



**TOWN OF ASHLAND CITY**  
**Planning Commission Meeting**  
**July 11, 2022 5:30 PM**  
**Agenda**

**Chairwoman:** Nicole Binkley

**Committee Members:** Gerald Greer, Vivian Foston, JT Smith, Steven Stratton, Mike Stuart

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**CALL TO ORDER**

**ROLL CALL**

**APPROVAL OF AGENDA**

**APPROVAL OF MINUTES**

- [1.](#) June 06, 2022 Planning Commission Meeting Minutes

**PUBLIC FORUM**

**OLD BUSINESS**

- [2.](#) Final Site Plan Review: 2437 Bell Street

**NEW BUSINESS**

3. Site Plan: 1219 Hwy 12S

**OTHER**

**ADJOURNMENT**

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*Those with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, should contact the ADA Coordinator at 615-792-6455, M-F 8:00 AM – 4:00 PM. The town will make reasonable accommodations for those persons.*



**TOWN OF ASHLAND CITY**  
**Planning Commission Meeting**  
**June 06, 2022 5:30 PM**  
**Minutes**

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**CALL TO ORDER**

Chairman Stratton called the meeting to order at 5:30 p.m.

**ROLL CALL**

PRESENT

Chairman Steven Stratton  
Committee Member Nicole Binkley  
Committee Member Vivian Foston  
Committee Member Gerald Greer  
Committee Member Michael Smith  
Committee Member Mike Stuart  
Committee Member JT Smith

**APPROVAL OF AGENDA**

A motion was made by Committee Member Stuart, seconded by Committee Member Greer, to approve the agenda. All approved by voice vote.

**APPROVAL OF MINUTES**

1. May 02, 2022 Planning Commission Meeting Minutes

A motion was made by Committee Member Foston, seconded by Committee Member Binkley, to approve the May 02, 2022 Planning Commission Meeting Minutes. All approved by voice vote.

**PUBLIC FORUM**

None.

**ELECT OFFICERS**

\*Chairman Stratton welcomed Mayor Smith to the board.

**Chair Nominations** - Chairman Stratton opened the floor for Chair nominations. Committee Member Greer nominated Committee Member Binkley. The floor was closed for nominations and a motion was made by Committee Member Greer, seconded by Committee Member Foston, to appoint Committee Member Binkley as Chairman. Voting Yea: Chairman Stratton, Committee Member Binkley, Committee Member Foston, Committee Member Greer, Committee Member Michael Smith, Committee Member Stuart, Committee Member JT Smith.

**Vice-Chair Nominations** - Chairman Stratton opened the floor for Vice Chair nominations. Committee Member Michael Smith nominated Committee Member Greer. The floor was closed for nominations and a motion was made by Committee Member Smith, seconded by Committee Member Foston, to appoint Committee Member Greer as Vice Chairman. Voting Yea: Chairman Stratton, Committee Member Binkley, Committee Member Foston, Committee Member Greer, Committee Member Michael Smith, Committee Member Stuart, Committee Member JT Smith.

**Secretary Nominations** - Chairman Stratton opened the floor for nominations for Secretary. Committee Member Greer nominated Ms. Alicia Martin. The floor was closed for nominations and a motion was made by Committee Member Greer, seconded by Committee Member Binkley, to appoint Ms. Martin as Secretary. Voting Yea: Chairman Stratton, Committee Member Binkley, Committee Member Foston, Committee Member Greer, Committee Member Michael Smith, Committee Member Stuart, Committee Member JT Smith.

**OLD BUSINESS**

2. Pole Signs

Mr. Gregory stated that we discussed this last month and he wanted to follow up on it to explain why they asked for it to be reconsidered again. He stated that the Ordinance states that poles have to be ten (10) feet from the right-of-way and anything between ten (10) and twenty (20) feet has to be a monument sign. Mr. Gregory stated that we have had several site plans come through and approve pole signs in the 10-20 foot mark. He stated that he is asking the

committee to remove the requirement of the monument sign. Mr. Gregory stated that they could still have a monument sign if they wanted, but it would remove the requirement. Chairman Stratton asked if the 20 foot setback needed to be removed. Mr. Gregory stated yes. Committee Member Greer asked why it was originally done that way. Mr. Gregory stated that it was cut and pasted from another City. Committee Member Michael Smith asked if they did away with it, what would it mean. Mr. Gregory stated that pole signs could be 10 feet from the right-of-way. After much discussion, a motion was made by Committee Member Stuart, Seconded by Committee Member JT Smith, to remove the twenty (20) foot restriction. Voting Yea: Chairman Stratton, Committee Member Greer, Committee Member Michael Smith, Committee Member Stuart, Committee Member JT Smith. Voting Nay: Committee Member Binkley, Committee Member Foston.

### **NEW BUSINESS**

3. Billboard Discussion

Mr. Gregory stated that his is just for information. He stated that the owner of the billboard on Highway 12 next to the old Jackson Liquor store wants to change the size of the billboard. Mr. Gregory stated that our sign ordinance does not have a provision for billboards. He stated that the ordinance states that you cannot make a non-conforming structure more non-conforming, but State law says that they can go up one size. Mr. Gregory stated that is what they want to do and make it electronic. He stated that there is nothing we can do about it and they know the regulations well.

4. Rezone Request Parcel 049 O 019 03

Mr. Nicholson stated that this is Mr. Dean Norwood's property and it is the old Mayfield bookstore. He stated that it is currently zoned R3 and they are unable to find any documentation after 1973. Mr. Nicholson stated that everything around the property is zoned C1 or C2. He stated that Mr. Norwood purchased the property in 2019 and they are trying to clean up that area. Mr. Nicholson stated that Hardee's is still R4. He stated that they are asking for it to be rezoned to C2. A motion was made by Committee Member Greer, seconded by Committee Member Stuart to rezone the property from R3 to C2. Voting Yea: Chairman Stratton, Committee Member Binkley, Committee Member Foston, Committee Member Greer, Committee Member Michael Smith, Committee Member Stuart, Committee Member JT Smith.

5. Rezone Request 055C U 009.00

Ms. Patty Kennedy stated that the property she is wanting to rezone is located at 109 Turner Street, right next to where Mr. Steve Reigle built those new houses. She stated that there will be six (6) houses on 1.6 acres. Committee Member Michael Smith questioned if that would be a good idea since we have already received so many complaints about flooding from water runoff there. Chairman Stratton stated there are water pressure issues too. Ms. Kennedy stated that she is not saying they will do six (6) they just know that is their max. After much discussion a motion was made by Committee Member Binkley, seconded by Committee Member Foston, to rezone the property from R3 to R4 PUD. Voting Yea: Chairman Stratton, Committee Member Binkley, Committee Member Foston, Committee Member Greer, Committee Member Michael Smith, Committee Member Stuart, Committee Member JT Smith.

### **OTHER**

None.

### **ADJOURNMENT**

A motion was made by Committee Member Stuart, seconded by Committee Member Greer, to adjourn the meeting. All approved by voice vote and the meeting adjourned at 6:15 p.m.

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CHAIRMAN STRATTON

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CITY RECORDER ALICIA MARTIN

# MULTI-FAMILY SITE PLAN FOR *2543 Bell St. Townhomes Phase 2*

CITY OF ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

### CONVENTIONAL SIGNS

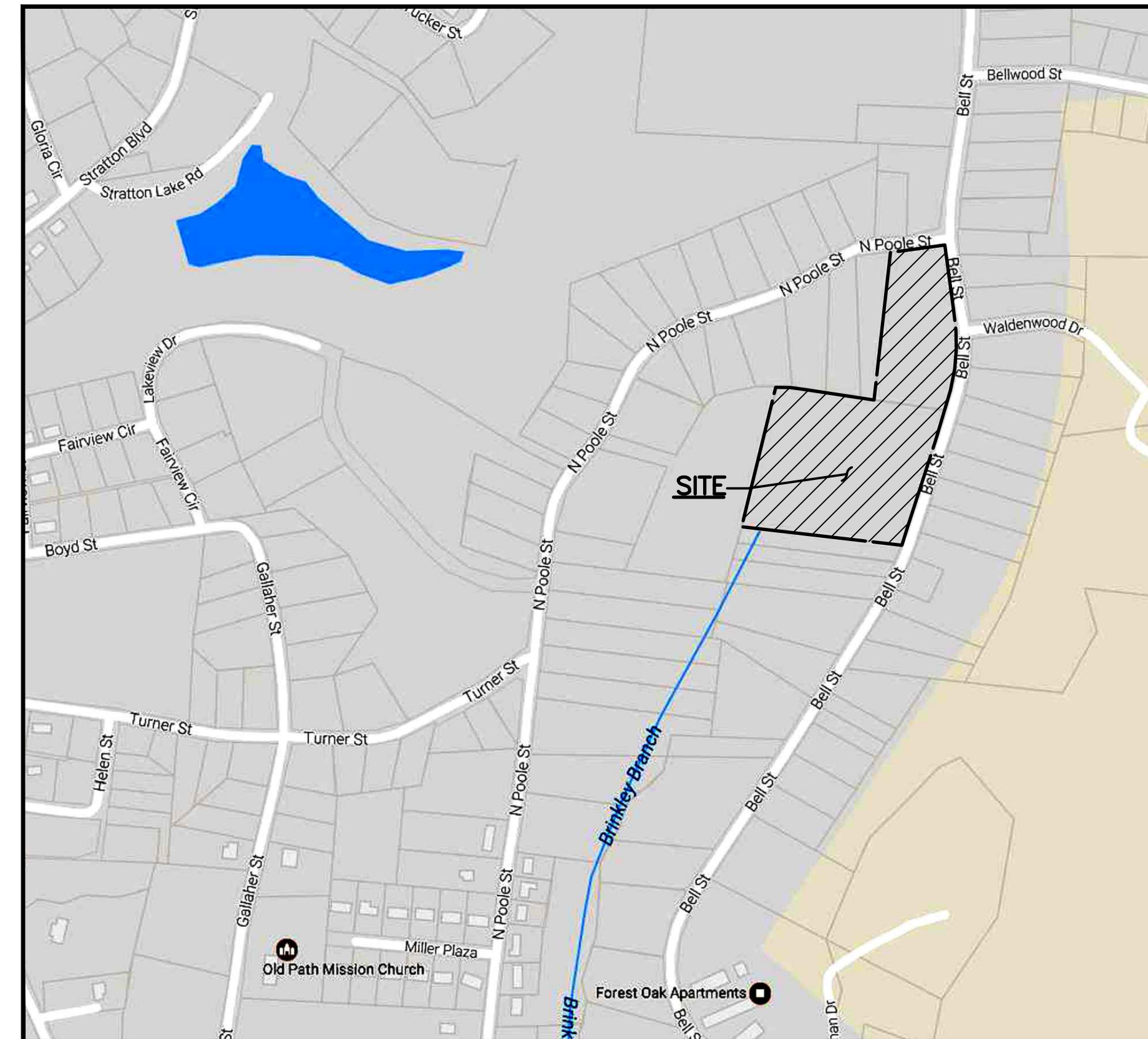
	PROPOSED	EXISTING
SANITARY SEWER	—S—	-S-
STORM SEWER	—ST—	-ST-
WATERLINE	—W—	-W-
SANITARY MANHOLE	●	⊙
STORM MANHOLE	●	⊙
CATCH BASIN	■	⊞
YARD BASIN	●	⊙
HYDRANT	▼	⊙
CENTERLINE	—	-

### SITE DATA

PROJECT NAME: MULTI-FAMILY SITE PLAN  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ADDRESS: 2543 BELL STREET  
 CITY: ASHLAND CITY  
 COUNTY: CHEATHAM  
 STATE: TN  
 PARCEL: 055E B 00200 000 AND 055E B 00100 000  
 EXISTING ZONING AND CHARACTER AREA OVERLAY: R-3  
 PROPOSED ZONING: R-4 PUD  
 ACREAGE OF SITE: 6.512  
 SQUARE FOOTAGE OF SITE: 283,675  
 MINIMUM REQUIRED SETBACK LINES:  
 YARD FRONTING ON ANY STREET: 35 FEET  
 SIDE YARD: 15 FEET  
 REAR YARD: 20 FEET

OWNER: MARK DRIVER AND DIXIELAND COMPANY  
 ADDRESS: 119 CUMBERLAND STREET, ASHLAND CITY, TN 37015  
 PHONE: No.: 615-432-2919  
 E-MAIL ADDRESS: sreigle@realtracs.com  
 CONTACT NAME: STEVE REIGLE

BUILDING SQUARE FOOTAGE: 950 SF/HOME MAX.  
 BUILDING TOTAL: 19,950 SF  
 BUILDING HEIGHT: 35' MAX  
 MINIMUM PARKING REQUIREMENT: 42 SPACES  
 PARKING PROVIDED:  
 SURFACE SPACES 51 (INCLUDES 2 PER UNIT PLUS 9 VISITOR SPACES)



**LOCATION MAP**  
N.T.S.

### INDEX OF SHEETS

TITLE SHEET	CO.0
GENERAL NOTES AND DETAILS	CO.1
EXISTING SITE CONDITIONS AND DEMOLITION PLAN	C1.1
SITE GEOMETRICS PLAN	C2.1
SITE GRADING PLAN	C3.1
UTILITY AND EROSION DETAILS	C5.1-C5.2
SITE UTILITY PLAN	C5.3-C5.4

### BENCH MARK DATA

**SITE BENCHMARK:**  
 SEWER MANHOLE  
 TOP OF CASTING  
 N: 708093.13  
 E: 1659366.97  
 ELEV: 626.97 (DATUM IS NAVD88)

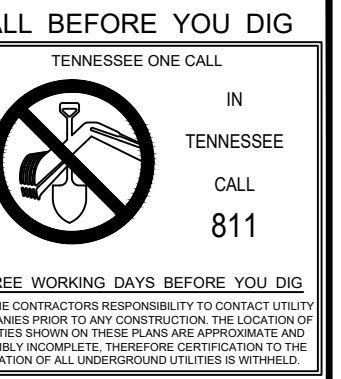
### DEVELOPED BY:

REGAL HOMES  
 119 CUMBERLAND ST.  
 ASHLAND CITY, TN 37015  
 615-403-7002

### NOTES:

THE CITY OF ASHLAND CITY, IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ASHLAND CITY, WATER MANAGEMENT, NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

CONSTRUCTION OF PHASES 1 AND 2 SHALL COMPLY WITH THE ASHLAND CITY LANDSCAPE/TREE ORDINANCE.

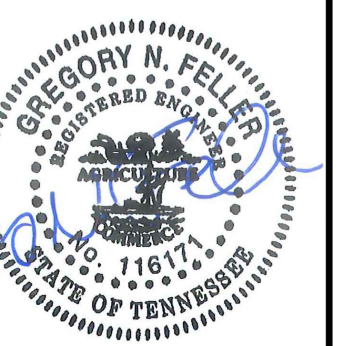


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TITLE SHEET  
 MULTI-FAMILY SITE PLAN FOR  
 2543 BELL ST. TOWNHOMES  
 ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE



SCALE: AS NOTED  
 DATE: 4-28-22  
 DRAWN BY: DEM  
 DESIGN: DRK CHECK: GNF  
 PROJECT: 50E00017  
 DRAWING: 50-00017GS00A4  
 SHEET **CO.0**

**GENERAL NOTES (Site, Storm and Pavement)**

**SPECIFICATIONS**

Except as modified by these plans and by the City of Ashland City Specifications, all work shall be governed by the Tennessee Department of Transportation, "Standard Specifications for Road and Bridge Construction" dated January 1, 2015 and supplements thereto.

**UNDERGROUND UTILITIES AND ADJUSTMENTS**

The location of existing utilities shown on these plans is approximate. The exact location shall be verified by the contractor. Any and all adjustments or extensions required for public or private utilities will be done by and at the expense of their respective owners, unless otherwise noted on the plans.

In Tennessee it is a requirement per "The underground utility damage prevention act" that anyone who engages in excavation activities must notify all known utility owners, no less than three (3) or more than ten (10) working days prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds. Those utility owners who participate in the Tennessee One Call program can be notified at 1-800-351-1111.

