



TOWN OF ASHLAND CITY
Planning Commission Meeting
July 06, 2020 5:30 PM
Agenda

Chairwoman: Melody Sleeper

Committee Members: Steve Allen, Justin Bell, Alberto Santacruz, Steven Stratton, Lisa Walker, Hadley Williams

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- [1.](#) May 4, 2020 meeting minutes

PUBLIC FORUM

OLD BUSINESS

NEW BUSINESS

- [2.](#) Rezone Request: Highway 12- Map 62 Parcel 041.00 and 041.01
- [3.](#) AO Smith Levee Project Approval

OTHER

ADJOURNMENT

Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 615-792-6455, M-F 8:00 AM – 4:00 PM. The town will make reasonable accommodations for those persons.



TOWN OF ASHLAND CITY
Planning Commission Meeting
May 04, 2020 5:30 PM
Minutes

CALL TO ORDER

Chairwoman Melody Sleeper called the meeting to order at 5:35 p.m.

ROLL CALL

PRESENT

Chairwoman Melody Sleeper

Mayor Steve Allen

Committee Member Alberto Santacruz

Committee Member Steven Stratton

Committee Member Hadley Williams

Committee Member Lisa Walker

All members reported by electronic means.

ABSENT

Committee Member Justin Bell

APPROVAL OF AGENDA

A motion was made by Mayor Allen, seconded by Committee Member Walker to approve the agenda for the May 4, 2020 Planning Commission Meeting. All approved by voice vote.

APPROVAL OF MINUTES

1. Planning Commission Meeting Minutes 3-2-2020

Chairwoman Sleeper stated she had one correction on the second page under old business take out the words "to do is" in a sentence. A motion was made by Committee Member Stratton, seconded by Mayor Allen, to approve the March 2, 2020 meeting minutes.

PUBLIC FORUM

Mr. Jack Bates- concerns about rezone: Mr. Bates stated he is concerned on the Highway 12 building, what they will be doing, how they will be doing it, and drainage problems. He stated he is here just to listen. Mr. Bates stated he doesn't know what they are going to building and he is interested in hearing what they are doing and how they are going to handle the issues. Ms. Sleeper asked if Mr. Bates will just be joining us to to listen in. Mr. Bates stated he will be listening in.

Ms. Plumlee- concerns about rezone: Ms. Plumlee stated she is representing her mother, Betty Ford, who is a property owner on the backside near the highway. One of her concerns is when they widened the highway and made it four lanes after they built the highway there was flooding in her mother's basement. She further questioned, what he will be putting back on the small strip of land on the property if there will be dumpsters or anything. She questioned if the planned unit development is residential as well. She stated there is a step incline on the back side of the property that he has already started filling it in and how he will be using that as well. She stated there is quite a bit of congestion on that side in the afternoons as well. Further, they were going to put a home on the property and now it is being proposed as a planned unit development, but she doesn't understand what that means if that means dental offices, doctor offices, condos, or anything else.

OLD BUSINESS

2. Ordinance: Rezone Map 64 Parcel 11.01- Highway 12 South and Caldwell Road
Mr. Rick Gregory stated the discussion about the planned unit development concerns the site plan that was shown some time ago for the five thousand (5,000) square foot building and it

does not concern residence. He stated this property was previously proposed for C-1 and we suggested it be zoned professional office. Further, the professional office district allows seven (7) permitted uses: financial, insurance, real estate and consulting services, general personal services, professional medical and non medical, health care facilities, and essential public transport services. He further stated the PUD (planned unit development) is just a way for an approval for the site plan for the office building. The PUD overlay does not allow for a residential space if it is approved as a professional office. Mr. Gregory stated they could come back and ask for another use down the road, but it would have to be approved. What is being asked of the property is to be used as a 5,000 square foot office building with the PUD overlay. Further, the site plan would come back to the committee for final review. Mayor Allen questioned if they come back with a plan if they have to approve the site plan. Mr. Gregory stated the site plan as long as it meets all of our specifications the committee should approve it. Further, the site plan will show the drainage and detention areas. Mr. Hussaen asked if he could give some clarity to the plan or if this is the appropriate time. He further stated the site plan will address the drainage and if anything it will be better than what it was before. He stated he has a rendering of the building and what it would look like. Mr. Hussaen displayed the rendering and reviewed the drawing with the committee. He stated on the back side it will remain a three to one (3 - 1) slope. Committee member Stratton questioned the landscaping. Mr. Hussaen stated that will be on the site plan. Mayor questioned where Highway 12 is on the drawing. Mr. Hussean explained the location and further stated this is just a preliminary and it may change with the engineered site plan. Committee member Stratton questioned if this leads into an enclosed parking area. Mr. Hussean responded that is correct, but it is not to scale because there will be setbacks. This was something that was put together to give people an idea. Mayor stated it is hard to ask questions if it isn't drawn to scale. Mr. Hussean stated the overhead view may give a better idea and that is more accurate drawing. Mr. Jason McClain explained the site plan once it is submitted will need to be approved through the city's engineer. Further, the council will need to approve the rezone as well before those site plans are submitted. Ms. Reed stated if it is rezoned because it is done as a PUD overlay he cannot change his proposal unless he comes back to the Planning Commission. Committee Member Walker questioned if we need a new application. Mr. McClain stated the minutes can reflect the changes and it is not necessary. Mayor asked the size of a parking stall. Mr. Gregory responded it is usually 10 x 18. Mayor discussed the depth of the parking lot further and questioned this. Mr. Gregory responded this is still preliminary, but he will be required to meet our specifications. After some discussion a motion was made by Committee Member Williams, seconded by Committee Member Santacruz, to approve the rezone. Voting Yea: Chairwoman Sleeper, Committee Member Santacruz, Committee Member Williams, Committee Member Walker Voting Nay: Mayor Allen, Committee Member Stratton.

NEW BUSINESS

3. Final Plat Approval: Eleanor Village

Mr. John Rankin stated he is here to address any questions. He further thanked everyone for making this possible tonight and stated this is a final plat approval for Eleanor Village, a thirteen lot subdivision. He stated the goal with this subdivision is to save a lot of green space and make this a beautiful space. Mayor questioned when the development is started if they will do one then move on to the next or how they will do it. Mr. Rankin stated they will construct one house at a time and apply for the CO (certificate of occupancy) before starting the next. Committee Member Stratton questioned if lot number one is the house that is there presently. Mr. Rankin confirmed it is. Chairwoman Sleeper asked if there were any more questions or concerns. A motion was made by Committee Member Walker, seconded by Mayor Allen, to approve the plat. Voting Yea: Chairwoman Sleeper, Mayor Allen, Committee Member Santacruz, Committee Member Stratton, Committee Member Williams, Committee Member Walker.

4. Final Plat Approval: Arbor Row

Mr. Aston Hutchenson stated he is here for final approval as well. Further, Mr. Jeff Chandler, the surveyor on the project, has made the corrections Mr. Gregory noted and has sent over those revisions. Mr. Gregory stated he didn't have many comments other than some minor technical things: the width of the lots are not all parallel lines along with showing the water line and sewer line sizes. He stated most of them are not major concerns. He stated the slope on the lots should probably been notated on the lots in compliance with the slope ordinance. Mayor questioned if this is a first reading. Mr. Gregory stated this is a final reading. Mayor questioned if the changes abide by our code. Mr. Gregory stated yes, he would just ask the steep slope be notated on the property. Ms. Sleeper asked if anyone has any questions regarding this. Chairwoman Sleeper asked if there were any further questions. A motion made by Committee Member Stratton, seconded by Mayor Allen to approve the final plat for Arbor Row. Voting Yea: Chairwoman Sleeper, Mayor Allen, Committee Member Santacruz, Committee Member Stratton, Committee Member Williams, Committee Member Walker.

OTHER

None.

ADJOURNMENT

A motion was made by Committee Member Williams, seconded by Committee Member Walker to adjourn. All approved by voice vote and the meeting adjourned at 6:23 p.m.

CHAIRWOMAN MELODY SLEEPER

CITY RECORDER KELLIE REED, CMFO, CMC



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015
Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

Application for Reclassification of Property Under the Zoning Ordinance

Application Fee: \$100.00

Application is hereby made to the Mayor and City Council, which first must be reviewed by the City Planning Commission, to reclassify the property described below now in a R2 to I-1 district.

DESCRIPTION OF PROPERTY (Attach Map): Map 062 Parcel 042001
04201

13 acres \downarrow 3.2 acres

REASON FOR RECLASSIFICATION REQUEST to build shop for maintenance shop

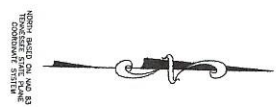
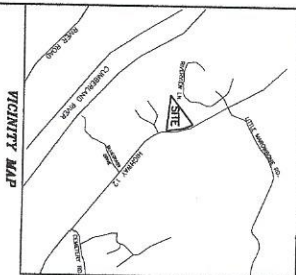
Address: _____

NOTE:

1. All applications for rezoning must be turned into City Hall no later than thirty (30) days prior to the upcoming planning commission meeting, if they are to be entertained at said meeting.
2. An accurate graphic plat prepared and stamped by a registered design professional and a legal description of property to be rezoned must be submitted to the Building Official prior to consideration by the City Commissioners. In certain circumstances (i.e. large annexation requests having irregular boundaries) these legal descriptions must be submitted prior to planning commission consideration.
3. The applicant will submit the names and addresses of all owners of adjacent property within 1,000 feet. The applicant must also submit a map showing the property within 200 feet of said property.

Jason Walker
Applicant Signature

6/3/2020
Date



LEGEND

PROJ = 8004 PG. OLD ROAD
 PLAN = 1/2" = 60' PG. NEW SET PG. NO. 1437

--- 1/2" = 60' PG. OLD ROAD
 --- 1/2" = 60' PG. NEW SET PG. NO. 1437

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--- 1/2" = 60' PG. OLD ROAD
 --- 1/2" = 60' PG. NEW SET PG. NO. 1437

The engineer, herein, certifies that the information furnished herein is true and correct to the best of his knowledge and belief, and that he is not aware of any facts or circumstances which would render the same misleading or incomplete. He further certifies that he is a duly licensed Professional Engineer in the State of Tennessee, and that he is not under any suspension or restriction of his license.

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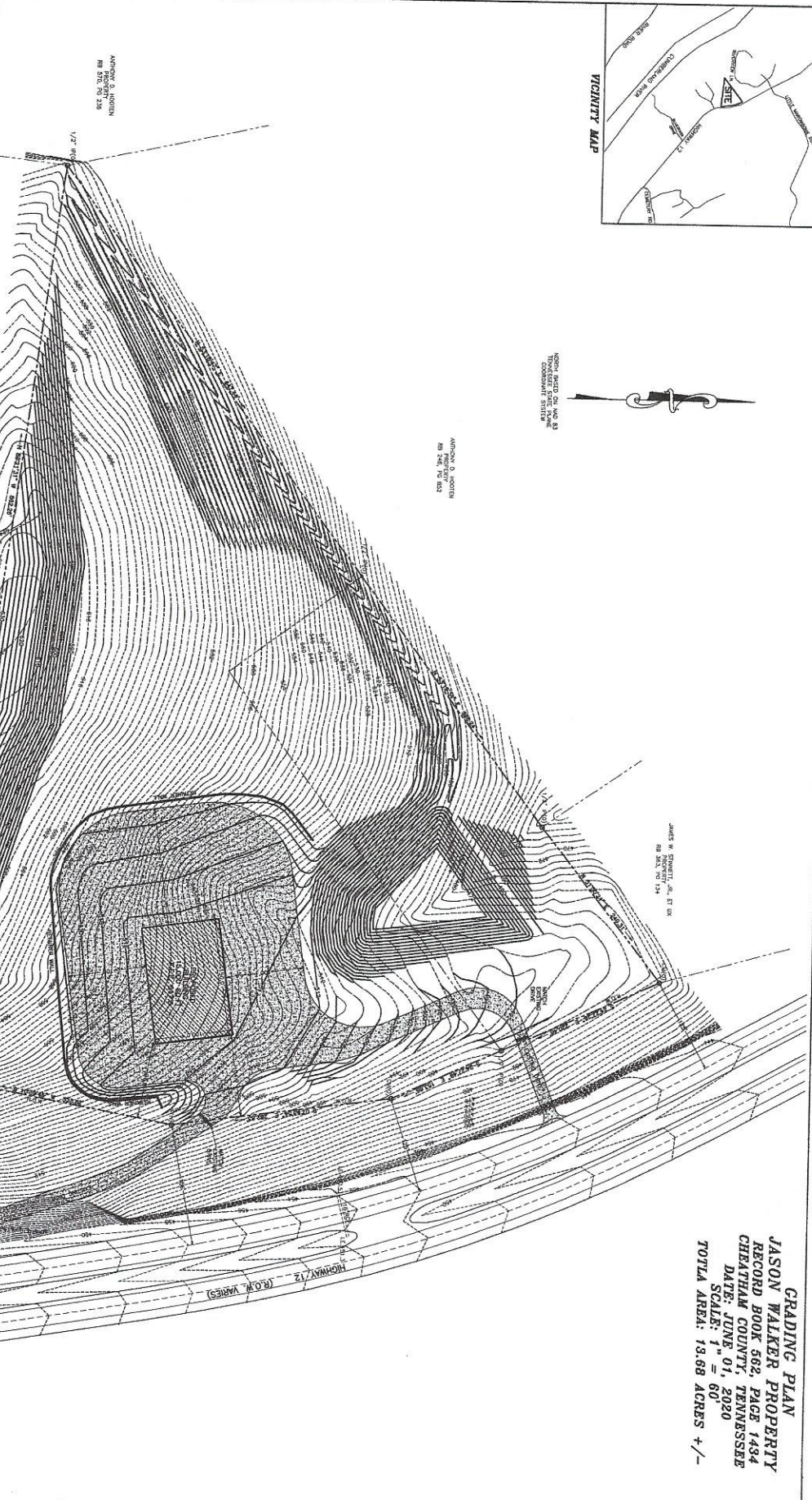
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GRADING PLAN
JASON WALKER PROPERTY
 RECORD BOOK 582, PAGE 1434
 CHEATAM COUNTY, TENNESSEE
 DATE: JUNE 01, 2020
 SCALE: 1" = 60'
 TOTAL AREA: 13.68 ACRES +/-

JASON WALKER PROPERTY
HIGHWAY 12
ASHLAND CITY, TENNESSEE
GRADING PLAN

Suiter Surveying & Land Planning, Inc.
 CIVIL ENGINEERING & LAND SURVEYING
 P.O. Box 30771
 1902A Alpine Drive
 Cheatham, Tenn. 37040
 Ph. 615.931.9220, 1750
 Fax 615.931.9249

ITEM #2.

Map for Parcel Address: 1840 Highway 12S TN Parcel ID: 062

ITEM #2.





Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

PLANNING COMMISSION SITE PLAN CHECKLIST

NAME OF SITE A. O. Smith – Levee construction Project

LOCATION 500 Tennessee Waltz Parkway ZONING DISTRICT I1 / R1

OWNER A.O. Smith Corp./ State Industries, Inc.

ENGINEER Civil & Environmental Corp.

1. Three (3) copies of the site plan. Please indicate at time of application if you would like any of the remaining copies after your case is heard and voted on. **Attached**
2. Three (3) copies and an electronic PDF of revised site plans made available to the Fire, Building and Life Safety Department – according to planner/engineer comments. Also written response to all comments to match what was changed on revised site plans.
3. Location map of the site at a scale of not less than 1"=2000' (USGS map is acceptable). Map must show the following: **Attached**
 - a. Approximate site boundary
 - b. Public streets in the vicinity
 - c. Types of development of surrounding parcels
 - d. Public water and sewer lines serving the site
 - e. Map # and Parcel # of site location
4. Site boundary, stamped and signed by a registered surveyor. **Attached**
5. The shape, size and location of all existing buildings on the lot. **Attached**
6. The existing and intended use of the lot and of structures on it. If residential, give the number of dwelling units per building. **Not Applicable**
7. Topographic survey of the site with contour intervals at no greater than 5' intervals, stamped and signed by a registered surveyor. **Attached**
8. Location of all driveways and entrances with dimensions from the centerline of the drive to the nearest property corner and to the nearest intersection (if the intersection is closer than 200 feet). **Not Applicable**
9. Dimensioned layout and location of all parking spaces including handicapped spaces. **Not Applicable**
10. Dimensioned layout and location of off-street loading bays and docks. **Not Applicable**

11. Location and area of open space. **Not Applicable**
12. A table showing the ground coverage, total floor area and building heights. **Not Applicable**
13. Location, dimension and heights of all fences and walls with materials specified. **Attached**
14. Location, type and amount of landscaping.

Landscaping is not permitted on the levee. The levee will be stabilized with a mixture of grasses that will be maintained by the A.O. Smith Corp. A.O. Smith is required by their permits to construct roughly 8 acres of perpetual wetlands planting on the outside of the levee as mitigation for the project. Their permit requires them to maintain it for a period of 5-7 years with annual inspections. A.O. Smith will correct any deficiencies found during the maintenance period. The wetlands are being constructed on USACE property and will be self-sustaining. In addition, a lake is being created on the City property, and the design of the lake will be such that the banks of will a walkable slope planted with native grasses for ease of maintenance.

15. Proposed means of surface drainage, including locations and sizes of all culverts, ditches and detention structures, storm-water system to be designed as per the requirements of the Ashland City Planning Commission.
Proposed means of surface drainage shall be via pipes, open channels and ditches similar to the existing conditions. Water will be channeled through openings in the levee under normal conditions. Under certain flood conditions the openings in the levee will be closed and water will be allowed to collect behind the levee to a certain elevation at which time the pump station will be utilized to pump water over the levee.
16. Dimensioned location of all easements and right-of-ways. **Attached Survey**
17. Location of all portions of the site that are within the floodway and the 100-year floodplain. A note will be included which gives the FEMA map number from which this information was developed. In addition, if portions of the site are in the 100-year floodplain and/or the floodway, the 100-year flood elevation(s) at the site will be listed on the plan. **Attached Survey**
18. Location, size and distance to all public utilities serving the site including all fire hydrants. **Attached Survey**
19. Location, by type and size of all proposed signs, (Please note that signs larger than 40 sq. ft. are not permitted per the sign ordinance for the Town of Ashland City. **No signage is anticipated for the project.**
20. Vegetation, show at minimum the following:
 - a. Existing tree masses and hedgerows
 - b. General description of the tree types and sizes within the tree masses
 - c. Location and identification of trees 15" in caliper (measured 4' above the ground) or larger
 - d. Description of landscaping requirements for the site based upon surrounding land uses (see Zoning Ordinance Section 3, 140)**Existing vegetation outside the limits of disturbance will not be impacted and will remain in place.**
21. Identification of slopes greater than 15% and identification of those soils (SCS soil mapping is acceptable) on those slopes. **Not applicable**
22. Site plan application fee \$100 **Attached**

City Municipal Code per Ordinance #165.

24. Three (3) sets of the construction plans for the site. **Attached**
25. Submittal must be made at least 20 working days prior to the Planning Commission meeting to be heard.
26. If application is requesting a variance, application is to be submitted to the Building Official in accordance with Section 7.080 of the Ashland City Zoning Ordinance.



