



TOWN OF ASHLAND CITY
Planning Commission Meeting
February 05, 2024 5:30 PM
Agenda

Chairwoman: Nicole Binkley

Committee Members: Vivian Foston, Gerald Greer, JT Smith, Steve Stratton, Mike Stuart, Jerome Terrell

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

1. [January 08, 2024 PC Meeting Minutes](#)

PUBLIC FORUM

2. ***Procedure for Speaking Before the Council***

- * Speakers must complete the information form and submit it to the transcriber prior to the public forum. Be prepared to speak when your name is called.
- * Each speaker will be allowed 4 minutes.
- * Speakers may comment on issues scheduled for consideration at the meeting or other appropriate concerns pertinent to the operation of the town.
- * Each speaker should state the following:
 - his/her name
 - whether they are an Ashland City resident and/or property owner
- * No person shall be allowed to make obscene, derogatory, or slanderous remarks while addressing the Council/Board. Persons doing so will be asked to stop speaking and will forfeit the remainder of their time.
- * All remarks shall be directed to the Council/Board as a body only.
- * No person shall be allowed to disrupt or interfere with the procedures.
- * Remarks shall end when the speaker's allotted time has expired. No time shall be shared with other speakers.
- * Questions from the council/board members may be asked for clarification as well as council/board members may have brief comments; however, no person shall be permitted to enter any discussion or debate either directly with or through any member of the Council/Board or anyone present at the meeting.
- * No one shall make open comments during the meeting.

ELECT OFFICERS

3. Chair
4. Vice-Chair
5. Secretary

OLD BUSINESS

6. [Site Plan Approval: Sleep Inn](#)
7. [AO Smith/ Ashland City Plat Approval](#)

NEW BUSINESS

8. [Rezoning of County Property](#)

OTHER

9. [Article IV Continued](#)

ADJOURNMENT

Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 615-792-6455, M-F 8:00 AM – 4:00 PM. The town will make reasonable accommodations for those persons.



TOWN OF ASHLAND CITY
Planning Commission Meeting
January 08, 2024 5:30 PM
Minutes

CALL TO ORDER

Vice-Chairman Gerald Greer called the meeting to order at 5:30 p.m.

ROLL CALL

PRESENT

Committee Member Gerald Greer
Committee Member Steven Stratton
Committee Member Vivian Foston
Committee Member JT Smith
Committee Member Jerome Terrell

ABSENT

Chairwoman Nicole Binkley
Committee Member Mike Stuart

APPROVAL OF AGENDA

A motion was made by Committee Member Stratton, Seconded by Committee Member Foston, to approve the agenda. All approved by voice vote.

APPROVAL OF MINUTES

1. November 06, 2023 PC Meeting Minutes

A motion was made by Committee Member Foston, Seconded by Committee Member Stratton, to approve the minutes as written. All approved by voice vote.

PUBLIC FORUM

None.

NEW BUSINESS

2. Site Plan Approval: Sleep Inn

Brian Hamilton and Amanda Bell spoke on behalf of the Sleep Inn. Mr. Gregory recommended approval once all deficiencies were corrected. A motion was made by Committee Member Foston, Seconded by Committee Member Stratton, to defer the site plan until all comments were addressed. All approved by voice vote. Motion Passes.

3. AO Smith/ Ashland City Plat Approval

A motion was made by Committee Member Stratton, Seconded by Committee Member Foston, to defer the plat since it is not ready. All approved by voice vote. Motion passes.

OTHER

4. Article IV Continued

Mr. Gregory and the Planning Commission reviewed Article IV of the zoning ordinance.

ADJOURNMENT

A motion was made by Committee Member Stratton, Seconded by Committee Member Foston, to adjourn the meeting. All approved by voice vote and the meeting adjourned at 6:55 p.m.

VICE-CHAIRMAN GERALD GREER

SECRETARY



Town of Ashland City Building & Codes Department

233 Tennessee Waltz Parkway Suite 103
Ashland City TN 37015
(615) 792-6455

APPLICATION FOR SITE PLAN APPROVAL

Site Plan Review Fee: \$100.00

Date Received: October 16, 2023

Property Address: P/O 1203 Old Hydes Ferry Pike

Map # 062 Parcel # 006 Acreage: 1.82

Property Owner(s): TERRY JOSHUA REVOCABLE TRUST

Phone: 615-202-9135

Description of project being reviewed: New 48 Room Hotel

Having submitted plans for review by the Ashland City Planning Commission, I understand that I am responsible for all review fees incurred by the Town of Ashland City. I understand that the fee paid at the time of submittal is not applicable for the fees incurred through review. With my signature, I verify that I fully understand that I am responsible for said fees, and that I have received a copy of Ordinance #165.

Oct 16, 2023

Applicant Signature

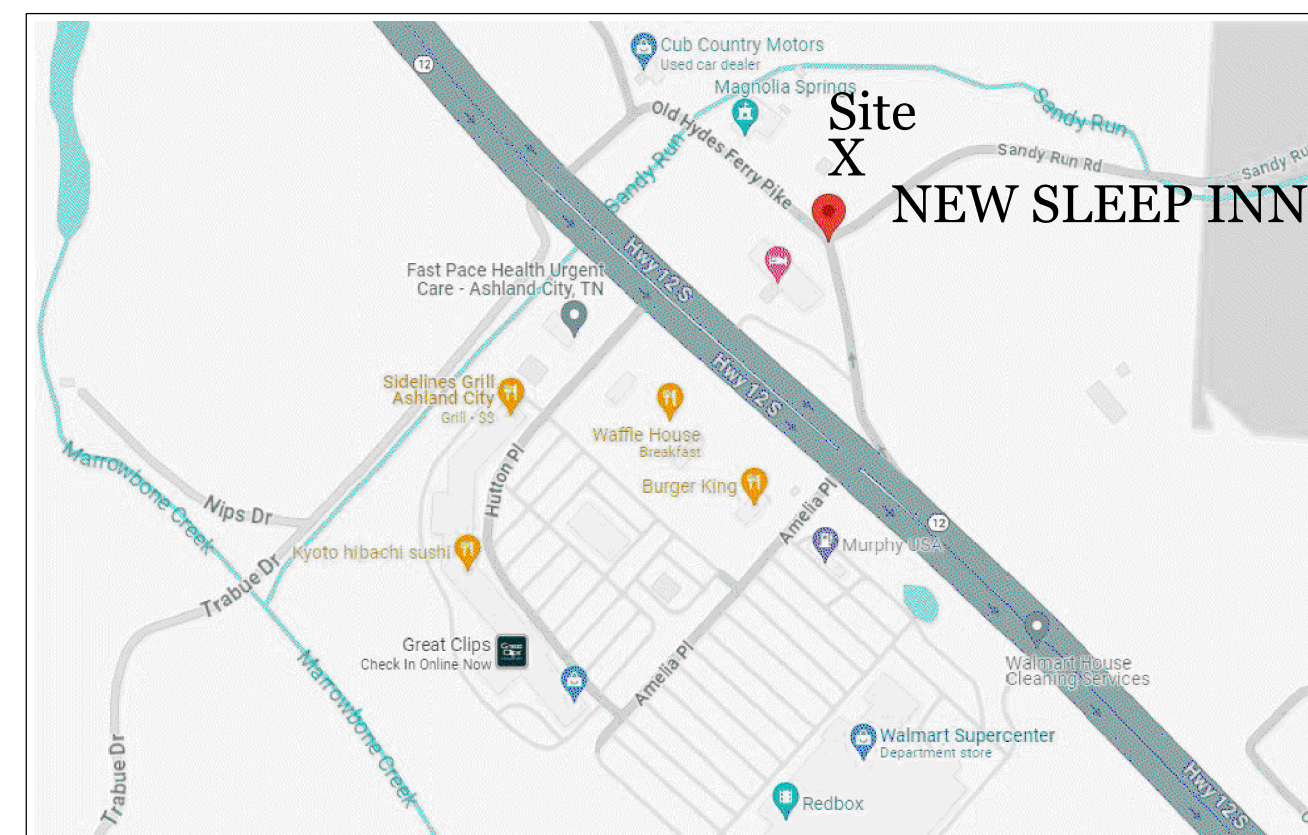
Date

PLANNING COMMISSION SUBMITTAL

for:



Located:



Vicinity Map
not to scale

OLD HYDES FERRY PIKE
&
SANDY RUN ROAD
ASHLAND CITY
CHEATHAM COUNTY
TENNESSEE

SHEET INDEX:

GENERAL:

CO	COVER SHEET
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PLAN SHEETS:

C1	EXISTING CONDITIONS
C2	SITE AND UTILITY PLAN
C3	GRADING AND DRAINAGE PLAN
C4	INITIAL EROSION CONTROL PLAN
C5	INTERMEDIATE EROSION CONTROL PLAN
C6	FINAL STABILIZATION PLAN
C7	DETAILS AND SWPPP NOTES
a201	EXTERIOR ELEVATIONS
L1	LANDSCAPE PLAN
L2	PHOTOMETRIC PLAN

Plan Prepared By:



Nashville Civil LLC
Site Design • Engineering
700 51st Avenue North
Nashville, TN 37209
P 615.353.9622
b@nashvillecivil.com

Architect:

Barnettdesignstudio.com
324 Main Street Suite 200
Frankline, TN 37064

COVER

CO

Project #: NC 23-472

ITEM # 6



sheet title:
EXISTING CONDITIONS

for:



located:
 OLD HYDES FERRY PIKE & SANDY RUN ROAD

ASHLAND CITY
 CHEATHAM COUNTY
 TENNESSEE

Project #:
 NC 23-472

Original Issue Date:
 16 Oct 2023

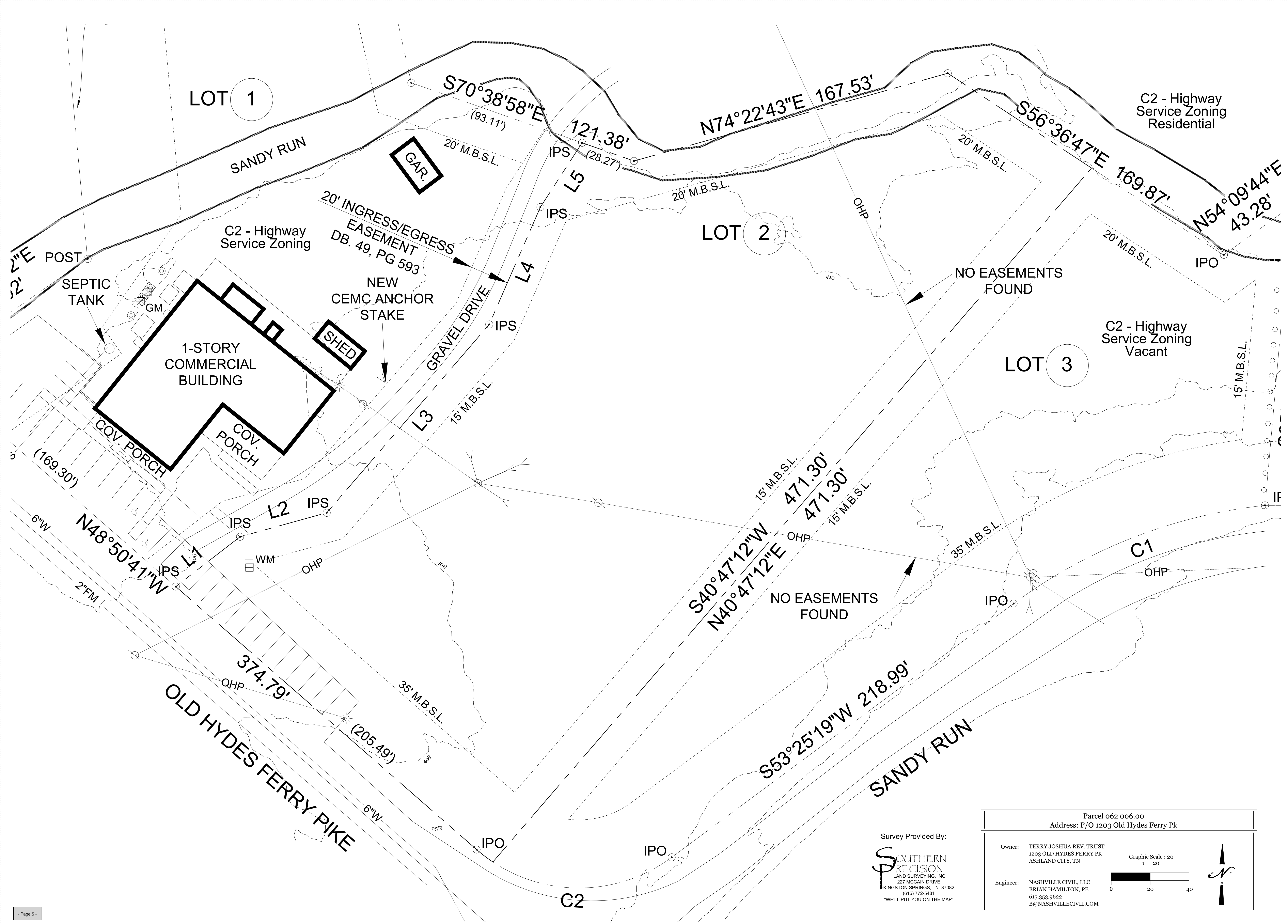
- Revisions:
- 1 19Oct23 - Property Line Change
 - 2 13Nov23 - Additional Planning Submittal
 - 3 22Dec23 - Additional Planning Submittal
 - 4 29Dec23 - Planning Comments Addressed
 - 5 25Jan24 - Planning Comments Addressed

Phase:
 Construction Drawings

Existing Conditions

C1

ITEM # 6



Survey Provided By:

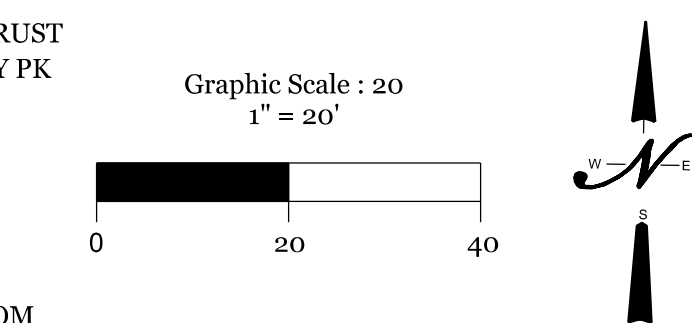
 SOUTHERN PRECISION
 LAND SURVEYING, INC.
 227 MCCAIN DRIVE
 KINGSTON SPRINGS, TN 37082
 (615) 772-5481
 "WE'LL PUT YOU ON THE MAP"

