



TOWN OF ASHLAND CITY

Planning Commission Meeting

December 05, 2022 5:30 PM

Agenda

Chairwoman: Nicole Binkley

Committee Members: Vivian Foston, Gerald Greer, JT Smith, Steven Stratton, Mike Stuart, Jerome Terrell

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- [1.](#) November 07, 2022 Planning Commission Meeting Minutes

PUBLIC FORUM

OLD BUSINESS

- [2.](#) Highway 12 Trash Discussion

NEW BUSINESS

- [3.](#) Legends Bank
- [4.](#) Overall Growth Plan Map

OTHER

ADJOURNMENT

Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 615-792-6455, M-F 8:00 AM – 4:00 PM. The town will make reasonable accommodations for those persons.



TOWN OF ASHLAND CITY
Planning Commission Meeting
November 07, 2022 5:30 PM
Minutes

CALL TO ORDER

Chairwoman Binkley called the meeting to order at 5:30 p.m.

ROLL CALL

PRESENT

Chairwoman Nicole Binkley
Committee Member Gerald Greer
Committee Member Vivian Foston
Committee Member JT Smith
Committee Member Mike Stuart
Committee Member Jerome Terrell

ABSENT

Committee Member Steven Stratton

APPROVAL OF AGENDA

Ms. Martin stated that agenda item #5 has been pulled from the agenda and that if anyone had signed up to speak regarding this item, they could still do so. She stated that it will be back on the agenda in January and if those who signed up wished to speak in January instead, she could hold there form for that meeting. A motion was made by Committee Member Greer, Seconded by Committee Member Stuart, to approve the agenda with changes. All approved by voice vote.

APPROVAL OF MINUTES

1. August 01, 2022 PC Meeting Minutes

A motion was made by Committee Member Foston, Seconded by Committee Member Greer, to approve the August 01, 2022 Planning Commission meeting minutes. All Approved by voice vote.

PUBLIC FORUM

Dr. Yasmine Ali - Dr. Ali stated that she is a resident affected by the quarry. She stated that a buffer zone should be required between industrial and residential zones. Dr. Ali stated that the air quality inside her home contains fine particulate that is the same as mining dust and that from wildfires. She stated that it causes lung damage and heart disease. Dr. Ali stated that as a doctor she is not comfortable with this and as a citizen she wants to believe that the city has her safety in mind and to take this seriously.

David Schlundt - Mr. Schlundt presented a handout stated that he lives on Riverview Lane and that he wanted to reiterate the City's code. He stated that this request does not honor the City's code and the quarry is objectionable. Mr. Schlundt stated that the neighborhood surrounding it has over forty (40) homes that it has significantly impacted. He stated that a rezone was previously denied and since then they have taken out half the hill and sold the rock. Mr. Schlundt stated that there was a discovery on who was buying the rock and the City is benefiting from it, including people on this board. He stated it is sending the wrong message to the people and the City has allowed the natural beauty of AC to be taken to the ground.

Lynn Williams - Ms. Williams stated that she lives in Nashville but graduated from Cheatham County. She stated that she is the oldest daughter of the Stinnett's who live directly next door to this property. Mr. Williams stated that this unlawful quarry has impacted the quality of lives, not only have they lost value as heirs of this home, but they can no longer sit outside and enjoy their home because of the dust. She stated that they can feel the vibration of the explosions, the rock rains on the cars, they have

had gravel graze their head, and it has knocked brick off their house. Ms. Williams asked for the board to deny this.

Don Williams - Mr. Williams stated that he is Ms. Williams husband and lives in Nashville. He stated that he has worked for a civil engineering practice for forty (40) years, and he is very familiar with this. He stated that he has three (3) recommendations. He stated that the first is to deny the rezone because it fails all four tests in our zoning ordinance, second is to instruct the City Attorney and the building inspector to issue an injunction that prevents this as use of a rock quarry and requires them to correct and abate the damage, and third is to instruct the Public Works Director to issue a stop work order for storm water. Mr. Williams stated that he would like to note that two (2) years ago the building inspector did issue a stop work order for this project and it was not enforced. He stated that the staff has done what they are supposed to. Mr. Williams stated that the local planning commissions in Tennessee have the authority to make advisory reports and recommendations to all public officials and agencies regarding development in the area. He stated that this is a call for action. Mr. Williams stated that he wants them to use their powers to enforce the city ordinances and prevent the property from being used as a quarry. He stated that the planning commission should be alarmed if not enraged.

Zada Law - Ms. Law stated that she lives on Riverview Lane and that she has owned her property for 21 years. She stated that the owner is asking for this parcel to be rezoned from residential to light industrial and she wants it denied. Ms. Law asked the board to deny this too and that this property was already denied in 2020. She stated that it is inappropriate and contrary to the zoning plan, and she asked the City to honor it.

John Henderson - Mr. Henderson stated that the people speaking tonight have made some good arguments. He stated that they are not emotional, they are rational, and they are factual. Mr. Henderson asked what sort of arrangement allowed this to happen, and once it was denied how did they allow it to continue. He asked who had the last word in this and stated that the elected officials work for the citizens.

Ms. Martin stated for the record that Committee Member Terrell was now present.

Micah Ferebee - Mr. Ferebee stated that he lives on Highway 12S and that they have already fought this before and does not understand how it is even an option again. He asked if there was a policy or any penalties for them continuing to haul rock in and out. Mr. Ferebee stated this is their neighborhood and they came there to live a peaceful life. He stated that they were not given enough notice for this to become a rock quarry to begin with and they are doing illegal stuff. Mr. Ferebee asked how they are allowed to run a commercial business if it is still zoned residential.

Deborah Doyle - Ms. Doyle stated that as commuters, we drive up and down Highway 12 and go through the dirt, dust and rock getting kicked up and dinging people's cars, but the immediate neighbors have been dealing with this quarry for two (2) years. She stated that they have suffered from blasting and hammers pounding all day, rock and dust flying through the air, and dump trucks coming and going. Ms. Doyle stated that she has spoken with several neighbors, and several have cracks in their driveways and cracks in their walls and cracks in their foundations of their homes. She presented an image from google of the surrounding houses and the quarry. Ms. Doyle stated it is eleven (11) acres and its massive. She stated that the Federal Mine Association does inspections every six (6) months and they come up with a list of violations that span from employee health, community danger, water quality, and noise. Ms. Doyle stated that in the last six (6) months, they have had twenty-seven (27) violations which accrue points that turn into citations and those citations carry fees. She stated that the fines range from \$130.00-\$2300.00 and after so many violations you become a significant risk. Ms. Doyle stated that once you become a significant risk, you get placed on the Pattern of Violations Form and the violations are for safety of his employees, community, danger, and noise. She stated that she is glad the State is taking care of us and would like to know what they City is doing.

Jane Crisp - Ms. Crisp stated that she does not live in this neighborhood, but she was there to speak for the people outside of the area that care about their community and neighbors. She stated that this scares them when the City does not protect them and does not care about them. Ms. Crisp stated that she wants the City to start enforcing its own rules and not ignore it because they have influence.

Bonnie Jerdon - Ms. Jerdon stated that she was a resident of Riverview Lane and that she is way too close to disaster. She stated that she only had one question and it is serious and respectful. Ms. Jerdon asked what the purpose of planning, zoning, and ordinances were if they have no bearing.

Gail Watts - Ms. Watts stated that she has been a resident for 43 years and they have been blasting for over two years. She stated that there is constant jack hammering, dust, and particles. Ms. Watts

stated that someone had mentioned that they did not know he was selling rock, but she has watched him. She stated that she knows he is not giving it away for and that she recorded him coming off his property with a truck load of rock going down to the bypass and dumping rock at the bypass. Ms. Watts stated that she called the City and to find out if he bid this job and the City told her that it was done through Clarksville. She stated that she finally tracked down this company and when she called him and asked, they stated that Walker Trucking was not on their bid list. Ms. Watts stated that Mr. Walker is illegally dumping rock at jobs. She stated that they are building condos across the street and now considering a quarry. Ms. Watts stated that all these people should put a sign in their yard warning people not to buy these condos. She stated that she was excited about the mission statement on the website and quoted the mission statement.

Valerie VanOstenbridge - Ms. VanOstenbridge stated that her and her husband are relatively new to Ashland City, but she heard about this, and her heart just breaks for these people. She stated that she wanted to respond on two levels, and one is that they are asking the government to enforce their rules and do the right thing. Ms. VanOstenbridge stated that they are scared that there is no one here to help them. She stated that her second concern is the legality of of this. Ms. VanOstenbridge asked how this was allowed to happen in the first place. She stated that she will continue to follow this and get to the bottom of it.

OLD BUSINESS

None.

NEW BUSINESS

2. Highway 12 Trash Discussion

Mr. Nicholson stated that this item was requested by Committee Member Stratton and since he is not here, we can defer it. A motion was made by Committee Member Stuart, Seconded by Committee Member Greer, to defer to the next meeting. All approved by voice vote.

3. Champion Car Wash

Mr. Tim Jones stated that he was the co-owner of Champion Carwash. He stated that it is a family-owned business with his wife, Paula, and his son. Mr. Jones stated that they have five (5) locations total including one in Pleasant View. He stated that the facility would be an express car wash with free vacuums. Committee Member Greer asked how the run-off water from washing would be handled and what safety precautions were in place. Mr. Jones stated that all of their products are biodegradable, and all runoffs would be captured in the tunnel. He stated there would be no chemicals, soaps, or waxes outside. Mr. Jones stated that the proposed site is in between Indigo Tile and Ace Storage. Chairwoman Binkley asked how the water would be contained. Mr. Jones stated that it would be self contained. He stated the building is proposed for 140ft and the last stage is drying. Mr. Jones stated that the vehicles would be 95-99% dry, and what was left would just be water. Committee Member Stuart asked how many cars would fit and if there would be an issue of cars backing down the highway. Mr. Jones stated that they could fit approximately 20 cars and was an average of 120 cars per hour. Committee Member Stuart asked about storm water drainage. Mr. Jones stated that it would go where is goes now. he stated they could speak to Indigo Tile and see what they are doing. Committee Member Greer asked for Mr. Gregory's recommendation. Mr. Gregory stated Staff review identified several minor, technical corrections needed on the site plan to bring the proposal into compliance with zoning ordinance/site plan requirements. He stated Ordinance #527 states "Sidewalks on the State Highway 12 corridor shall be determined by the planning commission on any project that has to be approved and or come before the planning commission." Mr. Gregory stated that Indigo Granite adjoins to the east. Sidewalks were discussed with that site but due to several factors, including an odd right-of-way configuration, were not required. He stated that the final site plan should have all the concerns addressed and does not see a problem recommending it for approval. A motion was made by Committee Member Greer, Seconded by Committee Member Foston, to approve the site plan with those corrections. Voting Yea: Chairwoman Binkley, Committee Member Greer, Committee Member Foston, Committee Member Smith, Committee Member Stuart, Committee Member Terrell.

4. Janet Knight Oak Street

Ms. Janet Knight stated that she is asking for this lot to be split in three. She stated they are intending to tear one house down and build two in its place. Mr. Gregory asked for lot 29 to be distinguishable on the plat. Chairwoman Binkley asked what type of houses would be built. Ms. Knight stated they would be one level, skinny and long, three-bedroom, two-bathroom homes. Mr. Gregory asked that it be labeled final plat and he did not see an issue recommending this for approval. A motion was made by Committee Member Stuart, Seconded by Committee Member Terrell, to approve with the condition of it being labeled final plat instead of site plan. Voting Yea: Chairwoman Binkley, Committee Member Greer, Committee Member Foston, Committee Member Smith, Committee Member Stuart, Committee Member Terrell.

OTHER

None.

ADJOURNMENT

A motion was made by Committee Member Stuart, Seconded by Committee Member Foston, to adjourn the meeting. All approved by voice vote and the meeting adjourned at 6:26 p.m..

CHAIRWOMAN NICOLE BINKLEY

CITY RECORDER ALICIA MARTIN, CMFO

LYLE·COOK·MARTIN

ARCHITECTS

310 FRANKLIN STREET / CLARKSVILLE, TN 37040 / TEL 931.552.4771 / / EMAIL kcaplenor@lylecookmartin.com

L e t t e r o f T r a n s m i t t a l

To: Ashland City
Fire, Building & Life Safety Department
233 TN Waltz Pkwy, Ste. 103
Ashland City, TN 37015
(615) 792-4211

DATE: November 15 , 2022

RE: Legends Bank
525 N. Main St, Ashland City, TN 37015

We are sending you: Attached

- Shop Drawings Prints Plans Samples Specifications
 Copy of Letter Change Order Disk

1	Check #3447 - \$200.00
1 ea.	Application for Site Plan Approval, Grading Permit, Planning Comm. Site Plan Checklist
3 ea.	Site Survey, SP1.00 Site Plan, Civil Drawings (12 sheets)
3 ea.	Architectural Floor Plans & Elevations – A2.0, A3.0, A3.1

- | | | |
|---|---|--|
| <input type="checkbox"/> For Approval & Signature | <input type="checkbox"/> Approved as Submitted | <input type="checkbox"/> Resubmitted ___ copies for approval |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit ___ copies for distribution |
| <input type="checkbox"/> As Requested | <input type="checkbox"/> Returned for Corrections | <input type="checkbox"/> Return ___ corrected prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> For Payment | <input type="checkbox"/> As indicated above |

Many thanks,

Brad Martin, AIA



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

PLANNING COMMISSION SITE PLAN CHECKLIST

NAME OF SITE Legends Bank

LOCATION 525 N. Main St., Ashland City, TN 37015 ZONING DISTRICT C2

OWNER Legends Bank

ENGINEER TTL USA

1. Three (3) copies of the site plan. Please indicate at time of application if you would like any of the remaining copies after your case is heard and voted on.
2. Three (3) copies and an electronic PDF of revised site plans made available to the Fire, Building and Life Safety Department – according to planner/engineer comments. Also written response to all comments to match what was changed on revised site plans.
3. Location map of the site at a scale of not less than 1"=2000' (USGS map is acceptable). Map must show the following:
 - a. Approximate site boundary
 - b. Public streets in the vicinity
 - c. Types of development of surrounding parcels
 - d. Public water and sewer lines serving the site
 - e. Map # and Parcel # of site location
4. Site boundary, stamped and signed by a registered surveyor.
5. The shape, size and location of all existing buildings on the lot.
6. The existing and intended use of the lot and of structures on it. If residential, give the number of dwelling units per building.
7. Topographic survey of the site with contour intervals at no greater than 5' intervals, stamped and signed by a registered surveyor.
8. Location of all driveways and entrances with dimensions from the centerline of the drive to the nearest property corner and to the nearest intersection (if the intersection is closer than 200 feet).
9. Dimensioned layout and location of all parking spaces including handicapped spaces.
10. Dimensioned layout and location of off-street loading bays and docks.

11. Location and area of open space.
12. A table showing the ground coverage, total floor area and building heights.
13. Location, dimension and heights of all fences and walls with materials specified.
14. Location, type and amount of landscaping.
15. Proposed means of surface drainage, including locations and sizes of all culverts, ditches and detention structures, storm-water system to be designed as per the requirements of the Ashland City Planning Commission.
16. Dimensioned location of all easements and right-of-ways.
17. Location of all portions of the site that are within the floodway and the 100-year floodplain. A note will be included which gives the FEMA map number from which this information was developed. In addition, if portions of the site are in the 100-year floodplain and/or the floodway, the 100-year flood elevation(s) at the site will be listed on the plan.
18. Location, size and distance to all public utilities serving the site including all fire hydrants.
19. Location, by type and size of all proposed signs, (Please note that signs larger than 40 sq. ft. are not permitted per the sign ordinance for the Town of Ashland City.
20. Vegetation, show at minimum the following:
 - a. Existing tree masses and hedgerows
 - b. General description of the tree types and sizes within the tree masses
 - c. Location and identification of trees 15" in caliper (measured 4' above the ground) or larger
 - d. Description of landscaping requirements for the site based upon surrounding land uses (see Zoning Ordinance Section 3, 140)
21. Identification of slopes greater than 15% and identification of those soils (SCS soil mapping is acceptable) on those slopes.
22. Site plan application fee \$100
23. Additional engineering review etc., site inspection charges are subject to Section 14-301 of the Ashland City Municipal Code per Ordinance #165.
24. Three (3) sets of the construction plans for the site.
25. Submittal must be made at least 20 working days prior to the Planning Commission meeting to be heard.
26. If application is requesting a variance, application is to be submitted to the Building Official in accordance with Section 7.080 of the Ashland City Zoning Ordinance.



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

APPLICATION FOR SITE PLAN APPROVAL

Date Received: _____

Property Address: 525 S. Main St., Ashland City, TN 37015

Map # 055F, Group: C Parcel # 005.00 Acreage: .39 +/-

Property Owner(s): Legends Bank

Phone: 931-572-1217

Description of project being reviewed: _____

Proposed new 1,885 SF bank and associated parking area.

Having submitted plans for review by the Ashland City Planning Commission, I understand that I am responsible for all review fees incurred by the Town of Ashland City. I understand that the fee paid at the time of submittal is not applicable for the fees incurred through review. With my signature, I verify that I fully understand that I am responsible for said fees, and that I have received a copy of Ordinance #165.

ASHLAND CITY PLANNING COMMISSION SITE PLAN REVIEW FEE: \$100.00

NEXT SCHEDULED MEETING: _____



Applicant's Signature

11/14/2022

Date



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

Permit No. _____
Approved by: _____
Date: _____

Application for Grading Permit Permit Fee: \$100

This permit becomes null and void if work or construction authorized is not commenced within 6 months, or if construction or work is suspended or abandoned for a period of 6 months at any time after work is commenced.

Property Owner Information	Business Name: <u>Legends Bank</u> Property Owner: <u>Legends Bank</u> Property Owner Address: <u>310 North First Street</u> Zip: <u>37040</u> City/State: <u>Clarksville, TN</u> County: <u>Montgomery</u> Contact Phone #: <u>931-572-1217</u> Property Address/Location (if different than above): _____ <u>525 S. Main St., Ashland City, TN 37015</u>
Contractor Information	Contractor: <u>TMS, LLC</u> Contractor Address: <u>3163 Old Clarksville-Springfield Road</u> City/State: <u>Adams, Tennessee</u> Zip: <u>37010</u> Contact Phone #: <u>931.647.2233</u> Onsite Contact Name and Phone #: <u>John Huenink 931.614.5892</u>
Person responsible for Erosion Control: <u>John Huenink</u> Total area (acres or square feet): <u>.39 acres +/-</u> Area to be disturbed (acres or square feet): <u>.39 acres +/-</u> Schedule of work (start & estimated completion dates): <u>Jan 2023 - June 2023</u>	

- I agree that I will comply with all ordinances, laws and Town of Ashland City policies regulating grading, land disturbances, erosion/sedimentation control and storm water management.
- I agree to allow access to said activities for inspection by the Town of Ashland City personnel.
- All erosion/sedimentation control measures will be installed pre-SWPPP plan before land disturbing activities. I further agree to add any additional erosion/sedimentation control measures as requested by the Town of Ashland City.
- I agree that I will be responsible for any damage to any utilities, public right-of-ways and city streets caused by this work

Total Cost for ALL grade work and infrastructure to be installed: \$60,000

John Huenink
Applicant Signature

11/14/2022
Date

Building Inspector Signature Date

LEGEND'S BANK ASHLAND CITY

525 S. MAIN STREET, ASHLAND CITY CHEATHAM COUNTY, TENNESSEE

TTL PROJECT NO. 00022-12-00568.00

SEPTEMBER 29, 2022

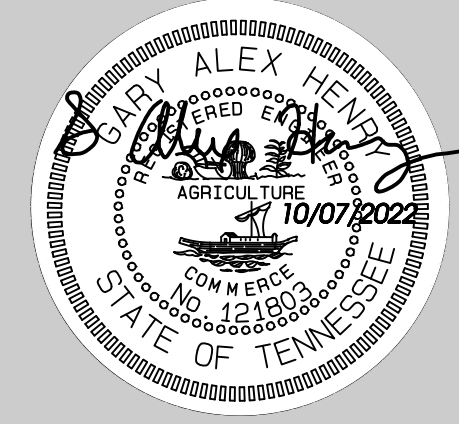
VICINITY MAP



INDEX TO SHEETS

GENERAL SITE NOTES	C1.00
DEMOLITION PLAN	C2.00
SURFACE MATERIALS PLAN	C3.00
STAKING PLAN	C3.01
GRADING & DRAINAGE PLAN	C4.00
EROSION CONTROL PLAN - PHASE I	C5.00
EROSION CONTROL PLAN - PHASE II	C5.01
UTILITY PLAN	C6.00
GENERAL SITE DETAILS	C7.00-7.01

PERMIT SET - NOT FOR CONSTRUCTION

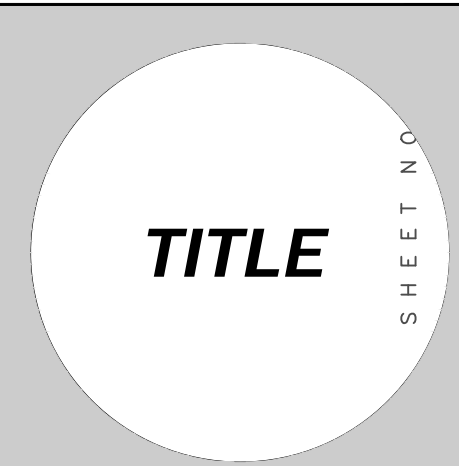


LYLE·COOK·MARTIN
ARCHITECTS
310 Franklin Street / Clarksville, TN 37040
TEL 931.552.4771 / email: bmartin@lylecookmartin.com

LEGEND'S BANK
ASHLAND CITY
525 S. MAIN ST. ASHLAND CITY, TN
TITLE SHEET

LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	DLT/GAH
Revision Date	
Revision Date	
Revision Date	

330 North Second Street | Clarksville, TN 37040
931.647.6959 | www.ttlusa.com



File Name: Legends Bank Ashland City (MAIN).dwg

GENERAL NOTES

GN-1: THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS GAS MAINS, WATER MAINS, ELECTRIC DUCT LINES, ETC. AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, BY ACTUAL OR FURNISHED SURVEYS, AND TAKEN FROM THE RECORDS OF THE PARENT UTILITY COMPANIES DRAWINGS OF THE EXISTING FACILITIES. HOWEVER, THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE PLANS.

EXISTING SITE CONDITIONS PIVE BOUNDARY AND TOPOGRAPHICAL SURVEY BY DBS & ASSOCIATES DATED 09/12/2014.

TENNESSEE ONE CALL CENTER: 1-800-351-1111 OR 811

GN-2: IN THE EVENT OF A CONFLICT BETWEEN THE PLANS, SPECIFICATIONS, STANDARD NOTES, OR THE REQUIREMENTS OF OFFICIALS OF INVOLVED GOVERNMENT BODIES, THE MOST STRINGENT SHALL APPLY. ANY DEVIATIONS FROM THE PLANS MUST BE APPROVED BY THE ENGINEER.

GN-3: THE CONTRACTOR SHALL MAKE A PHYSICAL INSPECTION OF THE SITE BEFORE SUBMITTING A PROPOSAL FOR THE PROJECT. IT IS ASSUMED THAT THE CONTRACTOR HAS EXAMINED THE PLANS, SPECIFICATIONS AND THE SITE PRIOR TO SUBMITTING A PROPOSAL. ANY ITEMS THAT WOULD BE REASONABLY REQUIRED FOR CONSTRUCTION, WHETHER OR NOT SPECIFICALLY DENOTED IN THE PLANS SHALL BE PROVIDED BY THE CONTRACTOR.

GN-4: ANY DISAGREEMENT BETWEEN THE PROJECT PLANS, THE PROJECT AS CONSTRUCTED, AND THE PERMIT OR PERMITS ISSUED FOR THE PROJECT, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE ENGINEER SHALL DECIDE WHICH HAS PRECEDENCE AND WHETHER PERMIT OR PLANS REVISIONS ARE NEEDED. IN GENERAL, PERMIT CONDITIONS WILL PREVAIL.

GN-5: WHEN THE WORK AREA IS AN AREA OF DIRECT PUBLIC ACCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING BARRICADES AND CONSTRUCTION WARNING SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND/OR TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARDS.

GN-6: THE CONTRACTOR IS TO OBTAIN ALL PERMITS REQUIRED BY ALL GOVERNING AGENCIES.

GN-7: ANY SHOP DRAWINGS REQUIRED MUST BE APPROVED BY THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. DESIGNS PROVIDED BY OTHERS MUST BE SIGNED AND SEALED AS REQUIRED BY TENNESSEE STATUTES.

GN-8: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INSPECTORS OF ALL CONCERNED GOVERNMENT AGENCIES DURING ALL PHASES OF CONSTRUCTION.

GN-9: BEARINGS AND/OR DISTANCES SHOWN ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALE. SHOULD A CONFLICT EXIST, NOTIFY THE ENGINEER IMMEDIATELY.

GN-10: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE ENGINEER WITH LETTERS OF ACCEPTANCE OR APPROVAL FROM THE ASHLAND CITY PUBLIC WORKS OR THE CHEATHAM COUNTY HIGHWAY DEPARTMENT BEFORE SUBSTANTIAL PAYMENT IS MADE FOR ANY IMPROVEMENTS.

GN-11: ANY TEMPORARY CONSTRUCTION DURING THIS PROJECT SHALL BE MADE IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND BE MAINTAINED FOR THE LIFE OF THE TEMPORARY CONSTRUCTION. THE TERM OF THE PROJECT, OR A PERIOD OF ONE YEAR. TEMPORARY TURNS AROUND SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND HAVE A SMOOTH TRANSITION FROM FINISHED PAVEMENT ELEVATIONS TO FINISHED STONE ELEVATIONS.

GN-12: ANY EXISTING OR PROPOSED VALVES, FIRE HYDRANTS, METER VAULTS, MANHOLES, SPRINKLER HEADS, ELECTRICAL METERS, TRANSFORMER BOXES, THIS SHALL INCLUDE ANY PADS, GRATES, LIDS, SIGNS, POSTS OR ANY OTHER ITEMS ASSOCIATED WITH SUCH APPURTENANCES), TELEPHONE PEDESTALS, CABLE BOXES, FIBER OPTIC VAULTS (BOXES), REMOTE FIRE DEPARTMENT CONNECTIONS, CLEANOUTS, SPOIGOTS, LIGHT POLES, FLOOD LIGHTS, AREA DRAINS, CATCH BASINS OR OTHER SUCH APPURTENANCES LOCATED WITHIN THE CONSTRUCTION SITE SHALL BE ADJUSTED TO MATCH FINISHED GRADES WHICH ARE NOT SPECIFIED TO BE DRAINED.

GN-13: ANY ALTERNATION TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER & THE ASHLAND CITY PLANNING COMMISSION PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. FAILURE TO DO SO COULD RESULT IN A DELAY OR NON-ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

GN-14: ALL SITE LIGHTING SHALL BE DIRECTED INWARD ONTO SITE, TO INCLUDE SHELDON HOODS. NO SITE LIGHTING SHALL SPILL ONTO ADJACENT PROPERTIES.

GN-15: SIGNAGE, STRIPING AND PAVEMENT OUTSIDE OF DEVELOPMENT ENTRANCE SHALL CONFORM TO THE TOWN OF ASHLAND CITY OR TENNESSEE DEPARTMENT OF TRANSPORTATION REQUIREMENTS AS REQUIRED.

GN-16: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.

GN-17: ALL CURB IS TO BE CURB AND GUTTER, UNLESS NOTED OTHERWISE.

GN-18: SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.

GN-19: CONCRETE WALKS & PADS SHALL HAVE A BROOM FINISH ALL CONCRETE SHALL BE 4000 PSI UNLESS OTHERWISE NOTED. CURB RAMPS & SIDEWALK SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT 2010 ADA GUIDELINES AND LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.

GN-20: CONSTRUCTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS & SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 15' SEGMENTS.

GN-21: PARKING STRIPES SHALL BE 4-INCH WHITE HEAVY DUTY FAST DRYING TRAFFIC PAINT. CONTRACTOR SHALL APPLY SECOND COAT OF PAINT PRIOR TO FINAL INSPECTION.

GN-22: NO BURNING IS ALLOWED ON SITE WITHOUT THE PERMISSION OF THE OWNER AND LOCAL AUTHORITY.

GENERAL UTILITY NOTES

U-1: ALL WATER AND SANITARY SEWER CONSTRUCTION IS TO BE MADE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF ASHLAND CITY PUBLIC WORKS OR THE APPROPRIATE UTILITY DISTRICT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE ENGINEER OR THE APPROPRIATE UTILITY DISTRICT.

U-2: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE CUMBERLAND ELECTRIC MEMBERSHIP COOPERATIVE (CEMC) DURING CONSTRUCTION.

U-3: CONTRACTOR SHALL PROVIDE SHEETING, SHORING AND BRACING AS NECESSARY TO PROTECT WORKMEN AND EXISTING UTILITIES DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET ALL APPROPRIATE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.

U-4: MEGALUG MECHANICAL RESTRAINTS, OR APPROVED EQUAL, SHALL BE USED ON ALL FITTINGS AND VALVES.

