



TOWN OF ASHLAND CITY
Planning Commission Meeting
March 01, 2021 5:30 PM
Agenda

Chairwoman: Melody Sleeper

Committee Members: Steve Allen, Alberto Santacruz, Steven Stratton, Hadley Williams, Gerald Greer

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- [1.](#) February 1, 2021 Planning Commission Meeting Minutes

PUBLIC FORUM

NEW BUSINESS

- [2.](#) Ashland Farms Site Plan Approval

OLD BUSINESS

- [3.](#) Landscape Ordinance

OTHER

ADJOURNMENT

Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 615-792-6455, M-F 8:00 AM – 4:00 PM. The town will make reasonable accommodations for those persons.



TOWN OF ASHLAND CITY
Planning Commission Meeting
February 01, 2021 5:30 PM
Minutes

CALL TO ORDER

Ms. Melody Sleeper called the meeting to order at 5:30 p.m.

ROLL CALL

PRESENT

Chairwoman Melody Sleeper
Mayor Steve Allen
Councilman Gerald Greer
Committee Member Alberto Santacruz
Committee Member Steven Stratton
Committee Member Hadley Williams

APPROVAL OF AGENDA

A motion was made by Councilman Greer, seconded by Mayor Allen, to approve the agenda. All approved by voice vote.

APPROVAL OF MINUTES

1. January 4, 2021 Planning Commission Meeting Minutes

A motion was made by Committee Member Stratton, seconded by Mayor Allen, to approve the January 4, 2021 Planning Commission Meeting Minutes with the corrections. All approved by voice vote.

PUBLIC FORUM

None.

NEW BUSINESS

2. Site Plan Approval: Gas Station & Convenience Market - Map 62 Parcel 4.01
Michael Dewey with Dewey Engineering stated he is happy to answer any questions anyone may have. Further, this approval request is for a four thousand (4,000) square foot convenience with eight (8) pumps in the front and storm water management in the rear. The site will have three (3) access points from the road. Mr. Dewey stated the prior plan he did in Mount Juliet was an Exxon Mobile and he would assume this one would be as well. Councilman Greer questioned if the restaurant will be part of the convenience store or if it will be separate. Mr. Dewey confirmed it will be a restaurant and a gas station, but he is not sure what kind of restaurant at this time. Stratton questioned if it would be one (1) building. Mr. Dewey confirmed. Stratton questioned the square footage and asked if it will be (6,500) square feet total. City Planner Mr. Rick Gregory questioned ADA parking and if there will be a solid wall between the restaurant and convenience store. Mr. Dewey stated they need one (1) ADA stall per twenty-five (25) stalls which is why the drawing shows (2) two. City Planner stated unit shows flush ramp in front which implies the other unit will not be flush. City Planner stated if there is a doorway there he would request it be flush as well so that both entrances be ADA. Mr. Gregory further questioned fuel delivery and access. Mr. Dewey explained where they are putting them comparing this location to the Mount Juliet project he did. Mr. Gregory further requested a template be done stating it would be helpful. Councilman Greer questioned the stream on Sandy Run if there is anything that will be in place to keep spills from getting into the drinking water. Mr. Dewey responded explaining the precautions. Mr. Gregory stated these are on sheet C-3 of the site plan. Mayor questioned how large the storage tanks will be. Mr.

Dewey stated he was not sure he would have to get with the architect. Mayor questioned if there is separate permitting for that large of the area. Mr. Gregory stated there are requirements being it is part of a flood plain. Mr. Gregory stated the engineer comments are included in his staff report and he is ready to recommend approval with the changes and corrections listed. Committee Member Greer commented it is nice to see the detail in the drawings and thanked Mr. Dewey for the presentation. Committee Member Stratton stated since there will be a restaurant he is assuming there will be proper grease traps. Mr. Dewey confirmed there is a grease trap in the proposal. Mr. Jason McClain stated there is a fifteen hundred (1,500) pound grease trap on the site plan. Further, they revised drawing and it was sent out this afternoon. He has tried to address the engineer comments in these drawings. A motion was made by Mayor Allen, seconded by Councilman Greer, to approve the site plan after the recommended corrections are submitted. Voting Yea: Chairwoman Sleeper, Mayor Allen, Councilman Greer, Committee Member Santacruz, Committee Member Stratton, Committee Member Williams.

OLD BUSINESS

3. Jarrett Concrete Plant Site Plan Approval- Hwy 12 South Map 65 Parcel 046
Ms. Reed stated last month this was deferred, but they have not turned in anything to Mr. McClain; therefore, we would ask for a deferral on this matter. A motion was made by Mayor Allen, seconded by Greer, to defer this discussion until plans are submitted. All approved by voice vote.
4. Landscape Ordinance
City Planner Rick Gregory asked everyone to go back to page fourteen (14) on the drawings for the plans that were just discussed. He stated this is an excellent example if everyone would keep this handy to refer back to this. Mr. Gregory stated everything has been discussed already, but he would like review a few things to ensure this is what everyone wants to do. He further reviewed some of the requirements and called attention to those that may be cumbersome financially for development. After much discussion Mr. Gregory stated he would finalize the ordinance with the changes discussed and be ready for recommendation at the next scheduled meeting.

OTHER

Mayor Allen asked for clarification on the sidewalk matching the asphalt for the site plan for the gas station. Mr. Gregory discussed that the drawing only showed one (1) ramp on the drawing that is ADA compliant. Mr. Gregory stated he requested the pavement level to be raised so that all parking spaces will be level with the sidewalk.

Councilman Greer asked if there is anything in ADA compliance that would allow us to request the location be changed where the parking spaces are located. Mr. Gregory explained the regulations.

ADJOURNMENT

A motion was made by Committee Member Williams, seconded by Mayor Allen, to adjourn the meeting. All approved and the meeting adjourned at 6:35 p.m.

CHAIRWOMAN MELODY SLEEPER

CITY RECORDER KELLIE REED, CMFO, CMC



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

APPLICATION FOR SITE PLAN APPROVAL

Date Received: _____

Property Address: 1649 Hwy. 12 South
Ashland City, TN 37015

Map # 62 Parcel # 11.00 & 12.00 Acreage: 41.19

Property Owner(s): Ashland Farms GP
c/o John Howard

Phone: 615-405-4021

Description of project being reviewed: This is an amendment to the approved plans.

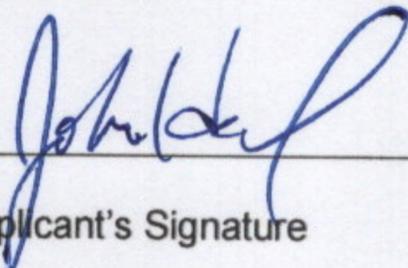
We are proposing adding 2 buildings that have 12 units per floor and 3 floors each, for a total of 72 units added.

We will connect to the existing site utilities. The sewerage pump station is sufficient without modifications per WASCON.

Having submitted plans for review by the Ashland City Planning Commission, I understand that I am responsible for all review fees incurred by the Town of Ashland City. I understand that the fee paid at the time of submittal is not applicable for the fees incurred through review. With my signature, I verify that I fully understand that I am responsible for said fees, and that I have received a copy of Ordinance #165.

ASHLAND CITY PLANNING COMMISSION SITE PLAN REVIEW FEE: \$100.00

NEXT SCHEDULED MEETING: March 1, 2021


Applicant's Signature

2/15/2021
Date

PROPOSED SITE FOR:
ASHLAND FARMS - APARTMENTS
 ASHLAND CITY, TENNESSEE



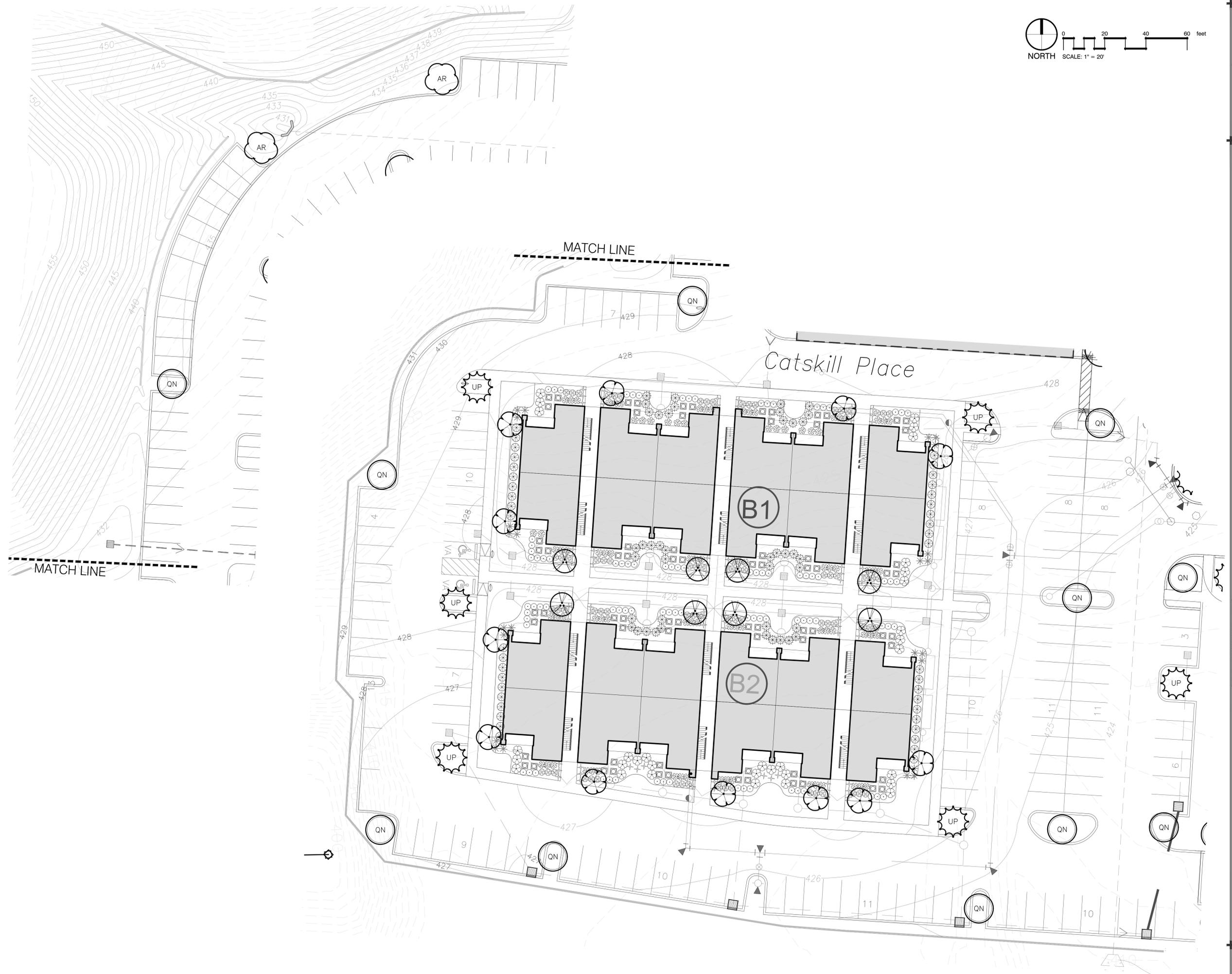
BY: cb

RELEASE DATE: 02/02/2021

L1.00

ITEM # 2.