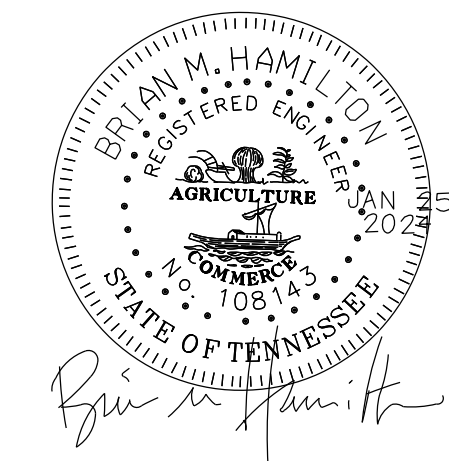
Parcel 062 006.00
 Address: P/O 1203 Old Hydes Ferry Pk

Owner: TERRY JOSHUA REV. TRUST
 1203 OLD HYDES FERRY PK
 ASHLAND CITY, TN

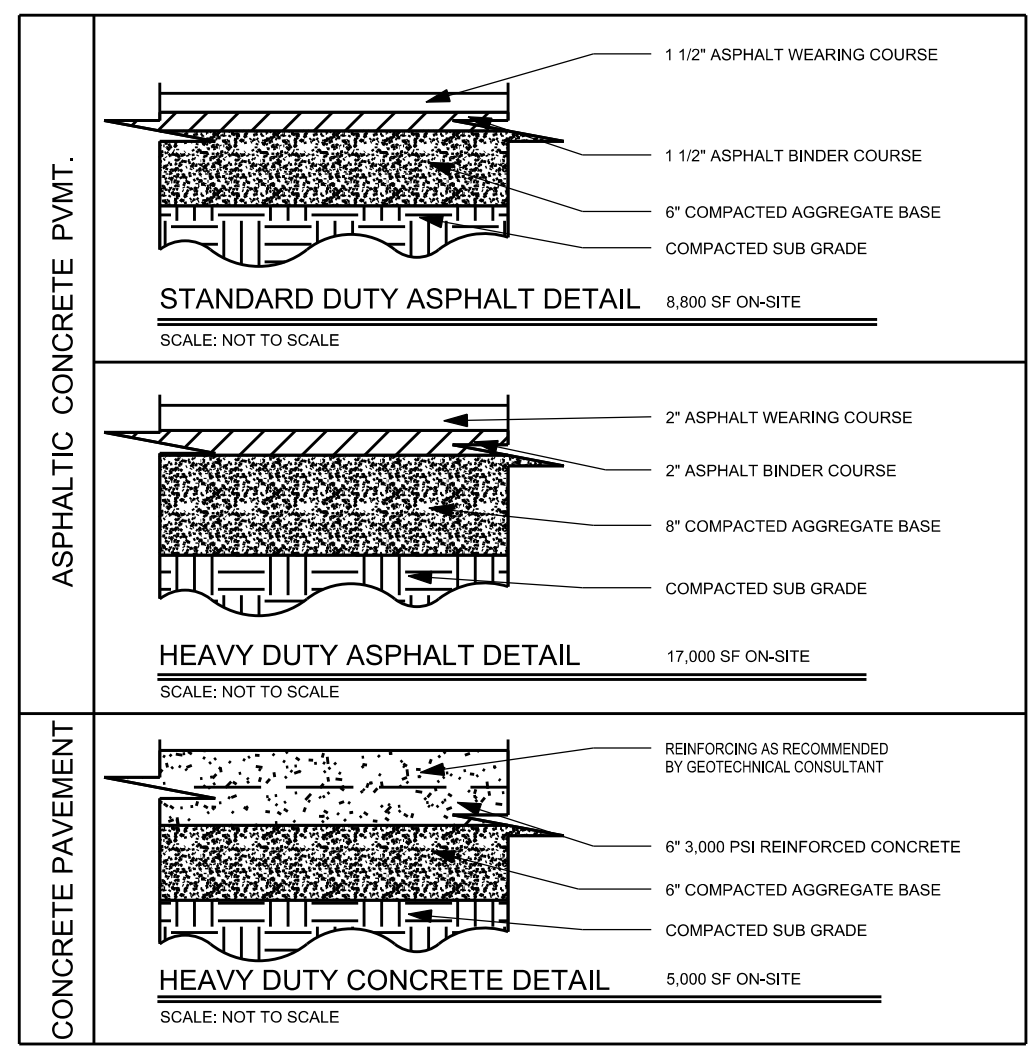
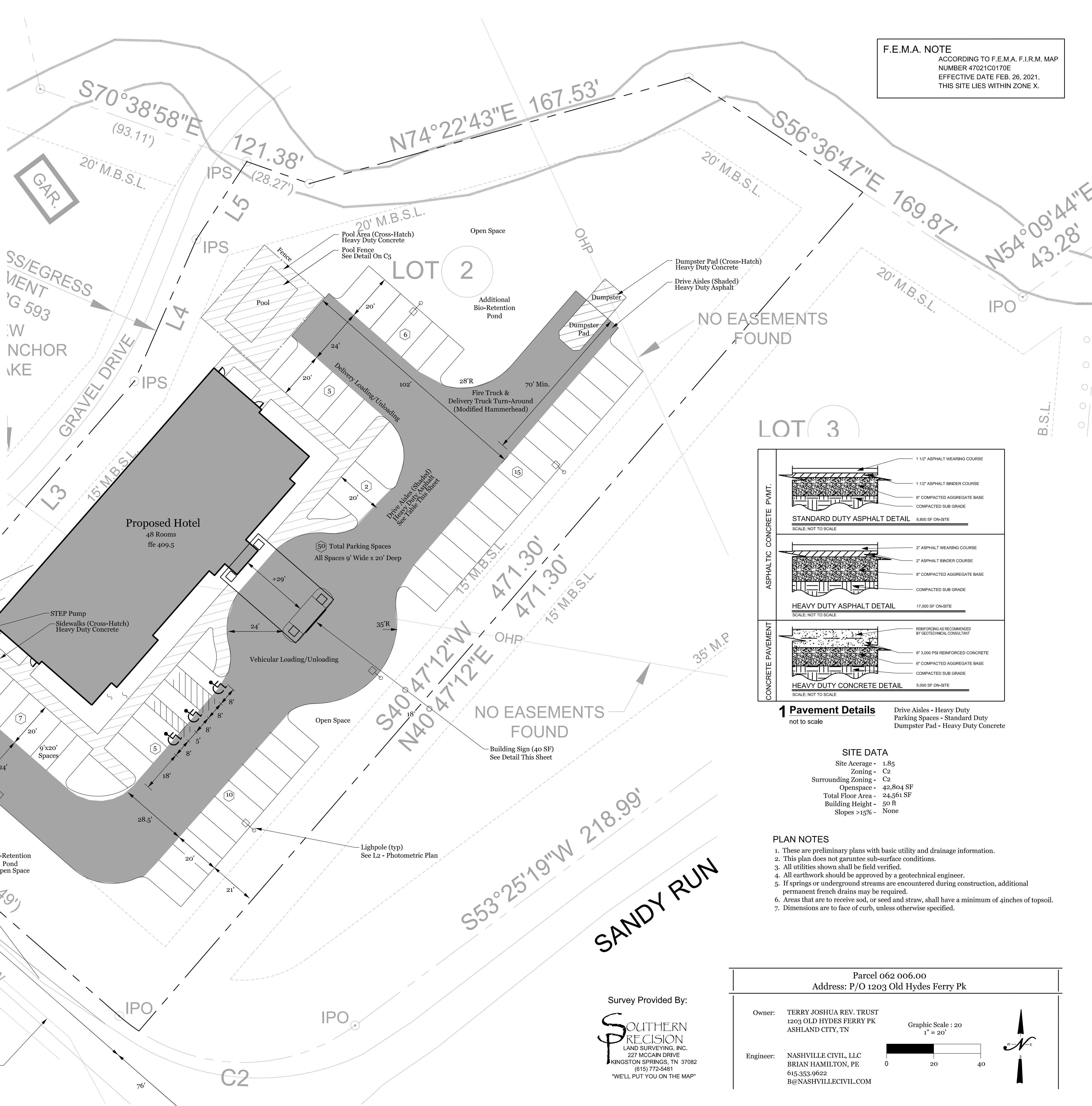
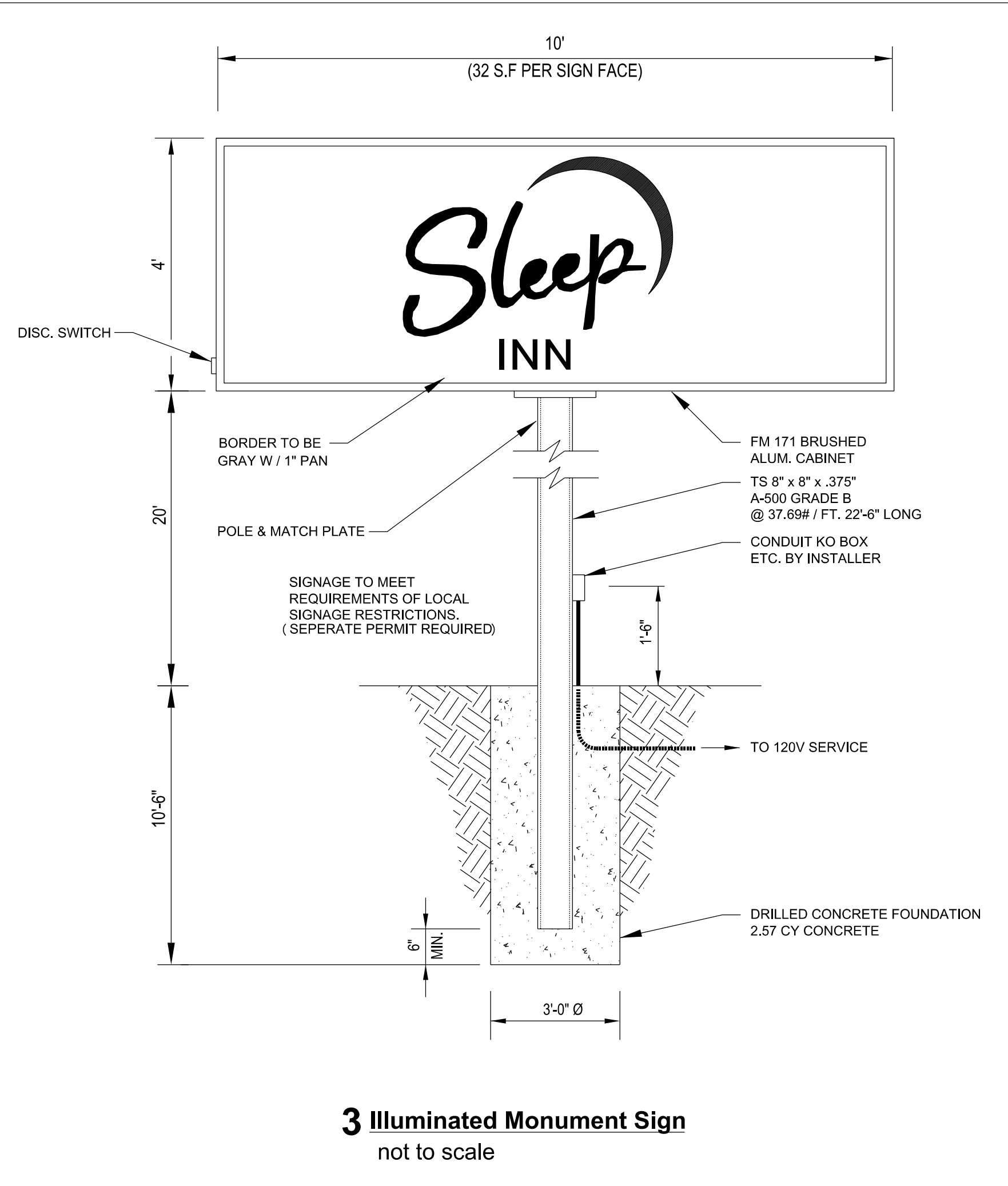
Engineer: NASHVILLE CIVIL, LLC
 BRIAN HAMILTON, PE
 615.353.9622
 B@NASHVILLECIVIL.COM

Graphic Scale: 20
 1" = 20'





F.E.M.A. NOTE
ACCORDING TO F.E.M.A. F.I.R.M. MAP NUMBER 47021C0170E EFFECTIVE DATE FEB. 26, 2021, THIS SITE LIES WITHIN ZONE X.

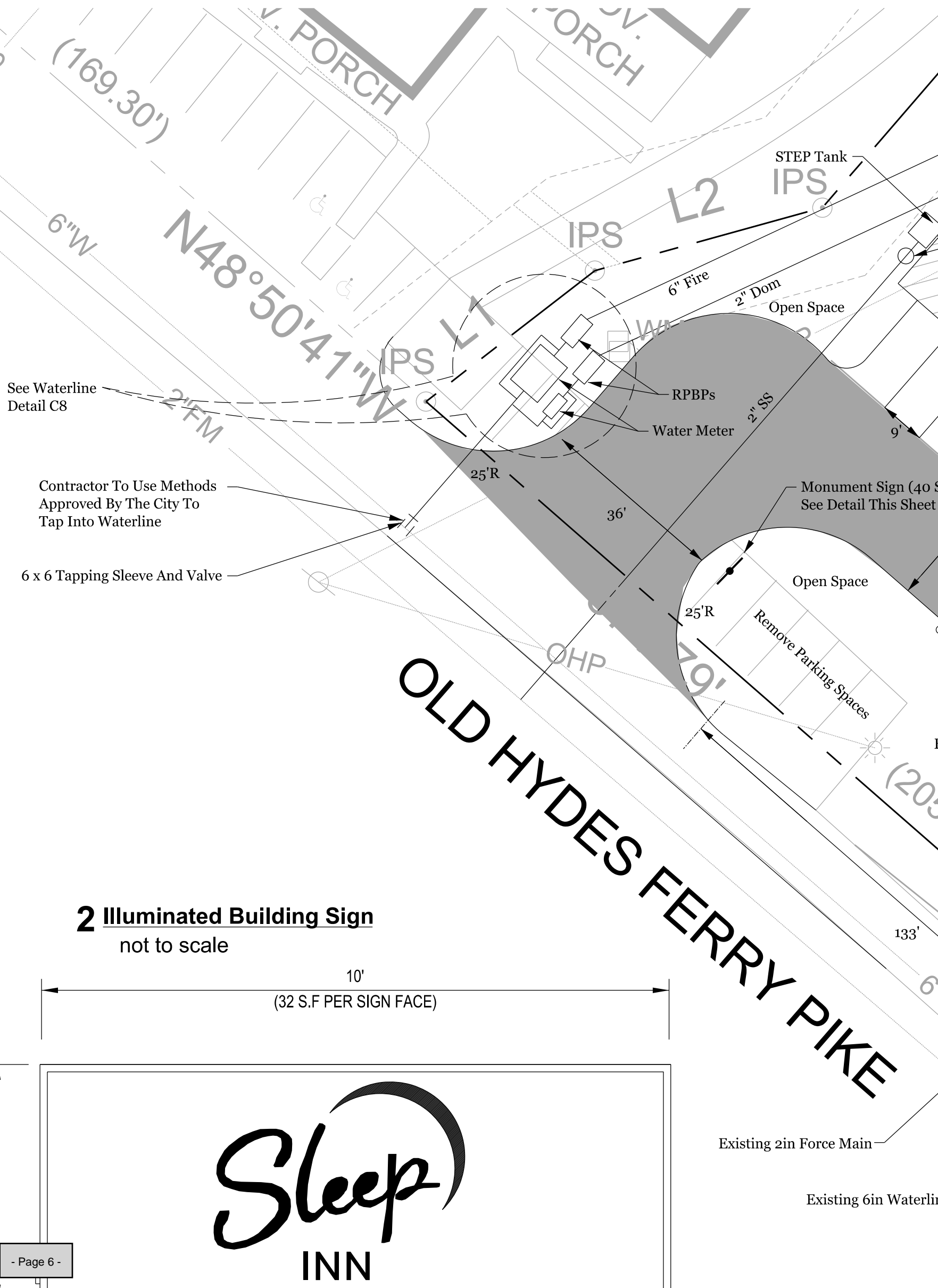


1 Pavement Details not to scale
Drive Aisles - Heavy Duty
Parking Spaces - Standard Duty
Dumpster Pad - Heavy Duty Concrete

SITE DATA

Site Acreage	- 1.85
Zoning	- C2
Surrounding Zoning	- C2
Openspace	- 42,804 SF
Total Floor Area	- 24,561 SF
Building Height	- 50 ft
Slopes >15%	- None

- PLAN NOTES
1. These are preliminary plans with basic utility and drainage information.
 2. This plan does not guarantee sub-surface conditions.
 3. All utilities shown shall be field verified.
 4. All earthwork should be approved by a geotechnical engineer.
 5. If springs or underground streams are encountered during construction, additional permanent french drains may be required.
 6. Areas that are to receive sod, or seed and straw, shall have a minimum of 4 inches of topsoil.
 7. Dimensions are to face of curb, unless otherwise specified.



