



NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PLANNING AND ZONING COMMISSION FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON THURSDAY, APRIL 6, 2023, AT 12:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

1. Discussion and possible action on the minutes for the Planning and Zoning Commission meeting on March 1, 2023.
2. Discussion and Presentation recognizing April as National Fair Housing Month. No action is required.
3. Discussion and possible action on determining possible meeting dates to meet with City Council for a workshop regarding the Zoning Code and various District Regulations.

PUBLIC HEARINGS AND ACTION ITEMS

4. Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.
5. Conduct a public hearing, discussion, and take possible action on a request for approval of a Text Amendment, modifying various subsections of the City of Angleton Code of Ordinances, Chapter 23, Land Development Code. In addition to other minor changes to the chapter pertaining to cross references, duplications, clarifications, terminologies, reorganizations, and similar, the following sections are proposed to be amended: Sec. 23-5; Sec-23.10; Sec. 23-12; Sec. 23-14; Sec. 23.37; Sec. 23-38; Sec. 23-60; Sec. 23.75; Sec. 23-81; Sec. 23-87; Sec. 23.95; Sec. 23-94 through Sec. 23-98.

REGULAR AGENDA

6. Discussion of a Project Concept for the Mulberry Fields Subdivision site for consideration of a new concept, for approximately 13 acres of land located north of W. Mulberry St., East side of N. Walker St, and south of W. Live Oak St., within the SF-6.3 Zoning District. No action is required.
7. Consideration of approval of a Final Plat for Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee

Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection.

8. Discussion and possible action on a Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes, out of the Shubael Marsh Survey A-81 &A-82, Brazoria County, Texas as submitted by Ashton Gray Development.
9. Discussion and possible action on the preliminary plat of the Ashland Project Coral Haven Street Dedication
10. Discussion and possible action on the preliminary plat of Ashland Section 2
11. Discussion and possible action on a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street.
12. Discussion and possible action on a Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east.
13. Discussion and possible action on a revised preliminary plat for Angleton Park Place Subdivision Section 1.

CERTIFICATION

I, Otis T. Spriggs, Development Services Director, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Monday, April 3, 2023 by 12:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/S/ Otis T. Spriggs

Otis T. Spriggs, AICP

Development Services Director

ADJOURNMENT

Public participation is solicited without regard to race, color, religion, sex, age, national origin, disability, or family status. In accordance with the Americans with Disabilities Act, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Angleton ADA Coordinator, Colleen Martin, no later than seventy-two (72) hours prior to the meeting, at (979) 849-4364 ext. 2132, email: cmartin@angleton.tx.us.



CITY OF ANGLETON
PLANNING AND ZONING COMMISSION MINUTES
120 S. CHENANGO STREET, ANGLETON, TEXAS 77515
WEDNESDAY, MARCH 1, 2023 AT 12:00 PM

DRAFT MEETING MINUTES

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PLANNING AND ZONING COMMISSION FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON WEDNESDAY MARCH 1, 2023, AT 12:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

With a quorum present, Chair Garwood called the Commission Meeting to order at 12:00 P.M.

PRESENT

Chair William Garwood
 Commission Member Deborah Spoor
 Commission Member Michelle Townsend
 Commission Member Regina Bieri
 Commission Member Ellen Eby (Arrived at Item 3)

ABSENT

Commission Member Bonnie McDaniel
 Commission Member Henry Munson

DECLARATION OF A QUORUM AND CALL TO ORDER AT 12:00 PM NOON BY CHAIR WILLIAM GARWOOD.

Chair William Garwood introduced Grace Garcia, the new Planning Clerk who will be with us indefinitely.

1. Discussion and possible action on the minutes for the Planning and Zoning Commission meeting on February 2, 2023.

Motion was made by **Commission Member Regina Bieri** to approve the minutes; Motion was seconded by **Commission Member Deborah Spoor**.

Commission Action: Minutes were **Approved**. Motion carried unanimously, **6-0 vote**.

PUBLIC HEARINGS AND ACTION ITEMS

2. Conduct a public hearing, discussion, and take possible action on a request for approval of a Text Amendment, modifying various subsections of the City of Angleton Code of

Ordinances, Chapter 23, Land Development Code. In addition to other minor changes to the chapter pertaining to cross references, duplications, clarifications, terminologies, reorganizations, and similar, the following sections are proposed to be amended: Sec. 23-5; Sec. 23.10; Sec. 23-12; Sec. 23-14; Sec. 23.37; Sec. 23-38; Sec. 23-60; Sec. 23.75; Sec. 23-81; Sec. 23-87; Sec. 23.95; Sec. 23-94 through Sec. 23-98.

DS Director Otis Spriggs appeared before the Planning and Zoning Commission virtually on audio feed, stating that Staff has been working with the Consultant-Gunda and Legal Counsel on Chapter 23 and 28, regarding the public improvement process and requirements. We coordinated the most recent ordinance that corrected the amount of the maintenance bond as required with expirations and extensions of which would certify the improvements before finalization of the public improvements.

Mr. Spriggs added that the adopted ordinance is currently being coordinated within the proposed text amendments in terms of references to previous sections that will affect these text amendments. Legal is continuing to focus on the later parts of the redlines and our projection is to have everything finalized soon. We are requesting that the Commission leave the public hearing open, and we ask for any comments today and possibly move for a continuance to your next meeting.

Chair William Garwood at the request of Kyle Reynolds recognized the public hearing as already being opened and if anyone wanted to speak about the changes to the city of Angleton Code of Ordinances Chapter 23 Land Development Code. Nothing further, Chair noted that we are going to continue the public hearing until our next meeting which is tentatively scheduled for the first Thursday of April, 2023.

Commission Member Michelle Townsend requested that a workshop be held with City Council regarding the Code of Ordinances and coordinate with Legal for review.

REGULAR AGENDA

3. Discussion and possible action on a request for approval of a variance of the sidewalk requirement of Chapter 23, Section 23-14.A. Sidewalks, for Titan Snow Crush Food Truck Park located on SH35, South of Hospital Drive.

Staff: Mr. Kyle Reynolds recognized the owner Mr. Jose Calzada, is asking for a waiver of the sidewalks for property that is a little over an acre, in the Commercial-General Zoning District, located West of Hospital Drive and SH35, for the frontage length of the property. Photographs were shown of the property of the Titan Snow Food Truck Court, and as shown there are no sidewalks on Highway 35, which has a shallow ditch. Future widening of SH35 would affect anything he were to place there. Staff recommends the waiver of the sidewalks; the City Engineer had no objection to the variance request.

Chair William Garwood mentioned that when he was reviewing the agenda with Otis Spriggs, yesterday, He expressed to him that we've had this issue come up before there were cases and we've had a mixed of split votes on it. I also noted that if we don't start now, then when are we going to start to address this important item. Otis Spriggs explained to me that staff or council is

considering in the future options to address getting the sidewalks on Highway 35 and other areas. I think he said perhaps owners could pay fees in-lieu.

Mr. Kyle Reynolds stated that we were looking at other similar cities that run into this where landowners who could not do the sidewalks, would pay fees in lieu which would provide funds to do the sidewalks in alternative locations when the time is right.

Questions of the right of way ownership and maintenance of SH35 were discussed by the Commission.

Commission Member Michelle Townsend asked for the timeline for the new ordinance.

Mr. Spriggs added that regarding the fee-in lieu proposal, staff is almost complete with a draft of the text, which would have to be vetted by legal. We received the square-footage costs, for the sidewalk installation this week, right at \$8.75 per square-foot from Public Works. We are awaiting a sidewalk inventory map from the consultants, which will be used for prioritization. The map will be used to show current connectivity on the sidewalks, and will show the parks, schools, and other important incentive locations that need to be connected for pedestrian safety reasons. We will utilize that map to basically prioritize where the sidewalks could be placed as an alternative when they cannot be placed in areas with topographical challenges and other issues. We are projecting probably two months of getting that ordinance out for review.

Chair William Garwood asked the applicants if other food trucks will be invited. The owner appeared and noted that would be the long-term plan. He is just testing the water and would place a small building there. He noted that he is spacing and extra space there.

Commission Action:

Motion was made by **Commission Member Deborah Spoor** to approve the variations and recommend it to Council for final action; Motion was seconded by **Commission Member Regina Bieri**.

Motion carried unanimously; the variance/waiver was Approved (5-0 vote).

4. Discussion and possible action on the preliminary plat of the Ashland Project Street Dedication #3.

Mr. Spriggs gave the updated staff report pending 5 comments and condition of approval. He noted the comments were resubmitted and revised by the applicant. The majority of the Engineering comments have been cleared by the applicant and the following conditions were read.

1. The certificates (Dedication Statement and maintenance and operation of the Drainage Easements) will be updated to reflect the DA at the final plat stage/once the DA has been approved.
2. Subject to the Development Agreement receiving final approval by City Council.
3. The pipeline abandonment and shown documentation shall be submitted prior to approving any Construction Plans for the affected areas/reserves shown.

Caitlin King with the project was recognized and clarified for Commissioner Ellen Eby that the Angleton ISD School (High School/Jr. High) is northwest of the street dedication. The school will be handling their own plat.

Commission Action: Motion was made by Commission Member Regina Bieri to approve the street dedication Preliminary Plat, subject to the staff conditions and engineering's comments with the assumption that the details of this project can be ironed out possibly through execution of development agreement and recommended to City Council for final action; Motion was seconded by Commission Member Michelle Townsend.

Roll Call: Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Michelle Townsend, Aye; Commission Member Regina Bieri, Aye; and Commission Member Ellen Eby, Aye;

Motion carried; The preliminary plat was Approved (4-1 vote).

ADJOURNMENT: 12:31 PM.



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and Presentation recognizing April as National Fair Housing Month. No action is required.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: \$0 **FUNDS REQUESTED:** \$0

FUND: N/A

EXECUTIVE SUMMARY:

April is National Fair Housing Month!

This year, we commemorate the 55th anniversary of the passage of the Fair Housing Act, the landmark civil rights law signed by President Lyndon B. Johnson on April 11, 1968, that made discrimination in housing transactions unlawful. The Fair Housing Act prohibits discrimination in housing because of race, color national origin, religion, sex (including gender identity and sexual orientation), disability, and familial status.

In our efforts of affirmatively furthering Fair Housing, Mayor Perez and City Council on March 28, 2023 presented a proclamation recognizing April as National Fair Housing Month. This month is a designated time to recognize the advancements of equal housing access and to remind ourselves of the purpose of the Fair Housing Act.



RECOMMENDATION:

Staff recommends that the Planning Commission allow for the fair housing activity to be presented recognizing April as Fair Housing Month. No formal action is required.

NATIONAL FAIR HOUSING MONTH

Affirmatively Furthering Fair Housing

Presented By:
Development Services Department
4/06/2023



Last year in April, we celebrated the 50th anniversary of the passing of the Fair Housing Act and recommit to that goal which inspired us in the aftermath of 50 years since Rev. Dr. Martin Luther King Jr's assassination in 1968: to eliminate housing discrimination and create equal opportunity in every community.



Fundamentally, fair housing means that every person can live free. This means that our communities are open and welcoming, free from housing discrimination and hostility.

Our commitment to fair housing is a living commitment, one that reflects the needs of America today and prepares us for a future of true integration.





The Fair Housing Act



The Federal Fair Housing Act refers to Title VIII of the Civil Rights Act of 1968 (www.justice.gov). This Act, in addition to the Texas Fair Housing Act (www.statutes.legis.state.tx.us), was enacted to protect persons from housing related discrimination on the basis of race, color, religion, sex, nationality, familial status (children), disability or ancestry.

According to the U.S. Department of Housing and Urban Development (HUD), two million instances of housing discrimination are estimated to take place each year across the nation. Despite this, less than two percent of those instances are reported as many renters and homebuyers do not fully understand what activities are illegal under the Fair Housing Act.



Examples of discrimination under the Fair

Housing Act include:

- ❖ Refusal to rent or sell housing
- ❖ Refusal to negotiate for housing
- ❖ Making housing unavailable
- ❖ Setting different terms, conditions or privileges for sale or rental of a property
- ❖ Persuading owners to sell or rent their home for profit
- ❖ Denying access to or membership in a facility or service related to the sale of housing
- ❖ Advertising or making any statement that indicates a limitation or preference based on race, color, national origin, religion, sex, familial status, disability or blindness. This prohibition applies to single family and owner-occupied housing that is otherwise exempt from the Fair Housing Act.



United States of America vs. City of Beaumont, Texas

Complaint alleged (filed May 26, 2015):

- ❖ City imposed a one-half mile spacing rule that prohibited many small group homes from operating in Beaumont
- ❖ City imposed fire code requirements, exceeding those imposed by the state of Texas, as part of its certification and funding for group homes
- ❖ The restrictions prohibited persons with intellectual or developmental disabilities from living in Beaumont
- ❖ The restrictions resulted in a nursing home institutionalization of a woman who was forced to move out of her home
- ❖ City violated the Fair Housing Act and the Americans with Disabilities Act

Under the Consent decree (filed June 16, 2016):

- ❖ The city paid:
 - \$435,000 in monetary relief
 - \$15,000 civil penalty
 - \$25,000 to Disability Rights Texas
 - Ceased enforcement
 - Implemented a reasonable accommodation policy
 - Required fair housing training
 - Appointed a fair housing compliance officer



How to Affirmatively Further Fair Housing

- ❖ Maintaining & Implementing a Fair Housing Plan
- ❖ Establishing a Fair Housing Ordinance
- ❖ Reviewing local codes of ordinances
- ❖ Receiving/investigating/forwarding to HUD fair housing complaints
- ❖ Ensuring that housing rehabilitation program is fair and equitable
- ❖ Educating the public on fair housing issues



Affirmatively Further Fair Housing

The City, as a recipient of federal and state funding (i.e. – CDBG, TxDOT) must work to affirmatively further fair housing goals:

- ✓ Comprehensive Plan
- ✓ CDBG Consolidated Plan
- ✓ Fair Housing Impediment Study
- ✓ Housing Study
- ✓ Periodic presentations and public hearings
- ✓ Informational brochures and assistance
- ✓ Community Outreach and Workshops





Fair Housing Resources

- ❖ U.S. Department of Housing and Urban Development (HUD)
 - Office of Fair Housing and Equal Opportunity
- ❖ Texas Department of Housing and Community Affairs (TDHCA)
- ❖ National Fair Housing Alliance
- ❖ City of Angleton Emergency Management
- ❖ Texas Workforce Commission (*specifically for Texas residents*)



Office of the MAYOR City of Angleton, Texas Proclamation

WHEREAS, the Department of Housing and Urban Development has initiated the sponsorship of activities during the month of April of each year designed to reinforce the Department's commitment to the concept of Fair Housing and Equal Opportunity; and

WHEREAS, City of Angleton affirmatively supports the efforts of the Federal Government and the State of Texas to assure equal access to all Americans to rental housing and homeownership opportunities; and

WHEREAS, City of Angleton welcomes this opportunity to reaffirm its commitment to provide equal access to housing to all of its residents without regard to race, color, religion, sex (including gender identity and sexual orientation), disability, familial status, national origin or source of income; and

WHEREAS, City of Angleton affirmatively supports programs that will educate the public concerning their rights to equal housing opportunities and to participate in efforts with other organizations to assure every person their right to fair housing; and

WHEREAS, City of Angleton is honored to join the Federal Government, the State of Texas, and local jurisdictions across America in celebrating the rich diversity of our people and the right of all citizens to live where they choose without fear of discrimination.

NOW, THEREFORE, be it resolved, the City of Angleton, does hereby proclaim April as the month to celebrate and honor all efforts which guarantee the right to live free of discriminatory housing practices and proclaim the month of April as:
"Fair Housing Month"

And urge all local officials and public and private organizations to join activities designed to further Fair Housing objectives.
PROCLAIMED this 28th day of March, 2023.
CITY OF ANGLETON, TEXAS
Jason Perez
Mayor

END



Let's Work Together for Fair Housing





AGENDA ITEM SUMMARY FORM

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Development Services Director

AGENDA CONTENT: Discussion and possible action on determining possible meeting dates to meet with City Council for a workshop regarding the Zoning Code and various District Regulations.

AGENDA ITEM SECTION: Declaration of a Quorum and Call to Order

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

Staff requests a discussion and possible action on polling the Commissioners on preferred future meeting dates for a workshop with City Council to discuss matters regarding the Zoning Code and various District Regulations.

RECOMMENDATION: Staff recommends that the Planning and Zoning provide Staff with optional dates for the Month of May 2023 for a workshop with City Council. Possible dates are as follows:

- May 9, 2023 5:30 PM – 7:00 PM
- May 16, 2023 5:30 PM- 7:00 PM
- May 30, 2023 5:30 PM – 7:00 PM



AGENDA SUMMARY/STAFF REPORT

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.

AGENDA ITEM SECTION: Public Hearing and Action Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

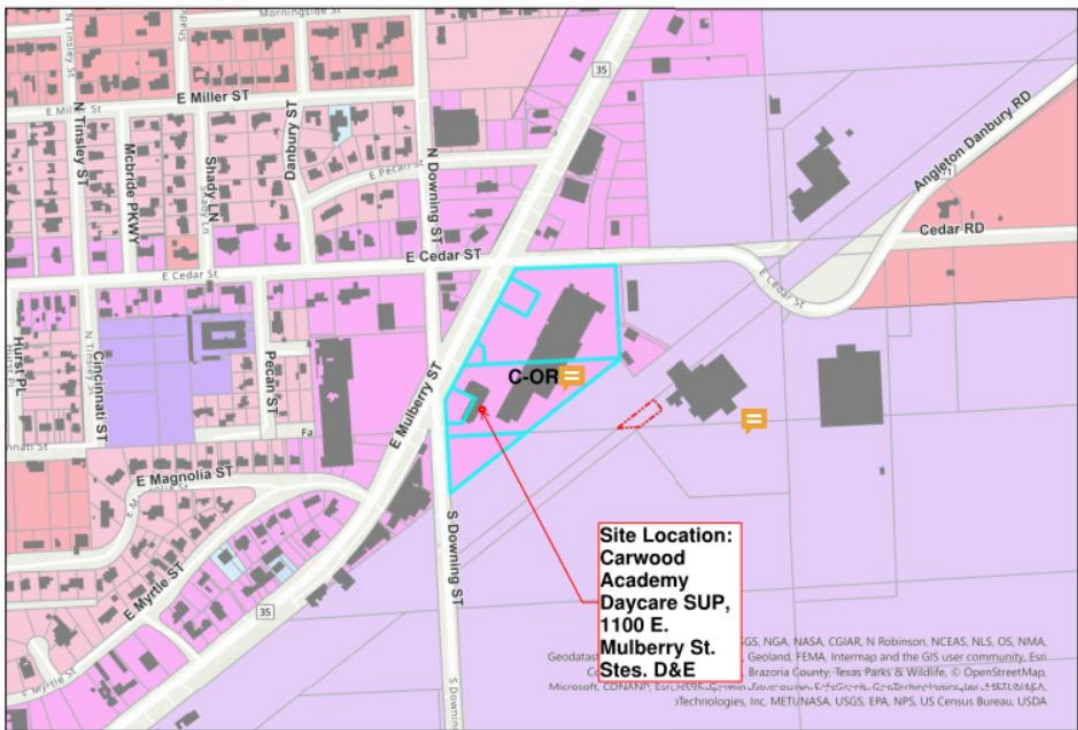
FUND: N/A

EXECUTIVE SUMMARY: Carwood Preparatory Academy Daycare/Preschool is requesting consideration of a Specific Use Permit for a Child Day care/Preschool at the property located at 1100 E. Mulberry St., Angleton, TX, Stes. D&E, within the Commercial General Zoning District (C-G).

PROPERTY HISTORY:

The subject property lies within a shopping center located at E. 1100 E. Mulberry St., Angleton, TX, Suites. D&E (East of Intersection of SH35 and S. Downing St./south of E. Cedar St.), within the Commercial General Zoning District (C-G). The commercial tenant space at one time was a daycare use; however, due to its discontinuance, the previous approval is considered vacated, and a new Specific Use Permit application was necessary.

The facility will have an exterior play area (20'X40') with a 4 ft. fence and gate with locking mechanism per state requirements.



ZONING MAP- 1100 E. MULBERRY ST.



Aerial View of Site



View looking 1100 E. Mulberry St., Suites D&E at Subject property



View of the Subject property Suites D & E on the right



View of rear yard showing the fenced playground area.



Zoning & Vicinity Map

STAFF ANALYSIS:

Section 28-63, 5 (e); SUP- Specific use permits, outlines the requirements and factors for consideration:

When considering applications for a specific use permit, the planning and zoning commission in making its recommendation and the city council in rendering its decision on the application shall, on the basis of the site plan and other information submitted, evaluate the impact of the specific use on, and the compatibility of the use with, surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The planning and zoning commission and the city council shall specifically consider the extent to which:

- a. The proposed use at the specified location is consistent with the goals, objectives and policies contained in the adopted comprehensive plan;
- b. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations;
- c. The proposed use meets all supplemental standards specifically applicable to the use as set forth in this chapter;
- d. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and, as required by the particular circumstances, includes improvements or modifications either on-site or within the public rights-of-way to mitigate development-related adverse impacts, including but not limited to:
 - Adequate ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, and access in case of fire;
 - Off-street parking and loading areas; ***While staff cannot require speed-bumps on the subject site which is private, it is highly recommended that the applicant request permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.***
 - Refuse and service areas;
 - Utilities with reference to location, availability, and compatibility;
 - Screening and buffering, features to minimize visual impacts, and/or setbacks from adjacent uses;
 - Control of signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;
 - Required yards and open space;
 - Height and bulk of structures;
 - Hours of operation;
 - Exterior construction material and building design; and
 - Roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development-generated traffic on neighborhood streets.
- e. The proposed use is not materially detrimental to the public health, safety, convenience and welfare, or results in material damage or prejudice to other property in the vicinity.

Staff has taken the above criteria into consideration when reviewing the proposed day care and pre-school facility. The space adequately provides for the use and if approved, it will not be in conflict with the Zoning Resolution nor the Comprehensive Plan. The use is compatible with the overall character of the area. The parking lot will adequately accommodate the proposed use.

Childcare licensing and regulations are handled by the state of Texas Health and Human Services Commission. The applicant has stated that the food service will not be cooked on site, but catered. In any case of prepared foods on site, the applicant must comply with Food and Health Inspections and Permit requirements.

Public Notification

Staff sent public notices to the local newspaper, and to the property owners within 200 feet of the subject property under consideration for the SUP application.

Opposition to or Support of Proposed Request

To-date, Staff has not received any notices in support or in opposition of the proposed SUP request.

Recommended Action:

The Planning and Zoning Commission adopts this as its Final Report, forwards it to City Council with a positive recommendation of this Specific Use Permit (S.U.P.) application for a Child Daycare and Pre-school facility in the Commercial- General Zoning District, (C-G), for approval consideration and appropriate action.

Recommendation. The planning and zoning commission forwards this Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the condition that:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.
2. The applicant shall obtain and maintain Childcare licensing as regulated by the state of Texas Health and Human Services Commission.
3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.
4. The applicant shall maintain any required Health Permit for food services to the children.



CITY OF ANGLETON
SPECIFIC USE PERMIT APPLICATION

PROPERTY ADDRESS: 1100 D+E E Mulberry Angleton, TX 77515

PROPERTY DESCRIPTION (Legal description): A0325 17 Tinsley Tract
16B-16B2-16B4-1621 Acres 6.63 Angleton

RECORD PROPERTY OWNER NAME, ADDRESS AND PHONE NUMBER:

Angleton Investments Ltd. 2500 Tanglewilde Suite 306
Houston, TX 77063 713-953-9800

DESIGNATED REPRESENTATIVE, ADDRESS AND ^{409-502-3054*} PHONE

NUMBER: Christopher Carmona-Woodard 1209 Dennis Ave. Angleton, TX 77515

PROPOSED USE FOR THE PROPERTY ADDRESS INDICATED

ABOVE: Day Care Center

A site plan (prepared and approved) in accordance with Section 35.4 of the City of Angleton Code of Ordinances (City Code) must be attached to the application. If a base zoning district amendment is required or requested, such rezoning application shall accompany the application for a Specific Use Permit. If the proposed use requires a division of land, an application for subdivision approval must be submitted with this application for a Specific Use Permit.

SIGNATURE: Christopher Carmona-Woodard

DATE: 2023-2-14

PLEASE PROVIDE PROOF OF TAXES PAID ON THIS PROPERTY.

ATTACHMENT: SECTION 35 SUP – SPECIFIC USE PERMIT

APPLICATION FEE: \$150.00 due upon submittal

OFFICE USE ONLY	
Date received: _____	Admin Fee Received: _____
P&Z Public Hearing date: _____	
Date to send cert. letters: _____	Date to publish: _____
Site Plan submitted: Yes _____ No _____	
Site Plan received & evaluated by City Staff: Yes _____ No _____	
Proof of taxes paid: _____	Date verified: _____

RECEIVED
FEB 21 2023
BY: Grace J.



CITY OF ANGLETON
APPOINTMENT OF AGENT

As owner of the property described as 1100 D.C. O & E E. Mulberry Angleton TX 77515
I hereby appoint the person designated below to act for me, as my agent in this request.

Name of Agent: Christopher Carmena - Woodward

Mailing Address: 1209 Dennis Ave. Email:

City: Angleton State: TX Zip: - 77515

Home Phone: () Business Phone: (409) 502-3054

I verify that I am the legal owner of the subject property and I acknowledge and affirm that I will be legally bound by the words and acts of my agent, and by my signature below, I fully authorize my agent to:

be the point of contact between myself and the City: make legally binding representations of fact and commitments of every kind on my behalf; grant legally binding waivers of rights and releases of liabilities of every kind on my behalf; to consent to legally binding modifications, conditions, and exceptions on my behalf; and, to execute documents on my behalf which are legally binding on me.

I understand that the City will deal only with a fully authorized agent. At any time it should appear that my agent has less than full authority to act, then the application may be suspended and I will have to personally participate in the disposition of the application. I understand that all communications related to this application are part of an official proceeding of City government and, that the City will rely upon statements made by my agent. Therefore, I agree to hold harmless and indemnify the City of Angleton, its officers, agents, employees, and third parties who act in reliance upon my agent's words and actions from all damages, attorney fees, interest and costs arising from this matter. If my property is owned by a corporation, partnership, venture, or other legal entity, then I certify that I have legal authority to make this binding appointment on behalf of the entity, and every reference herein to 'I', 'my', or 'me' is a reference to the entity.

Agent is authorized to use fenced in designated area as a playground. Agent is allowed to apply for Special Use Permit.
Signature of owner [Signature] Title: V.P. of Way M. Shur, Lot 22, Mulberry 06

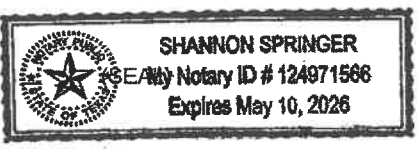
Printed/Typed Name of owner: DONALD DAUM V.P. Date: 02/14/2023

*Application must be signed by the individual applicant, by each partner of a partnership, or by an officer of a corporation or association.

STATE OF TEXAS §
COUNTY OF Harris §

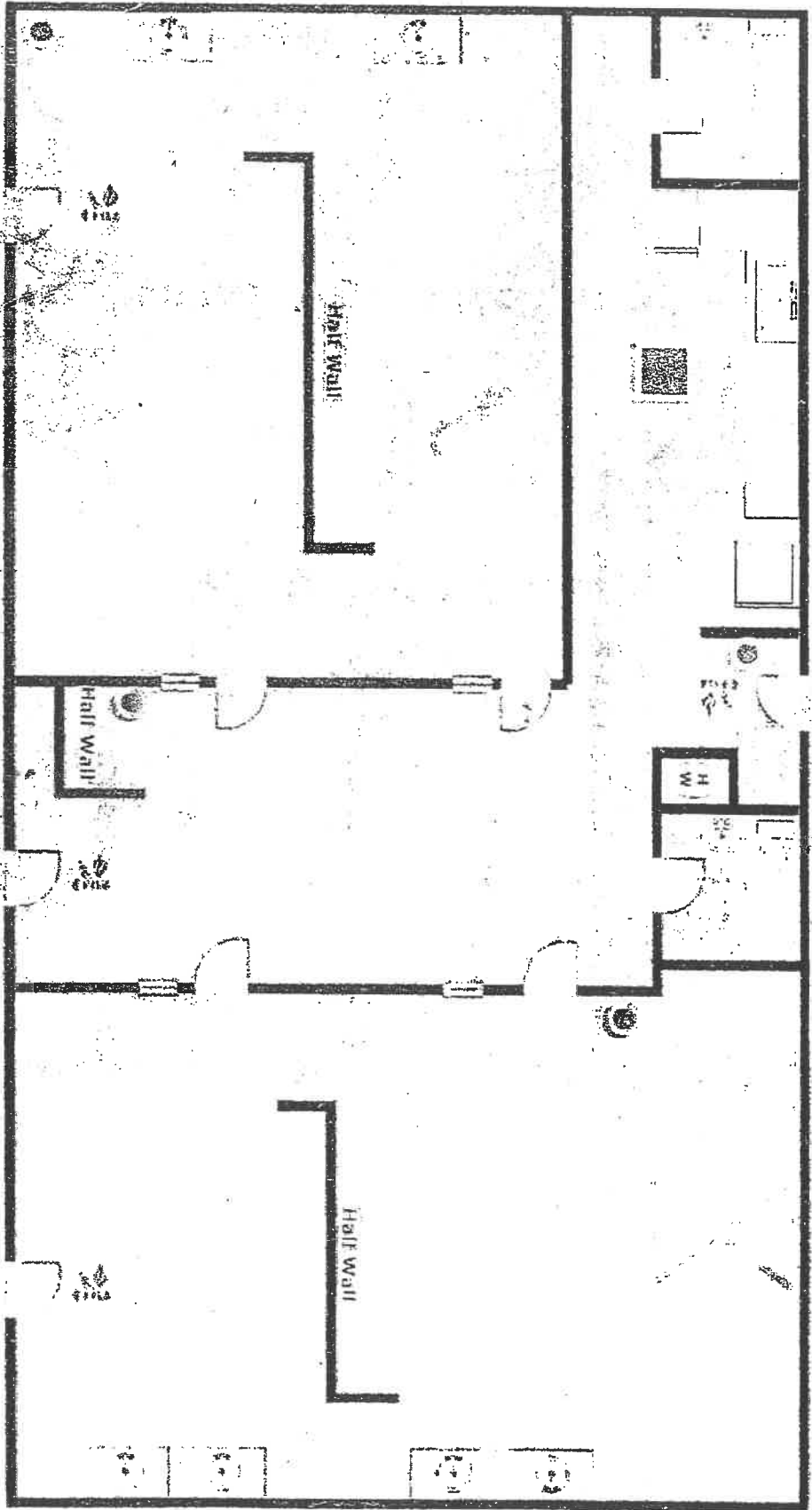
Before me, Shannon Springer, on this day personally appeared Donald Daum, known to me (or proved to me on the oath of) or through (D.L.) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.



Given under my hand and seal of office this 14 day of February, 2023



[Signature]
Notary Public Signature
5-10-26
Commission Expires

*CarWood Learning Centers LLC
D.B.A. CarWood Preparatory Academ*



-  Shelter in Place
-  Fire Extinguishers

THIS OLD IS CROSSA TO NETWORK

Academy
Evacuation Plan
 1100 East Mulberry Suite E
 Angleton, TX 77515



Shannon Springer <sspringer@hmginterests.com>

Fwd: Floorplan

1 message

ddaum99517@aol.com <ddaum99517@aol.com>
To: espringer@hmginterests.com

Fri, Oct 2, 2015 at

FYI

—Original Message—

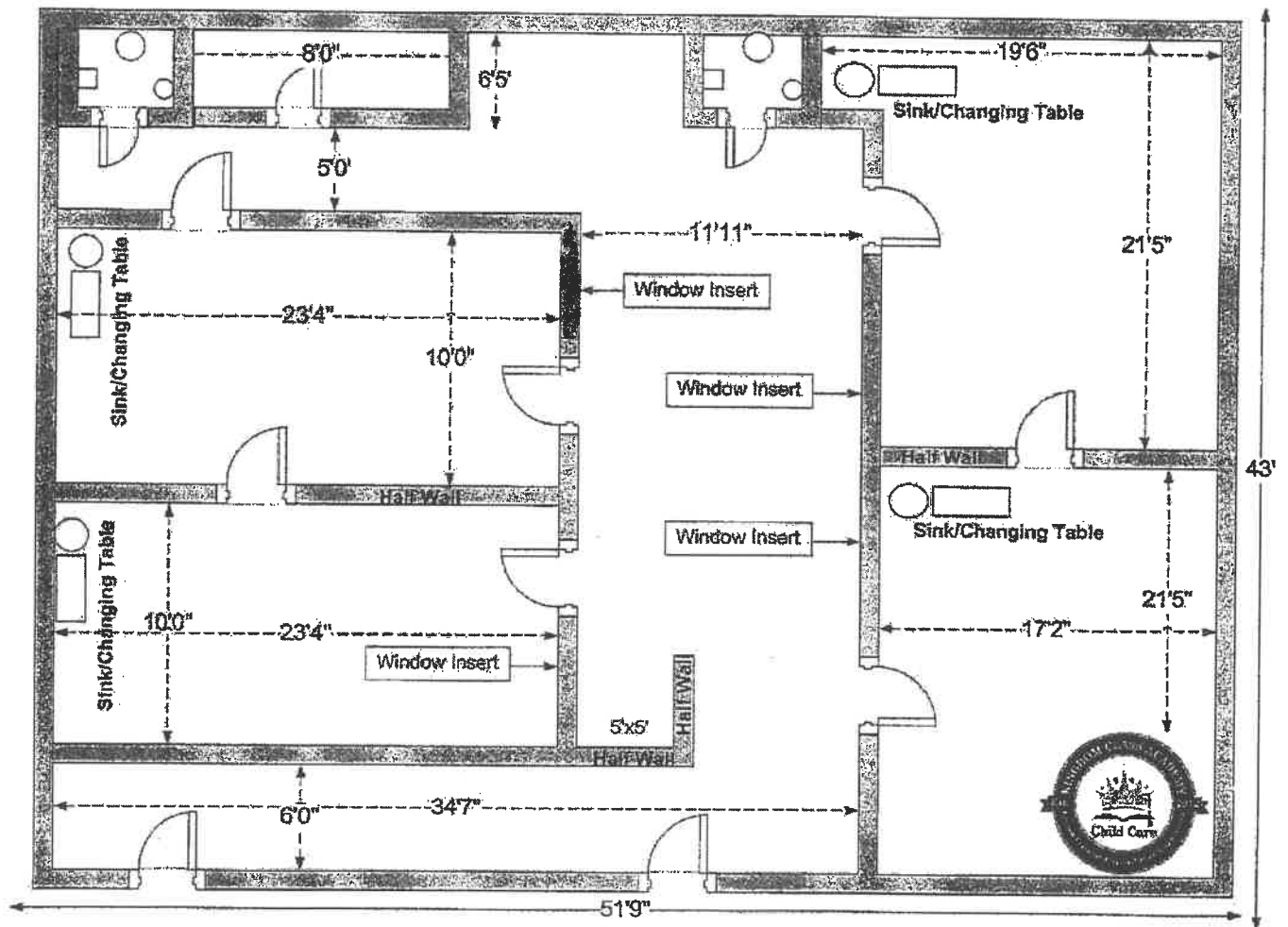
From: Kingdom Class Academy <kingdomclasskids@yahoo.com>
To: ddaum99517 <ddaum99517@aol.com>
Sent: Fri, Oct 2, 2015 3:25 pm
Subject: Fwd: Floorplan

Sent from my iPhone

Begin forwarded message:

From: Kingdom Class Academy <kingdomclasskids@yahoo.com>
Date: September 24, 2015 at 12:04:26 PM CDT
To: Kaye Griggs <griggskaye@yahoo.com>
Subject: Floorplan

Kingdom Class Academy: Expansion Phase 2 (2206 sq ft)



Sent from my iPhone

***If more than one location and/or Building: Use another Sheet if necessary**
Property- Must be completed even if only quoting GL*

Current carrier:

Current Premium: \$

Location Address:

County: Brazoria

Owner Occupant Tenant Lessors Risk

(If rental) Type of Operation (Occupancy):

If more than one Type of Occupancy: List all occupancies and corresponding Sq. Footage:

Personal Property Limit: \$ _____ Deductible \$ _____

Building RC Value: \$ _____ Deductible \$ _____

Construction Type: Frame Masonry Other _____

Roof Type: TPO

Year Built: 1975

Total Area: _____

Number of Stories: _____

Total Area Occupied: _____

Basement: Yes No

Sprinklers: Yes % _____

No

Alarm Type: Local Monitored

If building is over 20 years old: Year of Last updates for:

Heat 2020 Plumbing 2020 Wiring N/A and Roof: 2020

If within 5 miles of shore: Distance to shore _____

Loss Payee:

*Use another sheet if more than one property or building



ORDINANCE NO. 2023XXXXXXXXXXXXXX

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, APPROVING SPECIFIC USE PERMIT TO ALLOW FOR A CHILD DAYCARE USE AT 1100 E. MULBERRY ST., ANGLETON, TX, BRAZORIA COUNTY, TEXAS, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND EFFECTIVE DATE, AND FINDINGS OF FACT.

WHEREAS, On April 6, 2023, the City of Angleton Planning & Zoning Commission held a public hearing and approved a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District (C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX.; and

WHEREAS, on April 6, 2023, the City of Angleton Planning & Zoning Commission, after conducting a public hearing, discussed and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed tattoo and body piercing studio; and

WHEREAS, on April 11, 2023, the City of Angleton City Council conducted a public hearing, discussed and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed Daycare/Preschool at 1100 E. Mulberry St., Suites D &E; and

WHEREAS, the City considered the factors and provisions set forth in the City of Angleton Code of Ordinances, Chapter 28 Zoning, Sec. 28-63 Specific Use Permits, and considered the proposed Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX; and

WHEREAS, the City Council desires to grant the Specific Use Permit (SUP) submitted by Carwood Preparatory Academy Daycare/Preschool at 117 W. Myrtle Street, to allow proposed Daycare use.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

Section 1. That all of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof, as if copied herein verbatim.

Section 2. City Council approves the Specific Use Permit in accordance with City of Angleton Code of Ordinances Sec. 28-63 Specific Use Permits (SUP), subject to the following conditions:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.

2.The applicant shall obtain and maintain Childcare licensing as regulated by the state of Texas Health and Human Services Commission.

3.The applicant shall obtain any City Final Occupancy permits prior to opening the facility.

4.The applicant shall maintain any required Health Permit for food services to the children.

Section 3. Repeal. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

Section 4. Severability. In the event any clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

Section 4. Effective date. That this Ordinance shall be effective and in full force immediately upon its adoption.

Section 5: Proper Notice & Meeting. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code.

PASSED, APPROVED and ADOPTED this **11th** day of **April, 2023**.

Jason Perez, Mayor

ATTEST:

Michelle Perez, TRMC



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Development Services Director

AGENDA CONTENT: Conduct a public hearing, discussion, and take possible action on a request for approval of a Text Amendment, modifying various subsections of the City of Angleton Code of Ordinances, Chapter 23, Land Development Code. In addition to other minor changes to the chapter pertaining to cross references, duplications, clarifications, terminologies, reorganizations, and similar, the following sections are proposed to be amended: Sec. 23-5; Sec-23.10; Sec. 23-12; Sec. 23-14; Sec. 23.37; Sec. 23-38; Sec. 23-60; Sec. 23.75; Sec. 23-81; Sec. 23-87; Sec. 23.95; Sec. 23-94 through Sec. 23-98.

AGENDA ITEM SECTION: Public Hearing Agenda

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

Note that this Public Hearing remains open and staff is tracking any Commissioners, public, or legal review comments received to date in the redline document.

The Planning and Zoning Commission is requested to continue the public hearing and discussion on pending short term amendments to the City's Land Development Code, Zoning Ordinance and other development regulations as recommended by the Gunda Corporation. Staff will update the Commission on pending comments received over the course of the public hearing. PowerPoint slides are provided highlighting pending changes per legal review as outlined below:

1. Minor deletions and changes:
2. Removed or added reference to TLGC as recommended.
3. Deleted or added other references.
4. Reworded as recommended to avoid double negative.
5. Deleted reference to specific codes and section that may change in the future. Kept it more generic – "code of ordinances", "thoroughfare plan", or "LDC".
6. Clarified language: permissive vs. mandatory; enforceable.
7. Referred to city code of ordinances for processes for universal processes for approvals, variance etc. Removed details from the LDC.

RECOMMENDATION: Staff recommends that the Planning and Zoning continue the public hearing, receive comments, and offer any direction to Staff on the proposed text amendments to the City of Angleton Code of Ordinances, Chapter 23, Land Development Code and the minor changes to the chapter pertaining to cross references, duplications, clarifications, terminologies, reorganizations.

Chapter 23

Proposed LDC Amendments

Summary of Legal Comments

4/6/2023

Planning & Zoning Commission



Update of most recent revisions:

- ▶ Minor deletions and changes:
 - ▶ Removed or added reference to TLGC as recommended
 - ▶ Deleted or added other references
 - ▶ Reworded as recommended to avoid double negative
 - ▶ Deleted reference to specific codes and section that may change in the future. Kept it more generic - “code of ordinances”, “thoroughfare plan”, or “LDC”.
 - ▶ Clarified language: permissive vs. mandatory; enforceable
 - ▶ Referred to city code of ordinances for processes for universal processes for approvals, variance etc. Removed details form the LDC.

- 5. *ETJ development.* The city reserves the right to require the approval of a ~~development~~ plat and site plan for property in the ETJ ~~to ensure that development complies with all applicable LDC requirements and any other ordinances~~ ~~whereas allowed by TLGC Ch. 212-42, is cited as an "authority".~~
- B. *Applicability to publicly owned property.* The LDC is applicable to all public agencies and organizations to the full extent allowed ~~under the U.S. and Texas Constitutions, and the laws of each.~~ **by Texas law.**
- C. *Pending applications.* Development applications shall be governed by the laws and regulations in effect when they were ~~submitted~~ deemed as complete submittals.
- D. ~~Creation of a building site and issuance of a permit/permitting.~~ **Issuance of a construction or building permit.**
 - 1. ~~Construction or building permits may not be issued unless the parcel, lot, or tract:~~ **be issued for parcel, lot, or tract that:**
 - a. Is part of a plat of record, approved by the city council, or Brazoria County, and is filed in the plat records of Brazoria County, Texas;
 - ~~b. Was created prior to the adoption of Ordinance No. 333 on February 11, 1964;~~
 - c. Was created by a deed division prior to being subject to requirements that required subdivision approval;
 - d. Was lawfully created prior to being annexed into the city or added to city's ETJ;
 - e. Was lawfully created by the action by a court of competent jurisdiction or by the dedication of easements or right-of-way; or
 - f. Was created through a lawful deed division that created parcels that were each five acres in area, or larger.

2. *Prohibited actions.*

- a. Nonconforming lots, or interest therein, may not be transferred, conveyed, sold, or subdivided to create a new nonconforming lot, to avoid, circumvent or subvert any provision of this LDC, or to leave remaining lots in violation of the LDC;
- ~~b. No lot, or portion of a lot, required as a building site by this LDC, may be used as a portion of a lot for another structure without adhering to all platting requirements of the LDC;~~
- ~~b.e.~~ No building permit may be issued for any lot or parcel of land which has been illegally created, conveyed, sold, or subdivided in violation of the LDC; ~~and~~
- ~~d. Any transferee who acquires a lot in violation of this section, without knowledge of such violation, and any subsequent transferee, may have the right pursuant to Texas law to rescind and/or receive damages from any transferor who violates the provisions of the LDC, and the city may take appropriate actions as set out in this chapter.~~

Commented [LK2]: This language is confusing, see recommended addition of "created" below.

Commented [LK3]: Not needed.

3. *Construction on substandard lots.* ~~A legal lot, defined as a lot that meets the requirements of Section 23-5-D, that does not meet zoning district requirements with respect to lot area or lot width may be built upon if:~~

- ~~A lot that meet the requirements of the LDC may be built if:~~
 - a. The use is permitted in the zoning district in which the lot is located;
 - b. The lot has sufficient frontage on a public street to provide access that is appropriate for the proposed use as required by the zoning designation; and
 - c. The proposed development will comply with all applicable development standards of the LDC.

Commented [LK4]: Added a definition of legal lot.

Commented [LK5R4]: Added reference.

F. ~~*Vested rights - issuance of local permits.* Property owners who have filed a completed application or have obtained approval of any project or permit prior to the effective date of this LDC that has not expired, shall be considered in compliance with TLGC Ch. 245.~~

G. ~~*Applicability of certain chapter of the Angleton Code of Ordinances in the ETJ.* Under the authority of TLGC Ch. 212, Municipal Authority of Subdivision and Property Development, the following chapters of the City of Angleton Code of Ordinances are expressly incorporated by reference into the LDC and are in full force and~~

~~amended subsequently,~~

- c. Open to design options that may result in the need for variances from rigid design standards to preserve wetlands, floodplains, **heritage protected trees**, or mature habitat areas; and
- d. **Encouraged to use** lot clustering to maintain environmental assets as common space amenities, linear parks, use buffers, and other purposes that create community character.

4. *Transportation and mobility.*

- a. ADA compliant sidewalks ~~will~~shall be provided on all streets and into all parks;
- b. Sidewalks ~~will~~shall be required to provide access to all building sites and amenities;
- c. Street type, location, and functional classification will be guided by the Angleton ~~Future Thoroughfare Plan (FTP);~~ **thoroughfare plan as amended.**
- d. Neighborhoods shall have multiple means of access to public streets and surrounding development to minimize congestion and maximize public safety;
- e. Streets are a primary element of the drainage conveyance system and shall be designed to maximize their full drainage conveyance capacity to enhance public safety; and
- f. Streets shall not be "forced" into locations where they are not cost-effective, practical, result in public capital expenditures ~~that are not warranted~~, or where an acceptable design alternative is available.

5. *Floodplains, wetlands, and drainage.*

- a. Regulatory floodplains shall be protected from development by:
 - 1. Maintaining floodplains as open space, passive recreation, and drainage;
 - 2. **Implementing all best management practices set out by the Texas Commission on Environmental Quality (TCEQ) and incorporated by reference into the City's Code of Ordinances Angleton Construction Manual (ACM);**
 - 3. Adhering to all drainage requirements of the ~~City's Code of Ordinances Angleton Construction Manual (ACM) to help ensure that the amount of property located in a floodplain is not increased;~~ and
 - 4. Pursuing all opportunities for regional detention on projects of all sizes and where appropriate, and in coordination with the Angleton Drainage District.
- b. ~~Drainage easements shall have a minimum width as determined to be necessary by the City of Angleton, and the Angleton Drainage District,~~ and other appropriate entities, and shall be: **necessary**

7. *Public safety.*

- a. ~~The city and the ETJ include potential natural and man-made threats to public health and safety. Among these are railroads, regional pipelines, floodplains, and protected wetlands. It is essential that these areas are identified and projects designed in a manner to maximize public safety to the greatest extent practical;~~
- Projects and infrastructure*
 - b. ~~Infrastructure should be designed to maximize public safety and mitigate existing public safety issues, such as, but not limited to, bar ditches. Standards should be updated, within a reasonable time, to adopt as soon as new technologies are proven to improve public health and safety. The use of fire hydrants with fittings that allow universal connectivity is an example;~~
 - c. ~~Projects shall be developed to provide as much separation as practicable between potential threats and vulnerable uses, and~~
 - d. ~~City codes should be proactively updated to address threats to public safety as soon as threats, and potential solutions, are identified.~~

- C. *Coordination with Texas Department of Transportation (TXDOT) and Brazoria County required.*
 - 1. For projects adjoining, or accessing TXDOT right-of-way, the ~~engineer applicant will shall~~ contact the TXDOT to determine all TXDOT requirements and copy the city on all ~~correspondence, communications.~~
 - 2. For plats in the ETJ, the ~~engineer applicant~~ shall contact the Brazoria County engineer to determine requirements of Brazoria County and copy the city on all ~~correspondence, communications.~~
- D. *Acceptance of streets.* Required city street improvements shall be dedicated to the city, as set out in ~~article III, division 4, Public Acceptance and Permitting,~~ the LDC and City code of ordinances.
- E. *General location standards.*
 - 1. *Minimum design standards.* Required city street improvements shall be designed and constructed in accordance with ~~the City's Code of Ordinances, the ACM and the design principles set out in article~~ ~~Subdivision and Development Design,~~ the LDC and City code of ordinances.
 - 2. *Layout and connectivity.* Streets and alleys shall:
 - a. Be extended and located in accordance with the ~~FTP~~ ~~in~~ ~~terms~~ of street classification, right-of-way, ~~and~~ pavement width, and alignment; and
 - b. Bear a logical relationship to existing topography and ~~existing or proposed st~~ locations, and the development of adjacent ~~developed and undeveloped properties~~ ~~thoroughfare plan~~ as set forth in the city code of ordinances
 - c. ~~Any deviation from the FTP shall be approved by the City Council with a recommendation from the Planning and Zoning Commission, and shall not be forced by the strict adherence to the FTP into locations that are not suitable for road construction, the extension of roads, are not practical for development, may result in the need for long-term improvements that are cost prohibitive, such as the building of a bridge, or result in undesirable environmental impacts,~~ ~~thoroughfare plan~~
 - c. Where not shown on the ~~FTP~~, street layout will:
 - i. Provide continuity and connectivity between ~~existing and proposed~~ streets;
 - ii. ~~Conform to generally accepted transportation planning principals for street hierarchy, spacing, and location, with due consideration to topography, environmental considerations, and natural hazard avoidance; and~~
 - iii. Provide connections to existing streets in a manner that will not change the functional classification of existing streets and will provide safe access to all lots.
 - 3. *Excess right-of-way.* ~~Rig~~ ~~ht~~ ~~of~~ ~~way~~ in excess of the standards of the LDC may be required where topography ~~results in the need for a~~ ~~ional~~ right-of-way to provide slopes that ~~do~~ ~~not~~ ~~need~~ a ratio of three to one or in order to provide street connectivity.
- F. *Design standards.* Streets shall be designed per ~~the City's Code of Ordinances, the ACM~~ and the following standards:

END



Part II - CODE OF ORDINANCES – AMENDED SECTIONS ONLY
Chapter 23 LAND DEVELOPMENT CODE

12/22/22 with planning staff comments incorporated

General notes:

Will be finalized after all ongoing reviews.

To be reviewed by the Parks Director and HDR

Legal review of the final draft prior to adoption.

Update the revision date for each section prior to adoption.

Remove the Appendix and move that to the Administrative Procedures Manual. Add this reference in the LDC.

Adopt standards relevant to the City of Angleton, as indicated. ~~E.g.~~ require green street signs with white lettering, not blue like Sugarland.FUTURE.

Chapter 23 LAND DEVELOPMENT CODE¹

ARTICLE I. IN GENERAL

¹Editor's note(s)—Ord. No. 1-12-2018, § 1(Exh. A), adopted Dec. 11, 2018, repealed the former Ch. 23Editor's note(s)—, §§ 23-1Editor's note(s)—23-43, and enacted a new Ch. 23Editor's note(s)— as set out herein. The former Ch. 23Editor's note(s)— was entitled "Subdivisions," and derived from: Ord. No. 2325, § 1, adopted Apr. 19, 1994; Ord. No. 2457, §§ 1—3, adopted Dec. 21, 1999; Ord. No. 1-02-2018, § 2(Exh. A), adopted Feb. 13, 2018; and Ord. No. 1-06-2018, § 2(Exh. A), adopted June 12, 2018.

Cross reference(s)—Alcoholic beverages, Ch. 3Cross reference(s)—; location of alcoholic beverage establishments restricted, § 3-5Cross reference(s)—; limitation on the number of livestock per dwelling, § 4-5Cross reference(s)—; buildings and building regulations, Ch. 5Cross reference(s)—; fire limits established, § 5-46Cross reference(s)—; code for the elimination or repair of unsafe buildings adopted, § 5-511Cross reference(s)— et seq.; fire marshal authorized to order repair, etc., of dilapidated and unsafe buildings or other property, § 7-44Cross reference(s)—; housing, Ch. 11Cross reference(s)—; junked, abandoned, wrecked property, Ch. 12Cross reference(s)—; manufactured homes and manufactured home parks, Ch. 14Cross reference(s)—; parks and recreation, Ch. 17Cross reference(s)—; peddlers, itinerant merchants and solicitors, Ch. 18Cross reference(s)—; public amusements, Ch. 21Cross reference(s)—; streets, sidewalks and other public places, Ch. 22Cross reference(s)—; permit required for excavation in streets, § 22-2Cross reference(s)— et seq.; utilities, Ch. 26Cross reference(s)—; traffic and motor vehicles, Ch. 25Cross reference(s)—; zoning, Ch. 28Cross reference(s)—; zoning district regulations, § 28-61Cross reference(s)— et seq.

State law reference(s)—Regulation of subdivisions, V.T.C.A., Local Government Code TLGC § 212.001 et seq; authority to adopted subdivision regulations, V.T.C.A., Local Government Code TLGC § 212.002.

Sec. 23-5. Applicability.

Commented [LK1]: Needs legal review on the jurisdiction and powers in the ETJ

- A. *Generally.* No land shall be developed, redeveloped, or substantially improved, except in accordance with this Code. The following actions are considered to be "development" and subject to the LDC:
 - 1. *Use of land.* The use of any building, structure, or land, including new uses, expansion, and ~~material substantial changes~~ substantial changes to the ~~operational characteristics of~~ existing uses within the city;
 - 2. *Grading of land.* Any ~~nonagricultural~~ disturbance of land, soil, vegetation, or drainage ways, ~~excluding landscaping~~, shall conform to the LDC for all properties in the city and the ETJ; and
 - 3. *Subdivision.* Any division of land within the City limits and the ETJ for development, sale, or lease, whether by metes and bounds, subdivision, or other technique, shall comply with the LDC. Deed divisions of land that result in parcels where all resulting tracts have a lot area of five acres or more are exempt from the subdivision requirements of the LDC, but may be required to file a development plat, as set out in section 23-87, Administrative plats.
 - 4. *Site development.* Site development, ~~excluding all land use requirements in the ETJ~~, is subject to all requirements of the Angleton Code of Ordinances to the full extent allowed by V.T.C.A., Local Government Code-TLGC Ch. 212.
 - 5. *ETJ development.* The city reserves the right to require the approval of a ~~development~~ plat and site plan for property in the ETJ to ensure that development complies with all applicable LDC requirements and any other ordinances whereas allowed by TLGC Ch. 212.42. is cited as an "authority".
- B. *Applicability to publicly owned property.* The LDC is applicable to all public agencies and organizations to the full extent allowed ~~under the U.S. and Texas Constitutions, and the laws of each~~ by Texas law.
- C. *Pending applications.* Development applications shall be governed by the laws and regulations in effect when they were ~~submitted~~ deemed as complete submittals.
- D. ~~Creation of a building site and issuance of a permit~~ issuance of a construction or building permit.
 - 1. Construction or building permits may not be issued unless the parcel, lot, or tract:
 - a. Is part of a plat of record, approved by the city council, or Brazoria County, and is filed in the plat records of Brazoria County, Texas;
 - ~~b. Was created prior to the adoption of Ordinance No. 333 on February 11, 1964;~~
 - c. Was created by a deed division prior to being subject to requirements that required subdivision approval;
 - d. Was lawfully created prior to being annexed into the city or added to city's ETJ;
 - e. Was lawfully created by the action by a court of competent jurisdiction or by the dedication of easements or right-of-way; or
 - f. Was created through a lawful deed division that created parcels that were each five acres in area, or larger.
 - g. Is a result of a change in ownership of a property through inheritance or the probate of an estate.
 - h. Is used as a cemetery complying with all state and local laws and regulations.
 - i. Is exempted as per LGC §212.004.

A construction or building permit may be issued for a parcel, lot, or tract that meets the requirements of Sec. 25-B above.

- 2. ~~If any of the conditions for the creation of a building site exists and changes are not proposed to the property configuration, the property is a legal building site and a building permit may be issued~~ without additional platting being required, unless a development plat is required, as set out in section 23-87, Administrative plats.

E. *Nonconforming lots.*

- 1. *Standards.* Existing nonconforming lots may be combined to ~~increase conformity~~ as follows:

- a. ~~Where a landowner owns several abutting lots that do not conform to the LDC, they may be consolidated or replatted as a conforming lot, or lots, or to a design that reduces the degree of the nonconformity.~~
- b. A proposed combination or replat of nonconforming lots ~~may not~~ meets all the requirements of the LDC.
 - i. ~~Materially disrupt the lotting pattern of the street, for example, by creating a through lot or a lot with an inconsistent orientation to a street;~~
 - ii. ~~Result in regularly shaped lots being combined into a single lot with an irregular shape; or~~
 - iii. ~~Result in a lot that does not have direct access to a public right of way or access to utility services, unless such a lot is intended to be used for a purpose where public access and utility service is not required.~~

2. *Prohibited actions.*

- a. Nonconforming lots, or interest therein, may not be transferred, conveyed, sold, or subdivided to create a new nonconforming lot, to avoid, circumvent or subvert any provision of this LDC, or to leave remaining lots in violation of the LDC;
- ~~b. No lot, or portion of a lot, required as a building site by this LDC, may be used as a portion of a lot for another structure without adhering to all platting requirements of the LDC;~~
- ~~be.~~ No building permit may be issued for any lot or parcel of land which has been illegally ~~created~~, conveyed, sold, or subdivided in violation of the LDC, ~~and~~
- ~~d. Any transferee who acquires a lot in violation of this section, without knowledge of such violation, and any subsequent transferee, may have the right pursuant to Texas law to rescind and/or receive damages from any transferor who violates the provisions of the LDC, and the city may take appropriate actions as set out in this chapter.~~

- 3. *Construction on substandard lots.* ~~A legal lot, defined as a lot that meets the requirements of Section 23-5-D, that does not meet zoning district requirements with respect to lot area or lot width may be built upon if:~~

- ~~A lot that meet the requirements of the LDC may be built if:~~
 - a. The use is permitted in the zoning district in which the lot is located;
 - b. The lot has sufficient frontage on a public street to provide access that is appropriate for the proposed use ~~as required by the zoning designation~~; and
 - c. The proposed development will comply with all applicable development standards of the LDC.

- F. ~~Vested rights "issuance of local permits". Property owners who have filed a completed application or have obtained approval of any project or permit prior to the effective date of this LDC that has not expired, shall be considered in compliance with TLGC Ch. 245.~~

- G. *Applicability of certain chapter of the Angleton Code of Ordinances in the ETJ.* Under the authority of TLGC Ch. 212, Municipal Authority of Subdivision and Property Development, the following chapters of the City of Angleton Code of Ordinances are expressly incorporated by reference into the LDC and are in full force and ~~amended subsequently,~~

Commented [LK2]: This language is confusing, see recommended addition of "created" below.

Commented [LK3]: Not needed.

Commented [LK4]: Added a definition of legal lot.

Commented [LK5R4]: Added reference.

effect in the ETJ and shall be regulated by the city by the submittal of construction plans, a site plan, design drawings, development plat, or plat; as is determined to be appropriate, ~~by the type of development that is being requested.~~



1. ~~Chapter 14~~; Manufactured Homes and Manufactured Home Parks (design standards only);
2. ~~Chapter 16~~; Oil, Gas, and Minerals;
3. ~~Chapter 21.5~~; Signs;
4. ~~Chapter 30~~; Special Districts; and
5. All environmental management requirements set out in ~~article V~~ of this LDC.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, ~~xxx~~)

~~Sec. 23-6. Consistency with plans.~~ **Reserved** No changes.



Commented [LK6]: List all the relevant standards and plans in the appendix.

The LDC implements the following existing plans, ~~and all additional plans that will be formally adopted by the city council after the adoption date of this Code:~~

- ~~2018 Angleton Strategic Plan;~~
- ~~2007 Angleton Comprehensive Plan;~~
- ~~2011 Downtown District Vision;~~
- ~~Brazoria County Stormwater Quality Coalition MS4 Construction Guidance Document, as amended;~~
- ~~2007 TXDOT State Highway 35 Major Corridor Feasibility Study Final Report;~~
- ~~2015 SH 288 Development and Land Use Assumption Study;~~
- ~~2016 CR 220 Development Capital Improvements and Land Use Assumptions Study;~~
- ~~2008 Master Drainage Plan;~~
- ~~2008 Angleton Drainage District Flood Protection Plan;~~
- ~~2001 Parks and Recreation Comprehensive Master Plan and Open Space Plan, as amended;~~
- ~~The Angleton Capital Improvement Program, as amended; and~~
- ~~Applicable Houston-Galveston Area Council of Governments and TXDOT Regional Mobility Plans.~~

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, ~~xxx~~)

Sec. 23-7. Enactment, repeal, and effective date.

- A. **Enactment and effective date.** The enactment of this ordinance shall repeal Ordinance No. 1-06-2018, adopted on June 12, 2018, and shall repeal chapter 8, "Flood Damage Prevention" of the Code of Ordinances of the City of Angleton, in its entirety, replaced by Ordinance No. 1-12-2018, hereafter titled the Land Development Code (LDC), adopted by the city council on the effective date of December 11, 2018 and amended subsequently; incorporated into the Code of Ordinances of the City of Angleton as chapter 23, "Land Development Code".
- B. **Existing ordinances and regulations.** Any other ordinance, resolution, or regulations not expressly cited in this section that are inconsistent with the LDC shall be considered to be superseded by the adoption of the



Commented [LK7]: Needs to be updated, prior to adoption of any amendments

(Supp. No. 19)

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~~LDC. Specific regulations of any such ordinance that were not affected by this LDC shall remain in full force and effect.~~

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, ~~xxxx~~)

Sec. 23-8. Abrogation and greater restrictions.

- A. The LDC establishes minimum standards necessary to accomplish the purposes set out in section 23-2, Purpose.
- B. ~~It is not the intent of the LDC to interfere with, abrogate, or annul any easement, covenant, deed restriction, or other executed agreement between private parties, including development agreements.~~
- C. ~~When the provisions of this LDC impose a greater restriction than those restrictions imposed by private agreements, the provisions of the LDC shall control.~~
- D. ~~When private agreements impose a greater restriction than the restrictions imposed by the LDC, the private agreements shall control.~~ The city has no duty to search for the existence of private restrictions, or to administer, or enforce, any private restriction.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, ~~xxxx~~)

~~**Sec. 23-9. Severability.**~~



~~All sections, paragraphs, sentences, clauses, and phrases of the LDC are severable, and if any such section, paragraph, sentence, clause or phrase is declared unconstitutional or otherwise invalid in any court of competent jurisdiction in a valid judgment or decree, such unconstitutionality or invalidity shall not cause any remaining section, paragraph, sentence, clause, or phrase of the LDC to fail or become invalid.~~

~~(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)~~

ARTICLE II. SUBDIVISION AND DEVELOPMENT DESIGN

Sec. 23-10. General design principals and requirements.

- A. *Generally.* The purpose of this article is to establish minimum design requirements to create a quality development design that relates to existing and future ~~surrounding~~ development.
- B. *Design principles.* The following design principles shall be implemented into plat design:
 - 1. *Compatibility and connectivity.* Proposed developments shall be designed to:
 - a. Provide appropriate buffers and transitions between different land uses;
 - b. Improve mobility across the city and the ETJ; and
 - c. Provide vehicle and pedestrian connections to neighboring properties.
 - 2. *Neighborhoods.* Neighborhoods ~~will~~ ^{shall} be designed:
 - a. In a ~~context sensitive manner~~ to ensure long-term neighborhood viability;
 - b. In a manner that will conserve wetlands, bayous, and other natural features;

(Supp. No. 19)

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- c. With well-managed stormwater runoff that is conveyed in storm sewers, streets, and other methods to phase out the use of steep slope deep bar ditches, where practical;
 - d. With usable open space to provide recreation, use buffers, safe distances from natural hazards, and to maintain mature tree stands, water quality, and environmental integrity;
 - e. With drainage improvements that serve additional purposes, such as recreation, usable open space, wetland and habitat preservation, or as buffer or amenity; and
 - f. In a manner that is compatible with adjoining uses and neighborhoods.
3. *Aesthetic and environmental considerations.* Development will be:
- a. Shaped and guided by natural contours and drainage patterns to avoid natural hazards and blend into natural environmental elements;
 - b. Context sensitive, without compromising public health or safety;
 - c. Open to design options that may result in the need for variances from rigid design standards to preserve wetlands, floodplains, heritage protected trees, or mature habitat areas; and
 - d. Utilize ~~Encouraged to use~~ lot clustering to maintain environmental assets as common space amenities, linear parks, use buffers, and other purposes that create community character.
4. *Transportation and mobility.*
- a. ADA compliant sidewalks ~~will~~ shall be provided on all streets and into all parks;
 - b. Sidewalks ~~will~~ shall be required to provide access to all building sites and amenities;
 - c. Street type, location, and functional classification will be guided by the Angleton-Future Thoroughfare Plan (FTP); thoroughfare plan as amended.
 - d. Neighborhoods shall have multiple means of access to public streets and surrounding development to minimize congestion and maximize public safety;
 - e. Streets are a primary element of the drainage conveyance system and shall be designed to maximize their full drainage conveyance capacity to enhance public safety; and
 - f. Streets shall not be "forced" into locations where they are not cost-effective, practical, result in public capital expenditures ~~that are not warranted~~, or where an acceptable design alternative is available.
5. *Floodplains, wetlands, and drainage.*
- a. Regulatory floodplains shall be protected from development by:
 - 1. Maintaining floodplains as open space, passive recreation, and drainage;
 - 2. Implementing all best management practices set out by the Texas Commission on Environmental Quality (TCEQ) and incorporated by reference into the City's Code of Ordinances, Angleton Construction Manual (ACM);
 - 3. Adhering to all drainage requirements of the City's Code of Ordinances Angleton Construction Manual (ACM) to help ensure that the amount of property located in a floodplain is not increased; and
 - 4. Pursuing all opportunities for regional detention on projects of all sizes and where appropriate, and in coordination with the Angleton Drainage District.
 - b. Drainage easements shall have a minimum width as determined to be necessary by the City of Angleton, ~~and the Angleton Drainage District~~, and other appropriate entities, and shall be: necessary

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- 1. Retained as right-of-way where they cross existing or proposed public roads; and
 - 2. ~~Platted in common ownership~~M-maintained by a property owners' association or when appropriate under the authority of the city or ~~Angleton Drainage District~~other entities; and
 - 3. Shall be designed in a manner that allows routine maintenance ~~and are "green" to the greatest extent practicable and feasible.~~ ^{to}
 - c. Easement alignment shall follow the approximate line of the channel ~~on maximum 50-foot chords~~ and when possible shall be located on lot or property lines; and
 - d. Existing steep sloped roadside ditches should be eliminated when adjoining properties are developed and redeveloped ~~and in conjunction with capital improvement projects because:~~
 - 1- The lack of curbs and gutters does not maximize the ability of streets to be used for drainage conveyance;
 - 2- Such ditches are a traffic hazard, prevent sidewalks and street parking, impede trash pick-up and delivery services, often result in heavy sheet flow from the street to the opposite side of the street directly toward homes and other buildings, and results in road, utility, and ditch maintenance issues.
6. Utilities. ^{shall}
- a. Utilities ~~will~~ be extended in a conservation-minded and efficient manner to provide for the expansion utility service in a manner that ^{shall} is environmentally and economically sound; and
 - b. Utility improvements ~~will~~ be coordinated with the recommendations of the ~~comprehensive plan most recent version of the Comprehensive Plan and Plan and~~ all other utility plans of the city and its utility franchises.

Commented [LK8]: Needs a definition of what "green" entails.

7. Public safety.

- a. ~~The city and the ETJ include potential natural and man-made threats to public health and safety. Among these are railroads, regional pipelines, floodplains, and protected wetlands. It is essential that these areas are identified and projects designed in a manner to maximize public safety to the greatest extent practical;~~ ^{Projects and infrastructure}
- b. ~~Infrastructure should be designed to maximize public safety and mitigate existing public safety issues, such as, but not limited to, bar ditches. Standards should be updated, within a reasonable time, to adopt as soon as new technologies are proven to improve public health and safety. The use of fire hydrants with fittings that allow universal connectivity is an example;~~
- c. ~~Projects shall be developed to provide as much separation as practicable between potential threats and vulnerable uses, and~~
- d. ~~City codes should be proactively updated to address threats to public safety as soon as threats, and potential solutions, are identified.~~

C. Consistency with ~~subdivision and development regulations as contained in the City's Code of Ordinances; Angleton Construction Manual (ACM). Public improvements shall be designed in accordance with the following specifications and criteria, which collectively are the ACM. The ACM shall automatically be amended without formal action required to amend the LDC or the ACM when any criteria set out below are updated by the jurisdiction cited for each: as amended:~~

- 1. ~~City of Sugar Land~~Angleton Construction specifications, as amended;
- 2. ~~City of Sugar Land~~Angleton Design standards and appendices, as amended;
- 3. ~~City of Sugar Land~~Angleton Construction details, as amended;

Commented [LK9]: Update the manual to be tailored to Angleton and refer to the latest version.

Commented [KR10R9]: Replaced ACM with City's Code of Ordinances as proposed by staff. To be verified with HDR.

- 4. ~~City of Sugar Land~~ ~~Angleton~~ Approved products list and product application, as amended; and
- 5. ~~City of Sugar Land~~ ~~Angleton~~ Traffic impact analysis guidelines and worksheet, as amended
- 6. ~~City of McKinney~~ ~~Angleton~~ Sediment and Erosion Control Manual, as amended;
- 7. Brazoria County Stormwater Quality Coalition MS4 Construction Guidance Document, as amended;
- 8. 2008 Angleton Drainage District rules, regulations, and guidelines, as amended; and
- 9. Brazoria County Drainage Manual, as amended.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

23-11

Sec. ~~234~~-11. Lots and blocks.

A. Lots generally.

- 1. New lots ~~will~~ shall comply with applicable requirements ~~set out~~ in Code of Ordinances Chapter 28 - Zoning;
- ~~2. Lot size, area, shape, and orientation shall be appropriate to the location and the use of~~ Code of Ordinances
- 23. No parcel or lot shall be created that does not meet the minimum requirements of the LDC ~~and the zoning requirements~~;
- 34. ~~Undevelopable remnant properties that do not conform to the LDC or the zoning requirements shall not be created through the subdivision process.~~

Commented [LK11]: This sentence is not needed since the City has zoning requirements.

B. Lot shape.

- 1. Side lot lines shall generally be at approximate right angles, or ~~radial~~ to, ~~street lines~~ ^{street} right of way; and
- 2. Alternative configurations may be approved ~~as variances during the platting process by the City Council upon recommendation from the Planning and Zoning Commission to accomplish the purposes of the LDC, such as preserving natural resources or dedicating right-of-way.~~ as per the code of ordinances.

Commented [LK12]: Added language to clarify that any deviations or variances will need approval.

C. Lot frontage.

- 1. Required frontage. Each lot or building tract shall front on a public street, in accordance with applicable lot width requirements.
- 2. Residential lots.
 - a. New residential lots shall only front on local and minor collector streets, and shall not front on major collector, ~~or~~ arterial streets, or highways;
 - b. ~~The development~~ City Council upon recommendation from the Planning and Zoning Commission administrator may administratively approve minor deviations from the lot design requirements during the platting process when terrain or property constraints limit design alternatives or when such deviations result in the preservation of a heritage protected tree, as set out in section 23-60, Heritage Protected Tree Protection; and

Commented [LK13]: Approving authority

- ~~h. Deviations from lot design requirements may be approved pursuant to this code.~~
- ~~c. Lots shall be platted in a manner that does not result in landlocked properties or without any means providing public access to properties that currently do not have frontage.~~
- c. Lots shall be platted with public access and no landlocked properties shall be created.
 - 3. Nonresidential lots shall be designed in a manner that allows development designed in manner that complies with all applicable requirements.

Add specifications for double frontage lots.

D. Through lots. Through lots, or double frontage lots, shall be avoided, except:

- Where a development is sufficiently large, with a lot area that equals twice the minimum lot area required for the zone that the lot is located in, in order to provide two frontages;
- When necessary, to overcome topographic or environmental issues; or
- Where deemed to be appropriate by the city engineer in accordance with generally accepted engineering practices.

Commented [LK14]: Specify min. lot area = twice the required lot area for the zone.

E. Corner lots. Corner lots intended for residential use shall have additional width to allow appropriate building setback and orientation to both streets, a driveway, and provide adequate corner visibility.

~~**F. Lot orientation to T intersections.** The building envelope of lots at the terminal end of a "T" intersection shall be offset from the centerline of the terminated street in order to mitigate the impacts of oncoming traffic on the use of the lots.~~

Not required

~~**G. Width of irregular lots.** Cul-de-sac lots or irregular shaped lots shall have sufficient the required width at the front building line to meet minimum lot-frontage requirements.~~

Specify the width required

H. Drainage ways.

- Buildable lots shall not encroach into a regulatory floodplain or floodway.
- Floodplains may be platted as open space, common area, a drainage easement, and for essential services that are required to be located in close proximity to regulatory floodplains.

I. Adequate and safe access.

Commented [LK15]: Repeated under subdivision requirements. Sec. 23-12. I. Streets and driveways

Refer to Section 24-12.I.

- ~~All subdivisions containing 30 or more lots must have at least two points of 100-year storm compliant public access constructed to ACM standards, that connect to paved public streets.~~
- ~~The city council may approve subdivisions that have more than 30 lots, but fewer than 50 lots, with a single entrance to a paved public street provided that such a connection to an existing paved public street is designed as a boulevard with a width sufficient on each driving lane for fire truck access, with an unbroken median length of 100 feet, unless left turn lanes and median breaks, designed to ACM standards, are installed at any crossing streets.~~
- ~~The city council may approve subdivisions that have more than 50 lots, with a single entrance to a paved public street subject to the entrance to the development being designed as a boulevard with a width sufficient on each driving lane for fire truck access, with an unbroken median length of 150 feet, unless left turn lanes and median breaks, designed to ACM standards, are installed at any crossing streets, subject to a phasing plan that stipulates when the second access will be provided and the developer or subdivider posts surety for the second access point. The council may defer plat recordation until adequate access is provided.~~
- ~~Where more than one street connection to paved public streets are required, both connections, when located in close proximity to creeks, bayous, and flooding hazards shall be designed so that each street is accessible in a 100-year storm to prevent water from over-topping each road. Only one street may not be located over a potential hazard, such as a high pressure pipeline, unless such a connection is required by the FTP and the utility provider consents to such a crossing.~~
- ~~When more than one connection is required, the city may consider an all weather remote emergency access where development phasing or land constraints will delay the provision of an additional access ways.~~
- ~~When a required second access to a paved public street is required, the paved public street to be accessed shall be considered a boundary street. As such, the subdivider or developer shall be required to provide~~

Commented [LK16]: Safety issue. Not supported by Fire Marshal

Commented [LK17R16]:

Commented [LK18]: Issues with connectivity and ingress/access issues for residents if the one access is blocked.

improvements to the boundary street to improve such road to current ACM standards in accordance with article III division 1, Transportation Responsibilities.

Commented [LK19]: Repeated under subdivision requirements.

h. Blocks generally.

1. *Length.* Block length shall be provided based on the following guidelines:
 - a. Block shall generally have sufficient width and depth for to provide two tiers of lots with the required lots depths. Exceptions may be made when property is adjacent to arterial streets, railways, waterways, wetlands, or other elements;
 - b. Blocks shall generally not exceed a length of 1,000 feet, unless density is in length nor be less than 300 feet in length unless an alternative length is approved as a variance variation by the City Council upon recommendation from the Planning and Zoning Commission, and unless an alternative length will not result in public health or safety issue, connect streets, is necessary for drainage or environmental considerations, or based on site constraints; unless approved as set forth in the City Code of Ordinances.
 - c. The provision of adequate building sites suitable to the special needs of the type of use;
 - d. The required lot widths and lot areas of the applicable zoning district; and
 - e. The need for convenient access, circulation, traffic control, and safety of street traffic.
 2. *Shape.*
 - a. Blocks shall be generally rectangular but may have curves or bends that correspond with the natural terrain.
 - b. Irregularly shaped blocks which contain interior parks or playgrounds, parking areas, wetlands, or drainage improvements shall be permitted.
 - c. Blocks shall be shaped in a manner that will provide safe pedestrian and vehicular circulation; efficient utility delivery; and adequate access for emergency service providers.
 3. *Relationship of blocks to streets.*
 - a. Intersecting streets shall be used to determine block length, width, and shape;
 - ~~b. Streets shall be provided at intervals that adequately serve cross traffic, conform to existing street patterns, and customary subdivision practices; and~~
 - ~~b.~~ Block and street design can vary to facilitate development and street connections and adjust to natural and man-made barriers, property lines, adjacent development, or other unique conditions provided that safe pedestrian and vehicular circulation is the end result, provided the design is safe for pedestrians and traffic.
- k.** Relationship to major streets. New residential lots shall not back up to highways, arterials, and major collector streets and shall take access from local or minor collector streets.

Commented [KR20]: Changed to variation. To be verified by legal.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-12. Streets and driveways.

- A. *Conformity to the future thoroughfare plan.* The general location, alignment, and functional classification of all streets and roads shall conform to the most recently adopted Angleton Future Thoroughfares Plan (FTP) Mobility Plan dated XXXX, OR thoroughfare plan, as amended.
- B. *Street classifications.* Streets shall be classified according to the following functional classifications, as set out on the Mobility Plan dated XXXX, Angleton FTP: Angleton thoroughfare plan, as amended.
 1. Highway

Commented [KR21]: Year to be added

Commented [KR22]: Year to be added

2. ~~M/~~major arterial;
3. ~~—~~Minor arterial
4. ~~M/~~major collector
5. ~~M-~~and
3. ~~—~~Minor collector;
6. ~~L~~local street and
7. ~~C-~~cul-de-sacs.

C. *Coordination with Texas Department of Transportation (TXDOT) and Brazoria County required.*

1. For projects adjoining, or accessing TXDOT right-of-way, the ~~engineer applicant will shall~~ contact the TXDOT to determine all TXDOT requirements and copy the city on all ~~correspondence. communications.~~
2. For plats in the ETJ, the ~~engineer applicant~~ shall contact the Brazoria County engineer to determine the requirements of Brazoria County and copy the city on all ~~correspondence. communications.~~

D. *Acceptance of streets.* Required city street improvements shall be dedicated to the city, as set out in article III, division 4, Public Acceptance and Permitting, ~~the LDC and City code of ordinances.~~

E. *General location standards.*

1. *Minimum design standards.* Required city street improvements shall be designed and constructed in accordance with ~~the City's Code of Ordinances the ACM and the design principles set out in article II, Subdivision and Development Design. the LDC and City code of ordinances.~~
2. *Layout and connectivity.* Streets and alleys shall:
 - a. Be extended and located in accordance with ~~the thoroughfare plan.~~ ~~the FTP~~ in terms of street classification, right-of-way, ~~and~~ pavement width, and alignment; and
 - b. Bear a logical relationship to existing topography and ~~existing or proposed~~ street locations, and the development of adjacent developed and undeveloped properties ~~thoroughfare plan as set forth in the city code of ordinances.~~
 - c. ~~Any deviation from the FTP shall be approved by the City Council with a recommendation from the Planning and Zoning Commission. and shall not be forced by the strict adherence to the FTP into locations that are not suitable for road construction, the extension of roads, are not practical for development, may result in the need for long term improvements that are cost prohibitive, such as the building of a bridge, or result in undesirable environmental impacts.~~ ~~thoroughfare plan~~
 - c. Where not shown on the ~~FTP~~ street layout will:
 - i. Provide continuity and connectivity between ~~existing and proposed~~ streets;
 - ii. ~~Conform to generally accepted transportation planning principals for street hierarchy, spacing, and location, with due consideration to topography, environmental considerations, and natural hazard avoidance; and~~
 - iii. Provide connections to existing streets in a manner that will not change the functional classification of existing streets and will provide safe access to all lots.
3. *Excess right-of-way.* Right-of-way in excess of the standards of the LDC may be required where topography ~~results in the need for~~ ~~requires~~ additional right-of-way to provide slopes ~~that do not exceed a ratio of three to one or in order to provide street connectivity.~~ ~~to~~

F. *Design standards.* Streets shall be designed per ~~the City's Code of Ordinances the ACM~~ and the following standards:

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1. *Street grade and curves.*
 - a. Streets may have a maximum grade of seven percent; and
 - b. Centerline grade changes shall be designed in accordance with all AASHTO standards. Where there is a difference of more than two percent, the vertical curves shall be connected with a curve of sufficient length to provide a minimum 200 feet of sight distance.
2. *Street intersections.* Streets shall be designed to intersect as close as possible to right angles. The city engineer may consider an angle not less than 80 degrees where necessary to connect streets or avoid natural or man-made impediments.
3. *Intersections.*
 - a. All arterial and collector street intersections shall be at 90 degrees, or within five degrees of that standard.
 - b. The curb radius at street intersections shall conform to the specifications in the [City's Code of Ordinances ACM](#).
 - c. Deviations from these requirements can be considered, [as per section 22-12.F.2.c.](#) when streets are realigned to comply with the FTP or to avoid natural, or man-made features, such as, but not limited to, protected wetlands, bogs, floodplains, a stand of [heritage protected](#) trees, artifact areas, historic buildings or sites, pipelines, easements or existing development.
4. *Street jogs (off-sets).* Street off-sets less than 150 feet, measured centerline to centerline, are prohibited. A jog of not less than 100 feet may be approved only when necessary to connect streets in adjoining developments where both streets are local streets.
5. *Off-site improvements.* Off-site traffic improvements, as determined by the recommendations of a traffic impact analysis, as set out in section 23-25, [Traffic impact analysis](#), or by TXDOT, may be required to mitigate the impact of development on existing transportation networks.
6. *Design.* City streets shall be designed as set out in Table 23-12.1, Street Design Standards.

Table 23-12.1 Street Dimension Standards					
Design Features	Road Classifications				
	Major Arterial	Minor Arterial	Major Collector	Minor Collector	Local Street
Right-of-Way Width	100'—120'	80'—100'	70'—80'	60'—70'	60'
Pavement Width	48' to 60'	36' to 48'	36'	32'	28'
Number of Lanes	4—6	3 or 4	2 or 3	2	2
Lane Width (ft.)	12'—14'	12'	12'	12'	12'
Design Speed	45—55+ mph	35—45 mph	30—35 mph	30 mph	30 mph
Width of Sidewalks	Min. 6'	Min. 6'	Min. 6'	Min. 6'	Min. 5'

Add width of sidewalk.

- G. *Partial streets, cul-de-sacs, and dead-end streets.*
 1. *Cul-de-sacs.* Cul-de-sacs shall not exceed a length of:
 - a. Four hundred fifty feet in office and general commercial developments;

-
- b. Six hundred feet in business park and industrial developments;
 - c. One thousand feet for suburban residential developments with densities greater than three dwelling units per acre; and
 - d. One thousand five hundred feet for rural and estate developments with densities less than three d.u. per acre.
 - e. All cul-de-sac streets shall have a turnaround, with a paved surface diameter of no less than 110 feet and a right-of-way diameter of no less than 130 feet. A greater diameter pavement and right-of-way may be required by the city to accommodate oversized vehicle traffic and to provide adequate fire protection.
2. *Partial streets.* The use of a partial, or half street, is generally prohibited unless:
- a. A half street is proposed to increase the width of an inadequate existing right-of-way or where the construction of a half-street results in a fully functional two-way road. The construction of two lanes of a proposed four-lane arterial street; where a half street would be a fair share improvement is permitted;
 - b. A street stub is provided to facilitate the connection of a street to a future phase of development or a future adjoining development. In these circumstances, the city engineer and fire department may require a temporary cul-de-sac, or an alternative turnaround design, or a maintenance bond; or
 - c. An existing half street exists adjacent to an area to be subdivided, in which case the subdivider must dedicate the remaining right-of-way and construct the half street as a fair share improvement or may defer the construction of the half-street in accordance with the requirements of article V, division 1, Transportation Responsibilities.
3. *Dead end streets* are prohibited unless they are designed as a short stub, or as a temporary all-weather turnaround, with a length not to exceed 100 feet.
- H. *New boundary streets.* For new boundary streets that will form part of a subdivision boundary, the following standards shall apply:
1. *Local streets.*
- a. Where a local street forms part of a development or subdivision boundary, the developer or subdivider shall dedicate right-of-way sufficient to make such street conform to requirements of the city.
 - b. The developer or subdivider shall also improve such street in conformance with all standards and specifications of the City of Angleton, including installation of curbs on both sides of the street and enter into a reimbursement agreement with the city or enter into a deferral agreement with the city, as set out in section 23-38, Deferral and Permitting.
2. *Collector and arterial streets.*
- a. Where a proposed collector or arterial street forms part of a development or subdivision boundary, the subdivider shall dedicate a minimum of one-half of the additional right-of-way necessary to comprise the full street width.
 - b. Dedication of more than half this additional increment may be required, to maximize the use of existing streets; to provide access and connectivity, to meet the requirements of the traffic impact study, and/or to ensure consistent street alignment or curvature.
 - c. The developer or subdivider shall either:

Commented [LK23]: Not needed, as ALL requirements would need to be met.

- i. Construct the required street or pave one half of the required street in accordance with the traffic study or the City's Code of Ordinances~~ACM~~; or
Pave one half~~construct~~ of the proposed required street in accordance with the ACM; or
- ii. If approved by the city, contribute to the city an amount of money equal to 125% of amount that necessary to complete the design and construction of the street, curb, and sidewalk required by the LDC and the City's Code of Ordinances~~ACM~~.

Commented [LK24]: This is typically 110 to 150% . City policy is 125%.

I. Public access to subdivisions.

Commented [LK25]: Conflicts with 24 11 I

1. Subdivisions containing 30 or more lots, or multi-family developments with 50 or more units, shall have a minimum of two points of public vehicular access, 100-year storm compliant, and constructed to standards outlined in the City's Code of Ordinances~~ACM standards, vehicular access~~ to an existing public right-of-way separated as far apart as practical in accordance with the fire code; or
2. The city council may approve subdivisions that have more than 30 lots, but fewer than 50 lots, with a single entrance to an existing paved public street ~~consider a boulevard style entrance~~ with the following design elements:
 - a. A boulevard entrance with a median that has a minimum width of six feet;
 - b. Extension of the median into the subdivision an unbroken distance of at least with an unbroken median length of 100 feet, unless left-turn lanes and median breaks, designed to ACM standards outlined in the City's Code of Ordinances, are installed at any crossing streets; 75 feet to the first intersecting interior street; and
 - c. Boulevard lanes with an adequate pavement for emergency access into the development.

Commented [LK26]: Is IFC adopted? An appeal process through IFC is different than City Council

~~3. The city may approve a phasing plan, as set out in section 23-18, Development Phasing, specifying where and how many lots may be platted before a second access shall be provided and may require a performance bond equal to the cost of proving a second access point.~~

Commented [LK27]: Safety, connectivity, and access issues.

3. The city council may approve a variation to allow subdivisions that have more than 50 lots, with a single entrance to a paved public street as part of subdivisions approval process, subject to:
 - a. the entrance to the development being designed as a boulevard with a width sufficient on each driving lane for fire truck access;
 - b. with an unbroken median length of 150 feet, unless left-turn lanes and median breaks, designed to ACM standards outlined in the City's Code of Ordinances, are installed at any crossing streets,
 - c. subject to a phasing plan that stipulates when the second access will be provided and the developer or subdivider posts surety for the second access point.
 - d. The council may defer plat recordation until adequate access is provided.

Commented [KR28]: Changed to variation. To be verified by legal.

~~4. An emergency access easement may be considered as a temporary second access point until a permanent second access is provided, or may be considered as a permanent solution in any instance that additional options for a second access point are not available.~~

Commented [LK29]: Safety issue. Not supported by Fire Marshal

4. ~~5.~~ A one-foot, non-access easement shall be provided along the rear property lines of residential lots that back up to arterial streets and TXDOT highways to prevent access.

- 5. Where more than one street connection to paved public streets are required, both connections, when located in close proximity to creeks, bayous, and flooding hazards shall be designed so that each street is accessible in a 100-year storm to prevent water from over-topping each road. Only one street may not be located over a potential hazard, such as a high-pressure pipeline, unless such a connection is required by the FTP and the utility provider consents to such a crossing.
- 6. For subdivisions containing 30 or more lots, or multi-family developments with 50 or more ~~units,~~ ~~when units,~~ when more than one connection is required, the city may consider an all-weather remote emergency access where development phasing or land constraints will delay the provision of an additional access ~~ways.~~
- 7. When a required second access to a paved public street is required, the paved public street to be accessed shall be considered a boundary street. As such, the subdivider or developer shall be required to provide improvements to the boundary street to improve such road to current ~~ACM~~ standards in accordance with article III division 1, Transportation Responsibilities.

Commented [LK30]: Issues with connectivity and ingress/access issues for residents if the one access is blocked.

Commented [LK31]: Repeated under subdivision requirements.

~~J. Street drainage.~~

- 1. ~~The storm drainage for all local streets shall be designed to a 10-year storm capacity curb face to curb face and to a 25-year flood frequency within the rights-of-way of each local street.~~
- 2. ~~All arterial and collector streets designated as such on the FTP shall be designed to a 20-year storm event curb face to curb face and to a 25-year flood frequency within right-of-way of each collector and arterial street.~~
- 3. ~~Runoff rates shall be computed on the basis of ultimate development of the entire watershed contributing runoff water to the proposed subdivision or development based on the design of the channels and streets that convey stormwater in to, and out of, the contributing area.~~
- 4. ~~The creation of a new bar ditch for street drainage shall be prohibited, except for all residential minor plats and residential development where the proposed density minimum lot size will be equals to one acre, or less than, 1.0 dwelling unit per acre. The City may require additional ten foot wide right of way for such streets to accommodate drainage ditches.~~
- 5. ~~In locations where bar ditches exist, when adjoining properties are developed, or redeveloped, the existing bar ditches shall be replaced with stormwater management facilities; such as, but limited to a storm sewer or a stormwater detention facility, that will convey the stormwater to City of Angleton or Angleton Drainage District drainage infrastructure, in which case, subsection K below, Curb and gutter, shall not be applicable.~~

Commented [LK32]: Density calculations are confusing and one acre lot density may not equate to minimum lot size of one acre.

~~K. Curb and gutter.~~

- 1. ~~Curb and gutter shall be installed by the developer or subdivider on both sides of all streets within or forming part of the boundary of the subdivision in accordance with the ACM.~~
- 2. ~~The city engineer may vary the curb and gutter requirements, or approve an alternative design if legitimate professional engineering standards and practices, local conditions, environmental, or factors related to stormwater management warrant a deviation.~~
- 3. ~~The use of laydown curbs shall be prohibited unless some practical, site specific, or engineering consideration may necessitate the use of laydown curbing.~~
- 4. ~~The only exceptions to these requirements are all minor plats and developments where the proposed density minimum lot size is equal, or less than one acre, 1.0 dwelling unit per acre.~~

Commented [LK33]: May want to reconsider as it limits pavement cuts and repairs. The driveways tie directly into the curb with no curb cuts.

~~L. Existing bar ditches and roughly proportional responsibility.~~

- ~~1. Except for residential minor plats and residential development that will shall have a density minimum lot size equal to, or lower of than of one acre, 1.0 dwelling unit per acre, and TXDOT system highways, the continued use of existing bar ditches is prohibited.~~
- ~~2. When new development, or redevelopment, is proposed along a street that has an existing bar ditch, the subdivider or developer may not continue to use the existing bar ditch unless the existing bar ditch:

 - ~~a. Has a slope of 3:1 or less;~~
 - ~~b. Will allow the installation of a sidewalk if one doesn't exist;~~
 - ~~c. Allow adequate area for the installation of required utilities and drainage easements; or~~
 - ~~d. Can be relocated or redesigned to satisfy all of the above design criteria.~~~~
- ~~3. If an existing bar ditch does not, or cannot, satisfy all of the above criteria, the existing bar ditch shall be replaced with underground drainage infrastructure covered within by a drainage easement to convey stormwater a detention facility maintained by a property owners' association and/or to stormwater management facilities that have adequate capacity that are maintained by either the City of Angleton, Brazoria County, or Angleton Drainage District.~~
- ~~4. The roughly proportional share of the developer or subdivider to make drainage improvements upstream, or downstream, to convey stormwater through, across, or adjoining the subject development, is the total cost of all required improvements; designed in accordance with the ACM and subject to the approval of the city and the drainage authority that would be accepting stormwater conveyance from the development.~~
- ~~5. When a proposed subdivision or development backs up to, or sides on an existing street right-of-way with an existing bar ditch that cannot satisfy the above criteria, the fair share responsibility of the subdivider or developer shall also include a street design with curb and gutter, and sidewalk, each designed in accordance with the ACM.~~

JAA. Street names, addresses, posts, signs, and markers.

1. Street names shall not duplicate the names of existing streets in the city or the city ETJ;
2. Address numbers shall be assigned and displayed, in accordance with city, and in the ETJ, Brazoria County, standards in the size, color, contrast, to ensure right-of-way number visibility;
3. The developer shall be required to install all required signage and markers, consistent with city standards, and when applicable TXDOT and Brazoria County standards; and
4. Signs shall be installed per AASHTO standards, the Uniform Traffic Code, and the City's Code of Ordinances ACM.
5. Steet signs shall have white lettering on green background in conformance with the requirements of the City's Code of Ordinances ACM.

What is an acceptable proof? It should be clarified in the submittal checklist? [A](#)

Commented [LK34]: Require green street signs with white lettering, not blue like Sugarland.

N. Driveways and access.

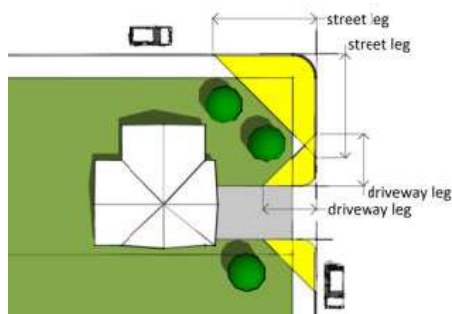
1. *Cross-access.* Parcels proposed for development that front on arterial and collector streets shall provide cross-access to abutting parcels unless cross-access is unfeasible. Cross-access easements may be required for other parcels, based on the location, traffic conditions, and surroundings.
2. *Alternatives.* Where connections to abutting parcels are possible, but not currently provided:
 - a. The parcel being developed shall include a stub-out or cross-connection easement at locations that allow reasonable connections to the abutting parcel; and

- b. Said connections shall be depicted on a recorded plat or by separate instrument.
3. *Driveway width.* Driveways, on non-TXDOT system roads, that provide property access shall be:
- At least 25 feet wide, but not more than 45 feet wide at the property line and configured to direct traffic safely to lots and may include medians between ingress and egress lanes.
 - Designed with a wider width as necessary to provide adequate width for trucks, emergency vehicles, or an adequate number of drive lanes to enter and exit a development.
4. *Number of driveways.* Lots with frontage on more than one street may have a second driveway, with one driveway on each street. "Right-in" and "right-out" driveway pairs shall be considered to be one driveway.
- Lots with frontage less than 250 feet, shall be limited to one driveway.
 - Lots with frontage on multiple streets may have an additional driveway on each street.
 - "Right-in" and "right-out" driveway pairs shall be considered to be one driveway.
 - An additional driveway for lots wider than 250 feet that have multiple uses, are larger than five acres, may be approved if additional driveways would be considered if they comply with AASHTO standards or are necessary based on the recommendations of an approved TIA.
5. Driveway spacing and proximity to arterial streets and highways. Driveway spacing on the same side of the street and proximity to arterial streets and highways shall be as follows:
- Driveway spacing on the same side of arterial street or highway shall be a minimum of 250 feet between driveways, measured from the centerlines of driveways.
 - Driveways shall not be located closer than 150 feet from a street intersection, measured from the edge of pavement of the driveway to the right-of-way.
 - Deviations from the strict driveway spacing and location may be approved by the city engineer based on the location of existing or proposed driveways on the opposite side of streets and the location of existing or proposed street improvements, such as medians and turn lanes. Acceptable deviations must adhere to AASHTO standards, generally accepted traffic engineering practices, and the recommendations of an approved TIA.
 - For legally nonconforming lots, the driveway spacing and proximity requirements of this subsection may be administratively waived to allow the construction of a driveway to every lot after determining that shared access is not possible and that the driveway will be the greatest distance practical from the arterial street or highway, and any adjoining driveway.
6. *Driveway spacing and proximity to major collector streets.*
- Driveway spacing on the same side of a major collector street shall be a minimum of 150 feet between driveways, measured from the centerlines of driveways.
 - Driveways shall not be located closer than 75 feet from a street intersection, measured from the edge of pavement of the driveway to the right-of-way.
 - Deviations from the strict driveway spacing and location may be approved by the city engineer as set out in subsection 5.c, above.
 - For legally nonconforming lots, the driveway spacing and proximity requirements of this subsection may be administratively waived as set out in subsection 5.d above.
 - Driveway access to residential lots shall be limited to the greatest extent practical.
7. *Driveway spacing and proximity to minor collector streets.*

Commented [LK35]: TXDOT complies with AASHTO standards

- a. Driveway spacing on the same side of a minor collector street for non-residential uses shall be a minimum of 100 feet between driveways, measured from the centerlines of driveways.
 - b. Driveways for non-residential and apartments shall be a minimum of 50 feet from a street intersection, measured from the edge of pavement of the driveway to the right-of-way.
 - c. For legally nonconforming lots, the driveway spacing and proximity requirements of this subsection may be administratively as set out in subsection 5.d above.
 - d. Driveway access to residential lots from minor collectors is permitted, but shall be limited to the greatest extent practical.
8. *Driveway proximity to local streets.*
- a. There is no minimum distance separation between driveways, but driveways on corner lots abutting a local street shall be as far from the intersection as practical.
 - b. For corner lots where a local street intersects an arterial or any type of collector street, access to the lot shall be provided from the local street.
9. *Driveway radius.*
- a. Driveway approaches shall be constructed with either flared side slopes or with return curbs with a rolled face disappearing at the sidewalks and joining the street curb with a radius. Flared side slopes shall be used whenever a curb return may present an architectural barrier within a pedestrian path.
 - b. Driveway flares shall not extend across any property line except for a shared driveway.
 - c. The radius shall continue beyond the sidewalk to the end of the required dimension.
10. *Existing sidewalks, curb and gutter, and ramps.* When a driveway crosses an existing curb and gutter or sidewalk, the driveway will be designed in accordance with the ACM and shall be jointed per the ACM and TAS regulations.
11. *Visibility requirements.* A triangle formed by the intersection of curb lines and a line connecting street legs 25 feet from intersections, as shown in Figure 23-12.1, Sight Distance Triangle Requirements, shall have clear visibility between two feet and eight feet of the road surface. The same standard shall apply to driveway legs.

**Figure 23-12.1
Sight Distance Triangle Requirements**



(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

(Supp. No. 19)

Created: 2021-03-10 16:12:29 [EST]

Sec. 23-14. Sidewalks and accessibility.

A. Sidewalks.

1. Required.

- a. Sidewalks shall be required in all locations that adjoin public and private streets on both sides of streets in all new plats, excluding minor plats, in the city and the ETJ as part of the development.
- ~~b. Sidewalks shall be required to be constructed as a requirement of site plan approval for new developments along all public streets.~~
- be. For an existing development that does not have sidewalks along adjoining public streets and is proposed to be expanded, sidewalks shall only be required for the entire length of the property along the street portion of the property where the expansion is proposed. The city council may consider a variance when there are significant engineering constraints that result in practical difficulties from locating or extending a sidewalk or when a sidewalk should not be extended for other practical considerations.

Commented [LK36]: Clarification that sidewalks are required for all developments.

2. Construction standards.

- a. The construction specification of sidewalks shall conform to ~~ACM~~ specifications for sidewalks and all accessibility standards outlined in the City's Code of Ordinances.
- b. Residential sidewalks shall have a minimum width of five feet and shall be setback two feet from the back of the curb.
- c. Sidewalks for non-residential uses shall have a minimum width of six feet.
- d. If a required sidewalk will connect to a substandard sidewalk, the city engineer may allow the tapering of the required sidewalk to provide a seamless connection.

3. Sidewalk obstructions.

- a. When existing or required development improvements, such as a fire hydrant or a group mailbox, are in path of a sidewalk, the sidewalk shall be offset around the obstacle at its full required width.
- b. If the right-of-way is insufficient to off-set the sidewalk around an obstruction, the city engineer may approve an alternative solution, in the form of requiring additional right-of-way or dedication of a "pedestrian or sidewalk easement".
- c. In avoiding an obstruction, the sidewalk shall comply with all ADA-TAS requirements.

4. Corner lots. Where sidewalks are required on corner lots, they shall be installed along both frontages and extended to the curb with handicapped access ramps in accordance with the City's Code of Ordinances~~ACM~~ and all TAS requirements.

5. Timing of construction. Sidewalks shall be constructed as set out below:

- a. Sidewalks shall be installed concurrent with the construction of the adjoining street or concurrent with site development along existing streets.
- b. Where a sidewalk will adjoin a common area or a designated open space, the sidewalk will be constructed concurrent with the adjoining street.

- c. All public sidewalks proposed to be dedicated to the city shall obtain TDLR certification of compliance with Texas Accessibility Standards prior to city acceptance.
- 6. *Waivers, deferrals, and variances from sidewalk installation.*
 - a. During platting, the city engineer may recommend that the installation of certain sidewalk sections be deferred to a future date when a unique condition exists that may preclude the immediate construction of a sidewalk.
 - b. If the city council accepts the city engineer's recommendation, council may stipulate conditions and the timing when sidewalks must be completed and may require that the subdivider enter into an agreement guaranteeing the installation of sidewalks as each residential lot is constructed and may preclude additional platting or public improvement acceptance until sidewalks required in earlier phases of a project are installed.
 - c. During platting, the city engineer may recommend that the sidewalk requirement be waived, or reduced, where it is not practical due to specific circumstances, such as soil suitability, or the extension of a sidewalk into, or beyond, a floodplain, bayou, or ditch or that pose a significant safety risk that cannot be mitigated.
 - d. Concurrent with the site plan process, the city council, after receiving a recommendation from the planning and zoning commission, may approve a variance from the sidewalk requirements when engineering constraints or local conditions result in practical difficulties in the construction or extension of a sidewalk.

B. *Curb ramps.*

- 1. Curb ramps are required at all street intersections at the time of construction or reconstruction per all ADA/TAS requirements and the City's Code of Ordinances ~~ACM~~.
- 2. ADA/TAS compliant curb ramp providing access to sidewalks, parking spaces shall be provided, including access to common open space and any required public improvements, such as parks, greenways, and recreation areas, where public access is permitted.

(Ord. No. 1-12-2018, § 1(Ex. A), 12-11-2018)

DIVISION 3. GENERAL ENVIRONMENTAL STANDARDS

Sec. 23-60. ~~Heritage~~ Tree protection.

- A. *Authority.* Based on the authority of TLGC Ch. 212, the requirements of this section shall apply to all plats and site plans proposing new development in the corporate limits of the city and the ETJ.
- B. *Purpose and intent.* The purpose of this section is to require subdividers and developers identify and document the location of heritageprotected trees on properties where development for the following purposes:

Commented [KR37]: To be reviewed by the Parks Director.

(Supp. No. 19)

Created: 2021-03-10 16:12:29 [EST]

- Promote responsible design decisions that will preserve as many [heritageprotected](#) trees as possible;
- Prohibit the indiscriminate clearing of property;
- Preserve protected trees during construction;
- Protect and increase the value of properties by preserving those trees that help to define the character of the city and region;
- Maintain a positive image of the city as a place to live and locate a business;
- Protect the natural ecological environmental and aesthetic qualities of the city; and
- Provide shade to provide relief from the heat by reducing the ambient temperature.

C. [Heritage trees classified](#)

1. [Type of trees and Mitigation Requirement.](#) ~~following~~The following [type of trees](#) are considered as [protected trees](#):-

- ~~Standard Tree - A Standard Tree is defined as a tree that belongs to the Significant tree species listed in Section 23-60. D, with minimum TCD (total caliper diameter) of eight (8) inches and a maximum TCD of 11.9 inches.~~
- [Significant Tree - A Significant Tree is defined as a tree that belongs to the protected tree species listed in Section 23-60. D, with minimum TCD \(total caliper diameter\) of 12 inches and a maximum TCD of 23.9 inches.](#)
- [Heritage Tree - A Heritage Tree is defined as a tree that belongs to the Significant tree species listed in Section 23-60. D, ith minimum TCD \(total caliper diameter\) of 24 inches and a maximum TCD of 47.9 inches.](#)
- ~~Trees listed in Section 23-60. D, with a TCD of 48 inches, or larger shall not be removed. Live oak - *Quercus virginiana*;~~

~~Pecan - *Carya illinoensis*.~~

D. [Removal and Mitigation Criteria](#)

1a. [Replacement Criteria.](#)

[Developers of land are encouraged to preserve protected trees whenever possible. An applicant may remove Standard, Significant, and Heritage Trees if approved mitigation is provided.](#)

[The mitigation required shall be required at the following ratios:](#)

- [Standard Trees- 1:1 ratio for TCD \(total caliper diameter\) inches to be removed](#)
- [Significant Trees - 1.5:1 ratio for TCD \(total caliper diameter\) inches to be removed](#)
- [Heritage Trees - 3:1 ratio for TCD \(total caliper diameter\) inches to be removed](#)

2b. [Tree Mitigation Plan.](#)

[Any Protected Trees are planned for removal and trees plated to meet the mitigation requirement, must be identified and clearly marked on the Tree Mitigation Plan.](#)

3. [Removal and Mitigation of Standard and Significant Trees.](#)

a.i. The applicant may plant smaller trees to replace protected Trees, provided that no tree smaller than TCD 2.5 inches is planted. In cases where soil, slope, lot size, or other natural constraints make replacing the required number of TCD inches unfeasible, the City Manager (or his designee), may, at their sole discretion, allow some or all of the mitigation to take place on a separate, public site within the City, or on lands owned by an association that operates and maintains trails, open space, or parkland within the City and that are usable by residents of the general area where the applicant's land is located. In addition, the City Manager (or designee) may allow mitigation by payment of fee for some or all of the Standard and Significant Trees to be moved, if the City's fee schedule includes a provision for Fee In Lieu of Replacement Trees. Unless otherwise specified in the fee schedule, the fees for Standard and Significant mitigation shall be the same.

b.ii. Replacement trees shall not include more than 50% of the same species.

4e. Removal and Mitigation of Heritage Trees.

ia. Heritage Trees may not be removed during construction, except under certain specific circumstances:

- i. ~~1.~~ If the tree is sick or diseased and meets the criteria laid out in Section 23-60.E; or
- ii. ~~2.~~ If the tree is within the footprint as described in Section 23-60.E; or
- iii. ~~3.~~ If the removal is approved by the City Council after consideration by the P&Z, with a formal recommendation from the P&Z to the City Council

b.ii. If any Heritage Trees are planned for removal, they must be identified and clearly marked on the Heritage Tree Plan. The Heritage Plan must also identify any Heritage Trees that are likely to be endangered by construction activity which might sever or compress the root zone, or otherwise threaten the health and life of the tree, as determined by a reasonable person. The City Council may grant removals under Section 7.8(7)c.i-3 (above) at its sole discretion. In considering whether to allow the removal of Heritage Trees, the City Council shall consider whether removal is absolutely necessary to allow the applicant to meet reasonable, investment-backed expectations for use of the property, and whether such use can be accomplished while preserving Heritage Trees.

c.iii. If any Heritage Tree removals are granted, the applicant shall meet all the mitigation and replacement conditions outlined in 7.8(6)a. (above), except that any decisions delegated to the City Manager in that paragraph shall be made by the City Council.

d.iv. Replacement trees shall not include more than 50% of the same species.

e.v. The applicant may plant smaller trees to replace Heritage Trees, provided that no tree smaller than TCD 2.5 inches is planted.

E. ~~Significant Protected tree species classified. In the event that all heritage trees cannot be preserved, the~~ following tree species, if present on a property, ~~may shall be preserved as be preserved and credits awarded,~~ as specified in this section, to mitigate the loss of any ~~heritage-such~~ trees:

- Shumard Red Oak - *Quercus shumardii*;
- Burr Oak - *Quercus macrocarpa*;
- Chinquapin Oak - *Quercus muehlenbergii*;
- Post Oak - *Quercus stellata*;
- Water Oak - *Quercus nigra*;

- Willow Oak - *Quercus phellos*;
- Bald Cypress - *Taxodium distichum*;
- Tulip Tree (Yellow Poplar) - *Liriodendron tulipifera*;
- American Elm - *Ulmus americana*;
- Redbud - *Cercis canadensis*;
- Dogwood - *Cornus florida*.
- [Trees listed in the large tree section of "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of Hackberry and Arizona ash trees.](#)

E. Exceptions. The requirements of this section shall not be applicable when:

1. Plans or plats ~~were~~ approved prior to the adoption of the LDC;
2. Property is zoned or used for agricultural purposes, which includes the harvesting of timber;
3. ~~The owner of any residence used as a homestead~~ [For existing trees less than total caliper diameter \("TCD"\) of 10 inches, as per LGC Sec.212.905, on homestead properties containing single or two family dwelling.](#)
4. Damaged or diseased trees that are beyond the point of recovery, in danger of falling, or endangering public health, welfare, property, or safety, [as determined by a certified arborist](#);
5. Trees damaged from an act of nature that interrupts utility service. Removal shall be limited, if possible, to the portion of the tree reasonably necessary to re-establish utility service;
6. [Easements. Trees located within any public utility easement; and](#)
7. [Existing protected trees proposed to be removed due to current and/or potential damage to a structure located within ten feet \(10'\) of the structure's footprint.](#)

Commented [LK38]: Reconsider, unless it is statutory, especially for large lots. The owner get the land cleared when it is a homestead, prior to zone change or plat to circumvent the mitigation.

and

~~6. Golf courses to the extent necessary to accommodate the golf course improvements.~~

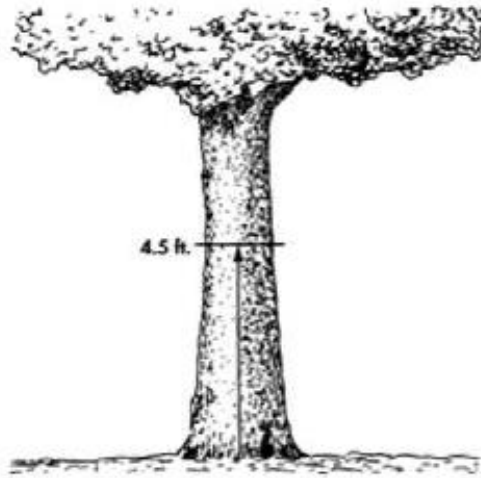
FG. Deferral. ~~The planning and zoning commission may~~ [The development administrator designated City staff city manager of designee, or upon appeal the planning and zoning commission](#), may:

1. Consider a ~~deferral~~ request to ~~maintain or remove a heritage protected tree that would otherwise require mitigation under this section.~~ when the literal enforcement of this requirement would result in the creation of an unnecessary hardship on impractical application of the plan considering the physical characteristics of the lot or parcel of land in question; and
2. Consider a waiver or a deviation from any other development requirements in order to preserve a [protected heritage tree.](#)

H. *Tree trunk measurement.* When documenting existing [heritage trees, or existing protected trees that may be used to mitigate the loss of heritage trees for mitigation purposes](#), the following criteria shall be applied:

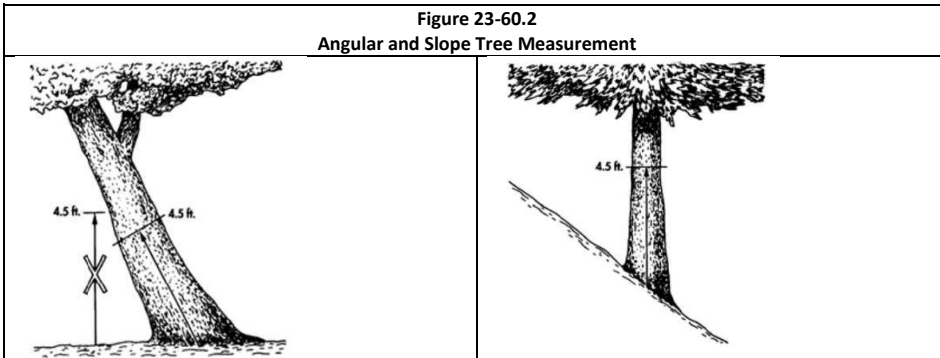
1. *Straight trunk:* Trees with fairly straight, upright trunks shall be measured 4.5 feet above the ground, as shown below:

Figure 23-60.1
Straight Tree Trunk Measurement

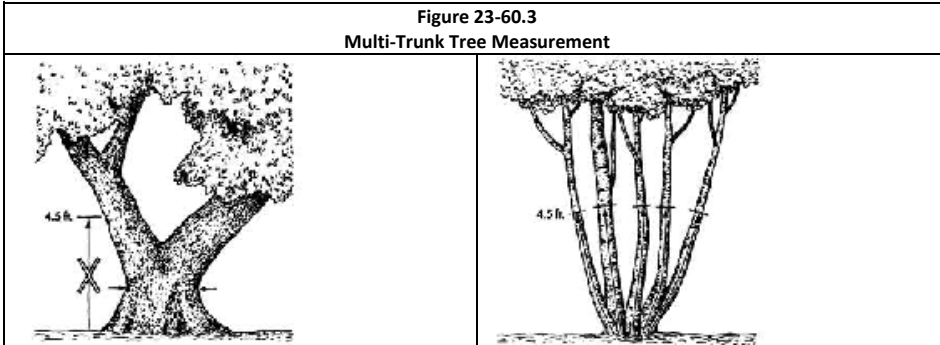


2. *Trunk on an angle or slope:* The trunk is measured at a right angle to the trunk 4.5 feet along the center of the trunk axis, so the height is the average of the shortest and the longest sides of the trunk, as shown below:

Figure 23-60.2
Angular and Slope Tree Measurement



3. *Multi-trunk trees.* To determine the diameter of a multi-trunk tree, measure each tree trunk larger than one inch. Determine the diameter of the largest tree trunk. The diameter of the multi-trunk tree is then computed as the diameter of the largest tree trunk plus one-half of the composite diameters of each smaller tree trunk greater than one inch. A multi-trunked tree is differentiated from individual trees growing from a common root stock if there is a visible connection between the trunks above ground.

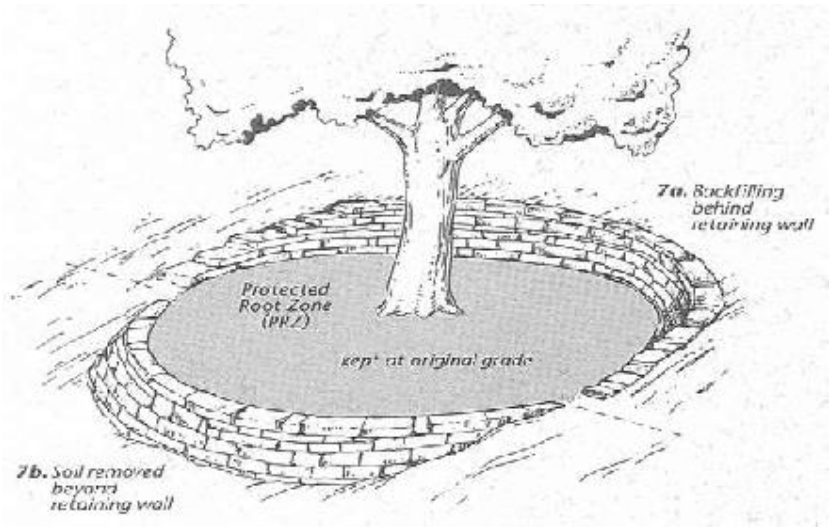


1. Replacement and protection of [heritageprotected](#) trees.
 1. Developers and subdividers shall submit a tree preservation plan with plats and site plans that identifies the name, location, DBH at 4.5 feet above the natural grade of [heritage-protected](#) trees, and any significant tree species that will be preserved for credits against lost [heritage-protected](#) trees.
 2. The developer or subdivider must identify the [heritage-protected](#) trees to be preserved or removed, and which existing significant tree species will be retained for credit for removed [heritageprotected](#) trees.
 3. When a [heritage-protected](#) tree is proposed to be removed, [the City Council Planning and Zoning Commission may staff may up on recommendation by Planning and Zoning Commission](#) relax any development requirement to preserve the tree, [upon staff recommendation. Staff reserves the right to refer a relaxed design solution to the planning and zoning commission for approval.](#) Relaxed design solutions may only be approved [by staff or](#) the commission upon finding that the preservation of the tree is in the public interest and that the relaxed standard would not result in any health or safety issues.
 - ~~4. If design solutions are not available to preserve heritage trees, the developer shall be required to determine the collective caliper of the heritage trees proposed to be removed and multiply that figure by three, to determine the aggregate amount of tree caliper that must be provided to replace removed heritage trees. Heritage trees may be replaced with another heritage tree or a tree on the significant tree species classified list. This requirement can be satisfied with the planting of many trees, a few trees, or one tree; provided that the aggregate replacement caliper is equal the existing aggregate proposed to be replaced times three.~~
 5. In lieu of planting young trees to mitigate lost heritage trees, the applicant may also propose to preserve existing mature healthy trees not listed in [significant-protected](#) tree species classified list, but that are listed in the large tree section of "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees.

Commented [KR39]: Changed to CC

- 56. For site plans, the aggregate caliper for replacement trees shall be in addition to the normal landscaping requirements of the zoning ordinance.
- 67. For residential subdivisions, the aggregate caliper of replacement ~~protected~~ trees shall be in addition to the normal requirement of this ordinance, which is two trees per residential lot. The locations of where replacement trees will be planted shall be identified in a tree replacement plan filed with the preliminary plat, final plat or site plan, with trees identified as an existing ~~heritageprotected~~/significant tee species.
- 78. No person, directly or indirectly, shall cut down, destroy, remove or move, or effectively destroy through damaging, any ~~protectedheritage~~ tree located on property regulated by this section unless such removal is expressly "excepted" by this section.
- 98. When using a retaining wall where the natural grade must be raised or lowered, the tree well shall be designed in accordance with the design concepts depicted in Figure 23-60.4, Retaining Wall and Tree RPZ Protection.
- J. *Tree preservation plan required.* When ~~heritage protectedtreesprotected trees~~ are located on a property for which development is proposed, which shall include site clearing, grubbing, earth movement, or the removal of any vegetation, a tree preservation plan shall be submitted that demonstrates compliance with the all of the requirements set out in this section.
- K. *Tree protection and planting.*
 1. Tree protection will be installed before any site work is initiated and maintained for the duration of the construction work. Tree protection will consist of the following:
 - a. It will consist of fencing (orange mesh or chain link) placed around the RPZ.
 - b. No vehicles or construction materials/debris will be allowed in the RPZ.
 - c. No equipment shall be cleaned or other liquids deposited within the limits of the dripline of any protected tree. This includes, but is not limited to, paint, oil, solvents, asphalt, concrete, mortar, or other materials;
 - d. No signs, wires, or other attachments, other than those of a protective nature, which have been approved in the tree disposition plan, shall be attached to any protected tree;
 - e. Trespassing or throwing trash into a protective fence area is prohibited.

Figure 23-60.4
Retaining Walls and Tree RPZ Protection



- f. Any damage done to tree crowns or roots will be repaired immediately and any wounds on live oaks will be painted with pruning paint within 60 minutes to prevent oak wilt.
 - g. Wells or retaining walls around the RPZ will be used if proposed finished grades will raise or lower the natural RPZ grade by more than six inches.
 - h. The finished RPZ will be pervious.
 - ~~i. For commercial, multifamily and other developments; a minimum of 25 percent of the total DBH must be preserved.~~
 - ~~j. For single family residential development of single or contiguous lots; contiguous lots include three or more lots, a minimum of 50 percent of total DBH must be preserved.~~
 - ~~k. For individual lots, 45 percent of total DBH must be preserved.~~
 - l. Utility and flatwork per the original builder's plan are exempt for up to 45 percent of the RPZ.
2. New single-family residential lots shall have two trees per lot. These trees may be:
- ~~a. A preserved heritage tree;~~
 - ~~ab. A tree on the specific trees species/protected tree species list in ~~list~~ Section 23-60. D that is replacing a heritage tree that was removed;~~ or
 - ~~be. A tree listed in the "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees, provided that the tree, when mature, will have an average crown greater than 15 feet in diameter, have a three-inch DBH and height of ten feet at the time of planting;~~
 - ~~cd. If an existing heritage tree or a specific/protected trees species that was preserved to comply with this section is located on a residential building lot, it shall be designated on the plat, or another suitable document, to ensure that it is properly protected during construction and is not removed by the property owner, unless an exception listed in the section becomes applicable.~~

~~e. Existing heritage trees preserved specific trees species may be located in the public right of way and may not be removed by the property owner.~~

~~3. New single family residential lots shall have two trees per lot. These trees may be:~~

~~a. A preserved heritage tree;~~

~~b. A tree on the specific trees species List that is replacing a heritage tree that was removed; or~~

~~c. A tree listed in the "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri Life Extension Service, with the exception of hackberry and Arizona ash trees, provided that the tree, when mature, will have an average crown greater than 15 feet in diameter, have a three-inch DBH and height of ten feet at the time of planting;~~

~~d. If an existing heritage tree or a specific trees species that was preserved to comply with this section is located on a residential building lot. It shall be designated as such to ensure that it is properly protected during construction and is not removed by the property owner, unless one of the exceptions listed in the section should become applicable.~~

~~e. Existing heritage trees preserved specific trees species may be located in the public right of way and may not be removed by the property owner.~~

Commented [LK40]: Duplicated – see above.

(Ord. No. 1-12-2018, § 1(Ex. A), 12-11-2018)

Sec. 23-75. Administrative permits and procedures.

- A. *Generally.* Administrative permits are those that are issued by [the designated](#) city staff without the requirement for a public meeting or hearing.
- B. *Administrative permits and procedures established.* Applications requiring administrative approval are set out in Table 23.75, Administrative Permits and Procedures, below.
- C. *Administrative rules authorized.* The city may establish administrative rules that stipulate administrative policies and guidelines, create filing schedules and deadlines and similar information to administer the LDC. The administrative rules may be amended, as necessary.

Table 23.75 Administrative Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Administrative Plats	Minor Plats Amending Plats Amending Plats Development Plats	Prior to sale or construction	All other plats	City Manager or Designated City staff Development Administrator
Site Plans	Determine Code Compliance	Prior to permit issuance	None	City Manager or Designated City staff Development Administrator
Extensions	Extend the life of an approval	Prior to expiration	As specified in the LDC	City Manager or Designated City staff Development Administrator

Commented [LK41]: As currently written. Recommending changes to permit administrivia approval of certain plats.

(Supp. No. 19)

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Table 23.75 Administrative Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Sketch Plans	Determine LDC Compliance	Prior to plan submittal	Optional	City Manager or Designated City staff Development Administrator
Permits, Certificates and Licenses	Authorization to build or to operate	Prior to construction or development	None	Building Official
Appeals	Challenge an administrative decision	Within 30 days of an administrative decision	Denied appeals can be appealed to City Council	City Manager or Designated City staff Development Administrator
Interpretations	LDC interpretations	Within 14 days of receipt of a complete application	None	City Manager or Designated City staff Development Administrator
Floodplain Development Permit	Development in a regulatory floodplain	Prior to beginning improvements in a floodplain	None	Floodplain Administrator
Construction of Public Improvements	Prior to site work	After approval of construction plans	None	City Manager or Designated City staff
Development Permit	Prior to site work	One week prior to the beginning site work	None	Building Official

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-76. Approvals and permits requiring public meetings.

- A. *Generally.* Applications requiring a public hearing or meetings are summarized in Table 23.76, Public Meetings: Permits and Procedures, below.
- B. *Public meetings and public hearings decisions.*
 1. A public hearing determination is issued by either the planning and zoning commission or city council during a public meeting.
 2. The planning and zoning commission, during a public meeting or public hearing, shall make a recommendation of approval, conditional approval, or denial to the city council, continue the application, or approve or deny those applications where it has final decision power.
 3. The city council, after concluding testimony, discussion, and deliberations, closing a public hearing, will approve, conditionally approve, continue, or deny the application.

Table 23.76 Public Meetings: Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Public Improvement Acceptance	Public improvement acceptance	Prior to Final Plat	None	City Council

(Supp. No. 19)

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Table 23.76 Public Meetings: Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
		recordation and building permit issuance		
Appeals	Appeals from a staff determination	Within 30 days of the action being appealed	Administrative Appeals	City Council
Preliminary Plat	All major plats	Prior to Final Plat	Minor Plats	Council, upon Planning & Commission recommendation
Final Plat	All major plats and any related platting variances	Prior to recordation and starting development	Minor Plats and Stale Plats	Council, upon Commission recommendation
Replat	Make changes to recorded plats	Prior to recordation and starting development	As per TXLGC XXXXX	Council, upon Commission recommendation
Vacation/Dedication of Easements	Easement dedicated or vacation	Prior to easement abandonment or conveyance	None	Council, upon Commission recommendation, if by plat, or by ordinance by Council
Floodplain Hazard Variance	Floodplain variances	Prior to permit issuance of a permit	Only pertains to Article V, Divisions 1 and 2	Council, upon City Engineer-staff recommendation
LDC Variance	Variance from an LDC requirement	Prior to permit issuance	Flood Hazard Variances	Council, upon Commission recommendation
Text Amendment	Amendments to LDC text	Prior to amending the LDC	None	Council, upon Commission recommendation
Special Agreements	As set out in Article III, Division 3	Prior, or concurrent with, platting	None	City Council
Interpretations	Application of an LDC requirement	Prior to final action on a request	Development Administrator Designated City staff Interpretations	City Council
Site Plan Referral	Plans referred by the Development Administrator Designated City staff	Prior to site plan approval	Site plans approved by the Development Administrator Designated City staff	Planning and Zoning Commission

Commented [LK42]: Add - Planning &
Commented [LK43]: List all plats, ROW dedication or abandonment, BOA, zone changes.

Table 23.76 Public Meetings: Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Concept Plan, Master Plan, or Land Study	"Conceptual" Project Direction and Approval	Prior to filing a plat or another development application	Voluntary for smaller projects, encouraged for large projects	Council, upon Commission recommendation
Vested Rights Petition	Expired Development Approval	Upon expiration of any Development Approval	None	City Council

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

DIVISION 3. ADMINISTRATIVE PLATS ; PERMITS AND PROCEDURES

Sec. 23-87. General procedures

A. Generally. Subdivision-related procedures are necessary to establish how individual lots or projects may be developed. Subdivision and property development related activities and projects must be in compliance with this Code. Plats are classified under two types – Administrative Plats and Non-Administrative plats.

B. Administrative plats.

1. Amending Plat. A plat that involves minor changes to a recorded plat. An amending plat will be filed in accordance with the procedures and requirements set forth in the TLGC §212.045. The City Manager or designee may approve and issue an amending plat, which may be recorded and control over the preceding plat without vacation of that plat and without notice and hearing.
2. Minor Plat. A subdivision involving four (4) or fewer lots fronting on an existing street and not requiring the extension of municipal facilities;
3. Development Plat. Required for any person proposing the development of previously unsubdivided or unplatted land that is not being divided into separate parcels, or land that was exempted from platting by TXLGC; and

C. Non-administrative pPlats.

1. Preliminary Plat. A map or drawing of a proposed subdivision plan that, upon approval, establishes the approved layout. This approval includes the location and width of proposed streets, lots, blocks, floodplains, easements (utility, drainage, franchise utility, etc.), amenities, and other features required to ensure compliance with the requirements of this Code. . A Preliminary Plat approval is required prior to Final Plat approval, except under certain conditions described herein in Section xxx.

Is there an option to combine all types of replats?

2. Final Plat. A subdivision map or drawing intended for recordation in the plat records of the county in which the subdivision is located. A Final Plat requires approval of Preliminary Plat, construction plans for streets and infrastructure, and other items from the Preliminary Plat in accordance with this Code.
3. Re-plat. A new plat that changes the restrictions of a previously adopted Final Plat or results in a change in lot sizing that would affect water well or on-site sewage facility regulations, or that would affect compatibility with the City's zoning code or Future Land Use Map.

D. Other Plat Related Approvals.

1. Concept Plan. A map or plat designed to illustrate the general design features and street layout of a proposed subdivision development and platted in sections. A Concept Plan will be valid for one (1) year and will expire if a plat or a permit has not been approved or issued within the one (1) year time period. Subsequent approvals will automatically extend the approval of the Concept Plan for one (1) year following the last approval. (Refer to Table 3.2).
2. Construction Plans. The maps, drawings, and specifications indicating the proposed location and design of improvements to be installed in a subdivision/Site Plan.

E. ~~E Administrative Plats, General Requirements~~

A. General. Administrative plats include the following:

1. Consolidation plat or replat, minor;
2. Amending plat, minor;
3. Minor plat; and
4. Development plat.

- 1a. Applicability. Minor Plats, Amending Plats, and Development Plats may be approved by the City Manager (or designee) following an evaluation for plan compliance and technical compliance with this Code.
 - a. Minor Plat. A Minor Plat is any plat involving four (4) or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of municipal facilities.
 - b. Amending Plat. A plat that complies with LGC §212.016, as amended, which is generally submitted to correct errors and omissions, or make minor changes if the amending plat is signed by the applicants only and is solely for one or more of the following purposes:
 - i. 1. Correct an error in a course or distance shown on the preceding plat;
 - ii. 2. Add a course or distance that was omitted on the preceding plat;
 - iii. 3. Correct an error in a real property description shown on the preceding plat;
 - iv. 4. Indicate monuments set after the death, disability, or retirement from practice of the engineer or surveyor responsible for setting monuments;
 - v. 5. Show the location or character of a monument which has been changed in location or character or that is shown incorrectly as to location or character on the preceding plat;

- vi. ~~6.~~ Correct any other type of scrivener or clerical error or omission previously approved by the municipal authority responsible for approving plats, including lot numbers, acreage, street names, and identification of adjacent recorded plats;
- vii. ~~7.~~ Correct an error in courses and distances of lot lines between two (2) adjacent lots if:
- Both lot owners join in the application for amending the plat;
 - Neither lot is abolished;
 - The amendment does not attempt to remove recorded covenants or restrictions; and
 - The amendment does not have a materially adverse effect on the property rights of the other owners in the subdivision;
- viii. ~~8.~~ Relocate a lot line to eliminate an inadvertent encroachment of a building or other improvement on a lot line or easement;
- ix. ~~9.~~ Relocate one or more lot lines between one or more adjacent lots if:
- The owners of all those lots join in the application for amending the plat;
 - The amendment does not attempt to remove recorded covenants or restrictions; and
 - The amendment does not increase the number of lots;
 - The amendment does not render any resulting lot substandard for a required well, on-site sewage facility, or below minimum lot size requirements in existing deed restrictions on in the City's Future Land Use Map; or
- x. ~~10.~~ Make necessary changes to the preceding plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
- The changes do not affect applicable zoning and other regulations of the municipality, including water and on-site sewage facility regulations;
 - The changes do not attempt to amend or remove any covenants or restrictions; and
 - The area covered by the changes is located in an area that the Commission or City Council has approved, after a public hearing, as a residential improvement area; or
- xi. ~~11.~~ Replat one or more lots fronting on an existing street if:
- The owners of all those lots join in the application for amending the plat;
 - The amendment does not attempt to remove recorded covenants or restrictions;
 - The amendment does not increase the number of lots; and
 - The amendment does not create or require the creation of a new street or make necessary the extension of municipal facilities, or require a variance for water well lot sizing and setbacks or on-site sewage facility regulations.
- ~~c##.~~ Development Plat:
- i. ~~1.~~ Development Plats are required for previously unsubdivided or unplatted land that is not being divided into separate parcels, as described in LGC §212.045.
- ii. ~~2.~~ Any person who proposes the development of a tract of land within the City limits or the extraterritorial jurisdiction of the City must have a Development Plat of the tract prepared in accordance with this Section.

iii. ~~3~~—No development will begin, nor any building permit, utility connection permit, or similar permit be issued until a development plat has been reviewed and approved.

iv. ~~4~~—When an applicant is required to file a Preliminary Plat or Final Subdivision Plat by other requirements of this Section, a Development Plat is not required.

~~d.iv.~~ —City Manager Endorsement. It will be unlawful to offer and cause to be filed any plan, plat, or replat of land within the City limits or ETJ of City of record with the appropriate County Clerk unless the plan, plat or replat bears the endorsement and approval of the City Manager (or designee).

~~eb.~~ Approval Criteria (Administrative Plat). All subdivisions and plats of land will be reviewed using the criteria in this Code. Infrastructure construction plans must be filed and be consistent with Chapter 8 Environmental Protection, if needed. Subdivisions, plats and construction plans must be reviewed and approved before any final action may be taken by the City Manager (or designee) or the developer. All plats shall be signed by all affected property owners prior to approval.

~~fe.~~ Responsibility for Final Action. The City Manager (or designee) is responsible for final action on Administrative Plat Reviews. If the City Manager (or designee) determines the Administrative Plat does not meet the approval criteria, the City Manager shall forward the application to the to the Planning and Zoning Commission for its review and for its recommendation to City Council, which will take final action. The City Council, upon recommendation by Planning and Zoning Commission is responsible for final action on Administrative Plat Reviews.

~~ge.~~ Action Following Plat Approval. After approval of an Administrative Plat, the Developer will notify the City Engineer within ten (10) days which of the following construction procedure(s) the Developer proposes to follow:

i. The Developer may file a Construction Plan, and upon approval of the Construction Plan by the City Manager (or designee), proceed with construction of streets, alleys, sidewalks, and utilities that the Developer is required to install. The City will inspect the work as it progresses, and upon completion and final acceptance by the City, and upon written request of the Developer, the approved plat may be filed of record with the appropriate County Clerk; or

ii. The Developer may elect to post fiscal surety and assurance of construction, if ~~required~~, ~~as required~~, as provided in Chapter xxx, in which case the surety of assurance will be filed with the City, together with a request that the plat be filed for record. In this case, the plat will be filed with the appropriate County Clerk. The City will inspect the construction work as it progresses and will make the final inspection to assure compliance with City requirements; and upon completion of construction, the Developer will deliver to the City a two (2) year guarantee of workmanship and materials as provided in Chapter xxx.

iii. The City Engineer shall issue letter accepting documents, providing the requisite authority for the Subdivider to proceed with the construction of streets and utilities.

~~he.~~ Recordation. After the City Manager (or designee) or City Council has approved the plat, the City Engineer has approved the Construction Plan and the Subdivider has either posted fiscal surety and assurance of construction (see Chapter xxx) or completed required provision of infrastructure and public improvements, the plat will be recorded in the Office of the appropriate County Clerk. The Developer will pay the record filing fee as provided for in the City's fee schedule.

~~ib.~~ Submittal requirements. All administrative plats (~~minor consolidation plats, minor amending plats, minor subdivision plats, and development plats~~) shall require the submittal requirements as set out in section 23-A.1., Submittal requirements checklists.

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~~C. Consolidation plat or replat, minor.~~

- ~~1. Purpose. A consolidation plat, minor may be filed to combine six or fewer recorded lots or unplatted parcels into a lesser number of platted lots that conform to the LDC to create buildable lots.~~
- ~~2. Prohibited actions. A consolidation plat, minor, may not:~~
 - ~~a. Remove or modify a recorded covenant, restriction, general plat note, or easement;~~
 - ~~b. Have a material adverse effect on the property rights of other owners in the subdivision;~~
 - ~~c. Relocate one or more lot lines between one or more adjacent lots unless all owners affected by the change join in the application for the consolidation plat;~~
 - ~~d. Result in an increase in the number of buildable lots;~~
 - ~~e. Result in the extension of public utility service lines;~~
 - ~~f. Result in the creation of a new street or the abandonment of an easement containing existing utility service without the consent of all utility providers;~~
 - ~~g. Create a lot, or lots, that do not comply with applicable zoning requirements; or~~
 - ~~h. Involve more than ten acres of property or six lots (parcels). Consolidated plats that exceed those parameters are subject to section 23-97, Replats and consolidated plats, major.~~
- ~~3. Rights of way and easements. A consolidation plat, minor allows the following actions:~~
 - ~~a. The dedication of additional right of way to an existing street right of way;~~
 - ~~b. The dedication of new easements and the relocation of existing easements; and~~
 - ~~c. The abandonment or relocation of utility easements subject to the consent of all affected utility providers.~~

~~D. Amending plats, minor.~~

- ~~1. Purpose. An amending plat, minor, may be filed for the following purposes:~~
 - ~~a. Correct an error in a course or distance shown on the preceding plat;~~
 - ~~b. Add a course or distance that was omitted on the preceding plat;~~
 - ~~c. Correct an error in a real property description shown on the preceding plat;~~
 - ~~d. Indicate monuments set after the death, disability, or retirement from practice of the engineer or surveyor responsible for setting monuments;~~
 - ~~e. Identify the changed location, changed character, or incorrect location of a monument on the preceding plat;~~
 - ~~f. Correct any other type of scrivener or clerical error or omission previously approved by the municipal authority responsible for approving plats, including lot numbers, acreage, street names, and identification of adjacent recorded plats;~~
 - ~~g. Correct an error in courses or distances of lot lines between two adjacent lots if:~~
 - ~~i. Both lot owners join in the application for amending the plat;~~
 - ~~ii. Neither lot is abolished; and~~
 - ~~iii. Any affected utility providers consent to proposed amendment.~~
 - ~~h. Relocate a lot line to eliminate an inadvertent encroachment of a building or other improvement into a required setback or easement only if:~~

Commented [LK46]: Minor plat

- i. ~~The owners of all affected lots join in the application for the amending plat, minor; and~~
- ii. ~~If an easement would be affected, all affected utility providers shall consent to the proposed amendment in writing.~~

~~2. Limitations.~~

- a. ~~An amending plat, minor may be filed if:~~
 - i. ~~A parcel of land is subdivided into no more than four parcels;~~
 - ii. ~~No new streets, roads, extensions or access easements are proposed to be developed;~~
 - iii. ~~No utilities, other than individual service lines, need to be extended to serve the parcels and the necessary utilities are in place immediately adjacent to the parcels;~~
 - iv. ~~The resulting lots will be in compliance with all LDC provisions; and~~
 - v. ~~There are no other problems of public concern.~~
- b. ~~Amending plats that exceed the limitations in subsection a, are considered to be major and shall meet all final plat requirements, as set out in section 23.95, Final plats.~~

~~3. Submittal requirements. Amending plat, minor submittals are subject to the submittal requirements set out in subsection B above.~~

~~E. Minor subdivision plats. Minor subdivision plats or replats may be filed if:~~

- 1. ~~Property is proposed to be subdivided into no more than four lots;~~
- 2. ~~The resulting lots comply with all LDC and applicable zoning requirements;~~
- 3. ~~No utilities, other than service lines, are required to be extended to serve the lots and utilities are available on or immediately adjacent to the parcel; and~~
- 4. ~~The resulting lots would all front on a public street and not require the creation of a new street.~~

~~F. Development plats.~~

- 1. ~~Applicability. As provided by V.T.C.A., Local Government Code Ch. 212, Subch. B, the city shall require the filing of a development plat to establish any non-residential and non-agricultural uses to ensure that the proposed use will be compliant with:~~
 - a. ~~All adopted, and future, plans and studies of the city, and those plans of any other state or regional entity with jurisdiction, as set out in section 23-6, Consistency with plans;~~
 - b. ~~The LDC for non-residential and non-agricultural development in the ETJ only when a site plan and development plat are required to ensure compliance with the LDC, public health and safety, and the dedication of right-of-way and easements for:~~
 - i. ~~Non-residential construction on a property that was not lawfully subdivided prior to the effective date of the LDC;~~
 - ii. ~~Property that is not subject to the preliminary and final plat requirements of the LDC;~~
 - iii. ~~Development where the only access is a private easement or private street; and~~
 - iv. ~~Developments where easements or right-of-way must be provided.~~
- 2. ~~Exceptions. A development plat may not be filed when:~~
 - a. ~~A tract has received final plat approval or was lawfully created prior to the effective date of the LDC; or~~

Are 23.116 submittal requirements for administrative plats applicable?
https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=

Minor Plat?

~~b. Public improvements are required to be constructed by the developer or subdivider.~~

~~3. Issuance of permits and utility service. No development may commence and no permits or utility connections issued until the development plat has been recorded and the associated site plan approved.~~

FG. Administrative plat review procedures.

1. All administrative plats set out above, or that are provided for in TLGC Ch. 212, are subject to ~~development administrator~~designated City staff review and approval.
2. The ~~development administrator~~designated City staff shall:
 - a. Determine if the proposed plat complies with the criteria of this section;
 - b. Confirm that:
 - i. The administrative plat, if approved, will control over the preceding recorded final plat without the vacation of that plat; and
 - ii. That the administrative plat is signed by all affected property owners.

GH. Approval by the city manager. Upon the completion of ~~review by the development administrator~~designated City staff review, the plat is referred to the city manager. The city manager shall:

1. Approve the administrative plat if all requirements of the LDC are satisfied; or
2. Refer the plat to the commission and city council, as set out in section ~~23-95xxx~~, Final plats, if all requirements for administrative plat approval are not satisfied and the plat is not approved administratively.

H. Subdivisions outside the corporate limits of the city. The City of Angleton has final authority on development plats in the ETJ.

I. Action following approval.

1. *Certification of approval and surveyor certification.* City manager approval of the administrative plat shall be evidenced by the execution of a certificate of approval and a P.E. or R.P.L.S. seal on the plat, as set out in section 23-A-2, Standardized city forms and certification language.
2. *Recordation of plat.* The plat shall be recorded in the plat records of Brazoria County, with all recording fees and any other applicable fees paid by the owner/applicant.
3. *Expiration.* If for any reason the plat has not been recorded within six months of approval, the approving actions shall be deemed void.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-889. Non- Administrative plats.

A. Non-administrative plats include the following

- ~~1. Preliminary plat;~~
- ~~23. Final plat~~Final plat; and
- ~~34. Replat plat.~~

a. Applicability. Preliminary plat, Final plat, and Replat plat Plats require approval by the City Council, upon a recommendation from the Planning and Zoning Commission, following an evaluation for plan

[compliance and technical compliance with this Code. Except for certain types of replats, as per TXLGC XXXX, a public hearing is not required for approval of these plats.](#)

See [Sections xxxx](#), for additional details on non-administrative plats.

Table XX Review Authority and Expiration of Plats

Type of Plat	Applicability	Approving Body/Official	Expiration
Minor Plat	Creation of four (4) or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of municipal facilities.	Designated City Staff (Administrative)	Must be filed with the county clerk within 12 months following the date of approval
Amending Plat	A plat that complies with LGC §212.016 and generally submitted to correct errors and omissions or make minor changes.	Designated City Staff (Administrative)	Must be filed with the county clerk within 12 months following the date of approval
Development Plat	Required for previously unsubdivided or unplatted land that is not being divided into separate parcels, as described in LGC §212.045.	Designated City Staff (Administrative)	Must be filed with the county clerk within 12 months following the date of approval
Preliminary Plat	Required for land being divided into separate parcels, plats with five or more lots, and any plats that require public improvements that will be dedicated to the City.	City Council	Must submit a Final Plat within 6 12 months following the date of approval
Final Plat	<ul style="list-style-type: none"> Required for land being divided into separate parcels, plats with five or more lots, and any plats that require public improvements that will be dedicated to the City. Required to ensure that a final recorded plat conforms to the Preliminary Plat as approved by the City Council and to the Construction Plans as approved by the Mayor or designee. 	City Council	Must be filed with the county clerk within 12 months following the date of approval
Replat	To replat a subdivision or part of a subdivision without vacation of the original plat. Applies to certain type of replats as per TXLGC XXX	City Council	Must be filed with the county clerk within 12 months following the date of approval
Extension of All Plat Approvals	To extend expiration date of a plat approval and extend the recordation time.	Approving body	If no development has occurred within 12 months following the date of approval, the expiration date may be extended by an additional 12 months

Sec. 23-8994. Preliminary plats.

- A. *Pre-application conference.* The applicant or their duly authorized agent, is required to schedule a pre-application conference, as set out in section 23-77, Pre-application conference.
- B. *Preliminary plat and plat submittal contents.* Preliminary plats shall include all relevant information set out in appendix A, subappendix 2, for preliminary plats and any other submittal checklists that are applicable.
- C. *Application review process.*
1. *Complete application required.* The submittal will be considered filed when all requirements set out in section 23-79, Complete applications required are provided. The date in which the application is determined to be "complete" is the official filing date.
 2. *Thirty-day filing deadline.* Applications shall be acted on within 30 days after the plat filing date, as set out in section 23-80, Application review.
 3. *Incomplete applications.* If an applicant chooses to proceed to the commission and council with an incomplete application, as set out in subsection 23-79.B.
 4. *Written report.*
 - a. The recommendations from each referral agency, official, and department shall be provided to the applicant; and
 - b. A written report from the designated City staff, distributed to the commission and council, will provide a staff recommendation.
- D. *Planning and zoning commission action.*
1. *Review criteria.* The commission shall utilize the following criteria:
 - a. Consistency with any approved concept plan, master plan, or land study, as set out in section 23-104, Concept plans, master plans, and land studies.
 - b. Physical arrangement of the subdivision;
 - c. Adequacy of street rights-of-way, alignment, and connectivity;
 - d. Compliance with the LDC;
 - e. Compliance with the Angleton Future Thoroughfare Plan;
 - f. Compliance with and the master drainage plan and all other city plans; and
 - g. Adequacy of proposed utility services.
 2. *Commission action.*
 - a. The commission will recommend approval, approval subject to conditions, or denial.
 - b. The commission shall adopt findings of fact for a recommendation to deny the plat.
- E. *City council action.*
1. *Review criteria.* The city council shall follow all processes set out in subsection G, above.
 2. *Council action.*
 - a. The council will approve, approve subject to conditions, or deny the application.
 - b. The commission shall adopt findings of fact and rationale for any plat denial.

F. *Subdivisions outside the corporate limits of the city.* Final action on all preliminary plats, regardless of the location of a plat in the ETJ, is the city council, following review and a recommendation by the planning and zoning commission.

G. *Effect of preliminary plat approval.*

1. Approval of a preliminary plat shall not constitute approval of the final plat.
2. Approval of the preliminary plat should be deemed an expression of approval to the proposed layout submitted on the preliminary plat as a guide to the preparation of the final plat.
3. The final plat shall be subject to fulfilling all requirements of this LDC, the master drainage plan.

H. *Lapse of approval.*

1. Preliminary plat approval shall be valid for 12 months from the date of council approval, during which time all general terms and conditions under which the preliminary plat was approved shall not be changed;
2. The council approval of the preliminary plat shall be deemed void unless a final plat is submitted within the 12-month period, or unless the 12-month period is extended by the council for a term not to exceed 12 months at the request of the subdivider; and
3. As a condition of granting an extension of the preliminary plat, the council may require the plat to comply with any new development requirements adopted after the plat was approved.

~~I. *Combination plat.* A combined preliminary/final plat may be filed for a development where no public improvements are required and four or fewer lots are proposed.~~

~~1. Applicants are responsible for demonstrating compliance with all preliminary and final plat requirements and the application fee for a both the preliminary and final plat.~~

~~2. A site plan may be submitted concurrently to facilitate plat review.~~

~~3. A combined plat would be submitted in the form of a final plat, as set out in section 23-95, Final plat; and be labeled "Preliminary/Final Plat", subject to the payment of all application fees for a preliminary plat and a final plat.~~

~~4. The commission and council will each make a single motion for action on the combined plat.~~

~~5. The mylar for recordation will be labeled as "Final Plat".~~

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-905. Final plats.

- A. *General.* A final plat may not be recorded until a preliminary plat and final plat have been approved, as set out in section 23-94, Preliminary plat, and this section.
- B. *Final plat and plat submittal contents.* Final plats shall include all relevant information set out in appendix A, subappendix 2, for final plats and any other submittal checklists that are applicable.
- C. *Application review process.* A final plats shall be filed within 12 months of the approval of a preliminary plat, and shall be reviewed as set out in section 23-94, Preliminary plat, subsection C, Application review, and the additional requirements set out below:
 1. *Final plat conformance with the approved preliminary plat.* The final plat shall conform substantially to the approved preliminary plat and phasing plan and any conditions imposed.

Commented [LK47]: This would be a minor plat.

2. *Approval of construction plans and construction of public improvements.* The final plat shall be filed for review and approval upon acceptance of all public improvements or after provision of surety as required. .

D. *Plat action.* Action on the final plat will be taken by the planning and zoning commission and city council as set out in section 23-94, Preliminary plat, subsection G., Planning and zoning commission action, and subsection H., City council action.

E. *Subdivisions outside corporate limits of the city.* Final action on all final plats, regardless of the location of a plat in the ETJ, is the city council, following review and a recommendation by the planning and zoning commission.

F. Actions following final plat approval.

Actions following final plat approval.

1. *Certification of approval.* City council approval shall authorize the planning and zoning commission chairman and mayor to execute the certificates of approval on the final plat.

2. *Final plat modifications.* In no case shall additions, corrections, or modifications of any kind be made to the final plat administratively, other than signatures required after the final plat has been approved by the city council, except those set out in section 23-87, Administrative plats, subsection D, Amended plats, minor. ~~Any other amendment to the final plat shall only be permitted as set out in section 23-96, Amended plats, major.~~

~~3. Recordation of plats. The recordation of all subdivisions inside the corporate limits of the city and the ETJ shall then be filed and recorded in the plat records of Brazoria County after:~~

~~a. The city council has officially acted upon the final plat with respect to public improvements, dedications and utilities, as set out in article III, division 4, Public Acceptance and Permitting;~~

~~b. The final plat has been fully certified and executed by all property owners comprising the plat and agencies with plat certification jurisdiction; and~~

~~c. All fees, including recording, application, staff review fees, fees in lieu of parkland dedication, if applicable, have been paid in full.~~

~~3. Recordation of plats. The recordation of all subdivisions inside the corporate limits of the city and the ETJ shall then be filed and recorded in the plat records of Brazoria County after:~~

~~a. City Manager or designee has approved the Construction Plan.~~

~~b. The city council has officially acted upon the final plat with respect to public improvements, dedications and utilities, as set out in article III, division 4, Public Acceptance and Permitting.~~

~~c. The final plat has been fully certified and executed by all property owners comprising the plat and agencies with plat certification jurisdiction; and~~

~~d. All fees, including recording, application, staff review fees, fees in lieu of parkland dedication, if applicable, have been paid in full.~~

~~e. The Subdivider has either posted fiscal surety and assurance of construction (see Chapter xxx) or completed required provision of infrastructure and public improvements.~~

G. *Review in phases.*

1. An owner or subdivider may pursue final plat approval of a portion or a section of a development included in an approved preliminary plat, as set out in section 23-18, Development phasing;

2. The final plat of each phase, shall carry the name of the entire subdivision and a unique phase number;

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- 3. Block numbers within the entire development shall run consecutively throughout the entire subdivision; and
- 4. By completing a development in phases, the original preliminary plat shall not lapse or expire.

H. *Lapse of approval.*

- 1. Final plat approval is valid for 12 months from the date of approval by the city council or Brazoria County, during which time all general terms and conditions under which the final plat was approved will not be changed;
- 2. City council approval of the final plat shall be voided if a final plat is not ~~submitted~~ recorded within the 12-month period, or unless the council approves an extension not to exceed six months at the request of the subdivider; and
- 3. The council, as a condition of granting an extension, may require the plat to comply with any new development requirements adopted after the plat was approved.

Commented [LK50]: Construction plans?

- I. *Standardized surveyor, planning and zoning commission, and city council certificate language.* Final plats shall include required certifications, as set out in section 23-A.2, Standardized city forms and certification language.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

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~~DIVISION 4. PUBLIC MEETINGS, PERMITS AND PROCEDURES~~

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Sec. 23-9~~17~~. ~~Replats and consolidation plats, major.~~

A. *Replats.*

- 1. A replat may be filed to initiate, a change to a previously recorded plat, without vacating an existing recorded plat, for any of the following purposes:
 - i. ~~a.~~ Correct an error in any course or distance shown on the prior recorded plat;
 - ii. ~~b.~~ Add any course or distance that was omitted on the prior recorded plat;
 - iii. ~~c.~~ Correct an error in the description of the real property shown on the prior recorded plat;
 - iv. ~~d.~~ Indicate monuments set after death, disability, or retirement from practice of the engineer responsible for setting the monuments;
 - v. ~~e.~~ Indicate the proper location or character of any monument that has been changed in location or character or that originally was shown at the wrong location or incorrect character on the prior recorded plat;
 - vi. ~~f.~~ Correct any other type of clerical error, scrivener's error, or omission in the previously approved recorded plat;
 - vii. ~~g.~~ Correct an error in courses and distances of lot lines between two adjacent lots where both lot owners join in the plat application and neither recorded lot is abolished, provided that:

- ~~i.~~—Such amendment does not have a material adverse effect on the property rights of the owners in the plat;
 - ~~ii.~~—Such an amendment is acceptable to any utility providers that may be affected by the amendment; and
 - ~~iii.~~—Each resulting lot complies with all requirements of the LDC.
- viii. ~~h.~~—Relocate a lot line in order to cure an inadvertent encroachment of a building or improvement on a lot line or on an easement; or to
- ix. ~~i.~~—Relocate or vacate one or more lot lines, easements, or rights-of-way between, or along, one or more adjacent platted lots where the owner or owners of all such property join in the application for the plat amendment; provided that easement or right-of-way vacation is agreeable to all utility providers and jurisdictions that may have services and easements/right-of-way on the affected properties.
2. A replat may be recorded and is controlling over the preceding plat without vacating the original plat if the replat is:
- i. ~~a.~~—Signed and acknowledged by only the owners of the property being replatted;
 - ii. ~~b.~~—Approved after a public hearing; and
 - iii. ~~c.~~—Does not attempt to amend or remove any covenants or restrictions of the original plat.
3. *Public hearing required.* In the event that a replat requires a public hearing, notice of the public hearing shall be provided as set out in TLGC § 212.014 and § 212.015, with notice of the public hearing being mailed, published, and posted at the City Hall, as set out in section 23-82, Public notice.

Clarify who will hold this public hearing.

~~B.~~ Consolidation plats, major

- ~~1.~~ Section 23-87, Administrative plats, subsection C, establishes criteria for consolidated plats, minor. Any consolidated plat that does not meet the criteria for a consolidated plat, minor, shall automatically be considered to be a consolidated plat, major.
- ~~2.~~ Consolidated plats, major may be filed to relocate or vacate one or more lot lines between one or more adjacent platted lots where the owner or owners of all such property join in the application for the plat amendment; provided that such vacations are agreeable to all utility providers that may have services and/or easements on the affected lots that track with existing lot lines.
- ~~3.~~ Consolidation plats, major that propose to allow a use of the effected property not allowed by the original plat, or a use other than those uses allowed by the zoning of property, shall be subject to a public hearing, as set out in subsection A.3. above.
- ~~EB.~~ *Nonconforming lots.* If the lots proposed to be consolidated exist as legal nonconforming lots, the new lots consolidation plat process should comply with the criteria set out in section 23-5, Applicability, subsection E, Nonconforming lots.
- ~~CD.~~ *Processes and procedures.* Replats and consolidation plats, major, shall be subject to all LDC processes and procedures set out in subsection 23-95.C, Final plats. The applicant is also required to schedule a pre-application conference, as set out in section 23-77, Pre-application conference.
- ~~DE.~~ *Action following approval.* Replats and consolidation plats, major shall be subject to the "action following approval" requirements set out in subsection 23-95.F, Final plats.
- ~~FE.~~ *Lapse of approval.* Replats and consolidated plats, major shall be subject to the "lapse of approval" requirements set out in subsection 23-95.H, Final plats.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

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(Supp. No. 19)

Sec. 23-9288. Site plan.

- A. *Generally.* Site plans are required to ensure that:
1. Adequate public services and facilities are available;
 2. Public health and safety precautions from natural and man-made hazards are provided; and
 3. The project will comply with the LDC and Code of Ordinances, chapter 28, Zoning.
- B. *Applicability.*
1. A site plan is required for:
 - a. All new development, redevelopment, and substantial improvement or expansion of:
 - i. Multi-family residential;
 - ii. Manufactured home parks;
 - iii. Non-residential; and
 - iv. Mixed-use developments.
 - b. Proposed variances;
 - c. The expansion of a building or the intensification of a use; and
 - d. Where necessary to demonstrate compliance with the requirements of the LDC.
 2. Non-residential and mixed-use development requires site plan review and approval prior to the issuance of permits that allow land clearing, site grading, and construction.
 3. The term "site plan" shall be synonymous with any and all plans required by the LDC and any other development requirements of the city, such as, but not limited to, landscape plans, grading plans, tree preservation plans, and drainage plans.
- C. *Site plan preparation.* Site plans may only be prepared, signed, and sealed by a State of Texas licensed engineer, architect, or a registered professional land surveyor.
- D. *Review authority.* Site plans are subject to review and approval by the [development administrator/designated City staff](#), and when required, by the DRC, as set out in section 23-69, Development review committee.
- E. *Submittal requirements.* Site plans shall be prepared as set out in section 23-A.1, Submittal requirement checklists.
- F. *Public improvements may be required.* Public improvements, as set out in article II, division 1, Transportation Responsibilities, and division 4, Utility Responsibilities, may be required as a condition of site plan approval.
- G. *Administrative approval process.*
1. Upon submitting a complete application, city staff and referral agencies shall have 20 working days to provide the [development administrator/designated City staff](#) with review comments;
 2. The [development administrator/designated City staff](#) shall provide the applicant a copy of all review comments and may convene a DRC meeting; and
 3. The process shall be completed when all review comments have been addressed.
- H. ~~Referral of site plan to planning and zoning commission. The site plan may be referred to the planning and zoning commission by the development administrator/designated City staff if:~~

23-A.2 is Site Plans
<https://library.municod e.com/tx/angleton/cod>

Commented [LK51]: Consider removing the need for referral of a site plan to the Planning and Zoning Commission. This is not required.

- ~~1. Review is required to determine if the application appropriately conforms to the LDC;~~
 - ~~2. An applicant proposes an alternative method to comply with the LDC; or~~
 - ~~3. The applicant appeals a decision to deny the site plan; in which case the matter shall be heard by the commission.~~
- ~~1. *Planning and zoning commission action.* Upon referral of a site plan application, the commission shall:~~
 - ~~1. Seek input and recommendations from city staff and all referral agencies;~~
 - ~~2. Base decisions in the interest of promoting the public health, safety, order, convenience, prosperity and general welfare; and~~
 - ~~3. Approve, conditionally approve, or deny the application.~~

H.4. *Prohibited actions.*

1. A site plan may not be approved if platting is required to create a legal building site. A final, or minor plat, may be submitted simultaneously with a site plan; at the applicant's risk, and approved conditionally upon the approval and recordation of the plat.
2. A building permit or land development permit may not be issued for development without first obtaining site plan approval.
3. No lot grading, drainage work, or other site improvements may commence without obtaining site plan approval.
4. A certificate of occupancy may not be issued until all improvements depicted with the approved site plan are completed.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-9389. Extensions.

A. *General.*

1. Various sections in article VII, division 3, Administrative Approvals, and division 4, Public Meeting Approvals, stipulate a specific time period in which the approval of a plan, plat, or other approval is valid before it expires, and allow the ~~development administrator~~designated City staff, ~~or other specified staff members~~, to consider an extension of time within a specific period of time.
2. The ~~development administrator~~designated City staff, and other specified staff members, are not obligated to grant a request for an extension.

B. *Considerations.* When considering a request for an extension, the following factors should be considered:

1. Was the extension requested prior to the expiration, or within **45 days after the expiration**;
2. Did the applicant demonstrate cause for the expiration, or the eminent expiration, and demonstrate that factors beyond the control of applicant delayed the project;
3. Has the city adopted new codes, standards, or any other requirement that would have a bearing on the of the project that will have expired, or where expiration is eminent, if the project was filed at the present time; and
4. Would the project, if refiled, comply with all applicable city codes and ordinances.

- 5. If an extension is requested after 45 days of its expiration, would an extension satisfy the other considerations in this subsection and has the expiration reached a point where city council action is required, or a time frame where the LDC does not expressly allow an extension.
- C. *Information required.* The applicant shall provide the ~~development administrator~~designated City staff with written documentation that addresses each of the considerations listed in subsection B, above. which any watercourse or natural drainage is proposed to be altered or relocated.
- D. *Approval criteria.* Action on an extension shall be based on an affirmative finding by the ~~development administrator~~designated City staff, or other specified staff, that an extension would satisfy the considerations set out in subsection B, above.
- E. *Records.* An extension, if granted, shall be maintained in the offices of the City of Angleton open for public review and inspection for all information required by this section and the LDC.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-113. Definitions.

City manager: The Chief Administrative Official of the City of Angleton, as designated by the city council.

City engineer: The official or entity, as designated by the city manager.

Commissioners: The Angleton Planning and Zoning Commission.

Common open space: A parcel of land designated for the private use residents, occupants and owners of within a development.

Comprehensive plan~~2007 Comprehensive Plan~~: The comprehensive plan of the City of Angleton, including all amendments.

Connector: A party seeking to connect to the city infrastructure who would benefit from infrastructure constructed by an initial developer eligible for fair share reimbursement.

Council: The Angleton City Council.

County: Brazoria County.

D

Density: The maximum number of dwelling units per gross acre of land permitted in a zone district.

Developer: Any public or private person, partnership, association or agency that prepares raw land for development.

Development: The physical extension or construction of urban land uses and infrastructure.

~~Development administrator~~*Designated City staff*: The duly-authorized representative designated by the city manager to administer the LDC.

Lot lines: Refers to the property lines that bound each lot or parcel to a defined legal space.

Lot of record: A lot that is part of a subdivision recorded in the office of the County Recorder of Brazoria County, or a parcel of land with a deed recorded in the office of the County Recorder of Brazoria County, and that complied with the subdivision requirements at the time they were created.

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Part II - CODE OF ORDINANCES
Chapter 23 - LAND DEVELOPMENT CODE
APPENDIX C. ANGLETON CONSTRUCTION MANUAL (ACM)

APPENDIX C. ANGLETON CONSTRUCTION MANUAL (ACM)

Sec. 23-129. Design guidelines.

Consistency with Angleton Construction Manual (ACM) required. Public improvements shall be designed in accordance with the following specifications and criteria, which collectively are the ACM. The ACM shall automatically be amended in this LDC without formal action required to amend the LDC when any criteria set out below are updated by the jurisdiction cited:

1. *City of Sugar Land Construction Specifications, as amended;*
 2. *City of Sugar Land Design Standards and Appendices, as amended;*
 3. *City of Sugar Land Construction Details, as amended;*
 4. *City of Sugar Land Approved Products List and Product Application, as amended;*
 5. *City of Sugar Land Traffic Impact Analysis Guidelines and Worksheet, as amended;*
 6. *City of McKinney Sediment and Erosion Control Manual, as amended;*
 7. *Brazoria County Stormwater Quality Coalition MS4 Construction Guidance Document, as amended;*
 8. *City of Phoenix Knox Box, Key Switch, Automatic Gate, Manual Vehicle Gate/Pedestrian Gate Criteria, as amended;*
 9. *2008 Angleton Drainage District Rules, Regulations, and Guidelines, as amended, and*
 10. *Brazoria County Drainage Manual, as amended.*
- (Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)*

Commented [LS52]: Considering developing standard details and specifications for the City.A

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Part II - CODE OF ORDINANCES – AMENDED SECTIONS ONLY
Chapter 23 LAND DEVELOPMENT CODE

12/22/22 with planning staff comments incorporated

General notes:

Will be finalized after all ongoing reviews.

To be reviewed by the Parks Director and HDR

Legal review of the final draft prior to adoption.

Update the revision date for each section prior to adoption.

Remove the Appendix and move that to the Administrative Procedures Manual. Add this reference in the LDC.

Adopt standards relevant to the City of Angleton, as indicated. e.g. require green street signs with white lettering, not blue like Sugarland.FUTURE.

Chapter 23 LAND DEVELOPMENT CODE¹

ARTICLE I. IN GENERAL

¹Editor's note(s)—Ord. No. 1-12-2018, § 1(Exh. A), adopted Dec. 11, 2018, repealed the former Ch. 23Editor's note(s)—, §§ 23-1Editor's note(s)——23-43, and enacted a new Ch. 23Editor's note(s)— as set out herein. The former Ch. 23Editor's note(s)— was entitled "Subdivisions," and derived from: Ord. No. 2325, § 1, adopted Apr. 19, 1994; Ord. No. 2457, §§ 1—3, adopted Dec. 21, 1999; Ord. No. 1-02-2018, § 2(Exh. A), adopted Feb. 13, 2018; and Ord. No. 1-06-2018, § 2(Exh. A), adopted June 12, 2018.

Cross reference(s)—Alcoholic beverages, Ch. 3Cross reference(s)—; location of alcoholic beverage establishments restricted, § 3-5Cross reference(s)—; limitation on the number of livestock per dwelling, § 4-5Cross reference(s)—; buildings and building regulations, Ch. 5Cross reference(s)—; fire limits established, § 5-46Cross reference(s)—; code for the elimination or repair of unsafe buildings adopted, § 5-511Cross reference(s)— et seq.; fire marshal authorized to order repair, etc., of dilapidated and unsafe buildings or other property, § 7-44Cross reference(s)—; housing, Ch. 11Cross reference(s)—; junked, abandoned, wrecked property, Ch. 12Cross reference(s)—; manufactured homes and manufactured home parks, Ch. 14Cross reference(s)—; parks and recreation, Ch. 17Cross reference(s)—; peddlers, itinerant merchants and solicitors, Ch. 18Cross reference(s)—; public amusements, Ch. 21Cross reference(s)—; streets, sidewalks and other public places, Ch. 22Cross reference(s)—; permit required for excavation in streets, § 22-2Cross reference(s)— et seq.; utilities, Ch. 26Cross reference(s)—; traffic and motor vehicles, Ch. 25Cross reference(s)—; zoning, Ch. 28Cross reference(s)—; zoning district regulations, § 28-61Cross reference(s)— et seq.

State law reference(s)—Regulation of subdivisions, V.T.C.A., TLGC § 212.001 et seq; authority to adopted subdivision regulations, V.T.C.A., TLGC§ 212.002.

Sec. 23-5. Applicability.

- A. *Generally.* No land shall be developed, redeveloped, or substantially improved, except in accordance with this Code. The following actions are considered to be "development" and subject to the LDC:
 - 1. *Use of land.* The use of any building, structure, or land, including new uses, expansion, and substantial changes to the existing uses within the city;
 - 2. *Grading of land.* Any disturbance of land, soil, vegetation, or drainage ways, , shall conform to the LDC for all properties in the city and the ETJ; and
 - 3. *Subdivision.* Any division of land within the City limits and the ETJ for development, sale, or lease, whether by metes and bounds, subdivision, or other technique, shall comply with the LDC. Deed divisions of land that result in parcels where all resulting tracts have a lot area of five acres or more are exempt from the subdivision requirements of the LDC, but may be required to file a development plat, as set out in section 23-87, Administrative plats.
 - 4. *Site development.* Site development is subject to all requirements of the Angleton Code of Ordinances to the full extent allowed by V.T.C.A., TLGC Ch. 212.
 - 5. *ETJ development.* The city reserves the right to require the approval of a plat and site plan for property in the ETJ as allowed by TLGC Ch. 42.
- B. *Applicability to publicly owned property.* The LDC is applicable to all public agencies and organizations to the full extent allowed under the U.S. and Texas Constitutions, and the laws of each.
- C. *Pending applications.* Development applications shall be governed by the laws and regulations in effect when they were deemed as complete submittals.
- D. *Creation of a building site and issuance of a permit.*
 - 1. Construction or building permits may not be issued unless the parcel, lot, or tract:
 - a. Is part of a plat of record, approved by the city council, or Brazoria County, and is filed in the plat records of Brazoria County, Texas;
 - b. Was created prior to the adoption of Ordinance No. 333 on February 11, 1964;
 - c. Was created by a deed division prior to being subject to requirements that required subdivision approval;
 - d. Was lawfully created prior to being annexed into the city or added to city's ETJ;
 - e. Was lawfully created by the action by a court of competent jurisdiction or by the dedication of easements or right-of-way; or
 - f. Was created through a lawful deed division that created parcels that were each five acres in area, or larger.
 - g. Is a result of a change in ownership of a property through inheritance or the probate of an estate.
 - h. Is used as a cemetery complying with all state and local laws and regulations.
 - i. Is exempted as per LGC §212.004.
 - 2. If any of the conditions for the creation of a building site exists and changes are not proposed to the property configuration, the property is a legal building site and a building permit may be issued without additional platting being required, unless a development plat is required, as set out in section 23-87, Administrative plats.

- E. *Nonconforming lots.*
 - 1. *Standards.* Existing nonconforming lots may be combined to increase conformity as follows:
 - a. Where a landowner owns several abutting lots that do not conform to the LDC, they may be consolidated or platted as a conforming lot or lots, or to a design that reduces the degree of the nonconformity.
 - b. A proposed combination or plat of nonconforming lots meets all the requirements of the LDC.
 - 2. *Prohibited actions.*
 - a. Nonconforming lots, or interest therein, may not be transferred, conveyed, sold, or subdivided to create a new nonconforming lot, to avoid, circumvent or subvert any provision of this LDC, or to leave remaining lots in violation of the LDC;
 - b. No building permit may be issued for any lot or parcel of land which has been illegally created, conveyed, sold, or subdivided in violation of the LDC.
 - 3. *Construction on substandard lots.* A legal lot, defined as a lot that meets the requirements of Section 23-5,D, that does not meet zoning district requirements with respect to lot area or lot width may be built upon if:
 - a. The use is permitted in the zoning district in which the lot is located;
 - b. The lot has sufficient frontage on a public street to provide access that is appropriate for the proposed use as required by the zoning designation; and
 - c. The proposed development will comply with all applicable development standards of the LDC.
- F. *Vested rights "issuance of local permits".* Property owners who have filed a completed application or have obtained approval of any project or permit prior to the effective date of this LDC that has not expired, shall be considered in compliance with TLGC Ch. 245.
- G. *Applicability of certain chapter of the Angleton Code of Ordinances in the ETJ.* Under the authority of TLGC Ch. 212, Municipal Authority of Subdivision and Property Development, the following chapters of the City of Angleton Code of Ordinances are expressly incorporated by reference into the LDC and are in full force and effect in the ETJ and shall be regulated by the city by the submittal of construction plans, a site plan, design drawings, development plat, or plat; as is determined to be appropriate, by the type of development that being requested:
 - 1. Chapter 14: Manufactured Homes and Manufactured Home Parks (design standards only);
 - 2. Chapter 16: Oil, Gas, and Minerals;
 - 3. Chapter 21.5: Signs;
 - 4. Chapter 30: Special Districts; and
 - 5. All environmental management requirements set out in article V of this LDC.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, , xxxx)

Sec. 23-6. Reserved(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, xxxx)

Sec. 23-7. Enactment, repeal, and effective date.

- A. *Enactment and effective date.* The enactment of this ordinance shall repeal Ordinance No. 1-06-2018, adopted on June 12, 2018; and shall repeal chapter 8, "Flood Damage Prevention" of the Code of Ordinances

of the City of Angleton, in its entirety, replaced by Ordinance No. 1-12-2018, hereafter titled the Land Development Code (LDC), adopted by the city council on the effective date of December 11, 2018 and amended subsequently; incorporated into the Code of Ordinances of the City of Angleton as chapter 23, "Land Development Code".

- B. *Existing ordinances and regulations.* Any other ordinance, resolution, or regulations not expressly cited in this section that are inconsistent with the LDC shall be considered to be superseded by the adoption of the LDC. Specific regulations of any such ordinance that were not affected by this LDC shall remain in full force and effect.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, xxxx)

Sec. 23-8. Abrogation and greater restrictions.

- A. The LDC establishes minimum standards necessary to accomplish the purposes set out in section 23-2, Purpose.
- B. It is not the intent of the LDC to interfere with, abrogate, or annul any easement, covenant, deed restriction, or other executed agreement between private parties, including development agreements.
- C. When the provisions of this LDC impose a greater restriction than those restrictions imposed by private agreements, the provisions of the LDC shall control.
- D. The city has no duty to search for the existence of private restrictions, or to administer, or enforce, any private restriction.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018, xxxx)

ARTICLE II. SUBDIVISION AND DEVELOPMENT DESIGN

Sec. 23-10. General design principals and requirements.

- A. *Generally.* The purpose of this article is to establish minimum design requirements to create a quality development design that relates to existing and future surrounding development.
- B. *Design principles.* The following design principles shall be implemented into plat design:
 - 1. *Compatibility and connectivity.* Proposed developments shall be designed to:
 - a. Provide appropriate buffers and transitions between different land uses;
 - b. Improve mobility across the city and the ETJ; and
 - c. Provide vehicle and pedestrian connections to neighboring properties.
 - 2. *Neighborhoods.* Neighborhoods will be designed:
 - a. In a context sensitive manner to ensure long-term neighborhood viability;
 - b. In a manner that will conserve wetlands, bayous, and other natural features;
 - c. With well-managed stormwater runoff that is conveyed in storm sewers, streets, and other methods to phase out the use of steep slope deep bar ditches, where practical;

- d. With usable open space to provide recreation, use buffers, safe distances from natural hazards, and to maintain mature tree stands, water quality, and environmental integrity;
 - e. With drainage improvements that serve additional purposes, such as recreation, usable open space, wetland and habitat preservation, or as buffer or amenity; and
 - f. In a manner that is compatible with adjoining uses and neighborhoods.
3. *Aesthetic and environmental considerations.* Development will be:
- a. Shaped and guided by natural contours and drainage patterns to avoid natural hazards and blend into natural environmental elements;
 - b. Context sensitive, without compromising public health or safety;
 - c. Open to design options that may result in the need for variances from rigid design standards to preserve wetlands, floodplains, protected trees, or mature habitat areas; and
 - d. Encouraged to use lot clustering to maintain environmental assets as common space amenities, linear parks, use buffers, and other purposes that create community character.
4. *Transportation and mobility.*
- a. ADA compliant sidewalks shall be provided on all streets and into all parks;
 - b. Sidewalks shall be required to provide access to all building sites and amenities;
 - c. Street type, location, and functional classification will be guided by the Angleton Future Thoroughfare Plan (FTP);
 - d. Neighborhoods shall have multiple means of access to public streets and surrounding development to minimize congestion and maximize public safety;
 - e. Streets are a primary element of the drainage conveyance system and shall be designed to maximize their full drainage conveyance capacity to enhance public safety; and
 - f. Streets shall not be "forced" into locations where they are not cost-effective, practical, result in public capital expenditures that are not warranted, or where an acceptable design alternative is available.
5. *Floodplains, wetlands, and drainage.*
- a. Regulatory floodplains shall be protected from development by:
 - 1. Maintaining floodplains as open space, passive recreation, and drainage;
 - 2. Implementing all best management practices set out by the Texas Commission on Environmental Quality (TCEQ) and City's Code of Ordinances;
 - 3. Adhering to all drainage requirements of the City's Code of Ordinances
 - 4. Pursuing all opportunities for regional detention on projects of all sizes and where appropriate, and in coordination with the Angleton Drainage District.
 - b. Drainage easements shall have a minimum width as determined to be necessary by the City of Angleton, Angleton Drainage District, and other appropriate entities, and shall be:
 - 1. Retained as right-of-way where they cross existing or proposed public roads; and
 - 2. Maintained by a property owners' association or when appropriate under the authority of the city or other entities; and

3. Shall be designed in a manner that allows routine maintenance to the greatest extent practicable and feasible.
 - c. Easement alignment shall follow the approximate line of the channel on maximum 50-foot chords and when possible shall be located on lot or property lines; and
 - d. Existing steep sloped roadside ditches should be eliminated when adjoining properties are developed and redeveloped:
 1. The lack of curbs and gutters does not maximize the ability of streets to be used for drainage conveyance;
 2. Such ditches are a traffic hazard, prevent sidewalks and street parking, impede trash pick-up and delivery services, often result in heavy sheet flow from the street to the opposite side of the street directly toward homes and other buildings, and results in road, utility, and ditch maintenance issues.
 6. *Utilities.*
 - a. Utilities will be extended in a conservation-minded and efficient manner to provide for the expansion utility service in a manner that is environmentally and economically sound; and
 - b. Utility improvements will be coordinated with the recommendations of the most recent version of the Comprehensive Plan and all other utility plans of the city and its utility franchises.
 7. *Public safety.*
 - a. The city and the ETJ include potential natural and man-made threats to public health and safety. Among these are railroads, regional pipelines, floodplains, and protected wetlands. It is essential that these areas are identified and projects designed in a manner to maximize public safety to the greatest extent practical;
 - b. Infrastructure should be designed to maximize public safety and mitigate existing public safety issues,. Standards should be updated, within a reasonable time, to adopt new technologies proven to improve public health and safety.
 - c. Projects shall be developed to provide as much separation as practicable between potential threats and vulnerable uses; and
 - d. City codes should be proactively updated to address threats to public safety as threats, and potential solutions, are identified.
- C. Consistency with subdivision and development regulations as contained in the City's Code of Ordinances:
 1. Construction specifications, as amended;
 2. Design standards and appendices, as amended;
 3. Construction details, as amended;
 4. Approved products list and product application, as amended; and
 5. Traffic impact analysis guidelines and worksheet, as amended
 6. Sediment and Erosion Control Manual, as amended;
 7. Brazoria County Stormwater Quality Coalition MS4 Construction Guidance Document, as amended;
 8. 2008 Angleton Drainage District rules, regulations, and guidelines, as amended; and
 9. Brazoria County Drainage Manual, as amended.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-11. Lots and blocks.

A. Lots generally.

1. New lots shall comply with applicable requirements set out in Code of Ordinances Chapter 28 - Zoning;
2. No parcel or lot shall be created that does not meet the minimum requirements of the LDC and the zoning requirements; and
3. Undevelopable remnant properties that do not conform to the LDC or the zoning requirements shall not be created through the subdivision process.

B. Lot shape.

1. Side lot lines shall generally be at approximate right angles, or radial to, right of way; and
2. Alternative configurations may be approved as variances during the platting process by the City Council upon recommendation from the Planning and Zoning Commission to accomplish the purposes of the LDC, such as preserving natural resources or dedicating right-of-way.

C. Lot frontage.

1. *Required frontage.* Each lot or building tract shall front on a public street, in accordance with applicable lot width requirements.
2. *Residential lots.*
 - a. New residential lots shall only front on local and minor collector streets, and shall not front on major collector, arterial streets, or highways;
 - b. The City Council upon recommendation from the Planning and Zoning Commission may approve minor deviations from the lot design requirements during the platting process when terrain or property constraints limit design alternatives or when such deviations result in the preservation of a protected tree, as set out in section 23-60, Protected Tree Protection; and
 - c. Lots shall be platted in a manner that does not result in landlocked properties or without any means providing public access to properties that currently do not have frontage.
3. *Nonresidential lots.* Nonresidential lots shall be designed in a manner that allows development that complies with all applicable requirements.

D. Through lots. Through lots, or double frontage lots, shall be avoided, except:

1. Where a development is sufficiently large, with a lot area that equals twice the minimum lot area required for the zone that the lot is located in, to require two frontages;
2. When necessary to overcome topographic or environmental issues; or
3. Where deemed to be appropriate by the city engineer in accordance with generally accepted engineering practices.

E. Corner lots. Corner lots intended for residential use shall have additional width to allow appropriate building setback and orientation to both streets, a driveway, and provide adequate corner visibility.

F. Width of irregular lots. Cul-de-sac lots or irregular shaped lots shall have the required width at the front building line to meet minimum lot frontage requirements.

G. *Drainage ways.*

1. Buildable lots shall not encroach into a regulatory floodplain or floodway.
2. Floodplains may be platted as open space, common area, a drainage easement, and for essential services that are required to be located in close proximity to regulatory floodplains.

H. *Adequate and safe access.* Refer to Section 24-12.I.

I. *Blocks generally.*

1. *Length.* Block length shall be provided based on the following guidelines:

- a. Block shall generally have sufficient width and depth to provide two tiers of lots with the required lots depths. Exceptions may be made when property is adjacent to arterial streets, railways, waterways, wetlands, or other elements;
- b. Blocks shall generally not exceed a length of 1,000 feet, unless an alternative length is approved as a variation by the City Council upon recommendation from the Planning and Zoning Commission, and will not result in public health or safety issue, connect streets, is necessary for drainage or environmental considerations, or based on site constraints;
- c. The provision of adequate building sites suitable to the special needs of the type of use;
- d. The required lot widths and lot areas of the applicable zoning district; and
- e. The need for convenient access, circulation, traffic control, and safety of street traffic.

2. *Shape.*

- a. Blocks shall be generally rectangular but may have curves or bends that correspond with the natural terrain.
- b. Irregularly shaped blocks which contain interior parks or playgrounds, parking areas, wetlands, or drainage improvements shall be permitted.
- c. Blocks shall be shaped in a manner that will provide safe pedestrian and vehicular circulation; efficient utility delivery; and adequate access for emergency service providers.

3. *Relationship of blocks to streets.*

- a. Intersecting streets shall be used to determine block length, width, and shape;
- b. Block and street design can vary to facilitate development and street connections and adjust to natural and man-made barriers, property lines, adjacent development, or other unique conditions provided that safe pedestrian and vehicular circulation is the end result.

J. *Relationship to major streets.* New residential lots shall not back up to highways, arterials, and major collector streets and shall take access from local or minor collector streets.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-12. Streets and driveways.

A. *Conformity to the future thoroughfare plan.* The general location, alignment, and functional classification of all streets and roads shall conform to the most recently adopted Angleton Mobility Plan dated XXXX.

B. *Street classifications.* Streets shall be classified according to the following functional classifications, as set out on the Mobility Plan dated XXXX.:

1. Highway

2. Major arterial;
 3. Minor arterial
 4. Major collector
 5. Minor collector;
 6. Local street and
 7. Cul-de-sacs.
- C. *Coordination with Texas Department of Transportation (TXDOT) and Brazoria County required.*
1. For projects adjoining, or accessing TXDOT right-of-way, the applicant shall contact the TXDOT to determine all TXDOT requirements and copy the city on all correspondence.
 2. For plats in the ETJ, the applicant shall contact the Brazoria County engineer to determine the requirements of Brazoria County and copy the city on all correspondence.
- D. *Acceptance of streets.* Required city street improvements shall be dedicated to the city, as set out in article III, division 4, Public Acceptance and Permitting.
- E. *General location standards.*
1. *Minimum design standards.* Required city street improvements shall be designed and constructed in accordance with the City's Code of Ordinances and the design principles set out in article II, Subdivision and Development Design.
 2. *Layout and connectivity.* Streets and alleys shall:
 - a. Be extended and located in accordance with the FTP in terms of street classification, right-of-way, pavement width, and alignment; and
 - b. Bear a logical relationship to existing topography and existing or proposed street locations, and the development of adjacent developed and undeveloped properties
 - c. Any deviation from the FTP shall be approved by the City Council with a recommendation from the Planning and Zoning Commission. .
 - c. Where not shown on the FTP, street layout will:
 - i. Provide continuity and connectivity between existing and proposed streets;
 - ii. Conform to generally accepted transportation planning principals for street hierarchy, spacing, and location, with due consideration to topography, environmental considerations, and natural hazard avoidance; and
 - iii. Provide connections to existing streets in a manner that will not change the functional classification of existing streets and will provide safe access to all lots.
 3. *Excess right-of-way.* Right-of-way in excess of the standards of the LDC may be required where topography results in the need for additional right-of-way to provide slopes that do not exceed a ratio of three to one or in order to provide street connectivity.
- F. *Design standards.* Streets shall be designed per the City's Code of Ordinances and the following standards:
1. *Street grade and curves.*
 - a. Streets may have a maximum grade of seven percent; and

- b. Centerline grade changes shall be designed in accordance with all AASHTO standards. Where there is a difference of more than two percent, the vertical curves shall be connected with a curve of sufficient length to provide a minimum 200 feet of sight distance.
- 2. *Street intersections.* Streets shall be designed to intersect as close as possible to right angles. The city engineer may consider an angle not less than 80 degrees where necessary to connect streets or avoid natural or man-made impediments.
- 3. *Intersections.*
 - a. All arterial and collector street intersections shall be at 90 degrees, or within five degrees of that standard.
 - b. The curb radius at street intersections shall conform to the specifications in the City’s Code of Ordinances.
 - c. Deviations from these requirements can be considered, as per section 22-12.E.2.c, when streets are realigned to comply with the FTP or to avoid natural, or man-made features, such as, but not limited to, protected wetlands, bogs, floodplains, a stand of protected trees, artifact areas, historic buildings or sites, pipelines, easements or existing development.
- 4. *Street jogs (off-sets).* Street off-sets less than 150 feet, measured centerline to centerline, are prohibited. A jog of not less than 100 feet may be approved only when necessary to connect streets in adjoining developments where both streets are local streets.
- 5. *Off-site improvements.* Off-site traffic improvements, as determined by the recommendations of a traffic impact analysis, as set out in section 23-25, or by TXDOT, may be required to mitigate the impact of development on existing transportation networks.
- 6. *Design.* City streets shall be designed as set out in Table 23-12.1, Street Design Standards.

Table 23-12.1 Street Dimension Standards					
Design Features	Road Classifications				
	Major Arterial	Minor Arterial	Major Collector	Minor Collector	Local Street
Right-of-Way Width	100'—120'	80'—100'	70'—80'	60'—70'	60'
Pavement Width	48' to 60'	36' to 48'	36'	32'	28'
Number of Lanes	4—6	3 or 4	2 or 3	2	2
Lane Width (ft.)	12'—14'	12'	12'	12'	12'
Design Speed	45—55+ mph	35—45 mph	30—35 mph	30 mph	30 mph
Width of Sidewalks	Min. 6'	Min. 6'	Min. 6'	Min. 6'	Min. 5'

- G. *Partial streets, cul-de-sacs, and dead-end streets.*
 - 1. *Cul-de-sacs.* Cul-de-sacs shall not exceed a length of:
 - a. Four hundred fifty feet in office and general commercial developments;
 - b. Six hundred feet in business park and industrial developments;

- c. One thousand feet for suburban residential developments with densities greater than three dwelling units per acre; and
 - d. One thousand five hundred feet for rural and estate developments with densities less than three d.u. per acre.
 - e. All cul-de-sac streets shall have a turnaround, with a paved surface diameter of no less than 110 feet and a right-of-way diameter of no less than 130 feet. A greater diameter pavement and right-of-way may be required by the city to accommodate oversized vehicle traffic and to provide adequate fire protection.
2. *Partial streets.* The use of a partial, or half street, is generally prohibited unless:
- a. A half street is proposed to increase the width of an inadequate existing right-of-way or where the construction of a half-street results in a fully functional two-way road. The construction of two lanes of a proposed four-lane arterial street; where a half street would be a fair share improvement is permitted;
 - b. A street stub is provided to facilitate the connection of a street to a future phase of development or a future adjoining development. In these circumstances, the city may require a temporary cul-de-sac, or an alternative turnaround design, or a maintenance bond; or
 - c. An existing half street exists adjacent to an area to be subdivided, in which case the subdivider must dedicate the remaining right-of-way and construct the half street as a fair share improvement or may defer the construction of the half-street in accordance with the requirements of article V, division 1, Transportation Responsibilities.
3. *Dead end streets* are prohibited unless they are designed as a short stub, or as a temporary all-weather turnaround, with a length not to exceed 100 feet.
- H. *New boundary streets.* For new boundary streets that will form part of a subdivision boundary, the following standards shall apply:
- 1. *Local streets.*
 - a. Where a local street forms part of a development or subdivision boundary, the developer or subdivider shall dedicate right-of-way sufficient to make such street conform to requirements of the city.
 - b. The developer or subdivider shall also improve such street in conformance with all standards and specifications of the City of Angleton, and enter into a reimbursement agreement with the city or enter into a deferral agreement with the city, as set out in section 23-38, Deferral and Permitting.
 - 2. *Collector and arterial streets.*
 - a. Where a proposed collector or arterial street forms part of a development or subdivision boundary, the subdivider shall dedicate a minimum of one-half of the additional right-of-way necessary to comprise the full street width.
 - b. Dedication of more than half this additional increment may be required, to maximize the use of existing streets, to provide access and connectivity, to meet the requirements of the traffic impact study, or to ensure consistent street alignment or curvature.
 - c. The developer or subdivider shall either:
 - i. Construct the required street or pave one half of the required street in accordance with the traffic study or the City's Code of Ordinances; or

- ii. If approved by the city, contribute to the city an amount of money equal to 125% of amount necessary to complete the design and construction of the street, curb, and sidewalk required by the LDC and the City's Code of Ordinances.
 - I. *Public access to subdivisions.*
 1. Subdivisions containing 30 or more lots, or multi-family developments with 50 or more units, shall have a minimum of two points of public vehicular access, 100-year storm compliant, and constructed to standards outlined in the City's Code of Ordinances to an existing public right-of-way separated as far apart as practical in accordance with the fire code; or
 2. The city council may approve subdivisions that have more than 30 lots, but fewer than 50 lots, with a single entrance to an existing paved public street with the following design elements:
 - a. A boulevard entrance with a median that has a minimum width of six feet;
 - b. Extension of the median into the subdivision with an unbroken median length of 100 feet, unless left-turn lanes and median breaks, designed to standards outlined in the City's Code of Ordinances, are installed at any crossing streets; and
 - c. Boulevard lanes with an adequate pavement for emergency access into the development.
 3. The city council may approve a variation to allow subdivisions that have more than 50 lots, with a single entrance to a paved public street as part of subdivisions approval process, subject to:
 - a. the entrance to the development being designed as a boulevard with a width sufficient on each driving lane for fire truck access;
 - b. with an unbroken median length of 150 feet, unless left-turn lanes and median breaks, designed to standards outlined in the City's Code of Ordinances, are installed at any crossing streets,
 - c. subject to a phasing plan that stipulates when the second access will be provided and the developer or subdivider posts surety for the second access point.
 - d. The council may defer plat recordation until adequate access is provided.
 4. A one-foot, non-access easement shall be provided along the rear property lines of residential lots that back up to arterial streets and TXDOT highways to prevent access.
 5. Where more than one street connection to paved public streets are required, both connections, when located in close proximity to creeks, bayous, and flooding hazards shall be designed so that each street is accessible in a 100-year storm to prevent water from over-topping each road. Only one street may not be located over a potential hazard, such as a high-pressure pipeline, unless such a connection is required by the FTP and the utility provider consents to such a crossing.
 6. For subdivisions containing 30 or more lots, or multi-family developments with 50 or more units, when more than one connection is required, the city may consider an all-weather remote emergency access where development phasing or land constraints will delay the provision of an additional access ways.
 7. When a required second access to a paved public street is required, the paved public street to be accessed shall be considered a boundary street. As such, the subdivider or developer shall be required to provide improvements to the boundary street to improve such road to current standards in accordance with article III division 1, Transportation Responsibilities.
 - J. *Street names, addresses, posts, signs, and markers.*
 1. Street names shall not duplicate the names of existing streets in the city or the city ETJ;
 2. Address numbers shall be assigned and displayed, in accordance with city, and in the ETJ, Brazoria County, standards in the size, color, contrast, to ensure right-of-way number visibility;

3. The developer shall be required to install all required signage and markers, consistent with city standards, and when applicable TXDOT and Brazoria County standards; and
4. Signs shall be installed per AASHTO standards, the Uniform Traffic Code, and the City's Code of Ordinances
5. Street signs shall have white lettering on green background in conformance with the requirements of the City's Code of Ordinances.

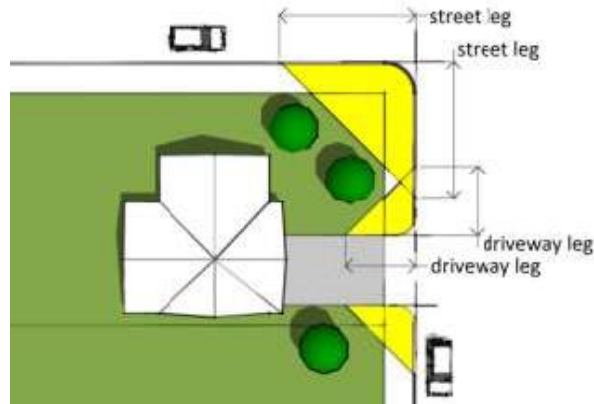
N. *Driveways and access.*

1. *Cross-access.* Parcels proposed for development that front on arterial and collector streets shall provide cross-access to abutting parcels unless cross-access is unfeasible. Cross-access easements may be required for other parcels, based on the location, traffic conditions, and surroundings.
2. *Alternatives.* Where connections to abutting parcels are possible, but not currently provided:
 - a. The parcel being developed shall include a stub-out or cross-connection easement at locations that allow reasonable connections to the abutting parcel; and
 - b. Said connections shall be depicted on a recorded plat or by separate instrument.
3. *Driveway width.* Driveways, on non-TXDOT system roads, that provide property access shall be:
 - a. At least 25 feet wide, but not more than 45 feet wide at the property line and configured to direct traffic safely to lots and may include medians between ingress and egress lanes.
 - b. Designed with a wider width as necessary to provide adequate width for trucks, emergency vehicles, or an adequate number of drive lanes to enter and exit a development.
4. *Number of driveways.* Lots with frontage on more than one street may have a second driveway, with one driveway on each street. "Right-in" and "right-out" driveway pairs shall be considered to be one driveway.
 - a. Lots with frontage less than 250 feet, shall be limited to one driveway.
 - b. Lots with frontage on multiple streets may have an additional driveway on each street.
 - c. "Right-in" and "right-out" driveway pairs shall be considered to be one driveway.
 - d. An additional driveway for lots wider than 250 feet that have multiple uses, are larger than five acres, may be approved if additional driveways would be considered if they comply with AASHTO standards or are necessary based on the recommendations of an approved TIA.
5. *Driveway spacing and proximity to arterial streets and highways.* Driveway spacing on the same side of the street and proximity to arterial streets and highways shall be as follows:
 - a. Driveway spacing on the same side of arterial street or highway shall be a minimum of 250 feet between driveways, measured from the centerlines of driveways.
 - b. Driveways shall not be located closer than 150 feet from a street intersection, measured from the edge of pavement of the driveway to the right-of-way.
 - c. Deviations from the strict driveway spacing and location may be approved by the city engineer based on the location of existing or proposed driveways on the opposite side of streets and the location of existing or proposed street improvements, such as medians and turn lanes. Acceptable deviations must adhere to AASHTO standards, generally accepted traffic engineering practices, and the recommendations of an approved TIA.
 - d. For legally nonconforming lots, the driveway spacing and proximity requirements of this subsection may be administratively waived to allow the construction of a driveway to every lot

after determining that shared access is not possible and that the driveway will be the greatest distance practical from the arterial street or highway, and any adjoining driveway.

6. *Driveway spacing and proximity to major collector streets.*
 - a. Driveway spacing on the same side of a major collector street shall be a minimum of 150 feet between driveways, measured from the centerlines of driveways.
 - b. Driveways shall not be located closer than 75 feet from a street intersection, measured from the edge of pavement of the driveway to the right-of-way.
 - c. Deviations from the strict driveway spacing and location may be approved by the city engineer as set out in subsection 5.c, above.
 - d. For legally nonconforming lots, the driveway spacing and proximity requirements of this subsection may be administratively waived as set out in subsection 5.d above.
 - e. Driveway access to residential lots shall be limited to the greatest extent practical.
7. *Driveway spacing and proximity to minor collector streets.*
 - a. Driveway spacing on the same side of a minor collector street for non-residential uses shall be a minimum of 100 feet between driveways, measured from the centerlines of driveways.
 - b. Driveways for non-residential and apartments shall be a minimum of 50 feet from a street intersection, measured from the edge of pavement of the driveway to the right-of-way.
 - c. For legally nonconforming lots, the driveway spacing and proximity requirements of this subsection may be administratively as set out in subsection 5.d above.
 - d. Driveway access to residential lots from minor collectors is permitted, but shall be limited to the greatest extent practical.
8. *Driveway proximity to local streets.*
 - a. There is no minimum distance separation between driveways, but driveways on corner lots abutting a local street shall be as far from the intersection as practical.
 - b. For corner lots where a local street intersects an arterial or any type of collector street, access to the lot shall be provided from the local street.
9. *Driveway radius.*
 - a. Driveway approaches shall be constructed with either flared side slopes or with return curbs with a rolled face disappearing at the sidewalks and joining the street curb with a radius. Flared side slopes shall be used whenever a curb return may present an architectural barrier within a pedestrian path.
 - b. Driveway flares shall not extend across any property line except for a shared driveway.
 - c. The radius shall continue beyond the sidewalk to the end of the required dimension.
10. *Existing sidewalks, curb and gutter, and ramps.* When a driveway crosses an existing curb and gutter or sidewalk, the driveway will be designed in accordance with the ACM and shall be jointed per the ACM and TAS regulations.
11. *Visibility requirements.* A triangle formed by the intersection of curb lines and a line connecting street legs 25 feet from intersections, as shown in Figure 23-12.1, Sight Distance Triangle Requirements, shall have clear visibility between two feet and eight feet of the road surface. The same standard shall apply to driveway legs.

**Figure 23-12.1
Sight Distance Triangle Requirements**



(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-14. Sidewalks and accessibility.

A. Sidewalks.

1. Required.

- a. Sidewalks shall be required in all locations that adjoin public and private streets on both sides of streets as part of the development.
- b. For an existing development that does not have sidewalks along adjoining public streets and is proposed to be expanded, sidewalks shall be required for the entire length of the property along the street.. The city council may consider a variance when there are significant engineering constraints that result in practical difficulties from locating or extending a sidewalk or when a sidewalk should not be extended for other practical considerations.

2. Construction standards.

- a. The construction specification of sidewalks shall conform to specifications for sidewalks and all accessibility standards outlined in the City's Code of Ordinances.
- b. Residential sidewalks shall have a minimum width of five feet and shall be setback two feet from the back of the curb.
- c. Sidewalks for non-residential uses shall have a minimum width of six feet.
- d. If a required sidewalk will connect to a substandard sidewalk, the city engineer may allow the tapering of the required sidewalk to provide a seamless connection.

3. Sidewalk obstructions.

- a. When existing or required development improvements, such as a fire hydrant or a group mailbox, are in path of a sidewalk, the sidewalk shall be offset around the obstacle at its full required width.
- b. If the right-of-way is insufficient to off-set the sidewalk around an obstruction, the city engineer may approve an alternative solution, in the form of requiring additional right-of-way or dedication of a "pedestrian or sidewalk easement".

- c. In avoiding an obstruction, the sidewalk shall comply with all TAS requirements.
 4. *Corner lots.* Where sidewalks are required on corner lots, they shall be installed along both frontages and extended to the curb with handicapped access ramps in accordance with the City's Code of Ordinances and all TAS requirements.
 5. *Timing of construction.* Sidewalks shall be constructed as set out below:
 - a. Sidewalks shall be installed concurrent with the construction of the adjoining street or concurrent with site development along existing streets.
 - b. Where a sidewalk will adjoin a common area or a designated open space, the sidewalk will be constructed concurrent with the adjoining street.
 - c. All public sidewalks proposed to be dedicated to the city shall obtain TDLR certification of compliance with Texas Accessibility Standards prior to city acceptance.
 6. *Waivers, deferrals, and variances from sidewalk installation.*
 - a. During platting, the city engineer may recommend that the installation of certain sidewalk sections be deferred to a future date when a unique condition exists that may preclude the immediate construction of a sidewalk.
 - b. If the city council accepts the city engineer's recommendation, council may stipulate conditions and the timing when sidewalks must be completed and may require that the subdivider enter into an agreement guaranteeing the installation of sidewalks as each residential lot is constructed and may preclude additional platting or public improvement acceptance until sidewalks required in earlier phases of a project are installed.
 - c. During platting, the city engineer may recommend that the sidewalk requirement be waived, or reduced, where it is not practical due to specific circumstances, such as soil suitability, or the extension of a sidewalk into, or beyond, a floodplain, bayou, or ditch or that pose a significant safety risk that cannot be mitigated.
 - d. Concurrent with the site plan process, the city council, after receiving a recommendation from the planning and zoning commission, may approve a variance from the sidewalk requirements when engineering constraints or local conditions result in practical difficulties in the construction or extension of a sidewalk.
- B. *Curb ramps.*
1. Curb ramps are required at all street intersections at the time of construction or reconstruction per all ADA/TAS requirements and the City's Code of Ordinances.
 2. ADA/TAS compliant curb ramp providing access to sidewalks, parking spaces shall be provided, including access to common open space and any required public improvements, such as parks, greenways, and recreation areas, where public access is permitted.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

DIVISION 3. GENERAL ENVIRONMENTAL STANDARDS

Sec. 23-60. Tree protection.

- A. *Authority.* Based on the authority of TLGC Ch. 212, the requirements of this section shall apply to all plats and site plans proposing new development in the corporate limits of the city and the ETJ.
- B. *Purpose and intent.* The purpose of this section is to require subdividers and developers identify and document the location of protected trees on properties where development for the following purposes:
- Promote responsible design decisions that will preserve as many protected trees as possible;
 - Prohibit the indiscriminate clearing of property;
 - Preserve protected trees during construction;
 - Protect and increase the value of properties by preserving those trees that help to define the character of the city and region;
 - Maintain a positive image of the city as a place to live and locate a business;
 - Protect the natural ecological environmental and aesthetic qualities of the city; and
 - Provide shade to provide relief from the heat by reducing the ambient temperature.
- C.
1. *Type of trees and Mitigation Requirement.* The following type of trees are considered as protected trees:
 - Standard Tree - A Standard Tree is defined as a tree that belongs to the Significant tree species listed in Section 23-60. D, with minimum TCD (total caliper diameter) of eight (8) inches and a maximum TCD of 11.9 inches.
 - Significant Tree - A Significant Tree is defined as a tree that belongs to the protected tree species listed in Section 23-60. D, with minimum TCD (total caliper diameter) of 12 inches and a maximum TCD of 23.9 inches.
 - Heritage Tree - A Heritage Tree is defined as a tree that belongs to the Significant tree species listed in Section 23-60. D, with minimum TCD (total caliper diameter) of 24 inches and a maximum TCD of 47.9 inches.Trees listed in Section 23-60. D, with a TCD of 48 inches, or larger shall not be removed.
- D. *Removal and Mitigation Criteria*
1. *Replacement Criteria.*

Developers of land are encouraged to preserve protected trees whenever possible. An applicant may remove Standard, Significant, and Heritage Trees if approved mitigation is provided.

The mitigation required shall be required at the following ratios:

- Standard Trees- 1:1 ratio for TCD (total caliper diameter) inches to be removed
- Significant Trees - 1.5:1 ratio for TCD (total caliper diameter) inches to be removed
- Heritage Trees - 3:1 ratio for TCD (total caliper diameter) inches to be removed

2. *Tree Mitigation Plan.*

Any Protected Trees are planned for removal and trees slated to meet the mitigation requirement, must be identified and clearly marked on the Tree Mitigation Plan.

3. *Removal and Mitigation of Standard and Significant Trees.*

- a. The applicant may plant smaller trees to replace protected Trees, provided that no tree smaller than TCD 2.5 inches is planted. In cases where soil, slope, lot size, or other natural constraints make replacing the required number of TCD inches unfeasible, the City Manager (or his designee), may, at their sole discretion, allow some or all of the mitigation to take place on a separate, public site within the City, or on lands owned by an association that operates and maintains trails, open space, or parkland within the City and that are usable by residents of the general area where the applicant's land is located. In addition, the City Manager (or designee) may allow mitigation by payment of fee for some or all of the Standard and Significant Trees to be moved, if the City's fee schedule includes a provision for Fee In Lieu of Replacement Trees. Unless otherwise specified in the fee schedule, the fees for Standard and Significant mitigation shall be the same.
- b. Replacement trees shall not include more than 50% of the same species.

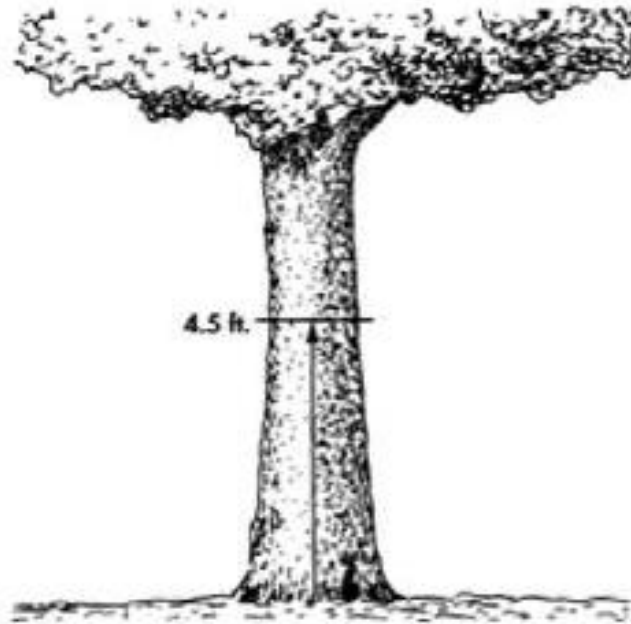
4. *Removal and Mitigation of Heritage Trees.*

- a. Heritage Trees may not be removed during construction, except under certain specific circumstances:
 - i. If the tree is sick or diseased and meets the criteria laid out in Section 23-60.E; or
 - ii. If the tree is within the footprint as described in Section 23-60.E; or
 - iii. if the removal is approved by the City Council after consideration by the P&Z, with a formal recommendation from the P&Z to the City Council
- b. If any Heritage Trees are planned for removal, they must be identified and clearly marked on the Heritage Tree Plan. The Heritage Plan must also identify any Heritage Trees that are likely to be endangered by construction activity which might sever or compress the root zone, or otherwise threaten the health and life of the tree, as determined by a reasonable person. The City Council may grant removals under Section 7.8(7)c.i-3 (above) at its sole discretion. In considering whether to allow the removal of Heritage Trees, the City Council shall consider whether removal is absolutely necessary to allow the applicant to meet reasonable, investment-backed expectations for use of the property, and whether such use can be accomplished while preserving Heritage Trees.
- c. If any Heritage Tree removals are granted, the applicant shall meet all the mitigation and replacement conditions outlined in 7.8(6)a. (above), except that any decisions delegated to the City Manager in that paragraph shall be made by the City Council.
- d. Replacement trees shall not include more than 50% of the same species.

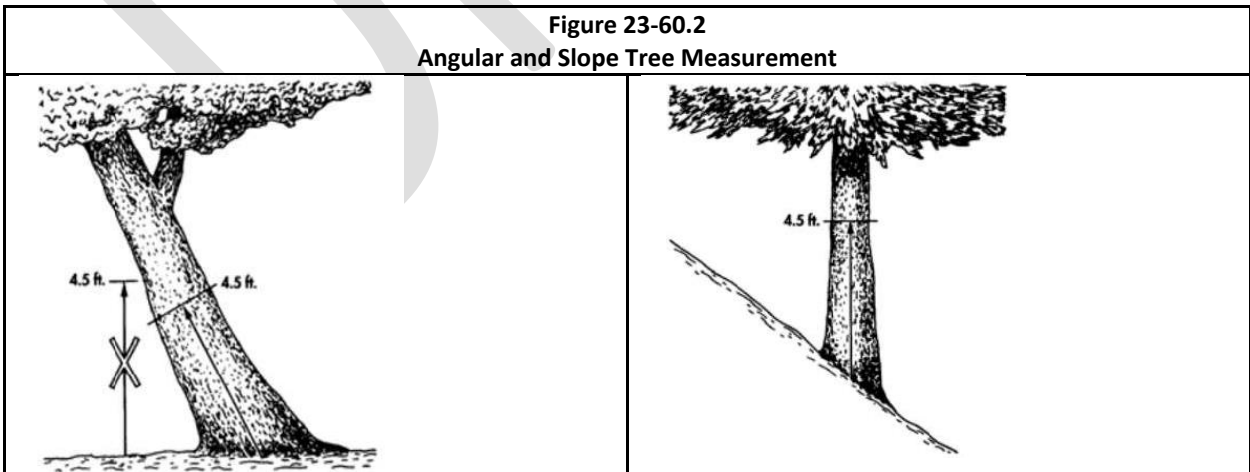
- e. The applicant may plant smaller trees to replace Heritage Trees, provided that no tree smaller than TCD 2.5 inches is planted.
- E. *Protected tree species classified.* The following tree species, if present on a property, shall be preserved as specified in this section, to mitigate the loss of any such trees:
- Shumard Red Oak - *Quercus shumardii*;
 - Burr Oak - *Quercus macrocarpa*;
 - Chinquapin Oak - *Quercus muehlenbergii*;
 - Post Oak - *Quercus stellata*;
 - Water Oak - *Quercus nigra*;
 - Willow Oak - *Quercus phellos*;
 - Bald Cypress - *Taxodium distichum*;
 - Tulip Tree (Yellow Poplar) - *Liriodendron tulipifera*;
 - American Elm - *Ulmus americana*;
 - Redbud - *Cercis canadensis*;
 - Dogwood - *Cornus florida*.
 - Trees listed in the large tree section of "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of Hackberry and Arizona ash trees.
- F. *Exceptions.* The requirements of this section shall not be applicable when:
1. Plans or plats were approved prior to the adoption of the LDC;
 2. Property is zoned or used for agricultural purposes, which includes the harvesting of timber;
 3. For existing trees less than total caliper diameter ("TCD") of 10 inches, as per LGC Sec.212.905, on homestead properties containing single or two family dwelling.
 4. Damaged or diseased trees that are beyond the point of recovery, in danger of falling, or endangering public health, welfare, property, or safety, as determined by a certified arborist;
 5. Trees damaged from an act of nature that interrupts utility service. Removal shall be limited, if possible, to the portion of the tree reasonably necessary to re-establish utility service;
 6. Easements. Trees located within any public utility easement; and
 7. Existing protected trees proposed to be removed due to current and/or potential damage to a structure located within ten feet (10') of the structure's footprint.
- G. *Deferral.* The planning and zoning commission may, may:
1. Consider a request to remove a protected tree that would otherwise require mitigation under this section, when the literal enforcement of this requirement would result in the creation of an unnecessary hardship on impractical application of the plan considering the physical characteristics of the lot or parcel of land in question; and
 2. Consider a waiver or a deviation from any other development requirements in order to preserve a protected tree.

- H. *Tree trunk measurement.* When documenting existing protected trees for mitigation purposes, the following criteria shall be applied:
1. *Straight trunk:* Trees with fairly straight, upright trunks shall be measured 4.5 feet above the ground, as shown below:

Figure 23-60.1
Straight Tree Trunk Measurement

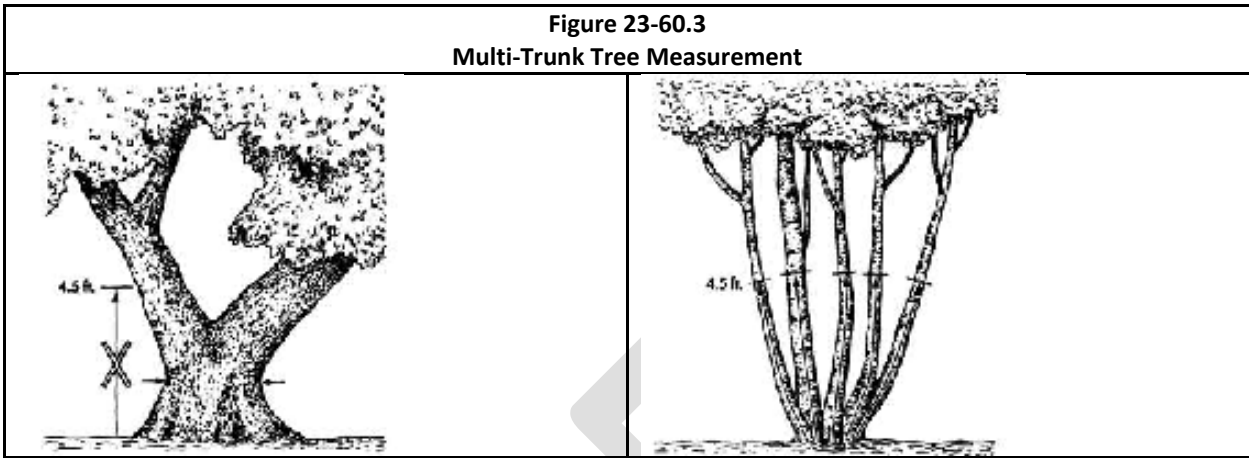


2. *Trunk on an angle or slope:* The trunk is measured at a right angle to the trunk 4.5 feet along the center of the trunk axis, so the height is the average of the shortest and the longest sides of the trunk, as shown below:



3. *Multi-trunk trees.* To determine the diameter of a multi-trunk tree, measure each tree trunk larger than one inch. Determine the diameter of the largest tree trunk. The diameter of the multi-trunk tree is

then computed as the diameter of the largest tree trunk plus one-half of the composite diameters of each smaller tree trunk greater than one inch. A multi-trunked tree is differentiated from individual trees growing from a common root stock if there is a visible connection between the trunks above ground.

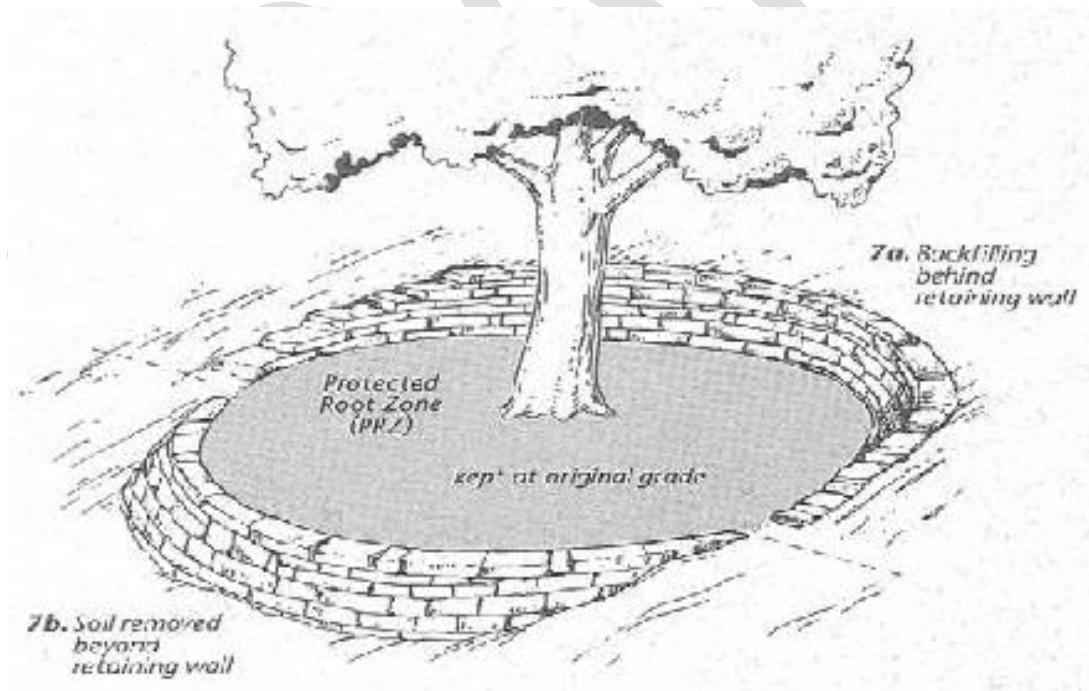


I. *Replacement and protection of protected trees.*

1. Developers and subdividers shall submit a tree preservation plan with plats and site plans that identifies the name, location, DBH at 4.5 feet above the natural grade of protected trees, and any significant tree species that will be preserved for credits against lost protected trees.
2. The developer or subdivider must identify the protected trees to be preserved or removed, and which existing significant tree species will be retained for credit for removed protected trees.
3. When a protected tree is proposed to be removed, the City Council may up on recommendation by Planning and Zoning Commission relax any development requirement to preserve the tree, upon staff recommendation. Relaxed design solutions may only be approved the commission upon finding that the preservation of the tree is in the public interest and that the relaxed standard would not result in any health or safety issues.
4. In lieu of planting young trees to mitigate lost heritage trees, the applicant may also propose to preserve existing mature healthy trees not listed in protected tree species classified list, but that are listed in the large tree section of "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees.
5. For site plans, the aggregate caliper for replacement trees shall be in addition to the normal landscaping requirements of the zoning ordinance.
6. For residential subdivisions, the aggregate caliper of replacement trees shall be in addition to the normal requirement of this ordinance, which is two trees per residential lot. The locations of where replacement trees will be planted shall be identified in a tree replacement plan filed with the preliminary plat, final plat or site plan, with trees identified as an existing protected/significant tee species.
7. No person, directly or indirectly, shall cut down, destroy, remove or move, or effectively destroy through damaging, any protected tree located on property regulated by this section unless such removal is expressly "excepted" by this section.