LANDSCAPE PLAN



LANDSCAPE NOTES

- The landscape contractor shall verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
- Topsoil shall be removed from stockpiles and spread in the areas shown on the plans. The depth of topsoil shall be a minimum of 4 inches in lawn areas and a minimum of 12 inches in landscape planting areas.
- After the topsoil is in place it shall be fine graded removing all roots, sticks, stones and debris greater than 2 inches in any dimension. The topsoil shall be fine graded to the lines and grades shown on the plans. The landscape contractor shall be responsible for the fine grading of all planting areas.
- The topsoil soil shall have a pH of 5.5 to 7.6 and an organic content of 3 to 20%. The gradation of the topsoil shall be 100% passing 2 inch sieve, 85 to 100% passing the 1 inch sieve, 65 to 100% passing the 3/4 inch sieve and 20 to 80% passing the No. 200 sieve.
- Lime of type recommended for soil conditioning shall be used to treat acidic soils.
- Lawn fertilizer shall be 55% nitrogen, 10% phosphorus and 10% potash where 50% of the nitrogen is derived from ureaform source. A) When placing by hydroseeding application fertilizer shall be placed at 80 pounds per acre, hydromulch at 1,200 pounds per acre, water at 500 gallons per acre and seed at a minimum of 220 pounds per acre. All over spray areas shall be properly cleaned and restored at no expense to the contract. B) If placing by mechanical means, fertilizer shall be placed at 25 pounds per 1,000 square feet, seed at 5 pounds per 1,000 square feet, and straw mulch at 2 tons per acre. Place fertilizer and seed, then lightly rake and the roll with 200 pound roller. Mulch the area and then water. Straw may need to be secured to prevent it blowing away.
- Water lawn areas as needed to promote growth. The contractor will be responsible to water, reseed or work when necessary to insure the growth of the lawn until a complete and uniform stand of grass has grown and been cut at least twice.
- Unless otherwise noted on the drawings, all areas not receiving structures, pavement, rip rap, landscaping or other improvements or future improvements shall be considered lawn areas and receive topsoil and seeding per drawings and above stated requirements.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- Planting beds shall be prepared by loosening the top 1 foot of topsoil. Plants shall be located per the plans. The holes shall be excavated (per the details on the drawings) with the center slightly higher to promote drainage. Use a topsoil backfill mix of 4 parts topsoil, 1 part peat moss, 1/2 part well rotted manure, and 10 pounds 5-10-5 planting fertilizer and properly mixed per cubic yard. Berm around plants to form a bowl shape.
- All landscaping shall be guaranteed for one year after final acceptance. Any plantings in need of replacement will be guaranteed from the time of replacement if after final acceptance.

SUBSTITUTION NOTE:

- Requirements shown are as per City Zoning Ordinance. Substitutions are not allowed unless approved by Heibert+Ball Land Design.
- After installation, the landscape will be maintained by the owner.
- Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

TO AVOID OVERHEAD UTILITY CONFLICTS:
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

UTILITY SCREEN
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.

PLANT STANDARDS
The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

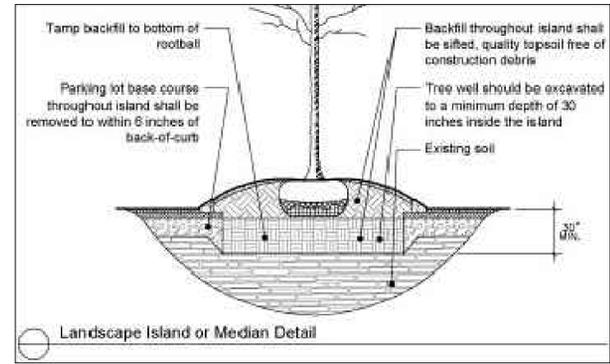
TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/3 of the tree.
 - One fork is less than 2/3 the diameter of the dominant fork.
 - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

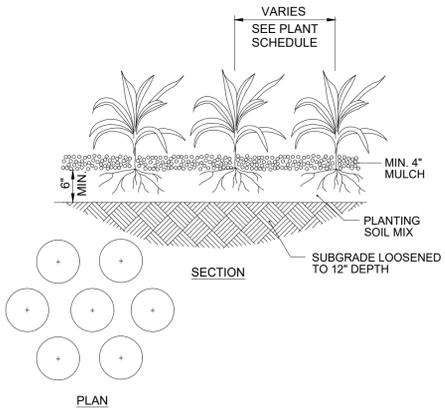
DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

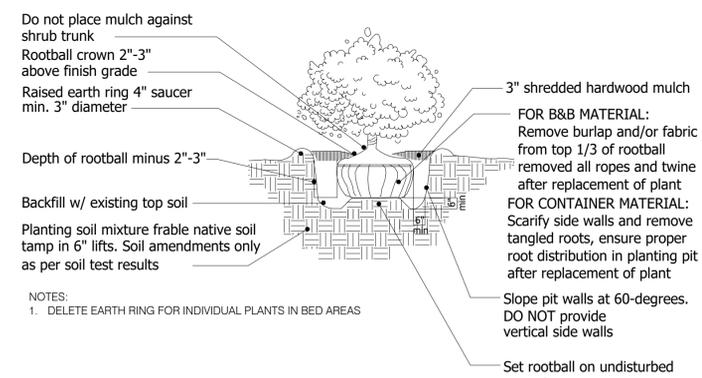
LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS



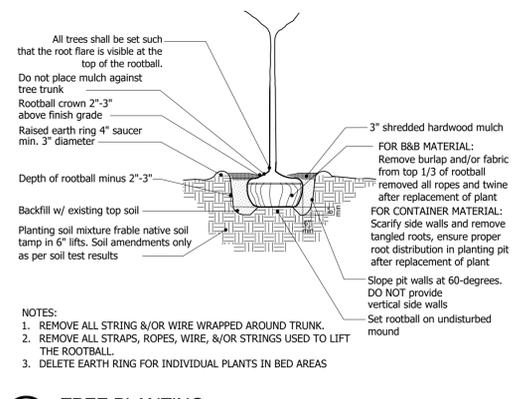
4 TREE ISLAND PLANTING
P-NO-11



1 GROUNDCOVER PLANTING



2 SHRUB PLANTING
3\"/>



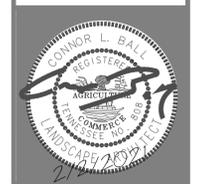
3 TREE PLANTING

PLANT SCHEDULE PHASE II					
TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
AR	2	Summer Red Red Maple / Acer rubrum 'Summer Red' 5' Clear Trunk. Single; Straight Central Leader. Full Upswept Branching. Even Branching. See Tree Specifications.	B & B	2\"/>	

- PLAN NOTES:**
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4\"/>

WHEN THE TERMS "POT", "CONTAINER", OR "CALIPER" ARE USED TO DESCRIBE MINIMUM SIZE AT PLANTING, THE ESTABLISHED AMERICAN STANDARD FOR NURSERY STOCK SHALL APPLY. THAT IS: "ALL CONTAINER GROWN (DECIDUOUS OR CONIFER) SHRUBS SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THEY SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION." "AN ESTABLISHED CONTAINER GROWN (DECIDUOUS OR CONIFER) SHRUB SHALL BE A (DECIDUOUS OR CONIFER) SHRUB TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER." "CONTAINER SIZE MAY BE CONVERTED TO MINIMUM HEIGHT/SPREAD AS FOLLOWS:

1 GALLON = 12" TO 15" HEIGHT OR SPREAD
3 GALLON = 15"-18" HEIGHT OR SPREAD
5 GALLON = 18" TO 24" HEIGHT OR SPREAD
7 GALLON = 24" TO 30" HEIGHT OR SPREAD



**ASHLAND CITY REGIONAL PLANNING COMMISSION
SITE PLAN CHECKLIST**

NAME OF SITE Ashland Farms Apartments - Amendment

LOCATION 1649 Hwy. 12 South, Ashland City, TN 37015 ZONING DISTRICT R4

OWNER Ashland Farms GP

ENGINEER SEC, Inc., Mark Lee, P.E.

- X 1. THREE (3) COPIES OF THE SITE PLAN. PLEASE INDICATE AT TIME OF APPLICATION IF YOU WOULD LIKE ANY OF THE REMAINING COPIES AFTER YOUR CASE IS HEARD AND VOTED ON.
- N/A 2. NINE (9) COPIES OF REVISED SITE PLANS OR THREE (3) COPIES AND AN ELECTRONIC PDF OF REVISED SITE PLANS MADE AVAILABLE TO THE BUILDING & CODES DEPT- ACCORDING TO PLANNER/ENGINEER COMMENTS. ALSO, WRITTEN RESPONSE TO ALL COMMENTS TO MATCH WHAT WAS CHANGED ON REVISED SITE PLANS.
- X 3. LOCATION MAP OF THE SITE AT A SCALE OF NET LESS THAN 1" = 2000'. (USGS MAP IS ACCEPTABLE.) MAP MUST SHOW THE FOLLOWING:
- APPROXIMATE SITE BOUNDARY.
PUBLIC STREETS IN THE VICINITY
TYPES OF DEVELOPMENT OF SURROUNDING PARCELS
PUBLIC WATER AND SEWER LINES SERVING THE SITE
MAP # AND PARCEL # OF SITE LOCATION
- X 4. SITE BOUNDARY, STAMPED AND SIGNED BY A REGISTERED SURVEYOR. Sheet 6 original plan set.
- X 5. THE SHAPE, SIZE AND LOCATION OF ALL EXISTING BUILDINGS ON THE LOT.
- X 6. THE EXISTING AND INTENDED USE OF THE LOT AND OF STRUCTURES ON IT. IF RESIDENTIAL, GIVE THE NUMBER OF DWELLING UNITS PER BUILDING.
- X 7. TOPOGRAPHIC SURVEY OF THE SITE WITH CONTOUR INTERVALS AT NO GREATER THAN 5' INTERVALS. STAMPED AND SIGNED BY A REGISTERED SURVEYOR.
- X 8. LOCATION OF ALL DRIVEWAYS AND ENTRANCES WITH DIMENSIONS FROM THE CENTERLINE OF THE DRIVE TO THE NEAREST PROPERTY CORNER AND TO THE NEAREST INTERSECTION (IF THE INTERSECTION IS CLOSER THAN 200 FEET.)
- X 9. DIMENSIONED LAYOUT AND LOCATION OF ALL PARKING SPACES INCLUDING HANDICAPPED SPACES.
- N/A 10. DIMENSIONED LAYOUT AND LOCATION OF OFF-STREET LOADING BAYS AND DOCKS.
- X 11. LOCATION AND AREA OF OPEN SPACE.