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

APPLICATION FOR SITE PLAN APPROVAL

Date Received: 06/15/2020

Property Address: 500 Tennessee Waltz Parkway

Map # 55 **Parcel #** see below

Acerage: Limits of disturbance 54.8 Acres

Owner	Map	Parcel	D.B.	PG.	Acreage	Tract
Ashland City	55	6	91	194		
State Industries, Inc	55	010.00	329	600	62.58	
State Industries, Inc	55	010.00	329	600	0.13	
State Industries, Inc	55	010.00	329	600	0.96	
U.S.A.			87	283		E-514-2
U.S.A.			87	469		E-519-1
U.S.A.			87	169		E-538
State Industries, Inc	55	011.00	312	356	14.28	
State Industries, Inc	55	010.00	329	600	1.82	
U.S.A.			87	151		E-518-1, E-518-2
U.S.A.			87	153		E-537-1, E-537-2
State Industries, Inc	55	010.00	329	600	2.44	
State Industries, Inc	55	012.00	312	356	3.99	
State Industries, Inc	55	012.01	312	356	0.27	
State Industries, Inc	55	010.00	329	600	5.67	
Town of Ashland City	55	013.03,	370	410		
Cheatham County	55	013.00	370	394		
Cumberland Electric Membership Corp.	55	013.01	490	818, 12, 118		
Cheatham County Railroad Authority	55		256	436		

Property Owner(s): A.O. Smith Corporation (State Industries, Inc.)


Phone: 615-333-7797

Description of project being reviewed: Submittal is for the A.O. Smith Levee project which encompasses the Town Waste Water Treatment Plant, the Cumberland Electric Membership Corp. substation and the A.O. Smith plant.

Having submitted plans for review by the Ashland City Planning Commission, I understand that I am responsible for all review fees incurred by the Town of Ashland City. I understand that the fee paid at the time of submittal is not applicable for the fees incurred through review. With my signature, I verify that I fully understand that I am responsible for said fees, and that I have received a copy of Ordinance #165.

ASHLAND CITY PLANNING COMMISSION SITE PLAN REVIEW FEE: \$100.00

NEXT SCHEDULED MEETING: 07/06/2020


Applicant's Signature

06/15/2020
Date



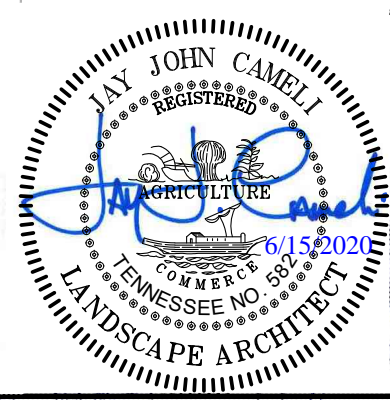
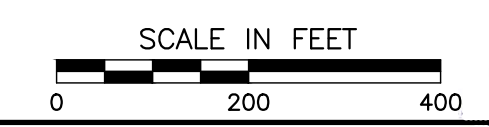
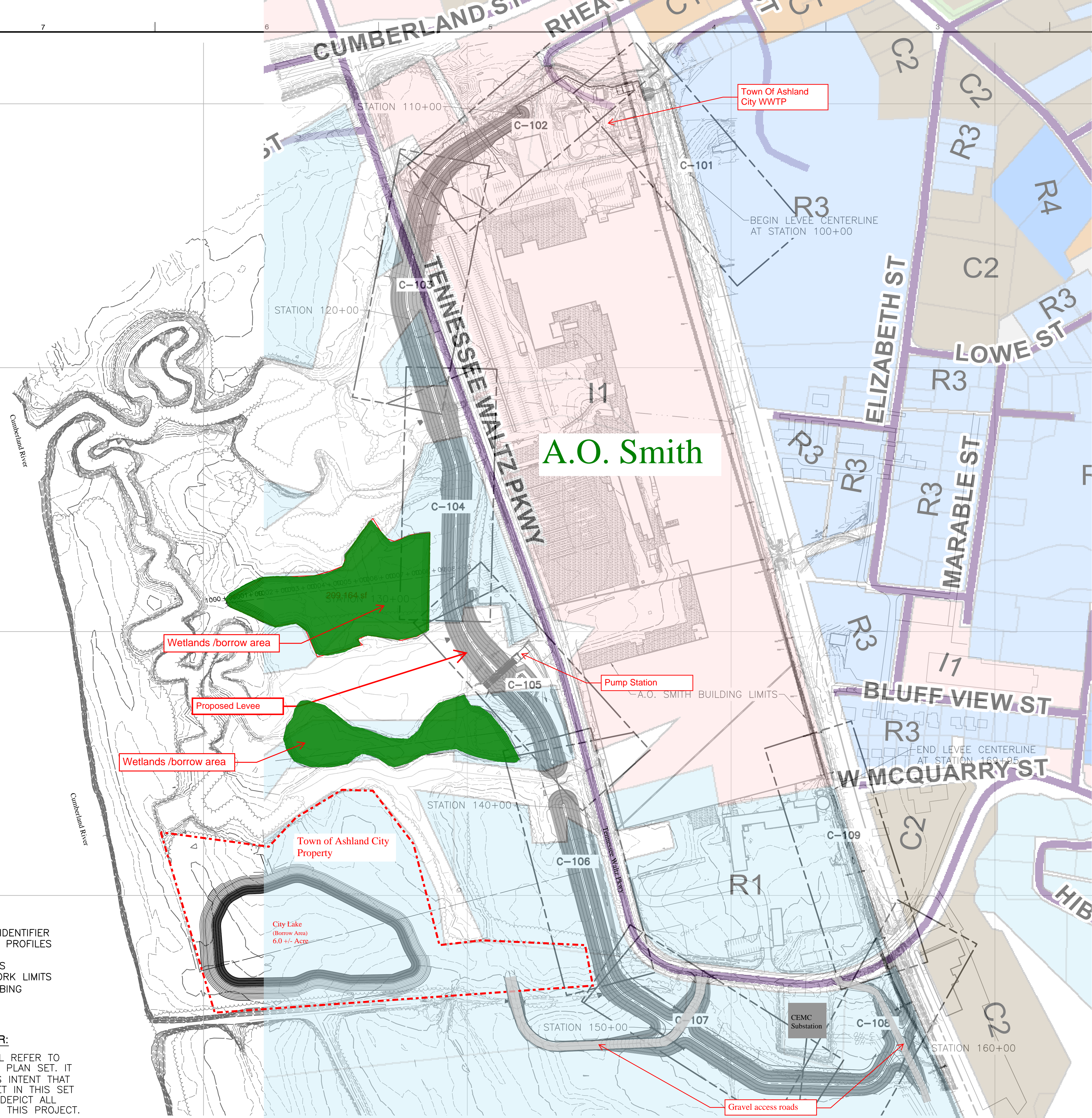
NORTH

- Legend**
- I1 - Light Industrial
 - R1 - Low Density Residential
 - Wetland Mitigation Planting Area

- NOTES:**
1. THIS KEY PLAN SERVES AS THE SHEET IDENTIFIER FOR THE LEVEE EMBANKMENT PLAN AND PROFILES
 2. SEE SHEET G-003 FOR LEGEND
 3. SEE SHEET G-100 FOR PROPERTY LIMITS
 4. SEE SHEET V-100 FOR CONTRACTOR WORK LIMITS AND LIMITS OF CLEARING AND/OR GRUBBING

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.



NO.	DATE	DESCRIPTION
0	4-13-2020	FOR BID

Civil & Environmental Consultants, Inc.
 117 Seaboard Lane · Suite E-100 · Franklin, TN 37067
 615-333-7797 · 800-763-2326
 www.ceinc.com

**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

**LEVEE EMBANKMENT PLAN & PROFILE
 KEY SHEET**

DATE: JANUARY 2020 DRAWN BY: AAS
 DIVS SCALE: AS SHOWN CHECKED BY: JBS
 PROJECT NO: 154-203
 APPROVED BY: JUC

1/20/21 154-203-000 (Imp) (100) (154203-001-C-100.dwg) - L.P. 4/14/2020 8:43 PM
 1/20/21 154-203-001 (Imp) (100) (154203-001-C-100.dwg) - L.P. 4/14/2020 8:43 PM

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LEVEE DESIGN PROJECT ASHLAND CITY, TN

SITE PLAN SUBMITTAL

SITE PLAN SUBMITTAL



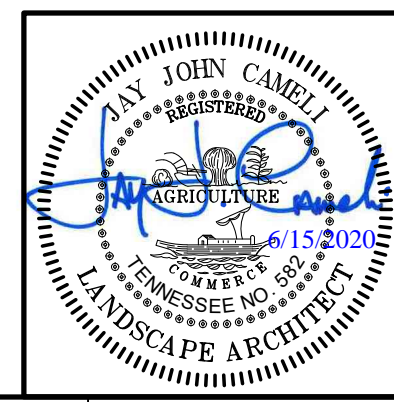
Civil & Environmental Consultants, Inc.
117 Seaboard Lane · Suite E-100 · Franklin, TN 37067
615-333-7797 · 800-763-2326
www.cecinc.com

A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN

COVER SHEET	
DATE: JUNE 2020	DRAWN BY: AAS
DWG SCALE: AS SHOWN	CHECKED BY: JBS
PROJECT NO: 154-203	APPROVED BY: JJC

DRAWING NO.: **G-001**
SHEET OF

NO	DATE	DESCRIPTION
0	4-13-2020	FOR BID



THE PLANS PROVIDED IN THIS SET OF DOCUMENTS IS A PORTION OF THE FINAL CONSTRUCTION BID DOCUMENTS FOR THE LEVEE PROJECT. EXTRANEIOUS INFORMATION NOT REQUIRED FOR SITE PLAN SUBMITTAL WAS REMOVED. HOWEVER, IT IS PROVIDED FOR THE TOWN OF ASHLAND CITY'S RECORDS AND PERMITTING

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SUMMARY OF WORK

THE FOLLOWING CONSTRUCTION SEQUENCE PROVIDES A GENERAL APPROACH TO CONSTRUCTION OF THE ENTIRE PROJECT AS SHOWN IN THE ACCOMPANYING DRAWINGS AND TECHNICAL SPECIFICATIONS. THE ACTUAL ORDER OF EVENTS WILL VARY BASED UPON TIMING OF WORK AND THE CONTRACTORS APPROACH TO THE WORK AS PRESENTED IN THEIR APPROVED CONSTRUCTION WORK PLAN. THE CONTENTS OF THE CONSTRUCTION WORK PLAN ARE DESCRIBED IN THE TECHNICAL SPECIFICATIONS.

1. VERIFY THAT ALL NECESSARY PERMITS FROM FEDERAL, STATE, COUNTY AND LOCAL AGENCIES HAVE BEEN ACQUIRED. OBTAIN PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAIN COPIES AT THE WORK SITE.
2. MOBILIZE EQUIPMENT TO THE PROJECT SITE
3. ESTABLISH TEMPORARY CONSTRUCTION FACILITIES INCLUDING JOB TRAILER, STAGING AND LAYDOWN AREAS, TEMPORARY TOPSOIL STOCKPILE AREAS AND EROSION AND SEDIMENT CONTROLS.
4. IDENTIFY AND MARK OVERHEAD AND UNDERGROUND UTILITIES VIA THE TENNESSEE 811 CALL BEFORE YOU DIG SYSTEM. CONSULT WITH OWNER TO ASSIST IN IDENTIFICATION OF ON-SITE UTILITIES NOT COVERED UNDER THE TENNESSEE 811 SYSTEM.
5. PERFORM PRECONSTRUCTION SITE RECONNAISSANCE TO VERIFY EXISTING CONDITIONS PRESENTED IN ACCOMPANYING DRAWINGS.
6. ESTABLISH BENCHMARKS AND CONSTRUCTION BASELINE ALONG CENTERLINE OF EMBANKMENT OR AT LOCATION SELECTED BY THE CONTRACTOR.
7. MARK CLEARING AND GRUBBING LIMITS FOR LEVEE EMBANKMENT AND FOR BORROW AREAS, THEN PERFORM CLEARING, GRUBBING AND TOPSOIL STRIPPING OPERATIONS.
8. ESTABLISH HAUL ROADS FROM BORROW AREA TO EMBANKMENT LOCATIONS.
9. EXECUTE MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) PLAN AND ESTABLISH TEMPORARY CONSTRUCTION CROSSING LOCATION FOR TENNESSEE WALTZ ROAD.
10. PERFORM DEMOLITION OF SELECT FACILITIES SHOWN ON DRAWINGS, INCLUDING UTILITY REMOVAL AND DECOMMISSIONING
11. EXCAVATE INSPECTION TRENCH OR INSTALL WICK DRAINS AT LOCATION SHOWN ON ACCOMPANYING DRAWINGS. BEGIN EXCAVATION AT LOCATIONS SPECIFIED IN CONSTRUCTION WORK PLAN.
12. PROVIDE SELECT GRANULAR SOIL MATERIAL AND BACKFILL INSPECTION TRENCH OR INSTALL WICK DRAIN LATERAL DRAINAGE LAYER.
13. EXCAVATE PIPE TRENCH AT LOCATION SHOWN ON ACCOMPANYING DRAWINGS AND INSTALL HDPE DRAINAGE PIPE AND ASSOCIATED APPURTENANCES TO CONNECT EXISTING DRAINAGE CHANNELS ALONG TENNESSEE WALTZ ROAD TO UNNAMED TRIBUTARIES LEADING TO CUMBERLAND RIVER (4 REQUIRED). CONSTRUCT CONCRETE HEADWALLS WITH RIPRAP DRAINAGE PAD.
14. PLACE AND COMPACT SELECT COHESIVE MATERIAL FROM INSPECTION TRENCH EXCAVATION OR FROM BORROW AREAS TO CONSTRUCT LEVEE EMBANKMENT AT LOCATION SHOWN ON ACCOMPANYING DRAWINGS. CONSTRUCT LEVEE TO THE 'OVERBUILD' ELEVATIONS SHOWN ON THE PLANS AND SECTIONS, TO OBTAIN A POST SETTLEMENT ELEVATION OF 409.0 FT. BEGIN EMBANKMENT CONSTRUCTION AT LOCATIONS SPECIFIED IN CONSTRUCTION WORK PLAN.
15. IN CONJUNCTION WITH LEVEE EMBANKMENT CONSTRUCTION, CONSTRUCT ONE FLOODWALL TO LENGTH OF 150 FT AT LOCATION SHOWN ON DRAWING. PROVIDE OPENING IN FLOODWALL AND INSTALL SLUICE GATE ON RIVERSIDE OF WALL.
16. PROVIDE ROAD CLOSURES FOR TENNESSEE WALTZ ROAD AND REMOVE ASPHALT SURFACE AND SUB-BASE MATERIAL TO LIMITS SHOWN ON ACCOMPANYING DRAWINGS. PLACE AND COMPACT SELECT FILL TO CONSTRUCT ROAD GRADE EMBANKMENTS AND CONSTRUCT NEW ROAD SURFACE.
17. EXCAVATE AND CONSTRUCT CONCRETE FOUNDATION FOR PUMP STATION AT LOCATION SHOWN ON ACCOMPANYING DRAWINGS (1 OR 2 REQUIRED).
18. CONSTRUCT PUMP STATION, INCLUDING PUMPS, SUMP PUMPS, FITTINGS, ANCILLARY PIPING, ELECTRICAL FACILITIES AND CONCRETE SHELL AND CONSTRUCT STORMWATER CHUTE.
19. DECONSTRUCT THE ASHLAND CITY FILTER PRESS BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SPECIFICATIONS AND CONSTRUCT NEW TEMPORARY FILTER PRESS BUILDING.
20. EXCAVATE FOUNDATION TO CONSTRUCT CONCRETE FLOODWALL ADJACENT TO ASHLAND CITY WASTEWATER TREATMENT PLANT AT LOCATION SHOWN ON ACCOMPANYING DRAWINGS.
21. EXCAVATE FOUNDATION TO CONSTRUCT CONCRETE RETAINING WALL PARALLEL TO RAILROAD TRACKS, AT LOCATION SHOWN ON DRAWINGS.
22. IN CONJUNCTION WITH LEVEE EMBANKMENT CONSTRUCTION, CONSTRUCT SIPHON PIPE SYSTEMS AT LOCATIONS SHOWN ON ACCOMPANYING DRAWINGS, INCLUDING VALVES, VALVE VAULTS, VALVE LIDS AND VALVE APPURTENANCES.
23. PROVIDE ADDITIONAL FILL ABOVE SPECIFIED LEVEE CREST ELEVATION TO COVER PUMP STATION PIPING AND TO ESTABLISH GRADES FOR FUTURE RECREATIONAL TRAIL.
24. CONSTRUCT CONCRETE PAD AND INSTALL GENERATOR AND TRANSFORMER.
25. CONSTRUCT CHAIN LINK FENCING AND GATES.
26. VEGETATE LEVEE AND DISTURBED AREAS.
27. PERFORM GRADING TO CONVERT BORROW AREA NO. 3 INTO LAKE, INCLUDING SPILLWAY CONSTRUCTION.
28. INSTALL ASPHALT PAVING AND CONSTRUCT GAVEL ACCESS ROADS.

