A DELAWARE LIMITED	3714 FAIRINGTON DR				\$ 450.00F	f 22.052	24.00
02645		1400118000	02/28/22 0.40	1840 833	RES IMP	\$ 150,065	\$ 32,852	21.89
00179	BSFR I OWNER I L P A DELAWARE LIMITED TUCKER LATOYA C KELSEY	2513 SADDLE HORN CT	01/18/22	1823	RES	\$ 138,125	\$ 49,969	36.18
00173	BSFR I OWNER I L P A DELAWARE LIMITED	1290566000	0.48	1188	IMP	ψ 130,123	Ψ 49,909	30.1
00019	NEXTGEN INVESTMENTS LLC	4022 WHISPERING PINES RD S	01/05/22	1821	RES	\$ 185,912	\$ 53,748	28.9 <sup>-</sup>
00013	BSFR I OWNER I L P A DELAWARE LIMITED	1980353000	0.36	2122	IMP	ψ 100,312	ψ 55,7 40	20.3
01628	DURFLINGER PEYTON R AND BRITTANY M	3410 WENTWORTH PL	03/18/22	1833	RES	\$ 179,564	\$ 58,820	32.70
	BSFR I OWNER I L P A DELAWARE LIMITED	1322145000	0.31	466	IMP			
05607	JASON EDWARD HODGE ELCIRA M HODGE	3704 BANSBURY PL	08/15/22	1855	RES	\$ 175,930	\$ 62,593	35.5
	BUGGS KUM OK	1424150000	0.22	285	IMP	<b>A - 1</b>	<b>A</b> 24 2 <b>5</b> 2	
04201	HOFFMANN J CHRIS	1121 MERRY	06/24/22	1848	RES IMP	\$ 51,775	\$ 31,056	59.9
00070	BUI MICHAEL D/BUI LINDSAY JOINER	451187000	0.17	7		£ 4.47.400	<b># 54 005</b>	07.4
02670	KOBLEUR JR JAMES R BULL STEPHANIE E	1611 PENDLETON 572046000	05/02/22 0.26	1840 246	RES IMP	\$ 147,462 	\$ 54,805	37.1
04716	STOKES ROBINSTINE	4332 PARKWOOD DR	06/21/22	1851	RES	\$ 25,959	\$ 4,666	17.9 <sup>°</sup>
UT1 10	BULLOCK WILLIAM CARL	1800042000	7.32	1478	VAC	Ψ 20,309	ψ 4,000	17.9
07984	ZACHMAN ELIZABETH A	1156 BROOKSTONE WAY	12/14/22	1869	RES	\$ 291,701	\$ 121,082	41.5
	BURKE MAMIE J/BURKE DONALD D	402453000	0.11	1296	IMP	\$ 201,701	ψ .21,002	5
07562	WIDEMAN ERNEST	2051 BASSFORD DR	11/09/22	1866	RES	\$ 145,808	\$ 63,4	
	BURNS NOLIE	1770025000	0.31	1833	IMP			262



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03070	TRIPLE A FOUR K'S INC BURNSIDE CHARLES C JR	1180 HANCOCK MILL LANE 3190096000~LOT 45, BLOCK C, SECT. II,	04/14/22 0.75	1842 657	RES VAC	\$ 8,453	\$ 3,392	40.13
00951	LASKER CARRIE SUZANNE	1307 DOMINICA	02/14/22	1828	RES	\$ 265,468	\$ 73,511	27.69
00001	BURTON STEPHANIE	313052000	0.41	2030	IMP	ψ 200, 100	Ψ 7 0,0 1 1	27.00
08438	CULVER NICHOLAS R	3526 RICHMOND HILL RD	12/27/22	1871	RES	\$ 180,221	\$ 60,866	33.77
00430	BUSH LAURIE A	1322006000	0.28	1919	IMP	ψ 100,221	ψ 00,000	33.77
00540	SCOTT BETH A MONTGOMERY	2928 SUSSEX RD	09/30/22			\$ 300.283	\$ 129.860	43.25
06519		183076000~LOT 3, BLK A,	0.30	1861 1969	RES IMP	\$ 300,283	\$ 129,000	43.25
07005	BUSSEY WESLEY A/BUSSEY MEAGHAN					£40.045	Ф. Г. ОО.Г.	40.04
07635	BARNES ERMA L BUSSYOUNG CONTRACTING DEVELOPMENT	1653 BRINSON ST 361116000	11/21/22 0.05	1867 2039	RES IMP	\$ 12,015	\$ 5,925	49.31
08263	VUPPULA SHIVA	4377 SAXON DR	11/22/22	1871	RES	\$ 57,499	\$ 30,122	52.39
	C A FLIPPIN INVESTMENTS LLC	2270241000	0.34	76	IMP	, , , , , ,	, , , , , , ,	
06055	TEDESCO FRANCIS J	3410 KERRY	09/09/22	1858	RES	\$ 68,656	\$ 16,000	23.30
00000	C CANADA CONSTRUCTION LLC	323077000	5.18	2255	VAC	ψ 00,000	Ψ 10,000	20.00
03794	HUTCHINSON LISA A BAKER	1925 WOODSIDE RD	06/02/22	1846	RES	\$ 154,925	\$ 47,390	30.59
03794		1333076000	0.34	129	IMP	\$ 154,925	\$ 47,390	30.59
07004	CAA REAL ESTATE LLC			-		<b>#</b> 400 457	# 00 000	50.54
07904	SAXON JOSEPH W AND ROBIN J	2906 STRATFORD DR	11/29/22	1868	RES	\$ 139,457	\$ 83,033	59.54
	CADAVOS JOSEPH	183058000	0.32	1827	IMP			
06639	ASMUS LLC	23234 GARDNER 342101000	10/05/22 0.63	1861 2784	RES IMP	\$ 76,379	\$ 33,923	44.41
	CAILA LENE					<b>*</b> 400 050	A 22 722	
04237	WILLIAMS SHERRY J	1700 NORTH LEG CT	06/29/22	1848	COM	\$ 109,953	\$ 36,788	33.46
	CALAMAS KATHERINE/CALAMAS BRANDON	551001000~LT 1 BLK B	0.36	1242	IMP			
07419	CONNER H PARKS	1738 KISSINGBOWER	11/08/22	1865	RES	\$ 101,267	\$ 47,289	46.70
	CALEB MARSH FAIREY	574004000	0.21	1632	IMP			
05778	MILFORD R JONES JR	2012 HELMSDALE LN	08/30/22	1857	RES	\$ 163,057	\$ 42,505	26.07
	CALIFORNIA FAMILY INVESTMENT LLC	122059000	0.07	268	IMP			
02013	ADERIBIGDE YEKEEN	2609 HENRY	03/04/22	1836	RES	\$ 157,607	\$ 52,590	33.37
	CALLE DAVID/DIXON VALERIE	341499000	0.10	91	IMP			
00469	SMITH LAURENCE	3434 THAMES PL	01/20/22	1826	RES	\$ 226,557	\$ 91,522	40.40
	CALLENDER DALE OLVA	1431081000	0.32	1376	IMP			
02569	JOHN AMOS JOHNSON	3303 YOUNG FOREST DR	04/27/22	1839	RES	\$ 145,378	\$ 56,125	38.61
	CALVIN W SMITH	1222012000	0.25	862	IMP			
05956	BROTHERSVILLE DEVELOPMENT CORP	2713 FLEMING DR	09/07/22	1858	RES	\$ 6,436	\$ 4,032	62.64
	CAMACHO MILAGROS	983043000	0.23	313	VAC			
06614	EUCHEE CREEK DEVELOPMENT CO INC	4903 CANNON CT	09/16/22	1861	RES	\$ 19,653	\$ 6,600	33.58
	CAMANINI DEWAYNE J/YOUNG HAILEY M	2790105000~LOT 17, BLK A, CHASE	0.86	2037	VAC			
00076	CUMMINGS ZARIA K	4354 SANDERLING DR	01/12/22	1822	RES	\$ 206,098	\$ 77,270	37.49
	CAMECA ATKINSON-REID	1672057000	0.65	2410	IMP			
03573	WESLEY B CUMMINGS JR	1501 BLEAKLEY	06/02/22	1844	RES	\$ 22,006	\$ 6,604	30.01
	CAMERON PITTS	582099000	0.14	1903	IMP			
03719	GENGHIS LLC	1017 STEVENS CREEK RD K213	06/10/22	1846	RES	\$ 78,656	\$ 23,158	29.44
	CAMPBELL CAMPBELL LLC	120250000	0.11	454	IMP		. ,	
03016	ROGERS BRITTANY	1015 OSSABAW CT	04/29/22	1842	RES	\$ 167,802	\$ 56,742	33.81
30010	CANNON MELISSA M	1982003000	0.10	2673	IMP	ψ 107,002	Ψ 00,7 12	00.01
00708	BRAXTON BENJAMIN A	3102 BRANSFORD RD	02/11/22	1827	RES	\$ 377,403	\$ 135.620	35.94
50700	CAPPAERT DANIEL REX/CAPPAERT PATRICIA	333138000	0.40	384	IMP	ψ 377,403	Ψ 100,020	00.54
01998	SMITHSON CASSANDRA	2917 TOWER PINES	03/29/22	1835	RES	\$ 176,046	\$ 67,428	38.30
11990	CARDENAZ DALTON MICHALE	520397000	0.37	2394	IMP	\$ 170,040	\$ 07,428	30.30
00570						# 00 coo	¢ 05 500	4440
03576	JOHNSON JEREMIAH	3330 YOUNG FOREST DR	06/06/22	1845	RES IMP	\$ 80,693	\$ 35,589	44.10
20470	CARLEY GREGORY	1222242000	0.23	1321		Ø 70 000	# 00 <b>7</b> 00	00.00
02170	BONSER ROBERT	1908 MOORE RD	04/05/22	1838	RES	\$ 73,983	\$ 22,709	30.69
	CARLEY GREGORY	1231101000	0.36	1365	IMP			
05730	ALTHAF RAHMATH K	2533 COMMONS	08/26/22	1856	RES	\$ 196,390	\$ 63,681	32.43
	CARLOS DAISY	131181000	0.11	1915	IMP			
07792	ROBINSON CEAIRA S	1231 PARAMOUNT CT	11/17/22	1867	RES	\$ 158,766	\$ 88,283	55.61
	CARMEN KERRY	2150227000	0.28	1569	IMP			
07519	WALKER REGINALD	3619 MONMOUTH RD	11/15/22	1866	RES	\$ 175,930		202
	CARNES HARLEY/YOUNG OTHEAH	1300584000	0.30	1873	IMP	I		263



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06573	TRAVIS A WIGGINS CAROL M TABER	2797 HENRY 332339000	10/05/22 0.51	1861 2507	RES IMP	\$ 321,824	\$ 154,241	47.93
03053	LENA CAPITAL GROUP LLC	1817 ELLIS ST	05/10/22	1842	RES	\$ 29,197	\$ 16,170	55.38
	CARPENTER DENNIS	352101000	0.09	1807	IMP			
01818	SCENIC LAND HOMES LLC	920 FLYTHE DR	03/10/22	1834	RES	\$ 184,554	\$ 56,521	30.63
	CARPENTER SEAN	201111000	0.23	1425	IMP			
05325	CARTER ANTHONY D	2603 SHERBORNE CT	08/05/22	1853	RES	\$ 278,914	\$ 107,532	38.55
	CARR MEREDITH CAMPBELL	181020000	0.14	1718	IMP			
06335	FLIERMANS MATTHEW	747 TRIPPS CT	09/16/22	1859	RES	\$ 338,987	\$ 88,166	26.01
	CARR MICAHEL DAVID/CARR DIANA LYNN	230046000~LOT 11, TRIPPS COURT	0.62	2198	IMP			
06144	GRAY ERIC C II	1740 WYCLIFFE	08/19/22	1858	RES	\$ 160,483	\$ 47,647	29.69
	CARR SAMANTHA	571170000	0.34	2524	IMP			
07790	TIMOTHY NEIL TRACY JR	3310 CUSHENDAL	11/18/22	1866	RES	\$ 184,512	\$ 54,834	29.72
	CARRA POE	532133000	0.09	2729	IMP			
08154	DELAIGLE HELEN I	3147 CRANE FERRY RD	12/21/22	1870	RES	\$ 154,389	\$ 63,864	41.37
	CARRUTH JESSICA ANN/CARRUTH RYAN	171150000~5	0.24	283	IMP			
01070	ANTHONY W PRIDEMORE AND STEPHANIE M	726 SOMERSET	03/07/22	1831	RES	\$ 407,886	\$ 100,138	24.55
	CARSON M THOMPSON AND JOEL D	240238000	0.45	56	IMP			
04949	DUMAS CALVIN CHANDLER	3728 WOODLAKE RD	06/29/22	1852	RES	\$ 148,175	\$ 40,705	27.47
	CARSWELL KAYLA/LOCHNER JEFFREY ALAN	1410240000	0.26	1971	IMP			
06129	VIOLETTE RYAN TAYLOR	624 CANTERBURY DR	09/13/22	1858	RES	\$ 268,615	\$ 120,689	44.93
	CART JONATHAN/CART MARY CAPERS	242110000~47, J	0.37	1964	IMP			
00664	EAGLE MAINTENANCE SERVICES LLC	1017 STEVENS CREEK RD A116	01/12/22	1826	RES	\$ 59,480	\$ 18,758	31.54
	CARTAGENA HENRY	120153000	0.11	2660	IMP			
00261	SARAH B JONES AND JULIE BATES JONES	2008 SUMMER RIDGE	01/19/22	1823	RES	\$ 226,640	\$ 80,598	35.56
	CARTER CODELL AND CAITY FORGEY	451378000	0.10	2171	IMP			
07864	BASS MEGAN G	3312 CRANE FERRY	10/27/22	1867	RES	\$ 215,407	\$ 66,838	31.03
	CARTER IRA	162039000	0.34	2741	IMP			
08100	BRADLEY NATASHA THOMAS	3103 GREENSBORO WAY	12/07/22	1868	RES	\$ 171,553	\$ 59,323	34.58
	CARTER JUDYE	530113000~LOT 8, BL. B, SECTION ONE,	0.28	2624	IMP			
06340	HOLLAND NATHAN O SR	2624 SERENITY	09/12/22	1859	RES	\$ 240,295	\$ 110,096	45.82
	CARTER RAESHELL/CARTER AILEA	654053000	0.13	1734	IMP			
07004	WRIGHT GARRY S JR	4563 PINEVIEW LN	10/27/22	1865	RES	\$ 101,323	\$ 58,678	57.91
	CASTLEBERRY HARMON REAL ESTATE LLC	1794054000	0.25	816	IMP			
01093	RUSHING-SMALLS NATASHA N	1421 HEATH	02/14/22	1829	RES	\$ 318,465	\$ 85,278	26.78
	CASTO-WATERS BRANDI/CASTO-WATERS	443064000	0.18	1348	IMP			
06839	MEWBORN JAMIE L	1123 MCCOYS CREEK RD	10/14/22	1863	RES	\$ 337,271	\$ 136,405	40.44
0.1001	CASTRO RUSULENNI	780062000~LOT 90, BL. A, MCCOYS	0.22	83	IMP	<b>*</b> • • • • • • • • • • • • • • • • • • •	A 107 001	44.00
01331	D R HORTON INC	339 STABLERIDGE DR	03/11/22	1831	RES	\$ 335,945	\$ 137,834	41.03
	CAUSEY IV ROBERT BROOKS/CAUSEY	800193000	5.18	2274	IMP	0.00.450	A 22 500	24.00
02753	HUGHES PROPERTY SOLUTIONS LLC A	1930 BATTLE ROW	05/03/22	1840	RES	\$ 83,158	\$ 26,523	31.89
05407	CEK PARTNERS LLC A GEORGIA LIMITED	352459000	0.18	589	IMP	0.4400	<b>#</b> 00 004	47.44
05137	HARTY JOSEPH T	2325 ALLEN CT	08/09/22	1854	RES	\$ 84,103	\$ 39,624	47.11
05050	CEYSSENS WOUTER J	974330000	0.26	998	IMP	₾ 450 C47	£ 40.007	00.00
05358	CAROLINA AVENUE LLC	1834 MCDOWELL ST 453037000	08/02/22 0.17	1853 2011	RES IMP	\$ 153,617	\$ 43,367	28.23
00447	CHACKAL ANTHONY	2178 PEPPERIDGE DR				¢ 422 420	¢ co 076	E4 E0
00417	FERGUSON JEFFREY	1430247000	01/28/22	1825 663	RES IMP	\$ 132,128	\$ 68,076	51.52
05455	CHAMPERY RENTAL REO LLC BY:					£ 4.44 COO	₾ 45 470	04.00
05155	ARTHUR KELSEY L	2228 KIMBERLY 571153000	08/09/22 5.18	1854 232	RES IMP	\$ 141,602	\$ 45,173	31.90
00700	CHANCEY HEATHER					C 045 440	<b>₾.</b> CC. O4.0	00.00
03793	VERNON LINDSEY S WERRICK	1217 OAKDALE RD	05/27/22	1846	RES IMP	\$ 245,140	\$ 66,018	26.93
00000	CHANNELL REBEKAH	132100000	0.28	150		¢ 405 455	# 40 00 °	05.40
00892	YOUNG JESSE C	3208 HILLSVIEW	02/11/22	1829	RES	\$ 195,475	\$ 49,094	25.12
0000-	CHAPPELLE TIMOTHY/RILEY ELENORA	520308000	0.34	291	IMP	A .= ·		6= -
02362	CAMERON AUTRY	296 CALDWELL	04/12/22	1837	RES	\$ 172,121	\$ 60,342	35.06
0011-	CHARLES ANTHONY WIGGINS	233026000	0.08	371	IMP	<b>^-</b>	A 0.5 .	
08119	ANDREW A KESTER AKA ANDREW KESTER	1732 KING WOODS DR	12/14/22	1869	RES	\$ 72,088		264 D
	CHARLES BRYAN CATES AND SHANNON	574045000	0.21	1770	IMP	I	i 1 '	207



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
03358	MOORE ABIGAIL E AND MICHAEL A CHARLES MICHAEL CHEEK AND BRIDGETTE	2626 RAYMOND 432187000	05/27/22 0.19	1844 313	RES IMP	\$ 358,417	\$ 146,882	40.98
07126	HUGHES JOSEPH JR	2722 ASHTON DR	10/31/22	1865	RES	\$ 227,422	\$ 82,065	36.08
	CHARLES WOBIL AND DONNA SIMMONS	1661173000	0.29	1	IMP	, ,	, , , , , , , , , , , , , , , , , , , ,	
05949	GLENN A WALL AND TRISTAN D WALL	4051 BURNING TREE LN	09/06/22	1857	RES	\$ 163,057	\$ 57,521	35.28
	CHASE WILLIAMS AND DAVID WAYNE	1980177000	0.31	2583	IMP	, ,		
01080	KELLY TRAVIS W	4520 BROTHERSVILLE RD	02/25/22	1829	RES	\$ 137,856	\$ 40,586	29.44
	CHAVOUS CHARLES A	2490039040~1	0.35	1022	IMP			
02953	ALEXIS LEACH AND SANDRA BUICE	3018 RICHMOND HILL RD	05/11/22	1841	RES	\$ 62,831	\$ 18,722	29.80
	CHELSEA BERRY THURMOND	1094005010	2.12	1316	IMP			
06217	WILSON CHRISTIAN DIOR	4675 CRESTED BUTTE RD	09/23/22	1860	RES	\$ 177,861	\$ 71,058	39.95
	CHEN ALLY	662138000~39, E	0.64	1717	IMP			
00948	BEST ELIZABETH	2600 SPRINGWOOD DR	02/21/22	1828	RES	\$ 215,480	\$ 55,586	25.80
	CHEN SI-ING/CHEN SI-LONG	132147000~14, 23	0.27	1910	IMP			
04433	SHEUNG CHUN LI	233 CALDWELL	06/30/22	1848	RES	\$ 193,008	\$ 57,274	29.67
	CHERINE CLUNIS	220224000	5.18	2487	IMP			
04530	MONGE BRANDY LYNN	1314 CHERRY AVE	07/11/22	1850	RES	\$ 28,320	\$ 14,312	50.54
	CHERRY AVE REVITALIZATION ENTERPRISES	613184000	0.15	378	IMP			
03195	LESTER ADRIENNE NICOLE HARPER	1213 KENDAL CT	05/17/22	1842	RES	\$ 160.715	\$ 57,906	36.03
	CHIDUZIEM ONYEDIMMA	121018000	0.09	1100	IMP		,	
02089	VIOLETTE MICHAEL A JR ROFS	3412 KERRY PL	04/11/22	1836	RES	\$ 337,167	\$ 90,432	26.82
02000	CHIGLO CHERIA	323076000~3, A	0.44	1581	IMP	\$ 55.,.5.	\$ 55, 152	
04474	WELLINGTON PARK LLC	258 JAPONICA AVE	07/01/22	1849	RES	\$ 45,055	\$ 10,982	24.37
01171	CHIRIBOGA ALBELIZ PERERO	611106010	0.34	2334	IMP	ψ 10,000	Ψ 10,002	2 1.07
01713	KELLY B BALDWIN	3012 STRATFORD	03/25/22	1834	RES	\$ 225,242	\$ 80,371	35.68
01713	CHRIS C MORRIS	251097000	0.33	665	IMP	Ψ 223,242	ψ 00,57 1	33.00
03757	MICHAEL MARCHMAN	2024 OHIO	06/07/22	1845	RES	\$ 108,663	\$ 36,072	33.20
03/3/	CHRISTIAN A SIFUENTES	562033000	0.21	2317	IMP	\$ 100,003	\$ 30,072	33.20
04112	TERZIA RICHARD L III	1128 EINSENHOWER DR	06/23/22	1848	RES	\$ 182,243	\$ 61,173	33.57
04112		134258000	0.40	585	IMP	\$ 102,243	\$61,173	33.37
07000	CHRISTIE LISA/HARBIN PATTI					£ 4.40.240	f 50 440	25.46
07902	JASMINE G GARCIA CHRISTINE JOY WRIGHT	408 FOLKSTONE CIR 110091760	12/02/22 0.16	1868 950	RES IMP	\$ 148,210	\$ 52,112	35.16
0.4000						£ 407 005	Ф 47 007	04.04
04820	BOB H J HERMAN	2923 OLD MORRIS	07/12/22	1850	RES	\$ 197,385	\$ 47,397	24.01
00550	CHRISTOPHER CHARLES REED	380065010	3.70	2275	IMP	<b>*</b> 054 074	A 400 700	05.70
02558	DAVID S LEACH	603 NORWICH	04/25/22	1839	RES	\$ 354,974	\$ 126,793	35.72
		242011000	0.66	694	IMP			
02274	STEPHAN PSILLOS AKA STEPHAN J PSILLOS	3114 OCEAN	04/11/22	1836	RES	\$ 171,347	\$ 51,057	29.80
	CHRISTOPHER ELKINGTON	520047040	1.93	2506	IMP			
02408	BASH AUSTIN HOLDINGS LLC	1017 STEVENS CREEK RD J196	04/13/22	1837	RES	\$ 85,987	\$ 21,520	25.03
	CHRISTOPHER LEE BLACK	120233000	0.11	1437	IMP			
08320	SUMMERS DUSTIN A	2105 TURTLE CT	12/28/22	1870	RES	\$ 107,274	\$ 33,284	31.03
	CHRISTOPHER NESBITT	73008000	0.03	1858	IMP			
03294	WIGGINS JOYCE A	4309 REGANS	05/20/22	1843	RES	\$ 231,529	\$ 86,483	37.35
	CHRISTOPHER PARK	662204000	0.28	1369	IMP			
02607	SUSAN H TAYLOR	709 HIGHLAND	04/26/22	1839	RES	\$ 291,009	\$ 72,927	25.06
	CHRISTOPHER ROWLEY	332269000	0.55	25	IMP			
01046	ANDREW PRIDE JR	3717 DRAYTON DR	02/23/22	1829	RES	\$ 19,165	\$ 4,800	25.05
	CHRISTOPHER WILLIAMS	1060041000	0.25	1270	VAC			
07341	ROGERS VASQUEZ INVESTMENTS LLC	1915 LOBELIA LN	11/02/22	1865	RES	\$ 133,020	\$ 54,049	40.63
	CHUE QUAN LI	1830086000	0.20	1261	IMP			
03558	SCHAACK MORGAN T	1752 KISSINGBOWER	05/31/22	1844	RES	\$ 176,366	\$ 56,859	32.24
	CHUNG DANIEL P	573111000	0.21	1885	IMP			
05075	BLAYLOCK THOMAS S	804 HICKMAN RD	08/08/22	1854	RES	\$ 217,124	\$ 116,983	53.88
	CHURCH STREET HOLDINGS LLC	353334000	0.79	804	IMP			
02945	KRISTEN EVANS NEVILLE FKA KRISTEN MARIE	2013 GLENNFIELD LN	05/10/22	1841	RES	\$ 192,252	\$ 55,669	28.96
-	CINDY KRAKOWSKI	133147000	0.09	1856	IMP	, ,	,	
07947	HIGH YIELD RE LLC	1120 TENTH	12/08/22	1868	RES	\$ 17,164	\$ 5,9	
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er haser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
IAM ASSOCIATES LEASING LLC YENTERPRISES LLC	2713 OAKLAND AVE 332241000	01/07/22 0.28	1822 18	RES IMP	\$ 89,575	\$ 43,922	49.03
RSON THOMAS V	2726 OAKLAND AVE	04/22/22	1839	RES	\$ 135,263	\$ 52,552	38.85
ENTERPRISES LLC	332310000	0.42	205	IMP	<b>*</b> 100,200	, ,,,,,,	
NS CHUNDRA TOLBERT	2114 VANDIVERE	03/21/22	1833	RES	\$ 140,665	\$ 37,332	26.54
NCE CHADWICK GIBBS	564084000	0.13	1419	IMP	,		
IS VERLIN LEVI JR/DELIA	4048 MADISON LN	10/31/22	1865	RES	\$ 283,119	\$ 103,406	36.52
DON R	534069000	0.85	786	IMP			
KYLE	502 ELLISON WAY	08/30/22	1856	RES	\$ 199,101	\$ 53,355	26.80
E ANDREA MICHELLE	121084000~37	0.13	2539	IMP			
JUSTIN V	1351 WATERS EDGE DR	04/19/22	1837	RES	\$ 380,606	\$ 169,716	44.59
SEN JOHN	362056000	0.15	2201	IMP			
C LAND HOMES LLC	2340 TRAVIS PINES DR	05/10/22	1841	RES	\$ 152,724	\$ 36,174	23.69
ON NILES	1540133000	0.34	850	IMP			
DUNG MI	2517 MILLEDGEVILLE RD	09/29/22	1861	СОМ	\$ 523,943	\$ 210,400	40.16
LAKE CAPITAL LLC	714014010	2.14	836	IMP			
JONATHAN	4020 CALYPSO	03/31/22	1835	RES	\$ 129,138	\$ 43,610	33.77
IER III LAWRENCE PAUL/CLOUTIER	303109000	5.18	2105	IMP			
R STEVEN G	1022 MAGNOLIA DR	11/17/22	1866	RES	\$ 321,824	\$ 132,512	41.18
MAGNOLIA LLC	134124000~LOT 12, BLOCK 'C',	0.40	1828	IMP			
OPERTY MANAGEMENT LLC AN	3925 GOSHEN INDUSTRIAL BLVD	05/05/22	1841	IND	\$ 786,569	\$ 333,064	42.34
AL WASTE RECYCLING OF GEORGIA	1842001000	10.00	2202	IMP			
NDEZ DAVID	3403 THAMES PL	07/13/22	1851	RES	\$ 184,512	\$ 87,068	47.19
KIMBERLY L	1431052000	0.26	825	IMP			
(ASEY A	2965 CLARKSTON	07/29/22	1856	RES	\$ 308,865	\$ 126,667	41.01
IOSHUA	671087000	0.27	1717	IMP			
JOHN L	2321 REDWOOD DR	08/03/22	1853	RES	\$ 236,004	\$ 89,658	37.99
IAN GLORIA J/COLEMAN DENISE V	271016000~5, E	0.87	1304	IMP			
DONALD D	3948 LAKESIDE PASS	12/12/22	1870	RES	\$ 330,405	\$ 154,132	46.65
IS MARGIE REE	1803012000	0.62	530	IMP			
MAN ALLYSON I	3103 THEODORE	11/10/22	1865	RES	\$ 248,877	\$ 109,096	43.84
IS MICHAEL R/COLLINS LINDSEY A	653080000	0.13	2560	IMP			
) JOSEPH KHALIL	2624 DRAYTON DR	01/28/22	1825	RES	\$ 111,771	\$ 44,386	39.71
IS THEDRICK	940171000	0.29	815	IMP			
NDS KEMAR J	1127 ROSLAND	02/16/22	1829	RES	\$ 264,071	\$ 95,678	36.23
IS TONY	800046000	0.18	1519	IMP			
OORT JENNA L	3122 RAMSGATE	11/02/22	1866	RES	\$ 253,168	\$ 95,821	37.85
S MICHAEL EDWARD/STANDARD A/K/A	242050000	0.35	1422	IMP			
OLDINGS LLC	2608 COMMONS BLVD	08/31/22	1858	СОМ	\$ 332,551	\$ 103,139	31.01
ONS LLC	120441000~BLDG B-1 PH III	0.44	1579	IMP			
CIA R JENNINGS	3013 HOLLINS DR	04/01/22	1835	RES	\$ 146,797	\$ 47,309	32.23
HETTA GIBBONS	1400346000	0.44	623	IMP			
ARD INVESTMENTS LLC	818 BELAFONTE DR	01/06/22	1822	RES	\$ 31,874	\$ 11,069	34.73
WILLIE/CONE CLEMENTINE	613012000~LOT 7, BOCK D, SUNLIGHT	0.14	1126	IMP			
S ELIZABETH	2111 LAKE	08/03/22	1853	RES	\$ 133,020	\$ 48,249	36.27
DN CHARRITI	273002000	0.22	1757	IMP	1	, , ,	
GREGORY J	801 MONTE SANO AVE	06/13/22	1846	RES	\$ 96,311	\$ 30,489	31.66
AD EVA MARIE	341383150~5, C	0.08	1101	IMP			
JGA CHRISTOPHER A	2425 YOUNG DR	03/21/22	1833	RES	\$ 108,781	\$ 36,762	33.79
JAMES FREDERICK	973098000	0.28	1364	IMP	<b>,</b>	, , , , , ,	
GUSTAVO A	1731 ETHAN WAY	04/18/22	1837	RES	\$ 283,869	\$ 101,486	35.75
KEONDRA M	1521076000	0.28	2598	IMP	, _10,000	,, .50	
HO ANTHONY	1739 HARROGATE DR	03/25/22	1837	RES	\$ 163,557	\$ 53,956	32.99
NATALIE J	2140210000	0.31	802	IMP	\$ 100,007	\$ 55,550	32.03
E WILLIAMS	1639 SAINT LUKE	06/03/22	1845	RES	\$ 12,313	\$ 3,754	30.49
AWHATCHIE INVESTMENTS LLC			1		ψ 12,313	ψ 3,7 34	30.49
ON RHONDA HAWKINS					\$ 76 370	\$ 28 6	Ь
		1	1		φ 10,3/9		266
ON RHO		ONDA HAWKINS 519 WRIGHTS	DNDA HAWKINS 519 WRIGHTS 10/19/22	DNDA HAWKINS 519 WRIGHTS 10/19/22 1863	ONDA HAWKINS         519 WRIGHTS         10/19/22         1863         RES	DNDA HAWKINS 519 WRIGHTS 10/19/22 1863 RES \$ 76,379	DNDA HAWKINS 519 WRIGHTS 10/19/22 1863 RES \$ 76,379 \$ 28,6



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02480	HENRY A JONES JR COOSAWHATCHIE INVESTMENTS LLC	1825 WATKINS 354010000	04/13/22 0.15	1837 1440	RES VAC	\$ 9,196	\$ 2,656	28.88
02026	LORI C DAVIS AND RUNETTA RIGDON AND COOSAWHATCHIE INVESTMENTS LLC	1758 WATKINS 354198000	03/31/22	1835 773	RES VAC	\$ 23,247	\$ 4,322	18.59
01890	ALLEN ODOM	511 WRIGHTS	03/30/22	1834	RES	\$ 55,840	\$ 16,912	30.29
05049	BUSINESS OF HISNESS LLC	363110000 1623 FENWICK 354211000	0.13 07/22/22 0.15	2392 1852 636	RES IMP	\$ 48,917	\$ 20,679	42.27
05178	COOSAWHATCHIE INVESTMENTS LLC CWW GROUP INC	432 REYNOLDS 472042010	08/02/22	1853 1589	COM	\$ 180,074	\$ 35,458	19.69
04618	JOHN CROPPER	1640 CLEVELAND 452101000	07/15/22	1850 1855	RES VAC	\$ 11,586	\$ 5,120	44.19
03655	COOSAWHATCHIE INVESTMENTS LLC YEE AND MARGARET CHAU CHEN PING CORBIN JAKE A	801 MONTE SANO 341383040	05/26/22	1845 1646	RES IMP	\$ 82,377	\$ 36,333	44.11
00359	JOHNSON EDDIE P	3402 HEATHER 323071020	01/20/22	1825 591	RES	\$ 44,326	\$ 20,000	45.12
05699	CORBO DEVON G LUCREE CHRISTOPHER M CORD C COLLINS	3346 WEDGEWOOD 412118000	0.65	1856 1633	RES IMP	\$ 158,766	\$ 64,930	40.90
00932	WASHINGTON CAROL RENEE COREY A HOWARD	2017 JOCELYN PL 1521046000	0.23	1828 2361	RES	\$ 280,997	\$ 103,668	36.89
04436	JAMES E RICHARDSON AND LATOYA G COREY VANESS HODGES	4546 PINEVIEW LN 1794043000	06/30/22	1848 2315	RES	\$ 163,057	\$ 59,362	36.41
01447	ROONEY-FENN MARIA R CORNELIUS DAISY MARIA	2622 DUBLIN DR~23 940198000~C	03/10/22	1832 756	RES IMP	\$ 63,411	\$ 30,546	48.17
00201	SATERFIELD KEVIN BRUCE CORREA LUZ MERY/HERRERA	2118 PEPPERIDGE DR 1430031000	0.22	1824 20	RES	\$ 132,873	\$ 62,854	47.30
01473	FULLER KIMIKA S	3526 DAVIS DR 1200027060	02/25/22	1832 113	RES	\$ 80,784	\$ 42,846	53.04
01633	CORTES CO LLC AVERY DIANA CORTES CO LLC	2948 HAMILTON DR 964016000	03/23/22	1833 2146	RES	\$ 74,895	\$ 42,076	56.18
00313	FLORIDA ANDREW T CORTEZ ERNESTO A/CORTEZ CARMEN A	1610 WHITNEY ST 443146000~6	0.88	1824 2326	RES	\$ 92,001	\$ 44,484	48.35
00625	DOUGLAS ANGELA HOOD CORTEZ ERNESTO A/CORTEZ ENRIQUE	1204 HIGHLAND 334209000	02/07/22	1826 2164	RES IMP	\$ 169,899	\$ 57,682	33.95
07342	LONAKER DANA/MCCLURE EDWARD COUNTRY ACRES PARTNERS LLC	903 HORSESHOE 2810116000	11/10/22	1865 2596	RES VAC	\$ 13,731	\$ 6,400	46.61
03717	MARGARET A BROWN COURTNEY HILLS	3739 CREST 1390142000	06/07/22	1846 188	RES IMP	\$ 144,592	\$ 44,657	30.88
00686	SPEARS MARY L COUZENS JAMAEL	2834 BRENTWAY DR 1180450000~LOT 36, OF THE	01/11/22	1826 1985	RES	\$ 159,632	\$ 41,315	25.88
05141	MAY J BRADFOR COVINGTON III HOWARD W	1462 HEATH 443071000	08/12/22	1854 1472	RES	\$ 225,706	\$ 69,584	30.83
06720	SCENIC LAND HOMES LLC COVINGTON KETURAH	2808 BENNINGTON 1300812000	09/23/22	1862 749	RES	\$ 141,602	\$ 39,505	27.90
01678	SFR2-060 LLC CRAWFORD JR PETER I/PATRICK GLORIA L	2720 BARCLAY ST 1300499000	03/16/22	1832 2278	RES	\$ 89,462	\$ 38,383	42.90
05498	MORGAN CHARLES R CRAWFORD PATRICK L	3112 NATALIE CIR 323093000~11, B	08/19/22	1855 1337	RES	\$ 351,775	\$ 162,170	46.10
01631	CARR MEREDITH C CREECH CHARLES/WOOD ABIGAIL	2239 HUNTINGTON RD 264013000	03/24/22	1833 2084	RES	\$ 299,328	\$ 117,647	39.30
04646	TRIPLE A FOUR K'S INC CROCKETT LORA A	1120 HANCOCK MILL LANE 3190075000~LOT 31, BLOCK C, SECT. II,	06/13/22	1849 2217	RES VAC	\$ 7,408	\$ 3,392	45.79
03738	MAKERSON RICHARD CROOKS CASANDRA	3537 JONATHAN CIR 1234011000~LOT 54, BL. D, APPLE	06/07/22	1845 2575	RES IMP	\$ 70,105	\$ 23,646	33.73
00123	GLORIA ALLRED CROSSTOWNS INVESTMENTS CONSULTING	2707 BOLLING RD 133046000	01/14/22	1823 565	RES	\$ 250,904	\$ 64,962	25.89
03485	AGUILAR JOSEPH M CROWDER STEVEN DOUGLAS	2703 BRICKRUN PL 131156000	0.31	1845 1598	RES IMP	\$ 211,639		267



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01426	COLES JOSEY CRUZ AMANDA JEAN/CRUZ ANDREW	1013 BURLINGTON DR 673041000~LOT 2, BLK I, GRANITE HILL	03/01/22 0.32	1831 638	RES IMP	\$ 263,362	\$ 103,142	39.16
08064	CATCHPOLE DANA A CRW HOLDINGS LLC	1016 RIVER RIDGE 133098000	12/09/22 0.32	1868 2476	RES IMP	\$ 162,971	\$ 59,850	36.72
07634	KEEZER TERESA A	2927 POINTEWEST	11/30/22	1867	RES	\$ 171,639	\$ 69,021	40.21
	CRW HOLDINGS LLC	180419000	0.10	2035	IMP			
04570	MALEKA BURNETTE CRYSTAL N STRINGER	3973 SCOTT 510130000	07/08/22 0.47	1850 1305	RES VAC	\$ 34,328	\$ 10,080	29.36
08603	CSRA ECONOMIC OPPORTUNITY AUTHORITY	1261 GREENE ST 364277000	0.33		COM IMP	\$ 473,748	\$ 121,128	25.57
02575	1220 GEORGE C WILSON DRIVE LLC A CSRA ESSENTIALS LLC A GEORGIA LIMITED	1220 GEORGE C. WILSON DR 310002000	04/26/22 1.93	1839 188	COM IMP	\$ 1,230,071	\$ 414,028	33.66
04177	POWELL SHANNON	1014 EUSTIS DR	06/17/22	1847	RES	\$ 127,660	\$ 42,102	32.98
0	CSRA HOUSING LLC	203069000	0.41	1809	IMP	ψ . <u>2.</u> ,666	ψ . <u></u> ,	02.00
02924	THOMPSON SCOTTIE JOHN	803 PARKER ST	05/10/22	1841	RES	\$ 94,329	\$ 46.626	49.43
	CSRA HOUSING LLC	70152000	0.23	961	IMP	7 0 1,020	<b>V</b> 10,0_0	
06616	BRIEL KRISTA M	3867 MIKE PADGETT HWY	09/16/22	1861	RES	\$ 77,238	\$ 32,679	42.31
	CSRA RENTAL SOLUTIONS LLC	1840002000	0.65	2119	IMP	***,===	<b>,</b> , , , , ,	
08015	HEALY DAVID P	2401 WILKSHIRE DR	11/30/22	1868	RES	\$ 218,840	\$ 101,310	46.29
	CTP HOLDINGS LLLP	192130000~LOT 17, BLK C, WINDSOR	0.44	2137	IMP			
02099	DUNCAN GERALDINE R	1025 OLEANDER DR	03/21/22	1836	RES	\$ 149,104	\$ 43,997	29.51
	CTP HOLDINGS LLP	201181000~LOT 30, SECTION E,	0.32	1400	IMP			
07175	SEIBEL NATHANIEL J	5376 BULL ST	10/28/22	1865	RES	\$ 288,354	\$ 102,106	35.41
	CUMMINGS STARRENZO	821085000~LOT 83, BLK E, ELDERBERRY,	0.52	631	IMP			
01931	RUSH ENTERPRISES LLC	2012 CHERRY RD	03/29/22	1835	RES	\$ 55,888	\$ 17,284	30.93
	CUNNINGHAM BRIAN	714112000	0.43	689	IMP			
02039	RUSH ENTERPRISES LLC	850 LAKE TERRACE DR	03/29/22	1835	RES	\$ 74,331	\$ 42,043	56.56
	CUNNINGHAM BRIAN	201220000	0.23	1007	IMP			
07601	SWANIKER CAROL	307 WILEY AVE	10/18/22	1866	RES	\$ 102,898	\$ 29,540	28.71
	CUNNINGHAM ZAHRELL	962033000	0.30	2341	IMP			
08197	BREONN STEPHENS	10556 ROSLAND	12/21/22	1870	RES	\$ 218,840	\$ 84,382	38.56
	CYNTHIA A CRAWFORD	790081000	0.18	1382	IMP			
03076	DIPAOLO JANET L	2610 CASTLETOWN DR	05/13/22	1842	RES	\$ 89,601	\$ 40,451	45.15
	CYNTHIA LONG	1300292000	0.23	386	IMP			
06076	MCHENRY SAMANTHA	3714 TEAKWOOD CT	09/14/22	1859	RES	\$ 120,147	\$ 44,297	36.87
	DAB LLC	1530507000	0.40	148	IMP			
05606	LAFLEUR ALEXANDER WILLIAM	2904 PILLAR LN	08/09/22	1855	RES	\$ 165,632	\$ 72,233	43.61
	DAB LLC	520354000~2 AND F	0.35	240	IMP	•		
08043	PLOOSTER KIMBERLY JO	4986 COPSE	12/15/22	1869	RES	\$ 253,168	\$ 99,389	39.26
00500	DABIT DEANA J/BOWERS CODY E	640120000	0.21	2443	IMP	A 407.007	Ø 50 450	00.07
02529	SHELFER ALEXIS	1547 BROWN RD	04/26/22	1838	RES	\$ 187,337	\$ 53,150	28.37
	DAFFEH JR BOBOUCARR	2140066000~5	0.72	2741	IMP	<b>*</b> **********	<b>*</b> • • • • • • • • • • • • • • • • • • •	4= 00
02124	GRISSETT ANTHONY T	2204 GRANDWOOD LN	04/06/22	1837	RES IMP	\$ 199,834	\$ 95,772	47.93
00444	DAL RAHILA	683021000	0.24	1156		¢ 057 450	£ 404.054	50.00
08414	DOZIER TAMMIE DALTON E EPPERLY	2021 RIDING RING CT 1960033000	12/30/22 4.45	1871 399	RES IMP	\$ 257,459	\$ 131,254	50.98
07070	WILLIAM N BURGOS JR AND AMANDA C	4069 MADISON	10/31/22	1864	RES	\$ 256,429	\$ 99,091	38.64
07070	DAMIEN DOOLITTLE AND LASHAWN SUSIE	533081000	0.27	2609	IMP	\$ 250,429	φ 99,091	30.04
04220	NAPOLEON ROBINSON	2941 RUNNING CREEK	06/24/22	1847	RES	\$ 157,052	\$ 42,449	27.03
•	DANIEL A GROOVER	164005000	0.06	2560	IMP	<b>,</b> , , , , , , , , , , , , , , , , , ,	<b>,</b> ,	
07539	SIMMERMAN ERIKA L MABES	3010 SUSSEX	11/15/22	1866	RES	\$ 274,623	\$ 76,670	27.92
	DANIEL B HOBBS	251072000	0.37	2064	IMP	,,.220	, , , , , , ,	
01613	SCENIC LAND HOMES LLC	3861 DARDEN	03/21/22	1833	RES	\$ 178,175	\$ 41,218	23.13
,	DANIEL CARLTON JACKSON	520082000	0.46	909	IMP	2 0,170	ψ .1, <u>2</u> 10	
07738	HARRELL SUE G FAIN	3229 KEVIN DR	11/28/22	1867	RES	\$ 67,913	\$ 31,422	46.27
,	DANIEL OCAMPO AND SERGIO LONDONO	1222307000	0.26	2104	IMP	\$ 57,570	Ψ 51,122	
00407	FA PROPERTIES LLC A GEORGIA LIMITED	940 RUSSELL ST	04/14/22	1837	RES	\$ 202,148	\$ 58,7	k
02437						, 7 - 5 - , 10	Ψ 55,1	268



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04503	BLACKBURN BOBBY DANNER VANESSA EVONNE/DANNER	3651 WOODCOCK DR 1300840000~34, I	07/11/22 0.27	1850 175	RES IMP	\$ 158,766	\$ 61,752	38.89
01514	TEROSKY JOHN IV DANNY ROSE AND SHELLEY ROSE AS JOINT	2546 CROSSCREEK RD 1300040000	03/16/22 0.24	1832 1249	RES IMP	\$ 160,089	\$ 53,616	33.49
01987	LEE NATHANIEL AND DELORES D	2722 FAWN DR	04/06/22	1835	RES	\$ 69,387	\$ 32,896	47.41
	DARLENE HUGGINS	1200416000	0.23	2254	IMP	<b>.</b>		
01954	MICHAEL BALL DARYL A JOHNSON AKA DARYL JOHNSON AND	8037 CRAWLEY	04/01/22 0.20	1836 494	RES IMP	\$ 255,409	\$ 92,647	36.27
06521	GAGE GARRETT BRADLEY ISAIH ROF/CINDY M		09/30/22	1861	RES	\$ 163,057	\$ 62,605	38.39
00321	DAT CAO HOANG	373249000	0.02	1382	IMP	ψ 103,037	\$ 02,003	30.5
03185	RAYMOND E MANDERS JR	836 LAKE TERRACE	05/19/22	1843	RES	\$ 140,377	\$ 41,399	29.4
	DAVID BASH AND PHILLIP AUSTIN JTWROS	203220000	0.23	556	IMP			
00800	MARSHALL MARVIN A SR	2177 RAMBLEWOOD DR	02/14/22	1827	RES	\$ 144,704	\$ 46,092	31.8
	DAVID C ROBINSON AND HELEN G HARRIS AS	1430256000	0.24	2259	IMP			
01182	RENE LEMMONS	17831 BERKELEY	02/28/22	1829	RES	\$ 158,320	\$ 57,013	36.0
	DAVID DAVIS	571160000	0.30	2645	IMP			
01002	WILKERSON CARRIE ETHEL HARRING ET AL	1027 SEVENTH	03/01/22	1830	RES	\$ 17,449	\$ 8,114	46.50
	DAVID DENEMARK AND JOANN DENEMARK	722592000	0.14	1198	IMP			
07093	SOTO PROPERTIES LLC	3551 RAVENWOOD DR	11/01/22	1865	RES	\$ 184,426	\$ 56,162	30.4
25050	DAVID H MYNHIER AND JAMIE D MYNHIER	100212000	0.38	18	IMP	A 000 004	<b>#</b> 400 455	040
05959	HARRIS RUTH BABETTE SYLVIA	3040 CARDINAL	09/01/22	1857	RES IMP	\$ 369,024	\$ 126,455	34.2
0.4700	DAVID LEWIS ALLEN AND MARGARET	431113000 1936 SATCHER BLVD	0.46	2064		¢ 150 104	£ 47 220	24.4
04700	KEEN ACQUISITIONS LLC DAVID RUSS	1331093000	07/15/22 0.57	1851 412	RES IMP	\$ 150,184	\$ 47,238	31.4
04935	ANDERSON JAMES T	2004 GARDNER	0.57	1852	RES	\$ 97,834	\$ 30,445	31.1
14933	DAVID T NGUYEN	351320000	0.20	642	IMP	φ 97,034	φ 30, <del>44</del> 3	31.1
00522	TERRANOVA DEVELOPMENT CORP	1423 FELDSPAR	01/05/22	1826	RES	\$ 259,181	\$ 95,708	36.9
	DAVIS ANDREA J	402492000	0.09	884	IMP	<b>*</b> ====,	<b>,</b> , , , , , , , , , , , , , , , , , ,	
02052	JENKINS ANDREW	2295 WALDEN DR	04/01/22	1835	RES	\$ 12,543	\$ 6,600	52.6
	DAVIS ANTONIO	564125000	0.61	817	VAC			
05929	ROSSUM ALLEGRA VAN	2820 HARWOOD DR	08/09/22	1857	RES	\$ 201,247	\$ 79,545	39.5
	DAVIS III ALEX	1390310000	0.58	2250	IMP			
06350	SAID JAMES T ROFS AND KIMBERLY	746 MCCLURE	09/09/22	1859	RES	\$ 287,496	\$ 119,219	41.4
	DAVIS JOSHUA KYLE/ARTHUR KELSEY	244114000	0.28	1348	IMP			
04485	SHAHBAZIAN KEVIN MICHAEL	9053 BREVARD RD	07/06/22	1849	RES	\$ 214,463	\$ 87,965	41.0
	DAVIS RICHARD	653223000~15, L	0.21	2129	IMP			
08104	FORRY MICHAEL R	4216 CAP CHAT ST	12/09/22	1869	RES	\$ 124,438	\$ 42,181	33.9
	DAVIS TORRE FREDRICK/BROWN-DAVIS	1660225000~LOT 13, BLK B, SEC I,	0.37	1021	IMP	<b>.</b>		
00492	GSC HOME INVESTMENTS LLC	1006 RUSSELL ST	02/01/22	1826	RES IMP	\$ 351,208	\$ 154,027	43.8
00001	DAVIS WILLIAM A  NGUYEN DANIEL T	451253000 925 BURLINGTON	0.22	586	RES	\$ 260,297	\$ 107.034	44.4
06001	DAVIS YOYLANDA TYONNE	671168000	0.21	1857 1736	IMP	φ 200,29 <i>1</i>	\$ 107,034	41.1
01430	NYCK GAVIRIA	1323 YORK DR	03/15/22	1832	RES	\$ 263.897	\$ 105,414	39.9
71400	DAWSON L HILLIS AND SARAH A HILLIS	780159000	5.18	1697	IMP	Ψ 200,037	Ψ 100,414	00.0
1417	WHITFORD JENNIFER L	1413 JOHNS RD	03/14/22	1832	RES	\$ 197,145	\$ 54,800	27.8
	DAY BRENNAN PAUL	441273000	0.14	475	IMP	*,	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
02895	WHITE REAL ESTATE DEVELOPMENT	1543 GORDON HWY	05/05/22	1841	COM	\$ 1,154,740	\$ 248,833	21.5
	DCP TPH LLC	862068000	0.97	2432	IMP			
3619	GOINS ANWAR	403 THIRD ST	05/27/22	1844	RES	\$ 111,154	\$ 32,408	29.1
	DE GUZMAN MINE THILDE/DE GUZMAN GIAN	474081080	0.06	576	IMP			
06282	MCCRACKEN MARY W	4025 HARPER FRANKLIN AVE	09/28/22	1860	RES	\$ 223,045	\$ 88,282	39.5
	DE'JUN SPANN AND LATONYA SPANN	662020000	0.22	2153	IMP			
02941	O'BRIEN CYNTHIA K	133 LAKEMONT	05/10/22	1841	RES	\$ 450,085	\$ 102,950	22.8
	DEAN BROWN AND HENRY GILLIAM JTWROS	271036000	0.78	1811	IMP			
00557	WADFORD KAYLA	1011 RUSSELL	02/10/22	1827	RES	\$ 203,286	\$ 62,136	30.5
	DEAR II SAMUEL DANIEL/DEAR RAMI CHANEL	451248000	0.17	478	IMP			
08352	EWA GROUP LLC	3645 SEELYE DR	12/27/22	1871	RES	\$ 166,490		269
	DEAS TIARA ANN/HENLEY MATTHEW I	1430214000~LOT 21, BLK N, SEC IV,	0.27	1113	IMP		<b>                                   </b>	209



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07220	SAYLORS DONNA J DEBORAH A JACKSON	1598 GOSHEN RD C 1990019000	11/03/22 0.12	1865 286	RES IMP	\$ 111,565	\$ 32,535	29.16
05053	BURNETTE UHURU WILLIE DENETRIA MORRIS NEELY	1018 RIVER RIDGE 133099000	07/28/22 0.36	1852 2800	RES IMP	\$ 128,729	\$ 85,868	66.70
07442	ALLEN THOMAS ANDREW/JAMIE K	520 ELLISON WAY	11/10/22	1865	RES	\$ 193,094	\$ 52,453	27.16
	DENNIS J NEGRON	121075000	0.10	2751	IMP			
01296	TRAN MICHAEL T DENNIS STEPHANIE MARIE/DENNIS	3016 BREEZE HILL DR 950410000	03/11/22 5.18	1831 2572	RES IMP	\$ 165,487	\$ 56,572	34.19
08553	BURNETTE NIYA	1620 SAYBROOK	12/20/22	1872	RES	\$ 42,910	\$ 10,080	23.49
00000	DENZIL E WHYATT AND KENDRA P WHYATT	510112000	0.73	2652	VAC	Ψ 42,510	ψ 10,000	20.40
03051	AKEEM OLAJAWON STALLING	2917 AVALON CT	05/16/22	1842	RES	\$ 192,134	\$ 65,624	34.16
	DEREK R FARRINGTON	1661136000	0.29	1022	IMP	,	. ,	
04596	HOPE LAWANDA	2608 CLARKSTON CT	06/29/22	1849	RES	\$ 193,271	\$ 59,548	30.81
	DESCARTES INA/WARD JR DANIEL NORMAN	520618000~LOT 44, BLK M, ASBURY	0.37	2342	IMP			
05240	MARSHELLE JOHNSON	4020 EDENFILED CT	08/05/22	1853	RES	\$ 304,660	\$ 117,664	38.62
	DESHON TAYLOR	1951024000	0.24	2196	IMP			
03838	HARRIET EVANS	4423 DAVE MACDONALD DR	06/14/22	1846	RES	\$ 259,499	\$ 94,566	36.44
	DESMOND A HUNTER AND MELVINA J	1663012000	0.30	1825	IMP			
07958	MARTIN CRAIG T	4138 BURNING TREE LN	12/09/22	1868	RES	\$ 205,881	\$ 77,378	37.58
	DEVON RAY BOWERS	2140176000	0.56	2650	IMP			
01640	JOHN LOVETT AND GLENDA G LOVETT	2526 BROOKSHIRE RD	03/21/22	1833	RES	\$ 103,154	\$ 24,092	23.36
	DEXTER INGRAM AND NICCEAU P INGRAM	1310004000	0.27	889	IMP			
01680	KENNETH W ROBERTS	4012 RIO PINAR DR	03/18/22	1833	RES	\$ 192,632	\$ 64,512	33.49
	DIAMON WILLIAMS	1980208000	0.37	573	IMP			
8008	JAMES EDWARD DEVA AND JORDAN C MOORE		12/12/22	1869	RES	\$ 201,676	\$ 95,562	47.38
	DIAMOND ARMOUR-HILL	1840156000	0.48	149	IMP			
04450	NISH2INVESTMENTS LLC	2121 RESERVE LN	07/06/22	1849	RES	\$ 161,770	\$ 63,449	39.22
	DIAMOND RAYS LLC	73152000	0.05	1770	IMP	<b>A</b>		
00498	RODRIGUEZ PRESTON	1204 KENDAL CT	01/28/22	1825	RES	\$ 153,661	\$ 53,384	34.74
0.40=4	DIANA Q KRAWLECKI	121041000	0.10	2618	IMP	A 400 0==	<b>A == 0.11</b>	
04374	WALTER CHRISTIAN ETTERLEE II	418 MILLEDGE	07/01/22	1849	RES	\$ 163,057	\$ 55,844	34.25
20000	DIANA RENEE WILLIAMS	351098000	0.21	614	IMP	<b>#</b> 400 007	0.50.444	00.77
02360	KEYAUNICE HAWES	2707 DEVEREUX 532084000	04/12/22 0.14	1837 398	RES IMP	\$ 163,837	\$ 50,414	30.77
04404	DIANNE CLARK WAHLERT DOUGLAS L	4216 MATCH POINT	05/31/22	1849	RES	\$ 139,329	\$ 42,313	30.37
04404	DIAS THOMAS JAMES/DIAS MELISSA	312090000	0.04	480	IMP	\$ 139,329	φ 42,313	30.37
04250	SMITH-ANDERSON MAKIESHIEM M	3918 LAKESIDE PASS	06/07/22	1848	RES	\$ 237,481	\$ 98,763	<i>1</i> 1 50
04200	DIAZ VELEZ RICCARDO JOSHUA/AMOROS	1951011000	0.21	1572	IMP	ψ 257,401	Ψ 30,7 03	41.00
00093	LEON-GUERRERO KENNETH MELISSA	1221 RIVER RIDGE DR	01/13/22	1823	RES	\$ 241,693	\$ 87,730	36.30
00000	DIBBLE BENJAMIN P	132196000	0.38	1254	IMP	<b>\$211,000</b>	ψ σ. γ. σσ	00.00
04481	MARTIN JAMES MATTHEW	2920 ARROWHEAD	07/01/22	1849	RES	\$ 152,759	\$ 43,123	28.23
	DIEL CHRISTEN J	180238000	0.09	2643	IMP			
02724	LEE GWO S	115 YORK	05/03/22	1840	RES	\$ 185,297	\$ 63,606	34.33
	DIENST RYAN/DEIGHAN JAMES	181044000	0.07	482	IMP			
05411	PEREZ KIMBERLY A ROFS/MICHAEL DANIEL	3759 FAIRINGTON DR	08/17/22	1855	RES	\$ 163,915	\$ 59,024	36.01
	DINA ELBELEIDY	1520115000	0.39	2453	IMP			
01879	PRUIETT DAMIEN D	310 CLEARVIEW CT~31	03/23/22	1833	RES	\$ 81,916	\$ 33,369	40.74
	DIXON TYCIONNA	1401015000~PHASE I	0.07	2602	IMP			
01662	SCROGGS MARTHA C	746 LANCASTER RD	03/11/22	1833	RES	\$ 226,954	\$ 105,137	46.33
	DJIMBINOV SANAL	244126000	0.37	1844	IMP			
03027	RABUN HENRY E JR	2926 PROFESSIONAL	05/16/22	1842	COM	\$ 430,953	\$ 156,001	36.20
	DM RICHARDSON GROUP LLC	160416000~LT 3 BLK A	5.18	1447	IMP			
04986	DUNLAP ALFRED ROFS AND DOROTHY T	3450 MCALPINE DR	07/25/22	1852	RES	\$ 116,715	\$ 29,656	25.41
	DNS CAPITAL VENTURES LLC	1080498000	0.20	2390	IMP			
03501	VARGAS MARCO T AND ANA L ROFS	105 TREMONT WAY	06/02/22	1845	RES	\$ 203,339	\$ 52,055	25.60
	DO DAT XUAN/DO PHUNG ANHHONG	110202000	0.42	1006	IMP			
06327	SUH KATHY	1609 EMMA	09/22/22	1859	RES	\$ 145,893	\$ 49,9	270
	DOAN TRAN AND OANH PHUNG JTWROS	303337000	0.46	2610	IMP			270



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04655	RICHARDS JOHN PRESTON DOMAN JENNIFER J/DOMAN DAVID M	508 REGENT PL 242028000	07/18/22 1.28	1850 2422	RES IMP	\$ 793,831	\$ 291,838	36.76
06882	PILCHER-HARDY RENTALS LLC DONALD W SMITH	3322 OLD LOUISVILLE RD 1224039030	10/14/22	1862 2720	COM	\$ 51,973	\$ 18,295	35.20
07550	ISOM ROOSELVELT III	3635 CRAWFORDVILLE	11/17/22	1866	RES	\$ 199,101	\$ 69,370	34.84
	DONALDSON KAREN/DONALDSON JAMES	530234000	0.37	2561	IMP			
03266	PROPERTY SISTERS REAL ESTATE DONNA A MUHAMMAD	1815 FORMOSA DR 1224148000	05/19/22 0.23	1843 529	RES IMP	\$ 137,258	\$ 39,802	29.00
04435	RYAN C WAGNER	4916 MOSSYCUP CT	06/29/22	1848	RES	\$ 128,762	\$ 48.280	37.50
04433	DONOVAN BRUCE BROCK	3350027000	0.45	2264	IMP	\$ 120,702	φ 40,200	37.30
00349	MARCO RODRECIUS O'NEAL	3374 MONTE CARLO DR	01/21/22	1824	RES	\$ 156,495	\$ 55,165	35.25
	DONOVAN LEDEE	1433014000	0.21	1565	IMP			
05062	KOUZIOS LEA MARIE/NICHOLAS	3507 RICHMOND HILL RD	07/28/22	1852	RES	\$ 189,661	\$ 58,929	31.07
	DONTRELL J REDD	1214078000	0.36	1646	IMP			
08800	MILLER JUDITH H	2012 DUNHAM CT	02/24/22	1829	RES	\$ 105,225	\$ 29,688	28.21
	DOOLEY KELLY RENEE	1103079000	0.18	460	IMP			
00510	SHEEHAN LOUISE FRANKLIN	2703 WELLINGTON DR	02/04/22	1826	RES	\$ 374,688	\$ 96,078	25.64
	DORIS JACOB B/KIM ELIZABETH SUN	254123000	0.55	353	IMP			
01256	GREGORY PAMELA DORN RAYMOND	4612 DUNBARTON DR 2720049000	03/08/22	1830 2682	RES IMP	\$ 93,853	\$ 32,420	34.54
00117	WILLIAMS CELYA T	2523 GEORGETOWN DR	01/17/22	1822	RES	\$ 156,996	\$ 34,352	21.88
00111	DORN SCOTT A/DORN BRIGITTE H	1080212000	0.24	2726	IMP	ψ 100,000	ψ 0 1,002	21.00
04317	MATNEY DEBORAH A	2823 SPRINGWOOD DR	06/29/22	1848	RES	\$ 167,931	\$ 46,453	27.66
	DORY ISRAEL	83028000	0.08	1415	IMP	, ,	. ,	
02795	CHEW MARGARET BAXLEY	738 OXFORD RD	05/06/22	1840	RES	\$ 315,444	\$ 120,158	38.09
	DOWNING JR MICHAEL LARUE	244106000	0.36	2318	IMP			
06546	DUTKO DOLORES M	4389 CLEMENTS RD	10/07/22	1861	RES	\$ 64,365	\$ 29,828	46.34
	DOZIER JAMES L	2280028010	0.52	2700	IMP			
02989	SAPP THOMAS CLYDE	1722 KISSINGBOWER RD	05/04/22	1842	RES	\$ 81,279	\$ 36,411	44.80
	DREAM NATION LLC	572182000~LOTS 32, 33 & 34, BLK A,	0.21	1610	IMP			
07588	HEITE LLC	2046 MCDADE FARM RD	11/10/22	1866	RES	\$ 167,348	\$ 73,104	43.68
	DREAM NATION LLC	1960027010	1.32	2297	IMP			
07559	WILSON DAWN DREAM NATION LLC	4331 BIG DIPPER CIR 2140110000	11/14/22 0.46	1866 1629	RES IMP	\$ 145,893	\$ 66,247	45.41
07866	DOUGLAS WINTHROP LLC	2835 LUMPKIN RD	11/14/22	1867	RES	\$ 84,103	\$ 25,745	30.61
07000	DREAM NATION LLC	843211000~LT 29 BLK D	0.19	464	IMP	Ψ 04,103	Ψ 25,745	30.01
05515	POOLE BRUCE SHAY	2062 GREENE ST	08/16/22	1855	RES	\$ 94,402	\$ 48,597	51.48
00010	DREAM REALTY SOLUTIONS LLC	351103000~LOTS 4 AND 5, BL. G	0.29	980	IMP	Ψ 0 1, 102	ψ 10,007	011.10
08445	RILEY VICTORIA	3671 MADRID DR	12/30/22	1871	RES	\$ 73,951	\$ 44,637	60.36
	DREAM REALTY SOLUTIONS LLC	820565000	0.28	2157	IMP	, ,,,,	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
05884	HIGGINS PROPERTIES LLC	1742 DAVIDSON DR	08/18/22	1857	RES	\$ 68,656	\$ 34,365	50.05
	DUDLEY JUDI	573102000	0.25	771	IMP			
07970	FIRMIN CORAZON S	2715 DAN ST	12/02/22	1868	RES	\$ 235,918	\$ 79,527	33.71
	DUGAN DEREK	131044000~5, 18	0.31	2677	IMP			
00450	DOWDELL EDDIE W JR ROFS	2826 CRANBROOK DR	01/31/22	1825	RES	\$ 122,046	\$ 44,791	36.70
	DUGAN JR DENNIS	1290724000	0.33	854	IMP			
07727	EVANS SARAH MAE	2017 TRACY DR	12/05/22	1868	RES	\$ 94,402	\$ 30,276	32.07
07000	DUGGAN SEAN CAMPBELL/DUGGAN TAMI	3360006010	3.38	874	IMP	<b>*</b> 007.074	<b>#</b> 440.050	00.57
07926	B AND J OFFICE LLC A GEORGIA LIMITED	2910 PROFESSIONAL PKWY 160431000~LT 6 BLK C	12/05/22 0.28	1868 1005	COM	\$ 387,274	\$ 110,659	28.57
02106	DULY LLC A GEORGIA LIMITED LIABILITY  GPW AUGUSTA 1 LLC	1918 STARNES ST	0.28	1836	RES	\$ 148,656	\$ 66,827	44.95
02100	DURDEN PATRICIA DIANNE	353182000	0.20	1162	IMP	\$ 140,030	φ 00,027	44.33
01810	TRIPLE A FOUR K'S INC	1173 HANCOCK MILL LANE	03/17/22	1834	RES	\$ 8,656	\$ 3,392	39.18
31010	DURHAM JUSTIN A/BROWN REBECCA A	3190130000~LOT 37, BLOCK B, SECT. 2,	0.75	1723	VAC	ψ 0,000	Ψ 0,032	55.15
07927	WORTHY MARK A	2018 BUCKHAVEN WAY	12/05/22	1868	RES	\$ 103,842	\$ 41,491	39.96
	DURRANT CAPITAL GROUP LLC	80043000~LOT 9	0.04	1032	IMP	7 700,012	1,.51	
02485	CORDARO STEPHEN	2213 BRECKENBRIDGE	03/30/22	1836	RES	\$ 158,215	\$ 47,8	<u></u>
	EAKER JAMES RONALD/EAKER SUSAN	573047000	0.35	2738	IMP	, , , , , , ,		271



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01339	WELCOME HOME AFFORDABLE RENTALS LLC EARLY PATRICIA A	3325 WESTCLIFFE CT 104065000	03/08/22 0.26	1832 1481	RES IMP	\$ 142,201	\$ 38,450	27.04
02203	LIVINGSTON JACOB A EASTMAN CAROLYN	3507 REINS CT 1290637000~LOT 26, BL. I, PHASE I-A	04/15/22 0.28	1837 2337	RES IMP	\$ 133,120	\$ 56,801	42.67
05059	BATES BRUCE A	1836 WALKER	07/15/22	1853	RES	\$ 80,241	\$ 43,514	54.23
	ECO SOLUTION INVESTORS LLC	352567000	0.15	488	IMP			
06699	SNEED GEORGE L SR/TALIB R SHELTON ED TAYLOR ENTERPRISES LLC	3609 ALENE CIR 1070374000	10/11/22 0.22	1862 790	RES IMP	\$ 81,529	\$ 44,182	54.19
05440	DAN HENRY LEE IV	936 BROAD				¢ 424 420	\$ 54.972	4440
05412	EDDIE WRITER AND DAVID J BRENDZA	373260000	08/18/22 0.02	1855 2421	RES IMP	\$ 124,438	\$ 54,972	44.18
01837	SMITH JOSEPH E	429 WALKER ST	03/30/22	1834	COM	\$ 287,651	\$ 106,261	36.94
	EDGE JOE W/AMIN DILIP A/MURUGAPPAN	473369000~LT 6	0.28	2272	IMP			
01952	HARDY MARTIN Q/KIMBERLY C ROFS	1790 POWELL	04/01/22	1836	RES	\$ 46,455	\$ 22,639	48.73
	EDWARD DUKES	510042010	0.51	399	IMP			
00571	MICHAEL MOBLEY	410 ASHLAND	02/07/22	1827	RES	\$ 223,296	\$ 97,422	43.63
	EDWARD MALCOLM GILLESPIE	184002000	0.56	890	IMP			
04221	KUN KANG	425 FOLKSTONE CT	06/23/22	1847	RES	\$ 165,832	\$ 53,172	32.06
	EDWIN RUSSELL SCOTT AND LOIS ANN	110091610	0.15	2742	IMP			
02589	OYENUGA CHRISTOPHER ADEGOKE EISNER-ROMEO SUSAN/EISNER SARA	3509 POTOMAC DR 1322032000	04/11/22 0.27	1838 2537	RES IMP	\$ 202,668	\$ 57,636	28.44
02923	MILLER KIMBERLY L	3305 SADDLEBROOK DR	05/11/22	1841	RES	\$ 130.150	\$ 45,058	34.62
02923	ELAM ALICIA	1290501000	0.29	2027	IMP	\$ 130,150	\$ 45,056	34.02
01982	JOHN C WEAVER HOMEBUILDERS INC	266 CHURCH ST	03/30/22	1835	RES	\$ 353,656	\$ 109,175	30.87
01002	ELEY AMANDA N/ELEY LARRY D	2430030000	1.06	1949	IMP	ψ 000,000	ψ 100,170	00.07
08246		922 PAPAYA ST	12/23/22	1870	RES	\$ 188,803	\$ 66,803	35.38
00210	ELITE EVENTS AND TICKETS LLC A GEORGIA	201047000	0.28	1192	IMP	ψ 100,000	ψ 00,000	00.00
05856	WALKER CALVIN B	513 BOY SCOUT RD	08/19/22	1856	RES	\$ 51,492	\$ 19,433	37.74
	ELITE HOLDINGS LLP	254044000	0.22	2006	IMP			
07119	GUNN JUSTIN L	2361 REDWOOD	10/06/22	1863	RES	\$ 171,639	\$ 56,633	33.00
	ELITE PROPERTIES II LLC	194126000	0.12	2286	IMP			
01071	CARSON M THOMPSON AND JOEL THOMPSON		03/07/22	1831	RES	\$ 352,951	\$ 85,973	24.36
	ELIZABETH A BOURG AND MICHAEL L	333114000	0.37	82	IMP			
05444	LYONS BROOKE JACKSON	3325 CUSHENDAL 532120000	08/16/22 0.05	1854 2471	RES IMP	\$ 137,311	\$ 45,454	33.10
00747	ELIZABETH A LOY					¢ 204 405	¢ 05 754	26.25
02747	FELICITIA GARRIS ELIZABETH SHAKE AND KYLE SHAKE JTWROS	3131 RAMSGATE 174018000	05/02/22 0.40	1840 1193	RES IMP	\$ 264,165	\$ 95,754	36.25
00541	ROSEBOOM DEBORAH W	1124 MAGNOLIA DR	01/31/22	1826	RES	\$ 186,974	\$ 69,708	37 28
00341	ELLIOTT KATHERINE M/ELLIOTT EZRA J	134228000	0.26	673	IMP	\$ 100,974	\$ 09,700	37.20
01163	GOLDBLOOM ISAAC H	1822 MCDOWELL	02/25/22	1830	RES	\$ 114,801	\$ 31,736	27.64
	ELLISON PROPERTIES LLC	453052000	0.17	317	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, , , , ,	
02973	JAMES SEMION ADAMS	3051 OLD MCDUFFIE RD	05/11/22	1841	RES	\$ 31,416	\$ 7,040	22.41
	ELVIS ANTONIO CARPIO CONTRERAS	830014000	5.18	1853	VAC			
01975	FULLER BEVERLY M	808 BARRETT LN	04/05/22	1835	RES	\$ 395,842	\$ 117,250	29.62
	ELVIS PHILLIP RYAN/ELVIS RACHEL COOK	333225000~TRACT B	0.15	1642	IMP			
03054	MICHAEL D MCPHERSON	816 MITCHELL ST	05/16/22	1842	RES	\$ 189,453	\$ 58,661	30.96
	EMILY ROESNER AND CHARLES ROESNER	70115000	0.39	716	IMP			
04449	HARRIS TOSHANNE APRIL	4134 OLD WAYNESBORO RD	07/05/22	1849	RES	\$ 193,952	\$ 62,731	32.34
04477	EMRICK JOSHUA/EMRICK HOLLY	2130035000	0.79	1786	IMP	A 007 400	<b>#</b> 404 040	40.00
04477	SLAWSON SHAUN THOMAS	5077 COPSE 640044000	07/07/22	1849 2757	RES IMP	\$ 287,496	\$ 121,610	42.30
02544	EPIE J OTERO MCCORMICK MARIE	2106 CHADWICK RD	04/28/22	1839	RES	\$ 96,230	\$ 44,684	46.43
02344	EPPERLY GABRIELLA JULIA	1320103000	0.40	1512	IMP	\$ 90,230	\$ 44,004	40.43
07779	SWINFORD STANLEY HUGH	4006 CUFFEY CT	10/28/22	1867	RES	\$ 182,796	\$ 58,859	32.20
,	EPPS REGINA	1400664000	0.36	624	IMP	2 .52,750	\$ 55,555	52.20
07056		5376 COPSE DR	10/27/22	1865	RES	\$ 291,787	\$ 111,162	38.10
	EPPS SEAN A	640171000~LOT 16, BLK N, HAYNES	0.33	483	IMP			
04189	LABRADOR DIANA S	1732 ELIZABETH	06/22/22	1848	RES	\$ 138,320		
	ERIC E YU	303415000	5.18	446	IMP			272



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01720	IRVIN HARRIS ERICA JEANINE TAYLOR	3423 KENSINGTON DR N 1070260000	03/30/22 0.26	1835 187	RES IMP	\$ 46,534	\$ 27,673	59.47
01435	HARSKI KATHRYN M LECEA ERIN LYNCH DAVIS	657 CENTER COURT 314047220	03/08/22	1831 962	RES IMP	\$ 180,121	\$ 60,063	33.35
05341	SHANAY LORELLE JONES AND JOHNNIE	1096 SIMS	08/03/22 0.20	1854 1889	RES	\$ 223,131	\$ 93,053	41.70
00680	ESMERALDA SPARKS AND JASON SKYLER SMITH SHANESHIA	653389000 2124 JULIUS DR	02/08/22	1827	RES	\$ 106,707	\$ 41,202	38.61
05764	ESPADA-RIVERA JAN M AUGUSTA ISOTOPES HOLDING LLC A	1312012000 2311 WRIGHTSBORO RD	0.04	536 1857	COM	\$ 163,886	\$ 47,327	28.88
01197	OSBON MIKE	443090000~TRCT B 362 FOLKSTONE CIR	0.18	1567 1829	RES	\$ 162,098	\$ 50,254	31.00
03007	ETTERLE PATRICIA ANN/DOERING TERRY LEE JONES YOLANDA	9041 BREVARD RD	0.17	2323 1842	RES	\$ 259,068	\$ 100,435	38.77
05025	EVANS BRIAN CHRISTOPHER/EVANS SUFNAR AARON	653226000 2801 HUNTCLIFFE DR	0.20	1852	RES	\$ 232,571	\$ 109,130	46.92
02174	EVANS HEATHER/EVANS TYLER TIPPINS NIKITA D	653021000 547 TUBMAN	0.18	2101 1838	RES	\$ 105,558	\$ 51,270	48.57
08239	EVANS JACKSON B AND N INVESTORS LLC	351224000 2012 SHARK	0.30 12/23/22	2165 1870	RES	\$ 85,820	\$ 24,722	28.81
05377	EVERARD CLARKE  KOSTOVICK JOSEPH G	864036000 3709 CRAWFORDVILLE CT	0.22 08/10/22	1143 1854	RES	\$ 253,168	\$ 105,508	41.68
05732	JONES ZANTA NICOLE	532010000 1909 OLD SAVANNAH RD	0.67 08/24/22	1032 1856	RES	\$ 85,820	\$ 33,994	39.61
07158	EVERTSZ HAMLET BONILLA EDWARD JASMINE	731052000 3421 MONTE CARLO DR	0.17 10/19/22	1967 1863	RES	\$ 137,311	\$ 48,260	35.15
04624	EWA GROUP LLC LAWRENCE M PINKNEY	1430746000 3908 CREST DR	0.24 07/08/22	1752 1850	IMP RES	\$ 163,057	\$ 44,360	27.21
06173	EZEIKEL FORMEN STEELE MATTHEW H	1400313000 1842 OHIO	0.39	573 1859	RES	\$ 137,311	\$ 39,789	28.98
01118	FACEY KELVIN CARAWAY EUGENE E	434113000 2143 ALFRED LN	0.21	49 1829	IMP RES	\$ 122,198	\$ 30,450	24.92
06354	FARMER VICKI WALTERS TRAVIS	1094089000 2751 MAYO RD	0.24 09/07/22	2728 1859	IMP RES	\$ 214,549	\$ 69,957	32.61
04908	FAUGHMAN WILLIAM WESTLAND KIM MI-SUN	60184000 4120 FOREMAN WAY	0.29 06/29/22	2056 1852	IMP RES	\$ 144,739	\$ 65,114	44.99
01036	FELDER MAUREEN A GARRISON STEVE	1790159000 2211 BANDLER RD	0.41	1965 1830	IMP RES	\$ 66,065	\$ 22,370	33.86
01853	FELZ ANNA ROBERTS JERRY L	981259000 2608 COLEMAN AVE	0.23	2482 1834	IMP RES	\$ 46,068	\$ 26,117	56.69
02952	FELZ ANNA ANGUILLA LOLA E	984188000 1017 PAPAYA ST	0.23 05/10/22	1949 1841	IMP RES	\$ 148,232	\$ 66,426	44.81
05177	FELZ INVESTMENT GROUP LLC PYLAND MARY FRANCES	143058000 2140 VETERANS	0.51 07/14/22	618 1853	IMP RES	\$ 60,074	\$ 22,222	36.99
01346	FELZ INVESTMENT GROUP LLC CAZEE APRIL	554129000 1518 HEATH	0.56 02/28/22	1186 1831	IMP RES	\$ 133,603	\$ 45,425	34.00
00667	FELZ INVESTMENT GROUP LLC/TINTENFISCH WON BONG HUI AND YONG N	443193000 1512 TARA CT	0.26 02/09/22	2385 1827	IMP RES	\$ 193,855	\$ 59,206	30.54
00154	FENDER CASEY RACHEL T RABITSCH LLC	2150008000 2252 M L KING JR	0.38 01/14/22	4 1823	IMP	\$ 32,700	\$ 12,811	39.18
00264	FENGWEI YANG AND YAO CAI JTWROS COOK ANTHONY P	721124000 3116 THEODORE	0.94 01/21/22	1170 1824	IMP RES	\$ 270,667	\$ 107,016	39.54
08288	FERGUSON JR CARLTON BOURG MONICA	653073000 3405 NANCE BLVD	0.13 12/22/22	249 1870	IMP RES	\$ 163,057	\$ 51,576	31.63
01382	FERN MEGAN/FERN KYLER J SHARPE GENTRY	1280160000 3762 FAIRINGTON DR	0.46 02/23/22	1591 1831	IMP RES	\$ 138,850	\$ 44,376	
06629	FERNANDEZ MICHAEL A PRESCOTT LINUS R	1520289000 4011 BROWN HURST RD	0.37	1642	IMP RES	\$ 197,299	\$ 74,2	Б
	FERRELL GABRIELLE	2150016000	0.46	2400	IMP	7 .57,255		273



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05046	WILLIAMSON RONALD R FIELDS FAMILY HOLDINGS LLC	3553 MORGAN RD 1290221000	07/12/22 0.46	1852 952	RES IMP	\$ 81,100	\$ 35,428	43.68
06155	THRIFT BARBARA S	3317 KARIAN	09/14/22	1859	RES	\$ 64,365	\$ 36,656	56.95
	FIELDS FAMILY HOLDINGS LLC	1222071000	0.24	306	IMP			
07386	JOSEPH L FLANDERS	7210 CURACAS	11/07/22	1865	RES	\$ 105,129	\$ 54,378	51.73
	FIELDS FAMILY HOLDINGS LLC	402070000	0.08	2031	IMP			
06470	SCOTT DALE V	2846 WALTON WAY, APT 31	09/28/22	1860	RES	\$ 98,693	\$ 31,138	31.55
	FILOSA JESSICA ANDREA	334060370	0.09	2467	IMP			
05623	GREEN MILLETTE S	3130 BILSTON DR	08/12/22	1855	RES	\$ 217,982	\$ 79,334	36.39
	FINN CONNOR	403206000~LOT 107, BLK E, AYLESBURY	0.12	2558	IMP			
05054	HALL CHRISTOPHER M	2301 NORTON DR	07/29/22	1852	RES	\$ 203,822	\$ 126,214	61.92
	FINNEGAN KEVIN T	974298000	0.39	2517	IMP			
05966	LEWIS FREDDIE	3004 ROXBURY CT	09/08/22	1858	RES	\$ 98,693	\$ 28,822	29.20
	FINNEY JEMAL	841056000~LOT 31, BLK B, SEC 6,	0.42	746	IMP			
01324	STRADER DAYTON JAMES	718 GARY ST	03/10/22	1831	RES	\$ 335,983	\$ 176,203	52.44
	FINNIE WILLIAM JEANS AKA GENE	353013000	0.26	2017	IMP			
07312	MACK STANLEY	3554 EVANGELINE DR	10/24/22	1865	RES	\$ 102,984	\$ 33,219	32.26
	FIRST IMEX CORPORATION	1200009000	0.49	1769	IMP			
04989	SCHMIDT WALTER U	2910 HENRY ST	07/29/22	1852	RES	\$ 145,893	\$ 79,300	54.35
	FISHER III GEORGE LAWRENCE/FISHER IV	332367000	0.34	1828	IMP			
06615	MERIMAC LLC	4010 CALYPSO DR	09/22/22	1861	RES	\$ 137,311	\$ 43,531	31.70
	FISHER SHAKIRA R	303104000~LOT 4, BLK S, PH I, SEC I, ST.	0.07	2046	IMP			
05475	BATES BRUCE A	1116 8TH ST	08/10/22	1855	RES	\$ 40,550	\$ 17,494	43.14
	FLEISCHMAN DANA	722334000	0.14	646	IMP			
05873	HAYES HARVEY G	2059 COUNTY LINE RD	08/31/22	1857	RES	\$ 30,037	\$ 14,906	49.63
	FLOBERG PROPERTIES LLC	2910001000	6.51	533	VAC	1	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
03321	JD DANMINE LLC A GEORGIA LIMITED	3109 WILBUR ST	05/24/22	1843	RES	\$ 76,312	\$ 27,078	35.48
	FOLMAR CARMEN Y/FOLMAR MARCUS E	1104125000	0.19	2359	IMP	******	<b>V</b> = 1,51.5	
02466	3 TALENTS LLC A GEORGIA LIMITED LIABILITY	3643 WALTON WAY EXTENSION, BLDG 5	04/15/22	1837	СОМ	\$ 489,947	\$ 153,396	31.31
	FORRESTER PROPERTIES LLC A GEORGIA	230027040	0.35	882	IMP	<b>,</b> , , , , , , , , , , , , , , , , , ,		
05156	CARNAHAN TYLER S	3016 STERLING RD	07/29/22	1854	RES	\$ 205,967	\$ 61,609	29.91
00.00	FORSMARK DONALD	70063000	5.18	325	IMP	<b>\$ 200,00</b>	ψ σ .,σσσ	
07612	SMALLS ESTER M	3184 RIVER OAK RD	10/26/22	1866	RES	\$ 141,517	\$ 45,506	32.16
07012	FOSKEY JENNIFER/PRYOR WANDA OCTAVIA	551030000	0.23	1475	IMP	Ψ 111,017	ψ 10,000	02.10
07043	REYES LYNNETTE K AND BECKIE K	1814 DIXON AIRLINE RD	10/31/22	1865	RES	\$ 205,967	\$ 80,832	39.25
01040	FOSTER BRIAN	1450018000	0.88	446	IMP	ψ 200,507	Ψ 00,002	00.20
01439		534 FOLKSTONE CIR	03/15/22	1832	RES	\$ 212.060	\$ 73,601	34.71
01439	HADDEN PROPERTIES LLC A GEORGIA FOUNTAIN LAUREN	113262000	0.15	889	IMP	\$ 212,060	\$ 73,601	34.71
02060			_	1		¢ 60 247	¢ 27 520	20.77
03860	YOUNG LINDA GAYLE	3419 DEANS BRIDGE RD 1070018010	06/14/22	1846	COM	\$ 69,247	\$ 27,539	39.77
00045	FOUSHEE JOEL		0.50	1904		A 77 000	0.05.404	00.50
06215	STEPHENS JR CARLA	501 MILLEDGE RD	09/13/22	1860	RES	\$ 77,238	\$ 25,124	32.53
.==.	FRAILS KIARA	342017780	0.09	1911	IMP		A == 000	
07794	DUNCAN WILLIAM JOSEPH	1100 TWIGGS ST	11/18/22	1867	COM	\$ 208,214	\$ 57,698	27.71
	FRANCIS LEEROY ROBERT/FRANCIS PATRICIA		1.32	1571	IMP			
06649	GRACY TIMOTHY D AND MARIETTA P	1437 PERRY	10/04/22	1861	RES	\$ 38,619	\$ 19,924	51.59
	FRANCIS OPORE AND ANDREW ROBINSON	463442000	0.08	1695	IMP			
05523	WARD NATHAN JR	1910 VIRGINIA AVE	08/19/22	1855	RES	\$ 63,506	\$ 18,775	29.56
	FRANCO MANUEL	984059000	0.19	1402	IMP			
02706	TEQUANNAH M HARRIS	6026 SANIBEL	04/29/22	1840	RES	\$ 160,546	\$ 61,408	38.25
	FRANK R THOMPKINS JR	402244000	0.10	410	IMP			
01110	WILLIAMS NATASHA	1105 ELEVENTH AVE	02/28/22	1829	RES	\$ 42,944	\$ 25,636	59.70
	FRANK TOBIAS	722277000	0.14	1837	IMP			
06229	HARRY B JAMES III	214 BARROW	09/08/22	1859	RES	\$ 34,328	\$ 14,251	41.5
	FRANK TOBIAS	723090000	0.29	1450	IMP			
02483	WHITAKER ALEC R	3522 NASSAU DR	04/20/22	1838	RES	\$ 260,527	\$ 87,974	33.77
	FRAZIER AMELIA/FRAZIER JOSHUA/FRAZIER	314105000~23, B	0.45	488	IMP			<u> </u>
04273	LOWRY SCOTT H SR ROFS/GERALDINE	3320 TOBIN ST	06/30/22	1848	RES	\$ 120,147	\$ 28,8	
	FRAZILUS SOLON	1223209000	0.27	1762	IMP			274



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05150	DANNY G GLOVER FRED OATMAN SR	1961 PIEDMONT 982229000	08/03/22 0.19	1853 1084	RES IMP	\$ 60,074	\$ 24,415	40.64
04981	BAYNARD SAMMY G	3833 CLANTON RD	07/26/22	1852	RES	\$ 21,455	\$ 9,924	46.26
	FREEDOM LOTS USA LLC	1690071000	8.27	1475	VAC			
06808	JONES LOIS REGINIA	2818 KING ST	09/29/22	1862	RES	\$ 49,346	\$ 25,161	50.99
	FREEMAN DEMETRIS/FREEMAN MAHARI	974250000	0.28	2649	IMP			
05866	GREEN KURTIS D	1110 FOX DEN RD 1650079000	07/29/22	1856 1688	RES IMP	\$ 197,299	\$ 78,696	39.89
20100	FREEMAN JESSIE		0.79			<b>*</b> • • • • • • • • • • • • • • • • • • •	<b>*</b> • • • • • • • • • • • • • • • • • • •	
06430	JEVOUNE CHRISTIAN AND AJHA AVIN-	2026 HATTON COURT 800043000~65	09/22/22 0.19	1860 1240	RES IMP	\$ 240,295	\$ 90,103	37.50
01203	FREEMAN TYSON SHEREE HILL	2715 RICHMOND HILL	03/02/22	1829	RES	\$ 54,782	\$ 27,014	49.31
01203	FRESH IMAGE PROPERTIES LLC	974120000	0.26	2439	IMP	\$ 54,762	\$ 27,014	49.31
05737	DAVIDSON RAYMOND B	2120 SIBLEY RD	09/01/22	1857	RES	\$ 51,492	\$ 34,235	66.49
00707	FROST JASON NICHOLAS	554004000	0.50	711	IMP	ψ 51,452	Ψ 04,200	00.43
07087	DALEY-WEEKS MARTHA V	2323 NEAL	10/27/22	1864	RES	\$ 130,446	\$ 36,069	27.65
07007	FULLER KYNDRA	974094000	0.26	936	IMP	\$ 130,440	\$ 50,009	27.03
08153	LAFRANCE ROBERT H	2113 WRIGHTSBORO RD	11/18/22	1869	RES	\$ 223,131	\$ 90,216	40.43
00100	FUREY LIAM GEORGE/FUREY ASHLEY	444137000	0.28	2280	IMP	Ψ 220,101	Ψ 00,210	10.10
00144	TESSA R THOMPSON	3745 FAIRINGTON DR	01/21/22	1823	RES	\$ 159,448	\$ 32,783	20.56
	FURSHA S BOOTH AND JIMMY C JONES II	1400112000	0.43	2633	IMP	,,	, , , , ,	
02053	D R HORTON INC	532 POST OAK LN	03/30/22	1835	RES	\$ 371,553	\$ 165,004	44.41
	FUSSELL III MELVIN C/HAWKINS DANIXSA	800224000	5.18	1092	IMP			
07116	STILLER LINDA	1215 LONGPOINT DR	10/11/22	1863	RES	\$ 111,565	\$ 42,725	38.30
	G3 INVESTMENTS LLC	1702009000	0.08	2413	IMP			
06640	GRIFFIN MEAGAN D SHOWS	2636 BLUEBERRY DR	10/06/22	1861	RES	\$ 60,074	\$ 29,072	48.39
	G3 INVESTMENTS LLC	1103095000	0.30	2787	IMP			
07672	PASSONS ANITA L	921 AVOCADO ST	11/30/22	1868	RES	\$ 133,020	\$ 76,724	57.68
	GA-CAROLINA PROPERTIES LLC	134279000	0.36	787	IMP			
04022	VETTER JACOB D	633 BOHLER AVE	06/06/22	1847	RES	\$ 96,481	\$ 42,728	44.29
	GA-CAROLINA PROPERTIES LLC	354214000~3	0.12	1825	IMP			
02287	BRACK JR CARLTON S	1716 FENWICK ST	04/15/22	1837	RES	\$ 42,231	\$ 25,285	59.87
	GA-CAROLINA PROPERTIES LLC	354400000	0.15	2680	IMP			
02551	ALFREDRICK L CAMBRIC	2211 ALTMAN WAY	04/25/22	1839	RES	\$ 172,936	\$ 60,406	34.93
	GALE FERGUSON	1640191000	0.28	582	IMP			
02516	SCREVEN MADELINE	3030 OLD LODGE RD	04/01/22	1838	RES	\$ 325,184	\$ 92,347	28.40
	GAMBLE JAMES E	2710067000	1.19	1106	IMP			
04545	PERRY DAVID W	231 DAVIS	07/12/22	1850	COM	\$ 432,341	\$ 194,231	44.93
	GANGLANI HOLDINGS LLC	160411040~PARCEL A	0.53	938	IMP			
00849	PATTERSON WILLIAM DOUGLAS	2515 TUPELO DR	01/24/22	1828	RES	\$ 378,760	\$ 122,096	32.24
	GARDEN CITY CONSULTING AND	261045000	0.20	2487	IMP			
05702	LIN JIAN LI	2915 POINTEWEST DR	08/19/22	1856	RES	\$ 213,691	\$ 73,305	34.30
	GARDEN CITY CONSULTING AND	180425000	0.12	2474	IMP			
05705	EVANS CHARLES E	3016 FOX SPRING RD	08/22/22	1857	RES	\$ 171,553	\$ 109,258	63.69
	GARDEN CITY CONSULTING AND	333116000	0.37	99	IMP			
05595	WAGNER RYAN S	2420 MOHICAN	08/05/22	1855	RES	\$ 369,024	\$ 123,674	33.51
	GARDEN CITY PROPERTIES II LLC	194083000	0.65	2103	IMP			
03468	NAIR VIJAYAKUMAR V	2331 WASHINGTON	05/19/22	1844	RES	\$ 200,539	\$ 64,013	31.92
	GARDEN CITY PROPERTIES II LLC	262137000	0.41	573	IMP			
05967	ACOSTA CATHERINE S	2237 SIBLEY RD	08/22/22	1858	RES	\$ 64,365	\$ 24,850	38.61
	GARE LLC	692064000	0.43	320	IMP			
08488	DONALDSON JACQUELINE B	3009 LONSDALE DR	12/30/22	1872	RES	\$ 62,219	\$ 38,348	61.63
	GARE LLC	1104202000	0.22	117	IMP			
06991	OSBORN KEVIN W	2113 ORCHARD DR	10/31/22	1865	RES	\$ 281,488	\$ 114,103	40.54
	GARY KRISTIN M	1813038000	0.28	831	IMP			
02253	DEBORAH JAN ROGERS	3416 RAVENWOOD	04/18/22	1838	RES	\$ 164,827	\$ 76,761	46.57
	GARY PORTERFIELD	160131000	0.34	314	IMP			
03583	PARGAS BRANDON S	1809 EVA LN	06/01/22	1844	RES	\$ 273,123		<sub>27</sub>
	GASKINS JESUP DYLAN	1523079000	0.55	1336	IMP	1		275



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02491	RONICA R CUMMINGS GASPAR MEJIA	1811 LAUREN 303432000	04/14/22 0.05	1837 1443	RES IMP	\$ 157,124	\$ 50,845	32.36
05378	GILLESPIE KARIN P	1317 BUENA VISTA	08/12/22	1854	RES	\$ 308,951	\$ 108,784	35.21
	GAY ELIZABETH ANSLEY/WILSON MICHAEL	431053000	0.24	1608	IMP	, , , , , ,	, , , , ,	
02098	CRENSHAW RONNIE L	3532 NORTHPINES DR	03/31/22	1836	RES	\$ 148,782	\$ 60,694	40.79
	GAY TAKISHA SHAVONNE	1450156000~LOT 15, BLK D, SEC 4,	0.43	1355	IMP			
04332	CHARLOTTE ARNOLD FORMERLY KNOWN AS	413 YORK LN	07/05/22	1849	RES	\$ 193,094	\$ 63,606	32.94
	GAYNOR NOREEN A	181057000~2-A	0.07	70	IMP	, ,	. ,	
03095	OKASHAH TAISER	1107 COLONY PLACE DR	05/19/22	1842	RES	\$ 108,737	\$ 33,664	30.96
	GAYRILOVA-JORDAN LARISA	120352000	0.09	1985	IMP			
03443	CROCKETT FLOYD A AND EDITH ROFS		05/27/22	1844	RES	\$ 181,421	\$ 48,354	26.65
	GEBRAN F ABDELMASSIH	1093046000	0.35	580	IMP			
02096	HERNANDEZ DAVID	5328 BULL ST	04/11/22	1836	RES	\$ 311,280	\$ 113,364	36.42
	GEORGE SR DARRYL BEVON/GEORGE ERICA	664172000	0.28	1812	IMP			
01989	GAMBLE COMPANY LLC	1431 MARVIN GRIFFIN RD	03/28/22	1835	СОМ	\$ 2,936,906	\$ 891,676	30.36
	GEORGIA CAROLINA FOODS LAND	1350013000	8.00	2296	IMP			
07905	KENNETH RYAN ROSS	3106 CLARENDON	12/07/22	1868	RES	\$ 240,209	\$ 97,578	40.62
	GERALD WESTON	400132000	0.19	1843	IMP			
04511	WEATHERSBEE SHAWN J		07/05/22	1850	RES	\$ 201,676	\$ 71,228	35.32
	GERLING JAMES J	100254000	0.20	1188	IMP			
03856	REEVES TARA	2020 SCOTT RD	06/14/22	1846	RES	\$ 203,419	\$ 60,294	29.64
	GERONIMO RICARDO DE DIOS/VIDAL ANDREA	982065000	0.46	1610	IMP			
04811	ANDERSON INVESTMENTS LLC		07/22/22	1851	RES	\$ 111,565	\$ 43,882	39.33
	GIBBS ASHLEY B/PROVEAUX CHARLES A	122253000	0.04	2582	IMP			
03066	ELLIOTT JOHN R	4535 WINDSOR SPRING RD	05/12/22	1842	RES	\$ 102,683	\$ 42,803	41.68
	  GIBBS CHARLES	1940064000	0.65	927	IMP			
04862	IMS PROPERTIES LLC		07/15/22	1851	RES	\$ 131,733	\$ 42,130	31.98
	GILBERTO VALDEZ	1670459000	0.37	44	IMP	, , , , ,	, , , , ,	
00086	HALL GERTRUDE	3303 BINGHAM	01/10/22	1822	RES	\$ 191,632	\$ 71,630	37.38
	GILLARD JAMIE	403152000	0.10	2279	IMP	, , , , , , , , , , , , , , , , , , , ,	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
00482	FIELDS RICHARD C	750 MALVERN LN	02/08/22	1826	RES	\$ 206,139	\$ 93,976	45.59
	GIVENS JOHN STEVEN	322086000	0.48	1335	IMP	<b>V</b> =00,100	, , , , ,	
08487	LEGARE RICHARD		11/30/22	1871	RES	\$ 180,221	\$ 62.464	34.66
	GLASS SARAH/VINSON REECE M	1400137000	0.38	2366	IMP	*,==.	,,,,,,,	
05266	BRASWELL JR GEORGE EDWARD	5227 NEELY RD	08/11/22	1854	RES	\$ 78,855	\$ 17,960	22.78
	GLEASON GEOFFREY THOMAS/ELIZABETH	3510015000~TRCT D-3B	10.97	1795	VAC	* * * * * * * * * * * * * * * * * * * *	,	
07916	THOMPSON ALAN WARREN	2404 CAMELOT DR	12/02/22	1868	RES	\$ 171,639	\$ 94,508	55.06
0.0.0	GLEE SMITH VENTURES LLC	192128000	0.41	1947	IMP	<b>\$ 11.1,000</b>	φ σ 1,000	00.00
05714	THOMPSON ALAN WARREN	2406 CAMELOT DR	08/24/22	1857	RES	\$ 171,639	\$ 82,837	48.26
	GLEE SMITH VENTURES LLC	192127000	0.37	1391	IMP	,	<b>,</b> , , , , , ,	
03151	PEACHES M BROWN AND ROBERT M BROWN	3209 HILLSVIEW	05/18/22	1843	RES	\$ 173,865	\$ 40,553	23.32
	GLENN A CASSEDY	520314000	0.37	80	IMP	<b>V</b> 1.10,000	ψ .σ,σσσ	20.02
03592	VIMAX ENTERPRISES INC		06/03/22	1845	RES	\$ 114.331	\$ 32,394	28.33
00002	GLENN JONES AND RANDI JONES JTWROS	974242000	5.18	672	IMP	<b>\$</b> , <b>55</b> .	\$ 52,55	20.00
00384	LYNN M HARKINS NKA LYNN MARSHALL	349 BROAD	01/28/22	1825	RES	\$ 259,363	\$ 67,892	26.18
00004	GLENROY BREWSTER	472073000	0.14	1268	IMP	ψ 200,000	Ψ 07,032	20.10
08384	GOSHEN ESTATE LLC	172070000	12/30/22	1871	RES	\$ 38,619	\$ 11,211	29.03
00004	GO AMERICA LLC	991004000	0.15	1753	IMP	ψ 30,013	Ψ11,211	20.00
08428	SHAPIRO LEE		12/30/22	1871	RES	\$ 47,115	\$ 15,416	32.72
00420	GO AMERICA LLC	1200037000	0.77	475	IMP	ψ 47,113	ψ 15,410	32.12
03346	GRIFFIN CARROLL J JR		05/16/22	1843	RES	\$ 40,214	\$ 10,418	25.91
00040	GO AMERICA LLC	1092060010	0.16	1070	IMP	φ 40,214	φ 10,410	20.91
00195	FYFB LLC	2469 REESE	01/13/22	1823	RES	\$ 59,433	\$ 19,990	33.63
00195			0.23	1505	IMP	φ 59,433	φ 19,990	33.03
00004	GO AMERICA LLC	982148000		<u> </u>		¢ 440 570	¢ 07 000	25.4.4
00221	PUETZ MARTIN C	415 FOURTH	01/07/22	1823	COM	\$ 149,579	\$ 37,606	25.14
040=:	GOATWINE LLC	474061000	0.12	1639	IMP	A 100 07 -	<b>\$ 57.0</b>	
04671	HENRY CYNTHIA R	2603 GLOUCESTER DR	07/20/22	1852	RES	\$ 133,020		276   276
	GOLDILOCKS RENTALS LLC	184110000~UNIT 2603G, BLDG 1,	0.01	221	IMP		'	_, 0