**EXISTING BENCHMARKS, MONUMENTS AND CONTROL POINTS**

Existing survey monuments, bench marks, property corner points and control points damaged or disturbed by construction will be replaced by a registered land surveyor at the expense of the contractor. Should the contractor fail to properly replace these points, the Owner shall replace these points at the Contractors expense, after three (3) weeks' notice.

**EXISTING STORM DRAINAGE**

Before starting work, a representative of the Owner and the contractor shall make a visual inspection of the existing storm sewers and drains within the work limits. A record of the inspection shall be kept in writing by the Owner. Any change in the condition resulting from the contractors operations shall be corrected, upon completion of the work, to the satisfaction of the Owner, at no cost to the Owner, including the regrading of ditches and swales to drain properly. The contractor shall conduct his operations so as to maintain storm sewer flows at all time and shall promptly replace in kind any storm sewers disturbed by construction.

**ADA**

All construction activities shall be in compliance with the requirements of the Americans with Disabilities Act (ADA) in effect at the time in which the construction activities are performed.

All sidewalks on site shall be ADA compliant in accordance with Ashland City requirements. Maximum cross slope allowed is 2%.

**ROOF DRAINS**

Roof drains, foundation drains and all other clean water connections to the sanitary sewer are prohibited.

**RESTORATION OF RIGHT OF WAY**

All existing features in existing rights of way that are disturbed due to construction, such as: mailboxes, shrubs, bushes, guardrail, driveways, swales, sewers, catch basins, berms, seeded areas, etc. shall be replaced to their original condition to the satisfaction of the Owner.

**SITE CLEANUP**

The contractor is responsible for ensuring the site is clean and in operable condition at the time of final acceptance.

**HAUL ROUTES**

The Contractor shall be responsible for the cleanup of any mud, dirt or debris deposited on haul roads as a result of his operations. Cleanup operations shall be as directed by the Owner and to the satisfaction of the City.

**INSURANCE**

No contractor or subcontractor shall start any work until the approved certificate of liability insurance is filed with The Owner naming The Owner as the insured.

**SAFETY REQUIREMENTS**

The Contractor shall at all times follow the State and local safety requirements during construction of this project. Special care shall be taken during all trenching operations. Sheeting and bracing, cribbing, etc. must be installed to provide maximum safety to the contractor's workers in full compliance with Occupational Safety and Health Administration (OSHA) regulations.

**SITE CONSTRUCTION**

**EXISTING CONDITIONS**  
The contractor shall visit the job site prior to bidding for verification of all existing conditions and interferences.

**SITE GRADING AND DRAINAGE**

The approved site grading and drainage may not be changed without the approval of City of Ashland City.

**CLEARING AND GRUBBING**

All existing trees, vegetation, and organic topsoil shall be stripped and removed from the construction area. All existing structures and foundations shall be removed with all voids filled in, if necessary. Removed topsoil may be used as embankment in areas outside of the building or pavement influence.

**EXCAVATION AND EMBANKMENT**

Excavation and embankment operations under the proposed pavement areas shall be in accordance with the Tennessee Department of Transportation, "Standard Specifications for Road and Bridge Construction" dated January 1, 2015 and supplements thereto. Excavation and embankment operations under the proposed building pad shall be in accordance with the specifications below. Where discrepancies exist between the TDOT specs and the specs below, the more stringent specs shall apply under the building pad area.

All grading operations, excavation, fill, compaction testing and backfill shall be observed and tested by a qualified Soils Engineer.

No fill shall be placed prior to approval of the subgrade by the Soils Engineer.

Unauthorized excavation below bottom of proposed foundation elevations shall be filled with lean concrete or compacted granular fill.

Contractor is to be responsible for removal of all existing unsuitable soil materials, including topsoil, from the proposed building pad and pavement areas. All existing underground debris is to be removed, including but not limited to, existing footings, foundation walls, mulch, tree roots, etc. Topsoil may be stored on site and used as fill material in lawn/grass areas only.

Remove all below grade wood and metal from proposed building pad area.

Do not permit a new foundation to bear directly on an existing footing or rigid body.

Remove any and all old backfill materials from around the proposed building pad area.

Fill any over excavated areas with compacted granular material, such as sand, sand and gravel, or crushed stone.

Place fill material in loose lifts not exceeding 8 inches and compact and test each lift. Compact to dry unit weight not less than 95 percent of max unit weight as determined by modified proctor (ASTM D 1557) at optimum moisture content +/- 3 percent, or as recommended by the Soils Engineer.

Materials used for fill shall be composed of soil, crushed rock, or any approved mixture of these. The material shall be free from organic matter and other deleterious substances and shall not contain rocks or lumps having diameter of more than 6 inches. All material used in fill areas shall be approved by the soils engineer. Only one off-site source shall be used for the fill material unless otherwise specifically authorized by the soils engineer or the owner.

The approved fill material shall be placed in layers which when compacted shall not exceed six inches. Each layer shall be spread evenly and thoroughly bladed and mixed during the spreading to ensure uniform material in each layer.

When fill material includes rock, no large rocks shall be allowed to nest and all voids must be carefully filled in with small stones or earth, properly compacted. No large rocks will be permitted within twelve inches of the finish grade.

If the moisture content of the material from the fill source is not appropriate to establish density, the contractor shall provide moisture adjustment accordingly.

Compaction equipment shall be of such design that it will be able to compact the fill to specified density.

Compaction of each layer shall be continuous over its entire area and the compaction equipment shall make sufficient trips to ensure that the required density has been obtained.

Field density tests shall be made by the soils engineer as approved by the Owner of the compaction of each layer of fill. Density tests shall be taken in compacted material below the disturbed surface. When these tests indicate that the density of any layer of fill or portion thereof is below the required density, the particular layer or portion shall be reworked until the required density has been obtained.

No fill material shall be placed, spread or rolled while it is frozen or thawing or during unfavorable weather conditions. When the work is interrupted by heavy rains, fill operations shall not be resumed until the soils engineer indicates that the moisture content and density of the previously placed fill are adequate.

The Contractor shall perform all cutting, filling, compacting and rough grading required to bring the entire project area to subgrade. In all cases, the finished subgrades shall be sloped to drain water away from the building walls.

Grading shall include all lawn and landscape area shown on the grading plan and such additional areas disturbed by construction storage, vehicle, and other construction operations, including utility trenching.

Proposed grades shown are designed to produce the desired configuration of the site and do not necessarily represent a balance between cut and fill. If excavation and grading cuts do not provide enough fill to achieve the required grades, the Contractor shall provide additional fill as required by this section. Excess material from the excavation of other contractors may be dumped on the site if it can be incorporated into the grading plan. Excess materials not reused shall be lawfully removed from the site.

All affected areas within the street Right of Way, on site or in off-site utility easements not otherwise surfaced shall be seeded, mulched, watered and maintained until an adequate stand of grass is obtained.

If stockpiled topsoil is to remain on site it shall be covered with a plastic liner until reuse or removal.

Following completion of normal subgrade compaction procedures, and as approved by the Owner, the finished pavement subgrade areas shall be proffed rolled using a loaded tandem axle dump truck. Any areas showing instability shall be undercut a minimum of 12 inches and replaced with stone. Acceptable stone material includes TDOT 303-01, Type A.

Contractor to provide and install a minimum of 8" topsoil in all landscape beds prior to landscape installation. In areas where rock is present, topsoil depth shall be 12" minimum. All construction debris to be removed prior to installation of topsoil.

**SIDEWALKS**

Sidewalks shall be constructed per TDOT Section 701 and details contained in these plans.

**DRAINAGE**

**STORM SEWER CONDUIT**

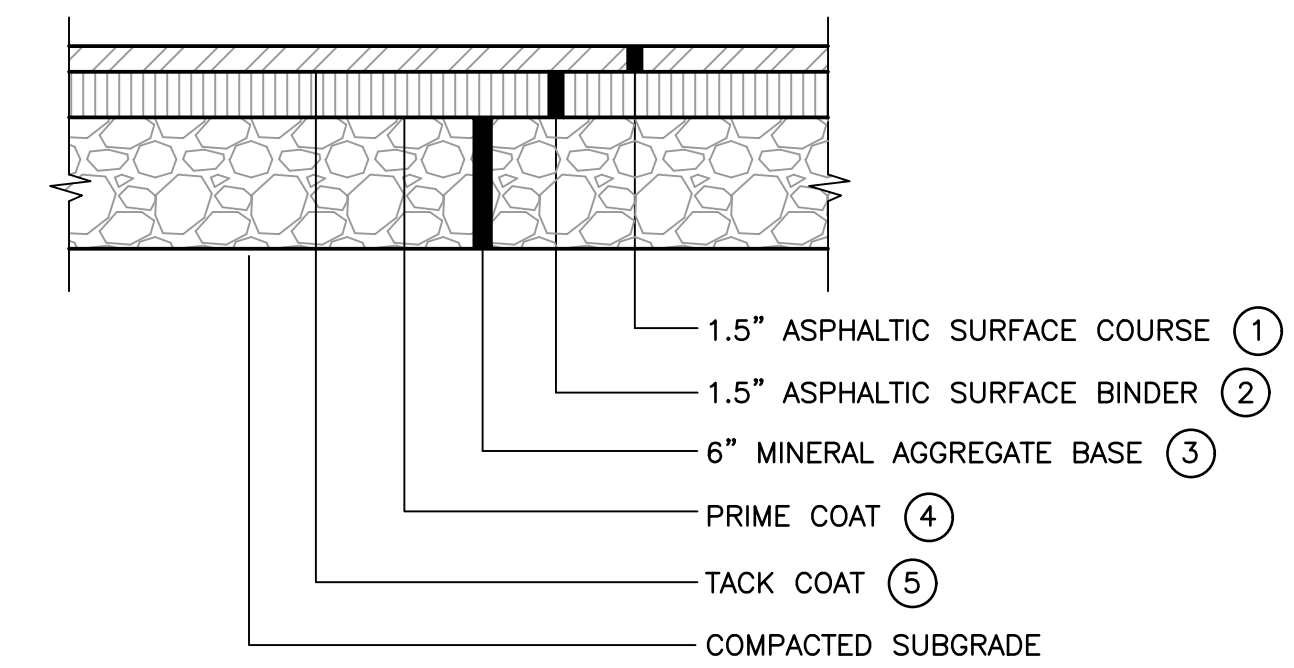
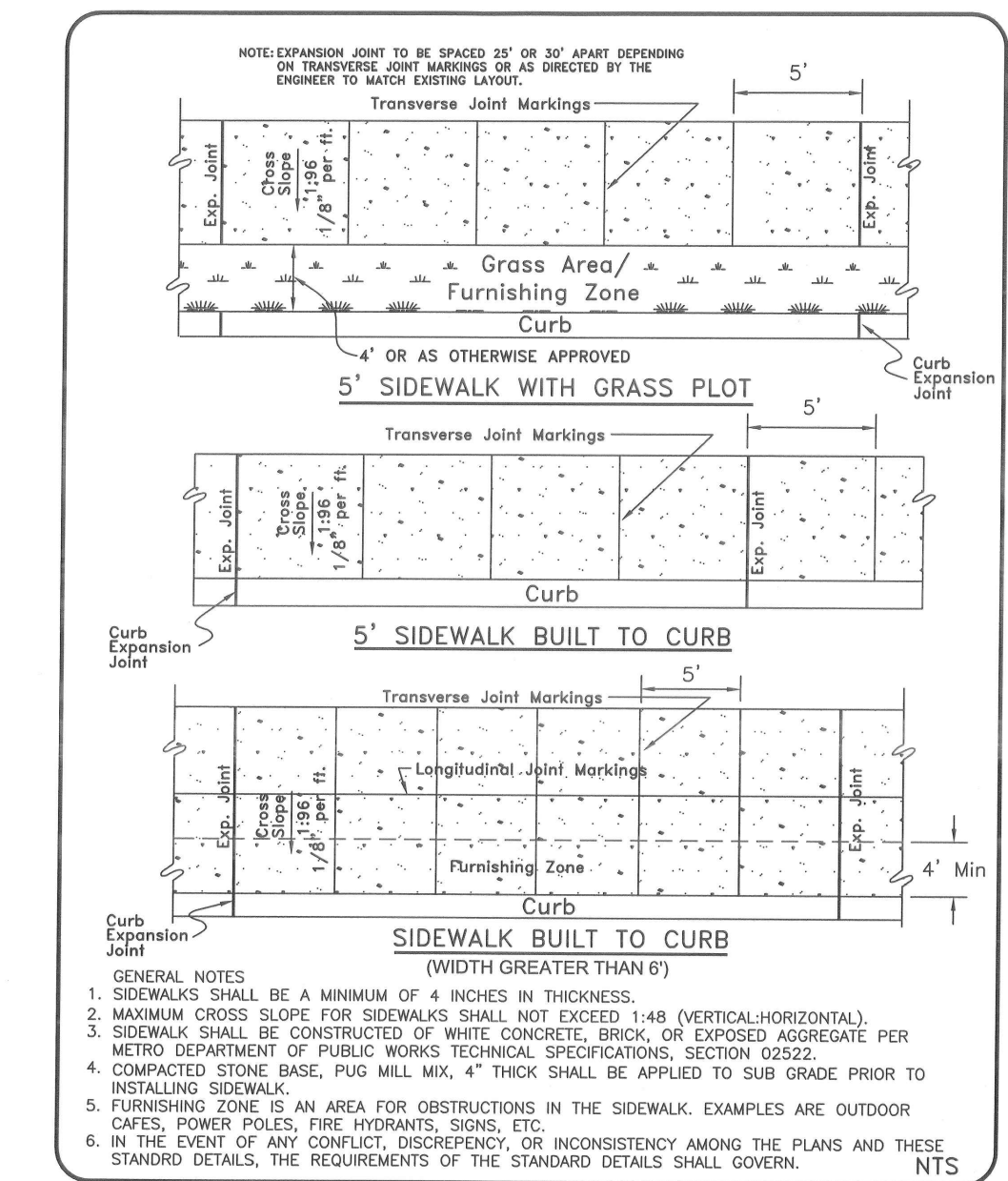
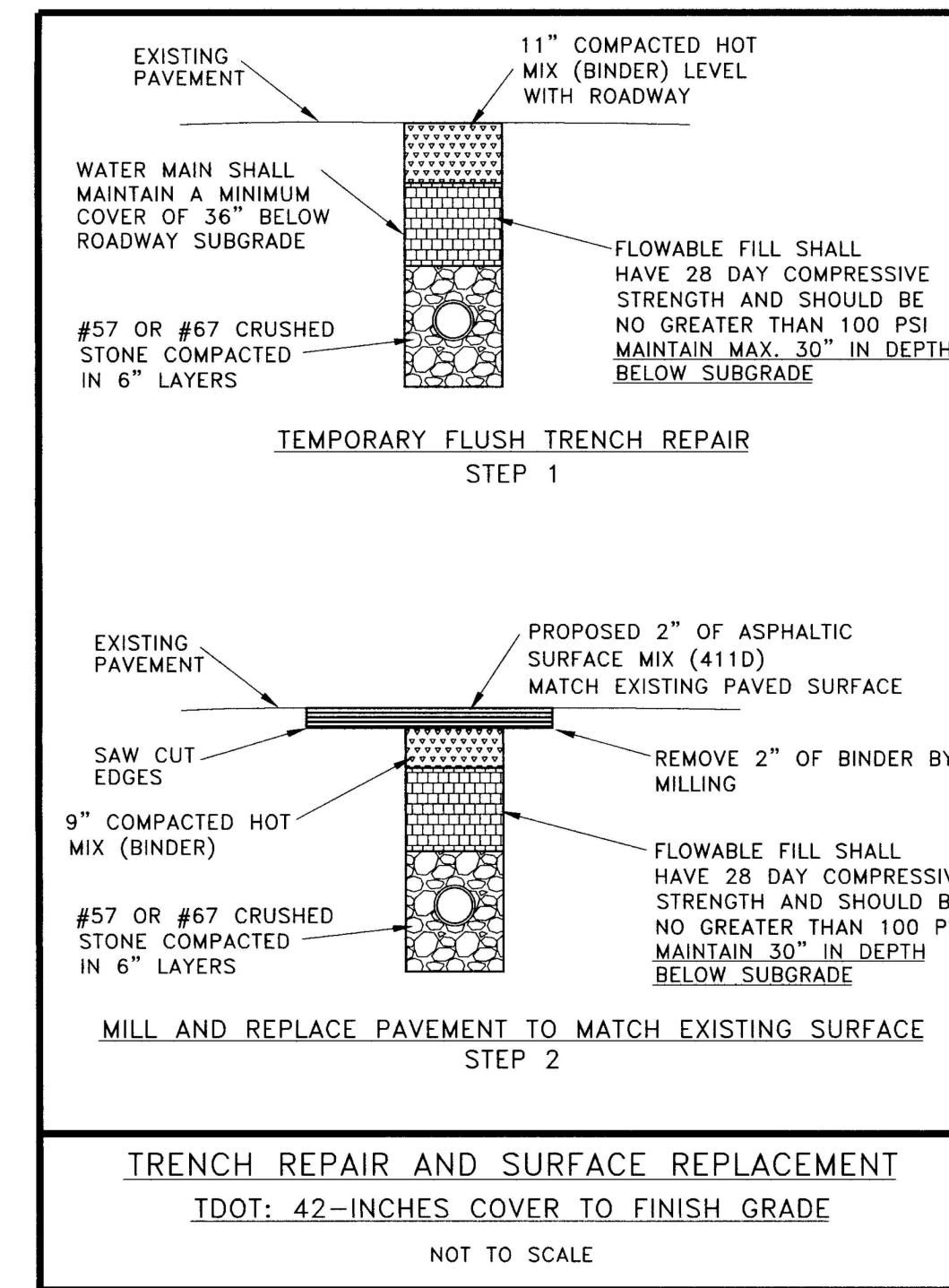
Pipe within 5' of the edge of pavement or under pavement shall be backfilled with granular material to the subgrade. Granular material and compaction shall meet the requirements of the City of Ashland City.