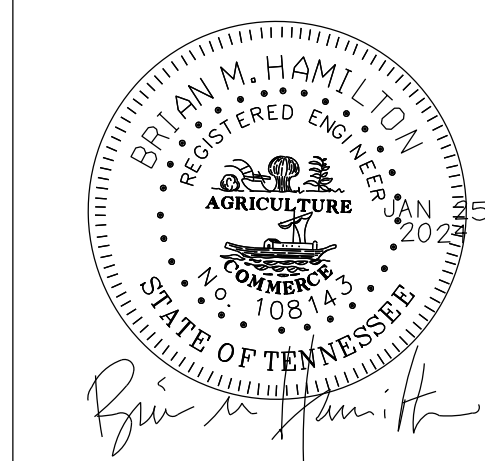
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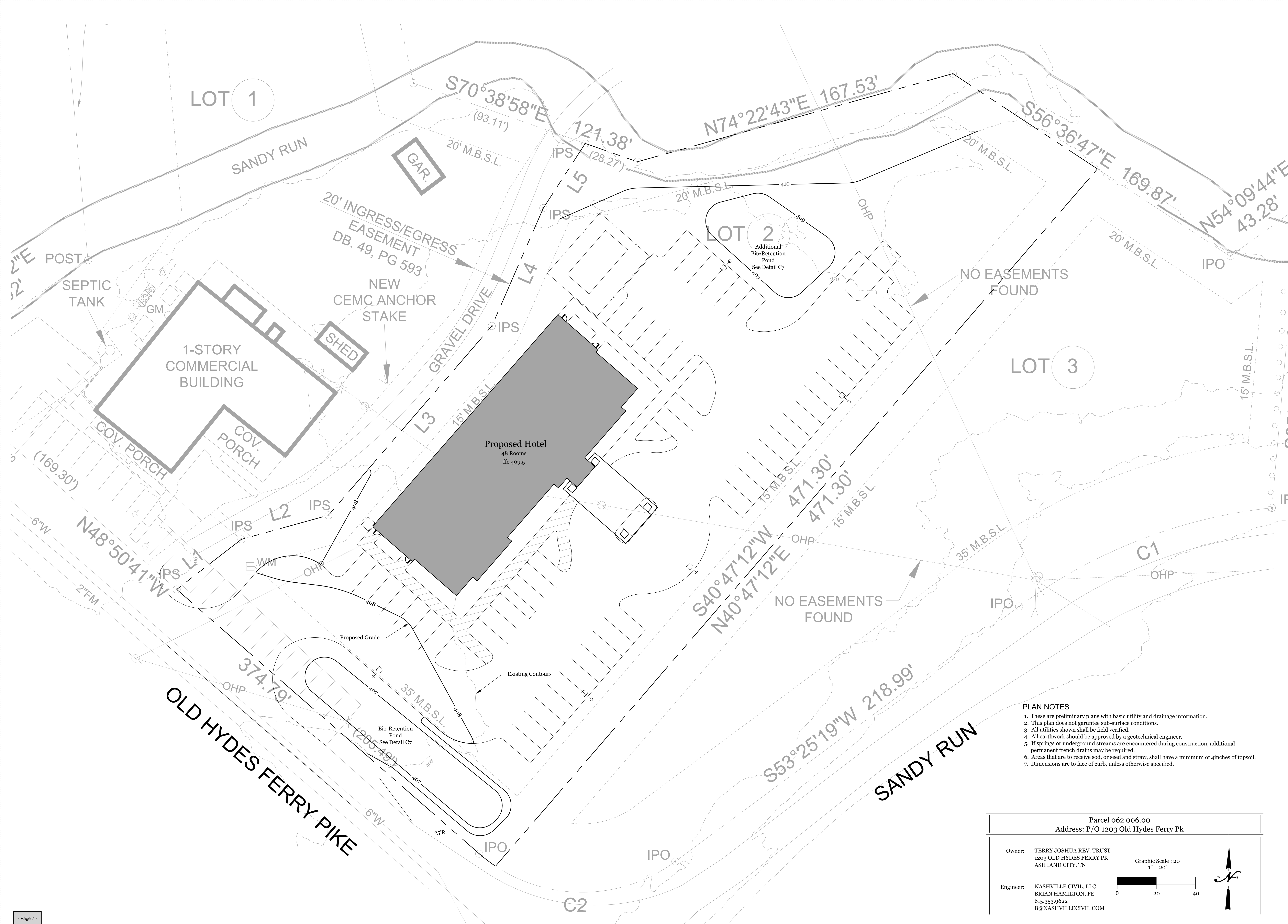


OLD HYDES FERRY PIKE & SANDY RUN ROAD

ASHLAND CITY CHEATHAM COUNTY TENNESSEE

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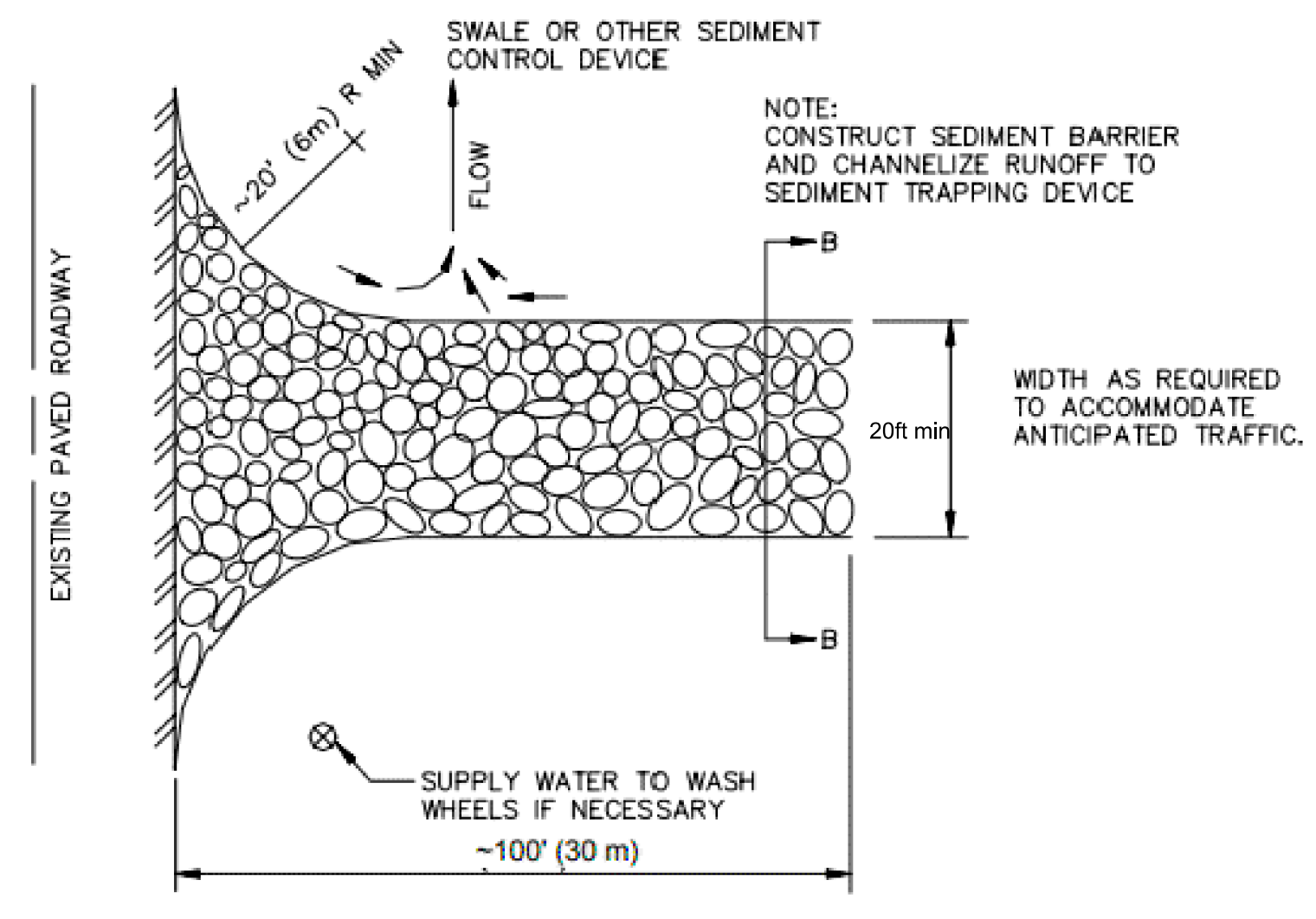
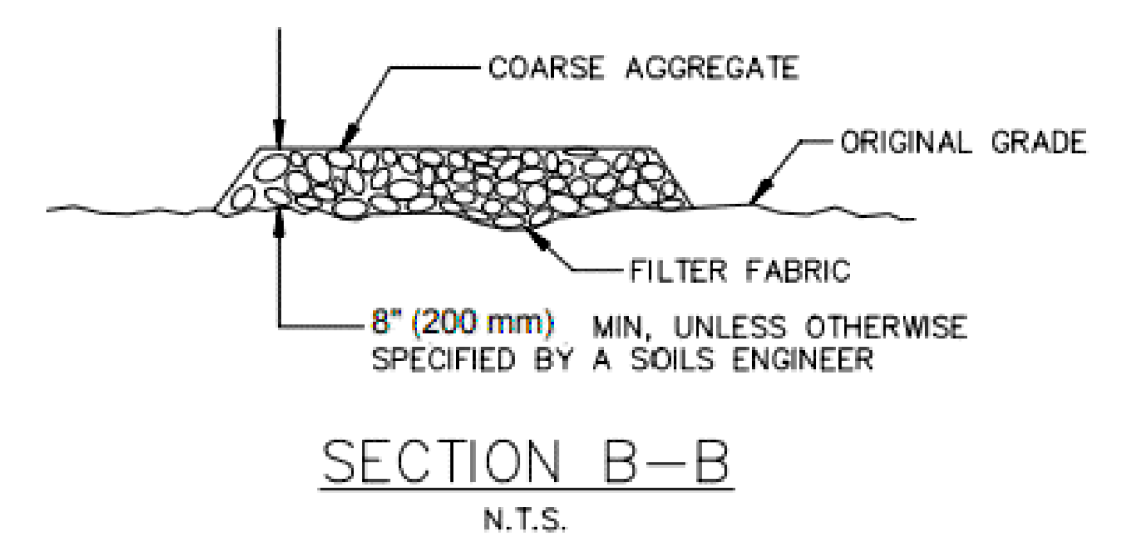
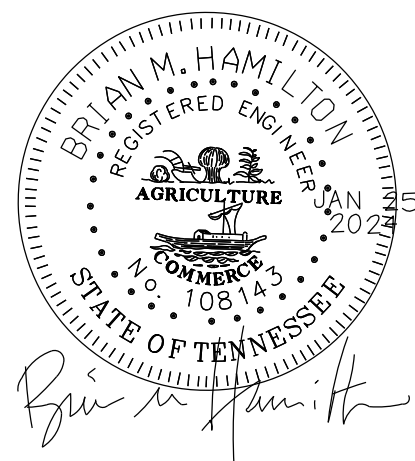
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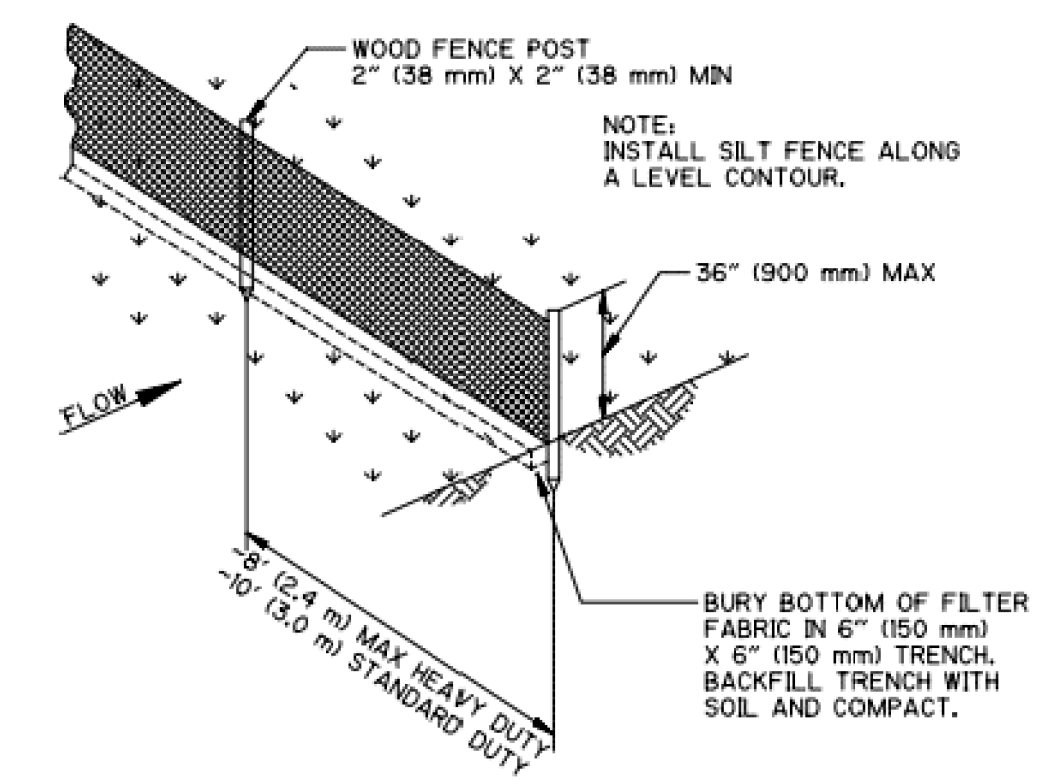
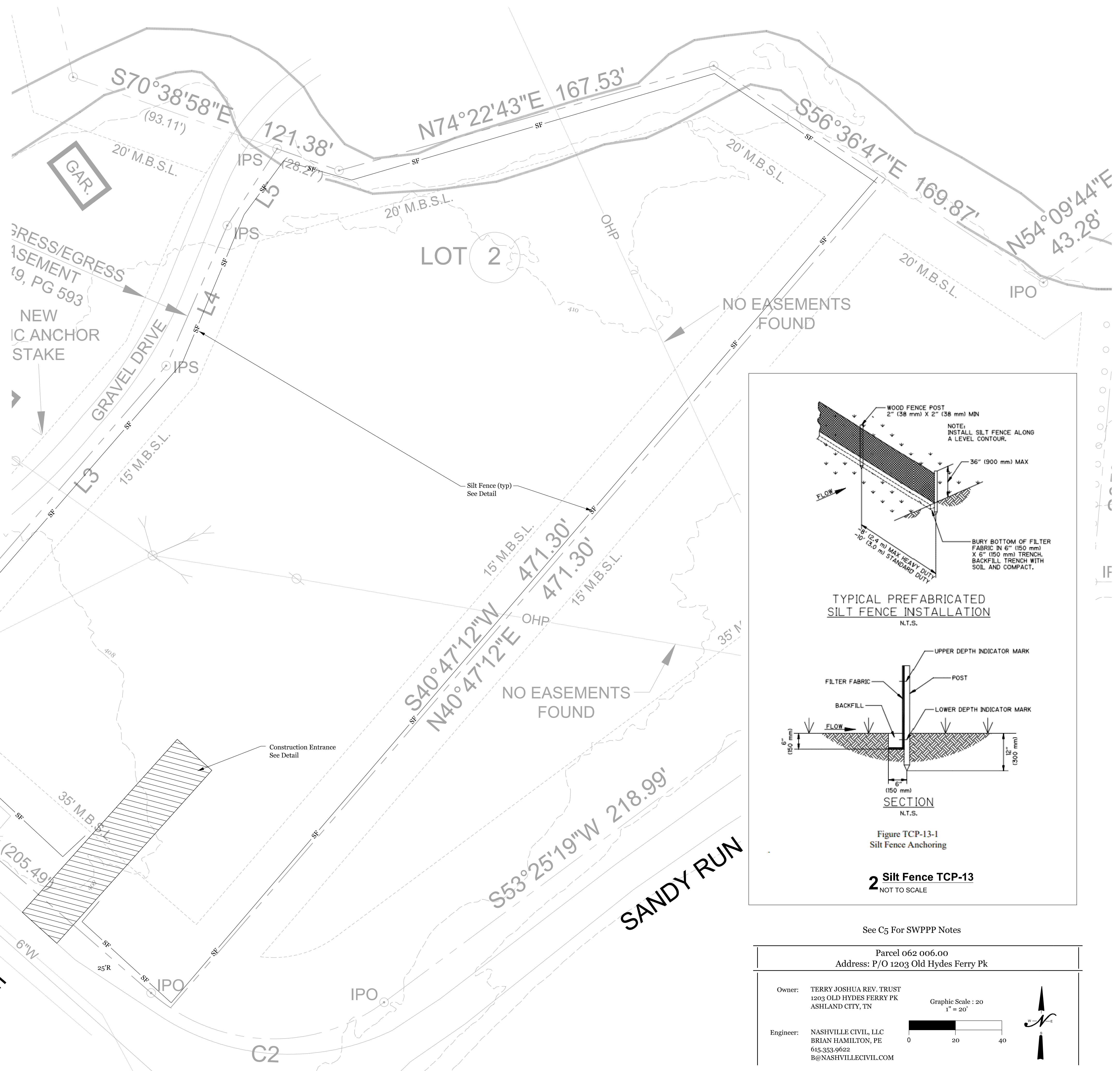