U-5: ANY VALVES, MANHOLES, SPRINKLER HEADS OR OTHER SUCH APPURTENANCES LOCATED WITHIN THE CONSTRUCTION SITE SHALL BE ADJUSTED TO MATCH FINISHED GRADES.

U-6: BEDDING MATERIAL FOR PVC SEWER PIPE SHALL CONSIST OF A 6-INCH ENVELOPE OF AASHTO M43 #67 CRUSHED STONE ON ALL SIDES OF THE PIPE. PIPE BEDDING SHALL BE THOROUGHLY AND COMPLETELY TAMPED BEFORE BACKFILLING.

U-7: ALL SANITARY SEWER MANHOLE TO PIPE CONNECTIONS SHALL BE MADE WITH A RUBBER BOOT, CAST OR GROUTED INTO THE MANHOLE. ANY MANHOLE SUBJECT TO INUNDATION SHALL RECEIVE A WATERTIGHT COVER.

U-8: SHOULD SOLID ROCK BE ENCOUNTERED IN A SEWER TRENCH IT SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE FINISHED PIPELINE.

U-9: IN GENERAL, CRUSHED STONE BEDDING SHALL NOT BE REQUIRED FOR WATER LINE INSTALLATIONS. HOWEVER, WHERE UNSUITABLE MATERIAL OR SOLID ROCK IS ENCOUNTERED, BEDDING SHALL CONSIST OF A 6-INCH ENVELOPE OF AASHTO M43 #67 CRUSHED STONE ON ALL SIDES OF THE PIPE.

U-10: GENERALLY, TRENCHES SHALL BE BACKFILLED DAILY AS CONSTRUCTION PROCEEDS. IN NO CASE SHALL A TRENCH BE LEFT OPEN FOR MORE THAN SEVEN (7) DAYS.

BACKFILL UNDER PAVEMENT:
THE CONTRACTOR SHALL PLACE AND COMPACT TO 96% STANDARD PROCTOR DENSITY, AASHTO M43 #67 IN LIFTS NOT EXCEEDING 6 INCHES FROM THE TOP OF THE BEDDING ENVELOPE TO THE BASE OF THE PAVEMENT.

BACKFILL IN UNIMPROVED AREAS:
THE CONTRACTOR SHALL PLACE AND COMPACT MATERIAL CONSISTENT WITH EITHER FINE, LOOSE EARTH OR GRANULAR MATERIAL THAT IS FREE FROM CLODS, VEGETABLE MATTER, DEBRIS, STONE, AND/OR OTHER OBJECTIONABLE MATERIALS IN 12 INCH LIFTS COMPACTED TO 90% STANDARD PROCTOR (ASTM D699).

U-11: WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER FACILITIES A MINIMUM OF 10 FEET, MEASURED EDGE TO EDGE. WHEN CONDITIONS EXIST THAT PREVENT A HORIZONTAL SEPARATION OF 10 FEET, CLOSER INSTALLATIONS MAY BE MADE IF THE BOTTOM OF THE WATER MAIN IS 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER FACILITY.

U-12: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE ENGINEER WITH LETTERS OF ACCEPTANCE OR APPROVAL FROM THE ENGINEER AND/OR UTILITY DISTRICT OFFICIAL BEFORE SUBSTANTIAL PAYMENT IS MADE FOR ANY IMPROVEMENTS. IN DEVELOPMENTS SUBJECT TO APPROVAL BY THE HEALTH DEPARTMENT, THE CONTRACTOR PROVIDE THE ENGINEER WITH A WRITTEN STATEMENT FROM THE HEALTH DEPARTMENT THAT CONSTRUCTION TO DATE HAS NOT ADVERSELY AFFECTED THE APPROVAL OF THE DEVELOPMENT.

U-13: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE ENGINEER WITH ALL NECESSARY INFORMATION TO COMPLETE THE AS-BUILT DRAWINGS. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TWO LOCATION TIES FOR ALL WATER AND SEWER SERVICES, TWO LOCATION TIES FOR ALL APPURTENANCES (VALVES, HYDRANTS, TEES, ELBOWS, ETC.), AS-BUILT INVERT ELEVATIONS OF ALL MANHOLES AND TRUNK LINES INTO AND OUT OF THE MANHOLES AND ELEVATIONS OF ALL SEWER SERVICES. THIS INFORMATION SHALL BE PROVIDED IN A CLEAR AND CONCISE MANNER AND THE ACCURACY THEREOF SHALL BE CERTIFIED TO THE ENGINEER BY THE CONTRACTOR BEFORE ACCEPTANCE.

U-14: ALL WATERLINE PIPING PAST THE "POINT OF SERVICE" INCLUDING UNDERGROUND USED FOR SPRINKLER OR STAMPING SYSTEM MUST BE INSTALLED BY A TENNESSEE REGISTERED SPRINKLER CONTRACTOR. [NFPA RULE 0750-2-708]

U-15: PIPE TRENCHES SHALL NOT BE EXCAVATED MORE THAN 200 FEET AHEAD OF PIPE INSTALLATION.

U-16: BEDDING MATERIAL FOR RIGID SEWER PIPE (RCP, DUCTILE IRON, AND CAST IRON) SHALL CONSIST OF A 6-INCH ENVELOPE OF AASHTO M43 #67 CRUSHED STONE ON ALL SIDES OF THE PIPE. BEDDING SHALL BE THOROUGHLY AND COMPLETELY TAMPED BEFORE BACKFILLING.

U-17: CHECK DAMS SHALL BE PLACED IMMEDIATELY UPSTREAM OF EACH SANITARY SEWER MANHOLE. CHECK DAMS SHALL BE CONSTRUCTED USING COMPACTED CLAY MATERIAL OR CONCRETE, APPROXIMATELY 3 FEET OF THICK AND EXTENDED TO THE TOP OF THE TRENCH. THE SIDES OF THE CHECK DAM SHALL EXTEND 2 FEET INTO THE WALL OF THE TRENCH. ALL STREAM CROSSINGS WILL INCLUDE CHECK DAMS ON BOTH SIDES OF THE CROSSING. PIPE BEDDING MATERIAL SHALL NOT BE PLACED IN THE CHECK DAM.

U-18: ALL SANITARY SEWER CLEANOUTS IN CONCRETE OR PAVEMENT AREAS SHALL BE IN A MB-9 LITTLE RHINO METER/VALVE BOX, ITEM NUMBER 55-L-SV, OR APPROVED EQUIVALENT.

U-20: SEE MECHANICAL DRAWINGS FOR EXACT LOCATION OF UTILITIES ENTERING/EXITING BUILDING.

U-22: CONTRACTOR TO ENSURE THAT ALL GRADING IS TO SUBGRADE PRIOR TO INSTALLATION OF UTILITY LINES.

U-23: GAS LINE IS FOR INFORMATION PURPOSES ONLY. COORDINATE EXACT OR FINAL LOCATION OF GAS LINE UTILITIES WITH PIEDMONT NATURAL GAS COMPANY.

U-25: ALL SANITARY SEWER PIPE SHALL CONFORM TO ASTM 3034-SDR35 STANDARDS.

U-26: CONTRACTOR TO VERIFY DEPTH, LOCATION, AND SIZE OF EXISTING UTILITIES PRIOR TO ORDERING MATERIALS.

U-27: UTILITY LOCATIONS ARE TO BE STAMPED IN CURB IN ACCORDANCE WITH UTILITY DEPT.

U-28: CONTRACTOR IS TO COORDINATE ALL UTILITY WORK WITH PROPER GOVERNING AGENCY.

U-29: ALL FIRE HYDRANTS AND GATE VALVES SHALL OPEN LEFT.

EROSION CONTROL NOTES

E-1: THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN, ON-SITE (OR AT A NEARBY OFFICE).

E-2: CONTRACTOR SHALL PROVIDE AND INSTALL A WATER TIGHT CONSTRUCTION PROJECT SIGN AT THE CONSTRUCTION ENTRANCE FOR POSTING ALL PERMITS, FORMS, NOTIFICATIONS, AND OTHER ITEMS AS REQUIRED.

E-3: THE CONTRACTOR SHALL INSTALL A RAIN GAUGE ON-SITE AND MAINTAIN IT IN GOOD WORKING CONDITION. THE CONTRACTOR SHALL RECORD DAILY PRECIPITATION ON THE PROJECT AND MAINTAIN A RECORD ON SITE.

E-4: INSPECTIONS OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PERFORMED AT LEAST TWICE PER WEEK, AND A MINIMUM OF 72 HOURS APART. INSPECTIONS MUST BE PERFORMED BY AN INDIVIDUAL WHO HOLDS A TDEC LEVEL 1 EPC CERTIFICATION. RECORDS MUST BE MAINTAINED ON SITE THROUGHOUT THE DURATION OF THE PROJECT.

E-5: OUTFALL POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING IMPACTS TO SURROUNDING WATERS. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE ROADWAY SEDIMENT TRACKING.

E-6: UPON CONCLUSION OF THE INSPECTIONS, EROSION AND SEDIMENT CONTROL MEASURES FOUND TO BE INEFFECTIVE SHALL BE REPAIRED, REPLACED, OR MODIFIED BEFORE THE NEXT RAIN EVENT, IF POSSIBLE, BUT IN NO CASE MORE THAN SEVEN DAYS AFTER THE CONDITION IS IDENTIFIED.

E-7: CLEARING AND GRUBBING SHALL NOT BE INITIATED MORE THAN 10 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING ACTIVITIES UNLESS THE AREA IS TEMPORARILY SEEDED.

E-8: EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED CONCURRENT WITH CLEARING OPERATIONS AND SHALL BE FUNCTIONAL PRIOR TO ANY EARTH MOVING OPERATIONS.

E-9: CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED SOIL AREAS. HOWEVER, PRIORITY SHALL BE GIVEN TO FINISHING OPERATIONS AND PERMANENT EROSION CONTROL MEASURES OVER TEMPORARY EROSION CONTROL MEASURES ON ALL PROJECTS.

E-10: SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

E-11: SOIL MATERIALS MUST BE PREVENTED FROM ENTERING WATERS OF THE STATE. EROSION AND SEDIMENTATION CONTROL MEASURES TO PROTECT WATER QUALITY MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. SILT FENCE MUST BE INSTALLED ALONG THE BASE OF ALL FILLS AND CUTS, ON THE DOWNHILL SIDE OF STOCKPILED SOIL, AND ALONG STREAM BANKS IN CLEARED AREAS TO PREVENT SEDIMENT MIGRATION INTO STREAMS. THEY MUST BE INSTALLED ON THE CONTOUR, ENTRENCHED AND STAKED, AND EXTEND THE WIDTH OF THE AREA TO BE CLEARED.

E-12: ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED AS SOON AS PRACTICABLE BUT ACCOMPLISHED NO LATER THAN WITHIN 15 DAYS AFTER FINAL GRADING OR OTHER EARTHWORK. PERMANENT SOIL STABILIZATION SHALL REPLACE TEMPORARY STABILIZATION AS SOON AS PRACTICABLE.

E-13: ALL BEST MANAGEMENT PRACTICES SHALL CONFORM TO THE LATEST FEDERAL, STATE, OR LOCAL STANDARDS OR MANUAL.

E-14: A CONSTRUCTION ENTRANCE/EXIT SHALL BE PLACED AT EACH POINT OF THE PROJECT WHERE TRAFFIC FROM THE WORK ZONE HAS INGRESS/EGRESS ONTO ANY PUBLIC ROADWAYS. CONTRACTOR IS RESPONSIBLE TO ENSURE ALL TRAFFIC IN AND OUT OF THE SITE TRAVELS THROUGH AN INGRESS/EGRESS LOCATION AS PROVIDED.

E-15: IF THE ACTION OF DRIVING OVER THE STONE CONSTRUCTION EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE IS ALLOWED TO ENTER A PUBLIC ROAD IF WASHING IS NECESSARY. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.

E-16: CHECK DAMS SHALL BE UTILIZED WHERE RUNOFF IS CONCENTRATED. RIP-RAP CHECK DAMS SHALL BE PROPERLY CONSTRUCTED TO DETAIN RUNOFF AND TRAP SEDIMENT. CHECK DAMS SHALL BE CONSTRUCTED OF CLEAN ROCK OF VARIOUS TYPE AND SIZE, DEPENDING UPON APPLICATION, WHICH CONTAINS NO FINES, SOILS, OR OTHER WASTES OR CONTAMINANTS.

E-17: ALL WASH WATER (CONCRETE TRUCK WASHOUT, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC) SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED.

E-18: THE OPERATION OF EQUIPMENT IN WATERS OF THE STATE / U.S., INCLUDING WETLANDS, SHALL BE ONLY AS SHOWN ON THE PROJECT PLANS AND/OR AS SO SPECIFIED IN THE ARAP AND/OR SECTION 404 PERMIT(S). ANY ADDITIONAL PERMITS REQUIRED BY THE CONTRACTOR'S METHOD OF OPERATION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN.

E-19: EXCAVATION AND FILL ACTIVITIES SHALL BE SEPARATED FROM FLOWING WATERS. ALL SURFACE WATER FLOWING TOWARD THE EXCAVATION OR FILL WORK SHALL BE DIVERTED THROUGH UTILIZATION OF COFFERDAMS, BERMS, OR TEMPORARY CHANNELS. TEMPORARY DIVERSION CHANNELS MUST BE PROTECTED BY NON-ERODIBLE MATERIAL AND LINED TO THE EXPECTED HIGH-WATER LEVEL. COFFERDAMS MUST BE CONSTRUCTED OF SANDBAGS, CLEAN ROCK, STEEL SHEETING OR OTHER NON-ERODIBLE MATERIAL. CLEAN ROCK IS ROCK OF VARIOUS TYPE AND SIZE, DEPENDING UPON APPLICATION THAT CONTAINS NO FINES, SOILS, OR OTHER WASTES OR CONTAMINANTS.

E-20: THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN A PROACTIVE METHOD TO PREVENT LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS FROM ENTERING WATERS OF THE STATE. U.S.

E-21: THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO ENSURE CHEMICALS ARE PREVENTED FROM ENTERING WATERS OF THE STATE. U.S. ALL EQUIPMENT REFUELING, SERVICING, AND STAGING AREAS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS, RULES, REGULATIONS, AND ORDINANCES, INCLUDING THOSE OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA). APPROPRIATE CONTAINMENT MEASURES FOR THESE AREAS SHALL BE UTILIZED. ALL SPILLS MUST BE REPORTED TO THE APPROPRIATE AGENCY, AND MEASURES SHALL BE TAKEN IMMEDIATELY TO PREVENT THE POLLUTION OF WATERS OF THE STATE. U.S., INCLUDING GROUNDWATER, SHOULD A SPILL OCCUR.

E-22: BORROW AND WASTE DISPOSAL AREAS SHALL BE LOCATED IN NON-WETLAND AREAS AND ABOVE THE 100-YEAR, FEDERAL EMERGENCY MANAGEMENT AGENCY FLOODPLAIN. BORROW AND WASTE DISPOSAL AREAS SHALL NOT AFFECT ANY WATERS OF THE STATE / U.S. UNLESS THESE AREAS ARE SPECIFICALLY COVERED BY AN ARAP, 404, OR NPDES PERMIT, OBTAINED SOLELY BY THE CONTRACTOR.

E-23: WETLAND AREAS SHALL NOT BE USED AS EQUIPMENT STORAGE, STAGING, OR TRANSPORTATION AREAS, UNLESS PROVIDED FOR IN THE PLANS.

E-24: THE EROSION AND SEDIMENT CONTROL MEASURES AND/OR PLAN SHALL BE MODIFIED AS NECESSARY SO THAT THEY ARE EFFECTIVE AT ALL TIMES THROUGHOUT THE COURSE OF THE PROJECT.

E-25: FOR THE INSTALLATION OF BURIED UTILITIES (PIPES AND CABLES), TRENCHES SHALL BE BACKFILLED DAILY AS CONSTRUCTION PROCEEDS. BACKFILLED TRENCHES SHALL BE SEEDED AND MULCHED OR SODDED DAILY IF POSSIBLE, BUT NO LATER THAN SEVEN (7) DAYS AFTER TRENCHING. ANY TEMPORARY SPOIL PILE OF EXCAVATED EARTH SHALL BE LOCATED WITHIN THE PROJECT EROSION CONTROL MEASURES OR RECEIVE SEPARATE EROSION CONTROL MEASURES. IF TRENCHES ARE NOT BACKFILLED OVERNIGHT, APPROPRIATE EROSION CONTROL AND SAFETY MEASURES WILL BE INSTALLED UNTIL SUCH TIME AS THE TRENCH IS BACKFILLED.

E-26: UPON FINAL STABILIZATION, CONTRACTOR SHALL REMOVE ALL SILT FENCE, SEDIMENT LOGS, STRAW BALES, ROCK CHECK DAMS, INLET PROTECTION, CONSTRUCTION ENTRANCES, ETC & SOD, SEED AND/OR MATT THE DISTURBED AREAS ACCORDINGLY.

GENERAL GRADING NOTES

G-1: PROTECT TREES NOT MARKED FOR REMOVAL OR LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION. IF A TREE TRUNK OR BRANCH IS CUT OR SCARRED THEN THE AFFECTED AREA SHALL BE TREATED WITH A WOUND PAINT TO PREVENT DISEASE.

G-2: THE AREA WITHIN THE LIMITS OF GRADING SHALL BE GRUBBED TO A MINIMUM DEPTH OF TWELVE (12) INCHES BELOW EXISTING GROUND LINE ELEVATIONS TO REMOVE GRASS, ROOTS, AND OTHER ORGANIC MATERIALS. THE TOP NINE (9) INCHES OF EXPOSED SUBGRADE AFTER CUTTING TO DESIRED SUBGRADE ELEVATION AND/OR BEFORE PLACEMENT OF FILL, SHOULD BE SCARIFIED AND RECOMPACTED TO THE COMPACTION REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.

G-3: ANY BUILDINGS TO BE DEMOLISHED DURING CLEARING OPERATIONS SHALL BE DONE SO ACCORDING TO ALL APPLICABLE LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING AN ASBESTOS SURVEY OF THE STRUCTURE, OBTAINING AIR QUALITY PERMITS AND COORDINATING WITH UTILITY OWNERS TO SHUTDOWN SERVICE.

G-4: ALL DEBRIS WILL BE REMOVED FROM THE SITE BY THE CONTRACTOR. BURNING OF COMBUSTIBLE MATERIAL IS RESTRICTED AND SHALL NOT BE ALLOWED. IF PERMISSION TO BURN IS GRANTED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PRESENT THE PERMITS TO THE ENGINEER. NO DEBRIS SHALL BE BURIED ON SITE.

G-5: THE CONTRACTOR SHALL CONSTRUCT THE STORM WATER DETENTION FACILITIES PRIOR TO BEGINNING ANY OTHER GRADING OPERATIONS.

G-6: THE SLOPES OF ALL EXCAVATED AREAS, DITCHES, WATERWAYS, CHANNELS, BORROW PITS, AND EMBANKMENTS SHALL BE SO TRIMMED AND SHAPED AS TO BE IN REASONABLY CLOSE CONFORMITY WITH THE LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

G-7: BORROW EXCAVATION FOR THE CONSTRUCTION OF EMBANKMENTS OR OTHER PORTIONS OF WORK SHALL BE OBTAINED FROM APPROVED SOURCES. BORROW MATERIAL SHALL BE AASHTO M145, CLASSIFICATION A-6 OR BETTER IF REASONABLY AVAILABLE. THE CONTRACTOR'S ATTENTION IS CALLED TO SECTIONS 53-801 AND 53-809 OF THE TENNESSEE CODE, ANNOTATED, WHICH APPLY TO BORROW PITS ONE (1) ACRE OR MORE IN SIZE THAT ARE NOT SELF DRAINING.

DEMOLITION NOTES

D-1: CONTRACTOR SHALL PROVIDE NECESSARY SIGNAGE, BARRICADES OR OTHER DEVICES FOR THE PROTECTION OF THE PUBLIC, CONSTRUCTION WORKERS AND TRAFFIC CONTROL.

D-2: ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED TO EQUAL OR BETTER CONDITION PRIOR TO COMPLETION OF CONSTRUCTION.

D-3: ALL MUD, DIRT AND DEBRIS TRACKED INTO THE EXISTING ROADWAY AND/OR PARKING AREA FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

D-4: NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION ON THE DRAWINGS. CONTRACTOR SHALL VISIT AND STUDY THE PHYSICAL CONDITION OF THE SITE, REVIEW THE DRAWINGS AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED WORK AS INDICATED ON THE DRAWINGS.

D-5: CONTRACTOR'S MANNER AND METHOD OF INGRESS/EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY OF THE PROJECT SITE.

D-6: NO DEBRIS SHALL BE LEFT ON THE PROJECT SITE OR IN FILLS. LEGAL DISPOSAL AREAS FOR SUCH SHALL BE LOCATED OFF-SITE AND SECURED BY THE CONTRACTOR.

D-7: LOCAL REGULATIONS REGARDING HAULING AND DISPOSAL SHALL APPLY. CONTRACTOR SHALL TAKE MEASURES TO PREVENT SPILLAGE ONTO EXISTING PARKING AREAS OR LOCAL STREETS AND BE RESPONSIBLE FOR CLEAN UP IF SPILLAGE OCCURS, AS A RESULT OF THE TRUCKING OPERATIONS.

D-8: CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO EXISTING ROADWAY, PARKING AREAS, SIDEWALKS AND STRUCTURES CAUSED BY DEMOLITION AND HAULING OPERATIONS.

LOCAL UTILITIES

WATER AND SANITARY SEWER:
ASHLAND CITY PUBLIC WORKS
PH: 615-792-7553

ELECTRICITY:
CUMBERLAND ELECTRIC MEMBERSHIP COOPERATIVE
PH: 615-792-5651

NATURAL GAS:
PIEDMONT NATURAL GAS
PH: 1-800-752-7544

TELEPHONE:
CHARTER SPECTRUM / AT&T
PH: 866-874-2389 / 931-551-6813

CITY STREETS:
ASHLAND CITY PUBLIC WORKS
PH: 615-792-7553

COUNTY ROADS:
CHEATHAM COUNTY HIGHWAY DEPARTMENT
PH: 615-792-4240

TENNESSEE ROADS AND STREETS:
TENNESSEE DEPARTMENT OF TRANSPORTATION
PH: 615-792-5416

CITY BUILDING DEPARTMENT:
ASHLAND CITY BUILDING CODES DEPARTMENT
PH: 615-792-4211

PLANNING COMMISSION:
CHEATHAM COUNTY PLANNING COMMISSION
PH: 615-792-2379



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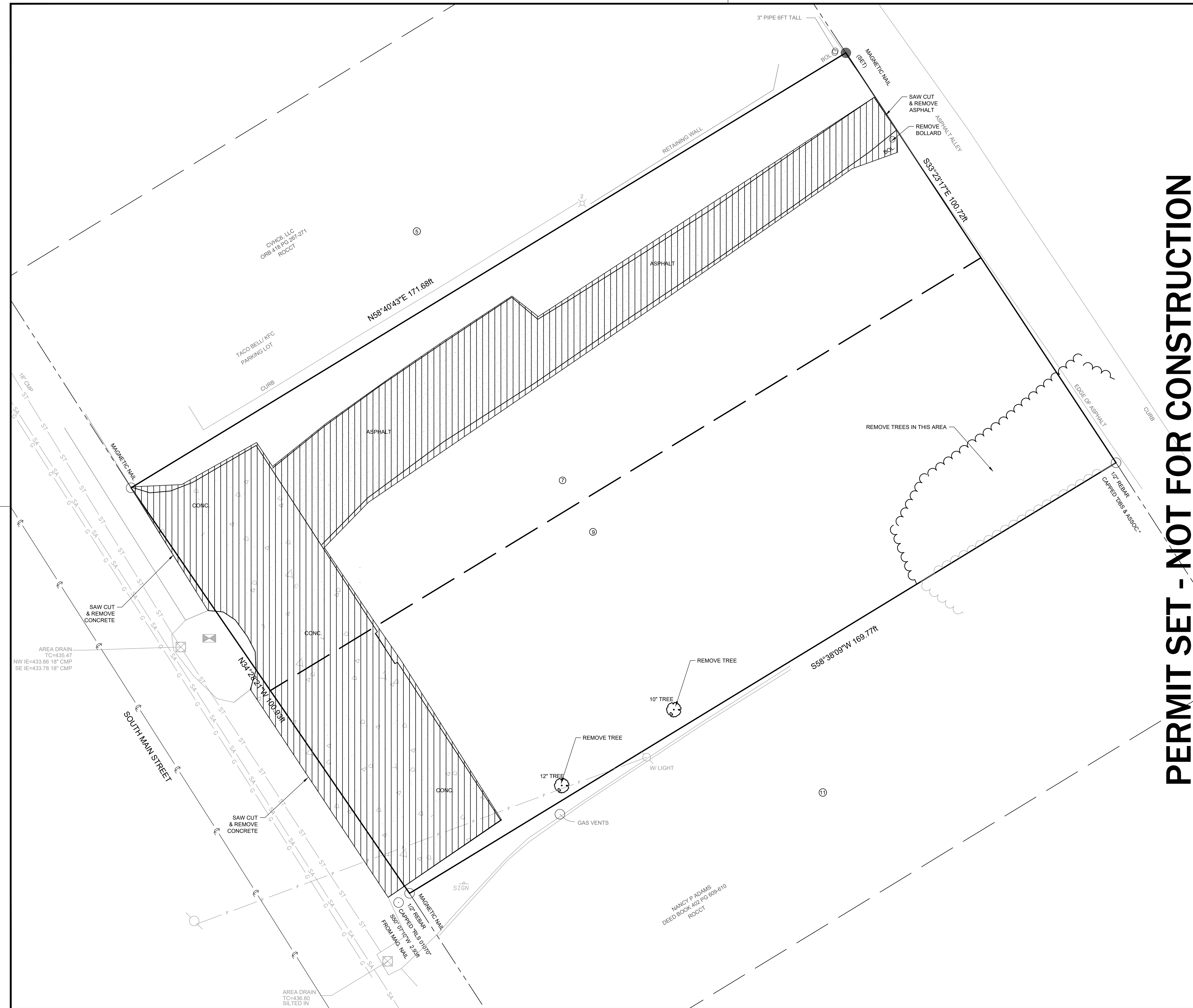
LEGENS BANK
ASHLAND CITY
525 S. MAIN ST. ASHLAND CITY, TN

GENERAL SITE NOTES

LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	DLT/GAH
Revision Date	
Revision Date	
Revision Date	

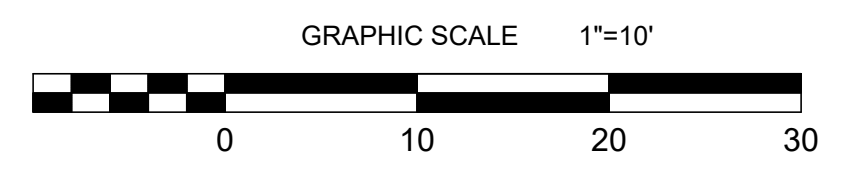


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PERMIT SET - NOT FOR CONSTRUCTION

NORTH BASED ON
 TENNESSEE STATE PLANE COORDINATES
 N.A.D. 83
 GRID NORTH
 VERTICAL DATUM: N.A.V.D. 88



SITE LEGEND

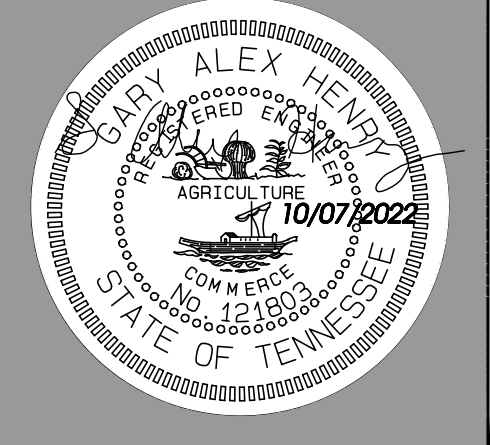
- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT
PLAT BOOK 0 PAGE 482
- - - ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT
- CURB
- TREE LINE
- G — GAS LINE
- P — OVERHEAD UTILITY LINE
- ST — STORM SEWER LINE (SIZE AS INDICATED)
- SA — SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
- REMOVE TREES
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ UTILITY POLE
- ⊙ ELECTRIC METER
- ⊙ WATER VALVE
- ⊙ REMOVE TREE
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ GAS METER
- ⊙ LIGHT POLE WITH # OF LIGHTS
- ⊙ AREA DRAIN
- ⊙ MAIL BOX
- ▨ SAW CUT & REMOVE CONCRETE
- ▨ SAW CUT & REMOVE ASPHALT
- MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
- MONUMENT SET (MAGNETIC NAIL)
- # PARCEL NUMBERS OF LOTS IN PLAT BOOK 0 PAGE 482

NOTE:
 REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.



