



TOWN OF ASHLAND CITY
Planning Commission Meeting
December 02, 2019 5:30 PM
Agenda

Chairwoman: Melody Sleeper

Committee Members: Steve Allen, Justin Bell, Lisa Walker, Alberto Santacruz, Steven Stratton, Lisa Walker, Hadley Williams

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- [1.](#) Planning Commission Meeting Minutes 7-1-19

PUBLIC FORUM:

OLD BUSINESS:

2. Landscape Ordinance Review

NEW BUSINESS:

- [3.](#) Bison Counter top Site Plan and Landscaping Plan Review
- [4.](#) Reclassification of Zoning for 064 11.01

OTHER.

ADJOURNMENT

Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 615-792-6455, M-F 8:00 AM – 4:00 PM. The town will make reasonable accommodations for those persons.



TOWN OF ASHLAND CITY PLANNING COMMISSION MEETING MINUTES

July 1, 2019

5:30 PM at Ashland City Municipal Building
101 Court Street, Ashland City, Tennessee

CALL TO ORDER at 5:30 PM by Chairman Melody Sleeper.

ROLL CALL

Present: Chairman Melody Sleeper, Hadley Williams, Lisa Walker, Alberto Santacruz, and Mayor Steve Allen.

Absent: Ms. Carol Macha and Mr. Steve Stratton

CONSIDERATION OF AGENDA

A motion was made by Walker, seconded by Mayor to approve the agenda as written. Motion passed unanimously by voice vote.

CONSIDERATION OF MINUTES

A motion was made by Walker, seconded by Mayor to approve the June 3, 2019 meeting minutes as typed. Motion passed unanimously by voice vote.

PUBLIC FORUM None.

NEW BUSINESS

A. Site Plan Review/Approval- Caymas Boats. Ms. Anna Maddox stepped forward and stated she is with Barge Cauthen and Associates and is the engineer here for the site plan. Further, the site plan she is presenting tonight includes a 7,300 square foot office building and a 100,000 square foot warehouse. Mr. Gregory stated he spoke with Anna earlier today. He further stated there is an ordinance which requires sidewalks on all city streets; although, a sidewalk on this property really wouldn't serve a purpose. Chief Walker stated he, Mr. Gregory, and Ms. Kellie Reed had spoken with City Attorney Jennifer Noe prior to the meeting and an amendment to this ordinance will be placed on the council agenda for consideration to add verbiage of only being a requirement in the downtown district. Ms. Maddox questioned if they will be required to come back. Chief Walker responded no it can be done through staff approval. Mayor questioned what will need to be done if the council chooses not to amend the ordinance. Mr. Gregory stated if so they can come back to iron out details. A motion was made by Walker, seconded by Santacruz to approve the site plan with compliance with engineering comments and pending council approval of the sidewalk ordinance amendment. Vote on motion: Walker-yes, Santacruz-yes, Williams-yes, Mayor-yes, and Sleeper-yes.

OLD BUSINESS

A. Landscaping Ordinance Review. Ms. Reed stated Mr. Steve Stratton called earlier today and stated he would be unable to attend, but wanted to request the committee to defer the Landscaping Ordinance Review until next month in order for him to be able to attend the meeting. A motion was made by Mayor, seconded by Santacruz, to defer until next month's meeting. All approved by voice vote.