8. When using a retaining wall where the natural grade must be raised or lowered, the tree well shall be designed in accordance with the design concepts depicted in Figure 23-60.4, Retaining Wall and Tree RPZ Protection.
- J. *Tree preservation plan required.* When protected trees are located on a property for which development is proposed, which shall include site clearing, grubbing, earth movement, or the removal of any vegetation, a tree preservation plan shall be submitted that demonstrates compliance with the all of the requirements set out in this section.
- K. *Tree protection and planting.*
 1. Tree protection will be installed before any site work is initiated and maintained for the duration of the construction work. Tree protection will consist of the following:
 - a. It will consist of fencing (orange mesh or chain link) placed around the RPZ.
 - b. No vehicles or construction materials/debris will be allowed in the RPZ.
 - c. No equipment shall be cleaned or other liquids deposited within the limits of the dripline of any protected tree. This includes, but is not limited to, paint, oil, solvents, asphalt, concrete, mortar, or other materials;
 - d. No signs, wires, or other attachments, other than those of a protective nature, which have been approved in the tree disposition plan, shall be attached to any protected tree;
 - e. Trespassing or throwing trash into a protective fence area is prohibited.

Figure 23-60.4
Retaining Walls and Tree RPZ Protection



- f. Any damage done to tree crowns or roots will be repaired immediately and any wounds on live oaks will be painted with pruning paint within 60 minutes to prevent oak wilt.

- g. Wells or retaining walls around the RPZ will be used if proposed finished grades will raise or lower the natural RPZ grade by more than six inches.
 - h. The finished RPZ will be pervious.
 - i. Utility and flatwork per the original builder's plan are exempt for up to 45 percent of the RPZ.
2. New single-family residential lots shall have two trees per lot. These trees may be:
- a. A tree on the protected tree species list in Section 23-60. D; or
 - b. A tree listed in the "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees, provided that the tree, when mature, will have an average crown greater than 15 feet in diameter, have a three-inch DBH and height of ten feet at the time of planting;
 - c. If an existing protected trees species that was preserved to comply with this section is located on a residential building lot, it shall be designated on the plat, or another suitable document, to ensure that it is properly protected during construction and is not removed by the property owner, unless an exception listed in the section becomes applicable.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-75. Administrative permits and procedures.

- A. *Generally.* Administrative permits are those that are issued by the designated city staff without the requirement for a public meeting or hearing.
- B. *Administrative permits and procedures established.* Applications requiring administrative approval are set out in Table 23.75, Administrative Permits and Procedures, below.
- C. *Administrative rules authorized.* The city may establish administrative rules that stipulate administrative policies and guidelines, create filing schedules and deadlines and similar information to administer the LDC. The administrative rules may be amended, as necessary.

Table 23.75 Administrative Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Administrative Plats	Minor Plats Amending Plats Development Plats	Prior to sale or construction	All other plats	City Manager or Designated City staff
Site Plans	Determine Code Compliance	Prior to permit issuance	None	City Manager or Designated City staff
Extensions	Extend the life of an approval	Prior to expiration	As specified in the LDC	City Manager or Designated City staff
Sketch Plans	Determine LDC Compliance	Prior to plan submittal	Optional	City Manager or Designated City staff
Permits, Certificates and Licenses	Authorization to build or to operate	Prior to construction or development	None	Building Official
Appeals	Challenge an administrative decision	Within 30 days of an administrative decision	Denied appeals can be appealed to City Council	City Manager or Designated City staff

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(Supp. No. 19)

Table 23.75 Administrative Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Interpretations	LDC interpretations	Within 14 days of receipt of a complete application	None	City Manager or Designated City staff
Floodplain Development Permit	Development in a regulatory floodplain	Prior to beginning improvements in a floodplain	None	Floodplain Administrator
Construction of Public Improvements	Prior to site work	After approval of construction plans	None	City Manager or Designated City staff
Development Permit	Prior to site work	One week prior to the beginning site work	None	Building Official

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-76. Approvals and permits requiring public meetings.

- A. *Generally.* Applications requiring a public hearing or meetings are summarized in Table 23.76, Public Meetings: Permits and Procedures, below.
- B. *Public meetings and public hearings decisions.*
 1. A public hearing determination is issued by either the planning and zoning commission or city council during a public meeting.
 2. The planning and zoning commission, during a public meeting or public hearing, shall make a recommendation of approval, conditional approval, or denial to the city council, continue the application, or approve or deny those applications where it has final decision power.
 3. The city council, after concluding testimony, discussion, and deliberations, closing a public hearing, will approve, conditionally approve, continue, or deny the application.

Table 23.76 Public Meetings: Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
Public Improvement Acceptance	Public improvement acceptance	Prior to Final Plat recordation and building permit issuance	None	City Council
Appeals	Appeals from a staff determination	Within 30 days of the action being appealed	Administrative Appeals	City Council
Preliminary Plat	All major plats	Prior to Final Plat	Minor Plats	Council, upon Planning &

Table 23.76 Public Meetings: Permits and Procedures				
Process	Purpose	Timing	Exceptions	Issued By
				Commission recommendation
Final Plat	All major plats and any related platting variances	Prior to recordation and starting development	Minor Plats and Stale Plats	Council, upon Commission recommendation
Replat	Make changes to recorded plats	Prior to recordation and starting development	As per TXLGC XXXXX	Council, upon Commission recommendation
Vacation/Dedication of Easements	Easement dedicated or vacation	Prior to easement abandonment or conveyance	None	Council, upon Commission recommendation, if by plat, or by ordinance by Council
Floodplain Hazard Variance	Floodplain variances	Prior to permit issuance	Only pertains to Article V, Divisions 1 and 2	Council, upon City staff recommendation
LDC Variance	Variance from an LDC requirement	Prior to permit issuance	Flood Hazard Variances	Council, upon Commission recommendation
Text Amendment	Amendments to LDC text	Prior to amending the LDC	None	Council, upon Commission recommendation
Special Agreements	As set out in Article III, Division 3	Prior, or concurrent with, platting	None	City Council
Interpretations	Application of an LDC requirement	Prior to final action on a request	Designated City staff Interpretations	City Council
Site Plan Referral	Plans referred by the Designated City staff	Prior to site plan approval	Site plans approved by the Designated City staff	Planning and Zoning Commission
Concept Plan, Master Plan, or Land Study	"Conceptual" Project Direction and Approval	Prior to filing a plat or another development application	Voluntary for smaller projects, encouraged for large projects	Council, upon Commission recommendation
Vested Rights Petition	Expired Development Approval	Upon expiration of any Development Approval	None	City Council

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Part II - CODE OF ORDINANCES
Chapter 23 - LAND DEVELOPMENT CODE
ARTICLE VII. - PERMITS AND PROCEDURES
DIVISION 3. ADMINISTRATIVE: PERMITS AND PROCEDURES

DIVISION 3. PLATS AND PROCEDURES

Sec. 23-87. General procedures

- A. *Generally.* Subdivision-related procedures are necessary to establish how individual lots or projects may be developed. Subdivision and property development related activities and projects must be in compliance with this Code. Plats are classified under two types – Administrative Plats and Non-Administrative plats.
- B. *Administrative plats.*
1. **Amending Plat.** A plat that involves minor changes to a recorded plat. An amending plat will be filed in accordance with the procedures and requirements set forth in the TLGC §212.045. The City Manager or designee may approve and issue an amending plat, which may be recorded and control over the preceding plat without vacation of that plat and without notice and hearing.
 2. **Minor Plat.** A subdivision involving four (4) or fewer lots fronting on an existing street and not requiring the extension of municipal facilities;
 3. **Development Plat.** Required for any person proposing the development of previously unsubdivided or unplatted land that is not being divided into separate parcels, or land that was exempted from platting by TXLGC; and
- C. *Non-administrative plats.*
1. **Preliminary Plat.** A map or drawing of a proposed subdivision plan that, upon approval, establishes the approved layout. This approval includes the location and width of proposed streets, lots, blocks, floodplains, easements (utility, drainage, franchise utility, etc.), amenities, and other features required to ensure compliance with the requirements of this Code. . A Preliminary Plat approval is required prior to Final Plat approval, except under certain conditions described herein in **Section xxx**.
 2. **Final Plat.** A subdivision map or drawing intended for recordation in the plat records of the county in which the subdivision is located. A Final Plat requires approval of Preliminary Plat, construction plans for streets and infrastructure, , and other items from the Preliminary Plat in accordance with this Code.
 3. **Re-plat.** A new plat that changes the restrictions of a previously adopted Final Plat or results in a change in lot sizing that would affect water well or on-site sewage facility regulations, or that would affect compatibility with the City’s zoning code or Future Land Use Map.
- D. *Other Plat Related Approvals.*
1. **Concept Plan.** A map or plat designed to illustrate the general design features and street layout of a proposed subdivision development and platted in sections. A Concept Plan will be valid for one (1) year and will expire if a plat or a permit has not been approved or issued within the one (1) year time period. Subsequent approvals will automatically extend the approval of the Concept Plan for one (1) year following the last approval. (Refer to Table 3.2).
 2. **Construction Plans.** The maps, drawings, and specifications indicating the proposed location and design of improvements to be installed in a subdivision/Site Plan.

E. General Requirements

1. **Applicability.** Minor Plats, Amending Plats, and Development Plats may be approved by the City Manager (or designee) following an evaluation for plan compliance and technical compliance with this Code.
 - a. **Minor Plat.** A Minor Plat is any plat involving four (4) or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of municipal facilities.
 - b. **Amending Plat.** A plat that complies with LGC §212.016, as amended, which is generally submitted to correct errors and omissions, or make minor changes if the amending plat is signed by the applicants only and is solely for one or more of the following purposes:
 - i. Correct an error in a course or distance shown on the preceding plat;
 - ii. Add a course or distance that was omitted on the preceding plat;
 - iii. Correct an error in a real property description shown on the preceding plat;
 - iv. Indicate monuments set after the death, disability, or retirement from practice of the engineer or surveyor responsible for setting monuments;
 - v. Show the location or character of a monument which has been changed in location or character or that is shown incorrectly as to location or character on the preceding plat;
 - vi. Correct any other type of scrivener or clerical error or omission previously approved by the municipal authority responsible for approving plats, including lot numbers, acreage, street names, and identification of adjacent recorded plats;
 - vii. Correct an error in courses and distances of lot lines between two (2) adjacent lots if:
 - Both lot owners join in the application for amending the plat;
 - Neither lot is abolished;
 - The amendment does not attempt to remove recorded covenants or restrictions; and
 - The amendment does not have a materially adverse effect on the property rights of the other owners in the subdivision;
 - viii. Relocate a lot line to eliminate an inadvertent encroachment of a building or other improvement on a lot line or easement;
 - ix. Relocate one or more lot lines between one or more adjacent lots if:
 - The owners of all those lots join in the application for amending the plat;
 - The amendment does not attempt to remove recorded covenants or restrictions; and
 - The amendment does not increase the number of lots;
 - The amendment does not render any resulting lot substandard for a required well, on-site sewage facility, or below minimum lot size requirements in existing deed restrictions on in the City's Future Land Use Map; or
 - x. Make necessary changes to the preceding plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
 - The changes do not affect applicable zoning and other regulations of the municipality, including water and on-site sewage facility regulations;
 - The changes do not attempt to amend or remove any covenants or restrictions; and

- The area covered by the changes is located in an area that the Commission or City Council has approved, after a public hearing, as a residential improvement area; or
- xi. Replat one or more lots fronting on an existing street if:
 - The owners of all those lots join in the application for amending the plat;
 - The amendment does not attempt to remove recorded covenants or restrictions;
 - The amendment does not increase the number of lots; and
 - The amendment does not create or require the creation of a new street or make necessary the extension of municipal facilities, or require a variance for water well lot sizing and setbacks or on-site sewage facility regulations.
- c. Development Plat:
 - i. Development Plats are required for previously unsubdivided or unplatted land that is not being divided into separate parcels, as described in LGC §212.045.
 - ii. Any person who proposes the development of a tract of land within the City limits or the extraterritorial jurisdiction of the City must have a Development Plat of the tract prepared in accordance with this Section.
 - iii. No development will begin, nor any building permit, utility connection permit, or similar permit be issued until a development plat has been reviewed and approved.
 - iv. When an applicant is required to file a Preliminary Plat or Final Subdivision Plat by other requirements of this Section, a Development Plat is not required.
- d. City Manager Endorsement. It will be unlawful to offer and cause to be filed any plan, plat, or replat of land within the City limits or ETJ of City of record with the appropriate County Clerk unless the plan, plat or replat bears the endorsement and approval of the City Manager (or designee).
- e. Approval Criteria (Administrative Plat). All subdivisions and plats of land will be reviewed using the criteria in this Code. Infrastructure construction plans must be filed and be consistent with Chapter 8 Environmental Protection, if needed. Subdivisions, plats and construction plans must be reviewed and approved before any final action may be taken by the City Manager (or designee) or the developer. All plats shall be signed by all affected property owners prior to approval.
- f. Responsibility for Final Action. The City Manager (or designee) is responsible for final action on Administrative Plat Reviews. If the City Manager (or designee) determines the Administrative Plat does not meet the approval criteria, the City Manager shall forward the application to the to the Planning and Zoning Commission for its review and for its recommendation to City Council, which will take final action. The City Council, upon recommendation by Planning and Zoning Commission is responsible for final action on Administrative Plat Reviews.
- g. Action Following Plat Approval. After approval of an Administrative Plat, the Developer will notify the City Engineer within ten (10) days which of the following construction procedure(s) the Developer proposes to follow:
 - i. The Developer may file a Construction Plan, and upon approval of the Construction Plan by the City Manager (or designee), proceed with construction of streets, alleys, sidewalks, and utilities that the Developer is required to install. The City will inspect the work as it progresses, and upon completion and final acceptance by the City, and upon written request of the Developer, the approved plat may be filed of record with the appropriate County Clerk; or
 - ii. The Developer may elect to post fiscal surety and assurance of construction, if required, as provided in Chapter xxxx, in which case the surety of assurance will be filed with the City,

together with a request that the plat be filed for record. In this case, the plat will be filed with the appropriate County Clerk. The City will inspect the construction work as it progresses and will make the final inspection to assure compliance with City requirements; and upon completion of construction, the Developer will deliver to the City a two (2) year guarantee of workmanship and materials as provided in **Chapter xxxx.**

- iii. The City Engineer shall issue letter accepting documents, providing the requisite authority for the Subdivider to proceed with the construction of streets and utilities.
 - h. Recordation. After the City Manager (or designee) or City Council has approved the plat, the City Engineer has approved the Construction Plan and the Subdivider has either posted fiscal surety and assurance of construction (see **Chapter xxxx**) or completed required provision of infrastructure and public improvements, the plat will be recorded in the Office of the appropriate County Clerk. The Developer will pay the record filing fee as provided for in the City's fee schedule..
 - i. Submittal requirements. All administrative plats shall require the submittal requirements as set out in section 23-A.1., Submittal requirements checklists.
- F. *Administrative plat review procedures.*
- 1. All administrative plats set out above, or that are provided for in TLGC Ch. 212, are subject to designated City staff review and approval.
 - 2. The designated City staff shall:
 - a. Determine if the proposed plat complies with the criteria of this section;
 - b. Confirm that:
 - i. The administrative plat, if approved, will control over the preceding recorded final plat without the vacation of that plat; and
 - ii. That the administrative plat is signed by all affected property owners.
- G. *Approval by the city manager.* Upon the completion of review by the designated City staff, the plat is referred to the city manager. The city manager shall:
- 1. Approve the administrative plat if all requirements of the LDC are satisfied; or
 - 2. Refer the plat to the commission and city council, as set out in section **xxxx**, Final plats, if all requirements for administrative plat approval are not satisfied and the plat is not approved administratively.
- H. *Subdivisions outside the corporate limits of the city.* The City of Angleton has final authority on development plats in the ETJ.
- I. *Action following approval.*
- 1. *Certification of approval and surveyor certification.* City manager approval of the administrative plat shall be evidenced by the execution of a certificate of approval and a P.E. or R.P.L.S. seal on the plat, as set out in section 23-A-2, Standardized city forms and certification language.
 - 2. *Recordation of plat.* The plat shall be recorded in the plat records of Brazoria County, with all recording fees and any other applicable fees paid by the owner/applicant.
 - 3. *Expiration.* If for any reason the plat has not been recorded within six months of approval, the approving actions shall be deemed void.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-88. Non- Administrative plats.

A. *Non-administrative plats include the following*

1. Preliminary plat;
 2. Final plat; and
 3. Replat plat.
- a. Applicability. Preliminary plat, Final plat, and Replat plat Plats require approval by the City Council, upon a recommendation from the Planning and Zoning Commission, following an evaluation for plan compliance and technical compliance with this Code. Except for certain types of replats, as per TXLGC XXXX, a public hearing is not required for approval of these plats.

See **Sections xxxx**, for additional details on non-administrative plats.

Table XX Review Authority and Expiration of Plats

Type of Plat	Applicability	Approving Body/Official	Expiration
Minor Plat	Creation of four (4) or fewer lots fronting on an existing street and not requiring the creation of any new street or the extension of municipal facilities.	Designated City Staff (Administrative)	Must be filed with the county clerk within 12 months following the date of approval
Amending Plat	A plat that complies with LGC §212.016 and generally submitted to correct errors and omissions or make minor changes.	Designated City Staff (Administrative)	Must be filed with the county clerk within 12 months following the date of approval
Development Plat	Required for previously unsubdivided or unplatted land that is not being divided into separate parcels, as described in LGC §212.045.	Designated City Staff (Administrative)	Must be filed with the county clerk within 12 months following the date of approval
Preliminary Plat	Required for land being divided into separate parcels, plats with five or more lots, and any plats that require public improvements that will be dedicated to the City.	City Council	Must submit a Final Plat within 6 12 months following the date of approval
Final Plat	<ul style="list-style-type: none"> • Required for land being divided into separate parcels, plats with five or more lots, and any plats that require public improvements that will be dedicated to the City. • Required to ensure that a final recorded plat conforms to the Preliminary Plat as approved by the City Council and to the Construction Plans as approved by the Mayor or designee. 	City Council	Must be filed with the county clerk within 12 months following the date of approval

Type of Plat	Applicability	Approving Body/Official	Expiration
Replat	To replat a subdivision or part of a subdivision without vacation of the original plat. Applies to certain type of replats as per TXLGC XXX	City Council	Must be filed with the county clerk within 12 months following the date of approval
Extension of All Plat Approvals	To extend expiration date of a plat approval and extend the recordation time.	Approving body	If no development has occurred within 12 months following the date of approval, the expiration date may be extended by an additional 12 months

Sec. 23-89. Preliminary plats.

- A. *Pre-application conference.* The applicant or their duly authorized agent, is required to schedule a pre-application conference, as set out in section 23-77, Pre-application conference.
- B. *Preliminary plat and plat submittal contents.* Preliminary plats shall include all relevant information set out in appendix A, subappendix 2, for preliminary plats and any other submittal checklists that are applicable.
- C. *Application review process.*
 - 1. *Complete application required.* The submittal will be considered filed when all requirements set out in section 23-79, Complete applications required are provided. The date in which the application is determined to be "complete" is the official filing date.
 - 2. *Thirty-day filing deadline.* Applications shall be acted on within 30 days after the plat filing date, as set out in section 23-80, Application review.
 - 3. *Incomplete applications.* If an applicant chooses to proceed to the commission and council with an incomplete application, as set out in subsection 23-79.B.
 - 4. *Written report.*
 - a. The recommendations from each referral agency, official, and department shall be provided to the applicant; and
 - b. A written report from the designated City staff, distributed to the commission and council, will provide a staff recommendation.
- D. *Planning and zoning commission action.*
 - 1. *Review criteria.* The commission shall utilize the following criteria:
 - a. Consistency with any approved concept plan, master plan, or land study, as set out in section 23-104, Concept plans, master plans, and land studies.
 - b. Physical arrangement of the subdivision;
 - c. Adequacy of street rights-of-way, alignment, and connectivity;
 - d. Compliance with the LDC;
 - e. Compliance with the Angleton Future Thoroughfare Plan;
 - f. Compliance with and the master drainage plan and all other city plans; and
 - g. Adequacy of proposed utility services.

2. *Commission action.*
 - a. The commission will recommend approval, approval subject to conditions, or denial.
 - b. The commission shall adopt findings of fact for a recommendation to deny the plat.
- E. *City council action.*
 1. *Review criteria.* The city council shall follow all processes set out in subsection G, above.
 2. *Council action.*
 - a. The council will approve, approve subject to conditions, or deny the application.
 - b. The commission shall adopt findings of fact and rationale for any plat denial.
- F. *Subdivisions outside the corporate limits of the city.* Final action on all preliminary plats, regardless of the location of a plat in the ETJ, is the city council, following review and a recommendation by the planning and zoning commission.
- G. *Effect of preliminary plat approval.*
 1. Approval of a preliminary plat shall not constitute approval of the final plat.
 2. Approval of the preliminary plat should be deemed an expression of approval to the proposed layout submitted on the preliminary plat as a guide to the preparation of the final plat.
 3. The final plat shall be subject to fulfilling all requirements of this LDC, the master drainage plan.
- H. *Lapse of approval.*
 1. Preliminary plat approval shall be valid for 12 months from the date of council approval, during which time all general terms and conditions under which the preliminary plat was approved shall not be changed;
 2. The council approval of the preliminary plat shall be deemed void unless a final plat is submitted within the 12-month period, or unless the 12-month period is extended by the council for a term not to exceed 12 months at the request of the subdivider; and
 3. As a condition of granting an extension of the preliminary plat, the council may require the plat to comply with any new development requirements adopted after the plat was approved.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-90. Final plats.

- A. *General.* A final plat may not be recorded until a preliminary plat and final plat have been approved, as set out in section 23-94, Preliminary plat, and this section.
- B. *Final plat and plat submittal contents.* Final plats shall include all relevant information set out in appendix A, subappendix 2, for final plats and any other submittal checklists that are applicable.
- C. *Application review process.* A final plats shall be filed within 12 months of the approval of a preliminary plat, and shall be reviewed as set out in section 23-94, Preliminary plat, subsection C, Application review, and the additional requirements set out below:
 1. *Final plat conformance with the approved preliminary plat.* The final plat shall conform substantially to the approved preliminary plat and phasing plan and any conditions imposed.

2. *Approval of construction plans and construction of public improvements.* The final plat shall be filed for review and approval upon acceptance of all public improvements or after provision of surety as required. .
- D. *Plat action.* Action on the final plat will be taken by the planning and zoning commission and city council as set out in section 23-94, Preliminary plat, subsection G., Planning and zoning commission action, and subsection H., City council action.
- E. *Subdivisions outside corporate limits of the city.* Final action on all final plats, regardless of the location of a plat in the ETJ, is the city council, following review and a recommendation by the planning and zoning commission.
- F. *Actions following final plat approval.*
 1. *Certification of approval.* City council approval shall authorize the planning and zoning commission chairman and mayor to execute the certificates of approval on the final plat.
 2. *Final plat modifications.* In no case shall additions, corrections, or modifications of any kind be made to the final plat administratively, other than signatures required after the final plat has been approved by the city council, except those set out in section 23-87. .
 3. *Recordation of plats.* The recordation of all subdivisions inside the corporate limits of the city and the ETJ shall then be filed and recorded in the plat records of Brazoria County after:
 - a. City Manager or designee has approved the Construction Plan.
 - b. The city council has officially acted upon the final plat with respect to public improvements, dedications and utilities, as set out in **article III, division 4**, Public Acceptance and Permitting;
 - c. The final plat has been fully certified and executed by all property owners comprising the plat and agencies with plat certification jurisdiction; and
 - d. All fees, including recording, application, staff review fees, fees in lieu of parkland dedication, if applicable, have been paid in full.
 - e. The Subdivider has either posted fiscal surety and assurance of construction (see **Chapter xxxx**) or completed required provision of infrastructure and public improvements.
- G. *Review in phases.*
 1. An owner or subdivider may pursue final plat approval of a portion or a section of a development included in an approved preliminary plat, as set out in section 23-18, Development phasing;
 2. The final plat of each phase, shall carry the name of the entire subdivision and a unique phase number;
 3. Block numbers within the entire development shall run consecutively throughout the entire subdivision; and
 4. By completing a development in phases, the original preliminary plat shall not lapse or expire.
- H. *Lapse of approval.*
 1. Final plat approval is valid for 12 months from the date of approval by the city council or Brazoria County, during which time all general terms and conditions under which the final plat was approved will not be changed;
 2. City council approval of the final plat shall be voided if a final plat is not recorded within the 12-month period, or unless the council approves an extension not to exceed six months at the request of the subdivider; and

3. The council, as a condition of granting an extension, may require the plat to comply with any new development requirements adopted after the plat was approved.
- I. *Standardized surveyor, planning and zoning commission, and city council certificate language.* Final plats shall include required certifications, as set out in section 23-A.2, Standardized city forms and certification language.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-91. Replats.

A. *Replats.*

1. A replat may be filed to initiate, a change to a previously recorded plat, without vacating an existing recorded plat, for any of the following purposes:
 - i. Correct an error in any course or distance shown on the prior recorded plat;
 - ii. Add any course or distance that was omitted on the prior recorded plat;
 - iii. Correct an error in the description of the real property shown on the prior recorded plat;
 - iv. Indicate monuments set after death, disability, or retirement from practice of the engineer responsible for setting the monuments;
 - v. Indicate the proper location or character of any monument that has been changed in location or character or that originally was shown at the wrong location or incorrect character on the prior recorded plat;
 - vi. Correct any other type of clerical error, scrivener's error, or omission in the previously approved recorded plat;
 - vii. Correct an error in courses and distances of lot lines between two adjacent lots where both lot owners join in the plat application and neither recorded lot is abolished, provided that:
 - Such amendment does not have a material adverse effect on the property rights of the owners in the plat;
 - Such an amendment is acceptable to any utility providers that may be affected by the amendment; and
 - Each resulting lot complies with all requirements of the LDC.
 - viii. Relocate a lot line in order to cure an inadvertent encroachment of a building or improvement on a lot line or on an easement; or to
 - ix. Relocate or vacate one or more lot lines, easements, or rights-of-way between, or along, one or more adjacent platted lots where the owner or owners of all such property join in the application for the plat amendment; provided that easement or right-of-way vacation is agreeable to all utility providers and jurisdictions that may have services and easements/right-of-way on the affected properties.
2. A replat may be recorded and is controlling over the preceding plat without vacating the original plat if the replat is:
 - i. Signed and acknowledged by only the owners of the property being replatted;
 - ii. Approved after a public hearing; and
 - iii. Does not attempt to amend or remove any covenants or restrictions of the original plat.

- 3. *Public hearing required.* In the event that a replat requires a public hearing, notice of the public hearing shall be provided as set out in TLGC § 212.014 and § 212.015, with notice of the public hearing being mailed, published, and posted at the City Hall, as set out in section 23-82, Public notice.
- B. *Nonconforming lots.* If the lots proposed to be consolidated exist as legal nonconforming lots, the new lots should comply with the criteria set out in section 23-5, Applicability, subsection E, Nonconforming lots.
- C. *Processes and procedures.* Replats shall be subject to all LDC processes and procedures set out in subsection 23-95.C, Final plats. The applicant is also required to schedule a pre-application conference, as set out in section 23-77, Pre-application conference.
- D. *Action following approval.* Replats shall be subject to the "action following approval" requirements set out in subsection 23-95.F, Final plats.
- E. *Lapse of approval.* Replats shall be subject to the "lapse of approval" requirements set out in subsection 23-95.H, Final plats.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-92. Site plan.

- A. *Generally.* Site plans are required to ensure that:
 - 1. Adequate public services and facilities are available;
 - 2. Public health and safety precautions from natural and man-made hazards are provided; and
 - 3. The project will comply with the LDC and Code of Ordinances, chapter 28, Zoning.
- B. *Applicability.*
 - 1. A site plan is required for:
 - a. All new development, redevelopment, and substantial improvement or expansion of:
 - i. Multi-family residential;
 - ii. Manufactured home parks;
 - iii. Non-residential; and
 - iv. Mixed-use developments.
 - b. Proposed variances;
 - c. The expansion of a building or the intensification of a use; and
 - d. Where necessary to demonstrate compliance with the requirements of the LDC.
 - 2. Non-residential and mixed-use development requires site plan review and approval prior to the issuance of permits that allow land clearing, site grading, and construction.
 - 3. The term "site plan" shall be synonymous with any and all plans required by the LDC and any other development requirements of the city, such as, but not limited to, landscape plans, grading plans, tree preservation plans, and drainage plans.
- C. *Site plan preparation.* Site plans may only be prepared, signed, and sealed by a State of Texas licensed engineer, architect, or a registered professional land surveyor.
- D. *Review authority.* Site plans are subject to review and approval by the designated City staff, and when required, by the DRC, as set out in section 23-69, Development review committee.

- E. *Submittal requirements.* Site plans shall be prepared as set out in section 23-A.1, Submittal requirement checklists.
- F. *Public improvements may be required.* Public improvements, as set out in article II, division 1, Transportation Responsibilities, and division 4, Utility Responsibilities, may be required as a condition of site plan approval.
- G. *Administrative approval process.*
 - 1. Upon submitting a complete application, city staff and referral agencies shall have 20 working days to provide the designated City staff with review comments;
 - 2. The designated City staff shall provide the applicant a copy of all review comments and may convene a DRC meeting; and
 - 3. The process shall be completed when all review comments have been addressed.
- H. *Prohibited actions.*
 - 1. A site plan may not be approved if platting is required to create a legal building site. A final, or minor plat, may be submitted simultaneously with a site plan; at the applicant's risk, and approved conditionally upon the approval and recordation of the plat.
 - 2. A building permit or land development permit may not be issued for development without first obtaining site plan approval.
 - 3. No lot grading, drainage work, or other site improvements may commence without obtaining site plan approval.
 - 4. A certificate of occupancy may not be issued until all improvements depicted with the approved site plan are completed.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-93. Extensions.

- A. *General.*
 - 1. Various sections in article VII, division 3, Administrative Approvals, and division 4, Public Meeting Approvals, stipulate a specific time period in which the approval of a plan, plat, or other approval is valid before it expires, and allow the designated City staff, to consider an extension of time within a specific period of time.
 - 2. The designated City staff, and other specified staff members, are not obligated to grant a request for an extension.
- B. *Considerations.* When considering a request for an extension, the following factors should be considered:
 - 1. Was the extension requested prior to the expiration, or within **45 days after the expiration**;
 - 2. Did the applicant demonstrate cause for the expiration, or the eminent expiration, and demonstrate that factors beyond the control of applicant delayed the project;
 - 3. Has the city adopted new codes, standards, or any other requirement that would have a bearing on the of the project that will has expired, or where expiration is eminent, if the project was filed at the present time; and
 - 4. Would the project, if refiled, comply with all applicable city codes and ordinances.

- 5. If an extension is requested after 45 days of its expiration, would an extension satisfy the other considerations in this subsection and has the expiration reached a point where city council action is required, or a time frame where the LDC does not expressly allow an extension.
- C. *Information required.* The applicant shall provide the designated City staff with written documentation that addresses each of the considerations listed in subsection B, above. which any watercourse or natural drainage is proposed to be altered or relocated.
- D. *Approval criteria.* Action on an extension shall be based on an affirmative finding by the designated City staff, or other specified staff, that an extension would satisfy the considerations set out in subsection B, above.
- E. *Records.* An extension, if granted, shall be maintained in the offices of the City of Angleton open for public review and inspection for all information required by this section and the LDC.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)

Sec. 23-113. Definitions.

City manager: The Chief Administrative Official of the City of Angleton, as designated by the city council.

City engineer: The official or entity, as designated by the city manager.

Commissioners: The Angleton Planning and Zoning Commission.

Common open space: A parcel of land designated for the private use residents, occupants and owners of within a development.

2007 Comprehensive Plan : The comprehensive plan of the City of Angleton, including all amendments.

Connector: A party seeking to connect to the city infrastructure who would benefit from infrastructure constructed by an initial developer eligible for fair share reimbursement.

Council: The Angleton City Council.

County: Brazoria County.

Density: The maximum number of dwelling units per gross acre of land permitted in a zone district.

Developer: Any public or private person, partnership, association or agency that prepares raw land for development.

Development: The physical extension or construction of urban land uses and infrastructure.

Designated City staff: The duly-authorized representative designated by the city manager to administer the LDC.

Lot lines: Refers to the property lines that bound each lot or parcel to a defined legal space.

Lot of record: A lot that is part of a subdivision recorded in the office of the County Recorder of Brazoria County, or a parcel of land with a deed recorded in the office of the County Recorder of Brazoria County, and that complied with the subdivision requirements at the time they were created.



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion of a Project Concept for the Mulberry Fields Subdivision site for consideration of a new concept, for approximately 13 acres of land located north of W. Mulberry St., East side of N. Walker St, and south of W. Live Oak St., within the SF-6.3 Zoning District. No action is required.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: \$0

FUNDS REQUESTED: \$0

FUND: N/A

EXECUTIVE SUMMARY:

Mulberry Fields Subdivision is a proposed 13 acre, 44 lot, residential development bordered on the east by Walker Street, south of its intersection with an unnamed street that appears to be Magnolia Street. The land to be subdivided surrounds a CG zoned area consisting of commercial tower and a one-acre commercial tract. Reserve "A" will serve as the detention area for the development. The development will be served by 2 ingress/egress points: one on N. Walker St. and the other on West Mulberry St.

Corey Boyer, Manager of Development of Texas, developer, hopes to discuss a new vision for the property to allow for a different product in response to the current market influences and interest rates. The applicant is proposing a rezoning of the property to SFA, Single-family attached residential district (Townhomes) (See attachment 1 for the related Code regulations). The proposed number of units would result in 88 doors, depending on net density once public improvements and setbacks are finally designed.

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission receive the developer's presentation and hold discussion regarding the proposed development and provide the applicant with feedback. No formal action is required for this item.

CONSTRUCTION PLANS FOR WATER, SEWER, PAVING AND DRAINAGE FACILITIES TO SERVE "MULBERRY FIELDS SUBDIVISION"

A 13.0044 ACRE TRACT OF LAND

IN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380, IN THE M. C. TOBIN SURVEY, ABSTRACT NO. 699, AND IN THE H. H. CORNWALL SURVEY,
ABSTRACT NO. 180, CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS 77515

PROJECT NO.: 21015-01 DATE: February 2023

"RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THEIR SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER."

"ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER."

FLOODPLAIN:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-0440K EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

WATERSHED: LOWER OYSTER CREEK (12040205)

TXDOT ROADWAY: SH-35 (W MULBERRY ST)

STOP - CALL BEFORE YOU DIG!!

CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES BY CONTACTING "TEXAS ONE CALL" AT 1-800-245-4545 AT LEAST 48 HOURS BEFORE YOU DIG, DRILL OR BLAST.

EXISTING, WATER, SANITARY, GAS, ELECTRICAL, TELECOMMUNICATIONS AND ALL OTHER UTILITY LINES ARE SHOWN PER RECORD DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION AT THE SITE PRIOR TO CONSTRUCTION.

AUTHORIZATION NOTICE ISSUED BY BRAZORIA COUNTY ENGINEERING DEPARTMENT, PERMIT OFFICE, REQUIRED PRIOR TO CONSTRUCTION OF UTILITIES OR LEFT TURN LANES WITHIN BRAZORIA COUNTY PUBLIC RIGHTS-OF-WAY.

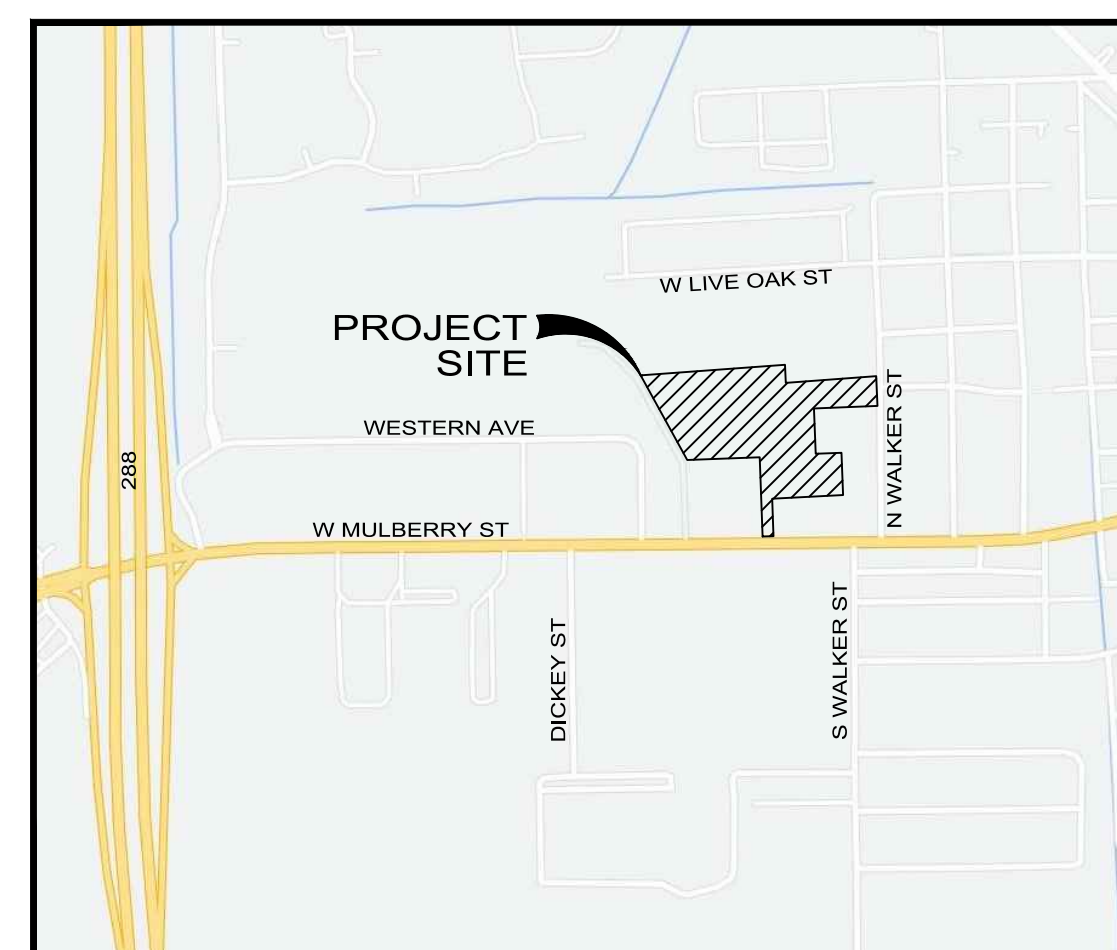
CONTRACTOR AND OWNER SHALL COMPLY WITH THE REGULATIONS OF CITY OF ANGLETON AND BRAZORIA COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT.

48 HOUR NOTICE:

CONTRACTOR(S) SHALL NOTIFY CITY OF ANGLETON PERMIT AND INSPECTION OFFICE AT (979) 849-4364, PRIOR TO COMMENCING CONSTRUCTION AND/OR BACKFILLING ANY UTILITIES.



VICINITY MAP
NOT TO SCALE



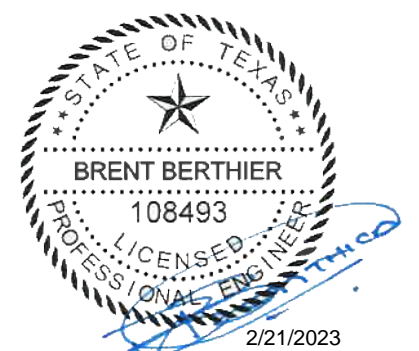
LOCATION MAP
NOT TO SCALE

PROJECT ADDRESS:
N WALKER STREET &
W MULBERRY STREET
ANGLETON, TEXAS 77515

SHEET	SHEET TITLE
1	COVER SHEET
△ 2	PLAT
3	TOPOGRAPHIC SURVEY
4	GENERAL NOTES
5	CLEARING PLAN
△ 6	WATER & SANITARY SEWER LAYOUT
△ 7	STORM SEWER LAYOUT
△ 8	PAVING & SIGNAGE LAYOUT
9	GEOMETRIC LAYOUT
△ 10	GRADING PLAN
△ 11	DRAINAGE AREA MAP
△ 12	STORM SEWER CALCULATIONS
△ 13	LILLY VIEW DRIVE PLAN & PROFILE STA 0+00 TO 5+00
△ 14	LILLY VIEW DRIVE PLAN & PROFILE STA 5+00 TO 9+00
15	NICOLETTE DRIVE PLAN & PROFILE STA 0+00 TO 4+50
16	SUGARDALE DRIVE PLAN & PROFILE STA 4+50 TO 7+00
17	LINWOOD STREET PLAN & PROFILE STA 7+00 TO 12+00
△ 18	LINWOOD STREET PLAN & PROFILE STA 12+00 TO 17+50
△ 19	DETENTION POND PLAN & DETAILS
△ 20	STORM WATER LIFT STATION DETAILS
△ 21	STORM WATER POLLUTION PREVENTION PLAN
22	STORM WATER POLLUTION PREVENTION DETAILS
23	WATER DETAILS
24	SANITARY SEWER DETAILS
25	STORM SEWER DETAILS
26	CONCRETE PAVEMENT CONSTRUCTION DETAILS
27	DRIVEWAY DETAILS
28	SIDEWALK & ADA RAMP DETAILS
29	CURB DETAILS
30	SIGNAGE DETAILS
31	MISCELLANEOUS DETAILS
△ 32	CONFLICT STRUCTURE DETAILS
33	TRAFFIC CONTROL PLAN
34	PAVEMENT REPLACEMENT & CHAIN LINK FENCE DETAILS
△ 35	SAFETY END TREATMENT DETAIL
△ 36	EXCAVATION & BACKFILL DETAILS
△ 37	DRIVEWAY DETAILS (TXDOT)



WARNING:
CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES BY CONTACTING "TEXAS 811" AT 811 OR 713-223-4567 AT LEAST 48 HOURS BEFORE YOU DIG, DRILL OR BLAST. EXISTING, WATER, SANITARY, GAS, ELECTRICAL, TELECOMMUNICATIONS AND ALL OTHER UTILITY LINES ARE SHOWN PER RECORD DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION AT THE SITE PRIOR TO CONSTRUCTION.



BENCHMARK:
PROJECT IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83) USING NGS CONTINUOUSLY OPERATING REFERENCE STATIONS.

ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD '88, GEOID 12a).

FLOODPLAIN:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-04040 EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

METES AND BOUNDS

A FIELD NOTE DESCRIPTION of a 13.0044 acre (566,471 square feet) tract of land in the J. De J. Valderas Survey, Abstract No. 380, in the M. C. Tobin Survey, Abstract No. 699, and in the H. H. Cornwall Survey, Abstract No. 180, City of Angleton, Brazoria County, Texas, said 13.0044 acre tract being that same tract of land conveyed to Mulberry Fields LLC, as recorded in Brazoria County Clerk's File No. 2021037827; said tract being more particularly described by metes-and-bounds as follows with the bearings being based on the Texas State Plane Coordinate System, South Central Zone (NAD83) per GPS Observations using National Geodetic Survey Continuously Operating Reference Stations:

BEGINNING at a 1/2-inch iron rod found in the northeast right-of-way line of Heritage Drive (width varies), according to the map or plat recorded in Volume 20, Page 211 of the Brazoria County Plat Records for the northeast corner of an original 20.751 acre tract, as recorded in Volume 1090, Page 796 of the Brazoria County Deed Records, for the southwest corner of a 13.203 acre tract of land conveyed to Community Public Service Company, as recorded in Volume 1487, Page 234 of the Brazoria County Deed Records, and for the northeast corner of this tract; from which a 1/2-inch iron rod found bears North 46° 52' 31" West - 332.07 feet (called North 45° 00' 18" West - 332.03 feet per Volume 1467, Page 234 of the Brazoria County Deed Records);

THENCE, North 85° 46' 46" East - 807.91 feet (called North 88° 04' East - 808.25 feet per Brazoria County Clerk's File No. 2021037827) with the north line of said 20.751 acre tract and with the south line of said 13.203 acre tract to a 5/8-inch iron rod with aluminum cap stamped "NP" found for the northeast corner of a 1.1478 acre tract of land conveyed to Texas-New Mexico Power Company, as recorded in Volume 362, Page 838 of the Brazoria County Deed Records and for a northeast corner of this tract;

THENCE, South 02° 26' 18" East - 99.83 feet (called South 00° 06' 57" East - 99.86 feet per Brazoria County Clerk's File No. 2021037827) (called South 00° 04' 00" East - 100.05 feet per Volume 362, Page 838 of the Brazoria County Deed Records) with the west line of said 1.1478 acre tract to a 5/8-inch iron rod with aluminum cap stamped "NP" found for the southwest corner of said 1.1478 acre tract and for an interior corner of this tract;

THENCE, North 85° 44' 50" East - 499.94 feet (called North 88° 03' 44" East - 499.92 feet per Brazoria County Clerk's File No. 2021037827) (called North 88° 04' 00" East - 500.00 feet per Volume 362, Page 838 of the Brazoria County Deed Records) with the south line of said 1.1478 acre tract to a 5/8-inch iron rod with aluminum cap stamped "NP" found in the west right-of-way line of Walker Street (width varies) and in the east line of said 20.751 acre tract for the southeast corner of said 1.1478 acre tract and for a northeast corner of this tract;

THENCE, South 02° 20' 40" East - 164.41 feet (called South 00° 04' 17" East - 164.36 feet per Brazoria County Clerk's File No. 2021037827) with the west right-of-way line of said Walker Street and with the east line of said 20.751 acre tract to a 1/2-inch iron pipe found inside a 2-inch PVC pipe for the northeast corner of Reserve "B", Block 1, Short Form Plat Communication Tower, according to the map or plat recorded in Volume 21, Page 189 of the Brazoria County Plat Records and for a southeast corner of this tract;

THENCE, South 87° 41' 11" West - 350.24 feet (called North 89° 58' 33" West - 350.50 feet per Brazoria County Clerk's File No. 2021037827) (called South - 350.54 feet per Volume 21, Page 189 of the Brazoria County Plat Records) with the north line of said Reserve "B" to a 1/2-inch iron rod found for the northwest corner of said Reserve "B" and for an interior corner of this tract;

THENCE, South 02° 13' 37" East - 249.99 feet (called South 00° 02' 04" East - 250.00 feet per Brazoria County Clerk's File No. 2021037827) (called South - 249.96 feet per Volume 21, Page 189 of the Brazoria County Plat Records) with the west line of said Reserve "B" with the west line of Reserve "A" (Communication Tower tract) of said Short Form Plat Communication Tower to a 5/8-inch iron rod with cap stamped "COTTON" found for the southwest corner of said Reserve "A" and for an interior corner of this tract;

THENCE, North 87° 41' 44" East - 142.02 feet (called South 89° 57' 11" East - 141.97 feet per Brazoria County Clerk's File No. 2021037827) with the east line of said Reserve "A" to a 1/2-inch iron rod with cap stamped "PINPOINT" found for an interior corner of said 20.751 acre tract, for the northwest corner of a 1.00 acre tract of land conveyed to HED Properties, LLC, as recorded in Brazoria County Clerk's File No. 20100046582, and for a northeast corner of this tract;

THENCE, South 02° 20' 54" East - 233.55 feet (called South 00° 05' 51" East - 233.72 feet per Brazoria County Clerk's File No. 2021037827) with the east line of said 20.751 acre tract, with the west line of said 1.00 acre HED Properties, LLC tract, and with the west line of a 1.00 acre tract of land conveyed to J. Angel Hernandez, et ux, as recorded in Brazoria County Clerk's File No. 2013050912 to a 1/2-inch iron rod with cap stamped "RPLS 2112" found for a southeast corner of this tract, from which a 1/2-inch iron rod with cap stamped "RPLS 2112" found in the north right-of-way line of State Highway 35 (West Mulberry Street) (width varies) for a southeast corner of said 20.751 acre tract and for the southwest corner of said Reserve "A" (Communication Tower tract) to a 5/8-inch iron rod found for the southwest corner of said Reserve "A" and for an interior corner of this tract;

THENCE, South 87° 03' 34" West - 392.00 feet (called North 89° 14' 32" West - 392.09 feet per Brazoria County Clerk's File No. 2021037827) to a 1/2-inch iron rod with cap stamped "2112" found for an interior corner of this tract;

THENCE, South 02° 10' 40" East - 178.81 feet (called South 00° 02' 09" West - 178.77 feet per Brazoria County Clerk's File No. 2021037827) to a 1/2-inch iron rod with cap stamped "RPLS 2112" found in the north right-of-way line of State Highway 35 and in the south line of said 20.751 acre tract for the southeast corner of this tract;

THENCE, South 87° 43' 31" West - 60.00 feet (called North 89° 57' 50" West - 60.00 feet per Brazoria County Clerk's File No. 2021037827) with the north right-of-way line of said State Highway 35 and with the south line of said 20.751 acre tract to a 4-inch by 4-inch concrete monument found for a southwest corner of said 20.751 acre tract and for a southwest corner of this tract;

THENCE, North 02° 46' 23" West - 7.95 feet (called North 00° 21' 33" West - 7.81 feet per Brazoria County Clerk's File No. 2021037827) with a peg in the north right-of-way line of said State Highway 35 and with a west line of said 20.751 acre tract to a 4-inch by 4-inch concrete monument found for the southeast corner of a 2.97 acre tract of land conveyed to Tiny Treasures Learning Center, Inc., as recorded in Brazoria County Clerk's File No. 2000046058 and for an angle point of this tract; from which a 1/2-inch iron rod found for a southwest corner of said 2.97 acre tract and for a southwest corner of said 20.751 acre tract bears South 88° 01' 43" West - 208.13 feet (called North 89° 36' 58" West - 208.35 feet per Brazoria County Clerk's File No. 2000046058) (called West - 208.56 feet per Volume 1090, Page 796 of the Brazoria County Deed Records);

THENCE, North 02° 10' 20" West - 402.32 feet (called North 00° 02' 44" East - 402.37 feet per Brazoria County Clerk's File No. 2021037827) (called North 0° 02' 13" East - 402.41 feet per Brazoria County Clerk's File No. 2000046058) with the east line of said 2.97 acre tract to a 1/2-inch iron rod found for the northeast corner of said 2.97 acre tract and for an interior corner of this tract;

THENCE, South 87° 44' 16" West - 391.91 feet (called North 89° 59' 36" West - 391.46 feet per Brazoria County Clerk's File No. 2021037827) (called North 89° 59' 36" West - 391.46 feet per Brazoria County Clerk's File No. 2000046058) with the north line of said 2.97 acre tract to a 1/2-inch iron rod found in the east right-of-way line of said Heritage Drive for an angle point of said 20.751 acre tract, for the northwest corner of said 2.97 acre tract, and for a southwest corner of this tract; from which a 5/8-inch iron rod found at the intersection of the east right-of-way line of said Heritage Drive with the north right-of-way line of said State Highway 35 bears South 02° 24' 15" East - 400.98 feet;

THENCE, North 30° 31' 28" West - 540.66 feet (called North 28° 17' West - 541.04 feet per Volume 1090, Page 796 of the Brazoria County Deed Records) (called North 28° 15' 19" West - 540.89 feet per Brazoria County Clerk's File No. 2021037827) with the northeast right-of-way line of said Heritage Drive and with the southwest line of said 20.751 acre tract to the POINT OF BEGINNING and containing 13.0044 acres (566,471 square feet) of land.

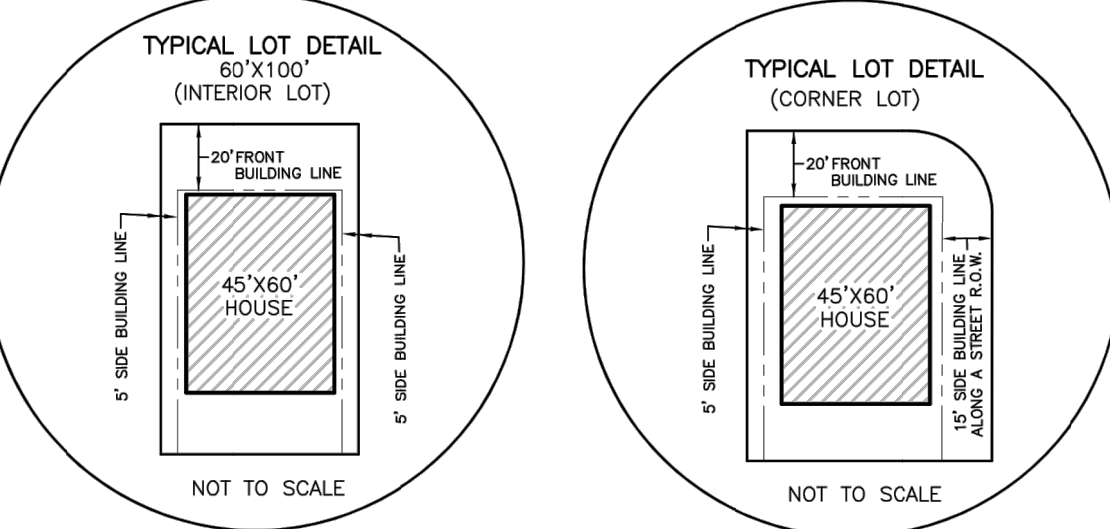
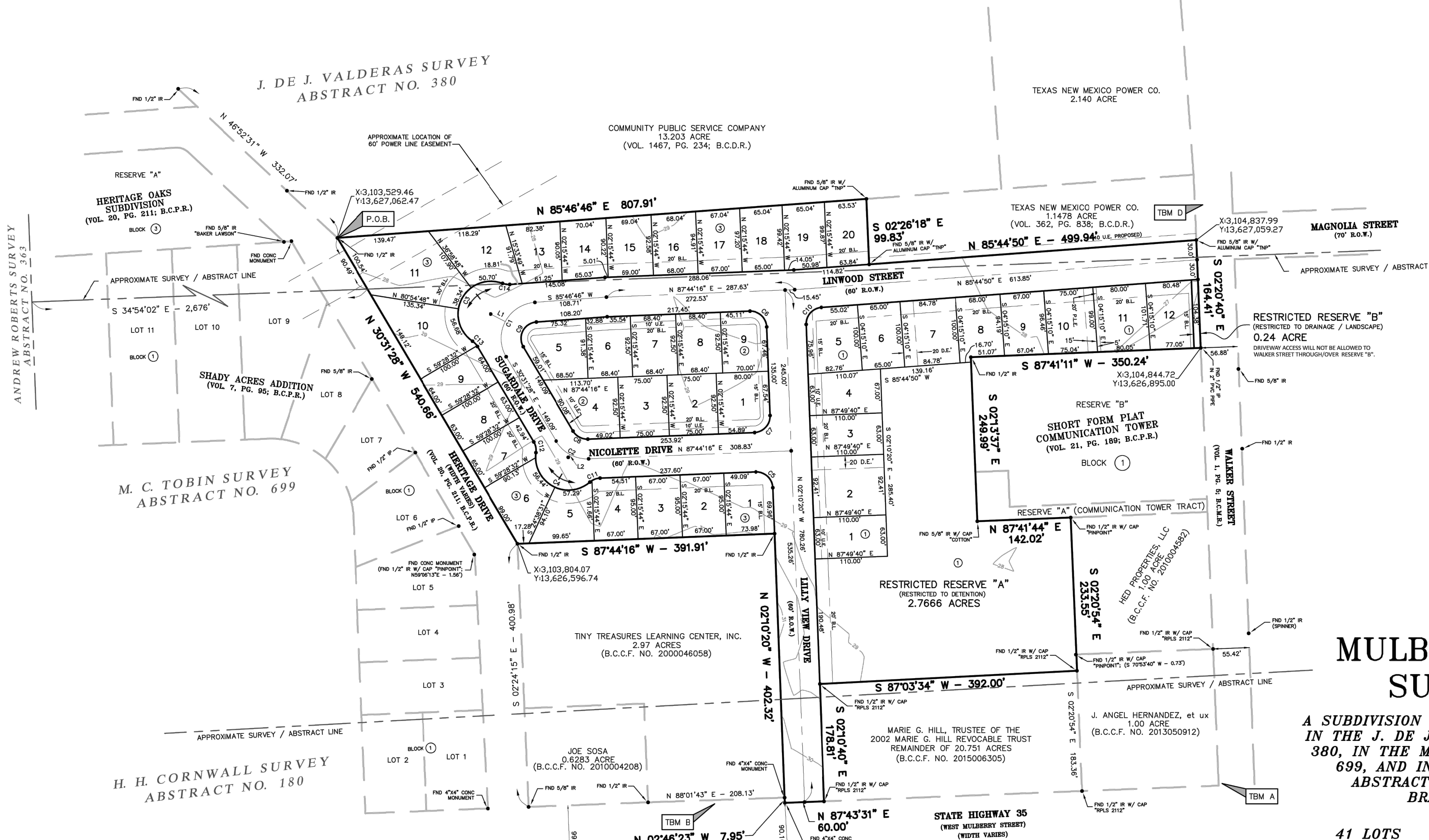


Table with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Lists curve data for C1 through C14.

- LEGEND: B.L. - BUILDING LINE, B.C.C.F. - BRAZORIA COUNTY CLERK'S FILE, B.C.P.R. - BRAZORIA COUNTY DEED RECORDS, C.M.C. - COMMUNITY PUBLIC SERVICE COMPANY, FND - FUND, IR - IRON PIPE, IR - IRON ROD, NDI - NUMBER, PG. - PAGE, P.O.B. - POINT OF BEGINNING, R.D.M. - RIGHT OF WAY, SQ. FT. - SQUARE FEET, TBM - TEMPORARY BENCHMARK, VOL. - VOLUME, W/ - WITH, 1 - BLOCK NUMBER



ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD '88, GEOID 12a)

TBM A: BOX CUT "X" ON C-INLET AT THE NORTHWEST CORNER OF THE INTERSECTION OF STATE HIGHWAY 35 (W. MULBERRY STREET) WITH WALKER STREET, AS SHOWN. ELEVATION = 26.45'

TBM B: 600 NAIL IN THE WEST SIDE OF A POWER POLE ALONG THE NORTH SIDE OF STATE HIGHWAY 35 (W. MULBERRY STREET), AS SHOWN. ELEVATION = 28.76'

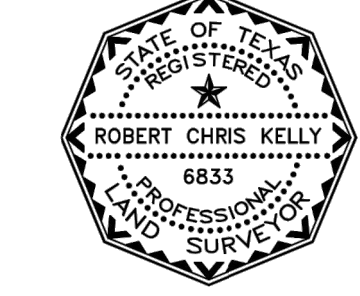
TBM D: BOX CUT ON BACK OF CURB NEAR NORTHEAST PROPERTY CORNER, AS SHOWN. ELEVATION = 27.75'

MULBERRY FIELDS SUBDIVISION
A SUBDIVISION OF A 13.0044 ACRE TRACT OF LAND IN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380, IN THE M. C. TOBIN SURVEY, ABSTRACT NO. 699, AND IN THE H. H. CORNWALL SURVEY, ABSTRACT NO. 180, CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS

41 LOTS 2 RESERVES 3 BLOCKS

~ OWNER ~
MULBERRY FIELDS, LLC
a Texas limited liability company
12618 Rolling Valley Drive
Cypress, Texas 77429
PHONE: 832.525.1833

~ SURVEYOR ~
MCKIM & CREED
ENGINEERS, SURVEYORS, PLANNERS
12718 Century Drive
Stafford, Texas 77477
281.491.2525
www.mckimcreed.com
TBPEL Firm Registration No. 10127600
Job No. 1486-3
FEBRUARY 14, 2023



LOT AREA TABLE

LOT #	AREA	LOT #	AREA
LOT 1	7011 Sq. Feet	LOT 9	6900 Sq. Feet
LOT 2	6930 Sq. Feet	LOT 10	6365 Sq. Feet
LOT 3	6930 Sq. Feet	LOT 11	6365 Sq. Feet
LOT 4	6930 Sq. Feet	LOT 12	6365 Sq. Feet
LOT 5	10165 Sq. Feet	LOT 13	7217 Sq. Feet
LOT 6	6930 Sq. Feet	LOT 14	8246 Sq. Feet
LOT 7	7150 Sq. Feet	LOT 15	6300 Sq. Feet
LOT 8	7971 Sq. Feet	LOT 16	6300 Sq. Feet
LOT 9	6500 Sq. Feet	LOT 17	6300 Sq. Feet
LOT 10	8478 Sq. Feet	LOT 18	6300 Sq. Feet
LOT 11	6459 Sq. Feet	LOT 19	6490 Sq. Feet
LOT 12	6387 Sq. Feet	LOT 20	6356 Sq. Feet
LOT 13	7330 Sq. Feet		
LOT 14	8029 Sq. Feet		
LOT 15	7072 Sq. Feet		
LOT 16	7260 Sq. Feet		
LOT 17	6938 Sq. Feet		
LOT 18	6938 Sq. Feet		
LOT 19	8180 Sq. Feet		
LOT 20	7899 Sq. Feet		
LOT 21	6309 Sq. Feet		
LOT 22	6327 Sq. Feet		
LOT 23	6327 Sq. Feet		
LOT 24	6347 Sq. Feet		

MULBERRY FIELDS SUBDIVISION
N WALKER STREET & W MULBERRY STREET
ANGLETON, TEXAS 77615

ADICO, LLC
TBPE FIRM NO. F-16423

NO. DATE REVISION

1	01-19-23	REVISION 1
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PROJECT OWNER:
MULBERRY FIELDS

PROJECT LOCATION:
MULBERRY FIELDS SUBDIVISION

PLAT

ALLC PROJECT NO. 21015-01 SHEET NO.

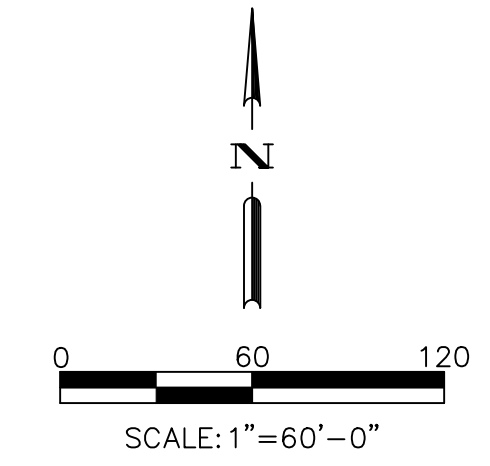
DRAWN BY: MG
CHECKED BY: SM
DRAWING SCALE:
HORIZ: NA
VERT: NA
DATE PLOTTED:
Feb 21, 2023 - 9:29am

2 OF 37

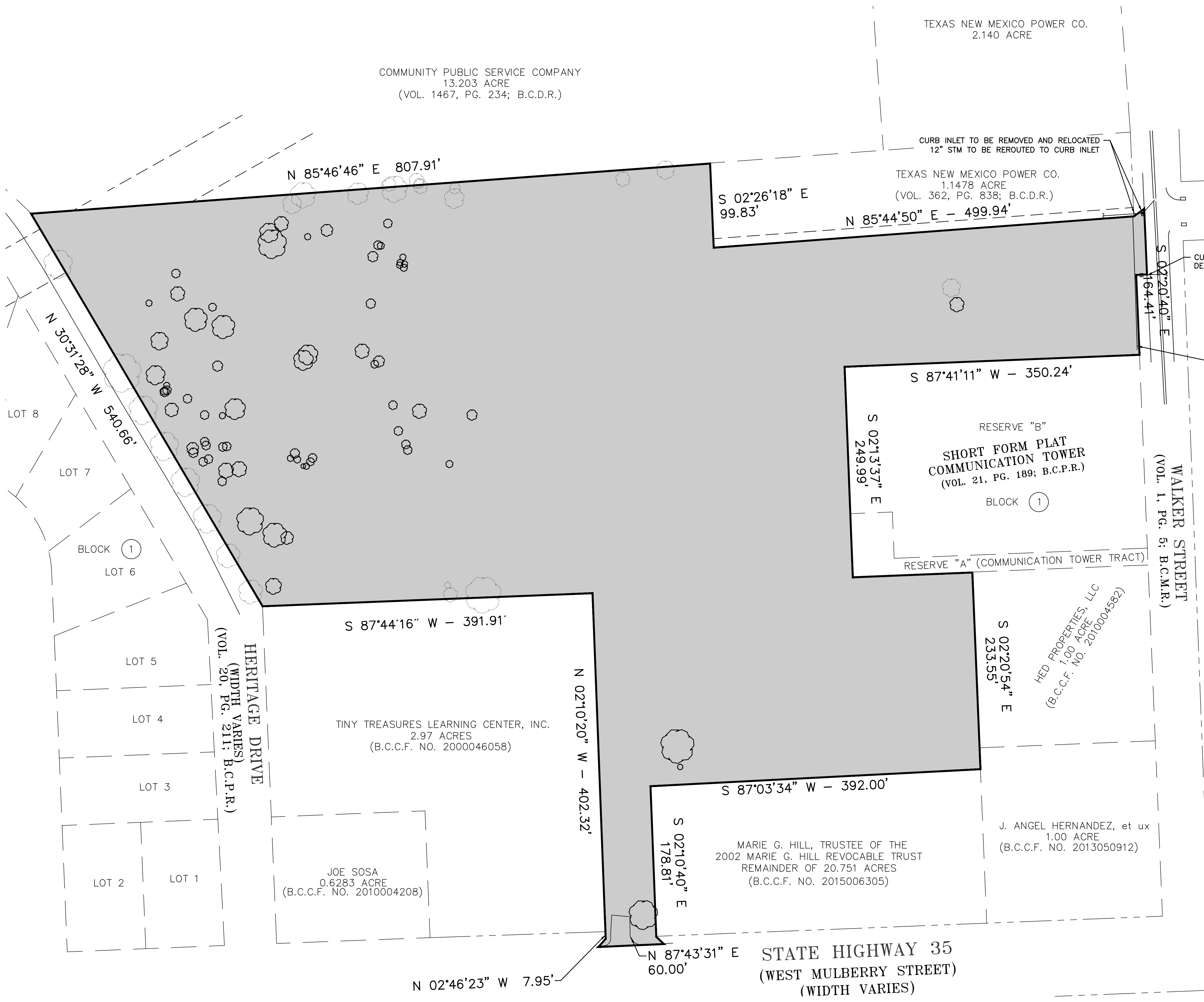
CIVIL ENGINEER:
ADICO
 CONSULTING ENGINEERS
 2114 EL DORADO BLVD, STE. 400, FRIENDSWOOD, TX 77546
 PHONE: 832-895-1093 WWW.ADICO-LLC.COM
 TBPE FIRM NO. 16423

BENCHMARK:
 PROJECT IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83) USING NGS CONTINUOUSLY OPERATING REFERENCE STATIONS.
 ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD '88, GEOD 12a)

FLOODPLAIN:
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-0440K EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



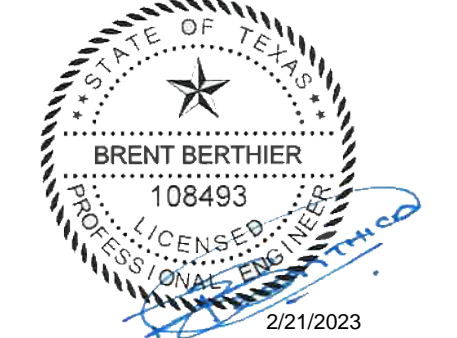
- LEGEND:**
- CLEARING & GRUBBING AREA 13.00 ACRES
 - CLEARING & GRUBBING LIMITS
 - TREE TO BE CLEARED
 - TREE TO REMAIN IN PLACE



MULBERRY FIELDS SUBDIVISION

N WALKER STREET &
 W MULBERRY STREET
 ANGLETON, TEXAS 77515

ADICO, LLC
 TBPE FIRM NO. F-16423



NO.	DATE	REVISION

PROJECT OWNER:
 MULBERRY FIELDS

PROJECT LOCATION:
 MULBERRY FIELDS SUBDIVISION

CLEARING PLAN

ALLC PROJECT NO. 21015-01	SHEET NO.
DRAWN BY: MG	5 OF 37
CHECKED BY: SM	
DRAWING SCALE:	1" = 60'
HORZ: NA	
VERT: NA	
DATE PLOTTED:	Feb 21, 2023 - 9:29am

C:\Users\michael\Adico\Dropbox\ADICO\PROJECTS\21015-01 CE Mulberry Subdivision\6 - Drawings\Revised Pond Drawings\5 CLEARING PLAN.dwg Feb 21, 2023 - 9:29am sMichael



MULBERRY FIELDS



INTRODUCTION

DEVELOPMENT OF TEXAS

Development of Texas is a real estate company that specializes in acquisition and investment solutions that add value and vision to communities in Texas.

We are committed to discovering and realizing new opportunities in demanded areas while creating functional and desirable developments.

PROJECT SUMMARY

MULBERRY FIELDS

CURRENT APPROVED DEVELOPMENT

Item 6.



ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD 88, SEGD 12x)

TIM A:
BOX CUT "X" ON D-INLET AT THE NORTHWEST CORNER OF THE INTERSECTION OF STATE HIGHWAY 35 (W. MULBERRY STREET) WITH WALKER STREET, AS SHOWN. ELEVATION = 26.40'

TIM B:
500 NAIL IN THE WEST SIDE OF A POWER POLE ALONG THE NORTH SIDE STATE HIGHWAY 35 (W. MULBERRY STREET), AS SHOWN. ELEVATION = 28.70'

TIM D:
ROCK CUT ON BACK OF CURB NEAR NORTHEAST PROPERTY CORNER, AS SHOWN. ELEVATION = 27.75'

FINAL PLAT OF MULBERRY FIELDS SUBDIVISION

A SUBDIVISION OF A 13.0044 ACRE TRACT OF LAND IN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380, IN THE M. C. TOBIN SURVEY, ABSTRACT NO. 699, AND IN THE H. H. CORNWALL SURVEY, ABSTRACT NO. 180, CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS

41 LOTS 2 RESERVES 3 BLOCKS

~ OWNER ~
MULBERRY FIELDS, LLC
a Texas limited liability company
10010 Dallas Valley Drive

References

WHAT WE ARE PROPOSING

Current Approved Plan

Zoned SF 6.3

41 Single Family Homesites

Why Change?

Economic Feasibility has shifted due to
Cost of Construction
Interest Rates
Insurance Rates

Proposed SFA Plan

Re-Zoned SFA

Approx. 82 Single Family Attached Homesites

No additional Water, Traffic or Density
Concerns



SFA SITE PLAN CONCEPT

Item 6.



WHAT IS SFA?

Sec. 28-50. - SFA—Single-family attached residential district (Townhomes).



- ✓ (a) *General purpose and description:* The SFA—Single-Family Attached Residential, district is intended to promote stable, quality, attached-occupancy residential development on individual lots at higher residential densities. Individual ownership of each lot and dwelling unit is encouraged. This district may be included within certain areas of neighborhoods or, when in accordance with the intent of the comprehensive plan, may provide a "buffer" or transition district between lower density residential areas and multifamily or nonresidential areas or major thoroughfares. Areas zoned for the SFA district shall have, or shall make provision for, City of Angleton water and sewer services. They shall be designed to adequately accommodate storm drainage; they shall have paved streets with logical and efficient vehicular circulation patterns which discourage non-local traffic; they shall be properly buffered from nonresidential uses; and they shall be protected from pollution and undesirable environmental and noise impacts.
- ✓ (c) *Height regulations:*
 - (1) *Maximum height:*
 - a. Two and one-half stories, and not to exceed 35 feet, for the main building or house.
 - b. One story for other accessory buildings, including detached garage, carports, garden shed, gazebo, clubhouse, mail kiosks, etc.
 - c. Other requirements (see [section 28-106](#)).
- ✓ (d) *Area regulations:*
 - (1) *Size of lots:*
 - a. *Minimum lot area:* 2,500 square feet.
 - b. *Maximum density:* Ten units per gross acre of land area within the development.
 - c. *Maximum project size:* The maximum size of a single-family attached residential development shall be 25 acres.
 - d. *Minimum lot width:* 20 feet.
 - e. *Minimum lot depth:* 100 feet.



WHAT IS SFA?

- ✓ (2) *Size of yards:*
 - a. *Minimum front yard:* 15 feet; front yard setbacks shall be staggered in at least four-foot increments such that no more than two units have the same front setback in a row; no front-entry garages permitted unless the garage door or carport access opening is set back at least 20 feet from the property line (i.e., the right-of-way or street easement line).
 - b. *Minimum side yard:*
 - 1. Single-family attached dwellings shall not have an interior side yard; however, a minimum ten-foot side yard is required for a corner lot adjacent to a residential street or alley that only serves lots within the SFA subdivision, a minimum 15-foot side yard is required for a corner lot adjacent to a residential or collector street serving lots outside the SFA subdivision, a minimum 20-foot side yard is required for a corner lot adjacent to an arterial street. The ends of any two adjacent building complexes or rows of buildings shall be at least 15 feet apart.
 - 2. A complex or continuous row of attached single-family dwellings shall have a minimum length of four dwelling units (quadriplex), a maximum length of eight dwelling units.
 - c. *Minimum rear yard:* 15 feet for the main building and any accessory building(s); 20 feet for rear entry garage.
- ✓ (3) *Maximum lot coverage:* 70 percent by main and accessory buildings on each individual lot.
- ✓ (4) *Parking regulations:*
 - a. A minimum of two parking spaces for each dwelling unit, located in front, behind, beside or incorporated into the dwelling unit and located on the same lot as each dwelling unit (see [section 28-101](#), off-street parking and loading requirements).
 - b. Designated visitor parking spaces shall be provided in off-street, common areas at a ratio of one guest/visitor space per four units. SFA developments that include a two-car garage or carport and driveway area equivalent to two additional parking spaces on each lot are not required to provide visitor parking spaces.
 - c. Additional parking shall be required for any recreational uses, clubhouse, office, sales offices and other similar accessory structures and uses.
- ✓ (5) *Minimum floor area per dwelling unit:* 800 square feet of air-conditioned floor area.
- ✓ (6) *Minimum exterior construction standards:* See [section 28-105](#).



WHY SFA FOR MULBERRY FIELDS

Item 6.

Surrounded
By
Commercial

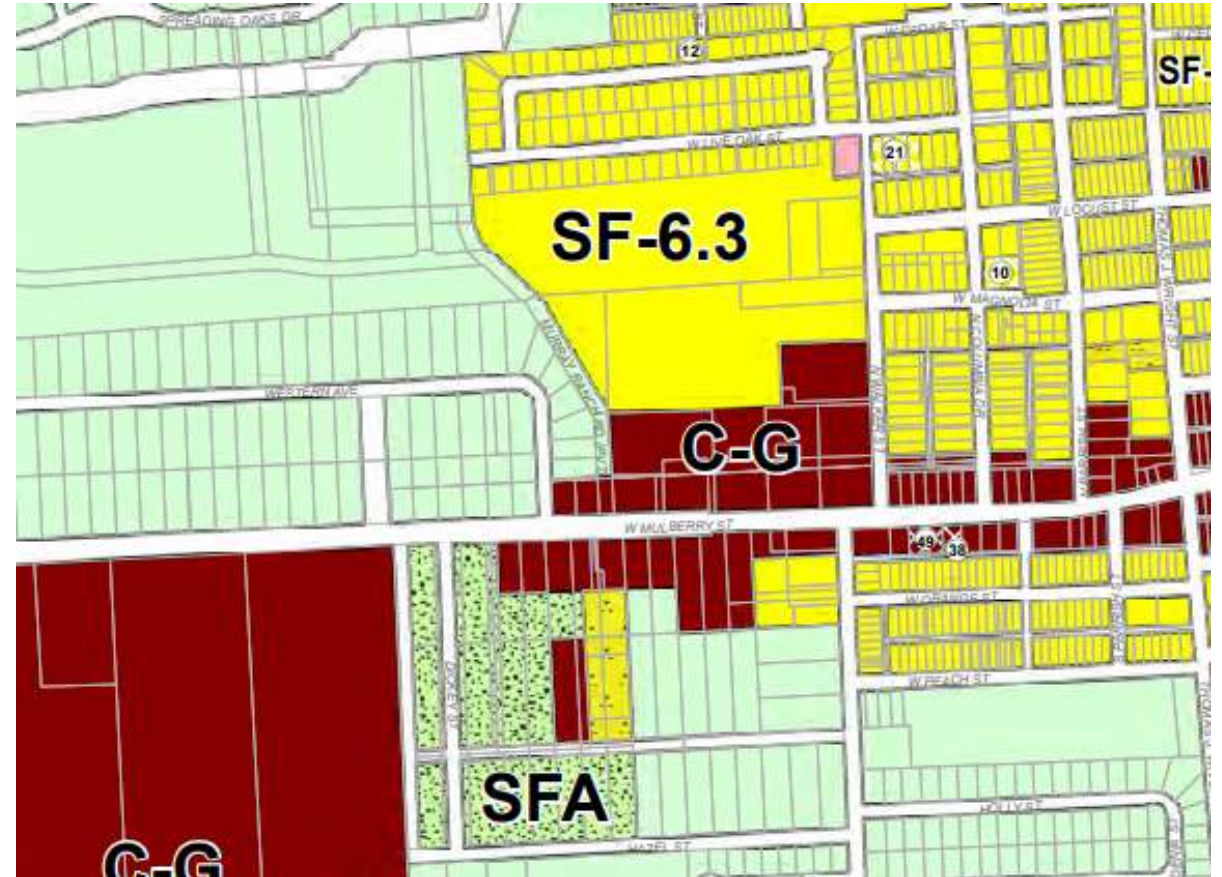
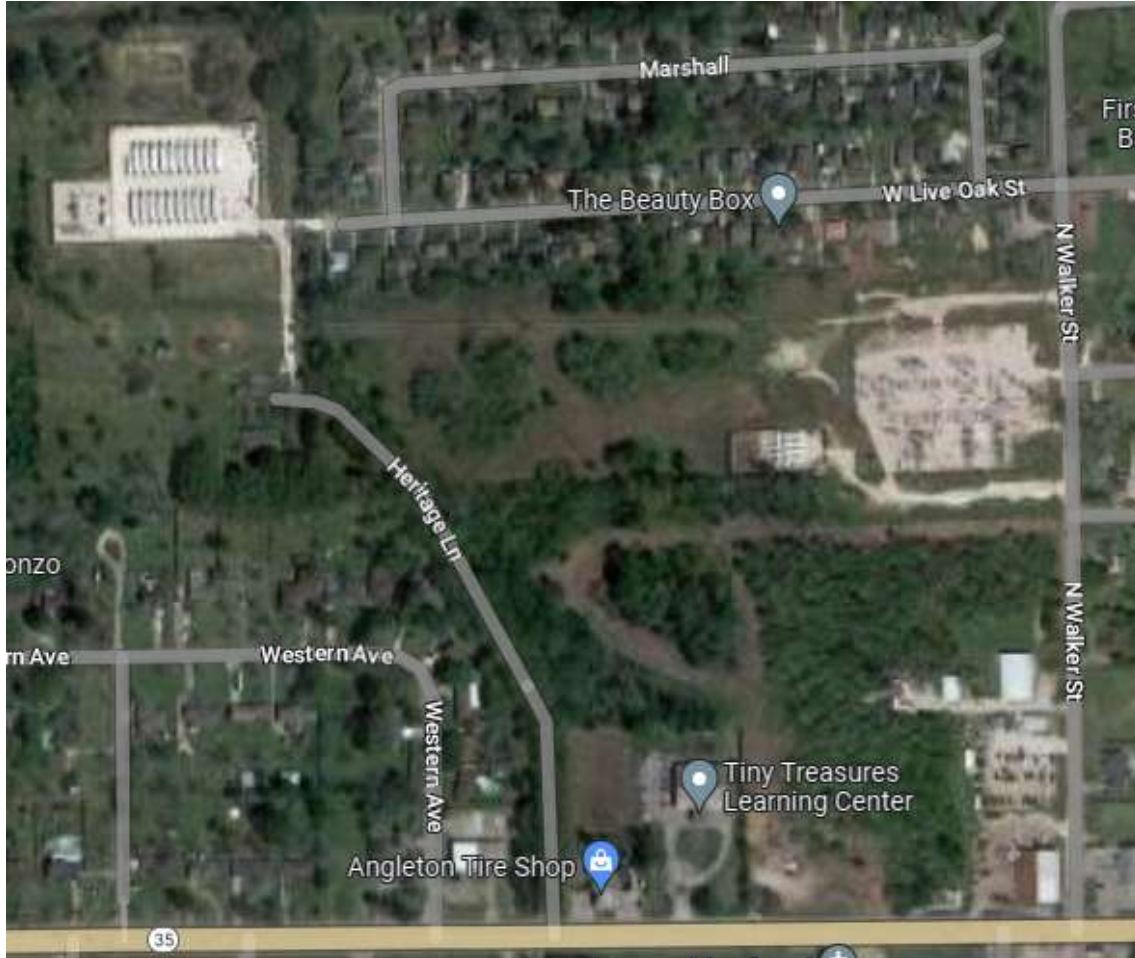


Option that
best aligns
with City
Needs

High Quality
Affordable
Housing
Option

SURROUNDED BY COMMERCIAL

Item 6.



NEED FOR AFFORDABLE HOUSING

Item 6.



Median household can afford a home mortgage of \$236,865
(Per Wells Fargo Loan Assumptions)

Anticipated Sales Price
\$200,000-\$220,000



HIGH QUALITY AFFORDABLE HOUSING





OTHER POSSIBLE OPTIONS

Item 6.



MULTIFAMILY



COMMERCIAL USE

QUESTIONS?



CONTACT US



Corey Boyer



+1 (832) 525-1633



corey@developmentoftexas.com

www.developmentoftexas.com



A New Duplex for BHGE - Corey Boyer
1118 - 5th Avenue North
Texas City, Texas

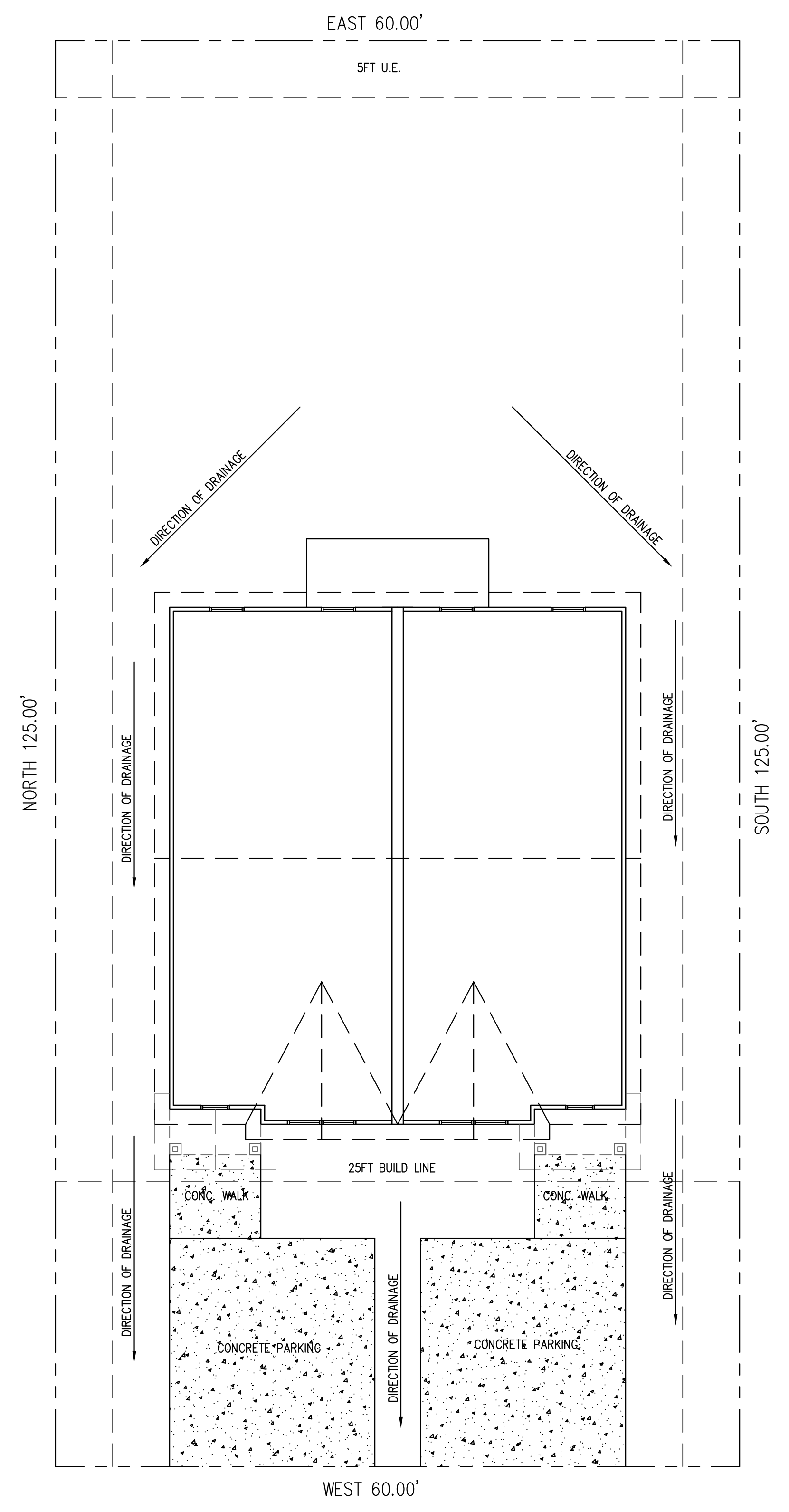
COREY BOYER
832-525-1633
corey@bhgcllc.com



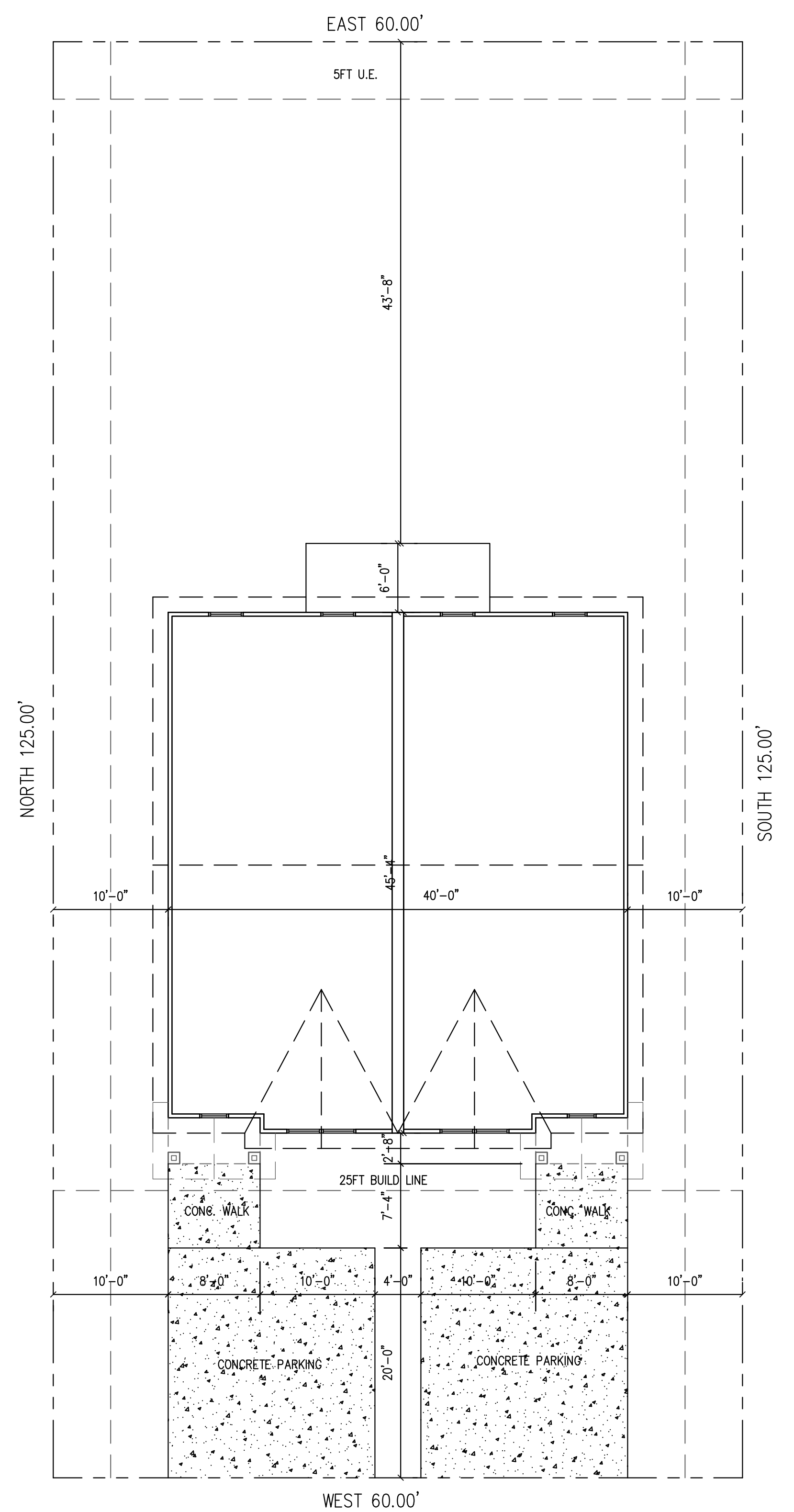
GENERAL NOTE:
ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH IRC 2018
AND ALL REGULATIONS FOR THE CITY OF TEXAS CITY, TEXAS.

LEGAL DESCRIPTION:
LOT 31, BLOCK 2, OF CHELSEA MANOR, AS SUBDIVISION IN GALVESTON
COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
IN PLAT RECORD 3, MAP NUMBER 49, OF THE MAP/PLAT RECORDS OF
GALVESTON COUNTY, TEXAS.

SQUARE FOOTAGE (PER UNIT)	
LEVEL 1:	
LIVING AREA (AC SPACE)	= 578 SQFT
GARAGE	= 242 SQFT
FRONT PORCH	= 30 SQFT
REAR PATIO	= 48 SQFT
LEVEL 2:	
LIVING AREA (AC SPACE)	= 866 SQFT



2 DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



1 SITE PLAN
SCALE: 1/8" = 1'-0"

SITE NOTES:
CONTRACTOR SHALL SET FINISH FLOOR OF HOUSE AT NO LESS THAN 12" ABOVE
THE NEAREST SANITARY SEWER MANHOLE RIM.
IF MANHOLE DOES NOT EXIST THE FINISH FLOOR SHALL NOT BE LESS
THAN 4 INCHES ABOVE CROWN OF THE STREET.

A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

REVISIONS:

SHEET NO.

A0.0



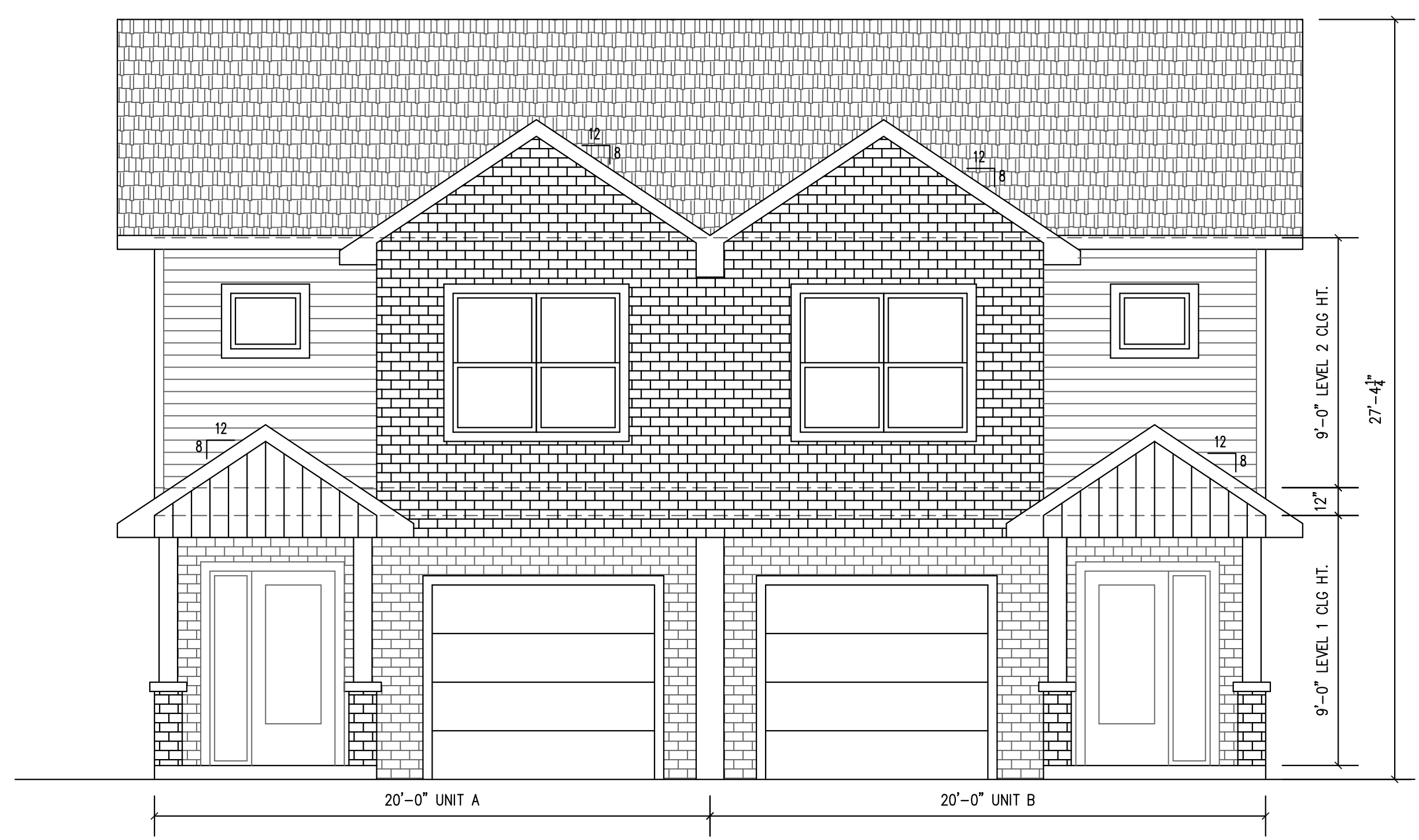
A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

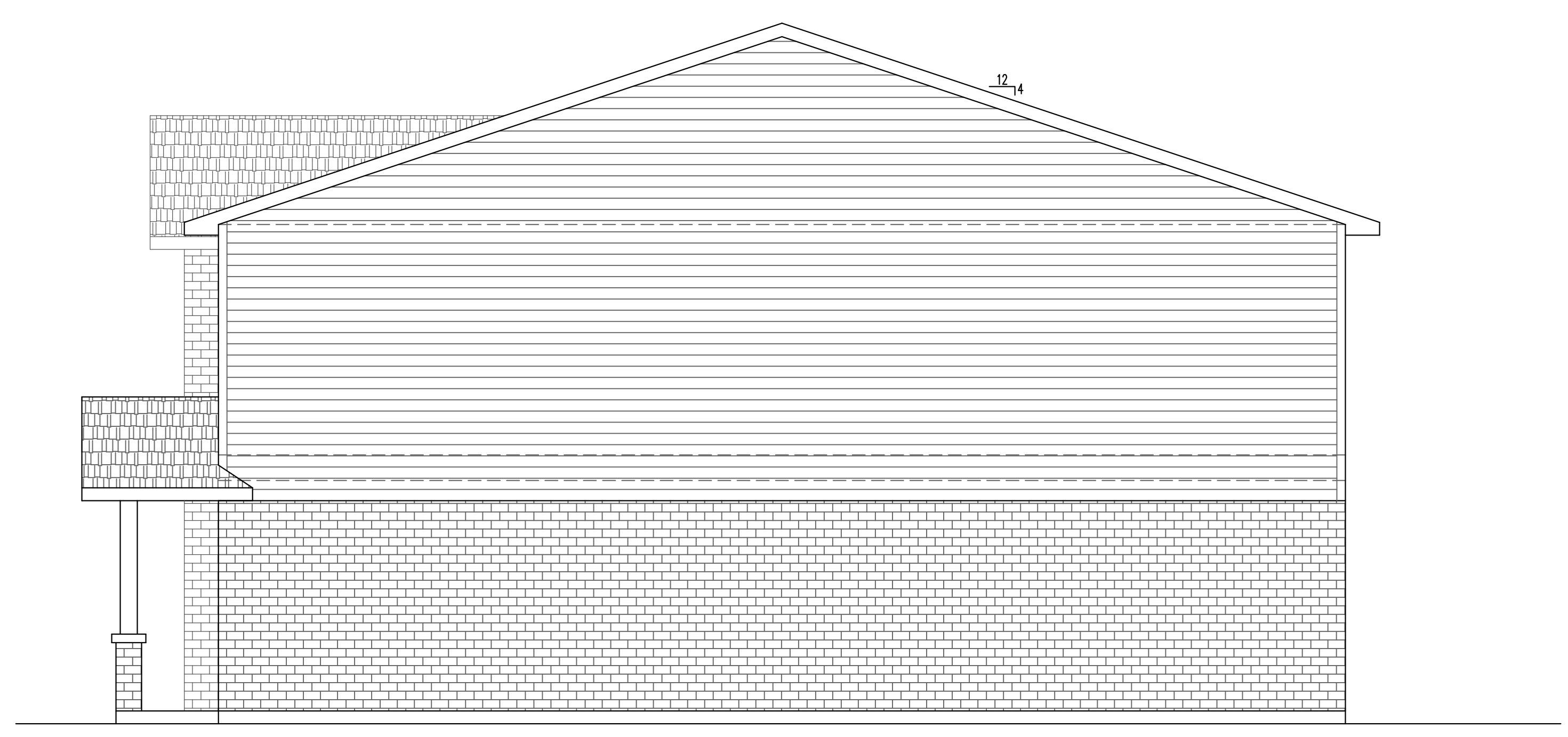
REVISIONS:

SHEET NO.

A1.0



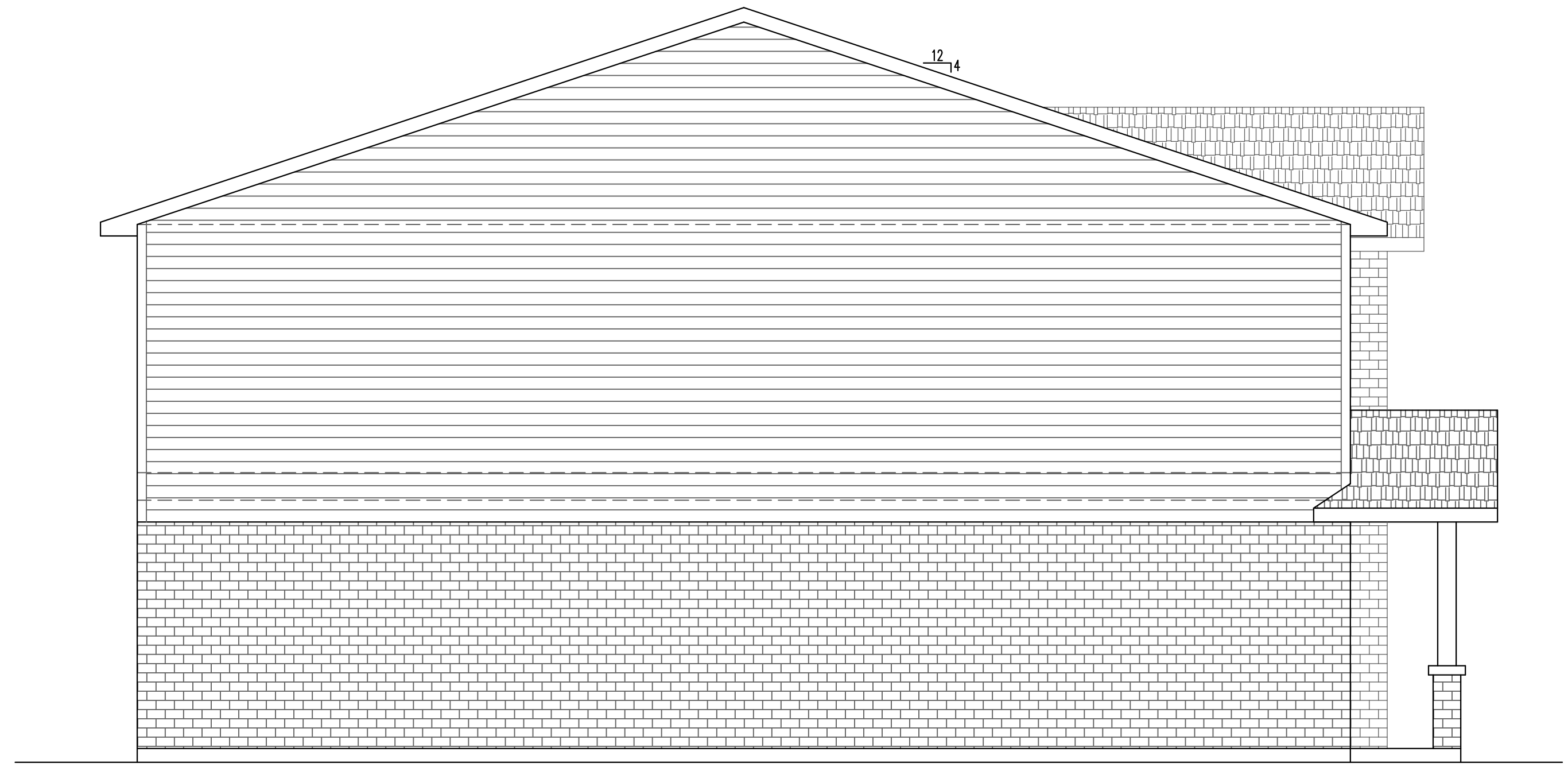
1 EXTERIOR ELEVATION - FRONT VIEW
SCALE: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - RIGHT SIDE VIEW
SCALE: 3/8" = 1'-0"



3 EXTERIOR ELEVATION - REAR VIEW
SCALE: 3/8" = 1'-0"



4 EXTERIOR ELEVATION - LEFT SIDE VIEW
SCALE: 3/8" = 1'-0"



A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

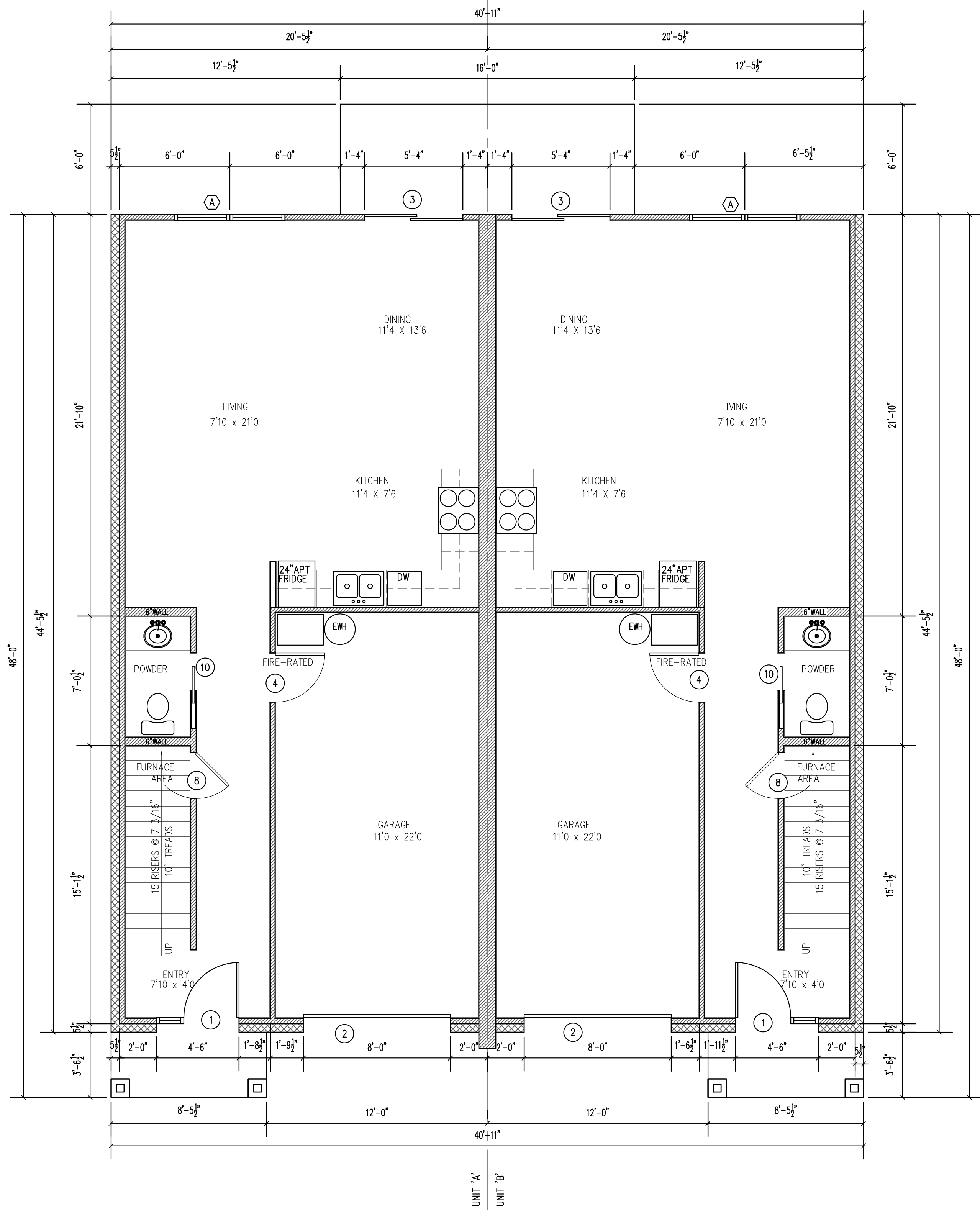
REVISIONS:

SHEET NO.

A2.0

ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO FACE OF STUD

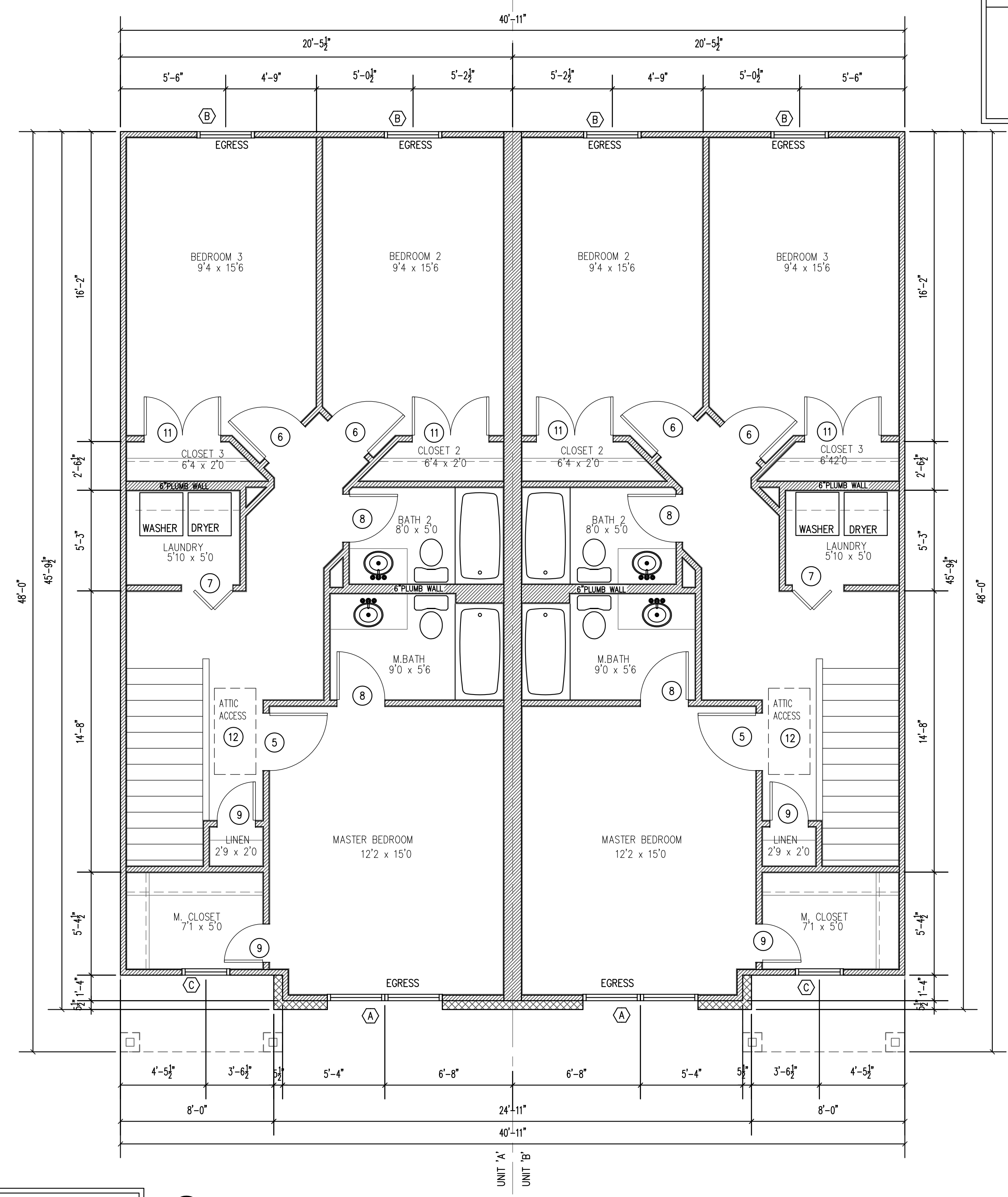
SQUARE FOOTAGE (PER UNIT)
LEVEL 1:
LIVING AREA (AC SPACE) = 578 SQFT
GARAGE = 242 SQFT
FRONT PORCH = 30 SQFT
REAR PATIO = 48 SQFT
LEVEL 2:
LIVING AREA (AC SPACE) = 866 SQFT



1 PROPOSED FLOOR PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE - PER UNIT
ALL DOOR STYLE, BRAND AND COLOR TO BE SELECTED BY OWNER; APPROVED BY ENGINEER

MARK	DESCRIPTION	QTY
①	3'-0"W x 7'-0"H EXTERIOR DOOR w/GLAZING AND 1'-6"W x 7'-0"H SIDE LIGHT WINDOW	1
②	8'-0"W x 7'-0" GARAGE DOOR	1
③	5'-4"W x 7'-0"H EXTERIOR GLASS SLIDING PATIO DOOR	1
④	2'-8"W x 6'-8"H S.C. FIRE-RATED DOOR	1
⑤	3'-0"W x 6'-8"H INTERIOR DOOR	1
⑥	2'-8"W x 6'-8"H INTERIOR DOOR	2
⑦	2'-8"W x 6'-8"H INTERIOR BI-FOLD DOOR	1
⑧	2'-6"W x 6'-8"H INTERIOR DOOR	3
⑨	2'-0"W x 6'-8"H INTERIOR DOOR	2
⑩	2'-0"W x 6'-8"H INTERIOR POCKET DOOR	1
⑪	(2) 2'-0"W x 6'-8"H INTERIOR DOOR	2
⑫	ATTIC ACCESS WITH PULL-DOWN LADDER	1



2 PROPOSED FLOOR PLAN - LEVEL 21
SCALE: 1/4" = 1'-0"

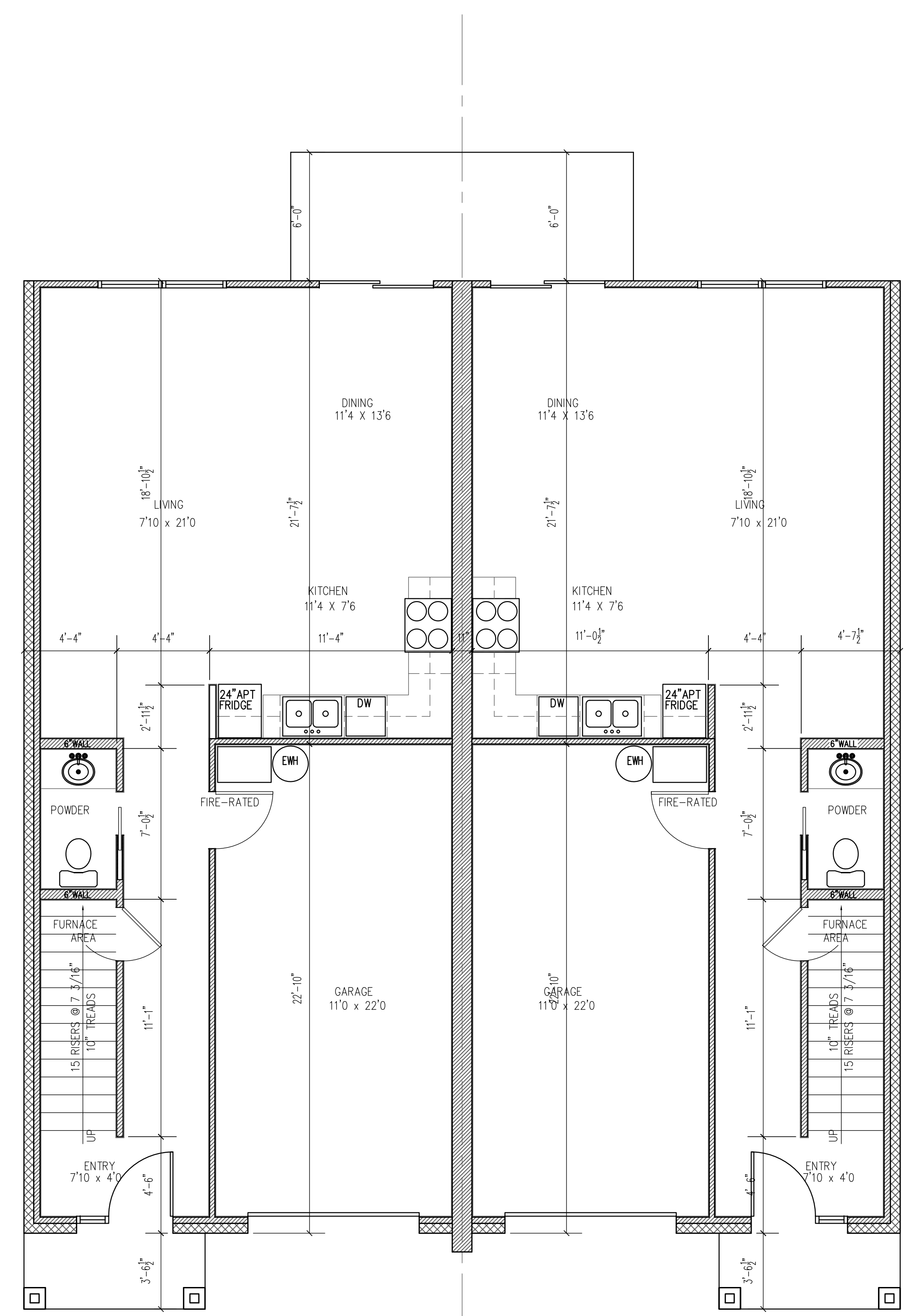
WINDOW SCHEDULE - PER UNIT
ALL WINDOW STYLE, BRAND AND COLOR TO BE SELECTED BY OWNER; APPROVED BY ENGINEER

MARK	DESCRIPTION	QTY
Ⓐ	(2) 3'-0"W x 5'-0"H SINGLE HUNG WINDOW SILL = 2'-0" AFF	2
Ⓑ	3'-0"W x 5'-0"H SINGLE HUNG WINDOW SILL = 2'-0" AFF	2
Ⓒ	2'-6"W x 2'-0"H FIXED WINDOW SILL = 5'-0" AFF	1

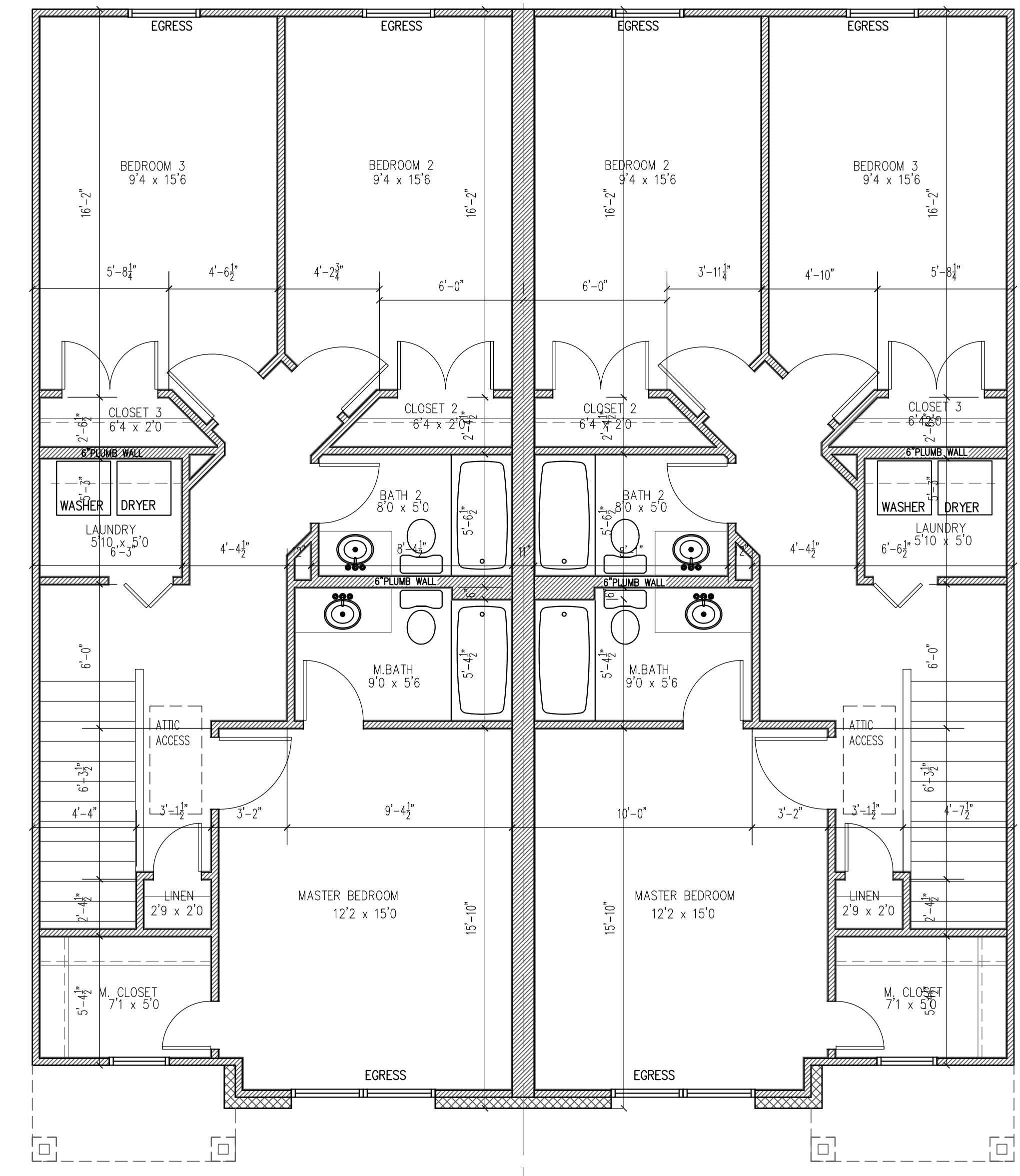
ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO FACE OF STUD

SQUARE FOOTAGE (PER UNIT)	
LEVEL 1:	
LIVING AREA (AC SPACE)	= 578 SQFT
GARAGE	= 242 SQFT
FRONT PORCH	= 30 SQFT
REAR PATIO	= 48 SQFT
LEVEL 2:	
LIVING AREA (AC SPACE)	= 866 SQFT

COREY BOYER
832-525-1633
corey@bhgcllc.com



3 PROPOSED FLOOR PLAN w/INTERIOR DIMENSIONS
SCALE: 1/4" = 1'-0" LEVEL 1



4 PROPOSED FLOOR PLAN w/INTERIOR DIMENSIONS
SCALE: 1/4" = 1'-0" LEVEL 2

A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

REVISIONS:

SHEET NO.

A2.1



A New Duplex for BHGC - Corey Boyer

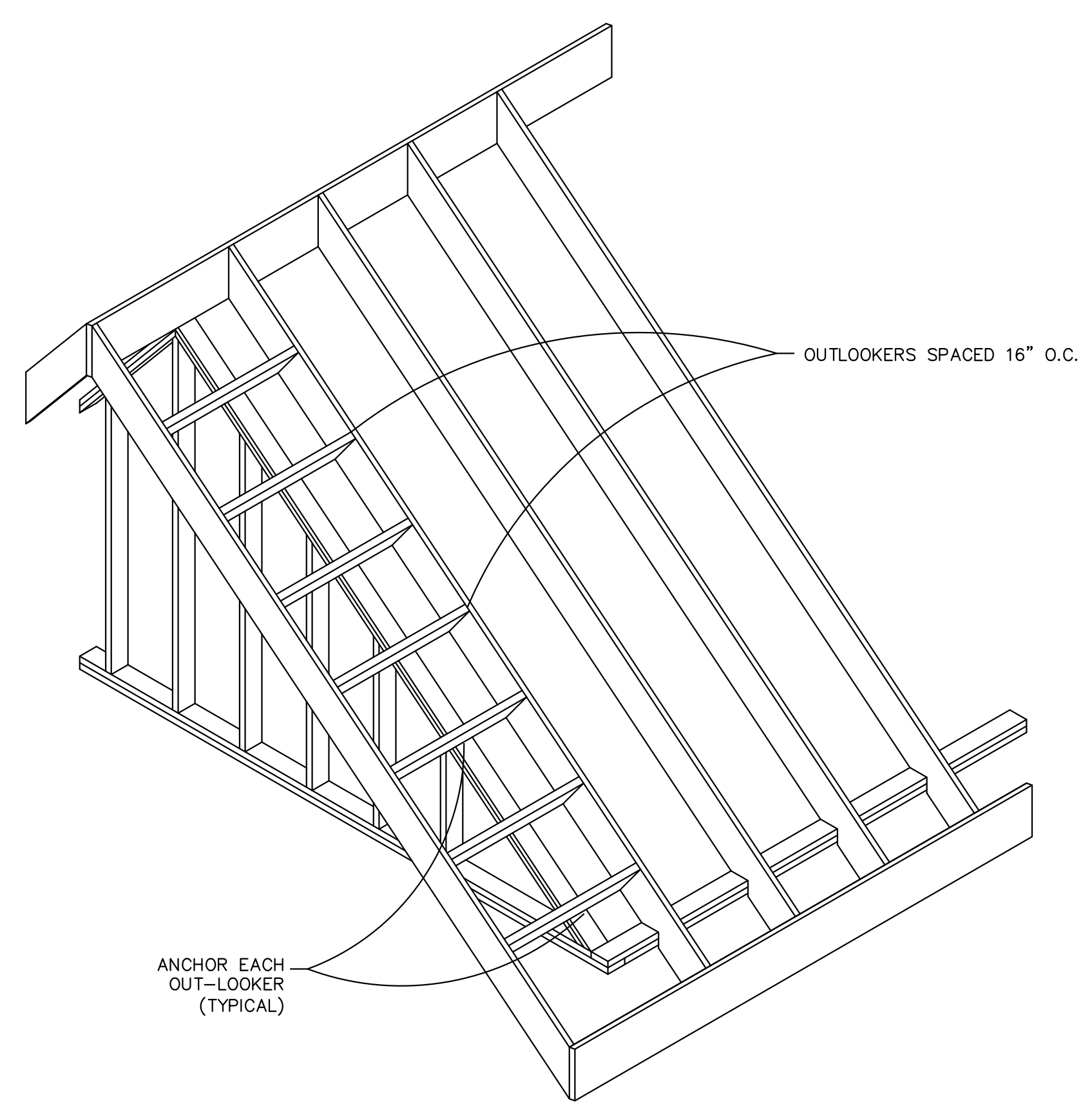
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

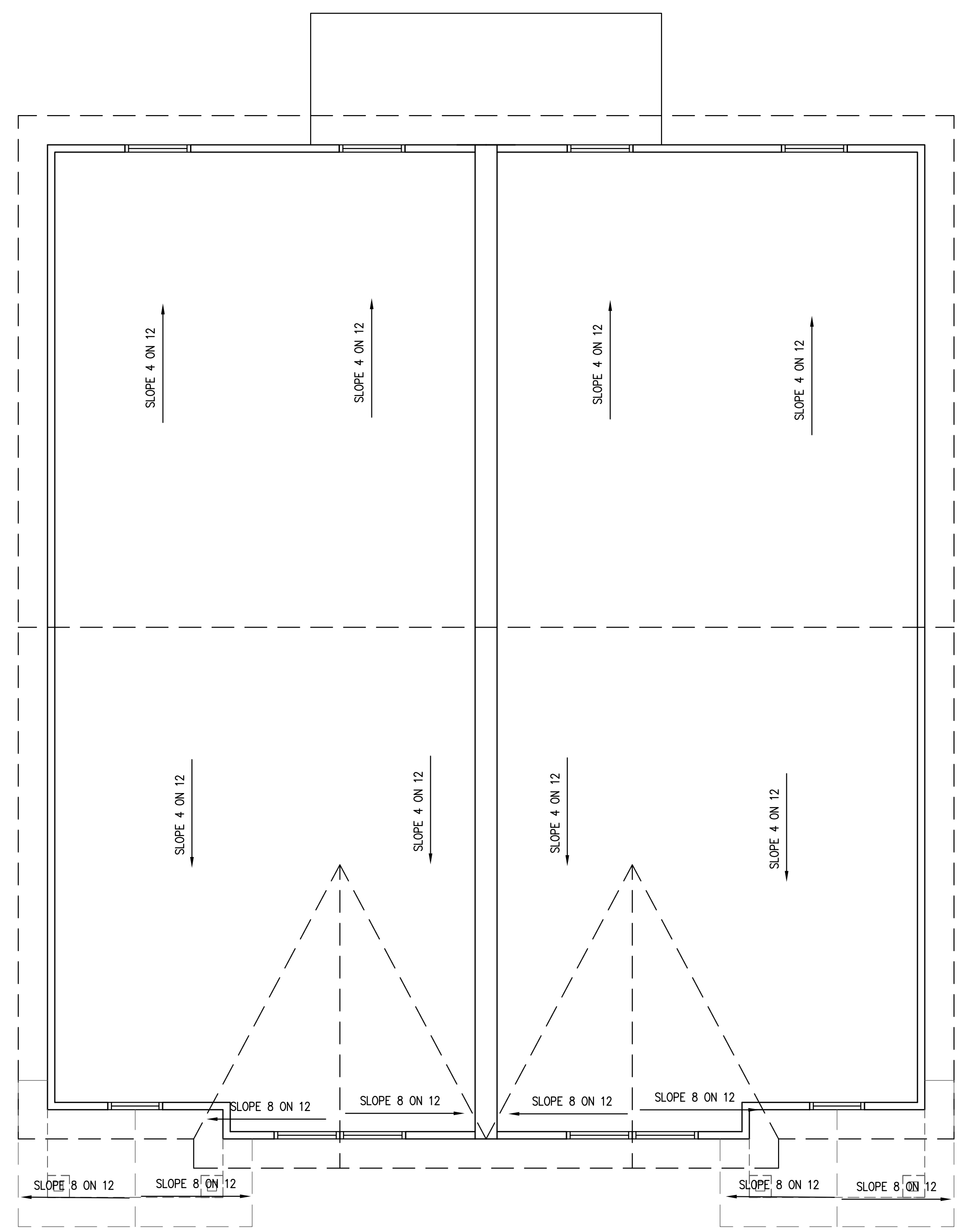
REVISIONS:

SHEET NO.

A3.0



TYPICAL GABLE ROOF
NTS
NOTE: ALL STUDS, JOISTS & RAFTERS
16" O.C. UNLESS OTHERWISE NOTED
CEILING JOISTS NOT SHOWN
RAFTERS 2 X 6



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



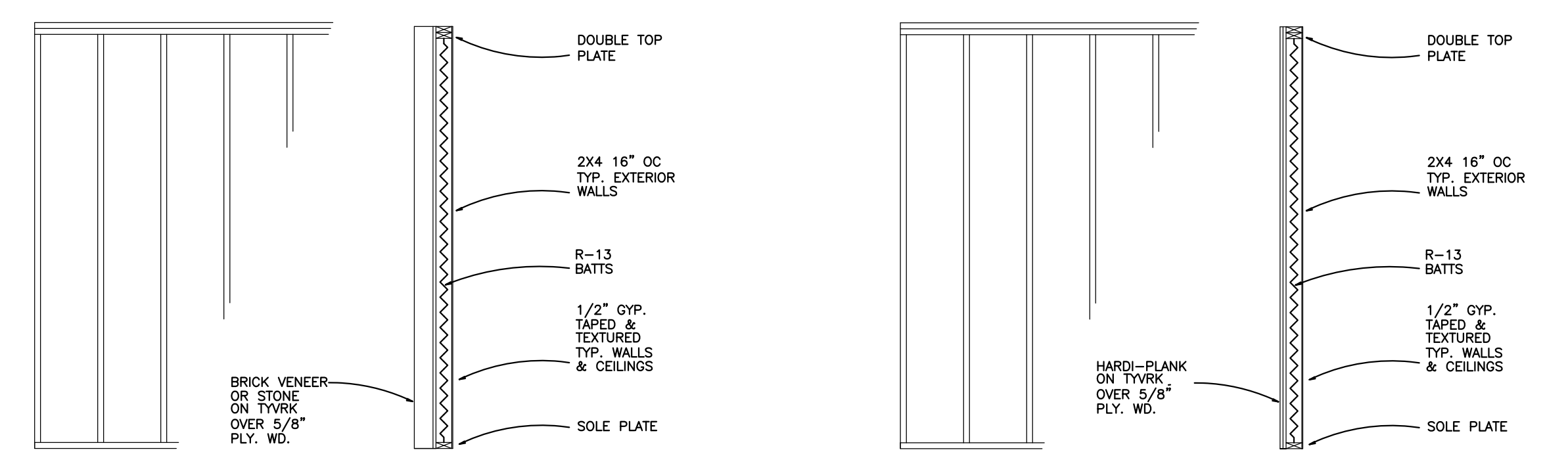
A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

REVISIONS:

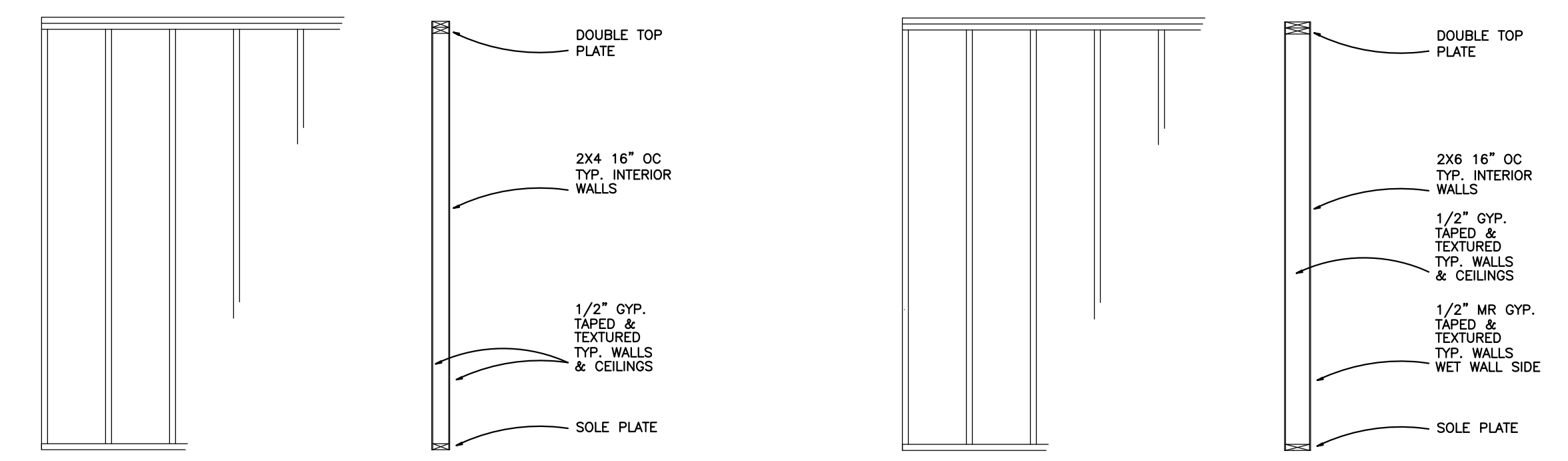
SHEET NO.

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NOTE: 5 1/2" BRICK LEDGE IS PROVIDED FOR THIS BRICK OR STONE VENEER
EXTERIOR WALL SECTION WITH BRICK OR STONE VENEER

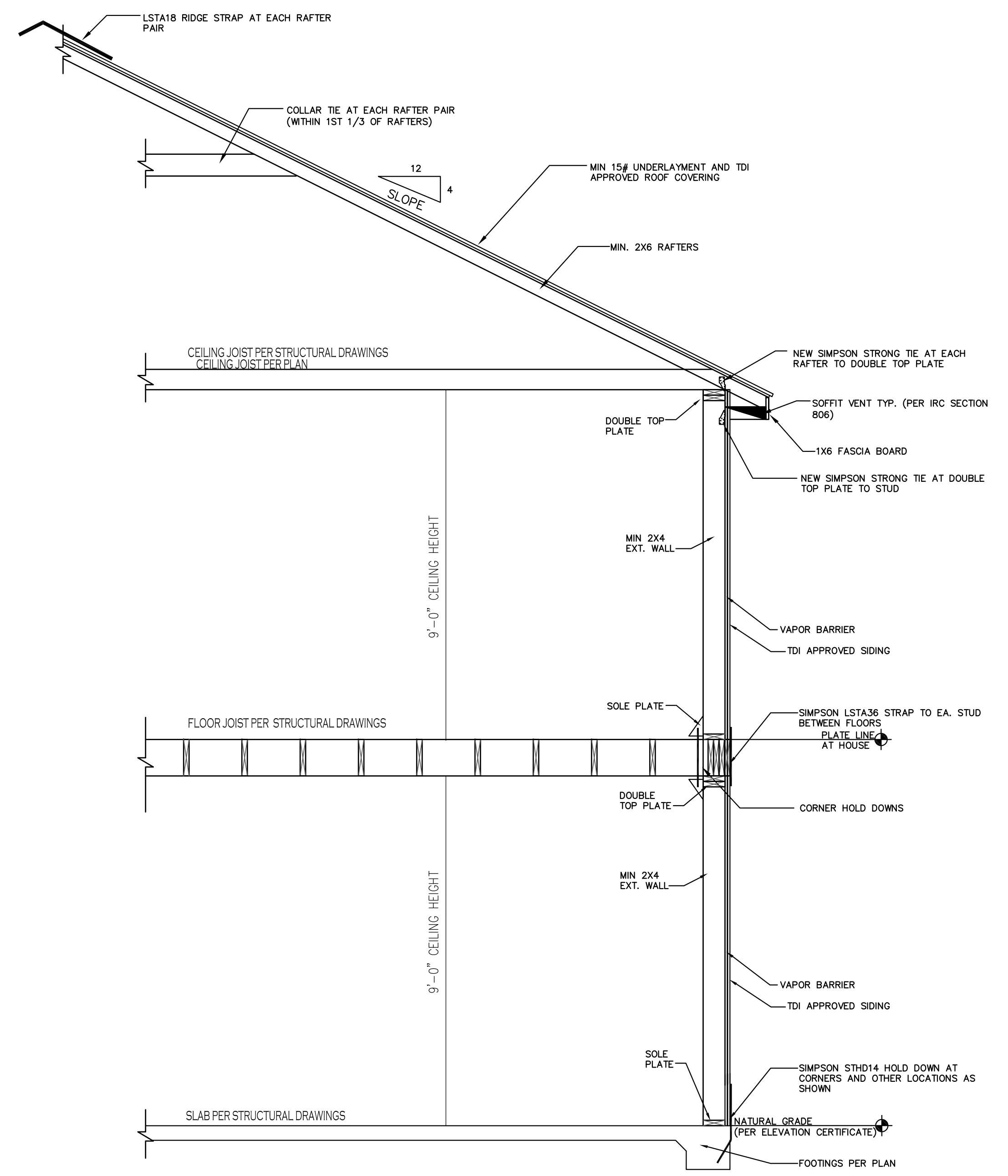
EXTERIOR WALL SECTION WITH HARDIE SIDING



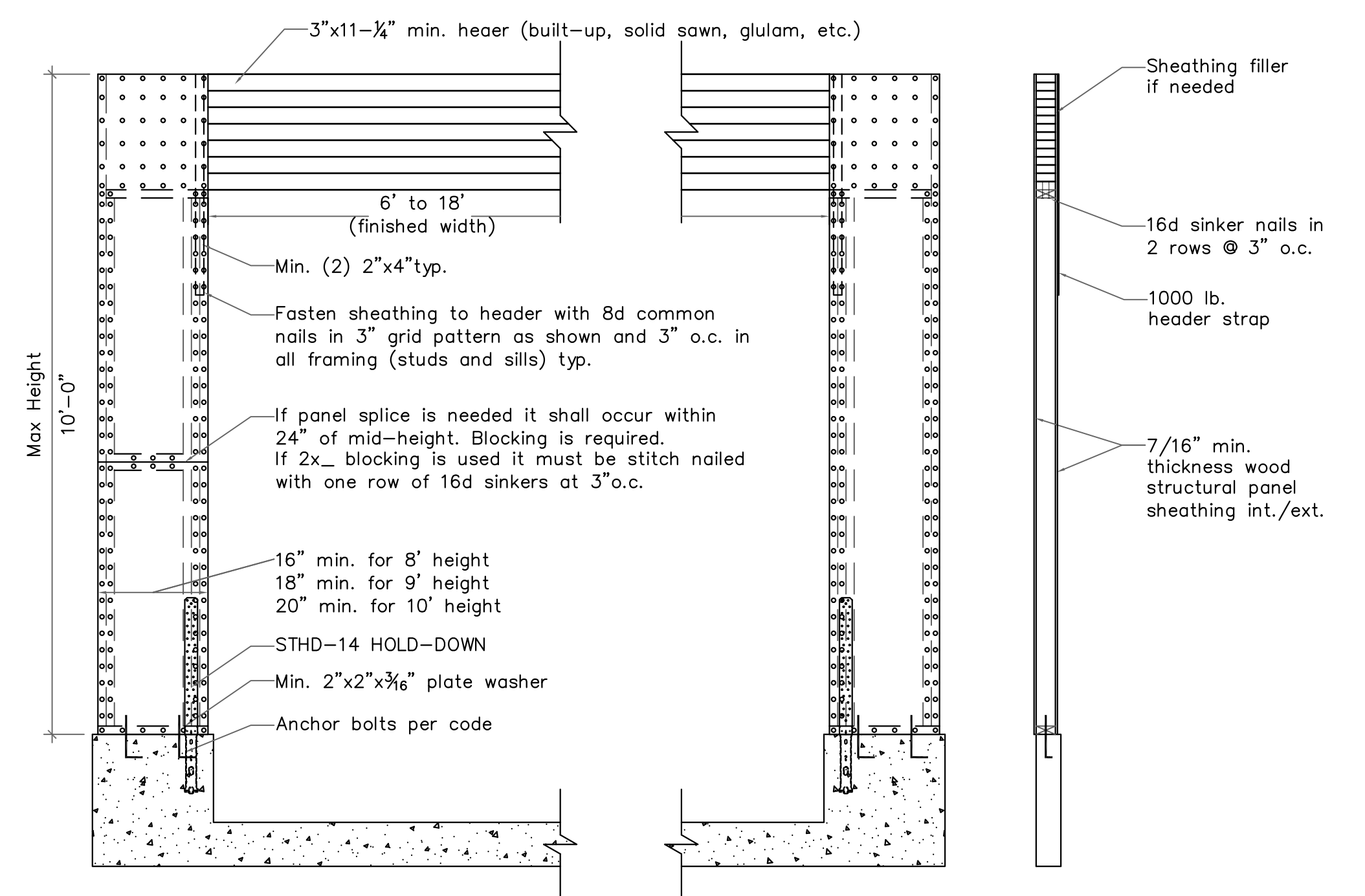
TYPICAL INTERIOR WALL SECTION

TYPICAL INTERIOR WALL SECTION AT PLUMBING WALL CHASE

2 WALL SECTIONS
SCALE: NONE



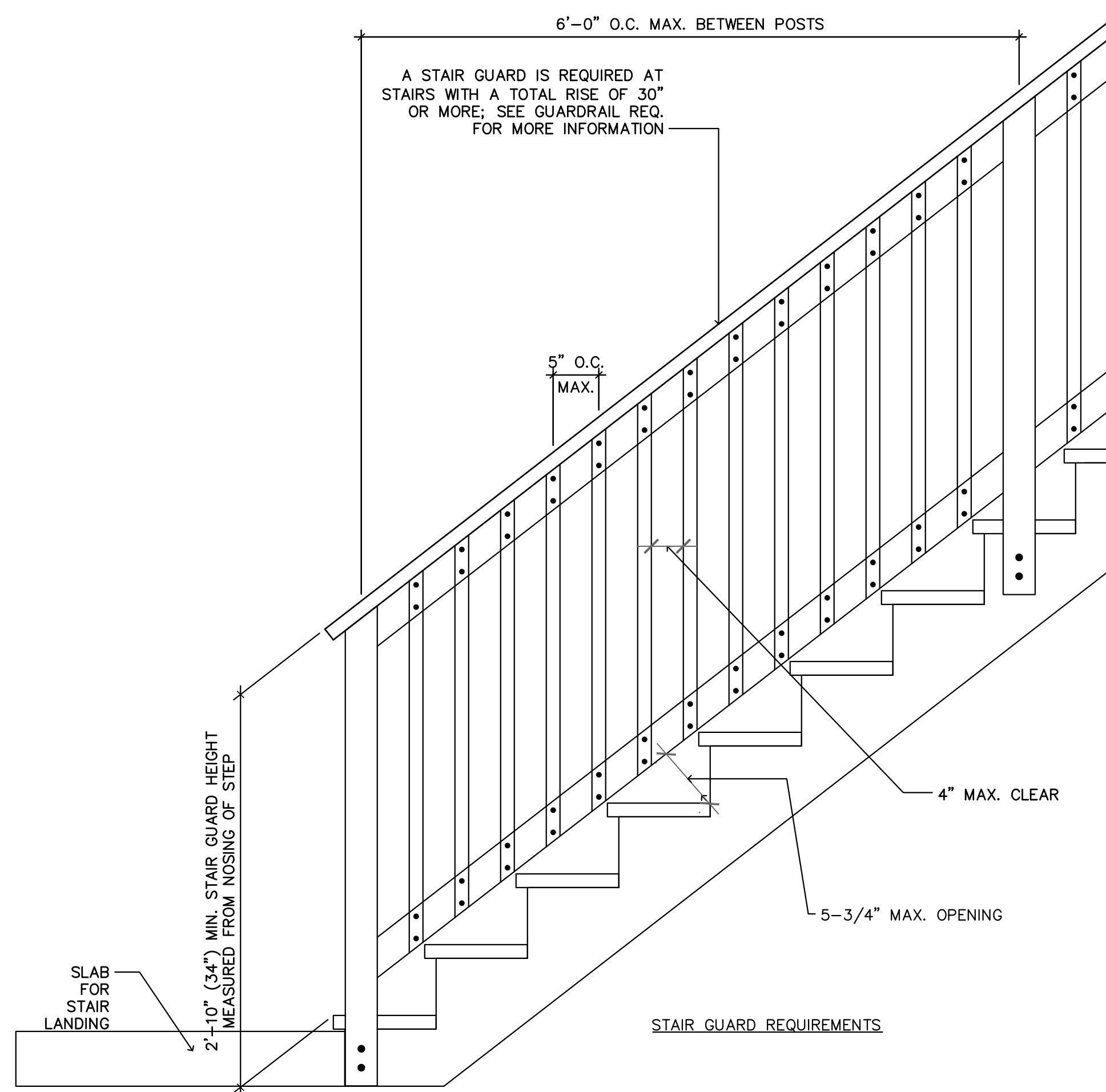
1 TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



3 GARAGE DOOR PORTAL FRAMING DETAIL
SCALE: 1/2" = 1'-0"



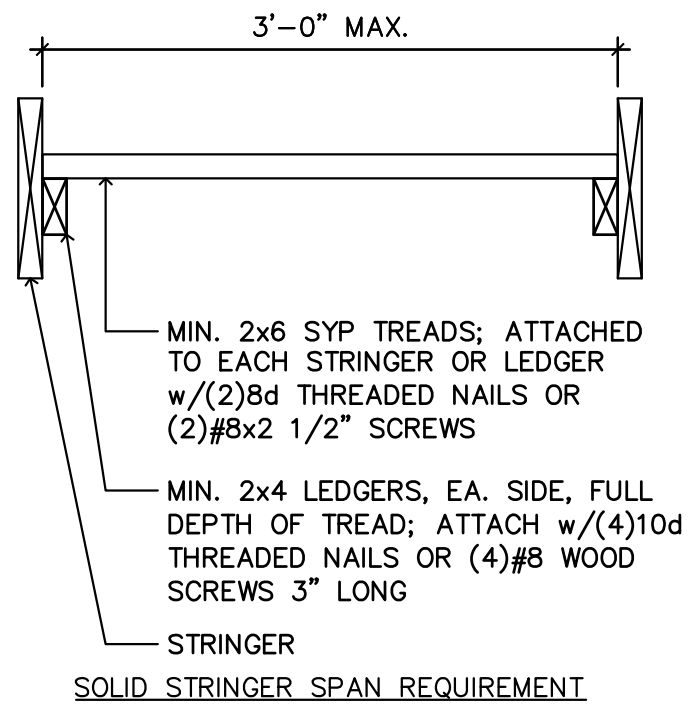
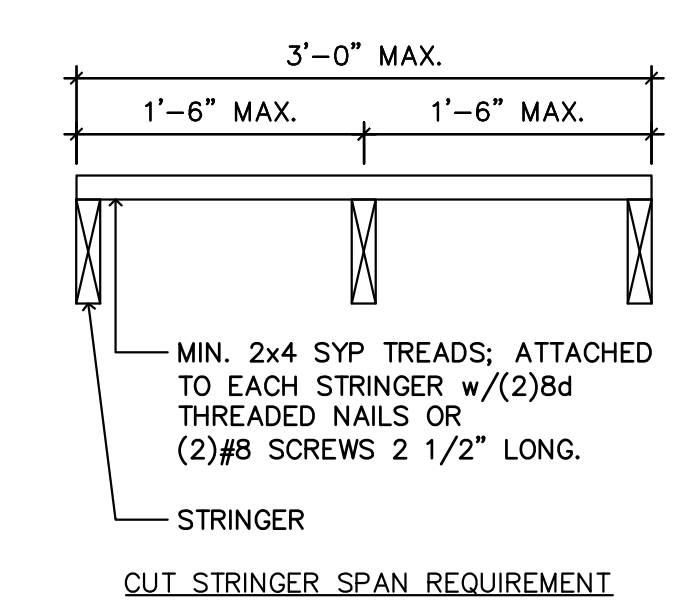
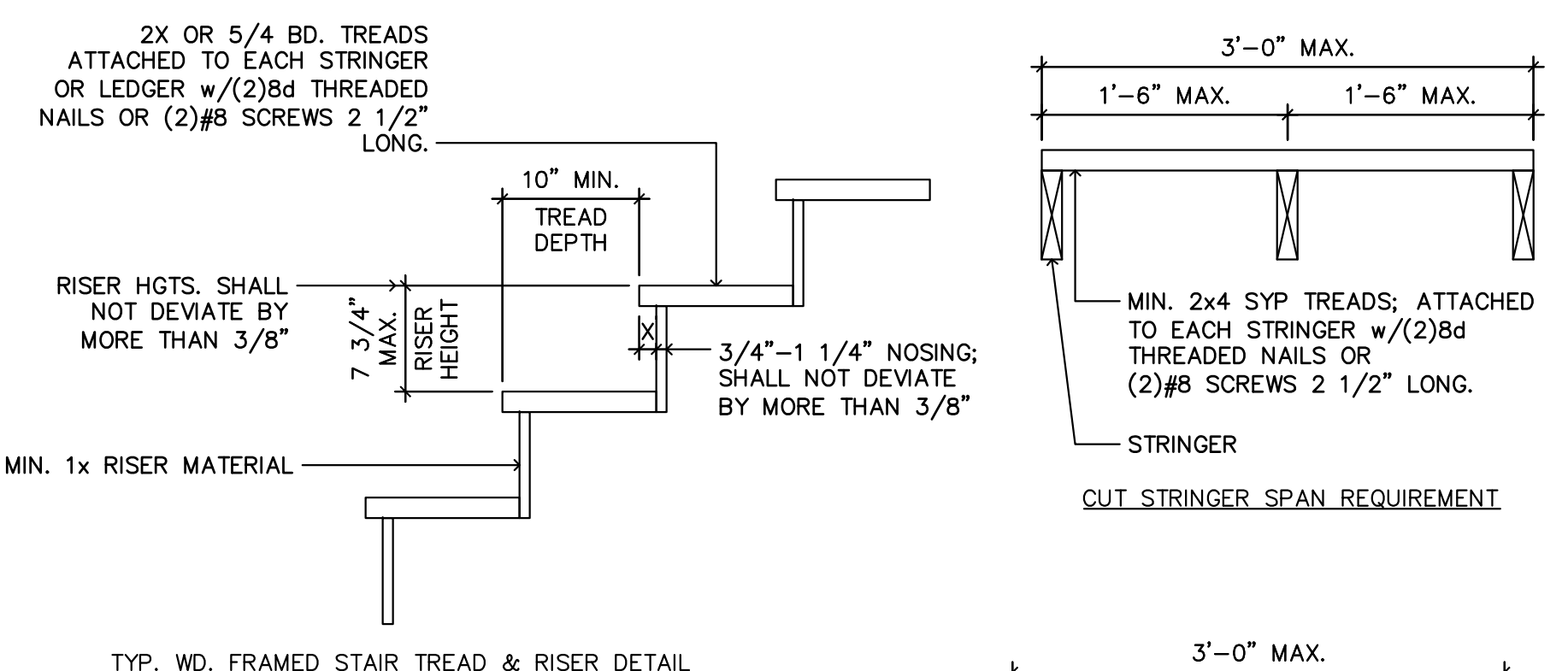
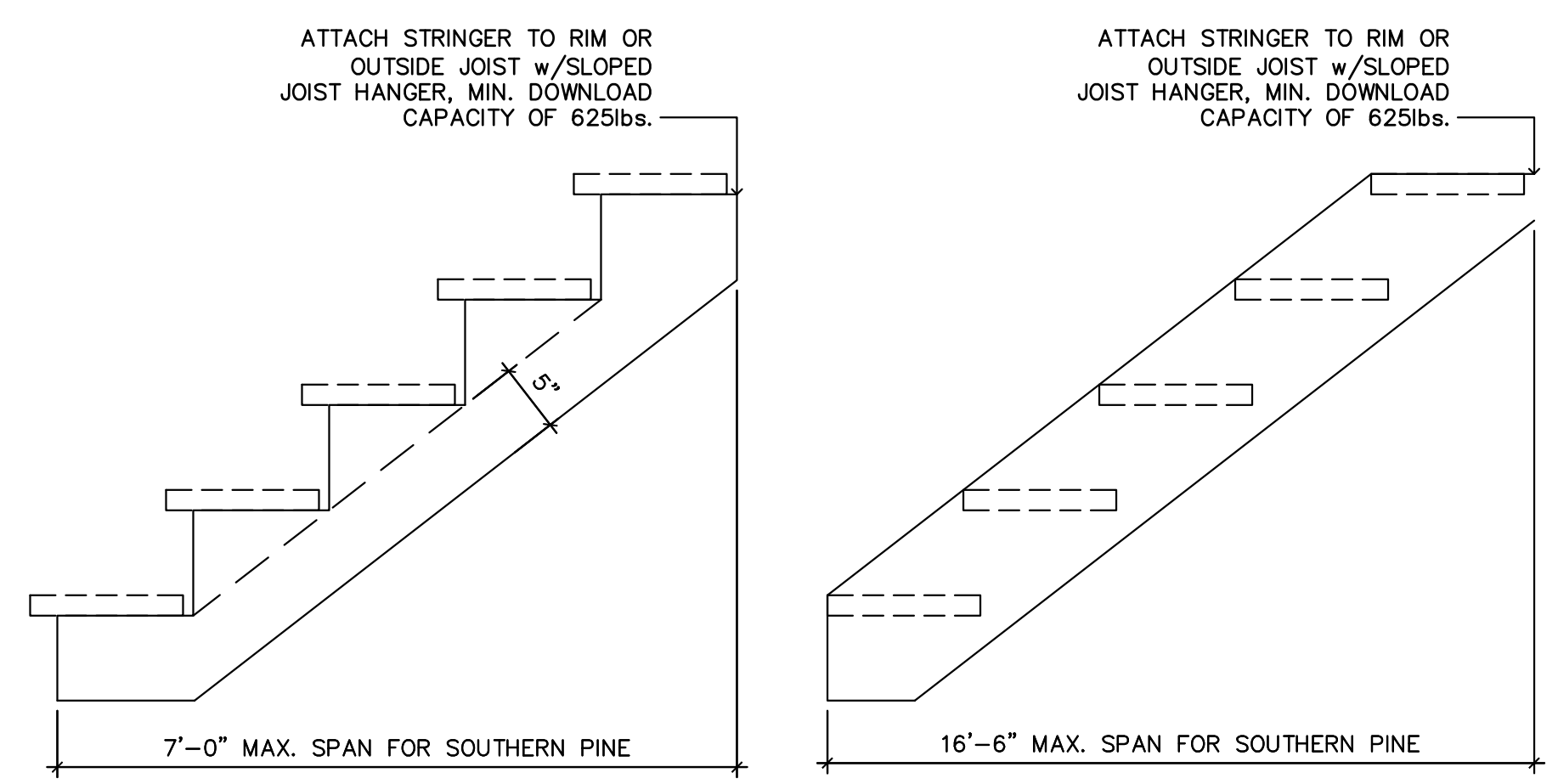
A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas



GENERAL STAIR NOTES:

- PER R311.2.2 2018 IRC, PROVIDE UNDER STAIR PROTECTION TO ENCLOSED ACCESSIBLE SPACE WITH 1/2 INCH GYPSUM BOARD.
- PER R312.2 EXCEPTION 1 2018 IRC, THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM OF RAIL OF GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152mm) CANNOT PASS THROUGH.
- PER R312.2 2018 IRC, REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL ENCLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102mm) OR MORE IN DIAMETER.
- PER 311.5.3 2018 IRC, STAIR MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM WIDTH FOR TREADS SHALL BE 10 INCHES.
- PER R311.5.6.1 2018 IRC, HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPE PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THA 34 INCHES (864mm) AND NOT MORE THAN 38 INCHES (965mm)
- PER R311.5.6.2 2018 IRC, HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38mm) BETWEEN THE WALL AND THE HANDRAIL.

4 TYPICAL STAIR DETAIL
SCALE: 1" = 1'-0"



- PER R311.5.6.3 2018 IRC, ALL REQUIRED HANDRAILS SHALL BE OF ON OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
 - TYPE I: HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32mm) AND NOT GREATER THAN 2 INCHES (51mm). IF THE HANDRAIL IS NOT CIRCULAR IS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102mm) AND NOT GREATER THAN 6 1/4 INCHES (160mm) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES (57mm).
 - TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES (160mm) SHALL PROVIDE A GRASPABLE FINGER RISERS, RECESS AREAS ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITH A DISTANCE OF 3/4 INCH (19mm) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8mm) WITHIN 7/8 INCH (22mm) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH (10mm) TO A LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES (45mm) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4 INCHES (32mm) TO A MAXIMUM OF 2 3/4 INCHES (70mm). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25mm).

DATE: 08 AUG. 2020

REVISIONS:

SHEET NO.

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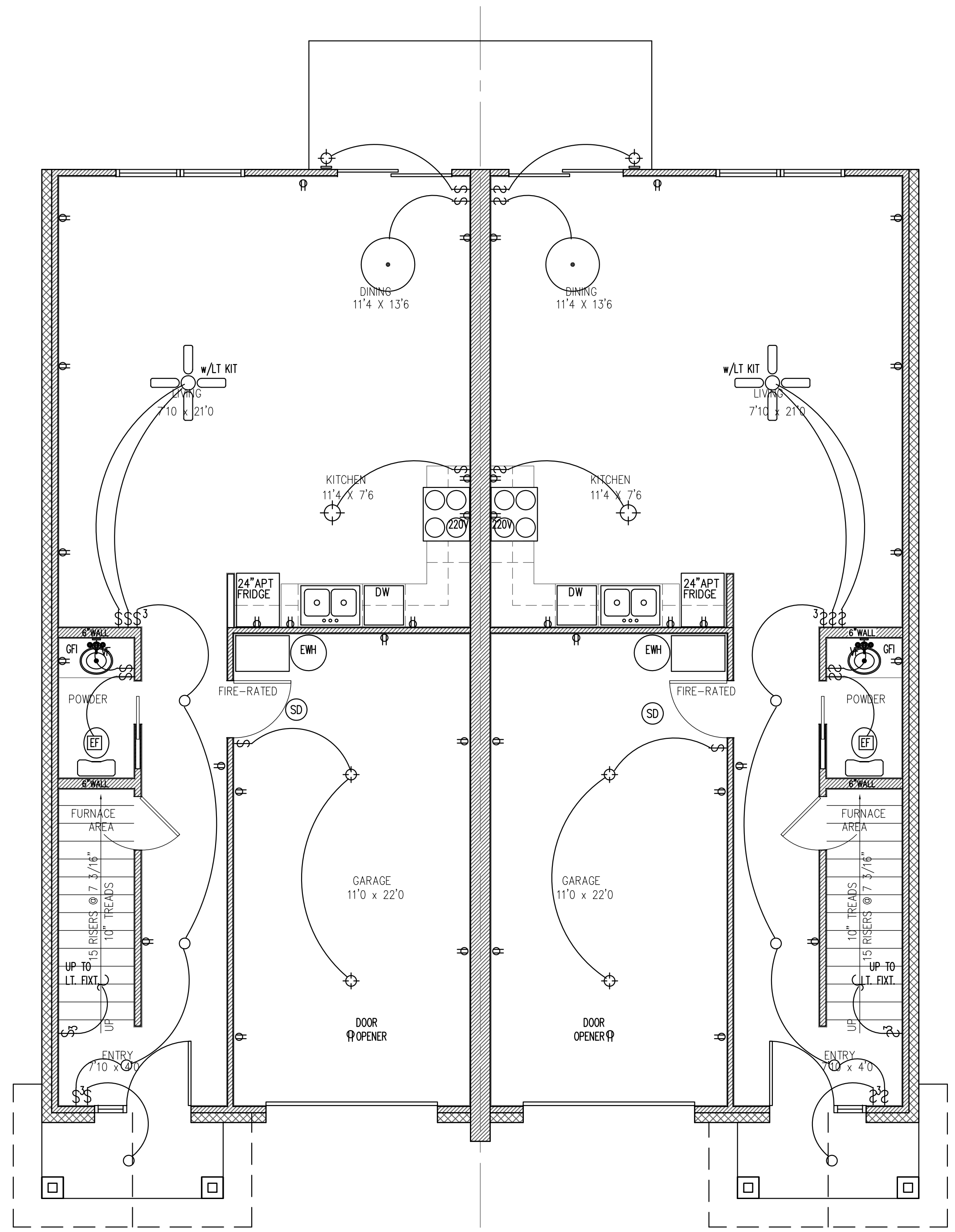
A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT KIT
	CEILING FAN
	UNDER CABINET LIGHTING
	LARGE PENDANT LIGHT FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	RECESSED CAN LIGHT FIXTURE
	BATHROOM VANITY SCONCE LIGHT FIXTURE
	OUTDOOR SCONCE LIGHT FIXTURE
	SWITCH
	3-WAY SWITCH
	SWITCH WITH DIMMER
	STANDARD DUPLEX RECEPTACLE
	RECEPTACLE 220V
	RECEPTACLE WITH GROUND FAULT INTERCEPT
	OUTDOOR RECEPTACLE - WATERPROOF & WITH GROUND FAULT INTERCEPT
	COMBO SMOKE/CARBON DIOXIDE DETECTOR
	CORNER OUTDOOR FLOOD LIGHT - DUSK TO DAWN SWITCHING

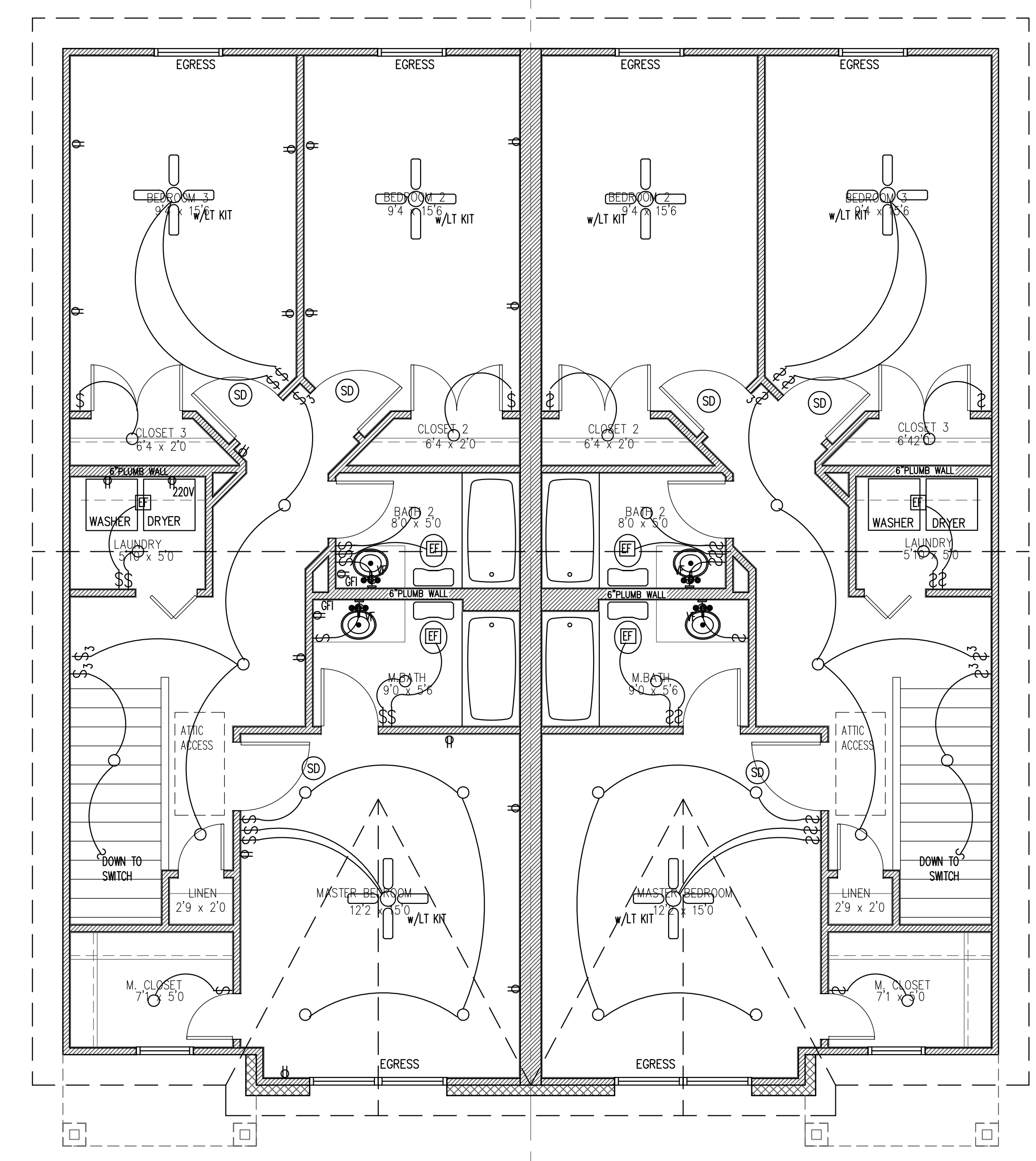
(SD) = SMOKE/CARBON DIOXIDE DETECTOR

PER R313.2 2018 IRC, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 A. IN EACH SLEEPING ROOM
 B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

PER R313.3 2018 IRC, SMOKE DETECTORS SHALL BE HARD-WIRED AND INTER-CONNECTED WITH BATTERY BACKUP.



1 PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" LEVEL 1



2 PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" LEVEL 2

NOTE: ALL HVAC DUCTING AND ATTIC VENTILATION SHALL COMPLY WITH CITY OF LA MARQUE CODE REQUIREMENTS AND BE ADDRESSED BY THE HVAC CONTRACTOR.

DATE: 08 AUG. 2020

REVISIONS:

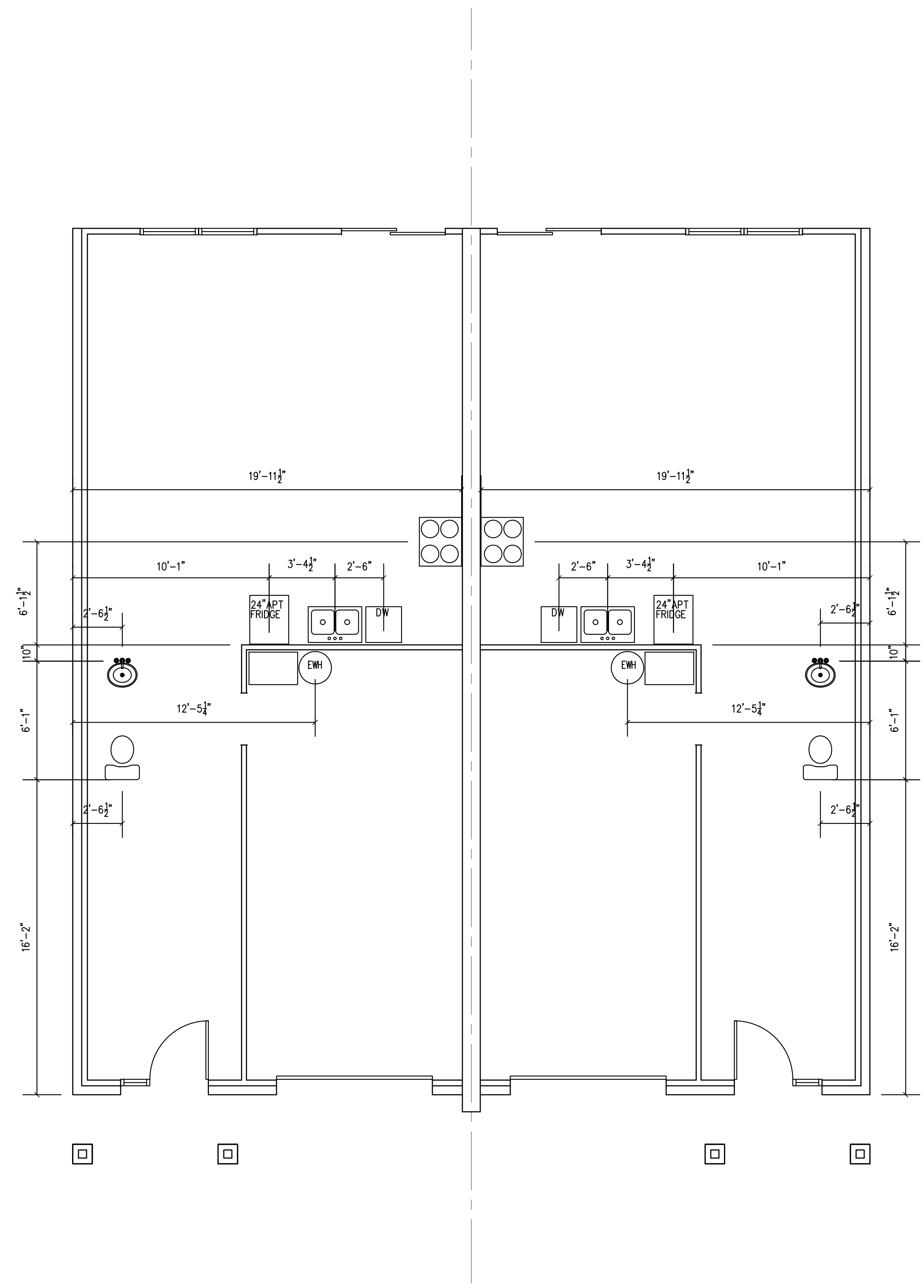
SHEET NO.

A5.0



A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

PLUMBING & APPLIANCE LEGEND	
	SHOWER STALL
	BATH TUB
	TOILET
	BATHROOM LAVATORY
	KITCHEN SINK
	DISH WASHER
	COOKING RANGE
	REFRIGERATOR
	WASHING MACHINE
	CLOTHES DRYER
	ELECTRIC WATER HEATER



1 PLUMBING – SLAB PENETRATIONS
SCALE: 3/16" = 1'-0"

ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO PLUMBING FIXTURE

DATE:	08 AUG. 2020
REVISIONS:	
SHEET NO.	

A6.0



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Consideration of approval of a Final Plat for Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

This is a request for approval of the final plat of Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection. Except as otherwise noted in the City Engineer's memo which are textual and general note corrections, the proposed final plat meets all City of Angleton requirements.

RECOMMENDATION:

The City Engineer reviewed the plat and offered 7 comments of which the applicants since the posting of the agenda have resubmitted and addressed each comment.

Staff recommends that the Planning and Zoning Commission approves of the proposed final plat and recommends it to the City Council for final action.

March 30, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Windrose Green Section 3 Subdivision Final Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the final plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 3

1. Remove additional text shown in the Engineer's Certification Block
2. Provide the required plat notes take from the Angleton LDC Sec.23-115, L.
3. Update text shown. Plat drawing shows "O.P.R.B.C."

Sheet 2 of 3

4. Label existing New Dawn Drive from Windrose Green Section 1.
5. Verify street name "Windrose Bend". Per preliminary plat, "Windrose Bend Drive" was used.
6. Update the FEMA FIRM information in Plat Note #8 to reflect current information
7. Show bearing and distance for the east line shown along the King Subdivision.

HDR takes no objection to the proposed Windrose Green Section 3 Subdivision Final Plat with the exceptions noted. Please note, this does not necessarily mean that the entire drawings, including all supporting data and calculations, has been completely checked and verified; however, the drawings and supporting data are signed, dated, and sealed by a Registered Professional Land Surveyor licensed to practice in the State of Texas, which therefore conveys the surveyor's responsibility and accountability.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761/10336228)

Attachments

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT EMPTOR ANGLETON, LLC ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINAbove DESCRIBED PROPERTY AS WINDROSE GREEN SECTION THREE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES, THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THE PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION OF THE PLAT CALLED "DRAINAGE AND DETENTION EASEMENT", THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINAbove DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERRECT OR CONSIDER ERRECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERRECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

EMPTOR ANGLETON, LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: CDL VENTURES, LLC, MANAGER
BY: CONCORSE COMPANIES, LLC, MANAGER

JORDAN MACK, MANAGER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED JORDAN MACK, MANAGER KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ___ DAY OF ___, 2023.

NOTARY PUBLIC
STATE OF TEXAS

PRINT NAME

MY COMMISSION EXPIRES: _____

ANGLETON DRAINAGE DISTRICT

ANGLETON DRAINAGE DISTRICT ACCEPTED THIS THE ___ DAY OF ___, 20___, THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT, OR GUARANTEE:

- 1. THAT THE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT
- 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
- 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
- 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOSEPH B. MAY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

JOSEPH B. MAY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5484

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, A. KHOSHAKHLAGH, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT TO THE BEST OF MY KNOWLEDGE. THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LLC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL. ~~THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.~~

A. KHOSHAKHLAGH, P.E.
TEXAS REGISTRATION NO. 101133

APPROVED THIS ___ DAY OF ___, 2023, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ___ DAY OF ___, 2023, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ___ DAY OF ___, 2023, BY _____, CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

Update text shown. Plat drawing shows O.P.R.B.C.

METES AND BOUNDS DESCRIPTION
23.70 ACRES

Being a 23.70-acre tract of land located in the T.S. Lee Survey, Abstract No. 318 in Brazoria County, Texas; said 23.70-acre tract being a portion of a called 154.6-acre tract of land recorded in the name of Emptor Angleton, LLC, in File No. 2020013621 of the Official Public Records of Brazoria County (O.P.R.B.C.); said 23.70-acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, North American Datum 1983 (NAD 83), South Central Zone):

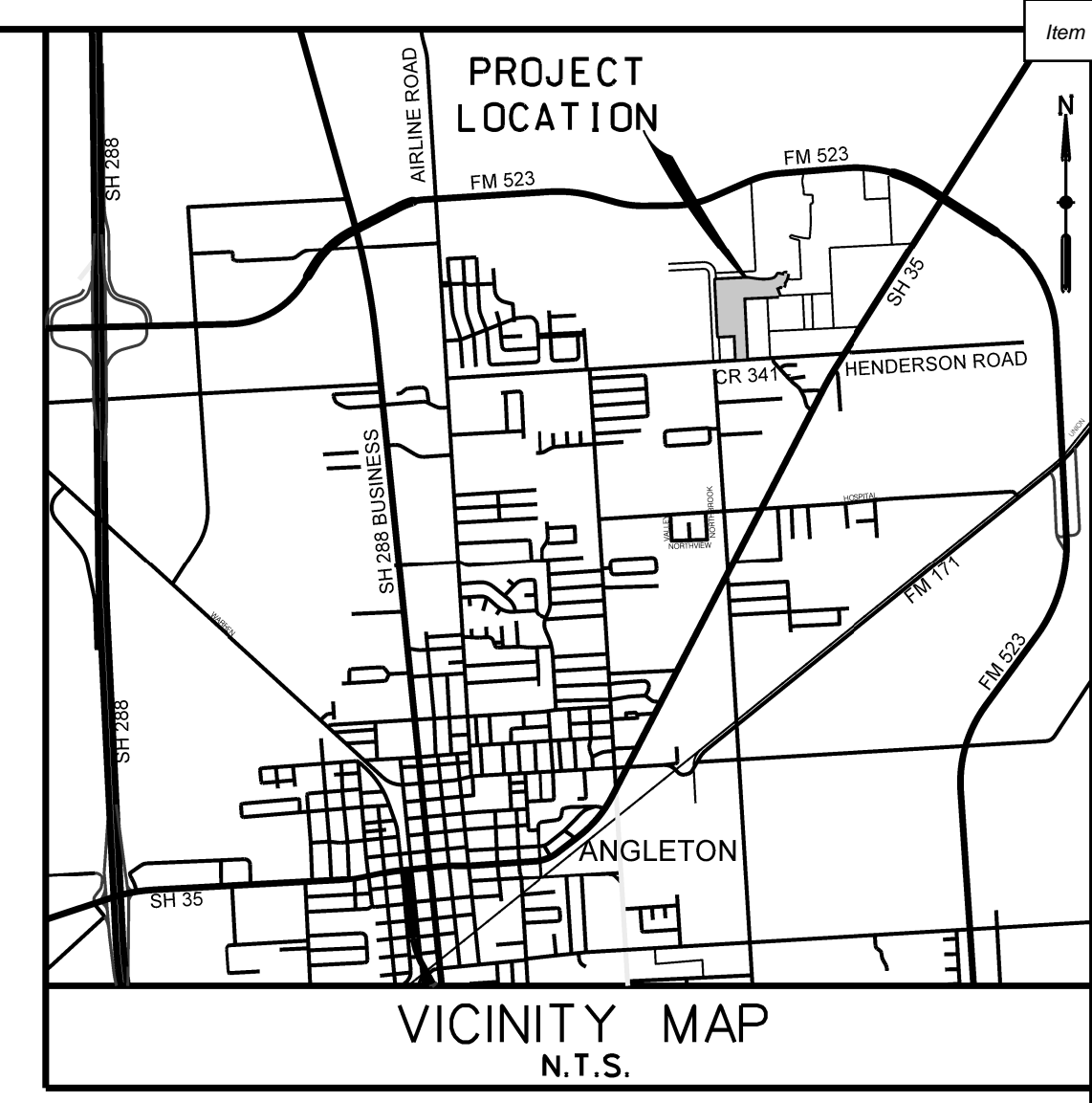
Beginning at a 1/2-inch iron rod found the southeast corner of a called of a called 4.0174-acre tract of land recorded in the name of Good Shepherd Lutheran Church in Volume 288, Page 254 of the Deed Records of Brazoria County (D.R.B.C.) and the southwesterly exterior corner of said 154.6-acre tract, and being on the northerly right-of-way line of Henderson Road (80.00 feet wide);

- 1. Thence, with the westerly line of said 154.6-acre tract and the easterly line of said 4.0174-acre tract, North 02 degrees 46 minutes 29 seconds West, a distance of 500.35 feet to a 1/2-inch iron rod inside a 4-inch iron pipe found at an interior corner of said 154.6-acre tract and the northeast corner of said 4.0174-acre tract;
 - 2. Thence, with a southerly line of said 154.6-acre tract and the northerly line of said 4.0174-acre tract, South 87 degrees 07 minutes 32 seconds West, a distance of 350.09 feet to a easterly line of a called 9.032-acre tract of land recorded in the name of Angleton Drainage District in Volume 329, Page 340 of the D.R.B.C.;
 - 3. Thence, with the westerly line of said 154.6-acre tract and said easterly line of the 9.032-acre tract, North 02 degrees 53 minutes 17 seconds West, a distance of 1,157.44 feet to the southwest corner of Reserve "M" of Windrose Green Sec 1, a subdivision recorded in Plat Number 2021062480 of the Brazoria County Plat Records;
- Thence, with the south line of said Reserve "M", the following eleven (11) courses:
- 1. North 87 degrees 09 minutes 48 seconds East, a distance of 658.12 feet;
 - 2. South 81 degrees 53 minutes 56 seconds East, a distance of 196.45 feet;
 - 3. South 83 degrees 12 minutes 15 seconds East, a distance of 78.77 feet;
 - 4. South 88 degrees 16 minutes 59 seconds East, a distance of 78.13 feet;
 - 5. North 86 degrees 25 minutes 02 seconds East, a distance of 78.13 feet;
 - 6. North 81 degrees 27 minutes 27 seconds East, a distance of 78.15 feet;
 - 7. North 70 degrees 38 minutes 37 seconds East, a distance of 72.88 feet;
 - 8. North 44 degrees 06 minutes 33 seconds East, a distance of 69.78 feet;
 - 9. North 21 degrees 44 minutes 36 seconds East, a distance of 32.57 feet;
 - 10. North 62 degrees 31 minutes 20 seconds East, a distance of 15.14 feet;
 - 11. South 76 degrees 41 minutes 55 seconds East, a distance of 115.00 feet to a east line of said Reserve "M";

- 12. Thence, with a east line of said Reserve "M", 31.77 feet along the arc of a curve to the left, said curve having a central angle of 06 degrees 44 minutes 33 seconds, a radius of 270.00 feet and a chord that bears North 09 degrees 55 minutes 49 seconds East, a distance of 31.75 feet;
- 13. Thence, continuing with said east line of Reserve "M", 19.31 feet along the arc of a curve to the left, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,770.00 feet and a chord that bears North 06 degrees 14 minutes 47 seconds East, a distance of 19.31 feet to the southeast corner of Reserve "K" of aforesaid Windrose Green Sec 1, same being the south terminus of Windrose Bend (60' wide) of aforesaid Windrose Green Sec 1;
- 14. Thence, with the south terminus of said Windrose Bend, South 84 degrees 03 minutes 57 seconds East, a distance of 60.00 feet to the west line of Reserve "D" of aforesaid Windrose Green Sec 1;
- 15. Thence, with the west line of said Reserve "D", 19.96 feet along the arc of a curve to the right, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,830.00 feet and a chord that bears South 06 degrees 14 minutes 47 seconds West, a distance of 19.96 feet;
- 16. 84.26 feet along the arc of a curve to the right, to the southwest corner of Reserve "D", totaling a distance of 179.28 feet, through aforesaid 154.6-acre tract, said curve having a central angle of 31 degrees 07 minutes 38 seconds, a radius of 330.00 feet and a chord that bears South 22 degrees 07 minutes 21 seconds West, a distance of 177.08 feet;

Thence, through said 154.6-acre tract, the following seven (7) courses:

- 17. 44.15 feet along the arc of a curve to the left, said curve having a central angle of 101 degrees 11 minutes 11 seconds, a radius of 25.00 feet and a chord that bears South 12 degrees 54 minutes 25 seconds East, a distance of 38.63 feet;
- 18. South 26 degrees 29 minutes 59 seconds West, a distance of 60.00 feet;
- 19. 37.53 feet along the arc of a curve to the right, said curve having a central angle of 06 degrees 30 minutes 57 seconds, a radius of 330.00 feet and a chord that bears North 60 degrees 14 minutes 32 seconds West, a distance of 37.51 feet;
- 20. 29.10 feet along the arc of a curve to the left, said curve having a central angle of 66 degrees 41 minutes 16 seconds, a radius of 25.00 feet and a chord that bears South 89 degrees 40 minutes 19 seconds West, a distance of 27.48 feet;
- 21. 100.13 feet along the arc of a curve to the right, said curve having a central angle of 17 degrees 23 minutes 09 seconds, a radius of 330.00 feet and a chord that bears South 65 degrees 01 minutes 15 seconds West, a distance of 99.75 feet;
- 22. South 22 degrees 25 minutes 04 seconds East, a distance of 160.17 feet;
- 23. South 02 degrees 47 minutes 14 seconds East, a distance of 15.00 feet to a southerly line of aforesaid 154.6-acre tract and the northerly line of a called 12.40-acre tract of land recorded in the name of Wesley Johnson in File No. 02 052985 of the O.P.R.B.C.;
- 24. Thence, with the common line of said 154.6-acre tract and said 12.40-acre tract, South 87 degrees 12 minutes 46 seconds West, a distance of 241.63 feet to a 3/4-inch iron pipe found at an interior corner of said 154.6-acre tract, the northwest corner of said 12.40-acre tract, and the northeast corner of a called 14.571-acre tract of land recorded in the name of E. J. King, Sr. and Jackie M. King in File No. 2014054480 of the O.P.R.B.C.;
- 25. Thence, continuing with said southerly line of the 154.6-acre tract and with the northerly line of said 14.571-acre tract, South 87 degrees 15 minutes 57 seconds West, a distance of 499.89 feet to a 5/8-inch iron rod found at the northwest corner of said 14.571-acre tract;
- 26. Thence, with an easterly line of said 154.6-acre tract and the westerly line of said 14.571-acre tract, South 02 degrees 45 minutes 27 seconds East, a distance of 1,271.10 feet to a 5/8-inch iron rod found on the northerly right-of-way line of aforesaid Henderson Road;
- 27. Thence, with the southerly line of said 154.6-acre tract and said northerly right-of-way line of Henderson Road, South 87 degrees 06 minutes 09 seconds West, a distance of 198.28 feet to the Point of Beginning and containing 23.70 acres of land.



NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

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Provide the required plat notes take from the Angleton LDC Sec. 23-115, L.

Remove additional text shown in the Engineer's Certification Block

FINAL PLAT OF
WINDROSE GREEN
SECTION THREE

BEING 23.70 ACRES

LOCATED IN THE
T. S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS

122 LOTS 3 BLOCKS 4 RESERVES

JANUARY, 2023

ENGINEER/SURVEYOR:



COSTELLO, INC.
2107 CITYWEST BOULEVARD
3RD FLOOR
HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100486

OWNER:

EMPTOR ANGLETON, LLC.,
A TEXAS LIMITED LIABILITY COMPANY

9950 WESTPARK DR. #285
HOUSTON, TEXAS 77063

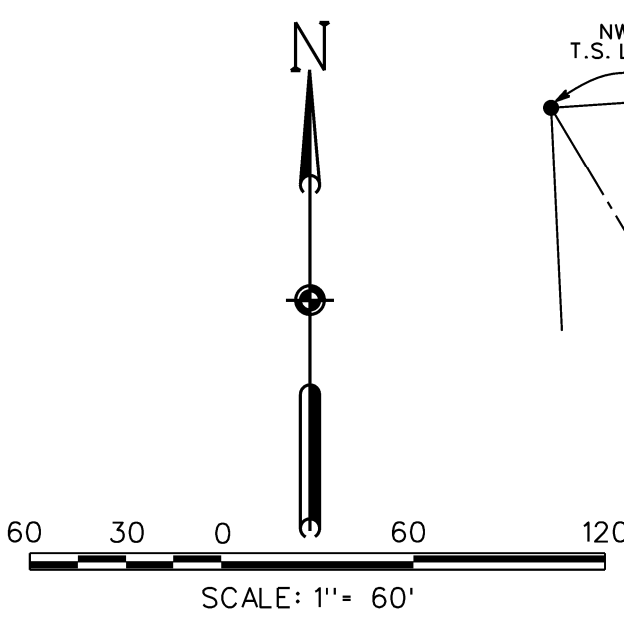


24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

CALLED 100.000 ACRES
ANGLETON INDEPENDENT
SCHOOL DISTRICT
FILE NO. 2008002676
O.P.R.B.C.

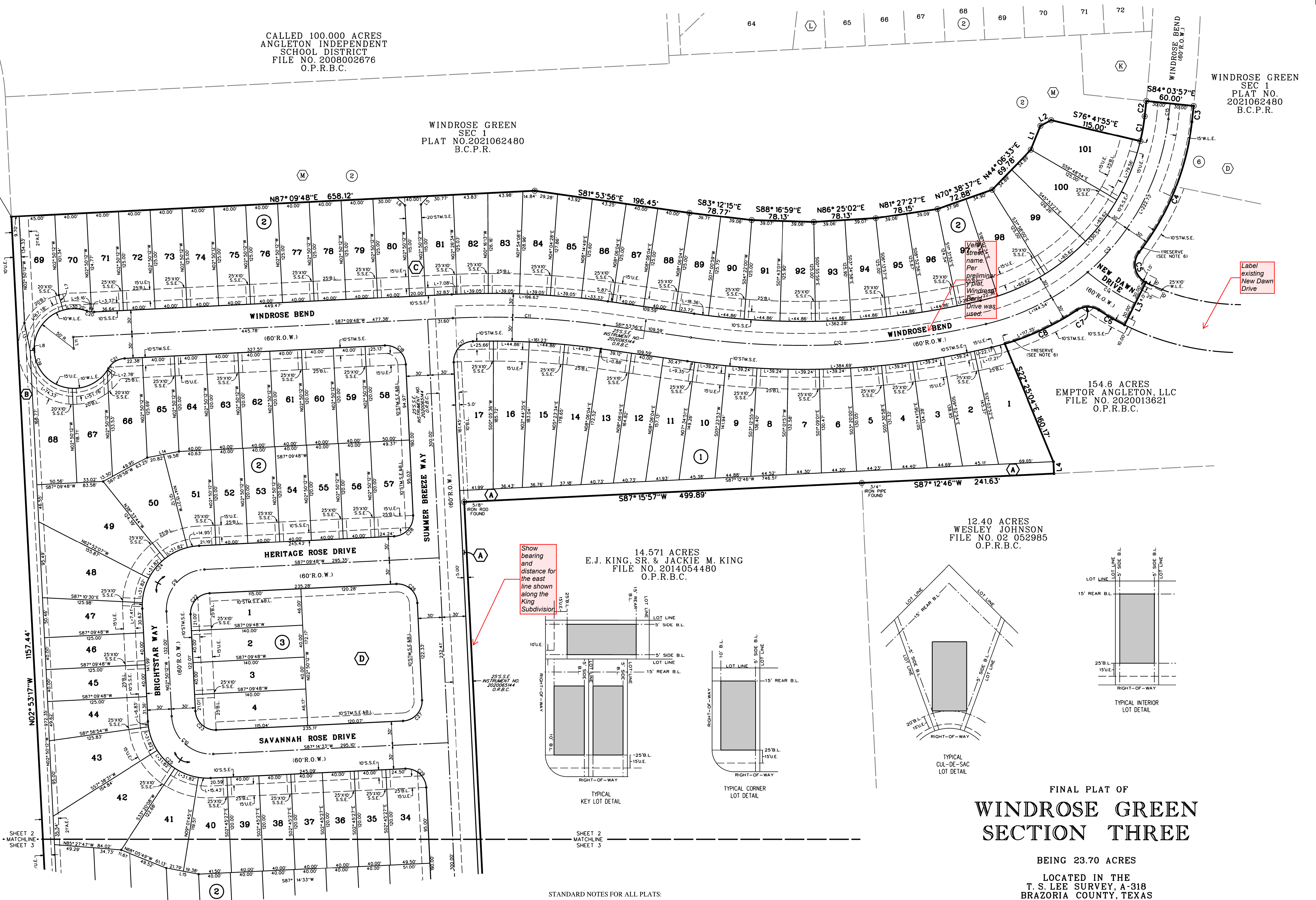
WINDROSE GREEN
SEC 1
PLAT NO. 2021062480
B.C.P.R.

WINDROSE GREEN
SEC 1
PLAT NO.
2021062480
B.C.P.R.



LEGEND

- SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED
- ⊙ - FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED
- ① - INDICATES BLOCK NUMBER
- Ⓐ - INDICATES RESERVE
- - INDICATES STREET NAME BREAK



RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
O.P.R.B.C.

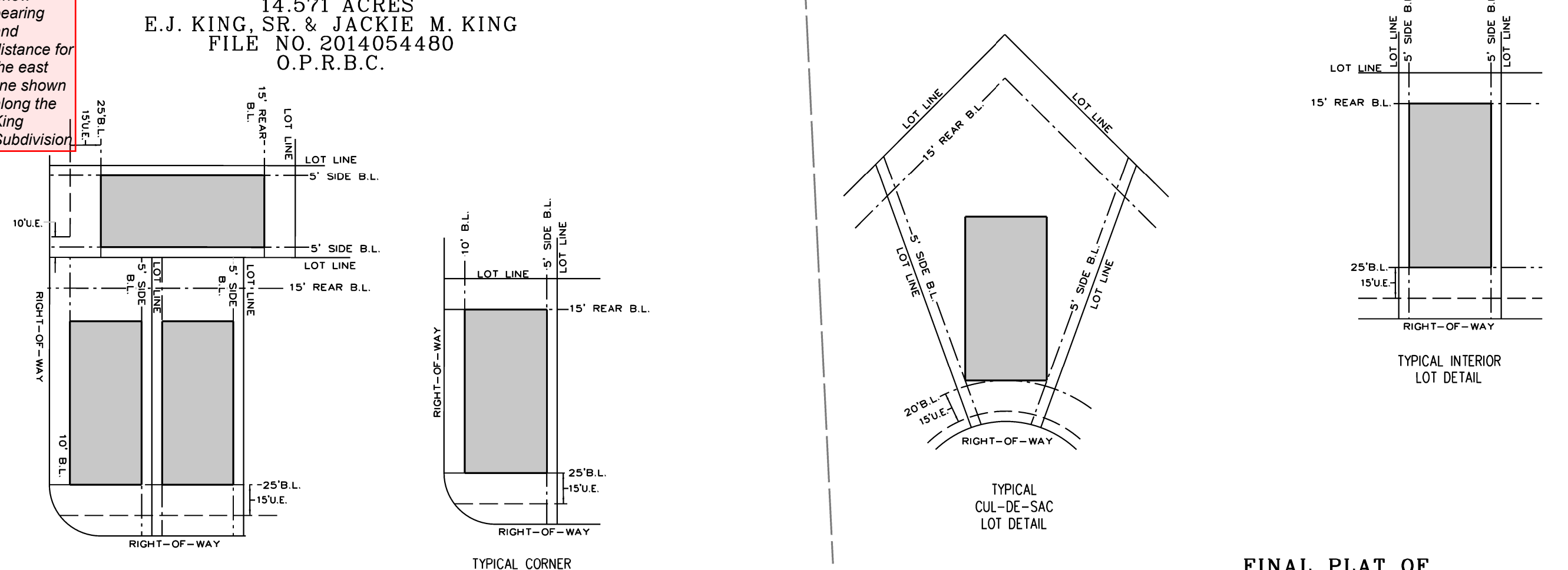
9.032 ACRES
ANGLETON DRAINAGE DISTRICT
VOL. 329, PG. 340 D.R.B.C.

154.6 ACRES
EMPTOR ANGLETON, LLC
FILE NO. 2020013621
O.P.R.B.C.

14.571 ACRES
E.J. KING, SR. & JACKIE M. KING
FILE NO. 2014054480
O.P.R.B.C.

12.40 ACRES
WESLEY JOHNSON
FILE NO. 02 052985
O.P.R.B.C.

Show bearing and distance for the east line shown along the King Subdivision



- GENERAL NOTES:
- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM (NAD83, 1993 ADJ.) SOUTH CENTRAL ZONE.
 - ALL EASEMENTS SHOWN ON LOT LINES ARE CENTERED UNLESS OTHERWISE NOTED.
 - EASEMENTS ARE HEREBY RESERVED AS SHOWN TO FACILITATE ROADWAYS, DRAINAGE, AND INSTALLATION OF UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL LINES, WASTEWATER DISPOSAL LINES, GAS, AND WATER LINES. THERE IS ALSO A RESERVED TEN (10) FOOT STRIP CENTERED ALONG ALL TRACT LINES FOR A GENERAL DRAINAGE AND UTILITY EASEMENT.
 - ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
 - ALL DRAINAGE EASEMENTS SHOWN HEREON SHALL BE DEDICATED TO THE PUBLIC AND SHALL BE MAINTAINED BY THE RANCHO ISABELLA MUNICIPAL UTILITY DISTRICT.
 - A ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ADJACENT PROPERTY. THE CONDITIONS OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RE-SUBDIVIDED IN A RECORDED PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
 - HORIZONTAL DATUM:
ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
VERTICAL DATUM:
ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK STATIONS H4G3_1012 AND H4G3_14012.
ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS, MAP NUMBER 48039C0435 H, DATED JUNE 5, 1989 THIS PROPERTY LIES IN UNSHADDED ZONE "X", WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
 - NO PIPELINE OR PIPELINE EASEMENT EXISTS WITHIN THE BOUNDARIES OF THIS PLAT.
 - SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF ANGLETON, TEXAS AND OWNER.
 - RESERVES "A", "B", "C" AND "D" WILL BE OWNED AND MAINTAINED BY THE RANCHO ISABELLA MUNICIPAL UTILITY DISTRICT.
 - RESERVE "D" WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

WINDROSE GREEN SECTION THREE
RESERVE TABLE

DESCRIPTION	LAND USE	ACREAGE/SQUARE FOOTAGE
RESERVE "A"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.40 AC. / 17,361 50 FT.
RESERVE "B"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.76 AC. / 33,046 50 FT.
RESERVE "C"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.06 AC. / 26,000 50 FT.
RESERVE "D"	PARK	0.57 AC. / 24,743 50 FT.
TOTAL:		1.79 AC. / 101,150 50 FT.

ABBREVIATION TABLE

O.P.R.B.C.	OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY
D.R.B.C.	DEED RECORDS BRAZORIA COUNTY
B.C.P.R.	BRAZORIA COUNTY PLAT RECORDS
C.F. NO.	CLERK'S FILE NUMBER
A.E.	AERIAL EASEMENT
U.E.	UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
STM.S.E.	STORM SEWER EASEMENT
W.L.E.	WATER LINE EASEMENT
D.E.	DRAINAGE EASEMENT
ESMT.	EASEMENT
B.L.	BUILDING LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING

STANDARD NOTES FOR ALL PLATS:

NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

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FINAL PLAT OF WINDROSE GREEN SECTION THREE

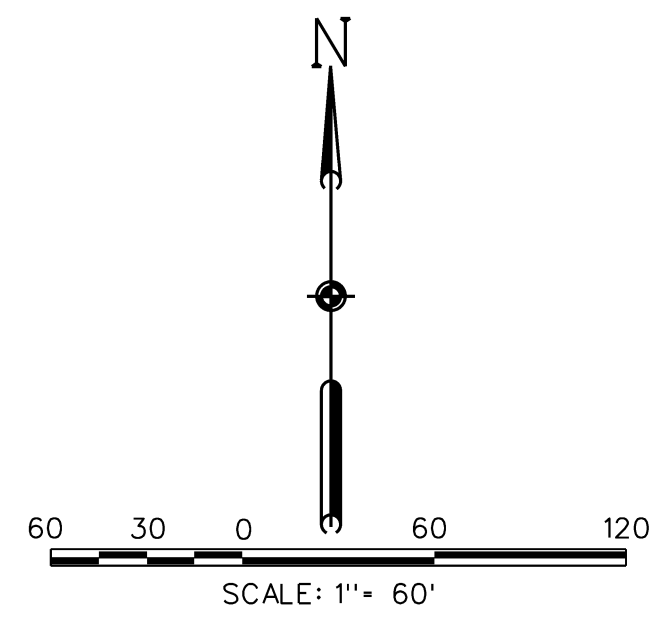
BEING 23.70 ACRES
LOCATED IN THE
T. S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS
122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' JANUARY, 2023

PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

OWNER:
EMPTOR ANGLETON, LLC,
A TEXAS LIMITED LIABILITY COMPANY
9950 WESTPARK DR. #285
HOUSTON, TEXAS 77063

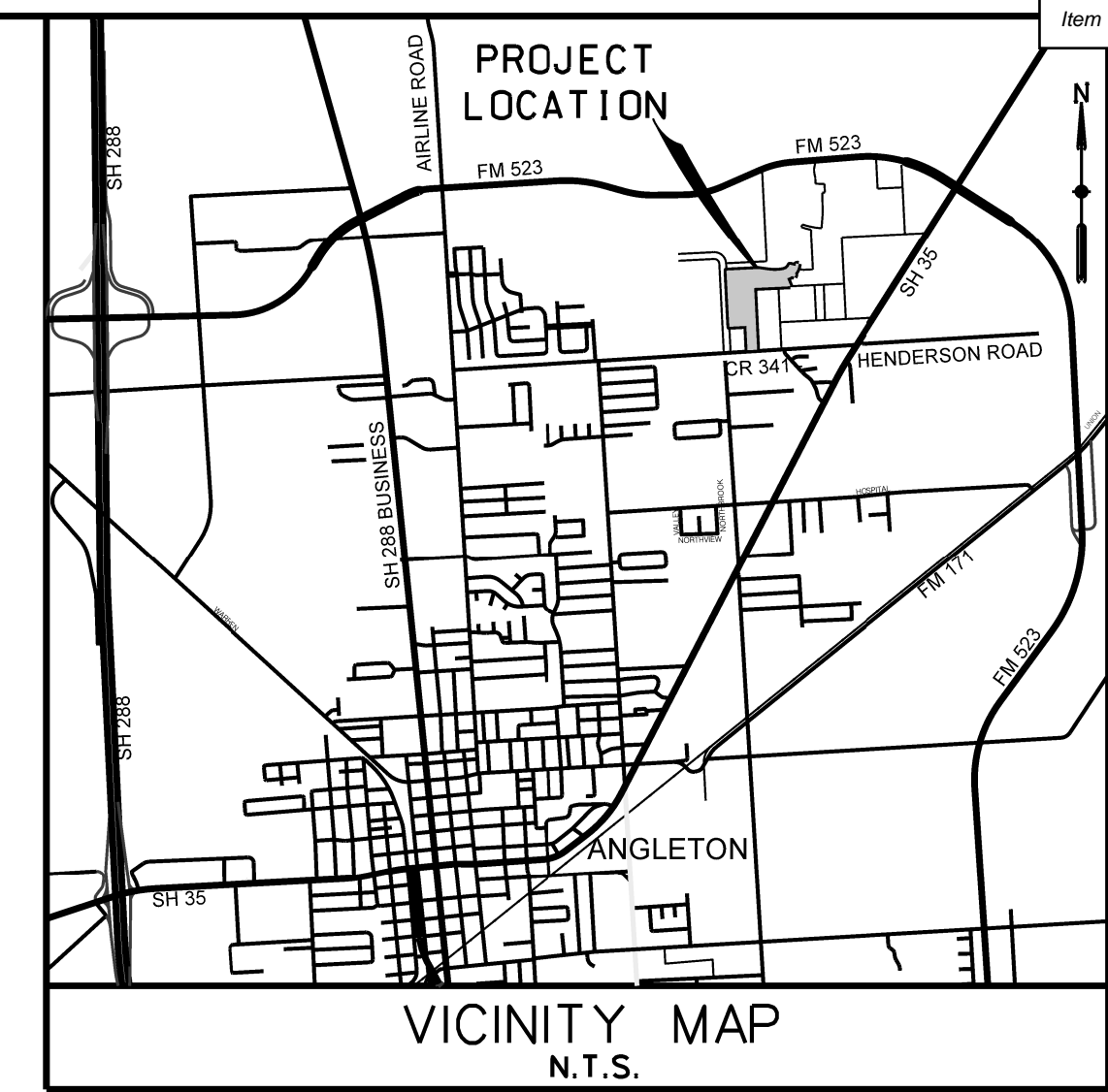
ENGINEER/SURVEYOR:
Costello
COSTELLO, INC.
2107 CITYWEST BOULEVARD
3RD FLOOR
HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100498



LEGEND

- SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED
- ⊙ - FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED
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W.L.E.	WATER LINE EASEMENT
D.E.	DRAINAGE EASEMENT
ESMT.	EASEMENT
B.L.L.	BUILDING LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING



RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
O.P.R.B.C.

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RESERVE "D"	PARK	0.57 AC. / 24,743 SQ. FT.
TOTAL:		1.79 AC. / 101,150 SQ. FT.

LINE DATA TABLE

NUMBER	DIRECTION	DISTANCE (FEET)
L1	N21°44'36"E	32.57
L2	N62°31'20"E	19.96
L3	S26°29'59"W	60.00
L4	S02°47'14"E	15.00
L5	N42°09'48"E	14.14
L6	N47°50'12"W	14.14
L7	S15°35'32"E	20.00
L8	N87°25'20"E	4.99
L9	S87°07'20"W	5.02
L10	N47°45'27"W	14.14
L11	S02°50'12"E	14.61
L12	N02°45'27"W	15.00
L13	N11°42'23"W	35.46
L14	N79°04'05"E	40.40
L15	N79°03'05"W	41.17

CURVE DATA TABLE

NUMBER	ARC LENGTH (FEET)	RADIUS (FEET)	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH (FEET)
C1	31.77	270.00	6° 44' 33"	N09° 55' 49" E	31.75
C2	19.31	1770.00	0° 37' 30"	N06° 14' 47" E	19.31
C3	19.96	1830.00	0° 37' 30"	S06° 14' 47" W	19.96
C4	179.28	330.00	31° 7' 38"	S22° 07' 23" W	177.08
C5	44.15	25.00	101° 11' 11"	S12° 54' 25" E	38.63
C6	37.53	330.00	6° 30' 57"	N60° 14' 32" W	37.51
C7	29.10	25.00	66° 41' 16"	S89° 40' 19" W	27.48
C8	100.13	330.00	17° 23' 9"	S65° 01' 15" W	99.75
C9	78.54	50.00	90° 0' 0"	N42° 09' 48" E	70.71
C10	78.47	50.00	89° 55' 15"	S47° 47' 50" E	70.66
C11	190.90	1000.00	10° 56' 16"	S87° 22' 04" E	190.61
C12	373.48	1000.00	21° 23' 56"	N87° 24' 06" E	371.32
C13	367.27	300.00	70° 8' 35"	N41° 37' 50" E	344.76
C14	71.98	300.00	13° 44' 7"	S56° 37' 37" E	71.80
C15	19.63	1800.00	0° 37' 30"	N06° 14' 47" E	19.63
C16	16.09	25.00	36° 52' 11"	S21° 11' 33" E	15.81
C17	39.85	25.00	91° 20' 7"	S42° 54' 37" W	35.76
C18	39.30	25.00	90° 4' 45"	N47° 47' 50" E	35.38
C19	226.25	50.00	258° 15' 58"	S20° 37' 23" E	77.01
C20	9.53	25.00	21° 50' 48"	S81° 54' 48" E	9.47
C21	25.05	25.00	57° 25' 10"	N58° 27' 13" E	24.02
C22	39.27	25.00	90° 0' 0"	S42° 09' 48" W	35.36
C23	39.24	25.00	89° 55' 15"	S47° 47' 50" E	35.33
C24	117.81	75.00	90° 0' 0"	S47° 09' 48" W	105.07
C25	117.71	75.00	89° 55' 15"	S47° 47' 50" E	105.99
C26	39.30	25.00	90° 4' 45"	S47° 47' 50" E	35.38
C27	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C28	39.24	25.00	89° 55' 15"	N42° 12' 10" E	35.33
C29	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C30	225.85	50.00	258° 48' 31"	S15° 36' 26" W	77.27
C31	25.21	25.00	57° 46' 9"	S63° 52' 23" E	24.15
C32	9.18	25.00	21° 2' 22"	N76° 43' 22" E	9.13
C33	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C34	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C35	39.21	25.00	89° 51' 36"	S42° 10' 21" W	35.31

9.032 ACRES
ANGLETON DRAINAGE DISTRICT
VOL.329, PG.340 D.R.B.C.

4.0174 ACRES
GOOD SHEPHERD
LUTHERAN CHURCH
VOL. 288, PG 254
O.P.R.B.C.

14.571 ACRES
E.J. KING SR. & JACKIE M. KING
FILE NO. 2014054480
O.P.R.B.C.

FINAL PLAT OF
WINDROSE GREEN SECTION THREE

BEING 23.70 ACRES
LOCATED IN THE
T. S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS
122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' JANUARY, 2023

ENGINEER/SURVEYOR:



COSTELLO, INC.
2107 CITYWEST BOULEVARD
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HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100486

PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

OWNER:
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9950 WESTPARK DR. #285
HOUSTON, TEXAS 77063



April 3, 2023

Otis T. Spriggs, AICP
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: Windrose Green Sec 3 Final Plat
Costello, Inc. Job No. 2021050-000-DV-012-12B

Director Spriggs,

Please see each of your plat comments addressed below. If you require additional information or have any questions, please let us know.

Sheet 1 of 3

1. Remove additional text shown in the Engineer's Certification Block
 - a. *Additional text has been removed.*
2. Provide the required plat notes take from the Angleton LDC Sec.23-115, L.
 - a. *Required plat notes have been provided.*
3. Update text shown. Plat drawing shows "O.P.R.B.C."
 - a. *Text has been updated.*

Sheet 2 of 3

4. Label existing New Dawn Drive from Windrose Green Section 1.
 - a. *Street has been labeled.*
5. Verify street name "Windrose Bend". Per preliminary plat, "Windrose Bend Drive" was used.
 - a. *Windrose Bend is a continuation of the same street from Windrose Green Sec 1 and was so recorded.*
6. Update the FEMA FIRM information in Plat Note #8 to reflect current information.
 - a. *Current FEMA FIRM information in Plat Note #8 is updated.*
7. Show bearing and distance for the east line shown along the King Subdivision.
 - a. *Bearing and distance is now shown.*

Sincerely,
Costello, Inc.

A blue ink signature of Renissa M. Garza Montalvo.

Renissa M. Garza Montalvo, AICP, CPRP
Plat Coordinator

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT EMPTOR ANGLETON, LLC, A TEXAS LIMITED LIABILITY COMPANY ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS WINDROSE GREEN SECTION THREE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THE PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION OF THE PLAT CALLED "DRAINAGE AND DETENTION EASEMENT", THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERRECT OR CONSIDER ERRECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCURRED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS TO INVESTIGATE, SURVEY OR TO ERRECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

EMPTOR ANGLETON, LLC
A TEXAS LIMITED LIABILITY COMPANY

BY: CDL VENTURES, LLC, MANAGER

BY: CONCOURSE COMPANIES, LLC, MANAGER

JORDAN MACK, MANAGER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED JORDAN MACK, MANAGER KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ___ DAY OF _____, 2023.

NOTARY PUBLIC
STATE OF TEXAS

PRINT NAME

MY COMMISSION EXPIRES: _____

ANGLETON DRAINAGE DISTRICT

ANGLETON DRAINAGE DISTRICT ACCEPTED THIS THE ___ DAY OF _____, 20___, THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT, OR GUARANTEE:

- 1. THAT THE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT
- 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
- 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
- 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOSEPH B. MAY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

JOSEPH B. MAY
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5484

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, A. KHOSHAKHLAGH, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

A. KHOSHAKHLAGH, P.E.
TEXAS REGISTRATION NO. 101133

APPROVED THIS ___ DAY OF _____, 2023, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

CHAIRMAN, PLANNING AND ZONING COMMISSION

MICHELLE PEREZ, TRMC, CITY SECRETARY

APPROVED THIS ___ DAY OF _____, 2023, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

MICHELLE PEREZ, TRMC, CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ___ DAY OF _____, 2023, BY _____, CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

METES AND BOUNDS DESCRIPTION
23.70 ACRES

Being a 23.70-acre tract of land located in the T.S. Lee Survey, Abstract No. 318 in Brazoria County, Texas; said 23.70-acre tract being a portion of a called 154.6-acre tract of land recorded in the name of Emptor Angleton, LLC, in File No. 2020013621 of the Official Public Records of Brazoria County (O.P.R.B.C.); said 23.70-acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, North American Datum 1983 (NAD 83), South Central Zone):

Beginning at a 1/2-inch iron rod found the southeast corner of a called of a called 4.0174-acre tract of land recorded in the name of Good Shepherd Lutheran Church in Volume 288, Page 254 of the Deed Records of Brazoria County (D.R.B.C.) and the southwesterly exterior corner of said 154.6-acre tract, and being on the northerly right-of-way line of Henderson Road (80.00 feet wide);

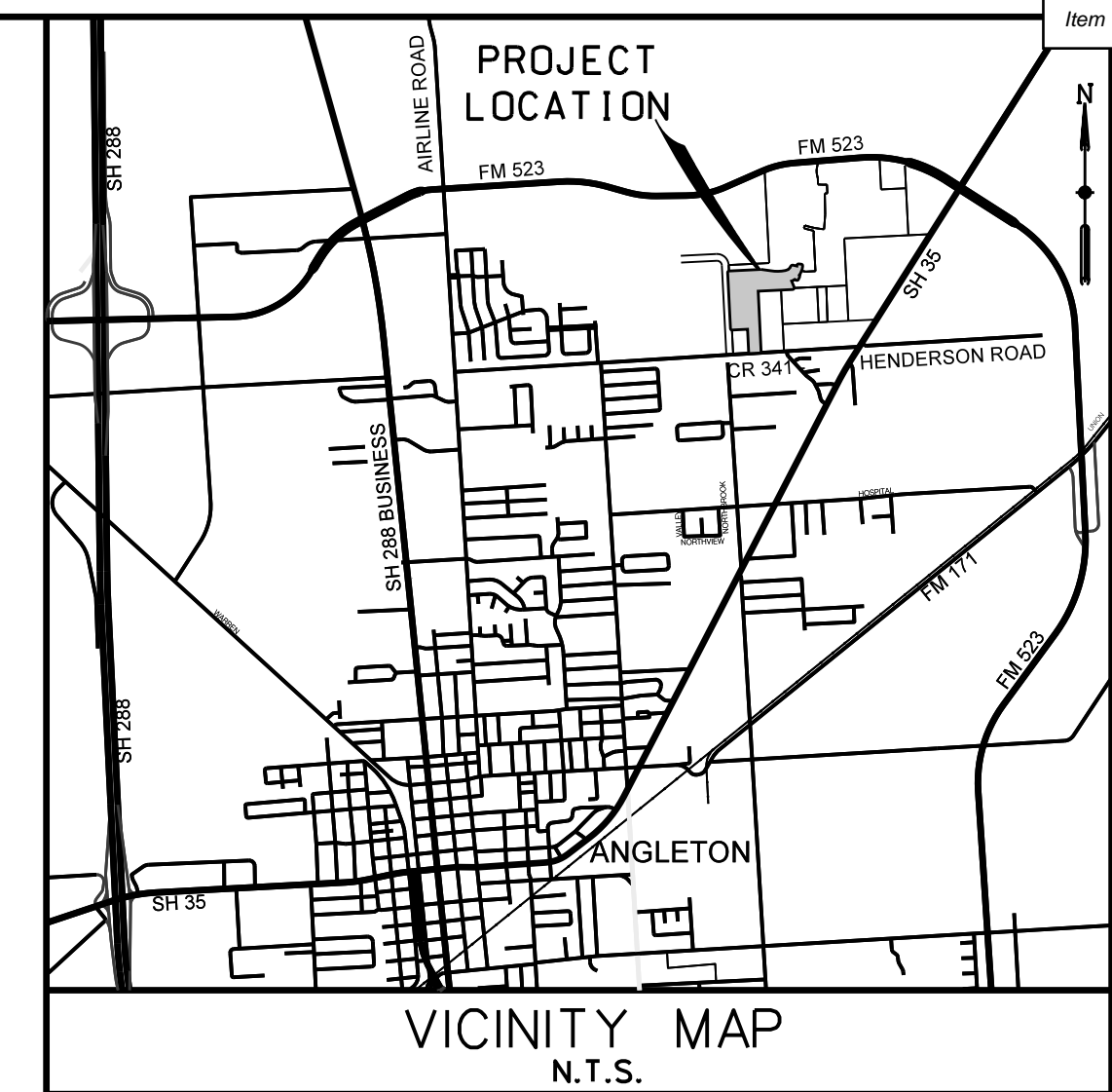
- 1. Thence, with the westerly line of said 154.6-acre tract and the easterly line of said 4.0174-acre tract, North 02 degrees 46 minutes 29 seconds West, a distance of 500.35 feet to a 1/2-inch iron rod inside a 4-inch iron pipe found at an interior corner of said 154.6-acre tract and the northeast corner of said 4.0174-acre tract;
- 2. Thence, with a southerly line of said 154.6-acre tract and the northerly line of said 4.0174-acre tract, South 87 degrees 07 minutes 32 seconds West, a distance of 350.09 feet to a easterly line of a called 9.032-acre tract of land recorded in the name of Angleton Drainage District in Volume 329, Page 340 of the D.R.B.C.;
- 3. Thence, with the westerly line of said 154.6-acre tract and said easterly line of the 9.032-acre tract, North 02 degrees 53 minutes 17 seconds West, a distance of 1,157.44 feet to the southwest corner of Reserve "M" of Windrose Green Sec 1, a subdivision recorded in Plat Number 2021062480 of the Brazoria County Plat Records;

Thence, with the south line of said Reserve "M", the following eleven (11) courses:

- 4. North 87 degrees 09 minutes 48 seconds East, a distance of 658.12 feet;
- 5. South 81 degrees 53 minutes 56 seconds East, a distance of 196.45 feet;
- 6. South 83 degrees 12 minutes 15 seconds East, a distance of 78.77 feet;
- 7. South 88 degrees 16 minutes 59 seconds East, a distance of 78.13 feet;
- 8. North 86 degrees 25 minutes 02 seconds East, a distance of 78.13 feet;
- 9. North 81 degrees 27 minutes 27 seconds East, a distance of 78.15 feet;
- 10. North 70 degrees 38 minutes 37 seconds East, a distance of 72.88 feet;
- 11. North 44 degrees 06 minutes 33 seconds East, a distance of 69.78 feet;
- 12. North 21 degrees 44 minutes 36 seconds East, a distance of 32.57 feet;
- 13. North 62 degrees 31 minutes 20 seconds East, a distance of 15.14 feet;
- 14. South 76 degrees 41 minutes 55 seconds East, a distance of 115.00 feet to a east line of said Reserve "M";
- 15. Thence, with a east line of said Reserve "M", 31.77 feet along the arc of a curve to the left, said curve having a central angle of 06 degrees 44 minutes 33 seconds, a radius of 270.00 feet and a chord that bears North 09 degrees 55 minutes 49 seconds East, a distance of 31.75 feet;
- 16. Thence, continuing with said east line of Reserve "M", 19.31 feet along the arc of a curve to the left, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,770.00 feet and a chord that bears North 06 degrees 14 minutes 47 seconds East, a distance of 19.31 feet to the southeast corner of Reserve "K" of aforesaid Windrose Green Sec 1, same being the south terminus of Windrose Bend (60' wide) of aforesaid Windrose Green Sec 1;
- 17. Thence, with the south terminus of said Windrose Bend, South 84 degrees 03 minutes 57 seconds East, a distance of 60.00 feet to the west line of Reserve "D" of aforesaid Windrose Green Sec 1;
- 18. Thence, with the west line of said Reserve "D", 19.96 feet along the arc of a curve to the right, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,830.00 feet and a chord that bears South 06 degrees 14 minutes 47 seconds West, a distance of 19.96 feet;
- 19. 84.26 feet along the arc of a curve to the right, to the southwest corner of Reserve "D", totaling a distance of 179.28 feet, through aforesaid 154.6-acre tract, said curve having a central angle of 31 degrees 07 minutes 32 seconds, a radius of 330.00 feet and a chord that bears South 22 degrees 07 minutes 21 seconds West, a distance of 177.08 feet;

Thence, through said 154.6-acre tract, the following seven (7) courses:

- 20. 44.15 feet along the arc of a curve to the left, said curve having a central angle of 101 degrees 11 minutes 11 seconds, a radius of 25.00 feet and a chord that bears South 12 degrees 54 minutes 25 seconds East, a distance of 38.63 feet;
- 21. South 26 degrees 29 minutes 59 seconds West, a distance of 60.00 feet;
- 22. 37.53 feet along the arc of a curve to the right, said curve having a central angle of 06 degrees 30 minutes 57 seconds, a radius of 330.00 feet and a chord that bears North 60 degrees 14 minutes 32 seconds West, a distance of 37.51 feet;
- 23. 29.10 feet along the arc of a curve to the left, said curve having a central angle of 66 degrees 41 minutes 16 seconds, a radius of 25.00 feet and a chord that bears South 89 degrees 40 minutes 19 seconds West, a distance of 27.48 feet;
- 24. 100.13 feet along the arc of a curve to the right, said curve having a central angle of 17 degrees 23 minutes 09 seconds, a radius of 330.00 feet and a chord that bears South 65 degrees 01 minutes 15 seconds West, a distance of 99.75 feet;
- 25. South 22 degrees 25 minutes 04 seconds East, a distance of 160.17 feet;
- 26. South 02 degrees 47 minutes 14 seconds East, a distance of 15.00 feet to a southerly line of aforesaid 154.6-acre tract and the northerly line of a called 12.40-acre tract of land recorded in the name of Wesley Johnson in File No. 02.052985 of the O.P.R.B.C.;
- 27. Thence, with the common line of said 154.6-acre tract and said 12.40-acre tract, South 87 degrees 12 minutes 46 seconds West, a distance of 241.63 feet to a 3/4-inch iron pipe found at an interior corner of said 154.6-acre tract, the northwest corner of said 12.40-acre tract, and the northeast corner of a called 14.571-acre tract of land recorded in the name of E. J. King, Sr. and Jackie M. King in File No. 2014054480 of the O.P.R.B.C.;
- 28. Thence, continuing with said southerly line of the 154.6-acre tract and with the northerly line of said 14.571-acre tract, South 87 degrees 15 minutes 57 seconds West, a distance of 499.89 feet to a 5/8-inch iron rod found at the northwest corner of said 14.571-acre tract;
- 29. Thence, with an easterly line of said 154.6-acre tract and the westerly line of said 14.571-acre tract, South 02 degrees 45 minutes 27 seconds East, a distance of 1,271.10 feet to a 5/8-inch iron rod found on the northerly right-of-way line of aforesaid Henderson Road;
- 30. Thence, with the southerly line of said 154.6-acre tract and said northerly right-of-way line of Henderson Road, South 87 degrees 06 minutes 09 seconds West, a distance of 198.28 feet to the Point of Beginning and containing 23.70 acres of land.



NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.

NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT."

NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.

NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

FINAL PLAT OF
WINDROSE GREEN
SECTION THREE

BEING 23.70 ACRES

LOCATED IN THE
T. S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS

122 LOTS 3 BLOCKS 4 RESERVES

APRIL, 2023

ENGINEER/SURVEYOR:

Costello



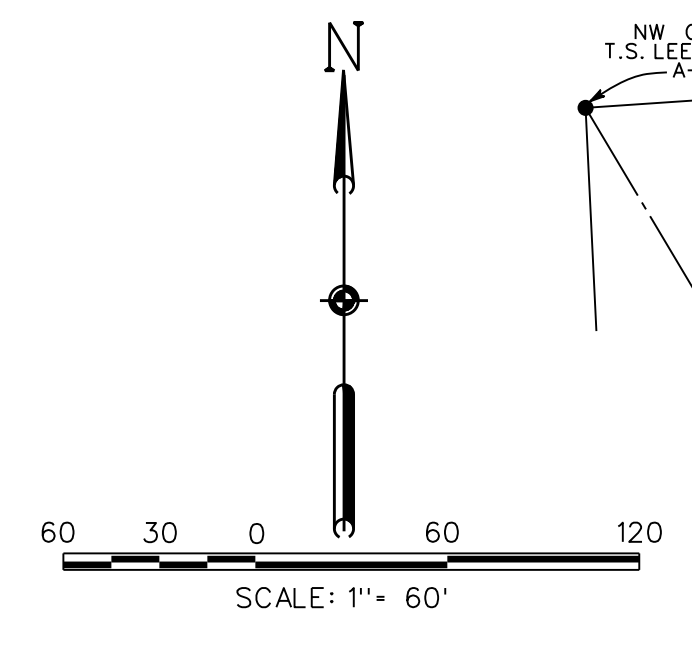
COSTELLO, INC.
2107 CITYWEST BOULEVARD
3RD FLOOR
HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100486

OWNER:

EMPTOR ANGLETON, LLC.,
A TEXAS LIMITED LIABILITY COMPANY

9950 WESTPARK DR. #285
HOUSTON, TEXAS 77063

PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422



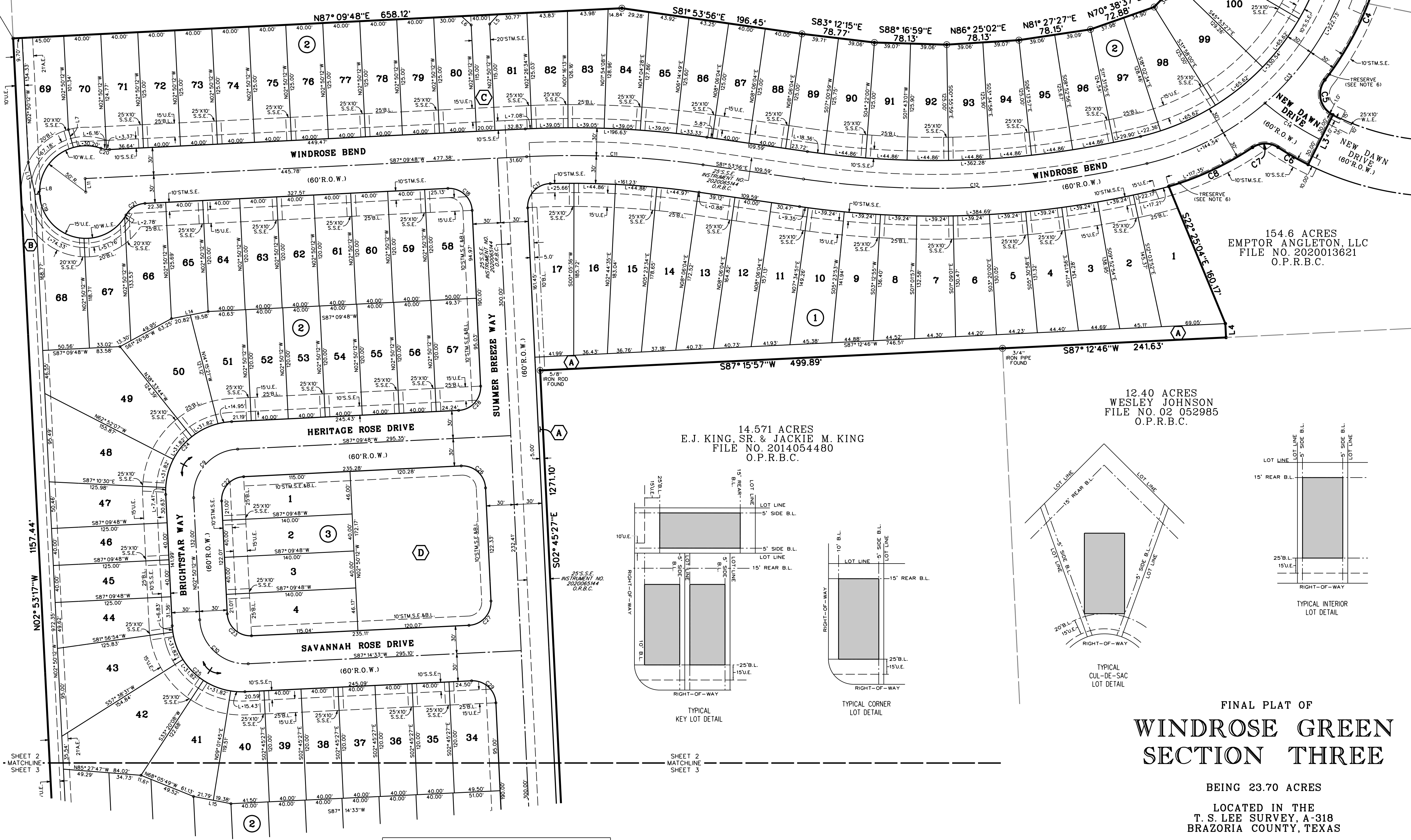
LEGEND

- SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED
- ⊙ FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED
- ① INDICATES BLOCK NUMBER
- Ⓐ INDICATES RESERVE
- ↔ INDICATES STREET NAME BREAK

CALLED 100.000 ACRES
 ANGLETON INDEPENDENT
 SCHOOL DISTRICT
 FILE NO. 2008002676
 O.P.R.B.C.

WINDROSE GREEN
 SEC 1
 PLAT NO. 2021062480
 B.C.P.R.

WINDROSE GREEN
 SEC 1
 PLAT NO.
 2021062480
 B.C.P.R.



RESERVE "A"
 HERITAGE PARK
 SUBDIVISION
 SECTION NO. 2
 DOCUMENT NO. 2017045765
 O.P.R.B.C.

9.032 ACRES
 ANGLETON DRAINAGE DISTRICT
 VOL. 329, PG. 340 D.R.B.C.

14.571 ACRES
 E.J. KING, SR. & JACKIE M. KING
 FILE NO. 2014054480
 O.P.R.B.C.

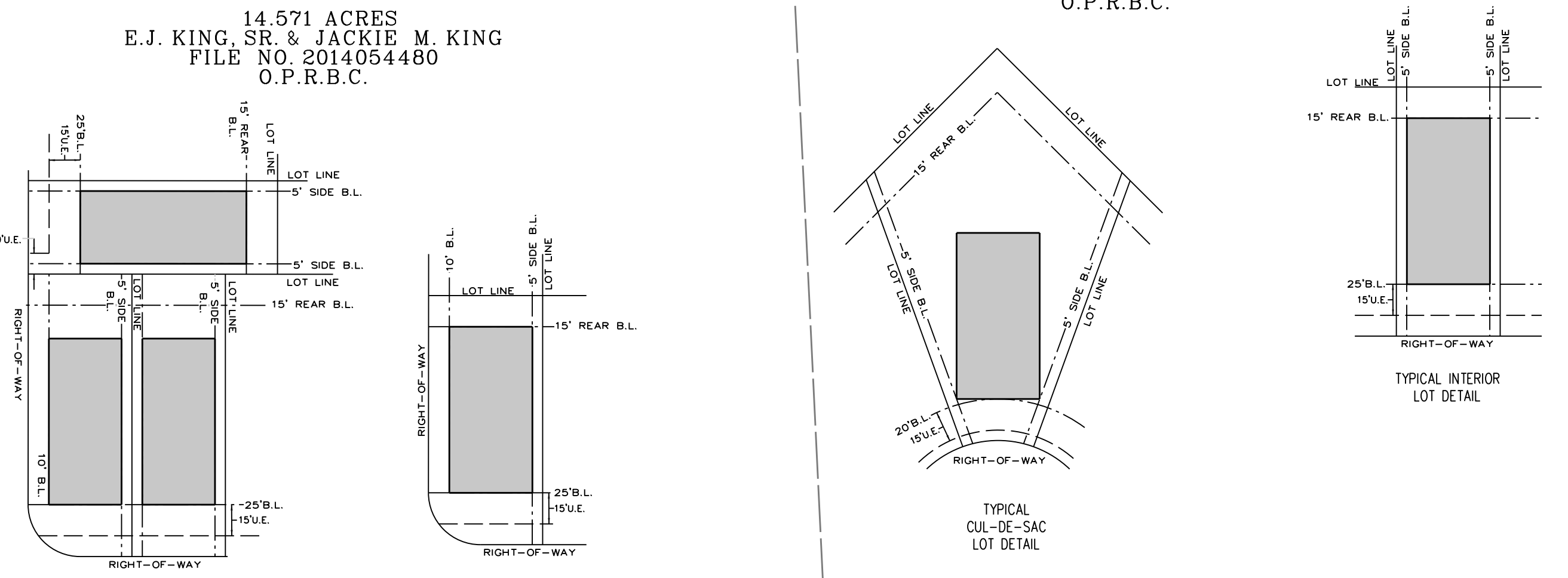
12.40 ACRES
 WESLEY JOHNSON
 FILE NO. 02 052985
 O.P.R.B.C.

154.6 ACRES
 EMPTOR ANGLETON, LLC
 FILE NO. 2020013621
 O.P.R.B.C.

- GENERAL NOTES:
- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM (NAD83, 1993 AD), SOUTH CENTRAL ZONE.
 - ALL EASEMENTS SHOWN ON LOT LINES ARE CENTERED UNLESS OTHERWISE NOTED.
 - EASEMENTS ARE HEREBY RESERVED AS SHOWN TO FACILITATE ROADWAYS, DRAINAGE, AND INSTALLATION OF UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL LINES, WASTEWATER DISPOSAL LINES, GAS, AND WATER LINES. THERE IS ALSO A RESERVED TEN (10) FOOT STRIP CENTERED ALONG ALL TRACT LINES FOR A GENERAL DRAINAGE AND UTILITY EASEMENT.
 - ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
 - ALL DRAINAGE EASEMENTS SHOWN HEREON SHALL BE DEDICATED TO THE PUBLIC AND SHALL BE MAINTAINED BY THE RANCHO ISABELLA MUNICIPAL UTILITY DISTRICT.
 - A ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT PROPERTY. THE CONDITIONS OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RE-SUBDIVIDED IN A RECORDED PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
 - HORIZONTAL DATUM:
 ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
 VERTICAL DATUM:
 ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.
 - ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS, MAP NUMBER 48039C0435 K, DATED DECEMBER 30, 2020 THIS PROPERTY LIES IN UNSHADED ZONE "X", WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
 - NO PIPELINE OR PIPELINE EASEMENT EXISTS WITHIN THE BOUNDARIES OF THIS PLAT.
 - SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF ANGLETON, TEXAS AND OWNER.
 - RESERVES "A", "B", "C" AND "D" WILL BE OWNED AND MAINTAINED BY THE RANCHO ISABELLA MUNICIPAL UTILITY DISTRICT.
 - RESERVE "D" WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

WINDROSE GREEN SECTION THREE RESERVE TABLE		
DESCRIPTION	LAND USE	ACREAGE/SQUARE FOOTAGE
RESERVE "A"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.40 AC. / 17,361 SQ. FT.
RESERVE "B"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.76 AC. / 33,046 SQ. FT.
RESERVE "C"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.06 AC. / 26,000 SQ. FT.
RESERVE "D"	PARK	0.57 AC. / 24,743 SQ. FT.
TOTAL:		1.79 AC. / 101,150 SQ. FT.

ABBREVIATION TABLE	
O.P.R.B.C.	OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY
D.R.B.C.	DEED RECORDS BRAZORIA COUNTY
B.C.P.R.	BRAZORIA COUNTY PLAT RECORDS
C.F. NO.	CLERK'S FILE NUMBER
A.E.	AERIAL EASEMENT
U.E.	UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
STM.S.E.	STORM SEWER EASEMENT
W.L.E.	WATER LINE EASEMENT
D.E.	DRAINAGE EASEMENT
ESMT.	EASEMENT
B.L.	BUILDING LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING



FINAL PLAT OF
WINDROSE GREEN
 SECTION THREE

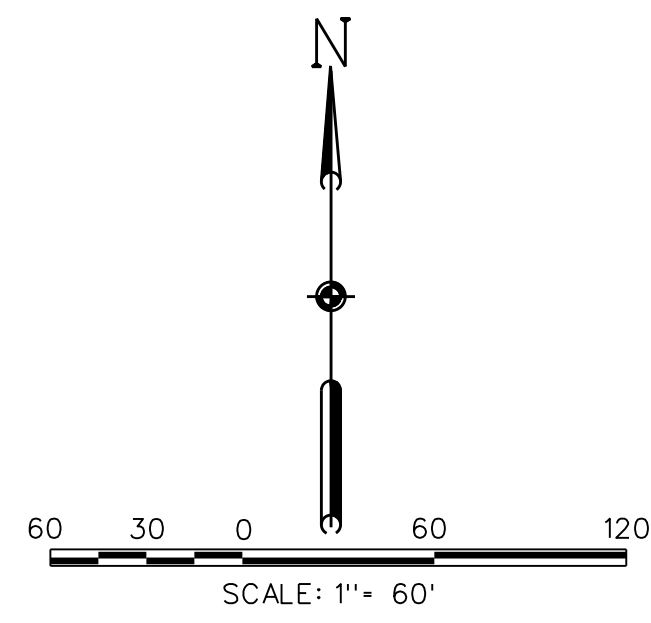
BEING 23.70 ACRES
 LOCATED IN THE
 T. S. LEE SURVEY, A-318
 BRAZORIA COUNTY, TEXAS
 122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' APRIL, 2023

PLANNER:
META
 PLANNING + DESIGN
 24275 KATY FREEWAY, SUITE 200
 KATY, TEXAS 77494
 Tel: 281-810-1422

OWNER:
EMPTOR ANGLETON, LLC.,
 A TEXAS LIMITED LIABILITY COMPANY
 9950 WESTPARK DR. #285
 HOUSTON, TEXAS 77063

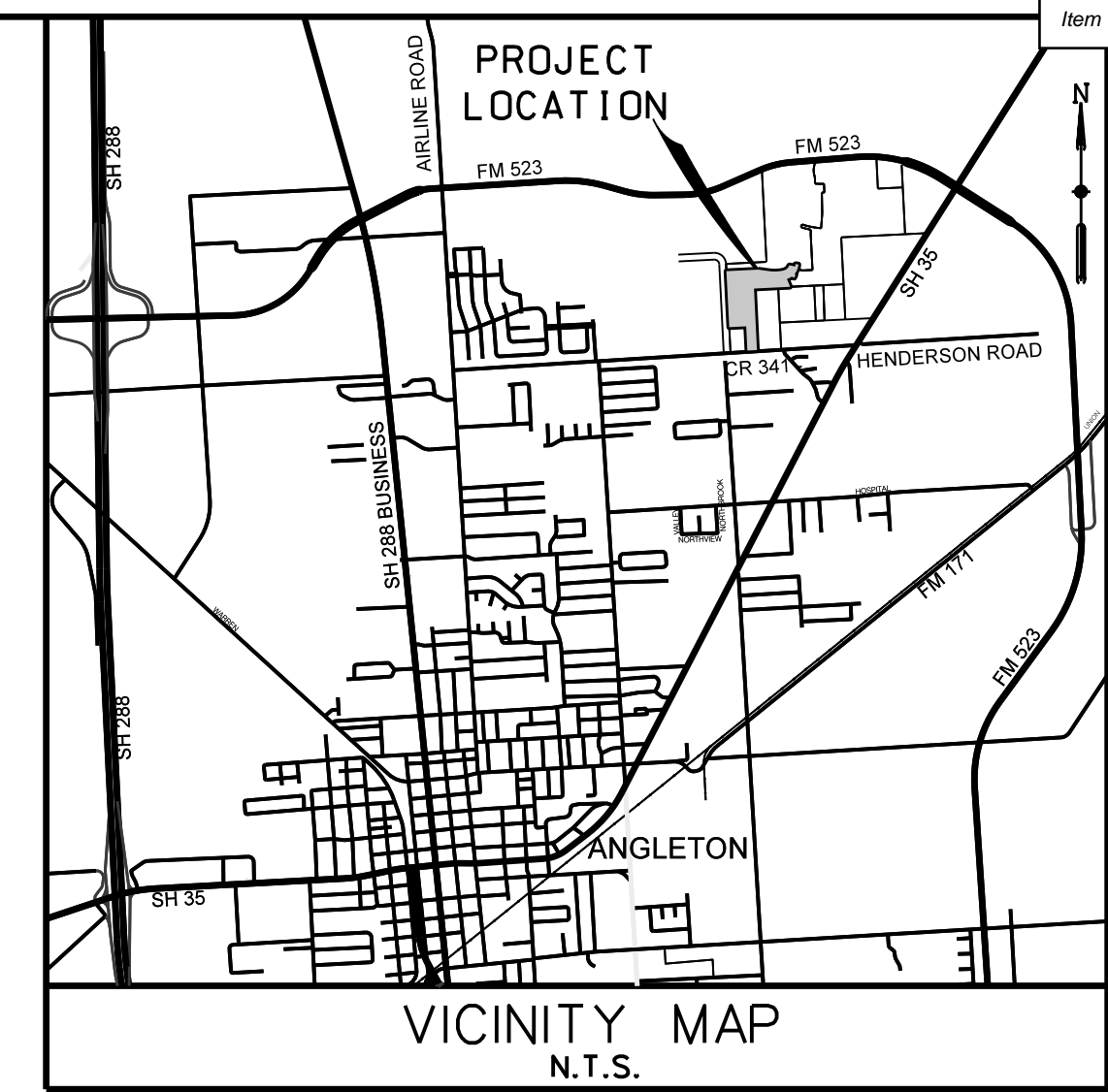
ENGINEER/SURVEYOR:
Costello
 COSTELLO, INC.
 2107 CITYWEST BOULEVARD
 3RD FLOOR
 HOUSTON, TEXAS 77042
 (713) 783-7788 FAX: 783-3580
 TPBE FIRM REGISTRATION NO. 280
 TBPLS FIRM REGISTRATION NO. 100498



LEGEND

- SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED
- ⊙ - FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED
- ① - INDICATES BLOCK NUMBER
- A - INDICATES RESERVE
- - - INDICATES STREET NAME BREAK

ABBREVIATION TABLE	
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U.E.	UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
STM.S.E.	STORM SEWER EASEMENT
W.L.E.	WATER LINE EASEMENT
D.E.	DRAINAGE EASEMENT
ESMT.	EASEMENT
B.L.	BUILDING LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING



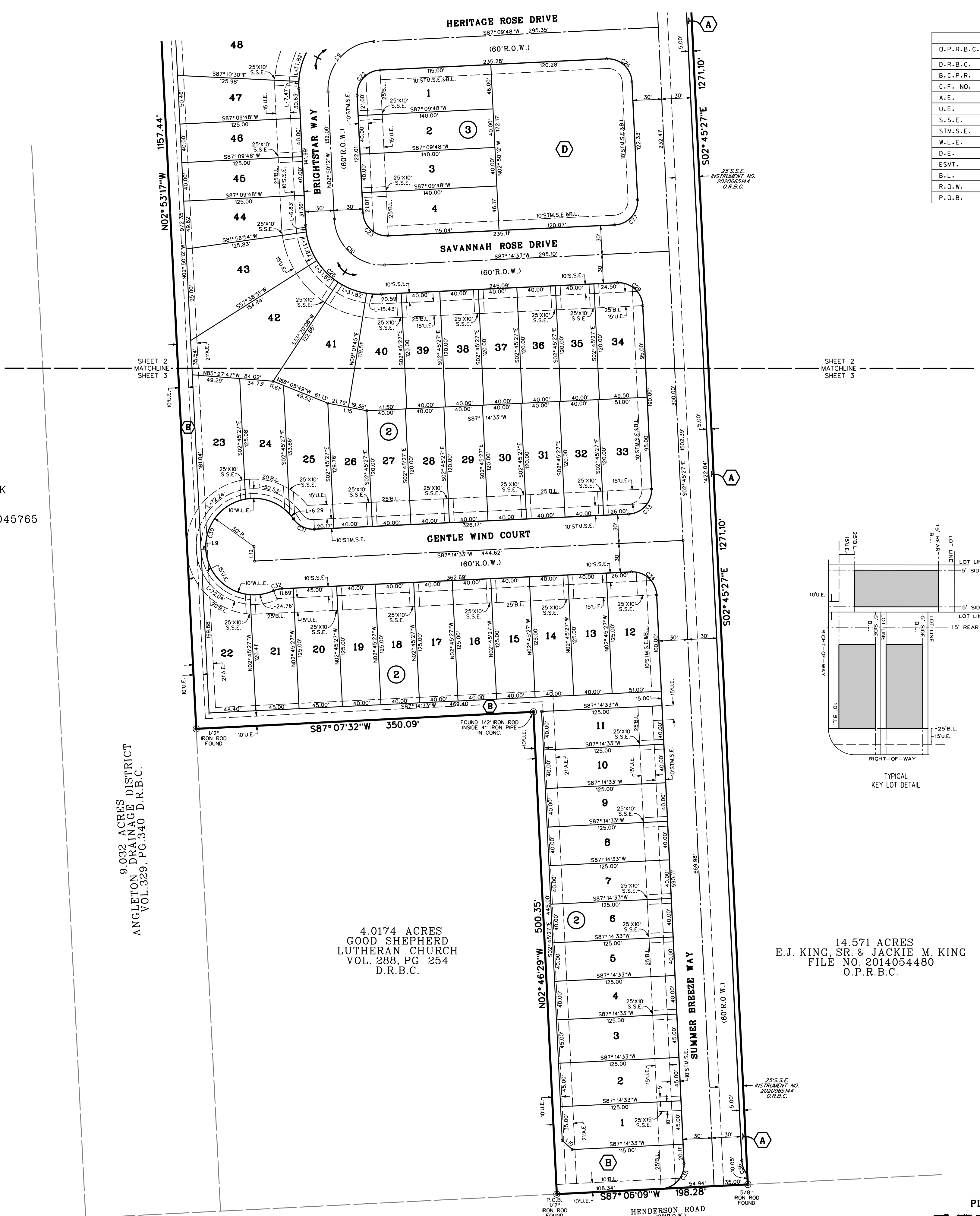
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RESERVE "D"	PARK	0.57 AC. / 24,743 SQ. FT.
TOTAL:		1.79 AC. / 101,150 SQ. FT.

LINE DATA TABLE

NUMBER	DIRECTION	DISTANCE (FEET)
L1	N21°44'36"E	32.57
L2	N62°31'20"E	15.14
L3	S26°29'59"W	60.00
L4	S02°47'14"E	15.00
L5	N42°09'48"E	14.14
L6	N47°50'12"W	14.14
L7	S15°35'32"E	20.00
L8	N87°25'20"E	4.99
L9	S87°07'20"W	5.02
L10	N47°45'27"W	14.14
L11	S02°50'12"E	14.61
L12	N02°45'27"W	15.00
L13	N11°42'23"W	35.46
L14	N79°04'05"E	40.40
L15	N79°03'05"W	41.17

CURVE DATA TABLE

NUMBER	ARC LENGTH (FEET)	RADIUS (FEET)	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH (FEET)
C1	31.77	270.00	6° 44' 33"	N09° 55' 49" E	31.75
C2	19.31	1770.00	0° 37' 30"	N06° 14' 47" E	19.31
C3	19.96	1830.00	0° 37' 30"	S06° 14' 47" W	19.96
C4	179.28	330.00	31° 7' 38"	S22° 07' 27" W	177.08
C5	44.15	25.00	101° 11' 11"	S12° 54' 25" E	38.63
C6	37.53	330.00	6° 30' 57"	N60° 14' 32" W	37.51
C7	29.10	25.00	66° 41' 16"	S89° 40' 19" W	27.48
C8	100.13	330.00	17° 23' 9"	S65° 01' 15" W	99.75
C9	78.54	50.00	90° 0' 0"	N42° 09' 48" E	70.71
C10	78.47	50.00	89° 55' 15"	S47° 47' 50" E	70.66
C11	190.90	1000.00	10° 56' 16"	S87° 22' 04" E	190.61
C12	373.48	1000.00	21° 23' 56"	N87° 24' 06" E	371.32
C13	367.27	300.00	70° 8' 35"	N41° 37' 50" E	344.76
C14	71.98	300.00	13° 44' 47"	S56° 37' 37" E	71.80
C15	19.63	1800.00	0° 37' 30"	N06° 14' 47" E	19.63
C16	16.09	25.00	36° 52' 11"	S21° 11' 33" E	15.81
C17	39.85	25.00	91° 20' 7"	S42° 54' 37" W	35.76
C18	39.30	25.00	90° 4' 45"	N42° 12' 10" E	35.36
C19	226.25	50.00	259° 15' 58"	S20° 37' 23" E	77.01
C20	9.53	25.00	21° 50' 48"	S81° 54' 48" E	9.47
C21	25.05	25.00	57° 25' 10"	N58° 27' 13" E	24.02
C22	39.27	25.00	90° 0' 0"	S42° 09' 48" W	35.36
C23	39.24	25.00	89° 55' 15"	S47° 47' 50" E	35.33
C24	117.81	75.00	90° 0' 0"	S42° 09' 48" W	105.07
C25	117.71	75.00	89° 55' 15"	S47° 47' 50" E	105.99
C26	39.30	25.00	90° 4' 45"	S47° 47' 50" E	35.38
C27	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C28	39.24	25.00	89° 55' 15"	N42° 12' 10" E	35.33
C29	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C30	225.85	50.00	258° 48' 31"	S15° 36' 26" W	77.27
C31	25.21	25.00	57° 48' 9"	S63° 52' 23" E	24.15
C32	9.18	25.00	21° 2' 22"	N76° 43' 22" E	9.13
C33	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C34	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C35	39.21	25.00	89° 51' 36"	S42° 10' 21" W	35.31

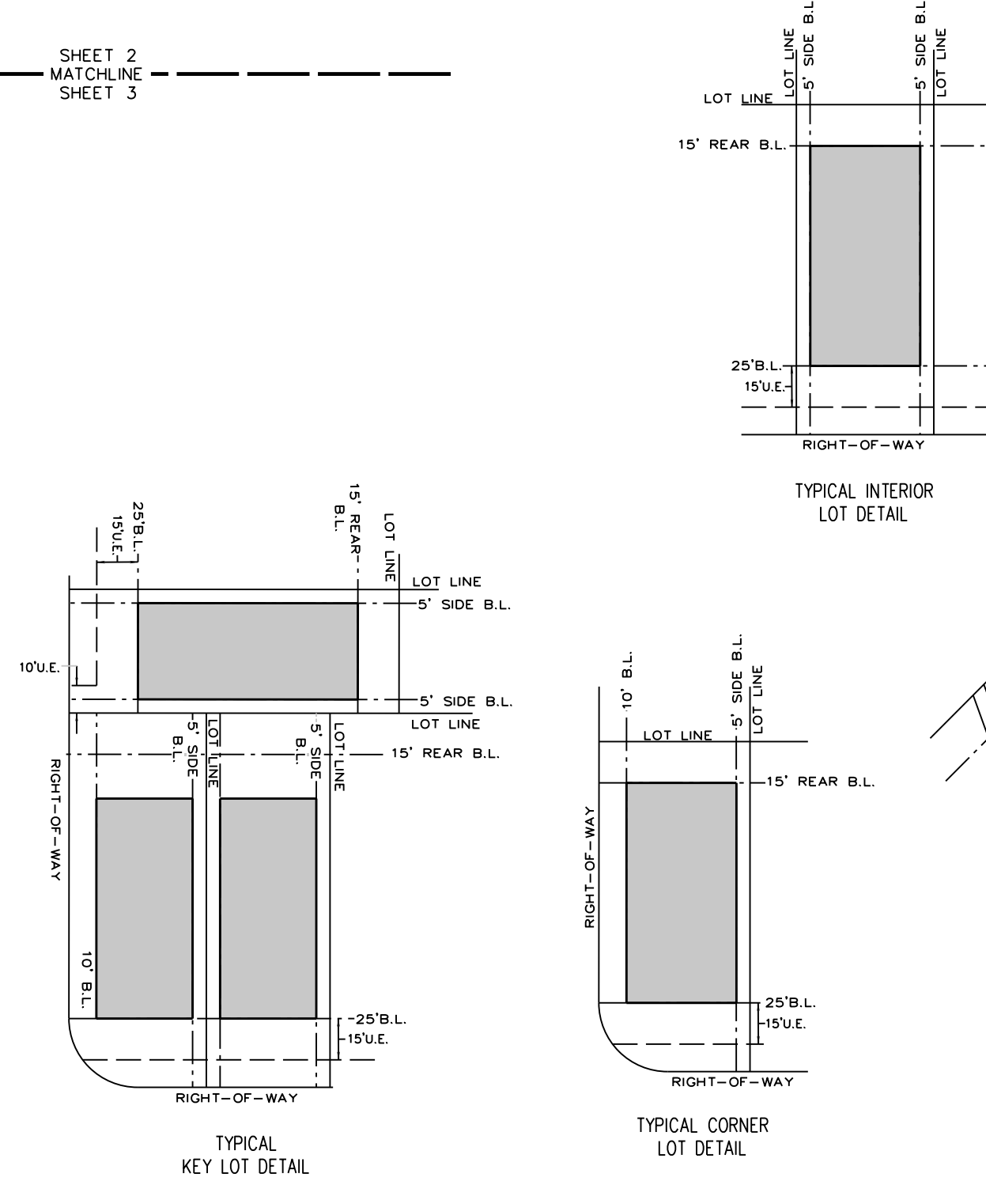


RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
O.P.R.B.C.

9.032 ACRES
ANGLETON DRAINAGE DISTRICT
VOL.329, PG.340 D.R.B.C.

4.0174 ACRES
GOOD SHEPHERD
LUTHERAN CHURCH
VOL. 288, PG 254
D.R.B.C.

14.571 ACRES
E.J. KING SR. & JACKIE M. KING
FILE NO. 2014054480
O.P.R.B.C.



FINAL PLAT OF
WINDROSE GREEN SECTION THREE

BEING 23.70 ACRES
LOCATED IN THE
T.S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS
122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' APRIL, 2023

PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

OWNER:
EMPTOR ANGLETON, LLC.,
A TEXAS LIMITED LIABILITY COMPANY
9950 WESTPARK DR. #285
HOUSTON, TEXAS 77062

ENGINEER/SURVEYOR:
Costello
COSTELLO, INC.
2107 CITYWEST BOULEVARD
3RD FLOOR
HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100486



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 2/28/23

TYPE OF PLAT APPLICATION

ADMINISTRATIVE

MINOR

AMENDING/REPLAT

PRELIMINARY

RESIDENTIAL

COMMERCIAL

FINAL

RESIDENTIAL

COMMERCIAL

Address of property: Henderson Road west of SH 35

Name of Applicant: Remissa M. Garza Montalvo, AICP, (PRA) Phone: 281-788-8015

Name of Company: Costello, Inc. Phone: 713-783-7788

E-mail: rgarza.montalvo@costelloinc.com

Name of Owner of Property: Emptor Angleton, LLC

Address: 9950 Westpark Drive #285 Houston, TX 77063

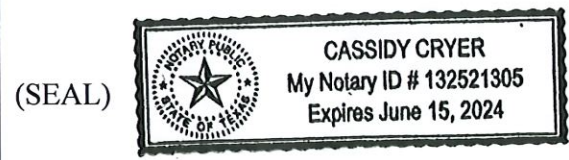
Phone: _____ E-mail: _____

I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) [Signature]

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 27th day of February, 20 23.



Cassidy Cryer
Notary Public for the State of Texas
Commission Expires: 6.15.24

PROJECT SUMMARY FORM

Address of property Henderson Road west of SH35

The subject property fronts 198.28 feet on the north side of Henderson Road

Depth: 1,722 Area: 23.70 Acres: 1,032,372 square feet

INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):

For the development of 122 single-family residential lots and four reserves.

Is this platting a requirement for obtaining a building permit? YES NO

INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.

Name: Remissa M. Ganza Montalvo Date: 2/28/23
ALCP, UPRP

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description)

Being 23.70ac located in the T.S. Lee Survey, A-318 Brazoria County, TX

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Costello Engineering (Remissam Gana Montalvo AICP, CRRP)

ADDRESS: 2107 City West Blvd, 3rd Fl Houston, TX 77042

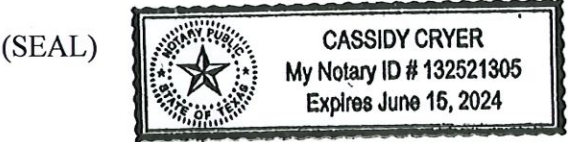
APPLICANT PHONE # 281-788-8015 E-MAIL: rganzamontalvo@costelloinc.com

PRINTED NAME OF OWNER: Jeb Kolby, P.E. (Concourse Development, LLC)

SIGNATURE OF OWNER: [Handwritten Signature] DATE: 2/27/23

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 27th day of February, 2023.



[Handwritten Signature] Notary Public for the State of Texas Commission Expires: 6.15.24

SUBMITTAL REQUIREMENTS

Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN_DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

1. A completed application form and application fee;
2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with §117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
3. A preliminary utility plan showing all existing and proposed utilities;
4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
6. A drainage report, as set out in section 23-15, Drainage and utilities;
7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
8. A current tax certificate(s);
9. Construction plans may be submitted at the option of the applicant;
10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
12. Heritage tree survey and a tree preservation plan;
13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

***RESIDENTIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

200 Lots or less	\$800.00 plus \$6.00 per lot
More than 200 Lots	\$4.00 per additional lot over 200
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

***COMMERCIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time)

OFFICE USE ONLY:

Date received: _____ By: _____

Type of Plat: _____

Description of individual charges:

Total Fee Received: _____ By: _____

Proof of taxes received: Yes If no, explain: _____

PRELIMINARY PLAT MEETINGS:

Pre-submission conference/meeting date: _____

Received Preliminary Plat on: _____ by _____

Preliminary plat staff meeting date: _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

FINAL PLAT MEETINGS:

Received final plat on _____ by _____

Reviewed by Staff on _____ by _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

Filed with County Clerk on: _____

File-stamped copy to owner/developer on: _____



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on a Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes, out of the Shubael Marsh Survey A-81 & A-82, Brazoria County, Texas as submitted by Ashton Gray Development.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

Consideration of approval of a Preliminary Plat for Ashland Development Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes and to allow for a lift station, out of the Shubael Marsh Survey A-81 & A-82, Brazoria County, Texas as submitted by META Planning and Design LLC on behalf of Ashton Gray Development.

The property is currently within the ETJ, Extraterritorial Jurisdiction within Brazoria County.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Utility Reserve, and listed (9) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

RECOMMENDATION: The planning commission should approve the Preliminary Plat for Ashland Development Utility Reserve, 0.23 acres of land, containing two reserves in one block for utility purposes and a lift station and recommend it to City Council for final action, subject the final approval of the Development Agreement.

April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Ashland Subdivision – Utility Reserves Preliminary Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 1

1. Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1).
2. Metes and Bounds Field Notes to be provided.
3. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
4. Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station).
5. Plat note #9 - For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.
6. At least one corner referencing a survey (abstract) corner per Angleton LDC Sec. 23-117 B.1.a.
7. Verify table to include decimals to correlate with metes and bounds description to be provided.
8. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
9. Complete all information noted in the dedication statement.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Utility Reserves Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

Complete all information noted in the dedication statement.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.

The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner

Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jores, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jores
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THE PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

Mayor

City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____, 20____, by _____, City Secretary, City of Angleton, on behalf of the City.

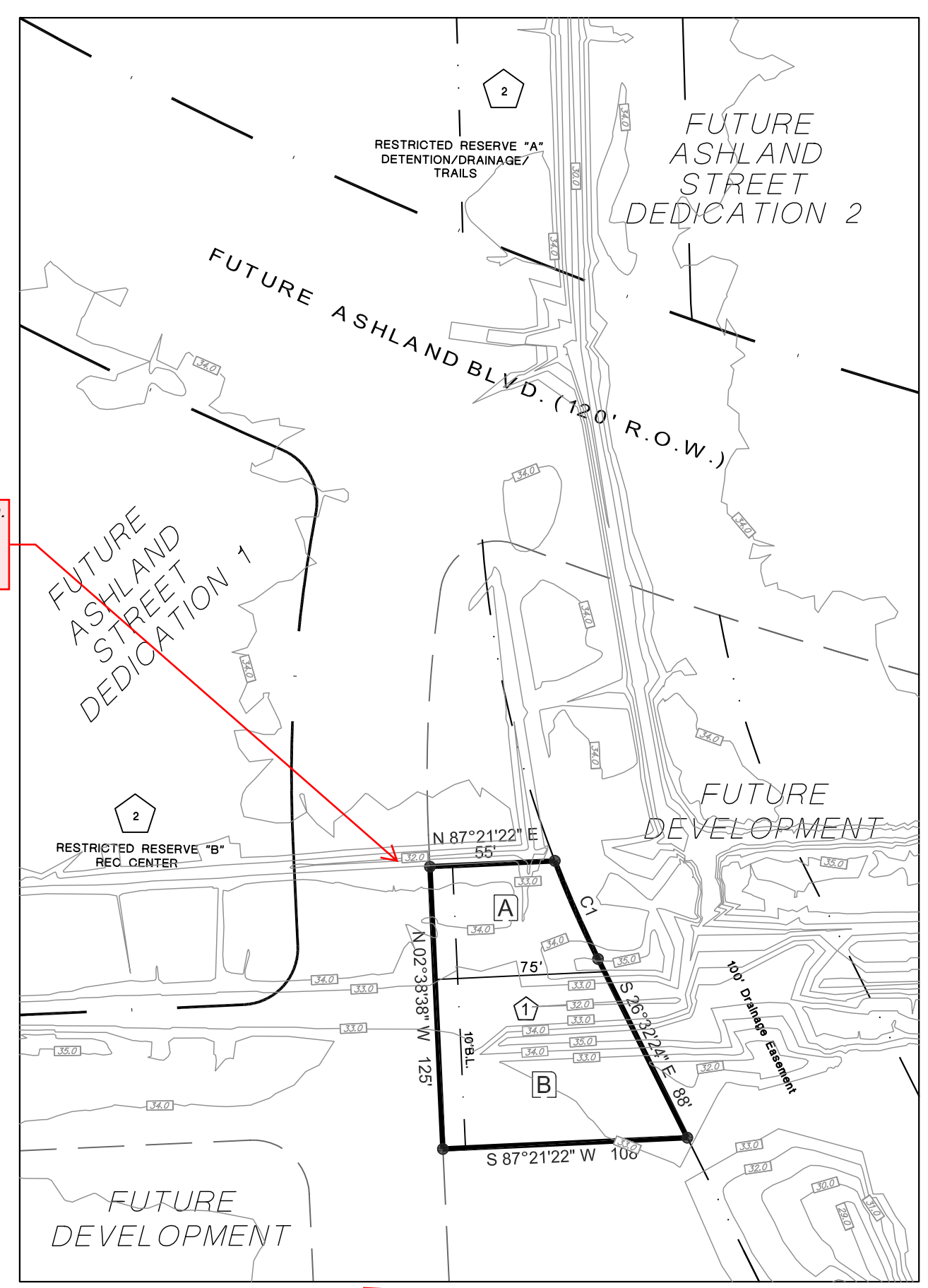
Notary Public
State of Texas

- LEGEND:
- 1.) "B.L." INDICATES BUILDING LINE.
 - 2.) "AC." INDICATES ACREAGE.
 - 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
 - 4.) "P.O.B." INDICATES POINT OF BEGINNING.
 - 5.) "NO." INDICATES NUMBER.
 - 6.) "U" INDICATES UTILITY EASEMENT.
 - 7.) "[A]" INDICATES RESERVE NUMBER.

GENERAL NOTE:

- 1.) "U.E." INDICATES UTILITY EASEMENT.
- 2.) "1' RES." INDICATES ONE FOOT RESERVE. dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs assigns, or successors.

- 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 8.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
- 10.) HORIZONTAL DATUM: ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
- 11.) VERTICAL DATUM: ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.
- 12.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 48545B, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- 13.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- 14.) QUIDDITY ENGINEERING, LLC, TPBE FIRM REGISTRATION No. F-23290, TPBLS FIRM REGISTRATION No. 10046100, IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
- 15.) PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC., UPON RECORDATION OF A FINAL PLAT.
- 16.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.



LDC Sec. 23-117 B.1.a
- At least one corner referencing a survey (abstract) corner.

Recommend adding additional scale information under the plat drawing for clarification purposes.

CURVE TABLE

CURVE	ARC RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	500'	47'	24'	S 2349°17' E	47'

LAND USE TABLE

RESERVE	ACREAGE	SQ. FT.	LAND USE
[A]	±0.07	3,233	UTILITIES
[B]	±0.16	6,871	LIFT STATION

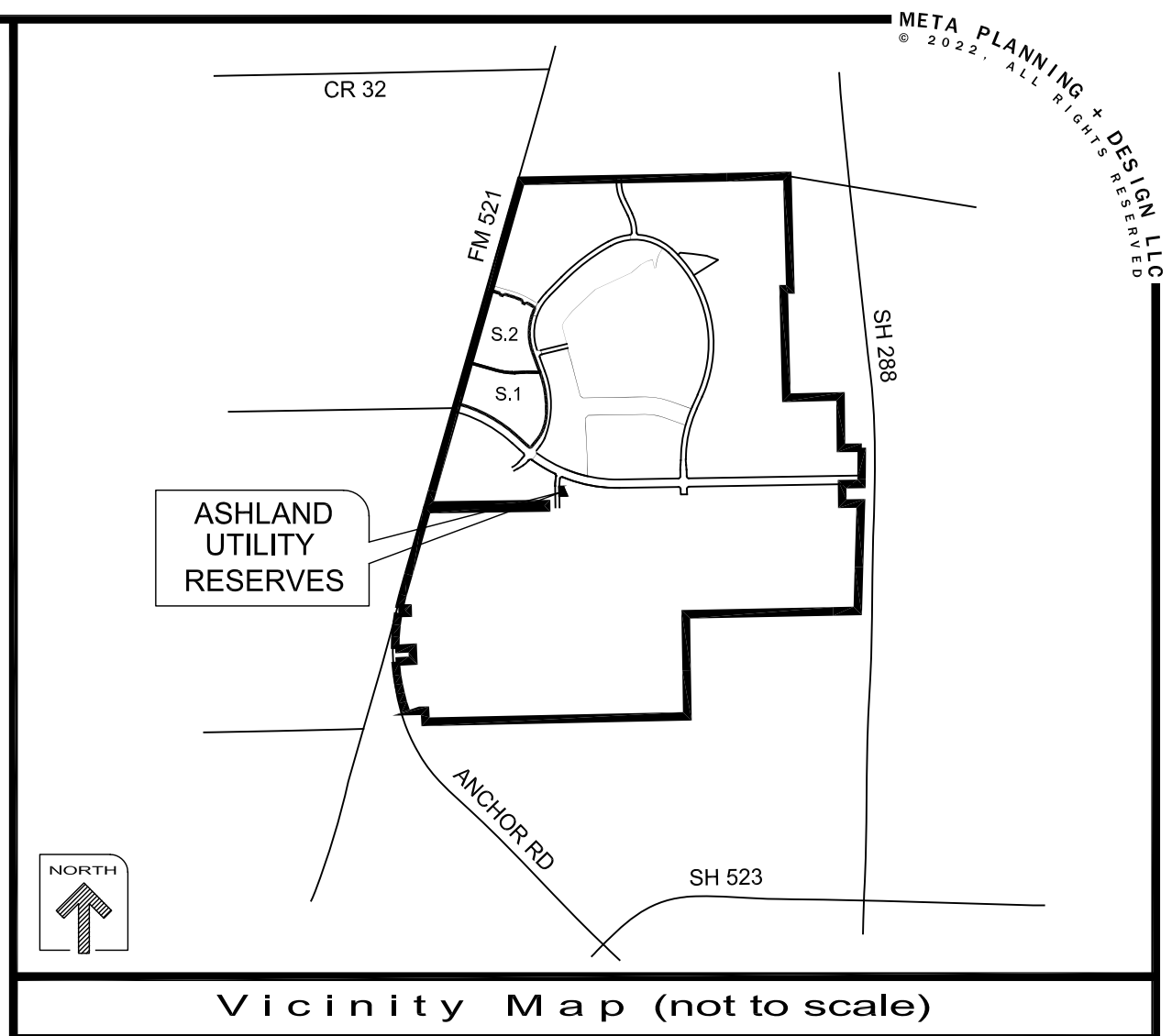
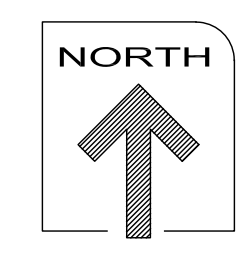
Typical: Verify table to include decimals to correlate with metes and bounds description to be provided.

Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1)

Plat note #9 - For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.

Verify information noted. It appears this subdivision is completely within Zone X (shaded).

Verify and note minimum critical elevation information for proposed facilities (e.g. lift station).



Metes and Bounds Field Notes to be provided

ASHLAND UTILITY RESERVES

BEING 0.23± ACRES OF LAND CONTAINING TWO RESERVES IN ONE BLOCK.

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC
1501 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TPBELS Firm Registration No. 10046104



SCALE: 1" = 60'

MARCH 1, 2023

MTA-78006

April 3, 2023

Mr. Otis Spriggs
Development Services Director
121 S. Velasco Street,
Angleton, TX, 77515

Re: ASHLAND UTILITY AND LIFT STATION RESERVES- RESUBMITTAL

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

1. Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1).
Response: The plat has been renamed Ashland Utility and Lift Station Reserves. Please see updated plat.
2. Metes and Bounds Field Notes to be provided.
Response: Metes and Bounds have been included. Please see updated plat.
3. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
Response: The FIRM information as provided is correct.
4. Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station).
Response: A note to address this has been added to the plat. Please see updated plat.
5. Plat note #9 - For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.
Response: Note #9 has been updated to read as follows: "All reserves shall be owned and maintained by Brazoria County MUD 82 or Centric Gas and Fiber" (Centric will maintain the Fiber Hub). Please see updated plat.
6. At least one corner referencing a survey (abstract) corner per Angleton LDC Sec. 23-117 B.1.a.
Response: A survey tie has been provided. Please see updated plat.
7. Update table to include decimals as noted in the metes and bounds description (Typical).
Response: The line and curve tables have been updated to reflect decimals. Please see updated plat.
8. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
Response: The boundary is not within this plat boundary.
9. Complete all information noted in the dedication statement.
Response: The dedication statement has been completed. Please see updated plat.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,



Caitlin King
Enclosure

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Ashland Utility and Lift Station Reserves, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:
"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).
The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.
The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.
The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner
Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:
That I, Steve Jores, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plot from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jores
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:
That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING AND ZONING COMMISSION AND/OR CITY-COUNCIL. THE PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

APPROVED this _____ day of _____ 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission
City Secretary

APPROVED this _____ day of _____ 20____, by the City Council, City of Angleton, Texas.

Mayor
City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____ 20____, by _____, City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 0.2320-acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPR08C); said 0.2320-acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01-008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Records;

THENCE, South 14°02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1527.59 feet to a point for corner, from which a found 1/2-inch iron rod (with cap stamped "CBG") bears South 14°02'37" West, 554.42 feet;

THENCE, over and across said 469.08-acre tract the following six (6) courses and distances:

- 1. South 75°57'23" East, 1730.07 feet to a point for corner marking the POINT OF BEGINNING of the herein described subject tract;
- 2. North 87°21'22" East, 55.31 feet to a point for corner marking the beginning of a non-tangent curve to the left;
- 3. Along the arc of said non-tangent curve to the left having a radius of 500.00 feet, a central angle of 05°26'14", an arc length of 47.45 feet, and a long chord bearing South 23°49'17" East, with a chord length of 47.43 feet to a point for corner;
- 4. South 26°32'24" East, 88.34 feet to a point for corner;
- 5. South 87°21'22" West, 108.23 feet to a point for corner;

North 02°38'38" West, 125.00 feet to the POINT OF BEGINNING, CONTAINING 0.2320 acres of land situated in Brazoria County, Texas

GENERAL NOTE:
1.) "U.E." INDICATES UTILITY EASEMENT.
2.) "1' RES." INDICATES ONE FOOT RESERVE.

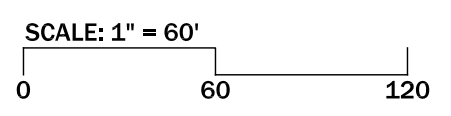
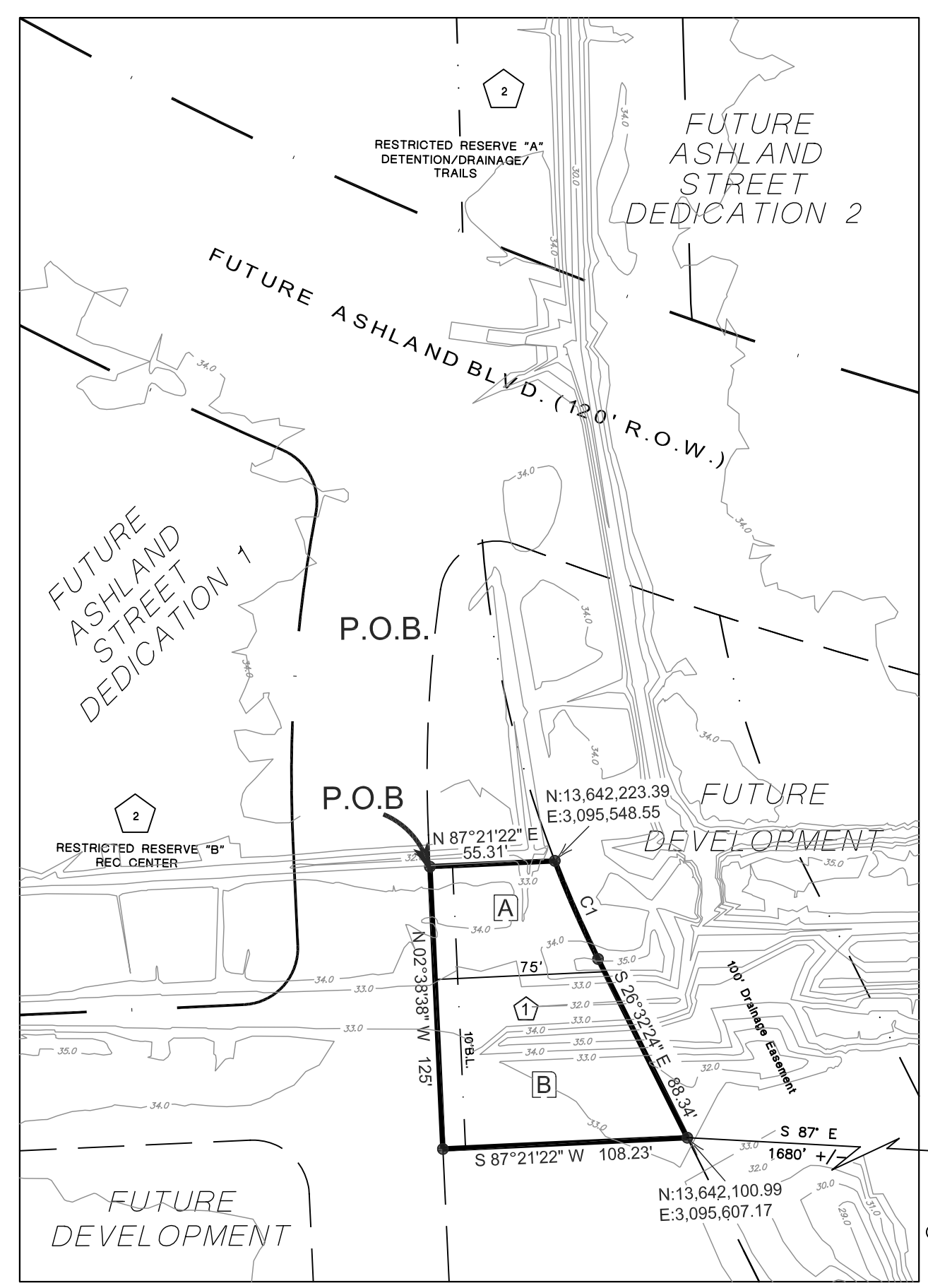
dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicatior, his heirs assigns, or successors.

- 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 8.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY BRAZORIA COUNTY MUD 82 OR CENTRIC GAS AND FIBER.

10.) HORIZONTAL DATUM:
ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.

VERTICAL DATUM:
ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.

- 11.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- 13.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No. 10046100, IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
• PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC., UPON RECORDATION OF A FINAL PLAT.
- 15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.
- 16.) CRITICAL ELEVATIONS SHALL BE SET PER CITY OF ANGLETON GUIDELINES FOR MINIMUM SLAB ELEVATIONS.

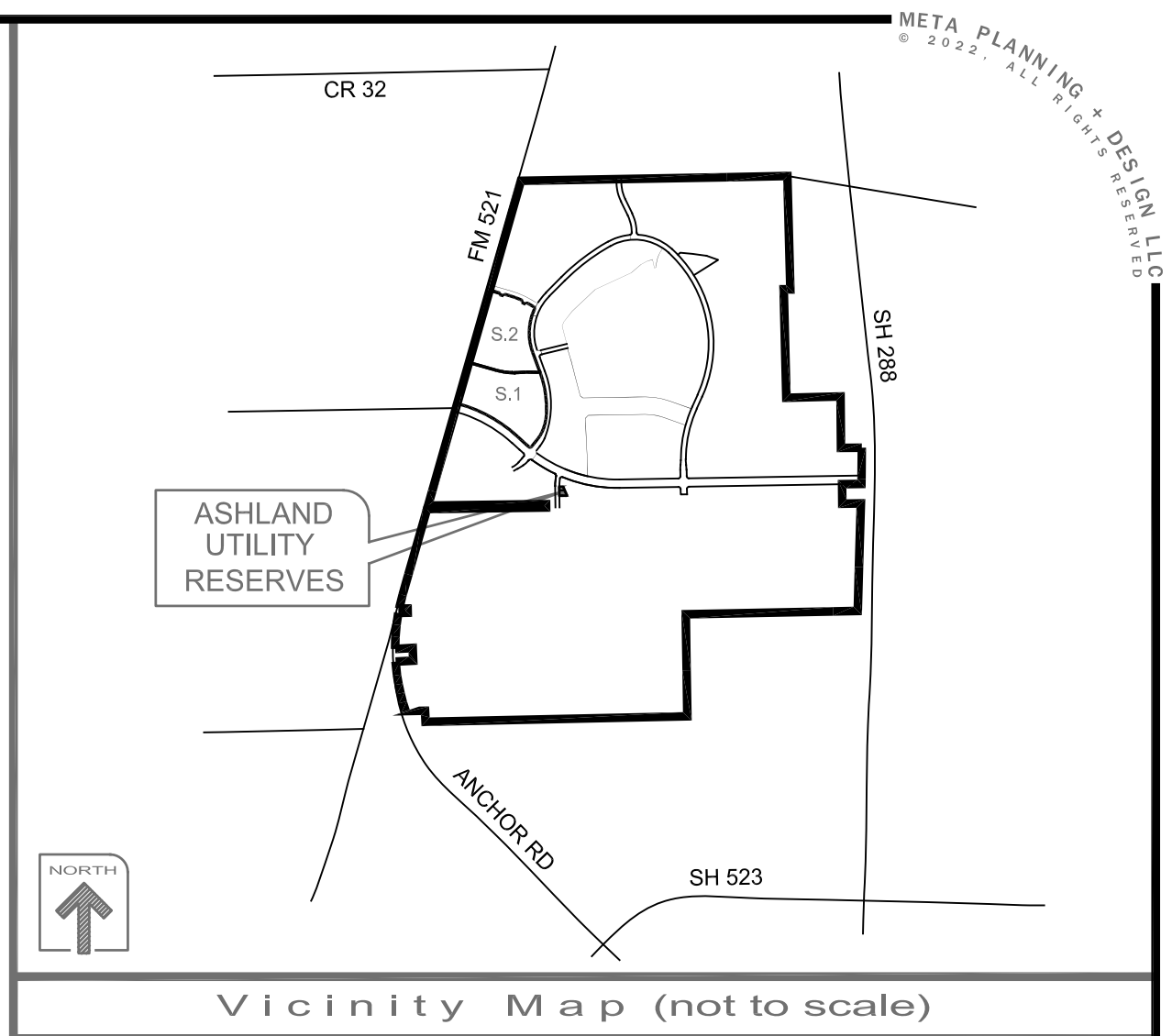
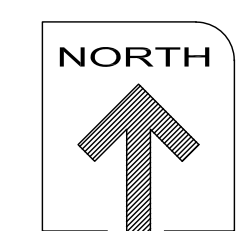


CURVE TABLE

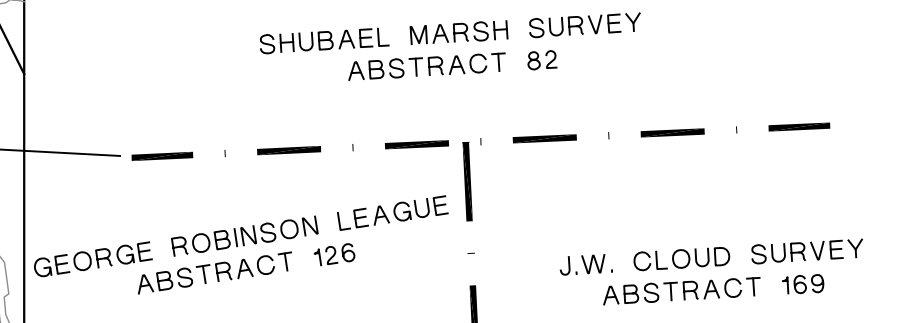
CURVE	ARC RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	500'	05°26'14"	47.45'	S 23°9'17" E	47.43'

LAND USE TABLE

RESERVE	ACREAGE	SQ. FT.	LAND USE
[A]	±0.07	3,233	UTILITIES
[B]	±0.16	6,871	LIFT STATION



- LEGEND:
- 1.) "B.L." INDICATES BUILDING LINE.
 - 2.) "AC." INDICATES ACREAGE.
 - 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
 - 4.) "P.O.B." INDICATES POINT OF BEGINNING.
 - 5.) "NO." INDICATES NUMBER.
 - 6.) "Ⓜ" INDICATES BLOCK NUMBER.
 - 7.) "[A]" INDICATES RESERVE NUMBER.



ASHLAND UTILITY AND LIFT STATION RESERVES

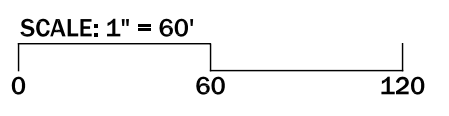
BEING 0.23± ACRES OF LAND CONTAINING TWO RESERVES IN ONE BLOCK.

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104



APRIL 03, 2023



PLANNER:
META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

MTA-78006



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on the preliminary plat of the Ashland Project Coral Haven Street Dedication

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY. This is a request for approval of the Ashland Project Street Dedication #2 Preliminary Plat (Attachment 1). The subject property is located within the City of Angleton ETJ between SH 521 and SH 288 and north of SH 523. No development agreement is in place to establish standards for the Ashland Project.

For roads, the construction of which are governed by the pending development agreement between City and developer, County and City shall jointly coordinate and cross-reference construction standards to verify that the roads are constructed to meet or exceed County standards.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Development Coral Haven Street Dedication Plat, and listed (7) comments that were all addressed by the applicant after agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Ashland Coral Haven Street Dedication Plat and forward it to City Council for final action, subject to the final approval of the Development Agreement.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Ashland Subdivision – Coral Haven Street Dedication Preliminary Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
2. Verify and update bearing information shown in the metes and bounds description (Typical).
3. Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point of beginning.

Sheet 2 of 2

1. Label tables shown on the plat (Typical).
2. Update table to include central angle information as noted in the metes and bounds description (Typical).
3. Update table to include decimals as noted in the metes and bounds description (Typical).
4. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Coral Haven Street Dedication Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Coral Haven Street Dedication, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

APPROVED this _____ day of _____ 20____ by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____ 20____ by the City Council, City of Angleton, Texas.

Mayor

City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plot is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

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The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.

The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner

Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §
KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §
KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer
No. 101133

DISCLAIMER AND LIMITED WARRANTY

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STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____ 20____ by _____ City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

GENERAL NOTE:

- "U.E." INDICATES UTILITY EASEMENT.
- "1' RES." INDICATES ONE FOOT RESERVE.
dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs assigns, or successors.
- ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
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- ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
- HORIZONTAL DATUM:
ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
- VERTICAL DATUM:
ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HC0G_14012.
- THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- QUIDDITY ENGINEERING, LLC., TBPE FIRM REGISTRATION NO. F-23290, TBPLS FIRM REGISTRATION No. 10046100., IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
- PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC, UPON RECORDATION OF A FINAL PLAT.
- LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

LEGEND:

- 1.)
- 2.) "AC." INDICATES ACREAGE.
- 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
- 4.) "P.O.B." INDICATES POINT OF BEGINNING.
- 5.) "VOL." INDICATES VOLUME.
- 6.) "PG." INDICATES PAGE.
- 7.) "Ⓜ" INDICATES BLOCK NUMBER.
- 8.)
- 9.) "A" INDICATES RESERVE NUMBER.

LINE	DISTANCE	BEARING
L1	66'	N60°41'32" W
L2	60'	N60°32'39" W
L3	60'	N75°57'23" W
L4	60'	N75°57'23" W
L5	154'	N75°57'23" W
L6	120'	N14°02'37" E
L7	279'	S75°57'23" E
L8	83'	N60°41'32" E
L9	117'	S20°54'50" W

CURVE	RADIUS	ARC	TANGENT	BEARING	CHORD
C1	1200'	320'	161'	S 68°19'27" E	319'
C2	990'	419'	206'	S 10°14'11" W	407'
C3	25'	39'	22'	S 10°19'20" E	33'
C4	1160'	26'	14'	S 81°23'00" E	26'
C5	25'	41'	27'	S 10°14'20" W	33'
C6	1030'	7'	7'	S 23°24'4" W	7'
C7	25'	40'	26'	S 23°19'50" E	30'
C8	1160'	170'	80'	N71°48'50" W	170'
C9	25'	39'	25'	S 50°02'37" W	35'
C10	25'	39'	25'	N 30°57'23" W	35'
C11	25'	39'	25'	S 50°02'37" W	35'
C12	25'	39'	25'	N 30°57'23" W	35'
C13	1230'	329'	165'	S 68°19'27" E	328'
C14	25'	39'	24'	S 25°09'50" W	35'

Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point of beginning.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 1.2349-acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPR980), said 1.2349-acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone:

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01-008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Records;

THENCE, South 14°02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1527.59 feet to a point for corner being the POINT OF BEGINNING of the herein described subject tract marking the beginning of a non-tangent curve to the left;

THENCE, over and across said 469.08-acre tract the following twenty (20) courses and distances:

- Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing South 30°57'23" East, with a chord length of 35.36 feet to a point for corner;
- South 75°57'23" East, 274.63 feet to a point for corner marking the beginning of a curve to the right;
- Along the arc of said curve to the right having a radius of 1235.00 feet, a central angle of 15°15'51", an arc length of 329.02 feet, and a long chord bearing South 68°19'27" East, with a chord length of 328.04 feet to a point for corner;
- South 60°41'32" East, 62.99 feet to a point for corner marking the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 88°17'40", an arc length of 38.53 feet, and a long chord bearing North 75°09'38" East, with a chord length of 34.83 feet to a point for corner marking the beginning of a compound curve to the left;
- Along the arc of said compound curve to the left having a radius of 815.00 feet, a central angle of 08°11'57", an arc length of 116.63 feet, and a long chord bearing South 26°54'50" West, with a chord length of 116.53 feet to a point for corner marking the beginning of a compound curve to the left;
- Along the arc of said compound curve to the left having a radius of 25.00 feet, a central angle of 83°30'22", an arc length of 36.44 feet, and a long chord bearing North 18°56'20" West, with a chord length of 33.30 feet to a point for corner;
- North 60°41'32" West, 68.01 feet to a point for corner marking the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 1165.00 feet, a central angle of 01°22'57", an arc length of 28.11 feet, and a long chord bearing North 61°23'00" West, with a chord length of 28.11 feet to a point for corner marking the beginning of a compound curve to the left;
- Along the arc of said compound curve to the left having a radius of 25.00 feet, a central angle of 94°28'10", an arc length of 41.22 feet, and a long chord bearing South 70°41'26" West, with a chord length of 36.71 feet to a point for corner;
- North 66°32'38" West, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the right;
- Along the arc of said non-tangent curve to the right having a radius of 1020.00 feet, a central angle of 00°10'45", an arc length of 3.19 feet, and a long chord bearing North 23°32'44" East, with a chord length of 3.19 feet to a point for corner marking the beginning of a reverse curve to the left;
- Along the arc of said reverse curve to the left having a radius of 25.00 feet, a central angle of 91°14'34", an arc length of 39.81 feet, and a long chord bearing North 21°59'10" West, with a chord length of 35.74 feet to a point for corner marking the beginning of a compound curve to the left;
- Along the arc of said compound curve to the left having a radius of 1165.00 feet, a central angle of 08°20'55", an arc length of 169.75 feet, and a long chord bearing North 71°46'55" West, with a chord length of 169.60 feet to a point for corner;
- North 75°57'23" West, 60.27 feet to a point for corner marking the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing South 59°02'37" West, with a chord length of 35.36 feet to a point for corner;
- North 75°57'23" West, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the left;
- Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing North 30°57'23" West, with a chord length of 35.36 feet to a point for corner;
- North 75°57'23" West, 104.37 feet to a point for corner marking the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing South 59°02'37" West, with a chord length of 35.36 feet to a point for corner marking the southwest corner of the herein described subject tract, being common with the east line of aforementioned F.M. Highway 521 and the west line of said 469.08-acre tract;

THENCE, North 14°02'37" East, along said common lines, 120.00 feet to the POINT OF BEGINNING, CONTAINING 1.2349 acres of land situated in Brazoria County, Texas.

CORAL HAVEN STREET DEDICATION

BEING 1.2349 ACRES OF LAND

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC

101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC

3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR
QUIDDITY ENGINEERING, LLC

6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104

PLANNER:



META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

SCALE: 1" = 100'
0 100 200

Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ

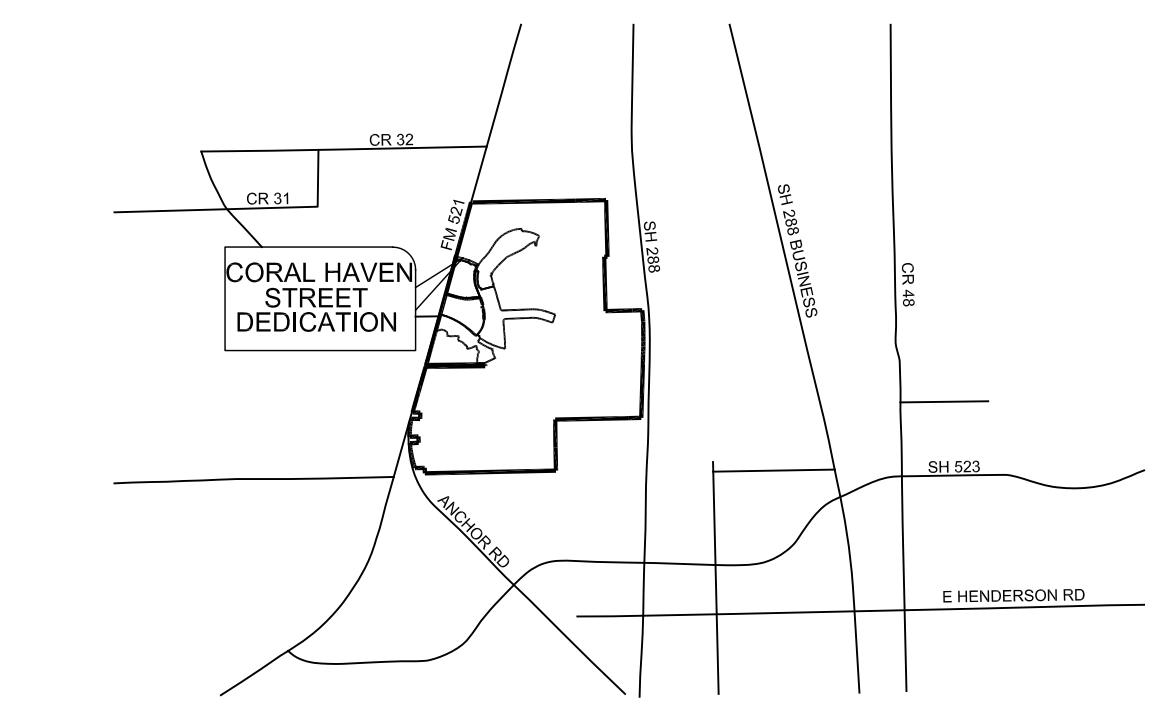
Brazoria County
Angleton ETJ

FUTURE DEVELOPMENT

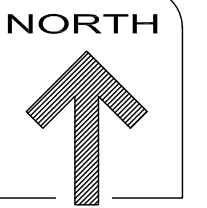
FUTURE ASHLAND STREET DEDICATION SECTION 3

FUTURE ASHLAND SECTION 2

FUTURE ASHLAND STREET DEDICATION SECTION 2



Vicinity Map (not to scale)



LINE	DISTANCE	BEARING
L1	60'	N 60°41'30" W
L2	60'	N 60°32'30" W
L3	60'	N 75°52'20" W
L4	60'	N 75°52'20" W
L5	104'	N 75°52'20" W
L6	120'	N 14°52'33" E
L7	275'	S 75°52'20" E
L8	63'	N 60°41'30" W
L9	117'	S 28°54'50" W

Typical: Label tables shown on the plat

Typical: Update table to include decimals as noted in the notes and bounds description

Typical: Update table to include central angle information as noted in the notes and bounds description

CURVE	RADIUS	ARC	TANGENT	BEARING	CHORD
C1	1000'	520'	161'	S 60°19'20" E	319'
C2	960'	410'	208'	S 15°16'11" W	407'
C3	25'	36'	22'	S 10°50'20" E	33'
C4	1165'	28'	14'	S 61°20'00" E	28'
C5	25'	41'	27'	S 70°41'00" W	33'
C6	1000'	3'	2'	S 23°34'44" W	3'
C7	25'	40'	26'	S 21°58'10" E	36'
C8	1165'	170'	85'	N 71°48'50" W	170'
C9	25'	39'	25'	S 58°02'33" W	35'
C10	25'	39'	25'	N 30°52'20" W	35'
C11	25'	39'	25'	S 58°02'33" W	35'
C12	25'	39'	25'	N 30°52'20" W	35'
C13	1235'	520'	160'	S 60°19'20" E	320'
C14	25'	39'	24'	S 70°39'38" W	35'

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLO NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

CORAL HAVEN STREET DEDICATION

BEING 1.2349 ACRES OF LAND

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104

PLANNER:
META
PLANNING + DESIGN

META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

SCALE: 1" = 100'
0 100 200



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 11/18/2022

TYPE OF PLAT APPLICATION

ADMINISTRATIVE	PRELIMINARY	FINAL
MINOR <input type="checkbox"/>	RESIDENTIAL <input checked="" type="checkbox"/>	RESIDENTIAL <input type="checkbox"/>
AMENDING/REPLAT <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>

Address of property: _____

Name of Applicant: Caitlin King Phone: 281-810-7228

Name of Company: META Planning + Design Phone: 281-810-1442

E-mail: cking@meta-pd.com

Name of Owner of Property: Ashton Gray Development

Address: 101 Parklane Blvd, Suite 102, Sugar Land, Texas, 77478

Phone: 281-810-7228 E-mail: cking@meta-pd.com

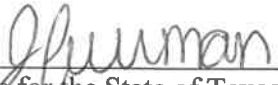
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) 

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 18 day of November, 2022.




Notary Public for the State of Texas
Commission Expires: 01/18/2025

April 3, 2023

Mr. Otis Spriggs
Development Services Director
121 S. Velasco Street,
Angleton, TX, 77515

Re: CORAL HAVEN STREET DEDICATION

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
Response: The FIRM information provided is correct.
2. Verify and update bearing information as shown in the metes and bounds description.
Response: Bearing information has been updated. Please see updated plat.
3. Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point of beginning.
Response: Point of Commencement has been provided. Please see updated plat.
4. Label tables shown on the plat (Typical).
Response: The line and curve tables have been labelled. Please see updated plat.
5. Update table to include central angle information as noted in the metes and bounds description (Typical).
Response: Central angles have been provided. Please see updated plat.
6. Update table to include decimals as noted in the metes and bounds description (Typical).
Response: The line and curve table now reflects two decimal places. Please see updated plat.
7. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
Response: The boundary linetype has been included in the legend. Please see updated plat.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,



Caitlin King
Enclosure

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Coral Haven Street Dedication, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.

The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner

Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer
No. 101133

DISCLAIMER AND LIMITED WARRANTY

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APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

Mayor

City Secretary

STATE OF TEXAS §

COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____, 20____, by _____

_____, City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

GENERAL NOTE:

- "U.E." INDICATES UTILITY EASEMENT.
- "1' RES." INDICATES ONE FOOT RESERVE.
dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs assigns, or successors.
- ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- ALL RESERVES SHALL BE OWNED AND MAINTAINED BY BRAZORIA COUNTY MUD 82 OR HOMEOWNER'S ASSOCIATION.
- HORIZONTAL DATUM:
ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
VERTICAL DATUM:
ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.
- THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- QUIDDITY ENGINEERING, LLC., TBPE FIRM REGISTRATION NO. F-23290, TBPLS FIRM REGISTRATION No. 10046100., IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
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- LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

LEGEND:

- 1.)
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- "R.O.W." INDICATES RIGHT-OF-WAY.
- "P.O.B." INDICATES POINT OF BEGINNING.
- "VOL." INDICATES VOLUME.
- "PG." INDICATES PAGE.
- "Ⓜ" INDICATES BLOCK NUMBER.
- "A" INDICATES RESERVE NUMBER.
- "— ——" INDICATES ANGLETON ETJ/BRAZORIA COUNTY LINE.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 1.23 acre tract of land situated in the Shubael Marsh Survey, Abstract No. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract of land conveyed to Anchor Holdings by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Property Records of Brazoria County; said 1.23 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone:

COMMENCING at a found concrete monument being the northwest corner of said 469.08 acre tract of land, common with the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the community court Records, and the southwest corner of a called 2.97 acre tract of land conveyed to James W. Northrup & Deborah Northrup recorded in Clerk's File No. 01-008056 of the Official Records of Brazoria County, from which a found concrete monument being the southeast corner of a called 96.50 acre tract of land conveyed to James Wartham Northrup recorded in Clerk's File No. 00-016352 Official Records of Brazoria County bears North 87°05'19" East, 2947.41 feet;

THENCE, South 14°02'37" West, along the west line of said 469.08 acre tract, common with the east line of said F.M. 521, 1510.45 feet to the POINT OF BEGINNING of the herein described tract at the beginning of a non-tangent curve to the left;

THENCE, over and across said 469.08 acre tract the following nineteen (19) courses and distances:

- Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 89°59'50", an arc length of 39.27 feet, and a long chord bearing South 30°57'18" East, 35.35 feet to a point for corner;
- South 75°57'13" East, 239.41 feet to a point for corner at the beginning of a curve to the right;
- Along the arc of said curve to the right having a radius of 1230.00 feet, a central angle of 13°53'19", an arc length of 298.15 feet, and a long chord bearing South 69°00'33" East, 297.42 feet to a point for corner;
- South 62°03'54" East, 133.32 feet to a point for corner at the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 86°14'47", an arc length of 37.63 feet, and a long chord bearing North 74°48'43" East, 34.18 feet to a point for corner at the beginning of a compound curve to the left;
- Along the arch of said compound curve to the left having a radius of 815.00 feet, a central angle of 08°11'32", an arc length of 116.53 feet, and a long chord bearing South 27°35'33" West, 116.43 feet to a point for corner at the beginning of a compound curve to the left;
- Along the arch of said compound curve to the left having a radius of 25.00 feet, a central angle of 85°33'41", an arc length of 37.33 feet, and a long chord bearing North 19°17'03" West, 33.96 feet to a point for corner;
- North 62°03'54" West, 95.26 feet to a point for corner at the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 93°59'13", an arc length of 41.01 feet, and a long chord bearing South 70°56'30" West, 36.56 feet to a point for corner;
- North 66°03'06" West, 60.00 feet to a point for corner at the beginning of a non-tangent curve to the right;
- Along the arc of said non-tangent curve to the right having a radius of 1020.00 feet, a central angle of 00°17'49", an arc length of 5.29 feet, and a long chord bearing North 24°05'48" East, 5.29 feet to a point for corner at the beginning of a reverse curve to the left;
- Along the arc of said reverse curve to the left having a radius of 25.00 feet, a central angle of 89°54'46", an arc length of 39.23 feet, and a long chord bearing North 20°42'40" West, 35.33 feet to a point for corner at the beginning of a compound curve to the left;
- Along the arch of said compound curve to the left having a radius of 1160.00 feet, a central angle of 10°17'10", an arc length of 208.25 feet, and a long chord bearing North 70°48'38" West, 207.97 feet to a point for corner;
- North 75°57'13" West, 25.03 feet to a point for corner at the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90°00'10", an arc length of 39.27 feet, and a long chord bearing South 59°02'42" West, 35.35 feet to a point for corner;
- North 75°57'04" West, 60.00 feet to a point for corner at the beginning of a non-tangent curve to the left;
- Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 89°59'50", an arc length of 39.27 feet, and a long chord bearing North 30°57'18" West, 35.35 feet to a point for corner;
- North 75°57'13" West, 104.37 feet to a point for corner at the beginning of a curve to the left;
- Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90°00'10", an arc length of 39.27 feet, and a long chord bearing South 59°02'42" West, 35.36 feet to a point for corner being in the west line of said 469.08 acre tract being common with the east line of F.M. Highway 521, from which a found 1/2-inch iron Rod with cap stamped "CBG" marking an angle point in bears South 14°02'37" West, 2980.55 feet;

THENCE, North 14°02'37" East, 120.00 feet to the POINT OF BEGINNING, CONTAINING 1.2404 acres of land in Brazoria County, Texas.

CORAL HAVEN STREET DEDICATION

BEING 1.2405 ACRES OF LAND

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

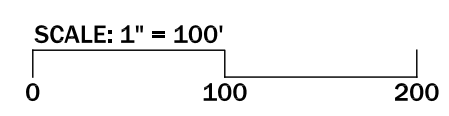
ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104

PLANNER:



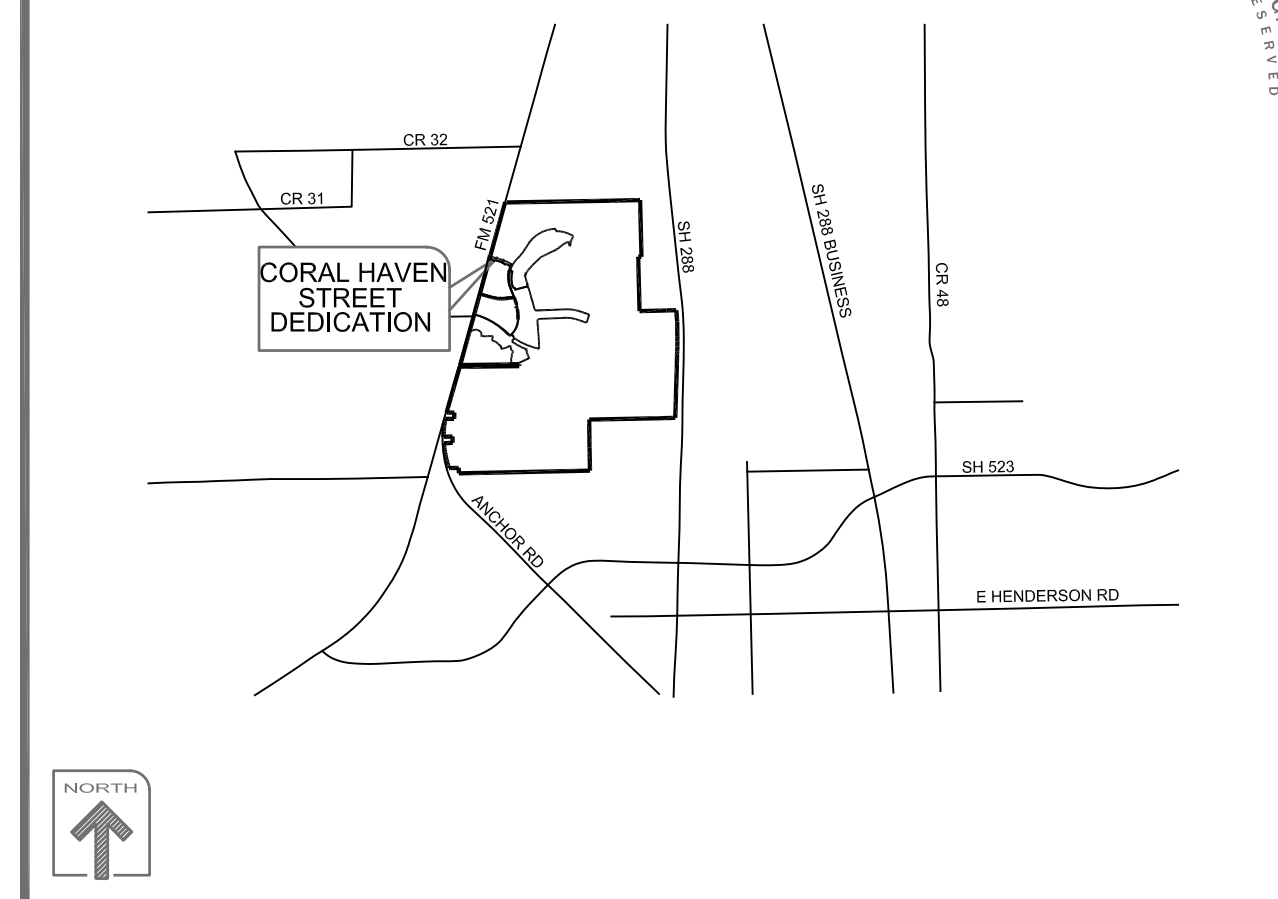
META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422



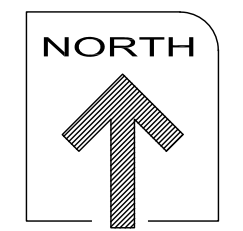
APRIL 03, 2023

PAGE: 1 OF 2

MTA-78006



Vicinity Map (not to scale)



LINE TABLE		
LINE	DISTANCE	BEARING
L1	239.47'	S 75°57'13" E
L2	133.32'	S 62°03'54" E
L3	95.26'	N 62°03'54" W
L4	60.00'	N 66°03'06" W
L5	25.03'	N 75°57'13" W
L6	60.00'	N 75°57'13" W
L7	104.37'	N 75°57'13" W
L8	120.03'	S 14°00'56" W

CURVE TABLE						
CURVE	RADIUS	ARC	CENTRAL ANGLE	TANGENT	BEARING	CHORD
C1	25.00'	39.30'	90°03'37"	25.03'	S 30°59'24" E	35.37'
C2	1230.00'	298.15'	13°53'19"	149.81'	S 69°00'33" E	297.42'
C3	25.00'	37.63'	86°14'47"	23.41'	N 74°48'43" E	34.18'
C4	815.00'	116.53'	08°11'32"	58.36'	S 27°35'33" W	116.43'
C5	25.00'	37.33'	85°33'41"	23.13'	S 19°17'03" E	33.96'
C6	25.00'	41.01'	93°59'13"	26.80'	S 70°56'30" W	36.56'
C7	1020.00'	5.29'	00°17'49"	2.64'	N 24°05'48" E	5.29'
C8	25.00'	39.23'	89°54'45"	24.96'	N 20°42'40" W	35.33'
C9	1160.00'	208.25'	10°17'10"	104.41'	N 70°48'38" W	207.97'
C10	25.00'	39.27'	90°00'10"	25.00'	S 59°02'42" W	35.36'
C11	25.00'	39.27'	89°59'50"	25.00'	S 30°57'18" E	35.35'
C12	25.00'	39.27'	90°00'10"	25.00'	S 59°02'42" W	35.36'
C13	1195.00'	289.67'	13°53'19"	145.55'	S 69°00'33" E	288.96'
C14	990.00'	63.74'	03°41'19"	31.88'	S 25°47'33" W	63.73'

CORAL HAVEN STREET DEDICATION

BEING 1.2405 ACRES OF LAND

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104

PLANNER:
META
PLANNING + DESIGN

META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

SCALE: 1" = 100'
0 100 200

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLO NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

A Traffic Impact Analysis has also been submitted and reviewed for the entirety of the project. That TIA will need to be considered by both TxDOT and Brazoria County for review and approval as well.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Section 2, and listed (6) comments that were resubmitted and addressed by the applicant after agenda posting. Staff has cleared all comments.

Recommendation. The planning and zoning commission should approve and forward the Preliminary Plat for Ashland Section 2 to the city council for final consideration and appropriate action subject to the final approval of the Development Agreement.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Ashland Subdivision – Section Two Preliminary Plat – 2nd Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
2. Verify and update bearing information shown in the metes and bounds description (Typical).

Sheet 2 of 2

1. Line L26 not provided in Line Table. Update table to include information for L26.
2. Label tables shown on the plat (Typical).
3. Update table to include central angle information as noted in the metes and bounds description (Typical).
4. Update table to include decimals as noted in the metes and bounds description (Typical).
5. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
6. If Reserve "B" does not allow for buildings/structures, no need to show 25-BL.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Section Two Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761/10336228)

Attachments

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Ashland Section 2, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.

The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner
Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

Mayor

City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____, 20____, by _____, City Secretary, City of Angleton, on behalf of the City.
Notary Public
State of Texas

LEGEND:

- 1.) "B.L." INDICATES BUILDING LINE.
- 2.) "U.E." INDICATES UTILITY EASEMENT.
- 3.) "AC." INDICATES ACREAGE.
- 4.) "R.O.W." INDICATES RIGHT-OF-WAY.
- 5.) "P.O.B." INDICATES POINT OF BEGINNING.
- 6.) "VOL." INDICATES VOLUME.
- 7.) "PG." INDICATES PAGE.
- 8.) "NO." INDICATES NUMBER.
- 9.) "CT." INDICATES COURT.
- 10.) "DR." INDICATES DRIVE.
- 11.) "J" INDICATES STREET NAME CHANGE.
- 12.) "A" INDICATES BLOCK NUMBER.
- 13.) "R" INDICATES RESERVE NUMBER.
- 14.) "A" INDICATES RESERVE NUMBER.
- 15.) "50'R" INDICATES 50' CUL-DE-SAC RADIUS.

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE FOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON, PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 18.77 acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPROBC); said 18.77 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone:

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01-008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Records;

THENCE, South 14°02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1647.59 feet to a point for corner being the POINT OF BEGINNING of the herein described subject tract marking the beginning of a non-tangent curve to the right;

THENCE, over and across said 469.08-acre tract the following twenty seven (27) courses and distances:

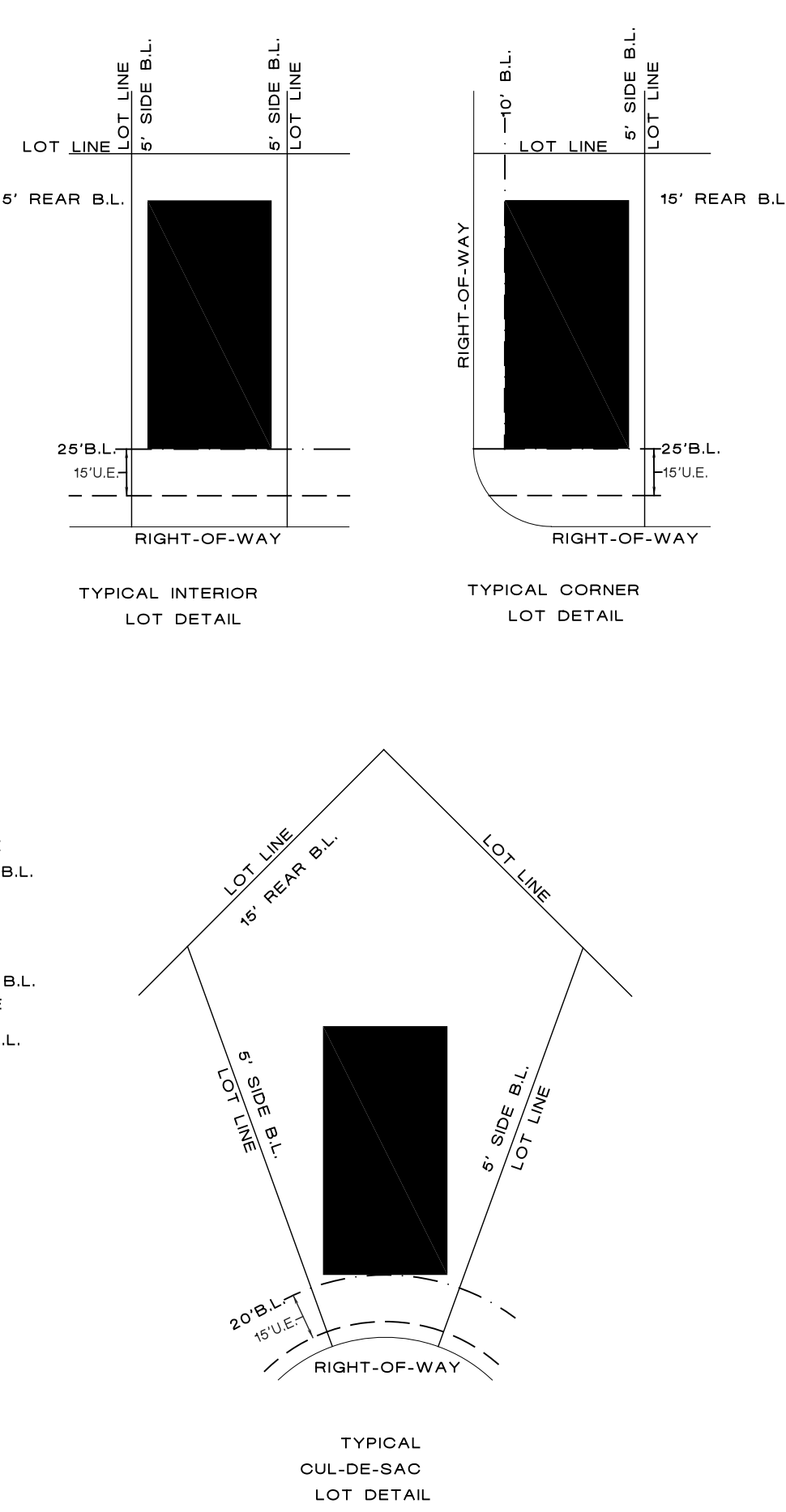
- 1. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing North 59°02'37" East, with a chord length of 35.36 feet to a point for corner;
- 2. South 75°57'23" East, 104.37 feet to a point for corner marking the beginning of a curve to the right;
- 3. Along the arc of said curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing South 30°57'23" East, with a chord length of 35.36 feet to a point for corner;
- 4. South 75°57'23" East, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the right;
- 5. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing North 59°02'37" East, with a chord length of 35.36 feet to a point for corner;
- 6. South 75°57'23" East, 60.27 feet to a point for corner marking the beginning of a curve to the right;
- 7. Along the arc of said curve to the right having a radius of 1165.00 feet, a central angle of 08°20'55", an arc length of 169.75 feet, and a long chord bearing South 71°46'55" East, with a chord length of 169.60 feet to a point for corner marking the beginning of a compound curve to the right;
- 8. Along the arc of said compound curve to the right having a radius of 25.00 feet, a central angle of 91°14'34", an arc length of 39.81 feet, and a long chord bearing South 21°59'10" East, with a chord length of 35.74 feet to a point for corner marking the beginning of a reverse curve to the left;
- 9. Along the arc of said reverse curve to the left having a radius of 1020.00 feet, a central angle of 00°10'45", an arc length of 3.19 feet, and a long chord bearing South 23°32'44" West, with a chord length of 3.19 feet to a point for corner;
- 10. South 86°32'39" East, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the right;
- 11. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 94°28'10", an arc length of 41.22 feet, and a long chord bearing North 70°41'26" East, with a chord length of 36.71 feet to a point for corner marking the beginning of a compound curve to the right;
- 12. Along the arc of said compound curve to the right having a radius of 1165.00 feet, a central angle of 01°22'57", an arc length of 28.11 feet, and a long chord bearing South 31°23'00" East, with a chord length of 28.11 feet to a point for corner;
- 13. South 60°41'32" East, 68.01 feet to a point for corner marking the beginning of a curve to the right;
- 14. Along the arc of said curve to the right having a radius of 25.00 feet, a central angle of 83°30'22", an arc length of 36.44 feet, and a long chord bearing South 18°56'20" East, with a chord length of 33.30 feet to a point for corner marking the beginning of a reverse curve to the left;
- 15. Along the arc of said reverse curve to the left having a radius of 815.00 feet, a central angle of 45°06'17", an arc length of 641.59 feet, and a long chord bearing South 00°15'42" West, with a chord length of 625.15 feet to a point for corner;
- 16. South 22°17'26" East, 287.46 feet to a point for corner;
- 17. South 67°42'34" West, 26.42 feet to a point for corner;
- 18. South 89°02'42" West, 171.62 feet to a point for corner;
- 19. South 84°38'24" West, 112.86 feet to a point for corner;
- 20. South 86°26'25" West, 64.50 feet to a point for corner;
- 21. South 01°22'08" West, 1.02 feet to a point for corner;
- 22. North 88°37'52" West, 60.00 feet to a point for corner;
- 23. North 86°32'45" West, 66.17 feet to a point for corner;
- 24. North 81°45'53" West, 59.15 feet to a point for corner;
- 25. North 78°32'29" West, 58.96 feet to a point for corner;
- 26. North 76°06'07" West, 60.00 feet to a point for corner;
- 27. North 75°57'23" West, 353.23 feet to a point for corner marking the southwest corner of the herein described subject tract, being common with the east line of aforementioned F.M. Highway 521 and the west line of said 469.08-acre tract;

THENCE, North 14°02'37" East, along said common lines, 1052.84 feet to the POINT OF BEGINNING, CONTAINING 18.77 acres of land situated in Brazoria County, Texas.

GENERAL NOTE:

- 1.) "B.L." INDICATES BUILDING LINE.
- 2.) "U.E." INDICATES UTILITY EASEMENT.
- 3.) "1' RES." INDICATES ONE FOOT RESERVE.
dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and vest in the dedicator, his heirs assigns, or successors.
- 4.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 5.) ALL LOT WIDTH AND DEPTH DIMENSIONS ARE APPROXIMATE, AND LOT WIDTHS ARE MEASURED AT THE FRONT BUILDING LINE, AND OR THE REAR BUILDING PAD LINE.
- 6.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 7.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 8.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 9.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 10.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 11.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
- 12.) HORIZONTAL DATUM:
ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
- 13.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- 14.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- 15.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No.10046100, IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
- 16.) PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC, UPON RECORDATION OF A FINAL PLAT.
- 17.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

Verify information noted. It appears this subdivision is completely within Zone X (shaded).



ASHLAND SECTION TWO

BEING 18.77 ACRES OF LAND CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT OF THE SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
(713)-777-5337

SURVEYOR:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPLS FIRM REGISTRATION No. 10046104

PLANNER:
META
PLANNING + DESIGN
META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

SCALE: 1" = 100'
0 100 200

Typical: Label tables shown on the plot

LINE	DISTANCE	BEARING
L1	14	S 21°42'45" E
L2	39	S 22°27'28" W
L3	16	N 68°42'16" W
L4	25	S 22°48'39" W
L5	32	S 77°29'03" E
L6	25	S 38°15'09" E
L7	14	S 59°02'37" W
L8	13	N 36°10'23" W
L9	156'	N 75°57'23" W
L10	69	S 75°57'23" E
L11	287	S 22°17'28" E
L12	26	S 67°42'34" W
L13	172	N 89°02'42" E
L14	113	S 84°38'24" W
L15	65	S 86°39'25" W
L16	1	S 01°22'08" W
L17	60	N 88°37'52" W
L18	66	S 86°32'45" E
L19	59	N 81°49'53" W
L20	59	N 76°52'29" W
L21	60	N 69°00'07" W
L22	333	N 75°57'23" W
L23	67	N 75°57'23" W
L24	67	N 60°32'39" W
L25	66	S 60°41'32" E

Typical: Update table to include central angle information as noted in the notes and bounds description

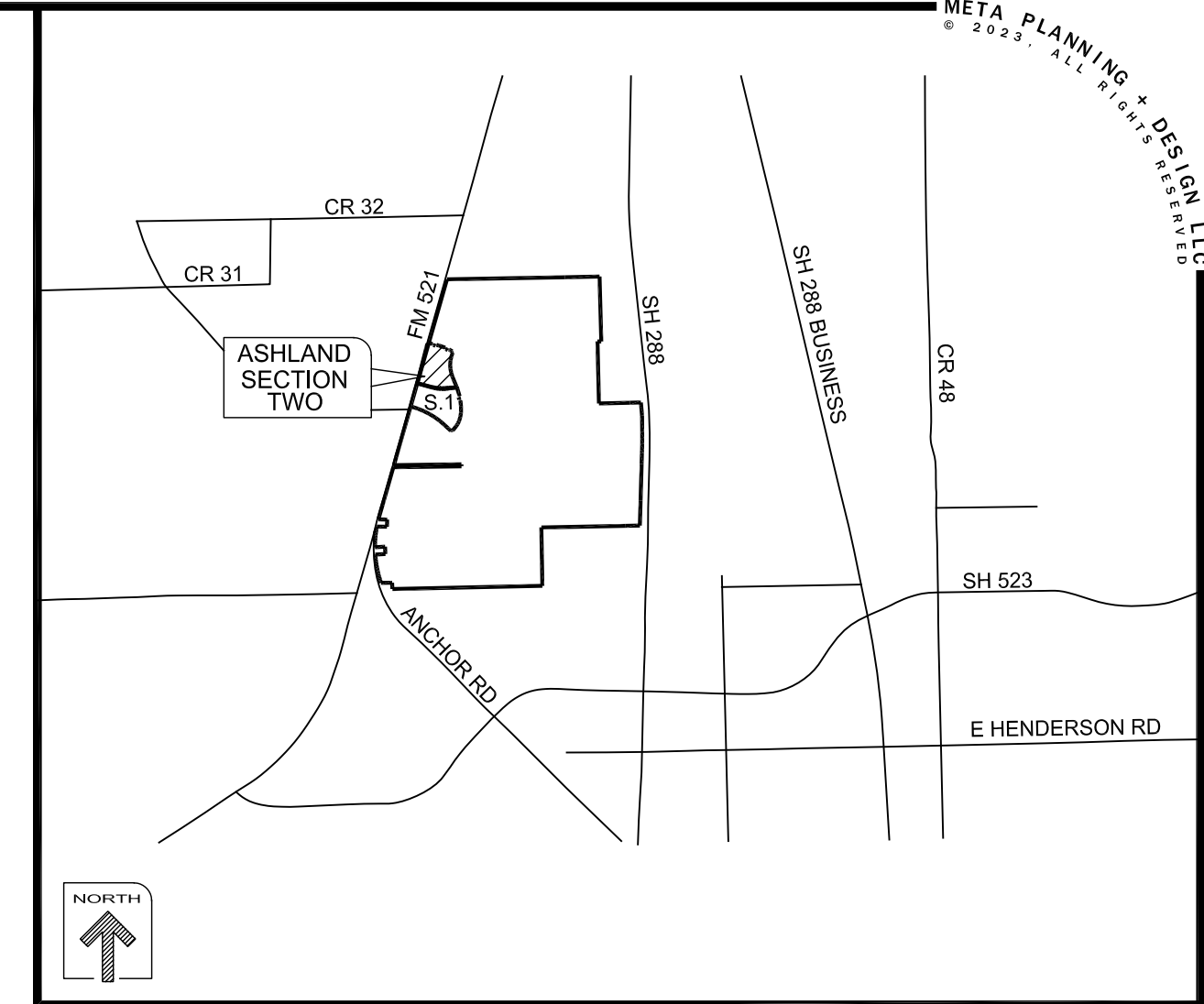
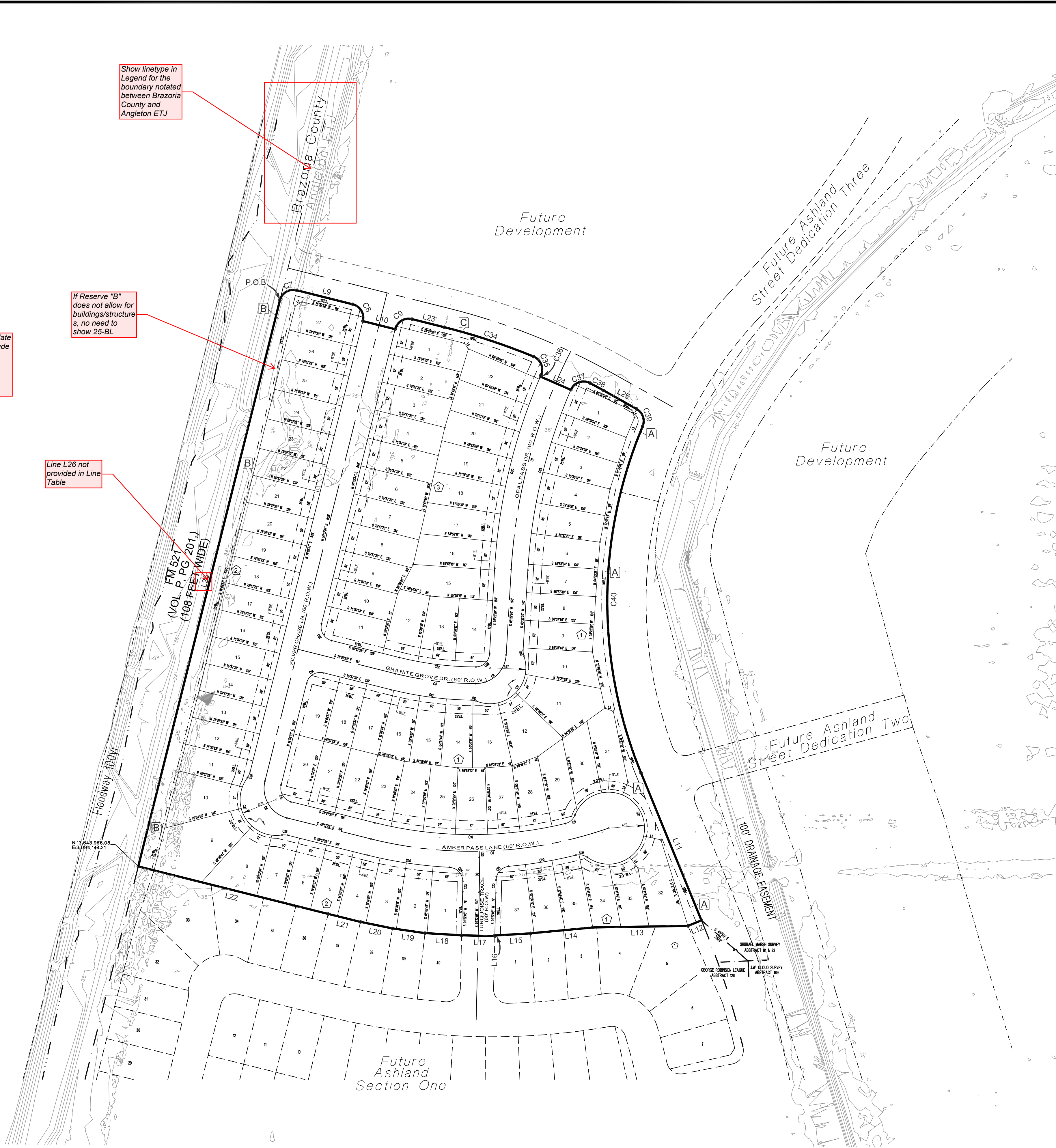
CURVE	RADIUS	ARC	TANGENT	BEARING	CHORD
C1	997	410	258	S 10°14'11" W	407
C2	99	83	52	S 48°42'34" W	79
C3	600	147	74	S 62°57'17" E	146
C4	59	86	50	N 30°57'23" W	78
C5	750	435	224	N 87°24'40" E	429
C6	1500	67	32	S 90°00'54" W	67
C7	25	39	25	S 59°02'37" W	38
C8	25	39	25	S 38°15'09" E	35
C9	25	39	25	N 59°02'37" E	35
C10	25	10	5	S 68°00'04" E	10
C11	65	148	144	S 48°16'34" W	112
C12	25	9	5	N 78°39'54" W	9
C13	630	150	75	N 62°45'19" W	149
C14	25	39	25	S 59°02'37" W	35
C15	25	39	25	N 30°57'23" W	35
C16	720	347	177	S 89°45'04" E	344
C17	25	24	13	S 48°49'52" W	23
C18	65	323	51	S 18°29'41" E	87
C19	25	22	12	N 78°02'11" W	21
C20	790	123	62	S 80°33'37" W	123
C21	25	37	22	S 42°48'54" W	34
C22	1530	23	11	N 00°56'39" E	23
C23	1470	19	9	S 01°00'00" W	19
C24	25	38	24	N 43°13'19" W	35
C25	790	151	79	N 81°13'00" W	151
C26	25	10	5	S 87°44'59" E	10
C27	65	156	160	N 30°57'23" W	121
C28	25	10	5	S 20°49'19" W	10
C29	960	355	180	S 13°57'58" W	353
C30	1500	356	181	N 13°24'51" E	356
C31	25	39	25	N 30°57'23" W	35
C32	570	139	70	S 62°57'17" E	139
C33	25	38	24	S 48°42'34" W	34
C34	1160	170	85	S 71°46'59" E	170
C35	25	40	26	S 21°09'10" E	36
C36	1000	3	2	N 29°20'46" E	3
C37	25	41	27	S 70°41'38" W	37
C38	1160	28	14	N 61°23'00" W	28
C39	25	36	22	S 18°56'20" E	33
C40	615	647	338	S 00°15'42" W	652

Typical: Update table to include decimals as noted in the notes and bounds description

Line L26 not provided in Line Table

Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ

If Reserve "B" does not allow for buildings/structures, no need to show 25-BL



Vicinity Map (not to scale)

LOT NO.	LOT AREA SQ. FT.	LOT NO.	LOT AREA SQ. FT.	LOT NO.	LOT AREA SQ. FT.			
BLOCK 1			BLOCK 2			BLOCK 3		
LOT 1	6,523	LOT 34	6,141	LOT 1	7,030			
LOT 2	6,608	LOT 35	6,531	LOT 2	6,945			
LOT 3	6,608	LOT 36	6,590	LOT 3	6,819			
LOT 4	6,608	LOT 37	7,476	LOT 4	6,781			
LOT 5	6,608	BLOCK 2			LOT 5	6,832		
LOT 6	6,597	LOT 1	6,947	LOT 6	6,883			
LOT 7	6,336	LOT 2	6,293	LOT 7	6,934			
LOT 8	6,260	LOT 3	6,251	LOT 8	6,979			
LOT 9	6,250	LOT 4	6,128	LOT 9	6,579			
LOT 10	7,207	LOT 5	5,988	LOT 10	6,240			
LOT 11	10,525	LOT 6	6,000	LOT 11	6,885			
LOT 12	8,224	LOT 7	5,904	LOT 12	7,393			
LOT 13	6,826	LOT 8	6,259	LOT 13	7,338			
LOT 14	6,443	LOT 9	13,764	LOT 14	7,338			
LOT 15	6,361	LOT 10	8,848	LOT 15	7,294			
LOT 16	6,355	LOT 11	6,148	LOT 16	7,652			
LOT 17	6,031	LOT 12	6,250	LOT 17	7,350			
LOT 18	6,000	LOT 13	6,250	LOT 18	7,117			
LOT 19	6,585	LOT 14	6,250	LOT 19	7,048			
LOT 20	6,585	LOT 15	6,250	LOT 20	7,107			
LOT 21	6,000	LOT 16	6,250	LOT 21	7,169			
LOT 22	6,000	LOT 17	6,250	LOT 22	7,377			
LOT 23	6,232	LOT 18	6,250					
LOT 24	6,505	LOT 19	6,250					
LOT 25	6,505	LOT 20	6,250					
LOT 26	6,456	LOT 21	6,250					
LOT 27	6,456	LOT 22	6,190					
LOT 28	6,674	LOT 23	6,875					
LOT 29	6,839	LOT 24	6,875					
LOT 30	6,387	LOT 25	6,875					
LOT 31	7,217	LOT 26	6,875					
LOT 32	9,486	LOT 27	6,822					
LOT 33	5,944							

LAND USE TABLE			
RESERVE	ACREAGE	SQ. FT.	LAND USE
A	0.52	22,677	LANDSCAPE/ OPEN SPACE
B	0.77	33,681	LANDSCAPE/ OPEN SPACE
C	0.15	6,808	LANDSCAPE/ OPEN SPACE

ASHLAND SECTION TWO

BEING 18.77 ACRES OF LAND CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT OF THE SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
(713)-777-5337

SURVEYOR: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPLS FIRM REGISTRATION No. 10046104



SCALE: 1" = 100'

MARCH 1, 2023

PAGE 2 OF 2

MTA# 78006

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES, OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

April 3, 2023

Mr. Otis Spriggs
Development Services Director
121 S. Velasco Street,
Angleton, TX, 77515

Re: ASHLAND SECTION TWO- RESUBMITTAL

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
Response: The FIRM information provided is correct. Please see updated plat.
2. Verify and update bearing information shown in the metes and bounds description (Typical).
Response: This has been updated. Please see updated plat.
3. Line L26 not provided in Line Table. Update table to include information for L26.
Response: This has been updated. Please see updated plat.
4. Label tables shown on the plat (Typical).
Response: The line and curve tables have been labelled. Please see updated plat.
5. Update table to include central angle information as noted in the metes and bounds description (Typical).
Response: The central angle information has been included in the curve table. Please see updated plat.
6. Update table to include decimals as noted in the metes and bounds description (Typical).
Response: The line and curve tables have been updated to reflect decimals. Please see updated plat.
7. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
Response: The boundary linetype has been included in the legend. Please see updated plat.
8. If Reserve "B" does not allow for buildings/structures, no need to show 25-BL.
Response: The building line will remain as a buffer along FM-521.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,



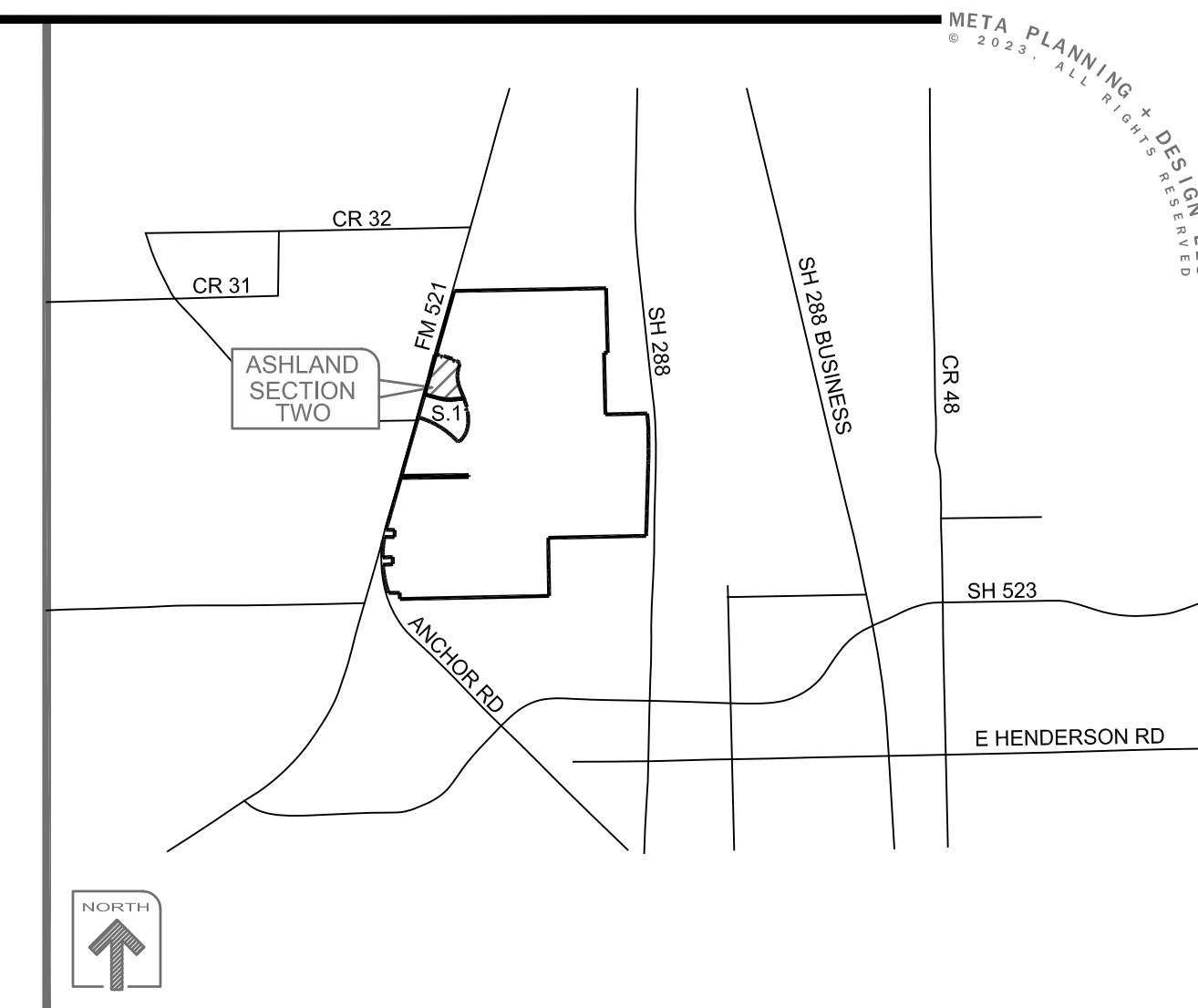
Caitlin King
Enclosure

LINE DATA

LINE	DISTANCE	BEARING
L1	14.35'	S 21°42'16" E
L2	38.83'	S 22°27'28" W
L3	16.30'	N 68°42'18" W
L4	25.00'	S 22°46'39" W
L5	31.74'	S 77°23'03" E
L6	25.00'	S 36°15'50" E
L7	14.14'	S 59°02'37" W
L8	12.53'	N 36°10'23" W
L9	104.37'	S 75°57'19" E
L10	60.00'	S 75°57'23" E
L11	287.46'	S 22°17'26" E
L12	26.42'	S 67°42'34" W
L13	171.62'	N 89°02'42" E
L14	112.86'	S 84°38'24" W
L15	64.50'	S 88°28'25" W
L16	1.02'	S 01°22'08" W
L17	60.00'	N 88°37'52" E
L18	66.17'	S 88°32'45" E
L19	59.15'	N 81°45'53" W
L20	58.96'	N 78°32'29" W
L21	60.00'	N 76°08'07" W
L22	353.23'	N 75°57'23" W
L23	25.03'	S 75°57'19" E
L24	60.00'	N 66°03'06" W
L25	95.26'	S 62°03'54" E
L26	1069.98'	N 14°02'37" E

CURVE DATA

CURVE	RADIUS	CENTRAL ANGLE	ARC	TANGENT	BEARING	CHORD
C1	990.00'	24°15'53"	419.27'	212.82'	N 15°30'17" E	416.14'
C2	55.00'	86°40'28"	83.20'	51.90'	S 46°42'34" W	75.49'
C3	600.00'	13°59'49"	146.58'	73.66'	S 82°57'17" E	146.21'
C4	55.00'	90°00'00"	86.39'	55.00'	N 30°57'23" W	77.78'
C5	750.00'	33°15'45"	435.41'	224.03'	N 87°24'45" E	429.32'
C6	1600.00'	02°24'27"	63.03'	31.52'	S 00°09'54" W	63.02'
C7	25.00'	90°00'10"	39.27'	25.00'	S 59°02'42" W	35.36'
C8	25.00'	89°59'50"	39.27'	25.00'	S 30°57'18" E	35.35'
C9	25.00'	90°00'10"	39.27'	25.00'	S 59°02'42" E	35.36'
C10	25.00'	22°44'49"	9.93'	5.03'	S 08°00'04" E	9.86'
C11	85.00'	131°17'46"	148.95'	143.61'	S 46°16'24" W	118.43'
C12	25.00'	21°10'23"	9.24'	4.87'	N 78°39'54" W	9.19'
C13	630.00'	13°17'43"	146.19'	73.42'	N 82°36'14" W	145.88'
C14	25.00'	90°00'00"	39.27'	25.00'	S 59°02'37" W	35.36'
C15	25.00'	90°00'00"	39.27'	25.00'	N 30°57'23" E	35.36'
C16	720.00'	27°36'24"	346.92'	176.89'	S 89°45'34" E	343.57'
C17	25.00'	55°12'43"	24.09'	13.07'	S 48°49'52" W	23.17'
C18	65.00'	284°33'36"	322.82'	50.27'	S 16°29'41" E	79.53'
C19	25.00'	49°44'57"	21.71'	11.59'	N 79°05'21" W	21.03'
C20	780.00'	09°02'54"	123.18'	61.72'	S 80°33'37" W	123.05'
C21	25.00'	84°34'00"	36.90'	22.73'	S 42°48'04" W	33.64'
C22	1530.00'	00°51'03"	22.72'	11.36'	N 00°56'36" E	22.72'
C23	1470.00'	00°44'08"	18.87'	9.44'	S 01°00'03" W	18.87'
C24	25.00'	87°42'37"	38.27'	24.02'	N 43°13'19" W	34.64'
C25	780.00'	11°07'16"	151.40'	75.94'	N 81°31'00" W	151.16'
C26	25.00'	23°33'23"	10.28'	5.21'	S 87°44'04" E	10.21'
C27	65.00'	137°06'47"	155.55'	165.49'	N 30°57'23" W	121.00'
C28	25.00'	23°33'23"	10.28'	5.21'	S 25°49'19" W	10.21'
C29	960.00'	20°34'34"	344.75'	174.25'	S 13°39'37" W	342.91'
C30	1020.00'	20°34'34"	366.30'	185.15'	N 13°39'37" E	364.34'
C31	25.00'	90°00'00"	39.27'	25.00'	N 30°57'23" E	35.36'
C32	570.00'	13°59'49"	139.25'	69.97'	S 82°57'17" E	138.90'
C33	25.00'	86°40'28"	37.82'	23.59'	S 46°42'34" W	34.31'
C34	1180.00'	10°17'10"	208.25'	104.41'	N 70°48'38" W	207.97'
C35	25.00'	89°54'45"	39.23'	24.96'	S 20°42'40" E	35.33'
C36	1020.00'	00°17'49"	5.29'	2.64'	N 24°05'48" E	5.29'
C37	25.00'	89°59'13"	41.01'	26.80'	S 70°56'30" W	36.56'
C38	25.00'	85°33'41"	37.33'	23.13'	N 19°17'03" W	33.96'
C39	815.00'	45°47'14"	651.30'	344.16'	N 00°36'11" E	634.10'



Vicinity Map (not to scale)

LOT NO	LOT AREA SQ. FT.	LOT NO	LOT AREA SQ. FT.	LOT NO	LOT AREA SQ. FT.
BLOCK 1					
LOT 1	6,523	LOT 34	6,141	LOT 1	7,030
LOT 2	6,608	LOT 35	6,531	LOT 2	6,945
LOT 3	6,608	LOT 36	6,590	LOT 3	6,819
LOT 4	6,608	LOT 37	7,476	LOT 4	6,781
LOT 5	6,608	BLOCK 2		LOT 5	6,832
LOT 6	6,597	LOT 1	6,947	LOT 6	6,883
LOT 7	6,336	LOT 2	6,293	LOT 7	6,934
LOT 8	6,250	LOT 3	6,251	LOT 8	6,979
LOT 9	6,250	LOT 4	6,128	LOT 9	6,579
LOT 10	7,207	LOT 5	5,988	LOT 10	6,240
LOT 11	10,525	LOT 6	6,000	LOT 11	6,885
LOT 12	8,224	LOT 7	5,904	LOT 12	7,393
LOT 13	6,826	LOT 8	6,259	LOT 13	7,338
LOT 14	6,443	LOT 9	13,764	LOT 14	7,338
LOT 15	6,361	LOT 10	8,848	LOT 15	7,294
LOT 16	6,355	LOT 11	6,148	LOT 16	7,652
LOT 17	6,031	LOT 12	6,250	LOT 17	7,350
LOT 18	6,000	LOT 13	6,250	LOT 18	7,117
LOT 19	6,585	LOT 14	6,250	LOT 19	7,048
LOT 20	6,585	LOT 15	6,250	LOT 20	7,107
LOT 21	6,000	LOT 16	6,250	LOT 21	7,169
LOT 22	6,000	LOT 17	6,250	LOT 22	7,377
LOT 23	6,232	LOT 18	6,250		
LOT 24	6,505	LOT 19	6,250		
LOT 25	6,505	LOT 20	6,250		
LOT 26	6,456	LOT 21	6,250		
LOT 27	6,456	LOT 22	6,250		
LOT 28	6,874	LOT 23	6,875		
LOT 29	6,839	LOT 24	6,875		
LOT 30	6,387	LOT 25	6,875		
LOT 31	7,217	LOT 26	6,875		
LOT 32	9,486	LOT 27	6,822		
LOT 33	9,944				

LAND USE TABLE			
RESERVE	ACREAGE	SQ. FT.	LAND USE
A	0.55	23,956	LANDSCAPE/ OPEN SPACE
B	0.83	36,325	LANDSCAPE/ OPEN SPACE
C	0.25	10,923	LANDSCAPE/ OPEN SPACE

ASHLAND SECTION TWO

BEING 18.99 ACRES OF LAND CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT OF THE SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
(713)-777-5337

SURVEYOR: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPFS FIRM REGISTRATION No. 10046104



META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

SCALE: 1" = 100'
0 100 200

APRIL 03, 2023

PAGE: 2 OF 2

MTA-78006

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 11/18/2022

TYPE OF PLAT APPLICATION

ADMINISTRATIVE	PRELIMINARY	FINAL
MINOR <input type="checkbox"/>	RESIDENTIAL <input checked="" type="checkbox"/>	RESIDENTIAL <input type="checkbox"/>
AMENDING/REPLAT <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>

Address of property: _____

Name of Applicant: Caitlin King Phone: 281-810-7228

Name of Company: META Planning + Design Phone: 281-810-1442

E-mail: cking@meta-pd.com

Name of Owner of Property: Ashton Gray Development

Address: 101 Parklane Blvd, Suite 102, Sugar Land, Texas, 77478

Phone: 281-810-7228 E-mail: cking@meta-pd.com


I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) 

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 18 day of November, 2022.

(SEAL) 


Notary Public for the State of Texas
Commission Expires: 01/18/2025

as the Development Agreement. Staff is working with the Financial Consultants, P-3 and legal counsel in order to coordinate any further amendments through City Council.

Development Schedule. The property shall be developed in accordance with the development schedule attached hereto as Exhibit “C”.

STAFF REVIEW:

The City Engineer has reviewed the submitted Preliminary Plat for Austin Colony Section 1 A, and the noted (11) comments have all been resubmitted and addressed by the applicant since this agenda posting (Transmittal and revised plat is attached). All noted comments have been cleared.

RECOMMENDATION:

The Planning Commission should approve the Preliminary Plat for Austin Colony Section 1 A and recommend the plat to Council for final action.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Austin Colony Section 1a Preliminary Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
3. Provide callout for Reserve D and include acreage as provided for other reserves.
4. Notate applicable future Austin Colony phases on the preliminary plat.
5. Verify and update limits of 20-U.E. within Reserve “B” and adjacent to Karankawa Road.
6. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.

Sheet 2 of 2

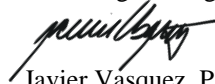
1. Remove fire easement from plat if not applicable
2. Verify and update block information in relation to proposed easement/reserves shown in the Drainage and Detention Easement plat certificate.
3. Plat note #1 - Verify and update the acreage shown in the plat note.
4. Include information in plat notes for ownership and maintenance of proposed plat reserves
5. Remove additional text from the Engineer's Certificate.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Austin Colony Section 1a Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

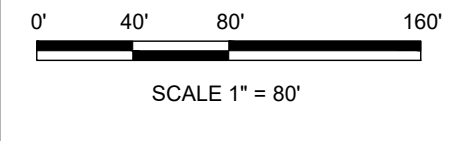

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

BRAZORIA COUNTY, TEXAS
J. DE. J. VALDERAS SURVEY, A-380

RESERVE TABLE			
SYMBOL	DESCRIPTION	RESERVE USE	AREA
(A)	RESTRICTED RESERVE "A"	RESTRICTED PARK & LANDSCAPE USE	1.400 AC.
(B)	RESTRICTED RESERVE "B"	RESTRICTED TO UTILITY & DRAINAGE USE	7.037 AC.
(C)	RESTRICTED RESERVE "C"	RESTRICTED TO RESIDENTIAL USE	21.208 AC.
(D)	RESTRICTED RESERVE "D"	RESTRICTED TO UTILITY & DRAINAGE USE	0.055 AC.
(E)	RESTRICTED RESERVE "E"	RESTRICTED TO UTILITY & DRAINAGE USE	10.808 AC.



LEGEND

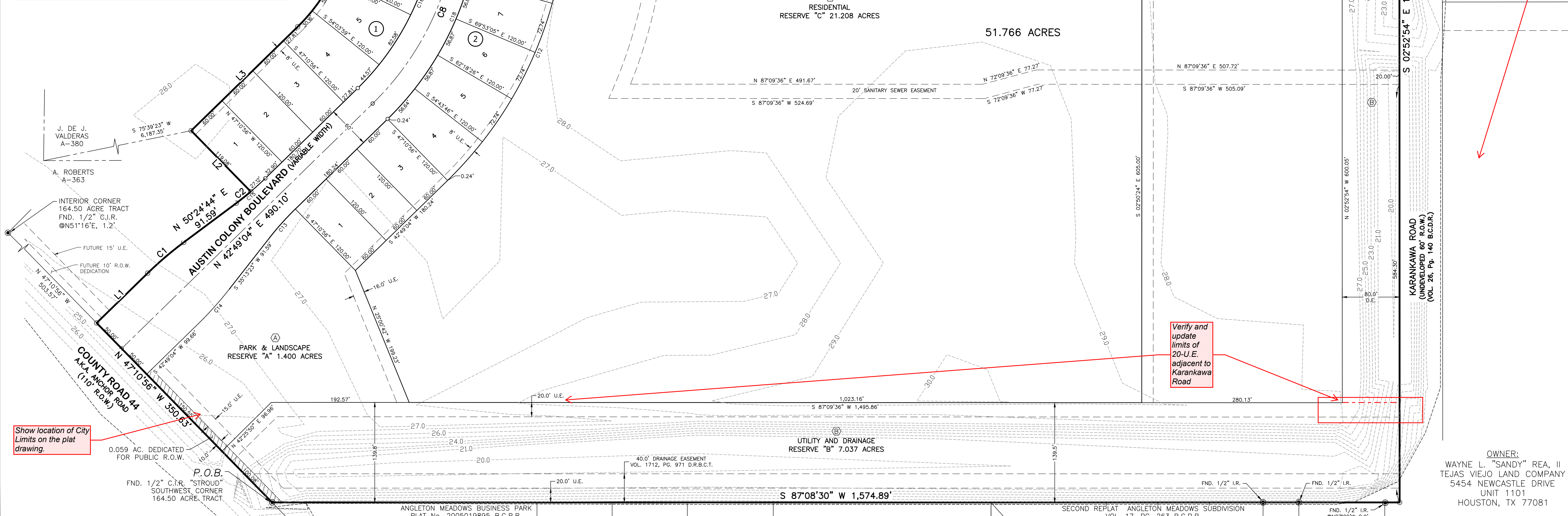
O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS
 D.R.B.C.T. = DEED RECORDS BRAZORIA COUNTY TEXAS
 P.R.B.C.T. = PLAT RECORDS BRAZORIA COUNTY TEXAS
 C.C.F.N. = COUNTY CLERK'S FILE NUMBER
 F.N.D. = FOUND
 C.I.R. = CAPED IRON ROD
 I.R. = IRON ROD
 P.O.B. = POINT OF BEGINNING
 P.O.C. = POINT OF COMMENCEMENT
 R.O.W. = RIGHT-OF-WAY
 VOL. PG. = VOLUME PAGE
 B.L. = BUILDING LINE
 U.E. = UTILITY EASEMENT

Line Table			Line Table		
Line No.	Length	Direction	Line No.	Length	Direction
L1	99.66'	N42°49'04"E	L7	60.00'	S02°52'12"E
L2	119.08'	N47°10'56"W	L8	38.47'	N87°07'53"E
L3	207.81'	N42°49'04"E	L9	67.56'	N48°52'03"E
L4	95.00'	N87°07'48"E	L10	42.28'	S02°52'12"E
L5	60.00'	N02°52'12"W	L11	50.00'	S02°52'12"E
L6	118.95'	S08°29'14"E	L12	60.00'	S87°07'48"W
			L13	7.28'	N02°52'12"W

SYMBOLS

○ = SET 5/8" I.R. W/CAP "BAKER & LAWSON"
 ● = FOUND MONUMENT (AS NOTED)

Curve Table					
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	66.28'	500.00'	7°35'41"	N46°36'54"E	66.23'
C2	25.90'	400.00'	3°42'34"	N48°33'27"E	25.89'
C3	199.35'	250.00'	45°41'16"	N19°58'26"E	194.11'
C4	192.65'	795.00'	1°35'02"	N55°48'34"E	192.17'
C5	32.92'	705.00'	2°40'31"	N50°12'19"E	32.92'
C6	48.38'	580.00'	4°46'46"	N53°55'58"E	48.37'
C7	176.39'	400.00'	25°15'59"	N69°20'37"E	174.97'
C8	318.96'	400.00'	45°41'17"	N19°58'25"E	310.58'
C9	135.45'	150.00'	51°44'16"	N22°59'55"E	130.89'
C10	73.32'	550.00'	7°38'17"	N52°41'12"E	73.27'
C11	54.75'	400.00'	7°50'34"	S52°47'20"W	54.71'
C12	438.57'	550.00'	45°41'16"	S19°58'26"W	427.04'
C13	53.48'	400.00'	7°39'39"	S39°03'12"W	53.44'
C14	66.28'	500.00'	7°35'41"	S39°01'13"W	66.23'
C15	53.02'	400.00'	7°35'41"	N46°36'54"E	52.98'
C16	295.04'	370.00'	45°41'17"	N19°58'25"E	287.28'
C17	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'
C18	342.88'	430.00'	45°41'17"	N19°58'25"E	333.67'
C19	31.42'	20.00'	90°00'00"	S42°07'48"W	28.28'
C20	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'
C21	31.42'	20.00'	90°00'00"	N42°07'48"E	28.28'
C22	162.54'	180.00'	51°44'16"	S22°59'55"W	157.07'
C23	75.50'	580.00'	7°27'30"	S52°35'36"W	75.45'
C24	108.36'	120.00'	51°44'16"	S22°59'55"W	104.72'
C25	71.18'	520.00'	7°50'34"	S52°47'20"W	71.12'
C26	287.92'	670.00'	2°43'19"	N09°26'27"E	285.71'
C27	265.67'	690.00'	2°20'39"	S08°09'37"W	264.03'



Show location of City Limits on the plat drawing.

Include a lot and block table on the plat that includes the total square footage of each lot within each block

Show owner name for adjacent tracts shown on the plat

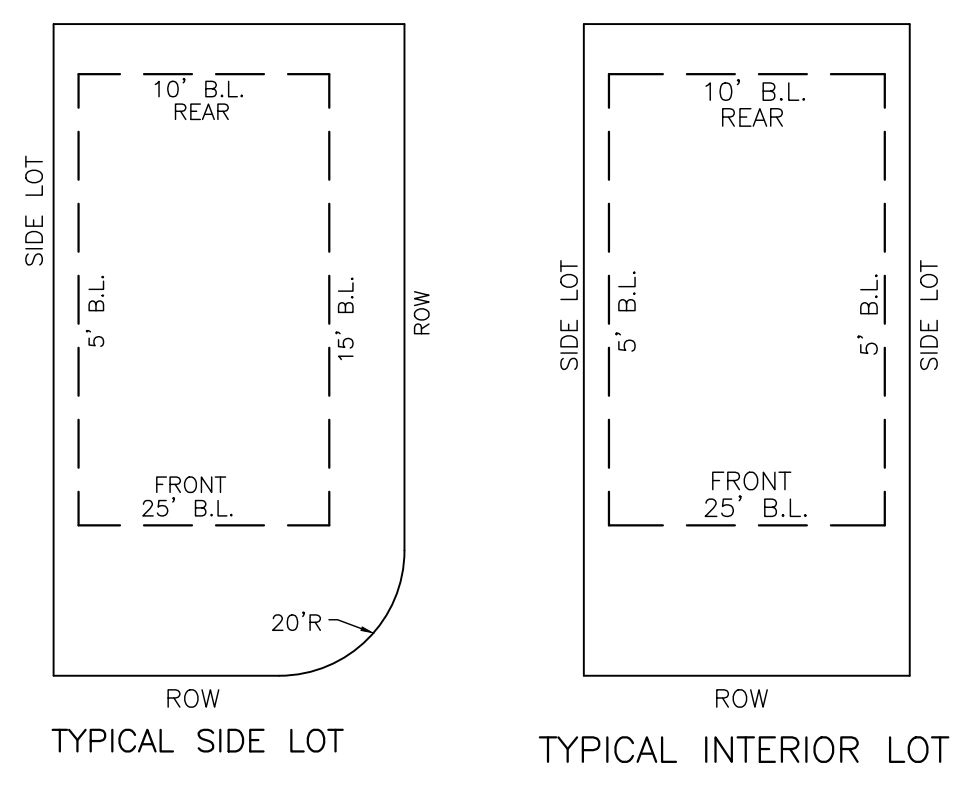
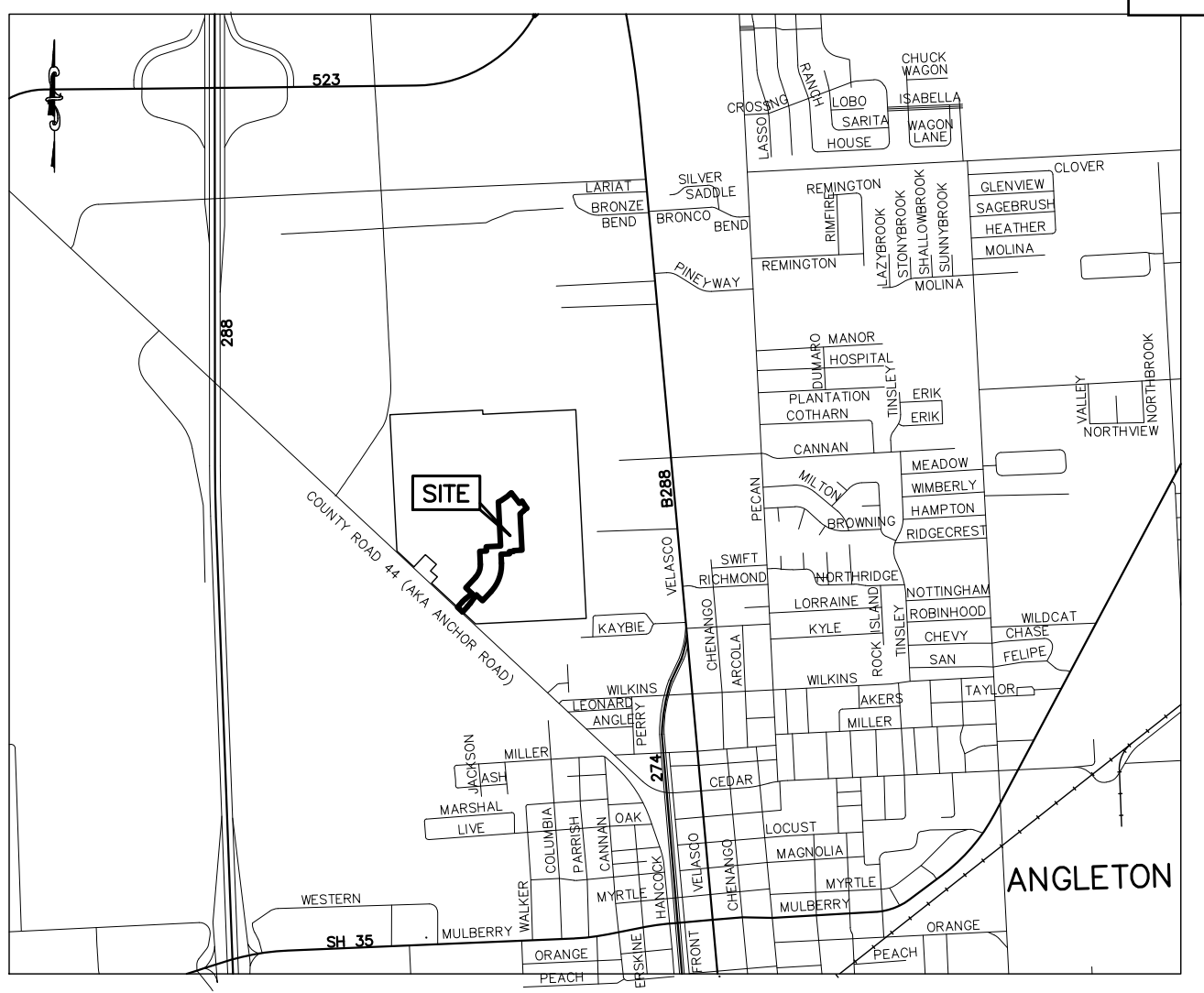
Provide callout for Reserve D and include acreage as provided for other reserves

Notate future Austin Colony phases on preliminary plat

Show owner name for adjacent tracts shown on the plat

Show owner or subdivision information for adjacent tracts shown on the plat

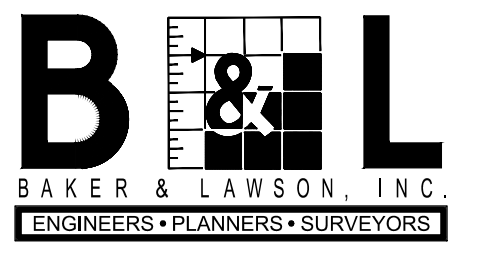
Verify and update limits of 20'-U.E. adjacent to Karankawa Road



SHEET 1 OF 2

PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
 A 51.766 ACRE
 50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
 BEING A PORTION OF A CALLED 164.50 ACRE TRACT
 AS RECORDED IN C.C.F.N. 2021067765
 OF THE O.P.R.B.C.T.

LOCATED IN THE
 J. DE J. VALDERAS SURVEY
 ABSTRACT NO. 380
 CITY OF ANGLETON
 BRAZORIA COUNTY, TEXAS



4005 TECHNOLOGY DR., SUITE 1530
 ANGLETON, TEXAS 77515
 OFFICE: (979) 849-6681
 TBPELS No. 10052500 REG. NO. F-825

OWNER:
 WAYNE L. "SANDY" REA, II
 TEJAS VIEJO LAND COMPANY
 5454 NEWCASTLE DRIVE
 UNIT 1101
 HOUSTON, TX 77081

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SECTA	DATE: 02/14/2023	CHECKED BY: --

FIRE LANE AND FIRE EASEMENT

THAT THE UNDERSIGNED DOES HEREBY COVENANT AND AGREE THAT THEY SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD ALL-WEATHER SURFACE AND THAT THEY SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO THE PARKING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF FIRE APPARATUS. THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN APPROPRIATE SIGNS IN CONSPICUOUS PLACES ALONG SUCH FIRE LANES, STATING "FIRE LANE, NO PARKING." THE POLICE OR HIS DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBTSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.

PLANNING AND ZONING COMMISSION AND CITY COUNCIL

APPROVED THIS _____ DAY OF _____, 20____, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC
STATE OF TEXAS

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY" SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS): THE PORTION OF BLOCK 1 AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT." THE "DRAINAGE AND DETENTION EASEMENT" WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINAFORE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE _____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

- 1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
- 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
- 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
- 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS _____ BOARD MEMBER _____

BOARD MEMBER _____

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT WAYNE L. REA II, OF TEXAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINAFORE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION 1A, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON, THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II
TEJAS VIEJO LAND COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

FIELD NOTES FOR 51.766 ACRE

DESCRIPTION OF A 51.766 ACRE TRACT OF LAND, LOCATED WITHIN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380 BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), REFERRED TO HEREINAFTER AT THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2"-INCH CAPPED IRON ROD, STAMPED "STROUD", FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING LOCATED ON THE NORTHEAST CORNER OF RIGHT-OF-WAY (R.O.W.) LINE OF COUNTY ROAD 44 (ALSO KNOWN AS ANCHOR ROAD, 110' WIDE);

THENCE NORTH 47°10'56" WEST, ALONG THE SOUTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTHEAST LINE OF SAID COUNTY ROAD 44 R.O.W., A DISTANCE OF 350.63 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR THE SOUTHWEST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL NORTHEASTERLY DIRECTION ALONG THE NORTHWEST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES:

NORTH 42°49'04" EAST, A DISTANCE OF 99.66 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 66.28 FEET, SAID CURVE HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 0°35'41", A CHORD WHICH BEARS NORTH 44°35'44" EAST, A DISTANCE OF 66.23 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 50°24'44" EAST, A DISTANCE OF 91.59 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 25.90 FEET, SAID CURVE HAVING A RADIUS OF 400.00, A CENTRAL ANGLE OF 0°42'34", A CHORD WHICH BEARS NORTH 48°33'27" EAST, A DISTANCE OF 25.89 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 47°10'56" WEST, A DISTANCE OF 119.08 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 42°49'04" EAST, A DISTANCE OF 207.81 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 199.35 FEET, SAID CURVE HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 45°41'16", A CHORD WHICH BEARS NORTH 19°58'26" EAST, A DISTANCE OF 194.11 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 183.01 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'48" EAST, A DISTANCE OF 95.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 60.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'48" EAST, A DISTANCE OF 205.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 626.42 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 192.65 FEET, SAID CURVE HAVING A RADIUS OF 795.00 FEET, A CENTRAL ANGLE OF 1°33'02", A CHORD WHICH BEARS NORTH 55°48'34" EAST, A DISTANCE OF 192.17 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE OF REVERSE CURVATURE TO THE TO THE RIGHT, HAVING A RADIUS OF 705.00 FEET;

THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 32.92 FEET, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 0°24'31", A CHORD WHICH BEARS NORTH 50°12'19" EAST, A DISTANCE OF 32.92 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR THE MOST NORTHERLY CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL SOUTHEASTERLY DIRECTION ALONG THE NORTHEAST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 38°27'25" EAST, A DISTANCE OF 125.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 48.38, SAID CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 0°46'46", A CHORD WHICH BEARS NORTH 53°55'58" EAST, A DISTANCE OF 48.37 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 37°02'10" EAST, A DISTANCE OF 60.12 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 33°17'23" EAST, A DISTANCE OF 120.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR AN INTERIOR NORTHEAST CORNER OF SAID AUSTIN COLONY SECTION 1A, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 176.39 FEET, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 2°51'59", A CHORD WHICH BEARS NORTH 69°20'37" EAST, A DISTANCE OF 174.97 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 08°29'14" EAST, A DISTANCE OF 118.95 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 60.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'53" EAST, A DISTANCE OF 38.47 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 125.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

THENCE NORTH 87°07'48" EAST, CONTINUING ALONG THE NORTHEAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 548.43 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET IN THE WEST LINE R.O.W. LINE OF KARANKAWA ROAD (60' WIDE UNIMPROVED ROAD) FOR THE NORTHEAST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE SOUTH 02°52'54" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID KARANKAWA ROAD AND THE EAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 1,354.80 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR THE SOUTHEAST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE SOUTH 87°08'30" WEST, CONTINUING ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID AUSTIN COLONY SECTION 1A, A DISTANCE OF 1,547.89 FEET TO THE POINT OF BEGINNING OF THE ABOVE REFERENCED TRACT OF LAND, CONTAINING 51.766 ACRE OF LAND, MORE OR LESS.

NOTES:

- 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 11.313 ACRE TRACT INTO A 50 LOT 4 BLOCK 1 RESERVE SUBDIVISION.
- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD=83, U.S. SURVEY FEET.
- 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
- 4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C040K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 5. SITE BENCHMARK: TBM "A" 5/8"-INCH IRON ROD SET ±40' FROM THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ON THE SOUTHWEST HIGH BANK OF THE DITCH. ELEVATION= 26.90' NAVD1988 (BASED ON GPS OBSERVATION, GEDID 1B)
- 6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- 7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

**PRELIMINARY
NOT TO BE RECORDED
FOR ANY PURPOSE
DATE: 02/28/23**

DARREL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR NO. 5378

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS: THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL. THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

**PRELIMINARY
NOT TO BE RECORDED
FOR ANY PURPOSE
DATE: 02/28/23**

SIGNED: DOUGLAS B. ROESLER _____ DATE _____
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739

Plat note #1 - Verify and update the acreage shown in the plat note.

11.313 ACRE

Remove fire easement from plat if not applicable.

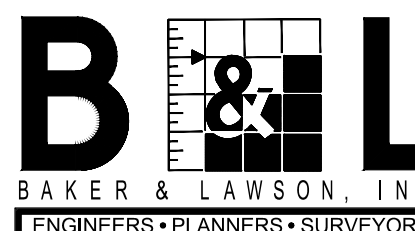
Verify and update block information in relation to proposed easement/reserves

Include information in plat notes for ownership and maintenance of proposed plat reserves

Remove additional text from the Engineer's Certificate

**PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
A 51.766 ACRE
50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
BEING A PORTION OF A CALLED 164.50 ACRE TRACT
AS RECORDED IN C.C.F.N. 2021067765
OF THE O.P.R.B.C.T.**

LOCATED IN THE
J. DE J. VALDERAS SURVEY
ABSTRACT NO. 380
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS



4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SEC1A	DATE: 02/14/2023	CHECKED BY: --

APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 3/1/2023

TYPE OF PLAT APPLICATION

ADMINISTRATIVE MINOR <input type="checkbox"/> AMENDING/REPLAT <input type="checkbox"/>	PRELIMINARY RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/>	FINAL RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/>
-----------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------

Address of property: Northeast Side of County Road 44 (Anchor Road) and 1,000' Southeast of CR 340 (Carr Road)

Name of Applicant: Douglas B. Roesler, P.E./Robin Crouch Phone: 979-849-6681

Name of Company: Baker & Lawson, Inc. Phone: _____

E-mail: drosler@bakerlawson.com

Name of Owner of Property: Tejas Angleton Development, LLC

Address: 5454 Newcastle Drive, Unit #1101, Houston, Texas 77081

Phone: 713-993-64543 E-mail: waynerea@swbell.net

I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant)

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 27 day of February, 2023.

(SEAL)

Notary Public for the State of Texas
 Commission Expires: 03-15-2025

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description) 164.5 acres being all of Lots 73,75,76, 77 and 84 of the New York and Texas Land Company Subdivision

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Douglas B. Roesler, P.E & Robin Crouch./Baker & Lawson, Inc.

ADDRESS: 4005 Technology Drive, Suite 1530, Angleton, Texas 77515

APPLICANT PHONE # 979-849-6681 E-MAIL: drosler@bakerlawson.com

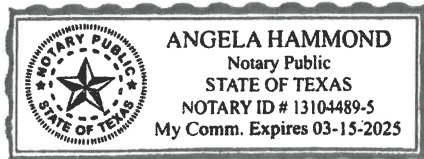
PRINTED NAME OF OWNER: Tejas Angleton Development, L.L.C.

SIGNATURE OF OWNER: Wayne C Roesler, II DATE: Jan 6, 2022

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 6 day of January, 2022.

(SEAL)



Angela Hammond
Notary Public for the State of Texas
Commission Expires: 03-15-2025

PROJECT SUMMARY FORM

Address of property Northeast side of CR 44 (Anchor Road) across the street from the City of Angleton's Lakeside Park.

The subject property fronts 350 feet on the Northeast side of CR 44 (Anchor Rd.)

Depth: 1,500 Ft. Area: 2,254,927 S.F. Acres: 51.766 Ac. square feet

INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):
To plat Section 1A of a multiple section development. Section 1A will be
50 lots (22-60' wide lots & 28-50' wide lots). Also included in the plat are
reserves areas for a landscape/park area (1.400 acres), a detention pond
area (1.808 acres) and a utility and Drainage reserve (7.037 acres).

Is this platting a requirement for obtaining a building permit? YES NO

INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.

1. See Engineer's Summary Letter dated February 20, 2023.
2. See Preliminary Plat for Austin Colony Section 1A.
3. See Preliminary Utility and Storm Sewer Layout drawing.

Name: *Robi Crow* Date: 02/27/23

SUBMITTAL REQUIREMENTS

Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN_DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

1. A completed application form and application fee;
2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with §117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
3. A preliminary utility plan showing all existing and proposed utilities;
4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
6. A drainage report, as set out in section 23-15, Drainage and utilities;
7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
8. A current tax certificate(s);
9. Construction plans may be submitted at the option of the applicant;
10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
12. Heritage tree survey and a tree preservation plan;
13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

***RESIDENTIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)**

200 Lots or less	\$800.00 plus \$6.00 per lot
More than 200 Lots	\$4.00 per additional lot over 200
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

***COMMERCIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)**

Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time)

OFFICE USE ONLY:

Date received: _____ By: _____

Type of Plat: _____

Description of individual charges:

Total Fee Received: _____ By: _____

Proof of taxes received: _____ Yes If no, explain: _____

PRELIMINARY PLAT MEETINGS:

Pre-submission conference/meeting date: _____

Received Preliminary Plat on: _____ by _____

Preliminary plat staff meeting date: _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

FINAL PLAT MEETINGS:

Received final plat on _____ by _____

Reviewed by Staff on _____ by _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

Filed with County Clerk on: _____

File-stamped copy to owner/developer on: _____

Exhibit C
Development Standards and District Regulations

All regulations of the Code of Ordinances of the City of Angleton shall apply in this Planned Development PD Three (3) unless otherwise modified in this Exhibit or the PD Planned Development Overlay District Three (3) Ordinance.

REGULATIONS for Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9. as identified in Exhibit "B":

1. **Base District.** The provisions of Section 28-47 SF-5 Single Family Residential 5 District of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance shall apply to Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9, except as otherwise modified herein.
2. **Uses.** Those uses described for the SF-5 district in Section 28-81 Use Regulations (Charts) shall be permitted for Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9.
3. **Lot Dimensions and Development.** The lots shall be the size depicted in Exhibit "B" and shall be approximately 120 feet in length, with the front width of each lot as set forth in this Sections and Lot Summary Chart.

SECTIONS AND LOT SUMMARY CHART				
Section	Lot Width 50 Feet	Lot Width 55 Feet	Lot Width 60 Feet	Section Lot Total
1A	30 Lots	20 Lots		50 Lots
1B		50 Lots		50 Lots
Section 2A	24 Lots	29 Lots		53 Lots
Section 2B	46 Lots	1 Lots		47 Lots
Section 3		43 Lots	9 Lots	52 Lots
Section 4		46 Lots	17 Lots	63 Lots
Section 5		26 Lots	35 Lots	61 Lots
Section 6			41 Lots	41 Lots
Section 7			50 Lots	50 Lots
Section 8			44 Lots	44 Lots
Section 9 Commercial reserve or 55-60 Lots			55 Lots	
Lot Size Total	100 Lots	215 Lots	251 Lots	566 Lots
Size%	17.67%	37.99%	44.34%	100%

4. **Entry Monument.** An Entry Monument shall be placed at the corner of Austin Colony Boulevard and County Road 44, which is the entry to the Project off County Road 44. The Entry Monument shall be either brick or stone with landscaping, planted grass, shrubs, an irrigation system and lighting.
5. **Fencing.** Developer agrees to install perimeter fencing as depicted in **Exhibit "D"** attached hereto. Developer agrees to install premium, stained, crowned fencing along the

rear Property lines of all lots at the intersection of the Austin Colony Boulevard entrance at CR 44 (Anchor Road) and along both sides of the extension of Tigner Street. All perimeter fencing shall be maintained by the Homeowners' Association. Perimeter fencing shall not be installed within any street intersection sight triangles. All fencing for each proposed development phase shall be installed prior to the occupancy of any residence in that phase. All wood fencing will have a top cap.

REGULATIONS for Phase 9 as identified by Exhibit "B":

- 1. Base District.** The provisions of Section 28-58 C-O/R Commercial-Office/Retail District of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance, shall apply to Phase 9 of the Property subject to the provisions of this Exhibit and the PD Planned Development Overlay District Three (3) Ordinance.
- 2.** In the event the then current owner of the property depicted as Phase 9 of Exhibit "B" hereof has not applied for a building permit for an office or retail use permitted by Section 28-81 of the City of Angleton Code of Ordinances (C-O/R - Commercial office-Retail District) within six (6) years of the issuance of the first building permit in the project, the then current owner shall be automatically, and with no additional legislative action, be permitted to take all necessary steps to construct single family residential product consistent with the requirements of Section 28-47 SF-5 Single Family Residential District and Exhibit "B".



April 3, 2023

Mr. Otis Spriggs
 Director of Development Services
 City of Angleton
 121 S. Velasco
 Angleton, TX 77515

Re: Austin Colony Section 1a Preliminary Plat – 1st Submittal Review Comments Angleton, Texas

Dear Mr. Spriggs:

Attached is the updated Austin Colony Section 1A Preliminary Plat preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
Included a lot and block table with square footages.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
Added owner name for adjacent tracts.
3. Provide callout for Reserve D and include acreage as provided for other reserves.
Provided callout for Reserve D.
4. Notate applicable future Austin Colony phases on the preliminary plat.
Noted future Austin Colony phases.
5. Verify and update limits of 20-U.E. within Reserve “B” and adjacent to Karankawa Road.
Verified and updated limits.
6. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.
City Limits location is shown on CR 44. Property was annexed into the City Limits March 9, 2021 - Ordinance No. 2021030-016

Sheet 2 of 2

1. Remove fire easement from plat if not applicable
Removed
2. Verify and update block information in relation to proposed easement/reserves shown in the Drainage and Detention Easement plat certificate.
Updated
3. Plat note #1 - Verify and update the acreage shown in the plat note.
Acreage and Reserves updated
4. Include information in plat notes for ownership and maintenance of proposed plat reserves
Included note
5. Remove additional text from the Engineer's Certificate.
Removed

DOUGLAS B. ROESLER, P.E. - Principal Engineer
 4005 TECHNOLOGY DRIVE, SUITE 1530, ANGLETON, TEXAS 77515
 (979) 849-6681 • Fax (979) 849-4689

We believe all comments have been addressed. Please let us know if further information is needed.

Sincerely,

A handwritten signature in blue ink that reads "Robin Crouch". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Robin Crouch

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS ____ DAY OF _____, 20____, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC STATE OF TEXAS

MY COMMISSION EXPIRES

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT" THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER, PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERRECT OR CONSIDER ERRECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE "DRAINAGE AND DETENTION EASEMENT" AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERRECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT WAYNE L. REA II, OF TEXAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION 1A, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON, THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II

TEXAS VIEJO LAND COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

FIELD NOTES FOR 51.766 ACRE

DESCRIPTION OF A 51.766 ACRE TRACT OF LAND, LOCATED WITHIN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380 BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), REFERRED TO HEREINAFTER AT THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2"-INCH CAPPED IRON ROD, STAMPED "STROUD", FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING LOCATED ON THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

THENCE NORTH 47°10'56" WEST, ALONG THE SOUTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTHEAST LINE OF SAID COUNTY ROAD 44 R.O.W., A DISTANCE OF 350.63 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR THE SOUTHWEST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL NORTHEASTERLY DIRECTION ALONG THE NORTHWEST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES:

NORTH 42°49'04" EAST, A DISTANCE OF 99.66 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 66.28 FEET, SAID CURVE HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 07°35'41", A CHORD WHICH BEARS NORTH 46°35'54" EAST, A DISTANCE OF 66.23 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 50°24'44" EAST, A DISTANCE OF 91.59 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 25.90 FEET, SAID CURVE HAVING A RADIUS OF 400.00, A CENTRAL ANGLE OF 03°42'34", A CHORD WHICH BEARS NORTH 48°33'27" EAST, A DISTANCE OF 25.89 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 47°10'56" WEST, A DISTANCE OF 119.08 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 42°49'04" EAST, A DISTANCE OF 207.81 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 199.35 FEET, SAID CURVE HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 45°41'16", A CHORD WHICH BEARS NORTH 19°58'26" EAST, A DISTANCE OF 194.11 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 183.01 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'48" EAST, A DISTANCE OF 95.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 60.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'48" EAST, A DISTANCE OF 205.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 626.42 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 192.65 FEET, SAID CURVE HAVING A RADIUS OF 795.00 FEET, A CENTRAL ANGLE OF 13°53'02", A CHORD WHICH BEARS NORTH 58°48'34" EAST, A DISTANCE OF 192.17 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE OF REVERSE CURVATURE TO THE TO THE RIGHT, HAVING A RADIUS OF 705.00 FEET;

THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 32.92 FEET, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 02°40'31", A CHORD WHICH BEARS NORTH 50°12'19" EAST, A DISTANCE OF 32.92 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR THE MOST NORTHERLY CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL SOUTHEASTERLY DIRECTION ALONG THE NORTHEAST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 38°27'25" EAST, A DISTANCE OF 125.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 48.38, SAID CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 04°46'46", A CHORD WHICH BEARS NORTH 53°55'58" EAST, A DISTANCE OF 48.37 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 37°02'10" EAST, A DISTANCE OF 60.12 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 33°17'23" EAST, A DISTANCE OF 120.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR AN INTERIOR NORTHEAST CORNER OF SAID AUSTIN COLONY SECTION 1A, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 176.39 FEET, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 29°15'59", A CHORD WHICH BEARS NORTH 69°20'37" EAST, A DISTANCE OF 174.97 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 08°29'14" EAST, A DISTANCE OF 118.95 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 60.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'53" EAST, A DISTANCE OF 38.47 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 125.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

THENCE NORTH 87°07'48" EAST, CONTINUING ALONG THE NORTHEAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 548.43 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET IN THE WEST LINE R.O.W. LINE OF KARANKAWA ROAD (60' WIDE UNIMPROVED ROAD) FOR THE NORTHEAST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE SOUTH 02°52'54" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID KARANKAWA ROAD AND THE EAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 1,354.80 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR THE SOUTHEAST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE SOUTH 87°08'30" WEST, CONTINUING ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID AUSTIN COLONY SECTION 1A, A DISTANCE OF 1,547.89 FEET TO THE POINT OF BEGINNING OF THE ABOVE REFERENCED TRACT OF LAND, CONTAINING 51.766 ACRE OF LAND, MORE OR LESS.

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 51.766 ACRE TRACT INTO A 50 LOT 4 BLOCK 5 RESERVE SUBDIVISION.
2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY; MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
5. SITE BENCHMARK:
TBM "A" 5/8"-INCH IRON ROD SET 440' FROM THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ON THE SOUTHWEST HIGH BANK OF THE DITCH.
ELEVATION= 26.90' NAVD1988 (BASED ON GPS OBSERVATION, GEOID 18)
6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON WILL RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THE MAINTENANCE OF THE RESERVES LOCATED ON THIS PLAT.
13. THE PLATTED PROPERTY LIES WITHIN A TRACT OF LAND (164.5 ACRE TRACT) ANNEXED BY THE CITY OF ANGLETON ON MARCH 9, 2021, CITY ORDINANCE NO. 20210309016

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY
NOT TO BE RECORDED
FOR ANY PURPOSE
DATE: 02/28/23

DARREL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR NO. 5378

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

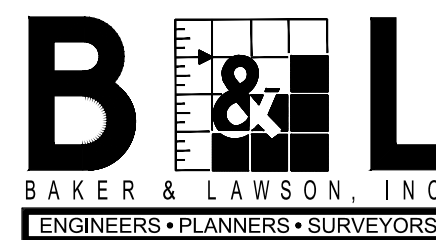
PRELIMINARY
NOT TO BE RECORDED
FOR ANY PURPOSE
DATE: 02/28/23

SIGNED: DOUGLAS B. ROESLER DATE _____
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739

SHEET 2 OF 2

PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
A 51.766 ACRE
50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
BEING A PORTION OF A CALLED 164.50 ACRE TRACT
AS RECORDED IN C.C.F.N. 2021067765
OF THE O.P.R.B.C.T.

LOCATED IN THE
J. DE J. VALDERAS SURVEY
ABSTRACT NO. 380
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS



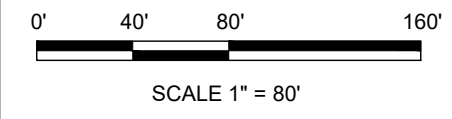
4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SEC1A	DATE: 3/13/2023	CHECKED BY: DH

OWNER:
WAYNE L. "SANDY" REA, II
TEXAS VIEJO LAND COMPANY
5454 NEWCASTLE DRIVE
UNIT 1101
HOUSTON, TX 77081

BRAZORIA COUNTY, TEXAS
J. DE. J. VALDERAS SURVEY, A-380

RESERVE TABLE			
SYMBOL	DESCRIPTION	RESERVE USE	AREA
(A)	RESTRICTED RESERVE "A"	RESTRICTED LANDSCAPE USE	1.400 AC.
(B)	RESTRICTED RESERVE "B"	RESTRICTED TO UTILITY & DRAINAGE USE	7.037 AC.
(C)	RESTRICTED RESERVE "C"	RESTRICTED TO RESIDENTIAL USE	21.208 AC.
(D)	RESTRICTED RESERVE "D"	RESTRICTED TO UTILITY & DRAINAGE USE	0.055 AC.
(E)	RESTRICTED RESERVE "E"	RESTRICTED TO UTILITY & DRAINAGE USE	10.808 AC.



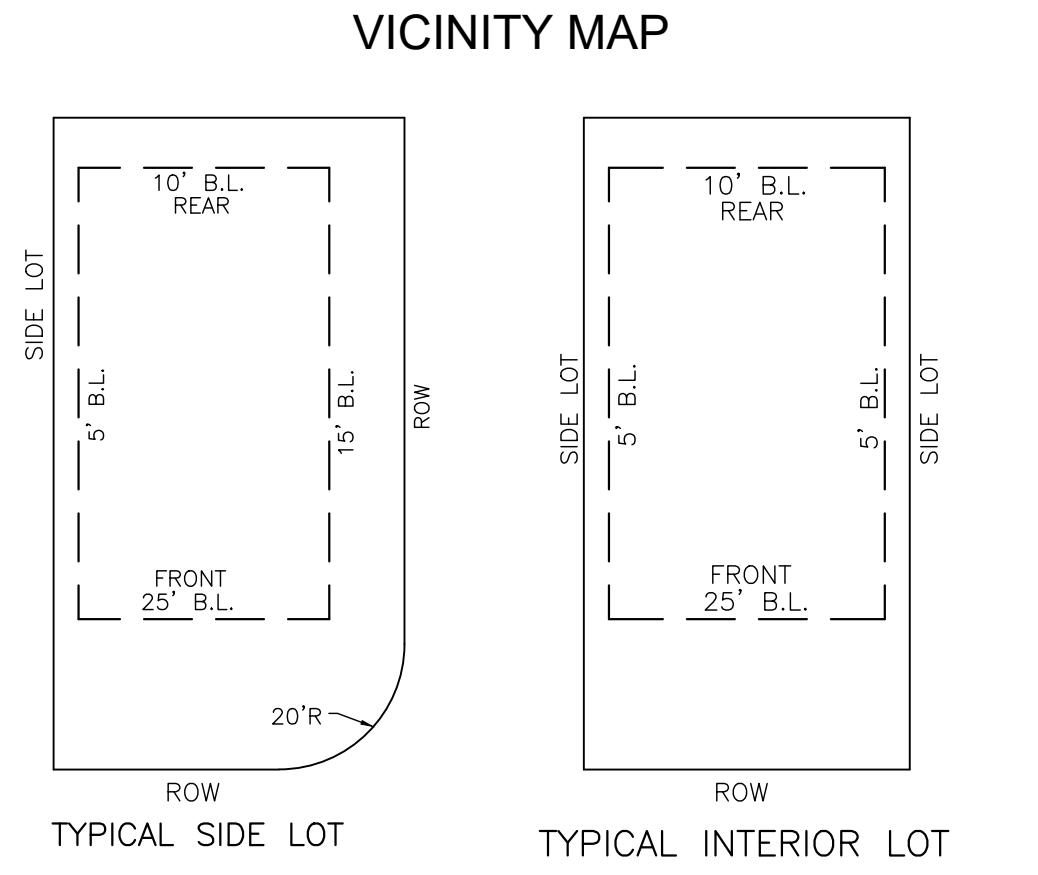
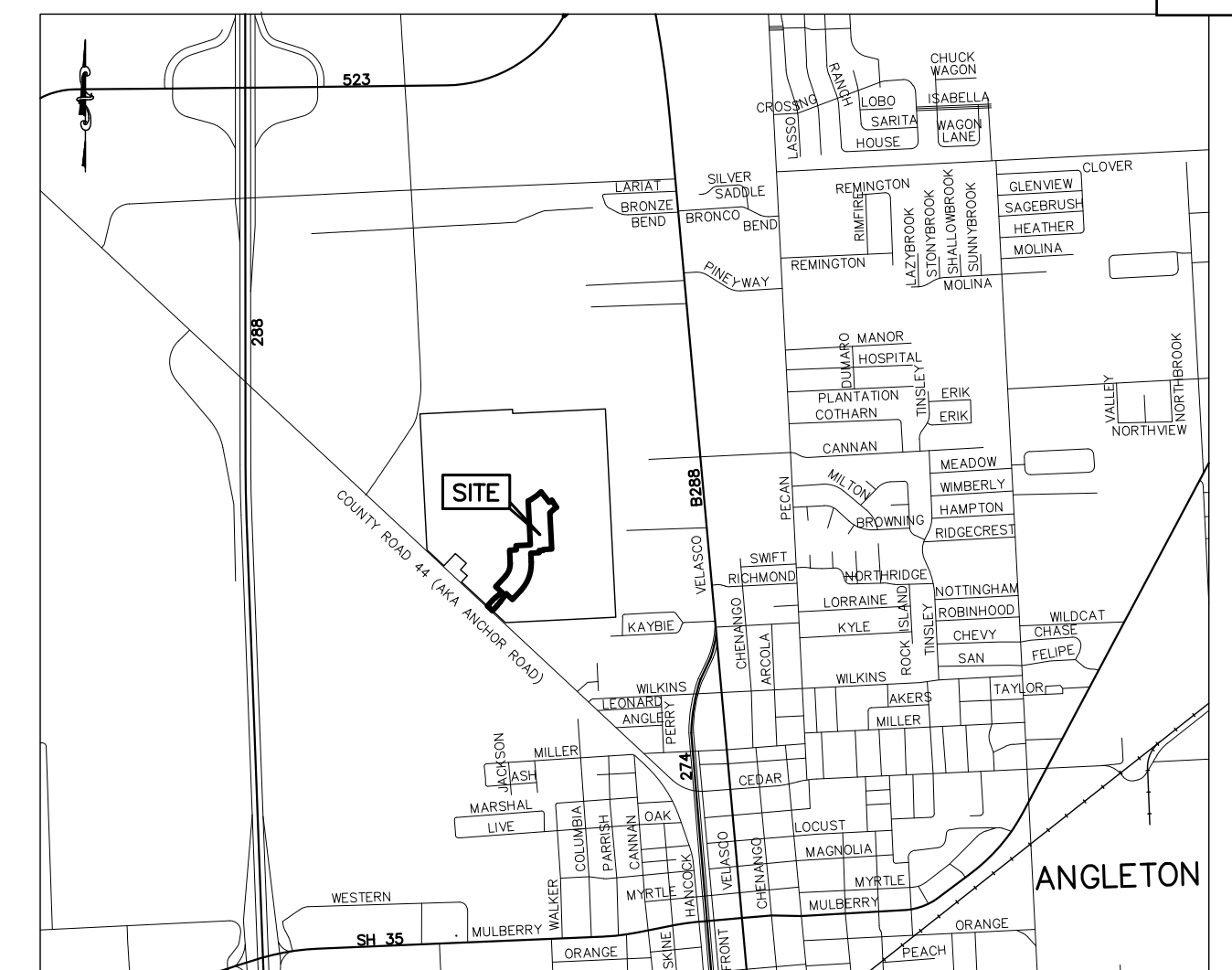
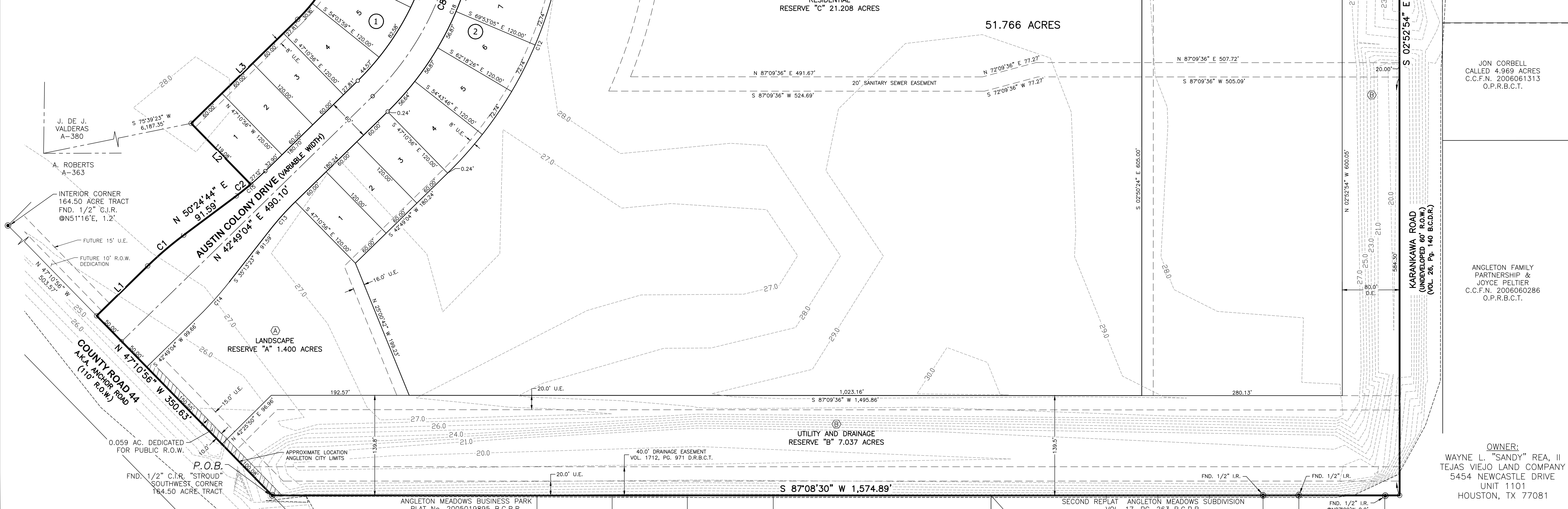
LEGEND

- O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS
- D.R.B.C.T. = DEED RECORDS BRAZORIA COUNTY TEXAS
- P.R.B.C.T. = PLAT RECORDS BRAZORIA COUNTY TEXAS
- C.C.F.N. = COUNTY CLERK'S FILE NUMBER
- FND. = FOUND
- C.I.R. = CAPTOP IRON ROD
- I.R. = IRON ROD
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- R.O.W. = RIGHT-OF-WAY
- VOL., PG. = VOLUME PAGE
- B.L. = BUILDING LINE
- U.E. = UTILITY EASEMENT

Line Table		
Line No.	Length	Direction
L1	99.66'	N42°49'04"E
L2	119.08'	N47°10'56"W
L3	207.81'	N42°49'04"E
L4	95.00'	N87°07'48"E
L5	60.00'	N02°52'12"W
L6	118.95'	S08°29'14"E

Line Table		
Line No.	Length	Direction
L7	60.00'	S02°52'12"E
L8	38.47'	N87°07'53"E
L9	67.56'	N48°52'03"E
L10	42.28'	S02°52'12"E
L11	50.00'	S02°52'12"E
L12	60.00'	S87°07'48"W
L13	7.28'	N02°52'12"W

Curve Table					
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	66.28'	500.00'	7°35'41"	N46°36'54"E	66.23'
C2	25.90'	400.00'	3°42'34"	N48°33'27"E	25.89'
C3	199.35'	250.00'	45°41'16"	N19°58'26"E	194.11'
C4	192.65'	795.00'	13°53'02"	N55°48'34"E	192.17'
C5	32.92'	705.00'	2°40'31"	N50°12'19"E	32.92'
C6	48.38'	580.00'	4°46'46"	N53°55'58"E	48.37'
C7	176.39'	400.00'	25°15'59"	N69°20'37"E	174.97'
C8	318.96'	400.00'	45°41'17"	N19°58'25"E	310.58'
C9	135.45'	150.00'	51°44'16"	N22°59'55"E	130.89'
C10	73.32'	550.00'	7°38'17"	N52°41'12"E	73.27'
C11	54.75'	400.00'	7°50'34"	S52°47'20"W	54.71'
C12	438.57'	550.00'	45°41'16"	S19°58'26"W	427.04'
C13	53.48'	400.00'	7°39'39"	S39°03'12"W	53.44'
C14	66.28'	500.00'	7°35'41"	S39°01'13"W	66.23'
C15	53.02'	400.00'	7°35'41"	N46°36'54"E	52.98'
C16	295.04'	370.00'	45°41'17"	N19°58'25"E	287.28'
C17	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'
C18	342.88'	430.00'	45°41'17"	N19°58'25"E	333.67'
C19	31.42'	20.00'	90°00'00"	S42°07'48"W	28.28'
C20	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'
C21	31.42'	20.00'	90°00'00"	N42°07'48"E	28.28'
C22	162.54'	180.00'	51°44'16"	S22°59'55"W	157.07'
C23	75.50'	580.00'	7°27'30"	S52°35'36"W	75.45'
C24	108.36'	120.00'	51°44'16"	S22°59'55"W	104.72'
C25	71.18'	520.00'	7°50'34"	S52°47'20"W	71.12'
C26	287.92'	670.00'	24°37'19"	N09°26'27"E	285.71'
C27	265.67'	690.00'	22°03'39"	S08°09'37"W	264.03'



BLOCK 1 SECTION 1A		BLOCK 2 SECTION 1A		BLOCK 3 SECTION 1A		BLOCK 4 SECTION 1A	
PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE
LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.
1	7,192	1	7,200	1	6,514	1	6,000
2	7,200	2	7,200	2	6,000	2	6,000
3	7,200	3	7,200	3	6,000	3	6,000
4	7,821	4	7,774	4	6,000	4	6,000
5	8,302	5	7,776	5	6,000	5	6,000
6	8,302	6	7,776	6	6,000	6	6,000
7	8,337	7	7,776	7	6,000	7	6,000
8	7,200	8	7,776	8	6,000	8	6,000
9	7,200	9	7,797	9	6,001	9	6,000
10	7,714	10	7,200	10	8,732	10	6,939
		11	7,200	11	11,020	11	8,197
		12	7,714	12	9,689	12	6,115
		13	6,514	13	6,550	13	6,587
		14	6,414	14	6,414		

TEJAS-ANGLETON DEVELOPMENT, LLC
CALLED 11.535 ACRES
B.C.C.F. NO. 2021067765
O.P.R.B.C.T.

CORNERSTONE SUBDIVISION
VOL. 16, PG. 343
B.C.P.R.

JON CORBELL
CALLED 4.969 ACRES
C.C.F.N. 2006061313
O.P.R.B.C.T.

ANGLETON FAMILY PARTNERSHIP & JOYCE FELTNER
C.C.F.N. 2006060286
O.P.R.B.C.T.

OWNER:
WAYNE L. "SANDY" REA, II
TEJAS VIEJO LAND COMPANY
5454 NEWCASTLE DRIVE
UNIT 1101
HOUSTON, TX 77081

SHEET 1 OF 2

PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
A 51.766 ACRES
50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
BEING A PORTION OF A CALLED 164.50 ACRE TRACT
AS RECORDED IN C.C.F.N. 2021067765
OF THE O.P.R.B.C.T.

LOCATED IN THE
J. DE J. VALDERAS SURVEY
ABSTRACT NO. 380
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS

4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SEC1A	DATE: 3/13/2023	CHECKED BY: DH

J:\14005\14257\14257_Preliminary-Subdivision-Survey\Drawings\Survey - PLAT\14257_PLAT SEC1A.DWG 4/23/23 4:48pm Dwg

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS ____ DAY OF _____, 20____, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC STATE OF TEXAS

MY COMMISSION EXPIRES

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT" THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION, NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER, PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERRECT OR CONSIDER ERRECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE "DRAINAGE AND DETENTION EASEMENT" AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERRECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT WAYNE L. REA II, OF TEXAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION 1A, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON, THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II
TEXAS VIEJO LAND COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

FIELD NOTES FOR 51.766 ACRE

DESCRIPTION OF A 51.766 ACRE TRACT OF LAND, LOCATED WITHIN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380 BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), REFERRED TO HEREINAFTER AT THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2"-INCH CAPPED IRON ROD, STAMPED "STROUD", FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING LOCATED ON THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

THENCE NORTH 47°10'56" WEST, ALONG THE SOUTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTHEAST LINE OF SAID COUNTY ROAD 44 R.O.W., A DISTANCE OF 350.63 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR THE SOUTHWEST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL NORTHEASTERLY DIRECTION ALONG THE NORTHWEST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES:

NORTH 42°49'04" EAST, A DISTANCE OF 99.66 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 66.28 FEET, SAID CURVE HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 07°35'41", A CHORD WHICH BEARS NORTH 46°35'54" EAST, A DISTANCE OF 66.23 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 50°24'44" EAST, A DISTANCE OF 91.59 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 25.90 FEET, SAID CURVE HAVING A RADIUS OF 400.00, A CENTRAL ANGLE OF 03°42'34", A CHORD WHICH BEARS NORTH 48°33'27" EAST, A DISTANCE OF 25.89 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 47°10'56" WEST, A DISTANCE OF 119.08 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 42°49'04" EAST, A DISTANCE OF 207.81 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 199.35 FEET, SAID CURVE HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 45°41'16", A CHORD WHICH BEARS NORTH 19°58'26" EAST, A DISTANCE OF 194.11 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 183.01 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'48" EAST, A DISTANCE OF 95.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 60.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'48" EAST, A DISTANCE OF 205.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 626.42 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 192.65 FEET, SAID CURVE HAVING A RADIUS OF 795.00 FEET, A CENTRAL ANGLE OF 13°53'02", A CHORD WHICH BEARS NORTH 55°48'34" EAST, A DISTANCE OF 192.17 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE OF REVERSE CURVATURE TO THE TO THE RIGHT, HAVING A RADIUS OF 705.00 FEET;

THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 32.92 FEET, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 02°40'31", A CHORD WHICH BEARS NORTH 50°12'19" EAST, A DISTANCE OF 32.92 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR THE MOST NORTHERLY CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL SOUTHEASTERLY DIRECTION ALONG THE NORTHEAST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 38°27'25" EAST, A DISTANCE OF 125.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 48.38, SAID CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 04°46'46", A CHORD WHICH BEARS NORTH 53°55'58" EAST, A DISTANCE OF 48.37 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 37°02'10" EAST, A DISTANCE OF 60.12 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 33°17'23" EAST, A DISTANCE OF 120.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR AN INTERIOR NORTHEAST CORNER OF SAID AUSTIN COLONY SECTION 1A, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 176.39 FEET, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 29°15'59", A CHORD WHICH BEARS NORTH 69°20'37" EAST, A DISTANCE OF 174.97 FEET, TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 08°29'14" EAST, A DISTANCE OF 118.95 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 60.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

NORTH 87°07'53" EAST, A DISTANCE OF 38.47 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 125.00 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR CORNER;

THENCE NORTH 87°07'48" EAST, CONTINUING ALONG THE NORTHEAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 548.43 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET IN THE WEST LINE R.O.W. LINE OF KARANKAWA ROAD (60' WIDE UNIMPROVED ROAD) FOR THE NORTHEAST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE SOUTH 02°52'54" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID KARANKAWA ROAD AND THE EAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 1,354.80 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON"; SET FOR THE SOUTHEAST CORNER OF AUSTIN COLONY SECTION 1A;

THENCE SOUTH 87°08'30" WEST, CONTINUING ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID AUSTIN COLONY SECTION 1A, A DISTANCE OF 1,547.89 FEET TO THE POINT OF BEGINNING OF THE ABOVE REFERENCED TRACT OF LAND, CONTAINING 51.766 ACRE OF LAND, MORE OR LESS.

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 51.766 ACRE TRACT INTO A 50 LOT 4 BLOCK 5 RESERVE SUBDIVISION.
2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY UNRECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY; MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
5. SITE BENCHMARK:
TM 14 5/8"-INCH IRON ROD SET 440' FROM THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ON THE SOUTHWEST HIGH BANK OF THE DITCH.
ELEVATION= 26.90' NAVD1988 (BASED ON GPS OBSERVATION, GEOID 18)
6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON WILL RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THE MAINTENANCE OF THE RESERVES LOCATED ON THIS PLAT.
13. THE PLATTED PROPERTY LIES WITHIN A TRACT OF LAND (164.5 ACRE TRACT) ANNEXED BY THE CITY OF ANGLETON ON MARCH 9, 2021, CITY ORDINANCE NO. 20210309016

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

**PRELIMINARY
NOT TO BE RECORDED
FOR ANY PURPOSE
DATE: 02/28/23**

DARREL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR NO. 5378

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

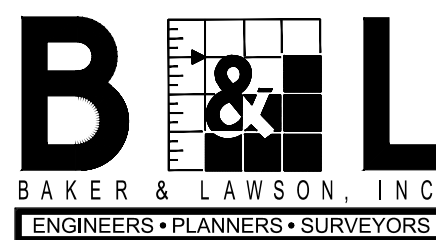
**PRELIMINARY
NOT TO BE RECORDED
FOR ANY PURPOSE
DATE: 02/28/23**

SIGNED: DOUGLAS B. ROESLER DATE _____
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739

SHEET 2 OF 2

PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
A 51.766 ACRE
50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
BEING A PORTION OF A CALLED 164.50 ACRE TRACT
AS RECORDED IN C.C.F.N. 2021067765
OF THE O.P.R.B.C.T.

LOCATED IN THE
J. DE J. VALDERAS SURVEY
ABSTRACT NO. 380
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS



4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SEC1A	DATE: 3/13/2023	CHECKED BY: DH

OWNER:
WAYNE L. "SANDY" REA, II
TEXAS VIEJO LAND COMPANY
5454 NEWCASTLE DRIVE
UNIT 1101
HOUSTON, TX 77081



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on a Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east.

AGENDA ITEM SECTION: Regular Agenda Item

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

The subject property consists of approximately Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east. Riverwood Ranch Section 3 consists of 73 lots, 4 blocks and 5 reserves, being a portion of a called 73.74 acre tract located in the Theodore S. Lee Survey, abstract No. 318, City of Angleton, Brazoria County, Texas.

The permitted lot sizes and density for the Riverwood Ranch project were established as part of an ordinance (ORD. 20200609-006) approving the Planned Development zoning on the property. That ordinance was subsequently amended by ORD. 20200112-014; to include agricultural uses to allow the property owner to obtain an agricultural exemption on the undeveloped portion of the property.

STAFF REVIEW

The City Engineer has reviewed the submitted the Riverwood Ranch Subdivision, Section 3, and the listed (10) comments have been addressed by the applicant since this agenda posting. The comments found in the review were minor and are primarily textual/formatting items noted for correction. Staff has cleared the noted comments.

RECOMMENDATION:

The Planning and Zoning Commission approves the Riverwood Ranch Subdivision, Section 3 final Plat, and recommends it to City Council for final action.

April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Riverwood Ranch Section 3 Final Plat and Construction Plans – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the construction plans and final plat for the above referenced subdivision and offers the following comments:

Final Plat - Sheet 1 of 2

1. Show existing Riverwood Ranch Section 1 in grey scale or dashed lines.
2. Notate future Riverwood Ranch phases on Final plat.
3. Show existing Northview Subdivision Section 1 in grey scale or dashed lines.

Construction Plans

Sheet 9 – Plan & Profile Emma Street Sta. 10+00 to 15+60

1. Verify if overflow weir to extend into ROW where notated on the plans.
2. Revise water line offset (Sta. 14+00) shown to be more gradual deflection. Example shown on profile.

Sheet 10 – Plan & Profile Robin Street Sta. 1+60 to 4+20

1. Proposed water line is in conflict with proposed sanitary sewer near Sta. 3+15.

Sheet 14 – Plan & Profile Amy Street Sta. 0+00 to 3+20

1. Verify and update water surface elevations shown for 25yr and 100yr.

Sheet 24 – Paving Marking , Street Sign, and Roadway Lighting Layout

1. Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b. See sheet for locations.
2. Update plan sheet to include all proposed striping including stop bar locations and striping on Buchta Road.

Sheet 40 – Residential Curb Construction Details SL-23

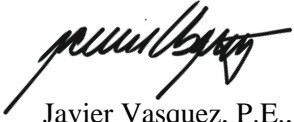
1. Revise subgrade section shown. 8-inch minimum to be used.

The proposed plat and plans are incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Riverwood Ranch Section 3 Final Plat and Construction Plans be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

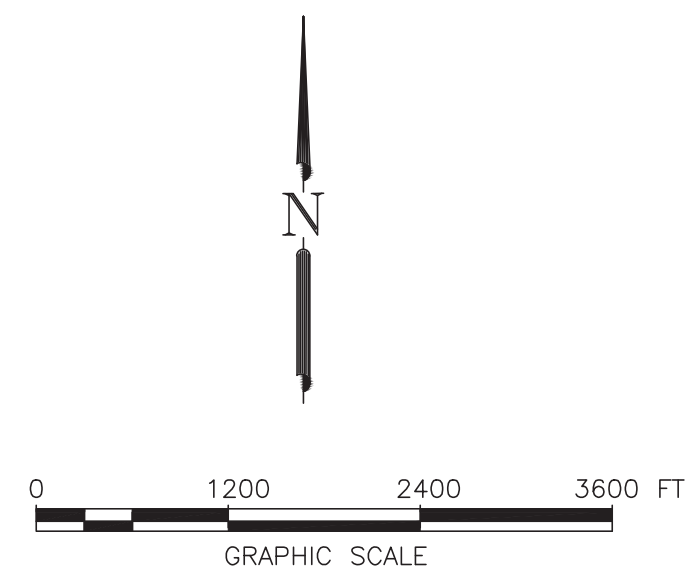
A handwritten signature in black ink, appearing to read 'Javier Vasquez', written in a cursive style.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 8 BLOCKS, 145 LOTS IN THE CITY OF ANGLETON BRAZORIA COUNTY B&L JOB No. 14396

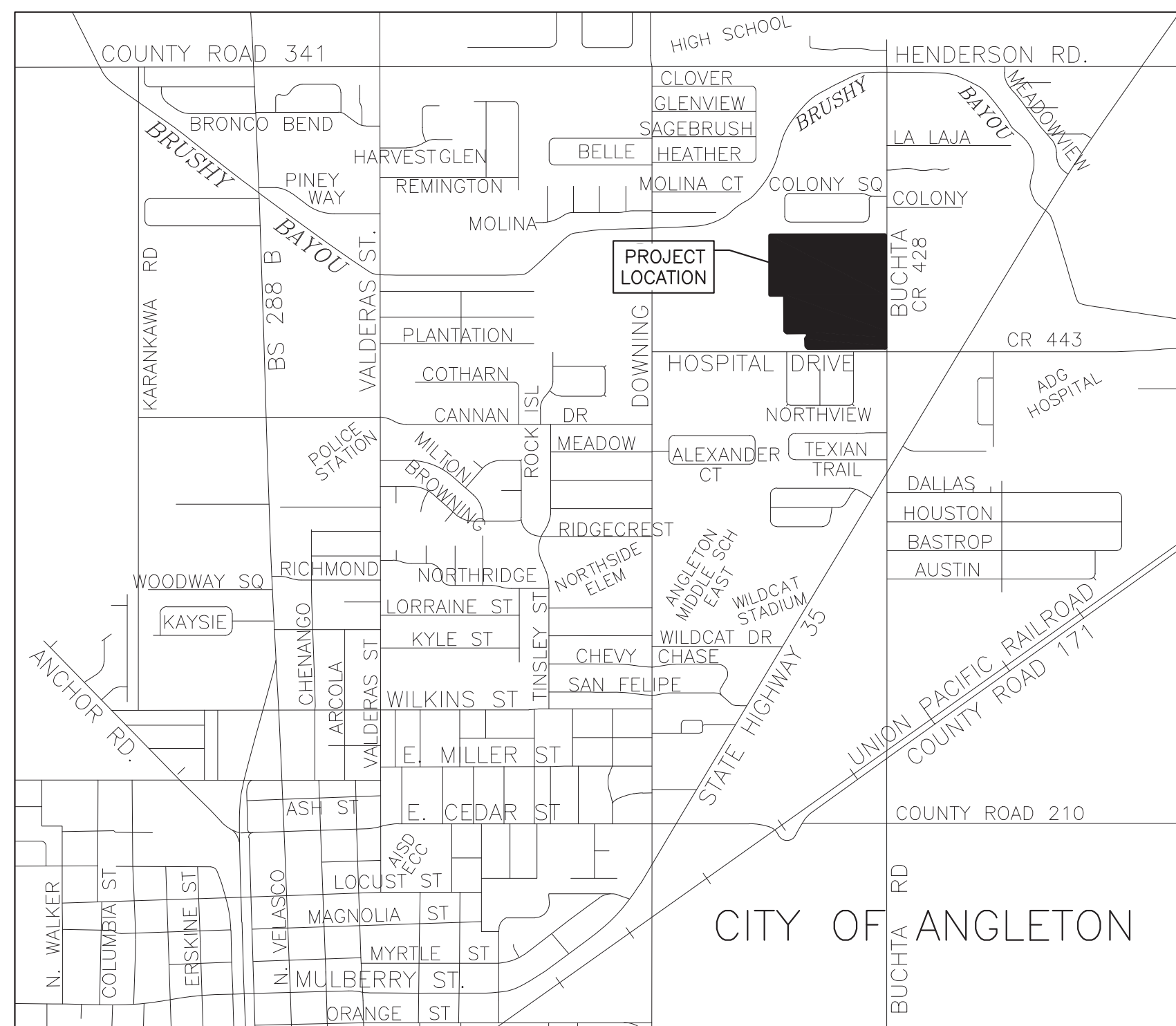


INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
1	TITLE SHEET
-	FINAL PLAT
2	CONSTRUCTION NOTES
3	EXISTING CONDITIONS & DEMOLITION
4	DRAINAGE AREA MAP
5	LOT GRADING PLAN
5A	CUT & FILL CALCULATION
6	UTILITY PLAN & SHEET LAYOUT
7	PLAN & PROFILE - EMMA STREET STA -0+80 TO 4+80
8	PLAN & PROFILE - EMMA STREET STA 4+80 TO 10+00
9	PLAN & PROFILE - EMMA STREET STA 10+00 TO 15+60
10	PLAN & PROFILE - ROBIN STREET STA -1+60 TO 4+20
11	PLAN & PROFILE - ROBIN STREET STA 4+20 TO 9+60
12	PLAN & PROFILE - ROBIN STREET STA 9+60 TO 15+20
13	PLAN & PROFILE - ROBIN STREET STA 15+20 TO 20+40
14	PLAN & PROFILE - AMY STREET STA 0+00 TO 3+20
15	PLAN & PROFILE - AMY STREET STA 3+20 TO 8+00
16	PLAN & PROFILE - AMY STREET STA 15+00 TO 17+80
17	PLAN & PROFILE - AMY STREET STA 17+80 TO 22+68
17A	PLAN & PROFILE - OUTFALL C & D
17B	PLAN & PROFILE - OUTFALL D & NORTH DITCH
17C	PLAN & PROFILE - NORTH DITCH
17D	PLAN & PROFILE - NORTH DITCH
18	DETENTION POND
19	SWPPP LAYOUT
20	SWPPP NARRATIVE
21	HYDROLOGICAL CALCULATIONS
22	WINDSTORM DATA RUN A & B
23	WINDSTORM DATA RUN C & D
24	PAVEMENT MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT
25	TRAFFIC CONTROL PLAN - TCP (2-5) - 18
26	HERITAGE TREE PRESERVATION PLAN

DETAIL SHEETS

27	MISCELLANEOUS DETAILS
28 (SL-03)	STORM SEWER MANHOLE CONSTR. DETAILS
29 (SL-08)	STORM SEWER INLET CONSTR. DETAILS II
30 (SL-09)	STORM SEWER INLET CONSTR. DETAILS III
31 (SL-10)	STORM SEWER CONSTR. DETAILS
32 (SL-11)	JUNCTION BOX MANHOLES
33 (SL-14)	SANITARY SEWER CONSTR. DETAILS
34 (SL-15)	WATER LINE CONSTR. DETAILS
35 (SL-16)	WATER LINE CROSSING DETAILS
36 (SL-19)	WATER LINE, SAN. SEW. F.M. BEDDING DETAILS
37 (SL-20)	STORM SEW. BEDDING AND BACKFILL DETAILS
38 (SL-21)	CONCRETE PAVEMENT CONSTR. DETAILS
39 (SL-22)	CONCRETE PAVEMENT CONSTR. DETAILS
40 (SL-23)	RESIDENTIAL CURB CONSTR. DETAILS
41 (SL-25)	WHEEL CHAIR RAMP & SIDEWALK DETAILS I
42 (SL-26)	WHEEL CHAIR RAMP & SIDEWALK DETAILS II
43 (SL-27)	DRIVEWAY CONSTR. DETAILS
44 (SL-33)	GENERAL EROSION CONTROL NOTES
45 (SL-34)	EROSION CONTROL DETAILS - 1
46 (SL-35)	EROSION CONTROL DETAILS - 2



CITY OF ANGLETON

MAYOR
JASON PEREZ

CITY MANAGER
CHRIS WHITTAKER

CITY COUNCIL
CHRISTIENE DANIEL
CECIL BOOTH
JOHN WRIGHT
MARK GONGORA
TRAVIS TOWNSEND

This subdivision lies within the Brushy Bayou Watershed.

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4905 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

TITLE SHEET
PROJECT NO. 14396

FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B.&L.), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 87°07'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00" (THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00" (THE CHORD BEARS NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B.&L. FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87°07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02°52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B.&L. SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT OF WAY LINE OF HOSPITAL DRIVE;

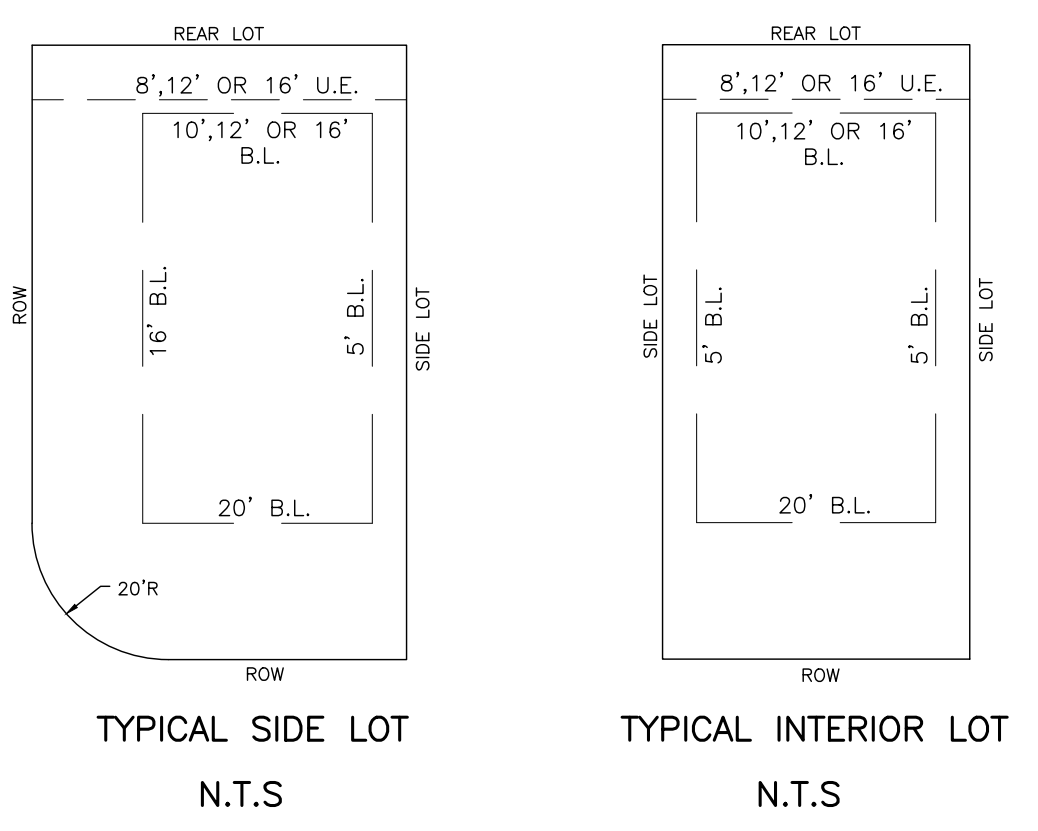
THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

Curve Table with columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Lists curves C1 through C19.

Curve Table with columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Lists curves C20 through C38.

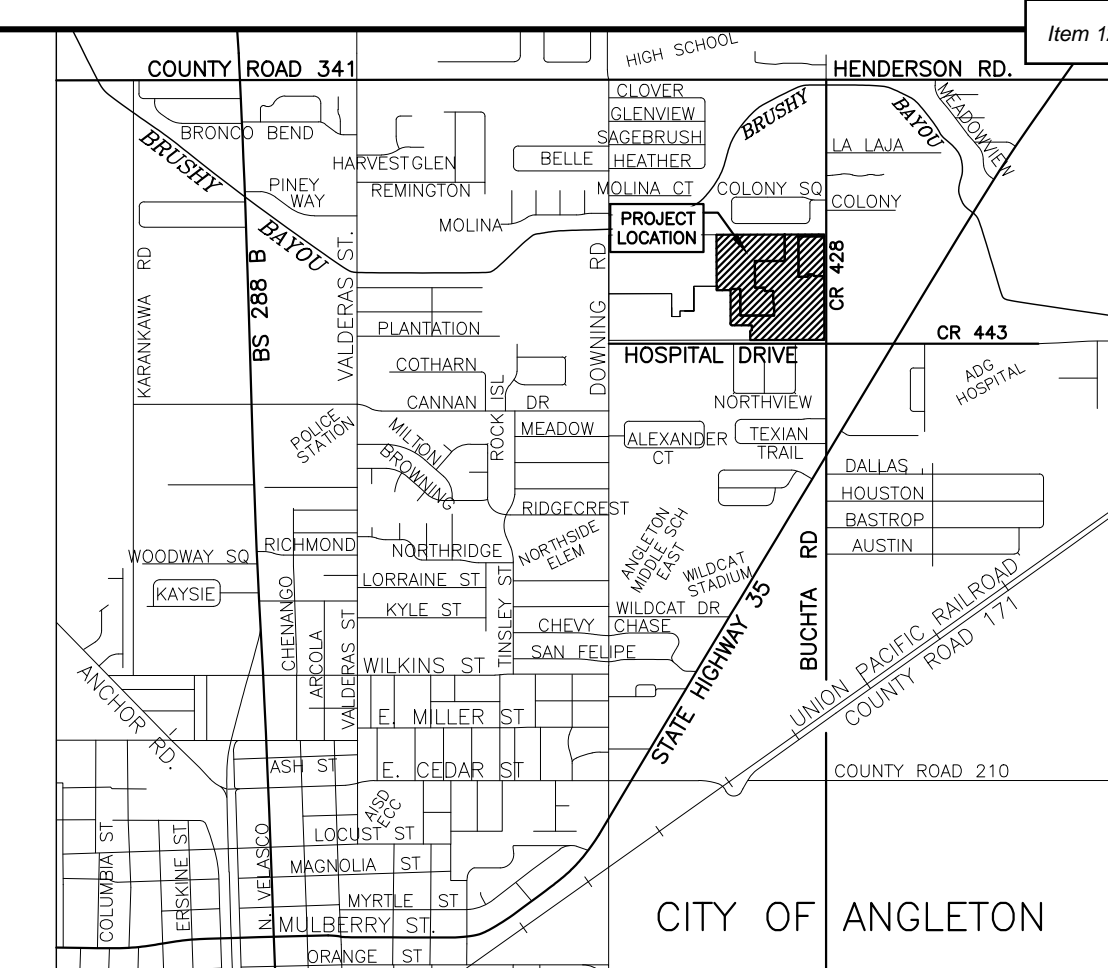
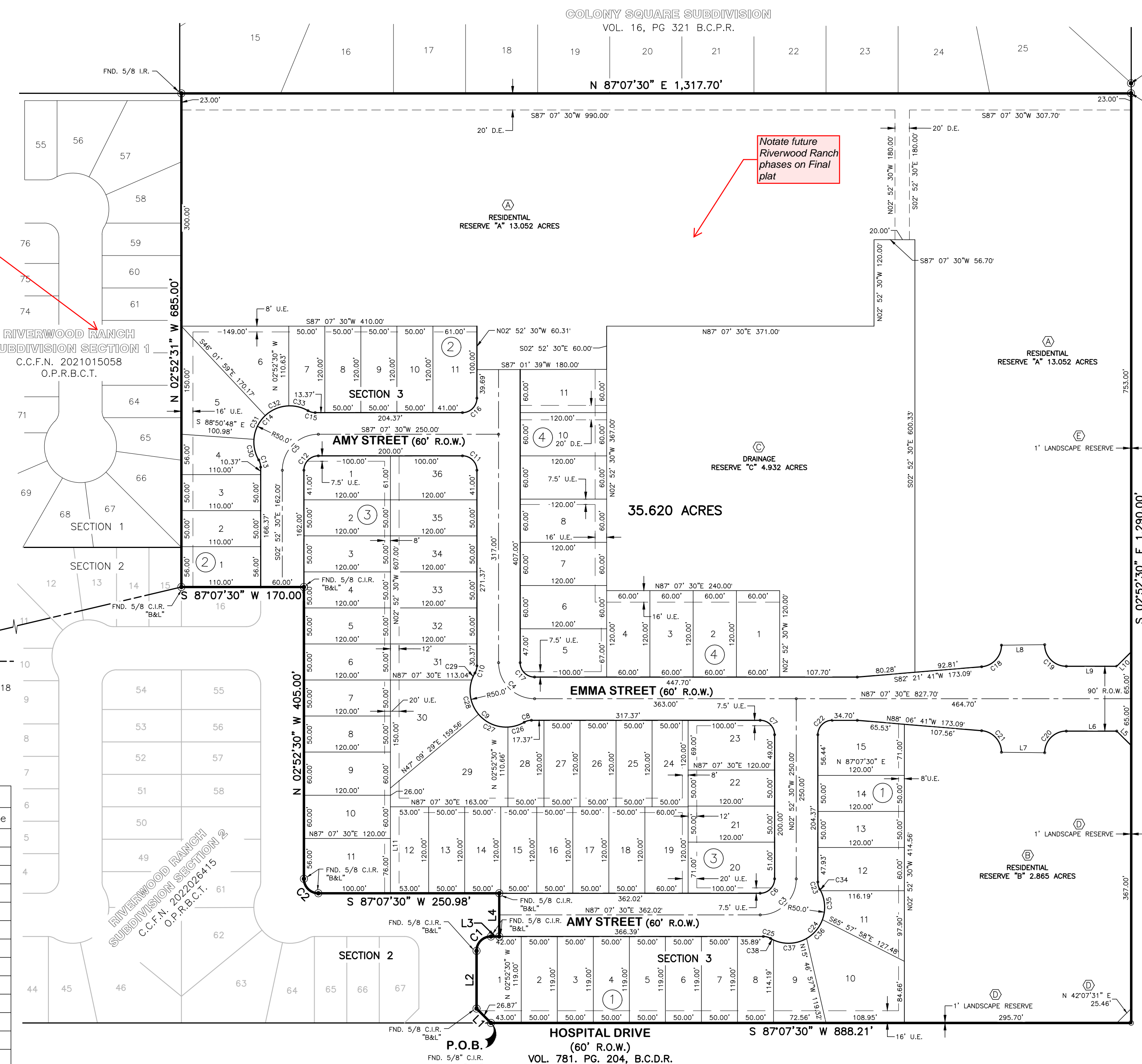
LINE TABLE with columns: Line No., Length, Direction. Lists lines L1 through L10.

Block tables for BLOCK 1 SECTION 3, BLOCK 2 SECTION 3, BLOCK 3 SECTION 3, and BLOCK 4 SECTION 3, each with columns for lot number and area.

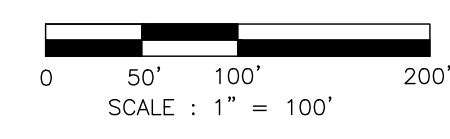
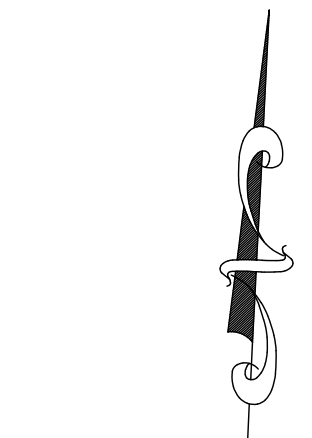


PROPOSED STREETS table with columns: STREET NAME, R.O.W. WIDTH, TOTAL LENGTH. Lists Emma Street and Amy Street.

RESERVE TABLE with columns: SYMBOL, DESCRIPTION, RESERVE USE, AREA. Lists reserves A through E.



VICINITY MAP



- LEGEND: C.C.F.N. = COUNTY CLERK'S FILE NUMBER, O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS, BRAZORIA COUNTY TEXAS, B.C.D.R. = BRAZORIA COUNTY DEED RECORDS, S.C.P.R. = BRAZORIA COUNTY PLAT RECORDS, B.L. = BUILDING LINE, BM = BENCHMARK, D.E. = DRAINAGE EASEMENT, I.R. = IRON ROD, C.I.R. = CAPPED IRON ROD, P.O.B. = POINT OF BEGINNING, R.O.W. = RIGHT-OF-WAY, VOL. PG. = VOLUME, PAGE, W.L.E. = WATERLINE EASEMENT, B&L = BAKER & LAWSON. SYMBOLS: Circle with dot = SET 5/8" I.R. W/CAP "BAKER & LAWSON", Circle with cross = FOUND MONUMENT (AS NOTED), Circle with star = (TBM) TEMPORARY BENCHMARK.

AMG CITY VIEW APARTMENTS L.L.C. C.C.F.N. 2021085006 O.P.R.B.C.T.

ANGLETON L.L.P. C.C.F.N. 2020056559 O.P.R.B.C.T.

LEA VILLA VENTURES, LLC C.C.F.N. 2020046416 O.P.R.B.C.T.

FINAL PLAT RIVERWOOD RANCH SUBDIVISION SECTION 3. A 35.620 ACRES. 73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION. BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS RECORDED IN C.C.F.N. 2020043779 OF THE O.P.R.B.C.T. LOCATED IN THE THEODORE S. LEE SURVEY ABSTRACT NO. 318 CITY OF ANGLETON BRAZORIA COUNTY, TEXAS

B&L BAKER & LAWSON, INC. ENGINEERS • PLANNERS • SURVEYORS. 4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPELS No. 10052500 REG. NO. F-825

Project information table with columns: PROJECT NO., DRAWING NO., SCALE, DATE, DRAWN BY, CHECKED BY.

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINAbove DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT
RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS ____ DAY OF _____, 20____ BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ____ DAY OF _____, 20____ BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEEES AND SUCCESSORS: THE PORTION OF BLOCK 1, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT". THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINAbove DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERRECT OR CONSIDER ERRECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERRECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SLT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

- 1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
- 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
- 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
- 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

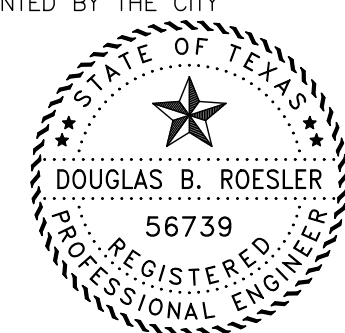
BOARD MEMBER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

SIGNED: _____ DATE _____
DOUGLAS B. ROESLER
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739



STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

SIGNED: _____ DATE _____
DARREL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5378



NOTES:

- 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.
- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
- 3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 4. REFERENCE BENCHMARK:
NGS MONUMENT R1182 (PID AW1171)
A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
ELEVATION = 26.31 FEET NGVD29
- 5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- 6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.
- 12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.
- 13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

SHEET 2 OF 2

FINAL PLAT
RIVERWOOD RANCH SUBDIVISION
SECTION 3
A 35.620 ACRES
73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION
BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS
RECORDED IN C.C.F.N. 2020043779
OF THE O.P.R.B.C.T.

LOCATED IN THE
THEODORE S. LEE SURVEY
ABSTRACT NO. 318
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS

4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

OWNERS:
JOHN SANTASIERO
RIVERWOOD RANCH LLC
1027 YALE STREET
HOUSTON, TEXAS 77008

PROJECT NO.: 14396	SCALE: 1" = 100'	DRAWN BY: BT
DRAWING NO.: 14396 SEC 3-4 FINAL PLAT	DATE: 12/02/2022	CHECKED BY: DH

GENERAL CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL NOTIFY THE "UNDERGROUND UTILITY COORDINATING COMMITTEE" (TELEPHONE NO. (979) 849-4364 AND THE CITY OF ANGLETON (TELEPHONE NO. (979) 849-4364) 48 HOURS BEFORE STARTING WORK IN STREET RIGHT-OF-WAYS OR EASEMENTS.
2. ALL EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM INFORMATION AVAILABLE. CONTRACTOR HAS SOLE RESPONSIBILITY FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS. CONTRACTOR SHALL COORDINATE ALL CONFLICTS WITH THE APPROPRIATE GOVERNING AGENCY. NO SEPARATE PAY.
3. CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUBPART P AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989.
4. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD MOST RECENT EDITION AS REVISED) DURING CONSTRUCTION.
5. CONTRACTOR SHALL COVER OPEN EXCAVATIONS IN PUBLIC STREETS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS.
6. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
7. EXISTING PAVEMENTS, CURBS, SIDEWALKS, CULVERTS AND DRIVEWAYS (ADJACENT TO THE WORK) DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO EQUAL OR BETTER THAN THEIR ORIGINAL CONDITION AT CONTRACTOR EXPENSE.
8. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK. CONTRACTOR SHALL TAKE NECESSARY ACTIONS TO PROTECT THE EXISTING SURFACES OUTSIDE THE WORK AREA FROM THE EQUIPMENT USED. ALL TRACKED MACHINERY (STREET PADS INCLUDED) SHALL NOT BE OPERATED DIRECTLY ATOP THE PAVEMENT WITHOUT APPROPRIATE PADDING AND PROTECTION OF THE SURFACES. ANY MARRED OR DISTRESSED AREAS SHALL BE REMOVED AND RESTORED WITH NEW MATERIALS TO THE SATISFACTION OF THE ENGINEER. ANY EXISTING DISTRESSED AREAS SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO OPERATIONS IN THE WORK AREA.
9. ALIGNMENT, CENTERLINE CURVE DATA AND STATIONING TO BE VERIFIED BY ON-THE-GROUND SURVEY FROM APPROVED SUBDIVISION PLAT (OR APPROVED PLOT FOR OFF SITE EASEMENTS), AND ELEVATIONS OF ALL CONNECTIONS TO EXISTING FACILITIES TO BE CONFIRMED PRIOR TO WORK START. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK.
12. ALL UTILITY TRENCHES TO BE BACK FILLED TO 90 PERCENT (90%) STANDARD PROCTOR DENSITY UNLESS OTHERWISE NOTED.
13. ALL SURVEY, LAYOUT, MEASUREMENT, AND GRADE STAKE WORK SHALL BE PERFORMED BY BAKER & LAWSON, INC. AS PART OF THE WORK UNDER THIS CONTACT.
14. BAKER & LAWSON, INC. WILL PROVIDE EXPERIENCED INSTRUMENT MEN, COMPETENT ASSISTANTS, AND SUCH INSTRUMENTS, TOOLS, STAKES, AND OTHER MATERIALS REQUIRED TO COMPLETE THE SURVEY, LAYOUT AND MEASUREMENT WORK.
15. CONSTRUCTION DEBRIS AND OTHER UNCLASSIFIED EXCESS MATERIAL SHALL BE HAULED TO A STATE APPROVED DISPOSAL SITE OR AS DIRECTED BY THE ENGINEER. AN EXISTING LANDFILL APPROXIMATELY 10 MILES FROM THE PROJECT SITE IS THE NEAREST STATE APPROVED FEE FACILITY. ALL REFUSE MATERIALS (BROKEN CONCRETE, TREES, ASPHALT, ETC.) SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
16. PLAN QUANTITIES WILL BE USED FOR FINAL PAYMENT UNLESS DESIGN CHANGES ARE MADE DURING CONSTRUCTION.

