



Mayor | Jason Perez
Mayor Pro-Tem | John Wright
Council Members | Cecil Booth, Christiene Daniel, Mark Gongora, Travis Townsend
City Manager | Chris Whittaker
City Secretary | Michelle Perez

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE CITY COUNCIL FOR THE CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON TUESDAY, AUGUST 23, 2022, AT 6:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

CITIZENS WISHING TO ADDRESS CITY COUNCIL

The Presiding Officer may establish time limits based upon the number of speaker requests, the length of the agenda, and to ensure meeting efficiency, and may include a cumulative time limit. Citizens may speak at the beginning or at the time the item comes before council in accordance with Texas Government Code Section 551.007. No Action May be Taken by the City Council During Public Comments.

PUBLIC HEARINGS AND ACTION ITEMS

1. Conduct a public hearing and discussion on the proposed Fiscal Year 2022-2023 Ad Valorem Tax Rate.

CEREMONIAL PRESENTATIONS

2. Presentation of employee service award.
3. Presentation of a Proclamation by the Mayor.
4. Presentation of August Keep Angleton Beautiful Yard of the Month and Business of the Month.

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Council and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Mayor or a Council Member; in which event, the item will be removed from the consent agenda and considered separately.

5. Discussion and possible action on a resolution extending the disaster declaration signed by the Mayor on March 17, 2020, through October 7, 2022; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.

REGULAR AGENDA

6. Discussion and possible action to allow the Fire Department to purchase rugged laptops for trucks.
7. Discussion and possible action on a resolution declaring a disaster due to extreme drought conditions; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date.
8. Discussion and possible action on the American Rescue Plan Act, Tranche I Spending Plan.
9. Discussion and possible action regarding the American Rescue Plan Act, Tranche II Spending Plan.
10. Discussion and possible action on a Request for Proposal for Oyster Creek Wastewater Treatment Plant Lab Redesign to be awarded to Construction Masters of Houston, Inc.
11. Discussion and Possible action on the debt and assessment structure for the Riverwood Ranch PID and impact on homeowner annual assessments.
12. Discussion and possible action on an ordinance approving the 2022-23 update to the Service and Assessment Plan and Assessment Roll for the Riverwood Public Improvement District.
13. Discussion and possible action on an ordinance approving the 2022-23 update to the Service and Assessment Plan and Assessment Roll for the Kiber Reserve Public Improvement District.
14. Discussion and possible action on a thirty-day contract extension request from DL Meacham, Lakeside Park Contractor, due to delays associated with the TDI design revisions.
15. Discussion and Possible action on new sanitary sewer services for the County's Emergency Operation Center (EOC).
16. Discussion and possible action on installing sidewalks on Robinhood Lane, Street Bond Project Package #1.

EXECUTIVE SESSION

The City Council will now convene into executive session pursuant to the provisions of Chapter 551 Texas Government Code, in accordance with the authority contained therein:

17. Consultation with Attorney regarding a settlement offer with Constellation Energy, pursuant to Section 551.071 of the Texas Government Code.

OPEN SESSION

The City Council will now adjourn Executive Session, reconvene into Open Session pursuant to the provisions of Chapter 551 Texas Government Code and take action, if any, on item(s) discussed during Closed Executive Session.

ADJOURNMENT

If, during the course of the meeting and discussion of any items covered by this notice, City Council determines that a Closed or Executive Session of the Council is required, then such closed meeting will be held as authorized by Texas Government Code, Chapter 551, Section 551.071 - consultation with attorney; Section 551.072 - deliberation regarding real property; Section 551.073 - deliberation regarding prospective gift; Section 551.074 - personnel matters regarding the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; Section 551.076 - deliberation regarding security devices or security audit; Section 551.087 - deliberation regarding economic development negotiations; Section 551.089 - deliberation regarding security devices or security audits, and/or other matters as authorized under the Texas Government Code. If a Closed or Executive Session is held in accordance with the Texas Government Code as set out above, the City Council will reconvene in Open Session in order to take action, if necessary, on the items addressed during Executive Session.

CERTIFICATION

I, Michelle Perez, City Secretary, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Friday, August 19, 2022 by 6:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/S/ Michelle Perez

Michelle Perez, TRMC
City Secretary

In compliance with the Americans with Disabilities Act, the City of Angleton will provide reasonable accommodations for persons attending City Council meetings. The facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary at 979-849-4364, extension 2115 or email citysecretary@angleton.tx.us.