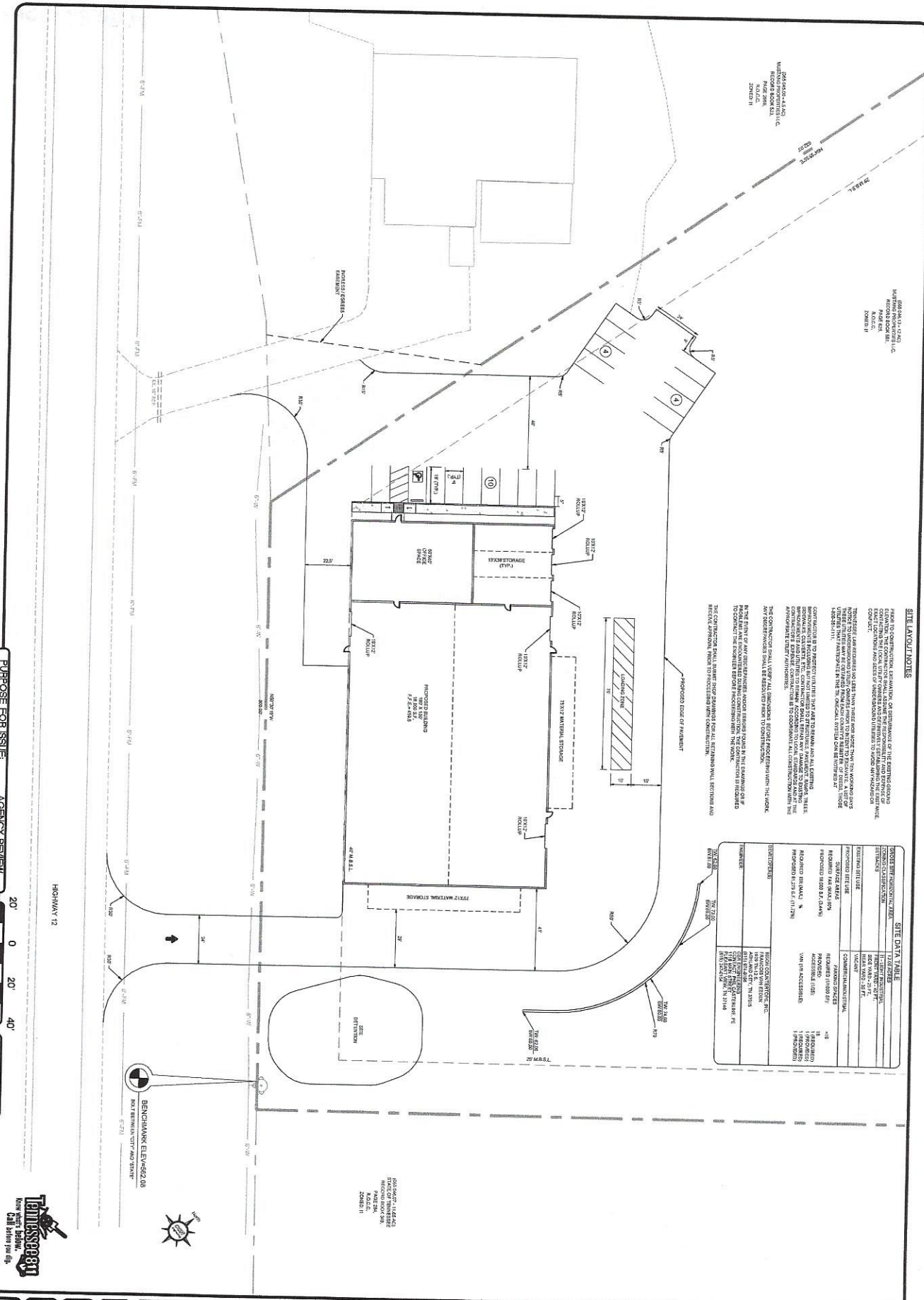
OTHER

A. Reschedule September 2, 2019 Meeting. After some discussion the committee agreed to reschedule the September 2, 2019 meeting to September 3, 2019 at 5:00 p.m. due to the Labor Day Holiday.

ADJOURNMENT

A motion was made by Williams, seconded by Walker to adjourn. Motion passed unanimously by voice vote. Meeting adjourned at 6:08 p.m.

Chairman Melody Sleeper



DEVELOPER: BISON COUNTERTOPS, INC.
 RECORD BOOK 651
 ZONE: H

DEVELOPER: BISON COUNTERTOPS, INC.
 RECORD BOOK 651
 ZONE: H

SITE LAYOUT NOTES

FROM THE CONTRACTOR TO THE OWNER: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES.