Pipe bedding shall be Class C and shall meet the requirements of the City of Ashland City.

On-site pipe material shall be HDPE as specified in these plans. Pipe material within the right-of-way shall be RCP as specified in these plans.

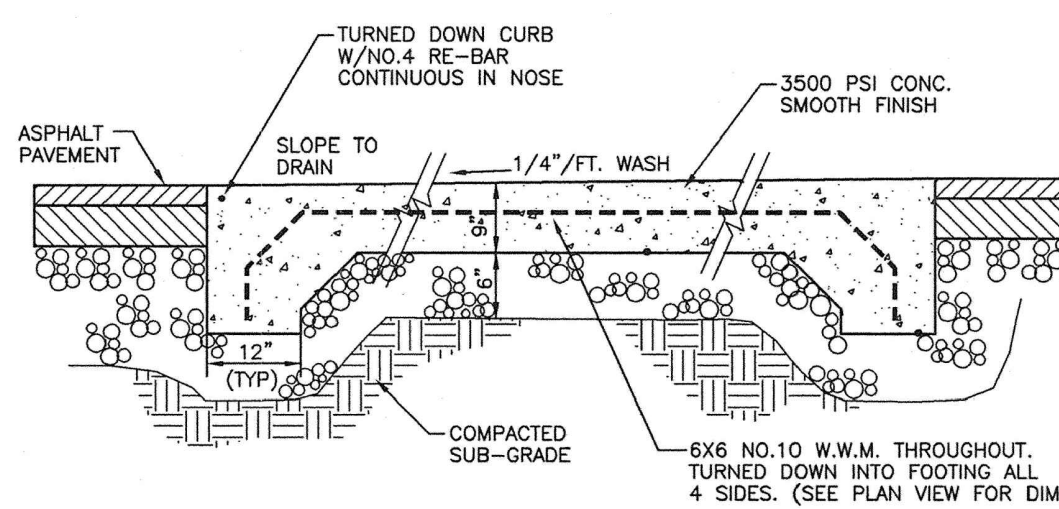
**WATER/SANITARY SEWER**

All work shall be performed according to the City of Ashland City Specifications.

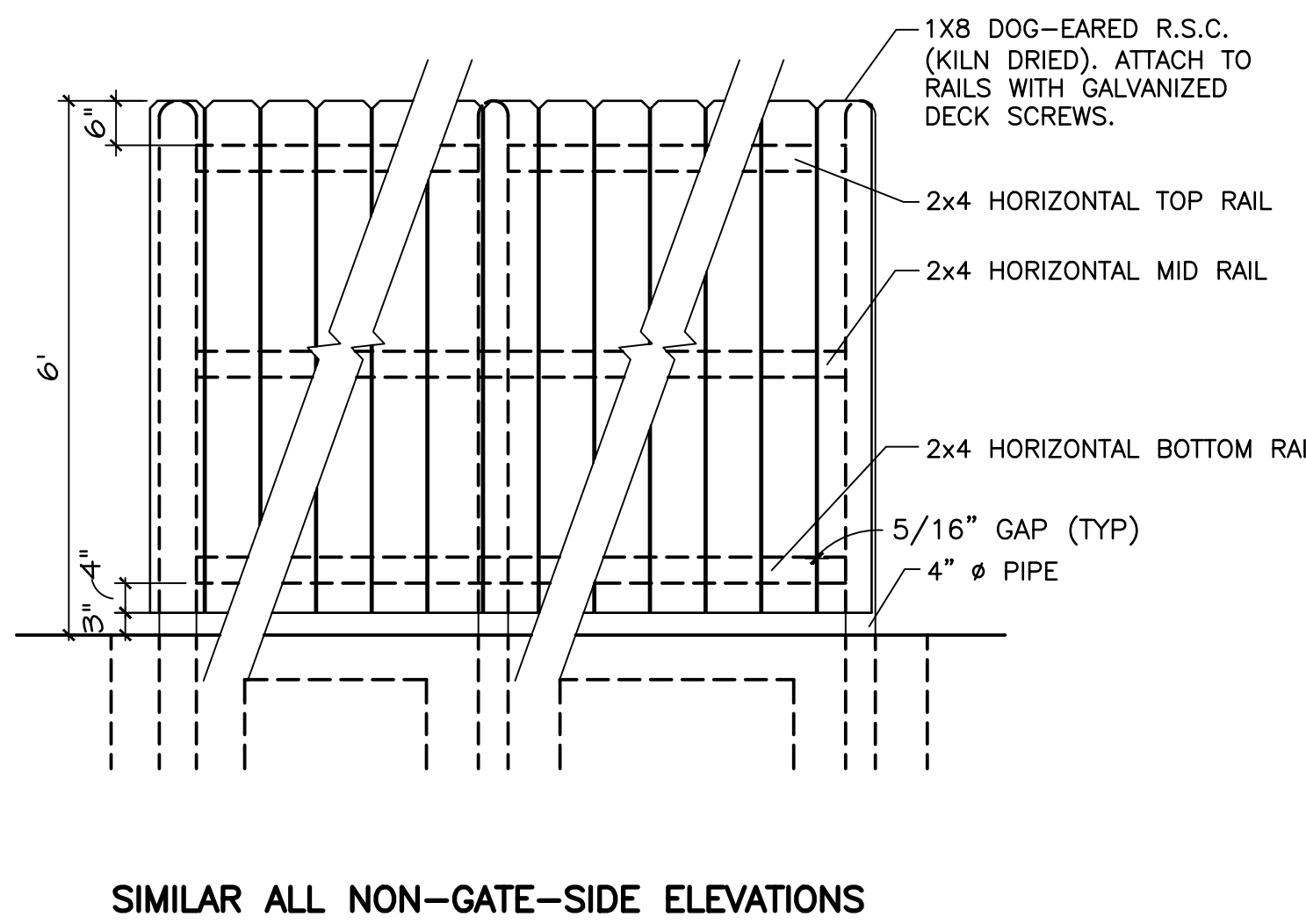
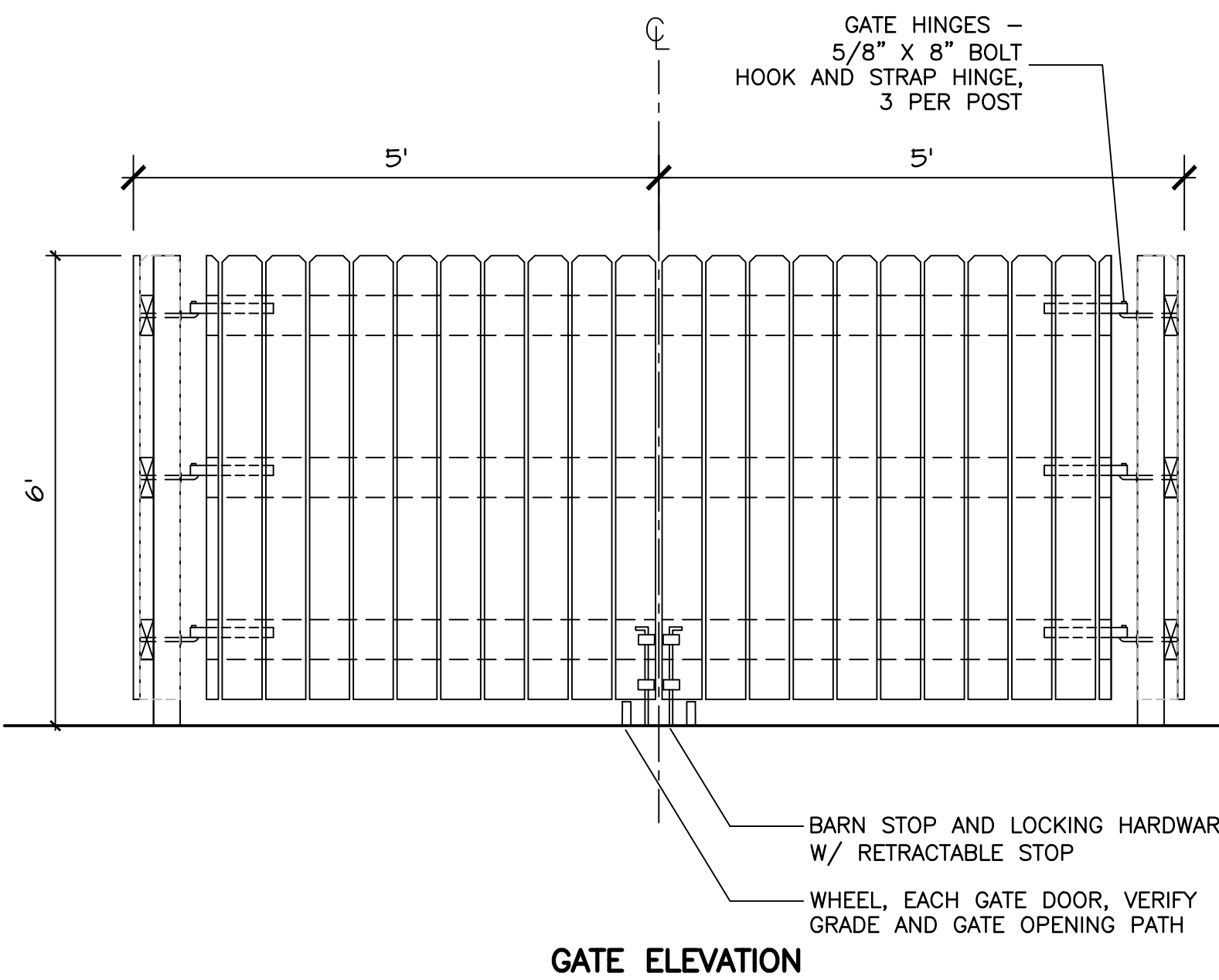


- ① BITUMINOUS SURFACE:  
TDOT 411-01.01 - MINERAL AGGREGATE (ASC) GRADING "D"  
TDOT 411-01.02 - ASPHALTIC CEMENT (ASC) GRADING "D"
- ② BITUMINOUS BINDER:  
TDOT 307-03.11 - BITUMINOUS PLAT MIX BASE (HOT MIX) (BPMB-HM) GRADING "B"
- ③ MINERAL AGGREGATE:  
TDOT 303-01 - MINERAL AGGREGATE TYPE "A" BASE, GRADING "D"
- ④ PRIME COAT:  
TDOT 402-01 - BITUMINOUS MATERIAL FOR PRIME COAT (PC) 0.30-0.35 GAL./SQ. YD.  
TDOT 402-01 - AGGREGATE FOR COVER MATERIAL (PC) 8-12 LB./SQ. YD.
- ⑤ TACK COAT:  
TDOT 403-01 - BITUMINOUS MATERIAL FOR TACK COAT (TC) 0.02 GAL./SQ. YD.

**TYPICAL ASPHALT PAVEMENT SECTION**  
N.T.S.

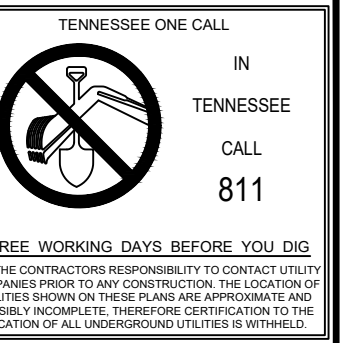


**DUMPSTER PAD SECTION**  
N.T.S.



**DUMPSTER ENCLOSURE**  
N.T.S.

CALL BEFORE YOU DIG



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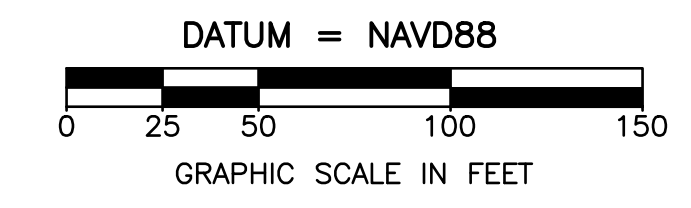
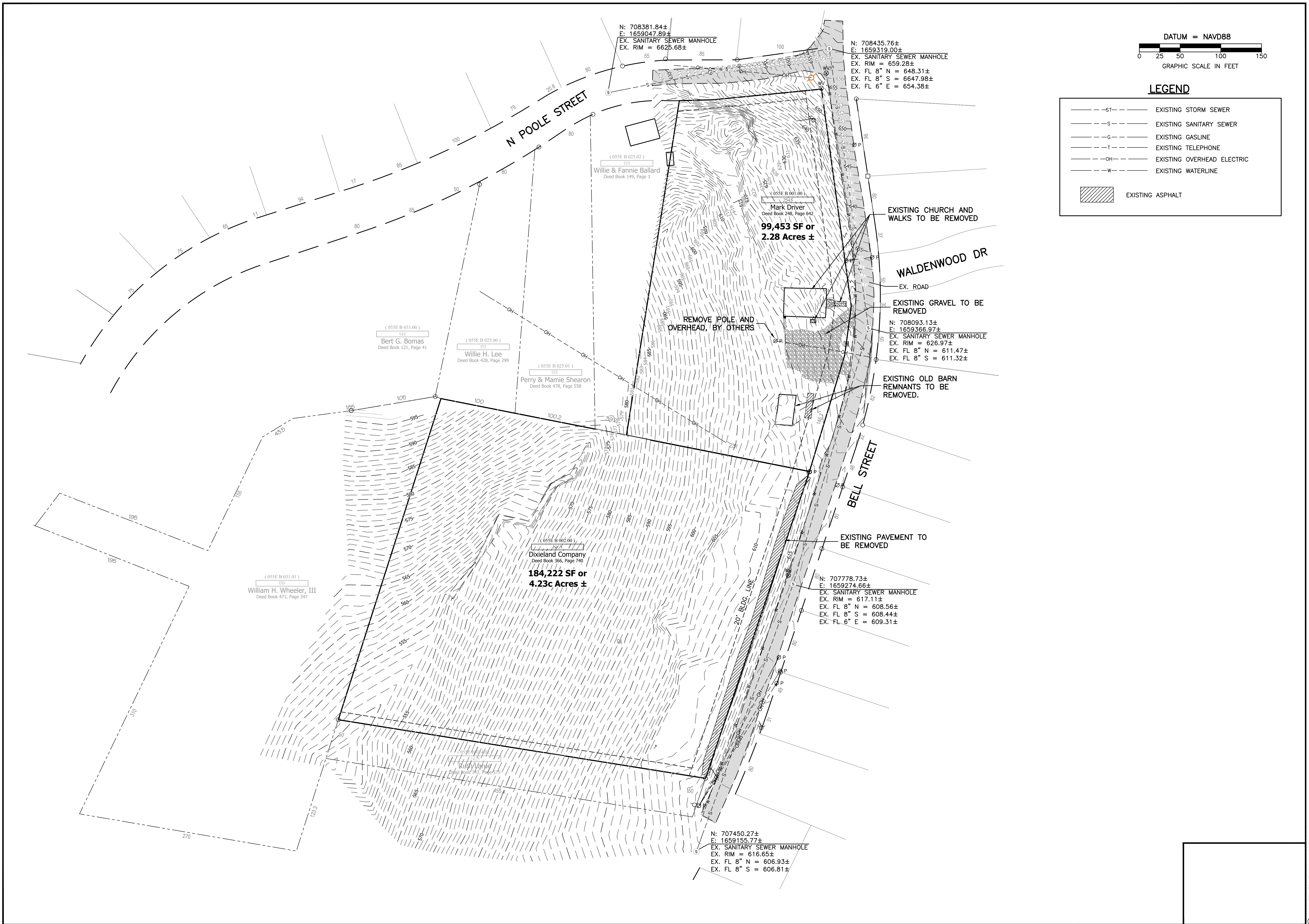
**FellerFinch & ASSOCIATES, INC.**  
Engineers • Land Planners

DATE	4/3/22
REVISION	PHASE 2

GENERAL NOTES AND DETAILS

MULTI-FAMILY SITE PLAN FOR  
2543 BELL ST. TOWNHOMES  
ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE:	1" = 20'
DATE:	4-28-22
DRAWN BY:	DEM
DESIGN: DRK	CHECK: GNF
PROJECT:	50E00017
DRAWING:	50-00017GS00A4
SHEET	C0.1



**LEGEND**

---ST---	EXISTING STORM SEWER
---S---	EXISTING SANITARY SEWER
---G---	EXISTING GASLINE
---T---	EXISTING TELEPHONE
---OH---	EXISTING OVERHEAD ELECTRIC
---W---	EXISTING WATERLINE
	EXISTING ASPHALT

CALL BEFORE YOU DIG  
 TENNESSEE ONE CALL  
 IN  
 TENNESSEE  
 CALL  
 811  
 THREE WORKING DAYS BEFORE YOU DIG  
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND THE LOCATION OF ALL UNDERGROUND UTILITIES IS UNKOWN.