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08505	THOMPSON DAVID J	000077000	12/02/22	1872	RES	\$ 240,295	\$ 89,932	37.43
	GOMEZ FARIHT/SPONSELLER HANNAH LEAH	800077000	0.39	1994	IMP			
07960	EISELE KAREN B	1421 LEIGH	12/06/22	1868	RES	\$ 180,221	\$ 73,740	40.92
	GOMEZ GLADIS/GOMEZ ALEX	303375000	0.05	2450	IMP			
05101	MALOYD OLLA MAE	2398 COUGAR DR	08/11/22	1854	RES	\$ 8,582	\$ 4,800	55.93
	GOOD BEGINNINGS PROPERTIES LLC	1660123000	0.57	1409	VAC			
06315	EDMISTON DAVID	4016 CALYPSO DR	09/23/22	1860	RES	\$ 111,565	\$ 44,110	39.54
	GOOD FAITH MANAGEMENT LLC	303107000	0.07	1840	IMP			
02600	HOLTON CECIL THOMAS/BETTY ANN		04/27/22	1839	RES	\$ 99,948	\$ 37,725	37.74
	GOOD FAITH MANAGEMENT LLC	131207000	0.07	830	IMP			
06142	HIGGINS DANIEL VINCENT	938 MERRY	09/09/22	1859	RES	\$ 205,967	\$ 62,685	30.43
	GOODMAN NICHOLAS DIEHL	451103000	0.16	208	IMP			
02659	COLLIER CHRISTOPHER ALLEN JR	3014 WILLIS FOREMAN RD	04/26/22	1839	RES	\$ 218,257	\$ 86,965	39.85
	GOODSON CELESTE N/GOODSON CHRYSTAL	1504001000	0.50	2458	IMP			
05468	WILSON RODNEY D	4017 NUITE DR	08/08/22	1856	RES	\$ 159,195	\$ 50,380	31.65
00100	GORDON DAVID E/GORDON TERESA L	1400527000	0.25	8	IMP	ψ 100,100	ψ 00,000	01.00
01069	NEWTON NOLEN F	5309 BULL	03/02/22	1830	RES	\$ 295,347	\$ 107,538	36.41
01009		664181000	1			\$ 295,547	\$ 107,536	30.41
	GORE ARTHUR N/GORE SANDRA S		0.26	1597	IMP			
02632	EVANS MADELENE N	253 WATKINS ST	04/28/22	1839	RES	\$ 39,037	\$ 9,132	23.39
	GOSNEY CODY	474359000	0.12	1659	IMP			
00045	ZABKA RYAN M	2409 SOUTHGATE DR	01/07/22	1822	RES	\$ 94,551	\$ 35,527	37.57
	GOSNEY CODY	863060000~LOT 23, BL. E, SOUTHGATE	0.26	97	IMP			
04441	HORNSBY KALEB ZANE		06/29/22	1849	RES	\$ 204,438	\$ 73,570	35.99
	GOWARD REBEKAH LYNN/GOWARD ERIC	132188000	0.30	1039	IMP			
08120	BRANT NANCY B	3202 WIMBLEDON	12/15/22	1869	RES	\$ 162,843	\$ 50,286	30.88
	GOWDY MEGAN NICOLE	314047190	0.08	1814	IMP			
00769	HOLLIE EARL MCMANUS JR AND KARI	3124 RAMSGATE	02/17/22	1828	RES	\$ 248,351	\$ 102,848	41.41
00.00	GRACE HALVERON	242049000	0.36	911	IMP	ψ 2 .0,00 .	ψ 102,010	
06196	BROWN GREG CURTIS	4406 SILVERTON RD	09/09/22	1859	RES	\$ 175,930	\$ 65,509	37.24
00190			0.22		IMP	\$ 175,950	\$ 65,569	37.24
	GRACE OLAUNDRA SHONTAE	662075000		1509			<b>A-0.0-</b> 4	
03381	STANLEY KEVIN S SR		05/31/22	1844	RES	\$ 194,003	\$ 78,674	40.55
	GRACIELA DELACRUZ AND EPIGMENIO	1640217000	0.27	247	IMP			
04370	CARY PEGGY F	3626 MADRID DR	07/01/22	1849	RES	\$ 82,387	\$ 30,649	37.20
	GRAFF STEVE VAN DE	670041000	0.25	602	IMP			
04453	SHELTON JANA MARIE	2735 EDWARD DR	07/01/22	1849	RES	\$ 94,402	\$ 43,150	45.71
	GRAFF STEVEN VAN DE	702025000	0.45	605	IMP			
02652	KEY BRITTANY L	2404 HAMPSHIRE CROSS ST	04/21/22	1839	RES	\$ 168,968	\$ 37,474	22.18
	GRANT KELVIN	2270246000~LOT 4, BLK A, HEPHZIBAH	0.34	1765	IMP			
08419	WARRICK ANTONIO	1504 OGLETHORPE DR	12/15/22	1870	RES	\$ 267,053	\$ 118,093	44.22
	GRANT SR O'BRIEN MCDONALD/GRANT	2152019000~LOT 77, BLK A, SPIRIT	0.34	2547	IMP			
02560	COTTER CORY	3021 BROCKHAM CT	04/28/22	1839	RES	\$ 217.879	\$ 84,979	39.00
	GREEN KEDRICK J	403218000	0.10	1541	IMP	, , , , , ,	, , , , ,	
00623	TRIPLE A FOUR K'S INC	1148 HANCOCK MILL LN	02/01/22	1827	RES	\$ 8,292	\$ 3,392	40.90
00023	GREEN LATOYA DENISE/DONALDSON	3190088000~LOT 37, BLK C, HANCOCK	0.75	1198	VAC	\$ 0,292	φ 3,392	40.90
07777		· · · ·				# 00F 0F0	<b>*</b> 444 000	00.40
07777	MAYS ULYSSES WESLEY	3128 EXETER RD	11/17/22	1867	RES	\$ 285,350	\$ 111,803	39.18
	GREEN RAKESHA	242172000~LOT 2, BL. M, BRYNWOOD,	0.33	262	IMP			
01098	PEARSON GREGORY A	831 LAKE TERRACE	03/03/22	1830	RES	\$ 88,531	\$ 39,438	44.55
	GREENE STREET RESTORATIONS LLC	203250000	0.59	964	IMP			
04589	WEW PROPERTIES I LLC A GEORGIA LIMITED	2675 CRANBROOK DR	07/15/22	1850	RES	\$ 163,057	\$ 41,495	25.45
	GRIFFIN BLONDELL	1300334000	0.34	1942	IMP			<u></u>
00538	MARTIN SAMANTHA A	1904 VALLEY SPRING	01/28/22	1826	RES	\$ 176,073	\$ 67,917	38.57
	GRIFFIN DEOHVEON	424043000	0.33	981	IMP			1
00356	ARELLANO AARON M	4064 PULLMAN	01/20/22	1825	RES	\$ 221,534	\$ 83,722	37.79
	GRIFFIN JORDAN SCOTT	640037000	0.21	1586	IMP	, , , , , , , , , , , , , , , , , , , ,	, _	1
02951	JEFFERSON PATRICIA	504 SECOND AVE	05/12/22	1841	RES	\$ 4,484	\$ 2,385	53.19
J_JJ	GRIFFIN ROXIE	341061000	0.10	2195	IMP	ψ 4,404	Ψ ∠,303	00.18
01224						Ø 577 700	¢ 400 4	
01321	GRAYBEAL CONSTRUCTION DESIGN LLC	2205 CLAYTON LN	03/04/22	1831	RES	\$ 577,732		277
	GRIFFITH EMILY HALL/BYRD LELAN C	344136060	0.08	582	IMP	I	1 1 1	



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06933	FUREL MEREDITH B GRIMES HOME BUYERS LLC	705 HIGHLAND AVE 332267000	10/03/22 0.37	1863 1150	RES IMP	\$ 102,984	\$ 52,772	51.24
06090	THE HERTZ CORPORATION A DELAWARE	1640 TOBACCO RD	08/31/22	1858	COM	\$ 363,590	\$ 152,548	41.96
	GSP TRANSPORTATION INC A SOUTH	1580005140	2.98	1283	IMP	<b>,</b>	<b>*</b> ***=,* ***	
00335	KLEIN SANDRA W	2846 WALTON WAY	01/24/22	1824	RES	\$ 147,282	\$ 41,357	28.08
00000	GUITTON JEAN MARC	334060230~APT 17, GEORGETOWN CLUB	0.09	1321	IMP	ψ 117,202	ψ 11,007	20.00
08025	IOVINO MICHAEL A	1447 TROUPE ST	12/16/22	1869	RES	\$ 128,729	\$ 43,911	34.11
00020	GUMUS GABRIELLE ELAINE	572013000~26, B	0.33	1879	IMP	ψ 120,720	Ψ 10,011	0
07343	JENKINS SAMUEL MCCORD	1015 MONTE SANO	10/28/22	1865	RES	\$ 300,369	\$ 85,795	28.56
01010	GUNNELS JEFFREY	343039000	0.25	2614	IMP	ψ 000,000	ψ 00,7 00	20.00
04887	GROVETOWN CENTER LLC	736 E ROBINSON	07/15/22	1850	COM	\$ 488,474	\$ 204,905	41.95
0.00.	GVS HOLDING IV LLC	780020000~PARCEL D	3.32	2526	VAC	<b>V</b> 100, 11 1	ψ 20 i,000	
08143	ROBINSON BERTHA M		12/12/22	1869	RES	\$ 212,747	\$ 80,413	37.80
00143	GWENDOLYN PEARSALL REID	1661191000	0.27	954	IMP	Ψ 212,747	ψ 00,413	37.00
04422	IMS PROPERTIES LLC	1001131000	07/05/22	1849	RES	\$ 102,984	\$ 37,528	36.44
04422		1224147000	0.43	1591	IMP	\$ 102,964	\$ 37,526	30.44
04.400	H S REMODELING SERVICES LLC  GAY EDWARD RANDOLPH	804 ANN ST				¢ 100 564	£ 44 422	40.55
01490			03/02/22	1831	RES	\$ 109,564	\$ 44,432	40.55
	HADDEN JAMES E	203182000	0.29	1684	IMP	<b>*</b> 4=0 00=	<b>A.</b> 7.4.030	
00966	RUSH ENTERPRISES LLC	1215 GLENWOOD DR	02/11/22	1829	RES	\$ 179,025	\$ 54,370	30.37
	HADDEN JAMES E	132131000	0.37	1770	IMP			
00025	DOVE ADAM N	2212 KIMBERLY DR	01/07/22	1821	RES	\$ 209,505	\$ 61,384	29.30
	HADDEN JOHN M	571178000~LOT 51	0.39	2094	IMP			
05747	KENNETH JAMES GAUTHREAUX AND CORA	1503 CHASE CREEK	08/24/22	1856	RES	\$ 411,848	\$ 183,526	44.56
	HAIDEN HUFFMAN AND EDWARD HUFFMAN	780115000	0.24	1379	IMP			
00479	GILLIAM JOI G	2370 COURTNEY	02/02/22	1825	RES	\$ 143,294	\$ 54,996	38.38
	HALEY SR TYSON J/HALEY SARA J	851168000	0.34	2538	IMP			
08087	PATRICK DARIEN G	3033 MABUS DR	12/06/22	1868	RES	\$ 154,475	\$ 69,017	44.68
	HAMMONS KRISTIN LYNN/HAMMONS JOSHUA	520476000	0.46	2747	IMP			
04346	COLEMAN IVEY M	769 LANCASTER	06/13/22	1846	RES	\$ 294,597	\$ 98,832	33.55
	HAMPTON MARK DAVID/HAMPTON LAURA	322115000	0.48	1208	IMP			
05932	HOBLOS WESAM	4068 HARPER FRANKLIN	09/08/22	1858	RES	\$ 210,258	\$ 86,895	41.33
	HAN TONGBANG	671085000	0.29	731	IMP			
00066	MARTIN WANDA S	1802 WINDSOR SPRING RD	01/05/22	1822	RES	\$ 112,644	\$ 41,962	37.25
	HANDY KIM M	1104181000	0.43	338	IMP			
02474	WASHINGTON KIMBERLY		04/15/22	1837	RES	\$ 266,240	\$ 97,999	36.81
	HANFORD LATISHA/HANFORD CHRISTOPHER	1804004000	0.27	992	IMP			
07654	COSPER SHARON M AND JONATHAN J	2360 RUBY	11/29/22	1867	RES	\$ 77,238	\$ 27,733	35.91
	HANNAH FUNSCH	974038000	0.26	2563	IMP	, ,		
00612	SHEAROUSE RICHARD E	3540 WHEELER	02/09/22	1826	COM	\$ 103,085	\$ 29,294	28.42
	HARDIGREE SCOTT	310134000~UNIT 4 BLDG 4	0.09	2056	IMP	<b>,</b>	<b>V</b> ==,== 1	
06840	BENJAMIN WACHOVIA R		09/30/22	1863	RES	\$ 175.930	\$ 44,577	25.34
00010	HARKRIDER BAILEY	1830015010	0.49	279	IMP	ψ 170,000	ψ 11,077	20.01
01109	FRASER BEVERLEY	1000010010	02/10/22	1829	RES	\$ 67,697	\$ 18,523	27.36
01109	HARMON BIQUIELLA	11113013000	0.23	1352	IMP	\$ 67,097	φ 10,323	27.30
07331	TURNER DANIEL W	1113013000	10/31/22	1865	RES	\$ 126,155	¢ 47 001	38.04
0/331		1224073000	0.23	1901	IMP	\$ 126,155	\$ 47,991	36.04
05000	HARRELL JERRY/HARRELL BRENDA					<b>↑ 45 404</b>	£ 40 707	20.04
05996	SOUTHERN BANK	4480 BOULINEAU RD	09/08/22	1858	RES	\$ 45,484	\$ 16,787	36.91
	HARRIS GERALD/TAWANDA H	2450003000~TRCT D	11.82	744	IMP			
02043	KALOHI DAVID AND NICOLE A ROFS	5090 COPSE DR	02/25/22	1835	RES	\$ 354,925	\$ 128,858	36.31
	HARRIS JR AUGUSTUS R	640057000	0.28	913	IMP			
03907	CARUSO SALVATORE D JR	1625 WINTER ST	06/13/22	1846	RES	\$ 191,749	\$ 50,260	26.21
	HARRIS KYLE	571112000	0.27	1698	IMP			
04999	ROMAN-ORTEGA PABLO	2911 LANDER CT	07/27/22	1852	RES	\$ 187,087	\$ 54,109	28.92
	HARRIS-REDD BETTINA L	1400357000	0.69	2021	IMP			
03154	OGLE DYLAN REED	3117 FIELDSTONE CIR	05/24/22	1843	RES	\$ 275,077	\$ 78,953	28.70
	HARRISON ALLANNA SCOTT	60117000	0.29	1063	IMP			
07050	CURRIE N/K/A TILL LACY KRISTEN	511 AUMOND RD	10/26/22	1864	RES	\$ 214,549	\$ 81,8	4
	1	251029000	0.34	2520	IMP	1		278



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08368	FELZ INVESTMENT GROUP LLC HARTLEY ACQUISITIONS LLC	3306 VICTOR RD 1231067000	09/01/22 0.20	1857 2022	RES IMP	\$ 36,044	\$ 21,314	59.13
01083	KHAN IQBAL	1309 COLONY PL	02/18/22	1830	RES	\$ 81,786	\$ 25,117	30.71
	HASHIMI FARIHA K/HASHIMI SAID	120425000~UNIT 1309, COLONY PLACE,	0.09	680	IMP			
00999	KHAN M IQBAL	1309 COLONY PLACE DR	02/18/22	1830	RES	\$ 104,397	\$ 28,866	27.65
	HASHIMI HOSSAI/HASHIMI SAID	120427000~UNIT 1311, COLONY PLACE,	0.09	682	IMP			
02044	BAKER MAXWELL	655 CENTER COURT	03/04/22	1836	RES	\$ 158,843	\$ 60,626	38.17
	HAWKES MICHAEL/EAVENSON LINA	314047400	0.08	209	IMP			
00610	VERTICAL INVESTMENTS LLC	5019 WHEELER LAKE	01/18/22	1827	RES	\$ 144,045	\$ 49,007	34.02
	HAWKINBERRY REBECCA	304066000	0.08	1687	IMP			
03437	BENTON JOSHUA BOONE	2205 SPEER POINT DR	06/03/22	1845	RES	\$ 221,626	\$ 62,157	28.05
	HAWKNS WENDY	1980423000	0.81	772	IMP			
08262	COBB GEORGE M		11/21/22	1871	RES	\$ 60,074	\$ 28,010	46.63
	HAWN CHANDLER	854029000	0.48	74	IMP			
01344	WILBERT W SMITH AND SHIRLEY EVANS	4303 WHITE PINE CT	03/08/22	1831	RES	\$ 133,147	\$ 60,462	45.41
	HB21 PROPERTY SOLUTIONS LLC	1420029000	0.37	2335	IMP			
04781	KONG PHILIP Y	1509 HEATH	07/22/22	1851	RES	\$ 255,313	\$ 92,290	36.15
	HEARD LEE	443185000	0.11	1758	IMP			
00196	MAYFAIR ON WALTON LLC	121 MAYFAIR ABBEY LN	01/21/22	1823	RES	\$ 153,542	\$ 68,000	44.29
	HEARON CAITLIN T/HEARON II MICHAEL	322174000~5	0.35	2752	VAC			
04621	IANNACONE RICHARD W JR		07/11/22	1850	RES	\$ 223,131	\$ 57,546	25.79
	HEATHER CLARK SEALS AND DJAKARTA	132192000	0.36	1134	IMP			
06197	TEICH JOSHUA P	936 BROAD ST	06/21/22	1859	RES	\$ 147,099	\$ 72,147	49.05
	HEGGINS GENEZA	373224000	0.02	1321	IMP			
07234	LOWE SARAH	2211 TERRACE	10/25/22	1863	RES	\$ 283,205	\$ 98,299	34.71
	HELEN HENDEE AND LINDA J MCINTOSH	264139000	0.36	2729	IMP			
02353	ROBERTSON RHONDA J	2334 HAPPY CIR	04/19/22	1838	RES	\$ 128,088	\$ 49,788	38.87
	HELIOS REAL ESTATE HOLDINGS LLC	703056070~LOT 3	0.32	757	IMP		, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
02094	ROBERTSON RHONDA	3102 FLOYD DR	03/31/22	1836	RES	\$ 55,793	\$ 31,374	56.23
	HELIOS REAL ESTATE HOLDINGS LLC	1092096000~PARCEL 3-C	0.57	1299	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
00796	SMITH-MCKENNEY TINA ANN/ELVIS		02/14/22	1827	RES	\$ 328,215	\$ 105,828	32.24
00.00	HENRY BRADLEY AND TERESA BRADLEY AS	1962005000	1.58	2249	IMP	<b>\$ 525,2.5</b>	ψ .00,020	02.2.
02476	PANZELLA HEATHER R		04/15/22	1837	RES	\$ 230,343	\$ 85,804	37.25
02470	HENRY HUANG	134302000	0.26	1557	IMP	ψ 200,040	ψ 00,004	07.20
05923	SLAVENS PROPERTIESII LLC	2229 RALEIGH	09/07/22	1858	RES	\$ 124,438	\$ 33,178	26.66
00020	HENRY ROBERT WALDELE	712194000	0.31	329	IMP	ψ 12 1, 100	ψ 00,170	20.00
07350	SMITH MARLON D	2128 RESERVE LN	11/04/22	1865	RES	\$ 154,475	\$ 63,449	41.07
07330	HERNANDEZ ORLANDO REYES	73133000	0.05	1553	IMP	ψ 154,475	ψ 05,449	41.07
06113	WILLIAMS ANDREW M	3032 HAYNES STATION	09/16/22	1859	RES	\$ 318,820	\$ 128,349	40.26
00113	HERNANDEZ RACHEL E	640019000	0.25	603	IMP	\$ 310,020	φ 120,349	40.20
05107	GRAHAM KENDRALL	752 AUMOND	08/05/22	1853	RES	\$ 227,422	\$ 123,677	54.38
03107	HICKS ANDREW KYLE	322017000	0.69	2658	IMP	\$ 221,422	φ 123,077	34.30
05100						¢ 405 700	¢ 50 400	20.22
05102	GAY ANDREW E	1720 HARROGATE DR	08/12/22	1854	RES	\$ 185,799	\$ 56,163	30.23
00.400	HICKS GREGORY	2140195000	0.30	1411	IMP	<b>#</b> 400 004	<b></b>	04.04
00462	INFORMED CONSUMER NETWORKS LLC A	1000510000	01/31/22	1825	RES	\$ 136,691	\$ 47,713	34.91
	HIGA ASHLEY S/KOBASHIGAWA BRIAN I	1320513000	0.23	965	IMP			
03333	CARLISLE INVESTMENT PROPERTIES LLC	2068 WALTON WAY	05/26/22	1843	RES	\$ 88,577	\$ 43,738	49.38
	HILL ANDREW LITCHFIELD	353447000~UNIT 204	0.03	2377	IMP			
05596	CARY PEGGY F	4409 OLD MIMS RD	08/12/22	1854	RES	\$ 100,838	\$ 45,097	44.72
	HILL CARTINA	2510072000	1.03	2515	IMP			
00817	BARRON SUZANNE E		01/14/22	1828	RES	\$ 178,157	\$ 46,451	26.07
	HILL DAMASCUS	2320045000	1.00	1628	IMP			
00618	BAMAN RAKESH	1189 BROOKSTONE	01/18/22	1827	RES	\$ 291,049	\$ 119,257	40.97
	HINTON SIDNEY W	402222000	0.13	1680	IMP			
02290	WILKINS DEBORAH HOUCK	1909 FENWICK STREET	04/18/22	1838	RES	\$ 45,785	\$ 26,951	58.86
	HIS PROPERTY GROUP LLC	353073000	0.12	869	IMP		<u>                                       </u>	
06186	SMITH AMY H	603 WESTBURY DR	09/16/22	1859	RES	\$ 150,184	\$ 78,0	Б
	HITT BRUCE A	251235000	0.43	1089	IMP	I	I :	279



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04512	FAULKNER DAVID HOWARD HOBBS JOHN	425 SHALLOWFORD CIR 160201000~LOT 19, BLK B, CROFTON	06/30/22 0.35	1849 2384	RES IMP	\$ 201,676	\$ 70,651	35.03
05672	HALL PATSY ANN HOBBS JOSHUA LYNN	3250041030	08/18/22 0.63	1856 629	RES IMP	\$ 9,440	\$ 4,274	45.27
08297	WILLIAMS SUZAN F		12/23/22	1870 1655	RES IMP	\$ 80,670	\$ 47,385	58.74
02157	HOBBS JOSHUA LYNN/JOHNNY DANIEL HOBBS HALL BERNARD J	2509 BELLEVUE AVE	04/15/22	1837	RES	\$ 573,793	\$ 170,496	29.71
07168	HODGE SARAH/ABERNETHY MATHIEU MAURO CARTER	343123000 2992 GALAHAD WAY	0.14 10/21/22	1283 1864	IMP RES	\$ 210.258	\$ 93,178	44.32
07100	HODGES CHRISTOPHER S	531065000	0.23	1629	IMP	\$ 210,236	\$ 93,176	44.32
08299	MUELLER KAREN A HOFFMAN SYLVIA MONICA/OWEN ROBERT	524 MARTIN LN 331115000	12/22/22 0.38	1870 1618	RES IMP	\$ 214,549	\$ 92,426	43.08
04365	FONSECA DEBORA J		06/10/22	1849	RES	\$ 170,421	\$ 64,212	37.68
03817	HOLLAND WAYNE ELROY JR MARTIN LEGACY HOLDINGS LLC	1831058000 2816 BERGEN	0.24	2084 1846	IMP RES	\$ 279,917	\$ 131,690	47.05
	HOME RELIEF LLC	252019000	0.35	718	IMP	Ψ 2. 0,0	<b>\$</b> 101,000	
04955	BRADY CAROLINE T HOOKS KATHERINE WILCOX/HOOKS VENDIE	827 MILLEDGE 344076030	07/08/22 0.09	1852 2548	RES IMP	\$ 205,967	\$ 57,675	28.00
00224	RITTER EDMOND	2229 MCDOWELL 442012000	01/20/22	1824 666	RES IMP	\$ 1,063,834	\$ 257,456	24.20
03589	HOPKINS WILLIAM CUNNINGHAM/HOPKINS WARD NICOLE E	3047 BROOKHAVEN WAY	0.59	1844	RES	\$ 136,439	\$ 37,495	27.48
03663	HORN CREEK PROPERTIES LLC BRYAN M LOWE	122113000	0.06 05/31/22	2297 1844	IMP RES	\$ 238,094	\$ 86,545	36.35
06537	HORST E SPERLICH AND DAGMAR E HAYES ELOISE J	790088000	5.18 10/03/22	1644 1861	IMP RES	\$ 81,529	\$ 28,230	34.63
	HORTON JR ALFRED LEWIS	1104234000	0.23	889	IMP	7 0 1,0 = 0	<b>V</b> = 3,=33	
03803	MILLER TEDDY J HOUSE HEROES LLC	2620 LUMPKIN RD 962148010	06/10/22 0.32	1846 852	RES IMP	\$ 61,177	\$ 27,663	45.22
07567	MILLER TEDDY J	3073 QUIST DR	11/15/22 0.72	1866 2661	RES IMP	\$ 66,510	\$ 23,612	35.50
04470	HOUSE HEROES LLC PATEL BIRENKUMAR R	971215000	07/06/22	1850	RES	\$ 205,881	\$ 67,768	32.92
01315	HOW HIGH HOLDINGS LLC BREAD BASKET BROWN LLC	62004000 138 GREENE	5.18 03/15/22	1059 1832	IMP	\$ 386,342	\$ 122,760	31.77
	HOWARD BLAKE FITZWATER AND LEA ANN	474130000	0.12	1640	IMP	+	<b>*</b> ,	
04200	HUTTO WESLEY M HOWARD MARY HELEN/HOWARD JANICE GAIL	2635 RAYMOND AVE 432165000	06/24/22 0.18	1847 2177	RES IMP	\$ 302,023	\$ 116,721	38.65
00414	TURN BACK THE BLOCK INC HOWARD SHANOVIA	1922 BATTLE 352477000	01/25/22 0.14	1824 1633	RES VAC	\$ 145,202	\$ 60,002	41.32
06630	GEORGETOWN 42 LLC	2846 WALTON	09/23/22	1861	RES	\$ 113,282	\$ 40,170	35.46
05063	HOWERDD MARTHA A/PRICE KATHERINE KAMATH LLC	334060480 411 THIRD ST	0.08	2427 1852	IMP RES	\$ 109,420	\$ 32,408	29.62
0.404.0	HOYLE PATRICIA	474081120	0.06	1207	IMP	¢ 004 750	£ 407.077	44.00
04619	DOERR KYLE W HPA III ACQUISITIONS 1 LLC A DELAWARE	5157 COPSE DR 653243000	07/15/22 0.23	1850 2065	RES IMP	\$ 261,750	\$ 107,377	41.02
04960	SHOULTS LAURA HPA III ACQUISITIONS 1 LLC A DELAWARE	205 DUCAL 653257000	07/22/22 0.27	1852 1280	RES IMP	\$ 274,623	\$ 109,506	39.88
06698	NORTON JOHN MATTHEW	1156 GEORGE W CRAWFORD	10/11/22	1862	RES	\$ 251,280	\$ 105,637	42.04
00081	HPA III ACQUISITIONS 1 LLC A DELAWARE RODRIGUEZ MATTHEW M	663050000 1122 MCCOYS CREEK	0.14	1039 1822	IMP RES	\$ 339,196	\$ 135,706	40.01
00325	HPA III ACQUISITIONS 1 LLC A DELAWARE  DARRISAW TOMEKIA S	780070000 4665 CRESTED BUTTER	0.24	2607 1825	IMP RES	\$ 210,766	\$ 67,791	32.16
	HPA III ACQUISITIONS 1 LLC A DELAWARE	524025000	0.36	2098	IMP			
00555	GOLDEN SETH T HPA III ACQUISITIONS 1 LLC A DELAWARE	4140 PULLMAN 790117000	02/07/22 0.22	1826 2067	RES IMP	\$ 271,838	\$ 94,430	34.74
01234	NOLAN REED AND TRACY REED	5222 COPSE	02/22/22	1830	RES	\$ 292,505	\$ 117,412	40.14
01534	HPA III ACQUISITIONS 1 LLC A DELAWARE TODD SMITH AND MELYN SMITH	653318000 2544 WINTERVILLE	0.32	1467 1832	RES	\$ 200,074	\$ 75,1	380
	HPA III ACQUISITIONS 1 LLC A DELAWARE	520635000	0.43	2102	IMP			280



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01768	YIM DARA KEVIN HPA III ACQUISITIONS 1 LLC A DELAWARE	8005 CRAWLEY 653193000	03/29/22 0.20	1834 1973	RES IMP	\$ 237,523	\$ 87,057	36.65
01850	FOTI MICHAEL	5310 COPSE	03/21/22	1834	RES	\$ 257,885	\$ 96,274	37.33
	HPA III ACQUISITIONS 1 LLC A DELAWARE	653215000	0.41	13	IMP			
01831	HUGHES JORDAN T	113 GREYSON	03/18/22	1833	RES	\$ 286,739	\$ 116,423	40.60
	HPA III ACQUISITIONS 1 LLC A DELAWARE	653292000	5.18	2668	IMP			
01891	JUSTICE KRISTOPHER JORDAN	7049 SUMMERTON	03/24/22	1834	RES	\$ 233,850	\$ 86,887	37.15
	HPA III ACQUISITIONS 1 LLC A DELAWARE	640064000	0.21	2265	IMP			
01776	MCMILLIAN RICHARD	3025 MABUS DR	03/16/22	1833	RES	\$ 183,632	\$ 59,213	32.25
	HPA III ACQUISITIONS 1 LLC A DELAWARE	520480000	0.38	2638	IMP			
01994	DICHIARO MICHAEL P	6054 CLIFFORD	04/04/22	1835	RES	\$ 268,753	\$ 105,578	39.28
	HPA III ACQUISITIONS 1 LLC A DELAWARE	653198000	0.20	2642	IMP			
02002	HAGLER FELISHA J	2927 GALAHAD	03/31/22	1835	RES	\$ 247,350	\$ 91,637	37.05
	HPA III ACQUISITIONS 1 LLC A DELAWARE	531005000	0.23	837	IMP			
01409	BELL RAKIEL K	4664 CRESTED BUTTE	03/07/22	1832	RES	\$ 199,247	\$ 63,982	32.11
	HPA III ACQUISITIONS 1 LLC A DELAWARE	524017000	0.40	549	IMP			
02470	SANFORD JR LEE C	3459 CAMAK	04/14/22	1838	RES	\$ 262,793	\$ 99,479	37.85
	HPA III ACQUISITIONS 1 LLC A DELAWARE	532055000	0.38	447	IMP			
02578	BALDERSTON BLAKE	4118 ELDERS	04/26/22	1839	RES	\$ 231,898	\$ 77,550	33.44
	HPA III ACQUISITIONS 1 LLC A DELAWARE	662183000	0.29	1063	IMP			<u> </u>
03202	GUERRA JR ANGEL E	2970 GALAHAD	05/12/22	1842	RES	\$ 213,438	\$ 75,533	35.39
	HPA III ACQUISITIONS 1 LLC A DELAWARE	531082000	0.26	1253	IMP			
03348	LOMELI HECTOR DANIEL GARCIA/QUEZADA	7010 SUMMERTON DR	05/20/22	1843	RES	\$ 262,696	\$ 104,942	39.95
	HPA III ACQUISITIONS 1 LLC A DELAWARE	653185000	0.22	2443	IMP			
03638	CLARK SHAMONDA	3887 BARRETT ST	06/02/22	1845	RES	\$ 242,070	\$ 82,681	34.16
	HPA III ACQUISITIONS 1 LLC A DELAWARE	660036000	0.46	1205	IMP			
03918	PIERCE CALEB	3372 BEAVER DR	06/16/22	1847	RES	\$ 234,691	\$ 68,686	29.27
	HPA III ACQUISITIONS 1 LLC A DELAWARE	412195000	1.15	489	IMP	4.004.000	<b>A.4.000</b>	40.55
03846	ROSS CARY A AND JESSICA WHITE ROFS	4077 PULLMAN CIR	06/10/22	1846	RES	\$ 224,606	\$ 91,088	40.55
0.4500	HPA III ACQUISITIONS 1 LLC A DELAWARE	640021000	0.20	1751	IMP	<b>#</b> 400 000	<b># 70.050</b>	40.00
04500	JUDGE LANESHA S	3018 BROCKHAM	07/08/22	1850 189	RES IMP	\$ 188,803	\$ 76,256	40.39
0.4507	HPA III ACQUISITIONS 1 LLC A DELAWARE	403230000				C 004 040	Ф 74 F0F	20.00
04507	RAY KENNETH T	4508 CASTLE ROCK RD 662156000	07/13/22 0.24	1850 1592	RES IMP	\$ 201,848	\$ 74,525	36.92
05219	HPA III ACQUISITIONS 1 LLC A DELAWARE MICHAEL BEST AND DOLORES BEST	2023 HATTON CT	08/10/22	1854	RES	\$ 235,489	\$ 92,454	39.26
03219	HPA III ACQUISITIONS 1 LLC A DELAWARE	800037000	0.18	1314	IMP	\$ 235,469	\$ 92,454	39.20
05332	TAIMALELAGI ETENE F	2737 HUNTCLIFFE	08/10/22	1854	RES	\$ 241,411	\$ 159,712	66 16
00002	HPA III ACQUISITIONS 1 LLC A DELAWARE	653140000	0.18	1497	IMP	Ψ 241,411	ψ 139,7 12	00.10
04853	ZIA AHMAD	3108 THEODORE	07/22/22	1852	RES	\$ 256,515	\$ 107,516	41.91
0.000	HPA III ACQUISITIONS 1 LLC A DELAWARE	653077000	0.13	100	IMP	ψ 200,010	ψ 107,010	
06483	BOYD JERREL T	4086 HARPER FRANKLIN	09/26/22	1860	RES	\$ 284,235	\$ 119,502	42.04
	HPA III ACQUISITIONS 1 LLC A DELAWARE	671110000	0.27	2470	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
05356	NESBITT ELISEHIA R	2772 HUNTCLIFFE	08/11/22	1854	RES	\$ 244,586	\$ 105,806	43.26
00000	HPA III ACQUISITIONS 1 LLC A DELAWARE	653068000	0.14	1639	IMP	421,,000	ψ .σσ,σσσ	
01111	BEJI ANGELLA M	4806 LOGANS	02/25/22	1830	RES	\$ 272,651	\$ 91,676	33.62
	HPA III AQUISITIONS 1 LLC A DELAWARE	664018000	0.33	1494	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
07317	WALKER HILL LLC		11/04/22	1866	RES	\$ 34,328	\$ 15,456	45.02
	HUDSON VIRGIL	2950074000	1.98	56	VAC			
06214	HILDRETH BARBARA JEAN	2111 CLAIRMONT	09/27/22	1860	RES	\$ 148,039	\$ 40,297	27.22
	HUGENE L JONES	562207000	0.36	1814	IMP			
03399	GREEN NICOLE		05/18/22	1844	RES	\$ 85,639	\$ 23,663	27.63
	HUNNICUTT ANN	120165000	0.11	42	IMP			
03896	NETHERTON CORNELIA	2638 BELLEVUE AVE	06/17/22	1847	RES	\$ 369,086	\$ 98,308	26.64
	HURT JR JOHN THOMAS/HURT MCCAULEY	334200000	0.16	242	IMP			1
06029	DANNER AUSTIN	2704 CROSSHAVEN DR	08/31/22	1857	RES	\$ 171,639	\$ 58,090	33.84
	HUSFELT STEPHANIE	1300737000	0.26	2799	IMP			1
02930	WELDON TAEKO	1907 COLONY PARK	04/26/22	1841	RES	\$ 63,658		В
	HUSSAINI FARZANA S	552081000	0.36	2394	IMP	1		281



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03635	NEW MARILYN C HUSSAINI FARZANA S	7410 EXUMA DR 402158000~LOT 1, BLK 5 I, WEST	05/24/22 0.07	1845 291	RES IMP	\$ 119,792	\$ 52,934	44.19
00054	TURNER JEAN C WOOD HUTTO MARVIN G	516 HUNTINGTON ST 354059000	01/06/22	1821 1152	RES IMP	\$ 54,783	\$ 25,548	46.63
06189	SMITH ALDRIN ANTHONY ROFS/STEPHANIE	8046 CRAWLEY	09/22/22	1860	RES	\$ 274,537	\$ 117,536	42.81
08001	HWOYONG SOEK EDENFIELD DIANE	640099000 2416 PONDEROSA CT	0.21	439 1869	IMP RES	\$ 128,729	\$ 57,392	44.58
00001	HYATT ANTHONY D	143024000	0.32	122	IMP	\$ 120,729	φ 57,392	44.30
06423	STACIA M MORENOS AND KRISTEN MORENOS HYLTON ADAM M	3064 ASHLEY LOOP 640147000	09/16/22 0.19	1859 2710	RES IMP	\$ 261,750	\$ 104,136	39.78
06081	MCLEAN INETHA L HYMES ANDRE M/HYMES KAILA	1550130000	08/19/22 0.37	1858 2471	RES IMP	\$ 184,512	\$ 56,825	30.80
00640	JOHNSON CURTIS LAMONTE HYNSON MICHAL/WELLS RICARDO RICKEY	3243 LEXINGTON WAY 533075000~LOT 20, BLK D, GRANITE	02/07/22	1827 1127	RES	\$ 235,917	\$ 85,486	36.24
05202	FA PROPERTIES LLC IANNACONE AMY/IANNACONE RICHARD	2238 MORNINGSIDE DR 264024130~UNIT D, 2238 MORNINGSIDE	08/04/22	1853 1879	RES IMP	\$ 164,774	\$ 53,214	32.30
01727	COBB AKA THOMASENA COBB BUTLER IDLTDAGP HOLDINGS LLC	1236 STEINER AVE 593163000	02/08/22	1834	RES IMP	\$ 25,222	\$ 13,788	54.67
02424	HUSZ SONJA R	336 BAY 472020040	03/31/22	1838 1876	RES	\$ 139,483	\$ 47,193	33.83
02329	IKNER BRIAN NGUYEN BE VAN	1927 HOPIE	0.03	1838	RES IMP	\$ 76,200	\$ 18,112	23.77
00648	MORRIS CHRIS C	704038000 2321 LIONS GATE DR	02/04/22	1826	RES	\$ 139,170	\$ 46,331	33.29
03444	ILLERA ADELA H BRANDON GOLDEN	122301000	0.06	2735 1844	RES	\$ 145,933	\$ 50,348	34.50
00473	INDIA R BROWN LACHER CONSTRUCTION INC	3350022000 2277 PUND AVE	0.43	596 1825	RES	\$ 260,059	\$ 86,217	33.15
04640	INFORMED CONSUMER NETWORKS LLC BOYINGTON JUSTIN K	273179000	0.64	2444 1850	RES	\$ 165,203	\$ 49,518	29.97
00774	INGHAM LORCAN C TILL AS FIDUCIARY ELIZABETH	122052000 516 MARTIN	0.06	13 1828	RES	\$ 140,960	\$ 73,401	52.07
06841	INGRAM DREW M LOHR WILLIAM J JR	331119000 4014 GOSHEN LAKE DR	0.27 10/11/22	1351 1863	IMP RES	\$ 108,991	\$ 55,521	50.94
07279	INSIGHT INVESTMENTS C LLC LAVARNWAY KEITH J	1980144000 3270 DEANS BRIDGE RD	0.35	1304 1865	COM	\$ 413,343	\$ 216,188	52.30
03355	INTEGRITY DEVELOPMENT GROUP-ATL LLC JEREMY CALINI	1070112010	13.40 05/26/22	251 1843	VAC RES	\$ 93,006	\$ 34,760	37.37
	IRFAN AFZAL	1190228000	0.29	2686	IMP			
06909	JD DANMINE LLC IRIBHOGBE ADEOLA	2507 REESE AVE 982167000~LOT 23, BL. C, FLEMING	10/18/22 0.21	1863 57	RES IMP	\$ 55,783	\$ 19,501	34.96
04556	CALEB TAUB ISABEL RUIZ	5226 COPSE 653319000	07/12/22 0.30	1850 675	RES IMP	\$ 257,459	\$ 95,371	37.04
05208	KRENZ JORDAN ARLO ISEMAN AMY	315 ALEX LN 122021000	08/04/22 0.06	1854 882	RES IMP	\$ 154,475	\$ 48,301	31.27
03001	TRIPLE A FOUR K'S INC	1065 HANCOCK MILL LANE 3190099000~LOT 10, BLOCK B, SECT. 2,	04/01/22	1842 670	RES VAC	\$ 8,548	\$ 3,392	39.68
08446	HAYES HARVEY G J AND C HOMES GA LLC	3403 SMITH RD 2440008010	12/22/22	1871 2173	RES VAC	\$ 24,029	\$ 7,960	33.13
04643	ROSS JACOB J NATE AND MICHELLE ENTERPRISE LLC	2437 DEMASCUS RD 564062000	06/28/22	1849 2331	RES IMP	\$ 53,306	\$ 29,517	55.37
05433	JENNIFER LE TRAN JONATHAN LE TRAN AND		08/05/22 0.46	1854 2320	RES IMP	\$ 210,258	\$ 71,642	34.07
03461	JABERE T WASHINGTON  MCDANIEL MERCY LINEBERRY	2150014000	06/03/22	1845	RES	\$ 143,353	\$ 41,148	28.70
03603	JACKSON ALICECIA  CONRAD EVA M	114072000 214 AVONDALE DR	0.04	936 1845	RES	\$ 219,079	\$ 62,013	28.31
04352	JACKSON GEORGIA MOJICA RHONDA F FRANCE SAMUEL W FLEMING	171170000~38, L 641 SEA ISLE DR	0.32	1366 1849	IMP RES	\$ 30,037	\$ 20,0	1 282



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07474	JOHNSON SIDNEY M JACKSON JR WADE	3310 HILLIS RD 1080167000	11/09/22 0.24	1866 729	RES IMP	\$ 98,693	\$ 29,043	29.43
01185	JEFFERSON BOONE AIKEN KNOX JR JACKSON MATHEW AUSTIN	1005 MONTE SANO AVE 343036000	02/28/22 0.37	1829 2263	RES IMP	\$ 653,701	\$ 198,106	30.31
06855	MADISON TYRONE L	2751 DAVIS MILL RD	10/19/22	1863	RES	\$ 173,785	\$ 77,308	44.48
.=	JACKSON STANLEY	1770066000	0.72	196	IMP	<b>A</b> 101 = 0=	<b>A</b> = 1 == 1	00.40
05094	NWFAM COMMUNITIES LLC JACKSON TARROD W	2724 OAKLAND 332311000	07/28/22 0.34	1853 2551	RES IMP	\$ 134,737	\$ 51,774	38.43
00604	ZABOROWSKI ELLIS T		02/09/22	1827	RES	\$ 159,931	\$ 55,905	34.96
	JACOB A SODERBERG	1950018050	1.83	312	IMP			
01254	WILLIAM BRENTON DICKENS	1040 REDBIRD	03/07/22	1831	RES	\$ 180,271	\$ 56,612	31.40
	JACOB ZACHARY LOTT AND MADISON CLAIRE	201110000	0.25	1	IMP			
02241	KATHY HITCHCOCK	1212007000	04/22/22	1838 1612	RES IMP	\$ 175,210	\$ 52,862	30.17
07200	JACQUELINE ANTONIA BROWN					C 150 104	¢ 54.400	20.00
07308	ORRIDGE KAREN D JACQUELINE YVETTE ROGERS	2130 WHITNEY SOUTH 571227000	11/09/22 0.12	1866 240	RES IMP	\$ 150,184	\$ 54,188	36.08
08200	LONG JENNIFER NICOLE	1330 WINGFIELD ST	12/21/22	1870	RES	\$ 344,995	\$ 97,020	28.12
00200	JAHMSKY LLC	444030000	0.32	948	IMP	ψ 044,000	ψ 37,020	20.12
07867	VAZQUEZ ANGEL L DIAZ ROFS.DIAZ CARMEN		11/21/22	1867	RES	\$ 147,610	\$ 48,158	32.63
	JAIME S VELASQUEZ GIRON	1430590000	0.28	1341	IMP			
01198	RILLMAN LAURA NICOLE PARKER	7 CONIFER SQ	03/01/22	1829	RES	\$ 395,711	\$ 152,001	38.41
05400	JAKOBSEN POUL JESPER	230200000	0.12	2417	IMP	£ 400.054	C 00 404	00.74
05138	JESSE RIVER READ	805 ANN	08/10/22	1854	RES	\$ 183,654	\$ 60,121	32.74
00070	JAMES D DAVIDSON JR	203238000	0.22	761	IMP	# 000 000	¢ 00 007	20.07
00978	WRESCH JOANNA M JAMES DANIEL WILLIAMS	1961056000	03/03/22	1830 1780	RES IMP	\$ 238,938	\$ 80,927	33.87
04885	PAULA M FORD	3820 BELAIR	07/15/22	1851	RES	\$ 115,856	\$ 54,695	47.21
04000	JAMES E CURNUTT AND PAMELA W CURNUTT	520060000	0.92	20	IMP	\$ 113,636	\$ 54,095	47.21
06577	MOMENT JOSEPH JR ROFS/HENRIETTA M		10/03/22	1861	RES	\$ 255,313	\$ 95,740	37.50
	JAMES EVANS	1652069000	0.37	1288	IMP			
05589	JAMES M MENGER JR	3103 RAMSGATE	08/09/22	1855	RES	\$ 215,064	\$ 82,904	38.55
	JAMES HOSPODARSKY AND CYNTHIA	174030000	0.29	1838	IMP			
03432	WEATHERSPOON TAMASI T	5009 CHARLIE	06/01/22	1844	RES	\$ 273,123	\$ 94,784	34.70
05004	JAMES JONES	664161000	0.30	2523	IMP	₾ 04.0 00E	<b>↑ 405 000</b>	40.00
05301	AAIA RML LLC  JAMES JR THOMAS E	3839 WOODLAKE DR 1400536000~LOT 1, BL. B, CLARKE	07/26/22	1853 852	RES IMP	\$ 216,265	\$ 105,230	48.66
06854	THOMAS TONYA E		10/14/22	1863	RES	\$ 137,311	\$ 50,803	37.00
	JAMES KENDRICK/JAMES ADRIENNE L	1300579000	0.28	163	IMP			
03285	ELSIE A BREWTON	54 SUNNYVALE	05/20/22	1843	RES	\$ 133,574	\$ 38,642	28.93
	JAMES LAMB AND BARBARA LAMB JTWROS	162217000	0.11	1335	IMP			
03262	SANDERS KATHY ROFS/BRIAN	902 MONTE SANO	05/20/22	1843	RES	\$ 296,980	\$ 79,142	26.65
	JAMES M WALKER	341417000	0.18	582	IMP			
05477	FORD ANTONNIO M AND CASSANDRA L JAMES MICHAEL KELLEY	1523114000	08/22/22 1.15	1855 2258	RES IMP	\$ 229,138	\$ 97,552	42.57
00099	MORRIS DEVIN	1205 COLONY PLACE DR	01/13/22	1822	RES	\$ 118,866	\$ 33,910	28.53
00033	JAMES TINA/JAMES STEPHEN LANE	120366000	0.09	2047	IMP	ψ 110,000	\$ 55,510	20.00
01026	RICHARDS JOSEPH MICHAEL	3238 WARE RD	03/02/22	1830	RES	\$ 80,982	\$ 29,490	36.42
	JAMES TYLER EDWARD/JAMES ELIZABETH	551056000	0.46	993	IMP			
02150	SAMSEL JEREMIAH A AND TONYA M ROFS		04/22/22	1838	RES	\$ 205,325	\$ 78,716	38.34
	JAMES WANASEK AND CHRISTINE WANASEK	2700059000	1.51	2322	IMP		<b>A</b>	
06402	TERRELL L TARVER AND SHERIKA N TARVER	1603 CHASE CREEK	09/16/22	1859	RES	\$ 429,012	\$ 206,516	48.14
02440	JAMIRA WILLIAMS UNIVERSAL FUNDING INC	780176000	0.23	1830	IMP	¢ 244 000	¢ 60 750	20.00
03140	JAMISON THOMAS JETER	132134000	05/20/22	1843 1317	RES IMP	\$ 244,886	\$ 68,758	28.08
07930	RUTH P HODGES	3126 GREENSBORO	12/02/22	1868	RES	\$ 171,553	\$ 57,460	33.49
	JANE ADAMS	530126000	0.44	1540	IMP	, ,	, 51, 130	
07245	AMERSON MITCHELL EARL		10/26/22	1864	RES	\$ 210,258		b
	JANETTE G JESTER	110153000	0.82	698	IMP		] 2	283



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05832	GOLDMAN DEBRA WILLIAMS JANEY G HALL	3380035000	09/02/22 0.92	1857 1592	RES IMP	\$ 91,999	\$ 34,472	37.47
01557	ANDERSON KERRY D	3300033000	03/18/22	1833	RES	\$ 145,720	\$ 51,284	35.19
01337	JANICE JOHNSON	1320518000	0.30	256	IMP	\$ 145,720	φ 51,264	33.18
02405	FRANK E MCWILLIAMS	1020010000	04/13/22	1837	RES	\$ 137,947	\$ 42,578	30.87
02400	JASMINE ROLAND	1540335000	0.42	1416	IMP	ψ 101,041	ψ 42,570	00.07
00281	POUNDS TONY M SR ROFS/LIZZIE A FOWLER	101000000	01/13/22	1822	RES	\$ 120,450	\$ 47,892	39.76
00201	JASON HARRIS	1530556000	0.38	2367	IMP	Ψ 120, 100	ψ 17,002	00.7
05823	PAUL A STEPHENS		08/29/22	1856	RES	\$ 231,713	\$ 77,752	33.56
00020	JASZMINE L MCGRADY	1424120000	0.24	2081	IMP	<b>\$ 20.</b> ,	Ų,. o z	00.00
00234	MCZILKEY DALE EDWARD		01/10/22	1822	RES	\$ 218,341	\$ 75,151	34.42
	JAY A STONEHOCKER AND GAIL R	2330022010	1.18	1069	IMP	<b>*</b> = 10,011		
02477	JOHN T MARCUS AND CHARITY D MARCUS	1315 WINTER	04/14/22	1837	RES	\$ 202,148	\$ 84,615	41.86
02	JAY ISON MORGAN	442229000	0.24	1324	IMP	<b>\$ 202</b> , 110	φ σ ι,σ ισ	
05666	GROCE CHRISTPHER W	4310 SANDERLING DR	08/24/22	1856	RES	\$ 180,221	\$ 64,438	35.75
	JEAN COOK AND BAYON K COOK AS JOINT	1672026000	0.22	562	IMP	,,		
00428	JANET H MUNS	740 RIVERFRONT	01/28/22	1825	RES	\$ 264,257	\$ 80,851	30.60
	JEANETTE PELLOT ORTIZ	760050000	0.03	347	IMP	* == :,==:		
07875	HUBBARD AMANDA HENDERSON	1507 HEATH	11/28/22	1867	RES	\$ 197,385	\$ 79,258	40.15
	JEFF NORDIN AND TATUM NORDIN JTWROS	443186010	0.09	2554	IMP	, ,,,,,,		
00502	TOUCHSTONE JANET L FRAZIER		01/28/22	1826	RES	\$ 166,286	\$ 49,356	29.68
	JELEESA ALLISON R BAIN	1430760000	0.31	503	IMP	,,	, ,,,,,,,,	
04929	HASHAMI WAHEDDA	2141 GATEWOOD DR	07/28/22	1852	RES	\$ 131,304	\$ 32,791	24.97
	JENKINS ASHANTI	864167000~LOT 20, BL. A, LOMBARD	0.28	2581	IMP	, ,,,,		
03253	SHARPE DAVID Z/ALLEN STACIE C	38 INNISBROOK	05/19/22	1842	RES	\$ 110,519	\$ 41,277	37.3
	JENNIFER E KRIETE	162204000	0.08	2233	IMP	•,	,	
03977	GILPIN BRANDON S		06/10/22	1846	RES	\$ 122,353	\$ 45,282	37.0°
	JENNIFER LADD	1660352000	0.44	1412	IMP	, ,		
06016	RSY DON A		08/26/22	1857	RES	\$ 102,984	\$ 56,920	55.27
	JENSEN CHRISTOPHER K	1990142000	0.15	1846	IMP			
01702	JOHNSON JANIE MAE		03/17/22	1833	RES	\$ 221,115	\$ 66,276	29.97
	JEREMIAH WELCH III	113250000	0.35	180	IMP	, , -		
00659	MICHELLE L MATTHEWS		02/11/22	1827	RES	\$ 119,550	\$ 30,065	25.15
	JEREMY B CERF	1070894000	0.15	1821	IMP			
01249	ABRAHAM TORRALVA AND KARLI		03/01/22	1830	RES	\$ 219,310	\$ 78,385	35.74
	JEREMY EVERETT AND MEGGAN OEHLKE	1533054000	0.25	459	IMP			
03842	PEACHY FAB PROPERTIES LLC		06/13/22	1846	RES	\$ 126,903	\$ 47,562	37.48
	JEREMY RICHARDSON	1190293000	0.24	2707	IMP			
06867	GOODHAND BRAD A		10/14/22	1862	RES	\$ 15,018	\$ 7,290	48.54
	JERRY H AYERS AND PATRICIA R AYERS	1814001000	3.10	2764	VAC			
01054	TWANDA T PARKS		03/04/22	1830	RES	\$ 171,208	\$ 61,590	35.97
	JERRY ST CLAIR AND SHELBY JEAN ST CLAIR	1433009000	0.22	1803	IMP			
02879	GERARD A ANAYA	2933 GALAHAD	05/06/22	1841	RES	\$ 193,828	\$ 87,754	45.27
	JESSE L MANGRUM	403047000	0.22	509	IMP			
02611	BAIROS SEAN C AND AMBER		03/10/22	1839	RES	\$ 194,964	\$ 60,898	31.24
	JESSI LHOWE	1322207000	0.23	1787	IMP			
02058	CRAIG RICHARD Z III		04/07/22	1836	RES	\$ 194,118	\$ 48,676	25.08
	JESSICA K LITAVEC AND ANDREJA LITAVEC AS	140063000	0.13	858	IMP			
06021	MARIANNA D WILLIAMS	827 MILLEDGE	09/07/22	1858	RES	\$ 160,912	\$ 51,059	31.73
	JETT L MCCULLOUGH AND MARY LYNN	344076120	0.08	393	IMP			
04359	CHARLES R DARRACOTT III AND SHIRLEY H	307 SANDY RUN	06/30/22	1848	RES	\$ 224,847	\$ 73,527	32.70
	JILL J KELLY	162044000	0.44	2419	IMP			
06077	ROY DAVID M	1438 ANTHONY RD	09/15/22	1859	RES	\$ 403,266	\$ 149,186	36.9
	JILLELLA ANAND P/JILLELLA HANNAH M	444004000	0.26	150	IMP			
00067	MIRIAM R MONTOYA	2832 GLEN HILLS	01/06/22	1821	RES	\$ 138,353	\$ 49,392	35.70
	JKV HOMES LLC	843236000	0.19	1812	IMP			
00248	MELTHAN LLC	2123 GATEWOOD	01/07/22	1822	RES	\$ 109,480	\$ 42,6	
	JKV HOMES LLC	864177000	0.29	1700	IMP			284



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00271	WILKINS VALERIE JKV HOMES LLC	1180264000	01/13/22 0.19	1823 1041	RES IMP	\$ 118,866	\$ 39,426	33.17
02304	3250 AUGUSTA LLC	3250 DEANS BRIDGE RD	03/16/22	1837	COM	\$ 579,232	\$ 226,983	39.19
	JMCG DEANS BRIDGE RD LLC	1080449000	1.41	149	IMP			
00250	HANLIN DONALD E ROFS/DANNE J GOODWIN		01/18/22	1823	RES	\$ 196,582	\$ 65,984	33.57
	JOANNA GARCIA	1322015000	0.28	1966	IMP			
04458	JEWEL COLEMAN LEWIS PITTMAN FKA JEWEL	24 INNISBROOK	06/30/22	1848	RES	\$ 145,893	\$ 43,396	29.75
	JOAO CARLOS NUNES DA CRUZ	162211000	0.08	2402	IMP			
00565	GENE THOMAS SMOAK		02/11/22	1827	RES	\$ 208,056	\$ 66,615	32.02
	JOAQUIN CARMONA AND GLORIA CARMONA	1640150000	0.34	1990	IMP			
04720	PRICE MICHAAEL DAVID-RAY/ANGEL		07/21/22	1851	RES	\$ 240,295	\$ 87,583	36.45
	JOEY B GASKIN SR AND TAMERA DIANE	2700148000	0.86	1818	IMP			
06592	ANN BETH STRELEC	936 BROAD	10/03/22	1861	RES	\$ 214,549	\$ 89,997	41.95
	JOHN C MCKNIGHT AND MARY ALICE	373247000	0.02	1681	IMP			
05570	WOLF SAMANTHA ANN CAIN ROFS/JAMES	9028 BREVARD	08/19/22	1855	RES	\$ 257,030	\$ 98,888	38.47
	JOHN CHAUNCEY BRIGGS AND NATALIE	653248000	0.18	2369	IMP			
04801	DAY JANET C		07/22/22	1852	RES	\$ 240,295	\$ 74,831	31.14
	JOHN E DAVIS AND MARY DAVIS	43006000	5.18	29	IMP			
00393	LOTT JOE H JR AND PAULINE H		01/13/22	1825	RES	\$ 158,487	\$ 53,722	33.90
	JOHN HONEYBLUE	1300843000	0.26	1323	IMP			
07049	BEULAH G BYRD AKA BEULAH C BYRD	504 MILLEDGE	10/31/22	1864	RES	\$ 171,639	\$ 66,401	38.69
	JOHN LARRY LORD	351191000	0.28	2635	IMP			
01293	TENIOLA IDRIS TAIWO	3011 CREEK VIEW	03/11/22	1832	RES	\$ 156,977	\$ 38,403	24.46
	JOHN ROBERT MARTIN AND BRITTA WHITE	162084000	0.07	215	IMP			
05384	ALISON R HOUSTON AND CHARLES G	2798 HENRY	08/05/22	1854	RES	\$ 347,569	\$ 153,701	44.22
	JOHN ROBERT MARTIN AND BRITTA WHITE	332371000	0.38	1	IMP	, , , , , , , , , , , , , , , , , , , ,		
01783	RANJANBALA S AMIN AND SHASHIKANT N	69 MONTEBELLO	03/28/22	1834	RES	\$ 144,405	\$ 38,540	26.69
	JOHNNIE M WILSON	162169000	0.07	2432	IMP	, , , , ,		
07415	VARNADO REGGIE A II	2898 RASHA DR	11/01/22	1865	RES	\$ 74,848	\$ 46,675	62.36
	JOHNSON CHICO LAVETTE	950451000	0.18	2087	IMP			
00909	BERGER AND SMITH LLC	1633 GORDON HWY	02/24/22	1829	COM	\$ 1,203,806	\$ 492,158	40.88
	JOHNSON DANIEL	862153010~PARCEL C	3.36	526	IMP			
05119	M E INVESTMENTS INC	3245 HWY 88	08/03/22	1854	AGR	\$ 19,612	\$ 10,608	54.09
	JOHNSON DARON DEMETRIUS/JOHNSON	2230002160~LT 10	2.17	1686	VAC			
04337	VANN J MARSHALL	3050 HILLSDALE DR	07/05/22	1849	RES	\$ 514,918	\$ 131,811	25.60
	JOHNSON EMILY HAGLER/JOHNSON JR	331012000~14, D	0.47	56	IMP			
02682	JANELLE RONALD C JR	,	04/27/22	1839	RES	\$ 45,431	\$ 15,084	33.20
	JOHNSON FLIP REAL ESTATE INVESTMENTS	853256000	5.18	2243	IMP			
07221	ST CLAIR KATHRYN B HYLTON	1402 MAGNOLIA DR	11/02/22	1865	RES	\$ 677,975	\$ 297,461	43.87
	JOHNSON III JAMES F/JOHNSON COURTNEY	431110000~LOT 11, FOREST HILLS	0.92	477	IMP			
06753	WASHINGTON LAURA L SPRUILL		10/14/22	1862	RES	\$ 154,475	\$ 60,489	39.16
	JOHNSON KATRINA NICOLE	1431005000	0.19	2524	IMP			
00521	KONE MELODY ARTIS		01/05/22	1826	RES	\$ 12,560	\$ 4,467	35.56
	JOHNSON KEITH	1530082000	0.46	1034	VAC			
01708	BRITT DOVAIN	2414 PENNYHILL DR	03/31/22	1834	RES	\$ 125,535	\$ 30,925	24.63
	JOHNSON KENNETH W	864164000	0.30	2656	IMP			
00783	W S HARRIS AND ASSOCIATES INC	3964	02/02/22	1828	RES	\$ 397,270	\$ 131,056	32.99
	  JOHNSON REGINALD V/JOHNSON SHELETTE R	510177000	0.46	750	IMP			
03029	JONES CATHERINE H	623 CARLTON	05/16/22	1842	RES	\$ 205,539	\$ 70,882	34.49
	JOHNSON REID J	251245000	0.30	931	IMP	1		
08303	GOLPHIN MICHANDA L BROWN ROFS	3011 SPRING CREEK DR	12/20/22	1870	RES	\$ 237,720	\$ 101,119	42.54
	JOHNSON SYLVONCY L/JOHNSON SYLVONICA	1511004000~LOT 6, SPRING CREEK	0.26	2506	IMP	,.20	,	
		· ·	11/30/22	1868	RES	\$ 148,897	\$ 45,574	30.61
07695		3333 CUSHENDAL				1,007	ψ .5,5, Τ	-5.51
07695	ARAM L MESINA	3333 CUSHENDAL 532124000	0.06	574	IMP			ļ
	ARAM L MESINA JOHVONTE F SINGLETON	532124000	0.06		IMP RES	\$ 304 660	\$ 101 882	33 44
07695 04357	ARAM L MESINA JOHVONTE F SINGLETON ADRIAN STANFORD JANIT	532124000 2528 TUPELO	0.06 06/30/22	1848	RES	\$ 304,660	\$ 101,882	33.44
	ARAM L MESINA JOHVONTE F SINGLETON	532124000	0.06			\$ 304,660 \$ 217,024		33.44



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00288	MARY D BROWNING		01/21/22	1824	RES	\$ 183,069	\$ 67,298	36.76
	JONATHAN DANIEL MCNEAL	132052000	0.37	215	IMP			
08002	WRIGHT CURTIS A		12/09/22	1868	RES	\$ 165,632	\$ 49,180	29.69
	JONATHAN LEE SALINAS	1180383000	0.38	2788	IMP			
03491	JOSEPH COARD JR AND HENRIETTA COARD	1426 SPRINGFIELD	05/31/22	1844	RES	\$ 180,775	\$ 44,021	24.35
	JONATHAN R ROWLING AND TIMOTHY	411106000	0.25	940	IMP			
08597		114 PLEASANT HOME RD			СОМ	\$ 510,831	\$ 223,848	43.82
	JONES ALFRED JR	100060000	0.46		IMP			
05068	FA PROPERTIES LLC	1975 HOWARD AVE	07/25/22	1853	RES	\$ 193,094	\$ 67,640	35.03
	JONES ANNESIA L	451075000	0.29	349	IMP			
06505	CARUSO DRAKE	1434 ISSAC WAY	09/30/22	1861	RES	\$ 244,586	\$ 87,846	35.92
	JONES ANTON/ROBINSON SYMONE	1521022000~3, T	0.28	460	IMP	. ,		
02401	MERRY EARL H	603 REGENT RD	04/14/22	1837	RES	\$ 519,154	\$ 143,118	27.57
02 10 1	JONES CECILIA BEAUFORT/JONES JR RONALD		0.50	562	IMP	Ψ 010,101	ψ 1 10,110	27.07
02364	RENDITION PROPERTIES LLC	403 WARREN RD	04/08/22	1837	RES	\$ 108,983	\$ 39,189	35.96
02004	JONES CHARISSA S/THE JONES GROUP	171093000	0.46	73	IMP	Ψ 100,500	ψ 33,103	00.00
02791	ROY L WIREMAN	17 1030000	05/06/22	1840	RES	\$ 40,569	\$ 24,032	59.24
02/31	JONES GODLEY PROPERTIES LLC	1080276000	0.26	2740	IMP	Ψ 40,509	ψ 24,032	33.2-
00000		613 BRANSFORD				¢ 07 224	¢ 26 026	27.05
00692	JOE HOUSTON AND VIVALORIA HOUSTON	331138000	02/04/22 0.26	1827 218	RES IMP	\$ 97,321	\$ 36,836	37.85
00057	JONES JONATHAN RODRIGUEZ	331136000				<b>#</b> 405 000	Ф FO OFO	24.00
03857	HOLLAND MELVIN A III	0540075000	06/13/22	1846	RES	\$ 165,602	\$ 52,656	31.80
	JONES LEVI	2510075000	0.45	1646	IMP	<b>A</b> 22 222	<b>A</b> 24 <b>-</b> 22	
08602		2024 GARDNER ST			COM	\$ 62,229	\$ 21,736	34.93
	JONES WILLIAM M III	351290000	0.19		IMP			
03291	DOZIER RAICO	3516 BROCKDALE DR~6	05/19/22	1842	RES	\$ 115,867	\$ 52,942	45.69
	JORDAN JR NAPOLEON	1430848000~B	0.22	2629	IMP			
07504	RASHAD S ROBERTS		11/09/22	1866	RES	\$ 197,385	\$ 80,392	40.73
	JORDAN M CROUSE	1770086000	0.43	507	IMP			
01267	KIEU MY THUAN THI	4471 ETTERLEE RD	02/25/22	1831	RES	\$ 94,710	\$ 39,727	41.95
	JORDAN QUANTIZ F	1750021000~TRACT 30, SEC 3, PART 3,	2.81	759	IMP			
00372	WALKER JOSEPH A		01/25/22	1824	RES	\$ 186,408	\$ 47,764	25.62
	JORDAN RANDY STUART	113213000	0.22	2710	IMP			
04129	DRAKE A RUDOLPH	2216 MONTCLAIR	06/27/22	1848	RES	\$ 160,925	\$ 46,328	28.79
	JOSEF D TRACY	571188000	0.42	842	IMP			
03433	ZHIXING YAO AND KYRA SCHMIDT	3419 HEATHER	05/31/22	1844	RES	\$ 291,004	\$ 110,836	38.09
	JOSEPH COARD JR AND HENRIETTA COARD	323023000	0.40	2377	IMP			
06538	WILLINGHAM TOMICA W	2466 MADRID DR	09/27/22	1861	RES	\$ 51,492	\$ 26,031	50.55
	JOSEPH TERRELL/JOSEPH VALERIE	940013000	0.25	947	IMP			
06593	HARWOOD WALTER H III		10/07/22	1862	RES	\$ 170,781	\$ 66,161	38.74
	JOSEPH WILLIAM SAXON AND ROBIN	131170000	0.10	278	IMP	. ,		
02261	EMAD FRANCIS	1240 JAMES BROWN	04/18/22	1838	RES	\$ 108,511	\$ 30,898	28.47
	JOSEPHINE DAWN WILLIAMS	592836000	0.22	323	IMP	*,-	,,	
06820	BISHOP DONIESHA K		10/14/22	1862	RES	\$ 227,422	\$ 80,907	35.58
00020	JOSHUA A SHARPE AND MADISON LANE	1533052000	0.24	1578	IMP	<b>4</b> ==-, :==	φ σσ,σσ.	00.00
07324	PRICE CHRISTOPHER FRANKLYN VLCEK	3118 EXETER	11/04/22	1865	RES	\$ 172,497	\$ 92,519	53.64
07324	JOSHUA DETCHEMENDY	242177000	0.38	1239	IMP	Ψ 172,437	ψ 92,319	33.04
07584	CARRINGTON PHILLIP AND MARY J	242177000	11/17/22	1866	RES	\$ 165,632	\$ 57,384	2466
07304	JOSHUA RASHAUN JACKSON AND TASHERRIE	1200462000	0.26	2774	IMP	\$ 105,052	\$ 57,364	34.65
00400						£ 407 005	Ф 74 40F	20.40
06188	JONES DEBRA S AND WALTER C	3233 PENINSULA	09/21/22	1859	RES	\$ 197,385	\$ 71,435	36.19
07407	JOSHUA T KLOCK-WALD	403110000	0.21	2549	IMP	A 400 00 -	# 00 to-	04.5
07427	ROBERTS LAUREN H	3308 QUAKER SPRING	11/11/22	1865	RES	\$ 199,960	\$ 69,128	34.57
	JOSUE GABRIEL HERNANDEZ MEJIA	160225000	0.29	2701	IMP		-	
01038	VENA BIJOUX		02/26/22	1829	RES	\$ 159,537	\$ 70,843	44.41
	JUAN A PENA	1433055000	0.20	1744	IMP			
08396	MCDADE MONIQUE GRACE M		12/28/22	1871	RES	\$ 266,041	\$ 109,126	41.02
	JUAN MANUEL GUTIERREZ NAVARRO	654070000	0.15	94	IMP		_	
03278	BURTON CARRIE B		05/16/22	1842	RES	\$ 144,056		
	JULIA J BUSSEY	950240000	0.32	1240	IMP		1 [ ]	286



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04483	ROBERTS CAROLYN D JULIE S FELTON AND FRANCES JULIE FELTON	827 MILLEDGE 344076100	07/11/22 0.08	1849 2785	RES IMP	\$ 171,553	\$ 51,552	30.05
01785	ARTHA TECHNOLOGIES LLC	1817 KISSINGBOWER	03/28/22	1834	RES	\$ 163,144	\$ 37,483	22.98
	JULIUS G HARDEN AND VERA L HARDEN AND	573137000	0.48	2476	IMP	, , ,	, , , , ,	
07969	WHITE LEERAVEN R	1406 LEIGH	12/09/22	1869	RES	\$ 188,803	\$ 77,105	40.84
	JULIUS W FAIR SR AND DELISE FAIR JTWROS	303382000	0.05	566	IMP	,		
01607	HAYES WILLIAM T JR		03/18/22	1833	RES	\$ 79,911	\$ 25,770	32.25
	JULIUS WILSON FAIR SR	864030000	0.26	937	IMP	, ,,,	, ,,	
08607		1773 KISSINGBOWER RD			СОМ	\$ 229,446	\$ 75,922	33.09
	JULY KISS CO INC	573089010	0.47		IMP			
05244	PATTERSON MIKA M LINDSEY		07/27/22	1853	RES	\$ 187,087	\$ 62,358	33.33
	JUNTUNEN JASON JAMES	140090000	0.24	1529	IMP			
08196	AUDREY A SELKING	1623 WINTER	12/20/22	1870	RES	\$ 150,184	\$ 48,478	32.28
	KAITLIN M CARTER	571111000	0.24	1316	IMP			
01266	DOVE ADAM NEIL	2229 KIMBERLY DR	02/25/22	1831	RES	\$ 210,468	\$ 72,540	34.47
	KAMPS JESSE/KAMPS JULIA GUYTON	571150000~LOT 95, LYNDON GROVE	0.30	780	IMP			
01445	COPING BARBARA S	2341 WALDEN	02/22/22	1831	RES	\$ 182,217	\$ 52,308	28.71
	KANG SOONIM	564086000	0.64	990	IMP			
06462	GONZALEZ RAFAEL A GERALDO		09/28/22	1860	RES	\$ 163,057	\$ 52,155	31.99
	KANTHITA HOUSE	1530092000	0.46	2683	IMP			
05888	BROWN SHALONDA T ROFS/JOHNSON MELVIN		08/31/22	1857	RES	\$ 189,661	\$ 77,765	41.00
	KARL MELVIN HARRIS II	1520589000	0.28	986	IMP			
03596	REBECCA PRICE BEARDEN	3053 ABBA	06/03/22	1845	RES	\$ 136,317	\$ 49,926	36.62
	KATHERINE LOCHIAOOT AND ELIZABETH	303153000	0.06	721	IMP			
00586	DANNY W HAYWOOD JR	943 BEMAN	02/11/22	1827	RES	\$ 79,378	\$ 38,249	48.19
	KATHRYN HAMM	452013000	0.14	948	IMP			
03055	ALEX R HUX III AND ALEXANDRA G HUX	3315 OAKRIDGE	05/13/22	1842	RES	\$ 156,802	\$ 58,775	37.48
	KATRINA BUCZKOWSKI AND BRENDAN	412020000	5.18	697	IMP			
04673	FLY CHRISTOPHER A	1231 GLENN AVE	07/22/22	1851	RES	\$ 682,266	\$ 204,602	29.99
	KAUR BALVEEN	334205000	0.36	1991	IMP			
01673	PURPLE HEART HOMES INC		03/22/22	1833	RES	\$ 3,279	\$ 880	26.83
	KAURI'S CORNER LLC	724064000	5.18	2245	VAC			
06185	STEPHEN GRIFFIN	859 KATHERINE	09/16/22	1859	RES	\$ 128,729	\$ 33,943	26.37
	KAYLA DANIELLE WADFORD	201200000	0.25	1888	IMP			
02081	SPRADLIN ALISON M	2026 CATON DR	04/01/22	1836	RES	\$ 153,301	\$ 52,019	33.93
	KEARNEY AMANDA	303191000~LOT 13, BLK B, ST. GEORGES	0.09	1325	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, , , , ,	
01376	MERCADO-MICHEL IRACELIS	26 MULBERRY	03/16/22	1832	RES	\$ 273,000	\$ 82,623	30.26
0.070	KECO ARBER/KING CATHERINE STILLEY	172009000	0.10	1512	IMP	ψ 27 0,000	ψ 02,020	00.20
03218	ENTREKIN JOSEPH CAMERON	2326 REDWOOD DR	05/20/22	1842	RES	\$ 146,932	\$ 64,373	43.81
00210	KEENUM-FELKER DAWN LARAY	262158000~27	0.42	2719	IMP	ψ 1 10,002	ψ 0 1,07 0	10.01
04012	WHITE KADESH J ROFS/DESTENI C	202100000 27	06/17/22	1847	RES	\$ 238,733	\$ 92,169	38.61
04012	KEISHA LEE	800068000	5.18	871	IMP	Ψ 230,733	ψ 92,109	30.01
05143	BENJAMIN COUNCIL SR		08/12/22	1854	RES	\$ 6,866	\$ 2,960	43.11
03143	KEITH JOHNSON	1540204000	0.40	1699	VAC	\$ 0,000	φ 2,900	43.11
01552	DOEDEN RENEE	2718 BOARS HEAD RD	03/18/22	1832	RES	\$ 321,524	\$ 129,198	40.18
01332	KELKER JOAN EDWARDS/KELKER PAUL	60259000~9, A	0.63	2332	IMP	φ 321,324	\$ 129,190	40.10
03105	LEVALLE NICOLE D	· · · · · · · · · · · · · · · · · · ·	0.03			¢ 146 502	¢ 22 206	22.00
03105		2570 ANTHONY DEJUAN PKWY		1842	RES	\$ 146,502	\$ 33,396	22.80
00704	KELLEY KEITCHA	1530255000	0.37	1409	IMP	<b>#</b> 400 447	A 00 774	00.00
00701	COLEMAN SANDRA D	2733 FAWN DR	02/11/22	1827	RES	\$ 103,447	\$ 23,771	22.98
	KELLY PATRICIA ANN	1190292000	0.28	2065	IMP			
05330	DB ESTATES LLC	72020000	08/05/22	1853	RES	\$ 141,602	\$ 34,560	24.41
	KELLY VU	73030000	0.05	2268	IMP	A	A = 0	
05649	KHATOD NEIL KUMMAN	3358 SUGAR MILL	08/22/22	1856	RES	\$ 245,873	\$ 88,933	36.17
	KELTNER KYLE P/KELTNER KAYLA A	170125000	0.21	464	IMP			
03521	EUGENE B COX AND FITMA A COX		06/07/22	1845	RES	\$ 315,386	\$ 158,474	50.25
	KELVEY WHITENER	1803011000	0.21	1754	IMP			<u> </u>
00638	DOZIER ROGER	3821 NICOLL DR	02/04/22	1827	RES	\$ 126,031	\$ 42,3	207
	KENNEBREW JONATHAN	1700073000~LOT 11, BLK D, SEC 3,	0.26	1114	IMP	I		287



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02016	BEARD ZABIAN AND JENNIFER DENISE KENNETH A GEORGE	1433094000	04/01/22 0.26	1835 2761	RES IMP	\$ 211,834	\$ 79,544	37.55
05364	CONYERS RUTHIE M	4200542000	08/10/22	1854	RES	\$ 122,293	\$ 33,003	26.99
00587	KENNETH HARPER BRIAN HALL	1200512000 112 RIVERBEND	0.22	756 1827	IMP RES	\$ 246,764	\$ 82,803	33.56
	KENNETH L FULLER	760023000	0.03	921	IMP			
01146	CHADWICK CHRISTOPHER/DEBORAH	301 CALVARY	02/24/22	1829	RES	\$ 99,576	\$ 23,264	23.36
	KENNETH LAMAR NELSON	714127000	0.31	1999	IMP			
00286	ANTONIA MYERS KENYA COOK	1804008000	01/18/22 0.35	1823 2015	RES IMP	\$ 244,679	\$ 85,828	35.08
06184	CRIGER KENNETH A	2326 CENTRAL	09/16/22	1859	RES	\$ 286,637	\$ 78,032	27.22
	KETURAH STEWART AND GLENN PALMER	441257000	0.17	1921	IMP			
02725	KRISTIN KIRBY HARTLEY		05/02/22	1840	RES	\$ 112,180	\$ 37,938	33.82
	KEVIN BENDERMAN	1222226000	0.26	1212	IMP			
07096	PRESTIGE REAL ESTATE WORLDWIDE	120210000	10/31/22 0.11	1864 2785	RES IMP	\$ 78,954	\$ 26,953	34.14
06329	KEVIN BOZADA  MATTHEWS SARAH K SMITH ROFS	120210000	09/23/22	1860	RES	¢ 102 004	¢ 57.404	29.77
06329	KEVIN BOZADA	124017000	0.09	1885	IMP	\$ 193,094	\$ 57,484	29.77
01248	BRITNI P WATTS AND THOMAS K WATTS III	2414 MOHICAN	02/24/22	1830	RES	\$ 248,939	\$ 84,195	33.82
	KEVIN MCKERLEY AND AARON FERA JTWROS	262037000	0.26	499	IMP			
05018	COLLEEN L FLEMING		07/28/22	1852	RES	\$ 188,803	\$ 55,627	29.46
04444	KEVIN PICKERING AND JAIME WEBER-	314132000 905 EISENHOWER	1.00	2423	IMP	¢ 100 411	¢ 70 502	27.27
04144		192042000	06/21/22	1847 2381	RES IMP	\$ 189,411	\$ 70,593	37.27
01166	KEVIN W MCKERLEY AND AARON L FERA					£ 100 424	¢ 75 000	40.02
01166	LINDA H KEY AND PATRICIA A HERRINGTON KEYANNA SMITH	1410 LEIGH  303384000	02/25/22 0.05	1830 355	RES IMP	\$ 189,421	\$ 75,820	40.03
04001	GARDEN CITY CAPITAL LLC	1973 SANFORD COURT	06/10/22	1847	RES	\$ 67,294	\$ 15,875	23.59
04001	KEYSER BRIAN A/KEYSER BETH L	712184000	0.16	1008	IMP	Ψ 07,254	ψ 10,070	20.00
06585	CROWELL CO INC	214 HUMBERSIDE	09/02/22	1861	RES	\$ 48,917	\$ 18,000	36.80
	KEYSTONE HOMES INC	673049000~7 BL J	0.21	1793	VAC			
06586	CROWELL CO INC	2006 MERIDIAN	09/02/22	1861	RES	\$ 48,917	\$ 18,000	36.80
	KEYSTONE HOMES INC	673047000~47 BL F	0.22	1778	VAC			
07062	CROWELL CO INC	4005 COTTINGHAM	10/18/22	1864	RES	\$ 48,917	\$ 18,000	36.80
	KEYSTONE HOMES INC	673055000~LOT 13 BLOCK J GRANITE	0.22	217	VAC			
07194	CROWELL CO INC	4001 COTTINGHAM	10/18/22	1863	RES	\$ 48,917	\$ 18,000	36.80
00505	CROWELL CO INC	673056000~LOT 14 BLOCK J GRANITE	0.27	1678	VAC	£ 40.050	£ 48,000	26.70
06565	KEYSTONE HOMES INC	  673085000~4L GRANITE HILL	06/27/22 0.24	1861 1112	RES IMP	\$ 49,052	\$ 18,000	36.70
01342	RAND-CAMPBELL AMANDA	1721 ELIZABETH	02/23/22	1831	RES	\$ 148,528	\$ 49,967	33.64
	KHAN HAMMAD	303404000	0.05	2246	IMP	7	<b>V</b> 10,001	
03665	THOMAS NATASHA M/MICHAEL A		05/31/22	1844	RES	\$ 248,676	\$ 96,860	38.95
	KIARA BROWN AND DESHAW BROWN	800098000	5.18	1619	IMP			
06104	FELTON JULIA MAE S		09/12/22	1858	RES	\$ 250,593	\$ 65,216	26.02
	KIM CAMPBELL	2140049000	0.47	1944	IMP			<b>.</b>
05448	JOHNSON JASMINE C	325 WHITNEY PL 220186000~LOT 7, BLK B, WHITNEY	08/05/22 0.05	1854 2573	RES IMP	\$ 134,308	\$ 60,787	45.26
03649	KIM YIRANG/SONG HOSEOK LONG FAYE C	827 MILLEDGE	05/20/22	1845	RES	\$ 146,932	\$ 46,791	31.85
00010	KLOSINSKI SCOTT J	344076210	0.07	1578	IMP	Ψ 110,002	ψ 10,701	
00083	DONNAN MAXWELL W	304 GARDNERS MILL	01/11/22	1822	RES	\$ 221,243	\$ 59,792	27.03
	KNIGHT DONNA/KNIGHT AMOS L	171018000	0.30	2135	IMP			
07608	JENNINGS JENNIFER R	2622 OAKLAND	11/16/22	1866	RES	\$ 123,752	\$ 60,648	49.01
	KNIGHT SR DONTE J	332348000	0.85	1699	IMP			
00214	NIXON KARYN C	12 INDIAN CREEK RD	01/19/22	1823	RES	\$ 765,982	\$ 229,890	30.01
	KNOX JR JEFFERSON BOONE AIKEN/KNOX	254184000	0.48	1423	IMP		<b></b>	
08563	SHARIF AJMAL	104 WINDSONG CIR 70212000	12/30/22 0.09	1873 2593	RES IMP	\$ 73,633	\$ 22,261	30.23
0=440	KNOX REAL ESTATE LLC LYUBOV ABRAHAM	10212000	0.09	2593 1855	RES	\$ 190 221	¢ 50 1	ŀ
05419		1	1 00/1//22	1 1000	ハロう	\$ 180,221	\$ 58,1	288



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03863	BMH H LP KOREAN ASSOCIATION OF AUGUSTA INC	3109 DEANS BRIDGE RD 962206000	06/14/22 5.18	1846 2083	COM	\$ 350,850	\$ 136,160	38.81
01276	MILLER BLAKE ANDREW	2403 PONDEROSA DR	03/04/22	1831	RES	\$ 253,103	\$ 68,624	27.11
	KRANENBURG JACOB R/KRANENBURG KAYLA	143011000	0.37	515	IMP			
02931	PARKER GREGORY A		04/26/22	1841	RES	\$ 172,787	\$ 62,598	36.23
	KRISHNAN VIKRAM	143010000	0.33	2379	IMP			
07073	DEVAN M PRAYMOUS	3052 ASHLEY	10/28/22	1864	RES	\$ 259,604	\$ 97,138	37.42
	KRISTA BENNETT AND JOSHUA BENNETT AS	640144000	0.20	990	IMP			
05639	TERRY LEE MUSSELWHITE AKA TERRY LEE	8018 REAGAN	08/23/22	1856	RES	\$ 136,024	\$ 52,262	38.42
04704	KRISTIN STRUPP HELMUS AND VINCENT	303266000	0.07	840	IMP	₾ 70 047	¢ 00 007	40.54
04704	HELEN YARBROUGH KRISTINA YARBROUGH	972047000	07/15/22 5.18	1851 598	RES IMP	\$ 72,947	\$ 33,927	46.51
00167	YOUNG LESTER SHINCHEN	3404 WALTON WAY	01/24/22	1823	RES	\$ 1,865,573	\$ 538,122	28.84
00101	KRUEGER JOY G/KRUEGER JAMES RUSSELL	321012000	1.01	2624	IMP	ψ 1,000,070	ψ 550,122	20.04
05952	CAPUY HALBERT C	2323 GREENGATE DR	09/01/22	1857	RES	\$ 120,147	\$ 35,848	29.84
	KUTTY SHELBY/SHIVARAM KETAN/SHIVARAM	161008000~LOT 12, BLK A, GREENGATE	0.09	1912	IMP	<b>*</b> .= <b>*</b> ,	<b>V</b> 55,515	
07602	TARVER MAYE ALICE		10/26/22	1866	RES	\$ 126,584	\$ 40,849	32.27
	KWADEY PAMELA RENA	1190068000	0.27	1461	IMP			
02015	WHITNEY A LIVESAY		03/31/22	1835	RES	\$ 255,719	\$ 95,678	37.42
	KYLE NULTY	790112000	5.18	2735	IMP			
00424	PARR TOMMY	5119 WHEELER LAKE RD	01/28/22	1824	RES	\$ 156,597	\$ 61,471	39.25
	LAB PROPERTIES INC A GEORGIA	402282000	0.13	2507	IMP			
02193	CHILDERS CATHERINE A		04/15/22	1837	RES	\$ 211,156	\$ 68,471	32.43
	LADELL PETER WILLIS JR AND SHERRELL D	1980093000	0.34	2251	IMP			
04106	DOROTHY E WELLS	1807 MCDOWELL	06/27/22	1848	RES	\$ 94,662	\$ 36,524	38.58
	LAFFY TAFFY PROPERTIES LLC	451326000	0.17	259	IMP			
01899	KOUAME GAIL	1744 DREXEL	03/04/22	1834	RES	\$ 146,478	\$ 46,346	31.64
	LAFFY TAFFY PROPERTIES LLC	573065000	0.30	584	IMP	<b>A</b> = 1 1 1 = 1		
03661	COLEMAN BOBBY E	1616 CENTRAL AVE	05/17/22	1845	RES	\$ 71,429	\$ 31,084	43.52
00745	LAFFY TAFFY PROPERTIES LLC	454064000	0.16	833	IMP	<b>*</b> 404.000	A 00 005	07.50
03745	JEREMY MARTIN AND SHANNON MARTIN	2003 LANIER 581009000	06/09/22	1846 222	RES IMP	\$ 104,969	\$ 28,865	27.50
03789	LAFFY TAFFY PROPERTIES LLC  EARL L EUBANKS SR	2242 WALDEN	0.22	1846	RES	\$ 91,930	\$ 21,619	23.52
03769	LAFFY TAFFY PROPERTIES LLC	573015100	0.32	262	IMP	φ 91,930	\$21,019	23.32
03732	SHAW EMMA	1306 BEMAN ST	05/26/22	1846	RES	\$ 142,166	\$ 32,465	22.84
00702	LAFFY TAFFY PROPERTIES LLC	454047000~PARCEL B	0.16	416	IMP	Ψ 1 12,100	ψ 02, 100	22.01
01301	SCENIC LAND HOMES LLC	504 HEARD	03/02/22	1831	RES	\$ 161,964	\$ 55,486	34.26
	LAFFY TAFFY PROPERTIES LLC	351285000	0.16	1850	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, , , , ,	
04272	ALEXANDER C HOWARD SR AND SANDRA C		06/30/22	1848	RES	\$ 106,845	\$ 30,005	28.08
	LAFFY TAFFY PROPERTIES LLC	1091026000	0.17	1660	IMP			
07660	CLEMENTS KIMBERLI C	2426 APRICOT	11/23/22	1867	RES	\$ 184,383	\$ 90,930	49.32
	LAFFY TAFFY PROPERTIES LLC	192096000	0.34	964	IMP			
04276	LEAHANN E DAHL NKA LEAHANN E MILLER	3325 TANGLEWOOD	06/30/22	1848	RES	\$ 124,438	\$ 64,972	52.21
	LAFFY TAFFY PROPERTIES LLC	412076000	0.25	1722	IMP			
03183	WILLIAMS DANIEL M	2121 MCDOWELL ST	05/25/22	1843	RES	\$ 221,639	\$ 79,579	35.90
	LAFRANCE ROBERT H	442032000	0.19	2022	IMP			
05787	HOUK JESSICA	2132 WILLHAVEN DR	08/05/22	1857	RES	\$ 270,246	\$ 120,910	44.74
05000	LAMB CHRISTOPHER ERIC	654062000	0.15	1147	IMP	<b>*</b> 445.050	A 40 500	44.04
05002		2135 WHITNEY SOUTH DR	07/05/22	1853	RES IMP	\$ 115,856	\$ 48,592	41.94
04659	LAMONS REUBEN ALLEN R2D2 LLC	571217000	0.11	366		₾ 04 E20	£ 24 242	20.70
04659		616 BEAUFORT AVE 611287000	0.16	1850 2225	RES IMP	\$ 81,529	\$ 24,212	29.70
00485	LAMPKIN KEISHA BELL BARBARA RENEE	1416 SPRINGFIELD	0.16	1826	RES	\$ 168,366	\$ 40,129	23.83
00700	LANDIS PROPERTIES II LLC	411101000	0.24	473	IMP	ψ 100,300	ψ 40,129	23.03
04152		2234 LEE ST	06/29/22	1848	RES	\$ 146,027	\$ 46,661	31.95
J 1102	LANPHEAR MICHAEL LEON/HAMED KHALED	443278000	0.26	975	IMP	Ψ 1-0,027	Ψ +0,001	01.30
06112	CRESPO ALBERTO JR	228 THREAD NEEDLE	09/12/22	1858	RES	\$ 295,134	\$ 124,0	h
	LAPAN MELVIN/LAPAN ANNIE	171123000	0.51	2649	IMP			289



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03825	TICE BRUCE AND TERESA LARON MARCEL CHURCHWELL	1223040000	06/13/22 0.45	1846 1044	RES IMP	\$ 161,680	\$ 52,672	32.58
	VETTED INVESTMENTS ACQUISITIONS LLC LARRY L MCCORD	116 COURTLAND 612186000	03/15/22 0.23	1832 323	RES VAC	\$ 6,786	\$ 1,600	23.58
03380	WILLIE CLYDE BRIGHT LARRY L MCCORD	152 MCELMURRAY 612202000	05/31/22 0.29	1844 230	RES VAC	\$ 7,055	\$ 1,600	22.68
02641	POSS SARA WALDEN	2823 BRICKRUN WAY	04/26/22	1840	RES	\$ 180,971	\$ 63,352	35.01
04942	BROWN ROBERT JAMES	131256000~LOT 13 ALEXANDER	0.06	735 1852	IMP RES	\$ 156,192	\$ 48,434	31.01
	LASHANA ROGERS AND DAMIAND QUIJANO PARKS TERRY DEON/STARNEISHA LASHAY	2790031000	0.52	1879 1832	IMP RES	\$ 163,051	\$ 57,584	35.32
02723	LATARRIEA BURTON AND BRANDON FEW AS LEE SUN BROOKS	1430725000	0.26 05/02/22	1166 1840	IMP RES	\$ 167,365	\$ 43,548	26.02
03375	LATOYA WHITE LINEHAN ERIN E	1290161000 1962 MCDOWELL ST	0.27	465 1844	IMP RES	\$ 224,867	\$ 79,507	35.36
	LATREMOUILLE RACHEL H	451352010	0.19	369	IMP	. ,	. ,	
02792	HUTCHESON WANDA M LAUREN E SEANOR	1322097000	05/06/22 0.78	1840 2750	RES IMP	\$ 202,843	\$ 68,604	33.82
03270	MORGAN T SMITH LAUREN ELIZABETH LINFORD AND JONATHAN	2706 KIPLING 180255000	05/13/22 0.42	1842 1341	RES IMP	\$ 246,313	\$ 69,242	28.11
	PEEL HAROLD DAVID AND HOPE B LAUREN FRYER	110091810	01/21/22 0.16	1824 1031	RES IMP	\$ 211,612	\$ 62,693	29.63
	GEORGE HARRISON LAURIE B HUDSON	2316 LAUREL 271003000	08/04/22 0.48	1853 1625	RES IMP	\$ 102,984	\$ 36,495	35.44
02862		211 PLEASANT HOME RD 100269000~LT 7	05/09/22	1841	COM	\$ 413,656	\$ 111,943	27.06
01134	MCCALL G DANIEL JR LAW DOUGLAS R/LAW GARY J	3211 SKINNER MILL RD 170037000	02/24/22	1829 1766	RES	\$ 38,298	\$ 17,544	45.81
05999	ABRAHAM ASSOCIATES LEASING LLC A	827 FORSYTHE STREET	08/19/22	1858	RES	\$ 39,649	\$ 17,488	44.11
	LAW PHILLIP ANTWAN  LAWERY JR LEWIS	602055000 3347 TANGLEWOOD DR	0.17	62 1853	RES	\$ 162,027	\$ 41,910	25.87
	LAWRENCE MEI KIM WANSOO	412005000 2318 WALDEN DR	0.29	1035 1849	COM	\$ 272,707	\$ 97,559	35.77
	LAY E-Z LIFE LLC MARSON OLIVER ANTHONY JR	564151010 1307 THIRTEENTH ST	1.22 07/14/22	2556 1863	IMP RES	\$ 21,455	\$ 13,590	63.34
03883	LCS ASSOCIATES LLC HERZBERG JOSEPH W	591030000 501 MILLEDGE RD	0.21 06/15/22	329 1846	IMP RES	\$ 95,701	\$ 36,756	38.41
04839	LEASEBONUS COM LLC SOX PARKER KIRKLAND	342017470 2267 CENTRAL AVE	0.09	1956 1850	IMP RES	\$ 276,253	\$ 105,708	38.26
	LEE VIRGINIA STUART/TRIAL BRIAN RAYMOND EARLENE WYATT AKA EARLENE C WYATT		0.23	2169	IMP			
06420	LEESTHER WILLIAMS	1300461000	09/21/22	1859 2644	RES IMP	\$ 141,602	\$ 51,174	36.14
03186	RAYMOND WINSLOW GOODSPEED AND MARY LEI WANG	3200001120	05/19/22 6.09	1843 603	RES VAC	\$ 26,739	\$ 12,944	48.41
02011	PAJ RETIREMENT FUND LLC LENA CAPITAL GROUP LLC	1549 HEATH ST 443168000	03/24/22 0.07	1835 793	RES IMP	\$ 72,400	\$ 21,232	29.33
	SNIPES JUDY J ANN LEON DYERS JR	1990104000	10/20/22 0.15	1864 787	RES IMP	\$ 144,177	\$ 40,478	28.08
	HEEMER SCOT A		04/22/22	1840	RES	\$ 240,367	\$ 82,485	34.32
00187	LEWIS ALLEN STAFFORD COREY C	790091000 1715 OAK RD	5.18	979 1822	RES	\$ 169,330	\$ 52,294	30.88
01350	LEWIS CANDACE REGINALD MASON JR	572198000~LOTS 48, 49, 50 IN BLOCK C,	0.21	1133 1831	RES	\$ 147,151	\$ 44,802	30.45
03771	LEWIS G POWERS WEST KESHA L	1320225000 1136 GEORGE W CRAWFORD	0.23 06/01/22	2671 1846	IMP RES	\$ 277,528	\$ 102,840	37.06
	LI FRANKLIN PATEL NILAMKUMAR	663055000 2811 BRICKRUN WAY	0.14	112 1848	IMP RES	\$ 147,610	\$ 63,4	<u> </u>
	LIBBY CHRIS S	131250000	0.06	2041	IMP			290



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04952	JACKS ISAAC LEARY LIGON DALEE	546 WHITEHEAD 253109000	07/11/22 0.31	1852 2039	RES IMP	\$ 175,930	\$ 62,308	35.42
03412	LUCIANO MONTALVO CHRISTIAN J	1427 CALUMET DR	05/31/22	1844	RES	\$ 388,005	\$ 155,743	40.14
01801	LIM-TOM MARCIA/LIM-TOM CURTIS  MATTHEW DAVID SANDERSON	780190000~LOT 64, BLOCK A, MCCOYS 3332 QUAKER SPRING	0.35	1241 1834	IMP RES	\$ 223,372	\$ 58,355	26.12
01001	LINDA G HENDERSON AND VICTORIA	160213000	0.30	2411	IMP	Ψ 223,372	\$ 50,555	20.12
04402	BENJAMIN L HUTTON	414 GOLDFINCH	07/07/22	1849	RES	\$ 189.661	\$ 53,353	28.13
04402	LINDA J BROWN	160075000	0.34	1767	IMP	Ψ 105,001	ψ 00,000	20.10
04381	MOTEN EDUARDO T		06/30/22	1849	RES	\$ 227,422	\$ 87,050	38.28
	LINGENFELTER CURTIS	1390398000	0.77	867	IMP	,	, , , , , , , , , , , , , , , , , , , ,	
04257	OWENS WILLIAM F	3241 RAMSGATE RD	06/29/22	1848	RES	\$ 219,041	\$ 92,925	42.42
	LIPHAM JOSEPH C	241058000~9, F	0.45	1074	IMP			
02933	QCC PROPERTIES INC		05/12/22	1841	RES	\$ 44,840	\$ 20,459	45.63
	LISTER BROWN LLC	3350047000	2.84	1502	IMP			
06568	MULHERIN CAROLYN B	1 REID CT	10/06/22	1861	RES	\$ 669,393	\$ 233,099	34.82
	LITCHFIELD KATHERINE DIANNE	324118000	0.19	2282	IMP			
03425	AMERICAN ADVISORS GROUP	2301 HARDWICK RD	06/01/22	1844	RES	\$ 95,417	\$ 34,641	36.30
	LOCKWOOD RODNEY	842189000~20-BLK E	0.34	1704	IMP			
03457	MCBRIDE JESSE A	3180 WHEELER ROAD	05/27/22	1844	RES	\$ 253,990	\$ 100,096	39.41
	LOGGINS ERIC/LOGGINS OMEEKA P	244085000~19	0.35	2318	IMP			
01718	SPATES FRANK A	1529 JOHNS RD	03/31/22	1834	RES	\$ 292,821	\$ 71,519	24.42
	LONG JASON H	443232000	0.17	2654	IMP			
07822	BOYLES CARL	2492 COLEMAN AVE	11/18/22	1867	RES	\$ 102,898	\$ 32,126	31.22
	LONG JASON HENSLEY	982190000	0.18	55	IMP			
04985	WILLIAMS ANDREW D	2101 WHITNEY SOUTH	07/29/22	1852	RES	\$ 133,020	\$ 49,456	37.18
	LONG TYLER	573244000	0.43	1499	IMP			
06232	KEELS MATTHEW ROBERT	613 WESTBURY	09/01/22	1860	RES	\$ 193,104	\$ 73,382	38.00
	LORANG KENNETH C	251240000	0.34	701	IMP			
02775	MICHAEL ANTHONY MAY	2819 RIDGEVIEW	05/03/22	1840	RES	\$ 171,648	\$ 50,466	29.40
	LORENZO MYKOL FLORES	390158000	0.36	1232	IMP			
06355	LAURIE HIGGINBOTHAM	2619 WOODBLUFF	09/23/22	1860	RES	\$ 227,422	\$ 83,221	36.59
	LORIE TREMAINE	180286000	0.18	881	IMP			
00695	SHEPHERD SCOTT F		02/09/22	1827	RES	\$ 61,840	\$ 27,946	45.19
	LOUIS MERTINS	1333009000	0.40	506	IMP			
00787	BENTIVEGNA SCOTT MICHAEL		02/21/22	1828	RES	\$ 136,295	\$ 44,681	32.78
	LOUISE HARRIS AND CHARLES HARRIS	1180485000	0.42	1548	IMP			
05998	WOOTEN CURTIS P	4009 ROYAL OAKS CT	08/31/22	1858	RES	\$ 165,031	\$ 53,120	32.19
	LOVE ZANBRIA	1980266000	0.41	842	IMP			
04657	BRUCE DARRELL D		06/23/22	1851	RES	\$ 95,872	\$ 38,802	40.47
	LOVETT CHANNELE	1540052000	0.75	1447	IMP			
06175	JOHNSON SHELITA	1967 LIONEL	08/09/22	1859	RES	\$ 64,365	\$ 20,583	31.98
	LRET INVESTMENTS LLC	871094000	0.24	85	IMP			
04410	CONREX RESIDENTIAL PROPERTY GROUP		06/30/22	1849	RES	\$ 44,626	\$ 15,220	34.11
	LUCAS OTILIO FUNES	1300810000	0.24	993	IMP			
07361	HORNSBY JESSICA R	2104 WHITNEY SOUTH	11/04/22	1865	RES	\$ 148,468	\$ 50,007	33.68
	LUIS D APONTE CALDERO	571236000	0.14	1810	IMP			
07085	CHO CHO LLC A GEORGIA LIMITED LIABILITY	1509 WOOTEN	10/27/22	1864	RES	\$ 69,428	\$ 32,482	46.79
	LUNA RESOURCES LLC	721074040	0.32	1557	IMP			
01150	FA PROPERTIES LLC	1429 JOHNS	02/22/22	1829	RES	\$ 148,650	\$ 62,581	42.10
	LUSANE REAL ESTATE GROUP LLC	443097000	0.17	1842	IMP			
01452	MCWHIRTER JESSE AND SARA		03/08/22	1831	RES	\$ 250,273	\$ 89,083	35.59
	LUTHER SMITH IV	780147000	5.18	1533	IMP			
00549	VARHOL CHASE A	3104 EDINBURGH	02/09/22	1827	RES	\$ 295,629	\$ 116,509	39.41
	LUTHMAN KAREN/LUTHMAN PAUL	251003000	0.33	428	IMP			
02273	JEFFREY MARION HAIR	3083 WHEELER	04/12/22	1836	RES	\$ 262,323	\$ 74,924	28.56
	LYLE M BURNS	253167000	0.45	2532	IMP			
06000	TRIPLE A FOUR K'S INC	1092 HANCOCK MILL LANE	08/22/22	1858	RES	\$ 7,895	\$ 3,3	Б
	1	3190069000~LOT 24, BLOCK C, SECT. 2,	0.59	760	VAC			291