CONSTRUCTION NOTES FOR PAVING & DRAINAGE

- 1. GUIDELINES SET FORTH IN THE MANUAL ON UNIFORM CONTROL DEVICES SHALL BE OBSERVED.
2. FILL SHALL BE PLACED IN MAXIMUM 8" LOOSE LIFTS AND COMPACTED TO 95% OF OPTIMUM DENSITY AS DETERMINED USING TESTING METHOD ASTM D698.
3. CONTRACTOR RESPONSIBLE FOR MAINTAINING BARRICADES TO PREVENT TRAFFIC FROM USING NEW PAVEMENT UNTIL PROJECT IS COMPLETED AND ACCEPTED BY PROPER AUTHORITY OR AS AUTHORIZED BY ENGINEER.
4. B-B INDICATES ROAD WIDTH TO BACK OF CURB. CURB RADI ARE TO FACE OF CURB. T.C. INDICATES TOP OF CURB ELEVATIONS (BASED ON 4" CURB UNLESS OTHERWISE NOTED) T.P. INDICATES TOP OF PAVEMENT ELEVATION.
5. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM SPACING OF 40-FOOT INTERVALS (SAWCUTS @ 20'(2 1/2"DEEP), LONGITUDINAL JOINTS SHALL BE AT MAXIMUM OF 14-FOOT SPACING. WOOD JOINT SHALL BE SOUND HEART REDWOOD.
6. 6-INCH CONCRETE PAVEMENT TO BE 5.5 SACK MIX MIN. (3,500 PSI) REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60. PROVIDE MINIMUM 18-INCH LAPS. (36 BAR DIA)
7. SAW CUT TO EXPOSE EXISTING LONGITUDINAL STEEL REQUIRED TO CREATE A MINIMUM TWELVE-INCH (12") OVERLAP OF PROPOSED AND EXISTING LONGITUDINAL REINFORCING STEEL WHEN MAKING A CONNECTION TO EXISTING CONCRETE PAVEMENT. WHERE SPACING OF EXISTING LONGITUDINAL STEEL DIFFERS FROM PROPOSED STEEL SPACING, NOTIFY THE ENGINEER.
8. USE PLASTIC CHAIRS TO SUPPORT REINFORCEMENT AT 24-INCH SPACING EACH WAY.
9. SUBGRADE TO BE STABILIZED 1-FOOT BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. EXCESS LIME STABILIZED SOIL SHALL BE UTILIZED IN THE PREPARATION OF SUBGRADE FOR DRIVEWAYS. THERE WILL BE NO PAYMENT FOR PREPARING SUBGRADE FOR DRIVEWAYS AND SIDEWALKS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE ASSOCIATED CONCRETE PAY ITEMS. SUBGRADE PREPARATION FOR DRIVEWAYS AND PAVING SHALL INCLUDE PROOF ROLLING. SOFT AREAS TO BE EXCAVATED AND RECOMPACTED TO ADJACENT SOIL DENSITY.
10. USE CONTINUOUS LONGITUDINAL REINFORCING BAR IN CURB.
11. BACK FILL AND BEDDING FOR HEADWALL STRUCTURES, TYPE "C" INLETS, R.C.P. LEADS AND STORM SEWERS SHALL BE WITH 1.5 SACK CEMENT. STABILIZED SAND SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90% OF DENSITY DETERMINED BY STANDARD MOISTURE-DENSITY RELATION (ASTM D-698) AT OPTIMUM MOISTURE AND SHALL BE PLACED AND FINISHED WITHIN 3 HRS. OF MIXING. TEMPORARY TRAVEL WAY SURFACE SHALL BE WITH CEMENT STABILIZED LIMESTONE. PAYMENT FOR THESE ITEMS SHALL BE SUBSIDIARY TO THE VARIOUS STRUCTURAL BID ITEMS. VERIFICATION OF CEMENT STABILIZED SAND MIXTURE SHALL BE FURNISHED UPON REQUEST OF ENGINEER.
12. THE SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES (BLUE TOPS) AND APPROVED BY THE ENGINEER BEFORE LIME IS APPLIED.

- 13. RATE OF APPLICATION FOR LIME SHALL BE SEVEN PERCENT (7%) OF THE DRY WEIGHT OF SOIL (QUALITY BASE ON 100 # / C.F.) OF THIRTY ONE AND ONE (31.5) POUNDS PER SQUARE YARD FOR SIX (6) INCH STABILIZED SUBGRADE. LIME STABILIZED SUBGRADE SHALL NOT BE MIXED MORE THAN ONE INCH IN EXCESS OF THE REQUIRED DEPTH. LIME STABILIZED SUBGRADE SHALL BE BROUGHT TO THE OPTIMUM MOISTURE CONTENT DURING THE FIRST MIXING OPERATIONS THEN LEFT TO CURE FOR TWO CURING DAYS BEFORE FINAL MIXING CAN BEGIN. AFTER FINAL MIXING IS COMPLETED AND BEFORE SOIL DENSITY TESTS ARE TAKEN, LIME STABILIZED SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES (BLUE TOPS) AND APPROVED BY THE ENGINEER. DENSITY SHALL BE NINETY-FIVE PERCENT (95%) OF THE STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE. TESTED AND COMPLETED SECTIONS SHALL BE KEPT MOIST CURED ON A DAILY BASIS WITH WATER TRUCKS OR SUBSTANTIAL SUPPLY HOSES FOR THE ENTIRE PERIOD THE SURFACE REMAINS UNCOVERED WITH ADDITIONAL COURSES. AFTER FINAL TESTING AND APPROVAL IS COMPLETE, TRACK EQUIPMENT, SCRAPERS AND OTHER HEAVY EQUIPMENT WILL NOT BE PERMITTED ON THE COMPLETED LIME STABILIZED AREA. LIGHT MOTOR GRADERS, RUBBER Tired TRACTORS, WATER TRUCKS AND ROLLERS USED IN FINISHING OPERATIONS WILL BE PERMITTED WITH THE APPROVAL OF THE ENGINEER. CONCRETE AND LOADED HAUL TRUCKS ARE STRICTLY PROHIBITED ON COMPLETED AREAS UNLESS THE TRAVELED AREA REGARDLESS OF CONDITION IS REMIXED COMPACTED AND TESTED FOR APPROVAL A SECOND TIME.
14. FORMS SHALL BE EITHER WOOD OR STEEL, OF GOOD QUALITY, FREE OF WARP AND SUFFICIENTLY STAKED TO AVOID SHIFTING WHEN LOAD IS APPLIED. ALL REDWOOD EXPANSION BOARDS SHALL BE STAKED WITH 1X2 REDWOOD STAKES AND ALLOWED TO REMAIN WITHIN THE POUR. METAL STAKES ARE APPROVED FOR USE TO STAKE METAL KEYS.
15. REINFORCING SHALL BE SECURELY TIED AT ALL INTERSECTIONS AND SPLICES. ALL DOWELS SHALL BE SECURELY TIED. REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST AT TIME OF USE. PLASTIC CHAIR OF THE CORRECT HEIGHT SHALL BE USED. SPACING SHALL BE SUFFICIENT TO SUPPORT REINFORCEMENT.
16. PRIOR TO CONCRETE PLACEMENT, CONTRACTOR SHALL PRESENT A CERTIFIED COPY OF TOP OF FORM GRADES TO THE ENGINEER FOR REVIEW AND APPROVAL. ELEVATIONS OF FORMS SHALL BE RECORDED AT 10' INTERVALS. ADJUSTMENTS TO FORMS SHALL BE COMPLETE 4 HRS. PRIOR TO CONCRETE PLACEMENT.

- 17. CONCRETE FOR STREET PAVEMENTS SHALL BE "CLASS A" CONCRETE, SHALL NOT HAVE LESS THAN FIVE AND ONE HALF (5 1/2) SACKS OF CEMENT PER CUBIC YARD, AND SHALL NOT HAVE MORE THAN SIX AND ONE HALF (6 1/2) GALLONS OF WATER PER SACK OF CEMENT. SLUMP SHALL NOT EXCEED FIVE (5) INCHES AND SHALL DEVELOP A MODULUS OF RUPTURE STRENGTH OF THIRY THOUSAND FIVE HUNDRED (2500) P.S.I. AT TWENTY EIGHT (28) DAYS. CONCRETE SHALL BE PLACED IN SUCH A MANNER AS TO REQUIRE AS LITTLE HANDLING POSSIBLE. USE OF AN APPROVED VIBRATING SCREED WILL BE REQUIRED. AT INTERSECTIONS AND SMALL AREAS WHERE A VIBRATORY SCREED CAN NOT BE USED, A HAND VIBRATOR OR "JITTERBUG" SHALL BE USED. USE OF A TEN FOOT (10') CONCRETE PAVEMENT STRAIGHT EDGE WILL ALSO BE REQUIRED. ALL EXPOSED JOINTS SHALL BE EDGED AS NOTED ON DETAILS. SURFACE SHALL BE TYPICALLY A BELT FINISH OR BROOM FINISH (COARSE, MEDIUM OR LIGHT) AS REQUIRED BY THE APPLICATION AND DIRECTED BY THE ENGINEER.
18. FLY ASH SHALL MAKE UP FROM 20-25% BY VOLUME OF THE SPECIFIED CEMENT VOLUME AND SHALL CONFORM TO ASTM C 618, CLASS F.
19. CURING COMPOUND SHALL BE TYPE II WITH WHITE PIGMENT. APPLIED AT THE UNDILUTED RATE OF ONE GALLON PER TWO HUNDRED (200) SQUARE FEET.
20. EXPANSION JOINTS SHALL BE CLEANED, WIRE BRUSHED, BLOWN OR FLAME DRIED SEALED WITH AN APPROVED LIST RUBBERIZED HOT LAID ASPHALT JOINT AND CRACK SEALANT OR A TWO (2) COMPONENT POLYMERIC SELF LEVELING COLD APPLIED SEALANT.
21. CONTRACTOR WILL NOT PERMIT TRAFFIC ON NEW CONCRETE PAVEMENT UNTIL BOTH A MINIMUM OF SEVEN (7) CURING DAYS AND MODULUS OF RUPTURE STRENGTH OF THIRTY THOUSAND FIVE HUNDRED (3500) P.S.I. TAKES PLACE OR AS APPROVED BY THE ENGINEER/PUBLIC WORKS DEPARTMENT.
22. CONCRETE FOR CURB SHALL BE A 3000 P.S.I. PERFORMANCE STRENGTH CONCRETE WITH A MINIMUM FIVE (5) SACK CEMENT PER CUBIC YARD CONTENT. CURB CONCRETE MIX MAY BE A SMALL AGGREGATE BATCH DESIGN.
23. A CONCRETE MIX DESIGN OF CONCRETE PLUS FLY ASH MAY BE SUBSTITUTED IN LIEU OF THE STANDARD CONCRETE BATCH DESIGN. THE FLY ASH SHALL CONFORM TO THE REQUIREMENTS OF TxDOT MATERIAL SPECIFICATION D-9-8900, AND SHALL NOT EXCEED 25% BY ABSOLUTE VOLUME OF THE SPECIFIED CEMENT CONTENT. THE MODULUS OF RUPTURE STRENGTHS MINIMUMS AND DEVELOPMENT PERIOD OF THE STANDARD CONCRETE MIX DESIGN SHALL REMAIN IN EFFECT AND SHALL BE VERIFIED BY A CONCRETE BATCH MIX DESIGN PREPARED AND TESTED BY A GEOTECHNICAL LAB AND SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ENGINEERING/PUBLIC WORKS DEPARTMENT PRIOR TO PAVING OPERATIONS.

- 24. ALL PAVEMENT SAW CUT REQUIRED IN THE PLANS SHALL BE CONSIDERED SUBSIDIARY TO THE PAVING REMOVAL PAY ITEM REQUIRING IT.
25. BLOCK SOD SHALL BE PLACED 16" (ONE BLOCK WIDTH) WIDE ALONG THE EDGE OF ALL NEWLY CONSTRUCTED CURBS AND TO DRIVEWAY REPLACEMENT LIMITS.
26. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANALYZING WEATHER CONDITIONS AND TO SUSPEND OPERATIONS DURING PERIODS WHEN ADVERSE WEATHER CONDITIONS APPEAR LIKELY. NO CONCRETE SHALL BE PLACED WHEN THE TEMPERATURE IS 35°F AND RISING. HOWEVER, NO CONCRETE SHALL BE PLACED WHEN THE CONCRETE TEMPERATURE IS ABOVE 100°F. THE CONTRACTOR SHALL KEEP SUFFICIENT LENGTH OF COVERING MATERIAL ON THE JOB SITE TO PLACE OVER AND PROTECT THE SURFACE OF "FRESH" CONCRETE DURING PERIODS OF UNPREDICTED RAINS.
27. CUL-DE-SACS TO BE PAVED COMPLETELY WITH NO ISLANDS

WASTEWATER CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL PROVIDE RECORD OF LOCATION OF ALL STACKS, STUBS, LEADS, ETC. TO CITY OF ANGLETON.
2. SEPARATION DISTANCES FOR ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS "SECTION 317.20," LATEST PRINTING.
3. MAINTAIN 12-INCH MINIMUM VERTICAL CLEARANCE AT CROSSINGS BETWEEN SANITARY SEWERS AND CULVERTS, UNLESS OTHERWISE NOTED.
4. WHERE SANITARY SEWER LINE CROSSES A WATER LINE WITH LESS THAN 9- FEET BUT MORE THAN 6-INCHES VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF PRESSURE RATED P.V.C. SANITARY SEWER (ASTM D2241, CLASS 150, SDR 26) CENTERED ON WATER LINE. INCLUDE COST OF WATER LINE CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR SANITARY SEWER IN APPROPRIATE SIZES.
5. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY UNSUITABLE TRENCH CONDITIONS.
6. SANITARY SEWER LEADS UNDER OR WITHIN 1' OF EXISTING OR FUTURE PAVEMENT SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND UP TO WITHIN 1' OF TOP OF PAVING SUBGRADE. CEMENT STABILIZED SAND BACK FILL FOR LEADS SHALL BE INCLUDED IN THE BID UNIT PRICE FOR LEADS.
7. LOW PRESSURE AIR TEST SHALL BE CONDUCTED PER TNRC TAC 317.2. HOLDING TIMES SHALL BE AS ESTABLISHED BY TNRC. CONTRACTOR TO PROVIDE TEST PLUGS AND RISERS. NO SEPARATE PAY.

- 8. CONTRACTOR TO OPEN CUT ALL SANITARY SEWER CONSTRUCTION UNLESS NOTE OTHER WISE, SEWER SERVICES TO BE INSTALLED FULL WIDTH OF ROADWAY--NO HALF STREET INSTALLATIONS.
9. CONTRACTOR SHALL AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED SERVICE AND SHALL AVOID OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.
10. ALL SINGLE AND DOUBLE SERVICE LEAD SHALL BE A MINIMUM SIX INCH (6") UNLESS OTHERWISE DIRECTED BY THE ENGINEER/PUBLIC WORKS AND/OR FIELD ADJUSTED BY THE UTILITY DEPARTMENT IN THE FUTURE.

UTILITY CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN CONTRACT DOCUMENTS. THRUST BLOCKING SHALL BE CLASS "B" CONCRETE 2500 P.S.I. AND SHALL BE SUBSIDIARY TO THE BID ITEM PERTINENT TO ITS USE. ALL CEMENT STABILIZED SAND BACKFILL SHALL BE 1.5 SK/ CY CEMENT CONTENT. ALL M.J. D.I. FITTINGS WILL HAVE M.J. RESTRAINTS (STARGORIP OR EQUAL) WRAP FITTINGS & RESTRAINTS WITH 10 MIL POLY.
2. SEPARATION DISTANCES OF ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS," SECTION 317.20, LATEST PRINTING.
3. ALL 4" THROUGH 12" WATER MAINS TO BE P.V.C. PIPE, AWWA C-900, CLASS 150, SDR 18, MEETING THE REQUIREMENTS OF ANSI/NSF 61 UNLESS OTHERWISE NOTED.
4. WATER LINES UNDER OR WITHIN 1 FEET OF NEW OR EXISTING PAVEMENTS (STREETS AND DRIVEWAYS) SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND AS SPECIFIED IN THE CONSTRUCTION DETAIL.
5. PROVIDE A MINIMUM SIX-INCHES (6") OF CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS.
6. 4-INCH THROUGH 12-INCH LINES TO HAVE A MINIMUM OF 4'-0" COVER BELOW TOP OF CURB. UNLESS OTHERWISE NOTED, VARY FLOW LINE UNIFORMLY FROM DEPTH SHOWN ON PLANS.
7. CENTERLINE OF FIRE HYDRANT TO BE LOCATED AT 3' FROM BACK OF CURB WITH CENTERLINE OF STEAMER NOZZLE 22 INCHES ABOVE FINISHED GRADE. TURN STEAMER OUTLET TO FACE STREET.
8. WHERE WATER LINE CROSSES SANITARY SEWER LINE OR LEAD WITH LESS THAN NINE FEET (9') VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF WATER LINE CENTERED ON LEAD. INCLUDE COST OF LEAD CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR WATER LINE IN APPROPRIATE SIZES.
9. THE CONTRACTOR AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED FLOW TO ALL SERVICES AND MAINS AND SHALL AVOID OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.

CENTERPOINT ENERGY / ENTEX NOTES

CAUTION: UNDERGROUND GAS FACILITIES

LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY, INTRASTATE PIPELINE, LLC, WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE NOT USUALLY SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE. THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT (979) 849-4364 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

* WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (800) 752-8036 OR (713) 659-2111 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.

* WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.

* WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.

* FOR EMERGENCIES REGARDING GAS LINES CALL (800) 659-2111 OR (713) 659-2111.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-9769.

WARNING: OVERHEAD ELECTRICAL FACILITIES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT 713-207-2222.

SBC NOTES

THE LOCATIONS OF SOUTHWESTERN BELL TELEPHONE CO. UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.

TEXAS NEW MEXICO POWER NOTES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO POWER AT (979) 829-5776.

GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ANGLETON CONSTRUCTION MANUAL (ACM) AND LAND DEVELOPMENT CODE, HEREAFTER REFERRED TO THE ACM AND THE LDC.
2. APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, ADEQUACY, AND COMPLIANCE OF THE SUBMITTED PLANS.
3. ALL RESPONSIBILITY FOR RESTS ON DESIGN ENGINEER WHO PREPARED THEM, IN APPROVING THESE PLANS, THE CITY MUST RELY ON THE ADEQUACY AND ACCURACY OF THE DESIGN ENGINEER.
4. DESIGNS SHALL BE IN COMPLETE COMPLIANCE WITH THE LDC AND THE ACM. ANY WAIVER, DEVIATION, VARIANCE, OR EXCEPTION FROM ANY SPECIFIC REQUIREMENT(S) OF THE LDC OR ACM THAT WERE NOT EXPRESSLY REQUESTED WHEN PLANS ARE SUBMITTED, SHALL NOT BE CONSTRUED TO HAVE BEEN GRANTED IF PLANS ARE APPROVED. IT IS THE RESPONSIBILITY OF THE ENGINEER TO MAKE SUCH A WAIVER PROACTIVELY WHEN PLANS ARE SUBMITTED.
5. A MINIMUM OF TWO EXISTING BENCHMARKS SHOULD BE SHOWN ON THE PLANS. IN ADDITION, TWO PERMANENT BENCHMARKS PER SUBDIVISION SHALL BE INSTALLED IN EACH NEW SUBDIVISION TO INCLUDE DESCRIPTION, LOCATION, AND ELEVATION AND TIE TO CITY STANDARDS.
6. CAST BRONZE SURVEY MARKERS SHALL BE PLACED IN CONCRETE IN PERMANENT, ACCESSIBLE LOCATIONS AT THE TIME OF CONSTRUCTION. THE LOCATIONS OF THE MARKERS SHALL BE INDICATED ON THE CONSTRUCTION PLANS. A MINIMUM OF ONE MARKER SHALL BE PLACED FOR EACH 20 ACRES OF THE PROJECT.
7. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY, THE DEVELOPER'S CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES. THE CITY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
8. THE CONTRACTOR SHALL PROVIDE THE CITY A MINIMUM OF 48 HOURS' NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
9. BARRICADES, BUILT TO CITY SPECIFICATIONS, SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB SAFETY.
10. IF BLASTING IS PLANNED, A BLASTING PERMIT MUST BE SECURED PRIOR TO COMMENCEMENT OF ANY BLASTING.
11. ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION.
12. THE LOCATION OF ANY WATER OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE PUBLIC WORKS DEPARTMENT.
13. USE ONE CALL UTILITY SYSTEM: DIAL 1-800-344-8377, 48 HOURS BEFORE YOU DIG.
14. ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE. SPECIAL NOTES FOR PLANS, WHEN APPLICABLE.
15. THE SUBGRADE MATERIAL IN RIVERWOOD RANCH SUBDIVISION WAS TESTED BY INTERTEK PSI ON DECEMBER 6, 2019 AND THE STREET SECTION DESIGNED ACCORDING TO THE LDC AND ACM.
16. CONSTRUCTED STREET SECTIONS SHALL SHOW THE FOLLOWING:
a. PROVIDE STREET NAMES, WIDTH OF R.O.W., OR OTHER METHODS TO IDENTIFY PROPOSED DESIGN OF DIFFERENT PAVEMENT THICKNESS. IN WRITING OR GRAPHICALLY, DESCRIBE THE STREET SECTION(S) TO BE CONSTRUCTED.
b. MANHOLE FRAMES, COVERS, AND WATER VALVE COVERS WILL BE RAISED TO FINISHED PAVEMENT GRADE AT THE OWNER'S EXPENSE BY A QUALIFIED CONTRACTOR WITH CITY INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.
c. CROWNS OF INTERSECTING STREETS WILL CULMINATE IN A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED. INLETS ON THE INTERSECTING STREET SHALL NOT BE CONSTRUCTED WITHIN 40 FEET OF THE VALLEY GUTTER, UNLESS OTHERWISE NOTED.
d. PRIOR TO FINAL ACCEPTANCE OF A STREET OUTSIDE THE CITY LIMITS, STREET NAME SIGNS CONFORMING TO COUNTY STANDARDS SHALL BE INSTALLED BY DEVELOPER.
e. SIDEWALK REQUIREMENTS (GIVE STREET NAME AND LOCATION OF REQUIRED SIDEWALK, I.E., NORTH, SOUTH, EAST, OR WEST SIDE).
f. A CURB LAY DOWN WHERE REQUIRED WHEN ALL POINTS OF SIDEWALKS INTERSECTS CURBS.
g. INSIDE THE CITY LIMITS, SIDEWALKS SHALL BE COMPLETED PRIOR TO ACCEPTANCE OF ANY DRIVEWAY APPROACHES AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN OUTSIDE THE CITY LIMITS, A LETTER OF CREDIT MAY BE POSTED OR OTHER SUITABLE FINANCIAL ARRANGEMENTS MAY BE MADE TO ENSURE CONSTRUCTION OF THE SIDEWALKS. IN EITHER CASE, SIDEWALKS ADJACENT TO "COMMON AREAS", PARKWAYS, OR OTHER LOCATIONS ON WHICH NO BUILDING CONSTRUCTION WILL TAKE PLACE, MUST BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE OF THE SUBDIVISION.
h. A LICENSE AGREEMENT FOR LANDSCAPING MAINTENANCE AND IRRIGATION IN STREET R.O.W. SHALL BE EXECUTED BY THE DEVELOPER IN PARTY WITH THE CITY PRIOR TO FINAL ACCEPTANCE.
17. CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

CONSTRUCTION SEQUENCING

CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

OBTAIN A DEVELOPMENT PERMIT FROM THE CITY.

PROVIDE THE CITY WITH EVIDENCE ALL TCEQ LICENSES AND REQUIREMENTS ARE UP TO DATE.

INSTALL TEMPORARY EROSION CONTROLS AND TREE PROTECTION FENCING PRIOR TO ANY CLEARING AND GRUBBING. NOTIFY THE CITY WHEN INSTALLED.

ROUGH-CUT ALL REQUIRED OR NECESSARY PONDS. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUCH BE CONSTRUCTED PRIOR TO DEVELOPMENT OF ANY AMBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A LOW-LEVEL OUTLET AND AN EMERGENCY OVERFLOW MEETING THE REQUIREMENTS OF THE LDC. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL RESTORATION IS ACHIEVED.

DELIVER APPROVED ROUGH-CUT SHEETS TO THE CITY ENGINEER PRIOR TO CLEARING AND GRUBBING.

ROUGH GRADE STREETS. NO DEVELOPMENT OF EMBANKMENT WILL BE PERMITTED AT THIS TIME.

INSTALL ALL UTILITIES TO BE LOCATED UNDER THE PROPOSED PAVEMENT OR WITHIN THE ROAD RIGHT-OF-WAY.

DELIVER STORM SEWER CUR SHEETS TO THE CITY ENGINEER.

BEGIN INSTALLATION OF STORM SEWER LINES. UPON COMPLETION, RESTORE AS MUCH DISTURBED AREAS AS POSSIBLE, PARTICULARLY CHANNELS AND LARGE OPEN AREAS.

DELIVER FINAL GRADE CUT SHEETS TO THE CITY ENGINEER.

RE-GRADE STREETS TO SUB-GRADE.

ENSURE THAT UNDERGROUND UTILITY CROSSINGS ARE COMPLETED. LAY 1ST/ COURSE BASE MATERIAL ON STREETS.

INSTALL CURB AND GUTTER

LAY FINAL BASE COURSE ON ALL STREETS.

PLACE CONCRETE.

COMPLETE FINAL GRADING AND RESTORATION OF DETENTION, SEDIMENTATION/FILTRATION PONDS.

COMPLETE PERMANENT EROSION CONTROL AND RESTORATION OF SITE VEGETATION.

REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS.

COMPLETE ANY NECESSARY FINAL DRESS UP OF AREAS DISTURBED.

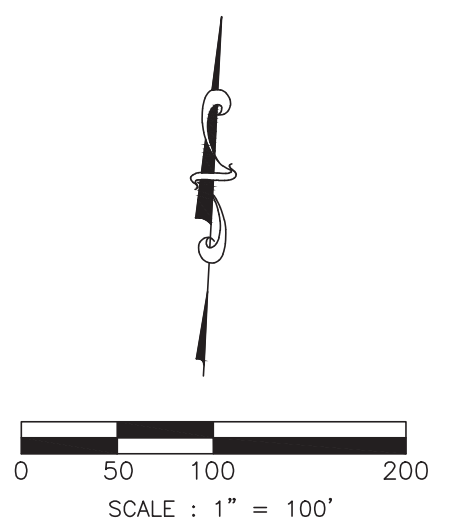
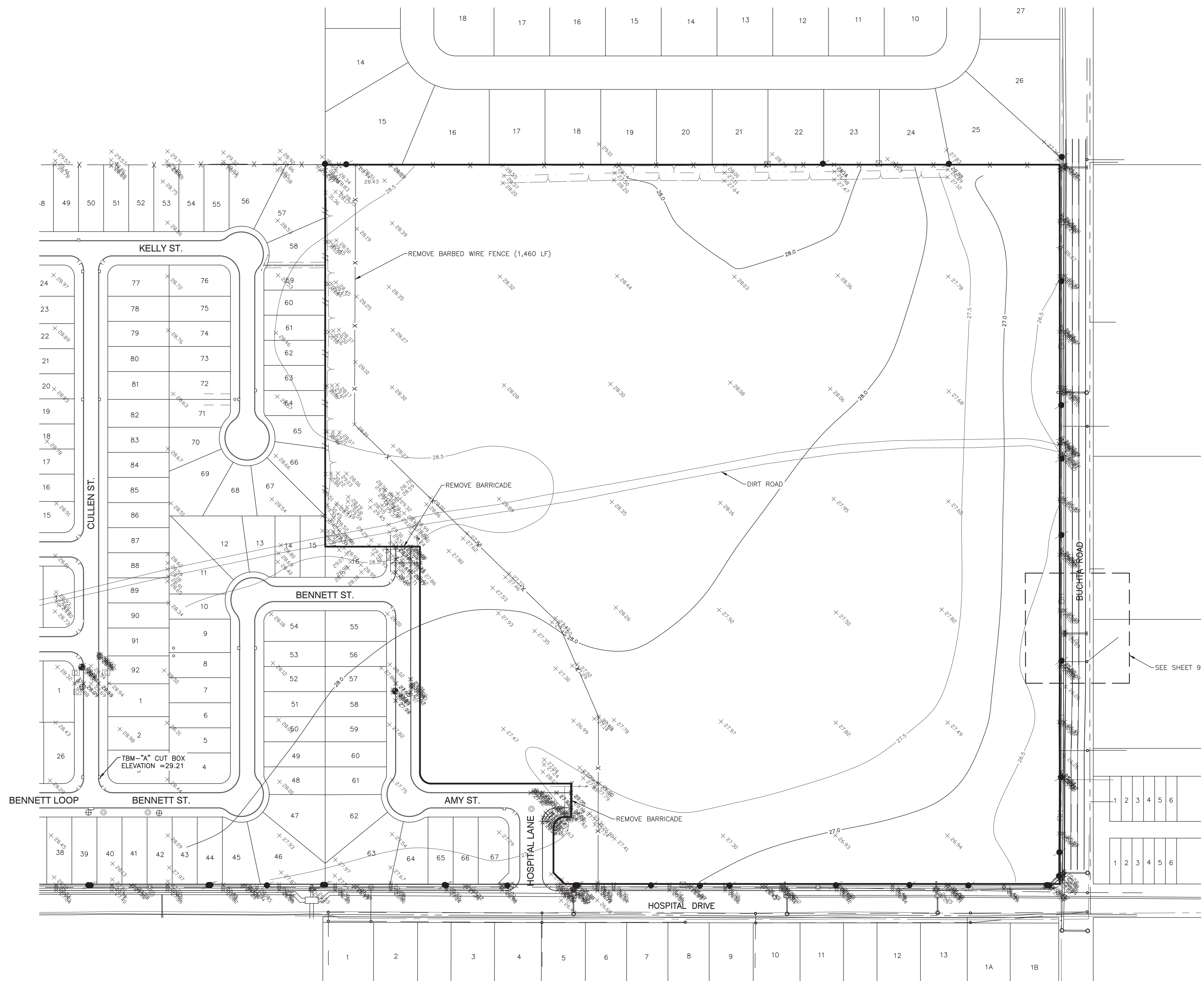
Table with columns: NO., DATE, DESCRIPTION, APPROVED. Includes a section for REVISIONS.

Professional Engineer seal for Douglas B. Roessler, State of Texas, License No. 56739. Includes Baker & Lawson, Inc. logo and contact information.

OWNER: RIVERWAY PROPERTIES, 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057. Includes date 03-03-2023.

PROJECT INFORMATION: RIVERWOOD RANCH SUBDIVISION, SECTIONS 3 & 4, A 35.620 AC, 145-LOT SUBDIVISION, ANGLETON, TEXAS 77515.

CONSTRUCTION NOTES, PROJECT NO. 14396, SHEET 224 OF 296.



SYMBOLS LEGEND

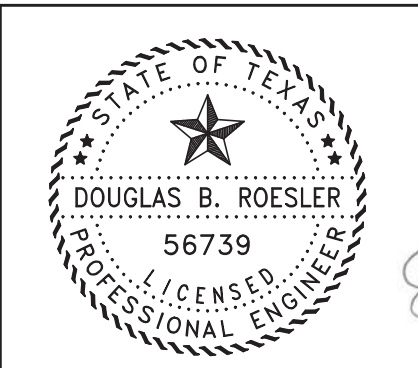
- ⊙ = FND IMPLEMENT AS NOTED
- = SET 5/8" IRON ROD
- ⊙ = BENCHMARK
- ⊙ = GAS VALVE
- ⊙ = GAS METER
- ⊙ = IRRIGATION CONTROL
- ⊙ = WATER VALVE
- ⊙ = FIRE HYDRANT
- ⊙ = GUY WIRE
- ⊙ = POWER POLE
- ⊙ = SIGNAL POLE
- ⊙ = LIGHT POLE
- ⊙ = LIGHT BOLLARD
- ⊙ = BOLLARD
- ⊙ = MONITOR WELL
- ⊙ = CLEANOUT
- ⊙ = SIGN
- ⊙ = TELE PEDESTAL
- ⊙ = TREE
- ⊙ = MANHOLE
- ⊙ = INLET

1. REFERENCE BENCHMARK:
NGS MONUMENT R1182 (PID AW1171)
A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275' SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29.
2. SITE BENCHMARK:
TBM "A":
A CUT BOX ON AN INLET ON THE EAST SIDE OF CULLEN STREET APPROXIMATELY 41' NORTH FROM THE INTERSECTION WITH BENNETT STREET. ELEVATION = 29.21'

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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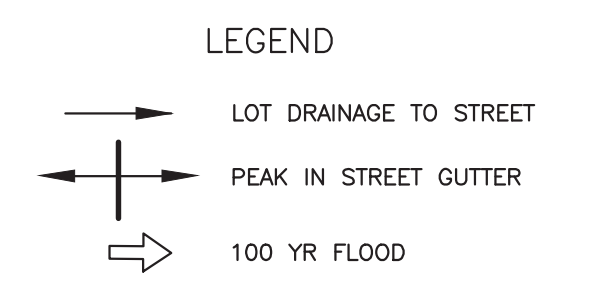
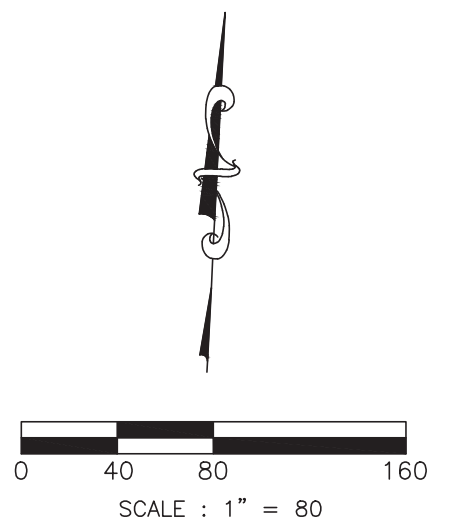
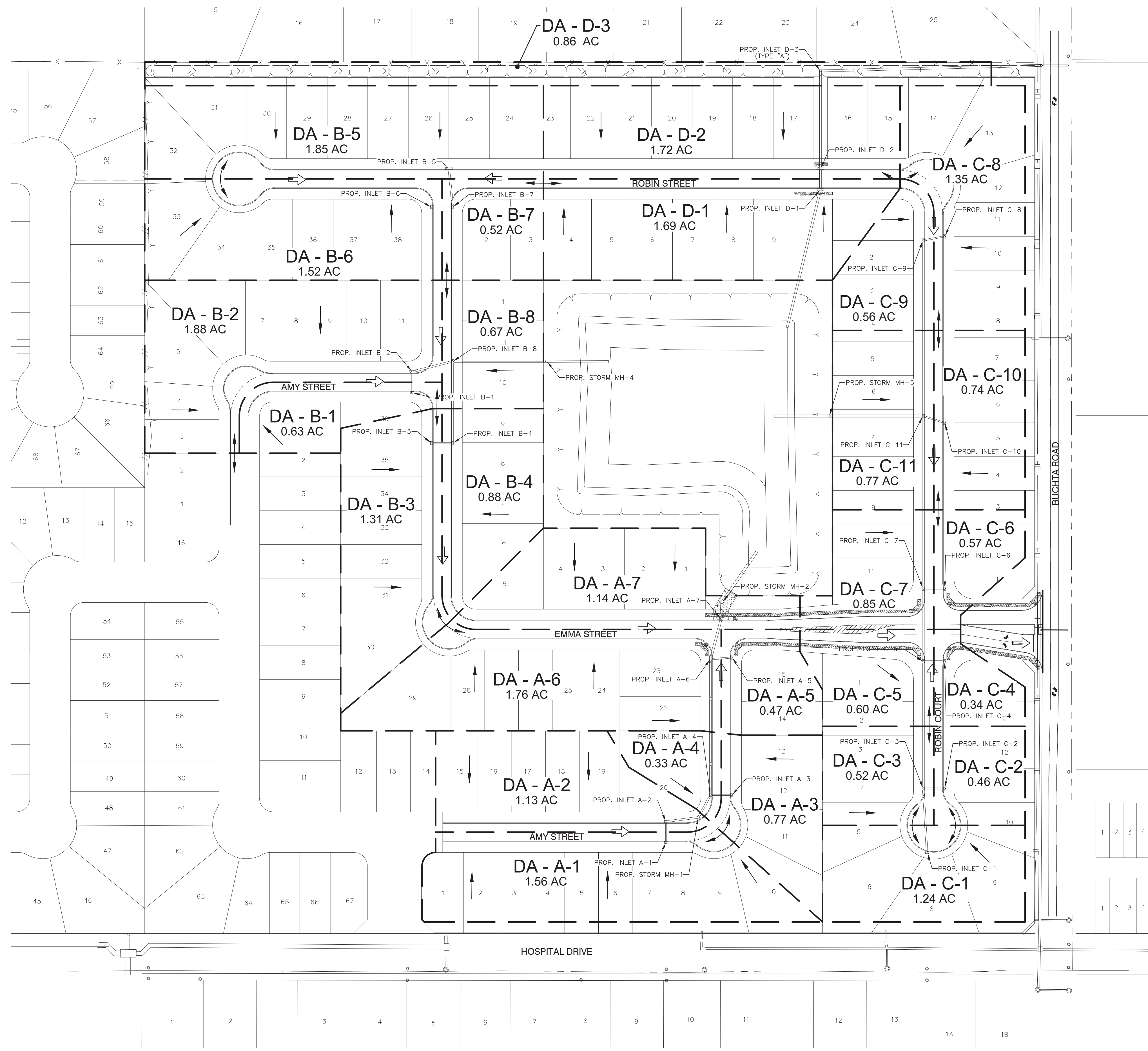
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

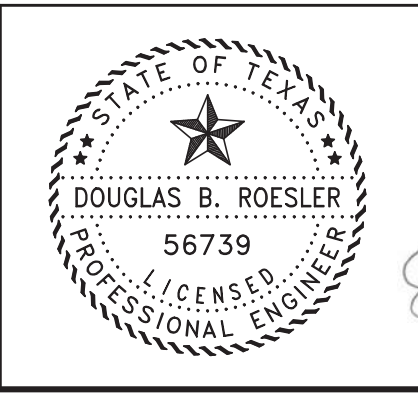
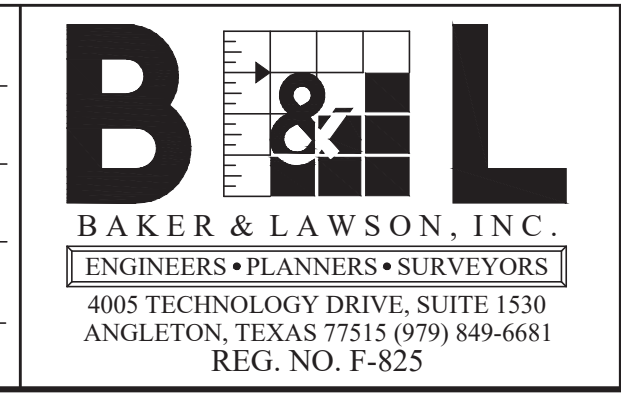
EXISTING CONDITION
 & DEMOLITION

PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____



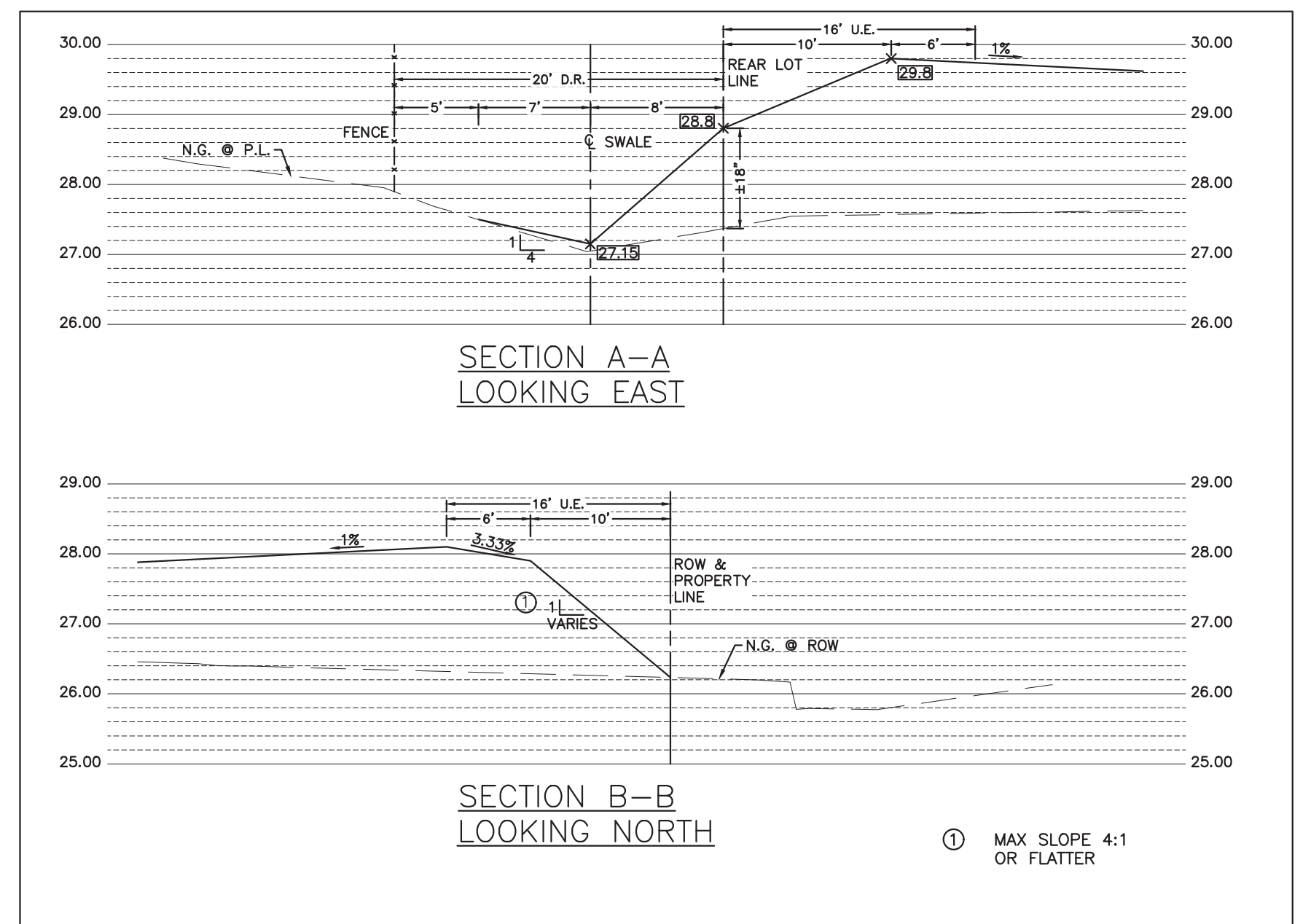
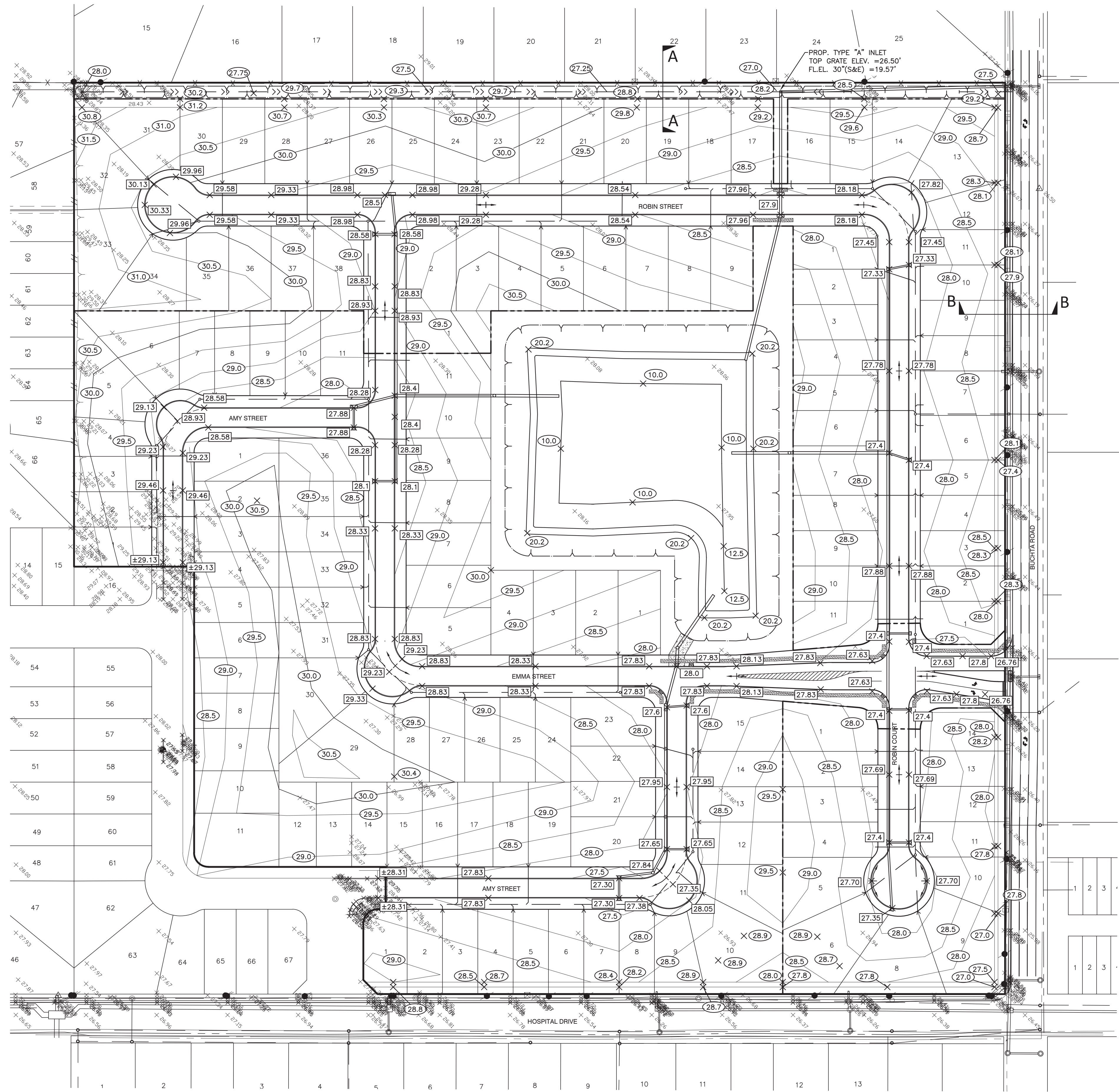
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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DRAINAGE AREA MAP
 PROJECT NO. 14396

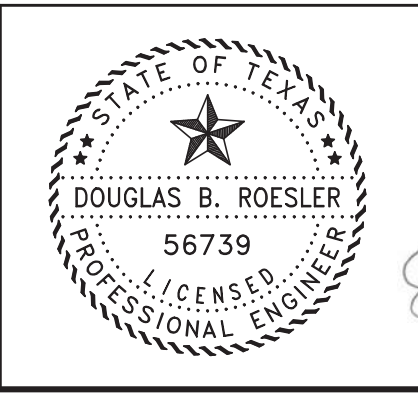


	Pavement area	Curb length
Section 3	86,130	5,466
Section 4	65,647	4,224

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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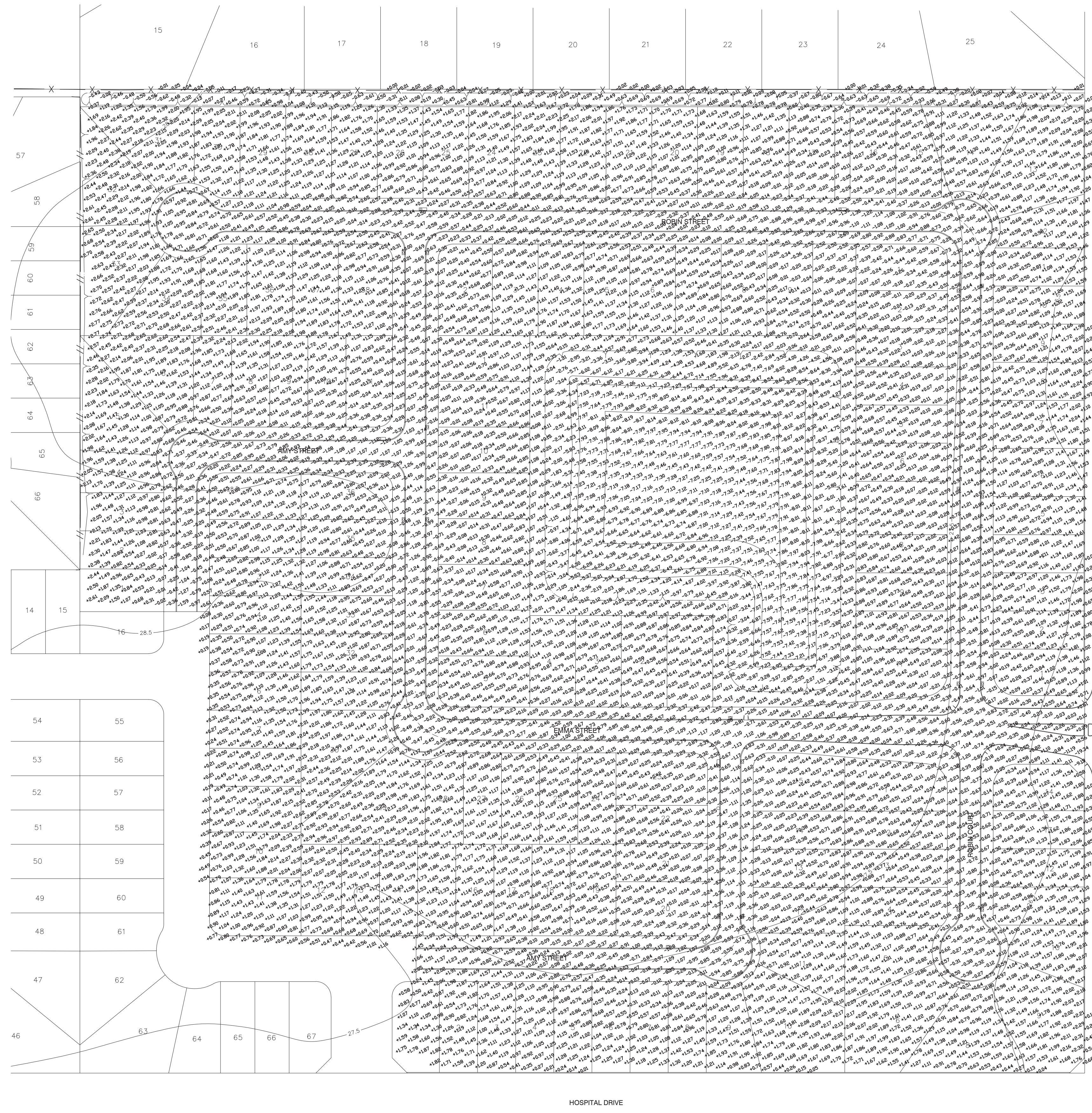
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HOUSTON, TEXAS 77057

PLAN: 1" = 80'
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 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

LOT GRADING PLAN
 PROJECT NO. 14396



EARTHWORK QUANTITY	
CUT VOLUME	: 38140 CUYD
FILL VOLUME	: 43230 CUYD
NET FILL	: 5090 CUYD

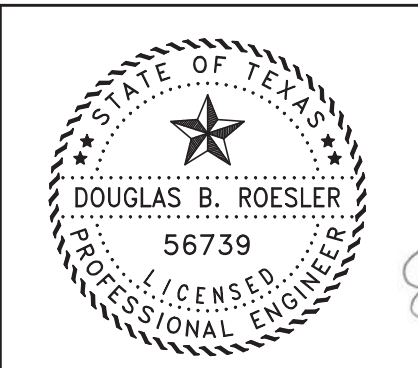
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1	2	3

1	2	3	4	5	6	7	8	9	10	11	12	13
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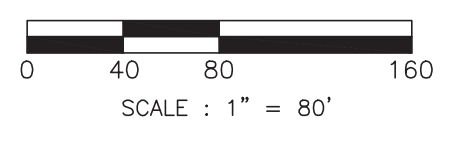
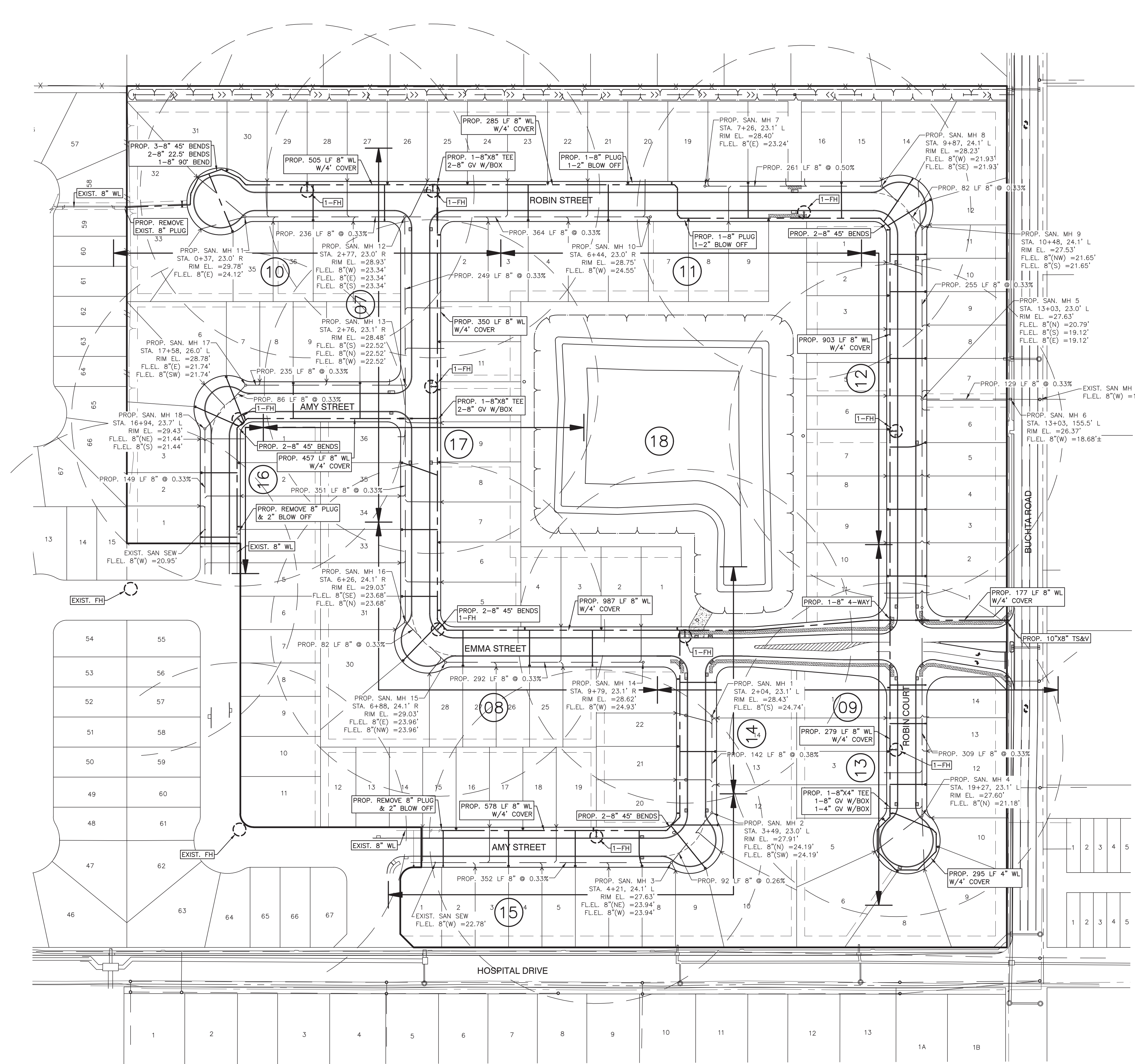
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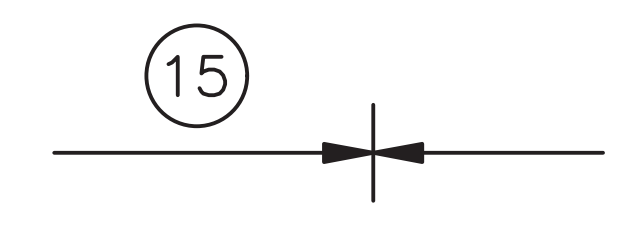
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 PROFILE:
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 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

CUT & FILL CALCULATION
 PROJECT NO. 14396



LEGEND:



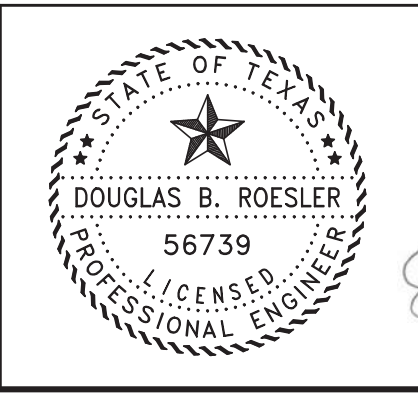
SHEET NUMBER

250' F.H. RADIUS & F.H. LOCATION

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
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 DATE

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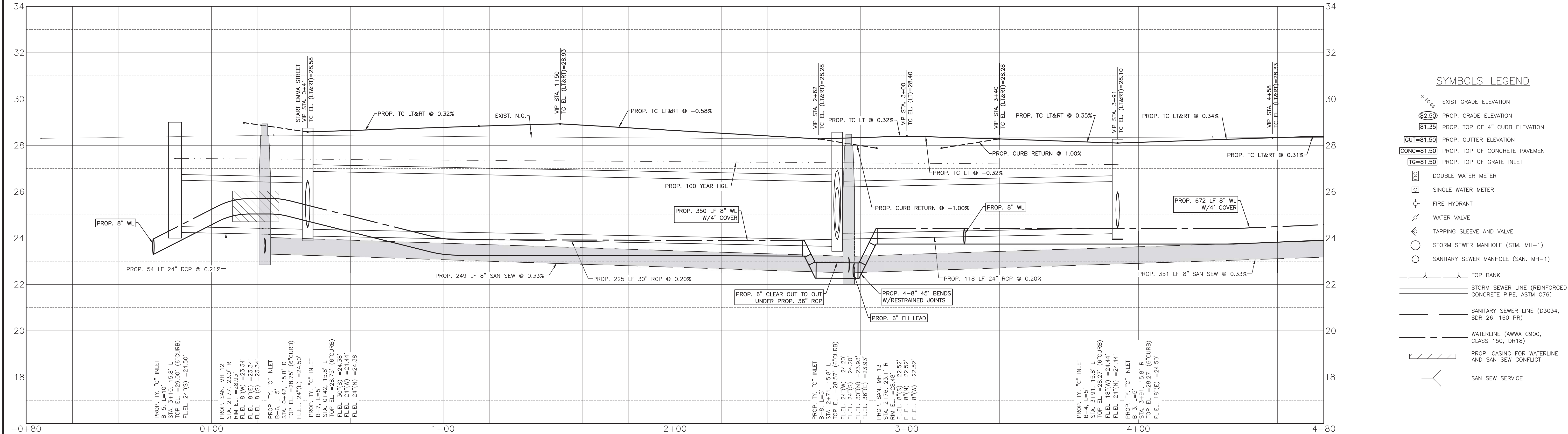
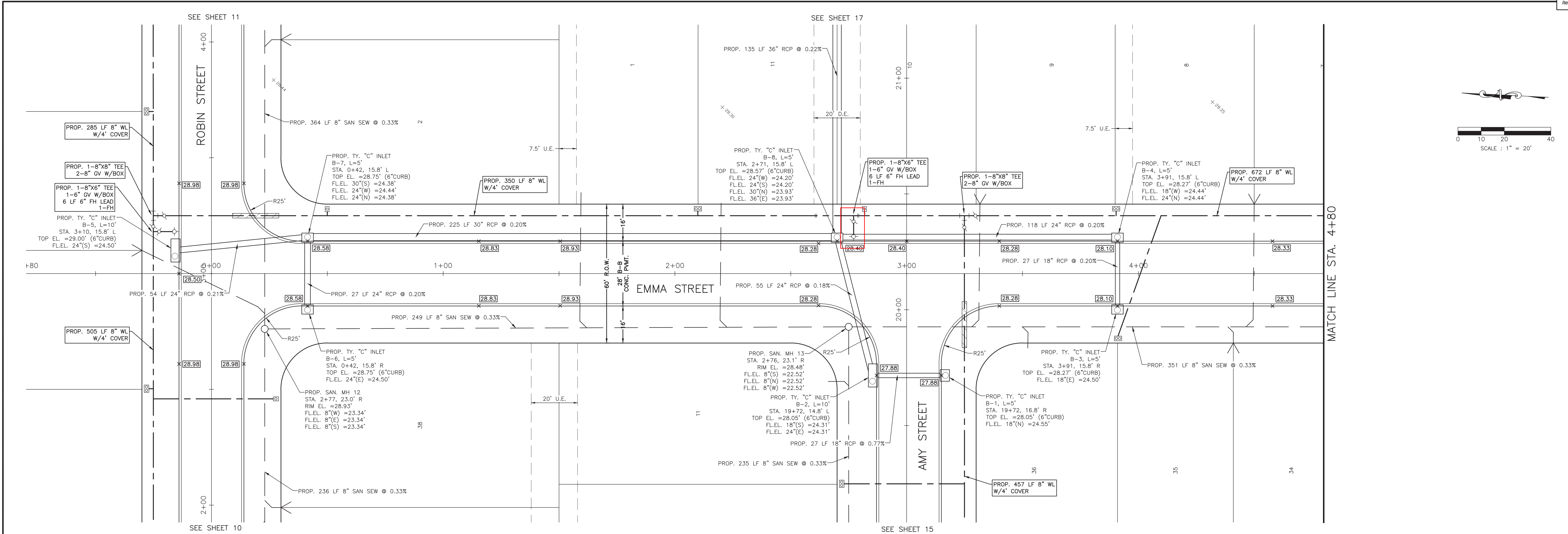
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

UTILITY PLAN & SHEET LAYOUT
 PROJECT NO. 14396



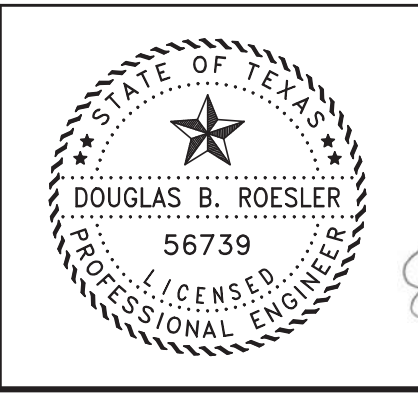
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
- STORM SEWER MANHOLE (STM, MH-1)
- SANITARY SEWER MANHOLE (SAN, MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWMA C900, CLASS 150, DR18)
- PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

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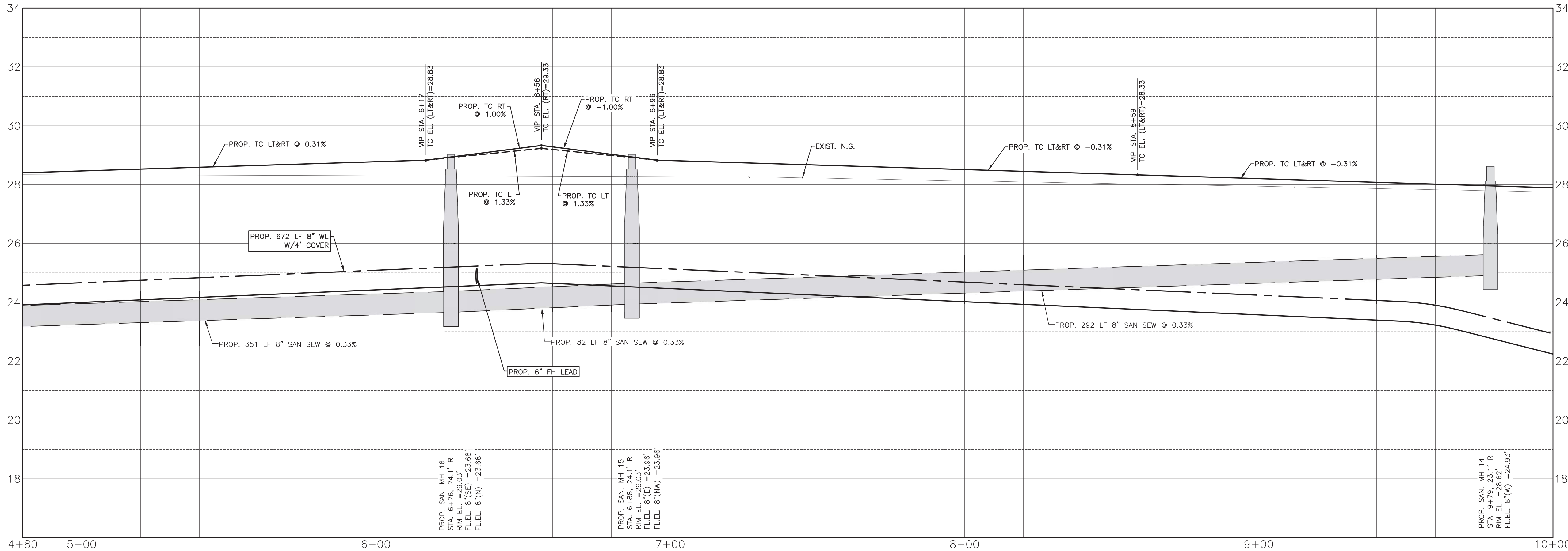
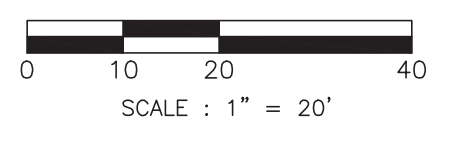
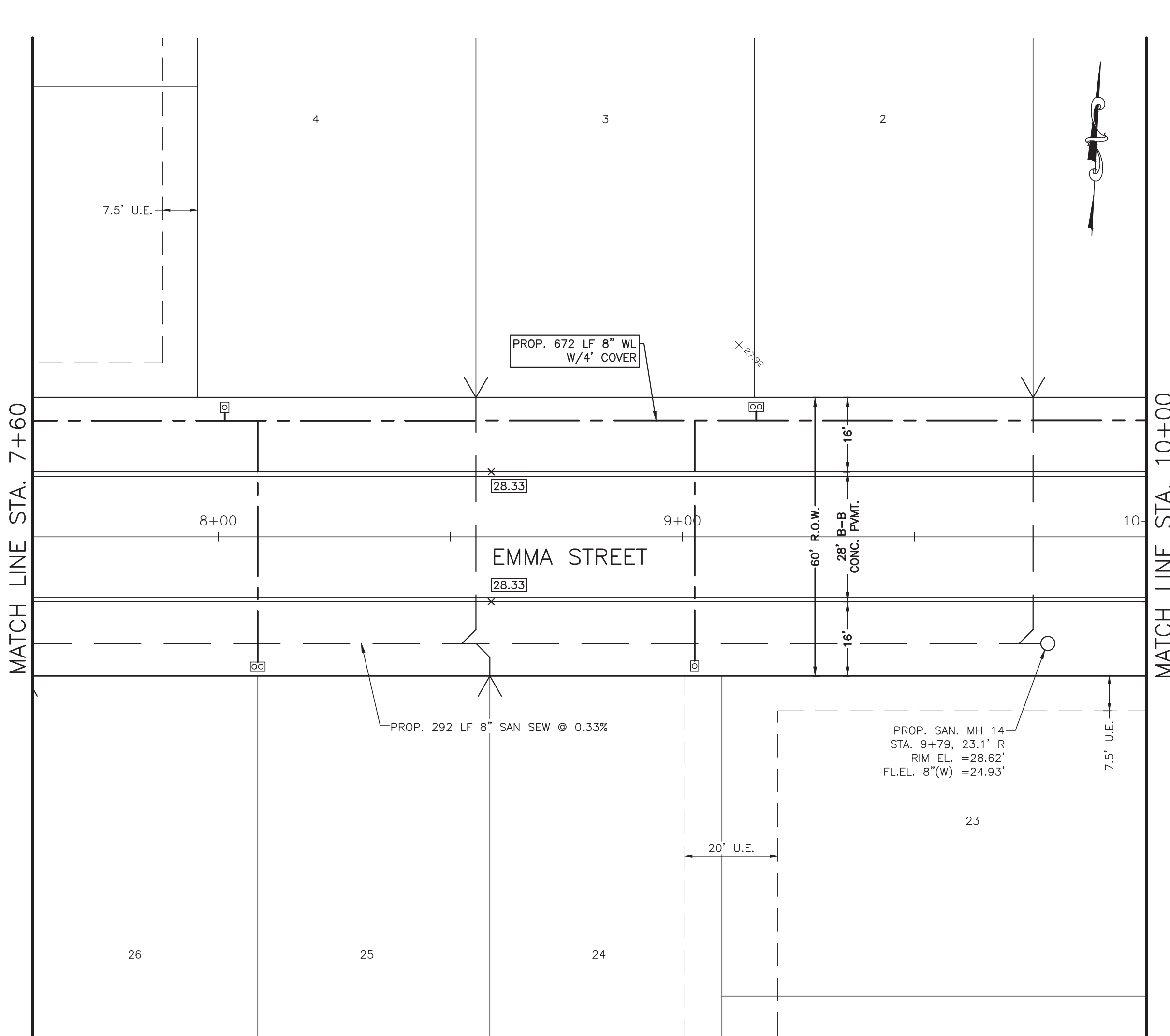
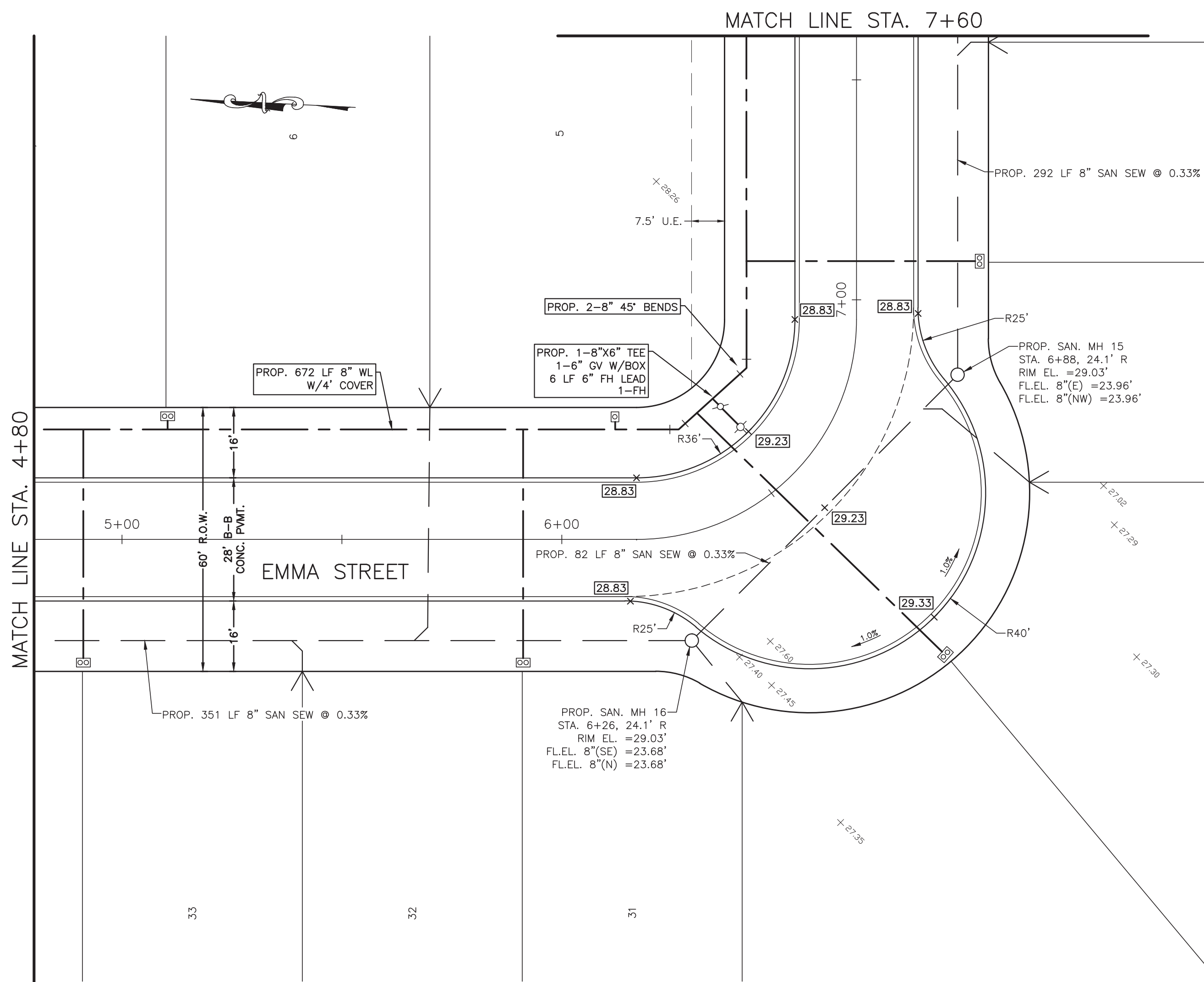
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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. -0+80 TO 4+80
 PROJECT NO. 14396

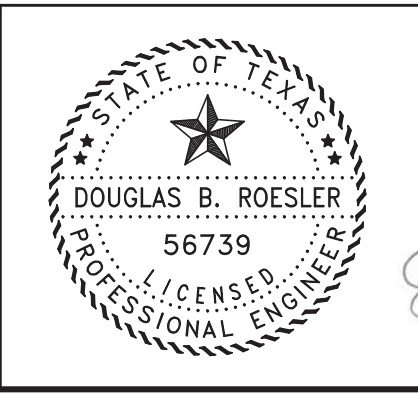


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
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NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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 REG. NO. F-825



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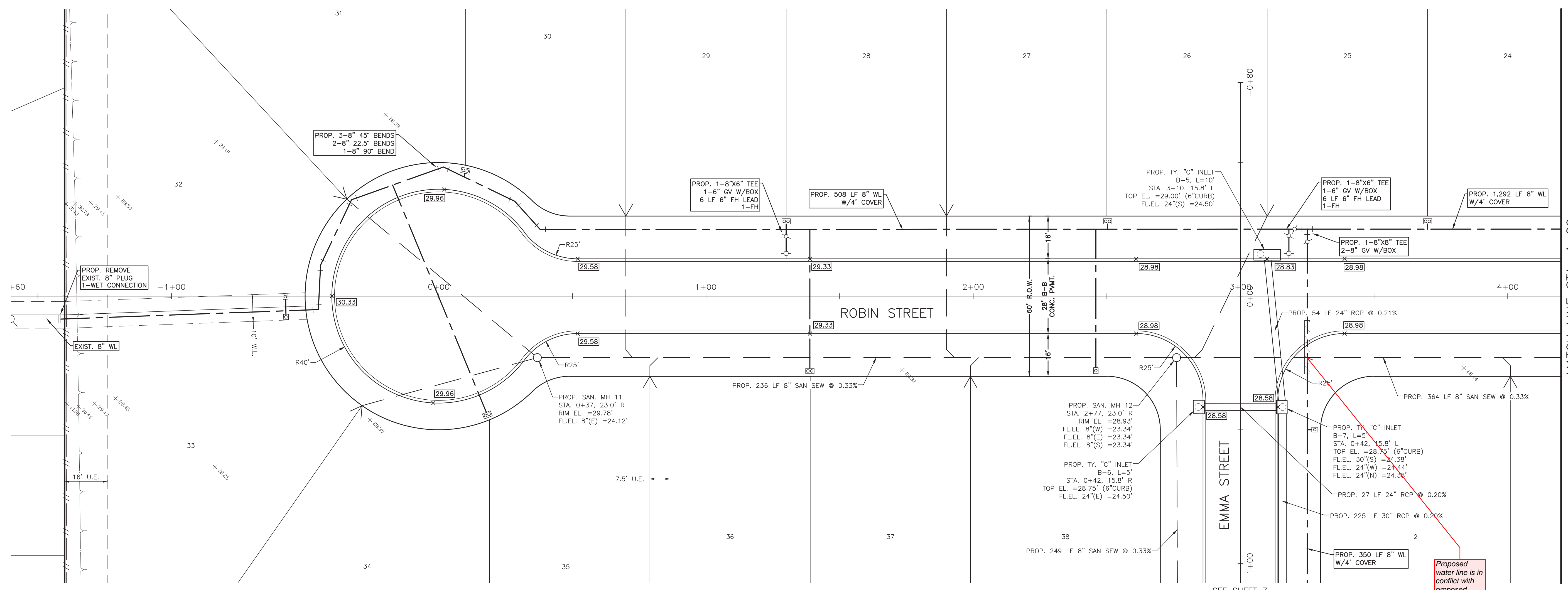
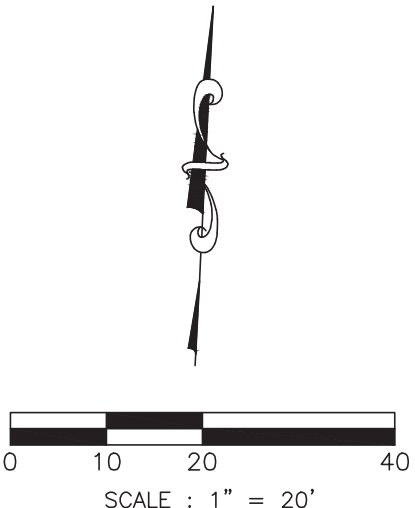
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. 4+80 TO 10+00

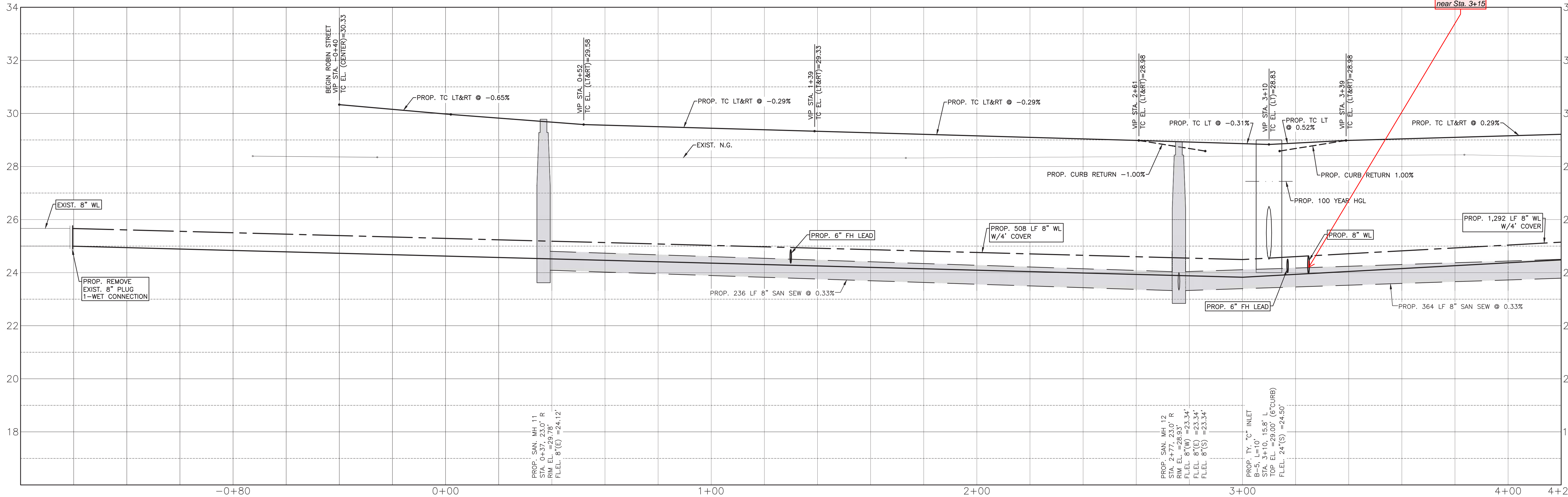
PROJECT NO. 14396



MATCH LINE STA. 4+20

SEE SHEET 7

Proposed water line is in conflict with proposed sanitary sewer near Sta. 3+15



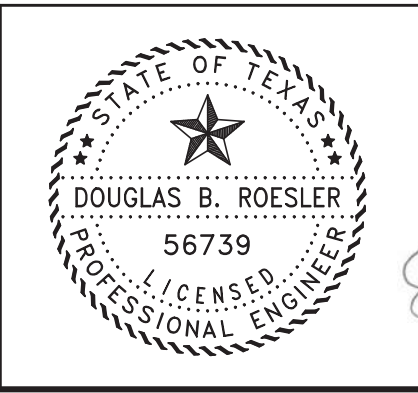
SYMBOLS LEGEND

- + 0.00 EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50 PROP. GUTTER ELEVATION
- CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
- TG=81.50 PROP. TOP OF GRATE INLET
- ⊗ DOUBLE WATER METER
- ⊠ SINGLE WATER METER
- ⊕ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ TAPPING SLLEEVE AND VALVE
- ⊙ STORM SEWER MANHOLE (STM. MH-1)
- ⊙ SANITARY SEWER MANHOLE (SAN. MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWWA C900, CLASS 150, DR18)
- PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



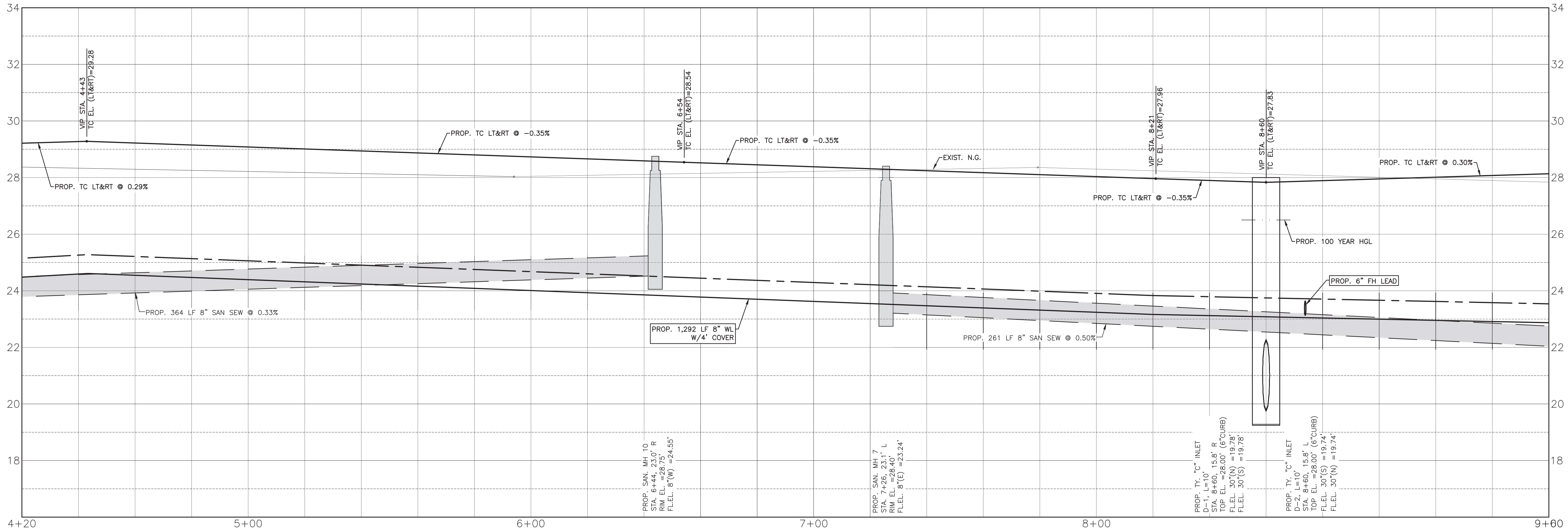
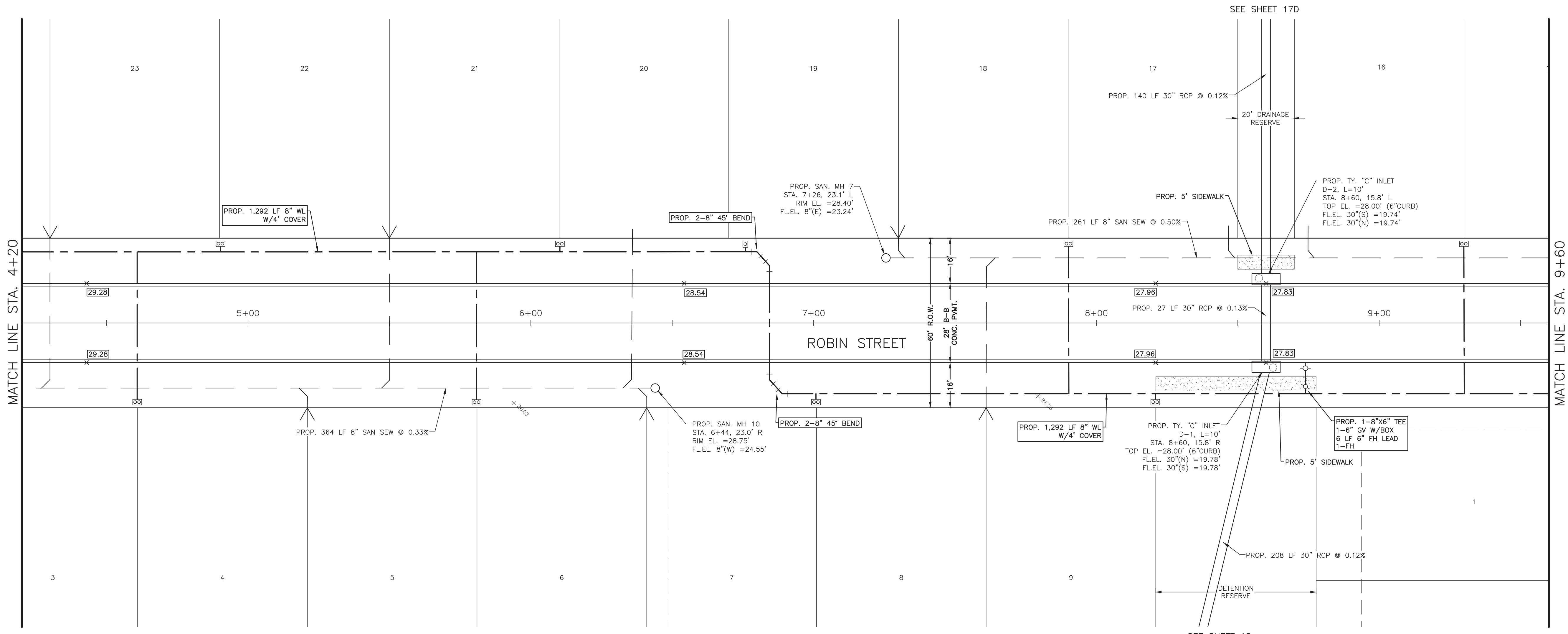
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. -1+60 TO 4+20
 PROJECT NO. 14396

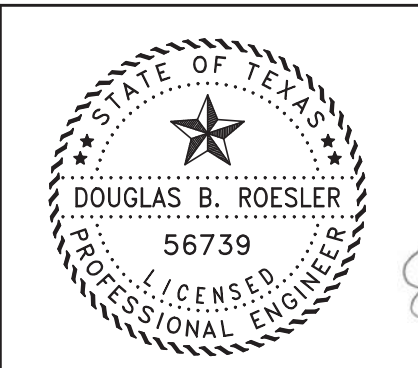


- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
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 - SINGLE WATER METER
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 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
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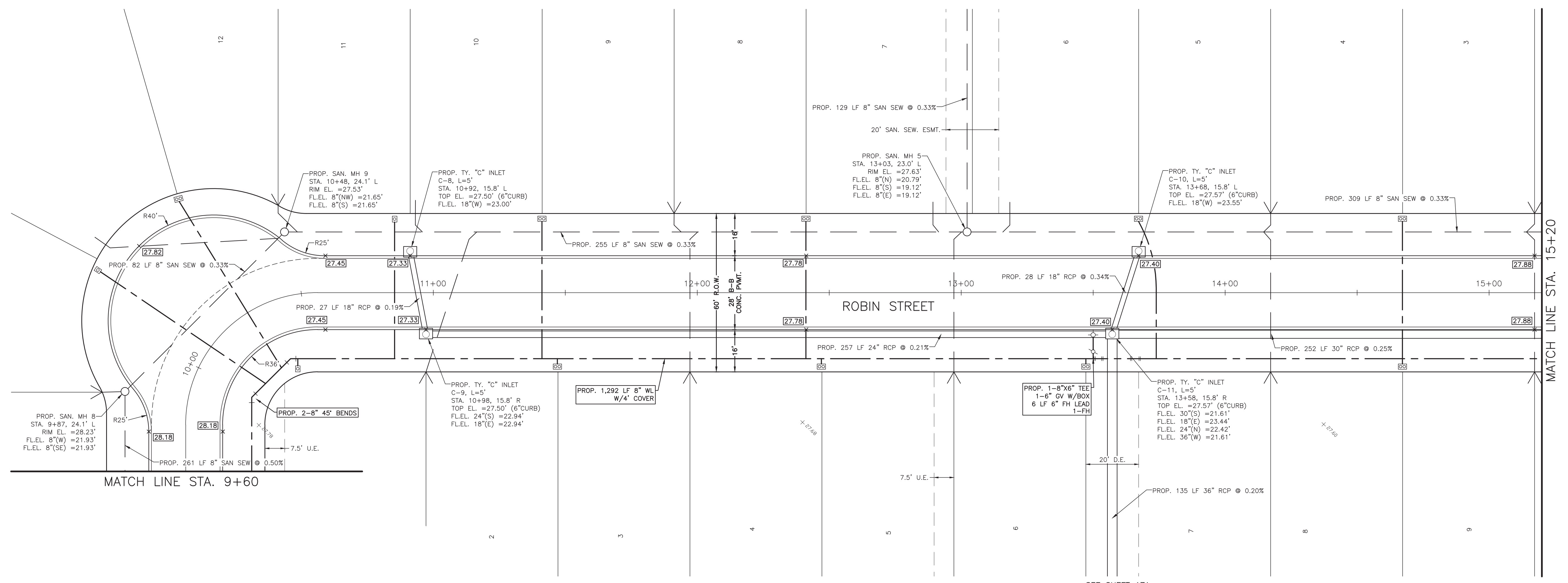
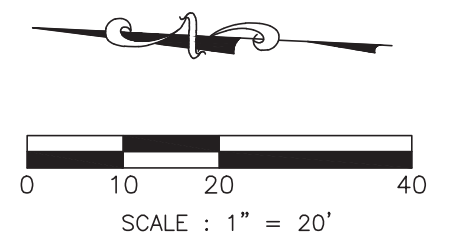
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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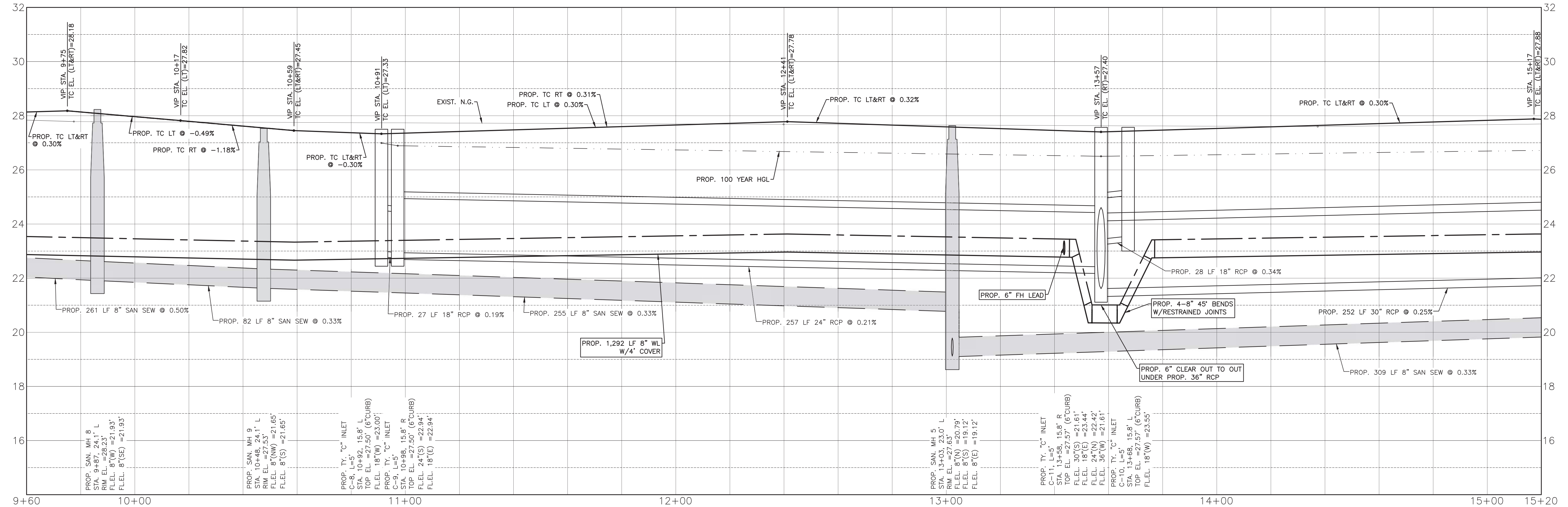
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 4+20 TO 9+60

PROJECT NO. 14396



SEE SHEET 17A



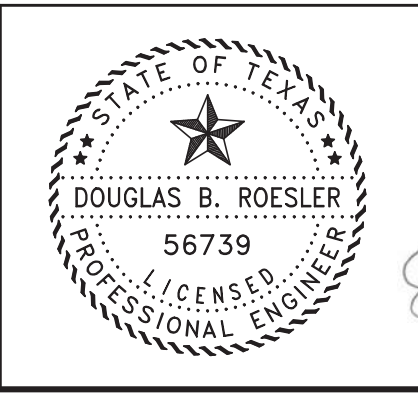
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
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 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
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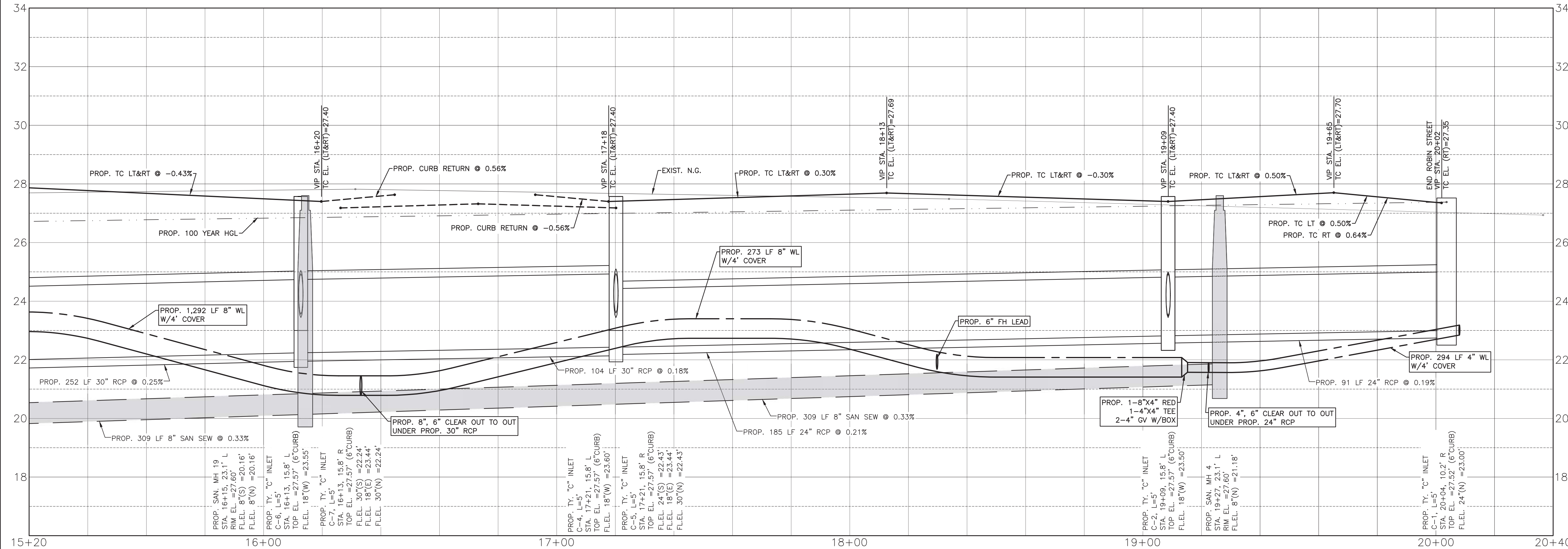
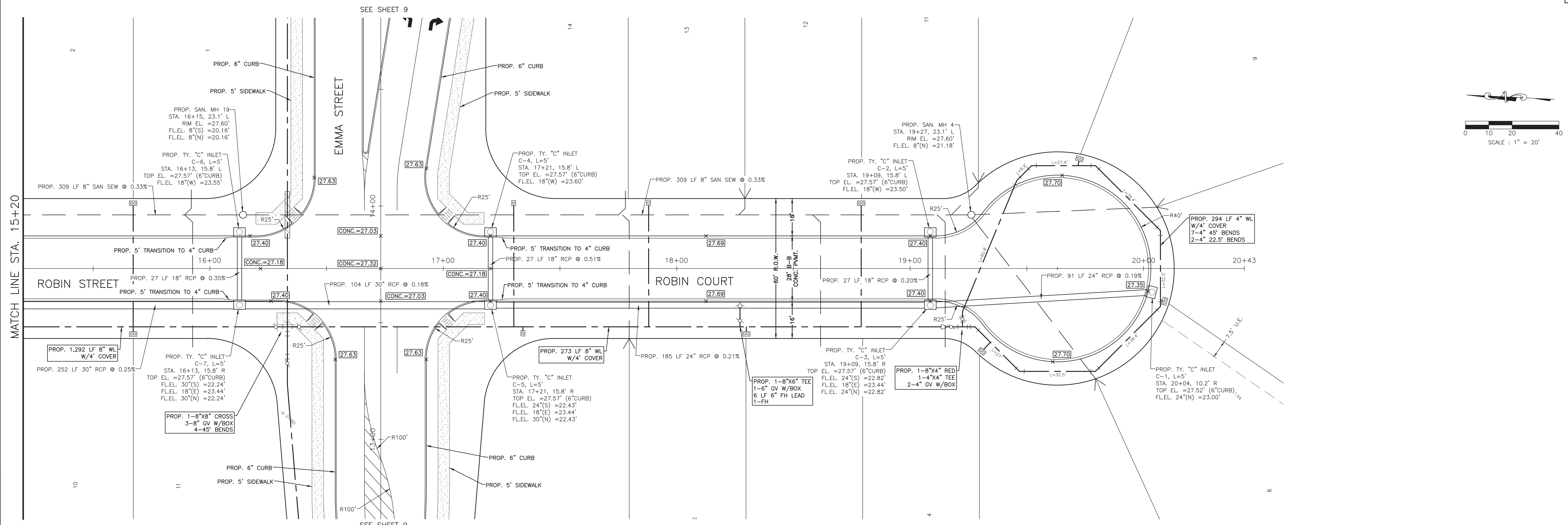
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 9+60 TO 15+20
 PROJECT NO. 14396



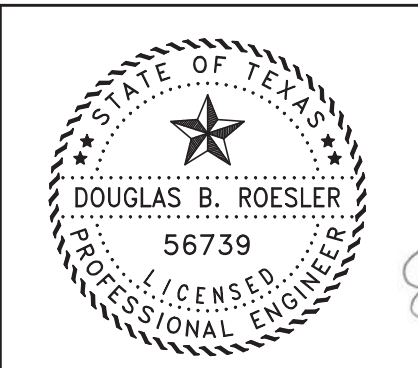
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
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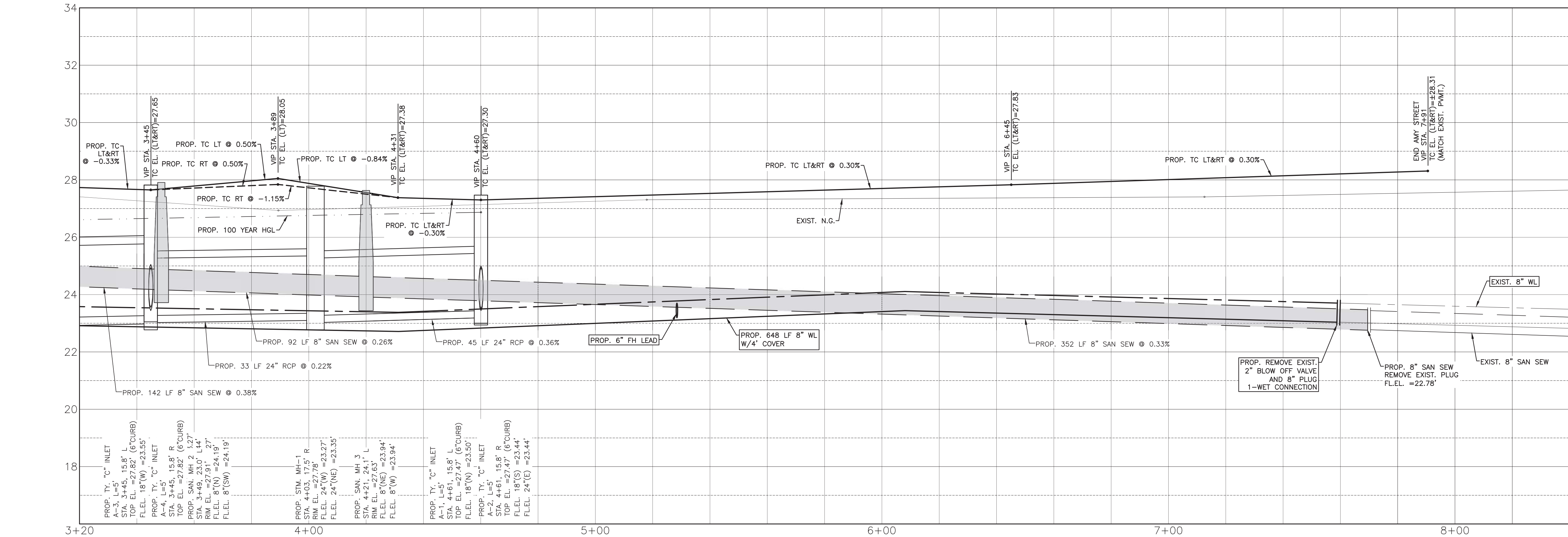
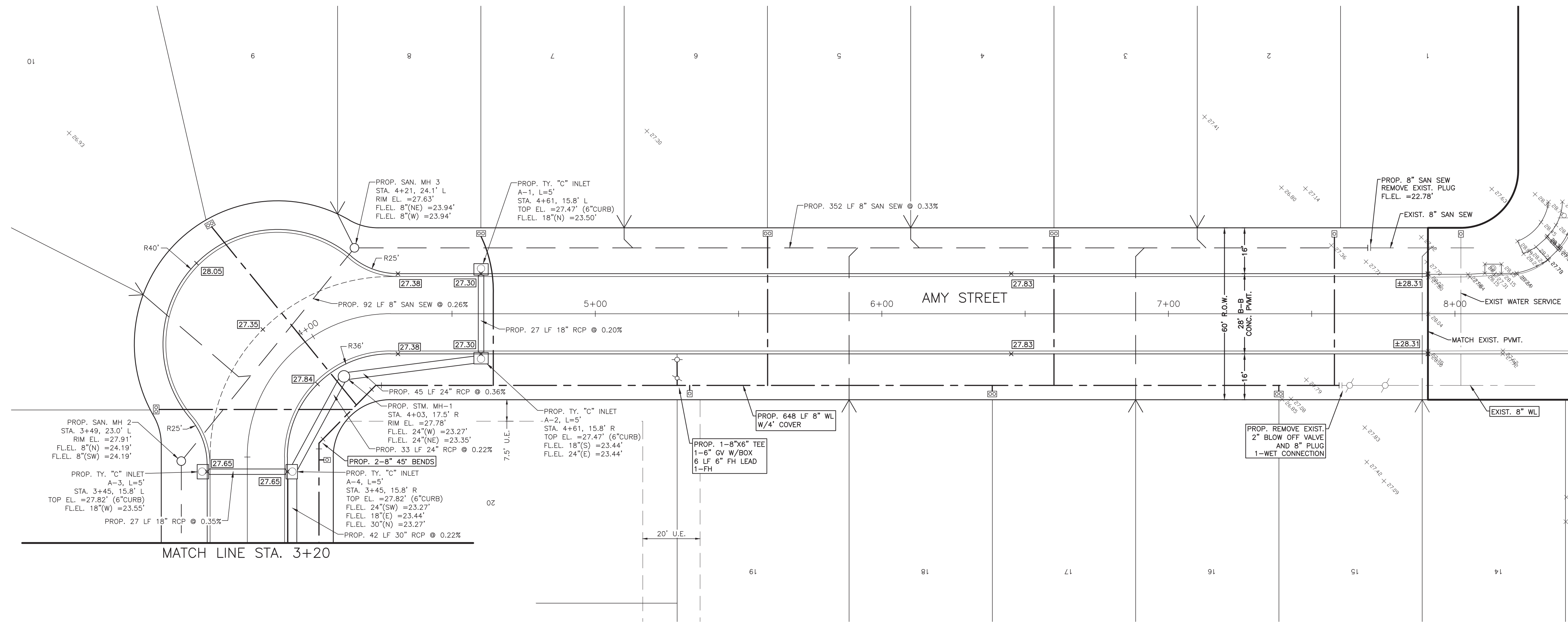
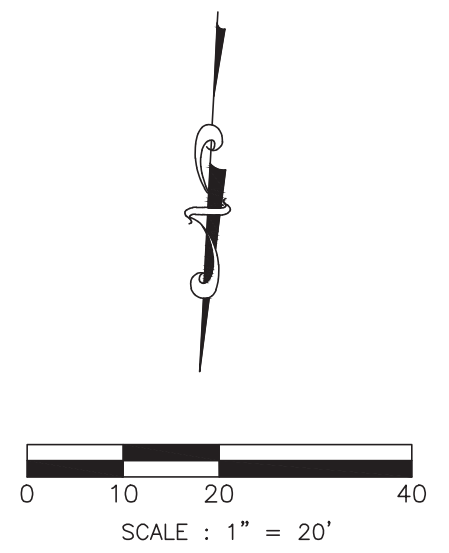
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HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 15+20 TO 20+40

PROJECT NO. 14396



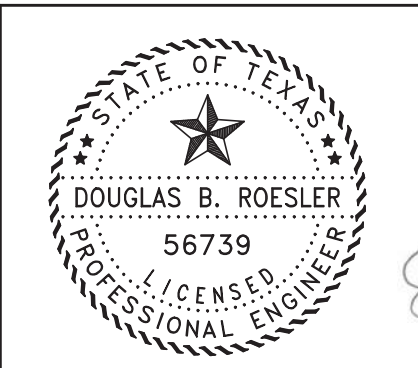
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
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 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



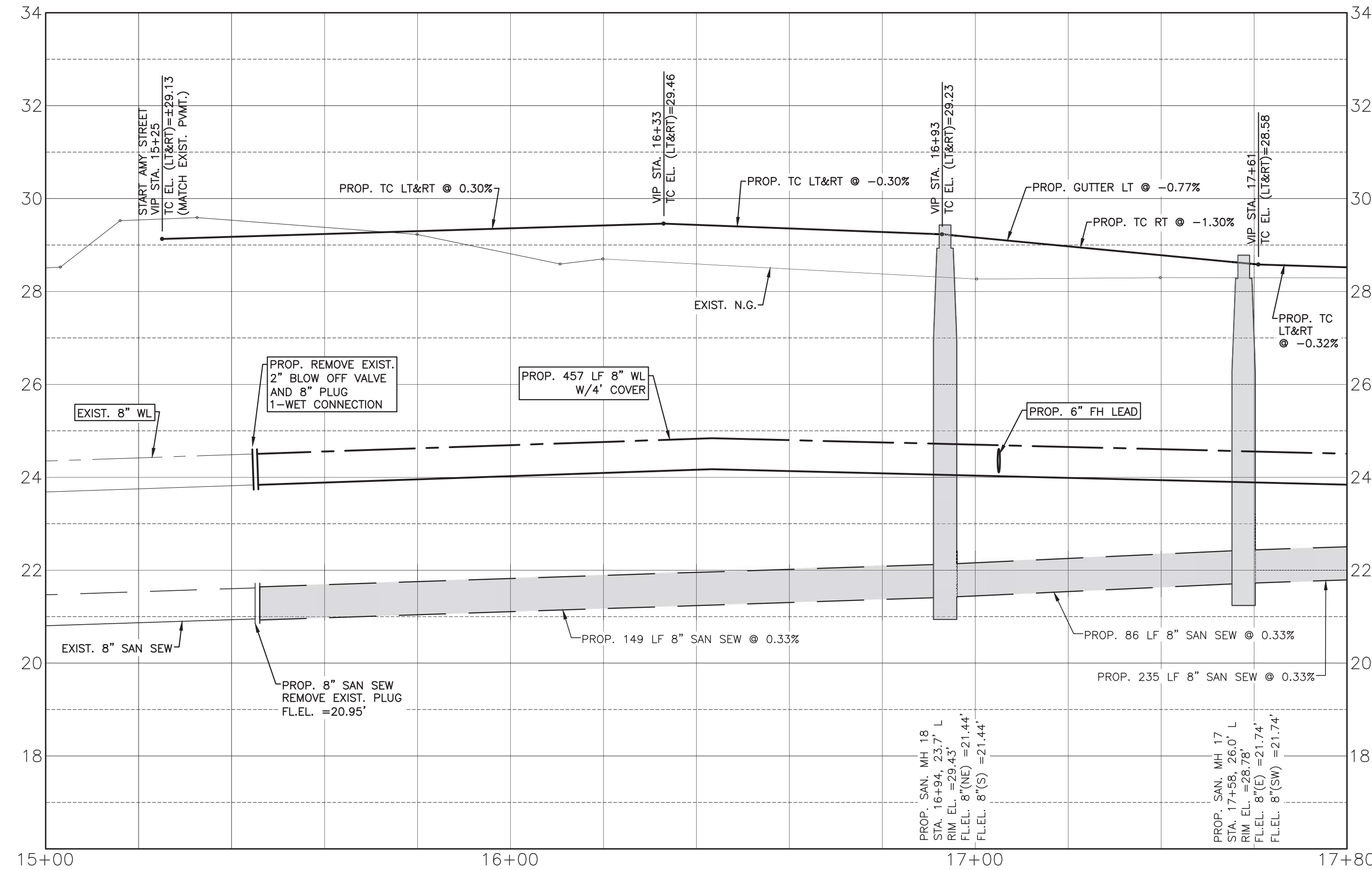
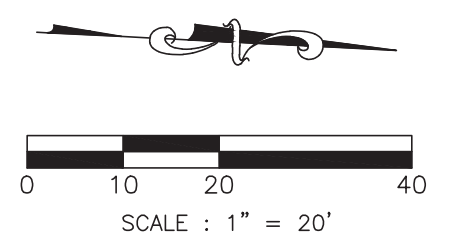
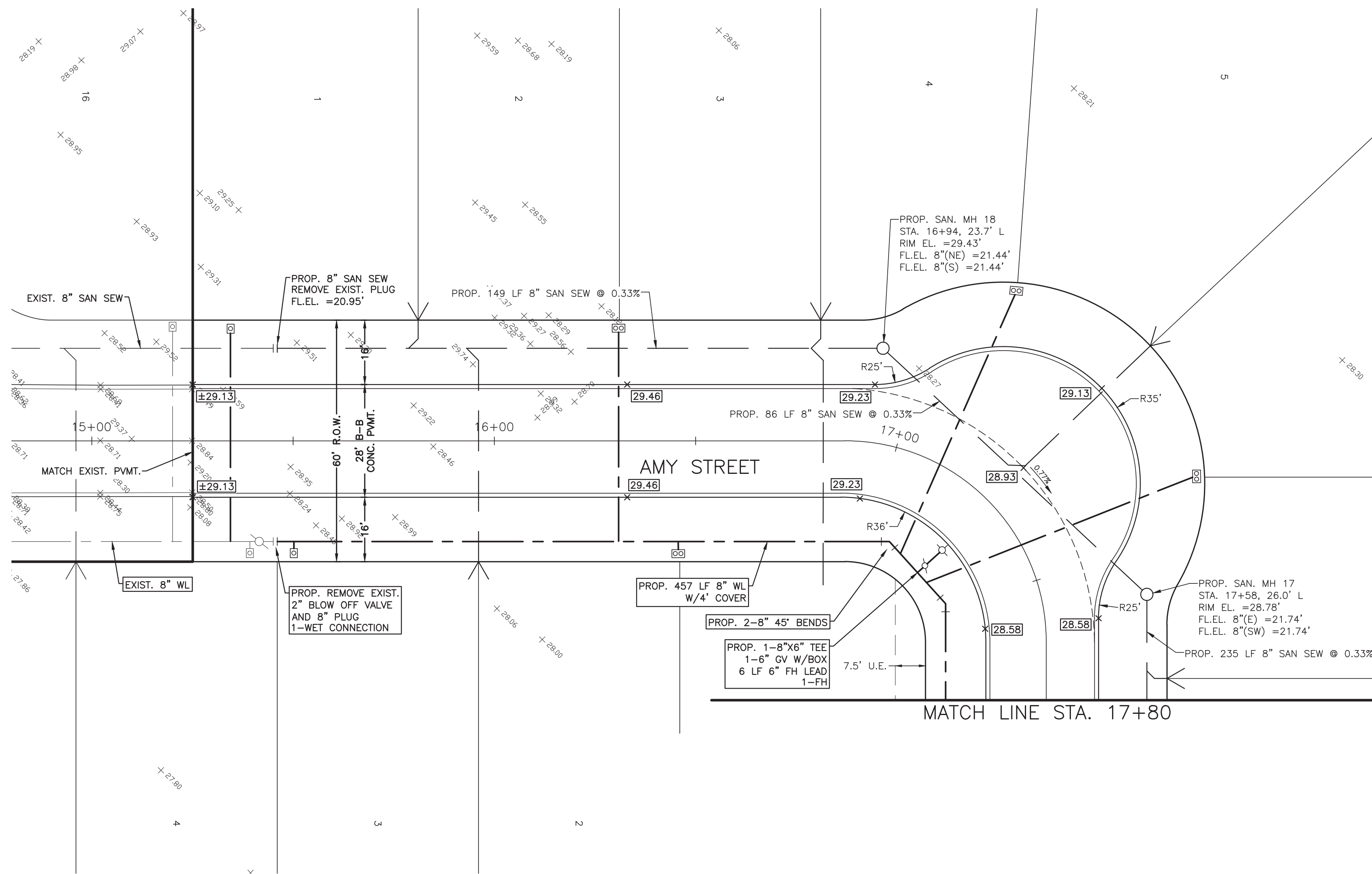
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 3+20 TO 8+00
 PROJECT NO. 14396



SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
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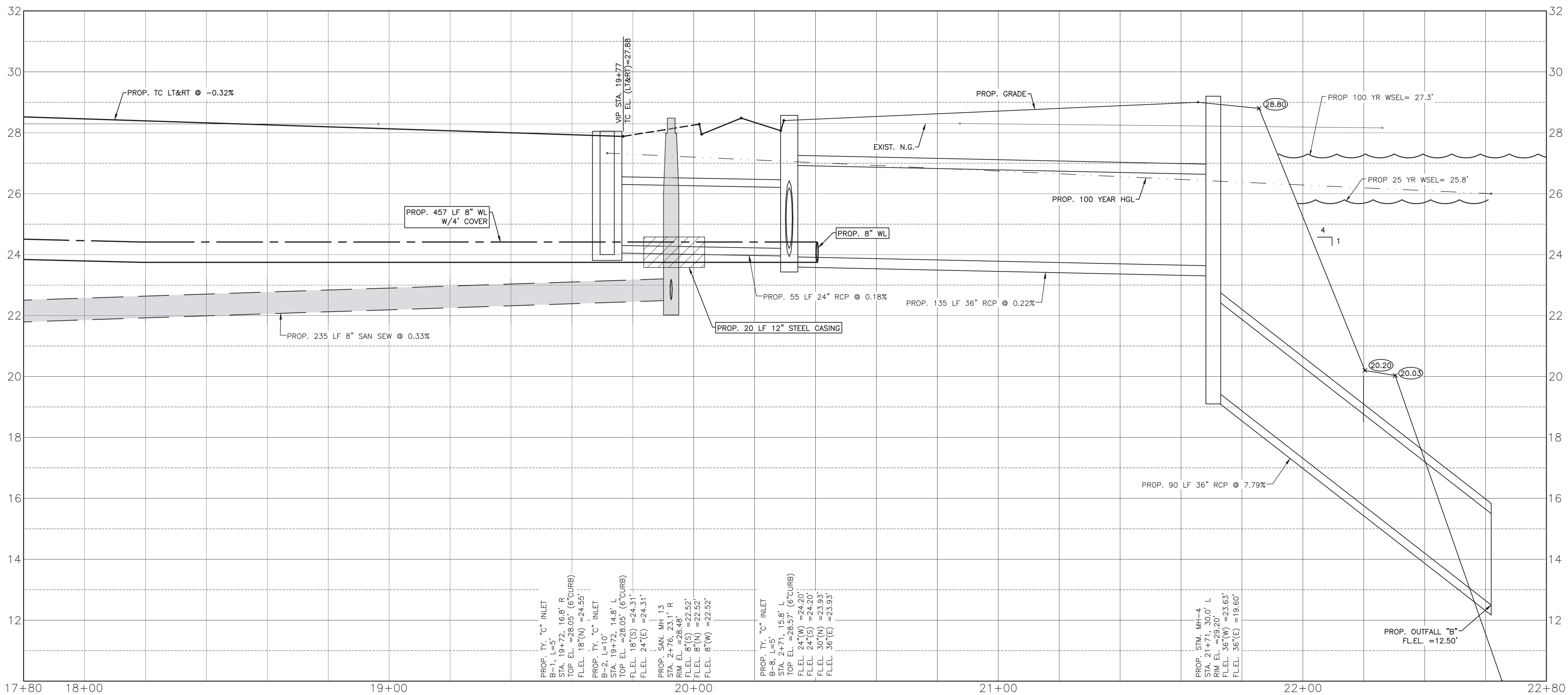
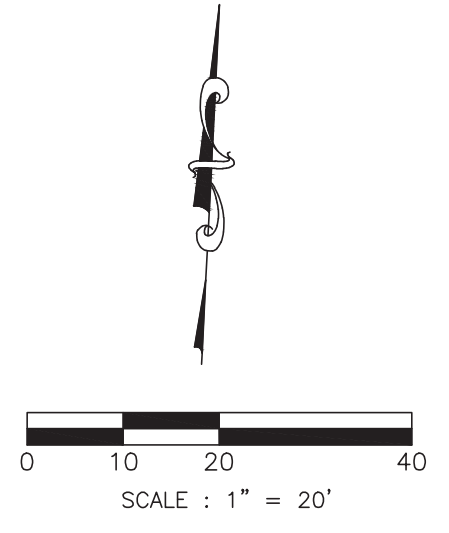
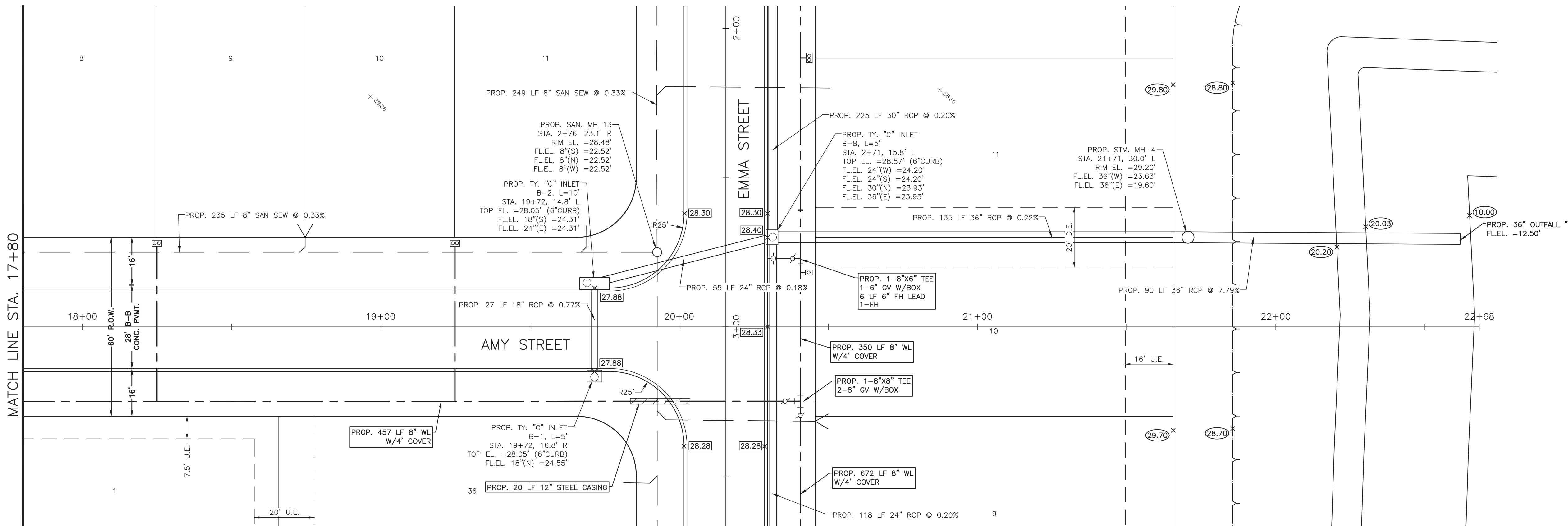
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6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 15+00 TO 17+80
 PROJECT NO. 14396



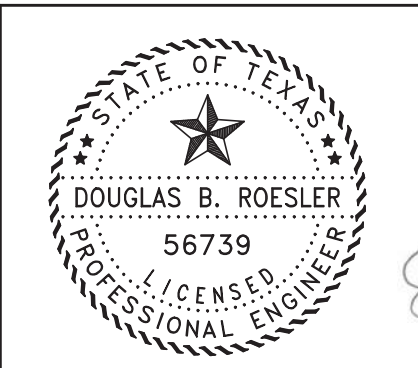
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B & L
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 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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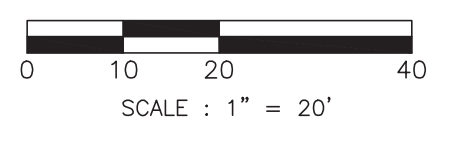
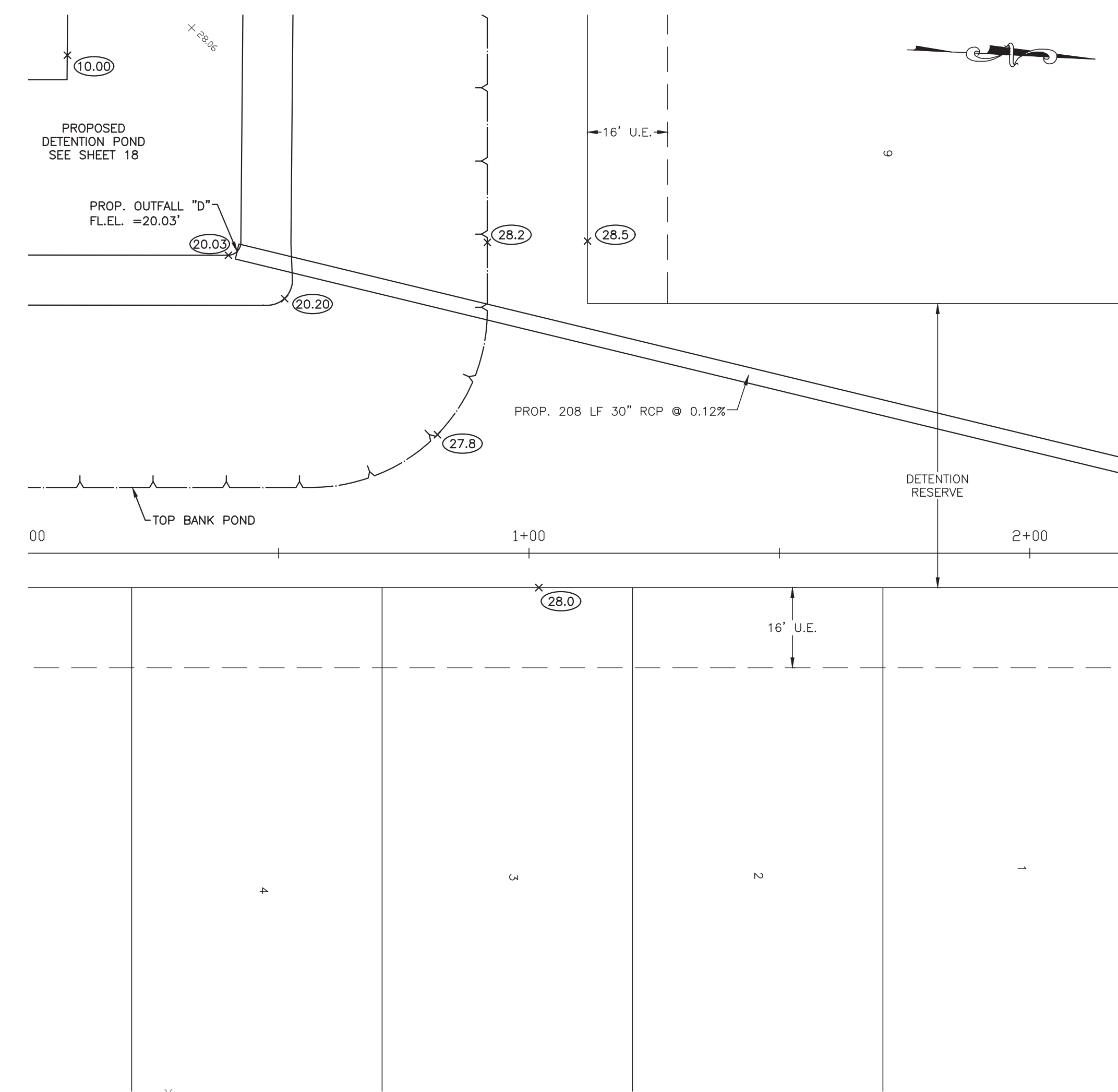
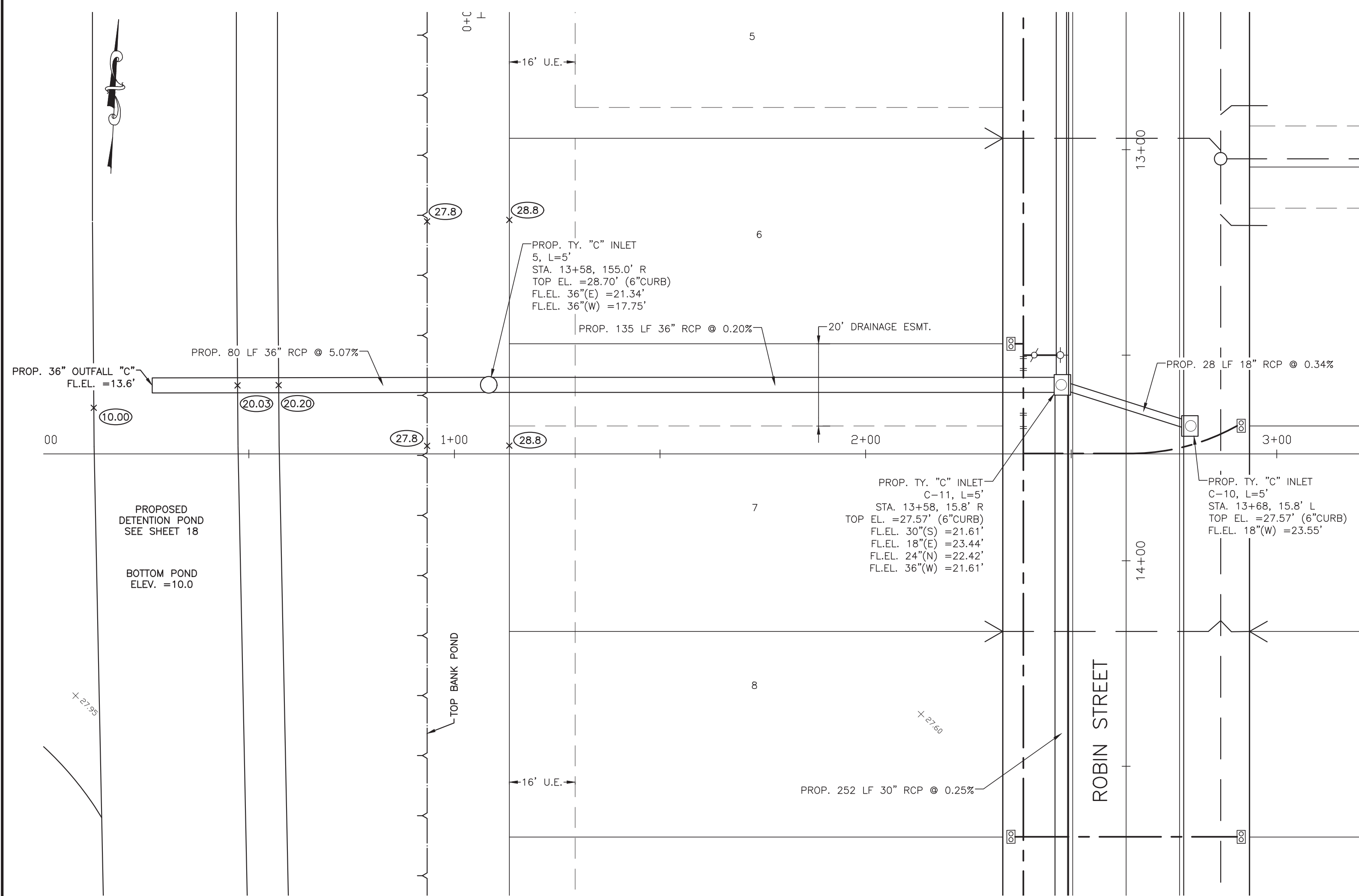
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6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

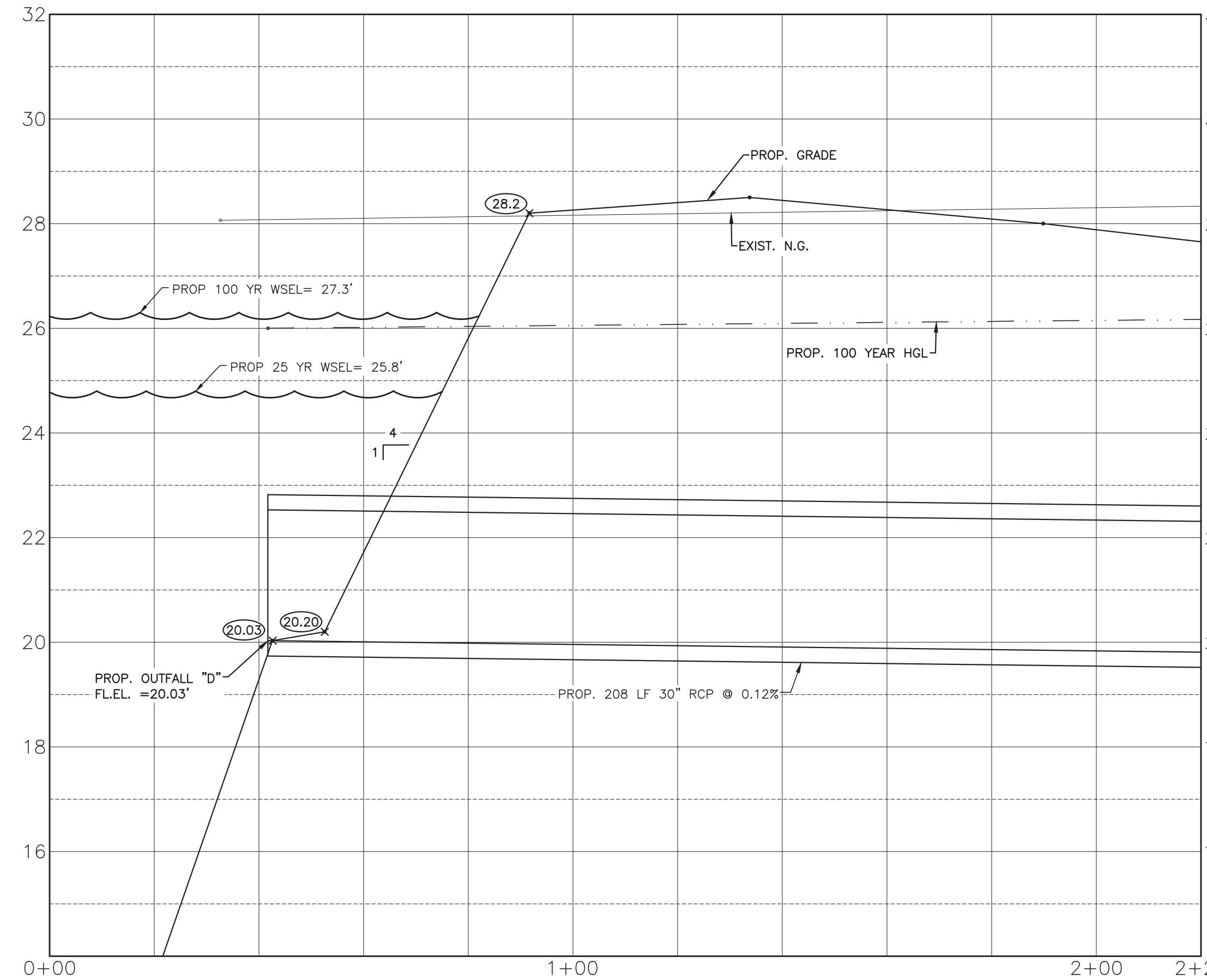
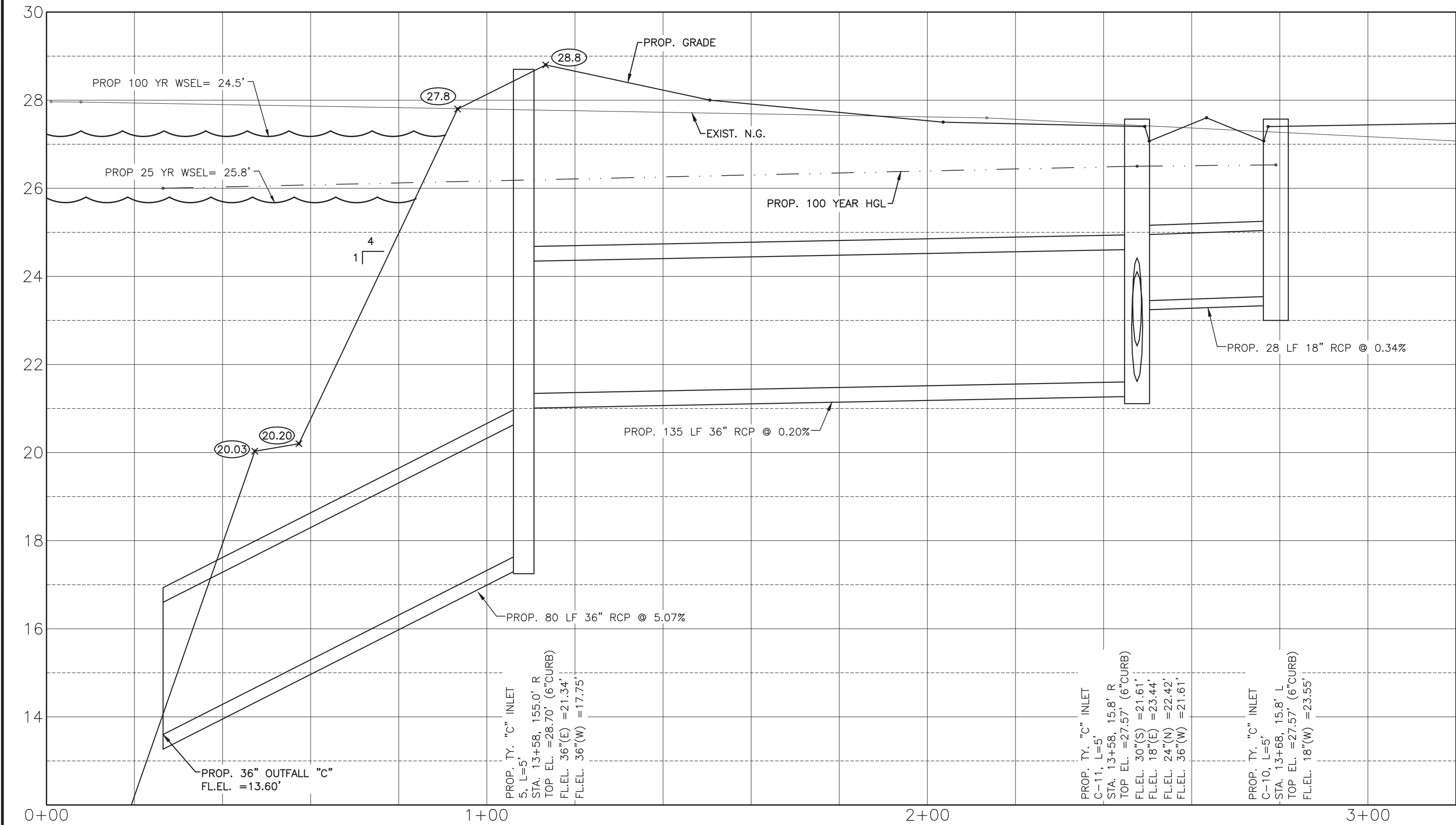
PLAN & PROFILE
 AMY STREET
 STA. 17+80 TO 22+68

PROJECT NO. 14396



OUTFALL C

OUTFALL D



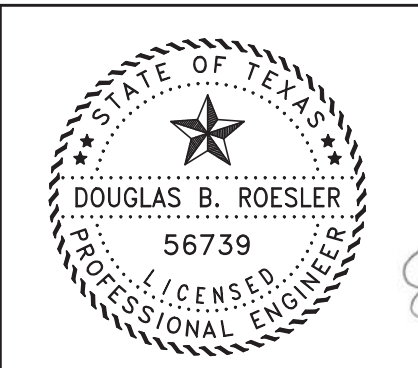
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50 PROP. GUTTER ELEVATION
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 ANGLETON, TEXAS 77515 (979) 849-6681
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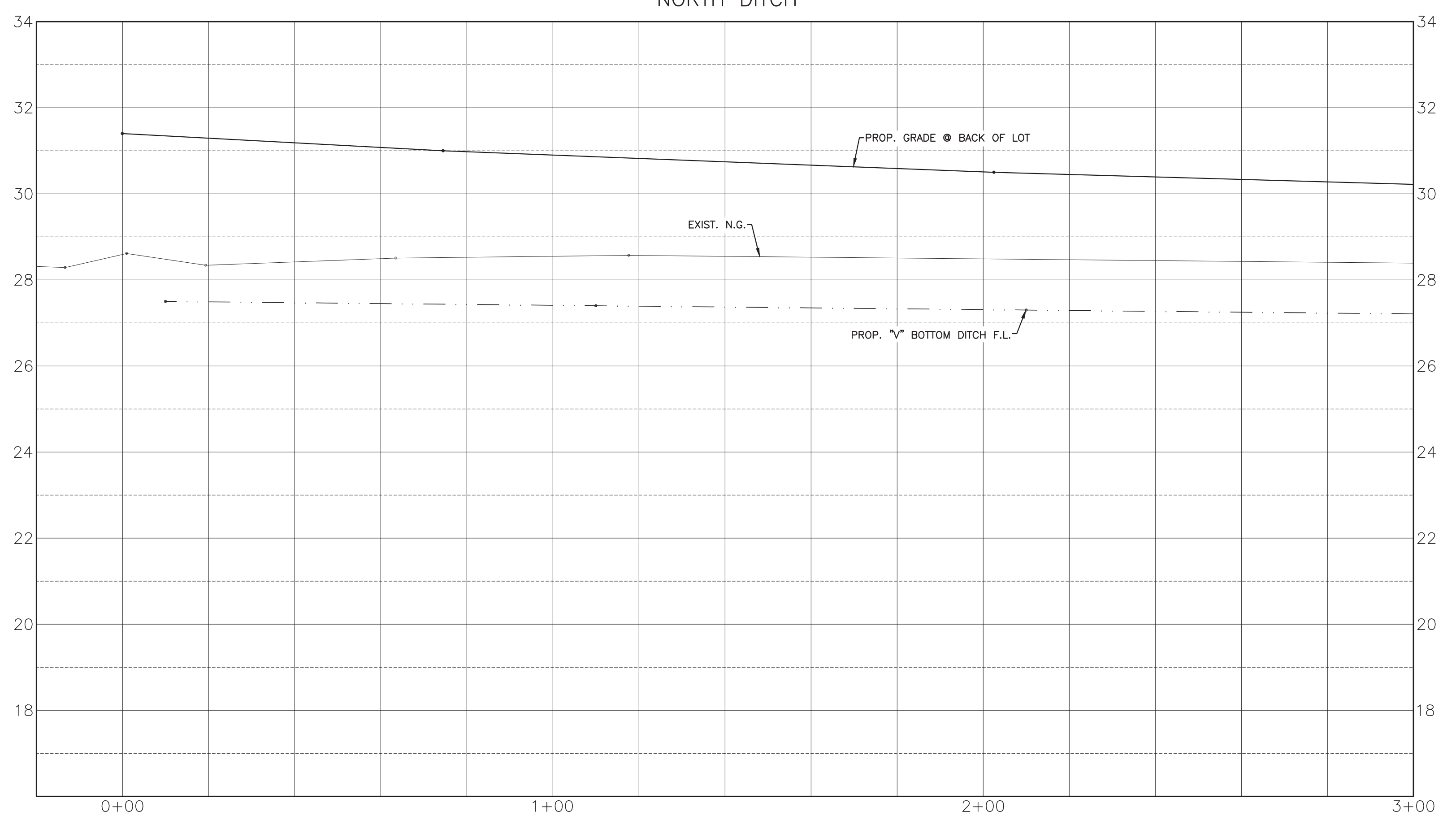
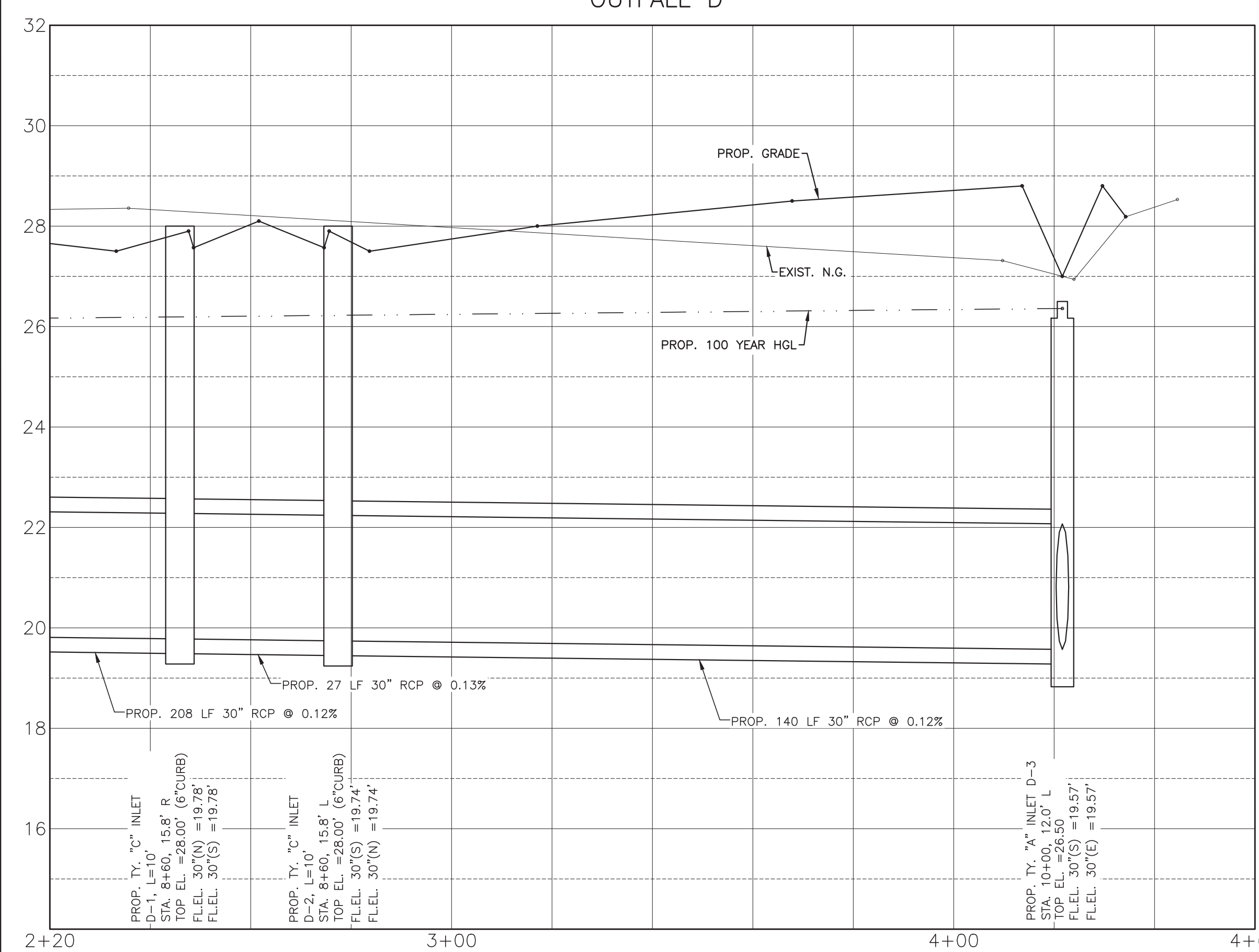
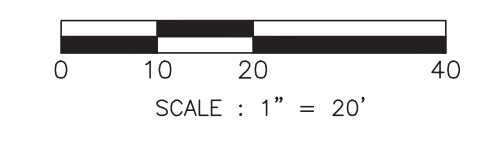
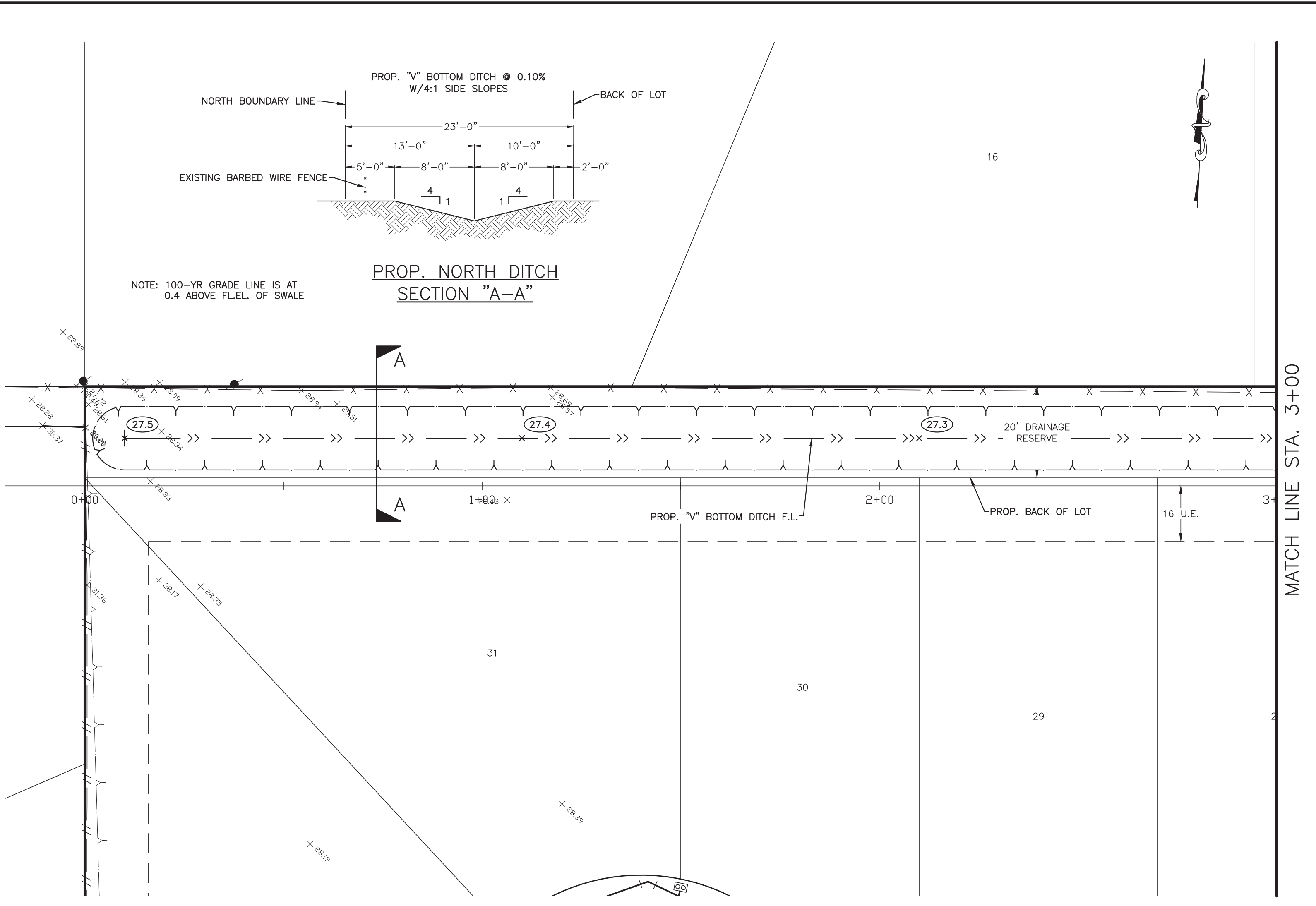
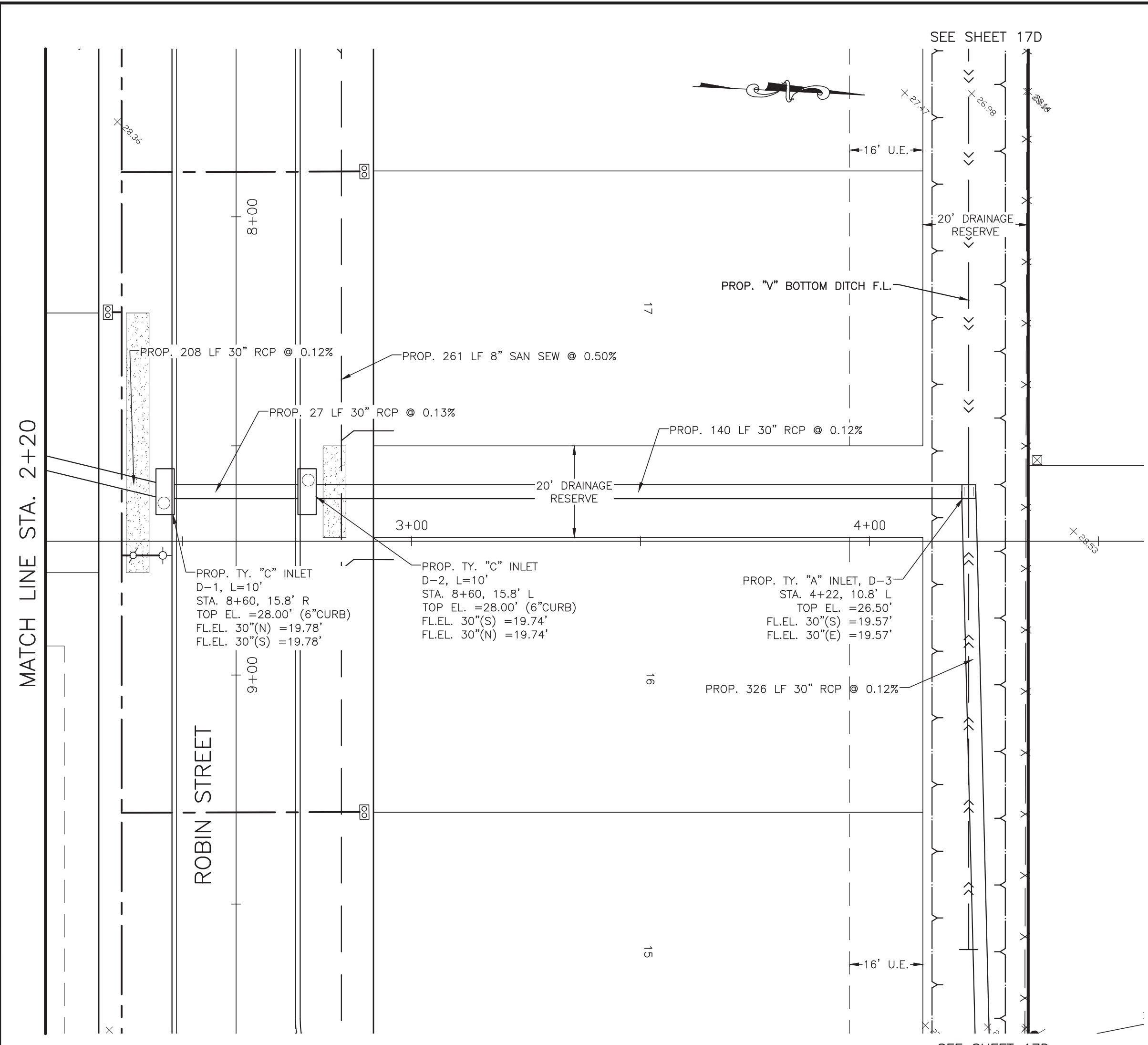
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 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL C & D
 PROJECT NO. 14396



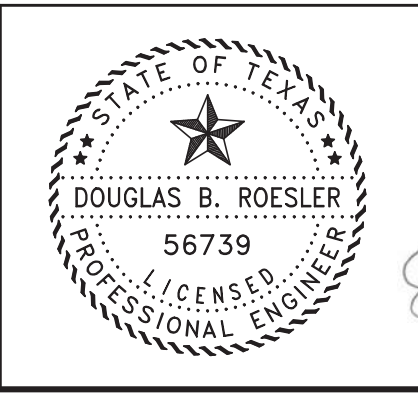
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 03-03-2023

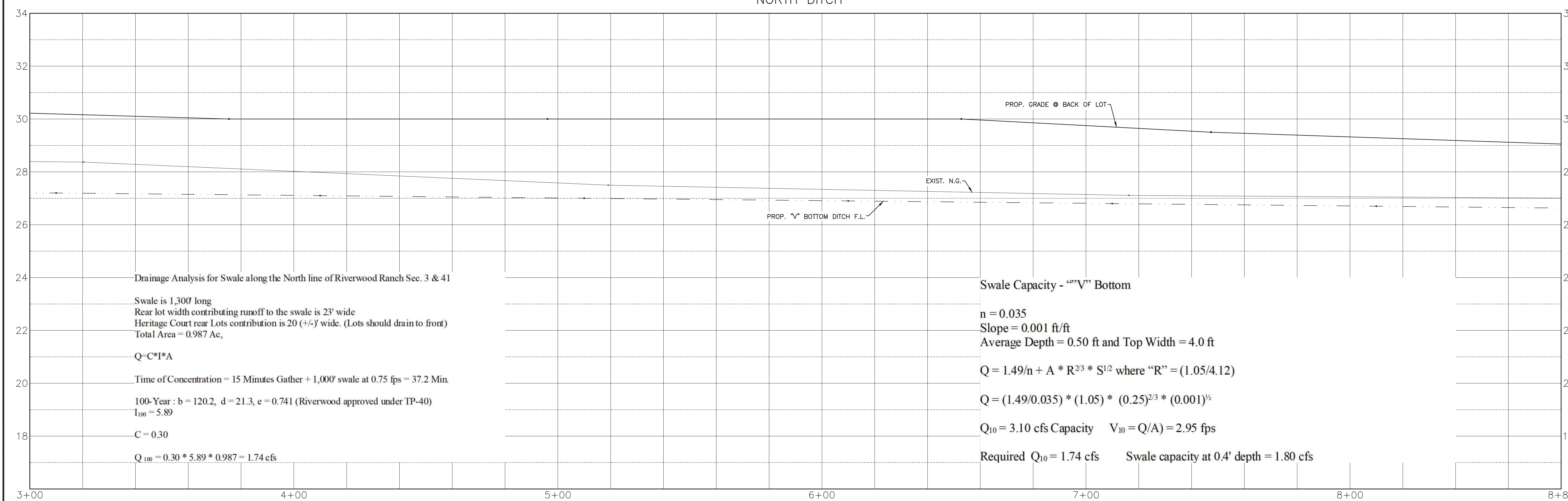
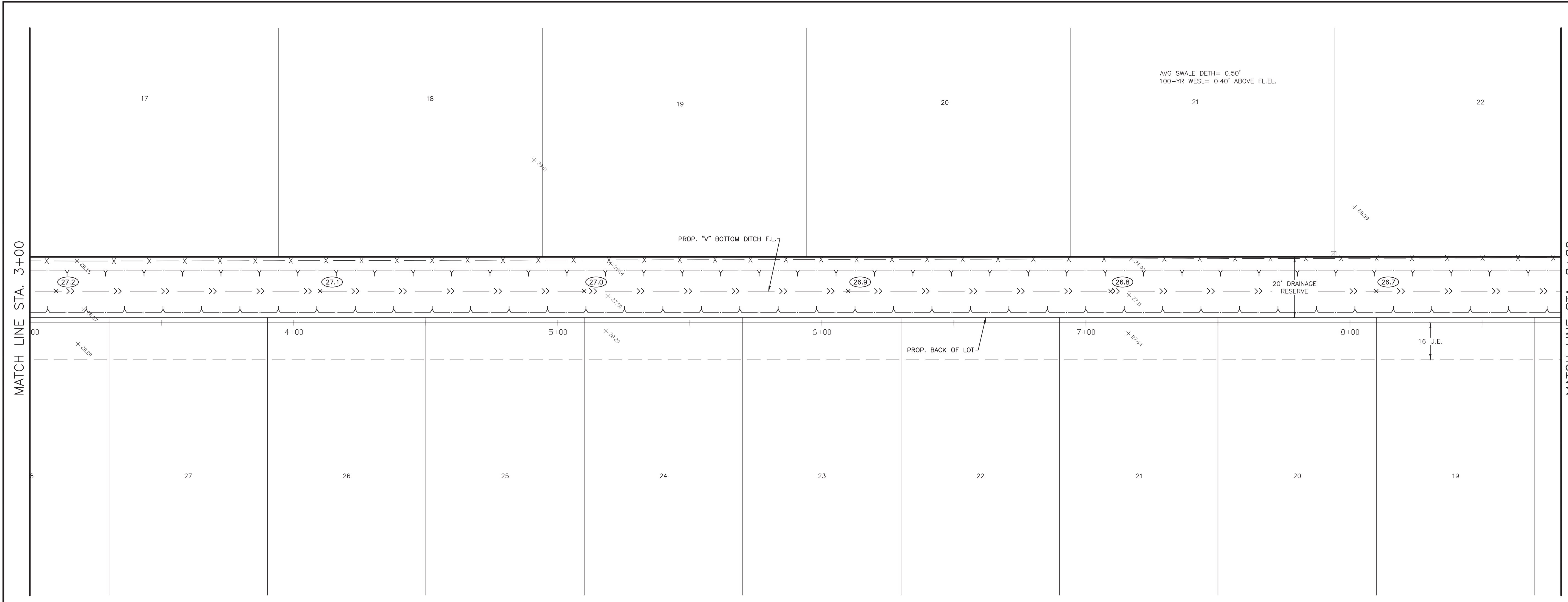
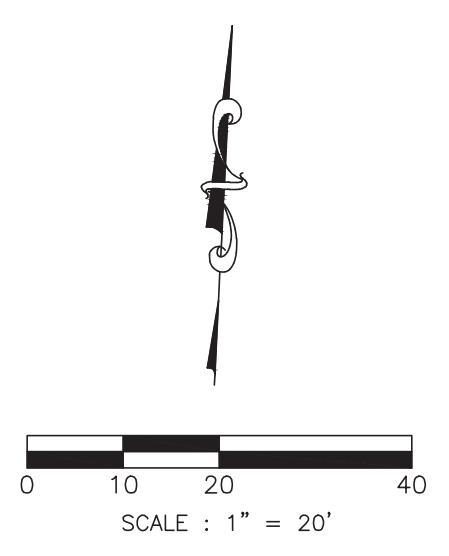
OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL D
 & NORTH DITCH

PROJECT NO. 14396



Drainage Analysis for Swale along the North line of Riverwood Ranch Sec. 3 & 41

Swale is 1,300' long
 Rear lot width contributing runoff to the swale is 23' wide
 Heritage Court rear Lots contribution is 20 (+/-) wide. (Lots should drain to front)
 Total Area = 0.987 Ac,

$Q=C*I*A$

Time of Concentration = 15 Minutes Gather + 1,000' swale at 0.75 fps = 37.2 Min.

100-Year: $b = 120.2$, $d = 21.3$, $c = 0.741$ (Riverwood approved under IP-40)
 $I_{100} = 5.89$

$C = 0.30$

$Q_{100} = 0.30 * 5.89 * 0.987 = 1.74$ cfs

Swale Capacity - "V" Bottom

$n = 0.035$
 Slope = 0.001 ft/ft
 Average Depth = 0.50 ft and Top Width = 4.0 ft

$Q = 1.49/n + A * R^{2/3} * S^{1/2}$ where "R" = (1.05/4.12)

$Q = (1.49/0.035) * (1.05) * (0.25)^{2/3} * (0.001)^{1/2}$

$Q_{10} = 3.10$ cfs Capacity $V_{10} = Q/A = 2.95$ fps

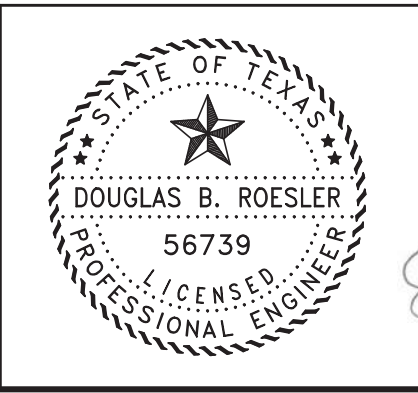
Required $Q_{10} = 1.74$ cfs Swale capacity at 0.4' depth = 1.80 cfs

- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



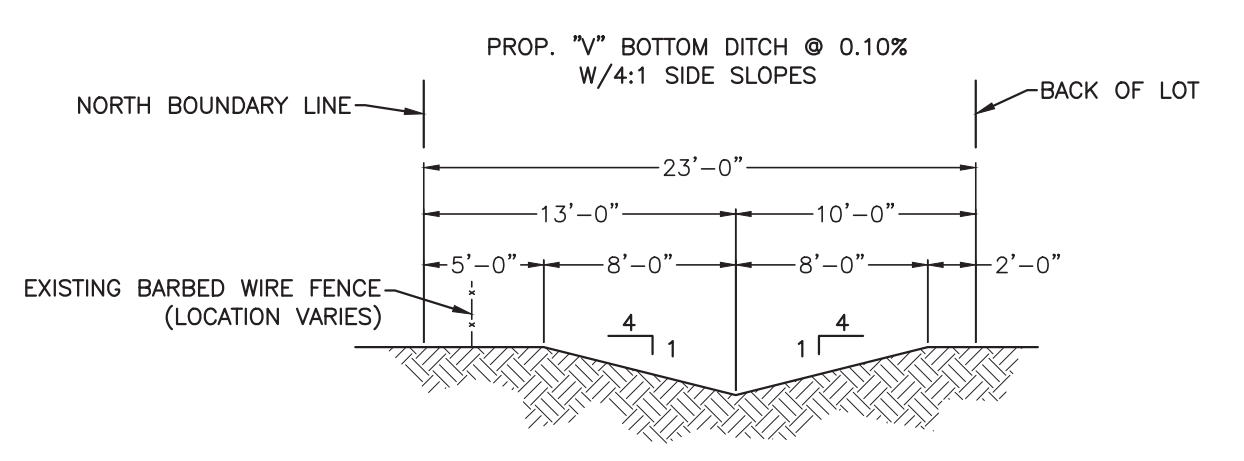
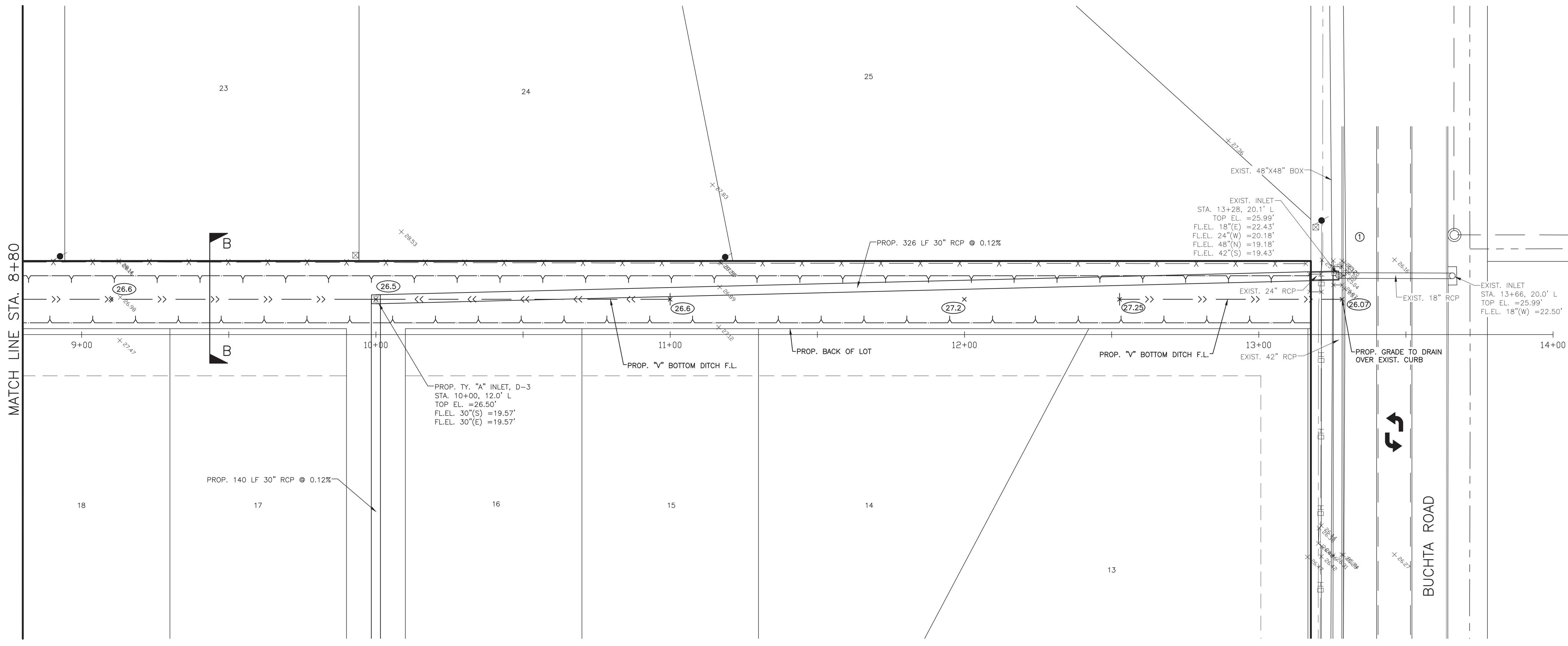
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

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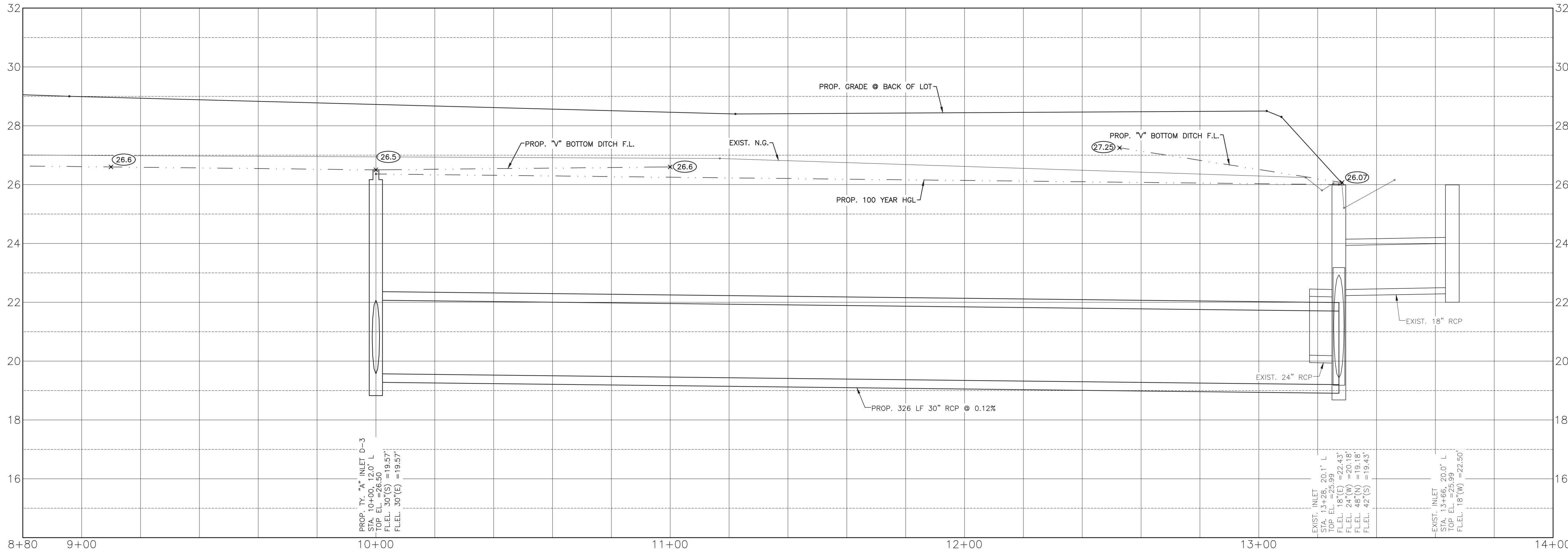
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 NORTH DITCH
 PROJECT NO. 14396
 17C
 243



PROP. NORTH DITCH SECTION "B-B"

① REMOVE EXIST 24" RCP WEST. BREAK OUT BACK WALL TO PLACE PROP 30" RCP AT F.L.E.L. 19.18. GROUT 30" RCP INSIDE AND OUTSIDE OF BOX TO MAKE WATER TIGHT.



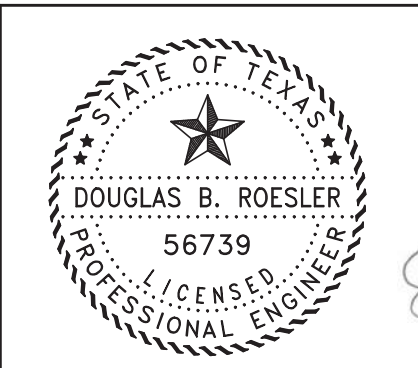
SYMBOLS LEGEND

- + 80.00 EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50 PROP. GUTTER ELEVATION
- CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
- TG=81.50 PROP. TOP OF GRATE INLET
- ⊗ DOUBLE WATER METER
- ⊠ SINGLE WATER METER
- ⊕ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊕ TAPPING SLLEEVE AND VALVE
- ⊙ STORM SEWER MANHOLE (STM. MH-1)
- ⊙ SANITARY SEWER MANHOLE (SAN. MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
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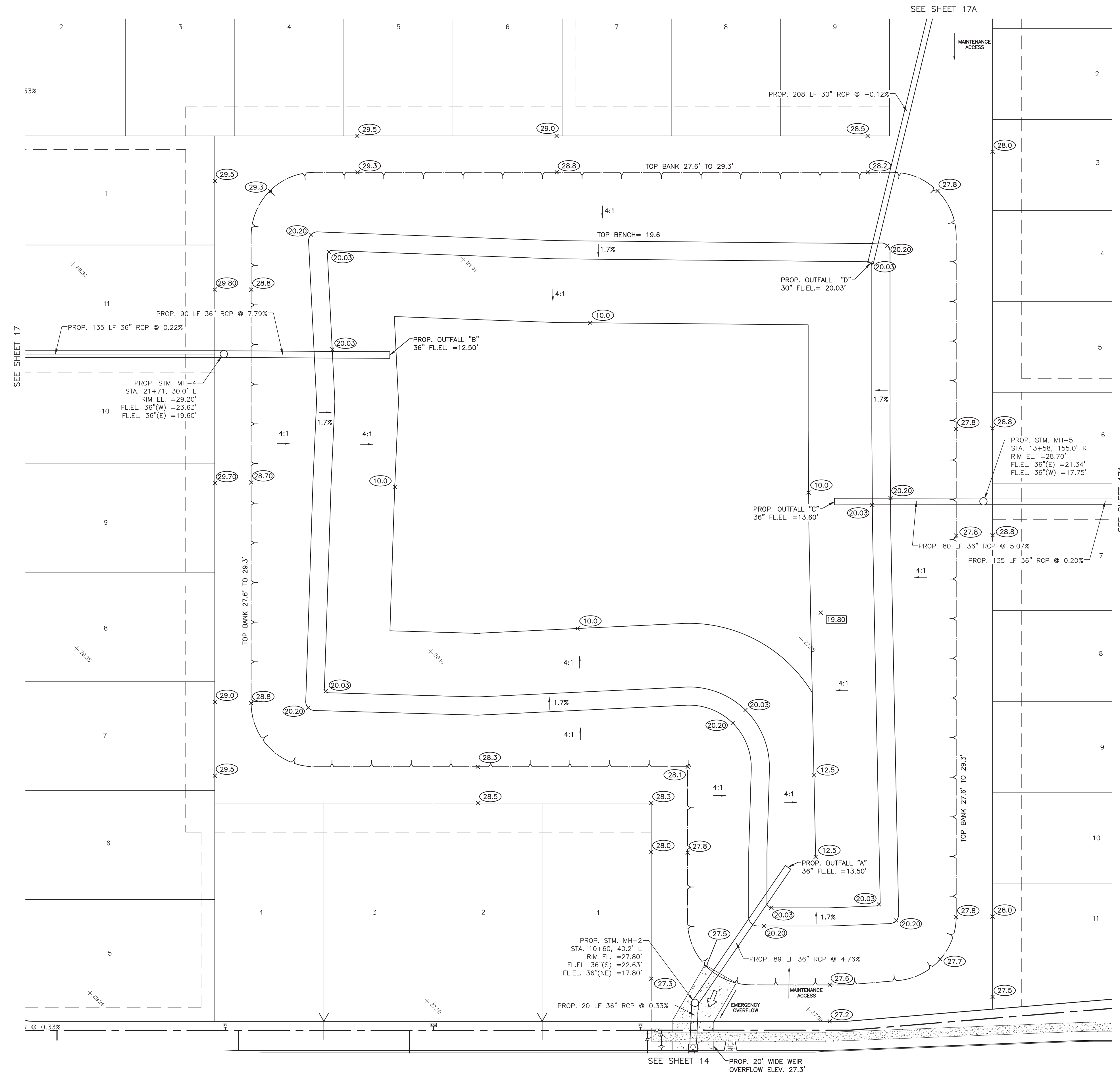
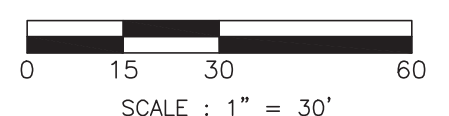
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 NORTH DITCH
 PROJECT NO. 14396



Riverwood Sec. 3 & 4 Detention/Excavation Summary		
Detention Volume Required		17,179 Ac-Ft
Detention Volume Provided		22,680 Ac-Ft
Elev. (f.t.)		Area (s.f.)
28.50 (+/-)	Top bank	142,525
28.00	Nat. Gr.	140,945
27.30	12" Freeboard - 100 Yr WSEL	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
* Static Water = Bottom Bench		
Detention Pond Volume		
Elev. (f.t.)		Area (s.f.)
27.30	12" Freeboard - 100 Yr	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
Area	(137,373 + 117,382)/2	127,377 s.f.
Volume	(127,377*7.1' Depth)	904,377 c.f.
Area	(117,382 + 105,726)/2	111,554 s.f.
Volume	(111,554*0.20' Depth)	22,311 c.f.
Total Volume		926,688 c.f.
		21.27 ac-ft
Excavation Volume		
28.00	Nat. Gr.	140,945
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
Area	(140,945 + 117,382)/2	129,164 s.f.
Volume	(129,164*7.8' Depth)	1,007,479 c.f.
Area	(117,382 + 105,726)/2	111,554 s.f.
Volume	(111,554*0.20' Depth)	22,311 c.f.
Area	(105,726 + 63,440)/2	84,583 s.f.
Volume	(84,583*10.00' Depth)	845,830 c.f.
Total Volume		1,875,286 c.f.
		69,467 c.y.

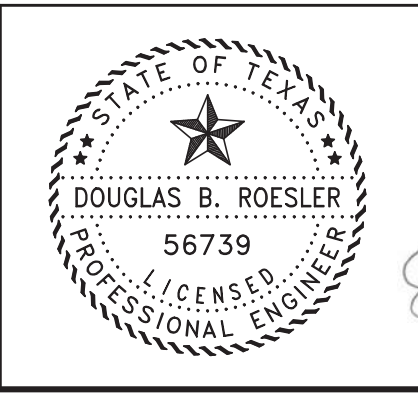
(File: 14396 / Det Vol Calcs 02-25-23)

100 YR WSEL = 27.0 PROVIDES 17.32 AC-FT
ALL SIDE SLOPES AT 4' TO 1' OR FLATTER

NO.	DATE	DESCRIPTION	APPROVED
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 DATE _____

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



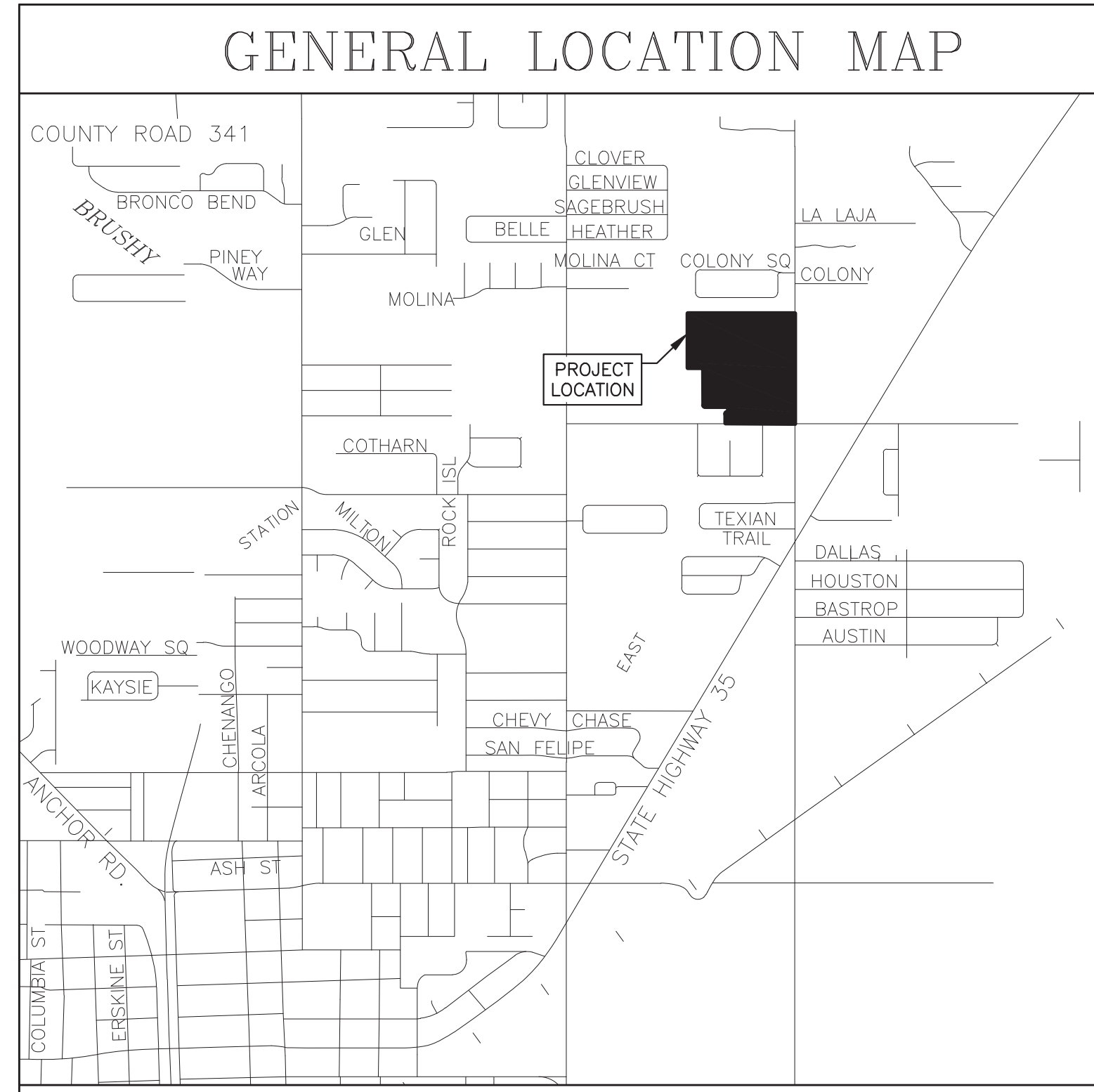
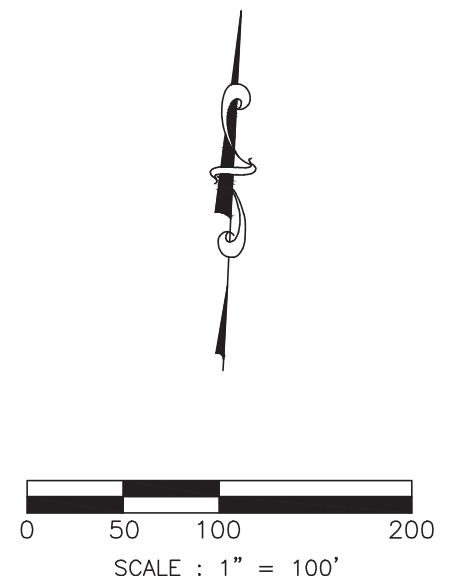
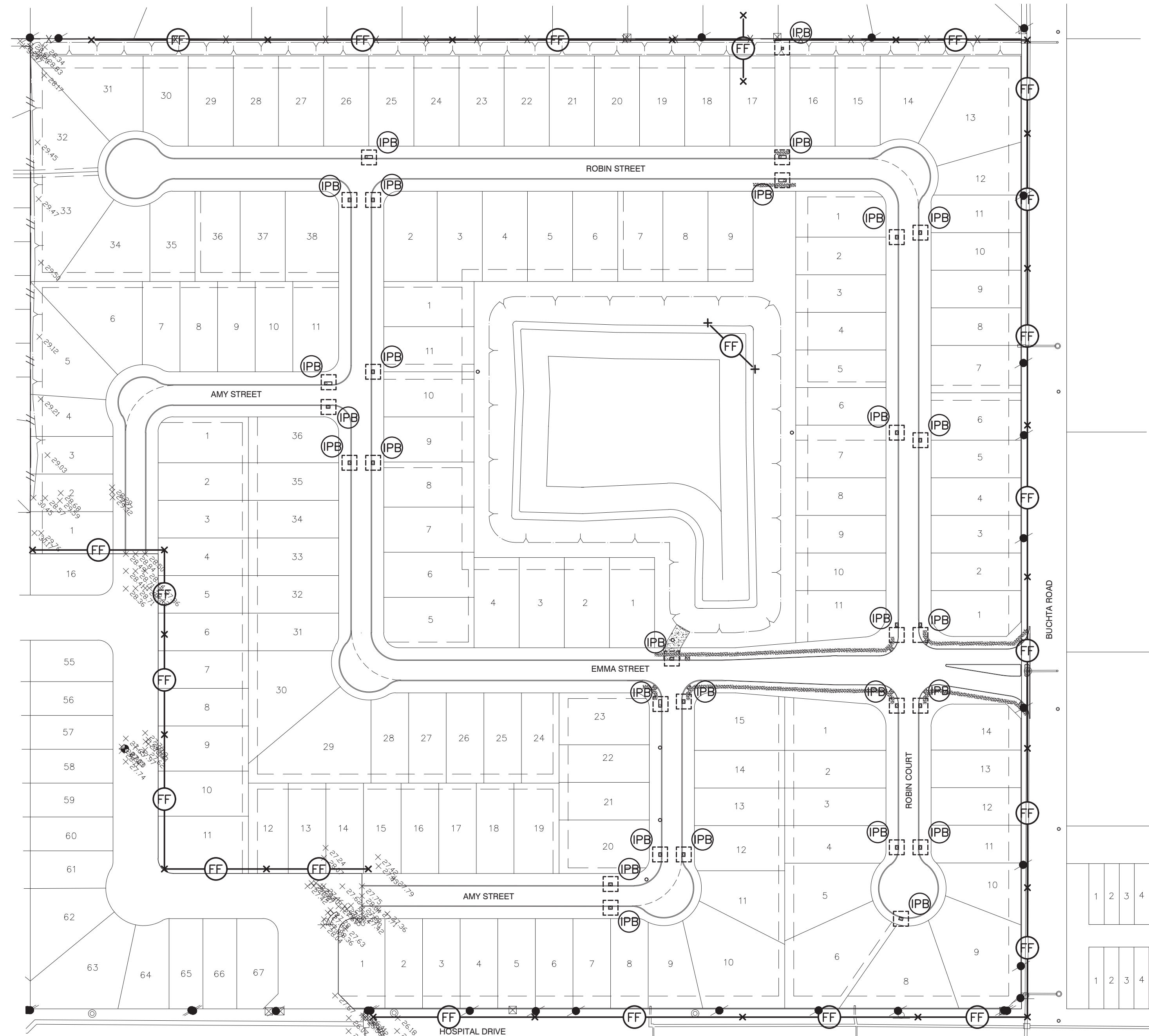
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 30'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DETENTION POND
 PROJECT NO. 14396



PROJECT/SITE INFORMATION

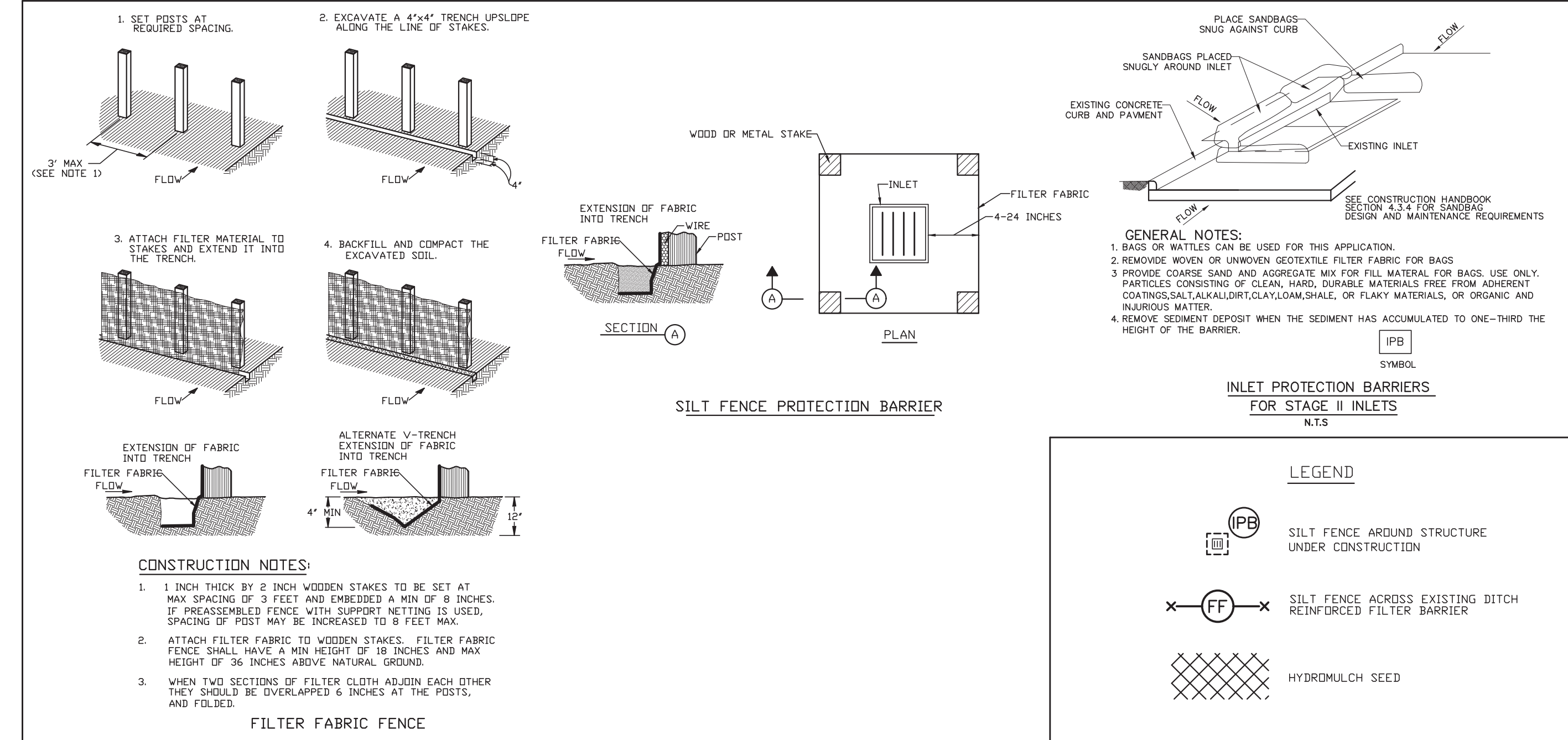
PROJECT NAME: RIVERWOOD RANCH SUBDIVISION, SECTIONS 3 & 4
 PROJECT ADDRESS/LOCATION: NE CORNER OF DOWNING ROAD AND HOSPITAL DRIVE INTERSECTION
 CITY: ANGLETON STATE: TX. ZIP CODE: 77515
 LATITUDE: 29°11'13.1" LONGITUDE: 95°24'45.0" COUNTY: BRAZORIA
 NAME OF RECEIVING WATERS: GULF OF MEXICO

2/01/2023 MONTH/DAY/YEAR ESTIMATED CONSTRUCTION START DATE
 8/01/2023 MONTH/DAY/YEAR ESTIMATED COMPLETION DATE
 ESTIMATE OF AREA TO BE DISTURBED: 36.0 ACRES
 ESTIMATE OF LIKELIHOOD OF DISCHARGE:

- UNLIKELY
- ONCE PER WEEK
- CONTINUAL
- ONCE PER MONTH
- ONCE PER DAY

ARE THERE ANY LISTED ENDANGERED OR THREATENED SPECIES, OR DESIGNATED CRITICAL HABITAT IN THE PROJECT AREA?
 YES NO

ELIGIBILITY WITH REGARD TO PROTECTION OF ENDANGERED SPECIES HAS BEEN SATISFIED THROUGH THE INDICATED SECTION OF PART 1.B.3.e.(2) OF THE PERMIT.
 (a) (b) (c) (d)



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

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OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

SWPPP LAYOUT
 PROJECT NO. 14396

1. SITE DESCRIPTION

- A. NATURE OF THE CONSTRUCTION ACTIVITY:

RIVERWOOD RANCH SUBDIVISION SECTIONS 3&4, ANGLETON, BRAZORIA COUNTY, TEXAS. BEING A 35.620 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 145 LOTS. CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS AND CONCRETE ROADWAYS WITH CURBS WITH EXCESS EXCAVATION WITH MATERIAL SPREAD FOR LOT GRADING.
- B. INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER. THIS MATERIAL WILL BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD ON DEVELOPED LOTS AFTER FINAL GRADING. UTILITY AND STORM SEWER CONSTRUCTION WILL REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE WILL INVOLVE SPREADING EXCAVATED MATERIAL ON ADJACENT LOTS. RAINFALL RUNOFF WILL BE DIRECTED TO THE STREET GUTTERS AND TO THE CONSTRUCTED STORM SEWER SYSTEM. TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE, UTILITY AND STORM SEWER MATERIALS AND OTHER CONSTRUCTION MATERIALS. TRUCKS WILL ALSO BE USED TO HAUL CONSTRUCTION DEBRIS AWAY FROM THE SITE. THESE TRUCKS WILL BE ROUTED ALONG HOSPITAL DR. AND BUTCHA ROADS FOR INGRESS AND EGRESS. RUTTING DURING WET WEATHER WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE ROUTE.
- C. TOTAL PROJECT AREA: 35.620 ACRES
- D. TOTAL AREA TO BE DISTURBED: 36 ACRES

WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.55

- E. REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; AREAS WHICH WILL NOT BE DISTURBED; LOCATIONS OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF-SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARGES TO A SURFACE WATER.
- F. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION:
- G. NAME OF RECEIVING WATERS:

RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO.

AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SITE WHICH WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS OF THE PROJECT.

NONE

- H. REFER TO FEDERAL REGISTER, VOLUME 63, NO.128, MONDAY JULY 6, 1998, PAGES 36497 TO 36515 FOR REQUIREMENTS OF NPDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IN REGION 6.
- I. LISTED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY:

NONE
- J. PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES:

NONE

2. CONTROLS

NARRATIVE – SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

- THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.
1. INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE.
 2. INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.
 3. ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND, UTILITY STORM SEWER CONSTRUCTION, AND DESIGNATED POND EVACUATION.
 4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 18" WIDE SOLID SOD BEHIND ALL CURBS, OR FILTER FABRIC FENCE.

- A. EROSION AND SEDIMENT CONTROLS: EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER:				

- B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION:

CURBS & GUTTERS STORM SEWERS

C. OTHER CONTROLS

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

WASTE MATERIALS: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

HAZARDOUS WASTE (INCLUDING SPILL REPORTING): AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY:

- HAUL ROADS DAMPENED FOR DUST CONTROL LOADED
- HAUL TRUCKS TO BE COVERED WITH TARPULIN
- EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED
- CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION

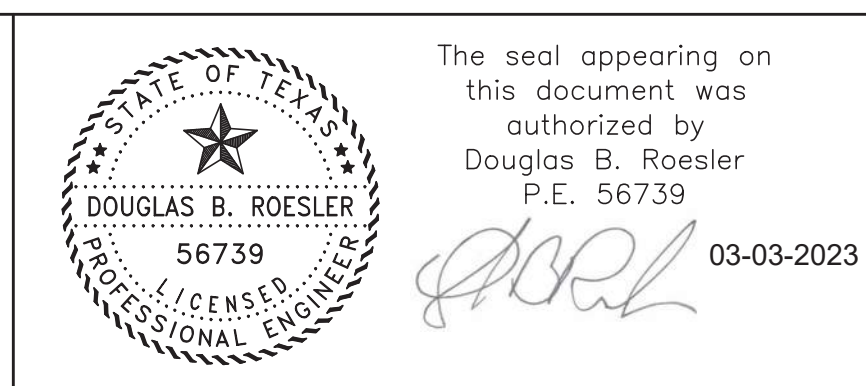
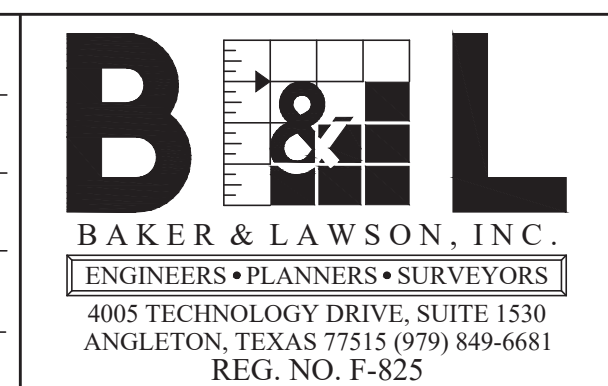
AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

5. NON-STORMWATER DISCHARGES

- FIRE HYDRANT FLUSHING
- BUILDING WASHDOWN WITHOUT DETERGENTS
- PAVEMENT WASHDOWN WITHOUT DETERGENTS
- CONDENSATE
- UNCONTAMINATED GROUNDWATER
- UNCONTAMINATED FOUNDATION DRAINS

NO.	DATE	DESCRIPTION	APPROVED
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OWNER:
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6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" =
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SWPPP NARRATIVE
 PROJECT NO. 14396

1

Hydrological and Hydraulic Impacts
 Riverwood Ranch Subdivision - NE Area
 Job # 13032
 Brazoria County, Texas
 A= 40.016 Acre Development :
 Pre Development:
 C = 0.175
 TC = 90.0 Minutes, I = 3.66
 Q = 100 Year Storm = 32.04 cfs
 Q-allowable is 0.80 cfs / ac. = 32.01 cfs
 Post Development
 C = 0.55
 TC = 31.6 Minutes, I = 6.573
 Q = 100 Year Storm = 180.83 cfs
 Required Detention:
 17.179 acre - feet (748,317 c.f.)

EXISTING CONDITIONS
 Bra. Co. Master Drg. Study allows only 0.80 cfs/acre in this area. These are Bastrop Bayou drainage areas BB 35 and BB 36.
 TC = 15 Minutes gather time plus diagonal length (1,800') overlaid at 0.40 fps = 90.0 Minutes
PROPOSED CONDITIONS
 TC = 15 Minutes gather time + 150' overlaid at 0.50 fps + 1,650 lf. storm sewer at 3 fps = 29.2 Minutes
 C = 0.55 per City of Sugarland
 ACREAGE = 40.016 Ac.
 Section 3 & 4 = 35.6 Ac. (+/-) + 4.38 Ac. from Sec. 2 to compensate for free drain to Hospital Dr.

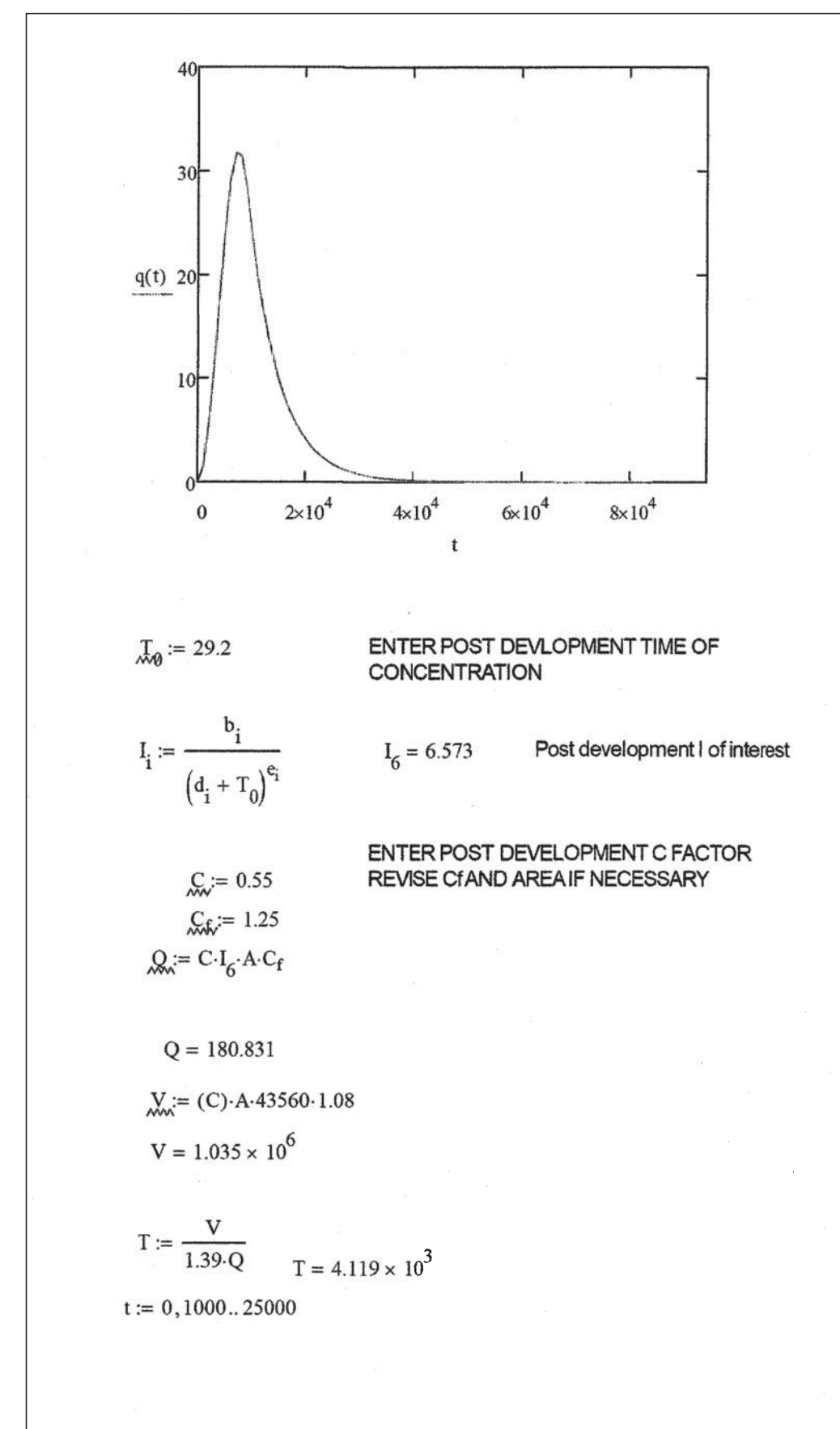
2

Drainage Analysis
 Job # 13032 - Riverwood Ranch Subdivision - NE Area
Rainfall Intensity calculations for Brazoria County
 I = intensity (in/hr)
 b = coefficient
 t = time of concentration
 d = coefficient
 e = coefficient
 subscript i=1 = 2 year storm
 i=2 = 5 year storm
 i=3 = 10 year storm
 i=4 = 25 year storm
 i=5 = 50 year storm
 i=6 = 100 year storm
 i = 1..6
 b_i := d_i := e_i :=

71.0	0.774	8.4
70.1	0.752	7.7
96.6	0.770	17.2
89.2	0.726	10.4
86.5	0.709	10.0
120.2	0.741	21.3

 T₀ = 90.0 ENTER PREDEVELOPMENT TIME OF CONCENTRATION
 I_i := $\frac{b_i}{(d_i + T_0)^e}$ I₆ = 3.66 Predevelopment Intensity of interest
 C_{pre} = .175 ENTER PREDEVELOPMENT C VALUE
 A = 40.016 ENTER AREA

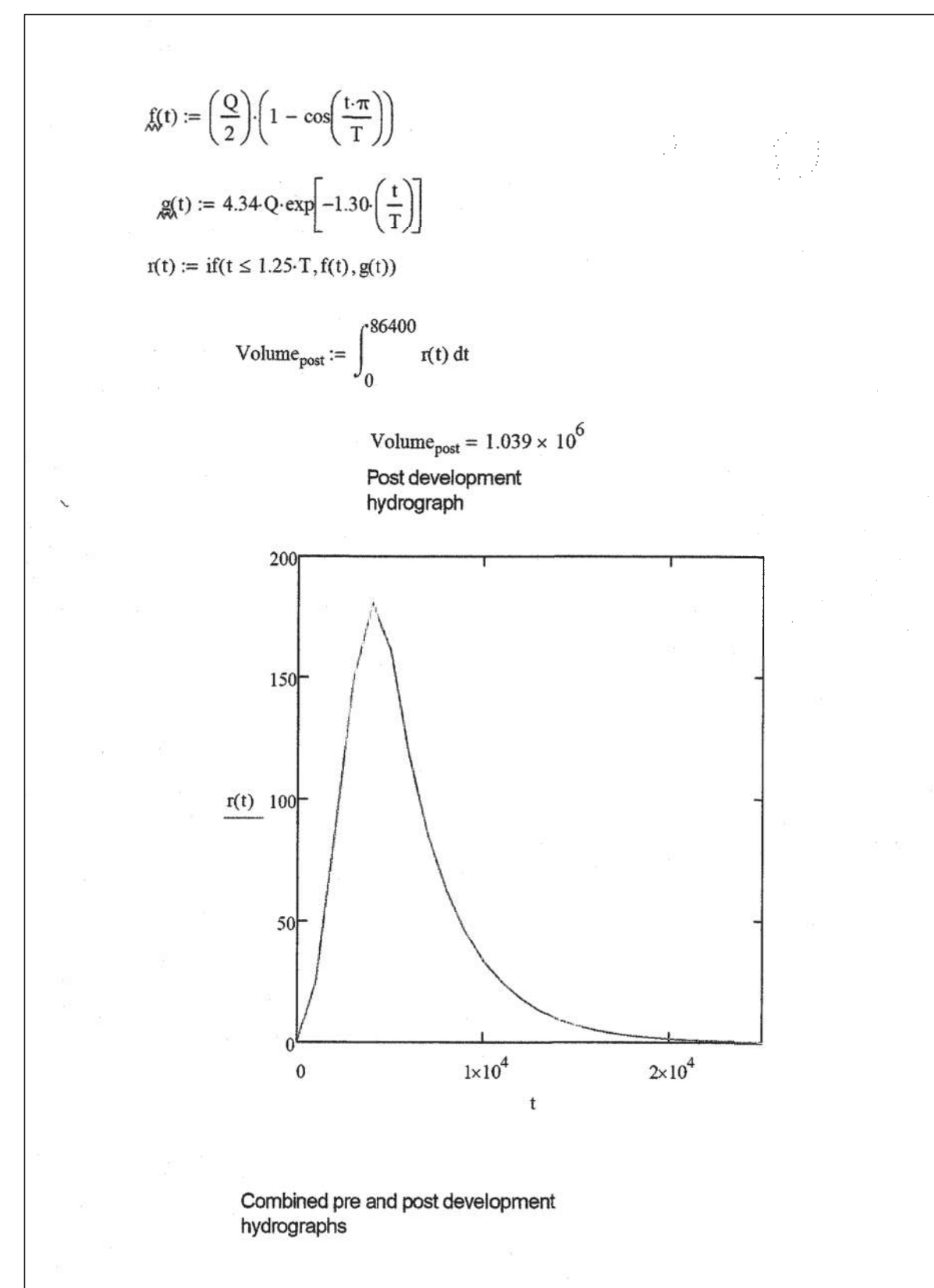
3



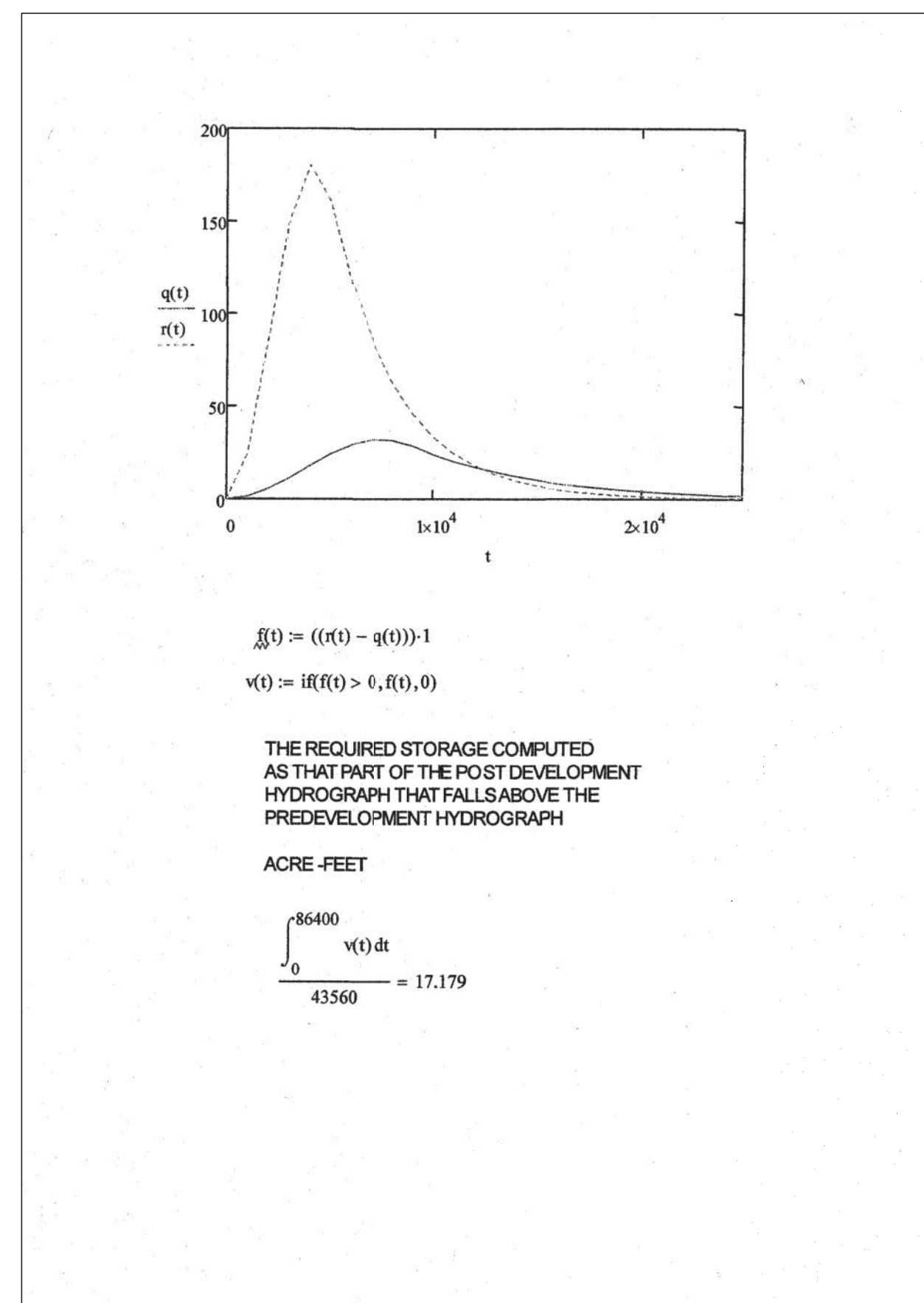
4

C_r = 1.25
 Q := C * C_r * I₆ * A
 Q = 32.036
 V_{max} = (C) * A * 43560 * 1.08
 V = 3.294 x 10⁵
 For these calculations, total volume storage is assumed to equal (C)*A with A converted to square feet multiplied by 13' (1.08)
DEVELOPMENT OF RUNOFF HYDROGRAPH
 MALCOM'S METHOD AS DESCRIBED IN THE BRAZORIA COUNTY DRAINAGE CRITERIA MANUAL
 T := $\frac{V}{1.39 \cdot Q}$ T = 7.398 x 10³
 T = Time to peak, presented as a function of volume and peak flow and therefore indirectly related to time of concentration
 t := 0, 1000, 84000
 f(t) := $\left(\frac{Q}{2}\right) \left(1 - \cos\left(\frac{t \cdot \pi}{T}\right)\right)$ f(t) describes rising limb of hydrograph
 g(t) := 4.34 * Q * exp $\left[-1.30 \left(\frac{t}{T}\right)\right]$ g(t) describes descending limb of hydrograph
 q(t) := if(t < 1.25 * T, f(t), g(t))
 Volume_{pre} := $\int_0^{86400} q(t) dt$
 Volume_{pre} = 3.306 x 10⁵
 Predevelopment hydrograph

5



6



14396 - RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 IN ANGLETON, TEXAS
 RESTRICTIVE OUTLET WITH MAX. FLOW RATE OF 32.01 CFS AND 1.0' HEAD

A	B	C	D	E	F	G	H	I	J	K	L	M	N
1													
2	H"	Q"	ENTR.	n	L	D		EQ.	EQ.	EQ.	EQ.	EQ.	EQ.
3			LOSS					2.5204(1+D4)	466.18*E4^2*F4	B4/(C4/10)^2	I4/G4^4	J4/G4^5.333	L4-(L4+M4)
4	1	24.6	0.5	0.013	116	2.5		3.7806	9.1390	0.1658	0.0968	0.0690	0.0000
5	1	37.1	0.5	0.013	116	3		3.7806	9.1390	0.0728	0.0467	0.0261	0.0000

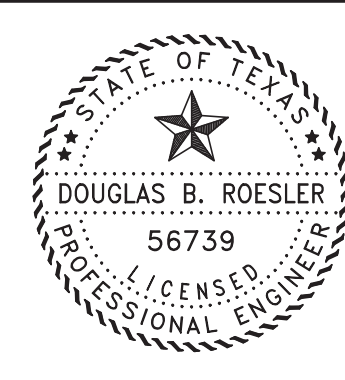
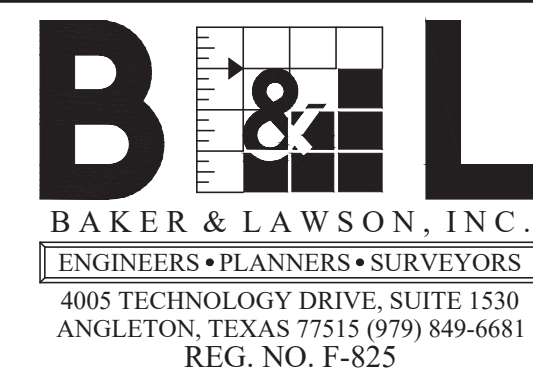
USE 30" RESTRICTIVE OUTLET

ORIFICE EQUATION
 $Q = Cd * A * (2 * G * H)^{0.5}$
 Where:
 Cd = 0.8
 G = 32.2
 H = 1
 Q = 32.01

A = 4.99 30" Dia. 4.91 S.F.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN:
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

HYDROLOGICAL CALCULATIONS

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:09:56 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area A 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID (acre), C Value (min), Area (min), Tc (in/hr), Tc Used (in/hr), Intensity (cfs), Supply Q (cfs), Total Q (cfs). Rows A-1 to A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 to A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows A-1 to A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Node Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 to A-7 and MH-2.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 9.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 9.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID (acre), C Value (min), Area (min), Tc (in/hr), Tc Used (in/hr), Intensity (cfs), Supply Q (cfs), Total Q (cfs). Rows A-1 to A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 to A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows A-1 to A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Node Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 to A-7 and MH-2.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 9.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 9.

NORMAL TERMINATION OF WINSTORM.

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:12:54 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area B 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID (acre), C Value (min), Area (min), Tc (in/hr), Tc Used (in/hr), Intensity (cfs), Supply Q (cfs), Total Q (cfs). Rows B-1 to B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 to B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows B-1 to B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Node Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 to B-8 and MH-4.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 10.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 10.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID (acre), C Value (min), Area (min), Tc (in/hr), Tc Used (in/hr), Intensity (cfs), Supply Q (cfs), Total Q (cfs). Rows B-1 to B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 to B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows B-1 to B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Node Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 to B-8 and MH-4.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 10.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 10.

NORMAL TERMINATION OF WINSTORM.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes a REVISIONS section.

DESIGNED DR DRAWN BT CHECKED DATE

Professional Engineer seal for Douglas B. Roessler, P.E. 56739, State of Texas. Includes logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A HOUSTON, TEXAS 77057

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515 WINDSTORM DATA RUN A & B PROJECT NO. 14396

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/1/2023 4:19:37 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : Area C 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width.

Cumulative Junction Discharge Computations.

Table with columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span, Rise, Length, Slope, n_value.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width.

Cumulative Junction Discharge Computations.

Table with columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span, Rise, Length, Slope, n_value.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss.

NORMAL TERMINATION OF WINSTORM.

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/25/2023 9:31:31 AM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : D.A. D 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span, Rise, Length, Slope, n_value.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span, Rise, Length, Slope, n_value.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span, Rise, Length, Slope, n_value.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span, Rise, Length, Slope, n_value.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss.