- X 12. A TABLE SHOWING THE GROUND COVERAGE, TOTAL FLOOR AREA AND BUILDING HEIGHTS.
- X 13. LOCATION, DIMENSIONS AND HEIGHTS OF ALL FENCES AND WALLS WITH MATERIALS SPECIFIED.
- X 14. LOCATION, TYPE AND AMOUNT OF LANDSCAPING.
- X 15. PROPOSED MEANS OF SURFACE DRAINAGE, INCLUDING LOCATIONS AND SIZES OF ALL CULVERTS, DITCHES AND DETENTION STRUCTURES. STORM-WATER SYSTEM TO BE DESIGNED AS PER THE REQUIREMENTS OF THE ASHLAND CITY REGIONAL PLANNING COMMISSION.
- X 16. DIMENSIONED LOCATIONS OF ALL EASEMENTS AND RIGHT-OF-WAY.
- X 17. LOCATION OF ALL PORTIONS OF THE SITE THAT ARE WITHIN THE FLOODWAY AND THE 100-YEAR FLOODPLAIN. A NOTE WILL BE INCLUDED WHICH GIVES THE FEMA MAP NUMBER FROM WHICH THIS INFORMATION WAS DEVELOPED. IN ADDITION, IF PORTIONS OF THE SITE ARE IN THE 100-YEAR FLOODPLAIN AND/OR THE FLOODWAY, THE 100-YEAR FLOOD ELEVATION(S) AT THE SITE WILL BE LISTED ON THE PLAN.
- X 18. LOCATION, SIZE AND DISTANCE TO ALL PUBLIC UTILITIES SERVING THE SITE INCLUDING ALL FIRE HYDRANTS.
- X 19. LOCATION, TYPE AND SIZE OF ALL PROPOSED SIGNS. (PLEASE NOTE THAT SIGNS LARGER THAN 40 SUARE FEET ARE NOT PERMITTED PER THE SIGN ORDINANCE FOR THE TOWN OF ASHLAND CITY
- X 20. VEGETATION. SHOW AT A MINIMUM THE FOLLOWING:
 - I. EXISTING TREE MASSES AND HEDGEROWS.
 - II. GENERAL DESCRIPTION OF THE TREE TYPES ANS SIZES WITHIN THE TREE MASSES.
 - III. LOCATION AND IDENTIFICATION OF TREES 15 INCHES IN CALIPER (MEASURED 4FEET ABOVE THE GROUND) OR LARGER
 - IV. DESCRIPTION OF LANDSCAPING REQUIREMENTS FOR THE SITE BASED UPON SURROUNDING LAND USES (SEE ZONING ORDINANCE SECTION 3.140)
- X 21. IDENTIFICATION OF SLOPES GREATER THAN 15% AND IDENTIFICATION OF THOSE SOILS (SCS SOIL MAPPING IS ACCEPTABLE) ON THOSE SLOPES.
- X 22. SITE PLAN APPLICATION FEE, \$100.00.
- 23. ADDITIONAL ENGINEERING REVIEW ETC., SITE INSPECTION CHARGES ARE SUBJECT TO SECTION 14-301 OF THE ASHLAND CITY MUNICIPAL CODE PER ORDINANCE #165
- X 24. THREE SETS OF THE CONSTRUCTION PLANS FOR THE SITE.
- X 25. SUBMITTAL MUST BE MADE AT LEAST 20 WORKING DAYS PRIOR TO THE PLANNING COMMISSION MEETING TO BE HEARD.
- X 26. IF APPLICANT IS REQUESTING A VARIANCE, APPLICATION IS TO BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION 7.080 OF THE ASHLAND CITY ZONING ORDINANCE No variance requested

Ashland Farms Apartments

Ashland City, Tennessee

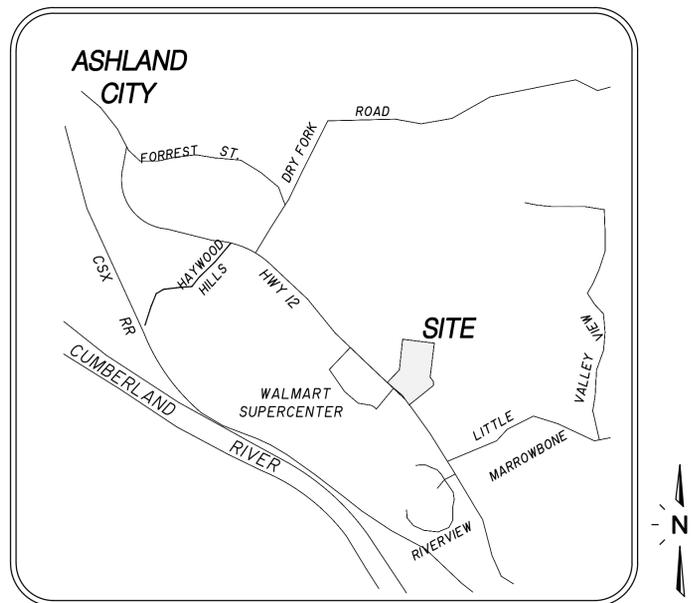
Site Plan & Construction Drawings

Notes:

- Where proposed buildings, roads, and parking lots are shown for Phase 2, the required fill, as shown on the grading plan, shall be placed and compacted as structural fill, as required in the written specifications. The contractor shall provide documentation that proposed fill has been placed accordingly.
- Regarding the Typical Pavement Sections, shown on Civil Sheet 23 of 28, all drive aisles shall conform to the Heavy Duty Pavement section, and all parking spaces shall conform to the Light Duty Pavement section, unless shown otherwise.

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	General Notes
3	Master Plan
4	Master Utility Plan
5	Master Drainage Plan
6	Boundary Survey (Stamped By TGR)
7	Existing Conditions/Initial EPSC Plan
8	Intermediate EPSC Plan
9	Slope Study
10-12	Site Plan
13	Offsite Roadway Improvement Plan
14-15	Utility Plan
15B	Sewer Profiles
16-18	Grading, Drainage & Final EPSC Plan
19-20	Site Details
21	Utility Details
22	Drainage Pipe & Structure Tables
23	Grading & Drainage Details
24	EPSC/SWPP Details
25	Site Plan (Addition)
26	Utility Plan (Addition)
27	Grading, Drainage & Final EPSC Plan (Addition)



Site Location Map
Not To Scale

Owner/Developer:
Ashland Farms GP

Deed Reference:
Parcels are under contract.
Tax Map 62 Parcels 11.00 & 12.00

Yard Requirements:
Front: 35'
Side: 15'
Rear: 30'

Intended Use:
Apartments

Land Use Data:
Zoned: R4
12: 3-Story Building
312 Total Units
Building Ht.: 48'-0"
Total Site: 41.19± Acres
Remaining: 38.88± Acres

Parking Requirement:
Multifamily = $(\frac{2 \text{ Spaces}}{\text{Unit}} \times \frac{24 \text{ Units}}{\text{Building}} \times 10 \text{ Buildings}) + (\frac{1 \text{ Space}}{400 \text{ SF}} \times 3,386 \text{ SF}) +$
 $(\frac{2 \text{ Space}}{\text{Unit}} \times \frac{36 \text{ Unit}}{\text{Bldg.}} \times 2 \text{ Bldg.}) = 632 \text{ Spaces Required}$
Provided: 606 Regular + 38 Garage + 18 H.C. = 662 Total Spaces Provided
Flood Map No.:
A portion of this site lies within the 100 Year Floodplain, per Community Panel 47021C0235D dated September 17, 2010.

Site Data Table

Pervious Area	- 28.94±Ac.
Impervious Area	- 9.93±Ac.
Total Site Area	- 38.88 *
Total Floor Area	- 344,279 Sq.Ft.
Floor Area Ratio	- 0.20
Acreage Disturbed	- 19.03±Ac.
Parking Required	- 632 Spaces
Parking Provided	- 662 Spaces

* Does not include Deed Overlap Area.

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING

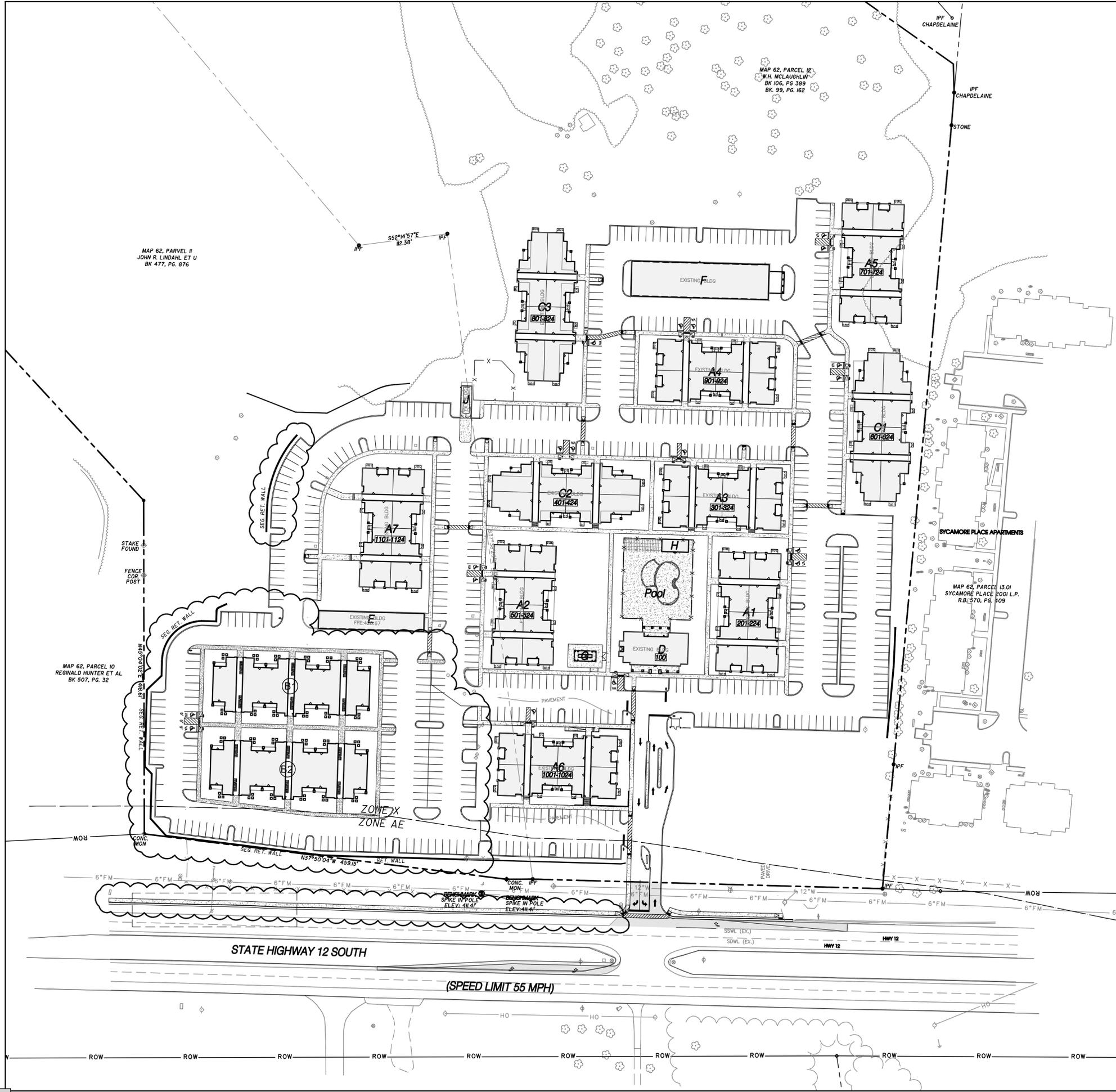
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MLEE@SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

By: _____ Date: _____
Mark P. Lee, P.E. TN. Reg. #19186



Watershed: Marrowbone Creek (Fully Supporting)
Impervious Area = 9.93±Ac.
Pervious Area = 28.94±Ac.