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 Franklin, Tennessee 37067  
 Phone: (615) 773-6229  
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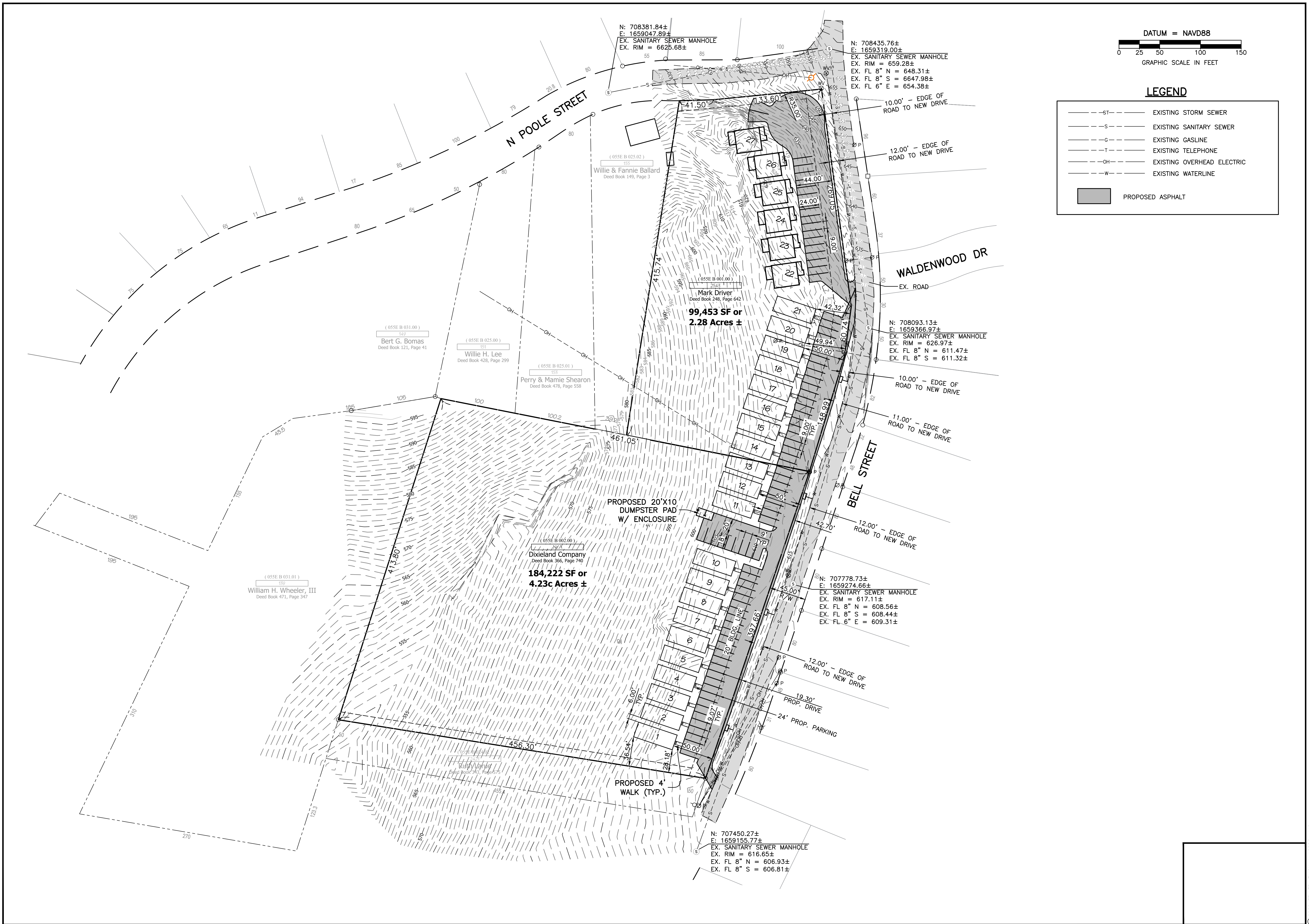
**FellerFinch**  
 & ASSOCIATES, INC.  
 Engineers • Land Planners

NORTH	DATE	4/3/22
	REVISION	PHASE 2

**EXISTING SITE CONDITIONS & DEMOLITION PLAN**  
 MULTI-FAMILY SITE PLAN FOR  
 2543 BELL ST. TOWNHOMES  
 ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE:	1" = 50'
DATE:	4-28-22
DRAWN BY:	DEM
DESIGN: DRK	CHECK: GNF
PROJECT:	50E00017
DRAWING:	50-00017GS00A4
SHEET	<b>C1.1</b>

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CALL BEFORE YOU DIG  
 TENNESSEE ONE CALL  
 IN TENNESSEE  
 CALL 811  
 THREE WORKING DAYS BEFORE YOU DIG  
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND THE LOCATION OF ALL UNDERGROUND UTILITIES IS UNKOWN.

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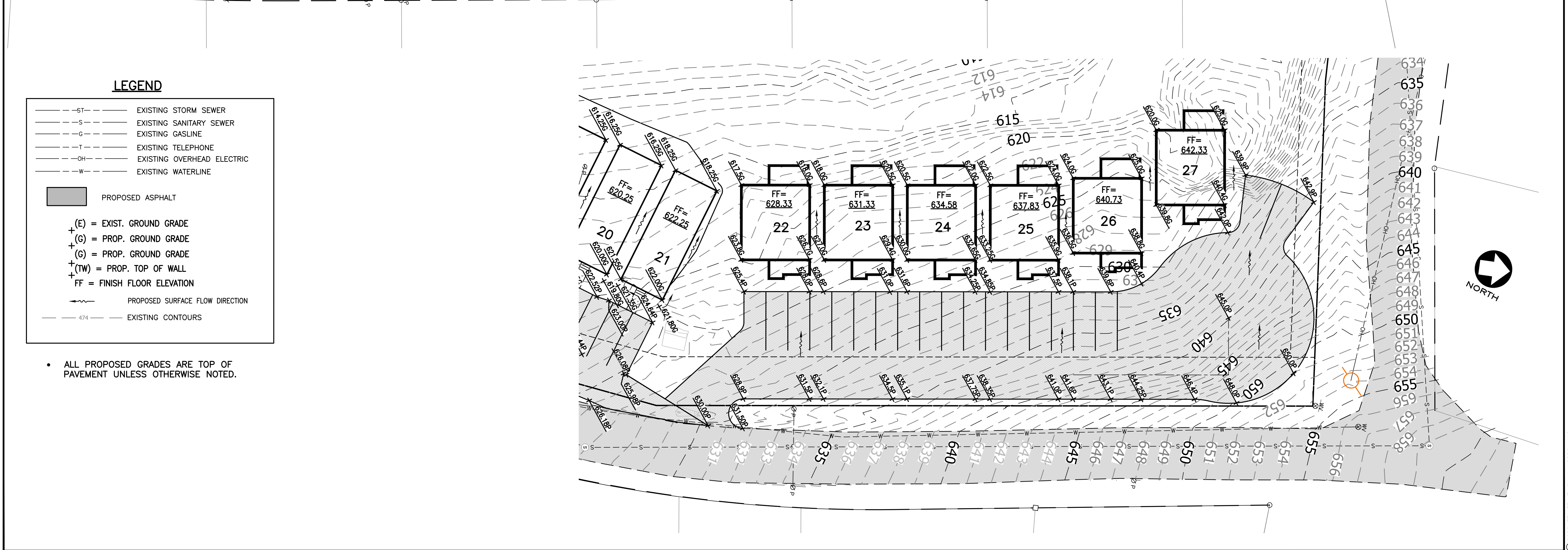
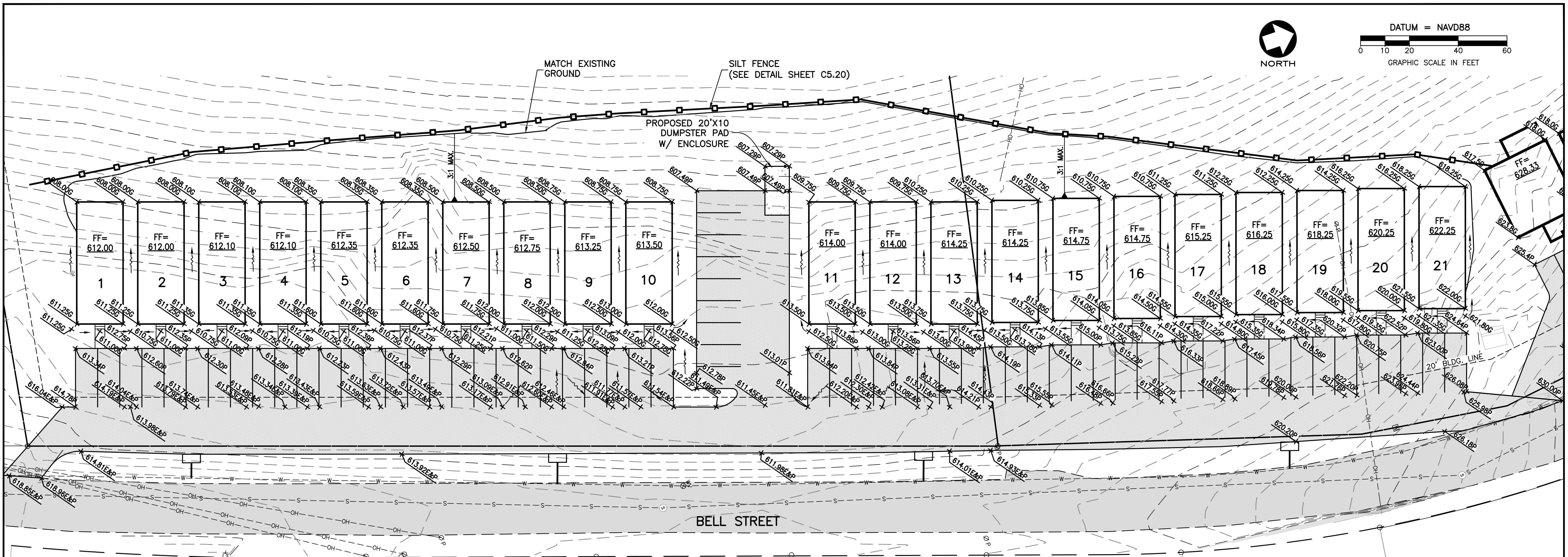
**FellerFinch & ASSOCIATES, INC.**  
 Engineers • Land Planners

NORTH	4/3/22	DATE
	PHASE 2	REVISION
	REVISED BLDG. LOCATION 11/27/21	

**TITLE:** SITE GEOMETRICS PLAN  
**PROJECT:** MULTI-FAMILY SITE PLAN FOR 2543 BELL ST. TOWNHOMES ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE:	1" = 50'
DATE:	4-28-22
DRAWN BY:	DEM
DESIGN: DRK	CHECK: GNF
PROJECT:	50E00017
DRAWING:	50-00017GS00A4
SHEET	<b>C2.1</b>

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**LEGEND**

- ST— EXISTING STORM SEWER
- S— EXISTING SANITARY SEWER
- G— EXISTING GASLINE
- T— EXISTING TELEPHONE
- OH— EXISTING OVERHEAD ELECTRIC
- W— EXISTING WATERLINE
- PROPOSED ASPHALT
- (E) = EXIST. GROUND GRADE
- + (G) = PROP. GROUND GRADE
- + (TW) = PROP. TOP OF WALL
- FF = FINISH FLOOR ELEVATION
- ~ PROPOSED SURFACE FLOW DIRECTION
- 474 --- EXISTING CONTOURS

• ALL PROPOSED GRADES ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

CALL BEFORE YOU DIG  
 TENNESSEE ONE CALL  
 IN TENNESSEE  
 CALL 811  
 THREE WORKING DAYS BEFORE YOU DIG  
 IS THE CONTRACTOR RESPONSIBLE FOR VERIFYING UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION, THE LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND THE LOCATION OF ALL UNDERGROUND UTILITIES IS UNKOWN.