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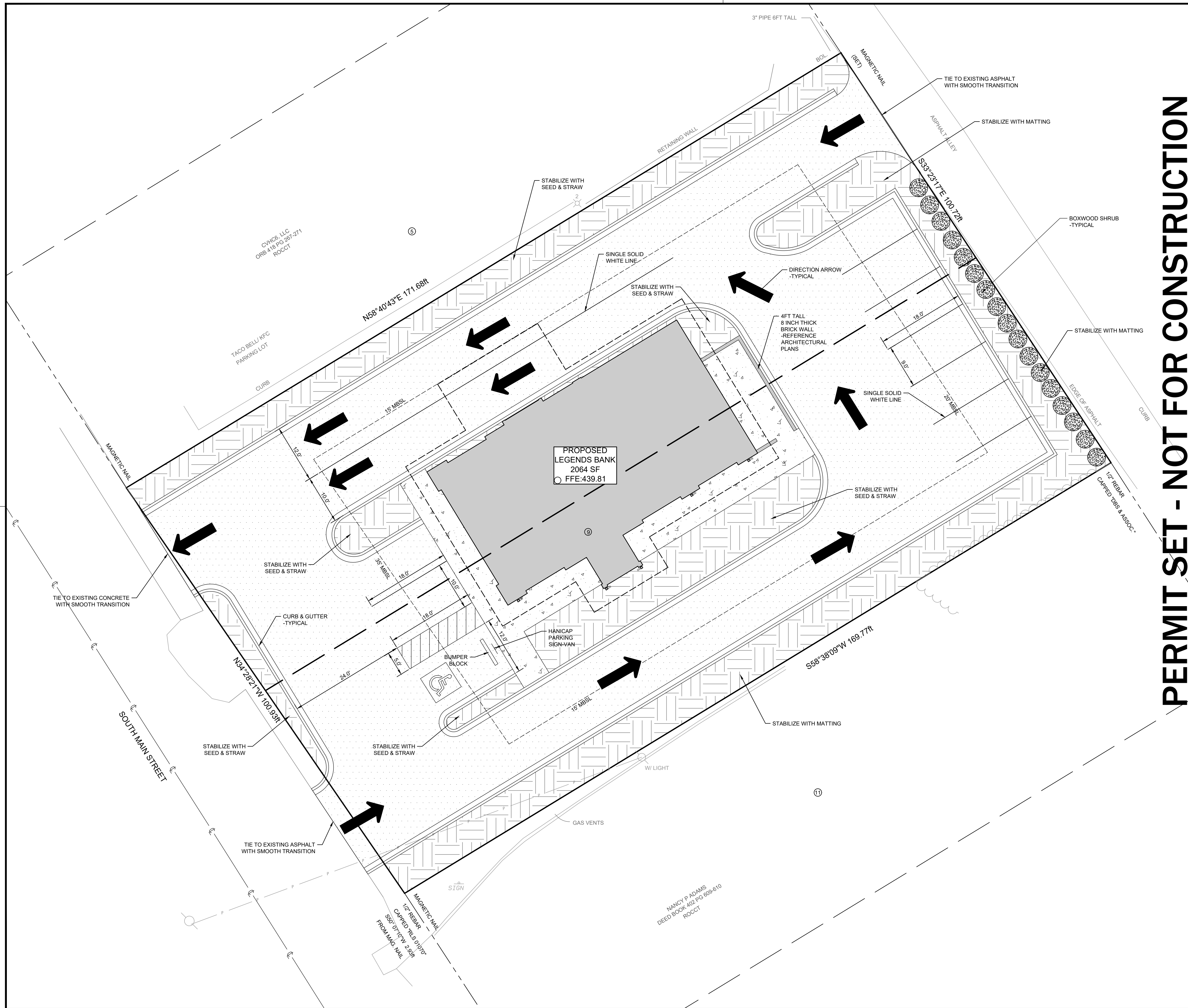
LEGENDS BANK
ASHLAND CITY
 525 S. MAIN ST. ASHLAND CITY, TN

DEMOLITION PLAN

LCM Project No.	1371	Issue Date	10.07.2022
Drawn By	DLT/GAH	Revision Date	
Revision Date		Revision Date	
Revision Date		Revision Date	

C2.00

SHEET NO.



PERMIT SET - NOT FOR CONSTRUCTION

NORTH BASED ON
TENNESSEE STATE PLANE COORDINATES
N.A.D. 83
GRID NORTH
VERTICAL DATUM: N.A.V.D. 88

GRAPHIC SCALE 1"=10'

SITE LEGEND

- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT PLAT BOOK 0 PAGE 482
- - - ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- TREE LINE
- OVERHEAD UTILITY LINE
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED HANDICAP PARKING SIGN
- PROPOSED HANDICAP PARKING SPACE
- PROPOSED BOXWOOD SHRUB
- PROPOSED SIDEWALK
- PROPOSED LANDSCAPE / GREEN AREA
- PROPOSED BUILDING
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED HANDICAP PARKING AISLE / NO PARKING AREA
- UTILITY POLE ✕ LIGHT POLE WITH # OF LIGHTS
- ELECTRIC METER
- MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
- MONUMENT SET (MAGNETIC NAIL)
- # PARCEL NUMBERS OF LOTS IN PLAT BOOK 0 PAGE 482

GENERAL INFORMATION:

SITE DATA:

TOTAL ACREAGE: 17,195 SF (0.39+- ACRES)
 PROPOSED USE: BANK
 PROPOSED ADDITION BUILDING AREA: 2,064 SF
 PROPOSED PARKING REQUIRED: 10
 PROPOSED PARKING PROVIDED: 10

NOTE: REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

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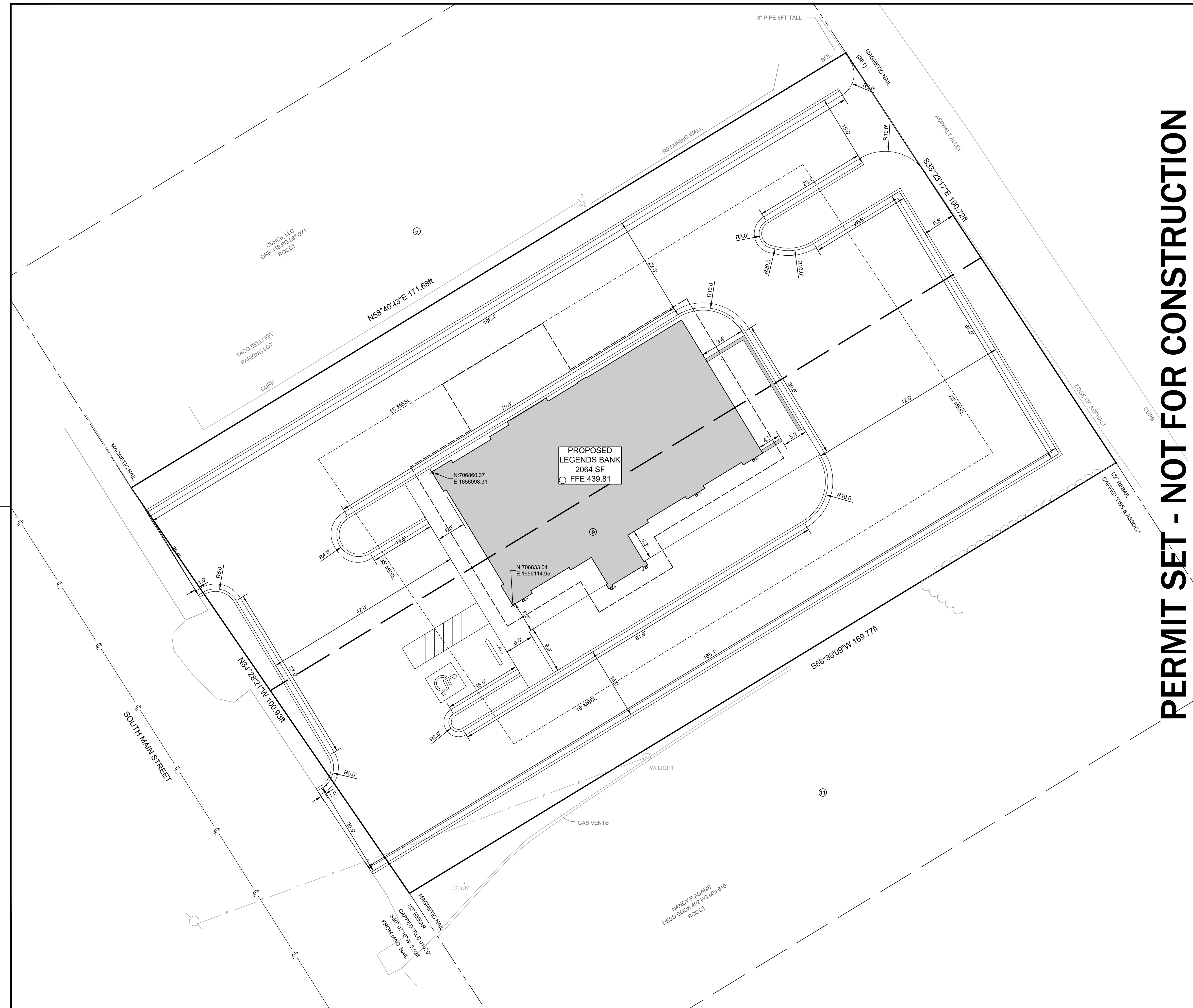
**LEGENDS BANK
ASHLAND CITY**
525 S. MAIN ST. ASHLAND CITY, TN

SURFACE MATERIALS PLAN

LCM Project No.	1371	Issue Date	10.07.2022
Drawn By	DLT/GAH	Revision Date	
Revision Date		Revision Date	

C3.00

SHEET NO.



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N.A.D. 83
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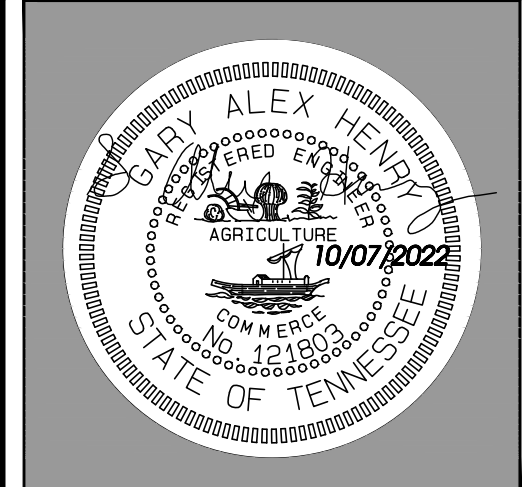
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PLAT BOOK 0 PAGE 482
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- OVERHEAD UTILITY LINE
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED HANDICAP
PARKING SIGN
- PROPOSED HANDICAP
PARKING SPACE
- PROPOSED BUILDING
- PROPOSED HANDICAP PARKING AISLE
(NO PARKING AREA)
- UTILITY POLE
- ELECTRIC METER
- MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
- MONUMENT SET (MAGNETIC NAIL)
- PARCEL NUMBERS OF LOTS IN PLAT BOOK 0 PAGE 482
- R= RADIUS
- LIGHT POLE WITH # OF LIGHTS

NOTE:
REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

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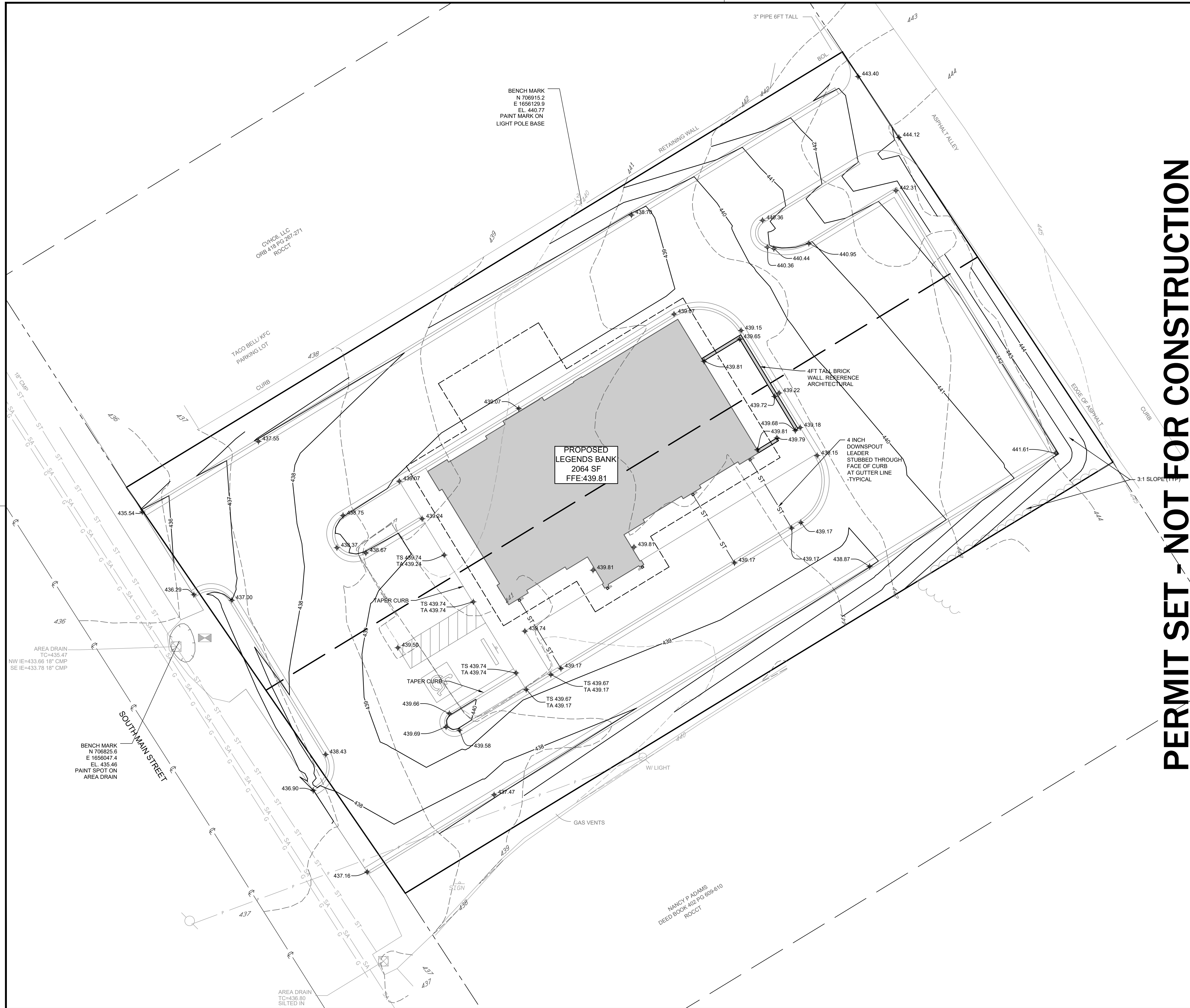
**LEGENDS BANK
ASHLAND CITY**
525 S. MAIN ST. ASHLAND CITY, TN

STAKING PLAN

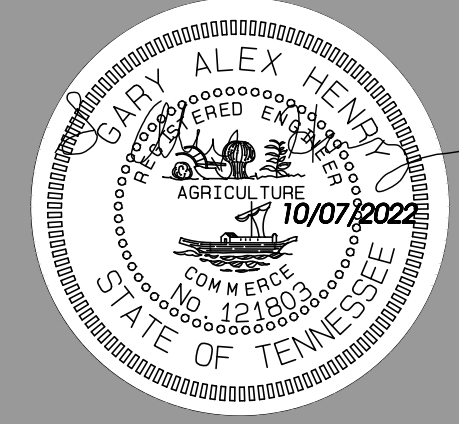
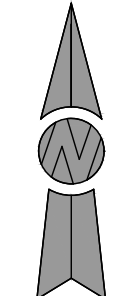
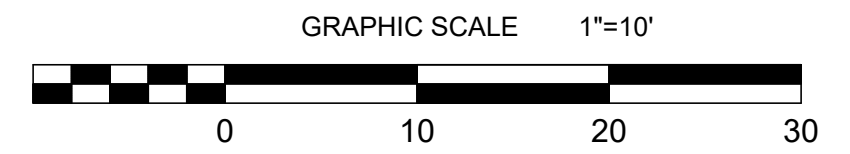
LCM Project No.	1371	Issue Date	10.07.2022
Drawn By	DLT/GAH	Revision Date	
Revision Date		Revision Date	

C3.01

SHEET NO.



NORTH BASED ON
 TENNESSEE STATE PLANE COORDINATES
 N.A.D. 83
 GRID NORTH
 VERTICAL DATUM: N.A.V.D. 88



SITE LEGEND

- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT PLAT BOOK 0 PAGE 482
- - - ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- TREE LINE
- G GAS LINE
- P OVERHEAD UTILITY LINE
- ST STORM SEWER LINE (SIZE AS INDICATED)
- SA SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- 440 PROPOSED CONTOUR
- ST PROPOSED STORM PIPE
- 440 CONTOUR LINE INDEX
- 442 CONTOUR LINE INTERVAL
- 440.25 PROPOSED SPOT ELEVATION
- PROPOSED HANDICAP PARKING SIGN
- PROPOSED HANDICAP PARKING SPACE
- BENCHMARK
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- UTILITY POLE
- ELECTRIC METER
- △ WATER VALVE
- FIRE HYDRANT
- WATER METER
- GAS METER
- LIGHT POLE WITH # OF LIGHTS
- AREA DRAIN
- MAIL BOX
- PROPOSED BUILDING
- ▨ PROPOSED HANDICAP PARKING AISLE (NO PARKING AREA)

PERMIT SET - NOT FOR CONSTRUCTION

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GRADING & DRAINAGE PLAN

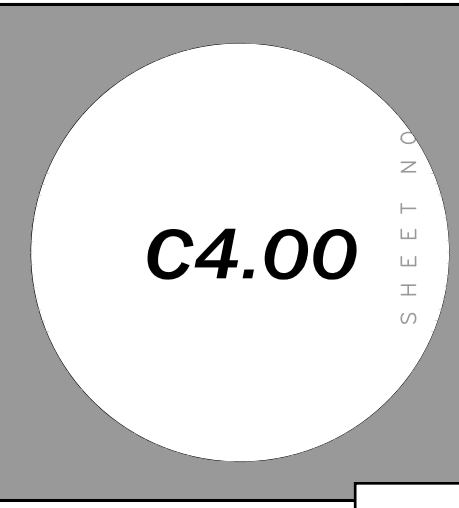
NOTE:
 REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

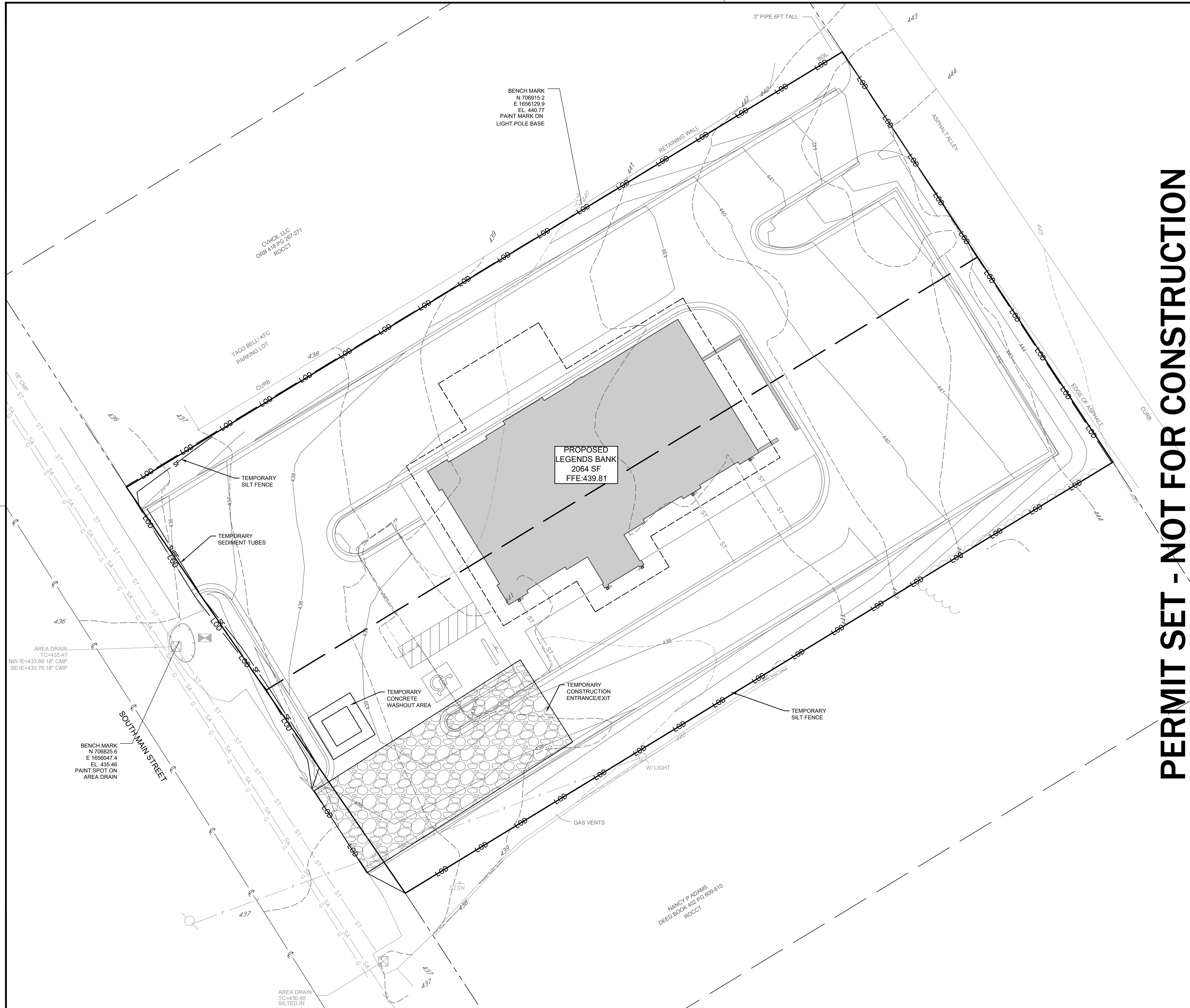
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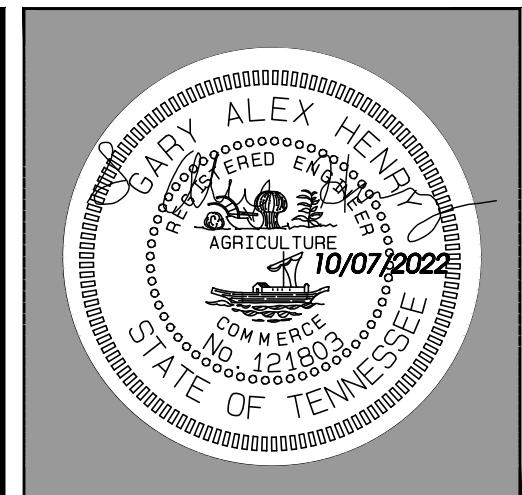
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NORTH BASED ON
TENNESSEE STATE PLANE COORDINATES
N.A.D. 83
GRID NORTH
VERTICAL DATUM: N.A.V.D. 88

GRAPHIC SCALE 1"=10'



SITE LEGEND

	BOUNDARY LINE
	LOT LINES OF TURNER PLACE PLAT PLAT BOOK 0 PAGE 482
	ADJOINING BOUNDARY LINES
	ROADWAY CENTERLINE
	TREE LINE
	GAS LINE
	OVERHEAD UTILITY LINE
	STORM SEWER LINE (SIZE AS INDICATED)
	SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
	PROPOSED CURB & GUTTER
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONTOUR
	PROPOSED STORM PIPE
	CONTOUR LINE INDEX
	CONTOUR LINE INTERVAL
	LIMIT OF DISTURBANCE
	TEMPORARY SILT FENCE
	PROPOSED HANDICAP PARKING SIGN
	PROPOSED HANDICAP PARKING SPACE

	SANITARY SEWER MANHOLE		FIRE HYDRANT
	STORM SEWER MANHOLE		WATER METER
	UTILITY POLE		GAS METER
	ELECTRIC METER		LIGHT POLE WITH # OF LIGHTS
	WATER VALVE		AREA DRAIN
	BENCHMARK		MAIL BOX
	PROPOSED BUILDING		
	PROPOSED HANDICAP PARKING AISLE (NO PARKING AREA)		

NOTE:
REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

PERMIT SET - NOT FOR CONSTRUCTION

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EROSION CONTROL PLAN - PHASE I

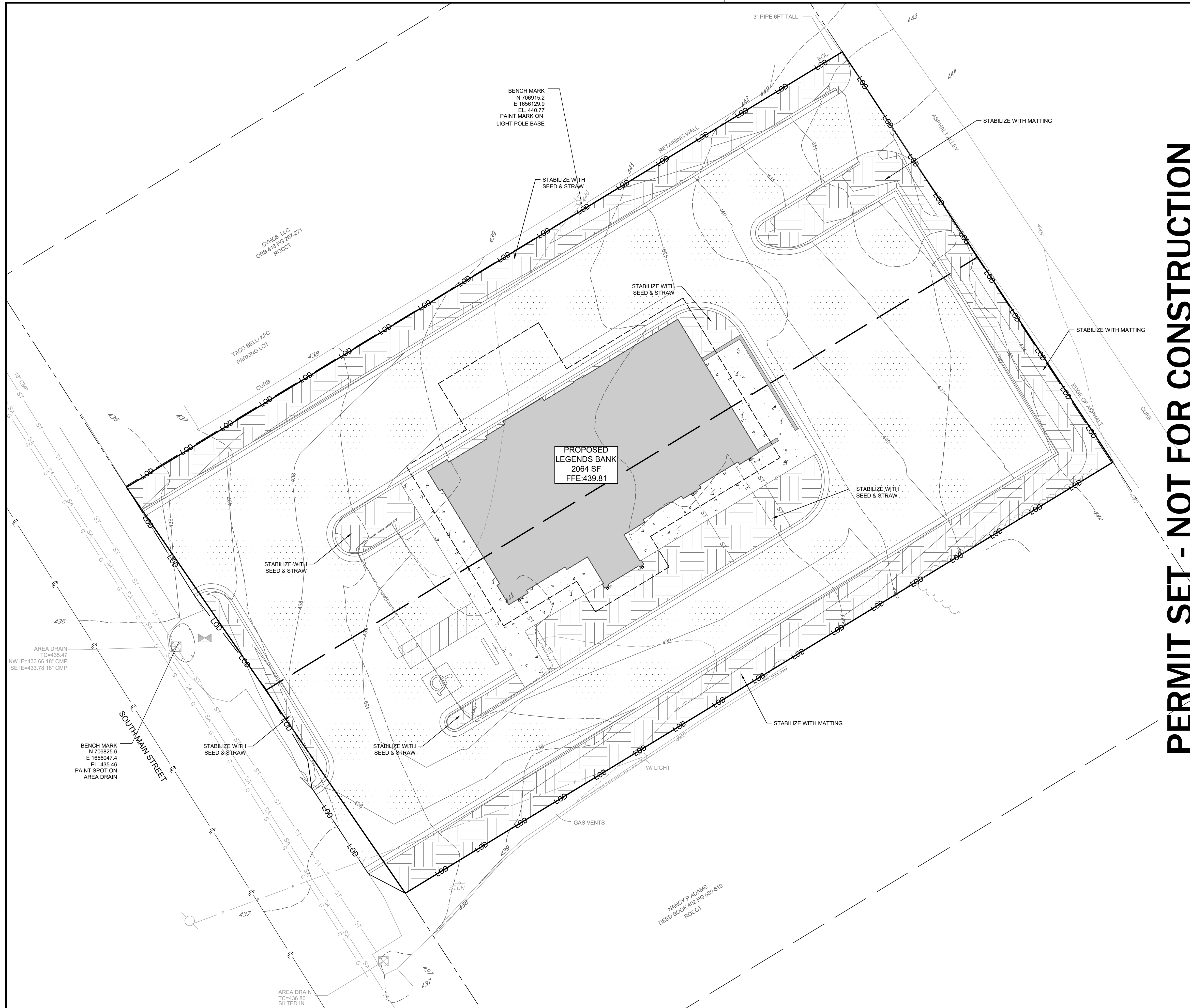
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C5.00

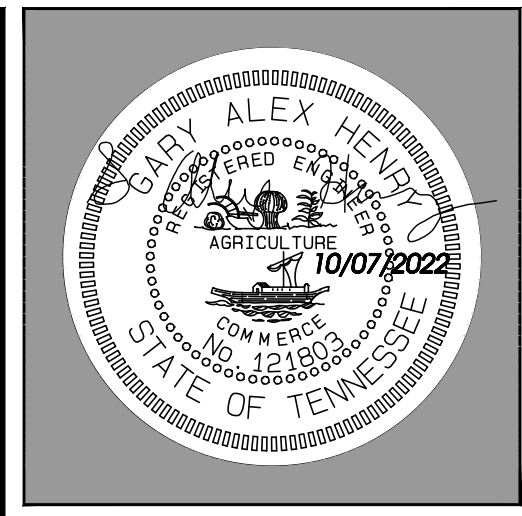
SHEET NO.