PLAN VIEW
 N.T.S.

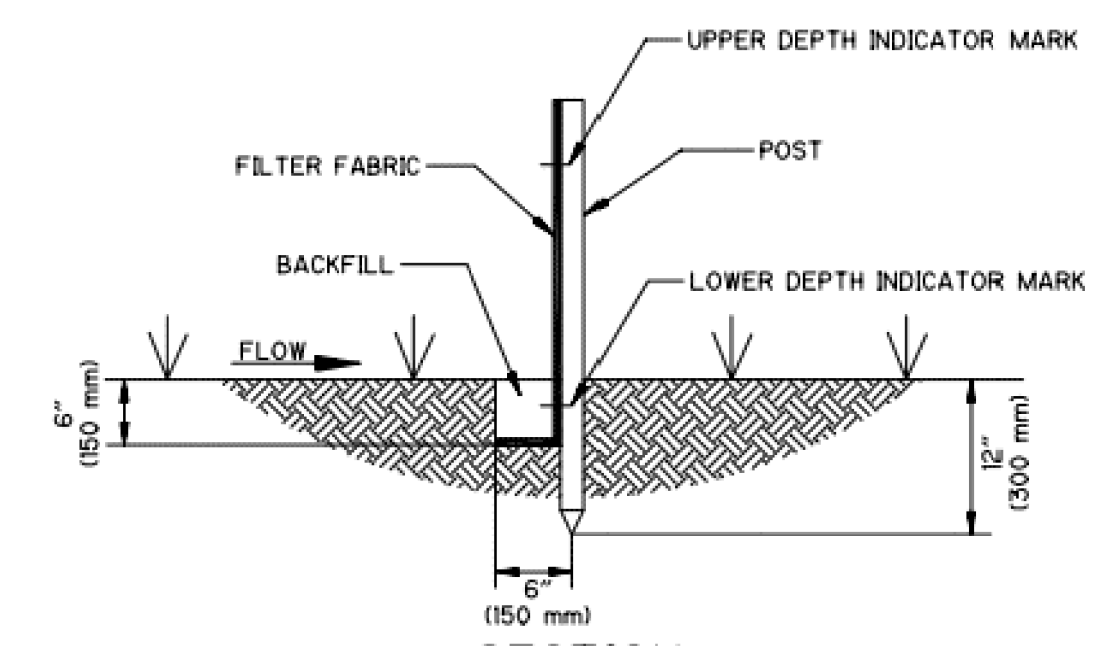
Figure TCP-03-1
 Stabilized Construction Entrance

1 Temporary Construction Road TCP-03
 NOT TO SCALE

Note: 20ft Min. Width



TYPICAL PREFABRICATED SILT FENCE INSTALLATION
 N.T.S.



SECTION
 N.T.S.

Figure TCP-13-1
 Silt Fence Anchoring

2 Silt Fence TCP-13
 NOT TO SCALE

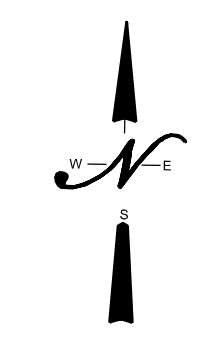
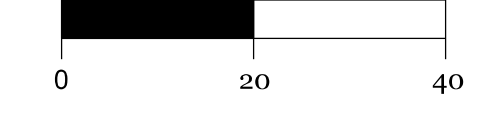
See C5 For SWPPP Notes

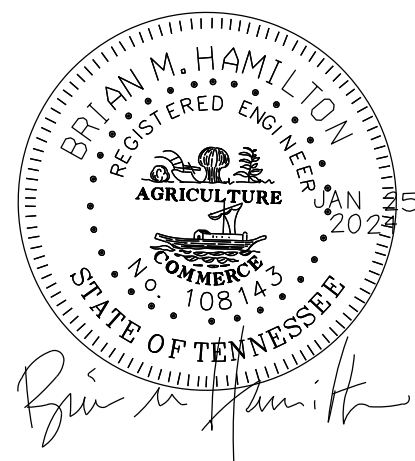
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sheet title:
INTERMEDIATE EROSION CONTROL PLAN

for:

Sleep INN

located:
 OLD HYDES FERRY PIKE & SANDY RUN ROAD

ASHLAND CITY
 CHEATHAM COUNTY
 TENNESSEE

Project #:
 NC 23-472

Original Issue Date:
 16 Oct 2023

Phase:
 Construction Drawings

Intermediate Erosion Control Plan

C5
 ITEM # 6.

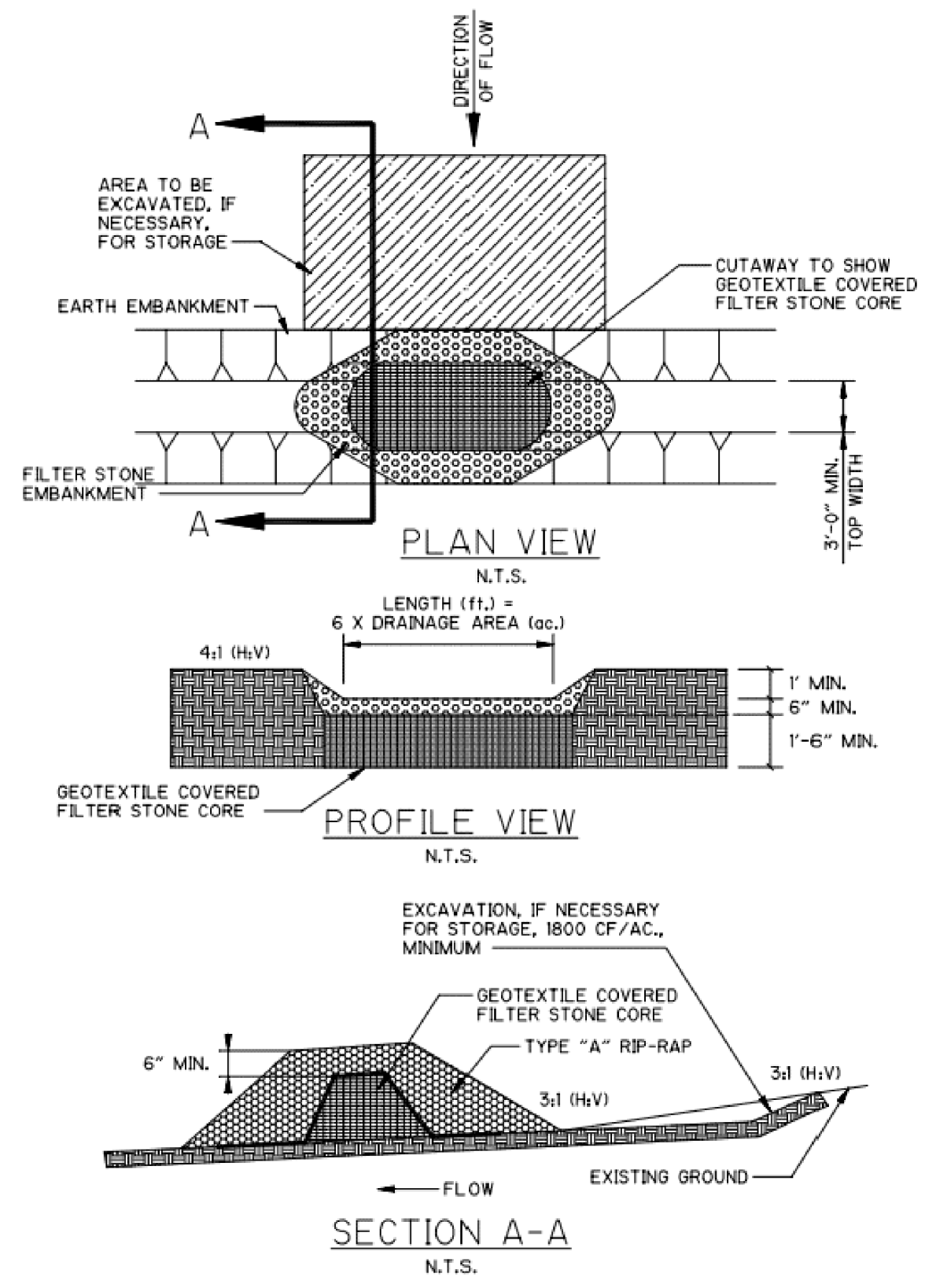
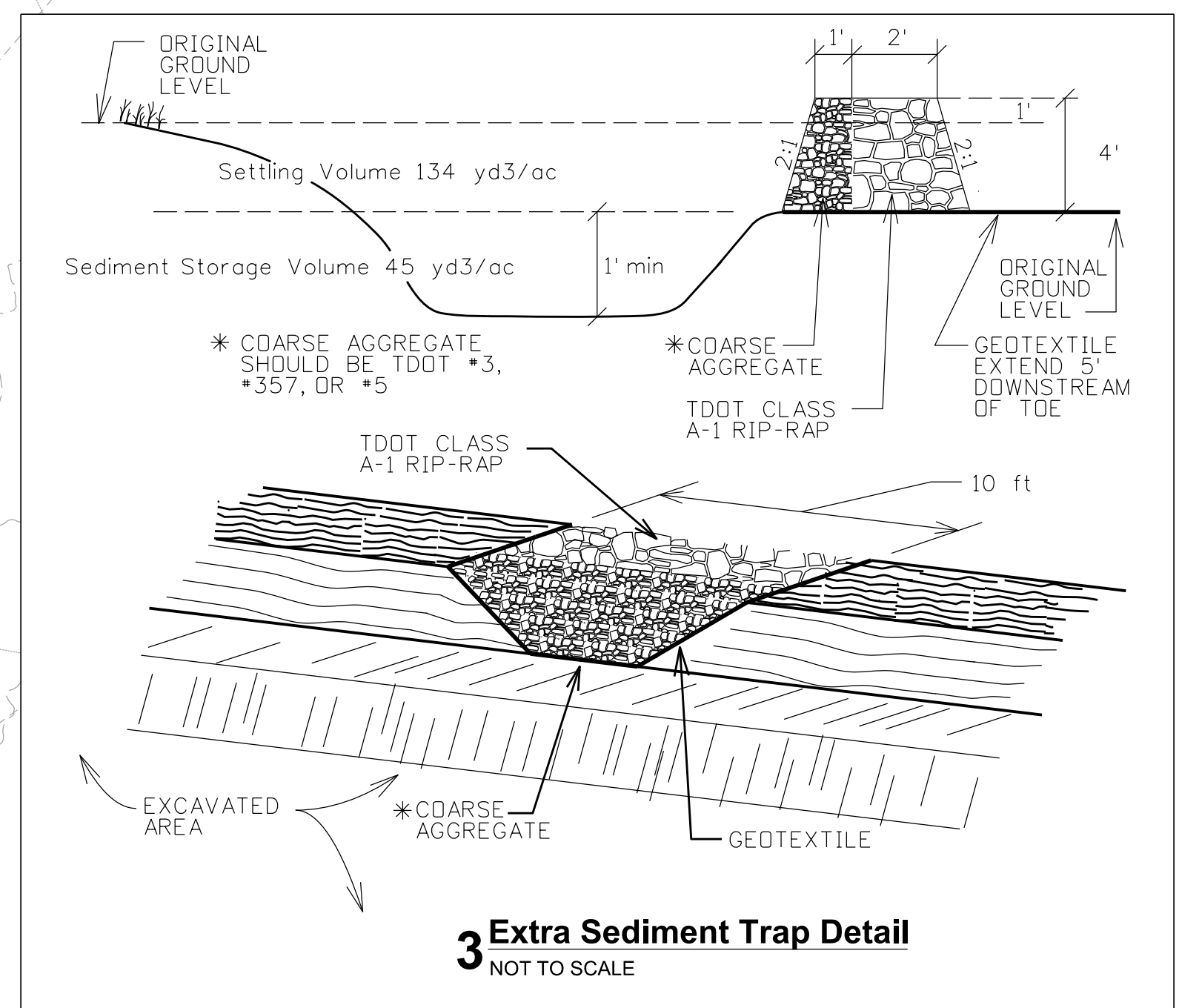
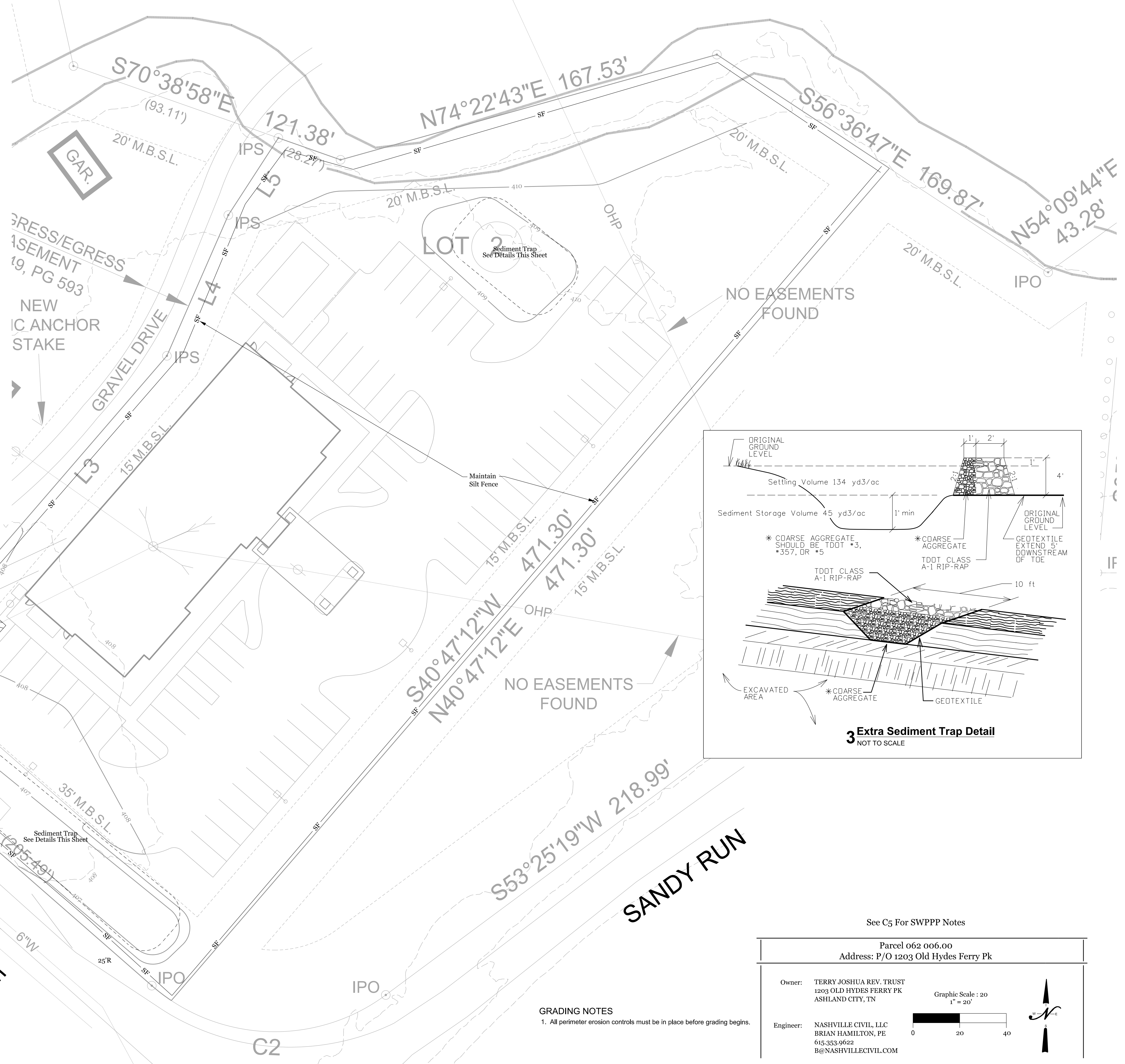