STANDARD LEGEND

	EXISTING CONCRETE		FIRE HYDRANT
	EXISTING EARTH		SANITARY MANHOLE
	EXISTING ROCK		STORMWATER MANHOLE
	EXISTING GRAVEL		UTILITY MANHOLE
	EXISTING RIPRAP		TRANSFORMER PAD
	EXISTING SAND		ELECTRICAL BOX
	CONTROLLED LOW STRENGTH MATERIAL (CLSM)		STORM YARD DRAIN
	SEEDING AREA		FIBER OPTIC BOX
	PROPOSED CONCRETE		FENCE LINE
	PROPOSED RIPRAP		FENCE GATE
	WP WATER PIPELINE		MONITORING WELL
	OH-T TELEPHONE (OVERHEAD)		TREE
	T TELEPHONE (UNDERGROUND)		SHRUB
	W WATER LINE (UNDERGROUND)		MAILBOX
	SAN SANITARY (UNDERGROUND)		PEDESTAL
	G GAS LINE (UNDERGROUND)		HANDRAIL
	OH-E ELECTRIC (OVERHEAD)		GUIDE RAIL
	UG-E ELECTRIC (UNDERGROUND)		CWL/NPDES BOUNDARY/LOD
	ST STORMWATER (UNDERGROUND)		LIMITS OF GRUBBING
	OH-E/T/C CABLE (OVERHEAD)		CLEARING AND GRUBBING LIMIT
	UG-E/T/C CABLE (UNDERGROUND)		BORROW AREA LIMITS
	ST ELECTRIC (UNDERGROUND)		PROPOSED SILT FENCE
	ST STORMWATER (UNDERGROUND)		PROPERTY LINE
	EXISTING CULVERT		TVA EASEMENT LINE
	PROPOSED CULVERT		TREE LINE
	TRAFFIC SIGNAL POLE		LAMP POLE
	STORM INLET		IRON PIN FOUND
	WV WATER VALVE		RAILROAD SPIKE FOUND
	WM WATER METER		CONCRETE MONUMENT FOUND
	GV GAS VALVE		
	GLM GAS LINE MARKER		SECTION CUT INDICATOR WITH SECTION DISPLAYED ON SAME SHEET NUMBER
	GM GAS METER		SECTION CUT INDICATOR WITH SECTION DISPLAYED ON SHEET NUMBER REFERENCED WITHIN PARENTHESIS
	UP UTILITY POLE		EXISTING INDEX CONTOUR
	GW GUY WIRE		EXISTING DRAINAGE DITCH
	PI POINT OF INTERSECTION		PROPOSED INDEX CONTOUR
	SIGN		PROPOSED INTERMEDIATE CONTOUR
	LP LIGHT POLE		STR-7 EXISTING STREAM
	AC AIR CONDITIONING UNIT		DRAINAGE CHANNEL W/CHANNEL REACH DESIGNATIONS
	UV UTILITY VAULT		WTL-1 EXISTING WETLAND
	SC SANITARY CLEANOUT		DETAIL NUMBER
	TR TRANSFORMER		SHEET NUMBER CONTAINING DETAIL
	GW GUY WIRE		FILTER SOCK WITH DIAMETER DESIGNATION
	WW WATER WELL		HIGH VISIBILITY FENCING
	WT WATER TAP		GENERAL FENCING
	ST STUMP		

STANDARD ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE	NAVD	NORTH AMERICAN VERTICAL DATUM
ALT	ALTERNATE	NGVD	NATIONAL GEODETIC VERTICAL DATUM
APPROX	APPROXIMATE	NO	NUMBER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NTS	NOT TO SCALE
B.O.	BY OTHERS	O&M	OPERATION AND MAINTENANCE
C	CENTERLINE	OD	OUTSIDE DIAMETER
CIP	CAST-IN-PLACE, CAST IRON PIPE	OPNG	OPENING
CONC	CONCRETE	PA	PENNSYLVANIA
CWL	CONTRACTOR WORK LIMITS	PI	POINT OF INTERSECTION
CY	CUBIC YARD	PSF	POUNDS PER SQUARE FOOT
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DWG	DRAWING	PT	POINT
E&S	EROSION AND SEDIMENT	PVI	POINT OF VERTICAL INTERSECTION
EL	ELEVATION	PVT	POINT OF VERTICAL TANGENCY
EXIST	EXISTING	REINF	REINFORCEMENT
FT	FOOT, FEET	REQ'D	REQUIRED
GA	GAGE	SCH	SCHEDULE
HDPE	HIGH-DENSITY POLYETHYLENE	STA	STATION
HORIZ	HORIZONTAL	STD	STANDARD
IN	INCH, INCHES	STR	STREAM
LB	POUND, POUNDS	TYP	TYPICAL
LOD	LIMITS OF DISTURBANCE	UNO	UNLESS NOTED OTHERWISE
MAX	MAXIMUM	VERT	VERTICAL
MIN	MINIMUM	WP	WORK POINT
MISC	MISCELLANEOUS	WTL	WETLAND
N/A	NOT APPLICABLE	WVC/EPH	WET WEATHER CONVEYANCE/EPHEMERAL STREAM
NAD	NORTH AMERICAN DATUM		

Benchmarks				
Number	Northing	Easting	Elevation	Type
2	707006.4412	1653505.569	391.662	GPS
556	704795.465	1654039.272	393.398	SMN
557	704436.149	1654131.395	393.249	SMN
559	705395.146	1653819.211	392.006	FPK
45074	707159.975	1653298.31	395.273	MON TDOT11-455-03
45121	706834.012	1653405.797	392.88	MON TDOT11-455-02
55087	706086.8985	1653676.06	389.7245	MON TDOT11-455-01
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REVISION RECORD

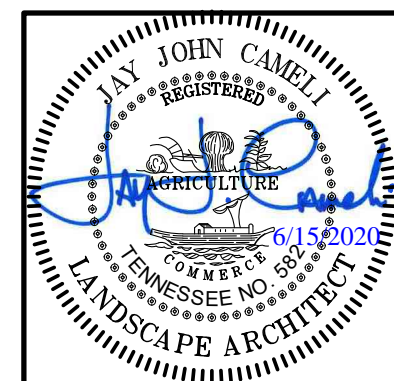
NO	DATE	DESCRIPTION
0	4-13-2020	FOR BID

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SITE PLAN SUBMITTAL

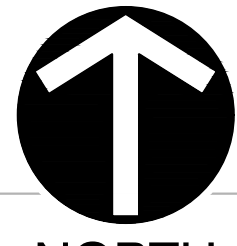
**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

SUMMARY OF WORK, LEGEND, AND ABBREVIATIONS	
DATE: JUNE 2020	DRAWN BY: AAS
AS SHOWN	CHECKED BY: JBS
DWG SCALE: 154-203	PROJECT NO: 154-203
APPROVED BY: JJC	



DRAWING NO.: **G-003**
 SHEET 1 OF 1
 ITEM # 3

1/31/21 154-203-0001.dwg (1/31/21) 154203-001-0-001.rvt (6/12/2020 8:56 AM) - LP: 6/12/2020 8:56 AM



NORTH



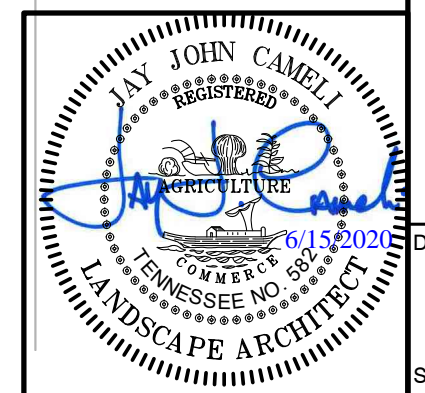
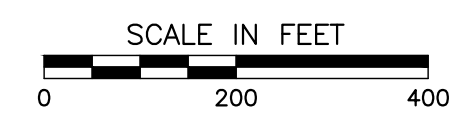
- NOTES:
1. THIS KEY PLAN SERVES AS THE SHEET IDENTIFIER FOR THE LEVEE EMBANKMENT PLAN AND PROFILES
 2. SEE SHEET G-003 FOR LEGEND



Know what's below.
Call before you dig.

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.



DRAWING NO.: **C-100**
SHEET 1 OF 1

LEVEE EMBANKMENT PLAN & PROFILE KEY SHEET

DATE: JUNE 2020 | DRAWN BY: AAS
 AS SHOWN | CHECKED BY: JBS
 PROJECT NO: 154-203
 APPROVED BY: JJC

A.O. SMITH FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN

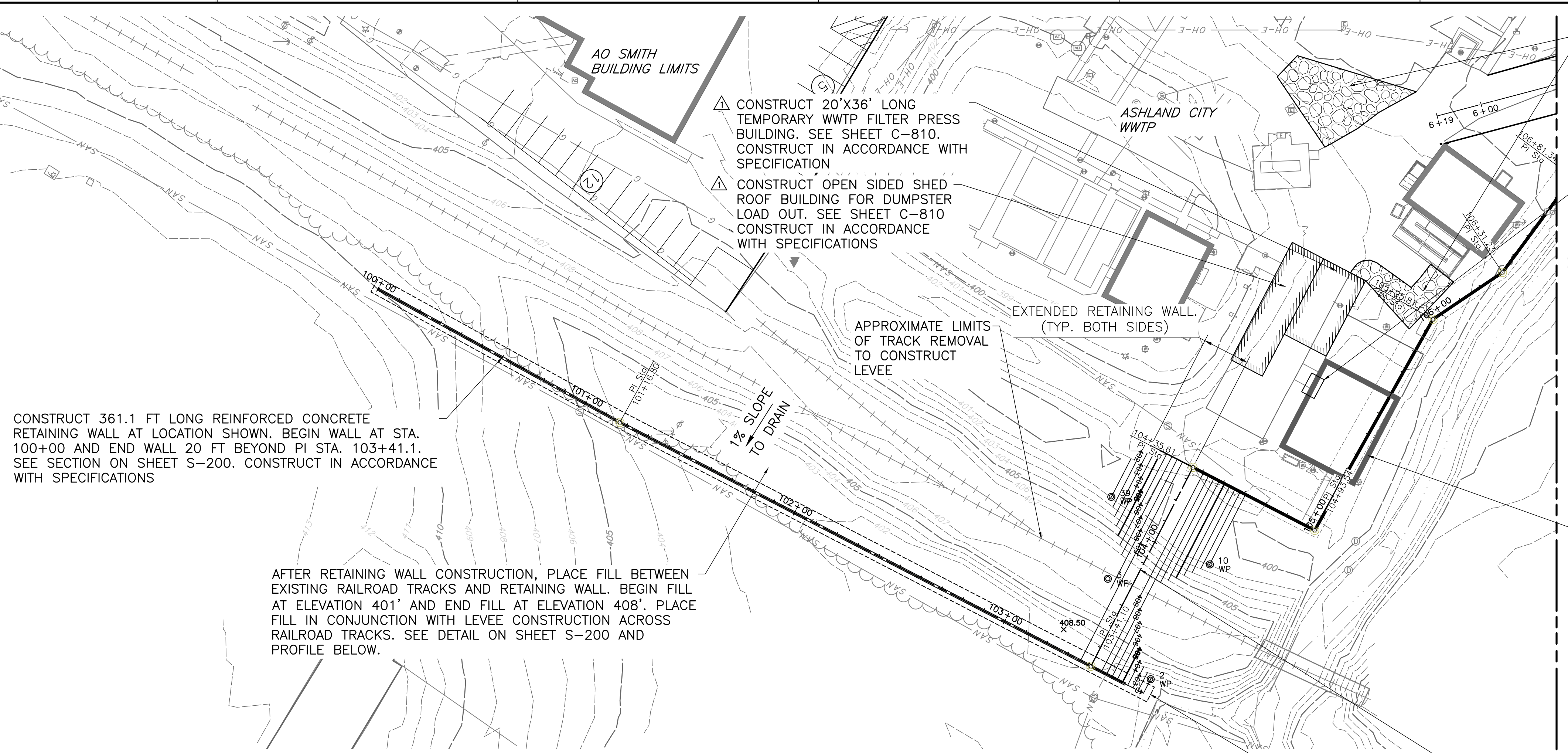
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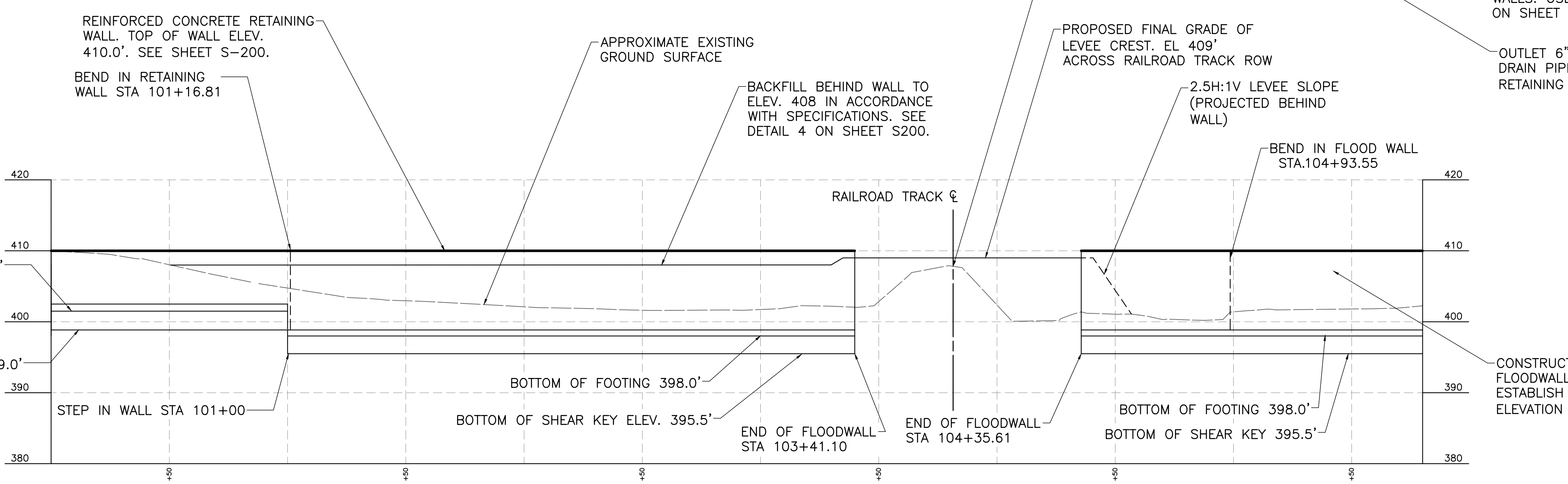
NO	DATE	DESCRIPTION
0	4-13-2020	FOR BID

REVISION RECORD

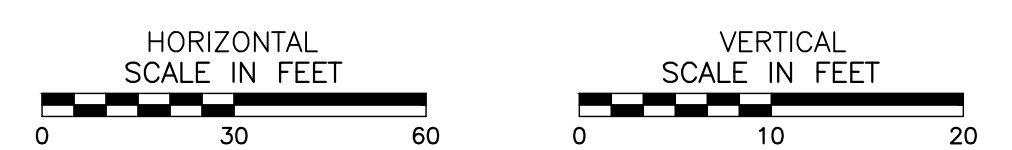
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LEVEE EMBANKMENT PLAN STA. 100+00 TO 105+80



LEVEE EMBANKMENT PROFILE



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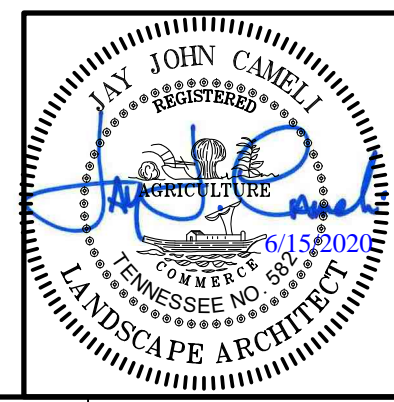
NO.	DATE	FOR	DESCRIPTION
0	4-13-2020	FOR BID	ADDED WWTP MODIFICATIONS

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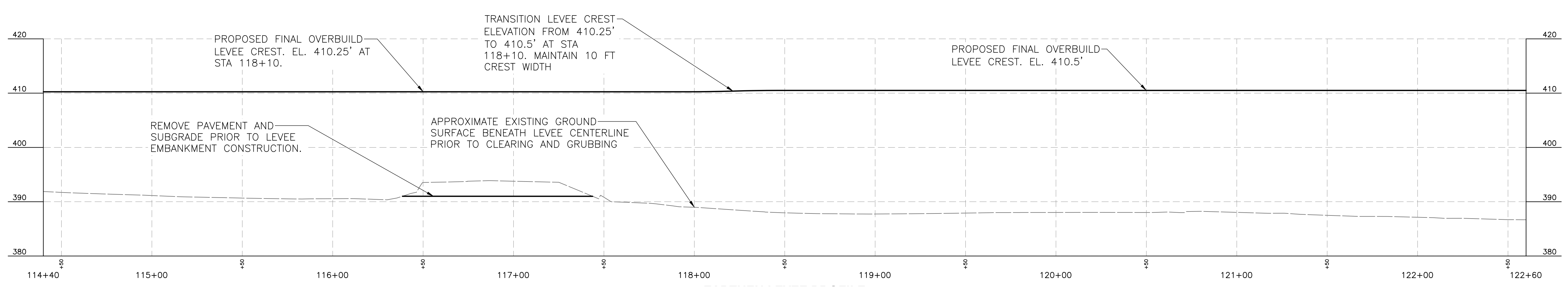
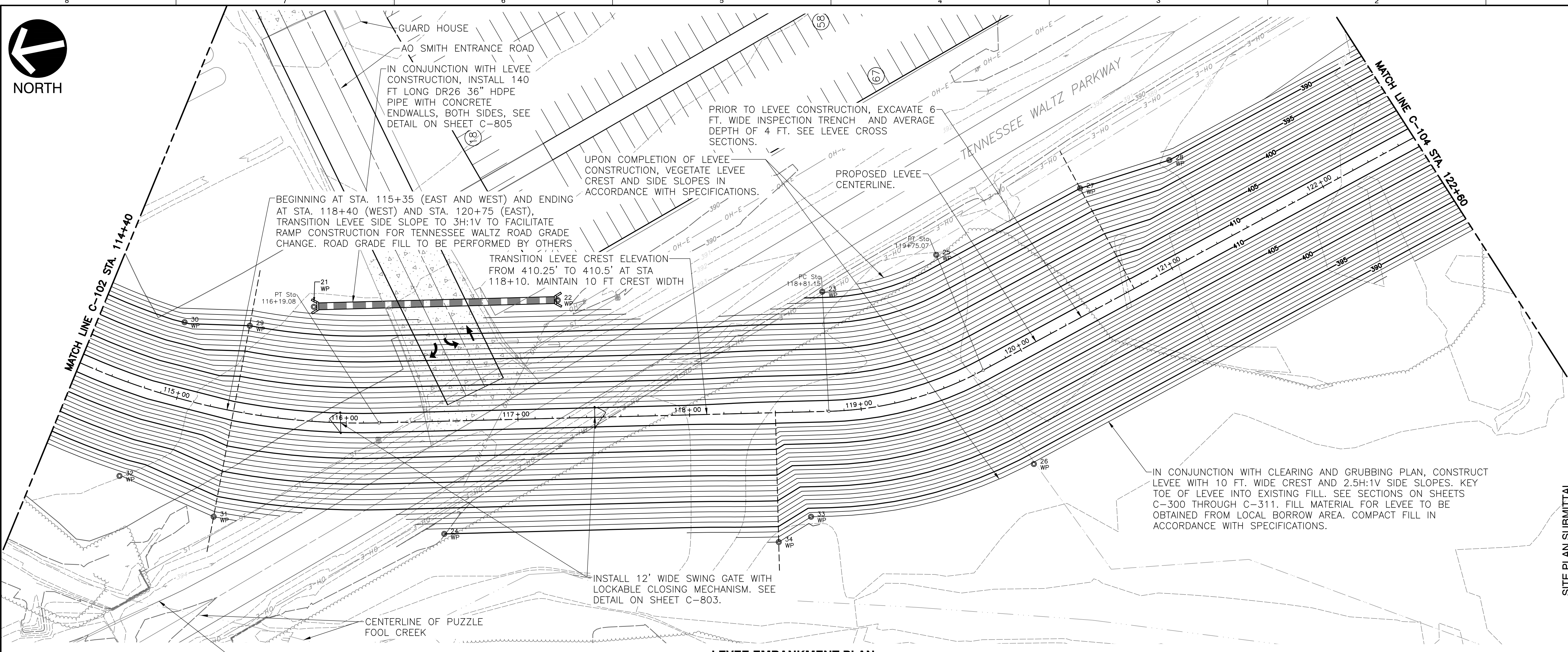
**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

DATE:	JUNE 2020	DRAWN BY:	AAS
DWG'S SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC

DRAWING NO.: **C-101**
 SHEET OF



15/15/2021 10:00 AM (DWG) C:\Users\jcamel\OneDrive\Documents\154-203-0101\154-203-0101.dwg - LF: 6/12/2020 8:38 AM
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NORTH

1/20/15 154-201 - 0400 (Imp) CIVIL (154201-01) (154201-02) (154201-03) (154201-04) (154201-05) (154201-06) (154201-07) (154201-08) (154201-09) (154201-10) (154201-11) (154201-12) (154201-13) (154201-14) (154201-15) (154201-16) (154201-17) (154201-18) (154201-19) (154201-20) (154201-21) (154201-22) (154201-23) (154201-24) (154201-25) (154201-26) (154201-27) (154201-28) (154201-29) (154201-30) (154201-31) (154201-32) (154201-33) (154201-34) (154201-35) (154201-36) (154201-37) (154201-38) (154201-39) (154201-40) (154201-41) (154201-42) (154201-43) (154201-44) (154201-45) (154201-46) (154201-47) (154201-48) (154201-49) (154201-50) (154201-51) (154201-52) (154201-53) (154201-54) (154201-55) (154201-56) (154201-57) (154201-58) (154201-59) (154201-60) (154201-61) (154201-62) (154201-63) (154201-64) (154201-65) (154201-66) (154201-67) (154201-68) (154201-69) (154201-70) (154201-71) (154201-72) (154201-73) (154201-74) (154201-75) (154201-76) (154201-77) (154201-78) (154201-79) (154201-80) (154201-81) (154201-82) (154201-83) (154201-84) (154201-85) (154201-86) (154201-87) (154201-88) (154201-89) (154201-90) (154201-91) (154201-92) (154201-93) (154201-94) (154201-95) (154201-96) (154201-97) (154201-98) (154201-99) (154201-100)