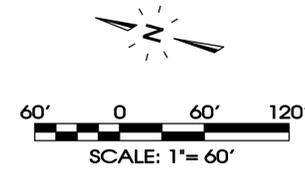
Sheet 1 of 28
Ashland Farms Apartments,
S.E.C. Project #16262
Submitted: 11-13-17
Revised: 5-29-18
2-15-21



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
⊕	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	×	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT EOC	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	-X-X-X-X-
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	---601---
PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W
FORCE MAIN	FM FM



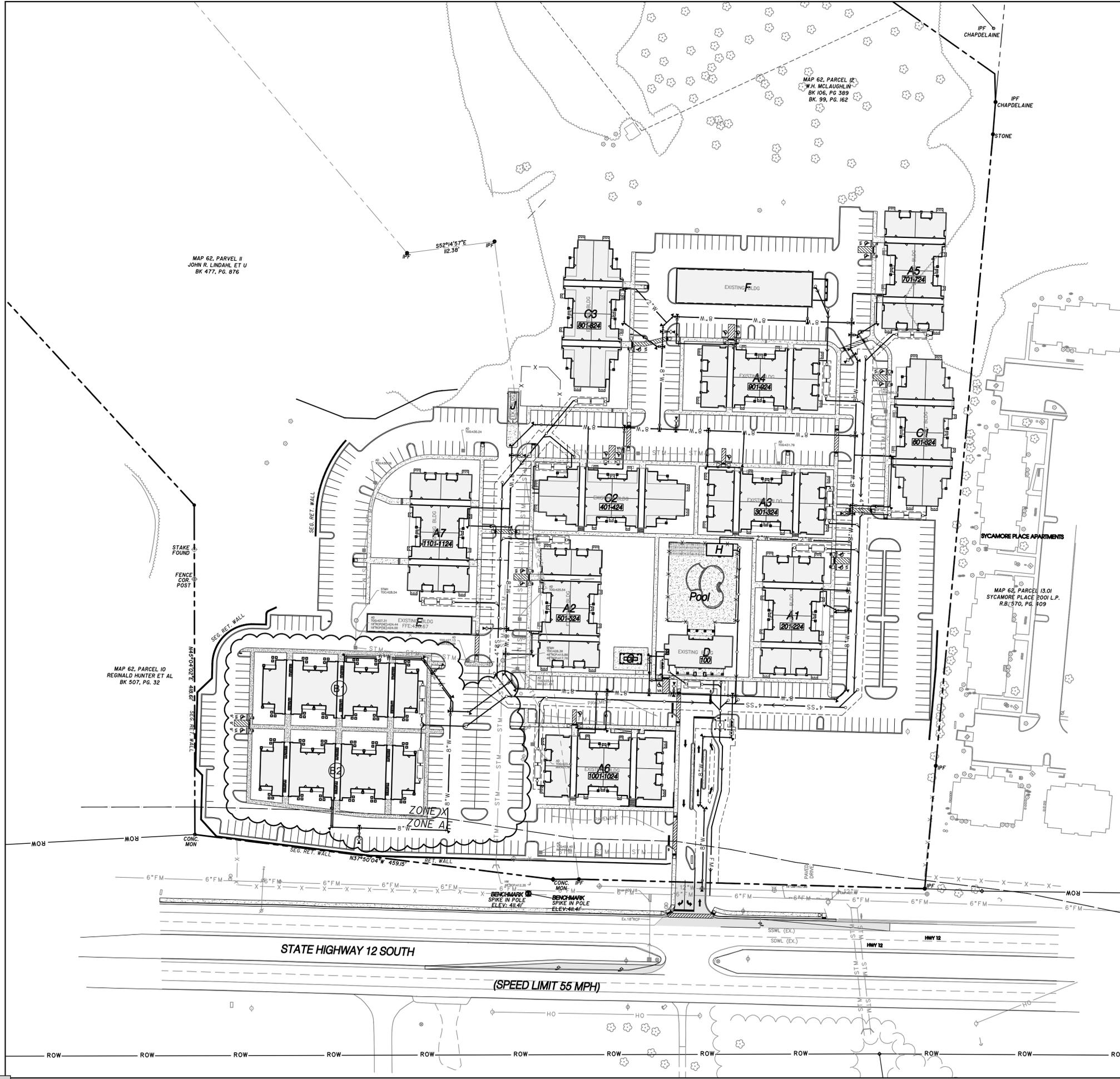
SEC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MLEB@SEC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the responsibility of the engineer to ensure that the design as noted, described, and illustrated. The engineer assumes no administrative liability of responsibility in the assurance that the site is constructed in accordance with the construction plans.

ASHLAND FARMS APARTMENTS
 Ashland City, Tennessee

REVISION: 4-2-18 S.F.M.D.
 5-29-18 S.F.M.O./DOT, Owner
 2-15-21, Added 2 Buildings

DRAWN: CFB3
 DATE: 11-13-17
 CHECKED: MPL
 FILE NAME: 16262apartments
 SCALE: 1" = 60'
 JOB NO. 16262
 SHEET: 3 of 27



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	⊖	HC SIGN
○	EXIST. SEWER CLEANOUT	⊖	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	⊖	WHEEL STOP
⊖	EXIST. WATER/GAS VALVE	⊖	CONCRETE SIDEWALK
⊖	EXIST. TELEPHONE RISER	⊖	EXTRUDED CURB
⊖	EXIST. GAS RISER	⊖	CURB & GUTTER
⊖	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊖	EXIST. WATER METER	➔	TURN LANE ARROWS
⊖	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊖	BLOW OFF VALVE	⊖	RIP RAP
⊖	REDUCER	➔	RUNOFF FLOW ARROW
⊖	REMOTE FIRE DEPT. CONNECTION	⊖	INLET FILTER PROTECTION
⊖	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊖	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊖	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION
⊖	FIRE HYDRANT	⊖	CATCH BASIN
⊖	GATE VALVE & BOX	⊖	CURB INLET
⊖	WATER METER	⊖	AREA DRAIN
⊖	GAS METER	⊖	HEADWALL
⊖	GREASE TRAP	⊖	WINGED HEADWALL
⊖	EXTERIOR CLEANOUT	⊖	CONCRETE SWALE
⊖	MANHOLE	⊖	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	-X-X-X-X-
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	-601-
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W
FORCE MAIN	FM FM

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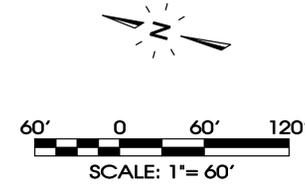
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Ashland Farms Apartments,
 Ashland City, Tennessee

Master Utility Plan

REVISED: 2-7-18; UTILITY EASEMENTS
 5-29-18; S.F.M.O./DOT; Owner
 2-15-21; Added 2 Buildings

DRAWN: CFB3
 DATE: 11-13-17
 CHECKED: MPL
 FILE NAME: 16262apartments
 SCALE: 1"=60'
 JOB NO. 16262
 SHEET: 4 of 27





Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
⊕	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	×	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE - X - HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	---
EXISTING FENCELINE	X X X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W
FORCE MAIN	FM FM

Note:
 Detention pond is designed for all improvements shown on Master Plan.
 100-Yr. Flood Elevation = 402.0' per FEMA Panel 47021C0235D, Effective Date 9/17/2010.

REVISION: 5-29-18 S.F.M.O./D.O.T. Owner
 2-15-21: Added 2 Buildings

DRAWN: CFB3
 DATE: 11-13-17
 CHECKED:
 MPL
 FILE NAME:
 16262apartments
 SCALE:
 1"=60'
 JOB NO.
 16262
 SHEET:

SCALE: 1"=60'

5 of 27

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ASHLAND FARMS APARTMENTS
 Ashland City, Tennessee

Master Drainage Plan

ITEM # 2



PROPOSED BMP'S

BMP	Type
PROP. STORMWATER POND (DRY POND)	PERMANENT, WATER QUALITY
SILT FENCE	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL
SEDIMENT BASIN	TEMPORARY, SEDIMENT CONTROL
ROCK CHECK DAM	TEMPORARY, SEDIMENT CONTROL

EXISTING ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
WOODS AND PASTURE	WOODS AND PASTURE: GOOD CONDITION B SOILS, CN=58	12.8
WOODS AND PASTURE	WOODS AND PASTURE: GOOD CONDITION C SOILS, CN=72	6.0
		COMPOSITE CN=62

PROPOSED ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
PAVEMENT, ROADS, SIDEWALKS, GRASS	COMMERCIAL, 85% Impervious B-SOILS, CN=92	12.8
PAVEMENT, ROADS, SIDEWALKS, GRASS	COMMERCIAL, 85% Impervious C-SOILS, CN=94	4.1
OPEN SPACE	OPEN SPACE: GOOD CONDITION C-SOILS, CN=74	1.9
		COMPOSITE CN=91

EXISTING OUTFALLS

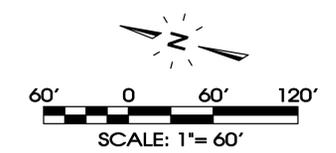
NUMBER	DESCRIPTION	ACRES
1	CONSTRUCTION EXIT TO STATE HWY 12 SOUTH	0.1
2	BOX CULVERT	58.6