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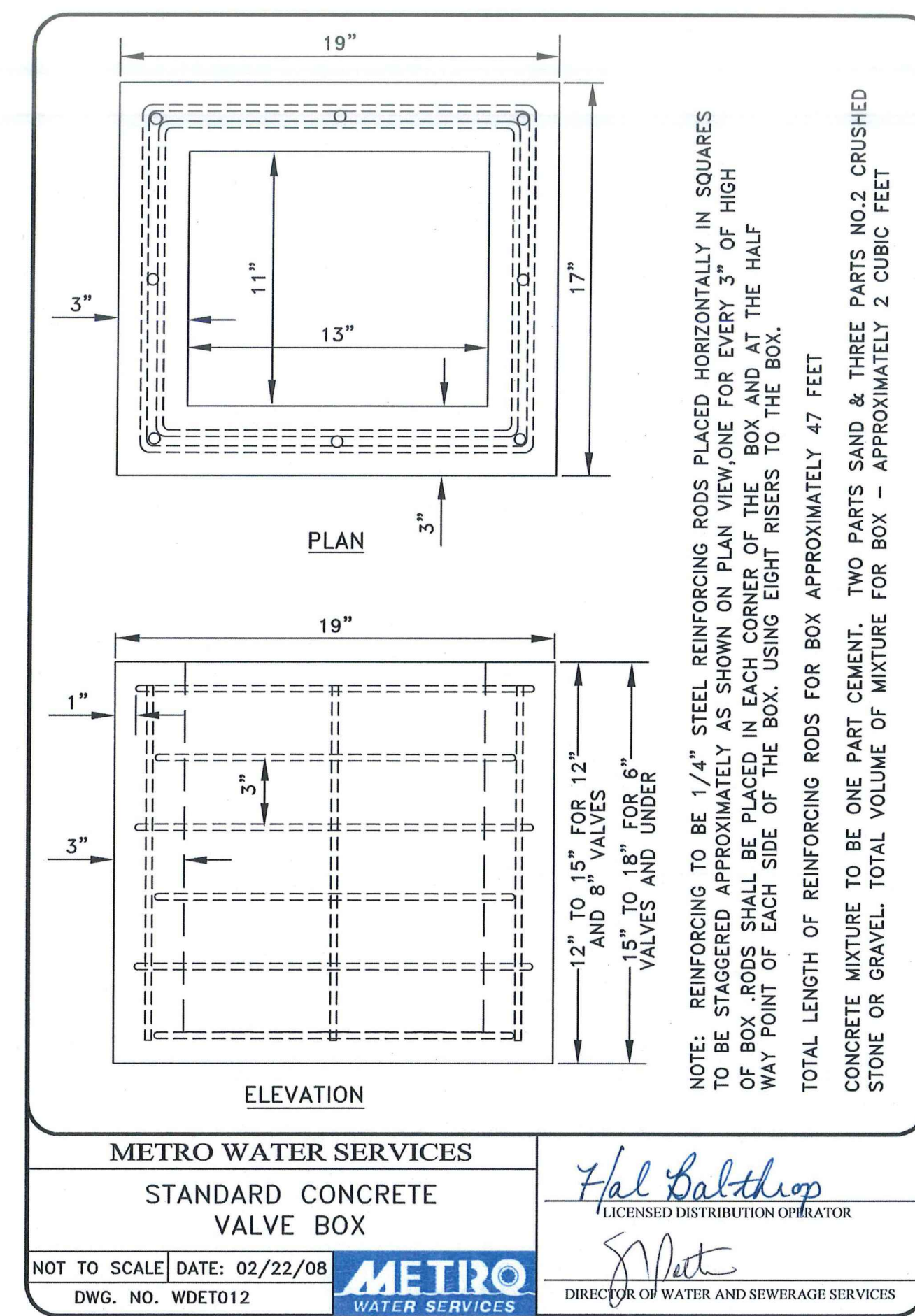
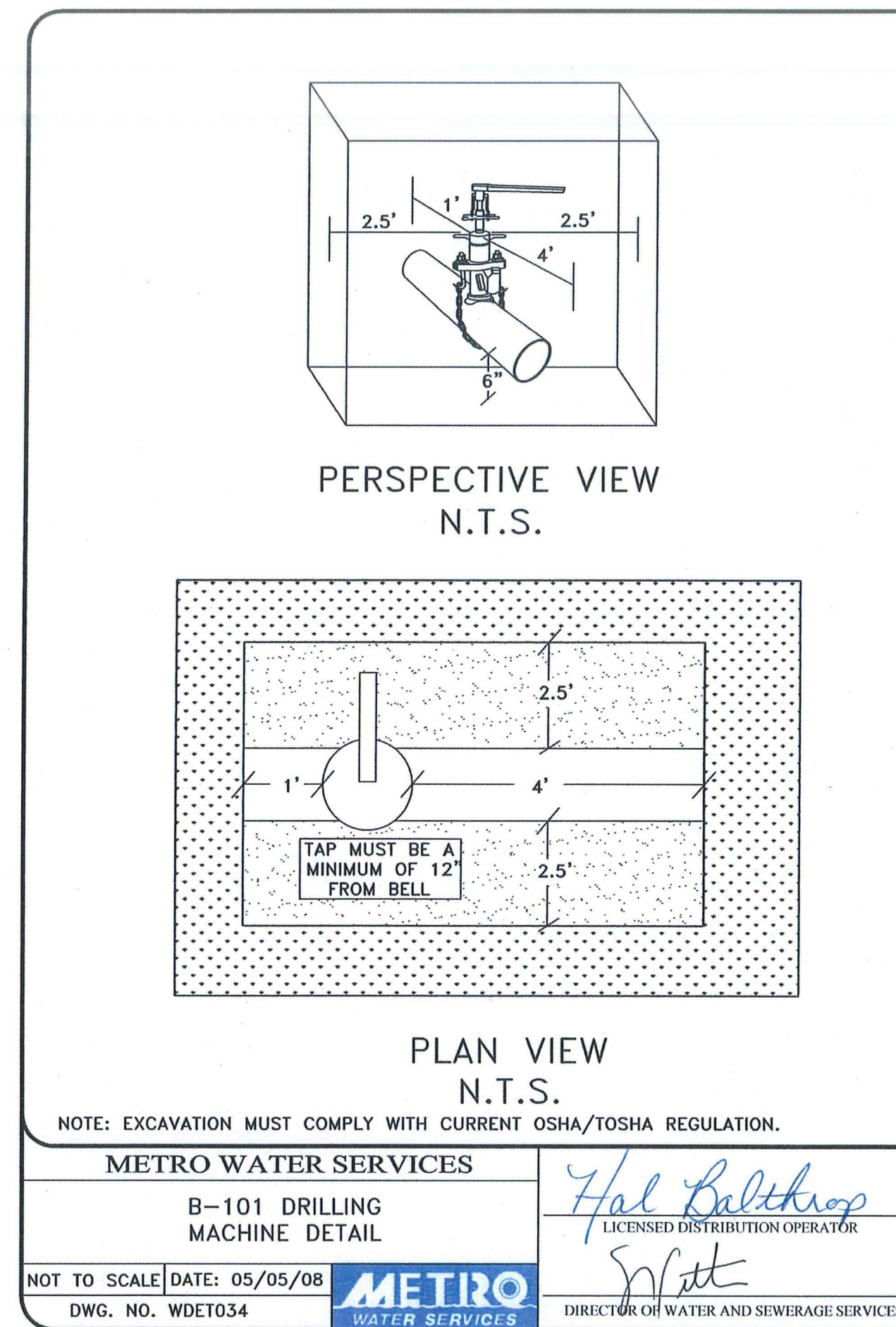
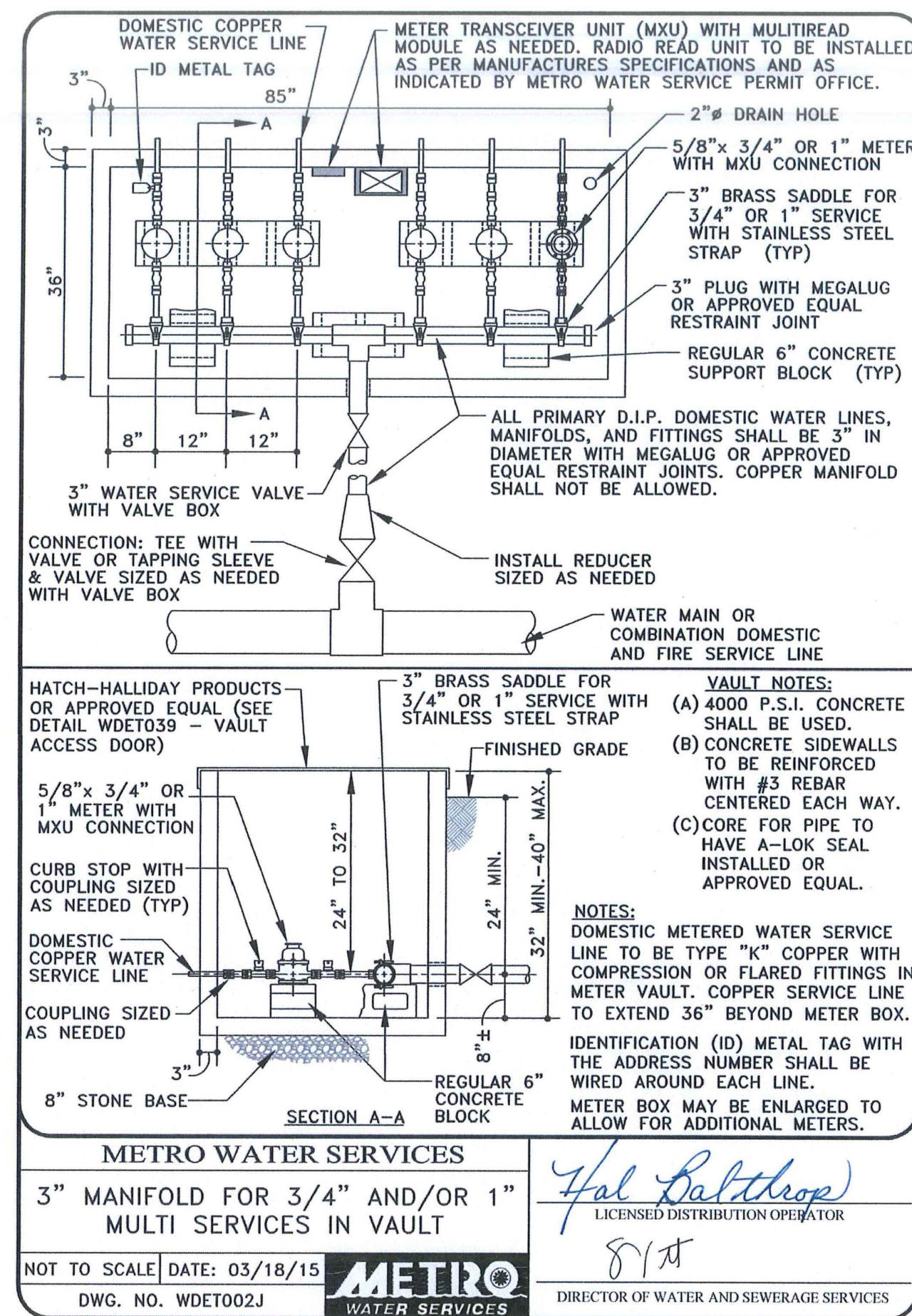
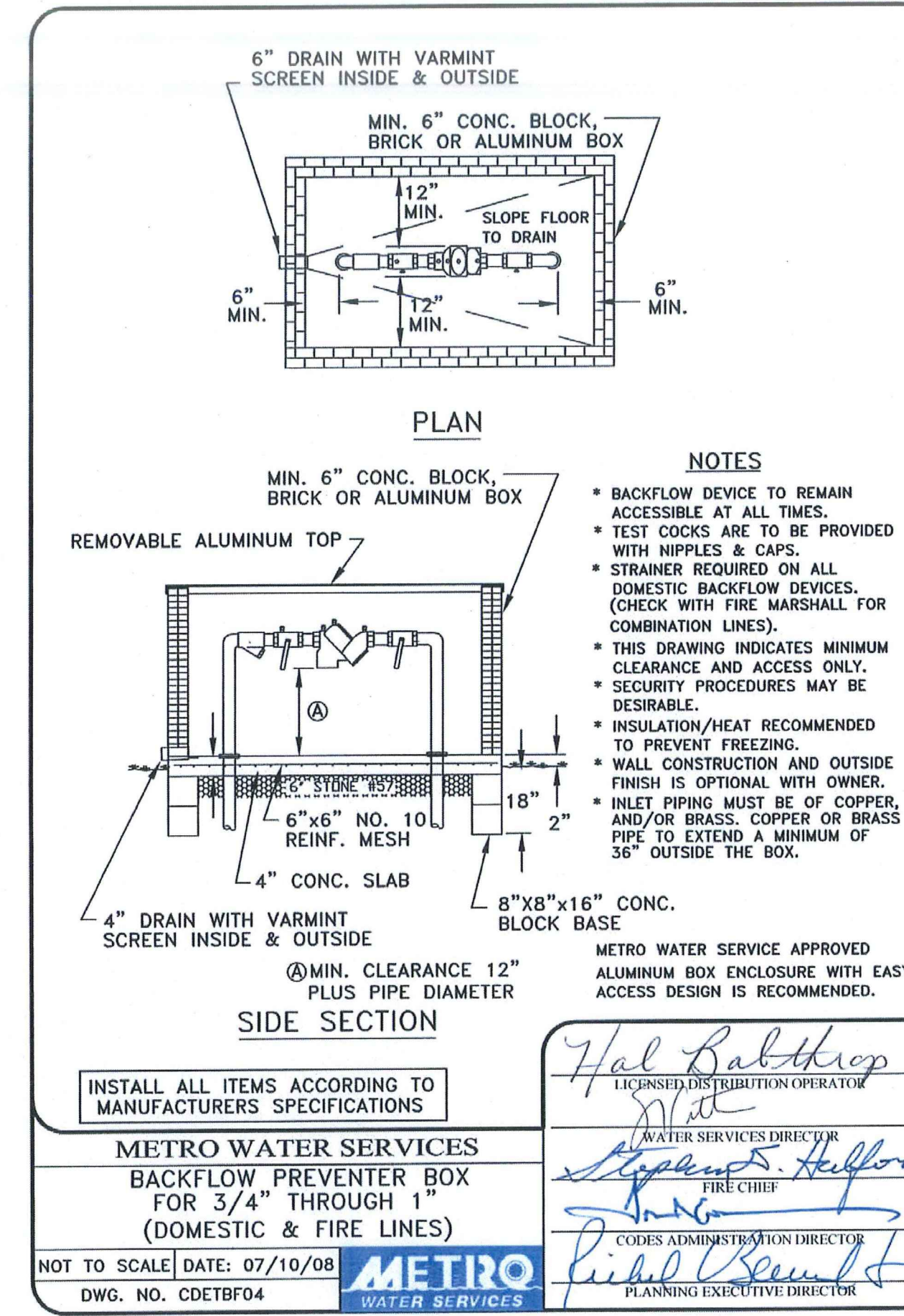
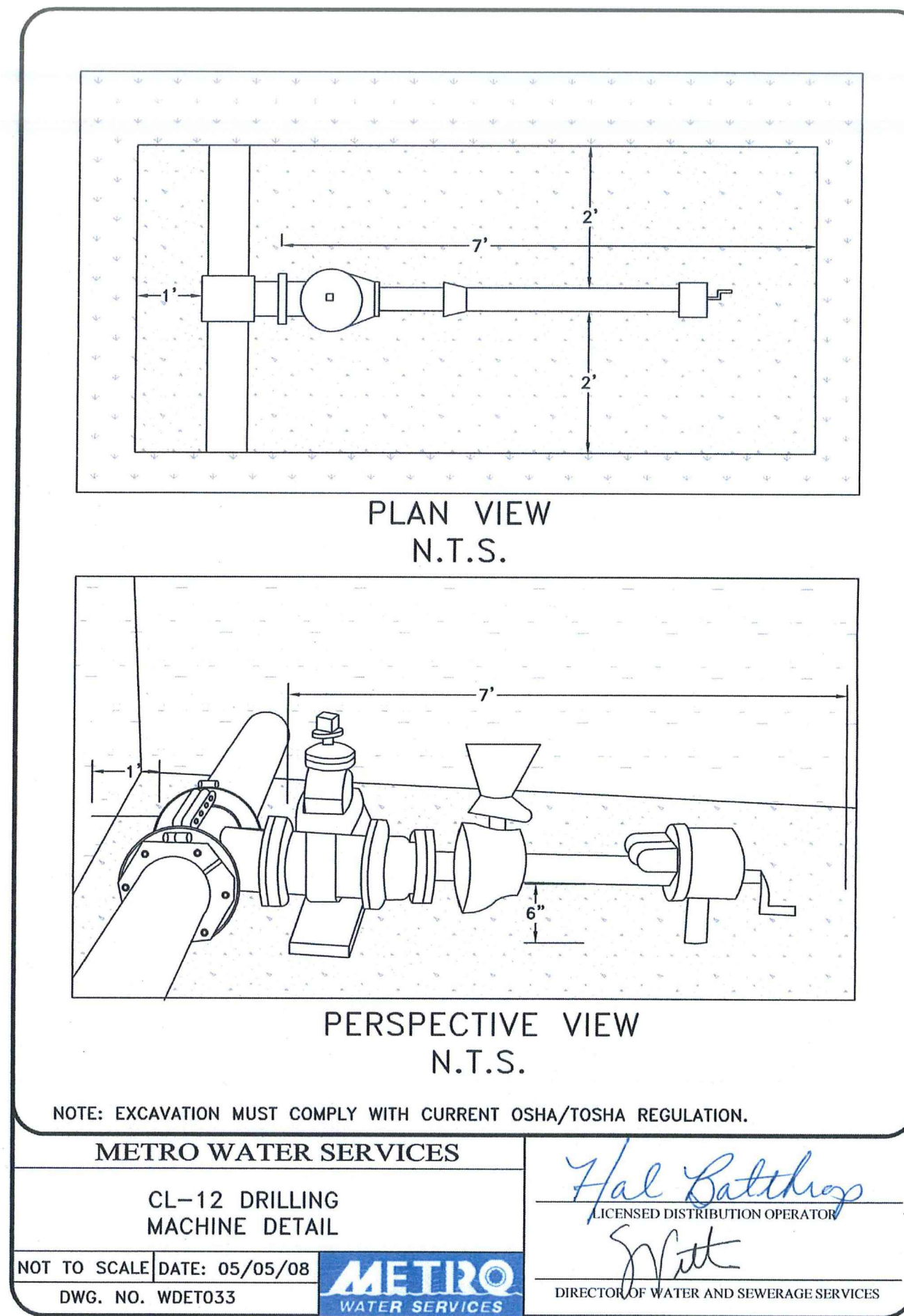
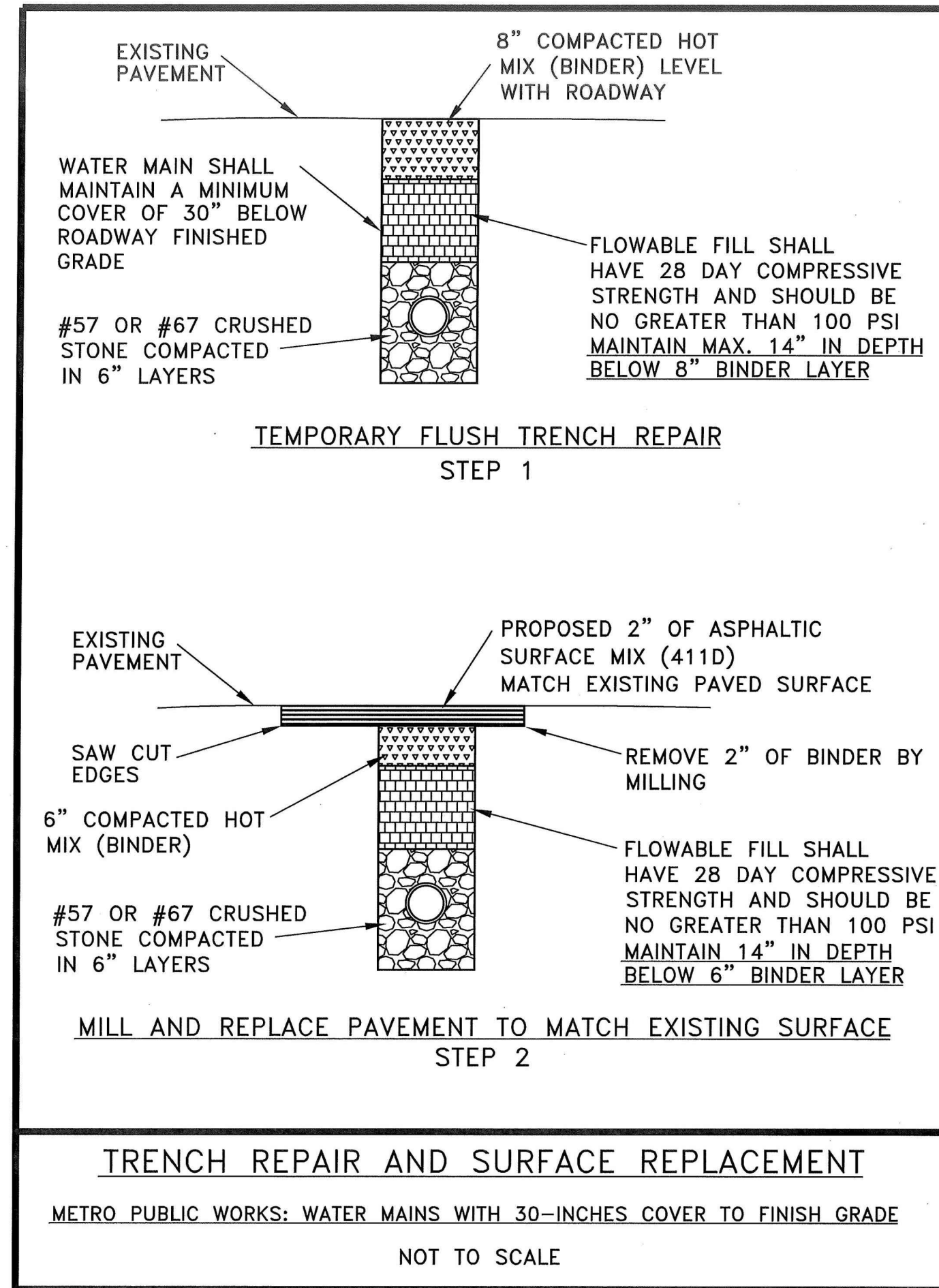
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REVISION	DATE
PHASE 2	4/27/22
REVISED BLDG. LOCATION	11/27/21
REVISED GRADING	10/31/21