SITE DATA TABLE	
PROJECT/PROPOSAL NO.	17/07/2016
CLIENT	BISON COUNTERTOPS, INC.
PROJECT LOCATION	1115 MAIN STREET, ASHLAND, TN 37016
DESIGNED BY	CONSTRUCTION SYSTEMS
DESIGNED DATE	11/05/2016
REVISIONS	1. REVISION: 11/05/2016
REVISIONS	2. REVISION: 11/05/2016
REVISIONS	3. REVISION: 11/05/2016
REVISIONS	4. REVISION: 11/05/2016
REVISIONS	5. REVISION: 11/05/2016
REVISIONS	6. REVISION: 11/05/2016
REVISIONS	7. REVISION: 11/05/2016
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REVISIONS	9. REVISION: 11/05/2016
REVISIONS	10. REVISION: 11/05/2016
REVISIONS	11. REVISION: 11/05/2016
REVISIONS	12. REVISION: 11/05/2016
REVISIONS	13. REVISION: 11/05/2016
REVISIONS	14. REVISION: 11/05/2016
REVISIONS	15. REVISION: 11/05/2016
REVISIONS	16. REVISION: 11/05/2016
REVISIONS	17. REVISION: 11/05/2016
REVISIONS	18. REVISION: 11/05/2016
REVISIONS	19. REVISION: 11/05/2016
REVISIONS	20. REVISION: 11/05/2016

PURPOSE FOR ISSUE: AGENCY REVIEW
 SCALE: 1"=20'



REVISIONS			
NO.	DATE	BY	DESCRIPTION



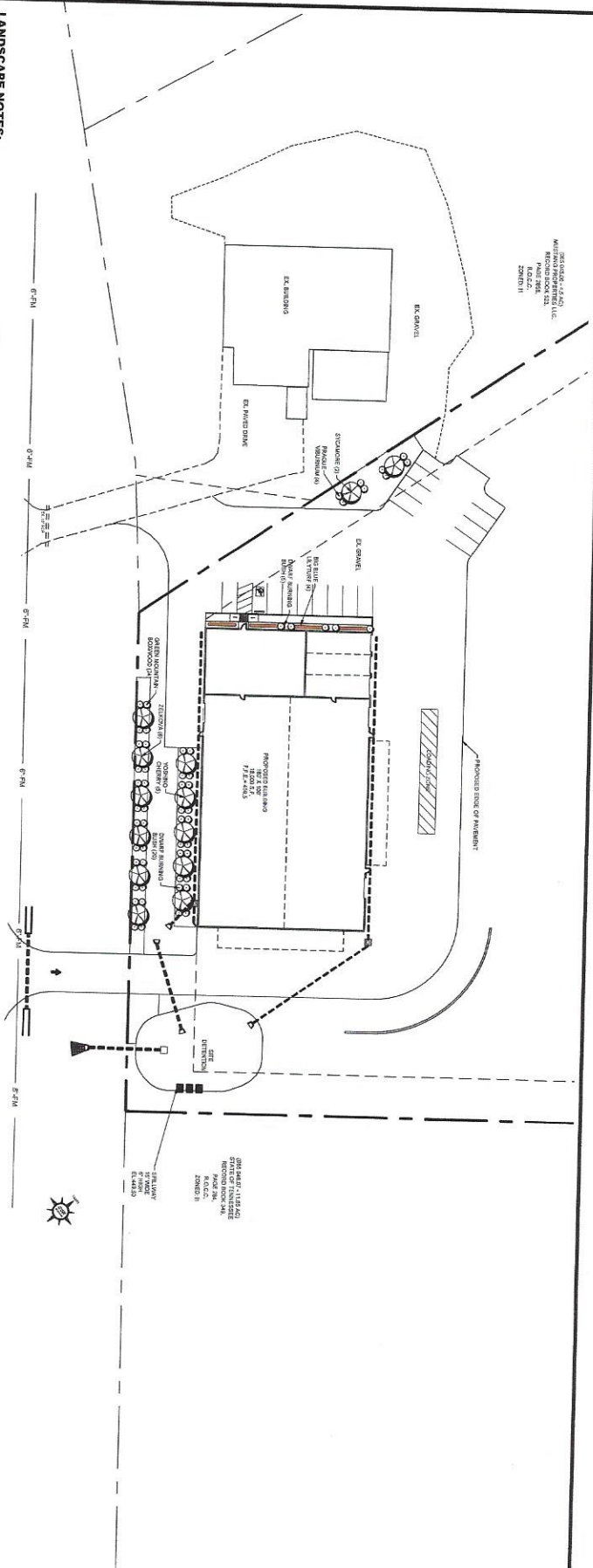
PROPOSED SITE PLAN
 FOR
BISON COUNTERTOPS, INC.
 LOT 15 HIGHWAY 12 SOUTH
 ASHLAND CITY, TN 37016
 CHEATHAM COUNTY

BISON COUNTERTOPS INC.