NORTH BASED ON
 TENNESSEE STATE PLANE COORDINATES
 N.A.D. 83
 GRID NORTH
 VERTICAL DATUM: N.A.V.D. 88

GRAPHIC SCALE 1"=10'

0 10 20 30



SITE LEGEND

- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT
FLAT BOOK 0 PAGE 482
- - - ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- TREE LINE
- G — GAS LINE
- P — OVERHEAD UTILITY LINE
- ST — STORM SEWER LINE (SIZE AS INDICATED)
- SA — SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- 440 — PROPOSED CONTOUR
- ST — PROPOSED STORM PIPE
- 440 — CONTOUR LINE INDEX
- 442 — CONTOUR LINE INTERVAL
- LOD — LIMIT OF DISTURBANCE
- PROPOSED HANDICAP
PARKING SIGN
- PROPOSED HANDICAP
PARKING SPACE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- UTILITY POLE
- ELECTRIC METER
- WATER VALVE
- BENCHMARK
- PROPOSED BUILDING
- PROPOSED HANDICAP PARKING AISLE
(NO PARKING AREA)
- PROPOSED SIDEWALK
- PROPOSED LANDSCAPE / GREEN AREA
- PROPOSED BUILDING
- PROPOSED LIGHT DUTY PAVEMENT
- FIRE HYDRANT
- WATER METER
- GAS METER
- LIGHT POLE WITH # OF LIGHTS
- AREA DRAIN
- MAIL BOX

NOTE:
 REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

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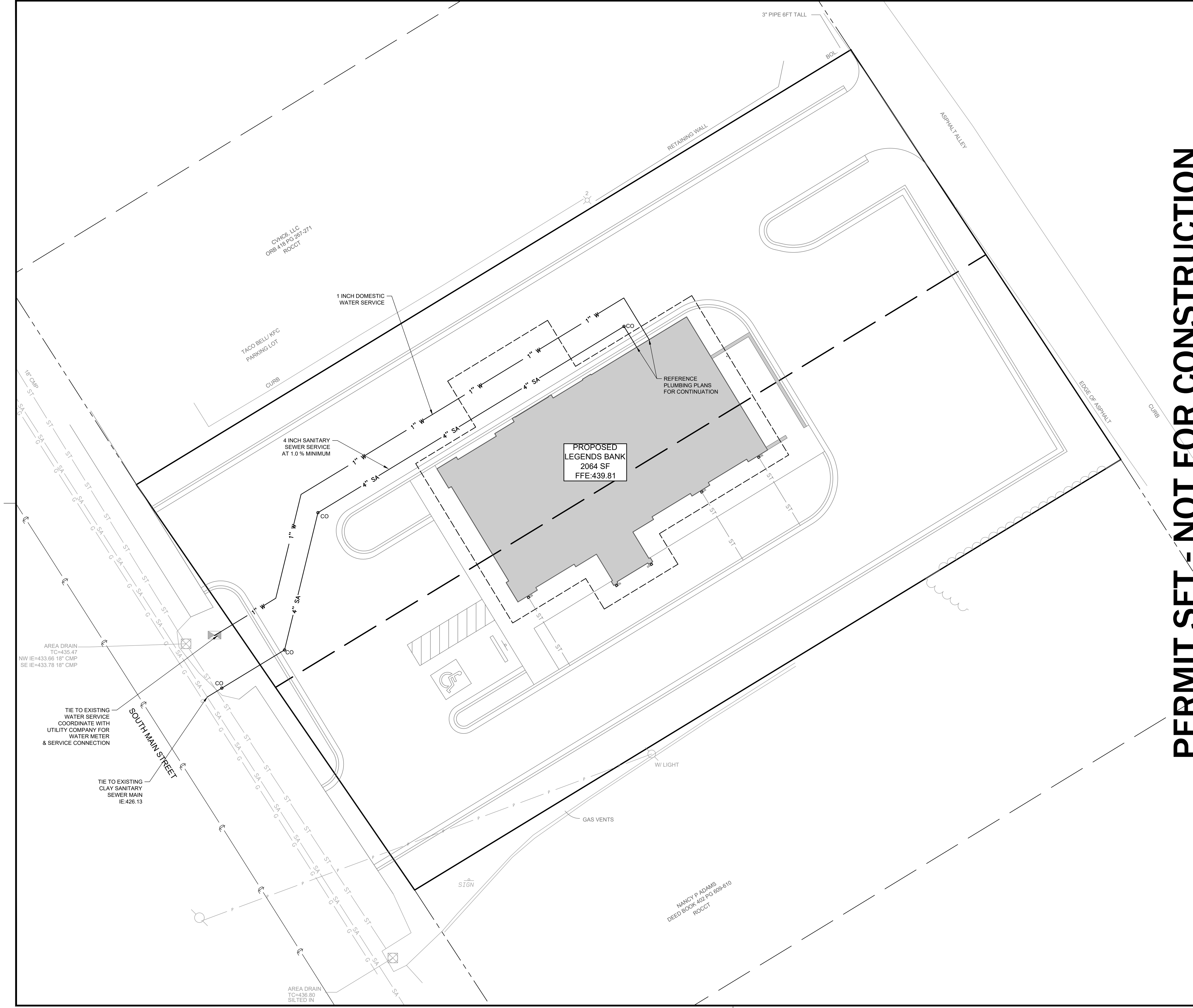
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EROSION CONTROL PLAN - PHASE II

LCM Project No.	1371
Issue Date	10.07.2022
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Revision Date	
Revision Date	
Revision Date	

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GRID NORTH
VERTICAL DATUM: N.A.V.D. 88

GRAPHIC SCALE 1"=10'



SITE LEGEND

- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT
PLAT BOOK 0 PAGE 482
- - - ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- TREE LINE
- G — GAS LINE
- P — OVERHEAD UTILITY LINE
- ST — STORM SEWER LINE (SIZE AS INDICATED)
- SA — SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED STORM PIPE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE
- PROPOSED CLEAN-OUT
- CO — PROPOSED CLEAN-OUT
- PROPOSED HANDICAP
PARKING SIGN
- PROPOSED HANDICAP
PARKING SPACE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- UTILITY POLE
- ELECTRIC METER
- ▽ WATER VALVE
- FIRE HYDRANT
- WATER METER
- GAS METER
- LIGHT POLE WITH # OF LIGHTS
- AREA DRAIN
- MAIL BOX
- PROPOSED BUILDING

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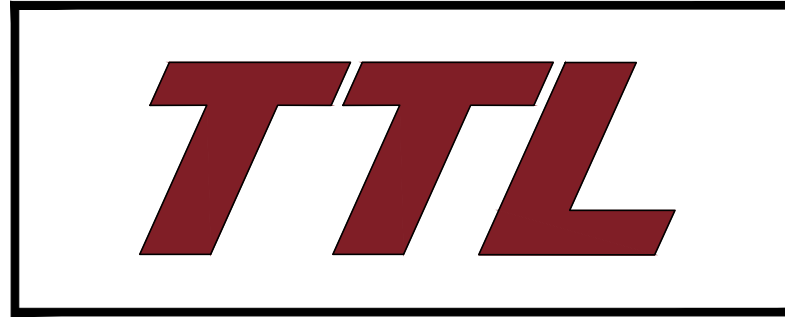
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525 S. MAIN ST. ASHLAND CITY, TN

UTILITY PLAN

NOTE:
REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

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Revision Date	
Revision Date	

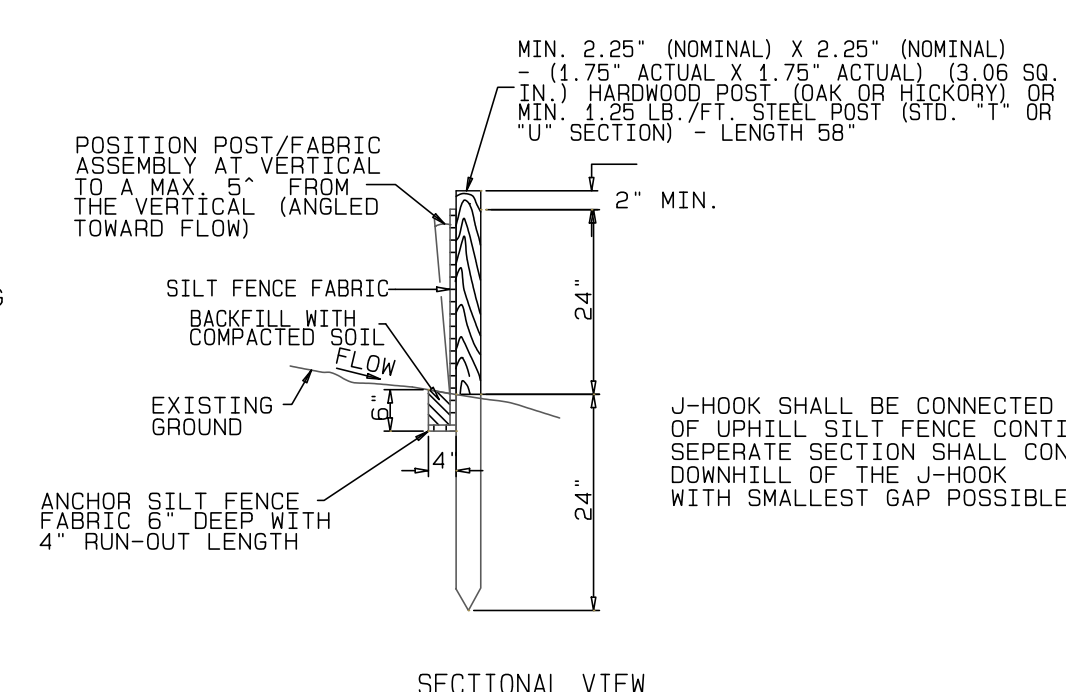
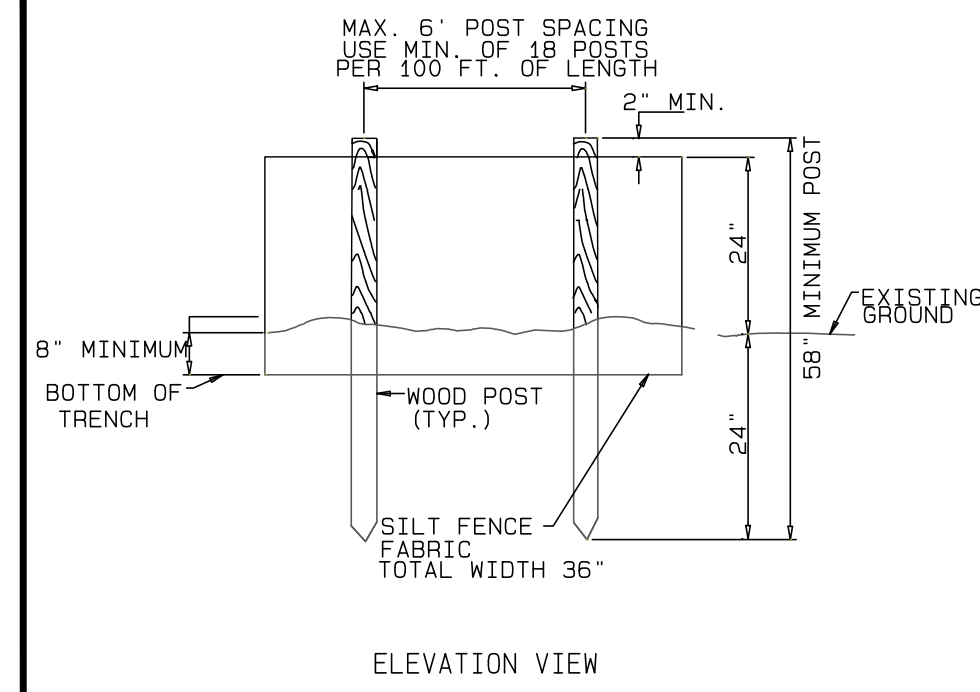


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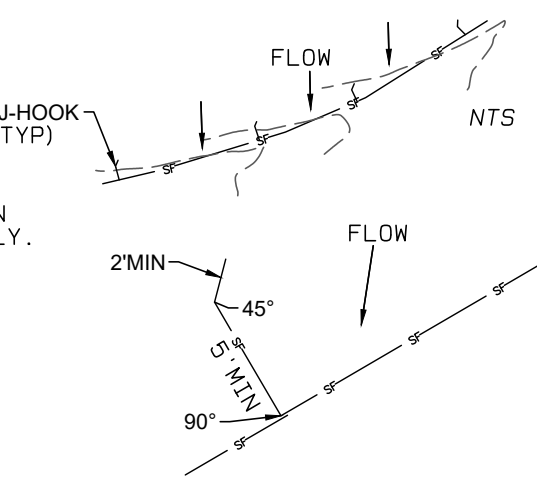
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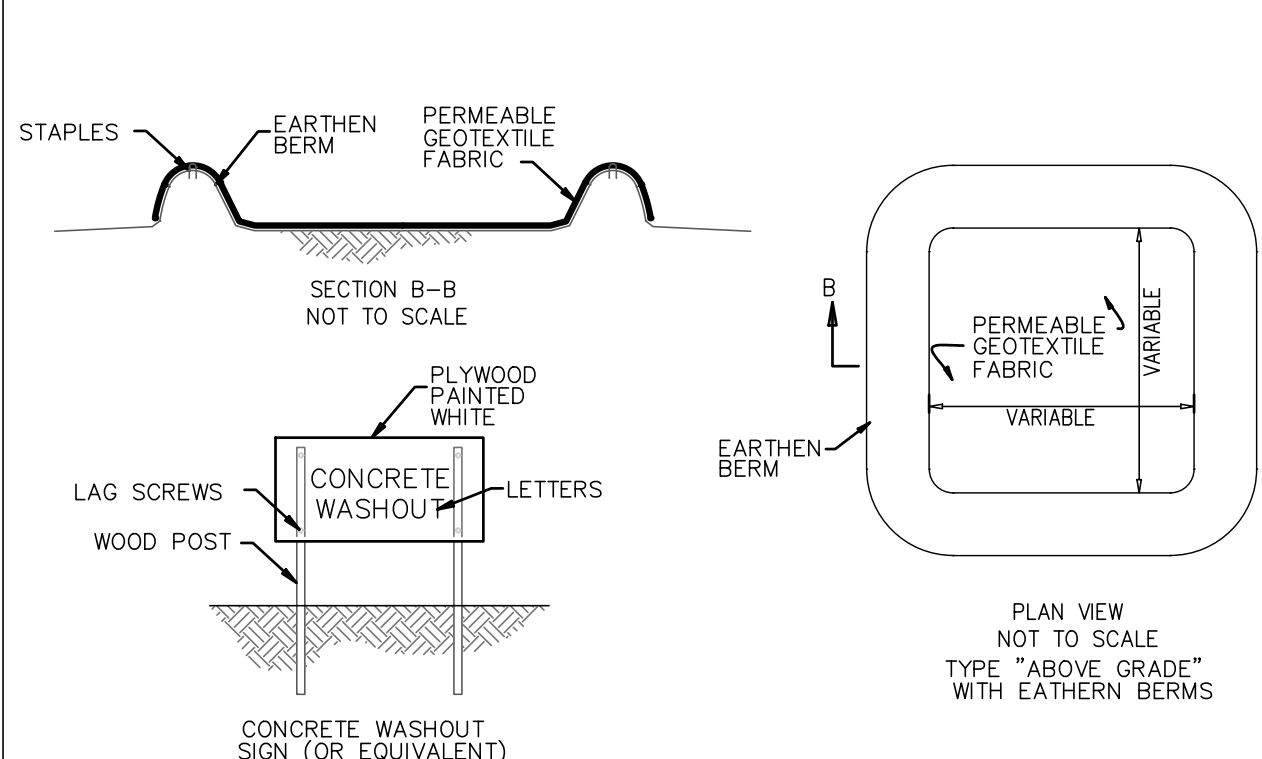
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NOTE: WHERE PRACTICAL SILT FENCE SHALL BE PLACED PERPENDICULAR TO THE FLOW OF WATER. IF SILT FENCE MUST BE PLACED ALONG A SLOPE, J-HOOKS MUST BE INSTALLED PERIODICALLY BUT AT A MINIMUM EVERY TWO FEET OF VERTICAL FALL.

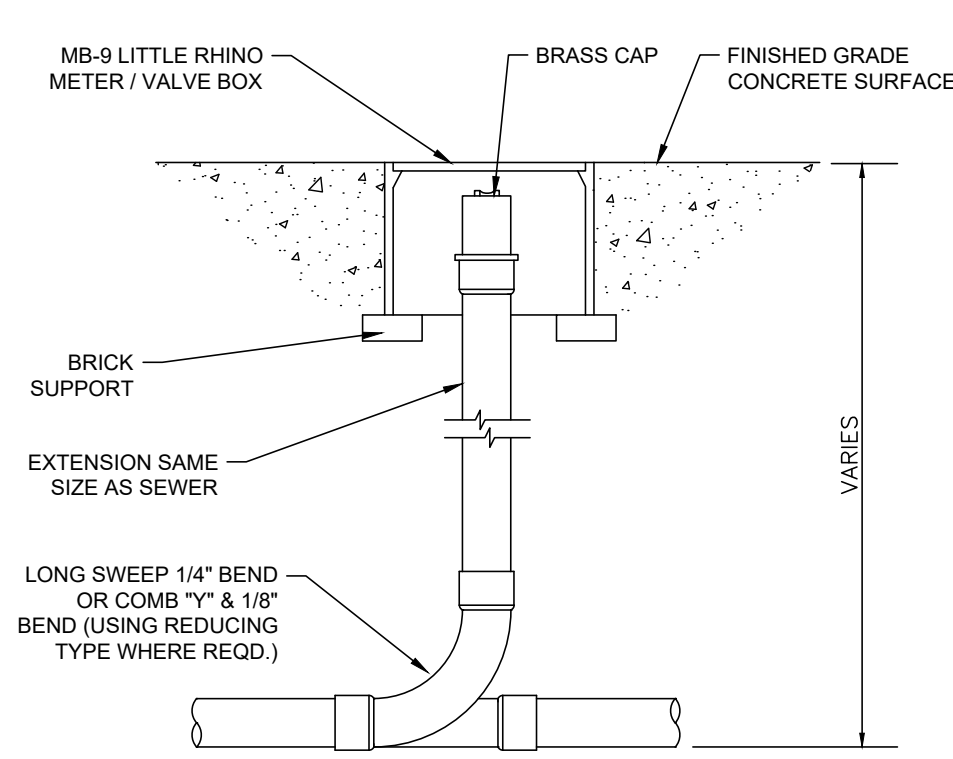


TEMPORARY SILT FENCE
NO SCALE

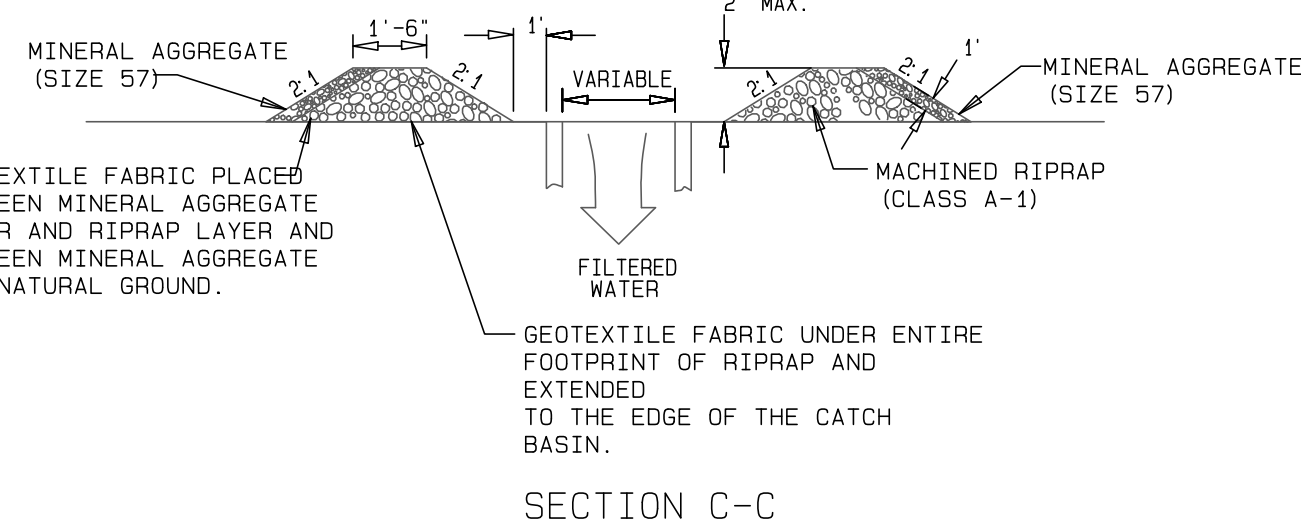
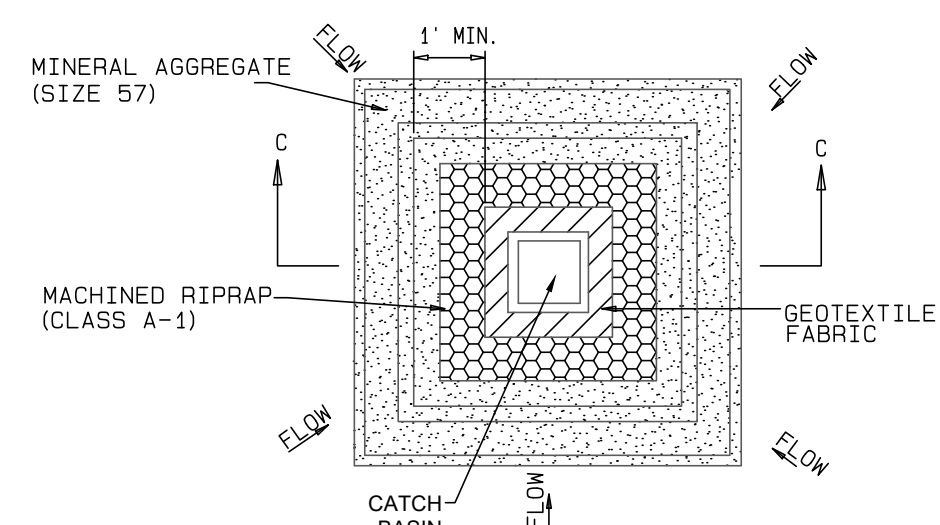


- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5 FT. OF THE WASHOUT FACILITY.

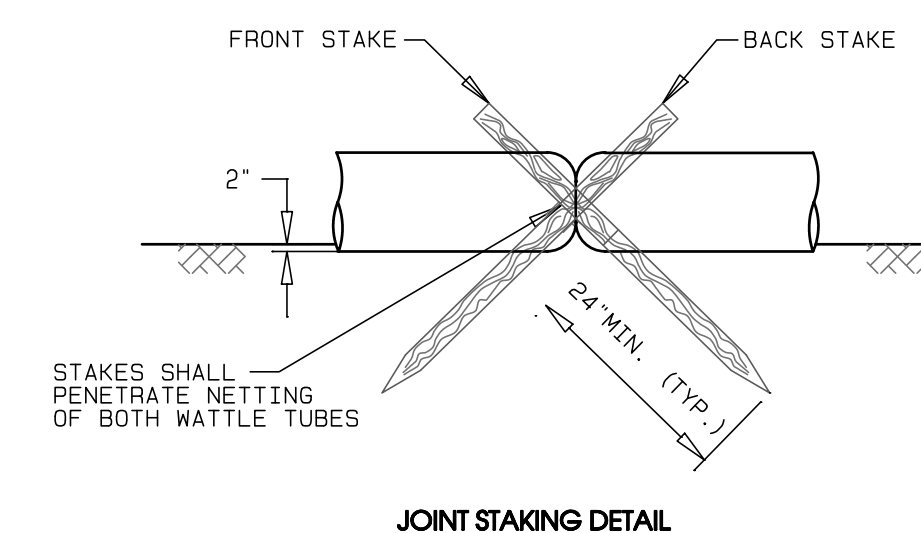
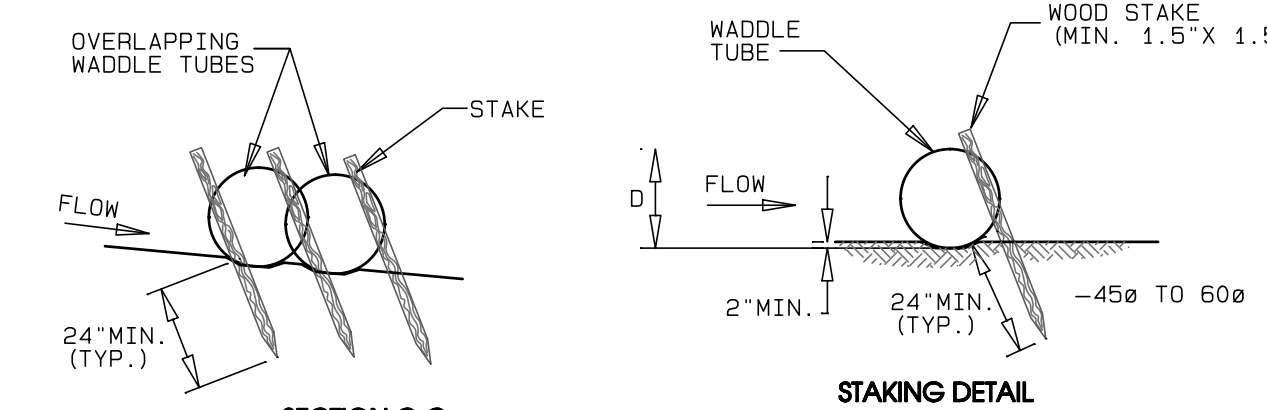
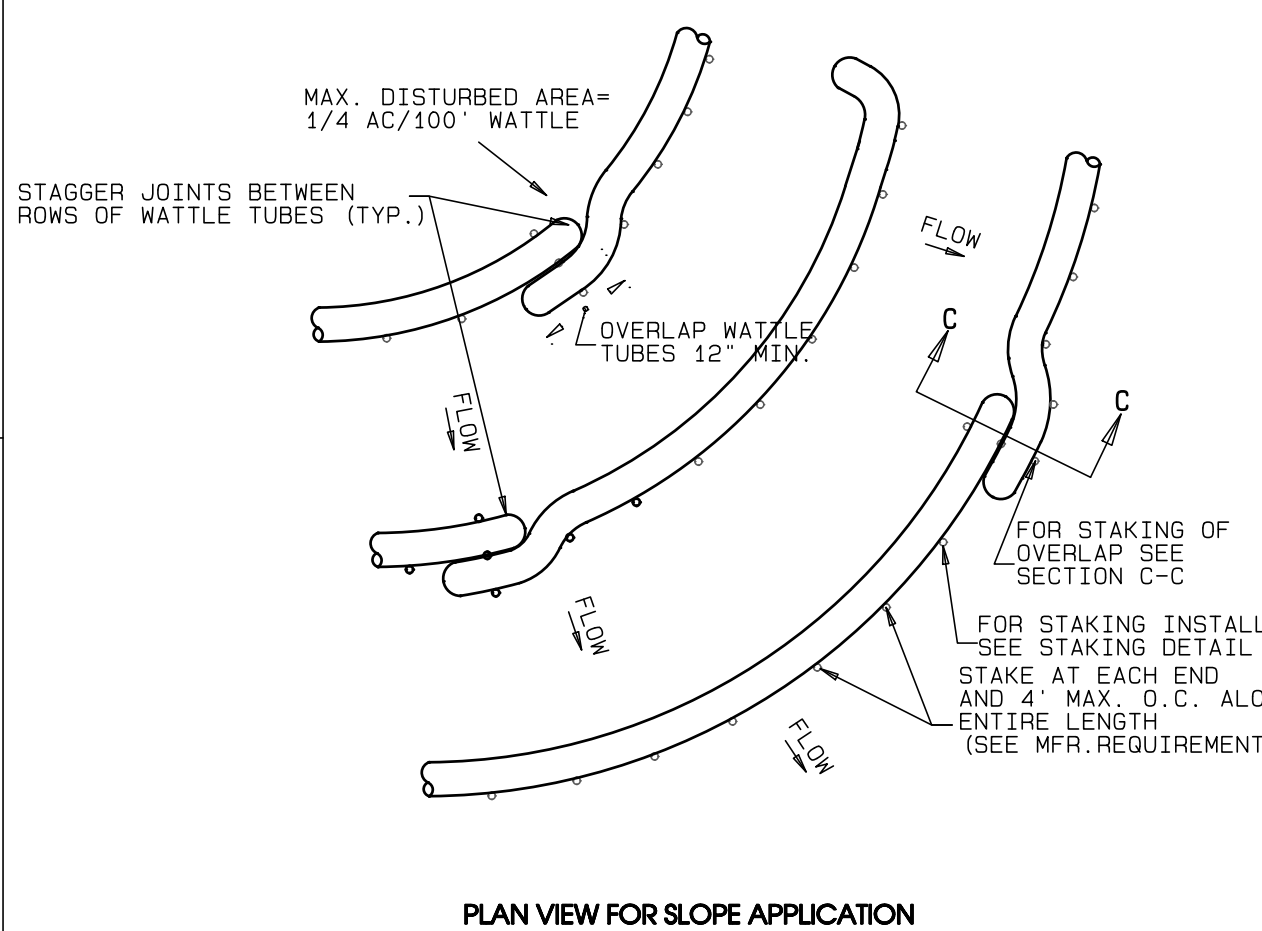
TEMPORARY CONCRETE WASHOUT AREA
NO SCALE