Figure TCP-17-3
 Sediment Trap with Stone Outlet
4 Sediment Trap Detail
 NOT TO SCALE



3 Extra Sediment Trap Detail
 NOT TO SCALE



GRADING NOTES
 1. All perimeter erosion controls must be in place before grading begins.

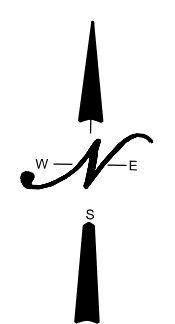
See C5 For SWPPP Notes

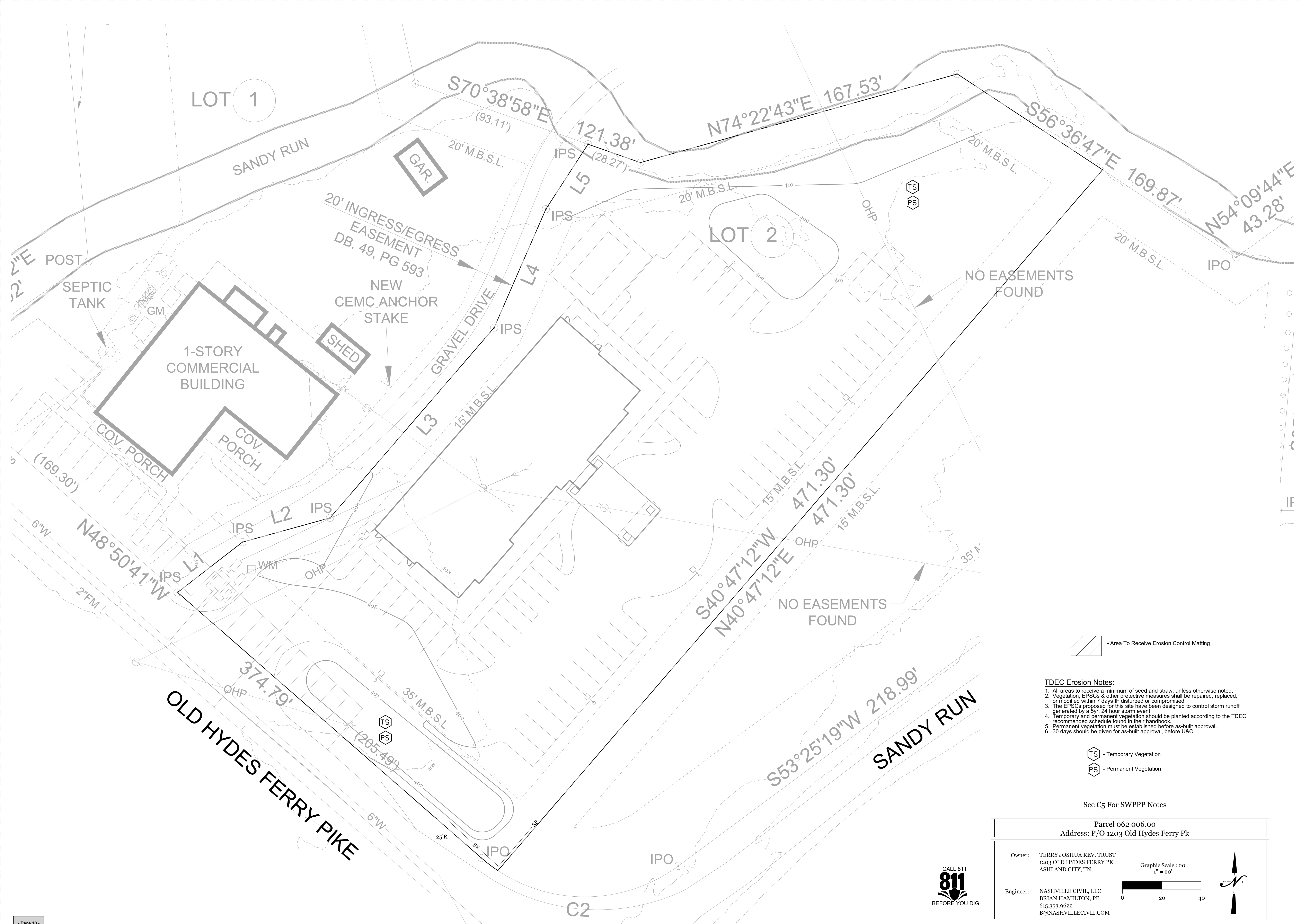
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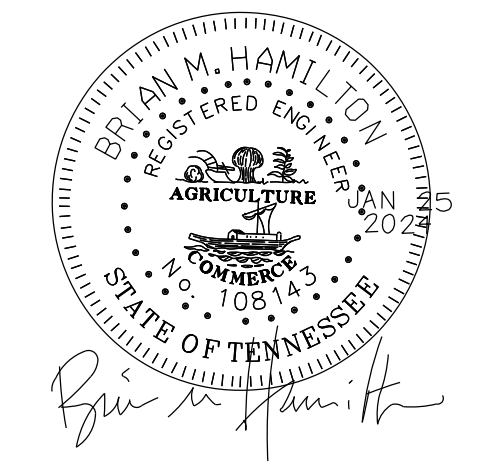




Plan Prepared By:

Nashville Civil LLC
 Site Design • Engineering
 700 51st Avenue North
 Nashville, TN 37209
 P 615.353.9622
 b@nashvillecivil.com

architect:
 Barnettdesignstudio.com
 324 Main Street Suite 200
 Franklin, TN 37064



sheet title:
FINAL STABILIZATION PLAN

for:



located:
 OLD HYDES FERRY PIKE & SANDY RUN ROAD

ASHLAND CITY
 CHEATHAM COUNTY
 TENNESSEE

Project #:
 NC 23-472

Original Issue Date:
 16 Oct 2023


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Phase:
 Construction Drawings

Final Stabilization Plan

C6
 ITEM # 6

- TDEC Erosion Notes:**
1. All areas to receive a minimum of seed and straw, unless otherwise noted.
 2. Vegetation, EPSCs & other protective measures shall be repaired, replaced, or modified within 7 days if disturbed or compromised.
 3. The EPSCs proposed for this site have been designed to control storm runoff generated by a 5yr, 24 hour storm event.
 4. Temporary and permanent vegetation should be planted according to the TDEC recommended schedule found in their handbook.
 5. Permanent vegetation must be established before as-built approval.
 6. 30 days should be given for as-built approval, before U&O.

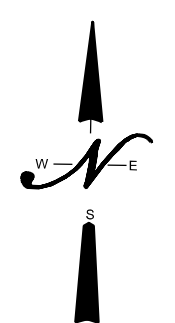
 - Area To Receive Erosion Control Matting

 - Temporary Vegetation
 - Permanent Vegetation

See C5 For SWPPP Notes

Parcel 062 006.00 Address: P/O 1203 Old Hydes Ferry Pk	
Owner:	TERRY JOSHUA REV. TRUST 1203 OLD HYDES FERRY PK ASHLAND CITY, TN
Engineer:	NASHVILLE CIVIL, LLC BRIAN HAMILTON, PE 615.353.9622 B@NASHVILLECIVIL.COM