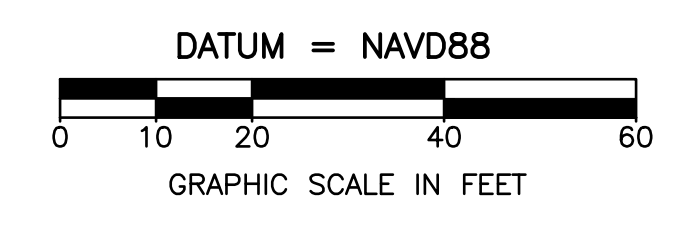
TITLE: **SITE GRADING PLAN**  
 PROJECT: **MULTI-FAMILY SITE PLAN FOR 2543 BELL ST. TOWNHOMES ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE**

SCALE:	1" = 20'
DATE:	4-28-22
DRAWN BY:	DEM
DESIGN: DRK	CHECK: GNF
PROJECT:	50E00017
DRAWING:	50-00017GS00A4
SHEET	<b>C3.1</b>









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 IN  
 TENNESSEE  
 CALL  
 811  
 THREE WORKING DAYS BEFORE YOU DIG  
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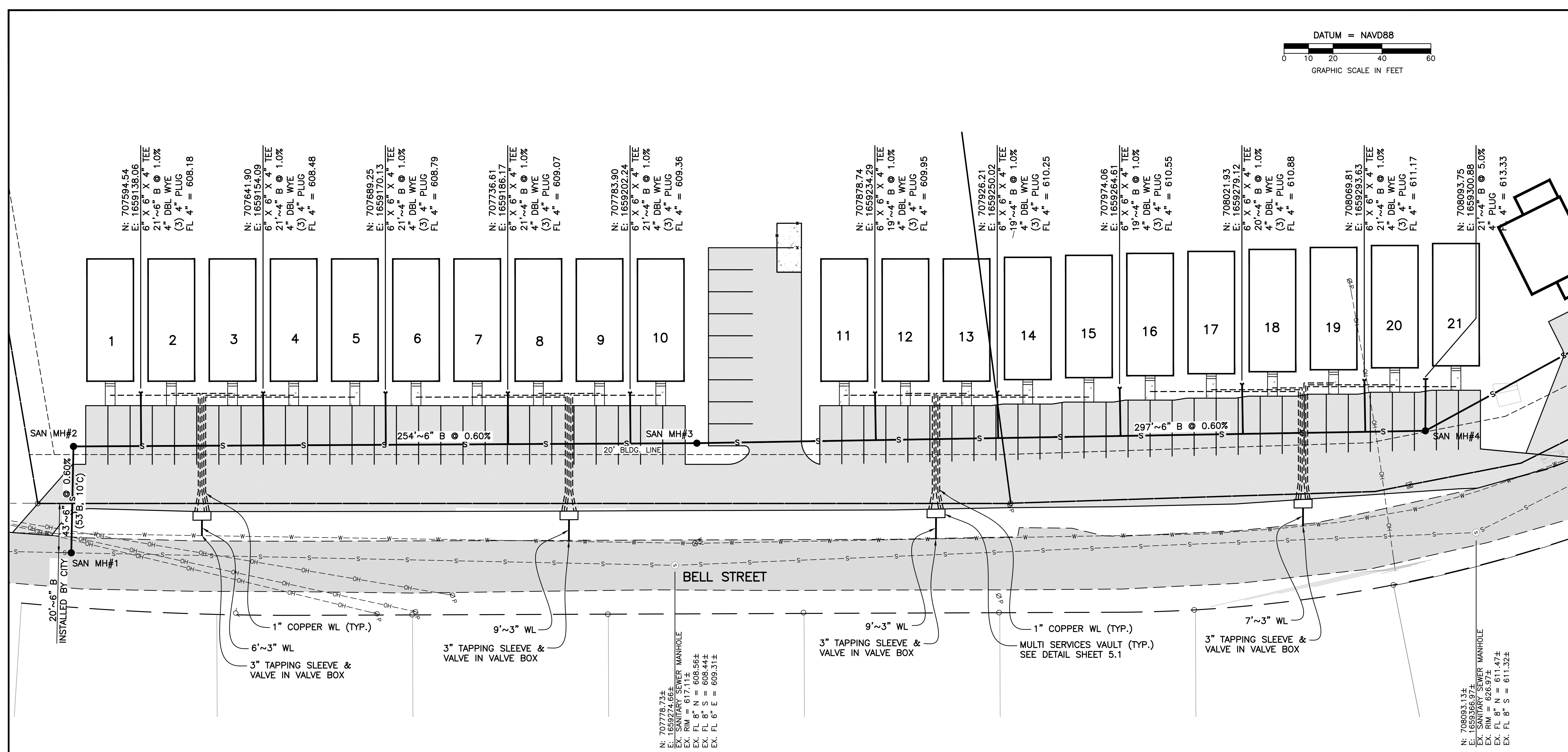
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DATE	11/27/17
REVISION	REVISED BLDG. LOCATION
	REVISED SANITARY TAPS
	10/31/17

**SITE UTILITY PLAN**  
 MULTI-FAMILY SITE PLAN FOR  
 2543 BELL ST. TOWNHOMES  
 ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE: 1" = 20'  
 DATE: 4-28-22  
 DRAWN BY: DEM  
 DESIGN: DRK CHECK: GNF  
 PROJECT: 50E00017  
 DRAWING: 50-00017GS00A4  
 SHEET **C5.3**



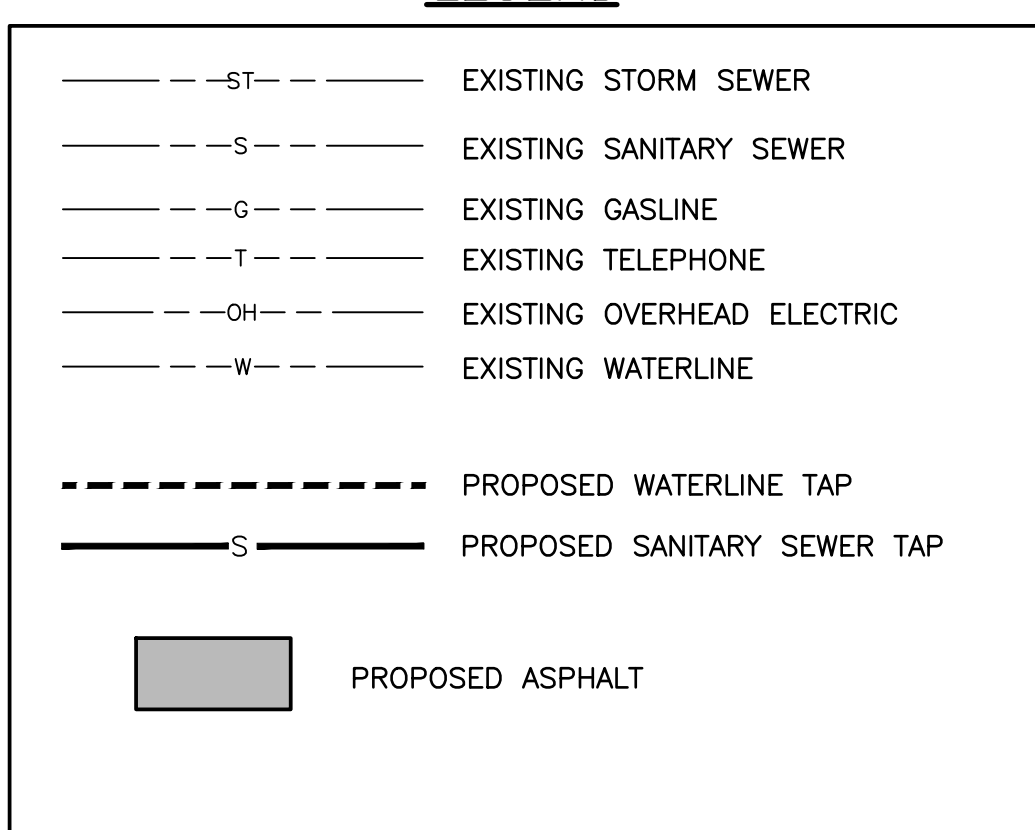
**WATERLINE SERVICE TAP DATA**

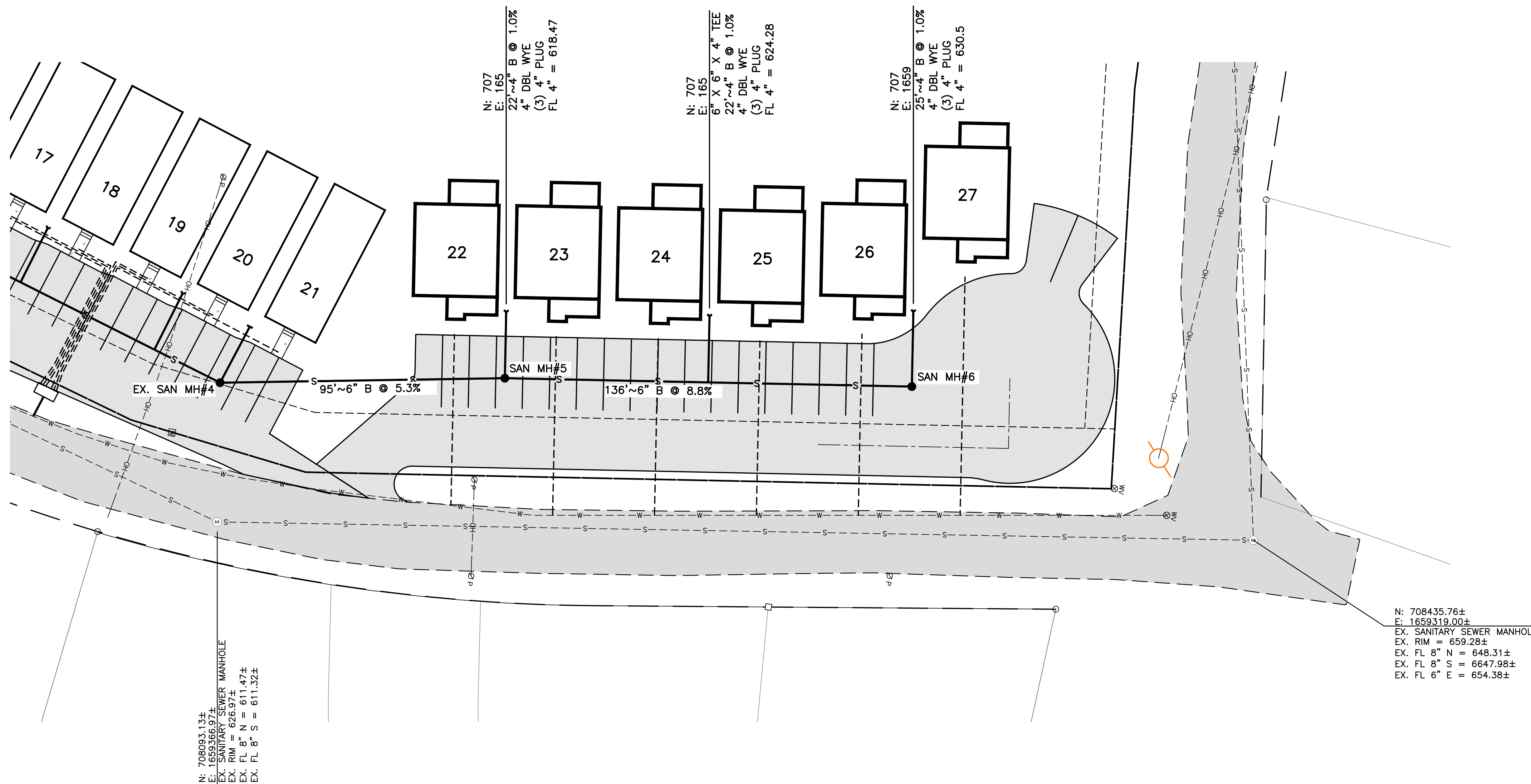
<b>BLDG #1</b> N: 707582.43 E: 1659134.75 84'~1" COPPER WL	<b>BLDG #7</b> N: 707724.51 E: 1659182.86 84'~1" COPPER WL	<b>BLDG #13</b> N: 707914.18 E: 1659246.29 60'~1" COPPER WL	<b>BLDG #19</b> N: 708057.63 E: 1659290.35 60'~1" COPPER WL
<b>BLDG #2</b> N: 707606.35 E: 1659142.06 60'~1" COPPER WL	<b>BLDG #8</b> N: 707748.43 E: 1659190.17 61'~1" COPPER WL	<b>BLDG #14</b> N: 707937.62 E: 1659255.02 83'~1" COPPER WL	<b>BLDG #20</b> N: 708081.07 E: 1659299.08 83'~1" COPPER WL
<b>BLDG #3</b> N: 707630.03 E: 1659150.08 61'~1" COPPER WL	<b>BLDG #9</b> N: 707772.11 E: 1659198.18 60'~1" COPPER WL	<b>BLDG #15</b> N: 707961.06 E: 1659263.75 107'~1" COPPER WL	<b>BLDG #21</b> N: 708104.51 E: 1659307.81 107'~1" COPPER WL
<b>BLDG #4</b> N: 707653.47 E: 1659158.80 84'~1" COPPER WL	<b>BLDG #10</b> N: 707795.55 E: 1659206.91 84'~1" COPPER WL	<b>BLDG #16</b> N: 707985.47 E: 1659269.63 105'~1" COPPER WL	
<b>BLDG #5</b> N: 707676.91 E: 1659167.53 108'~1" COPPER WL	<b>BLDG #11</b> N: 707866.58 E: 1659230.97 83'~1" COPPER WL	<b>BLDG #17</b> N: 708009.38 E: 1659276.94 81'~1" COPPER WL	
<b>BLDG #6</b> N: 707700.59 E: 1659175.55 108'~1" COPPER WL	<b>BLDG #12</b> N: 707890.50 E: 1659238.28 59'~1" COPPER WL	<b>BLDG #18</b> N: 708033.30 E: 1659284.24 58'~1" COPPER WL	