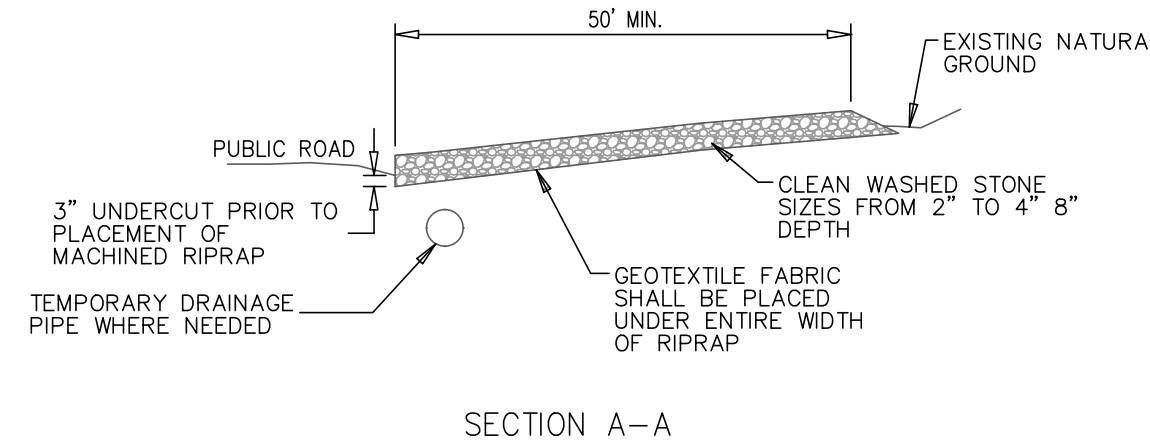
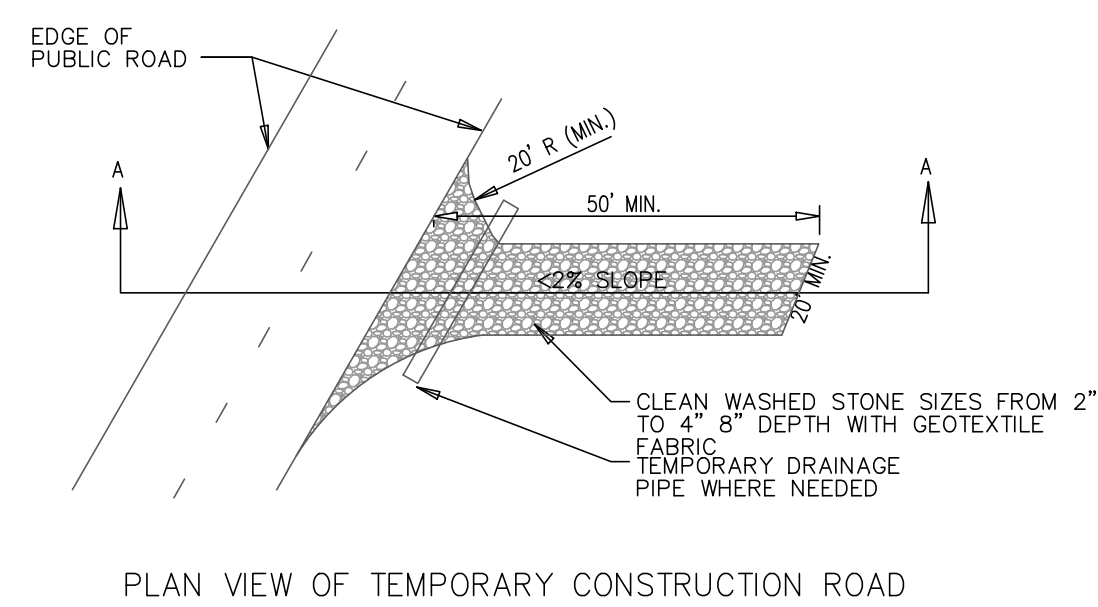
EXTERIOR CLEANOUT IN CONCRETE SURFACE
NO SCALE



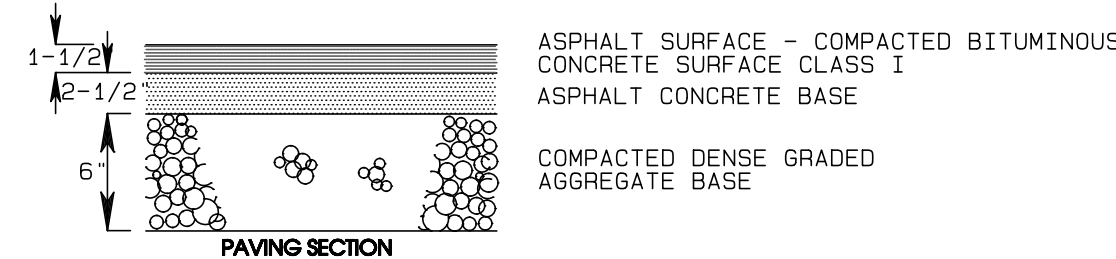
TEMPORARY INLET PROTECTION
NO SCALE



TEMPORARY SEDIMENT TUBES
NO SCALE

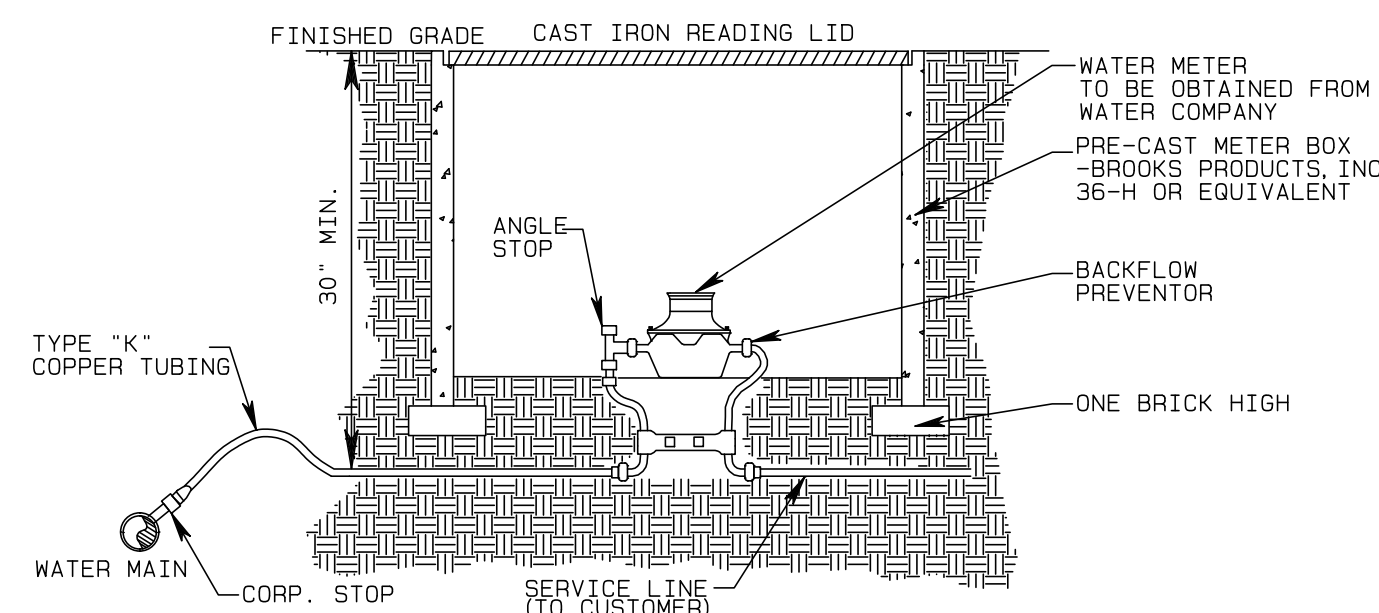


TEMPORARY CONSTRUCTION ENTRANCE/EXIT
NO SCALE



PAVEMENT MATERIALS:
ASPHALT CONCRETE SURFACE:
Marshall stability
Asphalt
Voids Total Mix
Gradation
1200 lbs.
4% to 8%
3% to 5%
T.D.O.T. 903.11 Grad. E
ASPHALT CONCRETE BASE:
Marshall stability
Asphalt
Voids Total Mix
Gradation
1000 lbs.
3% to 7%
3% to 7%
T.D.O.T. 903.06 Grad. BM-2

PAVEMENT SECTION LIGHT DUTY
NO SCALE
PER INDUSTRY STANDARD NO GEOTECHNICAL REPORT PROVIDED AT THIS TIME



- NOTE:
1.) PLACE 3" DEEP OF CLEAN 1/2" TO 3/4" CRUSHED STONE IN BOTTOM OF METER BOX.
2.) USE TAPPING SADDLE FOR PVC PIPE. NO TAPPING SADDLE REQUIRED WHEN CONNECTING SERVICE TO DIP.
3.) METER BOXES SHALL NOT BE LESS THAN 10" DEEP. BOX SHALL BE PRECAST CONC. OR CAST IRON.

WATER METER
NO SCALE

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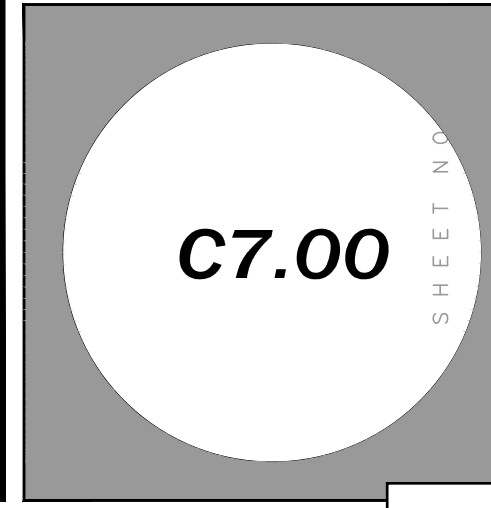
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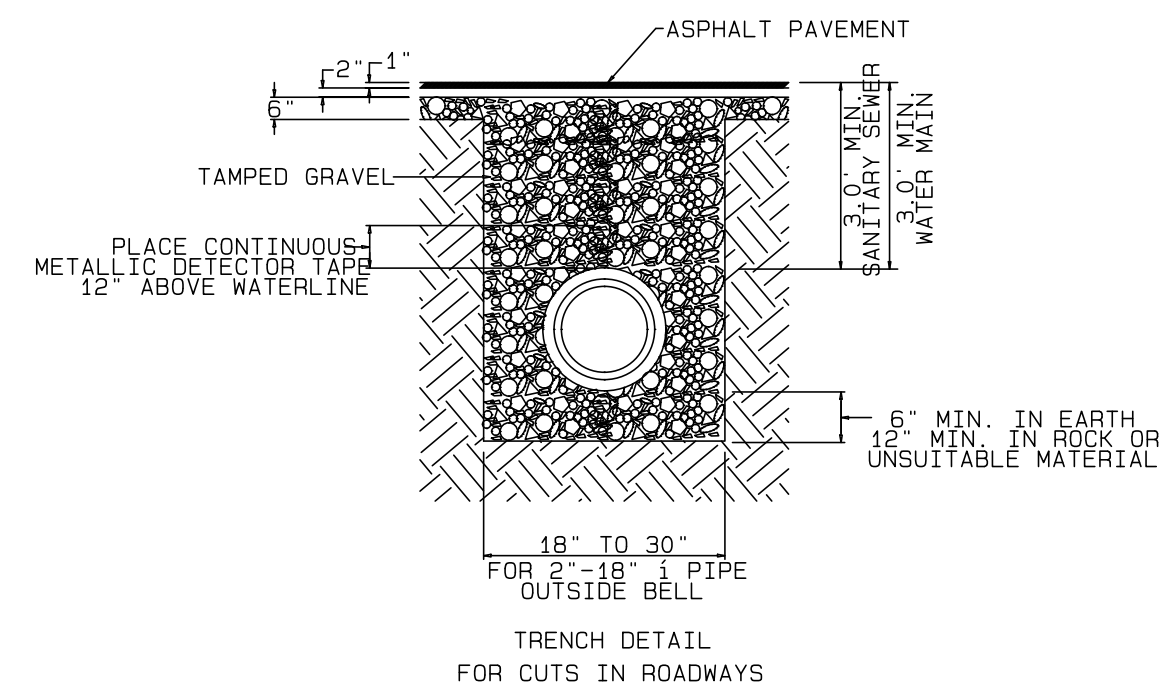
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LEGENDS BANK
ASHLAND CITY
525 S. MAIN ST. ASHLAND CITY, TN
GENERAL SITE DETAILS

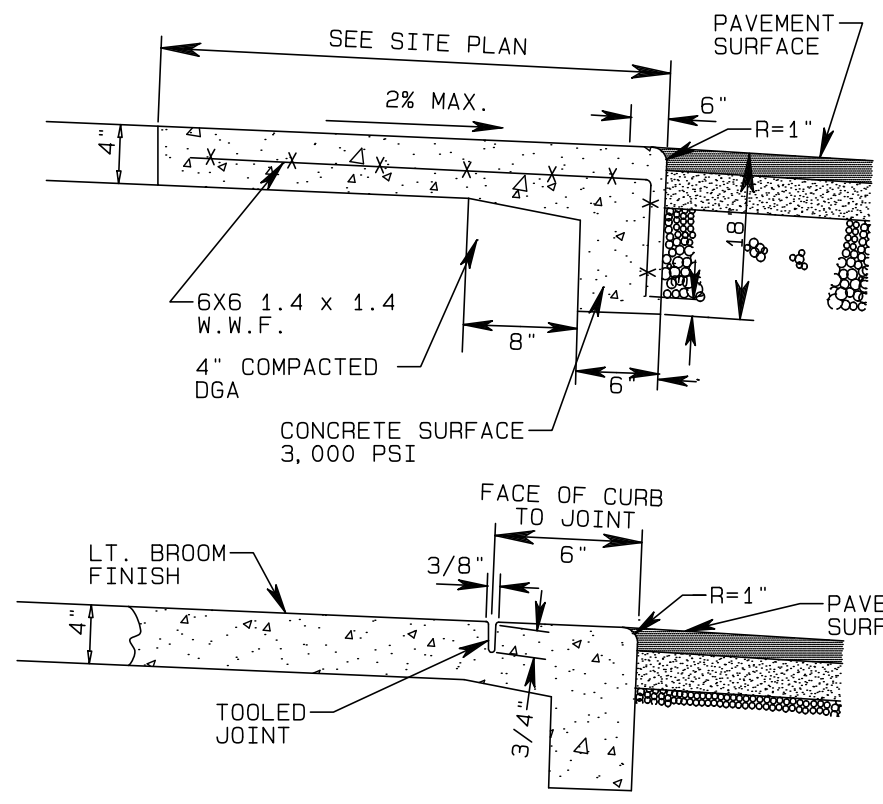
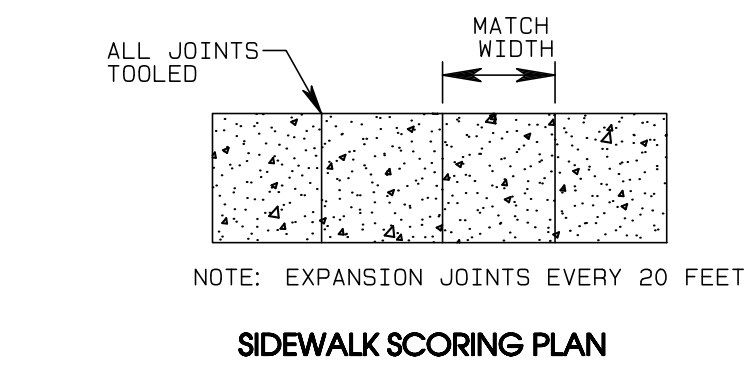
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Revision Date	
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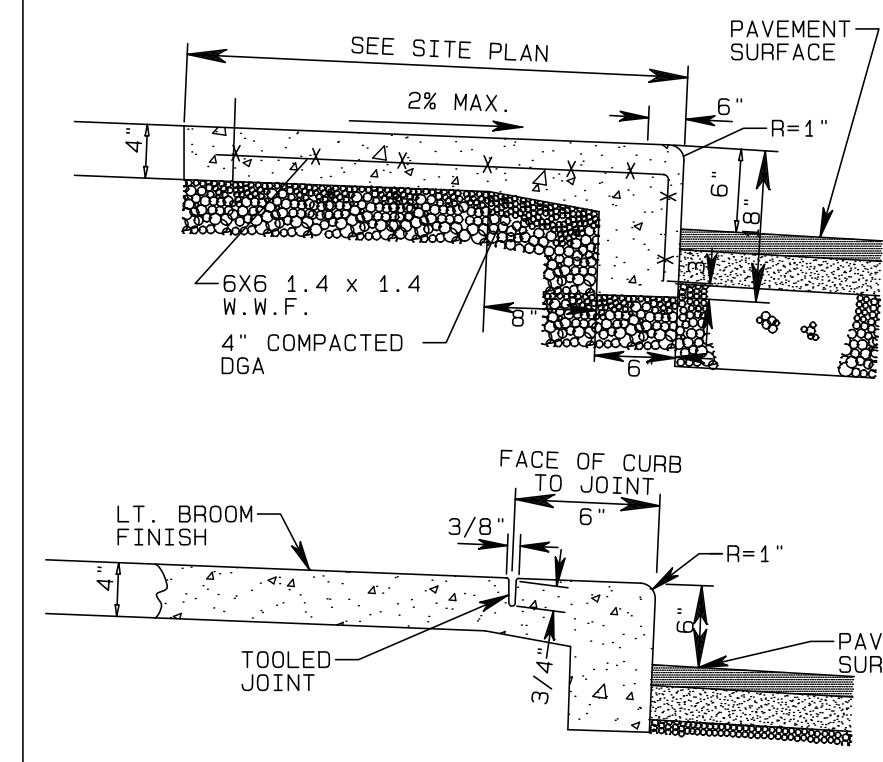
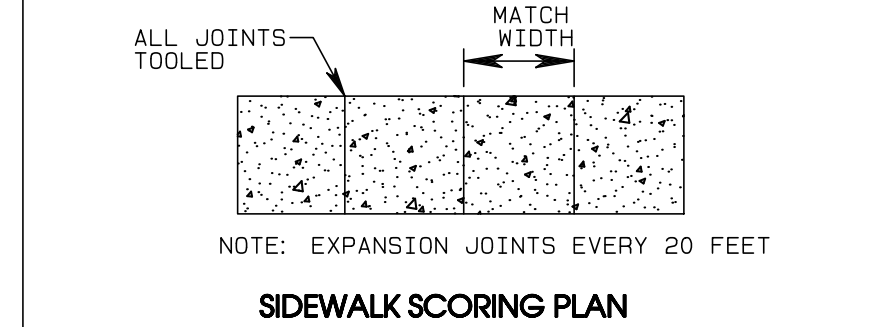


NOTE: WHERE TRENCH HAS ROCK BOTTOM, DEPTH OF TRENCH MUST BE ENOUGH TO ALLOW FOR 6" CRUSHED STONE BELOW BOTTOM OF PIPE.
METHOD OF SUPPORTING PIPE AND BACKFILLING TRENCH FOR SEWER LINES



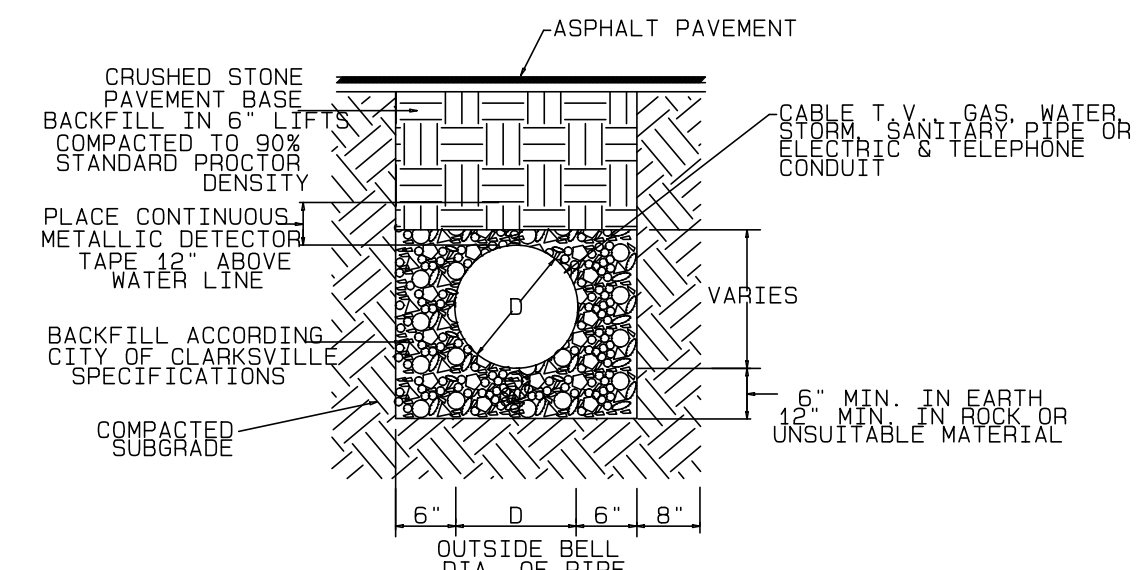
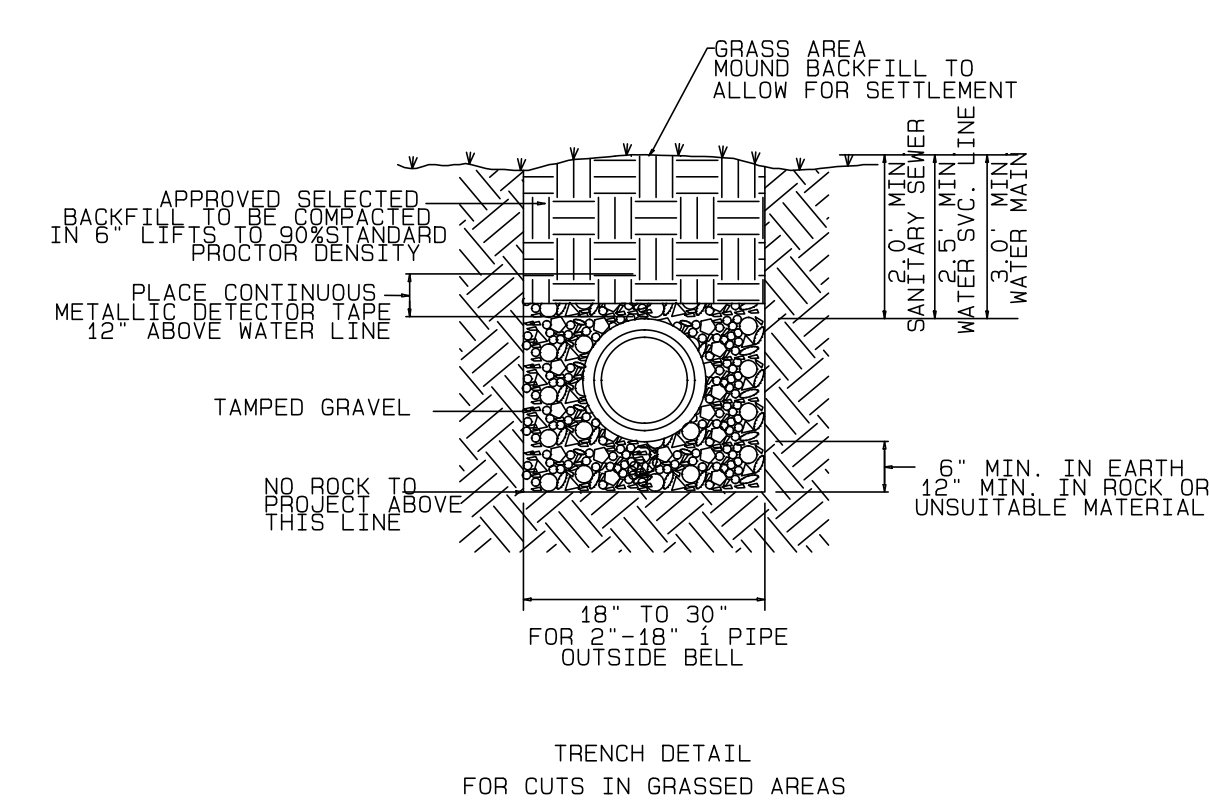
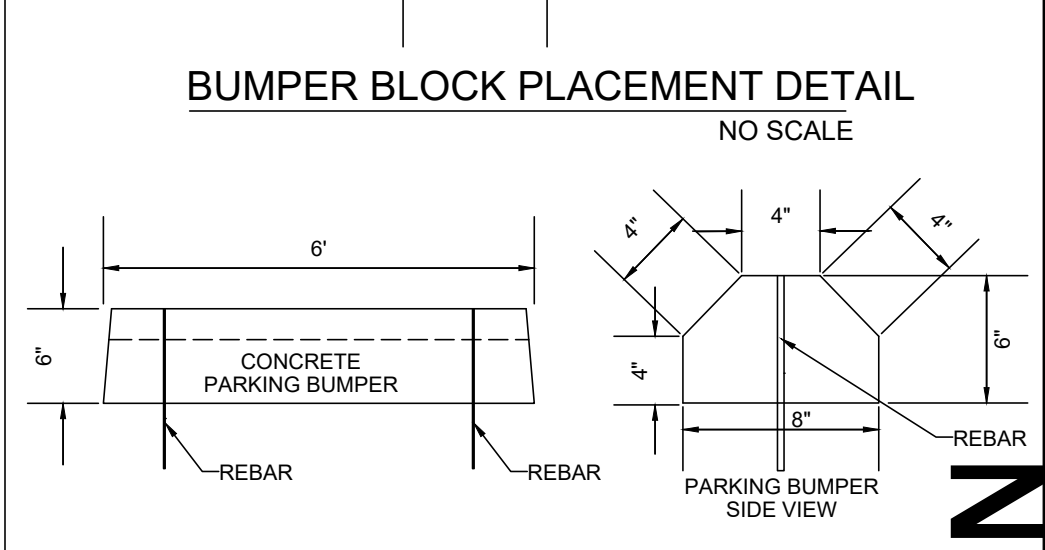
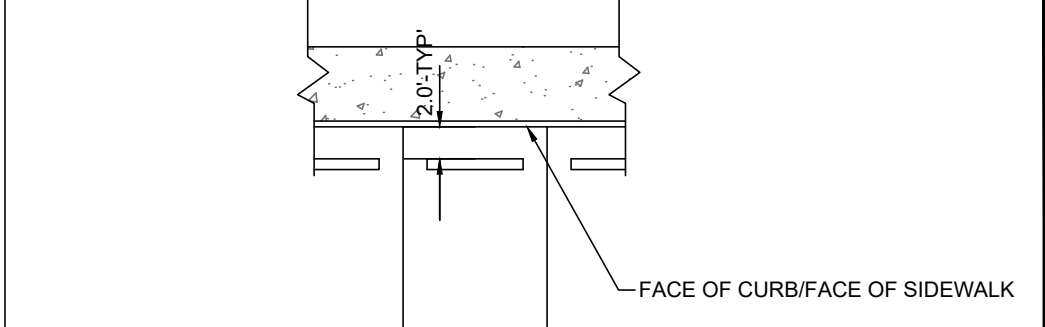
TOOLED JOINT DETAIL
NOTES:
1) HORIZONTAL SLOPE NOT TO EXCEED 5%
2) CROSS SLOPE NOT TO EXCEED 2%
3) SIDEWALK SHALL HAVE TURN DOWN WHEN IT ABUTS PAVEMENT OR GRAVEL

TURNDOWN SIDEWALK FLUSH WITH PAVEMENT
NO SCALE



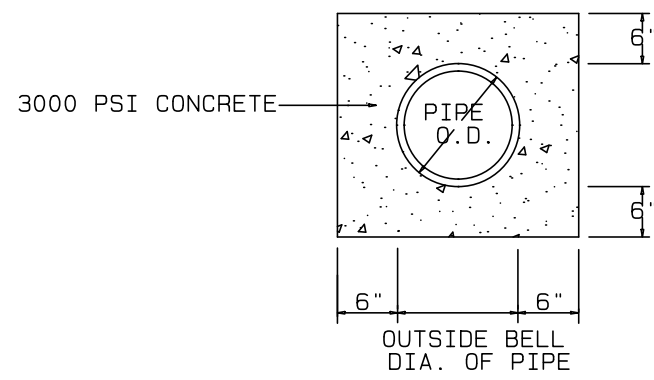
TOOLED JOINT DETAIL
NOTES:
1) HORIZONTAL SLOPE NOT TO EXCEED 5%
2) CROSS SLOPE NOT TO EXCEED 2%
3) SIDEWALK SHALL HAVE TURN DOWN WHEN IT ABUTS PAVEMENT OR GRAVEL

