



AGENDA

Chair | Chris Peltier

Members | Bill Ahlstrom, Clara Dannhaus, Bonnie McDaniel, Jaime Moreno, Terry Roberts, Steven Sebok

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PARKS AND RECREATION BOARD FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON MONDAY, JUNE 14, 2021, AT 5:30 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

This meeting will also be live-streamed:

City's website at <https://angleton.tx.us/445/Meeting-Videos>

Facebook at <https://www.facebook.com/cityofangleton/>

DECLARATION OF A QUORUM AND CALL TO ORDER

REGULAR AGENDA

1. Minutes from Regular Called meeting on April 12, 2021.
2. Discussion on Public Improvement Districts (PIDs), Tax Incremental Reinvestment Zone (TIRZ), and Municipal Utility Districts (MUDs) with P3 Works, LLC.
3. Discussion on Athletic Sports Association needs and support.
4. Discussion and possible action on assessing expenses and revenues associated with association field maintenance.
5. Discussion and possible action on a Parks & Recreation Youth Board member application.
6. Discussion and possible action on creating Hike and Bike Subcommittee.
7. Discussion on the Parks & Recreation Department personnel.
8. Discuss and provide comment on the preliminary Parks, Right-of-Way, and Recreation division budgets for fiscal years 2021-2022.
9. Discuss and provide comment on the draft Capital Improvements Plan (CIP).

RECREATION

[10.](#) Recreation Updates

PARKS

[11.](#) Discussion on Parks Division updates.

[12.](#) Discussion on park standards manual.

[13.](#) Discussion and possible action on park land use for future park development.

ADJOURNMENT

CERTIFICATION

I, Megan Mainer, Executive Director, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Friday, June 11, 2021 by 5:30 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/S/ Megan Mainer

Megan Mainer

Executive Director

In compliance with the Americans with Disabilities Act, the City of Angleton will provide reasonable accommodations for persons attending City Council meetings. The facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary at 979-849-4364, extension 2115 or email faguilar@angleton.tx.us.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021
PREPARED BY: Megan Mainer, Director of Parks & Recreation
AGENDA CONTENT: Minutes from Regular Called meeting on April 12, 2021.
AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

Minutes from Regular Called meeting on April 12, 2021.

RECOMMENDATION:

Staff recommends the Parks & Recreation Board approve the minutes from Regular Called meeting on April 12, 2021.



CITY OF ANGLETON
PARKS AND RECREATION BOARD MEETING
120 S. CHENANGO STREET, ANGLETON, TEXAS 77515
MONDAY, APRIL 12, 2021 AT 5:30 PM

MINUTES

Chair | Chris Peltier

**Members | Bill Ahlstrom, Clara Dannhaus, Bonnie McDaniel, Jaime Moreno, Terry Roberts,
 Steven Sebok**

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PARKS AND RECREATION BOARD FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON MONDAY, APRIL 12, 2020, AT 5:30 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

In accordance with an Order of the Office of the Governor issued March 16, 2020, this meeting scheduled is in person and open to the public at The City of Angleton Council Chambers located at 120 S. Chenango Street Angleton, Texas 77515. In order to advance the public health goal of limiting face-to-face meetings (also called "social distancing") to slow the spread of the Coronavirus (COVID-19), seating will be limited to allow for 6 feet of separation.

This meeting will also be live-streamed:

City's website at <https://angleton.tx.us/445/Meeting-Videos>

Facebook at <https://www.facebook.com/cityofangleton/>

DECLARATION OF A QUORUM AND CALL TO ORDER

PRESENT

Committee Member, Position 1 Bonnie McDaniel

Committee Member, Position 2 Steven Sebok

Committee Chair, Position 3 Chris Peltier

Committee Member, Position 4 Jamie Moreno

Committee Member, Position 5 Bill Ahlstrom

Committee Member, Position 6 Clara Dannhaus

Committee Member, Position 7 Terry Roberts

REGULAR AGENDA

1. Consideration and discussion on the Minutes from the Parks and Recreation Board meeting on February 8, 2021.

Motion made by Committee Member, Position 1 McDaniel, Seconded by Committee Member, Position 7 Roberts.

Voting Yea: Committee Member, Position 1 McDaniel, Committee Member, Position 2

Sebok, Committee Chair, Position 3 Peltier, Committee Member, Position 4 Moreno, Committee Member, Position 5 Ahlstrom, Committee Member, Position 6 Dannhaus, Committee Member, Position 7 Roberts

2. Presentation on Lakeside Park's natural environment.
3. Discussion and possible action on the Parkland Dedication Ordinance.

Motion made by Committee Member, Position 1 McDaniel, Seconded by Committee Member, Position 7 Roberts.

Voting Yea: Committee Member, Position 1 McDaniel, Committee Member, Position 2 Sebok, Committee Chair, Position 3 Peltier, Committee Member, Position 4 Moreno, Committee Member, Position 5 Ahlstrom, Committee Member, Position 6 Dannhaus, Committee Member, Position 7 Roberts

PUBLIC HEARING

4. Conduct a public hearing, discussion and possible action on amending the Parks and Recreation Standards of Care ordinance.

Motion made by Committee Member, Position 7 Roberts, Seconded by Committee Member, Position 6 Dannhaus.

Voting Yea: Committee Member, Position 1 McDaniel, Committee Member, Position 2 Sebok, Committee Chair, Position 3 Peltier, Committee Member, Position 4 Moreno, Committee Member, Position 5 Ahlstrom, Committee Member, Position 6 Dannhaus, Committee Member, Position 7 Roberts

RECREATION

5. Discussion and possible action on Recreation Center renovations and expansion for a recovery hub.

Motion made by Committee Member, Position 4 Moreno, Seconded by Committee Member, Position 1 McDaniel.

Voting Yea: Committee Member, Position 1 McDaniel, Committee Member, Position 2 Sebok, Committee Chair, Position 3 Peltier, Committee Member, Position 4 Moreno, Committee Member, Position 5 Ahlstrom, Committee Member, Position 6 Dannhaus, Committee Member, Position 7 Roberts

6. Discussion on Recreation Division updates.

PARKS

7. Discussion on Parks Division updates.

ADJOURNMENT

CERTIFICATION

I, Megan Mainer, Executive Director, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Saturday, September 5, 2020 by 6:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/S/ Megan Mainer
Megan Mainer
Executive Director

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**CITY OF ANGLETON
PARKS AND RECREATION BOARD AND ANGLETON BETTER
LIVING CORPORATION JOINT MEETING
120 S. CHENANGO STREET, ANGLETON, TEXAS 77515
MONDAY, APRIL 12, 2021 AT 5:30 PM**

MINUTES

THE FOLLOWING REPRESENTS THE ACTIONS TAKEN BY THE PARKS AND RECREATION BOARD AND THE ANGLETON BETTER LIVING CORPORATION IN THE ORDER THEY OCCURRED DURING THE MEETING. THE PARKS AND RECREATION BOARD AND THE ANGLETON BETTER LIVING CORPORATION OF ANGLETON, TEXAS CONVENED IN A JOINT MEETING ON MONDAY, APRIL 12, 2021, AT 5:30 P.M., IN THE ANGLETON CITY HALL COUNCIL CHAMBERS, 120 S. CHENANGO, ANGLETON, TEXAS.

DECLARATION OF A QUORUM AND CALL TO ORDER

With a quorum present, Chair Peltier called the meeting to order at 5:34.

PRESENT

Chris Peltier, Chair
Bill Ahlstrom
Clara Dannhaus
Bonnie McDaniel
Jamie Moreno
Steven Sebok
Terry Roberts

With a quorum present, Vice Chair Wright called the meeting to order at 5:43.

PRESENT

John Wright, Vice Chair
Ellen Eby
William Jackson
Chris Peltier
Charlyn Rogers

ABSENT

Jason Perez, Chair
George Rau

REGULAR AGENDA

1. Presentation on Freedom Park Master Plan program findings by Burditt Consulting.

Presentation was provided by Claudia Walker and Paul Howard with Burditt Consulting.

2. Discussion and possible action on Lakeside Park site plan.

Upon a motion by Member Roberts and seconded by Member Dannhaus, the Board approved the site plan. The motion passed on a 7-0 vote.

Upon a motion by Director Eby and seconded by Director Rogers, the Corporation approved the site plan. The motion passed on a 5-0 vote. Chair Perez and Director Rau were absent.

ADJOURNMENT

The meeting was adjourned at 7:08 pm.

These minutes were approved by the Parks and Recreation Board on this the 12th day of April 2021, upon a motion by XX, seconded by XX. The motion passed on a 7-0 vote.

CITY OF ANGLETON, TEXAS

Chris Peltier
Chair

ATTEST:

Geri Gonzales
Recreation Superintendent



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion on Public Improvement Districts (PIDs), Tax Incremental Reinvestment Zone (TIRZ), and Municipal Utility Districts (MUDs) with P3 Works, LLC.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA

FUNDS REQUESTED: NA

FUND: NA

EXECUTIVE SUMMARY:

Jon Snyder, with P3 Works, LLC, will discuss Public Improvement Districts (PIDs), Tax Incremental Reinvestment Zone (TIRZ), and Municipal Utility Districts (MUDs).

RECOMMENDATION:

NA



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion on Athletic Sports Association needs and support.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

Staff has been directed allow more frequent interaction with local Athletic Sports Associations (ASAs) and the Parks and Recreation Board to ensure the board and staff have a better understanding of association needs, typical operations, future plans, etc.

RECOMMENDATION:

Staff recommends the Parks & Recreation Board listen to ASA needs and provide comments and/or direction to staff if warranted.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion and possible action on assessing expenses and revenues associated with association field maintenance.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA

FUNDS REQUESTED: NA

FUND: NA

EXECUTIVE SUMMARY:

John Wright inquired about the impacts of the City taking over sports complex field maintenance. To fully understand the impacts, staff would need to complete research as it relates to other municipal operations, current costs associated with field maintenance, as well revenue received from residents for league offerings. This research and information would help staff, the Parks & Recreation Board, and City Council understand potential expense and revenue impacts to the budget if the City decided to take over sports complex field maintenance.

RECOMMENDATION:

Staff recommends the Parks & Recreation Board request more information regarding expenses and revenues associated with association field maintenance.



CITY OF ANGLETON, TEXAS
BOARDS & COMMISSIONS YOUTH MEMBER APPLICATION

APPLICANT INFORMATION

Name: Gabriel Gonzales S Date of Birth: 11-07-2003

Address: 121 Clements St Apt #902

Email Address: Gabrielgonzales@bcffa.us

Home Phone Number: N/A Cell: 979-288-9874

School Attending: Angleton High School

Are you a City of Angleton resident?
Yes

How long have you been a resident of Angleton? 17 years

What Board or Commission are you applying for? Parks and Recreation

Give brief information about yourself, including education, employment, volunteering, and any special qualification you have for serving on this board. Use attachments if necessary.

My name is Gabriel I currently
volunteer with Angleton fire department
as a Junior cadet, I am a 10th grade
student involved with JROTC.
I love helping people and enjoy volunteering
at places in the city!

State why you want to serve the City of Angleton as a Youth Member. Use attachments if necessary.

To help provide any ideas with events and learn from others.

Are you involved in any community activities? Yes No
If _____ so, _____ which _____

one(s)? Angleton Fire Cadet Program

Are you involved in any school extracurriculars? Yes No
If _____ so, _____ which _____

one(s)? JROTC

Do you have relatives who work for the City of Angleton? Yes No
If _____ so, _____ who? _____

Do you receive any direct compensation from the City of Angleton? Yes No
If _____ so, _____ what _____ type? _____

Please include at least one (1) letter of recommendation from a school official, community leader or employer with your application.

By signing below, you certify that all information on this form is represented accurately. The applicant further authorizes the City Council, or its designee, to verify any information. The applicant agrees to release and hold harmless the City from all claims incident to the verification of information contained herein. All information provided is considered public pursuant to the Texas Public Information Act.

Signature:

Gabriel Gonzales

Date: 5-10-21

Please return the completed form to City of Angleton, City Secretary's Office, 121 S. Velasco Street, Angleton, Texas 77515 or e-mail citysecretary@angleton.tx.us to be considered for appointment.

OFFICE USE ONLY

Date Application Received: _____

Application Received by: _____

Position Appointed: _____

Date Appointed: _____

Term Starts: _____

Term Expires: _____



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion and possible action on creating Hike and Bike Subcommittee.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

Planning today is necessary to meet the community's needs of tomorrow. Hike and bike amenities are an especially important part of this planning effort. They are critical if Angleton wants to offer transportation choices, improve safety, enhance community health and wellness, and improve economic competitiveness.

Goal 3: Facilities and Amenities, Objective 3.2. Address pedestrian connectivity throughout the City, Action 3.2.a Consider trail and multi-modal transportation plan to address walkable access to recreation facilities was addressed as an action item in the Comprehensive Parks & Recreation Master and Strategic Plan. The City can overcome its traditional shortfalls related to hiking and bicycling by developing an integrated, safe, and convenient multi-modal transportation system.

Staff would like to recommend the Parks & Recreation Board initial a Hike and Bike Subcommittee consisting of community members, other than Parks & Recreation Board members, to develop a multi-modal transportation plan that will aid in annual sidewalk replacements, park connectivity, safe routes to school, and provide an integrated, seamless transportation and recreation framework to facilitate hiking and biking as viable transportation alternatives throughout Angleton.

RECOMMENDATION:

Staff recommends the Parks & Recreation Board create a Hike and Bike subcommittee.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion on the Parks & Recreation Department personnel.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: Various **FUNDS REQUESTED:** \$0.00

FUND: 01-550-105 and 60-506-105

EXECUTIVE SUMMARY:

The Angleton Parks & Recreation Department was approached about additional funding for personnel and was asked to assess departmental staffing needs. The Director of Parks & Recreation, Parks Superintendent and Recreation Superintendent independently identified needs and discussed each of them at multiple Parks & Recreation Leadership meetings. Vacancies at the time included Recreation Specialists – Senior Programs and Parks & Recreation Administrative Assistant. Staff suggested the following personnel changes and additions:

FY 2020-2021 Parks & Recreation Personnel Changes

- Move 25% of Parks Custodian charges to Parks Personnel eliminating the expense out of the Angleton Recreation Center Personnel expenses.
- Eliminate the full-time Recreation Specialist – Senior Programs and hire a permanent part-time Recreation Assistant – Senior Programs to work 30 hours per week Monday through Friday from about 8am – 2pm to develop senior programming.
- Hire a full-time Recreation Assistant – Front Desk to improve customer service and to allow for a full-time supervisor at the front desk Monday through Friday.
- Eliminate the Parks & Recreation Administrative Assistant and hire an Assistant Parks & Recreation Director budgeted out of the Parks Personnel.

Proposed FY 2021-2022 Parks & Recreation Personnel Changes

- Maintain changes made in FY 2020-2021.
- Hire one additional parks crew member when Lakeside Park opens. We are estimating a July 1 open date.
- Hire one additional maintenance crew leader when Lakeside Park opens. We are estimating a July 1 open date.

Staff was able to move forward with all proposed changes within budget. Parks Personnel will increase next fiscal year which is reflected on the preliminary budget proposals for FY 2021-2022.

To date, staff has successfully on boarded the full-time Recreation Assistant – Front Desk position, has transitioned a custodian to Parks, and has extended an offer to the permanent part-time Recreation Assistant – Senior Programs positions. Interviews are currently underway for the Assistant Parks & Recreation Director vacancy.

RECOMMENDATION:

NA



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discuss and provide comment on the preliminary Parks, Right-of-Way, and Recreation division budgets for fiscal years 2021-2022.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: None

FUNDS REQUESTED: None

FUND: None

EXECUTIVE SUMMARY:

Staff has submitted budget requests for City Manager and City Council review and consideration based on strategic goals, staffing needs, and park and recreation projects.

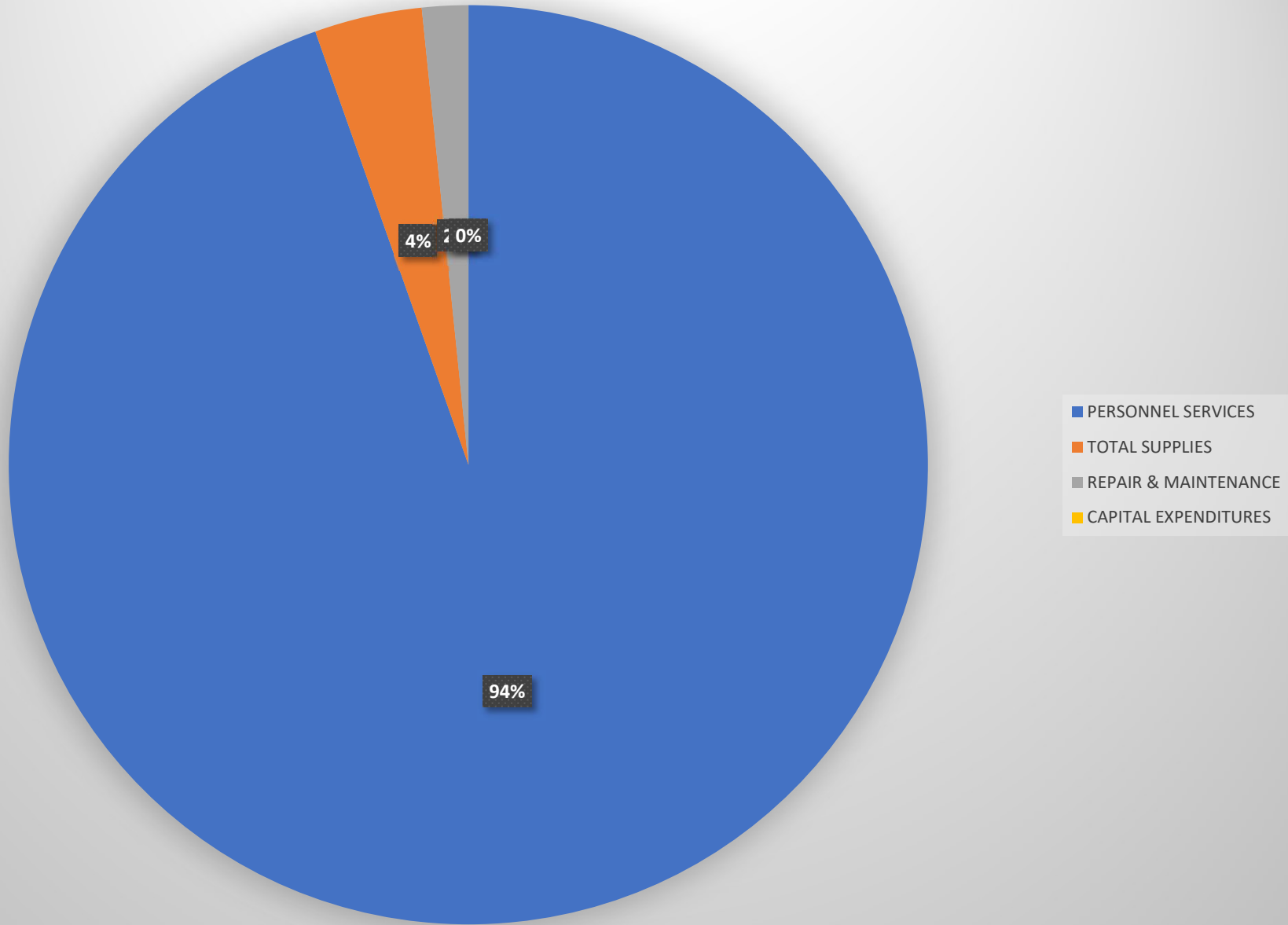
Major changes to the budget include requests for additional positions in Right-of-Way, salaries in Parks for an Assistant Parks & Recreation Director and custodian, contract labor for park development, and park infrastructure.

The Recreation Division took a conservative approach to the budget due to impacts of COVID. While recreation revenues are increasing, staff is unsure we will return to pre-COVID revenues. Revenue projections are based on an average of pre-COVID (FY2018-2019) revenue and COVID (FY2019-2020) revenue years. If revenue exceeds expectations, the Recreation Division would like to address various maintenance projects that have been itemized in an attachment enclosed.

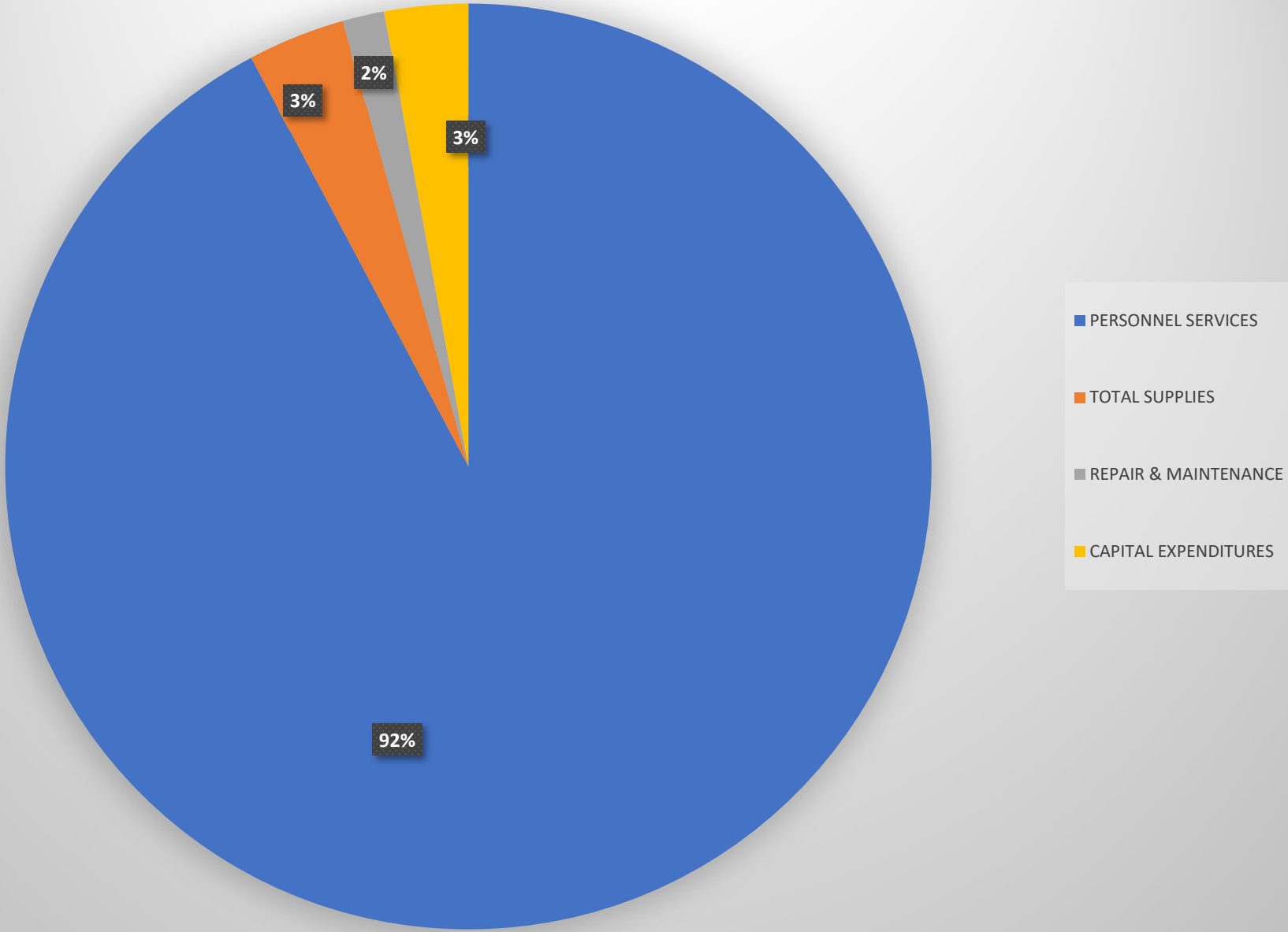
RECOMMENDATION:

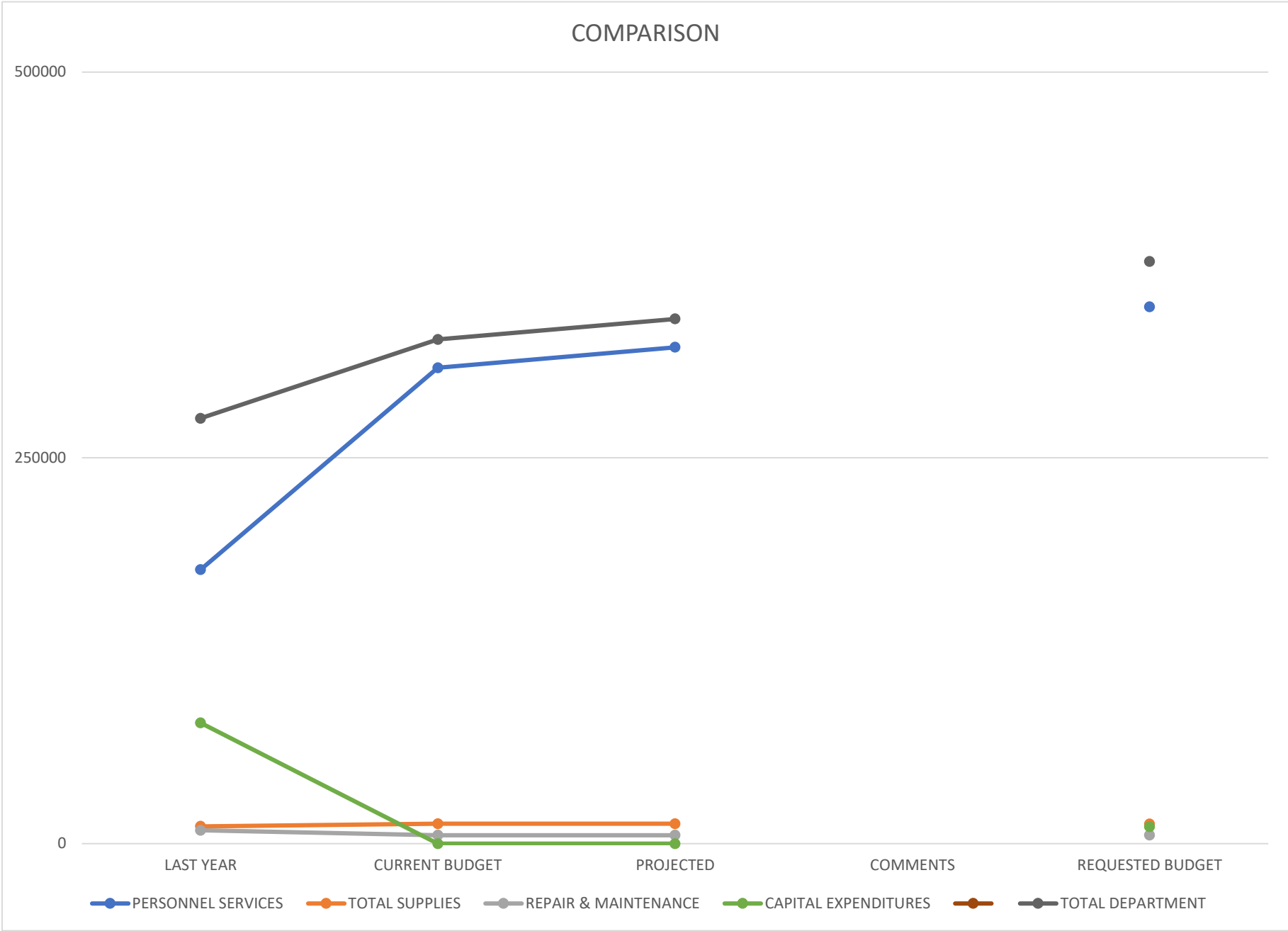
Staff recommends that the Parks and Recreation Board provide comment on the preliminary Parks, Right-of-Way, and Recreation division budgets for fiscal years 2021-2022.

PROJECTED CURRENT YEAR



REQUESTED ROW BUDGET EXPENDITURES





CITY OF ANGLETON														
FISCAL BUDGET YEAR														
OCT. 1, 2021 TO SEPT. 30, 2022	Link													
GENERAL	01													
RIGHT OF WAY	563													

# OF MONTHS	LINKED TO INPUT
6	

PERSONNEL SERVICES

DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
563	105	SALARIES	\$112,390	\$198,371	77%	\$104,985	\$209,971		\$218,224	4%	\$218,224	4%	Wages include (1) Crew Leader and (4) Crew Members. Increase due to two new proposed positions totaling \$72567
563	110	OVERTIME	\$2,870	\$3,500	22%	\$455	\$910		\$3,750	312%	\$3,750	312%	Funding for OT expenses for hourly employees in this department
563	115	LONGEVITY	\$720	\$1,860	158%	\$840	\$1,680		\$2,805	67%	\$2,805	67%	
563	135	FICA	\$7,665	\$14,897	94%	\$6,536	\$13,071		\$17,306	32%	\$17,306	32%	Increase due to two new proposed positions
563	140	HEALTH INSURANCE	\$38,198	\$62,626	64%	\$33,351	\$66,702		\$73,395	10%	\$73,395	10%	
563	143	PHONE ALLOWANCE	\$0	\$0		\$0	\$0		\$1,440		\$1,440		
563	145	WORKERS COMP	\$1,081	\$3,000	178%	\$0	\$3,000	TML INSURANCE	\$3,150	5%	\$3,150	5%	TML INSURANCE
563	150	UNEMPLOYMENT	\$0	\$0		\$0	\$0		\$0		\$0		
563	155	RETIREMENT	\$14,180	\$24,000	69%	\$13,138	\$26,277		\$27,780	6%	\$27,780	6%	
563	165	MEDICAL EXPENSE	\$0	\$100		\$0	\$0		\$0		\$0		
563	185	PAYROLL ACCRUAL	\$404	\$0		\$0	\$0		\$0		\$0		
TOTAL PERSONNEL SERVICES			\$177,508	\$308,354	74%	\$159,305	\$321,610		\$347,849	8%	\$347,849	8%	
			% CHANGE	74%			4%		8%		8%		

SUPPLIES

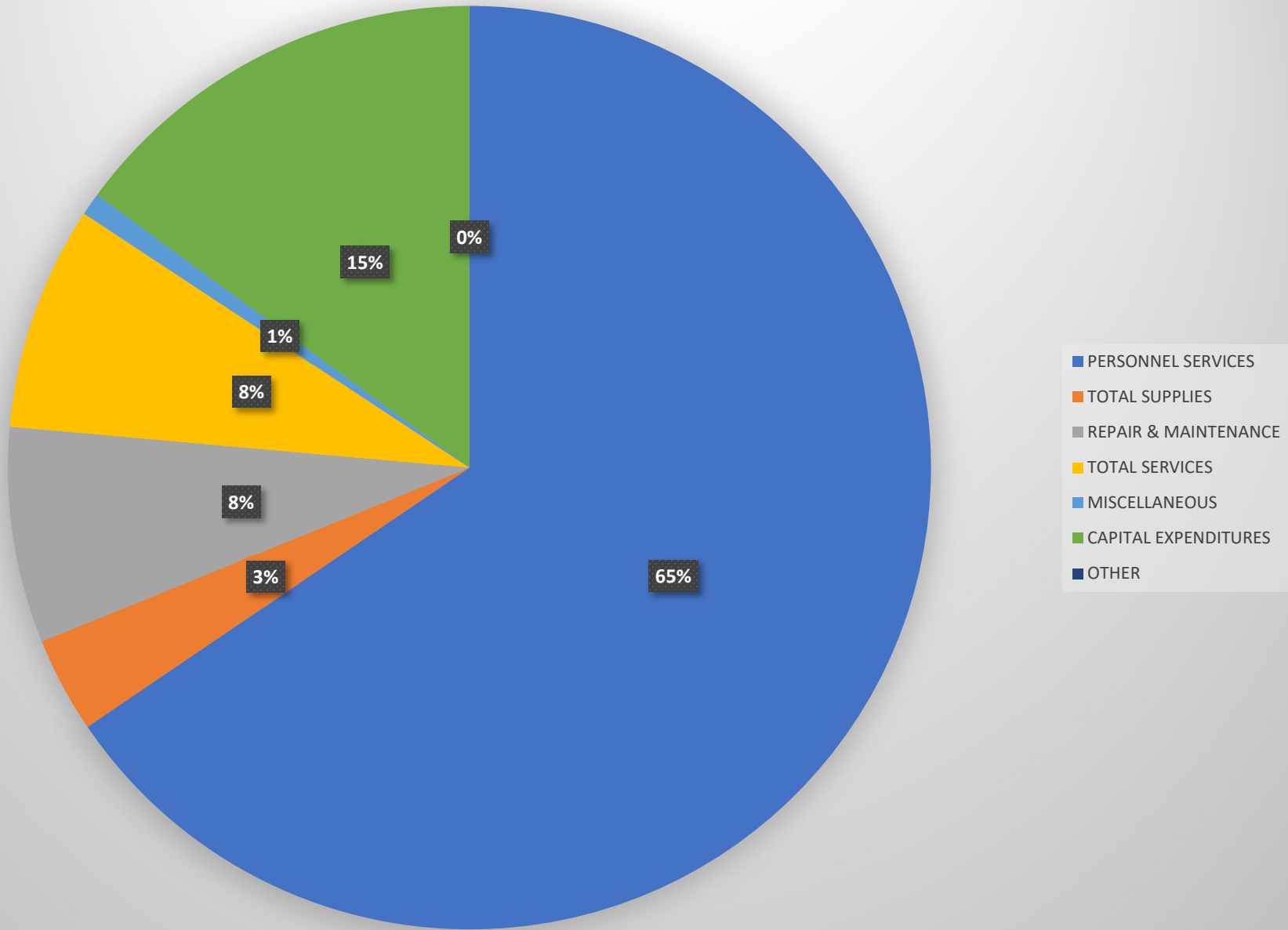
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
563	216	FUEL EXPENSE	\$9,235	\$6,375	-31%	\$1,930	\$6,375	Projection is \$3,860 but may increase due to summer mowing	\$6,300	-1%	\$6,300	-1%	Cost of fuel for tractors and equipment in maintaining ROW and 288 corridor
563	220	EQUIPMENT SUPPLIES	\$1,973	\$6,500	229%	\$282	\$6,500	Projection is \$565.00 but wear and tear increases during summer months, replacing blades and general maintenance.	\$6,500	0%	\$6,500	0%	Cost of tires, oil, filters, transmission fluid, etc. for tractors.
TOTAL SUPPLIES			\$11,208	\$12,875	15%	\$2,213	\$12,875		\$12,800	-1%	\$12,800	-1%	
			% CHANGE	15%			0%		-1%		-1%		

CITY OF ANGLETON													
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022	Link												
GENERAL	01												
RIGHT OF WAY	563												

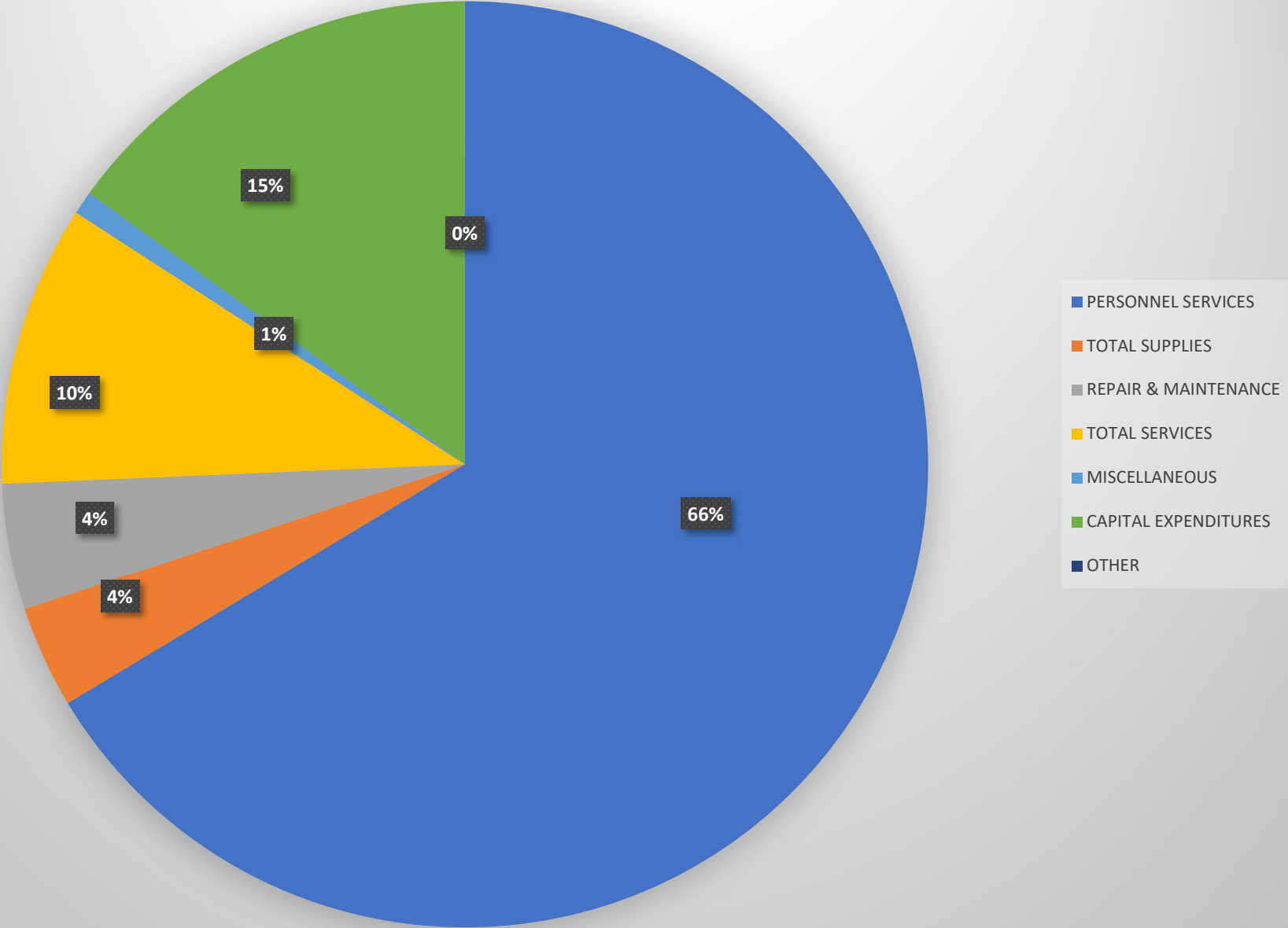
REPAIR & MAINTENANCE													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
563	310	R&M EQUIPMENT	\$8,642	\$5,500	-36%	\$1,388	\$5,500	Projection is \$2,777 but anticipate using budgeted funds	\$5,500	0%	\$5,500	0%	Cost of maintenance and contracted maintenance on equipment such as tractors and weed eaters.
TOTAL REPAIRS AND MAINT.			\$8,642	\$5,500	-36%	\$1,388	\$5,500		\$5,500	0%	\$5,500	0%	
			% CHANGE	-36%			0%		0%		0%		

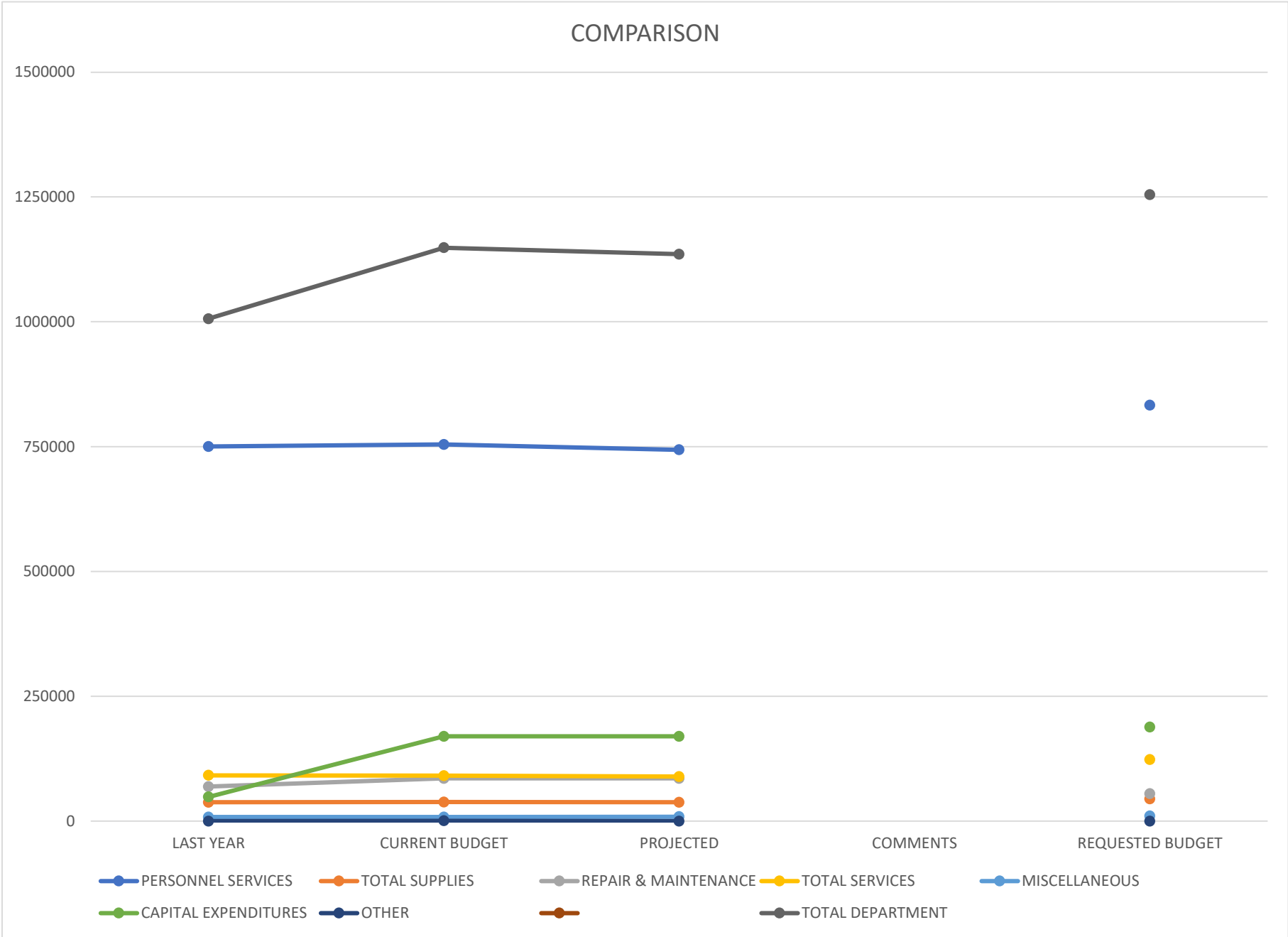
CAPITAL EXPENDITURES													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
563	625	EQUIPMENT CE	\$78,257	\$0		\$0	\$0		\$11,000		\$11,000		Replace 60" cut Ztrac with 72" cut Ztrac
TOTAL CAPITAL EXPENDITURES			\$78,257	\$0		\$0	\$0		\$11,000		\$11,000		
TOTAL DEPARTMENT			\$275,615	\$326,729	19%	\$162,906	\$339,985		\$377,149	11%	\$377,149	11%	
			% CHANGE	19%			4%		11%		11%		

PROJECTED CURRENT YEAR



REQUESTED PARKS BUDGET EXPENDITURES





CITY OF ANGLETON												
FISCAL BUDGET YEAR												
OCT. 1, 2021 TO SEPT. 30, 2022												
GENERAL		01										
		550										
<u>PARKS DEPARTMENT</u>		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
PERSONNEL SERVICES		\$750,252	\$754,470	1%	\$349,492	\$743,782		\$832,987	12%	\$832,987	12%	ASST. DIR AND 100% Custodian
TOTAL SUPPLIES		\$37,970	\$38,350	1%	\$12,671	\$38,000		\$44,700	18%	\$44,700	18%	
REPAIR & MAINTENANCE		\$69,220	\$85,750	24%	\$22,721	\$85,750		\$55,000	-36%	\$55,000	-36%	R&M Infrastructure (\$30,750)
TOTAL SERVICES		\$91,924	\$90,848	-1%	\$33,580	\$89,250		\$123,175	38%	\$123,175	38%	Grant Admin & Prof. Services
MISCELLANEOUS		\$8,234	\$8,350	1%	\$8,512	\$8,962		\$10,300	15%	\$10,300	15%	
CAPITAL EXPENDITURES		\$48,513	\$169,945	250%	\$151,776	\$169,580		\$188,651	11%	\$188,651	11%	Solar Lights, Infrastructure
OTHER		\$0	\$711		\$0	\$0		\$0		\$0		
TOTAL DEPARTMENT	550	\$1,006,114	\$1,148,424	14%	\$578,751	\$1,135,324		\$1,254,813	11%	\$1,254,813	11%	
		% CHANGE	14%			-1%		11%		11%		

Item 8.

CITY OF ANGLETON													
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
GENERAL	Link												
PARKS DEPARTMENT	01												
	550												
												Parking signs, welding supplies, paint brushes, new blades for saws, sockets, picnic table parts, playground equipment parts, etc. GEOTABS mothly charge 216.00 New equipment for additional employees in summer.	
	550	220	EQUIPMENT SUPPLIES	\$5,514	\$3,850	-30%	\$1,783	\$3,850		\$6,350	65%	\$6,350	65%
TOTAL SUPPLIES				\$37,970	\$38,350	1%	\$12,671	\$38,000		\$44,700	18%	\$44,700	18%
			% CHANGE		1%					18%		18%	

REPAIR & MAINTENANCE

DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
550	305	R&M VEHICLES	\$5,565	\$3,000	-46%	(\$1,450)	\$3,000		\$3,000	0%	\$3,000	0%	Tires and wheels. Routine vehicle maintenance as well as repairs is covered by Enterprise.
550	310	R&M EQUIPMENT	\$7,969	\$6,750	-15%	\$2,408	\$6,750		\$7,000	4%	\$7,000	4%	Maintenance expenses for mowing equipment, tractors, trimmers, etc.
550	315	R&M INFRASTRUCTURE	\$23,668	\$25,000	6%	(\$11,439)	\$25,000		\$25,000	0%	\$25,000	0%	Routine maintenance at parks including playground feature repairs, mulch, painting, sand, plumbing, concrete, scout projects, electric repairs, glass, wood replacement, light bulbs, etc. Outside of routine maintenance, there is an increase due to 1. EWF fall protection park playgrounds all Parks, 2. Freedom, Bates, Brushy swing border and add ADA ramp, 3. BG Peck Field Sloping, 4. Bates Replace culverts near field 5, 5. Replace picnic benches with park standards, 6. Install new park standard benches, ADA accessible, 7. Replace dumpster incloser Freedom, BG Peck, 8. Bates Dickey Disc Galf Tee Signs, Basket Numbers, 9. Epoxy Flooring Bates, Freedom Restrooms
550	320	R&M BUILDINGS	\$4,814	\$6,000	25%	\$1,234	\$6,000		\$5,000	-17%	\$5,000	-17%	Judith is finding out about fire alarm monitoring requirements. This may increase.
550	325	R&M OTHER	\$22,500	\$40,000	78%	\$31,967	\$40,000		\$10,000	-75%	\$10,000	-75%	Expenses for antique street lights and heart signs.
550	330	R&M VEGETATION REPLACE	\$4,705	\$5,000	6%	\$0	\$5,000		\$5,000	0%	\$5,000	0%	Expenses associated with landscaping and trees in all existing parks and the 5 mile section of SH 288 with overpasses.
TOTAL REPAIRS AND MAINT.				\$69,220	\$85,750	24%	\$22,721	\$85,750		\$55,000	-36%	\$55,000	-36%
			% CHANGE		24%		0%			-36%		-36%	

SERVICES

DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
550	405	PHONES	\$1,256	\$2,160	72%	\$214	\$1,440		\$480	-67%	\$480	-67%	Parks call phone for maintenance @ \$60/month.
550	410	UTILITIES	\$71,598	\$66,078	-8%	\$29,027	\$66,000		\$66,000	0%	\$66,000	0%	Electricity and gas for the service center, park lamps, concession stands and sports field lighting.
550	415	PROFESSIONAL SERVICES	\$0	\$0		\$0	\$0		\$30,000		\$30,000		\$30K for MRB grant administration for TPW grants
550	420	DUES/SUBSCRIPTIONS	\$475	\$860	81%	\$240	\$860		\$1,552	80%	\$1,552	80%	Traps membership parks, row, and board members \$877, NRPA membership \$350, and GGCPARDA (Director & Superintendent) \$22 & Parks Super.: Pesticide License \$100

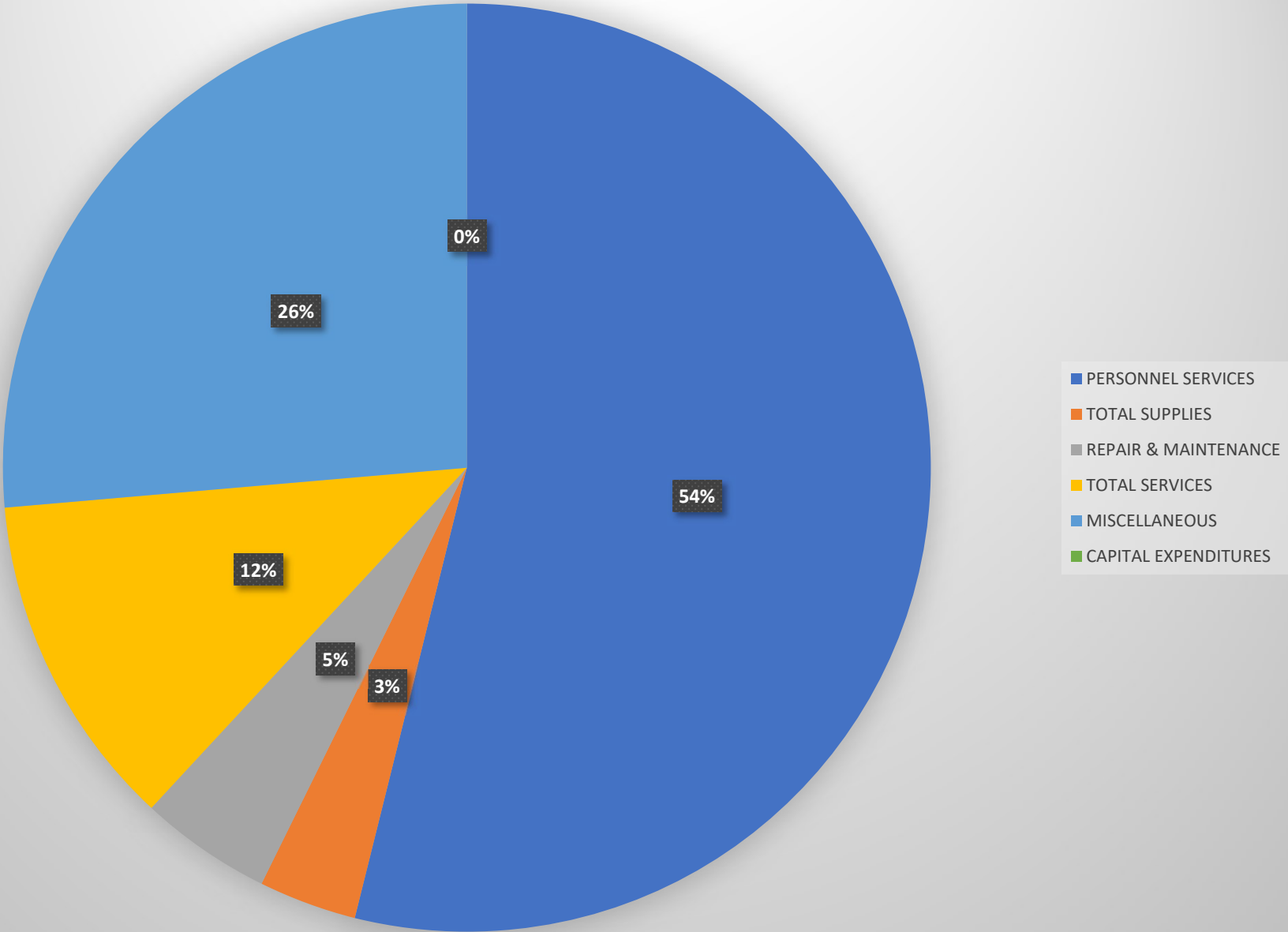
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CITY OF ANGLETON													
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
GENERAL	Link												
PARKS DEPARTMENT	01												
	550												
550	425	TRAVEL/TRAINING	\$5,255	\$5,300	1%	\$479	\$4,500		\$7,793	73%	\$7,793	73%	TRAPs College Station (3 employees): registration \$1125, Travel \$100, Hotel \$900, Food \$495 ; NRPA (2 employees) Phoenix, AZ: Registration \$1000, Travel \$700, Hotel \$1600, Food \$448; TRAPs East Region Workshop & Maintenance Rodeo for Director & Parks division:\$600, CPSI:\$525, Pesticide License test (3 employees): \$300
550	440	RENTAL EXPENSE	\$612	\$1,000	63%	\$26	\$1,000		\$1,000	0%	\$1,000	0%	Rental expenses like portable restrooms, stump grinders, etc. typically used once annually.
550	446	ADVERTISING	\$287	\$100	-65%	\$0	\$100		\$1,000	900%	\$1,000	900%	RFP and RFQ publication notices.
550	456	IRRIGATION	\$175	\$350	100%	\$15	\$350		\$350	0%	\$350	0%	Maintenance on irrigation systems installed at the sports complexes.
550	457	BALLFIELD MAINTENANCE	\$12,267	\$15,000	22%	\$3,579	\$15,000		\$15,000	0%	\$15,000	0%	Field conditioner, sod cutter, clay, chalk, paint, windscreens, and herbicide for BG Peck, Freedom and Bates.
TOTAL SERVICES			\$91,924	\$90,848	-1%	\$33,580	\$89,250		\$123,175	38%	\$123,175	38%	
			% CHANGE		-1%		-2%			38%		38%	
MISCELLANEOUS													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
550	506	VEHICLE INSURANCE	\$7,935	\$7,850	-1%	\$8,462	\$8,462		\$9,400	11%	\$9,400	11%	Increase due to two more trucks.
550	510	EMPLOYEE APPRECIATION	\$300	\$500	67%	\$50	\$500		\$900	80%	\$900	80%	\$10x15x6 months
TOTAL MISCELLANEOUS			\$8,234	\$8,350	1%	\$8,512	\$8,962		\$10,300	15%	\$10,300	15%	
			% CHANGE		1%		7%			15%		15%	

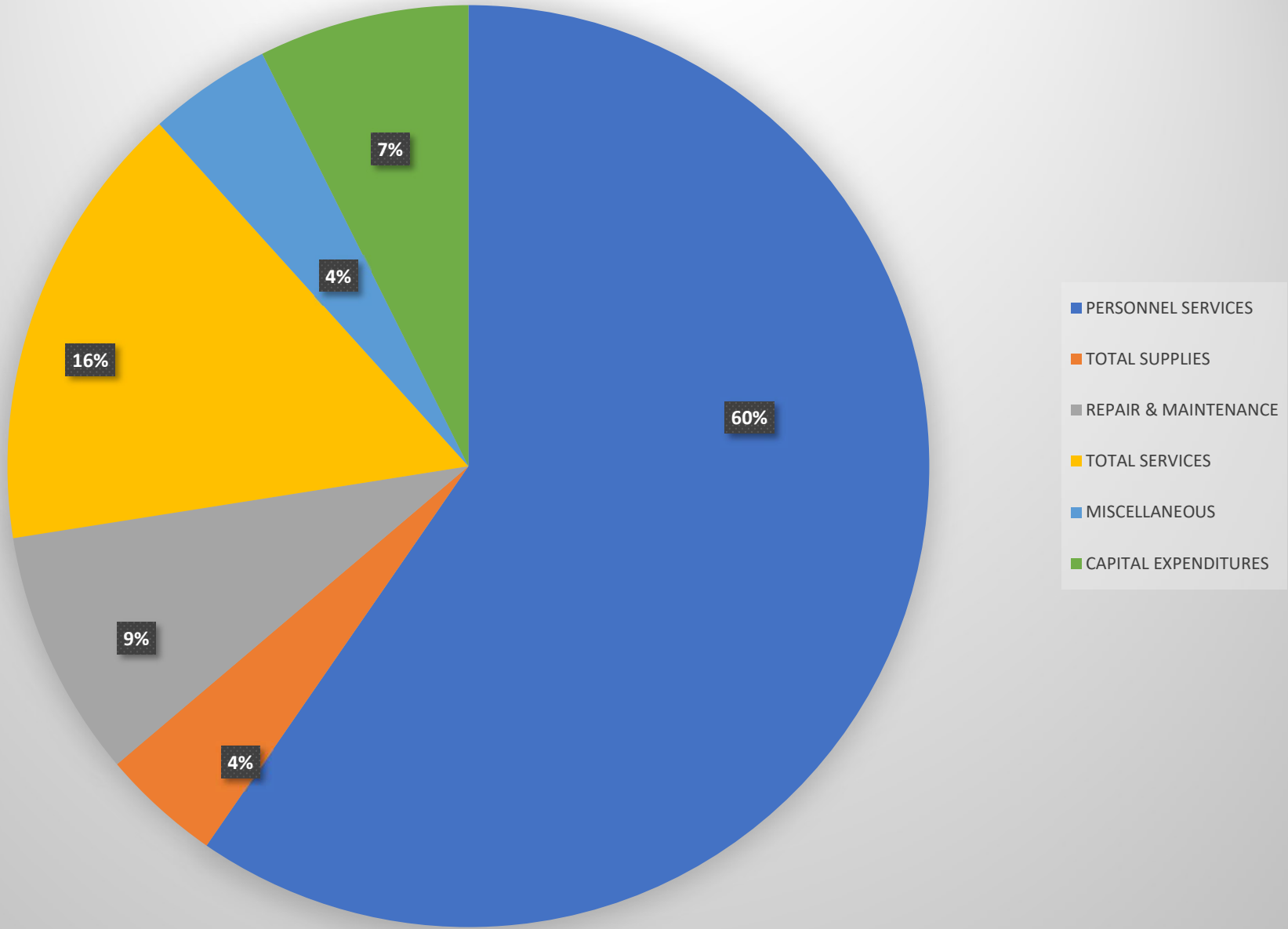
Item 8.