**SANITARY STRUCTURE DATA**

<b>SANITARY MANHOLE #1</b> N: 707546.70 E: 1659190.67 TOP = 619.05 FL 6" W = 607.46 EX. FL 8" N&S = 607.38±	<b>SANITARY MANHOLE #2</b> N: 707561.51 E: 1659149.76 TOP = 614.80 FL 6" E&N = 607.72	<b>SANITARY MANHOLE #3</b> N: 707803.23 E: 1659230.20 TOP = 612.75 FL 6" N&S = 609.24	<b>SANITARY MANHOLE #4</b> N: 708086.87 E: 1659320.91 TOP = 623.35 FL 6" S = 611.02 FL 4" W = 612.52
--	---	---	---

**LEGEND**





**CISTERN**

PROVIDE A 700 GALLON CISTERN FOR EACH UNIT TO BE USED AS IRRIGATION WATER. DIRECT ALL ROOF DRAINAGE TO THE CISTERN.

N: 708093.13±  
E: 1659366.97±  
EX. SANITARY SEWER MANHOLE  
EX. RIM = 626.97±  
EX. FL 6" N = 611.47±  
EX. FL 6" S = 611.32±

**WATERLINE SERVICE TAP DATA**

- BLDG #22**  
N: 708161.61  
E: 1659292.71  
57'~1" COPPER WL
- BLDG #23**  
N: 708195.29  
E: 1659288.09  
60'~1" COPPER WL
- BLDG #24**  
N: 708228.98  
E: 1659283.47  
59'~1" COPPER WL
- BLDG #25**  
N: 708262.66  
E: 1659278.85  
58'~1" COPPER WL
- BLDG #26**  
N: 708295.95  
E: 1659271.35  
61'~1" COPPER WL
- BLDG #27**  
N: 708326.95  
E: 1659247.15  
80'~1" COPPER WL

**SANITARY STRUCTURE DATA**

- EX. SANITARY MANHOLE #4**  
N: 708086.87  
E: 1659320.91  
EX. TOP = 623.35  
EX. FL 6" S = 611.02  
EX. FL 4" W = 612.52  
PROP. FL 6" NW = 613.0
- SANITARY MANHOLE #5**  
N: 708180.52  
E: 1659304.58  
TOP = 6  
FL 6" N&SE = 618.0  
FL 4" W = 618.25
- SANITARY MANHOLE #6**  
N: 708315.14  
E: 1659286.12  
TOP = 65  
FL 6" S = 630.0  
FL 4" W = 630.25

N: 708435.76±  
E: 1659319.00±  
EX. SANITARY SEWER MANHOLE  
EX. RIM = 659.28±  
EX. FL 8" N = 648.31±  
EX. FL 8" S = 6647.98±  
EX. FL 6" E = 654.38±

**LEGEND**

- ST--- EXISTING STORM SEWER
- S--- EXISTING SANITARY SEWER
- G--- EXISTING GASLINE
- T--- EXISTING TELEPHONE
- OH--- EXISTING OVERHEAD ELECTRIC
- W--- EXISTING WATERLINE
- S--- PROPOSED WATERLINE TAP
- S--- PROPOSED SANITARY SEWER TAP
- PROPOSED ASPHALT

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IN TENNESSEE  
CALL 811  
THREE WORKING DAYS BEFORE YOU DIG  
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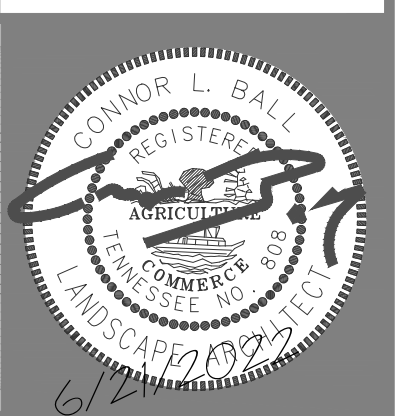
**North Arrow**

REVISION	DATE
1	4/27/22
2	11/27/21
3	10/21/21

**SITE UTILITY PLAN**  
MULTI-FAMILY SITE PLAN FOR  
2543 BELL ST. TOWNHOMES  
ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE: 1" = 20'  
DATE: 4-28-22  
DRAWN BY: DEM  
DESIGN: DRK CHECK: GNF  
PROJECT: 50E00017  
DRAWING: 50-00017GS00A4  
SHEET **C5.3**

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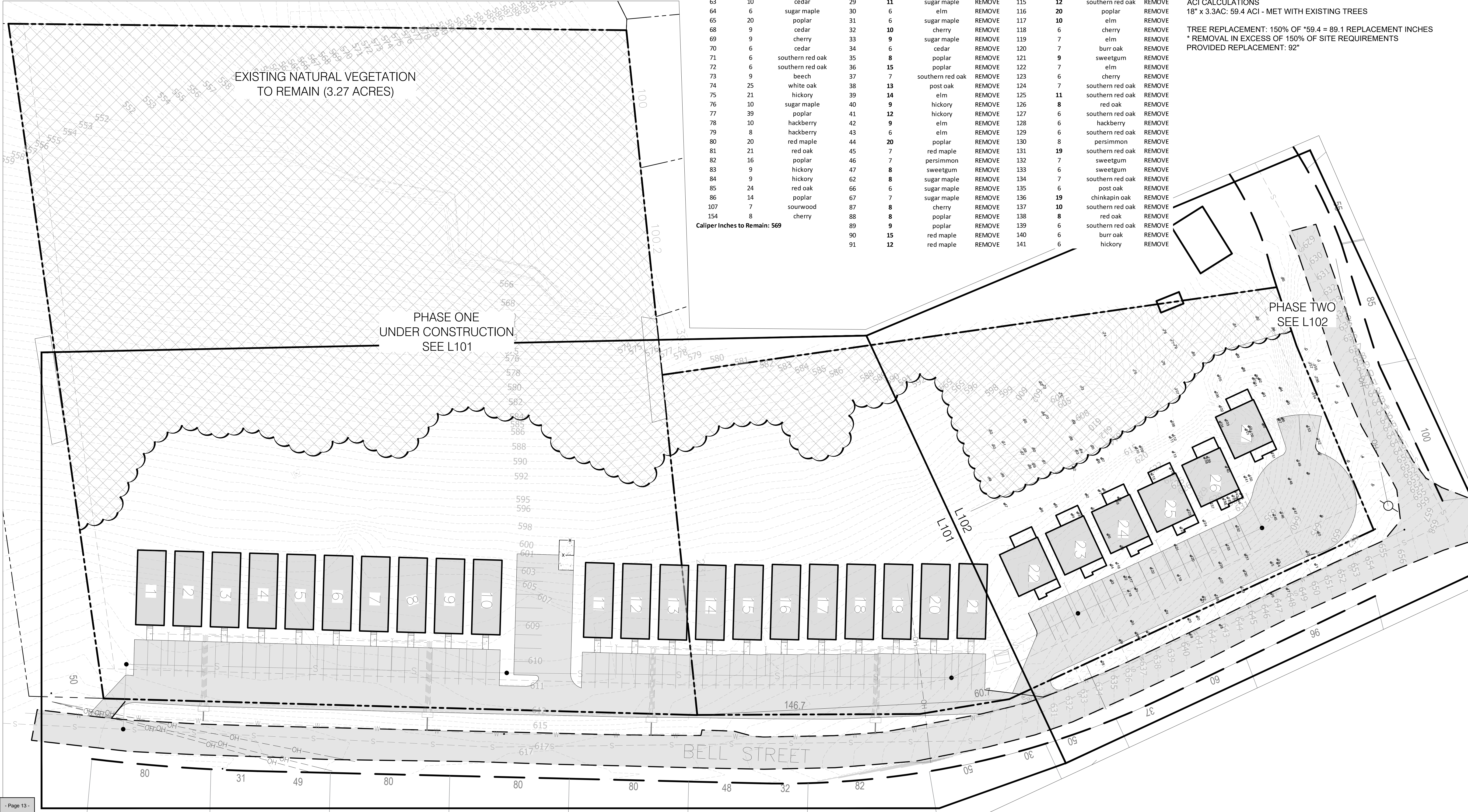
By: cb

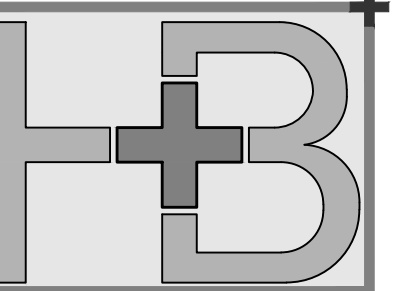
RELEASE DATE: 6/21/2022  
REV 1:

L100

TREES TO REMAIN			TREES TO BE REMOVED			TREES TO BE REMOVED			TREES TO BE REMOVED					
NUMBER	SIZE	TYPE	NUMBER	SIZE	TYPE	NUMBER	SIZE	TYPE	NUMBER	SIZE	TYPE			
0	15	red oak	7	13	red oak	REMOVE	92	8	beech	REMOVE	142	12	southern red oak	REMOVE
1	8	burr oak	8	10	cherry	REMOVE	93	7	southern red oak	REMOVE	143	8	burr oak	REMOVE
2	6	black gum	9	6	cherry	REMOVE	94	14	poplar	REMOVE	144	15	red oak	REMOVE
3	14	black gum	10	6	sugar maple	REMOVE	95	14	poplar	REMOVE	145	13	red oak	REMOVE
4	8	black gum	11	6	cherry	REMOVE	96	12	poplar	REMOVE	146	6	poplar	REMOVE
5	38	white oak	12	15	southern red oak	REMOVE	97	13	poplar	REMOVE	147	8	black gum	REMOVE
6	6	black gum	13	13	sweetgum	REMOVE	98	9	poplar	REMOVE	148	15	burr oak	REMOVE
48	6	sugar maple	14	15	sweetgum	REMOVE	99	12	poplar	REMOVE	149	7	hickory	REMOVE
49	8	sweetgum	15	15	white oak	REMOVE	100	16	poplar	REMOVE	150	7	hickory	REMOVE
50	11	sugar maple	16	8	shagbark hickory	REMOVE	101	12	red maple	REMOVE	151	9	red oak	REMOVE
51	6	sugar maple	17	12	shagbark hickory	REMOVE	102	8	hickory	REMOVE	152	14	red oak	REMOVE
52	18	poplar	18	19	poplar	REMOVE	103	9	black gum	REMOVE	153	11	white oak	REMOVE
53	9	post oak	19	10	southern red oak	REMOVE	104	6	sourwood	REMOVE	Caliper Inches Removed: 1102			
54	7	sugar maple	20	11	southern red oak	REMOVE	105	13	red oak	REMOVE	TREE INVENTORY OF PHASE II PROVIDED BY PANTHER CREEK FORESTRY			
55	14	sugar maple	21	15	southern red oak	REMOVE	106	6	sourwood	REMOVE	TREES TO BE REMOVED: 1012*			
56	9	black gum	22	21	red oak	REMOVE	108	8	beech	REMOVE	TREES TO REMAIN: 569*			
57	10	black gum	23	11	southern red oak	REMOVE	109	16	poplar	REMOVE	OVERALL SITE ACREAGE: 6.57 AC			
58	10	black gum	24	9	Southern red oak	REMOVE	110	9	poplar	REMOVE	UNDISTURBED WOODED AREA: 3.27 AC			
59	28	poplar	25	7	burr oak	REMOVE	111	6	hickory	REMOVE	LIMITS OF DISTURBANCE: 3.3 AC (CALCULATED LANDSCAPE AREA)			
60	6	red maple	26	14	southern red oak	REMOVE	112	9	hickory	REMOVE	ACI CALCULATIONS			
61	10	sugar maple	27	11	southern red oak	REMOVE	113	12	southern red oak	REMOVE	18" x 3.3AC: 59.4 ACI - MET WITH EXISTING TREES			
63	10	cedar	28	13	black gum	REMOVE	114	6	sweetgum	REMOVE	TREE REPLACEMENT: 150% OF *59.4 = 89.1 REPLACEMENT INCHES			
64	6	sugar maple	29	11	sugar maple	REMOVE	115	12	southern red oak	REMOVE	* REMOVAL IN EXCESS OF 150% OF SITE REQUIREMENTS			
65	20	poplar	30	6	elm	REMOVE	116	20	poplar	REMOVE	PROVIDED REPLACEMENT: 92"			
68	9	cedar	31	6	sugar maple	REMOVE	117	10	elm	REMOVE				
69	9	cherry	32	10	cherry	REMOVE	118	6	cherry	REMOVE				
70	6	cedar	33	9	sugar maple	REMOVE	119	7	elm	REMOVE				
71	6	southern red oak	34	6	cedar	REMOVE	120	7	burr oak	REMOVE				
72	6	southern red oak	35	8	poplar	REMOVE	121	9	sweetgum	REMOVE				
73	9	beech	36	15	poplar	REMOVE	122	7	elm	REMOVE				
74	25	white oak	37	7	southern red oak	REMOVE	123	6	cherry	REMOVE				
75	21	hickory	38	13	post oak	REMOVE	124	7	southern red oak	REMOVE				
76	10	sugar maple	39	14	elm	REMOVE	125	11	southern red oak	REMOVE				
77	39	poplar	40	9	hickory	REMOVE	126	8	red oak	REMOVE				
78	10	hackberry	41	12	hickory	REMOVE	127	6	southern red oak	REMOVE				
79	8	hackberry	42	9	elm	REMOVE	128	6	hackberry	REMOVE				
80	20	red maple	43	6	elm	REMOVE	129	6	southern red oak	REMOVE				
81	21	red oak	44	20	poplar	REMOVE	130	8	persimmon	REMOVE				
82	16	poplar	45	7	red maple	REMOVE	131	19	southern red oak	REMOVE				
83	9	hickory	46	7	persimmon	REMOVE	132	7	sweetgum	REMOVE				
84	9	hickory	47	8	sweetgum	REMOVE	133	6	sweetgum	REMOVE				
85	24	red oak	48	8	sugar maple	REMOVE	134	7	southern red oak	REMOVE				
86	14	poplar	49	6	sugar maple	REMOVE	135	6	post oak	REMOVE				
107	7	sourwood	50	7	sugar maple	REMOVE	136	19	chinkapin oak	REMOVE				
154	8	cherry	51	8	cherry	REMOVE	137	10	southern red oak	REMOVE				
			52	8	poplar	REMOVE	138	8	red oak	REMOVE				
			53	9	poplar	REMOVE	139	6	southern red oak	REMOVE				
			54	15	red maple	REMOVE	140	6	burr oak	REMOVE				
			55	12	red maple	REMOVE	141	6	hickory	REMOVE				