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STORMWATER POLLUTION PREVENTION PLAN NOTES

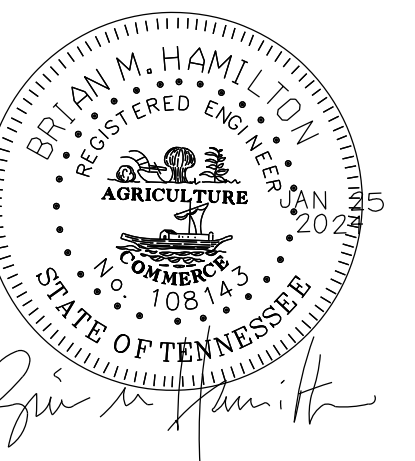
- The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer is not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the waterproof enclosure): a.) A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number, b.) name, company name, email address, telephone number and address of the project site owner or a local contact person; c.) a brief description of the project; d.) the location of the SWPPP if an on-site location for storing the plan is not available.
- The owner of this project site will provide erosion control measures as shown on this SWPPP. If the owner sells this property, the new property owner will be required to obtain coverage under this permit from the governing federal, state and local agencies and the new property owner shall assume operational control and responsibility for the portion of the site that he/she purchases.
- Prior to the commencement of any clearing or grubbing, the contractor shall erect "construction fencing", tree protection fencing, caution tape, etc. along the limits of disturbance to protect trees, stream bank buffers, etc. that are not to be disturbed.
- Prior to any type of construction activity, the contractor shall install the stone based construction exit, the silt fence and the sediment traps/basins when indicated on the SWPPP. Additional erosion control measures such as rock check dams, diversion swales, temporary creek crossings, temporary mulching of disturbed areas, final seed and straw application and general erosion control maintenance shall be provided as construction progresses and these measures become necessary. The contractor shall be responsible for implementing all of the erosion control measures.
- All erosion control measures shall be installed and maintained in accordance with the manufacturer's specifications and recommendations. It is the purpose of all control measures to slow runoff so that rill and gully formation is prevented. The contractor shall inspect the control measures periodically and replace and/or modify the controls for relevant site situations.
- Where the application of temporary or permanent grass seed is specified as part of the SWPPP, the contractor shall use an appropriate grass seed mixture for the time of year that the seed is sowed. Use fescue during the spring and summer months and a mixture of fescue and winter rye during the fall and winter months. Sow at a rate of 6 lbs. per 1000 s.f. of area. Provide adequate amounts of water to establish a healthy stand of grass.
- If sediment escapes the construction site, it is the contractor's responsibility to remove the sediment that has escaped the site. The contractor shall obtain the permission of the landowner where the sediment has accumulated before removal can begin. If sediment enters a stream, the contractor must also gain the written permission of the State before remediation/restoration can begin.
- The contractor shall remove sediment from sediment traps, silt fences, sedimentation ponds, and other sediment controls as necessary and must be removed when capacity has been reduced by 50%.
- Litter, construction debris and construction chemicals exposed to storm water shall be picked up and removed from the site to prevent them from becoming a pollutant source for storm water discharges. After use, materials used for erosion prevention and sediment control should be removed from the site.
- There are no other construction activities or industrial activities associated with this project site that are covered under a separate permit.
- There are no streams or wetlands on or near this project site, therefore no additional permits associated with these features are required.
- All earth stockpiles, whether on the project site or off-site shall include erosion control measures to prevent the material from being washed from the site by storm water runoff.
- Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- This project does not disturb more than 50 acres, but areas of the completed phase must be stabilized within 15 days.
- For projects that have a disturbed area of greater than 50 acres, the contractor shall provide a phasing plan to only disturb 50 acres or less at one time. Submit the phasing plan to the state and local agencies for their review.
- Erosion prevention and sediment control measures must be in place and functional before earth moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
- The contractor shall maintain a rain gauge and daily rainfall records at the site.
- The contractor shall initiate stabilization measures in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site must be completed no later than 15 days after the construction activity on that portion of the site has temporarily or permanently ceased.
- The contractor shall construct temporary diversion swales to divert off-site runoff from crossing the disturbed areas. These diversion swales, when necessary, shall be field located to avoid existing trees wherever possible.
- No work shall be allowed in or around streams or wetlands without the proper permits. Prior to the commencement of any construction activities in these areas, the contractor shall obtain a copy of the permits from the property owner, which allows this work. He shall not begin work without obtaining a copy of these permits or stiff fines from the federal and state agencies may be levied.
- Muddy water to be pumped from excavation and work areas must be held in settling basins or filtered prior to its discharge into surface waters. Water must be discharged through a pipe, well-grassed or lined channel or other equivalent means so the discharge does not cause erosion and sedimentation. Discharged water must not cause an objectionable color contrast with the receiving stream.
- After construction is complete, all disturbed areas, which are not covered with impermeable surface (i.e. asphalt, concrete, buildings, etc.), shall be covered with topsoil (4-inch thick minimum), grass seed and straw. The contractor shall maintain the seed and straw until a solid, healthy stand of permanent grass covers the disturbed areas.
- Silt fence shall be used along the lower edge of disturbed areas that have sheet flow runoff. Where runoff is concentrated (such as swales and ditches), bumpus fences or rock check dams shall be used to slow the velocity and allow settling of sediment.
- All construction and waste material shall be collected and removed from the site on a periodic basis. All construction and waste material shall be located outside of any existing or proposed drainage ways and shall be covered and protected from the rain until they are removed from the site. Any liquid materials or chemicals stored on-site shall be located away from any existing or proposed drainage ways and a berm of sufficient height to contain the entire volume of the liquid shall be constructed to completely encompass and impound the stored materials to prevent a spill from flowing off of the site.
- All soil, plants, trees and other vegetation in protected streams and wetlands and along the banks of same are protected by State law and therefore a prohibited from being removed. The contractor shall ensure that these areas remain undisturbed during construction. He shall erect construction barriers or take other means necessary to insure that the areas remain protected.
- The contractor shall employ a person to inspect the erosion control measures as required by the State and local agencies. The inspector must have successfully completed the "Fundamentals of Erosion Prevention and Sediment Control" course provided by the State. A copy of the certification or training record for inspector certification should be kept on site.
- Inspections described in the Tennessee General Permit shall be performed at least twice every calendar week and shall be performed at least 72 hours apart. Inspect all erosion control measures, disturbed areas, storage of material areas, outfall points, construction access points, etc.
- Inspections shall also be performed before anticipated storm events (or series of storm events such as intermittent showers over one or more days), and within 24 hours after the end of a storm event of 0.5 inches or greater.
- Any inadequate control measures or control measures in disrepair shall be replaced or modified or repaired as necessary before the next rain event if possible, but in no case more than 7 days after the need is identified. The contractor shall provide additional erosion control measures where necessary to insure adequate control so that no silt exits the project site.
- Inspections shall be documented and include: the scope of the inspection, name and title of personnel making the inspection, the date of the inspection, major observations relating to the implementation of the storm water pollution prevention plan (including the location of discharges of sediment or other pollutants from the site and of any control device that failed to operate as designed or proved inadequate for a particular location), and actions taken in accordance with the General Permit. Inspection reports shall be maintained on site and made available upon request. Inspection reports must be submitted to the State (TDEC) within 10 days of the request. Use the inspection report form provided in Appendix C of the General Permit and complete on a weekly basis.
- Sediment removed from sediment control structures is to be placed at a site that has been permitted by local and state agencies. The contractor is responsible for obtaining the site to "waste" the sediment material. The sediment shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the storm water run-off. Cost of this treatment is to be included in the price for the earthwork.
- The contractor shall seed and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. The contractor shall take whatever measures necessary to establish permanent soil stabilization. Any areas that do not include construction activity for more than 14 days shall be temporarily covered with straw to help prevent erosion.
- Remove sediment from all drainage structures, pipes and swales before acceptance by the developer or the local governing agency.
- Remove the temporary erosion and water pollution control devices only when in the opinion of the owner's representative, they are no longer needed.
- During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.
- This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR10000) for storm water discharges associated with construction activity (TNCGP), and is prepared using sound engineering practices. Nashville Civil, LLC personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.

As instructed by Part III.F of the TNCGP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete, correctly signed Notice of Intent (NOI). Construction will not be initiated prior to 30 days from the date of submittal of this document, or prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC). This SWPPP is an evolving document that can change with field adjustments. And changes in the field need to be noted and TDEC provided a copy of the changes.

Plan Prepared By:

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 Site Design • Engineering
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 Nashville, TN 37209
 P 615.353.9622
 b@nashvillecivil.com

architect:
 Barnettdesignstudio.com
 324 Main Street Suite 200
 Franklin, TN 37064



sheet title:
CIVIL DETAILS AND SWPPP NOTES

for:



located:
 OLD HYDES FERRY PIKE & SANDY RUN ROAD

ASHLAND CITY CHEATHAM COUNTY TENNESSEE

Project #:
 NC 23-472
 Original Issue Date:
 16 Oct 2023

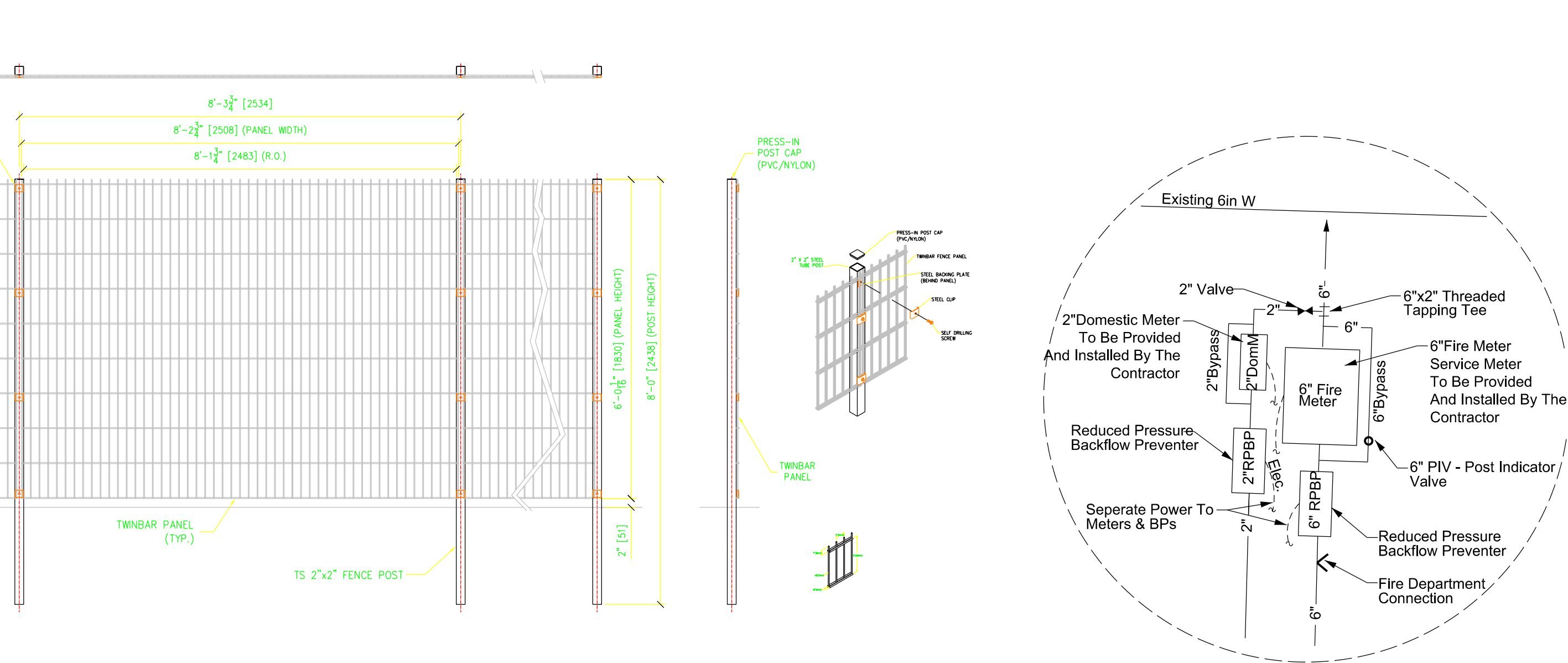
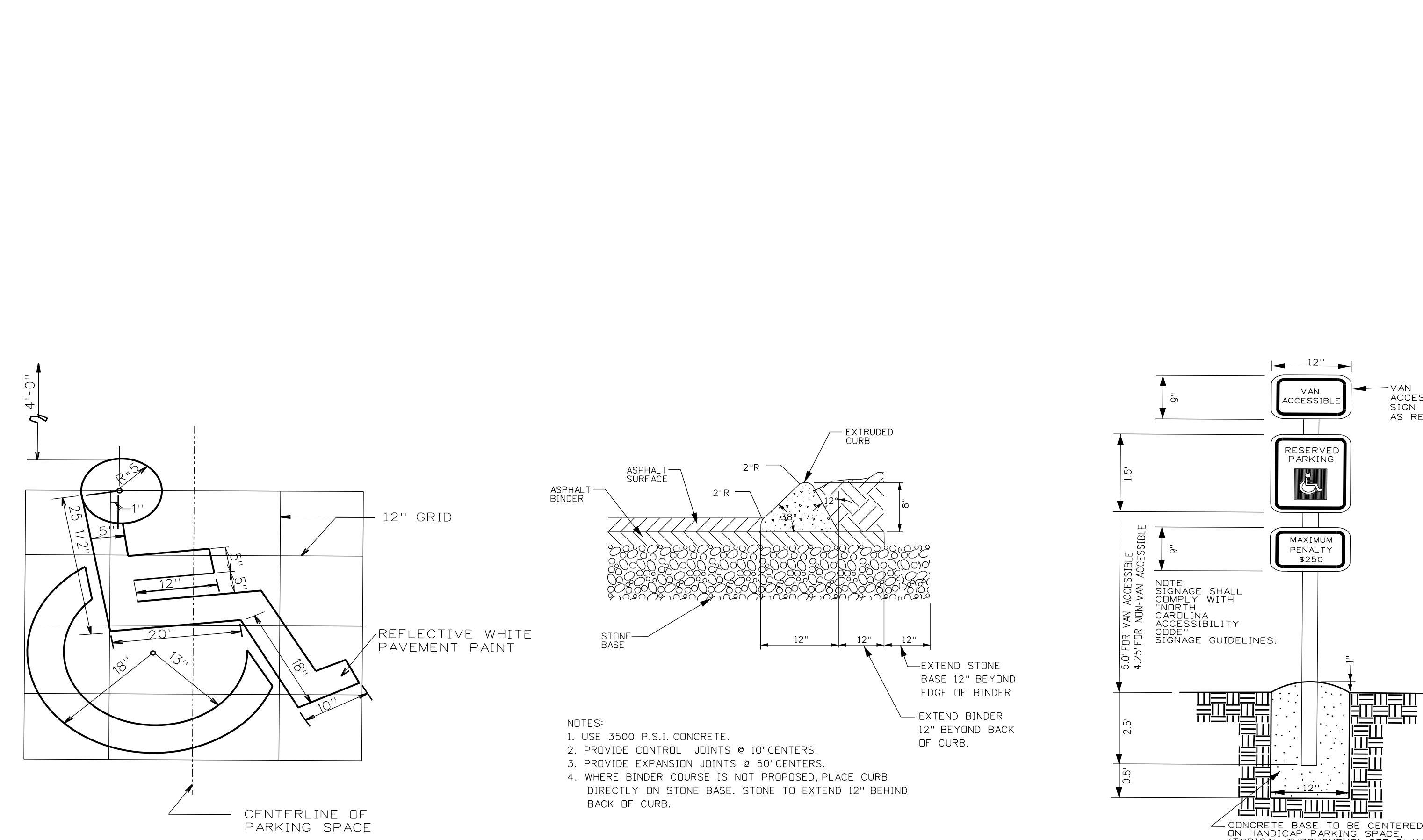
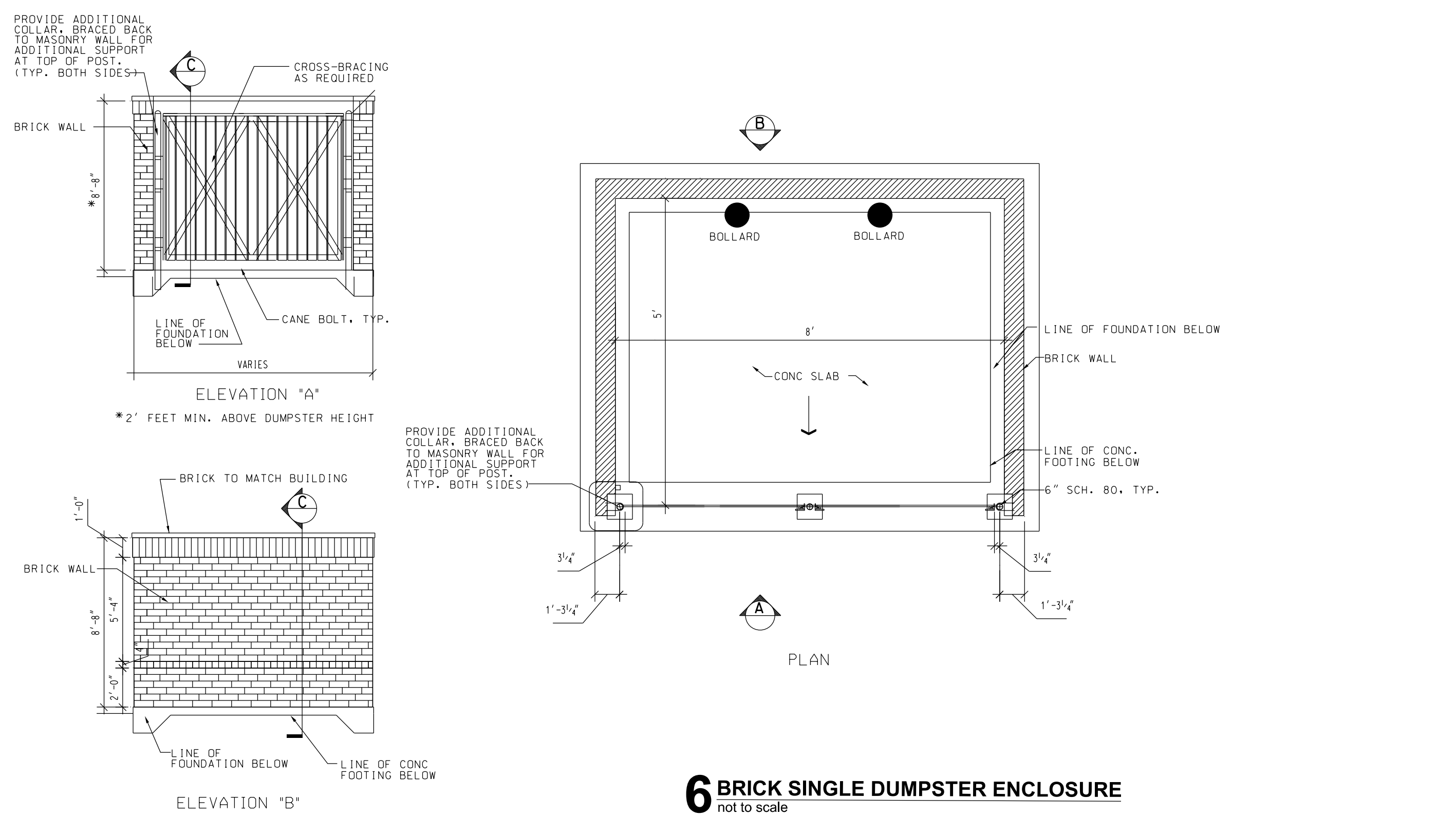
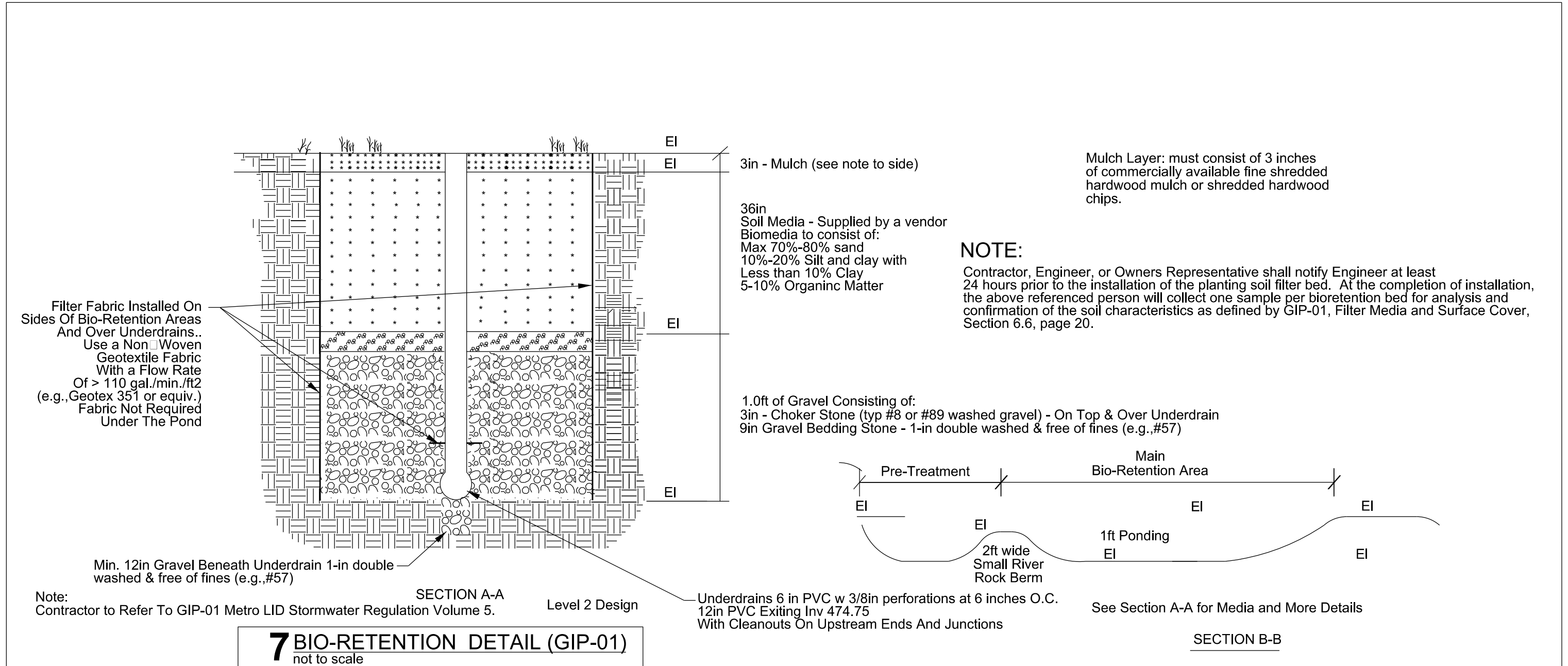
- Revisions:
- 19Oct23 - Property Line Change
 - 13Nov23 - Additional Planning Submittal
 - 22Dec23 - Additional Planning Submittal
 - 29Dec23 - Planning Comments Addressed
 - 25Jan24 - Planning Comments Addressed