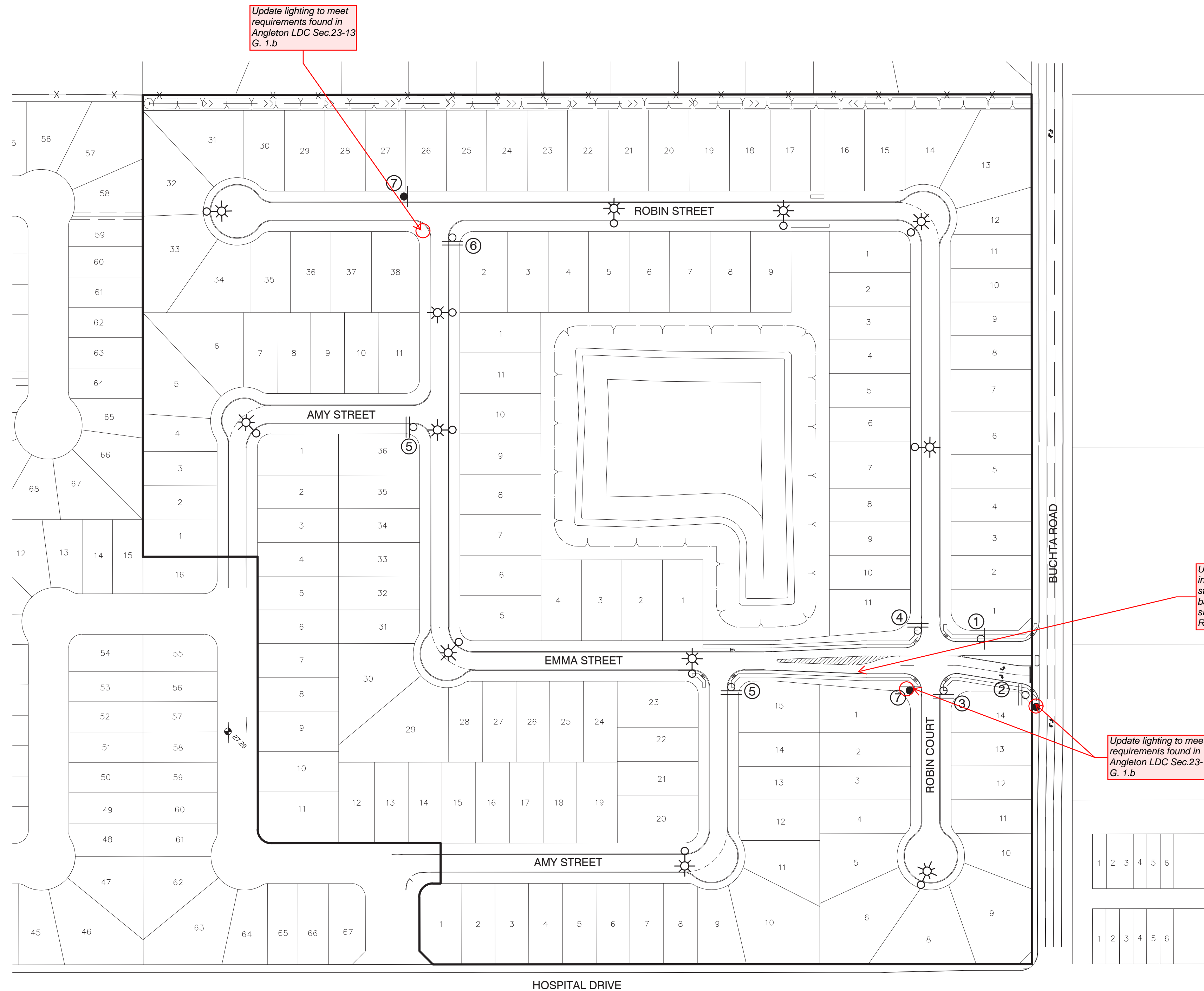
NORMAL TERMINATION OF WINSTORM.

Table with columns: NO., DATE, DESCRIPTION, APPROVED, REVISIONS.

Professional Engineer seal for Douglas B. Roessler, License No. 56739, State of Texas. Includes company logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515



Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b

Update plansheet to include all proposed striping including stop bar locations and striping on Buchta Road

Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b

STREET SIGNS

- ① 30 MPH SPEED LIMIT
- ② STOP - FACING EMMA STREET BUCHTA STREET / EMMA LOOP
- ③ STOP - FACING ROBIN COURT ROBIN COURT / EMMA STREET
- ④ STOP - FACING ROBIN STREET ROBIN STREET / EMMA STREET
- ⑤ STOP - FACING AMY STREET AMY STREET/EMMA STREET
- ⑥ STOP - FACING EMMA STREET EMMA STREET / ROBIN STREET
- ⑦ NO OUTLET (2 LOCATION)

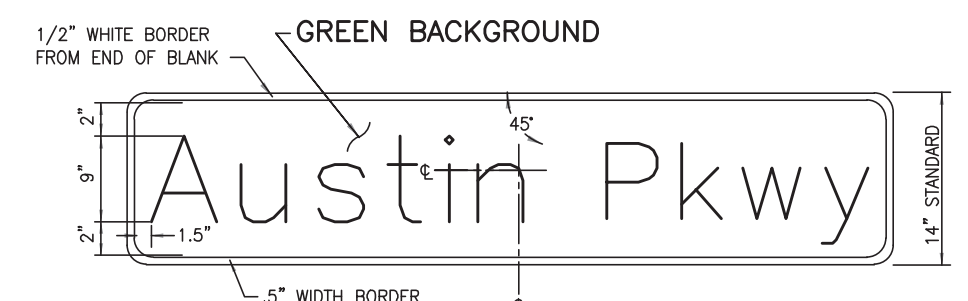
STREET AREA LIGHTING (13 LOCATIONS)

- ☉ STREET SIGNS (6 LOCATIONS)
- ☉ STREET SIGNS (1 LOCATION) 30 MPH
- NO OUTLET (2 LOCATIONS)

LIGHTING PLAN PROVIDED IS SHOWN AS RECOMMENDED. FINAL LOCATIONS AND QUANTITIES ARE DETERMINED BY TEXAS NEW MEXICO POWER (TNMP).

- GENERAL CONSTRUCTION NOTES:**
1. SECURELY ATTACH STREET NAME SIGN TO TRAFFIC SIGNAL SUPPORT WIRES WITH MULTI-LEVELING, WIND DAMPING BRACKETS.
 2. SUPPORT WIRES SHOULD NOT BE PROHIBITED FROM INDEPENDENT MOVEMENT.
 3. INSTALL ONE STREET NAME SIGN APPROXIMATE 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL SPAN.
 4. THE FIRST LETTER OF EACH WORD SHALL BE UPPER CASE, SUBSEQUENT LETTERS SHALL BE LOWER CASE, ALL INDIVIDUAL LETTERS FOR EXAMPLE "T.M." SHALL BE UPPER CASE, STREET SUFFIXES & "NO OUTLET" SHALL BE UPPER CASE.
 5. ALL SIGNETING SHALL BE "TANDARD GRADE" OR APPROVED EQUAL.
 6. USE ANODIZED ALUMINUM ONLY.
 7. STREET SIGN FONTS SHALL BE HELVETICA BOLD, MEDIUM STYLE.
 8. MINIMUM SIGN THICKNESS: 1/8" SIGNS = .002", 14" SIGNS = .1875"
 9. ATTACH SIGNAGE TO 2" SIGN POST WITH 1/2" BLADE MOUNT BRACKET.

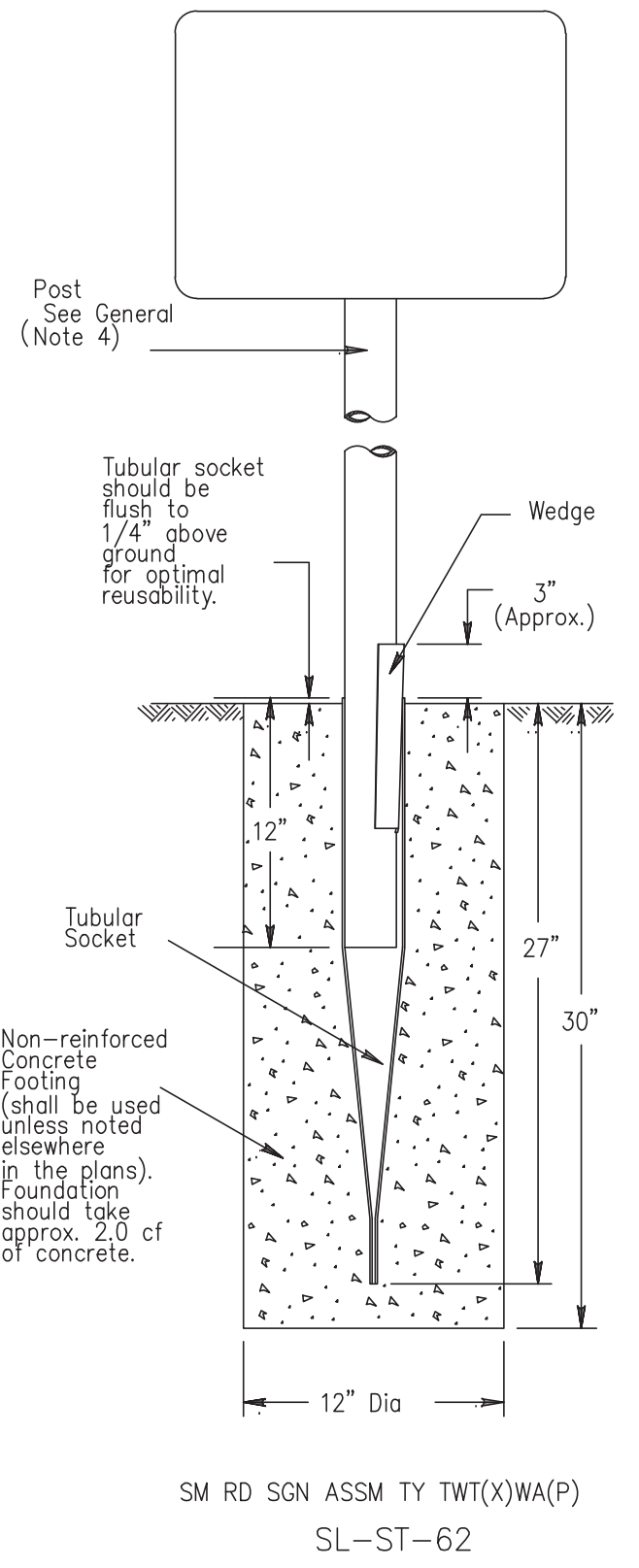
SL-ST-68



DETAIL OF SIGN FOR MAST ARM TRAFFIC SIGNAL POLES

- NOTES:**
1. HELVETICA BOLD, MEDIUM STYLE, WITH 9" UPPER CASE LETTERS AND 6" LOWER CASE LETTERS.
 2. REFER TO C.O.S.L. DESIGN STANDARDS FOR MORE INFO.
- SL-ST-67

Wedge Anchor System



SM RD SGN ASSM TY TWT(X)WA(P)
SL-ST-62

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

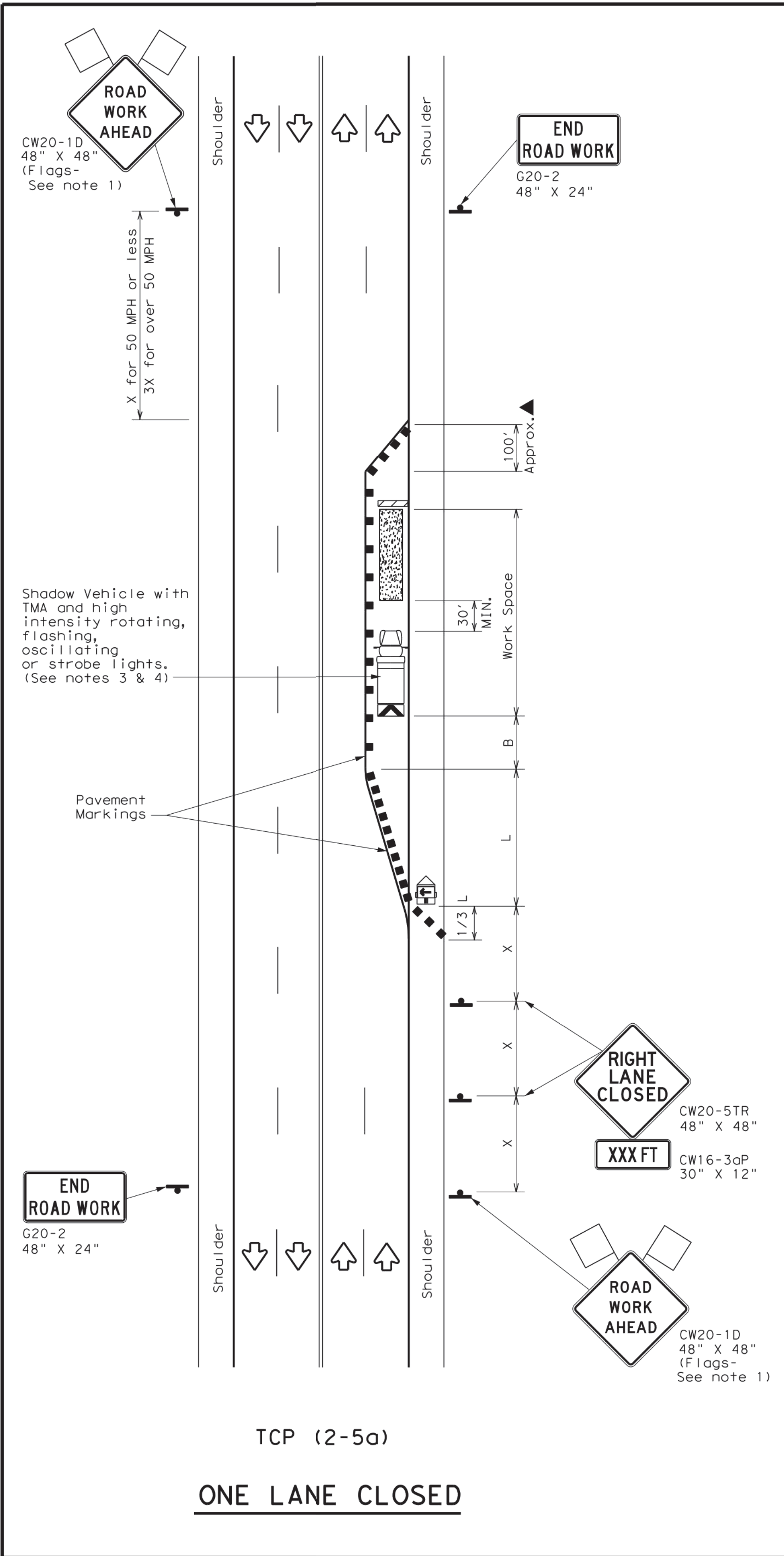
PLAN: 1" = 100'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

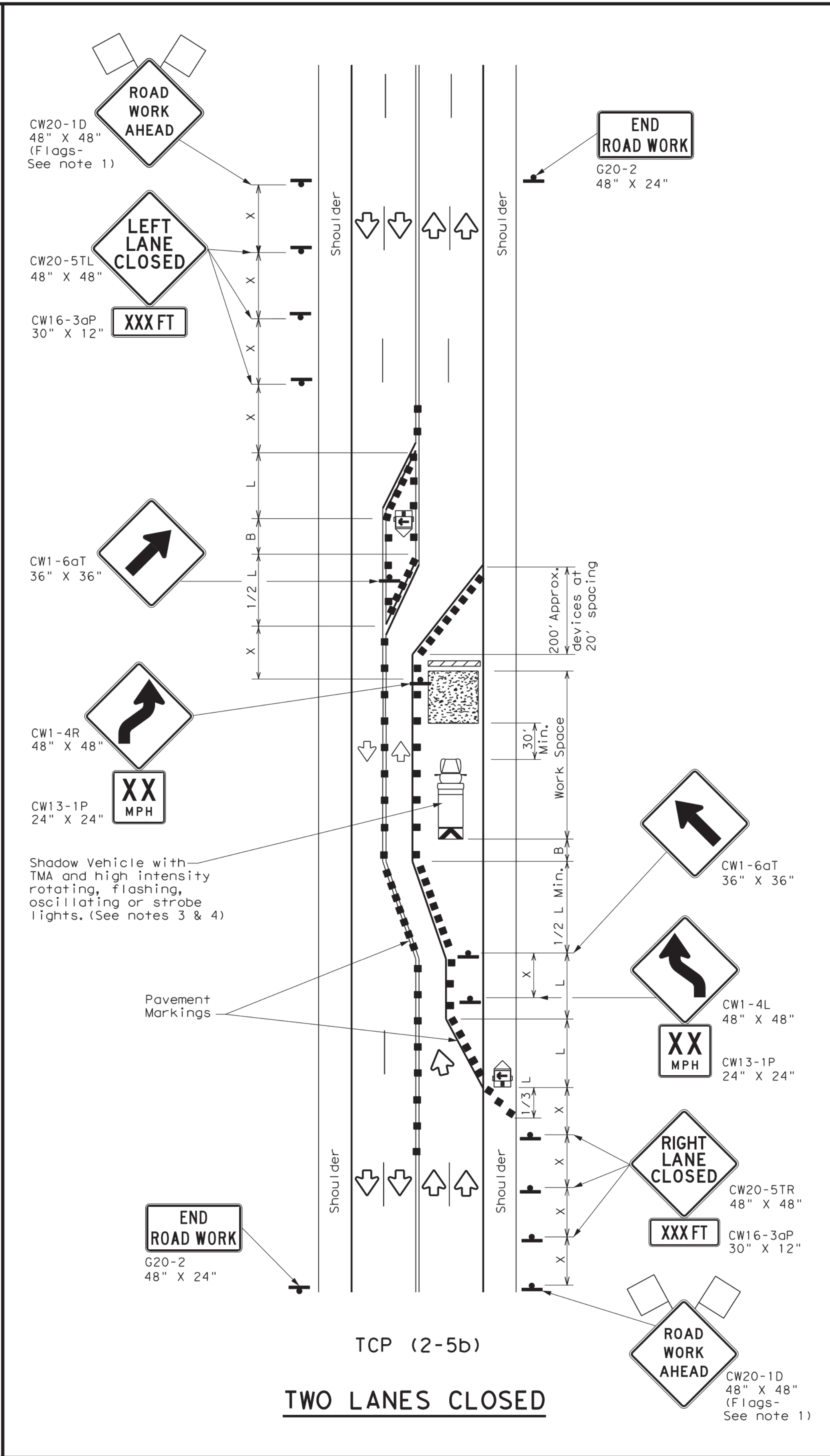
PAVING MARKING,
STREET SIGN AND
ROADWAY LIGHTING LAYOUT
PROJECT NO. 14396

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

DATE: FILE:



TCP (2-5a)
ONE LANE CLOSED



TCP (2-5b)
TWO LANES CLOSED

LEGEND

	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "X" Distance	Suggested Longitudinal Buffer Space "B"
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent		
30	L = WS ² / 60	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* Conventional Roads Only
 ** Taper lengths have been rounded off.
 L=Length of Taper (FT) W=Width of Offset (FT) S=Posted Speed (MPH)

TYPICAL USAGE

MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY

- GENERAL NOTES**
- Flags attached to signs where shown, are REQUIRED.
 - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
 - A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Additional Shadow Vehicles with TMAs may be positioned in each closed lane, on the shoulder or off the paved surface, next to those shown in order to protect a wider work space.
 - The downstream taper is optional. When used, it should be 100 feet approximately per lane, with channelizing devices spaced at 20 feet.
- TCP (2-5a)**
- If this TCP is used for a left lane closure, CW20-5TL "LEFT LANE CLOSED" signs shall be used and channelizing devices shall be placed on the centerline to protect the work space from opposing traffic, with the arrow board placed in the closed lane near the end of the merging taper.
- TCP (2-5b)**
- Conflicting pavement markings shall be removed for long-term projects.

Texas Department of Transportation
 Traffic Operations Division Standard

**TRAFFIC CONTROL PLAN
 LONG TERM LANE CLOSURES
 MULTILANE CONVENTIONAL RDS.**

TCP (2-5) - 18

FILE: tcp2-5-18.dgn	DN: December 1985	CK: CONT	DR: SECT	CK: JOB	CK: HIGHWAY
REVISIONS					
8-95 2-12					
1-97 3-03					
4-98 2-18					
165					

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 56739
 LICENSED PROFESSIONAL ENGINEER

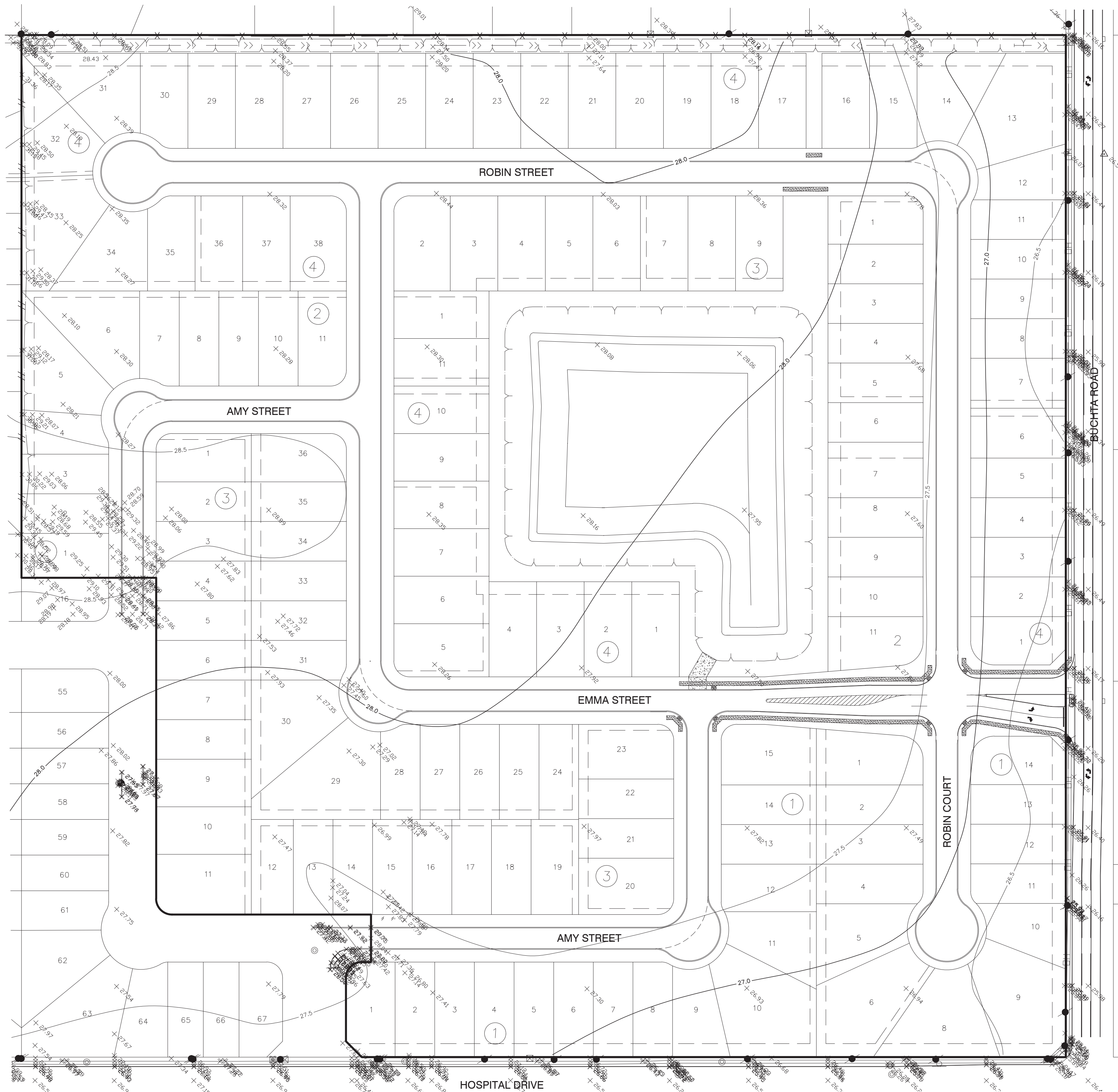
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

TRAFFIC CONTROL PLAN
 TCP (1-1)-18
 PROJECT NO. 14396



TREE LEGEND

- HERITAGE TREE (PECAN & LIVE OAK)
- SIGNIFICANT TREE (OAK & ELM)
- PROP CREPE MYRTLE
- PROP OAK TREE

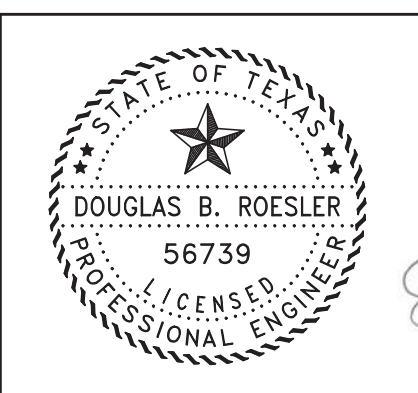
SITE TREE SUMMARY

TOTAL NUMBER OF HERITAGE TREES = 0
 TOTAL CALIPER OF HERITAGE TREES = 0 IN
 HERITAGE TREES TO BE REMOVED* = 0
 CALIPER OF REMOVED HERITAGE TREES = 0 IN
 HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 0
 CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 0 IN
 REQUIRED REPLACEMENT CALIPER = N/A
 REQUIRED REPLACEMENT TREES (3"-CALIPER OAK TREES) = 0 TREES
 PER SECTION 23-60.H.7 OF THE ANGLETON LDC, THE HOMEOWNER WILL PROVIDE TWO TREES PER LOT IN ADDITION TO THE REQUIRED REPLACEMENT CALIPER.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



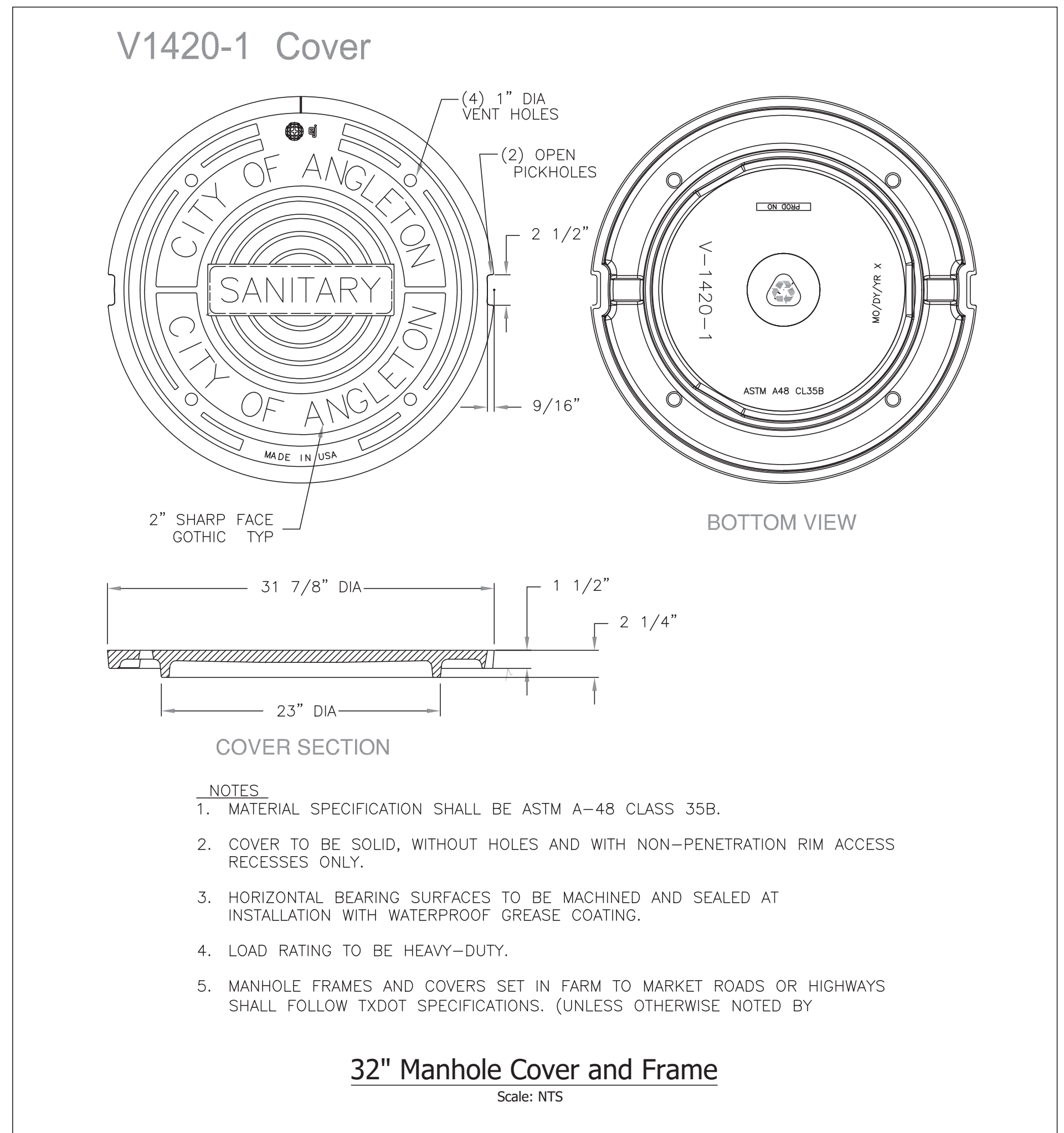
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

HERITAGE TREE
 PRESERVATION PLAN
 PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

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 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

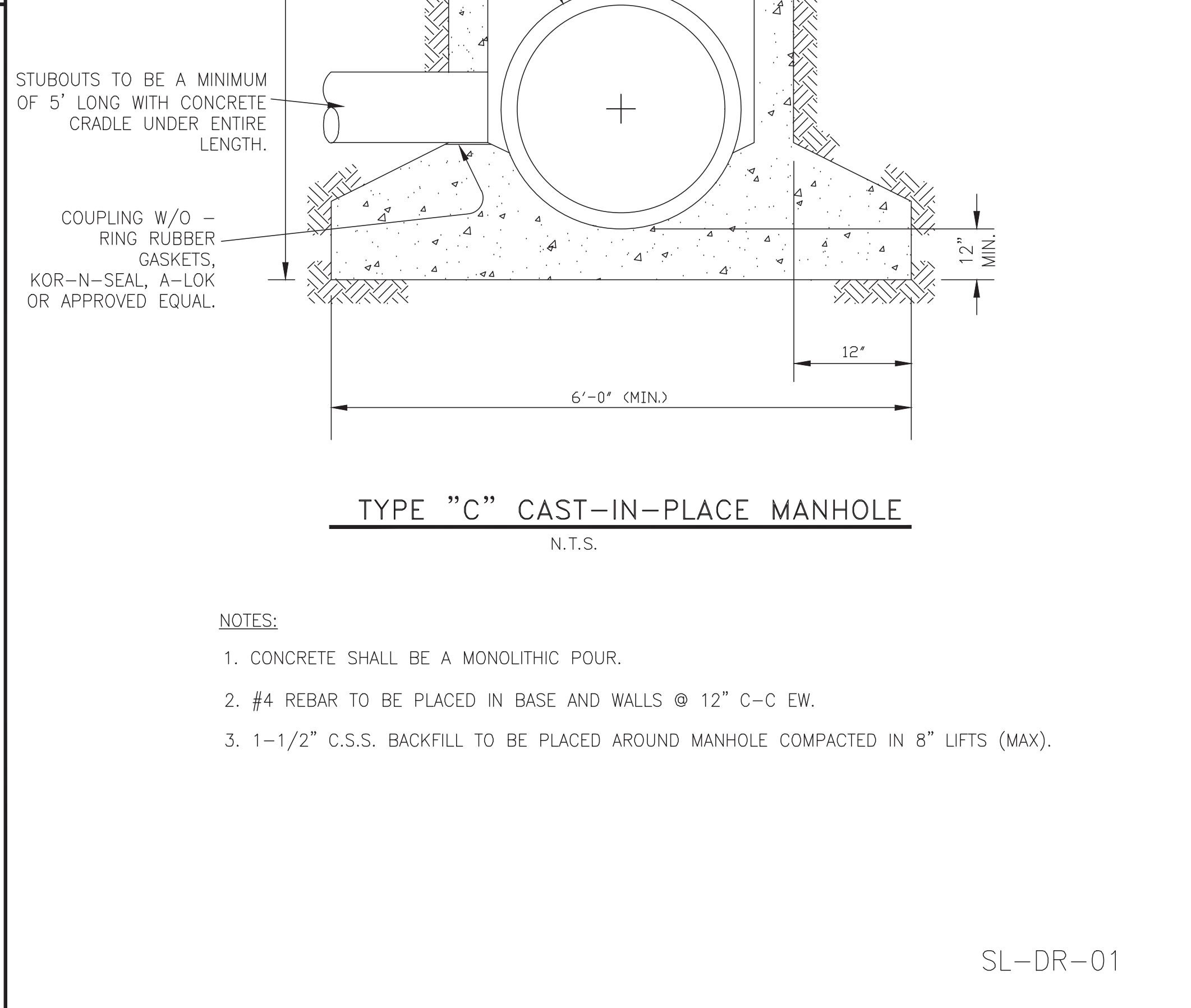
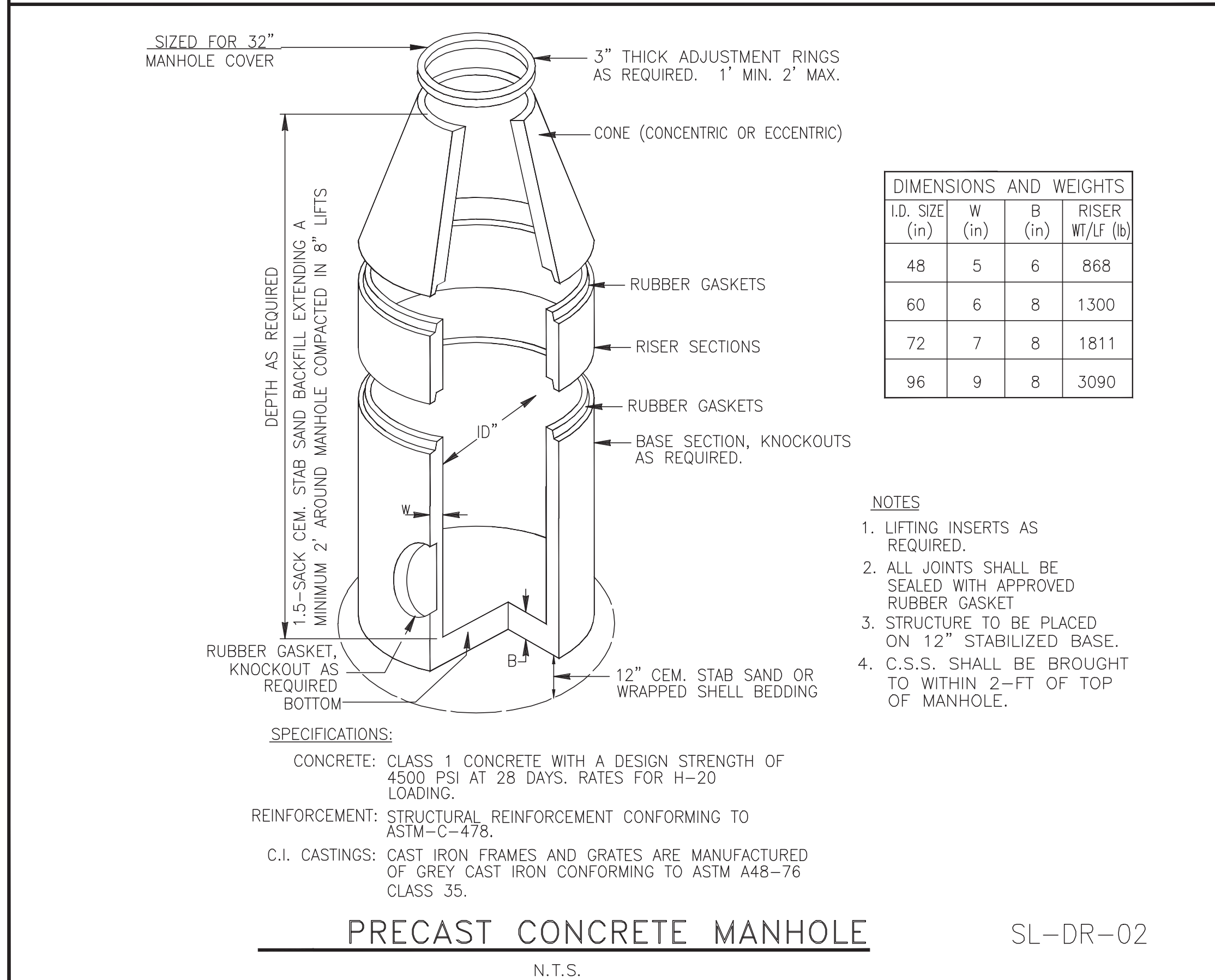
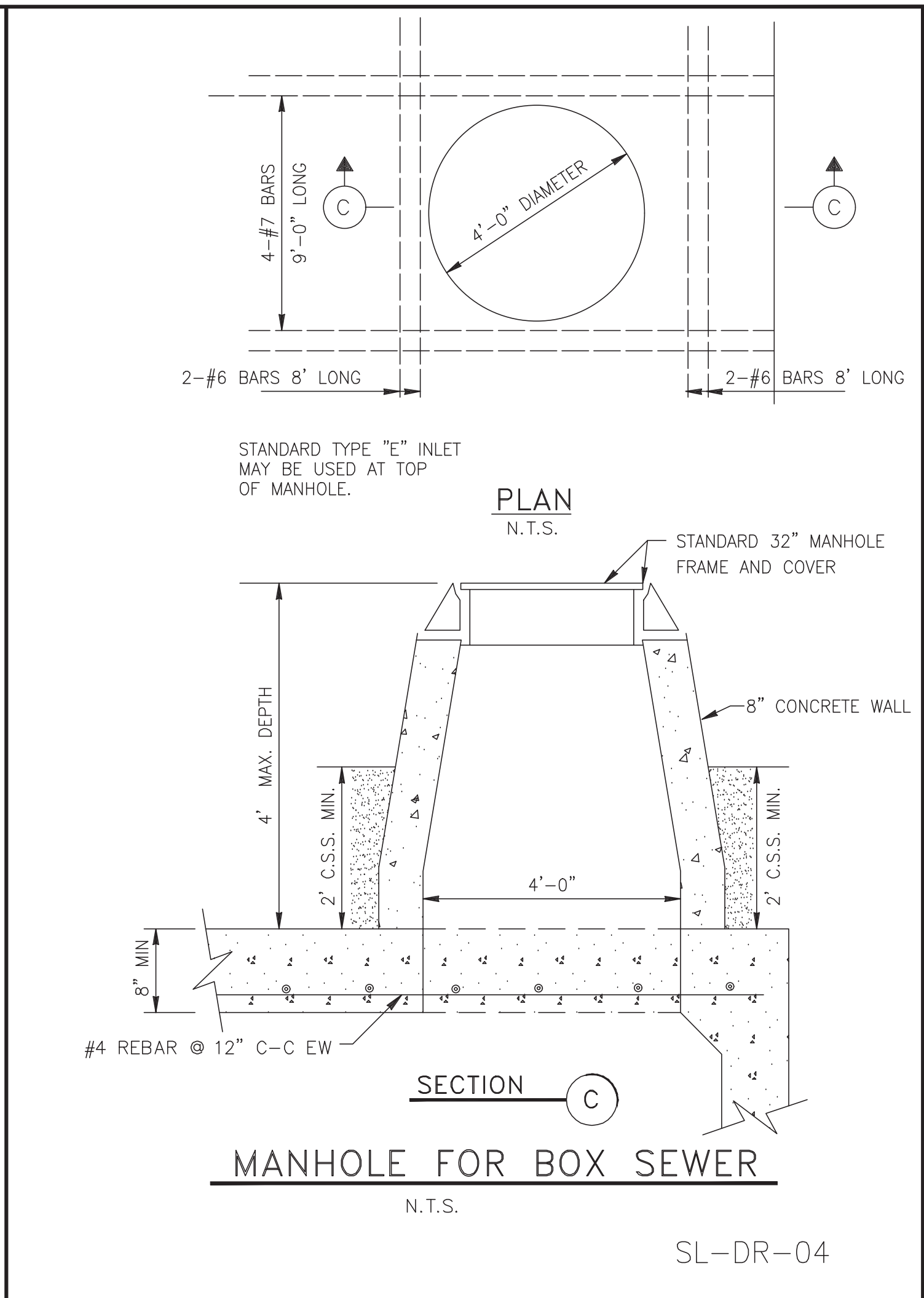
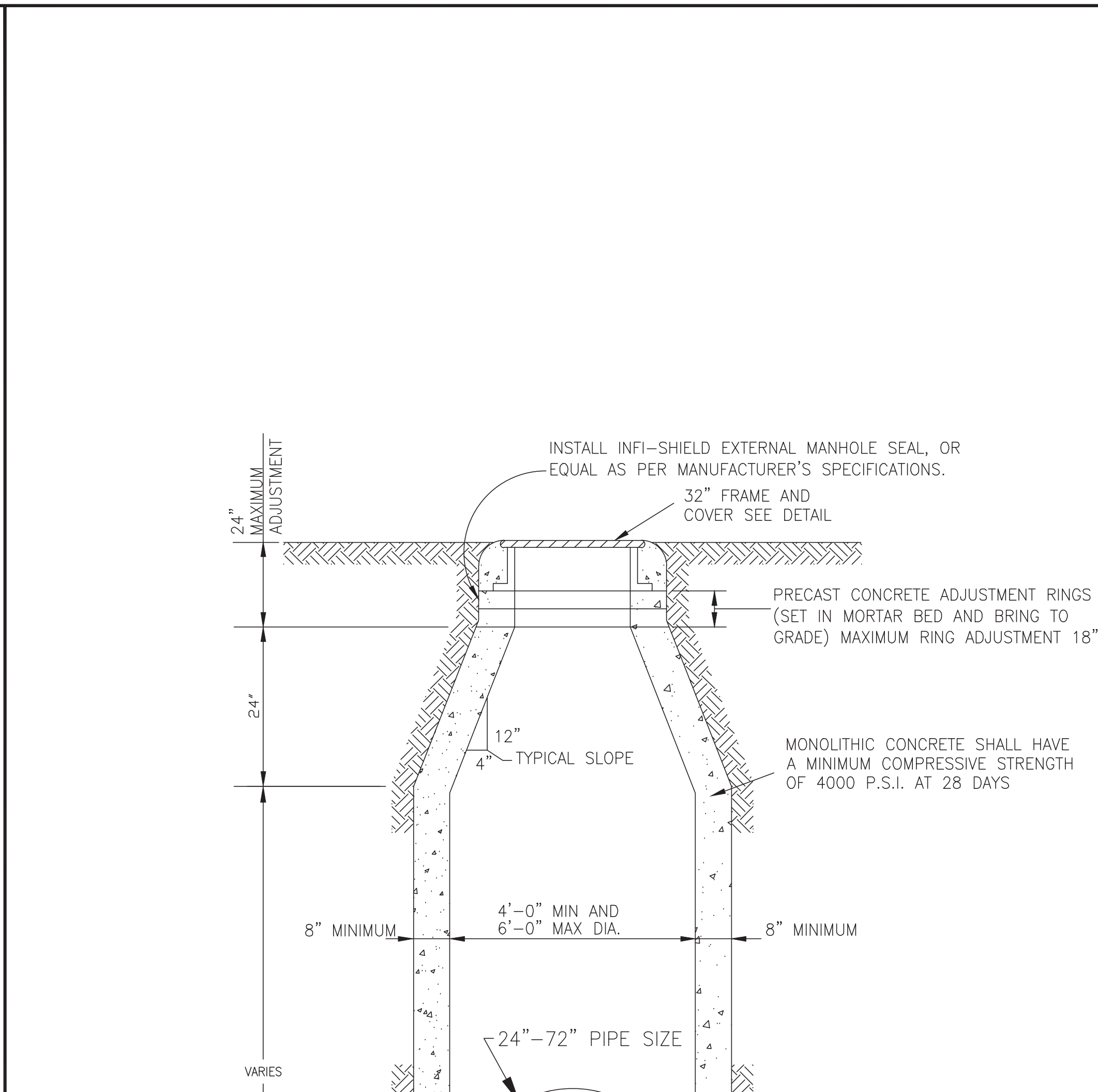
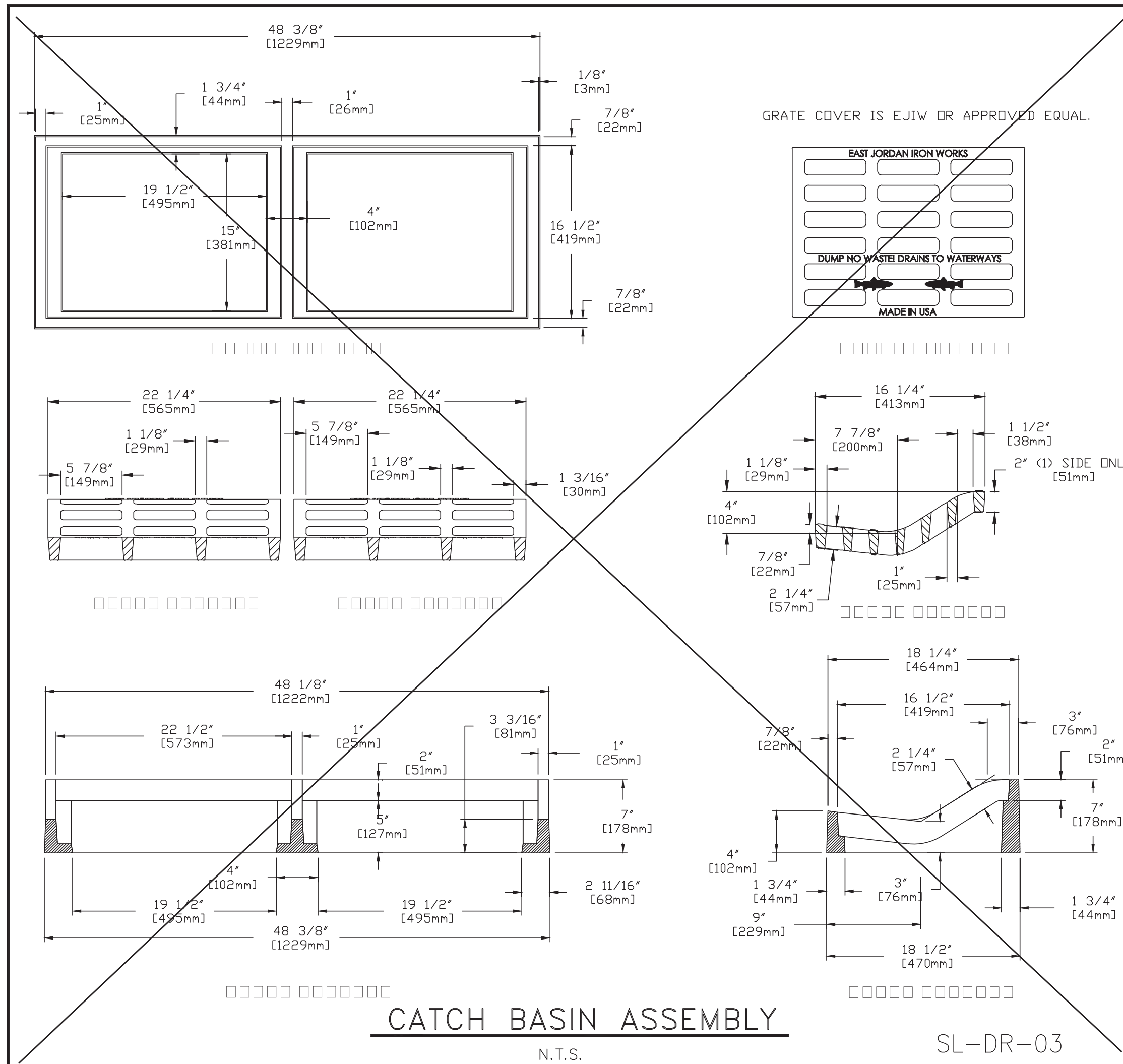
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

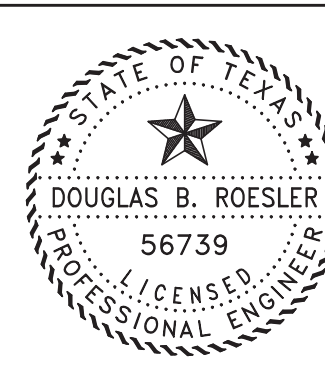
MISCELLANEOUS DETAILS
 PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825



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03-03-2023

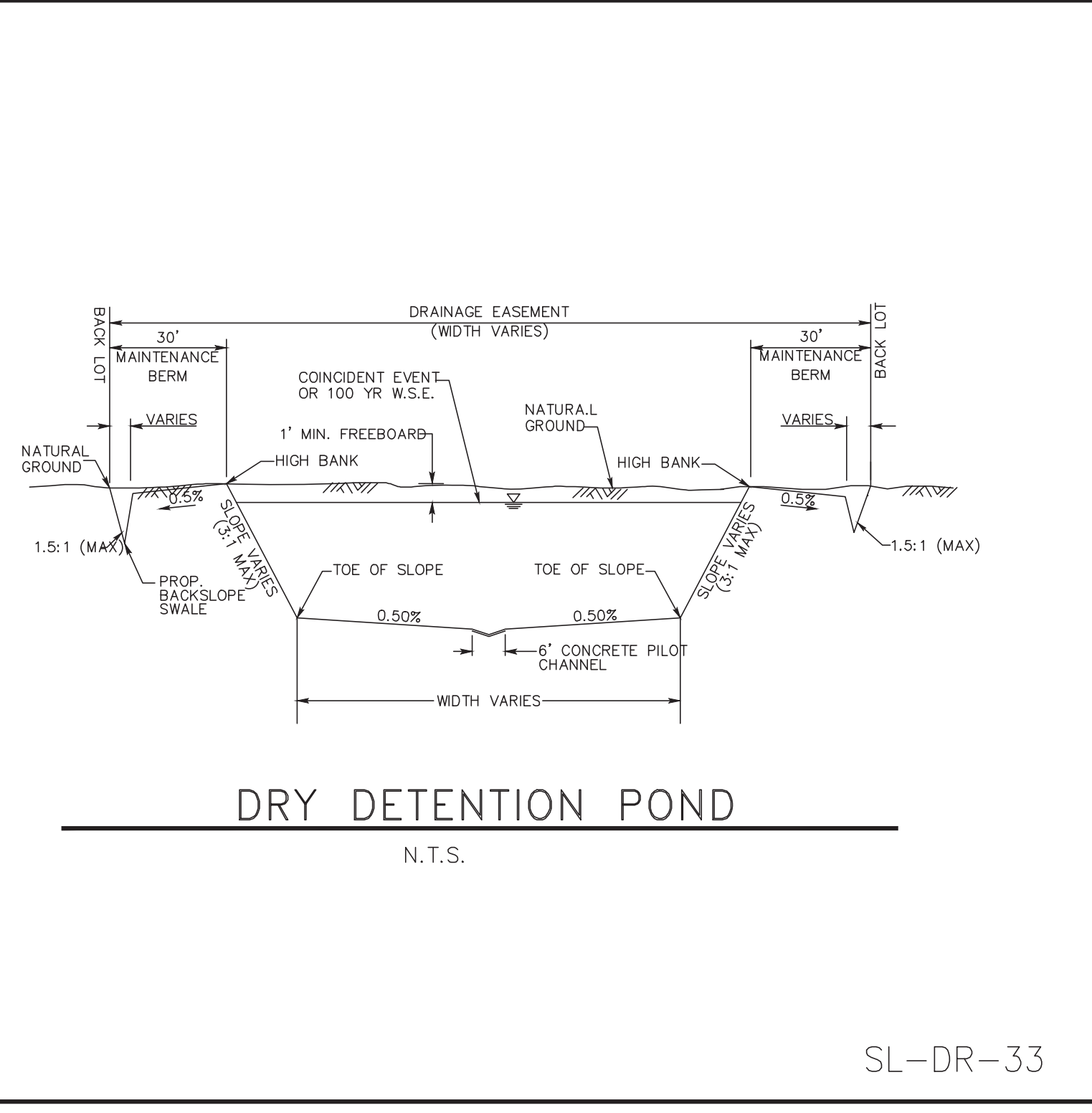
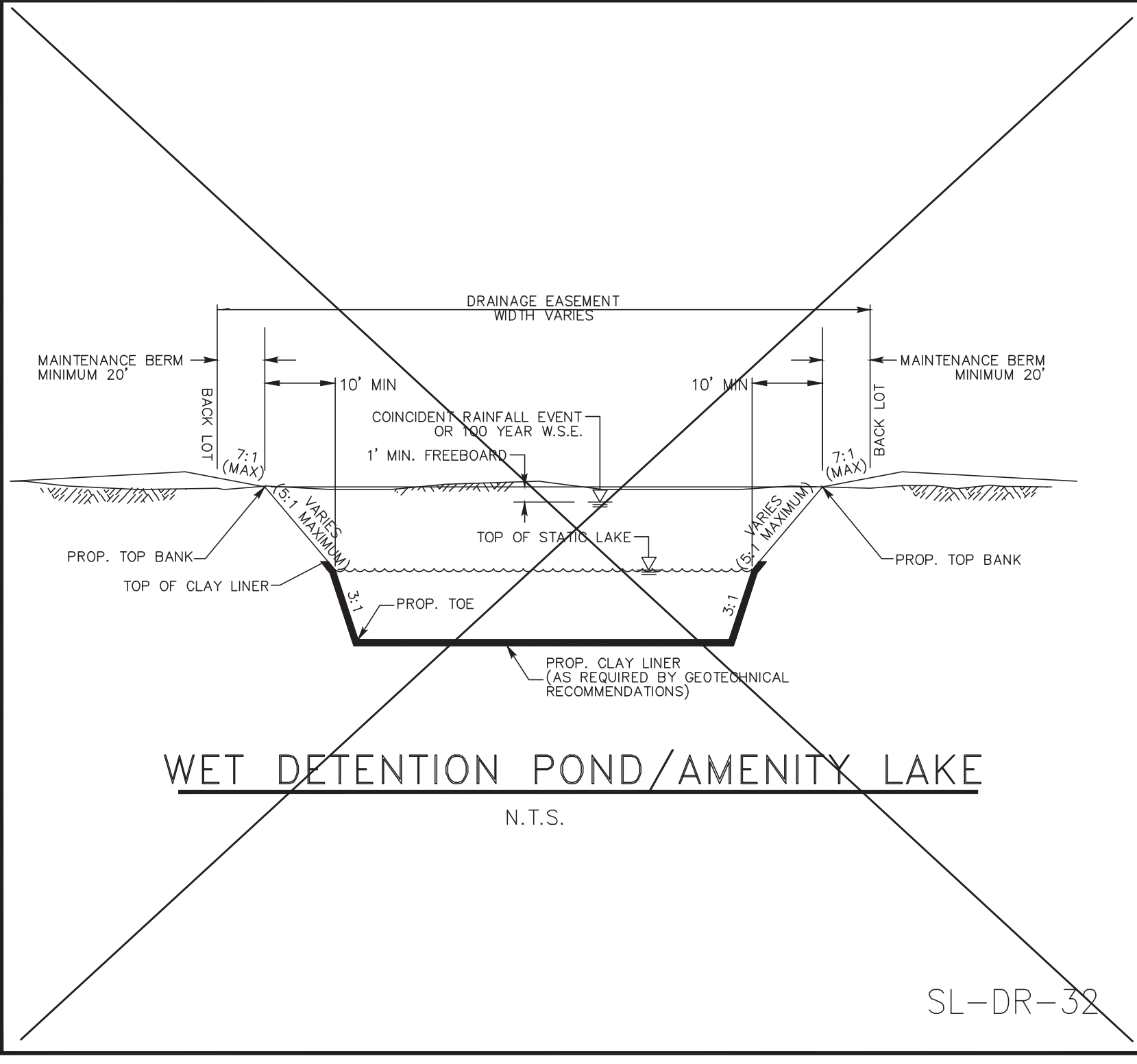
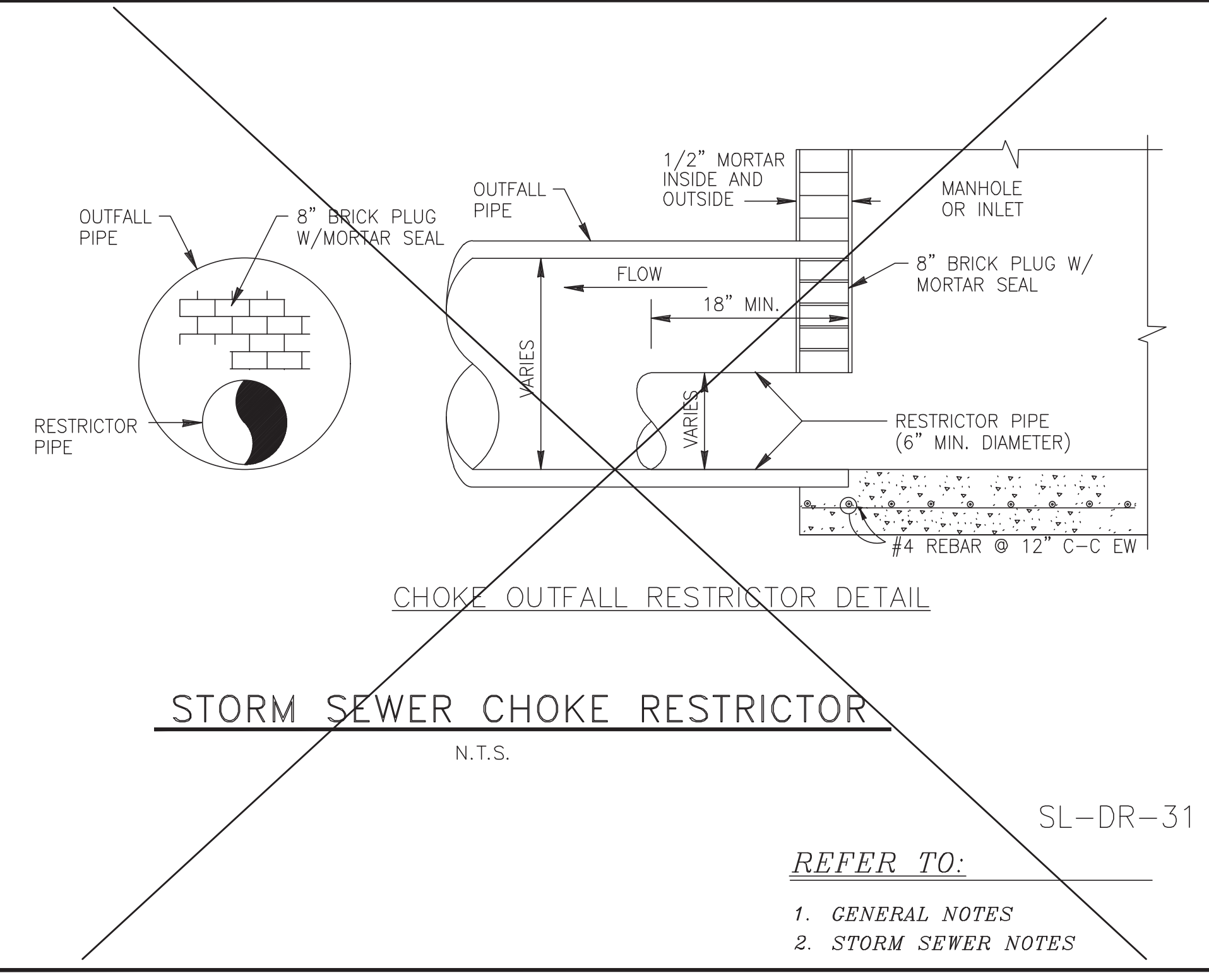
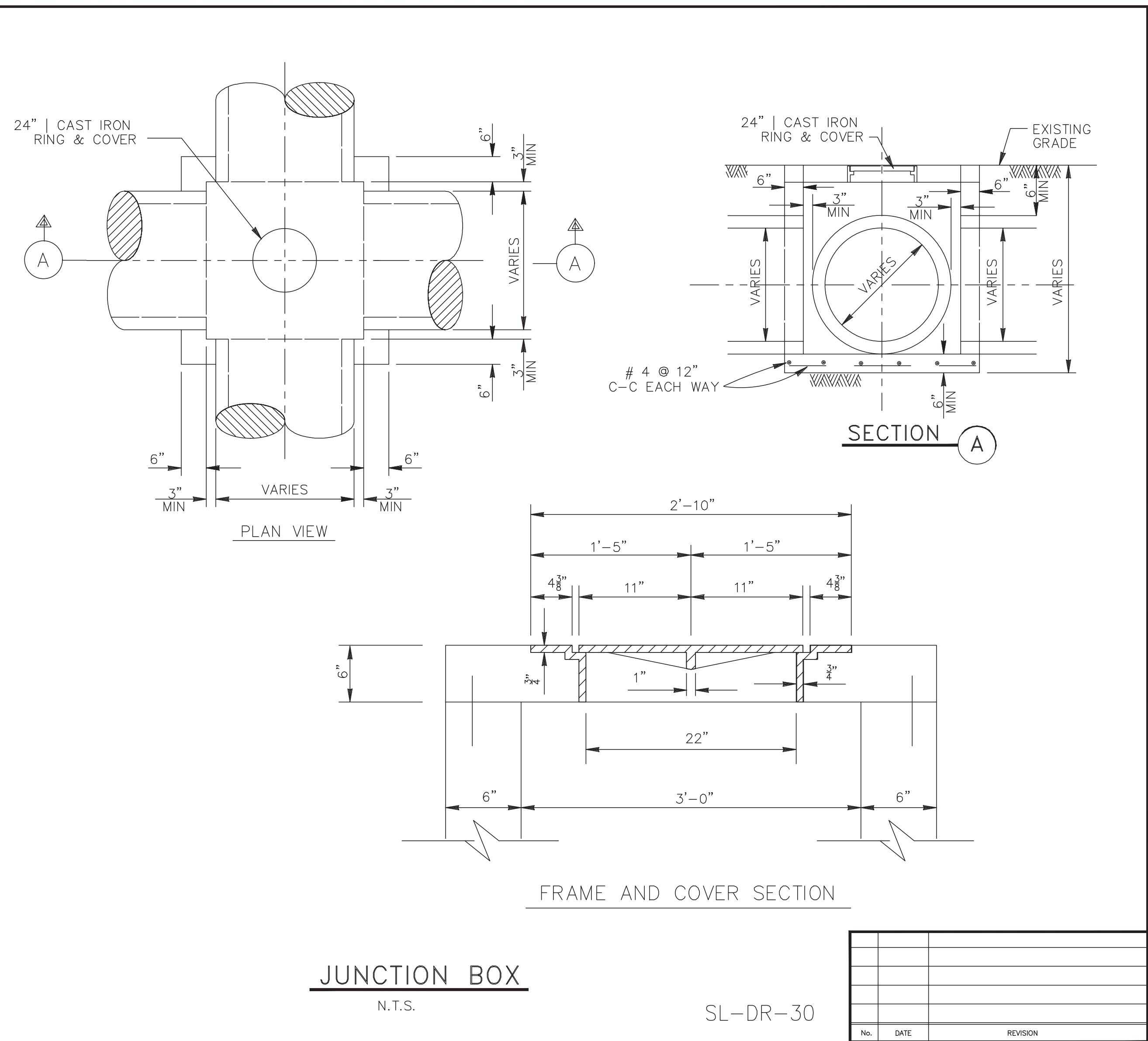
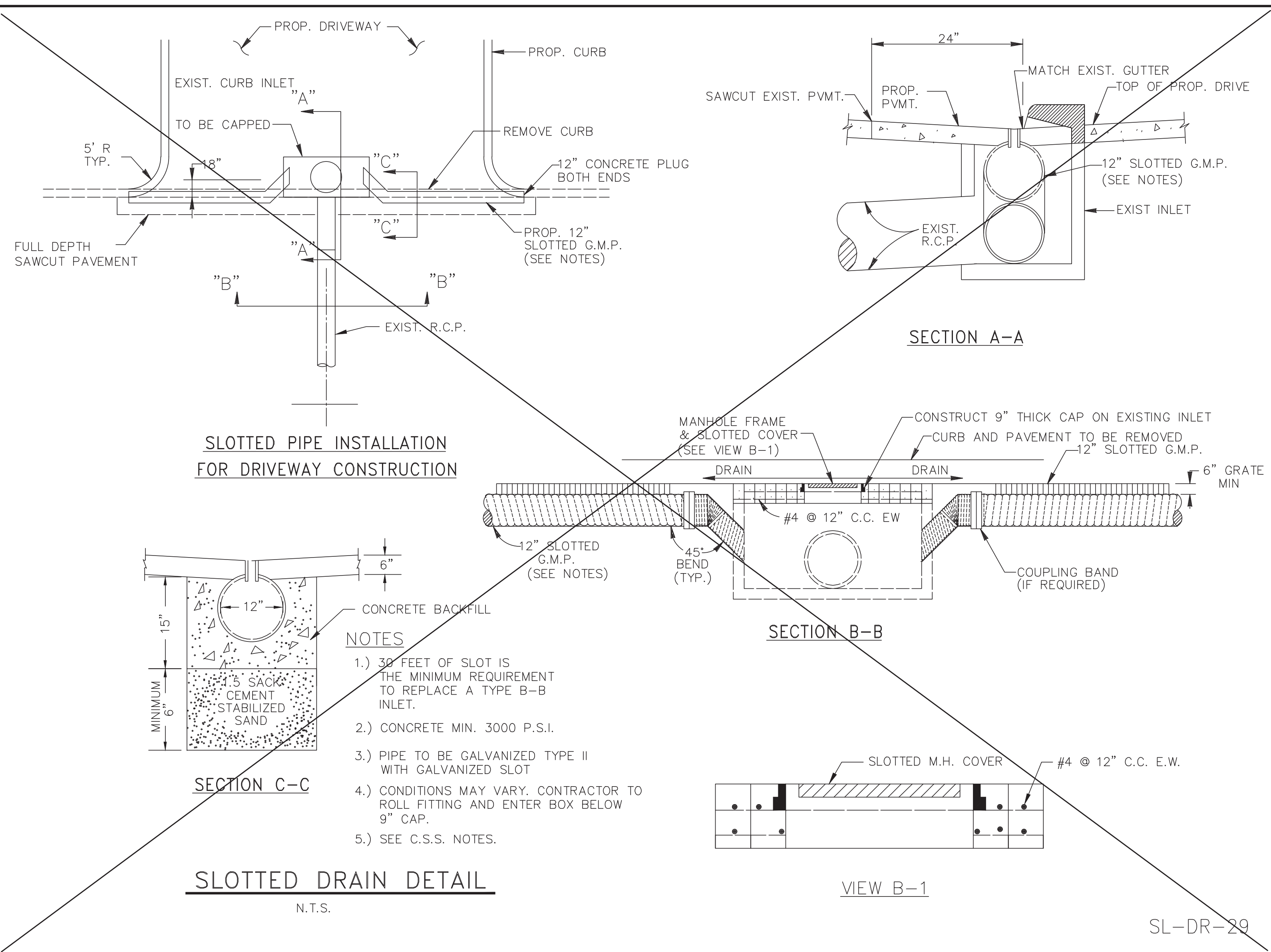
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER MANHOLE CONSTRUCTION DETAILS
SL-03

PROJECT NO. 14396



NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS

ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

STORM SEWER CONSTRUCTION DETAILS

JOB No.: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____

SL-10

SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
 DRAWN: BT
 CHECKED: _____
 DATE: _____

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6661
 REG. NO. F-825

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DOUGLAS B. ROESSLER
 56739
 LICENSED PROFESSIONAL ENGINEER

03-03-2023

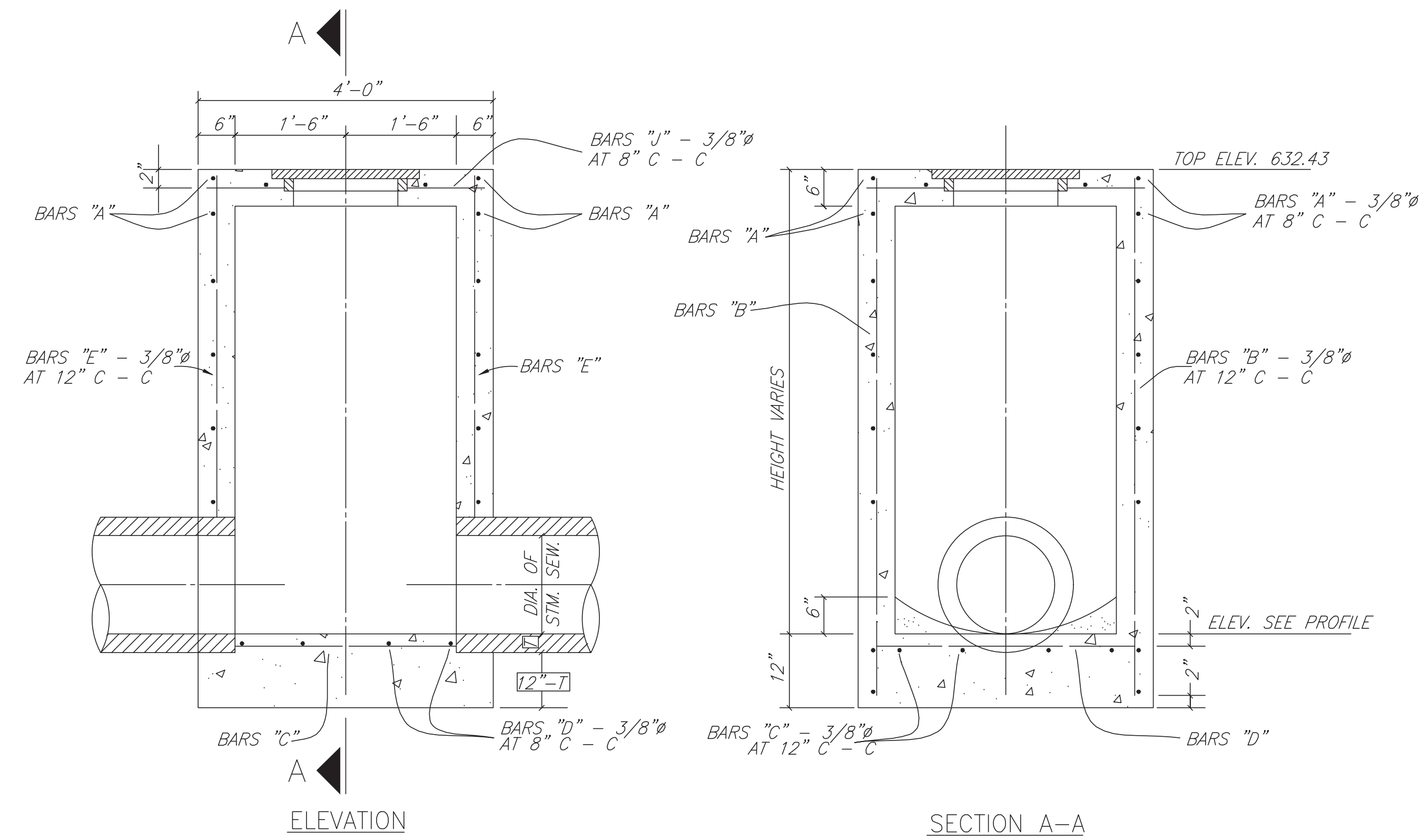
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

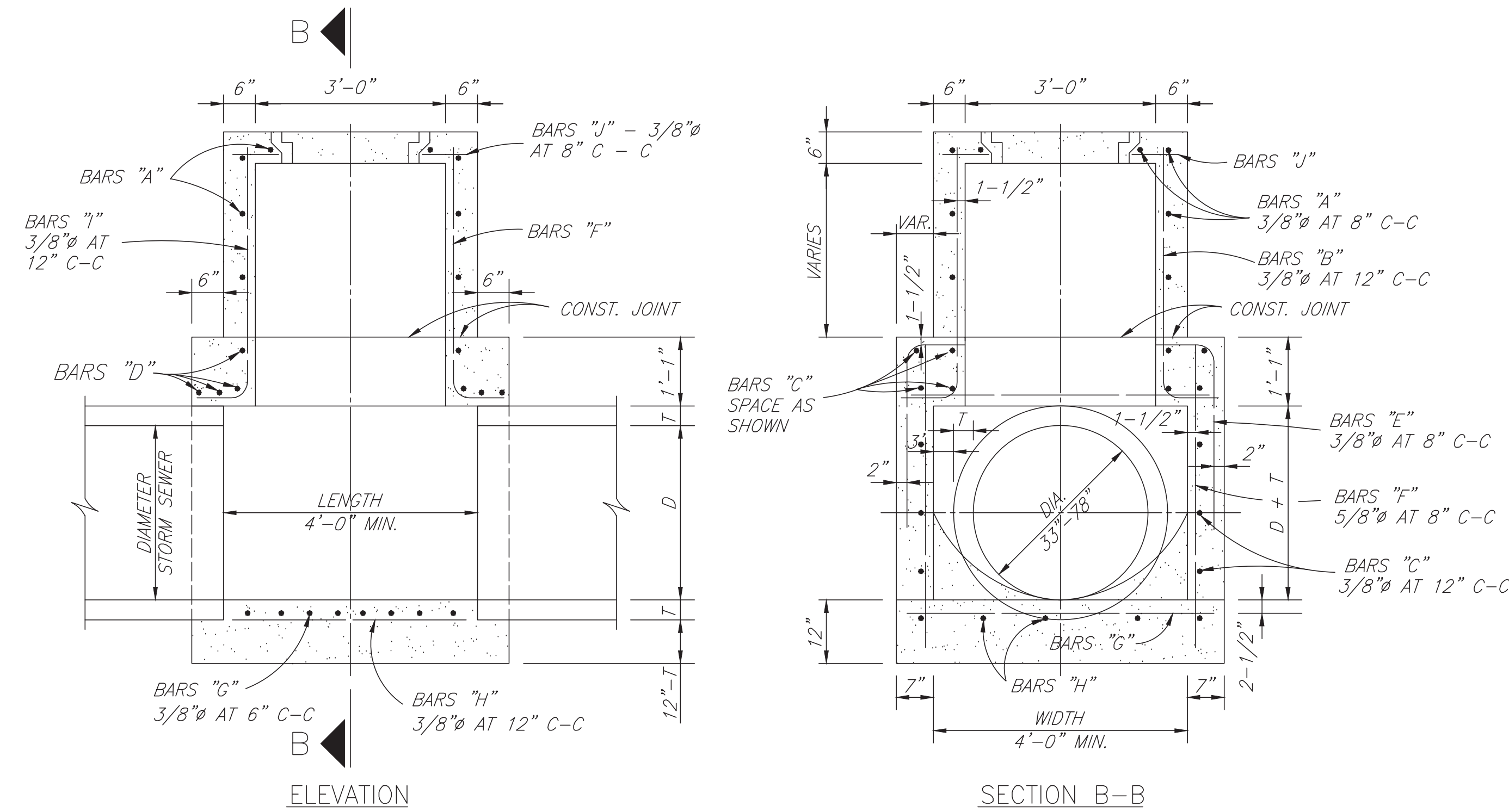
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER CONSTRUCTION DETAILS
SL-10


PROJECT NO. 14396



STORM SEWER TYPE A MANHOLE
MAX. PIPE SIZE 30" - N.T.S.

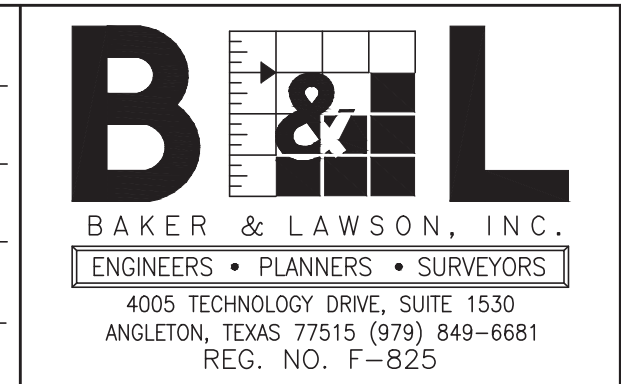


TYPE B STORM SEWER MANHOLE
MAX. PIPE SIZE 78" - N.T.S.

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
JUNCTION BOX MANHOLES		
JOB No.:	DATE:	SL-11
DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	SHEET	OF

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	
REVISIONS	
NO.	DATE DESCRIPTION APPROVED

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825



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03-03-2023

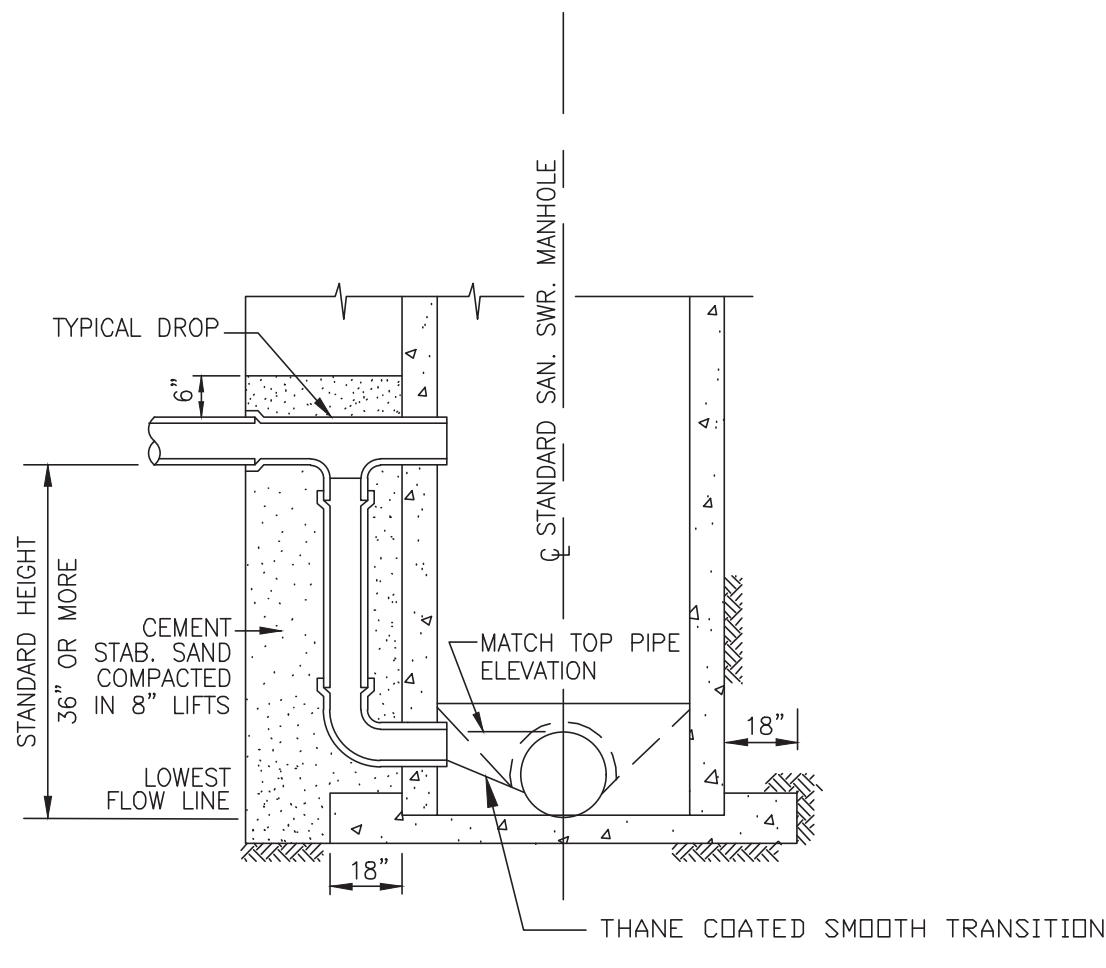
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

JUNCTION BOX MANHOLES
SL-11

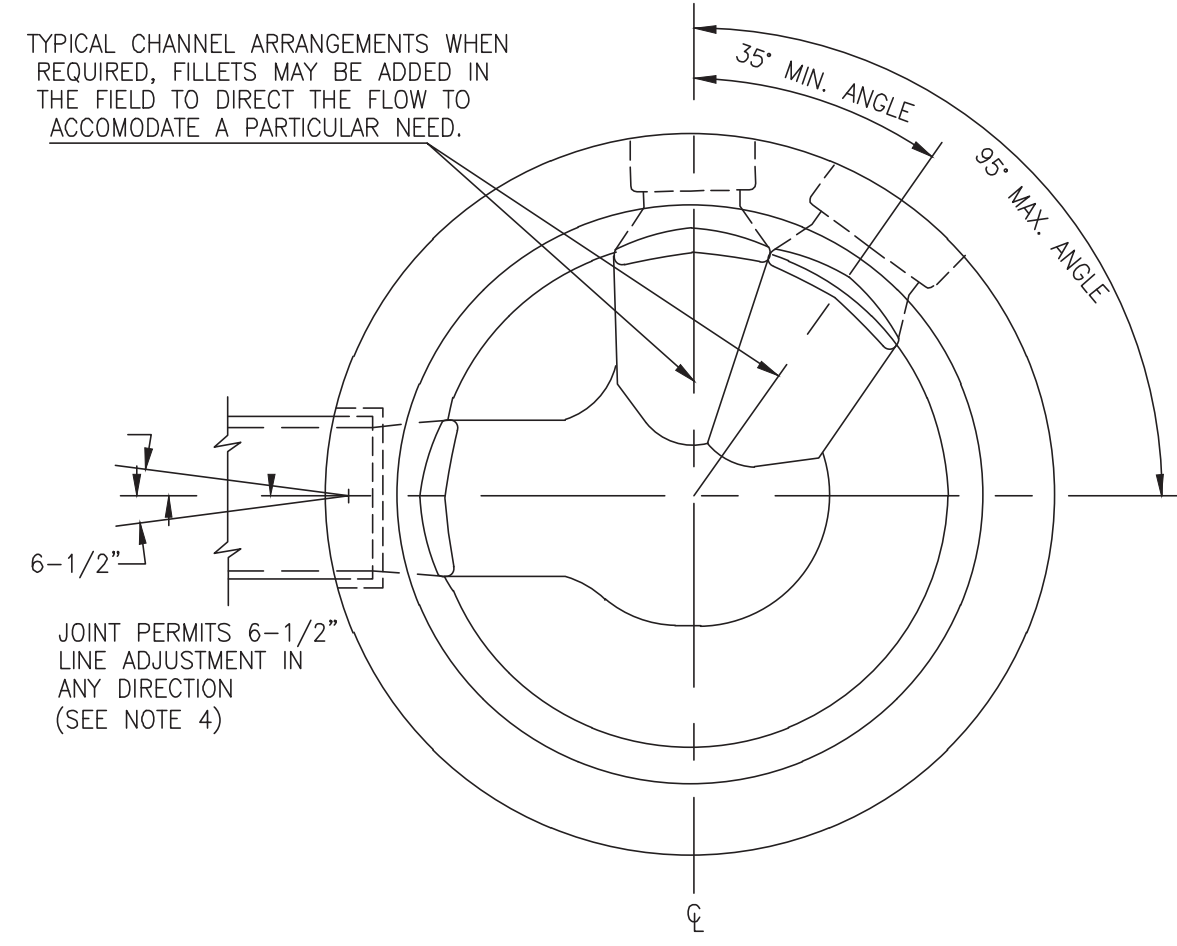
PROJECT NO. 14396



STANDARD DROP DETAIL

(SEE C.S.S. NOTES)

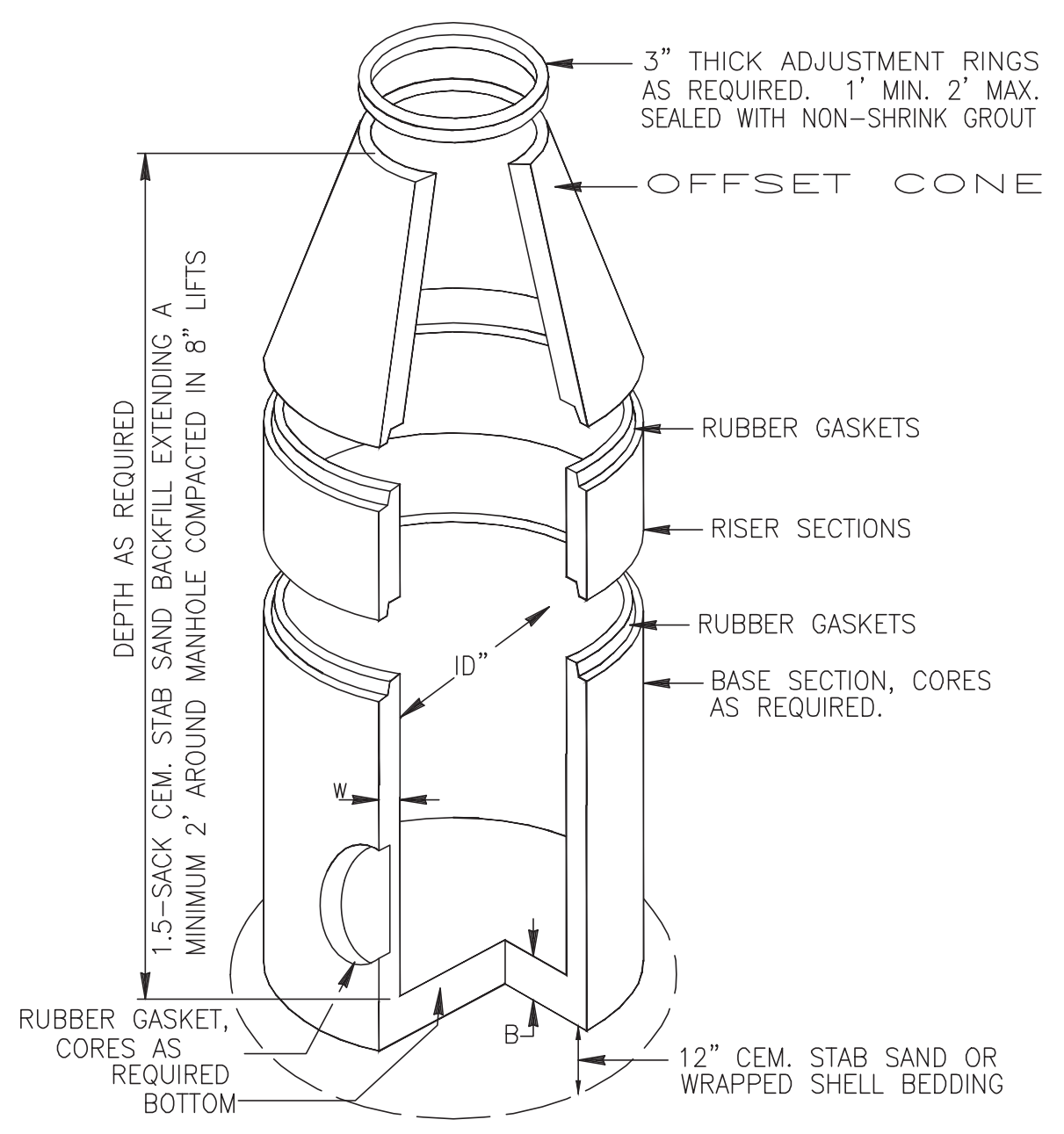
SL-SS-05



PIPING CONNECTIONS DETAIL

SL-SS-05

- NOTE:**
1. INFLUENT AND EXFLUENT PIPING CONNECTIONS TO MANHOLE SHALL BE ALIGNED TO PREVENT REVERSE FLOW.
 2. INFLUENT AND EXFLUENT CONNECTIONS ARE LIMITED TO A MAXIMUM 90° INCLUDED ANGLE OF CONVERGENCE.
 3. MINIMUM 35° AND MAXIMUM 90° INCLUDED ANGLES MUST BE PROVIDED BETWEEN MULTIPLE INFLUENT CONNECTIONS.
 4. ANGLE OF DEFLECTION AT PIPING JOINTS AS PER MANUFACTURE'S RECOMMENDATIONS.



SPECIFICATIONS:

- CONCRETE: CLASS 1 CONCRETE WITH A DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. RATES FOR H-20 LOADING.
- REINFORCEMENT: STRUCTURAL REINFORCEMENT CONFORMING TO ASTM-C-478.
- C.I. CASTINGS: CAST IRON FRAMES AND LIDS ARE MANUFACTURED OF GREY CAST IRON CONFORMING TO ASTM A48-76 CLASS 35.

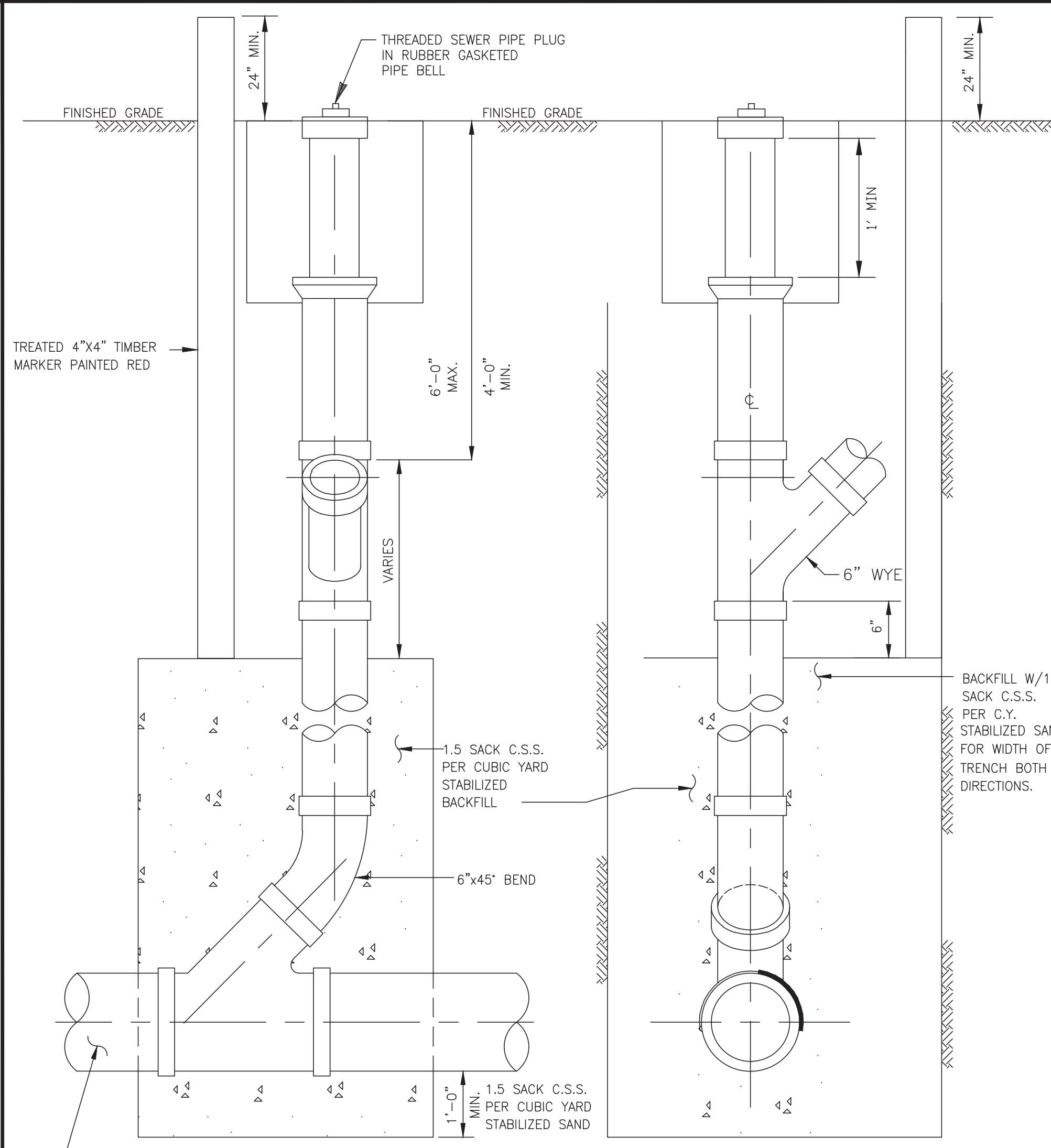
NOTES

1. LIFTING INSERTS AS REQUIRED.
2. ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET
3. STRUCTURE TO BE PLACED ON 12" STABILIZED BASE.
4. C.S.S. SHALL BE BROUGHT TO WITHIN 2'-FT OF TOP OF MANHOLE.
5. PRE-CAST MANHOLE SHALL BE IN COMPLIANCE APPROVED PRODUCT LIST.
6. THANE COAT SHALL BE IN COMPLIANCE WITH APPROVED PRODUCT LIST.
7. INVERTS SHALL COMPLY WITH C.O.S.L., DESIGN MANUAL SPECIFICATIONS.
8. INFLOW PROTECTORS REQUIRED ON ALL SANITARY MANHOLES.
9. REFER TO SANITARY MANHOLE LIDS, C.S.S. NOTES, MODIFIED BEDDING DETAILS AND NOTES.

PRECAST SANITARY MANHOLE

N.T.S.

SL-SS-03



TRENCH SIDE VIEW STACK DETAIL

N.T.S.

SL-SS-04

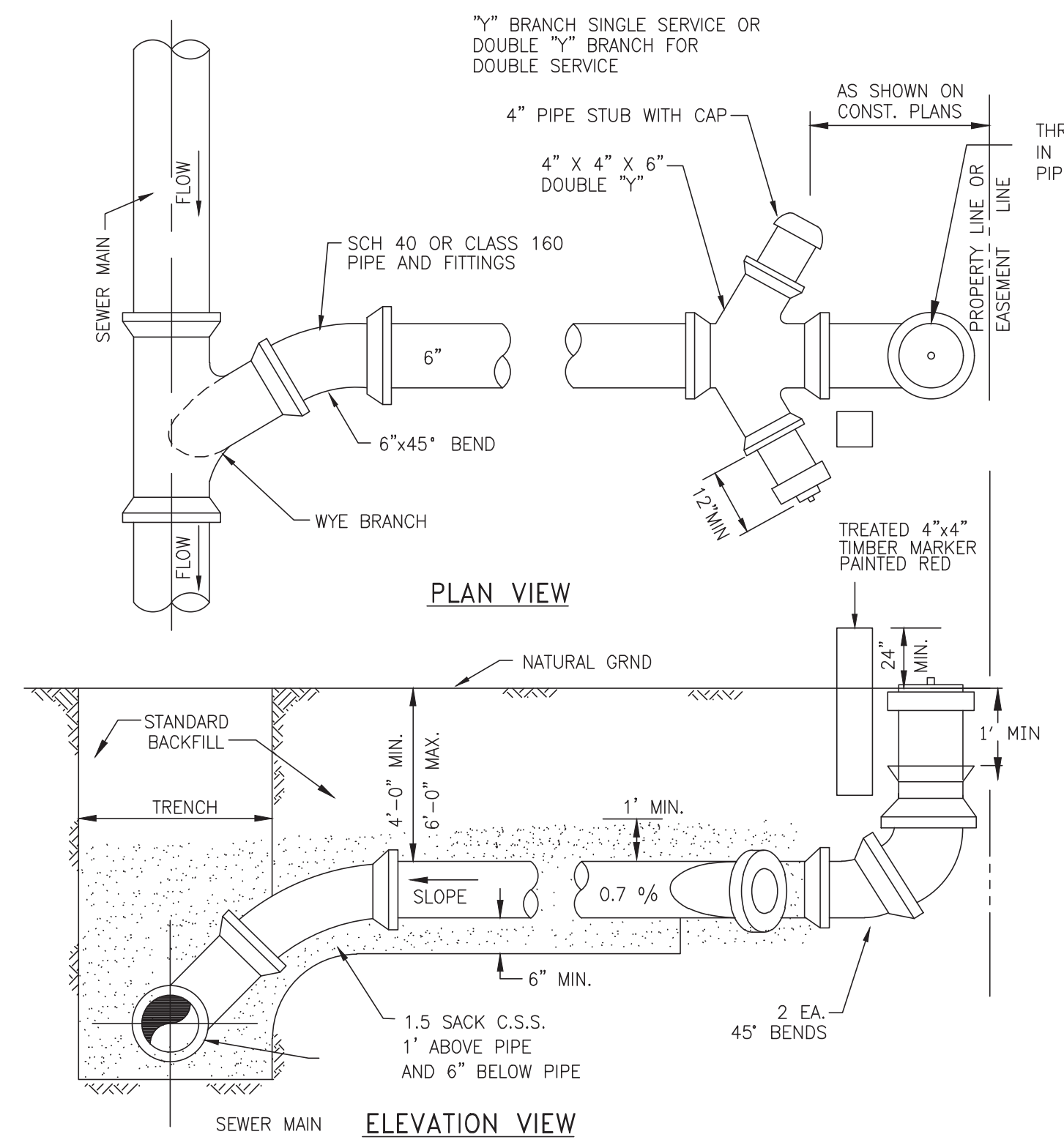
NOTES:

- A.) NO STACKS ON MAINS OVER 16' DEEP OR IN WET SAND CONDITIONS.
- B.) ALL STACK CONNECTIONS SHALL BE IN-LINE FITTINGS.

NOTES:

1. CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
2. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
3. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF FOUR FOOT FROM BACK OF CURB ON CURB AND GUTTER ROADWAYS AND THREE FEET FROM EDGE OF TRAVELLED ROADWAY ON THOSE THOROUGHFARES HAVING NO CURBING, MEASURED FROM OUTSIDE DIAMETER OF MANHOLE. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE SPECIFICALLY AUTHORIZED BY CITY ENGINEER AND SO DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS.
4. ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF SUGAR LAND EMBLEM AND THE WORDS "SUGAR LAND" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS SHEETS. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS.
5. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER FINAL GRADING. ADJUSTMENTS TO MANHOLE RIM ELEVATIONS SHALL BE ACCOMPLISHED BY THE USE OF THROAT RINGS ONLY (MAX. OF 24 INCHES PERMITTED). THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM.
6. DROP CONNECTIONS ARE REQUIRED WHEN INVERT ELEVATION OF SEWER LINE TO BE CONNECTED EXCEEDS 36 INCHES DISTANCE ABOVE INVERT ELEVATION OF MANHOLE BASE. ALL DROP CONNECTIONS SHALL BE CONSTRUCTED OF SAME MATERIALS AS SEWER AND SHALL BE CONSTRUCTED EXTERIOR TO MANHOLE. PIPE CONNECTIONS TO MANHOLES SHALL BE SO CONSTRUCTED AS TO BE WATERTIGHT AND TO ALIGN UPPER INSIDE PIPE WALL ELEVATIONS OF ALL PIPING CONNECTED TO BASE OF MANHOLE UNIFORMLY, REGARDLESS OF PIPE DIAMETERS. DROP ASSEMBLIES SHALL BE BEDDED IN CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL EXTEND A MINIMUM OF SIX INCHES PAST PIPING LATERALLY FROM BASE OF MANHOLE UPWARD TO A POINT SIX INCHES (MINIMUM) ABOVE THE HORIZONTAL SEWER PIPING WHERE CONNECTED TO THE MANHOLE ABOVE THE VERTICAL DROP.
7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECORED HOLES OF CORRECT DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHISELS AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT STATIONS.
8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.
9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
10. SANITARY SEWER SERVICE LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE.
11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB", "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.
13. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY INFRASTRUCTURE STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY NOTIFY THE CITY OF ALL CONSTRUCTION ACTIVITIES AND TO CONFORM TO CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT INSPECTION POLICY.
14. C.S.S. 1' ABOVE PIPE AND 6" BELOW PIPE MINIMUM.
15. SEE GENERAL NOTES AND C.S.S. NOTES.

SL-SS-07



SANITARY SEWER SERVICE CONNECTION

N.T.S.

SL-SS-06

No.	DATE	REVISION

SEAL:

DESIGN ENGINEER: _____ DATE _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

SANITARY SEWER CONSTRUCTION DETAILS

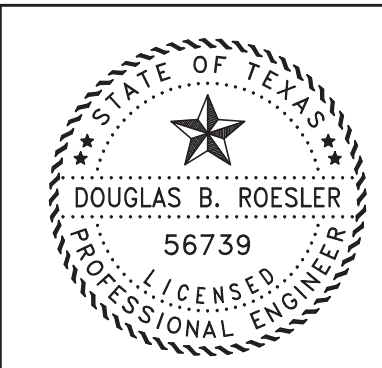
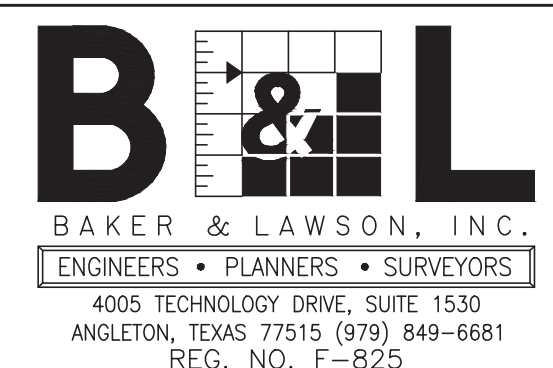
JOB No.:
DATE:
DRAWN BY:
CHECKED BY:
SCALE:

SL-14

SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED
DATE



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03-03-2023

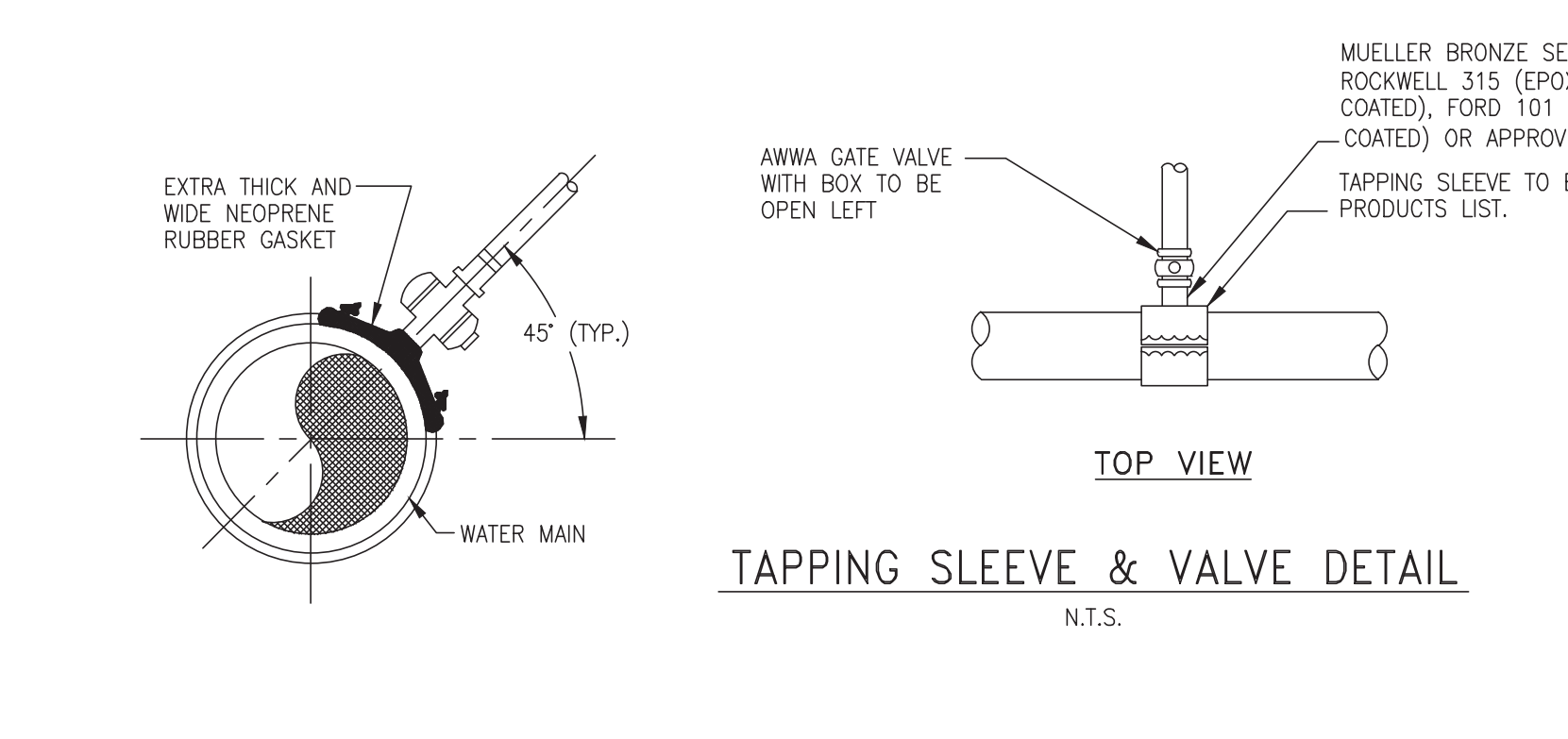
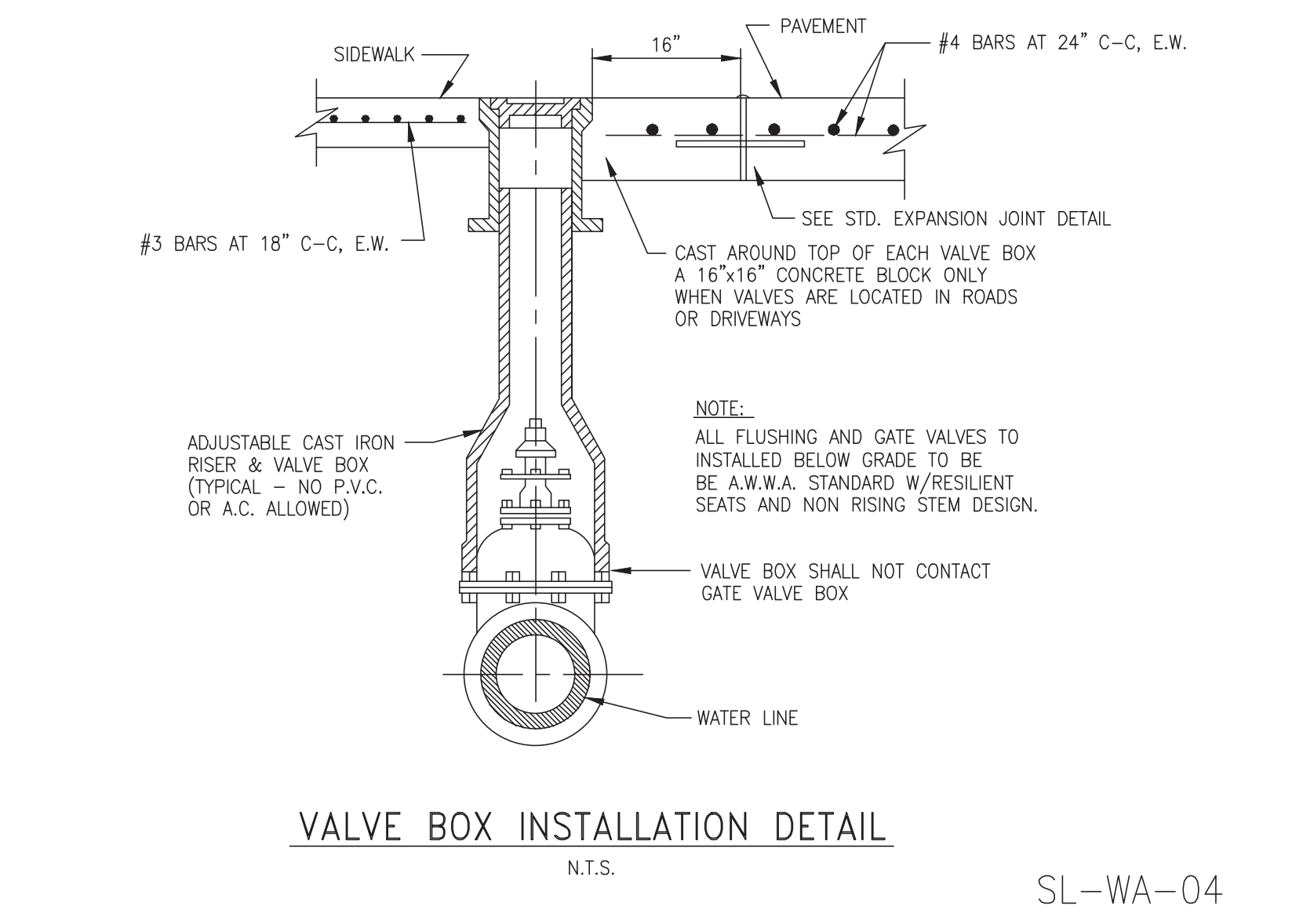
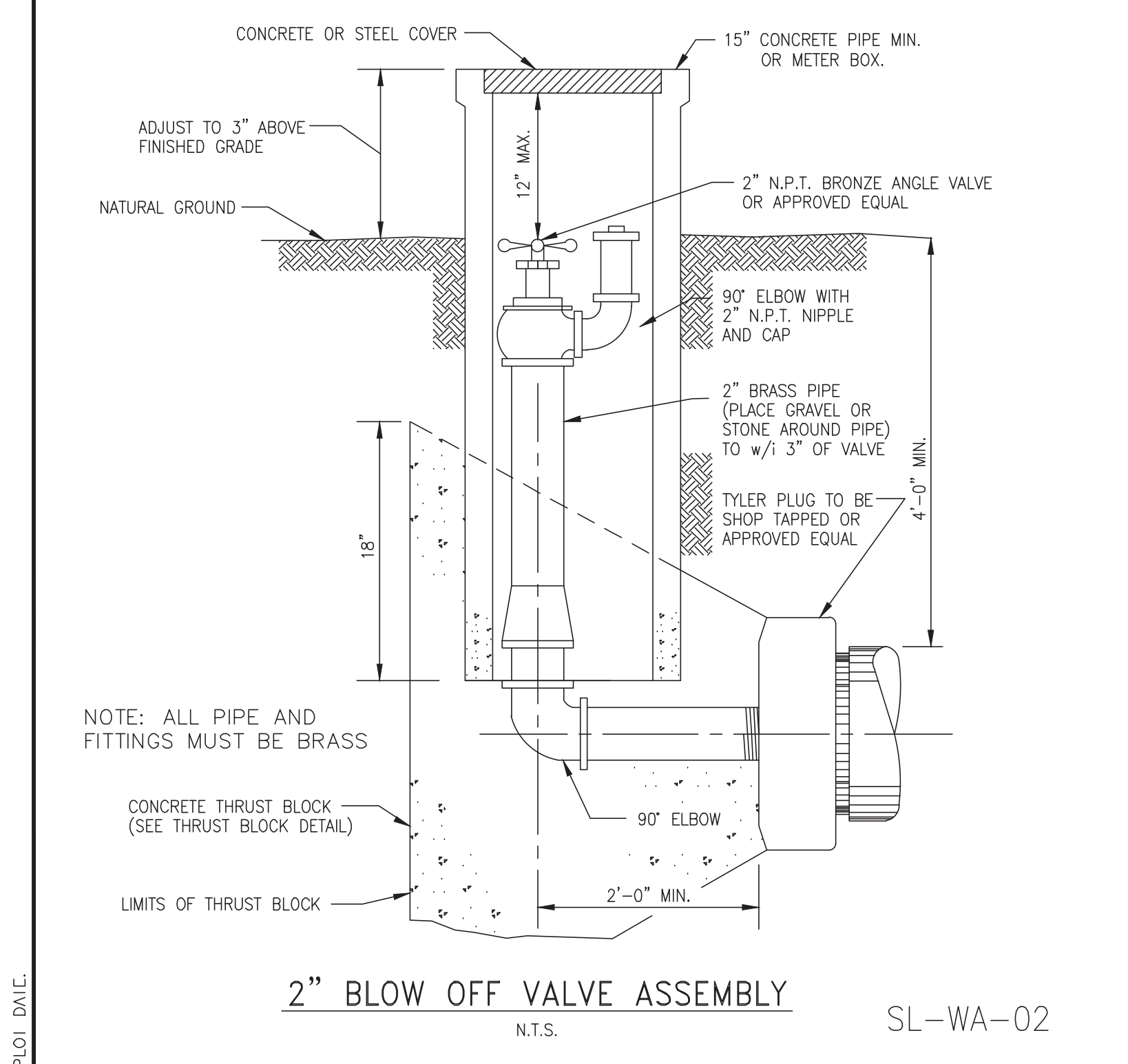
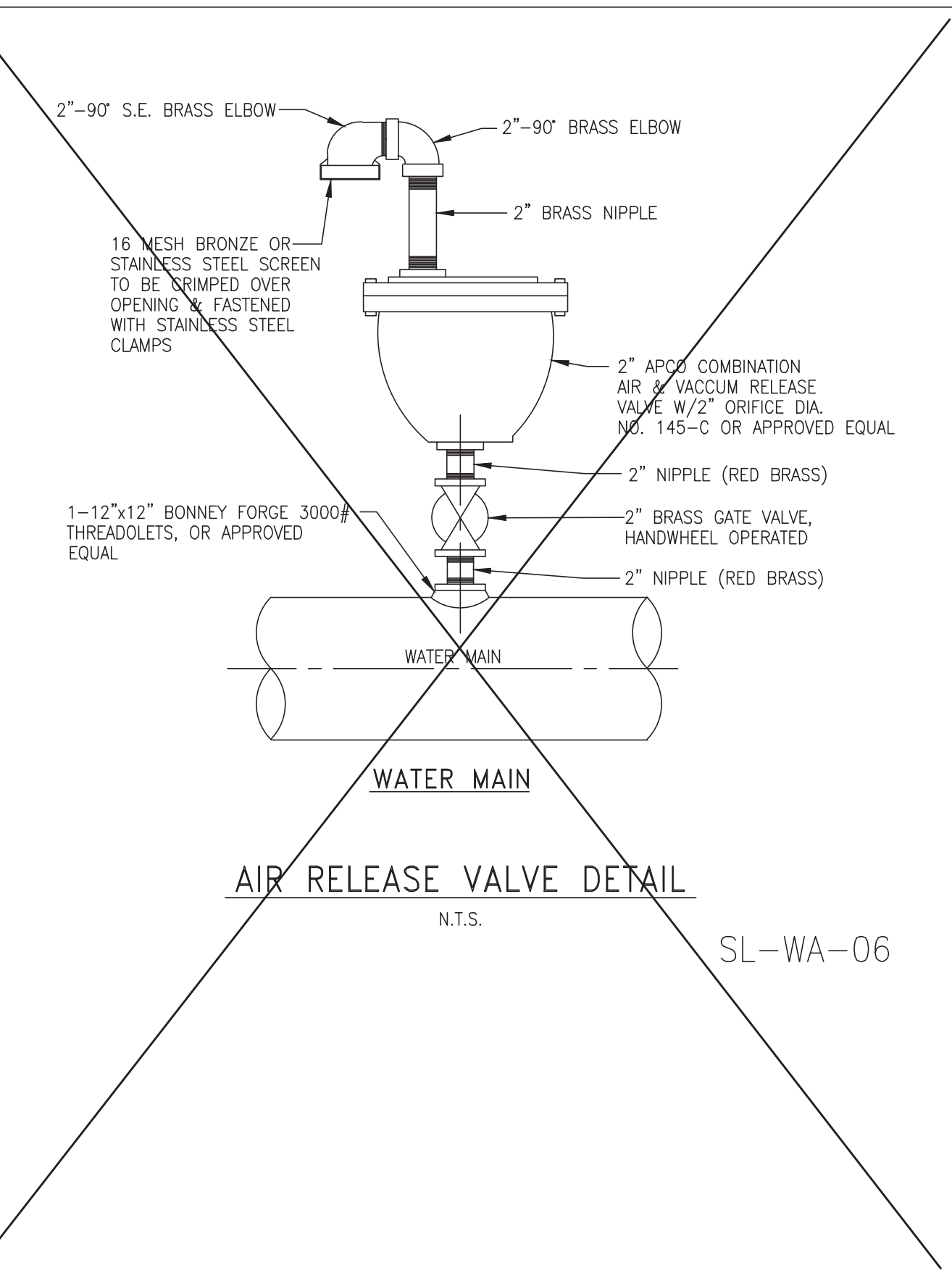
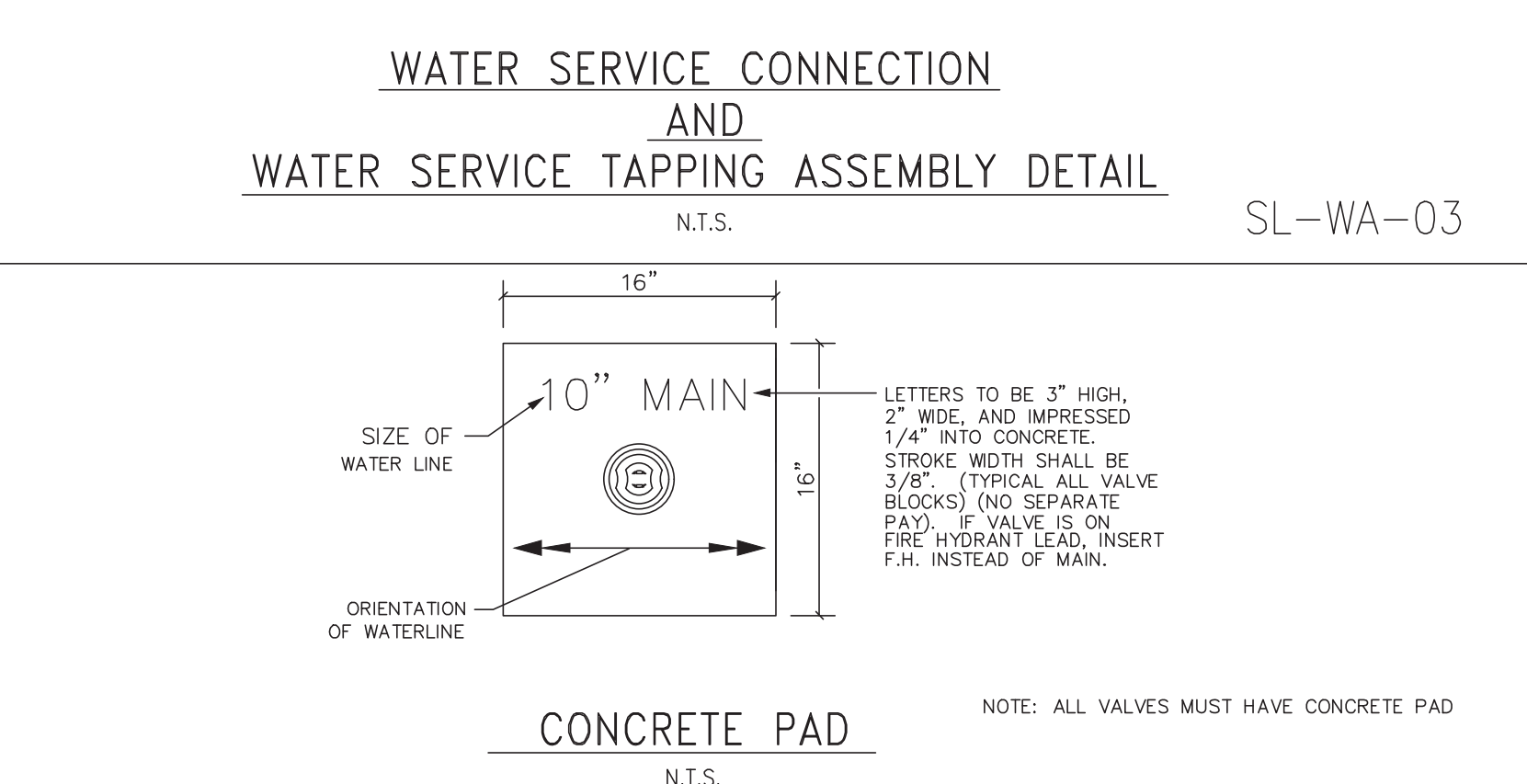
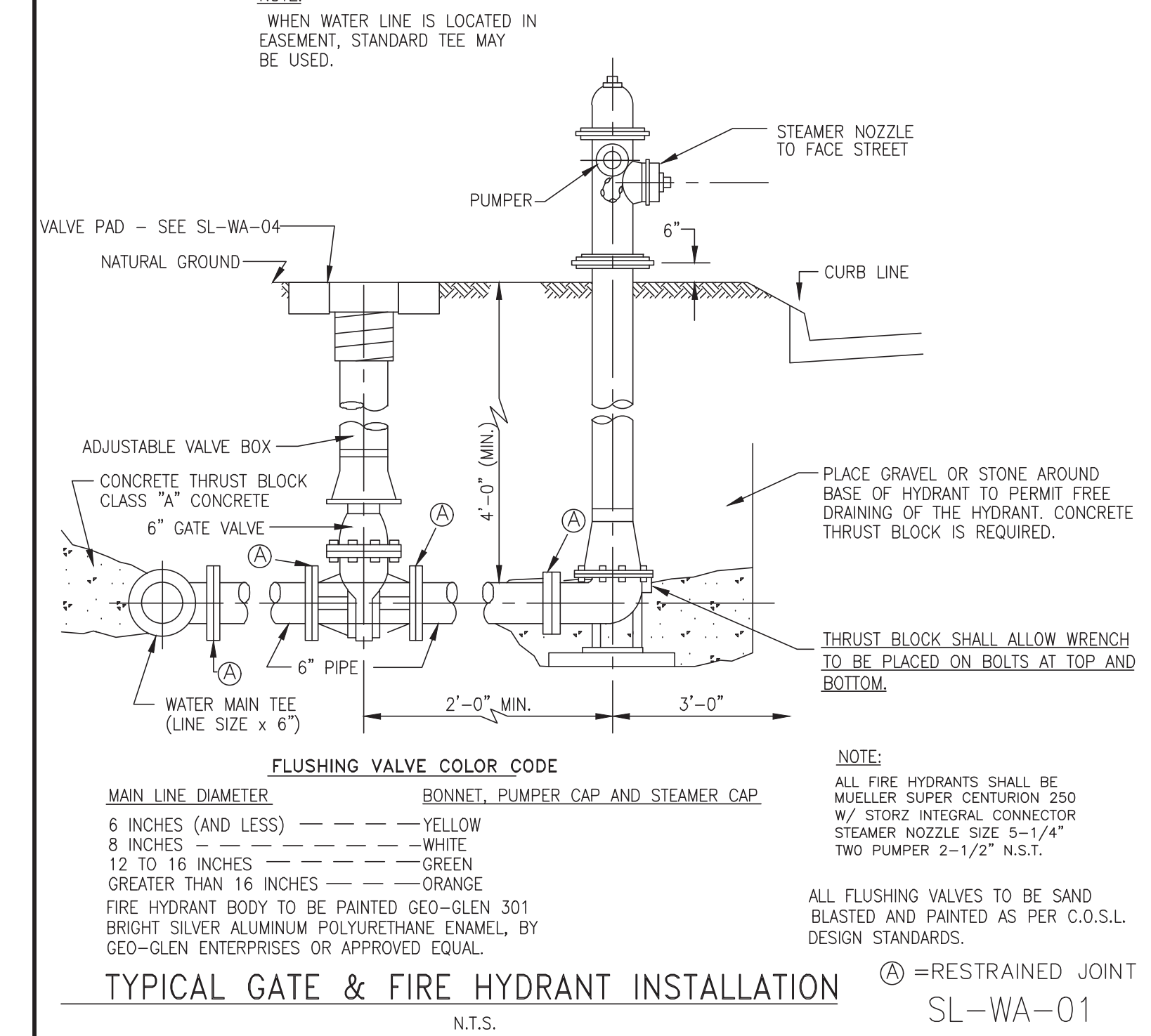
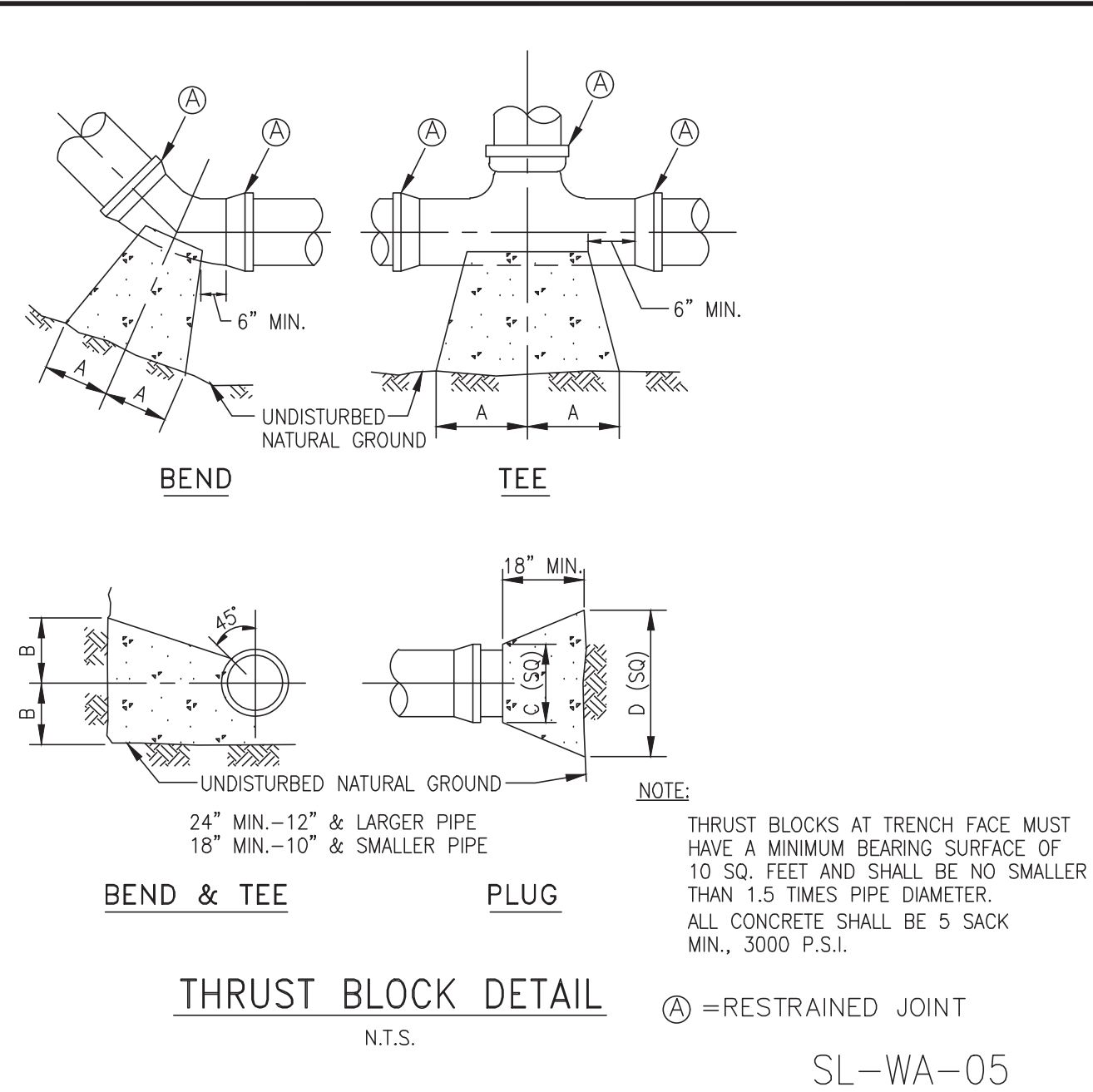
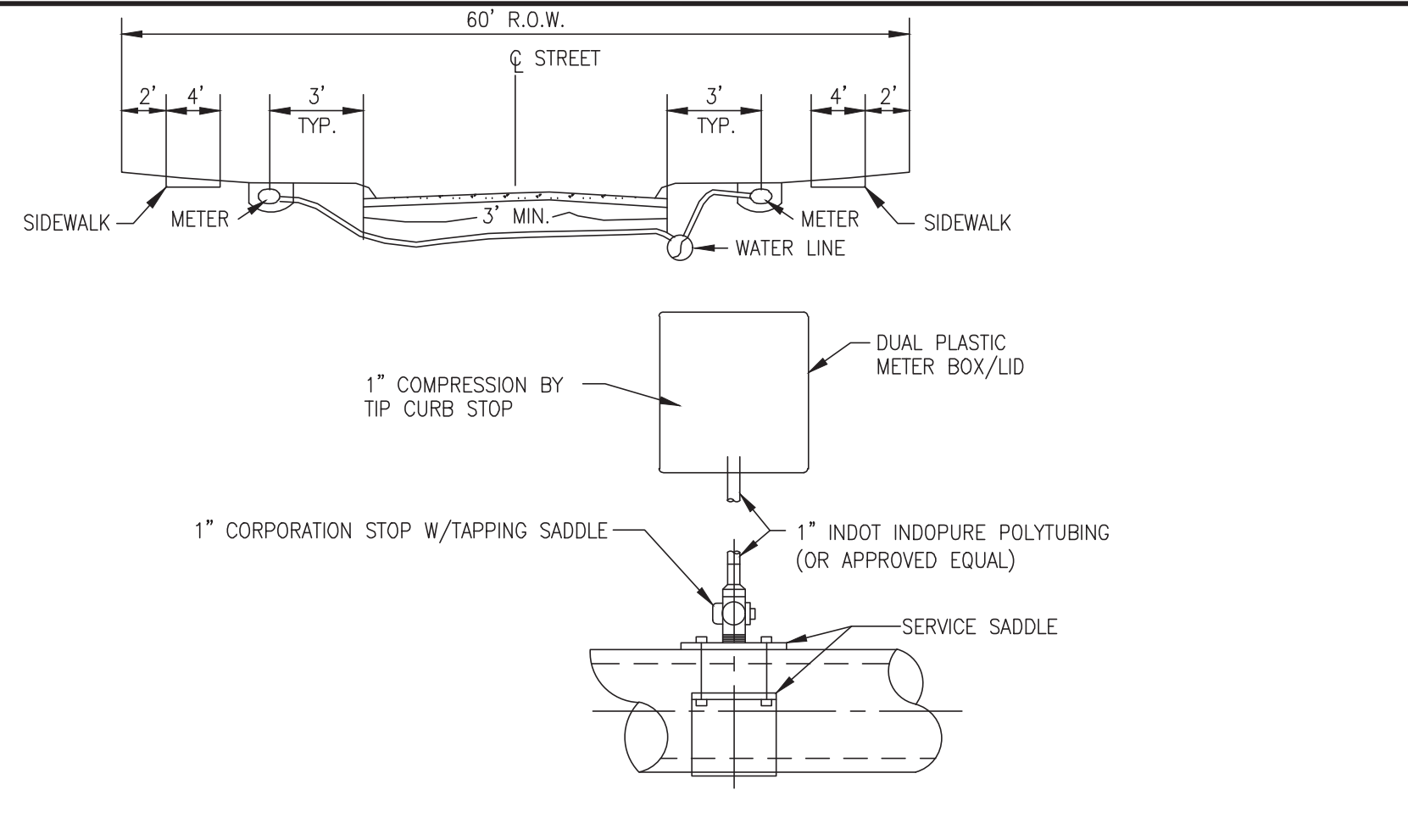
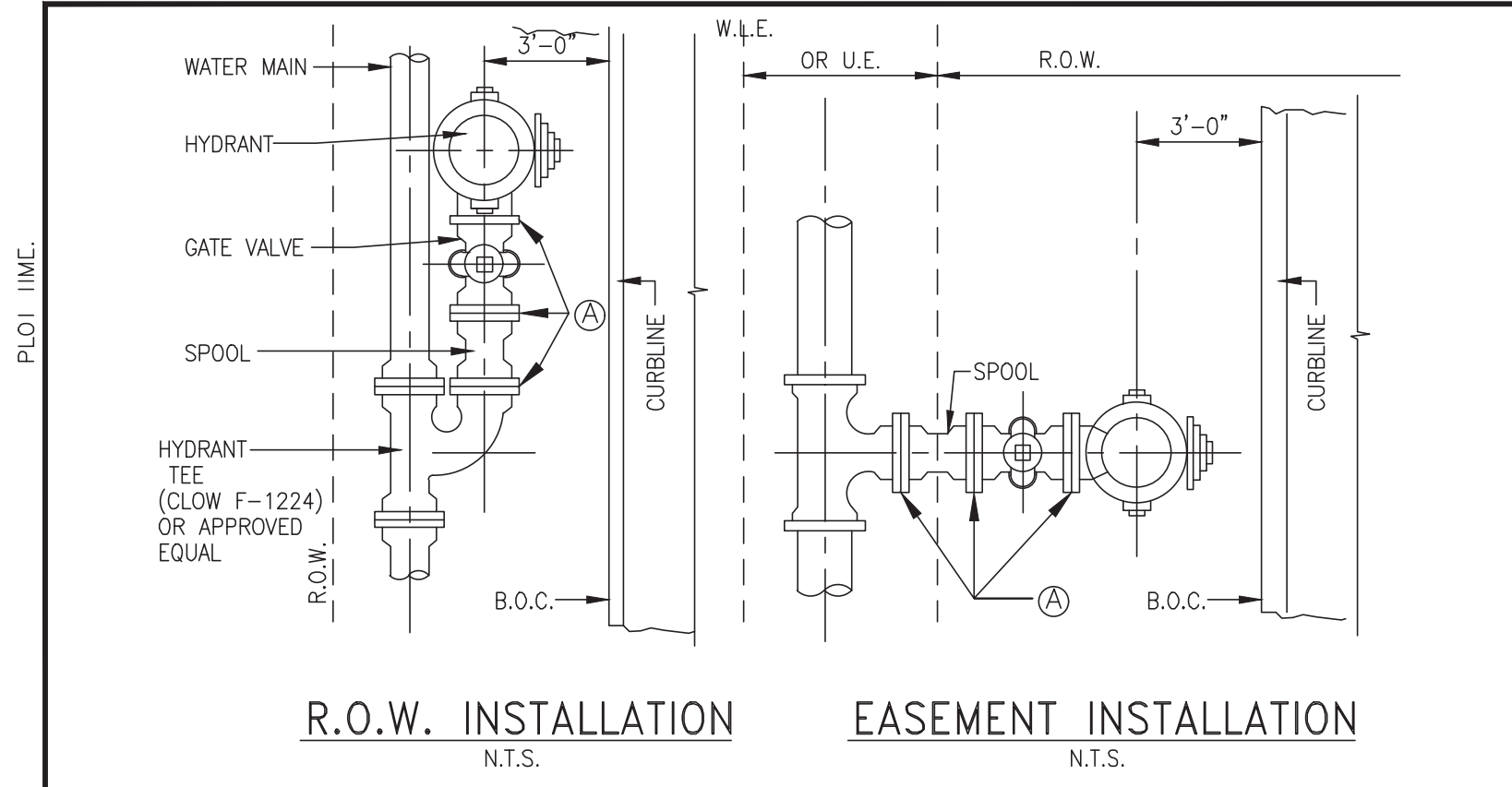
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SANITARY SEWER CONSTRUCTION DETAILS
SL-14

PROJECT NO. 14396



NOTES:
POLYETHYLENE WRAP FOR IRON PIPE

NOTE:

- POLYETHYLENE FILM SHALL BE USED AS A WRAP TO PROTECT CAST IRON AND OTHER METALS IN A CORROSIVE SOIL ENVIRONMENT.
- AN 8 MIL POLYETHYLENE FILM WRAP SHALL BE REQUIRED AROUND ALL METAL PIPE AND APPURTENANCES (EXCEPT FIRE HYDRANTS).
- POLYETHYLENE FILM SHALL BE FURNISHED AND INSTALLED EITHER IN TUBULAR FORM PRIOR TO LOWERING THE PIPE IN TRENCH OR IN SHEET FORM.
- POLYETHYLENE TUBE ENCASUREMENT SHALL CONFORM WITH THE MINIMUM REQUIREMENTS OF "POLYETHYLENE ENCASUREMENT FOR GRAY AND DUCTILE CAST-IRON PIPING FOR WATER AND OTHER LIQUIDS", ANSI/AWWA C105, CURRENT REVISION. SOILS WITHIN A PROJECT SHALL BE TESTED IN ACCORDANCE WITH APPENDIX A OF ANSI/AWWA C105 TO ADEQUATELY DETERMINE THE REQUIREMENTS FOR ENCASUREMENT.
- ALL FITTINGS AND PIPE JOINTS WITHIN 10' OF A FITTING SHALL HAVE RESTRAINT JOINTS

SIZE	90° BEND		45° BEND		22 1/2° BEND		TEES		PLUGS	
	A	B	A	B	A	B	A	B	A	B
2 1/2"	12"	7"	6"	7"	6"	7"	6"	8"	8"	14"
6"	16"	10"	9"	10"	6"	12"	10"	12"	10"	21"
8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
10"	26"	17"	14"	17"	10"	13"	16"	20"	16"	41"
12"	29"	21"	16"	21"	11"	16"	18"	24"	18"	41"
14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"
20"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
24"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
30"	60"	48"	36"	48"	20"	36"	36"	48"	36"	*96"

NOTE: (A) = RESTRAINED JOINT

BENDS, TEES & PLUGS FOR PIPE OF VARIOUS SIZES
SL-WA-08

NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE _____

SEAL: _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

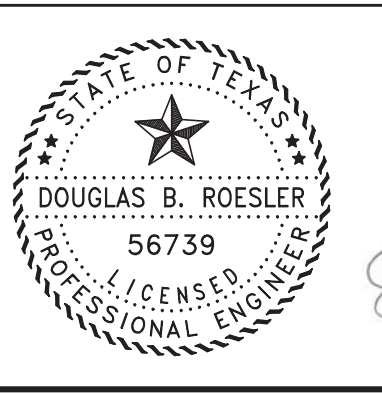
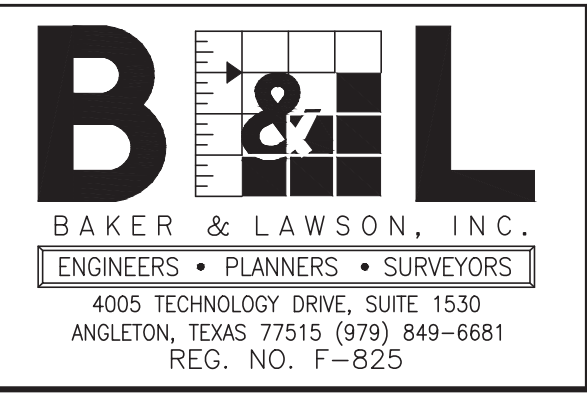
WATER LINE CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-15
SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____



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03-03-2023

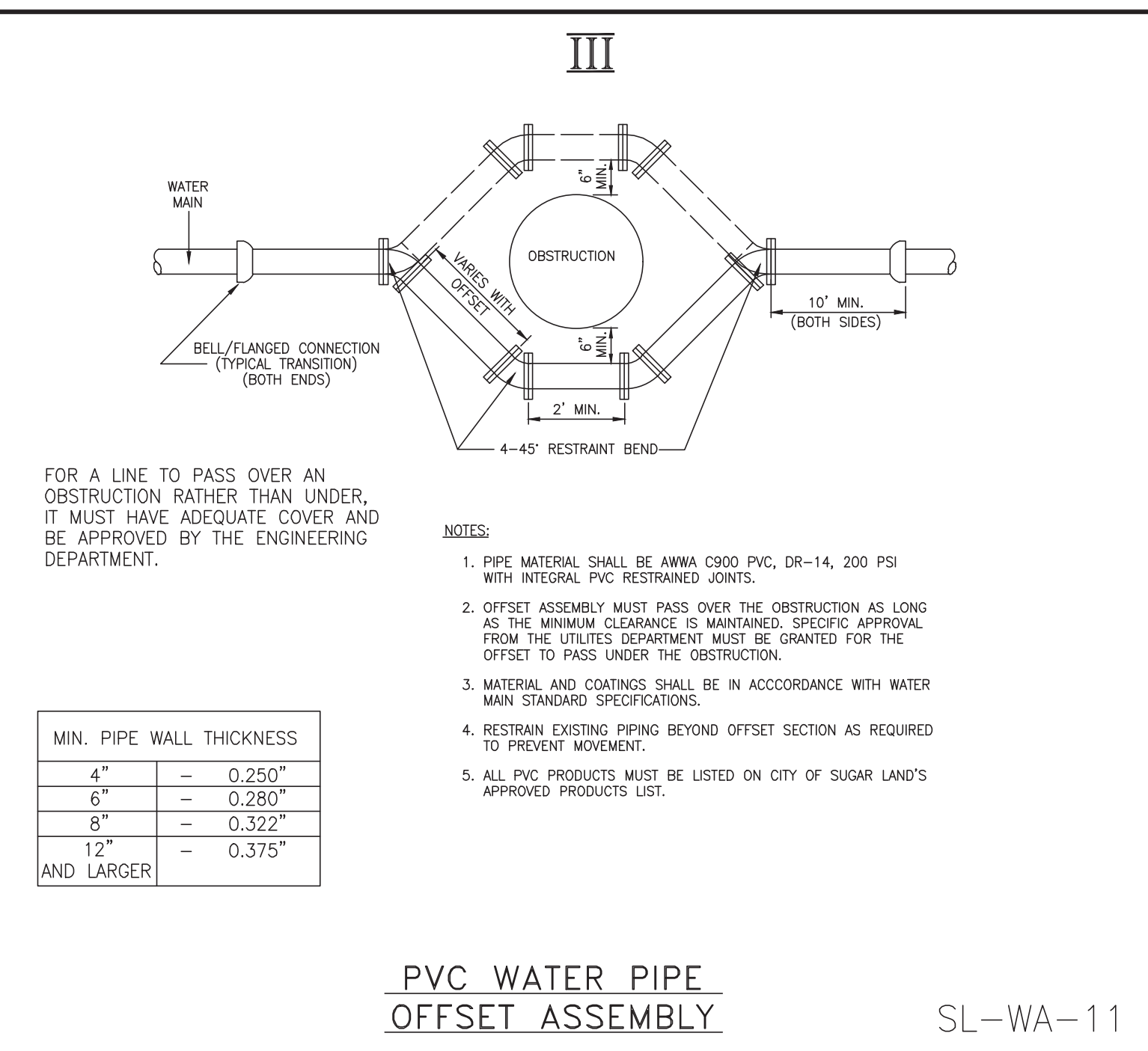
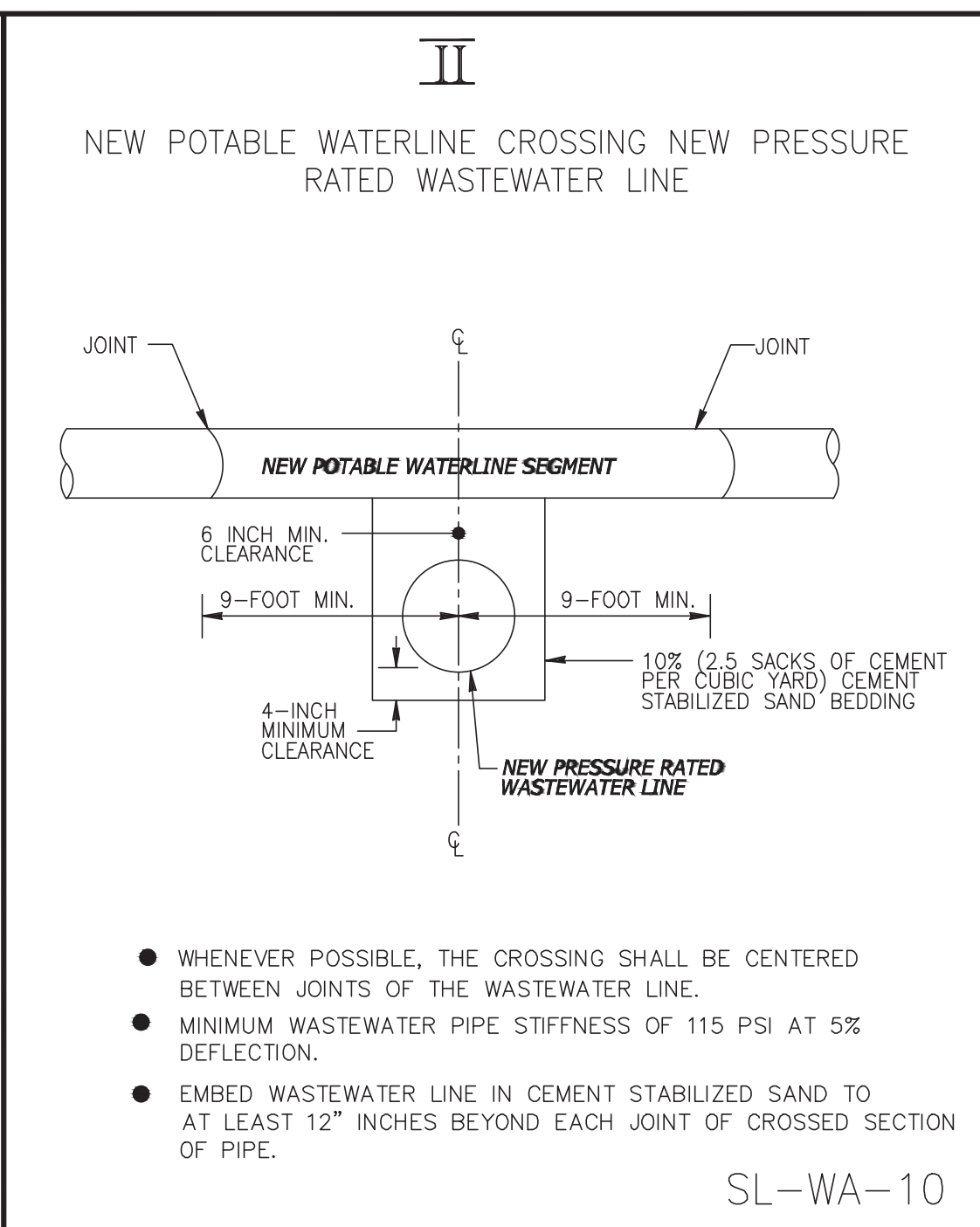
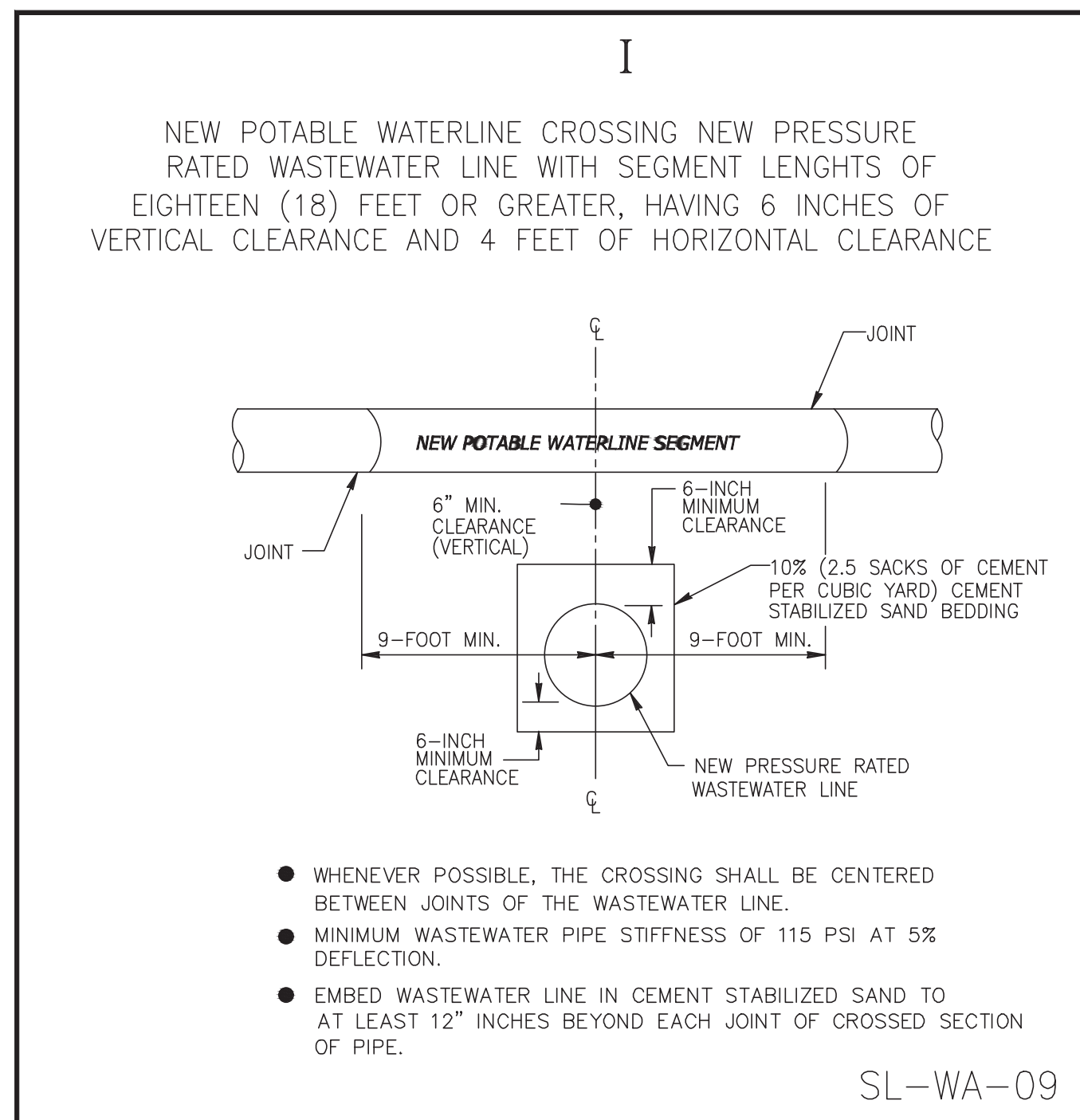
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

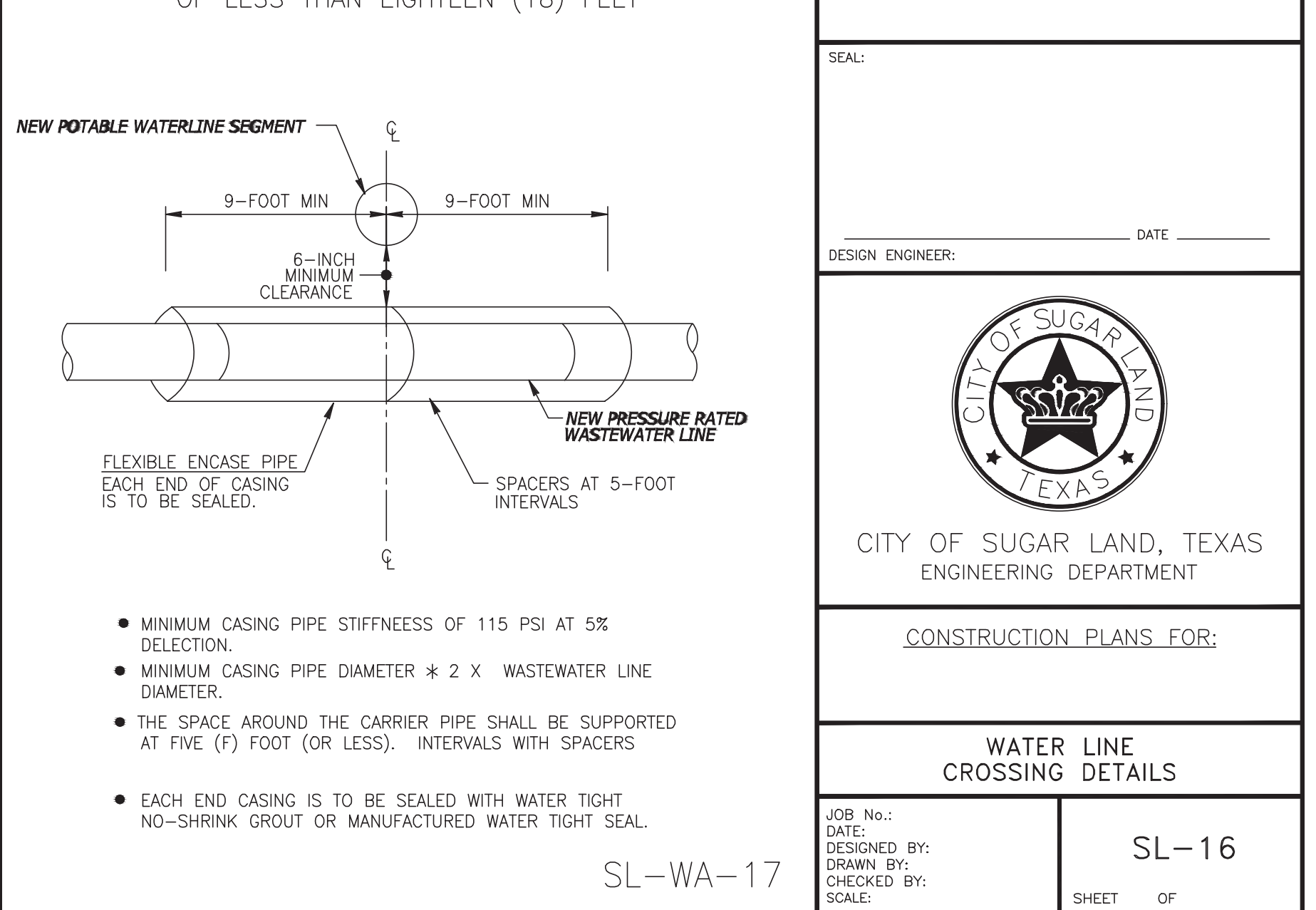
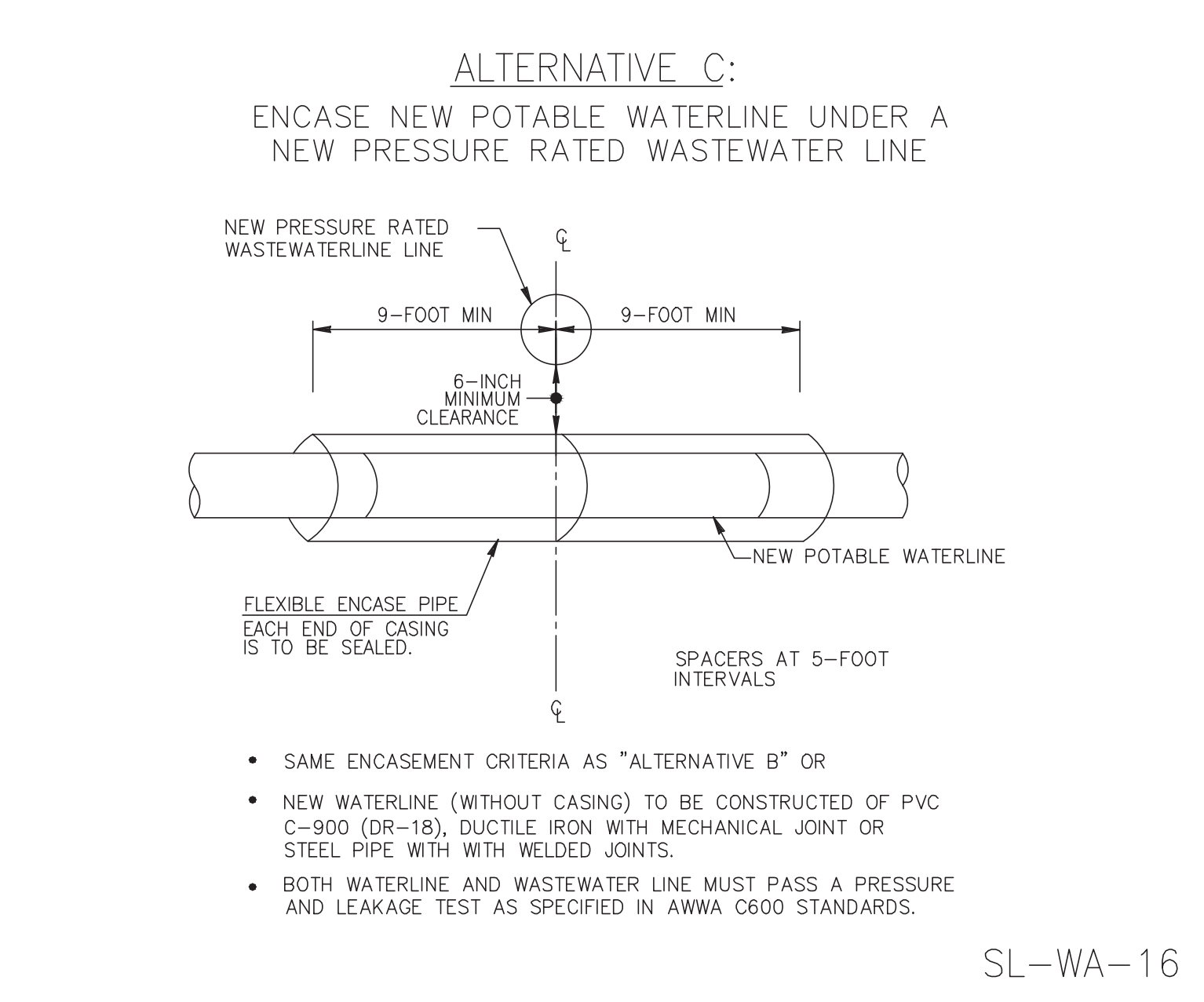
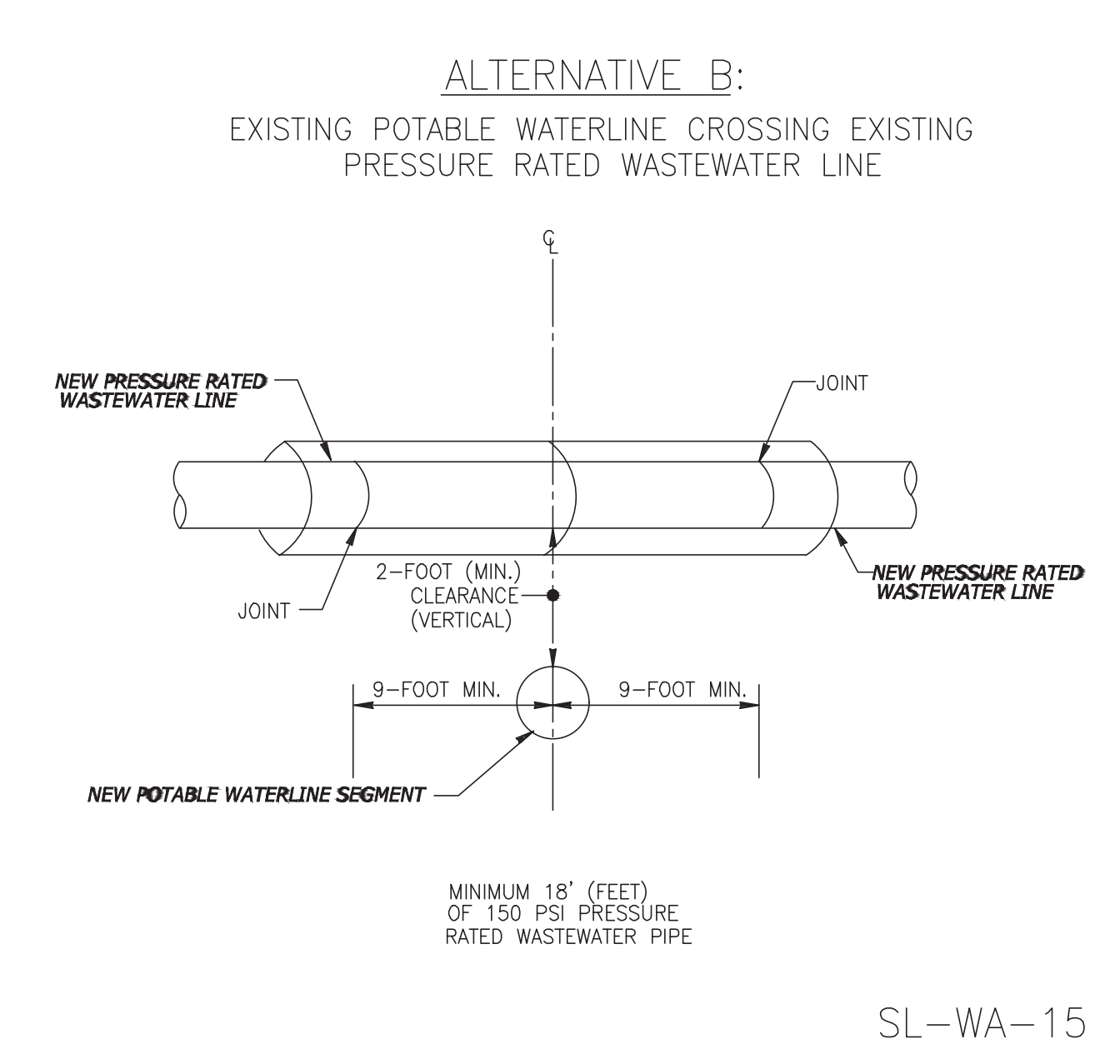
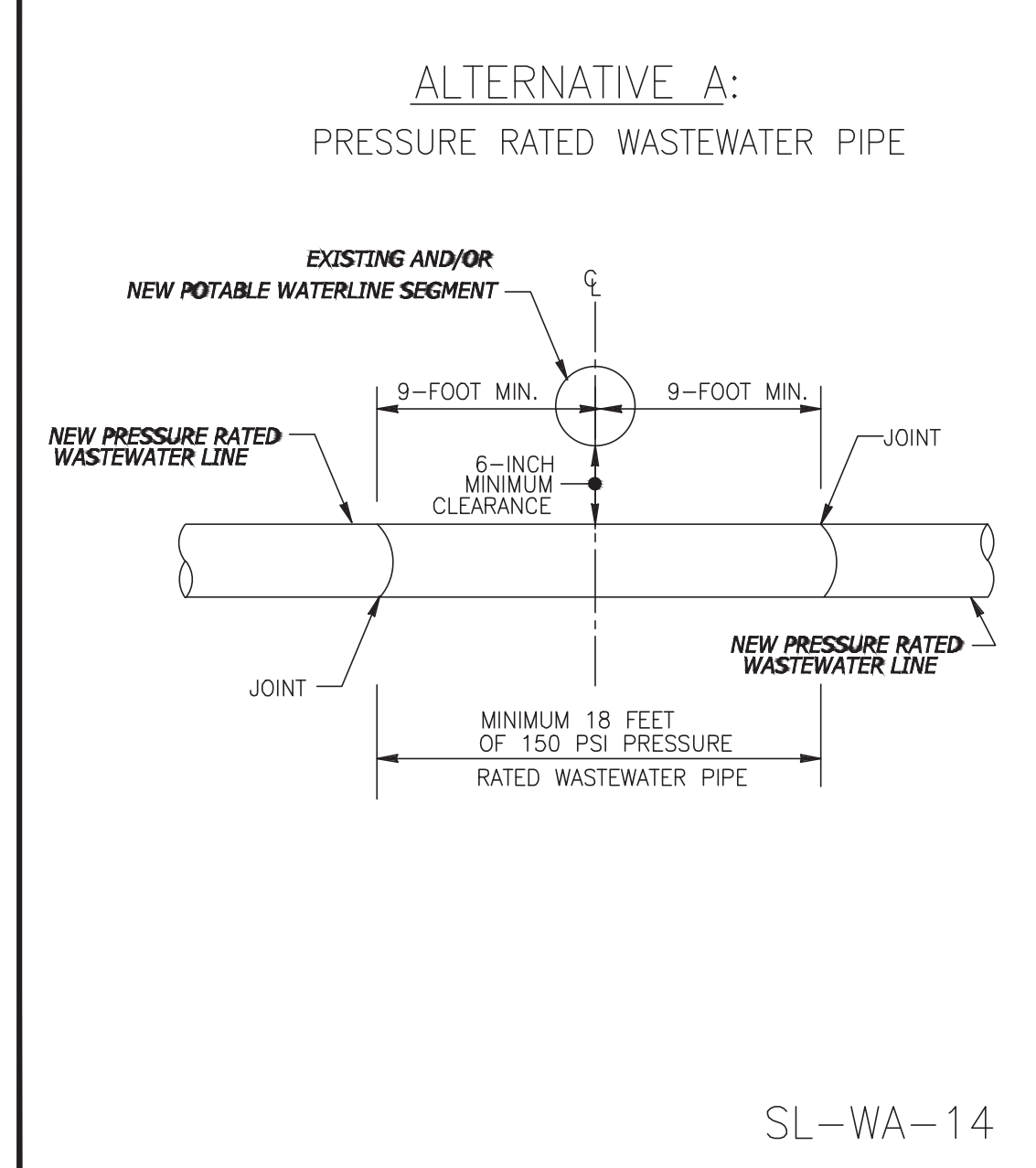
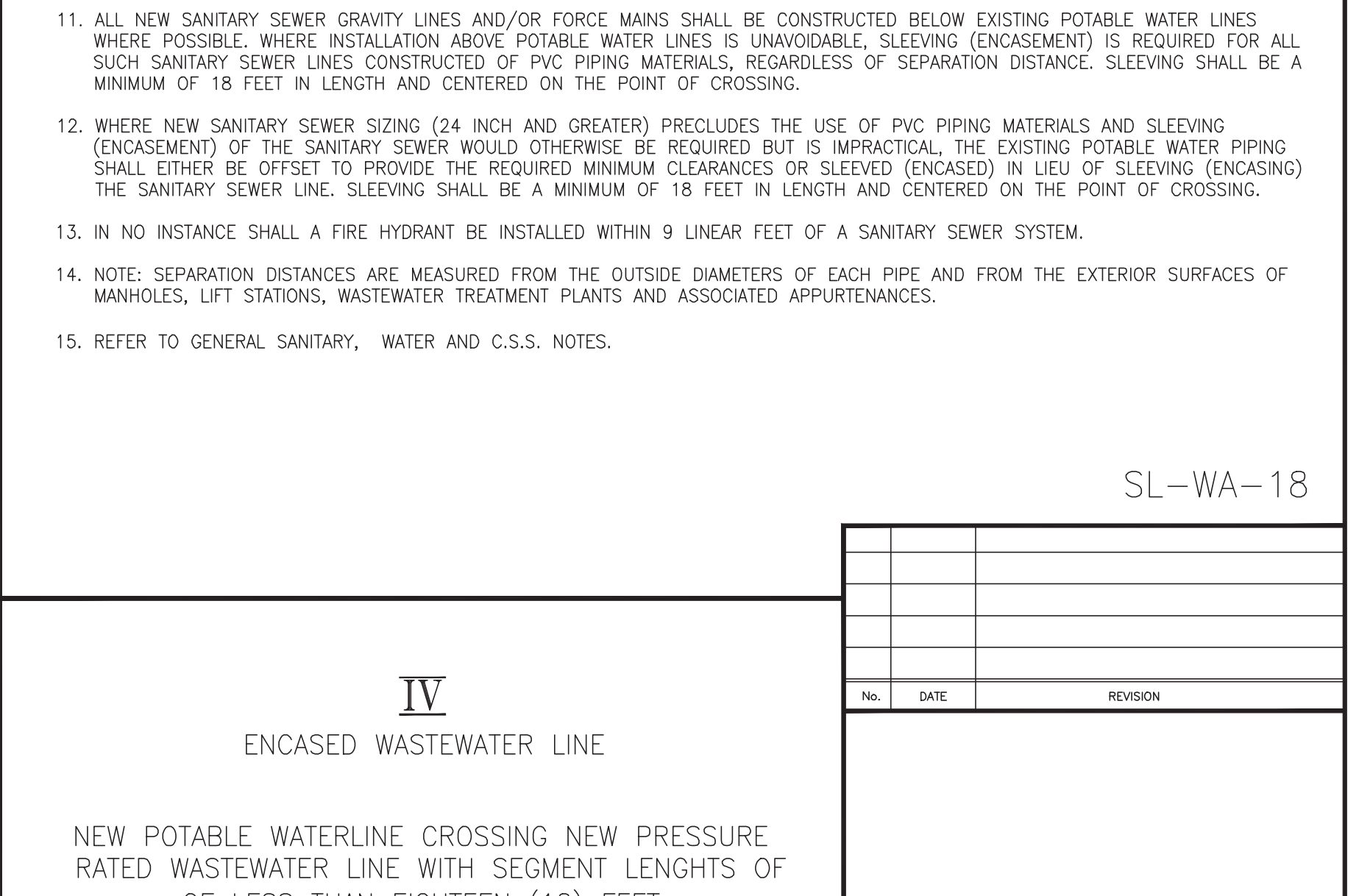
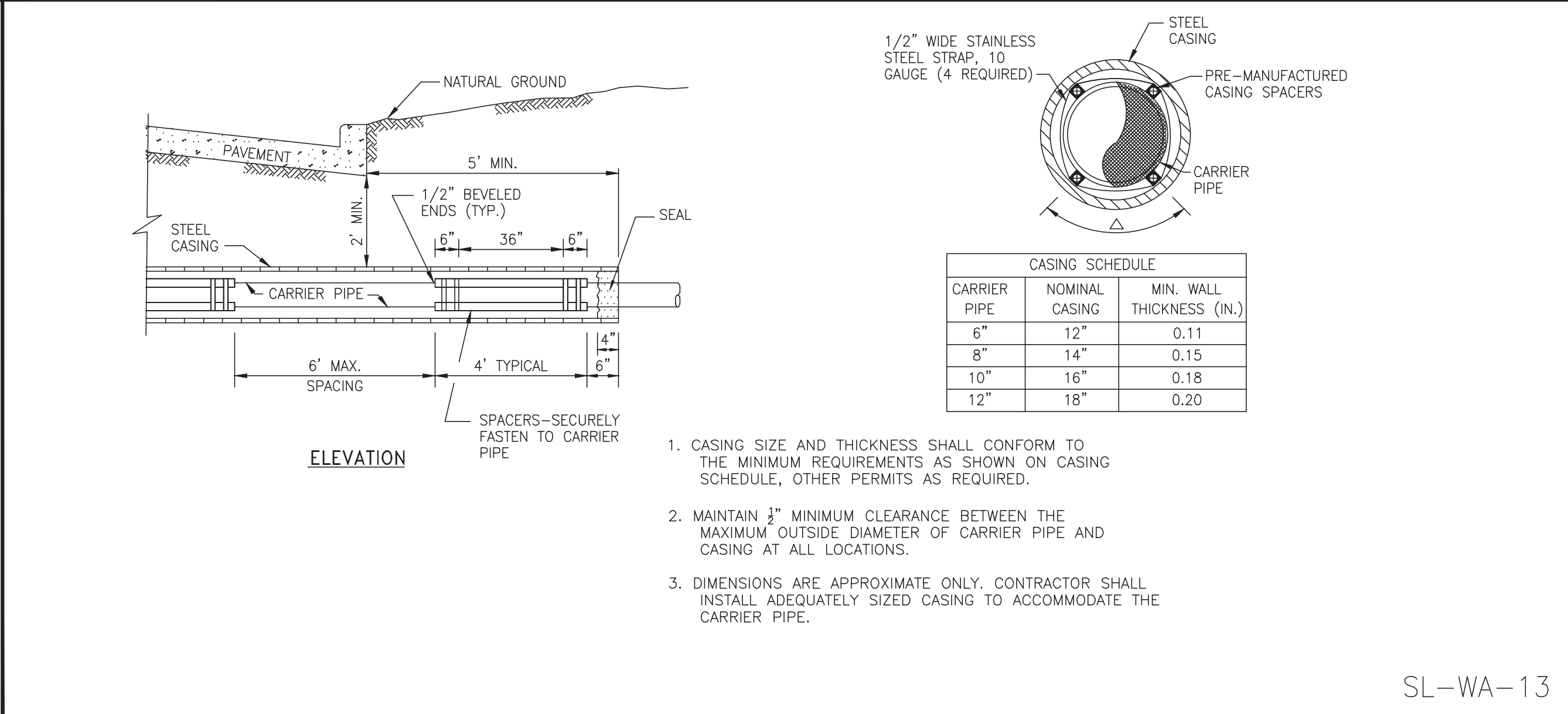
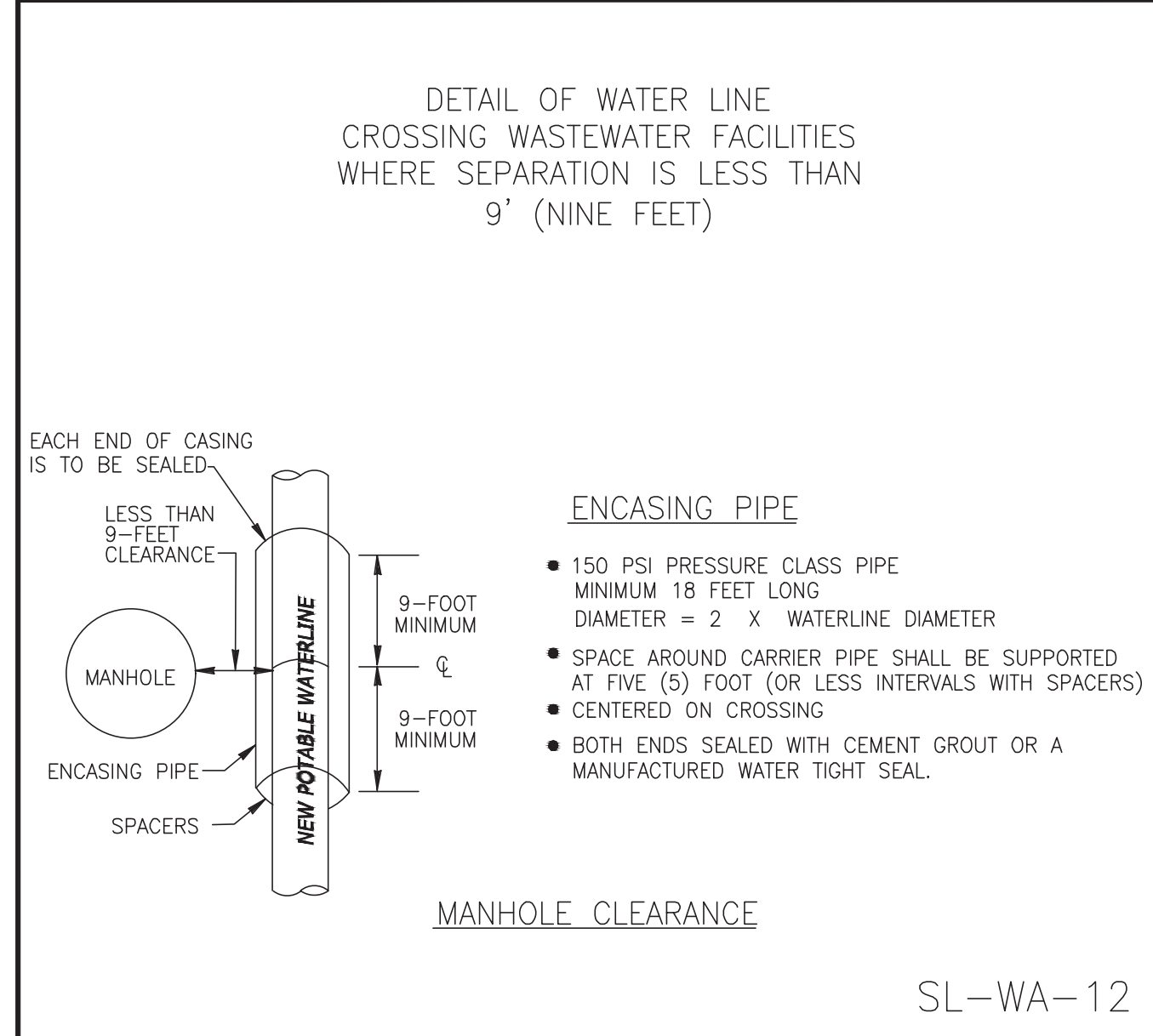
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WATER LINE CONSTRUCTION DETAILS
SL-15

PROJECT NO. 14396



- GENERAL NOTES:
- CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
 - SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
 - ALL NEW POTABLE WATER LINES AND SANITARY SEWER FORCE MAINS SHALL BE BEDDED IN COMPACTED BANK SAND A MINIMUM OF 6 INCHES BELOW, ABOVE AND TO EITHER SIDE OF SUCH PIPING.
 - ALL NEW SANITARY SEWER GRAVITY DRAIN LINES SHALL BE BEDDED IN CEMENT STABILIZED SAND CONFORMING TO THE REQUIREMENTS FOR EITHER CLASS "A" STANDARD BEDDING OR CLASS "A-A" BEDDING AS APPLICABLE. USE OF MODIFIED "A" OR MODIFIED "A-A" BEDDING FOR SANITARY SEWER INSTALLATIONS WHERE WET SAND CONDITIONS ARE ENCOUNTERED AND SEPARATION DISTANCE TO POTABLE WATER LINES IS LESS THAN 9 FEET REQUIRES APPROVAL BY CITY ENGINEER.
 - CEMENT STABILIZED BEDDING SHALL BE A MINIMUM 1.5 SACK PER CUBIC YARD C.S.S., INSTALLED IN MAXIMUM LIFTS OF 8 INCHES AND MECHANICALLY TAMPED TO 95% PROCTOR.
 - WHERE REQUIRED, SLEEVING (ENCASEMENT) OF POTABLE WATER PIPING AND/OR SANITARY SEWER GRAVITY DRAIN LINES AND FORCE MAINS SHALL BE PROVIDED. SUCH SLEEVING (ENCASEMENT) SHALL BE CONSTRUCTED OF APPROVED PIPING MATERIALS HAVING A MINIMUM PRESSURE RATING OF 150 PSI AND ANNUAL SPACES AT EACH END SHALL BE SEALED WITH A MATERIAL APPROVED FOR SUCH USE.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE A MINIMUM OF 9 FEET SEPARATION DISTANCE TO EXISTING OR PROPOSED SANITARY SEWER MANHOLE, LIFT STATION OR WASTEWATER TREATMENT PLANT CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING. WHERE PIPING IS LAID PARALLEL AND MINIMUM SEPARATION DISTANCES CANNOT BE MAINTAINED, SLEEVING SHALL EXTEND AT LEAST 9 FEET PAST THE POINT WHERE MINIMUM SEPARATION DISTANCES ARE ACHIEVED.
 - ALL NEW POTABLE WATER LINES SHALL BE CONSTRUCTED ABOVE EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS WHERE POSSIBLE. WHERE INSTALLATION BENEATH SANITARY SEWER GRAVITY LINES OR FORCE MAINS IS UNAVOIDABLE AT POINTS OF CROSSING, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL NEW POTABLE WATER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS CONSTRUCTED OF PVC PIPING MATERIALS SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING POTABLE WATER PIPING CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS SHALL BE CONSTRUCTED BELOW EXISTING POTABLE WATER LINES WHERE POSSIBLE. WHERE INSTALLATION ABOVE POTABLE WATER LINES IS UNAVOIDABLE, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL SUCH SANITARY SEWER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - WHERE NEW SANITARY SEWER SIZING (24 INCH AND GREATER) PRECLUDES THE USE OF PVC PIPING MATERIALS AND SLEEVING (ENCASEMENT) OF THE SANITARY SEWER WOULD OTHERWISE BE REQUIRED BUT IS IMPRACTICAL, THE EXISTING POTABLE WATER PIPING SHALL EITHER BE OFFSET TO PROVIDE THE REQUIRED MINIMUM CLEARANCES OR SLEEVED (ENCASED) IN LIEU OF SLEEVING (ENCASING) THE SANITARY SEWER LINE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - IN NO INSTANCE SHALL A FIRE HYDRANT BE INSTALLED WITHIN 9 LINEAR FEET OF A SANITARY SEWER SYSTEM.
 - NOTE: SEPARATION DISTANCES ARE MEASURED FROM THE OUTSIDE DIAMETERS OF EACH PIPE AND FROM THE EXTERIOR SURFACES OF MANHOLES, LIFT STATIONS, WASTEWATER TREATMENT PLANTS AND ASSOCIATED APPURTENANCES.
 - REFER TO GENERAL SANITARY, WATER AND C.S.S. NOTES.



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

STATE OF TEXAS
56739
DOUGLAS B. ROESLER
LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739

03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

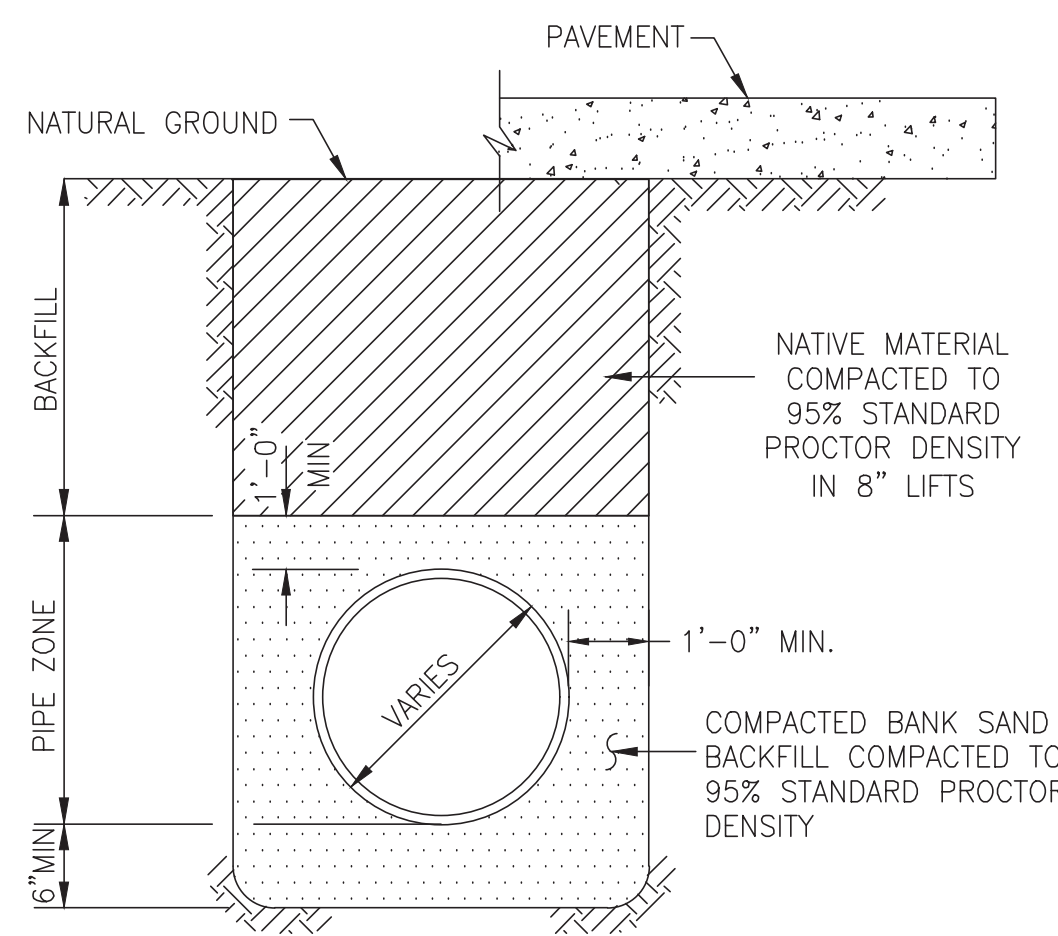
CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

WATER LINE CROSSING DETAILS

SL-16

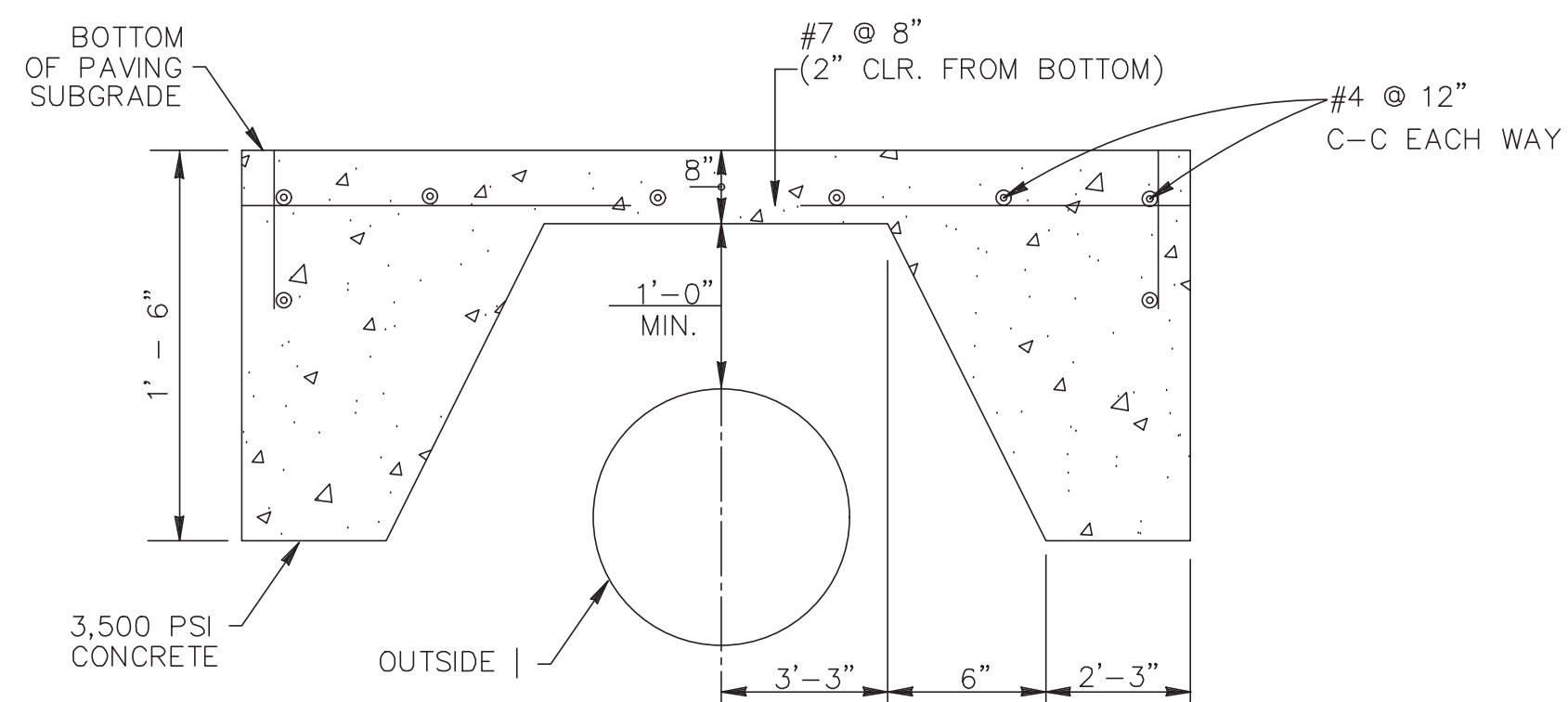
PROJECT NO. 14396



P.V.C. PIPE BEDDING & BACKFILL
N.T.S.
*SEE CONSTRUCTION NOTES

**SANITARY FORCE MAIN & WATER LINE
BEDDING AND BACKFILL**

SL-BB-01



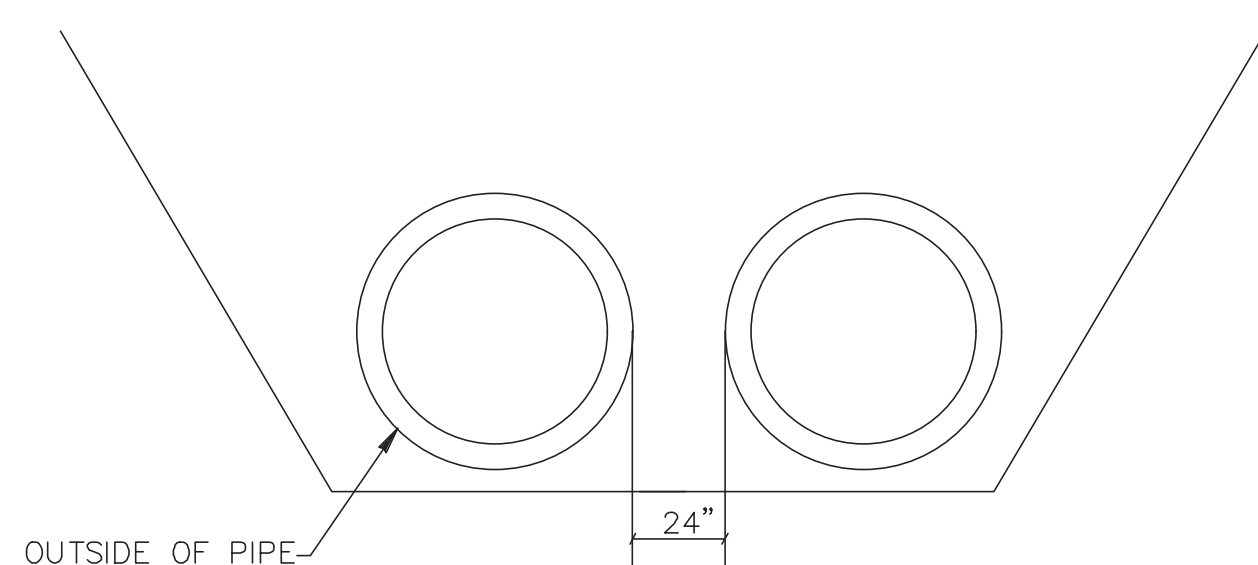
**PROTECTIVE SLAB DETAIL
ZERO LOAD TRANSFER CONCRETE SLAB**

SL-BB-04

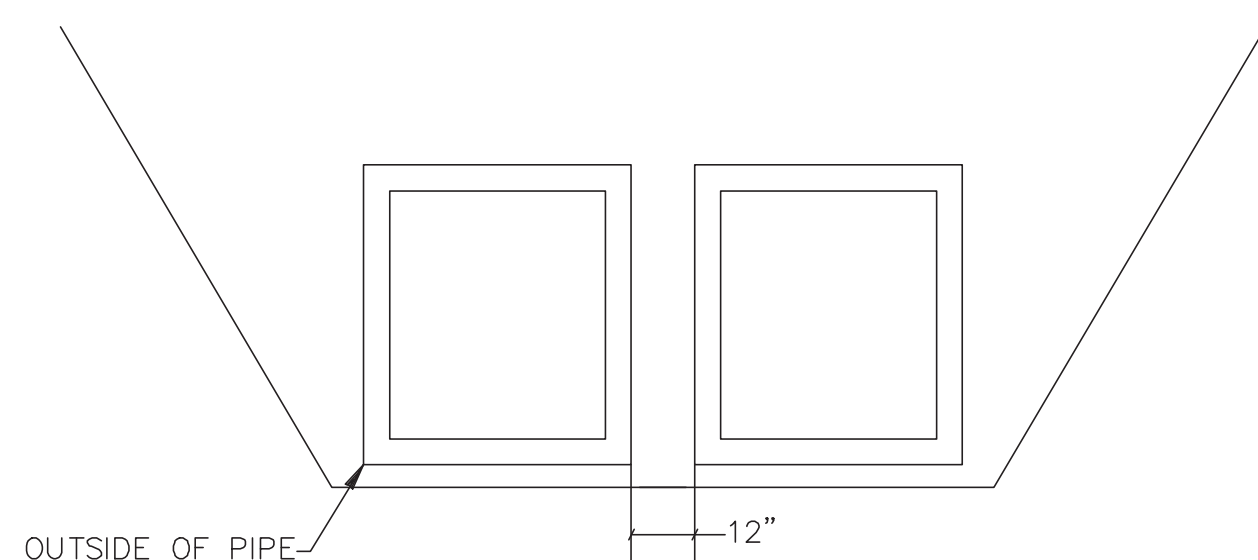
CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEERING DEPARTMENT IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUNTERED.
- LIMESTONE AND RECYCLED CONCRETE DIMENSIONS SHOWN ARE TYPICAL BUT MAY BE VARIED BY ORDER OF CITY ENGINEER.
- LIMESTONE OR RECYCLED CONCRETE SHALL BE IN ACCORDANCE WITH TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPE A, GRADE 2 AGGREGATE.
- NO BEDDING SHALL BE INSTALLED IN WET CONDITIONS. WHEN WELL POINTING OR IN WET SAND CONDITIONS, MAINTAIN GROUND WATER 1 (FT) BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24-HRS AFTER BEDDING AND BACKFILL IS IN PLACE.
- ALL MATERIALS SHALL BE FROM THE APPROVED PRODUCTS LIST UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER.
- SANITARY SEWER BEDDING FOR WET SAND CONDITIONS SHALL BE AS PER MODIFIED "A".
- ALL SAND BEDDING FOR WATER LINES SHALL BE CLEAN, MECHANICALLY COMPACTED BANK SAND.
- REFER TO: MANHOLE DETAILS, SANITARY, C.S.S., GENERAL, WATER CROSSING, WATER DISTRIBUTION DETAILS AND NOTES.
- ALL BEDDING WILL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- A GEOTECHNICAL REPORT MAY BE REQUIRED TO ANALYZE THE BEARING CAPACITY OF EXISTING SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDDING AND BACKFILL IS APPROPRIATE.

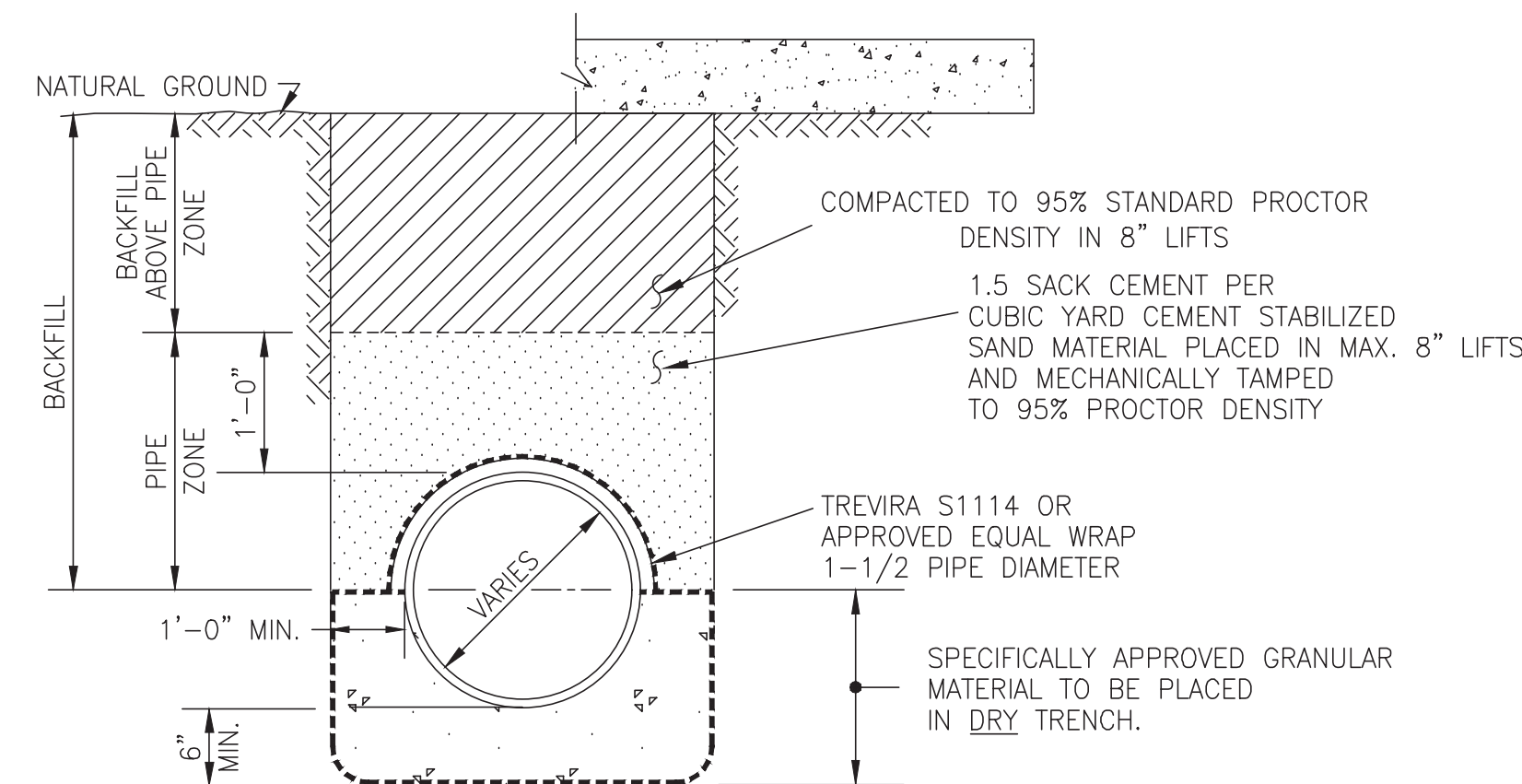
SL-BB-05



PIPE SEPARATION



RCB SEPARATION



MODIFIED "A"
N.T.S.


NOTE: C.S.S. SHALL BE INSTALLED A MIN. 1' ABOVE TOP OF PIPE.

**SANITARY SEWER
BEDDING AND BACKFILL**

SL-BB-03

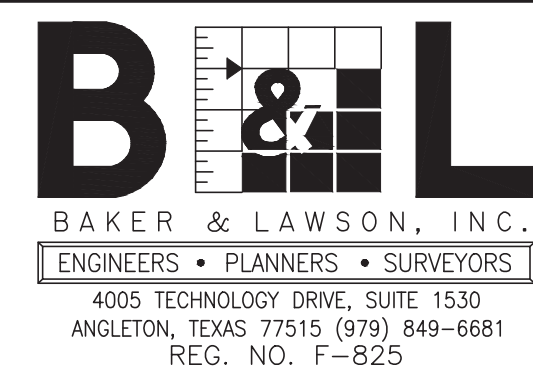
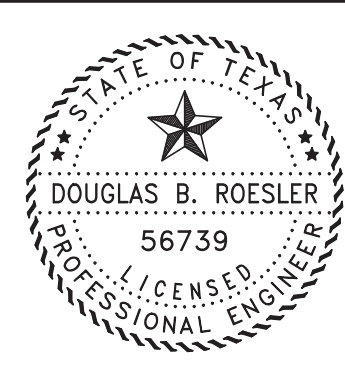
REFER TO:

- GENERAL NOTES
- C.S.S. NOTES

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
WATER LINE, SANITARY SEWER FORCE MAIN BEDDING DETAILS		
JOB No.:	SL-19	SHEET OF
DATE:		
DESIGNED BY:		
DRAWN BY:		
CHECKED BY:		
SCALE:		

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

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DR 03-03-2023

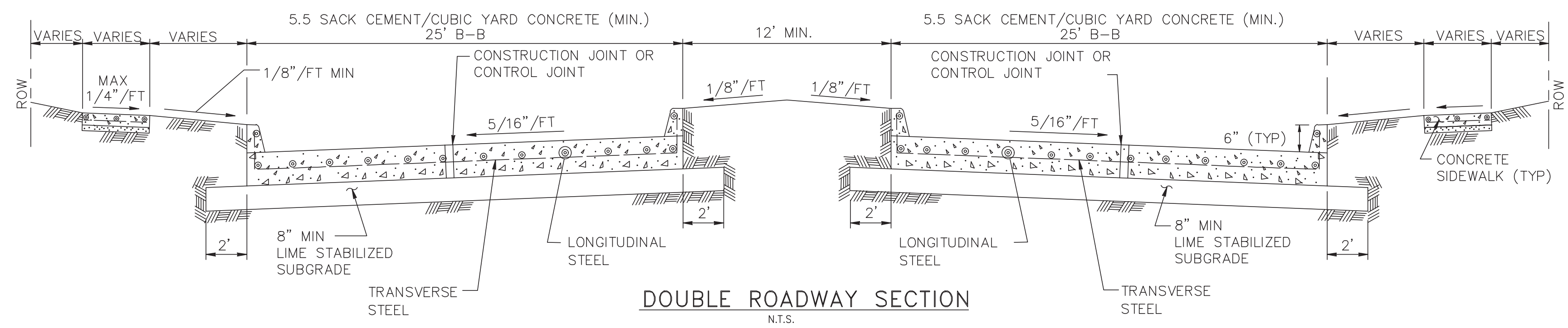
OWNER:
**RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057**

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

**RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515**

**WATER LINE, SANITARY
SEWER FORCE MAIN
BEDDING DETAILS
SL-19**

PROJECT NO. 14396

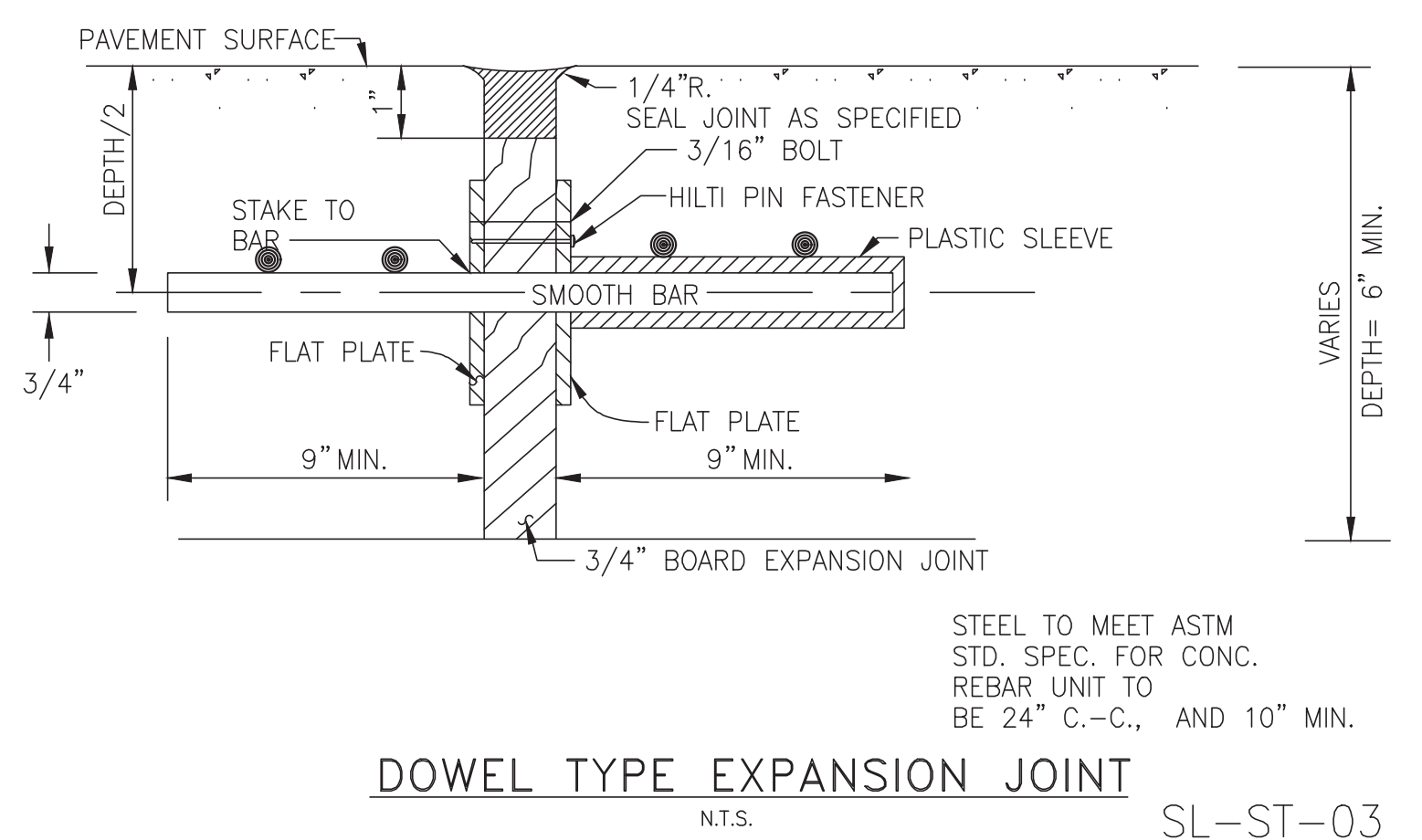


SL-ST-01

CONSTRUCTION NOTES:

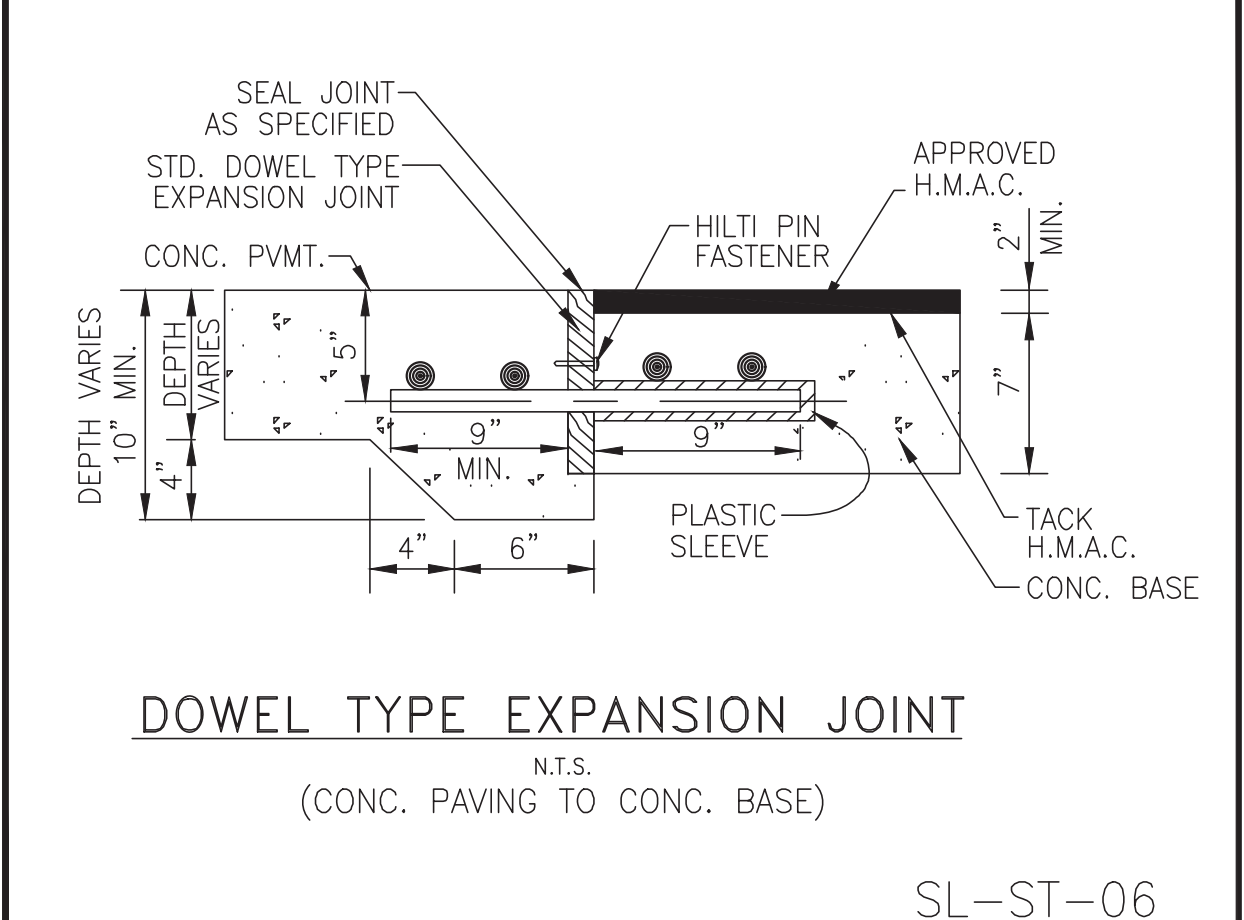
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR LOCAL STREETS
- 7 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 18 INCHES C-C, IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS
- EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS.
- HARD AGGREGATE IS NOT ALLOWED IN STREET PAVEMENT MIX. ADMIXTURES REQUIRE CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT APPROVAL.
- TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 200' AND BE SEALED WITH SEALANT CONFORMING TO TXDOT ITEM 360 (& ITEM 438) AND TXDOT DMS-6310, CLASS-2.
- TRANSVERSE CONTROL JOINTS ARE REQUIRED AT MAXIMUM SPACING OF 20'-0" C-C, AND VERTICAL CURB JOINTS TO BE SEALED WITH SPECIAL JOINT SEALANT ASTM-D-1190-74 OR AASHTO-M173-60 FOR PAVEMENT 8" THICK AND GREATER. (ELASTOMERIC TYPE HOT Poured)
- PAVEMENT FINISH SHALL BE BAKER BROOM FINISH. CURING COMPOUND REQUIRED ON ALL CONCRETE.
- STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED, MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM QUALITY MANUAL OF THE CITY OF SUGAR LAND. CITY ENGINEER'S APPROVAL.
- REFER TO GENERAL, C.S.S., AND PAVEMENT NOTES.

SL-ST-12



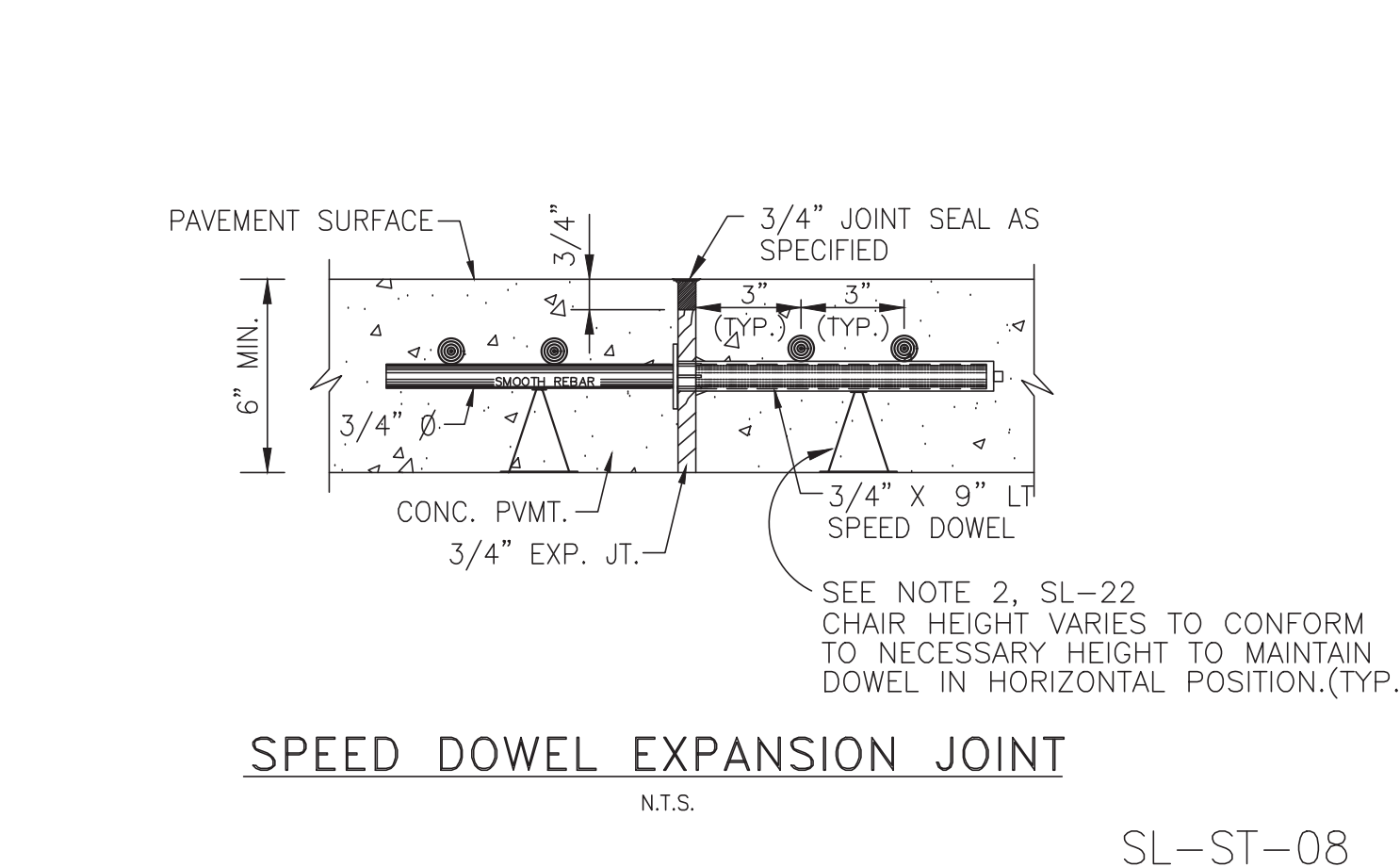
DOWEL TYPE EXPANSION JOINT N.T.S.

SL-ST-03



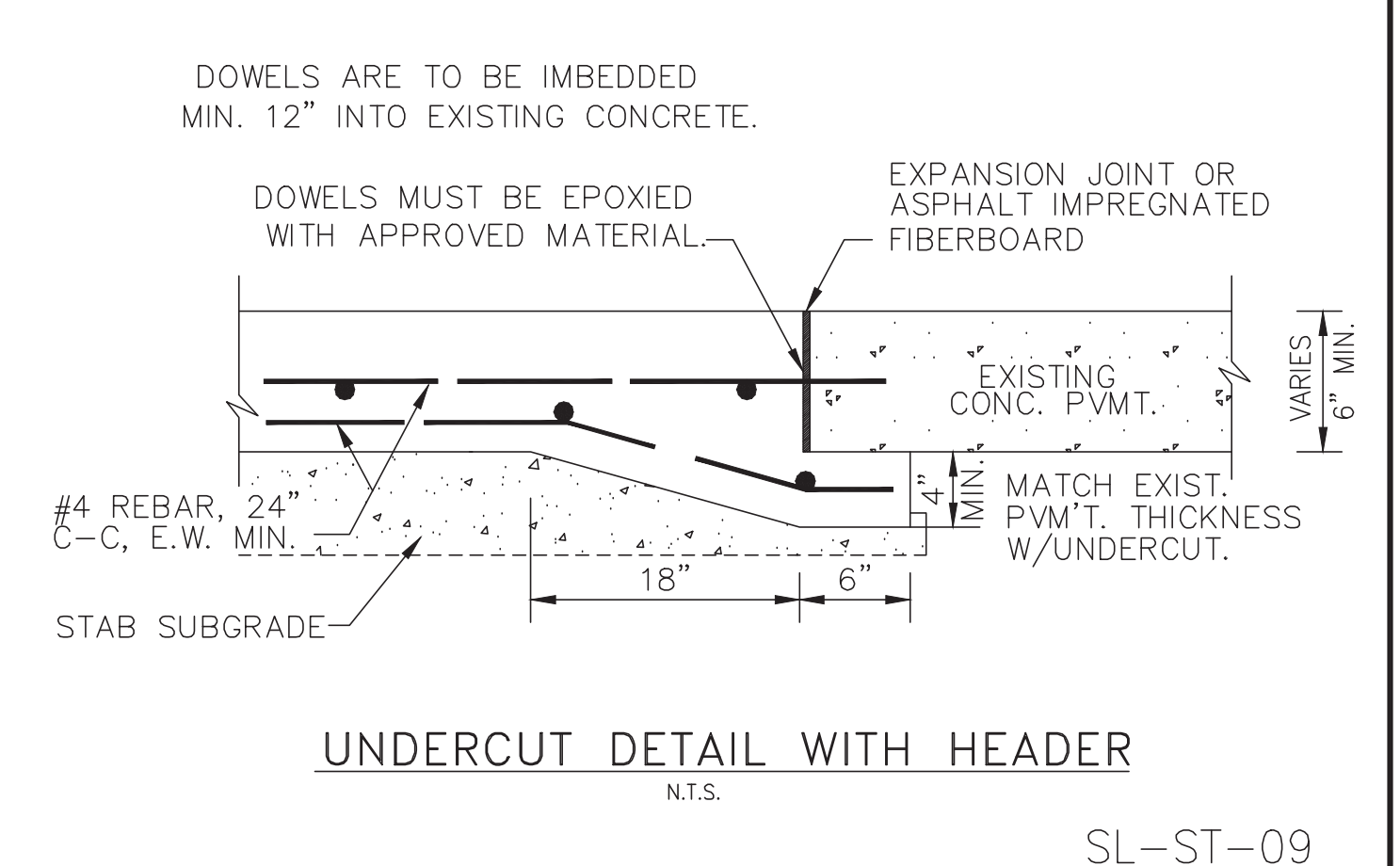
DOWEL TYPE EXPANSION JOINT (CONC. PAVING TO CONC. BASE) N.T.S.