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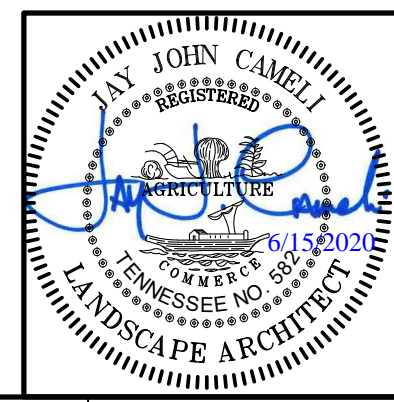
NO.	DATE	DESCRIPTION
1	4-13-2020	FOR BID

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**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

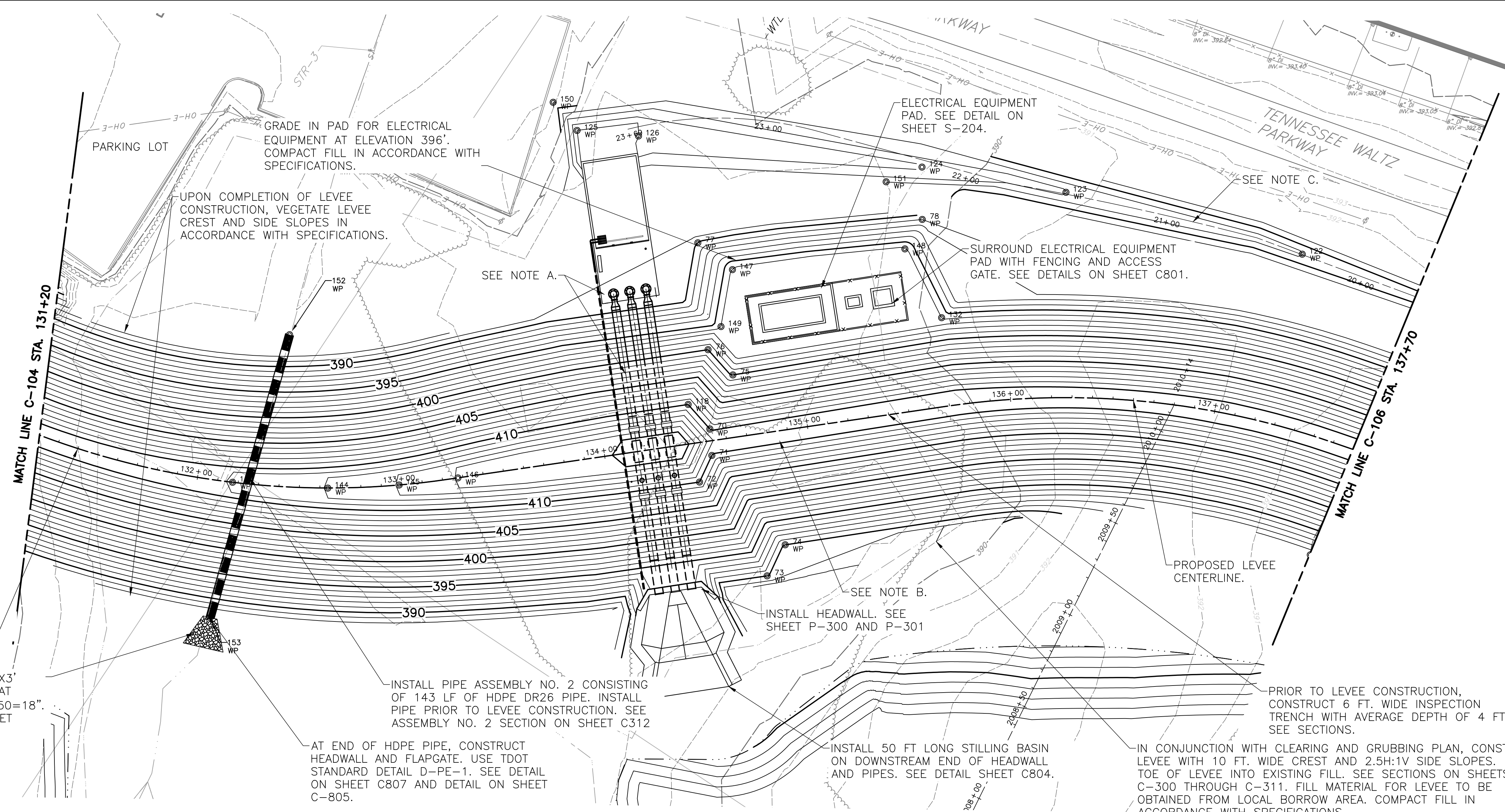
DATE:	JUNE 2020	DRAWN BY:	AAS
DWG SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC

DRAWING NO.: **C-103**
 SHEET OF ITEM # 3.

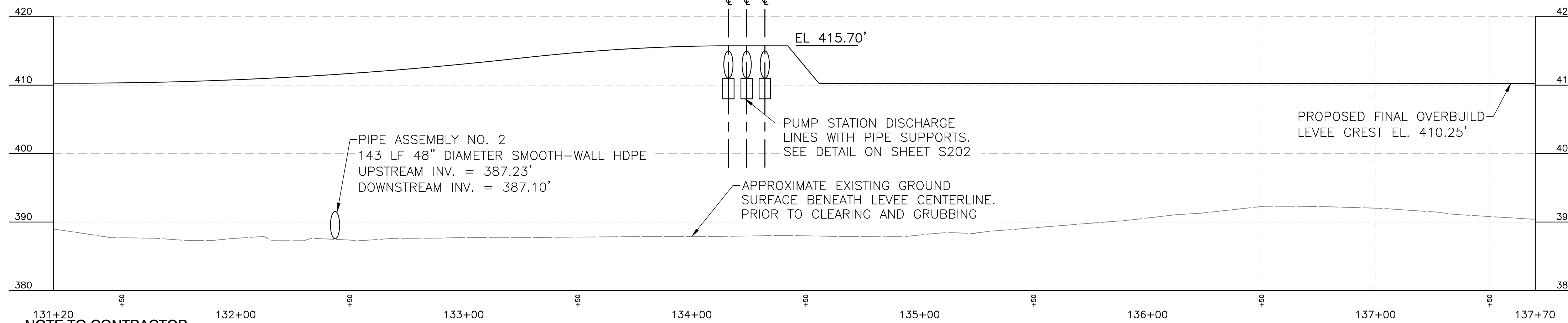




NORTH



LEVEE EMBANKMENT PLAN



LEVEE EMBANKMENT PROFILE



NOTES:

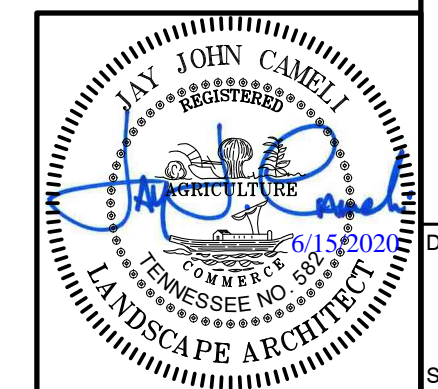
- A. UPON COMPLETION OF LEVEE CONSTRUCTION, INSTALL NEW PIPE AND PUMP SYSTEM IN LEVEE. INSTALL PIPE IN TRENCH. SEE CROSS SECTION STA 134+24.46 ON SHEET C308 AND P300-302.
- B. PLACE SELECT FILL OVER PIPES TO EL 415.70' COMPACT FILL IN A MANNER THAT DOES NOT DAMAGE OR DEFORMATION TO HDPE PIPES.
- C. CONSTRUCT DIVERSION CHANNEL FOR INTERIOR DRAINAGE. BEGIN CHANNEL AT EL 391.5' AND END AT EL 386.0'. SEE DETAIL 816 ON SHEET C802.

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LEVEE EMBANKMENT PLAN & PROFILE
SHEET 5 OF 9

DRAWING NO.:

C-105

SHEET OF

ITEM #3.

SITE PLAN SUBMITTAL

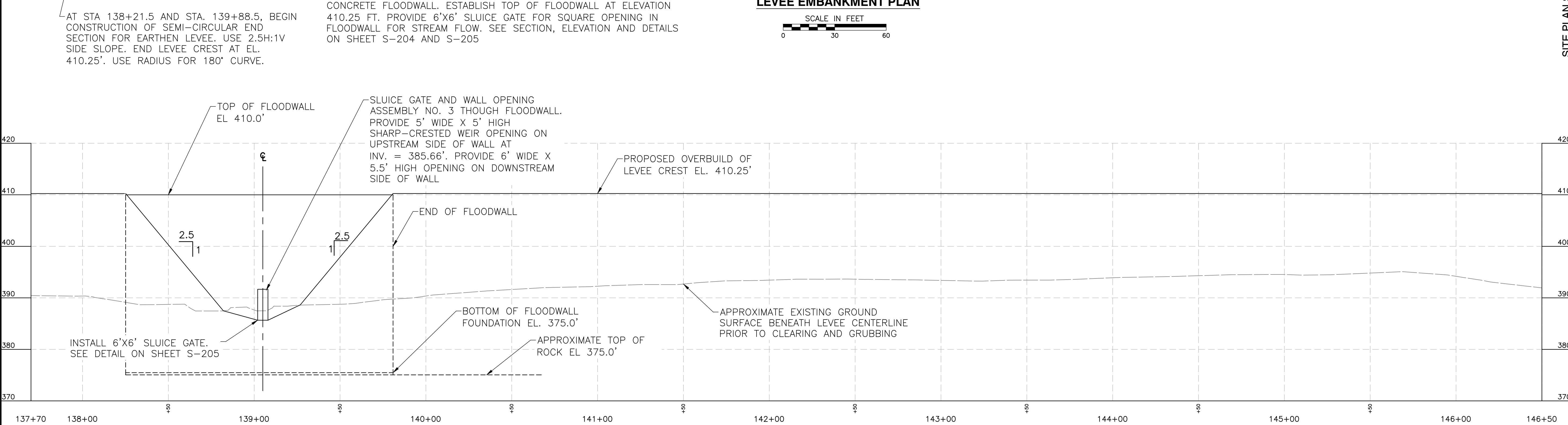
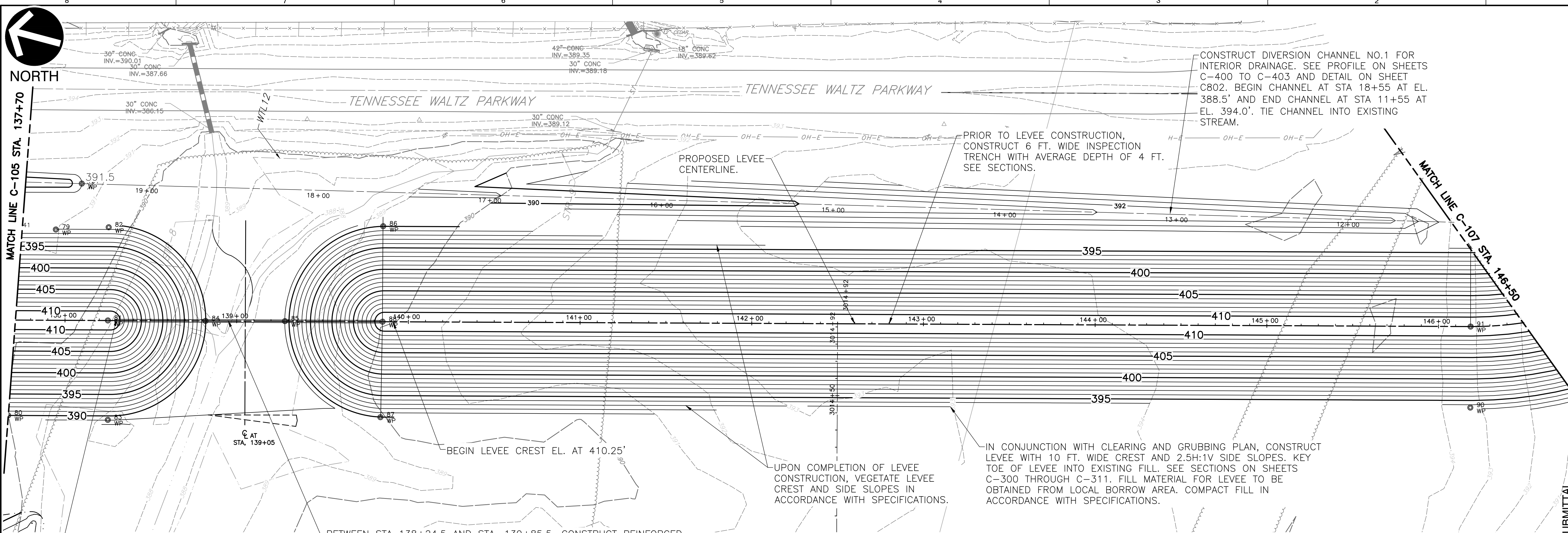
NO.	DATE	DESCRIPTION
1	4-13-2020	FOR BID
2		EXISTING OVERHEAD WIRES AND POLES NOW SHOWN

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**A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN**

DATE:	JUNE 2020	DRAWN BY:	AAS
DWG. SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC

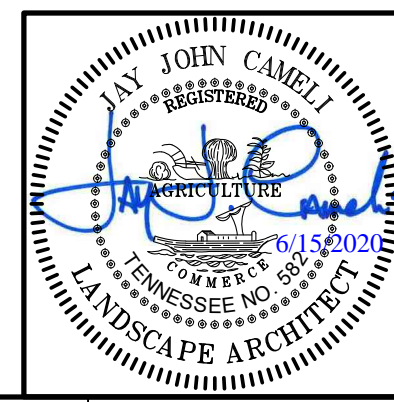
151154-203-0001.dwg (C:\DWG\154203-001-C-105.dwg) - LP: 6/12/2020 8:39 AM



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NO.	DATE	DESCRIPTION
1	4-13-2020	FOR BID
2		EXISTING OVERHEAD WIRES AND POLES NOW SHOWN

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CHEATHAM COUNTY, TN**

**LEVEE EMBANKMENT PLAN & PROFILE
SHEET 6 OF 9**

DRAWING NO.: **C-106**

DATE: JUNE 2020
DRAWN BY: AAS
CHECKED BY: JBS
PROJECT NO.: 154-203
APPROVED BY: JJC



NORTH

PERFORM GRADING TO CREATE DIVERSION CHANNEL FOR INTERIOR DRAINAGE. USE 4% SLOPE FROM EL. 390 TO EL. 393. SEE DETAIL ON SHEET C-802.

TENNESSEE WALTZ PARKWAY

RELOCATE EXISTING DOUBLE SWING GATE.

CONSTRUCT PARK ENTRANCE ROAD 34 FEET WIDE. SEE SHEET C121.

INSTALL 120 LF 36" DR 26 IPS DIAMETER SOLID WALL HDPE PIPE WITH CONCRETE HEADWALLS UNDER NEW PARK ENTRANCE. SEE DETAIL ON SHEET C-805. INV. IN = 390.50' (VIF) INV. OUT = 390.22'

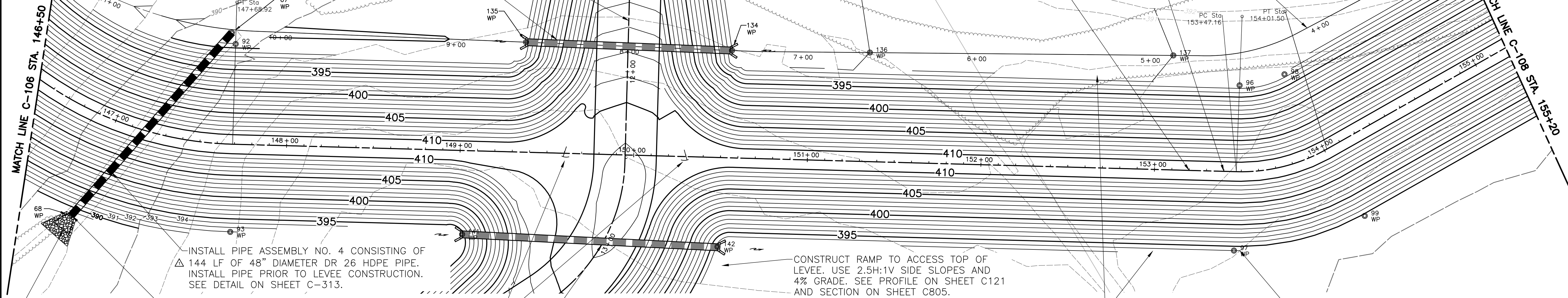
SOUTH PARK ENTRANCE SEE SHEET C-121

INSTALL SALVAGED DOUBLE SWING GATE.

PERFORM GRADING TO CONSTRUCT DIVERSION CHANNEL NO. 2 FOR INTERIOR DRAINAGE. BEGIN CHANNEL AT STA 0+00 AT EL. 395.0' AND END CHANNEL AT STA. 7+40 AT EL. 390.5' USE 0.60% SLOPE. SEE PROFILE ON SHEETS C400-C403 AND DETAIL ON SHEET C-802

PRIOR TO LEVEE CONSTRUCTION, CONSTRUCT 6FT. WIDE INSPECTION TRENCH WITH AVERAGE DEPTH OF 4 FT.

PROPOSED LEVEE CENTERLINE.



INSTALL PIPE ASSEMBLY NO. 4 CONSISTING OF 144 LF OF 48" DIAMETER DR 26 HDPE PIPE. INSTALL PIPE PRIOR TO LEVEE CONSTRUCTION. SEE DETAIL ON SHEET C-313.

CONSTRUCT 15'X20'X3' THICK RIPRAP PAD AT CULVERT OUTLET. D50=18". SEE DETAIL ON SHEET C-804.

CONSTRUCT HEADWALL AND FLAPGATE AT END OF HDPE PIPE. USE TDOT STANDARD DETAIL D-PE-1. SEE DETAIL ON SHEET C-805

INSTALL 12' WIDE SWING GATE WITH LOCKABLE CLOSING MECHANISM. SEE DETAIL ON SHEET C803.