Office of the MAYOR City of Angleton, Texas Proclamation

WHEREAS, citizens of Angleton desire locally grown, fresh food and unique goods; and

WHEREAS, an opportunity to gather, display and sale foods, goods and services was needed; and

WHEREAS, it takes tremendous dedication and commitment to provide a venue for farmers, merchants and shoppers; and

WHEREAS, the Peach Street Farmer’s Market and it’s board works to bring the community together in support of local farmers, and merchants that provide for shoppers; and

WHEREAS, the Peach Street Farmer’s market has provided a venue for foods, goods and entertainment to the City of Angleton and hers residents nearly every Saturday morning for FIVE years; and

WHEREAS, the City of Angleton and the local community is grateful for the Peach Street Farmer’s Market and it board, and congratulates the Peach Street Farmer’s Market on it’s commitment to the community, hard work and sustained success to encourage, grow and provide to the city of Angleton.

NOW, THEREFORE, I, Jason Perez, Mayor of the City of Angleton, Texas, along with the City of Angleton City Council, do hereby proclaim August 23, 2022 as:

“PEACH STREET FARMER’S MARKET DAY”

PROCLAIMED this 23rd day of August 2022.

CITY OF ANGLETON, TEXAS

Jason Perez
Mayor



AGENDA ITEM SUMMARY FORM

MEETING DATE: 8/23/2022

PREPARED BY: Jason O'Mara, Assistant Director of Parks and Recreation

AGENDA CONTENT: Ceremonial Presentation of August Keep Angleton Beautiful Yard of the Month and Business of the Month.

AGENDA ITEM SECTION: Ceremonial Presentation

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

Tracy Delesandri, Keep Angleton Beautiful Chairwoman, will present Yard of the Month to Ann Scott at 304 Richmond Street and Business of the Month to Elite Nutrition at 136 E Locust Street.

RECOMMENDATION:

Staff recommends City Council acknowledge the YOM and BOM with a plaque, picture, and KAB gift for their beautification efforts.

RESOLUTION NO. 20220823-000

A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS, RATIFYING THE DISASTER DECLARATION SIGNED BY THE MAYOR ON MARCH 17, 2020, AND CONSENTING TO ITS CONTINUATION THROUGH OCTOBER 7, 2022; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, on March 17, 2020, Mayor Jason Perez, acting in accordance with authority granted to him under Section 418.108(a) of the Texas Government Code and the City's Home Rule Charter, declared a local state of disaster for the City due to concerns related to the novel coronavirus (COVID-19); and

WHEREAS, Section 418.108(b) of the Texas Government Code the City of Angleton, consenting to the renewal and continuation of the declaration of disaster in each subsequent month; and

WHEREAS, the conditions necessitating the disaster declaration continue to exist; and

WHEREAS, the City Council supports the disaster declaration signed by Mayor Jason Perez on March 17, 2020 and consented to its continuation.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

SECTION 1. The facts and recitations contained in the preamble of this Resolution are hereby found and declared to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

SECTION 2. That a local state of disaster for public health is hereby declared for the City of Angleton, Texas pursuant to §418.108(a) of the Texas Government Code, and the City Council hereby consents to its continuation through October 7, 2022, or until such time as it is terminated by the Mayor, provided that the Mayor gives City Council seventy-two hours' notice of proposed termination.

SECTION 3. Pursuant to §418.108(c) of the Government Code, this declaration of a local state of disaster for public health emergency shall be given prompt and general publicity and shall be filed promptly with the City Secretary.

SECTION 4. Pursuant to §418.108(d) of the Government Code, this declaration of a local state of disaster activates the City emergency management plan.

SECTION 5. The Mayor is authorized to sign this Resolution and the City Secretary to attest.

SECTION 6. This Resolution shall become effective and be in full force and effect upon execution by the Mayor.

RESOLUTION NO. 20220823-000

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PASSED AND APPROVED THIS THE 23rd DAY OF AUGUST 2022.

CITY OF ANGLETON, TEXAS

Jason Perez
Mayor

ATTEST:

Michelle Perez, TRMC
City Secretary

AGENDA ITEM SUMMARY FORM

MEETING DATE: 08/23/22

PREPARED BY: Scott Myers

AGENDA CONTENT: Discussion and possible action to allow the Fire Department to purchase rugged laptops for trucks.

AGENDA ITEM SECTION: Consent Agenda

BUDGETED AMOUNT: \$30,000.00

FUNDS REQUESTED: \$24,539.28

FUND: ESD 107-530-220

EXECUTIVE SUMMARY:

Discussion and possible action to allow the Fire Department to purchase rugged laptops for trucks. The committee went out for bids on the two rugged laptops in the market that will fit the department's needs. Attached are the two bids from RAMCO, for GETAC V110 G6i5 fully rugged computers, and DELL Technologies, for the Dell Latitude 5430 Rugged. The Technology Committee Researched both computers and the department voted to go with the Dell computer. This is due to price, ease of use, availability, and use of the city's Dell account. The purchase and installation of these computers give a much-needed value to the firefighters on scene. These computers will allow firefighters to map out calls, look over business pre plans, see other units en-route, get a general size up of the scene for logistics, access safety materials for HazMat along with plume modeling, call history for a particular address, and in field report writing.