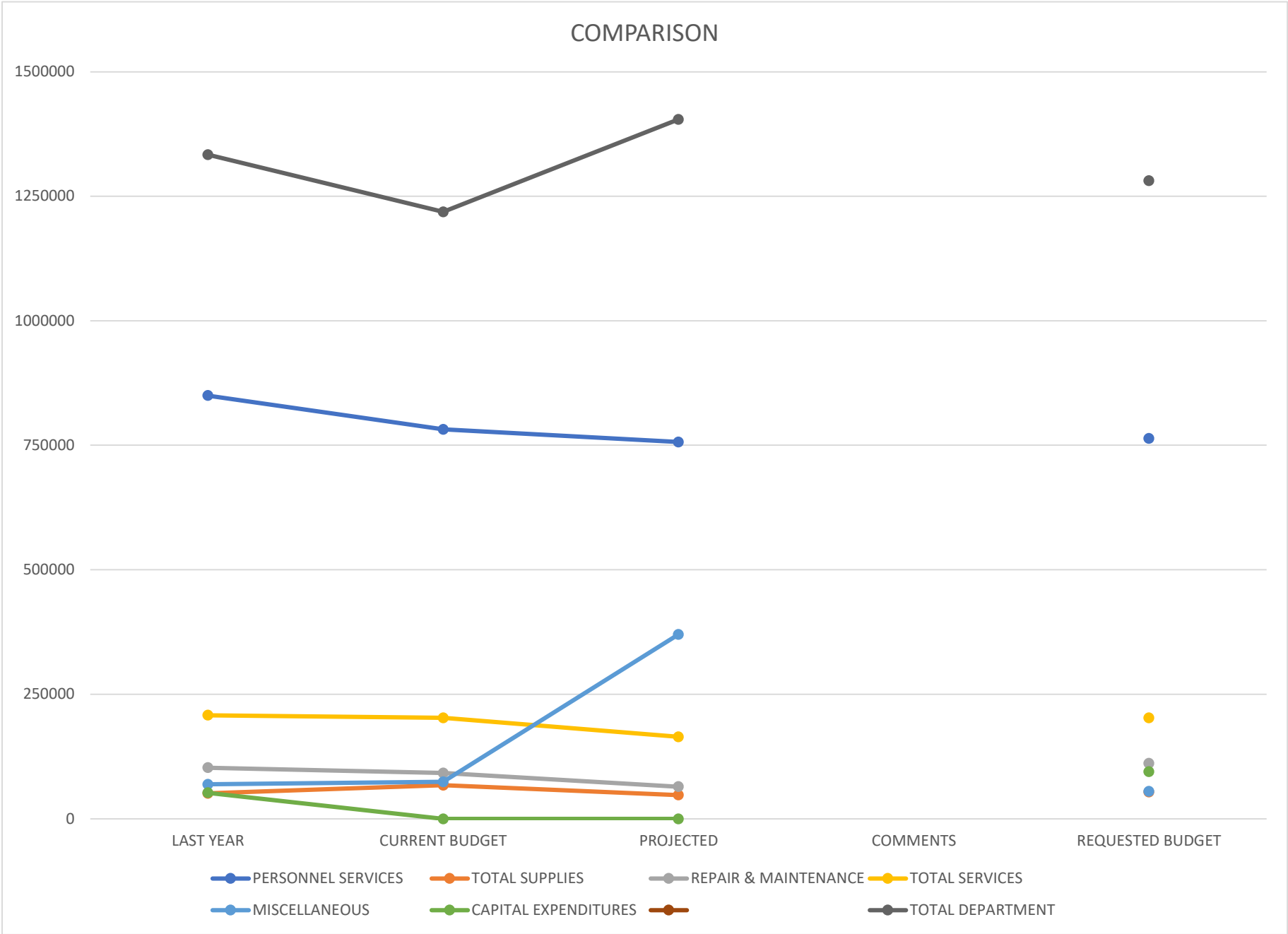
CITY OF ANGLETON													
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
GENERAL	Link												
PARKS DEPARTMENT	01												
	550												
CAPITAL EXPENDITURES													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
550	615	INFRASTRUCTURE CE	\$0	\$150,000		\$133,246	\$150,000		\$170,651	14%	\$170,651	14%	Freedom Solar Lights, 13k From TXU, Solar parking lot lights BG Peck Soccer Complex, BG Peck Playground replacement and fall material, and Peach Detention phase 1 \$7987
550	625	EQUIPMENT CE	\$48,513	\$19,945	-59%	\$18,530	\$19,580		\$18,000	-8%	\$18,000	-8%	Replace 1 60" cut ZTraks with 1 72" cut mowers, cover more ares and less man hours mowing , New 20' lowboy trailer to accommodate 3 mowers
TOTAL CAPITAL EXPENDITURES			\$48,513	\$169,945	250%	\$151,776	\$169,580		\$188,651	11%	\$188,651	11%	
			% CHANGE	250%			0%		11%		11%		
OTHER													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
550	716	TRANSFER TO GRANTS	\$0	\$0		\$0	\$0		\$0		\$0		
550	741	TRANSFER TO UNEMPLOYMENT	\$0	\$711		\$0	\$0		\$0		\$0		
TOTAL OTHER			\$0	\$711		\$0	\$0		\$0		\$0		
TOTAL DEPARTMENT			\$1,006,114	\$1,148,424	14%	\$578,751	\$1,135,324		\$1,254,813	11%	\$1,254,813	11%	
			% CHANGE	14%			-1%		11%		11%		

PROJECTED CURRENT YEAR



REQUESTED BUDGET





CITY OF ANGLETON												
FISCAL BUDGET YEAR												
OCT. 1, 2021 TO SEPT. 30, 2022												
GENERAL		60										
		506										
<u>Angleton Recreation Center</u>		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
PERSONNEL SERVICES		\$849,867	\$781,828	-8%	\$332,496	\$756,660		\$763,880	1%	\$763,880	1%	
TOTAL SUPPLIES		\$51,096	\$67,500	32%	\$19,480	\$47,896		\$53,712	12%	\$53,712	12%	
REPAIR & MAINTENANCE		\$102,667	\$92,200	-10%	\$19,994	\$64,702		\$111,387	72%	\$111,387	72%	
TOTAL SERVICES		\$208,129	\$202,716	-3%	\$58,299	\$164,677		\$202,552	23%	\$202,552	23%	
MISCELLANEOUS		\$69,370	\$74,450	7%	\$49,752	\$370,372		\$55,250	-85%	\$55,250	-85%	Fund Balance Items
CAPITAL EXPENDITURES		\$52,295	\$0		\$0	\$0		\$94,589		\$94,589		Rec. Ctr. Imp
TOTAL DEPARTMENT		506	\$1,333,424	\$1,218,694	-9%	\$480,022	\$1,404,307	\$1,281,370	-9%	\$1,281,370	-9%	
			% CHANGE	-9%		15%		-9%		-9%		

CITY OF ANGLETON
 FISCAL BUDGET YEAR
 OCT. 1, 2021 TO SEPT. 30, 2022
 GENERAL
 Angleton Recreation Center

Link
 60
 506

Item 8.

OF MONTHS
 6 LINKED TO INPUT

PERSONNEL SERVICES

DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	105	SALARIES	\$443,462	\$320,005	-28%	\$162,321	\$319,683		\$353,391	11%	\$353,391	11%	Funding for 9 full time employees including: Recreation Superintendent, Facility Manager, Pool Manager, (3) Recreation Specialists, Rec Assistant - Front Desk and Maint. Custodian, PT Rec Assist. Sr Programs. Changes include eliminating FT Senior Coordinator and changing it to a Permanent PT Recreation Assistant - Senior Programming, developing a FT Recreation Assistant - Front Desk, & changing Assistant Aquatic Coordinator pay from \$12/HR to Recreation Assistant - Aquatics \$17.46
	106	PART TIME EARNINGS	\$226,364	\$243,006		\$84,141	\$230,896		\$194,711		\$194,711		
506	110	OVERTIME	\$4,044	\$3,500	-13%	\$919	\$3,500		\$3,600	3%	\$3,600	3%	
506	115	LONGEVITY	\$1,500	\$1,560	4%	\$780	\$840		\$1,200	43%	\$1,200	43%	
506	126	CERTIFICATION	\$1,754	\$7,200	310%	\$534	\$3,600		\$8,100	125%	\$8,100	125%	
506	128	SPECIAL JOB PAY	\$0	\$0		\$0	\$0		\$1,200		\$1,200		
506	135	FICA	\$33,319	\$43,529	31%	\$18,657	\$43,702		\$28,278	-35%	\$28,278	-35%	
506	140	HEALTH INSURANCE	\$86,076	\$104,982	22%	\$39,697	\$104,893		\$120,100	14%	\$120,100	14%	
506	143	PHONE ALLOWANCE	\$0	\$720		\$720	\$720		\$2,160	200%	\$2,160	200%	
506	145	WORKERS COMP	\$11,948	\$12,000	0%	\$4,214	\$4,214	TML INSURANCE	\$4,425	5%	\$4,425	5%	TML INSURANCE
506	150	UNEMPLOYMENT	\$0	\$0		\$1,788	\$3,575		\$0		\$0		
506	155	RETIREMENT	\$38,405	\$40,163	5%	\$19,117	\$40,377		\$45,393	12%	\$45,393	12%	
506	165	MEDICAL EXPENSE	\$1,265	\$1,192	-6%	\$330	\$660		\$1,322	100%	\$1,322	100%	
TOTAL PERSONNEL SERVICES			\$849,867	\$781,828	-8%	\$332,496	\$756,660		\$763,880	1%	\$763,880	1%	
			% CHANGE	-8%			-3%		1%		1%		

SUPPLIES

DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	203	APPAREL	\$915	\$9,000	884%	\$102	\$2,400		\$2,838	18%	\$2,838	18%	
506	205	GENERAL SUPPLIES	\$11,419	\$10,000	-12%	\$1,690	\$4,800		\$4,000	-17%	\$4,000	-17%	
506	206	CHEMICAL SUPPLIES	\$17,084	\$21,000	23%	\$12,235	\$20,215		\$20,934	4%	\$20,934	4%	
506	210	OFFICE SUPPLIES	\$5,401	\$6,500	20%	\$1	\$5,900		\$5,280	-11%	\$5,280	-11%	
506	212	CLEANING SUPPLIES	\$6,433	\$11,000	71%	\$2,713	\$7,200		\$10,575	47%	\$10,575	47%	
506	215	POOL SUPPLIES	\$2,332	\$3,000	29%	\$779	\$2,081		\$3,085	48%	\$3,085	48%	
506	216	VEHICLE SUPPLIES	\$1,214	\$2,500	106%	\$57	\$1,500		\$2,500	67%	\$2,500	67%	
506	220	EQUIPMENT SUPPLIES	\$6,298	\$4,500	-29%	\$1,902	\$3,800		\$4,500	18%	\$4,500	18%	
TOTAL SUPPLIES			\$51,096	\$67,500	32%	\$19,480	\$47,896		\$53,712	12%	\$53,712	12%	
			% CHANGE	32%			-29%		12%		12%		

CITY OF ANGLETON													
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
GENERAL	Link												
Angleton Recreation Center	60												
	506												
REPAIR & MAINTENANCE													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	310	EQUIPMENT	\$19,601	\$0		\$12	\$0		\$22,000		\$22,000		
506	315	POOL MAINTENANCE	\$23,211	\$29,500	27%	\$200	\$6,665		\$28,737	331%	\$28,737	331%	
506	316	COMPUTER MAINTENANCE	\$14,841	\$16,200	9%	\$10,706	\$13,037		\$16,650	28%	\$16,650	28%	
506	317	VEHICLE REPAIRS	\$779	\$1,500	93%	\$0	\$0		\$1,000		\$1,000		
506	320	BUILDING	\$44,235	\$45,000	2%	\$9,076	\$45,000		\$43,000	-4%	\$43,000	-4%	
TOTAL REPAIRS AND MAINT.			\$102,667	\$92,200	-10%	\$19,994	\$64,702		\$111,387	72%	\$111,387	72%	
		% CHANGE		-10%			-30%		72%		72%		
SERVICES													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	405	PHONES	\$635	\$850	34%	\$300	\$850		\$100	-88%	\$100	-88%	
506	410	UTILITIES	\$83,657	\$90,000	8%	\$25,717	\$77,151		\$90,000	17%	\$90,000	17%	
	412	GENERAL PROGRAMS	\$447	\$4,746		\$686	\$2,166		\$300		\$300		
	413	YOUTH CAMPS	\$34,457	\$19,200		\$6,427	\$15,916		\$8,100		\$8,100		
	414	COMMUNITY EVENTS	\$6,702	\$2,000		\$1,402	\$1,606		\$2,700		\$2,700		
	415	FATHER DD/COMMUNITY DANCES	\$2,176	\$0		\$0	\$0		\$2,385		\$2,385		
	416	HEALTH & WELLNESS	\$4,240	\$2,000		\$162	\$1,000		\$2,812		\$2,812		
	417	SENIOR PROGRAMS	\$8,868	\$12,000		\$1,038	\$5,327		\$11,800		\$11,800		
	418	MISC/GENERAL PROGRAMS	\$1,594	\$2,040		\$60	\$60		\$4,120		\$4,120		
506	420	DUES/SUBSCRIPTIONS	\$4,204	\$6,000	43%	\$1,445	\$4,947		\$4,285	-13%	\$4,285	-13%	
506	425	TRAVEL/TRAINING	\$4,111	\$8,000	95%	\$1,311	\$4,995		\$8,862	77%	\$8,862	77%	
506	446	ADVERTISING	\$17,354	\$10,000	-42%	\$3,004	\$9,943		\$12,000	21%	\$12,000	21%	
506	457	CONTRACT LABOR - INSTRUCTORS	\$28,125	\$35,880	28%	\$14,215	\$34,178		\$42,120	23%	\$42,120	23%	
	458	CONTRACT LABOR	\$2,800	\$4,000	43%	\$1,059	\$3,000		\$4,968	66%	\$4,968	66%	
506	476	CREDIT CARD FEES	\$8,399	\$6,000	-29%	\$1,474	\$3,538		\$5,000	41%	\$5,000	41%	
506	477	SCHOLARSHIP FUND	\$0	\$0		\$0	\$0		\$3,000		\$3,000		
506	485	CONTRACT LEAGUES - ESCROW	?	?		?	?		?		?		
TOTAL SERVICES			\$208,129	\$202,716	-3%	\$58,299	\$164,677		\$202,552	23%	\$202,552	23%	
		% CHANGE		-3%			-19%		23%		23%		
MISCELLANEOUS													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	503	SURETY & NOTARY INSURANCE	\$0	\$0		\$0	\$0		\$200		\$200		
506	505	INSURANCE	\$7,726	\$7,500		\$3,839	\$3,839		\$4,000		\$4,000		
506	506	VEHICLE INSURANCE	\$1,070	\$1,700		\$1,700	\$1,700		\$2,000		\$2,000		
506	507	BUILDING INSURANCE	\$48,452	\$48,000		\$43,091	\$43,091		\$45,000		\$45,000		
506	510	EMPLOYEE APPRECIATION	\$270	\$250		\$122	\$250		\$1,050		\$1,050		
506	511	TUITION REIMBURSEMENT	\$1,000	\$4,000		\$1,000	\$3,000		\$2,000		\$2,000		
506	520	CONTINGENCY	\$8,573	\$10,000		\$0	\$316,492	Reroof project: \$217,127 Pool door replacement: \$39,982 Pool slide repair: \$59,383.70	?		?		Cares Funds
506	525	REC CENTER REFUNDS	\$2,220	\$3,000	35%	\$0	\$2,000		\$1,000	-50%	\$1,000	-50%	
TOTAL MISCELLANEOUS			\$69,370	\$74,450	7%	\$49,752	\$370,372		\$55,250	-85%	\$55,250	-85%	
		% CHANGE		7%			397%		-85%		-85%		

CITY OF ANGLETON														
FISCAL BUDGET YEAR														
OCT. 1, 2021 TO SEPT. 30, 2022	Link													Item 8.
GENERAL	60													
Angleton Recreation Center	506													
CAPITAL EXPENDITURES														
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS	
506	627	CAPITAL PROJECT	\$52,295	\$0		\$0	\$0		\$94,589		\$94,589		Updated LED parking lot lights: \$9,585 Room Wall Divider Replacement: \$22,000; Autodoor replacement around facility: \$30,000; Rm 1 Kitchen renovations: \$14,501; Pool manager office renovation: \$4056; Pool Damper Replacement: \$16,000, Updated Scoreboard: 7470.54	
TOTAL CAPITAL EXPENDITURES			\$52,295	\$0		\$0	\$0		\$94,589		\$94,589			
TOTAL DEPARTMENT	506		\$1,333,424	\$1,218,694	-9%	\$480,022	\$1,404,307		\$1,281,370	-9%	\$1,281,370	-9%		
			% CHANGE	-9%			15%		-9%		-9%			

CITY OF ANGLETON
 FISCAL BUDGET YEAR
 OCT. 1, 2021 TO SEPT. 30, 2022
 GENERAL 60
 Angleton Recreation Center 506

Item 8.

OF MONTHS
 6

DEPARTMENT	ACCT	DESCRIPTION OF ITEM	LAST YEAR	CURRENT BUDGET	YTD	COMMENTS	PROJECTED	REQUESTED BUDGET	% CHG.	COMMENTS
506	203	FULL TIME STAFF					\$0	\$800	#####	\$800 Full Time (1 superintendent, 2 managers, 2 rec specialists, 1 FT rec assistant, 1 asst aqua, 1 custodian) \$883 PT Staff(15 PT FD, 1 HFD, 1 PT RS)(40 @ 22.06= \$883) 1155 Lifeguards (Tanks- 20 @ 6.75=\$135 Male shorts- 20 @ \$21= \$420 Female suits- 20 @ \$30= \$600) Total= \$1155 adjusted FT allowance for reduced staff ; increase FD to cover cost of replacing all staff shirts with new logo - BAYSTAR STORE MAY CHANGE PRICING
506	203	PART TIME STAFF				\$0	\$883	#####		
506	203	LIFEGUARDS				\$0	\$1,155	#####		
506	203	OTHER APPAREL				\$0				
506	203	OTHER APPAREL				\$0				
506	203	OTHER APPAREL				\$0				
TOTAL			\$0	\$0	\$0	\$0	\$2,838	#####		

DEPARTMENT	ACCT	DESCRIPTION OF ITEM	LAST YEAR	CURRENT BUDGET	YTD	COMMENTS	PROJECTED	REQUESTED BUDGET	% CHG.	COMMENTS
506	205	PAPER PRODUCTS					\$0			
506	205	CLEANING SUPPLIES					\$0			
506	205	INSECT CONTROL					\$0			
506	205	SNACKS / FOOD MEETINGS					\$0			
506	205	GLOVES					\$0			
506	205	LOCKS					\$0			
506	205	OTHER GENERAL SUPPLIES					\$0			
TOTAL			\$0	\$0	\$0	\$0	\$0			

DEPARTMENT	ACCT	DESCRIPTION OF ITEM	LAST YEAR	CURRENT BUDGET	YTD	COMMENTS	PROJECTED	REQUESTED BUDGET	% CHG.	COMMENTS
506	310	RECUMBENT BIKE					\$0	\$6,418	#####	
506	310	TREADMILL					\$0	\$5,456	#####	
506	310	FTS GLIDE					\$0	\$3,155	#####	
506	310	LEG PRESS					\$0	\$5,304	#####	
506	310	SHIPPING					\$0	\$1,667	#####	
506	310	OTHER EQUIPMENT					\$0			

40

CITY OF ANGLETON
 FISCAL BUDGET YEAR
 OCT. 1, 2021 TO SEPT. 30, 2022
 GENERAL 60
 Angleton Recreation Center 506

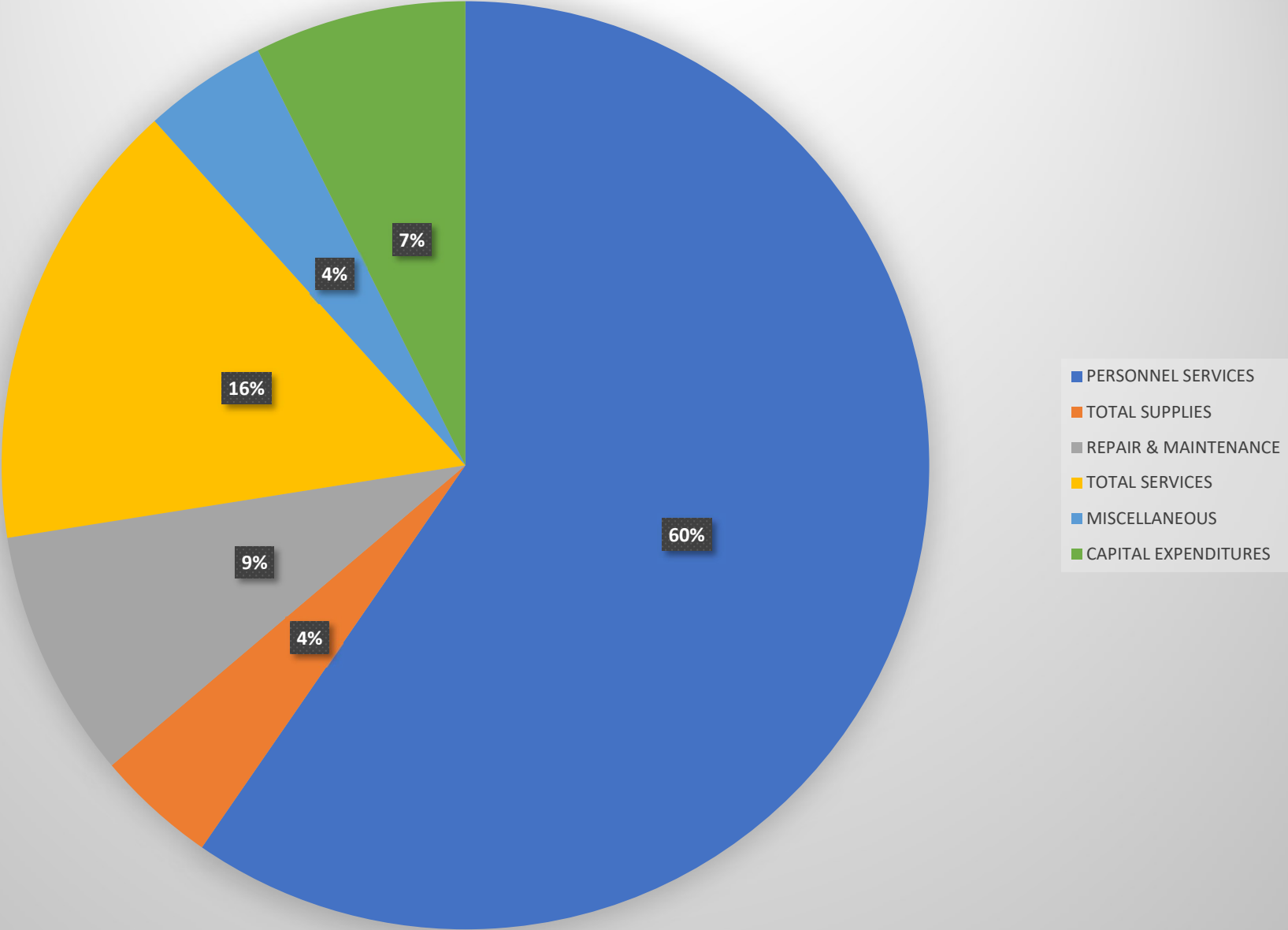
Item 8.

DEPARTMENT	ACCOU NT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	YTD	COMMENTS	PROJECTED	REQUESTED BUDGET	% CHG.	COMMENTS
506	420	TRAPS	\$0	\$0	\$0		\$0	\$473	#####	
506	420	NRPA					\$0	\$350	#####	
506	420	GGCPARDA					\$0	\$75	#####	
506	420	TPPC					\$0	\$50	#####	
506	420	WHENTOWORK					\$0	\$315	#####	
506	420	CANVA					\$0	\$156	#####	
506	420	SESAC MUSIC LICENSING						\$483		
506	420	MPLC						\$633		
506	420	SPARKLIGHT					\$0	\$1,750	#####	
TOTAL			\$0	\$0	\$0		\$0	\$4,285	#####	

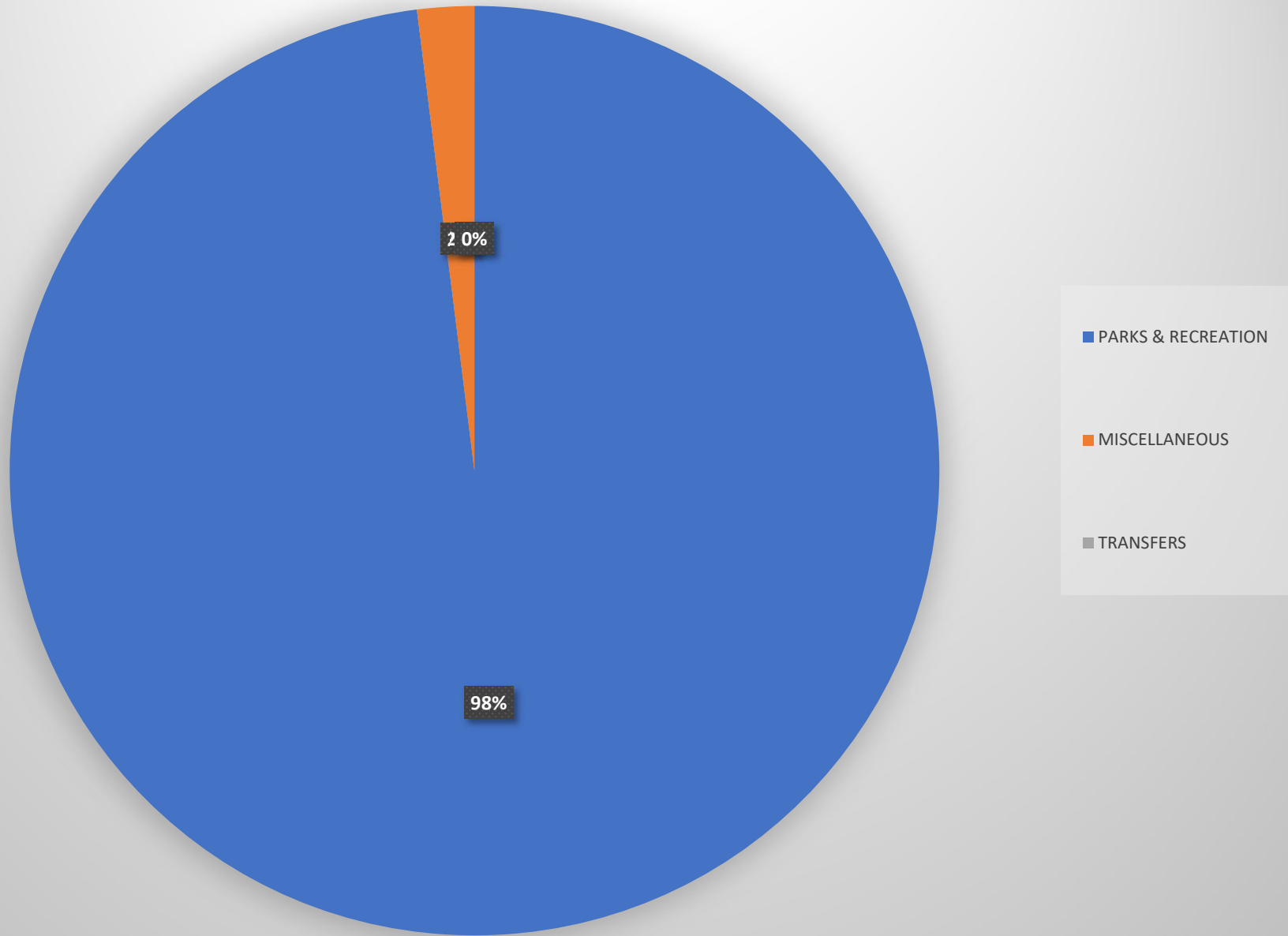
DEPARTMENT	ACCT	DESCRIPTION OF ITEM	LAST YEAR	CURRENT BUDGET	YTD	COMMENTS	PROJECTED	REQUESTED BUDGET	% CHG.	COMMENTS
506	425	TRAPS ER WORKSHOP	\$0	\$0	\$0		\$0	\$400	#####	Rec. Supt., 2 Managers, Aqtc Coor,
506	425	NRPA CONFERENCE					\$0	\$2,948	#####	2Rec. Spec., PT Sr Coor, Rec Asst.
506	425	TRAPS ANNUAL INSTITUTE					\$0	\$3,864	#####	REC SUPT & FACILITY MANAGER
506	425	CPO CERTIFICATION					\$0	\$650	#####	TRAPS Annual Conference for 6 FT
506	425	CPR & LIFEGUARD CERTS					\$0	\$1,000	#####	Employees
506	425	OTHER DUES ETC.					\$0		#####	CPO Cerrtification
506	425	OTHER DUES ETC.					\$0		#####	STAFF CPR/GUARD TRAINING
TOTAL			\$0	\$0	\$0		\$0	\$8,862	#####	

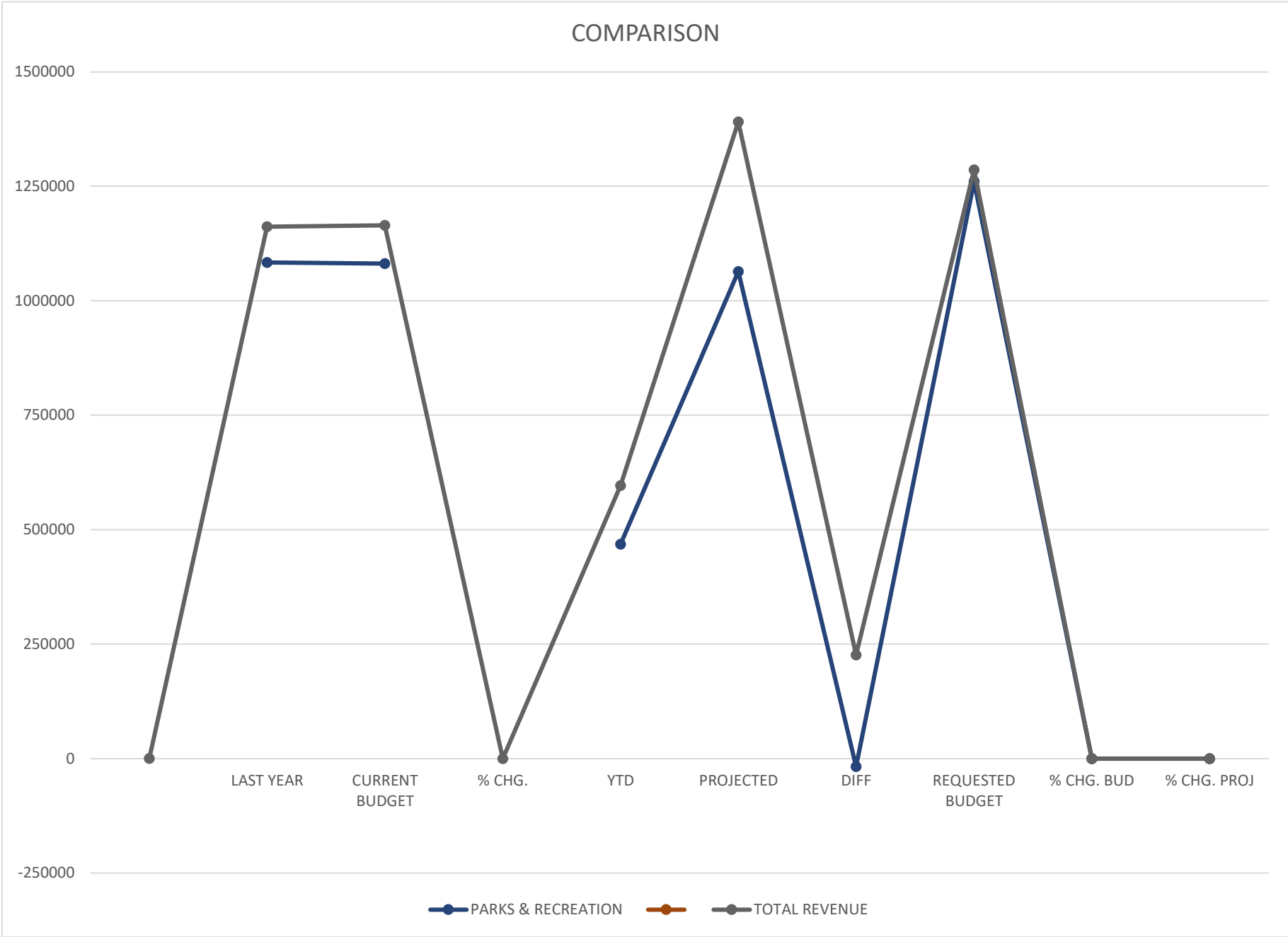
DEPARTMENT	ACCT	DESCRIPTION OF ITEM	LAST YEAR	CURRENT BUDGET	YTD	COMMENTS	PROJECTED	REQUESTED BUDGET	% CHG.	COMMENTS
506	627	PARKING LOT LED	\$0	\$0	\$0		\$0	\$9,585	#####	
506	627	ROOM WALL DIVIDER AEROBICS					\$0	\$22,000	#####	
506	627	NATATORIUM AUTO DOORS					\$0	\$30,000	#####	
506	627	ROOM 1 KITCHEN RENO					\$0	\$14,501	#####	
506	627	LIFEGUARD OFFICE RENO					\$0	\$2,976	#####	
506	627	POOL MANAGER OFFICE RENO					\$0	\$4,056	#####	
506	627	ICE MACHINE						\$3,000		
506	627	POOL DAMPER REPLACEMENT						\$16,000		
506	627	SCOREBOARD					\$0	\$7,471	#####	
TOTAL			\$0	\$0	\$0		\$0	\$109,589	#####	

RECREATION CENTER REQUESTED BUDGET EXPENDITURES



REQUESTED BUDGET





CITY OF ANGLETON													
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
ANGLETON RECREATION CENTER													
REVENUE													
	60												
	300												
REVENUE		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	DIFF	REQUESTED BUDGET	% CHG. BUD	% CHG. PROJ	COMMENTS	\$ CHG BUDG	\$ CHG PROJ
PARKS & RECREATION		\$1,083,366	\$1,081,059		\$468,203	\$1,063,686	(\$17,373)	\$1,260,460	17%	18%	Return to Average	\$179,401	\$196,774
MISCELLANEOUS		\$50,383	\$83,370	65%	\$19,360	\$27,279	(\$56,091)	\$25,467	-69%	-7%		(\$57,903)	(\$1,812)
TRANSFERS		\$27,814	\$0		\$108,564	\$300,000	\$300,000	\$0			Fund Balance	\$0	(\$300,000)
TOTAL REVENUE	300	\$1,161,563	\$1,164,429	0%	\$596,126	\$1,390,965	\$226,536	\$1,285,927	10%	-8%		\$121,498	(\$105,038)
		% CHANGE	0%			19%		-8%					
REC EXPENDITURES		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	CY BUDGET DIFF	REQUESTED BUDGET	% CHG. BUD	% CHG. PROJ	COMMENTS	\$ CHG BUDG	\$ CHG PROJ
PERSONNEL SERVICES		\$849,867	\$781,828	-8%	\$332,496	\$756,660	(\$25,168)	\$763,880	-2%	1%		(\$17,948)	\$7,220
TOTAL SUPPLIES		\$51,096	\$67,500	32%	\$19,480	\$47,896	(\$19,604)	\$53,712	-20%	12%		(\$13,788)	\$5,816
REPAIR & MAINTENANCE		\$102,667	\$92,200	-10%	\$19,994	\$64,702	(\$27,498)	\$111,387	21%	72%		\$19,187	\$46,685
TOTAL SERVICES		\$208,129	\$202,716	-3%	\$58,299	\$164,677	(\$38,039)	\$202,552	0%	23%		(\$164)	\$37,875
MISCELLANEOUS		\$69,370	\$74,450	7%	\$49,752	\$370,372	\$295,922	\$55,250	-26%	-85%	Fund Balance Items	(\$19,200)	(\$315,122)
CAPITAL EXPENDITURES		\$52,295	\$0		\$0	\$0	\$0	\$94,589			Rec. Ctr. Improvements	\$94,589	\$94,589
												\$0	\$0
TOTAL DEPARTMENT		\$1,333,424	\$1,218,694	-9%	\$480,022	\$1,404,307	\$185,613	\$1,281,370	5%	-9%		\$62,676	(\$122,937)
		% CHANGE	-9%			15%		-9%					
REVENUE OVER/(UNDER)													
EXPENDITURES		(\$171,861)	(\$54,265)		\$116,103	(\$13,342)	\$40,923	\$4,557			\$17,899		

CITY OF ANGLETON
 FISCAL BUDGET YEAR
 OCT. 1, 2021 TO SEPT. 30, 2022
 ANGLETON RECREATION CENTER
 REVENUE

Link
 60
 300

Item 8.

OF MONTHS
 6

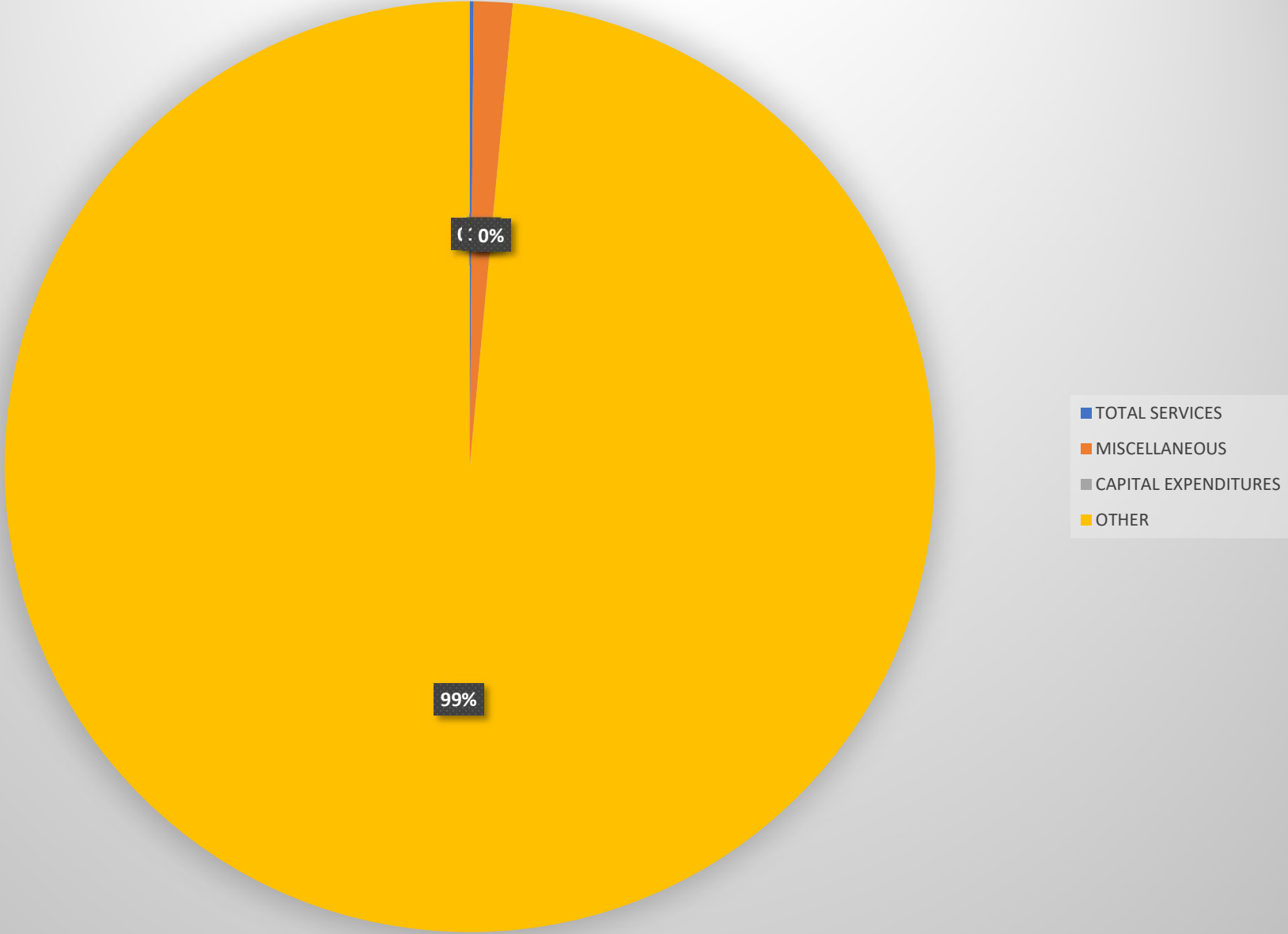
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PARKS AND RECREATION

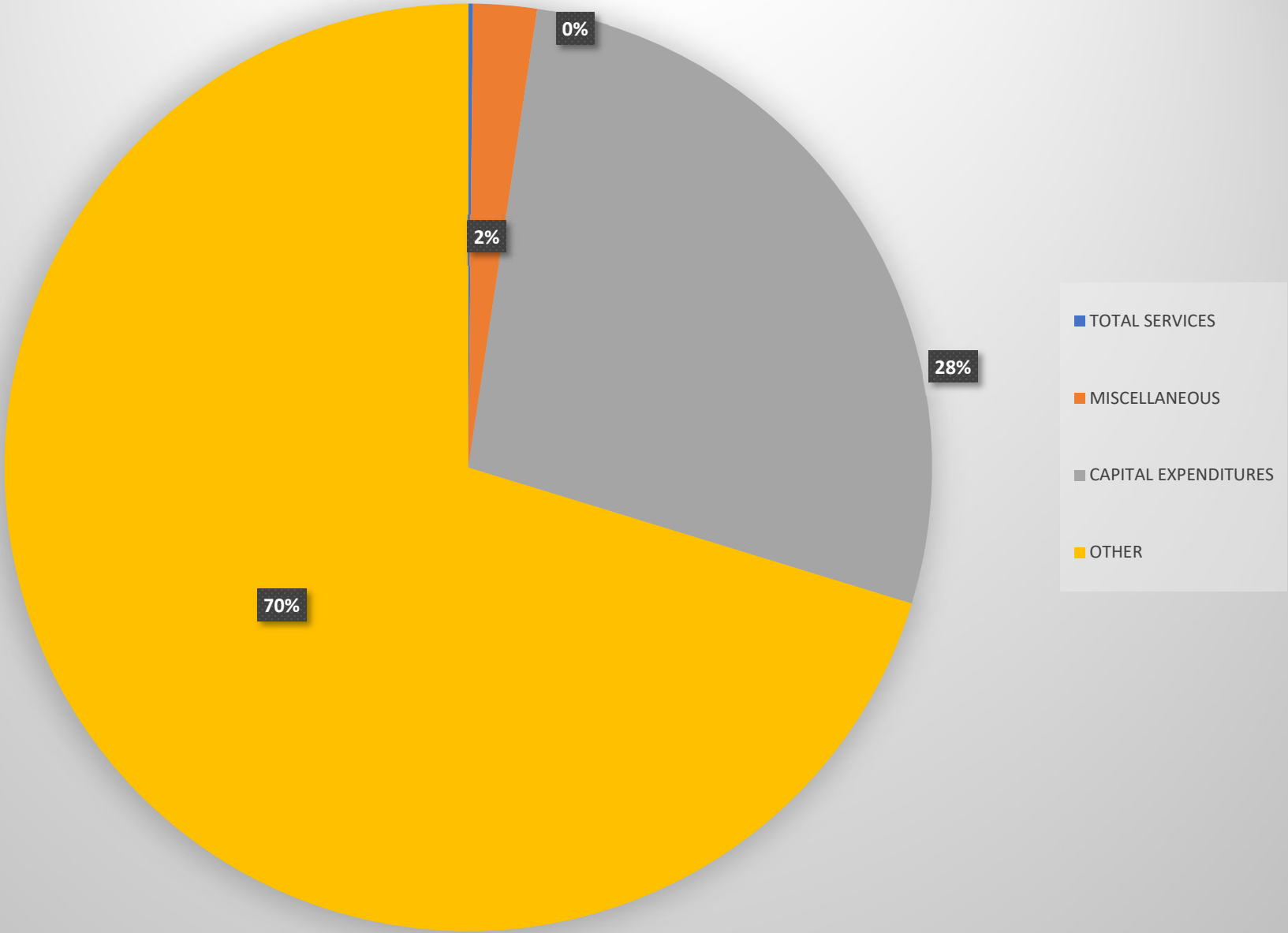
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
300	711	FAMILY MEMBERSHIP	\$31,338	\$55,500		\$15,295	\$46,052	Reopened to 100% and no masks requirement March 2021. I took April's weekly average, multiplied by 27 remaining weeks and added to YTD amount.	\$61,019		\$61,019		
300	712	INDIVIDUAL MEMBERSHIP	\$29,552	\$43,500		\$12,463	\$28,164	Reopened to 100% and no masks requirement March 2021. I took April's weekly average, multiplied by 27 remaining weeks and added to YTD amount.	\$47,372		\$47,372		
300	713	SENIOR MEMBERSHIP	\$39,189	\$48,750		\$12,264	\$35,004	Reopened to 100% and no masks requirement March 2021. I took April's weekly average, multiplied by 27 remaining weeks and added to YTD amount.	\$54,276		\$54,276		
300	715	ROOM RENTAL FEES	\$16,665	\$37,500		\$2,125	\$19,200	Reopened to 100% (sans Rm 1 as it's still being used by Actions) and no masks requirement March 2021. I took April's revenue and multiplied by 6 months.	\$42,358		\$42,358		
300	716	DAILY ENTRY FEE	\$53,612	\$112,500		\$33,463	\$94,645	Reopened to 100% and no masks requirement March 2021. I took April's weekly average, multiplied by 27 remaining weeks and added to YTD amount.	\$119,671		\$119,671		
300	717	OTHER	\$140	\$948		\$106	\$322	Swim Diapers for Rec Guest purchase. YTD 162. Avg. April revenue and multiplied by remaining months.	\$872		\$872		
300	719	MEMBERSHIP YOUTH	\$1,370	\$1,500	100%	\$1,180	\$2,294	Reopened to 100% and no masks requirement March 2021. I took April's weekly average, multiplied by 27 remaining weeks and added to YTD amount.	\$1,848	-19%	\$1,848	-19%	
300	725	MILITARY MEMBERSHIP	\$2,899	\$2,400	-17%	\$2,076	\$4,432	Reopened to 100% and no masks requirement March 2021. I took April's weekly average, multiplied by 27 remaining weeks and added to YTD amount.	\$2,950	-33%	\$2,950	-33%	
300	740	TRANSFERS FROM ABLC	\$858,601	\$778,461		\$389,230	\$833,573	Budget deficit of \$55,112	\$820,505		\$820,505		
300	741	FRANSFER FROM ABL-MO CAPITAL	\$50,000	\$0		\$0	\$0		\$109,589		\$109,589		
300	751	TRANSFER FROM ABLC INFRACT	\$0	\$0		\$0	\$0		\$0		\$0		
TOTAL PARKS AND RECREATION			\$1,083,366	\$1,081,059	0%	\$468,203	\$1,063,686		\$1,260,460	18%	\$1,260,460	18%	
			% CHANGE	0%			-2%		18%		18%		

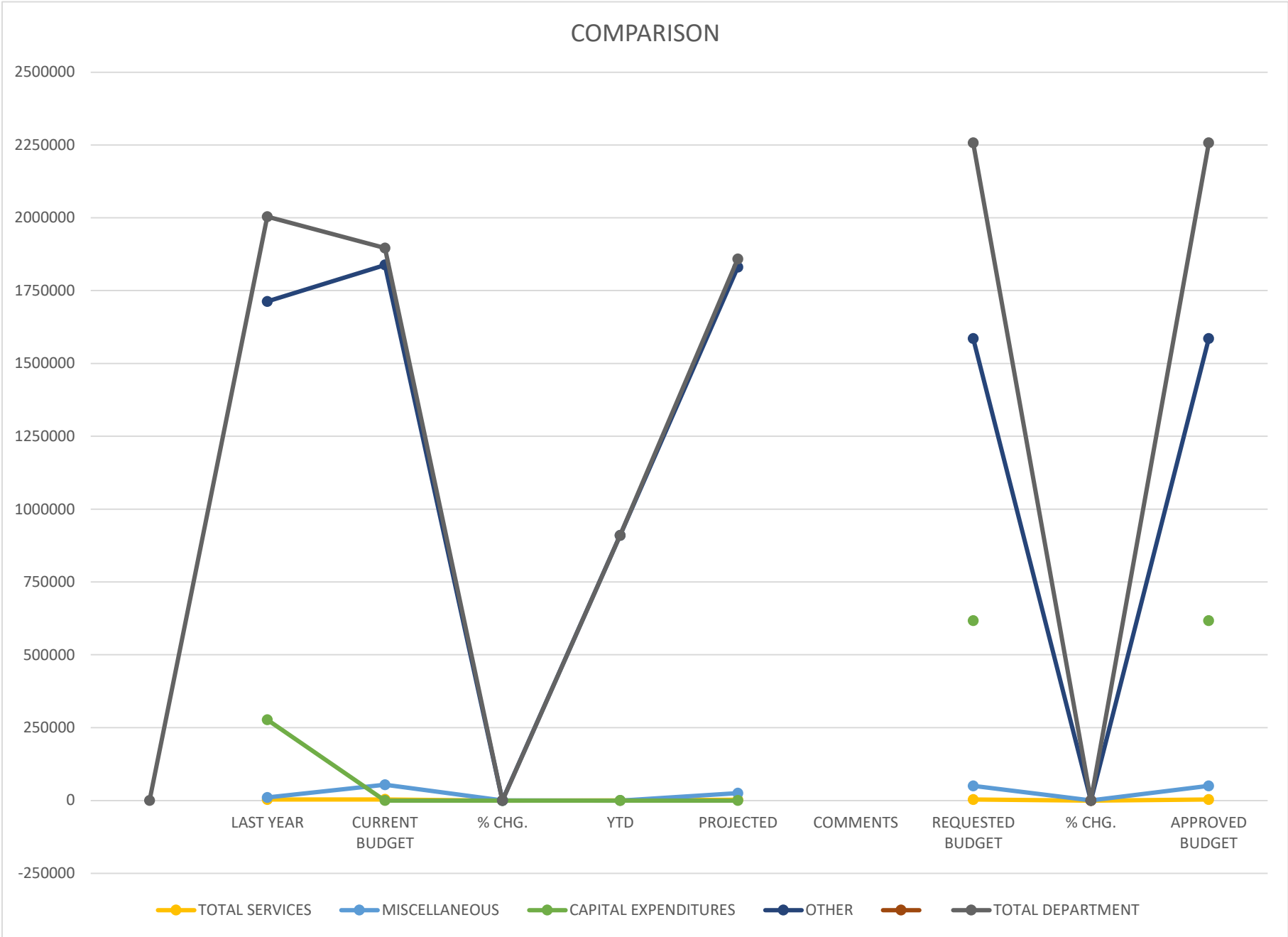
CITY OF ANGLETON													Item 8.
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
ANGLETON RECREATION CENTER	Link												
REVENUE	60												
	300												
MISCELLANEOUS													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
300	800	INTEREST	\$790	\$75	-91%	\$122	\$121		\$415	243%	\$415	243%	
300	811	GENERAL PROGRAMS	\$521	\$3,750		\$25	\$400		\$400		\$400		
300	813	YOUTH CAMPS	\$26,267	\$53,224		\$16,565	\$23,570		\$6,782	-71%	\$6,782		
300	814	COMMUNITY SPECIAL EVENTS	\$657	\$1,775		\$165	\$165		\$425	158%	\$425		
300	815	FATHER DAUGHTER DANCE/MOTHER SON	\$4,020	\$3,546		\$0	\$0		\$3,180		\$3,180		
300	816	HEALTH & WELLNESS	\$5,615	\$5,625		\$0	\$0		\$2,812		\$2,812		
300	817	SENIOR PROGRAMS	\$8,543	\$10,875		\$1,885	\$1,885		\$7,000	271%	\$7,000		
	818	MISCELLANEOUS PROGRAMS	\$75	\$2,250		\$565	\$1,102		\$1,810	64%	\$1,810		
300	899	MISCELLANEOUS	\$3,895	\$2,250	-42%	\$33	\$36		\$2,643		\$2,643		Based on last three year's actuals and estimate for this year divided by four.
TOTAL MISCELLANEOUS			\$50,383	\$83,370	65%	\$19,360	\$27,279		\$25,467	-7%	\$25,467	-7%	
		% CHANGE		65%			-67%			-7%		-7%	
TRANSFERS													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
300	900	TRANSFER FROM FUND BALANCE	\$0	\$0		\$108,564	\$300,000		\$0		\$0		
	901	TRANSFER FROM GF	\$0	\$0		\$0	\$0		\$0		\$0		
300	903	TRANSFER FROM WATER FUND	\$27,814	\$0		\$0	\$0		\$0		\$0		
TOTAL TRANSFERS			\$27,814	\$0		\$108,564	\$300,000		\$0		\$0		
		% CHANGE		-100%			#DIV/0!			-100%		-100%	
TOTAL REVENUE			\$1,161,563	\$1,164,429	0%	\$596,126	\$1,390,965	\$226,536	\$1,285,927	-8%	\$1,285,927	-8%	
		% CHANGE		0%			19%			-8%		-8%	

PROJECTED CURRENT YEAR



REQUESTED BUDGET





CITY OF ANGLETON												
FISCAL BUDGET YEAR												
OCT. 1, 2021 TO SEPT. 30, 2022												
ANGLETON BETTER LIVING CORPOR												
	40											
	506											
EXPENDITURES		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
TOTAL SERVICES		\$3,165	\$4,000	26%	\$234	\$2,500		\$3,650	46%	\$3,650	46%	
MISCELLANEOUS		\$10,288	\$54,107	426%	\$0	\$25,000		\$50,000	100%	\$50,000	100%	
CAPITAL EXPENDITURES		\$277,277	\$0		\$0	\$0		\$617,741		\$617,741		Freedom Park Master Plan Design
OTHER		\$1,713,039	\$1,838,214	7%	\$909,991	\$1,830,942		\$1,585,815	-13%	\$1,585,815	-13%	
TOTAL DEPARTMENT	506	\$2,003,769	\$1,896,321	-5%	\$910,225	\$1,858,442		\$2,257,206	21%	\$2,257,206	21%	
		% CHANGE	-5%			-2%		21%		21%		

CITY OF ANGLETON													Item 8.
FISCAL BUDGET YEAR													
OCT. 1, 2021 TO SEPT. 30, 2022													
ANGLETON BETTER LIVING CORPOR		Link											
		40											
		506											
													# OF MONTHS
													6
													LINKED TO INPUT