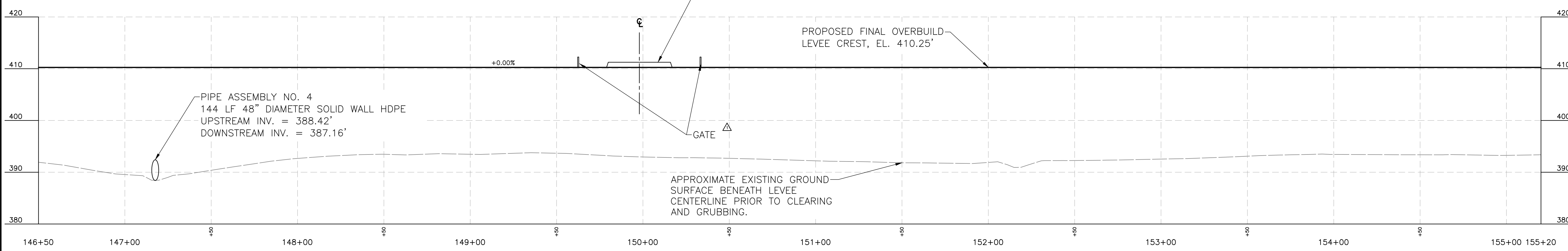
INSTALL 150 LF 36" DIAMETER DR26 IPS SOLID WALL HDPE PIPE WITH CONCRETE HEADWALLS UNDER NEW PARK ENTRANCE. SEE DETAIL ON SHEET C-805. INV. IN = 394.46 INV. OUT = 393.54

CONSTRUCT RAMP TO ACCESS TOP OF LEVEE. USE 2.5H:1V SIDE SLOPES AND 4% GRADE. SEE PROFILE ON SHEET C121 AND SECTION ON SHEET C805.

UPON COMPLETION OF LEVEE CONSTRUCTION, VEGETATE LEVEE CREST AND SIDE SLOPES IN ACCORDANCE WITH SPECIFICATIONS.

IN CONJUNCTION WITH CLEARING AND GRUBBING PLAN, CONSTRUCT LEVEE WITH 10 FT. WIDE CREST AND 2.5H:1V SIDE SLOPES. KEY TOE OF LEVEE INTO EXISTING FILL. SEE SECTIONS ON SHEETS C-300 THROUGH C-311. FILL MATERIAL FOR LEVEE TO BE OBTAINED FROM LOCAL BORROW AREA. COMPACT FILL IN ACCORDANCE WITH SPECIFICATIONS.

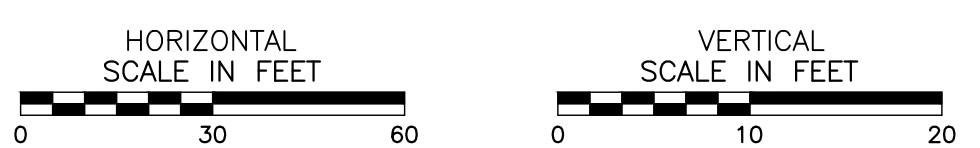
LEVEE EMBANKMENT PLAN



PIPE ASSEMBLY NO. 4
144 LF 48" DIAMETER SOLID WALL HDPE
UPSTREAM INV. = 388.42'
DOWNSTREAM INV. = 387.16'

APPROXIMATE EXISTING GROUND SURFACE BENEATH LEVEE CENTERLINE PRIOR TO CLEARING AND GRUBBING.

LEVEE EMBANKMENT PROFILE



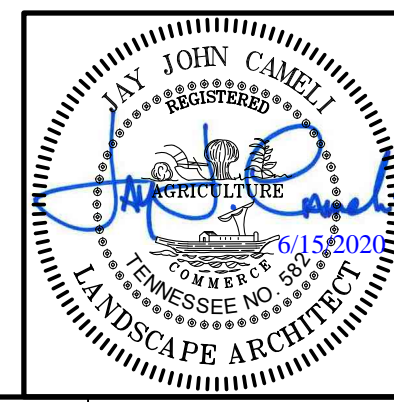
NO.	DATE	FOR	DESCRIPTION
0	4-13-2020	FOR BID	
1	6-2-2020	FOR PIPE, GATES	

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 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

**LEVEE EMBANKMENT PLAN & PROFILE
 SHEET 7 OF 9**

DATE:	JUNE 2020	DRAWN BY:	AAS
DWG. SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC



DRAWING NO.:
C-107
 SHEET OF
 ITEM # 3

L:\151\154-203\154-203.dwg (DWG) | 154203-017 | 151/6/2020 8:40 AM - LP: 6/12/2020 8:40 AM

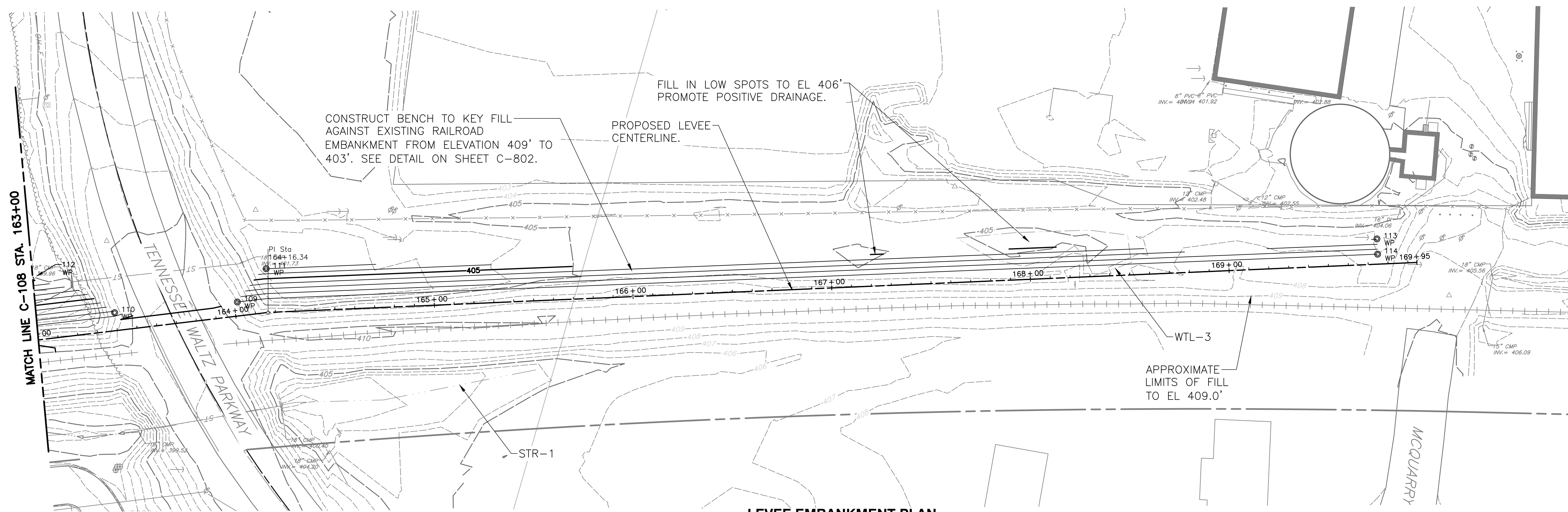


Know what's below.
Call before you dig.

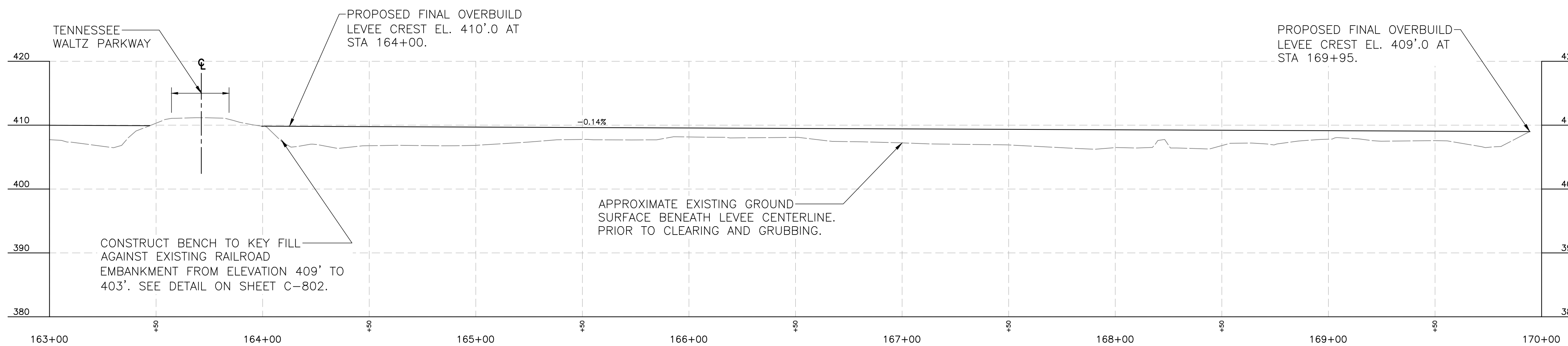
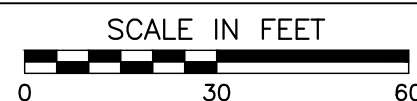
NOTE TO CONTRACTOR:
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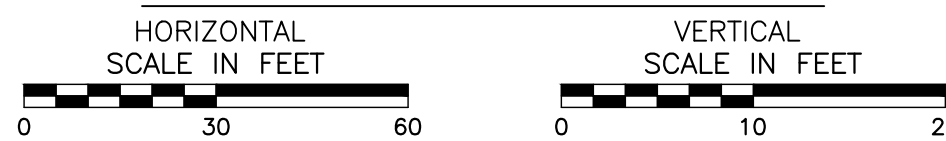
NORTH



LEVEE EMBANKMENT PLAN



LEVEE EMBANKMENT PROFILE

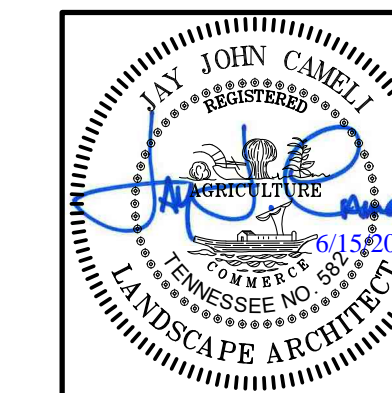


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Know what's below.
Call before you dig.



LEVEE EMBANKMENT PLAN & PROFILE
SHEET 9 OF 9

DATE: JUNE 2020 DRAWN BY: AAS
DWG SCALE: AS SHOWN CHECKED BY: JBS
PROJECT NO: 154-203
APPROVED BY: JJC

DRAWING NO.:

C-109

SHEET OF

ITEM #3.

SITE PLAN SUBMITTAL

NO	DATE	FOR	DESCRIPTION
0	4-13-2020	FOR BID	EXISTING OVERHEAD WIRES AND POLES NOW SHOWN

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A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN

Point	Station	Offset	Elevation
2	103+47.78	24.989'	401.005'
3	103+77.26	-10.533'	408.022'
8	110+41.54	0.012'	410.200'
9	110+41.60	-32.969'	399.013'
10	104+02.35	25.070'	400.974'
11	112+84.81	-45.437'	394.025'
12	112+85.64	45.490'	394.004'
21	115+75.49	-66.563'	390.939'
22	117+24.99	-68.697'	390.228'
23	118+79.08	-69.728'	388.874'
24	116+55.36	65.600'	390.000'
25	119+82.86	-72.066'	388.095'
26	119+75.04	62.115'	387.604'
27	120+74.99	-66.350'	390.000'
28	121+28.52	-56.125'	390.000'
29	115+33.93	-50.600'	395.000'
30	114+91.51	-43.546'	395.000'
31	115+33.93	62.600'	391.000'
32	114+82.32	53.250'	391.000'
33	118+69.17	61.125'	388.000'
34	118+50.00	75.350'	387.000'
38	110+41.48	37.986'	397.006'
39	104+08.72	-25.038'	400.983'
44	123+59.96	-74.814'	383.600'
45	123+82.08	72.973'	389.000'
46	125+63.51	-54.549'	390.380'
47	125+63.51	51.290'	391.684'
48	126+28.63	-58.985'	388.606'
49	126+28.67	58.287'	388.885'
50	130+19.38	-52.827'	391.069'
51	130+19.26	50.470'	392.012'
57	110+41.81	-5.503'	409.999'
66	110+35.72	0.752'	410.005'
67	147+65.65	-64.155'	388.420'
68	146+96.90	60.202'	687.160'
70	134+52.67	-5.805'	410.000'
71	134+51.77	7.157'	410.000'
72	134+43.93	19.123'	410.000'
73	134+69.93	69.187'	390.000'
74	134+80.87	55.496'	390.000'
75	134+67.63	-30.236'	400.000'
76	134+57.42	-44.179'	400.000'

77	134+60.06	-96.491'	390.000'
78	135+69.77	-91.900'	391.000'
79	137+94.40	-52.808'	391.156'
80	137+67.12	55.484'	390.290'
81	138+24.96	-0.028'	410.000'
82	138+25.21	-54.255'	391.000'
83	138+25.18	57.829'	389.000'
84	138+81.81	0.001'	390.000'
85	139+28.06	-0.085'	389.008'
86	139+85.07	-55.545'	389.345'
87	139+83.93	55.573'	389.820'
88	139+84.96	-0.015'	410.004'
89	146+18.56	-47.533'	393.187'
90	146+18.72	47.164'	393.334'
91	146+18.67	0.039'	410.200'
92	147+69.08	-57.752'	389.099'
93	147+68.92	50.569'	391.972'
96	153+48.09	-49.766'	392.295'
97	153+46.99	45.496'	394.001'
98	154+01.56	-49.540'	392.384'
99	154+01.52	44.213'	394.515'
100	157+38.19	-44.869'	394.253'
101	157+38.22	42.596'	395.162'
102	158+50.01	-44.034'	394.587'
103	158+49.98	47.170'	393.332'
104	160+60.46	33.049'	398.979'
105	160+60.42	-42.284'	395.287'
106	161+48.33	-42.880'	395.025'
107	161+48.34	5.498'	410.291'
108	160+88.57	5.657'	410.000'
109	164+01.61	-7.037'	409.000'
110	163+39.71	-9.052'	408.284'
111	164+16.34	-21.990'	403.000'
112	162+99.98	-30.525'	399.751'
113	169+74.96	-12.699'	405.923'
114	169+74.96	-5.022'	408.994'
118	134+43.93	-19.144'	410.000'
121	138+09.41	-79.603'	391.000'
122	137+23.22	-83.971'	391.000'
123	136+26.99	-100.173'	391.000'
124	135+72.48	-117.225'	391.000'
125	134+09.69	-159.268'	391.000'
126	134+38.95	-152.258'	391.000'

132	135+72.06	-43.104'	395.989'
134	150+54.90	-61.837'	390.500'
135	149+36.18	-63.393'	390.220'
136	151+34.31	-62.819'	391.000'
137	153+09.04	-65.964'	392.000'
138	155+21.37	-63.341'	393.000'
139	156+67.20	-59.216'	394.000'
140	158+92.38	-54.288'	395.000'
141	149+02.44	48.322'	393.540'
142	150+49.65	51.425'	394.460'
143	132+17.27	0.009'	411.000'
144	132+63.85	0.064'	411.998'
145	132+98.64	0.030'	412.999'
146	133+27.58	0.021'	414.000'
147	134+74.85	-81.089'	396.000'
148	135+59.58	-78.916'	396.000'
149	134+65.31	-54.425'	396.000'
150	133+95.10	-179.905'	391.000'
151	135+55.28	-112.642'	391.000'
152	132+40.77	-74.190'	389.000'
153	132+14.60	66.854'	387.100'
159	158+76.56	53.846'	394.000'
160	160+19.58	43.140'	395.500'
161	159+60.51	-58.173'	395.000'
162	160+93.86	-44.172'	396.000'
163	123+72.54	9.207'	410.50'

NOTE:
1. WORK POINT NUMBERS LISTING BASED UPON STATION LOCATION



Know what's below.
Call before you dig.

NOTE TO CONTRACTOR:

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DRAWING NO.:
C-110
SHEET OF

WORK POINT TABLES

DATE: JUNE 2020
DRAWN BY: AAS
AS SHOWN
CHECKED BY: JBS
PROJECT NO: 154-203
APPROVED BY: JJC

**A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN**

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NO	DATE	DESCRIPTION
0	4-12-2020	FOR BID
1	6-8-2020	POINT #44

SITE PLAN SUBMITTAL

L:\151\154-203\154-203.dwg (DWG) | 154203-017-C-102.dwg (C-110) | 1516/9/2020 - 10:05 AM - LP: 6/12/2020 9:40 AM



CONSTRUCT I&I STORAGE POND AS SHOWN, APPROXIMATE CAPACITY = 33,990 GALLONS

CONSTRUCT GRAVEL TURNAROUND, USE 8" AGGREGATE (NO. 3) SEE DETAIL ON SHEET C-802

EXISTING BUILDING TO BE RELOCATED

PROPOSED RELOCATED BUILDING

PROPOSED ACCESS GATE

STA 107+01
OFF 37.4

STA 108+45
OFF 54.9

STA 106+68
OFF 61.5

PROPOSED DUMPSTER-PORT

BOLLARDS

2:1 SLOPE TO EXISTING GRADE (TYP. THIS SIDE)

CONSTRUCT 24 FT WIDE NEW ENTRANCE DRIVE. BEGIN AT STA 106+68 AND END AT STA 112+08. SEE DETAIL ON SHEET C-810. CONSTRUCT IN ACCORDANCE WITH SPECIFICATIONS.