CSB Engineering, Inc.
 1115 Main Street
 Ashland, TN 37016
 P: 615-212-2393
 F: 615-212-2394
 www.csbe.com

ITEM # 3.

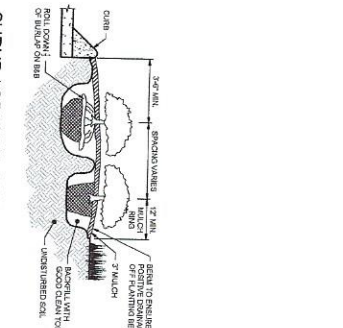
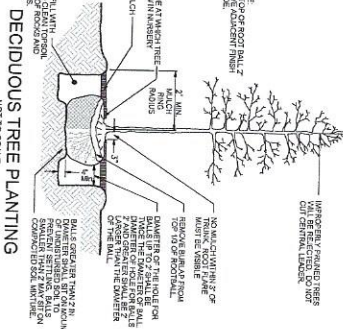
PROPOSED 11,584 SQ. FT. RECORD BOOK SHALL BE MAINTAINED IN THE RECORD BOOK ZONE II



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXISTING UTILITIES AND TO PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO EXISTING UTILITIES AND TO PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO EXISTING UTILITIES AND TO PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO EXISTING UTILITIES.
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12. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXISTING UTILITIES AND TO PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO EXISTING UTILITIES AND TO PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO EXISTING UTILITIES.

CITY COMMON NAME	PLANT SCHEME	HEIGHT	TRUNK	COMMENTS
1. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
2. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
3. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
4. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
5. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
6. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
7. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
8. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
9. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
10. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
11. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88
12. Green Yucca	Yucca glauca	10'-12'	2" DBH	8-88



LANDSCAPE CALCULATIONS

SITE AREA	EXISTING ZONING	LANDSCAPING REQUIREMENTS	ONE OF THE VEHICULAR USE AREA LANDSCAPING	REQUIRED	PROVIDED
66,808 S.F. (1.3 AC.)	L-1	3,388 S.F.	3,388 S.F.	3,388 S.F.	3,388 S.F.
		14"	14"	14"	14"
		6"	6"	6"	6"
		0	0	0	0

PURPOSE FOR ISSUE: AGENCY REVIEW

SCALE: 1"=30'

ITEM # 3.

BISON COUNTERTOPS INC.
 1115 North Street
 Memphis, TN 38117
 P: 901.272.2289
 F: 901.272.2289
 M: 901.272.2289

LANDSCAPING PLAN
 FOR
BISON COUNTERTOPS, INC.
 LOT 15 HIGHWAY 12 SOUTH
 ARLAND CITY, TN 37016
 CHEATHAM COUNTY

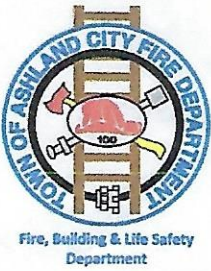


REVISIONS

NO.	DATE	BY	DESCRIPTION

DESIGNER: WH
REVIEWER: MC
PROJECT: 19-260

DATE: 9
SHEET: 1



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015
Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

Application for Reclassification of Property Under the Zoning Ordinance

Application Fee: \$100.00

Application is hereby made to the Mayor and City Council, which first must be reviewed by the City Planning Commission, to reclassify the property described below now in a MRPO R1 district.