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01763	RANDOLPH TERRY E LYNN JULIE SCOGGINS	2901 KIPLING DR 183130000	03/31/22 0.35	1835 232	RES IMP	\$ 325,460	\$ 111,507	34.26
04011	ASKIN ENTERPRISES LTD CO LYONS JAMES S	2198 MCNUTT ROAD 2810171000~TRACT B-5, ASKIN ACRES	05/24/22 7.20	1847 2732	RES VAC	\$ 13,306	\$ 6,623	49.78
04927	RATTLEY SAMMAYYAH ASSALAM LYONS SR DEITRICH LENARD/LYONS	1650168000	07/05/22	1852 2447	RES	\$ 244,586	\$ 95,544	39.06
04155	MELODY SAN JOSE PALO MA JOSEPHINE BECAR PARRENO AND ALLIH	3644 CRAWFORDVILLE 530257000	0.83	1847 2393	RES	\$ 129,793	\$ 56,618	43.62
08036	FORETHOUGHT LIFE INSURANCE COMPANY MACDONALD BENJAMIN	1104331000	11/14/22	1869 124	RES	\$ 61,361	\$ 33,818	55.11
08174	BROWN ROBIN ELAINE HAMILTON MACK CURRY	1091180000	12/20/22	1870 55	RES IMP	\$ 60,074	\$ 37,872	63.04
00643	SIRULL DAVID MACK JORDAN DAVID/DRYE BRANDI NICOLE	1054 HICKMAN RD 442067000	02/04/22	1826 2720	RES	\$ 221,893	\$ 79,358	35.76
06643	MCCUMBERS KENNETH MACKENNA HOLDINGS LLC	4206 FOREST RD 2320242000	10/06/22	1862 69	RES VAC	\$ 25,746	\$ 5,865	22.78
04428	CREWS JEANNIE S MACKEY KYLE R	981189000	07/01/22	1849 1807	RES	\$ 128,729	\$ 43,880	34.09
08110	KEY STEPHANIE PETREA MADDEN ROBERT	2318 CADDEN RD 1213111000	12/15/22 0.30	1869 2064	RES IMP	\$ 86,678	\$ 41,747	48.16
06299	CHAVIS MICHAEL G MADDOX MARY J	2106 GROUSE CT 1650217000	09/13/22 0.52	1860 1671	RES IMP	\$ 194,810	\$ 82,390	42.29
05080	MONTE SANO PROPERTIES LLC MADDOX MULHERIN PROPERTIES LLC	1530 MONTE SANO 443008000	08/08/22	1854 677	RES IMP	\$ 180,221	\$ 65,424	36.30
02434	ANDREW B JACKSON MAEGAN KUHN AND GAGE MATOTT AS JOINT	3303 TANGLEWOOD 412065000	04/14/22	1837 1534	RES IMP	\$ 131,396	\$ 45,346	34.51
08055	CHAUDHRY KHALID ROFS/EVANS TERESA M MAGALIE VOLTAIRE-MOYEN	3008 BURGESS 653034000	12/09/22 0.13	1869 718	RES IMP	\$ 261,750	\$ 110,517	42.22
08059	HUTTO DONNA S MAGNOIR CASTILLO AND CRISTINA DIAZ	3216 WASHINGTON RD 111012000	12/12/22	1869 980	COM	\$ 150,953	\$ 85,140	56.40
01777	LING C LOW MAGNOLIA ROOTS REAL ESTATE III LLC	2733 EDWARD 711039000	03/23/22	1834 2389	RES IMP	\$ 140,335	\$ 74,952	53.41
07553	MCALISTER A/K/A D DAVID MCALISTER MAIBUSCH KIERON T	201196000	11/16/22 0.02	1866 1896	RES VAC	\$ 26,175	\$ 6,400	24.45
05342	RUFF NATASHA BRIDGES/JOSEPH MAJESTIC COLA	2108 DIVISION 271050000	08/08/22 0.23	1853 2237	RES IMP	\$ 94,316	\$ 22,352	23.70
01923	DAVIS JAMES RONALD MALDONADO MARCOS ANTONIO MEJIA	2011 CIRCULAR DR 981138000	04/01/22 3.50	1835 1175	RES IMP	\$ 120,783	\$ 34,487	28.55
01394	BISHOP NATHANIEL MALILE JULIAN/MALILE HALEY	3519 JONATHAN CIR 1342047000~LOT 63, BL. D, SECTION III,	03/08/22 0.22	1831 491	RES IMP	\$ 91,008	\$ 20,652	22.69
05681	MORGAN KYLIE A MALONE KEVIN A/MALONE KIMBERLY A	2413 BRENTWOOD 201010000	08/23/22 0.55	1856 686	RES IMP	\$ 207,683	\$ 63,336	30.50
00561	BROWN GIDDENS JACQUELINE ELIZABETH MALONEY DIANE	1010 HICKMAN 442063220	02/11/22 0.04	1827 737	RES IMP	\$ 130,640	\$ 45,484	34.82
06647	THOMPSON KATHARINA MANICCIA LEO BENJAMIN/MANICCIA MORGAN	2208 MARTIN RD 983112000	10/04/22 2.30	1861 2166	RES IMP	\$ 240,295	\$ 60,661	25.24
04141	JACKSON RASHEEN C MANNING DEIDRA SHARMEKA	1001 ROSLAND CIR 790031000	06/06/22 0.22	1847 1839	RES IMP	\$ 280,585	\$ 112,920	40.24
06119	FELZ JOE MANNING WILLIAM	2474 MILES AVE 982068040	08/26/22 0.18	1859 644	RES IMP	\$ 68,656	\$ 27,270	39.72
02090	ALLEN JOHNNY R MANTECA SARAH A/MANTECA JR ESTEVAN	2507 DRUMCLIFF CT 1310154000	04/05/22	1836 1605	RES IMP	\$ 152,781	\$ 44,636	29.22
08277	BECTON JAMES LOUIS JR MANTON III JOHN PHILIP	343068090	12/27/22	1870 2355	RES IMP	\$ 120,147	\$ 54,550	45.40
01833	HARRIS AUGUSTUS R JR MARATHON HLDGS LLC	1341049000	02/28/22	1833 2501	RES IMP	\$ 128,049	\$ 53,836	42.04
00119	ROBERT HARTSOCK MARC MCINTOSH AND KRISTEN KENCK AS	2700072000	01/13/22	1823 1933	RES IMP	\$ 251,599	\$ 95,6	292



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07323	WANG PHILLIP A ROFS/VICKIE L R MARCHAL DEPASQUALE	1209 BROOKSTONE 402212000	11/04/22 0.24	1865 1185	RES IMP	\$ 223,131	\$ 88,002	39.44
06198	GAVIN LEWIS-BISSELL	1856 OLD SAVANNAH	09/19/22	1859	RES	\$ 63,936	\$ 17,843	27.91
	MARCO THOMAS MUELLER	731085000	0.17	1990	IMP			
02494	INFORMED CONSUMER NETWORKS LLC		04/15/22	1837	RES	\$ 110,168	\$ 26,911	24.43
	MARCUS W ODUMS	1234084000	0.19	1560	IMP			
03364	FRANCIS PATRICIA		05/26/22	1843	RES	\$ 77,062	\$ 17,708	22.98
	MARCUS WASHINGTON	722602000	5.18	2641	IMP			
02382	ROLL SPARTY LLC	1533 HEATH	04/18/22	1838	RES	\$ 91,571	\$ 26,292	28.71
	MARGARET ROSE EVANS	443174000	0.32	1211	IMP			
07521	REGIONAL INVESTORS GROUP LLC		11/17/22	1866	RES	\$ 33,470	\$ 16,303	48.71
	MARIBEL VALDEZ AND ALAN PALACIOS AS	1102246000	0.23	1972	IMP			
06809	KIMBERLY G PIPPIN AND BYRON F PIPPIN		10/11/22	1862	RES	\$ 270,332	\$ 113,780	42.09
	MARIE VIVIANE JEUNE PIERRE	251055000	0.38	1472	IMP			
03349	XAVIER L CREEKMUR	2004 CATON	05/26/22	1843	RES	\$ 154,124	\$ 49,674	32.23
	MARILYN M LIBERT	303180000	0.06	2667	IMP			
05783	ALMODOVAR ERIK R	2928 FOXHALL CIR	08/25/22	1857	RES	\$ 268,186	\$ 84,083	31.35
	MARKS AMANDA/MARKS CYLE	160391000	0.43	744	IMP			
00790	WHITE W MARSHALL		02/18/22	1828	RES	\$ 341,576	\$ 137,146	40.15
	MARQUISE D WASHINGTON	1654008000	0.35	1648	IMP			
02429	WAGNER ANTHONY E	71 CONIFER CIR	04/25/22	1838	RES	\$ 787,315	\$ 237,420	30.16
	MARTIN AMANDA D/MARTIN SR JAMES M	230242000	0.57	1906	IMP	. ,		
04936	DAVID MARIAH L	2815 BRICKRUN WAY	07/15/22	1852	RES	\$ 181,938	\$ 63,477	34.89
	MARTIN CARSON	131252000	0.05	686	IMP	<b>,</b> , , , , , , , , , , , , , , , , , ,	, , , , ,	
02140	GREER LAKENYA	1521 CHESTNUT	04/04/22	1838	RES	\$ 53,751	\$ 16,672	31.02
02140	MARTIN CHRIS LAMAR	591472000	0.09	1131	IMP	ψ 55,751	ψ 10,072	01.02
00795	COPELAND SARAH R	2604 BILLINGS RD	02/15/22	1828	RES	\$ 144,682	\$ 47,949	33.14
00793	MARTIN CHRISTOPHER SCOTT	1300212000	0.24	631	IMP	ÿ 144,002	φ 47,949	33.14
03255	WILLIAMS RILEY G	248 VINELAND RD	05/20/22	1842		¢ 200 262	¢ 75 074	27.57
03255			1	1	RES	\$ 200,362	\$ 75,274	37.57
07040	MARTIN ERIN KIMBERLY	262083000~25, G	0.26	2705	IMP	0.407.074	<b>#</b> 44 000	44.04
07318	HEATON EMILY FRICKS	1615 SANDALWOOD	11/11/22	1866	RES	\$ 107,274	\$ 44,239	41.24
	MARTIN HERRERA	542029000	0.29	191	IMP			
06564	WISNER GEORGE J	3212 MONTPELIER DR	10/03/22	1861	RES	\$ 523,500	\$ 176,164	33.65
	MARTIN ISABELLE FORYSTH/DARBY CHARLES		0.61	1074	IMP			
06392	MARTINEZ FRANCYNE FELLE	1674 GOSHEN RD	09/09/22	1859	RES	\$ 98,693	\$ 32,164	32.59
	MARTIN LEGACY HOLDINGS LLC	1980010110	0.20	2245	IMP			
05169	STARK JASON A		07/07/22	1853	RES	\$ 163,057	\$ 64,472	39.54
	MARTIN LEGACY HOLDINGS LLC	132197000	0.53	1153	IMP			
06973	MEEKS BEVERLY R	2323 MARTIN RD	10/14/22	1864	RES	\$ 77,238	\$ 25,916	33.55
	MARTIN LEGACY HOLDINGS LLC	972164010	0.31	719	IMP			
06920	MANCIA DANIEL A	3341 SUGAR MILL RD	10/20/22	1863	RES	\$ 189,636	\$ 105,721	55.75
	MARTIN LEGACY HOLDINGS LLC	160323000	0.36	1292	IMP			
07523	TERRY C MARK	427 BOY SCOUT RD	11/07/22	1866	RES	\$ 138,170	\$ 76,447	55.33
	MARTIN LEGACY HOLDINGS LLC	252031000	0.31	2271	IMP			
01819	RICHARDSON WILLIE	1139 MERRY ST	03/28/22	1834	RES	\$ 37,290	\$ 17,809	47.76
	MARTIN LEGACY HOLDINGS LLC	451322000	0.08	1871	IMP			
05238	MARSHAL YVONNE	2372 BERLIN DR	07/29/22	1853	RES	\$ 41,193	\$ 15,350	37.26
	MARTIN LEGACY HOLDINGS LLC	820436000	0.23	1380	IMP			
05608		802 MARY AVE	08/18/22	1855	RES	\$ 102,984	\$ 41,913	40.70
00000	MARTIN LEGACY HOLDINGS LLC	203151000	0.31	1180	IMP	ψ .σ <u>z</u> ,σσ .	ψ,σ.σ	
07409		3124 FIELDSTONE CIR	11/04/22	1866	RES	\$ 225,405	\$ 75,101	33.32
01 100	MARTIN MARIANNE B/MARTIN EVERETT B	60120000	0.29	194	IMP	ψ 220, 100	ψ / ο, ι ο ι	00.02
01011	WELDENAAR LINDSEY RAE		02/17/22	1830	RES	\$ 178,150	\$ 47,865	26.87
01011	MARTINEZ DAVID	110108000	0.50	1734	IMP	ψ 170,130	Ψ -1,005	20.07
04207						¢ 122 000	¢ 54 420	40.70
04287		2453 LESLIE CIR 973077000	07/01/22 0.31	1848 2059	RES IMP	\$ 133,020	\$ 54,136	40.70
04500	MARTINI ANTHONY E/MARTINI KAREN M					0.40.40=	ф c ¬	L
01509	TANKSLEY KIMBERLY JOY BRASWELL DELAUN		03/15/22	1832	RES	\$ 13,195		293 B
	MARVIN JOVANI BENAVIDES PINEDA	1080015000	1.16	1694	VAC	1	1 4	_00



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00263	GEORGIA-LINA PROPERTY GROUP LLC MARY PIXLEY	3008 PINEWOOD 851065000	01/19/22 0.32	1823 2151	RES IMP	\$ 147,873	\$ 46,667	31.56
02991	BLACKWELL CHARLES		01/14/22	1822	RES	\$ 7,423	\$ 1,400	18.86
	MASON DAVID	830146000	5.18	2072	VAC			
06633	SLADE ROY D	210 GARDNERS MILL RD	10/07/22	1862	RES	\$ 107,274	\$ 58,203	54.26
	MATHEWES DARLYNE GAIL/MATHEWES JOHN	171160000~20,O	0.24	37	IMP			
07881	THOMPSON MACKENZIE ELIZABETH MATHIS MATTHEW A/MATHIS MARGARET R	4019 CALYPSO DR 303090000	12/05/22 0.07	1868 1493	RES IMP	\$ 149,326	\$ 43,610	29.20
03182		2214 BRECKENBRIDGE AVE	05/25/22	1843	RES	\$ 115,252	\$ 48,394	41.99
03102	MATSON VICTORIA	573052000	0.30	1982	IMP	Ψ 113,232	ψ 40,394	41.33
04895	HUGHES JOSEPH W	2217 MONTCLAIR ST	07/21/22	1851	RES	\$ 154,475	\$ 43,295	28.03
	MATSON WILLIAM J	571187000~54	0.45	1381	IMP	<b>,</b> ,		
04713	JOHNSON-SHARP LAUREN A		07/15/22	1851	RES	\$ 158,766	\$ 58,335	36.74
	MATTHEW BIGELOW AND LAURA BIGELOW	1450144000	0.28	337	IMP			
05744	WEEKS EDWIN		08/31/22	1857	RES	\$ 133,020	\$ 59,484	44.72
	MATTHEWS WILLIAM B	70160000	0.24	1443	IMP			
06418	SCENIC LAND HOMES LLC		09/16/22	1859	RES	\$ 111,480	\$ 30,102	27.00
	MAURICE A SMITH	1070308000	0.32	1852	IMP			
06527	ROBERT ELTZROTH		10/06/22	1861	RES	\$ 304,660	\$ 115,684	37.97
	MAURICE PRESTON	2940073000	1.04	2212	IMP			
08372	CEYSSENS WOUTER	2306 GETZEN ST	12/28/22	1871	RES	\$ 64,365	\$ 20,178	31.35
	MAUTSCHKE ERIC D	974057000	0.33	11	IMP			
04245	JENNIFER SEARS		06/29/22	1848	RES	\$ 190,919	\$ 93,630	49.04
	MAXWELL ODUM	1831035000	0.26	1418	IMP			
06734	HAMM ZANETA	4521 FRANK WARREN DR	10/06/22	1862	RES	\$ 261,750	\$ 113,115	43.21
	MAYES HOYT	1663047000	0.24	1005	IMP			
04821	MASI MARY	609 CARLTON DR	07/12/22	1850	RES	\$ 211,116	\$ 90,780	43.00
	MAYES MATTHEW B	251261000	0.37	2621	IMP			
02819	SHOCKLEY LINDSEY E	2610 WOODBLUFF	04/29/22	1840	RES	\$ 239,458	\$ 80,983	33.82
	MAYS ANDREW S	180306000	0.14	1678	IMP			
07479	ABRAHAM GAJRAJSINGH	2033 TELFAIR	11/11/22	1866	RES	\$ 87,815	\$ 34,687	39.50
	MAZEN FAKHOURI	351124000	0.22	890	IMP			
00543	MARY STOKES AKA MARY E GANTT	2633 OAKLAND AVE	01/31/22	1825	RES	\$ 136,691	\$ 64,742	47.36
	MBTA LLC	332287000	0.43	2596	IMP			
01703	FUNSCH II ROBERT	2311 GETZEN ST	03/18/22	1832	RES	\$ 56,408	\$ 24,167	42.84
	MCADAMS MICHAEL ANTHONY	974078000	0.26	2609	IMP			
04268	KES DAY INC	3428 WINESAP WAY	06/30/22	1848	RES	\$ 62,648	\$ 24,519	39.14
	MCALLISTER MARCIA	1341098000~LOT 60, BLOCK I	0.23	2702	IMP			
04314	LOWRY EUGENE	2524 DRAYTON DR	07/06/22	1849	RES	\$ 100,409	\$ 25,229	25.13
	MCALLISTER MARCIA JENNIFER	940106000~19, A	0.27	410	IMP			
08367	MULLIGAN SABRINA D	2009 HATTON CT	12/30/22	1871	RES	\$ 208,370	\$ 80,070	38.43
	MCCANN TYLER CHASE	790017000	0.18	1309	IMP			
05588	JUDY ANN SHIPES	1338 FOLLOWING WELLS	08/04/22	1855	RES	\$ 77,238	\$ 31,042	40.19
	MCCHOSE INVESTMENTS LLC	290062000	0.27	1798	IMP			
00173	TUTT CLEO PRESTON	3958 SCOTT	01/22/22	1823	RES	\$ 43,272	\$ 10,080	23.29
	MCCLADDIE SHEILA/MCCLADDIE MITCHELL	510057000	0.45	955	VAC			
06950	WEEKS CASEY R MCCLARY CARLEE	114061000	11/01/22 0.04	1864 2266	RES IMP	\$ 141,602	\$ 43,370	30.63
05000		114001000				¢ 474 620	¢ 67 546	20.25
05880	DIAZ DAVYN MCCLURE ALLAN J	1644003000	08/08/22 0.29	1856 2588	RES IMP	\$ 171,639	\$ 67,546	39.35
03369	COOPER ZACH W	312 BROAD ST	05/31/22	1844	RES	\$ 273,367	\$ 71,559	26.18
00000	MCCLURE JACOB/MCCLURE BRITTANY	472178000	0.17	148	IMP	ψ 273,307	ψ 7 1,559	20.10
00139	D R HORTON INC	404 FURLOUGH	01/12/22	1823	RES	\$ 287,487	\$ 104,780	36.45
	MCCOY LAKESHIA S	800144000	0.19	15	IMP	φ 201,401	φ 104,700	30.43
00.00		000177000	0.13	10	HVIF			
		1966 KEN MILES DD	02/05/00	100/	DEC	¢ 200 070	¢ 440 400	1 27 00
	WORKMAN JR CHARLES L	4866 KEN MILES DR	03/25/22	1834 1656	RES	\$ 299,076	\$ 113,108	37.82
01795		4866 KEN MILES DR 1654031000 2232 LUMPKIN RD	03/25/22 0.28 01/25/22	1834 1656 1824	RES IMP COM	\$ 299,076 \$ 197,755		37.82



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00141	CARR VICKI L MCCRAY TORON	3005 SUNNYSLOPE CT 1180365000	01/14/22 0.38	1823 642	RES IMP	\$ 157,273	\$ 57,689	36.68
00471	HUGHES DAVID JENNINGS	3239 RAMSGATE	01/31/22	1825	RES	\$ 331,867	\$ 95,370	28.74
	MCCULLOUGH CLARIN/MCCULLOUGH	241059000	0.45	2297	IMP	7 22 1,221	, , , , ,	
02928	PRITCHARD PAMELA T	1717 FENWICK ST	05/11/22	1841	RES	\$ 85,271	\$ 34,229	40.14
	MCDOWMEY LACOURTNEY/MCDOWNEY	354177000	0.24	1475	IMP	, ,		
08601		3540 WHEELER RD			COM	\$ 62,494	\$ 24,933	39.90
	MCELREATH BENJAMIN F	310089000			IMP			
00481	K P AUTO MACHINE SHOP INC A GEORGIA	2228 MARTIN LUTHER KING JUNIOR BLVD	02/02/22	1825	COM	\$ 44,326	\$ 10,973	24.76
	MCGANN MORTON S	721134000	0.36	2647	IMP			
06359	BROWN PRICILLA	1044 PREP ST	09/22/22	1860	RES	\$ 66,081	\$ 16,724	25.31
	MCGHEE AMY/ENGLAND THOMAS	724248000	0.16	1000	IMP			
05945	THOMPSON ANDREA M	206 KITTS	09/02/22	1857	RES	\$ 150,184	\$ 43,870	29.21
	MCINTIRE LAETITIA ANN	303026000	0.06	2698	IMP			
07091	NGUYEN TAN	2215 RAMBLEWOOD DR	10/11/22	1863	RES	\$ 208,542	\$ 69,034	33.10
	MCINTOSH RICHARD	1430326000	0.35	1875	IMP			
07888	MAMER PATRICK J	2841 LOMBARDY CT	12/06/22	1868	RES	\$ 193,094	\$ 85,867	44.47
	MCKINNEY MEHGAN/PICKETT EVAN	432005000	0.11	1622	IMP			
02990	GREENE ROBERT	4908A OLD WAYNESBORO RD	04/18/22	1843	RES	\$ 15,567	\$ 8,878	57.03
	MCLENDON JANICE/MCLENDON TRAVIS	3360103000	2.28	2100	IMP	1	, ,,,	
01955	HAMMONDS CONSTANCE D		03/02/22	1835	RES	\$ 281.056	\$ 107.002	38.07
0.000	MCMICKENS SONISHA	1521082000	0.49	2120	IMP	\$ 20.,000	\$ 101,002	00.0.
00788	GAVIN VENTURES LLC	1878 BROWN ROAD	02/16/22	1828	RES	\$ 222,655	\$ 53,754	24.14
00100	MCPHEE AARON ALAN	2133005000	35.01	1391	IMP	<b>\$ 222,000</b>	\$ 55,751	
01343	SHIELDS JASON K	2.0000000	02/24/22	1831	RES	\$ 172,247	\$ 45,260	26.28
01040	MCRAE CHERYL	131133000	0.08	2330	IMP	ψ 172,247	ψ 43,200	20.20
00856	STEVEN RODRIGUEZ	131133000	02/22/22	1829	RES	\$ 155,364	\$ 53,733	34.59
00030	MEA HOLMES	1430576000	0.24	628	IMP	\$ 155,504	φ 55,7 55	34.38
00965	MACKIE KATHARINE	2330 KINGS WAY	02/16/22	1830	RES	\$ 539,706	\$ 187,825	34.80
00903	MEARS LINDSEY M/MEARS BRANDON G	441149000	1.01	182	IMP	\$ 339,700	\$ 107,023	34.00
00532	KENNEDY DEREK S	601 WINDSONG	02/01/22	1826	RES	\$ 43,901	¢ 22 261	50.71
00552	MEATTE GLADYS	60285000	0.09	1260	IMP	\$ 43,901	\$ 22,261	30.71
07045						¢ 252 240	¢ 02 244	20.55
07815	ENNIS DEBORAH COLEMAN	1104 BROOKSTONE 402425000	11/28/22 0.12	1867 2369	RES IMP	\$ 252,310	\$ 92,214	36.55
06702	MEEHAN ELIZABETH HADDEN GLENWOOD H JR	3232 WIMBLEDON	10/14/22		RES	¢ 00 500	¢ 26 622	44.05
06793	MELEAR PROPERTIES LLC	314047640	0.02	1862 1649	IMP	\$ 88,566	\$ 36,623	41.35
00000		314047640				# 224 OFF	£ 400.070	00.74
03869	DARR DANIEL G AND SARAH	2470024000	06/15/22	1847	RES IMP	\$ 334,955	\$ 122,978	36.71
00000	MELISSA BLACKWELL AND FREDERICK LEON	3170034000	1.25	278		# 000 0F0	<b>#</b> 00 040	00.46
00920	KERVIN PAUL WESS/TONYA DENISE	400040000	02/18/22	1829	RES	\$ 288,656	\$ 92,919	32.19
	MELISSA L PALFALVI	1980409000	0.52	862	IMP		<b>*</b> 4 000	
02964	ETHERIDGE SHARON	444000000	04/27/22	1841	RES	\$ 9,086	\$ 4,600	50.63
	MENDEZ-GONZALEZ RIGOBERTO	144008000	0.40	2205	VAC			
02767	DIXON JAMES R JR	936 BROAD ST	05/02/22	1840	RES	\$ 135,701	\$ 57,499	42.37
	MENK SARAH HOLLINGTON/MENK PETER	373268000~UNIT 415	0.02	146	IMP			
05684	PAIGE PATRICK		08/23/22	1856	RES	\$ 165,117	\$ 55,984	33.91
	MENNES ASHLEY N/STIEG FORREST N	140049000	0.14	709	IMP			
01351	BRUDVIK LISA A		03/14/22	1831	RES	\$ 175,450	\$ 47,094	26.84
	MERADI A PEREZ	121093000	0.12	2693	IMP			
02880	DUNSTAN DANIEL MILES	1834 JENKINS ST	05/10/22	1841	RES	\$ 44,919	\$ 25,924	57.71
	MERCIER ROBERT JONES	353299000	0.15	569	IMP			
02012	ESSIE D FEBUS NKA ESSIE DEL CARMEN	21 INNISBROOK	03/04/22	1836	RES	\$ 109,383	\$ 40,788	37.29
	MERRITT ZACHARIAH	162189000	0.08	121	IMP			
04125	BAC PROPERTIES LLC	2410 CENTRAL	06/24/22	1848	RES	\$ 152,919	\$ 80,658	52.75
	MERWIN IV JAMES T	441250000	0.21	895	IMP			
01816	SWEETING RACHEL GRACE	1599 TROUPE ST	03/09/22	1834	RES	\$ 196,074	\$ 68,518	34.94
	MERWIN IV JAMES T	572019000	0.30	1329	IMP			
07437	HODSON SANDRA J	2914 HENRY ST	11/08/22	1865	RES	\$ 205,967	\$ 102,9	
	MESSINA CATHERINE LOUISE/MESSINA DAVID	332365000~4	0.34	1687	IMP	1		295



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03768	JANET C STULB MICHAEL BERG AND SHARON E	437 FOREST HILLS 314047500	06/09/22 0.08	1846 538	RES IMP	\$ 190,256	\$ 60,371	31.73
03828	MAGNOLIA PROPERTY MANAGEMENT OF	1526 GLENN	06/13/22	1846	RES	\$ 95,875	\$ 37,140	38.74
03020	MICHAEL CHEEK AND BRIDGETTE CHEEK	432187010	0.19	1349	IMP	ψ 95,075	ψ 37,140	30.74
01634	MCCLELLAN ELTON G	432107010	03/23/22	1833	RES	\$ 14,043	\$ 5,520	39.31
01034	MICHAEL E WISE AND TERRI WISE AS JOINT	2330020000	2.00	2248	VAC	\$ 14,043	φ 3,320	39.31
02021		2330020000	03/31/22		RES	¢ 45 000	¢ c 400	40.49
02021	PENNIE ADAMS MICHAEL IMLER AND ROSENA COUNCIL AS	2810206000	0.74	1835 602	VAC	\$ 15,808	\$ 6,400	40.48
05465	KIRKLAND JANA BOLIN	2810206000				¢ 102 004	¢ 62 902	32.52
05165	MICHAEL P CHANIN JR	1980032000	08/12/22 0.46	1854 1749	RES IMP	\$ 193,094	\$ 62,803	32.52
02238		2027 WHARTON	0.46		RES	¢ 77 624	£ 10 021	25.67
02236	BERNICE HUNT SANDERS			1838 1635	IMP	\$ 77,634	\$ 19,931	25.67
20005	MICHAEL SCHWERDTFEGER AKA MICHAEL B	574234000	0.27	<u> </u>		0.00.504	<b>#</b> 40.070	00.00
02225	RICHARD MAKERSON JR	2017 WHARTON	04/21/22	1838	RES	\$ 68,501	\$ 19,379	28.29
	MICHAEL SCHWERDTFETER AKA MICHAEL B	574247000	0.35	2383	IMP		•	
04922	DOLAN CHARLES A	1002 KATHERINE	07/29/22	1853	RES	\$ 407,693	\$ 125,790	30.85
	MICHAEL SHELTON AND PATRICIA M	343139080	0.19	11	IMP			
03767	HART LINDA DIANE		06/08/22	1845	RES	\$ 135,707	\$ 51,496	37.95
	MICHAEL T DENNIS	111007000	0.25	2341	IMP			
04361	WARREN WAYNE WHITE		06/30/22	1848	RES	\$ 151,901	\$ 54,472	35.86
	MICHAEL WAYNE BADKE JR	1400251000	0.34	2599	IMP			
05855	SCOTT HALL	423 FOREST HILLS	08/26/22	1856	RES	\$ 141,602	\$ 43,234	30.53
	MICHELLE SALDANA AND JOHN DICKERSON	314047430	0.03	2740	IMP			
03626	SOUTH END BUILDERS DEVELOPERS LLC	4375 SEAGO RD	06/03/22	1844	RES	\$ 251,088	\$ 83,494	33.25
	MICKENS BRANDON TREMAINE	2540063000	1.38	2304	IMP			
05771	JD INVESTORS LLC	2534 WINDERMERE DR	08/24/22	1856	RES	\$ 124,438	\$ 47,558	38.22
	MIDDLETON CAROLINE/JONES PHOEBE	1180076000~LOT 18, BL. D, SECTION I,	0.24	1157	IMP			
03958	MAAOUIA CARLA		06/16/22	1847	RES	\$ 169,064	\$ 47,435	28.06
	MIGUEL JOSE/PEREZ DE MIGUEL FLOR DE	981010000	5.18	86	IMP			
04973	FRANKIE LEE HESTER	809 SCOTT NIXON MEMO	07/29/22	1852	RES	\$ 34,328	\$ 13,502	39.33
	MIL 312 LLC	220007000	0.46	1387	IMP			
04109	RHODE CHRISTINE DELORIS BELL	2365 TRAVIS PINES DR	06/15/22	1848	RES	\$ 52,201	\$ 27,290	52.28
	MILES CHARNDA	1540105000	0.44	778	IMP			
06183	BEARD RONNIE	2375 BOYKIN RD	09/15/22	1859	RES	\$ 130,875	\$ 34,649	26.47
	MILES JR JAMES H	1660011050~LOT 5	0.43	2182	IMP	1	, , , , ,	
02678	BPREP SFR OWNER LLC	1713 TAMARIND WAY	05/04/22	1840	RES	\$ 176,105	\$ 59,279	33.66
020.0	MILLAGE LAURINDA	1830099000	0.25	1442	IMP	<b>\$</b> ,	\$ 55,275	00.00
00403	PRIDE LOYCE	2977 GALAHAD WAY	01/25/22	1825	RES	\$ 274,706	\$ 106,156	38.64
00403	MILLER CURTIS LEVON	531052000	0.35	564	IMP	ψ 274,700	ψ 100,130	30.04
04828	ANDERSON CRAIG	331032000	0.55	1852	RES	\$ 219,698	¢ 67 621	30.78
04020	MILLER LATOYA	60165000	5.18	422	IMP	\$ 219,090	\$ 67,621	30.76
00004	SMITH WOODNEY G	00103000				¢ 40.252	¢ 20 627	44.00
00231		1001007000	01/20/22	1824	RES	\$ 49,252	\$ 20,627	41.88
	MILLINES RACQUEL	1094097000	0.25	49	IMP	<b>*</b> ====	<b>*</b> • • • • • • • • • • • • • • • • • • •	
03303	ANDREWS WILLIAM M	19 ROCKBROOK	05/17/22	1843	RES	\$ 793,752	\$ 217,866	27.45
	MIMBS JAMES WILBUR/SMITH MARY	254194000	0.63	1037	IMP			
00949	MARCKINI AMBERLY		02/16/22	1828	RES	\$ 155,647	\$ 46,454	29.85
	MINCEY FREDERICO	1320516000	0.23	1955	IMP			
01384	O'CONNELL WINSTON J	1637 EMMA ST	03/01/22	1831	RES	\$ 143,028	\$ 49,967	34.94
	MINNIER LEE	303348000	0.05	566	IMP			
03827	LEONARD FRAKELIA	3412 THAMES PL	05/31/22	1846	RES	\$ 220,458	\$ 84,098	38.15
	MINOR GRADY/MINOR HOLLIE T	1431035000~LOT 67, BLOCK B, SECTION	0.33	2498	IMP			
01304	STONE MATTHEW A	1015 ROSLAND CIR	02/24/22	1831	RES	\$ 292,025	\$ 105,747	36.21
	MIREA ALYSSA/MIREA MIRCEA	790063000~LOT 13, BLK B, PH 2-A,	0.17	690	IMP			
04900	WILLIAMS PAUL HOWARD JR ROFS/AND		07/18/22	1851	RES	\$ 180,135	\$ 65,101	36.14
	MISTY DAWN HASTY	1672067000	0.22	1821	IMP			
06405	FREEMAN JEREMIAH D		09/20/22	1859	RES	\$ 268,186	\$ 90,318	33.68
	MITCHELL BECKMAN	43061000	0.29	2659	IMP			
05711	BRAWNER RONALD	2017 RESERVE LN	08/15/22	1856	RES	\$ 156,621	\$ 64,6	
	· ·	_ <del></del>	1	1	IMP	,,,,,,		296



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05158	DAVIS BRIAN K MOBLEY RONALD GUY	1606 CREEK RUN RD 1520444000	08/10/22 0.28	1854 1556	RES IMP	\$ 162,199	\$ 57,617	35.52
05186	SANTOS MARIA E	3433 JONATHAN CIR	08/02/22	1854	RES	\$ 54,066	\$ 32,713	60.51
	MOCK BERNARD	1341010000	0.24	361	IMP			
06503	MANICCIA BENJAMIN LEO	2322 NEAL ST	09/23/22	1860	RES	\$ 121,864	\$ 39,290	32.24
	MOEGENBURG PHILLIP M/BRADY CAROL	974089000	0.26	2429	IMP			
05979	LAMB JAMES W MOMIN AZIM	2032 OHIO 562029000	08/11/22	1858 98	RES IMP	\$ 105,792	\$ 38,142	36.05
05380	WILSON TERRENCE	3020 BREEZE HILL	07/14/22	1853	RES	\$ 171,639	\$ 69,688	40.60
00000	MONROE EDNA	950412000	0.27	1799	IMP	ψ 17 1,059	\$ 09,000	40.00
01649	ATABEKOV KANAT	3216 WAVERLY LN	03/14/22	1833	RES	\$ 278,267	\$ 106,494	38.27
01043	MONTEJO COTE	653104000	0.18	1997	IMP	Ψ 270,207	ψ 100,454	00.27
06982	CRW HOLDINGS LLC	2615 GLENN HILLS	10/05/22	1864	RES	\$ 58,357	\$ 20,938	35.88
	MONTIEL PROPERTY MANAGEMENT LLC	962158000	0.23	2556	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	<b>V</b> ==,,	
02638	MORGANFIELD WILLIAM	4735 LAUREL OAK DR	04/21/22	1840	RES	\$ 135,175	\$ 55.240	40.87
	MORANT NORMA	1794129000~LOT 39 BLOCK B SEC 6	0.20	697	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	<b>,</b> , , , , ,	
01488	SHELTON JR HAROLD L	3861 CREST DR	03/04/22	1831	RES	\$ 142,673	\$ 48,507	34.00
	MORANT NORMA	1400506000	0.99	2052	IMP			
07946	THOMAS ALEXANDRIA C	116 GREYSON	12/09/22	1869	RES	\$ 218,840	\$ 89,616	40.95
	MORGAN N FRIES	653293000	0.19	479	IMP			
01245	PRITRIJ MANAGEMENT LLC	3910 CAROLYN	03/02/22	1830	RES	\$ 30,487	\$ 12,000	39.36
	MORONICA DENISE JACKSON CARTER	520115000	0.46	1145	VAC			
02510	STEBBINS III CHARLES C	1217 PEACHTREE	04/20/22	1838	RES	\$ 399,475	\$ 180,506	45.19
	MORRIS CHRISTOPHER L/MORRIS DORN S	334071000	0.42	670	IMP			
02995	FOGARTY VIRGINIA D	241 ELLIS	04/21/22	1842	RES	\$ 246,602	\$ 77,925	31.60
	MORROW MARLON S/BURLEY NANDELE K	472193000	0.12	432	IMP			
04280	WILSON JANICE A	4102 MICHAEL PL	06/29/22	1848	RES	\$ 201,861	\$ 66,744	33.06
	MORSE TAYLOR Z	1530099000	0.62	1553	IMP			
06804	CATHY M SIMPKINS AND MAURICE R	3431 TOMS	10/14/22	1862	RES	\$ 156,621	\$ 52,836	33.73
	MOSES J JONES	950283000	0.30	1705	IMP			
02309	WELCHER MICHAEL S	1904 LOBELIA LN	04/12/22	1836	RES	\$ 193,291	\$ 59,443	30.75
	MOSS T-KEYAH	1830091000	0.18	2277	IMP			
07378	MUCHA SUSAN POLONUS	508 BERCKMANS	10/18/22	1865	RES	\$ 510,541	\$ 220,862	43.26
07500	MOSTOFI JAMES E	252117040	0.84	2150	IMP	<b>0.110.000</b>	<b>#</b> 44 040	07.45
07522	BAGWELL BRADLEY JACKSON	121 WARREN RD	11/18/22	1866	RES	\$ 119,289	\$ 44,310	37.15
05272	MOTTA BYRON ROGELIO RECINOS	110105000~2, D	0.50	2205	IMP	£ 40.704	¢ c 400	46.64
05372	JONES AMON LEE MOUNTAIN DANNIE	1210061000	07/19/22 0.22	1853 2644	RES VAC	\$ 13,731	\$ 6,400	46.61
05373	JONES AMON LEE	121001000	07/19/22	1853	RES	\$ 13,731	\$ 6,400	46.61
00070	MOUNTAIN DANNIE	1210062000	0.30	2098	VAC	ψ 13,731	\$ 0,400	40.01
02857	ITS YOUR WEEK LLC A GEORGIA LIMITED	2436 CAMELOT	03/18/22	1840	RES	\$ 549,974	\$ 162,046	29.46
	MP WASHINGTON LLC	192145000	0.79	2144	IMP		, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
07226	SHIN HUI HYON	1731 HICKS, 1824 WATKINS	10/27/22	1864	RES	\$ 158,766	\$ 69,787	43.96
	MSP BETTER NEIGHBORS LLC	352387000,354153000	0.17	320	IMP	<b>,</b>		
04750	SCOTT MARTHA K		07/22/22	1851	RES	\$ 171,639	\$ 54,902	31.99
	MUELLER DEBRA	3380076000	7.20	2197	IMP			
08354	MONEY INVESTMENTS LLC	2910 DAHLIA DR	12/28/22	1870	RES	\$ 93,972	\$ 26,943	28.67
	MUELLER MARCO THOMAS	1190162000	0.27	2622	IMP			
07097	JOHNSON III JAMES FRANKLIN	1313 BUENA VISTA RD	11/02/22	1865	RES	\$ 643,561	\$ 217,985	33.87
	MULLER MORGAN MILANO/MULLER BENJAMIN	431051000~LOT 16, FOREST HILLS	0.31	615	IMP			
05168	REX AUGUSTA LLC A GEORGIA LIMITED	248 BROAD	07/29/22	1853	RES	\$ 1,115,655	\$ 517,945	46.43
	MULLER ROY E	472220000	0.69	937	IMP			
02448	STREET JOSEPH M		04/15/22	1837	RES	\$ 14,689	\$ 5,146	35.03
	MUNK BILL	3050042000	1.36	851	VAC			
02447	STREET JAY K	1005 MCNUTT WAY	04/15/22	1837	RES	\$ 14,689	\$ 5,251	35.75
	MUNK BILL	3050041000	1.47	848	VAC			
08107	AKRIDGE BOBBI N M	2125 GATEWOOD CT	12/12/22	1869	RES	\$ 126,155		307
	MURPHY ASHLAN	864175000	0.46	1963	IMP	1	1 1 2	297



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02376	ANDREWS ETHAN W MURPHY JONATHAN W/MURPHY BROOK	606 NORWICH RD 242020000	03/22/22 0.47	1837 323	RES IMP	\$ 355,114	\$ 149,456	42.09
08627	STOKES GERRIE LYNN	1743 TAMARIND WAY	12/20/22	1877	RES	\$ 123,108	\$ 61,356	49.84
	MW CAPITAL PROPERTIES LLC	1831044000	0.17	1592	IMP	<b>V</b> 1.23,133	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
05894	SMITH SCOTT L	3109 EDINBURGH DR	08/12/22	1857	RES	\$ 212,404	\$ 84,307	39.69
00001	MYERS EMMA LOUISE	242063000	0.33	575	IMP	Ψ 2 12, 10 1	ψ 0 1,007	00.00
07203	CALHOUN SHERI S	1734 GOSHEN RD	08/05/22	1863	RES	\$ 145,893	\$ 57,997	39.75
01203	MYERS HOUSE BUYERS LLC	1980114000	0.38	2685	IMP	ψ 143,093	ψ 57,997	33.73
04071	MOODY PETER D	2526 MEADOWBROOK DR	06/21/22	1847	RES	\$ 61,781	\$ 24,948	40.38
04071	MYRICK MIA/STAPLETON DIONNE	1200059000	0.24	1296	IMP	\$01,701	ψ 24,940	40.50
01001	MOORE ROY	.25555555	03/01/22	1830	RES	\$ 117,283	\$ 43,153	36.79
01001	MYRNA MARGARITA GARCIA AND JESUS	1180086000	0.22	1050	IMP	ψ 117,200	ψ 40,100	00.73
00693	HARRIS HENRY T/THOMAS DIANNE	110000000	02/08/22	1827	RES	\$ 9,701	\$ 5,200	53.60
00093		1080264000	0.26	500	VAC	\$ 9,701	\$ 5,200	33.00
00740	NADINE R PULLING					<b>₾ 040 777</b>	£ 400 000	20.00
02743	SALAS BRANDON J	1305 HIGHLAND	05/02/22	1840	RES	\$ 343,777	\$ 103,200	30.02
0.45.40	NALLEY JAMES H/NALLEY MALLORY T	432024000	0.21	912		<b>#</b> 474 000	Ø 50 400	04.04
04548	DYSON SHEILA MARIE SIMMONS	3608 CRAWFORDVILLE	07/13/22	1850	RES	\$ 171,639	\$ 58,426	34.04
	NAM H VUONG	530275000	0.37	1505	IMP			
02158	BELLA ESTATES LLC		04/15/22	1837	RES	\$ 128,438	\$ 40,338	31.41
	NANIK RAM	122158000	0.04	2270	IMP			
00162	FA PROPERTIES LLC	1321 HOLDEN ST	01/18/22	1823	RES	\$ 263,424	\$ 72,434	27.50
	NANJI ALISHAN/NANJI ROHAID	453175000	0.18	1208	IMP			
01870	FIELD LYNN	1612 FAIRWOOD DR	03/21/22	1834	RES	\$ 151,918	\$ 45,903	30.22
	NANJI ROHAID SALIM	414166000~LOT 4, BLK C, SEC 3, FOREST	0.24	385	IMP			
02922	MONTGOMERY BRIAN P	5002 COPSE DR	05/12/22	1841	RES	\$ 263,838	\$ 111,375	42.21
	NASER DANIELLE C/SHAW VIVEK M	640116000~LOT 33 BL A PHASE III	0.19	1620	IMP			
00251	JOHN C MORGAN AND LORI M BURKHEAD	542 HIGHLAND	01/18/22	1823	RES	\$ 115,926	\$ 32,415	27.96
	NATALIE LYNN FIELDS	332214000	0.16	2001	IMP			
03935	JOHN C HAITHCOCK SR		06/14/22	1846	RES	\$ 330,904	\$ 107,928	32.62
	NATHANIEL JOHNSON	2940104000	1.19	1566	IMP			
04185	SHELL RAYMOND B	2911 FERNWOOD DR	06/24/22	1848	RES	\$ 81,978	\$ 41,063	50.09
	NATION JODY/NATION SHERRI	1102063000	0.25	329	IMP			
08604		3166 WRIGHTSBORO RD			СОМ	\$ 436,055	\$ 128,045	29.36
	NATIONAL RETAIL PROPERTIES LP	422002030	0.82		IMP			
07557	COVIN JOHNUEL	3015 OLD KARLEEN ROAD	11/18/22	1866	RES	\$ 12,873	\$ 6,408	49.78
	NAVARRO LOUIS R/NAVARRO MARY CLEM	1390004020	4.84	2606	VAC			
07359		4402 BOULINEAU RD	11/14/22	1866	RES	\$ 38,619	\$ 24,152	62.54
	NAVARRO LOUIS R/NAVARRO MARY CLEM	2450004060	2.12	588	IMP	, , , , ,	<b>V</b> = 1,10=	
05900	VARGAS DIALMARYS VELEZ	3629 MEADOWGROVE DR	08/25/22	1856	RES	\$ 124,438	\$ 46.822	37.63
00000	NAZARIO ALVIN A/BAUTISTA BRIANNA	1070228000	0.27	2479	IMP	ψ 12 1, 100	ψ 10,022	07.00
04647	BECK CHRISTINE		07/08/22	1850	RES	\$ 139,028	\$ 44,142	31.75
04047	NAZARIO ELIUDITH/RAMOS EDWIN E	122251000	0.04	194	IMP	ψ 139,020	ψ 44,142	31.73
05026	CHAWLA DHRUV	2032 EMERALD BAY DR	07/29/22	1852	RES	\$ 137,311	¢ 45 241	33.02
05026		122164000	0.04	2324	IMP	\$ 137,311	\$ 45,341	33.02
05000	NEGRON BRENDA LIZ					£ 00 040	£ 4.4.000	47.00
05008	COLLIER REALTY HOLDINGS LLC	2132 LUMPKIN RD	07/25/22	1852	RES	\$ 82,816	\$ 14,320	17.29
	NEK RESTAURANT HOLDINGS LLC	1101027000	1.01	875	VAC			
06301	O'GRADY THOMAS	904 HORSESHOE RD	09/27/22	1860	RES	\$ 15,448	\$ 6,671	43.18
	NELSON MICHAEL STEVEN/NELSON TARA	2810044000	1.27	2070	IMP			
01088	FISCHER JOHN A	22 DOMINION WAY	02/28/22	1830	RES	\$ 120,863	\$ 32,909	27.23
	NESBITT CHRISTOPHER RASHUN	173027000	0.04	809	IMP			
03785	WEAVER JOHN C	1801 HARCOURT DR	06/08/22	1846	RES	\$ 156,632	\$ 62,862	40.13
	NEVILLE JACOB	2130142000	0.46	347	IMP			
06587	ODOM ALLEN	1704 APPLE VALLEY RD	10/04/22	1861	RES	\$ 53,637	\$ 25,261	47.10
	NEWELL GARY	1233097000	0.23	1177	IMP			
05974	HENSLEY GWEN T	2247 BRIDGETON RD	09/09/22	1858	RES	\$ 130,875	\$ 44,846	34.27
	NFR REAL ESTATE HOLDINGS LLC	83064000~LOT 4, BRIDGETON	0.08	869	IMP			
05760	JONES ERNEST B	1337 APACHE TRL	08/24/22	1857	RES	\$ 196,527	\$ 80,7	В
00100						1		298



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03227	WISE KRISTI NGUYEN MYPHUC	1918 KRISTI WAY 1524062000	05/17/22 0.37	1843 380	RES IMP	\$ 218,750	\$ 85,232	38.96
00636	JARED CHARLES TAU AND SARAH KATHRYN NICHOLAS A NEWSOME	1524 STOVALL 443226000	02/10/22 0.14	1827 1728	RES IMP	\$ 203,382	\$ 59,462	29.24
05023	RIENKS MONICA ELIZABETH		07/29/22	1852	RES	\$ 274,537	\$ 99,568	36.27
07007	NICHOLAS GRANT HAYDEN	2110064000	1.01	1861	IMP	<b>*</b> 040 074	<b># 00 440</b>	04.00
07267	JOSEPH WILSON AND JILL FRANCISCO NICHOLAS ZELLER AND CARLY ZELLER	3106 GOOLSBY RD 2660002030	10/26/22 10.00	1864 1010	RES IMP	\$ 316,674	\$ 98,416	31.08
00484	LANE GUY F SR/LANE GUYNETTE V NICHOLS HOLDINGS LLC	1980010210	02/04/22 0.17	1825 2712	RES IMP	\$ 85,643	\$ 33,605	39.24
03338	RAMSEY ANN M NEWTON	3407 KERRY	05/20/22	1843	RES	\$ 360,651	\$ 94,337	26.16
03424	NICOLAS J ANDERSON AND JENNIFER L DEVINY MESORANA	321076000 3660 CRAWFORDVILLE	0.38	1348 1844	IMP RES	\$ 208,994	¢ 60 063	33.00
03424	NICOLE ARRAZOLO	530249000	05/31/22	895	IMP	\$ 208,994	\$ 68,963	33.00
03298	MARY R JAMES	4715 BILLIE J	05/24/22	1843	RES	\$ 302,496	\$ 107,746	35.62
00200	NICOLE D LEVALLE	664093000	0.30	1788	IMP	Ψ 002, 100	Ψ 107,7 10	00.02
01784	BAUMERT OSCAR JACOB III AND CAPRICE A		03/28/22	1834	RES	\$ 127,718	\$ 35,402	27.72
	NICOLE MITCHELL	1332014000	0.31	2455	IMP			
01933	AUBREY CLIFTON AND	2704 DEVEREUX	03/31/22	1835	RES	\$ 177,608	\$ 69,045	38.87
	NIDIA C GOMEZ	532090000	0.15	661	IMP			
00785	HERIN WILLIAM P NLT INVESTMENT GROUP LLC	503 SHEFFIELD 251103000	01/13/22 0.39	1828 772	RES IMP	\$ 156,506	\$ 75,728	48.39
08511	BLAIR STEVEN D AND WANIKA L	201100000	12/15/22	1872	RES	\$ 248,791	\$ 98,772	39.70
00011	NOBLE SEAN REGINALD WILSON	671046000	0.34	1821	IMP	Ψ 240,731	Ψ 30,772	05.70
01635	KEVIN BOZADA	2409 WRIGHTSBORO	03/21/22	1833	RES	\$ 126,598	\$ 46,737	36.92
01000	NOLAN GRAF	443039000	0.17	1443	IMP	Ψ 120,000	ψ 10,7 07	00.02
01086	STEVEN JOHN CASE AND COREY LEE CASE	6002 CLIFFORD	02/25/22	1829	RES	\$ 330,051	\$ 124,747	37.80
	NOLAN REED AND TRACY L REED JTWROS	653174000	0.28	1866	IMP	,		
03331	FERNANDEZ MICHAEL	`2523 CROSSCREEK RD	05/25/22	1843	RES	\$ 150,715	\$ 41,954	27.84
	NORDHOLM BENJAMINE ELROY/NORDHOLM	1300005000	0.25	2183	IMP			
02597	FYFB LLC	2145 BAYVALE	04/25/22	1839	RES	\$ 86,468	\$ 33,107	38.29
	NORMAN E STUART AND LOCKSLEY ANTHONY	554111000	0.30	796	IMP			
00064	FYFB LLC	2339 WALDEN	01/07/22	1822	RES	\$ 144,315	\$ 36,970	25.62
	NORMAN E STUART AND LOCKSLEY ANTHONY	564087030	0.13	591	IMP			
03631	BERSACH MANUEL S	2215 PLEASANT DR	06/07/22	1845	RES	\$ 209,439	\$ 64,176	30.64
	NORMAN SANDRA L	100255000	0.17	1540	IMP			
05550	KEY SR JESSE L NORRIS JULIANA	2110015000	08/16/22 7.29	1855 62	RES IMP	\$ 205,109	\$ 90,933	44.33
02242	BARBARA CLEERE		04/22/22	1838	RES	\$ 132,320	\$ 38,956	29.44
· ·-	NU LIFE DEVELOPMENTS LLC	972218000	5.18	1661	IMP	ψ .02,020	φ σσ,σσσ	
01779	C N PROPERTIES LIMITED LLC	2604 MEADOWBROOK DR	03/25/22	1834	RES	\$ 9,346	\$ 4,600	49.22
	NUNNALLY'S INVESTMENT LLC	1200042000	0.27	1544	VAC			
02478	CAMERON MILLS		04/14/22	1837	RES	\$ 183,771	\$ 63,477	34.54
	NYKIA GOLFF	1422019000	0.33	1342	IMP			
02118	RAYBURN WILLIAM STUART AND HEATHER O'SHEA RITA CATHERINE	3139 SWITZER 324067040	04/12/22 0.18	1837 2000	RES IMP	\$ 179,484	\$ 42,118	23.47
05619	COOK JOSHUA E	021001010	07/28/22	1855	RES	\$ 194,725	\$ 69,367	35.62
	ODIOR SAMSON	2140270000	0.80	1664	IMP			
04351	HOLIMON GRETTA P	2703 BOARS HEAD RD	06/21/22	1849	RES	\$ 293,765	\$ 121,978	41.52
	OKORAFOR EMMANUEL	60248000	0.35	1919	IMP			
04159	DAVIS DIANA L	2642 COVENTRY DR	06/21/22	1847	RES	\$ 205,073	\$ 67,565	32.95
	OLIVE GROVE PROPERTY LLC	184210000	0.01	2217	IMP	*		
00407	THOMAS KEENAN M OLIVIA JENKINS	122085000	01/26/22 0.20	1824 1707	RES IMP	\$ 220,569	\$ 66,662	30.22
05594	AMMAR TAHAR	2618 BERKSHIRE	08/04/22	1855	RES	\$ 253,168	\$ 61,186	24.17
JJJJ#4	OLMSTEAD PROPERTIES GEORGIA LLC	184121000	0.01	2101	IMP	φ 203, 108	φ 01,100	24.17
01665	ANTONIO MENTIS		03/21/22	1833	RES	\$ 150,042	\$ 53,0	<u></u>
	OPHILA H MERCER	1300093000	0.25	1878	IMP	1		299



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02835	BUSSEY PAMELA E OPLULENCE PROPERTIES LLC	962162000	05/05/22 5.18	1840 2538	RES IMP	\$ 84,817	\$ 36,504	43.04
06041	PASCHAL TONY D	1433 PERRY	09/02/22	1859	RES	\$ 78.954	\$ 19,360	24.52
00041		463444000	0.13	114	IMP	\$ 76,954	\$ 19,360	24.52
00400	OPORE FRANCIS/ROBINSON ANDREW	403444000	11/22/22		RES	¢ 454 200	\$ 51,330	33.25
08433	MCINTOSH CHRISTOPHER	4000454000	1	1870	IMP	\$ 154,389	\$ 51,330	33.25
07074	ORTA-FOWLER II BEATRIZ/FOWLER DARREN L		0.64	1486		<b>#</b> 445 000	A 00 575	07.40
07274	AHMADI ZIA A	1586 GOSHEN RD	10/24/22	1865	RES	\$ 145,893	\$ 39,575	27.13
	ORTIZ BALTAZAR D	1990091000~UNIT B, BLDG 1586,	0.15	569	IMP	0.000	<b>*</b> 4 000	
06399	VERNON JOHNSON	00404000	09/16/22	1859	RES	\$ 3,433	\$ 1,600	46.61
	OUTSIDE THE BOX INVESTORS LLC	604010000	0.17	1885	VAC			
07537	TIBIWINSTON LTD		11/15/22	1866	RES	\$ 10,298	\$ 1,600	15.54
	OUTSIDE THE BOX INVESTORS LLC	612149000	0.32	1259	VAC			
02604	USRY TERRY W	1940 ROBERSON RD	04/21/22	1838	RES	\$ 47,494	\$ 16,380	34.49
	OWENS THERESIA/OWENS JOSEPH	1222194000	0.21	2713	IMP			
06210	POWELL THOMAS S	2239 BAYVALE	09/12/22	1860	RES	\$ 94,402	\$ 50,285	53.27
	PALMER RYAN WILLIAM	692025000	0.30	2065	IMP			
05040	ARAKA L WALKER AND NATHANIEL S WALKER	1011 REDBIRD	07/29/22	1853	RES	\$ 157,050	\$ 58,609	37.32
	PAMELA B RASCON	203057000	0.46	136	IMP			
04431	MILTON BENNINGS		07/07/22	1849	RES	\$ 72,947	\$ 29,453	40.38
	PAMELA DYCHES	982240000	5.18	1100	IMP	<b>*</b> · =, · · ·	<b>V</b> =3, .33	
05992	LEWIS JONATHAN DALE/CARA ROFS	112 AZALEA	09/02/22	1857	RES	\$ 254,884	\$ 83.107	32.61
03332	PAMELA L MATHIS	271010000	0.26	2157	IMP	ψ 254,004	ψ 03,107	32.01
02055		27 10 10000	_			¢ 424 074	¢ 47 coc	25.27
03855	ROUSE DAVID TYREL/STEWART DEBORAH	4000005000	06/14/22	1846	RES	\$ 134,974	\$ 47,606	35.27
	PAMELA S CHINNERY	1222265000	0.26	1547	IMP			
02756	NUSRAT FAHEEM	3214 ALPINE	04/20/22	1840	RES	\$ 131,635	\$ 35,111	26.67
	PARKS AMANDA JON	421017000	0.29	9	IMP			
07674	AME OLDE TOWN LLC	201 BROAD ST	11/22/22	1867	RES	\$ 158,766	\$ 62,907	39.62
	PARR ENDEAVOURS LP	472108000	0.12	1069	IMP			
05838	JOHNSON BRYAN	532 ELLISON WAY	08/31/22	1857	RES	\$ 167,348	\$ 56,915	34.01
	PATEL CHIRAG G	121069000	0.14	630	IMP			
00490	GURU PROPERTIES LLC	2003 RIVIERA DR	01/28/22	1826	RES	\$ 146,809	\$ 38,233	26.04
	PATEL KALPESH/PATEL HIRAL	122204000	0.04	604	IMP			
04077	LITTLE MEGAN E		06/27/22	1848	RES	\$ 203,092	\$ 72,401	35.65
	PATEL PAYALBEN/PATEL VIRENDRAKUMAR	100093000	0.34	978	IMP			
06401	DAVE SUJAL K		09/02/22	1860	RES	\$ 150,184	\$ 53,373	35.54
	PATEL SUKETU	121070000	0.10	772	IMP	, , , ,	, , , .	
05043	MICHAEL FOX LUCAS PETERSON		08/03/22	1853	RES	\$ 47,201	\$ 18,734	39.69
00040	PATRICK MURPHY	120160000	0.11	478	IMP	ψ 47,201	ψ 10,754	00.00
05460	KOEHLER VICTOR A	2549 WALTON WAY	08/16/22	1855	RES	\$ 194,810	¢ 72 009	37.01
03460			0.04	2391	IMP	\$ 194,610	\$ 72,098	37.01
	PATTERSON JEAN	343068020~UNIT A3, COLONIAL COURT				0.07.740	A = 0=0	
80900	WEW PROPERTIES II LLC	1538 MAPLE ST	01/14/22	1826	RES	\$ 27,713	\$ 7,670	27.68
	PATTERSON LANISHA EVANS	594144000	0.13	1807	IMP			
00226	SMITH DAVID E	1547 CENTURION	01/17/22	1823	AGR	\$ 90,816	\$ 20,177	22.22
	PATTERSON SHAUNA/BAILEY RUSSELL/HAYES	2330003010~LT 35 BLK A	24.91	1774	VAC			
06775	BOONE CHIVON J	5190 COPSE	10/12/22	1862	RES	\$ 266,041	\$ 106,717	40.11
	PAUL L HORNE AND RONNIE E HORNE	653311000	0.23	1753	IMP			
02823	NORWOOD 2907 LLC	2907 NORWOOD	05/05/22	1840	RES	\$ 169,635	\$ 51,812	30.54
	PAULETTE FREEMAN	530109000	0.36	2280	IMP			
02449	GINA K FLAKES KENNETH D FLAKES THOMAS	1266 MARKS CHURCH	04/20/22	1838	RES	\$ 226,704	\$ 55,388	24.43
	PAULINE WATERMAN	313146000	0.29	2085	IMP			
07088	CARLISLE INVESTMENT PROPERTIES LLC A	2068 WALTON WAY, UNIT 203	10/31/22	1864	RES	\$ 128,729	\$ 41,474	32.22
	PAWS FARMS LLC A GEORGIA LIMITED	353446000	0.03	1626	IMP		,,	
07170		2068 WALTON	10/31/22	1864	RES	\$ 257,459	\$ 100,916	39.20
01110		353440000,353442000	0.06	1620	IMP	φ 257,459	ψ 100,916	J9.20
0005:	PAWS FARMS LLC A GEORGIA LIMITED					Ø 500 100	# 040 to	05.1-
00051	PAGE III EDWIN MAGRUDER	3212 WHEELER RD	01/05/22	1821	RES	\$ 598,109	\$ 210,493	35.19
	PAYNE DORT BARTLEY	244035000	2.20	1045	IMP			
08415	CARTER MILDRED L		12/30/22	1871	RES	\$ 137,311	\$ 44,6	300 B
	PAYNE ROY	83052000	0.05	481	IMP	I		300



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
08610	PCS NITROGEN FERTILIZER LP	1408 COLUMBIA NITROGEN DR 760015000	9.35		COM	\$ 1,814,345	\$ 586,582	32.33
07218	DUPREE KAFILAT	1843 JENKINS ST	10/31/22	1864	RES	\$ 55,783	\$ 24,956	44.74
	PEARCY BRIAN SCOTT	353294000	0.11	2189	IMP			
05454	MOORE DORETHA J	2008 EWART CT	08/05/22	1854	RES	\$ 102,984	\$ 46,618	45.27
	PEARSON RENTAL PROPERTIES (INC )	1300800000~LOT 10, BLK A, AMBERLAKE	0.27	2575	IMP			
02643	RUSH ENTERPRISES LLC	FLEMING DR	04/20/22	1840	RES	\$ 86,842	\$ 28,188	32.46
	PEARSON RENTAL PROPERTIES INC	1101009000~LOT 1, BLK E, NEW	0.30	81	IMP			
03392	BOWMAN FRANCES L		05/26/22	1844	RES	\$ 93,892	\$ 39,092	41.64
	PECIII PROPERTIES LLC	1190310000	0.23	478	IMP			
00687	STEFFES CHRISTINA	1028 EUSTIS DR	01/26/22	1826	RES	\$ 171,553	\$ 59,678	34.79
	PECKHAM JONATHAN MARK	203062000~SEE LEGAL REEL 182P.2243	0.49	1971	IMP			
01858	ARID LLC	2423 APRICOT LN	03/22/22	1833	RES	\$ 173,341	\$ 59,094	34.09
	PEEBLES EDITH M	192075000	0.32	2332	IMP			
00818	TAYLOR MELANIE	2008 HATTON CT	02/16/22	1828	RES	\$ 260,119	\$ 96,550	37.12
	PENTON EBONY	790029000	0.20	832	IMP			
01320	COLEMAN BARRY LERENZA	3648 JAMAICA DR	02/25/22	1831	RES	\$ 200,901	\$ 66,766	33.23
	PEREZ FRANKLIN H	313134000~LOT 24, BLK J, SEC 2-E,	0.38	736	IMP	1	,,	
01217	SWARTZ JESSICA	5220 ARUBA	02/25/22	1829	RES	\$ 150,197	\$ 52,256	34.79
01211	PEREZ JENNIFER J C/CRUZ CYNTHIA PEREZ	402413000	0.10	2687	IMP	ψ 100,101	ψ 02,200	0 1
00042	WONG MING-CHAU	3071 WHEELER RD	01/07/22	1821	RES	\$ 248,818	\$ 73,874	29.69
00042	PEREZ SHAVIER A	253028000~26, C	0.38	2304	IMP	ψ 240,010	ψ 73,074	23.03
03475	JETT LIGHTSEY LAFFITTE	422 WAVERLY DR	06/01/22	1844	RES	\$ 361,227	\$ 124,110	34.36
03473	PERKINSON DAVID BAYLESS/PERKINSON	240104000~29, H	0.38	1715	IMP	\$ 301,227	\$ 124,110	34.30
00000		,				<b>₽ 200 054</b>	£ 400 004	40.00
06833	TREMBLE JESSIE L	2669 NEW HOPE CIR	10/18/22	1863	RES	\$ 308,951	\$ 132,391	42.85
	PERRY DONALD R/PERRY SUSIE A	2940100000	1.00	1244	IMP	<b>^</b> ==		
06044	COOPER JR CHARLES H	2128 BAYVALE RD	09/09/22	1859	RES	\$ 77,238	\$ 31,127	40.30
	PERSTIN MICHAEL	554098000~LOT 73 BAYVALE PARK	0.28	578	IMP			
04829	R R PROPERTY MGT LLC AUGUSTA GA		06/24/22	1851	RES	\$ 60,405	\$ 22,617	37.44
	PERSTIN MICHAEL	1091041000	0.36	2539	IMP			
06042	COOPER CHARLES H JR ROFS	1192 BENNOCK MILL RD	09/09/22	1859	RES	\$ 72,947	\$ 20,210	27.71
	PERSTIN MICHAEL	2340032000~LOT 6, PINEHURST	0.36	561	IMP			
08498	BUCHHOLZ MURIEL M		12/14/22	1872	RES	\$ 750,922	\$ 252,055	33.57
	PETER J MARTINEZ AND DIANA B MARTINEZ	312003000	1.02	1377	IMP			
00381	ALLMOND MICHAEL SHERMAN		01/28/22	1825	RES	\$ 254,470	\$ 85,039	33.42
	PETER JACKSON AND EASTER M JACKSON AS	1650160000	0.62	1239	IMP			
00097	MW CAPITAL PROPERTIES LLC	2425 CAMELOT	01/12/22	1822	RES	\$ 272,617	\$ 105,235	38.60
	PETER JOHN LARSON	192056000	0.37	2323	IMP			
03680	WERRICK GINA MARIE	3258 SUMMERCHASE	05/23/22	1844	RES	\$ 152,759	\$ 56,945	37.28
	PETERSON MAX	424152000	0.19	1089	IMP			
05044	O'BRIGHT JASON M	4085 PEACH ORCHARD RD	07/15/22	1853	AGR	\$ 168,661	\$ 57,898	34.33
	PETRY ELIZABETH	2110002000, 2110047010~TRCT B, TRCT	2.22	525	IMP			
02057	RASCAL ENTERPRISES INC	1502 KERON WAY	01/24/22	1836	RES	\$ 9,721	\$ 4,020	41.36
	PEYTON QUANESHA M	3360139000~LOT 4, BLOCK A, SECTION I,	0.76	1908	VAC			
02531	CRAWFORD RICHARD L	4354 BATH EDIE RD	04/27/22	1839	RES	\$ 193,671	\$ 105,852	54.66
	PEZELY ELIZABETH L	2690001050	1.38	453	IMP			
04865	WILLIAMS JR KENNETH	4144 PULLMAN CIR	07/11/22	1850	RES	\$ 290,070	\$ 119,730	41.28
	PHIDD RIAN	790116000	0.22	2766	IMP			
06641	JAMIE BROWN FKA JAMIE MCGAHEE	2005 VIRGINIA	08/25/22	1861	RES	\$ 51,492	\$ 18,998	36.90
	PHILLIP MICHAEL PIERCE	984099000	0.31	2792	IMP			
	HOUSEY JASMINE J	3120 SCENIC DR	10/27/22	1866	RES	\$ 49,003	\$ 28,304	57.76
07428	I IOOGE I JASIVIINE J	l .	0.32	209	IMP	,.,.		
07428	PHILLIPS BENJAMIN	554030000	0.32			i .		
	PHILLIPS BENJAMIN			1856	RES	\$ 201.676	\$ 73.577	36.48
	PHILLIPS BENJAMIN WILLIAM REID GOOD	554030000 2213 WOODLAND 572004000	08/29/22	1856 2122	RES IMP	\$ 201,676	\$ 73,577	36.48
05851	PHILLIPS BENJAMIN WILLIAM REID GOOD PICHI WELSH	2213 WOODLAND	08/29/22 0.26	2122	IMP			
07428 05851 03518	PHILLIPS BENJAMIN WILLIAM REID GOOD PICHI WELSH EMAC GROUP INC	2213 WOODLAND 572004000	08/29/22 0.26 06/06/22	2122 1845	IMP RES	\$ 201,676 \$ 48,241	\$ 73,577 \$ 22,130	36.48 45.87
05851	PHILLIPS BENJAMIN WILLIAM REID GOOD PICHI WELSH	2213 WOODLAND	08/29/22 0.26	2122	IMP			



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08370	CLARK BENJAMIN	2804 WYNDHAM DR	12/22/22	1871	RES	\$ 188,803	\$ 65,141	34.50
	PITTS JEREL	1661030000~LOT 2, BLK F,	0.21	1128	IMP			
01305	BRAHIER SEBASTIAN SCOTT	3102 CAWLEY CT	03/02/22	1831	RES	\$ 160,059	\$ 57,420	35.87
	PLEW CAROLINA/PLEW STEPHEN	333226000~LOT 1, CAWLEY PLACE	0.08	615	IMP			
06133	SHAW PETER J	1005 BERTRAM ROAD EXT	09/07/22	1858	RES	\$ 171,553	\$ 52,039	30.33
	PLOOSTER SKYLER DALE	74038000	0.08	1071	IMP			
01449	GRAHAM MICHAEL A AND THERESA G	2915 KINGS VIEW	03/10/22	1831	RES	\$ 141,964	\$ 57,296	40.36
	PMD56 LLC	520323000	0.39	1339	IMP			
00415	BRIAN M JAMES	1575 FENWICK	01/24/22	1824	RES	\$ 58,913	\$ 26,600	45.15
	POCOTALIGO INVESTORS LLC	354292000	0.07	1756	IMP			
01704	JOHN W OSBON	501 BEAUFORT	03/18/22	1833	RES	\$ 115,166	\$ 34,036	29.55
	POCOTALIGO INVESTORS LLC	351163000	0.22	204	IMP			
04363	BECK JASON		06/23/22	1849	RES	\$ 121,783	\$ 44,846	36.82
	PON KRISTEN/PON JASON	83065000	0.07	888	IMP	<b>,</b> ,_,,,,,	,	
06716	SPINELLO CHAD C		09/27/22	1862	RES	\$ 186,229	\$ 56.588	30.39
007 10	POOLE TRISTAN L	1770052000	0.36	710	IMP	ψ 100,223	ψ 50,500	00.00
07387	COELLO RYAN J	8041 CRAWLEY ST	11/07/22	1865	RES	\$ 227,336	¢ 06 005	37.93
0/36/						\$ 227,330	\$ 86,235	37.93
	PORRAS RUBEN L/PORRAS ASHLEY M	640091000	0.20	1473	IMP			
05700	GONDER JACQUELINE	915 HOPKINS ST	08/26/22	1856	RES	\$ 87,176	\$ 53,663	61.56
	POSH PADS LLC	464463000	0.07	1843	IMP			
00004	AEF INVESTMENT PROPERTIES LLC		01/03/22	1821	RES	\$ 144,821	\$ 50,871	35.13
	POWERS SHANNON M	1290654000	0.36	453	IMP			
07476	DIANNE MAULDIN PITTMAN	2291 OVERTON	11/10/22	1866	RES	\$ 270,332	\$ 97,988	36.25
	PRANEETH KUDARAVALLI AND ELIZABETH A	262187000	0.62	791	IMP			
03401	KLEMENT PATRICK J	2549 WALTON WAY, APT B2	05/27/22	1844	RES	\$ 138,500	\$ 54,151	39.10
	PRATHER ROBERT CHASE	343068050	0.04	1	IMP			
04447	101 GOOD INVESTMENTS LLC	1519 HEATH	06/29/22	1848	RES	\$ 245,424	\$ 100,503	40.95
	PRENTICE K EDWARDS AND ERIC K	443180000	0.16	2285	IMP		' '	
02045	ORTIZ MARITZA		03/17/22	1836	RES	\$ 164,660	\$ 57,690	35.04
02010	PREWITT NETTIE R	  1400493000	0.52	173	IMP	ψ 10 1,000	ψ 07,000	00.01
00527	BARBARA JOAN LEE STENSTROM BY ERIKA	1301 ANTHONY RD	02/07/22	1826	RES	\$ 339,798	\$ 134,403	39.55
00327			0.12	767	IMP	φ 339,790	\$ 134,403	39.55
0.150.1	PRUITT ELLEN NEAL	441190000~B		-		<b>*</b> 405.000	<b>A.</b> 50.070	
01531	SIPLIN ELIZABETH VANESSA		03/14/22	1832	RES	\$ 165,923	\$ 53,270	32.11
	PRYOR DWIGHT/PRYOR FELECIA	1300834000	0.32	298	IMP			
03305	BYRD CECILIA L		05/24/22	1843	RES	\$ 133,013	\$ 33,640	25.29
	PUCKETT DEBORAH E	1980010280	0.19	1061	IMP			
02661	ROBERTSON THELMA	4526 LOGANS	04/27/22	1839	RES	\$ 248,415	\$ 93,839	37.78
	PULLING NADINE R	662238000	0.26	2783	IMP			
04375	GEORGE THURMOND AND ANNETTE	2018 M L KING JR	07/01/22	1849	RES	\$ 94,402	\$ 33,831	35.84
	PYE INVESTMENTS LLC	722022000	0.17	660	IMP			
02399	ROSE III CHARLES E	1324 HICKMAN	04/12/22	1837	RES	\$ 207,005	\$ 86,388	41.73
	PYOR JESSICA TORRES/PRYOR MICHELS	444150000	0.32	675	IMP			l
00563	ALSTON DARREN	2906 PEACH ORCHARD RD	02/14/22	1827	СОМ	\$ 375,117	\$ 90,960	24.25
00000	QING YUN LLC A GEORGIA LIMITED LIABILITY	1101094000	0.65	1152	IMP	\$ 575,	<b>\$</b> \$25,000	0
04639	JESSICA M WEBER	3317 CUSHENDAL	07/14/22	1850	RES	\$ 163,057	\$ 55,767	34.20
04039	QUANSHENG DU AND JIANGYAN TAN JTWROS		0.08	1852	IMP	\$ 103,037	\$ 33,767	34.20
07007		332110000	12/09/22			\$ 300.798	£ 400 000	40.00
07967	MUJADIDI ADAM S	405404000		1869	RES	\$ 300,798	\$ 129,333	43.00
	QUEEN E MORGAN	1951013000	0.21	634	IMP			
07054	BEVERLY L MITCHELL ET AL		11/03/22	1865	RES	\$ 158,766	\$ 49,190	30.98
	QUENEDA DANIELLE LANE	1400270000	0.42	269	IMP			
04469	DYLAN LAZAR		07/13/22	1850	RES	\$ 25,746	\$ 5,412	21.02
04403	OUTNITING LIEATU DILLINGUAM	2240055000	2.46	1219	VAC			
	QUENTIN HEATH DILLINGHAM		12/30/22	1871	RES	\$ 180,221	\$ 79,115	43.90
08401	FRAZIER CHRISTOPHER M		12/30/22	1071			+,	
		954048000	0.25	245	IMP			
08401	FRAZIER CHRISTOPHER M	954048000		1		\$ 158.185		32.09
08401	FRAZIER CHRISTOPHER M QUINTIN JOHNSON JOSHUA D AUSTIN		0.25 06/10/22	245 1846	IMP RES	\$ 158,185	\$ 50,758	32.09
	FRAZIER CHRISTOPHER M QUINTIN JOHNSON	954048000 70168000	0.25	245	IMP	\$ 158,185 \$ 352,245	\$ 50,758	32.09



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04322	PETRILLI CARL E RACHELS BRYAN S	5052 COPSE 640180000	07/01/22 0.29	1849 229	RES IMP	\$ 283,205	\$ 110,623	39.06
00013	GOOLSBY HORACE G	3421 WALTON WAY	01/03/22	1820	RES	\$ 424,330	\$ 122.669	28.91
000.0	RADEMAN BROC/RADEMAN JESSICA ERYN	310029000~8	0.90	2197	IMP	ψ .2 .,000	ψ : <u>=</u> =,000	20.0.
07771	JULIA A LEWIS		12/05/22	1868	RES	\$ 20,597	\$ 8,903	43.23
01111	RAFAEL GERALDO GONZALEZ	1660041000	0.46	937	IMP	Ψ 20,007	ψ 0,000	10.20
05934	LAUREN CARLIE AND KEVIN CARLIE	3015 BROCKHAM	09/09/22	1858	RES	\$ 170,781	\$ 69,892	40.92
03334	RAFAEL LOPEZ	403118000	0.10	734	IMP	φ 170,761	φ 09,092	40.92
00819	PANTSARI MATTHEW WILLIAM	736 RAVENEL RD	02/15/22	1827	RES	\$ 694,475	\$ 263,114	37.89
	RAINSFORD JR BETTIS	240143000~31, B	0.47	2313	IMP	<b>,</b> ,	<b>V</b> =33,	
06441	KING DAVID J ROFS/STEPHANIE K		09/23/22	1860	RES	\$ 147,610	\$ 40,740	27.60
	RAMONA PAUL-THOMPSON	114063000	0.04	1863	IMP			
02197	CUMMINGS A RENEE	2770 HUNTCLIFFE	03/29/22	1838	RES	\$ 260,809	\$ 108,682	41.67
	RAMOS ADRIAN D	653069000	0.14	450	IMP	<b>+</b> ===,===	* *********	
06944	SCHEELER JOHNATHAN	3318 QUAKER SPRING CT	10/28/22	1864	RES	\$ 239,437	\$ 67,633	28.25
00544	RAMOS ALEXANDER	160220000~9, C	0.37	864	IMP	Ψ 200,407	Ψ 07,000	20.20
05256	POTTER THOMAS	5301 COPSE DR	08/01/22	1853	RES	\$ 253,168	\$ 107,179	42.34
03230		653264000	0.19	1389	IMP	ψ 255,100	Ψ 107,179	42.54
05564	RAMSEY EVANS RHODES RANDAL	3423 COVINGTON CT	08/12/22	1855	RES	¢ 242 242	\$ 110.680	35.33
05564	RAMSEY REGINA/PHILLIPPS WILLIAM	533097000	0.26	1040	IMP	\$ 313,242	\$ 110,680	35.33
02570	GERMANN DAVID R	2438 NORTON DR	04/20/22	1839	RES	\$ 123,408	\$ 39,722	32.19
02370	RANKIN ELEANOR E/RANKIN JOHN G	973206260	0.29	70	IMP	\$ 123,400	\$ 59,722	32.19
08600	RAINTIN ELEANOR E/RAINTIN JOHN G	1236 AUGUSTA WEST PKWY	0.29	70	COM	\$ 145,001	\$ 50,473	34.81
00000	RASP INVESTMENTS LLC	300223000	0.13		IMP	ψ 143,001	ψ 50,475	34.01
07536	HOBBS DANIEL B ROFS/MCBRIDE MARIN	2322 GETZEN	11/15/22	1866	RES	\$ 139,028	\$ 48,594	34.95
07556	RAVEN RENEE ROBINSON	974065000	0.27	1278	IMP	\$ 139,020	φ 40,594	34.93
00455	MASTERS CHARLES L	48 CHASTE TREE	01/31/22	1825	RES	\$ 117,164	\$ 39,048	33.33
00433	REAL HOME SOLUTIONS LLC	162159000	0.06	1519	IMP	\$ 117,104	\$ 59,048	33.33
00435	MASTERS CHRISTOPHER T	63 MONTEBELLO	01/31/22	1825	RES	\$ 117,164	\$ 40,204	34.31
00433	REAL HOME SOLUTIONS LLC	162166000	0.07	1511	IMP	\$ 117,104	\$ 40,204	34.31
00150	MOTLEY RODNEY	102100000	01/18/22	1824	RES	¢ 250 246	\$ 139,460	39.82
00150	REAVES DARRYL	1803016000	0.19	605	IMP	\$ 350,246	\$ 139,460	39.02
00420	DIXON TAYLOR N/JENNIFER WALTZ ROFS	1803010000	12/30/22			£ 450.766	f 52 200	22.57
08430	REBECCA FAIRCLOTH	411022000	0.26	1871 1006	RES IMP	\$ 158,766	\$ 53,298	33.57
06043	BRIDGES SUSAN	411022000	08/29/22	1859	RES	¢ 177 647	¢ 52 000	30.39
00043		314153000	0.04	118	IMP	\$ 177,647	\$ 53,988	30.39
06006	REDEL CHRISTINE ANN/REDEL KALINDA	314133000				£ 400 425	₾ EC 40C	24.26
06826	UNRUH INVESTMENTS LLC	1200426000	09/30/22	1862 2358	RES IMP	\$ 180,135	\$ 56,486	31.36
00400	REDUS DANIELLE B	1290436000	0.25			<b>↑</b> 007 404	£ 07 047	00.47
00180	DESBROW MARY A	1716 GOSHEN RD 1980105000	01/19/22	1823	RES IMP	\$ 237,484	\$ 67,617	28.47
00.404	REED BURTON LEON/REED PANDORA L		0.40	1191		<b>*</b> 404 400	D 45 740	00.70
08431	RUSSELLO KAITLIN	4243 JAMES DR	12/30/22	1871	RES	\$ 124,438	\$ 45,740	36.76
	REED JOURNEY LYNN	1660005080	0.47	479	IMP	<b>*</b> • • • • • • • • • • • • • • • • • • •	A == 100	
05593	DIAZ SAMUEL SALGADO	2913 AYLESBURY	08/04/22	1855	RES	\$ 211,974	\$ 95,496	45.05
	REESE MARCUS J	531116000	0.09	2084	IMP			
01021	FRAZIER JANET	2918 RASHA	02/25/22	1829	RES	\$ 110,017	\$ 43,996	39.99
	REGA HOLDINGS LLC	950442000	0.30	1859	IMP			
00056	FRAZIER JANET	2906 RASHA	01/07/22	1822	RES	\$ 109,480	\$ 46,308	42.30
	REGA HOLDINGS LLC	950448000	0.34	437	IMP			
02380	KEITH NORRIS	945 BEMAN	04/18/22	1838	RES	\$ 128,199	\$ 40,291	31.43
	REGGIE FICKLIN	452014000	0.20	369	IMP			
06602	ALYCIA D JENKINS	3135 BELLEMEADE	10/07/22	1862	RES	\$ 100,409	\$ 37,546	37.39
	REGINA ELIZABETH ROLLAND	842182000	0.29	247	IMP			
05153	DENISIUK JOHN	704 RIVERFRONT	07/29/22	1854	RES	\$ 273,765	\$ 99,288	36.27
	REGINA SANDERS HOWARD A/K/A REGINA	620025000	0.08	269	IMP			
01438	GUNNS KENNETTA R		03/14/22	1832	RES	\$ 202,805	\$ 63,994	31.55
	REID CLEVE/REID MONIQUE	1420027000	0.37	932	IMP			
05753	CECELINE MULDROW		08/26/22	1856	RES	\$ 60,074	\$ 31,3	5
	RENITA R FLAKES	1222323000	0.26	2723	IMP		i [ :	303



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00392	IDRIS S SHAKUR AND CHRYSTAL A SHAKUR RENT BOSS LLC	2984 CLARKSTON 533007000	01/31/22 0.26	1825 1312	RES IMP	\$ 153,289	\$ 86,910	56.70
07785	JOHNSON JR VERNON B	3107 DEANS BRIDGE RD	11/28/22	1867	СОМ	\$ 253,552	\$ 70,747	27.90
	RERAY PROPERTIES LLC	962205000	0.29	1532	IMP	,		
05552	BARTON CHAPEL DENTAL GROUP LLC	2755 BARTON CHAPEL RD	08/11/22	1855	СОМ	\$ 287,667	\$ 99,158	34.47
	RERAY PROPERTIES LLC	1070834000~TRCT A	0.27	50	IMP			
04003	MILES AMANDA LYNN	4664 WINDSOR SPRING RD	06/16/22	1847	RES	\$ 13,038	\$ 7,000	53.69
	REYES KARINA L/GONZALEZ SANCHEZ	2090056000	0.52	1221	VAC			
06563	DILLON JAMES J	1859 BARTON DR	09/30/22	1861	RES	\$ 186,658	\$ 59,494	31.87
	REYNOLDS CODY	1450148000	0.28	1094	IMP			
01205	THIGPEN MELINDA COLEMAN	2473 MCDOWELL ST	02/25/22	1830	RES	\$ 196,118	\$ 86,821	44.27
	REYNOLDS GERALD D/REYNOLDS REBECCA H	441023000	0.25	865	IMP			
02227	BRUCE A CLIATT	928 MEIGS	04/25/22	1838	RES	\$ 382,280	\$ 131,980	34.52
	RHODES VENTURES LLC	442046000	0.22	2345	IMP			
06906	AAL-AZEEZ EHAB Q		10/17/22	1863	RES	\$ 95,946	\$ 41,762	43.53
	RHONDA ANN RAWLINGS	80033000	0.04	1	IMP			
00124	BUGGELN SHIVAUN		01/17/22	1823	RES	\$ 108,613	\$ 23,529	21.66
	RHONDA R DECOSTA	120177000	0.11	568	IMP			
01073	CHRISTOPHER BOWLES		03/07/22	1831	RES	\$ 128,087	\$ 50,444	39.38
	RICARDO MACK	1331149000	0.15	103	IMP	<b>V</b> 1.23,551		
03650	SOUTHFUND PARTNERS III	2213 NORTH LEG	05/19/22	1845	СОМ	\$ 130,963	\$ 38,880	29.69
00000	RICH DENNIS E	690013100	4.85	1545	IMP	<b>\$</b> 100,000	φ σσ,σσσ	20.00
04434	JEANETTA RAY LINGLE		06/30/22	1848	RES	\$ 158,766	\$ 56,984	35.89
04404	RICHARD AARON AYALA AND SABRINA AYALA	1990042000	0.18	2360	IMP	ψ 150,760	Ψ 50,504	00.00
00828	LUSTER STEPHEN M AND ASPASIA L	10000 12000	02/15/22	1828	RES	\$ 144,682	\$ 41,892	28.95
00020	RICHARD ALLEN BASS	114113000	0.04	459	IMP	ψ 144,002	ψ 41,092	20.93
05255	JACK D STEELE	114113000	08/04/22	1853	RES	\$ 120,147	\$ 46,682	38.85
03233	RICHARD ALLEN OWENS	1700093000	0.33	2234	IMP	\$ 120,147	φ 40,082	30.03
00601	MING F LIN	1700033000	02/09/22	1827	RES	\$ 150,238	\$ 50,067	33.33
00001	RICHARD BERNARD WILCOX JR	1300663000	0.29	408	IMP	\$ 130,236	\$ 50,007	33.33
00989	GRANT KODY	1300003000	03/04/22	1830	RES	\$ 209,254	¢ 65 624	31.37
00909	RICHARD CABRERA-CICERO JR	2700155000	0.72	1498	IMP	\$ 209,254	\$ 65,634	31.37
04464	SEPULVADO SHARON KAY VALLERY	2315 WHEELESS	07/08/22			¢ 62 944	¢ 24 F04	20.52
04461		703002000	2.48	1850 549	COM	\$ 63,844	\$ 24,594	38.52
02553	RICHARD FRERICHS  CARTER ERIC L AND BRIDGETTE P ROFS	703002000	04/25/22		RES	¢ 105 601	¢ 70 422	40.50
02553		1640200000	0.35	1839 626	IMP	\$ 195,691	\$ 79,422	40.59
00450	RICHARD J BAME					£ 407 400	<b>₱ 00 004</b>	00.40
00153	ABDIEL VELEZ GONZALEZ AND CLAUDIA R	1413 RIDGEWOOD	01/18/22	1823	RES	\$ 137,138	\$ 36,281	26.46
00400	RICHARD JOSEPH DOMBROSKI III AND JOHN D	412169000	0.19	1155	IMP	# 044 070	Ø 00 400	07.40
03133	MATTHEW C CAMPUZANO AND LINDSEY A	7004 40000	05/17/22	1843	RES	\$ 241,072	\$ 89,438	37.10
00000	RICHARD LOUIS HERNANDEZ III AND	780143000	5.18	63	IMP	<b>#</b> 404 540	<b>#</b> 05 405	00.00
02239	STANSELL LEE D AND AMY R	4000047000	04/20/22	1838	RES	\$ 131,543	\$ 35,485	26.98
	RICHARD M THEOBALD JR AND ANGELA J	1320017000	0.23	2278	IMP	<b>A</b> =0 0=0	<b>***</b>	
08366	MONTING Y GARY/NKA PATRICIA MONTING Y	501 MILLEDGE RD	12/15/22	1871	RES	\$ 70,372	\$ 25,124	35.70
	RICHARDS ROBERT	342017220	0.09	1306	IMP			
01834	JACKSON LENARD L	4505 ETTERLEE RD	03/21/22	1834	RES	\$ 23,444	\$ 6,275	26.77
	RICHARDSON DARRYL	1750002110	2.73	176	VAC			
04471	STEPHENS EMMA CAROLINE	1729 OAK	06/16/22	1850	RES	\$ 147,768	\$ 46,942	31.77
	RICHARDSON HAYLEE	574025000	0.21	92	IMP			
07626	MARTIN WILSON JR	4046 MADISON	10/26/22	1866	RES	\$ 374,173	\$ 144,156	38.53
	RICHARDSON RENTHIA/RICHARDSON	534070000	0.88	1503	IMP			
03363	ROBERTS JOYCE	4325 WOODVALLEY PL	05/26/22	1844	RES	\$ 109,392	\$ 38,256	34.97
	RICHARDSON RITA/RICHARDSON JEFFREY A	1670498000	0.37	115	IMP			
08483	SIMS PHEBEE VUN	3890 MURRAY ST	12/27/22	1872	RES	\$ 30,037	\$ 10,080	33.56
	RILEY SHELIA	660001000~LOT 8, BLK B, SEC 1, BELAIR	0.46	359	VAC			
04293	CLAYTON ANTHONY	5261 COPSE	06/23/22	1848	RES	\$ 231,474	\$ 93,255	40.29
	RILEY TAYLOR W	653274000	0.19	1303	IMP			
06045	JOYCE TOOLE PROPERTIES INC		09/07/22	1859	RES	\$ 103,413		5
	1	1104073000	0.26	143	IMP	I	i '	304



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03138	HOBBS JR R HAROLD RIVERA SHARON ALEITHA	303 ALEX LN 122027000	05/18/22 0.06	1842 2110	RES IMP	\$ 156,915	\$ 52,038	33.16
07284	LOTT III JOHN H	1231 SANDE HILL PLACE	11/02/22	1864	RES	\$ 121,006	\$ 48,873	40.39
01201	RIXE OLIVIER	324099280~UN 5A	0.08	2719	IMP	ψ 121,000	ψ 10,070	10.00
03577	BARSTOOL AUGUSTA LLC	02 1000200 011 0/1	06/03/22	1845	RES	\$ 175,893	\$ 39,030	22.19
05511	RJF STUDENT PROPERTIES INC	134217000	0.28	1319	VAC	ψ 175,095	ψ 39,030	22.13
01.450	QUALAWASH HOLDINGS LLC	1601 MARVIN GRIFFIN RD	03/03/22		COM	\$ 340.013	¢ 05 042	27.95
01453	RNK DEVELOPMENT LLC	1340003010	3.53	1831 1592	IMP	\$ 340,013	\$ 95,042	27.95
04440		3024 WILLIS FOREMAN RD				¢ 005 007	¢ 55 070	00.00
04418	ELEANOR L SIMPKINS	1500008000	07/07/22 10.02	1849 1687	RES IMP	\$ 205,967	\$ 55,373	26.88
04454	ROBERT BOWMAN					£ 404 600	Ф 74 FC4	00.77
04151	TYLER P DEVINE	3004 STARBOARD	06/21/22	1847	RES	\$ 194,603	\$ 71,564	36.77
	ROBERT J HITE AND DARCEE CLAIR HITE	520371000	0.33	1540	IMP			
01328	NELLO A THOMAS AND IVY D THOMAS		03/11/22	1831	RES	\$ 127,662	\$ 44,355	34.74
	ROBERT LOGAN FERRARO	1700128000	0.30	2470	IMP			
07478	WHITLEY CHRISTOPHER LEE ROFS/KALEE	725 HICKMAN	11/10/22	1866	RES	\$ 240,295	\$ 119,502	49.73
	ROBERT MCCALL BARNES	353011000	0.29	467	IMP			
02038	MAURICE D WOODS AND DARSHELL WOODS	2806 HUNTCLIFFE	04/01/22	1835	RES	\$ 264,793	\$ 111,242	42.01
	ROBERTO ACOSTA JR	654164000	0.13	1057	IMP			
08470	SMITH BRANDON A		12/08/22	1871	RES	\$ 188,803	\$ 66,158	35.04
	ROBERTO CHRISTIANE M/SAYLOR-ROBERTO	2490002010	1.59	1996	IMP			
04582	KLEINBUB MATTHEW T	3133 SWITZER	07/06/22	1849	RES	\$ 177,647	\$ 43,565	24.52
	ROBERTS CAROLYN D	324067010	0.15	2239	IMP	, , , , , , , , , , , , , , , , , , , ,	, ,,,,,,,,	
05933	JACOBSON WILLIAM KETCHAM	3005 VASSAR DRIVE	09/06/22	1858	RES	\$ 579,282	\$ 226,291	39.06
00000	ROBERTS GUY B/ROBERTS HELENE W	253066000~17,18,19	0.62	789	IMP	\$ 0.0,202	Ψ 220,20 .	00.00
04688	NICHOLSON JAMES C	3125 WALTON WAY	07/20/22	1851	RES	\$ 343,278	\$ 149,832	43.65
04000		322117000	0.87	1397	IMP	φ 343,276	\$ 149,632	43.00
0.4050	ROBERTS JULIAN H					<b>*</b> 440 744	<b>#</b> 440.007	05.50
04259	JOHNSON JR ROBERT H	2347 WALTON WAY	06/30/22	1848	RES	\$ 418,714	\$ 148,627	35.50
	ROBERTS LISA NEWMAN	344065000	0.46	1787	IMP			
08130	ATKINSON BILL		12/08/22	1869	RES	\$ 12,873	\$ 3,920	30.45
	ROBERTSON RHONDA	1092101010	0.42	137	VAC			
07426	MANESS JAMES F	2017 CANDADA DR	10/28/22	1866	RES	\$ 77,152	\$ 37,921	49.15
	ROBINS NEST HOME SERVICES LLC	1221053000	0.34	42	IMP			
07516	CATAMOUNT PROPERTIES 2018 LLC		11/14/22	1866	RES	\$ 221,415	\$ 93,226	42.10
	ROBINSON DONNELL D/ROBINSON CRYSTAL	2320199000	0.41	1555	IMP			
02762	D R HORTON INC	568 POST OAK	04/29/22	1840	RES	\$ 362,117	\$ 149,920	41.40
	ROBINSON GINA Y	653406000	0.19	35	VAC			
04780	LASCHKEWITSCH SCOTT	4525 LOGANS WAY	07/15/22	1851	RES	\$ 227,336	\$ 80,515	35.42
	ROBINSON JARVIE D	662247000	0.28	1678	IMP			
08519	TROUPE MICHAEL L JR/LAUREN /ANGELICA		12/28/22	1873	RES	\$ 379,323	\$ 169,204	44.61
	ROBINSON-WILSON OCTAVIA L	1521053000	0.28	950	IMP	\$ 0.0,020	ψ .00,20 .	
06836	ADAMS DOROTHY C	2511 WALTON WAY	10/21/22	1863	RES	\$ 986,925	\$ 290,482	29.43
00000	ROCHE KATHLEEN F/ROCHE SEAN M	343061020	0.98	1289	IMP	ψ 900,923	Ψ 230,402	23.40
04400						£ 450 000	₾ 54 000	20.54
01180	STEPHANIE SHEPARD	1911 ROCK SPRINGS	02/28/22	1830	RES	\$ 159,369	\$ 51,866	32.54
	ROCHELLE MCCULLOUGH	423053000	0.38	514	IMP			
00646	JOHNSON CALEB MICHAEL	3216 HILLSVIEW DR	02/04/22	1826	RES	\$ 175,179	\$ 43,894	25.06
	ROCKY POND LLC	520312000	0.37	2685	IMP			
05148	STEVENS BARBARA A	3013 OLD LODGE RD	08/02/22	1853	RES	\$ 257,459	\$ 94,989	36.89
	RODD BRITTANY R/RODD DONALD A	2710054000~LOT 7, BLK A, SPREAD OAK	1.19	1861	IMP			
01489	KALYNN WALKER SHEPHERD AND	3929 CAROLYN	03/10/22	1831	RES	\$ 459,018	\$ 150,620	32.81
	RODERICK ERNEST RILEY AND LESLEY D	520144000	0.46	1514	IMP			
01463	SIKES DANIEL B	2903 RIDGEVIEW	03/16/22	1832	RES	\$ 139,372	\$ 54,489	39.10
	RODRIGUEZ CARLOS/RODRIGUEZ MARINA	390164000	0.28	1412	IMP			
03921	BODDIFORD MCQUE	3021 HUMMINGBIRD LN	06/16/22	1846	RES	\$ 7,823	\$ 3,128	39.98
	RODRIGUEZ DONNA	1091176000	0.28	2691	VAC	ψ 1,0 <u>2</u> 0	\$ 5,120	55.50
04325	CROSBY HEATHER R			1848		¢ 101 267	¢ 20 224	29.85
∪ <del>4</del> 3∠3		2720025000	06/30/22	1	RES IMP	\$ 101,267	\$ 30,231	29.00
00701	RODRIGUEZ-SOBRADO MICHELLE	2720025000	0.23	1700		0.4.0.0==	0.10.0	
00704	MOODY SARA P AND THOMAS W		02/10/22	1827	RES	\$ 142,852		305
	ROGER L EDEN	114110000	0.04	513	IMP	I		305