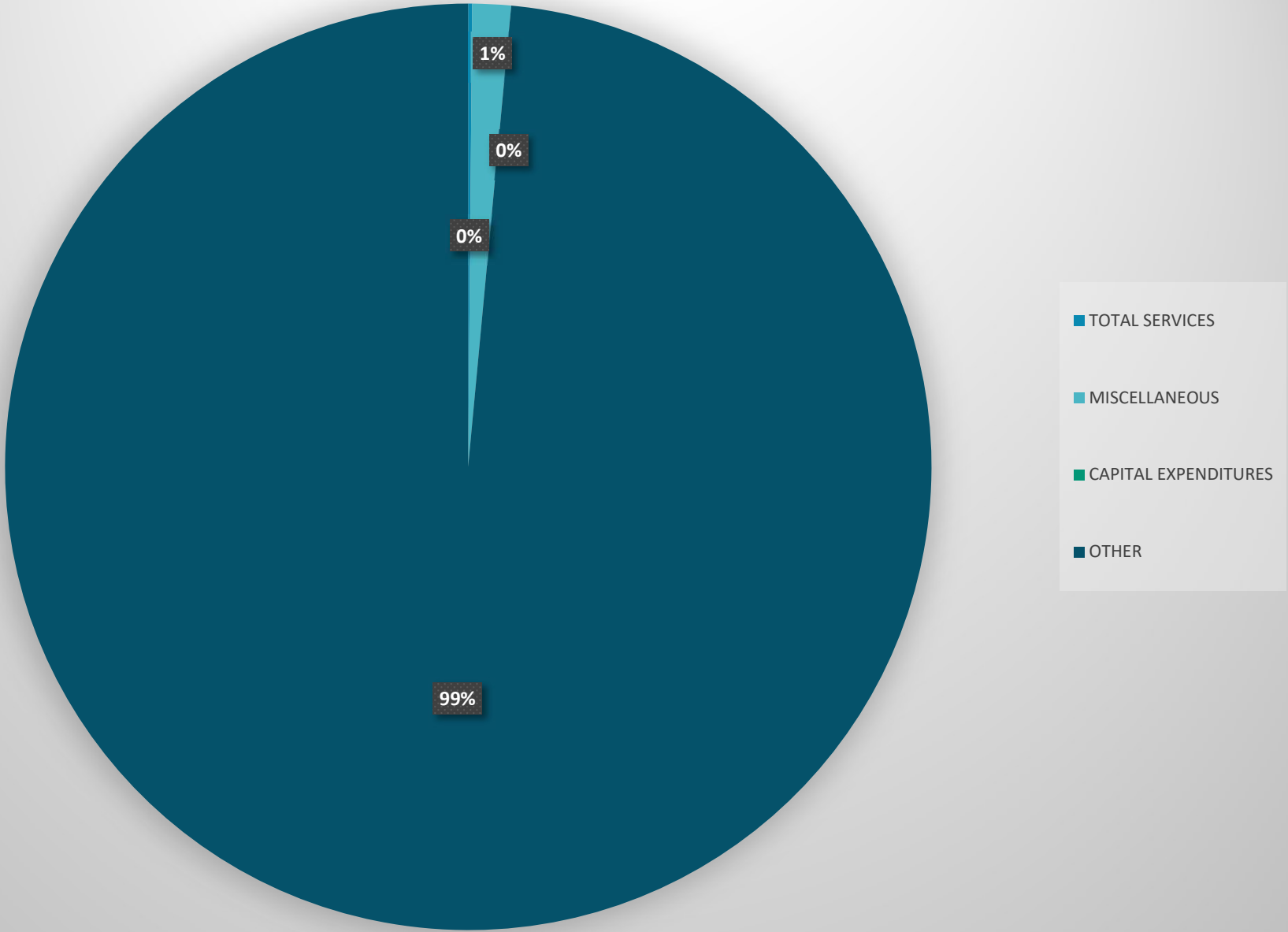
SERVICES													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	415	ABLC-LEGAL & PROFESSIONAL	\$3,165	\$2,500	-21%	\$234	\$2,500		\$2,650	6%	\$2,650	6%	
506	425	TRAVEL & TRAINING	\$0	\$1,500		\$0	\$0		\$1,000		\$1,000		
506	498	TRANSFER TO FUND BALANCE	\$0	\$0		\$0	\$0		\$0		\$0		
TOTAL SERVICES			\$3,165	\$4,000	26%	\$234	\$2,500		\$3,650	46%	\$3,650	46%	
			% CHANGE	26%			-38%		46%		46%		

MISCELLANEOUS													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	520	ABLC-CONTINGENCY	\$10,260	\$54,107	427%	\$0	\$25,000	Rec Plaza Renovations	\$50,000	100%	\$50,000	100%	This account is used for balancing Rec & ABLC
506	599	MISCELLANEOUS EXPENSE	\$28	\$0		\$0	\$0		\$0		\$0		
TOTAL MISCELLANEOUS			\$10,288	\$54,107	426%	\$0	\$25,000		\$50,000	100%	\$50,000	100%	
			% CHANGE	426%			-54%		100%		100%		

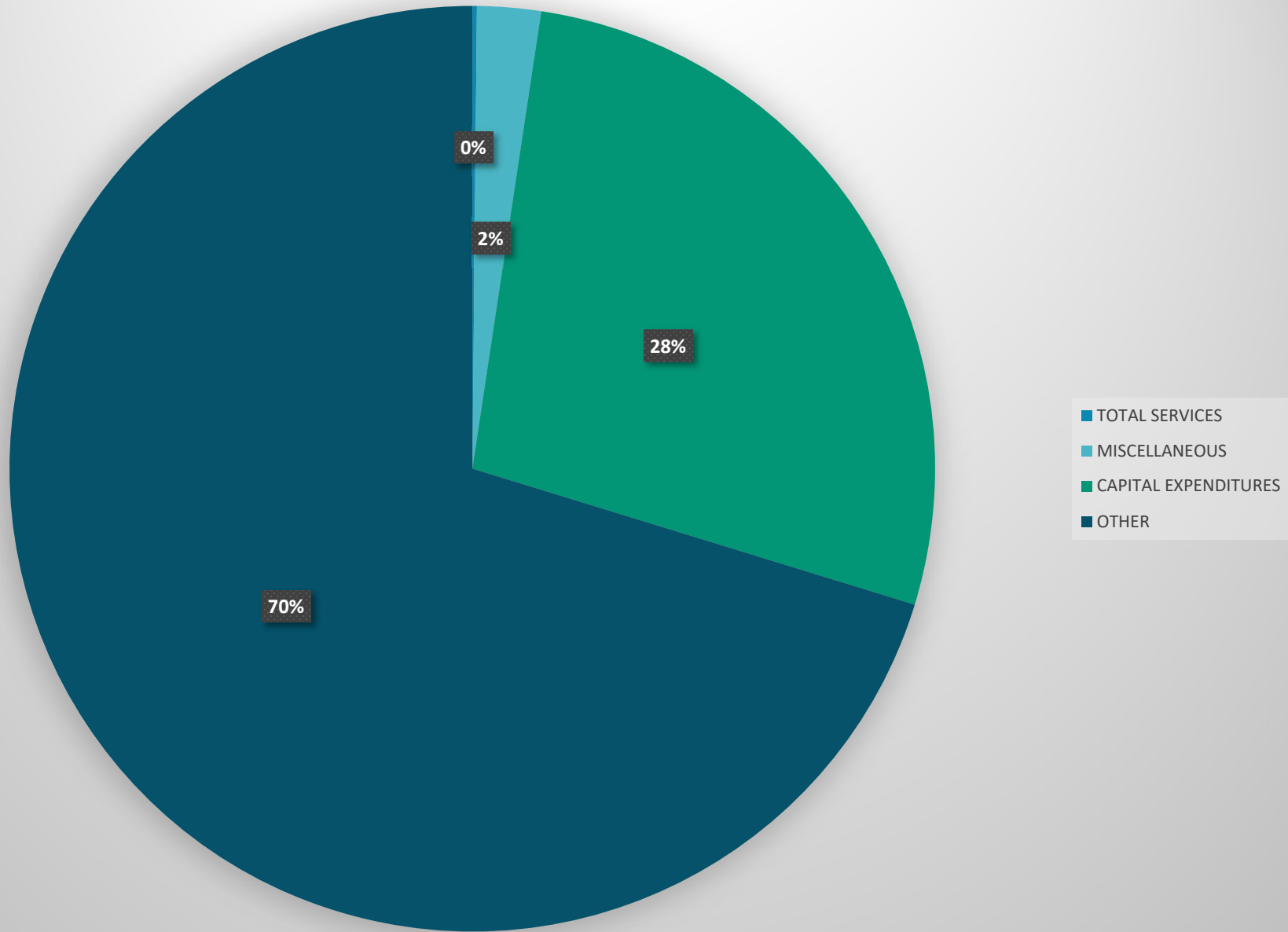
CAPITAL EXPENDITURES													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	605	LAND ACQUISITION	\$277,277	\$0		\$0	\$0		\$0		\$0		
506	615	ABLC-INFRASTRUCTURE	\$0	\$0		\$0	\$0		\$0		\$0		
506	625	PARK DESIGN - NEW ACCOUNT	\$0	\$0		\$0	\$0		\$400,000		\$400,000		Freedom Park Master Plan Design services
506	625	OTHER PARK PROJECTS							\$217,741		\$217,741		ADA \$50k, Veterans \$75k, Welch \$92k
506													Lakeside Park?
TOTAL CAPITAL EXPENDITURES			\$277,277	\$0		\$0	\$0		\$617,741		\$617,741		

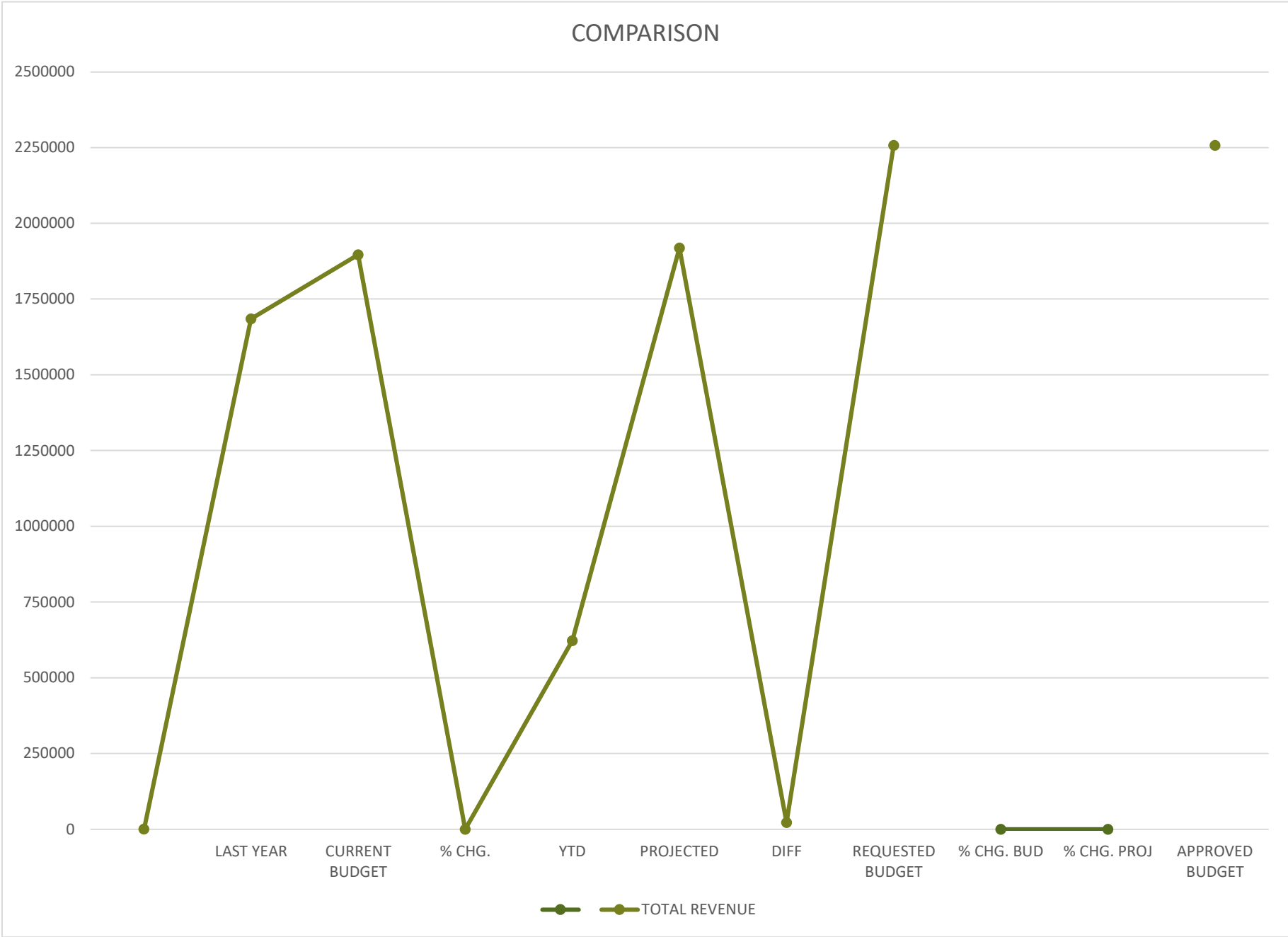
OTHER													
DEPARTMENT	ACCT	ACCT DESC.	LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	COMMENTS	REQUESTED BUDGET	% CHG.	APPROVED BUDGET	% CHG.	COMMENTS
506	700	TRANSFER TO FUND BALANCE	\$0	\$0		\$0	\$0		\$0		\$0		
506	701	TRANSFER TO GF	\$360,462	\$378,414	5%	\$189,000	\$371,891		\$208,241	-44%	\$208,241	-44%	25% Parks Personnel, reduced from 50%
506	705	TRANSFER TO DEBT SERVICE	\$443,976	\$681,336		\$331,761	\$625,478		\$557,069		\$557,069		Debt Service
506	760	TRANSFER TO ACT CTR OP FUND	\$858,601	\$778,464	-9%	\$389,230	\$833,573		\$820,505	-2%	\$820,505	-2%	Transfer
TOTAL OTHER			\$1,713,039	\$1,838,214	7%	\$909,991	\$1,830,942		\$1,585,815	-13%	\$1,585,815	-13%	
			% CHANGE	7%			0%		-13%		-13%		

ABLC CURRENT YEAR EXPENDITURE PROJECTIONS



ABLBC REQUESTED BUDGET EXPENDITURES





CITY OF ANGLETON															
FISCAL BUDGET YEAR															
OCT. 1, 2021 TO SEPT. 30, 2022															
ANGLETON BETTER LIVING CORPOR														40	
REVENUE														300	
REVENUE		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	DIFF	REQUESTED BUDGET	% CHG. BUD	% CHG. PROJ	APPROVED BUDGET	% CHG.	COMMENTS	\$ CHG BUDG	
MISCELLANEOUS		\$1,684,240	\$1,746,321	4%	\$547,636	\$1,768,816	\$22,495	\$1,857,206	6%	5%	\$1,857,206	5%	Sales Tax	\$110,885	
TRANSFERS		\$0	\$150,000		\$75,000	\$150,000	\$0	\$400,000			\$400,000	167%	Fund Balance	\$250,000	
TOTAL REVENUE	300	\$1,684,240	\$1,896,321	13%	\$622,636	\$1,918,816	\$22,495	\$2,257,206			\$2,257,206	18%		\$360,885	
		% CHANGE	13%			1%		18%			18%				
ABLX EXPENDITURES		LAST YEAR	CURRENT BUDGET	% CHG.	YTD	PROJECTED	CY BUDGET DIFF	REQUESTED BUDGET	% CHG. BUD	% CHG. PROJ	APPROVED BUDGET	% CHG.	COMMENTS	\$ CHG BUDG	
TOTAL SERVICES		\$3,165	\$4,000	26%	\$234	\$2,500	(\$1,500)	\$3,650	-9%	46%	\$3,650	100%		(\$350)	
MISCELLANEOUS		\$10,288	\$54,107	426%	\$0	\$25,000	(\$29,107)	\$50,000	-8%	100%	\$50,000	100%		(\$4,107)	
CAPITAL EXPENDITURES		\$277,277	\$0		\$0	\$0	\$0	\$617,741			\$617,741		Freedom Park Master Plan Design, Other Park Projects	\$617,741	
OTHER		\$1,713,039	\$1,838,214	7%	\$909,991	\$1,830,942	(\$7,272)	\$1,585,815	-14%	-13%	\$1,585,815	0%	Reduce ABLX Transfer to GF by 25%	(\$252,399)	
TOTAL DEPARTMENT		\$2,003,769	\$1,896,321	-5%	\$910,225	\$1,858,442	(\$37,879)	\$2,257,206	19%	21%	\$2,257,206			\$360,885	
		% CHANGE	-5%			-2%		21%			21%				
REVENUE OVER/(UNDER) EXPENDITURES		(\$319,529)	\$0		(\$287,589)	\$60,374	\$60,374	\$0			\$0				

General Fund - Fund Balance Proposed Spending Plan				
	*Not to exceed amount			
Description	Amount	Amount Approved	Priority	Status
ARC				
ARC Plaza	\$25,000.00			ABLC FY2020-2021 Contingency
Front Desk	\$15,000.00			FY2021-2022 Projects/ARA/Future CIP
Rec Center multipurpose room wall divider replacement	\$25,000.00			FY2021-2022 Projects/ARA/Future CIP
Rec Center parking lot lighting change to LED	\$10,000.00			CARES
Rec Center replacement of pull doors to automatic (4 sets throughout)	\$30,000.00			FY2021-2022 Projects/ARA/Future CIP
Rec Center Room 1 Kitchen renovations	\$15,000.00			FY2021-2022 Projects/ARA/Future CIP
Rec Natatorium lifeguard office renovation	\$3,000.00			CARES
Rec Natatorium pool manager office renovation	\$4,500.00			FY2021-2022 Projects/ARA/Future CIP
Rec Center Ice Machine	\$3,000.00			REC FY2021-2022 BUDGET
Rec Natatorium Damper replacement	\$16,000.00			FY2021-2022 Projects/ARA/Future CIP
Parks				
Lighting a Masterson	\$15,000.00			ARA/CIP FY2024-2025
Brushy Bayou Parking	\$50,000.00			ARA/Future CIP
Brushy Bayou lighting	\$10,000.00			ARA/Future CIP
Update all park benches - minimum park standards	\$120,000.00			Parks FY2021-2022 Projects/ARA
Update all park tables - minimum park standards	\$60,000.00			CIP FY2023-2024
Veterans Design	\$50,000.00			ABLC FY2021-2022 Projects
Dog Park Design	\$50,000.00			CIP FY2023-2024
Municipal Pool/Park Design	\$50,000.00			CIP FY2022-2023 Projects/ARA
Welch Pole and Slab demolision	\$6,000.00			Parkland Dedication
Update all park water fountains	\$10,000.00			FY2021-2022 Projects/ARA
Downing Tennis Courts	\$45,000.00			ABLC FY2021-2022 Projects/ARA
Dickey Restroom Drainage Issue	\$5,000.00			ARA/Future CIP
Brushy Bayou prefab Restroom	\$100,000.00			ARA/Future CIP
Freedom Paved Trail around playground 6'	\$30,000.00			CIP FY2022-2023 Projects/ARA
Brushy Bayou Paved Trail 10'	\$35,000.00			ARA/Future CIP
Bates Dickey Disc Golf tee pads	\$11,000.00			Parks FY2021-2022 Projects/ARA
Restroom Door locks	\$10,000.00			Parks FY2021-2022 Projects/ARA
Peach Street Detention - Phase 1 of 3	\$10,000.00			Parks FY2021-2022 Projects/ARA
Peach Street Detention - Phase 2 & 3	\$110,000.00			Parks FY2022-2023 Projects/ARA



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discuss and provide comment on the draft Capital Improvements Plan (CIP).

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: None **FUNDS REQUESTED:** None

FUND: None

EXECUTIVE SUMMARY:

Pursuant to the Home Rule Charter of the City of Angleton, Chapter 17 Parks and Recreation, Article II Parks and Recreation Board, Section 17-20.(2) Powers and Duties. "the Commission shall have the power and shall be required to:"

Section 17-20.(2): Submit annually to the city administrator, not less than 90 days prior to the beginning of the budget year, a list of recommendations for capital improvements. This capital projects budget should include immediate and long-range capital improvements such as park acquisition, development of new and present park sites and procurement and installation plans for playground equipment, as well as possible recreation programs. Such list shall be arranged in order of priority;

Accompanying this Agenda Item Summary is the current draft CIP.

RECOMMENDATION:

Staff recommends that the Parks and Recreation Board provide comment on the drafted Capital Improvements Plan (CIP).

DEPARTMENT	PROJECT NAME	FY 20-21	FY 21-22	FY 22-23	FY 23-24	FY 24-25	FY 25-26	PROJECT TOTAL:	FUTURE YEARS
POLICE	APD DISPATCH CONSOLE UPGRADE PROJECT	\$ 70,000.00						\$ -	Item 9.
FIRE	6 AIR PACK REPLACEMENTS	\$ 38,000.00						\$ -	
PARKS	FREEDOM PARK BLEACHER SHADES	\$ 59,392.00						\$ -	
PARKS	ADA TRANSITION PLAN & CONSTRUCTION	\$ 44,440.00						\$ -	
PARKS	LAKESIDE PARK DESIGN & CONSTRUCTION	\$ 500,000.00	\$ 3,150,000.00					\$ 3,150,000.00	
I.T.	WWTP FIBER- BATES PARK TO WWTP	\$ 142,000.00						\$ -	
STREETS	SOLAR LIGHTS	\$ 75,000.00	\$ 100,000.00	\$ 100,000.00	\$ 100,000.00	\$ 100,000.00	\$ 100,000.00	\$ 500,000.00	
STREETS	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	\$ 80,000.00	\$ 80,000.00	\$ 80,000.00	\$ 80,000.00	\$ 80,000.00	\$ 400,000.00	
PUB WRKS	WASTEWATER TREATMENT PLANT LAB	\$ 124,000.00						\$ -	
PUB WRKS	TRANSITION PLAN & CONSTRUCTION FOR SIDEWALKS	\$ 42,960.00						\$ -	
KAB	GATEWAY MASTER PLAN & IMPLEMENTATION	\$ 75,000.00	\$ 750,000.00					\$ 750,000.00	
ABLC	BACKUP GENERATOR CONNECTION FOR REC CENTER	\$ 44,586.87						\$ -	
								\$ -	
POLICE	DIGITAL MEDIA EVIDENCE SYSTEM/BODY CAMERAS		\$ 400,000.00					\$ 400,000.00	
POLICE	COMMUNICATIONS RADIO PROJECT		\$ 120,000.00					\$ 120,000.00	
POLICE	CELLBRITE PHONE DUMP		\$ 40,000.00					\$ 40,000.00	
BLDG DVLP	SUBSTANDARD BUILDING DEMO		\$ 108,000.00	\$ 66,000.00	\$ 34,500.00	\$ 34,500.00		\$ 243,000.00	
BLDG DVLP	COMPREHENSIVE MASTER PLAN		\$ 165,000.00	\$ 165,000.00				\$ 330,000.00	
PARKS	MUNICIPAL PARK DESIGN & CONSTRUCTION		\$ 30,000.00	\$ 200,000.00	\$ 2,000,000.00			\$ 2,230,000.00	
PARKS	VETERANS PARK DESIGN & CONSTRUCTION		\$ 75,000.00	\$ 750,000.00				\$ 825,000.00	
I.T.	NETWORK INFRASTRUCTURE (HARDWARE ONLY)		\$65,253					\$ 65,253.00	
I.T.	SERVER AND STORAGE REPLACEMENT		\$110,000					\$ 110,000.00	
PUB WRKS	NORTHSIDE WWTP		\$ 243,000.00					\$ 243,000.00	
PUB WRKS	LIFT STATION REHABILITATION		\$ 73,000.00	\$ 200,000.00	\$ 200,000.00	\$ 200,000.00		\$ 673,000.00	
PUB WRKS	FIRE HYDRANT REPLACEMENTS		\$ 25,000.00	\$ 25,000.00	\$ 25,000.00	\$ 25,000.00	\$ 25,000.00	\$ 125,000.00	
PUB WRKS	WATER TREATMENT MEMBRANE		\$ 150,000.00	\$ -	\$ 150,000.00	\$ 150,000.00	\$ 150,000.00	\$ 450,000.00	
PUB WRKS	WATER LINE PROJECT		\$ 250,000.00	\$ 250,000.00	\$ 250,000.00	\$ 250,000.00	\$ 250,000.00	\$ 1,250,000.00	
PUB WRKS	SEWER LINE PROJECT		\$ 250,000.00	\$ 250,000.00	\$ 250,000.00	\$ 250,000.00	\$ 250,000.00	\$ 1,250,000.00	
KAB	LOOP 274 MEDIAN LANDSCAPE		\$ 230,000.00					\$ 230,000.00	
ABLC	FREEDOM PARK MASTER PLAN		\$ 400,000.00		\$ 3,000,000.00			\$ 3,400,000.00	
POLICE	DISPATCH 3RD CONSOLE PROJECT			\$ 95,000.00				\$ 95,000.00	
POLICE	TEN HAND-HELD TICKET WRITERS			\$ 65,187.00				\$ 65,187.00	
POLICE	APD 4 PATROL CAR REPLACEMENT			\$ 200,462.00				\$ 200,462.00	
FIRE	STATION 1 UPGRADE/EXTENSION			\$ 50,000.00	\$ 50,000.00		\$ 1,000,000.00	\$ 1,100,000.00	
FIRE	STATION 1 OVERFLOW ADD ON			\$ 160,000.00				\$ 160,000.00	
PARKS	DOG PARK DESIGN & CONSTRUCTION			\$ 60,000.00	\$ 600,000.00			\$ 660,000.00	
PARKS	RUEBEN WELCH PLAN, DESIGN & CONSTRUCTION			\$ 25,000.00	\$ 200,000.00	\$ 2,000,000.00		\$ 2,225,000.00	
PUB WRKS	SANITARY SEWER (HERITAGE OAKS)			\$ 300,000.00	\$ 300,000.00	\$ 300,000.00		\$ 900,000.00	
PUB WRKS	CHENANGO WATER PLANT #2			\$ 4,500,000.00				\$ 4,500,000.00	
PUB WRKS	OYSTER CREEK WWTP IMPROVEMENTS			\$ 12,000,000.00				\$ 12,000,000.00	
PUB WRKS	TEXIAN TRAIL STORM SEWER			\$ 300,000.00				\$ 300,000.00	
PUB WRKS	RIDGECREST (BOND)			\$ 1,500,000.00				\$ 1,500,000.00	
PUB WRKS	HENDERSON TRANSMISSION MAIN LINE TRANSFER			\$ 1,500,000.00				\$ 1,500,000.00	
POLICE	APD 4 PATROL CAR REPLACEMENT				\$ 202,467.00			\$ 202,467.00	
POLICE	RECORDS MANAGEMENT PROJECT				\$ 500,000.00			\$ 500,000.00	
FIRE	ENGINE 2 REPLACEMENT				\$ 110,000.00	\$ 75,000.00	\$ 75,000.00	\$ 260,000.00	
PARKS	DICKEY & BATES PARK MASTER P,D, & CONSTRUCTION				\$ 70,000.00	\$ 300,000.00	\$ 3,000,000.00	\$ 3,370,000.00	
PARKS	TRAILS MASTER PLAN, DESIGN & CONSTRUCTION				\$ 50,000.00	\$ 200,000.00	\$ 2,000,000.00	\$ 2,250,000.00	
PARKS	MASTERTSON DESIGN & CONSTRUCTION				\$ 50,000.00	\$ 1,000,000.00		\$ 1,050,000.00	
PUB WRKS	NEW WATER TOWER				\$ 3,500,000.00			\$ 3,500,000.00	
PUB WRKS	SAN FELIPE (BOND)				\$ 1,500,000.00			\$ 1,500,000.00	
PUB WRKS	CITY WIDE PIPE UPGRADES				\$ 57,810,480.00			\$ 57,810,480.00	

<u>DEPARTMENT</u>	<u>PROJECT NAME</u>	<u>FY 21-22</u>	<u>DEPT TOTALS</u>
	General Fund		\$ 4,263,253.00
POLICE	DIGITAL MEDIA EVIDENCE SYSTEM/BODY CAMERAS	\$ 400,000.00	
	COMMUNICATIONS RADIO PROJECT	\$ 120,000.00	
	CELLBRITE PHONE DUMP	\$ 40,000.00	
		POLICE DEPT TOTAL:	\$ 560,000.00
DVLPMNT SRVCS	SUBSTANDARD BUILDING DEMO	\$ 108,000.00	
	COMPREHENSIVE MASTER PLAN	\$ 165,000.00	
		DEVELOPMENT SERVICES TOTAL:	\$ 273,000.00
PARKS	LAKESIDE PARK DESIGN & CONSTRUCTION	\$ 3,150,000.00	
	MUNICIPAL PARK DESIGN & CONSTRUCTION	\$ 30,000.00	
	VETERANS PARK DESIGN & CONSTRUCTION	\$ 75,000.00	
		PARKS TOTAL:	\$ 3,255,000.00
I.T.	NETWORK INFRASTRUCTURE (HARDWARE ONLY)	\$ 65,253	
	SERVER AND STORAGE REPLACEMENT	\$ 110,000	
		I.T. TOTAL:	\$ 175,253.00
	Street Fund		\$ 180,000.00
STREETS	SOLAR LIGHTS	\$ 100,000.00	
	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	
		STREETS TOTAL:	\$ 180,000.00
	Water Fund		\$ 991,000.00
WATER	NORTHSIDE WWTP	\$ 243,000.00	
	LIFT STATION REHABILITATION	\$ 73,000.00	
	FIRE HYDRANT REPLACEMENTS	\$ 25,000.00	
	WATER TREATMENT MEMBRANE	\$ 150,000.00	
	WATER LINE PROJECT	\$ 250,000.00	
	SEWER LINE PROJECT	\$ 250,000.00	
		WATER DEPARTMENT TOTAL:	\$ 991,000.00
	KAB Fund		\$ 980,000.00
KAB	GATEWAY MASTER PLAN & IMPLEMENTATION	\$ 750,000.00	
	LOOP 274 MEDIAN LANDSCAPE	\$ 230,000.00	
		KEEP ANGLETON BEAUTIFUL/PARKS TOTAL:	\$ 980,000.00
	ABLC Fund		\$ 400,000.00
ABLC/REC	FREEDOM PARK MASTER PLAN	\$ 400,000.00	
		ABLC/REC CENTER TOTAL:	\$ 400,000.00
		TOTAL CIP EXPENSES FOR FY 22	\$ 6,814,253.00

<u>DEPARTMENT</u>	<u>PROJECT NAME</u>	<u>FY 22-23</u>	<u>DEPT TOTALS</u>
	<u>General Fund</u>		<u>\$ 1,836,649.00</u>
POLICE	DISPATCH 3RD CONSOLE PROJECT	\$ 95,000.00	
	TEN HAND-HELD TICKET WRITERS	\$ 65,187.00	
	APD 4 PATROL CAR REPLACEMENT	\$ 200,462.00	
		POLICE DEPT TOTAL:	\$ 360,649.00
FIRE	STATION 1 UPGRADE/EXTENSION	\$ 50,000.00	
	STATION 1 OVERFLOW ADD ON	\$ 160,000.00	
		FIRE DEPT TOTAL:	\$ 210,000.00
DVLPMNT SRVCS	SUBSTANDARD BUILDING DEMO	\$ 66,000.00	
	COMPREHENSIVE MASTER PLAN	\$ 165,000.00	
		DEVELOPMENT SERVICES TOTAL:	\$ 231,000.00
PARKS	MUNICIPAL PARK DESIGN & CONSTRUCTION	\$ 200,000.00	
	VETERANS PARK DESIGN & CONSTRUCTION	\$ 750,000.00	
	DOG PARK DESIGN & CONSTRUCTION	\$ 60,000.00	
	RUEBEN WELCH PLAN, DESIGN & CONSTRUCTION	\$ 25,000.00	
		PARKS TOTAL:	\$ 1,035,000.00
	<u>Street Fund</u>		<u>\$ 180,000.00</u>
STREETS	SOLAR LIGHTS	\$ 100,000.00	
	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	
		STREETS TOTAL:	\$ 180,000.00
	<u>Water Fund</u>		<u>\$ 20,825,000.00</u>
WATER	LIFT STATION REHABILITATION	\$ 200,000.00	
	FIRE HYDRANT REPLACEMENTS	\$ 25,000.00	
	WATER LINE PROJECT	\$ 250,000.00	
	SEWER LINE PROJECT	\$ 250,000.00	
	SANITARY SEWER (HERITAGE OAKS)	\$ 300,000.00	
	CHENANGO WATER PLANT #2	\$ 4,500,000.00	
	OYSTER CREEK WWTP IMPROVEMENTS	\$ 12,000,000.00	
	TEXIAN TRAIL STORM SEWER	\$ 300,000.00	
	RIDGECREST (BOND)	\$ 1,500,000.00	
	HENDERSON TRANSMISSION MAIN LINE TRANSFER	\$ 1,500,000.00	
		WATER DEPARTMENT TOTAL:	\$ 20,825,000.00
		TOTAL CIP EXPENSES FOR FY 23	<u>\$ 22,841,649.00</u>

<u>DEPARTMENT</u>	<u>PROJECT NAME</u>	<u>FY 23-24</u>	<u>DEPT TOTALS</u>
	General Fund		\$ 3,866,967.00
POLICE	APD 4 PATROL CAR REPLACEMENT	\$ 202,467.00	
	RECORDS MANAGEMENT PROJECT	\$ 500,000.00	
		POLICE DEPT TOTAL:	\$ 702,467.00
FIRE	LAKESIDE PARK DESIGN & CONSTRUCTION	\$ 50,000.00	
	WWTP FIBER- BATES PARK TO WWTP	\$ 110,000.00	
		FIRE DEPT TOTAL:	\$ 160,000.00
DVLPMNT SRVCS	SUBSTANDARD BUILDING DEMO	\$ 34,500.00	
		DEVELOPMENT SERVICES TOTAL:	\$ 34,500.00
PARKS	MUNICIPAL PARK DESIGN & CONSTRUCTION	\$ 2,000,000.00	
	DOG PARK DESIGN & CONSTRUCTION	\$ 600,000.00	
	RUEBEN WELCH PLAN, DESIGN & CONSTRUCTION	\$ 200,000.00	
	DICKEY & BATES PARK MASTER PLAN, DESIGN & CONSTRUCTION	\$ 70,000.00	
	TRAILS MASTER PLAN, DESIGN & CONSTRUCTION	\$ 50,000.00	
	MASTERTSON DESIGN & CONSTRUCTION	\$ 50,000.00	
		PARKS TOTAL:	\$ 2,970,000.00
	Street Fund		\$ 180,000.00
STREETS	SOLAR LIGHTS	\$ 100,000.00	
	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	
		STREETS TOTAL:	\$ 180,000.00
	Water Fund		\$ 63,985,480.00
WATER	LIFT STATION REHABILITATION	\$ 200,000.00	
	FIRE HYDRANT REPLACEMENTS	\$ 25,000.00	
	WATER TREATMENT MEMBRANE	\$ 150,000.00	
	WATER LINE PROJECT	\$ 250,000.00	
	SEWER LINE PROJECT	\$ 250,000.00	
	SANITARY SEWER (HERITAGE OAKS)	\$ 300,000.00	
	NEW WATER TOWER	\$ 3,500,000.00	
	SAN FELIPE (BOND)	\$ 1,500,000.00	
	CITY WIDE PIPE UPGRADES	\$ 57,810,480.00	
		WATER DEPARTMENT TOTAL:	\$ 63,985,480.00
	ABLC Fund		\$ 3,000,000.00
ABLC	FREEDOM PARK MASTER PLAN	\$ 3,000,000.00	
		ABLC TOTAL:	\$ 3,000,000.00
		TOTAL CIP EXPENSES FOR FY 24	\$ 71,032,447.00

DEPARTMENT	PROJECT NAME	FY 24-25	DEPT TOTALS
	General Fund		\$ 3,963,992.00
POLICE	APD 4 PATROL CAR REPLACEMENT	\$ 204,492.00	
		POLICE DEPT TOTAL:	\$ 204,492.00
FIRE	ENGINE 2 REPLACEMENT	\$ 75,000.00	
		FIRE DEPT TOTAL:	\$ 75,000.00
DVLPMNT SRVCS	SUBSTANDARD BUILDING DEMO	\$ 34,500.00	
		DEVELOPMENT SERVICES TOTAL:	\$ 34,500.00
PARKS	RUEBEN WELCH PLAN, DESIGN & CONSTRUCTION	\$ 2,000,000.00	
	DICKEY & BATES PARK MASTER P,D, & CONSTRUCTION	\$ 300,000.00	
	TRAILS MASTER PLAN, DESIGN & CONSTRUCTION	\$ 200,000.00	
	MASTERTON DESIGN & CONSTRUCTION	\$ 1,000,000.00	
	BG PECK DESIGN & CONSTRUCTION	\$ 50,000.00	
	BRUSHY BAYOU DESIGN & CONSTRUCTION	\$ 100,000.00	
		PARKS TOTAL:	\$ 3,650,000.00
	Street Fund		\$ 180,000.00
STREETS	SOLAR LIGHTS	\$ 100,000.00	
	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	
			\$ 180,000.00
	Water Fund		\$ 1,025,000.00
WATER	LIFT STATION REHABILITATION	\$ 200,000.00	
	FIRE HYDRANT REPLACEMENTS	\$ 25,000.00	
	WATER LINE PROJECT	\$ 250,000.00	
	SEWER LINE PROJECT	\$ 250,000.00	
	SANITARY SEWER (HERITAGE OAKS)	\$ 300,000.00	
		WATER DEPARTMENT TOTAL:	\$ 1,025,000.00
		TOTAL CIP EXPENSES FOR FY 25	\$ 5,168,992.00

<u>DEPARTMENT</u>	<u>PROJECT NAME</u>	<u>FY 25-26</u>	<u>DEPT TOTALS</u>
	<u>General Fund</u>		<u>\$ 14,251,537.00</u>
POLICE	APD 4 PATROL CAR REPLACEMENT	\$ 206,537.00	
	APD/MUNICAL COURT BUILDING CONSTRUCTION	\$ 5,000,000.00	
		POLICE DEPT TOTAL:	\$ 5,206,537.00
FIRE	STATION 1 UPGRADE/EXTENSION	\$ 1,000,000.00	
	ENGINE 2 REPLACEMENT	\$ 75,000.00	
	REPLACE BRUSH 3	\$ 210,000.00	
	FIRE DEPT RESCUE TRUCK REPLACEMENT	\$ 760,000.00	
		FIRE DEPT TOTAL:	\$ 2,045,000.00
PARKS	DICKEY & BATES PARK MASTER P,D, & CONSTRUCTION	\$ 3,000,000.00	
	TRAILS MASTER PLAN, DESIGN & CONSTRUCTION	\$ 2,000,000.00	
	BG PECK DESIGN & CONSTRUCTION	\$ 1,000,000.00	
	BRUSHY BAYOU DESIGN & CONSTRUCTION	\$ 1,000,000.00	
		PARKS TOTAL:	\$ 7,000,000.00
	<u>Street Fund</u>		<u>\$ 180,000.00</u>
STREETS	SOLAR LIGHTS	\$ 100,000.00	
	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	
			\$ 180,000.00
	<u>Water Fund</u>		<u>\$ 675,000.00</u>
WATER	FIRE HYDRANT REPLACEMENTS	\$ 25,000.00	
	WATER TREATMENT MEMBRANE	\$ 150,000.00	
	WATER LINE PROJECT	\$ 250,000.00	
	SEWER LINE PROJECT	\$ 250,000.00	
		WATER TOTAL:	\$ 675,000.00
		TOTAL CIP EXPENSES FOR FY 26	<u>\$ 15,106,537.00</u>

<u>DEPARTMENT</u>	<u>PROJECT NAME</u>	<u>FUTURE YEARS</u>	<u>DEPT TOTALS</u>
	<u>General Fund</u>		\$ 11,650,000.00
PARKS	REC CENTER EXPANSION CONCEPT, DESIGN, & CONSTRUCTION	\$ 11,100,000.00	
	SKATE PARK DESIGN & CONSTRUCTION	\$ 550,000.00	
		PARKS TOTAL:	\$ 11,650,000.00
		FUTURE YEARS TTL CIP EXPENSES:	\$ 11,650,000.00

<u>DEPARTMENT</u>	<u>PROJECT NAME</u>	<u>FY 2020-2021</u>	<u>DEPT TOTALS</u>
	<u>General Fund</u>		<u>\$ 853,832.00</u>
POLICE	APD DISPATCH CONSOLE UPGRADE PROJECT	\$ 70,000.00	
		POLICE TOTAL:	\$ 70,000.00
FIRE	6 AIR PACK REPLACEMENTS	\$ 38,000.00	
		FIRE DEPT TOTAL:	\$ 38,000.00
PARKS	FREEDOM PARK BLEACHER SHADES	\$ 59,392.00	
	ADA TRANSITION PLAN & CONSTRUCTION	\$ 44,440.00	
	LAKESIDE PARK DESIGN & CONSTRUCTION	\$ 500,000.00	
		PARKS TOTAL:	\$ 603,832.00
I.T.	WWTP FIBER- BATES PARK TO WWTP	\$ 142,000.00	
		I.T. TOTAL:	\$ 142,000.00
	<u>Street Fund</u>		<u>\$ 197,960.00</u>
STREETS	SOLAR LIGHTS	\$ 75,000.00	
	ANNUAL SIDEWALK PROJECTS	\$ 80,000.00	
	TRANSITION PLAN & CONSTRUCTION FOR SIDEWALKS	\$ 42,960.00	
		STREETS TOTAL:	\$ 197,960.00
	<u>Water Fund</u>		<u>\$ 124,000.00</u>
PUB WRKS	WASTEWATER TREATMENT PLANT LAB	\$ 124,000.00	
		WATER DEPARTMENT TOTAL:	\$ 124,000.00
	<u>KAB Fund</u>		<u>\$ 75,000.00</u>
KAB/PARKS	GATEWAY MASTER PLAN & IMPLEMENTATION	\$ 75,000.00	
		KEEP ANGLETON BEAUTIFUL/PARKS TOTAL:	\$ 75,000.00
	<u>ABLC Fund</u>		<u>\$ 44,586.87</u>
ABLC/REC	BACKUP GENERATOR CONNECTION FOR REC CENTER	\$ 44,586.87	
		ABLC/REC CENTER TOTAL:	\$ 44,586.87
		TOTAL CIP EXPENSES FOR FY 21	<u>\$ 1,295,378.87</u>



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Geri Gonzales, Recreation Superintendent

AGENDA CONTENT: Recreation Updates

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

Pool Slide – ABLC approved the LCI bid for \$59,383.70 at the 4/19 meeting. City Council approved the agreement at the 5/11 meeting. LCI assessed the site on 6/4 and staff is awaiting a start date.

Pool Doors – ABLC approved the NABCO bid for \$39,982 at the 4/19 meeting. City council approved the agreement at the 5/11 meeting. NABCO came out to assess the area mid-May. As of update on 6/6, materials have been ordered and staff are waiting to hear from project manager to set a schedule for the update.

Angleton Recreation Center Roof – Jaco completed the project at the end of April and provided warranty forms to staff on 5/5. After rain events in May, staff found a few leaks. Jaco has fixed one out of three leaks. As of 6/8, staff are waiting for Jaco to schedule a water test to determine the location of other leaks.

Freedom Fireworks – Freedom Fireworks is scheduled for Saturday, July 3 at the Brazoria County Fairgrounds and will begin at 9:20PM. SkyWonder is the contracted vendor for this year and will be livestreaming music with the show via FM transmitter. Staff will announce the radio station via social media platforms and PD's digital signage onsite the day of.

Events & Programs – Registration for 4th quarter events and programs for the months of July, August & September opens 6/10 at 5AM. Programs include Senior Welcome Back Party, senior trips to Wharton Plaza Theatre and Naskila, Painting with Janet, Little Kickers, Junior Angler, and Summer Tip-Off Classic Basketball Tournament. July is National Parks & Recreation Month and we have planned great family events such as Movie in the Park 7/15 and Home Run Derby 7/31.

RECOMMENDATION:

N/A

Lakeside Park
POTENTIAL VALUE ENGINEERING

CLARK CONDON
1-Jun-21

The follow is a list of items we recommend to remove from the contract which do not change the overall park user experience, design or maintainability of Lakeside Park.

POSSIBLE VALUE ENGINEERING OPTIONS	BID LINE ITEM #	COMMENTS	BID COST
SITE PREPARATION			
Existing Tree Removal	4	CoA would assume maintenance immediately after substantial completion of the project	(\$10,500.00)
Existing Maintenance Pier Removal	5	CoA would handle through Parks Dept.	(\$15,000.00)
SITE ITEMS			
Sandblast-finished Concrete	44	Remove decorative finish and install standard broom-finished concrete.	(\$2,080.00)
Concrete Steps to Kayak Launch	50	Remove one set up steps, leave other for direct connection	(\$35,542.00)
Concrete Steps to Lawn	51	Reduce length of steps by half	(\$23,552.00)
Dumpster Enclosure	56	CoA will install through alternate contractor.	(\$23,245.00)
Pump Enclosure	57	CoA will install through alternate contractor.	(\$54,598.00)
Miscellaneous Site Moss Boulders	61	Remove from project	(\$4,100.00)
Bike Racks		Reduce quantity of bike racks and associated concrete	
Concrete Curb	46		(\$320.00)
Bike Rack w/ Concrete Pad	67		(\$7,579.00)
PLANTING ADJUSTMENTS			
Butterfly Garden		Remove from project and install with community groups	
Decomposed Granite Paving	48		(\$2,700.00)
Flame Acanthus	75		(\$257.00)
Firebush	77		(\$796.70)
Gulf Coast Muhly	80		(\$2,380.80)
Gregg's Mistflower	81		(\$3,340.20)
Texas Lantana	84		(\$605.00)
Black-eyed Susan	85		(\$1,069.50)
Mexican Marigold	88		(\$439.20)
Irrigation	97		(\$3,500.00)
General Reduction of Planting Beds		Reduce planting bed areas	
Live Oak	73		(\$1,060.00)
Dwarf Yaupon	76		(\$10,081.20)
Indigo Spires	78		(\$17,990.00)
Giant Tradescantia	87		(\$4,471.80)
Common Rush	89		(\$2,804.40)
Pickerel Weed	90		(\$1,550.00)
Arrowhead	91		(\$1,813.95)
Irrigation	97		(\$3,500.00)
TOTAL POSSIBLE SAVINGS THIS SECTION			(\$234,875.75)

The follow is a list of items we recommend for consideration of alternatives or adjustments. Some of these items may have an impact to user experience, design, longevity, or maintenance of Lakeside Park.

POSSIBLE VALUE ENGINEERING OPTIONS	BID LINE ITEM #	COMMENTS	BID COST
<u>SITE ITEMS</u>			
60 Day Landscape Maintenance	3	CoA would assume maintenance immediately after substantial completion of the project	(\$8,800.00)
* Parking Lot Lighting	32	Contractor to propose alternative light fixtures, final savings pending negotiation	(\$1,000.00)
* Pedestrian Lighting	33	Contractor to propose alternative light fixtures, final savings pending negotiation	(\$5,000.00)
Maintenance Trail near Anchor Rd	43	Reduce thickness from 6" to 4.5".	(\$32,011.85)
<u>PLAYGROUND SURFACING ALTERNATIVES</u>			
* Poured-in-Place (PIP) Rubber on Gravel Base OR	52	Consider alternative safety surfaces In lieu of PIP on concrete base	(\$10,000.00)
* Artificial Turf OR		In lieu of PIP on concrete base	(\$24,000.00)
Engineered Wood Fibar		In lieu of PIP on concrete base	(\$96,528.60)
<u>PAVILION</u>			
* General Reduction on Pavilion that may come from a combination of:	35		
Remove cantilevered deck		Would require reworking of interaction with kayak launch	(\$80,000.00)
Split-Face CMU in lieu of stone veneer		Impact to look of the structure.	(\$15,000.00)
Remove ceiling fans			(\$4,000.00)
Remove barn doors		Impact to function of structure.	(\$16,000.00)
Remove accent and specialty lighting, only provide general lighting		Impact to function and look of the structure.	(\$19,500.00)
Remove air conditioner from concessions room			(\$15,000.00)
Replace cedar siding with Hardie siding			(\$6,000.00)
Explore alternative foundation options		Would require collaboration between design team engineers and contractor to ensure it meets structural requirements based on soils and wind loads.	(\$60,000.00)
Explore alternatives for Truss and Steel		Would require collaboration between design team and contractor on detailing and overall look. This could impact the design and look of the structure.	(\$30,000.00)

* Indicated items will have to be negotiated with the contractor for final cost savings.

TOTAL POSSIBLE SAVINGS THIS SECTION
(factored with option for PIP on gravel base and all pavilion alternatives)

(\$302,311.85)

SUMMARY

LAKESIDE BASE BID	\$3,593,273.52
POSSIBLE SAVINGS FROM PAGE 1	(\$234,875.75)
POSSIBLE SAVINGS FROM PAGE 2	(\$302,311.85)
	<hr/>
	\$3,056,085.92

Note: Bid tab is included for reference at the back of this summary.

ITEM		QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
ITEM				UNIT COST	EXTENSION	UNIT COST	EXTENSION
General							
1	Payment, Performance and Maintenance Bonds (each 100% of the contract amount. No mark-up will be permitted)	1	LS	\$36,750.00	\$36,750.00	\$52,011.66	\$52,011.66
2	SWPPP (complete and in-place including NOI, NOT, maintenance and removal upon completion)	1	LS	\$28,150.00	\$28,150.00	\$22,580.76	\$22,580.76
3	60 Day Landscape Maintenance	1	LS	\$8,800.00	<u>\$8,800.00</u>	\$7,512.80	<u>\$7,512.80</u>
Total General					\$73,700.00		\$82,105.22
Demolition							
4	Tree Removal and Pruning	1	LS	\$10,500.00	\$10,500.00	\$9,657.55	\$9,657.55
5	Removal of Maintenance Pier at Pump	1	LS	\$15,000.00	<u>\$15,000.00</u>	\$4,045.35	<u>\$4,045.35</u>
Total Demolition					\$25,500.00		\$13,702.90
Grading, Drainage and Utility							
6	Site Grading for Parking	4,975	CY	\$8.50	\$42,287.50	\$5.14	\$25,571.50
7	6" Sanitary Sewer	619	LF	\$37.62	\$23,286.78	\$98.24	\$60,810.56
8	Sanitary Manhole	3	EA	\$4,560.00	\$13,680.00	\$5,618.54	\$16,855.62
9	Connect to Existing Sanitary Manhole	1	EA	\$1,375.00	\$1,375.00	\$3,141.25	\$3,141.25
10	DSS Service Tap w/ Corp Stop	1	LS	\$2,280.00	\$2,280.00	\$13,805.57	\$13,805.57
11	3" Water Line & Appurtenances	295	LF	\$39.90	\$11,770.50	\$36.92	\$10,891.40
12	3" Water Line w/ restrained joints in PVC casing	48	LF	\$39.90	\$1,915.20	\$187.50	\$9,000.00
13	3" Water Meter	1	EA	\$4,560.00	\$4,560.00	\$6,806.46	\$6,806.46
14	3" Backflow Preventer	1	EA	\$2,850.00	\$2,850.00	\$6,769.00	\$6,769.00
15	1.5" Water Line & Appurtenances	24	LF	\$17.00	\$408.00	\$43.02	\$1,032.48
16	1.5" Water Meter	1	EA	\$2,280.00	\$2,280.00	\$4,368.98	\$4,368.98
17	12" Storm Sewer	452	LF	\$45.60	\$20,611.20	\$95.68	\$43,247.36
18	18" Strom Sewer	491	LF	\$51.30	\$25,188.30	\$72.88	\$35,784.08
19	24" Storm Sewer	53	LF	\$74.10	\$3,927.30	\$83.80	\$4,441.40

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
20	18" RCP Culvert	95	LF	\$62.70	\$5,956.50	\$112.05	\$10,644.75
21	Catch Basin (as included in Civil drawings)	8	EA	\$3,705.00	\$29,640.00	\$2,337.32	\$18,698.56
22	Type C Inlet	1	EA	\$4,390.00	\$4,390.00	\$5,079.16	\$5,079.16
23	Junction Box	1	EA	\$3,819.00	\$3,819.00	\$6,152.79	\$6,152.79
24	Storm Outfall	1	EA	\$5,000.00	\$5,000.00	\$2,258.97	\$2,258.97
25	Trench Safety System	996	LF	\$2.00	\$1,992.00	\$3.47	\$3,456.12
26	18" Concrete Catch Basin w/ metal grate	4	EA	\$1,250.00	\$5,000.00	\$2,338.60	\$9,354.40
27	12" Concrete Catch Basin w/ dome grate	3	EA	\$650.00	\$1,950.00	\$2,094.59	\$6,283.77
28	6" SDR35 Solid PVC Drainage Pipe	145	LF	\$32.00	\$4,640.00	\$38.26	\$5,547.70
29	4" SDR35 Solid PVC Drainage Pipe	120	LF	\$28.50	\$3,420.00	\$37.62	\$4,514.40
30	4" Perforated Drainage Sock Pipe	60	LF	\$28.50	\$1,710.00	\$24.62	\$1,477.20
Total Grading and Drainage					\$223,937.28		\$315,993.48
Lighting and Electrical							
31	Electrical Service (complete and operational)	1	LS	\$55,974.00	\$55,974.00	\$22,923.67	\$22,923.67
32	Parking Lot Pole Mounted Lighting	6	EA	\$5,073.00	\$30,438.00	\$5,437.50	\$32,625.00
33	Pedestrial Pole Mounted Lighting	10	EA	\$5,449.00	\$54,490.00	\$5,436.20	\$54,362.00
34	Wall Pack Light	1	EA	\$1,710.00	\$1,710.00	\$1,412.66	\$1,412.66
Total Lighting and Electrical					\$142,612.00		\$111,323.33
Architecture							
35	Pavilion (complete and operational)	1	LS	\$1,495,000.00	\$1,495,000.00	\$1,605,600.68	\$1,605,600.68
Total Architecture					\$1,495,000.00		\$1,605,600.68
Hardscape							
36	10' Concrete Trail	40,900	SF	\$4.65	\$190,185.00	\$5.42	\$221,678.00
37	8' Concrete Trail	250	SF	\$4.75	\$1,187.50	\$5.78	\$1,445.00
38	6' Concrete Trail	9,650	SF	\$4.85	\$46,802.50	\$5.82	\$56,163.00

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
39	4' Concrete Trail	1,800	SF	\$5.20	\$9,360.00	\$6.46	\$11,628.00
40	4' Concrete Trail w/ Haunched Edge	140	SF	\$9.00	\$1,260.00	\$10.30	\$1,442.00
41	South Parking Lot - 6" Thick Concrete Paved - including stabilized subgrade	3,835	SY	\$73.94	\$283,559.90	\$67.55	\$259,054.25
42	South Parking Lot - 7" Thick Concrete Paved - including stabilized subgrade	35	SY	\$80.63	\$2,822.05	\$425.14	\$14,879.90
43	10' Access Trail - 6" Thick Concrete Paved	1,105	SY	\$70.82	\$78,256.10	\$80.28	\$88,709.40
44	Concrete Paving w/ Sandblast Finish	1,300	SF	\$6.25	\$8,125.00	\$11.59	\$15,067.00
45	6" Concrete Curb at South Parking Lot	1,358	LF	\$8.05	\$10,931.90	\$2.92	\$3,965.36
46	6" Concrete Curb at Bike Rack	20	LF	\$16.00	\$320.00	\$5.39	\$107.80
47	Pavement Markings at South Parking Lot	1	LS	\$3,500.00	\$3,500.00	\$1,731.15	\$1,731.15
48	Decomposed Granite Paving	400	SF	\$6.75	\$2,700.00	\$4.86	\$1,944.00
49	ADA Ramps	9	EA	\$1,254.00	\$11,286.00	\$1,129.62	\$10,166.58
50	Concrete Steps at Pavilion & Launch	2	EA	\$35,542.00	\$71,084.00	\$41,615.75	\$83,231.50
51	Concrete Steps at Pavilion & Event Lawn	1	EA	\$23,552.00	\$23,552.00	\$14,122.77	\$14,122.77
52	Playground Surfacing (pour-in-place rubber) w/ Concrete Base	4,230	SF	\$28.63	\$121,104.90	\$29.08	\$123,008.40
53	Concrete Retaining Walls	286	LF	\$205.64	\$58,813.04	\$361.99	\$103,529.14
54	Kayak Launch	1	LS	\$61,905.00	\$61,905.00	\$111,451.07	\$111,451.07
55	Fishing Pier	1	LS	\$85,223.00	\$85,223.00	\$95,976.37	\$95,976.37
56	Dumpster Enclosure	1	LS	\$23,245.00	\$23,245.00	\$23,380.22	\$23,380.22
57	Pump Enclosure	1	LS	\$54,598.00	\$54,598.00	\$44,391.28	\$44,391.28
58	Weir Crossing	1	LS	\$57,228.00	\$57,228.00	\$47,763.32	\$47,763.32
59	Boulders at Drop-Off	4	EA	\$770.00	\$3,080.00	\$369.16	\$1,476.64
60	Stones at Catch Basin at Event Lawn	5	TON	\$663.00	\$3,315.00	\$435.82	\$2,179.10
61	Miscellaneous Site Moss Boulders	10	TON	\$410.00	\$4,100.00	\$369.18	\$3,691.80
62	Allowance for Park Entry Signage	1	LS	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00
Total Hardscape					\$1,227,543.89		\$1,352,183.05