DESCRIPTION OF PROPERTY (Attach Map): Map 62 Parcel 01300
Parcel ID 011062 01300
REZONE TO A MRPO DISTRICT

REASON FOR RECLASSIFICATION REQUEST Future development of the subject property

Address: NOT YET ASSIGNED

NOTE:

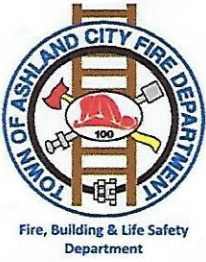
1. All applications for rezoning must be turned into City Hall no later than thirty (30) days prior to the upcoming planning commission meeting, if they are to be entertained at said meeting.
2. An accurate graphic plat prepared and stamped by a registered design professional and a legal description of property to be rezoned must be submitted to the Building Official prior to consideration by the City Commissioners. In certain circumstances (i.e. large annexation requests having irregular boundaries) these legal descriptions must be submitted prior to planning commission consideration.
3. The applicant will submit the names and addresses of all owners of adjacent property within 1,000 feet. The applicant must also submit a map showing the property within 200 feet of said property.

Nov 13, 2019

Applicant Signature

Date

Hunter Gordon
hunter@huntergordon.com
615-792-0100



Ashland City Fire, Building & Life Safety Department

101 Court Street
Ashland City TN 37015

Fire & Life Safety: (615) 792-4531 – Building Codes (615) 792-6455

Application for Reclassification of Property Under the Zoning Ordinance

Application Fee: \$100.00

Application is hereby made to the Mayor and City Council, which first must be reviewed by the City Planning Commission, to reclassify the property described below now in a R1 - C1 district.

DESCRIPTION OF PROPERTY (Attach Map): Map 64 Parcel 11.01
2.47 Acres with 600 LF of Hwy 12 Frontage
and 400 LF of Caldwell Rd Frontage + Access

REASON FOR RECLASSIFICATION REQUEST Construction Equipment Rental Services

Address: _____

NOTE:

1. All applications for rezoning must be turned into City Hall no later than thirty (30) days prior to the upcoming planning commission meeting, if they are to be entertained at said meeting.
2. An accurate graphic plat prepared and stamped by a registered design professional and a legal description of property to be rezoned must be submitted to the Building Official prior to consideration by the City Commissioners. In certain circumstances (i.e. large annexation requests having irregular boundaries) these legal descriptions must be submitted prior to planning commission consideration.
3. The applicant will submit the names and addresses of all owners of adjacent property within 1,000 feet. The applicant must also submit a map showing the property within 200 feet of said property.

[Signature] 10-31-19
Applicant Signature Date

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCE IN BOOK NUMBER 528, PAGE 482, COUNTY REGISTERS OFFICE, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC WAYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED.

Name _____ Date _____

HUSSAEN ISMAIL PHONE: 615-440-0419
2121 HIGHWAY 12 SOUTH, UNIT 104
ASHLAND CITY, TN 37015

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS IS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN, HEREON; THAT THIS IS A CLASS "A" LAND SURVEY AS DEFINED IN TITLE 62, CHAPTER 18, TENNESSEE CODE ANNOTATED, AND THAT THE RATIO OF PRECISION IS GREATER THAN OR EQUAL TO 1:10,000.