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04118	IMS PROPERTIES LLC ROGER RAMSARAM	1670394000	06/27/22 0.51	1848 806	RES IMP	\$ 126,933	\$ 35,632	28.07
00902	WBHC LLC	3618 ALENE CIR	02/22/22	1829	RES	\$ 119,879	\$ 27,629	23.05
	ROGERS TANYA Y	1070342000	0.25	495	IMP		, , ,	
03782	LARSON ALEXANDER R	260 DEERFIELD LN	06/10/22	1846	RES	\$ 219,799	\$ 77,549	35.28
	ROJAS SAMANTHA/ROJAS MAXIMO	220051000	0.36	662	IMP			
08606		1715 NORTH LEG CT			СОМ	\$ 443,350	\$ 148,563	33.51
	ROLLING FRITO-LAY SALES LP	551085010	1.62		IMP			
04199	ELLIOTT HANNAH E		06/24/22	1847	RES	\$ 120,809	\$ 66,518	55.06
	ROLLRENTAL ONE LLC	1223033000	0.24	2636	IMP			ĺ
00245	MORGAN ROBERSON		01/21/22	1824	RES	\$ 157,381	\$ 45,380	28.83
	RONNIE MARSHALL	1212039000	0.24	494	IMP			ĺ
00016	RODNEY O WHITE	3647 MADRID	01/05/22	1821	RES	\$ 84,732	\$ 31,701	37.41
	RONTRES HARRIS	820553000	0.28	760	IMP			
04832	WORLEY E PIERSON III AND KELLI M PIERSON		07/22/22	1851	RES	\$ 210,258	\$ 89,060	42.36
	RORY WATTS	2990011000	0.90	2247	IMP			
00893	GRAHAM V STEVENSON AND REBECCA R	2303 DEARBORN	02/23/22	1829	RES	\$ 160,985	\$ 36,482	22.66
	ROSA E JACKSON	571043000	0.28	607	IMP			
00159	RABUN RONALD K	2417 SOUTHGATE DR	01/19/22	1823	RES	\$ 69,895	\$ 24,846	35.55
	ROSIER ANDREW	863064000	0.26	2794	IMP	1		
01436	RODMAN THOMAS J	4219 SEAGO RD	03/16/22	1832	RES	\$ 188,341	\$ 55,745	29.60
	ROSIER CHARLES KALEF/ROSIER SARAH	2310017000	3.09	1001	IMP			
05715	SULLIVAN ALBERT JOHN JR/DEBORAH P	3315 WOODHAVEN	08/30/22	1857	RES	\$ 176,273	\$ 54,336	30.82
	ROSLYN DENISE JOHNSON	414159000	0.31	275	IMP			
05393	ROCKERS BRUCE M	3406 WOODSTONE PL	08/19/22	1855	RES	\$ 450,553	\$ 185,828	41.24
	ROSS DAVID J/ROSS CHRISTINE N	240186000~46, A	0.63	1679	IMP		, , , , , ,	
01334	JCGMD LLC A GEORGIA LIMITED LIABILITY	46 INDIAN COVE RD	03/10/22	1831	RES	\$ 322,732	\$ 96,452	29.89
	ROTH EDITH HARRISON	254196240	0.50	923	IMP	, ,,,,,,,	, , , , , ,	
01705	D R HORTON INC		03/14/22	1832	RES	\$ 376,113	\$ 150,519	40.02
	ROUNDTREE SONDRA/ROUNDTREE SR	800222000	5.18	2699	IMP		, , , , ,	
02674	JONES HARVEY S		04/21/22	1840	RES	\$ 264,778	\$ 83,468	31.52
020	ROWE CHRISTOPHER	1650183000	0.56	447	IMP	<b>\$ 20 .</b> ,	\$ 55,155	0.102
05558	SCONYERS OLLIE BURT TURNER	4405 TRAYLOR ST	08/20/22	1856	RES	\$ 64,365	\$ 27,294	42.41
00000	ROWE SCOTT/ROWE LINDA/ROWE JEFF	2270111000	1.29	7	IMP	<b>\$</b> \$ 1,000	\$ 2.7,20	
06375	WALTER R TERRELL III	5248 ARUBA	09/26/22	1860	RES	\$ 137,311	\$ 52,256	38.06
000.0	ROY LEE KITTS	402397000	0.09	944	IMP	<b>\$</b> 101,011	\$ 52,255	00.00
03057	TOBACCO MIKE LLC	1808 TOBACCO RD	05/16/22	1842	IND	\$ 131,159	\$ 34,880	26.59
00001	RTB INVESTMENTS LLC A GEORGIA LIMITED	1574007000~PARCEL A	4.36	429	VAC	ψ 101,100	\$ 01,000	20.00
03072	CORL CASSIE H	2915 HAMILTON DR	05/13/22	1842	RES	\$ 89,601	\$ 30,497	34.04
000.2	RUBIN DAVID NATHAN/BRAMBLE HEATHER	973244000	1.15	325	IMP	<b>\$</b> \$60,00.	\$ 55, 151	0
06495	GASTON JR OTIS L		09/29/22	1861	RES	\$ 211,974	\$ 56,486	26.65
	RUFFIN KELVIN	1400589000	0.32	18	IMP		7 55, 155	
07266	WALKER MAXIE L	2402 SUMAC	10/11/22	1863	RES	\$ 86,678	\$ 34,967	40.34
0.200	RUIZ DANIA	851053000	0.42	2245	IMP	<b>\$</b> \$55,515	\$ 0.,001	
06741	ANTHONY KIMBERLY		09/23/22	1862	RES	\$ 128,644	\$ 44,924	34.92
	RUNNELS ALEXANDRA S	1300322000	0.24	771	IMP	ψ : <u>2</u> 0,0 : :	\$,o	002
01645	SINGH SAHIB	3615 BELAIR RD	03/11/22	1833	RES	\$ 146,574	\$ 62,446	42.60
0.0.0	RUSH KIETHA	530022010	0.40	1533	IMP	<b>V</b> 1.10,01.1	\$ 52,	12.00
04610	KERNAGHAN MORRI	260 BROAD ST	07/08/22	1849	RES	\$ 174,214	\$ 48,347	27.75
04010	RUSSELL ADAM	472223000	0.13	2529	IMP	Ψ 17 4,214	ψ 40,047	27.70
04437	DAVID K HOGAN	3023 POINTEWEST	06/29/22	1848	RES	\$ 219,041	\$ 79,701	36.39
	RUTH ANN D'ARCO AND SAMUEL C D'ARCO	182038000	0.06	2384	IMP	Ψ = 10,0+1	<b>\$ .5,751</b>	55.53
		304 YORK LN	10/24/22	1863	RES	\$ 188,803	\$ 63,606	33.69
07190	NIKMANESH FATIMA ALINA	JOUR LIN	10/24/22	1000	I.LO	ψ 100,003	ψ 00,000	33.09
07190	NIKMANESH FATIMA ALINA	181073000~LOT R-1 THE STATION	0.07	1767	IMP		1	
	RW BLACK LLC	181073000~LOT B-1, THE STATION	0.07	1767	IMP	¢ 106 404	¢ 25 642	20 17
	RW BLACK LLC KISHA ENGLISH	·	05/04/22	1840	RES	\$ 126,434	\$ 35,613	28.17
07190 02826 00829	RW BLACK LLC	181073000~LOT B-1, THE STATION 853065000 221 WATER OAK				\$ 126,434 \$ 217,024		28.17



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03965	RODNEY B TORRES CABRERA AND JEANNIE C RYAN THOMAS FARRIS	969 BURLINGTON 671179000	06/10/22 0.23	1846 1301	RES IMP	\$ 301,509	\$ 124,648	41.34
05767	DENISE LYNN BEAUSOLEIL S 11 ENTERPRISES LLC	2918 ARROWHEAD 180237000	08/25/22	1856 1398	RES IMP	\$ 121,864	\$ 47,006	38.57
06939	FOSKEY JENNIFER MARIE	1017 STEVENS CREEK RD	10/26/22	1863	RES	\$ 70,372	\$ 21,326	30.30
	S W HASHAMI PROPERTIES LLC	120207000~UNIT 170, BLDG 6,	0.11	2660	IMP			
03679	HAG PROPERTIES LLC SAID SHARIFA AHMED	1850 OHIO AVE 434109000	05/01/22 0.21	1844 1561	RES IMP	\$ 119,521	\$ 30,061	25.15
0.4074						£ 400 057	₾ C4 OFO	27.04
04371	ANDERSON PAMELA D SAINTIL AJULIE	3460 LINDERWOOD DR 1430045000	07/07/22 0.28	1849 1530	RES IMP	\$ 163,057	\$ 61,858	37.94
00580	KELLY MICHAEL T SR ROFS	2715 ELKINS AVE	02/06/22	1827	RES	\$ 31,092	\$ 12,945	41.63
	SALDANA MAYRA GRANADOS	713081010	0.30	1039	IMP			
03960	KYONG SUK ROSE		06/10/22	1846	RES	\$ 218,488	\$ 85,100	38.95
	SALLY MCNEIL AND NORFLEET STEWART	1524046000	0.28	1251	IMP	0.440.00=	<b>A.4.00</b>	
07491	SMITH KATHRINE SALON VINTAGE PROPERTY MANAGEMENT	2709 MIKE PADGETT HWY 1111039030	11/08/22 0.46	1866 547	COM	\$ 140,997	\$ 34,395	24.39
02292	VARNADO SOLOMON	3705 WOODCOCK DR	0.46	1838	RES	\$ 106,130	\$ 24,040	22.65
02232	SALVADOR PEREZ DENIA YAMILETH/ORTEGA	1290175000	0.27	609	IMP	Ψ 100,100	Ψ 24,040	22.00
06008	DAVIS JAMES R/NESMITH SHERRELL M		09/06/22	1858	RES	\$ 137,311	\$ 42,993	31.31
	SAMUEL CARPIO REYES	1212014000	0.32	396	IMP			
01625	JOSEPH DEL SIGNORE JODY J DEL SIGNORE	3323 QUAKER SPRING	03/18/22	1833	RES	\$ 206,828	\$ 60,110	29.06
	SANCHEZ GUSTAVO	160172000	0.33	238	IMP			
05524	SIMMONS DUSTIN P	2709 BARCLAY ST	08/19/22	1855	RES	\$ 137,311	\$ 42,634	31.05
0.4400	SANDERS JOANN	1300273000~LOT 7, BLK L, SEC 2-B,	0.31	2540	IMP	0.54.040	A 07 F00	00.7
04126	HERNANDEZ CECIL	7093 SUMMERTON DR 640075000	06/28/22	1848 875	RES IMP	\$ 251,913	\$ 97,599	38.74
01208	SANDOVAL PATRICK A CHRISTOPHER WOLF BASCHUNG	640075000	0.19	1830	RES	\$ 228,659	\$ 65,314	28.56
01206	SANDRA XIOMARA SHEPARD	313014000	0.37	2232	IMP	\$ 220,039	\$ 00,514	20.50
05496	WHIGHAM TERA	3540 MUTIMER DR	08/17/22	1855	RES	\$ 161,341	\$ 41,470	25.70
	SANFORD KEYONNA SHUNTAY	1083001000~LOT 3 THE WEALD AT	0.23	2782	IMP		. ,	
06880	UNITED ATLANTA INVESTMENTS LLC	2641 ROYAL ST	10/07/22	1863	RES	\$ 62,863	\$ 17,584	27.97
	SANKAR PRIYADHARSHINI/VIVEKANADAN	332117000	0.07	507	IMP			
04695	ABIMBOLA ADEMOLA	1103 GEORGE W. CRAWFORD DR	07/15/22	1852	RES	\$ 261,750	\$ 103,174	39.42
	SANTEE BRITTANY/WIGGINS NICHOLAS	663019000~LOT 17, BLK B, GOVERNORS	0.22	240	IMP		<b>A</b>	
04154	ZACHARY T NEWTON AND DONNA H SAOIRSE HOMES LLC	2001 SUMMER RIDGE 451374000	06/21/22	1847 2375	RES IMP	\$ 246,607	\$ 104,444	42.35
00584	MACKENZIE ALLEN MULLINS AND ELLEN R	2408 MCDOWELL	02/11/22	1827	RES	\$ 314,503	\$ 128,473	40.85
	SARAH A PRITCHARD	441142000	0.27	2005	IMP	\$ 0.1,000	ψ .2o, o	
06534	KYONG OK MISKELLY	2213 HILLSVIEW	10/04/22	1861	RES	\$ 205,967	\$ 75,873	36.84
	SARAH E EGBERT	390197000	0.65	2189	IMP			
04394	JACOB A GRAYBILL	1440 JONHS	07/01/22	1849	RES	\$ 171,639	\$ 70,106	40.84
	SARAH ELIZABETH STRICKLAND	443104000	0.17	617	IMP			
03556	WHITLEY K PENNYCUFF	1734 OAK	05/27/22	1844	RES	\$ 143,367	\$ 45,871	32.00
01072	SARAH NELL REYNOLDS AND WILLIAM C  CLIFFORD BRANDON SANDERS AND MELANIE	574061000 1938 GEORGE	0.21	1598 1831	IMP RES	\$ 91,559	\$ 31,844	34.78
01072	SARAH SEBERT	713108000	0.29	127	IMP	\$ 91,559	φ 51,0 <del>44</del>	34.70
03454	STEPHENS VIRGINIA C	3214 DRESDEN WAY	05/31/22	1844	RES	\$ 639,327	\$ 302,103	47.25
	SASNETT III RICHARD BORDEN/SASNETT	323013000~12, G	0.60	1670	IMP			
00791	JOSEPH DENIS		02/18/22	1828	RES	\$ 124,603	\$ 30,236	24.27
	SAVANNAH BEASLEY AND AMY STACKS	1080174000	0.24	1509	IMP			
04725	ROTGER ERLEEN ANN DAVIS		07/18/22	1851	RES	\$ 188,803	\$ 56,109	29.72
00707	SAVANNAH ROSIER	121031000	0.09	500	IMP	0.000.000	<b>A</b> 2 4 4 5 5	00.
02797	GAFFNEY PETER	1202 HICKMAN RD	05/06/22	1840	RES	\$ 266,635	\$ 81,158	30.44
05800	SCALES DARRELL KEVIN MONTAG ASHLEY M WALLACE ROFS	442270000 1425 TROUPE ST	0.10	2300 1856	RES	¢ 2// 152	¢ 76 006	31.86
UU0UU	SCALES DARRELL KEVIN	1425 TROUPE ST 444222000	0.30	1856 1802	IMP	\$ 241,153	\$ 76,836	ა I.8t
01983	HOWELL W MARK	2846 WALTON	0.30	1835	RES	\$ 139,365	\$ 45,2	
J 1 J J J J	· · · · · · · · · · · · · · · · · · ·	334060240	0.09	2183	IMP	ψ 100,000		307



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02251	WILSON JEREMY ELTON SCHILLER SHANTI/SCHILLER THOMAS	2920 MAYFAIR 251136000	04/22/22 0.52	1838 2252	RES IMP	\$ 293,637	\$ 87,183	29.69
02742	HONAKER CHARLES W SCHMIDT DAVID W/SCHMIDT MICHELE J	3212 RHONDA DR 1222039000	04/28/22 0.30	1840 728	RES IMP	\$ 58,101	\$ 29,482	50.74
04841	SMITH JR BRENT ADAMS	1727 OAK	07/11/22	1850	RES	\$ 186,229	\$ 67,892	36.46
00700	SCHOTT MARCUS	574021000	0.21	2385	IMP	<b>*</b> 454.045	<b>#</b> 05 000	00.00
03766	THOMAS AMANDA SCHULTZ JACK	1311 MURPHY ST 453135000	06/02/22 0.18	1846 345	RES IMP	\$ 154,045	\$ 35,396	22.98
07816	BOYER GREGORY	3111 RAMSGATE RD	11/30/22	1867	RES	\$ 240.295	\$ 99.378	41.36
	SCHWARTZ ABIGAIL K	174026000~16, S	0.29	2480	IMP	<b>V</b> = 10,=00	, , , , ,	
06386	BENNETT ROBERT F		09/19/22	1859	RES	\$ 210,258	\$ 60,854	28.94
	SCIFLEET BAILEY	113222000	0.33	989	IMP			
00458	RUTH N COOPER	2804 PALMER	01/28/22	1825	RES	\$ 225,010	\$ 103,456	45.98
	SCOTT DENNISON AND CHRISTINE DENNISON	252090000	0.34	344	IMP			
05745	HAGGINS CHRISTOPHER E/PAMELA D		08/31/22	1857	RES	\$ 128,729	\$ 42,210	32.79
	SEAN C CLEMMONS JR	1074004000	0.23	1575	IMP			
03967	SURYASH S BAINS	245 DUCAL	06/10/22	1846	RES	\$ 262,098	\$ 102,003	38.92
	SEAN C RECK	653276000	0.22	1028	IMP			
05821	FISHER ROBERT T (ROFS) AND SHIRLEY H SEAN D CAZZELL AND LINDSAY E DAHL AS	408 NORMANDY 170080000	08/26/22	1856 1648	RES IMP	\$ 227,336	\$ 95,046	41.81
05011			0.33		RES	\$ 171.639	¢ 42 121	24 54
05011	CHAMBERLAIN MARJORIE L SEAN DUDISH	3137 SWITZER 324067030	0.16	1852 2463	IMP	\$ 171,039	\$ 42,121	24.54
05420	MCNEILL JOVONDA D/ANNECIA L	324007030	08/16/22	1855	RES	\$ 317,533	\$ 137,962	43.45
03420	SEAN F GITTENS AND SHARON A GITTENS AS	1651006000	0.60	451	IMP	φ 317,333	\$ 137,902	43.43
03594	PATRICK L CRAWFORD	2207 MORNINGSIDE	06/03/22	1845	RES	\$ 281,429	\$ 92,850	32.99
00004	SEAN THOMAS AND LAURA THOMAS JTWROS	264162000	0.69	697	IMP	Ψ 201,429	ψ 92,030	32.33
02515	GORDON LENA SEYMORE	201102000	04/14/22	1838	RES	\$ 137,828	\$ 46,113	33.46
020.0	SECONDWIND PROPERTIES 56 LLC	1300426000	0.29	1129	IMP	ψ .σ.,σ <u>2</u> σ	ψ .σ,σ	00.10
01731	GRAY JEFFREY S		03/16/22	1834	RES	\$ 18,834	\$ 5,442	28.89
	SECONDWIND PROPERTIES 56 LLC	3360240000	0.80	1132	IMP			
02825	EVE REID	2917 NORWOOD	04/29/22	1840	RES	\$ 122,450	\$ 63,084	51.52
	SECONDWIND PROPERTIES 56 LLC	530133000	0.35	1782	IMP			
03215	WALKER COURTNEY L	2 WHITNEY	05/12/22	1843	RES	\$ 117,352	\$ 57,925	49.36
	SECONDWIND PROPERTIES 56 LLC	573225000	0.35	960	IMP			
04266	EDGERTON SHIRLEY T	2007 CATON DR~4	06/28/22	1848	RES	\$ 124,667	\$ 51,830	41.57
	SELECT PROPERTY MANAGEMENT LLC	303175000~A	0.08	2179	IMP			
01543	CROZIER CONSTRUCTION INC	4056 BATH EDIE RD	02/18/22	1832	RES	\$ 302,607	\$ 84,558	27.94
	SELF MARGARET/SELF THOMAS D JR	2060006140	9.45	2377	IMP			
05955	SUER VALERIE K		09/06/22	1858	RES	\$ 124,438	\$ 40,055	32.19
.==	SERVANDO GARCIA JR AND ALTHEA S	1104149000	0.32	576	IMP	A == 000	<b>A.</b> = 0.000	0= 00
07520	NAVA DOROTHY S	4404460000	11/11/22	1866	RES	\$ 77,238	\$ 50,203	65.00
07444	SEWELL PRICE	1101163000	0.32	1917	IMP	C 004 404	₾ 0.4.770	40.00
07111	GILMORE LEE O	4527 LOGANS	10/24/22	1864 255	RES IMP	\$ 224,161	\$ 94,779	42.28
06050	SFR ACQUISITIONS 4 LLC A DELAWARE PETERSEN ROBERT F	662248000	0.28		RES	¢ 224 902	¢ 00 056	40 E7
06858	SFR ACQUISITIONS 4 LLC A DELAWARE	2504 VICTORY 654078000	10/20/22 0.16	1863 1117	IMP	\$ 234,802	\$ 99,956	42.57
07048	MANN DUSTIN A	2317 MARTIN RD	11/01/22	1864	RES	\$ 68,656	\$ 27,439	39.97
07040	SFR3-000 LLC	972167000	0.48	2134	IMP	Ψ 00,000	Ψ 21,400	00.07
06479	ZIMMERMAN PHILLIP	3403 BLACKSTONE ST	09/27/22	1861	RES	\$ 60,074	\$ 22,276	37.08
000	SFR3-000 LLC	1080347000	0.41	665	IMP	\$ 55,57	Ψ ==,=. σ	000
05733	TATE THOMAS	2242 BASSWOOD DR	08/22/22	1856	RES	\$ 96,109	\$ 42,374	44.09
	SFR3-000 LLC	1670446000	0.37	2002	IMP	, , , , , ,	, -,	
05385	SMITH MAURICE A	1304 BEMAN ST	07/29/22	1853	RES	\$ 55,783	\$ 26,428	47.38
	SFR3-000 LLC	454046000	0.16	2160	IMP			
00036	KALLIOKOSKI THOMAS EDWIN	3028 ACORN RD	01/11/22	1822	RES	\$ 46,630	\$ 20,199	43.32
	SFR3-040 LLC	971045000	0.36	687	IMP			
03833	WALKER BERNICE R	2805 ROYAL ST	06/10/22	1846	RES	\$ 48,067	\$ 26,2	2
	SFR3-040 LLC	332074000	0.17	1447	IMP			308



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03449	COLBERT MELVIN J SFR3-040 LLC	3633 CAMERON DR 1070716000	05/19/22 0.27	1844 578	RES IMP	\$ 66,846	\$ 36,884	55.18
03493	BAME MICHAEL PAUL SFR3-040 LLC	3206 OLD LOUISVILLE RD 1222154000	05/19/22 0.18	1844 1046	RES IMP	\$ 26,739	\$ 11,222	41.97
03700	HARFORD INVESTMENTS LLC	2021 GARR DR	05/31/22	1845	RES	\$ 48,501	\$ 22,636	46.67
	SFR3-040 LLC	864029000	0.20	568	IMP	A 10 100	<b>A</b> 10 ==0	40.00
03372	WALTON GIISELLE G SFR3-040 LLC	2810 RICHMOND HILL RD 974227000	05/23/22 0.30	1843 2639	RES IMP	\$ 46,183	\$ 19,758	42.78
00152	CARROWAY JERRY D	1187 BENNOCK MILL ROAD	01/14/22	1823	RES	\$ 56,911	\$ 23,487	41.27
	SFR3-050 LLC	2340029000	0.85	1027	IMP			
00441	SIPSY THERESA K SFR3-050 LLC	2224 HARDING RD 1092097000	01/27/22 0.65	1825 951	RES IMP	\$ 107,747	\$ 46,708	43.35
00706		2120 KELLY ST				¢ 77 007	¢ 20 004	E4 7
00726	WILLIAMS ROBERT A SFR3-050 LLC	562252000	02/14/22 0.25	1828 255	RES IMP	\$ 77,227	\$ 39,984	51.77
00073	SPEARS ROY L	3103 ARCADIA	01/05/22	1822	RES	\$ 53,830	\$ 18,140	33.70
00073	SFR3-050 LLC	843099000	0.22	316	IMP	φ 55,630	\$ 10,140	33.70
03936	JONES KIMMIE BROWN	308 STERLING ST	06/08/22	1846	RES	\$ 56,909	\$ 20.148	35.40
00000	SFR3-050 LLC	614065000	0.14	1274	IMP	ψ σσ,σσσ	Ψ 20,110	00.10
02715	FITTER JAY	2839 GLENN HILLS CIR	04/08/22	1840	RES	\$ 62,804	\$ 24,678	39.29
	SFR3-060 LLC	843184000	5.18	1120	IMP			
01842	SIMPSON MARION C	520 HILLWOOD CIR	03/29/22	1834	RES	\$ 135,062	\$ 48,674	36.04
02804	SFR3-060 LLC FOREMAN GUY R JR	253150000 2704 TARA HEIGHTS CT	0.36	1935 1840	IMP RES	\$ 81,208	\$ 33,456	41.20
02004	SFR3-070 LLC	844364000	0.33	2342	IMP	\$ 61,206	φ 33,430	41.20
02266	RODRIQUEZ JORGE L	2126 CADDEN RD	0.33	1838	RES	\$ 84,941	\$ 41,030	48.3
02200	SFR3-070 LLC	1212146000	0.29	1588	IMP	\$ 64,941	\$ 41,030	46.30
02868	HOLDER JUANITA J AROCHO	1909 DUNHAM CT	05/09/22	1841	RES	\$ 58,446	\$ 34,189	58.50
02000	SFR3-070 LLC A DELAWARE LIMITED	1104058000	0.26	820	IMP	ψ 50, <del>44</del> 0	φ 34,109	30.30
05863	HARRIS JONAVON J	3108 COLLIER RD	08/31/22	1857	RES	\$ 42,052	\$ 12,388	29.46
	SFR3-080 LLC	843085000	0.17	1439	IMP	<b>,</b> ,_,,,,	, ,,,,,,,,,	
05721	SHIPES SR ALLEN D	1630 APPLE VALLEY DR	08/30/22	1857	RES	\$ 55,783	\$ 23,946	42.93
	SFR3-080 LLC	1233099000	0.27	1030	IMP			
05582	SMITH MAURICE A	1710 WALKER ST	08/10/22	1855	RES	\$ 42,910	\$ 22,273	51.91
	SFR3-080 LLC	354094000	0.12	1178	IMP			
05284	GREENE ROBERT FRANKLIN	2411 BREAM AVE	08/04/22	1853	RES	\$ 64,365	\$ 34,526	53.64
	SFR3-080 LLC	864099000	0.22	1781	IMP			
07222	DB ESTATES LLC	507 DELANO ST 341105000	10/28/22	1865	RES IMP	\$ 38,619	\$ 21,259	55.05
07047	SFR3-080 LLC		0.12	109		<b>↑ 45 404</b>	£ 40.040	40.46
07047	PIERCE DWANDA SFR3-080 LLC	604 SEA ISLE DR 611374000	10/28/22 0.14	1864 1976	RES IMP	\$ 45,484	\$ 19,646	43.19
05703	BURN GEMMA	1852 DERBY DR	08/22/22	1856	RES	\$ 48,917	\$ 23,076	47.17
00100	SFR3-080 LLC	712143000	0.24	2472	IMP	ψ 10,017	Ψ 20,070	''''
05911	GREEN ROBERT F	2407 BREAM AVE	08/30/22	1857	RES	\$ 68,656	\$ 28,296	41.2
	SFR3-080 LLC	864068000	0.22	2040	IMP	ψ 00,000 	ψ 20,200	
06762	DUNSON RANDY	2028 TELFAIR ST	10/07/22	1862	RES	\$ 42,052	\$ 25,033	59.53
	SFR3-080 LLC	351267000	0.19	1528	IMP	. ,	. ,	
06417	WIGGINS TASHUNNA	2039 FERNWOOD CT	09/15/22	1859	RES	\$ 60,074	\$ 28,888	48.09
	SFR3-080 LLC	1101160000	0.30	1086	IMP			
05875	KEEL EMORY SCOTT	3827 BEACON DR	08/31/22	1857	RES	\$ 68,656	\$ 41,106	59.87
	SFR3-080 LLC	1700191000	0.24	1542	IMP			
05707	HALKEN INVESTMENT PROPERTIES OF EVANS		08/24/22	1857	RES	\$ 57,928	\$ 24,256	41.87
	SFR3-080 LLC	1200105000	0.25	1376	IMP			
00924	MARY A SILAS AKA MARY ANN SWENSON	221 CALDWELL	02/25/22	1829	RES	\$ 152,972	\$ 48,538	31.73
00007	SFRES OWNER LLC	220218000	0.07	945	IMP	<b>#</b> 404.000	<b>↑</b> 00 050	05.0
	CARTER REBECCA LYNN/JONATHAN DAVID	3013 HERON CT	05/26/22	1844	RES	\$ 194,869	\$ 68,856	35.33
03367	SHADAY I HENDERSON	11640144000	033	1 260 I	IMP			
03367	SHADAY L HENDERSON STEVENS CYNTHIA F BURROUGHS	1640144000 2131 MCDOWELL ST	0.33	260 1845	IMP RES	\$ 271,658	\$ 80,4	



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03931	JOHNSON LARRY A III	0700 MO 0 DI AVE DD						
		3726 WOODLAKE RD	06/13/22	1846	RES	\$ 183,034	\$ 70,357	38.44
	SHAHEED EVANS	1410239000	0.23	1068	IMP			
	HIMES ANTHONY J	2326 BOYKIN RD	04/28/22	1839	RES	\$ 167,948	\$ 53,592	31.9
	SHAKEMA HERNANDEZ	1670011010	0.46	2595	IMP			
	CHARVETTE BERNITA COLLIER	2544 KENSINGTON DR E	06/24/22	1847	RES	\$ 120,809	\$ 32,936	27.26
	SHAMBELE LAVENDER	1080313000	0.35	2675	IMP			
08292	TORRES GLENDA/MAYEN LYNN V	3215 WARE RD	12/27/22	1870	RES	\$ 119,289	\$ 54,199	45.43
	SHAMECA L DUDLEY	552028000	0.36	2174	IMP			
06452	PING LI AND YAPING PAN	2105 WHITNEY SOUTH	09/26/22	1860	RES	\$ 137,226	\$ 48,534	35.37
	SHANEE WHITE	571202000	0.14	2286	IMP			
04364	ROBERT H MERRIMAN III AND SANDRA M	2065 MCDADE FARM RD	07/01/22	1848	RES	\$ 278,914	\$ 96,129	34.47
	SHANNON JANE HOHOSH AND ROBERT	1960003000	3.32	2462	IMP			
05722	JACKSON BRITTNY MOSBY	2157 WILLHAVEN	08/31/22	1857	RES	\$ 285,264	\$ 124,261	43.56
	SHANTELLE WALKER SIMMONS	654150000	0.23	1000	IMP			
01516	RABUN DAVID	3409 ARDEN CT	03/16/22	1832	RES	\$ 109,238	\$ 27,331	25.02
	SHARIF FAAIZAH L	1070326000~13, C	0.41	1140	IMP			
00678	NORDMANN ALFRED P	2914 HAMPSHIRE DR	01/31/22	1827	RES	\$ 268,501	\$ 81,219	30.25
l	SHARP JR JOSEPH F/SHARP ELIZABETH H	251167000	0.30	608	IMP			
00149	D R HORTON INC	551 POST OAK	01/10/22	1823	RES	\$ 351,758	\$ 143,066	40.67
l	SHARPE WAYNE ANTHONY/SHARPE ERMANIE	653427000	0.22	1441	IMP			
04532	RAYMOND HOEFS	5085 WHEELER LAKE	07/11/22	1850	RES	\$ 171,639	\$ 59,788	34.83
	SHEENA H CARTER	402111000	0.11	830	IMP			1
02313	AL-OLOFI AFAF	410 TUBMAN ST	04/11/22	1836	RES	\$ 64,485	\$ 19,088	29.60
l	SHEFFIELD ELLEN	351137000	0.08	2315	IMP	. ,		
	BAKER BRAITHWAITE INVESTMENTS LLC	3977 GOSHEN INDUSTRIAL BLVD	02/14/22	1842	СОМ	\$ 636,622	\$ 222,441	34.94
00110	SHEMERBE LLC	1840118000	2.10	1731	IMP	Ψ 000,022	Ψ 222, 111	01.0
00588	REYNALDA T MANAHAN	4549 LOGANS	02/11/22	1827	RES	\$ 164,509	\$ 89,829	54.60
	SHEMICKA DEJUANE MILLER	671033000	0.32	2013	IMP	Ψ 104,505	Ψ 00,020	04.00
	WR INVESTORS LLC	2349 WILLIAMS ST	03/18/22	1834	RES	\$ 357,248	\$ 128,814	36.06
		344160000	0.04	1173	IMP	\$ 337,240	φ 120,014	30.00
	WALKER WALIDAH	2041 BOYKIN RD	0.04	1861	RES	¢ 474 620	↑ FE 011	22.57
00439		1680121000	0.46	505	IMP	\$ 171,639	\$ 55,911	32.57
05004	SHERMAN TRACY					£ 440.077	Ф 400 707	00.00
	HH HEPHZIBAH HOLDINGS LLC	2626 TOBACCO RD 1400010100	09/07/22 0.67	1858 861	COM	\$ 419,677	\$ 122,737	29.25
	SHIMEI XING					<b>*</b> 404 000	Ф 00 000	04.54
	BUSBY KRISTEN MUNN	2356 MINTO ST	08/05/22	1854	RES	\$ 104,826	\$ 33,060	31.54
	SHINE HIS LIGHT INVESTMENTS LLC	443269000	0.21	241	IMP			
	IMS PROPERTIES LLC	2830 PTARMIGAN RD	08/04/22	1853	RES	\$ 107,274	\$ 34,654	32.30
	SHIRLEY WATERS	1290115000	0.38	1622	IMP			
	CAPUY HALBERT C	2321 GREENGATE DR	09/01/22	1857	RES	\$ 120,147	\$ 35,848	29.84
	SHIVARAM KETAN/SHIVARAM PUSHPA/KUTTY	161007000~LOT 11, BLK A, GREENGATE	0.09	1884	IMP			
07099	ANDRAE C ATKINS	2920 PANHANDLE CIR	10/25/22	1863	RES	\$ 96,118	\$ 34,508	35.90
	SHON MCKINNON	1200274000	0.26	2136	IMP			
07847	ANDERSON MATTHEW P	936 BROAD	11/21/22	1867	RES	\$ 236,004	\$ 87,994	37.28
	SHOOK LANDSCAPING LLC	373230000	0.03	333	IMP			
06022	DAVID W DUNN	3918 ELLEN ST	09/08/22	1858	RES	\$ 178,505	\$ 62,006	34.74
	SHYVONNE T GILLETTE	1400522000	0.26	617	IMP			
01970	SKYRAE PROPERTIES LLC	1015 RUSSELL	03/25/22	1835	RES	\$ 271,038	\$ 74,544	27.50
l	SIDDALL RICHARD/SIDDALL HEATHER	451246000	0.17	1707	IMP			
00249	SAMUEL M HOFFMAN	3909 GOSHEN LN N	01/20/22	1824	RES	\$ 194,938	\$ 48,428	24.84
	SIDNEY RAE STANLEY AND CHARLES ISAAC	1990003050	0.24	200	IMP			
07829	HUGGINS ROBERT T	3131 EDINBURGH	11/21/22	1867	RES	\$ 272,048	\$ 101,524	37.32
	SILER DONNA L/SILER CHRISTOPHER D	242074000	0.28	2365	IMP	, -	, , , , , , , , , , , , , , , , , , ,	
	JOSE LUIS ROSARIO	3473 ESSEX PL	09/29/22	1861	RES	\$ 193,008	\$ 73,202	37.93
	SILVIA RUTH THOMAS AND FREDDIE LEE	1424193000	0.27	169	IMP		,	
	JBTROTTER PROPERTIES LLC A GEORGIA	936 BROAD STREET, UNIT 404	11/29/22	1867	RES	\$ 227,422	\$ 87,098	38.30
	SIMMONS MATTHEW NEIL	373257000	0.02	1961	IMP	Ψ <b>- - - - - - - - - -</b>	Ψ 07,030	00.00
		1-:	1 0.02	,,,,,				
	AMANDA BELL F/K/A AMANDA M MCDAVID	918 FLYTHE	01/28/22	1825	RES	\$ 97,873	\$ 29,9	



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07833	HALKEN INVESTMENT PROPERTIES OF EVAN: SIMPLERE LLC	S 2843 LUMPKIN RD 843207000	11/18/22 0.19	1867 254	RES IMP	\$ 89,252	\$ 29,820	33.41
04870	SMALLEY DARIUS LASHAWN SIMPSON MONICA	2428 JUNIPER DR 844230000	07/19/22	1852 87	RES IMP	\$ 83,245	\$ 24,662	29.63
04928	KEYS FREDDIE V		07/28/22	1852	RES	\$ 195,669	\$ 78,067	39.90
03035	SIMS RODERICK L  KYE HUI KIM	1770096000	0.33	1283 1842	IMP RES	¢ 00 265	¢ 20 272	33.99
03033	SIN JOON KANG	940289000	5.18	1297	IMP	\$ 89,365	\$ 30,372	33.99
08561	GREENE JAMEELAH J	2534 PARKWAY DR	12/29/22	1874	RES	\$ 96,547	\$ 36,548	37.86
	SINGFIELD CHRISTOPHER JASON	562174000	0.27	1141	IMP			
01780	GOOD FAITH MANAGEMENT LLC	1765 LISSINGBOWER RD	03/28/22	1834	RES	\$ 144,499	\$ 53,261	36.86
	SINK PAUL	573085000	0.23	2289	IMP			
03388	BAUM FELECIA	2440 RIVERLOOK DR	05/24/22	1844	RES	\$ 185,455	\$ 56,252	30.33
	SKILES ALEXANDRA MARIE	140051000	0.14	427	IMP			
00650	ARBOGAST COREY		02/15/22	1827	RES	\$ 183,264	\$ 78,011	42.57
0.4074	SLEURS YOLANDA	1440045000	0.36	1793	IMP	A 000 070	0.407.040	00.45
04971	HAGLER BENJAMIN L JR SLOOP SHAWNEE/KEARNEY LAWRENCE	2205 DARTMOUTH 264004000	07/29/22	1852 1840	RES IMP	\$ 296,078	\$ 107,040	36.15
06263	FORSTER SELENA A	3828 HIGHPOINTE DR	0.39	1860	RES	\$ 90.111	\$ 42,026	46.64
00203	SLS PROPERTIES LLC	1400567000	0.38	822	IMP	ψ 90,111	\$ <del>42,020</del>	40.04
08102	222 MATTHEWS ENTERPRISES LLC A	1228 GORDON HWY	12/07/22	1868	СОМ	\$ 210,241	\$ 67,066	31.90
	SM2 PROPERTIES LLC A GEORGIA LIMITED	600008000	0.76	2342	IMP			
02932	MICHAEL MICKENS	2334 MIMS RD	05/12/22	1841	RES	\$ 41,100	\$ 17,746	43.18
	SMALL CHARLES/BESSIE	2500004030~PARCEL 2	11.95	1497	VAC			
01606	WADMAN JAIME LOUISE	510 MILLEDGE	02/25/22	1833	RES	\$ 717,408	\$ 179,600	25.03
	SMALLS KENJI SHAMAR/RUSHING-SMALLS	351188000	0.40	1037	IMP			
02985	TRIPLE A FOUR K'S INC	1189 HANCOCK MILL LANE	04/26/22	1842	RES	\$ 8,367	\$ 3,392	40.54
	SMITH ALFREDA M/SMITH DEVON D	3190128000~LOT 41, BLOCK B, SEC. 2,	0.46	669	VAC			
04396	KAYE JUDY	3005 BROOKHAVEN WAY	06/24/22	1849	RES	\$ 144,540	\$ 37,725	26.10
	SMITH BENJAMIN A	131204000	0.06	818	IMP			
01437	BALKCUM RICHARD L	711 FIFTH	03/11/22	1832	COM	\$ 12,580	\$ 2,091	16.62
00496	SMITH DAVID	473188000	0.12	942	VAC RES	£ 444 000	£ 44.067	24.20
00496	MAHONEY ELLEN E SMITH HARRISON	1010 HICKMAN RD 442063250	0.04	1826 567	IMP	\$ 141,230	\$ 44,067	31.20
08376	DUNN CHRISTY L	1129 MCCOYS CREEK RD	12/19/22	1871	RES	\$ 338.987	\$ 145,063	42.79
000.0	SMITH IVORY JEAN/SMITH III NELSON B	780065000	0.22	1333	IMP	\$ 555,557	ψo,σσσ	
07876	CULBRETH TERESA ANN	1902 HOPIE	12/01/22	1867	RES	\$ 5,149	\$ 1,410	27.38
	SMITH JOHNNY M	704083000	0.35	2546	IMP			
00332	4 T'S INVESTMENTS LLC	1606 FAIRWOOD DR	01/25/22	1824	RES	\$ 188,370	\$ 59,759	31.72
	SMITH LATOYA DIANE	414169000	0.28	1674	IMP			
04758	WHITE CHARLES M	3325 DAVANT ST	07/19/22	1851	RES	\$ 188,803	\$ 49,911	26.44
	SMITH MATTHEW DYLAN	100086000	0.34	1914	IMP			
06515	MARSHALL LUCILLE	4205 ROSE HILL DR	09/27/22	1861	RES	\$ 163,057	\$ 48,165	29.54
	SMITH PRESTON	1940070000	0.47	2659	IMP			
01798	JACKSON TERRENCE D	1461 BROOKSTONE RD	03/25/22	1834	RES	\$ 231,784	\$ 81,778	35.28
00747	SMITH RALERIA	1524005000	0.30	1183	IMP	C 04 470	C 04 045	00.07
03747	BUNCH WILLIAM M	2511 LUMPKIN RD 973199000	06/09/22	1846 82	RES IMP	\$ 94,472	\$ 24,815	26.27
06942	SMITH SAMUEL BEATY EMILY J	224 GREENE ST	10/14/22	1863	RES	\$ 177,647	\$ 54,541	30.70
00342	SMITH TERESA C	474119000	0.17	1848	IMP	\$ 177,047	\$ 54,541	30.70
05890	MURRAY CATHERINE M	111110000	08/19/22	1856	RES	\$ 132,162	\$ 50,951	38.55
00000	SMSS CORPORATION	1290664000	0.27	2757	IMP	ψ .02,.02	<b>\$</b>	00.00
07092	ASMUS LLC	2319 GARDNER	10/28/22	1864	RES	\$ 55,783	\$ 19,708	35.33
	SNEAD INVESTMENTS LLC	342079000	0.51	2288	IMP			
01590	OWENS WILBER		03/18/22	1832	RES	\$ 37,605	\$ 22,538	59.93
	SNEAD MARSHALL	1102079000	0.21	2124	IMP			
08397	WOLFE JUDITH LORRAINE		12/30/22	1871	RES	\$ 169,837	\$ 73,9	24.
	SNEAD MARSHALL/SNEAD MARY T C	442248000	0.28	140	IMP	[	] ;	311



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03607	SMITH JEROME C SNOW JEAN L/GODWIN JAMES ANDREW	3305 BINGHAM CT 403151000	06/01/22 0.12	1844 1401	RES IMP	\$ 191,186	\$ 74,246	38.83
06831	RICKS SHAYLA M	2217 BUCKINGHAM DR	10/19/22	1863	RES	\$ 143,319	\$ 44,283	30.90
	SNYDER CHRISTINA	1213147000	0.21	992	IMP			
08208	TEMPLES JUNE/DAVIS WILLIAM	1910 WARREN	12/21/22	1870	RES	\$ 91,827	\$ 32,260	35.13
	SOCIAL ELEMENTS LLC	353257000	0.15	1342	IMP			
04995	RODNEY GAIRY H AND RUTH N	743 METCALF	07/26/22	1852	RES	\$ 47,201	\$ 15,830	33.54
	SOLE SOURCE LLC	353226000	0.13	1118	IMP			
04219	MICHAEL S NIMESHEIM JR AND SADIE J	3129 BILSTON	06/22/22	1847	RES	\$ 185,867	\$ 70,787	38.08
	SOLIMAR KITANA RODRIGUEZ	403182000	0.15	2072	IMP			
05542	IMS PROPERTIES LLC	2274 BASSWOOD DR	08/12/22	1855	RES	\$ 121,006	\$ 33,396	27.60
	SOLOMON AKRAM/PHILLIP LUVERNE A	1670487000~LOT 7 BLK M WOODVALLEY	0.37	1084	IMP			
06414	IAN DEAN		09/16/22	1859	RES	\$ 244,586	\$ 98,749	40.37
	SOLOMON BYNES JR AND CELIA BYNES	1980290000	0.39	1944	IMP			
08134	SELENE FINANCE LP	3526 JACK KELLY RD	12/16/22	1869	RES	\$ 53,637	\$ 28,360	52.87
	SOMMA INVESTMENTS INC	1560031010	0.47	2215	IMP			
06225	TRAPP RUSSELL	820 ONA DR	09/09/22	1859	RES	\$ 120,147	\$ 39,352	32.75
	SOMMERS PATRICK JEROME	203140000~LOT 12, BLK A, LAKEMONT	0.21	2123	IMP			
04615	BURMEISTER SUSAN J	2193 BRIDGETON RD	06/30/22	1850	RES	\$ 128,729	\$ 44,663	34.70
	SONG HOSEOK/KIM YIRANG	74027000~LOT 35, BRIDGETON	0.07	1331	IMP			
05499	WIMBERLY FRANCES D	3126 SUMMERCHASE	08/19/22	1855	RES	\$ 186,229	\$ 45,048	24.19
	SONIA BENTLEY	424181000	0.16	1513	IMP			
04078	MARK RUSSELL STEELY AND NATHALIE	545 MARTIN	06/24/22	1847	RES	\$ 194,158	\$ 64,275	33.10
	SOPHIA VILLER	253094000	0.32	2654	IMP			
04901	BURKE RAESHUN L		04/04/22	1851	RES	\$ 78,772	\$ 42,827	54.37
	SOS HOME OFFERS LLC	1670404000	0.37	1470	IMP	1		
08206	TALBOTT ERIC	2927 WOLF CT	12/09/22	1870	RES	\$ 102,125	\$ 54,984	53.84
	SOS HOME OFFERS LLC	150103000	0.05	561	IMP		, , , , , ,	
04760	OJB PROPERTIES LLC	724 HEARD AVE	07/15/22	1851	RES	\$ 60,932	\$ 22,390	36.75
	SOTO BLANDINO MARJORIE INES	353160000	0.20	452	IMP			
03229	MCCLADDIE CARNELLE D	1219 HEMLOCK DR	05/20/22	1843	RES	\$ 92,612	\$ 42,446	45.83
	SOUTHERN OAK REAL ESTATE INVESTMENTS	412033000	0.22	417	IMP		' '	
07923	THE TRYLLION GROUP ISTKEE995	2022 COOK	12/07/22	1868	RES	\$ 51,492	\$ 16,044	31.16
	SPARKS THOMAS	712277000	0.35	1963	IMP	, ,,,,,,,,		
00444	WHITEHEAD MARY D	2808 SPRINGWOOD DR	02/01/22	1825	RES	\$ 171.702	\$ 51,266	29.86
	SPEARS TERESA S	83015000	0.08	1058	IMP	<b>V</b> ,. 02	ψ σ., <u>2</u> σσ	
01247	AUGUSTUS CAVANEZ	3412 COLONIAL	03/01/22	1830	RES	\$ 145,889	\$ 54,318	37 23
01211	SPENCER PARRISH	542178000	0.23	1171	IMP	ψ 1 10,000	ψ σ 1,σ 1σ	07.20
03217	HODGE ROBERT III		05/09/22	1842	RES	\$ 395,631	\$ 154,523	39.06
00211	SPONSEL MELINDA E/SPONSEL JEFFREY D	780183000	5.18	1407	IMP	ψ 000,001	ψ 10 1,020	00.00
02614	FORCE JOHN	3225 WRIGHTSBORO	04/28/22	1840	COM	\$ 118,159	\$ 41,104	34.79
020	SRE LLC	421029000	0.26	290	IMP	<b>\$</b> 1.10,100	<b>Q</b> ,	
03671	DALLOO FRANK A	3616 MEADOWLARK RD	05/27/22	1844	RES	\$ 64,604	\$ 33,154	51.32
00071	SRF3-040 LLC	1190020000	0.33	2775	IMP	ψ 04,004	ψ 33,134	01.02
05841	COPENNY ALICE		08/02/22	1856	RES	\$ 77,238	\$ 32,771	42.43
000+1	ST LEO LLC	133132000	0.05	1715	IMP	ψ 77,200	Ψ 32,771	72.70
02861	POWELL HARRISON E	1129 BROOKWOOD DR	05/02/22	1841	RES	\$ 244,263	\$ 82,582	33.81
02001	STACKER JOSEPH/STACKER CHARITY	131070000	5.18	271	IMP	Ψ 2++,200	ψ 02,302	00.01
05916	SHEILA K MULKEY F/K/A SHEILA K HALL	1702 FAIRVIEW	09/09/22	1858	RES	\$ 16,306	\$ 8,797	53.95
03310	STARLING PROPERTIES LLC A GEORGIA	563130000	0.42	933	IMP	\$ 10,500	ψ 0,7 97	33.33
03210	BLACK HADLEIGH KITCHENS		0.42	1843	RES	\$ 186,508	\$ 51,586	27.66
00210	STARNES JR JAMES	2330061000	0.99	1077	IMP	ψ 100,500	Ψ 51,566	27.00
01107	SHEARER MARK CRAIG	1504 HEARD AVE	0.99	1830	RES	\$ 256,549	\$ 64,199	25.02
0110/	STEEL RIDGE HOLDINGS LLC	572108000	0.46	2427	IMP	φ 250,549	y 04,199	20.02
01400						0.04.405	¢ 70 500	26.05
01482	SAMUEL ANDERSEN WILLIS AND ASHLEY	2818 LOMBARDY	03/09/22	1831	RES	\$ 284,165	\$ 76,593	26.95
04400	STEPHEN A GERARD	432046000	0.23	1316	IMP	# cor o=c	0.07.4	
01192	ALEXANDER J FRIEDMAN	419 AUMOND	03/04/22	1830	RES	\$ 265,373		312
	STEPHEN CARROLL	251179000	0.30	2253	IMP	I	l '	



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02308	DEBORAH K EVANS STEPHEN K HOLT	7128 BELIZE 402053000	04/12/22 0.12	1836 2484	RES IMP	\$ 170,740	\$ 63,724	37.32
02183	MICHAEL JOHN ANDERSON AND SAMANTHA R STEPHEN PAUL CORDARO AND KRISTIN	2812 LAWRENCE 184020000	04/21/22 0.40	1838 1241	RES IMP	\$ 219,202	\$ 77,398	35.31
01313	DAVIS ANTONIO	2908 LEE ST	03/11/22	1831	RES	\$ 187,143	\$ 44,578	23.82
03513	STEPHENSON JACQUELINE VIRETTA PULLING DAVID GEORGE	971183000 2349 MCDOWELL ST	0.29	2777 1844	IMP RES	\$ 773,931	\$ 263,087	33.99
03612	STERBA KATHRYN/STERBA BRETT W KITCHENS LITA MICHELLE J PILCHER	441037000 2749 WALTON WAY	0.61 05/23/22	2568 1845	IMP RES	\$ 435,185	\$ 241,212	55.43
03012	STEREOS PROPERTIES LIMITED CO	334030000	0.56	1425	IMP	\$ 455,165	\$ 241,212	33.43
05586	THADDEAUS M MOHLER STEVEN C HOPKINS AND ALYSSA J HOPKINS	3729 BELAIR 531085000	08/05/22 0.14	1855 1761	RES IMP	\$ 190,520	\$ 74,656	39.19
05716	FOX MICHAEL WILLIAMS STEVEN FIEGENBAUM	120158000	08/31/22 0.11	1857 858	RES IMP	\$ 47,201	\$ 18,734	39.69
00906	RICHBOURG JOHN L		02/16/22	1828	RES	\$ 236,121	\$ 70,540	29.87
02310	STEVEN FLOURNOY 2626 DRAYTON LLC	2430018000 2029 VIRGINIA AVE	3.40 04/12/22	2525 1836	RES	\$ 59,828	\$ 20,172	33.72
01487	STEVENS AUGUSTA LLC A GEORGIA LIMITED 2626 DRAYTON LLC A GEORGIA LIMITED	984007000 1847 WARREN ST	0.35	2292 1831	IMP RES	\$ 80,915	\$ 22,880	28.28
	STEVENS AUGUSTA LLC A GEORGIA LIMITED	353210000	0.11	856	IMP	\$ 00,913	Ψ 22,000	20.20
07021	WINFERY SANDRA STEVENSON REBECCA LYNN	3309 GREENING LN 1233122000	10/28/22 0.18	1864 1505	RES IMP	\$ 59,816	\$ 22,866	38.23
05525	GILLESPIE DYKE STEWART FELECIA MARCIA	1229 BROOKSTONE 402165000	08/03/22 0.12	1856 58	RES IMP	\$ 240,295	\$ 93,864	39.06
05305	ENGLAND NDRE B	3029 SPRING CREEK DR	08/03/22	1854	RES IMP	\$ 270,332	\$ 105,992	39.21
07870	STEWART JONATHAN W LEGACY PROCURANCE INC	1513045000 3123 VILLAGE CT	0.24	863 1867	RES	\$ 122,293	\$ 34,718	28.39
02866	STILL-STEVES M GABRIELLE WOOD JOSEPH C	110248000 2724 HENRY ST	0.14	601 1841	RES	\$ 428,417	\$ 163,434	38.15
07202	STILLWELL ANGELA W DEER MARY ELIZABETH	334012000 1525 JOHNS RD	0.46 10/25/22	1227 1863	IMP RES	\$ 175,930	\$ 42,097	23.93
	STOCK TRACY	443234000	0.17	2640	IMP	, ,		
03500	FOX THEDFORD F STOUFFER ROBERT/STOUFFER SYDNEY	3602 SAINT CROIX 311027000	06/06/22 0.61	1845 1051	RES IMP	\$ 219,276	\$ 76,784	35.02
05598	DROSS DAVID F STRATOSPHERE INVESTMENTS LLC	3029 CARDINAL 431104000	08/15/22 0.73	1854 2068	RES IMP	\$ 171,639	\$ 89,060	51.89
08439	FILARDI PATRICK C STRICKLAND KIMBERLY	2932 ARROWHEAD DR 180244000	12/05/22 0.10	1871 1960	RES IMP	\$ 167,262	\$ 45,362	27.12
	ECO SOLUTIONS INVESTORS LLC STUART NORMAN EUGENE/HAYNES	1149 MERCIER 593294000	08/11/22 0.12	1856 2436	RES IMP	\$ 51,492	\$ 12,193	23.68
	BAILEY SAMMY	924 FLORENCE	03/25/22	1836	RES	\$ 7,477	\$ 1,400	18.72
05381	SUCCOUR PROPERTY SOLUTIONS GA PAK MYONG OK	592260000 3082 DEANS BRIDGE	0.31 08/05/22	364 1854	COM	\$ 67,422	\$ 36,642	54.35
04335	SUCHITHPAL REDDY LANKALA BURCHETT MICHAEL G	962187000 307 WHITE ASH CT	0.34	48 1848	IMP RES	\$ 24,459	\$ 9,240	37.78
06003	SUNSHINE GUS HOMES RENTALS LLC MAYNARD HUNTER A ROFS/KATE J	194163000 3079 WESTWOOD	0.15 09/02/22	2019 1857	VAC RES	\$ 248,019	\$ 102,618	41.38
	SUPATTRA S RABIN	170079000	0.30	2202	IMP	. ,	. ,	
00685	LYONS STEVEN RODGER SURRY CANDID/PHILLIPS LAVERT A	1824 STARNES ST 354439000~LOT 4	01/14/22 0.18	1826 1947	RES IMP	\$ 206,860	\$ 89,301	43.17
08457	KELLEY MARGARET LOUISE SWIFT CYNTHIA	3380003090	12/09/22 4.29	1871 2798	RES IMP	\$ 214,549	\$ 54,190	25.26
01869	MCCOY THOMAS F TABBY'S PROPERTIES LLC	2314 BUCKINGHAM CT 1213117000	02/28/22	1833 2661	RES IMP	\$ 106,540	\$ 55,198	51.81
04205	ZIMMER KURT	2705 CARDIGAN CT	06/17/22	1847	RES	\$ 89,883	\$ 53,322	59.32
01706	TABBY'S PROPERTIES LLC MILLS BRIDGET	1410346000 1116 EIGHTH ST	0.25	1645 1832	IMP RES	\$ 94,249	\$ 54,7	313



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04355	WILKERSON CHARMAINE TABBYS PROPERTIES LLC	1300298000	06/10/22 0.23	1849 2038	RES IMP	\$ 79,530	\$ 43,807	55.08
06860	RANDALL C HAMIL TAEFA AYERS	1104117000	10/24/22 0.22	1863 1522	RES IMP	\$ 85,820	\$ 22,572	26.30
01872	WILLIAM O KEY III AND BRITTANY L BYERS TAKINA HOLLOMAN AND MARC	2007 SUMMER RIDGE 451371000	03/23/22 0.09	1834 73	RES IMP	\$ 232,175	\$ 102,480	44.14
05939	ROSS B MONTGOMERY	3105 SHELLEY 244135000	08/31/22 0.34	1857 1620	RES	\$ 207,683	\$ 73,262	35.28
01246	TAMARA D HENDERSON  ARELIS VALENTINE RODRIGUEZ	3145 BILSTON 403189000	03/01/22	1830 482	RES	\$ 196,425	\$ 74,218	37.78
03646	TAMARA WILSON WALLIS BLAKE W		06/06/22	1845 1725	RES IMP	\$ 175,421	\$ 63,634	36.28
02040	TAMMYRIA JENNINGS ABBIE G DAVIS	1410456000	03/31/22	1835	RES	\$ 65,092	\$ 27,207	41.80
07285	TAMRA L LAMAR COLEMAN PHILLIP O	1104190000 3922 WILLOWOOD RD	0.25	982 1865	RES	\$ 121,006	\$ 71,081	58.74
02935	TANG KAREN  MONTANER GUIOMAR DURAN	150072000	0.36 05/12/22	228 1841	RES	\$ 102,235	\$ 23,324	22.81
03434	TAWANNA LAWSHAWN LATHAN NIJU J PHILIP AND MEAGAN M PHILIP TAYLOR B GLOVER AND MARY KATHRYN	981147000 609 WESTBURY 251238000	5.18 06/02/22 0.34	1506 1844 2468	RES IMP	\$ 204,219	\$ 69,634	34.10
02972	PIERSON ROBERT J TAYLOR FREDDIE W/TAYLOR ROBERT	1960003010	05/10/22 6.28	1841 793	RES	\$ 159,911	\$ 96,044	60.06
05149	HICKMAN PATRICIA P TAYLOR FREDDIE/TAYLOR ROBERT W	2280029000	07/25/22	1853 1001	RES	\$ 111,565	\$ 52,112	46.71
00362	JACKSON RUTHIE TAYLOR GEORGE MITCHELL	2725 WHEELER 332032000	01/21/22	1824 1816	RES IMP	\$ 131,397	\$ 33,498	25.49
02530	SASSER BRADD W TAYLOR R LUNDE AND TERESA M LUNDE	120437000	04/25/22	1839 42	RES IMP	\$ 72,313	\$ 25,117	34.73
03862	BECKUM RUSSELL B TAYLOR ROBERT/TAYLOR EDDIE	1214023000	06/10/22 0.54	1846 2008	RES	\$ 139,395	\$ 53,787	38.59
04492	CLARK DAVID PATRICK JR TERESA HERNANDEZ AND GUSTAVO	2853 PINEVIEW 180032000	07/11/22 0.75	1850 35	RES IMP	\$ 255,313	\$ 64,509	25.27
07901	BRITTNEY C JONES TERESA JOHNSON	7026 REAGAN 303287000	12/02/22	1868 985	RES IMP	\$ 141,602	\$ 51,584	36.43
08243	TABER CAROL M TERESA S KITCHENS	1452 TROUPE 444254000	12/19/22 0.29	1870 336	RES IMP	\$ 210,258	\$ 74,900	35.62
06605	MARIE A CHISWELL TERESA SWAIN DAVIS AND DONELL SEMIKO	2732 VERNON 961158000	10/04/22 0.37	1861 1687	RES IMP	\$ 74,663	\$ 26,808	35.91
04380	ANTHONY'S ESTATES LLC TERRANCE BURTON	3071 WESTWOOD 170075000	07/01/22 0.27	1848 2504	RES IMP	\$ 287,496	\$ 109,650	38.14
06823	REAVES MAIER L ROFS/GEORGIETTA M TERRANCE J ALBEA	3918 RUTH 510104000	10/14/22 0.44	1862 2158	RES VAC	\$ 38,619	\$ 10,080	26.10
02876	THOMAS BRADLEY H TERRI MEGGS	110091840	05/09/22 0.16	1841 983	RES IMP	\$ 197,816	\$ 61,182	30.93
08345	JAMIE LEE DENMARK TERRI THOMPSON	1640178000	12/29/22 0.31	1870 2449	RES IMP	\$ 169,408	\$ 60,017	35.43
08051	ANTONIA D AUTRY AND TERESA M EVANS TH REAL ESTATE LLC	2635 ROYAL 341237000	11/18/22 0.10	1869 258	RES IMP	\$ 38,619	\$ 21,255	55.04
04176	GIBSON KAYLA IMAN THE BFT GROUP LLC	24 WALKER ST 474430000	06/24/22	1848 318	RES	\$ 56,090	\$ 29,729	53.00
06674	COGLE WILLIAM S THE FLIPPIN BOWMANS LLC	1210139000	09/22/22	1862 741	RES	\$ 59,130	\$ 32,797	55.47
01085	ANGUILLA MIRIAM U THE HALE FOUNDATION INC	1048 REDBIRD RD 201106010~LOTS 29 & 30, SEC D,	02/24/22	1830 676	RES	\$ 153,193	\$ 67,292	43.93
06007	SIM S JOHNSON JR THE HOME STATION LLC	2220037000	09/02/22 0.56	1857 2219	RES IMP	\$ 24,888	\$ 14,265	57.32
07023	HUDSON LISA H THE O'DONNELL GROUP	2303 WILLOW CREEK CT 252167000	09/30/22 0.13	1864 979	RES	\$ 287,410		314



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
07782	TURNER TONYA THE ROMAN GROUP LLC	1213069000	10/28/22 0.37	1867 950	RES IMP	\$ 85,820	\$ 54,235	63.20
08552	CASTELLINO CANDICE/HALL GRAHAM B	314142000	12/20/22	1872 2695	RES IMP	\$ 189,447	\$ 57,300	30.25
08029	THEODOSAKIS CHRIS ENGLISH VIRGINIA ELIZABETH BRUGAM	2262 LYNDA	12/02/22	1868	RES	\$ 128,729	\$ 41,359	32.13
	THERESA ANN EVANGELISTA GOSAI AND	972143000	0.31	2495	IMP			
05820	SIMON JOANNE	2705 SMITH CREEK RD	08/25/22	1856	RES	\$ 154,475	\$ 69,878	45.24
	THI LE PHUONG DUNG	133058000	0.33	1132	IMP			
04204	ELLER ENOCH B JR/TAMARA L		06/23/22	1847	RES	\$ 118,328	\$ 39,190	33.12
	THOMAS B MACIEJEWSKI	1223147000	0.23	2099	IMP			
06877	GILLIARD EVANS L III THOMAS BRADY AND MICHELLE BRADY AS	1651049000	10/20/22 0.59	1863 662	RES IMP	\$ 231,713	\$ 83,919	36.22
08291	HUTCHESON ANNE P	1031043000	12/22/22	1870	RES	\$ 290,928	\$ 100,121	34.41
00291	THOMAS CASON WEST II	264135000	0.62	2155	IMP	\$ 290,926	\$ 100,121	34.41
05751	LANDWHO OF GEORGIA LLC AND GEORGE S	3625 KARLEEN RD~10	08/26/22	1857	RES	¢ 00 603	¢ 50 000	E0 0E
05/51	THOMAS CLARENCE D/GORDON KAREN	1280081000~A	0.49	76	IMP	\$ 98,693	\$ 58,082	58.85
07121	VERNITA HOLMAN		10/28/22	1864	RES	\$ 180,221	\$ 57,502	31.91
07 121	THOMAS E SEIBERT	2140241000	0.37	666	IMP	Ψ 100,221	ψ 07,502	01.51
04238	STEWART DAVID		06/16/22	1848	RES	\$ 145,161	\$ 42,866	29.53
	THOMAS III RONALD J/THOMAS JEAN	1190294000	0.24	1322	IMP	. ,	. ,	
01807	BANKUS JOHN E	2620 NEW HOPE CIR	03/15/22	1834	RES	\$ 334,113	\$ 125,655	37.61
	THOMAS MICHAEL A/THOMAS NATASHA M	2940048000	1.00	1265	IMP			
01875	FRANKLIN MILLICENT V		03/25/22	1835	RES	\$ 183,184	\$ 61,698	33.68
	THOMAS MYLE G/THOMAS IDELLA G	423079000	0.27	251	IMP			
02035	KADO HERBERT JERALD		03/04/22	1836	RES	\$ 133,162	\$ 64,674	48.57
	THOMAS PATRICIA A	1440041000	0.31	187	IMP			
06265	JARVIS BRENDA L		08/31/22	1860	RES	\$ 150,098	\$ 47,570	31.69
	THOMAS TAMETRA	1530522000	0.36	737	IMP			
03798	O'KEEFE SUSAN A	421 WAVERLY DR	06/07/22	1845	RES	\$ 424,224	\$ 131,682	31.04
00404	THOMPSON COLIN J/THOMPSON KELLY W	240091000~19, J	0.39	2193	IMP	# 00 050	004745	50.04
06131	WELLS FARGO USA HOLDINGS INC	2903 MILLEDGEVILLE RD	08/30/22	1858	RES IMP	\$ 68,656	\$ 34,745	50.61
03881	THOMPSON DEADRA MILES SR CECIL B	702044000	0.80	1066 1846	RES	\$ 249,301	\$ 86,963	34.88
03001	THOMPSON EMELINE	1980086000	0.45	1978	IMP	ψ 249,301	φ 60,903	34.00
06204	FINLEY GREGORY D	2711 LOREN PKWY	09/23/22	1860	RES	\$ 145,808	\$ 37,837	25.95
00201	THOMPSON TERICA	1290368000	0.47	2133	IMP	ψ 1 10,000	ψ 07,007	20.00
01094	SCOTT JAN MICHAEL SR	2318 GOLDEN CAMP	02/10/22	1829	RES	\$ 4,019	\$ 2,323	57.80
	THURMOND GEORGE SR	694104000	0.34	1350	VAC	, , , , , ,	, , , , , ,	
02905	STEPHENSON STEPHEN L	1250 MERRY ST	05/09/22	1841	COM	\$ 108,115	\$ 34,291	31.72
	THURMOND GEORGE/THURMOND ANNNETTE	451360000	0.19	700	IMP			
01791	KORKIS DONALD JEFFREY	1106 MILLEDGE RD	03/29/22	1834	RES	\$ 507,646	\$ 165,501	32.60
	TICKNOR TANNER	442110000	0.26	1724	IMP			
02787	GARNETT S MACMILLAN		05/04/22	1840	RES	\$ 132,756	\$ 44,663	33.64
	TIFFANY BURKE JUSTICE	74023000	0.08	1897	IMP			
05891	FARMER VALERIE M		08/26/22	1856	RES	\$ 178,934	\$ 52,870	29.55
	TIMOTEO MANCILLA	1770035000	0.35	1613	IMP			
04336	TERRIE DINKINS	3367 BRAESWOOD	06/30/22	1849	RES	\$ 208,542	\$ 82,045	39.34
00050	TIMOTHY GARCIA AND DEYSY TREVINO AS	411028000	0.52	115	IMP	₾ 040 40 <del>7</del>	£ 444 400	25.00
02359	MASTHEAD LANDING LLC TIMOTHY LEE FILE	5411 COPSE 640188000	04/12/22 0.32	1837 345	RES IMP	\$ 312,487	\$ 111,482	35.68
06015	LANCE HALVORSON	3424 HEATHER	09/06/22	1858	RES	\$ 270,332	\$ 99,717	36.89
00010	TIMOTHY WUU	323064000	0.44	162	IMP	Ψ 210,332	υ σσ, ι ι ι	30.09
06332	VUPPULA GOURI P	2112 HAROLD RD	09/13/22	1859	RES	\$ 87,536	\$ 26,686	30.49
	TINTENFISCH BUSINESS VENTURES LLC	983191000	0.34	2547	IMP	\$ 57,000	\$ 25,000	-0.10
04611	DAVID L AVRETT	2559 WALTON	07/11/22	1850	RES	\$ 763,794	\$ 302,951	39.66
	TODD ALLEN HEUSSNER AND LINDA J	343069000	0.43	275	IMP			
03848	KEITH A STARR	817 LAKE TERRACE	06/14/22	1847	RES	\$ 69,664	\$ 23,7	5
	1	203257000	1	267	IMP	l '		315



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
04668	WEIJUN GU AND LENNY SIE TODD LANGSTON JEFFRIES JR AND TASHA	846 BURLINGTON 671155000	07/15/22 0.20	1851 160	RES IMP	\$ 300,369	\$ 127,628	42.49
04412	POWELL JR JAMES B TODD MOSES	2747 DEANS BRIDGE RD 854079000	05/11/22 0.57	1849 608	RES IMP	\$ 48,021	\$ 20,207	42.08
06507	LOTT CHARLES M TOLBERT HOLDINGS LLC	2837 LUMPKIN RD 843210000	09/23/22 0.19	1861 796	RES IMP	\$ 137,311	\$ 32,898	23.96
00957	RICHARD D ROGERS TOM W CELY	1533 CRAIG 441206000	02/21/22	1829 140	RES	\$ 75,826	\$ 36,117	47.63
00958	RICHARD D ROGERS TOM W CELY	1541 CRAIG 443017000	02/21/22	1829 137	RES IMP	\$ 81,585	\$ 47,311	57.99
04984	ZHENG SHUYI TOMLINSON NICHOLAS L	2025 RESERVE LN 73090000	07/29/22	1852 1447	RES	\$ 165,632	\$ 62,442	37.70
01398	R C POWELL TONJANIKA JACKSON	2314006000	03/11/22	1831 2005	RES VAC	\$ 43,027	\$ 9,744	22.65
05500	ROLAX MARY R TONY REED	1650130000	08/19/22	1855 1508	RES IMP	\$ 205,967	\$ 64,443	31.29
06220	REEVES WALTER SAMUEL JR TORABI INVESTMENT GROUP LLC	519 MARTIN 331087000	09/08/22	1859 1397	RES	\$ 141,602	\$ 66,932	47.27
06227	ERWIN SARAH B TORABI INVESTMENT GROUP LLC	3023 WRIGHTSBORO 431153000	09/16/22	1859 1414	RES	\$ 171,639	\$ 62,383	36.35
03978	STEVEN CARLY M TOWING ATL LLC	983208010	06/10/22 5.18	1846 1409	RES	\$ 92,289	\$ 33,010	35.77
04016	ALFRED MOON AND CLARA MOON TRACY PHELPS ANDCOOPER PHELPS	1217 REID 324041020	06/17/22	1847 931	RES	\$ 266,610	\$ 106,761	40.04
05591	SUTTON SHANNON W TRAN PHUONG H	7023 ANTILLES 304097000	08/02/22	1855 2105	RES	\$ 155,333	\$ 59,304	38.18
08157	MICHELLE VAN KLEECK AND JONATHAN S TRAVIS KIMMEL AND CATHERINE KIMMEL AS	5003 CHARLIE 664158000	12/16/22	1870 739	RES	\$ 323,969	\$ 120,653	37.24
01224	SUMNER GARY S TREJO ANGELA	1603 FOREST CREEK 542192000	03/07/22	1830 2134	RES	\$ 144,122	\$ 46,477	32.25
05407	SKINNER LEONARD THOMAS TREJO MARCELINO	3857 HENSLEY RD 1680064040	08/12/22	1855 1249	RES VAC	\$ 10,298	\$ 4,200	40.78
01081	ARTHUR TAYLOR D TRICKEL JACK/TRICKEL JESSICCA LYNNE	1521081000	02/22/22	1829 1366	RES IMP	\$ 285,792	\$ 83,361	29.17
08599	TROTTER BROTHERS LLC	525 A PLEASANT HOME RD 163008000	0.33		COM	\$ 285,365	\$ 86,882	30.45
00102	HENSLEY PATRICIA A TROTTER IV WILLIAM A	2846 WALTON WAY 334060110~5	01/13/22 0.09	1822 1938	RES IMP	\$ 153,535	\$ 35,740	23.28
00058	CAGLE STEVEN J TRUITT MARY Y	1962001000	01/04/22 4.70	1822 54	RES IMP	\$ 468,889	\$ 209,519	44.68
05864	HEBBARD JOHN H JR TRUMPET IN ZION FELLOWSHIP INC A	2809 WYLDS RD 540083020	09/01/22 2.14	1857 1529	COM	\$ 740,091	\$ 345,345	46.66
01572	HOOPER THOMAS E TUCKER PHILLIP	2216 WINDSOR SPRING RD 1212050000	02/23/22 0.40	1833 1676	RES IMP	\$ 162,902	\$ 59,320	36.41
00323	WILLIAMS ANTHONY TURNER BRANDON L	1031 PLEASANT VALLEY DR 2710042000	01/24/22 0.61	1825 58	RES IMP	\$ 270,017	\$ 56,062	20.76
07878	NYAH LUXURY RENTALS LLC TURNER ERIC A	1702026000	12/02/22 0.08	1868 505	RES IMP	\$ 114,140	\$ 42,725	37.43
08608	TURNER JERRY W	1245 GORDON PARK RD 590054000	0.23		COM	\$ 64,771	\$ 26,809	41.39
05465	CARTER JULIAN TURNER SHAMEKA CHENIQUE	2218 BUNGALOW RD 863054000	08/09/22 0.21	1855 1322	RES IMP	\$ 84,961	\$ 42,038	49.48
06682	MARTIN ROBERT DANIEL ROFS/SHREE H TURTURRO CHRISTOPHER	422 KEMP DR 252024000	08/26/22	1862 651	RES IMP	\$ 188,803	\$ 94,466	50.03
03590	ZHANG ZHENRONG ROFS TYLER LIPSCOMB AND THAO UYEN LE	43045000	06/01/22 5.18	1844 2413	RES IMP	\$ 254,621	\$ 82,499	32.40
04795	PILCHER-HARDY RENTALS LLC A GEORGIA	1831 GORDON HWY	07/27/22	1852	СОМ	\$ 171,603	\$ 44,7	316



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Sample	Purchaser / Owner	Map/Parcel~SLB	Sale Date	Deed Book	Prop	Price	Assessment	Ratio
02030	WARD ILSE M TYLER TIMOTHY	1430181000	03/29/22	1835 576	RES IMP	\$ 130,405	\$ 49,790	38.18
01045	PINEY HEIGHTS LLC TYREKE HARRIS	3050019000	02/25/22 0.43	1829 1285	RES IMP	\$ 25,084	\$ 10,251	40.87
05088	CATAMOUNT PROPERTIES 2018 LLC	5098 COPSE	08/02/22	1853	RES	\$ 296,078	\$ 125,394	42.35
	TYRELL ANNIE M	640059000	0.26	2473	IMP			
01253	KB7 REAL ESTATE CREATIONS LLC TYRONE BLACKWOOD	2953 BRIDGEPORT 520455000	03/08/22	1831 23	RES IMP	\$ 175,286	\$ 57,587	32.85
08343	HERNANDEZ CHRISTOPHER AND EMILY ROFS		12/28/22	1870	RES	\$ 158,766	\$ 37,924	23.89
000.0	ULANDA R HICKS	542019000	0.24	2245	IMP	ψ 100,700	\$ 0.,02.	20.00
02168	SONG INSEOK AND SAJIN ROFS		04/20/22	1838	RES	\$ 155,402	\$ 45,549	29.31
	UN CHA KIM	122313000	0.06	1180	IMP			
04499	WILLIAM STEVE GARRISON AND NANCY		07/13/22	1850	RES	\$ 223,131	\$ 81,249	36.41
	UNION TEAM RENTALS LLC	760022000	5.18	1484	IMP			
03909	NORDAHL TAMMY	1574 GOSHEN RD 1990106000	06/13/22 0.17	1846 1814	RES IMP	\$ 69,727	\$ 28,269	40.54
04464	UNRUH INVESTMENTS LLC A GEORGIA WHITTLE CHARLENE DUNAWAY	2629 MILLEDGEVILLE RD	0.17	1850	RES	¢ 44 626	¢ 24 669	55.28
04404	UPTOWN PROPERTY MANAGEMENT LLC	713015000	0.32	735	IMP	\$ 44,626	\$ 24,668	33.26
08300	KEY BILLIE L	2725 INGLESIDE DR	12/19/22	1870	RES	\$ 240,295	\$ 92,056	38.31
	URENA JUAN G	252144000	0.39	1699	IMP			
01947	HOPKINS WILLIAM C	2248 CUMMING	03/02/22	1835	RES	\$ 2,191,284	\$ 697,041	31.81
01873	UROS NICHOLAS MICHAEL/DORMINEY-UROS  J ASHLEY HOLDINGS LLC	344147060 7224 CURACAS	2.09	1527 1834	IMP RES	\$ 164,630	\$ 63,590	38.63
01073	URSULA A PANKEY	402077000	0.11	56	IMP	ψ 104,030	ψ 03,390	30.03
08611	ONOULA AT ANNET	1885 TOBACCO RD	0.11	30	IND	\$ 1,435,698	\$ 387,997	27.02
00011	USB PROPERTIES LLC	1570004010	5.02		IMP	ψ 1,433,030	Ψ 301,331	27.02
03009	ASKIN ENTERPRISES LTD CO	1123 HEPHZIBAH MCBEAN ROAD	05/02/22	1842	RES	\$ 9,951	\$ 4,958	49.82
	USHER TRAVIS L	3370062000~LOT 7, BLOCK A,	0.91	656	VAC	. ,		
00037	KLOSINSKI BOWEN A	578 MARTIN	01/10/22	1822	RES	\$ 204,043	\$ 64,698	31.71
	USRY ANNMARIE/USRY MATTHEW	253074000	0.43	689	IMP			
01368	PREFERRED RENTAL PROPERTY INC	1622 CLEVELAND	03/15/22	1832	RES	\$ 81,525	\$ 25,105	30.79
	VANCE PAUL/WASHINGTON VINCENT/PROUTY	452106000	0.19	853	IMP			
03868	GRANONE GARRETT	7029 SUMMERTON 653182000	06/13/22 0.21	1846 2057	RES IMP	\$ 252,761	\$ 94,758	37.49
00536	VAUGHEN IV ALVIE THEODORE HEPPEL JOHN EDWARD	3121 SUSSEX	02/04/22	1826	RES	\$ 257,805	\$ 111,434	43.22
00556	VAUGHT MATTHEW TODD	242105000	0.33	1168	IMP	\$ 257,005	φ 111,434	43.22
01979	BLACKBURN JONATHAN BROOKS		03/31/22	1836	RES	\$ 79,040	\$ 30,678	38.81
	VAZQUEZ TRACY	854002000	5.18	447	IMP			
02422	ROLAND FRANCES LUTHER	1911 WILLIAMS DR	04/19/22	1838	RES	\$ 50,320	\$ 19,330	38.41
00550	VB ONE LLC	1233011000	0.17	283	IMP	<b>*</b> 4 40 4 40	A 70 005	47.40
02550	KING-WILLIAMS INESHA G	4520 CASTLE ROCK RD 662162000	04/26/22	1839 139	RES IMP	\$ 149,142	\$ 70,835	47.49
02539	VB ONE LLC ALEXANDER DAVID ALLEN	2503 LUMPKIN RD	0.22			¢ 00 961	¢ 25 047	25.00
02539	VB ONE LLC	973195000	0.21	1839 1506	RES IMP	\$ 99,861	\$ 35,847	35.90
03103	WILLIAMSON RONALD R	2571 RHODES DR	05/18/22	1842	RES	\$ 62,445	\$ 29,791	47.71
	VB ONE LLC	981106000	0.21	2321	IMP	<b>,</b> , , , , ,	<b>V</b> = 3,1 3 1	
03330	JONES JEANNA L	2552 SHERATON DR	05/24/22	1843	RES	\$ 62,114	\$ 22,514	36.25
	VB ONE LLC	973153000	0.25	1858	IMP			
03251	HOLCOMBE JACK	3504 BILTMORE PL	05/12/22	1842	RES	\$ 62,776	\$ 28,321	45.11
00040	VB ONE LLC	1200542000	0.21	9	IMP	A 04 700	0.04.407	05.04
03310	BUSSEY WILLIE VB ONE LLC	2513 PARKWAY DR 562088000	05/23/22 0.25	1843 1312	RES IMP	\$ 81,708	\$ 21,167	25.91
03667	DUNN KEITH	3316 SADDLEBROOK DR	0.23	1844	RES	\$ 128,747	\$ 50,344	39.10
55001	VB ONE LLC	1290529000	0.22	1982	IMP	ψ 120,747	ψ 50,544	33.10
03752	RW RENOVATION INC	2918 WALTERS CT	06/07/22	1846	RES	\$ 83,735	\$ 20,008	23.89
	VB ONE LLC	254034000	0.22	959	IMP			
03753	LOMBARD NICHOLAS M	3498 MONTE CARLO DR	06/07/22	1846	RES	\$ 116,112		247
	VB ONE LLC	1320369000	0.28	957	IMP			317



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03783	MAKERSON RICHARD  VB ONE LLC	3022 LONSDALE DR 1103216000	06/08/22 0.27	1846 953	RES IMP	\$ 102,437	\$ 40,075	39.12
03784	SHIPES SR ALLEN D	3632 ELLIOTT BLVD	06/07/22	1846	RES	\$ 87,632	\$ 38,838	44.32
	VB ONE LLC	1320164000	0.23	949	IMP			
03987	WILLIAMSON RONALD R	3567 MORGAN RD	06/07/22	1846	RES	\$ 87,147	\$ 32,701	37.52
	VB ONE LLC	1290214000	0.46	961	IMP			
03988	FARRAR DANIEL L	3304 SADDLEBROOK DR	06/09/22	1846	RES	\$ 126,837	\$ 47,836	37.71
	VB ONE LLC	1290535000	0.27	951	IMP			
04113	HOWARD JARAID S	2132 CHADWICK RD	06/27/22	1848	RES	\$ 97,243	\$ 41,641	42.82
	VB ONE LLC	1320116000	0.42	873	IMP			
03993	TOMBLIN CHRISTOPHER V	2314 OVERLOOK RD	06/16/22	1847	RES	\$ 108,653	\$ 32,018	29.47
	VB ONE LLC	972177000	0.28	1319	IMP			
04080	COWANS MARY L	2212 WINSTON WAY	06/22/22	1847	RES	\$ 86,450	\$ 33,340	38.57
	VB ONE LLC	1310074000	0.27	2122	IMP			
04149	HOWARD CARL/LEONTEEN	3043 DORN CT	06/22/22	1847	RES	\$ 83,673	\$ 23,711	28.34
	VB ONE LLC	694130000	0.34	1974	IMP			
04316	ROBERT AND JOAN BONSER	3704 ROME WAY	06/28/22	1848	RES	\$ 85,977	\$ 33,448	38.90
	VB ONE LLC	820443000	0.23	1570	IMP			
04594	HUDSON HOLDINGS CSRA LLC	3441 WAYSIDE DR	07/06/22	1849	RES	\$ 94,402	\$ 40,744	43.16
	VB ONE LLC	1333005000	0.51	2483	IMP			
05090	KOONE JAMES M III AND SUSAN J	1425 RIDGEWOOD DR	08/10/22	1854	RES	\$ 120,062	\$ 35,161	29.29
	VB ONE LLC	412175000	0.18	1660	IMP			
05099	HARRIS JR ANTHONY L	3611 BROOKSHIRE RD	08/10/22	1854	RES	\$ 111,565	\$ 44,893	40.24
	VB ONE LLC	1200321000	0.23	1140	IMP			
04626	CSRA PROPERTY GROUP LLC	1810 EMPRESS AVE	07/13/22	1850	RES	\$ 107,274	\$ 39,649	36.96
	VB ONE LLC	1224122000	0.24	1960	IMP			
05343	NIXON HOLDINGS LLC	2629 DRAYTON DR	08/04/22	1853	RES	\$ 113,282	\$ 43,351	38.27
	VB ONE LLC	1060024000	0.22	1915	IMP			
05449	THE PROPERTY PROFESSIONALS LLC	2409 FAIRMONT ST	08/15/22	1855	RES	\$ 111,480	\$ 39,292	35.25
	VB ONE LLC	853203000	0.30	429	IMP			
04792	KACOS ANNE-RUTLEDGE L AND WIL	3023 JEANNE RD	07/19/22	1851	RES	\$ 80,241	\$ 23,095	28.78
	VB ONE LLC	961058000	0.26	2180	IMP			
04807	GREENE JOE D	3707 ANDOVER CT	07/21/22	1852	RES	\$ 111,565	\$ 56,453	50.60
	VB ONE LLC	1300829000	0.24	391	IMP	, ,		
04873	CARDELL MURRAY AND NUTASHA	3681 WOODCOCK DR	07/19/22	1851	RES	\$ 114,998	\$ 49,369	42.93
	VB ONE LLC	1290287000	0.33	2182	IMP	, , , , , , , , , , , , , , , , , , , ,	, ,,,,,,,,	
06128	TOOLE WALLACE S JR	1922 FAIRWAY DR	09/12/22	1858	RES	\$ 68,656	\$ 33,591	48 93
	VB ONE LLC	1331128000	0.73	1935	IMP	, ,,,,,,,	, , , , , ,	
06151	JONES PAUL C	2067 FERNWOOD	09/08/22	1858	RES	\$ 150,184	\$ 63,006	41.95
00101	VB ONE LLC	1101081000, 1224165000	0.51	1154	IMP	ψ 100,101	Ψ 00,000	11.00
06105	HUDSON JEAN MARIE	2117 CLAIRMONT DR	09/12/22	1858	RES	\$ 136,453	\$ 41,326	30.29
00100	VB ONE LLC	562210000	0.31	2602	IMP	Ψ 100,400	ψ 41,520	00.23
06099	DIX PAUL	5313 TIMERWOOD DR	09/15/22	1859	RES	\$ 130,446	\$ 54,119	41.49
00033	VB ONE LLC	2330135000	0.37	523	IMP	\$ 130,440	\$ 54,119	41.43
06305	OGLESBY RAYMOND		09/12/22			¢ 72 047	¢ 20 290	27.05
06385		2437 MADRID DR 820216000	0.24	1859 979	RES IMP	\$ 72,947	\$ 20,389	27.95
00404	VB ONE LLC					ф <b>77</b> 000	¢ 00 700	00.40
06431	NORMAN FRANK	3415 WEBSTER RD	09/15/22	1859	RES	\$ 77,238	\$ 22,708	29.40
	VB ONE LLC	1080201000	0.22	969	IMP			
06439	DAMON WILLIAM G II	3205 BUCKEYE CT	09/21/22	1860	RES	\$ 124,438	\$ 55,603	44.68
	VB ONE LLC	1430463000	0.35	398	IMP			
06467	REBECCA BUCHWITZ LAMB F/K/A REBECCA	4037 BURNING TREE LN	09/26/22	1860	RES	\$ 125,297	\$ 51,498	41.10
	VB ONE LLC	1980170000	0.31	2742	IMP			
06524	KELLY ROOSEVELT L		10/03/22	1861	RES	\$ 107,274	\$ 33,578	31.30
	VB ONE LLC	1400109000	0.37	2139	IMP			
04940	RUCKER YOLANDA A	2623 CLAYMONT RD	07/21/22	1852	RES	\$ 85,838	\$ 52,345	60.98
	VB ONE LLC	1300666000	0.30	1737	IMP			
06708	BOYD WILLIE L	2710 BENNINGTON DR	08/04/22	1862	RES	\$ 85,820		7
	VB ONE LLC	1300486000	0.38	886	IMP			318



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
06813	ADAMS JEANETTE VB ONE LLC	1520388000	10/11/22 0.39	1862 1872	RES IMP	\$ 118,431	\$ 47,422	40.04
06824	CATAMOUNT PROPERTIES 2018 LLC VB ONE LLC	3336 IDLEWILD 414174000	10/11/22	1862 2015	RES IMP	\$ 128,644	\$ 46,042	35.79
07619	COPING BARBARA		11/09/22	1866 1208	RES	\$ 81,529	\$ 27,411	33.62
07565	VB ONE LLC MORRIS JAMES D	843133000	11/10/22	1866	RES	\$ 107,274	\$ 35,531	33.12
06034	VB ONE LLC BURTON RICKY R	1530001010 2112 HILLSINGER RD	0.46 09/01/22	1346 1857	RES	\$ 113,282	\$ 38,590	34.07
06037	VB ONE LLC MERCER SHERRY	564115000 2005 CARP DR	0.24	2020 1858	RES	\$ 77,238	\$ 33,256	43.06
06993	VB ONE LLC WOBIL CHARLES A	862095000	0.22 10/26/22	669 1865	IMP RES	\$ 120,062	\$ 54,838	45.67
07071	VB ONE LLC LYONS DERRICK T	1070743000	0.43 10/24/22	364 1864	IMP RES	\$ 111,565	\$ 29,496	26.44
07278	VB ONE LLC 4 T'S INVESTMENT LLC	1400127000	0.39	2665 1864	IMP RES	\$ 145,035	\$ 50,944	35.13
07124	VB ONE LLC LAFONTAINE KERRY	1070746000	0.22	1896 1864	IMP RES	\$ 61.790	\$ 30,252	48.96
07252	VB ONE LLC TAYLOR CARLA D	1222322000	0.26	1870	IMP RES	\$ 119.289		
	VB ONE LLC	1400049000	0.29	1864 2710	IMP		\$ 37,172	31.16
07033	KLETZ SCOTT L VB ONE LLC	1530234000	11/01/22 0.37	1865 359	RES IMP	\$ 117,573	\$ 48,314	41.09
07034	BAKER-LANGFORD ANJOLI VB ONE LLC	1070895000	10/25/22 0.15	1865 400	RES IMP	\$ 120,147	\$ 31,593	26.30
00089	STEINBERG STEPHEN H VB ONE LLC	2018 DUNHAM CT 1103076000	01/18/22 0.18	1823 2222	RES IMP	\$ 54,263	\$ 24,130	44.47
00090	SCOTT JAN MICHAEL SR VB ONE LLC	2316 GOLDEN CAMP RD 694105000	01/18/22 0.34	1823 2226	RES IMP	\$ 67,583	\$ 21,129	31.26
00197	FITTER JAY VB ONE LLC	2511 BECKET CT 1070469000	01/06/22 0.25	1824 688	RES IMP	\$ 91,140	\$ 23,300	25.57
00202	FITTER JAY VB ONE LLC	1981 NEPTUNE DR 1224217000	01/06/22	1824 22	RES IMP	\$ 92,335	\$ 21,154	22.91
00207	NIXON HOLDINGS LLC VB ONE LLC	3636 MEADOWLARK RD 1190030000	01/06/22	1822 1698	RES IMP	\$ 110,065	\$ 42,391	38.51
00208	YOU TAO VB ONE LLC	2922 PANHANDLE CIR 1200275000	01/06/22	1823 1025	RES IMP	\$ 97,614	\$ 25,526	26.15
00209	ST STEPHENS LLC VB ONE LLC	2616 TEAKWOOD DR 1530301000	01/04/22	1822 1694	RES IMP	\$ 97,768	\$ 34,236	35.02
00103	CARPENTER NICOLE	2930 ROLLINGWOOD DR	01/18/22	1823	RES	\$ 98,661	\$ 30,424	30.84
00104	VB ONE LLC MOORE BEVERLY A	1070589000 3051 HAWTHORNE DR	0.25	2230 1823	RES	\$ 96,688	\$ 28,144	29.11
00121	VB ONE LLC HAMILTON HEATHER RENEE SHEETS	962086000 3532 WOODLAKE RD	0.23	2232 1823	RES	\$ 114,408	\$ 58,741	51.34
00129	VB ONE LLC PRATT WYATT C	1310184000 3507 HEMSTEAD CT	0.27	122 1823	RES	\$ 132,476	\$ 51,066	38.55
00311	VB ONE LLC ESTROFF MALCOLM C	1310148000 2509 COLEMAN AVE	0.27	2364 1824	IMP RES	\$ 53,022	\$ 17,615	33.22
00343	VB ONE LLC GREENE STREET RESTORATIONS LLC	982089000 2843 ROCKY CREEK ROAD	0.28 01/24/22	990 1824	IMP RES	\$ 82,773	\$ 28,997	35.03
00452	VB ONE LLC CAREY WILLIW J	854012000 2660 CRANBROOK DR	0.28 01/31/22	983 1825	IMP RES	\$ 112,282	\$ 42,484	37.84
00478	VB ONE LLC SEYMORE DANA T	1300339000 1840 DERBY DRIVE	0.28 02/03/22	1486 1826	IMP RES	\$ 102,270	\$ 34,783	34.01
00447	VB ONE LLC PERRINE ROBERT	712149000 3614 GIBRALTER CT	0.24	1328 1825	IMP RES	\$ 123,603		h
00447	VB ONE LLC	1410298000	0.27	2126	IMP	φ 123,603		319



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00556	BATES BRUCE VB ONE LLC	2435 SUMAC DR 844206000	02/10/22 0.26	1827 475	RES IMP	\$ 67,794	\$ 25,433	37.52
00639	R2 PROPERTIES LLC VB ONE LLC	2352 BERLIN DR 820426000	02/09/22 0.23	1826 2361	RES IMP	\$ 92,561	\$ 40,180	43.41
01707	CRW HOLDINGS LLC VB ONE LLC	2804 CORNELIA RD 852035000	03/30/22	1834 2528	RES IMP	\$ 112,146	\$ 24,570	21.91
00743	ESTROFF MALCOM C VB ONE LLC	3635 MEADOWGROVE DR 1070231000	02/15/22	1828 516	RES IMP	\$ 67,518	\$ 25,969	38.46
00762	VASQUEZ MIGUEL K VB ONE LLC	6 WHITNEY CT 573229000	02/17/22 0.19	1828 1162	RES IMP	\$ 105,927	\$ 60,678	57.28
00908	INSPIRE HOMES LLC VB ONE LLC	2401 MICKEY CT 1530333000	02/22/22	1829 563	RES IMP	\$ 120,167	\$ 30,203	25.13
00863	MARCUCCI SAMUEL SANTANA VB ONE LLC	2640 CROSSCREEK RD 1300264000	02/22/22 0.29	1828 2744	RES	\$ 133,306	\$ 39,998	30.00
00897	NIXON HOLDINGS LLC	2674 BARCLAY ST 1300371000	02/22/22	1829 447	RES IMP	\$ 132,347	\$ 46,118	34.85
00963	VB ONE LLC MILLER BARRY D VB ONE LLC	3012 ALENE CT 1070388000	02/21/22	1828 2283	RES IMP	\$ 81,105	\$ 32,860	40.52
01560	CSRA4RENT LLC VB ONE LLC	3123 TATE RD 843065000	03/17/22	1833 20	RES	\$ 118,555	\$ 25,686	21.67
01595	BINNS JR CARROLL D VB ONE LLC	2147 KINGSLEY CT 1321020000	03/16/22	1832 1957	RES IMP	\$ 135,511	\$ 33,683	24.86
01596	MONTGOMERY CHARLES E VB ONE LLC	3435 GEBHART CT 1190586000	0.36	1832 1963	RES	\$ 90,479	\$ 45,463	50.25
01626	THEZINE THIERRY A	3626 AUDUBON PL 1190090000	03/09/22	1833	RES IMP	\$ 90,933	\$ 41,153	45.26
01911	VB ONE LLC SAMS ROBERT LEE JR	3490 CACTUS CT	0.36 03/22/22 0.26	254 1834 238	RES IMP	\$ 84,796	\$ 24,586	28.99
01762	VB ONE LLC BONSER ROBERT	1080028000 2615 CAIRO DR	03/30/22	1835	RES	\$ 83,761	\$ 34,406	41.08
01877	VB ONE LLC OGLESBY RAYMOND BERNARD	1060061000 2342 PRAGUE CT	0.24 03/29/22 0.26	230 1834 2185	RES IMP	\$ 60,545	\$ 19,021	31.42
01932	VB ONE LLC BURTON RICKY R	820150000 2121 EASTLAND DR 562149000	04/06/22	1836 89	RES IMP	\$ 92,516	\$ 29,914	32.33
01976	VB ONE LLC GLOVER DANNY G VB ONE LLC	2720 FLEMING DR 983129000	04/04/22	1835 1737	RES IMP	\$ 63,852	\$ 22,449	35.16
02076	SAPP YOLANDA VB ONE LLC	2665 CROSSCREEK RD 1300231000	04/07/22 0.26	1836 1074	RES IMP	\$ 85,967	\$ 43,787	50.93
02069	MAKERSON RICHARD JR VB ONE LLC	1827 MEDLAR ST 1102180000	04/07/22	1836 1233	RES IMP	\$ 80,882	\$ 38,152	47.17
01415	THE KHALIFA GROUP LLC VB ONE LLC	3057 ACORN RD 962099000	03/14/22	1832 413	RES IMP	\$ 67,916	\$ 23,342	34.37
01377	ANDERSON RAYMOND C VB ONE LLC	2633 CARRINGTON DR 1520237000	03/15/22	1832 1752	RES IMP	\$ 98,962	\$ 40,628	41.05
01522	HAMMOCK HAVEN PROPERTIES LLC VB ONE LLC	3643 ALENE CIR 1070408000	03/15/22	1832 1720	RES IMP	\$ 83,646	\$ 28,655	34.26
01528	BUTLER GEORGE VB ONE LLC	3441 MURPHY CT 1320003000	03/10/22	1831 2565	RES IMP	\$ 118,304	\$ 28,815	24.36
02104	SAXON WESLEY VB ONE LLC	2115 ASHLEY DR 1320035000	04/07/22	1836 1037	RES IMP	\$ 115,546	\$ 46,390	40.15
02763	CSRA HOUSINGS LLC VB ONE LLC	2212 ALBEMARLE DR 1310089000	05/02/22 0.42	1840 638	RES IMP	\$ 90,468	\$ 37,386	41.33
02681	WILLIAMS SHERARD L VB ONE LLC	3716 CLAYBORN DR 1520127000	0.42 05/03/22 0.36	1840 1444	RES IMP	\$ 112,986	\$ 29,849	26.42
02780	CLECKLEY TARA T	3735 WOODLAKE RD 1410185000	0.36	1839 1959	RES IMP	\$ 99,861	\$ 45,722	45.79
02757	VB ONE LLC CLINE JR SAMUEL	3236 OLD LOUISVILLE RD 1222139000	04/28/22	1840 636	RES IMP	\$ 77,165		320 B



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02828	SMITH DENISE M VB ONE LLC	2605 HEXE CT 950054000	05/05/22 0.47	1840 2502	RES IMP	\$ 73,990	\$ 34,818	47.06
02929	NIXON HOLDINGS LLC VB ONE LLC	2725 GLENN HILLS CT 961120000	05/10/22 0.37	1841 1495	RES IMP	\$ 78,967	\$ 26,969	34.15
02934	CREWE ACQUISTIONS VB ONE LLC	3710 MASSOIT DR 940272000	05/10/22	1841 1541	RES IMP	\$ 79,955	\$ 28,017	35.04
02222	CHO-CHO LLC VB ONE LLC	2806 HAZEL ST 332228000	04/21/22	1838 1470	RES	\$ 84,027	\$ 33,621	40.01
02224	CAMACHO ANGEL SEPULVEDA A VB ONE LLC	2620 CORNING ST 1410389000	04/21/22	1838 1474	RES IMP	\$ 91,334	\$ 48,937	53.58
02180	MARTIN CLIFFORD T II VB ONE LLC	3638 WOODCOCK DR 1300865000	04/14/22	1837 1718	RES	\$ 119,451	\$ 54,354	45.50
02534	R W RENOVATIONS INC VB ONE LLC	2831 CORNELIA RD 853145000	04/28/22	1839 1504	RES IMP	\$ 67,860	\$ 22,514	33.18
02655	J MICHAEL SCOTT PROPERTIES LLC VERDERY CHRIS	2407 CAMELOT DR 192107000~LOT 7, BLK B, WINDSOR	04/25/22	1840	RES IMP	\$ 309,465	\$ 141,902	45.85
05530	DEAN WILLIAM E AND NANCY F VERGE CORY ANNE	2550 RICHMOND HILL RD~10, 11 863147000	08/12/22	1855 573	RES IMP	\$ 223,131	\$ 55,515	24.88
01586	BLACK DANNY RAY VERONICA C BISNOTT-HUDSON	1670483000	03/17/22	1832 2507	RES	\$ 164,660	\$ 50,568	30.71
00721	LARRY G LEE JR VERONICA ELLIS	1840049000	02/17/22	1828	RES	\$ 96,297	\$ 38,720	40.21
02705	TAVARES R CURRY VERONICA SESVOLD AND SARAH ANNE	954013000	04/29/22	1840	RES	\$ 222,225	\$ 80,209	36.09
06828	LIFSEY CYNTHIA HUFFMAN VICKEY RAEFORD	1651146000	10/12/22	1862 1772	RES VAC	\$ 18,880	\$ 11,144	59.02
02410	CHADWICK S FITZGERALD AND TAYLOR A VICTOR C LAIRCEY JR	2937 RUNNING CREEK 162100000	04/14/22	1837 1510	RES IMP	\$ 144,260	\$ 41,705	28.91
01148	CHESNEY BELL LLC VICTOR RAMON RAMIREZ MONTANO	1231006000	02/23/22	1829 1815	RES IMP	\$ 117,385	\$ 27,141	23.12
07246	MCGRODY KIMBERLY ROFS AND JASON VICTORIA LEANN CATES	1739 KING WOODS 574014000	10/28/22	1864 1852	RES IMP	\$ 157,908	\$ 47,959	30.37
05133	GABI REALTY LLC VICTORIA WAKEFIELD	1091011000	08/05/22	1854 640	RES IMP	\$ 90,111	\$ 40,356	44.78
06938	HAGLER CHARLES W VIDYA LAKSHMI LLC	3115 SWITZER DR 333023000	10/04/22	1863 1165	RES IMP	\$ 85,820	\$ 28,724	33.47
05472	CARLISLE EVERETTE L VINCENT DUANE G	314 DOGWOOD DR 1840072000~LOT 4, BLK F, PINE VIEW	08/11/22	1854 2598	RES IMP	\$ 137,226	\$ 50,624	36.89
05464	ROOKS BILLY C VIOLETTE JODI/VIOLETTE RYAN	17 SUMMERVILLE LN 320001010~TRACT B	08/16/22	1855 1908	RES	\$ 583,573	\$ 177,488	30.41
00453	HAYES WESLEY TODD VIOLETTE JR MICHAEL ANDREW/CHAPMAN	3304 SOMERSET PL 240209000~13, A	01/31/22	1825 1493	RES	\$ 585,722	\$ 168,582	28.78
00755	WUCHTE GERALD J VIRRUETA CELIA ANDRADE/GAMINO MARTIN	1510039000	02/18/22	1828 518	RES VAC	\$ 9,141	\$ 3,600	39.38
01465	BURNS KETURAH VO QUANG	4537 LOGANS 671022000	02/22/22	1831 1665	RES IMP	\$ 232,086	\$ 80,515	34.69
03261	CLANCY KAITLYN E BERESFORD VOIGT JEAN-ELIE	412 ASHLAND DR 184015000~LOT 73, SEC 2, BERCKMAN	05/10/22	1842 1608	RES IMP	\$ 229,085	\$ 93,579	40.85
05836	JOSHUA B GALBREATH AND MARY ROSE V VONZELLA M ROBERTSON	3279 LEXINGTON 534083000	08/29/22	1856 2099	RES IMP	\$ 266,041	\$ 122,446	46.03
04633	WISE CHOICE RESIDENTIAL SERVICES INC VY A NGUYEN	1080400000	07/08/22	1849 2725	RES IMP	\$ 132,763	\$ 41,166	31.01
04866	RONALD FRANK MELTON JR WADE A BERZETT AND KATRINA C BERZETT	964059000	0.20	1851 684	RES IMP	\$ 111,565	\$ 26,367	23.63
04454	BRYANT BENJAMIN III WALDEN DORA A	1400637000	07/01/22	1849 1822	RES IMP	\$ 179,363	\$ 59,410	33.12
03233	GRAHAM PATRICIA K	170004180	0.28 05/13/22 0.28	1843 1393	RES IMP	\$ 89,601	\$ 41,6	321



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02202	CHANCE WENDY ANN/CEDRIC DEJANERIO WALKER KAREN	2606 NEW HOPE CIR 2940042000~3	04/15/22 1.01	1837 1840	RES IMP	\$ 327,751	\$ 122,483	37.37
01383	BERNIER JUDITH A		02/24/22	1831	RES	\$ 168,513	\$ 59,471	35.29
	WALKER OLA MAE	100175000	0.23	1623	IMP	<b>*</b> 100,010	, , , , ,	
07199	YOU TAO		10/07/22	1864	RES	\$ 102,984	\$ 37,007	35.93
	WALKER SYLVESTER JUNIOR/WALKER	1341033000	0.22	580	IMP	,		
04685	JAMES BRIAN	3391 BEAVER DR	07/20/22	1851	RES	\$ 77,238	\$ 32,577	42.18
	WALL BRANDON A	411051000	0.91	849	IMP			
01648	MORGAN JAMES M	1119 HIGHLAND AVE	03/22/22	1833	RES	\$ 234,244	\$ 92,788	39.61
	WALL WILLIAM AUGUST/WALL STACEY	334142000	0.23	1305	IMP			
03866	BARNETT MICHAEL		06/10/22	1846	RES	\$ 242,959	\$ 103,928	42.78
	WALLACE ANGELA ELAINE	800115000	5.18	2042	IMP			
04848	SYLVESTER CHARLES SR		06/21/22	1851	RES	\$ 212,860	\$ 86,488	40.63
	WALLACE CHEVEENE	1832017000	0.24	1483	IMP			
04162	THOMAS CLARENCE D	3517 MORGAN RD	06/22/22	1847	RES	\$ 90,772	\$ 36,074	39.74
	WAMSLEY CHRISTIAN	1180380000	0.46	2201	IMP			
07178	UNRUH INVESTMENTS LLC		10/20/22	1864	RES	\$ 64,365	\$ 40,573	63.04
	WAMSLEY CHRISTIAN	1190305000	0.31	2548	IMP			
01972	TERRANOVA DEVELOPMENT CORP	1401 FELDSPAR	03/03/22	1835	RES	\$ 267,258	\$ 96,675	36.17
	WANG HANG/CHEN PING	402483000	0.09	2160	IMP			
03127	KAMMER MEAGHAN N	1908 WARREN ST	04/22/22	1842	RES	\$ 93,993	\$ 45,169	48.06
	WARD NATOVIAN	353258000	0.16	1810	IMP			
03496	BROWN RUSSELL	1734 TAMARIND WAY	05/31/22	1844	RES	\$ 159,611	\$ 57,926	36.29
	WARE NATOYA	1830073000~LOT 19, BL. B, CYPRESS	0.18	2097	IMP			
01926	HOWELL DOUGLAS F	4829 APPLE CT	04/04/22	1835	RES	\$ 310,456	\$ 126,600	40.78
	WARE VELINSIE R/WARE DARREN A	664072000	0.30	1496	IMP			
05830	EQUITY TRUST COMPANY FBO ELIZABETH	1820 WATKINS ST	09/01/22	1857	RES	\$ 41,193	\$ 27,315	66.31
	WARREN JENNIFER LEIGH/LASSITER	354151000	0.15	1220	IMP	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	<b>V</b> = 1,010	
04372	JASMINE E BRADLEY AND ANTONIO A		06/30/22	1848	RES	\$ 274,623	\$ 114,304	41.62
	WARREN W WHITE	831048000	5.18	2570	IMP	, , , , , ,	, ,,,,	
05561	HOUCK THOMAS P	2674 COVENTRY	08/16/22	1854	RES	\$ 236,004	\$ 61,186	25.93
	WATFORD PROPERTIES LLC	184225000	0.01	2448	IMP	<b>V</b> =55,55	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
06715	GREENE GARY L	2411 MOHICAN	09/27/22	1862	RES	\$ 193,094	\$ 73,726	38.18
	WATFORD PROPERTIES LLC	194077000	0.24	739	IMP	<b>,</b>	<b>,</b> , , , , , , , , , , , , , , , , , ,	
04236	HAYNES NATHANIEL JAMES		06/27/22	1848	RES	\$ 254,726	\$ 111,094	43.61
	WATSON KIMBERLY N	2152011000	0.26	1214	IMP	<b>,</b> ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	,	
02350	GRISWOLD BRANUM GAGE	1211 MILLEDGE	04/15/22	1838	RES	\$ 348,866	\$ 134,883	38.66
02000	WATTS DAVID GARREN	442205000	0.35	54	IMP	\$ 0.0,000	ψ .σ .,σσσ	00.00
05438	FLOWERS MIRIAM	2942 MEADOWBROOK DR	08/15/22	1855	RES	\$ 25,746	\$ 10,653	41.38
	WCV #2 LLC	1070209000	0.23	1291	IMP	<b>V</b> = 3,1 13	<b>,</b> , , , , , , , , , , , , , , , , , ,	
04430	JOHNSON LAURA K	1668 GOSHEN RD	07/06/22	1849	RES	\$ 126.584	\$ 33,640	26.58
	WEAVER SHELIA T/WEAVER JOHN C	1980010380	0.16	1152	IMP	<b>,</b> ,,,,,,,	, , , , , ,	
03714	SCOTT MICHAEL	3203 NORRIS CT	05/27/22	1845	RES	\$ 196,466	\$ 74,881	38.11
007 1 1	WEIDENAAR LINDSEY RAE	171189000~LOT 13, BLK P, SEC 5,	0.32	2466	IMP	ψ 100, 100	Ψ 7 1,00 1	00.11
01211	THE MOSS FAMILY-AUGUSTA LLC	3119 APPLEGATE LN	02/14/22	1830	RES	\$ 330,628	\$ 130,957	39.61
01211	WEIGLE CHARLAR C	322099000~LOT 16, IN KIRK PLACE	0.44	733	IMP	ψ 550,020	Ψ 100,007	00.01
00867	RAINEY PRESTON	2903 NORWOOD	02/09/22	1829	RES	\$ 198,702	\$ 64,188	32.30
00001	WELLS DESMOND	530107000	0.36	56	IMP	ψ 100,702	Ψ 0 1,100	02.00
05793	EBERHARDT ROBERT M	2005 OSSABAW DR	07/29/22	1856	RES	\$ 247,160	\$ 89,092	36.05
00130	WESBY TROY D	1990150010~LOTS 3 & 4, BLK B, PH 4,	1.28	1454	IMP	ψ 247,100	ψ 09,092	30.03
06373	MITCHELL DAWANNA	2606 FOX CT	09/14/22	1860	RES	\$ 90,111	\$ 39,378	43.70
00013	WESTO LLC	150084000	0.06	326	IMP	φ 50,111	φ υσ,υ16	+3.70
00116	WILLIAMS TEMIKA S	1814 CRIMSON LEAF	0.00	1823	RES	\$ 144,160	\$ 46,780	32.45
סווטט		423120000	0.08	713	IMP	φ 144,16U	φ 40,780	32.45
01600	WESTO LLC					# co occ	<b>€ 05 500</b>	27.00
01696	WILLIAMSON RONALD R	3109 JENNIFER CT	03/22/22	1833	RES	\$ 68,399	\$ 25,530	37.32
0001=	WESTO LLC	973296000	0.24	1089	IMP	A 4= 44=	A 4- 4	
03017	WILLIAMSON RONALD R	00.4000000	05/05/22	1841	RES	\$ 45,116		322
	WESTO LLC	984082000	5.18	2622	IMP	I.		