INSTALL (1) 65 LF OF 24" DR 26 IPS DIAMETER PIPE WITH CONCRETE HEADWALLS UNDER ACCESS ROAD. INV IN = 393 INV OUT = 392

PROPOSED BERM

STA 111+16
OFF 56.3

STA 111+53
OFF 85.4

3:1 SLOPE TO EXISTING GRADE (TYP. THIS SIDE)

A.O. SMITH WWTP

STA 112+08
OFF 225.9

PROPANE TANKS

NO	DATE	FOR	BY	DESCRIPTION
1	4-13-2020			
2	6-18-2020			ADJUST NOTE

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**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

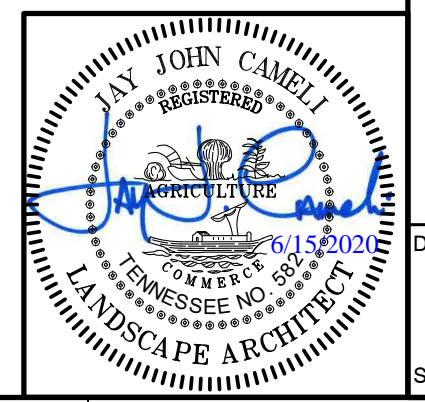
**ASHLAND CITY WWTP
 ACCESS ROAD**

DATE: JUNE 2020
 DRAWN BY: AAS
 AS SHOWN
 CHECKED BY: JBS
 PROJECT NO: 154-203
 APPROVED BY: JJC

DRAWING NO.: **C-111**
 SHEET OF

ITEM #3

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L:\215154-203-001\DWG\01\01\WWTP_SitePlan\154203-001-WWTP01.dwg - 111 LS(6/9/2020 - pldawson) - LP: 6/12/2020 8:40 AM
 - Page 29 -

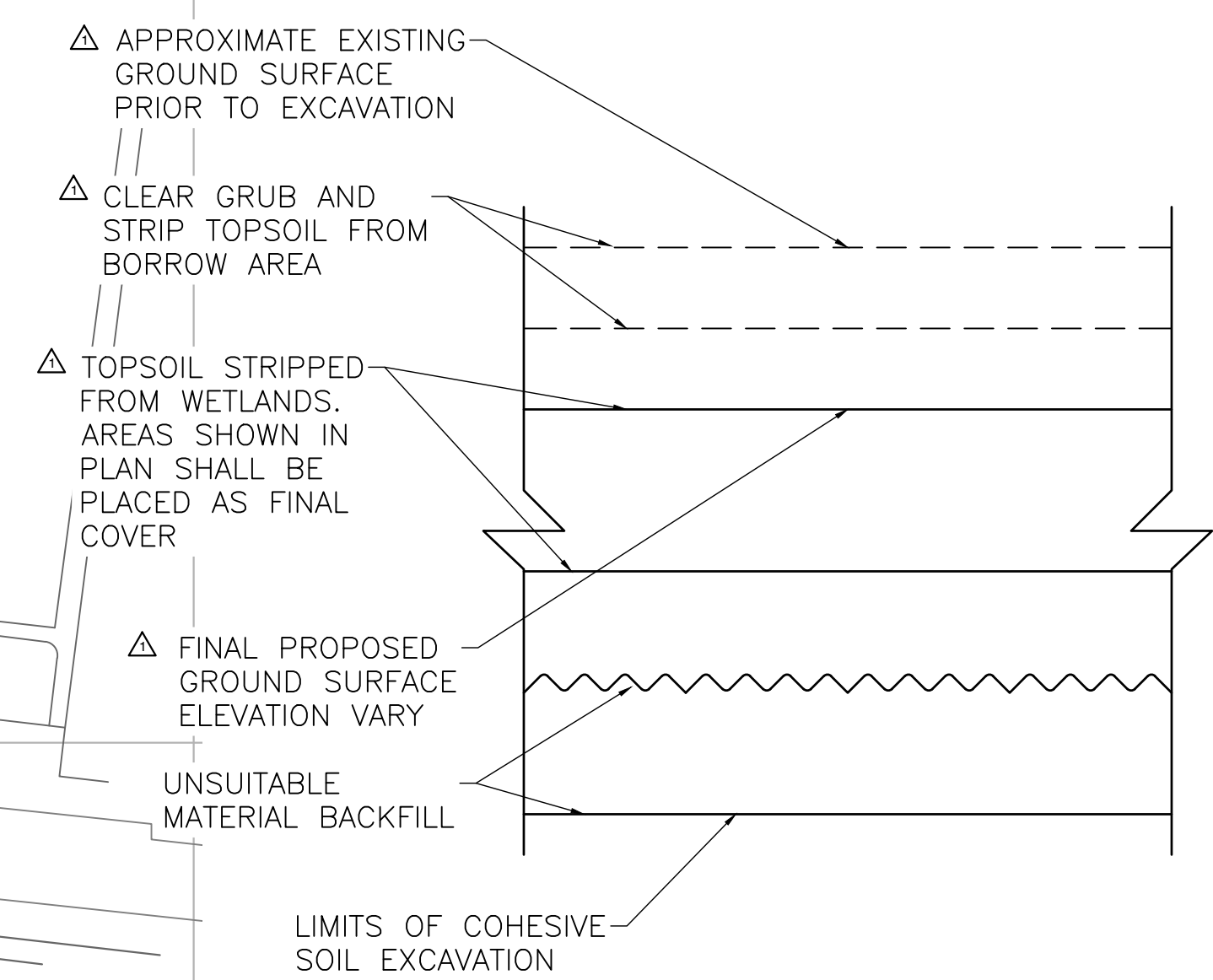


NORTH



NOTES:

1. THE TOPSOIL FROM THE EXISTING WETLANDS WITHIN THE CLEARING AND GRUBBING LIMITS SHALL BE STORED IN SEPARATE STOCKPILE THAN THE NON-WETLAND TOPSOIL.
2. BORROW AREA 1 AND BORROW AREA 2 SHALL BE EXCAVATED TO OBTAIN COHESIVE FILL MATERIAL FOR USE IN CONSTRUCTING THE EMBANKMENT.
3. FOLLOWING COMPLETED EXCAVATION OF BORROW AREA 1 AND BORROW AREA 2 BACKFILL WITH UNSUITABLE MATERIAL AND/OR OTHER APPROVED MATERIALS AND SLOPE TO DRAIN TO CUMBERLAND RIVER. SEE SECTION BELOW.
4. TOPSOIL REMOVED FROM THE EXISTING WETLANDS WITHIN THE CLEARING AND GRUBBING LIMITS SHALL BE PLACED AS THE TOP LAYER OF BORROW AREA 1 AND BORROW AREA 2.



TYPICAL BORROW AREA BACKFILL SECTION N.T.S.

Point	Station	Offset
1	119+18.96	-70.353'
2	119+78.17	80.211'
3	124+18.86	87.359'
4	124+8.62	-83.320'
5	131+73.68	109.451'
6	131+36.96	-82.490'
7	135+92.31	44.320'
8	135+87.53	-129.519'
9	133+98.30	-168.952'
10	133+88.97	-88.625'
11	133+72.19	122.686'
12	149+11.95	-176.544'
13	150+27.18	-230.944'
14	149+14.96	-104.199'
15	150+79.81	-101.125'
16	158+35.59	54.624'
17	154+10.48	-54.537'
18	160+27.51	38.595'
19	161+95.39	-33.989'

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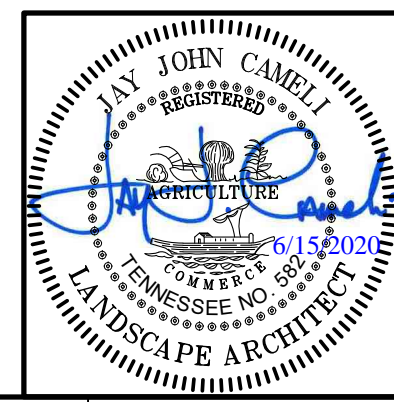
Know what's below. Call before you dig.

NO.	DATE	DESCRIPTION
1	8-26-20	ISSUE FOR PERMIT

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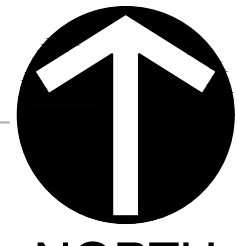
**A.O. SMITH FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

DATE: JUNE 2020	DRAWN BY: JBS
AS SHOWN	CHECKED BY: AS SHOWN
DWG SCALE: 1/4" = 1'-0"	PROJECT NO: 154-203
APPROVED BY:	DRAFT

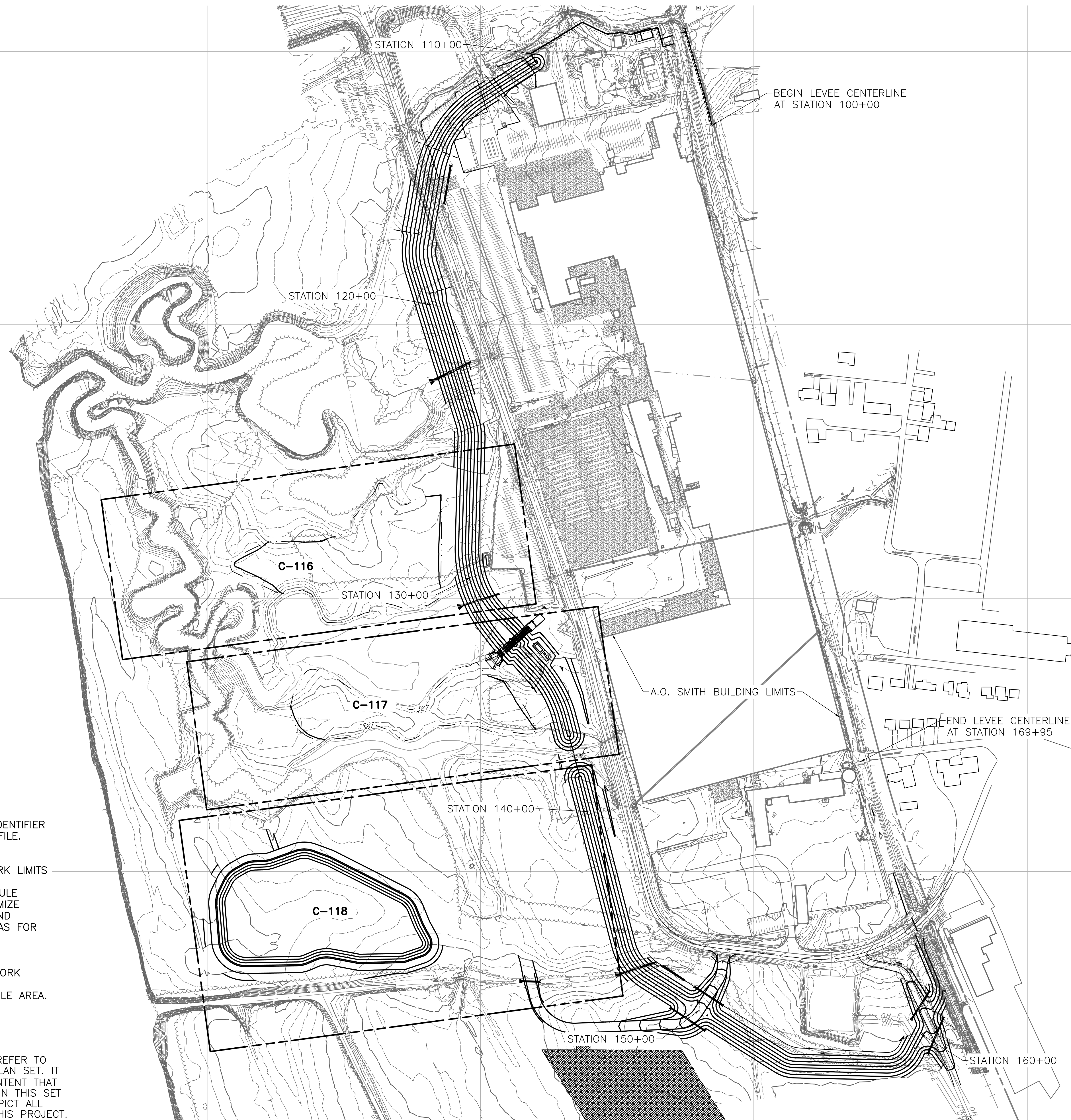


DRAWING NO.: **C-112**

154-203-001.dwg (1/1) 154203-001-C-112.dwg - LRF 8/15/2020 8:11 AM



NORTH



NOTES:

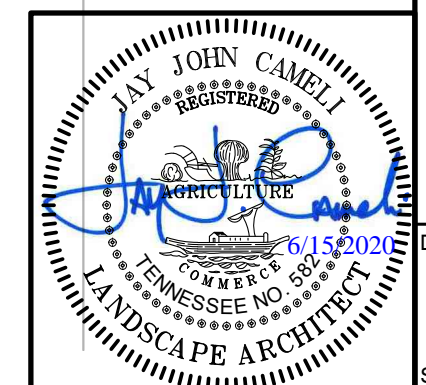
1. THIS KEY PLAN SERVES AS THE SHEET IDENTIFIER FOR THE BORROW AREA PLANS AND PROFILE.
2. SEE SHEET G-003 FOR LEGEND.
3. SEE SHEET G-100 FOR PROPERTY LINES.
4. SEE SHEET V-100 FOR CONTRACTOR WORK LIMITS AND LIMITS OF CLEARING AND GRUBBING.
5. CONTRACTOR TO COORDINATE AND SCHEDULE DEVELOPMENT OF BORROW AREA TO MINIMIZE EARTH DISTURBANCE AREA. UTILIZE GROUND SURFACE OF UNDEVELOPED BORROW AREAS FOR TOPSOIL STOCKPILE AREAS AS NEEDED.
6. TEST BORING INFORMATION PROVIDED IN GEOTECHNICAL REPORT.
7. SEE SHEET C-120 FOR BORROW AREA WORK POINTS.
8. SEE SHEET C-120 FOR TOPSOIL STOCKPILE AREA.

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Know what's below. Call before you dig.



DRAWING NO.:

C-115

SHEET OF

1

ITEM # 3.

SITE PLAN SUBMITTAL

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**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

KEY PLAN ON-SITE BORROW AREAS

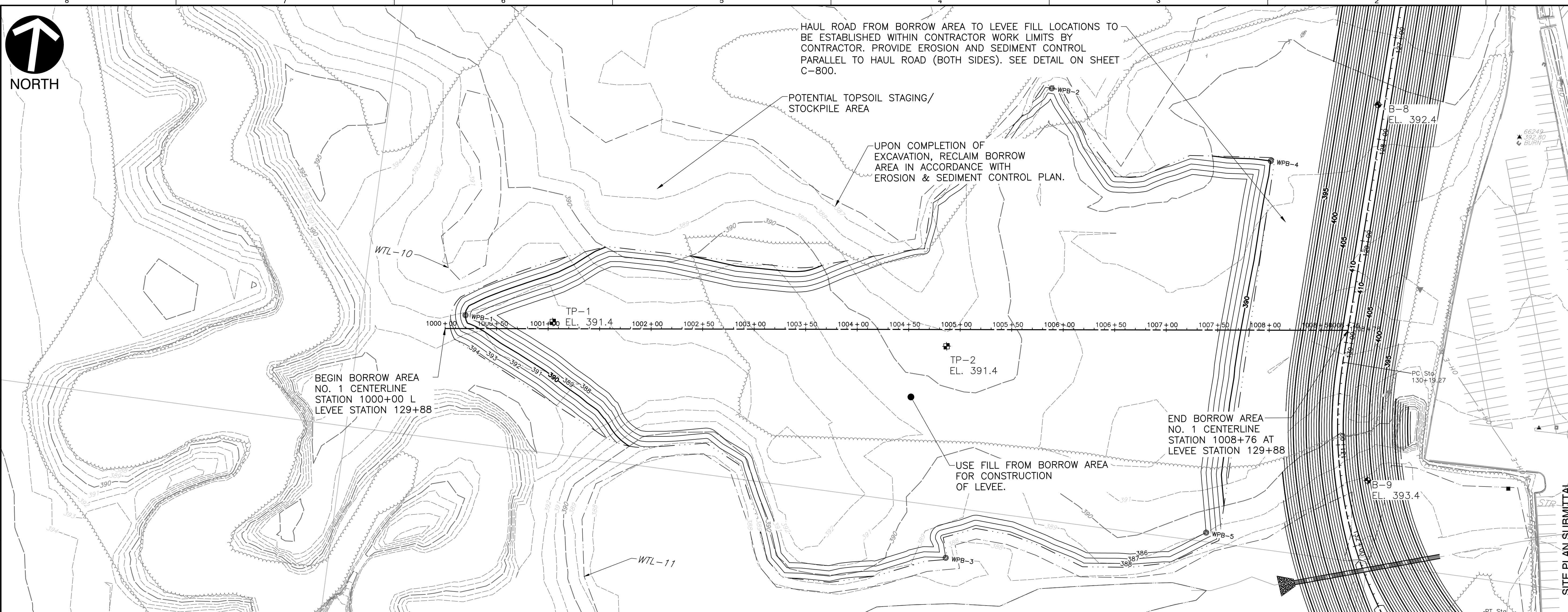
DATE: JUNE 2020 | DRAWN BY: AAS
 DWG SCALE: AS SHOWN | CHECKED BY: JBS
 PROJECT NO: 154-203
 APPROVED BY: JJC

NO.	DATE	DESCRIPTION
0	4-13-2020	FOR BID

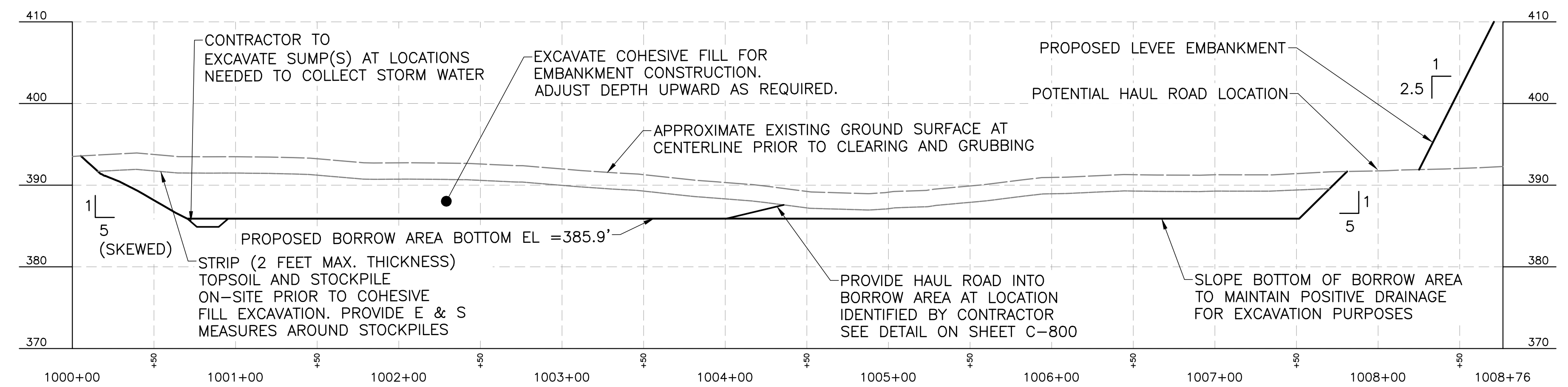
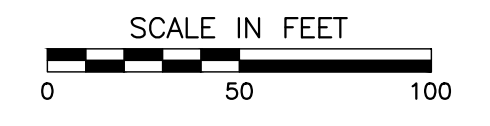
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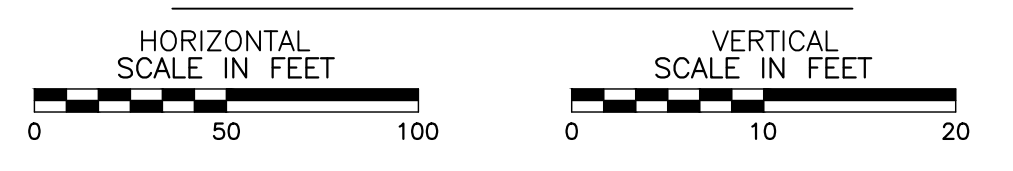
NORTH



ON-SITE BORROW AREA NO. 1 - PLAN



BORROW AREA NO. 1 PROFILE



NOTES:
1. SEE NOTES ON SHEET C-115.