Phase:
 Construction Drawings

Civil Details And SWPPP Notes

C7

ITEM # 6.



5 POOL FENCE DETAIL
 not to scale

4 WATERLINE DETAIL
 not to scale

3 HANDICAP PARKING SYMBOL
 not to scale

2 EXTRUDED CURB
 not to scale

1 HANDICAP PARKING SIGN
 not to scale

NOT FOR CONSTRUCTION

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**BARNETT
DESIGN
STUDIO**
131 3RD AVE N, SUITE 105 || FRANKLIN, TN || 37064
615.538.7750 || INFO@BARNETTDDESIGNSTUDIO.COM

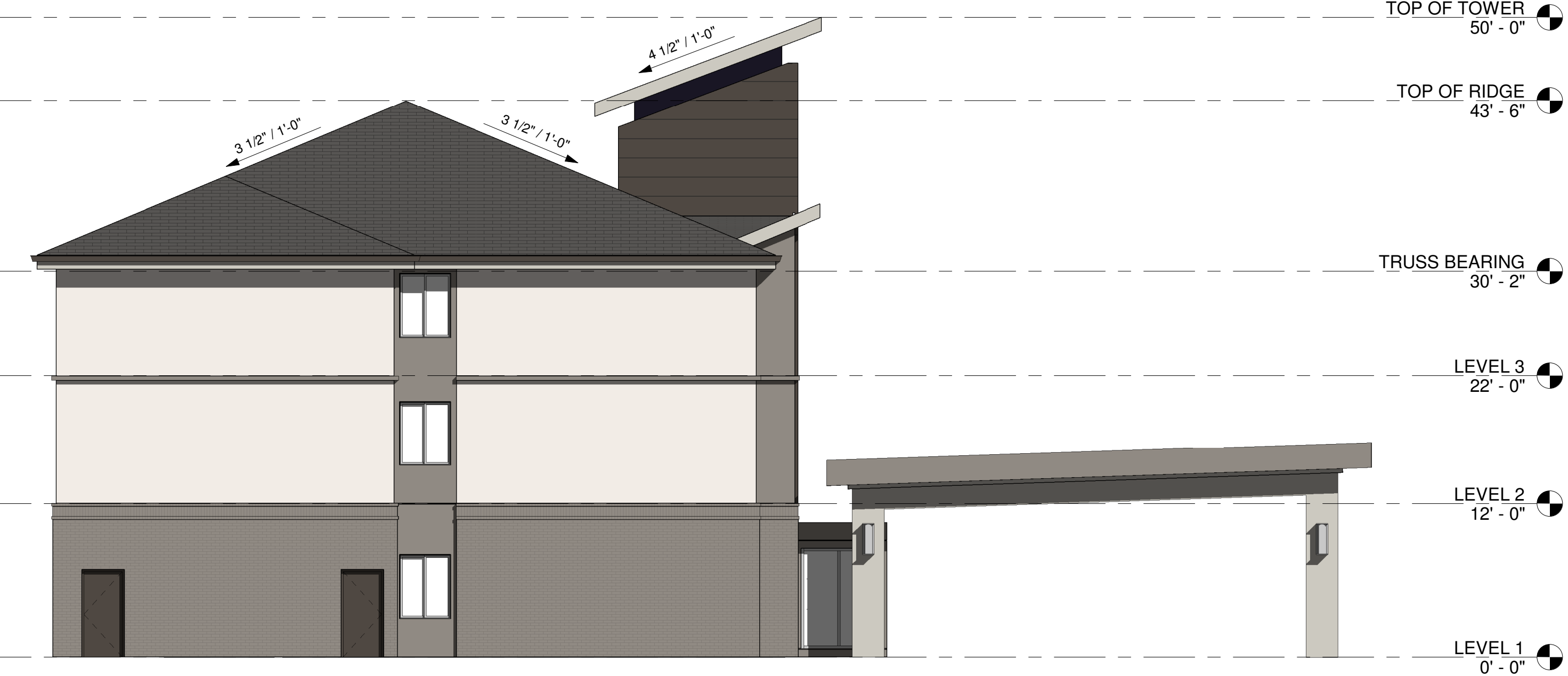
consultants:

project:

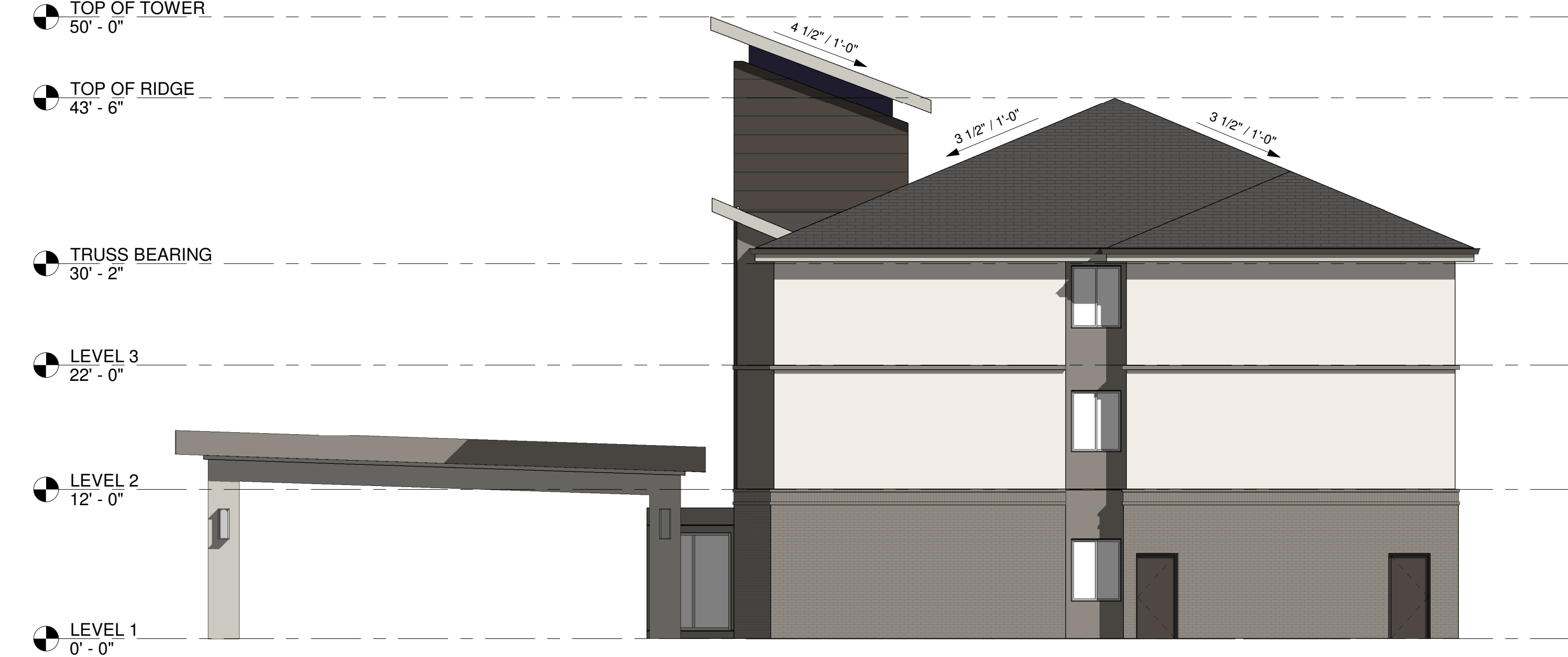
SLEEP INN
olde hedges ferry pike | ashland city, tn 37015



① front elevation
1/8" = 1'-0"



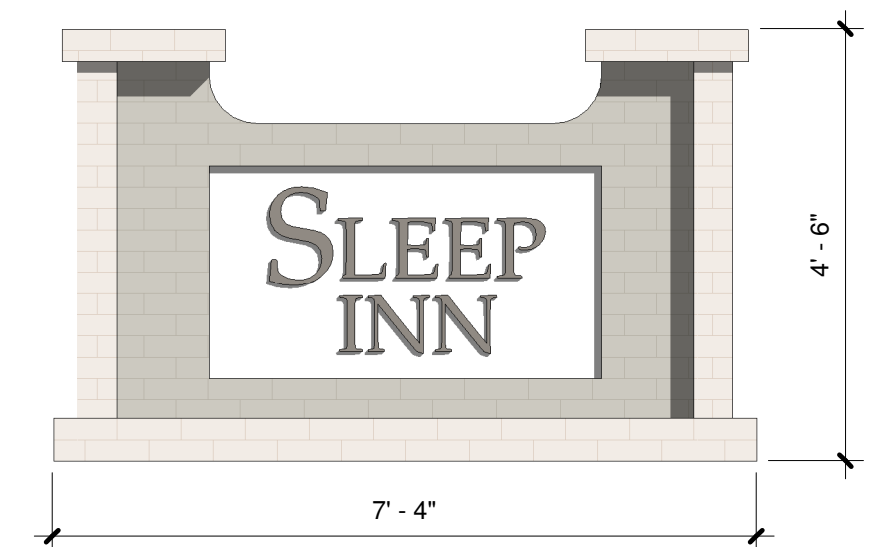
③ left elevation
1/8" = 1'-0"



④ right elevation
1/8" = 1'-0"



② rear elevation
1/8" = 1'-0"