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03705	WILLIAMSON RONALD R WESTO LLC	2527 RHODES 981128000	06/03/22 0.25	1845 371	RES IMP	\$ 43,973	\$ 24,651	56.06
01275	SANCKEN ENTERPRISES LLLP WESTO LLLC	1801 WILSON 453257000	03/04/22	1832 1298	RES IMP	\$ 118,895	\$ 31,555	26.54
05388	IMS PROPERTIES LLC	2341 RICHWOOD DR	08/15/22	1855	RES	\$ 135,595	\$ 43,400	32.01
00411	WHEATLEY ADAM JOELLYN PORTER KENDALL CHOU	1670470000~LOT 24, BLK M 622 CANTERBURY DR	0.36	1984 1825	IMP RES	\$ 258.639	\$ 89,940	34.77
00411	WHEELER ABIGAIL G/WHEELER JOSHUA T	242111000	0.35	1055	IMP	\$ 256,659	φ 69,9 <del>4</del> 0	34.77
02060	VARNADO SOLOMON D	3528 GARDENBROOK DR	04/08/22	1836	RES	\$ 91,897	\$ 30.046	32.70
	WHEELER SHAQUILLE D	1200451000	0.22	1893	IMP	7 - 1, - 2 - 1	<b>V</b> 55,515	
05516	FURSE JERRY M	3342 WEDGEWOOD DR	08/16/22	1855	RES	\$ 143,319	\$ 43,463	30.33
	WHEELER TALAYA M	412120000	0.27	591	IMP			
02114	FENNELL SHIRIN S	1218 GLENWOOD DR	04/11/22	1836	RES	\$ 170,426	\$ 59,723	35.04
	WHISENHUNT ARIELLA/WHISENHUNT	132159000	0.39	1537	IMP			
04987	ROTH JOHN S	2845 LOMBARDY CT	07/28/22	1852	RES	\$ 287,496	\$ 87,677	30.50
	WHITE ABIGAIL BRANNEN	432003000~29, A	0.23	1398	IMP			
00669	JONES SHAWANDA AND RUSSELL JR		02/09/22	1827	RES	\$ 193,855	\$ 90,873	46.88
	WHITE ALBERT J	1390344000	1.53	47	IMP	<b>.</b>	<b>A</b>	
01639	REES RICHARD C	2112 SHAMROCK	03/17/22	1833	RES	\$ 75,273	\$ 44,369	58.94
00000	WHITE RACHEL L	562131000	0.29	645		¢ 0.700	¢ 2 202	20.00
02303	TRIPLE A FOUR K'S INC WHITE TYMIRIAL S/JACKSON DAVID J JR	1069 HANCOCK MILL LANE 3190100000~LOT 11, BLOCK B, SECT. II,	03/11/22	1838 1867	RES VAC	\$ 8,700	\$ 3,392	38.99
05926	SPARKS THOMAS J	2060 WRIGHTSBORO RD	08/31/22	1857	RES	\$ 214,549	\$ 78,885	36.77
03920	WHITEHURST DEBORAH J/SPEDDING GARY	444294000~PORTION OF LOTS 6, 7 & 8,	0.42	1859	IMP	\$ 214,549	φ 70,003	30.77
08504	HAIRE ROBIN E	1125 WALTONS TRL	12/19/22	1872	RES	\$ 229,997	\$ 79,215	34.44
00304	WHITFIELD ADRIAN	1780087000	0.43	2563	IMP	Ψ 229,997	ψ 7 9,2 13	34.44
04572	F A PROPERTIES LLC A GEORGIA LIMITED	437 FOLKSTONE CT	07/13/22	1850	RES	\$ 132,162	\$ 52,248	39.53
0.0.2	WHITMAG PROPERTIES LLC A GEORGIA	110091670	0.15	1569	IMP	<b>\$ 102,102</b>	Ψ 02,2 .0	00.00
07201	KELLY JR GORDON M	501 MILLEDGE	10/12/22	1863	RES	\$ 91,827	\$ 36,756	40.03
	WHITMARSH PATRICIA B/WHITMARSH	342017550	0.09	2572	IMP			
05637	HOLMES KENNETH A	2961 HILLCREEK DR	08/12/22	1856	RES	\$ 193,094	\$ 105,586	54.68
	WIDENER RYAN	300127000	0.24	330	IMP			
07139	JAMES JESSIE COLLINS		10/12/22	1864	RES	\$ 74,234	\$ 46,482	62.62
	WIEBE HOMES LLC	1390168000	0.39	93	IMP			
06610	HALL JAMES A	3703 CREEK CT	09/23/22	1862	RES	\$ 97,234	\$ 48,340	49.72
	WIEBE HOMES LLC	1530539000	0.37	9	IMP			
06626	BELLAMY NELSON S	1454 BROOKSTONE RD	09/30/22	1861	RES	\$ 150,184	\$ 64,358	42.85
	WIGGINS MARCUS D	1524030000	0.26	1132	IMP			
00409	CHAMBERS LANDIS D	2912 WELLINGTON ST	01/24/22	1824	RES	\$ 273,945	\$ 102,999	37.60
20100	WILCOX SHONTRIS REMELL	653005000	0.13	2665	IMP	<b>A</b> 57.050	A 00 004	00.04
02108	RENTING AUGUSTA GEORGIA LLC	701 WINDSONG CIR	03/31/22	1836	RES IMP	\$ 57,653	\$ 22,261	38.61
07769	WILDE JAMES A	60293000~UNIT 701, BLDG 7, PH 1,	0.09	1378		\$ 301,227	¢ 117 940	20.12
07768	CADLE JAMES WESLEY JR ROFS/SNELLINGS WILEY ASHTON BLAKE/FORRESTER EMILY	612 OBERLIN 253055000	11/22/22 0.38	1868 363	RES IMP	\$ 301,227	\$ 117,840	39.12
07399	FROST COURTNEY M	233033000	10/21/22	1865	RES	\$ 261.750	\$ 105,768	40.41
07399	WILIAMSON MICHAEL DEMETRIC	1513018000	0.29	2199	IMP	\$ 201,730	\$ 105,700	40.41
07010	GOFF HAZEL L		11/07/22	1865	RES	\$ 56,212	\$ 20,144	35.84
0.0.0	WILLETTE WILEY AND ROOSEVELT WILEY JR	864107000	0.03	1108	IMP	<b>\$ 55,2.12</b>	Ψ 20,	00.0.
05382	HERRING JONATHAN DANIEL	2099 WILLHAVEN	08/05/22	1854	RES	\$ 204,251	\$ 97,067	47.52
	WILLIAM A MAY	654123000	0.15	42	IMP	, , , ,	, , , , , ,	
08071	BRIAN A TYNDALL		12/05/22	1868	RES	\$ 42,052	\$ 18,691	44.45
	WILLIAM A MAY	1290012020	1.26	2033	IMP			
02407	DWIGHT B HAMBRICK	3039 WRIGHTSBORO	04/12/22	1837	RES	\$ 115,054	\$ 52,006	45.20
	WILLIAM A MAY	431161000	0.28	1452	IMP			
01683	JOSHUA PAUL LAM AND RACHEL EDEN LAMB		03/18/22	1833	RES	\$ 253,834	\$ 72,204	28.45
	WILLIAM C EVANS AND CLAUDIA M EVANS	113085000	0.37	212	IMP			
01164	BAILEY DOUGLAS ROBERT		02/25/22	1829	RES	\$ 210,372	\$ 59,7	3000
	WILLIAM EVAN DICKEY AND HANNAH	113100000	0.28	2665	IMP	1	[ [ [	323



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
02628	NUNNALLY JOE M WILLIAM JOHNSON FERGUSON JR	1070622000	04/28/22 0.33	1839 1961	RES IMP	\$ 147,068	\$ 40,887	27.80
	ARMSTRONG PHILLIP M WILLIAM JOYNER AND LATANZA JOYNER AS	1424069000	09/30/22 0.31	1861 1271	RES IMP	\$ 244,586	\$ 88,601	36.22
03354	RICHARD L BALKCUM WILLIAM MICHAEL GUTHRIE AKA WILLIAM	3390009060	05/26/22 5.57	1843 2689	RES VAC	\$ 48,717	\$ 9,405	19.31
04954	TRIPHELIA HUNTER		07/29/22	1852 1790	RES IMP	\$ 180,135	\$ 55,264	30.68
00770	WILLIAM MURRAY R LEWIS CONSTRUCTION LLC	1300705000 2112 CARNES	02/17/22	1828	RES	\$ 625,836	\$ 213,173	34.06
07060	WILLIAM OLLIE KEY III AND BRITTANY BYERS DUANE L WILSON AND REBECCA P WILSON	344136020 2220 KINGS	5.18	894 1864	VAC	\$ 321,824	\$ 193,714	60.19
	WILLIAM RAYFIELD WADLEY JR AND REINALDO BURGOS JR AND TAELOR M	442201000 1303 BIMINI	0.17	545 1827	IMP RES	\$ 221,846	\$ 60,884	27.44
03858	WILLIAM WALKER WINGATE KRISTOPHER K	313081000 1541 OGLETHORPE DR	0.35 06/10/22	2281 1846	IMP RES	\$ 253,446	\$ 101,331	39.98
04323	WILLIAMS ANDREW D/CONLEY ASIA J GREEN JANIE	2152006000 2705 VERNON	0.26 07/01/22	1664 1849	IMP RES	\$ 128,729	\$ 42,140	32.74
04833	WILLIAMS ANGELA D CARTER LISA M	961194000 2614 SERENITY LN	5.18 07/20/22	268 1851	IMP RES	\$ 253,082	\$ 103,711	40.98
03823	WILLIAMS ANTOINETTA HATCHER ERROLL M	654048000 2621 BELLEVUE AVE	0.13	1794 1845	IMP RES	\$ 290,195	\$ 158,732	54.70
	WILLIAMS ASHLEY LEVERETT PATTERSON ROSE KELLY	343107000 3131 OLDE BROWNSTONE CT	0.24	2733 1858	IMP RES	\$ 195,240	, ,	31.72
	WILLIAMS BRIANA L	314146000	0.05	890	IMP RES		. ,	35.00
	THOMAS JOSEPH JR WILLIAMS CASSANDRA L	4018 MARSHALL 660046000	0.48	1844 1501	IMP	\$ 414,813		
	LINK PERCY A WILLIAMS DESMOND	4528 PINEVIEW 1794029000	07/29/22	1853 1430	RES IMP	\$ 133,020		44.03
05804	COX SHEILA D WILLIAMS DIANE	3204 SUMMERCHASE CIR 424108000	08/25/22 0.16	1856 2659	RES IMP	\$ 148,897	\$ 52,088	34.98
01461	REID ROSA DOWNS WILLIAMS EDNA M	3437 SHARON RD 540056010	03/03/22 0.25	1831 2744	RES VAC	\$ 2,856	\$ 517	18.10
	YOUNG SUSAN L WILLIAMS JR HERMON	3532 GARDENBROOK 1200449000	05/05/22 0.22	1840 2721	RES IMP	\$ 78,501	\$ 28,578	36.40
06046	HILLMAN HELEN R WILLIAMS JR HERMON E	3727 WOODLAKE 1410189000~LT 8 BLK C2	09/02/22 0.28	1859 435	RES IMP	\$ 84,532	\$ 43,277	51.20
06082	HALL CARLOS VERNANDO WILLIAMS JR LUIS ARTHUR/WILLIAMS ASHLEY	1824 CYPRESS 1102175000	08/25/22 0.21	1858 2443	RES IMP	\$ 96,762	\$ 37,873	39.14
	COOK KEONDRA MONIQUE WILLIAMS LATISHA TYWANNA	2826 BRENTWAY DR 1180406000	04/29/22	1840 954	RES IMP	\$ 151,476	\$ 43,906	28.99
	BUXTON THOMAS B WILLIAMS LESLEY-ANNE DYER/WILLIAMS III	3325 SUGAR MILL RD 160315000	10/27/22	1864 159	RES	\$ 287,496	\$ 71,430	24.85
03599	TANNER TANIMA	4078 BURNING TREE LN 1980247000~23, D	06/07/22	1845 1325	RES IMP	\$ 201,553	\$ 56,878	28.22
	WILLIAMS LISA M TRIPLE A FOUR K'S INC	1125 HANCOCK MILL LANE	0.29	1838	RES	\$ 8,045	\$ 3,392	42.16
06153	WILLIAMS MARGARET S SPEERS ROGER A JR ROFS	3190112000~LOT 25, BLOCK B, SECT. II, 1531 JOHNS RD	0.46	1861 1858	VAC RES	\$ 223,131	\$ 90,180	40.42
	WILLIAMS MARK WILSON EDWIN	443231000 4739 LAUREL OAK DR	0.25	1210 1864	IMP RES	\$ 142,031	\$ 52,100	36.68
08459	WILLIAMS RHYHEEM SHYDEL STEPHENS LEVI AUGUSTUS	1794131000 2119 HILLSINGER	0.30	2397 1872	IMP RES	\$ 163,057	\$ 59,764	36.65
	WILLIAMS ROXANNE OSTBY NATHANIEL J	564046000 1735 OAK	0.31 08/15/22	60 1854	IMP RES	\$ 115,856	\$ 45,054	38.89
04693	WILLIAMSON III ANDREW J WHIGHAM RAYBUN	574028000 233 WALKER ST	0.21 06/15/22	2233 1851	IMP RES	\$ 17,400	\$ 8,491	48.80
00645	WILLIN X ABEL LLC PABON JOEL	474227000 2824 RIDGEVIEW DR	0.13 02/07/22	376 1826	IMP RES	\$ 199,025		Þ
	WILLIS DEON L	390235000	0.40	2688	IMP			324



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Type Prop	* Sales Price	Assessment	Ratio
00091	MAJASA LLC WILSON CHRISTOPHER T	2846 WALTON 334060250	01/21/22 0.09	1824 627	RES IMP	\$ 113,188	\$ 33,090	29.23
01330	HUGHES NICHOLAS	3427 HIGHWAY 88	03/10/22	1832	RES	\$ 282,036	\$ 96,780	34.31
	WILSON DANIEL	2440008020	3.93	527	IMP			
03981	WOODSON TIA LASHONE FOSTER	1116 MCCOYS CREEK RD	06/13/22	1846	RES	\$ 344,278	\$ 137,246	39.86
	WILSON DENICE	780073000~LOT 8, BL. B, MCCOYS	0.24	1454	IMP			
04414	GOVERNORS PLACE PARTNERS LLC	2322 BELAIR SPRING RD	06/16/22	1849	RES	\$ 47,373	\$ 20,800	43.91
	WINCHESTER HOMES OF GA INC	663206000~LOT 152, GOVERNNORS	0.16	1223	VAC			
05344	GOVERNORS PLACE PARTNERS LLC	1207 GEORGE W. CRAWFORD DR	07/15/22	1854	RES	\$ 46,772	\$ 20,800	44.47
	WINCHESTER HOMES OF GA INC	663128000~LOT 42, GOVERNORS PLACE,	0.23	612	VAC			
05345	GOVERNORS PLACE PARTNERS LLC	2335 BELAIR SPRING RD	07/15/22	1854	RES	\$ 46,772	\$ 20,800	44.47
	WINCHESTER HOMES OF GA INC	663167000~LOT 115, GOVERNORS	0.13	617	VAC			
05346	GOVERNORS PLACE PARTNERS LLC	2306 BELAIR SPRING RD	07/15/22	1854	RES	\$ 46,772	\$ 20,800	44.47
	WINCHESTER HOMES OF GA INC	663181000~LOT 128, GOVERNORS	0.15	622	VAC			
01845	SOUTHERN SPECIALTY DEVELOPMENT	1724 ETHAN WAY	03/15/22	1833	RES	\$ 27,332	\$ 10,000	36.59
	WINCHESTER HOMES OF GA INC	1521109000~LOT 20, BLK T, SEC 8,	0.28	2407	VAC			
01846	SOUTHERN SPECIALTY DEVELOPMENT	1722 ETHAN WAY	03/15/22	1833	RES	\$ 27,332	\$ 10,000	36.59
	WINCHESTER HOMES OF GA INC	1521110000~LOT 21, BLK T, SEC 8,	0.28	2423	VAC			
01847	SOUTHERN SPECIALTY DEVELOPMENT	2161 KANECK WAY	03/15/22	1833	RES	\$ 21,677	\$ 10,000	46.13
	WINCHESTER HOMES OF GA INC	1521094000~LOT 55, BLK L, SEC 8,	0.49	2439	VAC			
01848	SOUTHERN SPECIALTY DEVELOPMENT	2159 KANECK WAY	03/15/22	1833	RES	\$ 21,677	\$ 10,000	46.13
	WINCHESTER HOMES OF GA INC	1521095000~LOT 56, BLK L, SEC 8,	0.62	2455	VAC	<b>V</b> = 1,511	<b>,</b> , , , , , , , , , , , , , , , , , ,	
02647	GOVERNOR'S PLACE PARTNERS LLC	2209 BELAIR SPRING RD	04/15/22	1839	RES	\$ 50,035	\$ 20,800	41.57
02041	WINCHESTER HOMES OF GA INC	663135000~LOT 84, GOVERNOR'S PLACE,	0.14	1753	VAC	ψ 50,055	Ψ 20,000	41.57
02648	GOVERNOR'S PLACE PARTNERS LLC	2221 BELAIR SPRING RD	04/15/22	1839	RES	\$ 50,035	\$ 20,800	41.57
02040	WINCHESTER HOMES OF GA INC	663138000~LOT 87, GOVERNOR'S PLACE	0.14	1741	VAC	\$ 50,033	\$ 20,800	41.57
00640	GOVERNOR'S PLACE PARTNERS LLC	2229 BELAIR SPRING RD	04/15/22		RES	¢ 50 025	¢ 20 200	44.57
02649		663140000~LOT 89, GOVERNOR'S PLACE	04/15/22	1839 1721	VAC	\$ 50,035	\$ 20,800	41.57
00054	WINCHESTER HOMES OF GA INC					Ф F0 00F	¢ 00 000	44.57
02651	GOVERNOR'S PLACE PARTNERS LLC	2257 BELAIR SPRING RD	04/15/22	1839	RES	\$ 50,035	\$ 20,800	41.57
00007	WINCHESTER HOMES OF GA INC	663147000~LOT 96, GOVERNOR'S PLACE	0.25	1699	VAC	0.50.404	<b>#</b> 00 000	44.50
02987	GOVERNORS PLACE PARTNERS LLC	2370 BELAIR SPRING RD	04/13/22	1842	RES	\$ 50,121	\$ 20,800	41.50
	WINCHESTER HOMES OF GA INC	663198000~LOT 145, GOVERNORS	0.15	1649	VAC			
03119	GOVERNORS PLACE PARTNERS LLC	2297 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663157000~LOT 106, GOVERNORS	0.20	2378	VAC			
03091	GOVERNORS PLACE PARTNERS LLC	2246 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663193000~LOT 140, GOVERNORS	0.19	2521	VAC			
03125	GOVERNORS PLACE PARTNERS LLC	2327 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663165000~LOT 113, GOVERNORS	0.14	2499	VAC			
03044	GOVERNORS PLACE PARTNERS LLC	2294 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663182000~LOT 129, GOVERNORS	0.13	2400	VAC			
03045	GOVERNORS PLACE PARTNERS LLC	2230 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663194000~LOT 141, GOVERNORS	0.16	2543	VAC			
03046	GOVERNORS PLACE PARTNERS LLC	2331 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663166000~LOT 114, GOVERNORS	0.14	2565	VAC			
03117	GOVERNORS PLACE PARTNERS LLC	2253 BELAIR SPRING RD	04/13/22	1842	RES	\$ 50,121	\$ 20,800	41.50
	WINCHESTER HOMES OF GA INC	663146000~LOT 95, GOVERNORS PLACE,	0.25	1639	VAC			
03118	GOVERNOR'S PLACE PARTNERS LLC	2217 BELAIR SPRING RD	05/12/22	1842	RES	\$ 48,876	\$ 20,800	42.56
	WINCHESTER HOMES OF GA INC	663137000~LOT 86, GOVERNORS PLACE,	0.14	2356	VAC			
08072	KAITLIN B WILLIAMSON	1437 JOHNS	12/05/22	1868	RES	\$ 201,676	\$ 73,185	36.29
	WINFIELD GROUP LLC	443095000	0.17	2515	IMP	<b>,</b>	<b>,</b> , , , , , , , , , , , , , , , , , ,	
03322	GIRARD AMANDA J	2302 BUTTERNUT CT	05/26/22	1843	RES	\$ 243,586	\$ 99,468	40.83
	WITMER JONATHAN D	683018000	0.32	2416	IMP	\$ 2.10,000	\$ 55,400	.0.00
08609	WITHER CONATIAND	1824 WILKINSON RD	0.02	2710	COM	\$ 245,995	\$ 102,461	41.65
00009	NAMANIH I I C	702014000	1.40			φ 240,995	φ 102,461	41.00
04700	WMNH LLC		1.49	4000	IMP	# 4 000 0F0	¢ 500 000	45 50
01793	MERCHEN LEE A	2150 BATTLE ROW	03/10/22	1833	RES	\$ 1,230,358	\$ 560,893	45.59
	WOLFF ZACHARY L	344015000	1.74	2484	IMP	0.5		
06631	HADDEN JR ERNEST B	4969 FULCHER RD	09/23/22	1861	AGR	\$ 341,244	\$ 93,8	325
	WOOD CHRISTOPHER BRUCE	3470020000~TRCT A	5.00	2435	IMP	1	I .	J2J



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Sample	Seller Purchaser / Owner	Street~Land Lot~Land Dist Map/Parcel~SLB	Sale Date	Deed Book	Prop	* Sales Price	Assessment	Ratio
02683	GODLEY PROPERTIES LLC	1018 CEDARVIEW	04/28/22	1839	RES	\$ 145,252	\$ 49,362	33.98
	WOODARD DAESIIYAH	2130208000	0.38	2248	IMP			
00842	PICKWICK HOLDINGS LLC	2026 BRIGHTON CIR	02/11/22	1827	RES	\$ 174,186	\$ 47,394	27.21
	WOOLWARD RICHARD	1103143000	0.26	2722	IMP			
04897	MAYES MATTHEW B	814 BARRETT LN	07/18/22	1850	RES	\$ 317,018	\$ 98,327	31.02
	WORTMAN EMILIE LORRAINE	333080000	0.31	2619	IMP			
04536	RANDOLPH PROPERTY GROUP LLC	630 THIRTEENTH	07/12/22	1850	COM	\$ 5,506,658	\$ 1,271,927	23.10
	WP I - AUGUSTA LLC	462113000	1.59	718	IMP			
01717	RENAUD SANDRA I	3503 BECTON RD	03/31/22	1834	RES	\$ 92,989	\$ 40,818	43.90
	WRIGHT LATISHA	1300635000	0.42	2709	IMP			
05803	TADLOCK AUSTIN M	1726 KING WOODS	08/30/22	1857	RES	\$ 161,255	\$ 61,194	37.95
	WYNN MARY GRACE	574024000	0.28	16	IMP			
02404	BAO JIANXIONG/OEI XIAOLEI PAN	802 WINDSONG	04/12/22	1837	RES	\$ 64,430	\$ 22,261	34.55
	XINYI QIN	60302000	5.18	1409	IMP			
05001	HERNANDEZ MARIA C	4232 FOREST RD	07/11/22	1853	RES	\$ 244,586	\$ 85,565	34.98
	YARBROUGH DAVID D/YARBROUGH SUSAN D	2320229000	0.87	155	IMP			
03223	IPLAN GROUP AGENT FOR CUSTODIAN FBO	2403 NORFOLK	05/12/22	1843	RES	\$ 16,591	\$ 8,896	53.62
	YONESAKI MICHAEL	991084000	0.26	458	IMP	. ,	. ,	
08203	HUTCHESON WAYMON J	4745 MCCOMBS RD	12/19/22	1870	RES	\$ 218,840	\$ 68,342	31.23
00200	YOUNGBLOOD JESSICA CARLA/YOUNGBLOOD		4.85	441	IMP	ψ 2.0,0.0	\$ 55,5 .2	01.20
07781	BUYING HOUSES R-US LLC	1108 SUMMER	10/28/22	1867	RES	\$ 12,873	\$ 3,770	29.29
07701	YOUR NEIGHBORHOOD BUILDER LLC	464717000	0.06	558	IMP	Ψ 12,070	ψ 3,770	25.25
06146	BYERLY STEVEN E	4064 FAIRLANE	08/22/22	1858	RES	\$ 257,459	\$ 95,511	37.10
00140	YSTEBO DYLAN D/SHIRLEY NATALIE	1980289000	0.39	2502	IMP	φ 237,439	φ 93,311	37.10
00400						C C 4 704	<b>↑</b> 00 004	04.00
02428	THOMPSON DOUGLAS LIONEL AND LINDA	101 WINDSONG	04/22/22	1838	RES IMP	\$ 64,791	\$ 22,261	34.36
	YUNBO XU AND GUANGKUO DONG	70209000	0.09	2275		A 225 422	<b>***</b>	04.0=
06683	RHODES PHILLIP J	413 GOLDFINCH	10/11/22	1862	RES	\$ 205,109	\$ 65,542	31.95
	YVONNE BRADLEY-REID	100220000	0.37	690	IMP			
02185	ROBERT V BAXTER JR	3335 IDLEWILD	04/20/22	1838	RES	\$ 73,130	\$ 41,871	57.26
	YVONNE JOHNSON	414108000	0.22	1159	IMP			
07614	MORGAN JONATHAN L	2517 WATERFRONT	11/14/22	1866	RES	\$ 171,210	\$ 77,312	45.16
	ZACHARY MICHAEL SESSOMS AND	821009000	0.26	1210	IMP			
00319	LEWIS BENJAMIN D	1748 DAVIDSON	01/24/22	1824	RES	\$ 119,298	\$ 68,063	57.05
	ZACHARY T LEWIS AND SANDRA E LEWIS	573099000	0.25	1207	IMP			
07244	LYNCH LINA	2618 CRANBROOK DR	10/06/22	1864	RES	\$ 153,188	\$ 49,340	32.21
	ZAMORA MISTI GALE/VALLEJOS REYNALDO	1300181000	0.28	181	IMP			
00507	FLOURNOY MOZELLA	1806 M L KING JR	01/24/22	1826	RES	\$ 19,638	\$ 7,873	40.09
	ZELLARS ROWLAND	593223000	0.08	298	IMP			
01184	STUTTS JAMES E	814 POINDEXTER DR	02/28/22	1829	RES	\$ 415,124	\$ 158,566	38.20
	ZEPERNICK KATHLEEN H/ZEPERNICK III	324018000~8, D	0.61	2207	IMP			
01849	ROBINSON CHRISTOPHER A	262 LAFAYETTE DR	03/21/22	1833	RES	\$ 228,111	\$ 84,043	36.84
	ZHAO PENG	180380000	0.21	2510	IMP			
02497	JOAN ALLEN AND EDWARD D ALLEN	1307 WINDSONG	04/14/22	1837	RES	\$ 55,591	\$ 22,261	40.04
	ZHENHENG LI AND XIUZHEN LU JTWROS	60347000	5.18	1446	IMP	1 20,001	-=,=51	
	THREATT BRENDA M	345 ALEX	03/03/22	1830	RES	\$ 152,311	\$ 55,095	36.17
0.000	ZOU JUANE	122123000	0.06	909	IMP	ψ 102,011	\$ 55,595	00.17
00188	MOYER BOBBIE T	1207 EISENHOWER DR	01/06/22	1823	RES	\$ 222,122	\$ 71,881	32.36
00100		134181000	0.42	349	IMP	Ψ 222,122	Ψ / 1,001	JZ.JU
	ZWANZIGER ALEX	137101000	0.42	348	IIVIF			



SALES RATIO STUDY • AUGUST 9, 2023

## 2022 State-Wide Equalized 100% Adjusted

**Property Tax Digest Report** 

Greg S. Griffin | State Auditor Lee Thomas | Sales Ratio Division Director



## STATE-WIDE EQUALIZED 100% ADJUSTED PROPERTY TAX DIGEST REPORT August 9, 2023

The following report includes the State-wide Equalized 100% Digest for school tax purposes from the Sales Ratio Study for calendar year 2022. Each digest is computed by school district and includes the established ratio and adjusted 100% digest of each district. These digests are subject to change resulting from hearings, arbitrations or legal actions.

CODE	SCHOOL DISTRICT	OVERALL <u>RATIO</u>	ADJUSTED 100% \$ DIGEST
001	APPLING	33.61	3,224,244,349
002	ATKINSON	29.86	623,162,444
003	BACON	36.69	817,802,595
004	BAKER	38.26	351,220,111
005	BALDWIN	36.69	4,052,689,437
006	BANKS	35.04	2,413,806,071
007	BARROW	34.23	10,825,254,438
800	BARTOW	34.25	13,196,991,824
009	BEN HILL	38.23	1,219,305,198
010	BERRIEN	26.83	1,427,957,206
011	BIBB	39.14	13,537,244,757
012	BLECKLEY	41.05	823,012,508
013	BRANTLEY	33.27	1,134,197,759
014	BROOKS	38.26	1,414,558,548
015	BRYAN	33.89	6,570,193,372
016	BULLOCH	36.04	7,419,365,526
017	BURKE	38.02	18,062,048,362
018	BUTTS	37.61	2,600,175,951
019	CALHOUN	39.41	359,571,758
020	CAMDEN	36.60	6,018,384,647
021	CANDLER	37.30	835,461,027

		OVERALL	ADJUSTED 100%
CODE	SCHOOL DISTRICT	RATIO	\$ <u>DIGEST</u>
022	CARROLL	36.11	9,973,526,710
023	CATOOSA	28.76	7,912,819,875
024	CHARLTON	38.11	1,025,597,031
025	CHATHAM	35.91	62,384,395,556
026	CHATTAHOOCHEE	35.14	173,624,782
027	CHATTOOGA	29.04	1,775,681,198
028	CHEROKEE	35.30	48,969,301,423
029	CLARKE	38.04	16,724,474,684
030	CLAY	37.50	309,148,058
031	CLAYTON	33.87	31,676,962,981
032	CLINCH	31.86	754,778,100
033	COBB	36.01	126,324,384,277
034	COFFEE	31.63	3,182,548,830
035	COLQUITT	38.51	3,124,142,340
036	COLUMBIA	37.31	20,813,298,429
037	COOK	32.12	1,439,792,358
038	COWETA	35.46	24,205,693,799
039	CRAWFORD	36.48	899,157,751
040	CRISP	38.09	2,046,918,334
041	DADE	38.16	1,772,546,719
042	DAWSON	37.15	5,909,103,667
043	DECATUR	39.17	2,789,640,520
044	DEKALB	36.66	107,240,594,078
045	DODGE	36.38	1,252,455,708
046	DOOLY	38.37	985,044,153
047	DOUGHERTY	35.58	6,172,530,867
048	DOUGLAS	36.11	20,523,815,493
049	EARLY	39.23	1,392,593,125
050	ECHOLS	31.69	332,445,345
051	EFFINGHAM	35.18	8,389,694,342

		OVERALL	ADJUSTED 100%
CODE	SCHOOL DISTRICT	RATIO	\$ <u>DIGEST</u>
052	ELBERT	35.07	1,951,739,411
053	EMANUEL	40.16	1,508,958,405
054	EVANS	34.91	722,686,834
055	FANNIN	39.70	7,526,869,068
056	FAYETTE	37.93	22,923,589,677
057	FLOYD	35.58	6,963,410,859
058	FORSYTH	35.02	57,075,062,703
059	FRANKLIN	32.44	2,966,234,843
060	FULTON	35.45	140,040,305,185
061	GILMER	38.04	6,296,060,919
062	GLASCOCK	35.28	286,639,746
063	GLYNN	34.66	21,148,013,300
064	GORDON	33.68	3,849,552,459
065	GRADY	32.46	1,896,166,414
066	GREENE	36.02	7,485,250,314
067	GWINNETT	37.41	148,859,589,075
068	HABERSHAM	35.36	5,023,135,716
069	HALL	35.48	30,004,464,647
070	HANCOCK	32.80	1,095,612,805
071	HARALSON	33.04	2,129,126,321
072	HARRIS	38.98	4,321,145,766
073	HART	34.32	4,153,768,462
074	HEARD	39.16	1,223,493,172
075	HENRY	36.49	35,961,097,872
076	HOUSTON	34.73	15,284,221,573
077	IRWIN	36.58	682,138,695
078	JACKSON	31.96	10,086,392,249
079	JASPER	37.34	1,772,909,307
080	JEFF DAVIS	36.80	1,160,479,054
081	JEFFERSON	31.74	1,653,565,506

		OVERALL	ADJUSTED 100%
CODE	SCHOOL DISTRICT	RATIO	\$ <u>DIGEST</u>
082	JENKINS	33.91	760,056,790
083	JOHNSON	39.50	468,651,945
084	JONES	32.90	2,312,057,958
085	LAMAR	36.37	1,951,040,831
086	LANIER	34.45	565,268,228
087	LAURENS	34.01	2,996,140,166
088	LEE	35.50	3,324,680,814
089	LIBERTY	35.18	5,388,226,123
090	LINCOLN	35.50	1,002,653,347
091	LONG	34.03	1,194,257,648
092	LOWNDES	36.14	5,517,500,036
093	LUMPKIN	34.12	4,308,341,779
094	MACON	35.10	1,175,577,949
095	MADISON	33.01	3,184,628,147
096	MARION	40.27	519,006,309
097	MCDUFFIE	35.74	2,160,387,355
098	MCINTOSH	36.02	1,708,643,562
099	MERIWETHER	38.00	1,779,183,689
100	MILLER	35.65	573,327,472
101	MITCHELL	38.71	1,609,169,120
102	MONROE	40.31	3,946,913,169
103	MONTGOMERY	38.54	523,296,596
104	MORGAN	31.81	3,821,507,555
105	MURRAY	37.09	3,799,643,862
106	MUSCOGEE	34.27	19,312,785,770
107	NEWTON	36.77	12,774,325,937
108	OCONEE	37.29	7,902,254,042
109	OGLETHORPE	31.67	1,700,390,673
110	PAULDING	35.87	22,075,110,975
111	PEACH	37.88	2,490,409,439

		OVERALL	ADJUSTED 100%
CODE	<b>SCHOOL DISTRICT</b>	<u>RATIO</u>	\$ <u>DIGEST</u>
112	PICKENS	38.96	4,813,017,319
113	PIERCE	31.47	1,789,361,401
114	PIKE	29.63	2,284,428,733
115	POLK	31.19	3,864,151,060
116	PULASKI	31.64	822,088,813
117	PUTNAM	39.02	5,270,453,966
118	QUITMAN	41.83	215,768,923
119	RABUN	36.42	5,684,729,906
120	RANDOLPH	42.24	578,890,010
121	RICHMOND	35.07	20,227,629,293
122	ROCKDALE	33.70	12,529,320,216
123	SCHLEY	43.07	354,646,545
124	SCREVEN	35.78	1,276,214,356
125	SEMINOLE	39.56	867,848,505
126	SPALDING	35.73	6,606,124,410
127	STEPHENS	30.51	2,647,487,954
128	STEWART	34.89	496,774,333
129	SUMTER	34.64	2,149,794,839
130	TALBOT	38.04	672,134,310
131	TALIAFERRO	38.88	184,862,247
132	TATTNALL	33.06	1,471,388,473
133	TAYLOR	37.27	711,413,566
134	TELFAIR	38.18	863,874,771
135	TERRELL	34.64	902,308,906
136	THOMAS	37.35	2,720,417,844
137	TIFT	30.00	4,382,385,960
138	TOOMBS	38.07	1,325,619,358
139	TOWNS	37.06	3,211,484,832
140	TREUTLEN	40.39	327,094,483
141	TROUP	38.92	8,463,658,251

		OVERALL	ADJUSTED 100%
<b>CODE</b>	SCHOOL DISTRICT	<u>RATIO</u>	\$ <u>DIGEST</u>
142	TURNER	31.88	699,315,356
143	TWIGGS	35.70	934,386,146
144	UNION	38.19	5,612,108,559
145	UPSON	33.88	2,386,599,578
146	WALKER	38.09	5,148,983,175
147	WALTON	38.33	11,969,321,962
148	WARE	38.24	2,687,148,509
149	WARREN	35.83	545,263,758
150	WASHINGTON	37.45	1,927,076,417
151	WAYNE	33.63	2,622,896,863
152	WEBSTER	36.26	267,801,993
153	WHEELER	34.08	422,531,420
154	WHITE	34.04	3,911,750,400
155	WHITFIELD	29.04	7,572,082,453
156	WILCOX	35.59	565,690,525
157	WILKES	33.63	1,159,095,212
158	WILKINSON	37.05	1,065,239,827
159	WORTH	32.68	1,613,641,652

CODE	SCHOOL DISTRICT	OVERALL <u>RATIO</u>	ADJUSTED 100%  \$ DIGEST
200	ATLANTA (DEKALB)	36.66	8,228,355,277
201	ATLANTA (FULTON)	35.45	110,251,977,445
202	BREMEN (CARROLL)	36.11	101,227,781
203	BREMEN (HARALSON)	33.04	856,191,302
204	BUFORD (GWINNETT)	37.41	5,407,861,540
205	BUFORD - HALL	35.48	1,681,197,633
206	CALHOUN	33.68	3,866,703,194
207	CARROLLTON	36.11	3,724,813,280
208	CARTERSVILLE	34.25	4,553,331,945
209	CHICKAMAUGA	38.09	401,629,574
210	COMMERCE	31.96	1,278,354,331
211	DALTON	72.61	5,521,399,779
212	DECATUR	45.83	5,983,614,435
213	DUBLIN	34.01	2,014,024,643
214	GAINESVILLE	88.70	3,323,622,582
215	JEFFERSON	31.96	3,599,679,673
216	MARIETTA	36.01	12,226,372,931
217	PELHAM	38.71	140,060,967
218	ROME	35.58	4,437,538,450
219	SOCIAL CIRCLE (NEWTON)	36.77	4,145,793
220	SOCIAL CIRCLE (WALTON)	38.33	787,252,490
221	THOMASVILLE	37.35	2,273,267,058
222	TRION	29.04	209,760,650
223	VALDOSTA	36.14	5,140,983,197
224	VIDALIA (MONTGOMERY)	38.54	32,805,223
225	VIDALIA (TOOMBS)	38.07	1,170,929,584
SUB-TO	TAL-CITIES		\$ 187,217,100,757
SUB-TO	TAL-COUNTIES		1,433,126,783,452
100% ST	ATE DIGEST		\$ 1,620,343,884,209



#### **Commission Meeting**

Meeting Date: September 5, 2023

Willis Foreman Road Improvements Project

(Deans Bridge Rd. to Peach Orchard Rd)

Right of Way Acquisition

GDOT PI # 0013703

File Reference: 23 - 014(A)

**Department:** Engineering & Environmental Services

**Presenter:** Dr. Hameed Malik, Director

Caption: Motion to approve funding in the amount of \$1,283,905.00 for Atlas

Technical Consultants LLC (Atlas) Supplemental Agreement #1 for Task Order Two (TO2) for Willis Foreman Road Improvements Project Right of Way Acquisition under On-Call Property Appraisal and Acquisition for Augusta Engineering contract. Requested by Engineering. RFP 22-147 – 23ENG146(Approved by Engineering Services Committee August 29,

2023)

**Background:** Willis Foreman Road project is listed in the Transportation Improvement

Program (TIP). Willis Foreman Road is a two-way rural collector with a total of two through lanes. The proposed project provides connectivity between two urban major arterials (US 1 and US 25). The purpose of this project is to improve traffic flow and public safety and minimize traffic congestion by increasing the capacity and providing improvements along Willis Foreman Road between SR4/US1 and SR121/US25. Project Improvements concept includes widening to three lanes roadway section and turn lanes as needed, widening the bridge over Spirit Creek (if needed), major intersection improvements and adding curb and gutter, sidewalks and streetlights The project is included in Augusta Metropolitan Planning Organization (MPO) Transportation Improvement Plan (TIP) as funded by federal funds with 20%

local match.

**Analysis:** GDOT issued the Project ROW Acquisition NTP on May 15, 2023 and set schedule for its completion. 240 parcels needs to be appraised and needed

right of way / easements acquired. Since federal funds are involved, right of acquisition must be performed by GDOT prequalified consultant in this classification. Atlas is GDOT prequalified and under contract providing these

services to Augusta Engineering for Willis Foreman project under RFP 22-

Item 18.

147 Task Order One (TO1). Task Order Two (TO2) is a supplemental agreement for continuity of TO1. TO2 is needed for completion of required right of way/easements. Timely completion of right of way phase is critical to retain project federal construction funds.

to retain project federal construction funds.

**Financial Impact:** Funds in amount of \$1,283,905 available in project federal funds (Y230)

funds).

**Alternatives:** Do not approve and abandon the project.

**Recommendation:** Approve funding in the amount of \$1,283,905.00 for Atlas Technical

Consultants LLC (Atlas) Task Order Two (TO2) for Willis Foreman Road Improvements Project Right of Way Acquisition under On-Call Property Appraisal and Acquisition for Augusta Engineering contract. Requested by

Engineering. RFP 22-147

Funds are available in (\$1,283,905.00) 340-041110-52.12115 / TP1809005-52.12115 - Willis

the following accounts: Foreman Federal ROW Funds (Y230 Funds)

REVIEWED AND APPROVED BY:

HM/SR

# AUGUSTA, GEORGIA ENGINEERING & ENVIRONMENTAL SVCS DEPARTMENT SUPPLEMENTAL AGREEMENT

Augusta Richmond County Project Number(s):	340-041110- TP1809005
Supplemental Agreement Number:	1
Purchase Order Number:	23ENG146

WHEREAS, We, **Atlas Technical Consultants**, entered into a contract with Augusta, Georgia on June 07, 2022, for Engineering Services for the **Willis Foreman Improvements project**, Project No. 340-041110-TP1809005, RFP 22-147, and

WHEREAS, certain revisions to the design requested by Augusta, Georgia are not covered by the scope of the original contract, we desire to submit the following Supplemental Agreement to-wit:

#### Additional On-Call Property Appraisals & Acquisitions for the Willis Foreman Rd ROW

It is agreed that as a result of the above described modification the contract amount is increased by **\$1,283,905.00** from **\$348,910.00** to a new total of **\$1,632,815.00**.

Any modifications to submittal dates shall be as identified in the attached proposal. This Agreement in no way modifies or changes the original contract of which it becomes a part, except as specifically stated herein.

NOW, THEREFORE, We, **Atlas Technical Consultants**, hereby agree to said Supplemental Agreement consisting of the above mentioned items and prices, and agree that this Supplemental Agreement is hereby made a part of the original contract to be performed under the specifications thereof, and that the original contract is in full force and effect, except insofar as it might be modified by this Supplemental Agreement.

This, 2023.	
RECOMMEND FOR APPROVAL:	
CITY OF AUGUSTA, GEORGIA	ATLAS TECHNICAL CONSULTANTS
Honorable Garnett L. Johnson, Mayor	
Approved: Date	Approved: Date [ATTACHED CORPORATE SEAL]
ATTEST:	ATTEST:
Title:	Title:

The following proposed fees by Atlas Technical Consultants, LLC will provide certain Right of Way services needed to deliver the subject project from the Notice to Proceed by The City of Augusta to Right of Way certification of the project.

#### FEE SCHEDULE

**Date: April 18, 2023** 

#### PROJECT DESCRIPTION: Willis Foreman Rd. Augusta, GA PI # 0013703

Total	\$1,632,815.00**
242 @ \$ 570.00	\$137,940.00
	\$ 48,400.00
- '	\$121,000.00
* *	\$ 2,000.00
the state of the s	\$ 4,000.00
* *	\$726,000.00
' '	\$173,400.00
· · ·	\$ 86,100.00
	\$ 7,700.00
' '	\$ 17,250.00
	\$ 6,900.00
	\$ 60,375.00
	\$120,750.00
242 @ \$ 500.00	\$121,000.00
	35 @ \$3,450.00 35 @ \$1,725.00 2 @ \$3,450.00 5 @ \$3,450.00 11 @ \$ 700.00 41 @ \$2,100.00 51 @ \$3,400.00 242 @ \$3,000.00 1 @ \$4,000.00 1 @ \$2,000.00 242 @ \$ 500.00 242 @ \$ 500.00 242 @ \$ 570.00

\*\*NOTES:

TO1=\$348,910 & TO2=\$1,283,905

- 1. Closing documents will consist of the Deed, Easement, Legal Description, Plats, IRS Reporting Form, Property Owner's Affidavit and Owner Contact Information
- 2. Closing and condemnation packages will be provided to designated City of Augusta Attorney as requested.
- 3. Any unsuccessful NFS negotiations will be re-negotiated, after being appraised, at 50% of the original negotiation fee.
- 4. Any title work, cost to cure or appraisal work performed for parcels removed from the plans will be billed at the rates specified above if work is performed before the parcel is removed. Negotiations will be billed at the rate specified above if the offer is made before the parcel is removed from the plans.
- 5. Any additional appraisals will be completed at the rates specified above.
- 6. Any other additional work performed will be completed at the rates specified above or as noted in the current On Call Property Appraisal & Acquisition Professional Services Contract, dated 3/11/2022.

Signed		_ Date	
	CITY OF AUGUSTA, GEORGIA		
Signed		_ Date	
J	ATLAS TECHNICAL CONSULTANTS, LLC FKA		
	MORELAND ALTOBELLI ASSOCIATES, LLC		



#### **Commission Meeting**

Meeting Date: September 5, 2023

Roadway Lighting for Public Safety

Windsor Spring Rd (Meadowbrook Dr. to Crosscreek Rd.)

File Reference: 23 - 014(A)

**Department:** Engineering & Environmental Services

**Presenter:** Dr. Hameed Malik, Director

Caption: Motion to authorize and approve construction of street lights for Windsor

Spring Road Corridor between Meadowbrook Dr. & Crosscreek Rd. Also, approve and authorize allocating \$600,000 from Street Lighting Program ARPA designated funds to the streetlights construction. (**Approved by** 

**Engineering Services Committee August 29, 2023)** 

**Background:** This is a roadway safety lighting project. Windsor Spring is one of the busy

corridors and is experiencing new residential & commercial growth.

However, this road segment between Meadowbrook Drive and Crosscreek Road has no lighting. It will be coordinated project between Augusta Engineering and Georgia Power. It is estimated that Georgia Power will install up to 55 streetlights along the Windsor Spring corridor subject segment. Once construction is completed, improvements are transitioned to

Georgia Power for its operation and maintenance (O & M).

**Analysis:** Augusta Commission, in the FY2022 Budget, approved allocating

\$6,000,000.00 ARPA funds to street lighting improvements under Light Up Augusta initiative. Approval distributed funds utilization/obligation over FY2021 through FY2024 budgeted period. Remaining street lighting allocated unobligated balance should be around \$2,556,560.00. Windsor Spring Road Segment between Meadowbrook Drive & Crosscreek Road Lighting construction estimated cost is around \$600,000.00. To complete this segment street lighting, Augusta Engineering needs funds and requesting utilizing \$600,000.00 from street lighting ARPA allocated available balance.

**Financial Impact:** No additional impact.

**Alternatives:** Explore & identify alternate funding source.

**Recommendation:** Authorize and approve construction of streetlights for Windsor Spring Road

Corridor between Meadowbrook Dr. & Crosscreek Rd. Also, Approve and

Authorize allocating \$600,000 from Street Lighting Program ARPA

designated funds to the streetlights construction. Requested by Engineering

Funds are available in (\$600,000) 230 000000-5312310 - ARP Streetlighting Allocation Funds the following accounts:

**REVIEWED AND** HM/SR **APPROVED BY:** 



#### **Commission Meeting**

September 5, 2023

Augusta Corporate Park Utility Extension

**Department: Utilities Department** 

**Presenter:** Wes Byne, Director

**Caption:** Motion to **approve** proposal from Cranston Engineering Group, P.C. to

> provide additional engineering services to the sewer design for the Augusta Corporate Park Utility Extension. (Approved by Engineering Services

Committee August 29, 2023)

Augusta Corporate Park infrastructure is being expanded for industrial **Background:** 

development. As part of the expansion, the Utilities Department will

construct new water and sanitary sewer mains. Due to unexpected increase for sewer capacity in the park, Cranston Engineering Group needs to modify

the existing sewer plans.

**Analysis:** Cranston Engineering Group has provided a fee to perform these design

services that was deemed to be fair and reasonable.

Cranston Engineering submitted a proposal fee in the amount of \$28,215.00. **Financial Impact:** 

Funds are available from the following account: 507043490-5212115 /

82100130-5212115

**Alternatives:** AUD recommend approval for Cranston Engineering Group to perform the

additional engineering services for the Augusta Corporate Park Utility

Extension for the proposal fee of \$28,215.00.

**Recommendation:** AUD recommend approval for Cranston Engineering Group to perform the

additional engineering services for the Augusta Corporate Park Utility

Extension for the proposal fee of \$28,215.00.

Funds are available in

Funds are available in 507043490-5212115 / 82100130-5212115 the following accounts:

**REVIEWED AND** 

**APPROVED BY:** 

N/A



452 Ellis Street Augusta, Georgia 30901 PO Box 2546 Augusta, Georgia 30903 706.722.1588 CranstonEngineering.com

May 12, 2023

Augusta Utilities Department Mr. Wes Byne, P.E., Director 452 Walker Street, Suite 100 Augusta, Georgia 30901

> Re: Augusta Corporate Park Utility Extension Sanitary Sewer Design Revisions Our File No. 2016-0092

Dear Mr. Byne,

In accordance with your request, we are pleased to offer the following proposal for planning and engineering services associated with design updates for the proposed sanitary sewer system in Augusta Corporate Park. Specifically, this proposal includes professional services for the design of a gravity sewer system, lift station, and force main. This proposal confirms our understanding of the project scope as well as the fees and the anticipated schedule for accomplishing the work.

#### PROJECT BACKGROUND

During the fall of 2022, Cranston finalized the design of water and sanitary sewer improvements to serve planned industrial developments in the Augusta Corporate Park. As the City of Augusta has secured Federeal EDA funding for the project, the drawings and specifications were developed in accordance with grant requirements. Following juristidictional review and completion of minor updates, the Federal EDA approved the project for bid on January 5, 2023.

During the first quarter of 2023, development schedules and anticipated water demands were modified by industries considering build-outs in the Augusta Corporate Park. With new flow data and revised timelines, the Augusta Utilities Department commissioned a Feasibility Study to evaluate alternatives for the sanitary sewer improvements. Cranston completed the Feasibility Study and presented it to AUD and Augusta EDA on April 19, 2023.

The preferred sanitary sewer alternative includes new 12-inch diameter gravity sewer, a duplex lift station, and 6-inch diameter force main serving only the Aurubis and Denkai sites. The 6-inch force main will extend north from the lift station to the new gravity system in Valencia Way approximately 1,800-feet east of the Starbucks Plant. Downsteam of the force main connection, the new gravity sewer will extend northwest to the existing sanitary manhole on the south side of Horseshoe Road.

2016-0092

Augusta Utilities Dept. May 12, 2023 Page **2** of **4** 

For design purposes, operating conditions for the preferred alternative are based on the water demands through Phase 2 of the Aurubis and Denkai build-outs. This results in an operating condition of 180-291 gpm with an approximate head of 135-feet. While initial calculations completed during the Feasbility Study indicate that the duplex lift station and 6-inch force main will have available capacity following Phase 2, additional study is recommended if further expansion is planned.

The Feasbility Study contemplates a second, stand-alone lift station and force main system to serve future development on the Purecycle site. Based on information provided to AUD by Purecycle, the preferred alternative for the Purecycle site was based on an operating condition of 640-1,280 gpm with an approximate head of 55-feet. A 12-inch diameter force main is anticipated to serve the future lift station. The future force main and lift station are not included in this scope of work.

#### **SCOPE OF WORK**

Cranston Engineering proposes our services on a per task basis as outlined below.

#### TASK #1 – FINAL DESIGN

- A. Using the flow data provided by Augusta Utilities Department, Cranston will complete the required hydraulic calculations for force main design and initial pump selection.
- B. Cranston will coordinate with pump manufacturers to preliminarily identify pump options, manufacturer lead times, and budgetary costs.
- C. We will develop revised lift station drawings for coordination and review by AUD.
- D. Cranston will complete revised drawings to include plan / profile views, construction details, and erosion and sediment control measures.
- E. Cranston will include the Federal EDA grant information consistent with the approved package from January 2023. We will submit the revised drawings to the Federal EDA for review and approval.
- F. Cranston will meet with AUD to submit a 95% complete set of Construction Drawings and Technical Specifications. Following review, we will incorporate any comments and revisions as necessary and then develop final drawings, specifications, and bid documents. We will coordinate the lift station and site design with the Electrical Engineering services proposed herein.
- G. Drawings will be submitted on printed sets and furnished electronic copies in PDF. We expect to provide the Augusta Utilities Department 8 bound sets of final drawings. CAD files of the final drawings will be provided, as requested, at no additional fee.

#### TASK #2 – ELECTRICAL ENGINEERING (LIFT STATION)

- A. Support the revised design with updated power supply, pump selection, and costs.
- B. Provide Final Electrical Engineering design to include Final Drawings and Specifications.
- C. Final deliverables will be aligned with the Final Civil Engineering Design Services in terms of 95% and 100% submittals to assure Owner review comments are addressed.

Augusta Utilities Dept. May 12, 2023 Page **3** of **4** 

#### **ASSUMPTIONS & EXCLUSIONS**

- The future lift station and force for the Purecycle site are not included in the scope of work.
- Operating conditions for the Aurubis and Denkai sites are as noted herein and in the Feasibility Study by Cranston, dated March 30, 2023.
- Cranston will update the water main drawings and bid quantities to reflect the recently completed water main installations to support on-going construction. We understand that Augusta Utilities Department will provide Cranston with the necessary as-built data.
- Design services for adjancent site developments are excluded.
- Geotechnical and / or Environmental Services are excluded.
- Easement or right-of-way maps are excluded.
- Bid Phase Services are as proposed in the November 19, 2021 proposal and included in our current Purchase Order (#22AUA011).
- Construction Phase services are not included. These services can be provided, as requested, on a time and materials basis or through a separate agreement.
- Any services not explicitly proposed herein are excluded from the proposed scope of work. If additional services are required, we will collectively establish the scope of services with the Augusta Utilities Department. A separate proposal will be respectfully provided to AUD for review and approval.

#### FEE PROPOSAL

We respectfully propose to complete the Scope of Work based on the fee schedule below. The proposed fee basis (lump sum, etc.) is noted for each task.

<u>Task</u>	<u>Task</u>	Proposed Fee
#1	Final Design (lump sum)	\$24,840
#2	Electrical Engineering - Lift Station(s) (lump sum)	\$3,375
	TOTAL:	\$28,215

We expect to submit periodic invoices monthly and to receive payment within thirty days thereafter.

2016-0092

Augusta Utilities Dept. May 12, 2023 Page 4 of 4

#### TIME OF COMPLETION

We are prepared to begin work at your direction and expect to submit a 95% review set by June 2, 2023. To expedite AUD feedback and to track design progress, we will schedule in-process design review meetings.

We appreciate the opportunity to propose our professional services and trust that you find it satisfactory. Should you have any questions concerning this proposal, please do not hesitate to give us a call.

Sincerely,

**CRANSTON** 

Tom Dunaway, P.E.

Enclosed: March 30, 2023 Feasibility Study by CRANSTON

#### **CONTRACT CHANGE ORDER**

CO NUMBER	1
BID ITEM	18231
DATE	8/8/2023

PROJECT TITLE

Augusta Corporate Park Utility Extension

ORIGINAL CONTRACT DATE

<u>12/07/2021</u> **PROJECT NUMBER** 

AUD-2016-005

OWNER AUGUSTA, GEORGIA

PO NUMBER

22AUA011

The following change is hereby made to the contract for the above project:

Description of Change (for a more detailed description see attached proposal): Perform additional design work due to change of requirements.

PAYEE				
TOTAL AMOUNT OF THIS CH	\$	\$28,215.00		
The contract time will	result of th	is change.		
ORIGINAL CONTRACT AMOU	\$	\$177,970.00		
PREVIOUS CHANGE ORDER (	\$	\$0.00		
THIS CHANGE ORDER (INCRE	\$	\$28,215.00		
TOTAL REVISED CONTRACT	\$	\$206,185.00		
FUNDING NUMBER/ACCO	UNT NUMBER	507043490		5212115
		82100130		5212115
PROPOSED BY:	ng Group	DATE:	5/12/2023	
REQUESTED BY:	Tate Ho ENGINI		DATE:	8/08/2023
SUBMITTED BY:	DEPARTMEN	IT HEAD	DATE:	10Ay23
FINANCE ENDORSEMENT:	COMPTRO	DLLER	DATE:	
RECOMMENDED BY:	ADMINISTI	RATOR	DATE:	
APPROVED BY:	MAYC	DR	DATE:	

Dav. 5/7/7012

# AUGUSTA - RICHMOND COUNTY REQUISITION

	CHECK ALL THAT APPLY:	r APPLY:			1	FUND# 507 -	507 - Capital Improvements	rovements
DATE	DATE: 8/10/2023	MATED	ENCINEEDING		VODDOV NOISSIMA			
Depart	Department: Utilities		CONCTRICTOR		COMMISSION APPROVAL		021	
			CONSTRUCTION	-11	ADMINISTRATIVE APPROVAL			
GL#:	507043490 - 5212115	N POIN	V PROFESSIONAL SERVICES		CHANGE ORDER	Date	1	
JL#:	82100130 - 5212115	VENDOR:	CRANSTON ENGINEERING	SINEERING				
	ı	ADDRESS:	VENDOR#17520					
BIDI	BID ITEM # N/A	PHONE #:						
ITEM #	ITEM DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
1.	AUGUSTA CORPORATE			0.00		0.00		0.00
2.	PARK UTILITY			0.00		00.00		0.00
3.	SYSTEM DESIGN		28,215.00	28,215.00		00.00		0.00
4.	CO#1 22AUA011			0.00		00.00		0.00
5.				0.00		0.00		0.00
.9				0.00		0.00		0.00
7.	NEW PO TOTAL	206185.00		0.00		00.00		0.00
œ				0.00		00.00		0.00
9.				0.00		00.00		0.00
10.	APPROVED BY			0.00		00.00		0.00
11.	COMMISSION ON			0.00		00.00		0.00
12.	12/07/2021			0.00		00.00		0.00
13.	ITEM#50			0.00		00.00		0.00
14.			L	00.00		00.00		0.00
	SHIPPING CHARGES			0.00		00.00		0.00
	TOTAL	AL		28,215.00		00.00		0.00
JUSTIF	JUSTIFICATION AND EXPLANATION FOR PURCHASE:	URCHASE:						

REQUESTED BY:

APPROVED BY: COMMISSION-12/07/2021

Directors Signature:

#### **PURCHASE ORDER**

## AUGUSTA, GEORGIA SUITE 605, PROCUREMENT DEPARTMENT

535 TELFAIR STREET, MUNICIPAL BUILDING 1000

AUGUSTA, GEORGIA 30901-2377 PHONE: (706) 821-2422

Page 1 of 1

Item 20. PURCHASE 22AUA011

VENDOR PHONE # REQUISITION/QUOTE NO. DATE DEPARTMENT R356231 (706) 722-8379 01/25/22 043490 PURCHASE ORDER NUMBER ABOVE MUST APPEAR ON ALL INVOICES, SHIPPING PAPERS, AND PACKAGES. **EMAIL** VENDOR# E-VERIFY# 17520 64684

VENDOR

CRANSTON ENGINEERING GROUP 452 ELLIS STREET

P.O. BOX 2546 AUGUSTA, GA 30903 ATTN:

BID NUMBER: 18231

CONTRACT #: 22AUA011 BUYER: NANCY

SHIP TO:

AUGUSTA UTILITIES ADMIN

452 WALKER STREET

SUITE 200

AUGUSTA, GA 30901

BILL TO:

AUGUSTA, GEORGIA

**ACCOUNTING DEPARTMENT, SUITE 800** 535 TELFAIR STREET, MUNICIPAL BUILDING 1000 AUGUSTA, GA 30901-2379 (706) 821-2335

ALL INVOICES AND CORRESPONDENCE MUST BE SENT TO ABOVE ADDRESS REGARDLESS OF SHIPPING DESTINATION.

				ABOVE ABBITECO NEON INDE	ABOVE ADDRESS RESARDEESS OF SHIP INC DESTINATION.		
ITEM #	QUANTITY	UNIT	PRODUCT ID	DESCRIPTION	UNIT PRICE	AMOUNT	
0001	1	EACH		ENGINEERING SERVICES TO PREPARE PLANS FOR SANITARY SEWER IN AUGUSTA CORPORATE PARK	177,970.00	177,970.00	
				APPROVED BY COMMISSIOIN 12/7/21, ITEM #50			
			GIL	507-04-3490/52-12115			
			JIL	82100130-5212115			
	,						

#### CONDITIONS - READ CAREFULLY

- The purchaser is exempt by statue from payment of Federal, State, and Municipal sales, excise and other taxes.
- Shipping charges prepaid by vendor.
- Payment will be made on complete shipments only, unless otherwise requested.
- DELIVERY TICKET MUST ACCOMPANY GOODS.
- No back orders. We will reorder if available.
- Please make deliveries between 9 A.M. and 4 P.M.
- All goods received with subsequent privilege to inspect and return at Vendor's expense if defective or not in compliance with our specifications.
- 8. Indoor delivery if necessary.
- 9. Payment Net 30 or according to contract

Sent by:

JAN 2 8 2022

NET TOTAL....

177,970.00

Tess Thompson Approved for Issue

GAS AMS

PROCUREMENT DIRECTOR



#### **Commission Meeting**

September 5, 2023

Hicks Water Treatment Plant Filter 4 Rehabilitation

**Department:** Utilities Department

**Presenter:** Wes Byne, Director

**Caption:** Motion to **approve** a professional services contract with Ardurra Group for

the Hicks Water Treatment Plant Filter 4 Rehabilitation project (RFQ18-132). (Approved by Engineering Services Committee August 29, 2023)

**Background:** AUD recommends the Commission award a contract to Ardurra Group in the

amount of \$77,000.00 for the Hicks Water Treatment Plant Filter 4

Rehabilitation project. Filter 4 has not been able to operate efficiently due to its years of service. This rehabilitation will help the water treatment filter to

run more energy efficiently. The scope of services consists of design

services, bid package preparation, bidding assistance, and construction phase

services.

**Analysis:** Ardurra Group has provided a fee to perform these design services that was

deemed to be fair and reasonable.

**Financial Impact:** Ardurra Group submitted a proposal fee in the amount of \$77,000.00.

Funds are provided in 506043540-5425110

**Alternatives:** No alternatives are recommended.

**Recommendation:** AUD recommends approval for a contract to Ardurra Group in the amount of

\$77,000.00 for the Hicks Water Treatment Plant Filter 4 Rehabilitation

project.

Funds are available in the following accounts:

Funds are available in 506043540-5425110

**REVIEWED AND APPROVED BY:** 

N/A



#### ATTACHMENT A - SCOPE OF SERVICES

#### **Purpose**

The purpose of this Scope of Services is to authorize and direct CONSULTANT (Ardurra Group) to provide professional services relating to the design of the proposed sanitary sewer upgrades for the Hicks Water Treatment Plant Filter 4 Rehabilitation project.

#### **Scope of Services**

The Filter 4 Rehabilitation project will be limited to replacement of the existing underdrain system and filter media for <u>both bays</u> of Filter 4 at the Hicks Water Treatment Plant. Provisions for minor structural repairs will be included, but CONSULTANT has assumed, based on visual inspection, that the filter is not experiencing major structural issues. Anthracite media will be purchased directly from CITY's existing sole source provider, UNIFILT. Proposed underdrain system shall be replaced in-kind with the Leopold Type S block system with IMS 200 cap. Sand media will be open bid.

The CITY has requested an expedited schedule on the preparation of these design documents, and CONSULTANT aims to accommodate this request with bid documents being issued by the end of August 2023. Based on this schedule, a single deliverable is proposed by CONSULTANT to be presented to the client at the 90% design phase. Following review and approval of CONSULTANT's proposed 90% design, CONSULTANT will proceed directly to the preparation of bid documents.

The scope of services for this project includes the following:

#### Task 1 – Project Management

Project Management services shall include coordination of the project team, communications and meetings with CITY staff, and monitoring schedule and budget. Services also include preparation of invoices and monthly progress reports.

#### Task 2 - Engineering Design (90% Delivery)

Design and Engineering Services will include services related to preparing construction drawings and technical specifications setting forth the size and character of the project as well as the requirements for its installation. The following services are included:

- a. Prepare construction drawings and technical specifications.
- b. Conduct a 90% design review/progress meeting.
- c. Perform QA/QC of the construction drawings and technical specifications by Senior Engineer not involved in the project.
- d. Update the preliminary opinion of probable cost and preliminary schedule at 90% design.



#### Task 3 – Bid Phase Services

CONSULTANT will support all phases of this project, including bid phase services through Augusta Procurement. CONSULTANT will prepare final bid documents based upon comments from the 90% Delivery review received from CITY. CONSULTANT will deliver bid documents, including plans and technical specifications, on a jump drive in PDF format. CITY will assemble and distribute bidding documents to contractors and will assemble contract documents for execution.

CONSULTANT will attend pre-bid meeting and the bid opening. CONSULTANT will develop a bid form and related bid documents as requested, assisting CITY in obtaining bids, addressing technical questions raised by prospective bidders and suppliers, issuance of all instructions and addenda, and recommendation of contract award.

#### Task 4 - Construction Administration Services

Construction Administration Services will include general consultation and advice regarding construction activities, attending a preconstruction conference, attending monthly construction progress meetings, and attending a final inspection for substantial completion.

CONSULTANT will provide request for information (RFI) reviews, field change reviews, pay request review, and conducting final inspections for substantial completion as may be required of the CONSULTANT by the CITY. At the conclusion of the project, development of as-built documents including the contractor's redline information in the drawings to document changes that occurred in the field.

A material delivery lead time is estimated to be up to 7 months. Following delivery of materials, a 5-month construction period is contemplated.

#### Quality Assurance / Quality Control (QA/QC)

Quality Assurance/Quality Control (QA/QC) is a continual process that begins with the Design Phase Notice-To-Proceed (NTP), continues through project closeout, and includes participation from all project stakeholders. CONSULTANT will provide continual constructability/operability, QA/QC and value engineering reviews done by CONSULTANT staff at all design stages with CITY staff and other stakeholders.

#### Services Not Included

Permitting Services are not part of CONSULTANT's work and may be performed on an as needed basis with compensation being invoiced on a Cost-Plus basis.



#### ATTACHMENT B - COMPENSATION

The CITY shall compensate the CONSULTANT for services, which have been authorized by the CITY under the terms of this Agreement.

The CONSULTANT may submit to the CITY a monthly invoice, in a form acceptable to the CITY and accompanied by all support documentation requested by the CITY, for payment for the services, which were completed during the billing period. The CITY shall review for approval said invoices. The CITY shall have the right to reject payment of any invoice or part thereof if not properly supported, or if the costs requested or a part thereof, as determined solely by the CITY, are unreasonably in excess of the actual phase of completion of each phase. The CITY shall pay each such invoice or portion thereof as approved, provided that the approval or payment of any such invoice shall not considered to be evidence of performance by the CONSULTANT to the point indicted by such invoice, or of receipt of acceptance by the CITY of the service covered by such invoice. The CITY shall pay any undisputed items contained in such invoices.

Each invoice shall be accompanied by a letter progress report describing the total work accomplished for each phase and any problems, which have been encountered, which may inhibit execution of the work. The CONSULTANT shall also submit an accurate updated schedule, and an itemized description of the percentage of total work completed for each phase during the billing period.

When the CITY authorizes the CONSULTANT to proceed with the work authorized in a Task Order, it agrees to pay the CONSULTANT for work completed, on a lump sum percent complete basis.

Overtime may be performed at the discretion of the CONSULTANT, but the premium time portion of the overtime will not be billed to the CITY unless the CONSULTANT has requested acceleration of the scheduled work in writing.



Fee Schedule for Hicks WTP Filter 4 Rehabilitation						
Project Phases	Unit	Unit Cost				
Task 1 - Project Management	Lump Sum	\$6,700				
Task 2 - Engineering Design	Lump Sum	\$28,000				
Task 3 - Bid Phase Services	Lump Sum	\$14,600				
Task 4 - Construction Administration Services	Lump Sum	\$25,700				
Other Direct Costs		\$2,000				
TOTAL		\$77,000				



#### ATTACHMENT C - LISTING OF KEY PERSONNEL

CONSULTANT shall provide qualified personnel to perform its work. The list of key personnel below, including a designated Program Manager will not change or be reassigned without the written approval of the CITY. Those personnel committed for this work are as follows:

Jeff Duplantis, PE, Project Mgr	
Aaron Baird, PE, Design Mgr	
Joe Downey, PE, QA/QC	
Donald Phillips, PE, QA/QC	



#### **Commission Meeting**

September 5, 2023

Augusta Canal – 2024 4th Part 12D Independent Consultant Safety Inspection Contract – Sole Source

**Department:** Augusta Utilities Department

**Presenter:** Wes Byne

Caption: Motion to approve sole source contract with Kleinschmidt Associates to

provide the Federal Energy Regulatory Commission's mandated Part 12D Independent Consultant Safety Inspection of the Augusta Canal in the amount of \$85,000.(Approved by Engineering Services Committee

August 29, 2023)

**Background:** The Augusta Canal falls under the regulatory jurisdiction of the Federal Energy

Regulatory Commission (FERC). FERC regulations require that every 5 years a Part 12D Independent Consultant Safety Inspection be performed on the Canal.

FERC regulations also state the same consulting firm cannot conduct more than two

consecutive Part 12D inspections. In 2019, a contract with Kleinschmidt Associates was approved by the Commission for conducting the 3<sup>rd</sup> Part 12D Inspection. This was the first time Kleinschmidt was used for this service and they performed the task well. AUD respectfully requests that Kleinschmidt once again

performed the task well. AUD respectfully requests that Kleinschmidt once again be allowed to provide this service for the upcoming 2024 4<sup>th</sup> Part 12D inspection.

**Analysis:** Approval of this contract will allow the City of Augusta to remain in compliance

with Federal Energy Regulatory Commission regulations regarding Dam Safety of

the Augusta Canal.

**Financial Impact:** We have reviewed the proposal from Kleinschmidt Associates and find it to be fair

and reasonable. Funding in the amount of \$85,000.00 is available from accounts:

G/L 514043410-5212115 - J/L 82300020-5212115.

**Alternatives:** No alternatives are recommended.

**Recommendation:** Recommend approval of this contract with Kleinschmidt Associates for \$85,000.00

Funds are available in the following accounts:

Funds are available in account G/L 514043410-5212115 - J/L 82300020-5212115.

PEVIEWED AND

**REVIEWED AND** N/A **APPROVED BY:** 

355



## Sole Source Justification (Reference Article 6, Procurement Source Selection Methods and Contract Awards, § 1-10-56 SOLE SOURCE PROCUREMENT

Vendor:	Kleinschmidt Associates E-Verify Number:	876285			
Commodity:	Engineering Services				
Estimated annual	expenditure for the above commodity or service:	35,000 (one time)			
justification and s	below that apply to the proposed purchase. Attach a memorandur support documentation as directed in initialed entry. (More than one ects/services requested).	n containing complete ntry will apply to most			
	<ol> <li>SOLE SOURCE REQUEST IS FOR THE ORIGINAL MANUFACTHERE ARE NO REGIONAL DISTRIBUTORS. (Attach the certification that no regional distributors exist. Item no. 4 also must be</li> </ol>	e manufacturer's written			
	<ol> <li>SOLE SOURCE REQUEST IS FOR ONLY THE AUGUS DISTRIBUTOR OF THE ORIGINAL MANUFACTURER OR manufacturer's — not the distributor's — written certification t distributors. Item no. 4 also must be completed.)</li> </ol>	PROVIDER, (Attach the			
	<ol> <li>THE PARTS/EQUIPMENT ARE NOT INTERCHANGEABLE WI ANOTHER MANUFACTURER. (Explain in separate memorandum.)</li> </ol>	TH SIMILAR PARTS OF			
	<ol> <li>THIS IS THE ONLY KNOWN ITEM OR SERVICE THAT WILL M NEEDS OF THIS DEPARTMENT OR PERFORM THE INTENI memorandum with details of specialized function or application.)</li> </ol>	EET THE SPECIALIZED DED FUNCTION. (Attach			
	<ol> <li>THE PARTS/EQUIPMENT ARE REQUIRED FROM THIS STANDARDIZATION. (Attach memorandum describing basis for sta</li> </ol>	SOURCE TO PERMIT ndardization request.)			
CDH	6. NONE OF THE ABOVE APPLY. A DETAILED EXPLANATION FOR THIS SOLE SOURCE REQUEST IS CONTAINED IN ATTAC	N AND JUSTIFICATION HED MEMORANDUM.			
The undersigned requests that competitive procurement be waived and that the vendor identified as the supplier of the service or material described in this sole source justification be authorized as a sole source for the service or material.					
Name:	Chad Hendrix Department: Utilities	Date: 8/17/2023			
Department Head Signature: Date: 74423					
Approval Authorit	ty: ONDAMS	Date: 0/8103			
Administrator App	proval: (required - not required)	Date:			
COMMENTS:					

-Lugusta

UTILITIES DEPARTMENT

Wes Byne, P.E. Director Chad Hendrix, P.E. Assistant Director

TO:

Geri Sams

Director, Procurement Department

THRU:

Wes Byne, P.E.

Director, Utilities Department

FROM:

Chad Hendrix, P.E.

Assistant Director, Utilities Department

DATE:

August 14, 2023

SUBJECT:

SOLE SOURCE JUSTIFICATION - Kleinschmidt Associates

The Augusta Canal falls under the regulatory jurisdiction of the Federal Energy Regulatory Commission (FERC). FERC regulations require that every 5 years a Part 12D Independent Consultant Dam Safety Inspection be performed on the Canal. FERC also states the same consulting firm cannot conduct more than two consecutive Part 12 inspections. In 2019, a contract to work with Kleinschmidt Associates as a sole source provider was approved by the Commission. This was the first time Kleinschmidt was used for this level of inspection and they performed the task well. AUD respectfully requests that Kleinschmidt once again be allowed to provide this service as a sole source provider for this upcoming inspection.

Kleinschmidt Associates was chosen for this task due to their vast knowledge of the water industry providing engineering, regulatory, and environmental consulting services to government agencies across North America. Kleinschmidt's Mr. Nick Ciomei will serve as the Independent Consultant and has developed a great working rapport with the local FERC office on many dam safety projects.

Kleinschmidt's price for the inspection and final report is \$85,000.00 which the department is in agreement with, and funding is available. A municode agenda item for approval of this draft contract is being submitted for presentation to the Commission.



We provide practical solutions for complex renewable energy, water, and environmental projects.

May 19, 2023

#### Via Email

Chad Hendrix, PE Assistant Director Augusta Utilities Department 452 Walker Street Augusta, GA 30901

Proposal for Engineering Services (2097002.00)

Augusta Canal Hydroelectric Project (FERC No. 11810)

2024 4th FERC Part 12D Periodic Inspection

Dear Mr. Hendrix:

Kleinschmidt Associates (Kleinschmidt) is pleased to submit this proposal to provide engineering services to prepare the 4th Part 12D Independent Consultant Dam Safety Inspection of the Augusta Canal Hydroelectric Project (FERC No. 11810, Project). The 4th Part 12D Safety Inspection of the Project will be conducted as a Periodic Inspection (PI), in accordance with and as required by the Federal Energy Regulatory Commissions' (FERC) Chapter's 16 and 17 of the Engineering Guidelines for the Evaluation of Hydropower Projects (Guidelines), December 16, 2021. According to the information we have available, the Part 12D Periodic Inspection Report (PIR) is due to FERC by June 30, 2024.

We propose Nick Ciomei, P.E., as the Independent Consultant (IC), structural subject matter expert (SME), and Project Manager. Mr. Ciomei is a FERC-approved IC and he has not performed back-to-back Part 12 inspections of the Project. A copy of Mr. Ciomei's résumé is attached for Augusta Utilities Department's (AUD) review (Attachment A). Mr. Ciomei will be accompanied by two additional Kleinschmidt engineers to participate in the inspection of the Project's structures. One of the engineers will be an experienced engineer that can act as the Geotechnical SME. The second additional engineer will perform the role of IC assistant and notetaker for the inspection.

Kleinschmidt will not use subconsultants in performing the proposed scope of work.

#### PROPOSED SCOPE OF WORK

According to paragraph 12.32 of FERC Order 122, the proposed scope of work for the safety inspection is "...to identify any actual or potential deficiencies that might endanger life, health, or property, including deficiencies that may be in the condition of those project works or in the quality or adequacy of project maintenance, safety, methods of operation, analyses, and

other conditions." The requirements for the PIR are contained in Chapter 16 of FERC's *Guidelines*. The proposed work will be performed according to the requirements of the *Guidelines* and as outlined in FERC's Part 12 Notification Letter of December 19, 2022. All work will be performed either by the IC or under the direction of the IC. We will perform the following tasks to prepare the Part 12D PIR for the Project.

#### **TASK 1: REVIEW BACKGROUND INFORMATION**

We request that AUD provide an electronic copy of the following documents for the IC to review before visiting the Project. Some documents are requested in Microsoft Word or Excel format, as noted:

- Supporting Technical Information Document (STID) the most current version of the document or the draft containing proposed revisions in Microsoft Word;
- Potential Failure Modes Analysis (PFMA) Report and addenda in Microsoft Word;
- copies of the three previous Part 12 Safety Inspection Reports (SIRs);
- dam safety correspondence with FERC since the previous SIR;
- FERC's most recent annual inspection report;
- most recent version of the Dam Safety Surveillance and Monitoring Plans (DSSMP);
- most recent Dam Safety Surveillance and Monitoring Reports (DSSMR);
- instrumentation and monitoring data set up to be plotted (if data are not in Excel, please provide electronic copies of the data plots);
- current Emergency Action Plans (EAPs);
- current Owner's Dam Safety Plan (ODSP);
- current Public Safety Plan (PSP);
- project drawings; and
- documents describing any modifications, studies, or investigations that have been performed since the STID was last updated.

Assuming that the drawings and other information contained in the documents are legible and suitable for reproduction and use in the Part 12D PIR, no other background information should be needed.

The IC needs to review AUD's correspondence with FERC regarding dam safety to ensure that he is aware of any issues that FERC may have with the safety of the Project. The correspondence should start with the letter submitting the 3rd Part 12D SIR to FERC up to the current day. Copies of correspondence regarding licensing issues or annual operating reports are not needed.

The requested documents should be provided to Kleinschmidt as soon as practical after issuing the notice to proceed, and at least 4 months before the field inspection for creation of the Pre-Inspection Preparation Report (PIPR, Task 6).

#### **TASK 2: PART 12D INSPECTION PLAN**

A Part 12D Inspection Plan for the Project will be prepared under the direction of the IC in a format that complies with the FERC's requirements as contained in Chapter 16 of the *Guidelines*. The Inspection Plan will include the Project's basic information, type of inspection, the proposed IC Team subject matter disciplines, and a schedule for completing the Part 12D inspection-related activities. Kleinschmidt will submit the proposed IC Team's resumes as part of the Inspection Plan. Kleinschmidt will deliver an electronic copy of the draft plan in Microsoft Word format. We request AUD to provide consolidated comments on the draft plan to Kleinschmidt within 2 weeks of receipt. Kleinschmidt will deliver the final plan within 2 weeks of receiving comments on the draft.

#### TASK 3: PARTICIPATE IN SECOND FERC COORDINATION CALL

Kleinschmidt will participate in the second coordination conference call with AUD and FERC. The purpose of the call is to discuss FERC's expectations of AUD and the IC during the PFMA review and field inspection. Any outstanding items or past Part 12D recommendations that have not been fulfilled or that require particular attention during the PFMA reviews and field inspections will be discussed during this call.

#### TASK 4: REVIEW SUPPORTING TECHNICAL INFORMATION DOCUMENT

The IC will review the STID for the Project in advance of creating the PIPR (Task 6). Any hydrologic studies and stability analyses performed since the last SIR will be reviewed as part of this task. We propose no additional studies or new analyses be completed specifically for preparing the PIR.

#### **TASK 5: REVIEW INSTRUMENTATION AND SURVEY DATA**

The IC will review the data provided by AUD to monitor the movement, stability, or uplift of the water-retaining structures at the Project. We expect the data to include the information required according to the *Guidelines*, Appendix H, Section 4.0. We understand that the active instrumentation and survey data at the Project is limited to that associated with monitoring of seepage. There are no piezometers being monitored nor are their deformation surveys (horizontal and vertical movement) being performed.

The data plots should cover not less than 15 years of data if available (*Guidelines*, Appendix D), although providing data for the full length of the instruments' record is preferred in order to allow a comparison of the last five years of data with historic data. The PIR will contain an

evaluation of the existing monitoring program and, if necessary, recommendations for revising the program. The PIR will also include a copy of the instrumentation data plots.

The Proposed Scope of Work does not include compiling or entering instrumentation data into any data base, or the generation of graphs of the data, but such services can be provided if requested and they will be considered as additional work.

#### **TASK 6: PRE-INSPECTION PREPARATION REPORT**

The PIPR will be prepared under the direction of the IC in a format that complies with the FERC's requirements as contained in Chapter 16 of the *Guidelines*. Unlike the Part 12 Inspection Plan, the PIPR will be utilized as part of the PIR (Task 9) and will require a separate plan for the Project. The PIPR will clearly state the required documentation in accordance with Section 16-4.2 of the *Guidelines* and IC Team inclusive of each proposed team member and their résumé. As part of the PIPR task and to meet the *Guidelines*, Kleinschmidt has assumed limited hand calculations will be performed to review analyses of record for the Project. Kleinschmidt will deliver electronic copies of the draft report in Microsoft Word. We assume AUD will provide consolidated comments on the draft report to Kleinschmidt within 4 weeks of receipt. Kleinschmidt will deliver the final report within 2 weeks of receiving comments on the draft.

#### **TASK 7: REVIEW PFMA REPORT**

The IC will review the current PFMA Report for the Project and documents provided by AUD that provide information to assess potential impacts to existing potential failure modes (PFMs) or to identify new PFMs as requested by FERC. The PI does not require a formal PFMA review; however, a review of PFMs with respect to current project conditions, studies, and outstanding items is required. Based on Kleinschmidt's understanding of the Project and some current outstanding items related to a number of PFMs, Kleinschmidt has planned and budgeted for up to 16 hours for PFM review and documentation of PFM related discussion within the PIR.

#### **TASK 8: INSPECT PROJECT STRUCTURES**

The IC and IC assistant will visit the Project to observe the water-retaining structures, focusing on the condition of each structure and considering the findings of the PFMA review. The inspection will assess the condition of the diversion dam, if not being overtopped, the 7-milelong canal and any structure that intrudes into or passes beneath the canal dikes and waterways. Ideally, the IC's site visit will occur concurrently with FERC's annual inspection, and the IC will compare notes and findings with the FERC Inspector before leaving the site.

The IC will endeavor to perform the field inspection when the diversion dam is not spilling or minimally spilling flows to maximize visual observation of the structures, and when the ground surface is dry to identify any seepage or leakage. The date of the field inspection is not yet determined but will include the IC Team and participants from AUD and FERC. Based on our current understanding of the Project and the work to be completed, we assume that the Part 12D field inspection will be completed in up to 3 days.

As part of the field inspection, the IC will offer an opinion regarding the adequacy of the operation and monitoring of the Project with respect to the findings of the PFMA review. Kleinschmidt will observe maintenance and repairs of the Project, if any, completed since the previous Part 12D SIR. The IC will visually observe the condition of project structures and consult with AUD personnel to complete the inspections. We request and assume that personnel knowledgeable on the history, operation, maintenance, and modification of the Project will be made available to accompany the IC Team during the inspection. The IC will use no equipment other than a camera, a geologist's hammer, and a measuring tape to test or assess the condition of project structures, equipment, and features. Our proposed services exclude inspecting the portions of the Project's structures that are underwater.

Kleinschmidt will provide the IC Team with safety shoes, glasses, hard hat, and gloves; AUD shall provide personal flotation devices, a boat and operator for access, and fall protection equipment, if required. We request that AUD arrange to provide the safety equipment, clearances, and field checks needed to allow access to any galleries or passages associated with the Project's structures. We assume that no spillage will occur during the inspection, both for safety and so that the IC Team can view the spillway effectively.

If the IC Team determines that additional analyses or field data are necessary to evaluate the condition or safety of the Project properly, the IC will work with AUD to develop means to secure such information. Any work to scope or complete additional analyses or to develop additional data gathering programs will be considered additional services. We assume that the recommendations of previous Part 12D Inspection Reports and FERC's comments on those reports have been addressed; therefore, this proposal excludes addressing any outstanding recommendations or comments.

#### TASK 9: PREPARE PART 12D PERIODIC INSPECTION REPORT

A Part 12D PIR will be prepared for the Project under the direction of the IC in a format that complies with the FERC's requirements as contained in the *Guidelines*. Pertinent sections of the Part 12D PIR will clearly state the extent of review of analyses and studies performed by the IC or under his direction, and whether the IC agrees with the methods, assumptions and findings of those analyses or studies.

Kleinschmidt will deliver an electronic copy of the draft report in Microsoft Word and PDF formats. The draft report will include photographs taken during the field inspection and selected to document the condition of Project's structures. The cover and each page of the Part 12 PIR will contain the following footnote "Critical Energy Infrastructure Information - Do

Not Release." We request that AUD provide consolidated comments on the draft report to Kleinschmidt within 4 weeks of receipt.

The scope of work covered in this proposal excludes services required to address any follow-up questions from FERC. Kleinschmidt cannot anticipate the questions or the level of detail of the questions that FERC may ask. Kleinschmidt expects to prepare complete reports that leave no unresolved issues, but we cannot guarantee that FERC will have no questions on the reports or their findings.

#### **SCHEDULE**

The draft schedule for completion of the work is proposed as follows, subject to discussion with AUD and FERC:

TASK	COMPLETION DATE
Proposal Submitted to AUD	May 19, 2023
Authorization to Proceed	By June 2, 2023
Task 1 – Review Background Materials	Continuous Throughout Project
Task 2 – DRAFT Part 12D Inspection Plan	June 23, 2023
Task 2 – FINAL Part 12D Inspection Plan	July 14, 2023
Task 3 – Second FERC Coordination Call	TBD, Summer 2023
Tasks 4, 5, & 7 – Review of STID/Instruments/PFMs	Continuous Throughout Project
Task 6 – DRAFT PIPR	November 10, 2023
Task 6 – FINAL PIPR	December 15, 2023
Task 8 – Field Inspection	January/February 2024
Task 9 – DRAFT PIR	May 31, 2024
Task 9 – FINAL PIR	June 28, 2024
Final PIR due to FERC	June 30, 2024

#### COST

Kleinschmidt will perform the proposed work on an Hourly Rate plus Expenses basis. Based upon our understanding of the scope of work, the estimated cost for this is \$85,000 (Eighty-five thousand dollars). This Cost of Services is calculated using Kleinschmidt's 2023 Rate Schedule (Attachment B) for work planned for 2023 and a 5% increase in rates for 2024. The estimate is not a fixed price or an upper limit. We will not exceed the estimated amount without first discussing the need with you and receiving your authorization to proceed.

Kleinschmidt will communicate a need for a change order, if necessary, once the 2024 Rate Schedule is finalized.

#### **TERMS AND CONDITIONS**

The proposed scope of work will be performed on an Hourly Rate plus Expenses basis according to Kleinschmidt's Method of Payment (Attachment C), 2023 Rate Schedule (Attachment B) and the Standard Terms and Conditions (Attachment D). Work completed in 2024 will be based on an estimated 5% increase over the 2023 Kleinschmidt rates to accommodate our annual business cost adjustments.

Please reference this proposal, *Proposal No. 2097002.00*, on the face of the purchase order (PO) or other form of written notice issued as authorization to proceed. If a PO is issued as authorization to proceed, please note on the face of the PO that the terms and conditions referenced in this proposal supersede any shown on the back of the PO. Provide written authorization to proceed to the following address and forward an electronic copy of the authorizing document to Nick Ciomei at Nick.Ciomei@KleinschmidtGroup.com:

Kleinschmidt Associates P.O. Box 650 Pittsfield, ME 04967-0650 Attn: Accounting Group

We appreciate the opportunity to assist you with this project. If you have any questions regarding this proposal, please call or e-mail Nick Ciomei at 207.416.1216 or Nick.Ciomei@KleinschmidtGroup.com.

Sincerely,

**KLEINSCHMIDT ASSOCIATES** 

Nick M. Ciomei, P.E.

Project Manager

Steven R. Layman, Ph.D.

**Project Director** 

NMC:FHW

Attachments: Attachment A. IC's Résumé

Steven R. Layman

Attachment B. 2023 Rate Schedule Attachment C. Method of Payment

Attachment D. Standard Terms and Conditions

cc: Proposal Distribution

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### **ATTACHMENT A**

## INDEPENDENT CONSULTANT'S RÉSUMÉ



# Position with Firm Senior Engineer

#### **Key Expertise**

- FERC Part 12 Dam Safety Inspection
- DSSMR/DSSMP
- Stability Analysis
- Supporting Technical Information Documents (STID)
- Dam & Spillway Inspections & Design
- Gates & Water Control Design
- Penstock Investigation & Design

# Professional Registration Professional Engineer, ME, HI, VT, NH, GA

# Certification/Training FERC-Approved Independent Part 12D Consultant

Leveraging Potential Failure Mode Analysis to Perform Semi-Quantitative Risk Analysis

Fundamentals of Facilitating a Semi-Quantitative Risk Analysis

SPRAT Rope Access Technician Level I

Safety Evaluation of Existing Dams, Bureau of Reclamation

Inspection and Assessment of Dams, Bureau of Reclamation

#### Education

B.S. Civil Engineering, minor in Business, University of Maine, 2010

Years of Experience With Kleinschmidt: 9 Total: 12

# Nicholas M. Ciomei, P.E.

# **Project Role: Structural Subject Matter Expert**

Nick Ciomei has 12 years of dam safety experience and specializes in dam safety/Part 12D safety inspections as a FERC approved IC. He conducted six Part 12 safety inspections and PFMA projects as an IC and assisted the FERC-approved IC on 25 additional Part 12 safety inspections and PFMA projects. Nick is experienced in completing gravity stability analyses for concrete, timber crib, masonry, stacked stone, and various gated structures. His experience includes engineering design and inspection for a variety of hydropower structures such as retaining walls, spillways, penstocks, flashboards, and rock anchors. In addition, Mr. Ciomei facilitates emergency action plan functional and tabletop exercises, generates dam safety surveillance monitoring plans/reports and standard technical information documents. He received the Leveraging Potential Failure Mode Analysis to Perform Semi-Quantitative Risk Analysis training and the Fundamentals of Facilitating a Semi-Quantitative Risk Analysis required for facilitators.

Relevant Project Experience

Federal Energy Regulatory Commission (FERC) Part 12 Independent Consultant and Potential Failure Mode Analyses (PFMA)

Independent Consultant for the following FERC Part 12 inspection and potential failure mode analysis (PFMA) in 2021:

Tallulah Falls, GA - 2021 Clark's Falls, VT - 2021 Peterson, VT - 2021 Tugalo, GA – 2022 Bartletts Ferry, GA – 2022 Pocono Lake, PA – 2022

Assisted the Independent Consultant with Federal Energy Regulatory Commission (FERC) Part 12 and Potential Failure Mode Analyses (PFMA)

Independent Consultant Assistant responsible for the following FERC Part 12 inspection and potential failure mode analyses (PFMA) in the years noted:

Bartlett's Ferry, GA - 2018 Clark's Falls, VT- 2017 Eel Weir, ME- 2016 Ellsworth, ME - 2015 Forest City, ME - 2014 Gantt, AL - 2018 Graham Lake, ME- 2015 Gregg's Falls, NH- 2016 Gulf Island, ME- 2015

Indian Orchard, MA – 2015 & 2020

Minetto, NY - 2017 Sinclair, GA - 2017

Parr Pond, GA (PFMA Only) - 2017

Peterson Dam, VT- 2017 Phoenix, NY- 2018 Point A, AL - 2018 Rapidan, MN - 2016 Red Bridge, MA - 2015 & 2020

Sebec , ME - 2017 Vanceboro, ME - 2014 Wallace Dam, GA - 2020 West Grand Lake, ME - 2014

Weston, ME - 2014 Mathis-Terrora, GA - 2020

Augusta Canal, GA (PFMA Only) 2020

# Dam Safety and Compliance, General Services

#### Eagle Creek Renewable Energy

Project Manager responsible for leading dam safety and compliance work for ECRE's Midwest and East Division hydro assets. The work included providing support services for FERC 12.10 reports, emergency embankment repair designs, dive report reviews, construction support, Tainter gate inspections, STID and DSSMP revisions, stability analyses, dam safety state and federal correspondence, and other miscellaneous FERC compliance documents.

#### FERC Part 12 Inspection, Pocono Lake

#### Pocono Lake Preserve, Pocono Lake, PA

Project Manager and Independent Consultant responsible for FERC Part 12 inspection. Types of structures inspected include a concrete gravity dam, uncontrolled ogee spillway, and earthen embankments. Project services included dam inspections, hydrologic & hydraulic analyses including PMF determination and dam breach analyses, and potential failure mode analyses (PFMA) review.

Multiple Dam Safety Projects, Gantt and Point A Developments, Conecuh Hydroelectric Project, PowerSouth Energy Cooperative, Andalusia, AL Project Manager & Project Engineer responsible for multiple projects at the two developments between 2015 and 2018 including: Rewriting and separating STIDs, DSSMPs, and DSSMRs for reporting years 2016-2018, 5-year ODSP audit, conducting the 10-year Detailed Tainter Gate inspections, Focused Spillway Assessments, and Part 12D Inspection. The developments both consists of large earthen embankment structures, Tainter gate spillways, and integral intake/powerhouse structures. Each development has 20+ embankment and spillway piezometers, toe ditch weirs, and survey monuments. Due to access limitations, the close-up Tainter gate inspection incorporated rope access techniques to meet the FERC Guidelines. Additional work completed during the STID update process included stability analyses of concrete gravity structures, identification of population at risk due to a dam breach, and revised spillway rating curves for each development. The Focused Spillway Assessment was completed to address the FERC initiative as a result of the Oroville Dam event. The Part 12D inspection included a comprehensive PFMA review that addressed concerns raised during the Focused Spillway Assessment, Project work to date has resulted in a revamped dam safety program addressing deficiencies noted by FERC and now meets or exceeds the FERC Guidelines.

#### Audit of Owner's Dam Safety Program, Six Hydroelectric Projects Kruger, KEI (USA) Power Management Inc., Gardiner, ME

Project Manager responsible for managing audit of KEI's Owner's Dam Safety Program (ODSP) for submittal to Federal Energy Regulatory Commission. Audit included review of KEI's ODSP and related documents for six hydroelectric projects with high hazard potential in Maine, New York and Virginia. Evaluation of the ODSP included interviews of KEI's personnel and preparation of the audit report, which was submitted to the Atlanta Regional Engineer of FERC.

# Revised Owners Dam Safety Program

#### Central Rivers Power Massachusetts, MA

Project Manager and Project Engineer responsible for revising the Owner's Dam Safety Program after assets were purchased. The revised program consisted of a complete rewrite of the document, specifically the roles and responsibilities of the new owner from management through operations staff, defining of the companies training programs, and maintenance of the Owner's Dam Safety Program.

# Spillway Stability and Rock Anchoring, Middlesex Dam

#### Green Mountain Power, Middlesex, VT

Project Engineer responsible for the design of rock anchors to improve the stability of a 50-foot-high concrete gravity ogee spillway founded on bedrock to meet flood loading conditions. Performed stability analysis for all concrete gravity structures of the project as a part of a condition assessment report and provided design/construction support throughout installation of anchors.