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
Site Furnishings							
63	Benches w/ concrete pad base	7	EA	\$1,317.00	\$9,219.00	\$1,363.17	\$9,542.19
64	Benches w/ decomposed granite base	2	EA	\$975.00	\$1,950.00	\$2,289.60	\$4,579.20
65	Picnic Table w/ concrete pad base	5	EA	\$3,221.00	\$16,105.00	\$3,027.51	\$15,137.55
66	Picnic Table w/ concrete pad base - Accessible	2	EA	\$3,705.00	\$7,410.00	\$3,078.90	\$6,157.80
67	Bike Rack w/ concrete pad base	18	EA	\$583.00	\$10,494.00	\$553.89	\$9,970.02
68	Trash Receptacle w/ concrete pad base	5	EA	\$1,137.00	\$5,685.00	\$1,268.38	\$6,341.90
69	Trash-Recycle w/ concrete pad base	2	EA	\$1,564.00	\$3,128.00	\$1,347.11	\$2,694.22
70	Bollards	2	EA	\$1,083.00	\$2,166.00	\$887.40	\$1,774.80
Total Site Furnishings					\$56,157.00		\$56,197.68
Playground Furnishings							
71	Playbooster (complete and in-place)	1	EA	\$168,878.00	\$168,878.00	\$193,633.66	\$193,633.66
72	Swing (complete and in-place)	1	EA	\$9,787.00	\$9,787.00	\$11,369.37	\$11,369.37
Total Playground Furnishings					\$178,665.00		\$205,003.03
Softscape							
73	Live Oak - 65 Gal.	1	EA	\$1,060.00	\$1,060.00	\$886.13	\$886.13
74	Swamp Milkweed - 3 Gal.	12	EA	\$27.30	\$327.60	\$25.69	\$308.28
75	Flame Acanthus - 3 Gal.	10	EA	\$25.70	\$257.00	\$38.53	\$385.30
76	Dwarf Yaupon - 3 Gal.	616	EA	\$18.60	\$11,457.60	\$25.68	\$15,818.88
77	Firebush - 3 Gal.	31	EA	\$25.70	\$796.70	\$25.68	\$796.08
78	Indigo Spires Salvia - 3 Gal.	1,000	EA	\$25.70	\$25,700.00	\$32.11	\$32,110.00
79	Arrowwood Viburnum - 3 Gal.	16	EA	\$27.30	\$436.80	\$25.68	\$410.88
80	Gulf Coast Muhly - 3 Gal.	153	EA	\$18.60	\$2,845.80	\$25.68	\$3,929.04
81	Gregg's Mistflower - 1 Gal.	312	EA	\$11.40	\$3,556.80	\$19.26	\$6,009.12
82	Bicolor Iris - 7 Gal.	42	EA	\$19.45	\$816.90	\$32.11	\$1,348.62
83	Sandi Leaf Fig Ivy - 1 Gal.	530	EA	\$11.00	\$5,830.00	\$19.26	\$10,207.80

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
84	Texas Lantana - 1 Gal.	55	EA	\$11.00	\$605.00	\$19.26	\$1,059.30
85	Black-Eyed Susan - 1 Gal.	93	EA	\$11.50	\$1,069.50	\$19.26	\$1,791.18
86	Mexican Bush Sage - 3 Gal.	19	EA	\$25.70	\$488.30	\$25.68	\$487.92
87	Giant Tradescantia - 3 Gal.	174	EA	\$25.70	\$4,471.80	\$19.26	\$3,351.24
88	Mexican Marigold - 1 Gal.	36	EA	\$12.20	\$439.20	\$19.26	\$693.36
89	Common Rush - 3 Gal.	223	EA	\$22.80	\$5,084.40	\$38.53	\$8,592.19
90	Pickereel Weed - BR	500	EA	\$6.20	\$3,100.00	\$1.28	\$640.00
91	Arrowhead - BR	511	EA	\$6.95	\$3,551.45	\$1.28	\$654.08
92	Fine Grade & Common Bermuda Hydromulch	65,400	SF	\$0.10	\$6,540.00	\$0.10	\$6,540.00
93	Fine Garde & Common Bermuda Sod	22,250	SF	\$0.57	\$12,682.50	\$0.71	\$15,797.50
94	Fine Grade & Big Roll Common Bermuda Sod at Event Lawn	13,400	SF	\$0.98	\$13,132.00	\$0.83	\$11,122.00
95	Meadow Mix	27,200	SF	\$0.17	\$4,624.00	\$0.26	\$7,072.00
96	Temporary Irrigation System (Complete and Operational including connections to new electrical services)	1	LS	\$4,894.00	\$4,894.00	\$5,608.27	\$5,608.27
97	Permanent Irrigation System (Complete and Operational including connections to new electrical services)	1	LS	\$56,391.00	\$56,391.00	\$65,099.98	\$65,099.98
Total Softscape					\$170,158.35		\$200,719.15
TOTAL BASE BID					\$3,593,273.52		\$3,942,828.52
Alternate No. 1 Boardwalk							
98	Boardwalk	1	LS	\$150,000.00	\$150,000.00	\$224,659.99	\$224,659.99
99	Grading	1	LS	\$10,100.00	\$10,100.00	\$7,254.94	\$7,254.94
100	6' Concrete Trail	3,125	SF	\$5.00	\$15,625.00	\$5.44	\$17,000.00
Total Alternate No. 1 Boardwalk					\$175,725.00		\$248,914.93

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
Alternate No. 2 Shade Structure							
101	Shade Structure (complete and operational)	1	LS	\$143,295.00	\$143,295.00	\$66,422.71	\$66,422.71
102	Electrical Secondary Run to Shade Structure	1	LS	\$56,336.00	\$56,336.00	\$4,717.64	\$4,717.64
103	Grading	1	LS	\$7,500.00	\$7,500.00	\$1,316.14	\$1,316.14
104	6' Concrete Trail	1,675	SF	\$5.00	\$8,375.00	\$5.44	\$9,112.00
105	Concrete Paving w/ Sandblast Finish	1,400	SF	\$6.43	\$9,002.00	\$10.85	\$15,190.00
106	Meadow Mix	4,750	SF	\$0.18	\$855.00	\$0.24	\$1,140.00
107	Moss Boulders	5	TON	\$410.00	\$2,050.00	\$345.63	\$1,728.15
108	Fine Grade & Common Bermuda Sod	7,900	SF	\$0.56	\$4,424.00	\$0.66	\$5,214.00
109	Bench w/ concrete pad base	1	EA	\$1,300.00	\$1,300.00	\$1,273.72	\$1,273.72
110	Trash Receptacle w/ concrete pad base (sandblast finished concrete)	1	EA	\$1,600.00	\$1,600.00	\$5,297.55	\$5,297.55
111	Temporary Irrigation System (Complete and Operational including connections to new electrical services)	1	LS	\$3,561.00	<u>\$3,561.00</u>	\$6,330.65	<u>\$6,330.65</u>
Total Alternate No. 2 Shade Structure					\$238,298.00		\$117,742.56
Alternate No. 3 Sandy Beach							
112	Rock Edge	20	TON	\$600.00	\$12,000.00	\$454.64	\$9,092.80
113	Sand	80	CY	\$100.00	\$8,000.00	\$82.71	\$6,616.80
114	Moss Boulders	5	TON	\$410.00	\$2,050.00	\$345.63	\$1,728.15
115	Grading	1	LS	\$3,500.00	\$3,500.00	\$1,884.65	\$1,884.65
116	4" SDR35 Solid PVC Drainage Pipe	15	LF	\$24.00	\$360.00	\$35.21	\$528.15
117	4" Perforated Drainage Sock Pipe	115	LF	\$18.00	<u>\$2,070.00</u>	\$23.03	<u>\$2,648.45</u>
Total Alternate No. 3 Sandy Beach					\$27,980.00		\$22,499.00

				DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
ITEM	ITEM	QTY.	UNIT	UNIT COST	EXTENSION	UNIT COST	EXTENSION
Alternate No. 4 Playground Musical Instruments							
118	Butterflies (complete and operational)	4	EA	\$1,634.00	\$6,536.00	\$1,470.73	\$5,882.92
119	Lily pad Cymbals (complete and operational)	1	EA	\$5,206.00	\$5,206.00	\$4,205.00	\$4,205.00
120	Tenor Tree (complete and operational)	1	EA	\$6,989.00	\$6,989.00	\$7,301.22	\$7,301.22
Total Alternate No. 4 Playground Musical Instruments					\$18,731.00	\$17,389.14	
Alternate No. 5 North Parking Lot							
121	6" Thick Concrete Paving - Including Stabilized Subgrade	1,895	SY	\$73.15	\$138,619.25	\$69.66	\$132,005.70
122	6" Concrete Curb	835	LF	\$9.50	\$7,932.50	\$5.62	\$4,692.70
123	Pavement Markings	1	LS	\$1,500.00	\$1,500.00	\$710.34	\$710.34
124	Parking Lot Pole Mounted Lighting	2	EA	\$5,231.00	\$10,462.00	\$6,144.95	\$12,289.90
125	Pedestrian Pole Mounted Lighting	6	EA	\$5,681.00	\$34,086.00	\$6,144.95	\$36,869.70
126	Site Grading for North Parking	1,895	CY	\$10.00	\$18,950.00	\$5.17	\$9,797.15
127	6' Concrete Trail	1,300	SF	\$5.00	\$6,500.00	\$5.44	\$7,072.00
128	Trash Receptacle w/ concrete pad base	1	EA	\$1,122.00	\$1,122.00	\$5,422.90	\$5,422.90
129	12" Storm Sewer	205	LF	\$61.88	\$12,685.40	\$89.54	\$18,355.70
130	24" Storm Sewer	125	LF	\$100.00	\$12,500.00	\$78.43	\$9,803.75
131	Catch Basin	2	EA	\$3,850.00	\$7,700.00	\$2,187.54	\$4,375.08
132	Storm Manhole	1	EA	\$4,500.00	\$4,500.00	\$5,258.51	\$5,258.51
133	Storm Outfall	1	EA	\$5,000.00	\$5,000.00	\$2,114.22	\$2,114.22
134	Trench Safety System	330	LF	\$2.00	\$660.00	\$3.25	\$1,072.50
135	SWPPP	1	LS	\$5,500.00	\$5,500.00	\$4,206.80	\$4,206.80
Total Alternate No. 5 North Parking Lot					\$267,717.15	\$254,046.95	
Alternate No. 6 Fitness Station							
136	Wood Fiber Play Surface	1,020	SF	\$5.81	\$5,926.20	\$9.25	\$9,435.00
137	Angled Balance Beam	1	EA	\$1,905.00	\$1,905.00	\$1,549.67	\$1,549.67
138	Plyometrics	1	EA	\$5,259.00	\$5,259.00	\$4,795.06	\$4,795.06

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
139	Pull-Up / Dip	1	EA	\$4,537.00	\$4,537.00	\$4,072.97	\$4,072.97
140	Rope Climb	1	EA	\$5,068.00	\$5,068.00	\$4,592.21	\$4,592.21
141	Ramp	1	EA	\$1,527.50	\$1,527.50	\$1,057.23	\$1,057.23
142	Fitness Station Edge	104	LF	\$35.25	\$3,666.00	\$36.15	\$3,759.60
143	4" SDR35 Solid PVC Drainage Pipe	30	LF	\$29.38	\$881.40	\$67.57	\$2,027.10
144	4" Perforated Drainage Sock Pipe	130	LF	\$29.38	<u>\$3,819.40</u>	\$15.59	<u>\$2,026.70</u>
Total Alternate No. 6 Fitness Station					\$32,589.50		\$33,315.54
Alternate No. 7 Overlook							
145	6' Concrete Trail	3,250	SF	\$5.00	\$16,250.00	\$5.44	\$17,680.00
146	Stone Wall	40	LF	\$340.00	\$13,600.00	\$274.61	\$10,984.40
147	Concrete Paving w/ Sandblast Finish	440	SF	\$6.41	\$2,820.40	\$11.80	\$5,192.00
148	Grading	1	LS	\$5,400.00	\$5,400.00	\$1,232.06	\$1,232.06
149	4" SDR35 Solid PVC Drainage Pipe	20	LF	\$29.35	\$587.00	\$35.22	\$704.40
150	4" Perforated Drainage Sock Pipe	40	LF	\$29.35	<u>\$1,174.00</u>	\$23.04	<u>\$921.60</u>
Total Alternate No. 7 Overlook					\$39,831.40		\$36,714.46
Alternate No. 8 Relocate Electrical Controller/Disconnect							
151	Relocate Pump Controller / Disconnect	1	LS	\$5,800.00	<u>\$5,800.00</u>	\$2,584.18	<u>\$2,584.18</u>
Total Alternate No. 8 Relocate Electrical Controller/Disconnect					\$5,800.00		\$2,584.18
Alternate No. 9 Bury Existing Electrical Pull Boxes							
152	Bury Existing Electrical Pull Boxes	1	LS	\$6,780.00	<u>\$6,780.00</u>	\$2,313.81	<u>\$2,313.81</u>
Total Alternate No. 9 Bury Existing Electrical Pull Boxes					\$6,780.00		\$2,313.81

ITEM	ITEM	QTY.	UNIT	DL MEACHAM LP		MILLIS DEVELOPMENT AND CONSTRUCTION, LLC	
				UNIT COST	EXTENSION	UNIT COST	EXTENSION
Alternate No. 10 Existing Gravel							
153	Removal, Washing and Storage of Existing Gravel Drive (where	1	LS	\$8,350.00	\$8,350.00	\$6,670.99	\$6,670.99
Total Alternate No. 10 Existing Gravel					\$8,350.00	\$6,670.99	\$6,670.99
Total Alternate No. 1 Boardwalk					\$175,725.00	\$248,914.93	\$248,914.93
Total Alternate No. 2 Shade Structure					\$238,298.00	\$117,742.56	\$117,742.56
Total Alternate No. 3 Sandy Beach					\$27,980.00	\$22,499.00	\$22,499.00
Total Alternate No. 4 Playground Musical Instruments					\$18,731.00	\$17,389.14	\$17,389.14
Total Alternate No. 5 North Parking Lot					\$267,717.15	\$254,046.95	\$254,046.95
Total Alternate No. 6 Fitness Station					\$32,589.50	\$33,315.54	\$33,315.54
Total Alternate No. 7 Overlook					\$39,831.40	\$36,714.46	\$36,714.46
Total Alternate No. 8 Relocate Electrical Controller/Disconnect					\$5,800.00	\$2,584.18	\$2,584.18
Total Alternate No. 9 Bury Existing Electrical Pull Boxes					\$6,780.00	\$2,313.81	\$2,313.81
Total Alternate No. 10 Existing Gravel					\$8,350.00	\$6,670.99	\$6,670.99
TOTAL ALTERNATES					\$821,802.05	\$742,191.56	\$742,191.56
TOTAL BASE BID & ALTERNATES					\$4,415,075.57	\$4,685,020.08	\$4,685,020.08

	DL MEACHAM LP	MILLIS DEVELOPMENT AND CONSTRUCITON, LLC
Evaluator 1	8.7	8.8
Evaluator 2	8.95	8.55
Evaluator 3	9.75	9.2
Evaluator 4	8.55	7.7
Evaluator 5	9.25	8.35
Evaluator 6	9.4	8.2
Evaluator 7	9.35	7.35
Evaluator 8	No response	No response
Evaluator 9	No response	No response
Evaluator 10	No response	No response
Evaluator 11	No response	No response
Evaluator 12	No response	No response
Evaluator 13	No response	No response
Evaluator 14	No response	No response
Evaluator 15	No response	No response
Evaluator 16	No response	No response
Evaluator 17	No response	No response
Evaluator 18	No response	No response
Evaluator 19	No response	No response
Evaluator 20	No response	No response
Evaluator 21	No response	No response
Evaluator 22	No response	No response
Evaluator 23	No response	No response
Evaluator 24	No response	No response
OVERALL	63.95	58.15



AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion on park standards manual.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

Staff is in the preliminary stages of developing a park standards manual that staff, boards and commissions, and developers may reference for park standard guidance. Staff is utilizing the City of Virginia Beach Design Standards Manual as a template but may also solicit assistance from Kimley-Horn who has experience developing similar manuals.

RECOMMENDATION:

Staff recommends the Parks & Recreation Board provide comment.

CITY OF VIRGINIA BEACH DESIGN STANDARDS MANUAL

A COMPONENT OF THE VIRGINIA BEACH OUTDOORS PLAN



DESIGN STANDARDS MANUAL

City of Virginia Beach
Department of Parks & Recreation

Director Michael Kalvort, CPRE

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Frank Fentress
Larry Plummer
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WEST NECK CREEK NATURAL AREA | An example of a municipal preservation area whose primary purpose is to preserve the indigenous vegetation and wildlife in order to serve as green infrastructure, passive recreation and as a scenic environment for Virginia Beach residents to enjoy.



TABLE OF CONTENTS

- 5** Park Development Standards
- 19** Specialized Facilities
- 25** Buildings
- 29** Parking Lots
- 35** Planting Designs
- 39** Fields
- 47** Play Courts
- 55** Playground Systems
- 61** Park Walkways & Trails
- 71** Shelters
- 77** Lighting
- 81** Fencing
- 89** Signage
- 97** Site Furnishings



COVER PHOTO | Virginia Beach is home to 265 parks and park facilities, encompassing over 4,000 acres, including neighborhood and community parks, metro parks, signature parks, natural areas, waterway accesses, trail linkages, open space preservation areas and park athletic facilities. Each park is unique and offers something for everyone, from wide open spaces to playgrounds, picnic shelters, and ballfields.

This photo was taken at Gatewood Park in central Virginia Beach which exemplifies various design standards for our park system with regards to walkways, tree plantings, shelters, picnic tables and playground areas.

This document was developed with extensive input from various City Parks & Recreation staff. Its goal is to establish a unique identity for the entire Virginia Beach park system, where individual park components relate to each other as well as to the City's park system as a whole. This manual covers a wide range of park elements and systems, identifying specific types, materials, and installation practices.

It is the City's standard that all sites shall be easily accessible to the public by all modes of transportation: vehicular, bicycle, and pedestrian. Standards for ADA accessibility are incorporated throughout this document. ADA accessibility shall be accommodated at all sites to the fullest extent practical.

The preparation of this document meets the following three objectives:

- The development and utilization of a single standards document by all Parks & Recreation Divisions
- The establishment of a pattern of common elements and an identifiable quality throughout all the City's park land
- The utilization of consistent, safe, sustainable and cost effective materials that are easily maintained and managed and are implemented system-wide

Key Components:

The Design Standards Manual identifies standard elements, materials, product information, specifications (as needed), and implementation practices. The main components of the manual are listed below. Each section includes text, images, and details to communicate the City's standards. However, the details provided throughout the manual are not to be used for construction, but for general guidance as to common practices and design elements.

- Park Development Standards
- Specialized Facilities
- Buildings
- Parking Lots
- Planting Design
- Fields
- Play Courts
- Playground Systems
- Park Walkways and Trails
- Shelters
- Lighting
- Fencing
- Signage
- Site Furnishings

SECTION ONE

Park Development Standards





(Above): Aerial view of Mount Trashmore Park, including views of Lake Trashmore, Kids Cove playground, and skate park with adjacent vert ramp.

(Immediately above): ADA accessible ramp to play structure on Kids Cove.

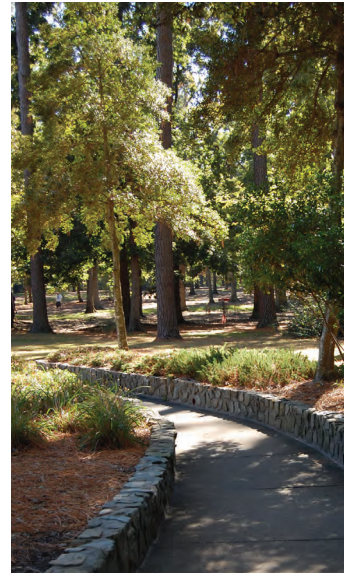
SIGNATURE PARK (SP)

DEFINITION	A municipal outdoor recreational facility that is unique to the Virginia Beach municipal parks and recreation system. These parks shall service a variety of ages and emphasize family and organized group activities. Many times signature parks will have a special use facility or single purpose recreational activity, such as a fairground, outdoor theater, or festival area. These parks are typically designed for a full-day experience and are capable of holding large scale special events with supporting amenities.
SIZE	Greater than 100 acres
STAFFING	Staffed full-time with municipal employees
UTILITIES	Water, electric/power, telephone, sewer
EXISTING SITES	Mount Trashmore Park and Little Island Park
UNIQUE AMENITIES	Substantial waterfront or other distinctive amenity
TYPICAL AMENITIES	Multiple athletic fields and/or special events area, basketball, tennis, and volleyball courts, multiple playground areas park trails, benches, multiple restrooms, vending machines, or concession areas, multiple picnic areas, large shelters, and grills, large parking areas, specialized facilities staff and maintenance buildings



METRO PARK (MP)

DEFINITION	A municipal outdoor recreational facility that provides a high level of outdoor recreational amenities that may include those amenities found at community parks, but may also include multiple game-quality athletic fields, skate parks, and/or disc golf courses. A metro park serves various ages, with emphasis on organized sport group activities and potential protection of natural areas. Metro parks are built and designed typically for a three to four hour experience. Metro Parks may be capable of holding special events.
SIZE	50.1 to 100 acres
STAFFING	Staffed full-time with municipal employees
UTILITIES	Water, electric/power, telephone, sewer
EXISTING SITES	Bayville Farms Park, City View Park, Great Neck Park, Munden Point Park, and Red Wing Park
UNIQUE AMENITIES	Multiple athletic fields, skate parks, and/or disc golf courses
TYPICAL AMENITIES	Basketball, tennis, volleyball courts, multiple playgrounds, large open play areas, park trails and benches, restrooms and vending machines or concession areas, multiple picnic areas, large shelters, and grills, large parking areas, kiosks, and staff/maintenance buildings



(Top photo): Great Neck Park and adjacent Community Recreation Center

(Immediately above): Stone wall trail at Bayville Farms Park



(Top photo): Woodstock Community Park
(Immediately above): Providence Park

COMMUNITY PARK (CP)

DEFINITION	A municipal outdoor recreational facility that provides a mid-range level of outdoor recreational amenities that may include amenities found at neighborhood parks and at metro parks. A community park would service various ages, with emphasis on organized sport group activities and potential protection of natural areas. Community parks are built and designed typically for a two to three hour experience.
SIZE	15.1 to 50 acres
STAFFING	Community parks are not generally staffed full-time. However, these parks may be staffed during programmed events by municipal staff or private/non-profit organizations.
UTILITIES	Water, electric/power, telephone, sewer
EXISTING SITES	Beach Garden, Carolanne Farms, Dunwoody, Lynnhaven, Ocean Lakes, Plaza/Northgate, Providence, Three Oaks, Williams Farm, Woodbridge, Marshview, and Woodstock
TYPICAL AMENITIES	Multiple athletic fields, basketball, tennis, and volleyball courts, playground areas, park trails, benches, restrooms, vending machines, or concession areas, multiple picnic areas, large shelters, and grills, large parking areas, specialized facilities staff and maintenance buildings



NEIGHBORHOOD PARK (NP)

DEFINITION A municipal outdoor recreational facility that provides a basic level of outdoor recreational amenities. Limited non-organized sport group activities are encouraged. This park would service various age groups with emphasis on the youth. In some cases, limited parking is provided in existing neighborhood parks. A neighborhood park is built and designed typically for a one to two hour experience and shall be customized and designed for the demographic groups who use the park.

SIZE Small Neighborhood Park: 0.25 - 5 acres
 Large Neighborhood Park: 5 - 15 acres

STAFFING These parks are not staffed.

UNIQUE AMENITIES Unlit practice diamonds and rectangular athletic fields, basketball, tennis, and/or volleyball courts, playground equipment, open play areas, park trails, benches, small shelters and picnic tables



(Top photo): Playground, shelter and other amenities at Buyrn Farm Park
 (Immediately above): Children play at Bellwood Estates Neighborhood Park



(Top photo): Waterfowl at Stumpy Lake Natural Area
 (Immediately above): Fishing at Lake Lawson/Lake Smith Natural Area

NATURAL AREA (NA)

DEFINITION	A municipal preservation area whose primary purpose is to preserve the indigenous vegetation and wildlife in order to serve as green infrastructure and as a scenic environment for Virginia Beach residents to enjoy. Natural Areas include areas for protection and management of the natural/cultural environment with recreation use as a secondary objective. Recreational use might include passive recreation activities such as hiking, birding, and environmental education, but may also include public waterway access improvements, public fishing opportunities, and trail connections.
SIZE	There are no specific standards for size or acreage other than they shall be sufficient to protect the resource and provide for appropriate usage.
STAFFING	Natural Areas can be staffed full-time or part-time; also, these parks may be staffed during programmed events or activities by municipal staff or private/non-profit organizations.
UTILITIES	Water, electric/power, and sewer as needed
UNIQUE AMENITIES	Natural or cultural elements to be preserved
TYPICAL AMENITIES	Park trails, overlooks, benches, water access, picnic tables, shelters, and kiosks



OPEN SPACE PRESERVATION AREA (OSPA)

DEFINITION

A municipal preservation area whose primary purpose is to preserve the indigenous vegetation and wildlife in order to serve as green infrastructure and as a scenic environment for Virginia Beach residents to enjoy. The difference between OSPA sites and Natural Areas is that OSPA sites are generally smaller in size and interspersed throughout the city in order to provide a natural setting and visual relief from the built environment. OSPA sites include dedicated watersheds or natural/non-developed areas. Recreational use might include passive recreation activities such as hiking, birding, and environmental education, but may also include public waterway access improvements, public fishing opportunities, and trail connections.

SIZE

There are no specific standards for size or acreage other than they shall be sufficient to protect the resource and provide for appropriate usage.

STAFFING

Open space sites are not staffed

UTILITIES

Water, electric/power, and sewer are not needed

UNIQUE AMENITIES

Natural or cultural elements to be preserved

TYPICAL AMENITIES

Park trails, overlooks, benches, water access, and picnic tables



(Top photo): Aerial view above Pleasure House Point Natural Area (Immediately above): Wooded trail at Marshview Park



(Top photo): Grommet Island Park
(Immediately above):
Princess Anne Commons
Gateway Park

SPECIAL USE PARK (SU)

DEFINITION A municipal recreational facility that serves a specific purpose. Special use sites include athletic complexes, golf courses, recreation centers, and water access sites. Each type of site may have specialized design and facility service standards, which are addressed more specifically in the Department of Parks and Recreation strategic plan. However, the buildings and fixtures shall incorporate the standards and recommendations here in.

SIZE Varies

STAFFING Most of the special use sites are staffed full time with municipal employees. However, certain water access sites may not require staffing.

UTILITIES All but the water access sites shall have water, power, telephone, and sewer.

- SPECIAL USE SITE TYPES**
- Athletic Complexes
 - Recreation Centers
 - Water Access Sites
 - Resort Area Parks
 - Gateway Parks



LINEAR PARK (LP)

DEFINITION	Linkages are built connections or natural corridors that link community destinations together. Typically, the linear park is developed for one or more modes of recreational travel such as walking, jogging, biking, in-line skating, hiking, and horseback riding.
SIZE	The size of the overall corridor varies, although where a trail is proposed, a minimum corridor width of 30' is recommended.
STAFFING	Linkage sites are generally not staffed full time. Ideally, adjacent municipal or non-profit staffed destinations could serve as periodic staff for these areas.
UTILITIES	None required, however along certain areas lighting, call boxes, and/or other utilities may be desired.
TYPICAL AMENITIES	Trails, overlooks, benches, bike racks, picnic tables, kiosks and shelters (if appropriate)



Pedestrians push baby strollers on South Beach Trail



(Top photo): Neptune Park at 31st Street on the Oceanfront
 (Immediately above):
 Night time view of King Neptune public art at Neptune Park

TOWN GREEN (TG)

DEFINITION

A central focal point and gathering area within an urban development area. Town Greens are typically publicly-owned rectangular spaces occupying an entire development block. Town Greens consist of open lawn, landscape area and walkways that accommodate informal active and passive recreation as well as large scale events. Parking is provided by surrounding on-street spaces or nearby public parking garages.

SIZE

1 - 5 acres

STAFFING

Staffed only during events

TYPICAL AMENITIES

Outdoor stage, open play areas, playgrounds, park trails and benches, restrooms, picnic shelters, tree plantings, pedestrian scale lighting

UNIQUE AMENITIES

Seat walls, vendor spaces, outdoor art feature



ECO-GARDEN (EG)

DEFINITION

The primary purpose of these park areas is to manage stormwater with infrastructure technology that mimics natural eco-systems and provides storage and quality treatment for adjustment development. Recreational use is necessary, secondary objective and might include passive recreation activities such as walking paths, trail nodes, seating areas, picnic areas and environmental education or more active recreation such as skate ramps and event stages. Eco-Gardens can be located on public or private property.

SIZE

1/4 acre to 10 acres

STAFFING

N/A

TYPICAL AMENITIES

Rain gardens, water gardens, bio-retention planting beds, fountains, green roof gardens, permeable pavers, tree plantings, walking paths, kiosks, seating

UNIQUE AMENITIES

Picnic tables, cafe tables, pedestrian scale lighting, outdoor art feature



(Top photo): Eco-Garden at Kellam High School
(Immediately above): Roof Garden at College Park Elementary School



(Top photo): Sunny day at Town Center Plaza (Immediately above): Outdoor plaza at the Sandler Center for the Performing Arts

URBAN PLAZA (UP)

DEFINITION	A small urban open space that is surrounded by buildings with high density mixed uses. Urban Plazas are typically paved and provide opportunities for social interaction. Urban Plazas accommodate frequent small gatherings and events such as an art show or farmers market. Urban Plazas are located either on public property or on private property with an easement dedicated for public use.
SIZE	1 acre or less
STAFFING	Staffed only during events
UTILITIES	Electric power
TYPICAL AMENITIES	Tree plantings, outdoor cafe seating, benches, transit stop, pedestrian scale lighting
UNIQUE AMENITIES	Fountains, seat walls, decorative pavers, outdoor art feature



FEATURE REQUIREMENTS BY CLASSIFICATION

PARK PERIMETERS

Parks are located in areas of varied topography with diverse environmental qualities and shall be designed to avoid adjacent land use impacts.

ACCESSIBILITY

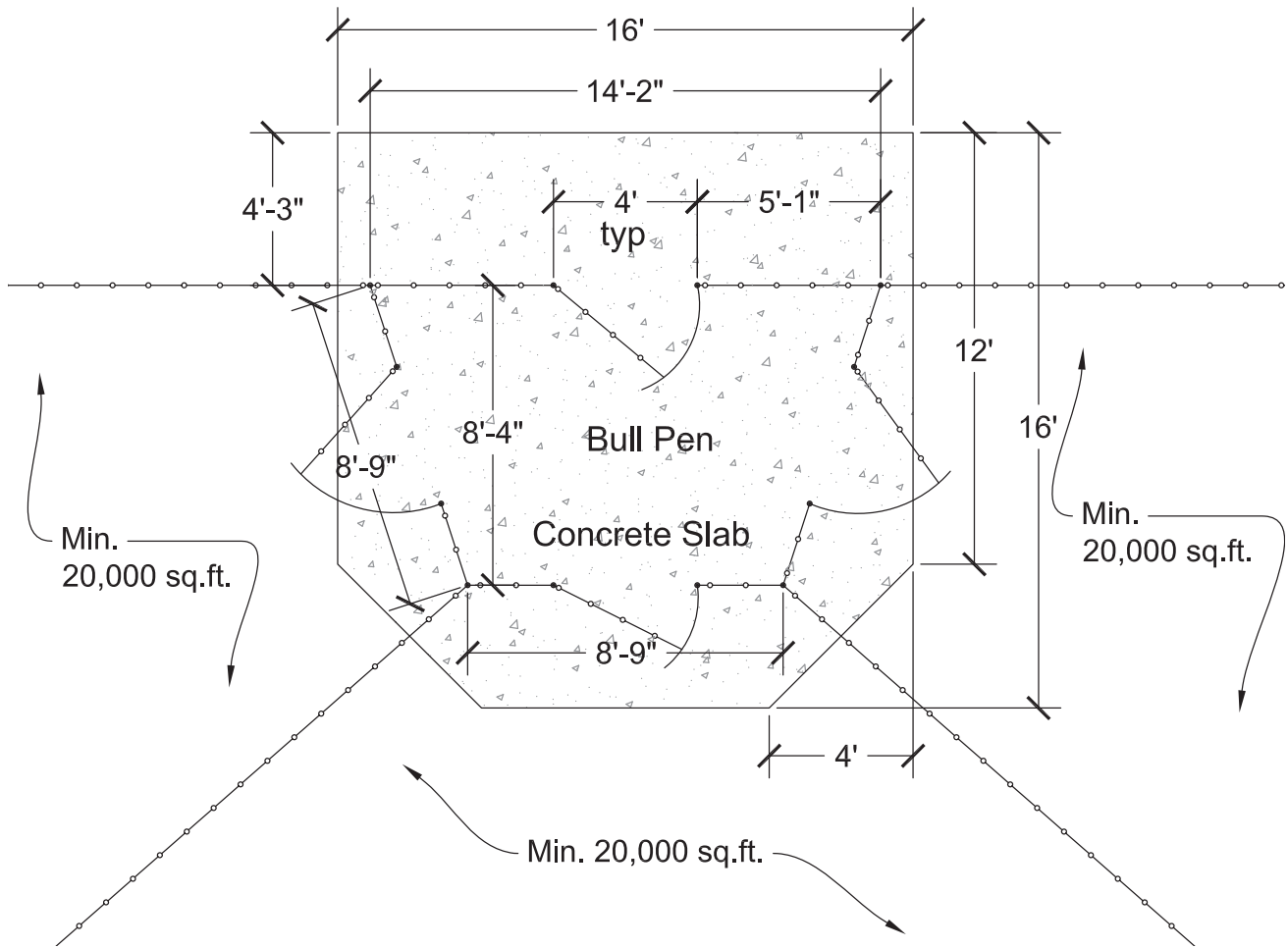
All sites shall be easily accessible to the public by all modes of transportation: vehicular, bicycle, and pedestrian. ADA accessibility shall be accommodated at all sites to the fullest extent feasibly practical.

	SP	MP	CP	NP	NA	OSPA	SU	LP	TG	EG	UP
Water Fountains	x	x					x			x	
Restroom	x	x					x		x		
Trail Linkages	x	x	x	x	x	x	x	x	x	x	x
Signage	x	x	x	x	x	x	x	x	x	x	x
Fencing	x	x	x	x			x		x	x	x
Landscaping	x	x	x	x			x	x	x	x	x
Irrigation	x	x					x			x	
Parking	x	x	x		x		x		x	x	
Trash Receptacles	x	x	x	x	x		x	x	x	x	x
Bicycle Racks	x	x	x	x	x		x	x	x	x	
Park Benches	x	x	x	x	x		x	x	x	x	x
Security Lighting	x	x					x	x	x	x	x
Shelters	x	x	x	x	x		x		x	x	
Picnic Tables	x	x	x	x	x		x	x	x	x	x
Grills	x	x	x				x				
Playground	x	x	x	x			x		x		
Walking/Jogging Path	x	x	x		x		x	x	x	x	
Maintenance Building	x	x					x				

SECTION TWO

Specialized Facilities



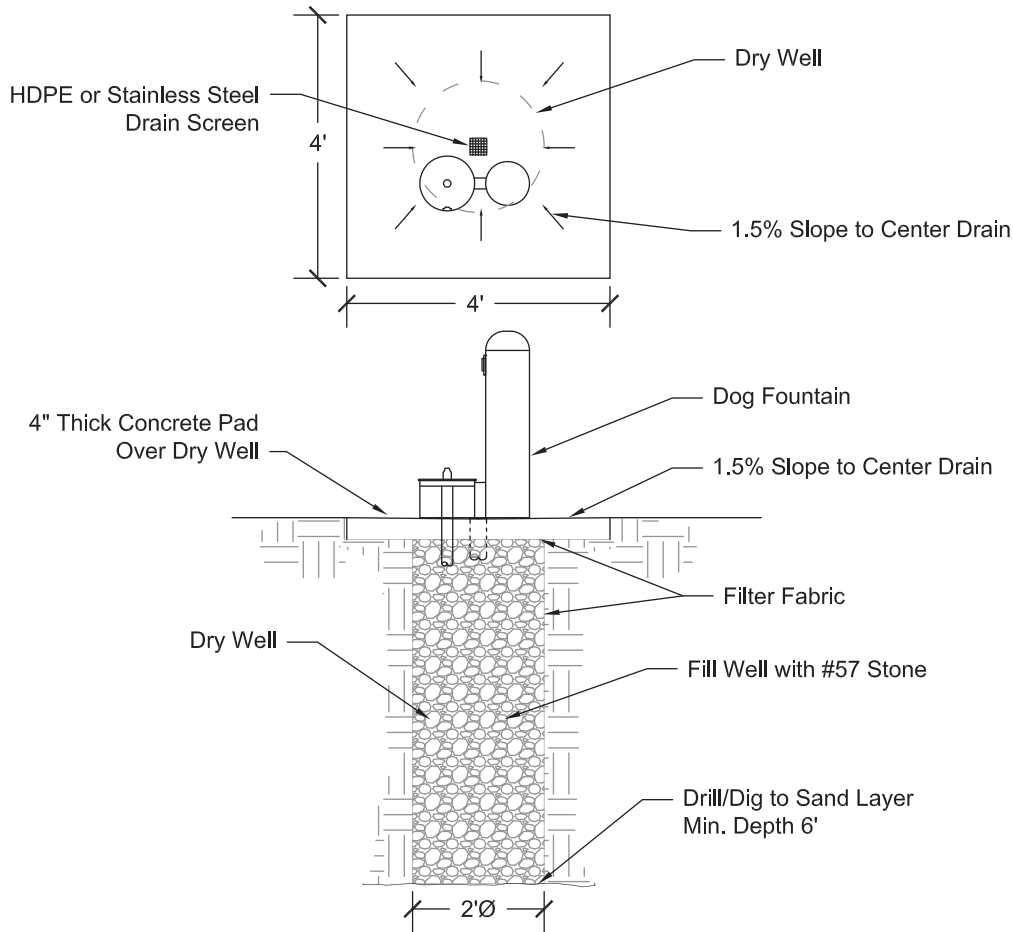


Dogs play leash-free at the dog park at Red Wing Park

DOG PARK

DEFINITION	Enclosed fence area where dogs are able to freely run off leash
SIZE	1.3 acre minimum
FENCED AREA CLASSIFICATIONS	three (3) areas, one (1) small dogs & two (2) "all dogs"
FENCE TYPE	4' high black vinyl coated chain link fence shall enclose the dog park areas
ENTRY/EXIT	Fenced area with four (4) gates. The bull pen area should be located on a concrete slab. The slab should also extend out at the entry/exit points in order to minimize the high use impacts on the area. All gates shall be ADA accessible.

PET WATER FOUNTAIN DETAIL



BENCHES

A minimum of three (3) benches shall be located within the dog park areas.

TRASH RECEPTACLES /BAG DISPENSERS

Trash receptacles shall be anchored onto concrete pads and within the fenced areas. Dog bag dispensers shall be located within the fenced areas.

SHADE TREES /SHADE STRUCTURES

Shade trees shall be located within the perimeter of the fenced areas. Canopy coverage should ultimately shade at least 1/3 of the dog park areas otherwise shade structures are required. When tree canopy is not available, structured shade for each fenced area should be considered.

PET WATER FOUNTAINS

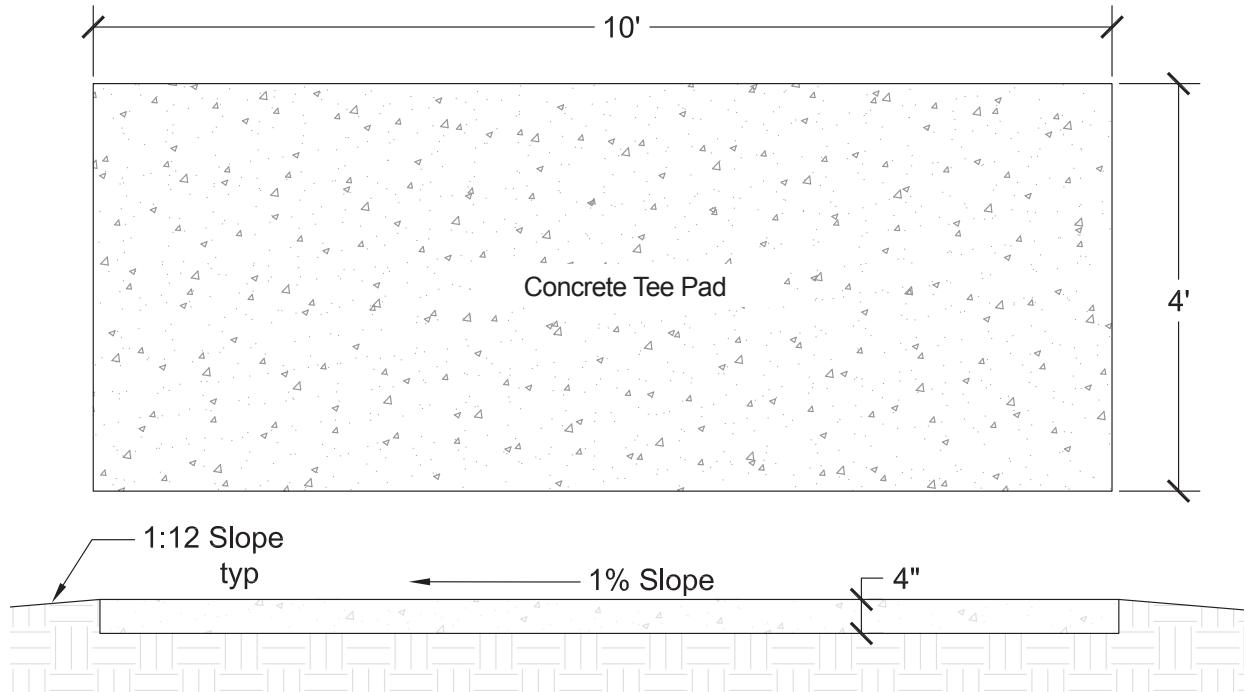
Pet fountains should be located within each fence dog area near the entrance. The pet fountains shall also have an enclosed hose bib and be constructed over a stone-filled dry well.

LAWN

The dog park areas should be rotated as needed between the three (3) areas allowing lawn areas to recover.



An owner and his dog play leash-free at the dog park at Bayville Farms Park



Disc golf target with base at Bayville Farms Park

DISC GOLF

DESCRIPTION

Disc golf is played much like traditional golf, except players use a flying disc instead of a ball and clubs. A golf disc is thrown from a tee pad area to a target, which is an elevated basket.

AREA REQUIRED

Ideally, a well-balanced course has a mixture of holes that go completely through wooded areas, and also open areas. Typically, fairways in wooded area range from 20-40 feet wide. Small recreational courses can usually fit two (2) to three (3) holes per acre depending on the terrain.

LAYOUT

Fairways should not cross one another (if possible) and should be far enough apart so errant throws do not become a safety hazard for other players. Avoid installing fairways that are close to public streets, sidewalks and other areas where non-players congregate.

LENGTH

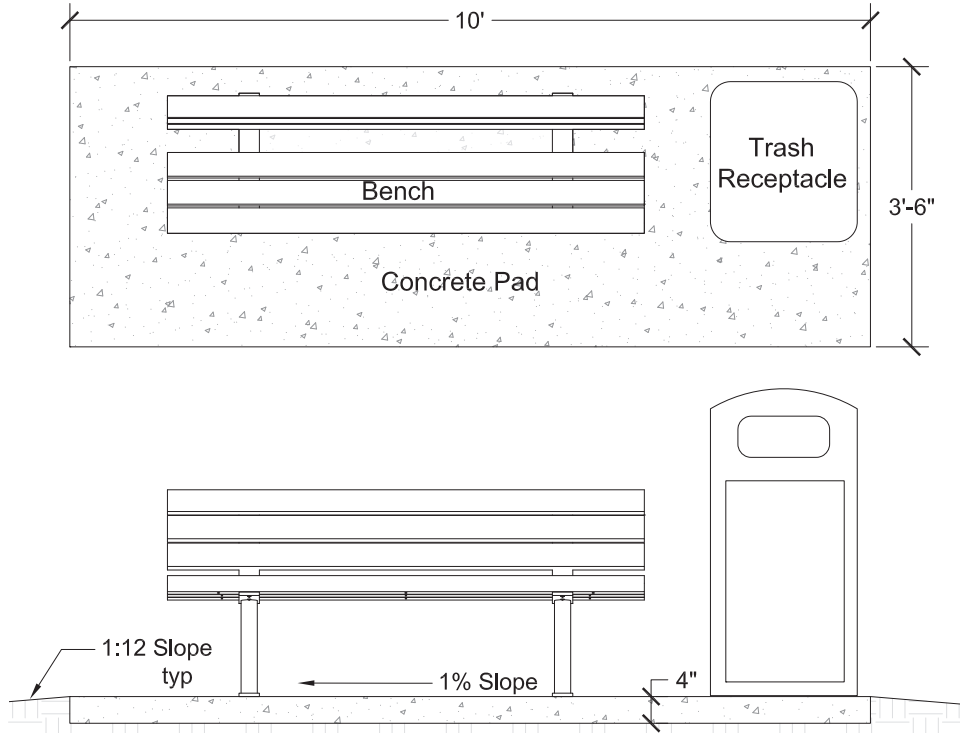
Course for recreational players should average less than 250 feet per hole, although, no hole should be shorter than 120 feet.

HOLE COUNT

Most courses are either nine (9) or eighteen (18) holes.

TEE PADS

Two (2) 4' x 10' x 4" thick 3000 psi fiber reinforced with a heavy broom/raked finish tee pads shall be located for each hole. This will provide opportunities for players of varying skill levels. Tee pads shall be level from left to right. The maximum slope from front to back shall be 1%.



SIGNS

Install a rules sign prominently before the first tee. All tee pads on each hole should have permanent signs indicating the hole number, length, and recreational par.

EXISTING COURSES

Bayville Farms Metro Park and Munden Point Metro Park

**BENCHES
/TRASH RECEPTACLES**

Bench/trash receptacle concrete pad shall be located near the tee pad area. The bench/trash receptacle concrete pad will be 3.6' x 10' x 4" thick 3000 psi fiber reinforced with a light broom finish. Trash receptacles & Benches maybe located on a separate concrete pads. (See Site Furnishings section for concrete pad dimensions)

**DISC GOLF TARGET
WITH BASE**

All parts of disc golf targets shall be hot dipped galvanized steel or stainless steel. Targets shall have 24 chains, minimum 2/0 straight link. Poles shall be minimum 1 7/8" OD. Collars for attaching basket shall be a minimum of 5" long, and chain rack collar shall be a minimum of 4" long. Locking bases for disc golf targets shall be 18" long minimum.

ADA COMPLIANCE

Efforts shall be made to provide a legitimate opportunity to play for those with disabilities. If all holes cannot be made accessible, a hole route on part of the course may provide that opportunity.



(Above) Skaters enjoy the concrete course at Williams Farm Skate Park; (immediately above) shade canopies protect the viewing area bleachers at Mount Trashmore Skate Park

SKATE PARK

TYPES	Above ground street course and skate spots located on a concrete slab, concrete skate parks and plazas shall be used based on funding and site constraints.
ACREAGE	Signature/Metro Parks shall have minimum 1 acre; Community Parks shall have minimum 1/2 acre, and skate spots shall have minimum 1,000 square feet. All shall have 50% rideable area.
SLAB FINISH	Power trowel to a smooth finish. After curing, allow concrete to air dry. Apply one coat of industrial grade sealer.
DESIGN	Skate parks shall be designed by an experienced and qualified skate park designer.
PERIMETER FENCING	6-foot tall black vinyl coated chain link fence surrounding the skate park area with one gated entrance point is optional.
BUILDINGS	An optional small building or shelter may be located at the skate park. Power may be installed for attendant building and special events.
VIEWING AREAS	Viewing areas around the skate park shall be included in its design. These areas shall include such items as bleachers, picnic tables, shelters, benches, etc. Shade trees shall be located to provide shade over these areas.

SECTION THREE Buildings





Attendant booth at Little Island Park (top left); concession area at Providence Park (top right).

BUILDINGS

DESCRIPTION Buildings located in parks include restroom facilities, park offices, storage buildings, etc. All buildings located on a site shall complement each other and the surrounding environment in scale, materials and placement and always meet or exceed ADA compliance.

BUILDING ORIENTATION /ENTRY Entrances shall face or be clearly visible from an adjacent public street or associated parking area. The primary entry shall be clearly identified by articulation of the building mass or other architectural design solution. The main entry shall be more visually dominant than service area entries.

BUILDING MASSING Park offices, restroom facilities, and storage needs shall be incorporated into single buildings. The massing or three-dimensional form of larger buildings shall be broken into smaller components that more readily relate to the human scale.

BUILDING FAÇADE The design of the building façade shall incorporate elements that help to break up long, undifferentiated walls or sides. Buildings shall also incorporate design features and architectural elements that relate to the scale of pedestrians such as covered entryways. Split face block or hardy plank shall be used on all facades. (Tan or Gray in Color)

ROOF MATERIALS Standing seam aluminum roof (Gray or Blue in color)

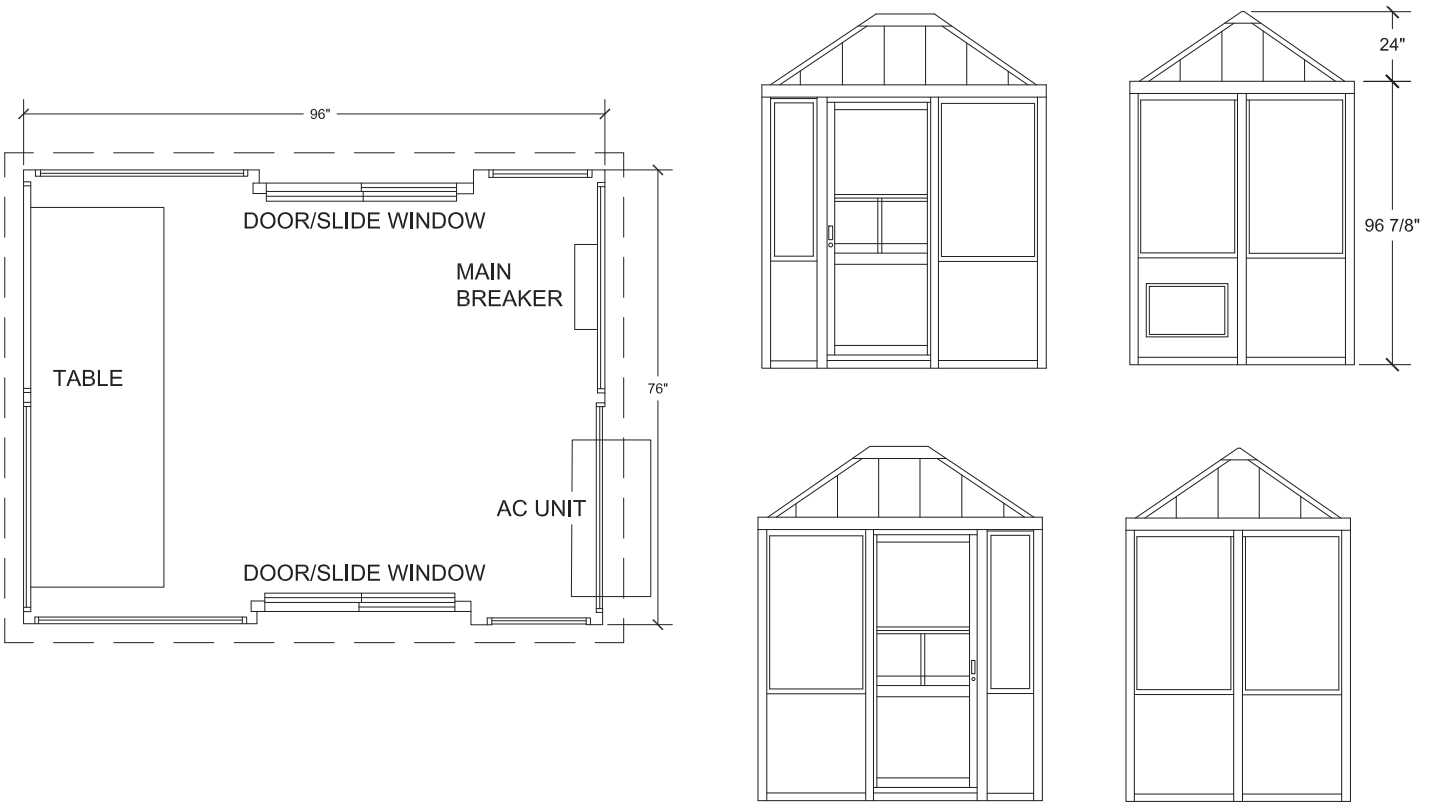
BUILDING TYPES

PARK OFFICES Park offices shall be conveniently located adjacent to the primary parking facility/entrance drive and be heated and cooled.

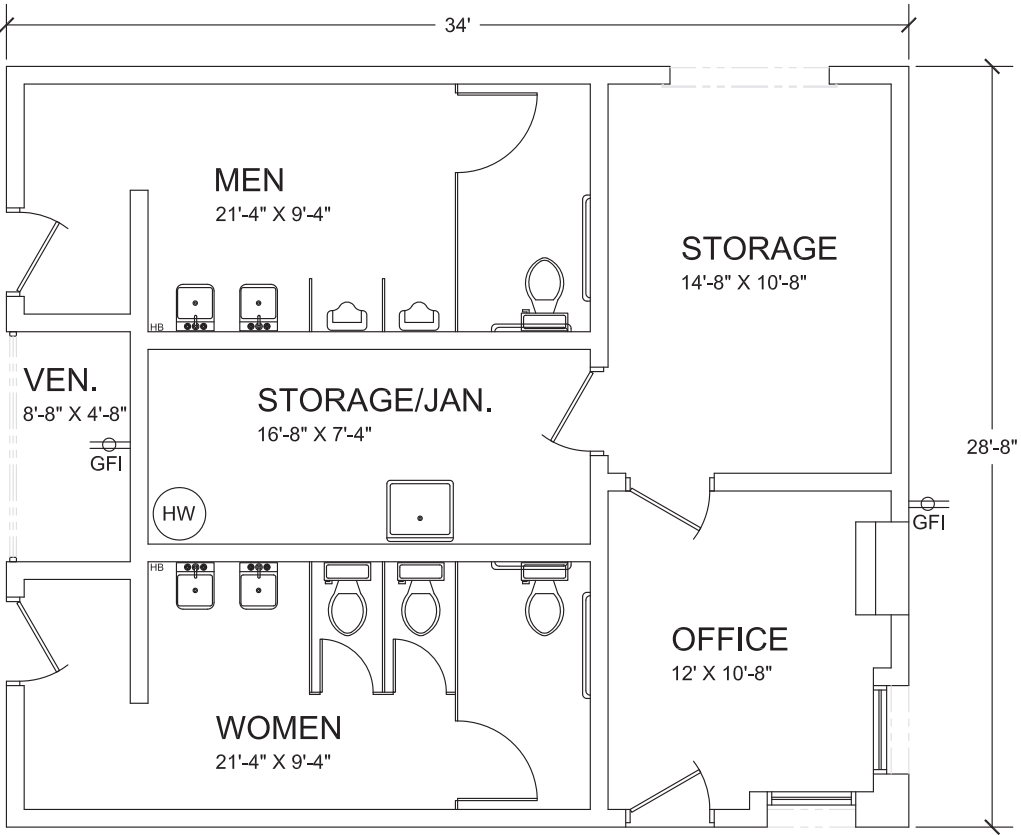
RESTROOMS Restroom facilities may be located within the park office building or located strategically throughout the park. These buildings shall be heated.

STORAGE BUILDINGS Where storage needs are not able to be accommodated within other buildings on the site, separate storage buildings can be constructed. However, these buildings shall be constructed in a similar style as other buildings of the site and associated outdoor storage areas shall be screened from view.