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	⊕	HC SIGN
—	EXIST. SEWER CLEANOUT	⊕	PROPOSED SIGN POST
⊕	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↩	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	⊕	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25 x	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25) x	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	×	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT EOC	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE - X - HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W W
PROPOSED WATER	W W W
FORCE MAIN	FM FM



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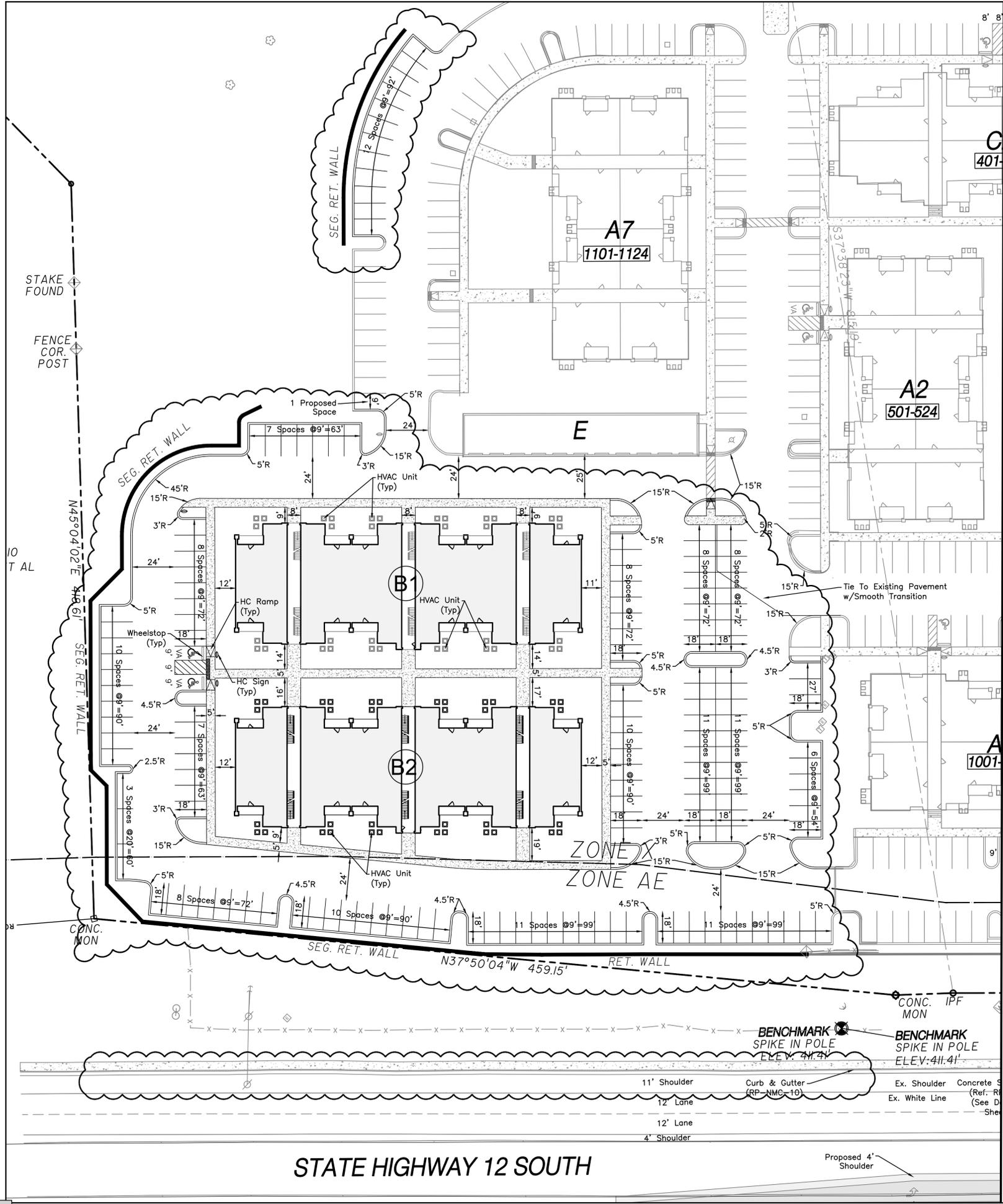
K. P. LEE
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE

Ashland Farms Apartments,
 Ashland City, Tennessee

Existing Conditions/Initial EPSC Plan

REVISION: 5-29-18 S.F.M.O./D.D.T., Owner
 2-15-21: Updated: Topo

DRAWN: CFB3
 DATE: 11-13-17
 CHECKED: MPL
 FILE NAME: 16262apartments
 SCALE: 1" = 60'
 JOB NO. 16262
 SHEET: 7 of 27



Owner/Developer:
Ashland Farms GP

Deed Reference:
Parcels are under contract.
Tax Map 62 Parcels 11.00 & 12.00

Yard Requirements:
Front: 35'
Side: 15'
Rear: 30'

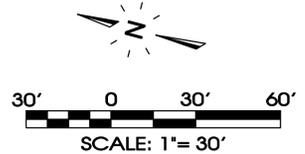
Intended Use:
Apartments

Land Use Data:
Zoned: R4
12: 3-Story Building
312 Total Units
Building Ht.: 48'-0"
Total Site: 41.19± Acres
Remaining: 38.88± Acres

Parking Requirement:
Multifamily = (2 Spaces x 24 Units x 10 Buildings) + (1 Space x 3,386 SF) + (2 Space x 36 Unit x 2 Bldg.) = 632 Spaces Required
Provided: 606 Regular + 38 Garage + 18 H.C. = 662 Total Spaces Provided

Flood Map No.:
A portion of this site lies within the 100 Year Floodplain, per Community Panel 47021C0235D dated September 17, 2010.

Note:
See Sheet 2 for Building Schedule.



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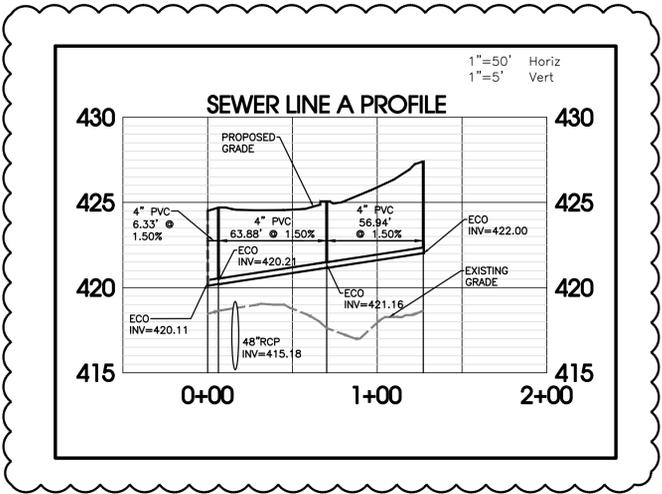
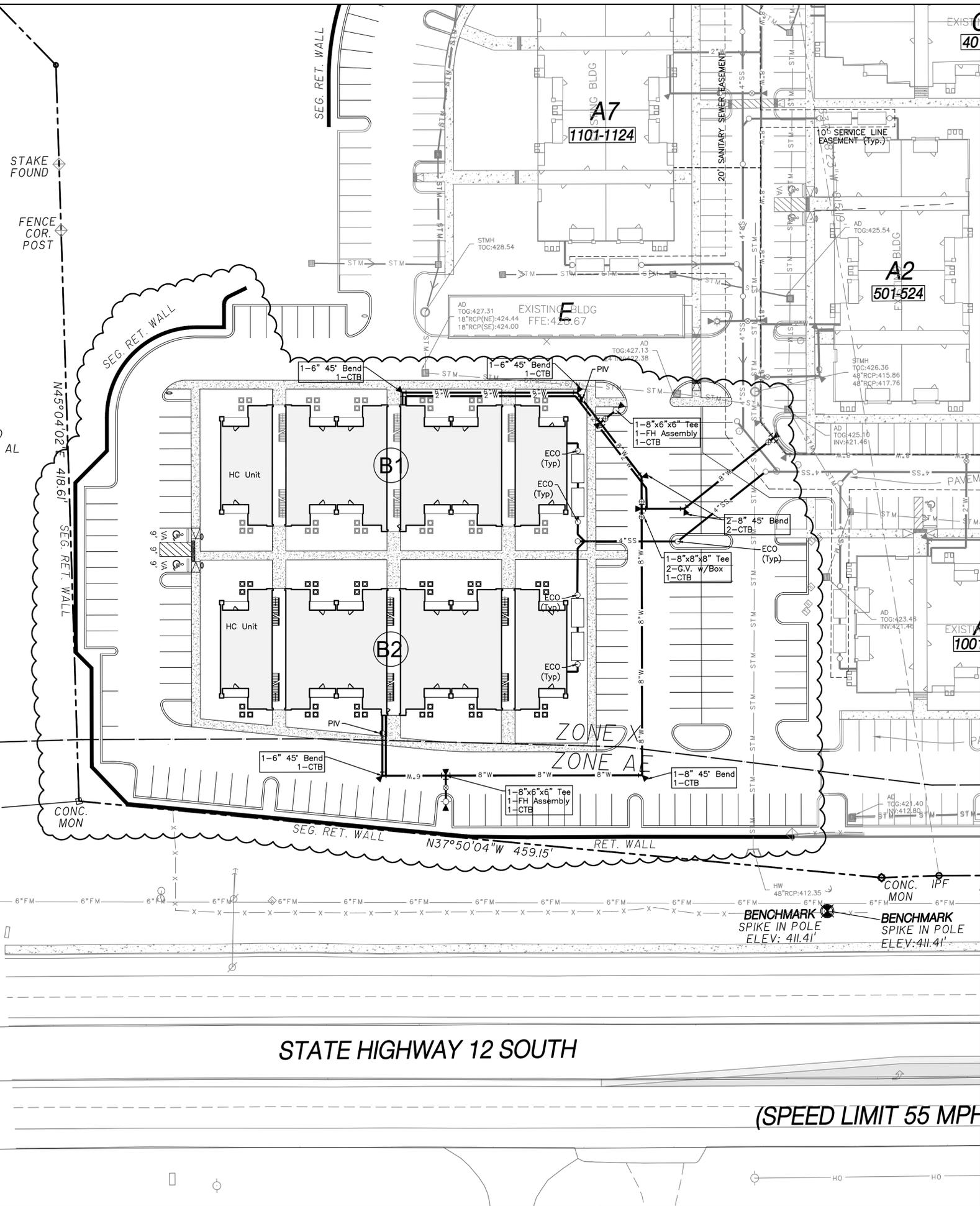


Ashland Farms Apartments,

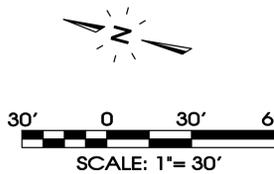
Ashland City, Tennessee

REVISED: 4-2-18 S.F.M.D. 5-29-18 S.F.M.O./DOT, Owner 12-4-19: Sidewalk at A6 ASH17 - 1-20-21 PRELIMINARY 2-15-21: Added 2 Buildings	Site Plan
DRAWN: CFB3	
DATE: 11-13-17	
CHECKED:	
MPL	
FILE NAME: 16262apartments	25 of 27
SCALE: 1" = 30'	
JOB NO. 16262	
SHEET:	