#### Stability Analyses, Lockhart Hydroelectric Project

#### Lockhart Power Company, Lockhart, SC

Project Engineer responsible for stability analyses of concrete gravity canal headgate, headgate nonoverflow, sandgate, sluiceway, canal spillway, canal draingate, and powerhouse spillway structures. Analysis included sensitivity analyses of required friction factor, cohesion, and post-tensioned anchors forces for each structure not meeting FERC Guidelines.

# Detailed Tainter Gate Inspection, Keystone Hydroelectric Project

#### Nebraska Public Power District, Ogallala, NE

Project Engineer responsible for performing a close-up, detailed condition inspection of nine Tainter gates at the Keystone Hydroelectric Project. Limited inspection access and size of the gates required the use of rope access equipment. Generated and submitted a report summarizing the inspection and provided recommendations to the client for maintenance and repair.

# Detailed Tainter Gate Inspection, Saluda Hydroelectric Project South Carolina Electric & Gas. Columbia, South Carolina

Project Manager & Engineer responsible for performing a close-up, detailed condition inspection of six Tainter gates at the Saluda Hydroelectric Project. Limited inspection access and size of the gates required the use of fall protection equipment and rope access techniques. Generated and submitted a report summarizing the inspection and provided recommendations to the client for maintenance and repair. Additionally, a table top and inspection investigation into historic pier movement for one of the internal gate piers was conducted.

#### Penstock Inspection, Mathis-Terrora Development Georgian Power Company, Tallulah Falls, GA

Engineer responsible for inspecting two partially buried and above ground penstocks. The inspection included a visual inspection of the interior and exterior visible portions, thickness gauge readings, and determination of voids for buried portions of the penstocks. Thickness readings were used to perform calculations based on internal and external pressures present at the site to estimate remaining service life and recommend future repairs and monitoring recommendations.

## Peacham Pond Improvements, Peacham Pond Dam

Green Mountain Power, Marshfield, VT

Project Manager responsible for the design of multiple repairs and upgrades to the Peacham Pond outlet works intake structure. The project consisted of site inspections, design, and construction support for the concrete tower. The project added electrical hook-up, new access walkway, low-level gate housing structure, new bubbler system, installation of a pond control weir and leaf gate, and miscellaneous concrete repairs.

#### Seepage Investigation and Analysis, Bartletts Ferry Project Georgia Power, Bartletts Ferry, GA

Project Manager responsible for the investigation into seepage, settlement, and abnormal piezometer readings within the main embankment adjacent to the Tainter gate spillway structure at the Project. The project consisted of a model of the structure in Civil3D, subsurface boring and piezometer installation program using sonic drilling methods, and seepage and stability analyses of the embankment and concrete retaining wall structures, respectively.

# Power Canal Dam Break Analysis and Removal Design, Webster and Pembroke Dams, Eagle Creek Renewable Energy, Suncook, NH

Project Manager and Engineer responsible for developing a HEC-RAS breach model for the Webster Dam Power Canal located on the Suncook River in New Hampshire to determine the Hazard Classification. Used a LiDAR digital elevation model (DEM) to model downstream impacts within GIS. As a part of this project, a second HEC-RAS model was generated to study normal pool and flood the effects for a partial removal of a small, stone block dam located downstream of Webster Dam. Managed a team that completed construction drawing and permitting packages for the partial removal.

#### Penstock Inspection and Replacement Design, Lower Great Falls Dam Enel Green Power North America, Inc., Somersworth, NH

Project Engineer responsible for inspecting four sections of buried penstock at the Lower Great Falls Dam for condition. Used thickness readings obtained during inspection to perform calculations based on internal and external pressures present at the site to estimate remaining service life and recommend future repairs and replacement options and estimated costs. Based on the results of the inspection, completed multiple replacement design options, including replace in kind, slip lining, and reconfiguration to improve hydraulic efficiency, for two of the four penstocks at the site.

#### Previous Work Experience

#### Dam Safety Inspections, Multiple Dams

Maine Emergency Management Agency (MEMA), Statewide ME

Assistant State Dam Inspector. Conducted condition and hazard inspections of concrete gravity, timber crib, earth embankment, and rockfill dams, table-top Emergency Action Plan exercises, and worked with private and municipal dam owners to achieve compliance with state regulations. Completed dam breach analyses to determine flood inundation extents for hazard classification of dams using ArcGIS, WMS, HydroCAD, and HEC-RAS.

#### **GEI Consultants**

#### Portland, ME

Water Resources Engineer. Used ArcGIS and HEC-RAS software to model and analyze inundation zones and incremental impacts downstream of a dam breach. Created watershed models in HEC-HMS and HydroCAD for rainfall runoff and water quality analysis.

### **ATTACHMENT B**

## **2023 RATE SCHEDULE**

# KLEINSCHMIDT ASSOCIATES 2023 RATES (USD)

LABOR CATEGORY	HOURLY BILLING RATE
SENIOR MANAGERS/CONSULTANTS	
Principal Consultant F1	\$285.00
ENGINEERS	
Senior Engineering Advisor E7	\$265.00
Senior Engineering Consultant E6	\$240.00
Senior Engineer E5	\$198.00
Project Engineer E4	\$180.00
Engineer E3	\$166.00
Staff Engineer E2	\$148.00
Engineer Technician E1	\$114.00
LICENSING COORDINATORS/PLANNERS	
Senior Regulatory/Planner Advisor L/P7	\$265.00
Senior Licensing Coordinator/Planner L/P6	\$210.00
Project Licensing Coordinator/Planner L/P5	\$172.00
Licensing Coordinator/Planner L/P4	\$152.00
Staff Licensing Coordinator/Planner L/P3	\$130.00
Associate Licensing Coordinator/Planner L/P2	\$114.00
Licensing Coordinator/Planner Technician L/P1	\$92.00
Licensing Intern L/P0	\$72.00
SCIENTISTS	
Senior Science Advisor S7	\$255.00
Senior Scientist S6	\$202.00
Project Scientist S5	\$171.00
Scientist S4	\$148.00
Staff Scientist S3	\$130.00
Associate Scientist S2	\$104.00
Scientist Technician S1	\$90.00
Field Technician S0	\$68.00
PROJECT AND PROGRAM MANAGEMENT	
Project Director	\$276.00
Senior Project Manager PM2	\$250.00
Project Manager PM1	\$210.00
Senior Support Staff A7	\$210.00
Project Controller A6	\$175.00
Senior Project Coordinator or Administrator /Accountant A5	\$141.00
Project Administrator or /Accountant A4	\$122.00
Administrative Staff A3	\$106.00
Associate Administrative Staff A2	\$92.00
Office Assistant A1	\$81.00
DESIGNERS/DRAFTERS	
Lead Designer D5	\$164.00
Senior Designer D4	\$148.00
Designer D3	\$130.00
Senior Drafter D2	\$114.00
Drafter D1	\$98.00
	Effective January 1, 2023

## **ATTACHMENT C**

## METHOD OF PAYMENT

# KLEINSCHMIDT ASSOCIATES METHOD OF PAYMENT

- 1. Client may pay Kleinschmidt either on a negotiated Lump Sum basis or Hourly Rate basis, as defined in the Work Authorization and agreed by the *Client* and Kleinschmidt in writing.
- Client agrees to pay Kleinschmidt for Services the amounts quoted in the Proposal or Work Authorization, in accordance with the compensation terms laid out in the contract. Kleinschmidt agrees not to exceed the estimated consulting costs as stated in the proposal without explaining the need to the Client and obtaining the Client's authorization to proceed.
- 3. For Lump Sum projects, Kleinschmidt will invoice monthly as a percent complete of the project or Work Authorization, unless otherwise defined in the Work Authorization.
- 4. For Time and Materials, or Hourly Rate projects, Kleinschmidt will invoice monthly for all employee time at the hourly billing rate currently in effect, times a number of hours worked on the project plus subconsultant fees and expenses as described below. Client agrees to pay for expert testimony and direct preparation for testimony in any litigation, arbitration, or other legal or administrative proceeding at 150% of the standard billing rates with a minimum daily charge based upon an 8-hour day, plus Reimbursable Expenses.
- 5. For any projects where expenses are invoiced separately from labor, the following apply:
  - a. Client agrees to pay Kleinschmidt a 15 percent markup for subconsultant services.
  - Client agrees to pay 3 percent of labor costs for telecommunications (e.g., phone, data transmission and storage, fax, conference and video conference, data security).
  - c. Client agrees to pay for specialized computer programs, field equipment, and other unit charges (e.g., photocopies, mileage, photos, drawing reproductions,
     CD preparation, SharePoint hosting) according to the current rates in effect.
  - d. Client agrees to pay any other reimbursable expenses actually incurred by Kleinschmidt at cost.

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## **ATTACHMENT D**

# **STANDARD TERMS AND CONDITIONS**

# KLEINSCHMIDT ASSOCIATES (A Maine Corporation) STANDARD TERMS AND CONDITIONS

- 1. Purpose: These Standard Terms and Conditions when combined with a Proposal are intended to form a complete Agreement between Kleinschmidt Associates (Kleinschmidt) and the Client to whom the Proposal is addressed. When Kleinschmidt's signed Proposal has been accepted by the Client, the resulting Agreement shall take the place of all other agreements and representations concerning the subject of the Proposal. This Agreement may be amended only by a writing signed by both parties. Terms and Conditions of any purchase order issued by Client shall not be part of this Agreement unless separately signed by Kleinschmidt.
- 2. Payment: In consideration for Kleinschmidt's performance of the proposed work, Client shall pay Kleinschmidt as stated in the Proposal. Client agrees to pay promptly Kleinschmidt's fees and expenses as submitted on monthly invoices. If any balance remains unpaid thirty days from the date of the invoice, Client shall pay interest on the unpaid balance at the rate of one and one-half percent per month from said thirtieth day and shall, in addition, pay Kleinschmidt's costs of collection including reasonable legal fees.
- 3. Client's Duties: At no cost to Kleinschmidt, Client shall:

Promptly provide to Kleinschmidt the information required by Kleinschmidt for performance of its services.

Provide Kleinschmidt personnel with access to the work site so that they may perform their work without interference.

Designate a Client's representative with authority to transmit instructions, receive information, and define Client's polices concerning this Agreement.

Promptly notify Kleinschmidt of any defect in Kleinschmidt's services as soon as Client becomes aware of it.

Prior to commencement of Kleinschmidt's work, furnish Kleinschmidt with any special design or construction standards, which Client may require Kleinschmidt to follow.

 Kleinschmidt's Liability: Kleinschmidt's services will be performed with that degree of reasonable care and skill ordinarily exercised by members of the same profession currently practicing under similar circumstances.

The total liability by Kleinschmidt and its agents for all claims relating to the work outlined in the Proposal shall not exceed the compensation received by Kleinschmidt or \$50,000, whichever is greater.

Kleinschmidt shall not be liable for any losses resulting from deficiencies in its services if those deficiencies arise from a cause beyond Kleinschmidt's reasonable control.

- 5. <u>Betterment</u>: If Kleinschmidt omits a required element of the project, Kleinschmidt shall not be responsible for paying the cost to add such item to the extent that it would have been necessary to the project or otherwise adds value or betterment. Kleinschmidt will not be responsible for any added cost or expense that provides betterment, upgrade or enhancement of the project.
- 6. Shop Drawing Review: When authorized by Client, Kleinschmidt shall review contractor submittals, such as shop drawings, product descriptions, samples, and other data, but only for determining that it conforms to the design concept and that it appears consistent with the contract documents. This shall not include checking the accuracy or completeness of details, such as quantities, dimensions, weights or gauges, fabrication processes, construction methods, coordination of the work with other trades, or construction safety issues, all of which are the sole responsibility of the Contractor.

Kleinschmidt's review shall be conducted with reasonable promptness while allowing sufficient time to permit a review that is adequate in Kleinschmidt's judgment. Review of a specific item does not mean that Kleinschmidt has reviewed the entire assembly of which the item is a part.

Kleinschmidt shall not be responsible for any deviation from the contract documents unless the deviation is brought specifically to Kleinschmidt's attention by the Contractor in writing. Kleinschmidt shall not be required to review partial submissions or those for which correlated items have not been received.

- 7. Ownership of Documents: Any drawings, specifications, or reports prepared by Kleinschmidt under this Agreement shall be the property of Client; however, Kleinschmidt shall have the unlimited right to use such drawings, specifications, and reports and the intellectual property therein. Client's use of such drawings, specifications, and reports shall be limited to the project or purpose for which they were prepared. Any use other than that purpose will be at Client's sole risk and without liability to Kleinschmidt and Client shall indemnify and hold harmless Kleinschmidt from all claims, damages, losses, and expenses resulting therefrom.
- 8. Opinions of Probable Cost: Opinions of Probable Cost prepared by Kleinschmidt are merely expressions of Kleinschmidt's judgment based on its experience as a design professional familiar with the industry. Kleinschmidt has no control over market prices, construction methods, or competitive conditions and therefore cannot represent that actual bids or negotiated prices will not vary from Kleinschmidt's Opinions of Probable Cost.
- 9. <u>Patents</u>: Kleinschmidt's work under this Agreement shall not include patent or copyright searches; and Kleinschmidt assumes no responsibility for any patent or copyright searches; and Kleinschmidt assumes no responsibility for any patent or copyright infringement that may arise from its work. Kleinschmidt makes no representation that anything made, used, or sold in connection with its services will be free from such infringement.
- Termination or Suspension: Either party may terminate this Agreement upon reasonable notice to the
  other. Kleinschmidt shall be paid for the services provided and expenses incurred through the date of
  termination.

If the Agreement is terminated by the Client without breach by Kleinschmidt or if Kleinschmidt terminates for Client's breach, Kleinschmidt shall also be paid its reasonable and necessary termination costs which may include layoff and demobilization expenses as well as costs of terminating contracts, leases, and other obligations incurred by Kleinschmidt in reliance upon this Agreement. If Client suspends the work, Kleinschmidt shall be reimbursed by Client for such added fees and costs which arise from the suspension and remobilization.

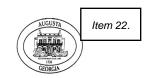
Kleinschmidt shall not be liable to Client for losses resulting from Kleinschmidt's termination or suspension caused by Client's non-payment or other material breach of this Agreement.

- 11. **Assignment**: Neither party shall assign its rights, interests, or obligations under this Agreement without prior written consent from the other party; but such consent shall not unreasonably be withheld.
- 12. **No Waiver**: The failure of either party to enforce a provision of this Agreement shall not prevent that party from later enforcing it or from pursuing the remedies that may be available for breach of the provision.
- 13. <u>Indemnification</u>: Within its limit of liability Kleinschmidt shall indemnify and hold harmless the Client and its agents from any and all claims and losses caused solely by the negligent acts or omissions of Kleinschmidt or its agents in the performance of services under this Agreement.

Client shall indemnify and hold harmless Kleinschmidt and its agents from any and all claims and losses caused solely by the negligent acts or omissions of Client or its agents with respect to this Agreement.

- 14. Governing Law: This Agreement shall be governed by the laws of the State of Maine, provided that nothing contained in the Agreement shall be interpreted in such a way as to render the Agreement unenforceable under any law of the United States or the law of the place in which the Client is located.
- 15. <u>Time for Acceptance</u>: Kleinschmidt's proposal shall remain firm for no longer than 60 days unless another period is specified in the proposal or the time is specifically extended by Kleinschmidt.

V:\Admin Group\Contractual Documents\2023 Files\Standard Terms and Conditions.docx



#### STATE OF GEORGIA RICHMOND COUNTY

# MAJOR PROJECTS CONSULTANT SERVICES AGREEMENT BETWEEN AUGUSTA, GEORGIA (CITY)

**AND** 

**CONSULTANT** 

CONSULTANT: Kleinschmidt Associates

PROJECT: 2024 4th Part 12D Independent Consultant Canal Periodic Inspection

DATE EXECUTED: DATE COMPLETED:



#### STATE OF GEORGIA RICHMOND COUNTY

# MAJOR PROJECTS CONSULTANT SERVICES AGREEMENT BETWEEN AUGUSTA, GEORGIA (CITY)

#### **AND**

#### **CONSULTANT**

This Agreement is made and entered into this day of, <u>2023</u> by and between AUGUSTA, Georgia, a political subdivision of the State of Georgia, hereinafter called the "CITY" and S&ME, Inc., a Corporation authorized to do business in Georgia, hereinafter called the "CONSULTANT."
WHEREAS, the CITY desires to engage a qualified and experienced consulting firm to furnish professional services for:
2024 4 <sup>th</sup> Part 12D Independent Consultant Canal Periodic Inspection and,
WHEREAS, the CONSULTANT has represented to the CITY that it is experienced and qualified to provide the services contained herein and the CITY has relied upon such representation.

NOW, THEREFORE, in consideration of the mutual promises and covenant herein contained, it is agreed by and between the CITY and the CONSULTANT that:



#### **GENERAL PROVISIONS**

CONSULTANT has agreed, in this Agreement with CITY to procure the services of licensed design professionals, to provide the engineering services required to provide professional engineering and design services for the Project in accordance with the requirements as outlined in and attached as Attachment A – Scope of Services and other relevant data defining the Project.

#### CONSULTANT COORDINATION

The CONSULTANT shall cooperate fully with all municipalities, local government officials, utility companies, and other consultants as directed by the CITY. CONSULTANT and all relevant parties agree to work together on the basis of trust, good faith and fair dealing, and shall take actions reasonably necessary to enable each other to perform this Agreement in a timely, efficient and economical manner. All parties agree to cooperate in a manner consistent with good design practice and will exercise the degree of skill and diligence normally employed by professional engineers or consultants practicing under similar conditions. CONSULTANT will re-perform any services not meeting this standard without additional compensation.

#### AMENDMENTS TO AGREEMENT

Every amendment to the Scope of Services shall become and is hereby made a part of this Agreement. Amendments must be fully executed by both the CONSULTANT and CITY to be valid.

#### REDUCTION IN REQUIRED SERVICES

If reductions in the required services are ordered by CITY, the credits shall be the amounts for such services as described in subsequently executed Amendments to this Agreement, and no claim for damages for anticipated profits shall accrue to the CONSULTANT.

#### **DATE CHANGES**

If in this Agreement specific periods of time for rendering services are set forth or specific dates by which services are to be completed are provided and if such periods of time or dates are changed through no fault of CONSULTANT, the rates and amounts of compensation provided for herein shall be subject to equitable adjustment.

#### AGREEMENT MODIFICATIONS

This Agreement shall not be modified except by a duly executed Amendment hereto in writing under the hands and seals of both parties hereto.

#### TIME OF COMPLETION

The time of completion shall be as described in the schedule attached hereto as Attachment D - Schedule.



This Agreement shall terminate immediately and absolutely at such time as appropriated and otherwise obligated funds are no longer available to satisfy the obligations of the CONSULTANT on behalf of the CITY under this Agreement. However, CONSULTANT will be compensated for all work prior to termination of contract even if the CITY has obligated the funds to other projects.

#### **PROJECT PROGRESS**

CONSULTANT'S services and compensation under this Agreement have been agreed to in anticipation of the orderly and continuous progress of the Project through completion.

#### LITIGATION

Nothing in this Agreement shall be construed as obligating the CONSULTANT to appear, support, prepare, document, bring, defend or assist in litigation either undertaken or defended in behalf of the CITY except in consideration of compensation. All such services required or requested of CONSULTANT by the CITY except suits or claims between the parties to this Agreement will be reimbursed as additional services.

#### **BINDINGS**

It is further agreed that the CITY and CONSULTANT each binds itself and themselves, its or their successors, executors, administrators and assigns to the other party to this Agreement and to its or their successors, executors and assigns in respect to all covenants of this Agreement. Except as above, neither CITY nor the CONSULTANT shall assign, sublet or transfer its or their interest in this Agreement without prior written consent of the other party hereto.

#### **EXTENT OF THE AGREEMENT**

This Agreement represents the entire agreement between CITY and CONSULTANT and supersedes all prior negotiations, representations and agreements, either written or oral.



#### **DEFINITIONS**

Wherever used in this Agreement, whether in the singular or in the plural, the following terms shall have the following meanings:

<u>Agreement Execution</u> - means the date on which CONSULTANT executes and enters into an Agreement with CITY to perform the Work.

<u>Agreement Price</u> - means the total monies, adjusted in accordance with any provision herein, payable to the CONSULTANT under this Agreement.

<u>CITY</u> -means a legal entity AUGUSTA, Georgia, a political subdivision of the State of Georgia.

<u>CONSULTANT</u> - means the party or parties contracting directly with the CITY to perform Work pursuant to this Agreement.

<u>Contract</u> - means the Agreement Documents specifically identified and incorporated herein by reference.

<u>Contract Time</u> - means the period of time stated in this Agreement for the completion of the Work.

<u>Subcontractor</u> - means any person, firm, partnership, joint venture, company, corporation, or entity having a contractual agreement with CONSULTANT or with any of its subcontractors at any tier to provide a part of the Work called for by this Agreement.

<u>Supplemental Agreement</u> - means a written order to CONSULTANT signed by CITY and accepted by CONSULTANT, effecting an addition, deletion or revision in the Work, or an adjustment in the Agreement Price or the Contract Time, issued after execution of this Agreement.

<u>Task Order</u> – means a written order specifying a Scope of Services, time of completion and compensation limit for services being provided by CONSULTANT. Task Orders shall be incorporated by reference as part of the Supplemental Conditions of this Agreement.

<u>Work</u> - means any and all obligations, duties and responsibilities, including furnishing equipment, engineering, design, workmanship, labor and any other services or things necessary to the successful completion of the Project, assigned to or undertaken by CONSULTANT under this Agreement.



# **CONTRACT DOCUMENTS**

#### **List of Documents**

The Agreement, the General Conditions, the Attachments, and any Supplemental Agreements, including Task Orders shall constitute the Agreement Documents (the "Agreement").

#### Conflict and Precedence

The Agreement Documents are complementary, and what is called for by one is as binding as if called for by all. In the event there are any conflicting provisions or requirements in the component parts of this Agreement, the several Agreement Documents shall take precedence in the following order:

- 1. Agreement Including Attachments
- 2. General Conditions
- 3. Supplemental Conditions Including Task Orders



#### **GENERAL CONDITIONS**

#### 1. COMMENCEMENT OF WORK

The performance of services as defined in the Prime Agreement between CONSULTANT and the CITY, and herein described in this Agreement as Attachment A shall be commenced upon receipt by the CONSULTANT of a written Notice To Proceed. The effective date of services shall be defined in the Notice To Proceed.

#### 2. PROFESSIONAL STANDARDS

The standard of care for all services performed or furnished by CONSULTANT under this Agreement will be the level of care and that is ordinarily used by members of CONSULTANT'S profession practicing under similar conditions.

#### 3. CHANGES AND EXTRA WORK

The CITY may, at any time, request changes in the work to be performed hereunder. All such changes, including any increase or decrease in the amount of the CONSULTANT's compensation, which are mutually agreed upon by and between the CITY and the CONSULTANT, shall be incorporated in written Supplemental Agreements to the Agreement.

Changes that involve an increase in the compensation shall be considered major, and require the approval of the CITY.

#### 4. PERSONNEL

The CONSULTANT represents that it has secured or will secure, at its own expense, all personnel necessary to complete this Agreement; none of whom shall be employees of, or have any contractual relationship with, the CITY. All of the services required hereunder will be performed by the CONSULTANT under its supervision, and all personnel engaged in the work shall be qualified and shall be authorized or permitted under law to perform such services.

All key professional personnel, including subcontractors, engaged in performing services for the CONSULTANT under this agreement are indicated in a personnel listing attached hereto as Attachment C – Listing of Key Personnel and incorporate herein by reference. No changes or substitution shall be permitted in the CONSULTANT's Key Personnel without the prior written approval of the CITY or his designee.

The CONSULTANT shall employ only persons duly registered in the appropriate category in responsible charge of supervision and design of the work. The CONSULTANT shall endorse all reports, contract plans, and survey data. Such endorsements shall be made by a person duly registered in the appropriate category by the Georgia State Board of Registration for Professional Engineers and Land Surveyors, being in the full employ of the CONSULTANT and responsible for the work prescribed by this Agreement.



#### 5. ACCURACY OF WORK

The CONSULTANT shall be responsible for the accuracy of the work and shall promptly correct errors and omissions in its plans and specifications without additional compensation. The CONSULTANT shall give immediate attention to these changes so there will be a minimum of delay to others.

Acceptance of the work by the CITY will not relieve the CONSULTANT of the responsibility for subsequent correction of any errors and the clarification of any ambiguities.

#### 6. CONFIDENTIALITY

The CONSULTANT agrees that its conclusions and any reports are for the confidential use and information of the CITY and that it will not disclose its conclusions in whole or in part to any persons whatsoever, other than to submit its written documentation to the CITY, and will only discuss the same with it or its authorized representatives. Upon completion of this Agreement term, all documents, drawings, reports, maps, data and studies prepared by the CONSULTANT pursuant thereto shall become the property of the CITY and be delivered thereto.

Articles, papers, bulletins, reports, or other materials reporting the plans, progress, analyses, or results and findings of the work conducted under this Agreement shall not be presented publicly or published without prior approval in writing of the CITY.

It is further agreed that if any information concerning the PROJECT, should be released by the CONSULTANT without prior approval from the CITY, the release of same shall constitute grounds for termination of this Agreement without indemnity to the CONSULTANT, but should any such information be released by the CITY or by the CONSULTANT with such prior approval, the same shall be regarded as public information and no longer subject to the restrictions of this Agreement.

#### 7. OPEN RECORDS

CONSULTANT acknowledge that all records relating to this Agreement and the services to be provided under the contract may be a public record subject to Georgia's Open Records Act (O.C.G.A. § 50-18-70, et seq.). CONSULTANT shall cooperate fully in responding to such request and making all records, not exempt, available for inspection and copying as provided by law.

#### 8. <u>JURISDICTION</u>

The law of the State of Georgia shall govern the CONTRACT between CITY and CONSULTANT with regard to its interpretation and performance, and any other claims related to this agreement.

All claims, disputes and other matters in question between CITY and CONSULTANT arising out of or relating to the Agreement, or the breach thereof, shall be decided in the Superior Court of Richmond County, Georgia. The CONSULTANT, by executing this Agreement, specifically consents to jurisdiction and venue in Richmond County and waives any right to contest the jurisdiction and venue in the Superior Court of Richmond County, Georgia.

#### 9. <u>TERMINATION OF AGREEMENT FOR CAUSE</u>



If through any cause, the CONSULTANT shall fail to fulfill in a timely and proper manner its obligations under this Agreement, or if the CONSULTANT shall violate any of the covenants, agreements or stipulations of this Agreement, CONSULTANT will be given the opportunity to commence correction of obligation within 5 days of written notice and diligently complete the correction thereafter. Failure to maintain the scheduled level of effort as proposed and prescribed, or deviation from the aforesaid schedule without prior approval of the CITY, shall constitute cause for termination. The CITY shall thereupon have the right to terminate this Agreement by giving written notice to the CONSULTANT of such termination, and specifying the effective date thereof, at least five (5) days before the effective date of such termination. In such event, all finished or unfinished documents, maps, data, studies, work papers and reports prepared by the CONSULTANT under this Agreement shall become the property of the CITY, and the CONSULTANT shall be entitled to receive just and equitable compensation for any satisfactory work completed on such documents, as mutually agreed by the CITY and CONSULTANT.

#### 10. TERMINATION FOR CONVENIENCE OF THE CITY

The CITY may terminate this contract in part or in whole upon written notice to the CONSULTANT. The CONSULTANT shall be paid for any validated services under this Contract up to the time of termination.

# 11. <u>COORDINATION AND COOPERATION WITH OTHER UTILITIES AND</u> CONSULTANTS

CONSULTANT shall thoroughly research all utility records to identify the existing facilities on the submitted roadway plans for avoidance, or resolution, of conflicts with the proposed Scope of Services.

If the CITY undertakes or awards other contracts for additional related work, the CONSULTANT shall fully cooperate with such other CONSULTANTs and the CITY employees or appointed committee(s), and carefully fit its own work to such additional work as may be directed by the CITY. The CONSULTANT shall not commit or permit any act which will interfere with the performance of work by any other CONSULTANT or by CITY employees.

#### 12. COVENANT AGAINST CONTINGENT FEES

The CONSULTANT warrants that no person or selling agency has been employed or retained to solicit or secure this Agreement upon an agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by CONSULTANT for the purpose of securing business and that the CONSULTANT has not received any non-CITY fee related to this Agreement without the prior written consent of the CITY. For breach or violation of this warranty, the CITY shall have the right to annul this Agreement without liability or at its discretion to deduct from the Agreement Price of consideration the full amount of such commission, percentage, brokerage or contingent fee.

#### 13. RESPONSIBILITY FOR CLAIMS AND LIABILITY



The CONSULTANT shall be responsible for any and all damages to properties or persons caused by its employees, subcontractors, or agents, and shall hold harmless the CITY, its officers, agents and employees from all suits, claims, actions or damages of any nature whatsoever to the extent found to be resulting from the CONSULTANT, its subcontracts, or agent in the negligent performance or non-performance of work under this Agreement. These indemnities shall not be limited by reason of the listing of any insurance coverage.

#### 14. <u>INSURANCE</u>

The CONSULTANT shall, at all times that this Agreement is in effect, cause to be maintained in force and effect an insurance policy(s) that will ensure and indemnify the CITY against liability or financial loss resulting from injuries occurring to persons or property or occurring as a result of any negligent error, act, or omission of the CONSULTANT in performance of the work during the term of this Agreement.

The CONSULTANT shall provide, at all times that this agreement is in effect, Worker's Compensation insurance in accordance with the laws of the State of Georgia.

The CONSULTANT shall provide, at all times that this Agreement is in effect, Insurance with limits of not less than:

- A. Workmen's Compensation Insurance in accordance with the laws of the State of Georgia.
- B. <u>Public Liability Insurance</u> in an amount of not less that One Million (\$1,000,000) Dollars for injuries, including those resulting in death to any one person, and in an amount of not less than One Million (\$1,000,000) Dollars on account of any one occurrence.
- C. <u>Property Damage Insurance</u> in an amount of not less than One Million (\$1,000,000) Dollars from damages on account of an occurrence, with an aggregate limit of One Million (\$1,000,000) Dollars.
- D. <u>Valuable Papers Insurance</u> in an amount sufficient to assure the restoration of any plans, drawings, field notes, or other similar data relating to the work covered by the Project.
- E. <u>Professional Liability Insurance</u> in an amount of not less than One Million (\$1,000,000) Dollars or an amount that correlates to the aggregate fee on the project should it exceed \$1,000,000.

CITY will be named as an additional insured with respect to CONSULTANT's liabilities hereunder in insurance coverage's identified in items (b) and (c).

The policies shall be written by a responsible company(s), to be approved by the CITY, and shall be noncancellable except on thirty-(30) days' written notice to the CITY. Such policies shall name the CITY as co-insured, except for worker's compensation and professional liability policies, and a copy of such policy or a certificate of insurance shall be filed with the Director at the time of the execution of this Agreement.

#### 15. <u>PROHIBITED INTERESTS</u>



- 15.1 <u>Conflict of Interest</u>: The CONSULTANT agrees that it presently has no interest and shall acquire no interest, direct or indirect, that would conflict in any manner or degree with the performance of its services hereunder. The CONSULTANT further agrees that, in the performance of the Agreement, no person having such interest shall be employed.
- 15.2 <u>Interest of Public Officials</u>: No member, officer, or employee of the CITY during his tenure or for one year thereafter, shall have any interest, direct or indirect, in this Agreement or the proceeds thereof.
- 15.3 <u>Employment of CITY's Personnel</u>: The CONSULTANT shall not employ any person or persons in the employ of the CITY for any work required by the terms of the Agreement, without the written permission of the CITY except as may otherwise be provided for herein.

#### 16. SUBCONTRACTING

The CONSULTANT shall not subcontract any part of the work covered by this Agreement or permit subcontracted work to be further subcontracted without the CITY's prior written approval of the subcontractor.

All subcontracts in the amount of \$5,000 or more shall include, where possible, the provisions set forth in this Agreement.

#### 17. <u>ASSIGNABILITY</u>

The CONSULTANT shall not assign or transfer whether by an assignment or novation, any of its rights, obligations, benefits, liabilities or other interest under this Agreement without the written consent of the CITY.

#### 18. EQUAL EMPLOYMENT OPPORTUNITY

During the performance of this Agreement, the CONSULTANT agrees as follows: (1) the CONSULTANT will not discriminate against any employee or applicant for employment because of race, creed, color, sex or national origin; (2) the CONSULTANT will, in all solicitations or advertisements for employees placed by qualified applicants, receive consideration for employment without regard to race, creed, color, sex or national origin; (3) the CONSULTANT will cause the foregoing provisions to be inserted in all subcontracts for any work covered by the Agreement so that such provision will be binding upon each subcontractor, provided that the foregoing provision shall not apply to contracts or subcontracts for standard commercial supplies of raw materials.

#### 19. DRUG FREE WORK PLACE

CONSULTANT shall be responsible for insuring that its employees shall not be involved in any manner with the unlawful manufacture, distribution, dispensation, possession, sale or use of a controlled substance in the workplace. For purposes of the policy, "workplace" is defined as CITY owned or leased property, vehicles, and project or client site. Any violation of the prohibitions may result in discipline and/or immediate discharge.



CONSULTANT shall notify the appropriate federal agencies of an employee who has a criminal drug statute conviction for workplace violation.

CONSULTANT may require drug or alcohol testing of employees when contractually or legally obligated, or when good business practices would dictate.

#### 20. ANTI-KICKBACK CLAUSE

Salaries of architects, drafters, engineer's, and technicians performing work under this Agreement shall be paid unconditionally and not less often than once a month without deduction or rebate on any account except only such payroll deductions as are mandatory by law. The CONSULTANT hereby promises to comply with all applicable "Anti-kickback" laws, and shall insert appropriate provisions in all subcontracts covering work under this Agreement.

#### 21. AUDITS AND INSPECTORS

At any time during normal business hours and as often as the CITY may deem necessary, the CONSULTANT shall make available to the CITY and/or audit representatives of the CITY for examination all of its records with respect to all matters covered by this Agreement. It shall also permit the CITY and/or representatives of the audit, examine and make copies, excerpts or transcripts from such records of personnel, conditions of employment and other data relating to all matters covered by this Agreement.

The CONSULTANT shall maintain all books, documents, papers, accounting records and other evidence pertaining to costs incurred on the Project and used in support of its proposal and shall make such material available at all reasonable times during the period of the Agreement, and for three years from the date of final payment under the Agreement, for inspection by the CITY or any reviewing agencies, and copies thereof shall be furnished upon request at cost plus 10%. The CONSULTANT agrees that the provisions of this Article shall be included in any Agreements it may make with any subcontractor, assignee, or transferee.

#### 22. OWNERSHIP, PUBLICATION, REPRODUCTION AND USE

All documents and materials prepared as an instrument of service pursuant to this Agreement are the property of the CITY. The CITY shall have the unrestricted authority to publish, disclose, distribute, and otherwise use, in whole or in part, any reports, data, maps, or other materials prepared under this Agreement without according credit of authorship. The CITY shall hold harmless the CONSULTANT against all claims arising out of such use of documents and materials without the CONSULTANT's knowledge and written consent.

#### 23. <u>VERBAL AGREEMENT OR CONVERSATION</u>

No verbal agreement or conversation with any officer, agent, or employee of the CITY, either before, during, or after the execution of this Agreement, shall affect or modify any of the terms or obligations herein contained, nor shall such verbal agreement or conversation entitle the CONSULTANT to any additional payment whatsoever under the terms for this Agreement. All changes to this Agreement shall be in writing and appended hereto as prescribed in Article 3 above.



#### 24. INDEPENDENT CONTRACTOR

The CONSULTANT shall perform the services under this Agreement as an independent contractor and nothing contained herein shall be construed to be inconsistent with this relationship or status. Nothing in this Agreement shall be interpreted or construed to constitute the CONSULTANT or any of its agents or employees to be the agent, employee, or representative of the CITY.

#### 25. NOTICES

All notices shall be in writing and delivered in person or transmitted by certified mail, postage prepaid. Notices shall be addressed as follows:

CITY:	CONSULTANT:
ADMINISTRATOR	
AUGUSTA, GEORGIA	
535 Telfair St., Suite 910	
Augusta, GA 30911	
-	

#### Copy to:

DIRECTOR
AUGUSTA UTILITIES DEPARTMENT
452 Walker Street; Suite 200
Augusta, GA 30901

#### 26. TEMPORARY SUSPENSION OR DELAY OF PERFORMANCE OF CONTRACT

To the extent that it does not alter the scope of this agreement, Augusta, GA may unilaterally order a temporary stopping of the work, or delaying of the work to be performed by CONSULTANT under this agreement.

#### 27. DEFECTIVE PRICING

To the extent that the pricing provided by CONSULTANT is erroneous and defective, the parties may, by agreement, correct pricing errors to reflect the intent of the parties.

#### 28. SPECIFIED EXCUSES FOR DELAY OR NON-PERFORMANCE

CONSULTANT is not responsible for delay in performance caused by hurricanes, tornadoes, floods, and other severe and unexpected acts of nature. In any such event, the contract price and schedule shall be equitably adjusted.

#### 29. HOLD HARMLESS

Except as otherwise provided in this agreement, CONSULTANT shall indemnify and hold harmless Augusta, GA, and its employees and agents from and against all liabilities, claims, suits,



demands, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from the negligent performance of its Work.

#### 30. GEORGIA PROMPT PAY ACT NOT APPLICABLE

The terms of this agreement supersede any and all provisions of the Georgia Prompt Pay Act.

#### 31. RIGHT TO INSPECT PREMISES

Augusta, Georgia may, at reasonable times, inspect the part of the plant, place of business, or work site of CONSULTANT or any subcontractor of CONSULTANT or subunit thereof which is pertinent to the performance of any contract awarded or to be awarded by Augusta, Georgia.

#### 32. E-VERIFY

All contractors and subcontractors entering into contracts with Augusta, Georgia for the physical performance of services shall be required to execute an Affidavit verifying its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm, or corporation which is contracting with Augusta, Georgia has registered with and is participating in a federal work authorization program. All contractors and subcontractors must provide their E-Verify number and must be in compliance with the electronic verification of work authorized programs operated by the United States Department of Homeland Security or any equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, pursuant to the Immigration Reform and Control Act of 1986 (IRCA), P.L. 99-603, in accordance with the applicability provisions and deadlines established in O.C.G.A. § 13-10-91 and shall continue to use the federal authorization program throughout the contract term. All contractors shall further agree that, should it employ or contract with any subcontractor(s) in connection with the physical performance of services pursuant to its contract with Augusta, Georgia the contractor will secure from such subcontractor(s) each subcontractor's *E-Verify number* as evidence of verification of compliance with O.C.G.A. § 13-10-91 on the subcontractor affidavit provided in Rule 300-10-01-.08 or a substantially similar form. All contractors shall further agree to maintain records of such compliance and provide a copy of each such verification to Augusta, Georgia at the time the subcontractor(s) is retained to perform such physical services.

#### 33. LOCAL SMALL BUSINESS LANGUAGE

In accordance with Chapter 10B of the AUGUSTA, GA. CODE, Contractor expressly agrees to collect and maintain all records necessary to for Augusta, Georgia to evaluate the effectiveness of its Local Small Business Opportunity Program and to make such records available to Augusta, Georgia. The requirements of the Local Small Business Opportunity Program can be found at www.augustaga.gov. In accordance with AUGUSTA, GA. CODE § 1-10-129(d)(7), for all contracts where a local small business goal has been established, the contractor is required to provide local small business utilization reports. Contractor shall report to Augusta, Georgia the total dollars paid to each local small business on each contract, and shall provide such payment affidavits, regarding payment to subcontractors as may be requested by Augusta, Georgia. Such documents shall be in the format specified by the Director of minority and small business opportunities, and shall be submitted at such times as required by Augusta, Georgia. Failure to provide such reports within the time period specified by Augusta, Georgia shall entitle Augusta, Georgia to exercise any of the remedies set forth, including but not limited to, withholding payment from the contractor and/or collecting liquidated damages.



#### 34. ACKNOWLEDGEMENT

"Consultant acknowledges that this contract and any changes to it by amendment, modification, change order or other similar document may have required or may require the legislative authorization of the Board of Commissioners and approval of the Mayor. Under Georgia law, Consultant is deemed to possess knowledge concerning Augusta, Georgia's ability to assume contractual obligations and the consequences of Consultant's provision of goods or services to Augusta, Georgia under an unauthorized contract, amendment, modification, change order or other similar document, including the possibility that the Consultant may be precluded from recovering payment for such unauthorized goods or services. Accordingly, Consultant agrees that if it provides goods or services to Augusta, Georgia under a contract that has not received proper legislative authorization or if the Consultant provides goods or services to Augusta, Georgia in excess of the any contractually authorized goods or services, as required by Augusta, Georgia's Charter and Code, Augusta, Georgia may withhold payment for any unauthorized goods or services provided by Consultant. Consultant assumes all risk of non-payment for the provision of any unauthorized goods or services to Augusta, Georgia, and it waives all claims to payment or to other remedies for the provision of any unauthorized goods or services to Augusta, Georgia, however characterized, including, without limitation, all remedies at law or equity." This acknowledgement shall be a mandatory provision in all Augusta, Georgia contracts for goods and services, except revenue producing contracts.

[SIGNATURES ON FOLLOWING PAGE]



IN WITNESS WHEREOF, said parties have hereunto set their seals the day and year written below:

CITY:	CONSULTANT:
AUGUSTA, GEORGIA (CITY)	
BY:	BY:
PRINTED NAME: Garnett L. Johnson	PRINTED NAME:
AS ITS: MAYOR	AS ITS: Principal
ATTEST CLERK:	ATTEST:
PRINTED NAME: Lena J. Bonner	PRINTED NAME:
AS ITS: Clerk of Commission	AS ITS: Principal
DATE:	DATE:

Copy To:

**DIRECTOR AUGUSTA UTILITIES DEPARTMENT**452 Walker Street, Suite 200

Augusta, GA 30901



#### CONSULTANT'S RESPONSIBILITIES

CONSULTANT, in order to determine the requirements of the Project, shall review the information in Attachment A – Scope of Services. CONSULTANT shall review its understanding of the Project requirements with CITY and shall advise CITY of additional data or services which are not a part of CONSULTANT's services, if any, necessary for design to begin.

#### PROJECT UNDERSTANDING

Upon request from the CONSULTANT, CITY may provide all criteria and full information as to CITY's and CONSULTANT'S requirements for this part of the project, including design objectives and constraints, space, capacity and performance requirements, flexibility and expendability, and any budgetary limitations. CONSULTANT may request from the CITY to furnish data, reports, surveys, and other materials that may be relied upon in performing CONSULTANT'S services.

#### **REVIEW OF WORK**

Authorized representatives of the CITY may at all reasonable times review and inspect the project activities and data collected under the Agreement and amendments thereto. All reports, drawings, studies, specifications, estimates, maps and computation prepared by or for the CITY in association with this Agreement shall be subject to review.

The CITY may at any time request progress reports, prints or copies of any work performed under this Agreement. Refusal by the CONSULTANT to submit progress reports and/or plans shall be cause to withhold payment to the CONSULTANT until the CONSULTANT complies with the CITY's request in the regard.

The CITY's review recommendations shall be incorporated into the plans by the CONSULTANT.

#### CONSULTANT'S INSURANCE

CONSULTANT will maintain throughout this AGREEMENT the following insurance limits as specified in General Condition 14 – Insurance.



#### CITY'S RESPONSIBILITES

#### **CITY-FURNISHED DATA**

CITY will provide to CONSULTANT all data in CITY's possession relating to CONSULTANT's services on the PROJECT. CONSULTANT will reasonably rely upon the accuracy, timeliness, and completeness of the information provided by CITY.

#### **RIGHT TO ENTER**

The CONSULTANT will notify all property owners or occupants of the intent to enter properties for the purpose of accomplishing work in accordance with the practices of the CITY. The CONSULTANT shall discuss with and receive approval from the CITY prior to sending notices of intent to enter private property. Upon request by the CONSULTANT, the CITY will provide the necessary documents identifying the CONSULTANT as being in the employ CITY for the purpose described in the Agreement.

#### ADVERTISEMENTS, PERMITS, AND ACCESS

Unless otherwise agreed to in the Scope of Services, CITY will obtain, arrange, and pay for all advertisements for bids; permits and licenses required by local, state, or federal authorities; and land, easements, rights-of-way, and access necessary for CONSULTANT's services or PROJECT construction.

#### **TIMELY REVIEW**

CITY will examine CONSULTANT's studies, reports, sketches, drawings, specifications, proposals, and other documents; obtain advice of an attorney, insurance counselor, accountant, auditor, bond and financial advisors, and other consultants as CITY deems appropriate; and render in writing decisions required by CITY in a timely manner.

#### PROMPT NOTICE

CITY will give prompt written notice to CONSULTANT whenever CITY observes or becomes aware of any development that affects the scope or timing of CONSULTANT's Services, or of any defect in the work of CONSULTANT or construction contractors.

#### **CITY'S INSURANCE**

CITY will maintain property insurance on all pre-existing physical facilities associated in any way with the PROJECT.

#### LITIGATION ASSISTANCE

The Scope of Services does not include costs of CONSULTANT for required or requested assistance to support, prepare, document, bring, defend, or assist in litigation undertaken or defended by CITY. All such Services required or requested of CONSULTANT by CITY, except for suits or claims between the parties to this AGREEMENT, will be reimbursed as additional services.



# ATTACHMENT A - SCOPE OF SERVICES

For the Scope of Services, please refer to the attached proposal from Kleinschmidt Associates which includes the fee schedule for inspection tasks.



## ATTACHMENT B - COMPENSATION

The CITY shall compensate the CONSULTANT for services, which have been authorized by the CITY under the terms of this Agreement.

The CONSULTANT may submit to the CITY a monthly invoice, in a form acceptable to the CITY and accompanied by all support documentation requested by the CITY, for payment for the services, which were completed during the billing period. The CITY shall review for approval said invoices. The CITY shall have the right to reject payment of any invoice or part thereof if not properly supported, or if the costs requested or a part thereof, as determined solely by the CITY, are unreasonably in excess of the actual phase of completion of each phase. The CITY shall pay each such invoice or portion thereof as approved, provided that the approval or payment of any such invoice shall not considered to be evidence of performance by the CONSULTANT to the point indicted by such invoice, or of receipt of acceptance by the CITY of the service covered by such invoice. The CITY shall pay any undisputed items contained in such invoices.

Each invoice shall be accompanied by a letter progress report describing the total work accomplished for each phase and any problems, which have been encountered, which may inhibit execution of the work. The CONSULTANT shall also submit an accurate updated schedule, and an itemized description of the percentage of total work completed for each phase during the billing period.

When the CITY authorizes the CONSULTANT to proceed with the work authorized in a Task Order, it agrees to pay the CONSULTANT for work completed, on the basis of the standard billing rates shown in Attachment B to the Contract of those principals and employees engaged directly on the work.

Compensation for design services shall be invoices based on the sum of all actual costs incurred in the performance of the work, including all direct, payroll, overall and profit cost in an amount not-to-exceed the compensation set forth in the terms of the Agreement or any authorized Task Order. All invoices submitted by the CONSULTANT shall be detailed to reflect incurred expenses, labor hours and costs by authorized Task.

Overtime may be performed at the discretion of the CONSULTANT, but the premium time portion of the overtime will not be billed to the CITY unless the CONSULTANT has requested acceleration of the scheduled work in writing.



## ATTACHMENT C - LISTING OF KEY PERSONNEL

CONSULTANT shall provide qualified personnel to perform its work. The list of key personnel below, including a designated Program Manager will not change or be reassigned without the written approval of the CITY. Those personnel committed for this work are as follows:



## ATTACHMENT D - SCHEDULE FOR PERFORMANCE

For the Schedule for Performance, please refer to the attached proposal from Kleinschmidt Associates.

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## **CONSULTANT SERVICES**

As a part of this Agreement the CONSULTANT agrees to furnish the following checked items (CONSULTANT to initial in the space provided acknowledging responsibility to furnish said item).

Prior to Authorization To Proceed:
<ul> <li>✓ Detailed Scope of Services based upon Schedule A of this Agreement to be submitted with Cost Proposal clearly defining the CONSULTANT'S understanding of the project limits, design objectives and CONSULTANT'S services to be provided.</li> <li>☐ Cost Proposal that will include cost of surveying, design, preparation of construction plans and specifications, and other services requested in the CITY's Request for Proposal.</li> <li>☐ Schedule for submittal of review documents at 30%, 60%, and 90% completion; and final documents.</li> </ul>
Prior to submitting 30% review documents:
<ul> <li>Locate all existing utilities using available information collected by the CONSULTANT. The CITY will furnish available information on water and sewer locations however the CONSULTANT must verify to CITY'S satisfaction.</li> <li>Provide CITY with information on the project site(s), including the following:         <ul> <li>Past and present use of the land (specifically identify any landfilling activities in the area); identify any nearby designated wetlands</li> <li>Soil type(s)</li> <li>Boring results when required by CONSULTANT for new facilities or where depth of line and existing site conditions warrant.</li> <li>Brief description of the area (e.g., residential, commercial, industrial) including general slope of the land, and whether trees, signs, etc. will be in conflict with the new facilities. Include number of properties affected and number of easements</li> </ul> </li> </ul>
<ul><li>required with property owners identified</li><li>Identification of potential problems in meeting design objectives.</li></ul>
Site Plan (If Required)
Throughout project:
☐ Prepare printed responses to comments received from the CITY following reviews. ☐ Provide the necessary plats for easement acquisition and DOT/other permit application.
Prepare Public Works/DOT/Other permit applications for signature by the CITY.

23 OF 26 REVISION DATE: December 2020

Prepare and submit plans to EPD for review and approval when required.



Specifications (latest version). Specifications in Prepare construction cost estimates	ing Augusta Utilities Design Standards and must mirror that provided by the CITY. at each review stage, 30%, 60%, 90%, and with the breakdown for any items to be lump sum in the
Upon completion of design:	
□ Fax bid information to CITY. □ Attend the Pre-Bid Meeting as a tech □ Prepare letter of recommendation for □ Develop conformed contract docum □ Attend the pre-construction meeting □ Provide clarification related to the property construction. □ Provide record drawings at complete to Design Standards and Specifications (latest versional provide Services During Construction) □ Provide Services During Construction ■ Attend project meetings as scheened as the Recommend design changes as the Review and approval of pay requestion construction will be constructed consultation will be constructed consultation of plans and the Provide clarification of plans and the Provide clarif	be award of the contract.  Idents and forward to the CITY for execution.  Ig as a technical reference to the CITY.  Islans/specifications throughout design and  Ition of the project electronically, per the <i>Utilities</i> Islans/specifications throughout design and  Ition of the project electronically, per the <i>Utilities</i> Islans/specifications throughout design and  Ition of the project electronically, per the <i>Utilities</i> Islans/specifications  Islans/specifications  Islans/specifications throughout design and  Islans/specifications  Islans/speci
AUGUSTA UTILITIES DEPARTMENT	CONSULTANT
BY:	BY:
PRINTED NAME:	PRINTED NAME:
TITLE: DIRECTOR	TITLE: Principal
DATE:	DATE:



### **ADDITIONAL SERVICES:**

- 1. Revisions to the plans/contract documents to extend the limits of the project after this AGREEMENT has been executed by the CITY.
- 2. Revisions due to incorrect locations of existing utilities by the CONSULTANT (i.e., correct location given by CITY, incorrectly marked on plans by engineer) will be the responsibility of the CONSULTANT. Other revisions required by the CITY, DOT, EPD, or other government agency at their request will be considered an additional service.
- 3. Out-of-town meetings or conferences required of the CONSULTANT by the CITY.
- 4. Other not described above, as approved by the CITY.

#### NOTE:

It is the responsibility of the CONSULTANT as contracted by the CITY to provide professional surveying and engineering services. It is expected that such professionals will operate in a manner which assures the interests of the common welfare, rather than in a manner which promotes their own financial gain. It is expected that such professionals will act as a faithful agent for the CITY as a client. It is the duty of the CONSULTANT to protect the safety, health and welfare of the public in the performance of their professional duties.

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## BEST AND FINAL FEE PROPOSAL





We provide practical solutions for complex renewable energy, water, and environmental projects.

May 19, 2023

## Via Email

Chad Hendrix, PE Assistant Director Augusta Utilities Department 452 Walker Street Augusta, GA 30901

Proposal for Engineering Services (2097002.00)

Augusta Canal Hydroelectric Project (FERC No. 11810)

2024 4th FERC Part 12D Periodic Inspection

Dear Mr. Hendrix:

Kleinschmidt Associates (Kleinschmidt) is pleased to submit this proposal to provide engineering services to prepare the 4th Part 12D Independent Consultant Dam Safety Inspection of the Augusta Canal Hydroelectric Project (FERC No. 11810, Project). The 4th Part 12D Safety Inspection of the Project will be conducted as a Periodic Inspection (PI), in accordance with and as required by the Federal Energy Regulatory Commissions' (FERC) Chapter's 16 and 17 of the Engineering Guidelines for the Evaluation of Hydropower Projects (Guidelines), December 16, 2021. According to the information we have available, the Part 12D Periodic Inspection Report (PIR) is due to FERC by June 30, 2024.

We propose Nick Ciomei, P.E., as the Independent Consultant (IC), structural subject matter expert (SME), and Project Manager. Mr. Ciomei is a FERC-approved IC and he has not performed back-to-back Part 12 inspections of the Project. A copy of Mr. Ciomei's résumé is attached for Augusta Utilities Department's (AUD) review (Attachment A). Mr. Ciomei will be accompanied by two additional Kleinschmidt engineers to participate in the inspection of the Project's structures. One of the engineers will be an experienced engineer that can act as the Geotechnical SME. The second additional engineer will perform the role of IC assistant and notetaker for the inspection.

Kleinschmidt will not use subconsultants in performing the proposed scope of work.

#### PROPOSED SCOPE OF WORK

According to paragraph 12.32 of FERC Order 122, the proposed scope of work for the safety inspection is "...to identify any actual or potential deficiencies that might endanger life, health, or property, including deficiencies that may be in the condition of those project works or in the quality or adequacy of project maintenance, safety, methods of operation, analyses, and

other conditions." The requirements for the PIR are contained in Chapter 16 of FERC's *Guidelines*. The proposed work will be performed according to the requirements of the *Guidelines* and as outlined in FERC's Part 12 Notification Letter of December 19, 2022. All work will be performed either by the IC or under the direction of the IC. We will perform the following tasks to prepare the Part 12D PIR for the Project.

## **TASK 1: REVIEW BACKGROUND INFORMATION**

We request that AUD provide an electronic copy of the following documents for the IC to review before visiting the Project. Some documents are requested in Microsoft Word or Excel format, as noted:

- Supporting Technical Information Document (STID) the most current version of the document or the draft containing proposed revisions in Microsoft Word;
- Potential Failure Modes Analysis (PFMA) Report and addenda in Microsoft Word;
- copies of the three previous Part 12 Safety Inspection Reports (SIRs);
- dam safety correspondence with FERC since the previous SIR;
- FERC's most recent annual inspection report;
- most recent version of the Dam Safety Surveillance and Monitoring Plans (DSSMP);
- most recent Dam Safety Surveillance and Monitoring Reports (DSSMR);
- instrumentation and monitoring data set up to be plotted (if data are not in Excel, please provide electronic copies of the data plots);
- current Emergency Action Plans (EAPs);
- current Owner's Dam Safety Plan (ODSP);
- current Public Safety Plan (PSP);
- project drawings; and
- documents describing any modifications, studies, or investigations that have been performed since the STID was last updated.

Assuming that the drawings and other information contained in the documents are legible and suitable for reproduction and use in the Part 12D PIR, no other background information should be needed.

The IC needs to review AUD's correspondence with FERC regarding dam safety to ensure that he is aware of any issues that FERC may have with the safety of the Project. The correspondence should start with the letter submitting the 3rd Part 12D SIR to FERC up to the current day. Copies of correspondence regarding licensing issues or annual operating reports are not needed.

The requested documents should be provided to Kleinschmidt as soon as practical after issuing the notice to proceed, and at least 4 months before the field inspection for creation of the Pre-Inspection Preparation Report (PIPR, Task 6).

### **TASK 2: PART 12D INSPECTION PLAN**

A Part 12D Inspection Plan for the Project will be prepared under the direction of the IC in a format that complies with the FERC's requirements as contained in Chapter 16 of the *Guidelines*. The Inspection Plan will include the Project's basic information, type of inspection, the proposed IC Team subject matter disciplines, and a schedule for completing the Part 12D inspection-related activities. Kleinschmidt will submit the proposed IC Team's resumes as part of the Inspection Plan. Kleinschmidt will deliver an electronic copy of the draft plan in Microsoft Word format. We request AUD to provide consolidated comments on the draft plan to Kleinschmidt within 2 weeks of receipt. Kleinschmidt will deliver the final plan within 2 weeks of receiving comments on the draft.

## **TASK 3: PARTICIPATE IN SECOND FERC COORDINATION CALL**

Kleinschmidt will participate in the second coordination conference call with AUD and FERC. The purpose of the call is to discuss FERC's expectations of AUD and the IC during the PFMA review and field inspection. Any outstanding items or past Part 12D recommendations that have not been fulfilled or that require particular attention during the PFMA reviews and field inspections will be discussed during this call.

## **TASK 4: REVIEW SUPPORTING TECHNICAL INFORMATION DOCUMENT**

The IC will review the STID for the Project in advance of creating the PIPR (Task 6). Any hydrologic studies and stability analyses performed since the last SIR will be reviewed as part of this task. We propose no additional studies or new analyses be completed specifically for preparing the PIR.

#### TASK 5: REVIEW INSTRUMENTATION AND SURVEY DATA

The IC will review the data provided by AUD to monitor the movement, stability, or uplift of the water-retaining structures at the Project. We expect the data to include the information required according to the *Guidelines*, Appendix H, Section 4.0. We understand that the active instrumentation and survey data at the Project is limited to that associated with monitoring of seepage. There are no piezometers being monitored nor are their deformation surveys (horizontal and vertical movement) being performed.

The data plots should cover not less than 15 years of data if available (*Guidelines*, Appendix D), although providing data for the full length of the instruments' record is preferred in order to allow a comparison of the last five years of data with historic data. The PIR will contain an

evaluation of the existing monitoring program and, if necessary, recommendations for revising the program. The PIR will also include a copy of the instrumentation data plots.

The Proposed Scope of Work does not include compiling or entering instrumentation data into any data base, or the generation of graphs of the data, but such services can be provided if requested and they will be considered as additional work.

## **TASK 6: PRE-INSPECTION PREPARATION REPORT**

The PIPR will be prepared under the direction of the IC in a format that complies with the FERC's requirements as contained in Chapter 16 of the *Guidelines*. Unlike the Part 12 Inspection Plan, the PIPR will be utilized as part of the PIR (Task 9) and will require a separate plan for the Project. The PIPR will clearly state the required documentation in accordance with Section 16-4.2 of the *Guidelines* and IC Team inclusive of each proposed team member and their résumé. As part of the PIPR task and to meet the *Guidelines*, Kleinschmidt has assumed limited hand calculations will be performed to review analyses of record for the Project. Kleinschmidt will deliver electronic copies of the draft report in Microsoft Word. We assume AUD will provide consolidated comments on the draft report to Kleinschmidt within 4 weeks of receipt. Kleinschmidt will deliver the final report within 2 weeks of receiving comments on the draft.

#### **TASK 7: REVIEW PFMA REPORT**

The IC will review the current PFMA Report for the Project and documents provided by AUD that provide information to assess potential impacts to existing potential failure modes (PFMs) or to identify new PFMs as requested by FERC. The PI does not require a formal PFMA review; however, a review of PFMs with respect to current project conditions, studies, and outstanding items is required. Based on Kleinschmidt's understanding of the Project and some current outstanding items related to a number of PFMs, Kleinschmidt has planned and budgeted for up to 16 hours for PFM review and documentation of PFM related discussion within the PIR.

## **TASK 8: INSPECT PROJECT STRUCTURES**

The IC and IC assistant will visit the Project to observe the water-retaining structures, focusing on the condition of each structure and considering the findings of the PFMA review. The inspection will assess the condition of the diversion dam, if not being overtopped, the 7-milelong canal and any structure that intrudes into or passes beneath the canal dikes and waterways. Ideally, the IC's site visit will occur concurrently with FERC's annual inspection, and the IC will compare notes and findings with the FERC Inspector before leaving the site.

The IC will endeavor to perform the field inspection when the diversion dam is not spilling or minimally spilling flows to maximize visual observation of the structures, and when the ground surface is dry to identify any seepage or leakage. The date of the field inspection is not yet determined but will include the IC Team and participants from AUD and FERC. Based on our current understanding of the Project and the work to be completed, we assume that the Part 12D field inspection will be completed in up to 3 days.

As part of the field inspection, the IC will offer an opinion regarding the adequacy of the operation and monitoring of the Project with respect to the findings of the PFMA review. Kleinschmidt will observe maintenance and repairs of the Project, if any, completed since the previous Part 12D SIR. The IC will visually observe the condition of project structures and consult with AUD personnel to complete the inspections. We request and assume that personnel knowledgeable on the history, operation, maintenance, and modification of the Project will be made available to accompany the IC Team during the inspection. The IC will use no equipment other than a camera, a geologist's hammer, and a measuring tape to test or assess the condition of project structures, equipment, and features. Our proposed services exclude inspecting the portions of the Project's structures that are underwater.

Kleinschmidt will provide the IC Team with safety shoes, glasses, hard hat, and gloves; AUD shall provide personal flotation devices, a boat and operator for access, and fall protection equipment, if required. We request that AUD arrange to provide the safety equipment, clearances, and field checks needed to allow access to any galleries or passages associated with the Project's structures. We assume that no spillage will occur during the inspection, both for safety and so that the IC Team can view the spillway effectively.

If the IC Team determines that additional analyses or field data are necessary to evaluate the condition or safety of the Project properly, the IC will work with AUD to develop means to secure such information. Any work to scope or complete additional analyses or to develop additional data gathering programs will be considered additional services. We assume that the recommendations of previous Part 12D Inspection Reports and FERC's comments on those reports have been addressed; therefore, this proposal excludes addressing any outstanding recommendations or comments.

#### TASK 9: PREPARE PART 12D PERIODIC INSPECTION REPORT

A Part 12D PIR will be prepared for the Project under the direction of the IC in a format that complies with the FERC's requirements as contained in the *Guidelines*. Pertinent sections of the Part 12D PIR will clearly state the extent of review of analyses and studies performed by the IC or under his direction, and whether the IC agrees with the methods, assumptions and findings of those analyses or studies.

Kleinschmidt will deliver an electronic copy of the draft report in Microsoft Word and PDF formats. The draft report will include photographs taken during the field inspection and selected to document the condition of Project's structures. The cover and each page of the Part 12 PIR will contain the following footnote "Critical Energy Infrastructure Information – Do

Not Release." We request that AUD provide consolidated comments on the draft report to Kleinschmidt within 4 weeks of receipt.

The scope of work covered in this proposal excludes services required to address any follow-up questions from FERC. Kleinschmidt cannot anticipate the questions or the level of detail of the questions that FERC may ask. Kleinschmidt expects to prepare complete reports that leave no unresolved issues, but we cannot guarantee that FERC will have no questions on the reports or their findings.

#### **SCHEDULE**

The draft schedule for completion of the work is proposed as follows, subject to discussion with AUD and FERC:

TASK	COMPLETION DATE	
Proposal Submitted to AUD	May 19, 2023	
Authorization to Proceed	By June 2, 2023	
Task 1 – Review Background Materials	Continuous Throughout Project	
Task 2 – DRAFT Part 12D Inspection Plan	June 23, 2023	
Task 2 – FINAL Part 12D Inspection Plan	July 14, 2023	
Task 3 – Second FERC Coordination Call	TBD, Summer 2023	
Tasks 4, 5, & 7 – Review of STID/Instruments/PFMs	Continuous Throughout Project	
Task 6 – DRAFT PIPR	November 10, 2023	
Task 6 – FINAL PIPR	December 15, 2023	
Task 8 – Field Inspection	January/February 2024	
Task 9 – DRAFT PIR	May 31, 2024	
Task 9 – FINAL PIR	June 28, 2024	
Final PIR due to FERC	June 30, 2024	

#### COST

Kleinschmidt will perform the proposed work on an Hourly Rate plus Expenses basis. Based upon our understanding of the scope of work, the estimated cost for this is **\$85,000** (Eighty-five thousand dollars). This Cost of Services is calculated using Kleinschmidt's 2023 Rate Schedule (Attachment B) for work planned for 2023 and a 5% increase in rates for 2024. The estimate is not a fixed price or an upper limit. We will not exceed the estimated amount without first discussing the need with you and receiving your authorization to proceed.

Kleinschmidt will communicate a need for a change order, if necessary, once the 2024 Rate Schedule is finalized.

#### **TERMS AND CONDITIONS**

The proposed scope of work will be performed on an Hourly Rate plus Expenses basis according to Kleinschmidt's Method of Payment (Attachment C), 2023 Rate Schedule (Attachment B) and the Standard Terms and Conditions (Attachment D). Work completed in 2024 will be based on an estimated 5% increase over the 2023 Kleinschmidt rates to accommodate our annual business cost adjustments.

Please reference this proposal, *Proposal No. 2097002.00*, on the face of the purchase order (PO) or other form of written notice issued as authorization to proceed. If a PO is issued as authorization to proceed, please note on the face of the PO that the terms and conditions referenced in this proposal supersede any shown on the back of the PO. Provide written authorization to proceed to the following address and forward an electronic copy of the authorizing document to Nick Ciomei at Nick.Ciomei@KleinschmidtGroup.com:

Kleinschmidt Associates

P.O. Box 650

Pittsfield, ME 04967-0650

Attn: Accounting Group

We appreciate the opportunity to assist you with this project. If you have any questions regarding this proposal, please call or e-mail Nick Ciomei at 207.416.1216 or Nick.Ciomei@KleinschmidtGroup.com.

Sincerely,

**KLEINSCHMIDT ASSOCIATES** 

Nick M. Ciomei, P.E.

Project Manager

Steven R. Layman, Ph.D.

**Project Director** 

NMC:FHW

Attachments: Attachment A. IC's Résumé

Steven R. Layman

Attachment B. 2023 Rate Schedule Attachment C. Method of Payment

Attachment D. Standard Terms and Conditions

cc: Proposal Distribution

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## **ATTACHMENT A**

INDEPENDENT CONSULTANT'S RÉSUMÉ



### Position with Firm Senior Engineer

#### **Key Expertise**

- FERC Part 12 Dam Safety Inspection
- DSSMR/DSSMP
- Stability Analysis
- Supporting Technical Information Documents (STID)
- Dam & Spillway Inspections & Design
- Gates & Water Control Design
- Penstock Investigation & Design

Professional Registration
Professional Engineer, ME, HI, VT, NH, GA

## Certification/Training FERC-Approved Independent Part 12D Consultant

Leveraging Potential Failure Mode Analysis to Perform Semi-Quantitative Risk Analysis

Fundamentals of Facilitating a Semi-Quantitative Risk Analysis

SPRAT Rope Access Technician Level I

Safety Evaluation of Existing Dams, Bureau of Reclamation

Inspection and Assessment of Dams, Bureau of Reclamation

#### Education

B.S. Civil Engineering, minor in Business, University of Maine, 2010

Years of Experience With Kleinschmidt: 9 Total: 12

## Nicholas M. Ciomei, P.E.

## **Project Role: Structural Subject Matter Expert**

Nick Ciomei has 12 years of dam safety experience and specializes in dam safety/Part 12D safety inspections as a FERC approved IC. He conducted six Part 12 safety inspections and PFMA projects as an IC and assisted the FERC-approved IC on 25 additional Part 12 safety inspections and PFMA projects. Nick is experienced in completing gravity stability analyses for concrete, timber crib, masonry, stacked stone, and various gated structures. His experience includes engineering design and inspection for a variety of hydropower structures such as retaining walls, spillways, penstocks, flashboards, and rock anchors. In addition, Mr. Ciomei facilitates emergency action plan functional and tabletop exercises, generates dam safety surveillance monitoring plans/reports and standard technical information documents. He received the Leveraging Potential Failure Mode Analysis to Perform Semi-Quantitative Risk Analysis training and the Fundamentals of Facilitating a Semi-Quantitative Risk Analysis required for facilitators.

Relevant Project Experience

Federal Energy Regulatory Commission (FERC) Part 12 Independent Consultant and Potential Failure Mode Analyses (PFMA)

Independent Consultant for the following FERC Part 12 inspection and potential failure mode analysis (PFMA) in 2021:

Tallulah Falls, GA - 2021 Clark's Falls, VT - 2021 Peterson, VT - 2021 Tugalo, GA – 2022 Bartletts Ferry, GA – 2022 Pocono Lake, PA – 2022

Assisted the Independent Consultant with Federal Energy Regulatory Commission (FERC) Part 12 and Potential Failure Mode Analyses (PFMA)

Independent Consultant Assistant responsible for the following FERC Part 12 inspection and potential failure mode analyses (PFMA) in the years noted:

Clark's Falls, VT- 2017
Eel Weir, ME- 2016
Ellsworth, ME - 2015
Forest City, ME - 2014
Gantt, AL - 2018
Graham Lake, ME- 2015
Gregg's Falls, NH- 2016
Gulf Island, ME- 2015
Indian Orchard, MA - 2015 & 2020
Minetto, NY - 2017
Sinclair, GA - 2017

Bartlett's Ferry, GA - 2018

Peterson Dam, VT- 2017
Phoenix, NY- 2018
Point A, AL - 2018
Rapidan, MN - 2016
Red Bridge, MA - 2015 & 2020
Sebec , ME - 2017
Vanceboro, ME - 2014
Wallace Dam, GA - 2020
West Grand Lake, ME - 2014
Weston, ME - 2014
Mathis-Terrora, GA - 2020
Augusta Canal, GA (PFMA Only) - 2020

Dam Safety and Compliance, General Services

Eagle Creek Renewable Energy

Parr Pond, GA (PFMA Only) - 2017

Project Manager responsible for leading dam safety and compliance work for ECRE's Midwest and East Division hydro assets. The work included providing support services for FERC 12.10 reports, emergency embankment repair designs, dive report reviews, construction support, Tainter gate inspections, STID and DSSMP revisions, stability analyses, dam safety state and federal correspondence, and other miscellaneous FERC compliance documents.

## FERC Part 12 Inspection, Pocono Lake

#### Pocono Lake Preserve, Pocono Lake, PA

Project Manager and Independent Consultant responsible for FERC Part 12 inspection. Types of structures inspected include a concrete gravity dam, uncontrolled ogee spillway, and earthen embankments. Project services included dam inspections, hydrologic & hydraulic analyses including PMF determination and dam breach analyses, and potential failure mode analyses (PFMA) review.

## Multiple Dam Safety Projects, Gantt and Point A Developments, Conecuh Hydroelectric Project, PowerSouth Energy Cooperative, Andalusia, AL

Project Manager & Project Engineer responsible for multiple projects at the two developments between 2015 and 2018 including: Rewriting and separating STIDs, DSSMPs, and DSSMRs for reporting years 2016-2018, 5-year ODSP audit, conducting the 10-year Detailed Tainter Gate inspections, Focused Spillway Assessments, and Part 12D Inspection. The developments both consists of large earthen embankment structures, Tainter gate spillways, and integral intake/powerhouse structures. Each development has 20+ embankment and spillway piezometers, toe ditch weirs, and survey monuments. Due to access limitations, the close-up Tainter gate inspection incorporated rope access techniques to meet the FERC Guidelines. Additional work completed during the STID update process included stability analyses of concrete gravity structures, identification of population at risk due to a dam breach, and revised spillway rating curves for each development. The Focused Spillway Assessment was completed to address the FERC initiative as a result of the Oroville Dam event. The Part 12D inspection included a comprehensive PFMA review that addressed concerns raised during the Focused Spillway Assessment. Project work to date has resulted in a revamped dam safety program addressing deficiencies noted by FERC and now meets or exceeds the FERC Guidelines.

## Audit of Owner's Dam Safety Program, Six Hydroelectric Projects Kruger, KEI (USA) Power Management Inc., Gardiner, ME

Project Manager responsible for managing audit of KEI's Owner's Dam Safety Program (ODSP) for submittal to Federal Energy Regulatory Commission. Audit included review of KEI's ODSP and related documents for six hydroelectric projects with high hazard potential in Maine, New York and Virginia. Evaluation of the ODSP included interviews of KEI's personnel and preparation of the audit report, which was submitted to the Atlanta Regional Engineer of FERC.

## Revised Owners Dam Safety Program Central Rivers Power Massachusetts, MA

Project Manager and Project Engineer responsible for revising the Owner's Dam Safety Program after assets were purchased. The revised program consisted of a complete rewrite of the document, specifically the roles and responsibilities of the new owner from management through operations staff, defining of the companies training programs, and maintenance of the Owner's Dam Safety Program.

## Spillway Stability and Rock Anchoring, Middlesex Dam Green Mountain Power, Middlesex, VT

Project Engineer responsible for the design of rock anchors to improve the stability of a 50-foot-high concrete gravity ogee spillway founded on bedrock to meet flood loading conditions. Performed stability analysis for all concrete gravity structures of the project as a part of a condition assessment report and provided design/construction support throughout installation of anchors.

## Stability Analyses, Lockhart Hydroelectric Project

Lockhart Power Company, Lockhart, SC

Project Engineer responsible for stability analyses of concrete gravity canal headgate, headgate non-overflow, sandgate, sluiceway, canal spillway, canal draingate, and powerhouse spillway structures. Analysis included sensitivity analyses of required friction factor, cohesion, and post-tensioned anchors forces for each structure not meeting FERC Guidelines.

## Detailed Tainter Gate Inspection, Keystone Hydroelectric Project Nebraska Public Power District, Ogallala, NE

Project Engineer responsible for performing a close-up, detailed condition inspection of nine Tainter gates at the Keystone Hydroelectric Project. Limited inspection access and size of the gates required the use of rope access equipment. Generated and submitted a report summarizing the inspection and provided recommendations to the client for maintenance and repair.

## Detailed Tainter Gate Inspection, Saluda Hydroelectric Project South Carolina Electric & Gas, Columbia, South Carolina

Project Manager & Engineer responsible for performing a close-up, detailed condition inspection of six Tainter gates at the Saluda Hydroelectric Project. Limited inspection access and size of the gates required the use of fall protection equipment and rope access techniques. Generated and submitted a report summarizing the inspection and provided recommendations to the client for maintenance and repair. Additionally, a table top and inspection investigation into historic pier movement for one of the internal gate piers was conducted.

## Penstock Inspection, Mathis-Terrora Development Georgian Power Company, Tallulah Falls, GA

Engineer responsible for inspecting two partially buried and above ground penstocks. The inspection included a visual inspection of the interior and exterior visible portions, thickness gauge readings, and determination of voids for buried portions of the penstocks. Thickness readings were used to perform calculations based on internal and external pressures present at the site to estimate remaining service life and recommend future repairs and monitoring recommendations.

## Peacham Pond Improvements, Peacham Pond Dam Green Mountain Power, Marshfield, VT

Project Manager responsible for the design of multiple repairs and upgrades to the Peacham Pond outlet works intake structure. The project consisted of site inspections, design, and construction support for the concrete tower. The project added electrical hook-up, new access walkway, low-level gate housing structure, new bubbler system, installation of a pond control weir and leaf gate, and miscellaneous concrete repairs.

## Seepage Investigation and Analysis, Bartletts Ferry Project Georgia Power, Bartletts Ferry, GA

Project Manager responsible for the investigation into seepage, settlement, and abnormal piezometer readings within the main embankment adjacent to the Tainter gate spillway structure at the Project. The project consisted of a model of the structure in Civil3D, subsurface boring and piezometer installation program using sonic drilling methods, and seepage and stability analyses of the embankment and concrete retaining wall structures, respectively.

## Power Canal Dam Break Analysis and Removal Design, Webster and Pembroke Dams, Eagle Creek Renewable Energy, Suncook, NH

Project Manager and Engineer responsible for developing a HEC-RAS breach model for the Webster Dam Power Canal located on the Suncook River in New Hampshire to determine the Hazard Classification. Used a LiDAR digital elevation model (DEM) to model downstream impacts within GIS. As a part of this project, a second HEC-RAS model was generated to study normal pool and flood the effects for a partial removal of a small, stone block dam located downstream of Webster Dam.

Managed a team that completed construction drawing and permitting packages for the partial removal.

## Penstock Inspection and Replacement Design, Lower Great Falls Dam Enel Green Power North America, Inc., Somersworth, NH

Project Engineer responsible for inspecting four sections of buried penstock at the Lower Great Falls Dam for condition. Used thickness readings obtained during inspection to perform calculations based on internal and external pressures present at the site to estimate remaining service life and recommend future repairs and replacement options and estimated costs. Based on the results of the inspection, completed multiple replacement design options, including replace in kind, slip lining, and reconfiguration to improve hydraulic efficiency, for two of the four penstocks at the site.

### Previous Work Experience

#### Dam Safety Inspections, Multiple Dams

#### Maine Emergency Management Agency (MEMA), Statewide ME

Assistant State Dam Inspector. Conducted condition and hazard inspections of concrete gravity, timber crib, earth embankment, and rockfill dams, table-top Emergency Action Plan exercises, and worked with private and municipal dam owners to achieve compliance with state regulations. Completed dam breach analyses to determine flood inundation extents for hazard classification of dams using ArcGIS, WMS, HydroCAD, and HEC-RAS.

## **GEI Consultants**

## Portland, ME

Water Resources Engineer. Used ArcGIS and HEC-RAS software to model and analyze inundation zones and incremental impacts downstream of a dam breach. Created watershed models in HEC-HMS and HydroCAD for rainfall runoff and water quality analysis.

**ATTACHMENT B** 

2023 RATE SCHEDULE

## KLEINSCHMIDT ASSOCIATES 2023 RATES (USD)

LABOR CATEGORY	HOURLY BILLING RATE
SENIOR MANAGERS/CONSULTANTS	
Principal Consultant F1	\$285.00
ENGINEERS	
Senior Engineering Advisor E7	\$265.00
Senior Engineering Consultant E6	\$240.00
Senior Engineer E5	\$198.00
Project Engineer E4	\$180.00
Engineer E3	\$166.00
Staff Engineer E2	\$148.00
Engineer Technician E1	\$114.00
LICENSING COORDINATORS/PLANNERS	
Senior Regulatory/Planner Advisor L/P7	\$265.00
Senior Licensing Coordinator/Planner L/P6	\$210.00
Project Licensing Coordinator/Planner L/P5	\$172.00
Licensing Coordinator/Planner L/P4	\$152.00
Staff Licensing Coordinator/Planner L/P3	\$130.00
Associate Licensing Coordinator/Planner L/P2	\$114.00
Licensing Coordinator/Planner Technician L/P1	\$92.00
Licensing Intern L/P0	\$72.00
SCIENTISTS	
Senior Science Advisor S7	\$255.00
Senior Scientist S6	\$202.00
Project Scientist S5	\$171.00
Scientist S4	\$148.00
Staff Scientist S3	\$130.00
Associate Scientist S2	\$104.00
Scientist Technician S1	\$90.00
Field Technician S0	\$68.00
PROJECT AND PROGRAM MANAGEMENT	400.00
Project Director	\$276.00
Senior Project Manager PM2	\$250.00
Project Manager PM1	\$210.00
Senior Support Staff A7	\$210.00
Project Controller A6	\$175.00
Senior Project Coordinator or Administrator /Account	
Project Administrator or /Accountant A4	\$122.00
Administrative Staff A3	\$106.00
Associate Administrative Staff A2	\$92.00
Office Assistant A1	\$92.00 \$81.00
	\$01.00
DESIGNERS/DRAFTERS	¢164.00
Lead Designer D5	\$164.00 \$148.00
Senior Designer D4	\$148.00 #130.00
Designer D3	\$130.00 \$114.00
Senior Drafter D2	\$114.00 \$00.00
Drafter D1	\$98.00
	Effective January 1, 2023

## **ATTACHMENT C**

## **METHOD OF PAYMENT**

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## KLEINSCHMIDT ASSOCIATES METHOD OF PAYMENT

- 1. Client may pay Kleinschmidt either on a negotiated Lump Sum basis or Hourly Rate basis, as defined in the Work Authorization and agreed by the *Client* and Kleinschmidt in writing.
- Client agrees to pay Kleinschmidt for Services the amounts quoted in the Proposal or Work Authorization, in accordance with the compensation terms laid out in the contract. Kleinschmidt agrees not to exceed the estimated consulting costs as stated in the proposal without explaining the need to the Client and obtaining the Client's authorization to proceed.
- 3. For Lump Sum projects, Kleinschmidt will invoice monthly as a percent complete of the project or Work Authorization, unless otherwise defined in the Work Authorization.
- 4. For Time and Materials, or Hourly Rate projects, Kleinschmidt will invoice monthly for all employee time at the hourly billing rate currently in effect, times a number of hours worked on the project plus subconsultant fees and expenses as described below. Client agrees to pay for expert testimony and direct preparation for testimony in any litigation, arbitration, or other legal or administrative proceeding at 150% of the standard billing rates with a minimum daily charge based upon an 8-hour day, plus Reimbursable Expenses.
- 5. For any projects where expenses are invoiced separately from labor, the following apply:
  - a. Client agrees to pay Kleinschmidt a 15 percent markup for subconsultant services.
  - Client agrees to pay 3 percent of labor costs for telecommunications (e.g., phone, data transmission and storage, fax, conference and video conference, data security).
  - c. Client agrees to pay for specialized computer programs, field equipment, and other unit charges (e.g., photocopies, mileage, photos, drawing reproductions, CD preparation, SharePoint hosting) according to the current rates in effect.
  - d. Client agrees to pay any other reimbursable expenses actually incurred by Kleinschmidt at cost.

V:\Admin Group\Contractual Documents\2023 Files\Method of Payment.docx

## **ATTACHMENT D**

**STANDARD TERMS AND CONDITIONS** 

# KLEINSCHMIDT ASSOCIATES (A Maine Corporation) STANDARD TERMS AND CONDITIONS

- Purpose: These Standard Terms and Conditions when combined with a Proposal are intended to form
  a complete Agreement between Kleinschmidt Associates (Kleinschmidt) and the Client to whom the
  Proposal is addressed. When Kleinschmidt's signed Proposal has been accepted by the Client, the
  resulting Agreement shall take the place of all other agreements and representations concerning the
  subject of the Proposal. This Agreement may be amended only by a writing signed by both parties.
  Terms and Conditions of any purchase order issued by Client shall not be part of this Agreement unless
  separately signed by Kleinschmidt.
- 2. Payment: In consideration for Kleinschmidt's performance of the proposed work, Client shall pay Kleinschmidt as stated in the Proposal. Client agrees to pay promptly Kleinschmidt's fees and expenses as submitted on monthly invoices. If any balance remains unpaid thirty days from the date of the invoice, Client shall pay interest on the unpaid balance at the rate of one and one-half percent per month from said thirtieth day and shall, in addition, pay Kleinschmidt's costs of collection including reasonable legal fees.
- 3. Client's Duties: At no cost to Kleinschmidt, Client shall:

Promptly provide to Kleinschmidt the information required by Kleinschmidt for performance of its services.

Provide Kleinschmidt personnel with access to the work site so that they may perform their work without interference.

Designate a Client's representative with authority to transmit instructions, receive information, and define Client's polices concerning this Agreement.

Promptly notify Kleinschmidt of any defect in Kleinschmidt's services as soon as Client becomes aware of it.

Prior to commencement of Kleinschmidt's work, furnish Kleinschmidt with any special design or construction standards, which Client may require Kleinschmidt to follow.

- 4. **Kleinschmidt's Liability**: Kleinschmidt's services will be performed with that degree of reasonable care and skill ordinarily exercised by members of the same profession currently practicing under similar circumstances.
  - The total liability by Kleinschmidt and its agents for all claims relating to the work outlined in the Proposal shall not exceed the compensation received by Kleinschmidt or \$50,000, whichever is greater.
  - Kleinschmidt shall not be liable for any losses resulting from deficiencies in its services if those deficiencies arise from a cause beyond Kleinschmidt's reasonable control.
- 5. <u>Betterment</u>: If Kleinschmidt omits a required element of the project, Kleinschmidt shall not be responsible for paying the cost to add such item to the extent that it would have been necessary to the project or otherwise adds value or betterment. Kleinschmidt will not be responsible for any added cost or expense that provides betterment, upgrade or enhancement of the project.
- 6. Shop Drawing Review: When authorized by Client, Kleinschmidt shall review contractor submittals, such as shop drawings, product descriptions, samples, and other data, but only for determining that it conforms to the design concept and that it appears consistent with the contract documents. This shall not include checking the accuracy or completeness of details, such as quantities, dimensions, weights or gauges, fabrication processes, construction methods, coordination of the work with other trades, or construction safety issues, all of which are the sole responsibility of the Contractor.

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Kleinschmidt's review shall be conducted with reasonable promptness while allowing sufficient time to permit a review that is adequate in Kleinschmidt's judgment. Review of a specific item does not mean that Kleinschmidt has reviewed the entire assembly of which the item is a part.

Kleinschmidt shall not be responsible for any deviation from the contract documents unless the deviation is brought specifically to Kleinschmidt's attention by the Contractor in writing. Kleinschmidt shall not be required to review partial submissions or those for which correlated items have not been received.

- 7. Ownership of Documents: Any drawings, specifications, or reports prepared by Kleinschmidt under this Agreement shall be the property of Client; however, Kleinschmidt shall have the unlimited right to use such drawings, specifications, and reports and the intellectual property therein. Client's use of such drawings, specifications, and reports shall be limited to the project or purpose for which they were prepared. Any use other than that purpose will be at Client's sole risk and without liability to Kleinschmidt and Client shall indemnify and hold harmless Kleinschmidt from all claims, damages, losses, and expenses resulting therefrom.
- 8. Opinions of Probable Cost: Opinions of Probable Cost prepared by Kleinschmidt are merely expressions of Kleinschmidt's judgment based on its experience as a design professional familiar with the industry. Kleinschmidt has no control over market prices, construction methods, or competitive conditions and therefore cannot represent that actual bids or negotiated prices will not vary from Kleinschmidt's Opinions of Probable Cost.
- 9. Patents: Kleinschmidt's work under this Agreement shall not include patent or copyright searches; and Kleinschmidt assumes no responsibility for any patent or copyright searches; and Kleinschmidt assumes no responsibility for any patent or copyright infringement that may arise from its work. Kleinschmidt makes no representation that anything made, used, or sold in connection with its services will be free from such infringement.
- Termination or Suspension: Either party may terminate this Agreement upon reasonable notice to the other. Kleinschmidt shall be paid for the services provided and expenses incurred through the date of termination.

If the Agreement is terminated by the Client without breach by Kleinschmidt or if Kleinschmidt terminates for Client's breach, Kleinschmidt shall also be paid its reasonable and necessary termination costs which may include layoff and demobilization expenses as well as costs of terminating contracts, leases, and other obligations incurred by Kleinschmidt in reliance upon this Agreement. If Client suspends the work, Kleinschmidt shall be reimbursed by Client for such added fees and costs which arise from the suspension and remobilization.

Kleinschmidt shall not be liable to Client for losses resulting from Kleinschmidt's termination or suspension caused by Client's non-payment or other material breach of this Agreement.

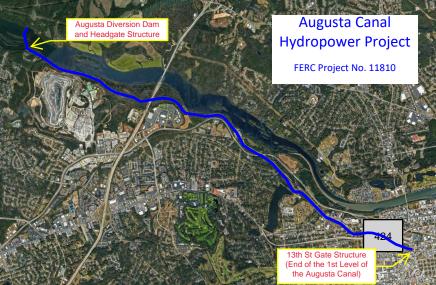
- 11. **Assignment**: Neither party shall assign its rights, interests, or obligations under this Agreement without prior written consent from the other party; but such consent shall not unreasonably be withheld.
- 12. **No Waiver**: The failure of either party to enforce a provision of this Agreement shall not prevent that party from later enforcing it or from pursuing the remedies that may be available for breach of the provision.
- 13. <u>Indemnification</u>: Within its limit of liability Kleinschmidt shall indemnify and hold harmless the Client and its agents from any and all claims and losses caused solely by the negligent acts or omissions of Kleinschmidt or its agents in the performance of services under this Agreement.

Client shall indemnify and hold harmless Kleinschmidt and its agents from any and all claims and losses caused solely by the negligent acts or omissions of Client or its agents with respect to this Agreement.

- 14. **Governing Law:** This Agreement shall be governed by the laws of the State of Maine, provided that nothing contained in the Agreement shall be interpreted in such a way as to render the Agreement unenforceable under any law of the United States or the law of the place in which the Client is located.
- 15. <u>Time for Acceptance</u>: Kleinschmidt's proposal shall remain firm for no longer than 60 days unless another period is specified in the proposal or the time is specifically extended by Kleinschmidt.



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## **Commission Meeting**

September 5, 2023

November 7, 2023 Special Election Funding from Contingency

**Department:** Board of Elections

**Presenter:** W. Travis Doss, Jr., Executive Director

Caption: Motion to approve funding for the November 7, 2023 .05% sales and use tax

for the James Brown arena. (Approved by Finance Committee August 29,

2023)

**Background:** The Augusta-Richmond County Commission adopted a resolution on June

29, 2023 calling for a Special Election of a special 0.50 percent sales and use tax and has requested the Board of Elections to conduct said election on

November 7, 2023.

**Analysis:** The Board of Elections did not budget any elections in the 2023 budget.

Special Elections are not budgeted or funded since it is unknown when they

might occur. The Coliseum Authority will be billed for the costs.

**Financial Impact:** The Board of Elections is asking for \$195,000. Cost for this Special Election

will be reimbursed by the Coliseum Authority however money needs to be

available to finance the election prior to reimbursement.

**Alternatives:** There are no alternatives since the Commission has issued the resolution

calling for the countywide Special Election.

**Recommendation:** Approve the agenda item and direct Finance to make a budget available in

the accounts noted in the Board of Elections cost estimate worksheet. Augusta-Richmond County will then bill the Coliseum Authority for the

expense of the Special Election.

Funds are available in the following accounts:

Reimbursable by the Coliseum Authority

REVIEWED AND APPROVED BY:

W. Travis Doss, Jr., Executive Director

## November 7, 2023 Special Election Budget Estimate

ITEM	TOTAL COST
Poll Worker Salary –	67,900
101-01-4111-51.12210	
Cell Phones	600
101-01-4111-52.32112	
Poll Pad Data	1,800
101-01-4111-52.23112	
Testing of Equipment	10,000
101-01-4111-52.39112	
Custodial Pay	1,100
101-01-4111-52.39112	
Advance Voting	62,000
101-01-4111-52.39112	
Absentee Ballot Opening Teams	4,000
101-01-4111-52.39112	
Advance Voting Marshal Security	3,000
101-01-4111-52.39112	
Security	500
101-01-4111-52.39112	
Election Night Workers, Election Day Technicians, and	9,000
Delivery Crews	
101-01-4111-52.39112	
Building Rental	3,500
101-01-4111-52.24111	
Truck Rental	7,000
101-01-4111-52.24219	
Miscellaneous Supplies	10,000
101-01-4111-53.11110	
Legal Ads	1,200
101-01-4110-52.33111	
Printing -Absentee Ballots	7,000
101-01-4111-52.34110	
Food	400
101-01-4111-53.13110	
Board Pay	1,500
101-01-4110-52.11114	
Postage-Absentee/Poll Worker	4,500
101-01-4110-52.32120	
TOTAL ESTIMATED COST	195,000



## **Commission Meeting**

September 5, 2023

## Post Certified Guards for inmate work crews

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve to refer to the Administrator as a funding priority for

inclusion in the upcoming budget discussions the hiring of Post Certified guards for prison work crews. (Approved by Finance Committee August

29, 2023)

N/A

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** 

**APPROVED BY:** 

## Lena Bonner

From:

Commissioner Wayne Guilfoyle

Sent:

Tuesday, August 22, 2023 11:20 AM

To:

Lena Bonner

Subject:

Finance Committee Agenda

Mrs. Bonner, can you add to the Finance Agenda or the correct committee for: Discuss and find a path forward to hiring Post Certified guards for prison work crews that is so desperately needed.

Ps. Will you ask the Warden to be present for discussion on this matter

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AED:104.1



## **Commission Meeting**

September 5, 2023

## Renovations at Webster Detention Center

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve funding in the amount of \$310,000.00 from Contingency

Fund as an emergency procurement for the replacement of locks and hinges a the Jail and to defer to the Administrator to come back with recommendation on funding for the new Jail pod.(Approved by Finance Services Committee

August 29, 2023)

N/A

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

REVIEWED AND

**APPROVED BY:** 

### **Lena Bonner**

From:

Commissioner Wayne Guilfoyle

Sent:

Tuesday, August 22, 2023 11:16 AM

To:

Lena Bonner

Subject:

**Finance Committee** 

Mrs. Bonner can you share this with the Colleagues, Mayor, Finance Dept. and Interim. Administrator as well as the Sheriff Richard Roundtree?

Would like this to be placed on the Finance Committee next week: Discuss the funding stream for the renovations of existing jail and build a new jail pod.

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AED:104.1



7/13/2023

Maria Rivera-Rivera Charles B. Webster Detention Center 1940 Phinizy Road Augusta, GA 30906 Phone: 706.821.1629

Email: Mrivera-rivera@augutaga.gov

Reference: Proposal for Wedge realignment and continuous hinge

Maria,

I conducted a site visit on 6-26-2023 at the Charles B. Webster Detention Facility. Upon arrival, I met with you and Major Mitchell from the facility.

We spoke about the issues that were being experienced at the Charles B. Webster Detention Center. Major Mitchell informed me that the facility is addressing the *need to keep the cell doors closed*.

By securing the doors the inmates will not be able to remove the glazing tape from the window lite and place it within the detention lock.

By securing the doors the inmates will not be able to "Rack" the hollow metal doors. "Racking" is when an inmate places an object in the frame opening and slams the door. If this activity is performed repeatedly it will lead to hinge failure. The failure could be the destruction of the hinge or the hinge pads located within the frame or door.

The one conducting our tour took us to Pod F, block B. At block B we were shown cells 1-12. All cells experienced the same issue; the doors were racked. The hinges were either bent or the hinge pads within the frame were broken. Due to the racking, of all the cell doors, the doors cannot be secured. Please see the attached pictures showing the hinge area destruction and the misalignment of the locking system.

Willo Products can remove the broken and bent hinges, and install a continuous hinge on the officer side of the cell opening. We will attach filler plates in old hinge locations and weld a continuous hinge on the face of the door and frame areas. With the addition of the continuous hinge, the hinges will no longer be able to be racked.



## The Racking of the Hinges caused other issues that must be addressed:

- Due to the doors being left open, inmates abused the security hardware. Debris is lodged in the locking system. This debris will need to be removed from the locks. The removal of the debris will restore the functionality of the locking system.
- 2. The strike of the Wedge is welded to the door. The lock housing receiver of the Wedge (where the lock is located) is welded to the frame. The doors and frames are out of alignment due to the racking. When we install the continuous hinge we will have to align the door and frame. We may be able to do this with the use of blocks and spacers placed under and around the door to regain the proper plane. We will also reattach the alignment plates before welding to the frame (Please see attached pictures)
  - a. If the alignment cannot be accomplished by the above method we will have to remove and replace the back plate of the strike side of the Wedge.
    - i. This is accomplished through the following steps:
      - 1. Disassembling the wedge
      - 2. Grind off the welds that secure the back plate to the hollow metal door.
      - 3. Weld up and clean up the hollow metal door
      - 4. Attach Wedge alignment brackets
      - 5. Reweld the back plate to the hollow metal door
      - 6. Reassemble the strike side Wedge
- 3. We Propose that our technicians come and attempt to align the door using the method identified with number two above. While present he will remove debris from the lock and the door will be secure. The packing of the lock will persist unless the doors are left in the closed position. In the closed position, the inmate cannot rack the door or pack the lock.
- 4. If the mock-up is not successful then we will have to upcharge the facility by implementing (2) (A) (i) and the steps that follow itemized above.



#### 7-13-2023

Maria Rivera-Rivera Charles B. Webster Detention Center 1940 Phinizy Road Augusta, GA 30906 Phone: 706.821.1629

Email: Mrivera-rivera@augutaga.gov

Reference: Proposal for Wedge realignment and continuous hinge

Maria,

We Propose the Following Scope of Work for the Continuous hinge replacement in Pods C, F, and G.

#### Overview:

In Pods F and G, we will remove and set aside for reuse the shroud cover plate. We will weld the continuous hinge to the door. After the hinge is attached we will add blocks and spacers to align the door and frame. After proper alignment is achieved we will weld the continuous hinge to the frame side. After welding is complete we will remove the alignment plates and reattach the shroud cover plate.

In Pod C we will remove security hinges and add a continuous hinge before we install the Wedge locking system.

#### Scope of Work

#### We Propose to Demolish the Following Materials in Pods C, F, and G:

- 642 (each) detention hinges
- Demolished hinges will be disposed of in the facilities dumpster

## We Propose to Remove and Reuse the Following Materials:

 146 (each) The shroud on the Wedge locking system will be removed and reinstalled after proper alignment is achieved. This activity will take place in Pods F and G.

## We Propose to Furnish and Install the Following Materials:

• 214 (Each) Continuous Hinge for cell doors in F, G, and C pods

## The Following are Clarifications to our Scope of Work:

• Work area is to be clear of inmates when our installation efforts are taking place.



## We Exclude the Following From our Scope of Work:

- Detention hollow metal doors and frames
- Repair to the hollow metal door at the hinge location if inmates have compromised the integrity of the door due to abuse.
  - o If outside sheeting is in need of repair before the continuous hinge is attached we will document the opening, and itemize the material and labor necessary for the repair. These repairs will have to be approved before we attach the continuous hinge to the existing door.
- Repair or replacement of parts for the Wedge locking system in Pods F and G.
- Detention glass or glazing
- Finish paint or painting
- Smoke or fume remediation
- Replacement of the backplate on the strike side of the Wedge. If replacement is
  required a change order will be required to cover the additional material and labor
  cost.
- Tax
- Prevailing wage or union workers
- Paint or painting of hollow metal doors, frames
- Touch-up to paint
- Caulk or calking
- Furnish temporary electric power, water, toilet facilities, and lighting for our installation efforts.

#### **Pricing and Terms:**

To perform the Scope of Work as outlined above we quote \$309,028.00, no tax included.

If approved we would like to schedule a mock-up to confirm we can align the door and frame without the removal of the Strike Backplate in pods F and G.

Pricing is valid for 30 days. We quote net 30 days no retainage allowed. If Willo Products receives a Change order or Purchase Order for the above scope of work before the 2<sup>nd</sup> week of July then materials and our installation crews will be on-site in late September to begin our installation efforts. If you have any questions please feel free to call.

Sincerely,

Ryan Childers Sales & Estimating

Phone: 256-353-7161 X 234

Cell: 256-580-0166

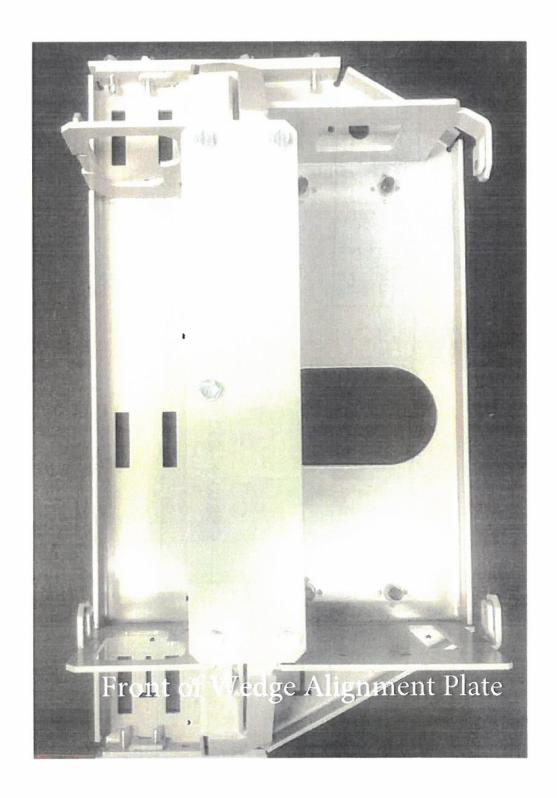
Email: rchilders@willoproducts.com

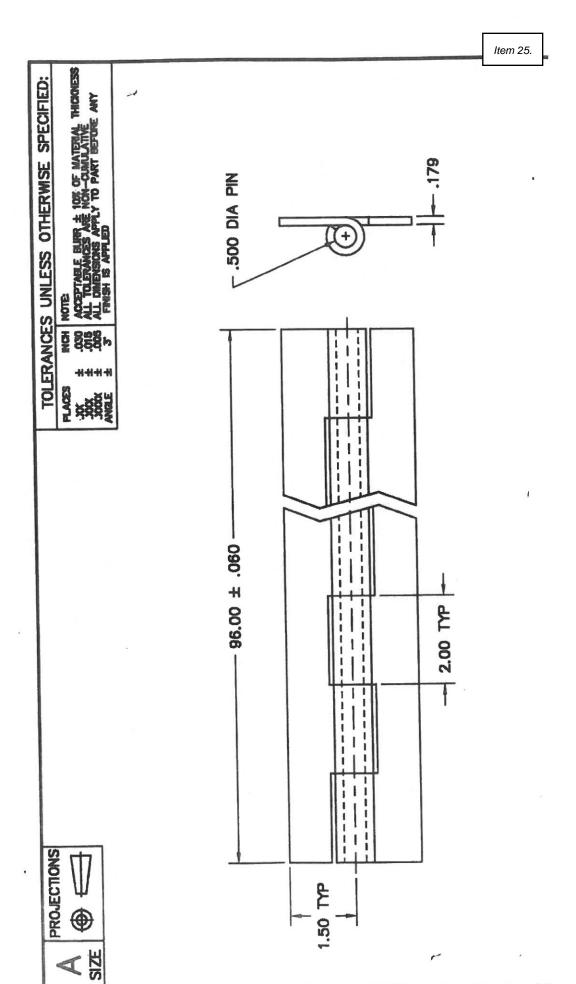














## **Commission Meeting**

September 5, 2023

## AO Arts in the Heart FY23 Funding

**Department:** Administrator's Office

N/A

N/A

**Presenter:** Brenda Durant

Caption: Motion to approve funding in the amount of \$30,000 for the shortfall for the

2023 Arts in the Heart Festival funded from Contingency Fund. (Approved

by the Finance Committee August 29, 2023)

**Background:** Background: The Arts in the Heart Festival is Augusta's premiere arts

festival and draws thousands from all around. The 2022 festival welcomed more than 100,000 people to downtown Augusta over the two-half day event, with an estimated economic impact of over \$4,000,000 for 2021 and 2022. Due to the increase in security charges, an additional \$30,000 is needed.