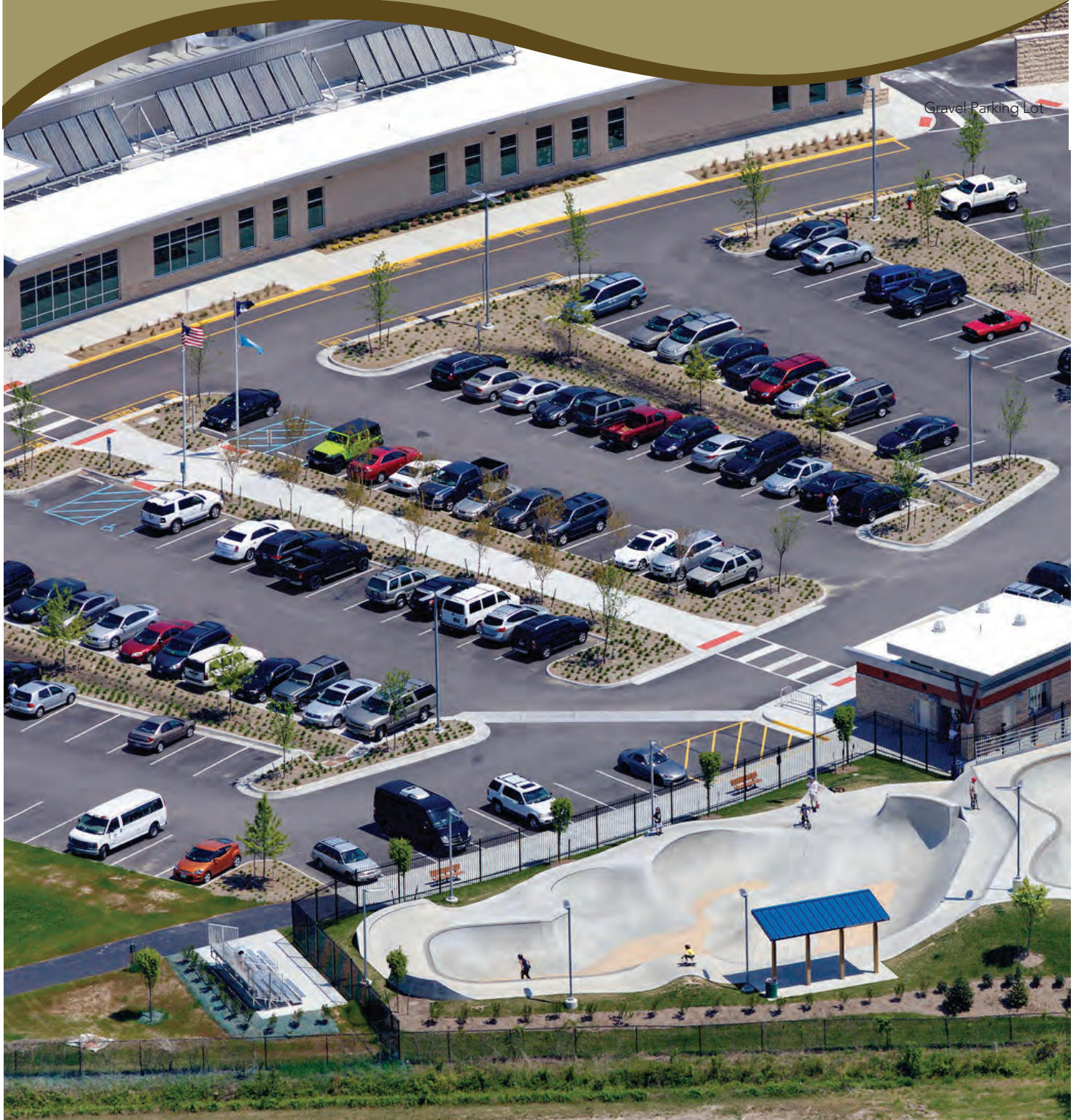
TICKET BOOTH AT LITTLE ISLAND PARK



TYPICAL PARK RESTROOM BUILDING DESIGN



SECTION FOUR Parking Lots





Pervious parking lot at Stumpy Lake Natural Area

PARKING LOT

General Standards

DESCRIPTION

Parking lots shall be designed to provide safe and convenient access to the site and its facilities. A variety of paving options exist within the Virginia Beach park system. Parking requirements will vary from little to no need for off-street parking at many neighborhood parks, to the need for large off-street parking lots at more active community and district parks.

The design of parking lots shall be in conformance with the following:

1. City of Virginia Beach Zoning Ordinance, most recent edition
2. AASHTO's policy on Geometric Design of Highways and Streets, most recent edition
3. Americans with Disabilities Act/State and Federal Handicap Standards

Low Impact Development (LID) Standards

Parking lots shall incorporate methods for storm water management utilizing LID techniques. These include:

- End of island bioretention cell(s) with underdrain(s) and landscaping
- Bioretention cells or drainage inlets (or curb cuts) in the end-of-island bioretention cells and bioretention strips to collect runoff
- Bioretention cells between lines of parking stalls to increase the total treatment surface area of these systems
- One-way drive aisles to reduce impervious surfaces, where appropriate
- Permeable paving systems where appropriate. Where it is not feasible for the entire parking lot, it shall be considered for portions of the parking lot such as overflow areas and/or parking stall areas.

SAFETY

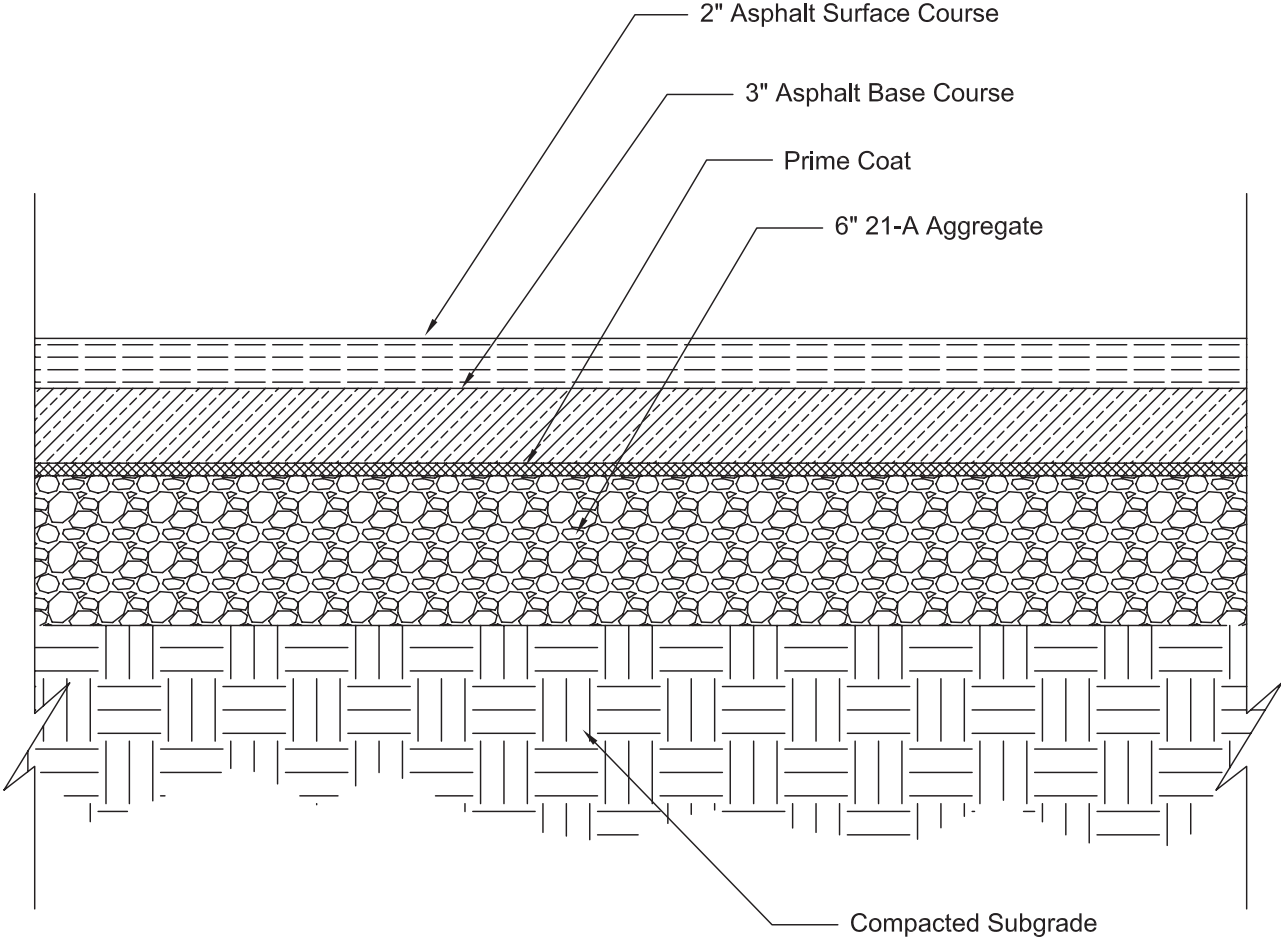
Pedestrian movement in parked vehicle areas must be planned to provide the highest degree of safety and convenience. Plans for parking lots shall include pedestrian circulation incorporating walkways, narrowed crossways, and striped paving. Proposed landscaping shall ensure the visibility and separation of pedestrians from vehicular paths. Refer to the Americans with Disabilities Act/State and Federal Handicap Standards.

ENTRANCES/EXITS

All entrances and exits shall have a clear visibility zone. The zone will vary due to adjacent street widths and speeds. Entrances and exits shall be located either directly across from or as far as possible from street intersections.

BICYCLE ACCOMMODATION

Bicycle lanes and parking shall be provided, where appropriate, on ingress and egress routes and shall be consistent with standards identified and adopted by the City. Refer to the city's Bikeways and Trails Plan for the location of existing and proposed bicycle paths.

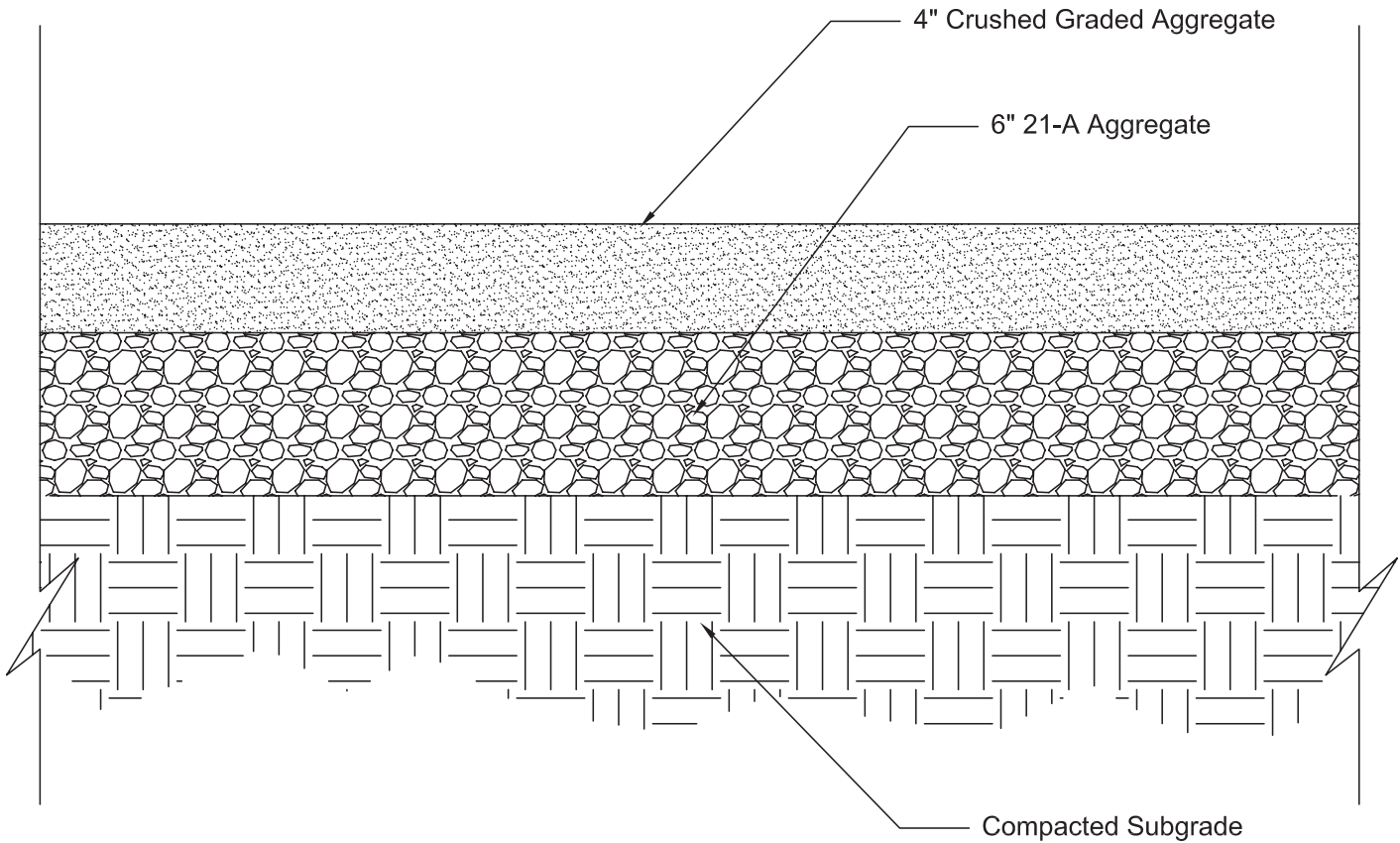


Asphalt Parking Lot

- USE** General standard for most applications
- EDGING** Encroachment barriers such as wheel stops or continuous concrete curbing of at least six (6) inches in height shall be preferred.
- STALL WIDTHS** Standard size parking spaces are 9' x 18'. Utilize standard white thermoplastic striping to delineate all stalls.
- ACCESSIBILITY GUIDELINES** Provide a minimum of two 8' x 18' parking stalls with a central van accessible area.



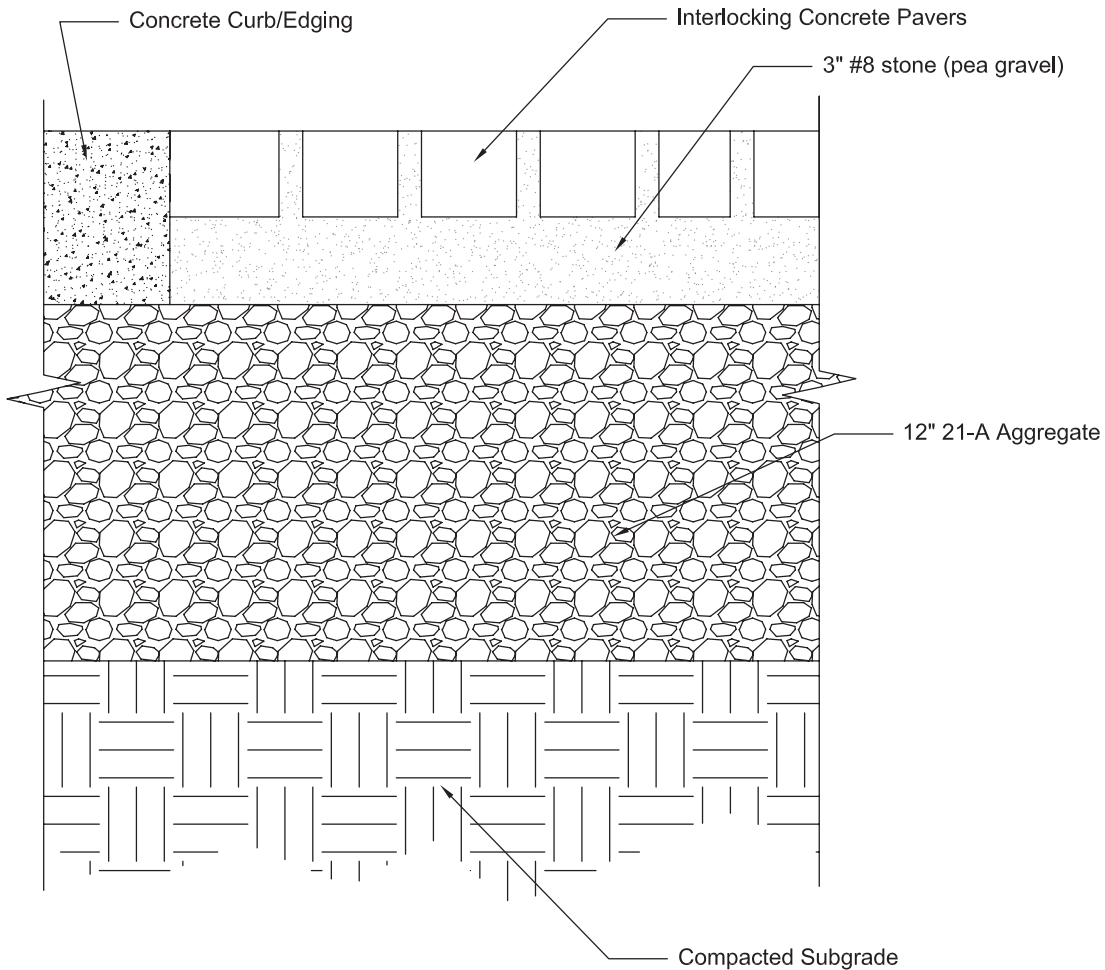
Asphalt parking lot at Red Wing Park



Gravel parking lot at Mount Trashmore Park near Kids Cove

Gravel Parking Lot

- USE** Gravel parking areas shall only be utilized for low traffic and/or temporary parking areas.
- EDGING** Encroachment barriers such as wheel stops of at least six (6) inches in height shall be required for parking spaces
- STALL WIDTHS** Standard size parking spaces are 9' x 18'
- ACCESSIBILITY GUIDELINES** Provide a minimum of two concrete 8' x 18' parking stalls with a central van accessible area



Pervious Parking Lot

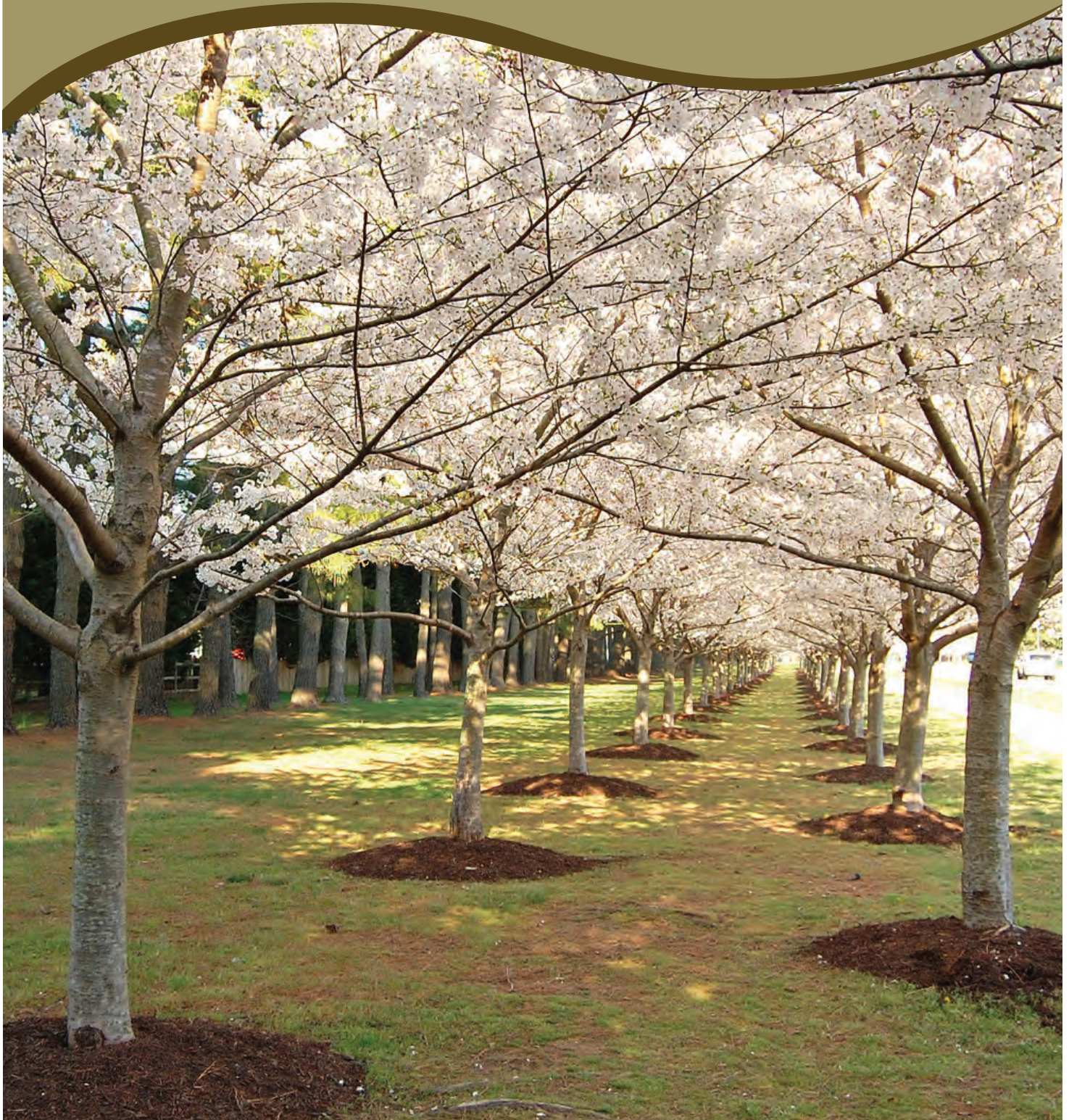
- USE** For use in environmentally sensitive areas or where a pervious pavement application is desired.
- EDGING** Encroachment barriers such as wheel stops or continuous concrete curbing of at least six (6) inches in height shall be preferred. However, wood timbers may be acceptable in some applications.
- STALL WIDTHS** Standard size parking spaces are 9' x 18'. Utilize standard white thermoplastic striping to delineate stalls if paving material allows. Otherwise, utilize contrasting color pavers, or alternate patterns to delineate stalls.
- ACCESSIBILITY GUIDELINES** Provide a minimum of two 8' x 18' parking stalls with a central van accessible area. Delineate stalls as stated above.



Pervious parking lot at Stumpy Lake Natural Area

SECTION FIVE

Planting Design





(Top left photo): Wildflowers grow along Princess Anne Road towards the Municipal Center



(Top right photo): Raised flower beds at Princess Anne Recreation Center

PLANTING DESIGN

Design Principles

DESCRIPTION

Plantings within city parks shall focus on creating a simple and natural design that blends with the site and area rather than an elaborate and formal landscape solution. Plants shall be located in random groupings to reflect natural environments. Avoid linear plantings except where special circumstances warrant that placement. The overall landscape plan shall address conditions of the site such as controlling erosion, filtering storm water, and screening of unsightly elements, creating shade and softening the appearance of structures. Avoid plantings that would restrict sight distance, require unusual maintenance, or interfere with already established indigenous plantings.

The following documents are hereby incorporated as part of these standards:

1. Refer to the City of Virginia Beach Landscape Guide or Integrated Site Design Guide, or most recent edition, for parking lot, foundation, screening and buffering, specifications and standards.
2. Refer to the American Nursery and Landscape Association, American Standard for Nursery Stock, most recent edition, for various nursery stock standards.

PLANT MATERIALS

Park landscape plans shall focus on the use of tree and shrub massing with limited perennial/annual beds.

PLAYGROUNDS

Landscape plans shall utilize large canopy trees (particularly on the south and west edges) of playground areas to provide an average of 50% shade coverage at maturity.

WOODED AREAS

Within wooded areas, do not remove the organic debris on the forest floor.

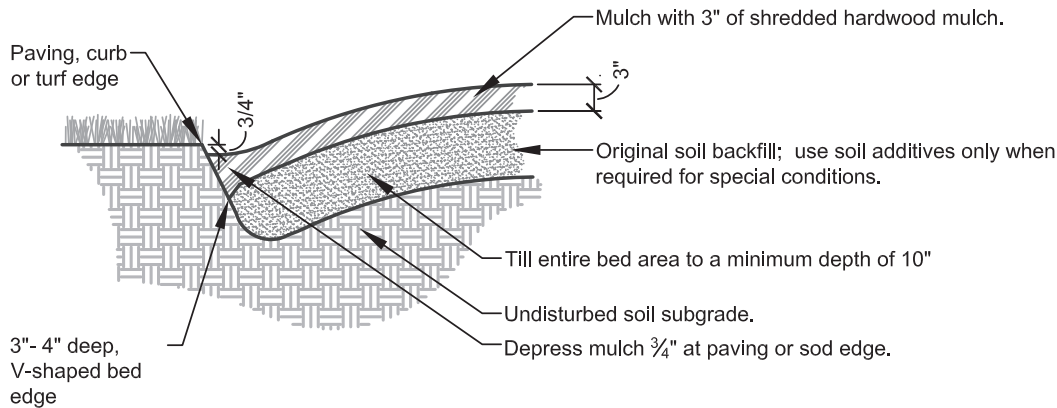
WATERWAYS

A 20' minimum vegetative buffer shall be incorporated around all water edges. Pedestrian access to the water's edge shall be limited to pre-determined areas. The vegetative buffer can either be a planted area utilizing bayscaping principles or an area where mowing is limited to two times a year at a 6" - 8" mow height. For waterways that are included in the Chesapeake Bay Resource Protection area, a minimum of 50' vegetative buffer shall be provided.

SAFETY

Safety and security of park patrons shall be considered in all plant selections and placement. Designers shall keep in mind the principles of Crime Prevention Through Environmental Design (CPTED).

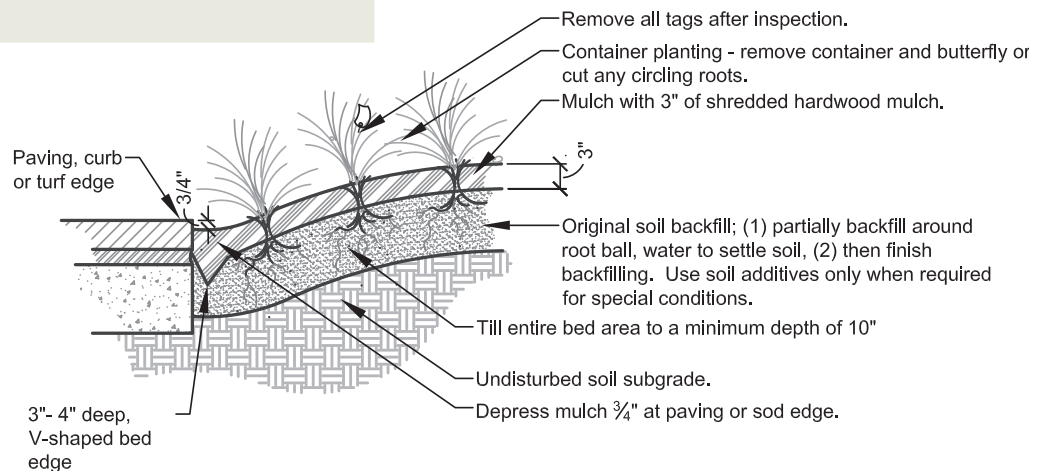
BED PREPARATION & PLANTING DETAILS



TYPICAL BED EDGE DETAIL

This detail is the minimum planting standard for container ornamental grasses, groundcovers and perennials.

All ornamental grasses, groundcovers and perennials shall be planted so that the top of the root collar is at the same grade, or slightly higher, than existing grade in accordance with accepted horticultural practice.



SPECIES SELECTION

The use of native and drought tolerant plant materials is preferred. Species that produce litter problems shall be limited to naturalized areas. Refer to the City's Landscaping Guide or Integrated Site Design Guide for recommended plant lists.

CITY STANDARDS

For more detailed and complete information refer to the City's planting and turf specifications.

BED PREPARATION

Place topsoil in areas where seeding and planting is scheduled. Topsoil shall be sifted, friable loam; free of subsoil, roots, grass, excessive amount of weeds, stone over 1" in any dimension, and foreign matter; acidity range 9 (pH) of 5.5 to 7.5; containing a minimum of 4 percent and a maximum of 25 percent organic matter. Topsoil can be prepared on site, or off site as needed. Provide imported topsoil as required to complete the work.

MULCH

All planting areas shall be completely mulched with 3" of shredded hardwood mulch. Mulch shall not be mounded up around the trunks of trees. This can cause disease and decay, and shorten the life span of the tree and mulch.

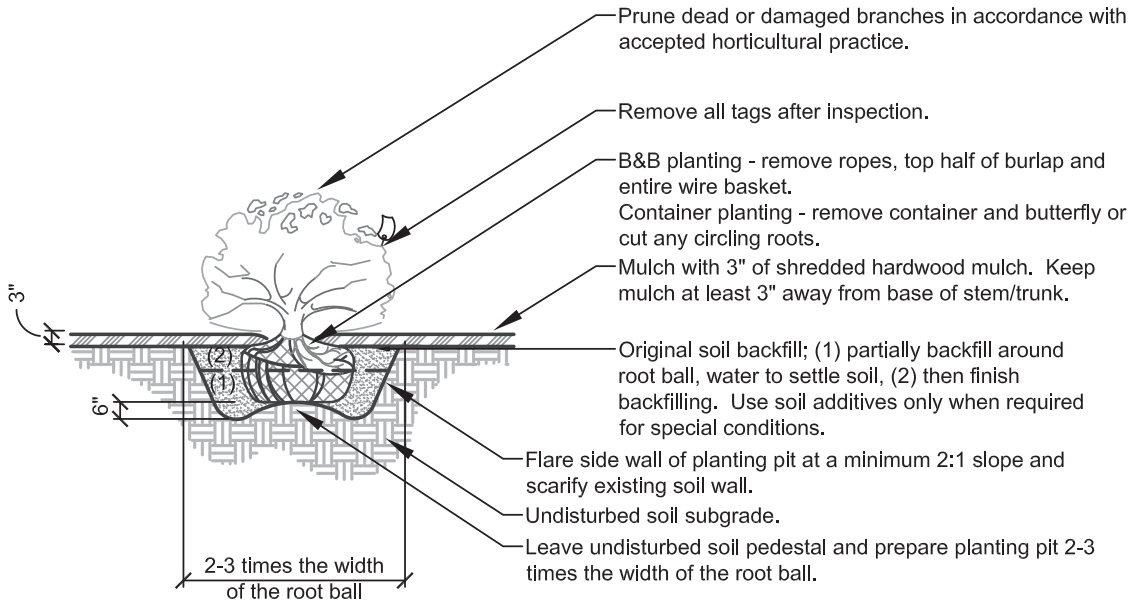
PLANTING DATES

Planting of containerized trees, shrubs and ground covers shall normally be performed between September 1 and May 15 and under favorable weather conditions. All other dates will be considered out of season.



Native plantings dress up the facility sign at Salt Marsh Point Park

SHRUB PLANTING DETAIL



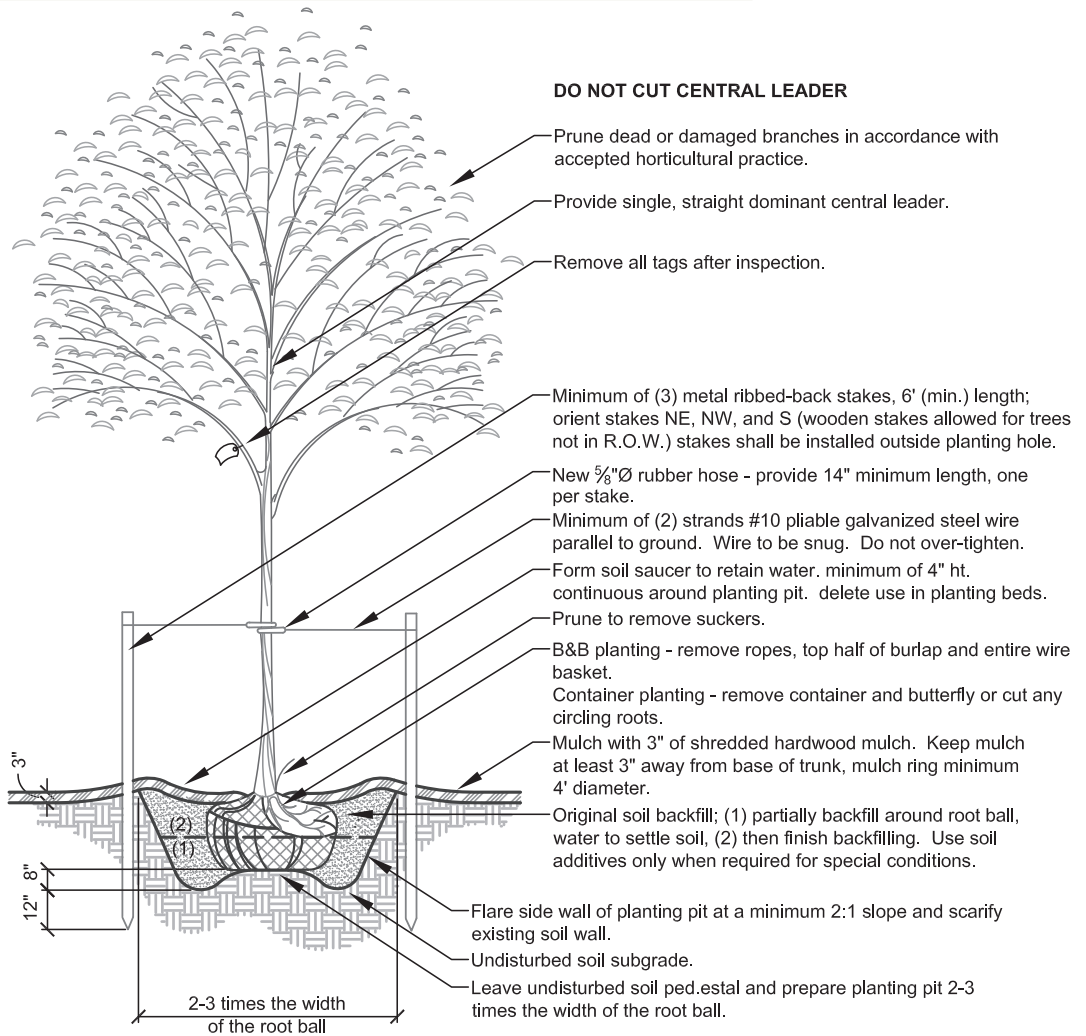
This detail is the minimum planting standard for container or balled & burlapped shrubs.

All shrubs shall be planted so that the top of the root collar is at the same grade, or slightly higher, than existing grade in accordance with accepted horticultural practice.

TREE PLANTING DETAIL

This detail is the minimum planting standard for container or balled and burlapped trees up to a 3" caliper.

All trees shall be planted so that the top of the root collar is at the same grade, or slightly higher, than existing grade in accordance with accepted horticultural practice.



SECTION SIX Fields





(Top photo): Extended backstop at Princess Anne Athletic Complex

BASEBALL/SOFTBALL FIELD

FIELD SPECIFICATIONS

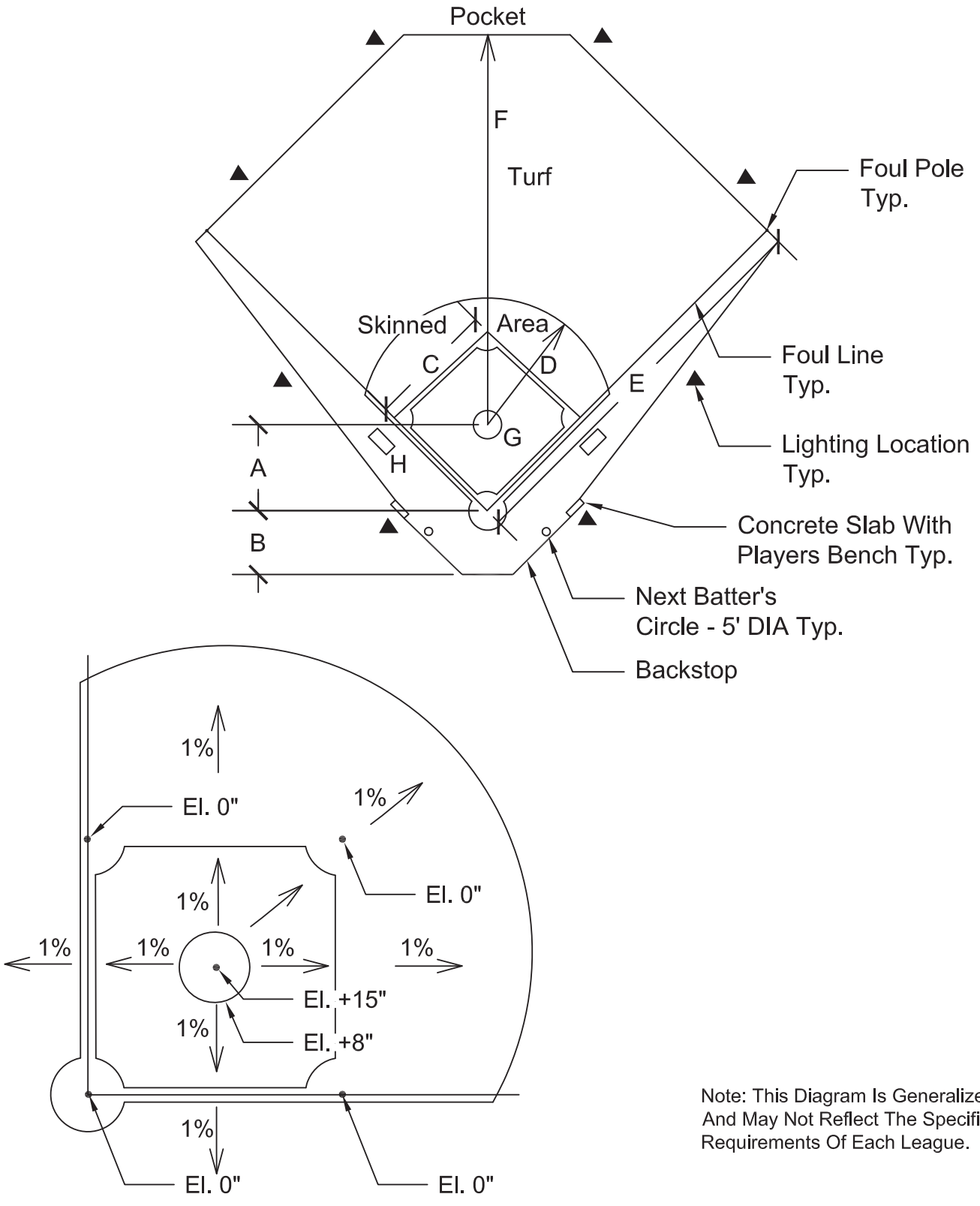
Field specifications are broken out into three tiers based on intended use.

	Description	Soil Specifications	Irrigated	Lighted	Backstop	Minimum Parking
Tier 1	Tournament Quality Fields	Loamy Sand Infield Mix	Yes	Yes	Yes	75
Tier 2	League Fields	Loamy Sand Infield Mix	Yes	Yes*	Yes	50
Tier 3	Informal Multipurpose	Native Topsoil	No	No	Yes	60

* The installation of field lighting is desired but will vary from field to field depending on the surrounding land uses.

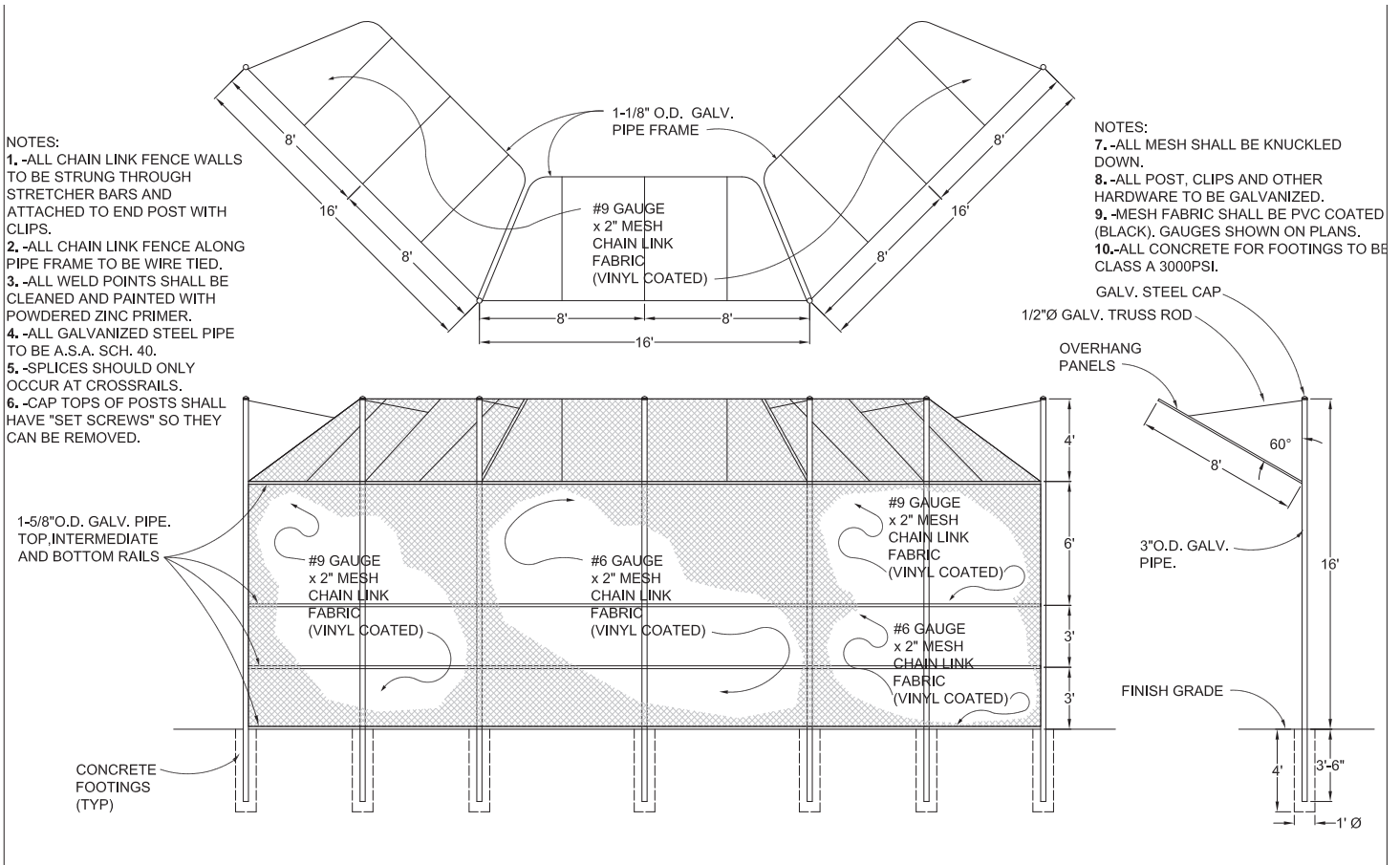
- LIGHTS** Metal Halide with timed lighting control system
- BACKSTOP** 30-foot long center panel with 40-foot long wings on each side. Height: 30-feet
- DUGOUT AREA** The dugout area shall consist of a 36' x 8' concrete slab with two 15-foot long aluminum players' benches.
- ORIENTATION** A line running from home plate to second base shall point east-northeast. However, consider time of day for games and months when played.
- GRADING/DRAINAGE** Minimum slope of outfield turf is 1% with adequate subsurface drainage. Maximum slope 2-1/2%. Drain away from home plate. The infield shall be graded so that the baselines and home plate are level.
- SAFETY BUFFER** 10-foot minimum around the perimeter. No obstacles shall be located closer than 50-feet to a field.

BASEBALL/SOFTBALL FIELD DETAILS



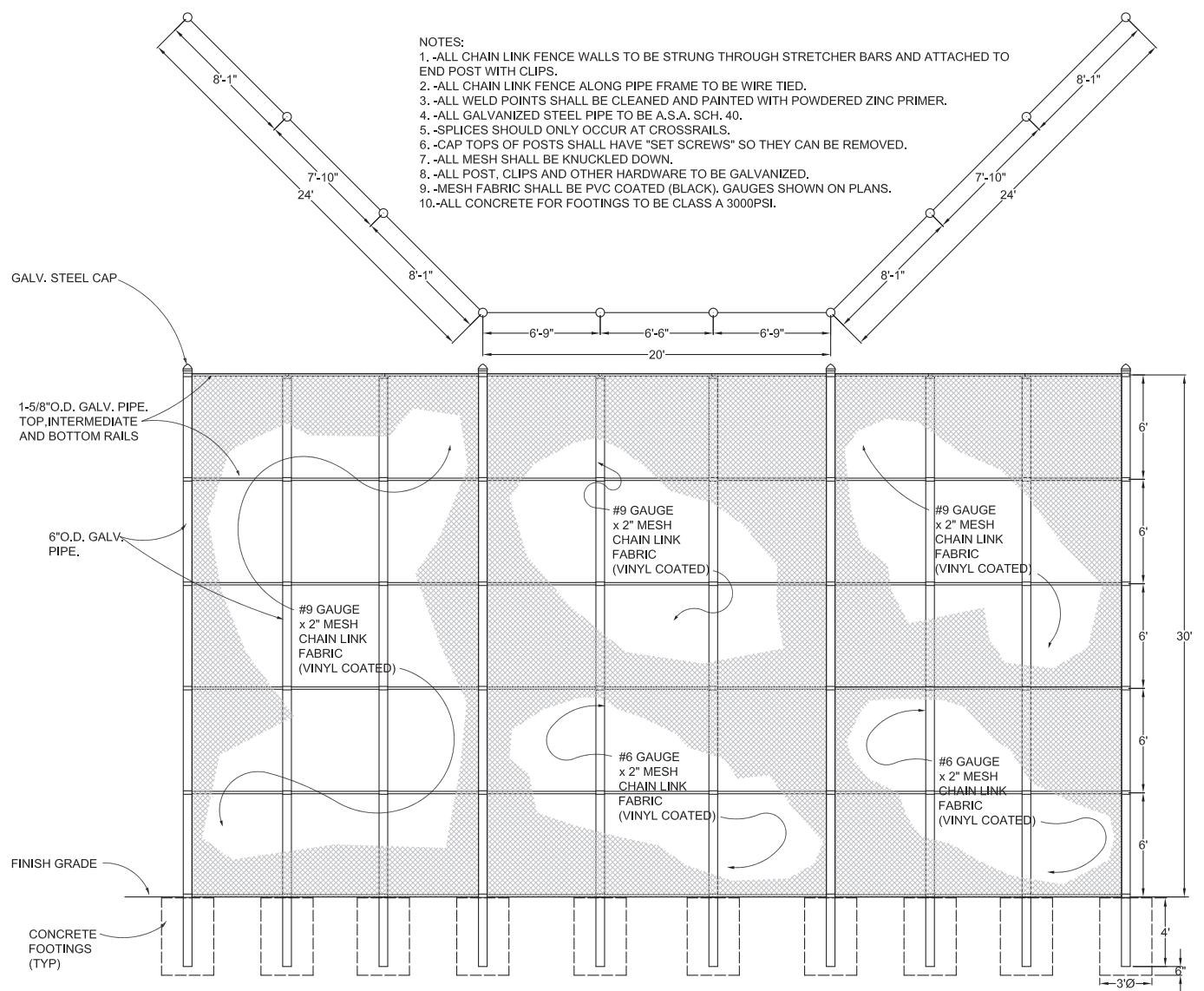
Note: This Diagram Is Generalized And May Not Reflect The Specific Requirements Of Each League.

TYPE ONE BACKSTOP DESIGN



TYPE TWO BACKSTOP DESIGN

- NOTES:
1. -ALL CHAIN LINK FENCE WALLS TO BE STRUNG THROUGH STRETCHER BARS AND ATTACHED TO END POST WITH CLIPS.
 2. -ALL CHAIN LINK FENCE ALONG PIPE FRAME TO BE WIRE TIED.
 3. -ALL WELD POINTS SHALL BE CLEANED AND PAINTED WITH POWDERED ZINC PRIMER.
 4. -ALL GALVANIZED STEEL PIPE TO BE A.S.A. SCH. 40.
 5. -SPICES SHOULD ONLY OCCUR AT CROSSRAILS.
 6. -CAP TOPS OF POSTS SHALL HAVE "SET SCREWS" SO THEY CAN BE REMOVED.
 7. -ALL MESH SHALL BE KNUCKLED DOWN.
 8. -ALL POST, CLIPS AND OTHER HARDWARE TO BE GALVANIZED.
 9. -MESH FABRIC SHALL BE PVC COATED (BLACK). GAUGES SHOWN ON PLANS.
 10. -ALL CONCRETE FOR FOOTINGS TO BE CLASS A 3000PSI.



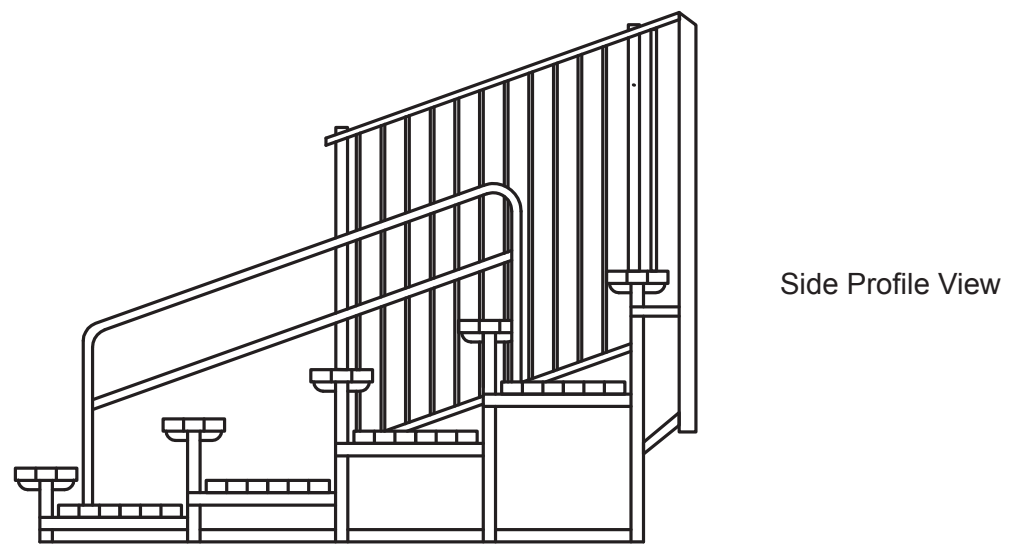
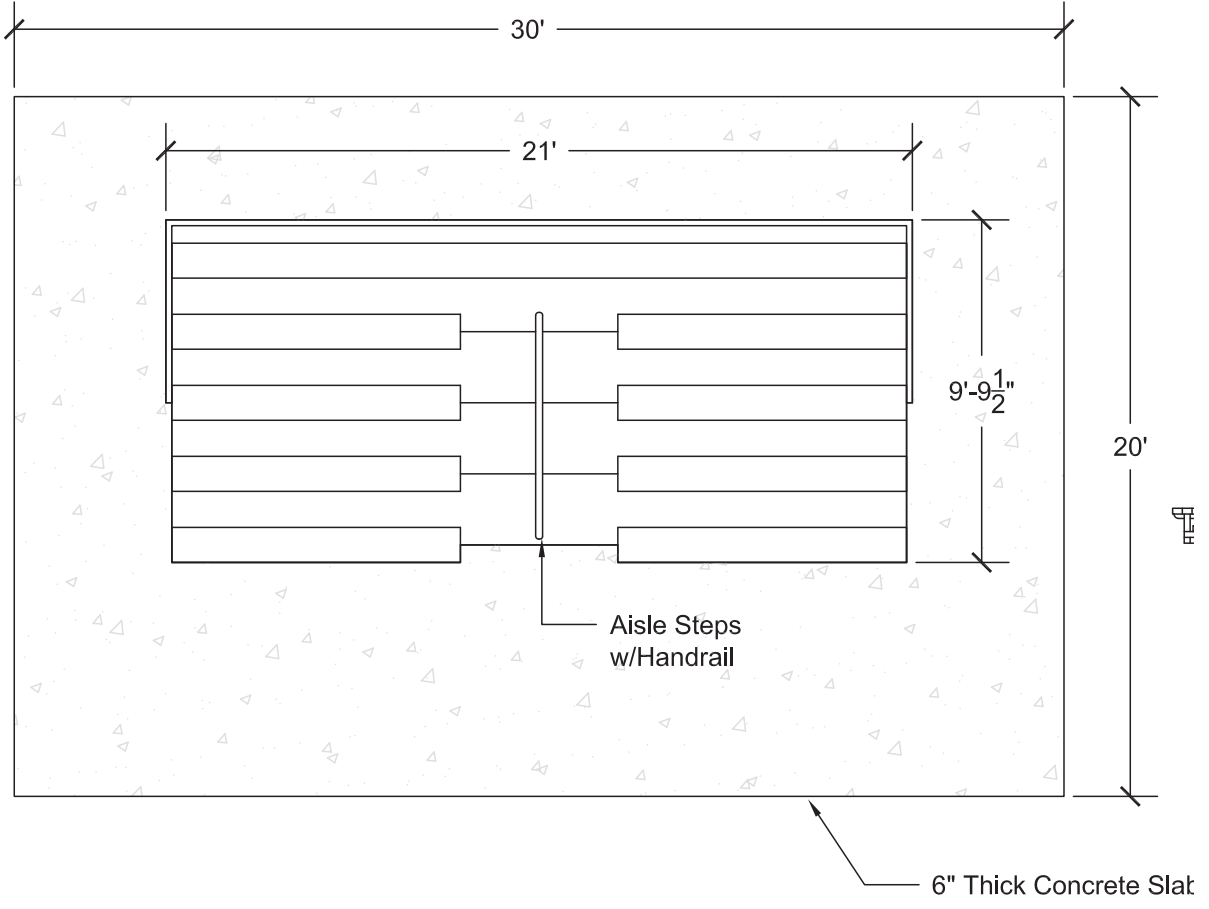


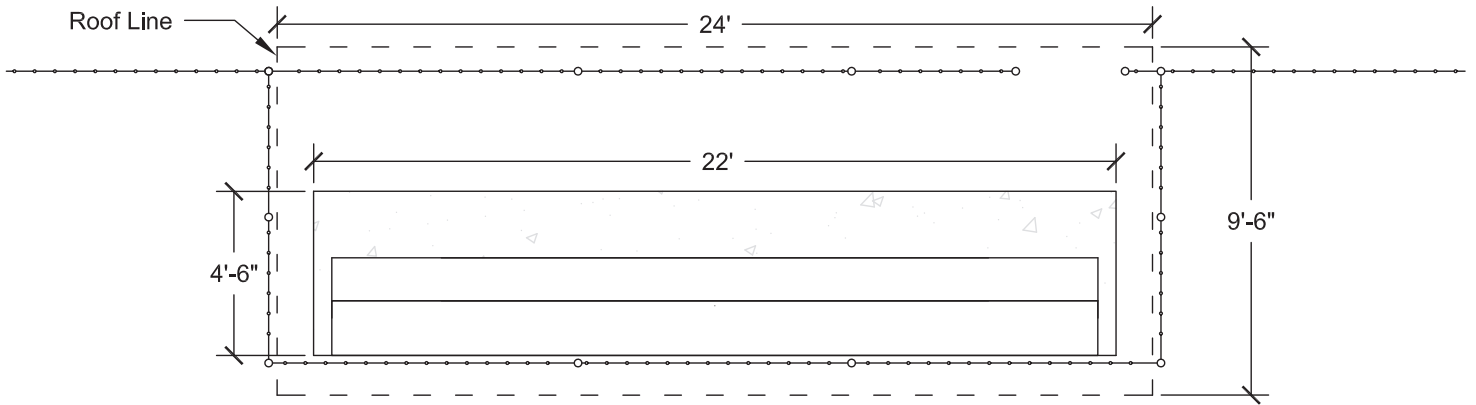
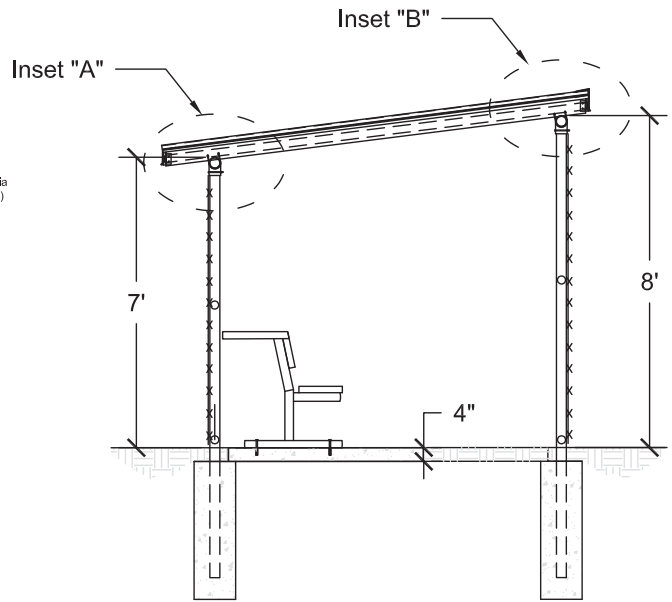
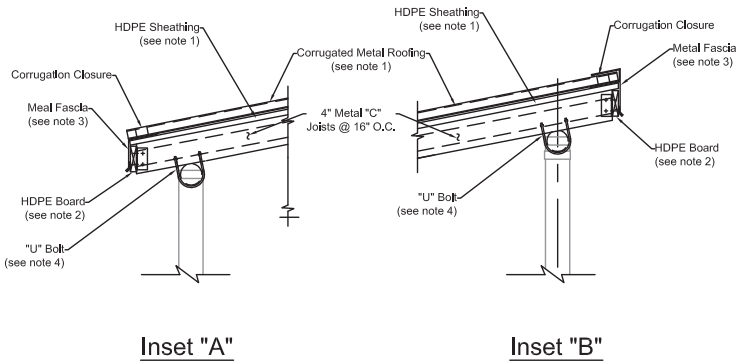
Bleachers, fencing and lights at City View Park

BASEBALL/SOFTBALL FIELD (CONT'D)

Field Dimensions	Softball	Little League Baseball	Pony League Baseball
A. Pitching distance	38'	46'	54'
B. Home plate to backstop	12' min.	12' min.	12' min.
C. Baseline	55'; (50' women)	60'	80'
D. Radius of skinned area	70'	50'	80'
E. Foul line	250' (200' women)	200'	250'
F. Home plate to 'pocket'	250'	250' (200' to fence)	300'
G. Diameter - pitcher's mound	16'	10' (raised 6")	15' (raised 8")
H. Size of coaches' box	3' x 15'	4' x 8'	8' x 16'

BLEACHER DETAILS





Dugout at Princess Anne Athletic Complex

Dugout Cover

CITY CODE

Dugout structures must be designed for a wind load of 110 mph sustained for 3 seconds. Permits are required.