Dell Quote: \$24539.28

GETAC Quote: \$31847.56

This purchase is in the approved budget for this year.

RECOMMENDATION:

AFD Technology Committee recommends that council approve the purchase of 7 Dell Latitude 5430 Rugged Laptops, mobile docking stations, and mounting brackets at a total cost of \$24539.28.



A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your [Premier page](#), or, if you do not have Premier, use this [Quote to Order](#).

Quote No.	3000126207331.1	Sales Rep	Matt Espinosa
Total	\$24,539.28	Phone	(800) 456-3355, 6179194
Customer #	7041442	Email	Matt_Espinosa@Dell.com
Quoted On	Jul. 11, 2022	Billing To	DAVID STEVES
Expires by	Aug. 10, 2022		ANGLETON POLICE DEPT
Contract Name	Dell National Cooperative Purchasing Alliance-NCPA		121 S VELASCO ST
Contract Code	Master Agreement C000000005600		ANGLETON, TX 77515-6023
Customer Agreement #	NCPA 01-42		

Message from your Sales Rep

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards,
Matt Espinosa

Shipping Group

Shipping To	Shipping Method
ANTHONY NORRIS ANGLETON POLICE DEPT 221 N CHENANGO ST ANGLETON, TX 77515-4745 (979) 549-8624	Standard Delivery

Product	Unit Price	Quantity	Subtotal
Dell Latitude 5430 Rugged	\$2,485.06	7	\$17,395.42
Havis DS-DELL-422 - Docking station - VGA, HDMI - GigE	\$643.27	8	\$5,146.16
Havis Premium Passenger Side Mount Package - mounting kit	\$480.73	2	\$961.46
Havis C-MD 301 - Mounting kit (bracket, stand base) for Laptop - steel - black powder coat	\$171.99	4	\$687.96

HAVIS 8.5 SIDE MOUNTED TELESCOPING DEVICE MOUNTING BASE: SHORT HANDLE	\$122.97	1	\$122.97
Havis C-MD 112 - mounting component	\$225.31	1	\$225.31

Subtotal:	\$24,539.28
Shipping:	\$0.00
Environmental Fee:	\$0.00
Non-Taxable Amount:	\$24,539.28
Taxable Amount:	\$0.00
Estimated Tax:	\$0.00

Total:	\$24,539.28
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Shipping Group Details

Item 6.

Shipping To

ANTHONY NORRIS
ANGLETON POLICE DEPT
221 N CHENANGO ST
ANGLETON, TX 77515-4745
(979) 549-8624

Shipping Method

Standard Delivery

	Quantity	Subtotal
Dell Latitude 5430 Rugged		
		\$2,485.06
	7	\$17,395.42
Estimated delivery if purchased today: Aug. 22, 2022 Contract # C000000005600 Customer Agreement # NCPA 01-42		

Description	SKU	Unit Price	Quantity	Subtotal
Dell Latitude 5430 Rugged	210-BCFW	-	7	-
Intel Core Processor i5-1135G7, (QC, 2.4 to 3.8 GHz, 28W, non-vPro)	379-BERT	-	7	-
Windows 10 Pro (Includes Windows 11 Pro License) English, French, Spanish	619-AQMP	-	7	-
No Microsoft Office License Included – 30 day Trial Offer Only	658-BCSB	-	7	-
Intel® Core™ non-vPro i5-1135G7 with Iris Xe Graphics	338-CCRK	-	7	-
ME Lockout MOD - Manageability	631-ADED	-	7	-
16GB, 2x8GB, 3200 MHz DDR4 Non-ECC	370-AGTH	-	7	-
512GB M.2 PCIe NVMe Class 35 Solid State Drive	400-BMRW	-	7	-
14" Non-touch 400 nits WVA FHD (1920 x 1080) 100% sRGB Anti-Glare	391-BGGF	-	7	-
English US RGB Backlit Sealed Internal keyboard	583-BILF	-	7	-
Intel AX210 WLAN Driver	555-BHCC	-	7	-
Intel AX210 Wireless Card with Bluetooth	555-BHCH	-	7	-
5G DW5930E w/o eSIM WWAN Card Qualcomm SDX55 5G-NR for AT&T (No NMEA GPS Port)	556-BCYJ	-	7	-
Hot surface warning label	389-ECGC	-	7	-
Primary 3 Cell 53.5 Whr ExpressCharge Capable Battery	451-BCWC	-	7	-
65W Type-C EPEAT Adapter	492-BCXP	-	7	-
Full Security - Fingerprint Reader, Contacted Smartcard Reader, Contactless Smartcard Reader	346-BHQJ	-	7	-
E4 Power Cord 1M for US	537-BBBL	-	7	-
Setup and Features Guide	340-CXCE	-	7	-
Dummy Airbay Cover	325-BEIV	-	7	-
ENERGY STAR Qualified	387-BBPC	-	7	-
Custom Configuration	817-BBBB	-	7	-
Dell Applications for Windows 10	658-BFIO	-	7	-
Mix Ship, Notebook, 5430 Rugged	340-CYJC	-	7	-
Microphone + RGB HD camera; Non-touch; WLAN/WWAN antennae; Pogo vehicle docking and RF passthrough	319-BBHS	-	7	-
EPEAT 2018 Registered (Silver)	379-BDTO	-	7	-
Dedicated u-blox NEO GPS Card	540-BDCC	-	7	-