TURNDOWN SIDEWALK
NO SCALE

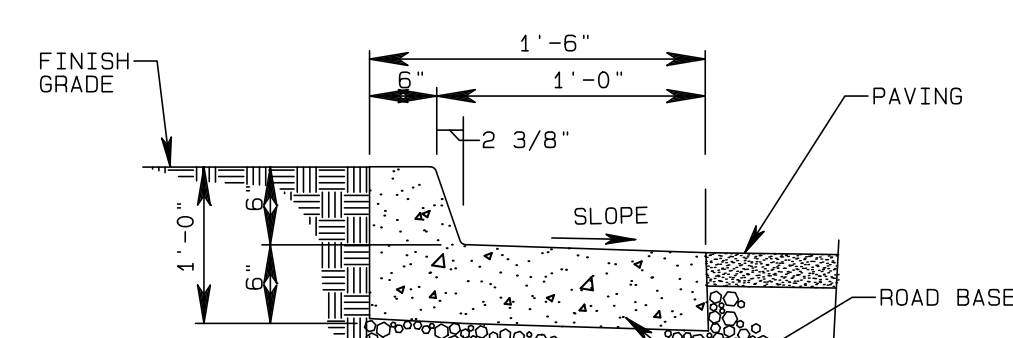


NOTE: THIS DETAIL IS APPLICABLE TO NEW PAVEMENT AND "SAW-CUT" EXISTING PAVEMENT

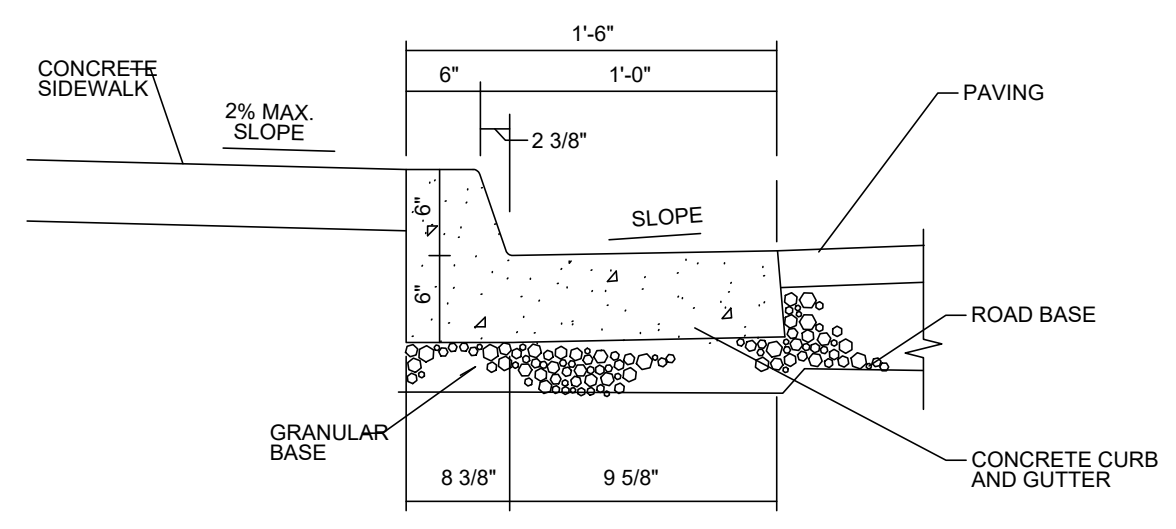
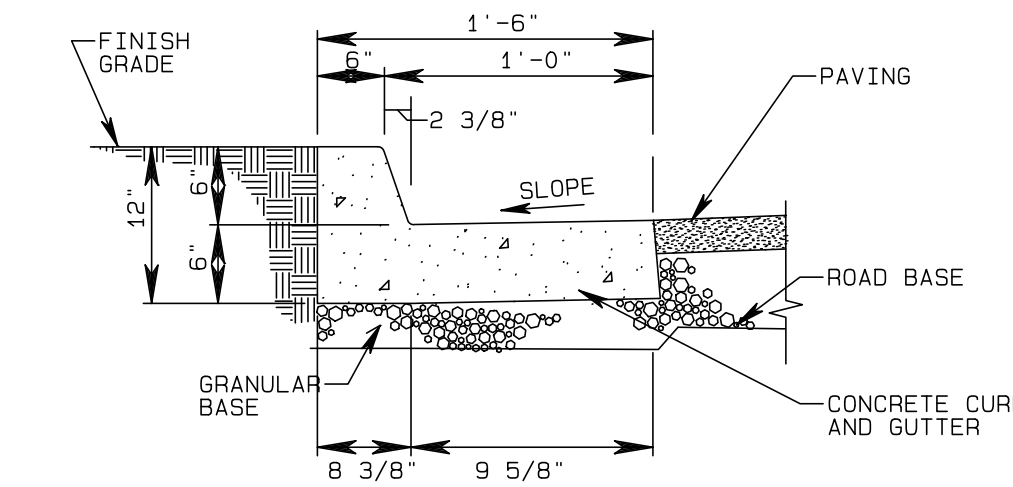
UTILITY PIPE TRENCH DETAIL



UTILITY TRENCH
NO SCALE

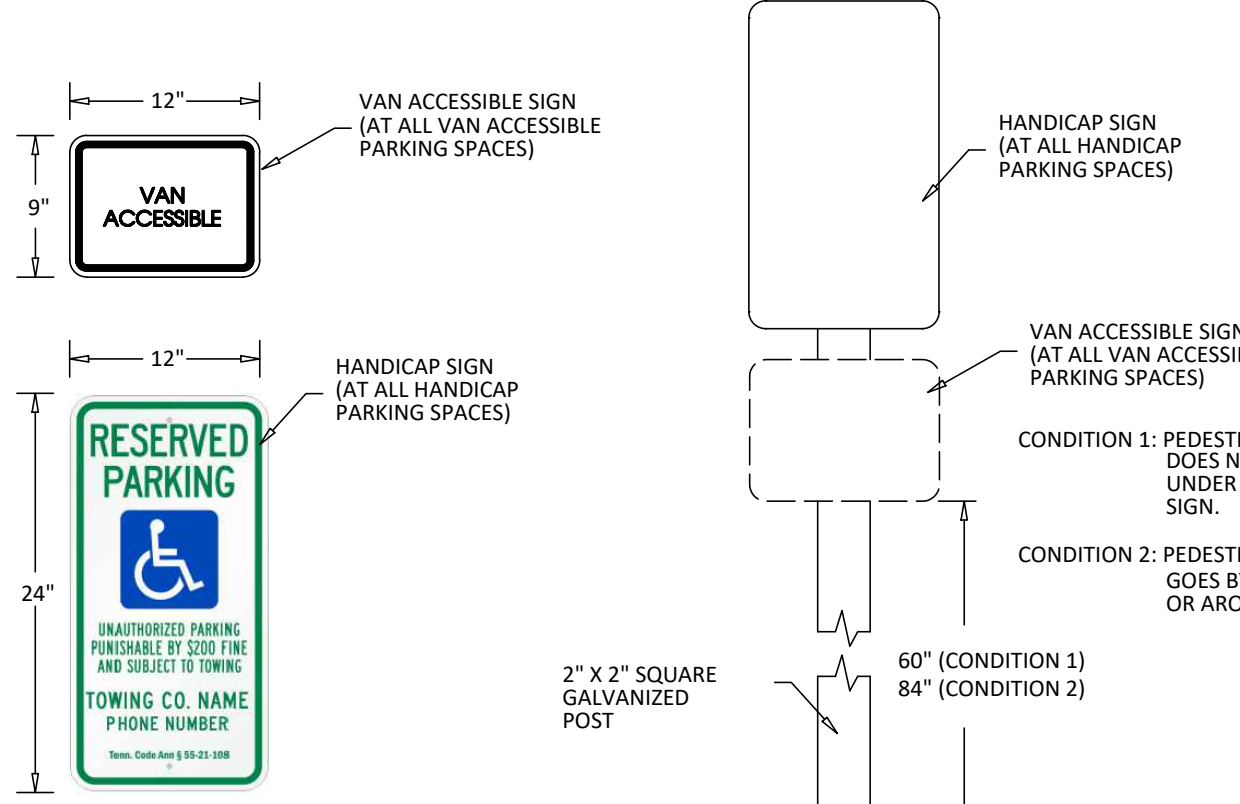


CURB AND GUTTER
NOTES:
1. EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 100' APART.
2. EXPANSION JOINTS WILL ALSO BE REQUIRED AT TANGENT POINTS, DRIVEWAY LOCATIONS, AND INLETS.
3. CONSTRUCTION JOINTS ARE TO BE CUT INTO CURB AND GUTTER EVERY 10' TO A DEPTH OF D/4.
4. FOR PAVEMENT THICKNESS SEE PAVING DETAIL.
5. CONTRACTOR SHALL COORDINATE WITH GRADING PLAN FOR TRANSITION BETWEEN CURBS



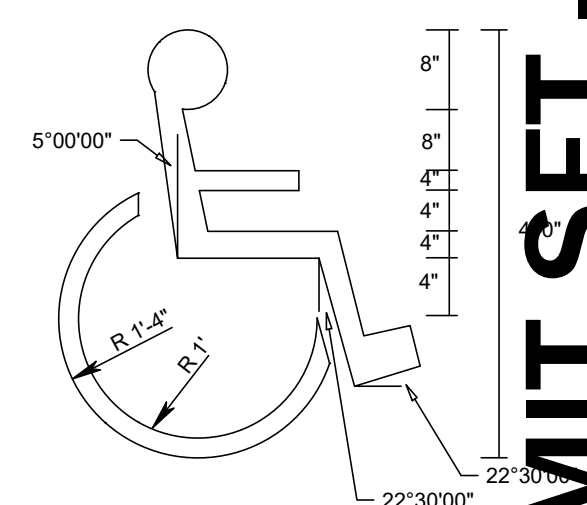
NOTE: SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK PAVER DETAIL, IF REQUIRED.

CURB AND GUTTER WITH SIDEWALK
NO SCALE



GENERAL NOTES:
1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS.
2. COORDINATE TOWING COMPANY INFORMATION WITH OWNER.

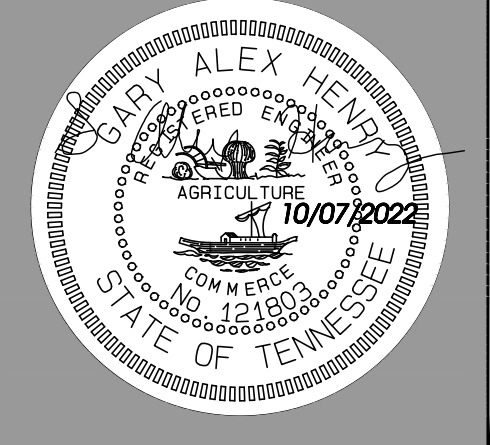
HANDICAP SIGN
NO SCALE



GENERAL NOTES:
1. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
2. STRIPING IS WHITE ON DARK PAVEMENT; BLUE ON LIGHT PAVEMENT.

HANDICAP SYMBOL
NO SCALE

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LEGEND'S BANK
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525 S. MAIN ST. ASHLAND CITY, TN
GENERAL SITE DETAILS

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Drawn By	DLT/GAH
Revision Date	
Revision Date	
Revision Date	

C7.01
SHEET NO.

PERMIT SET - NOT FOR CONSTRUCTION

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/3 of the tree.
 - One fork is less than 2/3 the diameter of the dominant fork.
 - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:

- | | |
|----------------------------------|---|
| 1. Tip dieback on 5% of branches | Landscape shall not obstruct visibility or access to fire protection equipment including, but not limited to, fire hydrants and fire department connections |
| 2. Crown thin/sparsely foliated | |
| 3. Included bark | |
| 4. Major Branches touching | |
| 5. Asymmetrical branching | |

PLANTING NOTES:

- Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
- Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
- Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- All materials are subject to the approval of the Landscape Architect, City, and Owner.
- Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
- Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by 'American Standards for Nursery Stock'. Main leaders of all trees shall remain intact.
- Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
- Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications.
- Discard any material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
- Maintain all plant material and lawns until project is accepted in full by the City.
- Guarantee all workmanship and materials for a period of 1 calendar year.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
- Provide 6" of topsoil for lawn areas (12" min. over rock), min. 24" of topsoil for shrub zones, and min. 48" deep for tree pits. Refer to specific root ball sizes for the min. diameter tree pit.
- Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
- Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain.

LANDSCAPE NOTES:

- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction as shown on plans.
- Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading. See topsoil specification sheet I-1.3.
- All shrub beds (existing and new) to be mulched with a 3-4 inch minimum layer of mulch.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
- Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tire marks and indentation to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod adjacent to mulch beds to be shovel cut. All sod to be delivered in largest rolls available. There shall be no gaps between sod joints.
- Planting mix to be provided as specified in the landscape specifications.
- The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
- Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
- Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
- All trees and shrubs shall be coordinated with lighting plan prior to installation.
- All shrubs to be 3' back of curb.
- All areas of disturbance outside of landscape beds shall be repaired with turf.
- Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

SUBSTITUTION NOTE:

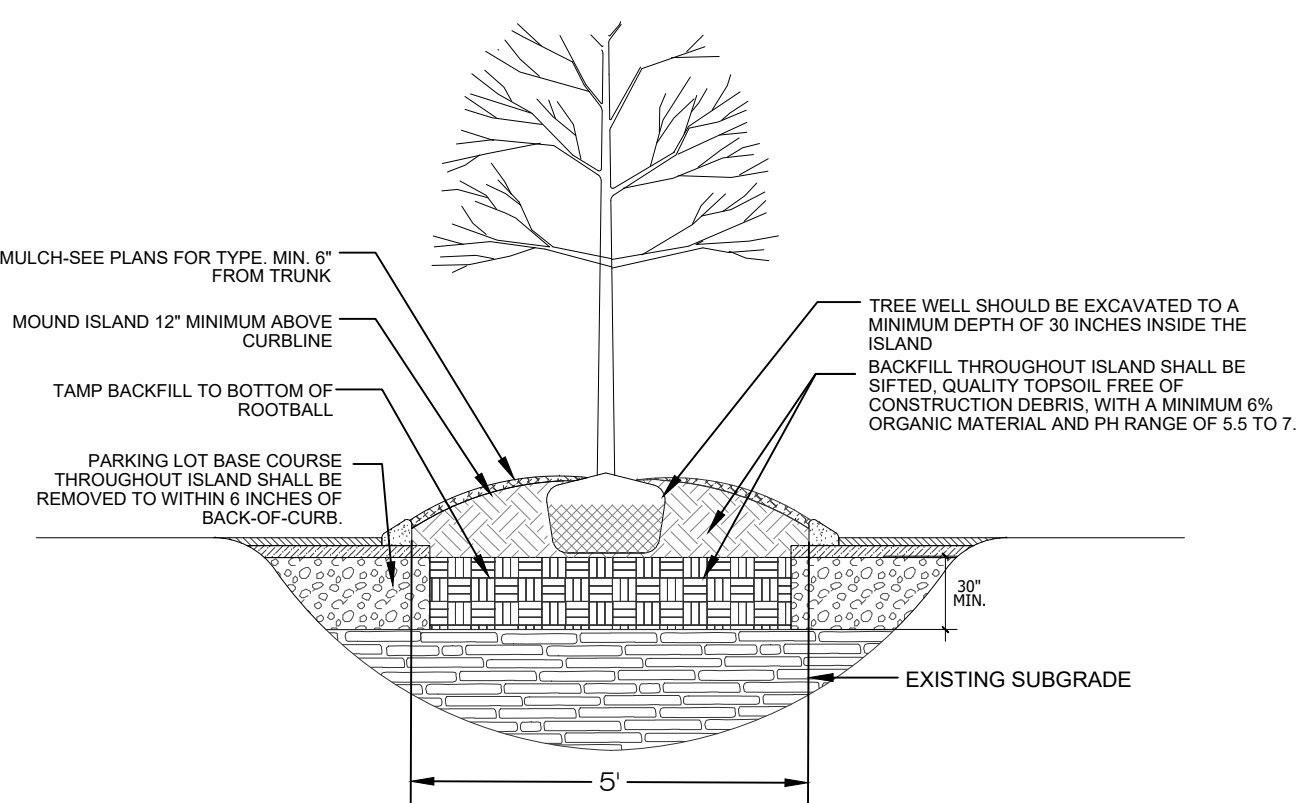
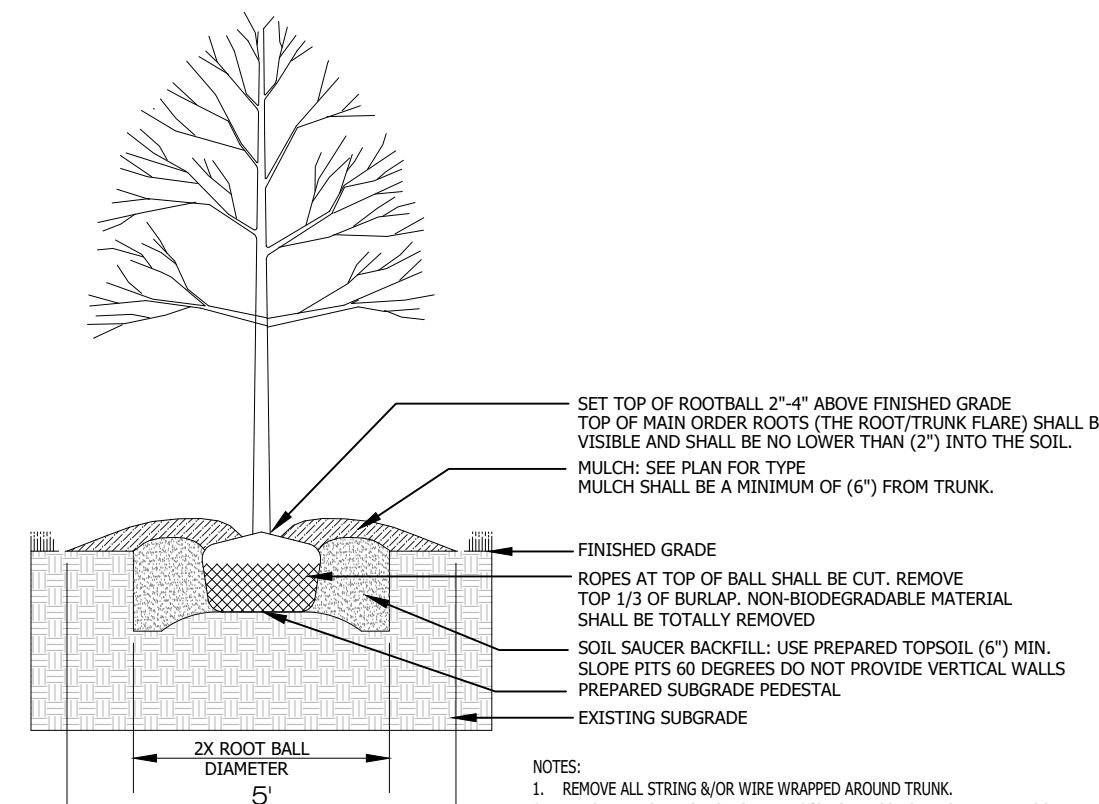
- Requirements shown are per the City Zoning Ordinance. Substitutions are not allowed unless approved by the City and Heibert+Ball Land Design

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:

In the event proposed canopy trees are in conflict (within 15') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment

TO AVOID OVERHEAD UTILITY CONFLICTS:

In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment

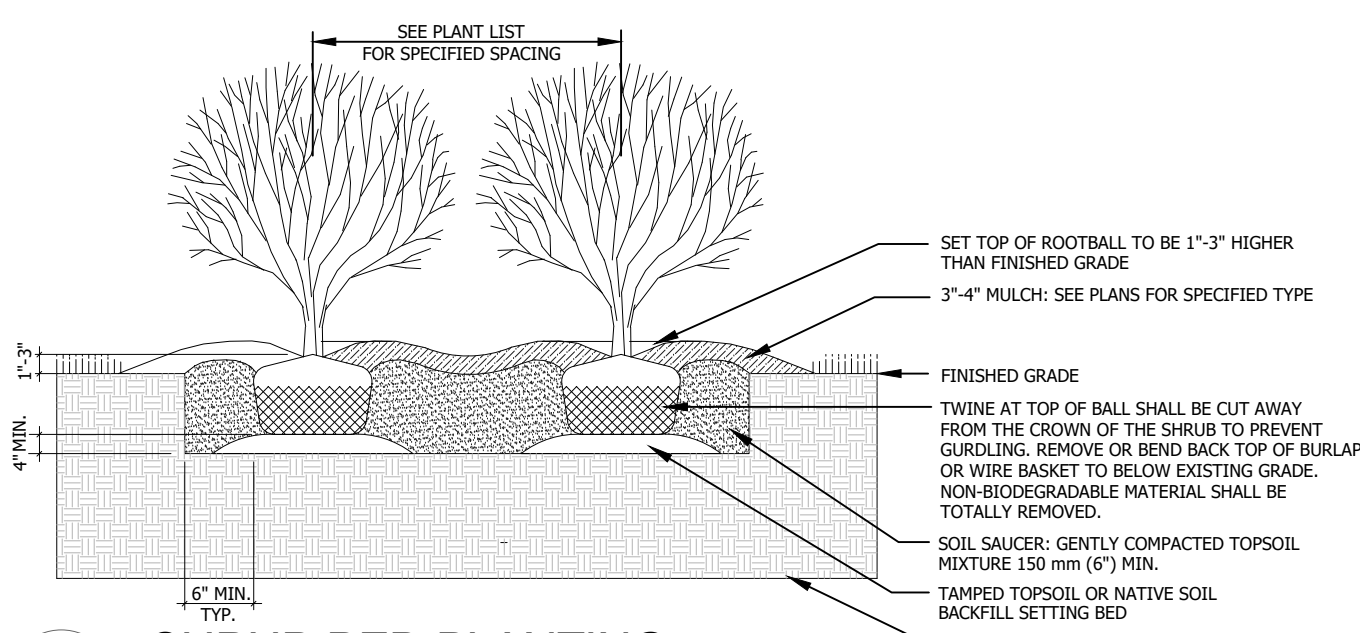


PARKING ISLAND TREE PLANTING FOR PARKING LOT ISLAND OR MEDIAN

OVERALL SITE ACREAGE: 0.39 AC
REQUIRED TREES:
35" x 0.39 AC: 13.65 ACI
PROVIDED ACI: 14"

DECIDUOUS TREE PLANTING

P-NO-12



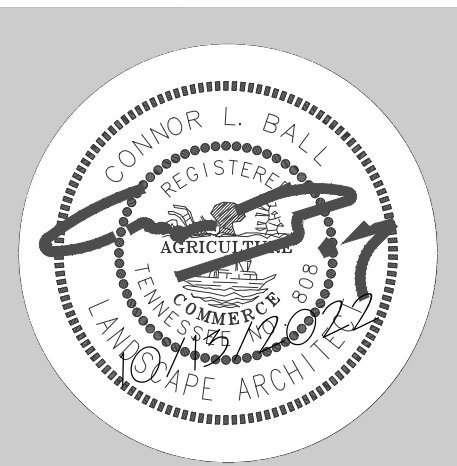
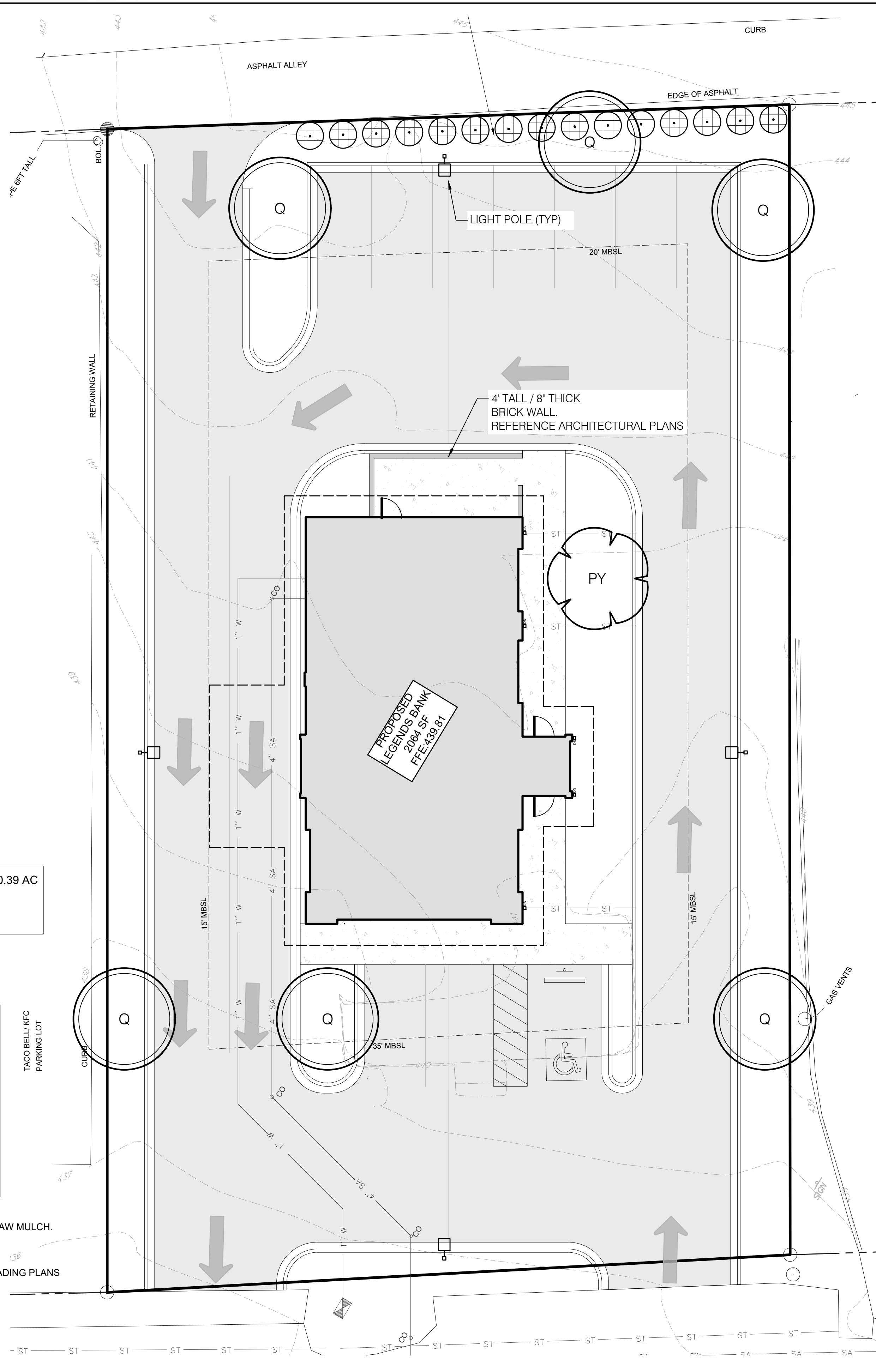
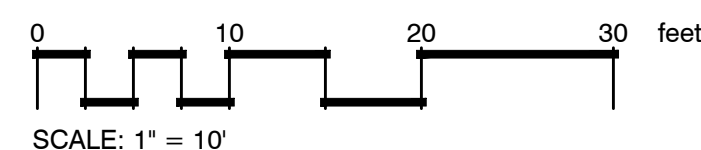
SHRUB BED PLANTING

PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	1	Yoshino Cherry / Prunus x yedoensis 4' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2"Cal	8'-10' HT
	6	Shumard Red Oak / Quercus shumardii 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2"Cal	12'-14' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	HT / CONT.	WIDTH	
	15	American Boxwood / Buxus sempervirens Full; Dense Form. Unsheered	24"x24"		

PLAN NOTES:

- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 3" MINIMUM DEPTH OF PINE STRAW MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL PARKING LOT ISLANDS ARE TO BE INSPECTED AND APPROVED BY THE TOWN OF ASHLAND CITY PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL OR SOIL
- ALL AREAS OF DISTURBANCE SHALL BE SEEDED WITH REBEL III TALL FESCUE UNLESS OTHERWISE NOTED ON GRADING PLANS