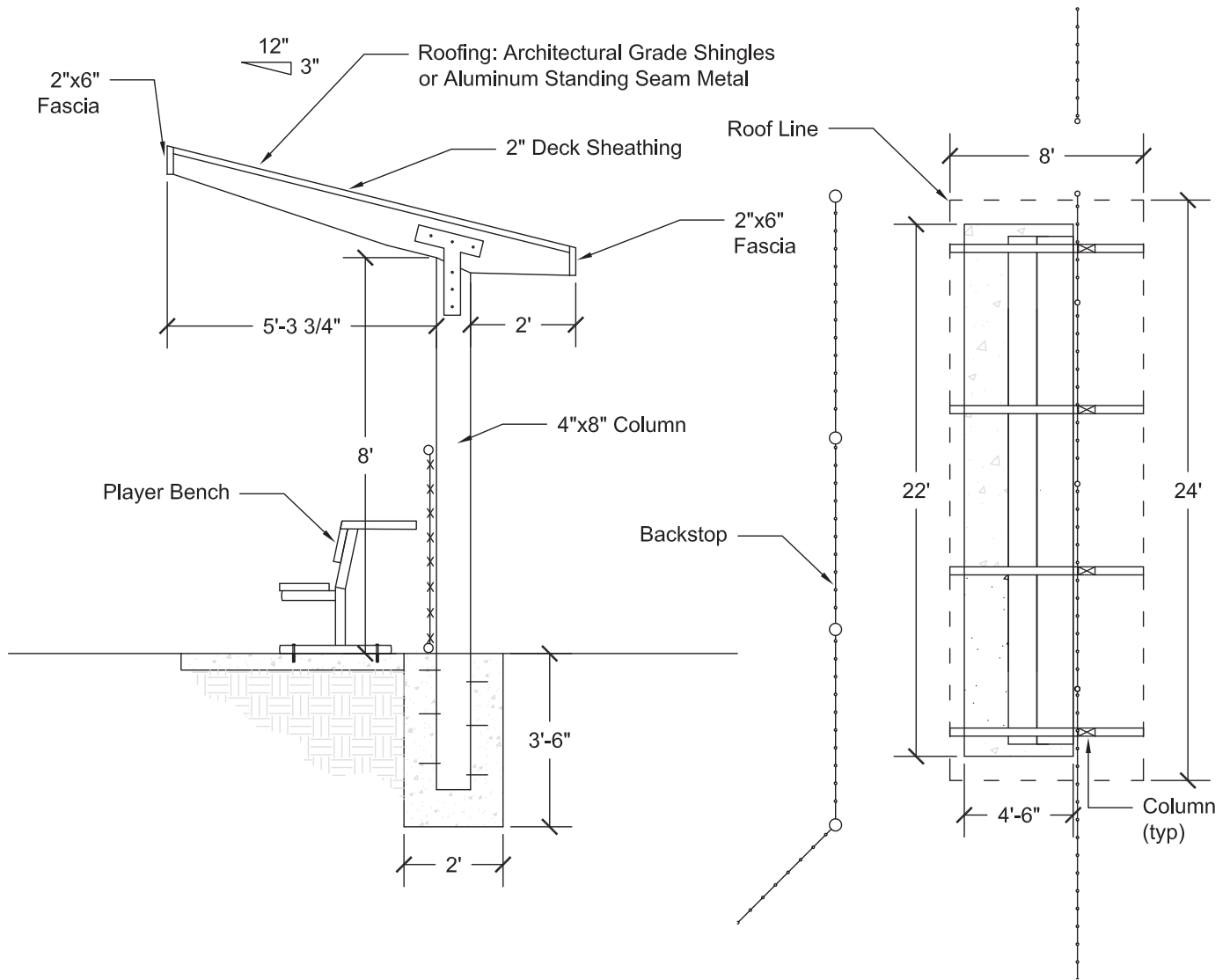
DUGOUT STYLE (1)

MATERIALS

Frame shall be 4" deep "C" joist (20 gauge galvanized steel) spaced at 16" O.C. Sheathing and sub-fascia shall be 3/4" HDPE. (white) Roofs shall be constructed of 2-1.2"x 1/2" corrugated galvanized metal (20 gauge). The metal roofs and exposed metal fascia's (all sides) shall be powder coated to match façade of site. All hardware shall be galvanized or stainless steel.

CONSTRUCTION

Metal "C" joist to be attached to ball field fence railing by using galvanized "U" bolts. (16" O.C./each joist). Attach 4"x3/4" sub-fascia HDPE boards around perimeter of frame using self-tapping galvanized sheet metal screws and attaching the ends of the "C" joist with 14 gauge 90 degree clip angles. Attach roof sheathing (4'x 8' x3/4" HDPE) to the "C" joist fasten from underneath "C" joist so that only the screw heads are visible). Attach continuous hook strip to perimeter sub-fascia 6" O.C. Attach corrugated metal fascia and roof material using galvanized or stainless steel screws.



DUGOUT STYLE (2)

MATERIALS

Lumber shall be #1 grade kiln-dried southern yellow pine grade to meet the requirements for Structural Glued Laminated Timber, AITC 117. All lumber to be pressure treated. Columns and beams to be pressure treated embedded glue laminated wood. Roof decking to be pressure treated, two (2) inch nominal #1 grade, end matched, single tongue and groove with V-joint bottom face. Fascia to be pressure treated 2" x 6" x 1-1/2" southern yellow pine #1 SPIB grade. Roofing to be either class "A" fire rated 25 year architectural shingle (dark gray) over 15 lb. felt paper or Aluminum standing seam metal (gray powder coated) over 15 lb. felt paper. All hardware to be hot dipped galvanized.

CONSTRUCTION

This is a pre-fabricated structure. Follow the manufacturer's assembly instruction.

BLEACHERS

5 row 21' long aluminum with picket railing and ADA compliant center stair system.

BLEACHER CONCRETE SLAB

Bleachers shall be anchored to a 20' x 30' x 6" thick 3000psi fiber reinforced concrete slab with a light broom finish



(Top left photo): Lacrosse players compete on fields outside of the Virginia Beach Sportsplex



(Top right photo): Blue skies over the green turf at the USA Field Hockey Training Center

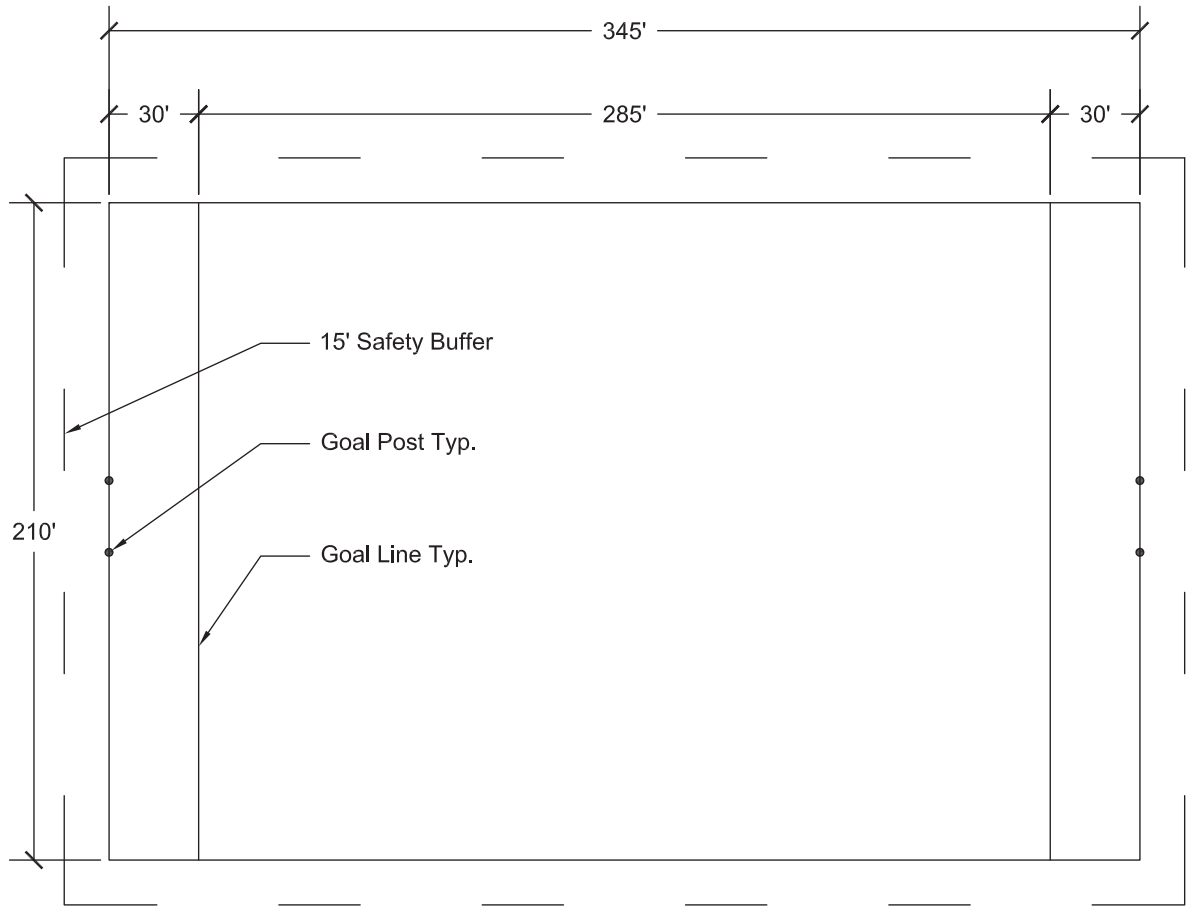
MULTIPURPOSE FIELDS

	Description	Soil Specification	Irrigated/Lighted	Minimum Parking
Tier 1	Tournament Plan	Sandy Loam	*Yes	60
Tier 2	Informal Field	Native Top Soil	No	60

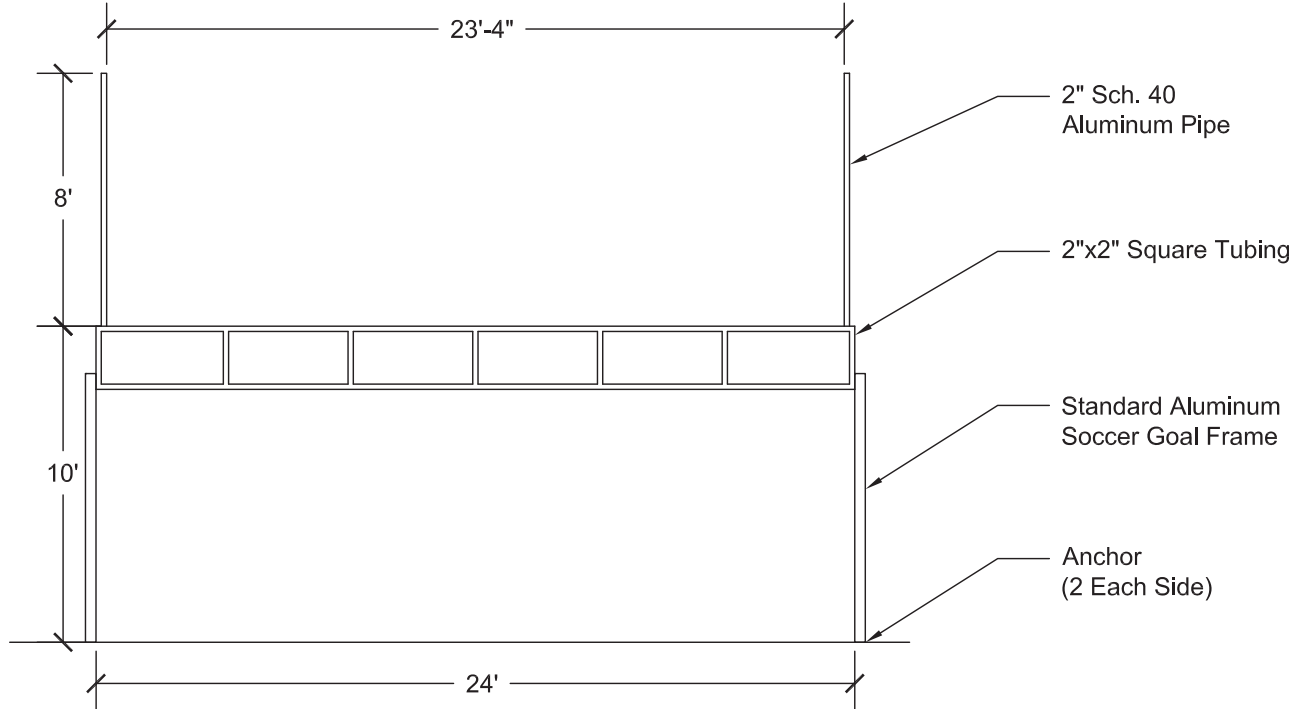
* The installation of field lighting is desired but will vary from field to field depending on the surrounding land uses.

- ORIENTATION** Long axis north to south
- GRADING** Long central axis shall serve as high point with 1% slope draining to each side.
- DIMENSIONS** 160-feet wide x 360-feet long including two 10 yard end zones. There are no official dimensions for soccer.
- SAFETY BUFFER** 15-foot minimum of clearance from end lines and sidelines to vertical fixed objects.
- SOIL SPECIFICATIONS** Field specifications are broken out into two tiers based on intended use.
- GOALS** Portable combination goals are for use on multipurpose fields as needed. Combination goal must have removable football posts. In-ground single use goals are also options for these fields.
- FABRICATION** These goals are manufactured by city staff in park maintenance. The cross member with attached uprights is bolted to the standard aluminum soccer goal frames.
- MATERIALS** Aluminum pipe
- INSTALLATION** Install per park maintenance staff guidelines.

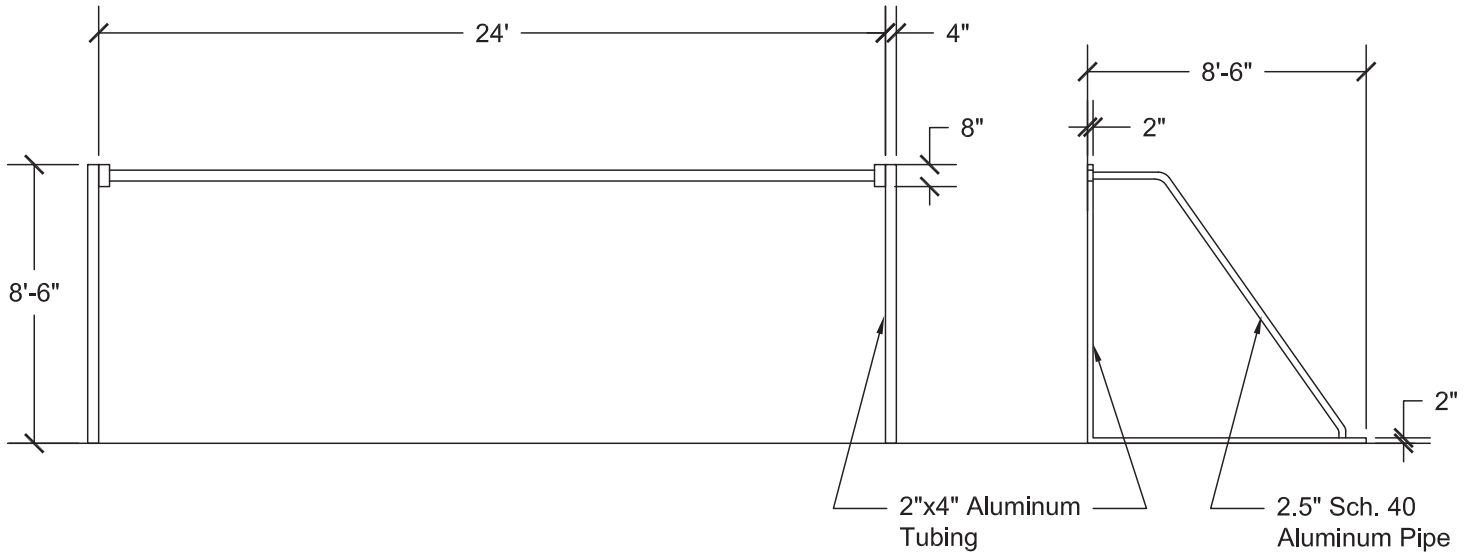
MULTIPURPOSE / FOOTBALL / SOCCER FIELDS



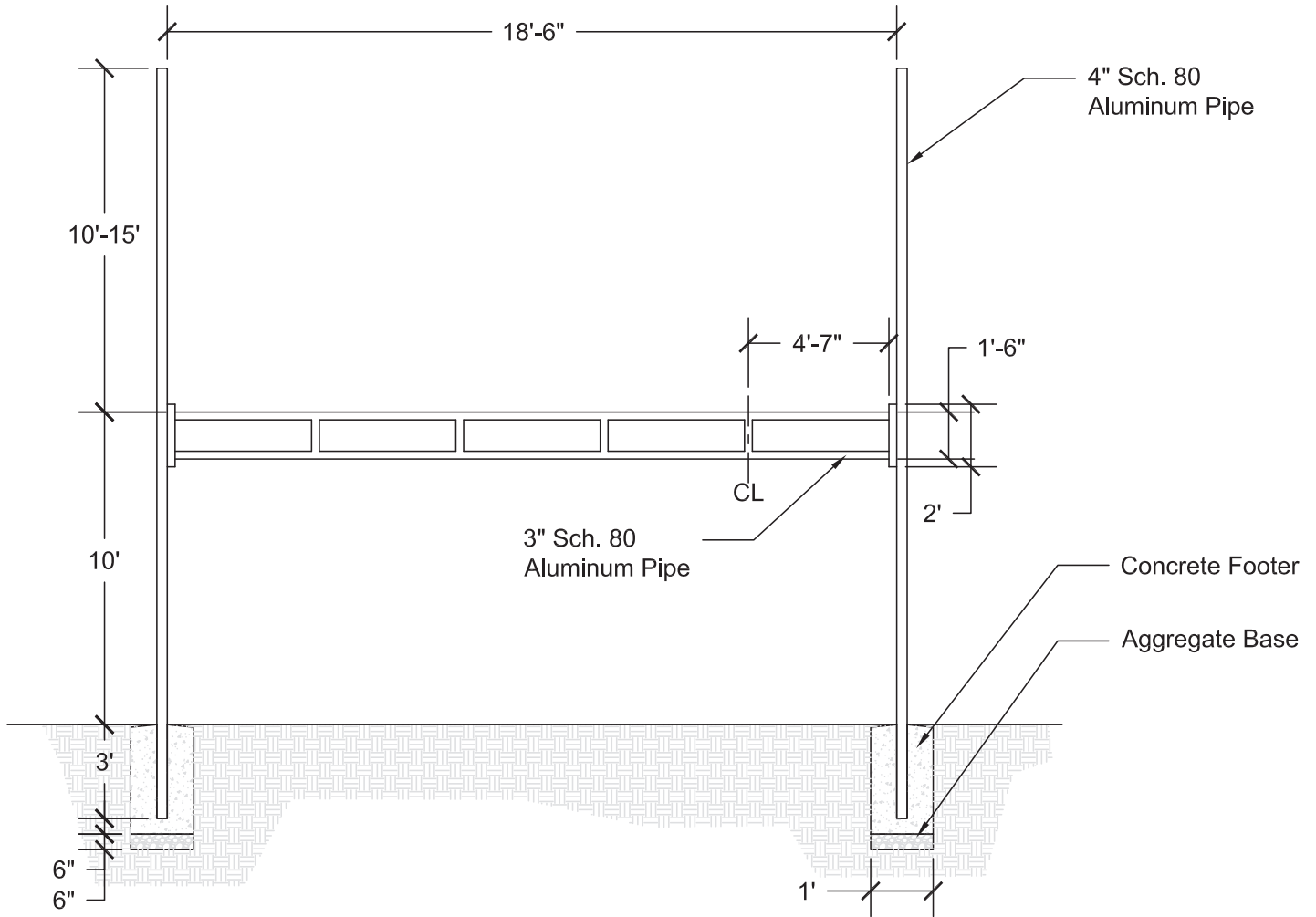
COMBO/PORTABLE GOAL



SOCCER GOAL



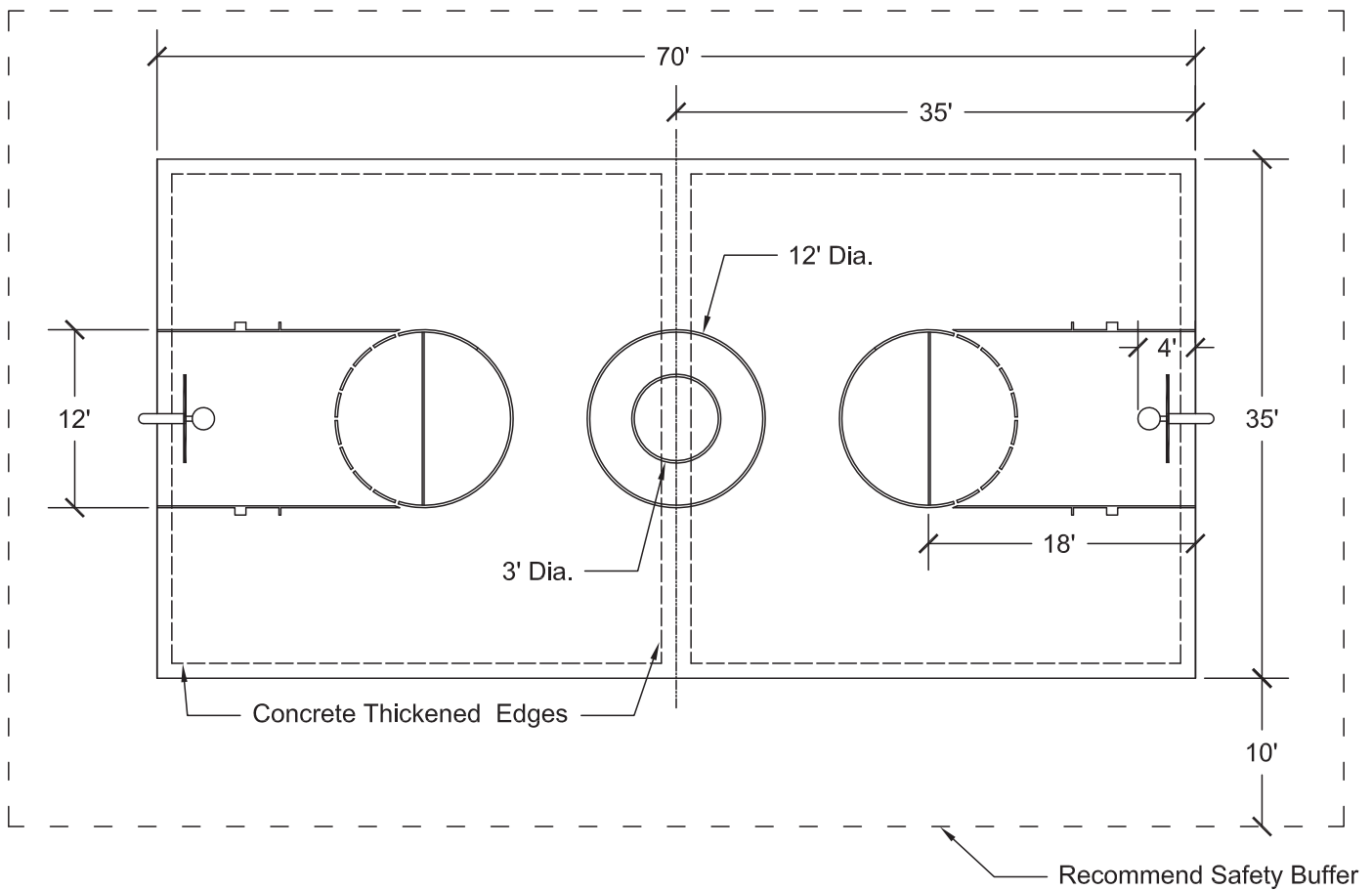
FOOTBALL GOAL



SECTION SEVEN

Play Courts

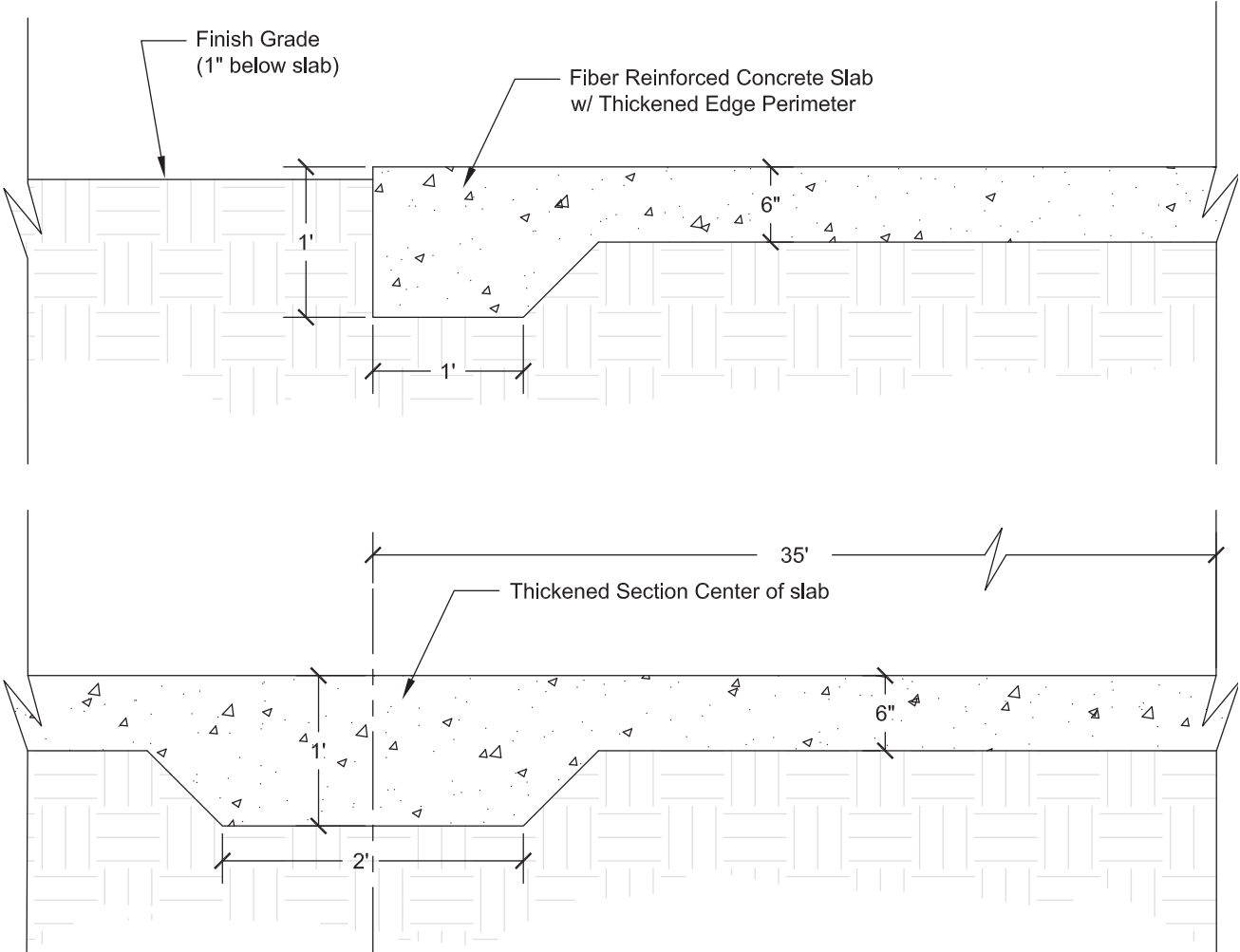




Typical basketball court at Blackwater Park

BASKETBALL COURT

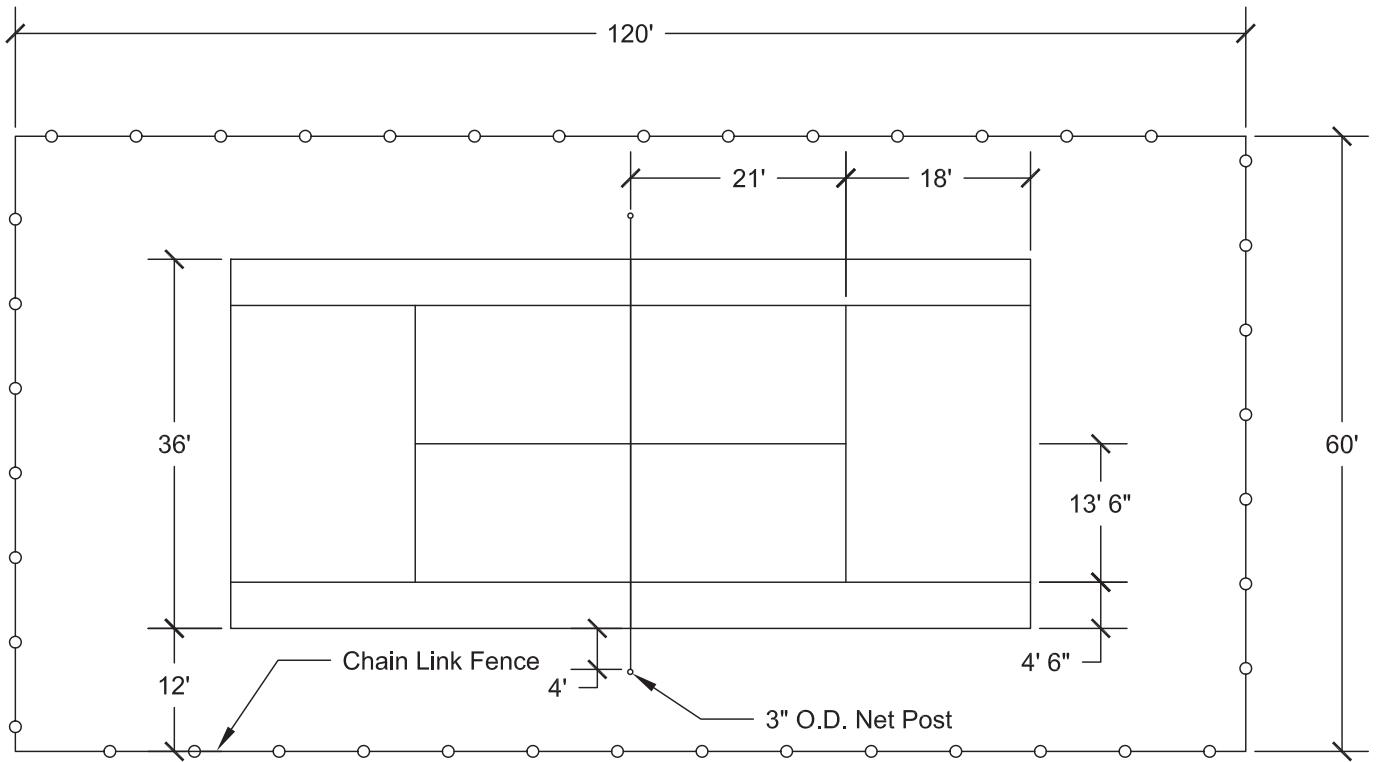
ORIENTATION	Long axis is north to south
DRAINAGE	Drain end to end
DIMENSION OPTIONS	Full court 35' x 70'; half court 35' x 35'
COURT	Concrete slab with fiber reinforcement with 2-inch wide white markings
SAFETY BUFFER	10-feet, or a minimum of 8-feet, unobstructed behind the back boundary line and a minimum of 6-feet on each sideline
PAVEMENT AREA	Allow a minimum of 3' additional from sideline to edge of pavement
GOAL POST	In-ground pole, 3 1/2" O.D. min, with a galvanized finish
BACKBOARD	One-piece cast aluminum alloy backboard with 1" deep supporting flanges
NET	White nylon



BASKETBALL COURTS EXAMPLES AT CITY VIEW PARK & BLACKWATER PARK



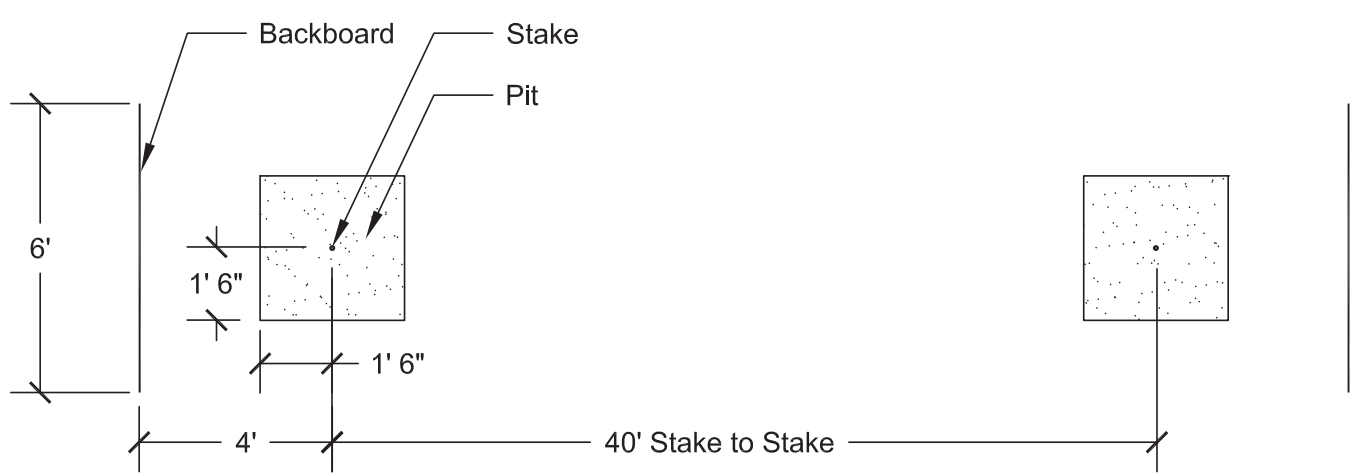
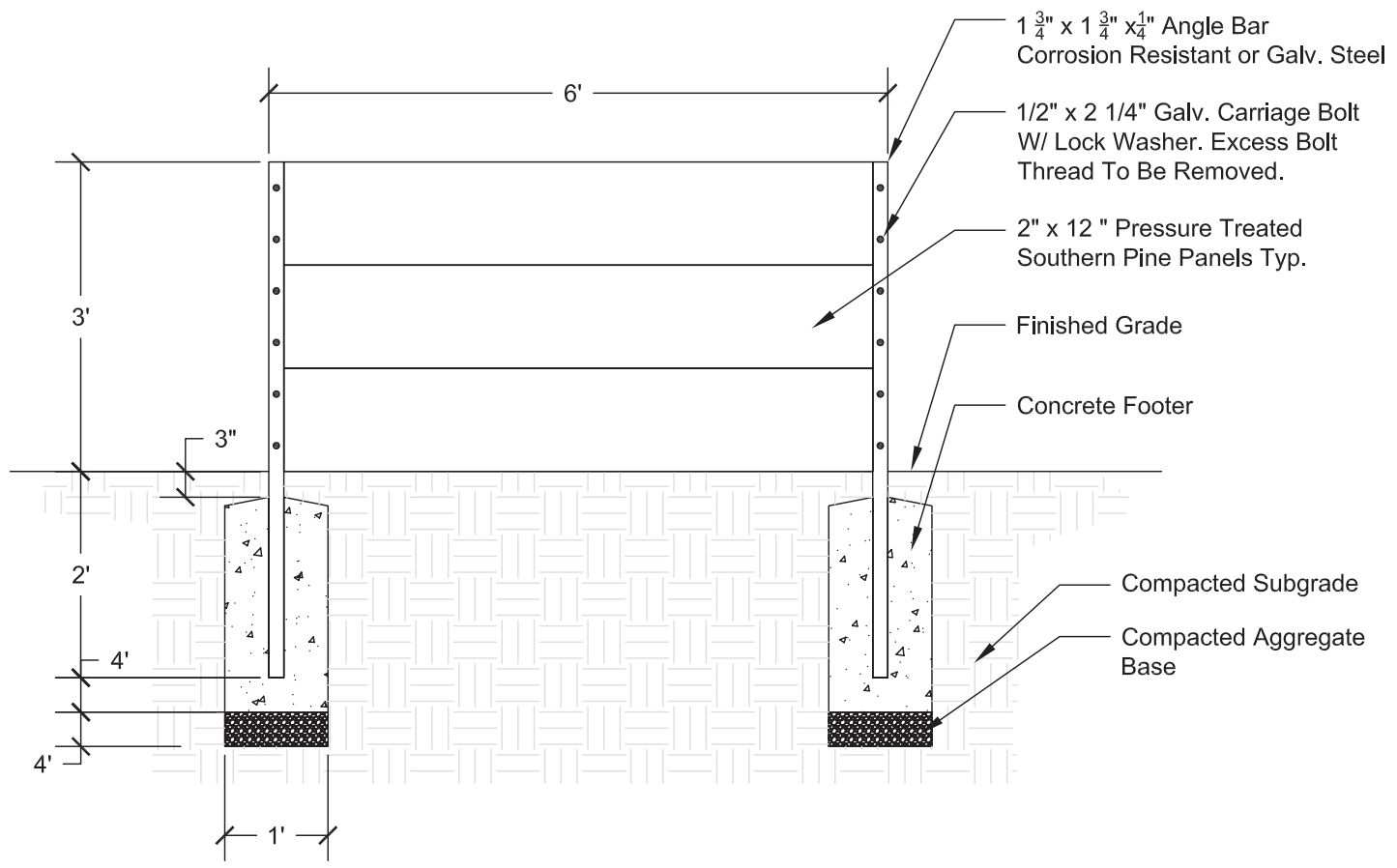
Note: All Dimensions Are To The Outside Edge Of Lines. All Playing Lines Are 2" In Width, Except The Base Line Which May Be Between 2" And 4" In Width.



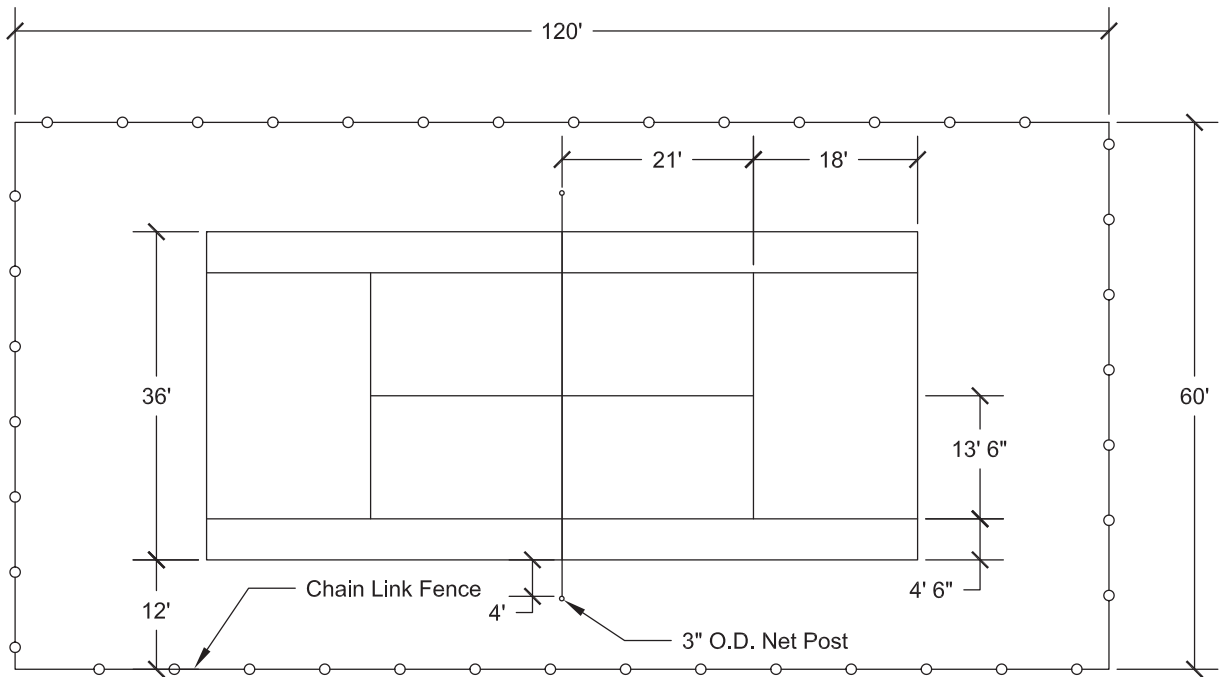
Typical horseshoe pit at Munden Point Park

HORSESHOE PIT

LOCATION	Staffed parks
COURT CONSTRUCTION	Consists of the pit, pit box, and backboard
ORIENTATION	Long axis north to south
PIT	The pit area shall be filled to a depth of 4 to 8 inches with either clay, sand, or soil.
SAFETY DISTANCE	Space courts at least 12-feet apart measured stake to stake.
STAKES	Each stake shall be centered between the platforms with a minimum of 21-inches from the stake to the front and back of the pit. Stakes shall be 1-inch in diameter and shall extend between 14" and 15" above pit level. They shall have an approximate 3" lean toward each other.
BACKSTOPS	Backstops are recommended and shall be 3-feet high and 6-feet wide.



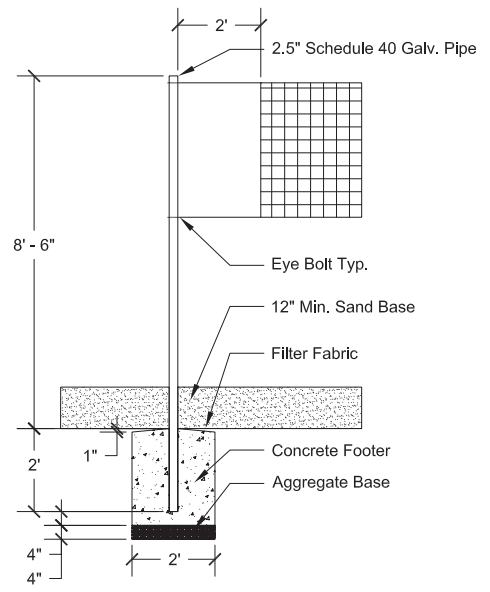
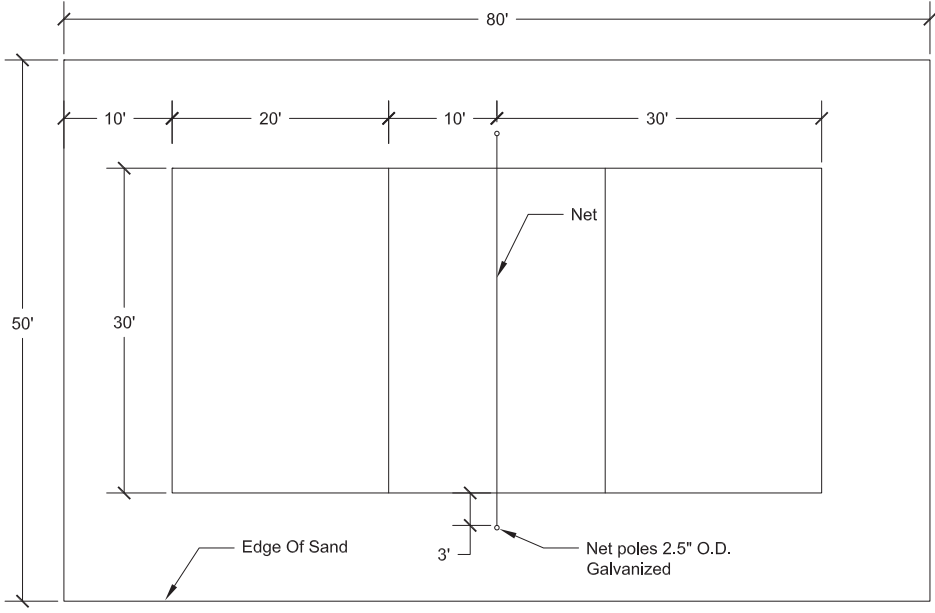
Note: All Dimensions Are To The Outside Edge Of Lines. All Playing Lines Are 2" In Width, Except The Base Line Which May Be Between 2" And 4" In Width.



Typical tennis courts at Woodstock Park

TENNIS COURT

ORIENTATION	April-October play, long axis is north to south. Year round play, long axis is northwest to southeast 22 degrees off true north.
DRAINAGE	Drain side to side (preferred) or end to end at 0.8% to 1%. Never allow a high point at the net.
MULTIPLE COURTS	Allow a 10-foot minimum between courts.
SURFACE MATERIAL COLOR	Green court area and border area with 2" white stripes for court markings
NET	42' long and 3 1/4' (39") high and otherwise conforming to the regulations of the U.S. Lawn Tennis Association
NET POSTS	Black Schedule 40 steel pipe 3" O.D. fitted with rust- proof cast aluminum caps (Do not paint)
LIGHTS	If provided, timer for lights shall be located on pole near court entrance.
FENCE	10-feet tall chain link fence, 1 3/4" mesh, 9-gauge core mesh minimum. All fence posts and hardware shall be black polyester coating 3-mil color powder electrostatically applied (powder coated finish). Fence mesh shall have a black vinyl coated finish.



VOLLEYBALL COURT



Typical volleyball courts and net set up at Woodstock Park

ORIENTATION	Long axis north to south
NET	Nylon
NET HEIGHT	7' 4 1/8" measured at the center of the playing court
NET DIMENSIONS	39" wide and minimum of 36-feet long
NET POLES	2 1/2" O.D. schedule 40 galvanized pipe, wooden poles used at beaches. 3/8" diameter holes drilled at 2", 14", and 50" for eye bolt assembly.
SAFETY DISTANCE	10-feet minimum unobstructed behind the back boundary line and on each sideline or between courts
SAND COURT	A minimum depth of 12" of sand with a filter fabric placed underneath the sand bed

SECTION EIGHT

Playground Systems





Full playground system at Lake Lawson/Lake Smith Natural Area

PLAYGROUND

DESCRIPTION

For the purposes of this document, the term “play area” shall refer to any place or space physically defined and specifically and primarily intended for recreational use by children, generally between the ages of 2 and 12.

For these areas, the Virginia Beach Parks & Recreation department adheres to the standards of several nationally recognized organizations where the design, construction, and maintenance of play areas are involved. The following documents are hereby incorporated as part of these Standards:

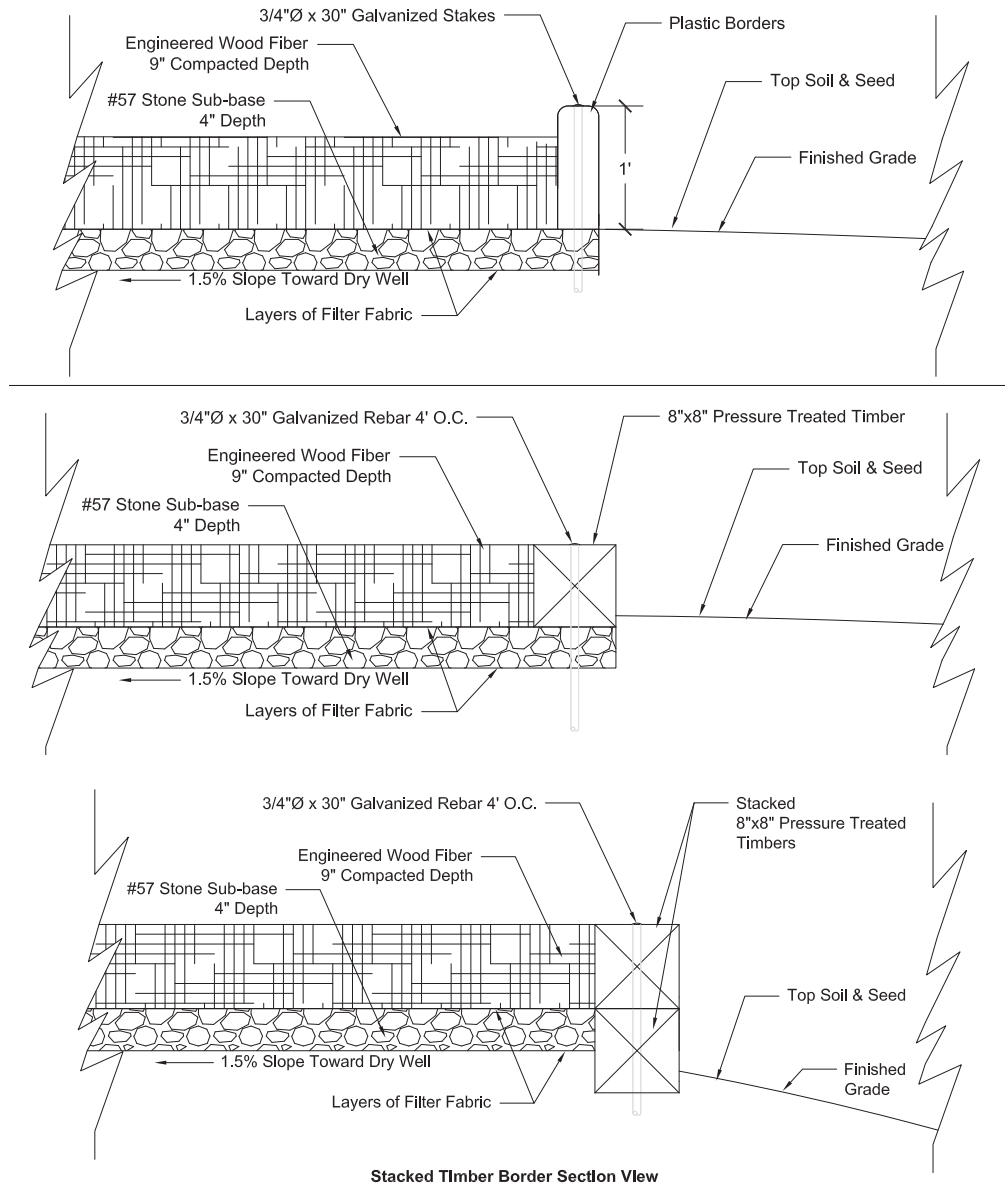
1. American Society for Testing and Materials (ASTM) “Standard Consumer Safety Performance Specification for Playground Equipment for Public Use,” F1487 (most recent edition)
2. U.S. Consumer Product Safety Commission (CPSC) “Handbook for Public Playground Safety,” Publication No. 235 (or most recent edition)
3. U.S. Architectural and Transportation Barriers Compliance Board, Americans with Disabilities Act (ADA), Accessibility Guidelines for Buildings and Facilities; Play Areas; October 2000, amended November 2000 (or most recent edition)

COLOR

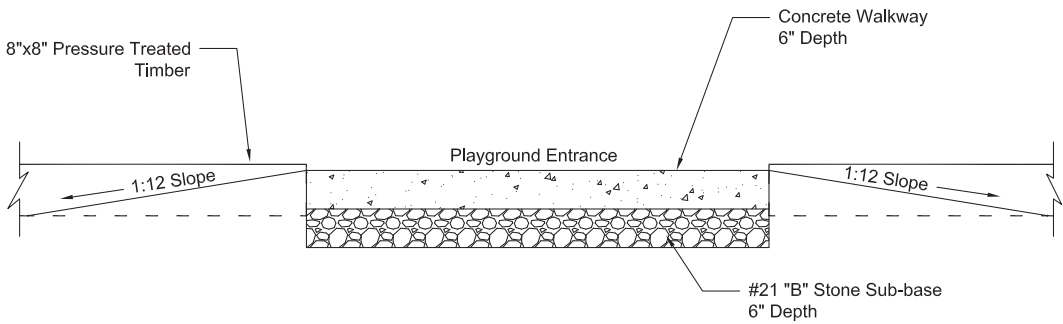
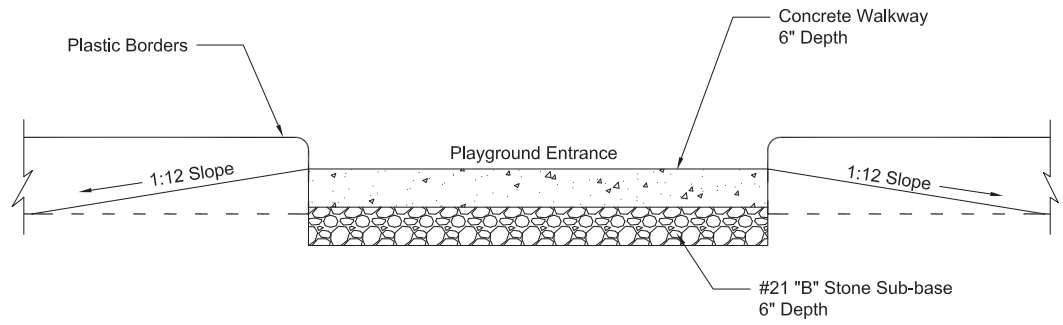
Colors shall be determined based on the park’s overall character and community aesthetics.

BOUNDARY DEFINITION/SURFACING/DRAINAGE

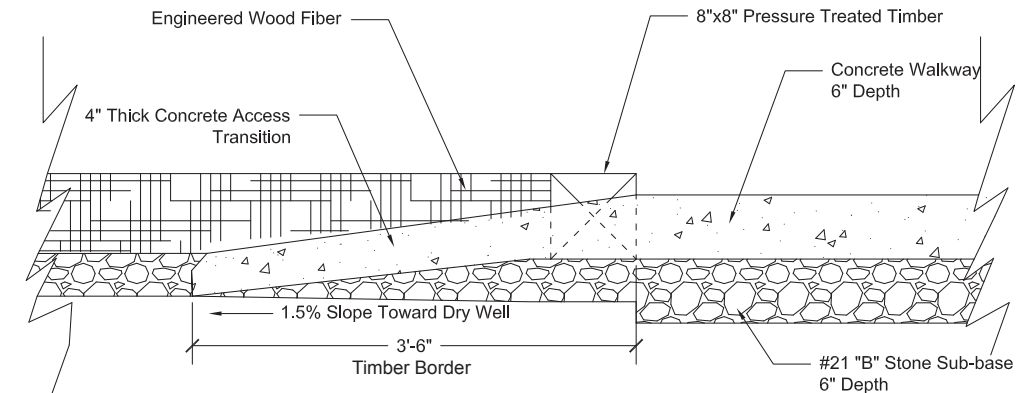
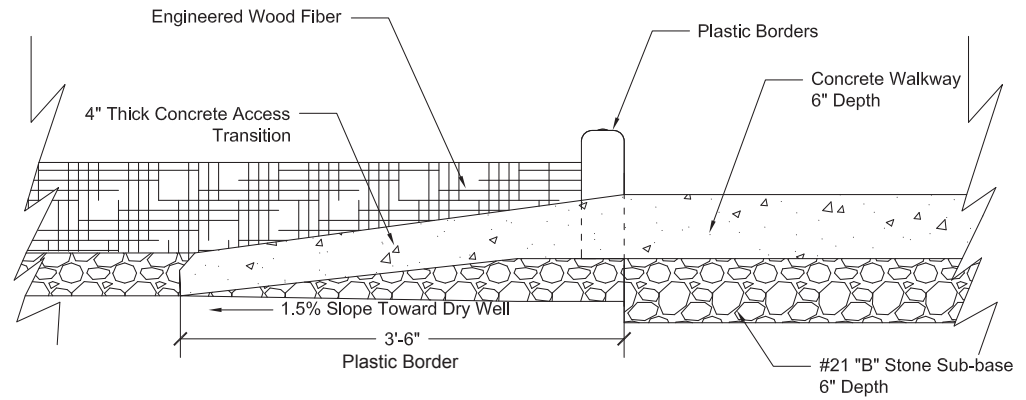
- BOUNDARY MATERIAL** Pressure treated timber, plastic timber border, concrete or asphalt edging.
- FASTENERS** All fastener hardware will be hot dipped galvanized fasteners.
- SURFACING MATERIAL** Engineered wood fiber carpet chips
- UNCOMPRESSED DEPTH** Recommended depth depends on fall heights. For general use, an 8" uncompressed depth is standard. Where equipment is being installed with fall heights in excess of 6 feet, contact the surfacing material manufacturer for recommended depths.
- DRAINAGE** Each playground site demands that the inner area of the playground shall have 4" of material excavated and graded, maintaining a 1.5% slope toward a newly installed dry well. A layer of filter fabric shall then cover the space enclosed by the timbers. A 4" layer of #57 stone shall then cover the area enclosed by the border material and then another layer of filter fabric will be installed over the entire enclosed playground area prior to installing the wood fiber mulch.