SL-ST-06



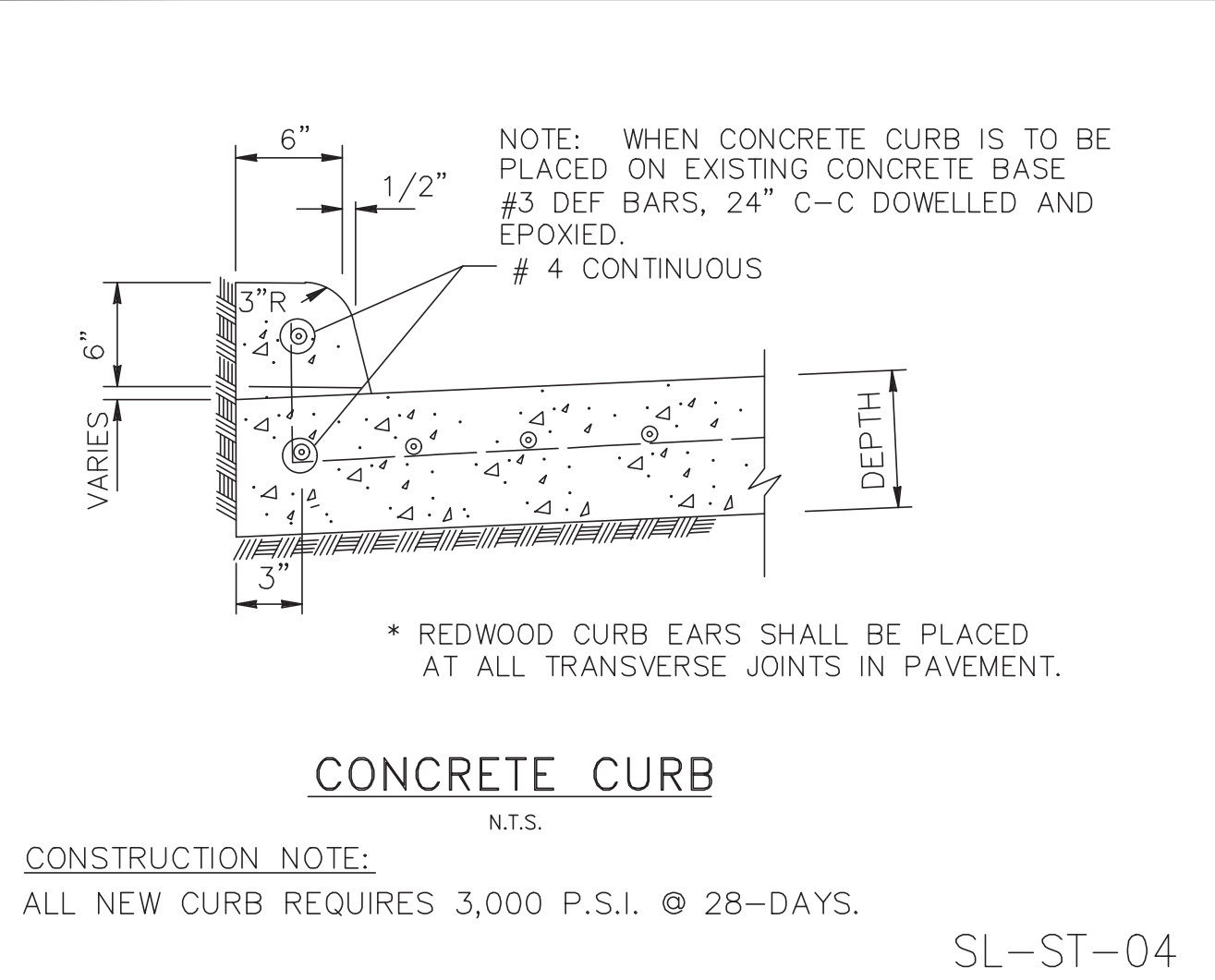
SPEED DOWEL EXPANSION JOINT N.T.S.

SL-ST-08



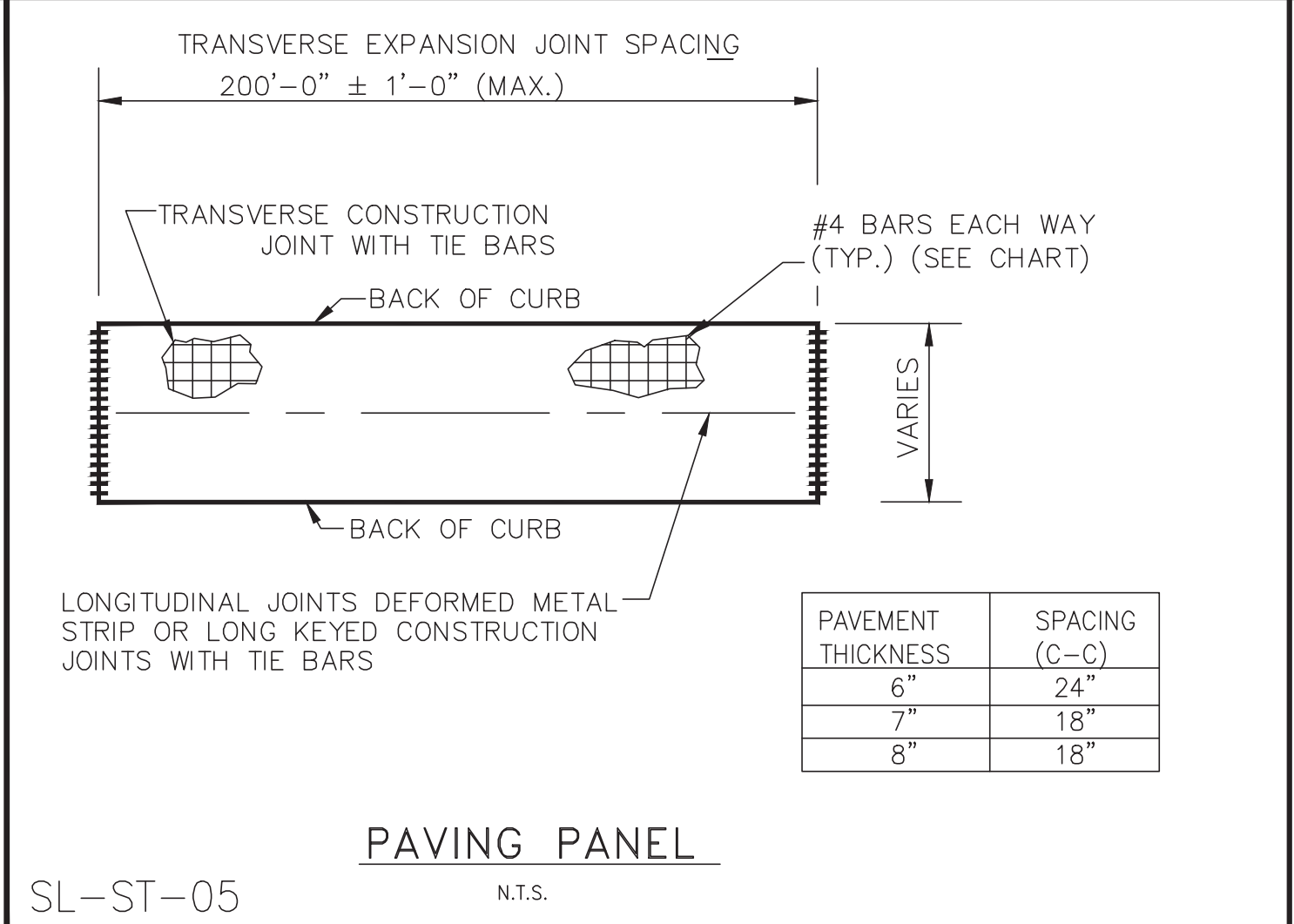
UNDERCUT DETAIL WITH HEADER N.T.S.

SL-ST-09



CONCRETE CURB N.T.S.

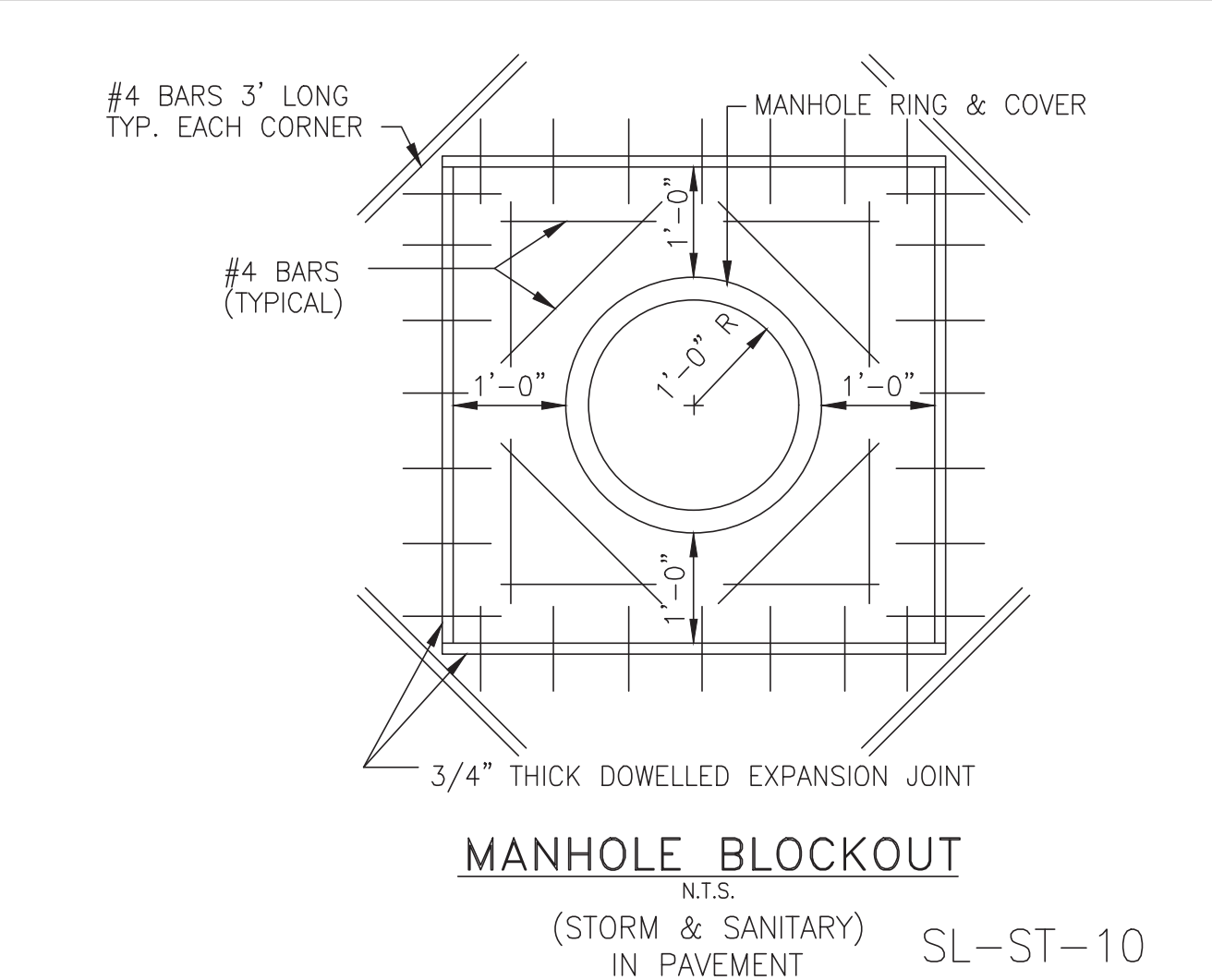
SL-ST-04



PAVING PANEL N.T.S.

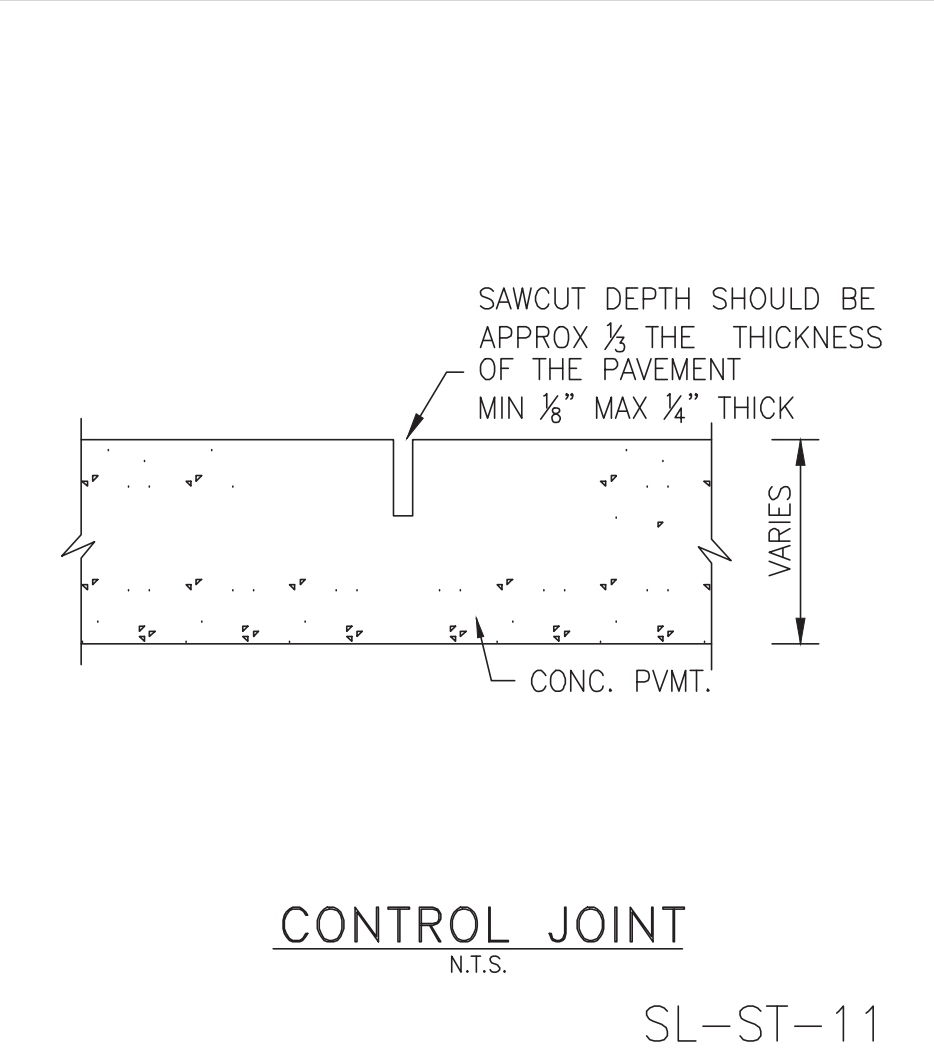
SL-ST-05

PAVEMENT THICKNESS	SPACING (C-C)
6"	24"
7"	18"
8"	18"



MANHOLE BLOCKOUT N.T.S. (STORM & SANITARY) IN PAVEMENT

SL-ST-10

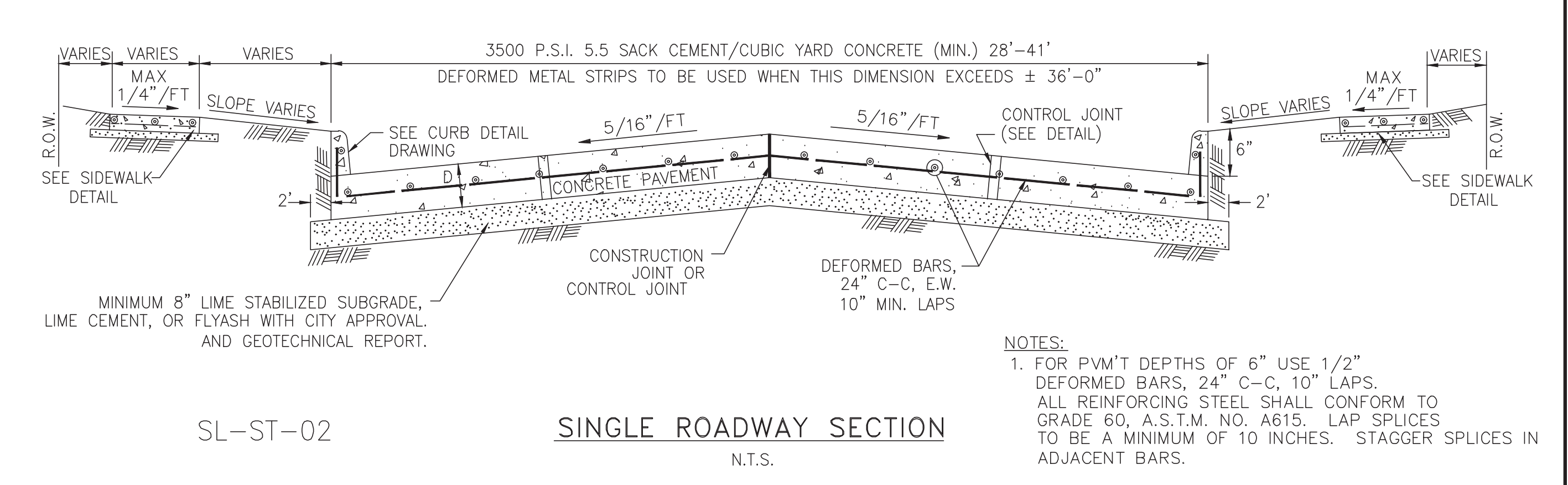


CONTROL JOINT N.T.S.

SL-ST-11

No.	DATE	REVISION

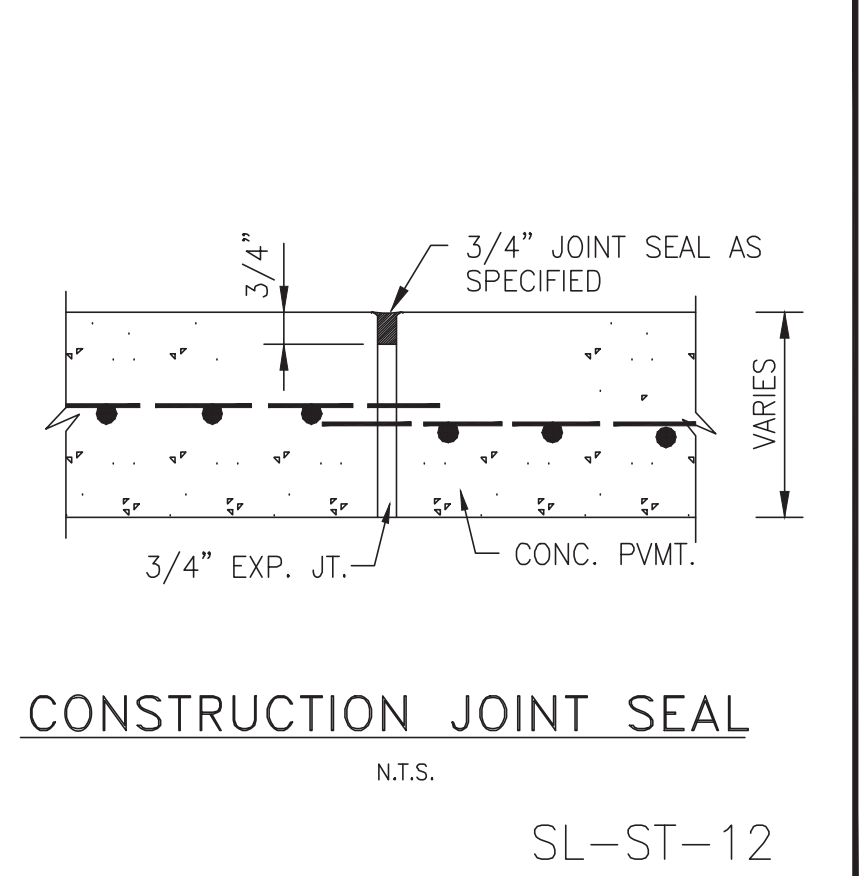
DESIGN ENGINEER: _____ DATE: _____



SL-ST-02

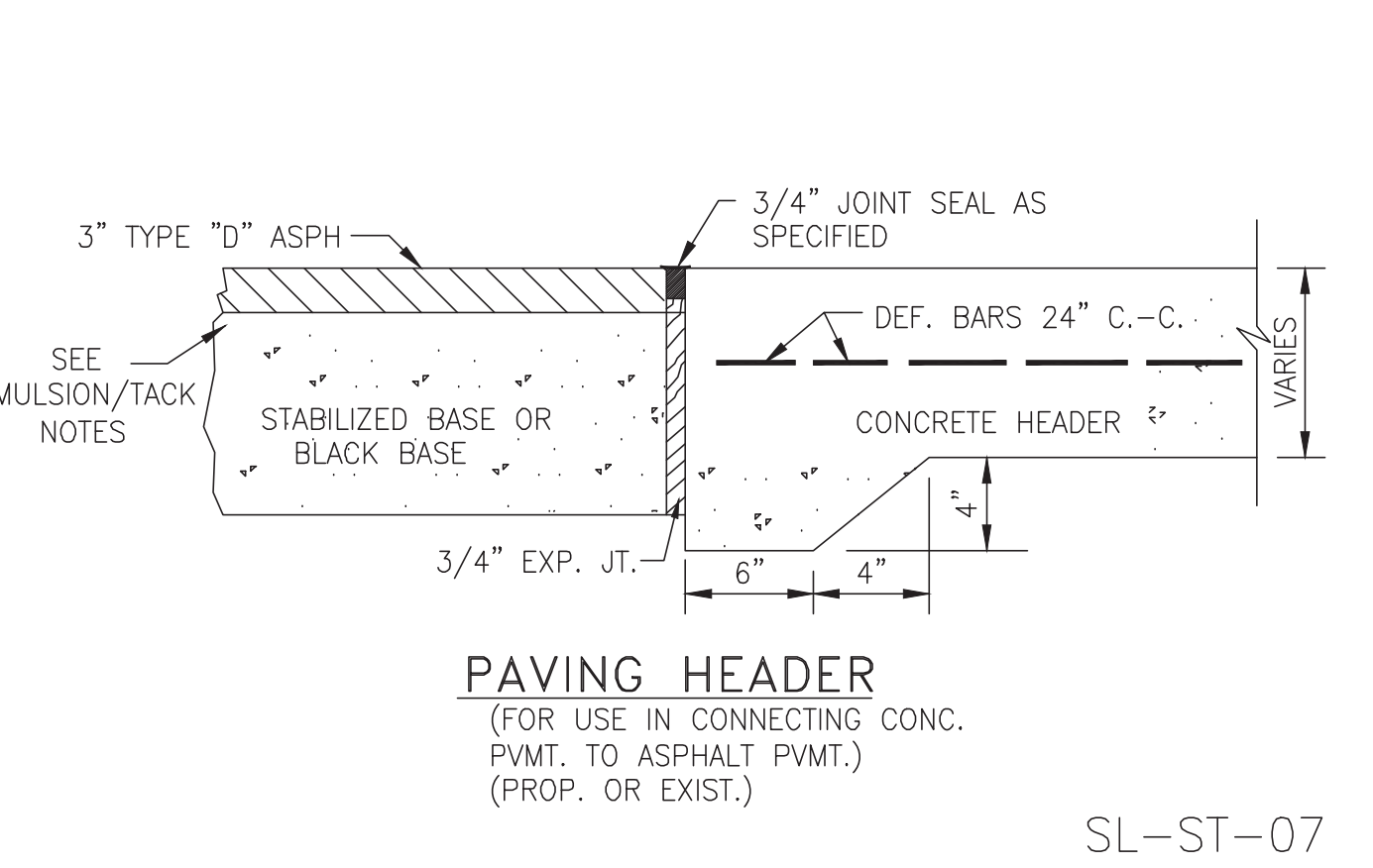
SINGLE ROADWAY SECTION N.T.S.

N.T.S.



CONSTRUCTION JOINT SEAL N.T.S.

SL-ST-12



PAVING HEADER (FOR USE IN CONNECTING CONC. P.V.M.T. TO ASPHALT P.V.M.T.) (PROP. OR EXIST.)

SL-ST-07

CITY OF SUGAR LAND, TEXAS

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

CONCRETE PAVEMENT CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-21
SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

REVISIONS

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

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DOUGLAS B. ROESSLER
56739
LICENSED PROFESSIONAL ENGINEER

03-03-2023

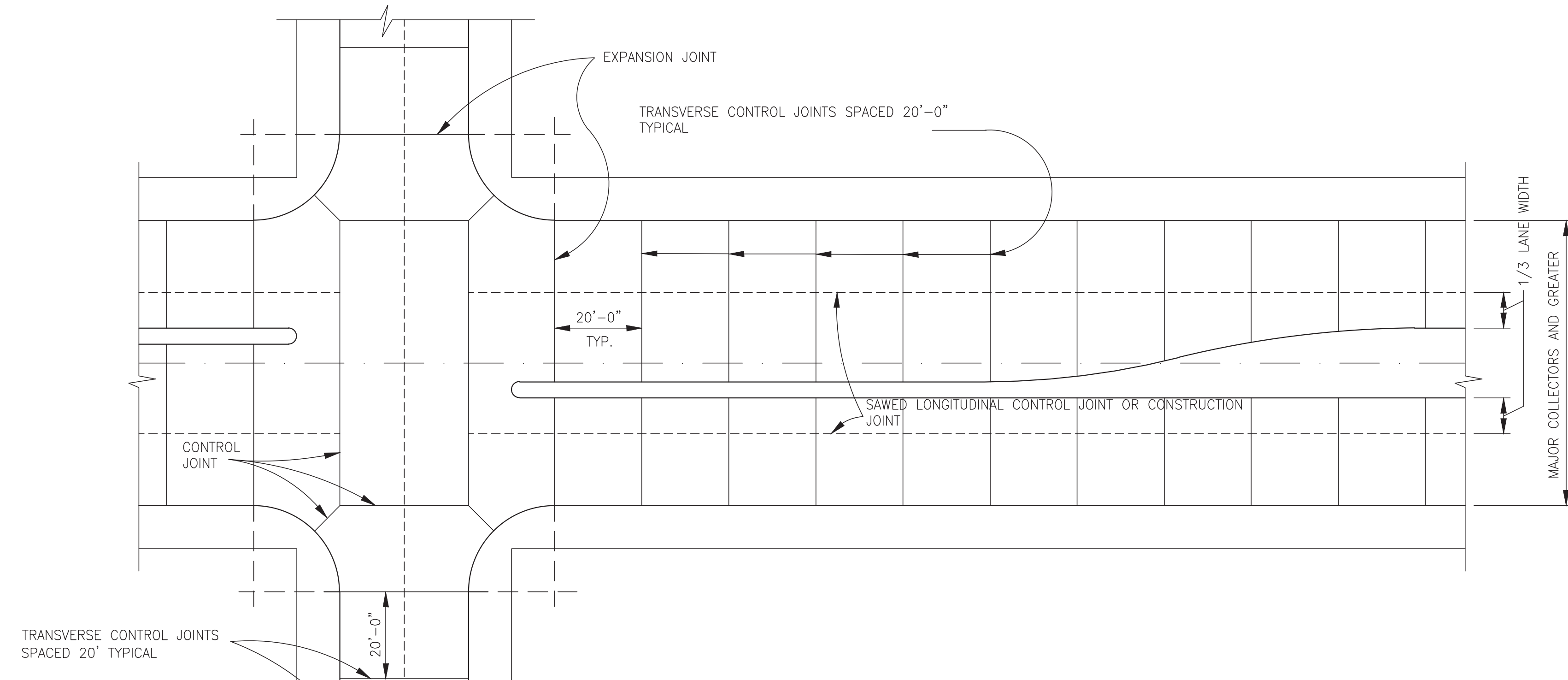
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CONCRETE PAVEMENT CONSTRUCTION DETAILS
SL-21

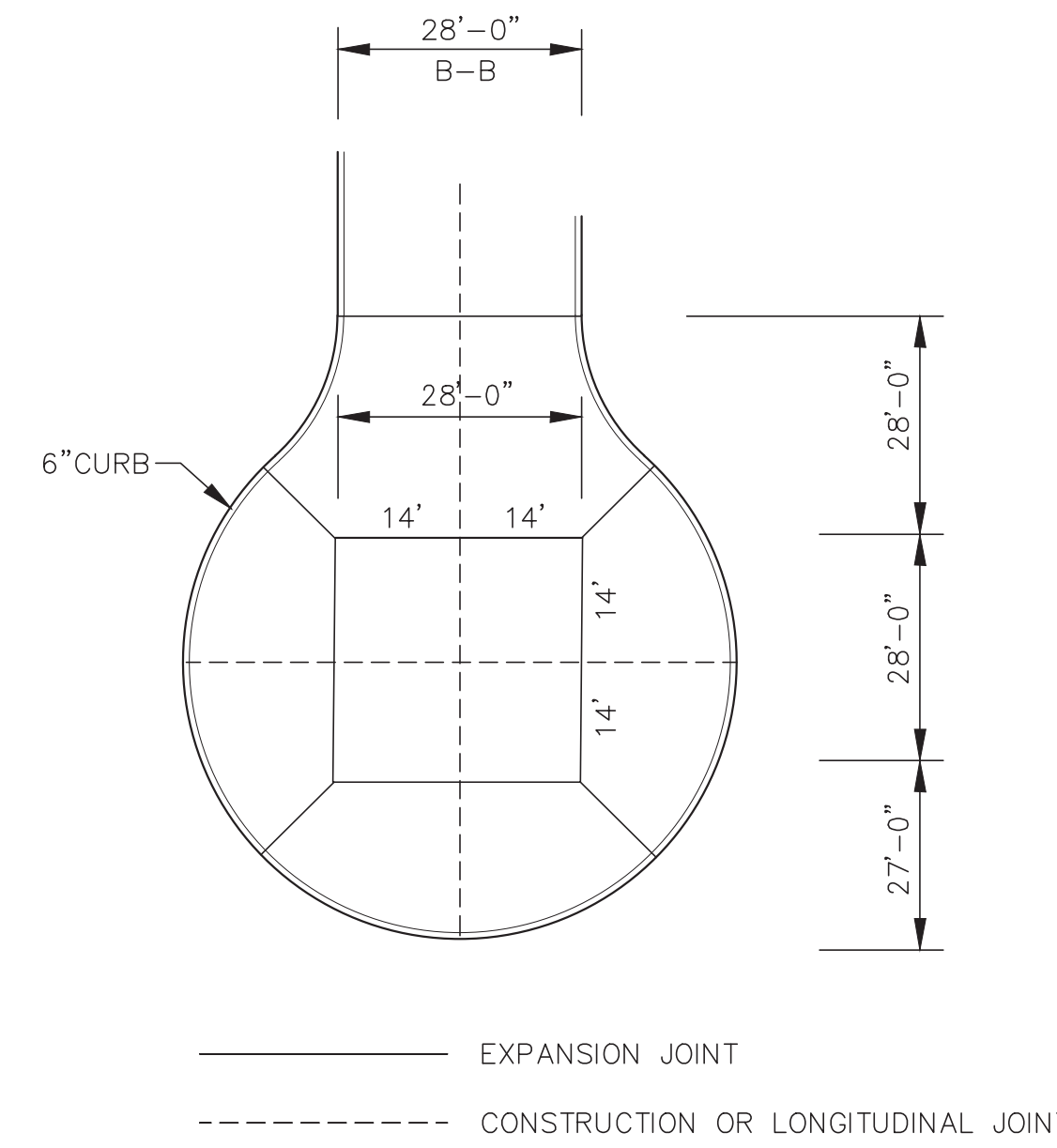
PROJECT NO. 14396




SPACING DIAGRAM FOR JOINTS

1. SPACING OF EXPANSION JOINTS SHALL NOT EXCEED 40 FEET.
2. ALL EXPANSION JOINT DOWEL BARS SHALL BE HELD FIRMLY IN PLACE PARALLEL WITH THE PAVEMENT SURFACE WITH WIRE BASKETS MODIFIED TO MOLD AROUND THE REDWOOD EXPANSION BOARD.
3. ALL TIE BARS SHALL BE 24" MIN. LENGTH AND CENTERED ON THE LONGITUDINAL JOINT.

————— EXPANSION JOINT
 - - - - - CONSTRUCTION OR LONGITUDINAL JOINT

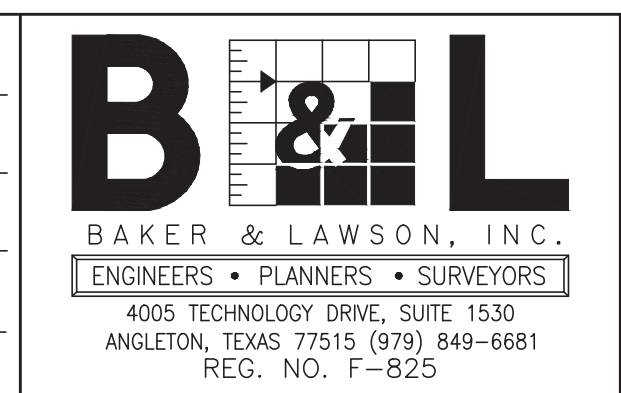


TYPICAL JOINT LAYOUT FOR CUL-DE-SAC

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
CONCRETE PAVEMENT CONSTRUCTION DETAILS		
JOB No.: DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SL-22 SHEET OF	

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6661
 REG. NO. F-825



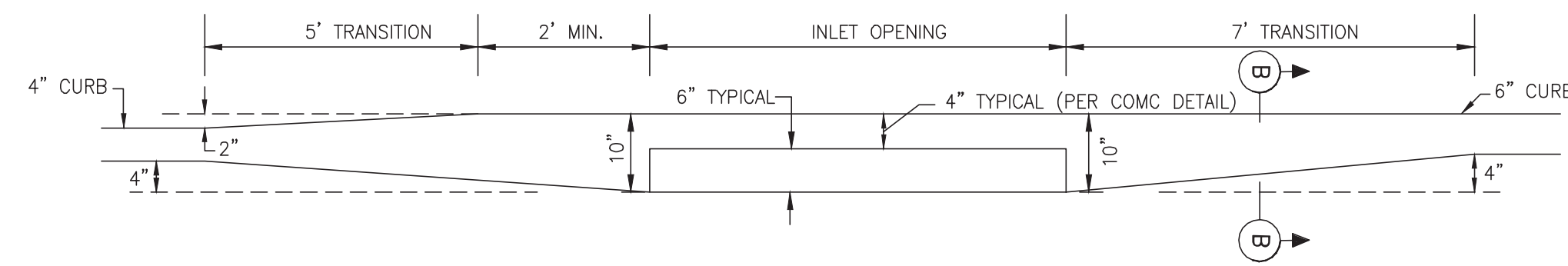
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

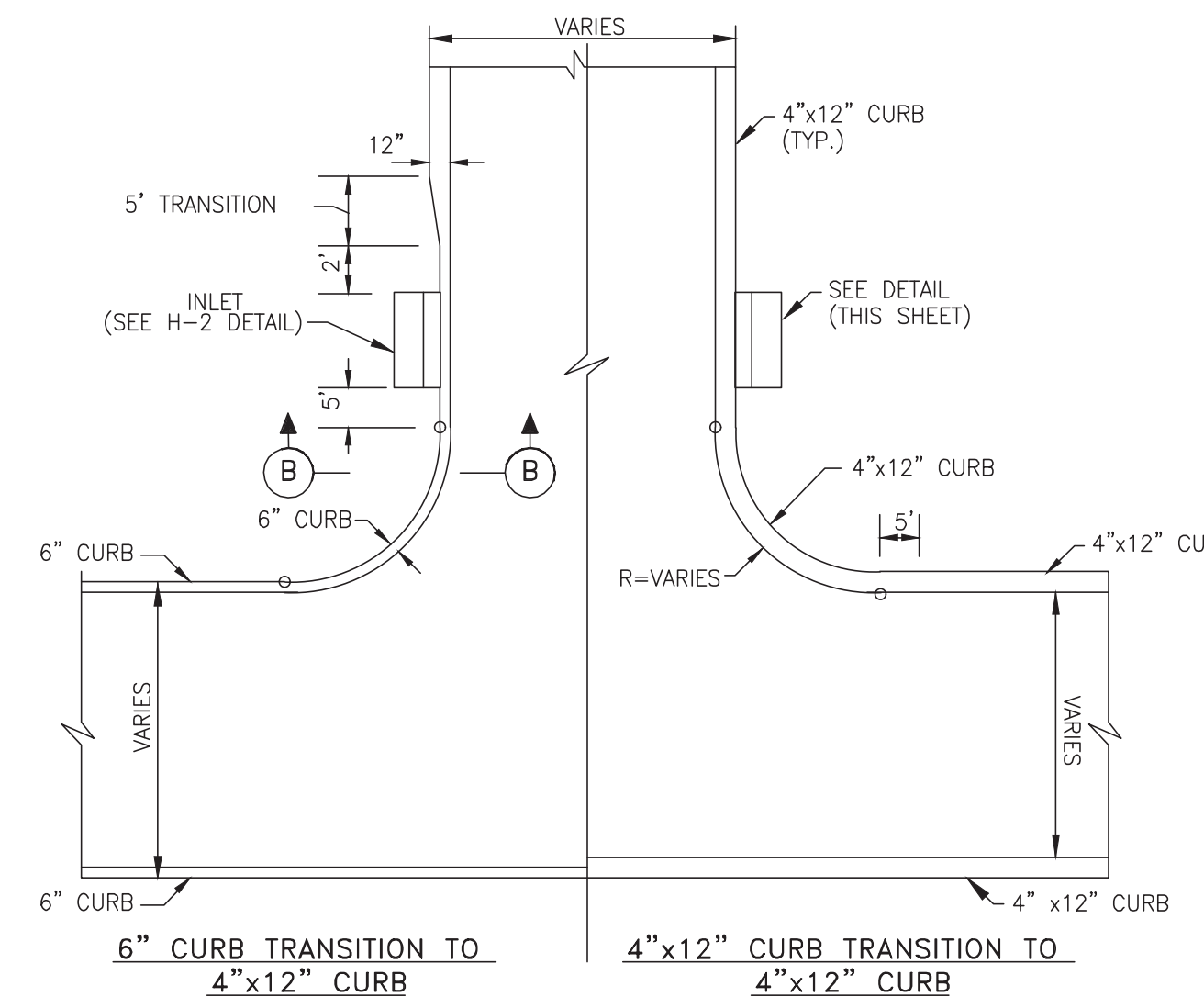
CONCRETE PAVEMENT
 CONSTRUCTION DETAILS
 SL-22

PROJECT NO. 14396



TYPICAL CURB TRANSITION FOR INLET INSTALLATION

SL-ST-13



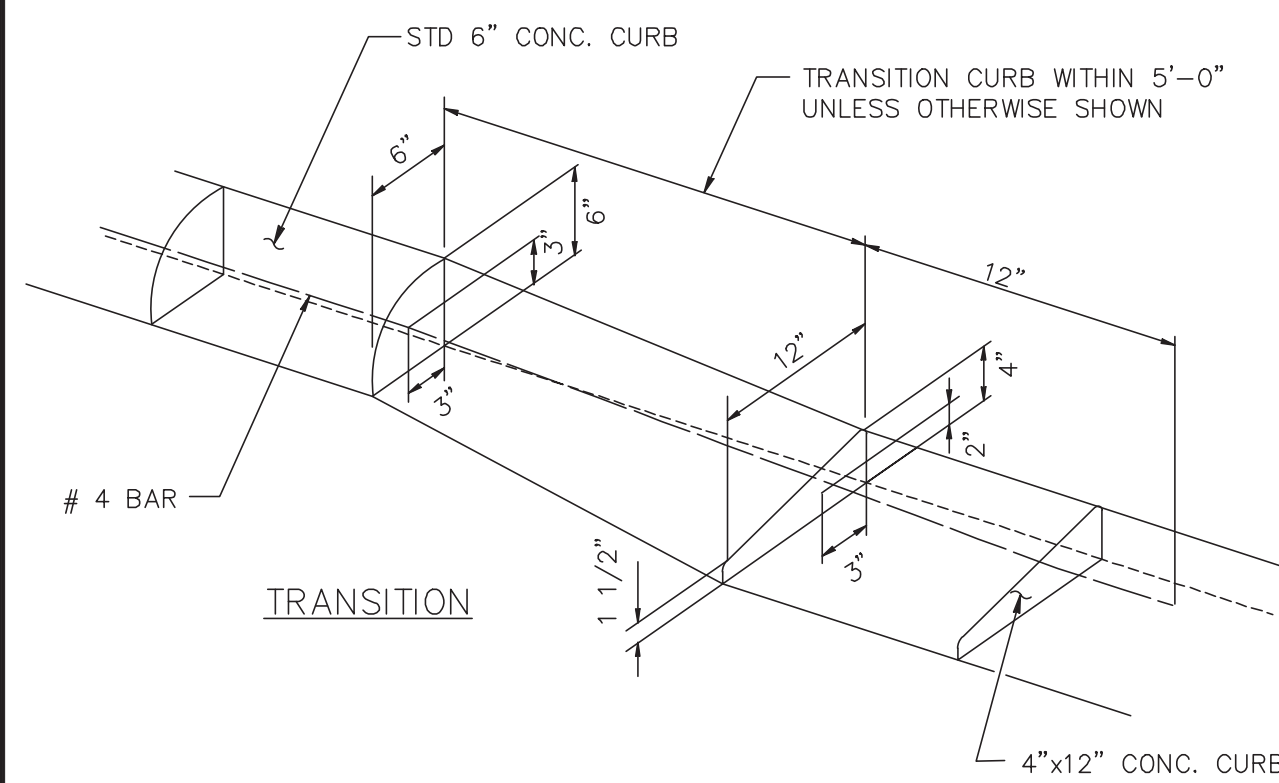
TYPICAL 4"X12" CURB W/INLET TRANSITION FOR CURB RETURNS

SL-ST-14

CONSTRUCTION NOTES:

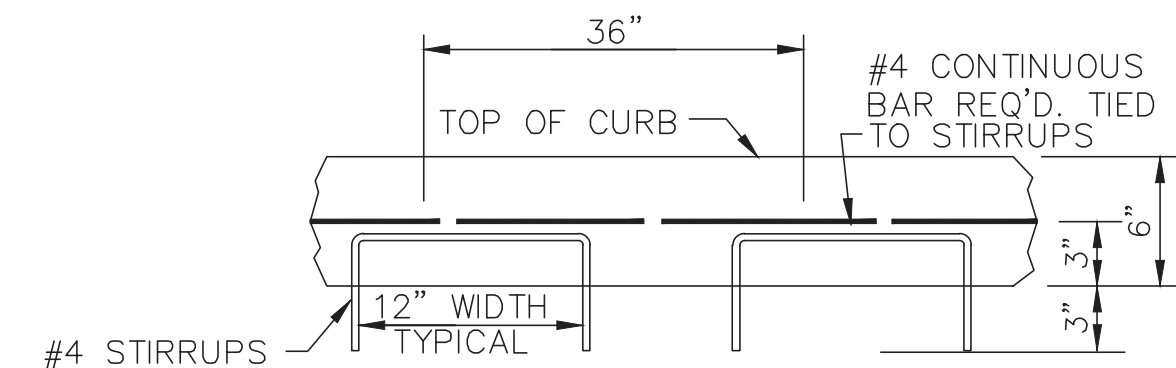
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR RESIDENTIAL STREETS.
- 7 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS
- EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS.
- TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS MAXIMUM SPACING SHALL BE 200' AND BE SEALED CONFORMING TO TXDOT ITEM 360 (& ITEM 438) AND TXDOT DMS-6310, CLASS-2.
- TRANSVERSE CONTROL JOINTS ARE REQUIRED AT MAXIMUM SPACING OF 20'-0" C-C, AND VERTICAL CURB JOINTS TO BE SEALED WITH SPECIAL JOINT SEALANT ASTM-D-1190-74 OR AASHTO-M173-60 FOR PAVEMENT 8" THICK AND GREATER. (ELASTONETRIC TYPE HOT Poured)
- PAVEMENT FINISH SHALL BE BAKER BROOM FINISH. CURING COMPOUND ON ALL CONCRETE.
- STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED, MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM WATER QUALITY MANUAL OF THE CITY OF SUGAR LAND.
- UNSTABLE SUBGRADE SHALL BE EXCAVATED AND REPLACED WITH CEMENT STABILIZED SAND.
- USE 1"x2" REDWOOD STAKES FOR HEADERS.
- EDGE ALL SIDES WITH EDGING TOOL.
- DOWEL SHALL BE 3/4" DIAMETER, WITH MINIMUM 8" PENETRATION (BOTH SIDES).
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CITY OF SUGAR LAND OF ANY BIRDBATH PROBLEMS PRIOR TO CONSTRUCTION OF DRIVEWAY.
- REFER TO GENERAL, C.S.S., AND PAVEMENT NOTES.
- 1.0 LBS. OF APPROVED POLYPROPYLENE FIBER MESH PER C/Y IN 4"X12" CURBS REQUIRED.

SL-ST-20



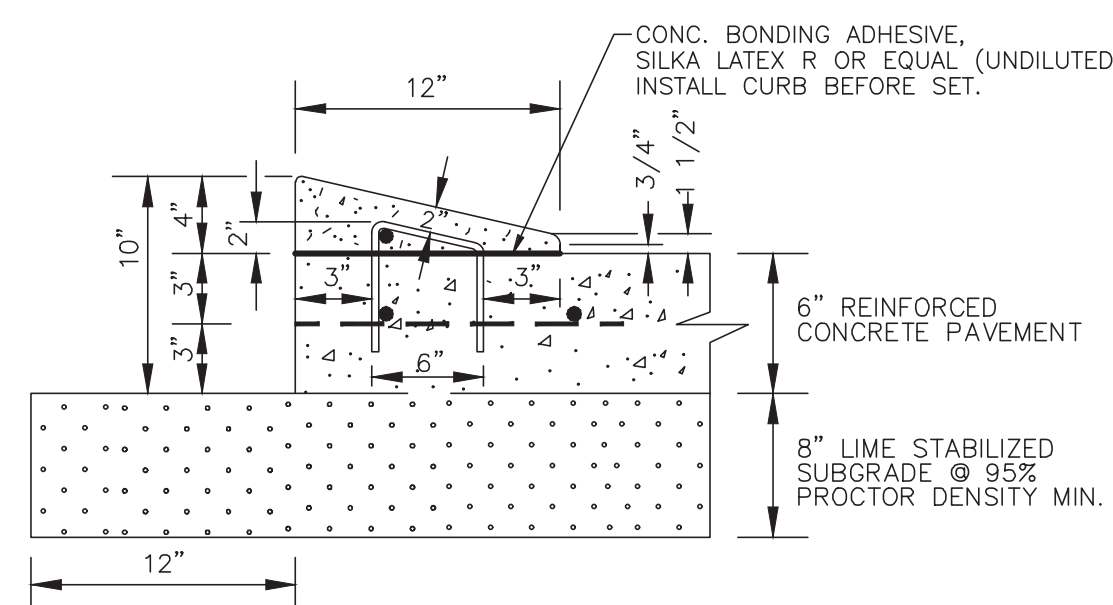
TYPICAL CURB TRANSITION

SL-ST-15



TYPICAL CONCRETE CURB REINFORCING

SL-ST-16

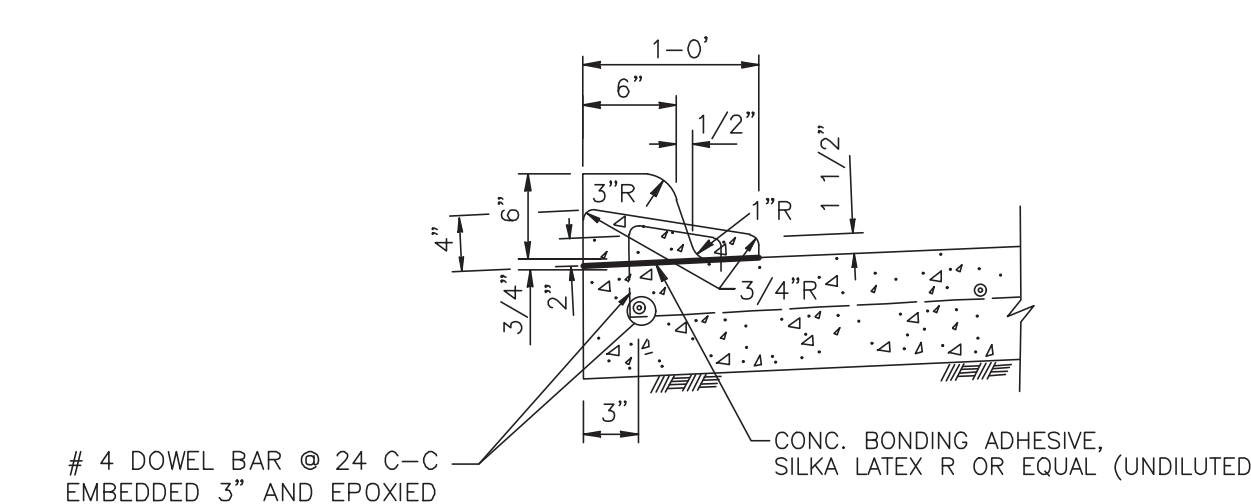


4"X12" MOUNTABLE CONCRETE CURB

NOTES:

- 1.0 LBS. OF APPROVED NON-METALLIC FIBER MESH PER C/Y IN 4"X12" CURBS.
- #3 RE-BAR STIRRUPS TO BE PLACED AT INTERVALS OF 2' (FT) C-C.
- #4 RE-BAR LONGITUDINAL SHALL BE TIED TO EACH STIRRUP
- MOUNTABLE CURB ONLY ALLOWED ON < 41' (FT), UNDIVIDED, RESIDENTIAL ROADWAYS WITHIN SUBDIVISIONS.

SL-ST-17



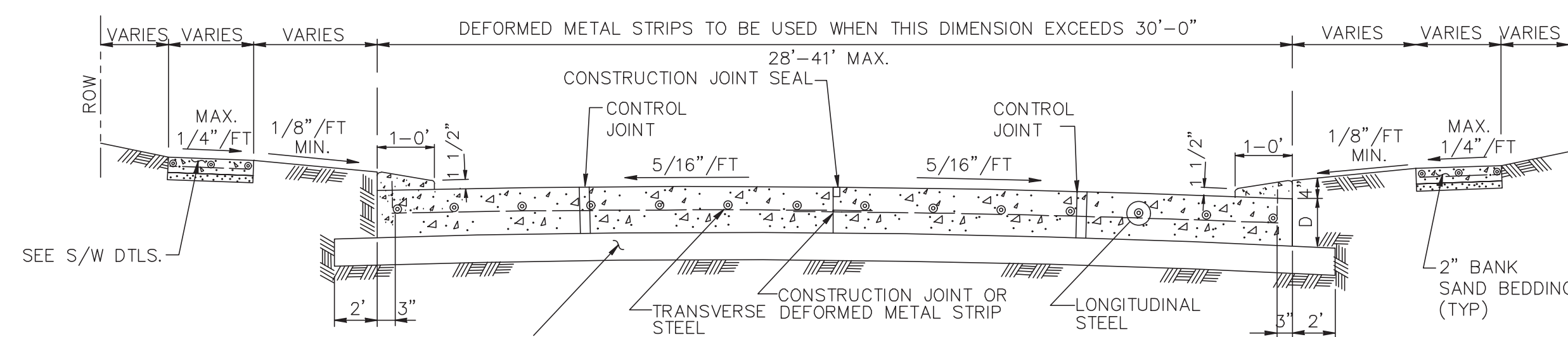
4-INCH x 12-INCH TRANSITION CURB

SL-ST-18

4"X12" MOUNTABLE CONCRETE CURB AND TRANSITION CURB NOTES:

- 6-INCH CONCRETE CURB TO BE CONSTRUCTED ON ALL ESPLANADES, ISLANDS AND NON-RESIDENTIAL STREETS. RESIDENTIAL STREETS MAY BE CONSTRUCTED WITH EITHER 6-INCH CONCRETE CURB OR 4-INCH x 12-INCH CONCRETE CURB AS NOTED ON PLANS.
- ALL 4-INCH x 12-INCH CONCRETE CURBS TO BE POURED SEPARATE FROM PROPOSED CONCRETE PAVEMENT.
- TRANSITIONS FROM 6-INCH CONCRETE CURB TO 4-INCH x 12-INCH CONCRETE CURB TO BE ACCOMPLISHED WITHIN 5 FEET (TYP.), UNLESS OTHERWISE SHOWN. REINFORCING STEEL AS SHOWN IN "4-INCH x 12-INCH TRANSITION CURB" DETAIL IS TO BE INSTALLED.

SL-ST-20



TYPICAL SINGLE ROADWAY SECTION FOR CONCRETE PAVEMENT WITH 4"X12" CURB

* SEE 4" x 12" MOUNTABLE CURB DETAIL (THIS SHEET)

SL-ST-19

No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

RESIDENTIAL CURB CONSTRUCTION DETAILS

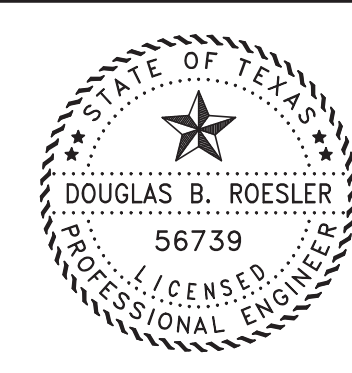
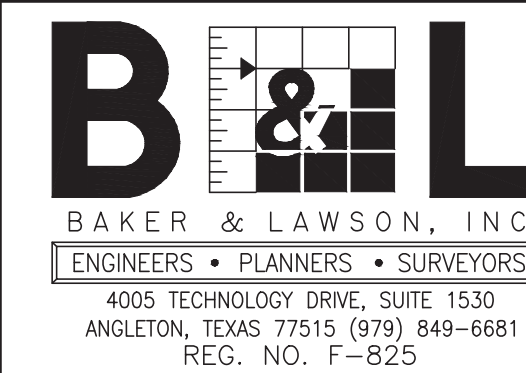
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DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-23

SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____



The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739 03-03-2023

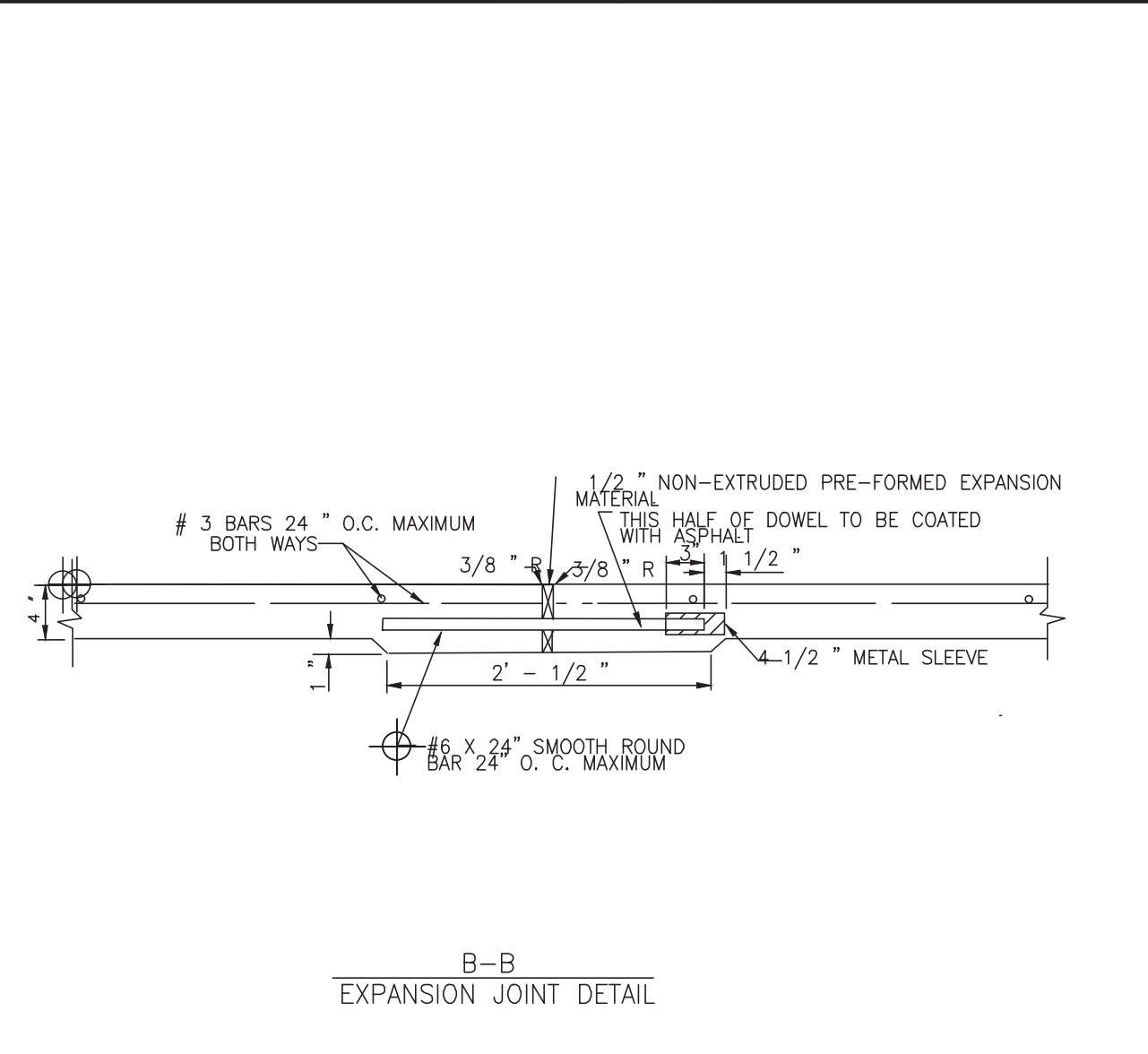
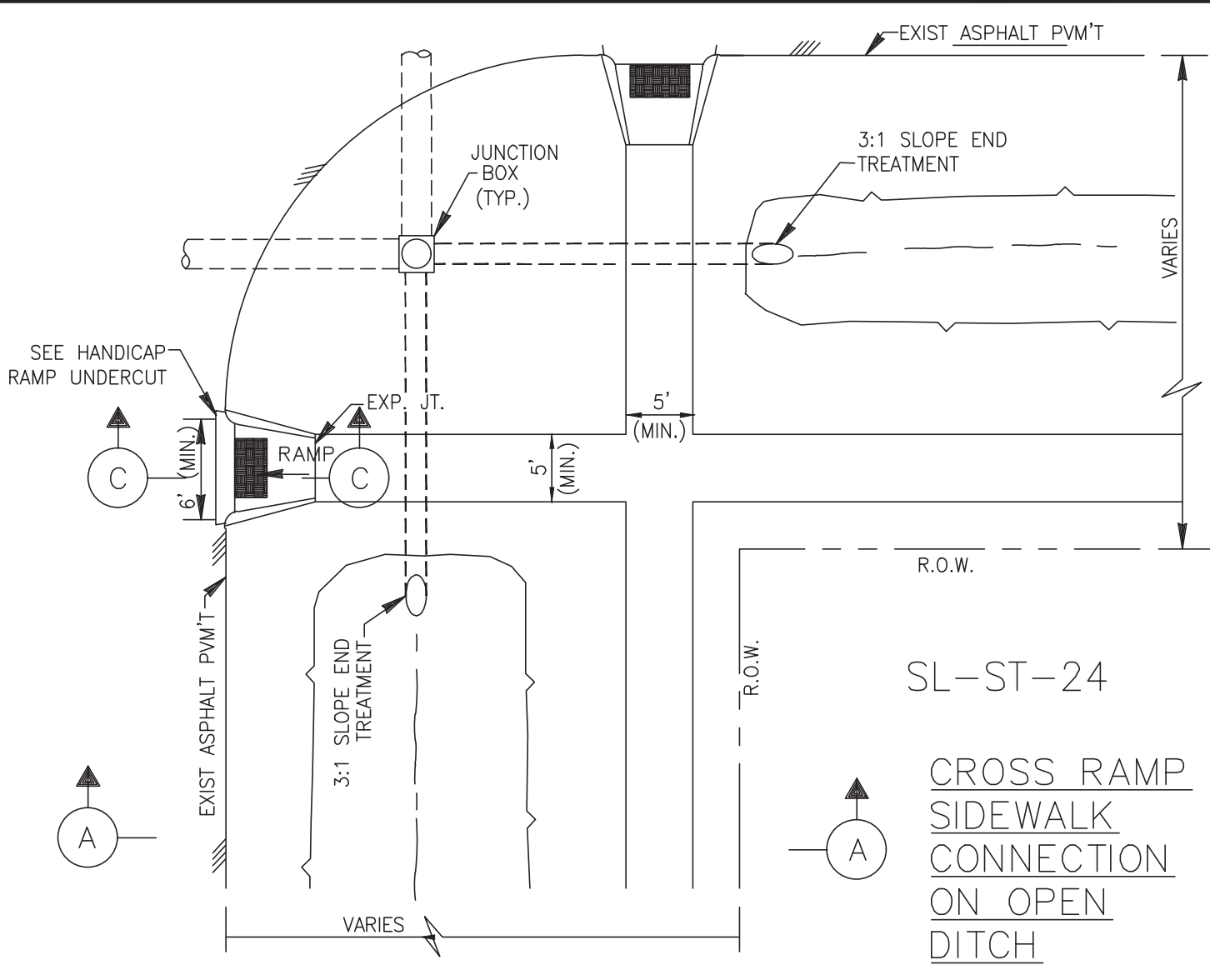
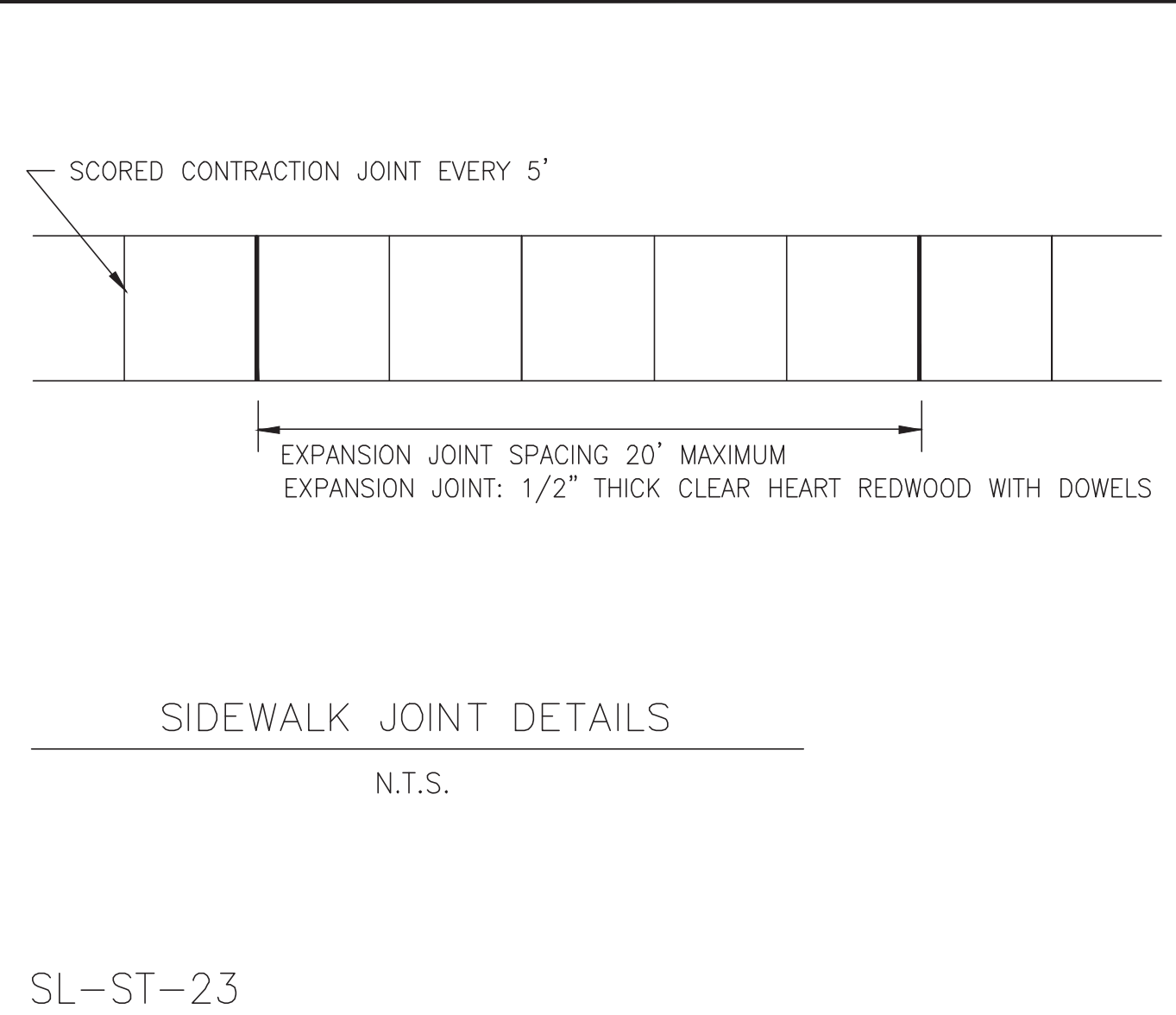
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
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HORIZONTAL: _____
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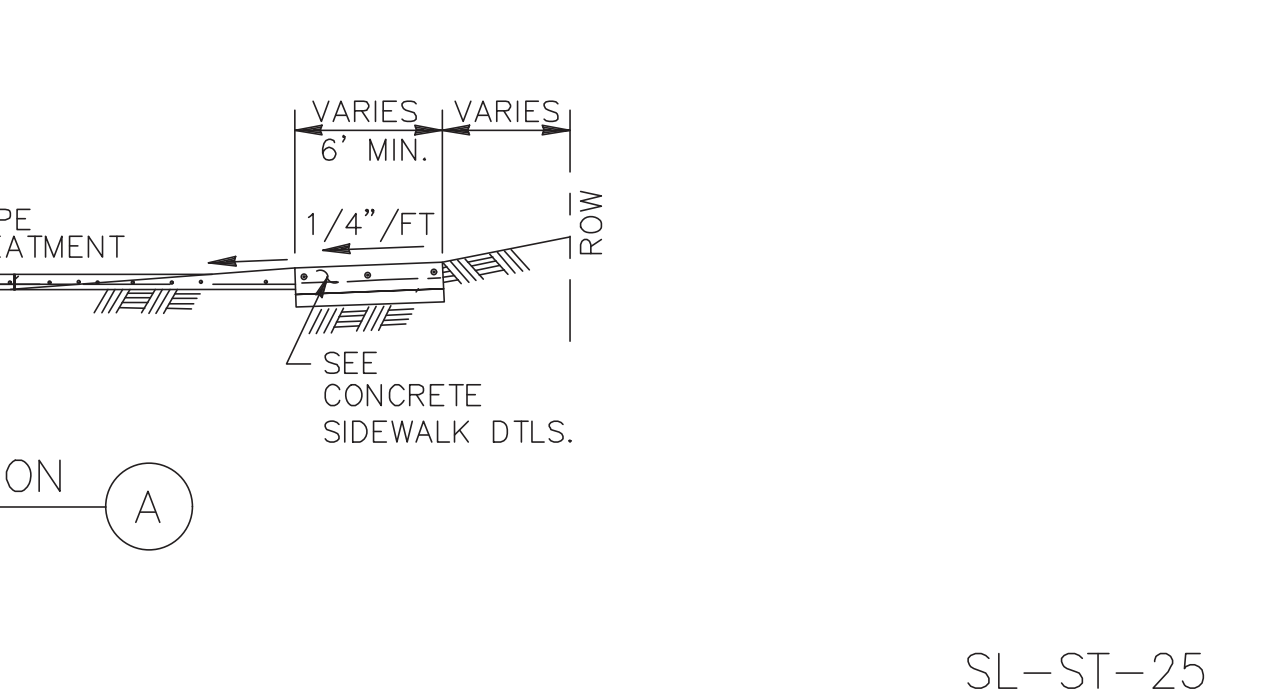
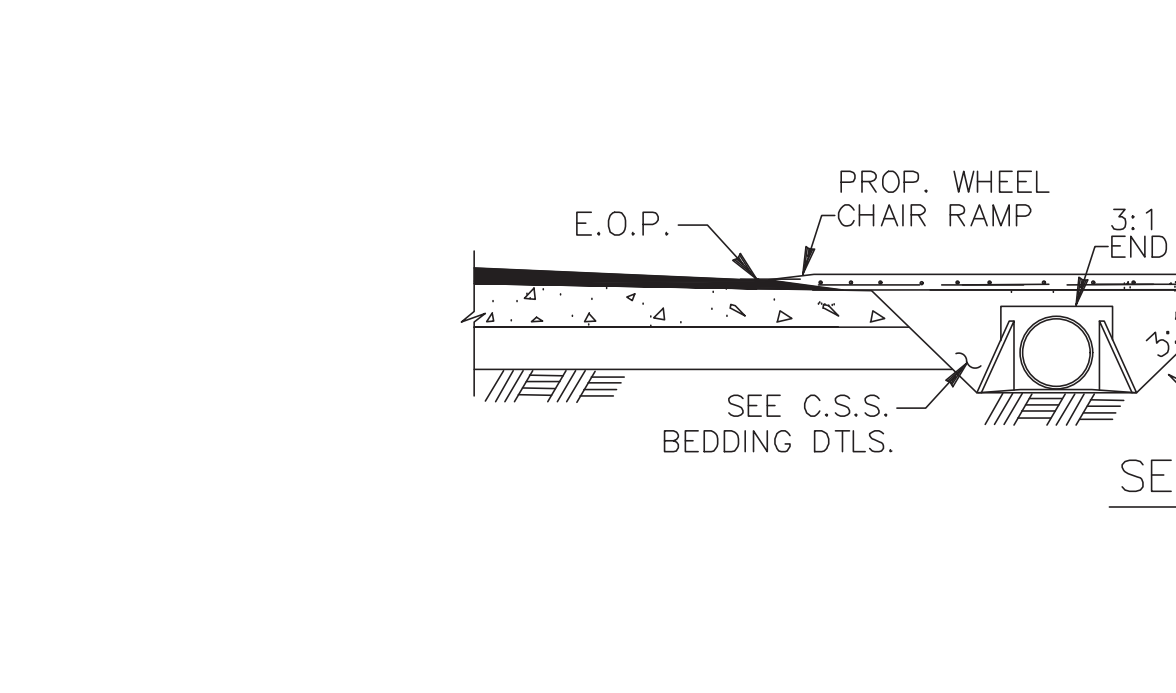
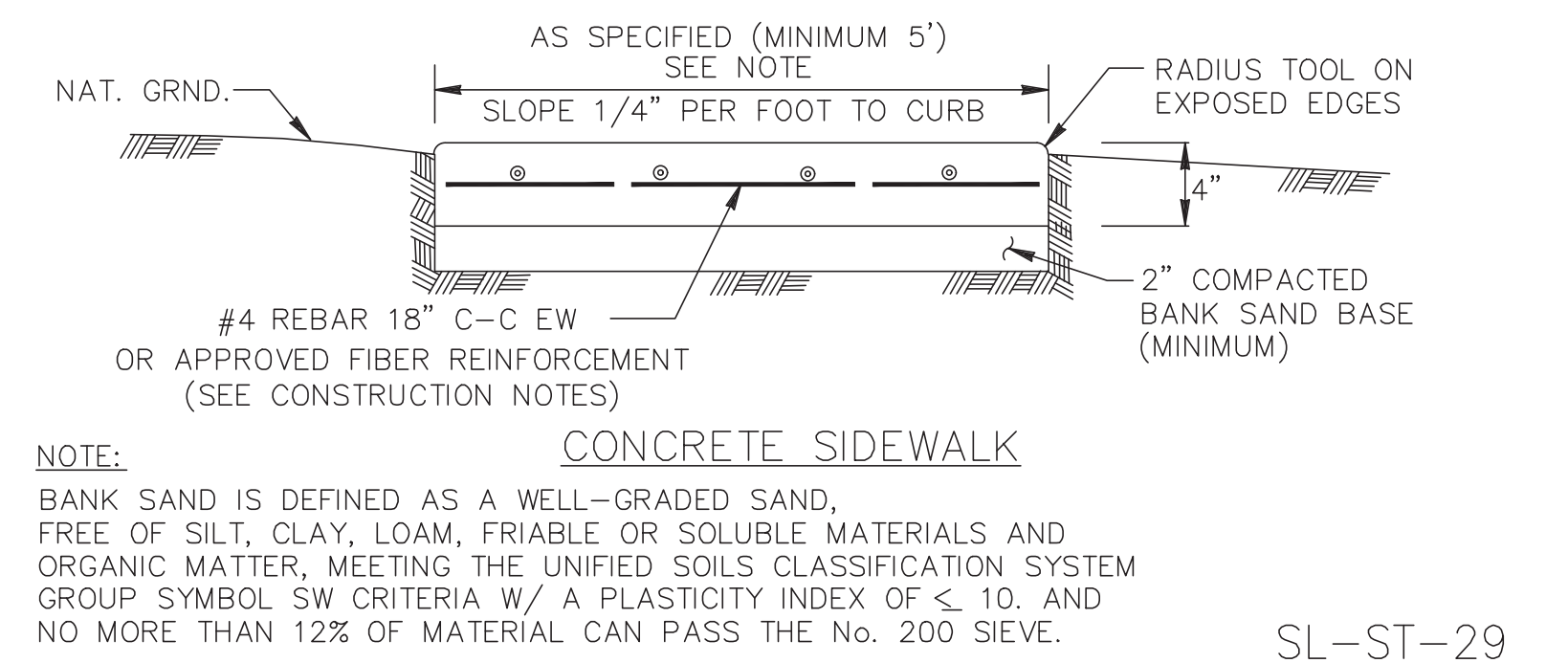
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

RESIDENTIAL CURB CONSTRUCTION DETAILS
SL-23

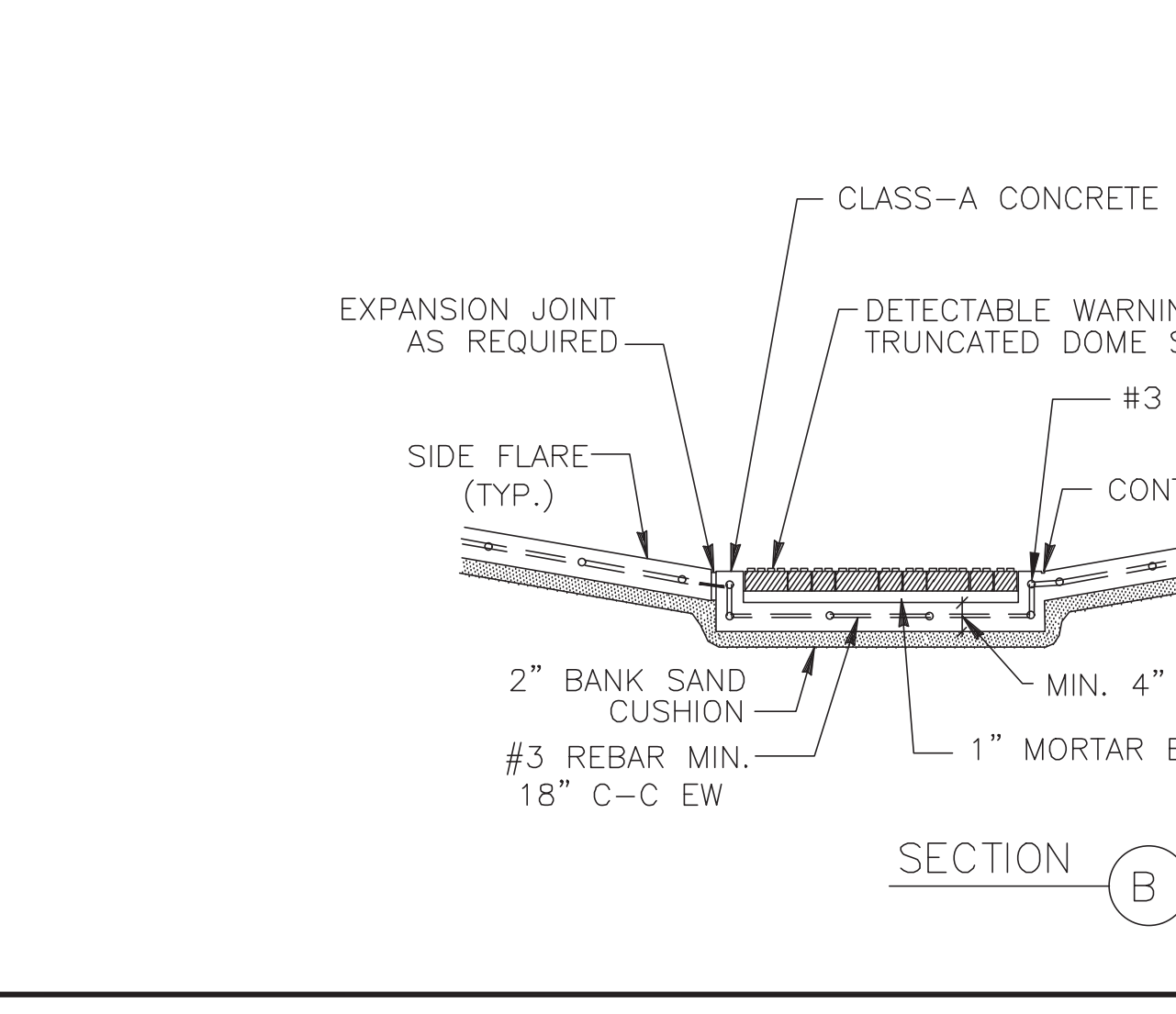
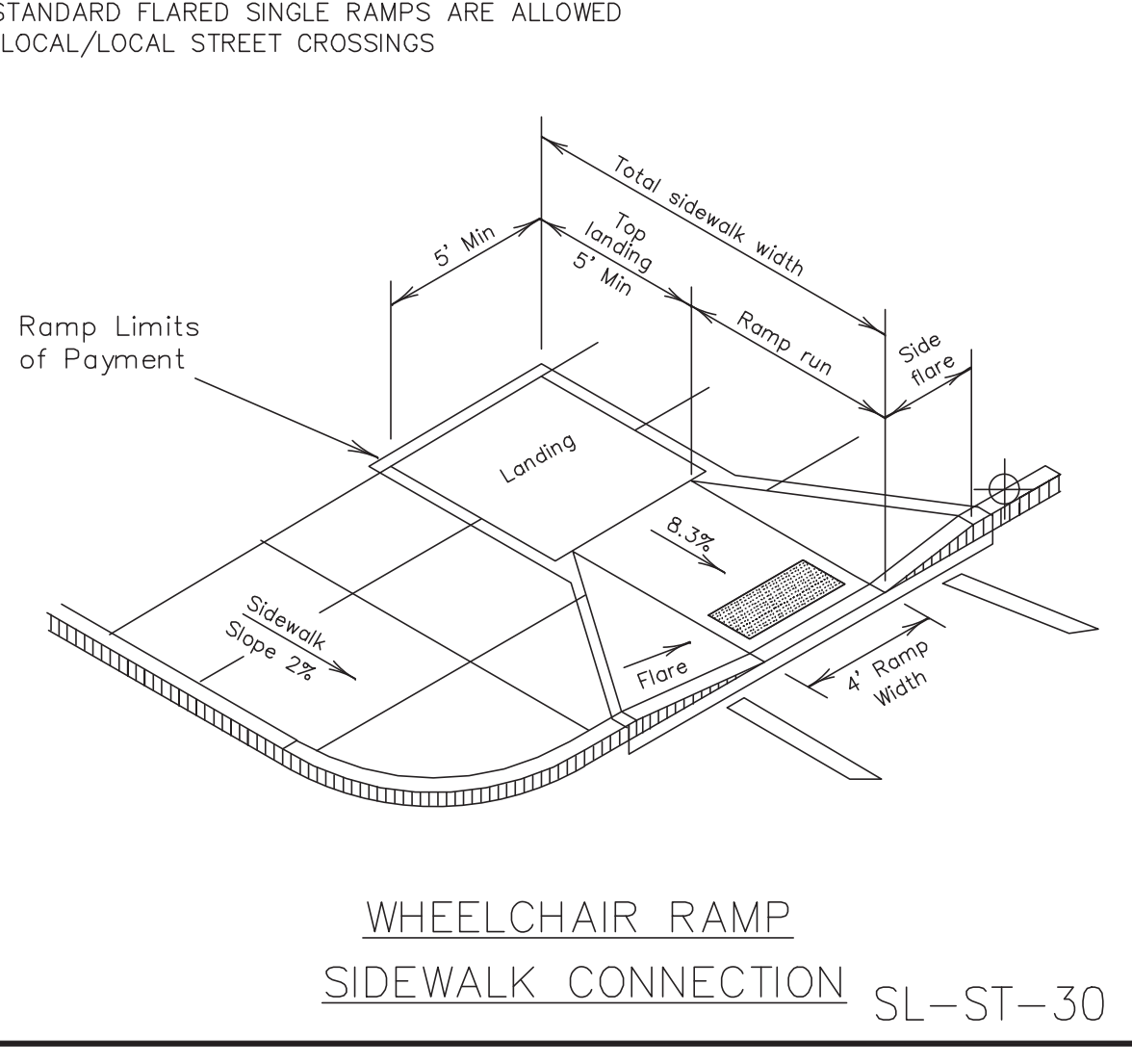
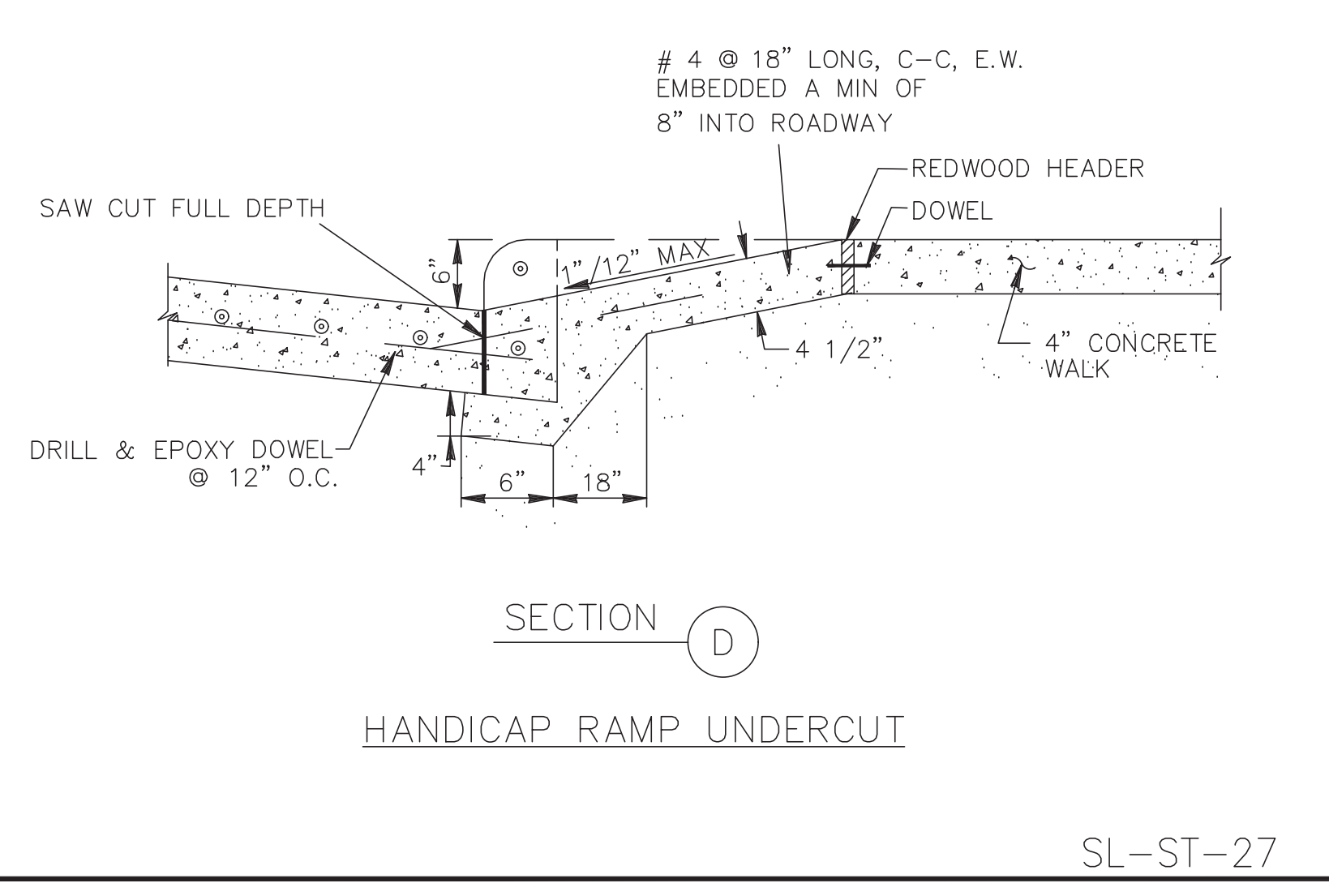
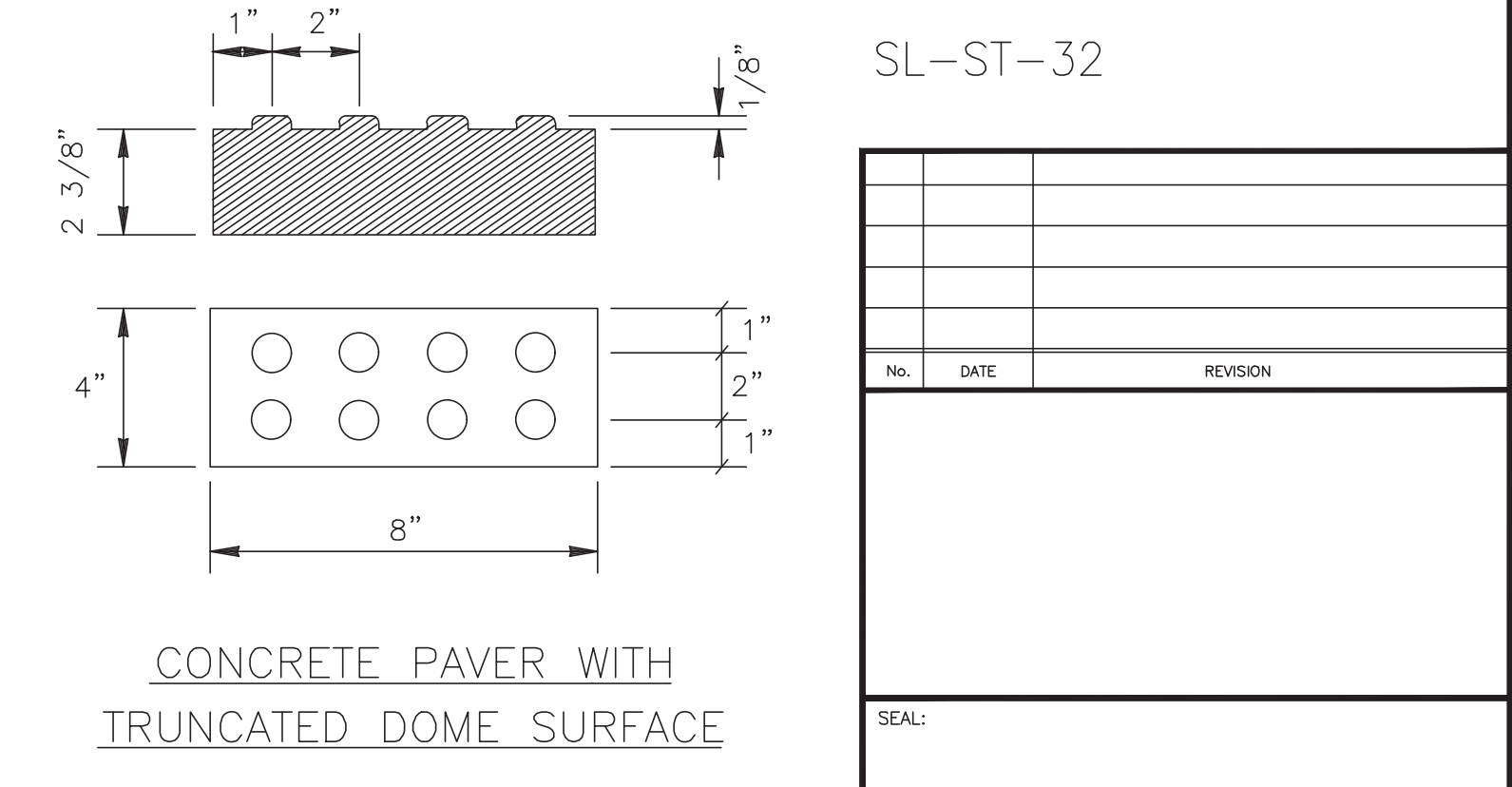
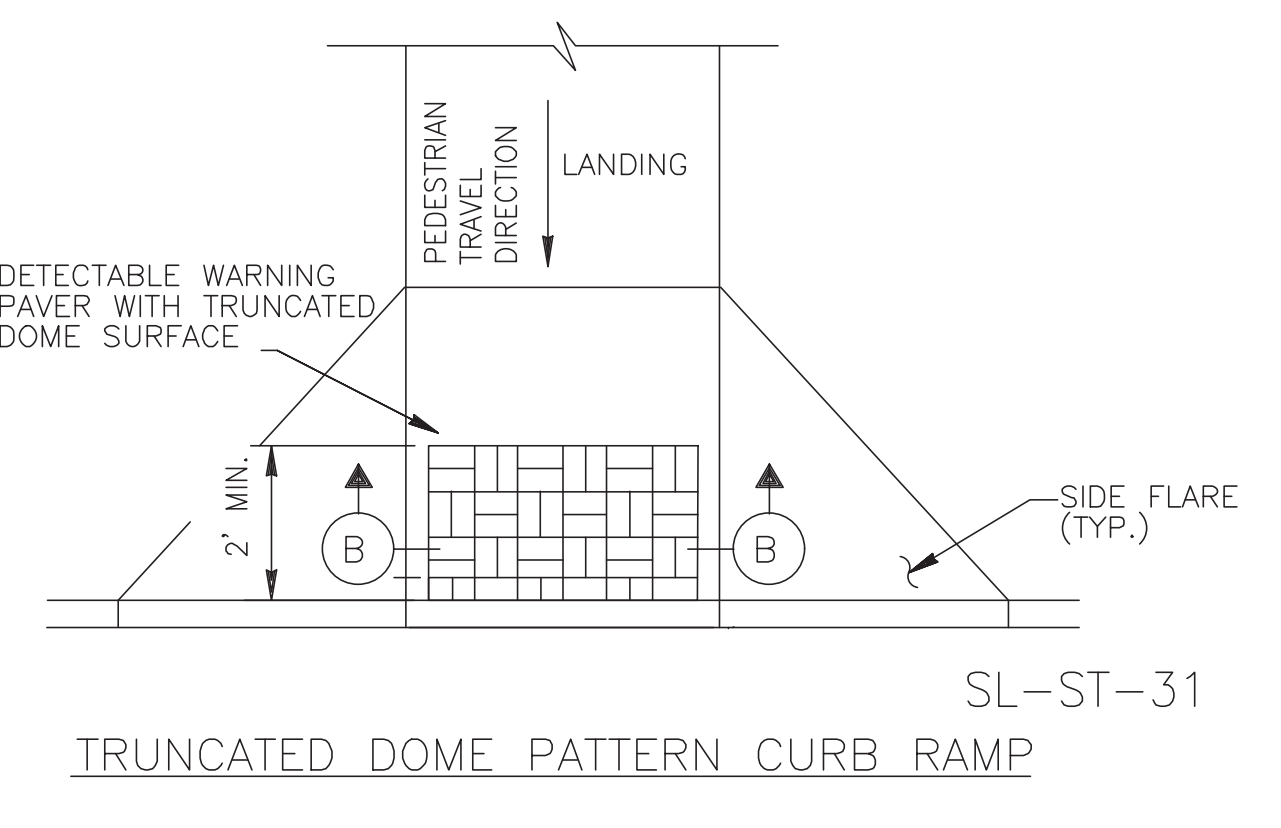
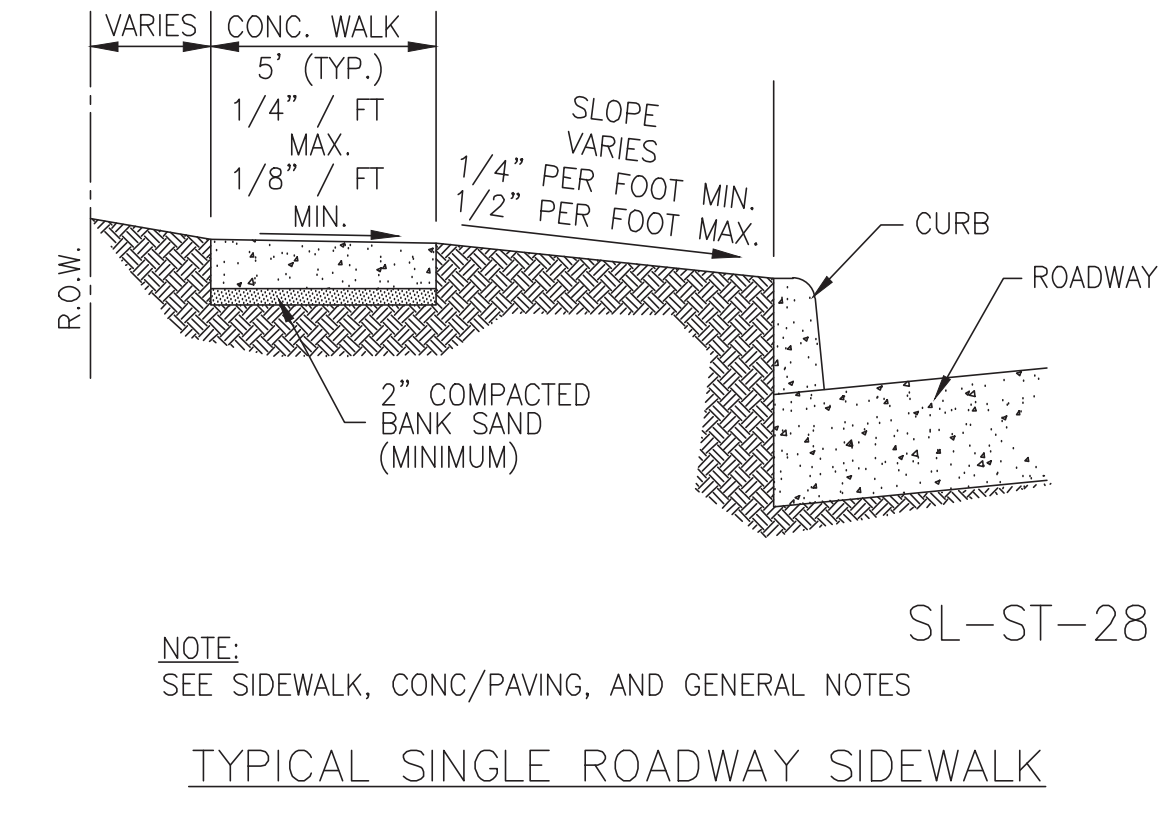
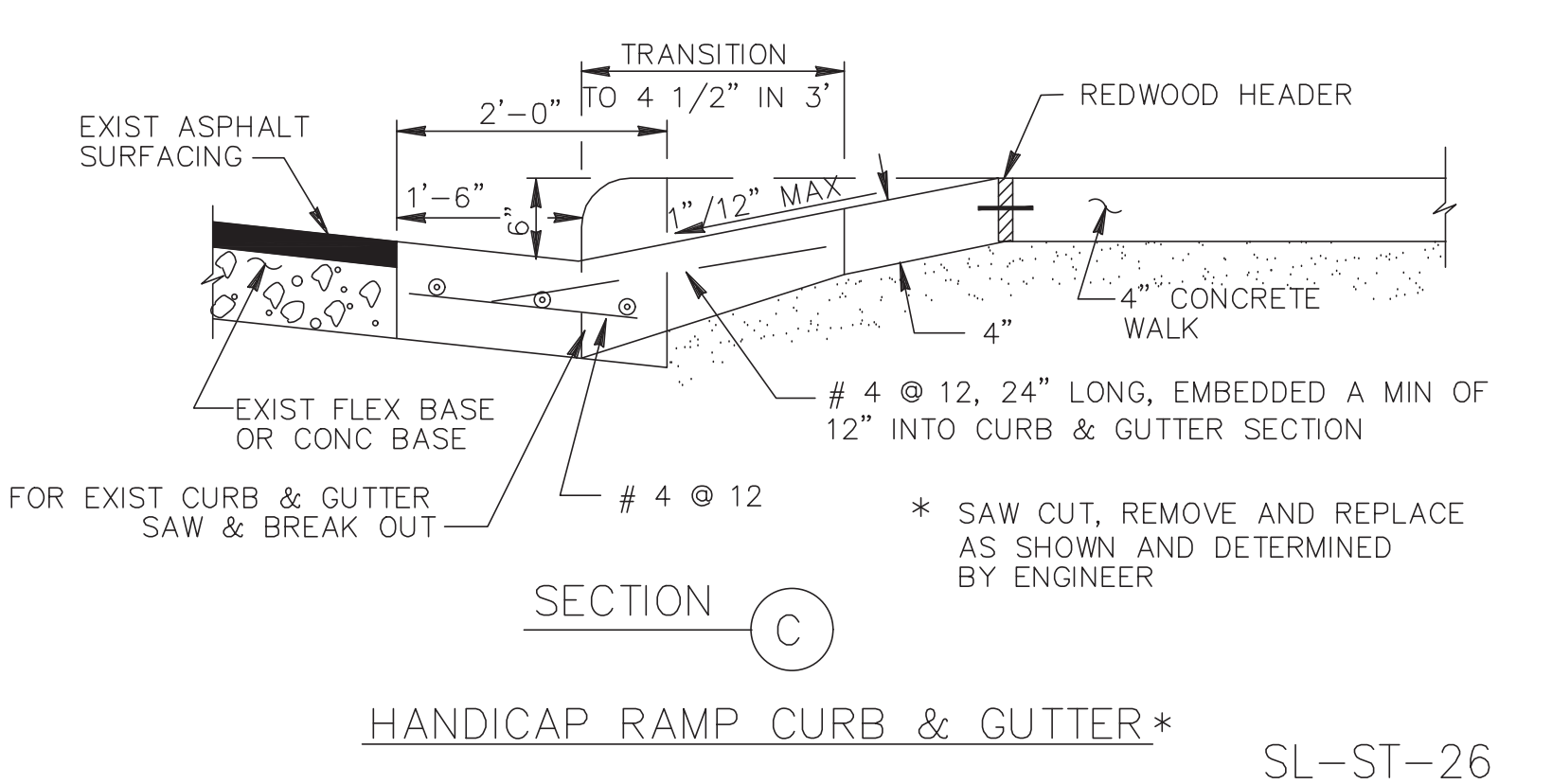
PROJECT NO. 14396



- NOTES:
- EXISTING CURB AND GUTTER TO BE SAW CUT, REMOVED AND REPLACED. DOWEL STEEL FOR MINIMUM REINFORCING OVERLAP OF 10 INCHES (10") DOWELS SHALL BE EIGHTEEN INCHES (18") LONG AND EPOXIED A MINIMUM OF (8") EIGHT INCHES INTO EXISTING PAVEMENT.
 - IF SIDEWALKS ARE NEITHER EXISTING NOR PROPOSED WHERE WHEELCHAIR RAMP ACCESS IS REQUIRED, CONCRETE SIDEWALKS SURFACE 4 1/2" THICK SHALL BE INSTALLED TO PROVIDE ACCESS TO THE PEDESTRIAN PUSH BUTTONS.
 - DETECTABLE WARNINGS REQUIRED BY T.A.S. SECTIONS 4.1 AND 4.7 SHALL COMPLY WITH T.A.S. SECTION 4.29
 - THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACE SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE.
 - DETECTABLE WARNING SURFACE SHALL COVER THE ENTIRE WIDTH AND DEPTH OF RAMP.
 - DETECTABLE WARNINGS SHALL BE INSTALLED WITH PAVERS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - CONCRETE PAVER UNITS SHALL MEET ALL REQUIREMENTS OF ASTM C-935, C-33, AND SHALL BE PLACED IN A TWO BY TWO UNIT BASKET WEAVE PATTERN, UNLESS SHOWN OTHERWISE IN THE PLANS.
 - CONCRETE PAVER UNITS SHALL HAVE A TRUNCATED DOME TOP SURFACE FOR DETECTABLE WARNING TO PEDESTRIANS. DOMES SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - CONCRETE PAVER UNIT COLOR FOR THE RAMP SHALL BE A CONTRASTING COLOR THAT PROVIDES A LIGHT REFLECTIVE THAT SIGNIFICANTLY CONTRASTS WITH THE ADJACENT SURFACES INCLUDE SIDE FLARES.
 - CONCRETE PAVER UNITS SHALL BE SAW CUT ONLY, AND ANY CUT UNIT SHALL NOT BE LESS THAN 25% OF A FULL UNIT.
- CONSTRUCTION NOTES:
- THE MAXIMUM WIDTH BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20'-0"
 - EXPANSION JOINT IS TO BE 1/2" THICK CLEAR HEART REDWOOD WITH DOWELS.
 - SCORED CONTRACTION JOINTS SHALL BE EVERY 5' OR EQUAL TO WIDTH OF SIDEWALK.
 - ALL EARTHEN AREAS ARE TO BE SODDED UNLESS SHOWN OTHERWISE ON DRAWINGS.
 - 4 INCH, 5 SACK CEMENT PER CUBIC YARD CONCRETE, 3000 PSI. REINFORCED CONCRETE WITH #3 BARS, 18 INCHES C-C, FOR SIDEWALKS, #4 BARS 18" C-C FOR WHEEL CHAIR RAMPS IS THE MINIMUM ACCEPTED. MINIMUM 3 LONGITUDINAL BARS, FIBER REINFORCING SIDEWALKS-STEEL AND POLYPROPYLENE BLENDED FIBER REINFORCEMENT SYSTEM SUCH AS NOVOMESH #3 AS MANUFACTURED BY S.I. CONCRETE SYSTEMS (OR PRE-APPROVED EQUAL) MAY BE USED AS AN ALTERNATE TO CONVENTIONAL REBAR REINFORCING AT A DOSAGE RATE OF 24 LBS. PER CUBIC YARD OF CONCRETE.
 - USE RADIUS TOOL ON ALL EXPOSED EDGES.
 - TOP OF THE SIDEWALK ELEVATION TO BE TOP OF CURB.
 - MEMBRANE CURING COMPOUND IS REQUIRED AS DESCRIBED IN ITEM 526 IN THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - REFER TO GENERAL NOTES AND CONCRETE/PAVING NOTES.
 - SIDEWALK EXPANSION JOINTS SHALL CONFORM TO STREET EXPANSION JOINT STANDARDS.



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REVISIONS

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:
WHEEL CHAIR RAMP & SIDEWALK DETAILS I

JOB No.: SL-25
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SHEET OF

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

REVISIONS

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B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825

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DOUGLAS B. ROESTER
56739
LICENSED PROFESSIONAL ENGINEER

03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WHEEL CHAIR RAMP & SIDEWALK DETAILS I
SL-25

PROJECT NO. 14396

HYPER-CHLORINATED WATER NOTES

1. HYPER-CHLORINATED WATER SHALL NOT BE DISCHARGED TO THE STORM SEWER OR DRAINAGE SYSTEM UNLESS THE CHLORINE CONCENTRATION IS REDUCED TO 4 PPM OR LESS BY CHEMICALLY TREATING THE DECHLORINATE OR BY ONSITE RETENTION UNTIL NATURAL ATTENUATION OCCURS.
2. DISCHARGE OF HIGH FLOW RATE AND VELOCITIES SHALL BE DIRECTED TO VELOCITY DISSIPATION DEVICES.
3. CHLORINE CAN BURN VEGETATION, SO IT SHOULD NOT BE USED TO WATER VEGETATION THAT IS BEING USED FOR STABILIZATION, VEGETATED FILTERS OR BUFFERS, OR OTHER VEGETATION TO BE PRESERVED.
4. HYPER-CHLORINATED WATER MAY BE DISCHARGED TO AN ONSITE RETENTION AREA UNTIL NATURAL ATTENUATION OCCURS. THE AREA MAY BE A DRY STORMWATER RETENTION BASIN, OR A PORTION OF THE SITE MAY BE GRADED TO FORM A TEMPORARY PIT OR BERMED AREA.
5. NATURAL ATTENUATION OF THE CHLORINE MAY BE AIDED BY AERATION. AIR CAN BE ADDED TO THE WATER BY DIRECTING THE DISCHARGE OVER A ROUGH SURFACE BEFORE IT ENTERS THE TEMPORARY RETENTION AREA OR AN AERATION DEVICE CAN BE PLACED IN THE RETENTION AREA.
6. ONSITE DISCHARGE MAY REQUIRE SEVERAL HOURS TO A FEW DAYS BEFORE THE WATER IS SAFE TO DISCHARGE. THE RATE AT WHICH CHLORINE WILL ATTENUATE IS AFFECTED BY SOIL CONDITIONS AND WEATHER CONDITIONS. ATTENUATION WILL OCCUR QUICKEST DURING WARM, SUNNY, AND DRY PERIODS.

SANITARY WASTE NOTES

1. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE TOILETS BASED ON THE NUMBER OF EMPLOYEES USING THE TOILETS AND THE HOURS THEY WILL WORK.
2. SANITARY FACILITIES SHALL BE PLACED ON A MINIMUM OF 50 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE, CHANNELS OR SURFACE WATERS. IF UNABLE TO MEET THE 50 FOOT REQUIREMENT DUE TO SITE CONFIGURATION, PORTABLE TOILETS SHALL BE A MINIMUM OF 20 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE CHANNELS OR SURFACE WATER AND SECONDARY CONTAINMENT SHALL BE PROVIDED IN CASE OF SPILLS.
3. THE LOCATION OF THE PORTABLE TOILETS SHALL BE ACCESSIBLE TO MAINTENANCE TRUCKS WITHOUT DAMAGING EROSION AND SEDIMENT CONTROLS OR CAUSING EROSION OR TRACKING PROBLEMS.
4. SANITARY FACILITIES SHALL BE FULLY ENCLOSED AND DESIGNED IN A MANNER THAT MINIMIZES THE EXPOSURE OF SANITARY WASTE TO PRECIPITATION AND STORMWATER RUNOFF.
5. WHEN HIGH WINDS ARE EXPECTED, PORTABLE TOILETS SHALL BE ANCHORED OR OTHERWISE SECURED TO PREVENT THEM FROM BEING BLOWN OVER.
6. THE COMPANY THAT SUPPLIES AND MAINTAINS THE PORTABLE TOILETS SHALL BE NOTIFIED IMMEDIATELY IF A TOILET IS TIPPED OVER OR DAMAGED IN A WAY THAT THE RESULTS IN A DISCHARGE. DISCHARGED SOLID MATTER SHALL BE VACUUMED INTO A SEPTIC TRUCK BY THE COMPANY THAT MAINTAINS THE TOILETS.
7. THE OPERATOR OF THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL BE NOTIFIED IF A DISCHARGE FROM THE PORTABLE TOILETS ENTERS THE MS4 OR A NATURAL CHANNEL.
8. SANITARY FACILITIES SHALL NOT BE PERMITTED ON PUBLIC SIDEWALKS, STREETS OR INLETS.

DEBRIS AND TRASH NOTES

1. ALL WASTE SOURCES AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL MATERIAL AND WASTE SOURCES BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS.
2. CONSTRUCTION WASTE AND TRASH SHALL BE STORED IN A MANNER THAT MINIMIZES ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.
3. WHENEVER POSSIBLE, MINIMIZE PRODUCTION OF DEBRIS AND TRASH.
4. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES.
5. SEGREGATE POTENTIAL HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE DEBRIS.
6. PROHIBIT LITTERING BY WORKERS AND VISITORS.
7. POLICE SITE DAILY FOR LITTER AND DEBRIS.
8. ENFORCE SOLID WASTE HANDLING AND STORAGE PROCEDURES.
9. IF FEASIBLE, RECYCLE CONSTRUCTION AND DEMOLITION DEBRIS SUCH AS WOOD, METAL, AND CONCRETE.
10. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN THEY ARE 90 PERCENT FULL OR MORE FREQUENTLY.
11. GENERAL CONSTRUCTION DEBRIS MAY BE HAULED TO A LICENSED CONSTRUCTION DEBRIS LANDFILL.
12. USE WASTE AND RECYCLING HAULERS/FACILITIES APPROVED BY THE LOCAL MUNICIPALITY.
13. CHIPPING OF TREES AND BRUSH FOR USE SUCH AS MULCH IS PREFERRED ALTERNATIVE TO ONSITE DISPOSAL.
14. NO WASTE, TRASH, OR DEBRIS SHALL BE BURIED, BURNED OR OTHER WISE DISPOSED OF ONSITE.
15. CLEARLY MARK ON ALL DEBRIS AND TRASH CONTAINERS WHICH MATERIALS ARE ACCEPTABLE. FOREMAN AND/OR CONSTRUCTION SUPERVISOR SHALL MONITOR ONSITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES DAILY.

CONCRETE SAWCUTTING WASTE NOTES

1. DURING SAWCUTTING OPERATIONS, THE SLURRY AND CUTTINGS SHALL BE CONTINUOUSLY VACUUMED OR OTHERWISE RECOVERED AND NOT BE ALLOWED TO DISCHARGE FROM THE SITE.
2. IF THE PAVEMENT TO BE CUT IS NEAR A STORM DRAIN INLET, THE INLET SHALL BE BLOCKED BY SANDBAGS OR EQUIVALENT TEMPORARY MEASURES TO PREVENT THE SLURRY FROM ENTERING THE INLET. REMOVE THE SANDBAGS IMMEDIATELY AFTER COMPLETING SAWCUTTING OPERATIONS, SO THEY DO NOT CAUSE DRAINAGE PROBLEMS DURING STORM EVENTS.
3. SLURRY AND CUTTINGS SHALL NOT BE ALLOWED TO REMAIN ON THE PAVEMENT TO DRY OUT.
4. DEVELOP PRE-DETERMINED, SAFE SLURRY DISPOSAL AREAS.
5. COLLECTED SLURRY AND CUTTINGS SHOULD BE IMMEDIATELY HAULED FROM THE SITE FOR DISPOSAL AT A WASTE FACILITY. IF THIS IS NOT POSSIBLE, THE SLURRY AND CUTTINGS SHALL BE DISCHARGED INTO ONSITE CONTAINMENT.
6. THE ONSITE CONTAINMENT MAY BE EXCAVATED OR BERMED PIT LINED WITH PLASTIC MINIMUM OF 10 MILLIMETERS THICK. IF THE PROJECT INCLUDES PLACEMENT OF NEW CONCRETE, SLURRY FROM SAWCUTTING MAY BE DISPOSED OF IN FACILITIES DESIGNATED FOR THE WASHOUT OF CONCRETE TRUCKS INSTEAD CONSTRUCTING A SEPARATE CONTAINMENT.
7. THE CONTAINMENT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL THE COLLECTION AREA BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS.
8. SEVERAL, PORTABLE, PRE-FABRICATED, CONCRETE WASHOUT, COLLECTION BASINS ARE COMMERCIALY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO AN ONSITE CONTAINMENT PIT.
9. REMOVE WASTER CONCRETE WHEN THE CONTAINMENT IS HALF FULL. ALWAYS MAINTAIN A MINIMUM OF ONE FOOT FREEBOARD.
10. ONSITE EVAPORATION OF SLURRY WATER AND RECYCLING OF THE CONCRETE WASTE IS THE PREFERRED DISPOSAL METHOD. WHEN THIS IS NOT FEASIBLE, DISCHARGE FROM THE COLLECTION AREA SHALL ONLY BE ALLOWED IF A PASSIVE TREATMENT SYSTEM IS USED TO REMOVE THE FINES. MECHANICAL MIXING IS REQUIRED IN THE COLLECTION AREA. THE pH MUST BE TESTED, AND DISCHARGED IS ALLOWED IN IF THE pH DOES NOT EXCEED 8.0. THE pH MAY BE LOWERED BY ADDING SULFURIC ACID TO THE SLURRY WATER.
11. CARE SHALL BE EXERCISED WHEN TREATING THE SLURRY WATER FOR DISCHARGE. MONITORING MUST BE IMPLEMENTED TO VERIFY THAT DISCHARGES FROM THE COLLECTION AREA DO NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
12. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO CONTROL SAWCUTTING WASTE, SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

SPILL AND LEAK RESPONSE NOTES

1. RECORDS OF RELEASES THAT EXCEED THE REPORTABLE QUANTITY (RQ) FOR OIL AND HAZARDOUS SUBSTANCES SHOULD BE MAINTAINED IN ACCORDANCE WITH THE FEDERAL AND STATE REGULATIONS.
2. EMERGENCY CONTACT INFORMATION AND SPILL RESPONSE PROCEDURES SHALL BE POSTED IN A READILY AVAILABLE REA FOR ACCESS BY ALL EMPLOYEES AND SUBCONTRACTORS.
3. SPILL CONTAINMENT KITS SHOULD BE MAINTAINED FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS THAT ARE REGULARLY ONSITE. MATERIALS IN KITS SHOULD BE BASED ON CONTAINMENT GUIDELINES IN THE MATERIALS SAFETY AND DATA SHEETS (MSDS) FOR THE SUBSTANCE MOST FREQUENTLY ONSITE.
4. SPILL KITS ARE INTENDED FOR RESPONSE TO SMALL SPILLS, TYPICALLY LESS THAN 5 GALLONS, OF SUBSTANCES THAT ARE NOT EXTREMELY HAZARDOUS.
5. SIGNIFICANT SPILLS OR OTHER RELEASES WARRANT IMMEDIATE RESPONSE BY TRAINED PROFESSIONALS.
6. SUSPECTED JOB-SITE CONTAMINATION SHOULD BE IMMEDIATELY REPORTED TO REGULATORY AUTHORITIES AND PROTECTIVE ACTIONS TAKEN.
7. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE A SITE SUPERINTENDENT, FOREMAN, SAFETY OFFICER, OR OTHER SENIOR PERSON WHO IS ONSITE DAILY TO BE THE SPILL AND LEAK RESPONSE COORDINATOR (SLRC) AND MUST HAVE KNOWLEDGE OF AND BE TRAINED IN CORRECT SPILL AND LEAK RESPONSE PROCEDURES.

SUBGRADE STABILIZATION NOTES

1. MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH WORKDAY.
2. STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN NO RUN OFF.
3. STABILIZATION SHALL NOT OCCUR IMMEDIATELY BEFORE AND DURING RAINFALL EVENTS.
4. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE AREA BEING STABILIZED UNTIL AFTER COMPLETION OF MIXING THE CHEMICAL.
5. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE ROUGHENED TO INTERCEPT CHEMICAL RUNOFF AND REDUCE RUNOFF VELOCITY.
6. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE DISSOLVED IN THE WATER AND WON'T BE AFFECTED BY A BARRIER AND THE SUSPENDED SOLIDS ARE SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.
7. IF SOIL STABILIZERS ARE STORED ONSITE, THEY SHALL BE CONSIDERED HAZARDOUS MATERIAL AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LIME OR CHEMICAL OVERFLOW.
8. THE CONTRACTOR SHALL INSTALL BMP'S TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEMS TO PREVENT LIME FROM ENTERING THE MS4 SYSTEM.

SANDBLASTING WASTE NOTES

1. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE THE SITE SUPERINTENDENT, FOREMAN, OR OTHER PERSON WHO IS RESPONSIBLE FOR SANDBLASTING TO ALSO BE RESPONSIBLE FOR SANDBLASTING WASTE MANAGEMENT.
2. PROHIBIT THE DISCHARGE OF SANDBLASTING WASTE.
3. USE ONLY INERT, NON-DEGRADABLE SANDBLAST MEDIA.
4. USE APPROPRIATE EQUIPMENT FOR THE JOB; DO NOT OVER-BLAST.
5. WHENEVER POSSIBLE, BLAST IN A DOWNWARD DIRECTION.
6. CEASE BLASTING ACTIVITIES IN HIGH WINDS OR IF WIND DIRECTION COULD TRANSPORT GRIT TO DRAINAGE FACILITIES.
7. INSTALL DUST SHIELDING AROUND SANDBLASTING AREAS.
8. COLLECT AND DISPOSE OF ALL SPENT SANDBLAST GRIT, USE DUST CONTAINMENT FABRICS AND DUST COLLECTION HOPPERS AND BARRELS.
9. NON-HAZARDOUS SANDBLAST GRIT MAY BE DISPOSED IN PERMITTED CONSTRUCTION DEBRIS LANDFILLS OR PERMITTED SANITARY LANDFILLS.
10. IF SANDBLAST MEDIA CANNOT BE FULLY CONTAINED, CONSTRUCT SEDIMENT TRAPS DOWNSTREAM FROM BLASTING AREA WHERE APPROPRIATE.
11. USE SAND FENCING WHERE APPROPRIATE IN AREAS WHERE BLAST MEDIA CANNOT BE FULLY CONTAINED.
12. IF NECESSARY, INSTALL MISTING EQUIPMENT TO REMOVE SANDBLAST GRIT FROM THE AIR PREVENT RUNOFF FROM MISTING OPERATIONS FROM ENTERING DRAINAGE SYSTEMS.
13. USE VACUUM GRIT COLLECTION SYSTEMS WHERE POSSIBLE.
14. KEEP RECORDS OF SANDBLASTING MATERIALS, PROCEDURES, AND WEATHER CONDITIONS ON A DAILY BASIS.
15. TAKE ALL REASONABLE PRECAUTIONS TO ENSURE THAT SANDBLASTING GRIT IS CONTAINED AND KEPT AWAY FROM DRAINAGE STRUCTURES.
16. SAND BLASTING MEDIA SHOULD ALWAYS BE STORED UNDER COVER AWAY FROM DRAINAGE STRUCTURES.
17. ENSURE THAT STORED MEDIA OR GRIT IS NOT SUBJECTED TO TRANSPORT BY WIND.
18. ENSURE THAT ALL SANDBLASTING EQUIPMENT AND STORAGE CONTAINERS COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS.
19. CAPTURE AND TREAT RUNOFF, WHICH COMES INTO CONTACT WITH SANDBLASTING MATERIALS OR WASTE.

No.	DATE	REVISION

SEAL:

DESIGN ENGINEER: _____ DATE _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

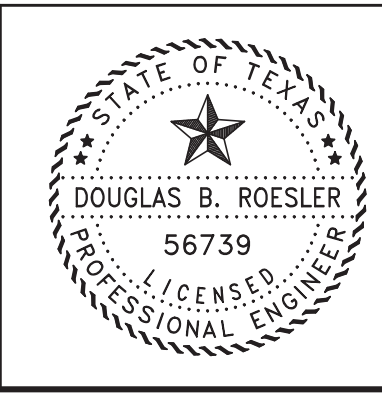
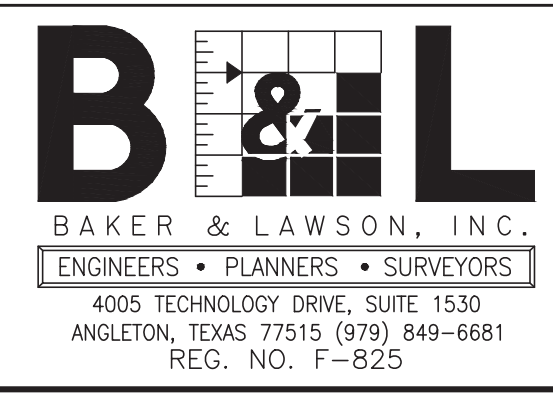
CONSTRUCTION PLANS FOR:

GENERAL EROSION CONTROL NOTES

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-33
SHEET OF

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			



The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

GENERAL EROSION CONTROL NOTES
SL-33
PROJECT NO. 14396

APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 3/1/2023

TYPE OF PLAT APPLICATION

ADMINISTRATIVE	PRELIMINARY	FINAL
MINOR <input type="checkbox"/>	RESIDENTIAL <input type="checkbox"/>	RESIDENTIAL <input checked="" type="checkbox"/>
AMENDING/REPLAT <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>

Address of property: Riverwood Ranch, Section 3

Name of Applicant: Douglas B. Roesler/Robin Crouch Phone: 979-849-6681

Name of Company: Baker & Lawson, Inc. Phone: _____

E-mail: drosler@bakerlawson.com

Name of Owner of Property: Riverwood Ranch Land Holding LLC

Address: 1027 Yale, Houston, Texas 77008

Phone: 713-621-6111 E-mail: john@riverwayproperties.com

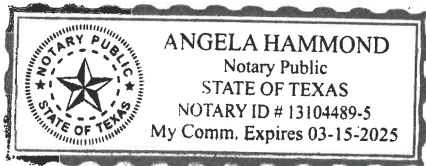
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) *Robin Crouch*

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 1 day of March, 2023.

(SEAL)



Angela Hammond
 Notary Public for the State of Texas
 Commission Expires: 03-15-2025

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description)
Tracts 2-2A-2B-3-3A-14 15 - Riverway Ranch Sections 3 & 4

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Riverway Ranch Land Holdings LLC

ADDRESS: 1027 Yale Street

APPLICANT PHONE # 713-621-6111 E-MAIL: john@riverwayproperties.com

PRINTED NAME OF OWNER: Michael Foley

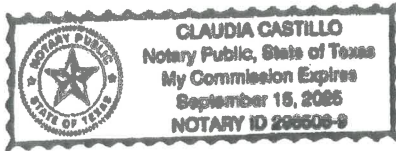
SIGNATURE OF OWNER: _____

DATE: 4/5/22

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 5 day of April, 2022.

(SEAL)



Notary Public for the State of Texas
Commission Expires: _____

PROJECT SUMMARY FORM

Address of property NW corner of Hospital Drive and Buchta Road Intersection

The subject property fronts 1,290 feet on the West side of Buchta

Depth: 1,318 feet (max) Area: 35.6 Acres: 1,550,736 square feet

INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):

**Section 3 of Riverwood Ranch Development located
between Downing Road, Hospital Drive and Buchta Road**

Is this platting a requirement for obtaining a building permit? YES NO

INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.

Name: Robi Crow Date: 3-1-23

SUBMITTAL REQUIREMENTS

Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN_DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

1. A completed application form and application fee;
2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with §117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
3. A preliminary utility plan showing all existing and proposed utilities;
4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
6. A drainage report, as set out in section 23-15, Drainage and utilities;
7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
8. A current tax certificate(s);
9. Construction plans may be submitted at the option of the applicant;
10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
12. Heritage tree survey and a tree preservation plan;
13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

***RESIDENTIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

200 Lots or less	\$800.00 plus \$6.00 per lot
More than 200 Lots	\$4.00 per additional lot over 200
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

***COMMERCIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time)

OFFICE USE ONLY:

Date received: _____ By: _____

Type of Plat: _____

Description of individual charges:

Total Fee Received: _____ By: _____

Proof of taxes received: ____ Yes If no, explain: _____

PRELIMINARY PLAT MEETINGS:

Pre-submission conference/meeting date: _____

Received Preliminary Plat on: _____ by _____

Preliminary plat staff meeting date: _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

FINAL PLAT MEETINGS:

Received final plat on _____ by _____

Reviewed by Staff on _____ by _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

Filed with County Clerk on: _____

File-stamped copy to owner/developer on: _____



April 3, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: Riverwood Ranch Section 3 Final Plat – 1st Submittal Review Comments

Dear Mr. Spriggs:

Attached is the updated referenced plat with the following comments addressed:

Final Plat - Sheet 1 of 2

1. Show existing Riverwood Ranch Section 1 in grey scale or dashed lines.
Shown in grey scale
2. Notate future Riverwood Ranch phases on Final plat.
Notated
3. Show existing Northview Subdivision Section 1 in grey scale or dashed lines.
Shown in grey scale

We believe we have corrected all comments. Please contact us if you have any questions concerning the submittal.

Sincerely,

Robin Crouch

FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B.&L), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00"(THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00"(THE CHORD BEARS NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B.&L. FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87°07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02°52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B.&L. SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT OF WAY LINE OF HOSPITAL DRIVE;

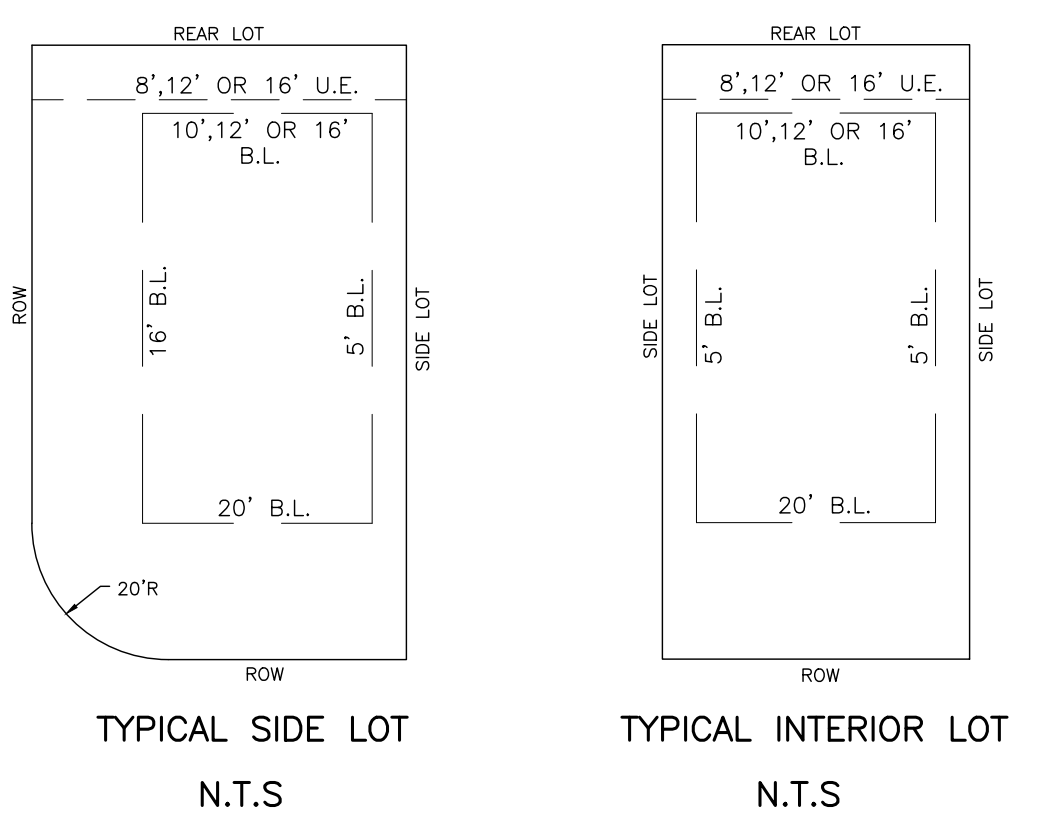
THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HERIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

Curve Table with columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Lists curves C1 through C19.

Curve Table with columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Lists curves C20 through C38.

LINE TABLE with columns: Line No., Length, Direction. Lists lines L1 through L10.

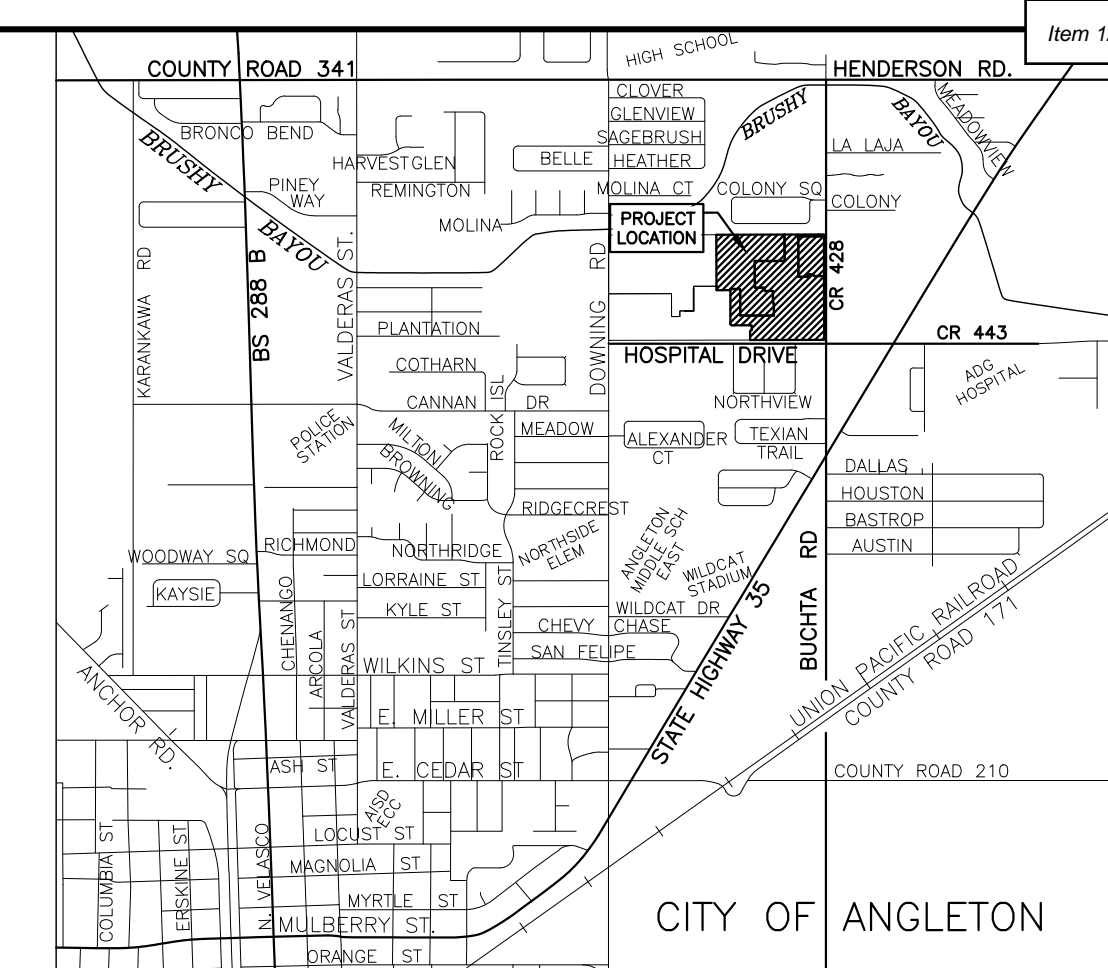
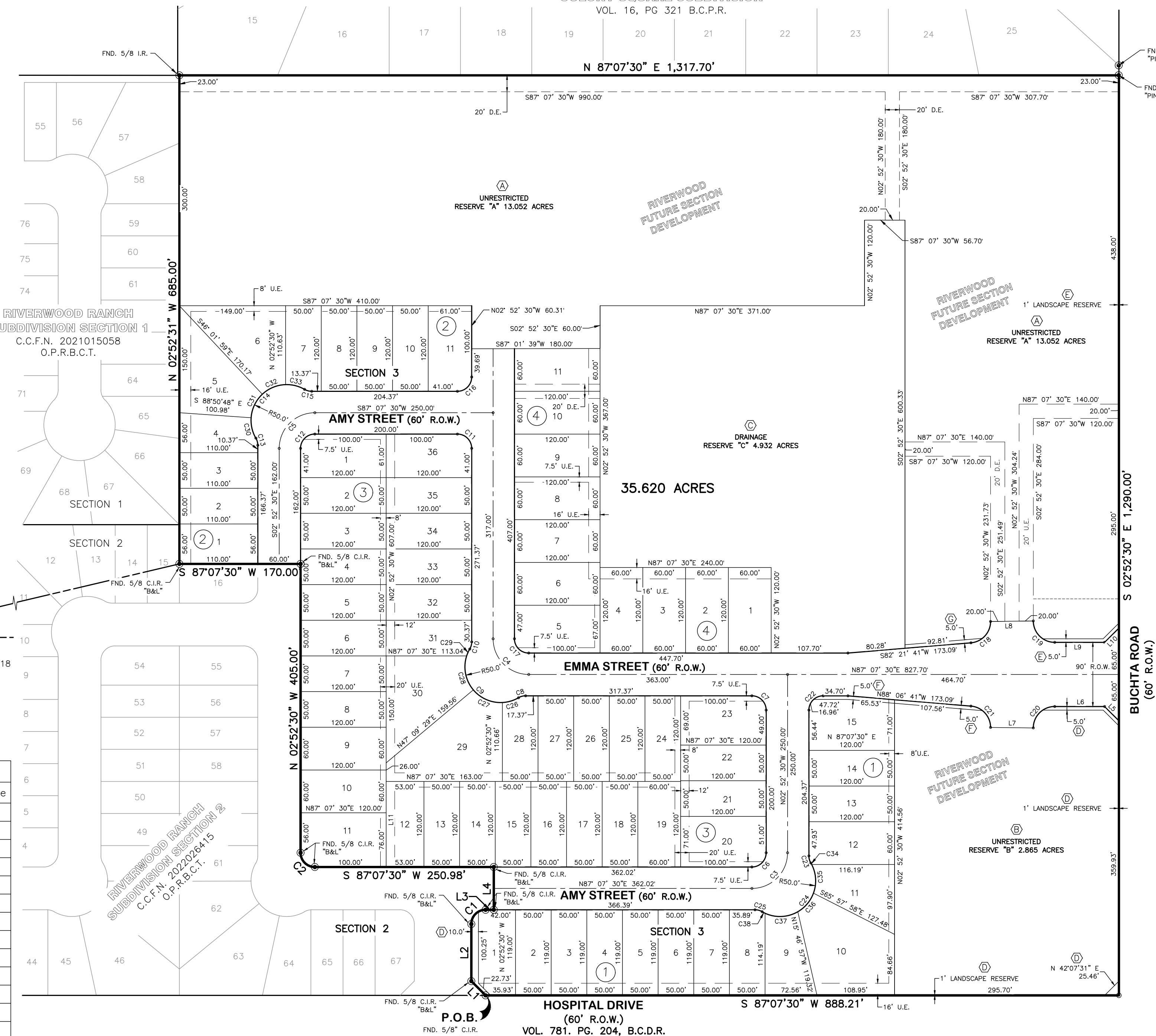
Block tables for BLOCK 1 SECTION 3, BLOCK 2 SECTION 3, BLOCK 3 SECTION 3, and BLOCK 4 SECTION 3, each containing parcel tables with lot numbers and areas.



PROPOSED STREETS table with columns: STREET NAME, R.O.W. WIDTH, TOTAL LENGTH. Lists EMMA STREET and AMY STREET.

RESERVE TABLE with columns: SYMBOL, DESCRIPTION, RESERVE USE, AREA. Lists various reserve types like UNRESTRICTED RESERVE, DRAINAGE RESERVE, etc.

COLONY SQUARE SUBDIVISION VOL. 16, PG 321 B.C.P.R.

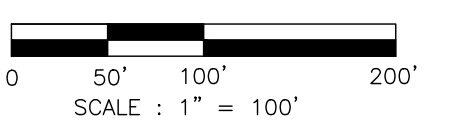


AMG CITY VIEW APARTMENTS L.L.C. C.C.F.N. 2021085006 O.P.R.B.C.T.

ANGLETON L.L.P. C.C.F.N. 2020056559 O.P.R.B.C.T.

LEA VILLA VENTURES, LLC C.C.F.N. 2020046416 O.P.R.B.C.T.

- LEGEND: C.C.F.N. = COUNTY CLERK'S FILE NUMBER, O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS, B.C.D.R. = BRAZORIA COUNTY DEED RECORDS, S.C.P.R. = BRAZORIA COUNTY PLAT RECORDS, B.L. = BUILDING LINE, B.M. = BENCHMARK, D.E. = DRAINAGE EASEMENT, I.R. = IRON ROD, C.I.R. = CAPPED IRON ROD, P.O.B. = POINT OF BEGINNING, R.O.W. = RIGHT-OF-WAY, VOL. PG. = VOLUME, PAGE, W.L.E. = WATERLINE EASEMENT, B.&L. = BAKER & LAWSON. SYMBOLS: Circle with dot = SET 5/8" I.R. W/CAP "BAKER & LAWSON", Circle with cross = FOUND MONUMENT (AS NOTED), Circle with star = (TBM) TEMPORARY BENCHMARK.

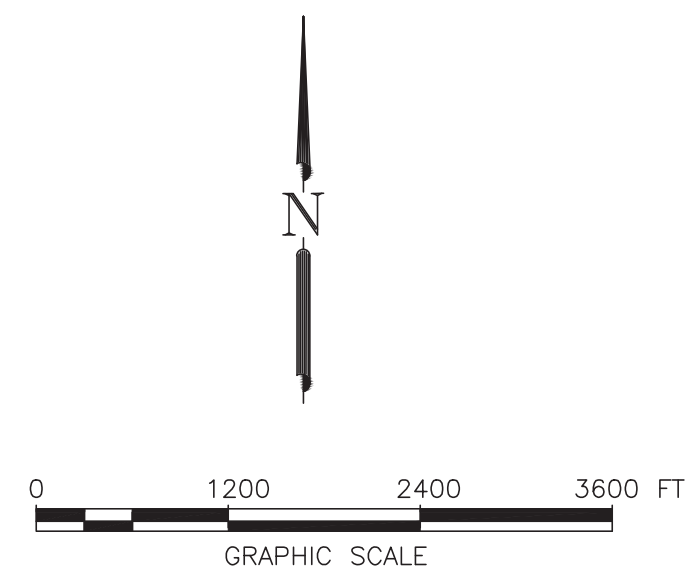


FINAL PLAT RIVERWOOD RANCH SUBDIVISION SECTION 3. A 35.620 ACRES 73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION. BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS RECORDED IN C.C.F.N. 2020043779 OF THE O.P.R.B.C.T. LOCATED IN THE THEODORE S. LEE SURVEY ABSTRACT NO. 318 CITY OF ANGLETON BRAZORIA COUNTY, TEXAS

B&L BAKER & LAWSON, INC. ENGINEERS • PLANNERS • SURVEYORS. 4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPELS No. 10052500 REG. NO. F-825

Project information table with columns: PROJECT NO., DRAWING NO., SCALE, DATE, DRAWN BY, CHECKED BY.

CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 8 BLOCKS, 145 LOTS IN THE CITY OF ANGLETON BRAZORIA COUNTY B&L JOB No. 14396

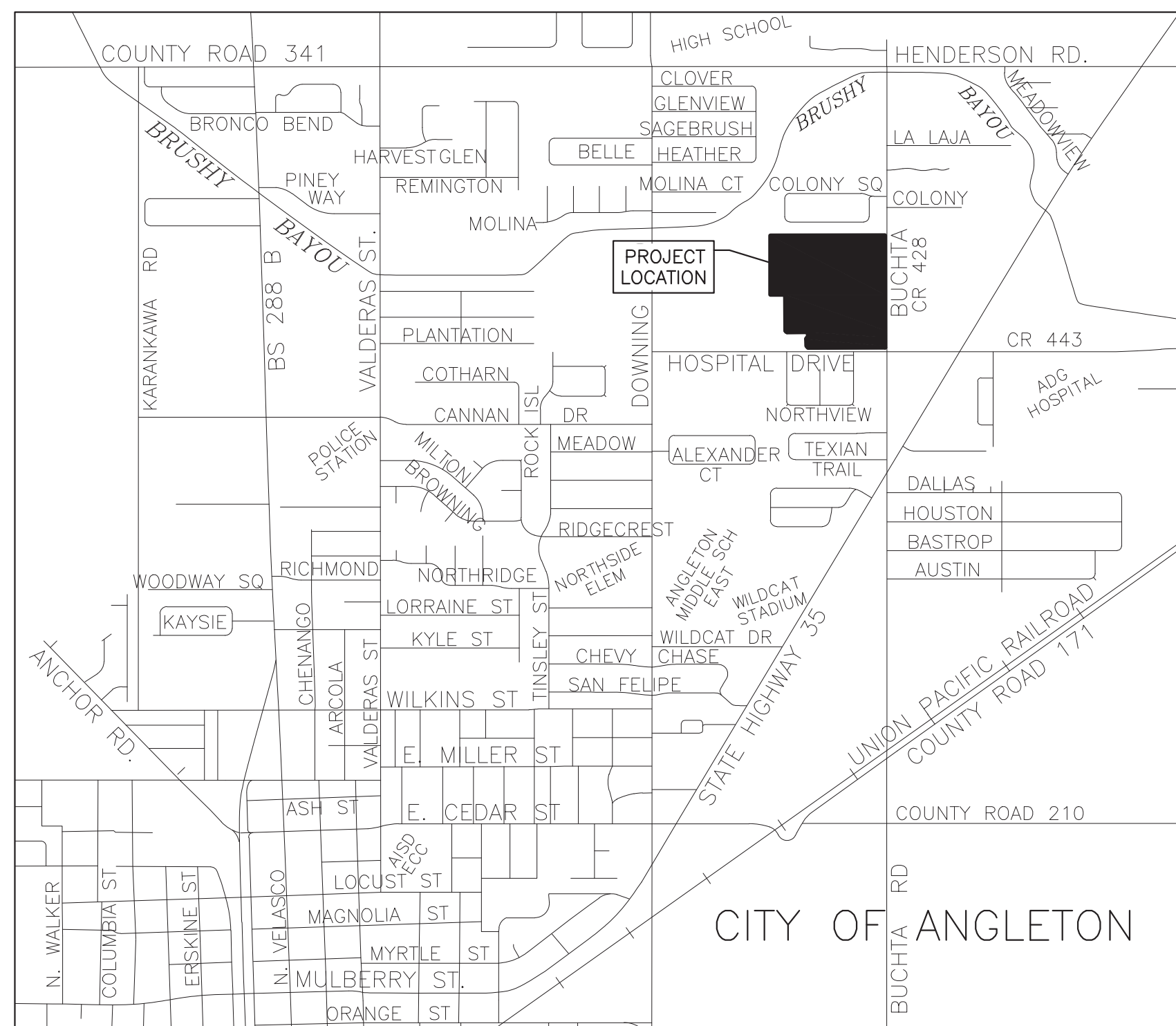


INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
1	TITLE SHEET
-	FINAL PLAT
2	CONSTRUCTION NOTES
3	EXISTING CONDITIONS & DEMOLITION
4	DRAINAGE AREA MAP
5	LOT GRADING PLAN
5A	CUT & FILL CALCULATION
6	UTILITY PLAN & SHEET LAYOUT
7	PLAN & PROFILE - EMMA STREET STA -0+80 TO 4+80
8	PLAN & PROFILE - EMMA STREET STA 4+80 TO 10+00
9	PLAN & PROFILE - EMMA STREET STA 10+00 TO 15+60
10	PLAN & PROFILE - ROBIN STREET STA -1+60 TO 4+20
11	PLAN & PROFILE - ROBIN STREET STA 4+20 TO 9+60
12	PLAN & PROFILE - ROBIN STREET STA 9+60 TO 15+20
13	PLAN & PROFILE - ROBIN STREET STA 15+20 TO 20+40
14	PLAN & PROFILE - AMY STREET STA 0+00 TO 3+20
15	PLAN & PROFILE - AMY STREET STA 3+20 TO 8+00
16	PLAN & PROFILE - AMY STREET STA 15+00 TO 17+80
17	PLAN & PROFILE - AMY STREET STA 17+80 TO 22+68
17A	PLAN & PROFILE - OUTFALL C & D
17B	PLAN & PROFILE - OUTFALL D & NORTH DITCH
17C	PLAN & PROFILE - NORTH DITCH
17D	PLAN & PROFILE - NORTH DITCH
18	DETENTION POND
19	SWPPP LAYOUT
20	SWPPP NARRATIVE
21	HYDROLOGICAL CALCULATIONS
22	WINDSTORM DATA RUN A & B
23	WINDSTORM DATA RUN C & D
24	PAVEMENT MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT
25	TRAFFIC CONTROL PLAN - TCP (2-5) - 18
26	HERITAGE TREE PRESERVATION PLAN

DETAIL SHEETS

27	MISCELLANEOUS DETAILS
28 (SL-03)	STORM SEWER MANHOLE CONSTR. DETAILS
29 (SL-08)	STORM SEWER INLET CONSTR. DETAILS II
30 (SL-09)	STORM SEWER INLET CONSTR. DETAILS III
31 (SL-10)	STORM SEWER CONSTR. DETAILS
32 (SL-11)	JUNCTION BOX MANHOLES
33 (SL-14)	SANITARY SEWER CONSTR. DETAILS
34 (SL-15)	WATER LINE CONSTR. DETAILS
35 (SL-16)	WATER LINE CROSSING DETAILS
36 (SL-19)	WATER LINE, SAN. SEW. F.M. BEDDING DETAILS
37 (SL-20)	STORM SEW. BEDDING AND BACKFILL DETAILS
38 (SL-21)	CONCRETE PAVEMENT CONSTR. DETAILS
39 (SL-22)	CONCRETE PAVEMENT CONSTR. DETAILS
40 (SL-23)	RESIDENTIAL CURB CONSTR. DETAILS
41 (SL-25)	WHEEL CHAIR RAMP & SIDEWALK DETAILS I
42 (SL-26)	WHEEL CHAIR RAMP & SIDEWALK DETAILS II
43 (SL-27)	DRIVEWAY CONSTR. DETAILS
44 (SL-33)	GENERAL EROSION CONTROL NOTES
45 (SL-34)	EROSION CONTROL DETAILS - 1
46 (SL-35)	EROSION CONTROL DETAILS - 2



CITY OF ANGLETON

MAYOR
JASON PEREZ

CITY MANAGER
CHRIS WHITTAKER

CITY COUNCIL

CHRISTIENE DANIEL
CECIL BOOTH
JOHN WRIGHT
MARK GONGORA
TRAVIS TOWNSEND

This subdivision lies within the Brushy Bayou Watershed.

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4905 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

OWNER:

RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

TITLE SHEET

PROJECT NO. 14396

FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B.&L.), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00" (THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00" (THE CHORD BEARS NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B.&L. FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87°07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02°52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B.&L. SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT OF WAY LINE OF HOSPITAL DRIVE;

THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

Table with 5 columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Lists curves C1 through C19.

Table with 5 columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Lists curves C20 through C38.

Table with 3 columns: Line No., Length, Direction. Lists lines L1 through L10.

Table with 4 columns: BLOCK 1 SECTION 3, BLOCK 2 SECTION 3, BLOCK 3 SECTION 3, BLOCK 4 SECTION 3. Each column contains a parcel table with Lot No., Area S.F., and Parcel Table.

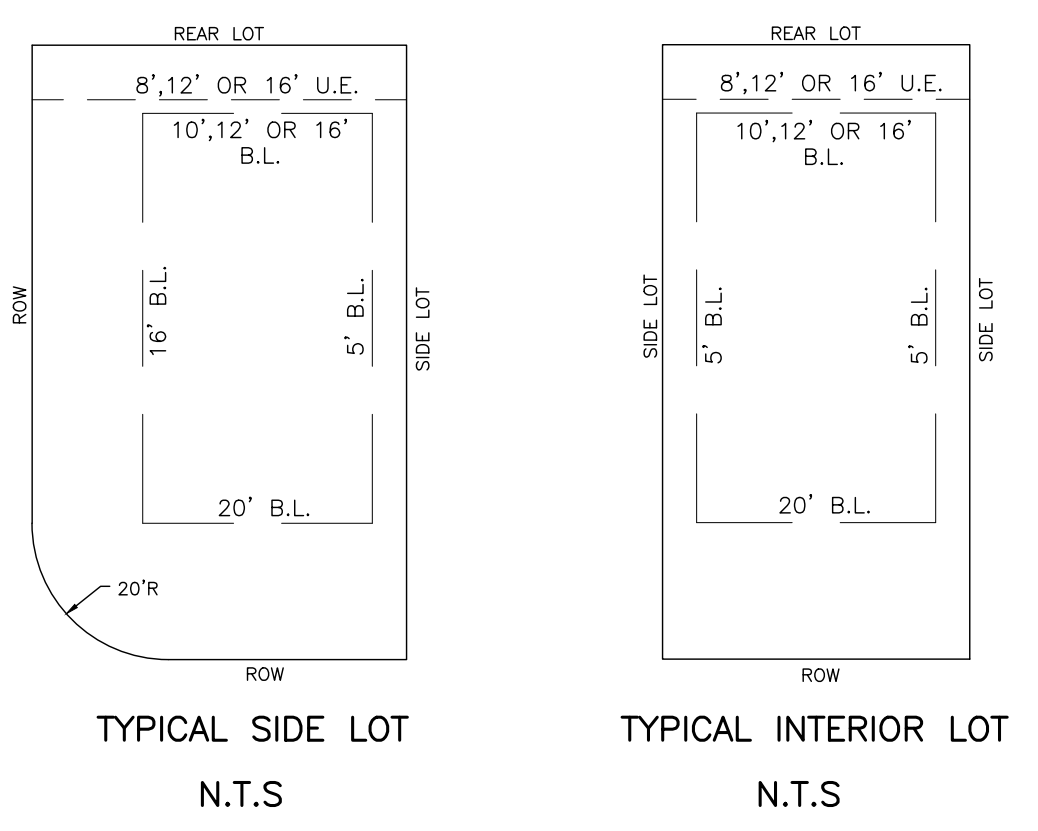


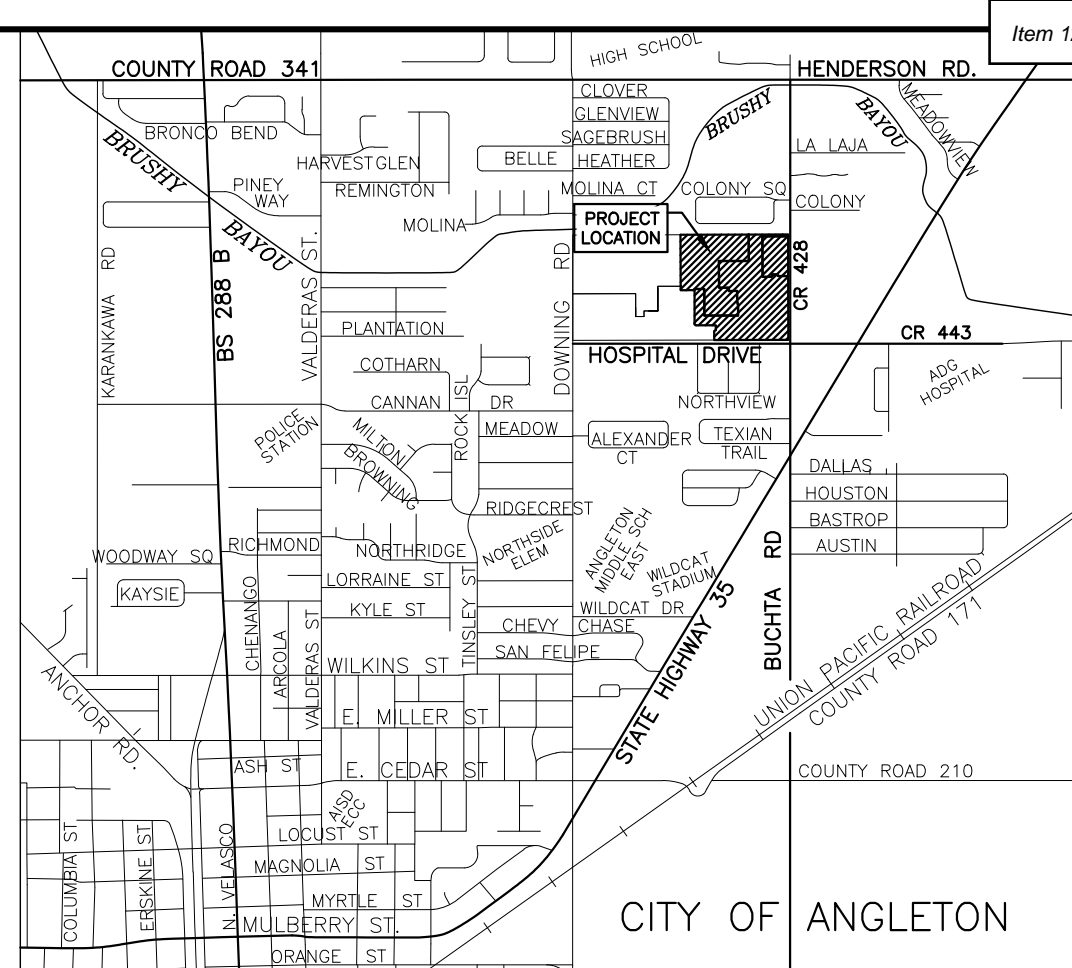
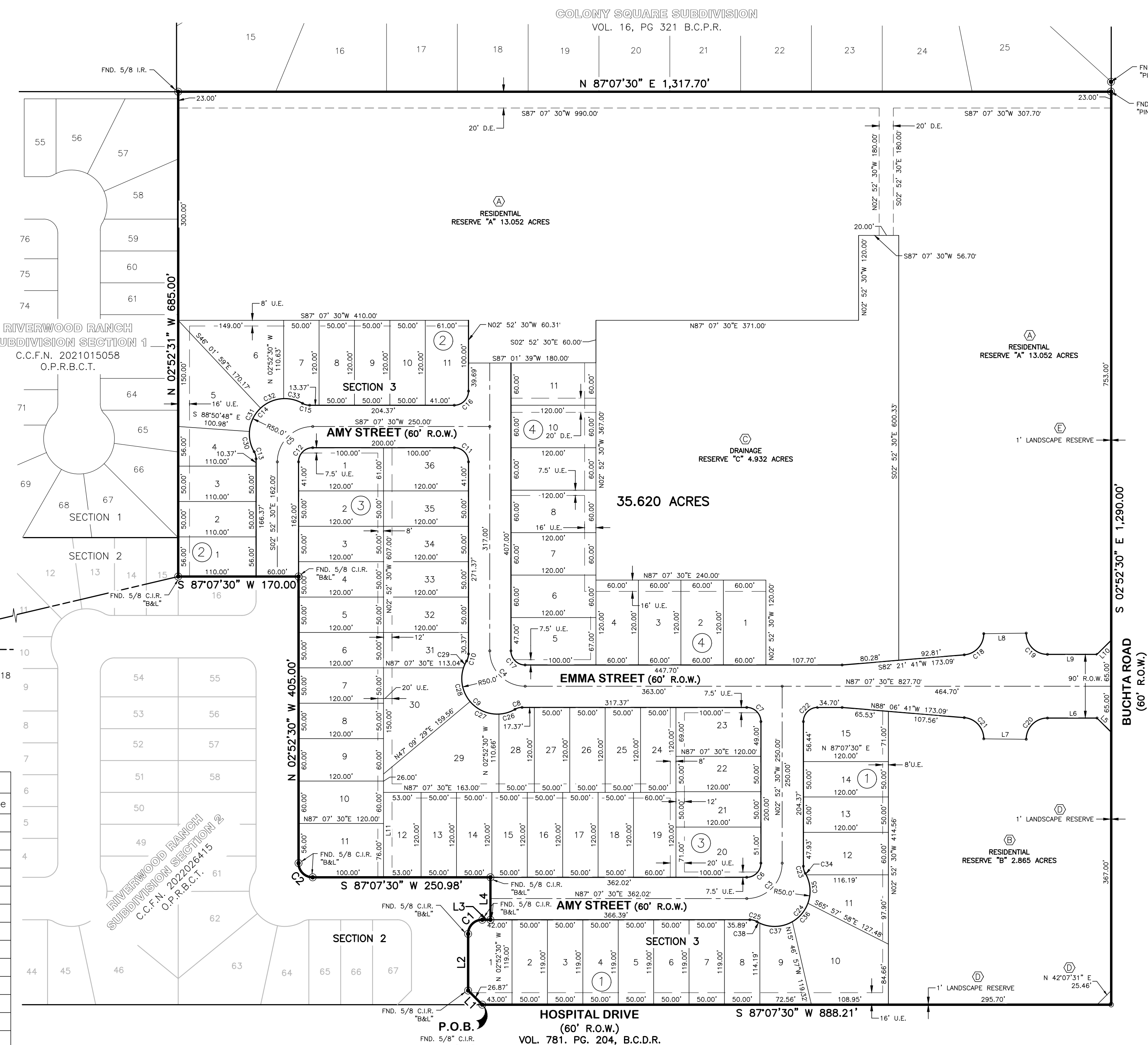
Table with 3 columns: STREET NAME, R.O.W. WIDTH, TOTAL LENGTH. Lists proposed streets: Hospital Drive, Amy Street, Emma Street.

Table with 4 columns: SYMBOL, DESCRIPTION, RESERVE USE, AREA. Lists reserve areas A through E.

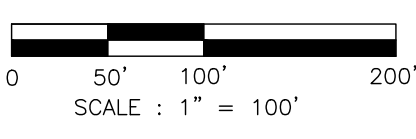
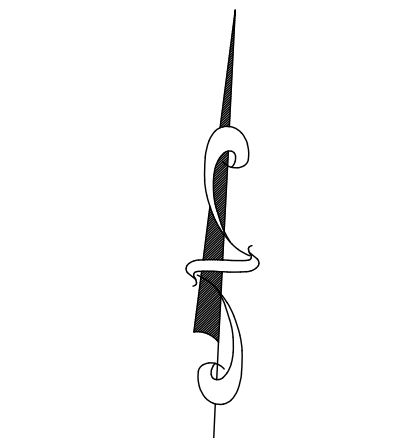
OWNERS: JOHN SANTASIERO, RIVERWOOD RANCH L.L.C., 1027 YALE STREET, HOUSTON, TEXAS 77008



4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681



VICINITY MAP



- LEGEND: C.C.F.N. = COUNTY CLERK'S FILE NUMBER, O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS, B.C.D.R. = BRAZORIA COUNTY DEED RECORDS, S.C.P.R. = BRAZORIA COUNTY PLAT RECORDS, B.L. = BUILDING LINE, B.M. = BENCHMARK, D.E. = DRAINAGE EASEMENT, I.R. = IRON ROD, C.I.R. = CAPPED IRON ROD, P.O.B. = POINT OF BEGINNING, R.O.W. = RIGHT-OF-WAY, VOL., PG. = VOLUME, PAGE, W.L.E. = WATERLINE EASEMENT, B.&L. = BAKER & LAWSON, SYMBOLS: O = SET 5/8" I.R. W/CAP "BAKER & LAWSON", F = FOUND MONUMENT (AS NOTED), T = (TBM) TEMPORARY BENCHMARK

AMG CITY VIEW APARTMENTS L.L.C. C.C.F.N. 2021085006 O.P.R.B.C.T.

ANGLETON L.L.P. C.C.F.N. 202056559 O.P.R.B.C.T.

LEA VILLA VENTURES, LLC C.C.F.N. 2020046416 O.P.R.B.C.T.

FINAL PLAT RIVERWOOD RANCH SUBDIVISION SECTION 3 A 35.620 ACRES 73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS RECORDED IN C.C.F.N. 2020043779 OF THE O.P.R.B.C.T.

LOCATED IN THE THEODORE S. LEE SURVEY ABSTRACT NO. 318 CITY OF ANGLETON BRAZORIA COUNTY, TEXAS

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINAbove DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT
RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS ____ DAY OF _____, 20____ BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ____ DAY OF _____, 20____ BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEEES AND SUCCESSORS: THE PORTION OF BLOCK 1, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINAbove DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SLT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

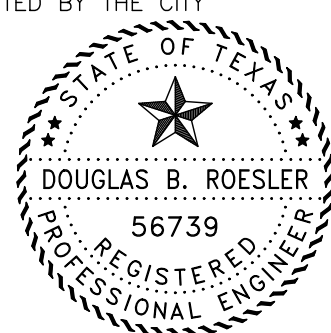
STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

SIGNED: _____ DATE _____

DOUGLAS B. ROESLER
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739



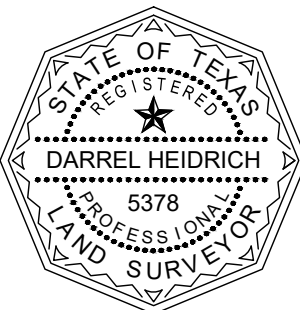
STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

SIGNED: _____ DATE _____

DARREL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5378



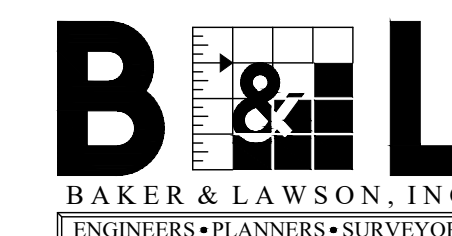
NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.
2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
4. REFERENCE BENCHMARK:
NGS MONUMENT R1182 (PID AW1171)
A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
ELEVATION = 26.31 FEET NGVD29
5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.
12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.
13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

SHEET 2 OF 2

FINAL PLAT
RIVERWOOD RANCH SUBDIVISION
SECTION 3
A 35.620 ACRES
73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION
BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS
RECORDED IN C.C.F.N. 2020043779
OF THE O.P.R.B.C.T.

LOCATED IN THE
THEODORE S. LEE SURVEY
ABSTRACT NO. 318
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS



4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

OWNERS:
JOHN SANTASIERO
RIVERWOOD RANCH LLC
1027 YALE STREET
HOUSTON, TEXAS 77008

PROJECT NO.: 14396	SCALE: 1" = 100'	DRAWN BY: BT
DRAWING NO.: 14396 SEC 3-4 FINAL PLAT	DATE: 12/02/2022	CHECKED BY: DH

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL NOTIFY THE "UNDERGROUND UTILITY COORDINATING COMMITTEE" (TELEPHONE NO. (979) 849-4364 AND THE CITY OF ANGLETON (TELEPHONE NO. (979) 849-4364) 48 HOURS BEFORE STARTING WORK IN STREET RIGHT-OF-WAYS OR EASEMENTS.
- ALL EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM INFORMATION AVAILABLE. CONTRACTOR HAS SOLE RESPONSIBILITY FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS. CONTRACTOR SHALL COORDINATE ALL CONFLICTS WITH THE APPROPRIATE GOVERNING AGENCY. NO SEPARATE PAY.
- CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUBPART P AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989.
- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD MOST RECENT EDITION AS REVISED) DURING CONSTRUCTION.
- CONTRACTOR SHALL COVER OPEN EXCAVATIONS IN PUBLIC STREETS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
- EXISTING PAVEMENTS, CURBS, SIDEWALKS, CULVERTS AND DRIVEWAYS (ADJACENT TO THE WORK) DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO EQUAL OR BETTER THAN THEIR ORIGINAL CONDITION AT CONTRACTOR EXPENSE.
- CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK. CONTRACTOR SHALL TAKE NECESSARY ACTIONS TO PROTECT THE EXISTING SURFACES OUTSIDE THE WORK AREA FROM THE EQUIPMENT USED. ALL TRACKED MACHINERY (STREET PADS INCLUDED) SHALL NOT BE OPERATED DIRECTLY ATOP THE PAVEMENT WITHOUT APPROPRIATE PADDING AND PROTECTION OF THE SURFACES. ANY MARRED OR DISTRESSED AREAS SHALL BE REMOVED AND RESTORED WITH NEW MATERIALS TO THE SATISFACTION OF THE ENGINEER. ANY EXISTING DISTRESSED AREAS SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO OPERATIONS IN THE WORK AREA.
- ALIGNMENT, CENTERLINE CURVE DATA AND STATIONING TO BE VERIFIED BY ON-THE-GROUND SURVEY FROM APPROVED SUBDIVISION PLAT (OR APPROVED PLOT FOR OFF SITE EASEMENTS), AND ELEVATIONS OF ALL CONNECTIONS TO EXISTING FACILITIES TO BE CONFIRMED PRIOR TO WORK START. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK.
- ALL UTILITY TRENCHES TO BE BACK FILLED TO 90 PERCENT (90%) STANDARD PROCTOR DENSITY UNLESS OTHERWISE NOTED.
- ALL SURVEY, LAYOUT, MEASUREMENT, AND GRADE STAKE WORK SHALL BE PERFORMED BY BAKER & LAWSON, INC. AS PART OF THE WORK UNDER THIS CONTACT.
- BAKER & LAWSON, INC. WILL PROVIDE EXPERIENCED INSTRUMENT MEN, COMPETENT ASSISTANTS, AND SUCH INSTRUMENTS, TOOLS, STAKES, AND OTHER MATERIALS REQUIRED TO COMPLETE THE SURVEY, LAYOUT AND MEASUREMENT WORK.
- CONSTRUCTION DEBRIS AND OTHER UNCLASSIFIED UNSUITABLE EXCESS MATERIAL SHALL BE HAULED TO A STATE APPROVED DISPOSAL SITE OR AS DIRECTED BY THE ENGINEER. AN EXISTING LANDFILL APPROXIMATELY 10 MILES FROM THE PROJECT SITE IS THE NEAREST STATE APPROVED FEE FACILITY. ALL REFUSE MATERIALS (BROKEN CONCRETE, TREES, ASPHALT, ETC.) SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
- PLAN QUANTITIES WILL BE USED FOR FINAL PAYMENT UNLESS DESIGN CHANGES ARE MADE DURING CONSTRUCTION.

CONSTRUCTION NOTES FOR PAVING & DRAINAGE

- GUIDELINES SET FORTH IN THE MANUAL ON UNIFORM CONTROL DEVICES SHALL BE OBSERVED.
- FILL SHALL BE PLACED IN MAXIMUM 8" LOOSE LIFTS AND COMPACTED TO 95% OF OPTIMUM DENSITY AS DETERMINED USING TESTING METHOD ASTM D698.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING BARRICADES TO PREVENT TRAFFIC FROM USING NEW PAVEMENT UNTIL PROJECT IS COMPLETED AND ACCEPTED BY PROPER AUTHORITY OR AS AUTHORIZED BY ENGINEER.
- B-B INDICATES ROAD WIDTH TO BACK OF CURB. CURB RADI ARE TO FACE OF CURB. T.C. INDICATES TOP OF CURB ELEVATIONS (BASED ON 4" CURB UNLESS OTHERWISE NOTED) T.P. INDICATES TOP OF PAVEMENT ELEVATION.
- TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM SPACING OF 40-FOOT INTERVALS (SAWCUTS @ 20"(2 1/2"DEEP), LONGITUDINAL JOINTS SHALL BE AT MAXIMUM OF 14-FOOT SPACING. WOOD JOINT SHALL BE SOUND HEART REDWOOD.
- 6-INCH CONCRETE PAVEMENT TO BE 5.5 SACK MIX MIN. (3,500 PSI) REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60. PROVIDE MINIMUM 18-INCH LAPS. (36 BAR DIA)
- SAW CUT TO EXPOSE EXISTING LONGITUDINAL STEEL REQUIRED TO CREATE A MINIMUM TWELVE-INCH (12") OVERLAP OF PROPOSED AND EXISTING LONGITUDINAL REINFORCING STEEL WHEN MAKING A CONNECTION TO EXISTING CONCRETE PAVEMENT. WHERE SPACING OF EXISTING LONGITUDINAL STEEL DIFFERS FROM PROPOSED STEEL SPACING, NOTIFY THE ENGINEER.
- USE PLASTIC CHAIRS TO SUPPORT REINFORCEMENT AT 24-INCH SPACING EACH WAY.
- SUBGRADE TO BE STABILIZED 1-FOOT BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. EXCESS LIME STABILIZED SOIL SHALL BE UTILIZED IN THE PREPARATION OF SUBGRADE FOR DRIVEWAYS. THERE WILL BE NO PAYMENT FOR PREPARING SUBGRADE FOR DRIVEWAYS AND SIDEWALKS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE ASSOCIATED CONCRETE PAY ITEMS. SUBGRADE PREPARATION FOR DRIVEWAYS AND PAVING SHALL INCLUDE PROOF ROLLING. SOFT AREAS TO BE EXCAVATED AND RECOMPACTED TO ADJACENT SOIL DENSITY.
- USE CONTINUOUS LONGITUDINAL REINFORCING BAR IN CURB.
- BACK FILL AND BEDDING FOR HEADWALL STRUCTURES, TYPE "C" INLETS, R.C.P. LEADS AND STORM SEWERS SHALL BE WITH 1.5 SACK CEMENT. STABILIZED SAND SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90% OF DENSITY DETERMINED BY STANDARD MOISTURE-DENSITY RELATION (ASTM D-698) AT OPTIMUM MOISTURE AND SHALL BE PLACED AND FINISHED WITHIN 3 HRS. OF MIXING. TEMPORARY TRAVEL WAY SURFACE SHALL BE WITH CEMENT STABILIZED LIMESTONE. PAYMENT FOR THESE ITEMS SHALL BE SUBSIDIARY TO THE VARIOUS STRUCTURAL BID ITEMS. VERIFICATION OF CEMENT STABILIZED SAND MIXTURE SHALL BE FURNISHED UPON REQUEST OF ENGINEER.
- THE SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES (BLUE TOPS) AND APPROVED BY THE ENGINEER BEFORE LIME IS APPLIED.

- RATE OF APPLICATION FOR LIME SHALL BE SEVEN PERCENT (7%) OF THE DRY WEIGHT OF SOIL (QUALITY BASE ON 100 #/ C.F.) OF THIRTY ONE AND ONE (31.5) POUNDS PER SQUARE YARD FOR SIX (6) INCH STABILIZED SUBGRADE. LIME STABILIZED SUBGRADE SHALL NOT BE MIXED MORE THAN ONE INCH IN EXCESS OF THE REQUIRED DEPTH. LIME STABILIZED SUBGRADE SHALL BE BROUGHT TO THE OPTIMUM MOISTURE CONTENT DURING THE FIRST MIXING OPERATIONS THEN LEFT TO CURE FOR TWO CURING DAYS BEFORE FINAL MIXING CAN BEGIN. AFTER FINAL MIXING IS COMPLETED AND BEFORE SOIL DENSITY TESTS ARE TAKEN, LIME STABILIZED SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES (BLUE TOPS) AND APPROVED BY THE ENGINEER. DENSITY SHALL BE NINETY-FIVE PERCENT (95%) OF THE STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE. TESTED AND COMPLETED SECTIONS SHALL BE KEPT MOIST CURED ON A DAILY BASIS WITH WATER TRUCKS OR SUBSTANTIAL SUPPLY HOSES FOR THE ENTIRE PERIOD THE SURFACE REMAINS UNCOVERED WITH ADDITIONAL COURSES. AFTER FINAL TESTING AND APPROVAL IS COMPLETE, TRACK EQUIPMENT, SCRAPERS AND OTHER HEAVY EQUIPMENT WILL NOT BE PERMITTED ON THE COMPLETED LIME STABILIZED AREA. LIGHT MOTOR GRADERS, RUBBER Tired TRACTORS, WATER TRUCKS AND ROLLERS USED IN FINISHING OPERATIONS WILL BE PERMITTED WITH THE APPROVAL OF THE ENGINEER. CONCRETE AND LOADED HAUL TRUCKS ARE STRICTLY PROHIBITED ON COMPLETED AREAS UNLESS THE TRAVELED AREA REGARDLESS OF CONDITION IS REMIXED COMPACTED AND TESTED FOR APPROVAL A SECOND TIME.
- FORMS SHALL BE EITHER WOOD OR STEEL, OF GOOD QUALITY, FREE OF WARP AND SUFFICIENTLY STAKED TO AVOID SHIFTING WHEN LOAD IS APPLIED. ALL REDWOOD EXPANSION BOARDS SHALL BE STAKED WITH 1X2 REDWOOD STAKES AND ALLOWED TO REMAIN WITHIN THE POUR. METAL STAKES ARE APPROVED FOR USE TO STAKE METAL KEYS.
- REINFORCING SHALL BE SECURELY TIED AT ALL INTERSECTIONS AND SPLICES. ALL DOWELS SHALL BE SECURELY TIED. REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST AT TIME OF USE. PLASTIC CHAIR OF THE CORRECT HEIGHT SHALL BE USED. SPACING SHALL BE SUFFICIENT TO SUPPORT REINFORCEMENT.
- PRIOR TO CONCRETE PLACEMENT, CONTRACTOR SHALL PRESENT A CERTIFIED COPY OF TOP OF FORM GRADES TO THE ENGINEER FOR REVIEW AND APPROVAL. ELEVATIONS OF FORMS SHALL BE RECORDED AT 10' INTERVALS. ADJUSTMENTS TO FORMS SHALL BE COMPLETE 4 HRS. PRIOR TO CONCRETE PLACEMENT.
- CONCRETE FOR STREET PAVEMENTS SHALL BE "CLASS A" CONCRETE, SHALL NOT HAVE LESS THAN FIVE AND ONE HALF (5 1/2) SACKS OF CEMENT PER CUBIC YARD, AND SHALL NOT HAVE MORE THAN SIX AND ONE HALF (6 1/2) GALLONS OF WATER PER SACK OF CEMENT. SLUMP SHALL NOT EXCEED FIVE (5) INCHES AND SHALL DEVELOP A MODULUS OF RUPTURE STRENGTH OF THIRY THOUSAND FIVE HUNDRED (2500) P.S.I. AT TWENTY EIGHT (28) DAYS. CONCRETE SHALL BE PLACED IN SUCH A MANNER AS TO REQUIRE AS LITTLE HANDLING POSSIBLE. USE OF AN APPROVED VIBRATING SCREED WILL BE REQUIRED. AT INTERSECTIONS AND SMALL AREAS WHERE A VIBRATORY SCREED CAN NOT BE USED, A HAND VIBRATOR OR "JITTERBUG" SHALL BE USED. USE OF A TEN FOOT (10') CONCRETE PAVEMENT STRAIGHT EDGE WILL ALSO BE REQUIRED. ALL EXPOSED JOINTS SHALL BE EDGED AS NOTED ON DETAILS. SURFACE SHALL BE TYPICALLY A BELT FINISH OR BROOM FINISH (COARSE, MEDIUM OR LIGHT) AS REQUIRED BY THE APPLICATION AND DIRECTED BY THE ENGINEER.
- FLY ASH SHALL MAKE UP FROM 20-25% BY VOLUME OF THE SPECIFIED CEMENT VOLUME AND SHALL CONFORM TO ASTM C 618, CLASS F.
- CURING COMPOUND SHALL BE TYPE II WITH WHITE PIGMENT. APPLIED AT THE UNDILUTED RATE OF ONE GALLON PER TWO HUNDRED (200) SQUARE FEET.
- EXPANSION JOINTS SHALL BE CLEANED, WIRE BRUSHED, BLOWN OR FLAME DRIED SEALED WITH AN APPROVED LIST RUBBERIZED HOT LAID ASPHALT JOINT AND CRACK SEALANT OR A TWO (2) COMPONENT POLYMERIC SELF LEVELING COLD APPLIED SEALANT.
- CONTRACTOR WILL NOT PERMIT TRAFFIC ON NEW CONCRETE PAVEMENT UNTIL BOTH A MINIMUM OF SEVEN (7) CURING DAYS AND MODULUS OF RUPTURE STRENGTH OF THIRTY THOUSAND FIVE HUNDRED (3500) P.S.I. TAKES PLACE OR AS APPROVED BY THE ENGINEER/PUBLIC WORKS DEPARTMENT.
- CONCRETE FOR CURB SHALL BE A 3000 P.S.I. PERFORMANCE STRENGTH CONCRETE WITH A MINIMUM FIVE (5) SACK CEMENT PER CUBIC YARD CONTENT. CURB CONCRETE MIX MAY BE A SMALL AGGREGATE BATCH DESIGN.
- A CONCRETE MIX DESIGN OF CONCRETE PLUS FLY ASH MAY BE SUBSTITUTED IN LIEU OF THE STANDARD CONCRETE BATCH DESIGN. THE FLY ASH SHALL CONFORM TO THE REQUIREMENTS OF TxDOT MATERIAL SPECIFICATION D-9-8900, AND SHALL NOT EXCEED 25% BY ABSOLUTE VOLUME OF THE SPECIFIED CEMENT CONTENT. THE MODULUS OF RUPTURE STRENGTHS MINIMUMS AND DEVELOPMENT PERIOD OF THE STANDARD CONCRETE MIX DESIGN SHALL REMAIN IN EFFECT AND SHALL BE VERIFIED BY A CONCRETE BATCH MIX DESIGN PREPARED AND TESTED BY A GEOTECHNICAL LAB AND SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ENGINEERING/PUBLIC WORKS DEPARTMENT PRIOR TO PAVING OPERATIONS.
- ALL PAVEMENT SAW CUT REQUIRED IN THE PLANS SHALL BE CONSIDERED SUBSIDIARY TO THE PAVING REMOVAL PAY ITEM REQUIRING IT.
- BLOCK SOD SHALL BE PLACED 16" (ONE BLOCK WIDTH) WIDE ALONG THE EDGE OF ALL NEWLY CONSTRUCTED CURBS AND TO DRIVEWAY REPLACEMENT LIMITS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANALYZING WEATHER CONDITIONS AND TO SUSPEND OPERATIONS DURING PERIODS WHEN ADVERSE WEATHER CONDITIONS APPEAR LIKELY. NO CONCRETE SHALL BE PLACED WHEN THE TEMPERATURE IS 35°F AND RISING. HOWEVER, NO CONCRETE SHALL BE PLACED WHEN THE CONCRETE TEMPERATURE IS ABOVE 100°F. THE CONTRACTOR SHALL KEEP SUFFICIENT LENGTH OF COVERING MATERIAL ON THE JOB SITE TO PLACE OVER AND PROTECT THE SURFACE OF "FRESH" CONCRETE DURING PERIODS OF UNPREDICTED RAINS.
- CUL-DE-SACS TO BE PAVED COMPLETELY WITH NO ISLANDS

WASTEWATER CONSTRUCTION NOTES

- CONTRACTOR SHALL PROVIDE RECORD OF LOCATION OF ALL STACKS, STUBS, LEADS, ETC. TO CITY OF ANGLETON.
- SEPARATION DISTANCES FOR ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS "SECTION 317.20," LATEST PRINTING.
- MAINTAIN 12-INCH MINIMUM VERTICAL CLEARANCE AT CROSSINGS BETWEEN SANITARY SEWERS AND CULVERTS, UNLESS OTHERWISE NOTED.
- WHERE SANITARY SEWER LINE CROSSES A WATER LINE WITH LESS THAN 9- FEET BUT MORE THAN 6-INCHES VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF PRESSURE RATED P.V.C. SANITARY SEWER (ASTM D2241, CLASS 150, SDR 26) CENTERED ON WATER LINE. INCLUDE COST OF WATER LINE CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR SANITARY SEWER IN APPROPRIATE SIZES.
- CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY UNSUITABLE TRENCH CONDITIONS.
- SANITARY SEWER LEADS UNDER OR WITHIN 1' OF EXISTING OR FUTURE PAVEMENT SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND UP TO WITHIN 1' OF TOP OF PAVING SUBGRADE. CEMENT STABILIZED SAND BACK FILL FOR LEADS SHALL BE INCLUDED IN THE BID UNIT PRICE FOR LEADS.
- LOW PRESSURE AIR TEST SHALL BE CONDUCTED PER TNRC TAC 317.2. HOLDING TIMES SHALL BE AS ESTABLISHED BY TNRC. CONTRACTOR TO PROVIDE TEST PLUGS AND RISERS. NO SEPARATE PAY.

- CONTRACTOR TO OPEN CUT ALL SANITARY SEWER CONSTRUCTION UNLESS NOTE OTHER WISE, SEWER SERVICES TO BE INSTALLED FULL WIDTH OF ROADWAY--NO HALF STREET INSTALLATIONS.
- CONTRACTOR SHALL AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED SERVICE AND SHALL AVOID OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.
- ALL SINGLE AND DOUBLE SERVICE LEAD SHALL BE A MINIMUM SIX INCH (6") UNLESS OTHERWISE DIRECTED BY THE ENGINEER/PUBLIC WORKS AND/OR FIELD ADJUSTED BY THE UTILITY DEPARTMENT IN THE FUTURE.

UTILITY CONSTRUCTION NOTES

- CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN CONTRACT DOCUMENTS. THRUST BLOCKING SHALL BE CLASS "B" CONCRETE 2500 P.S.I. AND SHALL BE SUBSIDIARY TO THE BID ITEM PERTINENT TO ITS USE. ALL CEMENT STABILIZED SAND BACKFILL SHALL BE 1.5 SK/ CY CEMENT CONTENT. ALL M.J. D.I. FITTINGS WILL HAVE M.J. RESTRAINTS (STARGORIP OR EQUAL) WRAP FITTINGS & RESTRAINTS WITH 10 MIL POLY.
- SEPARATION DISTANCES OF ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS," SECTION 317.20, LATEST PRINTING.
- ALL 4" THROUGH 12" WATER MAINS TO BE P.V.C. PIPE, AWWA C-900, CLASS 150, SDR 18, MEETING THE REQUIREMENTS OF ANSI/NSF 61 UNLESS OTHERWISE NOTED.
- WATER LINES UNDER OR WITHIN 1 FEET OF NEW OR EXISTING PAVEMENTS (STREETS AND DRIVEWAYS) SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND AS SPECIFIED IN THE CONSTRUCTION DETAIL.
- PROVIDE A MINIMUM SIX-INCHES (6") OF CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS.
- 4-INCH THROUGH 12-INCH LINES TO HAVE A MINIMUM OF 4'-0" COVER BELOW TOP OF CURB. UNLESS OTHERWISE NOTED, VARY FLOW LINE UNIFORMLY FROM DEPTH SHOWN ON PLANS.
- CENTERLINE OF FIRE HYDRANT TO BE LOCATED AT 3' FROM BACK OF CURB WITH CENTERLINE OF STEAMER NOZZLE 22 INCHES ABOVE FINISHED GRADE. TURN STEAMER OUTLET TO FACE STREET.
- WHERE WATER LINE CROSSES SANITARY SEWER LINE OR LEAD WITH LESS THAN NINE FEET (9') VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF WATER LINE CENTERED ON LEAD. INCLUDE COST OF LEAD CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR WATER LINE IN APPROPRIATE SIZES.
- THE CONTRACTOR AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED FLOW TO ALL SERVICES AND MAINS AND SHALL AVOID OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.

CENTERPOINT ENERGY / ENTEX NOTES

CAUTION: UNDERGROUND GAS FACILITIES

LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY, INTRASTATE PIPELINE, LLC, WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE NOT USUALLY SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE. THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT (979) 849-4364 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

* WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (800) 752-8036 OR (713) 659-2111 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.

* WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.

* WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.

* FOR EMERGENCIES REGARDING GAS LINES CALL (800) 659-2111 OR (713) 659-2111.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-9769.

WARNING: OVERHEAD ELECTRICAL FACILITIES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT 713-207-2222.

SBC NOTES

THE LOCATIONS OF SOUTHWESTERN BELL TELEPHONE CO. UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.

TEXAS NEW MEXICO POWER NOTES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO POWER AT (979) 829-5776.

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ANGLETON CONSTRUCTION MANUAL (ACM) AND LAND DEVELOPMENT CODE, HEREAFTER REFERRED TO THE ACM AND THE LDC.
- APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, ADEQUACY, AND COMPLIANCE OF THE SUBMITTED PLANS.
- ALL RESPONSIBILITY FOR RESTS ON DESIGN ENGINEER WHO PREPARED THEM, IN APPROVING THESE PLANS, THE CITY MUST RELY ON THE ADEQUACY AND ACCURACY OF THE DESIGN ENGINEER.
- DESIGNS SHALL BE IN COMPLETE COMPLIANCE WITH THE LDC AND THE ACM. ANY WAIVER, DEVIATION, VARIANCE, OR EXCEPTION FROM ANY SPECIFIC REQUIREMENT(S) OF THE LDC OR ACM THAT WERE NOT EXPRESSLY REQUESTED WHEN PLANS ARE SUBMITTED, SHALL NOT BE CONSTRUED TO HAVE BEEN GRANTED IF PLANS ARE APPROVED. IT IS THE RESPONSIBILITY OF THE ENGINEER TO MAKE SUCH A WAIVER PROACTIVELY WHEN PLANS ARE SUBMITTED.
- A MINIMUM OF TWO EXISTING BENCHMARKS SHOULD BE SHOWN ON THE PLANS. IN ADDITION, TWO PERMANENT BENCHMARKS PER SUBDIVISION SHALL BE INSTALLED IN EACH NEW SUBDIVISION TO INCLUDE DESCRIPTION, LOCATION, AND ELEVATION AND TIE TO CITY STANDARDS.
- CAST BRONZE SURVEY MARKERS SHALL BE PLACED IN CONCRETE IN PERMANENT, ACCESSIBLE LOCATIONS AT THE TIME OF CONSTRUCTION. THE LOCATIONS OF THE MARKERS SHALL BE INDICATED ON THE CONSTRUCTION PLANS. A MINIMUM OF ONE MARKER SHALL BE PLACED FOR EACH 20 ACRES OF THE PROJECT.
- PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY, THE DEVELOPER'S CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES. THE CITY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE CITY A MINIMUM OF 48 HOURS' NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- BARRICADES, BUILT TO CITY SPECIFICATIONS, SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB SAFETY.
- IF BLASTING IS PLANNED, A BLASTING PERMIT MUST BE SECURED PRIOR TO COMMENCEMENT OF ANY BLASTING.
- ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION.
- THE LOCATION OF ANY WATER OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE PUBLIC WORKS DEPARTMENT.
- USE ONE CALL UTILITY SYSTEM: DIAL 1-800-344-8377, 48 HOURS BEFORE YOU DIG.
- ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE. SPECIAL NOTES FOR PLANS, WHEN APPLICABLE.
- THE SUBGRADE MATERIAL IN RIVERWOOD RANCH SUBDIVISION WAS TESTED BY INTERTEK PSI ON DECEMBER 6, 2019 AND THE STREET SECTION DESIGNED ACCORDING TO THE LDC AND ACM.
- CONSTRUCTED STREET SECTIONS SHALL SHOW THE FOLLOWING:
 - PROVIDE STREET NAMES, WIDTH OF R.O.W., OR OTHER METHODS TO IDENTIFY PROPOSED DESIGN OF DIFFERENT PAVEMENT THICKNESS. IN WRITING OR GRAPHICALLY, DESCRIBE THE STREET SECTION(S) TO BE CONSTRUCTED.
 - MANHOLE FRAMES, COVERS, AND WATER VALVE COVERS WILL BE RAISED TO FINISHED PAVEMENT GRADE AT THE OWNER'S EXPENSE BY A QUALIFIED CONTRACTOR WITH CITY INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.
 - CROWNS OF INTERSECTING STREETS WILL CULMINATE IN A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED. INLETS ON THE INTERSECTING STREET SHALL NOT BE CONSTRUCTED WITHIN 40 FEET OF THE VALLEY GUTTER, UNLESS OTHERWISE NOTED.
 - PRIOR TO FINAL ACCEPTANCE OF A STREET OUTSIDE THE CITY LIMITS, STREET NAME SIGNS CONFORMING TO COUNTY STANDARDS SHALL BE INSTALLED BY DEVELOPER.
 - SIDEWALK REQUIREMENTS (GIVE STREET NAME AND LOCATION OF REQUIRED SIDEWALK, I.E., NORTH, SOUTH, EAST, OR WEST SIDE).
 - A CURB LAY DOWN WHERE REQUIRED WHEN ALL POINTS OF SIDEWALKS INTERSECTS CURBS.
 - INSIDE THE CITY LIMITS, SIDEWALKS SHALL BE COMPLETED PRIOR TO ACCEPTANCE OF ANY DRIVEWAY APPROACHES AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN OUTSIDE THE CITY LIMITS, A LETTER OF CREDIT MAY BE POSTED OR OTHER SUITABLE FINANCIAL ARRANGEMENTS MAY BE MADE TO ENSURE CONSTRUCTION OF THE SIDEWALKS. IN EITHER CASE, SIDEWALKS ADJACENT TO "COMMON AREAS", PARKWAYS, OR OTHER LOCATIONS ON WHICH NO BUILDING CONSTRUCTION WILL TAKE PLACE, MUST BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE OF THE SUBDIVISION.
 - A LICENSE AGREEMENT FOR LANDSCAPING MAINTENANCE AND IRRIGATION IN STREET R.O.W. SHALL BE EXECUTED BY THE DEVELOPER IN PARTY WITH THE CITY PRIOR TO FINAL ACCEPTANCE.
- CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

CONSTRUCTION SEQUENCING

CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

OBTAIN A DEVELOPMENT PERMIT FROM THE CITY.

PROVIDE THE CITY WITH EVIDENCE ALL TCEQ LICENSES AND REQUIREMENTS ARE UP TO DATE.

INSTALL TEMPORARY EROSION CONTROLS AND TREE PROTECTION FENCING PRIOR TO ANY CLEARING AND GRUBBING. NOTIFY THE CITY WHEN INSTALLED.

ROUGH-CUT ALL REQUIRED OR NECESSARY PONDS. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUST BE CONSTRUCTED PRIOR TO DEVELOPMENT OF ANY ANBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A LOW-LEVEL OUTLET AND AN EMERGENCY OVERFLOW MEETING THE REQUIREMENTS OF THE LDC. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL RESTORATION IS ACHIEVED.

DELIVER APPROVED ROUGH-CUT SHEETS TO THE CITY ENGINEER PRIOR TO CLEARING AND GRUBBING.

ROUGH GRADE STREETS. NO DEVELOPMENT OF EMBANKMENT WILL BE PERMITTED AT THIS TIME.

INSTALL ALL UTILITIES TO BE LOCATED UNDER THE PROPOSED PAVEMENT OR WITHIN THE ROAD RIGHT-OF-WAY.

DELIVER STORM SEWER CUR SHEETS TO THE CITY ENGINEER.

BEGIN INSTALLATION OF STORM SEWER LINES. UPON COMPLETION, RESTORE AS MUCH DISTURBED AREAS AS POSSIBLE, PARTICULARLY CHANNELS AND LARGE OPEN AREAS.

DELIVER FINAL GRADE CUT SHEETS TO THE CITY ENGINEER.

RE-GRADE STREETS TO SUB-GRADE.

ENSURE THAT UNDERGROUND UTILITY CROSSINGS ARE COMPLETED. LAY 1ST/ COURSE BASE MATERIAL ON STREETS.

INSTALL CURB AND GUTTER

LAY FINAL BASE COURSE ON ALL STREETS.

PLACE CONCRETE.

COMPLETE FINAL GRADING AND RESTORATION OF DETENTION, SEDIMENTATION/FILTRATION PONDS.

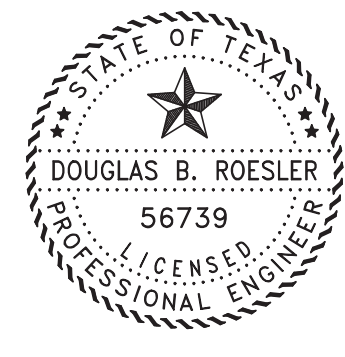
COMPLETE PERMANENT EROSION CONTROL AND RESTORATION OF SITE VEGETATION.

REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS.

COMPLETE ANY NECESSARY FINAL DRESS UP OF AREAS DISTURBED.

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

Baker & Lawson, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



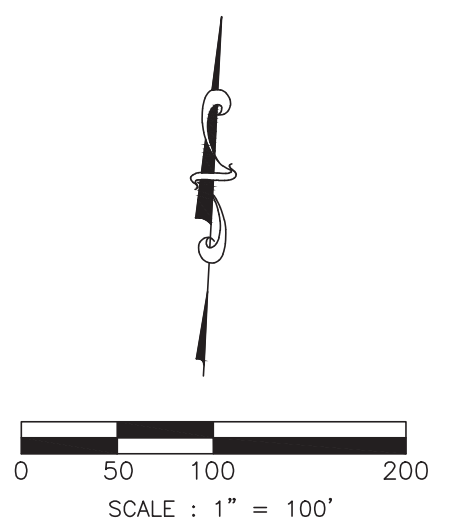
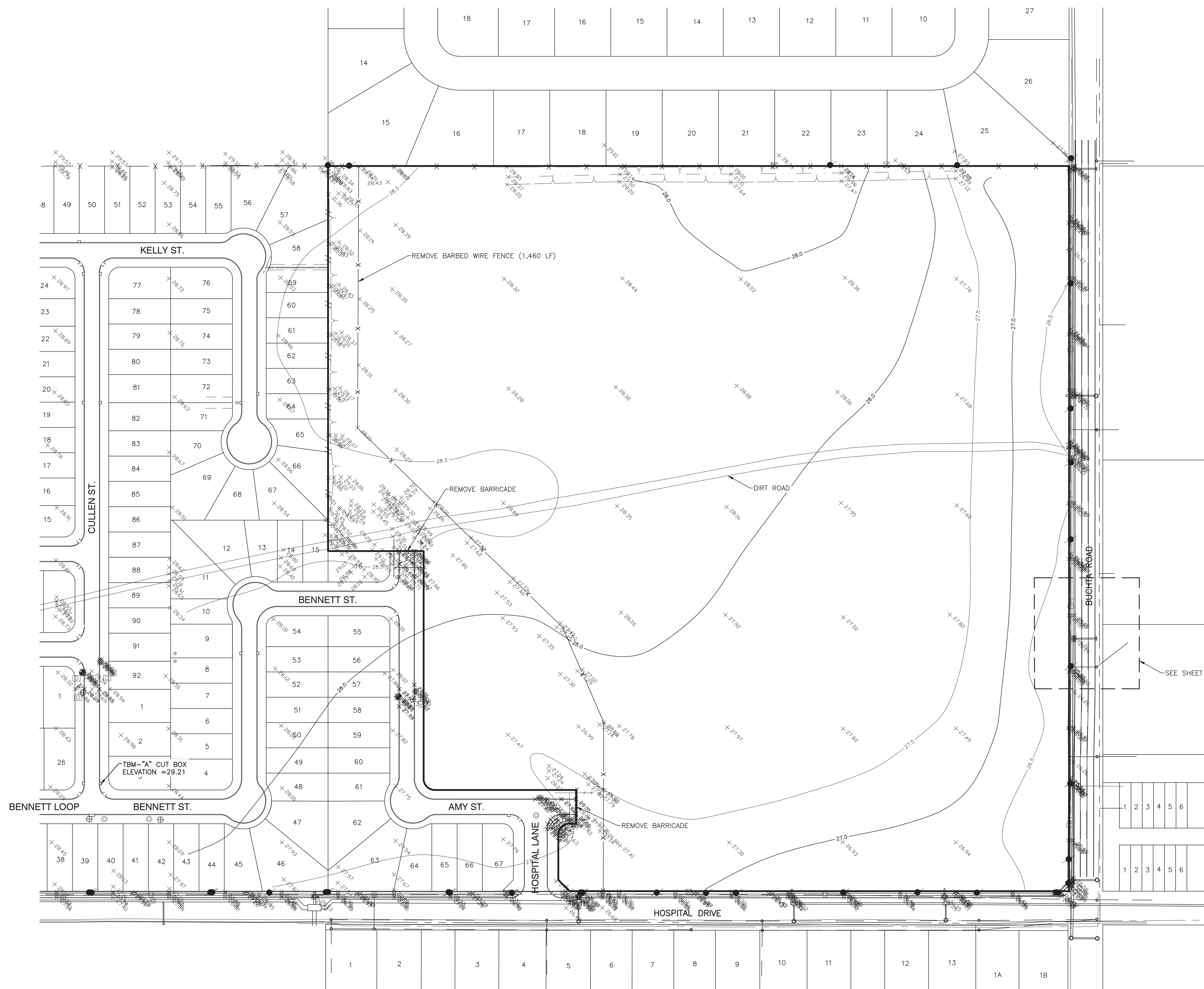
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CONSTRUCTION NOTES



SYMBOLS LEGEND

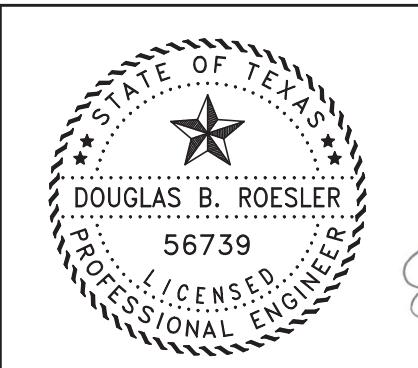
- ⊙ = FND IMPLEMENT AS NOTED
- = SET 5/8" IRON ROD
- = BENCHMARK
- ⊕ = GAS VALVE
- ⊕ = GAS METER
- ⊕ = IRRIGATION CONTROL
- ⊕ = WATER VALVE
- ⊕ = FIRE HYDRANT
- ⊕ = GUY WIRE
- ⊕ = POWER POLE
- ⊕ = SIGNAL POLE
- ⊕ = LIGHT POLE
- ⊕ = LIGHT BOLLARD
- ⊕ = BOLLARD
- ⊕ = MONITOR WELL
- ⊕ = CLEANOUT
- ⊕ = SIGN
- ⊕ = TELE PEDESTAL
- ⊕ = TREE
- ⊕ = MANHOLE
- ⊕ = INLET

1. REFERENCE BENCHMARK:
 NGS MONUMENT R1182 (PID AW1171)
 A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275' SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29.
2. SITE BENCHMARK:
 TBM "A":
 A CUT BOX ON AN INLET ON THE EAST SIDE OF CULLEN STREET APPROXIMATELY 41' NORTH FROM THE INTERSECTION WITH BENNETT STREET. ELEVATION = 29.21'

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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 DATE

B & L
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 ANGLETON, TEXAS 77515 (979) 849-6681
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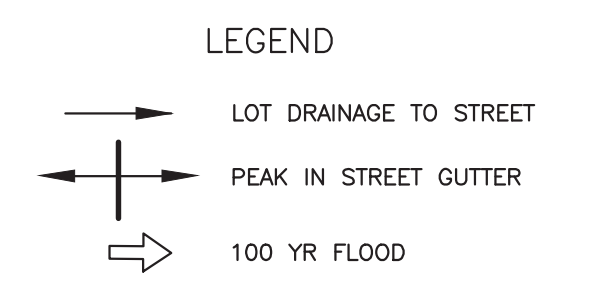
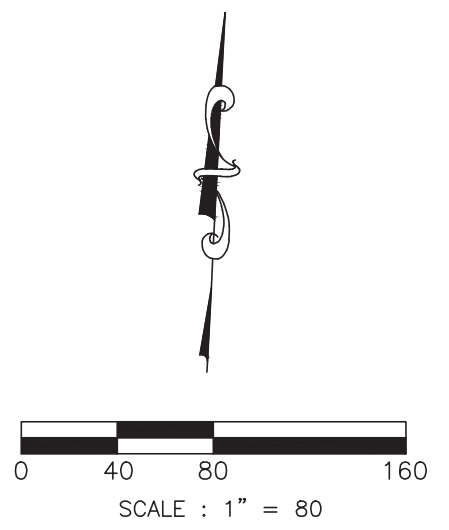
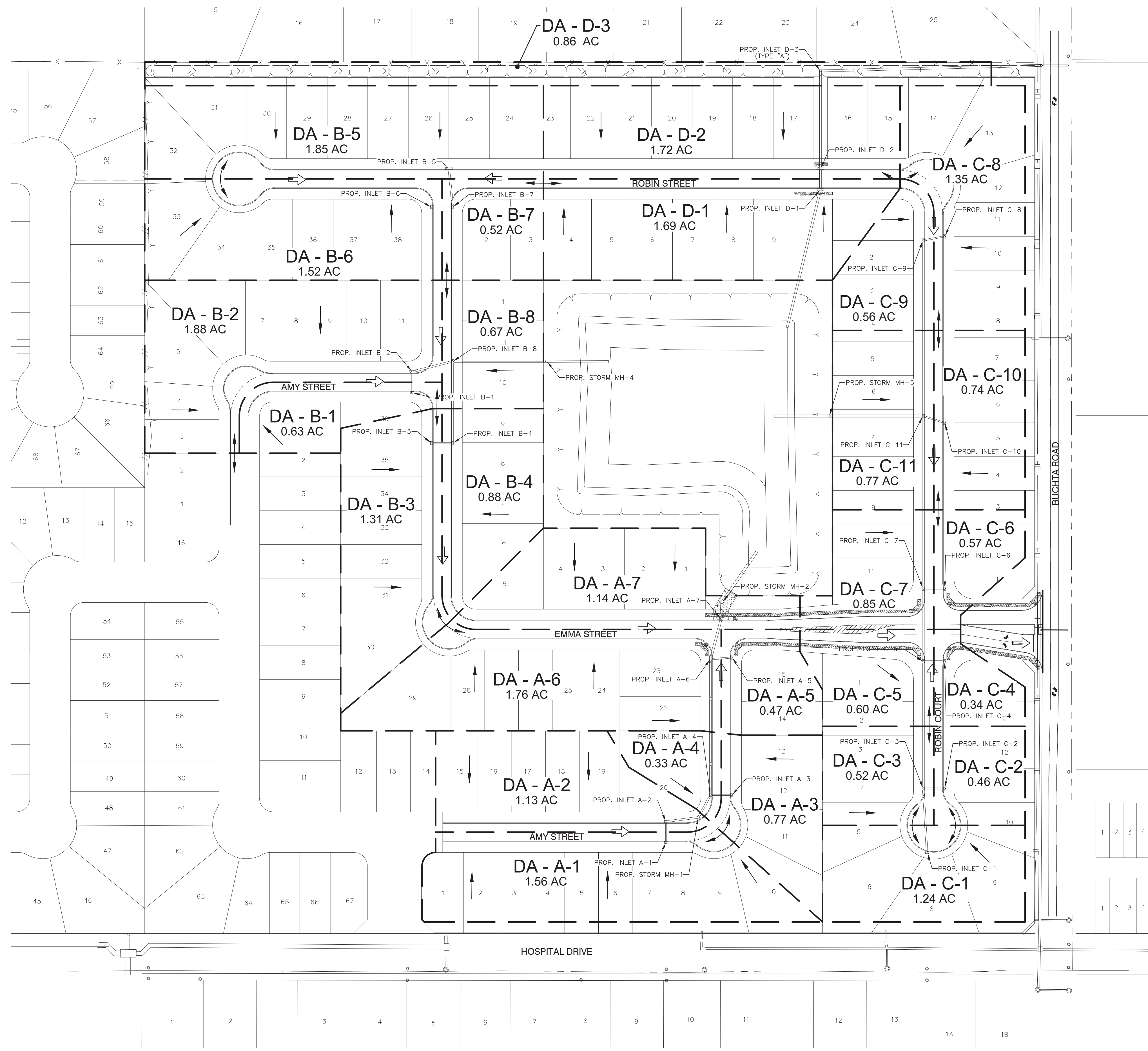
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

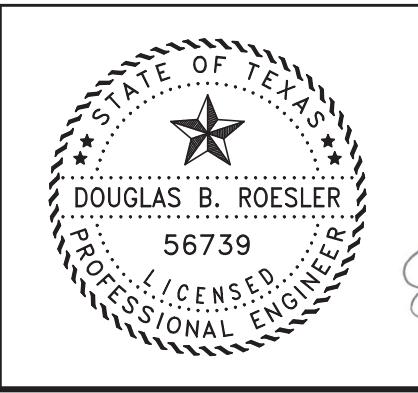
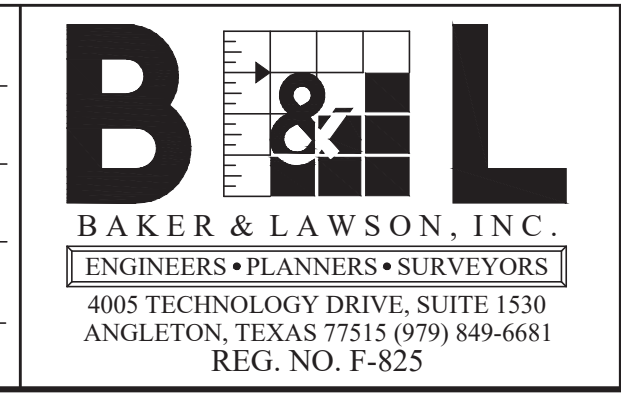
EXISTING CONDITION
 & DEMOLITION

PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE



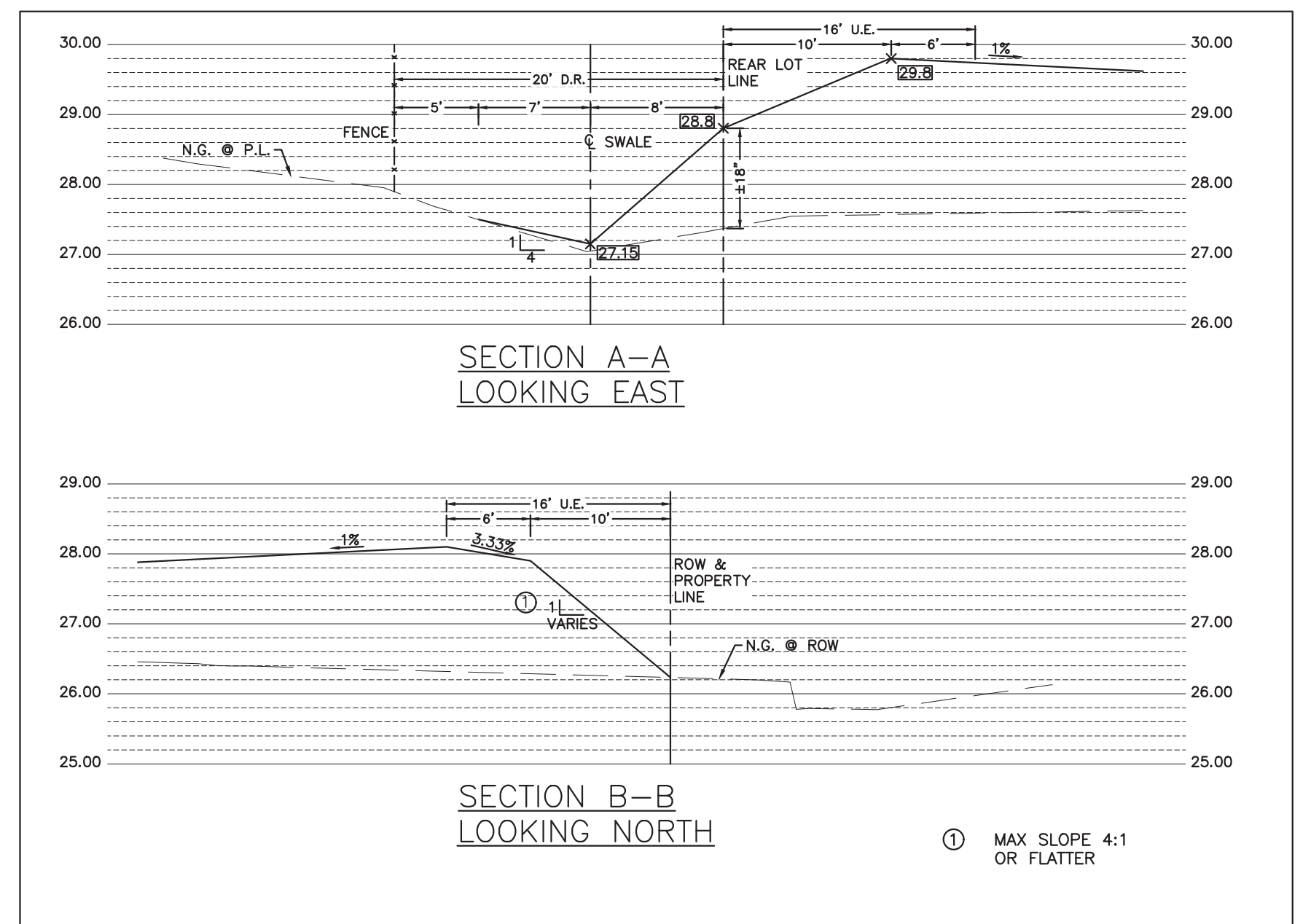
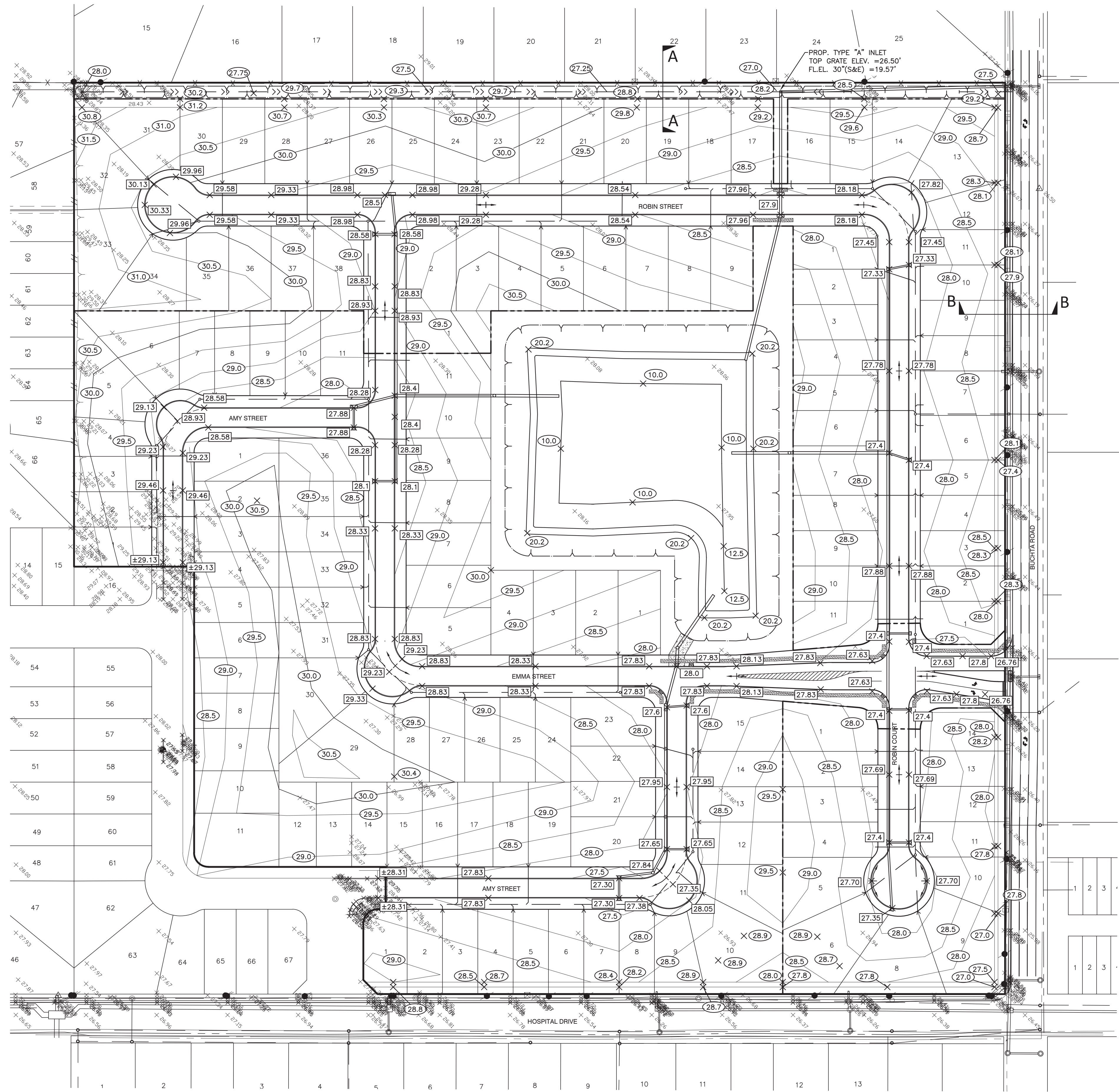
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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DRAINAGE AREA MAP
 PROJECT NO. 14396

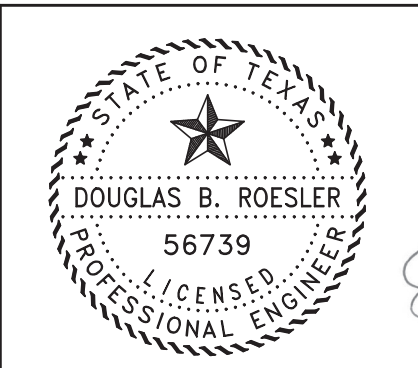


	Pavement area	Curb length
Section 3	86,130	5,466
Section 4	65,647	4,224

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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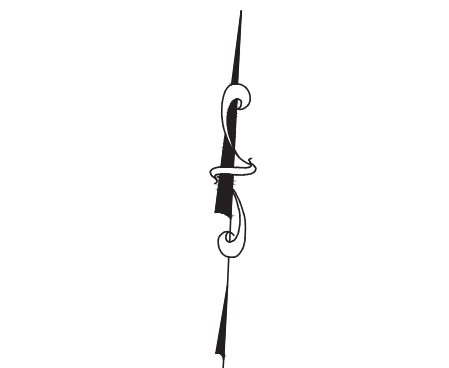
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HOUSTON, TEXAS 77057

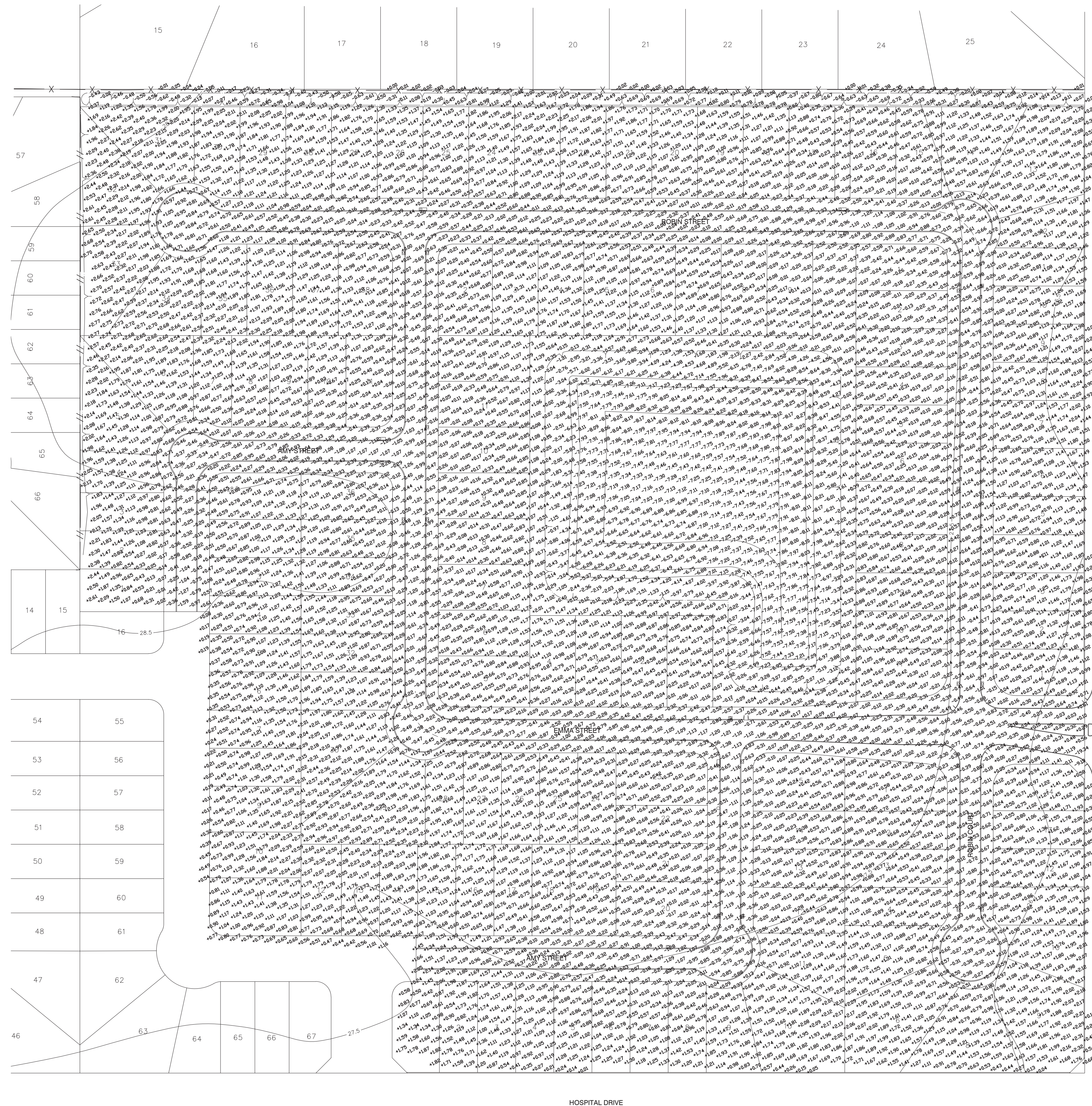
PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

LOT GRADING PLAN
 PROJECT NO. 14396



0 40 80 160
SCALE : 1" = 80'



EARTHWORK QUANTITY	
CUT VOLUME	: 38140 CUYD
FILL VOLUME	: 43230 CUYD
NET FILL	: 5090 CUYD

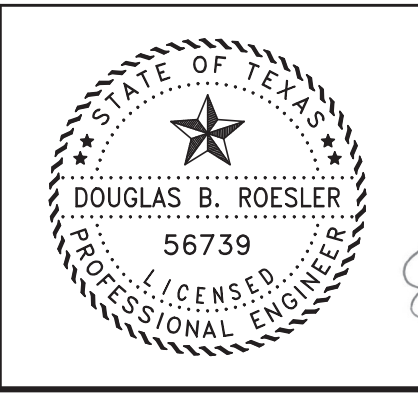
1	2	3
1	2	3

1	2	3	4	5	6	7	8	9	10	11	12	13
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NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
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DATE

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REG. NO. F-825



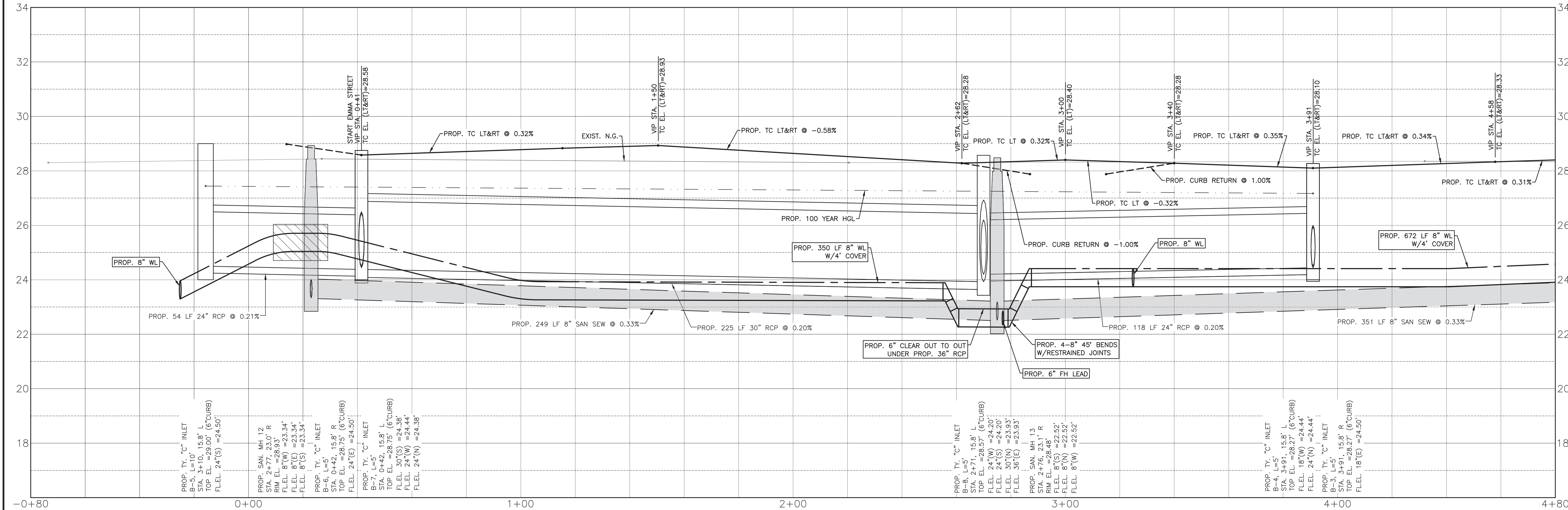
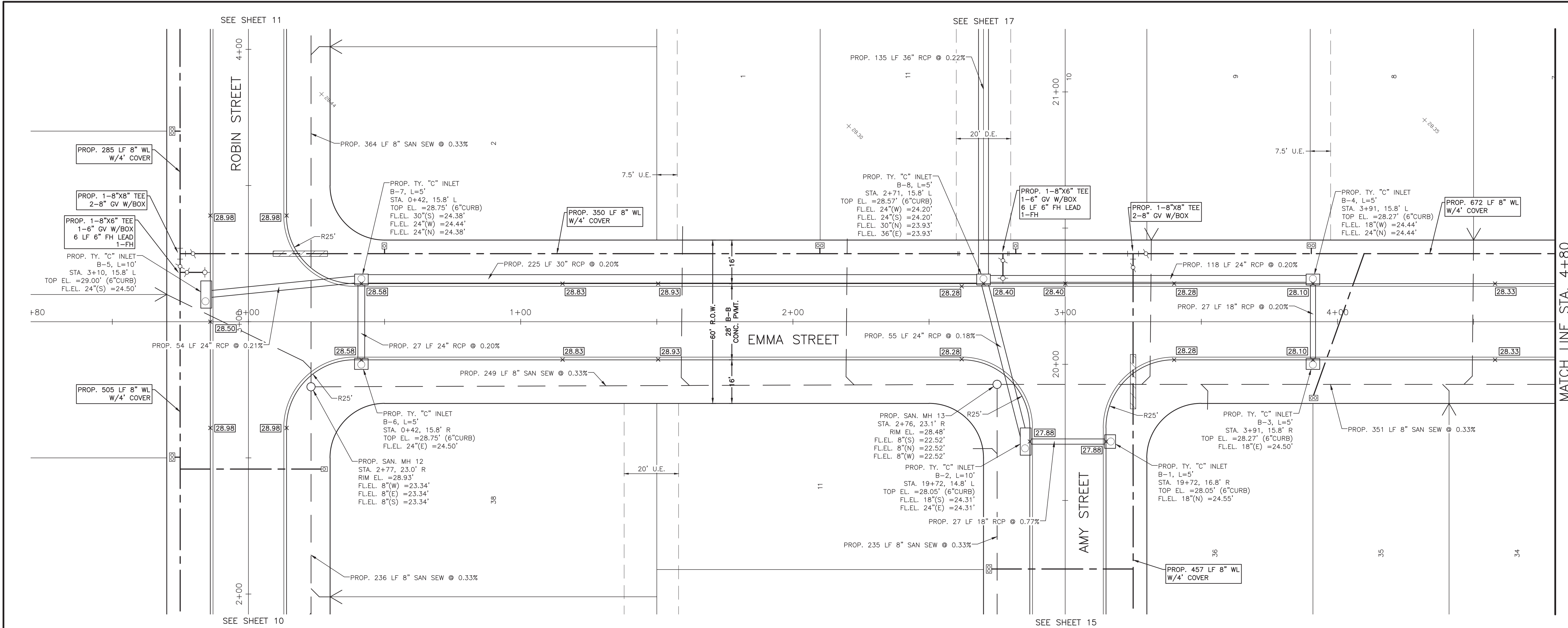
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03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CUT & FILL
CALCULATION
PROJECT NO. 14396

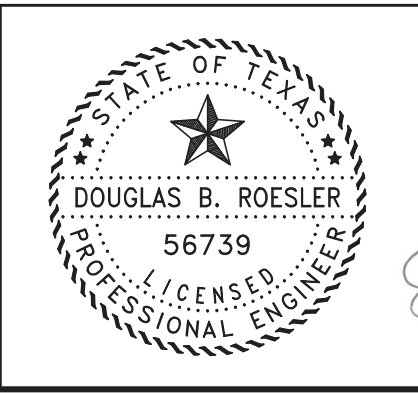


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM. MH-1)
 - SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWMA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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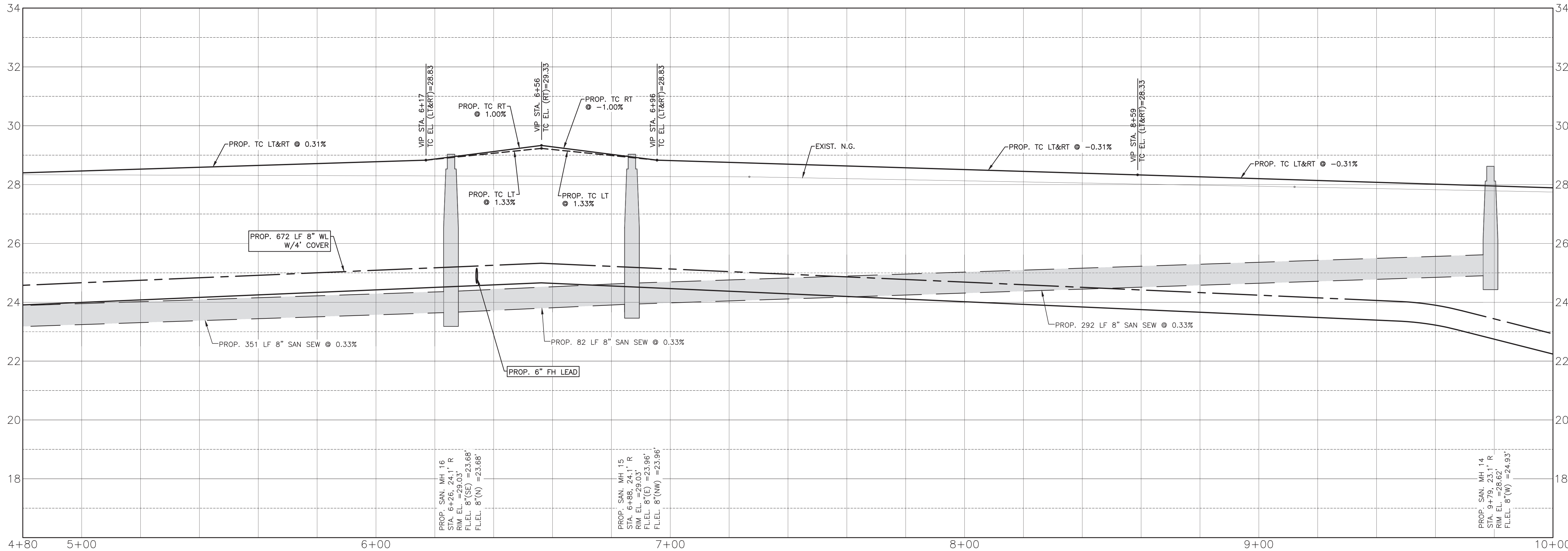
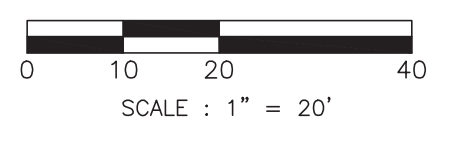
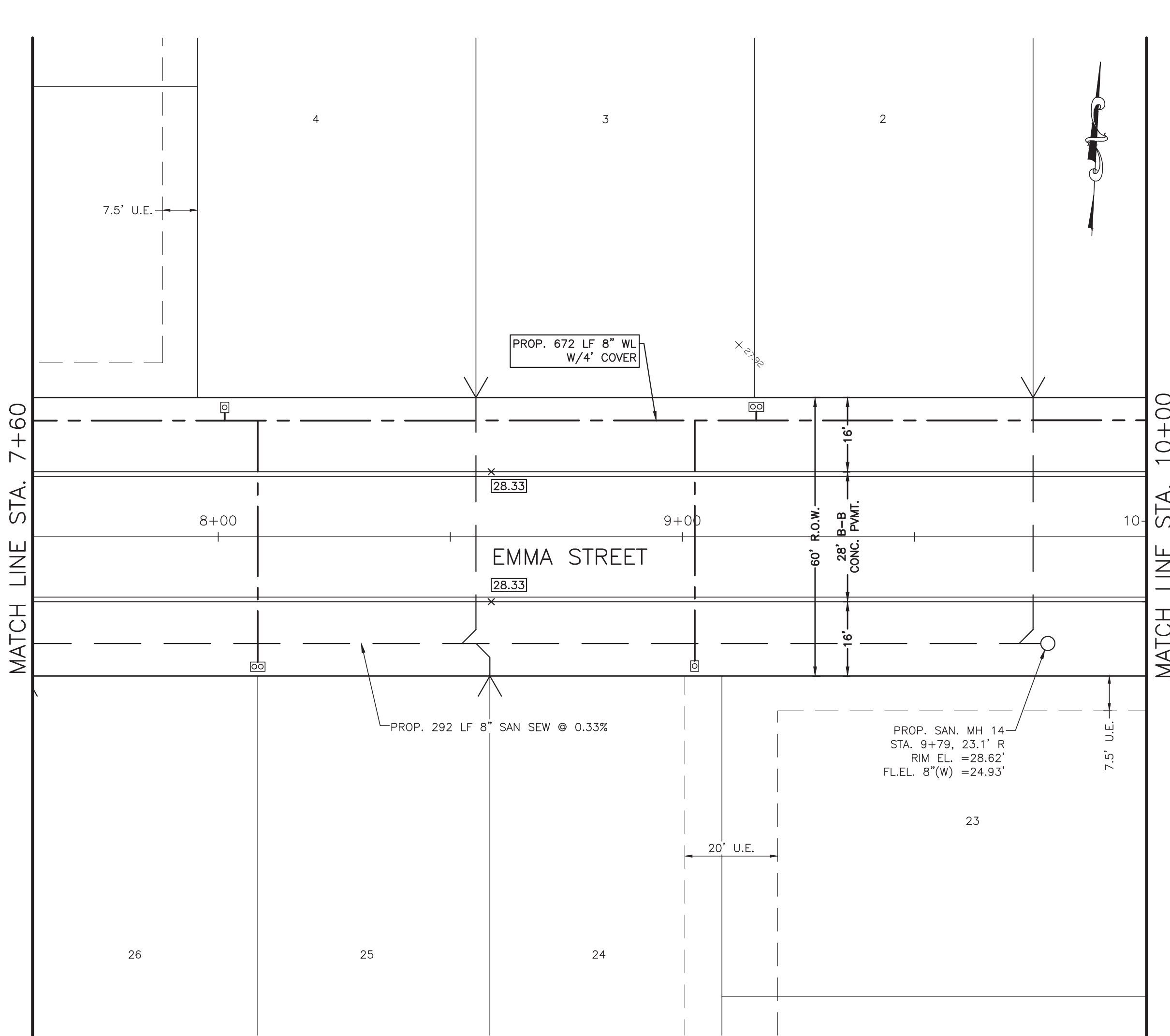
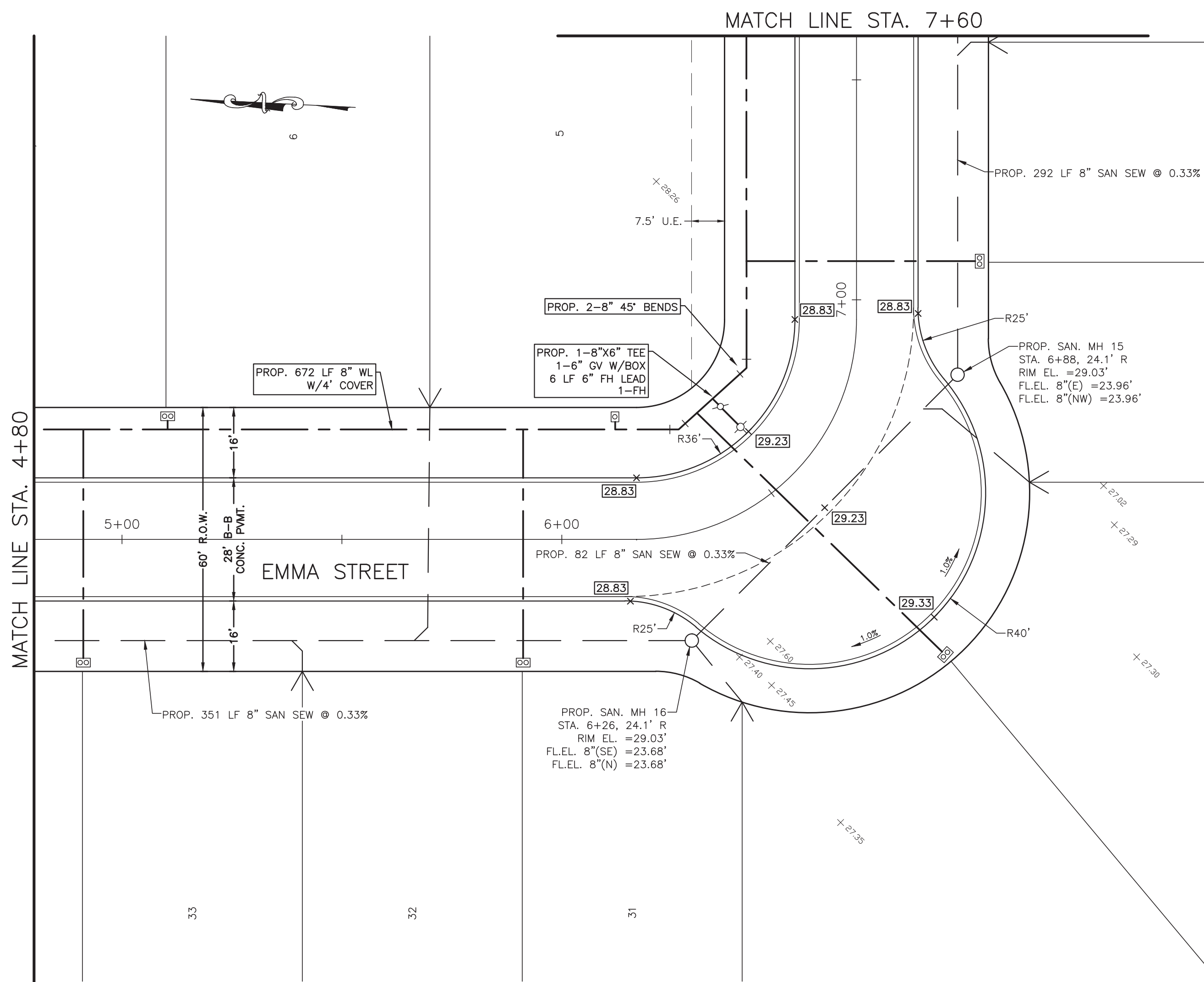
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. -0+80 TO 4+80

PROJECT NO. 14396

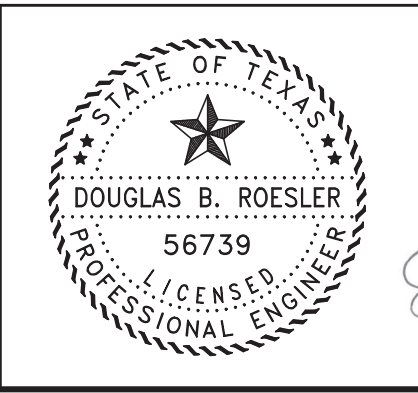


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

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DOR 03-03-2023

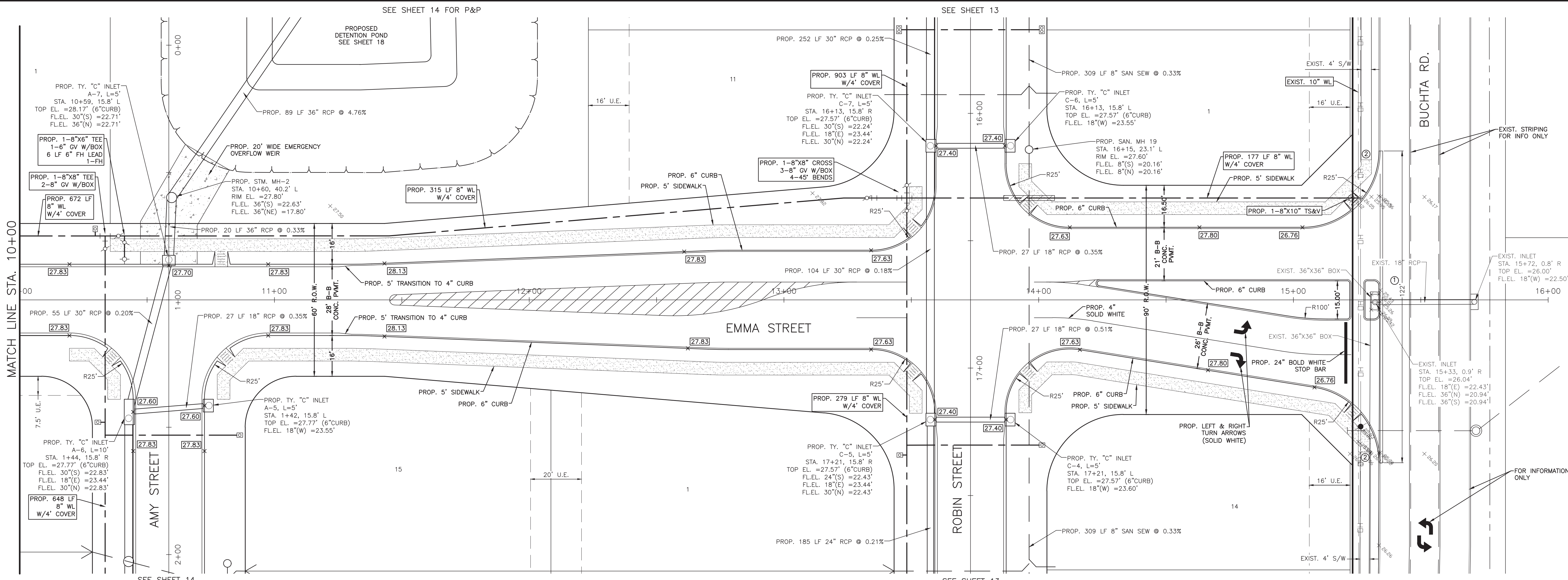
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE: 1" = 20'
 HORIZONTAL: 1" = 20'
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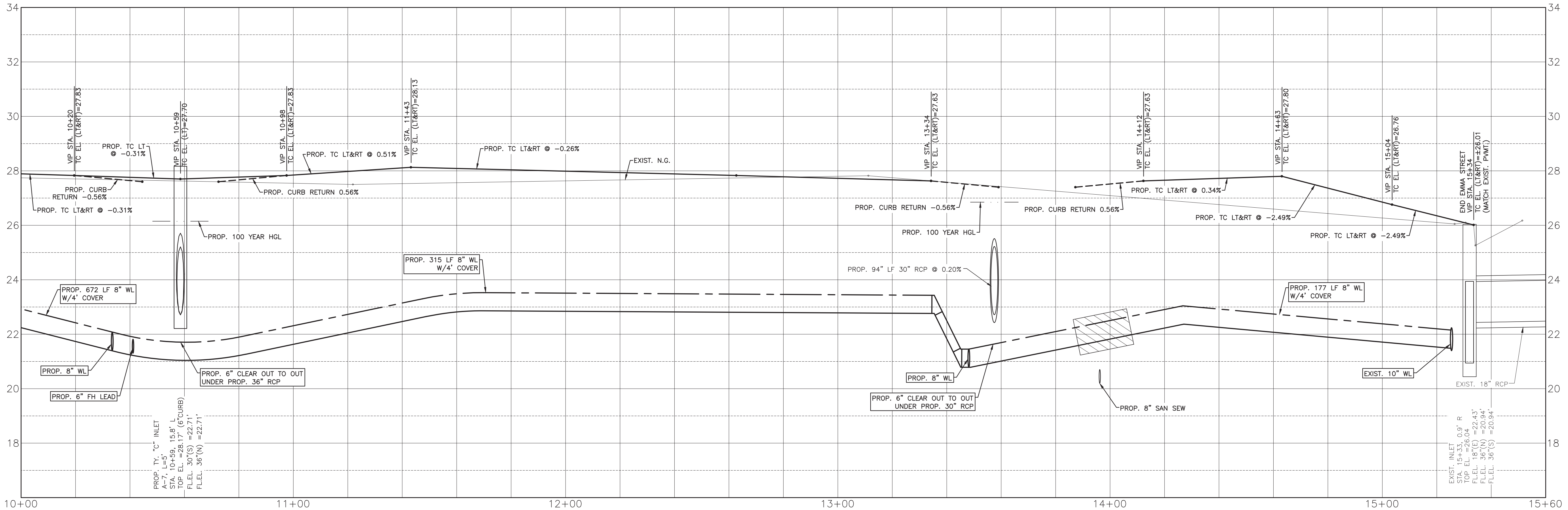
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. 4+80 TO 10+00

PROJECT NO. 14396



- ① SAWCUT 18" FROM BACK OF CURB TO REMOVE 122 LF CONC. PVMT.
- ② SAWCUT TO REMOVE 114 LF OF 4' WIDE CONC. SIDEWALK.