MAP 62, PARCEL 10
REGINALD HUNTER ET AL
BK 507, PG. 32



- Notes:**
1. Additional Backflow Protection Will Be Provided In Each Building. See Plumbing Plans.
 2. The Minimum Positive Slope Allowed For The 4\"/>



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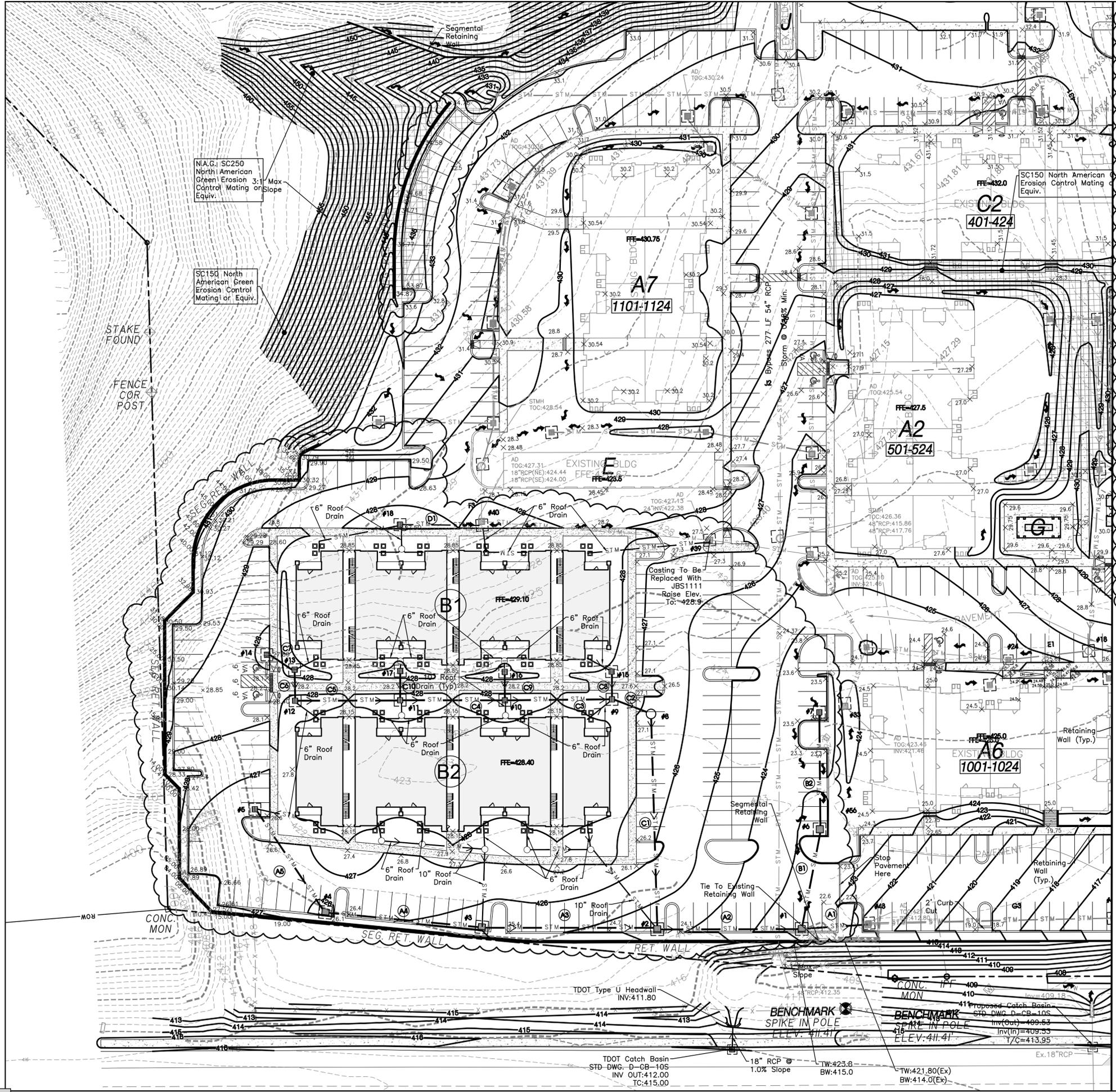


Ashland Farms Apartments,
Ashland City, Tennessee

REVISED: 2-7-18; UTILITY EASEMENTS
5-29-18; S.F.M.O./DOT, Owner
7-10-19; CH & PH Waterline
ASH17 - 1-20-21 PRELIMINARY
2-15-21; Added 2 Buildings

DRAWN: CFB3
DATE: 11-13-17
CHECKED:
MPL
FILE NAME:
16262apartments
SCALE:
1"=30'
JOB NO.
16262
SHEET:
26 of 27

Utility Plan



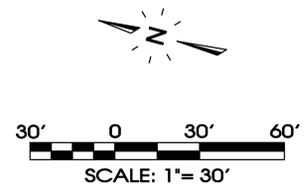
Pipe Table

PIPE	INV. IN (FT)	INV. OUT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
A1	414.85	414.00	42	2.00	RCP	18
A2	420.00	419.09	91	1.00	RCP	18
A3	422.82	420.20	110	2.37	RCP	15
A4	423.41	422.92	99	0.50	RCP	15
A5	423.90	423.51	78	0.50	RCP	15
B1	420.00	419.37	63	1.00	RCP	15
B2	420.50	420.13	73	0.50	RCP	15
C1	422.97	421.70	135	0.94	RCP	15
C2	423.20	423.07	26	0.50	RCP	15
C3	423.64	423.30	67	0.50	RCP	15
C4	424.07	423.74	66	0.50	RCP	15
C5	424.50	424.17	66	0.50	RCP	15
C6	424.70	424.60	19	0.50	RCP	15
C7	425.00	424.80	20	1.01	RCP	15
C8	423.40	423.30	17	0.58	RCP	15
C9	423.90	423.74	18	0.90	RCP	15
D1	424.30	424.17	18	0.71	RCP	15
D10	425.00	424.60	52	0.78	RCP	15

Drainage Structures Table

STR#	T.O.C	INV. IN (FT)	INV. OUT (FT)	CASTING	TYPE
1	422.30	419.37(B1) 419.09(A2)	414.85	JBS 3104	Catch Basin
2	424.40	421.70(C1) 420.20(A3)	420.00	JBS 3104	Storm Manhole
3	425.50	422.92	422.82	JBS 3104	Storm Manhole
4	425.90	423.51	423.41	JBS 3104	Storm Manhole
5	426.40	N/A	423.90	JBS 4075	Storm Manhole
6	422.70	420.13	420.00	JBS 4075	Catch Basin
7	423.20	N/A	420.50	JBS 4075	Catch Basin
8	426.80	423.07	422.97	JBS 4075	Catch Basin
9	427.10	423.30(C3) 423.30(C8)	423.20	JBS 4075	Catch Basin
10	427.30	423.74(C4) 423.74(C9)	423.64	JBS 4075	Catch Basin
11	427.30	424.17(C5) 424.17(C10)	424.07	JBS 4075	Catch Basin
12	427.30	424.60	424.50	JBS 4075	Catch Basin
13	427.30	424.80	424.70	JBS 4075	Catch Basin
14	427.80	N/A	425.00	JBS 4310	Catch Basin
15	427.10	N/A	423.40	JBS 4075	Catch Basin
16	427.30	N/A	423.90	JBS 4075	Catch Basin
17	427.30	N/A	424.30	JBS 4075	Catch Basin
18	427.50	N/A	425.00	JBS 4075	Catch Basin

Note:
See Sheet 26 for Phase 1
Storm Pipe & Structure Tables.



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Ashland Farms Apartments,
 Ashland City, Tennessee

Grading & Drainage Plan
 27 of 27

REVISIONS:
 1-10-18: TDOE Permit
 5-29-18: S.F.E.M.O. TDOE, Owner
 4-11-19: TDEC Comments
 12-4-19: Grading at Building A6
 2-15-21: Address 2 Buildings

DRAWN: CFB3
 DATE: 11-13-17
 CHECKED: MPL
 FILE NAME: 16262apartments
 SCALE: 1"=30'
 JOB NO. 16262
 SHEET:

3.140. Landscaping, Screening and Buffering

A. Purpose and Intent

The purpose and intent of this ordinance is to establish a set of landscape requirements and guidelines that will be utilized as a minimum standard required of all developed or disturbed sites within the Town of Ashland City. The requirements and guidelines set forth in this section were developed in order to promote the health, safety and welfare of the general public; to improve the overall appearance of the community; to reduce stormwater run-off, noise, heat and chemical pollution through the preservation and installation of canopy trees; and to reduce the impact of incompatible land-uses through requirements for buffer yards along zoning boundaries which will minimize potential harmful effects of one use on another.

B. Applicability

The provisions of this Section shall apply to developments which require a site plan to be submitted or which require a master development plan to be submitted. The provisions of this Section, which pertain to screening and buffering, shall apply along all zoning district boundaries and along all boundaries separating a conditional use from permitted uses.

C. Landscaping Plan

1. Prior to the issuance of any permits (foundation, grading and/or building) for any site proposing any new or additional development, a landscape plan being part of the site development plan, meeting the requirements of this section, shall be submitted to and approved by the Town of Ashland City Planning Commission. All landscape plans are to be prepared by and sealed by a registered landscape architect licensed in the State of Tennessee. A landscape plan shall also accompany any bulk grading and/or site clearing plan.
2. No landscape plans are to be drawn at a scale greater than 1 inch = 50 feet. All landscape plans shall include the following:
 - Boundary of proposed site;
 - Proposed site improvements;
 - Existing and proposed utility lines and easements;
 - North arrow;
 - Scale and scale bar;
 - Location of all existing trees 8 inch caliper and greater with any forested area containing such trees being separately delineated with the species mixture indicated;
 - Location of all proposed plant material;
 - A landscape schedule (providing the quantity, the botanical and common names, the height, the width and the caliper inches of all proposed plant material at the time of planting);
 - A data table showing the landscape requirements for the site and the landscape provided to meet these requirements;
 - Details and notes explaining the installation and maintenance of proposed and/or

- protected plant material;
- The name, address and phone number of the Landscape Architect approving said plans;
- Proposed means of slope stabilization, if applicable.