TIMBER AND PLASTIC BORDER ENTRANCE SECTIONS

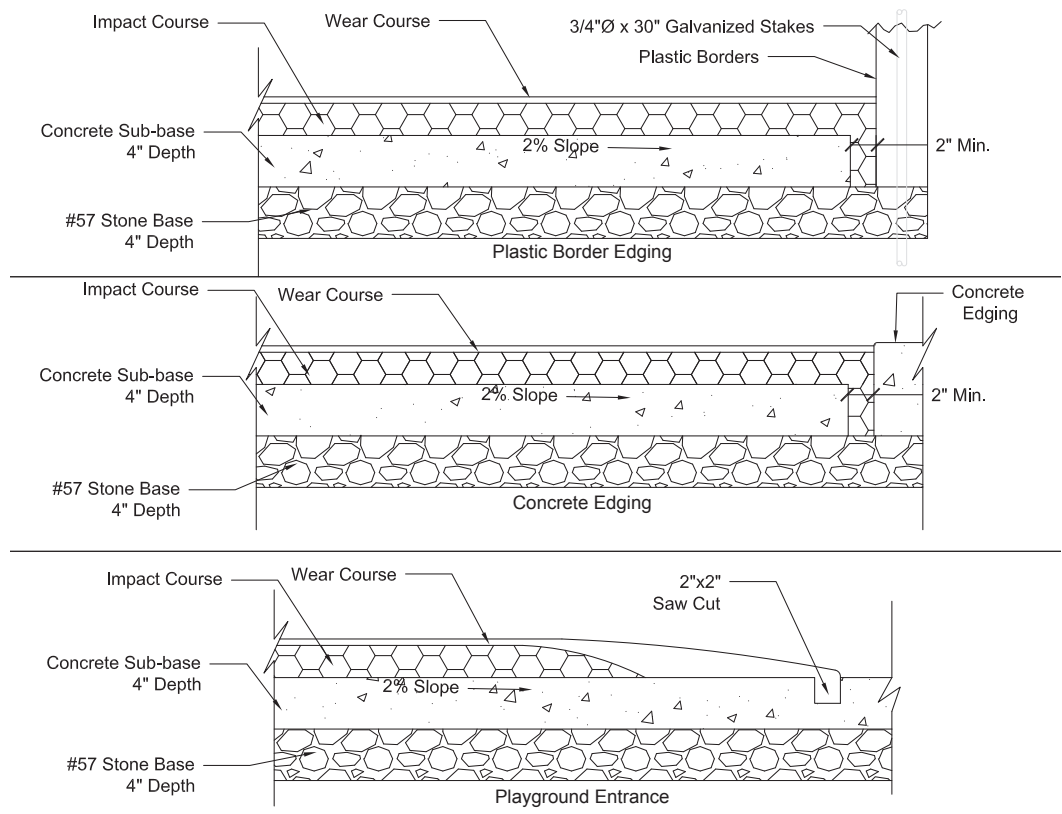


TIMBER AND PLASTIC BORDER ENTRANCE TRANSITIONS

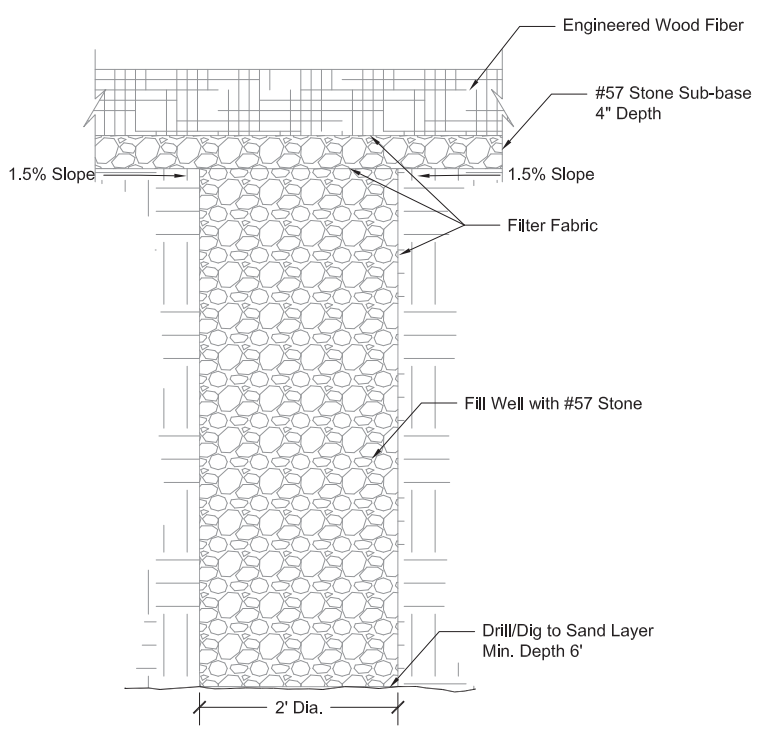


TIMBER BORDER

PLAYGROUND POUR-IN-PLACE SURFACING DETAILS



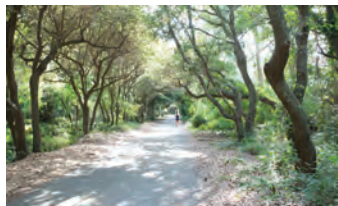
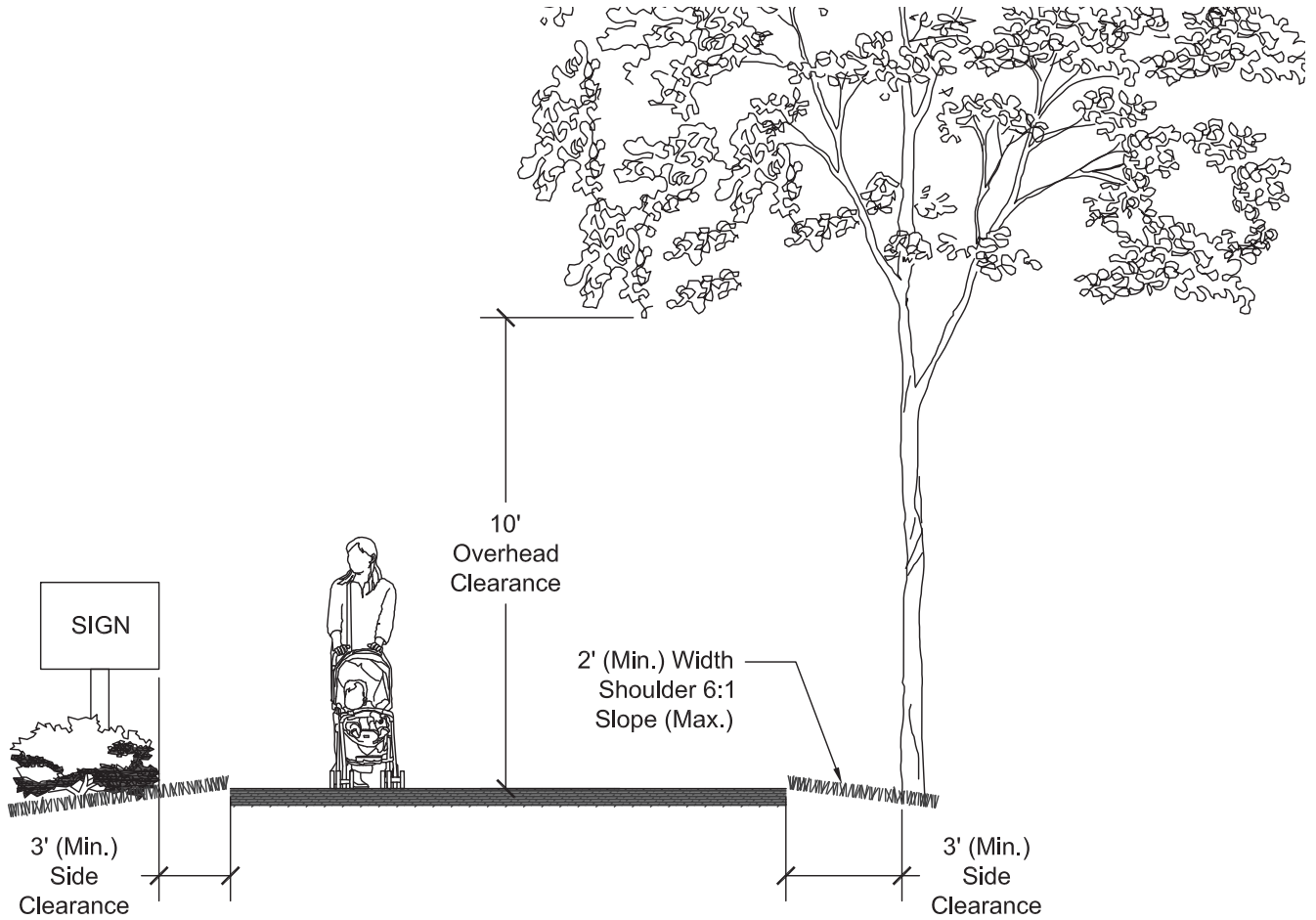
DRY WELL DETAIL



SECTION NINE

Park Walkways & Trails





Shared use path along Cape Story Trail

PARK WALKWAYS & TRAILS

DESCRIPTION	This section establishes standards for public walkways, trails, and internal pedestrian circulation systems that will provide user-friendly pedestrian access.
WIDTH	Primary walkways - 12'; secondary walkways - 8'. In certain circumstances the use of 6' wide paths may be appropriate for minor connections.
CONNECTIVITY	Continuous internal pedestrian walkways shall be provided from the public walkway or right-of-way to the main entrance of all buildings and active amenity areas on the site. Walkways shall connect pedestrian activity such as, but not limited to, transit stops, street crossings, buildings, and major site amenities.
ADA	All pedestrian facilities shall meet ADA guidelines.
OTHER	For additional information related to the development of safe trail facilities, refer to the third or most recent edition of the American Association of State Highway and Transportation Officials (AASHTO) Guide for the Development of Bicycle Facilities.

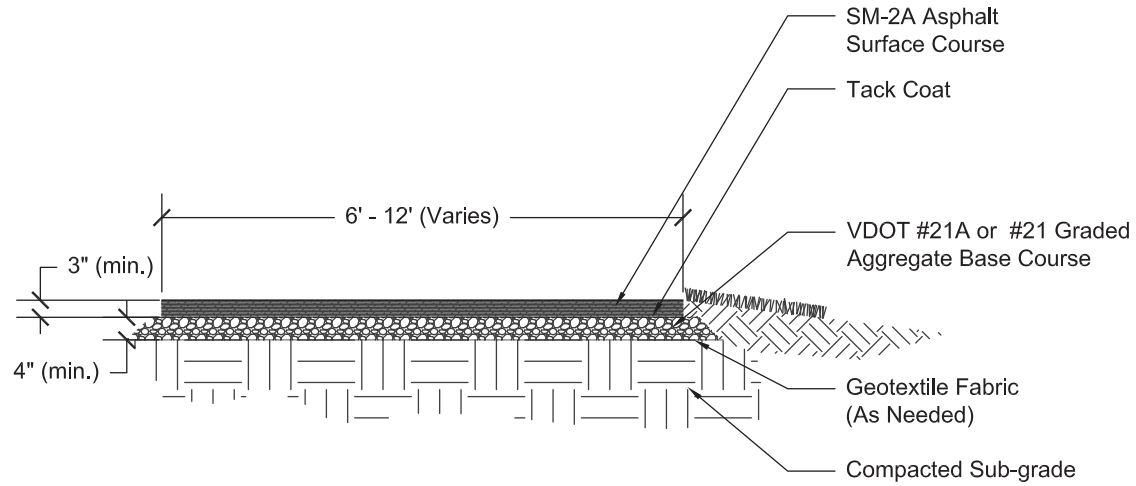
ASPHALT PATH



Asphalt trail at Marshview Park

USE ADA accessible pedestrian walkways, trails, and light vehicular service access

BASE The aggregate base shall extend beyond the pavement edge so that the edge will be structurally reinforced and shall be a minimum depth of 4"

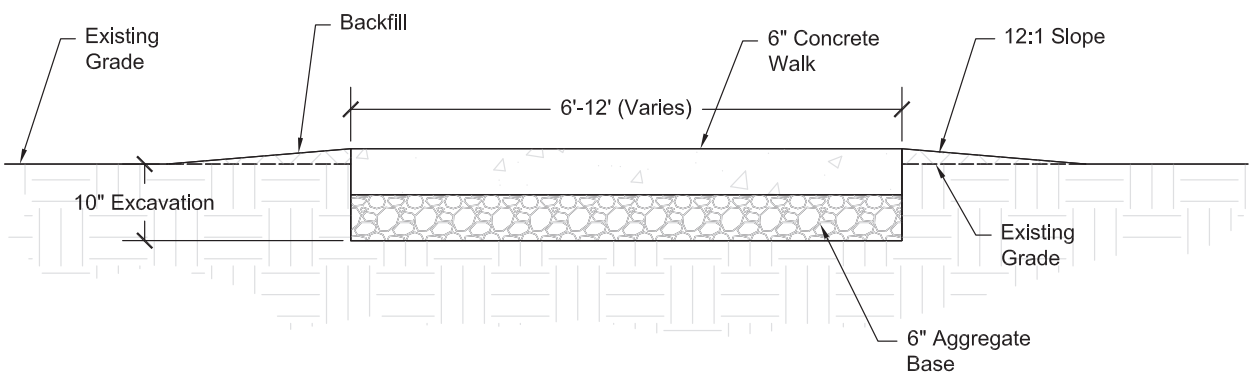


CONCRETE SIDEWALK



Concrete path at Woodstock Park

USE ADA accessible pedestrian walkways, trails, and light vehicular service access concrete walk ways shall be Class A 3000 PSI fiber-reinforced.

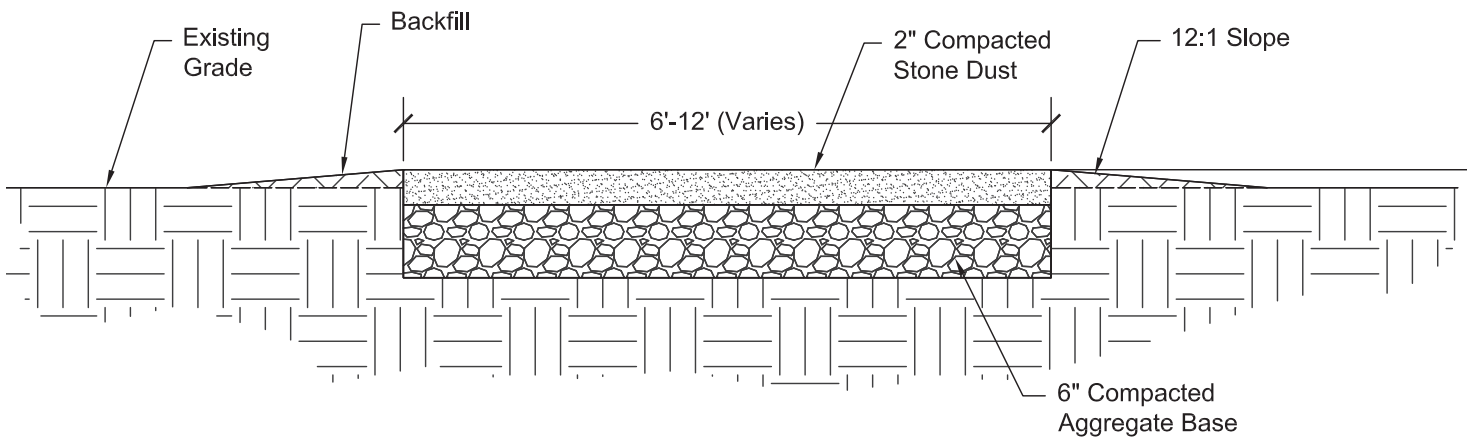


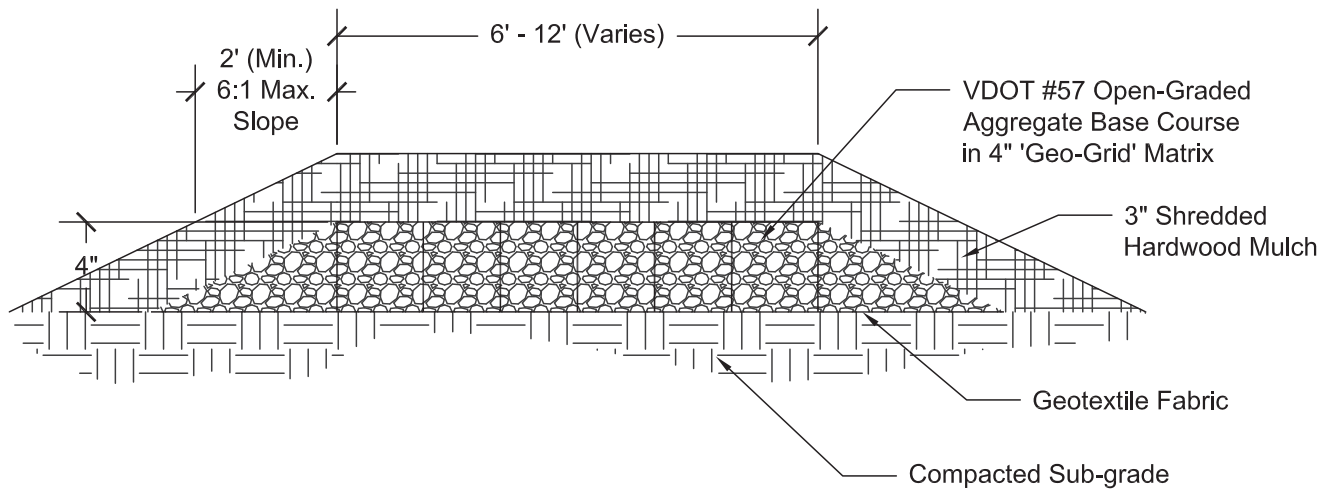
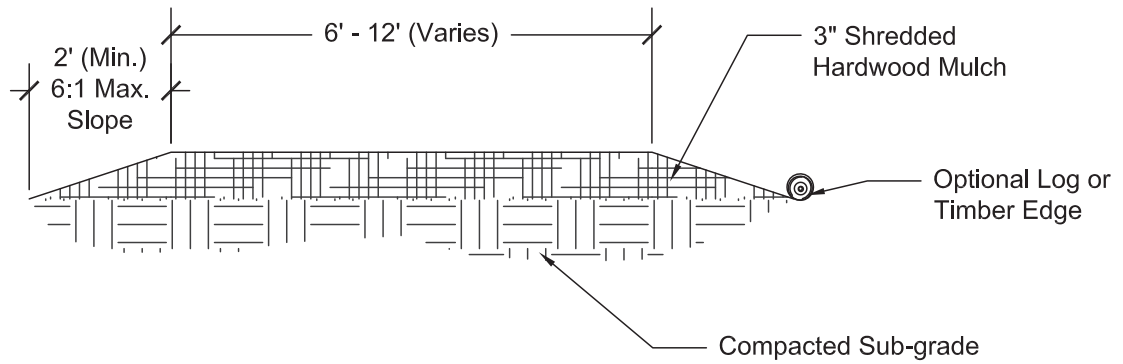


Crushed stone trails appear in the Japanese Garden at Red Wing Park

CRUSHED STONE TRAIL

- USE** Only for use in environmentally sensitive and natural areas where pedestrian access is desired
- WIDTH** Walkways - 8'. In certain circumstances, the use of 6' wide paths may be appropriate for minor connections. Areas where horses will be utilizing the trail, 4-foot wide shoulder is recommended.
- CONSTRUCTION** All trail construction shall include standard clearing limits as follows: brush and branches shall be removed to a height of 10 feet within 3 feet of the trail. Remove all roots and organic debris to a depth of 4 inches, where appropriate. See modified detail on the following page for applications where fewer disturbances are desired. Establish a design cross-slope in sub-grade materials. Provide complete mechanical compaction. Where this is impractical or impossible, compact by hand with an appropriately weighted implement.





NATURAL TRAIL

- USE** For use in environmentally sensitive areas where pedestrian access is desired
- WIDTH** Primary walkways - 8'. In certain circumstances, the use of 6' wide paths may be appropriate for minor connections. Areas where horses will be utilizing the trail, a 4 feet wide shoulder is recommended.
- CONSTRUCTION** All trail construction shall include the removal of stumps, exposed roots, and branches within the trail section and to a height of 10 feet. No milled lumber shall be used and a trail border is optional.



Natural trail at Marshview Park

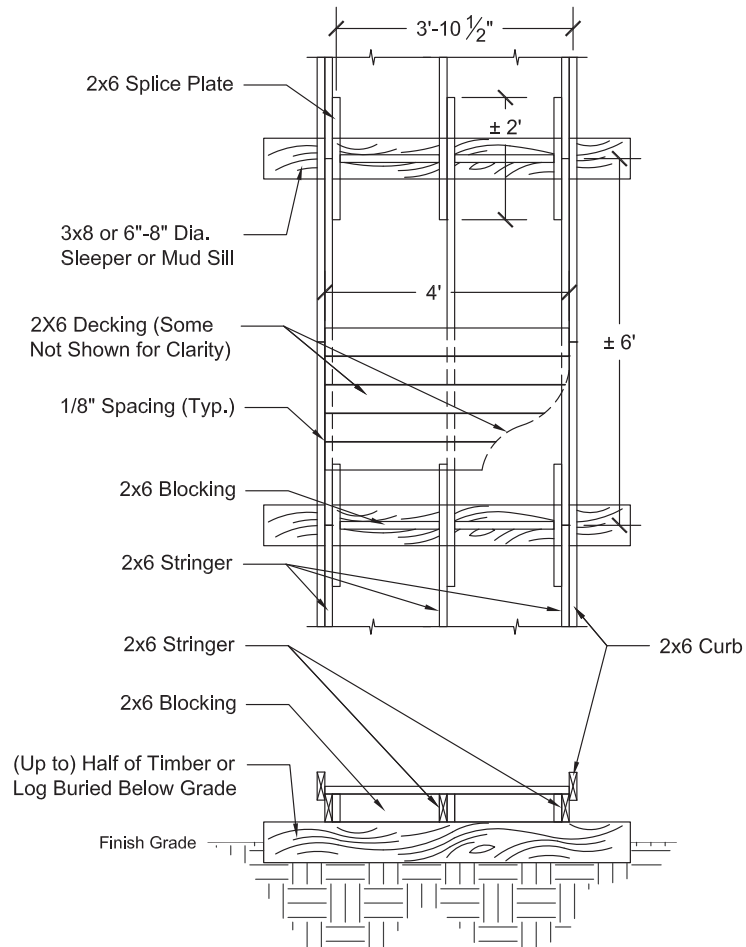


Foot Bridge at Red Wing Park

FOOT BRIDGE

USE	For pedestrian use
DIMENSIONS	6' to 10' widths; clear spans generally less than 20'. Where steep and unstable banks exist, the bridge's overall length shall be determined accounting for the re-grading and stabilization of the banks. The maximum recommended slope for banks is 3:1.
MATERIALS	Southern yellow pine (pressure treated). Timber abutments should be treated for water contact.
DECKING	Pressure treated solid sawn wood decking
FASTENERS	Hot-dipped galvanized steel
APPROACHES	Approaches shall meet ADA requirements. Side slopes shall be stabilized and shall not exceed 6 to 1. Where steeper slopes are necessary, wing walls shall be utilized to stabilize the approaches and minimize erosion.

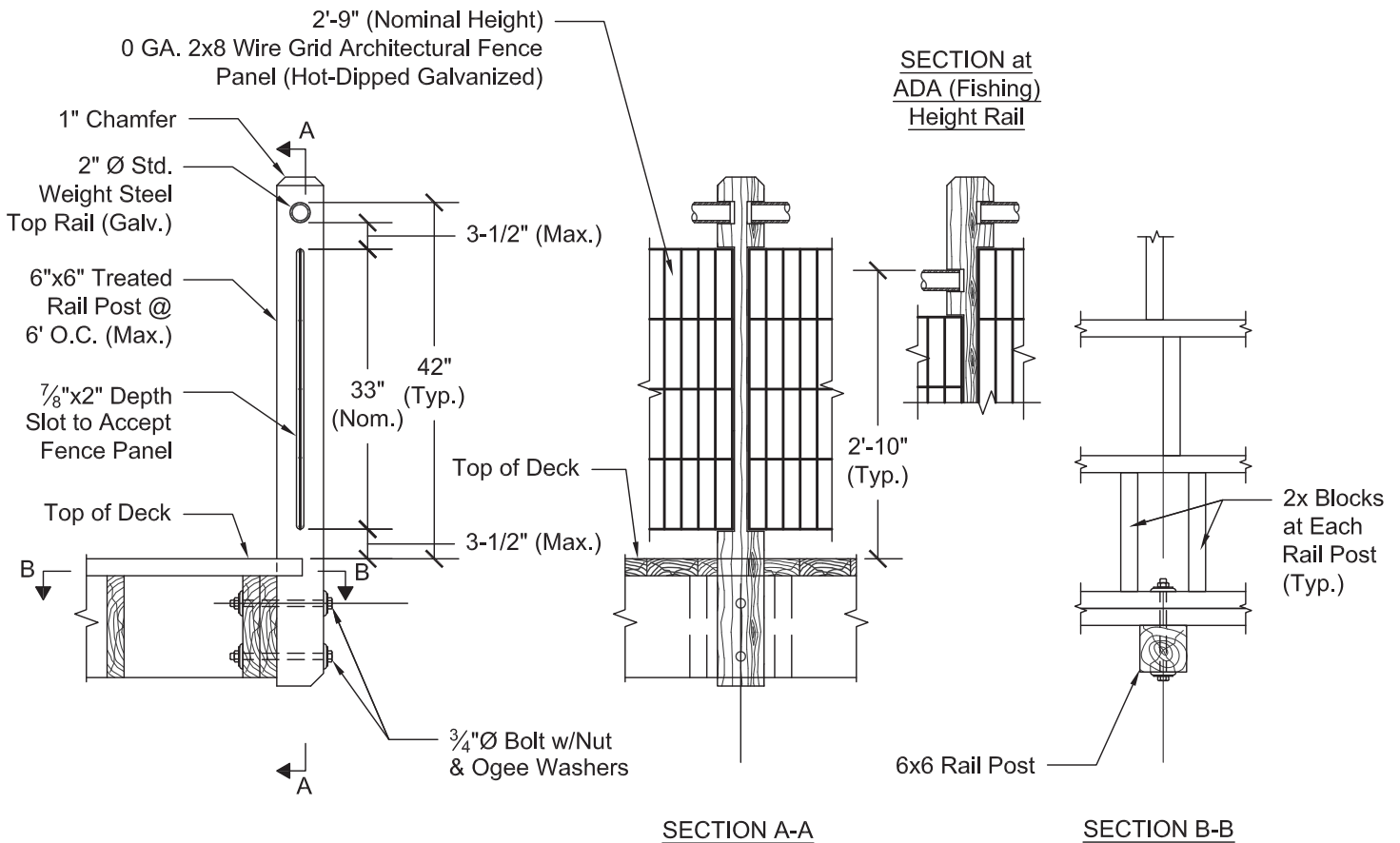
RAISED WOODEN WALKWAY





WALKWAYS & TRAILS OPTIONAL RAILING

Walkway/overlook at
Lake Lawson/Lake Smith
Natural Area



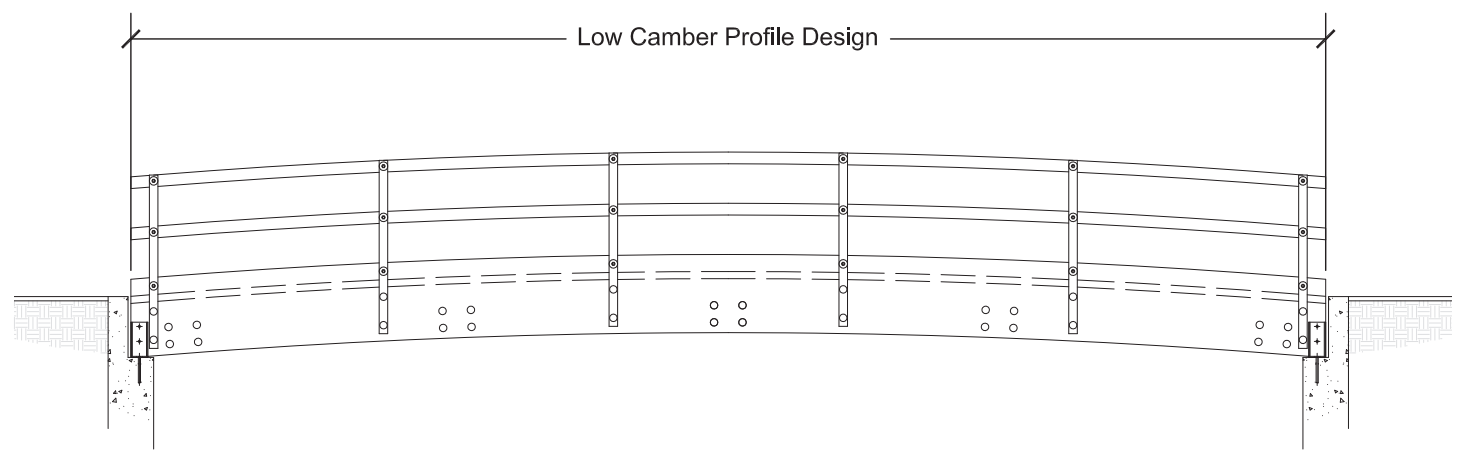


Prefabricated bridge at Marshview Park

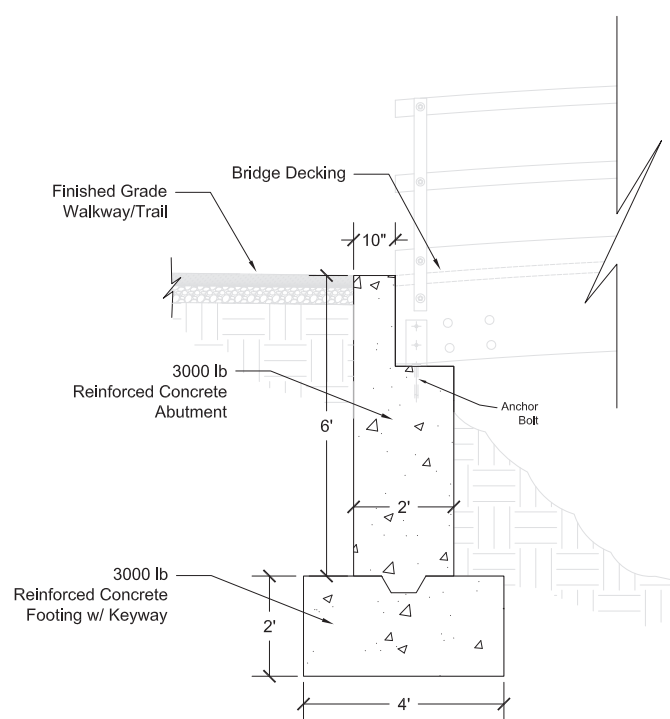
PREFABRICATED BRIDGE

USE	For pedestrian and light vehicular use
DIMENSIONS	6' to 14' widths; clear spans from 20' to 100'; span-to-width ratio generally 12:1. Where steep and unstable banks exist, the bridge's overall length shall be determined accounting for the re-grading and stabilization of the banks. The maximum recommended slope for banks is 3:1.
MATERIALS	Southern yellow pine
BEAMS	Glued laminated wood beams
DECKING	Pressure treated solid sawn wood decking
CONNECTORS	Hot-dipped galvanized steel
APPROACHES	Approaches shall meet ADA requirements. Side slopes shall be stabilized and shall not exceed 6 to 1. Where steeper slopes are necessary, wing walls shall be utilized to stabilize the approaches and minimize erosion.
ADA	All bridge designs shall meet ADA requirements.

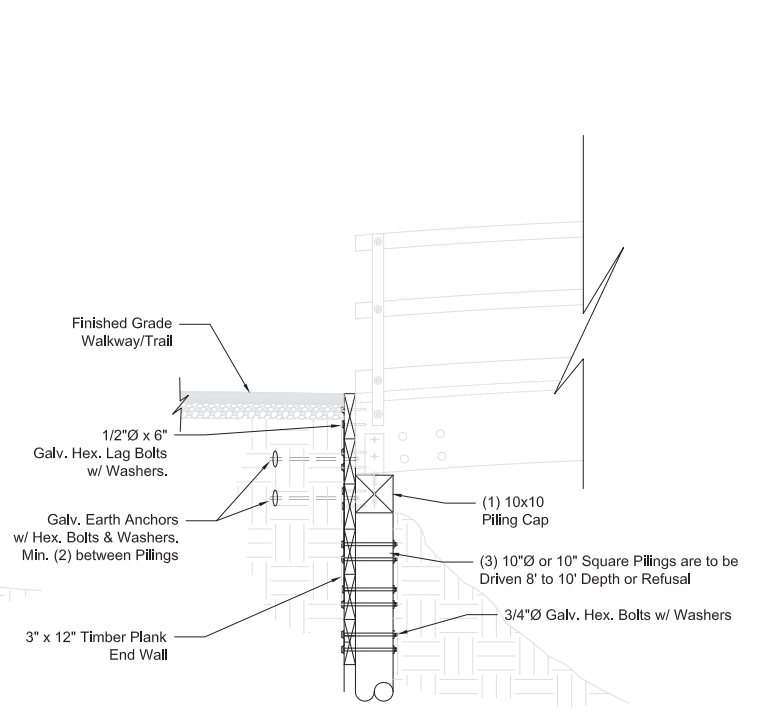
BRIDGE PROFILE



CONCRETE ABUTMENT & TIMBER ABUTMENT



Note: Footings & Abutments must extend past sides of bridge by Min. 2 feet)



Note: Timber Planks must extend past sides of bridge by Min. 2 feet)

SECTION TEN

Shelters





Wood shelters from top to bottom: Beach Garden Park, Bayville Farms Park, and Red Wing Park

WOOD SHELTER

DESCRIPTION

Wood Shelters are available in a variety of sizes and configurations (square, rectangular, hexagon). All structural members, support columns, beams, and arches are made of pressure treated laminated wood. Sizes range from 12' x 12' to 30' x 60'; hexagonal shelters range from 20' to 45' in diameter.

All shelters shall comply with the following guidelines and standards:

1. The manufacturer of the structural glued laminated wood components shall conform to the manufacturing requirements of the American Institute of Timber Construction Standards and the Standard Specification or Glued Laminated Timber, AITC 117.
2. Quality Control shall be provided in accordance with the American National Standard of Wood Products— Structural Glued Laminated Timber (ANSI/AITC A 190.1) and the American Institute of Timber Construction Inspection Manual (AITC-200).

LAMINATED LUMBER

All lumber shall be kiln dried Southern Pine graded to meet the requirements of Standard Specifications for Structural Glued Laminated Timber, AITC 117. Adhesives shall be wet-use (waterproof) complying with ANSI/AITC A190.1– latest edition.

BEAMS & COLUMNS

All beams and columns shall be embedded glued laminated wood. Column sizes range from 6" x 6" to 8" x 8". Beam/column spacing ranges from 8' O.C. to 10' O.C. for larger shelters. Glulam beams/columns are to be pressure treated in accordance with American Wood Preservers' Association Standards.

ROOF DECKS

All roof decks are to be 2 inch (nominal) #1 grade, single tongue and groove with V-joint bottom face, kiln-dried Southern Pine.

FASCIA

All fascia will be 2" x 6" Southern Pine, #1 SPIB Grade, pressure treated in accordance with American Wood Preservers' Association Standards.

ROOF SURFACES

Architectural shingles or standing seam aluminum roof with one layer of 30 lbs. felt (a minimum 25-year written warranty is required) (Gray in color)

FASTENERS

All steel and hardware fasteners are to be hot-dipped galvanized unless stainless steel is specified with purchase order as required by site location.

EXPOSED FACES

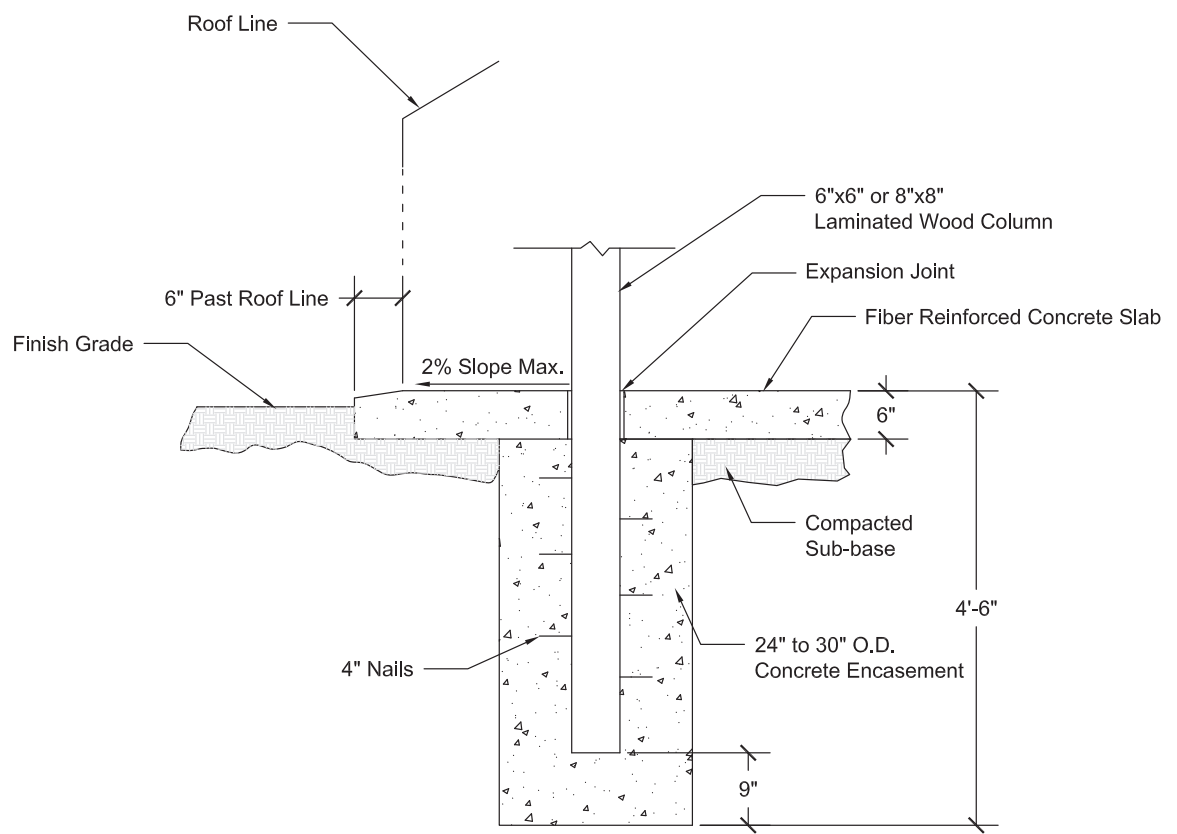
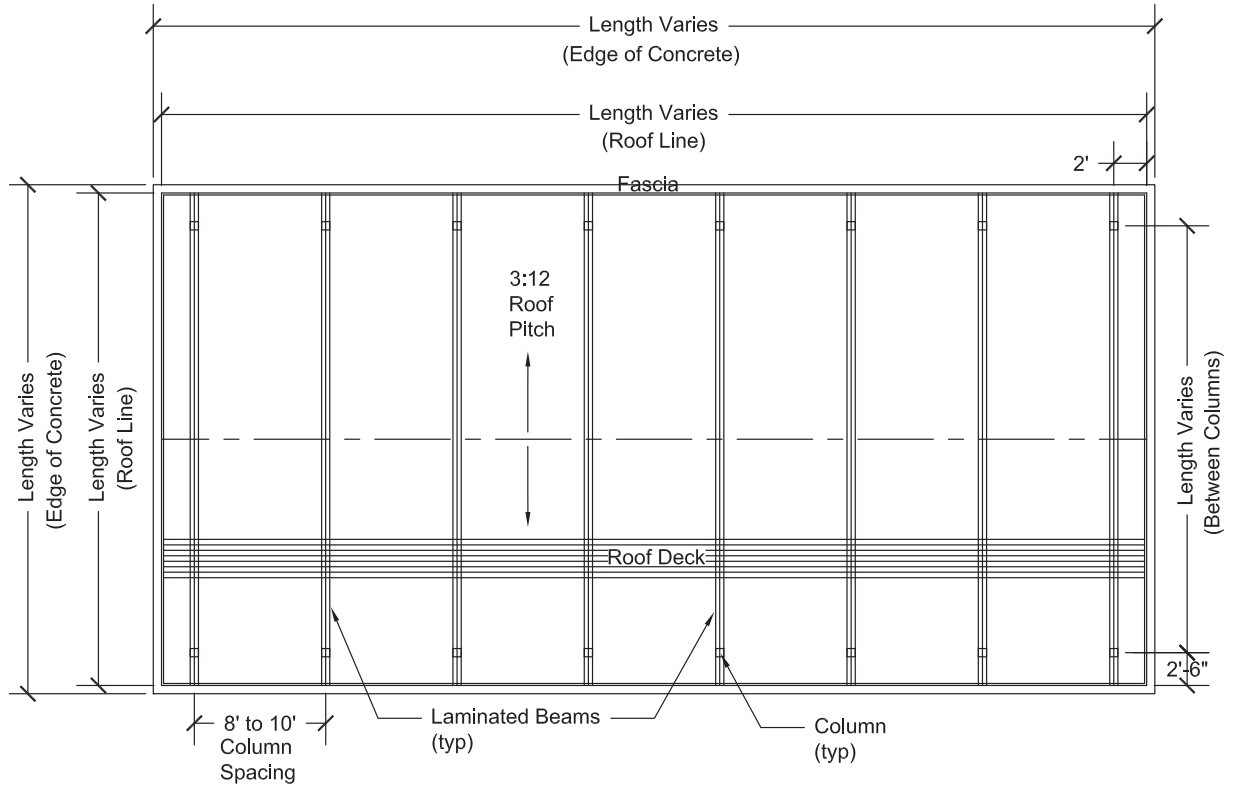
All exposed faces of glulam members are to be treated with one coat of factory-applied clear penetrating sealer.

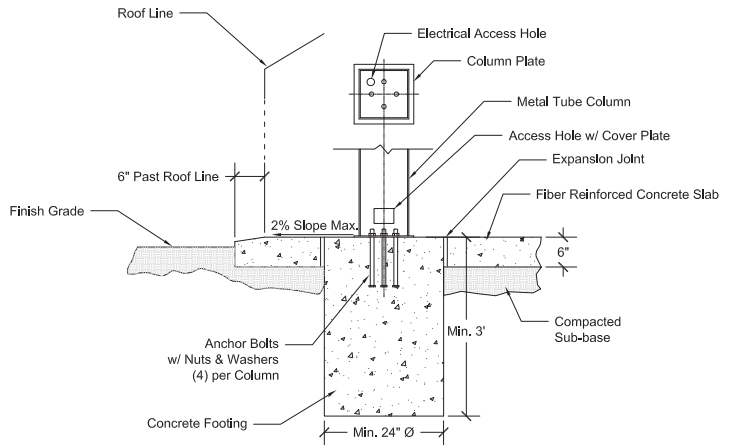
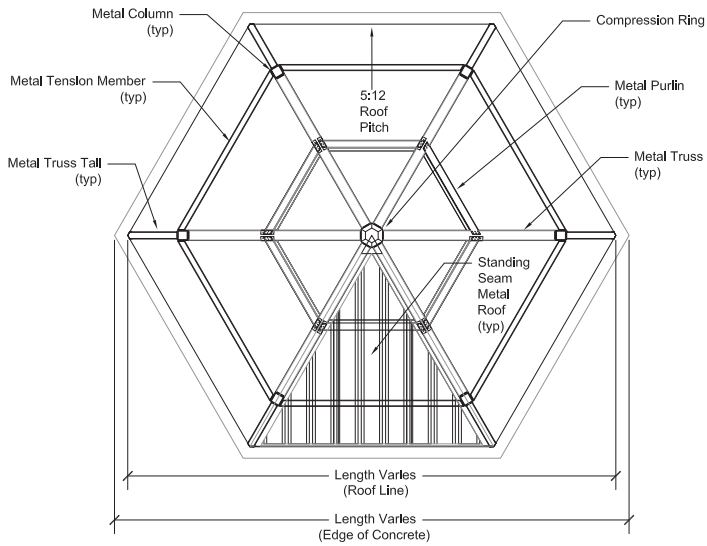
COLUMN FOOTINGS

All column footings are to be 24" to 30" O.D. x 4' depth concrete encasements (see detail).

FOUNDATION

Contractor will excavate 6" of soil and compact subsurface prior to pouring class A3, 3000 psi fiber-reinforced concrete slab. All concrete will be finished by a process of floating and toweling to a smooth non slip light broom finish. All outer edges shall be finished to a 1/4" radius. Surfaces shall have a positive sheet drainage with no greater than 2% cross slope (see detail).





Metal shelter at Princess Anne Athletic Complex

METAL SHELTER

DESCRIPTION

Metal shelters are available in a variety of sizes and configurations (square, rectangular, hexagon). Sizes range from 12' x 12' to 30' x 60'; hexagonal shelters range from 20' to 45' diameter.

All metal shelters shall comply with the following guidelines and standards:

All material and fabrication shall comply with the American Society for Testing and Materials (ASTM) guidelines and specifications as related.

STRUCTURAL FRAMING

Columns, rafters, tie-beams, purlins, etc. shall be Hollow Structural Sections (HSS) meeting ASTM A500 grade B. "I" beams tapered columns, open "C" channels, cold-formed box sections or wood products shall not be accepted.

COMPRESSION RINGS

Compression rings shall be made of structural channel sections or welded plate sections that meet ASTM A36 grade steel.

STRUCTURAL CONNECTIONS

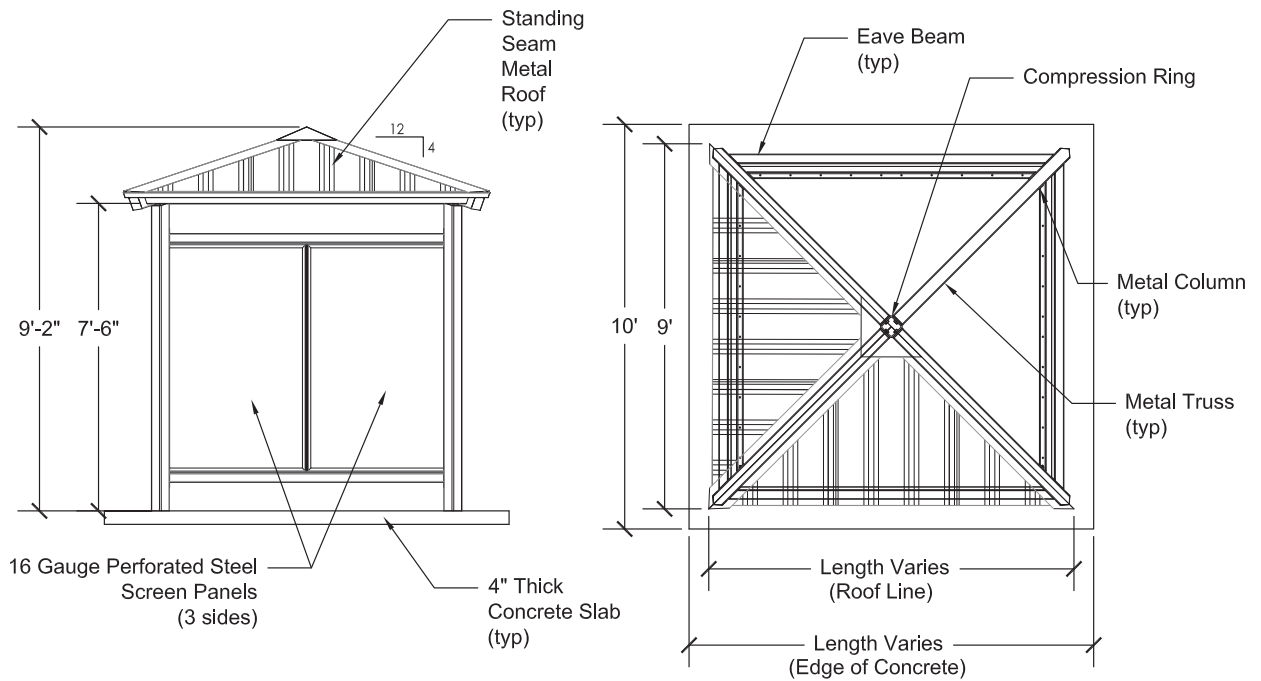
Structural connections shall be made with A325 high-strength bolts and A563 structural nuts, ASTM A307 grade anchor bolts, self-drilling screws and pop-rivets.

METAL ROOF PANEL

24-gauge galvalume roof panel with a Kynar 500 paint finish or similar. The ribs shall be 1-3/16" high and 12" on center. Roof panel coverage shall be 36" wide; all angles shall be factory cut. The ribs shall run with the slope of the building for proper drainage.

ROOF COLOR OPTIONS

Gray



PREFABRICATED "PORTABLE LAVATORY" SHELTER



Portable lavatory at Stumpy Lake Natural Area

DESCRIPTION	Portable lavatory shelters are available in two shapes (square and rectangular). Sizes are 9' x 9' square or 9' x 18' rectangle.
SERVICE STANDARDS	Portable lavatory shelters will only be installed in parks that are designed for two or more hours of experience and do not have permanent restroom facilities on site.
STRUCTURAL FRAMING	Columns, trusses, eave beams and windscreen frames shall be hollow structural sections meeting ASTM A500 grade B. Powder coated and oven cured. Color: "tan"
COMPRESSION TUBE/RING	Compression tube/ring shall be made of structural channel sections or welded plate sections that meet ASTM A36 grade steel.
STRUCTURAL CONNECTIONS	Structural connections shall be made with A325 high-strength bolts and A563 structural nuts, ASTM A307 grade anchor bolts, self-tapping screws and pop-rivets.
VISUAL WINDSCREEN PANELS	Panels shall be individually framed with 16 gauge perforated steel inserts powder coated and located on (3) side of the shelter. Color: "tan"
METAL ROOF PANELS	24 gauge galvanized roof panel with a Kynar 500 paint finish or similar. The ribs shall be 1-3/16" high and 12" on center. Color: "light gray"
FOOTING/ANCHORING SYSTEM	Anchor attachment and footings designs are site and situation specific. Follow manufactures recommended design to meet current city codes.



Shade canopies at the dog park at Red Wing Park

SHADE CANOPY

DESCRIPTION	Shade Canopies are available in a variety of sizes and configurations. The preferred configuration is the T-Cantilever style.
All shade canopies shall comply with the following guidelines and standards:	
All material and fabrication shall comply with the American Society for Testing and Materials (ASTM) guidelines and specifications as related.	
USE	Shade canopies provide relief from the sun installed above bleachers and benches and in areas where little to no shade exists.
STRUCTURAL FRAMING	Columns, rafters, tie-beams, purlins, etc. shall be Hollow Structural Sections (HSS) meeting ASTM A500 grade B. "I" beams tapered columns, open "C" channels, cold-formed box sections or wood products shall not be accepted.
STRUCTURAL CONNECTIONS	Structural connections shall be made with A325 high-strength bolts and A563 structural nuts, ASTM A307 grade anchor bolts, self-drilling screws and pop-rivets.
SHADE MATERIAL	Green
POST COLOR OPTIONS	Black

SECTION ELEVEN

Lighting



Field lights at Bayville Farms Park athletic fields



Area lighting at Littie Island Park Fishing Pier





STREET, PARKING LOT, PATH, AND AREA LIGHTING



Path lighting along Princess Anne Road corridor

DESCRIPTION Lighting standards are chosen based on products available at a reasonable cost, continuously stocked, and easily maintained through Public Works Building Maintenance.

PATH LIGHTING

TYPE Black Shoe Box or Bell Shaped
LAMP LED
POLE 10' or 14' mounting height; round tapered, fiberglass pole; finish dependent upon site

STREET AND PARKING LOT LIGHTING

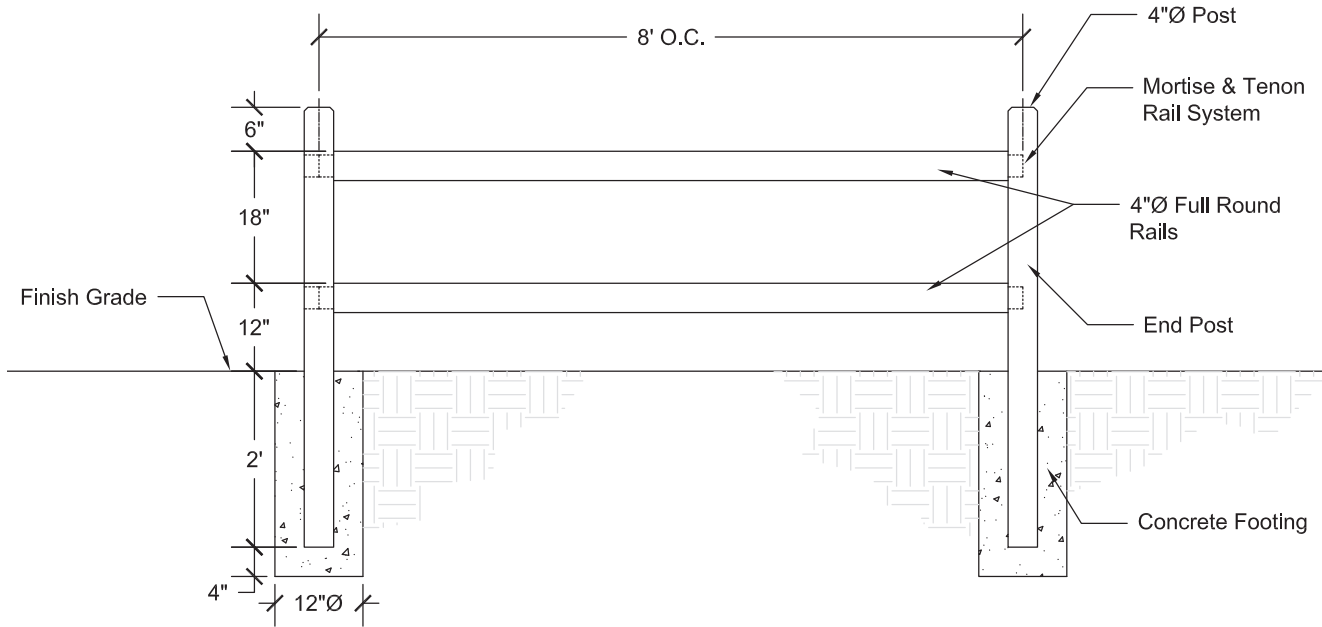
TYPE Cobra Head Flat Lens Lamp: LED
POLE 25' or 30' mounting height; tapered concrete or fiberglass poles with 6' to 12' arms; gray finish

AREA LIGHTING

TYPE Colonial
LAMP LED
POLE 10' or 14' mounting height; round tapered, fiberglass pole; black finish

SECTION TWELVE Fencing

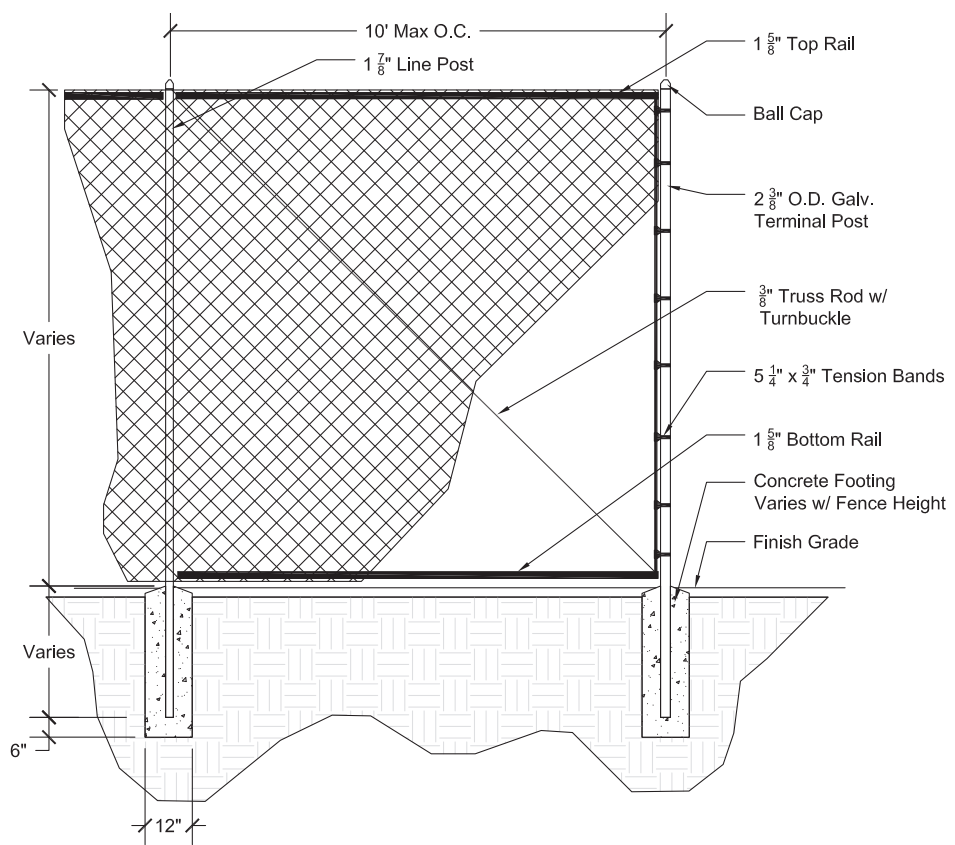




Typical two rail wood fencing at Brigadoon Park (top), Holly Green Park (middle), and with weld-wire feature at Newsome Farm Park (bottom).