⑤ monument sign
1/2" = 1'-0"

revisions

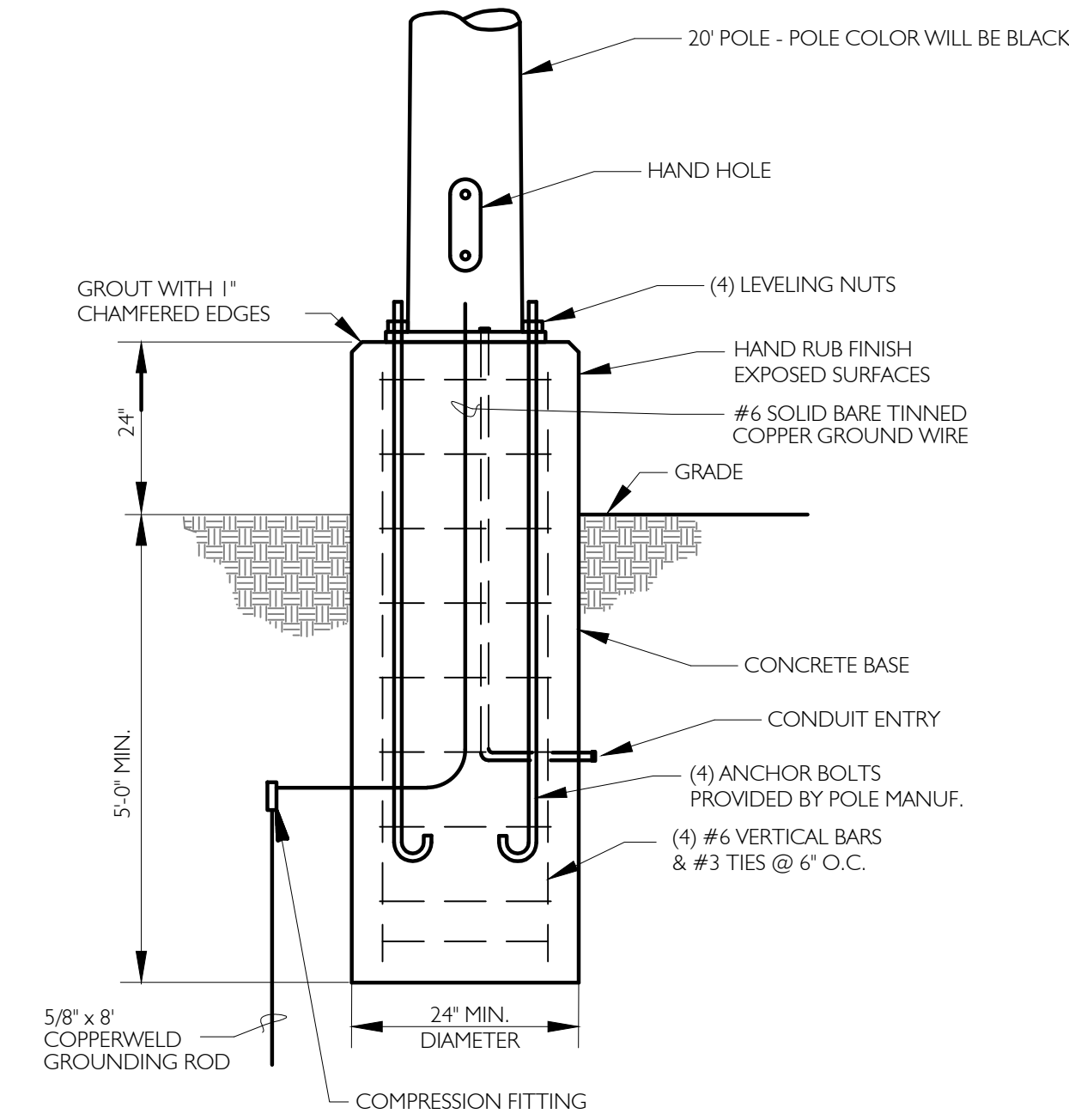
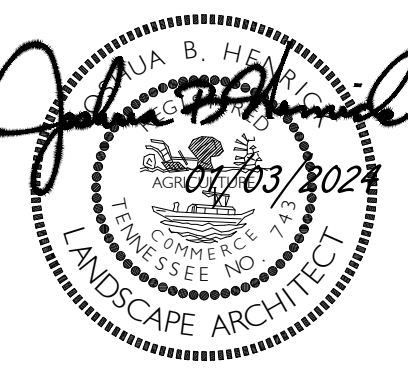
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date: 11.14.2023
project no.: 2312


EXTERIOR ELEVATIONS

a201

ITEM # 6



FOUNDATION DETAIL FOR OUTSIDE LIGHTING
NOT TO SCALE



D-Series Size 1 LED Area Luminaire

Specifications

EPA: 1.01 ft² (0.09m²)

Length: 33" (843mm)

Width: 13" (330mm)

Height: 7-1/2" (190mm)

Weight (max): 27 lbs (12.2kg)

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	Shipped included
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 3000K 40K 4000K 50K 5000K	T15 Type I short T25 Type II short T3M Type III medium T4M Type IV medium T5M Type V short T6M Type VI medium T7M Type VII medium T8M Type VIII medium T9M Type IX medium T10M Type X medium T11M Type XI medium T12M Type XII medium T13M Type XIII medium T14M Type XIV medium T15M Type XV medium T16M Type XVI medium T17M Type XVII medium T18M Type XVIII medium T19M Type XIX medium T20M Type XX medium T21M Type XXI medium T22M Type XXII medium T23M Type XXIII medium T24M Type XXIV medium T25M Type XXV medium T26M Type XXVI medium T27M Type XXVII medium T28M Type XXVIII medium T29M Type XXIX medium T30M Type XXX medium	120V 208V 240V 277V 347V ¹⁴ 480V ¹⁴	MVOLT ¹⁵ SPA RPA WBA SRBMA RPMBA	Square pole mounting Round pole mounting Wall bracket Square pole/external mounting adapter ¹⁶ Round pole/external mounting adapter ¹⁶

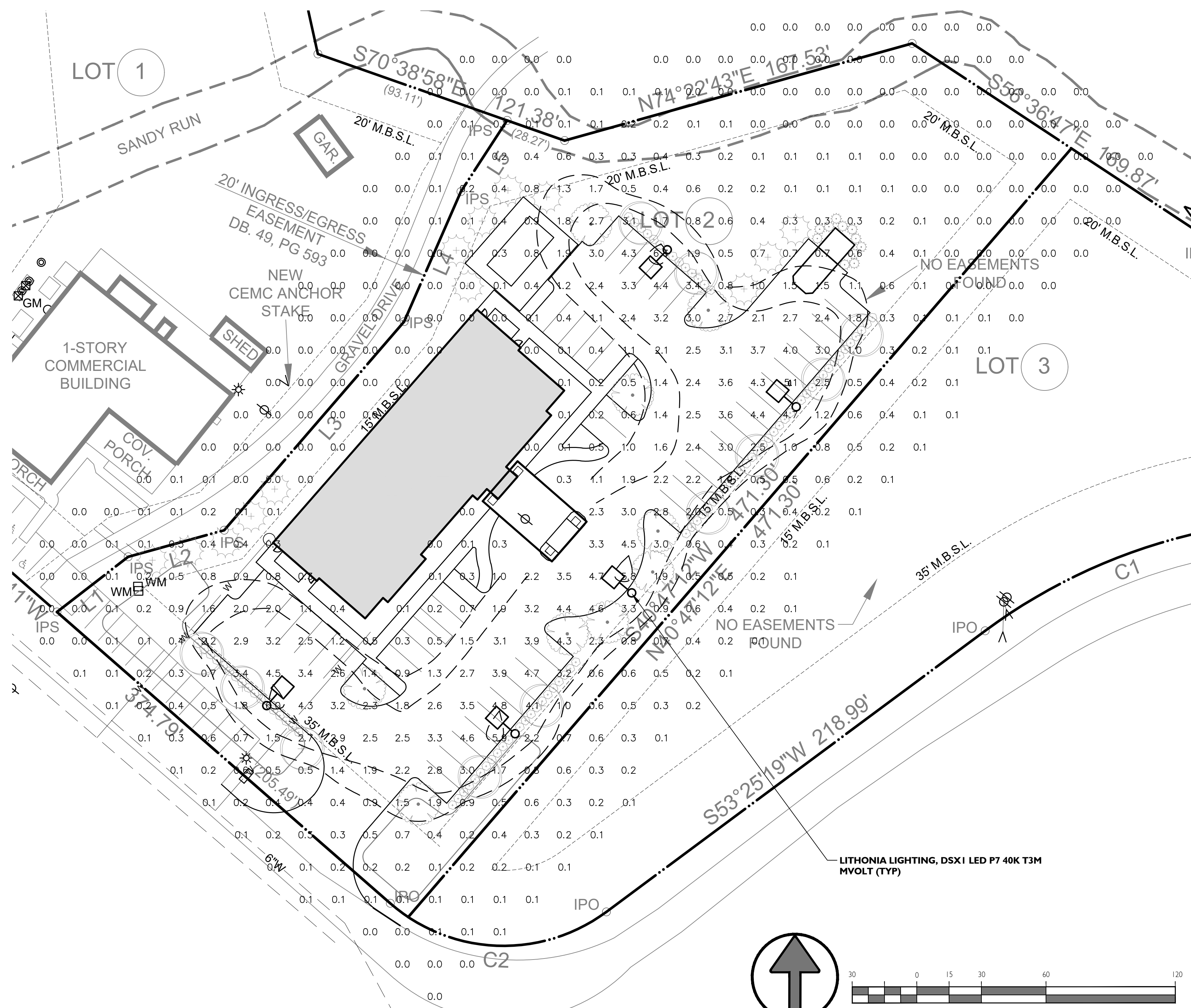
Control options

Control options	Other options	Finish
Shipped installed PER1 NEA (two-lock receptacle only) (controls ordered separately) ¹⁷ PER5 Five-wire receptacle only (controls ordered separately) ¹⁸ PER7 Seven-wire receptacle only (controls ordered separately) ¹⁹ DMG 0-10V dimming extend out back of housing for external control (leads exit front) DS Dual switching ²⁰ PBR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 56" ¹⁴ PBR1 Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 56" ¹⁴ PBR1CV Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ¹⁴	PBR1FCV Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ¹⁴ BLS0 Bi-level switched dimming, 30% ^{11,13} BLS5 Bi-level switched dimming, 50% ^{11,13} PAM203 Part right, dim 0/100 PAM203S Part right, dim 5/95 PAM203D Part right, dim 0/100 PAM203S Part right, dim 5/95 PAM203D Part right, dim 0/100 FAO Field adjustable output ²¹	DDBD Dark bronze DBLD Black DNAD Natural aluminum DWWD White DDBD Dark bronze DBLD Black DNAD Natural aluminum DWWD White DDBD Dark bronze DBLD Black DNAD Natural aluminum DWWD White

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	Shipped included
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Town of Ashland City

Building & Codes Department

233 Tennessee Waltz Parkway Suite 103
Ashland City TN 37015
(615) 792-6455

11. Location and area of open space. *Noted C2*
12. A table showing the ground coverage, total floor area and building heights. *Site Data on C2*
13. Location, dimension and heights of all fences and walls with materials specified. *None Planned.*
14. Location, type and amount of landscaping. *Landscape Plan Provided*
15. Proposed means of surface drainage, including locations and sizes of all culverts, ditches and detention structures, storm-water system to be designed as per the requirements of the Ashland City Planning Commission. *Surface Drainage to Bio-Retention Ponds.*
16. Dimensioned location of all easements and right-of-ways. *Shown. No proposed.*
17. Location of all portions of the site that are within the floodway and the 100-year floodplain. A note will be included which gives the FEMA map number from which this information was developed. In addition, if portions of the site are in the 100-year floodplain and/or the floodway, the 100-year flood elevation(s) at the site will be listed on the plan. *FEMA Note on C3. NO Floodplain on site*
18. Location, size, and distance to all public utilities serving the site including all fire hydrants. *Shown C2*
19. Location, by type and size of all proposed signs, (Please note that signs larger than 40 sq. ft. are not permitted per the sign ordinance for the Town of Ashland City. *Building Signs Shown on Elevations. Entrance sign 40SF*
20. Vegetation, show at minimum the following:
 - a. Existing tree masses and hedgerows
 - b. General description of the tree types and sizes within the tree masses *SEE Landscape Plans*
 - c. Location and identification of trees 15" in caliper (measured 4' above the ground) or larger
 - d. Description of landscaping requirements for the site based upon surrounding land uses (see Zoning Ordinance Section 3, 140)
21. Identification of slopes greater than 15% and identification of those soils (SCS soil mapping is acceptable) on those slopes. *No slopes > 15%*
22. Site plan application fee \$100 ✓
23. Additional engineering review etc., site inspection charges are subject to Section 14-301 of the Ashland City Municipal Code per Ordinance #165. ✓
24. Three (3) sets of the construction plans for the site. ✓



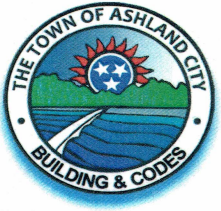
Town of Ashland City Building & Codes Department

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PLANNING COMMISSION SITE PLAN CHECKLIST

NAME OF SITE Sleep Inn
LOCATION 1203 Old Hydes Ferry Pike ZONING DISTRICT C2
OWNER TERRY JOSHUA REVOCABLE TRUST
ENGINEER Brian Hamilton, PE with Nashville Civil LLC

- Three (3) copies of the site plan. Please indicate at time of application if you would like any of the remaining copies after your case is heard and voted on. ✓
- Three (3) copies and an electronic PDF of revised site plans made available to the Fire, Building and Life Safety Department – according to planner/engineer comments. Also written response to all comments to match what was changed on revised site plans. ✓
- Location map of the site at a scale of not less than 1"=2000' (USGS map is acceptable). Map must show the following:
 - Approximate site boundary *Exact boundary provided*
 - Public streets in the vicinity *shown*
 - Types of development of surrounding parcels *Noted on C1*
 - Public water and sewer lines serving the site *Shown on all sheets*
 - Map # and Parcel # of site location *Noted All sheets*
- Site boundary, stamped and signed by a registered surveyor. *C1 - stamped*
- The shape, size and location of all existing buildings on the lot. *No Existing Buildings*
- The existing and intended use of the lot and of structures on it. If residential, give the number of dwelling units per building. *C2 - Site Plan Notes*
- Topographic survey of the site with contour intervals at no greater than 5' intervals, stamped and signed by a registered surveyor. *Survey Provided. 2ft contours*
- Location of all driveways and entrances with dimensions from the centerline of the drive to the nearest property corner and to the nearest intersection (if the intersection is closer than 200 feet). *Shown C2*
- Dimensioned layout and location of all parking spaces including handicapped spaces. *Centerline to PL - 56ft + 76ft to Intersection*
- Dimensioned layout and location of off-street loading bays and docks. *Shown on C2*



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25. Submittal must be made at least 20 working days prior to the Planning Commission meeting to be heard. ✓
26. If application is requesting a variance, application is to be submitted to the Building Official in accordance with Section 7.080 of the Ashland City Zoning Ordinance. ✓