D. Bonding

1. All proposed landscaping may be secured by a landscape performance bond to guarantee the quality and longevity of the plant material installed. Bond amounts will be determined by the Town of Ashland City Planning Commission and will vary depending on the quantity of landscape material proposed. The bond will be released upon installation of the required landscaping and inspection and approval by the city. If the required landscaping has not been installed within one (1) year of the approval of the plan, said bond shall be reviewed to determine if the amount is still adequate and if not, may be increased.
2. Prior to the release of the performance bond, a landscape maintenance bond may be posted in order to assure the longevity and livelihood of the plant material. Said bond will be held for a period of one (1) year. At the completion of the year, these bonds will be reviewed to determine whether or not they are to be released, reduced, or held for an additional year. The amount of the bond shall be determined by the Town of Ashland City Planning Commission and will vary depending on the quantity of landscape material installed.

E. Standards

1. All proposed plant material for a given site are to be appropriately specified in order to tolerate the climate conditions of the Middle Tennessee area.
2. All proposed plant material for a given site are to meet the most recent requirements of the “American Standard for Nursery Stock” (ANSI Z60.1) established by the “American National Standards Institute, Inc.”.

F. General Landscape Requirements

The following requirements shall apply to all developments except single family detached housing developments that are not a part of any planned unit development. The Planning Commission may require all required landscaping to be automatically irrigated. Such irrigation system, if required, shall be fully operational prior to the issuance of the final certificate of occupancy.

Required Trees

1. Each newly developed site shall be required to have a minimum Acquired Caliper Inch (A.C.I. or Caliper Inch) of 35 caliper inches of proposed trees per acre.
2. 75% of required trees shall be native to the southeastern United States.
3. 50% of required trees shall be a minimum 2 caliper inches in size.

4. No proposed canopy tree planted at a size less than 2 caliper inches will be accepted as a required tree. No proposed understory/ornamental tree shall be less than 1.5 caliper inches in size.
5. A minimum of 20% and maximum of 50% of required trees shall be understory and/or ornamental trees.
6. Existing trees to be protected and retained (see Figure F-1) shall count 50% of their size towards the 35 inch/acre requirements but not count towards parking area requirements. In the event that the existing tree credit creates a condition where no new tree plantings are required under the formula, a minimum of 18 caliper inches/acre of proposed trees shall be provided.

G. Parking Areas

1. Islands

- a. One landscape island with a minimum size of 9 feet x 18 feet (see Figure F-2) shall be placed at a minimum of every 15 spaces in any proposed row of parking.
- b. A minimum of one 2-inch caliper or larger canopy tree is to be placed in each proposed island. Said canopy trees can be used toward the overall tree requirements but not toward any existing tree replacement.
- c. Said islands are to be free of all asphaltic, constructions and/or trash materials (see Figure F-3). The following note is to be placed on all site plans. "All parking islands are to be inspected and approved by the Town or Ashland City prior to the installation of any plant material or soil."

2. Adjacent Parcels

- a. A minimum open space area of ½ of the required side yard shall be placed between any proposed paved area and the adjacent parcel(s) to the site under development. If the required open space contains any drainage, utility or access easement, an additional 5 feet of open space shall be provided.
- b. The open space area shall be landscaped at the designer's discretion in order to accommodate the general landscape requirements but shall be maintained as permanent open space.
- c. The open space area may be crossed by driveways or sidewalks where an access agreement between the adjacent property owners is in place.

3. Street Fronts

- a. A minimum open space area of 10 feet shall be placed between any proposed paved area and the right-of-way of the public street providing frontage to the site. If the required open space contains any drainage, utility or access easement, an additional 5 feet of open space shall be provided. Said open space area shall be landscaped in accordance with (b) below in addition to any required trees.

- b. One shrub at a size no less than 24 inches high and 24 inches wide is required for every 2 linear feet of parking/driveway area that parallels any street front. Spacing of shrubs to be in keeping with species and design configuration. Said shrubs are to be installed between the street front and the proposed parking areas in a manner that will help screen and/or soften the visual effects of the proposed parking areas from its street front. Any area between the right-of-way and a curb or street pavement shall be included in the landscape plan and provided with appropriate cover. Street trees shall also be included in the street front landscaping. Canopy trees with a minimum caliper inch size of two (2) inches shall be planted on 40-foot centers. When overhead power lines are encountered, understory ornamental trees with a minimum caliper inch size of one and one-half (1.5) inches shall be planted on 30-foot centers.

H. Turf/Ground Cover

1. All areas that have been disturbed by a particular site's development and are not within a planted area shall be seeded and strawed or sodded in order to achieve a well established lawn.
2. All disturbed areas that exceed a 3:1 slope shall receive a Jute Erosion Control Mesh (or equivalent) and be planted with the appropriate turf or ground cover that will provide a fast growth habit and rapid establishment.
3. All disturbed natural areas that exceed a 3:1 slope and are located along a street front are to receive sod.
4. All storm drainage ditch bottoms are to receive sod unless a concrete flume has been proposed.

I. Landscape Requirements for Single Family Developments

Single family subdivision developments (subdivisions with one-family dwelling on a fee simple lot) shall meet the following requirements:

1. Each lot shall include three (3) canopy trees with a minimum size of two (2) caliper inches. One such tree shall be planted as a street tree to be located within five (5) feet of the street right-of-way. Any utility easement shall be taken into account when locating such tree
2. Foundation planting shall be provided for each house on each lot in a development. Such planting shall include complimentary shrubbery and flowering plants.
3. Every final subdivision plat shall include a drawing of a typical lot compliant with these landscape requirements.

J. Replacement of Existing Trees

The requirements of this section shall be in addition to the General Landscape Requirements as presented in Section F. and, therefore, cannot be applied towards meeting the “General Landscape Requirements”.

1. A tree removal permit must be obtained prior to the removal of any existing trees which are eight (8) caliper inches or larger from a site proposed for development or for general clearing purposes. In order to obtain such permit, the applicant must demonstrate the intent of the tree removal for the site in questions and pay a fee of \$25.00 to the City. Final granting of the permit will be determined by Ashland City. Any variance from this procedure shall first be considered by the Ashland City Planning Commission.

2, All existing trees that are to be removed from a site to be developed (this also includes sites that are to be cleared of their existing trees in order to increase their market value as a future development) shall be replaced at a rate of 50% of their size. When the replacement of existing trees results in an Acquired Caliper Inch calculation in excess of 150 percent of the requirement for the site, the requirement shall be capped at 150 percent of the required 35 caliper inches per acre.

For Example: If a 24 caliper inch existing tree is removed then 12 caplier inches of new trees must be proposed to replace this tree. (Note: this only applies to the removal of trees at a size of 8 caliper inches and up.)

3. Any canopy tree 18 caliper inches or over in size shall be identified as a specimen tree. Extraordinary efforts to protect such trees shall be taken, and any removal of a specimen tree shall be specifically approved as a part of the landscape plan. The replacement of such trees shall be on a one (1) inch to one (1) inch basis.

K. Screening

1. Heating and cooling units on all non single-family residential developments shall be screened from all street fronts and adjacent parcels. Said screen shall be either permanent opaque fencing and/or a thick massing of evergreen plant materials installed at a height and spread no less than 24 inches spaced so that an immediate screen is created at the time of planting.
2. Dumpster and service/loading areas are to be screened from all fronts and adjacent parcels. Said screen is to be either a permanent opaque fencing or a thick massing of evergreen plant materials installed at a minimum height of 3 feet and minimum spread of 4 feet.
3. If a retention/detention pond area is to be enclosed with chain-link fencing, the fencing shall be black or dark green vinyl coated fencing. The pond area shall also be screened with a thick massing of evergreen plant material at a minimum height of 3 feet and a minimum spread of 4 feet from all fronts and adjacent parcels.

L. Sight Distance Requirements for Landscape Materials

At any public or private street intersection and at the access point for private driveways to public or private streets, a clear zone for sight distance shall be maintained. No landscape material that exceeds the height of 18 inches at maturity or branches lower than 6 feet shall be planted in any

sight distance clear zone as indicated in Figure F-4.

M. Coordination With Transitional Screening Requirements

1. The requirements for transitional screening and barriers shall be in addition to the requirements for landscaping. All site and master PUD plans shall observe all such requirements.
2. No application for a zoning change shall be recommended by the Town of Ashland City Planning Commission unless such application demonstrates that the requirement for a bufferyard can be met.
3. The Town of Ashland City Planning Commission and the Board of Appeals shall not approve any conditional use permit unless such request demonstrates that the requirements for a bufferyard can be met.

N. Waiver

1. In extreme cases certain sites and/or proposed land uses may be in a position of legitimate hardship in meeting the landscaping requirements of this ordinance. Should this occur, the owner/developer may appeal to the Town of Ashland City Planning Commission to request a reduction in the landscape requirements based upon the physical conditions of the site. Self imposed or financial hardships only shall not constitute a basis for approval of the request.

For Example: A 2 acre site is required a total of 140 caliper inches of newly planted trees. The Town of Ashland City Planning Commission grants a 75% reduction requiring only 35 caliper inches of newly planted trees to be planted on site. The remaining 105 required caliper inches must therefore be paid to the Landscape Maintenance and Tree Bank at a cost of \$150.00/caliper inch or \$15,750.00

O. Transitional Screening

1. General Requirements

The following general provisions shall apply to transitional screening:

- a. Transitional screening shall be provided in accordance with the Transitional Screening Matrix and type of bufferyard presented at the end of this section.
- b. Transitional screening shall be provided within the zoning district and on the lot of the “burdened use or district” (see matrix), along all points where such use or district is contiguous or across the street from land used by or zoned for the “benefited use or district”.
- c. In any instance where a structure is to involve more than one use as presented in the matrix, the more stringent requirements shall apply.
- d. All plant materials utilized in the transitional screening bufferyards shall meet the size requirements of Chapter . A minimum of fifty (50) percent of the materials

shall be evergreen.

2. Transitional Screening Requirements

Transitional screening in the form of a bufferyard shall be located along the outer perimeter of a lot or parcel, and shall extend to the lot or parcel boundary line. The required minimum yard may be utilized to provide transitional screening. There shall be four (4) different bufferyard types as identified in the matrix, which shall be provided as follows:

- a. Type 1 Bufferyard: Shall consist of an unbroken strip of open space that complies with one of the following alternatives:
 - i. A strip a minimum of twenty-five (25) feet wide planted with six (6) canopy or large evergreen trees, four (4) understory trees and twenty (20) shrubs for each one hundred (100) linear feet of open space.
 - ii. A strip a minimum of fifteen (15) feet wide incorporating a six (6) foot brick, natural stone or an approved decorative masonry wall and planted with three (3) canopy or evergreen trees and two (2) understory trees for each one hundred (100) linear feet of open space. The plant materials shall be located between the wall and the property line.
- b. Type 2 Bufferyard: Shall consist of an unbroken strip of open space that complies with one of the following alternatives:
 - i. A strip a minimum of thirty-five (35) feet wide and planted with eight (8) canopy or large evergreen trees, six (6) understory trees and twenty-eight (28) shrubs for each one hundred (100) linear feet of open space
 - ii. A strip a minimum of twenty-five (25) feet wide incorporating a six feet brick, natural stone or an approved decorative masonry wall and planted with four (4) canopy or evergreen trees and tree (3) under story trees for each one hundred (100) linear feet of open space. The plant materials shall be located between the wall and the property line
- c. Type 3 Bufferyard: Shall consist of an unbroken strip of open space that complies with one of the following alternatives:
 - i. A strip a minimum of fifty (50) feet wide and planted with twelve (12) canopy or large evergreen trees, eight (8) understory trees and forty (40) shrubs for each one hundred (100) linear feet of open space.
 - ii. A strip a minimum of forty (40) feet wide incorporating a six (6) foot brick, natural stone or an approved decorative masonry wall and planted with six (6) canopy or evergreen trees and four (4) understory trees for each one hundred (100) linear feet of open space. The plant materials shall be located between the wall and the property line.