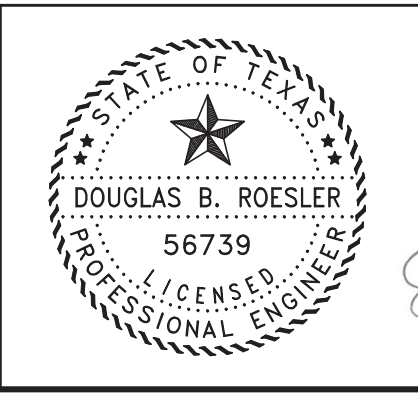


- SYMBOLS LEGEND**
- + 0.00 EXIST GRADE ELEVATION
 - 82.50 PROP. GRADE ELEVATION
 - 81.35 PROP. TOP OF 4" CURB ELEVATION
 - GUT=81.50 PROP. TOP OF CONCRETE PAVEMENT
 - CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
 - TG=81.50 PROP. TOP OF GRATE INLET
 - ⊗ DOUBLE WATER METER
 - ⊠ SINGLE WATER METER
 - ⊕ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ⊙ TAPPING SLEEVE AND VALVE
 - ⊙ STORM SEWER MANHOLE (STM. MH-1)
 - ⊙ SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
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 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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DRAWN	BT
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DATE	

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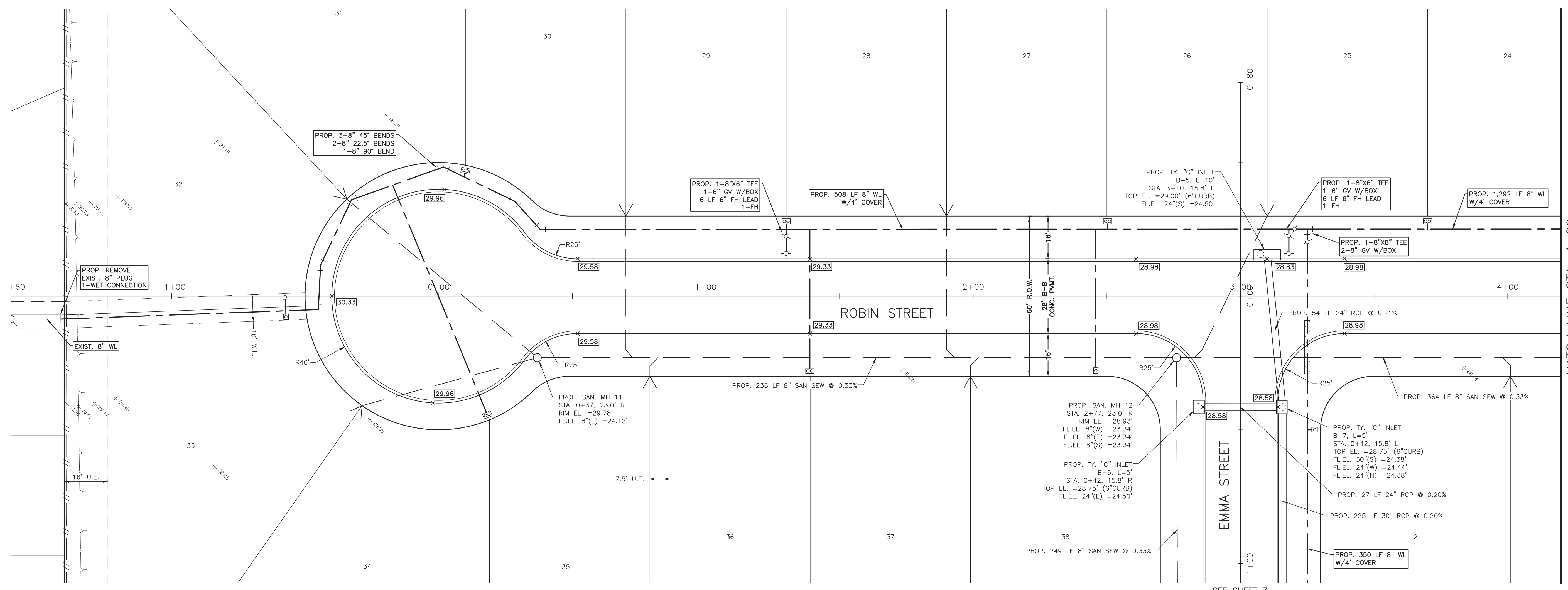
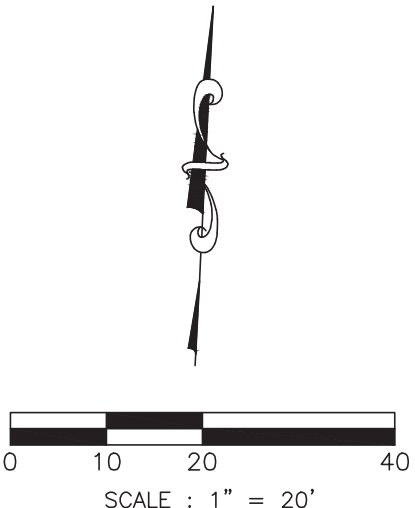
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE: 1" = 20'
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

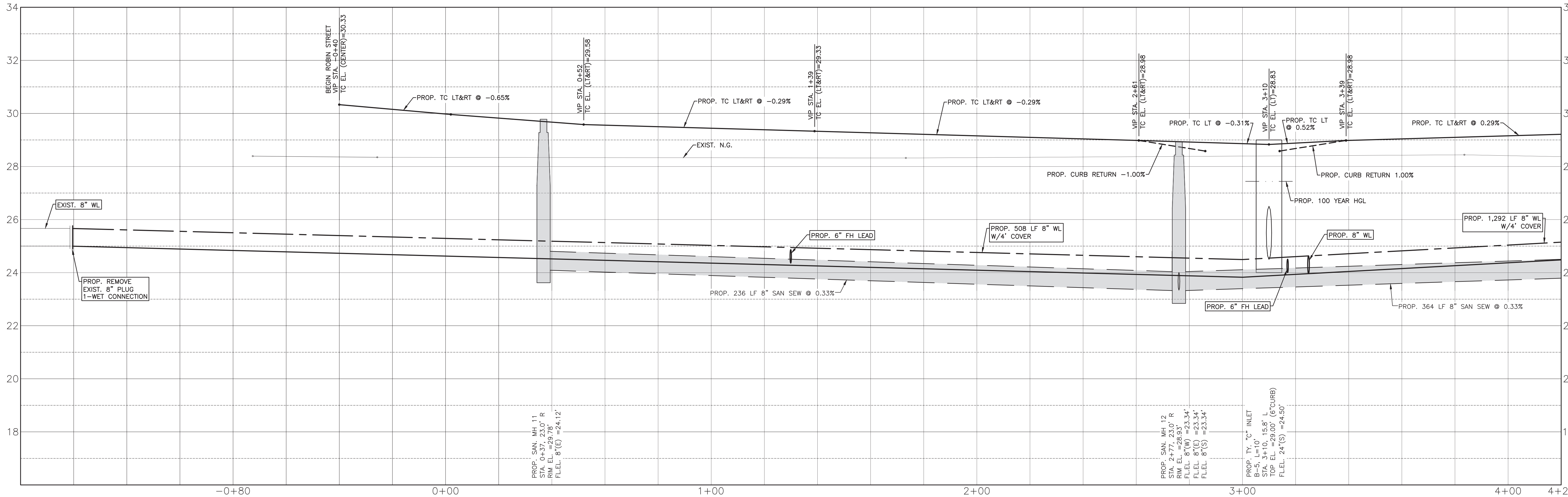
PLAN & PROFILE
EMMA STREET
STA. 10+00 TO 15+60

PROJECT NO. 14396



MATCH LINE STA. 4+20

SEE SHEET 7



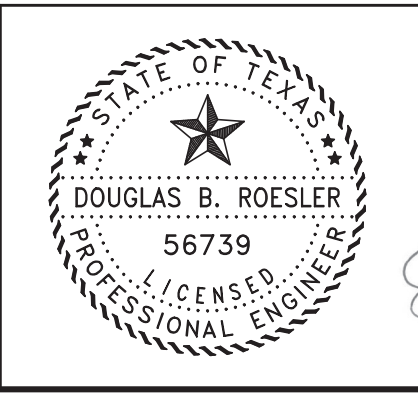
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROG. GRADE ELEVATION
- PROG. TOP OF 4" CURB ELEVATION
- PROG. GUTTER ELEVATION
- PROG. TOP OF CONCRETE PAVEMENT
- PROG. TOP OF GRATE INLET
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- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

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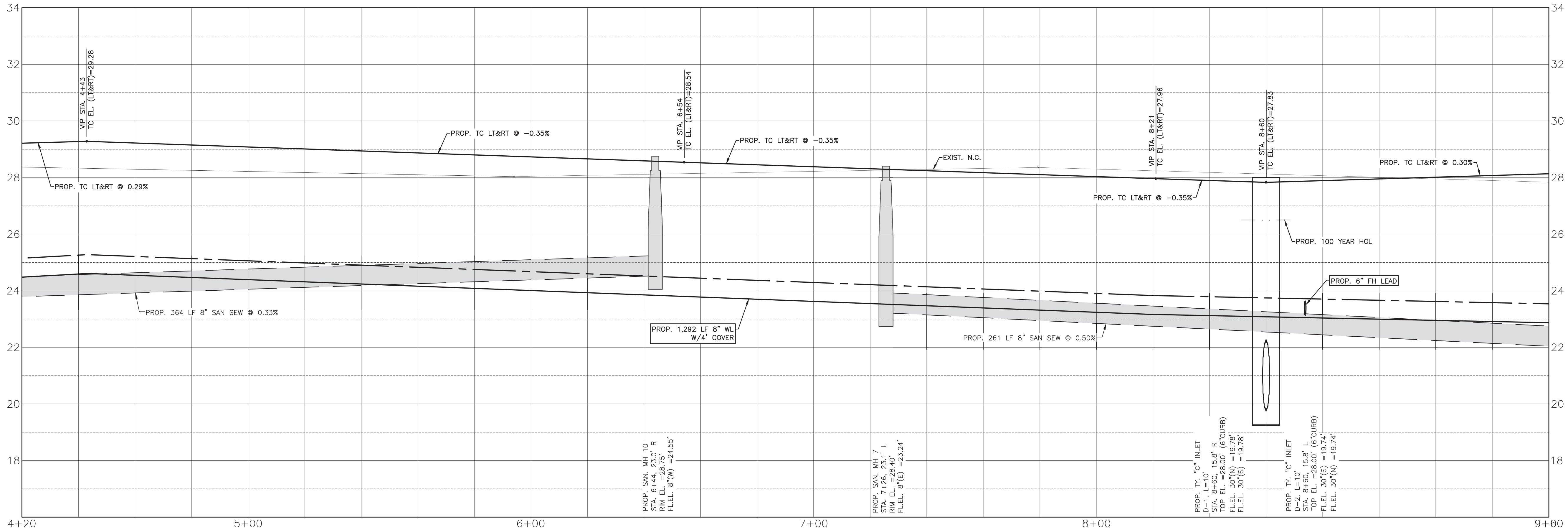
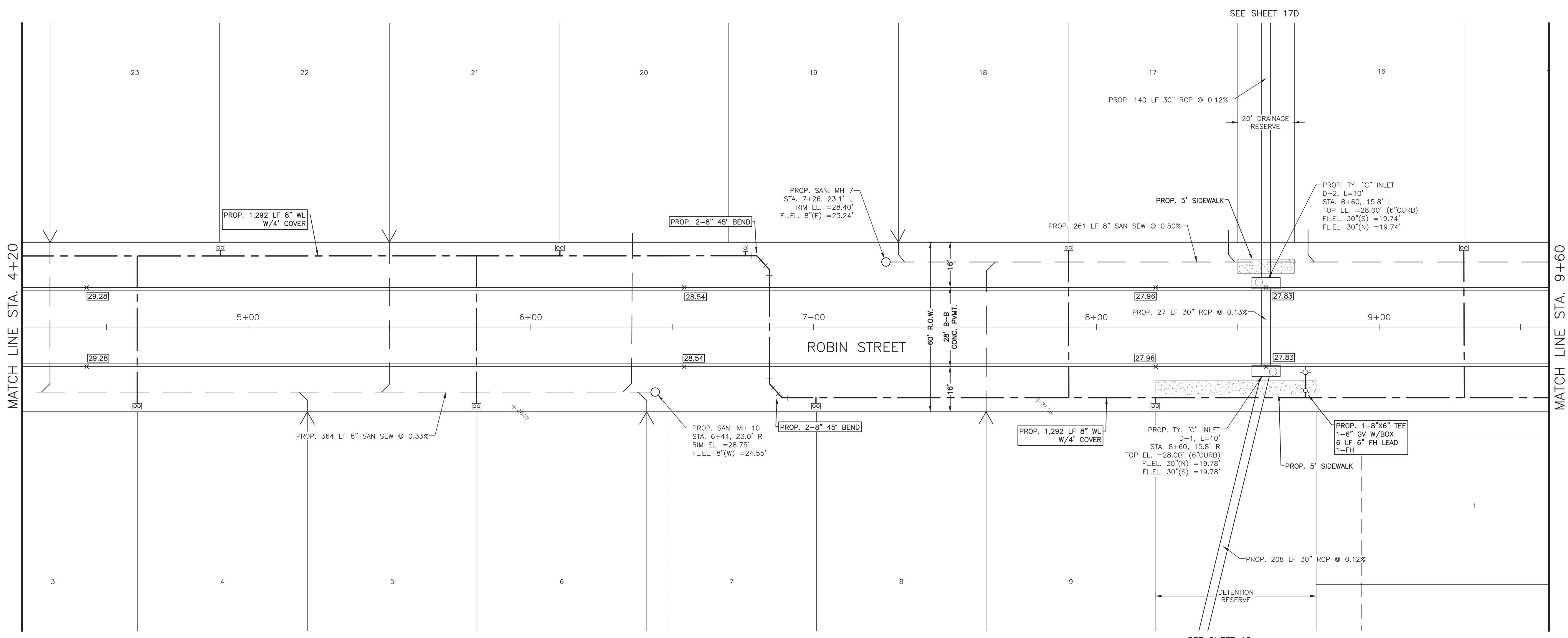
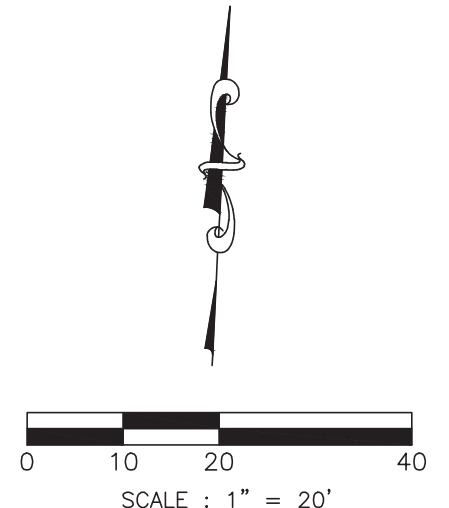
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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. -1+60 TO 4+20
 PROJECT NO. 14396



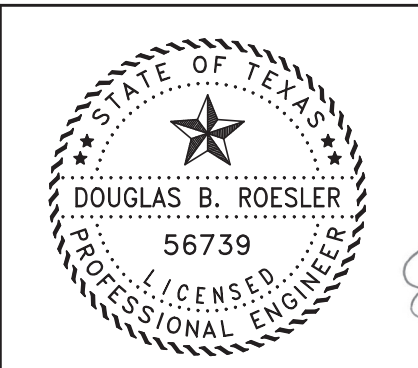
- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM. MH-1)
 - SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED
DATE

REVISIONS

DESIGNED DR
DRAWN BT
CHECKED
DATE



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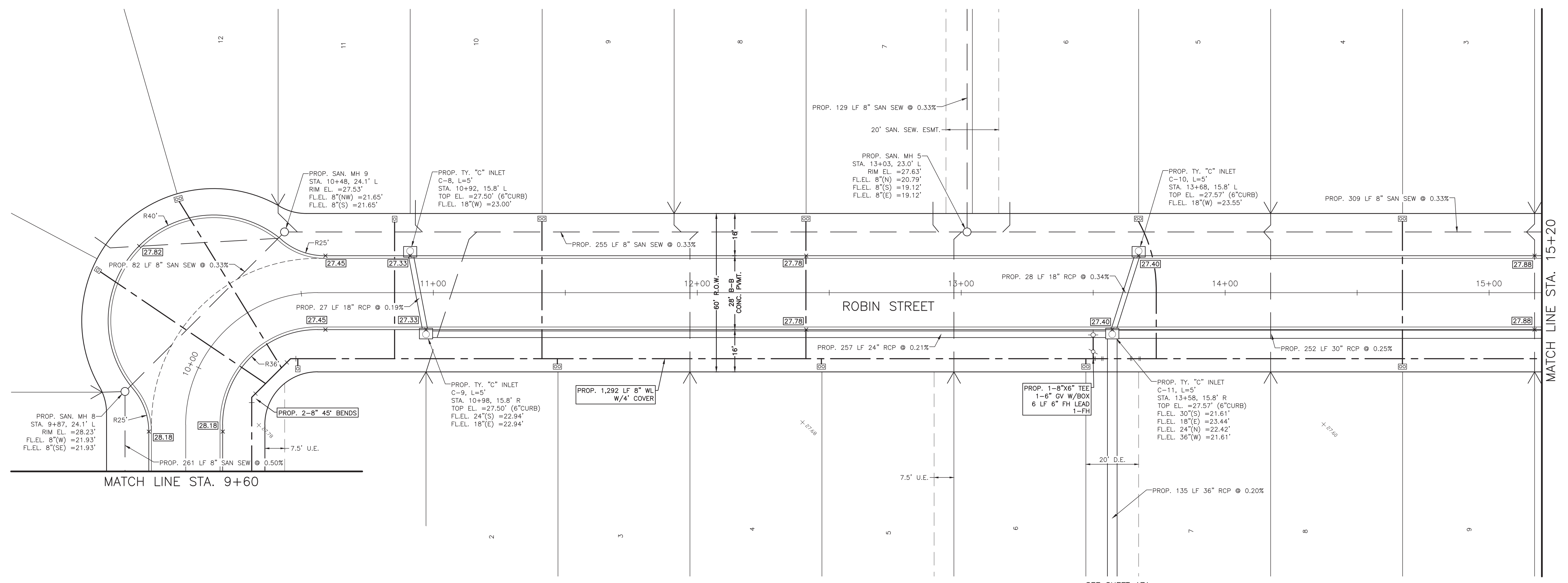
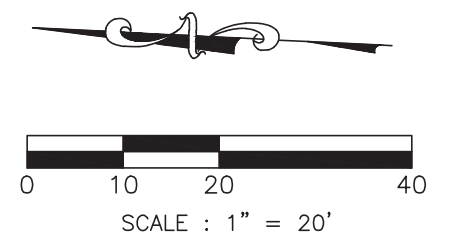
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
PROFILE:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'

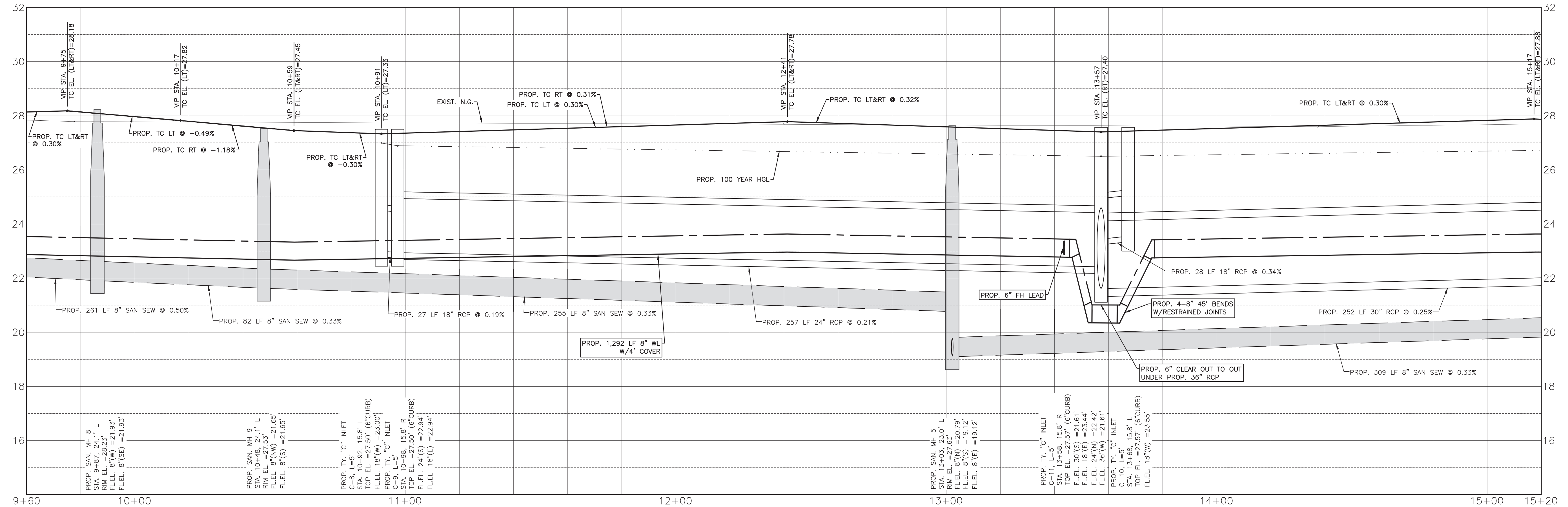
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
ROBIN STREET
STA. 4+20 TO 9+60

PROJECT NO. 14396



SEE SHEET 17A



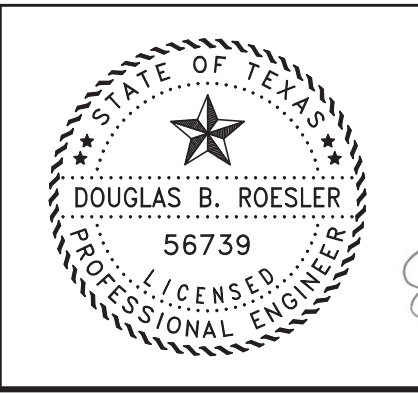
SYMBOLS LEGEND

- EXIST. GRADE ELEVATION
- PROP. GRADE ELEVATION
-
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
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B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



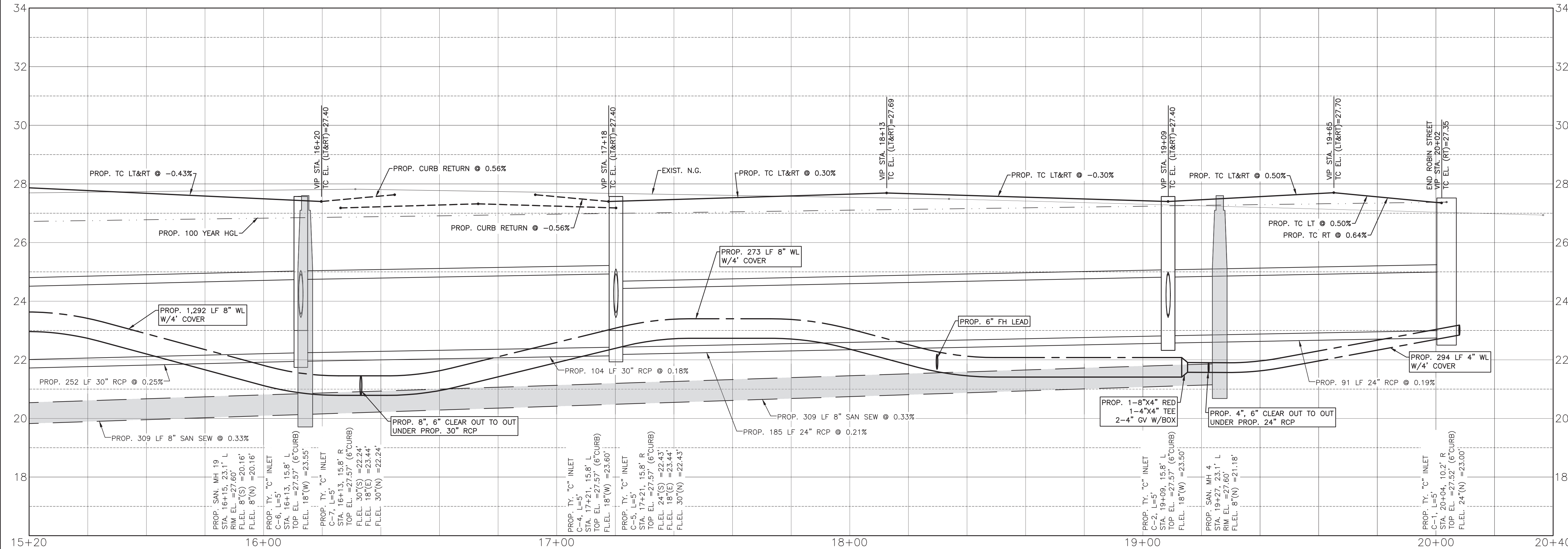
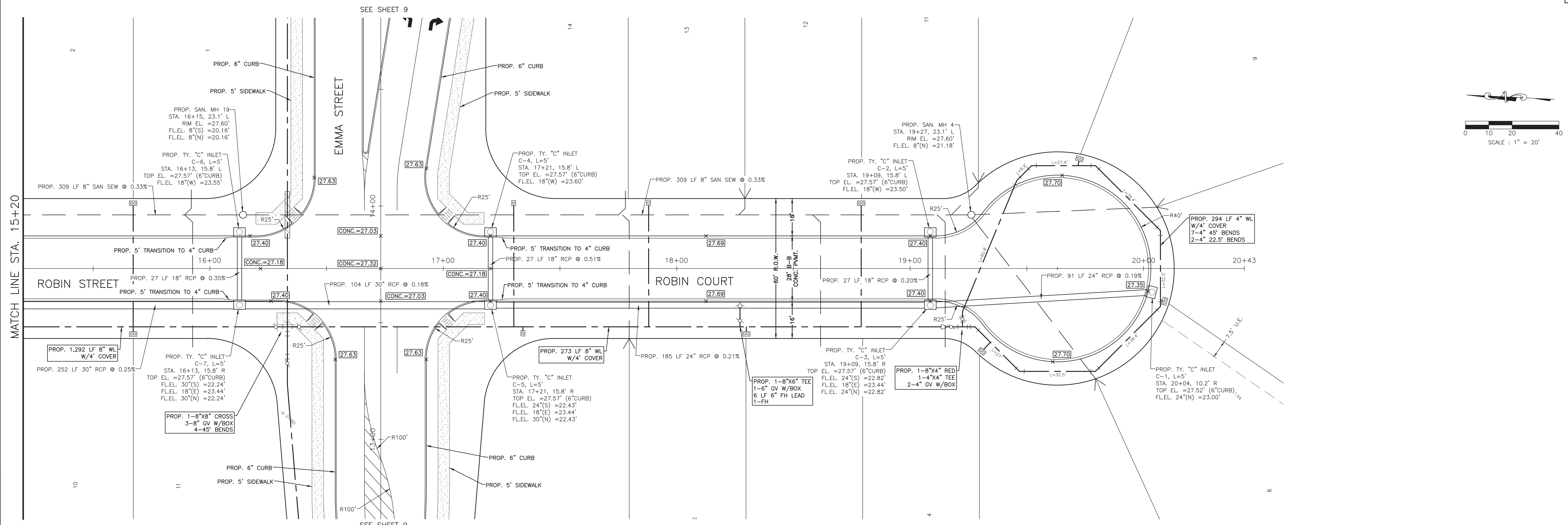
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RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 9+60 TO 15+20
 PROJECT NO. 14396



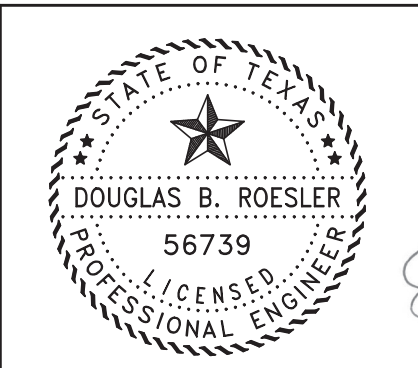
SYMBOLS LEGEND

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- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
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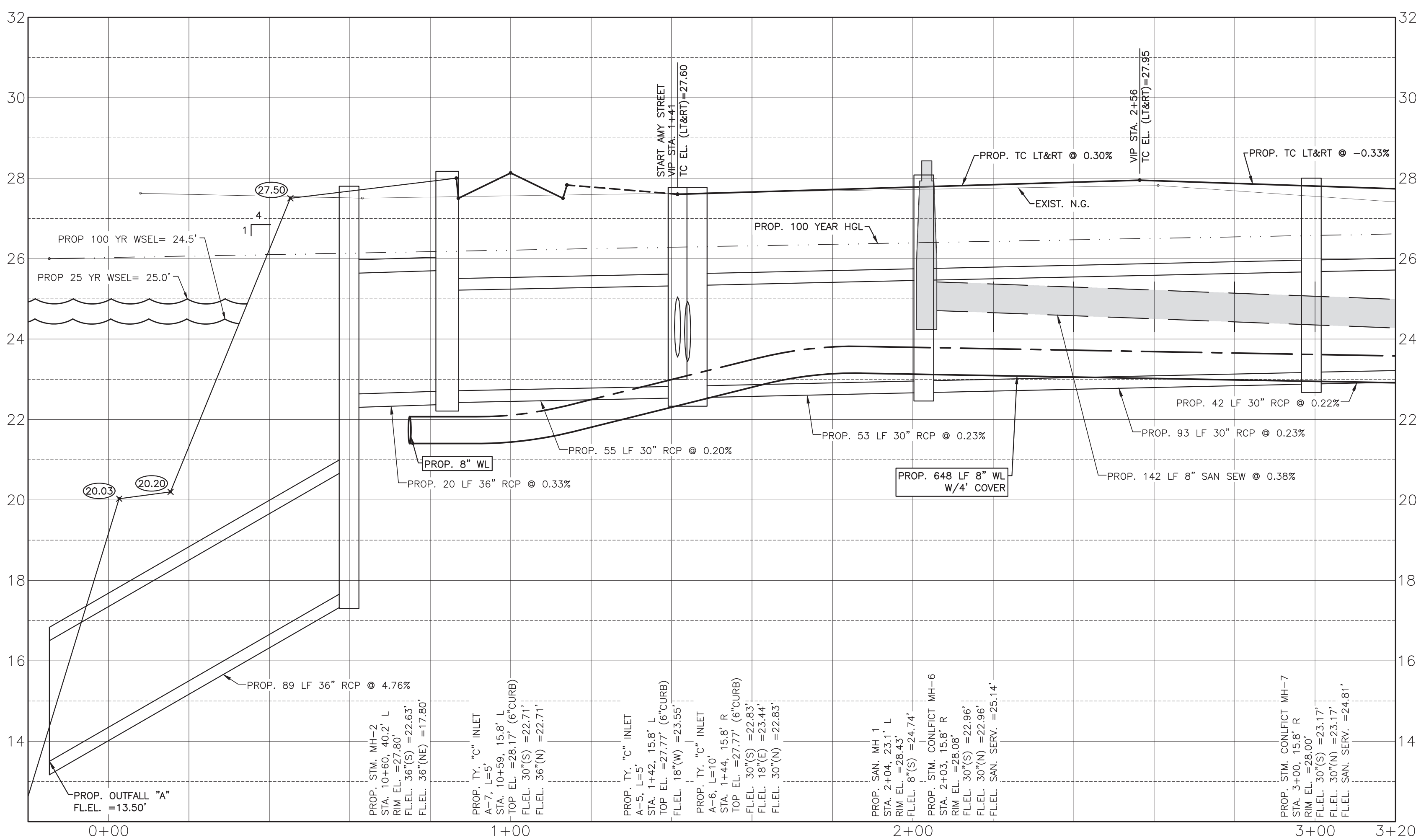
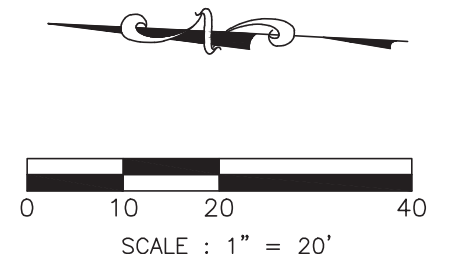
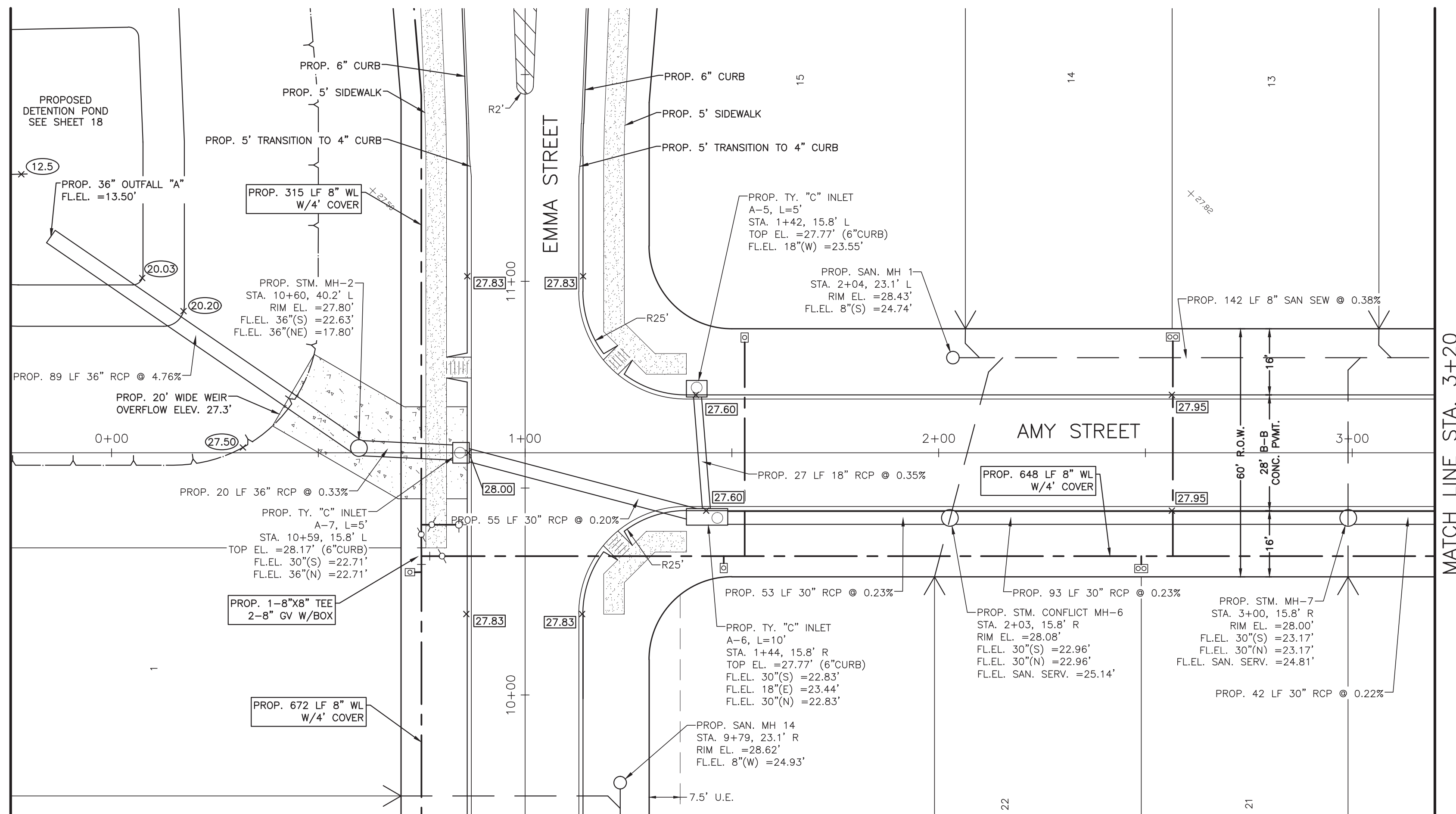
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 15+20 TO 20+40

PROJECT NO. 14396

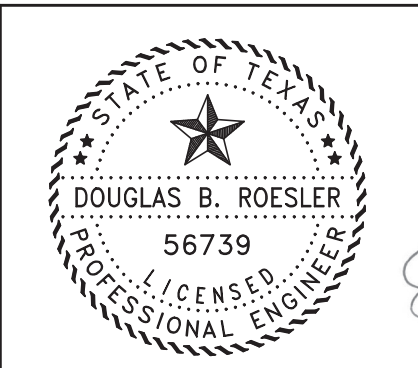


- SYMBOLS LEGEND**
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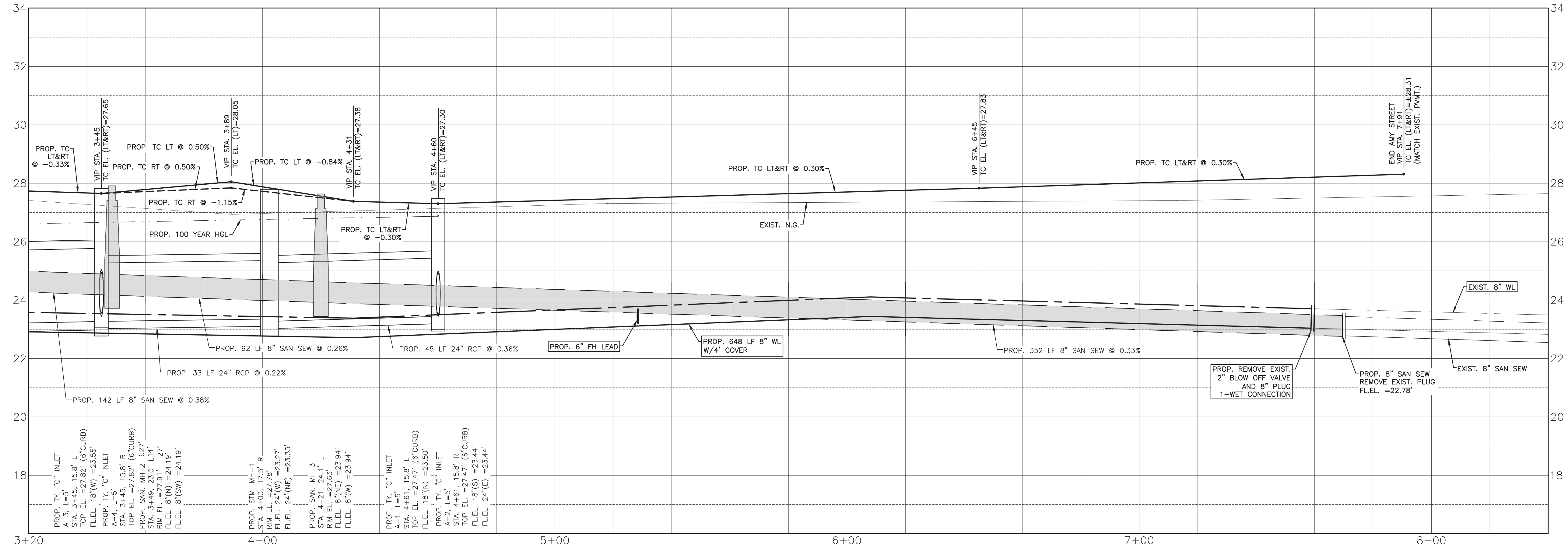
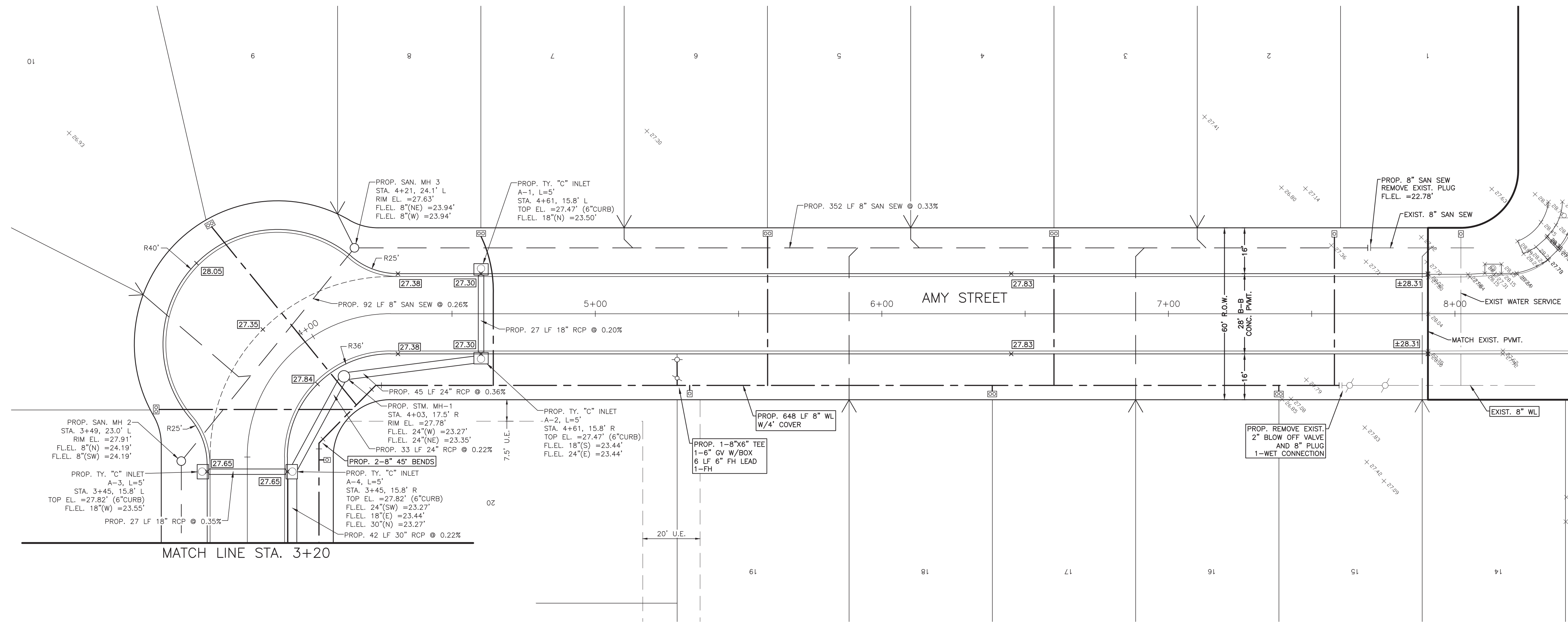
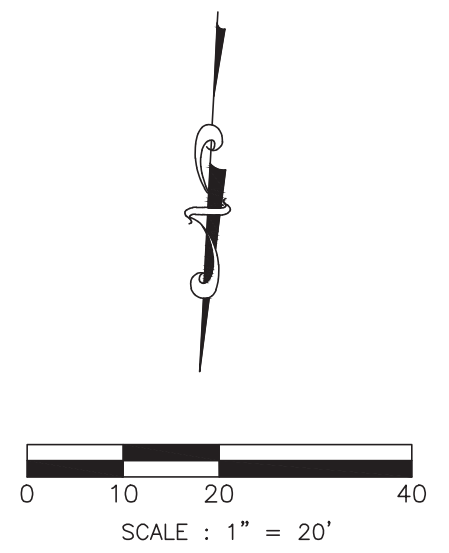
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 0+00 TO 3+20
 PROJECT NO. 14396

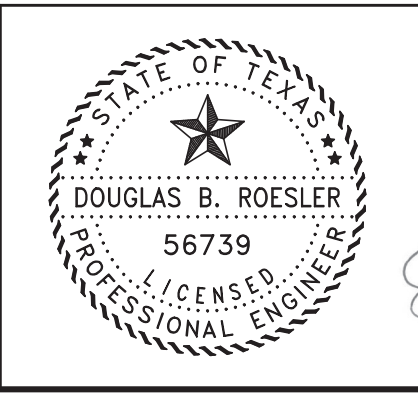


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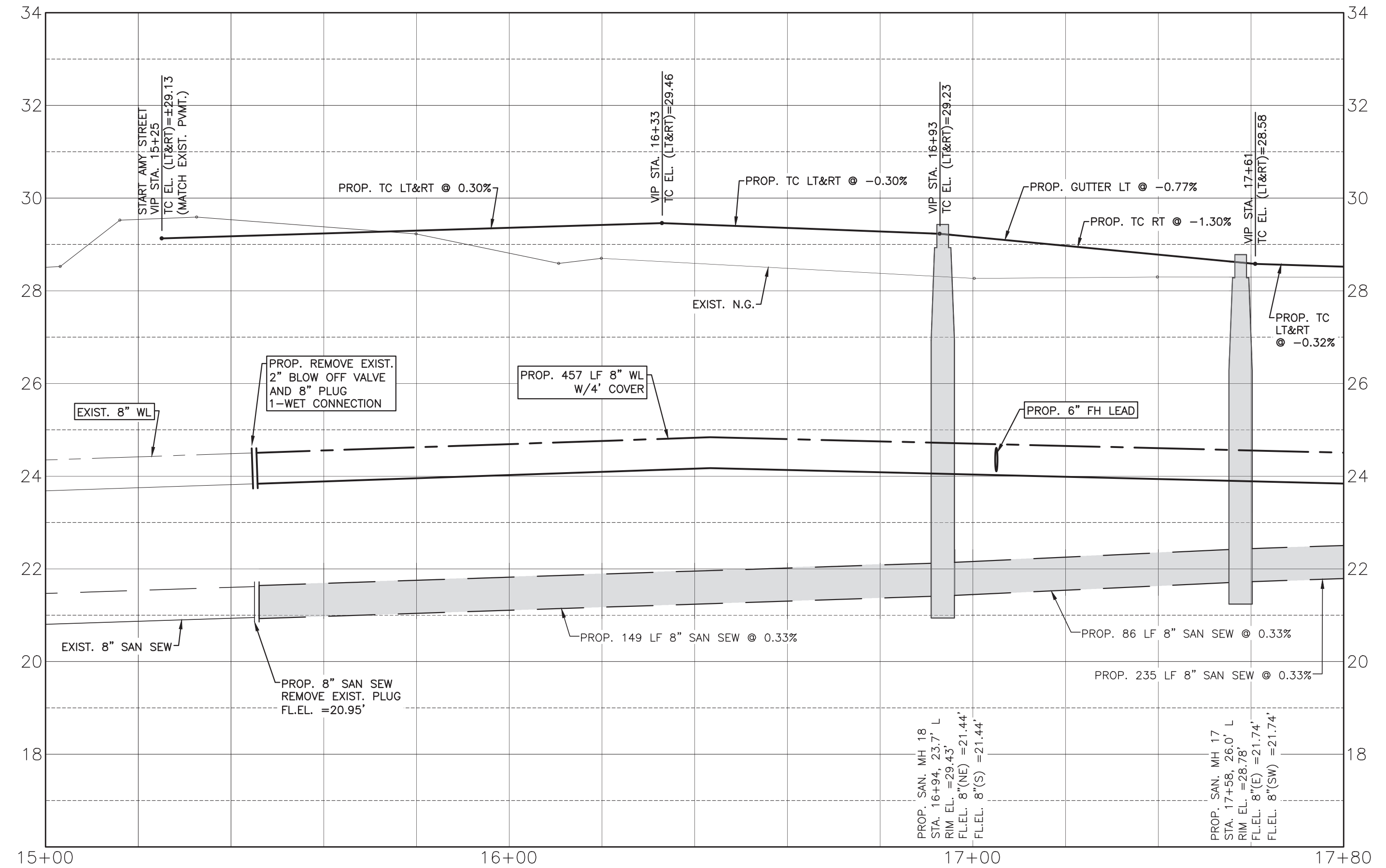
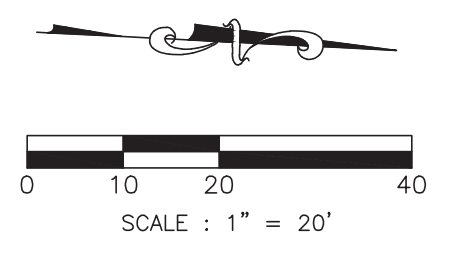
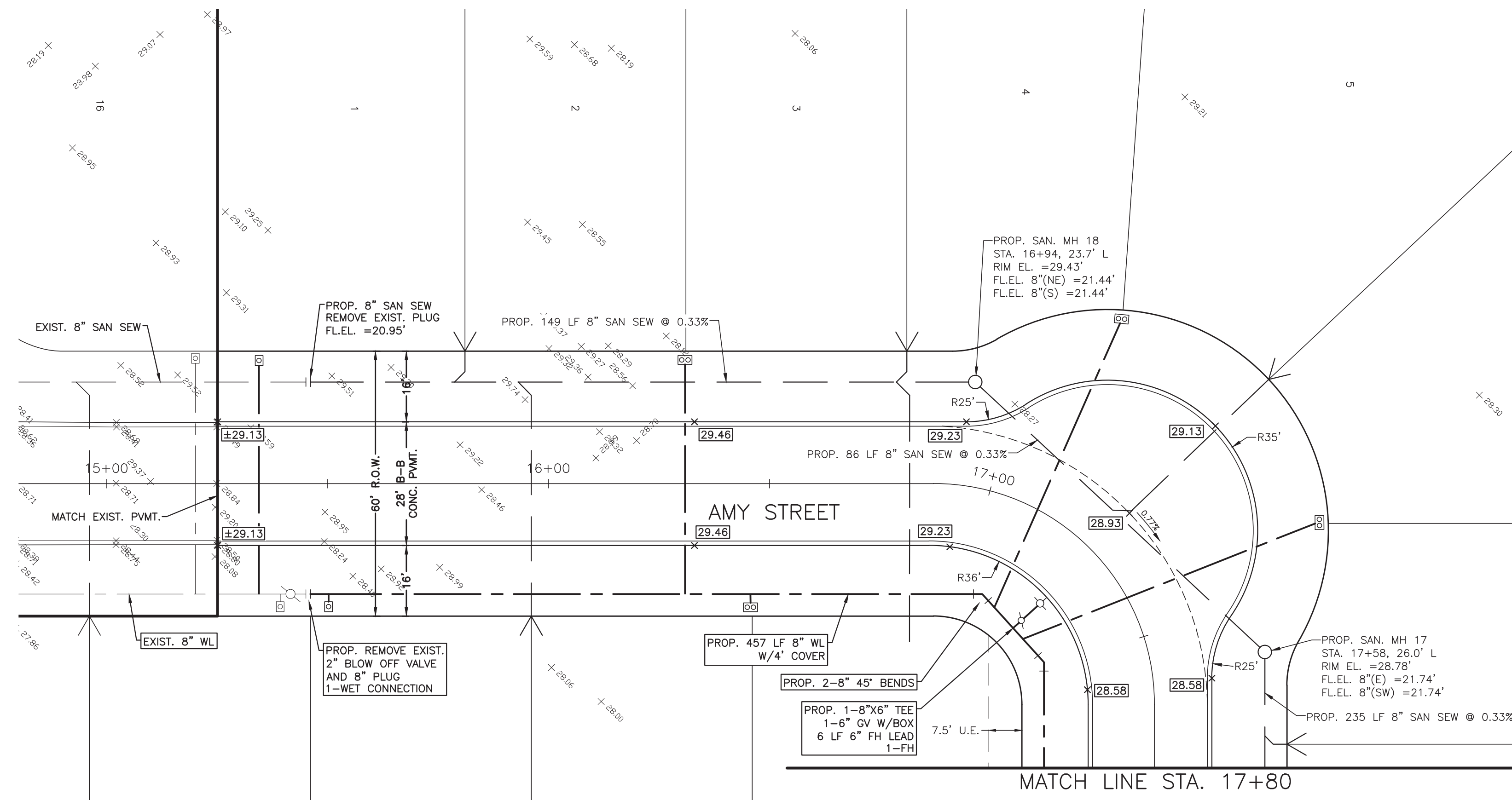
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 HOUSTON, TEXAS 77057

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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 3+20 TO 8+00
 PROJECT NO. 14396

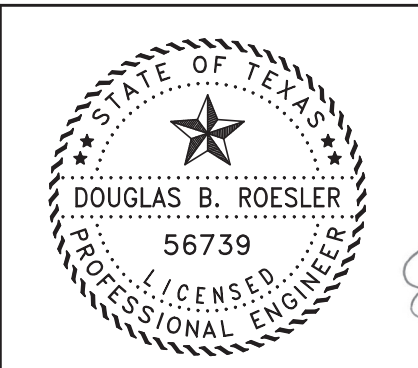


- SYMBOLS LEGEND**
- + 30.00 EXIST. GRADE ELEVATION
 - 82.50 PROP. GRADE ELEVATION
 - 81.35 PROP. TOP OF 4" CURB ELEVATION
 - GUT=81.50 PROP. GUTTER ELEVATION
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B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



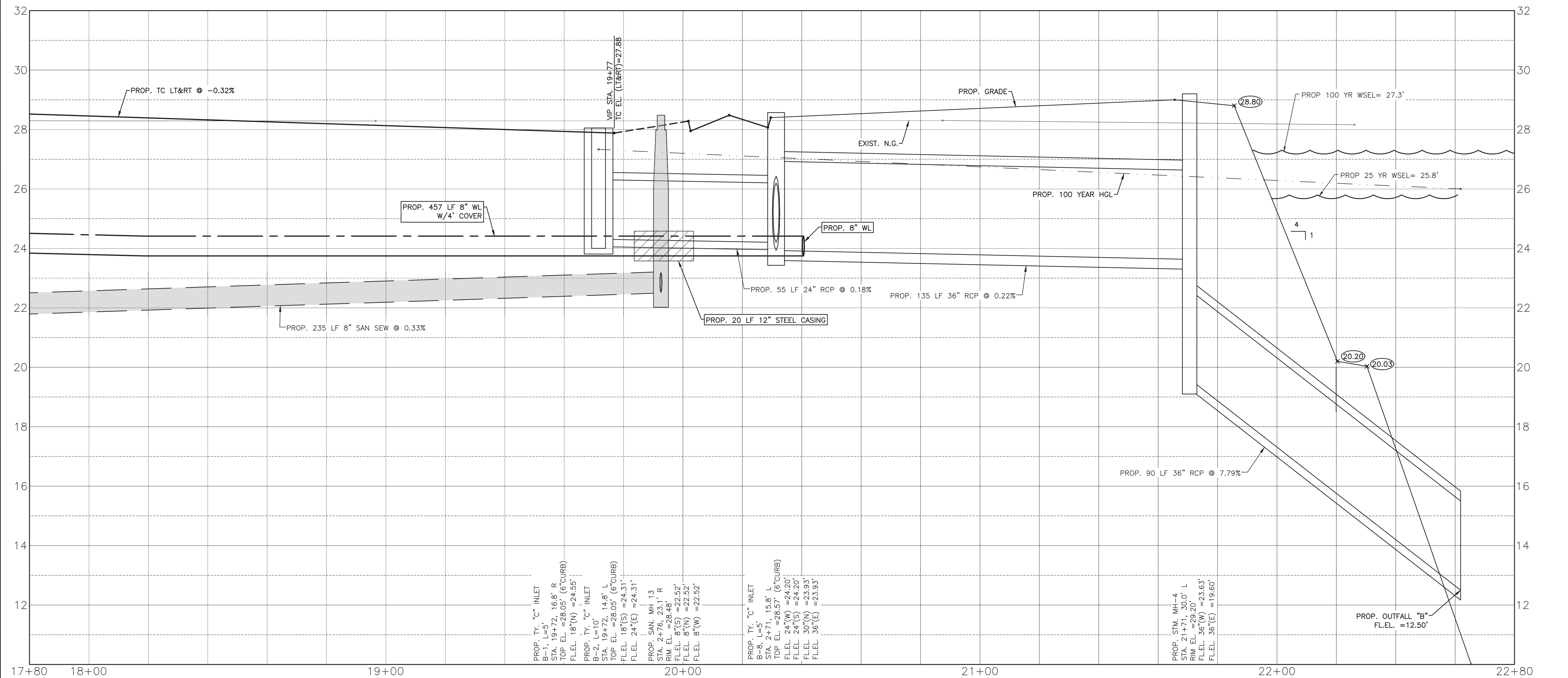
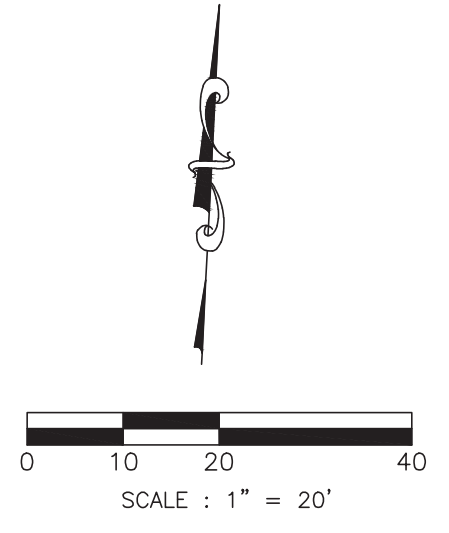
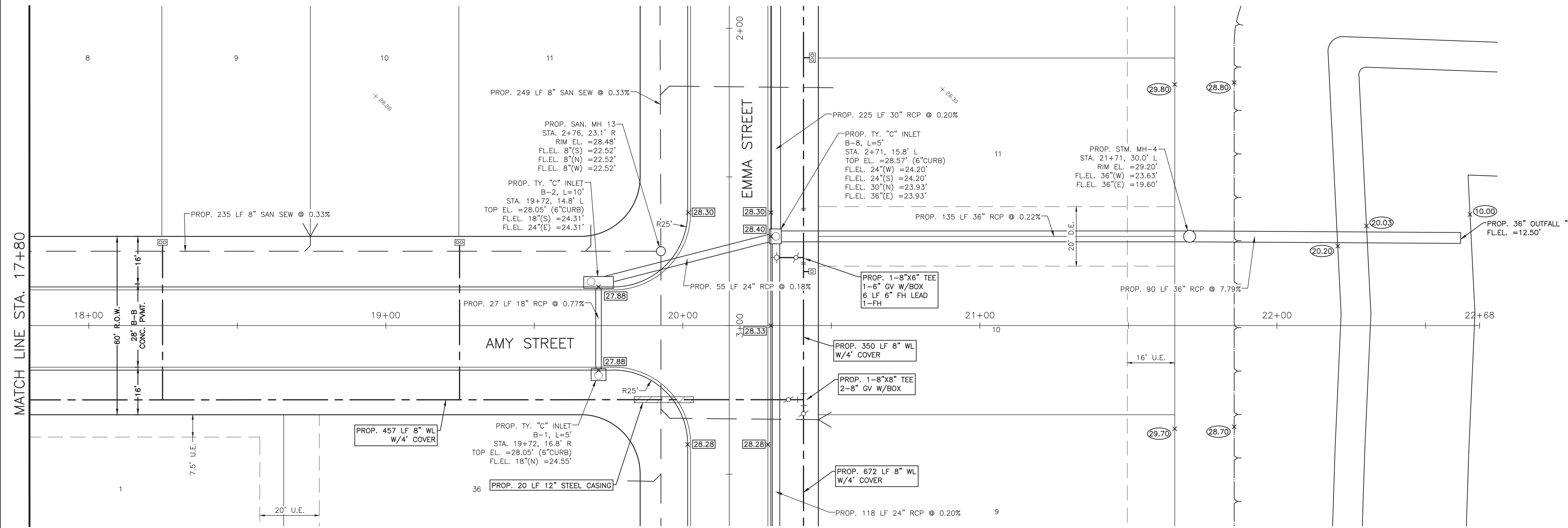
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OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 15+00 TO 17+80



SYMBOLS LEGEND

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B & L
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 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

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 03-03-2023

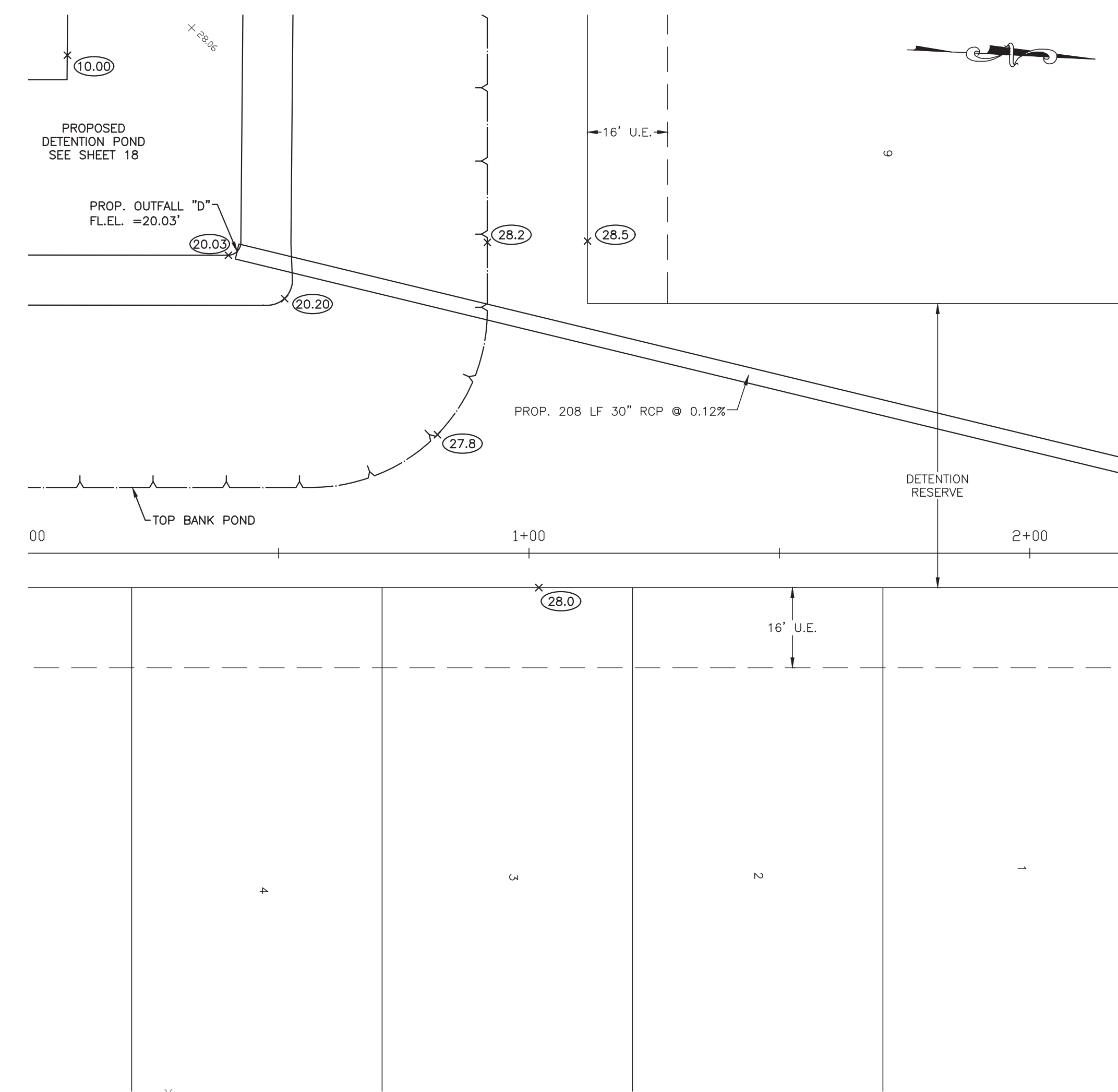
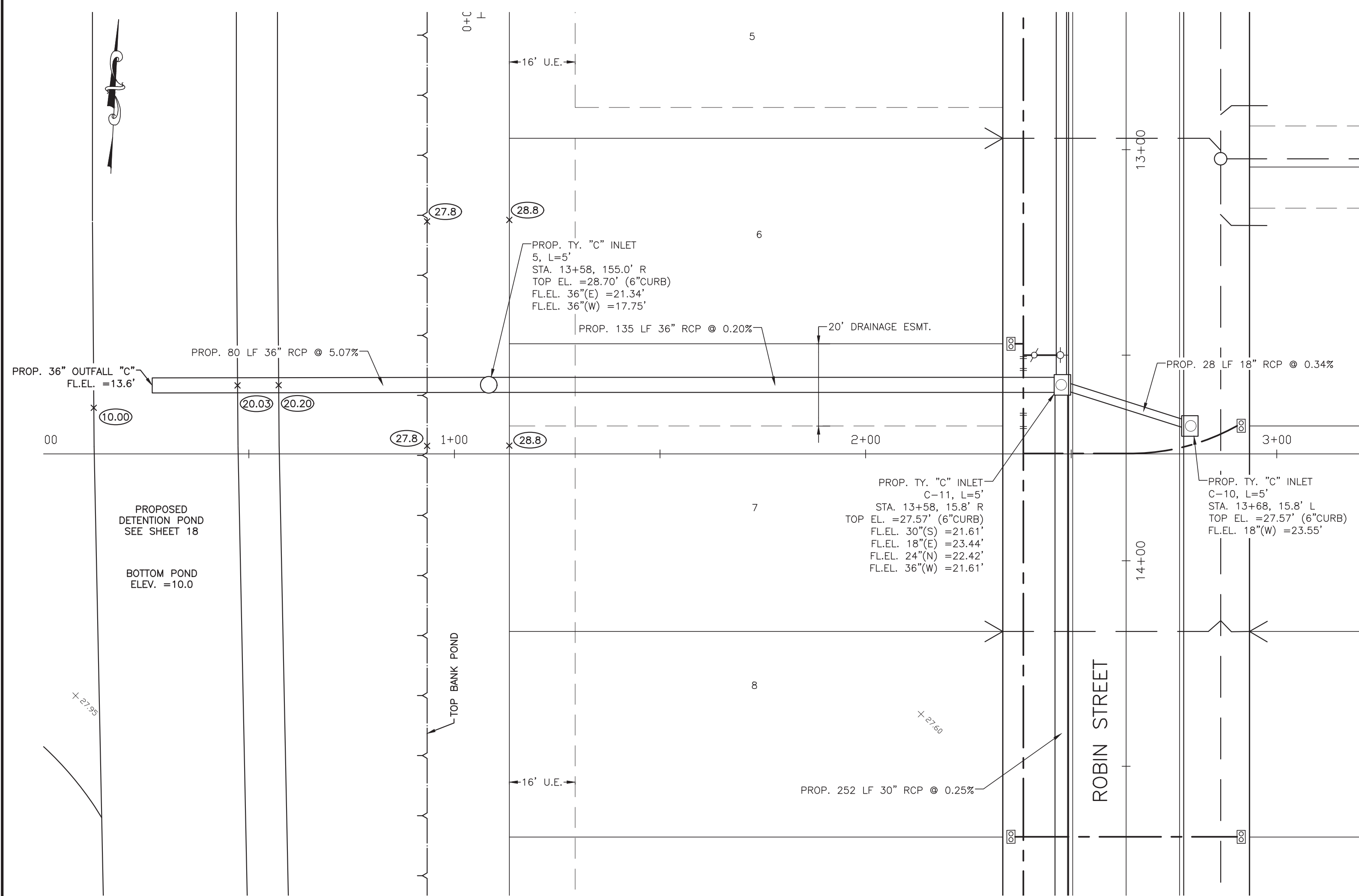
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6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

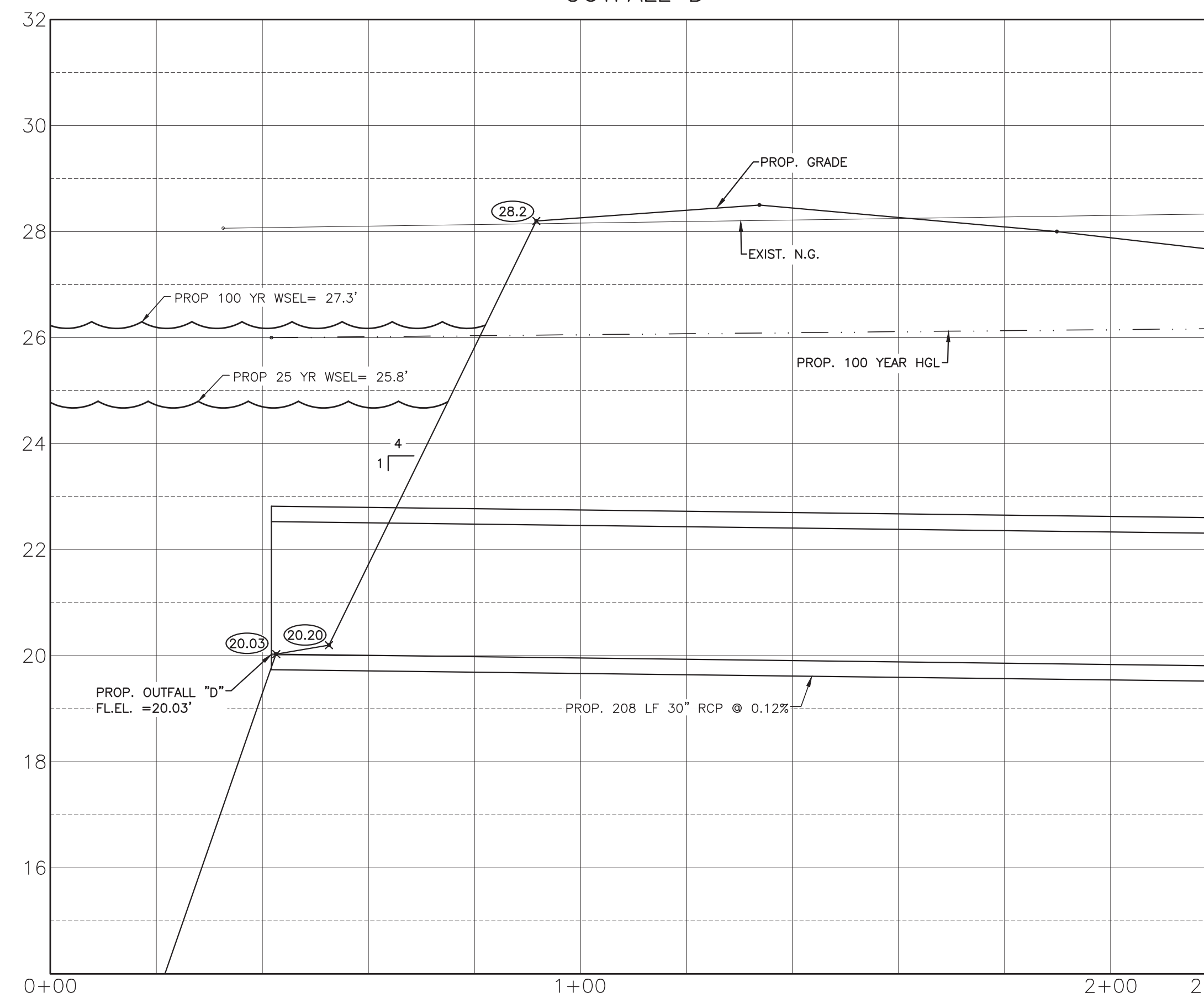
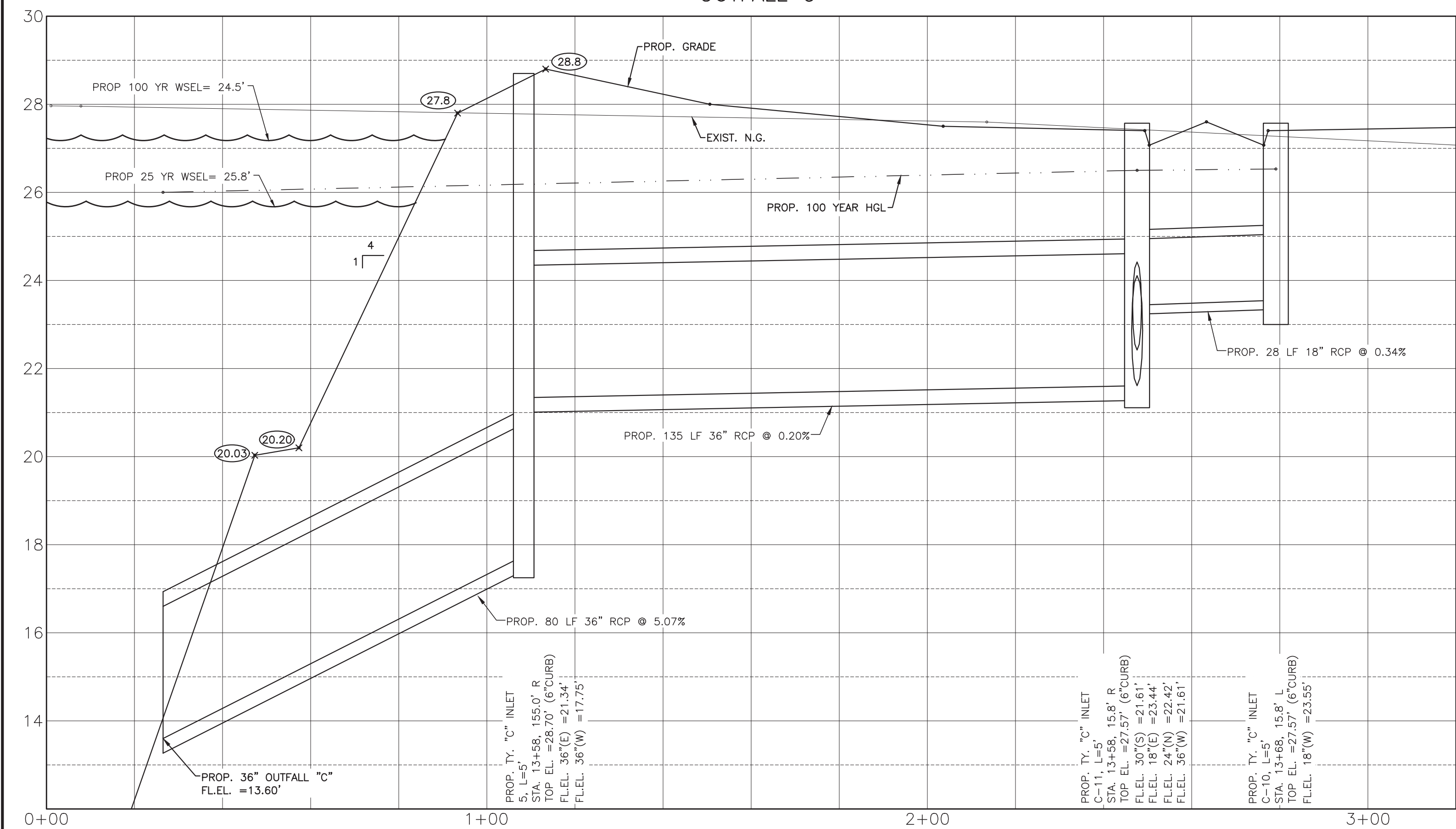
PLAN & PROFILE
 AMY STREET
 STA. 17+80 TO 22+68

PROJECT NO. 14396



OUTFALL C

OUTFALL D



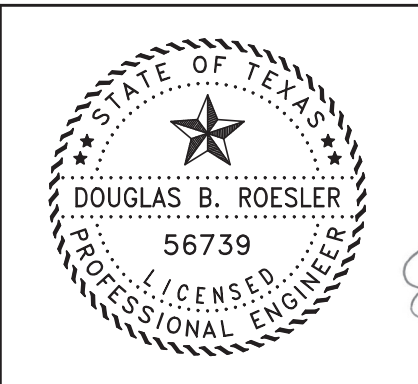
SYMBOLS LEGEND

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 ANGLETON, TEXAS 77515 (979) 849-6681
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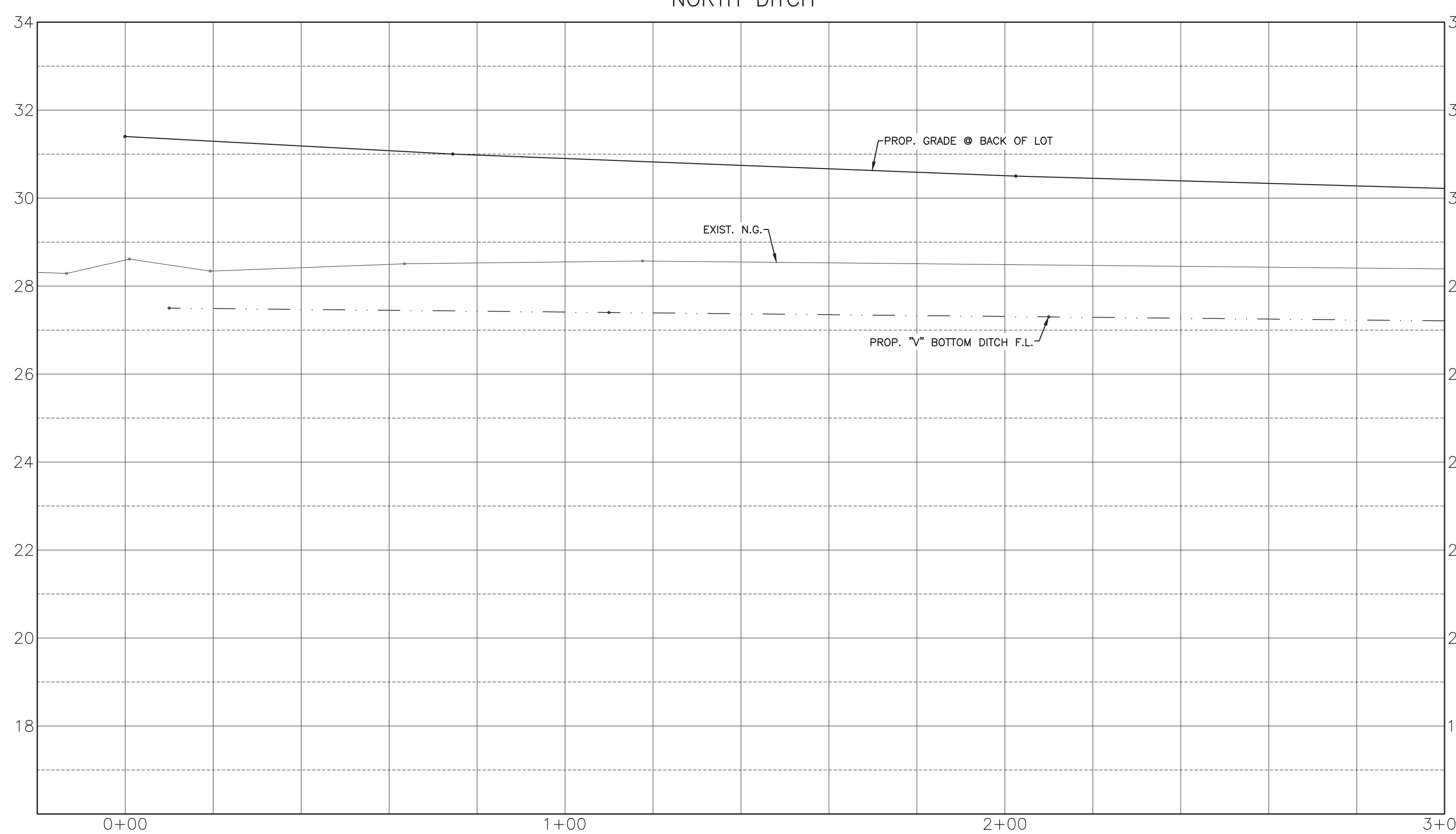
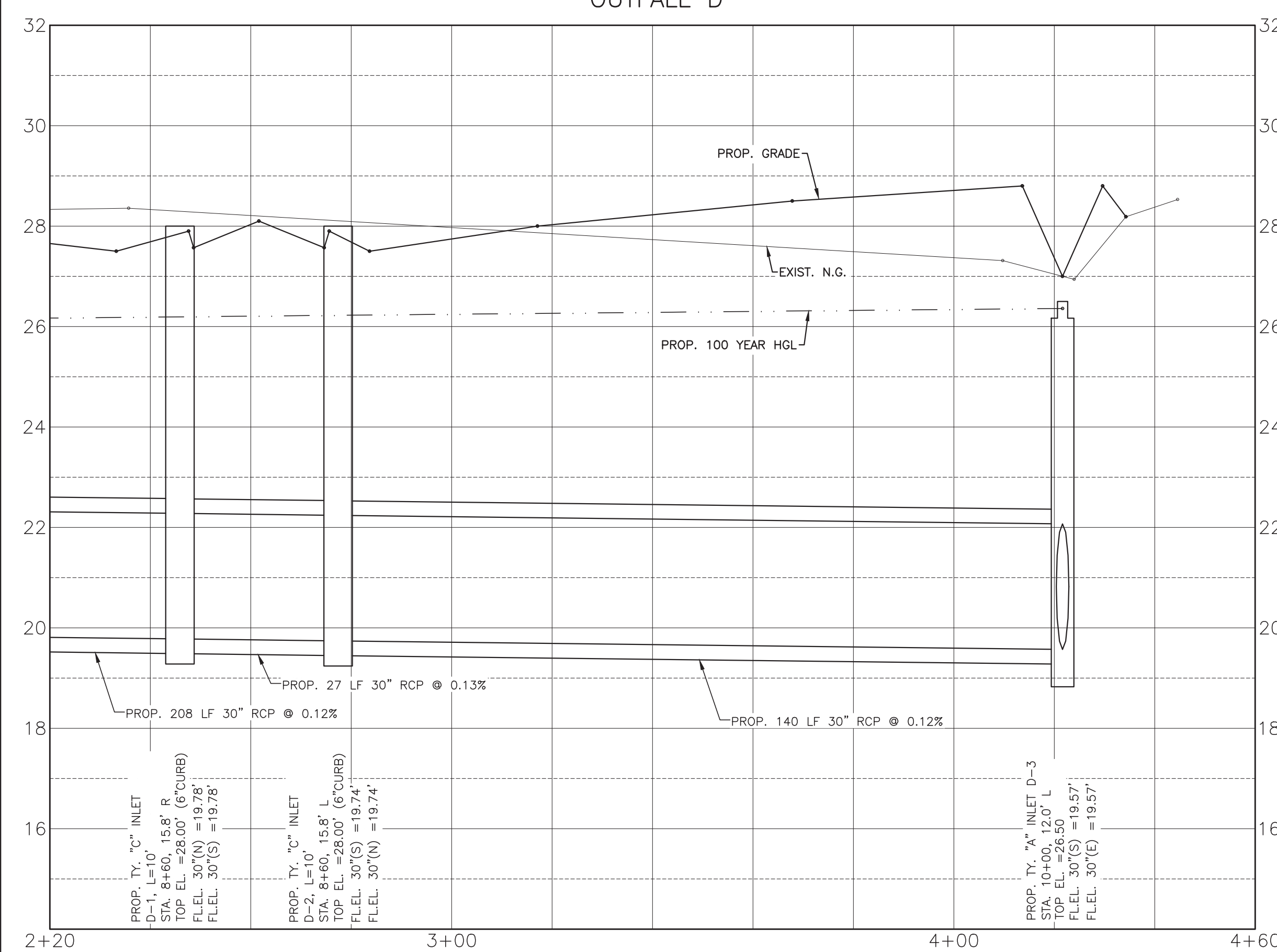
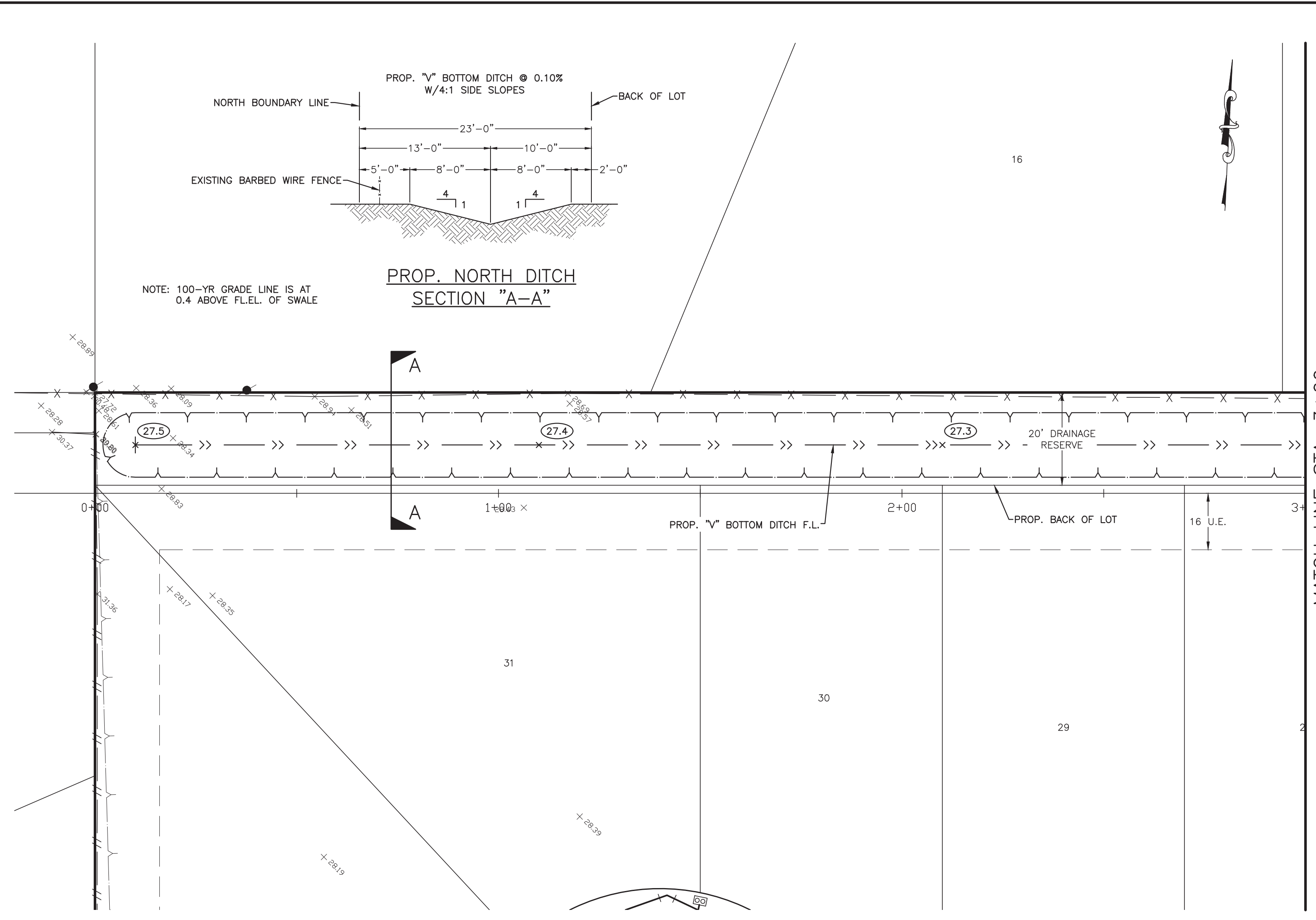
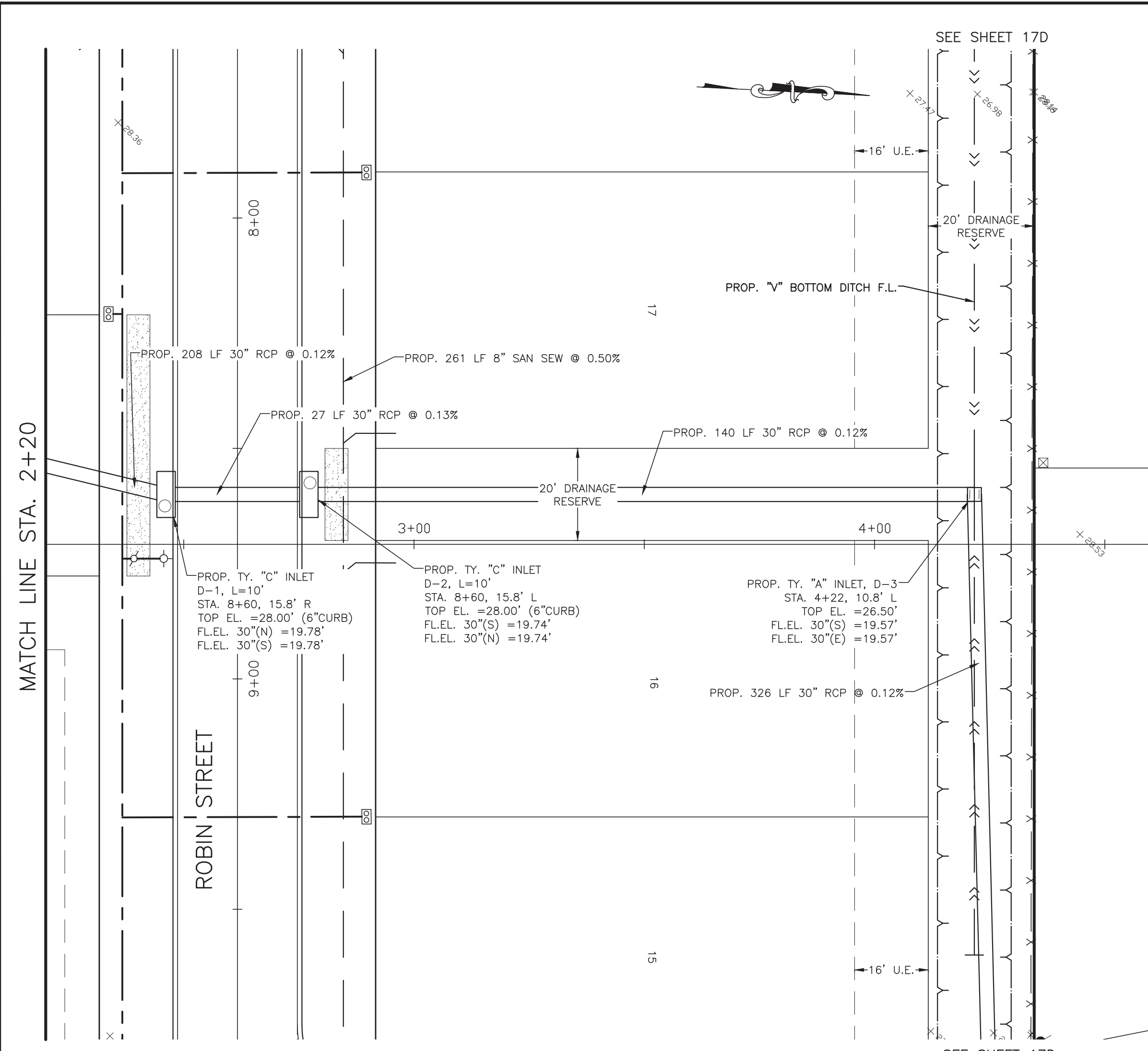
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL C & D

PROJECT NO. 14396



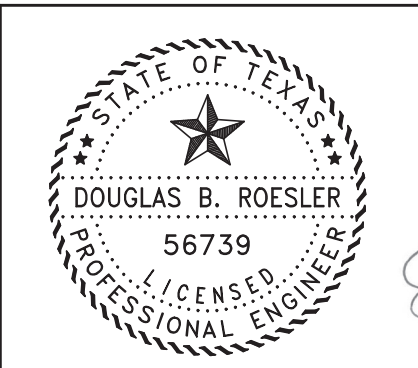
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 ENGINEERS • PLANNERS • SURVEYORS
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 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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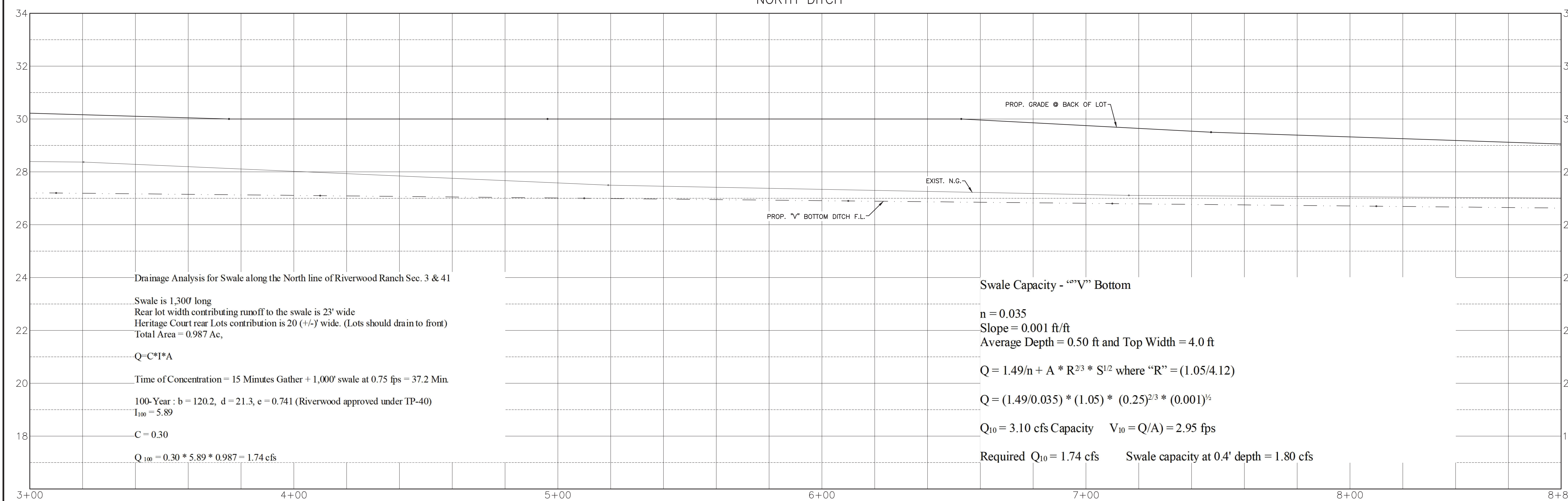
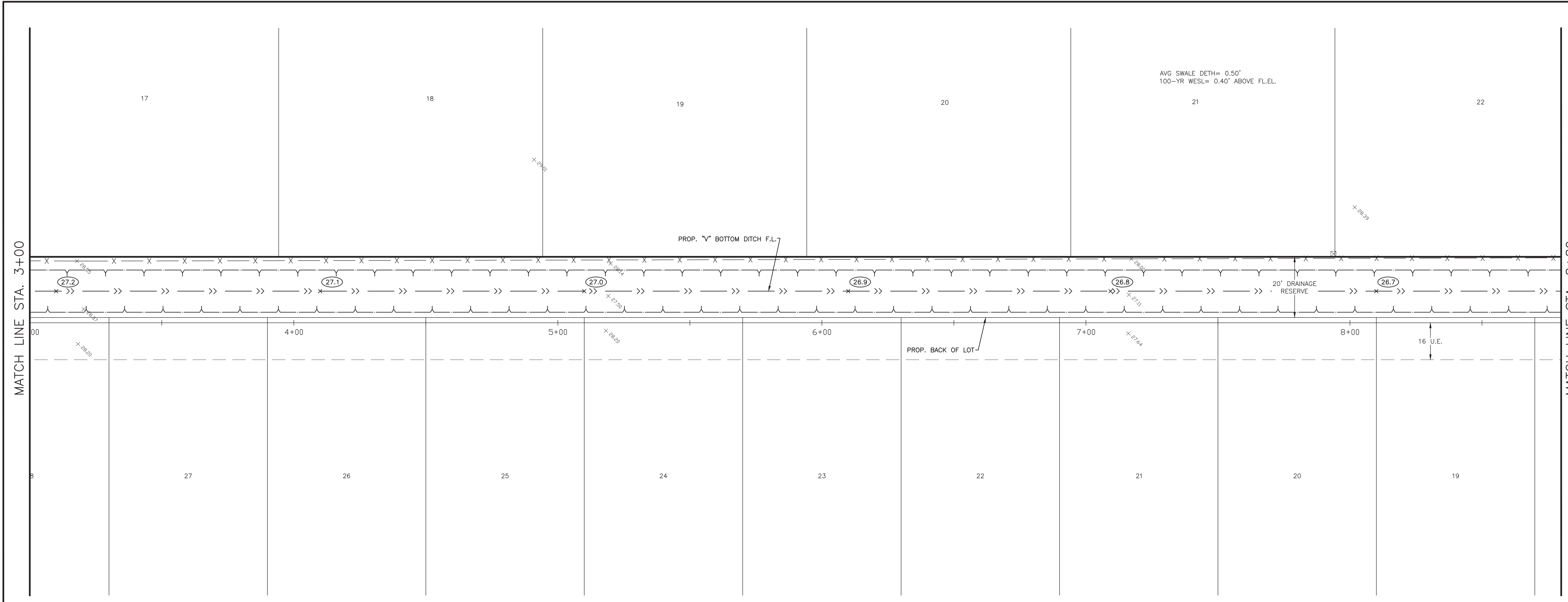
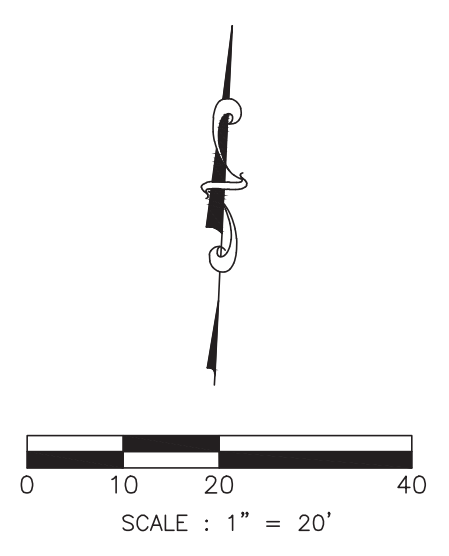
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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
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 ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL D
 & NORTH DITCH

PROJECT NO. 14396



Drainage Analysis for Swale along the North line of Riverwood Ranch Sec. 3 & 41

Swale is 1,300' long
 Rear lot width contributing runoff to the swale is 23' wide
 Heritage Court rear Lots contribution is 20 (+/-) wide. (Lots should drain to front)
 Total Area = 0.987 Ac.

$Q = C * I * A$

Time of Concentration = 15 Minutes Gather + 1,000' swale at 0.75 fps = 37.2 Min.

100-Year: $b = 120.2$, $d = 21.3$, $c = 0.741$ (Riverwood approved under IP-40)
 $I_{100} = 5.89$

$C = 0.30$

$Q_{100} = 0.30 * 5.89 * 0.987 = 1.74 \text{ cfs}$

Swale Capacity - "V" Bottom

$n = 0.035$
 Slope = 0.001 ft/ft
 Average Depth = 0.50 ft and Top Width = 4.0 ft

$Q = 1.49/n + A * R^{2/3} * S^{1/2}$ where "R" = (1.05/4.12)

$Q = (1.49/0.035) * (1.05) * (0.25)^{2/3} * (0.001)^{1/2}$

$Q_{10} = 3.10 \text{ cfs Capacity}$ $V_{10} = Q/A = 2.95 \text{ fps}$

Required $Q_{10} = 1.74 \text{ cfs}$ Swale capacity at 0.4' depth = 1.80 cfs

- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

DOUGLAS B. ROESLER
 LICENSED PROFESSIONAL ENGINEER
 56739

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

[Signature] 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

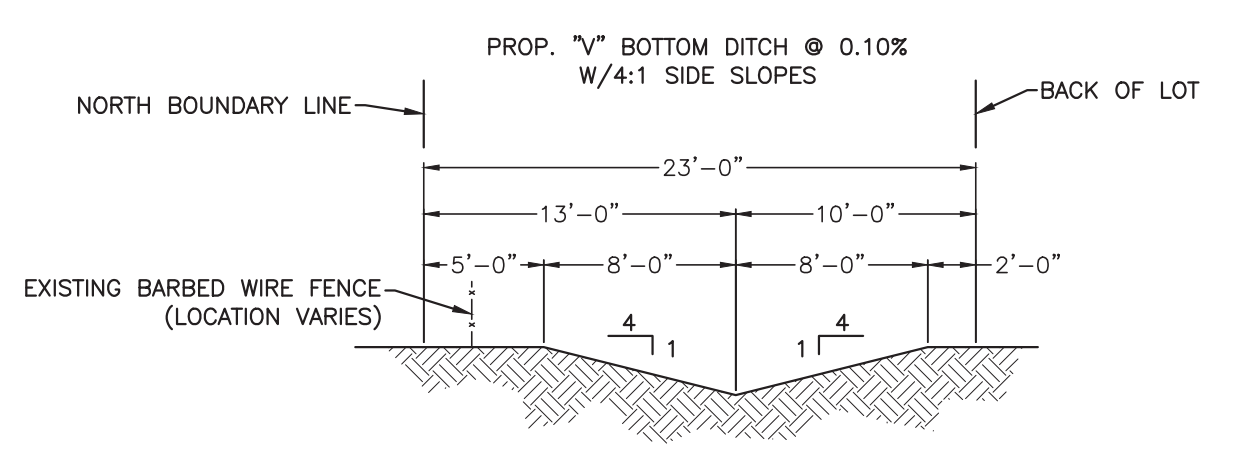
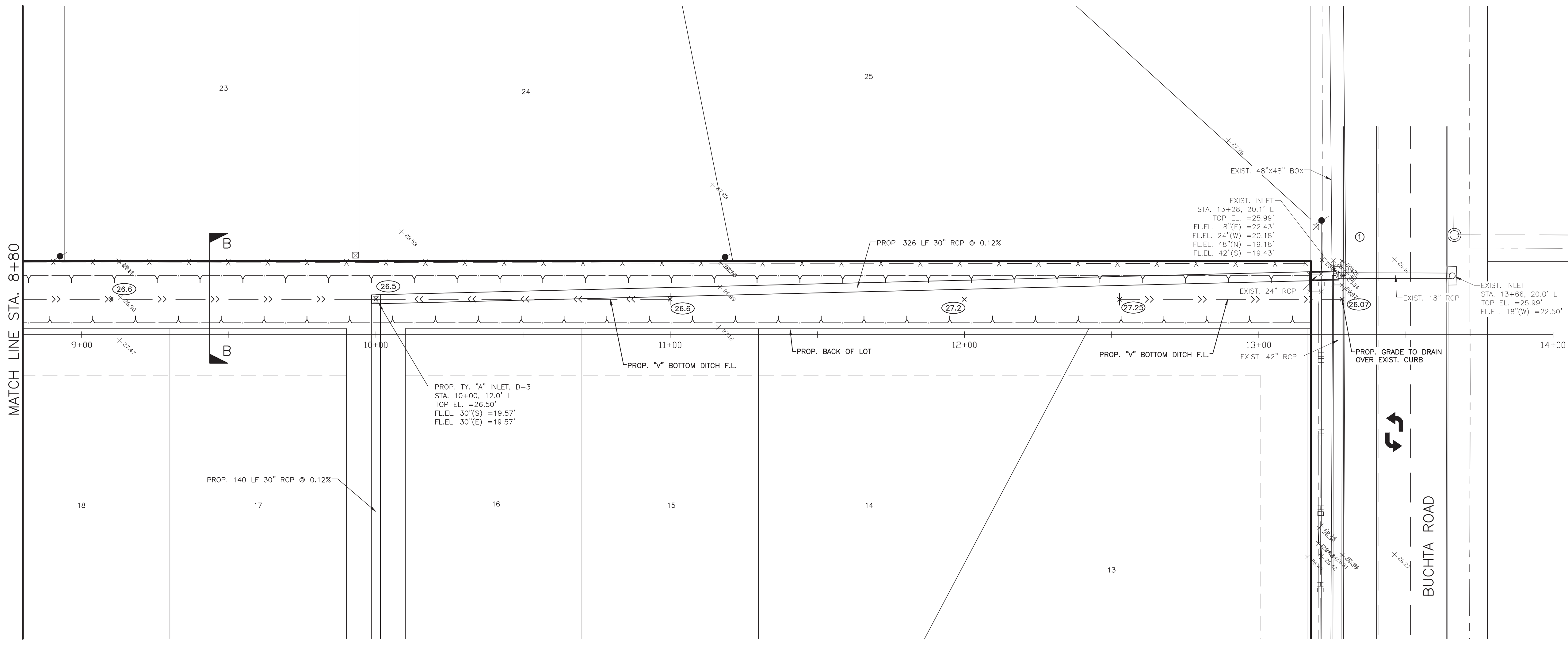
PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 NORTH DITCH

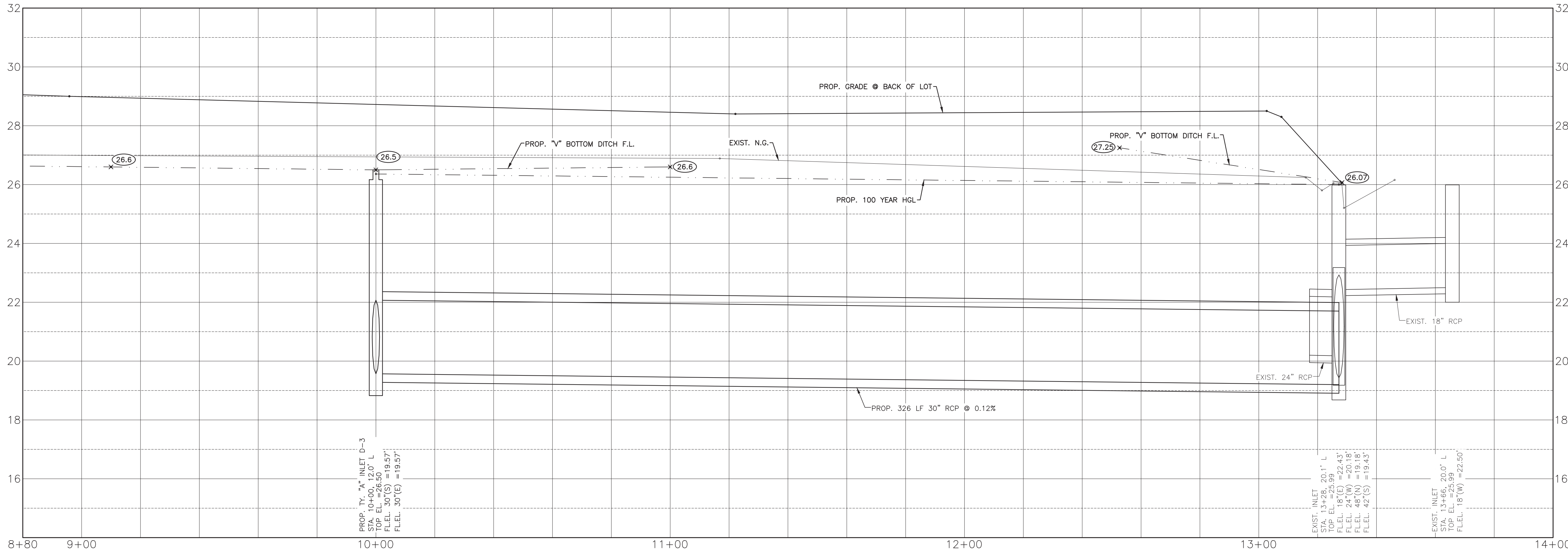
PROJECT NO. 14396

17C
 305



PROP. NORTH DITCH SECTION "B-B"

① REMOVE EXIST 24" RCP WEST. BREAK OUT BACK WALL TO PLACE PROP 30" RCP AT F.L.E.L. 19.18. GROUT 30" RCP INSIDE AND OUTSIDE OF BOX TO MAKE WATER TIGHT.



SYMBOLS LEGEND

- + 26.50 EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50 PROP. GUTTER ELEVATION
- CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
- TG=81.50 PROP. TOP OF GRATE INLET
- ⊗ DOUBLE WATER METER
- ⊠ SINGLE WATER METER
- ⊕ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ TAPPING SLLEEVE AND VALVE
- ⊙ STORM SEWER MANHOLE (STM. MH-1)
- ⊙ SANITARY SEWER MANHOLE (SAN. MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWWA C900, CLASS 150, DR18)

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

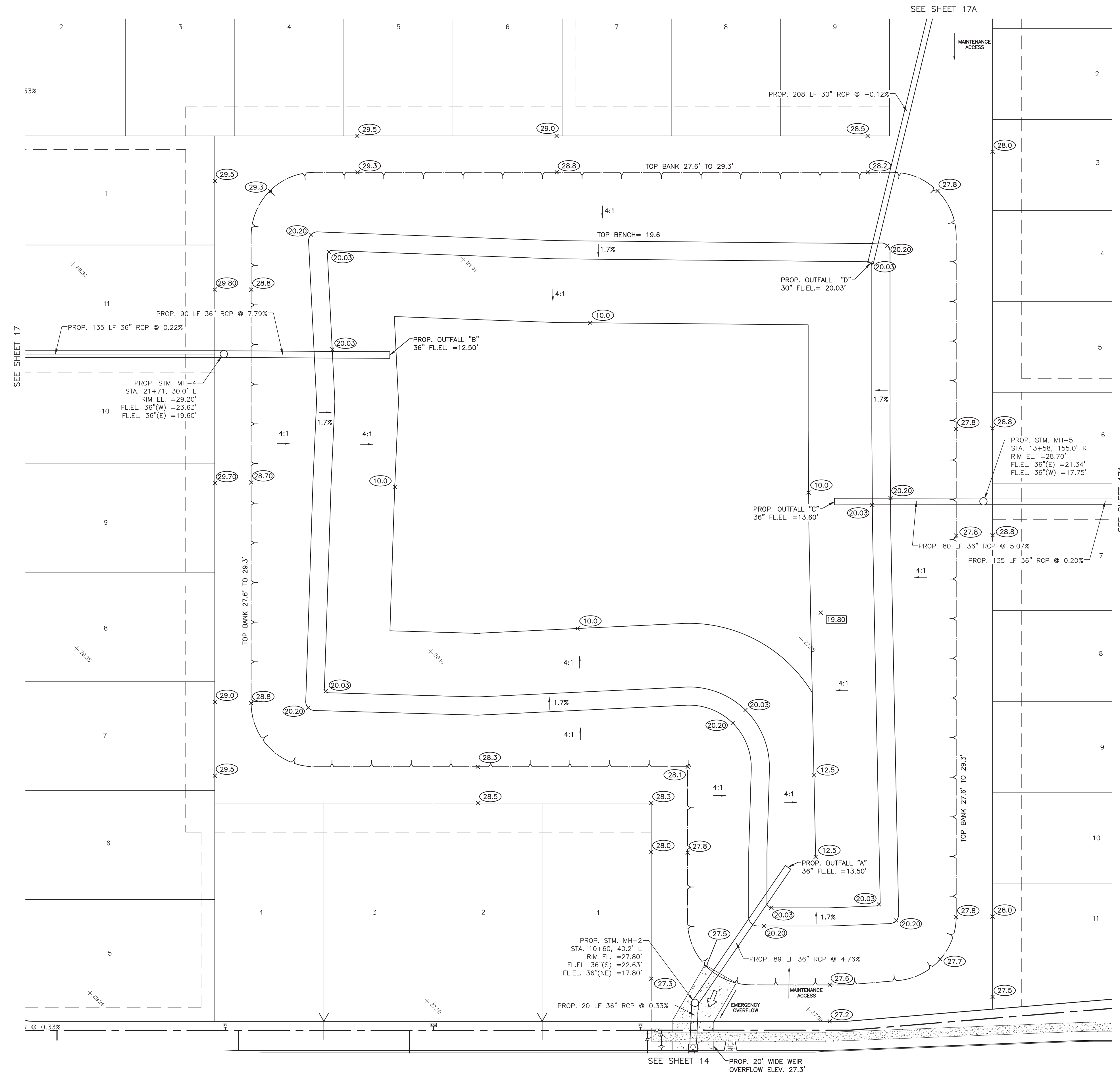
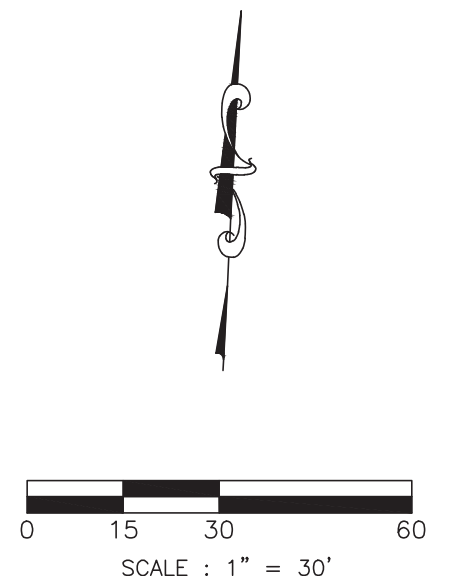
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 NORTH DITCH
 PROJECT NO. 14396



Riverwood Sec. 3 & 4 Detention/Excavation Summary		
Detention Volume Required	17,179	Ac-Ft
Detention Volume Provided	22,680	Ac-Ft
Elev. (f.t.)		Area (s.f.)
28.50 (+/-)	Top bank	142,525
28.00	Nat. Gr.	140,945
27.30	12" Freeboard - 100 Yr WSEL	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
* Static Water = Bottom Bench		
Detention Pond Volume		
Elev. (f.t.)		Area (s.f.)
27.30	12" Freeboard - 100 Yr	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
Area	(137,373 + 117,382)/2	127,377 s.f.
Volume	(127,377*7.1' Depth)	904,377 c.f.
Area	(117,382 + 105,726)/2	111,554 s.f.
Volume	(111,554*0.20' Depth)	22,311 c.f.
Total Volume		926,688 c.f.
		21.27 ac-ft
Excavation Volume		
28.00	Nat. Gr.	140,945
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
Area	(140,945 + 117,382)/2	129,164 s.f.
Volume	(129,164*7.8' Depth)	1,007,479 c.f.
Area	(117,382 + 105,726)/2	111,554 s.f.
Volume	(111,554*0.20' Depth)	22,311 c.f.
Area	(105,726 + 63,440)/2	84,583 s.f.
Volume	(84,583*10.00' Depth)	845,830 c.f.
Total Volume		1,875,286 c.f.
		69,467 c.y.

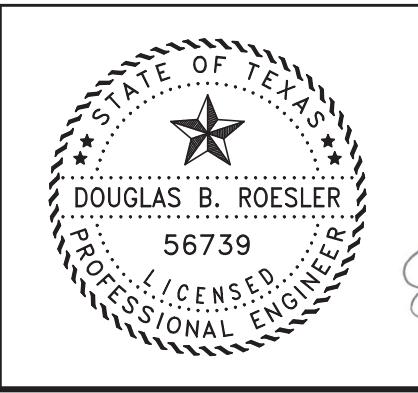
(File: 14396 / Det Vol Calcs 02-25-23)

100 YR WSEL = 27.0 PROVIDES 17.32 AC-FT
ALL SIDE SLOPES AT 4' TO 1' OR FLATTER

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
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 CHECKED _____
 DATE _____

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 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
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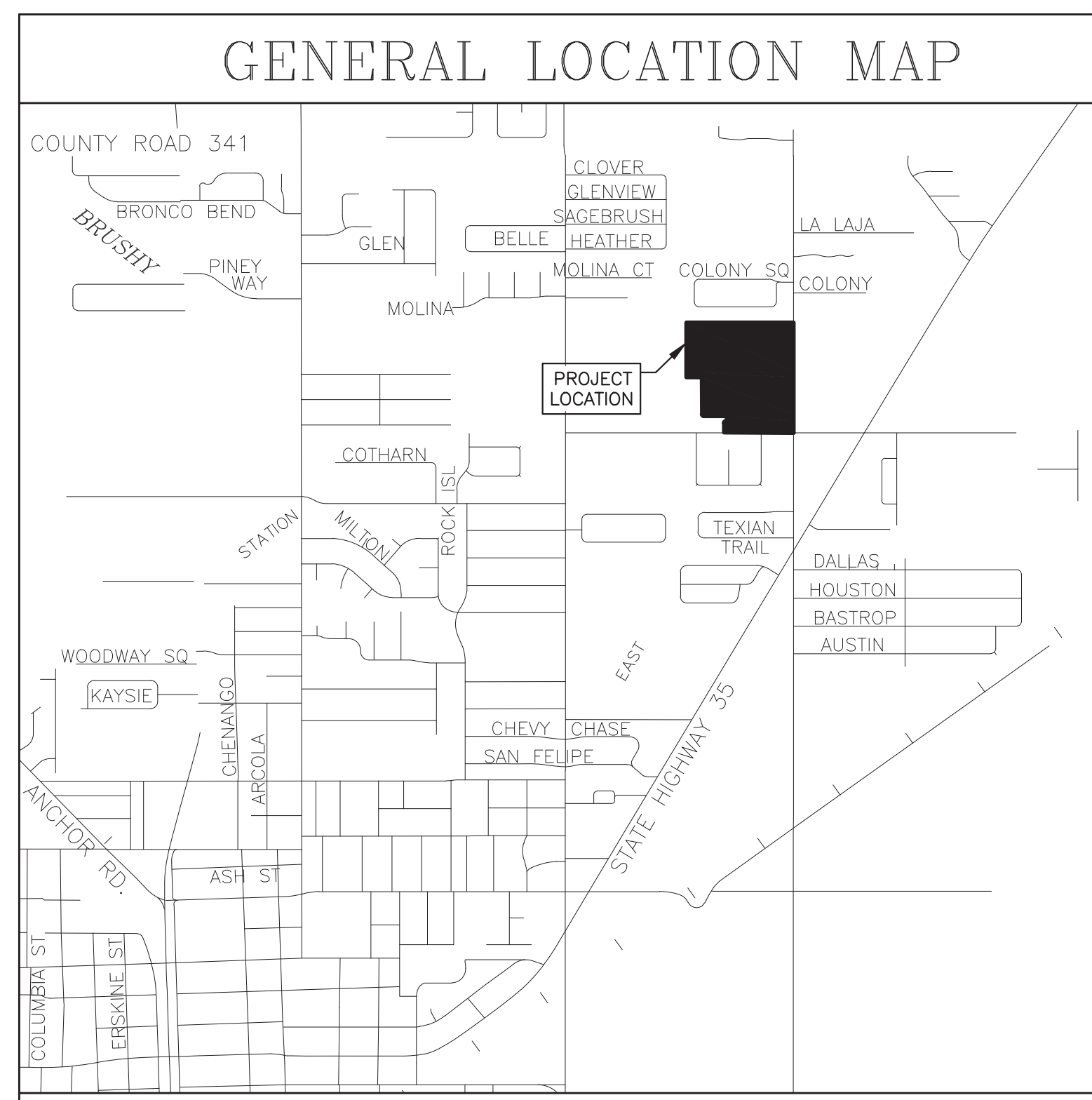
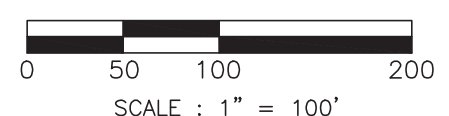
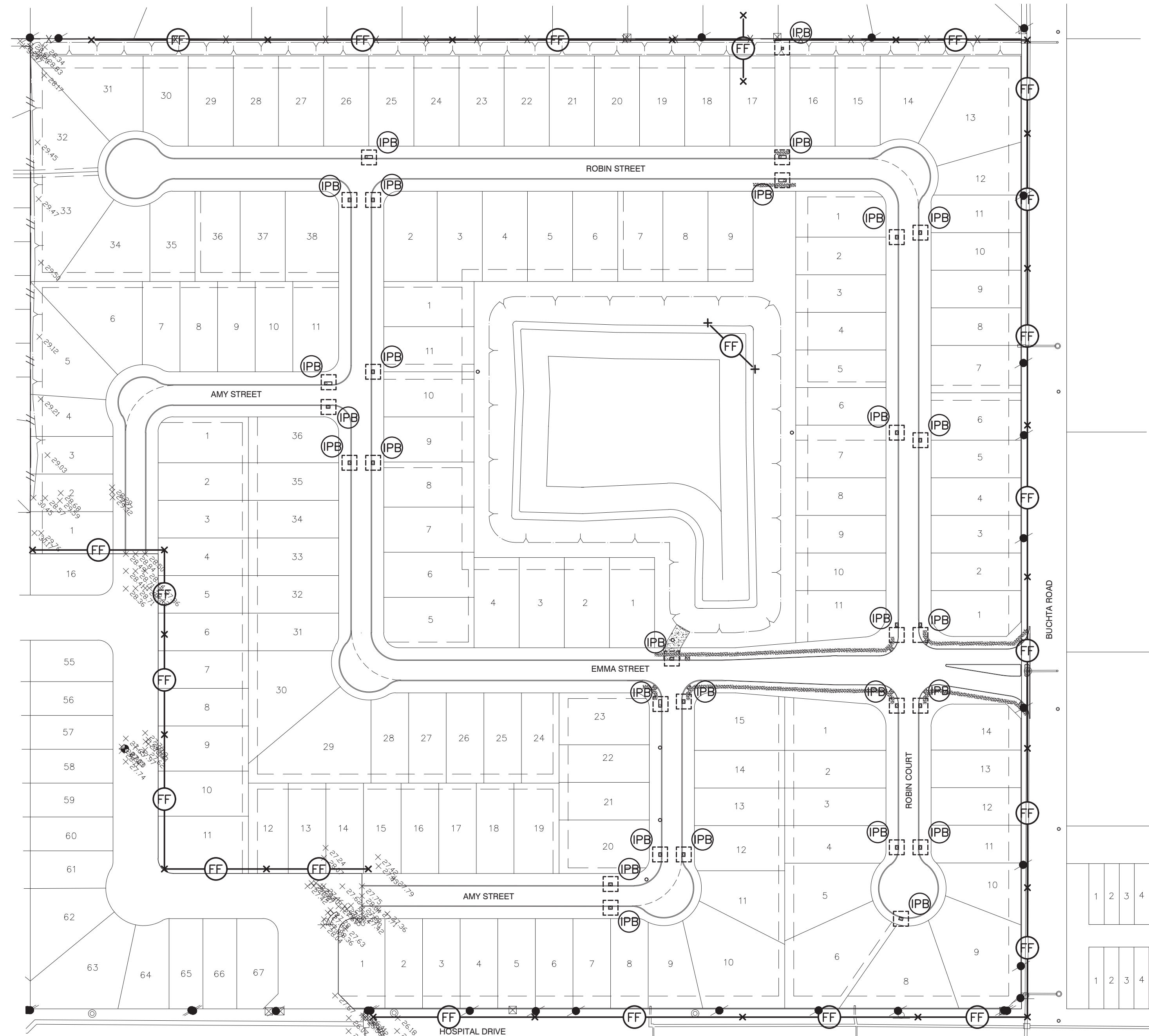
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 30'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DETENTION POND
 PROJECT NO. 14396



PROJECT/SITE INFORMATION

PROJECT NAME: RIVERWOOD RANCH SUBDIVISION, SECTIONS 3 & 4
 PROJECT ADDRESS/LOCATION: NE CORNER OF DOWNING ROAD AND HOSPITAL DRIVE INTERSECTION
 CITY: ANGLETON STATE: TX. ZIP CODE: 77515
 LATITUDE: 29°11'13.1" LONGITUDE: 95°24'45.0" COUNTY: BRAZORIA
 NAME OF RECEIVING WATERS: GULF OF MEXICO

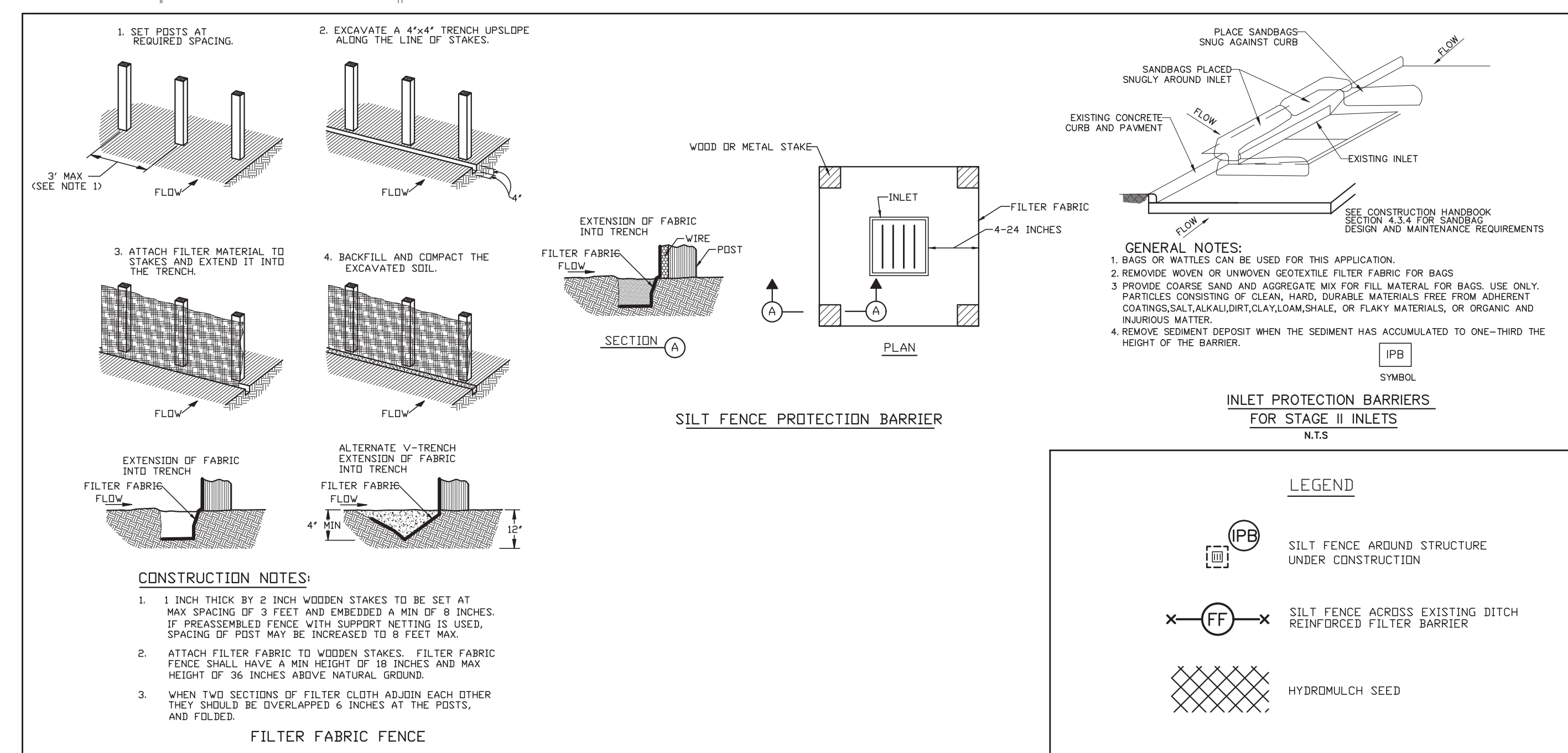
2/01/2023 MONTH/DAY/YEAR ESTIMATED CONSTRUCTION START DATE
 8/01/2023 MONTH/DAY/YEAR ESTIMATED COMPLETION DATE
 ESTIMATE OF AREA TO BE DISTURBED: 36.0 ACRES
 ESTIMATE OF LIKELIHOOD OF DISCHARGE:

- UNLIKELY
- ONCE PER MONTH
- ONCE PER WEEK
- ONCE PER DAY
- CONTINUAL

ARE THERE ANY LISTED ENDANGERED OR THREATENED SPECIES, OR DESIGNATED CRITICAL HABITAT IN THE PROJECT AREA?
 YES NO

ELIGIBILITY WITH REGARD TO PROTECTION OF ENDANGERED SPECIES HAS BEEN SATISFIED THROUGH THE INDICATED SECTION OF PART 1.B.3.e.(2) OF THE PERMIT.

- (a)
- (b)
- (c)
- (d)



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

SWPPP LAYOUT
 PROJECT NO. 14396

1. SITE DESCRIPTION

- A. NATURE OF THE CONSTRUCTION ACTIVITY:

RIVERWOOD RANCH SUBDIVISION SECTIONS 3&4, ANGLETON, BRAZORIA COUNTY, TEXAS. BEING A 35.620 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 145 LOTS. CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS AND CONCRETE ROADWAYS WITH CURBS WITH EXCESS EXCAVATION WITH MATERIAL SPREAD FOR LOT GRADING.
- B. INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER. THIS MATERIAL WILL BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD ON DEVELOPED LOTS AFTER FINAL GRADING. UTILITY AND STORM SEWER CONSTRUCTION WILL REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE WILL INVOLVE SPREADING EXCAVATED MATERIAL ON ADJACENT LOTS. RAINFALL RUNOFF WILL BE DIRECTED TO THE STREET GUTTERS AND TO THE CONSTRUCTED STORM SEWER SYSTEM. TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE, UTILITY AND STORM SEWER MATERIALS AND OTHER CONSTRUCTION MATERIALS. TRUCKS WILL ALSO BE USED TO HAUL CONSTRUCTION DEBRIS AWAY FROM THE SITE. THESE TRUCKS WILL BE ROUTED ALONG HOSPITAL DR. AND BUTCHA ROADS FOR INGRESS AND EGRESS. RUTTING DURING WET WEATHER WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE ROUTE.
- C. TOTAL PROJECT AREA: 35.620 ACRES
- D. TOTAL AREA TO BE DISTURBED: 36 ACRES

WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.55

- E. REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; AREAS WHICH WILL NOT BE DISTURBED; LOCATIONS OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF-SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARGES TO A SURFACE WATER.
- F. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION:
- G. NAME OF RECEIVING WATERS:

RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO.

AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SITE WHICH WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS OF THE PROJECT.

NONE

- H. REFER TO FEDERAL REGISTER, VOLUME 63, NO.128, MONDAY JULY 6, 1998, PAGES 36497 TO 36515 FOR REQUIREMENTS OF NPDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IN REGION 6.
- I. LISTED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY:

NONE
- J. PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES:

NONE

2. CONTROLS

NARRATIVE – SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.

1. INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE.
2. INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.
3. ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND, UTILITY STORM SEWER CONSTRUCTION, AND DESIGNATED POND EVACUATION.
4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 18" WIDE SOLID SOD BEHIND ALL CURBS, OR FILTER FABRIC FENCE.

- A. EROSION AND SEDIMENT CONTROLS: EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER:				

- B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION:

CURBS & GUTTERS STORM SEWERS

C. OTHER CONTROLS

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

WASTE MATERIALS: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

HAZARDOUS WASTE (INCLUDING SPILL REPORTING): AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY:

- HAUL ROADS DAMPENED FOR DUST CONTROL LOADED
- HAUL TRUCKS TO BE COVERED WITH TARPULIN
- EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED
- CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION

AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

5. NON-STORMWATER DISCHARGES

- FIRE HYDRANT FLUSHING
- BUILDING WASHDOWN WITHOUT DETERGENTS
- PAVEMENT WASHDOWN WITHOUT DETERGENTS
- CONDENSATE
- UNCONTAMINATED GROUNDWATER
- UNCONTAMINATED FOUNDATION DRAINS

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" =
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SWPPP NARRATIVE
 PROJECT NO. 14396

1

Hydrological and Hydraulic Impacts
Riverwood Ranch Subdivision - NE Area

Job # 13032

Brazoria County, Texas

A = 40.016 Acre Development :

Pre Development:

C = 0.175
TC = 90.0 Minutes, I = 3.66
Q = 100 Year Storm = 32.04 cfs
Q-Allowed is 0.80 cfs / ac. = 32.01 cfs

Post Development

C = 0.55
TC = 31.6 Minutes, I = 6.573
Q = 100 Year Storm = 180.83 cfs

Required Detention:

17.179 acre - feet (748,317 c.f.)

EXISTING CONDITIONS

Bra. Co. Master Drg. Study allows only 0.80 cfs/acre in this area. These are Bastrop Bayou drainage areas BB 35 and BB 36.

TC = 15 Minutes gather time plus diagonal length (1,800') overlaid at 0.40 fps = 90.0 Minutes

PROPOSED CONDITIONS

TC = 15 Minutes gather time + 150' overlaid at 0.50 fps + 1,650' l.f. storm sewer at 3 fps = 29.2 Minutes

C = 0.55 per City of Sugarland

ACREAGE = 40.016 Ac.

Section 3 & 4 = 35.6 Ac. (+/-) + 4.38 Ac. from Sec. 2 to compensate for free drain to Hospital Dr.

2

Drainage Analysis

Job # 13032 - Riverwood Ranch Subdivision - NE Area

Rainfall Intensity calculations for Brazoria County

i = intensity (in/hr)
b = coefficient
t = time of concentration
d = coefficient
e = coefficient

subscript i=1 = 2 year storm
i=2 = 5 year storm
i=3 = 10 year storm
i=4 = 25 year storm
i=5 = 50 year storm
i=6 = 100 year storm

i = 1..6

b _i	d _i	e _i
71.0	0.774	8.4
70.1	0.752	7.7
96.6	0.770	17.2
89.2	0.726	10.4
86.5	0.709	10.0
120.2	0.741	21.3

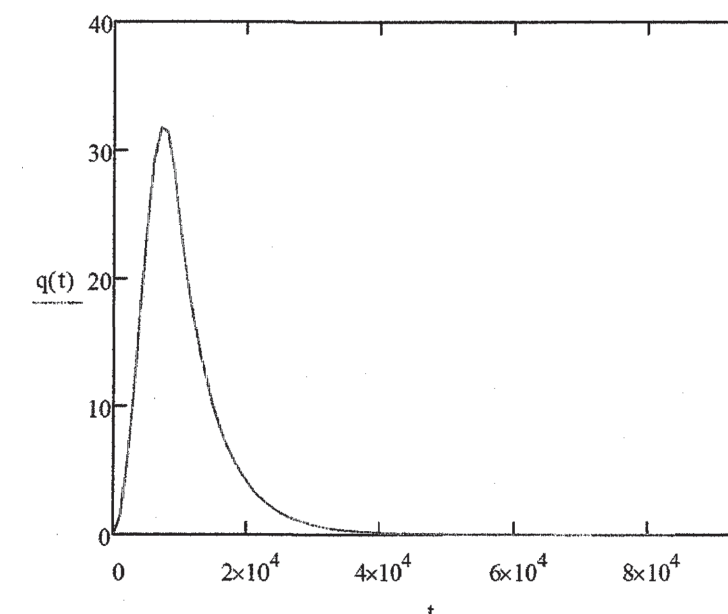
T₀ = 90.0 ENTER PREDEVELOPMENT TIME OF CONCENTRATION

I₀ = 3.66 Predevelopment Intensity of interest

C_p = .175 ENTER PREDEVELOPMENT C VALUE

A = 40.016 ENTER AREA

3



T₀ = 29.2 ENTER POST DEVELOPMENT TIME OF CONCENTRATION

I₀ = 6.573 Post development I of interest

C_p = 0.55 ENTER POST DEVELOPMENT C FACTOR
REVISE C AND AREA IF NECESSARY

C_u = 1.25
Q_u = C_u * I₀ * A * C_p

Q = 180.831

V_u = (C_u) * A * 43560 * 1.08

V = 1.035 x 10⁶

T = 31.6
T = 4.119 x 10³

t = 0, 1000.. 25000

4

C_u = 1.25

Q = C * C_u * I₀ * A
Q = 32.036

V_u = (C_u) * A * 43560 * 1.08
V = 3.294 x 10⁵

Must insert correct subscript for I to obtain the relevant Q

For these calculations, total volume storage is assumed to equal (C_u) * A with A converted to square feet multiplied by 13" (1.08)

DEVELOPMENT OF RUNOFF HYDROGRAPH
MALCOM'S METHOD AS DESCRIBED IN THE
BRAZORIA COUNTY DRAINAGE CRITERIA
MANUAL

T = 31.6
T = 7.398 x 10³

T = Time to peak, presented as a function of volume and peak flow and therefore indirectly related to time of concentration

t = 0, 1000.. 84000

f(t) = (Q/2) * (1 - cos(t/T))

f(t) describes rising limb of hydrograph

g(t) = 4.34 * Q * exp[-1.30 * (t/T)]

g(t) describes descending limb of hydrograph

q(t) = if(t < 1.25 * T, f(t), g(t))

Volume_{pre} = ∫₀⁸⁶⁴⁰⁰ q(t) dt

Volume_{pre} = 3.306 x 10⁵

Predevelopment hydrograph

5

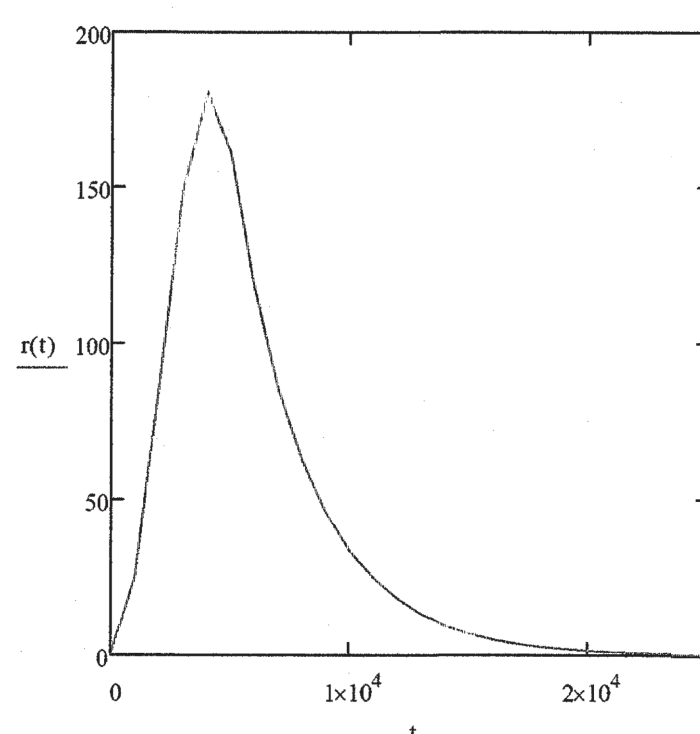
f(t) = (Q/2) * (1 - cos(t/T))

g(t) = 4.34 * Q * exp[-1.30 * (t/T)]

q(t) = if(t < 1.25 * T, f(t), g(t))

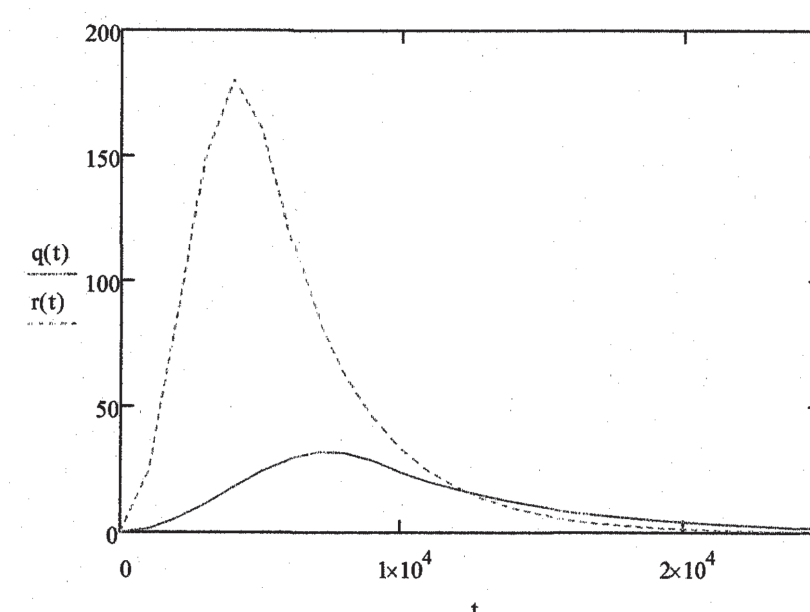
Volume_{post} = ∫₀⁸⁶⁴⁰⁰ r(t) dt

Volume_{post} = 1.039 x 10⁶
Post development hydrograph



Combined pre and post development hydrographs

6



f(t) = ((r(t) - q(t)) - 1)

v(t) = if(f(t) > 0, f(t), 0)

THE REQUIRED STORAGE COMPUTED AS THAT PART OF THE POST DEVELOPMENT HYDROGRAPH THAT FALLS ABOVE THE PREDEVELOPMENT HYDROGRAPH

ACRE- FEET

∫₀⁸⁶⁴⁰⁰ v(t) dt = 17.179
43560

14396 - RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 IN ANGLETON, TEXAS RESTRICTIVE OUTLET WITH MAX. FLOW RATE OF 32.01 CFS AND 1.0' HEAD

A	B	C	D	E	F	G	H	I	J	K	L	M	N
1													
2	H"	Q"	ENTR.	n	L	D		EQ.	EQ.	EQ.	EQ.	EQ.	EQ.
3			LOSS					2.5204(1+D4)	466.18*E4^2*F4	B4/(C4/10)^2	I4/G4^4	J4/G4^5.333	L4-(L4+M4)
4	1	24.6	0.5	0.013	116	2.5		3.7806	9.1390	0.1658	0.0968	0.0690	0.0000
5	1	37.1	0.5	0.013	116	3		3.7806	9.1390	0.0728	0.0467	0.0261	0.0000

USE 30" RESTRICTIVE OUTLET

ORIFICE EQUATION

Q = Cd * A * (2 * G * H)^0.5

Where:

Cd = 0.8
G = 32.2
H = 1
Q = 32.01

A = 4.99 30" Dia. 4.91 S.F.

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

HYDROLOGICAL CALCULATIONS

PROJECT NO. 14396

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:09:56 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area A 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows A-1 to A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 to A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows A-1 to A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 to A-7 and MH-1 to MH-2.

Conveyance Configuration Data

Table with 12 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 9.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 12 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 9.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows A-1 to A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 to A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows A-1 to A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 to A-7 and MH-1 to MH-2.

Conveyance Configuration Data

Table with 12 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 9.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 12 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 9.

NORMAL TERMINATION OF WINSTORM.

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:12:54 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area B 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows B-1 to B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 to B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows B-1 to B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 to B-8 and MH-1 to MH-4.

Conveyance Configuration Data

Table with 12 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 10.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 12 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 10.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows B-1 to B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 to B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows B-1 to B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 to B-8 and MH-1 to MH-4.

Conveyance Configuration Data

Table with 12 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 10.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 12 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 10.

NORMAL TERMINATION OF WINSTORM.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes REVISIONS section.

DESIGNED: DR DRAWN: BT CHECKED: DATE:

Professional Engineer seal for Douglas B. Roessler, P.E. 56739, State of Texas. Includes logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A HOUSTON, TEXAS 77057

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515 WINDSTORM DATA RUN A & B PROJECT NO. 14396

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/1/2023 4:19:37 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : Area C 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows C-1 to C-11.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows C-1 to C-11.

Cumulative Junction Discharge Computations.

Table with columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows C-1 to C-11.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span Rise, Length Slope, n_value. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 12.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows C-1 to C-11.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows C-1 to C-11.

Cumulative Junction Discharge Computations.

Table with columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows C-1 to C-11.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span Rise, Length Slope, n_value. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 12.

NORMAL TERMINATION OF WINSTORM.

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/25/2023 9:31:31 AM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : D.A. D 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows D-1 to D-3.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows D-1 to D-3.

Cumulative Junction Discharge Computations.

Table with columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows D-1 to D-3.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span Rise, Length Slope, n_value. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 3.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows D-1 to D-3.

Sag Inlets Computation Data.

Table with columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows D-1 to D-3.

Cumulative Junction Discharge Computations.

Table with columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows D-1 to D-3.

Conveyance Configuration Data.

Table with columns: Run# Node I.D., Flowline Elev., US DS, Shape #, Span Rise, Length Slope, n_value. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap Loss, Junc Loss. Rows 1 to 3.

NORMAL TERMINATION OF WINSTORM.

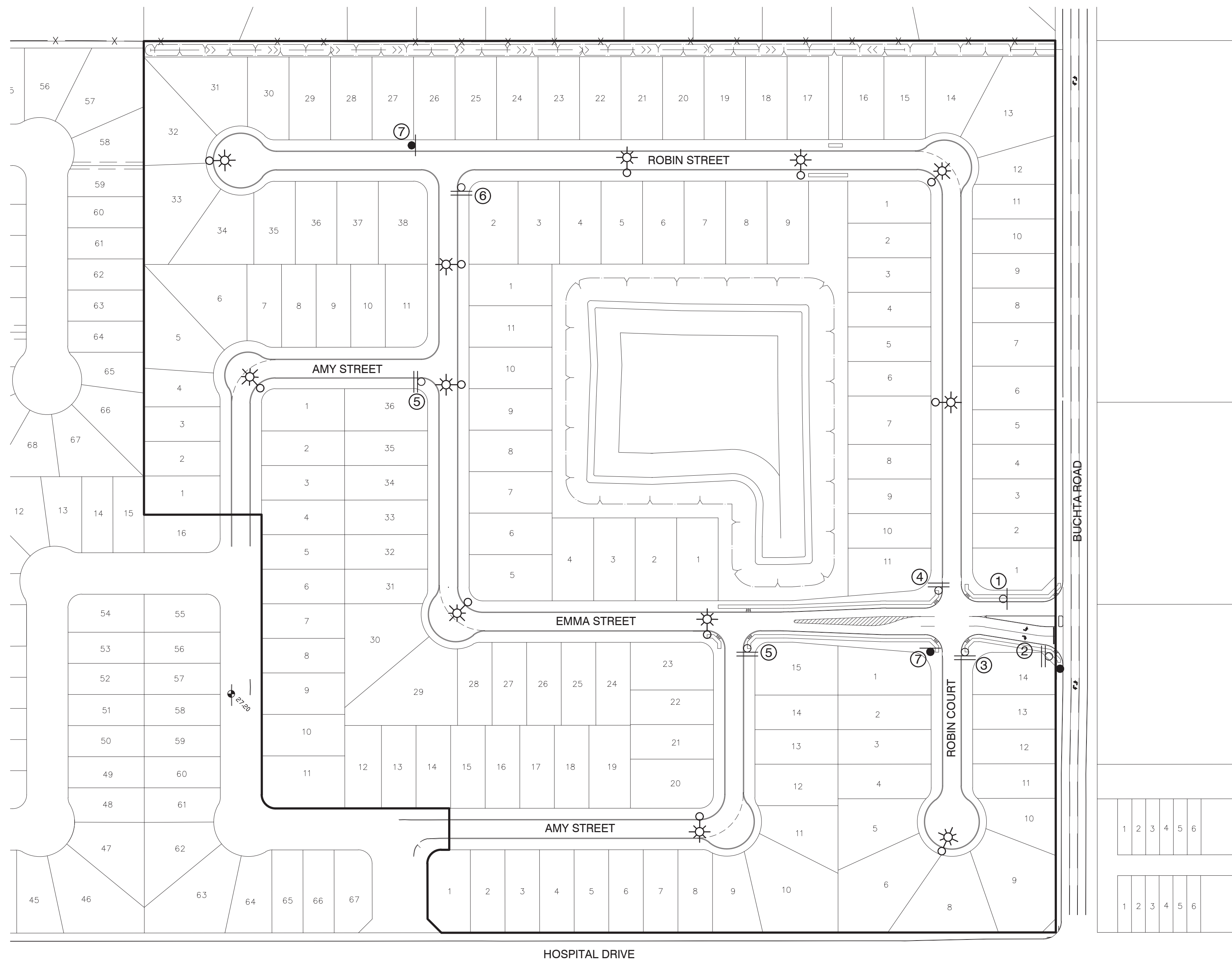
Table with columns: NO., DATE, DESCRIPTION, APPROVED, REVISIONS.

Professional Engineer seal for Douglas B. Roessler, State of Texas, License No. 56739. Includes logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLANNING: RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

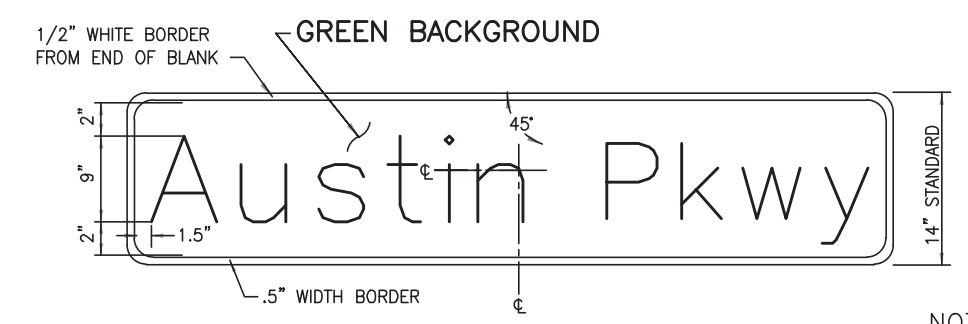
WINDSTORM DATA
RUN C & D
PROJECT NO. 14396



GENERAL CONSTRUCTION NOTES:

1. SECURELY ATTACH STREET NAME SIGN TO TRAFFIC SIGNAL SUPPORT WIRES WITH MULTI-LEVELING, WIND DAMPING BRACKETS.
2. SUPPORT WIRES SHOULD NOT BE PROHIBITED FROM INDEPENDENT MOVEMENT.
3. INSTALL ONE STREET NAME SIGN APPROXIMATE 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL SPAN.
4. THE FIRST LETTER OF EACH WORD SHALL BE UPPER CASE, SUBSEQUENT LETTERS SHALL BE LOWER CASE, ALL INDIVIDUAL LETTERS FOR EXAMPLE "T.M." SHALL BE UPPER CASE, STREET SUFFIXES & "NO OUTLET" SHALL BE UPPER CASE.
5. ALL SHEETING SHALL BE "TANDARD GRADE" OR APPROVED EQUAL.
6. USE ANODIZED ALUMINUM ONLY.
7. STREET SIGN FONTS SHALL BE HELVETICA BOLD, MEDIUM STYLE.
8. MINIMUM SIGN THICKNESS: 1/8" SIGNS = .080", 14" SIGNS = .1875"
9. ATTACH SIGNAGE TO 2" SIGN POST WITH 1/2" BLADE MOUNT BRACKET.

SL-ST-68



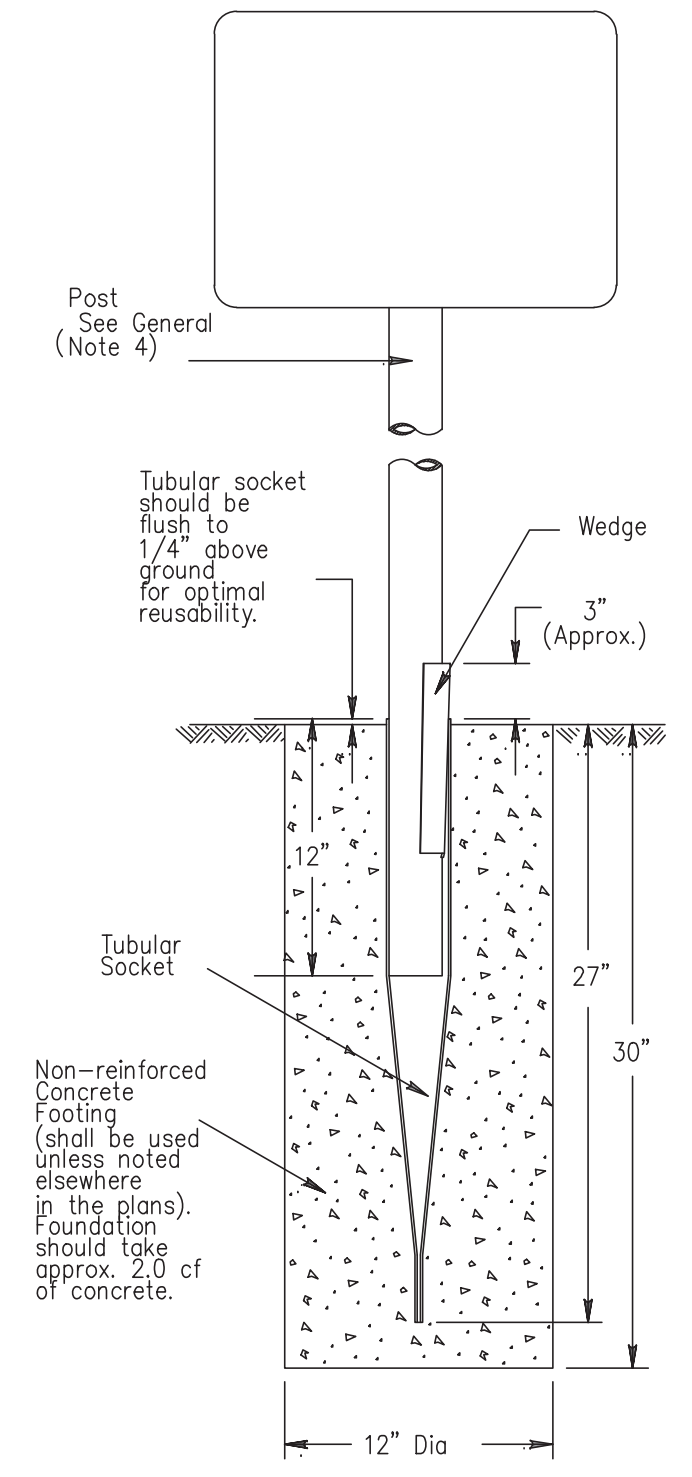
DETAIL OF SIGN FOR MAST ARM TRAFFIC SIGNAL POLES

NOTES:

1. HELVETICA BOLD, MEDIUM STYLE, WITH 9" UPPER CASE LETTERS AND 6" LOWER CASE LETTERS.
2. REFER TO C.O.S.L. DESIGN STANDARDS FOR MORE INFO.

SL-ST-67

Wedge Anchor System



SM RD SGN ASSM TY TWT(X)WA(P)
SL-ST-62

- ☉ STREET SIGNS
 - ① 30 MPH SPEED LIMIT
 - ② STOP - FACING EMMA STREET BUCHTA STREET / EMMA LOOP
 - ③ STOP - FACING ROBIN COURT ROBIN COURT / EMMA STREET
 - ④ STOP - FACING ROBIN STREET ROBIN STREET / EMMA STREET
 - ⑤ STOP - FACING AMY STREET AMY STREET/EMMA STREET
 - ⑥ STOP - FACING EMMA STREET EMMA STREET / ROBIN STREET
 - ⑦ NO OUTLET (2 LOCATION)
- ☉ STREET AREA LIGHTING (13 LOCATIONS)
 - ☐ STREET SIGNS (6 LOCATIONS)
 - ☐ STREET SIGNS (1 LOCATION) 30 MPH
 - NO OUTLET (2 LOCATIONS)

LIGHTING PLAN PROVIDED IS SHOWN AS RECOMMENDED. FINAL LOCATIONS AND QUANTITIES ARE DETERMINED BY TEXAS NEW MEXICO POWER (TNMP).

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
DOR 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

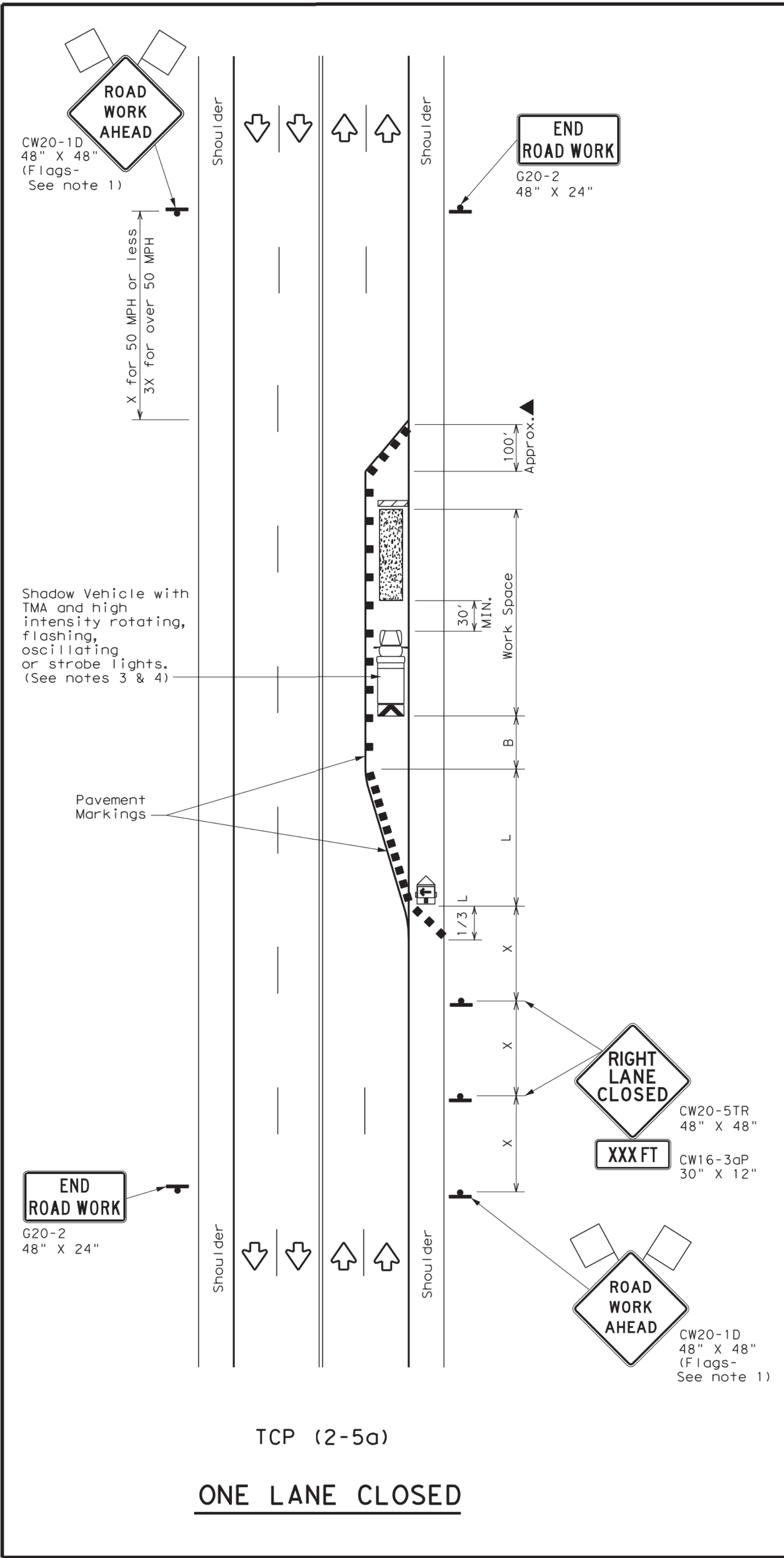
PLAN: 1" = 100'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

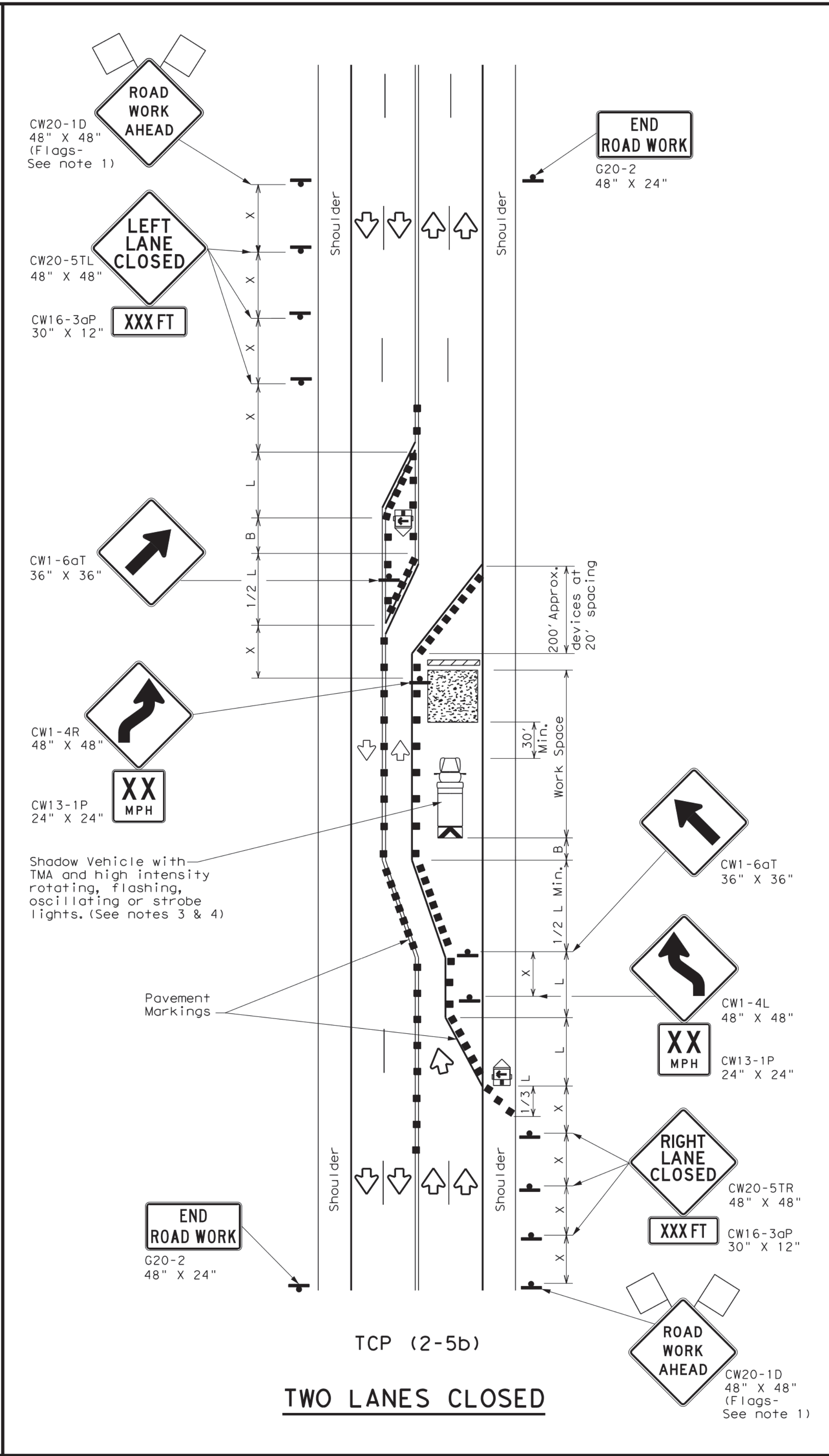
PAVING MARKING,
STREET SIGN AND
ROADWAY LIGHTING LAYOUT
PROJECT NO. 14396

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

DATE: FILE:



TCP (2-5a)
ONE LANE CLOSED



TCP (2-5b)
TWO LANES CLOSED

LEGEND			
	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "X" Distance	Suggested Longitudinal Buffer Space "B"
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent		
30	L = WS ² / 60	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* Conventional Roads Only
 ** Taper lengths have been rounded off.
 L=Length of Taper (FT) W=Width of Offset (FT) S=Posted Speed (MPH)

TYPICAL USAGE				
MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY

- GENERAL NOTES**
- Flags attached to signs where shown, are REQUIRED.
 - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
 - A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Additional Shadow Vehicles with TMAs may be positioned in each closed lane, on the shoulder or off the paved surface, next to those shown in order to protect a wider work space.
 - The downstream taper is optional. When used, it should be 100 feet approximately per lane, with channelizing devices spaced at 20 feet.
- TCP (2-5a)**
- If this TCP is used for a left lane closure, CW20-5TL "LEFT LANE CLOSED" signs shall be used and channelizing devices shall be placed on the centerline to protect the work space from opposing traffic, with the arrow board placed in the closed lane near the end of the merging taper.
- TCP (2-5b)**
- Conflicting pavement markings shall be removed for long-term projects.

Texas Department of Transportation
 Traffic Operations Division Standard

**TRAFFIC CONTROL PLAN
 LONG TERM LANE CLOSURES
 MULTILANE CONVENTIONAL RDS.**

TCP (2-5) - 18

FILE: tcp2-5-18.dgn	DN: December 1985	CK: CONT	DR: SECT	CK: JOB	CK: HIGHWAY
REVISIONS					
8-95 2-12	1-97 3-03	4-98 2-18			
DIST			COUNTY	SHEET NO.	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 56739
 DOUGLAS B. ROESLER
 LICENSED PROFESSIONAL ENGINEER

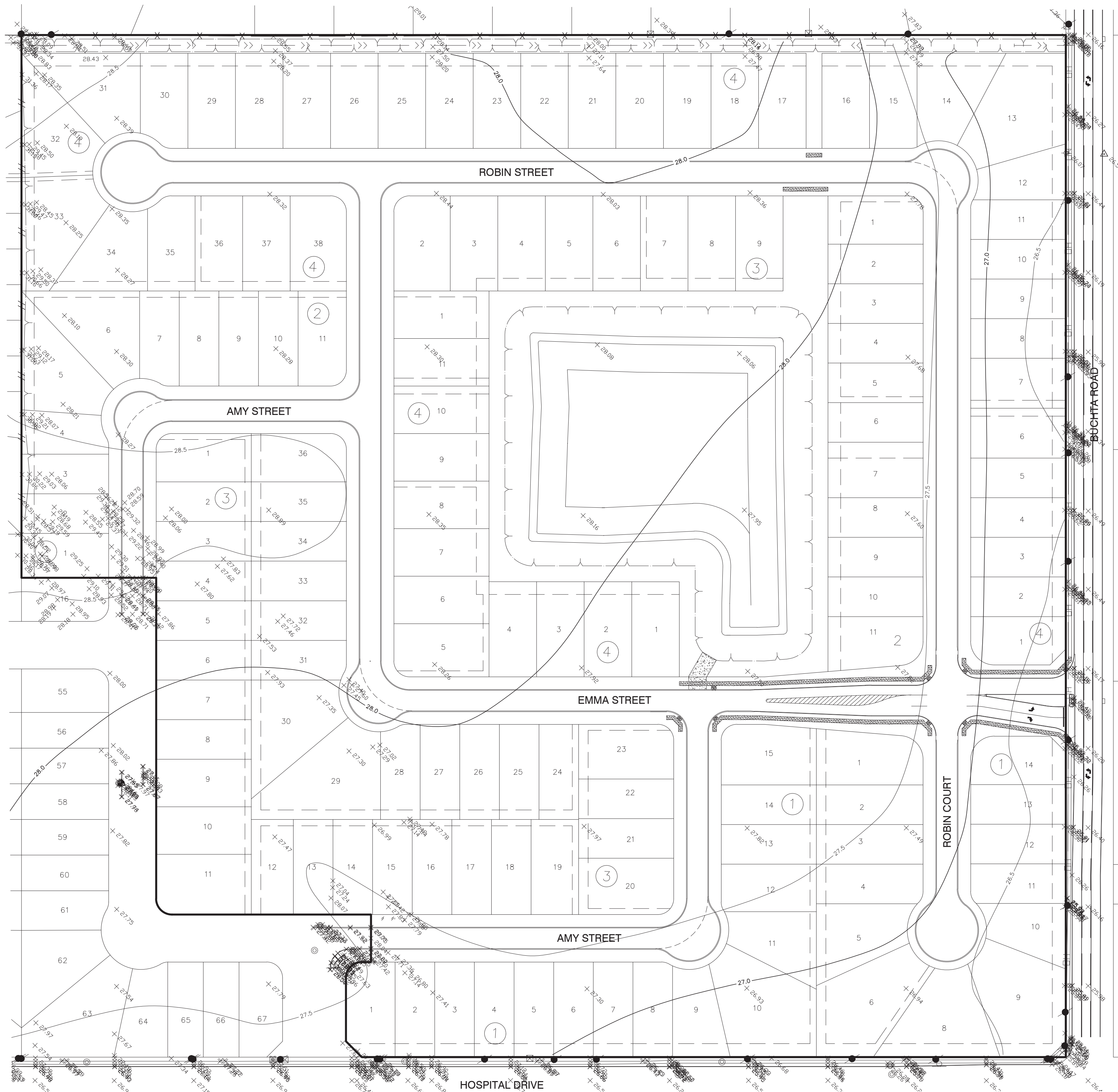
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
**RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057**

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

**RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515**

TRAFFIC CONTROL PLAN
 TCP (1-1)-18
 PROJECT NO. 14396



TREE LEGEND

- HERITAGE TREE (PECAN & LIVE OAK)
- SIGNIFICANT TREE (OAK & ELM)
- PROP CREPE MYRTLE
- PROP OAK TREE

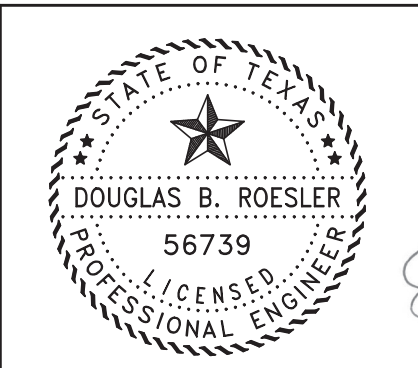
SITE TREE SUMMARY

TOTAL NUMBER OF HERITAGE TREES = 0
 TOTAL CALIPER OF HERITAGE TREES = 0 IN
 HERITAGE TREES TO BE REMOVED* = 0
 CALIPER OF REMOVED HERITAGE TREES = 0 IN
 HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 0
 CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 0 IN
 REQUIRED REPLACEMENT CALIPER = N/A
 REQUIRED REPLACEMENT TREES (3"-CALIPER OAK TREES) = 0 TREES
 PER SECTION 23-60.H.7 OF THE ANGLETON LDC, THE HOMEOWNER WILL PROVIDE TWO TREES PER LOT IN ADDITION TO THE REQUIRED REPLACEMENT CALIPER.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



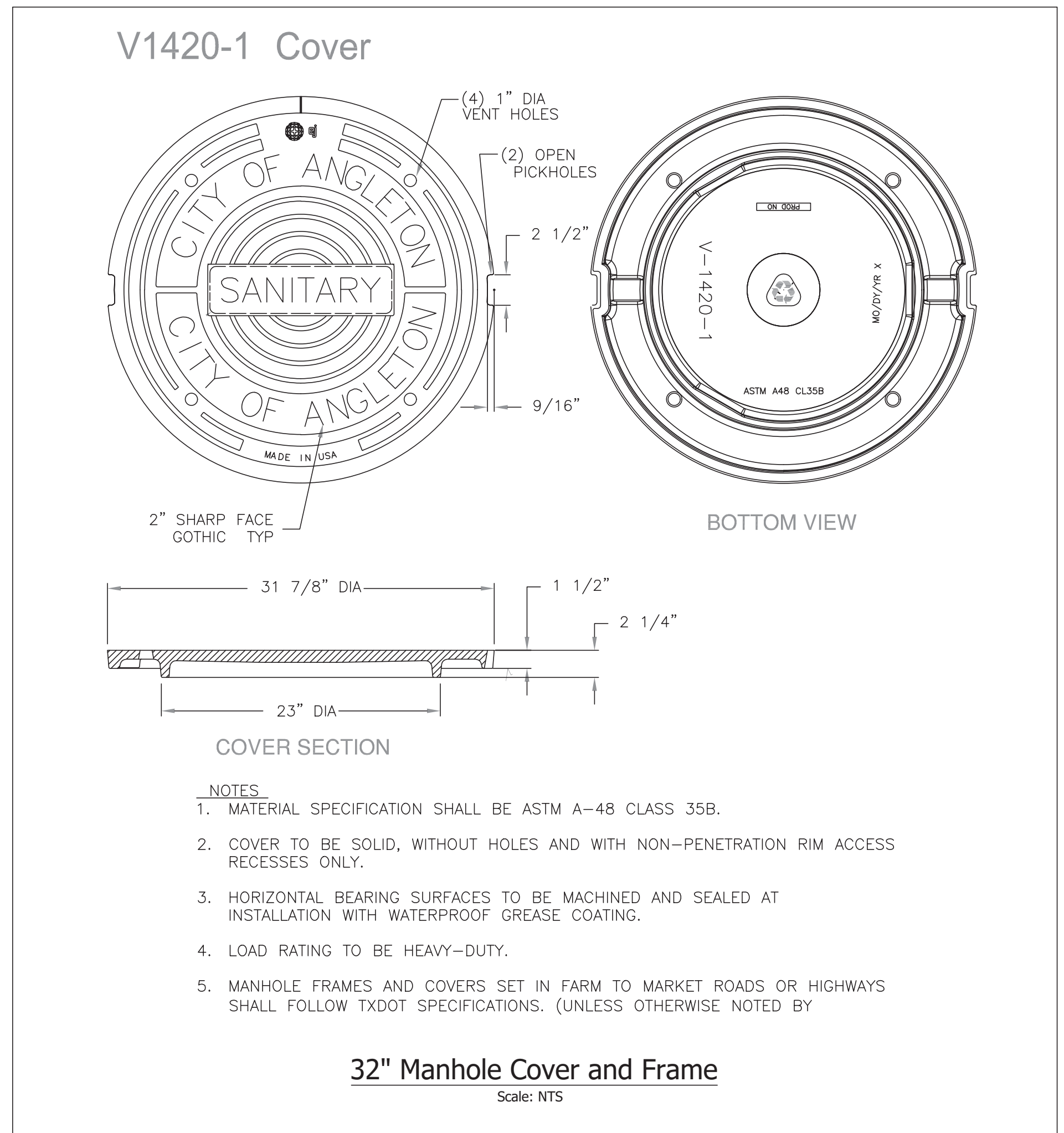
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

HERITAGE TREE PRESERVATION PLAN
 PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

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 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

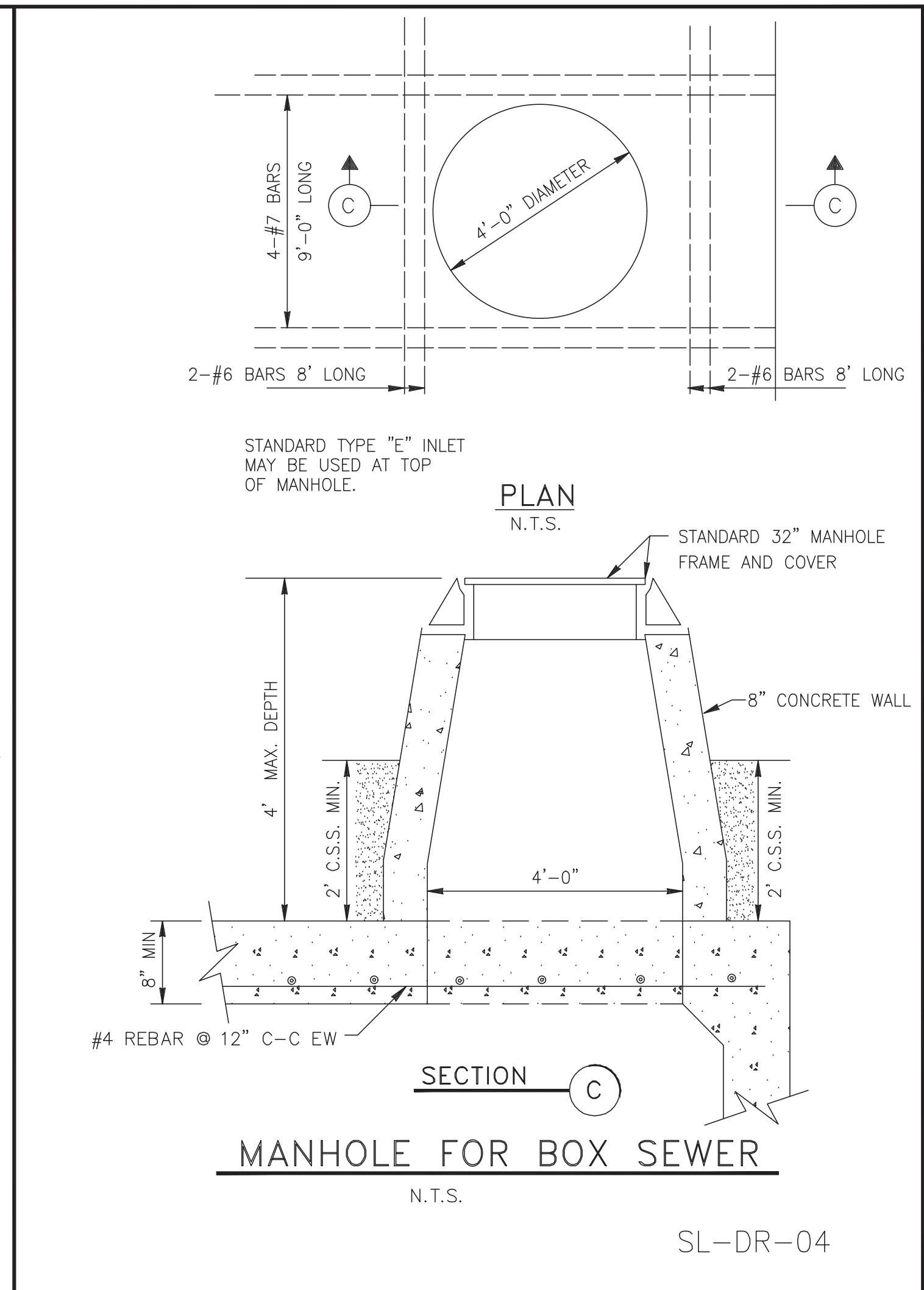
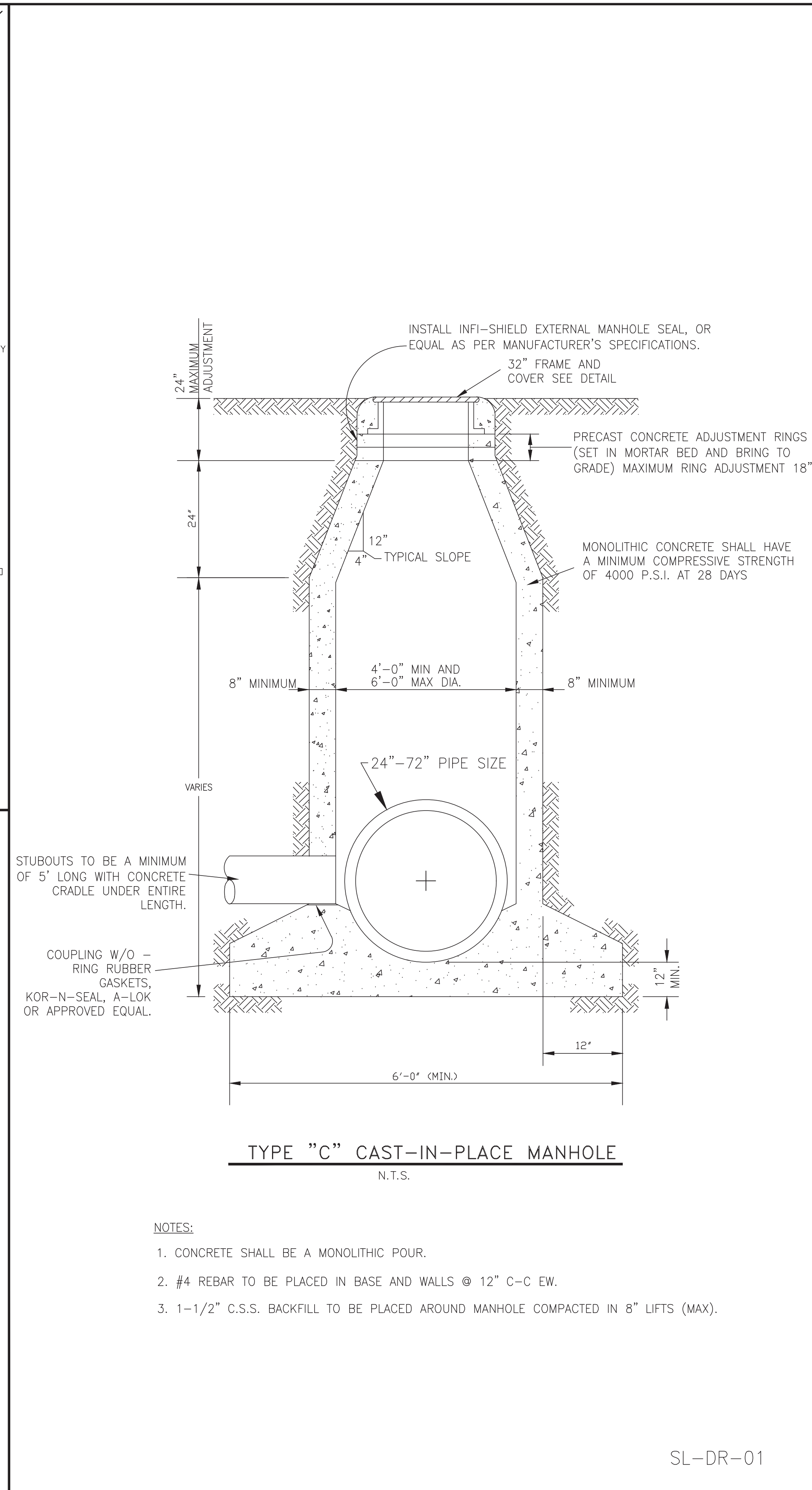
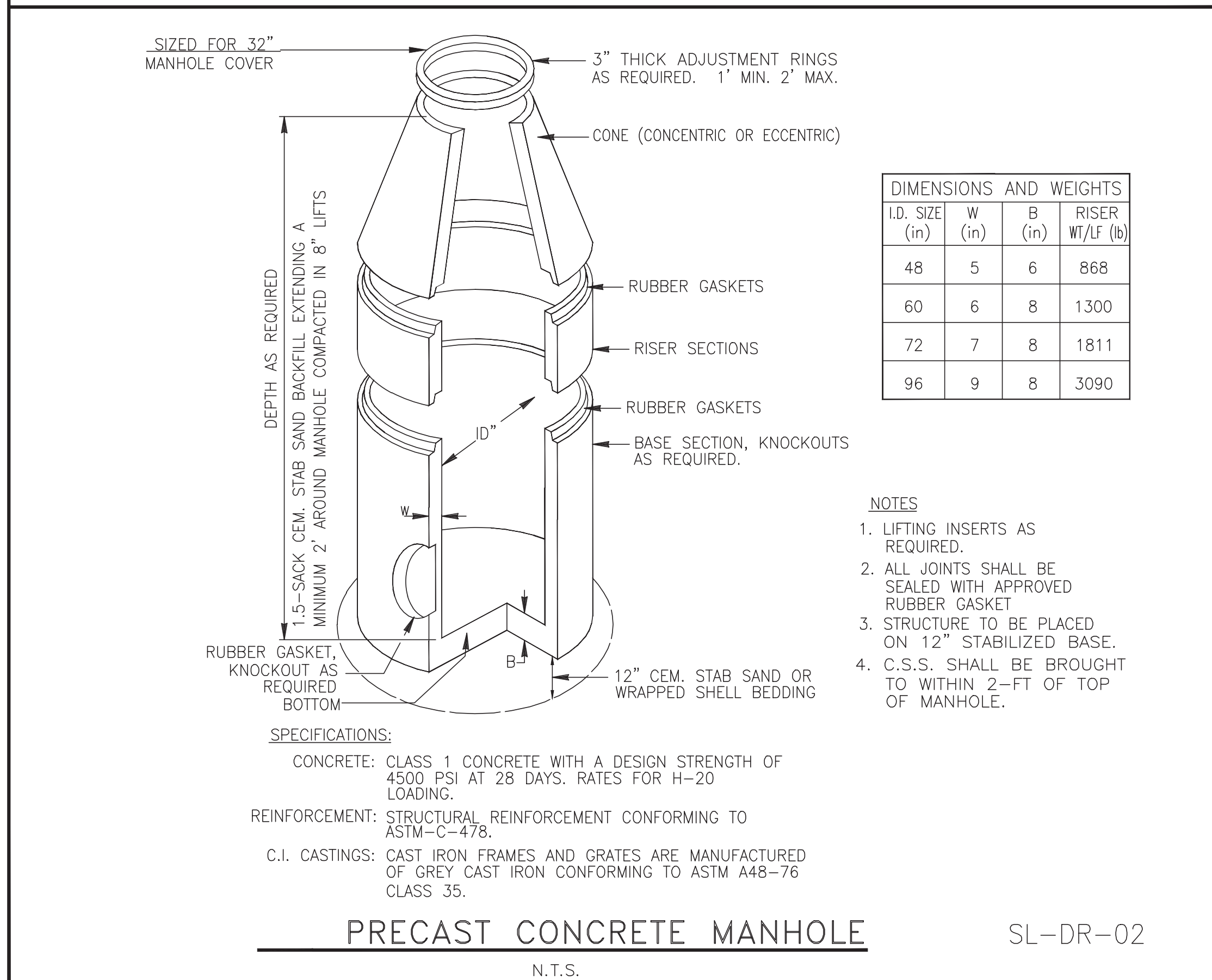
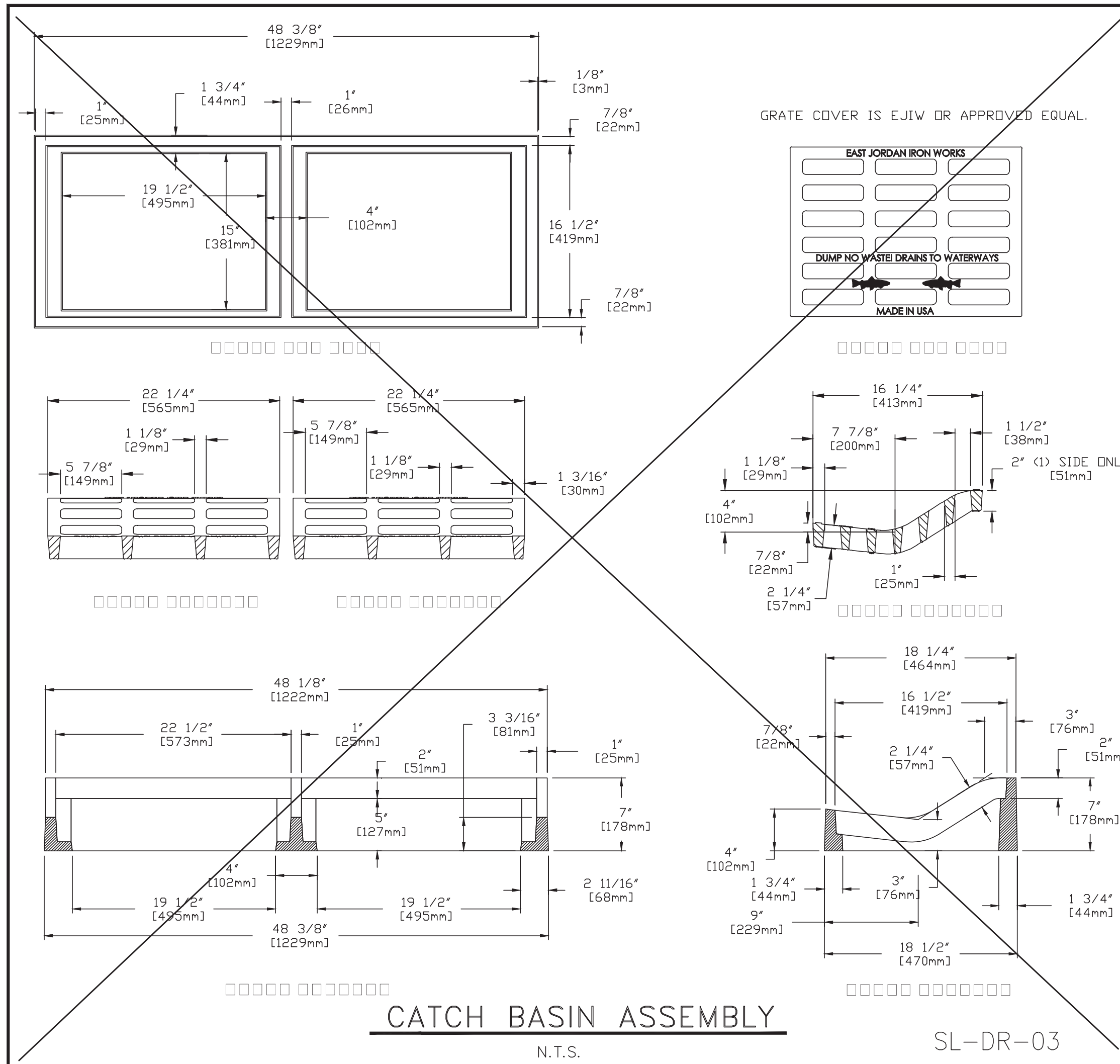
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DR 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

MISCELLANEOUS DETAILS
 PROJECT NO. 14396



GENERAL CONSTRUCTION NOTES:

- ALL CAST CONCRETE BASES AND WALLS SHALL HAVE # 4 REBAR @ 12" C-C EW
- CONCRETE SHALL BE 3000 PSI MIN.
- USE C.S.S. BEDDING AS PER DETAILS. 1 1/2" SK., COMPACTED 8" LIFTS (MAX.) TO 95% STANDARD.