TWO-RAIL WOOD FENCING

PRE-INSTALLATION	All new fencing plans and layouts shall be designed by the Planning, Design, and Development Division
HEIGHT	3' Tall
POST	All post shall be 4" diameter by 5' long pressure treated pine that are mortised to accept rail ends and chamfered post top.
RAILS	All rails shall be full round 4" diameter by 8' long pressure treated pine with the ends tapered to form a tenon that will be seated in the mortise of the posts and then fastened using #10d galvanized nails. All nail heads will be left protruding out 1/8" after installation.
FASTENERS	All fasteners/hardware shall be hot dipped galvanized.
FINISH	Fencing materials shall be made from pressure treated pine and shall be left in it natural condition. A weather resistant sealer may be applied if desirable.
FOOTINGS	All posts shall be in cased in concrete as shown in attached details.
THIRD RAIL OPTION	4' tall (3) three full round rail wood fencing to be used in select cases.
OPTIONAL WELD WIRE	Weld wire may be specified to be attached to the inside of the rails for added protection in select cases. For this purpose 36"x2"x4" 14 gauge galvanized weld wire shall be utilized.

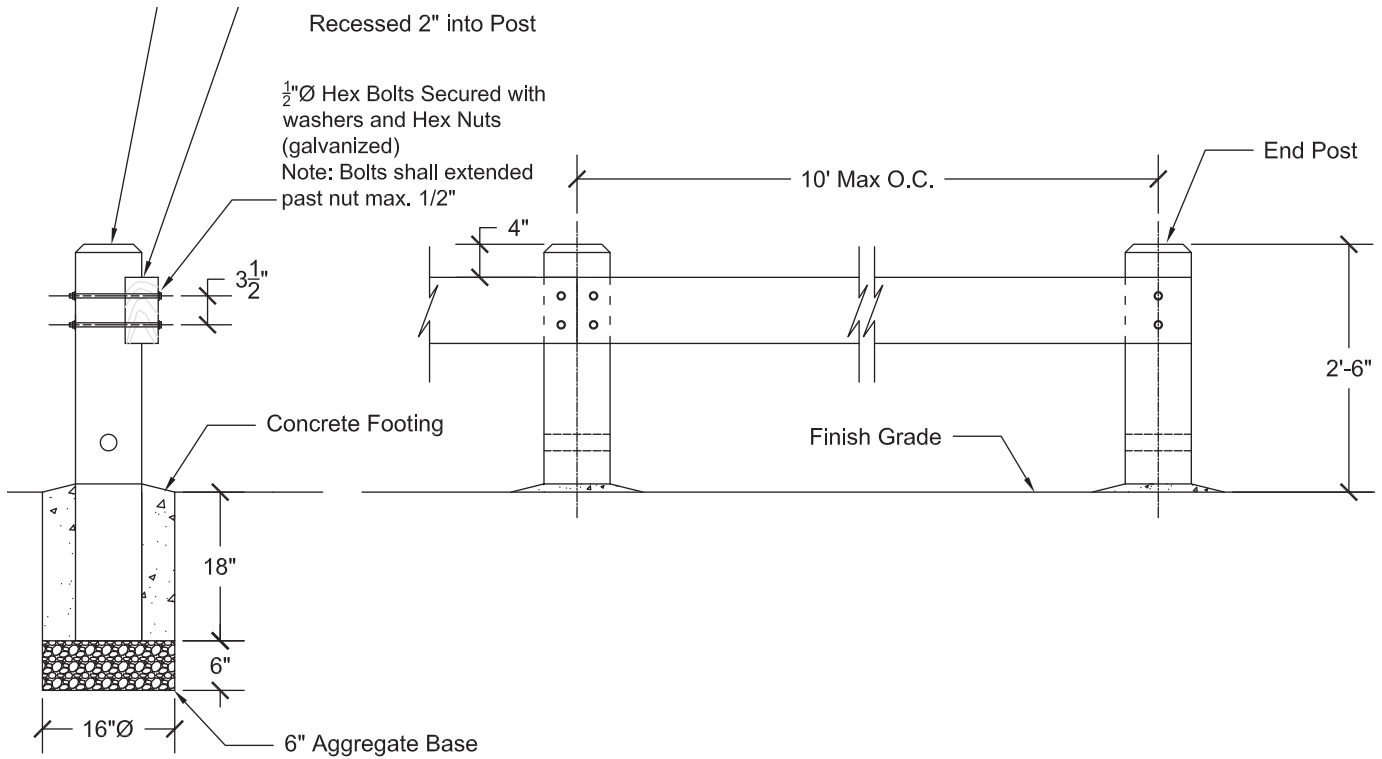


CHAIN LINK FENCE

PRE-INSTALLATION	All new fencing plans and layouts shall be designed by the Planning, Design, and Development Division
TYPE	All security fencing shall be constructed using 4' - 10' tall black vinyl coated chain link fence.
TOP RAIL	1-5/8" O.D. galvanized metal Bottom Rail: 1-5/8" O.D. galvanized metal Line Posts: 1-7/8" O.D. galvanized metal
TERMINAL POSTS	2-3/8" O.D. galvanized metal
FABRIC	9-gauge mesh core minimum
FASTENERS	All fastener hardware will be hot dipped galvanized.
FINISH	Posts, rails and hardware shall be black polyester coating 3- mil color powder electrostatically applied (powder coated). Fence mesh shall be vinyl coated.
FOOTINGS	All footings for post installation will be a minimum depth of 24-inches below finish grade surface.



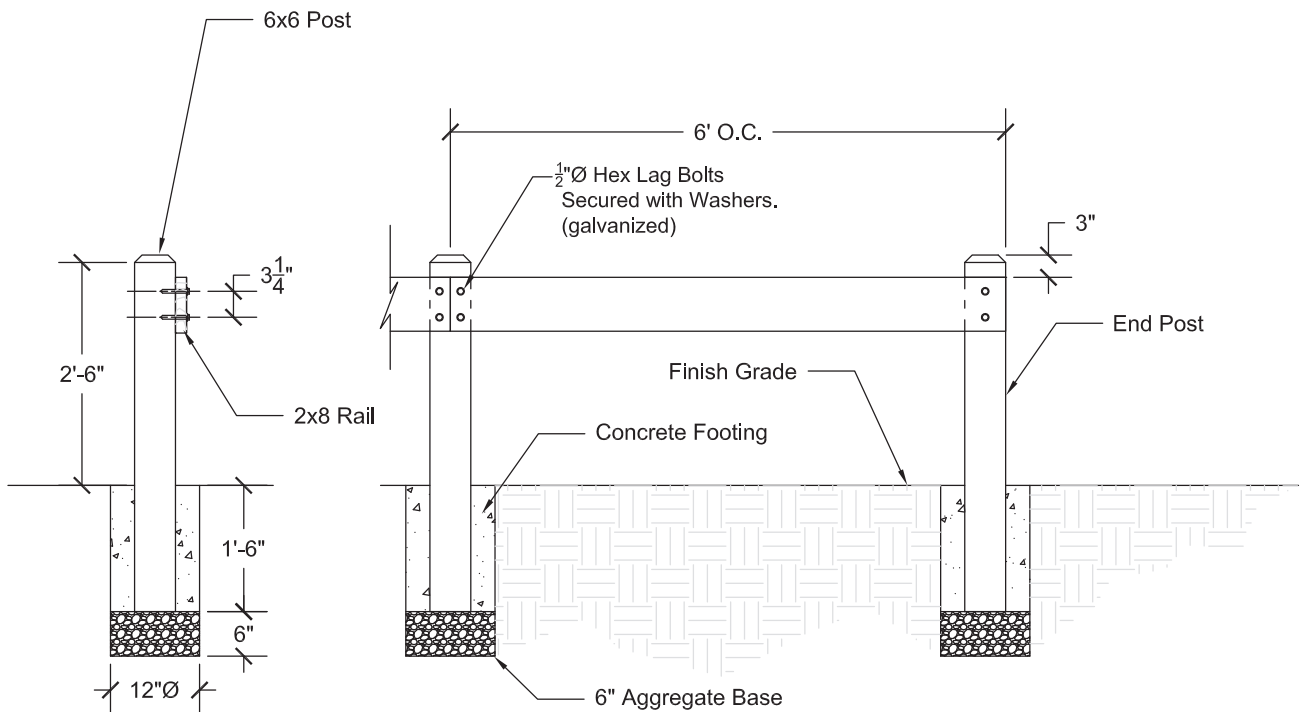
Typical chain link fencing around the ballfields at Salem Woods Park (top) and Lynnhaven Park (bottom).



Typical wood guardrail at Lake Lawson/Lake Smith Natural Area playground

WOOD GUARDRAIL

USE	Wooden guardrails shall be used wherever there is a need to protect a site and pedestrians from vehicular traffic
POSTS	All posts will be 8" x 8" nominal by 4' long pressure treated pine with a chamfered post top.
RAILS	All rails will be 4" x 8" by 10' long pressure treated pine. Fasteners: All fastener hardware will be hot dipped galvanized fasteners.
FINISH	All fencing members will be made from pressure treated pine in accordance with the standards of the American Wood Preservers' Association left in its natural condition.
FOOTINGS	All footings for post installation will be a minimum depth of 24-inches below finish grade surface.
SAFETY	If guardrail is located within 6-feet of road edge, a 2-inch diameter hole shall be drilled through each post 6-inches above grade.



LIGHT WOOD GUARDRAIL

- USE** Wooden guardrails shall be used wherever there is a need to protect a site and pedestrians from light vehicular traffic

- POSTS** All posts will be 6" x 6" nominal by 4' long pressure treated pine with a chamfered post top.

- RAILS** Rails will be 2" x 8" by 6' long pressure treated pine. Fasteners: All fastener hardware will be hot dipped galvanized fasteners.

- FINISH** All wood materials will be made from pressure treated pine in accordance with the standards of the American Wood Preservers' Association left in its natural condition.

- FOOTINGS** All footings for post installation will be a minimum depth of 24-inches below finish grade surface.

- SAFETY** This light guard rail shall not be used along road edges. This guard rail should only be used within the interior areas of a park.



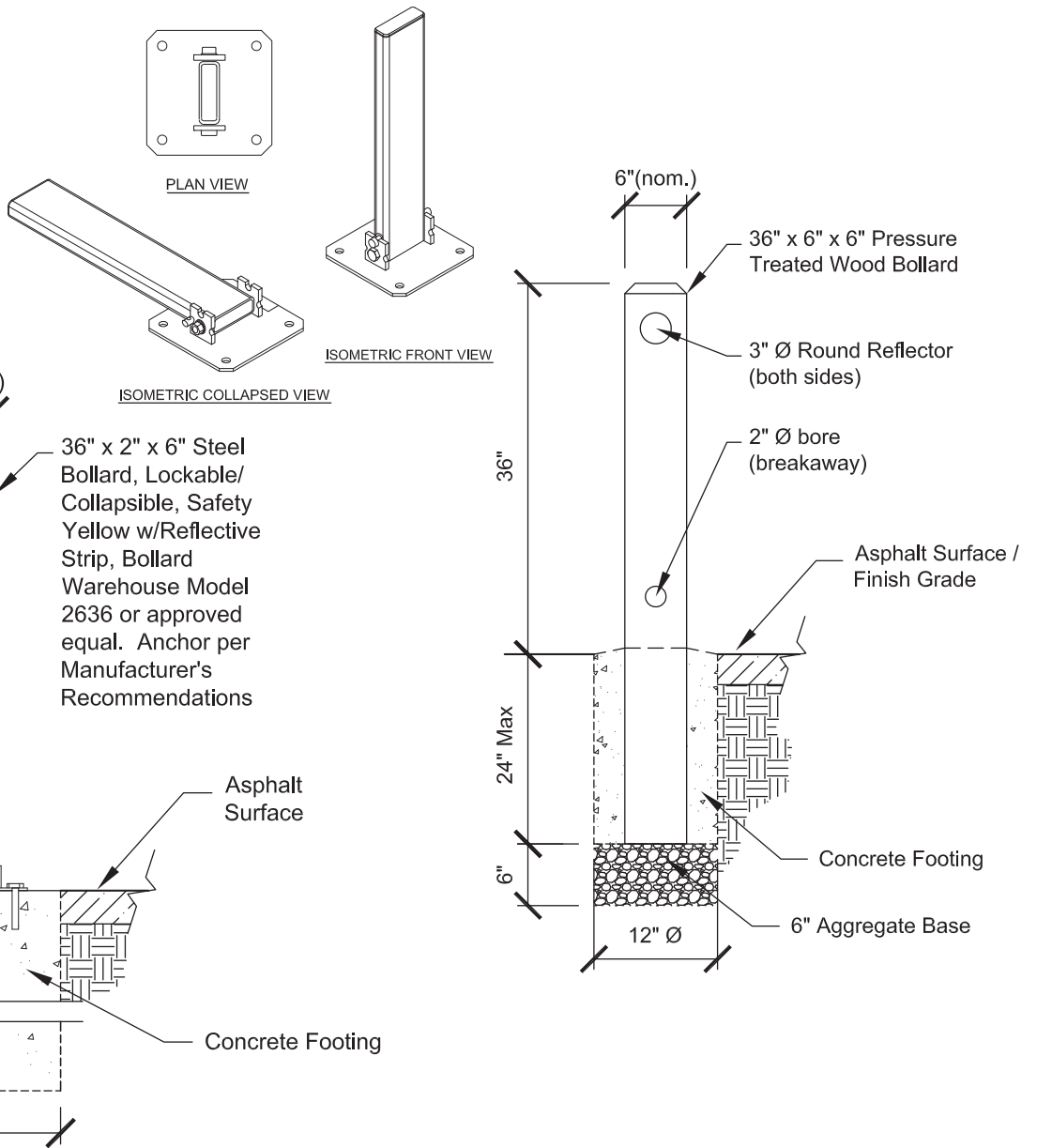
Light wood guardrail at Little Island Park

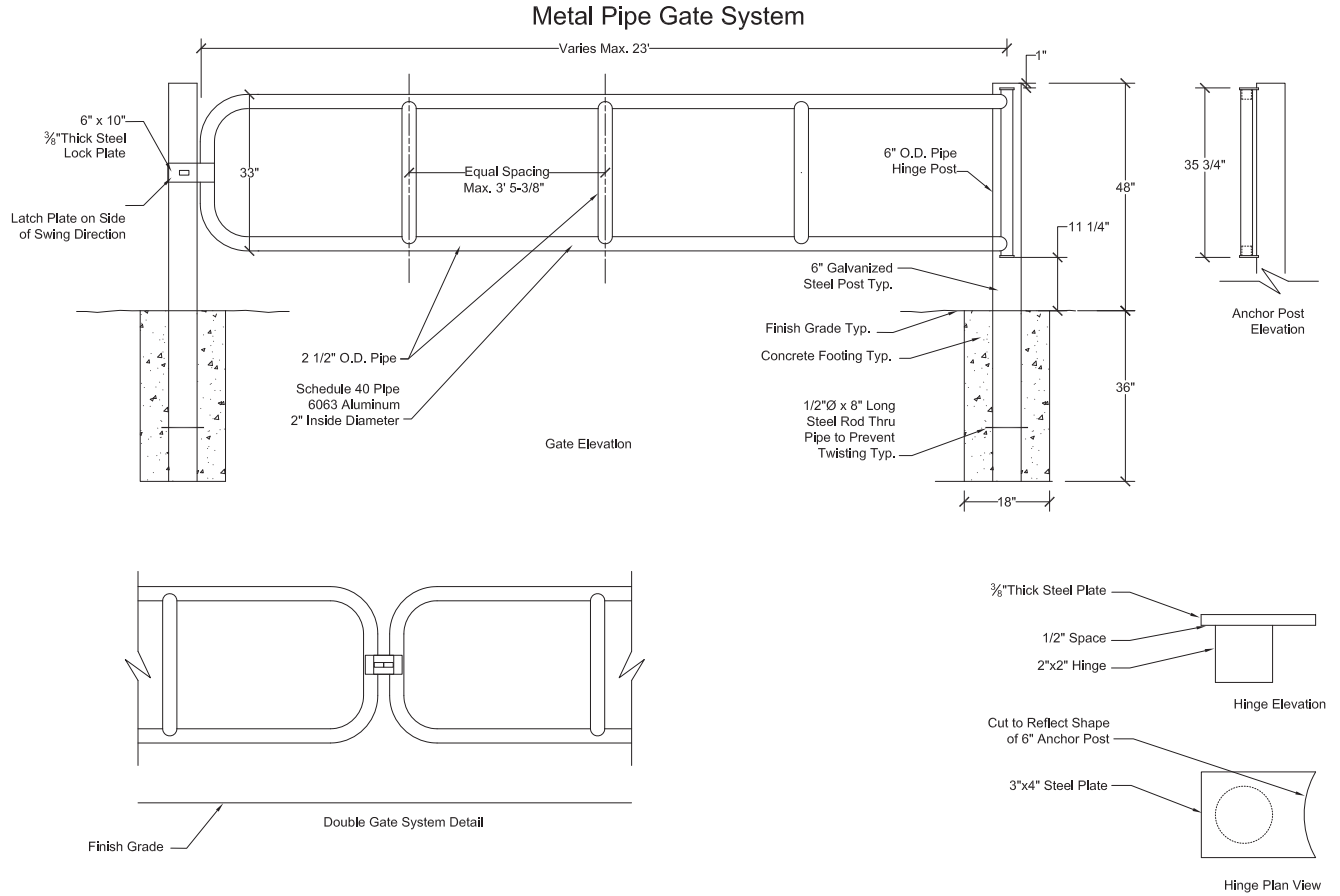


Typical metal-collapsible bollard (top) and wooden bollard (bottom)

BOLLARD

- USE** Metal collapsible bollards are used where occasional and/or emergency vehicular access is desired. Wooden bollards are stationary and non-removable.
- MATERIAL** Wooden or powder-coated steel
- POSTS** All posts shall be similar to the drawing above, no round posts are acceptable.
- FASTENERS** All fastener hardware will be hot dipped galvanized fasteners. All bollards shall be fastened to concrete.
- FINISH** Metal bollards shall be powder coated; wooden bollards shall be pressure-treated.





ENTRANCE GATES



Typical metal entrance gate at West Neck Creek Natural Area

- USE** For use where access is to be restricted. If gate opening is larger than 23' a twin gate system is required
- MATERIAL** All gate pipe shall be schedule 40 6063 Aluminum
- POSTS** 6" gate stop post, 6" anchor post, hinges, locking plate shall be made of galvanized steel. Hinge post and anchor post shall be capped with steel plate welded to pipe and reflect shape of post
- FASTENERS** All fasteners hardware shall be hot dipped galvanized and all welds shall be continuous and ground down to be free of all protrusions
- FINISH** Hinges, locking plates and welds to receive one coat of primer (galvanized color)

SECTION THIRTEEN Signage



SIGNAGE

General Standards

DESCRIPTION

Signs are an important element in a park system. They identify, inform, regulate, protect, and educate. The goal for these standards is to establish consistency throughout the Virginia Beach park system, reduce the overall number of signs placed at park sites, and develop easily recognizable sign panels that efficiently relay the necessary information. For the purposes of this document, signs have been broken out into two main categories: informational signage and regulatory signage.

- Informational signs include three sub-categories: entry or identification signage, way finding signage, and educational signage.
- Regulatory signs include two sub-categories: standard MUTCD Manual of Uniform Traffic Control Devices signs, and site specific warnings and regulation signage.

SITE SIGNAGE PLAN

As new park sites are being developed, a site signage plan shall be an integral part of the site's development. The plan shall identify the location and design of all site signage. Additionally, for developed sites that are becoming overrun with the addition of numerous signs over the years Planning, Design & Development shall evaluate all new signage and develop site signage plans.

MULTIPLE SIGNS

The placement of multiple signs on fences, trees, light poles, etc. is prohibited.

LANDSCAPING

All entry or identification signage shall be planted at the base. A minimum of a 75 square foot planting bed shall be utilized; all plans shall be reviewed by Landscape Architect.

GRAPHIC COMPONENTS

Several graphic components make up the building blocks for the Virginia Beach sign program. These components are used in specific ways to simply and effectively communicate consistently throughout the park system. They are listed here and then further discussed below and on the following pages.

TYPOGRAPHY

FONT TYPE

Times New Roman - Type face utilized on all signs for the park name
Sans Serif - Type face utilized on all signs for other supportive text located on the sign

FONT STYLE

The utilization of both upper and lower case letters increases the legibility of text and is standard for all signs.

FONT HEIGHTS

Heights of the dominating text shall be either 5", or 6". In general, most neighborhood park signs will utilize 5" tall letters and larger community and signature parks shall utilize 6"-10" tall letters depending on the surrounding environment and sign placement. The size of all other graphic components will be based off of the font size of the dominating text.

CITY SEAL

MATERIAL

Seals can be manufactured in a variety of materials and methods.

COLOR

The full color version shall be utilized for all signs. On dark backgrounds the seal shall be outlined with a thin black line.



ENTRY SIGNAGE

Entry signage at Providence Park and marquee signage at Red Wing Park

DESCRIPTION	Heights of the dominating text shall be 5" or 6". In general, most neighborhood park signs will utilize 5" tall letters and larger community and signature parks shall utilize 6" tall letters. The ultimate determination of letter height shall be based on the surrounding environment, the signs' placement and the viewing distance. The size of all other graphic components will be proportionally related to the length of the name and spacing from the edge. For long park names, the use of two lines is recommended. The following depicts the graphic layout for entry signs.
SIGN PANEL MATERIAL	All sign panels are to be HDPE recycled plastic. (Green/White/Green)
SIGN PANEL COLORS	Green (Pantone # 342 C) Background shall have white letters and graphics; double sided, flush-mounted Virginia Beach City seal.
SIGN BASE /SUPPORT STRUCTURE	Signs shall be either post mounted at the ends with chamfered tops or attached to a base monument structure.
POST MOUNTED SIGNS	6" x 6" recycled plastic post. Recycled plastic posts shall be gray in color with 1" chamfered top.
MONUMENT BASE SIGNS	Monument style bases shall reflect the character of the site. (i.e. Split Face Block and Brick)
LANDSCAPING	All entry or identification signage shall be planted as the base. A minimum of a 75 square foot planting bed shall be utilized; all plans shall be reviewed by Landscape Architect.
SITE ADDRESS	The site's numerical address shall be located on the entry sign.
MARQUEE SIGNS	Marquee signs shall be used at designated special use and large parks where advertising is needed regularly. Support structure shall be made of brick or split face block.



Typical interpretive educational signage at Lake Lawson/Lake Smith Natural Area and at Princess Anne Commons Gateway Park

EDUCATIONAL SIGNAGE

FORMAT	Header shall occupy approximately 1/8 of the panel height. The dimensions of the sign are typically 2'x3'.
SIGN PANEL	Exterior grade high-pressure laminate fused with anti-UV layers and graffiti resistant technologies
HEADER COLOR	Green (Pantone 342C) background with white letters and Virginia Beach City seal
SIGN BASE/SUPPORT STRUCTURE MATERIAL	Support structure shall be constructed out of high strength aluminum extrusion powder coated black.
SIGN BASE/SUPPORT STRUCTURE COLOR	Flat black
SIGN BASE/SUPPORT STRUCTURE SIZE	3"x3" 1/8" square steel posts. Posts are to be 30" tall plus a 24" extension on a 45° angle
SIGN PLACEMENT	Signs shall be located on either a paved or decked surface adjacent to a walkway or public space surface mounted with ADA connectivity.



Wayfinding signage at Princess Anne Athletic Complex

WAY FINDING SIGNAGE

DESCRIPTION	Heights of the dominating text shall be either 2"-5", although the size will also depend on the site and the viewing distance. The size of all other graphic components will be proportionally related to the height of the text.
SIGN PANEL	Aluminum is the standard panel material
COLORS	Green (Pantone 342C) or Blue (Pantone 7706C) background with white letters and graphics.
SIGN SUPPORT STRUCTURE	All way finding signs 12" wide or less shall be post mounted on a 2"x2" metal post and a 6"x6" recycled plastic post for over 12" wide signs
SIGN SUPPORT MATERIAL	6" x 6" recycled plastic post for park related regulation signs and 2" x 2" metal posts for traffic and other regulatory signs. Recycled plastic posts shall be gray in color and have 1" chamfered top. Signs can also be mounted to structures.
SIGN PLACEMENT	Along roadways, the height to the bottom of the sign shall be a minimum of 5-feet. Along walkway and trails, height to the bottom shall be between 4-feet and 5-feet.



Regulatory signage at Princess Anne Commons Gateway Park (left) and at Lake Lawson/Lake Smith Natural Area (right)

REGULATORY & WARNING SIGNS

GRAPHIC STANDARD SYMBOLS

Nationally recognized graphic symbols shall be used whenever possible to relay information. Recreational symbols can be found in the Manual of Uniform Traffic Control Devices (MUTCD), "Recreational and Cultural Interest Signs."

Where an activity is prohibited, the standard red circle with slash shall be utilized.

DIRECTIONAL ARROWS

Standard MUTCD directional arrows shall be utilized.

GRAPHIC COMPONENTS

DESCRIPTION

All signs shall conform to MUTCD; The Manual of Uniform Traffic Control Devices or MUTCD defines the standards used by road managers nationwide to install and maintain traffic control devices on all streets and highways. The MUTCD is published by the Federal Highway Administration (FHWA).

SIGN PANEL

Aluminum

SUPPORT POSTS MATERIAL

Posts shall be 2" x 2" break-a-way metal posts.

OTHER REGULATORY - INDIVIDUAL

TEXT HEIGHT	Heights of the text shall be 1"-2", although, the size may vary slightly depending on the site and the viewing distance. The size of all other graphic components will be proportionally related to the height of the text.
TEXT STYLE	San Serif
SIGN PANEL	Aluminum
HEADER COLOR	Green (Pantone 342 C) background with white letters and City seal
SIGN PANEL COLOR	White with black letters
SIGN SUPPORT MATERIAL	For signs over 12" use: 6"x6" recycled plastic post. Recycled plastic posts shall be gray in color and have 1" chamfered top. For signs under 12" use: 2"x2" metal post
LOCATION	Signs shall be located at the entrance to the facility on either a paved or decked surface adjacent to a walkway or public space.

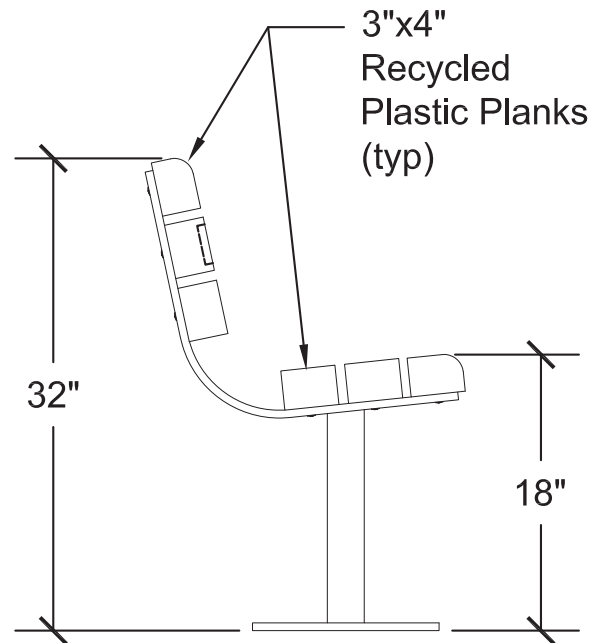
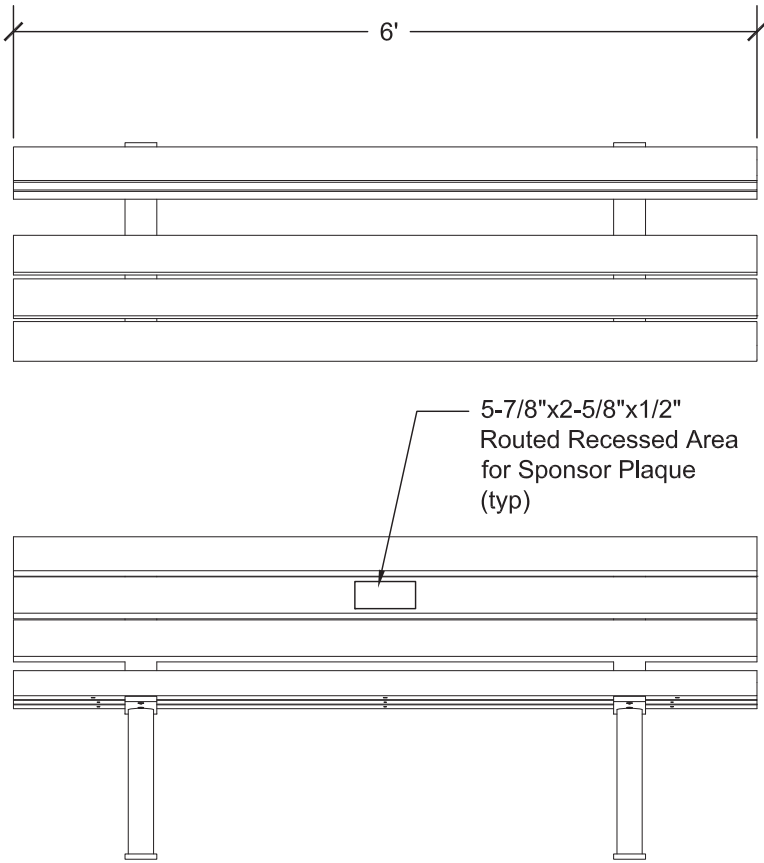
OTHER REGULATORY - COMBINED

TEXT HEIGHT	Heights of the text shall be 1"-2", although, the size may vary slightly depending on the site and the viewing distance. The size of all other graphic components will be proportionally related to the height of the text.
TEXT STYLE	San Serif
SIGN PANEL	Aluminum
HEADER COLOR	Green (Pantone 342 C) or red (Pantone 187 C) background with white letters and graphics
SIGN PANEL COLOR	White with black letters
SIGN SUPPORT STRUCTURE	Individual regulatory signs shall be post mounted.
SIGN SUPPORT MATERIAL	For signs over 12" use: 6"x6" recycled plastic post. Recycled plastic posts shall be gray in color and have 1" chamfered top. For signs under 12" use: 2"x2" metal post
LOCATION	Signs shall be located at the entrance to the facility on either a paved or decked surface adjacent to a walkway or public space.

SECTION FOURTEEN

Site Furnishings





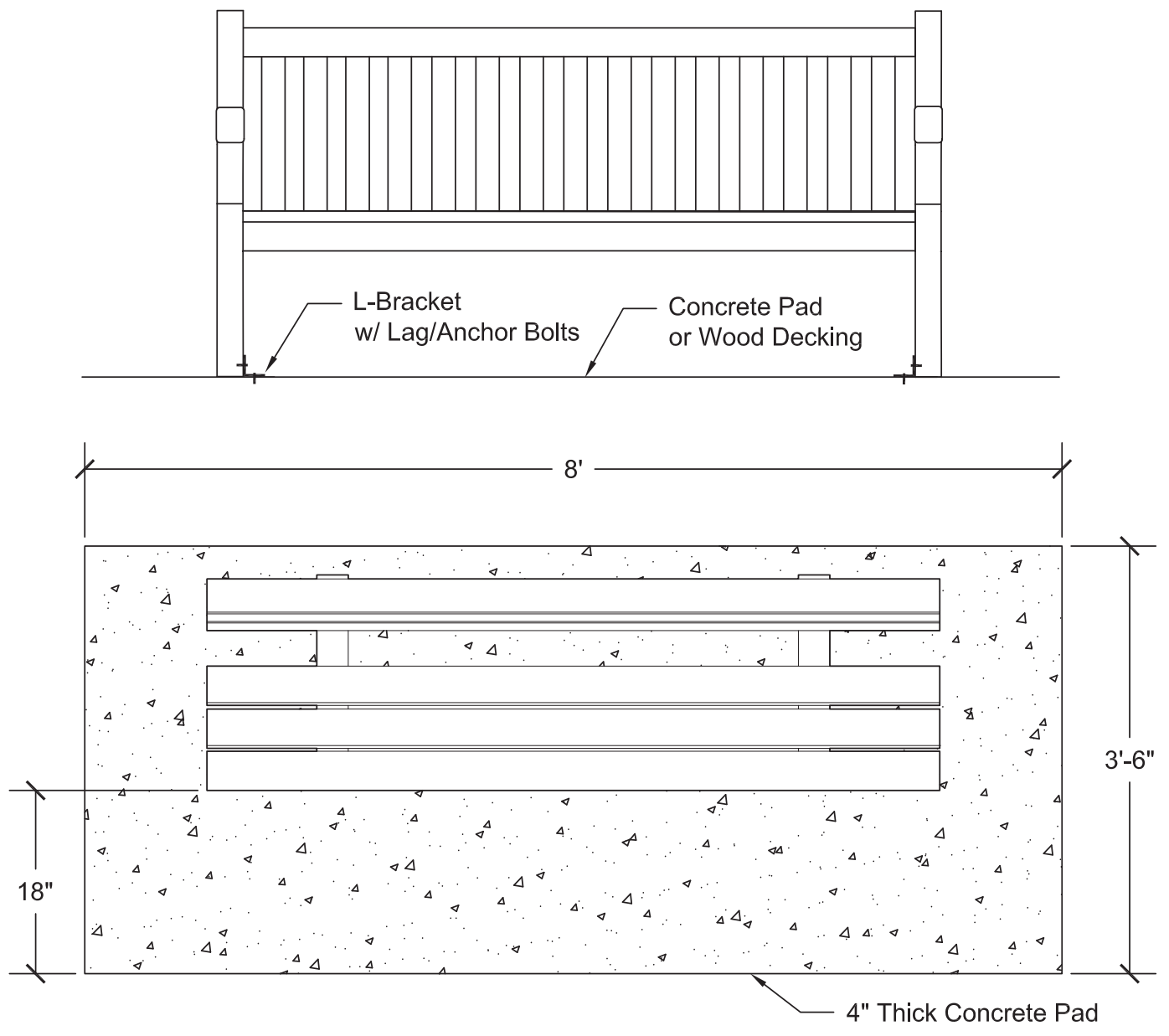
Recycled plastic benches at Munden Point Park

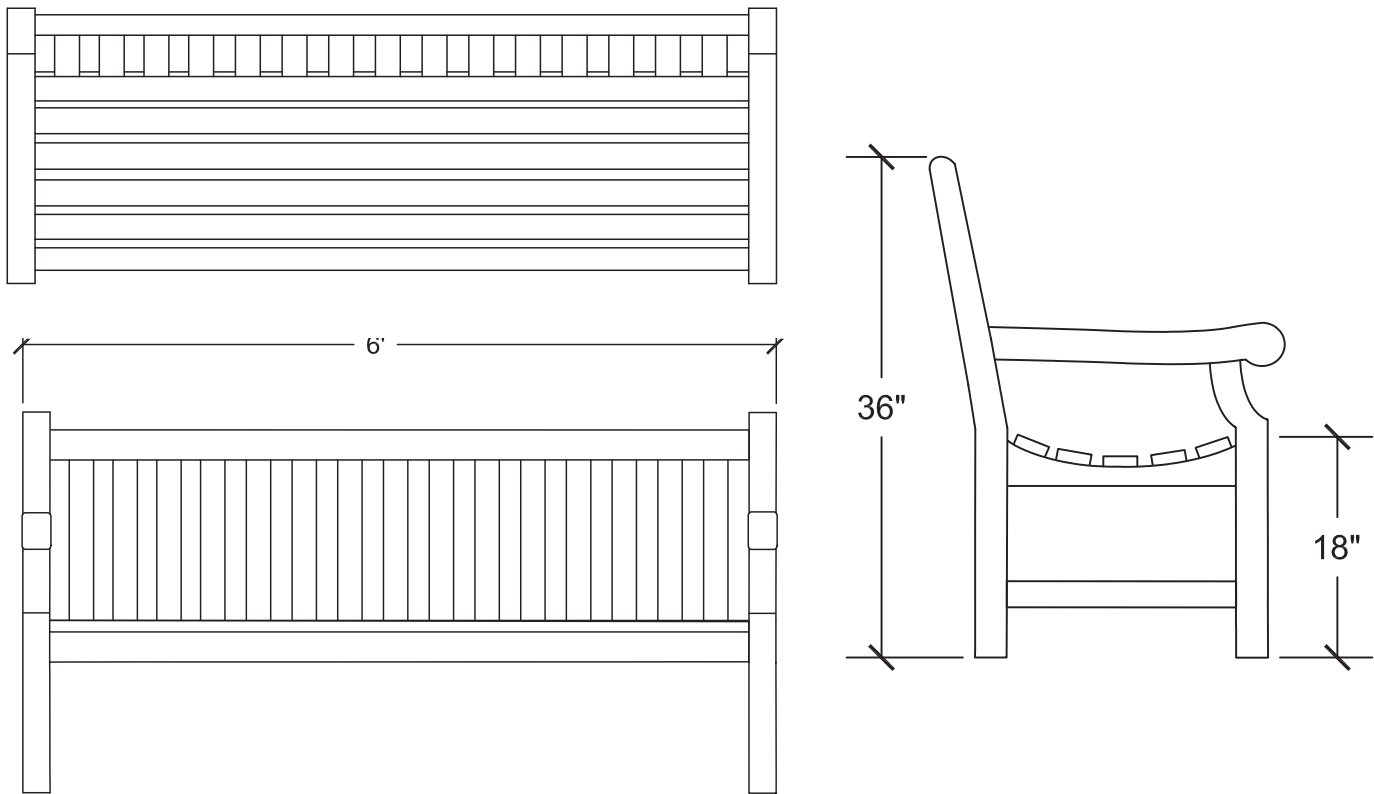
BENCH

6' LONG RECYCLED PLASTIC BENCH

STANDARD COLOR	Dark Green or Similar
LOCATION	All benches (outside of play-systems) shall be located on a min. 3'-6" x 8' concrete pad directly connected to an adjacent pedestrian walkway.
FRAMES	Frames shall be made of 3" O.D. support pipe. All MIG welded frame. Bracing shall be made of 3" x 1/2" flat steel bar. All framing shall be powder coated (black).
PLANKS	All seats and backs shall be 3" x 4" recycled plastic planks. (Dark green)
MOUNTING	All benches outside of the borders of a play-system will be surface mounted. All benches within the play-system borders shall be in-ground mounted.
FASTENERS	All hardware will be zinc plated.
DEDICATIONS	Plaques may be attached to the back portion of the bench in a recessed routed area. A City of Virginia Beach program called "Bench Buddies" through the Virginia Beach Parks & Recreation Foundation, will coordinate the purchasing and installation of these dedication plaques.

BENCH INSTALLATION





Teak bench at Beach Garden Park

6' LONG TEAK BENCH

LOCATION	All benches shall be located on a min. 3'6" x 8' concrete pad directly connected to an adjacent pedestrian walkway. This type of bench is also preferred near the ocean and mounted on wooden decks and piers.
MATERIALS	100% kiln dried solid teak wood.
FINISH	Teak benches should be allowed to weather naturally.
FASTENERS	All hardware will be hot dipped galvanized.
TYPE	The all teak wood bench shall be used, as approved, for special or unique situations.
LENGTH	6 feet
WOOD MATERIAL	100% kiln dried solid teak wood
JOINERY	Teak benches shall be manufactured with tightly fitting mortise and tenon joinery.
FINISH	Teak garden furniture shall be extremely smooth to the touch with no rough edges. Teak benches shall be allowed to weather naturally.

BIKE RACK

DESCRIPTION	All bike racks shall be made of aluminum. Various lengths are available to accommodate the needs of different sites.
FRAME	1-5/8" steel pipe frame with 1" galvanized tubing. Bike racks are available in a variety of sizes ranging from 5' to 10'.
LOCATION	Locate bike racks in the vicinity of the activity areas of the park facility. It is essential the racks be visible from areas such as entries, offices, recreation rooms, ball fields, and play areas so that security will be maximized at all times. If lighting is available, locate racks nearby.
INSTALLATION	All bike racks shall be placed on and secured to a 12' x 12' (maximum) pad that is installed flush with surrounding grades on all sides. Extend pad in all directions around the racks so that mowing can be accomplished around racks and bicycles. Generally, 4" cast in place concrete slabs shall be installed except where asphalt, crushed rock or other paving method is approved through the design review process.



Bike rack at Princess Anne Commons Gateway Park

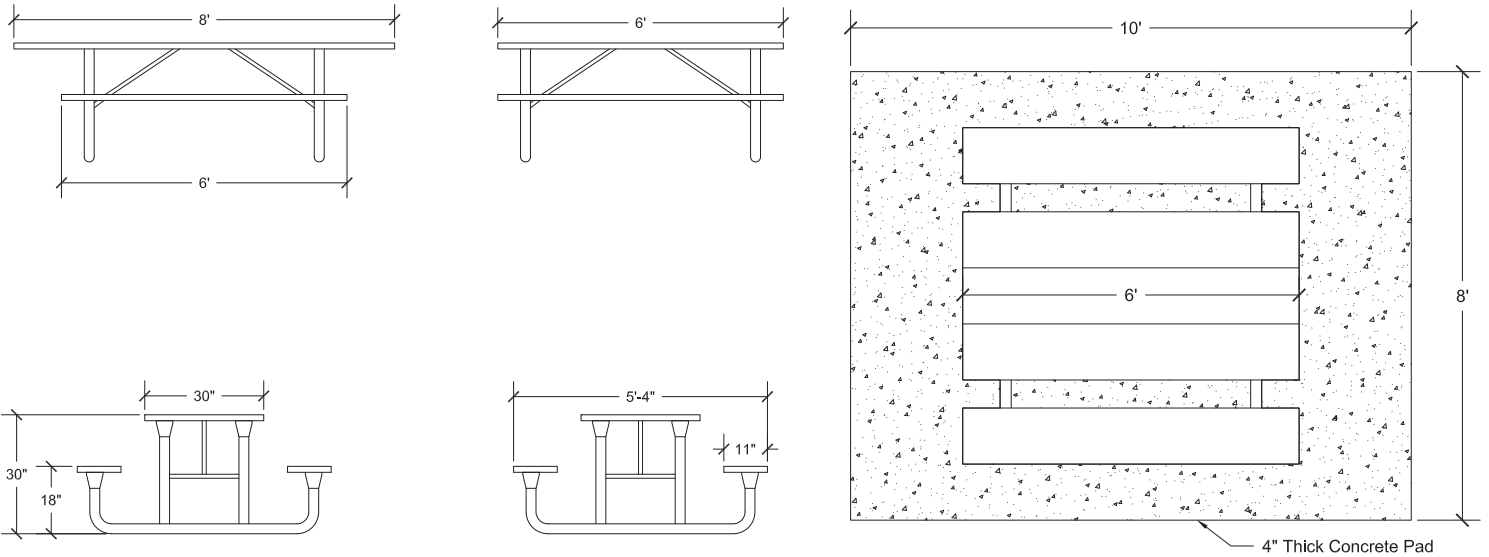
GRILL

DESCRIPTION	All park grills are manufactured in-house by park maintenance staff. Three grill size options are available depending on the intended location. A utility shelf is standard for both the medium and large size grills.
LOCATION	Grills shall be conveniently located to picnic tables/shelters but away from overhangs, low branches, eaves, or other overhead obstructions. A minimum clear space of 5-feet shall extend in all directions. Place grills at a safe distance from foot traffic and play areas.
INSTALLATION	All grill posts shall be surface mounted. Ground space dimensions of the pad shall at a minimum allow for a 3-foot standing area in front of the grill. Generally, 4-inch cast in place concrete slabs shall be installed except where asphalt, crushed rock, decking, or other paving method is approved. A minimum clearance of 27-inches shall be maintained between the finished grade and the bottom of the firebox.
SIZE	Small - 280 square inch cooking surface Medium - 532 square inch cooking surface Large - 900 square inch cooking surface
FIREBOX	1/4" side steel plate with integral slots to allow grate to be adjusted to different heights; 12" high firebox walls
GRATE	1/2" round steel bars welded on 1" centers
HANDLES	5/8" round steel bars welded through the sides of the firebox to prevent grate removal; coiled wire hand grips
PEDESTAL	The medium and large grills are stationary. The mini grill rotates 360 degrees.
FINISH	Non-toxic heat-resistant flat black enamel



Park grill at Woodstock Park

PICNIC TABLES & INSTALLATION



Picnic tables at Lake Lawson/Lake Smith Natural Area

PICNIC TABLE

DESCRIPTION	Picnic tables are either regular 6' long or 8' long ADA compliant. Tables are portable and surface mounted to concrete pads.
MATERIALS	Aluminum table tops and seat boards with either aluminum or galvanized frames
FINISH	Anodized aluminum
FASTENERS	All mounting hardware to be corrosion resistant stainless steel
INSTALLATION	All tables shall be placed on and secured to a pad with ground space dimensions not less than 10' long and 9' wide, 12.5' long by 9' wide for 8' accessible tables. Generally, 4" cast in place concrete slabs shall be installed except where asphalt, crushed rock, decking, or other paving method is approved. ADA picnic tables shall be located/placed to meet all ADA standards for accessibility.
FASTENERS	All hardware will be corrosion resistant stainless steel fasteners or hardware.

TRASH RECEPTACLE

RECEPTACLE STYLE (1)

SITE	Neighborhood Park
TYPE	Recycled metal drum
USE	Trash can standard for most circumstances in neighborhoods
SIZE	55-Gallon
FINISH	Green
OPTIONS	Receptacle enclosure (dark green or gray)
INSTALLATION	<p>All trash receptacles shall be placed on a pad with ground space dimension not less than 3' long and 3' wide and secured with a galvanized chain system.</p> <p>Generally, 4" cast in place concrete slabs shall be installed except where asphalt, decking, or other paving method is approved through the design review process.</p>



RECEPTACLE STYLE (2)

SITE	Signature, Metro, Community and Special Use Facilities
TYPE	Hooded recycled plastic "square" side door access and lockable
USE	Exterior trash receptacle standard for Signature, Metro, Community and Special Use Facilities
SIZE	32- or 52-Gallon
FINISH	Black
OPTIONS	Single plastic liners
INSTALLATION	<p>All trash receptacles shall be placed on and secured to a concrete pad minimum 3' x 3' x 4"</p> <p>Generally, anchored on concrete, but may be anchored on asphalt, wood decking or other paving materials as approved through the design review process.</p>



Typical recycled metal drum trash receptacle at a neighborhood park (above); hooded recycled plastic trash receptacle at Princess Anne Commons Gateway Park (immediately above)



Exterior trash receptacle at Bow Creek Recreation Center

RECEPTACLE STYLE (3)

SITE	Special Use Community Recreation Centers
TYPE	Powder-coated steel “round” with rain bonnet. Side door access and lockable with plastic liner
USE	Exterior trash receptacle standard for Special Use Community Recreation Centers and Special Use Facilities
SIZE	36-Gallon
FINISH	Bronze
OPTIONS	Single or split plastic liners
INSTALLATION	All trash receptacles shall be placed on and secured to a concrete pad minimum 3’ x 3’ x 4” Generally, anchored on concrete, but may be anchored on asphalt, wood decking or other paving materials as approved through the design review process.



Pet waste dispenser at Princess Anne Commons Gateway Park

PET WASTE DISPENSER

USE	Dog waste bag dispensers are to be utilized for encouraging pet owner’s to clean up after their pets.
MATERIALS	Dog waste bag dispensers are made of powder-coated galvanized steel
OPTIONS	The dispenser may be stocked with two boxes (400 total) of biodegradable bags, or where deemed appropriate a neighborhood may supply bags as directed by operational and maintenance staff members.
INSTALLATION	Dispensers shall be attached using stainless steel fasteners to 2” x 2” standard metal posts. Installation shall be located directly next to a trash enclosure at all times. Should be located to accommodate ADA compliance.



VIRGINIA BEACH PARKS & RECREATION
PLANNING, DESIGN & DEVELOPMENT DIVISION

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AGENDA ITEM SUMMARY FORM

MEETING DATE: 6/14/2021

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion and possible action on park land use for future park development.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

Staff is moving forward with various action items within the Comprehensive Parks and Recreation Master and Strategic plan including addressing low scoring park components, increase programming and revenue, as well as renovating substandard facilities. Some of the parks in need of attention are the Municipal Pool, Reuben Welch Park, Veterans Park, Officer Cash Memorial Dog Park, and the Angleton Recreation Center.

Municipal Pool - ACTION 3.4.A. - Conduct feasibility study to improve outdoor water access in the city. This could include updates to existing outdoor pool location or other potential properties. (Short to midterm) Municipal Pool - Assessed as "Totally Unusable" Replace Municipal pool with splash pad Outdoor water access is lacking, and this can be addressed through a possible renovation of the outdoor municipal pool into a splash pad or the establishment of splash pads in key areas such as the South side of the city and the Recreation Center.

Staff is, also, working the local American Legion Chapter for a potential land donation to provide a larger park on the south side of town. This collaboration is still in the infancy stage.

Veterans Park - Bushy Bayou Park, Reuben Welch Park, and Veterans Park are the least-used facilities. **ACTION 4.** - Expand and enhance Veterans Park 4.1. - Acquire additional land to expand the park into the existing parking lot west of Veterans Park using Angleton better Living Corporation (ABLC) and/or other funding. 4.2. - Retain a landscape architect to conduct a needs assessment and prepare a programming plan 4.3. - Conduct community engagement to determine programming needs for the park.

Reuben Welch Park - **ACTION 4.1.c.** - Consider site specific Master Plan for Rueben Welch to address additional fields as demand increases or for use as a large gathering space (amphitheater).

Diamond fields - Generally overgrown, rusty fence, does not appear to be in use; currently unusable due to lack of fencing Concessions -Abandoned and recently demolished Bushy Bayou Park, Reuben Welch Park, and Veterans Park are the least-used facilities. Site specific plans should be developed for Dickey and Bates parks as well as Rueben Welch to address more programming space and improving level of service for residents.

Officer Cash Memorial Park - ACTION 3.8.a - Consider improvements to the current dog park areas: Entrance/access (new location away from shelter/south side along Kiber Street), Additional features (shade structures, trees, etc.), Add water source for dogs, Parking, Other areas to enhance park ACTION 3.8.b - Consider a Master Plan to locate a second park and take the opportunity to plan with input from dog park users.

Steven Sebok has provided input regarding dog park amenities that should be considered during the concept planning stage of park development. These recommendations are included in the packet.

Angleton Recreation Center - ACTION 2.8.c - Reevaluate use of space in recreation center to improve programming and provide additional opportunities ACTION 3.5.a - Consider best use of space indoors for recreation center and opportunities for use of partner facilities. ACTION 3.13.a - Evaluate and consider the best options to improve and increase level of service through possible expansion to include: Additional seating for entranceway, Additional room for programmed exercise classes, Commercial/teaching kitchen, Babysitting space, Indoor walking track, Outdoor splash pad, Outdoor loop trail, Outdoor fitness court.

Staff has spoken to ABLC regarding plaza improvements that could assist with additional rental revenue. Staff will take a more solidified recommendation to ABLC next week before proceeding with this renovation project.

RECOMMENDATION:

Staff recommends the Parks & Recreation Board provide direction on park amenities for the Municipal Pool, Veterans Park, Reuben Welch Park, Officer Cash Memorial Park, and the Angleton Recreation Center.

FUTURE PARK DEVELOPMENT



MUNICIPAL POOL

SPLASHPAD & PLAYGROUND

COMPREHENSIVE PARKS & RECREATION MASTER AND STRATIGIC SUPPORT

- **ACTION 3.4.A. - Conduct feasibility study to improve outdoor water access in the city. This could include updates to existing outdoor pool location or other potential properties. (short to mid term)**
 - **Municipal Pool - Assessed as "Totally Unuseable"**
 - **Replace Municipal pool with splash pad**
 - **Outdoor water access is lacking, and this can be addressed through a possible renovation of the outdoor municipal pool into a splash pad or the establishment of splash pads in key areas such as the South side of the city and the Recreation Center**



VETERANS PARK

AMPHITHEATRE & PLACEMAKING



COMPREHENSIVE PARKS & RECREATION MASTER AND STRATIGIC SUPPORT

- Bushy Bayou Park, Reuben Welch Park, and Veterans Park are the least-used facilities.

LIVABLE CENTERS STUDY SUPPORT

- **ACTION 4.** - Expand and enhance Veterans Park
 - 4.1. - Acquire additional land to expand the park into the existing parking lot west of veterans park using Angleton better Living Corporation (ABLC) and/or other funding.
 - 4.2. - Retain a landscape architect to conduct a needs assessment and prepare a programming plan
 - 4.3. - Conduct community engagement to determine programming needs for the park.



WELCH PARK

BMX BIKE PARK

COMPREHENSIVE PARKS & RECREATION MASTER AND STRATIGIC SUPPORT

- ACTION 4.1.c. - Consider site specific Master Plan for Rueben Welch to address additional fields as demand increases or for use as a large gathering space (amphitheater).
 - Diamond fields - Generally overgrown, rusty fence, doesn't appear to be in use; currently unusable due to lack of fencing
 - Concessions -Abandoned and recently demolished
- Bushy Bayou Park, Reuben Welch Park, and Veterans Park are the least-used facilities.
- Site specific plans should be developed for Dickey and Bates parks as well as Rueben Welch to address more programming space and improving level of service for residents.



OFFICER CASH MEMORIAL DOG PARK

EXPANSION OF OUTSIDE AMENITIES

COMPREHENSIVE PARKS & RECREATION MASTER AND STRATIGIC SUPPORT

- ACTION 3.8.a - Consider improvements to the current dog park areas: Entrance/access (new location away from shelter/south side along Kiber Street) , Additional features (shade structures, trees, etc.), Add water source for dogs, Parking, Other areas to enhance park
- ACTION 3.8.b - Consider a Master Plan to locate a second park and take the opportunity to plan with input from dog park users.



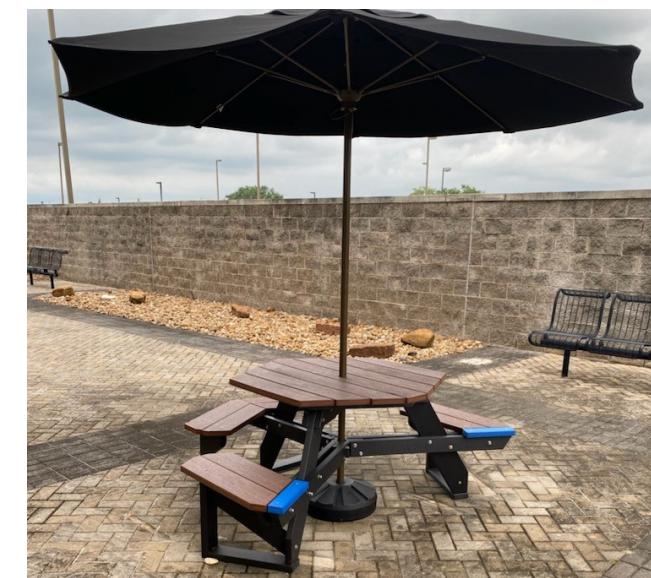
ANGLETON REC CENTER

EXPANSION OF OUTSIDE AMENITIES



COMPREHENSIVE PARKS & RECREATION MASTER AND STRATIGIC SUPPORT

- ACTION 2.8.c - Reevaluate use of space in recreation center to improve programming and provide additional opportunities
- ACTION 3.5.a - Consider best use of space indoors for recreation center and opportunities for use of partner facilities.
- ACTION 3.13.a - Evaluate and consider the best options to improve and increase level of service through possible expansion to include: Additional seating for entranceway, Additional room for programmed exercise classes, Commercial/teaching kitchen, Babysitting space, Indoor walking track, Outdoor splash pad, Outdoor loop trail, Outdoor fitness court



Dog Park Wish List

2 spaces – one for large dogs, one for small. Of course the square footage doesn't have to be as much for the smaller dogs.

6' or higher fence.

Double gated entry/exit.

Wash station – maybe 3 to 4 hoses. Maybe each one has its own stall but not necessary.

Plenty of seating. Benches, Individual seating that cant be moved, picnic tables. etc.

A walking trail around the perimeter of each dog section inside the fence.

Enough square footage in the big dog area where you could throw a frisbee or ball without it coming into contact with anyone else.

Maybe a couple obstacles. I don't see them getting to much action at the ones Ive visited.

Water drinking station. Water comes out the top and bottom.

Plenty of places for shade. Trees or a covered seating area.

Water features. A must! Ive seen pond types with some type of fountain in the middle where people throw training dummies to Labs and also a shallow lazy river looking structure with constantly flowing water. On the smaller dog side there would be a little splash pad type area.

Poop trash cans with available bags.