Name STEVEN D. DELLE Date DECEMBER 04, 2017

COMMISSION APPROVAL

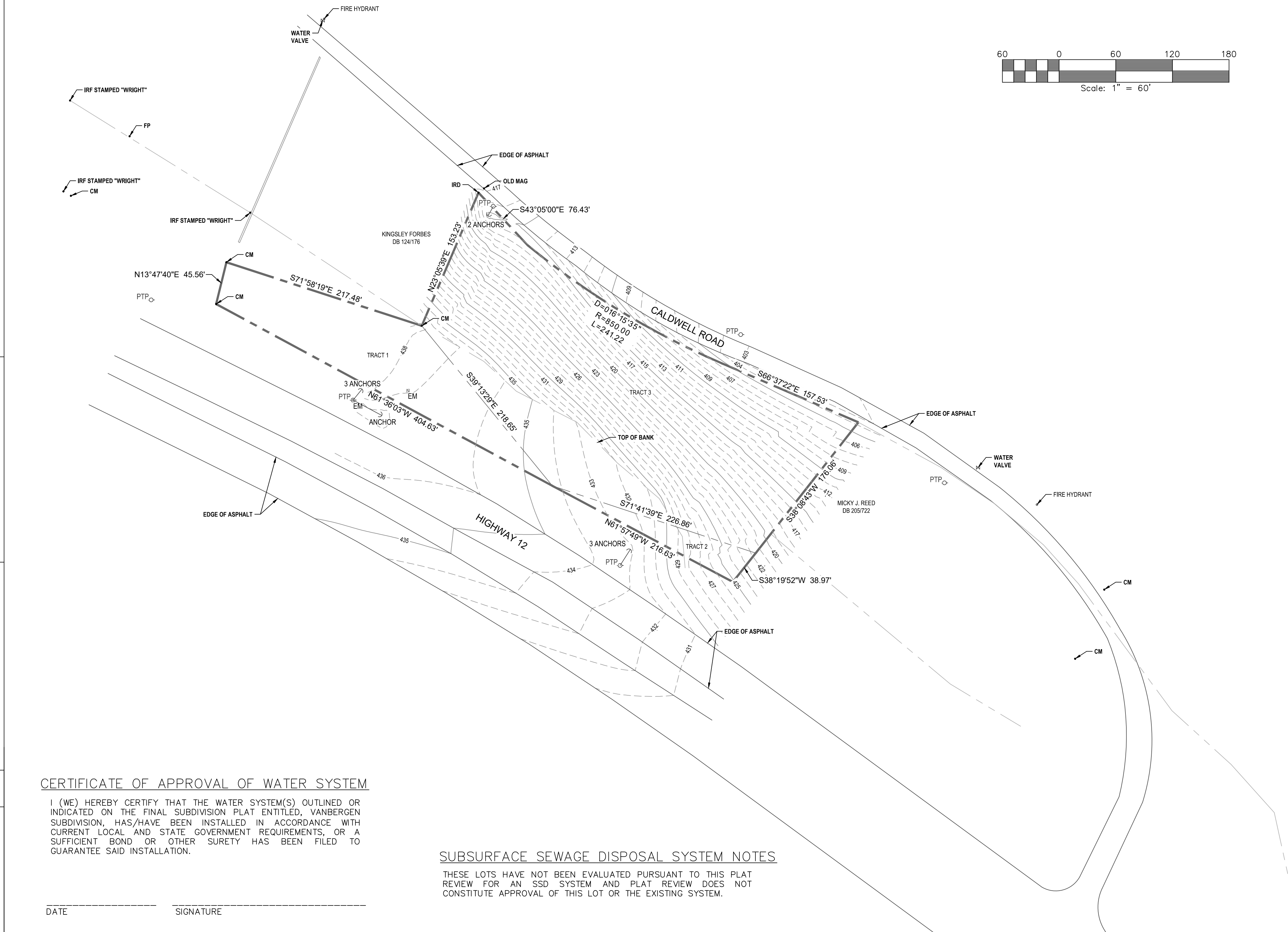
I HEREBY CERTIFY THAT THE SUBDIVISIONS PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE _____ SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE _____ SECRETARY, PLANNING COMMISSION

APPLICATION NUMBER:

GENERAL NOTES

1. THE PURPOSE OF THIS PLAT IS TO REDIVIDE THREE TRACTS
2. THIS SURVEY MEETS THE REQUIREMENTS OF AN "URBAN LAND SURVEY" AS PER CHAPTER 08220-3 OF STANDARDS OF PRACTICE AS ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYOR'S FOR THE STATE OF TENNESSEE, DATED SEPTEMBER 29, 1980.
3. ALL LOTS ARE TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER. INDIVIDUAL WATER AND SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH PARCEL.
4. MINIMUM BUILDING SETBACKS ARE DETERMINED BY THE CHEATHAM COUNTY ZONING REGULATIONS. PROPERTY IS ZONED R1 LOW DENSITY RESIDENTIAL.
5. THE PROPERTY SHOWN HEREON CONTAINS 103,320 SQUARE FEET OR 2.372 ACRES OF LAND MORE OR LESS.
6. PROPERTY CORNERS SHOWN THUS -0- ARE MARKED BY IRON RODS.
7. THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A FLOOD ZONE PER THE LATEST FLOOD INSURANCE PROGRAM MAP PANEL NO. 47021C-0251D, EFFECTIVE SEPTEMBER 17, 2010.
8. BEARINGS SHOWN ARE ON THE SURVEY ARE STATE PLANE.