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in

the following accounts:

**REVIEWED AND** 

**APPROVED BY:** 



## **Commission Meeting**

September 5, 2023

## **SPLOST 8 Revised Timeline**

**Department:** Administrator/ Finance

**Presenter:** Takiyah A. Douse, Interim Administrator

**Caption:** Motion to **adopt** updated funding timeline to reflect increased collection rate

of SPLOST 8. (Approved by Finance Committee August 29, 2023).

**Background:** Sales tax collections for SPLOST 8 are coming in at an increased rate from

original projections. When the initial funding timeline was adopted annual collections were estimated at \$39 million, based on current collection rates annual collections are estimated to be \$51 million per year. The original end date was projected to be June 30, 2028, collections are now projected to end

December 31, 2026.

**Analysis:** The annual project funding timeline has been adjusted to reflect:

1. Increased collection rate

2. Revised project spend rate

2023 allocations also include the collections over budget from 2022, this totals \$22.5 million. Funding for years 2024 thru 2026 has been increased by \$12 million per year. Of the additional \$22.5 million for 2023 projects, \$21.8 million has been allocated to infrastructure projects.

The attached documents include:

a. Funding timeline adopted April 19, 2022

b. Revised funding timeline

c. Schedule detailing the difference in funding between the revised timeline and the adopted timeline.

**Financial Impact:** SPLOST 8 projects will receive funding at an accelerated rate. Collections

are projected to end 18 months earlier than originally projected.

**Alternatives:** Create an alternative funding timeline

**Recommendation:** Adopted funding timeline as presented

**Funds are available in** Fund 330

the following accounts:

**REVIEWED AND** N/A

APPROVED BY:

#### Augusta Georgia SPLOST 8 Adopted Funding Timeline

				unding rimeime					·	,	
	FINAL - April 19, 2022										
		Approved									
Department	Project	3-16-2021	Bonds - 2022	2022	2023	2024	2025	2026	2027	2028	Totals
	Vehicles										
Fleet	Sheriff's Office	\$ 6,000,000		\$ 1,000,000	\$ 500,000	\$ 1,255,000	\$ 1,000,000	\$ 1,245,000	\$ 1,000,000		\$ 6,000,000
Fleet	District Attorney's Office	100,000		50,000	50,000						100,000
Fleet	Marshal's Department	600,000		160,000	60,000	60,000	60,000	60,000	60,000	140,000	600,000
Fleet	RCCI	165,000					57,500		107,500		165,000
Fleet	Coroner's Office	40,000		40,000							40,000
Fleet	Animal Services	200,000		100,000			50,000		50,000		200,000
Fleet	Solicitor's Office - CVAP	30,000							30,000		30,000
Fleet	Replacement Vehicles	1,800,000	Ар	340,000	200,000	360,000		360,000	300,000	240,000	1,800,000
Fire	Air Packs and Cylinders for Augusta Fire	1,000,000		500,000	150,000	-	100,000	150,000	100,000		1,000,000
IT	MDT Replacements for Existing Vehicles	1,000,000		350,000		150,000	225,000	225,000	50,000	-	1,000,000
Sheriff	Downtown Video Security Enhancements	500,000		500,000						-	500,000
	RCCI New Facility	11,000,000	11,000,000	-	-	-					11,000,000
	Total - Public Safety	22,435,000	11,000,000	3,040,000	960,000	1,825,000	1,492,500	2,040,000	1,697,500	380,000	22,435,000
Recreation	Dyess Park	6,000,000		-				1,500,000	4,500,000		6,000,000
Recreation	Cemeteries	600,000		600,000		-		-			600,000
Recreation	Fleming Park	5,000,000	5,000,000	-	-						5,000,000
Recreation	Fleming Tennis Center	3,000,000		500,000	2,500,000						3,000,000
Recreation	Newman Tennis Center	4,000,000						1,000,000	3,000,000		4,000,000
Recreation	JS Lake Olmstead - Casino	4,500,000			-				630,000	3,870,000	4,500,000
Recreation	Park Improvements (Big Oak, Hickman, MM Scott and McBean Parks)	6,000,000		1,000,000	600,000	937,500		1,522,500	1,050,000	890,000	6,000,000
Recreation	Municipal Golf Course	500,000				-				500,000	500,000
Recreation	Diamond Lakes	500,000		25,000	25,000	52,500			397,500		500,000
Recreation	Irrigation Countywide	3,000,000		750,000	300,000		550,000	550,000	450,000	400,000	3,000,000
Coliseum Authority	New State of the Art James Brown Arena - Bond debt service	16,060,000		200,000	2,000,000	2,000,000	2,000,000	2,130,000	7,345,000	385,000	16,060,000
	The first of the first state of	20,000,000		200,000	2,000,000	2,000,000	2,000,000	2)233)333	7,5 .5,555	333,000	20,000,000
Coliseum Authority	New State of the Art James Brown Arena - pay go	8,940,000		3,500,000	2,940,000	1,275,000		1,225,000			8,940,000
Recreation	Waterpark	5,000,000		2,223,233	1,000,000	1,000,000	1,500,000	1,500,000			5,000,000
Recreation	5th Street Bridge	1,750,000		1,000,000	250,000	-	500,000	,,,,,,,,,			1,750,000
Recreation	Administration	1,000,000		155,000	155,000	155,000	155,000	155,000	155,000	70,000	1,000,000
	Total - Quality of Life	65,850,000	5,000,000	7,730,000	9,770,000	5,420,000	4,705,000	9,582,500	17,527,500	6,115,000	65,850,000
	Program Administration	5,000,000	-	750,000	650,000	750,000	750,000	850,000	750,000	500,000	5,000,000
	Interest Payments on SPLOST 8 Bonds	4,000,000	-	600,000	1,000,000	1,700,000	700,000	-			4,000,000
	Debt Service		-	3,825,000	3,825,000	7,405,000	14,945,000				
	Total - General Government	9,000,000	-	5,175,000	5,475,000	9,855,000	16,395,000	850,000	750,000	500,000	9,000,000
										-	
INFRASTRUCTURE											
AED	Grading and Drainage	20,000,000	-	3,400,000	2,125,000		2,000,000	7,025,000	5,450,000	-	20,000,000
AED	Walton Way	1,000,000	-				1,000,000			-	1,000,000
AED	ADA Curb Cuts and Sidewalk Improvements	1,000,000	-	100,000	-	150,000	150,000	250,000	250,000	100,000	1,000,000
AED	Wilkinson Garden Road / Drainage Improvements	3,000,000	-	-			500,000	500,000	1,000,000	1,000,000	3,000,000
AED	Road Resurfacing	23,500,000	-	2,500,000	-		2,500,000	6,770,000	5,500,000	6,230,000	23,500,000
AED	Continue East Augusta Phases IV and V	2,000,000	-	2,000,000							2,000,

#### Augusta Georgia SPLOST 8 Adopted Funding Timeline

	FINAL - April 19, 2022										
Department	Project	Approved 3-16-2021	Bonds - 2022	2022	2023	2024	2025	2026	2027	2028	Totals
AED	Begin East Augusta Phases VI and VII	6,000,000	-				3,000,000	3,000,000			6,000,000
AED	On-Call Construction	1,000,000	-	100,000	40,000	150,000	150,000	310,000	150,000	100,000	1,000,000
AED	Engineering Administration	6,500,000	-	-	-	1,000,000	1,000,000	1,670,000	1,100,000	1,730,000	6,500,000
AED	Machinery and Equipment	500,000	-	-	-	-		500,000			500,000
AED	Willis Foreman Road Improvements	1,000,000	-		1,000,000		-				1,000,000
AED	Lake Dredging and Maintenance	4,000,000	-	2,500,000	1,500,000				-	-	4,000,000
AED	Flood Control / Structure Maintenance	1,000,000	-		-		1,000,000		-		1,000,000
AED	Sidewalks Rehab / Maintenance / Repair	500,000	-	100,000	50,000			250,000	100,000		500,000
AED	Right-of-Way Tree Management	1,000,000	-	100,000	50,000	155,000	292,500	187,500	100,000	115,000	1,000,000
AED	Traffic Operation Improvements	3,000,000	-	530,000	300,000		500,000	750,000	750,000	170,000	3,000,000
AED	Traffic Safety Improvements	3,500,000	-	500,000	300,000		950,000		1,750,000	-	3,500,000
	Total Infrastructure	78,500,000	-	11,830,000	5,365,000	1,455,000	13,042,500	21,212,500	16,150,000	9,445,000	78,500,000
Government Faciliti	inc										
Central Services	Fleet Maintenance New Facility	6,000,000		600,000	5,400,000						6,000,000
Central Services	Juvenile Court Facility	6,000,000		1,000,000	5,000,000		1				6,000,000
Central Services	Facility Mnt. / Exist. Fac. (incl. Craig Houghton)	5,500,000		325,000	500,000	465,000	1,000,000	1,535,000	1,000,000	675,000	5,500,000
BOE	Board of Elections	500,000		50,000	450,000	.05,000	2,000,000	2,555,555	2,000,000	0.0,000	500,000
Fire	Fire Stations	1,000,000		500,000	500,000		_			-	1,000,000
	Total Government Facilities	19,000,000	-	2,475,000	11,850,000	465,000	1,000,000	1,535,000	1,000,000	675,000	19,000,000
ECONOMIC DEVELO	DOMENT										
Administration	Blight Mitigation	4,000,000					_	1,350,000	1,600,000	1,050,000	4,000,000
EDA	Retail Recruitment	2,000,000		1,000,000		765,000	235,000	1,330,000	1,000,000	1,030,000	2,000,000
EDA	Industrial Recruitment / Site Preparation	10,000,000		1,000,000	1,080,000	2,715,000	2,130,000	2,430,000	275,000	1,370,000	10,000,000
Administration	Cyber Center Parking Deck	16,500,000		-	1,080,000	16,500,000	2,130,000	2,430,000	273,000	1,370,000	16,500,000
Administration	Depot Project	14,000,000	14,000,000			10,300,000	+				14,000,000
Administration	Total Economic Development	46,500,000	14,000,000	1,000,000	1,080,000	19,980,000	2,365,000	3,780,000	1,875,000	2,420,000	46,500,000
	Total -Augusta Projects	241,285,000	30,000,000	31,250,000	34,500,000	39,000,000	39,000,000	39,000,000	39,000,000	19,535,000	241,285,000
	City of Blythe	1,500,000	_	750,000	750,000	_	_	_	_	_	1,500,000
	507 50 507 50	2,553,000	1	. 55,550	755,550						2,555,666
	City of Hephzibah	7,500,000	- 1	3,750,000	3,750,000	- 1	-	-	-	-	7,500,000

Grand Totals \$\\ \gamma 250,285,000 \quad \quad 30,000,000 \quad \qqq \quad \q

	Proposed Allocation_8-29-2023										
	<u>-</u>	Approved									
Department	Project	3-16-2021	Bonds - 2023	2022	2023	2024	2025	2026	2027	2028	Totals
	Vehicles										
Fleet	Sheriff's Office	\$ 6,000,000		\$ 1,000,000	\$ 500,000	\$ 1,255,000	\$ 2,000,000	\$ 1,245,000	\$ -	\$ -	\$ 6,000,000
Fleet	District Attorney's Office	100,000		50,000	50,000					-	100,000
Fleet	Marshal's Department	600,000		160,000	120,000	200,000	60,000	60,000	-	-	600,000
Fleet	RCCI	165,000				107,500	57,500		-	-	165,000
Fleet	Coroner's Office	40,000		40,000						-	40,000
Fleet	Animal Services	200,000		100,000		50,000	50,000		-	-	200,000
Fleet	Solicitor's Office - CVAP	30,000				30,000			-	-	30,000
Fleet	Replacement Vehicles	1,800,000		340,000	500,000	360,000	240,000	360,000	-	-	1,800,000
Fire	Air Packs and Cylinders for Augusta Fire	1,000,000		500,000	150,000	100,000	100,000	150,000	-	-	1,000,000
IT	MDT Replacements for Existing Vehicles	1,000,000		350,000	200,000	-	225,000	225,000	-	-	1,000,000
Sheriff	Downtown Video Security Enhancements	500,000		500,000						-	500,000
	RCCI New Facility	11,000,000	11,000,000	-	-	-				-	11,000,000
	Total - Public Safety	22,435,000	11,000,000	3,040,000	1,520,000	2,102,500	2,732,500	2,040,000	-	-	22,435,000
Recreation	Dyess Park	6,000,000	6,000,000	-				-	-		6,000,000
Recreation	Cemeteries	600,000		600,000		-		-			600,000
Recreation	Fleming Park	5,000,000	5,000,000	-	-						5,000,000
Recreation	Fleming Tennis Center	3,000,000		500,000	2,500,000						3,000,000
Recreation	Newman Tennis Center	4,000,000	4,000,000					-	-		4,000,000
Recreation	JS Lake Olmstead - Casino	4,500,000			712,500	1,070,000	630,000	2,087,500	-	-	4,500,000
Recreation	Park Improvements (Big Oak, Hickman, MM Scott and McBean Parks)	6,000,000		1,000,000	2,882,500	1,827,500	290,000	-	-	-	6,000,000
Recreation	Municipal Golf Course	500,000			500,000	-				-	500,000
Recreation	Diamond Lakes	500,000		25,000	475,000	-			-		500,000
Recreation	Irrigation Countywide	3,000,000		750,000	2,250,000	-	-	-	-	-	3,000,000
Coliseum											
Authority	New State of the Art James Brown Arena - Bond debt service	16,060,000		200,000	2,000,000	2,000,000	2,385,000	9,475,000	-	-	16,060,000
Coliseum											
Authority	New State of the Art James Brown Arena - pay go	8,940,000		3,500,000	2,940,000	1,275,000		1,225,000	-	-	8,940,000
Recreation	Waterpark	5,000,000			1,000,000	1,000,000	1,500,000	1,500,000	-	-	5,000,000
Recreation	5th Street Bridge	1,750,000		1,000,000	250,000	500,000	-		-	-	1,750,000
Recreation	Administration	1,000,000		155,000	310,000	225,000	155,000	155,000	-	-	1,000,000
	Total - Quality of Life	65,850,000	15,000,000	7,730,000	15,820,000	7,897,500	4,960,000	14,442,500	-	-	65,850,000
	Program Administration	5,000,000	-	750,000	650,000	750,000	1,250,000	1,600,000	-	-	5,000,000
	Interest Payments on SPLOST 8 Bonds	4,000,000	-	600,000	500,000	675,000	750,000	1,475,000	-	-	4,000,000
	Debt Service		-	3,825,000	3,200,000	3,225,000	15,750,000		-	-	
	Total - General Government	9,000,000	-	5,175,000	4,350,000	4,650,000	17,750,000	3,075,000	-	-	9,000,000
INFRASTRUCTURE		+									
AED	Grading and Drainage	20,000,000	-	3,400,000	6,575,000	4,450,000	3,452,500	2,122,500	- 1	-	20,000,000
AED	Walton Way	1,000,000	-	2,100,000	2,3.3,000	., .55,550	1,000,000	_,,		_	1,000,000
AED	ADA Curb Cuts and Sidewalk Improvements	1,000,000	_	100,000	900,000	_	-,555,566	_			1,000,000
AED	Wilkinson Garden Road / Drainage Improvements	3,000,000	-	100,000	300,000		1,500,000	1,500,000	_	_	3,000,000
AED	Road Resurfacing	23,500,000	-	2,500,000	7,665,000	4,500,000	5,565,000	3,270,000	_	_	23,500,000
AED	Continue East Augusta Phases IV and V	2,000,000		2,000,000	7,003,000	4,500,000	3,303,000	3,270,000			2,000,000

	Proposed Allocation_8-29-2023										
Department	Project	Approved 3-16-2021	Bonds - 2023	2022	2023	2024	2025	2026	2027	2028	Totals
AED	Begin East Augusta Phases VI and VII	6,000,000	-				3,000,000	3,000,000			6,000,000
AED	On-Call Construction	1,000,000	-	100,000	900,000	-	-		-	-	1,000,000
AED	Engineering Administration	6,500,000	-	-	1,000,000	1,000,000	2,100,000	2,400,000	-	-	6,500,000
AED	Machinery and Equipment	500,000	-	-	500,000	-		-			500,000
AED	Willis Foreman Road Improvements	1,000,000	-		1,000,000		-				1,000,000
AED	Lake Dredging and Maintenance	4,000,000	-	2,500,000	1,500,000				-	-	4,000,000
AED	Flood Control / Structure Maintenance	1,000,000	-		1,000,000		-		-		1,000,000
AED	Sidewalks Rehab / Maintenance / Repair	500,000	-	100,000	400,000	-		-	-		500,000
AED	Right-of-Way Tree Management	1,000,000	-	100,000	900,000	-	-	-			1,000,000
AED	Traffic Operation Improvements	3,000,000	-	530,000	1,800,000	670,000	-	-	-	-	3,000,000
AED	Traffic Safety Improvements	3,500,000	-	500,000	3,000,000		-		-	-	3,500,000
	Total Infrastructure	78,500,000	-	11,830,000	27,140,000	10,620,000	16,617,500	12,292,500	-	-	78,500,000
Government Facili	ties										
Central Services	Fleet Maintenance New Facility	6,000,000		600,000	1,000,000	2,200,000	2,200,000				6,000,000
Central Services	Juvenile Court Facility	6,000,000		1,000,000	-	2,500,000	2,500,000				6,000,000
Central Services	Facility Mnt. / Exist. Fac. (incl. Craig Houghton)	5,500,000		325,000	5,175,000	-	-	-	-	-	5,500,000
BOE	Board of Elections	500,000		50,000	450,000						500,000
Fire	Fire Stations	1,000,000		500,000	500,000		-			-	1,000,000
	Total Government Facilities	19,000,000	-	2,475,000	7,125,000	4,700,000	4,700,000	-	-	-	19,000,000
ECONOMIC DEVELO											
Administration	Blight Mitigation	4,000,000				1,050,000	1,600,000	1,350,000	-	-	4,000,000
EDA	Retail Recruitment	2,000,000		1,000,000		765,000	235,000				2,000,000
EDA	Industrial Recruitment / Site Preparation	10,000,000		-	1,080,000	2,715,000	2,405,000	3,800,000			10,000,000
Administration	Cyber Center Parking Deck	16,500,000		-		16,500,000					16,500,000
Administration	Depot Project	14,000,000	-				-	14,000,000			14,000,000
	Total Economic Development	46,500,000	-	1,000,000	1,080,000	21,030,000	4,240,000	19,150,000	-	-	46,500,000
	Total -Augusta Projects	241,285,000	26,000,000	31,250,000	57,035,000	51,000,000	51,000,000	51,000,000	-	-	241,285,000
	<u> </u>	, 11,000	-,,		, , , , , , , ,	,,,,,,,,	,,,,,,,,	, , , , , , , ,		†	, ==,===
	City of Blythe	1,500,000	-	750,000	750,000	-	-	-	-	-	1,500,000
	City of Hephzibah	7,500,000	_	3,750,000	3,750,000	_	_	_	_	_	7,500,000

Grand Totals \$ 250,285,000 \$ 26,000,000 \$ 35,750,000 \$ 61,535,000 \$ 51,000,000 \$ 51,000,000 \$ - \$ - \$ 250,285,000

	Annual Difference - Revised to Adopted allocations										
	·	Approved									
Department	Project	3-16-2021	Bonds - 2023	2022	2023	2024	2025	2026	2027	2028	Totals
	Vehicles										
Fleet	Sheriff's Office	\$ 6,000,000	\$ -	\$ -	\$ -	\$ -	\$ 1,000,000	\$ -	\$ (1,000,000)	\$ -	\$ -
Fleet	District Attorney's Office	100,000	-	-	-	-	-	-	-	-	-
Fleet	Marshal's Department	600,000	-	-	60,000	140,000	-	-	(60,000)	(140,000)	
Fleet	RCCI	165,000	-	-	-	107,500	-	-	(107,500)	-	
Fleet	Coroner's Office	40,000	-	-	-	-	-	-	-	-	
Fleet	Animal Services	200,000	-	-	-	50,000	-	-	(50,000)	-	
Fleet	Solicitor's Office - CVAP	30,000	-	-	-	30,000	-	-	(30,000)	-	
Fleet	Replacement Vehicles	1,800,000	-	-	300,000	-	240,000	-	(300,000)	(240,000)	
Fire	Air Packs and Cylinders for Augusta Fire	1,000,000	-	-	-	100,000	-	-	(100,000)	-	
IT	MDT Replacements for Existing Vehicles	1,000,000	-	-	200,000	(150,000)	-	-	(50,000)	-	
Sheriff	Downtown Video Security Enhancements	500,000	-	-	-	-	-	-	-	-	
	RCCI New Facility	11,000,000	-	-	-	-	-	-	- 1	-	
	Total - Public Safety	22,435,000	-	-	560,000	277,500	1,240,000	-	(1,697,500)	(380,000)	
Recreation	Dyess Park	6,000,000	6,000,000	-	-	-	-	(1,500,000)	(4,500,000)	-	
Recreation	Cemeteries	600,000	-	-	-	-	-	-	-	-	
Recreation	Fleming Park	5,000,000	-	-	-	-	-	-	-	-	
Recreation	Fleming Tennis Center	3,000,000	-	-	-	-	-	-	-	-	
Recreation	Newman Tennis Center	4,000,000	4,000,000	_	-	_	-	(1,000,000)	(3,000,000)	-	
Recreation	JS Lake Olmstead - Casino	4,500,000	-	_	712,500	1,070,000	630,000	2,087,500	(630,000)	(3,870,000)	<b>.</b>
Recreation	Park Improvements (Big Oak, Hickman, MM Scott and McBean Parks)	6,000,000	_	-	2,282,500	890,000	290,000	(1,522,500)	(1,050,000)	(890,000)	
Recreation	Municipal Golf Course	500,000	-	_	500,000	-	-	-	-	(500,000)	
Recreation	Diamond Lakes	500,000	_	_	450,000	(52,500)	-	-	(397,500)	-	<del>                                     </del>
Recreation	Irrigation Countywide	3,000,000	-	_	1,950,000	-	(550,000)	(550,000)	(450,000)	(400,000)	<del>                                     </del>
Colisuem		3,555,555			_,		(===,===)	(555,555)	(100,000)	(100,000)	+
Authortiy	New State of the Art James Brown Arena - Bond debt service	16,060,000	_	_	_	_	385,000	7,345,000	(7,345,000)	(385,000)	
Colisuem		10,000,000					333,000	7,5 15,666	(1)5.5)555)	(555,555)	1
Authortiy	New State of the Art James Brown Arena - pay go	8,940,000	_	_	_	_	_	_	_	_	
Recreation	Waterpark	5,000,000	-	_	-	_	-	-	-	_	<del>                                     </del>
Recreation	5th Street Bridge	1,750,000	_	_	_	500,000	(500,000)	_	_	_	_
Recreation	Administration	1,000,000	_	_	155,000	70,000	(300,000)	_	(155,000)	(70,000)	<del></del>
Recreation	Total - Quality of Life	65,850,000	10,000,000	_	6,050,000	2,477,500	255,000	4,860,000	(17,527,500)	(6,115,000)	<del>                                     </del>
		03,030,000	10,000,000		0,030,000	2,477,300	233,000	4,000,000	(17,327,300)	(0,113,000)	+
	Program Administration	5,000,000	_	_	_	_	500,000	750,000	(750,000)	(500,000)	_
	Interest Payments on SPLOST 8 Bonds	4,000,000	_	_	(500,000)	(1,025,000)	50,000	1,475,000	(750,000)	(500,000)	<del></del>
	Debt Service	4,000,000	_	_	(625,000)	(4,180,000)	805,000		_	_	+
	Total - General Government	9,000,000	_	_	(1,125,000)	(5,205,000)	1,355,000	2,225,000	(750,000)	(500,000)	
	Total - General Government	9,000,000	-	_	(1,123,000)	(3,203,000)	1,333,000	2,223,000	(730,000)	(300,000)	+
INFRASTRUCTURE					++	+			+		+
AED	Grading and Drainage	20,000,000	_	_	4,450,000	4,450,000	1,452,500	(4,902,500)	(5,450,000)	<u> </u>	<del>                                     </del>
AED	Walton Way	1,000,000	-	<del> </del>	-,750,000	-1,-130,000	1,-132,300	(3,302,300)	(5,450,000)	<del>-</del>	+
AED	ADA Curb Cuts and Sidewalk Improvements	1,000,000		<del>-</del>	900,000	(150,000)	(150,000)	(250,000)	(250,000)	(100,000)	<del>                                     </del>
AED	Wilkinson Garden Road / Drainage Improvements	3,000,000	-	-	300,000	(130,000)	1,000,000	1,000,000	(1,000,000)	(1,000,000)	+
AED	Road Resurfacing	23,500,000	-	<del>-</del>	7,665,000	4,500,000	3,065,000	(3,500,000)	(5,500,000)	(6,230,000)	+
AED	Continue East Augusta Phases IV and V	2,000,000	-	<del>-</del>	7,003,000	4,300,000	3,003,000	(3,300,000)	(3,300,000)	(0,230,000)	<del>                                     </del>
AED	Begin East Augusta Phases VI and VII	6,000,000	-	<u> </u>	++	+		+	<del>                                     </del>	-	<del>                                     </del>

	Annual Difference - Revised to Adopted allocations										-
Department	Project	Approved 3-16-2021	Bonds - 2023	2022	2023	2024	2025	2026	2027	2028	Totals
AED	On-Call Construction	1,000,000	-	-	860,000	(150,000)	(150,000)	(310,000)	(150,000)	(100,000)	-
AED	Engineering Administration	6,500,000	-	-	1,000,000	-	1,100,000	730,000	(1,100,000)	(1,730,000)	-
AED	Machinery and Equipment	500,000	-	-	500,000	-		(500,000)	-	-	-
AED	Willis Foreman Road Improvements	1,000,000	-	-	-	-	-	-	-	-	-
AED	Lake Dredging and Maintenance	4,000,000	-	-	-	-	-	-	-	-	-
AED	Flood Control / Structure Maintenance	1,000,000	-	-	1,000,000	-	(1,000,000)	-	-	-	-
AED	Sidewalks Rehab / Maintenance / Repair	500,000	-	-	350,000	-	-	(250,000)	(100,000)	-	-
AED	Right-of-Way Tree Management	1,000,000	-	-	850,000	(155,000)	(292,500)	(187,500)	(100,000)	(115,000)	-
AED	Traffic Operation Improvements	3,000,000	-	-	1,500,000	670,000	(500,000)	(750,000)	(750,000)	(170,000)	-
AED	Traffic Safety Improvements	3,500,000	-	-	2,700,000	-	(950,000)	-	(1,750,000)	-	-
	Total Infrastructure	78,500,000	-	-	21,775,000	9,165,000	3,575,000	(8,920,000)	(16,150,000)	(9,445,000)	-
Government Facilit	ties										
Central Services	Fleet Maintenance New Facility	6,000,000	-	-	(4,400,000)	2,200,000	2,200,000	-	-	-	-
Central Services	Juvenile Court Facility	6,000,000	-	-	(5,000,000)	2,500,000	2,500,000	-	-	-	-
Central Services	Facility Mnt. / Exist. Fac. (incl. Craig Houghton)	5,500,000	-	-	4,675,000	(465,000)	(1,000,000)	(1,535,000)	(1,000,000)	(675,000)	-
BOE	Board of Elections	500,000	-	-	-	-	-	-	-	-	-
Fire	Fire Stations	1,000,000	-	-	-	-	-	-	-	-	-
	Total Government Facilities	19,000,000	-	-	(4,725,000)	4,235,000	3,700,000	(1,535,000)	(1,000,000)	(675,000)	-
ECONOMIC DEVELO											
Administration	Blight Mitigation	4,000,000	-	-	-	1,050,000	1,600,000	-	(1,600,000)	(1,050,000)	-
EDA	Retail Recruitment	2,000,000	-	-	-	-	-	-	-	-	-
EDA	Industrial Recruitment / Site Preparation	10,000,000	-	-	-	-	275,000	1,370,000	(275,000)	(1,370,000)	-
Administration	Cyber Center Parking Deck	16,500,000	-	-	-	-	-	-	-	-	-
Administration	Depot Project	14,000,000	(14,000,000)	-	-	-	-	14,000,000	-	-	-
	Total Economic Development	46,500,000	(14,000,000)	-	-	1,050,000	1,875,000	15,370,000	(1,875,000)	(2,420,000)	-
	Total -Augusta Projects	241,285,000	(4,000,000)	-	22,535,000	12,000,000	12,000,000	12,000,000	(39,000,000)	(19,535,000)	-
	City of Blythe	1,500,000	-	-	-	-	-	-		-	
ĺ	City of Hephzibah	7,500,000	-	-	-	-	-	-	-	-	-

Grand Totals \$\\ \\$ 250,285,000 \\$ (4,000,000) \\$ - \\ \\$ 22,535,000 \\$ 12,000,000 \\$ 12,000,000 \\$ 12,000,000 \\$ (39,000,000) \\$ (19,535,000) \\$ -



#### **Finance Committee**

Meeting Date: August 29, 2023

Water & Sewer Bonds

**Department:** Administrator / Finance/ Water & Sewer

**Presenter:** Takiyah A. Douse, Interim Administrator

**Caption:** Motion to approve resolution authorizing proceeding with the issuance by

Augusta, Georgia of its water and sewerage revenue bonds in order (A) to finance in whole or in part, the cost of certain improvements to the water and sewerage system of Augusta, Georgia and (B) if economically feasible to refund outstanding debt of Augusta, Georgia relating to the water and

sewerage system; to declare the intent of Augusta Georgia to reimburse itself

with a portion of the proceeds of such bonds for expenditures made in connection with such improvements; and for other related purposes.

**Background:** The Water and Sewer department has an extensive list of capital projects. To

expedite approximately \$80 million of projects beyond the level of current pay-as-you-go funding, management has determined the most prudent course

would be to issue revenue bonds.

There is also the opportunity to refund (refinance) previous bond issues. If it is

determined to be economically feasible and beneficial the refunding of the

bonds would be included this issuance of bonds.

**Analysis:** This is the first step in the process of issuing bonds, if authorization is granted

bonds documents would be drafted. It is anticipated that bonds would be issued in the first quarter of 2024. On the sale date the commission will be presented with the terms (lowest bidder and interest rate) of the bond sale and

will be requested to approve the sale.

**Financial Impact:** Debt service would be provided from water and sewer operations.

**Alternatives:** Fund projects using pay-as-you-go methodology. This would limit the projects

that could be completed in a timely manner.

**Recommendation:** Approve motion to proceed

Funds are available in Water and Sewer operations.

the following accounts:

REVIEWED AND APPROVED BY:

RESOLUTION AUTHORIZING PROCEEDING WITH THE ISSUANCE BY AUGUSTA, GEORGIA OF ITS WATER AND SEWERAGE REVENUE BONDS IN ORDER (A) TO FINANCE, IN WHOLE OR IN PART, THE COST OF CERTAIN IMPROVEMENTS TO THE WATER AND SEWERAGE SYSTEM OF AUGUSTA, GEORGIA, AND (B) IF ECONOMICALLY FEASIBLE, TO REFUND OUTSTANDING DEBT OF AUGUSTA, GEORGIA RELATING TO THE WATER AND SEWERAGE SYSTEM; TO DECLARE THE INTENT OF AUGUSTA, GEORGIA TO REIMBURSE ITSELF WITH A PORTION OF THE PROCEEDS OF SUCH BONDS FOR EXPENDITURES MADE IN CONNECTION WITH SUCH IMPROVEMENTS; AND FOR OTHER RELATED PURPOSES.

WHEREAS, under and by virtue of the authority of the Constitution and laws of the State of Georgia, including specifically, but without limitation, Article 3 of Chapter 82 of Title 36 of the Official Code of Georgia Annotated, known as the "Revenue Bond Law", as amended (the "Revenue Bond Law"), Augusta, Georgia (the "Consolidated Government"), acting by and through its governing body, the Augusta-Richmond County Commission (the "Commission"), is authorized to operate and maintain a system, plant, work, instrumentality, and property used or useful in connection with (i) the obtaining of a water supply and the conservation, treatment, and disposal of water for public and private uses, and (ii) the collection, treatment, and disposal of sewage, waste, and storm water, together with all parts of any such undertaking and all appurtenances thereto; and

WHEREAS, the Revenue Bond Law authorizes the Consolidated Government to issue revenue bonds (a) to finance, in whole or in part, the cost of the acquisition, construction, reconstruction, improvement, betterment, or extension of any undertaking, including any of the undertakings specified above, and (b) at any time to refund or refinance, in whole or in part, all outstanding revenue bonds and all obligations or debt of any nature against any existing undertaking or any combination thereof, including any of the undertakings specified above, or its anticipated revenue; and

**WHEREAS,** the Consolidated Government currently owns, operates, and maintains a water and sewerage system (such system, as now existent and as hereafter added to, extended, improved, and equipped, hereinafter sometimes referred to as the "System"); and

**WHEREAS**, the Consolidated Government has determined that there is a need for the acquisition and construction of improvements, betterments, and extensions of the System, all as generally described in the summary prepared by the Augusta Utilities Department attached hereto as Exhibit A (the "Project"), and the Consolidated Government presently anticipates that the cost of the Project will be approximately \$80,000,000; and

WHEREAS, the Consolidated Government has been advised by staff and its financial advisor, Davenport & Company LLC (the "Financial Advisor"), that due to market conditions the refunding of certain of the Consolidated Government's outstanding System debt may be desirable if it generates sufficient interest savings to the Consolidated Government to be economically feasible, and the Commission desires that staff and the Financial Advisor continue to monitor market conditions, and, in conjunction with the financing of the Project, pursue the refunding of

any of such outstanding System debt that is economically feasible and desirable as determined by staff and the Financial Advisor, including, but not limited to, all or a portion of the outstanding (i) Augusta, Georgia Water and Sewerage Revenue Refunding and Improvement Bonds, Series 2012, (ii) Augusta, Georgia Water and Sewerage Taxable Revenue Bonds (Second Resolution), Series 2013, (iii) Augusta, Georgia Water and Sewerage Revenue Refunding and Improvement Bonds (Second Resolution), Series 2014, (iv) Augusta, Georgia Water and Sewerage Taxable Revenue Bond, Series 2019 and (v) outstanding loans funding improvements to the System obtained from the Georgia Environmental Finance Authority (collectively, the "Refunded Debt"); and

**WHEREAS,** the Consolidated Government has previously issued its water and sewerage revenue bonds pursuant to a Master Bond Resolution, adopted by the Commission on October 16, 2012, as supplemented and amended by certain parity bond resolutions and supplemental resolutions (the "Master Resolution"); and

WHEREAS, the Commission has determined that the best and most feasible method of obtaining the funds necessary to finance the Project, including reimbursement to the Consolidated Government for certain expenditures it has incurred or may incur, to refinance the Refunded Debt and to pay related costs, is through the issuance of water and sewerage revenue bonds (the "Proposed Bonds"); and

**WHEREAS,** Treasury Regulation Section 1.150-2 requires the Consolidated Government to declare its intent to use proceeds of the Proposed Bonds to reimburse its General Fund or its Water and Sewer System Fund for moneys used to pay expenditures related to the Project; and

WHEREAS, in conjunction with the issuance of the Proposed Bonds, staff and the Financial Advisor desire to pursue with the bond rating agencies amendments to the Master Resolution that would revise, eliminate or reduce the debt service reserve funding requirements applicable to bonds issued under the Master Resolution, all to the benefit of the Consolidated Government; and

**WHEREAS,** the Commission desires that the Proposed Bonds be issued by the Consolidated Government in accordance with and subject to the parameters and other conditions set forth in this Resolution;

**NOW, THEREFORE, BE IT RESOLVED** by the Augusta-Richmond County Commission, as follows:

1. The Commission hereby authorizes the Consolidated Government to issue the Proposed Bonds upon terms and conditions to be specified in a parity bond resolution, supplementing and amending the Master Resolution (the "Parity Bond Resolution"), to be adopted by the Commission, provided that:

2

(a) the Proposed Bonds shall be issued in such amount necessary to (i) finance the Project (estimated at \$80 million), (ii) refund such of the Refunded Debt as is economically feasible and desirable as determined by staff and the Financial Advisor, (iii) finance capitalized interest and any required debt service reserve fund and (iv) pay any costs related to the Proposed Bonds;

- (b) the Proposed Bonds shall be issued as Additional Bonds (as defined in the Master Resolution) payable from and secured by Pledged Revenues (as defined in the Master Resolution) and shall rank on a parity as to the pledge of and lien on the Pledged Revenues with the water and sewerage revenue bonds previously issued and outstanding under the Master Resolution, as permitted under Article VI of the Master Resolution;
- (c) the Proposed Bonds shall be sold at negotiated public sale, competitive public sale or private sale to a financial institution, as determined by staff and the Financial Advisor as appropriate, upon such terms to be specified in the Parity Bond Resolution, which in any event shall be upon competitive market terms; and
- (d) the Commission understands that the timing of the issuance of the Proposed Bonds will be determined, in part, upon receipt of all professional studies and reports of the Consolidated Government's consultants required by investors and the bond rating agencies rating the Proposed Bonds.
- 2. The Commission declares its intent to use a portion of the proceeds of the Proposed Bonds to reimburse its General Fund or its Water and Sewer System Fund for moneys used to pay expenditures related to the Project.
- 3. The Commission further hereby authorizes staff and the Financial Advisor to pursue discussions with the bond rating agencies regarding the amendment of the debt service reserve fund requirements under the Master Resolution to revise, eliminate or reduce the debt service reserve funding requirements, all to the benefit of the Consolidated Government.
  - 4. This Resolution shall take effect immediately upon its adoption.

**PASSED, ADOPTED, SIGNED, APPROVED, AND EFFECTIVE** this \_\_\_\_ day of September 2023.

## **AUGUSTA, GEORGIA**

(SEAL)	By: Mayor
Attest:	
Clerk of Commission	

## EXHIBIT A

## Project List

Category	Amount
Administrative	\$ 3,200,000
AED projects	8,000,000
Fort Gordon	9,470,000
Sewer	8,855,000
Sewer- Basin	5,050,000
Water	7,050,000
Water Facilities	9,125,000
Water Raw	8,000,000
Wastewater Treatment Plant	21,250,000
Total	\$ 80,000,000

## STATE OF GEORGIA

## **RICHMOND COUNTY**

## **CLERK OF COMMISSION'S CERTIFICATE**

I, LENA J. BONNER, the duly appoint	ed, qualified, and acting Clerk of Commission of
Augusta, Georgia (the "Consolidated Government	nt"), <b>DO HEREBY CERTIFY</b> that the foregoing
pages of typewritten matter constitute a true and	correct copy of a resolution adopted on September
, 2023 by the Augusta-Richmond County Co	ommission (the "Commission") in a meeting duly
called and assembled in accordance with ap	plicable laws and with the procedures of the
Consolidated Government, by a vote ofYe	ea and Nay, which meeting was open to the
public and at which a quorum was present and	d acting throughout, and that the original of the
foregoing resolution appears of public record in	the Minute Book of the Commission, which is in
my custody and control.	
I further certify that such resolution has a	not been rescinded, repealed, or modified.
GIVEN under my hand and the seal of	the Consolidated Government, this day of
September 2023.	and consonance covernment, this any or
(GEAL)	
(SEAL)	Clerk of Commission



## **Commission Meeting**

September 5, 2023

## Minutes

**Department:** N/A

N/A**Presenter:** 

Motion to approve the minutes of the Commission regular meeting **Caption:** 

held August 15, 2023 and the Special Called Meeting held August 29, 2023.

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND APPROVED BY:** 

N/A



**COMMISSION MEETING MINUTES** 

Commission Chamber Tuesday, August 15, 2023 2:00 PM

#### **PRESENT**

Mayor Garnett Johnson

Commissioner Brandon Garrett

Commissioner Jordan Johnson

Commissioner Bobby Williams

Commissioner Alvin Mason

Commissioner Sean Frantom

Commissioner Francine Scott

Commissioner Catherine Smith-McKnight (participates by telephone)

Commissioner Stacy Pulliam

Commissioner Tony Lewis

Commissioner Wayne Guilfoyle

#### **INVOCATION**

Reverend Marc Trimm, Senior Pastor. Church of Our Redeemer Metropolitan Community Church

# PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA RECOGNITION(S)

A. Congratulations! 2023 July Years of Service (YOS) 25-50 year recipients.

Presentations are made to the July Years of Service recipients.

B. Presentation of Proclamation to Raven Allen relative to her attending the Special Olympics. (Requested by Mayor Garnett Johnson)

Presentation is made to Ms. Raven Allen.

## **DELEGATION(S)**

C. Ms. Lyn Cobbett regarding her state of homelessness and disability.

Ms. Cobbett did not appear before the Commission.

D. Mr. R. John Ennis regarding Food Truck in Downtown Augusta.

Presentation is made by Mr. Ennis; it was the consensus of the Commission without any objections that the matter of the development of a food truck ordinance that is fair to everyone be discussed at the next committee meeting.

Item 29.

E. Mr. Moses Todd regarding the Citizens City Cemetery Committee and Ed Matthews frien Cedar Grove on the next available agenda, to address cemetery needs. Including road capital outlet SPLOST 8 600,000.

Presentation is made by Mr. Todd.

F. Mr. Nike Meyer regarding instant runoff voting.

It was the consensus that Mr. Meyer be deleted from the agenda at his request and rescheduled to appear at the next Commission meeting.

G. Mr. Dan Scott regarding landscape, grounds keeping and technician apprenticeship program. Presentation is made by Mr. Scott.

#### **CONSENT AGENDA**

(Items 1-46)

## **PLANNING**

1. Final Plat - S-981 – A request for concurrence with the Augusta Planning Commission to APPROVE Townhomes at Diamond Lakes – A petition by Southern Partners on behalf of Coel Beazley Homes requesting final plat approval for Townhomes at Diamond Lakes, located at 1000 Rosendale Drive, containing 37 townhomes. Tax Map #166-3-001-00-0. (Reviewing agency approval 7/31/2023) DISTRICT 4

Motion to approve.

Motion made by Mason, Seconded by Frantom.

Voting Yea: Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Mr. Garrett out.

Motion carries 9-0.

2. Final Plat - S-984 – A request for concurrence with the Augusta Planning Commission to approve Wedgewood Subdivision - A petition by Echols Land Surveying on behalf of Jacob Wilkerson requesting final plat approval for Wedgewood Subdivision (Formerly Peach Orchard Tract) located at 3810 Peach Orchard Road, containing 74 lots. Tax Map #181-1-001-00-0 (Project bonded 7/31/2023) District 6.

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

3. Z-23-28 – A request for concurrence with the Augusta Planning Commission to approve with the conditions a petition by Pace Living, LLC on behalf of Hospitality Augusta LLC requesting a rezoning from zone LI (Light Industrial) to zone R-3C (Multiple-family Residential) affecting property containing approximately 6 acres located at 210 Reservation Way. Tax Map #068-0-128-00-0. DISTRICT 5

Motion to approve.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

4. Z-23-30 — A request for concurrence with the Augusta Planning Commission to approve with the conditions a petition by Vivian Butler on behalf of Troy & Tonda Booker requesting to amend conditions adopted with rezoning application Z-12-72 for zone B-2 (General Business) affecting properties containing approximately 0.31 acres located at 1101 Eleventh Street, 1108 Hopkins Street and 1102 Pine Street. Tax Map #046-4-599-00-0, 046-4-600-00-0 & 046-4-579-00-0. DISTRICT 1

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

5. Z-23-35 — A request for concurrence with the Augusta Planning Commission to approve with the conditions a petition by Robert Graham requesting a rezoning from zone A (Agricultural) to zone LI (Light Industrial) affecting property containing 4 acres out of a 9.53-acre tract located at 1650 Tobacco Road. Portion of Tax Map #158-0-005-15-0. DISTRICT 1

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

6. Z-23-36 – A request for concurrence with the Augusta Planning Commission to approve with the conditions a petition by Bonnie Gregory on behalf of Donna Williams & Gail Cawley requesting a rezoning from zone A (Agricultural) to zone B-2 (General Business) affecting property containing approximately 4.74 acres located at 3517 Wrightsboro Road. Tax Map #040-0-060-00-0. DISTRICT 3

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

7. Z-23-37 – A request for concurrence with the Augusta Planning Commission to APPROVE with the conditions petition by Drayton Parker Companies on behalf of DOC MOB Augusta III, LLC requesting a rezoning from zone A (Agricultural) and B-1 (Neighborhood Business) to zone B-2 (General Business) affecting property containing approximately 2.54 acres located at 3645-Wheeler Road. Tax Map #030-0-244-00-0. DISTRICT 3

Motion to delete this item from the agenda and refer it to the September 5 Commission meeting.

Voting Yea: Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Mr. Garrett votes No.

Motion carries 9-0.

8. Z-23-38 – A request for concurrence with the Augusta Planning Commission to approve with the conditions a petition by Drayton Parker Companies on behalf of COLCO Solutions LLC requesting a rezoning from zone B-1 (Neighborhood Business) to zone B-2 (General Business) affecting property containing approximately 5.66 acres located at 1924 Barton Chapel Road. Tax Map #068-0-007-00-0. DISTRICT 5

Motion to delete this item from the agenda and refer it to the September 5 Commission meeting.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Mr. Garrett votes No.

Motion carries 9-0.

9. SE-23-05 – A request for concurrence with the Augusta Planning Commission to approve with the conditions a petition by HETRIP UNIT, LLC on behalf of Walter F. Tereshinski requesting a Special Exception to establish a convenience store per Section 21-2(b) of the Comprehensive Zoning Ordinance affecting property containing approximately 1.04 acres located at 4495 Windsor Spring Road. Tax Map #194-0-001-07-0. DISTRCT 8

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

10. SV-23-02 — A request for concurrence with the Augusta Planning Commission to approve with the conditions petition by Kenneth McCumbers requesting a subdivision variance to exceed the required length of a dead-end street per Section 400-F of the Land Subdivision Regulations affecting property containing approximately 53.42 acres located at 1700 Pine Ridge Drive N. Tax Map #232-0-001-30-0. DISTRICT 8

Motion to delete this item from the agenda.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

11. A request for concurrence with the Augusta Planning Commission to approve the petition to rename the Utilities Building after former Director Thomas D. Wiedmeier.

Motion to delete this item from the agenda and refer it to the Administrator.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

12. A request for concurrence with the Augusta Planning Commission to **approve** the petition to rename the Diamond Lakes baseball field after former Commissioner Andrew Cheeks.

Motion to delete this item from the agenda and refer it to the Administrator.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## **PUBLIC SERVICES**

13. Motion to approve New Ownership: A.N. 23-29: A request by Dipak Kumar Patel for a retail package Liquor, Beer & Wine License to be used in connection with Liquor Locker 214, LLC located at 214 Boy Scout Rd. District 7. Super District 10. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

14. Motion to approve New Location: A.N. 23-30: A request by Christopher Banks for an on-premises consumption Liquor, Beer & Wine License to be used in connection with Another Broken Egg located at 1095 Alexander Dr Ste 100. There will be Sunday Sales. District 7. Super District 10. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

15. Motion to approve New Location: A.N. 23-31: A request by Venkata Chowdavarapu for a retail package Beer & Wine License to be used in connection with RK Food Mart located at 2618 Peach Orchard Rd. District 2. Super District 9. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

16. Motion to approve new location: A.N. 23-32: A request by Africa Thomas for a retail package Liquor, Beer & Wine License to be used in connection with Dang Daiquiri dba Booze Pops located at 3062 Damascus Rd. District 2. Super District 9. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

17. Motion to approve selection of Daniel Field Airport Consultant to MaesAwyr (RFQ #23-257) for Planning & Feasibility Study Services to be effective 8/21/2023. RFQ 23-257(Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

18. Motion to approve selection of Daniel Field Airport Consultant to MaesAwyr (RFQ #23-256) for Engineering, Architectural & Construction Admin Services to be effective 8/21/2023.(Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

19. Motion to approve the Daniel Field Airport FY2024 Tentative Allocation of \$2,152,726 for FAA & GDOT funding & approve Mayor Johnson signing the acceptance of the TA (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

20. Motion to approve and adopt the Amendment to the Rental Car Concessions Agreements for Avis, Budget, Enterprise, and National/Alamo. Approved by the Augusta Aviation Commission on July 27, 2023 (ITB 23-299C). (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

21. Motion to approve the Land Lease Agreement with Burrell Aviation Augusta LLC.. Approved by the Augusta Aviation Commission on July 27, 2023. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

22. Motion to approve identifying ARP as the funding source regarding the installation of new park equipment at Eastview Park in an amount of \$150,000. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

23. Motion to approve Contract with Trapeze Software Group for the Upgrade of the PASS IVR System as a sole source procurement. (Approved by Public Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## **ENGINEERING SERVICES**

24. Motion to approve scheduling a work session to be coordinated by the Administrator's Office to discuss grounds maintenance and to include every department that participates in any type of, right- of-way, vacant lot and tree maintenance along with the Warden and a representative from 311 and to hold the work session in the next 30 days. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

25. Motion to authorize condemnation to acquire title of a portion of property for right of way (Parcel 097-3-266-00-0) 2436 Lumpkin Road. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

26. Motion to authorize condemnation to acquire title of a portion of property for right of way (Parcel 097-3-253-03-0) 2504 Lumpkin Road. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

27. Motion to authorize condemnation to acquire title of a portion of property for right of way (Parcel 097-3-251-01-0) 2502 Lumpkin Road. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

28. Motion to authorize condemnation to acquire title of a portion of property for right of way (Parcel 097-3-265-00-0) 2438 Lumpkin Road. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

29. Motion to authorize condemnation to acquire title of a portion of property for right of way (Parcel 097-3-253-000) 2506 Lumpkin Road.(Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

30. Motion to approve adding the matter of the City hiring a full-time arborist to the workshop on grounds maintenance. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Item 29.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

31. Motion to Approve Award of "Augusta's Grounds and Landscaped Improvements Maintenance" Contract Part2 to Pond Maintenance of Augusta for Attached EXHIBIT A Contract Services, subject to receipt of signed contract and proper insurance documents. The Contract is effective 10/1/2023 for four years with an option to renew for one additional one-year terms. Also, approve \$400,000/year to fund these contracted services. Requested by Engineering. RFP 22-301. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis

Voting Nay: Guilfoyle

Motion carries 9-1.

32. Motion to approve scheduling a work session to be coordinated by the Administrator's Office to discuss grounds maintenance and to include every department that participates in any type of right-of-way, grounds, vacant lot and tree maintenance along with the Warden and a representative from 311; and hold work session in the next 30 days; regarding the needs in the way of budgeting and schedule implementation for upkeep/maintenance on a rotation schedule versus a reactive schedule. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

33. Motion to **table** this item until a future date and have a town meeting at a date and time to be determined with the company and any interested citizens to discuss Renovatio Solution. LLC (RLS) "Consistency Letter" request for Construction & Operation of Renewable Energy (Biofuel) Facility at 1680 Dixon Airline Road, Augusta, Georgia. Also, authorize Augusta Engineering & Environmental Services Director providing requested "Consistency Letter" (draft Letter attached) to RLS. Requested by Engineering. (Approved by Engineering Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## **ADMINISTRATIVE SERVICES**

Item 29.

34. Motion to approve the lease between Augusta, Georgia and the Downtown Development Authority of Augusta-Richmond County for property located at 600 Broad Street. (Approved by **Administrative Services Committee August 8, 2023)** 

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

35. Motion to approve Housing and Community Development Department's (HCD's) request to enter into agreement for Consultant Services with Point To Point Environmental for the Acquisition of one (1) Historic property located at 2403 Mount Auburn Street. (Approved by Administrative Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

36. Motion to approve HCD's request to enter into a service agreement with The Environmental Institute for one (1) Instructor to administer a Lead Worker and Renovation, Repair, and Paint (RRP) course. (Approved by Administrative Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

37. Motion to approve tasking the Administrator with scheduling a work session to explore the creation of an environmental justice ordinance with necessary staff and associated parties participating and to bring back a report at the second committee meeting in September. (Approved by Administrative Services Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

38. Motion to ratify the submission of the GICH Application on behalf of the Augusta by the Housing and Community Development Department.

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## **PUBLIC SAFETY**

39. Motion to award Bid Item 23-164 Interior & Exterior Renovations at Fire Logistics Warehouse to Tyco Construction & Industrial Services, Inc. in the amount of \$42,658.63. (Approved by Public Safety Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

40. Motion to accept the FY 2022 Assistance to Firefighters Grant \$788,734.79 from FEMA, utilize Fire Department Fund Balance for 10% match and authorize the mayor to sign all appropriate documentation. (Approved by Public Safety Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

41. Motion to accept FY2022 Emergency Management Performance Grant (EMPG) in the amount of \$45,000. (Approved by Public Safety Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

42. Motion to approve the acceptance of a \$53,550 BOOST Grant from the Georgia Department of Education. (Approved by Public Safety Committee August 8, 2023)

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## PETITIONS AND COMMUNICATIONS

43. Motion to adopt Amendment 4 to the Georgia Municipal Employees Benefits System Master Plan Documents to conform with the action taken by the GMEBS Board of Trustees on December 2, 2022. (Approved by the Pension Committee May 16, 2023)

Motion to approve.

Item 29.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

44. Motion to **approve** the minutes of the regular meeting of the Commission held August 1, 2023 and Special Called Meeting held August 8, 2023.

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## APPOINTMENT(S)

45. Motion to **approve** the appointment of Mr. Charles Black to the Augusta Public Transit's Citizen Advisory Committee representing District 10.

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

46. Motion to **approve** the appointment of Ms. Heather Morales to the Augusta Public Transit Citizens Advisory Committee representing District 1.

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## \*\*\*\*END CONSENT AGENDA\*\*\*\* AUGUSTA COMMISSION

## AUGUSTA COMMISSION REGULAR AGENDA

(Items 47-54)

## **PUBLIC SERVICES**

47. Presentation of the Draft Comprehensive Plan to the Augusta Commission.

It was the consensus of the Commission that this item be received as information without objection.

#### **PUBLIC SERVICES**

48. Direct Planning and Zoning to increase the size of rezoning/zoning signs. (Requested by Commissioner Mason)

It was the consensus of the Commission that this item be received as information with Director Delaney to check into costs of increasing the size of the signs and come back with a report in two months..

#### **ADMINISTRATIVE SERVICES**

49. Motion to approve RFP 23-850 Professional Services for Executive Recruiting Services to Developmental Associates, LLC in the amount of \$31,750. (No recommendation from Administrative Services Committee August 8, 2023)

Motion to approve and to acknowledge the receipt of a letter that the former Administrator would not be involved in any of the processes of moving forward with this RFP.

Motion made by Frantom, Seconded by Lewis.

Voting Yea: Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Mr. Garrett out.

Motion carries 9-0.

50. Discuss FY2021 Choice Neighborhood Planning Grant. (Requested by Commissioner Bobby Williams)

Unanimous consent is given to delete this item from the agenda without objection.

## **ENGINEERING SERVICES**

51. Discussion of cutting schedule for easements, ditches, and drains. (Requested by the Mayor's Office)

Motion to delete this item from the agenda and refer it to the proposed work session on grounds maintenance.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## **FINANCE**

52. Motion to **approv**e Resolution by Augusta – Richmond County Commission to approve plan of financing and the issuance of the Bonds from time to time in one or more series by the Authority for the benefit of Wellstar Health System in an aggregate principal amount currently estimated at not to exceed \$275,000,000

Motion to approve.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

469

Motion carries 10-0.

53. Motion to approve funding to replace irrigation system for the entire length of Henry Street. (Requested by Commissioner Catherine McKnight)

Motion to delete this item from the agenda and refer it to the next Finance Committee meeting.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

## **LEGAL MEETING**

- A. Pending and Potential Litigation
- B. Real Estate
- C. Personnel
- 54. Motion to authorize execution by the Mayor of the affidavit of compliance with Georgia's Open Meeting Act.

#### ADDENDUM ITEMS

#### ADDITION TO THE AGENDA:

## Recognition:

1. Frank Anderson, Aquinas Discus State Champion. (Requested by the Mayor's Office) It was the consensus of the Commission that this item be added to the agenda without objection. Presentation is made to Mr. Anderson.

#### **DELETIONS FROM THE AGENDA:**

### Delegation:

2. Mr. Nike Meyer

It was the consensus of the Commission that this item be added to the agenda without objection. Motion to approve referring this item be referred to the next Commission meeting.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

#### Planning:

3. A request for concurrence with the Augusta Planning Commission to approve the petition to rename the Utilities Building after former Director Thomas D. Wiedmeier. (Requested by the Administrator's Office)

It was the consensus of the Commission that this item be added to the agenda without objection. Motion to approve referring this item to the Administrator's Office.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

Item 29.

4. A request for concurrence with the Augusta Planning Commission to approve the pet rename the Diamond Lakes baseball field after former Commissioner Andrew Cheek. (Requested by the Administrator's Office)

It was the consensus of the Commission that this item be added to the agenda without objection. Motion to approve referring this item to the Administrator's Office.

Motion made by Frantom, Seconded by Garrett.

Voting Yea: Garrett, Johnson, Williams, Mason, Frantom, Scott, Smith-McKnight, Pulliam, Lewis, Guilfoyle

Motion carries 10-0.

#### CALLED MEETING

### COMMISSION CHAMBER August 29, 2023

Augusta Richmond County Commission convened at 11:00 a.m., Tuesday, August 29, 2023, the Honorable Garnett Johnson, Mayor, presiding.

PRESENT: Hons. Johnson, Williams, Frantom, Garrett, Scott, McKnight, Pulliam, Lewis and Guilfoyle, members of Augusta Richmond County Commission.

ABSENT: Hon. Mason, member of Augusta Richmond County Commission.

Mr. Mayor: Ladies and gentlemen, I appreciate your patience. Madam Clerk, I call this meeting to order. I understand there's one item we want to address before we go to legal and that's item #3. Madam Clerk, if you don't mind for the record read that in.

3. Motion to adopt 2023 mill rates and resolution for each taxing district at the computed proposed full rollback rate. (Approved by the Commission August 1, 2023)

Mr. Frantom: Motion to approve.

Ms. McKnight: Second.

Mr. Mayor: Madam Clerk, I have a motion and a second. Seeing no further discussion, we're voting.

Mr. Garrett and Mr. Lewis out. Motion carries 7-0.

Mr. Mayor: Thank you, Madam Clerk. Attorney Mack.

#### 1. LEGAL MEETING

- A. Pending and potential litigation
- B. Real estate
- C. Personnel

Ms. Rachel Mack: Good morning, Mayor and Commissioners. I would recommend a motion to go into executive session to discuss pending and potential litigation, real estate and cyber security.

Ms. McKnight: I so move.

Mr. Johnson: Second.

Mr. Mayor: All right, we have a motion and second. Madam Clerk, voting.

Mr. Garrett and Mr. Lewis out.

#### Motion carries 7-0.

Mr. Mayor: Thank you, Madam Clerk. We're now in legal.

#### [EXECUTIVE SESSION]

Mr. Mayor: All right, ladies and gentlemen, I appreciate your patience. Madam Clerk, call this meeting back to order. Attorney Brown.

2. Motion to authorize execution by the Mayor of the affidavit of compliance with Georgia's Open Meeting Act

Mr. Brown: Thank you, sir. Mayor Davis (sic), Commission, we would ask for a motion to execute the closed meeting affidavit.

Mr. Frantom: So moved.

Mr. Johnson: Second.

Mr. Mayor: There's a motion and a second. Seeing no further discussions, we're voting.

# Mr. Garrett not voting. Motion carries 8-0.

Mr. Mayor: Thank you, Madam Clerk. Attorney Brown, are there any motions as a result of our closed executive session?

Mr. Brown: Yes, there are, Mayor Johnson.

The Clerk: A Resolution authorizing the settlement of all claims by Timothy Fulton, claimant, in the aggregate sum of \$30,000 for the purpose of settling litigation matters.

Mr. Mayor: Thank you, Madam Clerk. Is there a motion to approve this?

Mr. Frantom: So moved.

Mr. Johnson: Second.

Mr. Mayor: Madam Clerk, we have a motion and a second. Voting.

# Mr. Garrett votes No. Motion carries 8-1.

Mr. Johnson: Thank you so much, Madam Clerk. Attorney Brown.

The Clerk: Our next Resolution is a resolution authorizing the settlement of all claims by Brittany Irvin, guardian and conservator of Bailee Imani Curtis and Paytin Dantrell, Shante Germany in the aggregate sum of \$500,000.

Mr. Mayor: All right, colleagues, is there a motion to approve, please?

Mr. Johnson: So moved.

Mr. Frantom: Second.

Mr. Mayor: All right, Madam Clerk, I have a motion and a second. We're voting.

#### Motion carries 9-0.

Mr. Mayor: Thank you, Madam Clerk. Let's continue.

The Clerk: Our next item is a Resolution authorizing the settlement of all claims by Kathey Sheppard in the aggregate sum of \$75,000.

Mr. Mayor: Colleagues, is there a motion to approve, please?

Mr. Guilfoyle: So move.

Mr. Frantom: Second.

Mr. Mayor: Madam Clerk, I have a motion and a second. We're voting.

#### Motion carries 9-0.

Mr. Mayor: All right, Madam Clerk, are there any more?

The Clerk: The last one is a Resolution authorizing the settlement of claims by Ollie Jones in the amount up to \$600,000 payable to Ollie Jones and Reevis Law Firm LLC.

Mr. Mayor: Thank you, Madam Clerk. Is there a motion?

Mr. Johnson: So move.

Mr. Frantom: Second.

Mr. Mayor: We'll receive the motion from the commissioner from the 1<sup>st</sup> and a second. Voting.

#### Motion carries 9-0.

Mr. Mayor: Thank you, Madam Clerk. Attorney Brown.

Mr. Brown: Do you have any more?

The Clerk: No.

Mr. Brown: Okay, we request a motion to approve the cyber incident closeout response and to authorize the Mayor to execute the necessary documents required for such closeout.

Mr. Frantom: So moved.

Ms. Scott: Second.

Mr. Mayor: Thank you, Attorney Brown. I have a motion and a second. No further discussion, we're voting.

#### Motion carries 9-0.

Mr. Mayor: Attorney Brown.

Mr. Brown: We would request a motion to transfer 2502 Allen Street, Augusta, Georgia, to the Land Bank.

Mr. Johnson: So move.

Mr. Frantom: Second.

Mr. Mayor: All right, there was a motion and a second. We're voting.

#### Motion carries 9-0.

Mr. Mayor: Thank you. Attorney Brown, if there are no further motions, I hereby adjourn this meeting.

Mr. Brown: No further motions, sir.

Mr. Mayor: Thank you so much. I'm prepared to sign the closed meeting affidavit. This meeting is hereby turned over to the committees.

#### [MEETING ADJOURNED]

Lena J. Bonner Clerk of Commission

## CERTIFICATION:

I, Lena J. Bonner, Clerk of Commission, hereby certify that the above is a true and correct copy of the minutes of the Called Meeting of the Augusta Richmond County Commission held on August 29, 2023.

Clerk of Commission



## **Commission Meeting**

September 5, 2023

## **Reschedule Planning Petitions**

**Department:** N/A

**Presenter:** N/A

Caption: Motion to ratify the commission's consensus to reschedule the following planning petitions from the **September 5, 2023** meeting to **September 19,** 

2023:

**Z-23-37** – A request for concurrence with the Augusta Planning Commission to approve with the conditions petition by Drayton Parker Companies on behalf of DOC MOB Augusta III, LLC requesting a rezoning from zone **A** (**Agricultural**) and **B-1** (**Neighborhood Business**) to zone **B-2** (**General Business**) affecting property containing approximately 2.54 acres located at **3645-Wheeler Road**. Tax Map #030-0-244-00-0. **DISTRICT 3** 

**Z-23-38** – A request for concurrence with the Augusta Planning Commission to **approve** with the conditions a petition by Drayton Parker Companies on behalf of COLCO Solutions LLC requesting a rezoning from **zone B-1 (Neighborhood Business) to zone B-2 (General Business)** affecting property containing approximately 5.66 acres located at **1924 Barton Chapel Road**. Tax Map #068-0-007-00-0. **DISTRICT 5** 

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

REVIEWED AND APPROVED BY:

N/A



## **Commission Meeting**

September 5, 2023

## Appointment

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve the appointment of Mr. Marshall McKnight to Augusta

Aviation Commission to fill the unexpired term of Mr. Mason McKnight, IV

representing District 3.

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** 

APPROVED BY:

N/A

#### **Lena Bonner**

From:

Commissioner Catherine Smith-McKnight

Sent:

Thursday, August 10, 2023 8:28 AM

To:

Lena Bonner

Subject:

Replacement

Ms Bonner,

I would like to place on Tuesday August 15th Commission agenda to appoint Marshal McKnight to the Augusta Regional Airport Commission Board for District 3.

Sincerely,

Commissioner McKnight

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AED:104.1



## **Commission Meeting**

September 5, 2023

## Appointment

**Department:** N/A

**Presenter:** N/A

Caption: Motion to approve the appointment of Mr. Tyler Snead to the Augusta

Housing & Community Development Citizens Advisory Committee

representing Super District 10.

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

**REVIEWED AND** N/A

**APPROVED BY:** 



## **Commission Meeting**

Meeting Date: September 5, 2023

AO AEDA Resolution Jag Parking Deck

**Department:** Administrator's Office

**Presenter:** James C. Overstreet, Jr.

Caption: Resolution by Augusta Richmond County Commission Approving the

Issuance of Revenue Bonds by Development Authority of Augusta, Georgia for the benefit of AU Jaguar Facilities Development, LLC to Construct a

Parking Deck.

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

REVIEWED AND APPROVED BY:

N/A

RESOLUTION OF THE AUGUSTA COMMISSION APPROVING THE ISSUANCE OF REVENUE BONDS BY DEVELOPMENT AUTHORITY OF AUGUSTA, GEORGIA FOR THE BENEFIT OF AU JAGUAR FACILITIES DEVELOPMENT, LLC

WHEREAS, a hearing officer (the "Hearing Officer") for the Development Authority of Augusta, Georgia (the "Issuer") held a public hearing on August 29, 2023, with respect to the request by AU Jaguar Facilities Development, LLC, a Georgia limited liability company (the "Company"), the sole member of which is Augusta University Real Estate Foundation, Inc., a Georgia nonprofit corporation, that the Issuer assist the Company in issuing its revenue bonds in an amount not to exceed \$25,000,000 (the "Series 2023 Bonds"); and

WHEREAS, the proceeds of the Series 2023 Bonds will be loaned to the Company and applied for the following purposes: (a) financing or reimbursing the cost of the construction and equipping of certain land, buildings and personal property to be used as a parking deck containing approximately 1,350 spaces and related site amenities (the "Project") to be located on the Health Sciences Campus of Augusta University (the "University") at the intersection of 15<sup>th</sup> Street and Wrightsboro Road, Augusta, Georgia, (b) funding capitalized interest on the Series 2023 Bonds and (c) paying the costs of issuing the Series 2023 Bonds; and

WHEREAS, Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"), provides that the governmental unit having jurisdiction over the issuer of revenue bonds and over the area in which any facility financed with the proceeds of such revenue bonds is located shall approve the issuance of such revenue bonds; and

WHEREAS, the Issuer issues its revenue bonds on behalf of Augusta, Georgia, the Project will be located in Augusta, Georgia and the Augusta Commission (the "Commission") is the elected legislative body of Augusta, Georgia; and

WHEREAS, the Hearing Officer has requested that the Commission approve the issuance of the Series 2023 Bonds and the financing or reimbursing of the Project in accordance with Section 147(c) of the Code; and

WHEREAS, the Hearing Officer has delivered to the Commission a certificate regarding the conduct of the public hearing, which certificate has been filed in the records of the Issuer.

NOW THEREFORE, BE IT RESOLVED by the Commission, and IT IS HEREBY RESOLVED the same as follows:

Section 1. The issuance of the Series 2023 Bonds by the Issuer for the benefit of the Company in an amount not to exceed \$25,000,000 to assist in the financing or reimbursing of the Project is hereby approved to the extent required by Section 147(f) of the Code, as follows:

- (a) the Project consists of the parking deck described herein to be located on the Health Sciences Campus of the University at the intersection of 15<sup>th</sup> Street and Wrightsboro Road, Augusta, Georgia; and
- (b) the Company will own the Project, which will be operated by the Board of Regents of the University System of Georgia for use by the University.
- Section 2. Such approval by the Commission does not constitute an endorsement to a prospective purchaser of the Series 2023 Bonds of the creditworthiness of the Company or the Project, and the Series 2023 Bonds shall not constitute an indebtedness or obligation of the State of Georgia or of any county, municipal corporation or political subdivision thereof, but the Series 2023 Bonds shall be payable solely from the revenues derived from the Company and pledged to the payment thereof, and no owner of any Series 2023 Bonds shall ever have the right to compel any exercise of the taxing power of said State or of any county, municipal corporation or political subdivision thereof, nor to enforce the payment thereof against any property of said State or of any such county, municipal corporation or political subdivision.
- Section 3. All acts and doings of the officers and members of the Commission which are in conformity with the purposes and intent of this Resolution shall be, and the same hereby are, in all respects approved and confirmed.
  - Section 4. This resolution shall take effect immediately upon its adoption.

	ADOPTED this	day of	, 2023.
			AUGUSTA COMMISSION
(SEA	L)		
			By: Mayor
Attes	t:		
Clerk			_



## **Commission Meeting**

Meeting Date: September 5, 2023

Item Name

**Department:** Housing and Community Development

**Presenter:** Hawthorne Welcher, Director

**Caption:** Motion to ratify the submission of the GICH application, on behalf of

Augusta, by the Housing and Community Development Department.

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

REVIEWED AND APPROVED BY:

N/A



#### **Instructions**

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**Webinar** It is not required, but applicants are strongly encouraged to attend an informational webinar prior to submitting an application. There are two live webinars scheduled for May 19 and June 16, 2023, at 10am. For more information about the webinars and registration, please visit the GICH website (<a href="https://www.fcs.uga.edu/fhce/gich-how-to-apply">https://www.fcs.uga.edu/fhce/gich-how-to-apply</a>). You can also provide the GICH Director with your email address and be placed on the GICH mailing list.

**Letter of Intent** (1-2 pages) Prior to submitting the GICH application, applicants must submit a letter of intent by email to Jermaine Durham at <u>Jermaine.Durham@uga.edu</u> by July 7, 2023. In the LOI, please describe the circumstances that led you to the decision to apply for the GICH program. This may include housing issues facing your community, current partnerships and housing activities underway, or recent planning efforts citing the need. Also include: name, title, affiliation, telephone number, and email address of the person who will assume responsibility for pre-application communication. The initial point of contact person may be different from the primary contact for the application as listed in line 3-5.

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arrangements, work schedules, fiscal matters, and to generally keep the team on task and motivated.

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**Question 12:** Indicate the extent of local support the Community Housing Team has from local governments and other entities in the community. Evidence of local government support includes allocations of budgeted funds, pledges of staff support, letters of support, and Council/Commission resolutions. Other types of local support would include pledges of funds and/or staff support, letters of support, and in-kind support such as meeting space and food.

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Questions 15-16 Indicate whether or not the City and County governments have building inspection and/or code enforcement staff, a zoning ordinance, subdivision controls and an Urban Redevelopment Plan.

Questions 17-20 Indicate whether or not your community has participated in the Main Street Program, the Archway Partnership, or the Georgia Downtown Renaissance, has a land bank authority, has completed a housing needs assessment in the past three years, and has had worked with the Regional Commission in the past five years.

**Question 21:** Indicate whether or not your city government has collaborated with your County government on a community development or housing related project in the past five years. If so, please describe.

**Question 22:** Indicate whether or not your county government has collaborated with your City government on a community development or housing related project in the past five years. Describe below.

Question 23: This section provides you with an opportunity to explain why your community wishes to participate in the Initiative, what you hope to achieve by participating, how this work fits into the community's current initiatives and plans and what strengths the community brings to the process that will increase the likelihood that this will be a positive and useful experience for the community. You may attach one additional page to respond to this section.

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**Certification & Acknowledgement of Responsibilities:** An executive official of the applicant organization must certify that the information is correct, and that the community will assemble a housing team and fully participate in the program if chosen. The certifying official should be a responsible official of the organization (i.e., Chief Elected Official, Chair of the County Commission, Chair of the Public Housing Authority Board, or the appropriate combination, if a joint application).

**Electronic Submittal** is required. For the 2023 cycle, all GICH applications must be submitted electronically. The application can be accessed and submitted through the following link (<a href="https://ugeorgia.ca1.qualtrics.com/jfe/form/SV\_5oJnrxsMwCZT2ke">https://ugeorgia.ca1.qualtrics.com/jfe/form/SV\_5oJnrxsMwCZT2ke</a>). All attachments must be scanned and incorporated into the application as PDF documents where indicated. Housing team member signatures can be submitted as a PDF or as scanned emails from each member indicating their participation. If you have any trouble submitting the application, or if you want to verify the status of your application, please contact the GICH program director Jermaine Durham by phone (706.542.4949) or via email (Jermaine.Durham@uga.edu).

Deadline Dates: <u>Prospective communities must submit applications electronically no later than 5:00 PM EST on Monday July 31, 2023, to be considered for participation in the Georgia Initiative for Community Housing. Late applications will not be accepted.</u>





## **APPLICATION FOR PARTICIPATION – 2022**

SECTION	N A — APPLICANT AND FI	NANCIAL INFO	DRMATION		
1. Name	of Applicant: Augusta,	Georgia			
	535 Telfair Street				
2. Addre	ess:				
Augusta	a, GA 30901				
3. Prim	nary Contact Person: Mayo	or Garnett Jol	hnson		
	il Address: mayorjohnso				
	phone: 706.827.1831		Fax: 706.821.1835		
	ondary Contact Person: Ha		Icher, Jr.		
	706 821 178 <i>4</i>				
8. Tele	phone: 706.821.1	1797			
9. India	cate who is the Team Lead	er: Primary C	Contact Or Secondary Contact		
10. 1 une	Funding Source(s)	Amount	Status		
	Tunding Source(s)		(Requested or allocated)		
Year 1	Housing and Communtiy Development General Funds Budget	\$10,000	Allocated		
Year 2	Housing and Communtiy Development General	\$10,000	Allocated		
Year 3	ousing and Communtiy Development General	\$10,000	Allocated		

## SECTION B — COMMUNITY HOUSING INFORMATION

11. Community Housing Team Members: (pages 2-3)

Housing Industry	Name	Title	Affiliation	Signature Indicating
Groups				Agreement to Participate
City government – elected official				
City government – staff				
County government (if applicable) – elected official				
County government - (if applicable) - staff				
Bank				
Real Estate				
Builder/Developer				
Nonprofit organizations				
Habitat for Humanity				
Public housing authority				
Local school system				

Housing Industry Groups	Name	Title	Affiliation	Signature Indicating Agreement to Participate
Regional Commission /Planning Agency				
Chamber of Commerce				
Cooperative Extension				
Family Connections				
Resident/citizen				
Faith-based organization				
Planning/Zoning/Historic Preservation Board				
Economic Development/ Downtown Development/Urban Redevelopment/Land Bank Authority				
Other				

12. Please attach evidence of support from local government, businesses, and other organizations (e.g., letters of support, local government resolutions, and other actions):

See attached evidence of the pledged budgeted funds and staff support from the Augusta, Georgia, Administrator. Also attached are support and pledge letters from other local sources, letters from the community, for-profit, nonprofit, and faith-based organizations, and in-kind support like meeting space and food. This reflects Augusta's commitment to utilizing these resources to the best of our abilities to impact our community positively.

13. Describe the primary housing issues facing the community. In evaluating the adequacy and suitability of existing housing stock to serve current and future community needs, you may consider the following factors: housing types and mix, condition and occupancy, local cost of housing, cost-burdened households in the community, jobshousing balance, housing needs of special populations, and availability of housing options across the life cycle. (you may attach two additional sheets to respond to this section):

The economic and foreclosure crisis of 2007 and 2010 devastated Augusta, Georgia's housing situation, just like many other low-income communities across the United States. Unfortunately, residents were left with severely inadequate housing and an average household wage that left them struggling to make ends meet.

In 1996 the City of Augusta consolidated with Richmond County to form Augusta-Richmond County, which is now one of only three consolidated governments in Georgia. This governing body consists of a Mayor and 10 Augusta-Richmond County commissioners. Augusta-Richmond County, best known for besting the Master's Tournment, a four day, 73 halo major BCA

14. Describe housing activities successfully completed or currently underway or any other previous housing efforts in the community, including applications made for funding (such as CHIP, CDBG, LIHTC, etc). (you may attach one additional sheet to respond to this section):

See the attachments.

15. Does the City government have the following:						
1. Building Inspection Staff No Yes If yes, how many positions (full-time equivalent)? 11						
2. Housing Element of the Comprehensive Plan	2. Housing Element of the Comprehensive Plan No Yes					
3. Code Enforcement Staff No Yes ✓  If yes, how many positions (full-time equiv	3. Code Enforcement Staff No Yes V  If yes, how many positions (full-time equivalent)? 13					
4. Zoning Ordinance No Yes						
5. Subdivision Ordinance No Yes						
6. Urban Redevelopment Plan (O.C.G.A 36-61-1	) No	Yes				
16. Does the County government have the following	; <b>:</b>					
1. Building Inspection Staff No Yes Yes If yes, how many positions (full-time equivalent)? 11						
2. Code Enforcement Staff No Yes 13  If yes, how many positions (full-time equivalent)? 13						
3. Zoning Ordinance No Yes						
4. Subdivision Ordinance No Yes 🗸						
17. Has your community participated in the following programs?						
1. Georgia Main Street	No	Yes □	(Years:)			
2. Archway Partnership No ▼ Yes □ (Years:)			(Years:)			
3. Georgia Downtown Renaissance No Y Yes □ (Years:)						
4. DCA Georgia PlanFirst Program No ▼ Yes □ (Years:)						
5. GMA Place Making Collaborative No Y Yes □ (Years:)			(Years:)			

18.	Does your community have a land bank authority? No Yes
19.	Has your community completed a housing needs assessment in the past three years?  No Yes  If yes, please describe the scope, target area, funding, etc.
20.	Has your community worked with your Regional Commission on community development activities in the past 5 years? No ✓ Yes ☐ If yes, please describe:
21.	If this application is being submitted on behalf of a municipal government, has the city government collaborated with the county government on a community development or housing related project in the past five years? No Yes ✓  If yes, please describe:
	See attachments
22.	If this application is being submitted on behalf of a county government, has the county government collaborated with a municipal government within its jurisdiction on a community development or housing related project in the past five years?  No Yes  Yes
	If yes, please describe: See the attachments

23. Briefly describe why your community wishes to participate in the Georgia Initiative for Community Housing, what you expect as an outcome from your community's participation, and how this work fits into the community's current initiatives and plans. (You may attach additional sheets to respond to this section).

See the attachment.

24. This section provides communities who were not previously accepted into the program with an opportunity to explain why your community is ready to participate in the Initiative this year. This section does not apply to first-time applicants.

Briefly describe activities and efforts that you have taken to build dedicated and sustainable team leadership and to work together as a collaborative group since your last application or site visit. (You may attach additional sheets to respond to this section).

See the attachment.

#### SECTION C — CERTIFICATION & ACKNOWLEDGEMENT OF RESPONSIBILITIES

**Organization -** The housing team must include broad community representation. Communities are expected to:

- develop a recruitment plan to assure the team remains reflective of your community, which includes a means of replacing nonparticipants or team member resignations.
   Furthermore, the team must continue to seek out new members when the need arises.
- include a local elected official who is part of the team; consistently participates with the group by attending GICH retreats and local meetings, and acts as a liaison back to the city council.
- notify the GICH program coordinator when team leader (or primary or secondary contact persons) change, by completing approved paperwork.

**Attendance & participation -** Dedicated team member participation on the housing team at the biannual retreats and local meetings is vital for meaningful facilitated discussion and developing and implementing an effective housing plan. Communities are expected to:

- maintain active and substantial participation at every retreat and at all group presentations and individual work sessions. This also includes giving report back presentations on progress at every retreat, starting in the fall of the first year.
- GICH teams must ensure that at least 4 members are in attendance during the scheduled retreats to remain "active". Teams with less than 4 members at retreats are defined as "inactive" and can risk losing DCA benefits, or e removed from the program.
- create and adhere to a local meeting schedule to continue plan development and implementation between initiative retreats. Communities must maintain a list of attendees and meeting minutes.

**Product -** The GICH program partners with communities to improve their quality of life and economic vitality through the development of locally based housing and revitalization strategies. Communities are expected to:

- develop a plan working with their facilitator during retreat work sessions.
- continue to refine and amend the plan during local meetings.
- take steps to implement action items.

- 10 1 10 0 0 0

- assure sustainability of plan by developing future action items (juniors).
- maintain electronic copies of the up-to-date working plan. This is the responsibility of the local team leader.

To the best of my knowledge the information in this application is true and correct. By checking the "Yes" box below, the official representative of the applicant certifies these statements and acknowledges the following responsibilities of program participation:

Date: //31/2023	Yes 🗸
Name of official representative (please print)	Garnett Johnson
Title: Mayor	



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## APPLICATION FOR PARTICIPATION - 2022

SECTION A — APPLICANT AND FINANCIAL INFORMATION						
Name of Applicant: Augusta, Georgia						
2. Addr	2. Address: 535 Telfair Street					
August	a, GA 30901					
3. Prin	nary Contact Person: May	or Garnett Jo	ohnson			
	ail Address: mayorjohns					
	phone: 706.827.1831		Fax: 706.821.1835			
6. Seco	ondary Contact Person:	lawthorne Wo	elcher, Jr.			
	il Address:		Fax: 706.821.1784			
8. Tele	8. Telephone: 706.821.1797					
9. Indicate who is the Team Leader: Primary Contact ☐ Or Secondary Contact ✓						
10. Fund	10. Funding Source(s) and Amount Allocated for Travel and Lodging Expenses:					
	Funding Source(s)	Amount	Status (Requested or allocated)			
Year 1	Housing and Communtiy Development General Funds Budget	\$10,000	Allocated			
Year 2	Housing and Communtiy Development General Funds Budget	\$10,000	Allocated			
Year 3	ousing and Communtiy Development General Funds BudgetH	\$10,000	Allocated			

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SECTION B — COMMUNITY HOUSING INFORMATION

11. Community Housing Team Members: (pages 2-3)

Signature Indicating Agreement to Participate	Latte De	Q. 49	1 Catte					William III	1	- Indem	
Affiliation	N/A	A/N	A/N	N/A	Ø/N	Realfor	N/A	A/N	N/A	A/N	N/A
Title	Mayor	Depuyt Director, Planning and Dev. Depart	Augusta Georgia Commissioner	Director, Housing and Communtiy Development	President	LoKation Real Estate	Executive Director	President & CEO	Executive Director	Director	Board President
Name	Garnett Johnson	Brian Kepner	Stacy Pulliam	, ال.	Phillip Wahl-Security Federal	Porsha Beasley	Tim Wilson-Sand Hills Urban	Shell Berry	Bernadette Fortune	Jacob Oglesby	Charlie Walker-Richmond County BOE
Housing Industry Groups	City government – elected official	City government – staff	County government (if applicable) – elected official	County government - (if Hawthrone Welcher applicable) - staff	Bank	Real Estate	Builder/Developer	Nonprofit organizations	Habitat for Humanity	Public housing authority	Local school system

Housing Industry Groups	Name	Title	Affiliation	Signature Indicating Agreement to Participate
Regional Commission /Planning Agency	Commission Sydney Stouffer-CSRA Regional Commission	Deputy Director	N/A	Sucher Stall
Chamber of Commerce	Ronic West-Augusta Metro Chamber	President / CEO	A/N	
Cooperative Extension	". Charles Okpala-UGA Cooperative Ext.	County Extension Agent	A/N	and man
Family Connections	Candace Hillman	Executive Director	A/Z	Mendin De 1 In Planner
Resident/citizen	John Milton	Resident / Citizen	A/Z	CALL MANNEN
Faith-based organization	Rev. Moore-Good Shepherd Baptist Church	Pastor	√ V Z	July 11 18 11
Planning/Zoning/Historic Preservation Board	Erick Montgomery- Historic Augusta	Executive Director	N/A	Erich D. Wentzemun.
Economic Development/ Downtown Development/Urban	Chris Johnson- Land Bank Authority	Board Chair	N/A	Leanzh
Redevelopment/Land Bank Authority			N/A	
Other	Stephen King-Georgia Power	External Affairs Manager	N/A	Invited

12. Please attach evidence of support from local government, businesses, and other organizations (e.g., letters of support, local government resolutions, and other actions):

See attached evidence of the pledged budgeted funds and staff support from the Augusta, Georgia, Administrator. Also attached are support and pledge letters from other local sources, letters from the community, for-profit, nonprofit, and faith-based organizations, and in-kind support like meeting space and food. This reflects Augusta's commitment to utilizing these resources to the best of our abilities to impact our community positively.

13. Describe the primary housing issues facing the community. In evaluating the adequacy and suitability of existing housing stock to serve current and future community needs, you may consider the following factors: housing types and mix, condition and occupancy, local cost of housing, cost-burdened households in the community, jobshousing balance, housing needs of special populations, and availability of housing options across the life cycle. (you may attach two additional sheets to respond to this section):

The economic and foreclosure crisis of 2007 and 2010 devastated Augusta, Georgia's housing situation, just like many other low-income communities across the United States. Unfortunately, residents were left with severely inadequate housing and an average household wage that left them struggling to make ends meet.

In 1996 the City of Augusta consolidated with Richmond County to form Augusta-Richmond County, which is now one of only three consolidated governments in Georgia. This governing body consists of a Mayor and 10 Augusta-Richmond County commissioners. Augusta-Richmond County, best

14. Describe housing activities successfully completed or currently underway or any other previous housing efforts in the community, including applications made for funding (such as CHIP, CDBG, LIHTC, etc). (you may attach one additional sheet to respond to this section):

See the attachments.

15. Does the City government have the following:					
1. Building Inspection Staff No Yes ✓ If yes, how many positions (full-time equ		11			
2. Housing Element of the Comprehensive Pl	an No[	Yes✓			
3. Code Enforcement Staff No Yes ✓ Yes ✓ If yes, how many positions (full-time equ	ivalent)?	13			
4. Zoning Ordinance No Yes ✓					
5. Subdivision Ordinance No Yes					
6. Urban Redevelopment Plan (O.C.G.A 36-61-	-1) No[	Yes			
16. Does the County government have the following:					
1. Building Inspection Staff No Yes Ves If yes, how many positions (full-time equ	4	11			
2. Code Enforcement Staff No Yes ✓ If yes, how many positions (full-time equi	valent)?	13			
3. Zoning Ordinance No Yes ✓					
4. Subdivision Ordinance No Yes ✓					
17. Has your community participated in the following programs?					
Georgia Main Street	No₩	Yes 🗆	(Years:)		
2. Archway Partnership	No₩	Yes □	(Years:)		
3. Georgia Downtown Renaissance	No 🔀	Yes 🗆 -	(Years:)		
4. DCA Georgia PlanFirst Program	No <b>欠</b>	Yes 🗆	(Years:)		
5. GMA Place Making Collaborative	No 🔀	Yes 🗆	(Years:)		

18. Does your community have a land bank authority? No Yes ✓
<ul> <li>19. Has your community completed a housing needs assessment in the past three years?</li> <li>No ✓ Yes ☐</li> <li>If yes, please describe the scope, target area, funding, etc.</li> </ul>
20. Has your community worked with your Regional Commission on community development activities in the past 5 years? No ✓ Yes ☐ If yes, please describe:
21. If this application is being submitted on behalf of a municipal government, has the city government collaborated with the county government on a community development or housing related project in the past five years? No ☐ Yes ✓  If yes, please describe:
See attachments
22. If this application is being submitted on behalf of a county government, has the county government collaborated with a municipal government within its jurisdiction on a community development or housing related project in the past five years?  No Yes Y
If yes, please describe: See the attachments

23. Briefly describe why your community wishes to participate in the Georgia Initiative for Community Housing, what you expect as an outcome from your community's participation, and how this work fits into the community's current initiatives and plans. (You may attach additional sheets to respond to this section).

See the attachment.

24. This section provides communities who were not previously accepted into the program with an opportunity to explain why your community is ready to participate in the Initiative this year. This section does not apply to first-time applicants.

Briefly describe activities and efforts that you have taken to build dedicated and sustainable team leadership and to work together as a collaborative group since your last application or site visit. (You may attach additional sheets to respond to this section).

See the attachment.

### SECTION C — CERTIFICATION & ACKNOWLEDGEMENT OF RESPONSIBILITIES

**Organization** - The housing team must include broad community representation. Communities are expected to:

 develop a recruitment plan to assure the team remains reflective of your community, which includes a means of replacing nonparticipants or team member resignations.

Furthermore, the team must continue to seek out new members when the need arises.

- include a local elected official who is part of the team; consistently participates with the group by attending GICH retreats and local meetings, and acts as a liaison back to the city council.
- notify the GICH program coordinator when team leader (or primary or secondary contact persons) change, by completing approved paperwork.

**Attendance & participation -** Dedicated team member participation on the housing team at the biannual retreats and local meetings is vital for meaningful facilitated discussion and developing and implementing an effective housing plan. Communities are expected to:

- maintain active and substantial participation at every retreat and at all group presentations and individual work sessions. This also includes giving report back presentations on progress at every retreat, starting in the fall of the first year.
- GICH teams must ensure that at least 4 members are in attendance during the scheduled retreats to remain "active". Teams with less than 4 members at retreats are defined as "inactive" and can risk losing DCA benefits, or e removed from the program.
- create and adhere to a local meeting schedule to continue plan development and implementation between initiative retreats. Communities must maintain a list of attendees and meeting minutes.

**Product** - The GICH program partners with communities to improve their quality of life and economic vitality through the development of locally based housing and revitalization strategies. Communities are expected to:

- develop a plan working with their facilitator during retreat work sessions.
- continue to refine and amend the plan during local meetings.
- · take steps to implement action items.
- assure sustainability of plan by developing future action items (juniors).
- maintain electronic copies of the up-to-date working plan. This is the responsibility of the local team leader.

To the best of my knowledge the information in this application is true and correct. By checking the "Yes" box below, the official representative of the applicant certifies these statements and acknowledges the following responsibilities of program participation:

Date:	7/31/2023	Yes√
Name	of official representative (please print):	Garnett Johnson
	Mayor	



# **AGA\_ UGA GICH Application**

# Question Answers (13, 14, 18, 23, & 24) & Other Supporting Documents

### 2023 Georgia Initiative for Community Housing Application ~Attachment~ Question 13-Answer Continued

The analysis of the job housing balance in the area was challenging due to the numerous existing and planned land uses that cater to employment in District 1 and neighboring District 2. However, both districts are ideal for designing different types of affordable housing.

The available residential land use is ample, with medium to high-density residential land use accommodating jobs and affordable housing. The housing type in the community is divided into lower, moderate, and rather than higher-cost categories, depending on the population's income, which is \$46,464, less than Augusta's median. Generally, lower-cost housing includes multi-family dwellings at an existing or planned density of 80 square feet and two- and single-family residences of 100 square feet or less per dwelling unit.

Scheduled jobs and household income planned jobs were placed into low to moderate and extremely income categories based on the type of jobs in the area that are likely to be accommodated within the areas designated for commercial, industrial, and institutional uses by local plans and the wages for those job types.

Creating a housing assessment and revitalization plan would greatly benefit the community by providing a strategy for housing and code enforcement. This would enable the area to gain tools and benefits such as inclusionary zoning, U.S. Department of Housing and Urban Development allocations, and housing trust funds. The plan would create a pathway for future development, which would create much-needed adequate housing for the area. Additionally, it would increase budgets to provide financial incentives such as down-payment assistance, homeless prevention services, and subsidies to encourage development.

By stabilizing the community, the plan would prevent the devastating adverse effects of gentrification. With the suitable parcels, assistance with developing a design for the use of land and building type, and a variety of affordable housing types such as multifamily, single-family, and workforce, the area would greatly benefit. Specifically, throughout Augusta Richmond County, the District Two neighborhood lacks a diversity of housing suitable for the aged and disabled population. Creating new housing options would create a new identity for the community, ultimately increasing economic development opportunities.

Information Sources: Augusta Georgia Planning and Development Department, Augusta Georgia Information Technology-GIS Division (Esri Software System-Sourced from The American Community Survey), Department U.S. Bureau of Labor Statistics Georgia Department of Labor-Workforce Statistics Division and the Federal Reserve Bank of Atlanta

The Augusta Georgia Information Technology-GIS Division utilizes the American Community Survey (ACS) replaces census sample data. Esri is releasing the 2017-2021. ACS estimates, five-year period data collected monthly from January 1, 2017, through December 31, 2021. Although the ACS includes many of the subjects previously covered by the decennial census sample, there are significant differences between the two surveys including fundamental differences in survey design and residency rules.

The 2023 data conveys projections based on the analysis from previous years.

R-3A: Multiple-Family Residential R-3B: Multiple-Family Residential R-3C: Multiple-Family Residential Item 34. R-2: Two Family Residential Traced Boundary Buildings Parcels R-1A: One Family Residential B-1: Neighborhood Business R-1B: One Family Residential R-1C: One Family Residential B-2: General Business LI: Light Industry Zoning Legend A: Agriculture ingusta, Un - Ucuigia ininanive Community ivi invusing Dan Bowles Re 마음 Barnes Rd Gordon Hwy 0 ordon Hwy Oftp Chavous Rdlilledgeville Rd

Augusta Information Technology Department - GIS Division

this map has been compiled by the best methods available. Accuracy is contingent upon the source information as compiled by various agencies and departments both internal and

514

### 2023 Georgia Initiative for Community Housing Application ~Attachment~ Question 14-Answer

Augusta, Georgia receives a yearly allocation of funds from the U.S. Department of Housing & Urban Development (HUD) and the Georgia Department of Community Housing Investment Program (CHIP) funds to help low-income individuals and families. With this funding, Augusta Housing & Community Development Department (HCD) has been able to assist with housing initiatives such as rehabilitation and development housing units. However, the need for assistance significantly outweighs the department's capacity to have an effective impact. There is a major housing need for low-income residents below the Area Median Income. Currently, Augusta, GA has a large population with an income below HUD's Area Median income of \$78,000 per family.

With assistance from Georgia Department of Community Affairs, HCD has been able to leverage federal funding to develop the Laney Walker-Bethlehem (LWB) Revitalization Initiative. This initiative was put in place to reverse decades of blight and disinvestment through the regeneration of 1,100 acres of property within two historic African American neighborhoods in Augusta's urban core. The LWB master plan was developed along with development guidelines for the area. HCD worked with the Augusta Georgia Land Bank Authority acquire over 300 parcels to provide single-family, mixed-use, and high-density residential units in 9 development nodes outlined in the masterplan. In 2010 construction began and continues to date, with over 400 affordable and workforce housing units developed throughout development nodes.

Augusta seeks to continue working with all stakeholders, community partners, and grassroots organizations through public/private partnerships to build impactful communities that enhance the quality of life.

#### 2023 Georgia Initiative for Community Housing Application ~Attachment~ Question 18-Answer

We are thrilled to share why Augusta is eager to join the GICH initiative.

One of the primary reasons is to reflect on the progress we've made so far and share our successes and lessons learned with other communities across the state. Augusta is committed to creating sustainable and replicable solutions to communities' everyday challenges. Specifically, we're excited to use this opportunity to analyze our ongoing efforts to revitalize efforts utilizing the technical assistance gained from GICH to create blueprints for other communities looking to do the same. Our sights are set on the devastated neighborhood in District Two GICH support and guidance will enable us to mobilize and educate our housing team members and new leadership without detracting from our current efforts.

Through GICH, we aim to boost the capacity of new stakeholders and leaders in the community by identifying the needs and resources available in our target area. This will help us develop a comprehensive housing plan that can guide future development activities and lead to an increase in affordable housing stock in Augusta. Our housing team members will gain a holistic understanding of the process, including infrastructure, funding, and community engagement, enabling them to advocate for affordable housing more effectively. We'll also gain valuable insight and ideas on identifying and using existing community assets.

Participating in GICH will enable us to coordinate the various facets of our Housing Team to plan, act, evaluate, and share successes independently. The networks, skills, and competencies we'll gain through this initiative will help us keep pace with the economic growth coming to the area and provide quality housing options for all citizens. GIHC allows us to enhance our creative thought patterns about solutions to the affordable housing crisis at all community levels - from homeless citizens to low or no-income households, first-time homebuyers, and existing owners.

Participation in GICH is a chance to rally local commitment and partner creatively with necessary funding and resources to ensure affordable housing for all and a brighter future for our community.

In closing, it's important to recognize that other counties in Georgia are also grappling with limited resources to address the issue of sheltered and unsheltered low-income communities. If our application for the GICH award is successful, Augusta will not only complete the program, but also extend our experience and resources to mentor, coach, and support our sister cities and counties that are dealing with similar challenges. Our aim is to overcome the barriers that are hindering the availability of affordable housing and make Georgia the ideal destination for visitors, newcomers, and residents alike.

### 2023 Georgia Initiative for Community Housing Application ~Attachment~ Question 23-Answer

Augusta is very excited to participate in GICH for many reasons, but two stand out the most. The first reason is that I want to reflect on the work we have been doing so far and share our outcomes, successes, and lessons learned with other communities throughout the state. We strongly believe in creating sustainable solutions to problems that vex all communities, and GICH provides an excellent opportunity to do just that. Specifically, the timing of the next cohort will allow us to revitalize the District Two Turpin Hill neighborhoods and serve as an example for other communities looking to start similar efforts.

We are also eager to participate because it will allow us to educate and mobilize our housing team members and new leadership without taking away from our current efforts. We hope to think creatively about solutions to the affordable housing crisis at all levels in our community, including homeless citizens, low- or no-income households, first-time homebuyers, and existing owners.

Overall, Augusta, Georgia, sees participation in the GICH as a way to locate and activate commitment at the local level, join with necessary funding and resources in creative partnership, and ensure affordable housing for all. We are excited to see what the future holds for our community and believe that GICH will play a key role in building a brighter future for us all.

### 2023 Georgia Initiative for Community Housing Application ~Attachment~ Question 24-Answer

Since our last submission, we have made significant strides in building solid and sustainable team leadership. We have worked Augusta's previous and current regional leaders from both the public and private sector and received invaluable guidance communities. Our strategic efforts have garnered support from stakeholders committed to rebuilding Augusta.

Our Augusta departments engage with the community annually, recognizing the importance of establishing meaningful connections, choosing the right platform for conversations, and setting the right tone for community engagement. By involving Augusta stakeholders and reassessing the program requirements, we recruited individuals and supporters with inclusive mindsets, missions, and initiatives who have completed leadership development programs. These individuals represent organizations and businesses eager to collaborate with Augusta residents.

Our previous process allowed us to fine-tune our proposal, emphasizing its strengths, addressing concerns, and providing more relevant detail in our answers to questions. We value our feedback and are committed to continuously improving our approach to ensure that we serve our community effectively.



# **AGA\_ UGA GICH Application**

# Augusta Georgia Office of Administration

Pledge Letter of Budgeted Funds and Staff Support





Takiyah A. Douse Interim Administrator

Augusta, Georgia Office of the Mayor Attn: Garnett Johnson, Mayor 535 Telfair Street Augusta, GA 30901

July 28, 2023

Re: Augusta Georgia GICH Application Pledge Letter

Mayor Johnson,

The Augusta, Georgia Office of the Administrator is fully committed to providing affordable, safe, and healthy housing for all families in Augusta, Georgia. We are proud to lend our support to Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing (GICH). This program has tremendous potential for our area, and we would be thrilled to be a part of it.

I want to express our wholehearted pledge and enthusiastic endorsement of the following aspects of this proposal:

- Dedicated Staff:
  - We will provide two (2) Directors and ten (10) support staff from within the Housing and Community Development Department and the Planning and Development Department for the duration of the initiative.
- Budget Allocation:
   We will allocate \$10,000 for the travel and lodging expenses of 20 members of the
   Augusta GICH Community Housing Team to support planning retreats and other
   associated team activities throughout the initiative.

Furthermore, we are excited to collaborate with the Office of the Mayor, GICH Community Housing Team, the Housing and Community Development Department, and the Planning and Development Department to ensure that this initiative is a resounding success. We are confident that with our collective efforts, we can achieve great things.

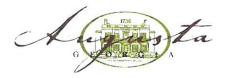
We are honored to be part of this project and urge you to seriously consider this application.

Sincerely,

Takiyah A Douse, Interim Administrator

Augusta-Richmond County
Municipal Building
Administrator's office
535 Telfair Street, Suite 910
Augusta, Georgia 30901
Office (706) 821-2898 Fax (706) 821-2819

www.augustaga.gov



# **AGA\_UGA GICH Application**

# **Community Support Letters**



July 31, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Naomo Stelling

Best regards,

Naomi Williams

Neighborhood Resident

July 31, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Horpkens

Best regards,

Linda Thompkins

Neighborhood Resident

### Neighborhood Support Petition for Augusta Georgia's Application for the University of Georgia's Georgia Initiative for Community Housing

July 31, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

We are writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, we are overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. We see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. We support Augusta's willingness to gain through this program to position our non-profit and local government housing developers better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

We look forward to contributing my voice in any way needed. We believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates.

Thank you for your time and consideration.

Best regards.

See attached signatures of residents.

Neighborhood Support for Augusta Georgia's Application for the University of Georgia's Georgia Initiative for Community Housing Subject Matter: Support for Augusta Georgia to participate in the University of Georgia's Georgia Initiative for Community Housing.