Additional USB-A rear port	590-TFHR	-	7	
Additional TBT/Type-C port	325-BEJZ	-	7	-
Rigid handle	750-ADPK	-	7	-
ProSupport Plus: Next Business Day Onsite, 3 Years	808-6797	-	7	-
Dell Limited Hardware Warranty Initial Year	808-6805	-	7	-
ProSupport Plus: Accidental Damage Service, 3 Years	808-6817	-	7	-
ProSupport Plus: Keep Your Hard Drive, 3 Years	808-6818	-	7	-
ProSupport Plus: 7X24 Technical Support, 3 Years	808-6847	-	7	-
Thank you for choosing Dell ProSupport Plus. For tech support, visit www.dell.com/contactdell or call 1-866-516-3115	997-8367	-	7	-

			Quantity	Subtotal
Havis DS-DELL-422 - Docking station - VGA, HDMI - GigE		\$643.27	8	\$5,146.16

Estimated delivery if purchased today:
Feb. 23, 2023
Contract # C000000005600
Customer Agreement # NCPA 01-42

Description	SKU	Unit Price	Quantity	Subtotal
Havis DS-DELL-422 - Docking station - VGA, HDMI - GigE	AB906743	-	8	-

			Quantity	Subtotal
Havis Premium Passenger Side Mount Package - mounting kit		\$480.73	2	\$961.46

Estimated delivery if purchased today:
Aug. 30, 2022
Contract # C000000005600
Customer Agreement # NCPA 01-42

Description	SKU	Unit Price	Quantity	Subtotal
Havis Premium Passenger Side Mount Package - mounting kit	A9325992	-	2	-

			Quantity	Subtotal
Havis C-MD 301 - Mounting kit (bracket, stand base) for Laptop - steel - black powder coat		\$171.99	4	\$687.96

Estimated delivery if purchased today:
Oct. 13, 2022
Contract # C000000005600
Customer Agreement # NCPA 01-42

Description	SKU	Unit Price	Quantity	Subtotal
Havis C-MD 301 - Mounting kit (bracket, stand base) for Laptop - steel - black powder coat	A8531877	-	4	-

			Quantity	Subtotal
HAVIS 8.5 SIDE MOUNTED TELESCOPING DEVICE MOUNTING BASE: SHORT HANDLE		\$122.97	1	\$122.97

Estimated delivery if purchased today:
Jan. 12, 2023
Contract # C000000005600
Customer Agreement # NCPA 01-42

Description	SKU	Unit Price	Quantity	Subtotal
HAVIS 8.5 SIDE MOUNTED TELESCOPING DEVICE MOUNTING BASE: SHORT HANDLE	A7033726	-	1	-

			Quantity	Subtotal
Havis C-MD 112 - mounting component		\$225.31	1	\$225.31

Estimated delivery if purchased today:
Aug. 08, 2022
Contract # C000000005600
Customer Agreement # NCPA 01-42

Description	SKU	Unit Price	Quantity	Subtotal
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Havis C-MD 112 - mounting component

A8785152

- 1

Item 6.