- d. Type 4 Bufferyard: Shall consist of an unbroken strip of open space a minimum of ten (10) feet wide including a six (6) foot brick wall and planted with three (3) canopy or large evergreen trees, one (1) understory tree and ten (10) shrubs for each one hundred (100) linear feet of the open space. This type bufferyard is only available within the Downtown Overlay District and shall be applied along the side and rear property lines of the zoning district that adjoins residential property.

3. Requirements Within Landscape Bufferyards

Sidewalks or trails may occur within a bufferyard provided the effect of the yard is not compromised. In no event shall the following uses be allowed in the bufferyards: playgrounds or playfields, stables, swimming pools, tennis courts or other recreational facilities; parking areas or other vehicular use areas; dumpsters, equipment storage and other open storage; buildings or overhangs; stormwater retention/detention facilities; and utilities or utility easements.

Bufferyards shall be continuous and unbroken except for driveways or sidewalks required to access parking areas or streets. Driveway/sidewalk penetrations shall cross bufferyards as close to perpendicular as possible and shall not exceed twenty-five (25) percent of the entire bufferyard area, with no single penetration to exceed thirty-five (35) feet in width.

4. Variations

The bufferyards are normally calculated as being parallel to the property line. However, design variations, especially when used to incorporate existing native vegetation into the bufferyard area, shall be considered. The edges of the bufferyard may meander, including the permitted walls, provided that: 1) the total area of the bufferyard is equal to or greater than the total area of the required bufferyard; and 2) the bufferyard measures no less than the minimum width required by the applicable bufferyard standard at all points along the perimeter of the property line.

Bufferyard requirements may be waived by the Town of Ashland City Planning Commission with a demonstration of unusual site grade conditions that would clearly negate the effects of the required bufferyard. The applicant shall supply section or profiles (drawn to scale) through the property line along the bufferyard proposed for the waiver. These drawings shall show the existing and proposed grades on both sides of the property line, as well as the principal structures on both properties. The sections or profiles shall show the line of sight for a pedestrian or a motorist, as applicable, from principal entrances, sidewalks or streets and from the highest point of the site to be buffered. Such sections or profiles shall clearly demonstrate that effect of the change in grade would negate the effect of a mature landscaped bufferyard thirty (30) feet in height.

5. Exemptions

No bufferyard shall be required in the following situations:

- a. When a zoning district boundary falls along a public street containing four (4) or more travel lanes; or along an elevated railroad bed, utility line easement fifty (50) or more feet wide, or along a creek or waterway that is fifty (50) or more feet wide.

TRANSITIONAL SCREENING MATRIX

When	Is Proposed to Abut	Transitional Screening Shall Be Provided:
Any LD PUD	Any Residential District	None
Any HD PUD	Any Residential District	Buffer Yard 1
Any Retail, Office, Service, Restaurant Activity or Commercial & Office PUD	Any Residential District & Any Residential PUD District	Buffer Yard 1
Any Education, Religious, Personal or Group Care, Community Assembly, Essential Service, Vehicular Sales & Service or Health Care Activity	Any Residential or Residential PUD District or Residential Use	Buffer Yard 1
Any Building Material, Construction, Wholesale Sales or Automotive Repair Activity; or Any Activity	Any Residential or Residential PUD District, or Education, Religious, Personal or Group Care Activity	Buffer Yard 2
Any Building Material, Construction, Wholesale Sales or Automotive Repair Activity	Any Retail, Office, Service, Restaurant Activity or Commercial & Office PUD	Buffer Yard 1
Any Group Assembly, Manufacturing, Transport & Warehousing or Scrap Operations	Any Residential or Residential PUD District, Education, Religious, Personal or Group Care, Retail, Office, Restaurant, Activity or Commercial or Office PUD District	Buffer Yard 3
The Downtown Overlay District	Any residential district or use	Buffer Yard 4

P. Modifications and Waivers

Transitional screening and barriers may be waived or modified by the Town of Ashland City Planning Commission in any of the following circumstances. The Town of Ashland City Planning Commission may attach conditions to any waiver or modification which would assure that the results of the waiver or modification would be in accordance with the purpose and intent of this chapter.

1. Transitional screening and barriers may not be required between uses that are to be developed under a common development plan or series of development plans within a PUD District or a common site plan.

2. Where the strict provisions of this section would reduce the usable area of a lot due to lot configuration or size to a point which would preclude a reasonable use of the lot, transitional screening and/or barriers may be waived or modified by the Town of Ashland City Planning Commission where the side of a building, a barrier and/or the land between that building and the property line has been specifically designed to minimize adverse impact through a combination of architectural and landscaping techniques.
3. Transitional screening may be modified where the building, a barrier and/or the land between that building and the property line has been specifically designed to minimize adverse impact through a combination of architectural and landscaping techniques.
4. The transitional screening and width and planting requirements may be reduced as much as two-thirds (2/3) where the developer chooses to construct a seven (7) foot brick or architectural block wall instead of the lesser barrier indicated by the matrix. This wall may be reduced to a height of six (6) feet where the Town of Ashland City Planning Commission deems such a height will satisfy the purposes and intent of this chapter.
5. Transitional screening and barriers may be waived or modified where the adjacent property is zoned to allow a use similar to that of the parcel under site plan.
6. Transitional screening and barriers may be waived or modified where the adjoining property is used for any public purpose other than a school or hospital.
7. Transitional screening and barriers may be waived or modified where adjacent property is zoned for residential usage and is used for any use permitted as a conditional use by the Board of Zoning Appeals except day care centers, educational facilities and special personal and group care facilities.
8. Transitional screening may be modified or waived where the subject property abuts a railroad or limited access highway right-of-way.
9. The Town of Ashland City Planning Commission may waive or modify the barrier requirements where the topography of the lot providing the transitional screening and the lot being protected is such that a barrier would not be effective.
10. Transitional screening and barriers may be waived or modified for any public use when such use has been specifically designed to minimize adverse impact on adjacent properties.
11. In certain unusual circumstances of topography, or to alleviate certain specific problems, i.e., the blocking of glare, muting of noise, etc., the Town of Ashland City Planning Commission may require the use of an earth berm or more specialized fence material in lieu of, or in combination with, any of the barrier types set forth in

Q. Landscaping Maintenance

The owner, or his agent, shall be responsible for the maintenance, repair and replacement of all landscaping materials and barriers as may be required by the provisions of this section. All plant material shall be tended and maintained in a healthy growing condition, replaced when necessary and kept free of refuse and debris. Fences and walls shall be maintained in good repair. The

practice of “topping” trees shall not be permitted as a normal practice of maintenance of trees. Topping is defined as the excessive and arbitrary removal of limbs with no regard to the structure of the tree. Excessive removal of limbs is removal of more than 20 – 25 percent of the limbs as stated in the ANSI standards for pruning. Trees severely damaged by storms or other causes may be exempted from this requirement at the determination of the city.

Transitional screening in the form of a bufferyard shall be located along the outer perimeter of a lot or parcel, and shall extend to the lot or parcel boundary line. The required minimum yard may be utilized to provide transitional screening. There shall be four (4) different bufferyard types as identified in the matrix, which shall be provided as follows:

Type 1 Bufferyard: Shall consist of an unbroken strip of open space that complies with one of the following alternatives:

- i. A strip a minimum of twenty-five (25) feet wide planted with six (6) canopy or large evergreen trees, four (4) understory trees and twenty (20) shrubs for each one hundred (100) linear feet of open space.
- ii. A strip a minimum of fifteen (15) feet wide incorporating a six (6) foot brick, natural stone or an approved decorative masonry wall and planted with three (3) canopy or evergreen trees and two (2) understory trees for each one hundred (100) linear feet of open space. The plant materials shall be located between the wall and the property line.

Type 2 Bufferyard: Shall consist of an unbroken strip of open space that complies with one of the following alternatives:

- i. A strip a minimum of thirty-five (35) feet wide and planted with eight (8) canopy or large evergreen trees, six (6) understory trees and twenty-eight (28) shrubs for each one hundred (100) linear feet of open space.
- ii. A strip a minimum of twenty-five (25) feet wide incorporating a six feet brick, natural stone or an approved decorative masonry wall and planted with four (4) canopy or evergreen trees and tree (3) understory trees for each one hundred (100) linear feet of open space. The plant materials shall be located between the wall and the property line.

Type 3 Bufferyard: Shall consist of an unbroken strip of open space that complies with one of the following alternatives:

- i. A strip a minimum of fifty (50) feet wide and planted with twelve (12) canopy or large evergreen trees, eight (8) understory trees and forty (40) shrubs for each one hundred (100) linear feet of open space.
- ii. A strip a minimum of forty (40) feet wide incorporating a six (6) foot brick, natural stone or an approved decorative masonry wall and planted with six (6) canopy or evergreen trees and four (4) understory trees for each one hundred (100) linear feet of open space. The plant materials shall be located between the wall and the property line.

Type 4 Bufferyard: Shall consist of an unbroken strip of open space a minimum of ten (10) feet wide including a six (6) foot brick wall and planted with three (3) canopy or large evergreen trees, one (1) understory tree and ten (10) shrubs for each one hundred (100) linear feet of the open space. This type bufferyard is only available within the Downtown Overlay District and shall be applied along the side and rear property lines of the zoning district that adjoins residential property.

When a use is established in areas zoned commercial or industrial which abuts at any point upon property zoned residential, the developer of said use shall provide a landscaped buffer strip at the point of abutment. Buffers are required between industrial and commercial districts. (See definition) The buffer strip shall be no less than ten (10) feet in width.

Buffer Strip: A greenbelt planted strip not less than ten (10) feet in width. Such a greenbelt shall be composed of one (1) row of evergreen trees, spaced not more than forty (40) feet apart and not less than two (2) rows of shrubs or hedges, spaced not more than five (5) feet apart and which grow to a height of five (5) feet or more after one (1) full growing season and which shrubs will eventually grow to not less than ten (10) feet.