CERTIFICATE OF APPROVAL OF WATER SYSTEM

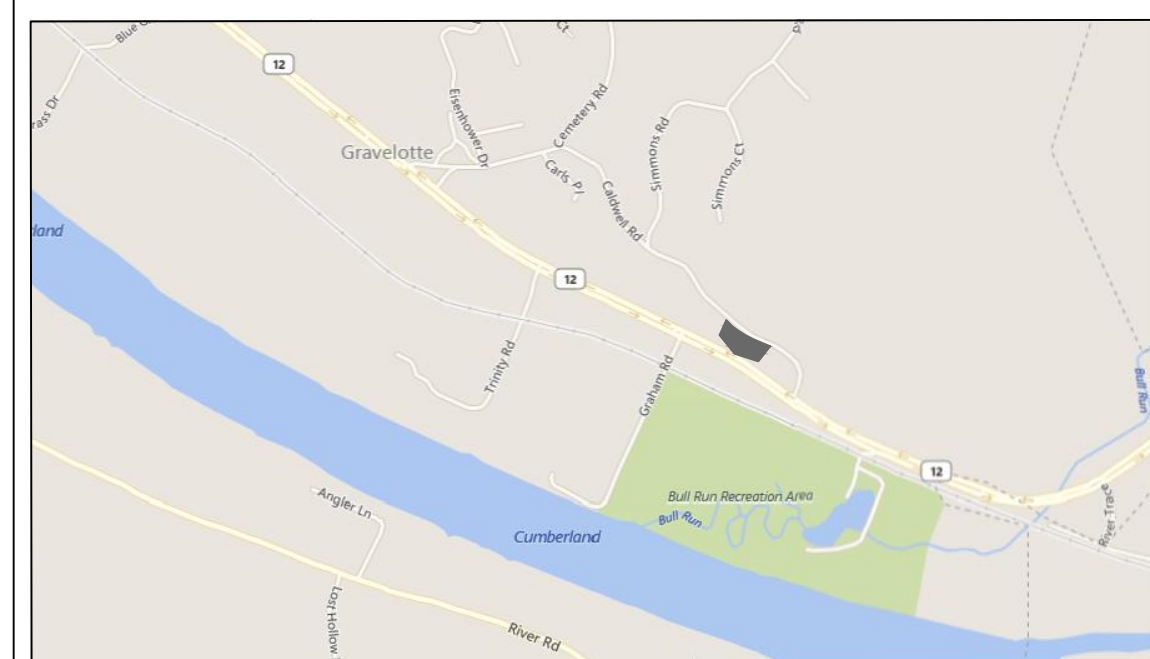
I (WE) HEREBY CERTIFY THAT THE WATER SYSTEM(S) OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED, VANBERGEN SUBDIVISION, HAS/HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE _____ SIGNATURE _____

SUBSURFACE SEWAGE DISPOSAL SYSTEM NOTES

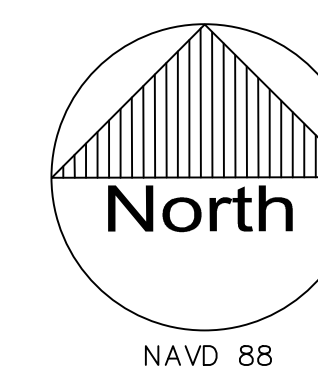
THESE LOTS HAVE NOT BEEN EVALUATED PURSUANT TO THIS PLAT REVIEW FOR AN SSD SYSTEM AND PLAT REVIEW DOES NOT CONSTITUTE APPROVAL OF THIS LOT OR THE EXISTING SYSTEM.

Vicinity Map NTS



PLAT CALDWELL SUBDIVISION

TAX MAP/PARCEL: 64/11.01
DEED: 528 / 482
ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE
DATE: DECEMBER 04, 2017
SCALE: 1" = 60'
CASE NO.:



DELLE LAND SURVEYING
408 NESBITT LANE
MADISON, TN 37115
(615) 865-4242