Subtotal:	\$24,539.28
Shipping:	\$0.00
Environmental Fee:	\$0.00
Estimated Tax:	\$0.00

Total:	\$24,539.28
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Important Notes

Terms of Sale

This Quote will, if Customer issues a purchase order for the quoted items that is accepted by Supplier, constitute a contract between the entity issuing this Quote ("Supplier") and the entity to whom this Quote was issued ("Customer"). Unless otherwise stated herein, pricing is valid for thirty days from the date of this Quote. All product, pricing and other information is based on the latest information available and is subject to change. Supplier reserves the right to cancel this Quote and Customer purchase orders arising from pricing errors. Taxes and/or freight charges listed on this Quote are only estimates. The final amounts shall be stated on the relevant invoice. Additional freight charges will be applied if Customer requests expedited shipping. Please indicate any tax exemption status on your purchase order and send your tax exemption certificate to Tax_Department@dell.com or ARSalesTax@emc.com, as applicable.

Governing Terms: This Quote is subject to: (a) a separate written agreement between Customer or Customer's affiliate and Supplier or a Supplier's affiliate to the extent that it expressly applies to the products and/or services in this Quote or, to the extent there is no such agreement, to the applicable set of Dell's Terms of Sale (available at www.dell.com/terms or www.dell.com/oemterms), or for cloud/as-a-Service offerings, the applicable cloud terms of service (identified on the Offer Specific Terms referenced below); and (b) the terms referenced herein (collectively, the "Governing Terms"). Different Governing Terms may apply to different products and services on this Quote. The Governing Terms apply to the exclusion of all terms and conditions incorporated in or referred to in any documentation submitted by Customer to Supplier.

Supplier Software Licenses and Services Descriptions: Customer's use of any Supplier software is subject to the license terms accompanying the software, or in the absence of accompanying terms, the applicable terms posted on www.Dell.com/eula. Descriptions and terms for Supplier-branded standard services are stated at www.dell.com/servicecontracts/global or for certain infrastructure products at www.dellemc.com/en-us/customer-services/product-warranty-and-service-descriptions.htm.

Offer-Specific, Third Party and Program Specific Terms: Customer's use of third-party software is subject to the license terms that accompany the software. Certain Supplier-branded and third-party products and services listed on this Quote are subject to additional, specific terms stated on www.dell.com/offeringspecificterms ("Offer Specific Terms").

In case of Resale only: Should Customer procure any products or services for resale, whether on standalone basis or as part of a solution, Customer shall include the applicable software license terms, services terms, and/or offer-specific terms in a written agreement with the end-user and provide written evidence of doing so upon receipt of request from Supplier.

In case of Financing only: If Customer intends to enter into a financing arrangement ("Financing Agreement") for the products and/or services on this Quote with Dell Financial Services LLC or other funding source pre-approved by Supplier ("FS"), Customer may issue its purchase order to Supplier or to FS. If issued to FS, Supplier will fulfill and invoice FS upon confirmation that: (a) FS intends to enter into a Financing Agreement with Customer for this order; and (b) FS agrees to procure these items from Supplier. Notwithstanding the Financing Agreement, Customer's use (and Customer's resale of and the end-user's use) of these items in the order is subject to the applicable governing agreement between Customer and Supplier, except that title shall transfer from Supplier to FS instead of to Customer. If FS notifies Supplier after shipment that Customer is no longer pursuing a Financing Agreement for these items, or if Customer fails to enter into such Financing Agreement within 120 days after shipment by Supplier, Customer shall promptly pay the Supplier invoice amounts directly to Supplier.

Customer represents that this transaction does not involve: (a) use of U.S. Government funds; (b) use by or resale to the U.S. Government; or (c) maintenance and support of the product(s) listed in this document within classified spaces. Customer further represents that this transaction does not require Supplier's compliance with any statute, regulation or information technology standard applicable to a U.S. Government procurement.

For certain products shipped to end users in California, a State Environmental Fee will be applied to Customer's invoice. Supplier encourages customers to dispose of electronic equipment properly.

Electronically linked terms and descriptions are available in hard copy upon request.



Ramco Rugged Portables
 3894 Mannix Drive #208
 Phone - 877-878-5943
 Email - jeremy@ramcorugged.com

QUOTATION Item 6.

Account # AFD979
Quote # 1548093
Date 11-Jul-22
Page 1

Angleton Fire Department

TX

Terms Net 30 Days
Ship Via UPS Ground Coll
FOB Abacus
Reference #
Contact Lloyd Guidry
Phone # 979-849-1265

Salesperson Jeremy Putnam (R)