REFER TO:

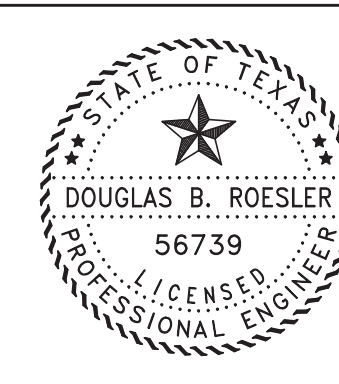
- GENERAL NOTES, C.S.S. & CONCRETE NOTES.
- STORM SEWER NOTES

DESIGN ENGINEER:	DATE:
CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT	
CONSTRUCTION PLANS FOR:	
STORM SEWER MANHOLE CONSTRUCTION DETAILS	
JOB No.:	SL-03
DATE:	
DRAWN BY:	
CHECKED BY:	
SCALE:	SHEET OF

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

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4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825



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03-03-2023

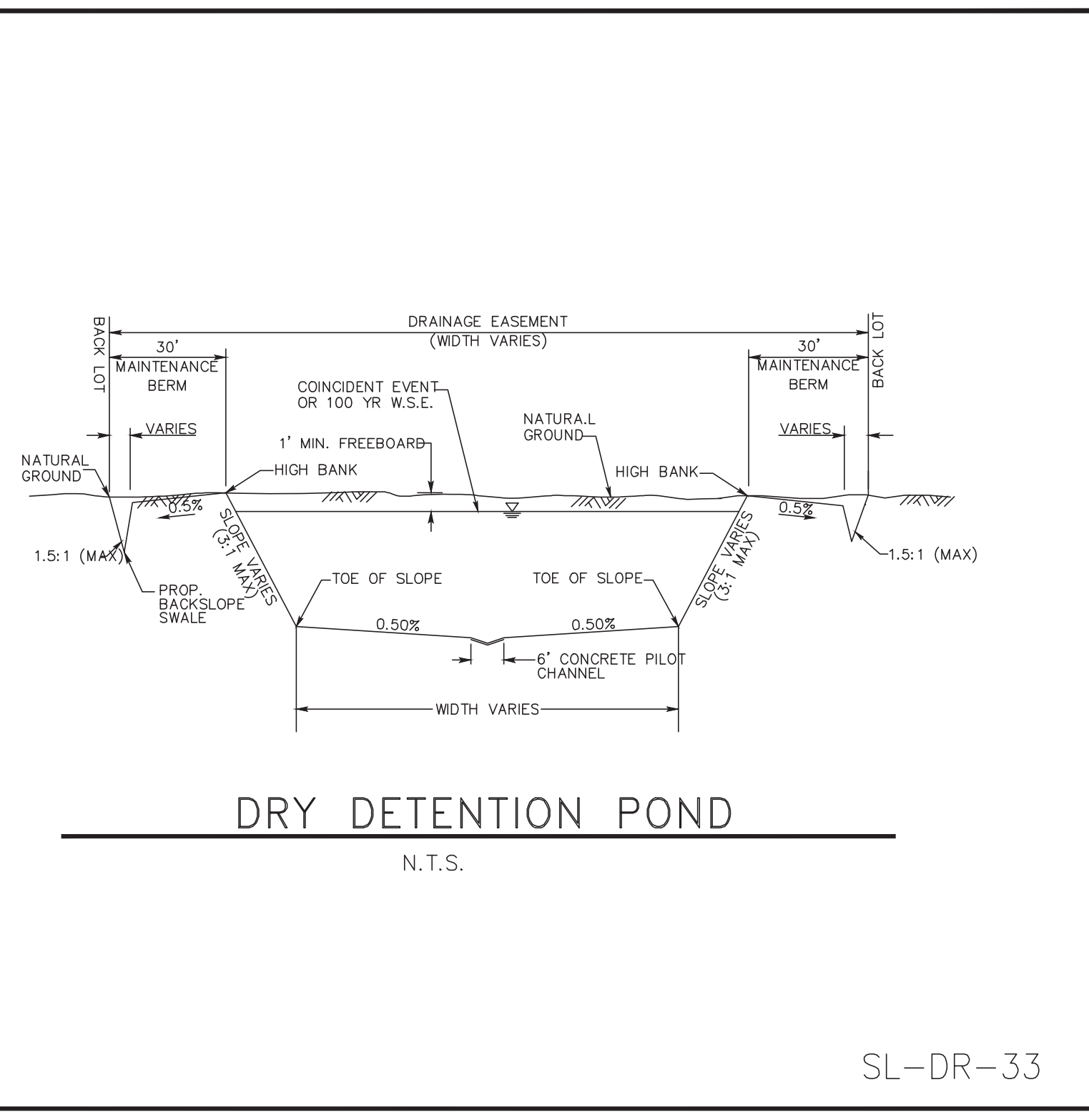
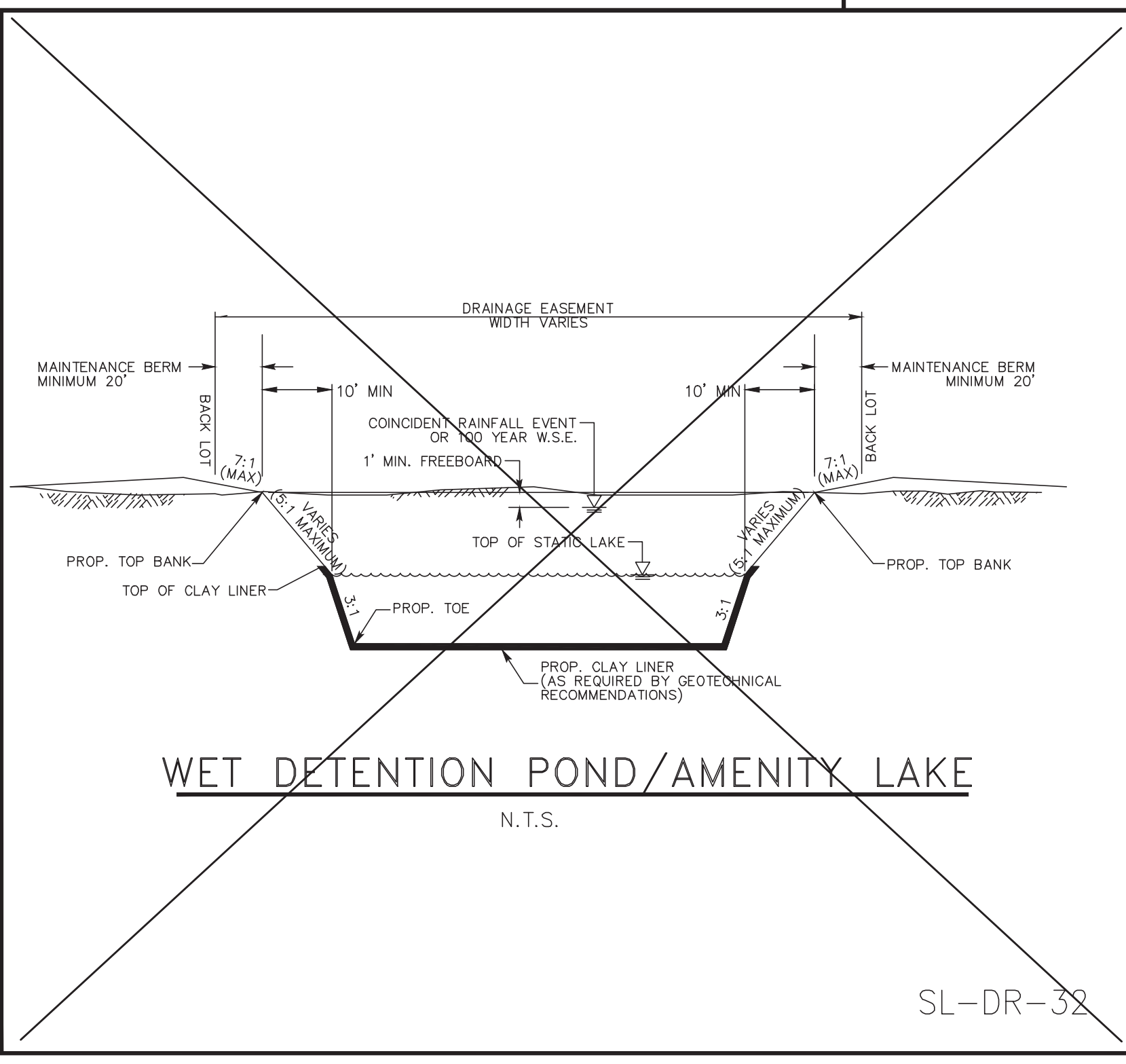
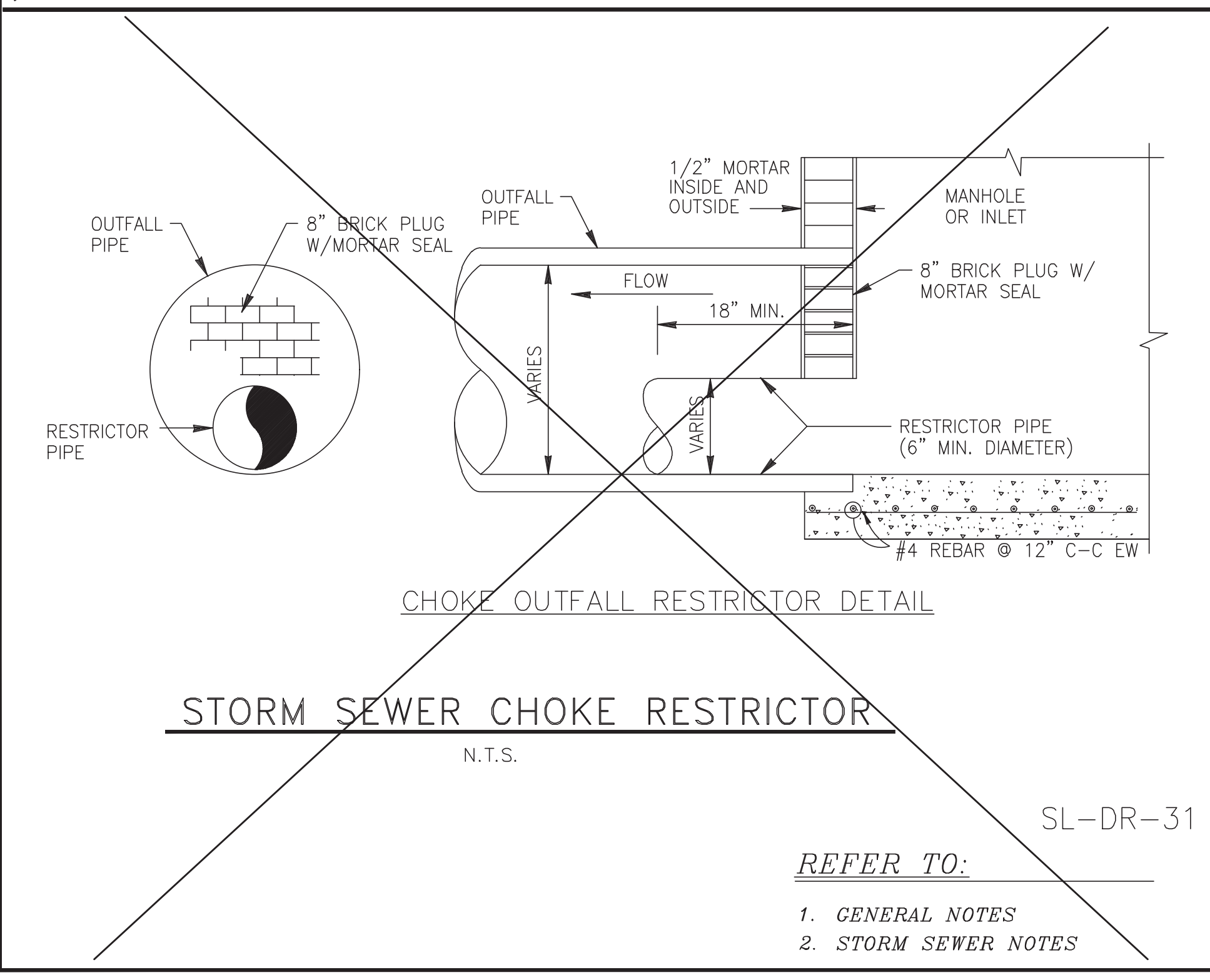
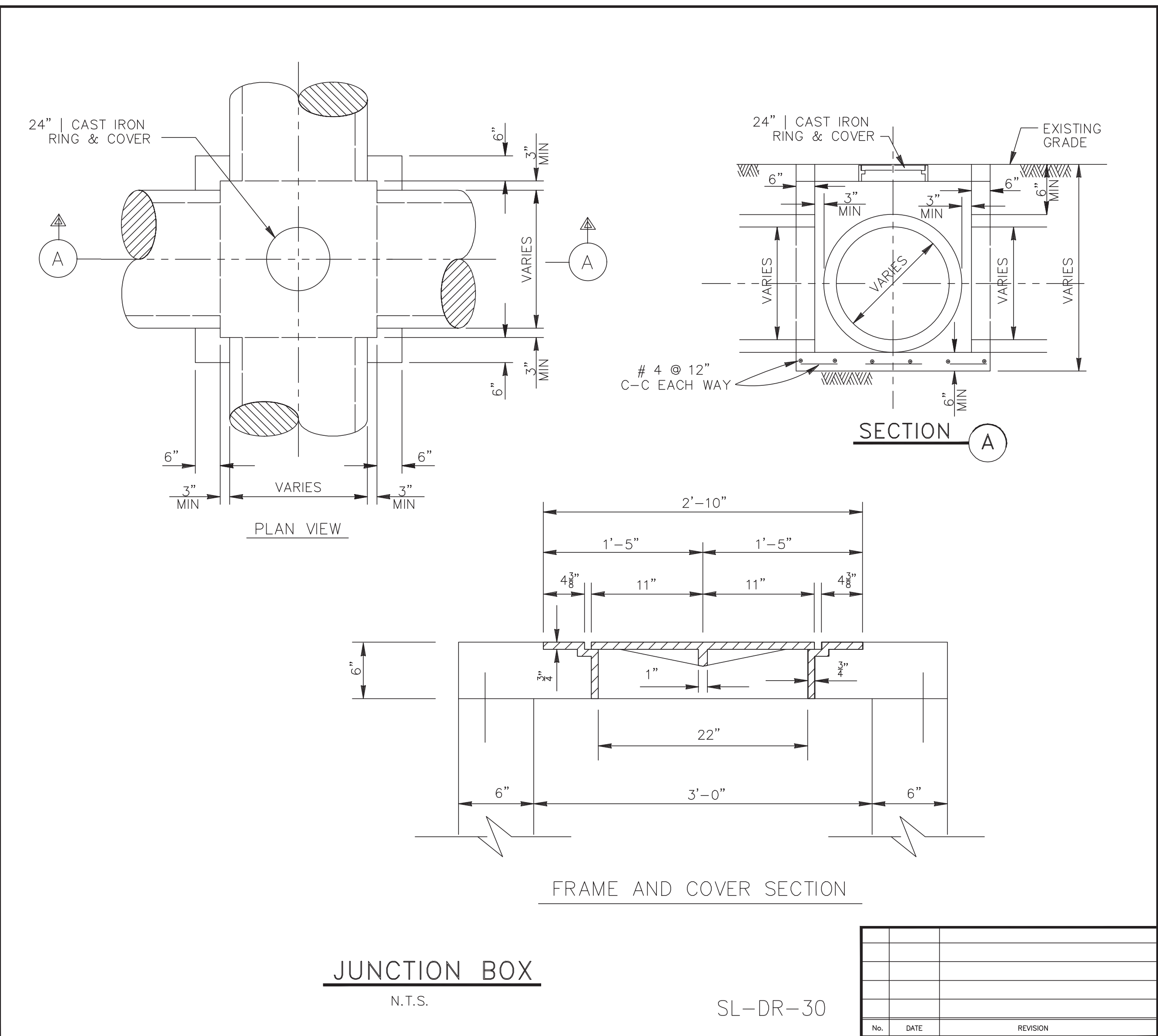
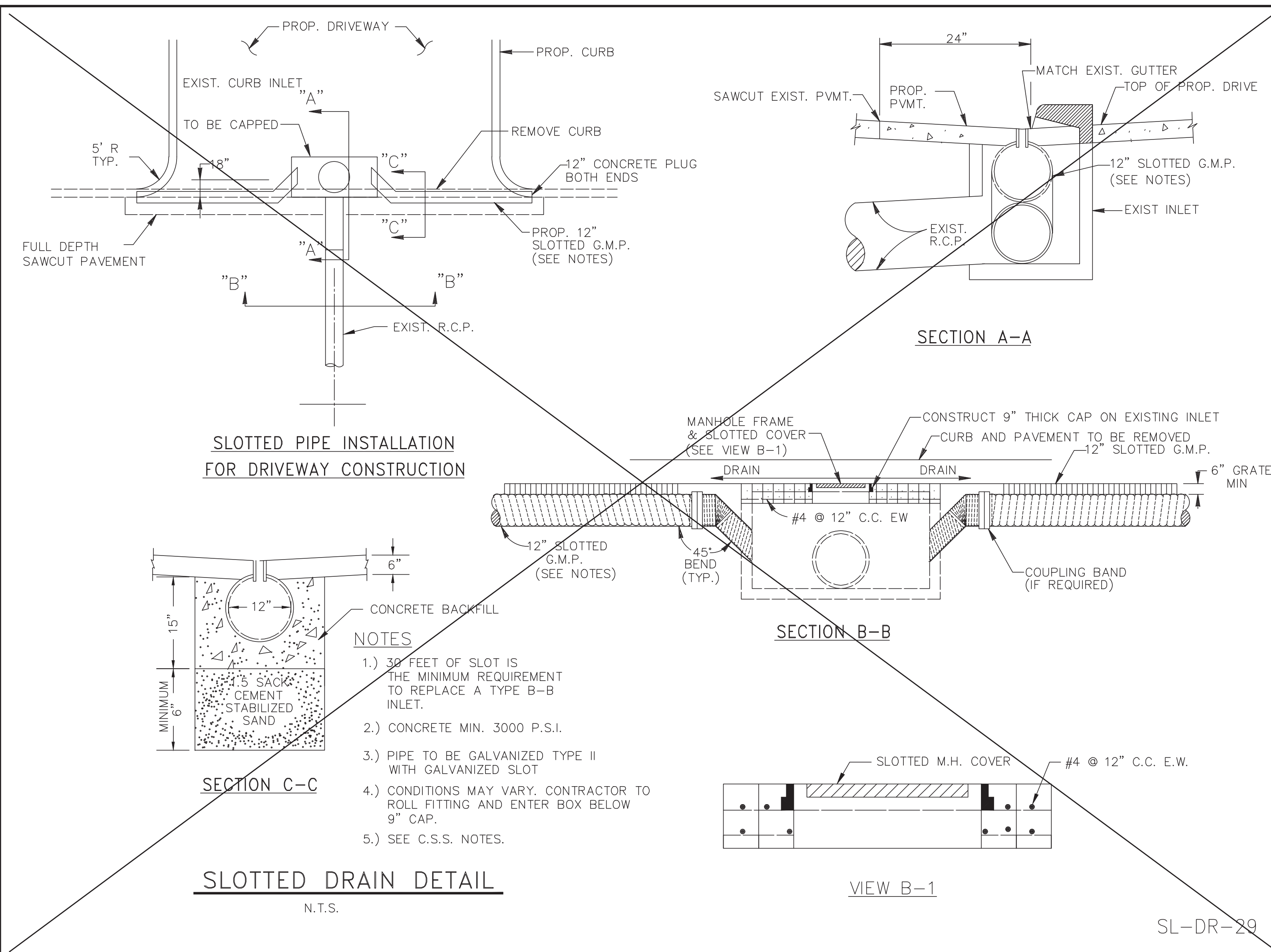
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER MANHOLE
CONSTRUCTION DETAILS
SL-03

PROJECT NO. 14396



NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

STORM SEWER CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-10

SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

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ENGINEERS • PLANNERS • SURVEYORS
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ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825

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DOUGLAS B. ROESSLER
56739
LICENSED PROFESSIONAL ENGINEER

03-03-2023

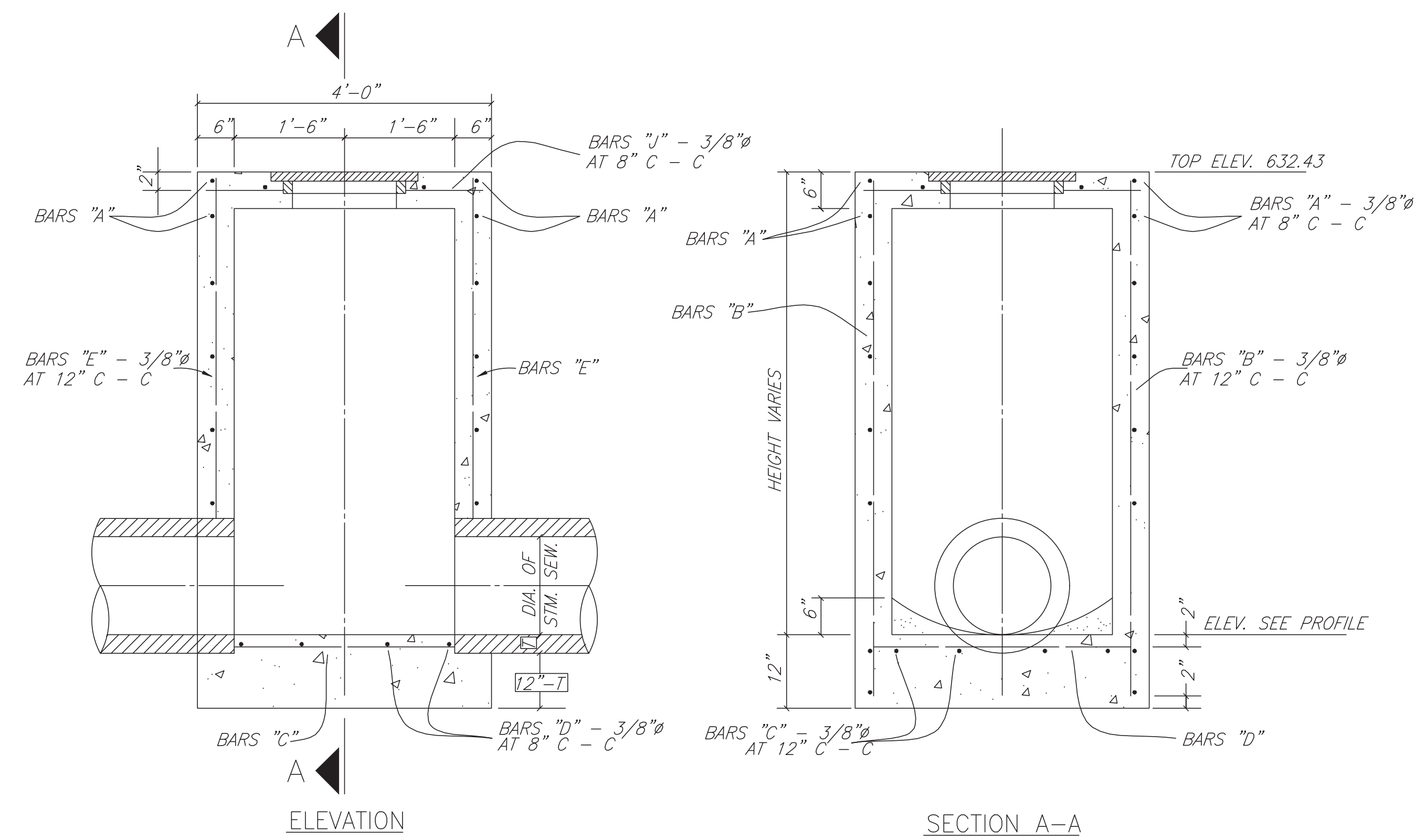
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

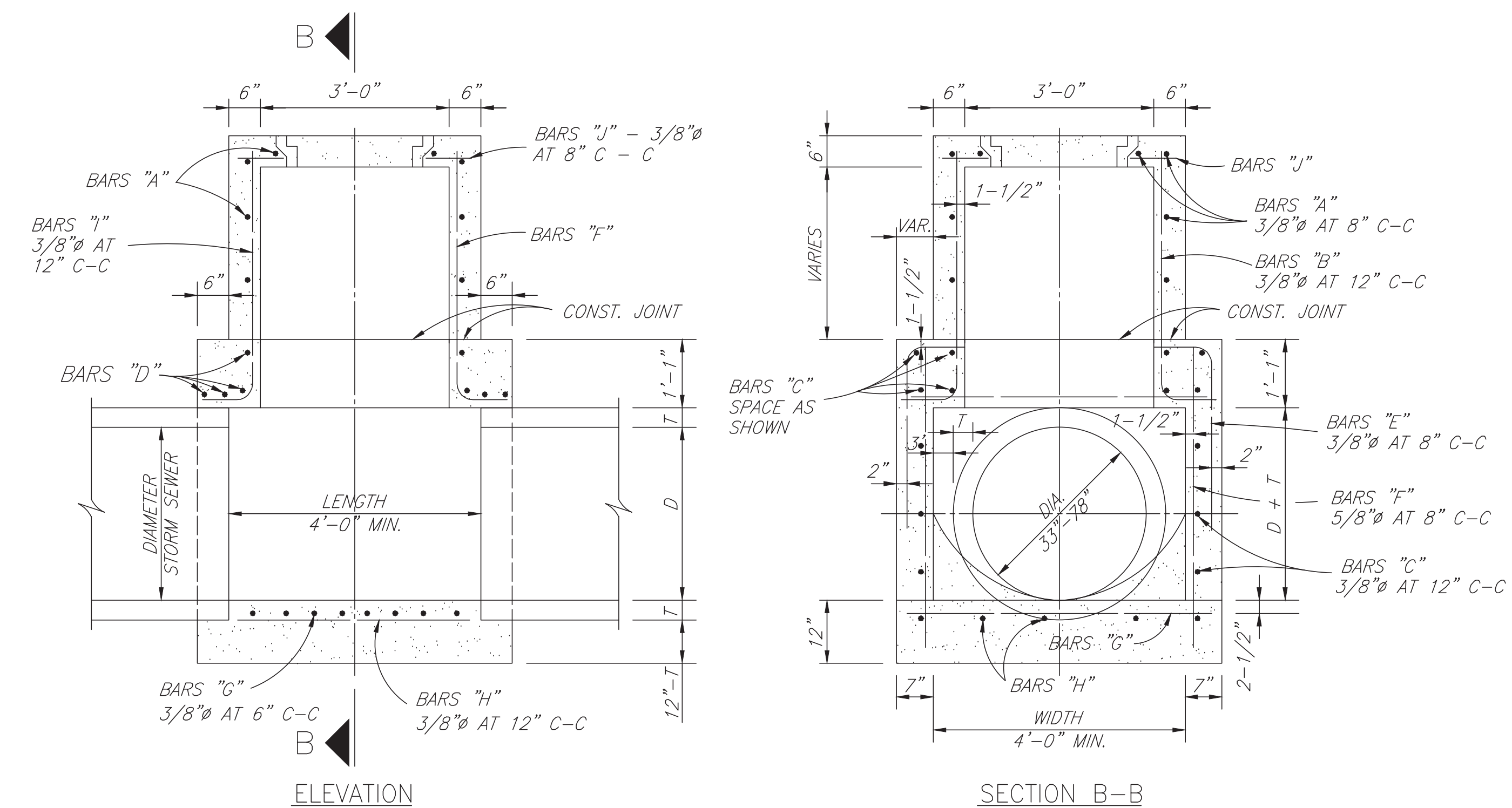
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER CONSTRUCTION DETAILS
SL-10


PROJECT NO. 14396



STORM SEWER TYPE A MANHOLE
MAX. PIPE SIZE 30" - N.T.S.

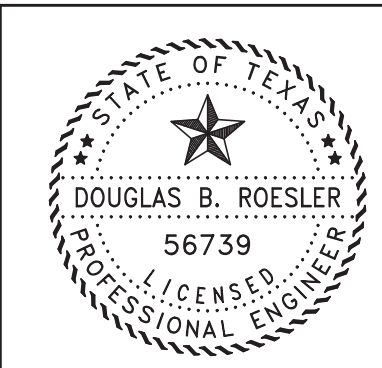


TYPE B STORM SEWER MANHOLE
MAX. PIPE SIZE 78" - N.T.S.

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
JUNCTION BOX MANHOLES		
JOB No.:	DATE:	SL-11
DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	SHEET	OF

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825



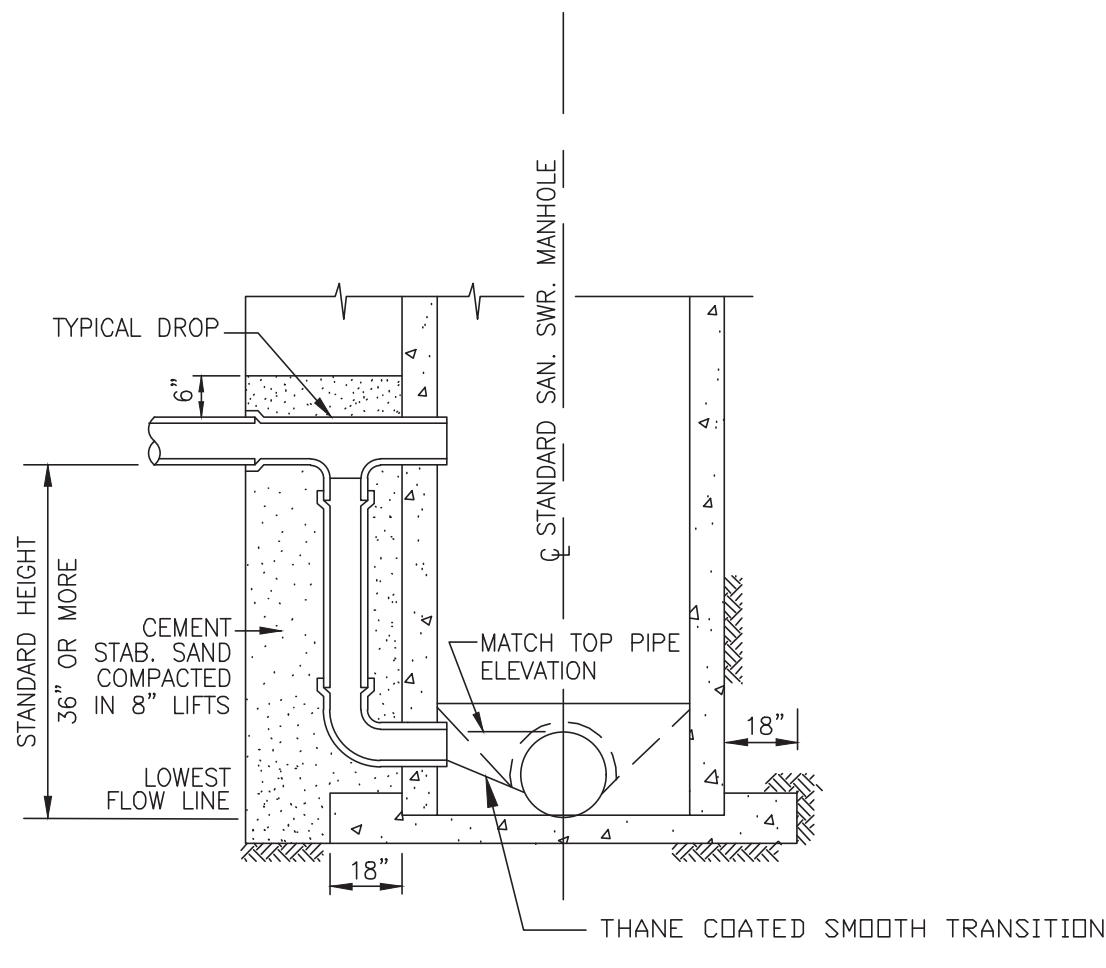
The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

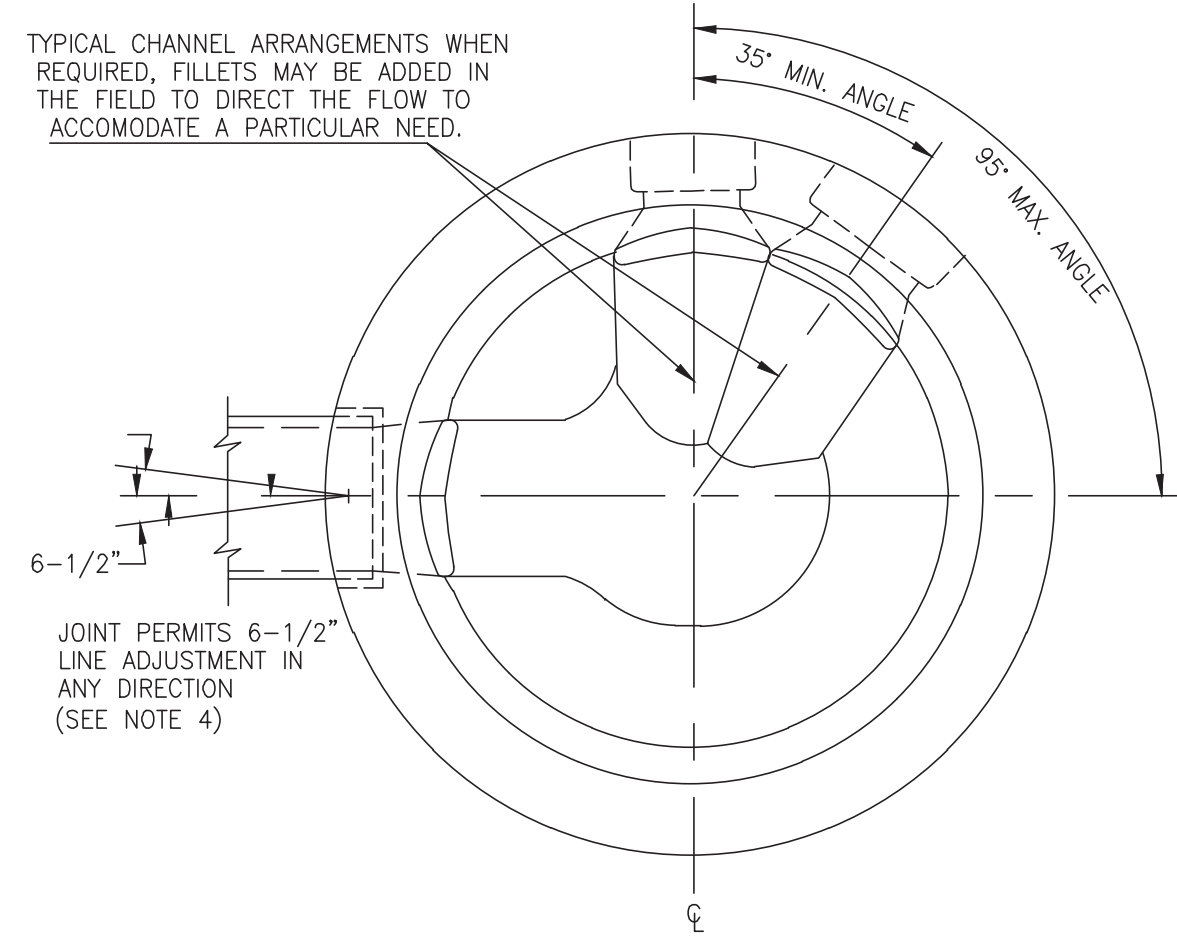
PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

JUNCTION BOX MANHOLES
SL-11
PROJECT NO. 14396



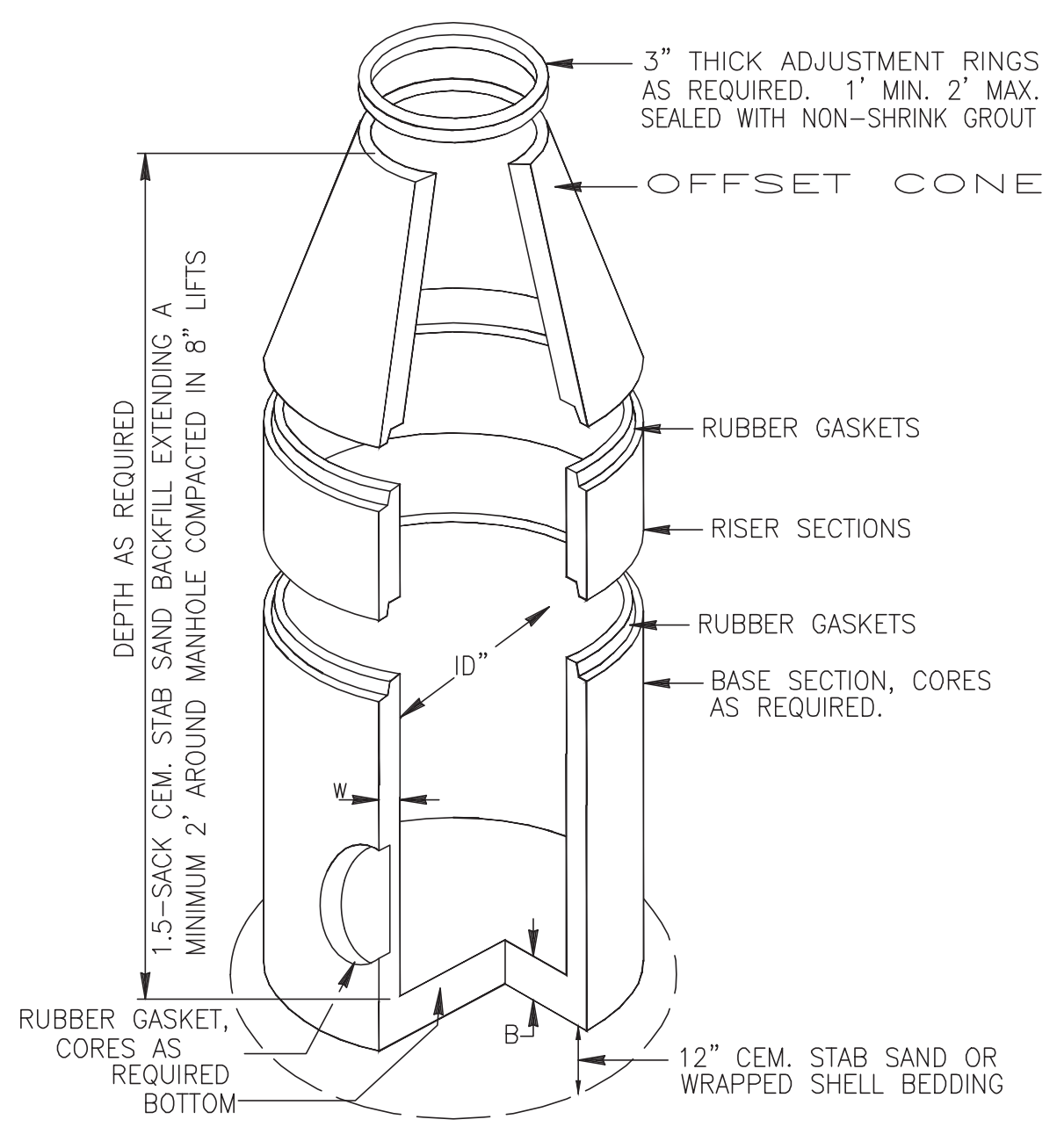
SL-SS-05



PIPING CONNECTIONS DETAIL

SL-SS-05

- NOTE:
1. INFLUENT AND EXFLUENT PIPING CONNECTIONS TO MANHOLE SHALL BE ALIGNED TO PREVENT REVERSE FLOW.
 2. INFLUENT AND EXFLUENT CONNECTIONS ARE LIMITED TO A MAXIMUM 90° INCLUDED ANGLE OF CONVERGENCE.
 3. MINIMUM 35° AND MAXIMUM 90° INCLUDED ANGLES MUST BE PROVIDED BETWEEN MULTIPLE INFLUENT CONNECTIONS.
 4. ANGLE OF DEFLECTION AT PIPING JOINTS AS PER MANUFACTURE'S RECOMMENDATIONS.



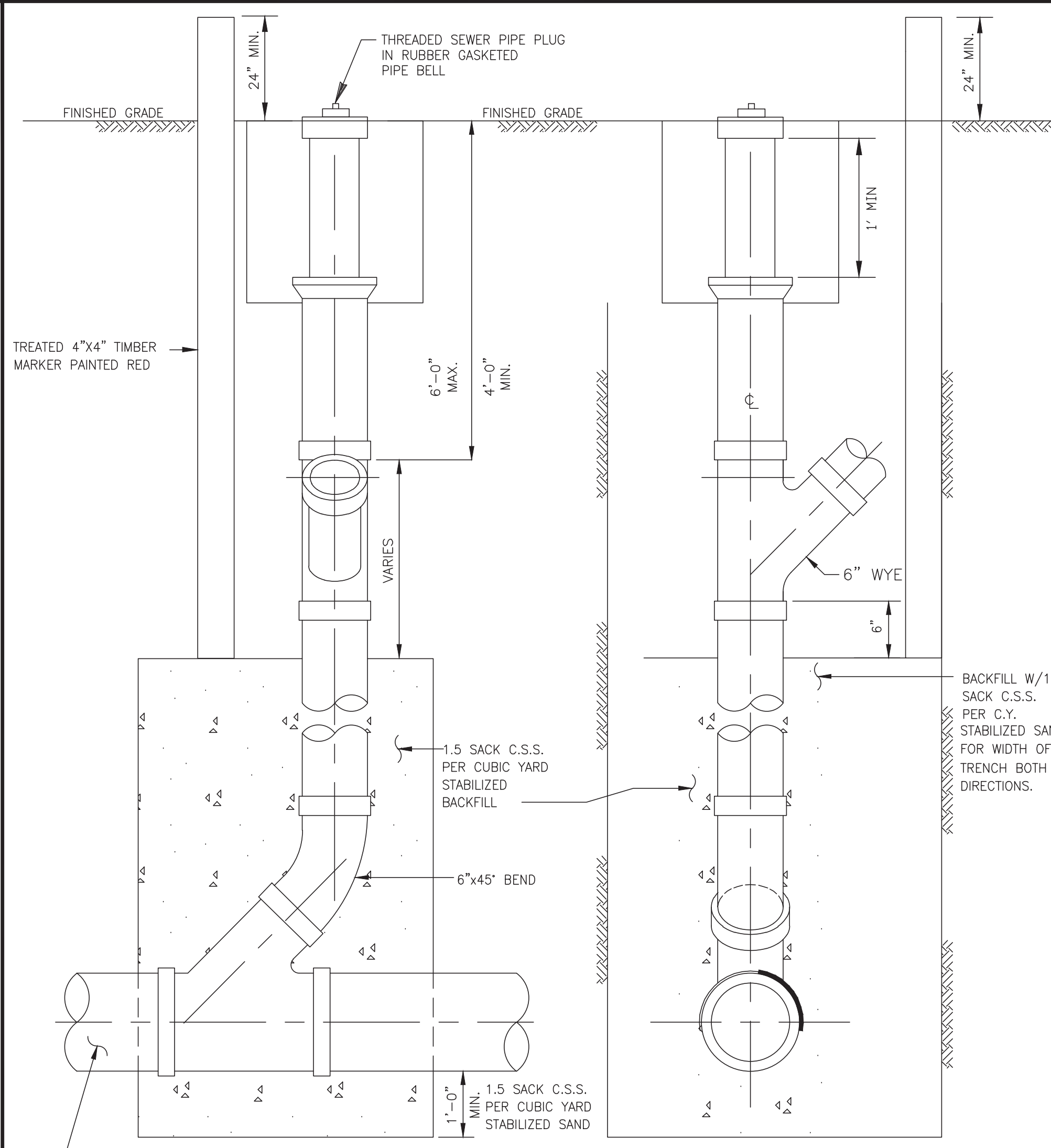
- SPECIFICATIONS:
- CONCRETE: CLASS 1 CONCRETE WITH A DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. RATES FOR H-20 LOADING.
- REINFORCEMENT: STRUCTURAL REINFORCEMENT CONFORMING TO ASTM-C-478.
- C.I. CASTINGS: CAST IRON FRAMES AND LIDS ARE MANUFACTURED OF GREY CAST IRON CONFORMING TO ASTM A48-76 CLASS 35.

- NOTES
1. LIFTING INSERTS AS REQUIRED.
 2. ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET
 3. STRUCTURE TO BE PLACED ON 12" STABILIZED BASE.
 4. C.S.S. SHALL BE BROUGHT TO WITHIN 2'-FT OF TOP OF MANHOLE.
 5. PRE-CAST MANHOLE SHALL BE IN COMPLIANCE APPROVED PRODUCT LIST.
 6. THANE COAT SHALL BE IN COMPLIANCE WITH APPROVED PRODUCT LIST.
 7. INVERTS SHALL COMPLY WITH C.O.S.L., DESIGN MANUAL SPECIFICATIONS.
 8. INFLOW PROTECTORS REQUIRED ON ALL SANITARY MANHOLES.
 9. REFER TO SANITARY MANHOLE LIDS, C.S.S. NOTES, MODIFIED BEDDING DETAILS AND NOTES.

PRECAST SANITARY MANHOLE

N.T.S.

SL-SS-03



TRENCH SIDE VIEW

TRENCH END VIEW

N.T.S.

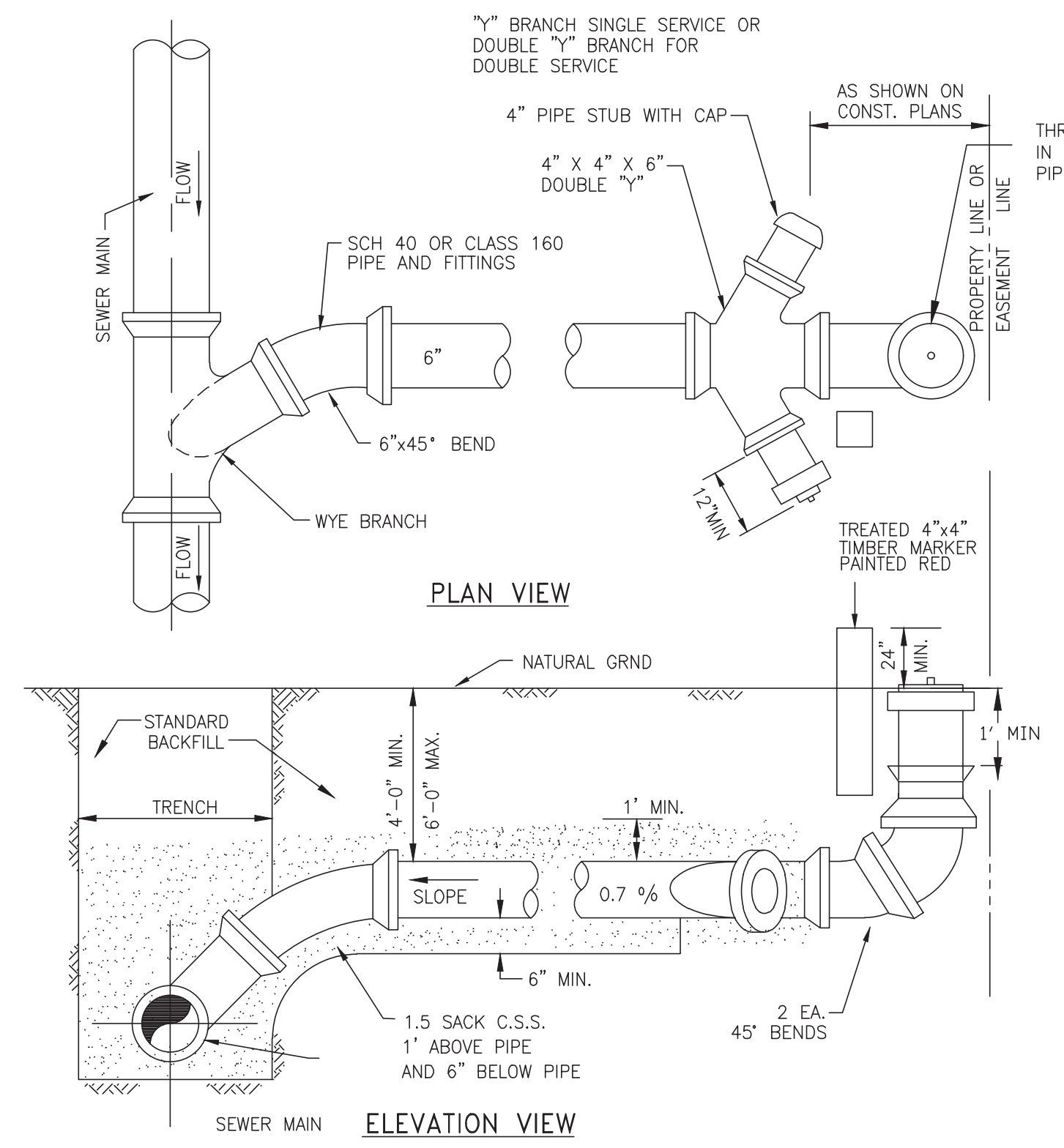
SL-SS-04

- NOTES:
- A.) NO STACKS ON MAINS OVER 16' DEEP OR IN WET SAND CONDITIONS.
 - B.) ALL STACK CONNECTIONS SHALL BE IN-LINE FITTINGS.

NOTES:

1. CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
2. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
3. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF FOUR FOOT FROM BACK OF CURB ON CURB AND GUTTER ROADWAYS AND THREE FEET FROM EDGE OF TRAVELLED ROADWAY ON THOSE THOROUGHFARES HAVING NO CURBING, MEASURED FROM OUTSIDE DIAMETER OF MANHOLE. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE SPECIFICALLY AUTHORIZED BY CITY ENGINEER AND SO DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS.
4. ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF SUGAR LAND EMBLEM AND THE WORDS "SUGAR LAND" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS SHEETS. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS.
5. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER FINAL GRADING. ADJUSTMENTS TO MANHOLE RIM ELEVATIONS SHALL BE ACCOMPLISHED BY THE USE OF THROAT RINGS ONLY (MAX. OF 24 INCHES PERMITTED). THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM.
6. DROP CONNECTIONS ARE REQUIRED WHEN INVERT ELEVATION OF SEWER LINE TO BE CONNECTED EXCEEDS 36 INCHES DISTANCE ABOVE INVERT ELEVATION OF MANHOLE BASE. ALL DROP CONNECTIONS SHALL BE CONSTRUCTED OF SAME MATERIALS AS SEWER AND SHALL BE CONSTRUCTED EXTERIOR TO MANHOLE. PIPE CONNECTIONS TO MANHOLES SHALL BE SO CONSTRUCTED AS TO BE WATERTIGHT AND TO ALIGN UPPER INSIDE PIPE WALL ELEVATIONS OF ALL PIPING CONNECTED TO BASE OF MANHOLE UNIFORMLY, REGARDLESS OF PIPE DIAMETERS. DROP ASSEMBLIES SHALL BE BEDDED IN CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL EXTEND A MINIMUM OF SIX INCHES PAST PIPING LATERALLY FROM BASE OF MANHOLE UPWARD TO A POINT SIX INCHES (MINIMUM) ABOVE THE HORIZONTAL SEWER PIPING WHERE CONNECTED TO THE MANHOLE ABOVE THE VERTICAL DROP.
7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECORED HOLES OF CORRECT DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHISELS AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT STATIONS.
8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.
9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
10. SANITARY SEWER SERVICE LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE.
11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB", "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.
13. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY INFRASTRUCTURE STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY NOTIFY THE CITY OF ALL CONSTRUCTION ACTIVITIES AND TO CONFORM TO CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT INSPECTION POLICY.
14. C.S.S. 1' ABOVE PIPE AND 6" BELOW PIPE MINIMUM.
15. SEE GENERAL NOTES AND C.S.S. NOTES.

SL-SS-07



SANITARY SEWER SERVICE CONNECTION

N.T.S.

SL-SS-06

No.	DATE	REVISION

SEAL: _____

DESIGN ENGINEER: _____ DATE: _____



CONSTRUCTION PLANS FOR:

SANITARY SEWER CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-14

SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

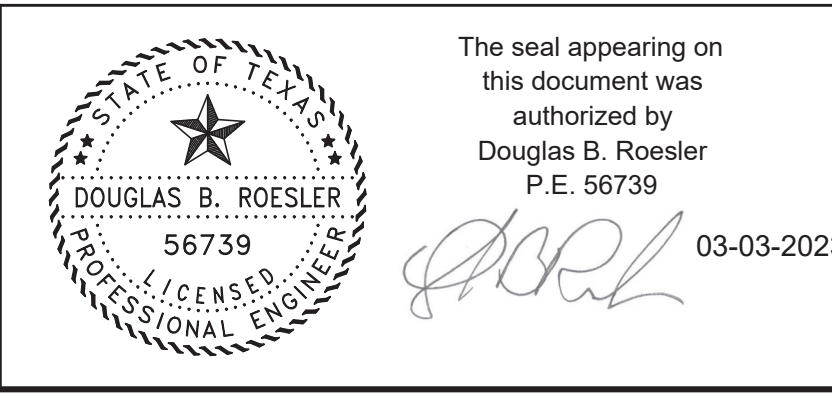
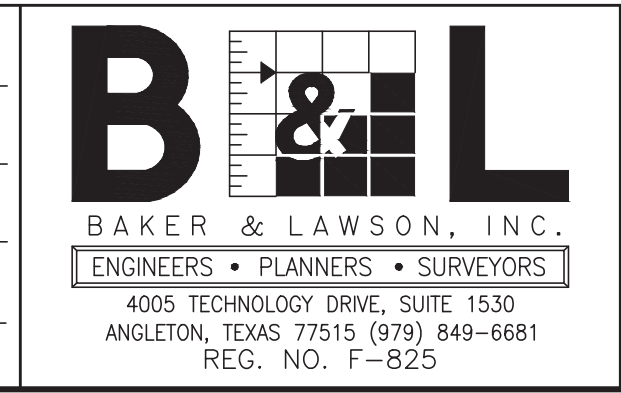
REVISIONS

DESIGNED DR _____

DRAWN BT _____

CHECKED _____

DATE _____



OWNER:

RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____

PROFILE: _____

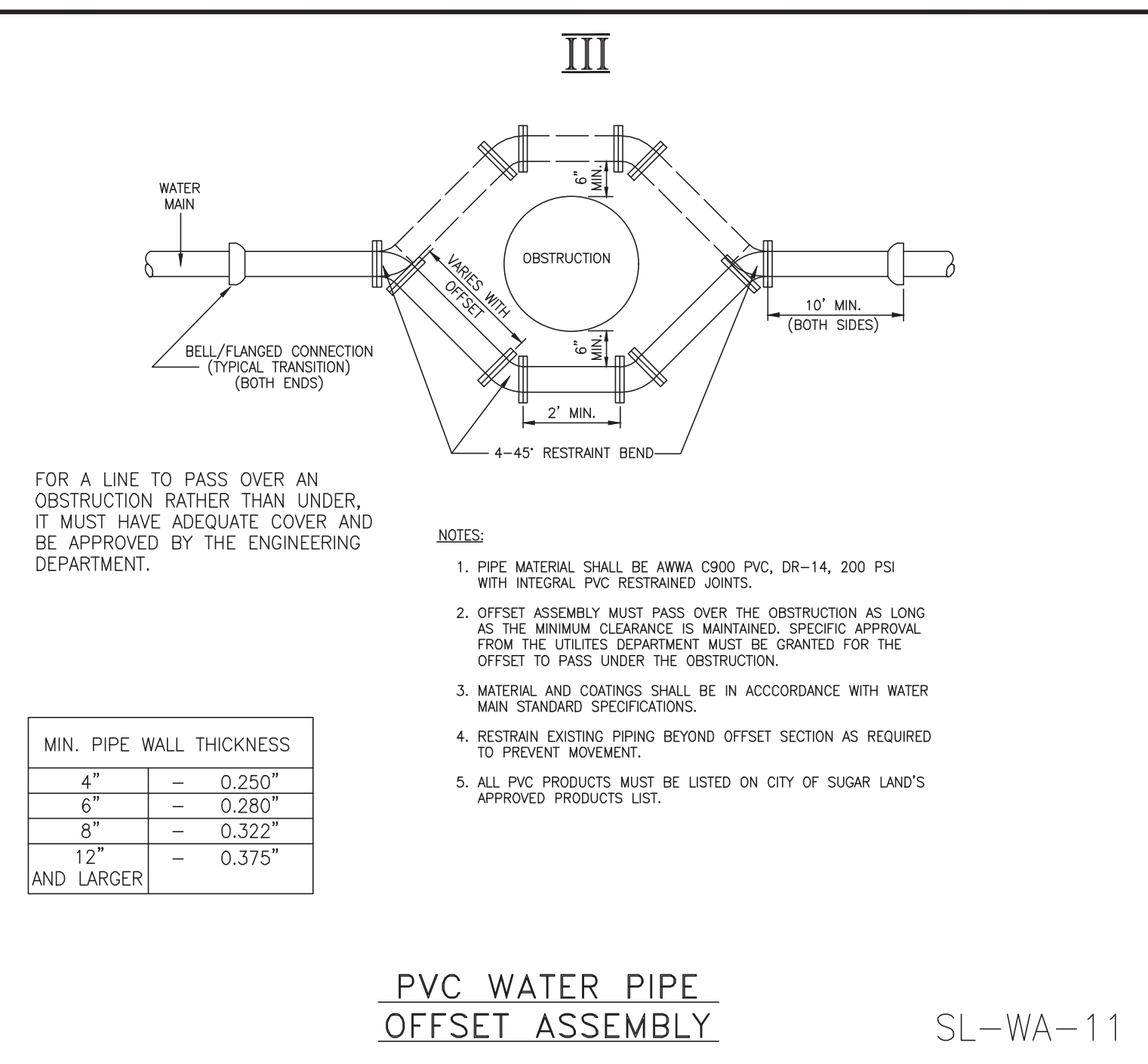
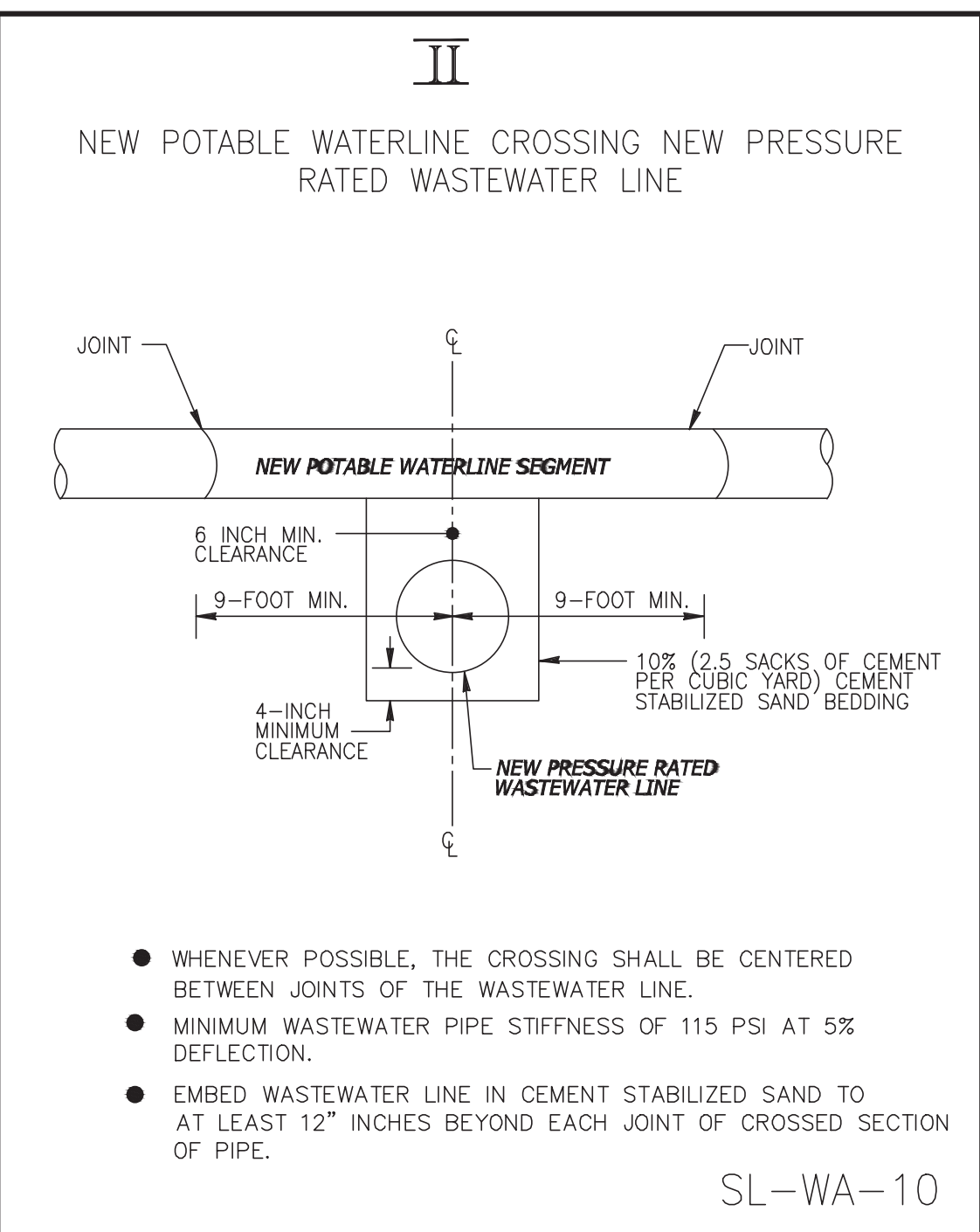
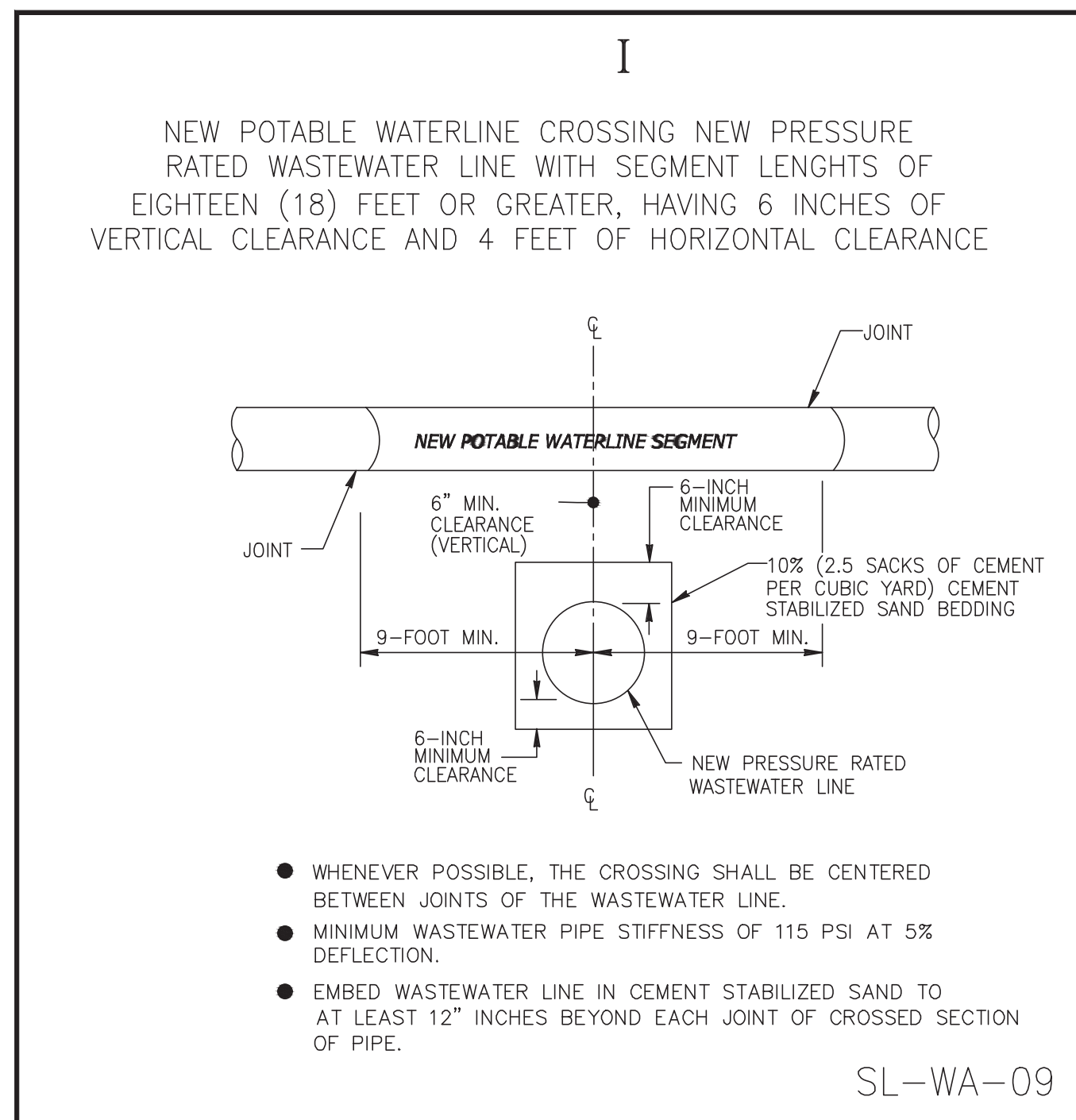
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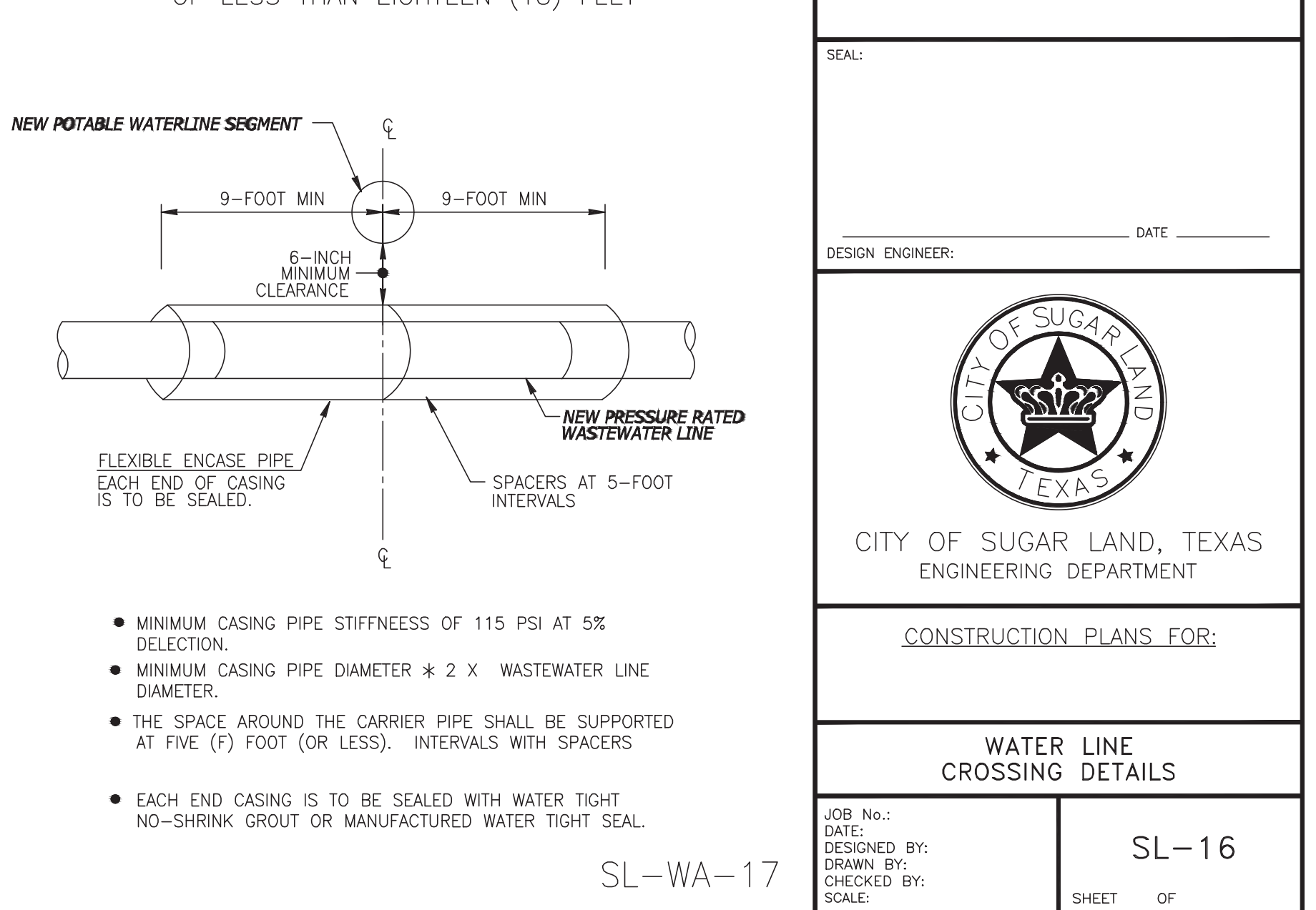
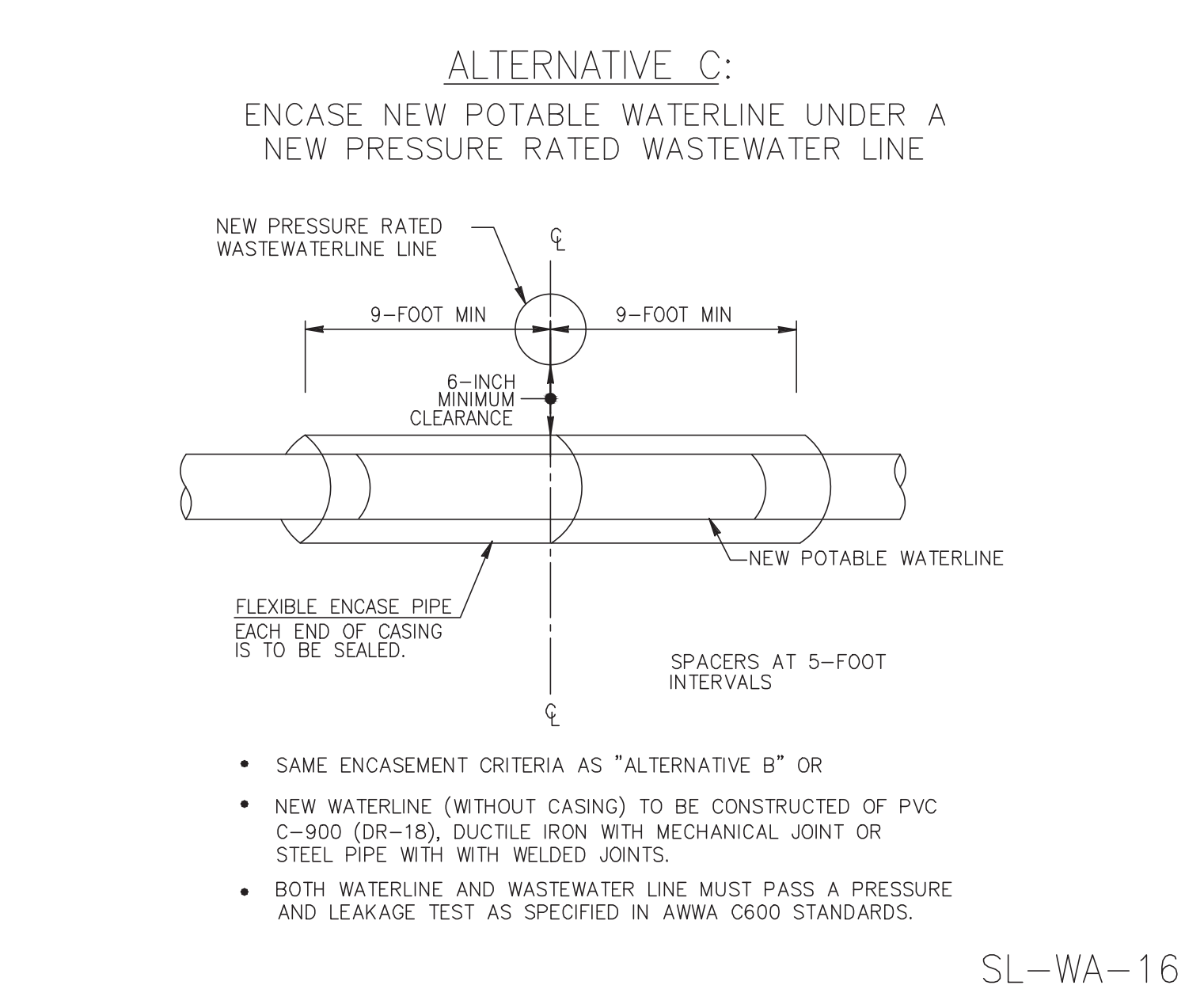
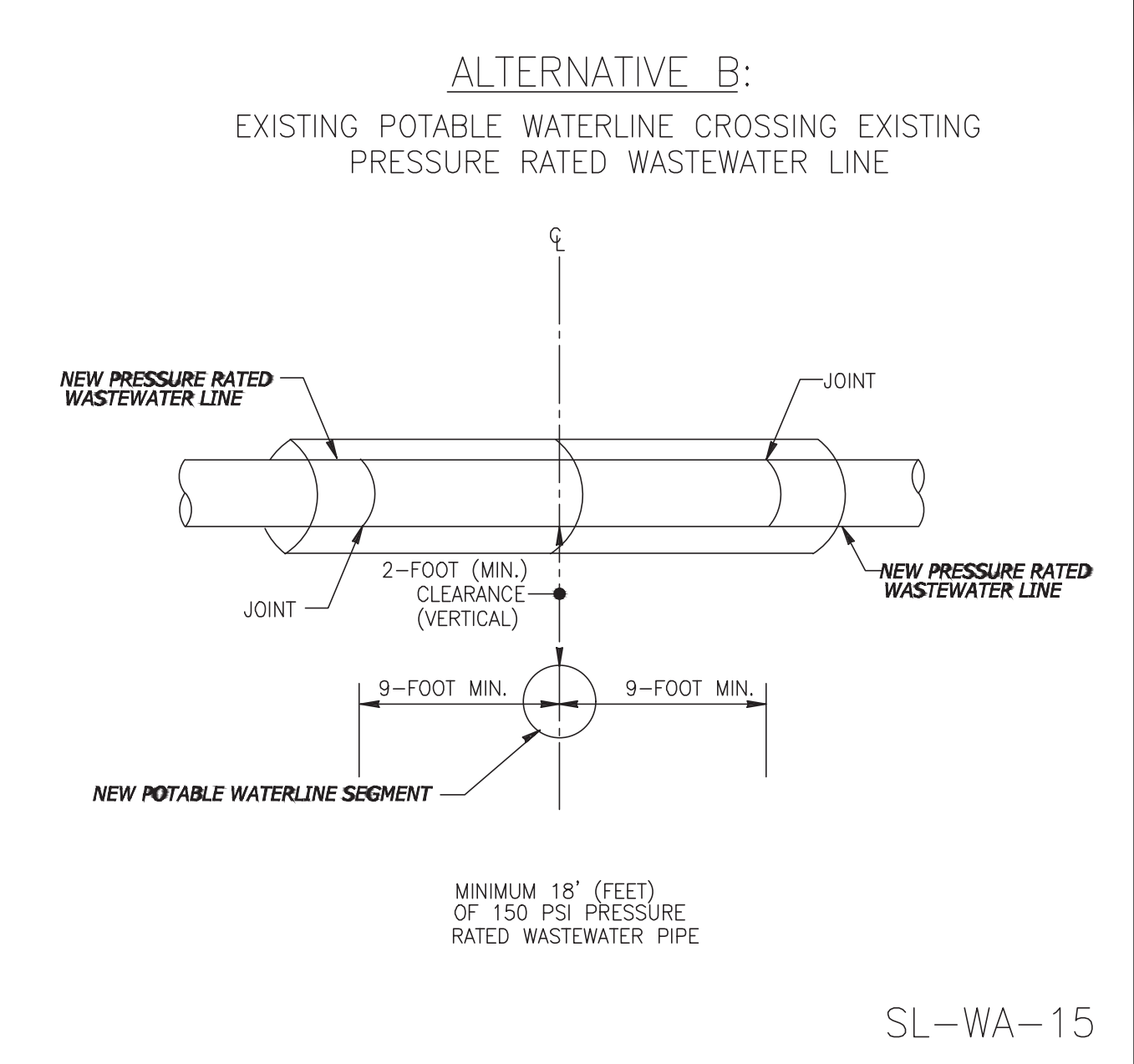
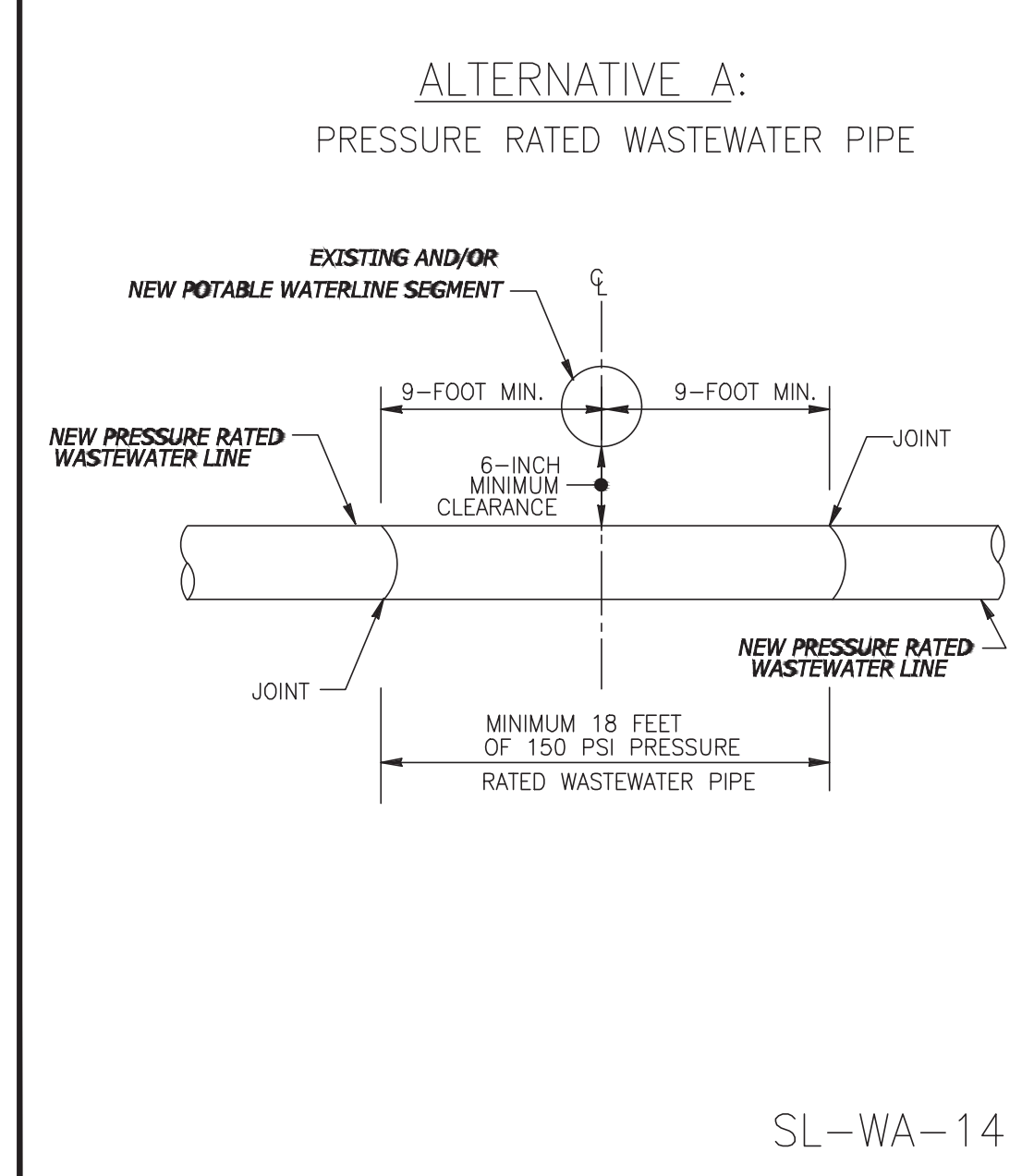
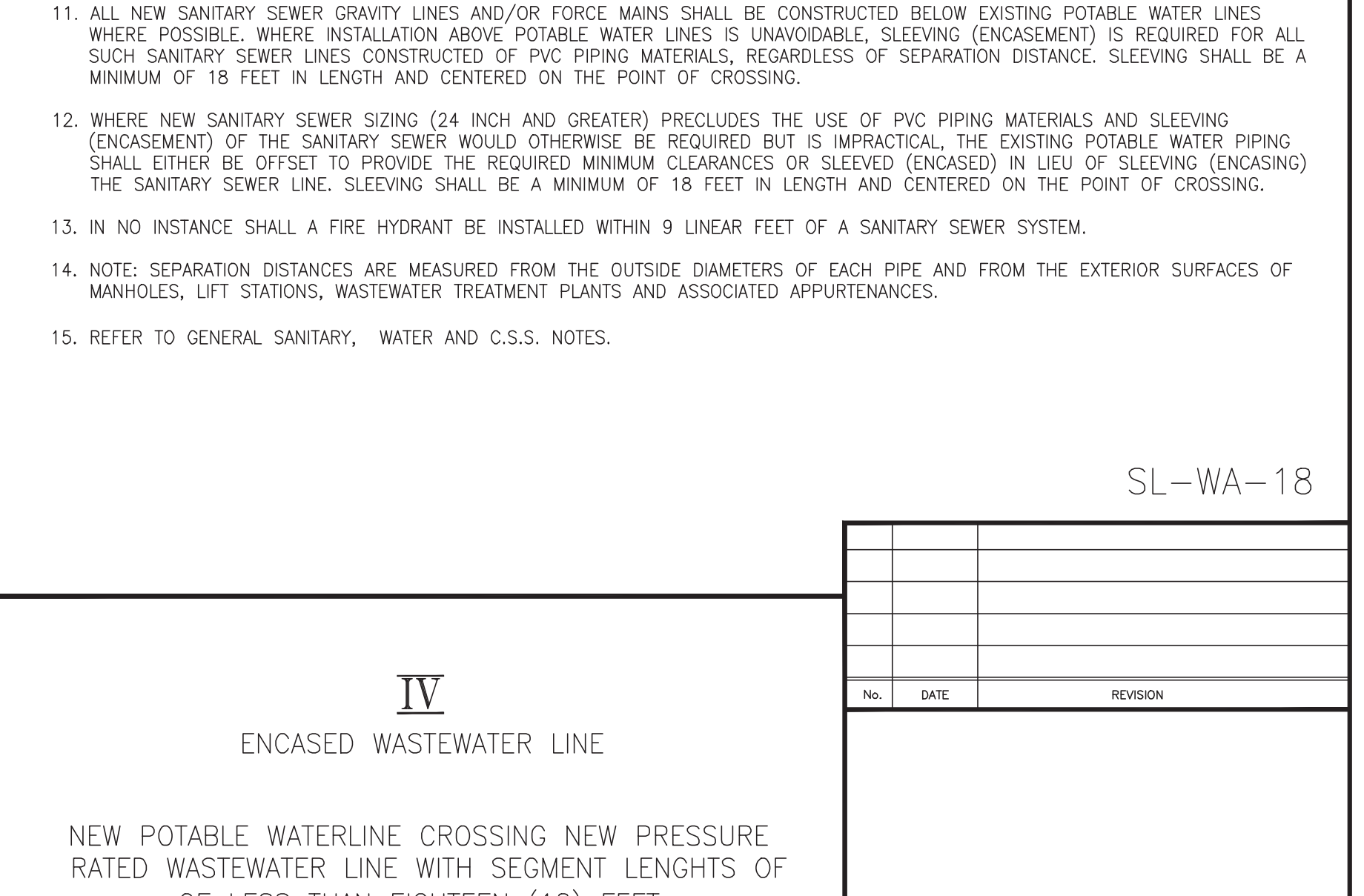
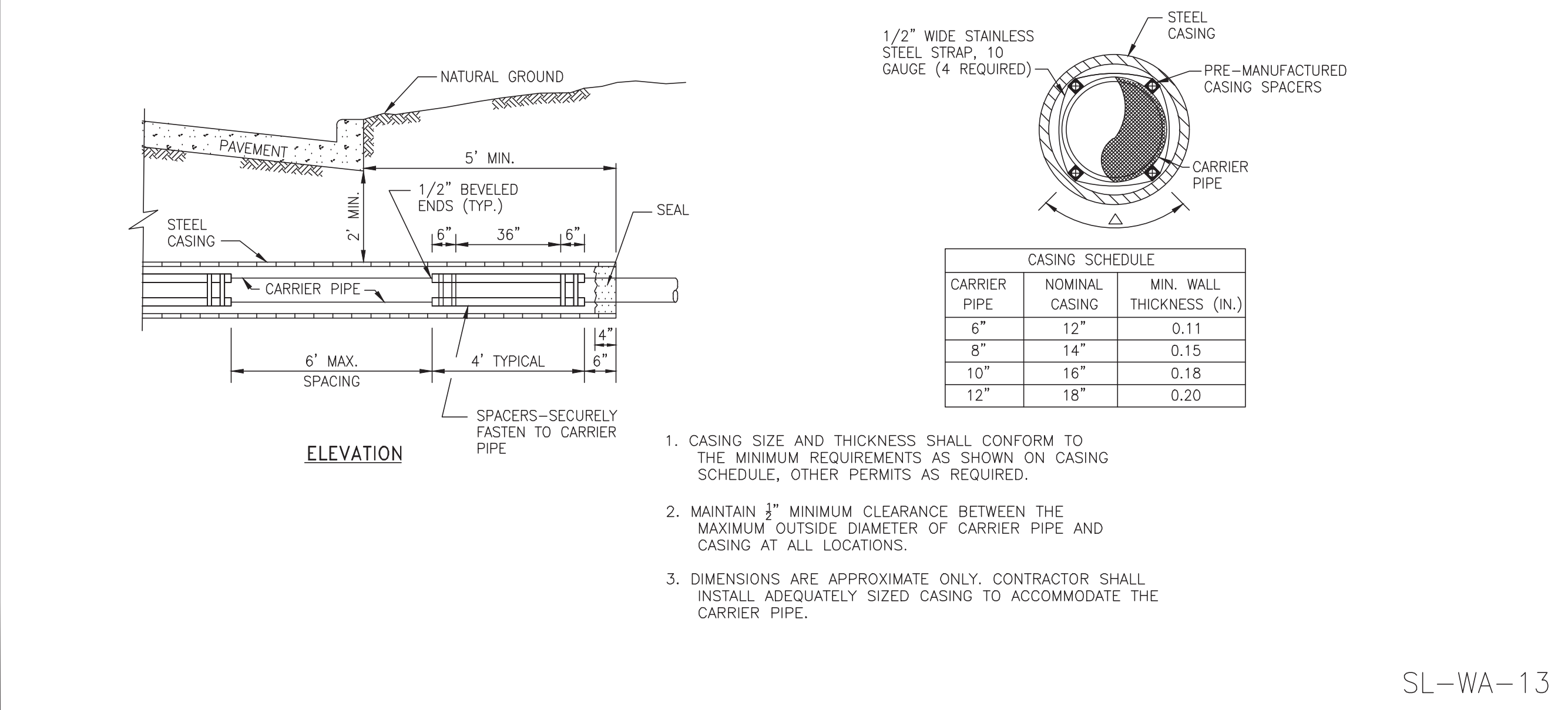
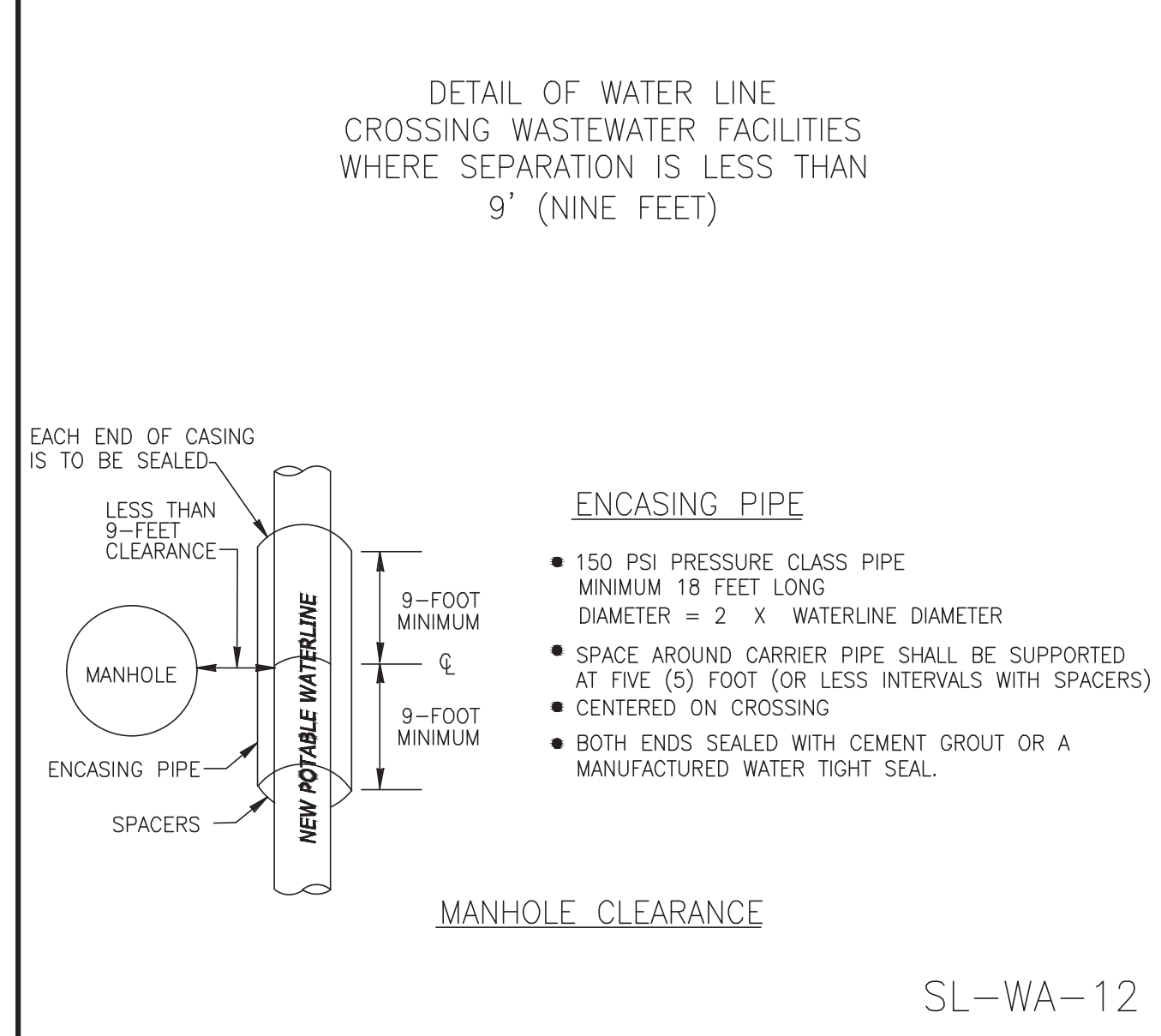
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SANITARY SEWER CONSTRUCTION DETAILS
SL-14

PROJECT NO. 14396



- GENERAL NOTES:
- CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
 - SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
 - ALL NEW POTABLE WATER LINES AND SANITARY SEWER FORCE MAINS SHALL BE BEDDED IN COMPACTED BANK SAND A MINIMUM OF 6 INCHES BELOW, ABOVE AND TO EITHER SIDE OF SUCH PIPING.
 - ALL NEW SANITARY SEWER GRAVITY DRAIN LINES SHALL BE BEDDED IN CEMENT STABILIZED SAND CONFORMING TO THE REQUIREMENTS FOR EITHER CLASS "A" STANDARD BEDDING OR CLASS "A-A" BEDDING AS APPLICABLE. USE OF MODIFIED "A" OR MODIFIED "A-A" BEDDING FOR SANITARY SEWER INSTALLATIONS WHERE WET SAND CONDITIONS ARE ENCOUNTERED AND SEPARATION DISTANCE TO POTABLE WATER LINES IS LESS THAN 9 FEET REQUIRES APPROVAL BY CITY ENGINEER.
 - CEMENT STABILIZED BEDDING SHALL BE A MINIMUM 1.5 SACK PER CUBIC YARD C.S.S., INSTALLED IN MAXIMUM LIFTS OF 8 INCHES AND MECHANICALLY TAMPED TO 95% PROCTOR.
 - WHERE REQUIRED, SLEEVING (ENCASEMENT) OF POTABLE WATER PIPING AND/OR SANITARY SEWER GRAVITY DRAIN LINES AND FORCE MAINS SHALL BE PROVIDED. SUCH SLEEVING (ENCASEMENT) SHALL BE CONSTRUCTED OF APPROVED PIPING MATERIALS HAVING A MINIMUM PRESSURE RATING OF 150 PSI AND ANNUAL RATES OF CORROSION SHALL BE SEaled WITH A MATERIAL APPROVED FOR SUCH USE.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE A MINIMUM OF 9 FEET SEPARATION DISTANCE TO EXISTING OR PROPOSED SANITARY SEWER MANHOLE, LIFT STATION OR WASTEWATER TREATMENT PLANT CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING. WHERE PIPING IS LAID PARALLEL AND MINIMUM SEPARATION DISTANCES CANNOT BE MAINTAINED, SLEEVING SHALL EXTEND AT LEAST 9 FEET PAST THE POINT WHERE MINIMUM SEPARATION DISTANCES ARE ACHIEVED.
 - ALL NEW POTABLE WATER LINES SHALL BE CONSTRUCTED ABOVE EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS WHERE POSSIBLE. WHERE INSTALLATION BENEATH SANITARY SEWER GRAVITY LINES OR FORCE MAINS IS UNAVOIDABLE AT POINTS OF CROSSING, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL NEW POTABLE WATER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS CONSTRUCTED OF PVC PIPING MATERIALS SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING POTABLE WATER PIPING CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS SHALL BE CONSTRUCTED BELOW EXISTING POTABLE WATER LINES WHERE POSSIBLE. WHERE INSTALLATION ABOVE POTABLE WATER LINES IS UNAVOIDABLE, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL SUCH SANITARY SEWER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - WHERE NEW SANITARY SEWER SIZING (24 INCH AND GREATER) PRECLUDES THE USE OF PVC PIPING MATERIALS AND SLEEVING (ENCASEMENT) OF THE SANITARY SEWER WOULD OTHERWISE BE REQUIRED BUT IS IMPRACTICAL, THE EXISTING POTABLE WATER PIPING SHALL EITHER BE OFFSET TO PROVIDE THE REQUIRED MINIMUM CLEARANCES OR SLEEVED (ENCASED) IN LIEU OF SLEEVING (ENCASING) THE SANITARY SEWER LINE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - IN NO INSTANCE SHALL A FIRE HYDRANT BE INSTALLED WITHIN 9 LINEAR FEET OF A SANITARY SEWER SYSTEM.
 - NOTE: SEPARATION DISTANCES ARE MEASURED FROM THE OUTSIDE DIAMETERS OF EACH PIPE AND FROM THE EXTERIOR SURFACES OF MANHOLES, LIFT STATIONS, WASTEWATER TREATMENT PLANTS AND ASSOCIATED APPURTENANCES.
 - REFER TO GENERAL SANITARY, WATER AND C.S.S. NOTES.



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

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BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

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DOUGLAS B. ROESSLER
56739
LICENSED PROFESSIONAL ENGINEER

03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

WATER LINE CROSSING DETAILS

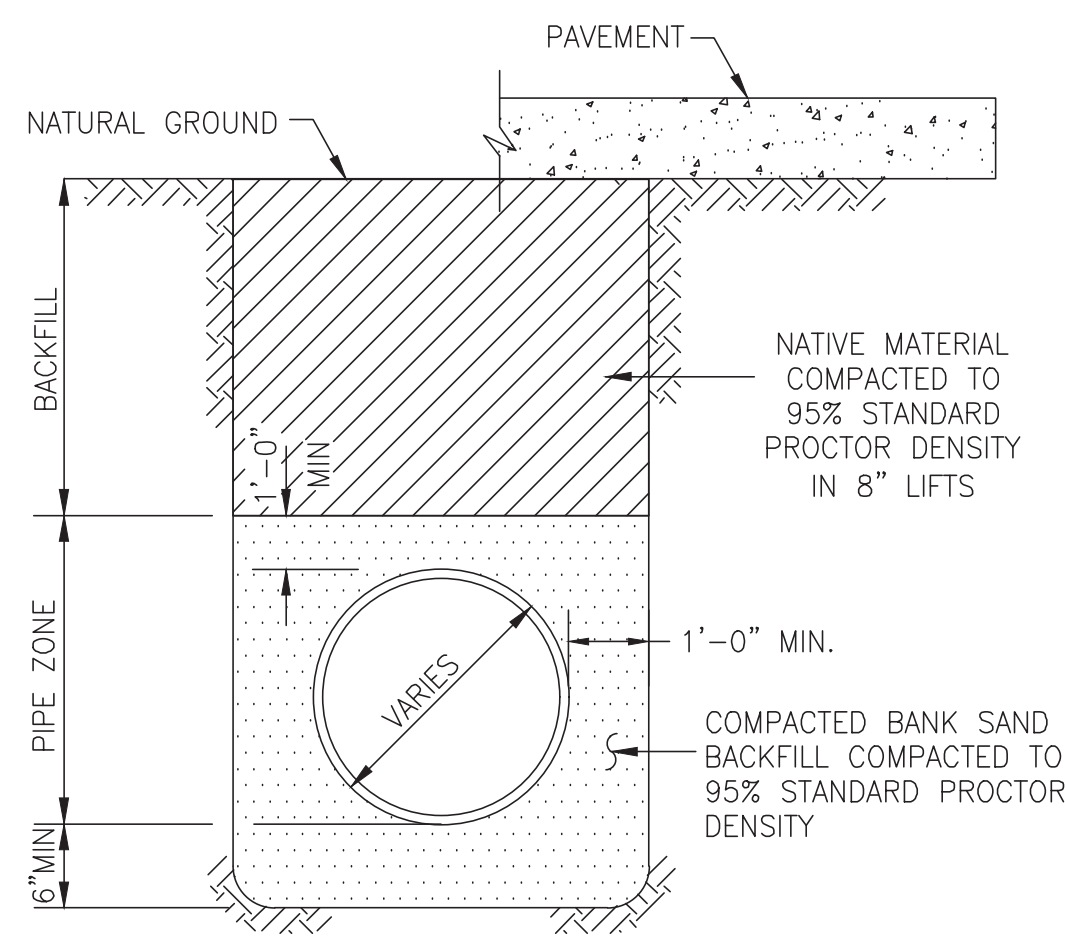
SL-16

SHEET OF

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WATER LINE CROSSING DETAILS
SL-16

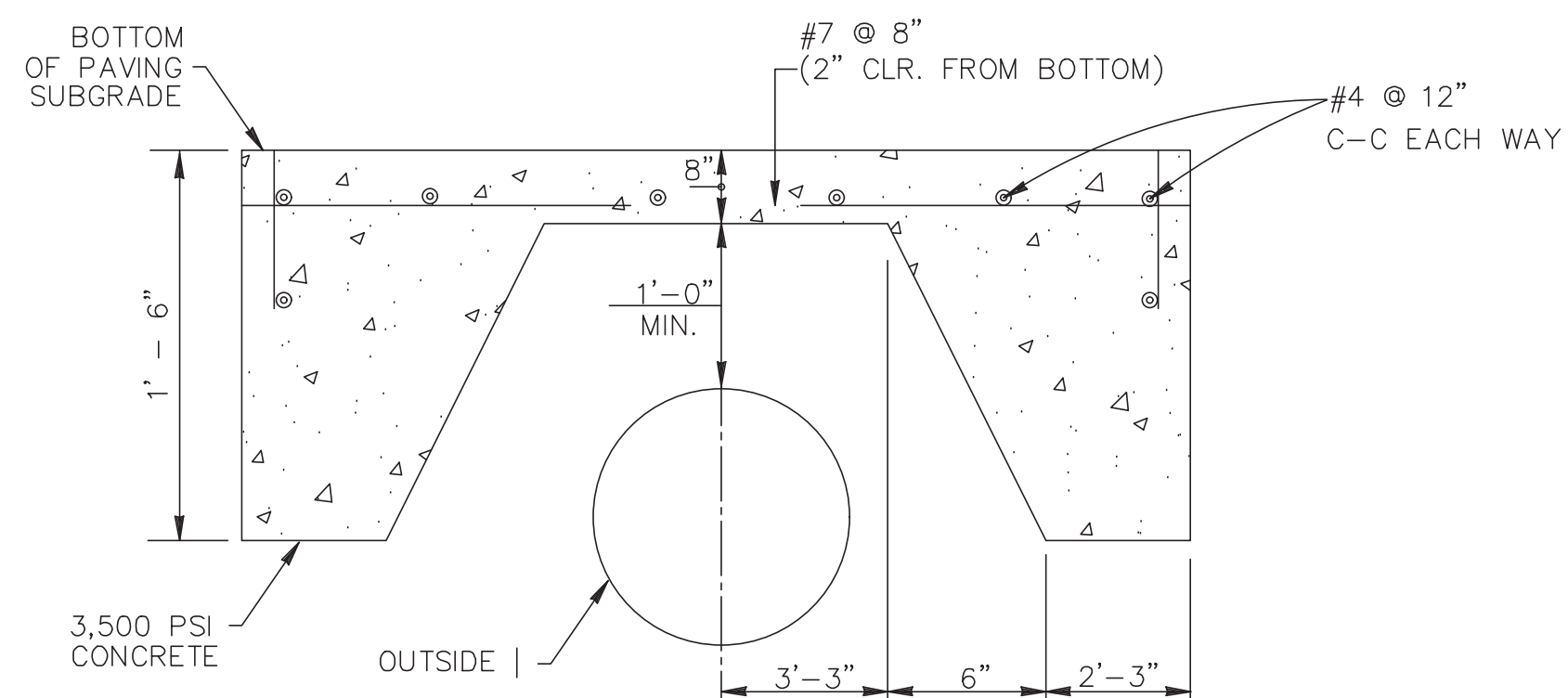
PROJECT NO. 14396



P.V.C. PIPE BEDDING & BACKFILL
N.T.S.
*SEE CONSTRUCTION NOTES

**SANITARY FORCE MAIN & WATER LINE
BEDDING AND BACKFILL**

SL-BB-01



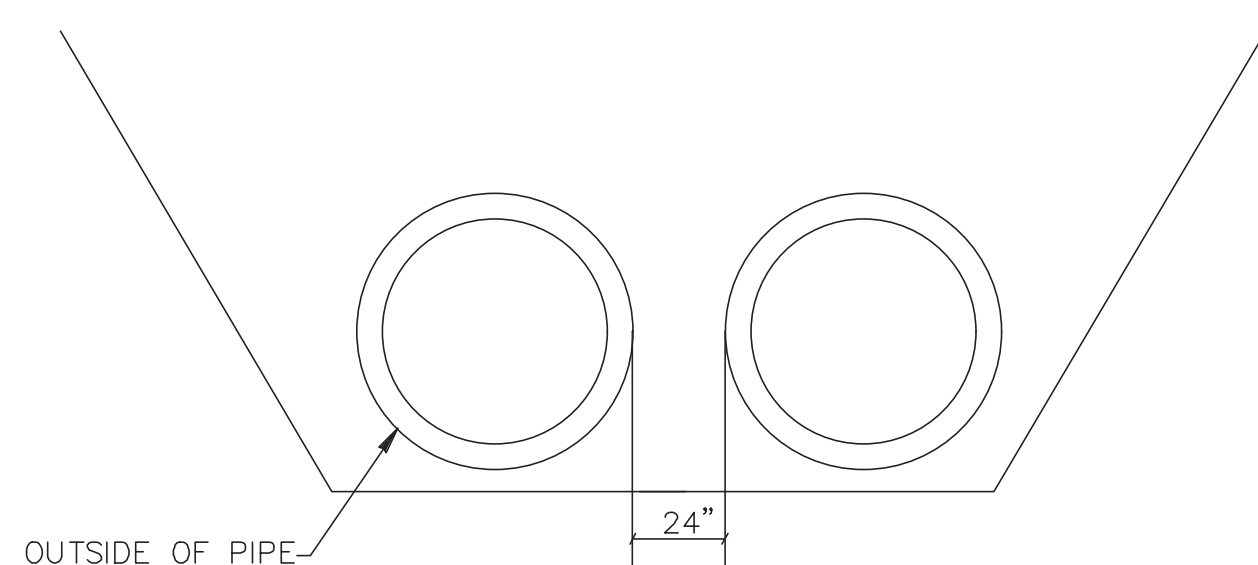
**PROTECTIVE SLAB DETAIL
ZERO LOAD TRANSFER CONCRETE SLAB**

SL-BB-04

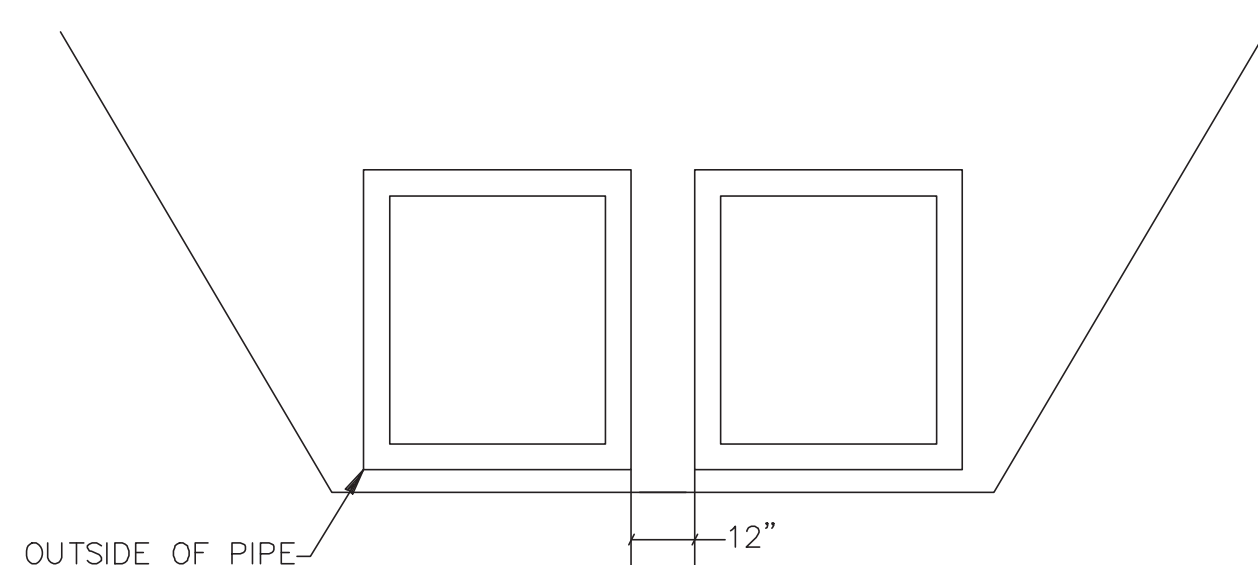
CONSTRUCTION NOTES

1. CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEERING DEPARTMENT IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUNTERED.
2. LIMESTONE AND RECYCLED CONCRETE DIMENSIONS SHOWN ARE TYPICAL BUT MAY BE VARIED BY ORDER OF CITY ENGINEER.
3. LIMESTONE OR RECYCLED CONCRETE SHALL BE IN ACCORDANCE WITH TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPE A, GRADE 2 AGGREGATE.
4. NO BEDDING SHALL BE INSTALLED IN WET CONDITIONS. WHEN WELL POINTING OR IN WET SAND CONDITIONS, MAINTAIN GROUND WATER 1 (FT) BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24-HRS AFTER BEDDING AND BACKFILL IS IN PLACE.
5. ALL MATERIALS SHALL BE FROM THE APPROVED PRODUCTS LIST UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER.
6. SANITARY SEWER BEDDING FOR WET SAND CONDITIONS SHALL BE AS PER MODIFIED "A".
7. ALL SAND BEDDING FOR WATER LINES SHALL BE CLEAN, MECHANICALLY COMPACTED BANK SAND.
8. REFER TO: MANHOLE DETAILS, SANITARY, C.S.S., GENERAL, WATER CROSSING, WATER DISTRIBUTION DETAILS AND NOTES.
9. ALL BEDDING WILL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
10. A GEOTECHNICAL REPORT MAY BE REQUIRED TO ANALYZE THE BEARING CAPACITY OF EXISTING SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDDING AND BACKFILL IS APPROPRIATE.

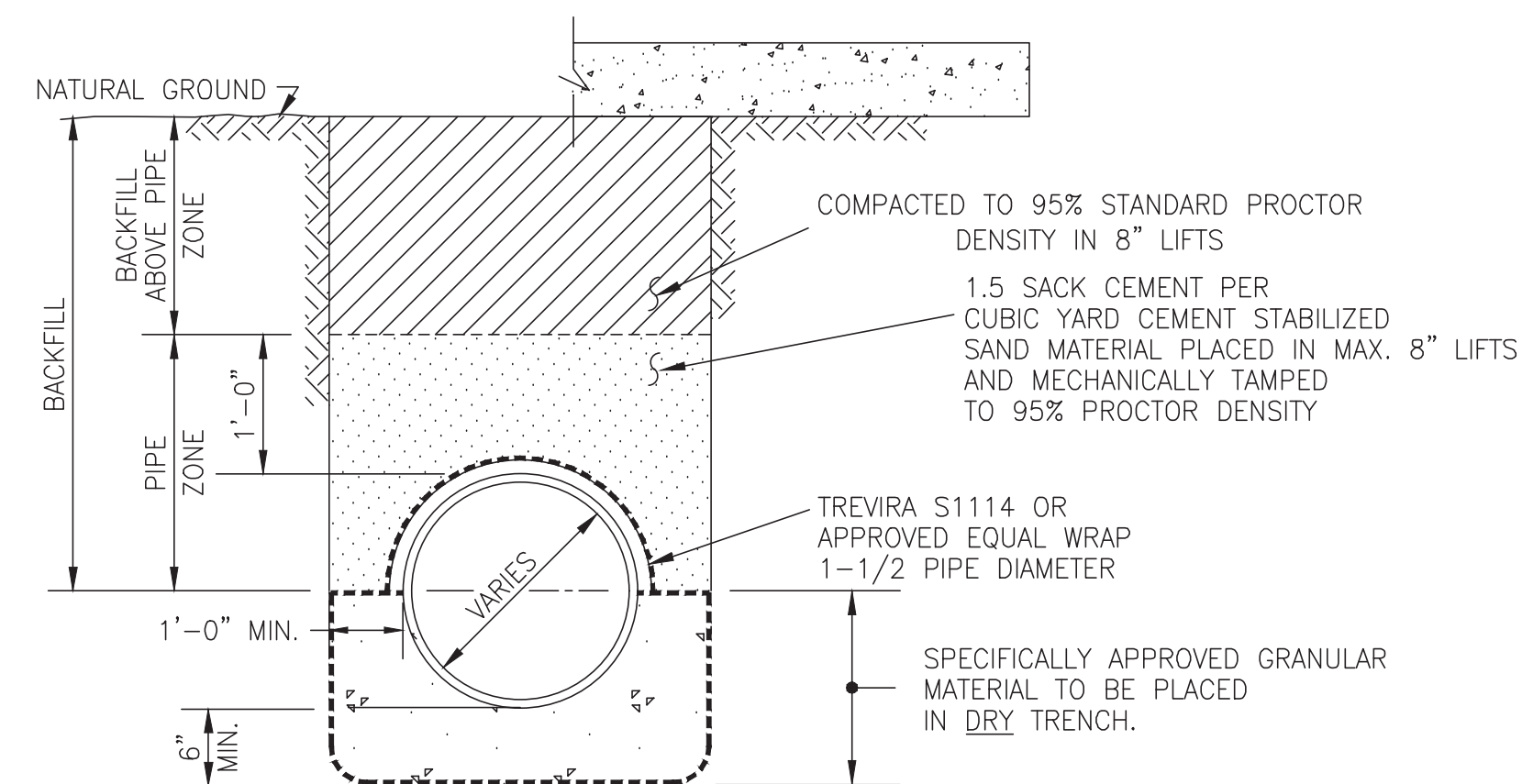
SL-BB-05



PIPE SEPARATION



RCB SEPARATION



MODIFIED "A"
N.T.S.


NOTE: C.S.S. SHALL BE INSTALLED A MIN. 1' ABOVE TOP OF PIPE.

**SANITARY SEWER
BEDDING AND BACKFILL**

SL-BB-03

REFER TO:

1. GENERAL NOTES
2. C.S.S. NOTES

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
WATER LINE, SANITARY SEWER FORCE MAIN BEDDING DETAILS		
JOB No.:	SL-19	SHEET OF
DATE:		
DESIGNED BY:		
DRAWN BY:		
CHECKED BY:		
SCALE:		

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

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ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825

STATE OF TEXAS
DOUGLAS B. ROESLER
56739
LICENSED PROFESSIONAL ENGINEER

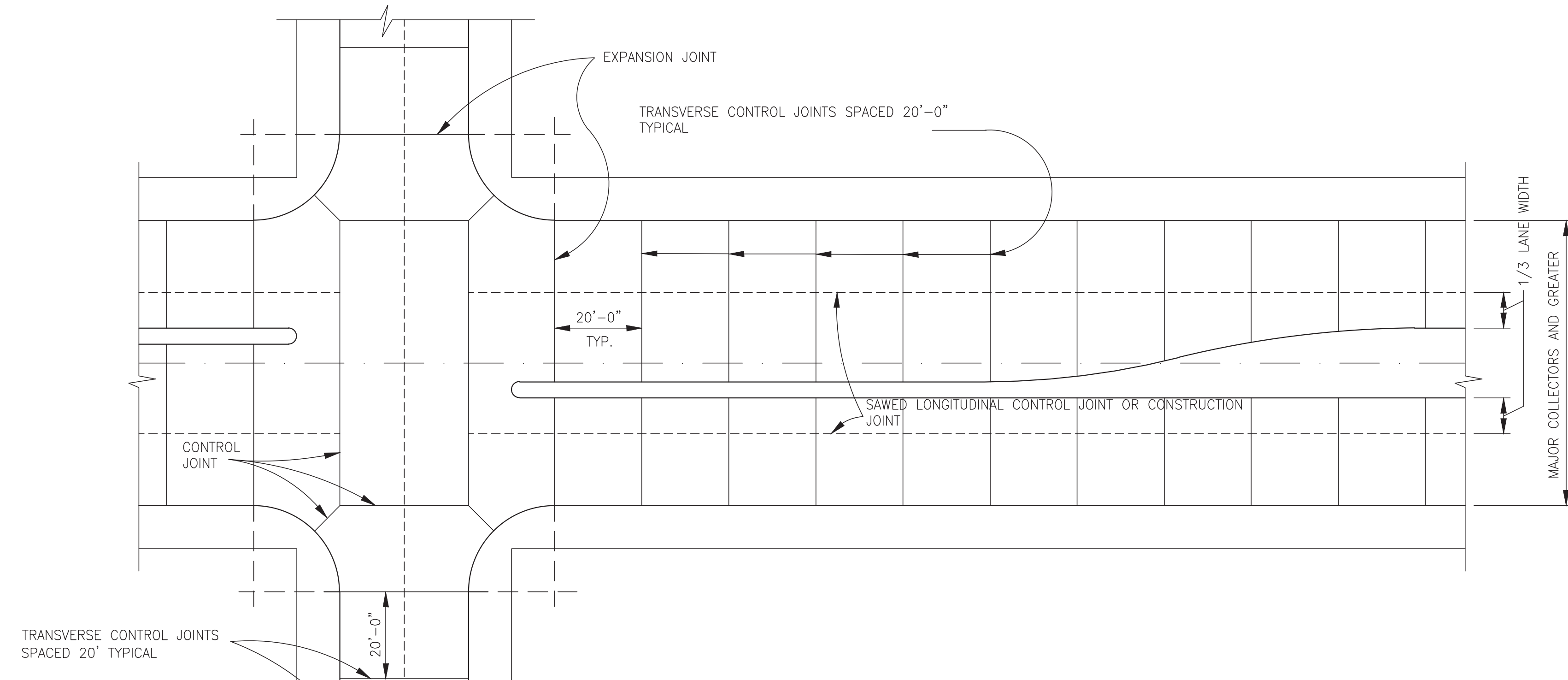
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03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

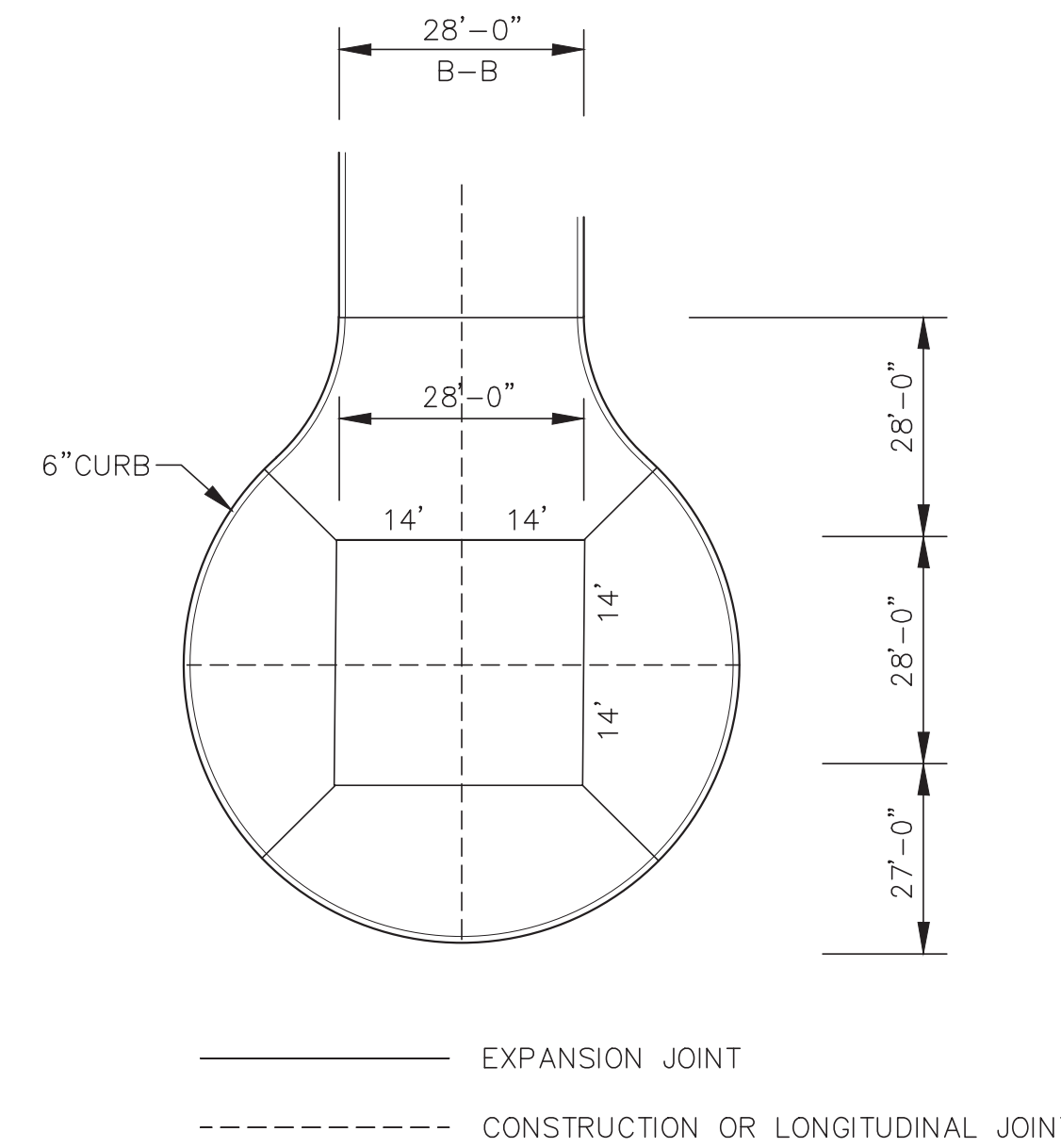
WATER LINE, SANITARY SEWER FORCE MAIN BEDDING DETAILS
SL-19
PROJECT NO. 14396



SPACING DIAGRAM FOR JOINTS


1. SPACING OF EXPANSION JOINTS SHALL NOT EXCEED 40 FEET.
2. ALL EXPANSION JOINT DOWEL BARS SHALL BE HELD FIRMLY IN PLACE PARALLEL WITH THE PAVEMENT SURFACE WITH WIRE BASKETS MODIFIED TO MOLD AROUND THE REDWOOD EXPANSION BOARD.
3. ALL TIE BARS SHALL BE 24" MIN. LENGTH AND CENTERED ON THE LONGITUDINAL JOINT.

————— EXPANSION JOINT
 - - - - - CONSTRUCTION OR LONGITUDINAL JOINT



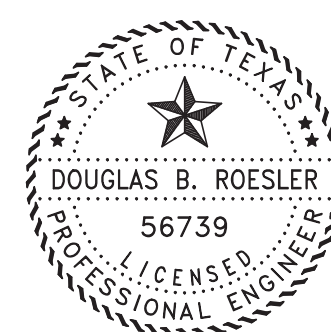
————— EXPANSION JOINT
 - - - - - CONSTRUCTION OR LONGITUDINAL JOINT

TYPICAL JOINT LAYOUT FOR CUL-DE-SAC

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
CONCRETE PAVEMENT CONSTRUCTION DETAILS		
JOB No.: DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SL-22 SHEET OF	

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

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OWNER:
RIVERWAY PROPERTIES
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HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

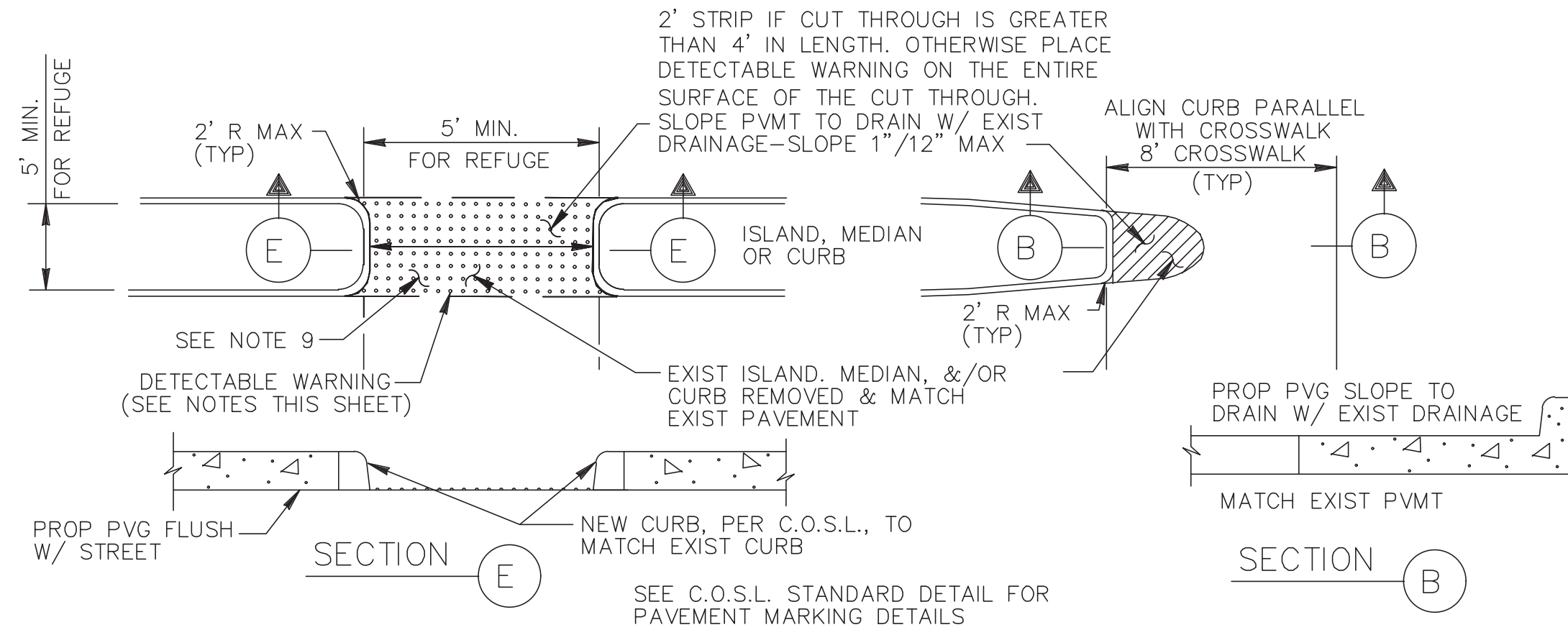
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CONCRETE PAVEMENT
 CONSTRUCTION DETAILS
 SL-22

NOTES:

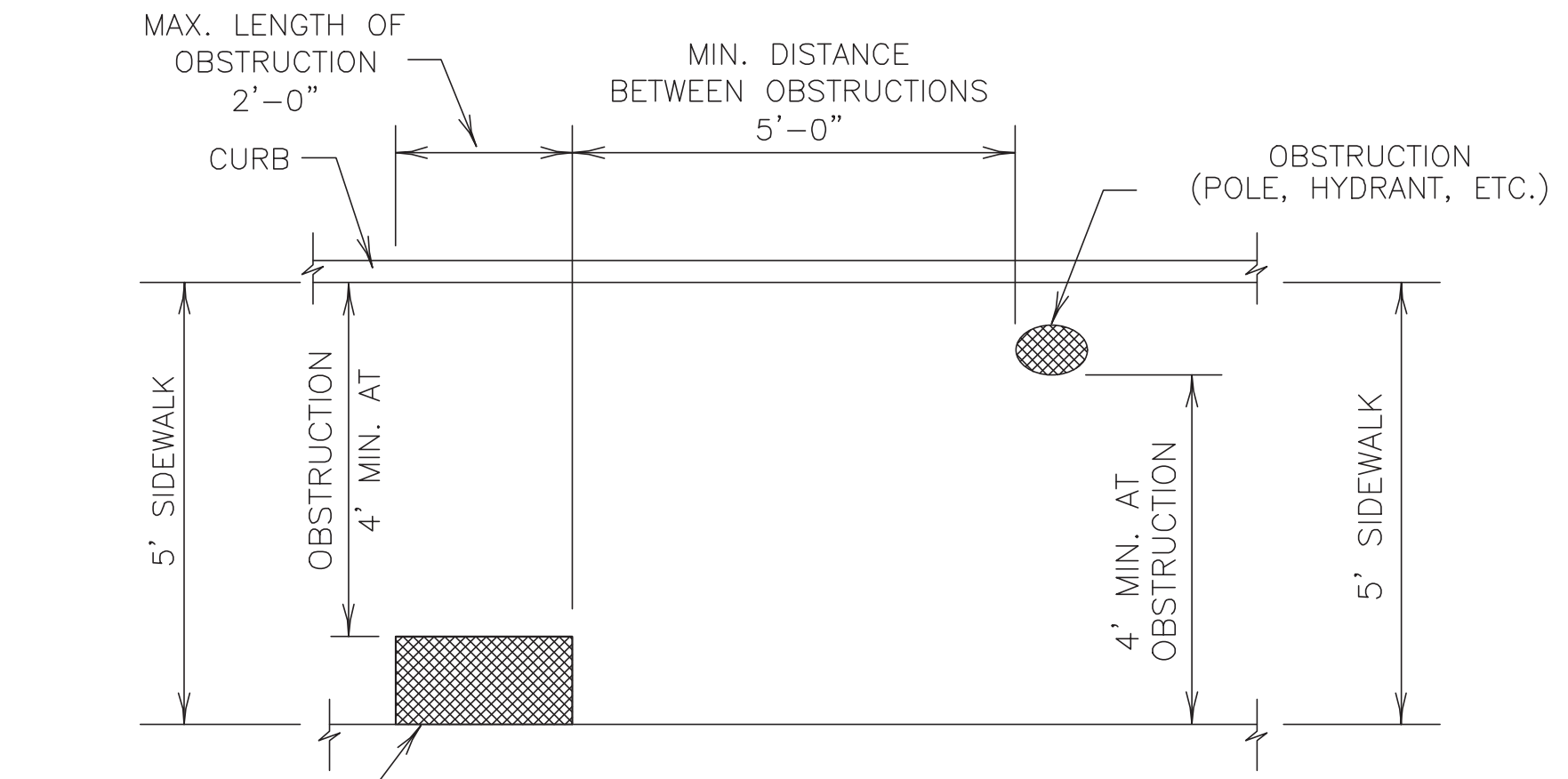
1. ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED. RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS MAY BE ADJUSTED AS DIRECTED
2. THE MINIMUM SIDEWALK WIDTH IS 5' (FEET). THE LANDING SHALL BE 5' x 5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND RAMP SURFACES IS 2%. USUAL SIDEWALK CROSS SLOPE EQUALS 1.5%. CHANGES IN LEVEL GREATER THAN 1/4" (IN.) ARE NOT PERMITTED.
3. MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A MINIMUM OF 5' x 5' WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH.
4. ANY PART OF THE ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 (5%) SHALL BE CONSIDERED A RAMP. IF A RAMP HAS A RISE GREATER THAN 6" (IN.) OR A HORIZONTAL PROJECTION GREATER THAN 72 INCHES, THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES, WITH THE FOLLOWING EXCEPTIONS:
 - A.) HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. CURB RAMPS SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
 - B.) THE LEAST POSSIBLE GRADE SHOULD BE USED TO MAXIMIZE ACCESSIBILITY. WHERE STRUCTURALLY IMPRACTICAL TO ACHIEVE TEXAS ACCESSIBILITY STANDARDS (TAS) COMPLIANCE, THE RUNNING SLOPE OF SIDEWALKS AND CROSSWALKS, WITHIN THE PUBLIC R.O.W., MAY FOLLOW THE GRADE OF THE PARALLEL ROADWAY WITHOUT INVOKING TEXAS ACCESSIBILITY STANDARDS (TAS) VARIANCES FOR LANDINGS OR HANDRAILS. WHERE A CONTINUOUS GRADE GREATER THAN 5% MUST BE PROVIDED, HANDRAILS MAY BE DESIRABLE ON ONE OR BOTH SIDES OF THE SIDEWALK TO IMPROVE ACCESSIBILITY. HANDRAILS MAY ALSO BE NEEDED TO PROTECT PEDESTRIANS FROM POTENTIALLY HAZARDOUS CONDITIONS.
5. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. OTHERWISE, FLARED SIDES SHALL BE PROVIDED. ALL CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE IN THE PLANS.
6. RAMP TEXTURES MUST CONSIST OF TRUNCATED DOME SURFACES, IN ACCORDANCE WITH ADA AND TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR). TEXTURES ARE REQUIRED TO BE DETECTABLE UNDERFOOT. TEXTURES ALSO SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. SURFACES THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
7. ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) PREPARED AND ADMINISTERED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR).
8. RAISED MEDIANS SEPARATE OPPOSING DIRECTIONS OF TRAFFIC AND PROVIDE A REFUGE AREA FOR PEDESTRIANS UNABLE TO CROSS THE ENTIRE ROADWAY IN THE ALLOTTED SIGNAL PHASE. TO SERVE AS A REFUGE AREA, THE MEDIAN SHALL BE A MINIMUM OF 5' (FT.) WIDE. MEDIANS SHOULD BE DESIGNED TO PROVIDE ACCESSIBLE PASSAGE OVER OR THROUGH THEM.
9. SMALL CHANNELIZATION ISLANDS, WHICH CAN NOT PROVIDE A MINIMUM 5' x 5' LANDING AT THE TOP OF RAMPS, SHALL BE CUT THROUGH LEVEL WITH THE SURFACE OF THE STREET.
10. CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP BAR LOCATIONS SHALL BE AS SHOWN IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ARE NOT REQUIRED, RAMPS SHALL BE ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE ENGINEER.
11. EXISTING FEATURES THAT COMPLY WITH T.A.S. MAY REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS.
12. TRAFFIC SIGNAL OR ILLUMINATION POLES, GROUND BOXES, CONTROLLER BOXES, SIGNS, DRAINAGE FACILITIES AND OTHER ITEMS SHALL BE PLACED SO NOT TO OBSTRUCT THE ACCESSIBLE ROUTE.

PLOI: IIMC



FOR ISLAND, MEDIAN, OR CURB MODIFICATIONS FOR CROSSWALKS

SL-ST-35



PLAN VIEW
PLACEMENT OF STREET FIXTURES
(ITEMS NOT INTENDED FOR PUBLIC USE. MINIMUM 4' x 4' CLEAR GROUND SPACE REQUIRED AT PUBLIC USE FIXTURES.)

SL-ST-36

SL-ST-40

No.	DATE	REVISION

SEAL: _____
DESIGN ENGINEER: _____ DATE: _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

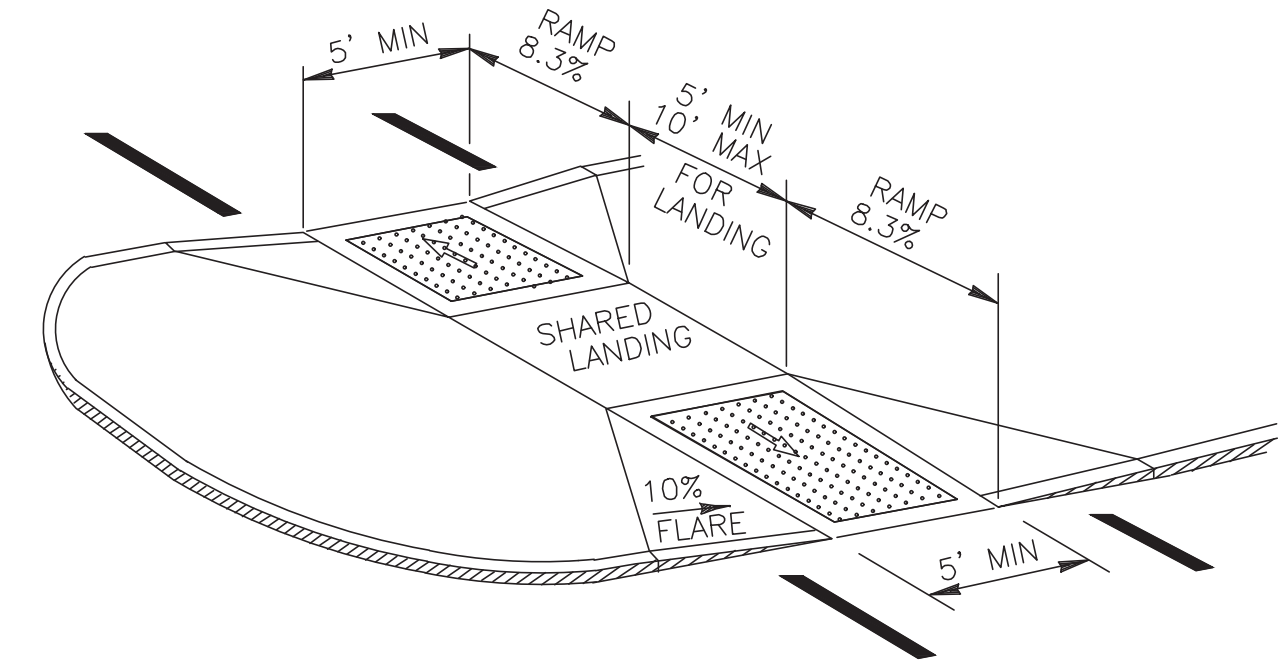
WHEEL CHAIR RAMP & SIDEWALK DETAILS II

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-26

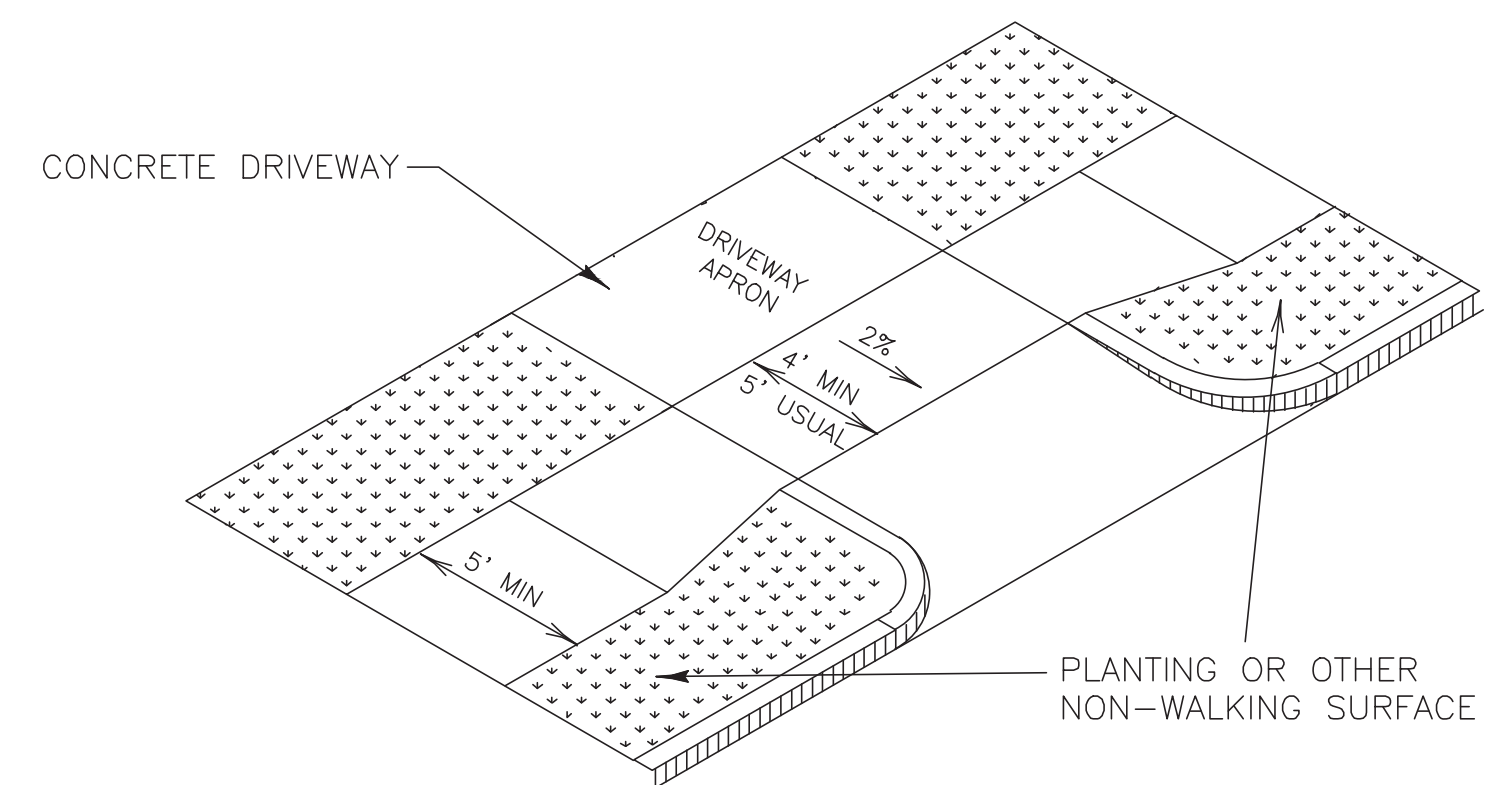
SHEET OF

PLOI: DMLC



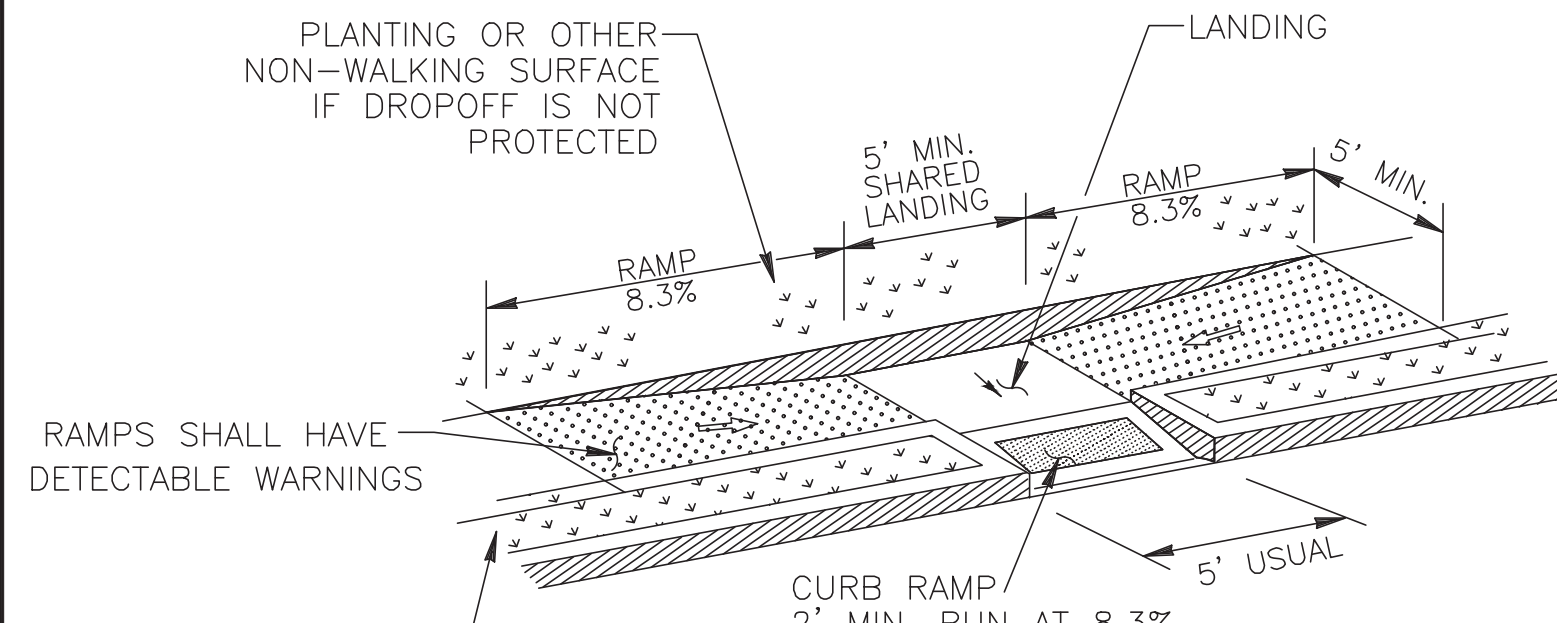
CURB RAMPS AT MEDIAN ISLANDS

SL-ST-37



SIDEWALK TREATMENT AT DRIVEWAYS

SL-ST-38

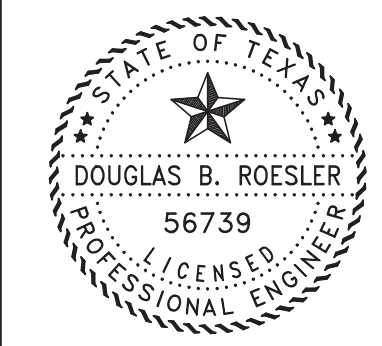


PARALLEL CURB RAMP

SL-ST-39

DESIGNED	DR
DRAWN	BT
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DATE	

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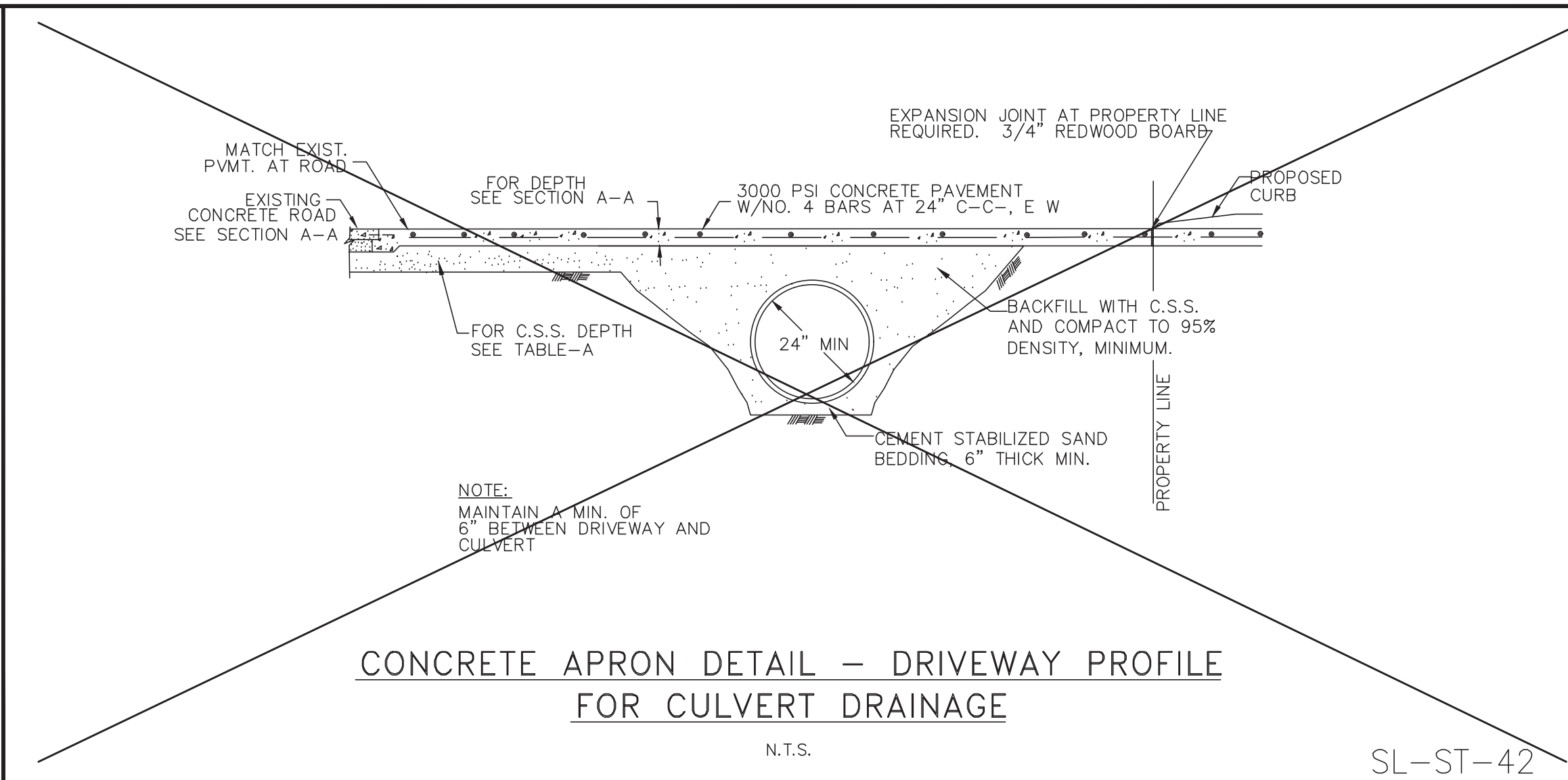
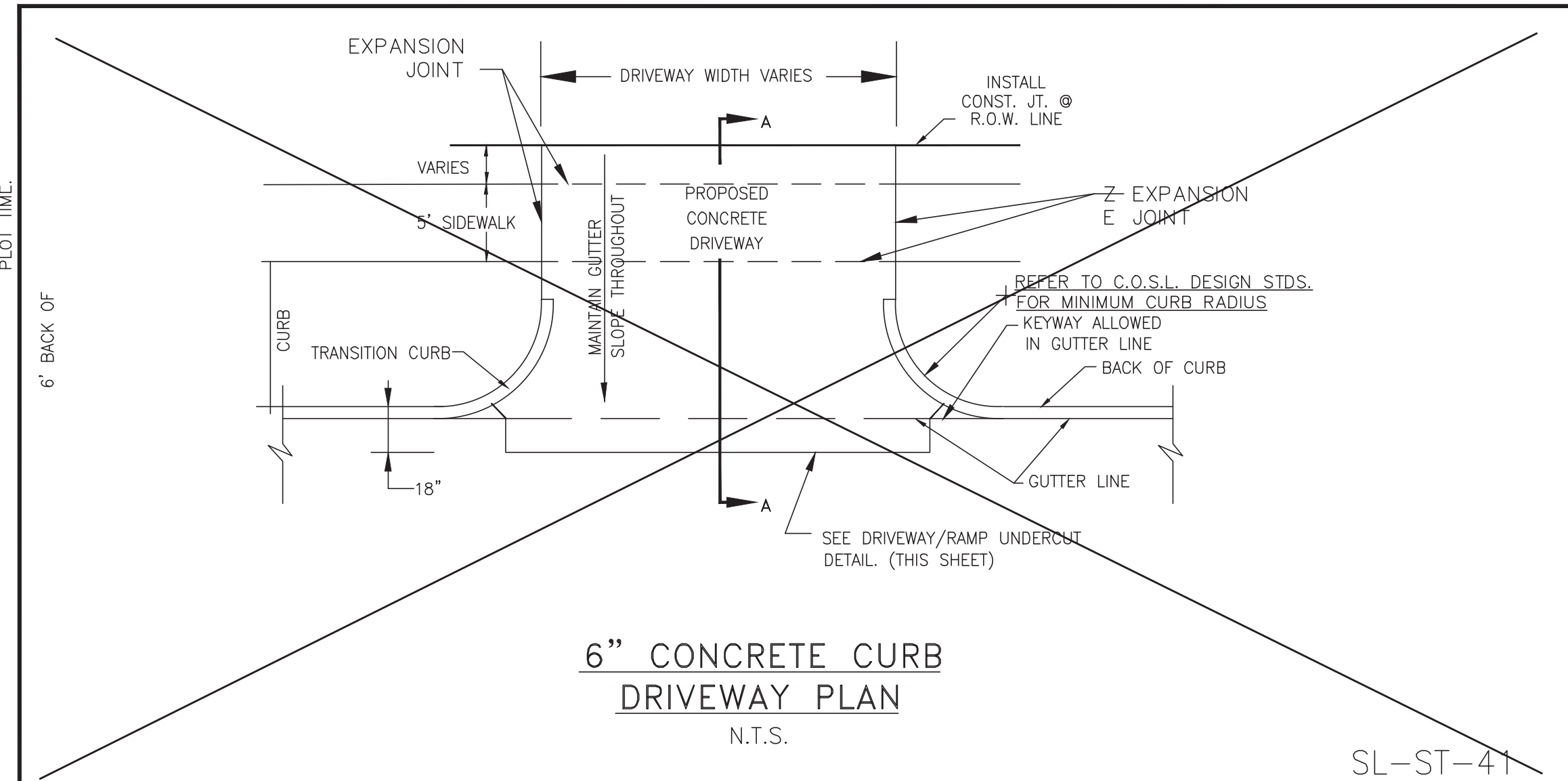
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WHEEL CHAIR RAMP & SIDEWALK DETAILS II
SL-26

PROJECT NO. 14396



- NOTES:
- 1.) SAW CUT & BREAKOUT NO MORE THAN 72 HOURS PRIOR TO PROPOSED CONCRETE PLACEMENT. NOTIFY SUGAR LAND PRIOR TO CUT.
 - 2.) UNSTABLE SUBGRADE SHALL BE OVER EXCAVATED & REPLACED WITH CONCRETE.
 - 3.) IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY SUGAR LAND OF ANY BIRD BATH PROBLEMS PRIOR TO CONSTRUCTION OF DRIVEWAY.
 - 4.) USE 1"x2" TREATED REDWOOD FOR HEADER.
 - 5.) EDGE ALL SIDES WITH EDGING TOOL AND BROOM FINISH
 - 6.) FOR INDUSTRIAL DRIVES, PAVEMENT SHALL HAVE A DEPTH OF 8" (IN).
 - 7.) EXPANSION JOINT AT PROPERTY LINE REQUIRED. 3/4" REDWOOD BOARD WITH NO. 4 DOWELS MINIMUM.
 - 8.) MAXIMUM ALLOWABLE DRIVEWAY GRADE IN PULIC R.O.W. IS 5%
 - 9.) DRIVEWAY GRADE MUST MEET A.D.A AND T.A.S. SIDEWALK SLOPE, SIDEWALKS MUST BE SCORED TO MATCH ADJACENT SIDEWALK. IF SLOPE IS CONTINUED THROUGH THE R.O.W. LINE, PROVIDE A 3/4" REDWOOD EXPANSION JOINT WITH DOWELS AT R.O.W. LINE.
 - 10.) REFER TO GENERAL , C.S.S., ASPHALT, AND CONCRETE PAVEMENT NOTES.

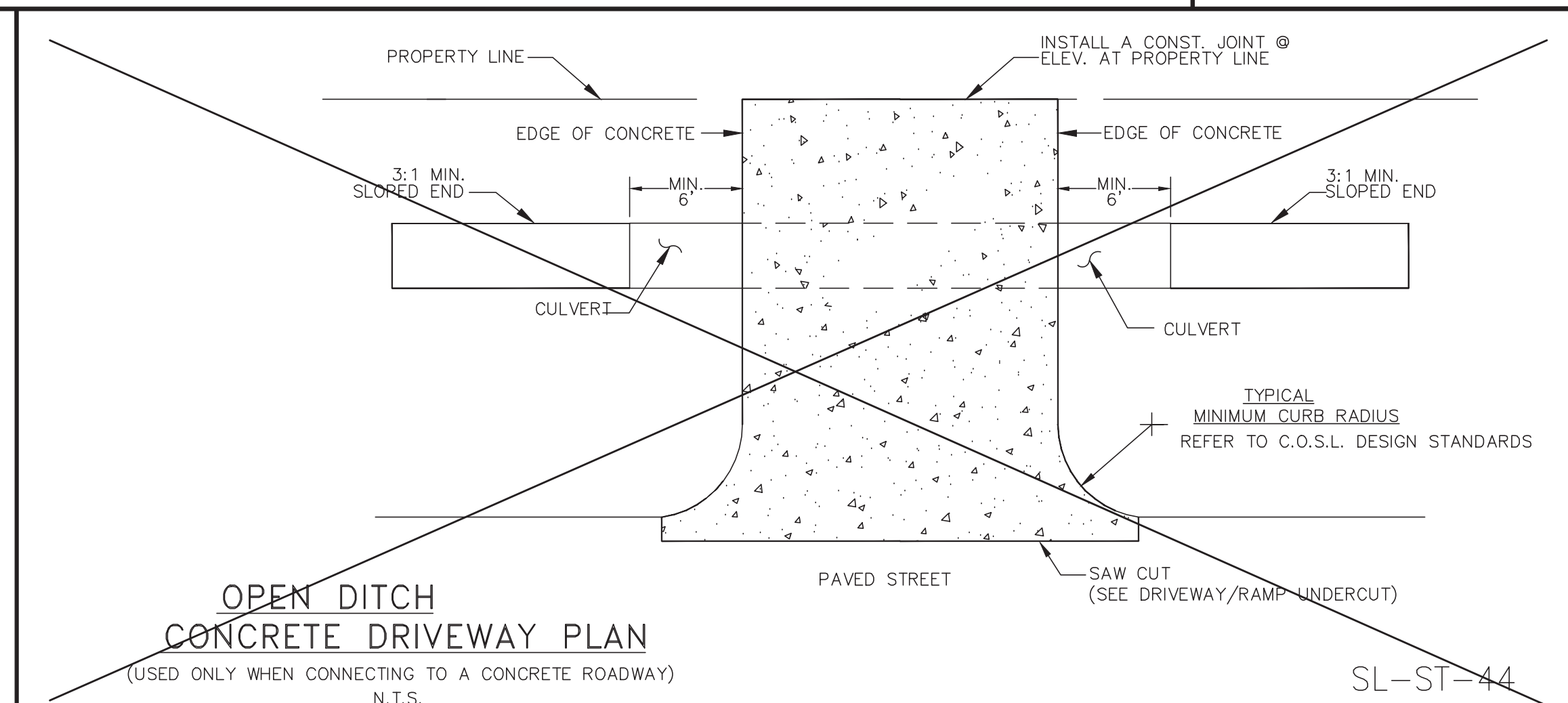
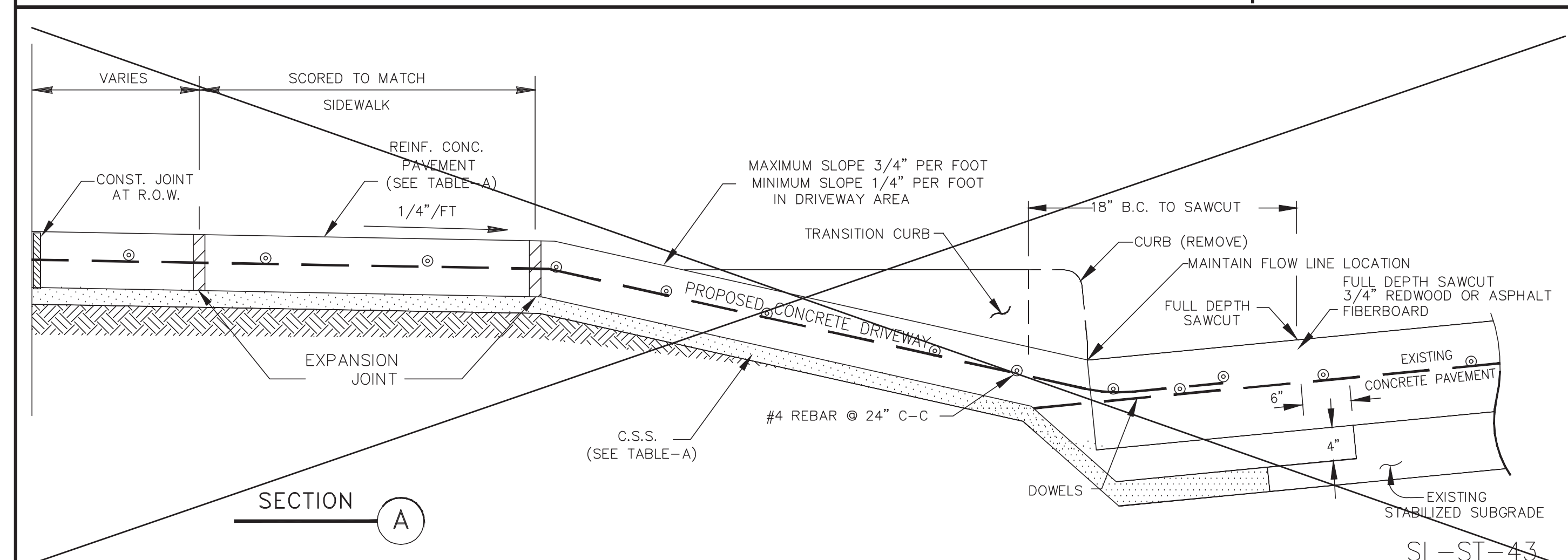
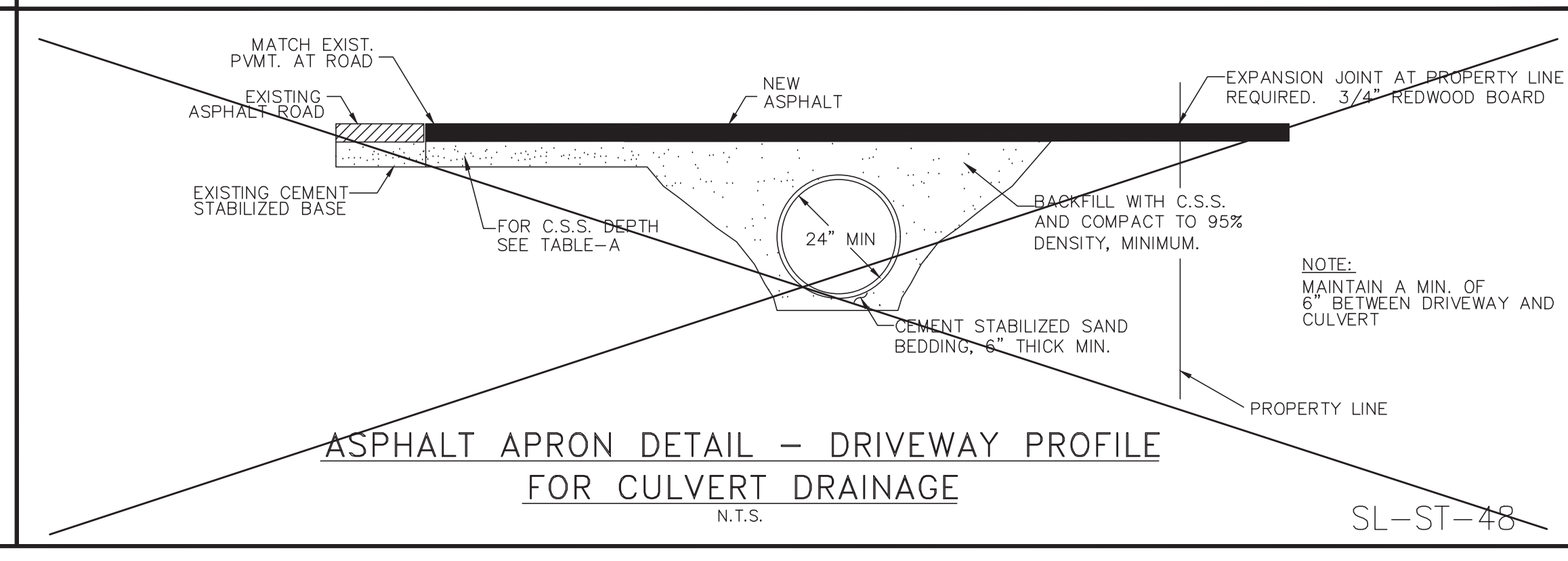
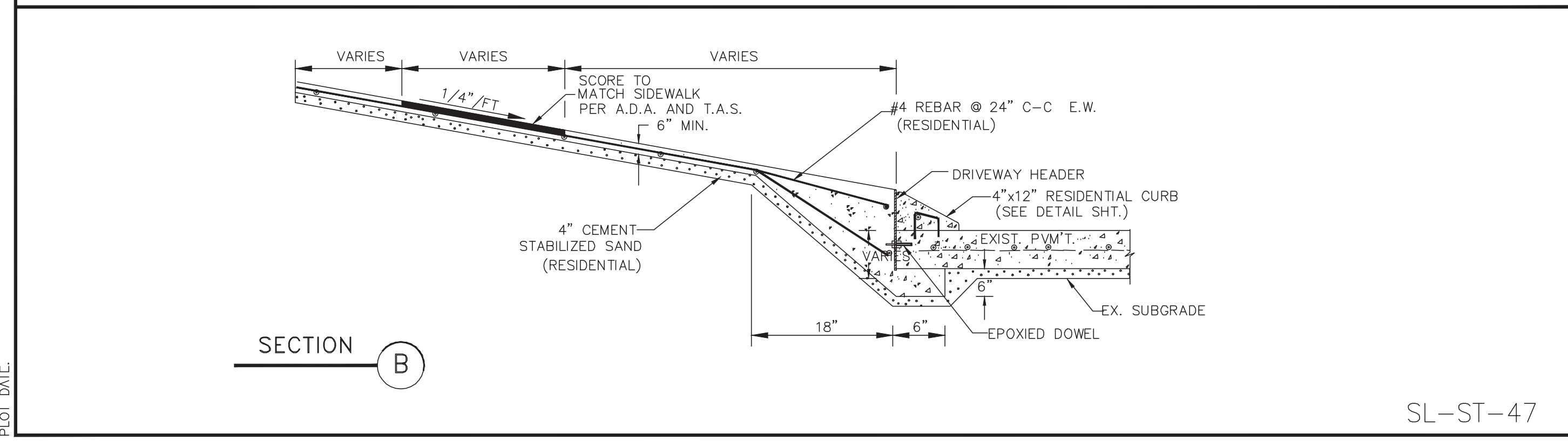
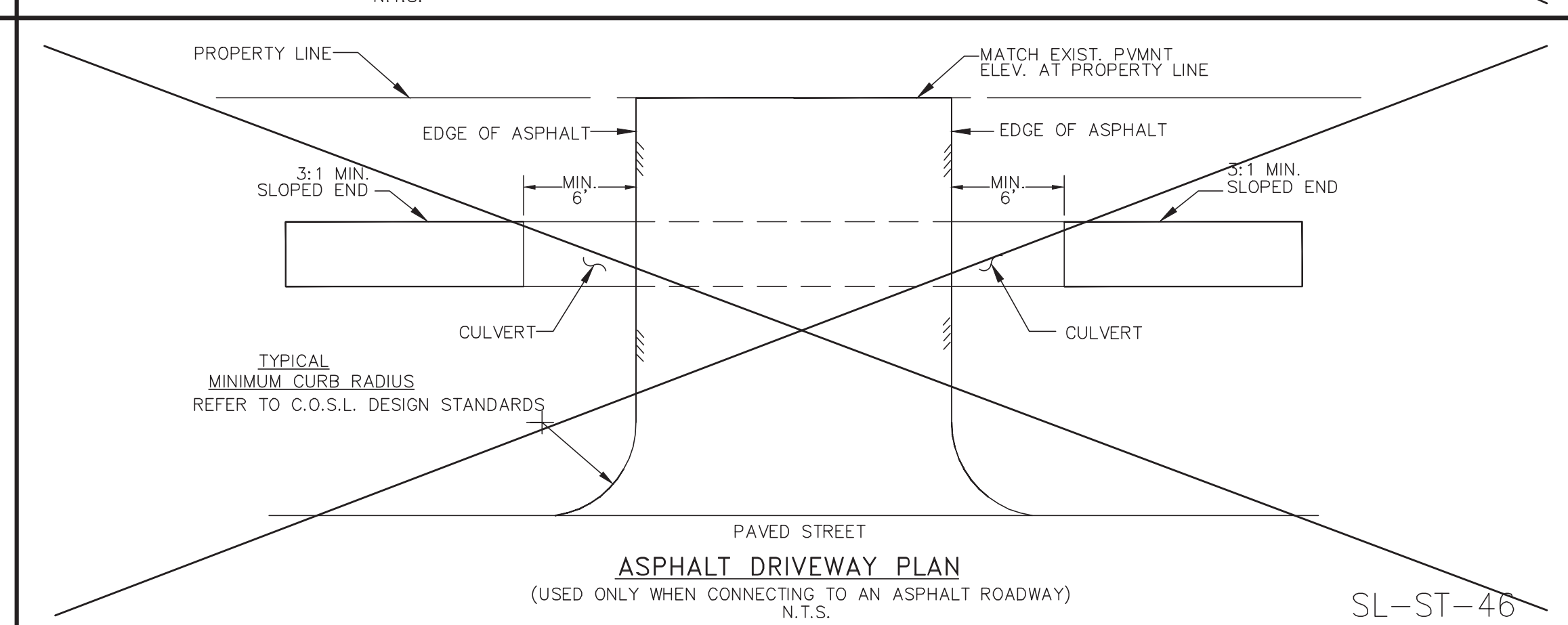
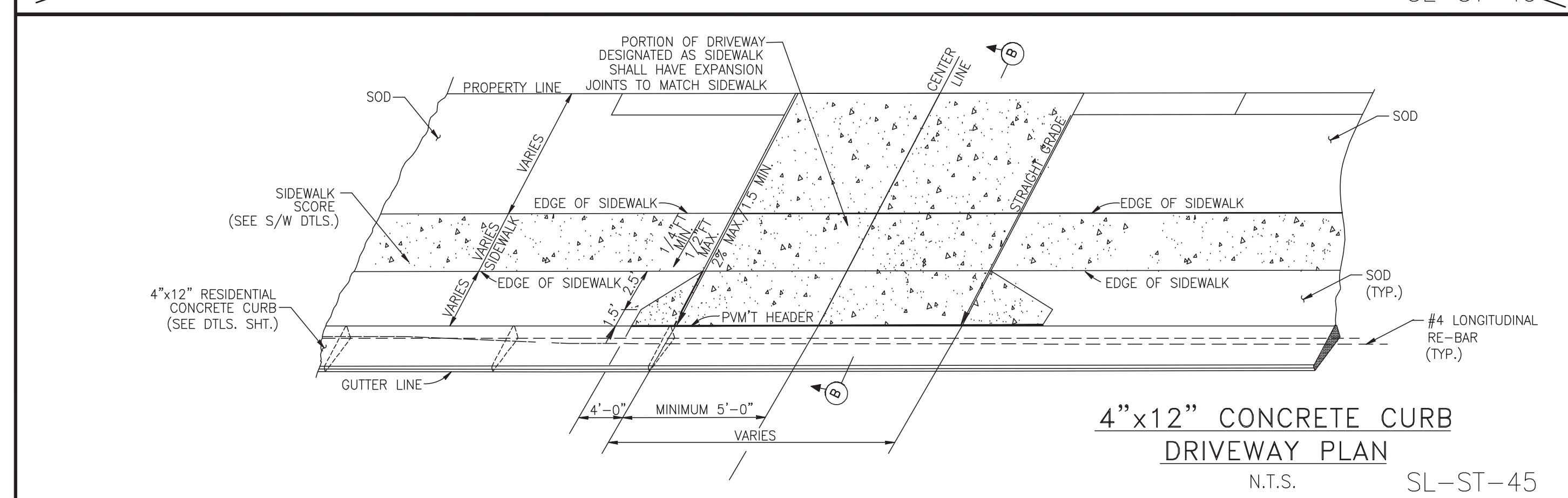


TABLE-A

CEMENT STABILIZED SAND 2-SK/C.Y.	
RESIDENTIAL	4" MINIMUM
COMMERCIAL	6" MINIMUM
INDUSTRIAL	8" MINIMUM
REINFORCED CONCRETE PAVEMENT 3,000 PSI MIN	
RESIDENTIAL	4" MINIMUM
COMMERCIAL	6" MINIMUM
INDUSTRIAL	8" MINIMUM

DRIVEWAY PAVEMENT CONSTRUCTION TABLE



No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE _____

CITY OF SUGAR LAND, TEXAS

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

DRIVEWAY CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-27
SHEET OF

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

NO.	DATE	DESCRIPTION	APPROVED

REVISIONS

B & L
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ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

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DOUGLAS B. ROESSLER
56739
LICENSED PROFESSIONAL ENGINEER

03-03-2023

OWNER:

RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DRIVEWAY CONSTRUCTION DETAILS
SL-27

PROJECT NO. 14396

HYPER-CHLORINATED WATER NOTES

1. HYPER-CHLORINATED WATER SHALL NOT BE DISCHARGED TO THE STORM SEWER OR DRAINAGE SYSTEM UNLESS THE CHLORINE CONCENTRATION IS REDUCED TO 4 PPM OR LESS BY CHEMICALLY TREATING THE DECHLORINATE OR BY ONSITE RETENTION UNTIL NATURAL ATTENUATION OCCURS.
2. DISCHARGE OF HIGH FLOW RATE AND VELOCITIES SHALL BE DIRECTED TO VELOCITY DISSIPATION DEVICES.
3. CHLORINE CAN BURN VEGETATION, SO IT SHOULD NOT BE USED TO WATER VEGETATION THAT IS BEING USED FOR STABILIZATION, VEGETATED FILTERS OR BUFFERS, OR OTHER VEGETATION TO BE PRESERVED.
4. HYPER-CHLORINATED WATER MAY BE DISCHARGED TO AN ONSITE RETENTION AREA UNTIL NATURAL ATTENUATION OCCURS. THE AREA MAY BE A DRY STORMWATER RETENTION BASIN, OR A PORTION OF THE SITE MAY BE GRADED TO FORM A TEMPORARY PIT OR BERMED AREA.
5. NATURAL ATTENUATION OF THE CHLORINE MAY BE AIDED BY AERATION. AIR CAN BE ADDED TO THE WATER BY DIRECTING THE DISCHARGE OVER A ROUGH SURFACE BEFORE IT ENTERS THE TEMPORARY RETENTION AREA OR AN AERATION DEVICE CAN BE PLACED IN THE RETENTION AREA.
6. ONSITE DISCHARGE MAY REQUIRE SEVERAL HOURS TO A FEW DAYS BEFORE THE WATER IS SAFE TO DISCHARGE. THE RATE AT WHICH CHLORINE WILL ATTENUATE IS AFFECTED BY SOIL CONDITIONS AND WEATHER CONDITIONS. ATTENUATION WILL OCCUR QUICKEST DURING WARM, SUNNY, AND DRY PERIODS.

SANITARY WASTE NOTES

1. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE TOILETS BASED ON THE NUMBER OF EMPLOYEES USING THE TOILETS AND THE HOURS THEY WILL WORK.
2. SANITARY FACILITIES SHALL BE PLACED ON A MINIMUM OF 50 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE, CHANNELS OR SURFACE WATERS. IF UNABLE TO MEET THE 50 FOOT REQUIREMENT DUE TO SITE CONFIGURATION, PORTABLE TOILETS SHALL BE A MINIMUM OF 20 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE CHANNELS OR SURFACE WATER AND SECONDARY CONTAINMENT SHALL BE PROVIDED IN CASE OF SPILLS.
3. THE LOCATION OF THE PORTABLE TOILETS SHALL BE ACCESSIBLE TO MAINTENANCE TRUCKS WITHOUT DAMAGING EROSION AND SEDIMENT CONTROLS OR CAUSING EROSION OR TRACKING PROBLEMS.
4. SANITARY FACILITIES SHALL BE FULLY ENCLOSED AND DESIGNED IN A MANNER THAT MINIMIZES THE EXPOSURE OF SANITARY WASTE TO PRECIPITATION AND STORMWATER RUNOFF.
5. WHEN HIGH WINDS ARE EXPECTED, PORTABLE TOILETS SHALL BE ANCHORED OR OTHERWISE SECURED TO PREVENT THEM FROM BEING BLOWN OVER.
6. THE COMPANY THAT SUPPLIES AND MAINTAINS THE PORTABLE TOILETS SHALL BE NOTIFIED IMMEDIATELY IF A TOILET IS TIPPED OVER OR DAMAGED IN A WAY THAT THE RESULTS IN A DISCHARGE. DISCHARGED SOLID MATTER SHALL BE VACUUMED INTO A SEPTIC TRUCK BY THE COMPANY THAT MAINTAINS THE TOILETS.
7. THE OPERATOR OF THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL BE NOTIFIED IF A DISCHARGE FROM THE PORTABLE TOILETS ENTERS THE MS4 OR A NATURAL CHANNEL.
8. SANITARY FACILITIES SHALL NOT BE PERMITTED ON PUBLIC SIDEWALKS, STREETS OR INLETS.

DEBRIS AND TRASH NOTES

1. ALL WASTE SOURCES AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL MATERIAL AND WASTE SOURCES BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS.
2. CONSTRUCTION WASTE AND TRASH SHALL BE STORED IN A MANNER THAT MINIMIZES ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.
3. WHENEVER POSSIBLE, MINIMIZE PRODUCTION OF DEBRIS AND TRASH.
4. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES.
5. SEGREGATE POTENTIAL HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE DEBRIS.
6. PROHIBIT LITTERING BY WORKERS AND VISITORS.
7. POLICE SITE DAILY FOR LITTER AND DEBRIS.
8. ENFORCE SOLID WASTE HANDLING AND STORAGE PROCEDURES.
9. IF FEASIBLE, RECYCLE CONSTRUCTION AND DEMOLITION DEBRIS SUCH AS WOOD, METAL, AND CONCRETE.
10. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN THEY ARE 90 PERCENT FULL OR MORE FREQUENTLY.
11. GENERAL CONSTRUCTION DEBRIS MAY BE HAULED TO A LICENSED CONSTRUCTION DEBRIS LANDFILL.
12. USE WASTE AND RECYCLING HAULERS/FACILITIES APPROVED BY THE LOCAL MUNICIPALITY.
13. CHIPPING OF TREES AND BRUSH FOR USE SUCH AS MULCH IS PREFERRED ALTERNATIVE TO ONSITE DISPOSAL.
14. NO WASTE, TRASH, OR DEBRIS SHALL BE BURIED, BURNED OR OTHER WISE DISPOSED OF ONSITE.
15. CLEARLY MARK ON ALL DEBRIS AND TRASH CONTAINERS WHICH MATERIALS ARE ACCEPTABLE. FOREMAN AND/OR CONSTRUCTION SUPERVISOR SHALL MONITOR ONSITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES DAILY.

CONCRETE SAWCUTTING WASTE NOTES

1. DURING SAWCUTTING OPERATIONS, THE SLURRY AND CUTTINGS SHALL BE CONTINUOUSLY VACUUMED OR OTHERWISE RECOVERED AND NOT BE ALLOWED TO DISCHARGE FROM THE SITE.
2. IF THE PAVEMENT TO BE CUT IS NEAR A STORM DRAIN INLET, THE INLET SHALL BE BLOCKED BY SANDBAGS OR EQUIVALENT TEMPORARY MEASURES TO PREVENT THE SLURRY FROM ENTERING THE INLET. REMOVE THE SANDBAGS IMMEDIATELY AFTER COMPLETING SAWCUTTING OPERATIONS, SO THEY DO NOT CAUSE DRAINAGE PROBLEMS DURING STORM EVENTS.
3. SLURRY AND CUTTINGS SHALL NOT BE ALLOWED TO REMAIN ON THE PAVEMENT TO DRY OUT.
4. DEVELOP PRE-DETERMINED, SAFE SLURRY DISPOSAL AREAS.
5. COLLECTED SLURRY AND CUTTINGS SHOULD BE IMMEDIATELY HAULED FROM THE SITE FOR DISPOSAL AT A WASTE FACILITY. IF THIS IS NOT POSSIBLE, THE SLURRY AND CUTTINGS SHALL BE DISCHARGED INTO ONSITE CONTAINMENT.
6. THE ONSITE CONTAINMENT MAY BE EXCAVATED OR BERMED PIT LINED WITH PLASTIC MINIMUM OF 10 MILLIMETERS THICK. IF THE PROJECT INCLUDES PLACEMENT OF NEW CONCRETE, SLURRY FROM SAWCUTTING MAY BE DISPOSED OF IN FACILITIES DESIGNATED FOR THE WASHOUT OF CONCRETE TRUCKS INSTEAD CONSTRUCTING A SEPARATE CONTAINMENT.
7. THE CONTAINMENT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL THE COLLECTION AREA BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS.
8. SEVERAL, PORTABLE, PRE-FABRICATED, CONCRETE WASHOUT, COLLECTION BASINS ARE COMMERCIALY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO AN ONSITE CONTAINMENT PIT.
9. REMOVE WASTER CONCRETE WHEN THE CONTAINMENT IS HALF FULL. ALWAYS MAINTAIN A MINIMUM OF ONE FOOT FREEBOARD.
10. ONSITE EVAPORATION OF SLURRY WATER AND RECYCLING OF THE CONCRETE WASTE IS THE PREFERRED DISPOSAL METHOD. WHEN THIS IS NOT FEASIBLE, DISCHARGE FROM THE COLLECTION AREA SHALL ONLY BE ALLOWED IF A PASSIVE TREATMENT SYSTEM IS USED TO REMOVE THE FINES. MECHANICAL MIXING IS REQUIRED IN THE COLLECTION AREA. THE pH MUST BE TESTED, AND DISCHARGED IS ALLOWED IN IF THE pH DOES NOT EXCEED 8.0. THE pH MAY BE LOWERED BY ADDING SULFURIC ACID TO THE SLURRY WATER.
11. CARE SHALL BE EXERCISED WHEN TREATING THE SLURRY WATER FOR DISCHARGE. MONITORING MUST BE IMPLEMENTED TO VERIFY THAT DISCHARGES FROM THE COLLECTION AREA DO NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
12. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO CONTROL SAWCUTTING WASTE, SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

SPILL AND LEAK RESPONSE NOTES

1. RECORDS OF RELEASES THAT EXCEED THE REPORTABLE QUANTITY (RQ) FOR OIL AND HAZARDOUS SUBSTANCES SHOULD BE MAINTAINED IN ACCORDANCE WITH THE FEDERAL AND STATE REGULATIONS.
2. EMERGENCY CONTACT INFORMATION AND SPILL RESPONSE PROCEDURES SHALL BE POSTED IN A READILY AVAILABLE REA FOR ACCESS BY ALL EMPLOYEES AND SUBCONTRACTORS.
3. SPILL CONTAINMENT KITS SHOULD BE MAINTAINED FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS THAT ARE REGULARLY ONSITE. MATERIALS IN KITS SHOULD BE BASED ON CONTAINMENT GUIDELINES IN THE MATERIALS SAFETY AND DATA SHEETS (MSDS) FOR THE SUBSTANCE MOST FREQUENTLY ONSITE.
4. SPILL KITS ARE INTENDED FOR RESPONSE TO SMALL SPILLS, TYPICALLY LESS THAN 5 GALLONS, OF SUBSTANCES THAT ARE NOT EXTREMELY HAZARDOUS.
5. SIGNIFICANT SPILLS OR OTHER RELEASES WARRANT IMMEDIATE RESPONSE BY TRAINED PROFESSIONALS.
6. SUSPECTED JOB-SITE CONTAMINATION SHOULD BE IMMEDIATELY REPORTED TO REGULATORY AUTHORITIES AND PROTECTIVE ACTIONS TAKEN.
7. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE A SITE SUPERINTENDENT, FOREMAN, SAFETY OFFICER, OR OTHER SENIOR PERSON WHO IS ONSITE DAILY TO BE THE SPILL AND LEAK RESPONSE COORDINATOR (SLRC) AND MUST HAVE KNOWLEDGE OF AND BE TRAINED IN CORRECT SPILL AND LEAK RESPONSE PROCEDURES.

SUBGRADE STABILIZATION NOTES

1. MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH WORKDAY.
2. STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN NO RUN OFF.
3. STABILIZATION SHALL NOT OCCUR IMMEDIATELY BEFORE AND DURING RAINFALL EVENTS.
4. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE AREA BEING STABILIZED UNTIL AFTER COMPLETION OF MIXING THE CHEMICAL.
5. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE ROUGHENED TO INTERCEPT CHEMICAL RUNOFF AND REDUCE RUNOFF VELOCITY.
6. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE DISSOLVED IN THE WATER AND WON'T BE AFFECTED BY A BARRIER AND THE SUSPENDED SOLIDS ARE SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.
7. IF SOIL STABILIZERS ARE STORED ONSITE, THEY SHALL BE CONSIDERED HAZARDOUS MATERIAL AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LIME OR CHEMICAL OVERFLOW.
8. THE CONTRACTOR SHALL INSTALL BMP'S TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEMS TO PREVENT LIME FROM ENTERING THE MS4 SYSTEM.

SANDBLASTING WASTE NOTES

1. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE THE SITE SUPERINTENDENT, FOREMAN, OR OTHER PERSON WHO IS RESPONSIBLE FOR SANDBLASTING TO ALSO BE RESPONSIBLE FOR SANDBLASTING WASTE MANAGEMENT.
2. PROHIBIT THE DISCHARGE OF SANDBLASTING WASTE.
3. USE ONLY INERT, NON-DEGRADABLE SANDBLAST MEDIA.
4. USE APPROPRIATE EQUIPMENT FOR THE JOB; DO NOT OVER-BLAST.
5. WHENEVER POSSIBLE, BLAST IN A DOWNWARD DIRECTION.
6. CEASE BLASTING ACTIVITIES IN HIGH WINDS OR IF WIND DIRECTION COULD TRANSPORT GRIT TO DRAINAGE FACILITIES.
7. INSTALL DUST SHIELDING AROUND SANDBLASTING AREAS.
8. COLLECT AND DISPOSE OF ALL SPENT SANDBLAST GRIT, USE DUST CONTAINMENT FABRICS AND DUST COLLECTION HOPPERS AND BARRELS.
9. NON-HAZARDOUS SANDBLAST GRIT MAY BE DISPOSED IN PERMITTED CONSTRUCTION DEBRIS LANDFILLS OR PERMITTED SANITARY LANDFILLS.
10. IF SANDBLAST MEDIA CANNOT BE FULLY CONTAINED, CONSTRUCT SEDIMENT TRAPS DOWNSTREAM FROM BLASTING AREA WHERE APPROPRIATE.
11. USE SAND FENCING WHERE APPROPRIATE IN AREAS WHERE BLAST MEDIA CANNOT BE FULLY CONTAINED.
12. IF NECESSARY, INSTALL MISTING EQUIPMENT TO REMOVE SANDBLAST GRIT FROM THE AIR PREVENT RUNOFF FROM MISTING OPERATIONS FROM ENTERING DRAINAGE SYSTEMS.
13. USE VACUUM GRIT COLLECTION SYSTEMS WHERE POSSIBLE.
14. KEEP RECORDS OF SANDBLASTING MATERIALS, PROCEDURES, AND WEATHER CONDITIONS ON A DAILY BASIS.
15. TAKE ALL REASONABLE PRECAUTIONS TO ENSURE THAT SANDBLASTING GRIT IS CONTAINED AND KEPT AWAY FROM DRAINAGE STRUCTURES.
16. SAND BLASTING MEDIA SHOULD ALWAYS BE STORED UNDER COVER AWAY FROM DRAINAGE STRUCTURES.
17. ENSURE THAT STORED MEDIA OR GRIT IS NOT SUBJECTED TO TRANSPORT BY WIND.
18. ENSURE THAT ALL SANDBLASTING EQUIPMENT AND STORAGE CONTAINERS COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS.
19. CAPTURE AND TREAT RUNOFF, WHICH COMES INTO CONTACT WITH SANDBLASTING MATERIALS OR WASTE.

No.	DATE	REVISION

SEAL:

DESIGN ENGINEER: _____ DATE _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

GENERAL EROSION CONTROL NOTES

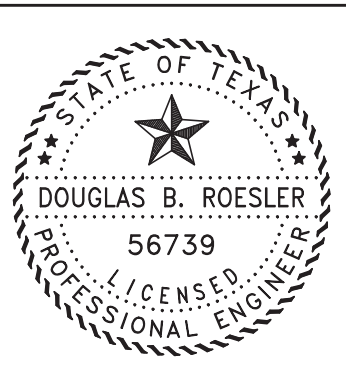
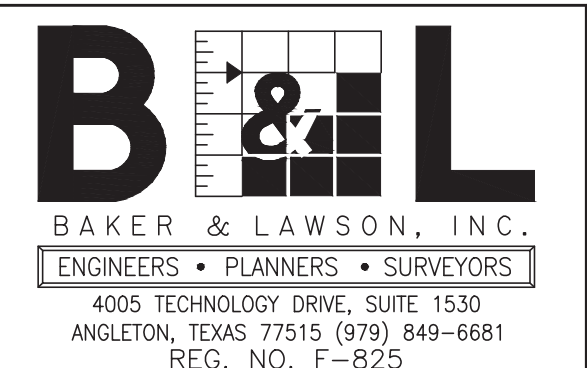
JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-33

SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____



The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

GENERAL EROSION CONTROL NOTES
SL-33

PROJECT NO. 14396



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Development Services Director

AGENDA CONTENT: Discussion and possible action on a revised preliminary plat for Angleton Park Place Subdivision Section 1.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: None. **FUNDS REQUESTED:** None.

FUND: None

EXECUTIVE SUMMARY:

The subject property is located on the southeast corner of E. Phillips Road and Gifford Road, consists of 7.447 acres in Section 1 (16.73 acres in total) and is in the Manufactured Home (MH) zoning district. This project is a manufactured home subdivision and is not a manufactured home park and is proposing 50 lots, 4 blocks, 6 reserves on a 17.72-acre site.

The preliminary plat was originally approved by the Planning and Zoning Commission and City Council in 2021. The applicant Mike Morgan purchased the adjacent lot and will build two entrances on E Phillips Road. This change triggered the subdivision preliminary plat to be resubmitted as revised.

Pursuant to Section 23-11.I subdivisions containing 30 or more lots must provide two points of 100-year storm compliant public access constructed to ACM standards. The previous planned was approved to have a secondary access off of Gifford Road with the improvements being the responsibility of the Developer. The resubmitted preliminary plat does not entail any new improvements on Gifford Rd.

The second issue is the improvement of Gifford Road on the east side of the property. At one point in time the developer was instructed by staff that half of Gifford Road would have to be constructed as part of this project. Should a variance to Section 23.11.I not be granted with any future phase(s), then the only other plausible point for a second 100-year storm compliant public access would be cul-de-sac bulb on Lalia Loop. Using that as the second access point would require construction of Gifford Road.

STAFF REVIEW:

The City Engineer has reviewed the submitted Preliminary Plat for Angleton Park Place Subdivision, Section 1 and the listed (12) comments have been addressed by the applicant. At

Revisions or resubmittal were received prior to the meeting. Staff has cleared all noted comments.

RECOMMENDATION:

The Planning Commission should approve the Angleton Park Place Preliminary Plat for Angleton Park Place Subdivision, and forward the Preliminary Plat to Council for final action.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Angleton Park Place Preliminary Plat (Revised) – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
3. Notate applicable future Angleton Park Place phases on the preliminary plat.
4. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.
5. Verify and update plat to show this portion of Gifford Road as unimproved ROW.
6. Show existing Gifford Road intersection on the plat.
7. For Reserve "A", update spelling to "Residential".
8. Verify and update the name for Boardwalk Street with "Boardwalk" to be one word.
9. Remove fire easement from plat if not applicable.
10. Move Reserve and Curve Tables outside of plat drawing.
11. Include information in plat notes for ownership and maintenance of proposed plat reserves.
12. Remove additional text from the Engineer's Certificate.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Angleton Park Place Preliminary Plat (Revised) be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

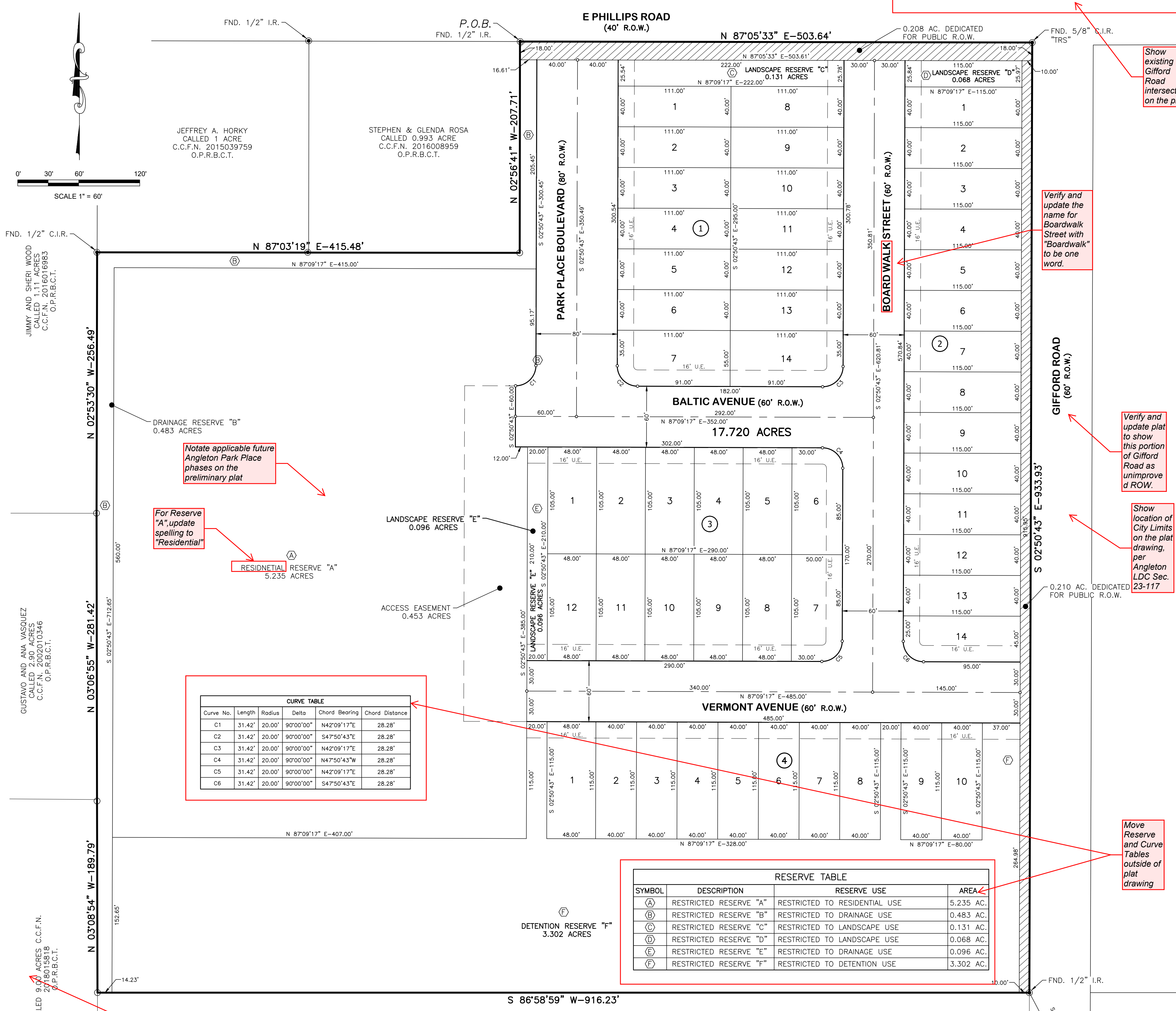
Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments



DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT". THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOTS OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HERENAFOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEMAND NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO INSPECT AND MAINTAIN THE DRAINAGE AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNSANITARY CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

FIRE LANE AND FIRE EASEMENT

THAT THE UNDERSIGNED DOES HEREBY COVENANT AND AGREE THAT THEY SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD ALL-WEATHER SURFACE AND THAT THEY SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTION, INCLUDING BUT NOT LIMITED TO THE PARKING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPROVEMENTS. THE "RESERVES" OF FIRE APPARATUS, THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN APPROPRIATE SIGNS IN CONSPICUOUS PLACES ALONG SUCH FIRE LANE, STATING THREE LANE, NO PARKING. THE POLICE OR HIS DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.

ANGLETION DRAINAGE DISTRICT

ACCEPTED THIS ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS _____

BOARD MEMBER _____

BOARD MEMBER _____

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS ____ DAY OF _____, 20____, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY _____

APPROVED THIS ____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

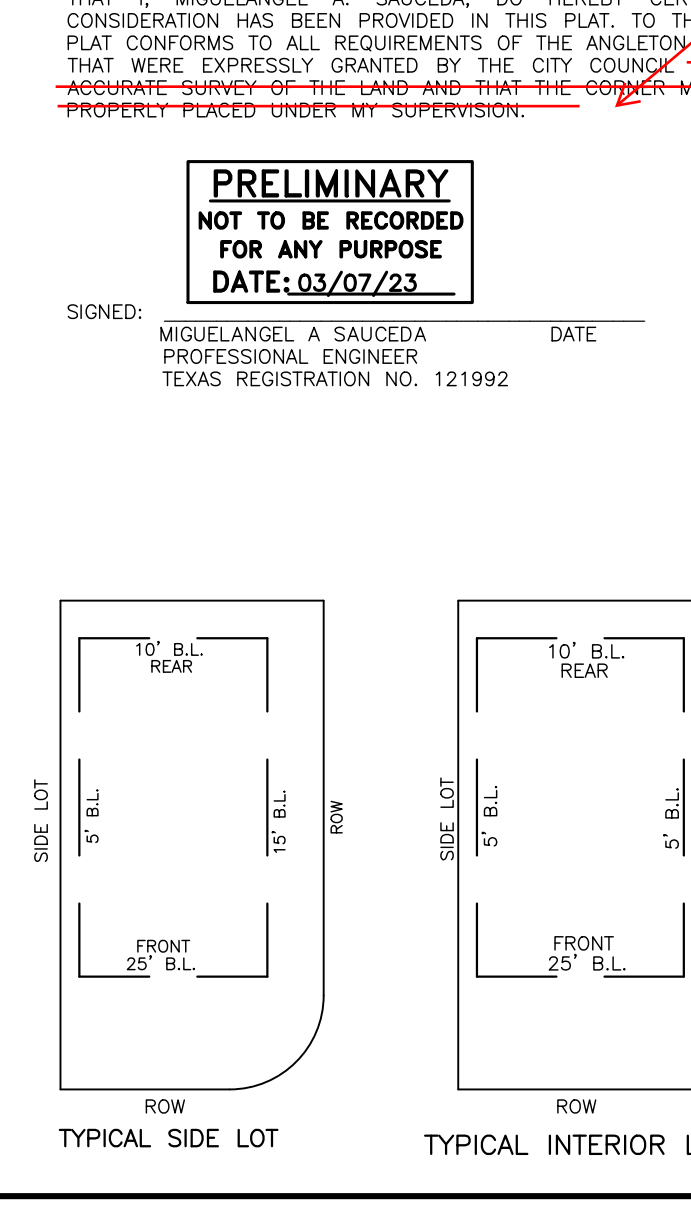
JASON PEREZ, MAYOR

CITY SECRETARY _____

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC
STATE OF TEXAS



PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 03/07/23

SIGNED: MIGUELANGELO A SAUCEDA DATE _____
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 121992

OWNERS:
MIKE MORGAN
1915 N 288B
FREEPORT, TEXAS 77541

PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 03/07/23

KNOW ALL MEN BY THESE PRESENTS, THAT I, DANIEL HEIDRICH, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL. THIS PLAT FROM AN APPROXIMATE AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

DANIEL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR NO. 5378

REMOVE ADDITIONAL TEXT FROM THE ENGINEER'S CERTIFICATE

PRELIMINARY PLAT

ANGLETON PARK PLACE

A 17.720 ACRE

50 LOTS 4 BLOCKS 6 RESERVES SUBDIVISION

BEING ALL OF A CALLED 16.72 ACRE TRACT AS RECORDED IN C.C.F.N. 2016023917 & ALL OF A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 BOTH OF THE O.P.R.B.C.T.

LOCATED IN THE E. WALLER SURVEY, ABSTRACT NO. 134 CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS

B&L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS

4005 Technology Drive, Suite 1530
Angleton, TX 77515
OFFICE: (979) 849-6681
TBPLS NO. 10052500
REG. NO. F-825

PROJECT: 14320 SCALE: 1" = 60'
DRAWING NO.: 14320 PLAT DATE: 3/2/2023 DRAWN BY: AD
CHECK BY: DH

FIELD NOTES FOR 17.720 ACRES

DESCRIPTION OF A 17.720 ACRE TRACT OF LAND, LOCATED WITHIN EDWIN WALLER LEAGUE, ABSTRACT NO. 134, BEING ALL OF A CALLED 16.72 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. 2016023917 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.) AND A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 OF THE O.P.R.B.C.T., REFERRED TO HEREINAFTER AFTER AS THE ABOVE REFERENCED TRACT OF LAND SAID 17.720 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2"-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE SOUTH RIGHT-OF-WAY (R.O.W.) LINE OF EAST PHILLIPS ROAD (40' R.O.W. VOL. 26, PG. 210 OF THE BRAZORIA COUNTY DEED RECORDS (B.C.D.R.)) FOR THE NORTHEAST CORNER OF A CALLED 0.993 ACRE TRACT RECORDED UNDER B.C.C.F. NO. 2016008959;

THENCE NORTH 87° 05'33" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH R.O.W. LINE OF SAID PHILLIPS ROAD, A DISTANCE OF 933.93 FEET TO A 5/8"-INCH CAPPED IRON ROD, STAMPED "TRS", FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE WEST R.O.W. LINE OF GIFFORD ROAD (60' UNIMPROVED, VOL. 26, PG. 10 B.C.D.R.);

THENCE SOUTH 02° 50'43" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID GIFFORD ROAD, A DISTANCE OF 933.93 FEET TO A 1/2"-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE NORTH LINE OF A CALLED 70.837 ACRE TRACT AS RECORDED IN C.C.F.N. 2005047250 OF THE O.P.R.B.C.T.);

THENCE SOUTH 86° 58'59" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH LINE OF SAID 70.837 ACRE TRACT, A DISTANCE OF 916.23 FEET TO A 5/8"-INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" SET FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE EAST LINE OF A CALLED 9.00 ACRE TRACT OF LAND AS RECORDED IN C.C.F.N. 2018015818 OF THE O.P.R.B.C.T.);

THENCE NORTH 03° 08' 54" WEST, ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 9.00 ACRE TRACT, A DISTANCE OF 189.79 FEET TO A 5/8"-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAME BEING THE NORTHEAST CORNER OF SAID 9.00 ACRE TRACT AND THE SOUTHWEST CORNER OF A CALLED 2.90 ACRE TRACT AS RECORDED IN C.C.F.N. 2020010346 OF THE O.P.R.B.C.T.);

THENCE NORTH 03° 06' 55" WEST, CONTINUING ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 2.90 ACRE TRACT, A DISTANCE OF 281.42 FEET TO A 5/8"-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAME BEING THE NORTHEAST CORNER OF SAID 2.90 ACRE TRACT AND THE SOUTHWEST CORNER OF A CALLED 1.11 ACRE TRACT AS RECORDED IN C.C.F.N. 2016016983 OF THE O.P.R.B.C.T.);

THENCE NORTH 02° 53' 30" WEST, CONTINUING ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 1.11 ACRE TRACT, A DISTANCE OF 256.49 FEET TO A 1/2"-INCH IRON ROD WITH CAP FOUND FOR THE MOST WESTERLY NORTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTHWEST CORNER OF A CALLED 1 ACRE TRACT AS RECORDED IN C.C.F.N. 2015039759 OF THE O.P.R.B.C.T.);

THENCE NORTH 87° 03' 19" EAST, ALONG A NORTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID ACRE TRACT AND THE SOUTH LINE OF A CALLED 0.993 ACRE TRACT OF LAND AS RECORDED IN C.C.F.N. 2016008959 OF THE O.P.R.B.C.T., A DISTANCE OF 415.48 FEET TO A 5/8"-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR AN INTERIOR CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTHWEST CORNER OF SAID 0.993 ACRE TRACT;

THENCE NORTH 02° 56' 41" WEST, ALONG THE NORTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 0.993 ACRE TRACT, A DISTANCE OF 207.71 FEET TO THE POINT OF BEGINNING, CONTAINING 17.720 ACRES OF LAND.

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT MIKE MORGAN, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HERENAFOVE DESCRIBED PROPERTY AS ANGLETON PARK PLACE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON, THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES, THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROUNTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROUNTS WHICH MAY IN ANY WAY ENDOUSE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

MIKE MORGAN

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED MIKE MORGAN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____.

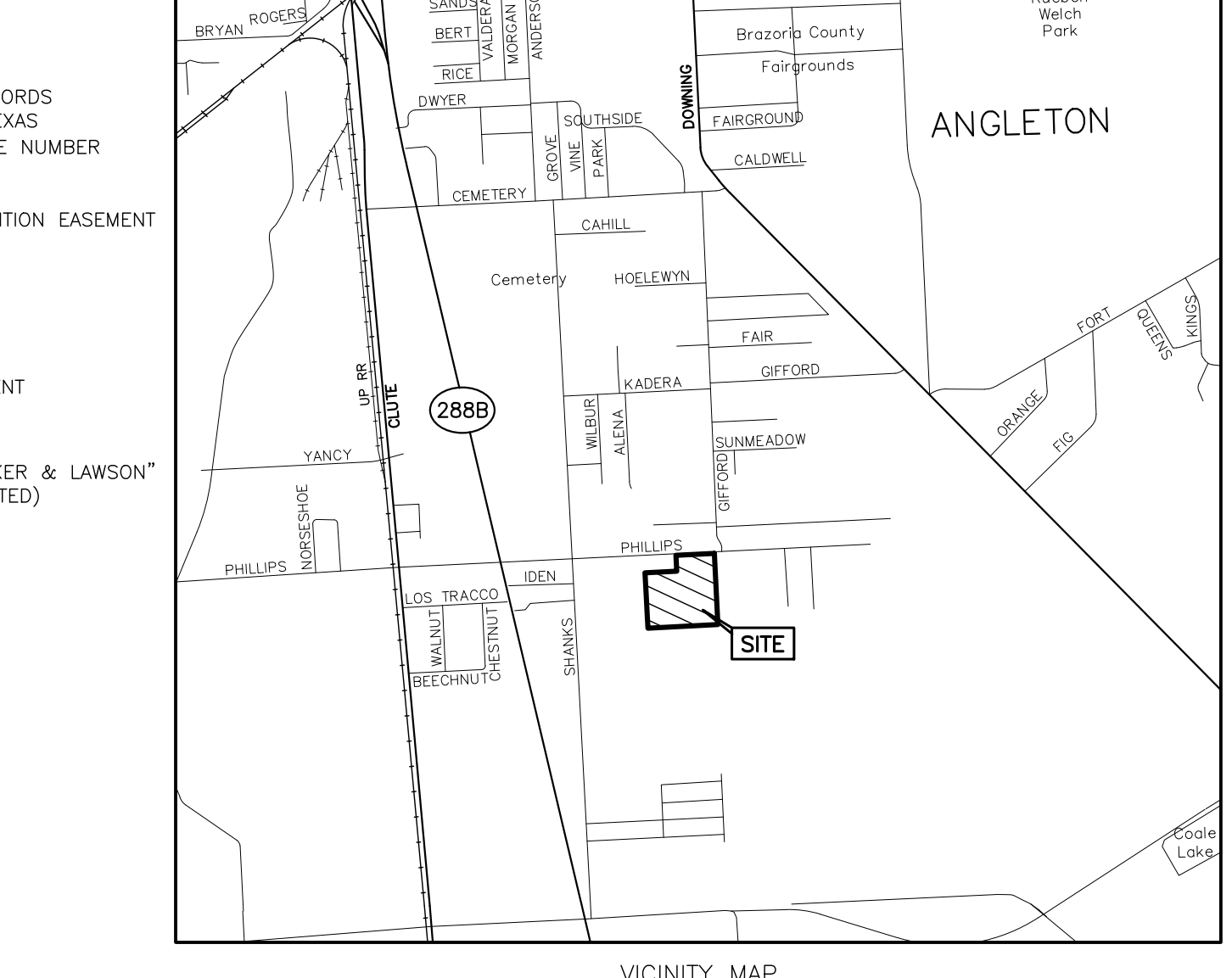
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

STATE OF TEXAS §
COUNTY OF BRAZORIA §

PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 03/07/23

DANIEL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR NO. 5378



VICINITY MAP
NOT TO SCALE

- NOTES:**
1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 17.720 ACRES INTO A 50 LOT 4 BLOCK 6 RESERVE SUBDIVISION.
 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
 4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY; MAP NUMBER 48039C0445K; WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
 5. PROJECT BENCHMARK:
ANGLETON = PUBLISHED ELEVATION = 25.81'
TRIANGULATION STATION DISK SET IN TOP OF CONCRETE POST STAMPING; ANGLETON 1931 LOCATED ABOUT 1 MILE SOUTHWEST OF ANGLETON ON LAND OWNED BY MR. JAMISON, 40 FEET NORTH EAST OF COUNTY ROAD 221, NEAR MAIN GATE TO HOMESTEAD.

6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:
THAT I, DANIEL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 03/07/23

DANIEL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
LAND SURVEYOR NO. 5378

PRELIMINARY PLAT

ANGLETON PARK PLACE

A 17.720 ACRE

50 LOTS 4 BLOCKS 6 RESERVES SUBDIVISION

BEING ALL OF A CALLED 16.72 ACRE TRACT AS RECORDED IN C.C.F.N. 2016023917 & ALL OF A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 BOTH OF THE O.P.R.B.C.T.

LOCATED IN THE E. WALLER SURVEY, ABSTRACT NO. 134 CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS

B&L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS

4005 Technology Drive, Suite 1530
Angleton, TX 77515
OFFICE: (979) 849-6681
TBPLS NO. 10052500
REG. NO. F-825

PROJECT: 14320 SCALE: 1" = 60'
DRAWING NO.: 14320 PLAT DATE: 3/2/2023 DRAWN BY: AD
CHECK BY: DH



April 3, 2023

Mr. Otis Spriggs
 Director of Development Services
 City of Angleton
 121 S. Velasco
 Angleton, TX 77515

Re: Response Letter - Angleton Park Place Preliminary Plat (Revised) – 1st Submittal Review
 Angleton, Texas
 HDR Job No. 10361761

Dear Mr. Spriggs:

Baker & Lawson received a summary of comments for the Angleton Park Place Preliminary Plat (Revised). The comments indicated on the said report have been addressed as follows:

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block. **Action:** Lot and block table added to plat.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing. **Action:** Owner name added to plat as indicated.
3. Notate applicable future Angleton Park Place phases on the preliminary plat. **Action:** Future Angleton Park Place phases have been noted on plat.
4. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117. **Action:** City Limits line has been noted on the plat.
5. Verify and update plat to show this portion of Gifford Road as unimproved ROW. **Action:** Updated plat to show an improved ROW.
6. Show existing Gifford Road intersection on the plat. **Action:** Existing Gifford Road has been indicated on plat.
7. For Reserve "A", update spelling to "Residential". **Action:** Spelling has been corrected on plat.
8. Verify and update the name for Boardwalk Street with "Boardwalk" to be one word. **Action:** "Boardwalk" has been updated on the plat.
9. Remove fire easement from plat if not applicable. **Action:** Fire easement has been removed from plat.
10. Move Reserve and Curve Tables outside of plat drawing. **Action:** Moved from plat drawing.

DOUGLAS B. ROESLER, P.E. - Principal Engineer
 4005 TECHNOLOGY DRIVE, SUITE 1530, ANGLETON, TEXAS 77515
 (979) 849-6681 • Fax (979) 849-4689

11. Include information in plat notes for ownership and maintenance of proposed plat reserves. **Action:** Ownership and maintenance information has been updated.

12. Remove additional text from the Engineer's Certificate. **Action:** Additional text has been removed from plat.

The revised plat is included with this submittal.

If you have any questions, please feel free to contact us at our office.

Sincerely,



Robin Crouch
Vice President

FIELD NOTES FOR 17.720 ACRES
 DESCRIPTION OF A 17.720 ACRE TRACT OF LAND, LOCATED WITHIN EDWIN WALLER LEAGUE, ABSTRACT NO. 134, BEING ALL OF A CALLED 16.72 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2016023917 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.) AND A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 OF THE O.P.R.B.C.T., REFERRED TO HEREINAFTER AS THE ABOVE REFERENCED TRACT OF LAND, SAID 17.720 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):
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 COUNTY OF BRAZORIA §
 THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

MIKE MORGAN
 STATE OF TEXAS §
 COUNTY OF BRAZORIA §
 BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED MIKE MORGAN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.
 GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____.
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES
 STATE OF TEXAS §
 COUNTY OF BRAZORIA §
 KNOW ALL MEN BY THESE PRESENTS: THAT I, MIGUEL ANGEL A. SAUCEDA, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 04/03/23
 SIGNED: MIGUEL ANGEL A. SAUCEDA DATE: _____
 PROFESSIONAL ENGINEER
 TEXAS REGISTRATION NO. 121992

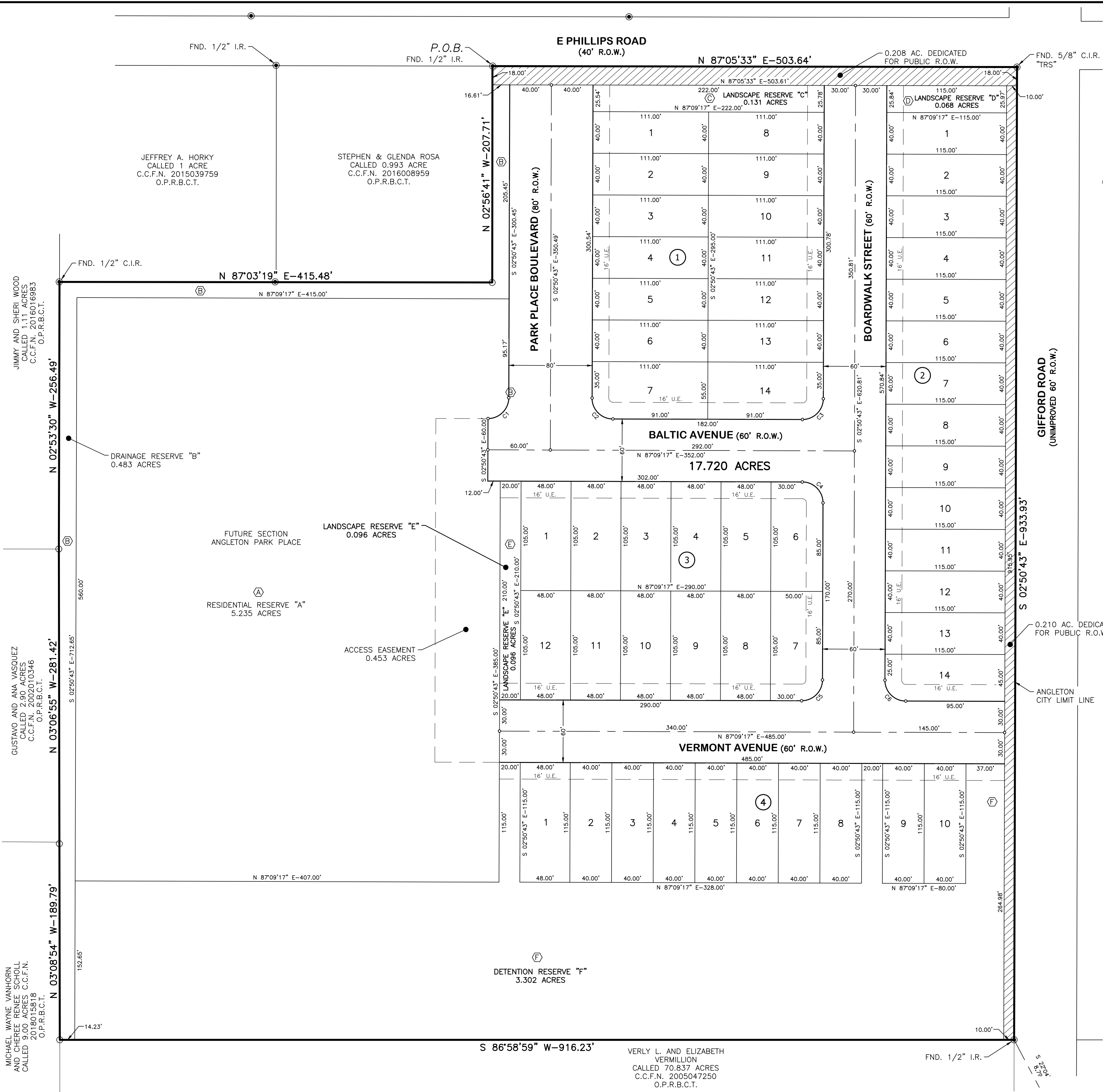
DRAINAGE AND DETENTION EASEMENT
 THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITH THE SYSTEMS OF THIS ADDITION WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREBY DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT
 ACCEPTED THIS THE ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.
 THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:
 1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.
 THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.
 THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS
 BOARD MEMBER
 BOARD MEMBER
 PLANNING AND ZONING COMMISSION AND CITY COUNCIL
 APPROVED THIS ____ DAY OF _____, 20____, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.
 BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION
 CITY SECRETARY
 APPROVED THIS ____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR
 CITY SECRETARY
 STATE OF TEXAS §
 COUNTY OF BRAZORIA §
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC
 STATE OF TEXAS

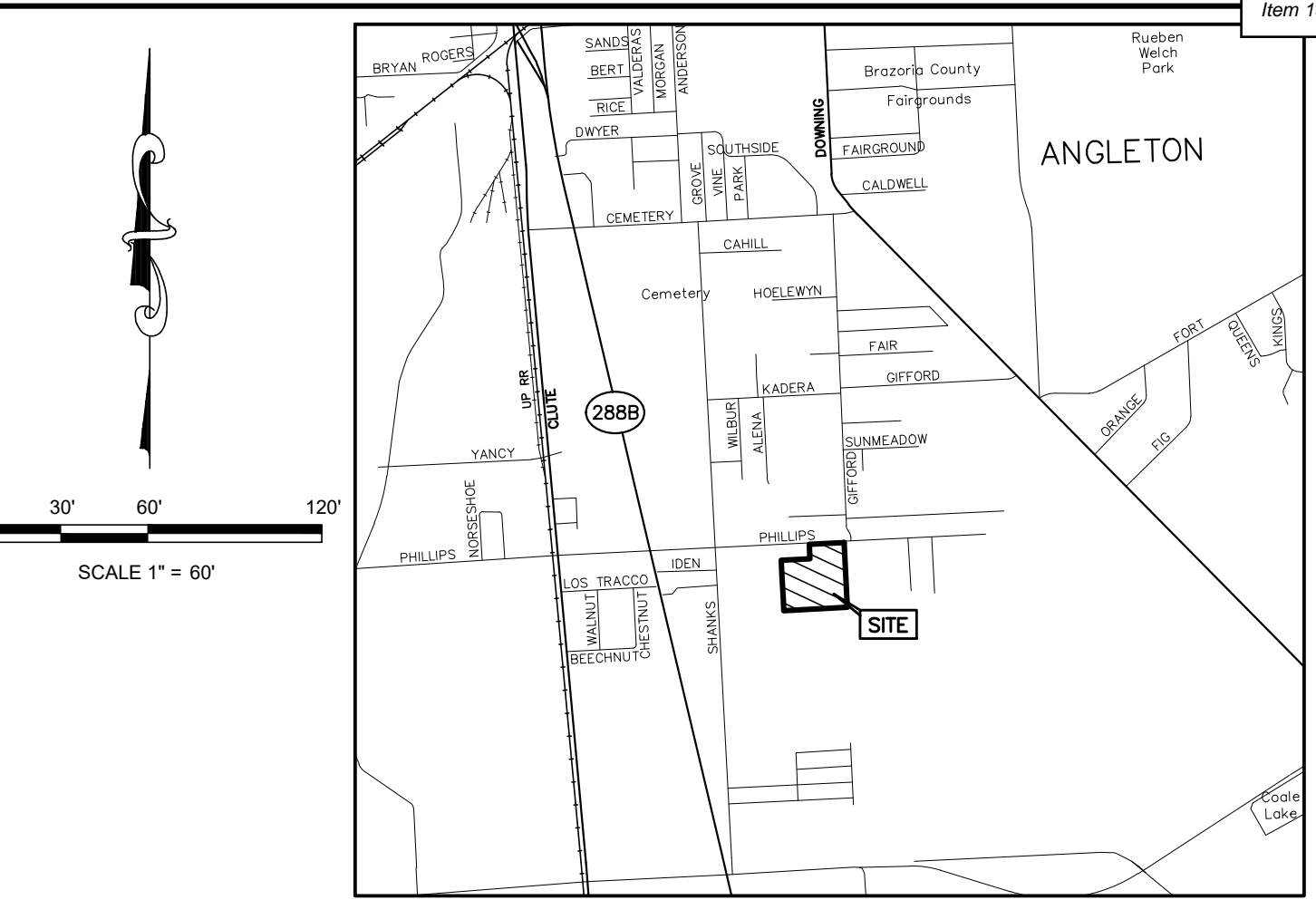


CURVE TABLE				
Curve No.	Length	Radius	Delta	Chord Bearing
C1	31.42'	20.00'	90°00'00"	N42°09'17"E
C2	31.42'	20.00'	90°00'00"	S47°50'43"E
C3	31.42'	20.00'	90°00'00"	N42°09'17"E
C4	31.42'	20.00'	90°00'00"	N47°50'43"W
C5	31.42'	20.00'	90°00'00"	N42°09'17"E
C6	31.42'	20.00'	90°00'00"	S47°50'43"E

BLOCK 1		BLOCK 2		BLOCK 3		BLOCK 4	
PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE
LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.
1	4,440	1	4,600	1	5,040	1	5,520
2	4,440	2	4,600	2	5,040	2	4,600
3	4,440	3	4,600	3	5,040	3	4,600
4	4,440	4	4,600	4	5,040	4	4,600
5	4,440	5	4,600	5	5,040	5	4,600
6	4,440	6	4,600	6	5,164	6	4,600
7	6,019	7	4,600	7	5,164	7	4,600
8	6,019	8	4,600	8	5,040	8	4,600
9	4,440	9	4,600	9	5,040	9	4,600
10	4,440	10	4,600	10	5,040	10	4,600
11	4,440	11	4,600	11	5,040		
12	4,440	12	4,600	12	5,040		
13	4,440	13	4,600				
14	4,440	14	5,089				

TYPICAL SIDE LOT

TYPICAL INTERIOR LOT



- NOTES:
- THE PURPOSE OF THIS PLAT IS TO PLAT THE 17.720 ACRES INTO A 50 LOT 4 BLOCK 6 RESERVE SUBDIVISION.
 - ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
 - FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY: MAP NUMBER 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
 - PROJECT BENCHMARK: ANGLETON = PUBLISHED ELEVATION = 25.81' TRIANGULATION STATION DISK SET IN TOP OF CONCRETE POST STAMPING; ANGLETON 1931 LOCATED ABOUT 1 MILE SOUTHWEST OF ANGLETON ON LAND OWNED BY MR. JAMISON, 40 FEET NORTH EAST OF COUNTY ROAD 221, NEAR MAIN GATE TO HOMESTEAD.
 - NOTE: THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
 - NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHDRAWAL OF UTILITIES AND BUILDING PERMITS.
 - NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
 - NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
 - NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
 - NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
 - IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THE MAINTENANCE OF THE RESERVES LOCATED ON THIS PLAT.

STATE OF TEXAS §
 COUNTY OF BRAZORIA §
 KNOW ALL MEN BY THESE PRESENTS:
 THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 04/03/23

DARREL HEIDRICH
 REGISTERED PROFESSIONAL LAND SURVEYOR
 LAND SURVEYOR NO. 5378

RESERVE TABLE			
SYMBOL	DESCRIPTION	RESERVE USE	AREA
Ⓐ	RESTRICTED RESERVE "A"	RESTRICTED TO RESIDENTIAL USE	5.235 AC.
Ⓑ	RESTRICTED RESERVE "B"	RESTRICTED TO DRAINAGE USE	0.483 AC.
Ⓒ	RESTRICTED RESERVE "C"	RESTRICTED TO LANDSCAPE USE	0.131 AC.
Ⓓ	RESTRICTED RESERVE "D"	RESTRICTED TO LANDSCAPE USE	0.068 AC.
Ⓔ	RESTRICTED RESERVE "E"	RESTRICTED TO DRAINAGE USE	0.096 AC.
Ⓕ	RESTRICTED RESERVE "F"	RESTRICTED TO DETENTION USE	3.302 AC.

PRELIMINARY PLAT ANGLETON PARK PLACE SECTION 1 A 17.720 ACRE 50 LOTS 4 BLOCKS 6 RESERVES SUBDIVISION BEING ALL OF A CALLED 16.72 ACRE TRACT AS RECORDED IN C.C.F.N. 2016023917 & ALL OF A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 BOTH OF THE O.P.R.B.C.T.

LOCATED IN THE
 E. WALLER SURVEY, ABSTRACT NO. 134
 CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS

BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS

4005 Technology Drive, Suite 1530
 Angleton, TX 77515
 OFFICE: (979) 849-6681
 TBPLS NO. 10052500
 REG. NO. F-825

OWNERS:
 MIKE MORGAN
 1915 N 288B
 FREEPORT, TEXAS 77541

PROJECT: 14320	SCALE: 1" = 60'	DRAWN BY: AD
DRAWING NO.: 14320 PLAT	DATE: 4/3/2023	CHECK BY: DH