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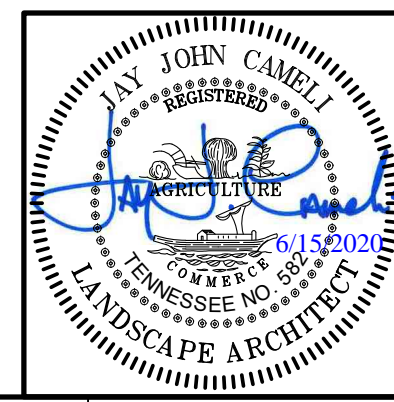
NO.	DATE	DESCRIPTION
0	4-13-2020	FOR BID

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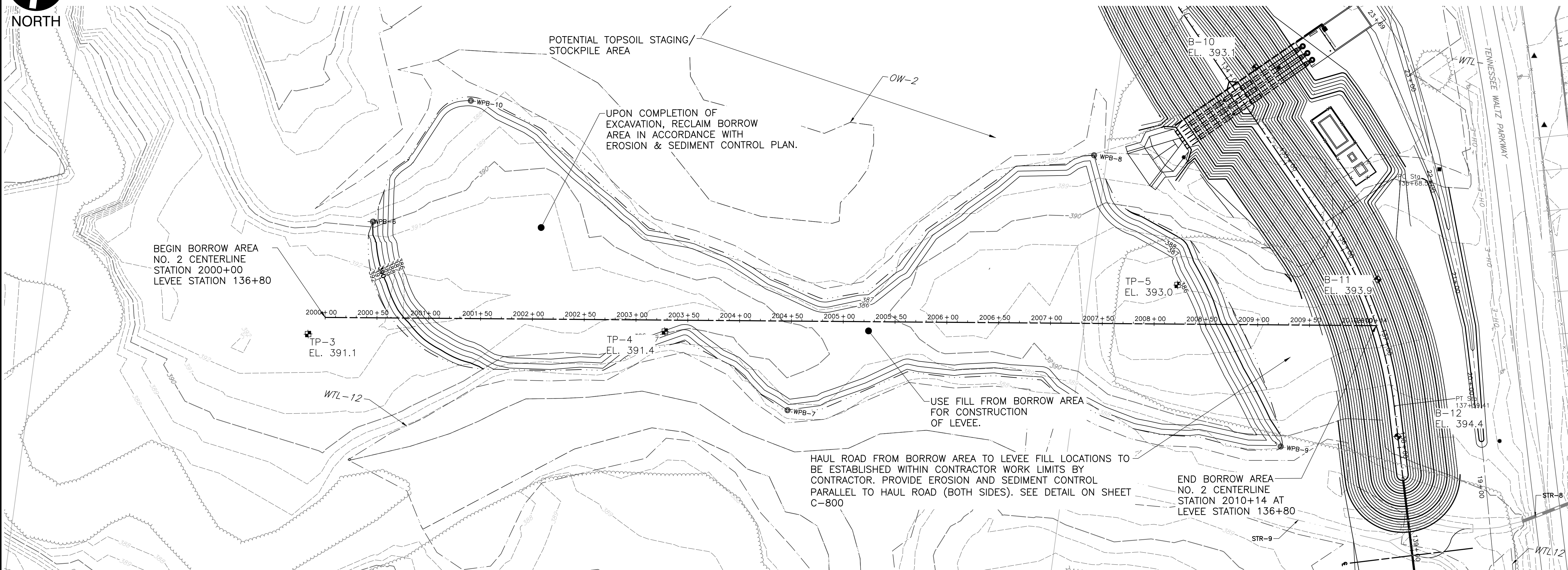
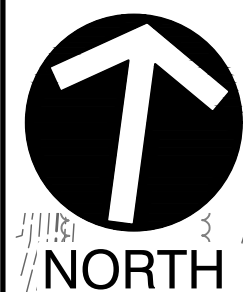
**A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN**

DATE:	JUNE 2020	DRAWN BY:	AAS
DWG SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC

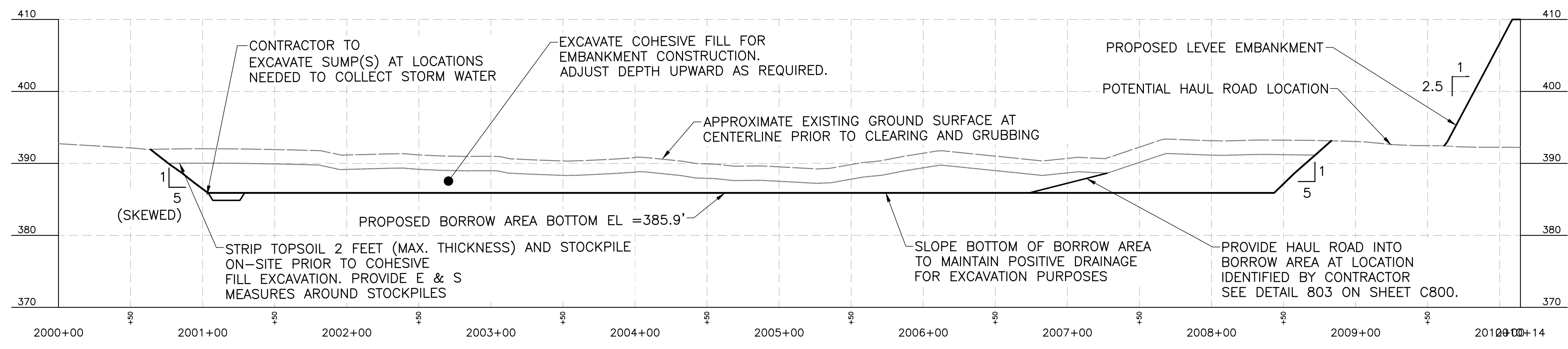
DRAWING NO.: **C-116**
SHEET OF



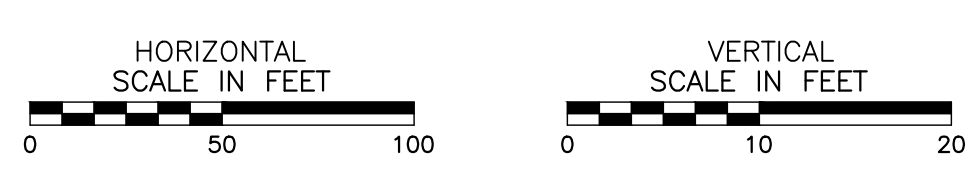
1/31/15 154-203-0001 (Imp) (01) (01) (154203-001-C-115.dwg) (1:1) (LS) (1/1/2020 - 8:42 AM) - LP: 6/12/2020 8:42 AM



ON-SITE BORROW AREA NO. 2 - PLAN



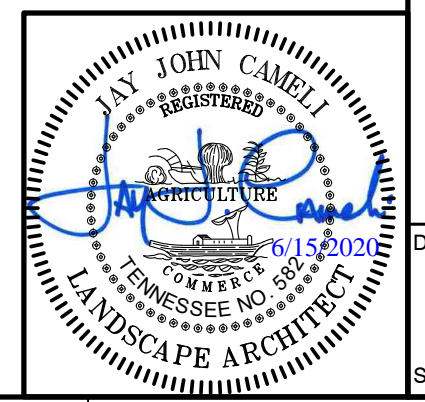
BORROW AREA NO. 2 PROFILE



NOTES:
1. SEE NOTES ON SHEET C-115.



NOTE TO CONTRACTOR:
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NO.	DATE	DESCRIPTION
1	4-13-2020	FOR BID

Civil & Environmental Consultants, Inc.
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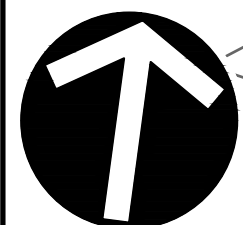
**A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN**

ON-SITE BORROW AREA NO. 2

DATE:	JUNE 2020	DRAWN BY:	AAS
DWG SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC

DRAWING NO.: **C-117**

1/2015/154-203-001/001/001/154-203-001-C-115.dwg - 1171 LS/1/1/2020 - 8/12/2020 8:42 AM



NORTH

AREA OF POND = 6.0 ACRES
ESTIMATED WATER LEVEL = 386

IN CONJUNCTION WITH RECLAMATION, CONSTRUCT OVERFLOW SPILLWAY AT LOCATION SHOWN. ESTABLISH CONTROL SECTION AT ELEVATION 390 FT. SEE DETAIL ON SHEET C-807.

UPON COMPLETION OF EXCAVATION, RECLAIM BORROW AREA IN ACCORDANCE WITH EROSION & SEDIMENT CONTROL PLAN. ALLOW BORROW AREA TO REWATER TO ELEVATION 386.0

END BORROW AREA NO. 3
CENTERLINE STATION 3014+92
AT LEVEE STATION 142+50

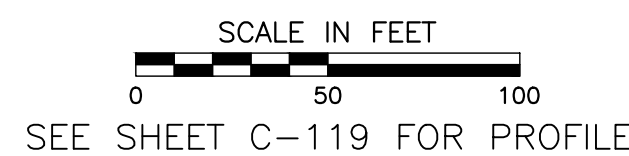
BEGIN BORROW AREA NO. 2 AT
CENTERLINE STATION 3000+00
AT LEVEE STATION 142+50

IN CONJUNCTION WITH RECLAMATION,
CONSTRUCT OVERFLOW SPILLWAY AT
LOCATION SHOWN, ESTABLISH
CONSTRLO SECTION AT ELEVATION
388 FT. SEE DETAIL ON SHEET
C-807

HAUL ROAD FROM BORROW AREA TO LEVEE FILL LOCATIONS TO
BE ESTABLISHED WITHIN CONTRACTOR WORK LIMITS BY
CONTRACTOR. PROVIDE EROSION AND SEDIMENT CONTROL
PARALLEL TO HAUL ROAD (BOTH SIDES). SEE DETAIL ON SHEET
C-800

USE FILL FROM BORROW AREA
FOR CONSTRUCTION
OF LEVEE.

ON-SITE BORROW AREA NO. 3 - PLAN



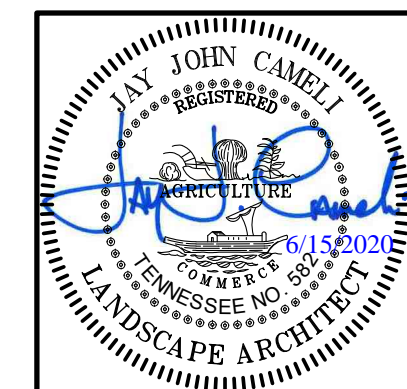
NOTES:
1. SEE NOTES ON SHEET C-115.



Know what's below.
Call before you dig.

NOTE TO CONTRACTOR:

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DRAWING NO.:
C-118
SHEET OF

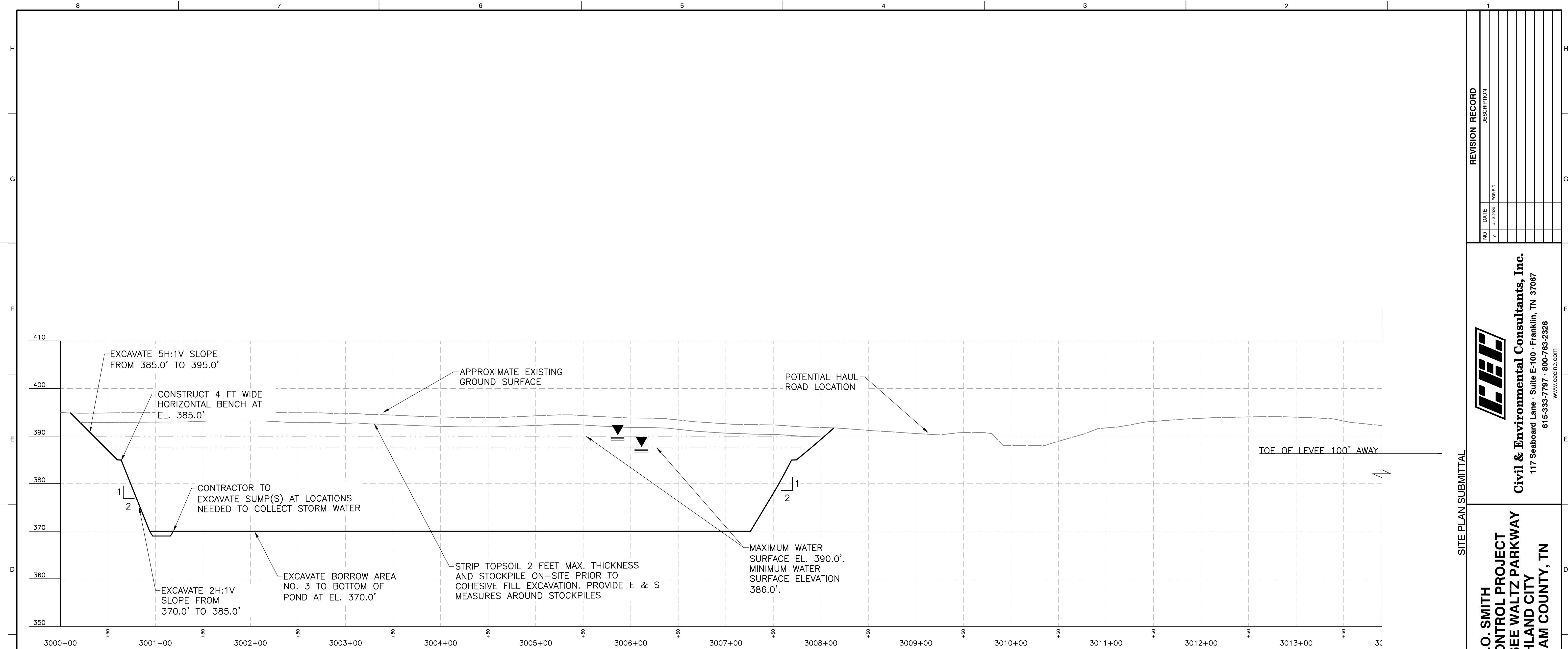
ON-SITE BORROW AREA NO. 3

**A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN**

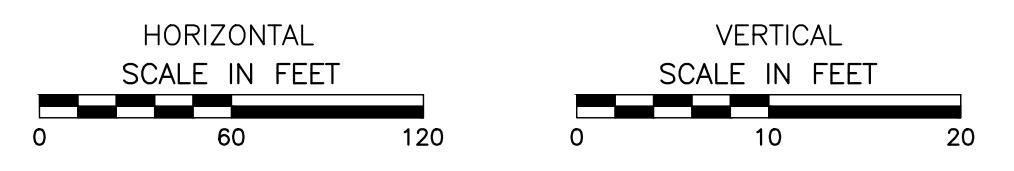
C&E
Civil & Environmental Consultants, Inc.
117 Seaboard Lane · Suite E-100 · Franklin, TN 37067
615-333-7797 · 800-763-2326
www.ceinc.com

NO.	DATE	FOR	DESCRIPTION
0	4-13-2020	FOR BID	

1/31/21 154-203-0001 (Imp) (CIP) (DWG) (154203-001-C-118.dwg) (C-118) (LS) (1/11/2020 - 8:42 AM) - LP: 6/12/2020 8:42 AM



BORROW AREA NO. 3 PROFILE



SITE PLAN SUBMITTAL

REVISION RECORD	
NO.	DATE
0	4-13-2020
	FOR BID

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**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

ON-SITE BORROW AREAS	
DATE:	JUNE 2020
DRAWN BY:	AAS
CHECKED BY:	JBS
PROJECT NO.:	154-203
APPROVED BY:	JJC

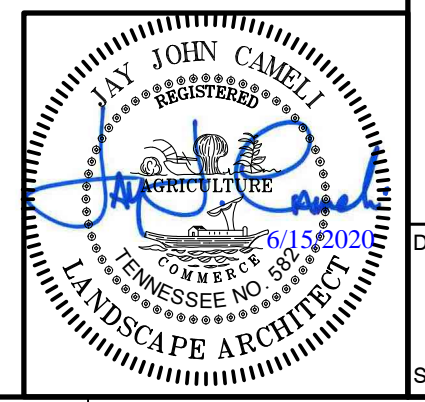
DRAWING NO.: **C-119**
 SHEET 1 OF 1
 ITEM # 3

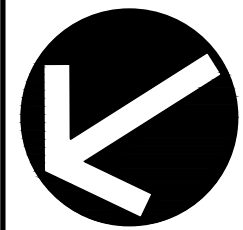
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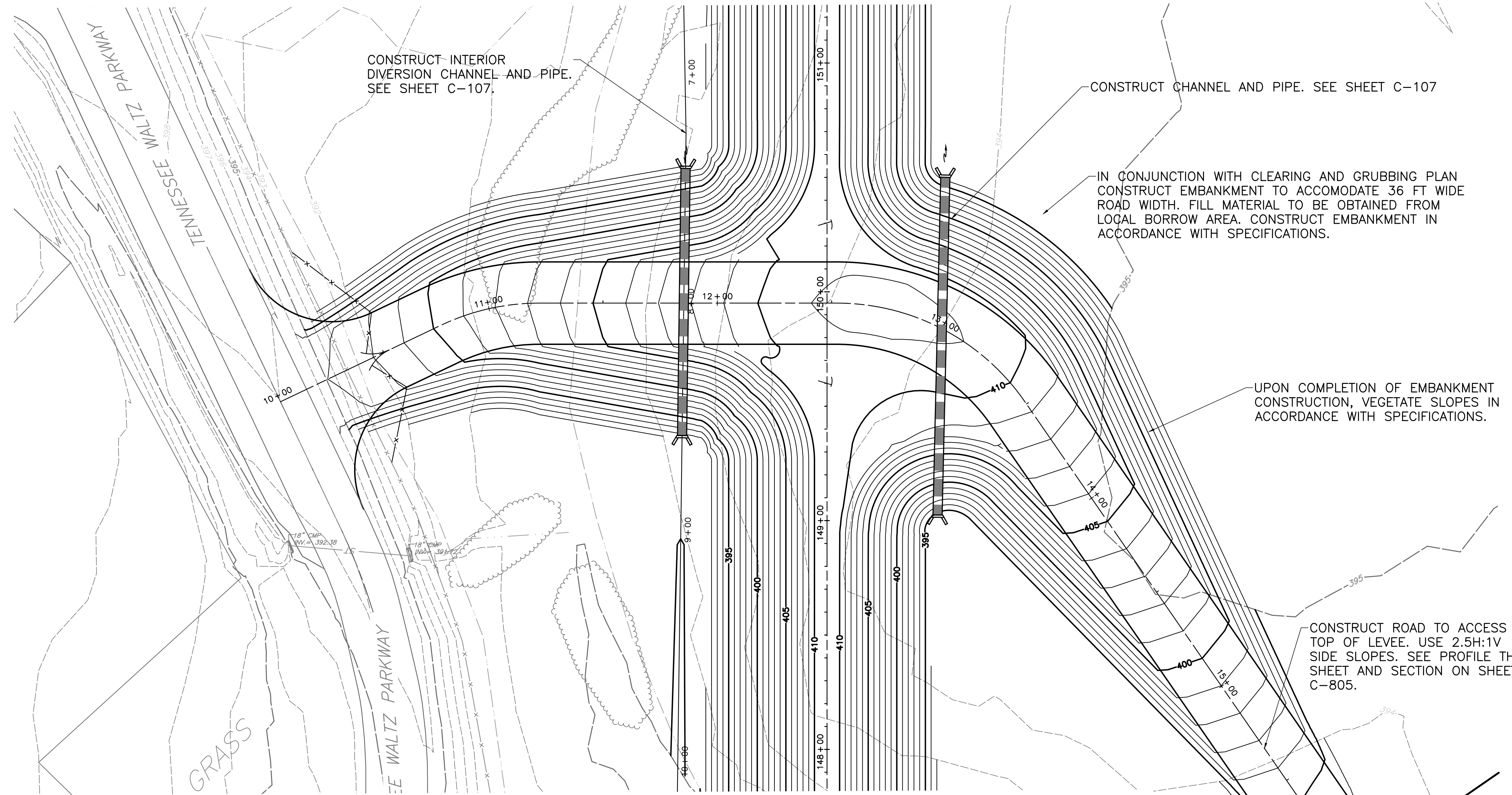
**Know what's below.
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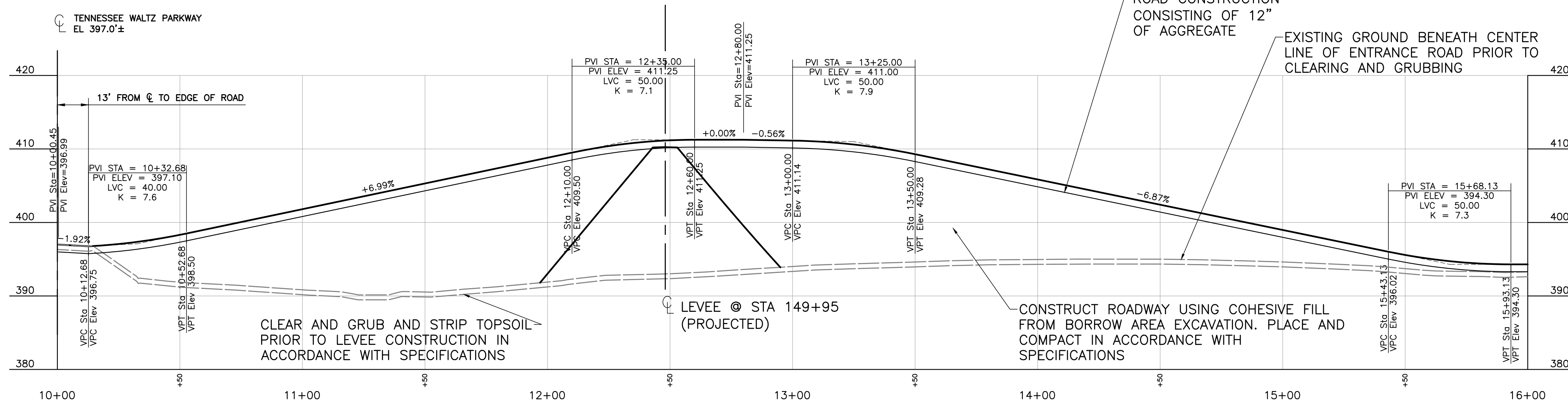
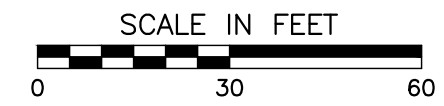