Ln #	Item # / Customer Item # Description	Mfg / DC	Ship Date Request Date	Quantity	Unit Price	Ext Price
1	V110 FULLY RUGGED MSRP - \$4505.00 GETAC : V110 G6 i5-10210U,Hello Cam,W10 Pro x64 16GB RAM,256GB PCIe SSD SR(HD LCD Tchsreen +stylus),US KBD US PC mbrn Backlit KBD,WIFI BT GPS/Glonass 4G LTE (EM7511)Pass-thru,HH,USB Type-A x 2+USB Type-C x 1SCrdr Rear Camera,Dual batteries, TouchPad 3yb2b	GETAC		7	3,385.64000	23,699.48
2	HAVIS MOUNT MSRP - \$215.22 Computer Mount Motion Device Slide Rail System	HAVIS		4	176.80000	707.20
3	HAVIS DOCK MSRP - \$959.32 GETAC : V110 Havis Vehicle Dock & Replication with screen stiffener (Black) (DC power adaptor sold separately)	HAVIS		7	663.10000	4,641.70
4	VEHICLE ADAPTER MSRP - \$109.99 GETAC : Getac 120W 11-16V, 22-32V DC Vehicle adapter (Bare Wire), 3 year warranty	GETAC		7	92.39000	646.73
5	SHIPPING HAVIS	HAVIS		7	55.00000	385.00
6	HAVIS MOUNT F-150/EXP MSRP - \$745.15 Ford 2018-2022 Expedition, 2015-2022 F-150, & 2017-2022 F-250, F-350, F-450, And F-250, F-350, F-450, F-550 Chassis Cab	HAVIS		3	589.15000	1,767.45
Subtotal:						31,847.56
Order Total:						31,847.56

QUOTE VALID FOR 7 DAY(S)

 Authorized Signature

Please note effective July 6th, 2018, predicated on the rules dictated by The Office of the U.S. Trade Representative (USTR) Section 301 investigation into Chinese intellectual property and technology transfer issues. Section 301Tariff, COO China products may be subject to the applicable tariff up to 25%.

Rugged Computers

Computer: Dell Latitude 5430 Rugged

Mounting Solution: Havis

Dell Latitude 5430 Rugged Laptop

processor

11th Gen Intel® Core™ i5-1135G7 (8 MB cache, 4 cores, 8 threads, 2.40 to 3.80 GHz Turbo, 28W)

laptop

Windows 11 Pro, English, French, Spanish

(Dell Technologies recommends Windows 11 Pro for business)

memory

8 GB, 1 x 8 GB, DDR4, 3200 MHz

harddrive

256 GB, M.2, PCIe NVMe, SSD, Class 35



Description

Dell Latitude 5430 Rugged
Intel Core Processor i5-1135G7, (QC, 2.4 to 3.8 GHz, 28W, non-vPro)
Windows 10 Pro (Includes Windows 11 Pro License) English, French, Spanish
No Microsoft Office License Included – 30 day Trial Offer Only
Intel® Core™ non-vPro i5-1135G7 with Iris Xe Graphics
ME Lockout MOD - Manageability
16GB, 2x8GB, 3200 MHz DDR4 Non-ECC
512GB M.2 PCIe NVMe Class 35 Solid State Drive
14" Non-touch 400 nits WVA FHD (1920 x 1080) 100% sRGB Anti-Glare
English US RGB Backlit Sealed Internal keyboard
Intel AX210 WLAN Driver
Intel AX210 Wireless Card with Bluetooth
5G DW5930E w/o eSIM WWAN Card Qualcomm SDX55 5G-NR for AT&T (No NMEA GPS Port)
Hot surface warning label
Primary 3 Cell 53.5 Whr ExpressCharge Capable Battery
65W Type-C EPEAT Adapter
Full Security - Fingerprint Reader, Contacted Smartcard Reader, Contactless Smartcard Reader
E4 Power Cord 1M for US
Setup and Features Guide
Dummy Airbay Cover
ENERGY STAR Qualified
Custom Configuration
Dell Applications for Windows 10
Mix Ship, Notebook, 5430 Rugged
Microphone + RGB HD camera; Non-touch; WLAN/WWAN antennae; Pogo vehicle docking and RF passthrough
EPEAT 2018 Registered (Silver)
Dedicated u-blox NEO GPS Card

Additional USB-A rear port
Additional TBT/Type-C port
Rigid handle
ProSupport Plus: Next Business Day Onsite, 3 Years
Dell Limited Hardware Warranty Initial Year
ProSupport Plus: Accidental Damage Service, 3 Years
ProSupport Plus: Keep Your Hard Drive, 3 Years
ProSupport Plus: 7X24 Technical Support, 3 Years
Thank you for choosing Dell ProSupport Plus. For tech support, visit www.dell.com/contactdell or call 1-866-516-3115

E4, Ladder 1, Tower 1 Mounting (Similar to E2)



Rescue 1

Bolt to side of console, or a floor mount.



Command 1, 2 & 3



Product	Unit Price	Quantity	Subtotal
Dell Latitude 5430 Rugged	\$2,485.06	7	\$17,395.42
Havis DS-DELL-422 - Docking station - VGA, HDMI - GigE	\$643.27	8	\$5,146.16
Havis Premium Passenger Side Mount Package - mounting kit	\$480.73	2	\$961.46
Havis C-MD 301 - Mounting kit (bracket, stand base) for Laptop - steel - black powder coat	\$171.99	4	\$687.96

Page 1 Dell Marketing LP. U.S. only. Dell Marketing LP. is located at One Dell Way, Mail Stop 8129, Round Rock, TX 78682

HAVIS 8.5 SIDE MOUNTED TELESCOPING DEVICE MOUNTING BASE: SHORT HANDLE	\$122.97	1	\$122.97
Havis C-MD 112 - mounting component	\$225.31	1	\$225.31
<hr/>			
	Subtotal:		\$24,539.28
	Shipping:		\$0.00
	Environmental Fee:		\$0.00
	Non-Taxable Amount:		\$24,539.28
	Taxable Amount:		\$0.00
	Estimated Tax:		\$0.00
<hr/>			
	Total:		\$24,539.28



AGENDA ITEM SUMMARY FORM

MEETING DATE: 08/23/2022

PREPARED BY: Glenn LaMont

AGENDA CONTENT: Discussion and possible action on Resolution No. 20220823-000 declaring a disaster due to extreme drought conditions; repealing conflicting ordinances and resolutions; including a severability clause; and establishing an effective date. (LaMont)

AGENDA ITEM SECTION: Consent Agenda

BUDGETTED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

Declaring a State of Disaster due to extreme drought conditions.

RECCOMENDATION:

Staff recommends council approving this Resolution.

RESOLUTION NO. 20220823-000

A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS, ORDERING A DECLARATION OF LOCAL DISASTER FOR THE CITY OF ANGLETON, TEXAS; REPEALING CONFLICTING ORDINANCES AND RESOLUTIONS; INCLUDING A SEVERABILITY CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, significantly low rainfall and prolonged hot and dry conditions continue to increase the threat of wildfire and disrupt water and sewage services to residents of the City of Angleton, Brazoria County, Texas; and

WHEREAS, the Governor of the State of Texas has already proclaimed that Brazoria County is in exceptional drought conditions in his declaration on July 8, 2022, and renewed the disaster declaration on August 5, 2022; and

WHEREAS, the Texas Division of Emergency Management has confirmed drought conditions continue to exist; and

WHEREAS, the Mayor of Angleton; Jason Perez, has determined that these drought conditions pose an imminent threat of widespread severe damage, injury, or loss of life and property; and

WHEREAS, the City of Angleton Emergency Management Plan should be activated.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS, HEREBY PROCLAIM AND DECLARE:

SECTION 1. A local state of disaster is hereby declared for the City of Angleton, Texas pursuant to §418.108(a) of the Texas Government Code.

SECTION 2. The Mayor, as Director of Emergency Management, is hereby authorized to provide, or cause to be provided, all arrangements, provisions and means necessary and proper to effect coordination of relief, and property restoration for the protection, preservation, and improvement of life and property within the City during the State of Emergency.

SECTION 3. Pursuant to §418.108(b) of the Government Code, the state of disaster shall continue for a period of not more than seven (7) days from the date of this declaration unless continued or renewed by the Mayor and City Council of Angleton, Texas.

SECTION 4. Pursuant to §418.108(c) of the Government Code, this declaration of a local state of disaster shall be given prompt and general publicity and shall be filed promptly with the City Secretary.

SECTION 5. Pursuant to §418.108(d) of the Government Code, this declaration of a local state of disaster activates the recovery and rehabilitation aspects of all applicable local or

interjurisdictional emergency management plans and authorized the furnishing of all aid and assistance as deemed necessary or desirable by those administering such plans and activates the preparedness and response aspects of the City of Angleton emergency management plan, and any other such plans.

SECTION 6. This proclamation shall take effect immediately after its issuance.

SO DECLARED AND ORDERED THIS THE 23rd DAY OF AUGUST 2022.

CITY OF ANGLETON, TEXAS

Jason Perez
Mayor

ATTEST:

Michelle Perez, TRMC
City Secretary



AGENDA ITEM SUMMARY FORM

MEETING DATE: August, 2022

PREPARED BY: Patty Swords

AGENDA CONTENT: Status Report on American Rescue Plan Act Spending
Tranche I

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: \$2,470,000 from American Rescue Plan Act

FUNDS REQUESTED: \$0

FUND: American Rescue Plan Act (ARPA) donated funds

EXECUTIVE SUMMARY:

The City of Angleton received \$2,407,364 for first round of funding from the American Rescue Plan Act. The spending plan for these funds was approved by City Council on September 14, 2021. Activities have been carried out in accordance with Council's wishes.