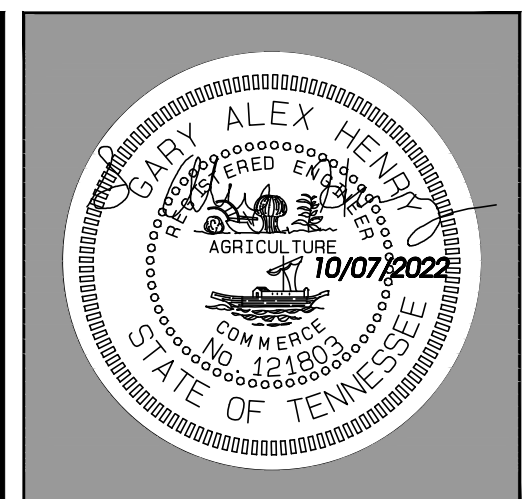
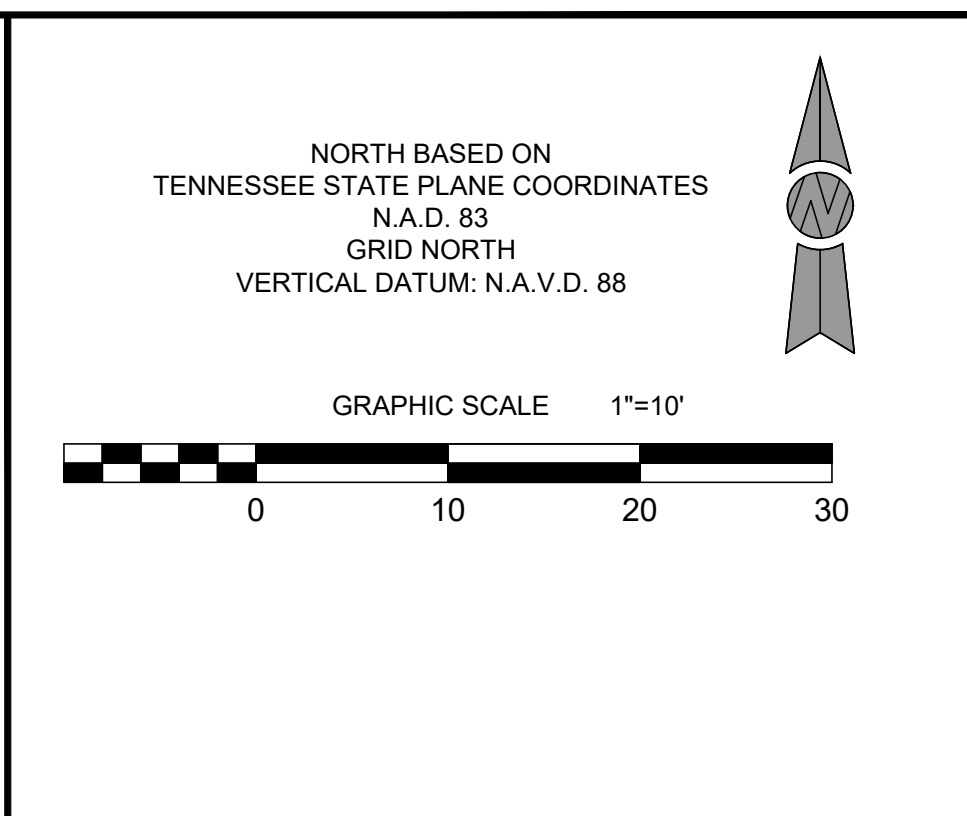
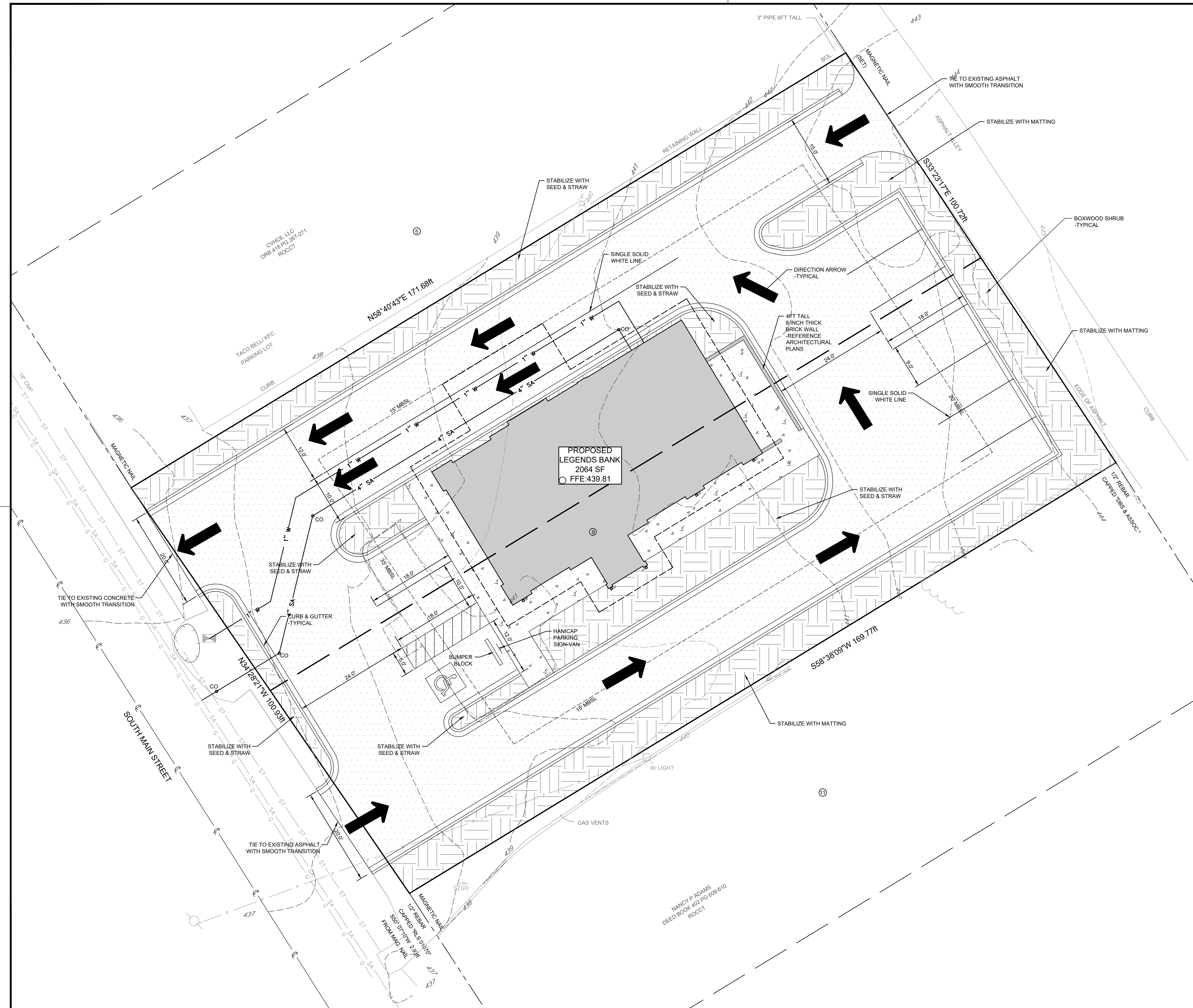


LYLE COOK MARTIN ARCHITECTS
310 Franklin Street / Clarksville, TN 37040
TEL 931.552.4771 / email: bmartin@lylecookmartin.com

LEGENDS BANK ASHLAND CITY
525 S. MAIN ST. ASHLAND CITY, TN
LANDSCAPE PLAN

LCM Project No. 1371	Issue Date 10.13.2022	Drawn By CB	Revision Date	Revision Date	Revision Date
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L1.00
SHEET NO.



SITE LEGEND

- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT PLAT BOOK 0 PAGE 482
- - - ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- TREE LINE
- OVERHEAD UTILITY LINE
- PROPOSED CURB & GUTTER
- PROPOSED EDGE OF PAVEMENT
- PROPOSED HANDICAP PARKING SIGN
- PROPOSED HANDICAP PARKING SPACE
- PROPOSED SIDEWALK
- PROPOSED LANDSCAPE / GREEN AREA
- PROPOSED BUILDING
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED HANDICAP PARKING AISLE / NO PARKING AREA
- UTILITY POLE
- LIGHT POLE WITH # OF LIGHTS
- ELECTRIC METER
- MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
- MONUMENT SET (MAGNETIC NAIL)
- # PARCEL NUMBERS OF LOTS IN PLAT BOOK 0 PAGE 482

GENERAL INFORMATION:

SITE DATA:
 ORB 387, PAGE 109-111, ROCCT
 TAX MAP: 055F, GROUP: C, PARCEL: 005.00
 CIVIL DISTRICT: 15T
 ADDRESS: 525 S MAIN STREET
 TOTAL ACREAGE: 17,195 SF (0.39+/- ACRES)
 PROPOSED USE: BANK
 PROPOSED ADDITION BUILDING AREA: 2,064 SF
 PROPOSED PARKING REQUIRED: 10
 PROPOSED PARKING PROVIDED: 10
 PROPOSED VUA: 9,239.89 SF (53.74%)
 PROPOSED IMPERVIOUS AREA: 12,194.10 SF (70.92%)
 TRASH REFUSAL: ROLL OFF CARTS

NOTE: REFERENCE SHEET C1.00 FOR ALL GENERAL SITE NOTES.

LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	DLT/GAH
Revision Date	
Revision Date	
Revision Date	

330 North Second Street | Clarksville, TN 37040
 931.647.6959 | www.ttlusa.com

File Name: Legends Bank Ashland City (MAIN).dwg

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 ARCHITECTS

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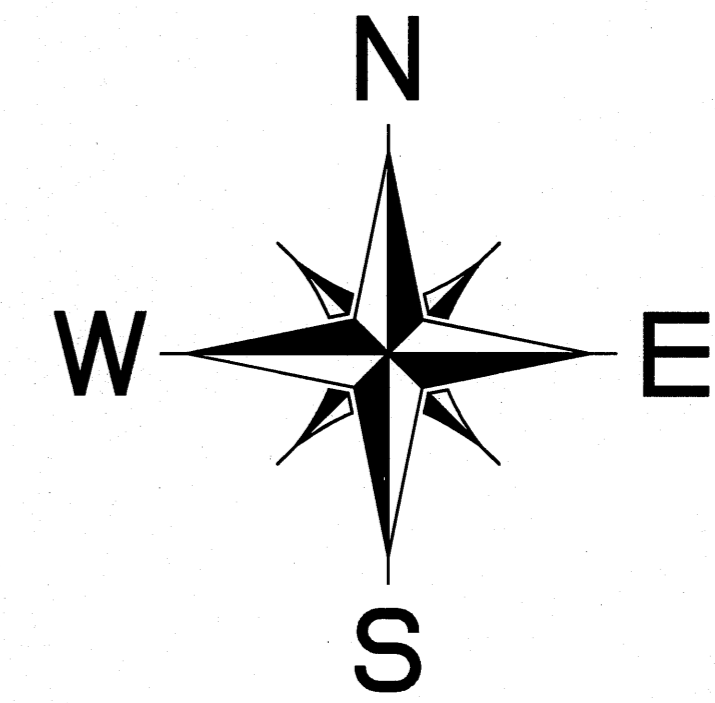
**LEGENDS BANK
 ASHLAND CITY**
 525 S. MAIN ST. ASHLAND CITY, TN

SITE PLAN

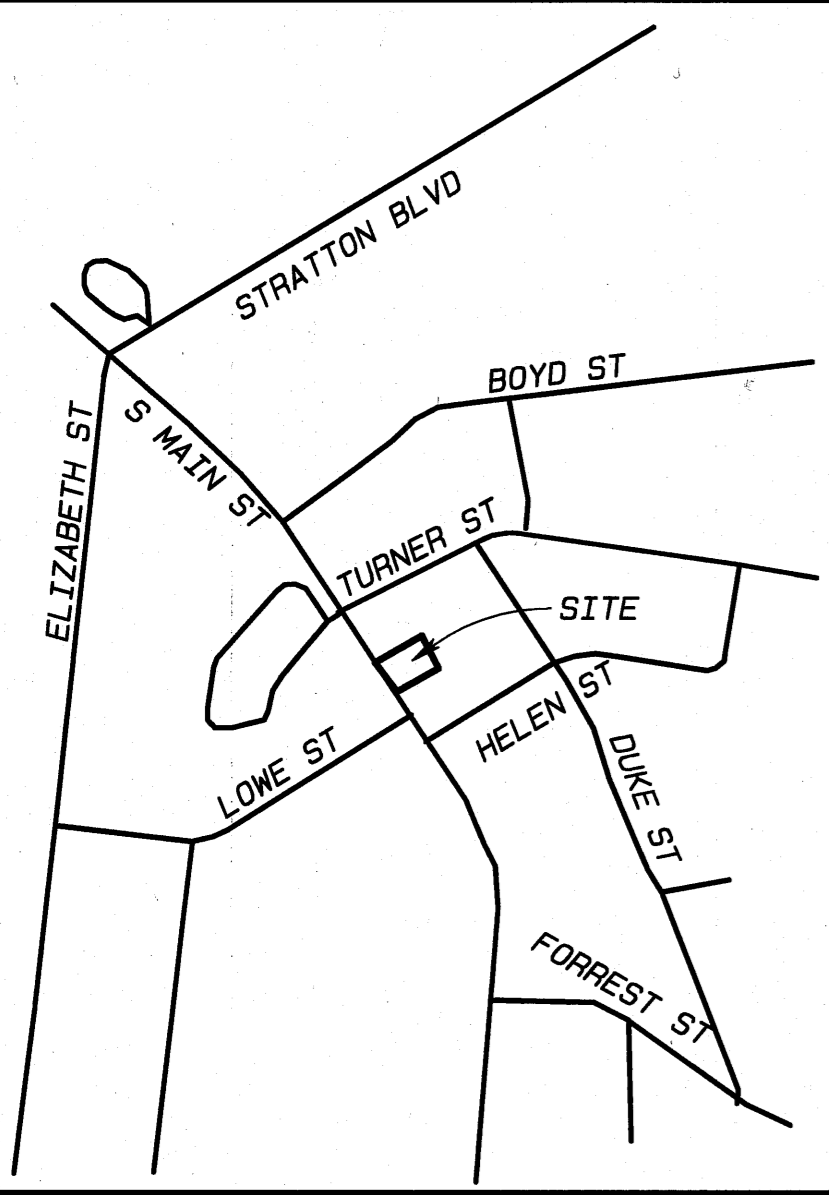
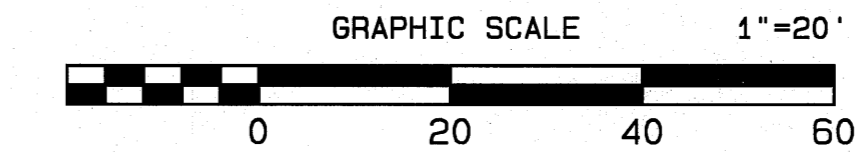
LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	DLT/GAH
Revision Date	
Revision Date	
Revision Date	

BOUNDARY AND TOPOGRAPHIC SURVEY

OF THE
VALERIE KEMP-DREIER AND DONALD L. KEMP PROPERTY
 AS RECORDED IN OFFICIAL RECORD BOOK 387, PG. 109-111
 ALSO LOTS 7 & 9 OF THE TURNER ADDITION TO THE
 TOWN OF ASHLAND CITY
 AS RECORDED IN RECORD BOOK O, PG. 482
 REGISTER'S OFFICE OF CHEATHAM COUNTY, TENNESSEE
 TAX MAP 055F, GROUP C, PARCEL 005.00
 1ST CIVIL DISTRICT OF CHEATHAM COUNTY, TENNESSEE
 525 S MAIN ST, ASHLAND CITY, TN 37015
 DATE: SEPTEMBER 4, 2014
 TOTAL AREA: 17,195 SQ FT 0.39 ACRES ±



NORTH BASED ON
 TENNESSEE STATE PLANE COORDINATES
 N.A.D. 83/GRID NORTH
 VERTICAL DATUM: N.A.V.D. 88



VICINITY MAP
 (NOT TO SCALE)

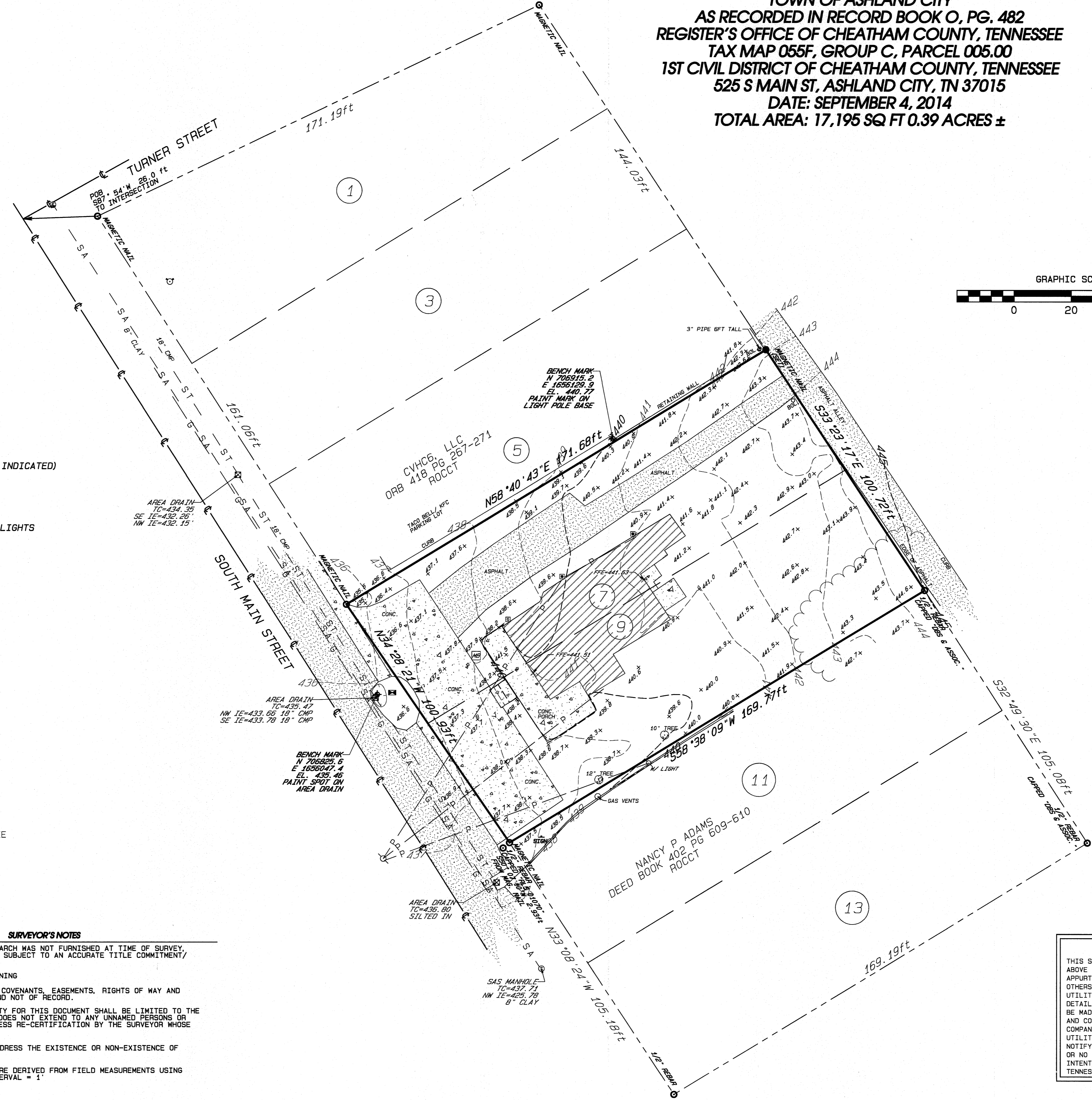
LEGEND

- BOUNDARY LINE
- LOT LINES OF TURNER PLACE PLAT
PLAT BOOK O PAGE 482
- ADJOINING BOUNDARY LINES
- ROADWAY CENTERLINE
- TREE LINE
- G — GAS LINE
- P — OVERHEAD UTILITY LINE
- ST — STORM SEWER LINE (SIZE AS INDICATED)
- SA — SANITARY SEWER LINE (SIZE AND TYPE AS INDICATED)
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ UTILITY POLE
- ⊙ ELECTRIC METER
- ⊙ BENCHMARK
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ GAS METER
- ⊙ LIGHT POLE WITH # OF LIGHTS
- ⊙ AREA DRAIN
- ⊙ MAIL BOX
- ▨ CONCRETE
- ▨ BUILDING
- ▨ ASPHALT
- MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
- MONUMENT SET (MAGNETIC NAIL)
- Ⓝ PARCEL NUMBERS OF LOTS IN PLAT BOOK O PAGE 482

POB=POINT OF BEGINNING
 PUDE=PUBLIC UTILITY AND DRAINAGE EASEMENT
 MBSL=MINIMUM BUILDING SETBACK LINE
 SAS=SANITARY SEWER
 STS=STORM SEWER
 CMP=CORRUGATED METAL PIPE
 HDPE=HIGH DENSITY POLY-ETHYLENE
 RCP=REINFORCED CONCRETE PIPE
 TC=TOP OF CASTING
 IE=INVERT ELEVATION
 CB=CATCH BASIN
 DI=DROP INLET
 FFE=FINISHED FLOOR ELEVATION
 DB.= DEED BOOK
 PB.=PLAT BOOK
 ORV=OFFICIAL RECORDED VOLUME
 ROCCT=REGISTER'S OFFICE OF CHEATHAM COUNTY, TENNESSEE
 NAD=NORTH AMERICAN DATUM
 NAVD=NORTH AMERICAN VERTICAL DATUM
 MB= MAIL BOX

SURVEYOR'S NOTES

A TITLE COMMITMENT/ SEARCH WAS NOT FURNISHED AT TIME OF SURVEY,
 THEREFORE THIS SURVEY IS SUBJECT TO AN ACCURATE TITLE COMMITMENT/
 SEARCH.
 SETBACKS ARE AS PER ZONING
 PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND
 RESTRICTIONS OF RECORD AND NOT OF RECORD.
 THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE
 ORIGINAL PURCHASER, AND DOES NOT EXTEND TO ANY UNNAMED PERSONS OR
 ENTITIES WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR WHOSE
 NAME APPEARS HEREON.
 THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF
 WETLANDS AREAS.
 TOPOGRAPHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING
 RANDOM SHOTS; CONTOUR INTERVAL = 1'



The perimeter shown here is per a Survey made on the
 ground. There are no encroachments other than those
 shown, and the survey is correct to the best of my
 knowledge, belief and professional opinion.
 This tract does not lay within a Special Flood Hazard
 Area of the Federal Emergency Management Agency
 according to the Flood Insurance Rate Map (47021C01700,
 Zone X) of Cheatham County, Tennessee.
 Dated: September 17, 2010, unless otherwise noted on survey.
 I Herby certify that this is a Category-I survey,
 and that the Closure of the Unadjusted Traverse
 is better than 1:10,000.
 Bearing and distance shown take precedence over scale.



W. Logan McCraw TN RLS # 2887
 DBS & Associates Engineering

DISCLAIMER
 THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE
 APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY
 OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF
 UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED.
 DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO
 BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY
 AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY
 COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND
 UTILITY DAMAGE PREVENTION ACT", THAT WHO ENGAGES IN EXCAVATION MUST
 NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE
 OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR
 INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT.
 TENNESSEE ONE CALL 1-800-351-1111.

BOUNDARY AND TOPOGRAPHIC SURVEY

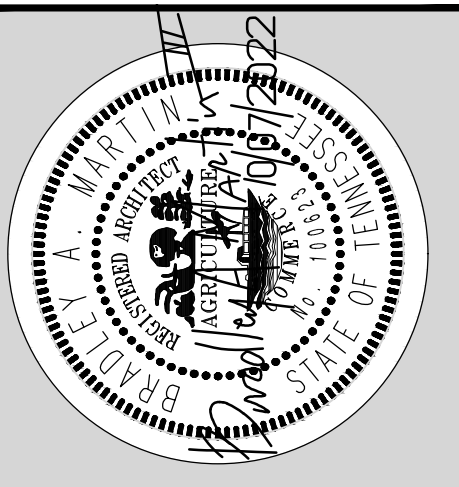
330 North Second Street
 P.O. Box 949
 Clarksville, TN 37041-0949
 Phone (931) 647-6969 Fax (931) 647-7135
 www.absengr.com



Engineers • Surveyors • Planners

OF THE
VALERIE KEMP-DREIER AND DONALD L. KEMP PROPERTY
 525 S MAIN ST, ASHLAND CITY, TN 37015
 DATE: SEPTEMBER 4, 2014

APPROVED FOR DISTRIBUTION	DATE	DESCRIPTION
DATE SIGNED		
DATE SIGNED		
DATE SIGNED		
DATE SIGNED		
DATE SIGNED		



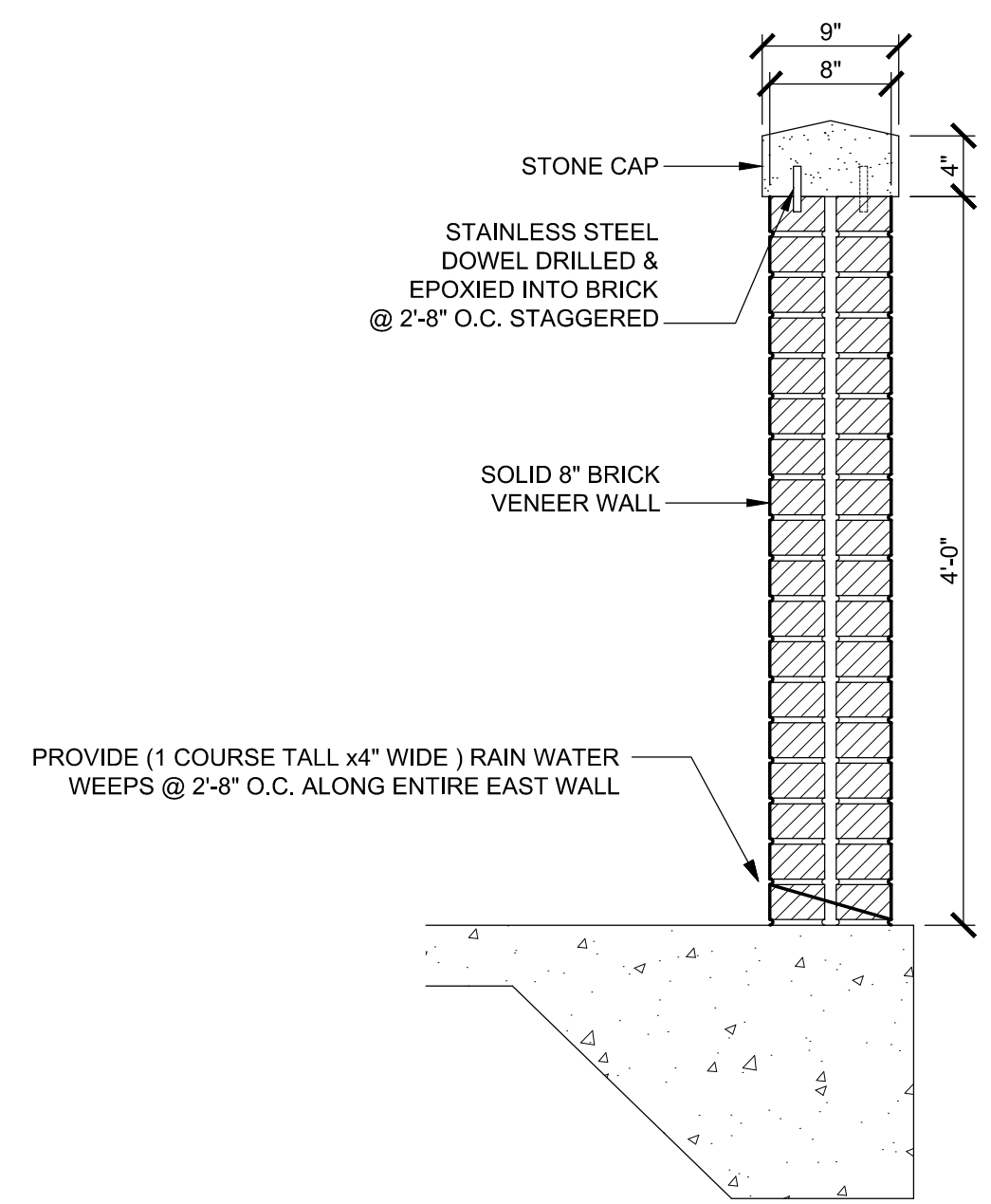
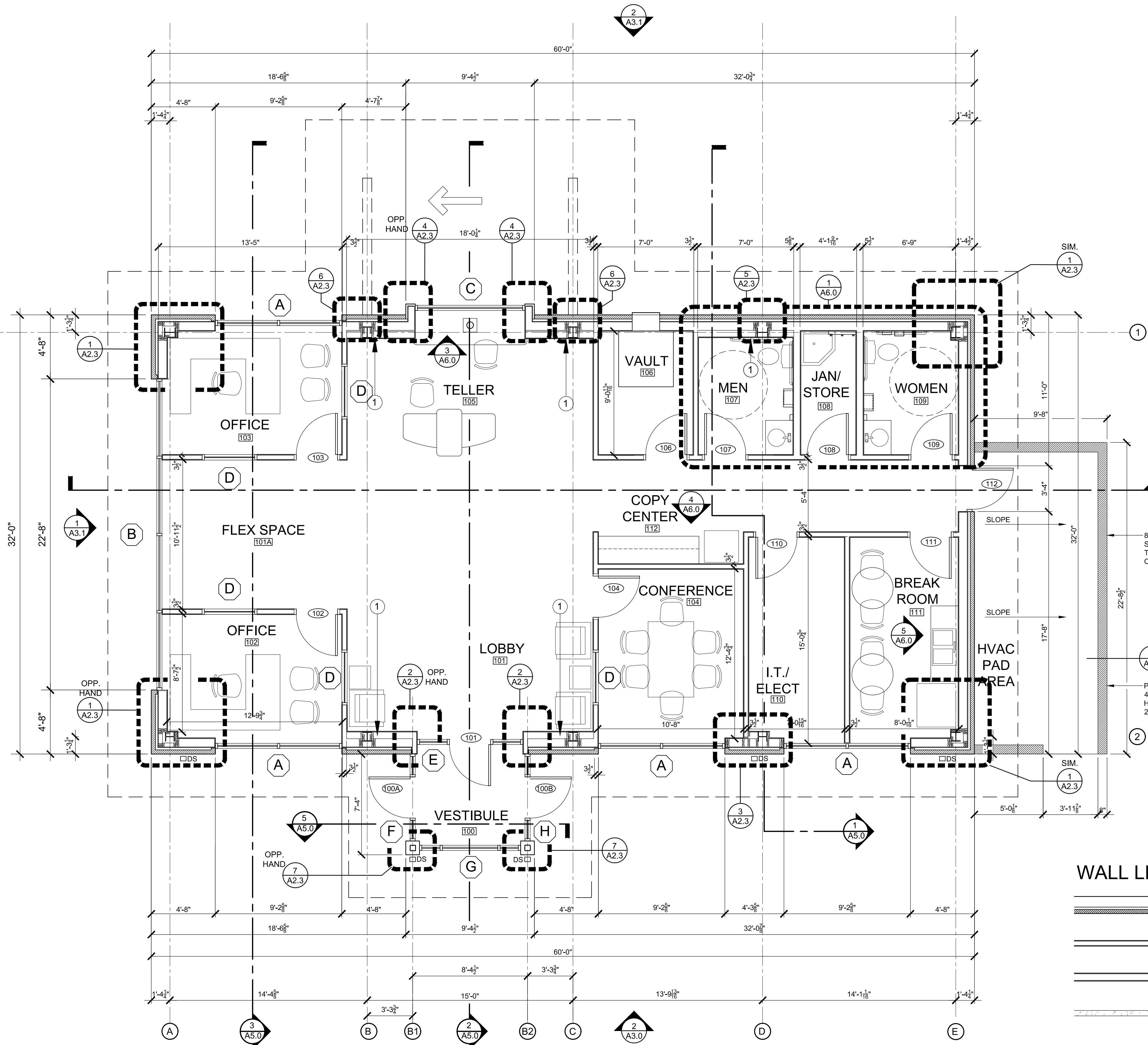
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ARCHITECTS

310 Franklin Street / Clarksville, TN 37040
TEL. 931.552.4771 / email: bmartin@lylecookmartin.com

**LEGEND'S BANK
ASHLAND CITY**

525 S. MAIN ST. ASHLAND CITY, TN. 37015

FLOOR PLAN



2
A2.0 **ELEVATION**
HVAC AREA SCREEN WALL 1" = 1'-0"

KEYNOTES TO FLOOR PLAN

1 FUR OUT INSIDE OF PERIMETER WALL WITH 2x4 WOOD STUD FRAMING TO ALLOW FINISHED DRYWALL TO BYPASS THE INSIDE FACE OF STEEL COLUMNS AT MEN'S RESTROOM 107 AND BOTH ENDS OF LOBBY 101 / TELLER 105.