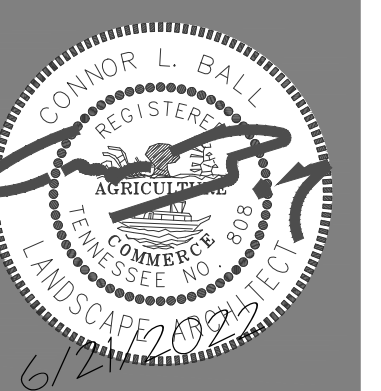
Caliper Inches to Remain: 569





**Heibert+Ball**  
**LAND DESIGN**  
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 Suite 400  
 Franklin, TN 37067  
 Tel: 615.376.2421  
 www.hblanddesign.com

PROPOSED SITE FOR:  
**BELL STREET TOWNHOMES - PH1**  
 ASHLAND CITY, TENNESSEE



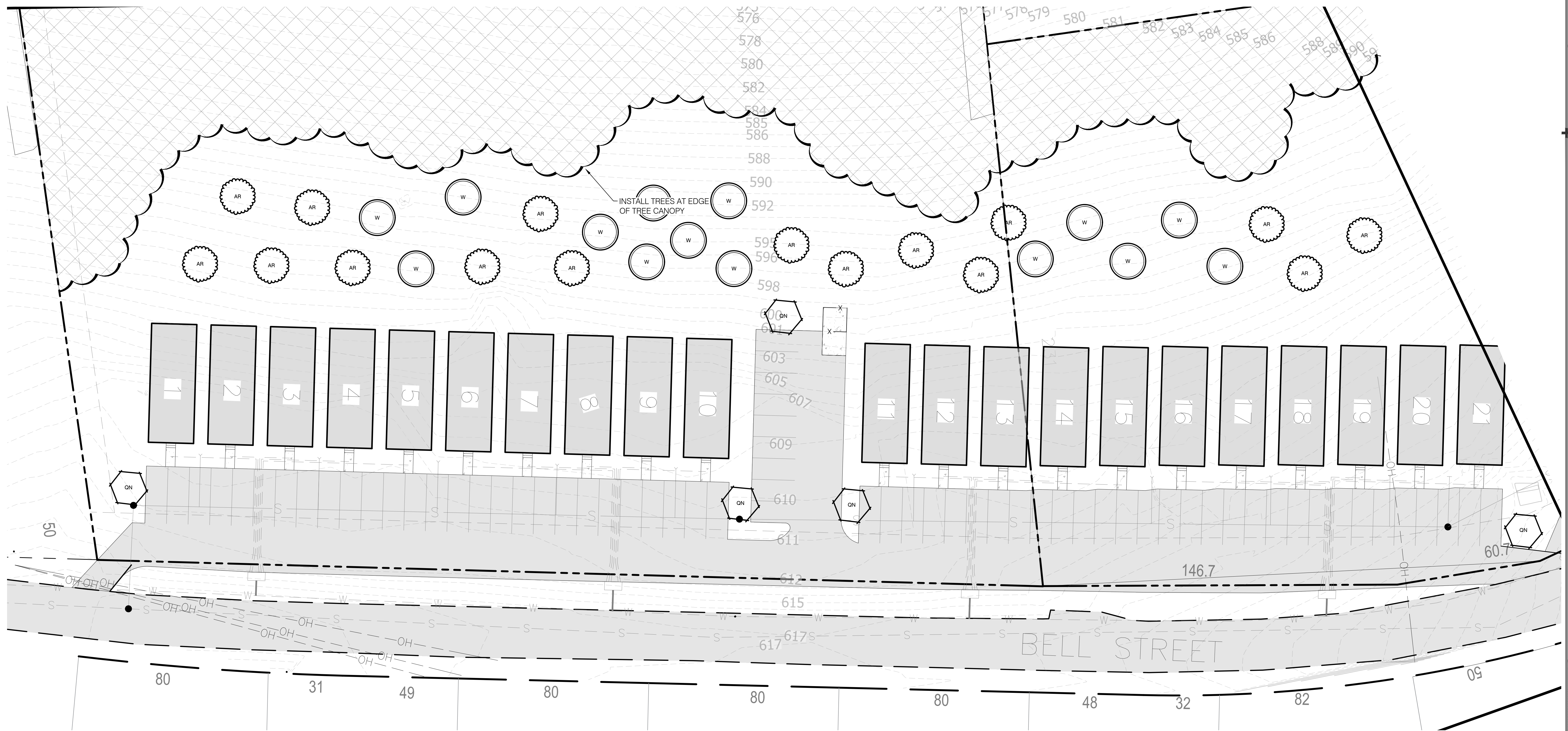
By: cb

RELEASE DATE: 6/21/2022  
 REV: 1

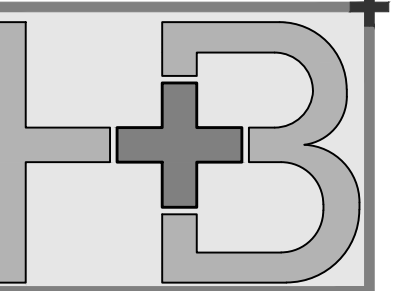
L101

LANDSCAPE PLAN

ITEM # 2.

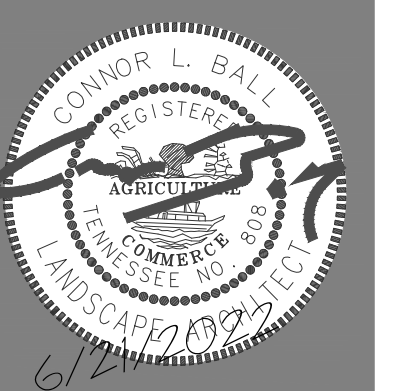


PLANT SCHEDULE PHASE 1					
REPLACEMENT TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	16	October Glory Maple / <i>Acer rubrum</i> 'October Glory' 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2" Cal	10'-12' HT
	5	Nuttall Oak / <i>Quercus nuttallii</i> 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2" Cal	10'-12' HT
	14	Willow Oak / <i>Quercus phellos</i> 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2" Cal	10'-12' HT



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PROPOSED SITE FOR:  
**BELL STREET TOWNHOMES - PH2**  
 ASHLAND CITY, TENNESSEE



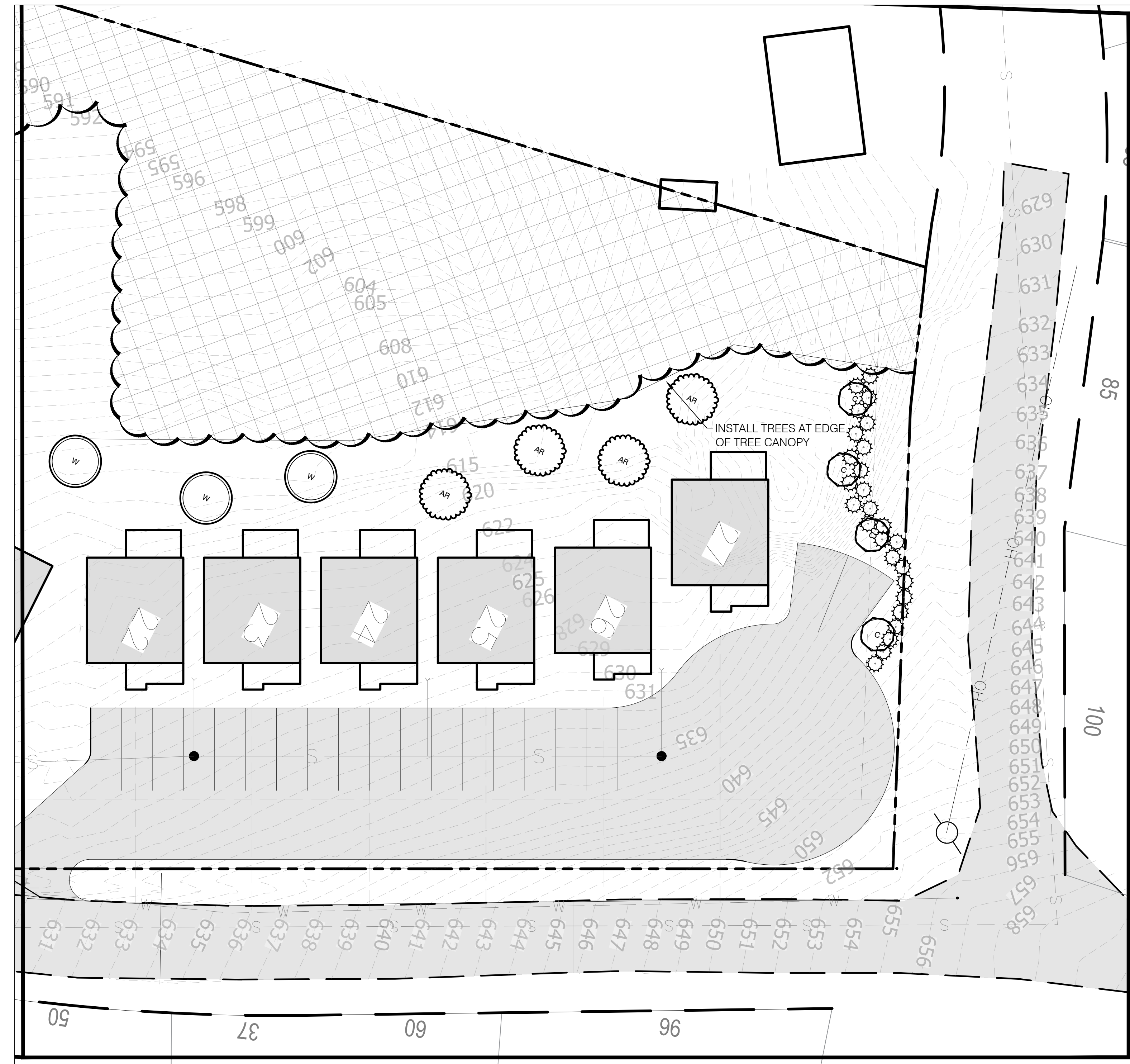
BY: cb

RELEASE DATE: 6/21/2022  
 REV: 1

L102

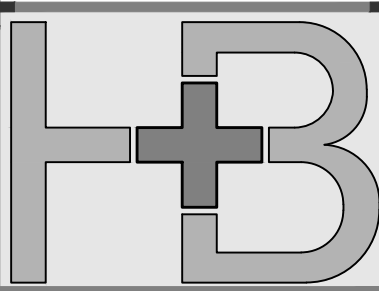
LANDSCAPE PLAN

ITEM # 2.



**PLANT SCHEDULE PHASE 2**

REPLACEMENT TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	4	October Glory Maple / <i>Acer rubrum</i> 'October Glory' 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	2'Cal	10'-12' HT
	4	Eastern Redbud / <i>Cercis canadensis</i> 4' Clear Single Trunk. Evenly Branched. Full Symmetrical Crown. See Tree Specifications	B & B	2'Cal	10'-12' HT
	3	Willow Oak / <i>Quercus phellos</i> 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	2'Cal	10'-12' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	26	Prague Viburnum / <i>Viburnum x pragense</i> Full, Dense Form	18' HT		



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PROPOSED SITE FOR:  
**BELL STREET TOWNHOMES - PH2**  
 ASHLAND CITY, TENNESSEE



BY: cb

RELEASE DATE: 6/21/2022  
 REV 1:

L103 ITEM # 2.

LANDSCAPE PLAN

PLANT SCHEDULE OVERALL - PHASE 1 & 2					
REPLACEMENT TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	20	October Glory Maple / Acer rubrum 'October Glory' 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2'Cal	10'-12' HT
	4	Eastern Redbud / Cercis canadensis 4' Clear Single Trunk, Evenly Branched, Full Symmetrical Crown. See Tree Specifications	B & B	2'Cal	10'-12' HT
	5	Nuttall Oak / Quercus nuttallii 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications.	B & B	2'Cal	10'-12' HT
	17	Willow Oak / Quercus phellos 5' Clear Trunk, Evenly Branched. Matched. See Tree Specifications	B & B	2'Cal	10'-12' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	26	Prague Viburnum / Viburnum x pragense Full, Dense Form	18" HT		

- PLAN NOTES:**
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 3" MINIMUM DEPTH OF PINE STRAW MULCH.
  - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
  - ALL PARKING LOT ISLANDS ARE TO BE INSPECTED AND APPROVED BY THE TOWN OF ASHLAND CITY PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL OR SOIL.
  - ALL AREAS OF DISTURBANCE SHALL BE SEEDED WITH REBEL III TALL FESCUE UNLESS OTHERWISE NOTED ON GRADING PLANS

- LANDSCAPE NOTES:**
- Contractor responsible for locating and protecting all underground utilities prior to digging.
  - Contractor responsible for protecting existing trees from damage during construction as shown on plans.
  - Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading. see topsoil specification sheet I-1.3.
  - All shrub beds (existing and new) to be mulched with a 3-4 inch minimum layer of mulch.
  - Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
  - Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tire marks and indentation to be repaired.
  - Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
  - Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. edge of sod adjacent to mulch beds to be shovel cut. All sod to be delivered in largest rolls available. there shall be no gaps between sod joints.
  - Planting mix to be provided as specified in the landscape specifications.
  - The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
  - Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
  - Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
  - Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
  - All trees and shrubs shall be coordinated with lighting plan prior to installation.
  - All shrubs to be 3' back of curb.
  - All areas of disturbance outside of landscape beds shall be repaired with turf.
  - Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

- SUBSTITUTION NOTE:**
- Requirements shown are per the City Zoning Ordinance. Substitutions are not allowed unless approved by the City and Heibert+Ball Land Design
- TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 15') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment
- TO AVOID OVERHEAD UTILITY CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.
- UTILITY SCREEN**  
 All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations

- TREE SPECIFICATIONS ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**
- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
  - Trees with forked trunks are acceptable if all the following conditions are met:
    - The fork occurs in the upper 1/3 of the tree.
    - One fork is less than 2/3 the diameter of the dominant fork.
    - The top 1/3 of the smaller fork is removed at the time of planting.
  - No branch is greater than 2/3 the diameter of the trunk directly above the branch.
  - The trunk and/or major branches shall not touch
  - Several branches are larger in diameter and obviously more dominant.
  - Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
  - Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree
  - Crown spread shall look proportional to the tree.
  - NO flush cuts or open trunk wounds or other bark injury
  - Root ball meets all ANSI standards and is appropriately sized
- DEFICIENCIES NOT ACCEPTED:**
- |                                  |   |
|----------------------------------|---|
| 1. Tip dieback on 5% of branches | Landscape shall not obstruct visibility or access to fire protection equipment including, but not limited to, fire hydrants and fire department connections |
| 2. Crown thin/sparsely foliated  |   |
| 3. Included bark                 |   |
| 4. Major Branches touching       |   |
| 5. Asymmetrical branching        |   |

- PLANTING NOTES:**
- Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
  - Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
  - Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
  - All materials are subject to the approval of the Landscape Architect, City, and Owner.
  - Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
  - Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by American Standards for Nursery Stock. Main leaders of all trees shall remain intact.
  - Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
  - Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications
  - Discard any material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
  - Maintain all plant material and lawns until project is accepted in full by the City.
  - Guarantee all workmanship and materials for a period of 1 calendar year.
  - Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
  - Provide 6" of topsoil for lawn areas (12" min. over rock), min. 24" of topsoil for shrub zones, and min. 48" deep for tree pits. Refer to specific root ball sizes for the min. diameter tree pit.
  - Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
  - Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain