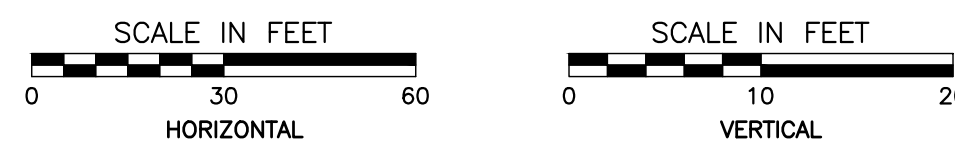
NORTH



PARK ENTRANCE PLAN



PARK ENTRANCE ROADWAY PROFILE



SITE PLAN SUBMITTAL

REVISION RECORD

NO.	DATE	DESCRIPTION
1	4-13-2020	FOR BID

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**A.O. SMITH
 FLOOD CONTROL PROJECT
 500 TENNESSEE WALTZ PARKWAY
 ASHLAND CITY
 CHEATHAM COUNTY, TN**

PARK ENTRANCE PLAN & PROFILE

DATE:	JUNE 2020	DRAWN BY:	AAS
DWG SCALE:	AS SHOWN	CHECKED BY:	JBS
PROJECT NO.:	154-203	APPROVED BY:	JJC

DRAWING NO.: **C-121**
 SHEET OF

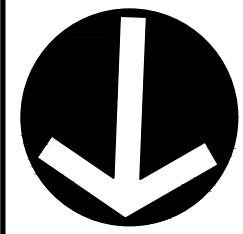


NOTE TO CONTRACTOR:

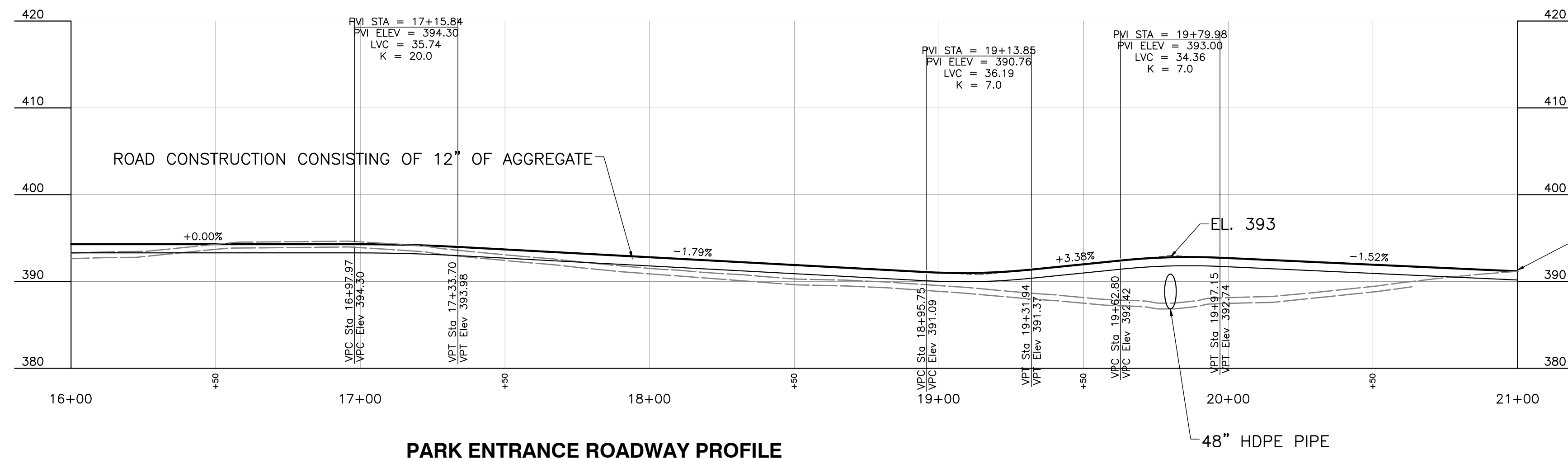
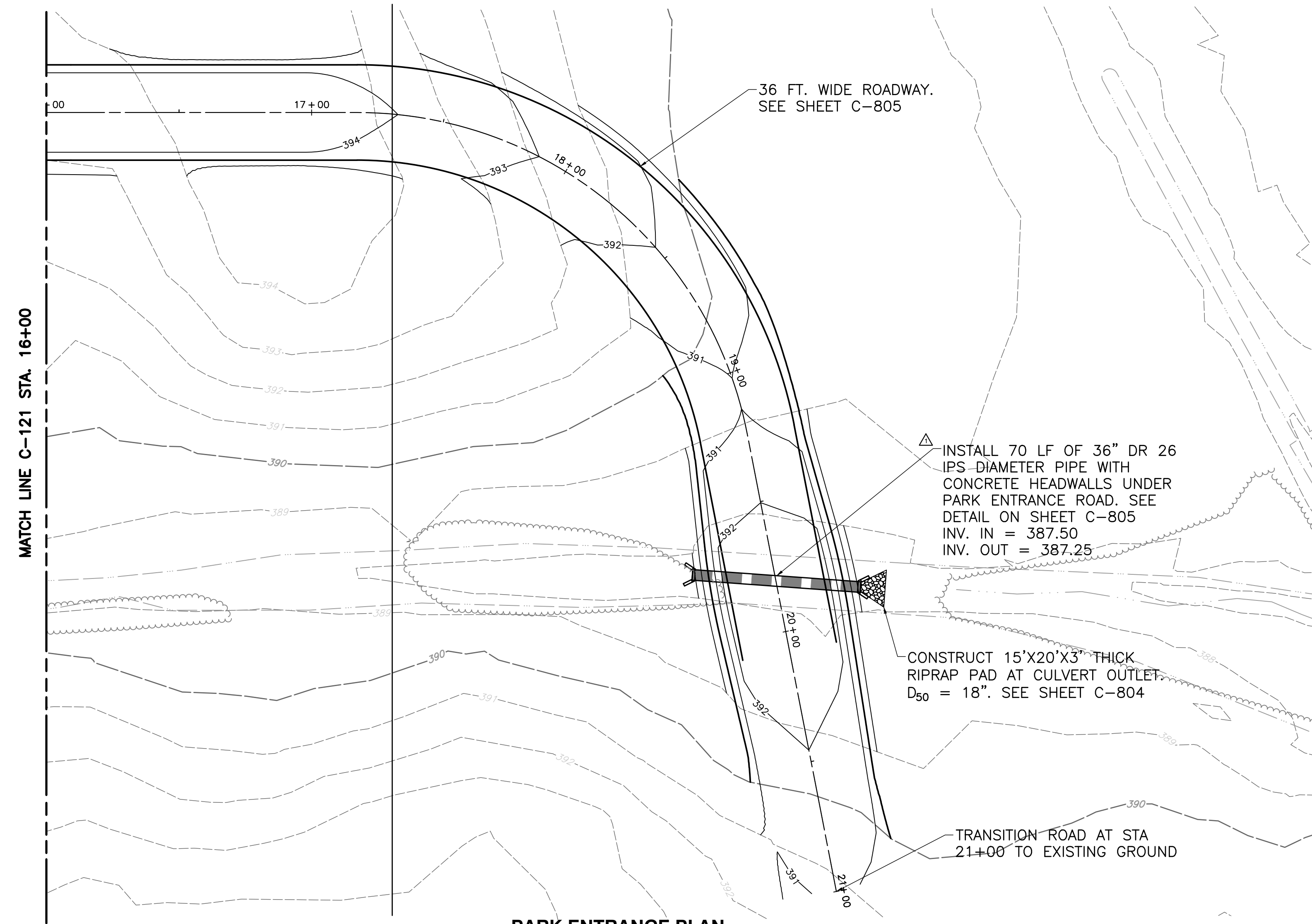
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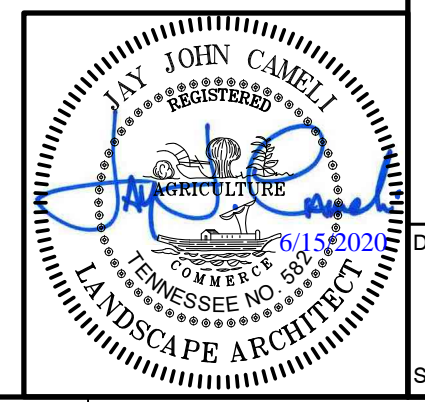
NO.	DATE	DESCRIPTION
0	4-13-2020	FOR BID
1	6-2-2020	FOR PIPE

CEC

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A.O. SMITH
FLOOD CONTROL PROJECT
500 TENNESSEE WALTZ PARKWAY
ASHLAND CITY
CHEATHAM COUNTY, TN

PARK ENTRANCE PLAN & PROFILE	
DATE:	JUNE 2020
DRAWN BY:	AAS
CHECKED BY:	JBS
PROJECT NO.:	154-203
APPROVED BY:	JJC



DRAWING NO.: **C-122**

SHEET 1 OF 3

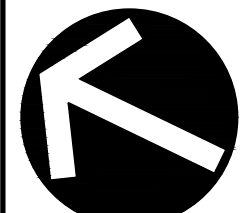
ITEM # 3

L:\151\154-203\154-203.dwg (DWG) | 154203-C-122 | 154203-C-122.dwg | 6/12/2020 8:43 AM

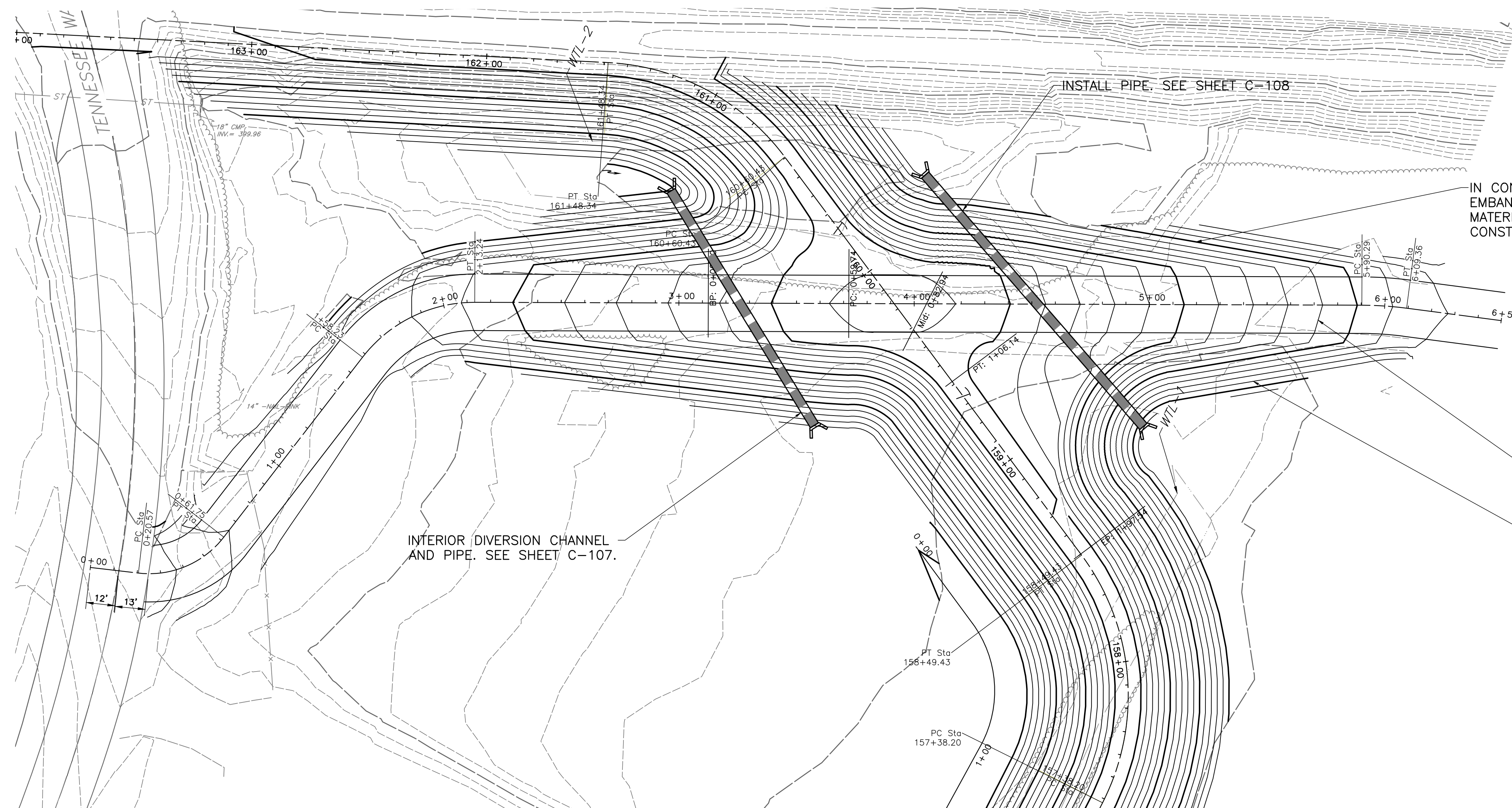


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INTERIOR DIVERSION CHANNEL AND PIPE. SEE SHEET C-107.

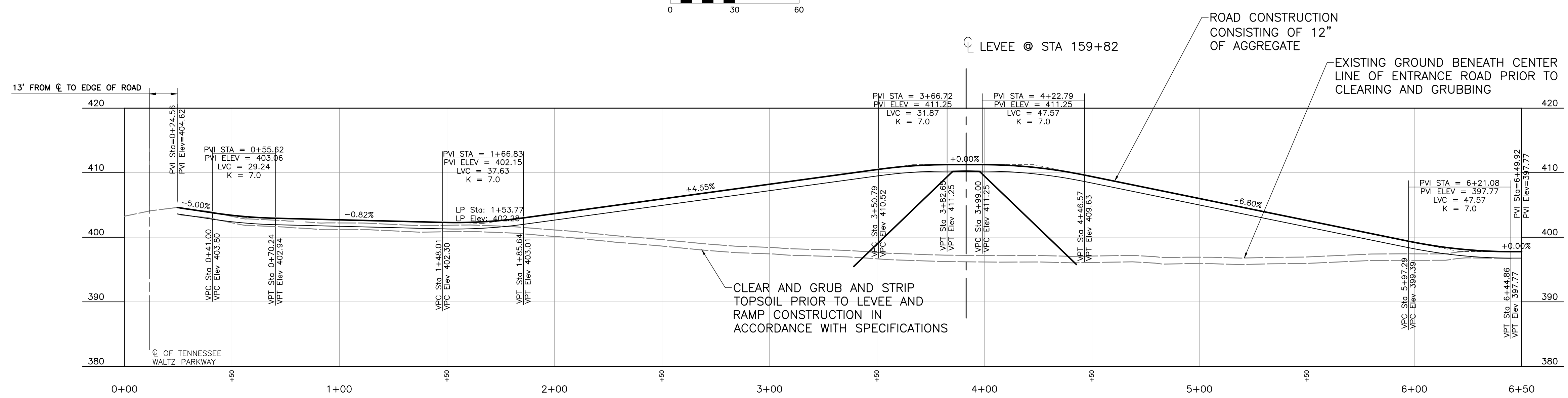
INSTALL PIPE. SEE SHEET C-108

IN CONJUNCTION WITH CLEARING AND GRUBBING PLAN CONSTRUCT EMBANKMENT TO ACCOMODATE 36 FT WIDE ROAD WIDTH FILL MATERIAL TO BE OBTAINED FROM LOCAL BORROW AREA. CONSTRUCT EMBANKMENT IN ACCORDANCE WITH SPECIFICATIONS.

FOR ACCESS ROAD CROSS SECTION, SEE SHEET C805.

UPON COMPLETION OF EMBANKMENT CONSTRUCTION, VEGETATE SLOPES IN ACCORDANCE WITH SPECIFICATIONS.

CITY ACCESS ROAD PLAN

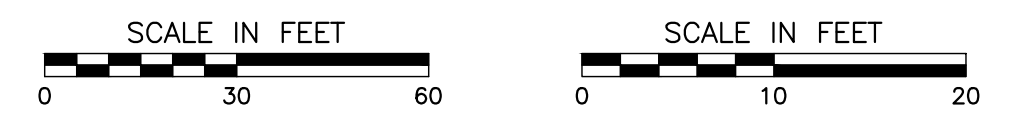


CLEAR AND GRUB AND STRIP TOPSOIL PRIOR TO LEVEE AND RAMP CONSTRUCTION IN ACCORDANCE WITH SPECIFICATIONS

ROAD CONSTRUCTION CONSISTING OF 12" OF AGGREGATE

EXISTING GROUND BENEATH CENTER LINE OF ENTRANCE ROAD PRIOR TO CLEARING AND GRUBBING

CITY ACCESS ROADWAY PROFILE



SITE PLAN SUBMITTAL

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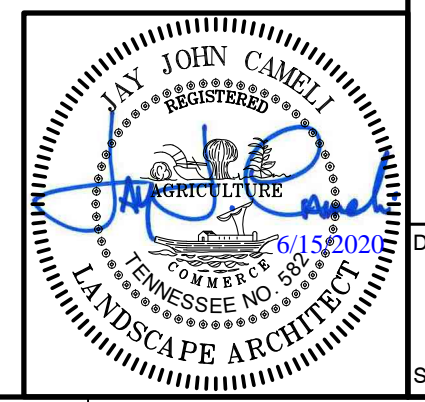
CITY ACCESS ROAD PLAN & PROFILE

DATE: JUNE 2020 DRAWN BY: AAS
 DWG SCALE: AS SHOWN CHECKED BY: JBS
 PROJECT NO: 154-203
 APPROVED BY: JJC

DRAWING NO.: **C-123**
 SHEET 1 OF 1 ITEM # 3

NO.	DATE	DESCRIPTION
0	4-13-2020	FOR BID

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L:\2015\154-203\154-203.dwg (DWG) (154203-001) (154203-001) - C-123 (154203-001) - LP: 6/12/2020 9:43 AM