WALL LEGEND

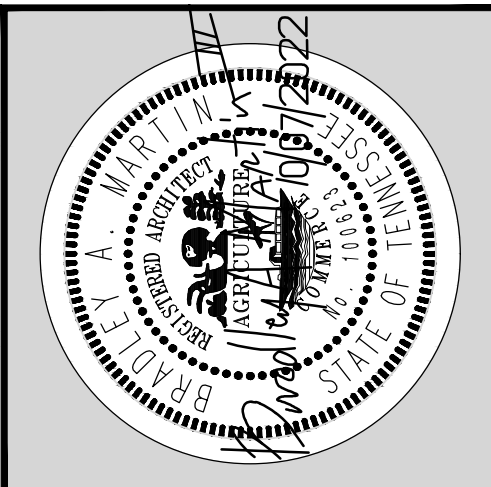
- 2x8 WOOD STUD WALL WITH BRICK EXTERIOR & 5/8" DRYWALL INTERIOR
- 2x4 WOOD STUD WALL WITH 5/8" DRYWALL EACH SIDE
- 2x6 WOOD STUD WALL WITH 5/8" DRYWALL EACH SIDE
- PAINTED DRYWALL BULKHEAD

NOTE: SOUND BATT INSULATION FROM FLOOR TO ABOVE CEILING IN ALL INTERIOR WALLS. WITH SOUND BATT INSULATION OVER LAY-IN CEILINGS. FOLLOW LIGHT FIXTURE MANUFACTURERS DIRECTIONS FOR TENTING INSULATION OVER FIXTURES IN ALL CONDITIONS.

1
A2.0 **FLOOR PLAN**
1/4" = 1'-0"

LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	IJB/BAM/CES
Revision Date	
Revision Date	
Revision Date	

A2.0
SHEET NO.



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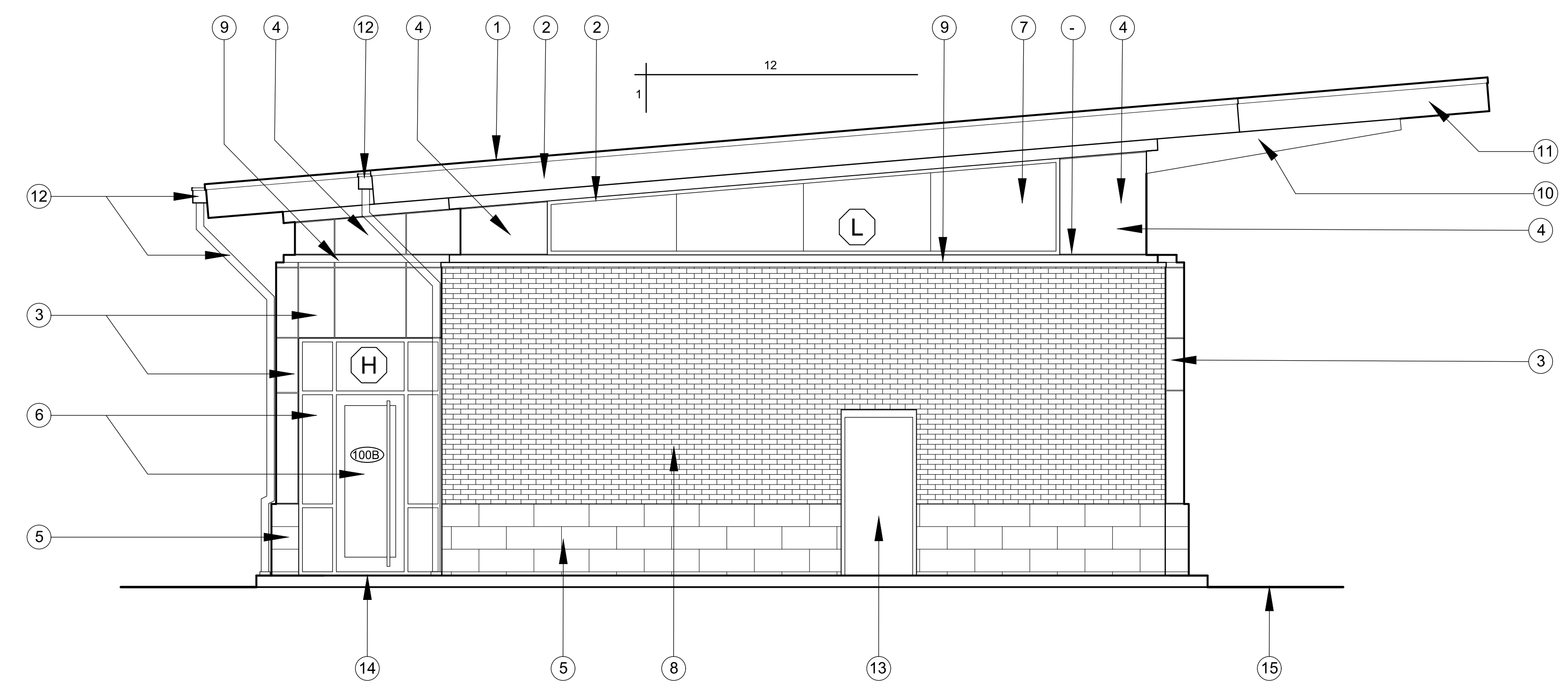
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LEGEND'S BANK
ASHLAND CITY
525 S. MAIN ST. ASHLAND CITY, TN. 37015

ELEVATIONS

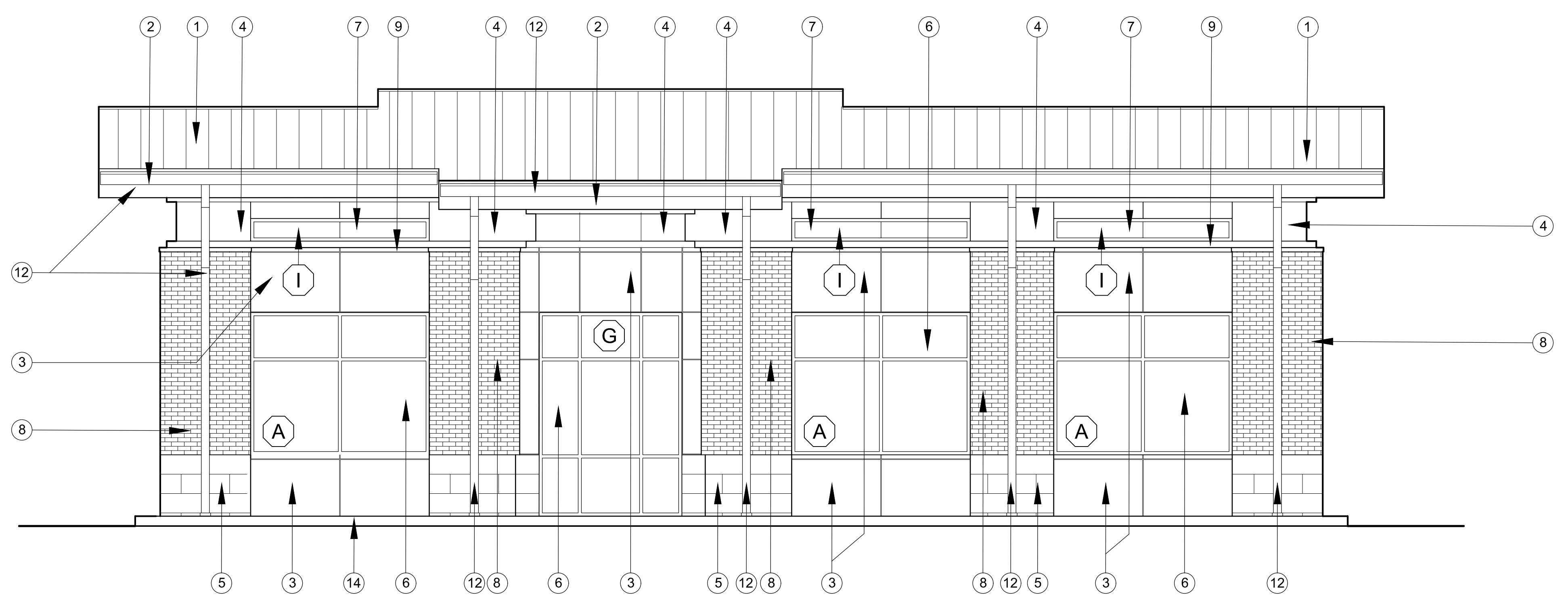
LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	IJB/BAM/CES
Revision Date	
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Revision Date	

A3.0
SHEET NO.

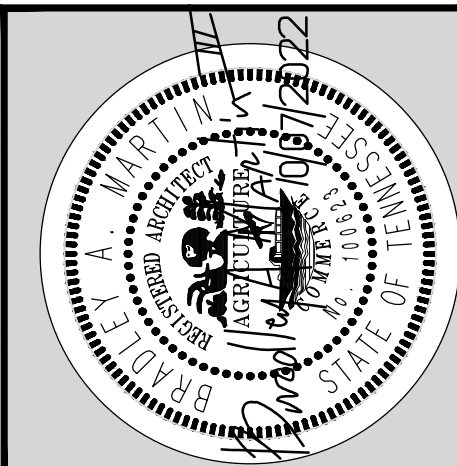


- KEYNOTES TO EXTERIOR ELEVATIONS**
1. PREFINISHED STANDING SEAM ROOF OVER SELF ADHERING ICE AND WATER SHIELD OVER MECHANICALLY ATTACHED 1/2" THICK HIGH DENSITY (HD) COVER BOARD OVER TWO STAGGERED LAYERS POLYISOCYANURATE INSULATION.
 2. PREFINISHED BREAKMETAL FASCIA AND/OR WALL AND SOFFIT TRIM OVER WOOD FRAMING AND/OR BLOCKING.
 3. ACM EXTERIOR WALL PANEL SYSTEM (COLOR SELECTION A) OVER.
 4. ACM EXTERIOR WALL PANEL SYSTEM (COLOR SELECTION B) OVER.
 5. SMOOTH FACE ARCHITECTURAL CAST STONE MASONRY VENEER BELOW BRICK VENEER.
 6. ALUMINUM AND GLASS STOREFRONT AND/OR ENTRY SYSTEMS.
 7. ALUMINUM AND SPANDREL GLASS - BUTT GLAZED STOREFRONT SYSTEM WITH CONCEALED VERTICAL FRAMING MEMBER BEHIND EACH VERTICAL GLASS JOINT - TYPICAL.
 8. BRICK VENEER.
 9. PRE-FINISHED BREAKMETAL TRIM OVER WOOD FRAMING/BLOCKING TO FORM WALL CAP DETAIL.
 10. ACM EXTERIOR WALL PANEL SYSTEM (COLOR SELECTION B) OVER EXTENDED STEEL BEAM AND/OR WOOD FRAMING SUPPORTING DRIVE-THRU ROOF OVERHANG.
 11. PRE-FINISHED FLUSH PANEL METAL SOFFIT SYSTEM EQUAL TO PAC CLAD - PETERSEN ALUMINUM'S FLUSH/REVEAL SOFFIT PANEL SYSTEM.
 12. PRE-FINISHED BREAKMETAL GUTTER AND/OR DOWNSPOUT SYSTEM - ROUTING RAIN WATER INTO BELOW GRADE DRAINAGE SYSTEM.
 13. PAINTED HOLLOW METAL FRAME AND INSULATING DOOR.
 14. CONCRETE SIDEWALK AND/OR CURB.
 15. ASPHALT AND/OR CONCRETE PAVING SURFACE.
 16. APPROXIMATE LOCATION AND SIZE OF BANK EQUIPMENT - NIGHT DEPOSIT UNIT.
 17. BANK EQUIPMENT DRIVE THROUGH WINDOW - COORDINATE EXACT INSTALLATION REQUIREMENTS BETWEEN WALL FRAMING, MASONRY AND BANK EQUIPMENT VENDOR'S PRODUCTS.

1
A3.0 REAR ELEVATION
PLAN NORTH ORIENTATION 1/4" = 1'-0"

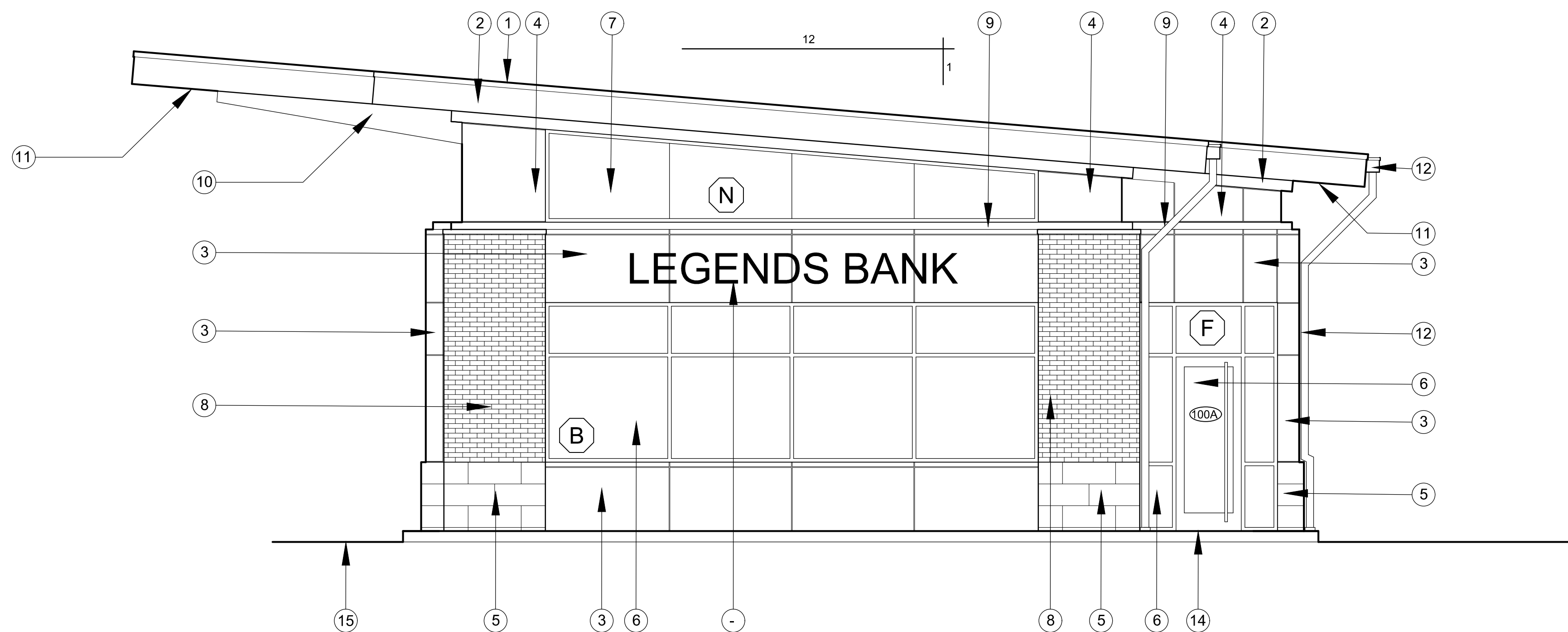


2
A3.0 ENTRANCE SIDE ELEVATION
PLAN EAST ORIENTATION 1/4" = 1'-0"



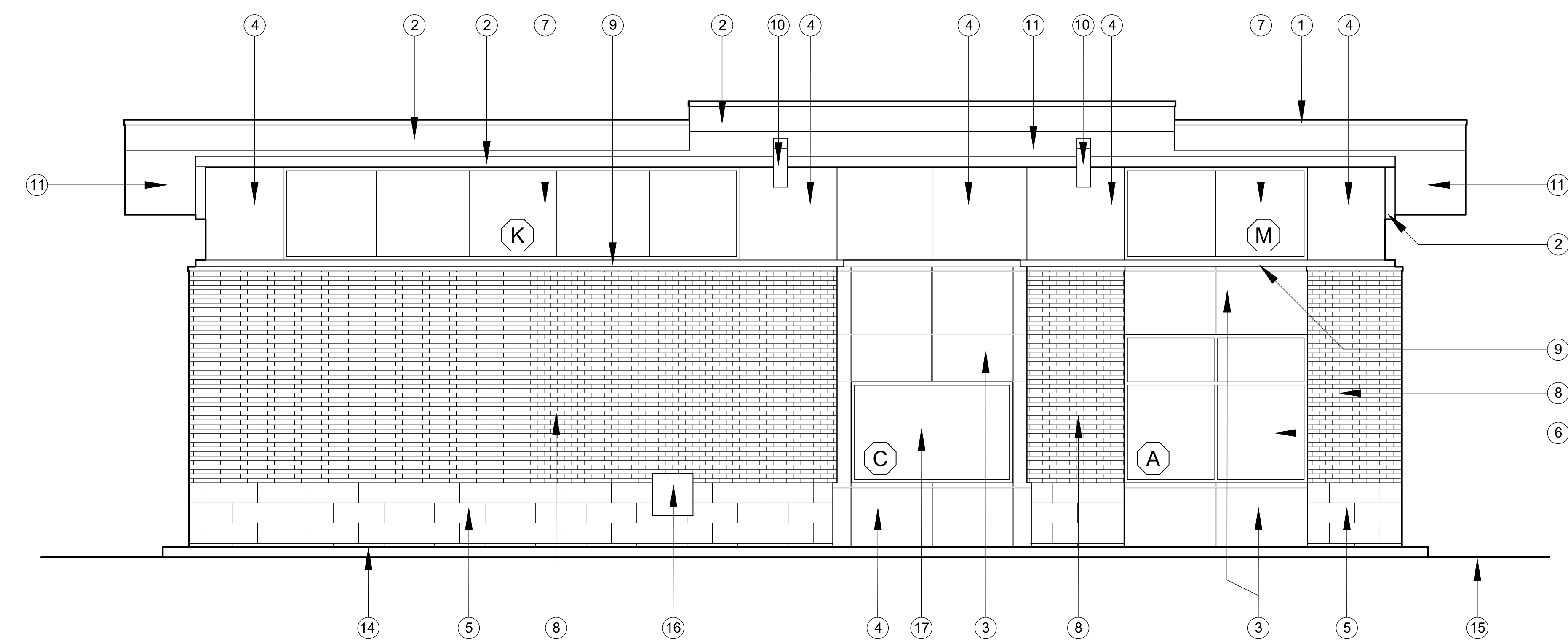
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TEL: 931.552.4771 / email: bmartin@lylecookmartin.com



- KEYNOTES TO EXTERIOR ELEVATIONS**
1. PREFINISHED STANDING SEAM ROOF OVER SELF ADHERING ICE AND WATER SHIELD OVER MECHANICALLY ATTACHED 1/2" THICK HIGH DENSITY (HD) COVER BOARD OVER TWO STAGGERED LAYERS POLYISOCYANURATE INSULATION.
 2. PREFINISHED BREAKMETAL FASCIA AND/OR WALL AND SOFFIT TRIM OVER WOOD FRAMING AND/OR BLOCKING.
 3. ACM EXTERIOR WALL PANEL SYSTEM (COLOR SELECTION A) OVER.
 4. ACM EXTERIOR WALL PANEL SYSTEM (COLOR SELECTION B) OVER.
 5. SMOOTH FACE ARCHITECTURAL CAST STONE MASONRY VENEER BELOW BRICK VENEER.
 6. ALUMINUM AND GLASS STOREFRONT AND/OR ENTRY SYSTEMS.
 7. ALUMINUM AND SPANDREL GLASS - BUTT GLAZED STOREFRONT SYSTEM WITH CONCEALED VERTICAL FRAMING MEMBER BEHIND EACH VERTICAL GLASS JOINT - TYPICAL.
 8. BRICK VENEER.
 9. PRE-FINISHED BREAKMETAL TRIM OVER WOOD FRAMING/BLOCKING TO FORM WALL CAP DETAIL.
 10. ACM EXTERIOR WALL PANEL SYSTEM (COLOR SELECTION B) OVER EXTENDED STEEL BEAM AND/OR WOOD FRAMING SUPPORTING DRIVE-THRU ROOF OVERHANG.
 11. PRE-FINISHED FLUSH PANEL METAL SOFFIT SYSTEM EQUAL TO PAC CLAD - PETERSEN ALUMINUM'S FLUSH/REVEAL SOFFIT PANEL SYSTEM.
 12. PRE-FINISHED BREAKMETAL GUTTER AND/OR DOWNSPOUT SYSTEM - ROUTING RAIN WATER INTO BELOW GRADE DRAINAGE SYSTEM.
 13. PAINTED HOLLOW METAL FRAME AND INSULATING DOOR.
 14. CONCRETE SIDEWALK AND/OR CURB.
 15. ASPHALT AND/OR CONCRETE PAVING SURFACE.
 16. APPROXIMATE LOCATION AND SIZE OF BANK EQUIPMENT - NIGHT DEPOSIT UNIT.
 17. BANK EQUIPMENT DRIVE THROUGH WINDOW - COORDINATE EXACT INSTALLATION REQUIREMENTS BETWEEN WALL FRAMING, MASONRY AND BANK EQUIPMENT VENDOR'S PRODUCTS.

1 FRONT ELEVATION
A3.1 PLAN SOUTH ORIENTATION 1/4" = 1'-0"



2 DRIVE-THRU SIDE ELEVATION
A3.1 PLAN WEST ORIENTATION 1/4" = 1'-0"

LEGENDS BANK
ASHLAND CITY
525 S. MAIN ST. ASHLAND CITY, TN. 37015

ELEVATIONS

LCM Project No.	1371
Issue Date	10.07.2022
Drawn By	IJB/BAM/CES
Revision Date	
Revision Date	
Revision Date	

A3.1
SHEET NO.

ASHLAND CITY MUNICIPAL PLANNING COMMISSION RESOLUTION

WHEREAS, the Ashland City Municipal Planning Commission find it appropriate to ratify the amendment of the Cheatham County Growth Plan; and

WHEREAS, notice to the public was given by the Town of Ashland City, The Town of Pegram, Town of Pleasant View, the Town of Kingston Springs, and Cheatham County pursuant to *Tennessee Code Annotated 6-56-101 and 6-58-104 et seq.*; and

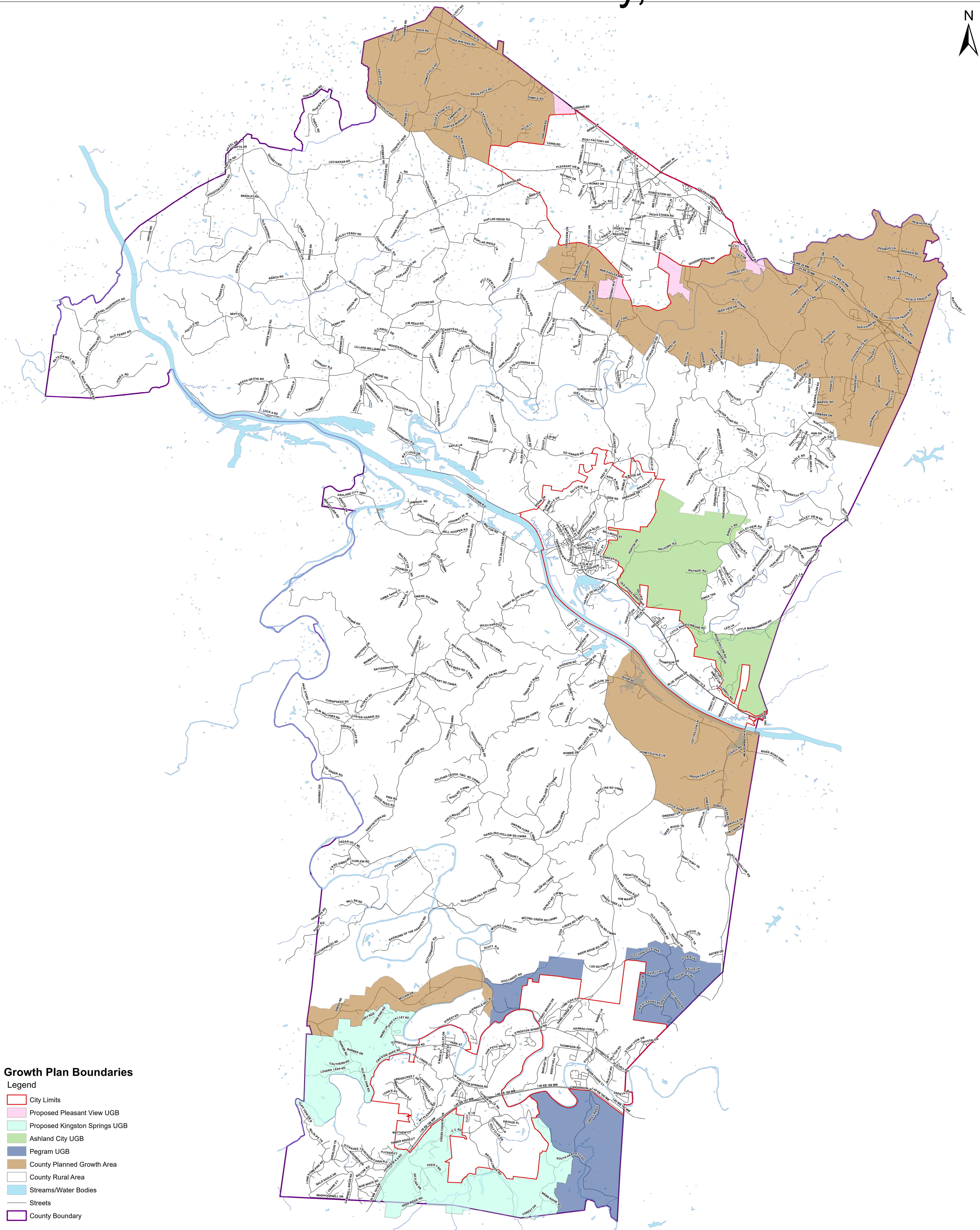
WHEREAS, it is acknowledged that the Town of Ashland City did not make any changes to its Urban Growth Boundary.

NOW, THEREFORE BE IT RESOLVED the Ashland City Municipal Planning Commission hereby ratifies the amendment to the Cheatham County Growth Plan.

Approved this ____ day of _____, 2022.

Chair
Ashland City Planning Commission

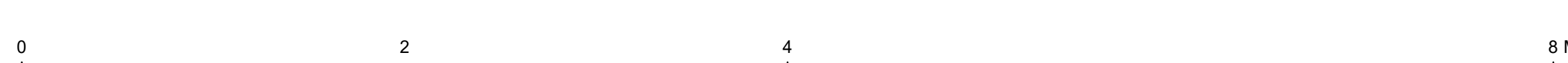
Cheatham County, TN



Growth Plan Boundaries

- Legend
- City Limits
 - Proposed Pleasant View UGB
 - Proposed Kingston Springs UGB
 - Ashland City UGB
 - Pegram UGB
 - County Planned Growth Area
 - County Rural Area
 - Streams/Water Bodies
 - Streets
 - County Boundary

Date: 11/4/2022



This map is a graphical representation for visual purposes only. The boundaries are by no means indicative of legal surveyed boundaries and should not be used as such.