We express our support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, we are overly excited about this program's potential for our area.

Name: Ulmi le Baents
Address: 744 Brad St At 402 Rugusta, Ga 3094
Signature: MMM
Name: Calvin Hill
Address: 908 12th Street Augusta, Ga 36901
Signature:
Calle Hele
Name: Evan Green
Address: 2133 Vandivere Rd Spt 7B Augusta Con surch
Signature: EMM Kreen
Name: Puelyn O'Bryant
Address: 10 11 Hue 1 Hugusta
Signature:
Name: Hattie Hughe 3
Address: 0406 PAR DIK / 449 GA 30906
Signature: Hattle Hughers

# Neighborhood Support for Augusta Georgia's Application for the University of Georgia's Georgia Initiative for Community Housing

We express our support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, we are overly excited about this program's potential for our area.

Name: Beverly Lattinge
Address: 1730 Sibly Rug Augusta, Ga 30959
Signature: Persent fattimor
Name: Be the Jones
Address: 627 hongmend Trail 30909
Signature: Bettye L. Joyes
Name: Deburah Little Address: 1730 S. Dy Load Augusta Ga 30909
Signature:  Name: Linda Domillion
Address: \$1907 Third ave
Signature: Linda L'amillion
Name: MANSHALL GIBBANC
Address: 4601 MANTES CT
Signature: Workfall Sill



PLANNING & DEVELOPMENT DEPARTMENT

535 Telfair Street • Suite 300 Augusta, Georgia 30901

L803 Marvin Griffin Road Augusta, Georgia 30906

July 26, 2023

Mayor Garnett Johnson City of Augusta 535 Telfair Street Augusta, Georgia 30901

RE: University of Georgia's Georgia Initiative for Community Housing

Dear Mayor Garnett,

I am writing to express Planning and Development Department's support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, we are excited about this program's potential for our area.

Many of the residents of Augusta pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. Our department sees this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

Our department looks forward to contributing input in any way needed. The City of Augusta has this great opportunity in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. Our staff would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to our department, and hope that we can work together to adopt a robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards,

Brian L. Kepner

Deputy Director, Planning & Licensing Planning & Development Department



### Commissioner Stacy Pulliam, District 2

(762) 328-8256 (Cell) (706) 821-1838 (Fax)

The housing affordability crisis in Augusta, Georgia, requires immediate attention and action. By participating in GICH and implementing strategic development strategies, Augusta can make significant progress in increasing the availability of affordable housing. Affordable housing not only preserves diversity and inclusivity but also contributes to economic stability and improved health and well-being. It is crucial for Augusta to be a leader in affordable housing to ensure that residents of all income levels can find a home in the community. Through collaboration and innovative approaches, Augusta can create a more equitable and sustainable housing market for its residents.

Regards,

Stacy Pulliam, Commissioner

District 2



### Housing & Community Development Department

Augusta GEFORGIA

Hawthorne E. Welcher, Jr. Director

Shauntia Lewis Deputy Director

July 25, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards,

Hawthorne Welcher, Jr.

### Commissioner Stacy Pulliam, District 2



(762) 328-8256 (Cell) (706) 821-1838 (Fax)

July 28, 2023

Honorable Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the Georgia Initiative For Community Housing. After researching the initiative, I am overly excited about this program's potential for our beloved Augusta GA, a city known for its progressive politics and diverse population. Augusta is currently facing a housing affordability crisis. The soaring costs of housing have made it increasingly difficult for individuals and families to find affordable homes in the city. In response to this pressing issue, Augusta has applied for participation in GICH. This program has the potential to bring about positive change and increase the availability of affordable housing in the community.

Augusta, like many other cities/counties across the country, is grappling with a housing affordability crisis. The increasing costs of building materials and housing have outpriced many potential homeowners, leading to a decline in the diversity of incomes and backgrounds among residents. The City of Augusta recognizes the need for bold and forward-thinking measures to address this crisis and ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

GICH is a program that aims to increase the availability of affordable homes through strategic development. By participating in this initiative, Augusta can gain valuable knowledge and capacity to keep pace with market-rate competitors. The program will provide non-profit and local government housing developers with the necessary tools and resources to develop affordable housing options for residents in need.



July 27, 2023

Honorable Garnett Johnson, Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Johnson,

I am writing to express my support for Augusta's application for participation in the University of Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Sincerely,

Phil Wahl President



13010 Morris Rd., Suite 650, Alpharetta, GA. 3004

July 25, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards.

# Sand Hills Urban Development, Inc.

3062 Damascus Rd., Suite C - Augusta, GA 30904 - Phone: 706-733-3999 - Email: twilson@sandhillsaugusta.org

July 27, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. The City of Augusta has done this one thing so very well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards,

Timothy Wilson

Executive Director



for the Central Savannah River Area

July 27, 2023

Mr. Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Johnson,

I am writing to express the Community Foundation's support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. Bold, forward-thinking measures to increase affordable housing in our community are imperative to living out our shared values. The City of Augusta is well suited for deepening strategic partnerships to continue this work.

As a city, we are facing a housing affordability crisis, and one of the most important actions we can take to address that crisis is to make affordable homes more accessible for our most vulnerable neighbors. The knowledge and capacity gained through participation in this program will equip our non-profit and local government housing developers to keep pace with their market-rate counterparts. It is important that Augusta be a leader in affordable housing to ensure that all its residents can afford to live in any neighborhood they choose with pride.

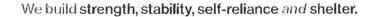
We look forward to contributing our voice in any way needed. This issue is deeply important to us at the Community Foundation, and we hope to work together to implement a robust, citywide housing strategy as a result of these efforts.

Thank you for your time and consideration.

Best regards,

Shell K. Berry President/CEO

Item 34.





July 24, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

RE: Georgia Initiative for Community Housing

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. There is a need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.



### We build strength, stability, self-reliance and shelter.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

n/service,

Bernadette M. Fortune Chief Executive Officer



### THE J. MADDEN REID ADMINISTRATION BUILDING

1435 WALTON WAY AUGUSTA, GEORGIA 30901

(706) 724-5466

(706) 724-5620 TDD

(706) 724-2342 FAX

www.augustapha.org phaaug@augustapha.org The

### **HOUSING AUTHORITY**

Of The City of Augusta, Georgia

July 26, 2023

Garnett Johnson Mayor - City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Best regards,

Douglas Freeman

Deputy Executive Director

### RICHMOND COUNTY



### **BOARD OF EDUCATION**

864 Broad Street – 4<sup>th</sup> Floor Augusta, Georgia 30901-1215 (706) 826-1124 – Fax: (706) 826-4613

### MR. CHARLIE B. WALKER, Jr. President

July 27, 2023

Charlie Walker Jr.
President – RCBOE
864 Broad Street
Augusta, Georgia 30901

Dear President Walker,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the upcoming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy. Best regards,

Charlie Walker Jr.



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Richmond

Taliaferro

Warren

Washington

### CENTRAL SAVANNAH RIVER AREA REGIONAL COMMISSION

Item 34.

3626 Walton Way Extension, Suite 1 Augusta, GA 30909-9851 (706) 210-2000 · fax (706) 210-2006 www.csrarc.ga.gov



July 26, 2023

Garnett Johnson

Mayor

City of Augusta

535 Telfair Street

Augusta, Georgia 30901

Dear Mayor Garnett,

Columbia

On behalf of the CSRA Regional Commission (RC), I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing (GICH). Our agency has been involved in the GICH program since its inception. We are overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. We see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. There is a great need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

The RC looks forward to contributing their assistance in any way needed. We believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. We are eager to learn more as housing develops in the upcoming months. In the meantime, the RC knows how important this issue is to Augusta and our region as whole. We are thrilled to have the opportunity to work together to adopt a robust and citywide housing strategy.

Best regards,

Deputy Director Center for Community Development

Wilkes





July 25, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards,

Rise MOUT - of

Ronic West.

President/Co-Founder, GABCC



24 July 2023

Mr. Garnett Johnson Mayor of the City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett Johnson,

I write to express my great support for the application of Augusta-Richmond County to the Georgia Initiative for Community Housing (GICH), University of Georgia. The GICH has very strong potential for Augusta-Richmond County.

Many Augustans, represented by diverse backgrounds and incomes, remain very progressive, however, the soaring costs of housing appears to negate this. The City of Augusta under your leadership is fighting this through bold, forward-thinking measures, which would help increase affordable housing in our community.

To build more affordable homes through strategic development is among crucial avenues to supplement the increasing challenge of housing affordability crisis. The GICH provides strong capacity and knowledge for non-profit and local government housing developers to be better equipped and compete effectively with their market-rate competitors. Importantly, this is the time for Augusta to lead the way in affordable housing to avail all income levels the choice to live in any part of Richmond County.

I will contribute to educate clients in the home-buying process, help provide the required knowledge base, and strengthen the success of GICH in Augusta-Richmond County.

God's blessings

Charles

Charles Odilichukwu R. OKPALA

MRES(Strath!), FLS (Lond.), CSci, FIFST (UK) MIAFP, MIFT, CFS (USA)

Family Consumer Science Agent

UGA - Augusta Richmond County Extension

602 Greene Street

Augusta, GA 30901-1428

Email: charles.okpala@uga.edu

Academic Editor, PeerJ - Life & Environment (https://peerj.com/CharlesOkpala/)

Academic Editor, Quality Assurance and Safety of Crops and Foods

Academic Editor, PlosONE

Guest Editor - Foods MDPI

Topical Advisory Panel Member - Foods MDPI

Co-Guest Editor for Special Issue – Sustainability MDPI

"Make effort so that today becomes better than yesterday, and tomorrow best"



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**EXECUTIVE DIRECTOR** 

family connection

Candice L. Hillman, M.S.M.

July 24, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their marketrate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards,

Candice L. Hillman, MSM

Executive Director

542

Garnett Johnson Mayor Augusta Georgia 535 Telfair Street Suite 200 Augusta, Georgia 30901

July 28, 2023

Re: Augusta Georgia\_ GICH Application Pledge Letter

Dear Mayor Garnett,

I am thrilled to express my confidence in Augusta's application for participation in the Georgia Initiative for Community Housing. As a proud resident of Augusta, I am dedicated to ensuring that all families in our community have access to safe and healthy housing. We recognize the importance of affordable homes in our city, and this program has the potential to help us meet this crucial need.

We are committed to providing in-kind services, such as meeting space or meals and beverages, to ensure the success of Augusta's GICH application. With the knowledge and capacity gained through this program, Augusta will be better equipped to compete with market-rate competitors.

It is imperative that Augusta becomes a leader in affordable housing to ensure that residents of all income levels have the opportunity to live in any neighborhood in Richmond County. We firmly believe that this program will help us achieve this goal and make Augusta a better place for all to call home.

I am eagerly looking forward to being a part of this project and strongly encourage your consideration of this proposal.

Sincerely,

John Milton August Georgia Resident



July 27, 2023

### Good Shepherd Baptist Church

Rev. Clarence Moore, Pastor 1714 Olive Road P.O. Box 141 (mailing address) Augusta, Georgia 30903

Phone: 706-733-0341 Fax: 706-667-0205

e-mail address: admin@goodshepherdaugusta.org

Garnett Johnson, Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Johnson.

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well! As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our nonprofit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt a robust and citywide housing strategy.

Thank you for your time and consideration.

Because of Calvary,

Rev. Dr. Clarence Moore, Pastor





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First Vice President
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Second Vice President
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STAFF
Mr. Erick D. Montgomery
Executive Director
Mr. Jack Jones
Preservation Manager
Mrs. Rebecca Wood
Administrative Assistant

July 26, 2023

The Honorable Garnett Johnson, Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Johnson,

I am writing to express my support for Augusta's application for participation in the University of Georgia's "Georgia Initiative for Community Housing." After hearing about the initiative, I am encouraged about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has experienced a significant loss of this diversity. The increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values.

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development and rehabilitation of underutilized historic resources. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors.

It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose. I look forward to contributing my voice. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great better associates.

Sincerely,

Erick Mentgomery
Erick D. Montgomery
Executive Director



#### T. CHRIS JOHNSON

Tax Commissioner Ex-Officio Sheriff
535 Telfair Street-Suite 100 | Augusta, GA 30901
706-821-2391

July 26, 2023

Garnett Johnson, Mayor City of Augusta 535 Telfair Street, Suite 200 Augusta, Georgia 30901

Dear Mayor Johnson,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am excited about this program's potential for our area.

Many Augustans pride themselves on the diversity of incomes and backgrounds represented among the city's homeowners, but with the soaring costs of housing, our community has experienced a significant loss of this diversity. In many cases, we see the increase in the building materials has outpriced the ability to become a new homeowner. As a result, bold, forward-thinking measures, to increase affordable housing in our community are imperative.

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that Richmond County residents of all income levels can afford to be homeowners.

I look forward to contributing to the success of this program. I believe in educating everyone interested in the home-buying process because smart buyers make smart decisions which strengthens the community. Please allow this letter to express my strong interest in this issue, and I look forward to working together to adopt a robust, citywide housing strategy.

Thank you for your time and consideration.

Best regards,

T. Chris Johnson



July 31, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett,

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

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I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards,

James K. Stiff

President



706-821-1321 Office 1450 Greene Street, Suite 3500 Augusta, GA USA 30901 Augusta/EDA.org

July 28, 2023

Garnett Johnson Mayor City of Augusta 535 Telfair Street Augusta, Georgia 30901

Dear Mayor Garnett.

I am writing to express my support for Augusta's application for participation in the University of Georgia's Georgia Initiative for Community Housing. After researching the initiative, I am overly excited about this program's potential for our area.

Many Augustans pride themselves on their progressive politics and the diversity of incomes and backgrounds represented among the city's residents, but with the soaring costs of housing, our community has already experienced a significant loss of this diversity. I see this daily; the increase in building materials has outpriced new homeowners. Bold, forward-thinking measures, to increase affordable housing in our community, are imperative to living our shared progressive values. This is one thing the City of Augusta has done so well!

As a city, we face a housing affordability crisis, and one of the most important actions we can take to address that crisis is to build more affordable homes through strategic development. The need for assistance and affordable homes in our city. The knowledge and capacity gained through this program will position our non-profit and local government housing developers to be better equipped to keep pace with their market-rate competitors. It is important that Augusta be a leader in affordable housing to ensure that residents of all income levels can afford to live in any Richmond County neighborhood they choose.

I look forward to contributing my voice in any way needed. I believe in educating everyone interested in the home-buying process. Smart buyers make smart decisions, and they make great community associates. I would love to learn more as housing develops in the up-coming months. In the meantime, I wanted you to know how important this issue is to me, and I hope we can work together to adopt and robust and citywide housing strategy.

Thank you for your time and consideration.

Best regards.

Cal Wray President

Development Authority of Augusta, Georgia

706-284-5610

cwray daugustaeda.org



## **AGA\_ UGA GICH Application**

## Pledge Letters of In-Kind Support





July 27, 2023

Augusta City Hall Attn: Mayor Garnett Johnson 535 Telfair St., Suite 200 Augusta, GA 30901

Re: Augusta Georgia \_ GICH Application Pledge Letter

Dear Mayor Johnson,

Goodwill Industries of Middle Georgia & the CSRA is thrilled to express our confidence in Augusta's application for participation in the Georgia Initiative for Community Housing. As a non-profit entity with prominent operations in Augusta, we are dedicated to ensuring that all families in our community have access to safe and healthy housing. We recognize the importance of affordable homes in our city, and this program has the potential to help us meet this crucial need.

We are committed to providing in-kind services, such as meeting space, to ensure the success of Augusta's GICH application. With the knowledge and capacity gained through this program, Augusta will be better equipped to compete with market-rate competitors.

It is imperative that Augusta becomes a leader in affordable housing to ensure that residents of all income levels have the opportunity to live in any neighborhood in Richmond County. We firmly believe that this program will help us achieve this goal and make Augusta a better place for all to call home.

We are eagerly looking forward to being a part of this project and strongly encourage your consideration of this proposal.

Sincerely,

Leah M. Pontani, MBA

Senior Vice President of Career Development



July 28, 2023

The Honorable Garnett L. Johnson Mayor of Augusta 535 Telfair Street Suite 200 Augusta, GA 30901

Dear Mayor Johnson,

I write today in support of Augusta's application for participation in the Georgia Initiative for Community Housing. As Augusta's largest industrial employer, Textron Specialized Vehicles understands the importance of the availability of safe and affordable housing to our community's economic development and quality of life. This initiative has the potential to help us meet this crucial need.

Textron Specialized Vehicles is willing to provide in-kind services to ensure the success of Augusta's GICH application. Specifically, we will provide food and beverages to the initiative's attendees. If timing and space allow, we also might be able to provide meeting space to accommodate the initiative.

If you have any questions or need more information, please contact me at 706.772.5931 or via e-mail at <a href="mailto:bhaddock@textron.com">bhaddock@textron.com</a>. Thank you for the opportunity to be part of this important endeavor.

Sincerely,

Brandon Haddock

Director, Communications













Johnny's Heating and Air 2322 Tubman Home Road Augusta Ga 30906

July 26, 2023

Re: Augusta Georgia\_ GICH Application Pledge Letter

Dear Mayor Garnett,

I am thrilled to express my confidence in Augusta's application for participation in the Georgia Initiative for Community Housing. As a proud resident of Augusta, I am dedicated to ensuring that all families in our community have access to safe and healthy housing. We recognize the importance of affordable homes in our city, and this program has the potential to help us meet this crucial need.

We are committed to providing in-kind services, such as meeting space or meals and beverages, to ensure the success of Augusta's GICH application. With the knowledge and capacity gained through this program, Augusta will be better equipped to compete with market-rate competitors.

It is imperative that Augusta becomes a leader in affordable housing to ensure that residents of all income levels have the opportunity to live in any neighborhood in Richmond County. We firmly believe that this program will help us achieve this goal and make Augusta a better place for all to call home.

I am eagerly looking forward to being a part of this project and strongly encourage your consideration of this proposal.





#### **Commission Meeting**

September 5, 2023

Budget cut

**Department:** N/A

**Presenter:** N/A

Caption: Discuss requesting each department within the Augusta-Richmond County

Consolidated Government model a 5% & 10% budget cut; to include the general and expenditure funding accounts. (Requested by Mayor Garnett L. Johnson) (No recommendation from Finance Committee August

29,2023)

N/A

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

the following accounts:

REVIEWED AND

**APPROVED BY:** 

#### **Lena Bonner**

From: Jasmine Sims

Sent: Wednesday, August 9, 2023 2:32 PM

To: Lena Bonner

Cc: Keona Shaw; Natasha L. McFarley; Nancy Morawski

**Subject:** Agenda Item for August 15, 2023

Good Afternoon Ms. Bonner,

The Mayor would like the following item added to the upcoming commission meeting agenda:

Mayor Garnett L. Johnson is requesting each department within the Augusta-Richmond County Consolidated Government model a 5% & 10% budget cut; to include the general and expenditure funding accounts.

Thank you so much for your assistance concerning this matter,

-Jazz

Jasmine Chavous Sims, MBA | Chief of Staff
Office of the Mayor
Augusta - Richmond County

535 Telfair Street, Suite 200 • Augusta, GA 30901 Office • 706-821-1834 | Mobile • 706-993-7358 jasminesims@augustaga.gov | www.augustaga.gov

Augusta

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AED:104.1



#### **Commission Meeting**

Meeting Date: August 1, 2023

RFP 18-149 EMS Ambulance Billing Contract Extension

**Department:** Fire

**Presenter:** Antonio Burden, Fire Chief/EMA Director

Caption: Motion to approve Amendment #1 to RFP 18-149 EMS Ambulance Billing

Contract to extend terms and to authorize the mayor to execute all

appropriate documents.

**Background:** The contract for RFP 18-149 EMS Ambulance Billing service for the

Augusta Fire Department expired on July 1, 2023. The Fire Department is currently reviewing and revising the specifications for a new RFP and contract. The extension is required to ensure there is no lapse in collecting

ambulance transport fees.

**Analysis:** The amendment will extend the contract termination date from June 30,

2023, to December 31, 2023.

**Financial Impact:** No additional cost. Funding for this expense is already included in the 2023

budget approved by Commission.

Alternatives: N/A

**Recommendation:** To approve the Motion to approve Amendment #1 to RFP 18-149 EMS

Ambulance Billing Contract to extend terms and to authorize the mayor to

execute all appropriate documents.

Funds are available in 274

the following accounts:

274034110-5212999

REVIEWED AND APPROVED BY:

Antonio Burden, Fire Chief/EMA Director



#### FIRST ADDENDUM TO AGREEMENT

# BY AND BETWEEN EMS MANAGEMENT & CONSULTANTS, INC AND AUGUSTA, GEORGIA DATED July 25, 2023

THIS ADDENDUM is made and entered into this 25<sup>th</sup> day of July 2023, by and between the EMS MANAGEMENT & CONSULTANTS, INC. (hereinafter "EMS|MC") and AUGUSTA, GEORGIA, a political subdivision of the State of Georgia (hereinafter "Client") provides for extension of the agreement until December 31, 2023.

#### **RECITALS**

WHEREAS, EMSIMC is an ambulance billing service company with experience in providing medical billing and collection services to medical transport providers, including fire and rescue and emergency medical service (EMS) providers; and

WHEREAS, Client is normally engaged in the business of providing emergency medical services, and billable medical transportation services; and

WHEREAS, Client desires to engage a qualified and experienced coding, billing, and collections firm to furnish professional services in coding, billing, and collections for Client pursuant to Client's RFP #18-149; and

WHEREAS, EMSIMC responded to RFP #18-149 and has represented to Augusta that it is willing, experienced, and qualified to provide the services contained here; and

WHEREAS, Client wishes to retain EMSIMC to provide medical billing, collection and related services as set forth in this Agreement and

WHEREAS, the parties desire to extend the term of the current contract for additional time to December 31, 2023, and

NOW, THEREFORE, the parties agree to modify the following parts of the agreement: As stated in, Exhibit "A" as set forth in the attachments.

NOW, THEREFORE, in consideration of the mutual agreements described below and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the parties agree as follows:

#### **AGREEMENT**

- 1. Section 6 of the Agreement with the Contractor, dated July 17, 2018, is hereby amended to extend the contract termination date from June 30, 2023, to the following: This Agreement shall commence on July 1, 2023, and shall terminate on December 31, 2023
- 2. Except as otherwise provided herein all terms and conditions of the agreement shall remain in full force and effect.
- 3. Updated Certificate of Insurance(s).

IN WITNESS WHEREOF, the Parties have executed this Addendum as of the day and year written above.

Each person whose signature appears hereon represents, warrants and guarantees that he/she has been duly authorized and has full authority to execute this Agreement on behalf of the party on whose behalf this Agreement is executed.

EMS/MC	CLIENT
Ву:	Ву:
Print Name:	Print Name: Garnett L. Johnson
Title:	Title: Mayor
Date:	Date:

Augusta G E/O R G I A

## **EXHIBIT A**

#### **BILLING SERVICES AGREEMENT**

#### WITNESSETH:

WHEREAS, EMSIMC is an ambulance billing service company with experience in providing medical billing and collection services to medical transport providers, including fire and rescue and emergency medical service (EMS) providers; and

WHEREAS, Client is normally engaged in the business of providing emergency medical services, and billable medical transportation services; and

WHEREAS, Client desires to engage a qualified and experienced coding, billing, and collections firm to furnish professional services in coding, billing, and collections for Client pursuant to Client's RFP #18-149; and

WHEREAS, EMS|MC responded to RFP #18-149 and has represented to Augusta that it is willing, experienced, and qualified to provide the services contained here; and

WHEREAS, Client wishes to retain EMSIMC to provide medical billing, collection and related services as set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual agreements described below and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the parties agree as follows:

#### 1. ENGAGEMENT.

a. During the term of this Agreement, EMSIMC shall provide routine billing, bill processing and fee collection services reasonably required and customary for service providers of similar size and situation to Client (the "Revenue Cycle Management Services" or "RCM Services"). The RCM Services shall include: (1) preparing and submitting initial and secondary claims and bills for Client to insurers and others responsible for payment; (2) performing reasonable and diligent routine collection efforts to secure payments from primary and secondary payers and patients or other entities, (as EMSIMC, in its sole discretion deems appropriate); (3) issuing up to three patient

statements for all unpaid balances; and (4) referring accounts which have not been collected during EMS|MC normal billing cycle to an outside collection agency if so directed by Client.

b. Collectively, the RCM Services, any applicable Software and Hardware and any other services that EMS|MC provides to Client shall be referred to as the "Services".

#### 2. EMS|MC Responsibilities.

- a. EMS|MC will provide the RCM Services in material compliance with all applicable state and federal laws and regulations.
- b. EMSIMC will provide assistance and guidance to Client to complete the Medicare and Medicaid provider application process. This will include completing and submitting the applications to Medicare and Medicaid. Client will assist and provide all necessary information needed to ensure an accurate and timely application as well as having the applications signed by an authorized representative of the City of Augusta.
- c. EMS|MC will submit all "Completed Claims" to the applicable third-party payer. A "Completed Claim" is a claim for emergency medical services and billable medical transportation services that (i) is received by EMS|MC and supported by an ePCR record that contains all necessary and accurate information; (ii) has been reviewed and any identified issues sent to Client for remediation have been rectified; (iii) is for a patient encounter that has been electronically signed off by Client in the ePCR; (iv) has been reviewed by Client and deemed ready for billing; and (v) is not subject to a billing hold. EMS|MC will not have any responsibility for any adverse impact to Client that may result from any delay of Client in completing claims.
- d. Accounts with outstanding balances after the insurance and/or third-party payer has determined benefits due will be billed by EMS|MC to the patient. EMS|MC will send up to three patient statements to the patient or responsible party, except as to those accounts on which an insurance carrier or third-party payer has accepted responsibility to pay. Once Client has submitted all necessary information, EMS|MC will bill all uninsured patients directly.
- e. Within ten (10) business days of the last business day of the month, EMS|MC will provide to Client a month end report, which shall include an account analysis report, aging report and accounts receivables reconciliation report for the previous month. Deposit reports will be provided daily.
- f. During the term of this Agreement, EMS|MC shall maintain, provide appropriate storage and data back-up for all billing records pertaining to the RCM

Services provided by EMSIMC hereunder. Upon at least five (5) business days' prior written notice, EMSIMC shall make such records accessible to Client during EMSIMC business hours. Upon termination of this Agreement, trip data pertaining to the RCM Services shall be returned to Client. Notwithstanding anything to the contrary herein, Client acknowledges and agrees that EMSIMC is not a custodian of clinical records nor a clinical records repository. Client is responsible for maintaining all clinical records in accordance with Section 3(d).

- g. EMS|MC shall notify Client of (i) all patient complaints about clinical services within two (2) business days of receipt; (ii) all patient complaints about billing within ten (10) business days of receipt; and (iii) all notices of audit, requests for medical records or other contacts or inquiries out of the normal course of business from representatives of Medicare, Medicaid or private payers with which Client contracts or any law enforcement or government agency ("Payer Inquiries") within ten (10) business days of receipt, unless such agency prohibits EMS|MC from disclosing its inquiry to Client.
- h. EMS|MC will reasonably assist Client in responding to Payer Inquiries which occur in the normal course of Client's business and arise from EMS|MC's provision of the Services. If EMS|MC, in its sole discretion, determines that (i) Client is excessively utilizing EMS|MC's assistance in responding to Payer Inquiries, (ii) a Payer Inquiry is outside the normal course of Client's business; or (iii) a Payer Inquiry does not arise from the Services provided by EMS|MC, EMS|MC may charge Client, and Client shall pay, for any assistance provided by EMS|MC at EMS|MC's then current hourly rates. Billing will not begin until EMS|MC has provided Client with five (5) business days written notice of the issue described in (i)-(iii) above and an opportunity to correct.
- i. EMSIMC is appointed as the agent of Client under this Agreement solely for the express purposes of this Agreement relating to billing and receiving payments and mail, receiving and storing documents, and communicating with hospitals and other entities to facilitate its duties. EMSIMC will have no authority to pledge credit, contract, or otherwise act on behalf of Client except as expressly set forth herein.
- j. As to all payments received from Medicare, Medicaid and other government funded programs, the parties specifically acknowledge that EMS|MC will only prepare claims for Client and will not negotiate checks payable or divert electronic fund transfers to Client from Medicare, Medicaid or any other government funded program. All Medicare, Medicaid and any other government funded program payments, including all electronic fund transfers, will be deposited directly into a bank account designated by Client to receive such payments and as to such account only Client, through its officers and directors, shall have access.

- k. The Services provided by EMSIMC to Client under this Agreement are conditioned on Client's fulfillment of the responsibilities set forth in this Agreement.
- I. EMS|MC shall have no responsibility to provide any of the following services:
  - Determining the accuracy or truthfulness of documentation and information provided by Client;
  - Providing services outside the EMS|MC billing system;
  - iii. Submitting any claim that EMS|MC believes to be inaccurate or fraudulent; or
  - iv. Providing any service not expressly required of EMSIMC by this Agreement.
- m. For Client's service dates that occurred prior to the mutually agreed go live date for the Services, Client agrees and understands that EMSIMC is not responsible for any services including, but not limited to, submitting claims or managing any denials, refunds or patient calls. As between Client and EMSIMC, Client is fully responsible for the proper billing and accounting of any remaining balances related to service dates that occurred prior to such go live date.
- 3. RESPONSIBILITIES OF CLIENT. The following responsibilities of Client are a condition of EMS/MC's services under this Agreement, and EMS/MC shall have no obligation to provide the Services to the extent that Client has not fulfilled these responsibilities:
  - a. Client will pay all amounts owed to EMSIMC under this Agreement.
- b. Client will implement standard commercially reasonable actions and processes as may be requested by EMS|MC from time-to-time to allow EMS|MC to properly and efficiently provide the RCM Services. These actions and processes include, but are not limited to, the following:
  - i. Providing EMS|MC with complete and accurate demographic and charge information necessary for the processing of professional and/or technical component billing to third parties and/or patients including, without limitation, the following: patient identification (name, address, phone number, birth date, gender); guarantor identification and address; insurance information; report of services; special claim forms; preauthorization numbers; and such additional information as is requested by EMS|MC;

- Providing EMSIMC with complete and accurate medical record documentation for each incident or patient service rendered for reimbursement, which is necessary to ensure proper billing and secure claim payment;
- iii. Providing EMS|MC, in a timely manner, with Patient Care Reports (PCRs) that thoroughly detail the patient's full medical condition at the time of service and include a chronological narrative of all services and treatment rendered;
- Obtaining authorizations and signatures on all required forms, including consent to treat, assignment of benefits, release of information and claims;
- Obtaining physician certification statements (PCS) forms for all nonemergency transports and other similar medical necessity forms or prior authorization statements as deemed necessary by the payer;
- vi. Obtaining or executing all forms or documentation required by Medicare, Medicaid, CHAMPUS, and any other payer or insurance carriers to allow EMS|MC to carry out its billing and other duties under this Agreement; and
- vii. Implementing reasonable and customary charges for complete, compliant billing.
- c. Client represents and warrants that the PCR and any and all associated medical records, forms and certification statements provided to EMSIMC are true and accurate and contain only factual information observed and documented by the attending field technician during the course of the treatment and transport.
- d. Client shall maintain Client's own files with all original or source documents, as required by law, and only provide to EMS|MC copies of such documents. Client acknowledges that EMS|MC is not the agent of Client for storage of source documentation.
- e. Client will provide EMS|MC with a copy of any existing billing policy manuals or guidelines, Medicare or Medicaid reports, or any other record or document related to services or billing of Client's accounts.
- f. Client will report to EMS|MC within ten (10) business days of payments received directly by Client, and promptly notify EMS|MC of any cases requiring special handling or billing. Client shall advise EMS|MC of any Payer Inquiries within ten (10) business days of receipt.

- g. Client shall ensure that any refunds posted by EMS|MC are actually issued and paid to the patient, insurer, or other payer as appropriate.
- h. Client agrees to provide EMS|MC with administrative access to the ePCR system or similar access in order to run reports and review documents and attachments to better service Client's account.
- i. Client shall provide EMSIMC with access to its facilities and personnel for the purpose of providing on-site and/or online training to such personnel. Client shall cooperate with EMSIMC and facilitate any training that EMSIMC wishes to provide.
- j. Client shall complete EMS|MC's online training course within 90 days of the contract start date and all new hires will complete EMS|MC's online documentation training within 90 days of hire date. Newly developed training materials by EMS|MC should be mutually agreed upon by the parties to be required training.
- k. Client shall comply with all applicable federal, state, and local laws, rules, regulations, and other legal requirements that in any way affect this Agreement or the duties and responsibilities of the parties hereunder.

#### 4. EMSIMC WEB PORTALS.

- a. EMSIMC shall provide Client and those individuals appointed by Client ("Users") with access to EMSIMC Web Portals (the "Portals"), which shall be subject to the applicable Terms of Use found on the Portals. To be appointed as a User, the individual must be an employee of Client or otherwise approved by Client and EMSIMC. Client is responsible for all activity of Users and others accessing or using the Portals through or on behalf of Client including, but not limited to, ensuring that Users do not share credentials for accessing the Portals. Client is also responsible for (i) identifying individuals who Client determines should be Users; (ii) determining and notifying EMSIMC of each User's rights; (iii) monitoring Users' access to and use of the Portals; (iv) acting upon any suspected or unauthorized access of information through the Portals; (v) ensuring each User's compliance with this Agreement and the Terms of Use governing the use of the Portals; and (vi) notifying EMSIMC to deactivate a User account whenever a User's employment, contract or affiliation with Client is terminated or Client otherwise desires to suspend or curtail a User's access to and use of the Portals. Client agrees to follow best practices to ensure compliance with this provision.
- b. Client acknowledges that EMS|MC may suspend or terminate any User's access to the Portals (i) for noncompliance with this Agreement or the applicable Terms of Use; (ii) if such User poses a threat to the security or integrity of the Portals or information available therein; (iii) upon termination of Client; or (iv) upon notice of

suspension or termination of such User by Client. Client may suspend or terminate a User's access to the Portals at any time.

#### 5. COMPENSATION OF EMSIMC.

- a. Client shall pay a fee for the Services of EMSIMC hereunder, on a monthly basis, in an amount equal to 5.75% percent of "Net Collections" as defined below (the "RCM Fee"). Net Collections shall mean all cash and check amounts including electronic fund transfers (EFTs) received by EMSIMC from payers, patients, attorney's offices, court settlements, collection agencies, government institutions, debt set-off programs, group health insurance plans, private payments, credit cards, healthcare facilities or any person or entity submitting funds on a patient's account, or any amounts paid directly to Client with or without the knowledge of EMSIMC that are paid, tendered, received or collected each month for Client's transports, less refunds processed or any other necessary adjustments to those amounts. Price adjustments for such services shall be allowed at the completion of each contract year. Price adjustments shall not exceed the change in the average of the Consumer Price Index (CPI) for Southeast Urban Consumers, Not Seasonally Adjusted, Area: U.S. city average, Item: All item, Base Period: 1982-84=100 over the twelve months prior.
- b. Client shall also pay any fees associated with the Hardware or Software as set forth in the applicable Exhibit (the "Hardware Fee" and "Software Fee", respectively). Together, the RCM Fee, the Hardware Fee and the Software Fee are referred to as the "Compensation".
- c. EMS|MC shall submit an invoice to Client by the tenth (10th) day of each month for the Compensation due to EMS|MC for the previous calendar month. The Compensation amount reflected on the invoice shall be paid in full by the 20th day of the month in which the invoice is first presented to Client (the "Payment Date"). Such amount shall be paid without offset unless the calculation of the amount is disputed in good faith, in which case Client shall pay the undisputed amount and shall provide EMS|MC with detailed written notice of the basis for the disputed portion no later than the Payment Date. Any invoices not disputed in writing by the Payment Date shall be deemed "undisputed" for all purposes of the Agreement. All invoices are to be paid directly from Client's banking institution to EMS|MC via paper check, direct deposit or ACH draft initiated by EMS|MC into EMS|MC's bank account.
- d. In the event of a material change to applicable law, the billing process and/or scope of Services provided in this Agreement or a material difference in any of the patient demographics provided by the Client and set forth in Exhibit A, EMS|MC reserves

the right to negotiate a fee change with Client and amend this Agreement accordingly or terminate this Agreement.

e. EMS|MC may, in its sole discretion, immediately cease to provide Services for Client should the outstanding balance owed to EMS|MC become in arrears. Claims processing will not resume until all outstanding balances are paid in full or arrangements approved by EMS|MC have been made to wholly resolve any outstanding balances.

#### 6. TERM OF AGREEMENT.

- a. This Agreement shall be effective commencing on July 1, 2018 and shall thereafter continue through June 30, 2020 ("Initial Term"). This Agreement shall be binding upon the parties hereto and their respective successors, assigns, and transferees. The Agreement shall have the option to automatically renew on the same terms and conditions as stated herein, for three (3) successive one (1) year terms (each a "Renewal Term"), unless either party gives written notice of intent not to renew at least 90 days before expiration of any term. Notwithstanding anything herein to the contrary, this Agreement may be terminated under the provisions provided below. (The Initial Term and any Renewal Terms are referred to as the "Term".)
- b. **Termination for Cause**. Notwithstanding Section 6(a), either party may terminate this Agreement if the other party materially breaches this Agreement, unless (i) the breaching party cures the breach within 10 days following receipt of notice describing the breach in reasonable detail, or (ii) with respect to a breach which may not reasonably be cured within a 10-day period, the breaching party commences, is diligently pursuing cure of, and cures the breach as soon as practical following receipt of notice describing the breach in reasonable detail.
- c. **Immediate Termination**. Either party may terminate this Agreement immediately as a result of the following:
  - i. Failure of Client to make timely payments due under this Agreement;
  - ii. Injury to any customer, independent contractor, employee or agent of the other party hereto arising from the gross negligence or willful misconduct of a party;
  - iii. Harassment of any employee or contractor of a party or commitment of any act by a party which creates an offensive work environment; or
  - iv. Commitment of any unethical or immoral act which harms the other party or could have the effect of harming the other party.

d. **Termination for Convenience.** Either party may terminate this Agreement for convenience without further obligation upon giving the other party ninety (90) days written notice before the effective date of the termination.

#### 7. RESPONSIBILITIES UPON TERMINATION.

- a. Subject to Client's payment of all amounts due hereunder, upon any termination of this Agreement, and during the period of any notice of termination, EMSIMC will make available to Client or its authorized representatives data from the billing system regarding open accounts in an electronic format, and will otherwise reasonably cooperate and assist in any transition of the Services to Client, or its successor billing agent. Upon request, EMSIMC will provide to Client trip data associated with the claims submitted by EMSIMC on behalf of Client pursuant to this Agreement. EMSIMC shall retain financial and billing records not tendered or returned to Client on termination hereof for at least ten (10) years following the date of service.
- b. Following termination of this Agreement, for a period of ninety (90) days (the "Wind Down"), EMSIMC will continue its billing and collection efforts as to those accounts with dates of services prior to termination, subject to the terms and conditions of this Agreement including, but not limited to, Section 5. Client will continue to provide EMSIMC with copies of checks and payments on those accounts which were filed by EMSIMC under this Agreement. EMSIMC shall have no further responsibilities as to such accounts after the Wind Down; however, EMSIMC shall be entitled to compensation as provided in Section 5(a) for such amounts filed by EMSIMC, regardless of whether such amounts are collected by Client during or after the Wind Down period. During the Wind Down and for up to twelve months following termination of this Agreement, EMSIMC shall continue to make the Portals available to Client, subject the applicable Terms of Use. Notwithstanding the foregoing, in the event EMSIMC terminated this Agreement pursuant to Sections 6(b) or 6(c), EMSIMC shall have no obligation to provide any Services after the date of termination.

#### 8. EXCLUSIVITY AND MISCELLANEOUS BILLING POLICIES.

- a. During the term of this Agreement, EMS|MC shall be Client's exclusive provider of the RCM Services. Client may not directly file, submit or invoice for any medical or medical transportation services rendered while this Agreement is in effect.
- b. In addition, Client agrees not to collect or accept payment for services from any patient unless the service requested does not meet coverage requirements under any insurance program in which the patient is enrolled or the patient is uninsured. Payments received directly by Client for these services must be reported to EMSIMC as

provided in Section 3(f) hereof and shall be treated as Net Collections for purposes of Section 5(a) hereof.

- c. In compliance with CMS regulations, Medicare patients will not be charged by Client a higher rate or amount for identical covered services charged to other insurers or patients. Accordingly, only one fee schedule shall exist and be used in determining charges for all patients regardless of insurance coverage.
- d. EMSIMC reserves the right not to submit a claim for reimbursement on any patient in which the PCR and/or associated medical records are incomplete or appear to be inaccurate or do not contain enough information to substantiate or justify reimbursement. This includes missing patient demographic information, insurance information, Physician Certification Statements (PCS) or any required crew and/or patient signatures, or otherwise contradictory medical information.
- e. Client shall implement and maintain a working compliance plan ("Compliance Plan") in accordance with the most current guidelines of the U.S. Department of Health and Human Services ("HHS"). The Compliance Plan must include, but not be limited to, formal written policies and procedures and standards of conduct, designation of a compliance officer, quality assurance policy and effective training and education programs.
- f. In accordance with the HHS Office of Inspector General ("OIG") Compliance Program Guidance for Third-Party Medical Billing Companies, EMS|MC is obligated to report misconduct to the government, if EMS|MC discovers credible evidence of Client's continued misconduct or flagrant, fraudulent or abusive conduct. In the event of such evidence, EMS|MC has the right to (a) refrain from submitting any false or inappropriate claims, (b) terminate this Agreement and/or (c) report the misconduct to the appropriate authorities.
- 9. NON-INTERFERENCE/NON-SOLICITATION OF EMSIMC EMPLOYEES. Client understands and agrees that the relationship between EMSIMC and each of its employees constitutes a valuable asset of EMSIMC. Accordingly, Client agrees that both during the term of this Agreement and for a period beginning on the date of termination of this Agreement, whatever the reason, and ending three (3) years after the date of termination of this Agreement (the "Restricted Period"), Client shall not, without EMSIMC's prior written consent, directly or indirectly, solicit or recruit for employment or attempt to solicit or recruit for employment EMSIMC's current employees with whom Client had material contact during the term of this Agreement, in any position where Client would receive from such employees the same or similar services that EMSIMC performed for Client during the term of this Agreement. Client also agrees during the Restricted

Period not to unlawfully urge, encourage, induce, or attempt to urge, encourage, or induce any employee of EMS|MC to terminate his or her employment with EMS|MC. Client has carefully read and considered the provisions of Section 9 hereof, and having done so, agrees that the restrictions set forth in such section (including, but not limited to, the time period) are fair and reasonable and are reasonably required for the protection of the legitimate interests of EMS|MC, its officers, directors, shareholders, and employees.

#### 10.PRIVACY.

a. Confidentiality. The Parties acknowledge that they will each provide to the other Confidential Information as part of carrying out the terms of this Agreement. EMSIMC and Client will be both a Receiving Party and a Disclosing Party at different times. The Receiving Party agrees that it will not (i) use any such Confidential Information in any way, except for the exercise of its rights and performance of its obligations under this Agreement, or (ii) disclose any such Confidential Information to any third party, other than furnishing such Confidential Information to its employees, consultants, and subcontractors, who are subject to the safeguards and confidentiality obligations contained in this Agreement and who require access to the Confidential Information in the performance of the obligations under this Agreement. In the event that the Receiving Party is required by applicable law to make any disclosure of any of the Disclosing Party's Confidential Information, by subpoena, judicial or administrative order or otherwise, the Receiving Party will first give written notice of such requirement to the Disclosing Party, and will permit the Disclosing Party to intervene in any relevant proceedings to protect its interests in the Confidential Information, and provide full cooperation and assistance to the Disclosing Party in seeking to obtain such protection, at the Disclosing Party's sole expense. "Confidential Information" means the provisions of the Agreement (including, but not limited to, the financial terms herein) and any information disclosed by a Party (the "Disclosing Party") to the other Party (the "Receiving Party"). Information will not be deemed Confidential Information hereunder if the Receiving Party can prove by documentary evidence that such information: (a) was known to the Receiving Party prior to receipt from the Disclosing Party directly or indirectly from a source other than one having an obligation of confidentiality to the Disclosing Party; (b) becomes known (independently of disclosure by the Disclosing Party) to the Receiving Party directly or indirectly from a source other than one having an obligation of confidentiality to the Disclosing Party; (c) becomes publicly known or otherwise ceases to be secret or confidential, except through a breach of this Agreement by the Receiving Party; or (d) is independently developed by the Receiving Party without the use of any Confidential Information of the Disclosing Party

b. HIPAA Compliance. The parties agree to comply with the Business Associate Addendum, attached hereto and incorporated by reference herein as Attachment 1, documenting the assurances and other requirements respecting the use and disclosure of Protected Health Information. It is Client's responsibility to ensure that it obtains all appropriate and necessary authorizations and consents to use or disclose any individually identifiable health information in compliance with all federal and state privacy laws, rules and regulations, including but not limited to the Health Insurance Portability and Accountability Act. In the event that this Agreement is, or activities permitted or required by this Agreement are, inconsistent with or do not satisfy the requirements of any applicable privacy or security law, rule or regulation, the parties shall take any reasonably necessary action to remedy such inconsistency.

### 11.DISCLAIMERS, LIMITATIONS OF LIABILITY AND DISPUTE RESOLUTION

- a. Each Party acknowledges that the liability limitations and warranty disclaimers in the Agreement are independent of any remedies hereunder and shall apply regardless of whether any remedy fails of its essential purpose. Client acknowledges that the limitations of liability set forth in this Agreement are integral to the amount of consideration offered and charged in connection with the Services and that, were EMSIMC to assume any further liability other than as provided in the Agreement, such consideration would of necessity be set substantially higher.
- b. EMSIMC and Client acknowledge and agree that despite their best efforts, billing errors may occur from time to time. Each party will promptly notify the other party of the discovery of a billing error. EMSIMC's obligation in the event of a billing error will be to correct the error by making appropriate changes to the information in its system, posting a refund if appropriate, and re-billing the underlying claim if permissible.
- c. A "Claim" is defined as any claim or other matter in dispute between EMSIMC and Client that arises from or relates in any way to this Agreement or to the Services, hardware, software, or data provided by EMSIMC hereunder, regardless of whether such claim or matter is denominated as a contract claim, tort claim, warranty claim, indemnity claim, statutory claim, arbitration demand, or otherwise.
- d. To the fullest extent allowed by law, the total liability of EMSIMC to Client regarding any and all Claims shall be capped at, and shall in no event exceed, the total fees paid by Client to EMSIMC under this Agreement in the twelve (12) months prior to the event giving rise to the Claim (the "Liability Cap"). All amounts that may be potentially awarded against EMSIMC in connection with a Claim are included in and subject to the Liability Cap, and shall not cause the Liability Cap to be exceeded, including, without

limitation, all direct compensatory damages, interest, costs, expenses, and attorneys' fees. Provided, however, that nothing in the foregoing shall be construed as an admission of liability by EMS|MC in any amount or as a waiver or compromise of any other defense that may be available to EMS|MC regarding any Claim.

- e. To the fullest extent allowed by law, and notwithstanding any statute of limitations, statute of repose, or other legal time limit to the contrary, no Claim shall be brought by Client against EMS|MC after the earlier of the following to occur (the "Claim Time Limit"): (i) the time period for bringing an action under any applicable state or federal statute of limitations or (ii) one (1) year after the date upon which Client discovered, or should have discovered, the facts giving rise to an alleged claim. Any Claim not brought within the Claim Time Limit is waived. The Claim Time Limit applies, without limitation, to any Claim brought in arbitration under the arbitration clause below, and shall be deemed to have been satisfied if an arbitration demand asserting such Claim is received by the American Arbitration Association (or other arbitration administrator as may be mutually agreed on by EMS|MC and Client) within the Claim Time Limit. Notwithstanding the foregoing, if a Claim has been asserted in arbitration within the Claim Time Limit, a proceeding in court to confirm, enforce, vacate, modify, correct, or amend an arbitration award resulting from such arbitration may be brought outside the Claim Time Limit as long as it is brought within the time period required by applicable law.
- f. TO THE FULLEST EXTENT ALLOWED BY LAW, EMSIMC AND CLIENT WAIVE CLAIMS AGAINST EACH OTHER FOR CONSEQUENTIAL, INDIRECT, INCIDENTAL, SPECIAL, PUNITIVE, EXEMPLARY, AND TREBLE DAMAGES, AND FOR ANY OTHER DAMAGES IN EXCESS OF DIRECT, COMPENSATORY DAMAGES INCLUDING, BUT NOT LIMITED TO, LOSS OF PROFITS, LOSS OF DATA, OR LOSS OF BUSINESS, REGARDLESS OF WHETHER SUCH CLAIM OR MATTER IS DENOMINATED AS A CONTRACT CLAIM, TORT CLAIM, WARRANTY CLAIM, INDEMNITY CLAIM, STATUTORY CLAIM, ARBITRATION DEMAND, OR OTHERWISE, EVEN IF A PARTY HAS BEEN APPRISED OF THE POSSIBILITY OR LIKELIHOOD OF SUCH DAMAGES OCCURRING (the "Non-Direct Damages Waiver").
- g. Subject to the Liability Cap, the Claim Time Limit and the Non-Direct Damages Waiver, EMS|MC agrees to indemnify, hold harmless, and defend Client, with reasonably acceptable counsel, from and against any fines, penalties, damages, and judgments that Client becomes legally obligated to pay to a third party proximately caused by EMS|MC's negligence or misconduct. Provided, however, that this indemnity is subject to the following further conditions and limitations: (i) Client must provide prompt written

notice to EMS|MC of the matter for which indemnity is or may be sought, within such time that no right of EMS|MC is prejudiced, and in no event no later than thirty (30) days after Client first becomes aware of the facts that give rise or may give rise to a right of indemnity; (ii) Client must allow EMS|MC the opportunity to direct and control the defense and handling of the matter for which indemnity is or may be sought; (iii) Client must not agree to any settlement or other voluntary resolution of a matter for which indemnity is or may be sought without EMS|MC's express consent; and (iv) Client shall not seek or be entitled to indemnify for amounts that Client reimburses or refunds to Medicaid, Medicare, any governmental entity, any insurer, or any other payer as a result of medical services or medical transportation services for which Client should not have received payment in the first place under applicable rules, regulations, standards and policies. Client waives all rights of indemnity against EMS|MC not in accordance with this subsection.

- h. The Liability Cap and the Claim Time Limit do not apply to claims alleging gross negligence or willful misconduct.
- i. All Claims between EMS|MC and Client shall be resolved by binding arbitration under the Commercial Arbitration Rules of the American Arbitration Association then in effect, except that either party may, at that party's option, seek appropriate equitable relief in any court having jurisdiction. The hearing in such arbitration proceeding shall take place in Augusta, Georgia, or in such other location as may be mutually agreed on by EMS|MC and Client. The arbitrator in such proceeding, or if more than one arbitrator, each arbitrator, shall be an attorney with at least fifteen (15) years of experience in commercial litigation or in health care law. The arbitrator(s) shall have no authority to enter an award against EMS|MC that: (i) exceeds the Liability Cap; (ii) is based on a Claim brought after the Claim Time Limit; (iii) includes any damages waived by the Non-Direct Damages Waiver; or (iv) is otherwise in contravention of this Agreement. An award entered by the arbitrator(s) shall be enforceable in the United States District Court for the Southern District of Georgia or in any other court having jurisdiction.

#### 12. GENERAL.

- a. <u>Status of Parties</u>. Nothing contained in this Agreement shall be construed as establishing a partnership or joint venture relationship between EMS|MC and Client, or as establishing an agency relationship beyond EMS|MC's service as a billing and collection agent of Client under the express terms of this Agreement. EMS|MC and its employees and representatives shall have no legal authority to bind Client.
- b. <u>Assignment</u>. Neither this Agreement nor any rights or obligations hereunder shall be assigned by either party without prior written consent of the other party, except

that this Agreement may be assigned without consent to the survivor in any merger or other business combination including either party, or to the purchaser of all or substantially all of the assets of either party.

- c. <u>Binding Effect</u>. This Agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors, assigns (where permitted), and transferees.
- d. <u>Notices</u>. All notices required or permitted by this Agreement shall be in writing and shall be deemed to have been given: (i) on the day received, if personally delivered; (ii) on the day received if sent by a recognized overnight delivery service, according to the courier's record of delivery; and (iii) on the 5th (fifth) calendar day after the date mailed by certified or registered mail. Such notices shall be addressed as follows:

#### Client:

Augusta, Georgia Fire Department Fire Chief 3117 Deans Bridge Road Augusta, GA 30906

With copy to:
Augusta, Georgia Law Department
General Counsel
535 Telfair Street, Building 3000
Augusta, Georgia 30901

#### EMS|MC:

EMS Management & Consultants, Inc. Chief Executive Officer 2540 Empire Drive Suite 100 Winston-Salem, NC 27103

Either party may change its address for notices under this Agreement by giving written notice of such change to the other party in accordance with the terms of this section.

- e. Governing Law and Venue. This Agreement and the rights and obligations of the parties hereunder shall be construed in accordance with and governed by the laws of the State of Georgia, notwithstanding any conflicts of law rules to the contrary. All claims, disputes, and other matters in question between Client and EMSIMC arising out of or relating to the Agreement, or the breach thereof, that are not otherwise decided by the dispute resolution methods contained herein, shall be decided in the Superior Court of Richmond County, Georgia or the United States District Court for the Southern District of Georgia, Augusta Division. EMSIMC, by executing this Agreement, specifically consents to jurisdiction and venue in Richmond County, Georgia.
- f. Integration of Terms. This instrument together with all attachments, exhibits and schedules constitutes the entire agreement between the parties, and supersedes all prior negotiations, commitments, representations and undertakings of the parties with respect to its subject matter. RFP #18-149 and EMSIMC's response thereto are hereby incorporated as though fully stated herein and are part of this instrument. Priority of documents shall be: (1) this Agreement, (2) RFP #18-149, and (3) EMSIMC's response to RFP #18-149.
- g. Amendment and Waiver. This Agreement may be amended or modified only by an instrument signed by all of the parties. A waiver of any provision of this Agreement must be in writing, designated as such, and signed by the party against whom enforcement of the waiver is sought. The waiver of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent or other breach thereof.
- h. <u>Severability.</u> If any provision of this Agreement shall not be valid for any reason, such provision shall be entirely severable from, and shall have no effect upon, the remainder of this Agreement. Any such invalid provision shall be subject to partial enforcement to the extent necessary to protect the interest of the parties hereto.
- i. <u>Force Majeure</u>. With the exception of Client's payment obligation, a Party will not be in breach or liable for any delay of its performance of this Agreement caused by natural disasters or other unexpected or unusual circumstances reasonably beyond its control.
- j. <u>Third Party Beneficiaries</u>. There are no third-party beneficiaries to this Agreement.
- k. <u>Counterparts</u>. This Agreement may be executed in multiple counterparts by a duly authorized representative of each party.

- I. <u>Survival</u>. All terms which by their nature survive termination shall survive termination or expiration of the Agreement including, but not limited to, Sections 3(c), 3(f) (h), 5(a), 5(c), 7, 9 12.
- m. Prohibition Against Contingent Fees. EMSIMC warrants that no person or selling agency has been employed or retained to solicit or secure this Agreement upon an agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by EMSIMC for the purpose of securing business and that EMSIMC has not received any non-Client fee related to this Agreement without prior written consent of Client. For breach or violation of this warranty, Client shall have the right to annul this Agreement without liability or at its discretion deduct from the Compensation the full amount of such commission, percentage, brokerage, or contingent fee.
- n. Temporary Suspension or Delay of Performance of Contract. To the extent that it does not alter the scope of this Agreement. Client may unilaterally order a temporary stopping of the work or delay of the work to be performed by EMSIMC under this Agreement.
- o. <u>EMS|MC Insurance</u>. EMS|MC shall at all times that this Agreement is in effect, caused to be maintained in force and effect an insurance policy(s) that will ensure and indemnify Augusta against liability or financial loss resulting from injuries occurring to persons or property or occurring as a result of any negligent error, act, or omission of EMS|MC in performance of the work during the term of this Agreement. EMS|MC shall provide, at all times that this Agreement is in effect, insurance with limits of not less than:
  - i. Workmen's Compensation Insurance: in accordance with the State of North Carolina;
  - ii. Professional Liability Insurance: in an amount of not less than One Million (\$1,000,000) Dollars or an amount that correlates to the aggregate fee on the project should it exceed \$1,000,000.

All policies of insurance required under this Paragraph will provide that they may not be canceled nor the coverage materially changed without thirty (30) days prior written notice to Client.

p. Modification or amendment. EMS|MC acknowledges that this contract and any changes to it by amendment, modification, change order or other similar document may have required or may require the legislative authorization of the Board of Commissioners and signature of the Mayor. Under Georgia law, EMS|MC is deemed to possess knowledge concerning Augusta, Georgia's ability to assume contractual

obligations and the consequences of EMSIMC's provision of goods or services to Augusta, Georgia under an unauthorized contract, amendment, modification, change order or other similar document, including the possibility that the EMSIMC may be precluded from recovering payment for such unauthorized goods or services. Accordingly, EMSIMC agrees that if it provides goods or services to Augusta, Georgia under a contract that has not received proper legislative authorization or if the EMSIMC provides goods or services to Augusta, Georgia in excess of the any contractually authorized goods or services, as required by Augusta, Georgia's Charter and Code, Augusta, Georgia may withhold payment for any unauthorized goods or services provided by EMSIMC. EMSIMC assumes all risk of non-payment for the provision of any unauthorized goods or services to Augusta, Georgia, and it waives all claims to payment or to other remedies for the provision of any unauthorized goods or services to Augusta, Georgia, however characterized, including, without limitation, all remedies at law or equity.

q. Local Small Business Program. In accordance with Chapter 10B of the Augusta, GA. Code, EMSIMC agree to collect and maintain all records necessary to for Augusta, Georgia to evaluate the effectiveness of its Local Small Business Opportunity Program and to make such records available to Augusta, Georgia upon request. The requirements of the Local Small Business Opportunity Program can be found at www.augustaga.gov. In accordance with AUGUSTA, GA. CODE, EMSIMC shall report to Augusta, Georgia the total dollars paid to each subcontractor, vendor, or other business on each contract, and shall provide such payment affidavits, regarding payment to subcontractors, if any, as required by Augusta, Georgia. Such utilization reports shall be in the format specified by the Director of Minority and Small Business Opportunities, and shall be submitted at such times as required by Augusta, Georgia. Required forms can be found at www.augustaga.gov. If you need assistance completing a form or filing information, please contact the Local Small Business Opportunity Program Office at (706)821-2406. Failure to provide such reports within the time period specified by Augusta, Georgia shall entitle Augusta, Georgia to exercise any of the remedies set forth. including but not limited to, withholding payment from the contractor and/or collecting liquidated damages.

IN WITNESS WHEREOF, the undersigned have caused this Agreement to be duly executed on the later of the dates set forth below.

Each person whose signature appears hereon represents, warrants and guarantees that he/she has been duly authorized and has full authority to execute this Agreement on behalf of the party on whose behalf this Agreement is executed.

EMS MC:

**CLIENT**:

EMS Management & Consultants, Inc.

Print Name:

Date: 7/

Augusta, Georgia

Ву:

Print Name: Hardie Davis, Jr. "

Title: Mayor

Date:

8/15/18

Attest:
CH M

Lend Bonner
Clerk of Commission

# Exhibit A Patient Demographics Provided by Client

- 1. Projected annual billable trip volume: 3,000
- 2. Payor mix:

Medicare – 44.05% Medicaid – 13.18% Insurance – 19.72% Self-Pay – 23.03%

3. Run mix:

ALS-E - 59.90% BLS-E - 39.0% ALS2 - 1.10%

4. Loaded mileage: 6.0

## Attachment 1 Business Associate Addendum

This Business Associate Addendum (the "Addendum") is made effective the \_\_\_\_\_ day of April 2018, by and between City of Augusta hereinafter referred to as "Covered Entity," and EMS Management & Consultants, Inc., hereinafter referred to as "Business Associate" (individually, a "Party" and collectively, the "Parties").

#### WITNESSETH:

WHEREAS, the Parties wish to enter into a Business Associate Addendum to ensure compliance with the Privacy and Security Rules of the Health Insurance Portability and Accountability Act of 1996 ("HIPAA Privacy and Security Rules") (45 C.F.R. Parts 160 and 164); and

WHEREAS, the Health Information Technology for Economic and Clinical Health ("HITECH") Act of the American Recovery and Reinvestment Act of 2009, Pub. L. 111-5, modified the HIPAA Privacy and Security Rules (hereinafter, all references to the "HIPAA Privacy and Security Rules" include all amendments thereto set forth in the HITECH Act and any accompanying regulations); and

WHEREAS, the Parties have entered into a Billing Services Agreement (the "Agreement") whereby Business Associate will provide certain services to Covered Entity and, pursuant to such Agreement, Business Associate may be considered a "business associate" of Covered Entity as defined in the HIPAA Privacy and Security Rules; and

WHEREAS, Business Associate may have access to Protected Health Information or Electronic Protected Health Information (as defined below) in fulfilling its responsibilities under the Agreement; and

WHEREAS, Covered Entity wishes to comply with the HIPAA Privacy and Security Rules, and Business Associate wishes to honor its obligations as a Business Associate to Covered Entity.

THEREFORE, in consideration of the Parties' continuing obligations under the Agreement, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree to the provisions of this Addendum.

#### I. **DEFINITIONS**

Except as otherwise defined herein, any and all capitalized terms in this Addendum shall have the definitions set forth in the HIPAA Privacy and Security Rules. In the event of an inconsistency between the provisions of this Addendum and mandatory provisions of the HIPAA Privacy and Security Rules, as amended, the HIPAA Privacy and Security Rules in effect at the time shall control. Where provisions of this Addendum are different than those mandated by the HIPAA Privacy and Security Rules, but are nonetheless permitted by the HIPAA Privacy and Security Rules, the provisions of this Addendum shall control.

The term "Breach" means the unauthorized acquisition, access, use, or disclosure of protected health information which compromises the security or privacy of such information, except where an unauthorized person to whom such information is disclosed would not reasonably have been able to retain such information. The term "Breach" does **not** include: (1) any unintentional acquisition, access, or use of protected health information by any employee or individual acting under the authority of a covered entity

or business associate if (a) such acquisition, access, or use was made in good faith and within the course and scope of the employment or other professional relationship of such employee or individual, respectively, with the covered entity or business associate, and (b) such information is not further acquired, accessed, used, or disclosed by any person; or (2) any inadvertent disclosure from an individual who is otherwise authorized to access protected health information at a facility operated by a covered entity or business associate to another similarly situated individual at same facility; and (3) any such information received as a result of such disclosure is not further acquired, accessed, used, or disclosed without authorization by any person.

The term "Electronic Health Record" means an electronic record of health-related information on an individual that is created, gathered, managed, and consulted by authorized health care clinicians and staff.

The term "HIPAA Privacy and Security Rules" refers to 45 C.F.R. Parts 160 and 164 as currently in effect or hereafter amended.

The term "Protected Health Information" means individually identifiable health information as defined in 45 C.F.R § 160.103, limited to the information Business Associate receives from, or creates, maintains, transmits, or receives on behalf of, Covered Entity.

The term "Electronic Protected Health Information" means Protected Health Information which is transmitted by or maintained in Electronic Media (as now or hereafter defined in the HIPAA Privacy and Security Rules).

The term "Secretary" means the Secretary of the Department of Health and Human Services.

The term "Unsecured Protected Health Information" means Protected Health Information that is not rendered unusable, unreadable, or indecipherable to unauthorized individuals through the use of a technology or methodology specified by the Secretary in guidance published in the Federal Register at 74 Fed. Reg. 19006 on April 27, 2009 and in annual guidance published thereafter.

#### II. PERMITTED USES AND DISCLOSURES BY BUSINESS ASSOCIATE

- a. Business Associate may use or disclose Protected Health Information to perform functions, activities, or services for, or on behalf of, Covered Entity as specified in the Agreement or this Addendum, provided that such use or disclosure would not violate the HIPAA Privacy and Security Rules if done by Covered Entity. Until such time as the Secretary issues regulations pursuant to the HITECH Act specifying what constitutes "minimum necessary" for purposes of the HIPAA Privacy and Security Rules, Business Associate shall, to the extent practicable, disclose only Protected Health Information that is contained in a limited data set (as defined in Section 164.514(e)(2) of the HIPAA Privacy and Security Rules), unless the person or entity to whom Business Associate is making the disclosure requires certain direct identifiers in order to accomplish the intended purpose of the disclosure, in which event Business Associate may disclose only the minimum necessary amount of Protected Health Information to accomplish the intended purpose of the disclosure.
- b. Business Associate may use Protected Health Information in its possession for its proper management and administration and to fulfill any present or future legal responsibilities of Business Associate, provided that such uses are permitted under state and federal confidentiality laws.
- c. Business Associate may disclose Protected Health Information in its possession to third parties for the purposes of its proper management and administration or to fulfill any present or future legal responsibilities of Business Associate, provided that:

- 1. the disclosures are required by law; or
- 2. Business Associate obtains reasonable assurances from the third parties to whom the Protected Health Information is disclosed that the information will remain confidential and be used or further disclosed only as required by law or for the purpose for which it was disclosed to the third party, and that such third parties will notify Business Associate of any instances of which they are aware in which the confidentiality of the information has been breached.
- d. Until such time as the Secretary issues regulations pursuant to the HITECH Act specifying what constitutes "minimum necessary" for purposes of the HIPAA Privacy and Security Rules, Business Associate shall, to the extent practicable, access, use, and request only Protected Health Information that is contained in a limited data set (as defined in Section 164.514(e)(2) of the HIPAA Privacy and Security Rules), unless Business Associate requires certain direct identifiers in order to accomplish the intended purpose of the access, use, or request, in which event Business Associate may access, use, or request only the minimum necessary amount of Protected Health Information to accomplish the intended purpose of the access, use, or request. Covered Entity shall determine what quantum of information constitutes the "minimum necessary" amount for Business Associate to accomplish its intended purposes.
- e. Business Associate may use Protected Health Information to de-identify such information in accordance with 45 C.F.R. § 164.514(b) for Business Associate's own business purposes or in connection with the services provided pursuant to the Agreement or to provide Data Aggregation services to Customer as permitted by 45 C.F.R. 164.504(e)(2)(i)(b). Once the Protected Health Information has been de-identified or aggregated, it is no longer considered Protected Health Information governed by this Addendum.

#### III. OBLIGATIONS AND ACTIVITIES OF BUSINESS ASSOCIATE

- a. Business Associate acknowledges and agrees that all Protected Health Information that is created or received by Covered Entity and disclosed or made available in any form, including paper record, oral communication, audio recording, and electronic display by Covered Entity or its operating units to Business Associate or is created or received by Business Associate on Covered Entity's behalf shall be subject to this Addendum.
- b. Business Associate agrees to not use or further disclose Protected Health Information other than as permitted or required by the Agreement, this Addendum or as required by law.
- c. Business Associate agrees to use appropriate safeguards to prevent use or disclosure of Protected Health Information other than as provided for by this Addendum. Specifically, Business Associate will:
- 1. implement the administrative, physical, and technical safeguards set forth in Sections 164.308, 164.310, and 164.312 of the HIPAA Privacy and Security Rules that reasonably and appropriately protect the confidentiality, integrity, and availability of any Protected Health Information that it creates, receives, maintains, or transmits on behalf of Covered Entity, and, in accordance with Section 164.316 of the HIPAA Privacy and Security Rules, implement and maintain reasonable and appropriate policies and procedures to enable it to comply with the requirements outlined in Sections 164.308, 164.310, and 164.312; and
- 2. report to Covered Entity any use or disclosure of Protected Health Information not provided for by this Addendum of which Business Associate becomes aware. Business Associate shall report to Covered Entity any Security Incident of which it becomes aware. Notice is deemed to have been

given for unsuccessful Security Incidents, such as (i) "pings" on an information system firewall; (ii) port scans; (iii) attempts to log on to an information system or enter a database with an invalid password or user name; (iv) denial-of-service attacks that do not result in a server being taken offline; or (v) malware (e.g., a worms or a virus) that does not result in unauthorized access, use, disclosure, modification or destruction of Protected Health Information.

- d. Business Associate agrees to ensure that any agent, including a subcontractor, to whom it provides Protected Health Information received from, or created or received by Business Associate on behalf of Covered Entity, agrees to the same restrictions and conditions that apply through this Addendum to Business Associate with respect to such information.
- e. Business Associate agrees to comply with any requests for restrictions on certain disclosures of Protected Health Information to which Covered Entity has agreed in accordance with Section 164.522 of the HIPAA Privacy and Security Rules and of which Business Associate has been notified by Covered Entity. In addition, and notwithstanding the provisions of Section 164.522 (a)(1)(ii), Business Associate agrees to comply with an individual's request to restrict disclosure of Protected Health Information to a health plan for purposes of carrying out payment or health care operations if the Protected Health Information pertains solely to a health care item or service for which Covered Entity has been paid by in full by the individual or the individual's representative.
- f. At the request of the Covered Entity and in a reasonable time and manner, not to extend ten (10) business days, Business Associate agrees to make available Protected Health Information required for Covered Entity to respond to an individual's request for access to his or her Protected Health Information in accordance with Section 164.524 of the HIPAA Privacy and Security Rules. If Business Associate maintains Protected Health Information electronically, it agrees to make such Protected Health Information available electronically to the applicable individual or to a person or entity specifically designated by such individual, upon such individual's request.
- g. At the request of Covered Entity and in a reasonable time and manner, Business Associate agrees to make available Protected Health Information required for amendment by Covered Entity in accordance with the requirements of Section 164.526 of the HIPAA Privacy and Security Rules.
- h. Business Associate agrees to document any disclosures of and make Protected Health Information available for purposes of accounting of disclosures, as required by Section 164.528 of the HIPAA Privacy and Security Rules.
- i. Business Associate agrees that it will make its internal practices, books, and records relating to the use and disclosure of Protected Health Information received from, or created or received by Business Associate on behalf of, Covered Entity, available to the Secretary for the purpose of determining Covered Entity's compliance with the HIPAA Privacy and Security Rules, in a time and manner designated by the Secretary, subject to attorney-client and other applicable privileges.
- j. Business Associate agrees that, while present at any Covered Entity facility and/or when accessing Covered Entity's computer network(s), it and all of its employees, agents, representatives and subcontractors will at all times comply with any network access and other security practices, procedures and/or policies established by Covered Entity including, without limitation, those established pursuant to the HIPAA Privacy and Security Rules.
- k. Business Associate agrees that it will not directly or indirectly receive remuneration in exchange for any Protected Health Information of an individual without the written authorization of the individual or the individual's representative, except where the purpose of the exchange is:

- 1. for public health activities as described in Section 164.512(b) of the Privacy and Security Rules;
- 2. for research as described in Sections 164.501 and 164.512(i) of the Privacy and Security Rules, and the price charged reflects the costs of preparation and transmittal of the data for such purpose;
- 3. for treatment of the individual, subject to any further regulation promulgated by the Secretary to prevent inappropriate access, use, or disclosure of Protected Health Information:
- 4. for the sale, transfer, merger, or consolidation of all or part of Business Associate and due diligence related to that activity;
- 5. for an activity that Business Associate undertakes on behalf of and at the specific request of Covered Entity;
- 6. to provide an individual with a copy of the individual's Protected Health Information pursuant to Section 164.524 of the Privacy and Security Rules; or
- 7. other exchanges that the Secretary determines in regulations to be similarly necessary and appropriate as those described in this Section III.k.
- I. Business Associate agrees that it will not directly or indirectly receive remuneration for any written communication that encourages an individual to purchase or use a product or service without first obtaining the written authorization of the individual or the individual's representative, unless:
- 1. such payment is for a communication regarding a drug or biologic currently prescribed for the individual and is reasonable in amount (as defined by the Secretary); or
- the communication is made on behalf of Covered Entity and is consistent with the terms of this Addendum.
- m. Business Associate agrees that if it uses or discloses patients' Protected Health Information for marketing purposes, it will obtain such patients' authorization before making any such use or disclosure.
- n. Business Associate agrees to implement a reasonable system for discovery of breaches and method of risk analysis of breaches to meet the requirements of HIPAA, The HITECH Act, and the HIPAA Regulations, and shall be solely responsible for the methodology, policies, and procedures implemented by Business Associate.
- o. State Privacy Laws. Business Associate shall understand and comply with state privacy laws to the extent that state privacy laws are not preempted by HIPAA or The HITECH Act.

## IV. BUSINESS ASSOCIATE'S MITIGATION AND BREACH NOTIFICATION OBLIGATIONS

a. Business Associate agrees to mitigate, to the extent practicable, any harmful effect that is known to Business Associate of a use or disclosure of Protected Health Information by Business Associate in violation of the requirements of this Addendum.

- b. Following the discovery of a Breach of Unsecured Protected Health Information, Business Associate shall notify Covered Entity of such Breach without unreasonable delay and in no case later than forty-five (45) calendar days after discovery of the Breach. A Breach shall be treated as discovered by Business Associate as of the first day on which such Breach is known to Business Associate or, through the exercise of reasonable diligence, would have been known to Business Associate.
- c. Notwithstanding the provisions of Section IV.b., above, if a law enforcement official states to Business Associate that notification of a Breach would impede a criminal investigation or cause damage to national security, then:
- 1. if the statement is in writing and specifies the time for which a delay is required, Business Associate shall delay such notification for the time period specified by the official; or
- 2. if the statement is made orally, Business Associate shall document the statement, including the identity of the official making it, and delay such notification for no longer than thirty (30) days from the date of the oral statement unless the official submits a written statement during that time.

Following the period of time specified by the official, Business Associate shall promptly deliver a copy of the official's statement to Covered Entity.

- d. The Breach notification provided shall include, to the extent possible:
- 1. the identification of each individual whose Unsecured Protected Health Information has been, or is reasonably believed by Business Associate to have been, accessed, acquired, used, or disclosed during the Breach;
- 2. a brief description of what happened, including the date of the Breach and the date of discovery of the Breach, if known;
- 3. a description of the types of Unsecured Protected Health Information that were involved in the Breach, if known (such as whether full name, social security number, date of birth, home address, account number, diagnosis, disability code, or other types of information were involved);
- 4. any steps individuals should take to protect themselves from potential harm resulting from the Breach; and
- 5. a brief description of what Business Associate is doing to investigate the Breach, to mitigate harm to individuals, and to protect against any further Breaches.
- e. Business Associate shall provide the information specified in Section IV.d., above, to Covered Entity at the time of the Breach notification if possible or promptly thereafter as information becomes available. Business Associate shall not delay notification to Covered Entity that a Breach has occurred in order to collect the information described in Section IV.d. and shall provide such information to Covered Entity even if the information becomes available after the forty-five (45)-day period provided for initial Breach notification.

#### V. OBLIGATIONS OF COVERED ENTITY

a. Upon request of Business Associate, Covered Entity shall provide Business Associate with the notice of privacy practices that Covered Entity produces in accordance with Section 164.520 of the HIPAA Privacy and Security Rules.

- b. Covered Entity shall provide Business Associate with any changes in, or revocation of, permission by an individual to use or disclose Protected Health Information, if such changes affect Business Associate's permitted or required uses and disclosures.
- c. Covered Entity shall notify Business Associate of any restriction to the use or disclosure of Protected Health Information to which Covered Entity has agreed in accordance with Section 164.522 of the HIPAA Privacy and Security Rules, and Covered Entity shall inform Business Associate of the termination of any such restriction, and the effect that such termination shall have, if any, upon Business Associate's use and disclosure of such Protected Health Information.

#### VI. TERM AND TERMINATION

- a. Term. The Term of this Addendum shall be effective as of the date first written above, and shall terminate upon the later of the following events: (i) in accordance with Section VII.c., when all of the Protected Health Information provided by Covered Entity to Business Associate or created or received by Business Associate on behalf of Covered Entity is destroyed or returned to Covered Entity or, if such return or destruction is infeasible, when protections are extended to such information; or (ii) upon the expiration or termination of the Agreement.
- b. Termination for Cause. Upon Covered Entity's knowledge of a material breach of this Addendum by Business Associate and Business Associate's failure to cure such breach within thirty (30) days of receiving notice of same from Covered Entity, Covered Entity shall have the right to terminate this Addendum and the Agreement.

#### c. Effect of Termination.

- 1. Except as provided in paragraph 2. of this subsection, upon termination of this Addendum, the Agreement or upon request of Covered Entity, whichever occurs first, Business Associate shall return or destroy all Protected Health Information received from Covered Entity, or created or received by Business Associate on behalf of Covered Entity. This provision shall apply to Protected Health Information that is in the possession of subcontractors or agents of Business Associate. Neither Business Associate nor its subcontractors or agents shall retain copies of the Protected Health Information.
- 2. In the event that Business Associate determines that returning or destroying the Protected Health Information is infeasible, Business Associate shall provide to Covered Entity notification of the conditions that make return or destruction infeasible and shall extend the protections of this Addendum to such Protected Health Information and limit further uses and disclosures of such Protected Health Information to those purposes that make the return or destruction infeasible, for so long as Business Associate maintains such Protected Health Information.

#### VII. MISCELLANEOUS

- a. No Rights in Third Parties. Except as expressly stated herein, the Parties to this Addendum do not intend to create any rights in any third parties.
- b. Survival. The obligations of Business Associate under Section VII(c) of this Addendum shall survive the expiration, termination, or cancellation of this Addendum, the Agreement, and/or the business relationship of the parties, and shall continue to bind Business Associate, its agents, employees, contractors, successors, and assigns as set forth herein.

- c. Amendment. This Addendum may be amended or modified only in a writing signed by the Parties. The Parties agree that they will negotiate amendments to this Addendum to conform to any changes in the HIPAA Privacy and Security Rules as are necessary for Covered Entity to comply with the current requirements of the HIPAA Privacy and Security Rules. In addition, in the event that either Party believes in good faith that any provision of this Addendum fails to comply with the then-current requirements of the HIPAA Privacy and Security Rules or any other applicable legislation, then such Party shall notify the other Party of its belief in writing. For a period of up to thirty (30) days, the Parties shall address in good faith such concern and amend the terms of this Addendum, if necessary to bring it into compliance. If, after such thirty (30)-day period, the Addendum fails to comply with the HIPAA Privacy and Security Rules or any other applicable legislation, then either Party has the right to terminate this Addendum and the Agreement upon written notice to the other party.
- d. Independent Contractor. None of the provisions of this Addendum are intended to create, nor will they be deemed to create, any relationship between the Parties other than that of independent parties contracting with each other solely for the purposes of effecting the provisions of this Addendum and any other agreements between the Parties evidencing their business relationship.
- e. Interpretation. Any ambiguity in this Addendum shall be resolved in favor of a meaning that permits Covered Entity to comply with the HIPAA Privacy and Security Rules.
- f. Certain Provisions Not Effective in Certain Circumstances. The provisions of this Addendum relating to the HIPAA Security Rule shall not apply to Business Associate if Business Associate does not receive any Electronic Protected Health Information from or on behalf of Covered Entity.
- g. Ownership of Information. Covered Entity holds all right, title, and interest in and to the PHI and Business Associate does not hold and will not acquire by virtue of this Addendum or by virtue of providing goods or services to Covered Entity, any right, title, or interest in or to the PHI or any portion thereof.
- h. Entire Agreement. This Addendum is incorporated into, modifies and amends the Agreement, inclusive of all other prior amendments or modifications to such Agreement. The terms and provisions of this Addendum shall control to the extent they are contrary, contradictory or inconsistent with the terms of the Agreement. Otherwise, the terms and provisions of the Agreement shall remain in full force and effect and apply to this Addendum.

IN WITNESS WHEREOF, the Parties have executed this Addendum as of the day and year written above.

Each person whose signature appears hereon represents, warrants and guarantees that he/she has been duly authorized and has full authority to execute this Agreement on behalf of the party on whose behalf this Agreement is executed.

**Business Associate:** 

Covered Entity:

EMS Management & Consultants, Inc.

T. 34200

Title: CFO

Date: 7/18/19

City of Augusta

Print: LINE NE DAVIS DE

Title: MAYDR

Date: 8/15/18

# Attachment 1 Business Associate Addendum

This Business Associate Addendum (the "Addendum") is made effective the \_\_\_\_\_ day of April 2018, by and between City of Augusta hereinafter referred to as "Covered Entity," and EMS Management & Consultants, Inc., hereinafter referred to as "Business Associate" (individually, a "Party" and collectively, the "Parties").

#### WITNESSETH:

WHEREAS, the Parties wish to enter into a Business Associate Addendum to ensure compliance with the Privacy and Security Rules of the Health Insurance Portability and Accountability Act of 1996 ("HIPAA Privacy and Security Rules") (45 C.F.R. Parts 160 and 164); and

WHEREAS, the Health Information Technology for Economic and Clinical Health ("HITECH") Act of the American Recovery and Reinvestment Act of 2009, Pub. L. 111-5, modified the HIPAA Privacy and Security Rules (hereinafter, all references to the "HIPAA Privacy and Security Rules" include all amendments thereto set forth in the HITECH Act and any accompanying regulations); and

WHEREAS, the Parties have entered into a Billing Services Agreement (the "Agreement") whereby Business Associate will provide certain services to Covered Entity and, pursuant to such Agreement, Business Associate may be considered a "business associate" of Covered Entity as defined in the HIPAA Privacy and Security Rules; and

WHEREAS, Business Associate may have access to Protected Health Information or Electronic Protected Health Information (as defined below) in fulfilling its responsibilities under the Agreement; and

WHEREAS, Covered Entity wishes to comply with the HIPAA Privacy and Security Rules, and Business Associate wishes to honor its obligations as a Business Associate to Covered Entity.

THEREFORE, in consideration of the Parties' continuing obligations under the Agreement, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree to the provisions of this Addendum.

#### I. DEFINITIONS

Except as otherwise defined herein, any and all capitalized terms in this Addendum shall have the definitions set forth in the HIPAA Privacy and Security Rules. In the event of an inconsistency between the provisions of this Addendum and mandatory provisions of the HIPAA Privacy and Security Rules, as amended, the HIPAA Privacy and Security Rules in effect at the time shall control. Where provisions of this Addendum are different than those mandated by the HIPAA Privacy and Security Rules, but are nonetheless permitted by the HIPAA Privacy and Security Rules, the provisions of this Addendum shall control.

The term "Breach" means the unauthorized acquisition, access, use, or disclosure of protected health information which compromises the security or privacy of such information, except where an unauthorized person to whom such information is disclosed would not reasonably have been able to retain such information. The term "Breach" does **not** include: (1) any unintentional acquisition, access, or use of protected health information by any employee or individual acting under the authority of a covered entity

or business associate if (a) such acquisition, access, or use was made in good faith and within the course and scope of the employment or other professional relationship of such employee or individual, respectively, with the covered entity or business associate, and (b) such information is not further acquired, accessed, used, or disclosed by any person; or (2) any inadvertent disclosure from an individual who is otherwise authorized to access protected health information at a facility operated by a covered entity or business associate to another similarly situated individual at same facility; and (3) any such information received as a result of such disclosure is not further acquired, accessed, used, or disclosed without authorization by any person.

The term "Electronic Health Record" means an electronic record of health-related information on an individual that is created, gathered, managed, and consulted by authorized health care clinicians and staff.

The term "HIPAA Privacy and Security Rules" refers to 45 C.F.R. Parts 160 and 164 as currently in effect or hereafter amended.

The term "Protected Health Information" means individually identifiable health information as defined in 45 C.F.R § 160.103, limited to the information Business Associate receives from, or creates, maintains, transmits, or receives on behalf of, Covered Entity.

The term "Electronic Protected Health Information" means Protected Health Information which is transmitted by or maintained in Electronic Media (as now or hereafter defined in the HIPAA Privacy and Security Rules).

The term "Secretary" means the Secretary of the Department of Health and Human Services.

The term "Unsecured Protected Health Information" means Protected Health Information that is not rendered unusable, unreadable, or indecipherable to unauthorized individuals through the use of a technology or methodology specified by the Secretary in guidance published in the Federal Register at 74 Fed. Reg. 19006 on April 27, 2009 and in annual guidance published thereafter.

## II. PERMITTED USES AND DISCLOSURES BY BUSINESS ASSOCIATE

- a. Business Associate may use or disclose Protected Health Information to perform functions, activities, or services for, or on behalf of, Covered Entity as specified in the Agreement or this Addendum, provided that such use or disclosure would not violate the HIPAA Privacy and Security Rules if done by Covered Entity. Until such time as the Secretary issues regulations pursuant to the HITECH Act specifying what constitutes "minimum necessary" for purposes of the HIPAA Privacy and Security Rules, Business Associate shall, to the extent practicable, disclose only Protected Health Information that is contained in a limited data set (as defined in Section 164.514(e)(2) of the HIPAA Privacy and Security Rules), unless the person or entity to whom Business Associate is making the disclosure requires certain direct identifiers in order to accomplish the intended purpose of the disclosure, in which event Business Associate may disclose only the minimum necessary amount of Protected Health Information to accomplish the intended purpose of the disclosure.
- b. Business Associate may use Protected Health Information in its possession for its proper management and administration and to fulfill any present or future legal responsibilities of Business Associate, provided that such uses are permitted under state and federal confidentiality laws.
- c. Business Associate may disclose Protected Health Information in its possession to third parties for the purposes of its proper management and administration or to fulfill any present or future legal responsibilities of Business Associate, provided that:

- 1. the disclosures are required by law; or
- 2. Business Associate obtains reasonable assurances from the third parties to whom the Protected Health Information is disclosed that the information will remain confidential and be used or further disclosed only as required by law or for the purpose for which it was disclosed to the third party, and that such third parties will notify Business Associate of any instances of which they are aware in which the confidentiality of the information has been breached.
- d. Until such time as the Secretary issues regulations pursuant to the HITECH Act specifying what constitutes "minimum necessary" for purposes of the HIPAA Privacy and Security Rules, Business Associate shall, to the extent practicable, access, use, and request only Protected Health Information that is contained in a limited data set (as defined in Section 164.514(e)(2) of the HIPAA Privacy and Security Rules), unless Business Associate requires certain direct identifiers in order to accomplish the intended purpose of the access, use, or request, in which event Business Associate may access, use, or request only the minimum necessary amount of Protected Health Information to accomplish the intended purpose of the access, use, or request. Covered Entity shall determine what quantum of information constitutes the "minimum necessary" amount for Business Associate to accomplish its intended purposes.
- e. Business Associate may use Protected Health Information to de-identify such information in accordance with 45 C.F.R. § 164.514(b) for Business Associate's own business purposes or in connection with the services provided pursuant to the Agreement or to provide Data Aggregation services to Customer as permitted by 45 C.F.R. 164.504(e)(2)(i)(b). Once the Protected Health Information has been de-identified or aggregated, it is no longer considered Protected Health Information governed by this Addendum.

### III. OBLIGATIONS AND ACTIVITIES OF BUSINESS ASSOCIATE

- a. Business Associate acknowledges and agrees that all Protected Health Information that is created or received by Covered Entity and disclosed or made available in any form, including paper record, oral communication, audio recording, and electronic display by Covered Entity or its operating units to Business Associate or is created or received by Business Associate on Covered Entity's behalf shall be subject to this Addendum.
- b. Business Associate agrees to not use or further disclose Protected Health Information other than as permitted or required by the Agreement, this Addendum or as required by law.
- c. Business Associate agrees to use appropriate safeguards to prevent use or disclosure of Protected Health Information other than as provided for by this Addendum. Specifically, Business Associate will:
- 1. implement the administrative, physical, and technical safeguards set forth in Sections 164.308, 164.310, and 164.312 of the HIPAA Privacy and Security Rules that reasonably and appropriately protect the confidentiality, integrity, and availability of any Protected Health Information that it creates, receives, maintains, or transmits on behalf of Covered Entity, and, in accordance with Section 164.316 of the HIPAA Privacy and Security Rules, implement and maintain reasonable and appropriate policies and procedures to enable it to comply with the requirements outlined in Sections 164.308, 164.310, and 164.312; and
- report to Covered Entity any use or disclosure of Protected Health Information not provided for by this Addendum of which Business Associate becomes aware. Business Associate shall report to Covered Entity any Security Incident of which it becomes aware. Notice is deemed to have been

given for unsuccessful Security Incidents, such as (i) "pings" on an information system firewall; (ii) port scans; (iii) attempts to log on to an information system or enter a database with an invalid password or user name; (iv) denial-of-service attacks that do not result in a server being taken offline; or (v) malware (e.g., a worms or a virus) that does not result in unauthorized access, use, disclosure, modification or destruction of Protected Health Information.

- d. Business Associate agrees to ensure that any agent, including a subcontractor, to whom it provides Protected Health Information received from, or created or received by Business Associate on behalf of Covered Entity, agrees to the same restrictions and conditions that apply through this Addendum to Business Associate with respect to such information.
- e. Business Associate agrees to comply with any requests for restrictions on certain disclosures of Protected Health Information to which Covered Entity has agreed in accordance with Section 164.522 of the HIPAA Privacy and Security Rules and of which Business Associate has been notified by Covered Entity. In addition, and notwithstanding the provisions of Section 164.522 (a)(1)(ii), Business Associate agrees to comply with an individual's request to restrict disclosure of Protected Health Information to a health plan for purposes of carrying out payment or health care operations if the Protected Health Information pertains solely to a health care item or service for which Covered Entity has been paid by in full by the individual or the individual's representative.
- f. At the request of the Covered Entity and in a reasonable time and manner, not to extend ten (10) business days, Business Associate agrees to make available Protected Health Information required for Covered Entity to respond to an individual's request for access to his or her Protected Health Information in accordance with Section 164.524 of the HIPAA Privacy and Security Rules. If Business Associate maintains Protected Health Information electronically, it agrees to make such Protected Health Information available electronically to the applicable individual or to a person or entity specifically designated by such individual, upon such individual's request.
- g. At the request of Covered Entity and in a reasonable time and manner, Business Associate agrees to make available Protected Health Information required for amendment by Covered Entity in accordance with the requirements of Section 164.526 of the HIPAA Privacy and Security Rules.
- h. Business Associate agrees to document any disclosures of and make Protected Health Information available for purposes of accounting of disclosures, as required by Section 164.528 of the HIPAA Privacy and Security Rules.
- i. Business Associate agrees that it will make its internal practices, books, and records relating to the use and disclosure of Protected Health Information received from, or created or received by Business Associate on behalf of, Covered Entity, available to the Secretary for the purpose of determining Covered Entity's compliance with the HIPAA Privacy and Security Rules, in a time and manner designated by the Secretary, subject to attorney-client and other applicable privileges.
- j. Business Associate agrees that, while present at any Covered Entity facility and/or when accessing Covered Entity's computer network(s), it and all of its employees, agents, representatives and subcontractors will at all times comply with any network access and other security practices, procedures and/or policies established by Covered Entity including, without limitation, those established pursuant to the HIPAA Privacy and Security Rules.
- k. Business Associate agrees that it will not directly or indirectly receive remuneration in exchange for any Protected Health Information of an individual without the written authorization of the individual or the individual's representative, except where the purpose of the exchange is:

- 1. for public health activities as described in Section 164.512(b) of the Privacy and Security Rules;
- 2. for research as described in Sections 164.501 and 164.512(i) of the Privacy and Security Rules, and the price charged reflects the costs of preparation and transmittal of the data for such purpose;
- 3. for treatment of the individual, subject to any further regulation promulgated by the Secretary to prevent inappropriate access, use, or disclosure of Protected Health Information;
- 4. for the sale, transfer, merger, or consolidation of all or part of Business Associate and due diligence related to that activity;
- 5. for an activity that Business Associate undertakes on behalf of and at the specific request of Covered Entity;
- to provide an individual with a copy of the individual's Protected Health Information pursuant to Section 164.524 of the Privacy and Security Rules; or
- 7. other exchanges that the Secretary determines in regulations to be similarly necessary and appropriate as those described in this Section III.k.
- l. Business Associate agrees that it will not directly or indirectly receive remuneration for any written communication that encourages an individual to purchase or use a product or service without first obtaining the written authorization of the individual or the individual's representative, unless:
- 1. such payment is for a communication regarding a drug or biologic currently prescribed for the individual and is reasonable in amount (as defined by the Secretary); or
- the communication is made on behalf of Covered Entity and is consistent with the terms of this Addendum.
- m. Business Associate agrees that if it uses or discloses patients' Protected Health Information for marketing purposes, it will obtain such patients' authorization before making any such use or disclosure.
- n. Business Associate agrees to implement a reasonable system for discovery of breaches and method of risk analysis of breaches to meet the requirements of HIPAA, The HITECH Act, and the HIPAA Regulations, and shall be solely responsible for the methodology, policies, and procedures implemented by Business Associate.
- o. State Privacy Laws. Business Associate shall understand and comply with state privacy laws to the extent that state privacy laws are not preempted by HIPAA or The HITECH Act.

## IV. BUSINESS ASSOCIATE'S MITIGATION AND BREACH NOTIFICATION OBLIGATIONS

a. Business Associate agrees to mitigate, to the extent practicable, any harmful effect that is known to Business Associate of a use or disclosure of Protected Health Information by Business Associate in violation of the requirements of this Addendum.

- b. Following the discovery of a Breach of Unsecured Protected Health Information, Business Associate shall notify Covered Entity of such Breach without unreasonable delay and in no case later than forty-five (45) calendar days after discovery of the Breach. A Breach shall be treated as discovered by Business Associate as of the first day on which such Breach is known to Business Associate or, through the exercise of reasonable diligence, would have been known to Business Associate.
- c. Notwithstanding the provisions of Section IV.b., above, if a law enforcement official states to Business Associate that notification of a Breach would impede a criminal investigation or cause damage to national security, then:
- 1. if the statement is in writing and specifies the time for which a delay is required, Business Associate shall delay such notification for the time period specified by the official; or
- 2. if the statement is made orally, Business Associate shall document the statement, including the identity of the official making it, and delay such notification for no longer than thirty (30) days from the date of the oral statement unless the official submits a written statement during that time.

Following the period of time specified by the official, Business Associate shall promptly deliver a copy of the official's statement to Covered Entity.

- d. The Breach notification provided shall include, to the extent possible:
- 1. the identification of each individual whose Unsecured Protected Health Information has been, or is reasonably believed by Business Associate to have been, accessed, acquired, used, or disclosed during the Breach;
- 2. a brief description of what happened, including the date of the Breach and the date of discovery of the Breach, if known;
- 3. a description of the types of Unsecured Protected Health Information that were involved in the Breach, if known (such as whether full name, social security number, date of birth, home address, account number, diagnosis, disability code, or other types of information were involved);
- 4. any steps individuals should take to protect themselves from potential harm resulting from the Breach; and
- 5. a brief description of what Business Associate is doing to investigate the Breach, to mitigate harm to individuals, and to protect against any further Breaches.
- e. Business Associate shall provide the information specified in Section IV.d., above, to Covered Entity at the time of the Breach notification if possible or promptly thereafter as information becomes available. Business Associate shall not delay notification to Covered Entity that a Breach has occurred in order to collect the information described in Section IV.d. and shall provide such information to Covered Entity even if the information becomes available after the forty-five (45)-day period provided for initial Breach notification.

### V. OBLIGATIONS OF COVERED ENTITY

a. Upon request of Business Associate, Covered Entity shall provide Business Associate with the notice of privacy practices that Covered Entity produces in accordance with Section 164.520 of the HIPAA Privacy and Security Rules.

- b. Covered Entity shall provide Business Associate with any changes in, or revocation of, permission by an individual to use or disclose Protected Health Information, if such changes affect Business Associate's permitted or required uses and disclosures.
- c. Covered Entity shall notify Business Associate of any restriction to the use or disclosure of Protected Health Information to which Covered Entity has agreed in accordance with Section 164.522 of the HIPAA Privacy and Security Rules, and Covered Entity shall inform Business Associate of the termination of any such restriction, and the effect that such termination shall have, if any, upon Business Associate's use and disclosure of such Protected Health Information.

#### VI. TERM AND TERMINATION

- a. Term. The Term of this Addendum shall be effective as of the date first written above, and shall terminate upon the later of the following events: (i) in accordance with Section VII.c., when all of the Protected Health Information provided by Covered Entity to Business Associate or created or received by Business Associate on behalf of Covered Entity is destroyed or returned to Covered Entity or, if such return or destruction is infeasible, when protections are extended to such information; or (ii) upon the expiration or termination of the Agreement.
- b. Termination for Cause. Upon Covered Entity's knowledge of a material breach of this Addendum by Business Associate and Business Associate's failure to cure such breach within thirty (30) days of receiving notice of same from Covered Entity, Covered Entity shall have the right to terminate this Addendum and the Agreement.

#### c. Effect of Termination.

- 1. Except as provided in paragraph 2. of this subsection, upon termination of this Addendum, the Agreement or upon request of Covered Entity, whichever occurs first, Business Associate shall return or destroy all Protected Health Information received from Covered Entity, or created or received by Business Associate on behalf of Covered Entity. This provision shall apply to Protected Health Information that is in the possession of subcontractors or agents of Business Associate. Neither Business Associate nor its subcontractors or agents shall retain copies of the Protected Health Information.
- 2. In the event that Business Associate determines that returning or destroying the Protected Health Information is infeasible, Business Associate shall provide to Covered Entity notification of the conditions that make return or destruction infeasible and shall extend the protections of this Addendum to such Protected Health Information and limit further uses and disclosures of such Protected Health Information to those purposes that make the return or destruction infeasible, for so long as Business Associate maintains such Protected Health Information.

#### VII. MISCELLANEOUS

- a. No Rights in Third Parties. Except as expressly stated herein, the Parties to this Addendum do not intend to create any rights in any third parties.
- b. Survival. The obligations of Business Associate under Section VII(c) of this Addendum shall survive the expiration, termination, or cancellation of this Addendum, the Agreement, and/or the business relationship of the parties, and shall continue to bind Business Associate, its agents, employees, contractors, successors, and assigns as set forth herein.

- c. Amendment. This Addendum may be amended or modified only in a writing signed by the Parties. The Parties agree that they will negotiate amendments to this Addendum to conform to any changes in the HIPAA Privacy and Security Rules as are necessary for Covered Entity to comply with the current requirements of the HIPAA Privacy and Security Rules. In addition, in the event that either Party believes in good faith that any provision of this Addendum fails to comply with the then-current requirements of the HIPAA Privacy and Security Rules or any other applicable legislation, then such Party shall notify the other Party of its belief in writing. For a period of up to thirty (30) days, the Parties shall address in good faith such concern and amend the terms of this Addendum, if necessary to bring it into compliance. If, after such thirty (30)-day period, the Addendum fails to comply with the HIPAA Privacy and Security Rules or any other applicable legislation, then either Party has the right to terminate this Addendum and the Agreement upon written notice to the other party.
- d. Independent Contractor. None of the provisions of this Addendum are intended to create, nor will they be deemed to create, any relationship between the Parties other than that of independent parties contracting with each other solely for the purposes of effecting the provisions of this Addendum and any other agreements between the Parties evidencing their business relationship.
- e. Interpretation. Any ambiguity in this Addendum shall be resolved in favor of a meaning that permits Covered Entity to comply with the HIPAA Privacy and Security Rules.
- f. Certain Provisions Not Effective in Certain Circumstances. The provisions of this Addendum relating to the HIPAA Security Rule shall not apply to Business Associate if Business Associate does not receive any Electronic Protected Health Information from or on behalf of Covered Entity.
- g. Ownership of Information. Covered Entity holds all right, title, and interest in and to the PHI and Business Associate does not hold and will not acquire by virtue of this Addendum or by virtue of providing goods or services to Covered Entity, any right, title, or interest in or to the PHI or any portion thereof.
- h. Entire Agreement. This Addendum is incorporated into, modifies and amends the Agreement, inclusive of all other prior amendments or modifications to such Agreement. The terms and provisions of this Addendum shall control to the extent they are contrary, contradictory or inconsistent with the terms of the Agreement. Otherwise, the terms and provisions of the Agreement shall remain in full force and effect and apply to this Addendum.

IN WITNESS WHEREOF, the Parties have executed this Addendum as of the day and year written above.

Each person whose signature appears hereon represents, warrants and guarantees that he/she has been duly authorized and has full authority to execute this Agreement on behalf of the party on whose behalf this Agreement is executed.

Business Associate:	Covered Entity:	
EMS Management & Consultants, Inc.	City of Augusta	
By: 13/17	Ву:	
Print: JAY GYURR	Print: HARDLE DAVIS WE THE	<b>}</b> /\?
Title: CFO	Title: MAYOR	
Date: 7 /18 / 19	Date: 8 15 18	



Office of the Administrator

Jarvis R. Sims, Interim Administrator Maurice McDowell, Interim Deputy Administrator 535 Telfair Street - Augusta, GA.30901 Tony McDonald, Deputy Administrator

Ste. 910 - Municipal Building (706) 821-2400 - Fax (706) 821-2819

October 20, 2020

Mr. Wayne Brown General Counsel 535 Telfair Street Augusta, Georgia 30901

Dear Wayne:

At the regular meeting held Tuesday, October 20, 2020, the Augusta, Georgia Commission

20. Discussed the Fire Department assessment summary spreadsheet and approved suspending ambulance services for one year.

Addendum 4. Approved a motion to adopt a resolution authorizing, the settlement of all claims related to civil case 1:17-CV-00039-JRH-BKE, in the aggregate amount of one hundred ten thousand dollars (\$110,000.00); authorizing the Administrator to disburse the amount of one hundred ten thousand dollars (\$110,000.00); waiving Augusta, Georgia code of ordinances sections in conflict for this instance only; and for other purposes.

If you have any questions, please contact me.

Yours truly,

Jarvis R. Sims

Interim Administrator



### **Commission Meeting**

September 5, 2023

#### **Affidavit**

**Department:** N/A

**Presenter:** N/A

**Caption:** Motion to authorize execution by the Mayor of the affidavit of compliance

with Georgia's Open Meeting Act.

**Background:** N/A

**Analysis:** N/A

**Financial Impact:** N/A

**Alternatives:** N/A

**Recommendation:** N/A

Funds are available in N/A

N/A

the following accounts:

**REVIEWED AND** 

**APPROVED BY:**