An updated accounting of Phase I spending is included with this Item.

RECOMMENDATION:

The staff has been asked to recommend that Council approve the Phase I update as presented.



Coronavirus State and Local Fiscal Recovery Funds

The American Rescue Plan will deliver \$350 billion for state, local, territorial, and Tribal governments to respond to the COVID-19 emergency and bring back jobs.

The Coronavirus State and Local Fiscal Recovery Funds provide a substantial infusion of resources to help turn the tide on the pandemic, address its economic fallout, and lay the foundation for a strong and equitable recovery.

Funding Objectives

- **Support urgent COVID-19 response efforts** to continue to decrease spread of the virus and bring the pandemic under control
- **Replace lost public sector revenue** to strengthen support for vital public services and help retain jobs
- **Support immediate economic stabilization** for households and businesses
- **Address systemic public health and economic challenges** that have contributed to the inequal impact of the pandemic

Eligible Jurisdictions & Allocations

Direct Recipients

- States and District of Columbia (\$195.3 billion)
- Counties (\$65.1 billion)
- Metropolitan cities (\$45.6 billion)
- Tribal governments (\$20.0 billion)
- Territories (\$4.5 billion)

Indirect Recipients

- Non-entitlement units (\$19.5 billion)



Support Public Health Response

Fund COVID-19 mitigation efforts, medical expenses, behavioral healthcare, and certain public health and safety staff



Address Negative Economic Impacts

Respond to economic harms to workers, families, small businesses, impacted industries, and the public sector



Replace Public Sector Revenue Loss

Use funds to provide government services to the extent of the reduction in revenue experienced due to the pandemic



Premium Pay for Essential Workers

Offer additional support to those who have and will bear the greatest health risks because of their service in critical infrastructure sectors



Water and Sewer Infrastructure

Make necessary investments to improve access to clean drinking water and invest in wastewater and stormwater infrastructure



Broadband Infrastructure

Make necessary investments to provide unserved or underserved locations with new or expanded broadband access



For More Information: Please visit www.treasury.gov/SLFRP

For Media Inquiries: Please contact the U.S. Treasury Press Office at (202) 622-2960

For General Inquiries: Please email SLFRP@treasury.gov for additional information



Example Uses of Funds

- 1  **Support Public Health Response**
 - a **Services to contain and mitigate the spread of COVID-19**, including vaccination, medical expenses, testing, contact tracing, quarantine costs, capacity enhancements, and many related activities
 - b **Behavioral healthcare services**, including mental health or substance misuse treatment, crisis intervention, and related services
 - c **Payroll and covered benefits** for public health, healthcare, human services, and public safety staff to the extent that they work on the COVID-19 response
- 2  **Replace Public Sector Revenue Loss**
 - a **Ensure continuity of vital government services** by filling budget shortfalls
 - b **Revenue loss is calculated** relative to the expected trend, beginning with the last full fiscal year pre-pandemic and adjusted annually for growth
 - c **Recipients may re-calculate revenue loss** at multiple points during the program, supporting those entities that experience revenue loss with a lag
- 3  **Water & Sewer Infrastructure**
 - a **Includes improvements to infrastructure**, such as building or upgrading facilities and transmission, distribution, and storage systems
 - b **Eligible uses aligned to Environmental Protection Agency project categories** for the Clean Water State Revolving Fund and Drinking Water State Revolving Fund
- 4  **Equity-Focused Services**
 - a **Additional flexibility for the hardest-hit communities and families** to address health disparities, invest in housing, address educational disparities, and promote healthy childhood environments
 - b **Broadly applicable** to Qualified Census Tracts, other disproportionately impacted areas, and when provided by Tribal governments
- 5  **Address Negative Economic Impacts**
 - a **Deliver assistance to workers and families**, including support for unemployed workers, aid to households, and survivor's benefits for families of COVID-19 victims
 - b **Support small businesses** with loans, grants, in-kind assistance, and counseling programs
 - c **Speed the recovery of impacted industries**, including the tourism, travel, and hospitality sectors
 - d **Rebuild public sector capacity** by rehiring staff, replenishing state unemployment insurance funds, and implementing economic relief programs
- 6  **Premium Pay for Essential Workers**
 - a **Provide premium pay to essential workers**, both directly and through grants to third-party employers
 - b **Prioritize low- and moderate-income workers**, who face the greatest mismatch between employment-related health risks and compensation
 - c **Key sectors include** healthcare, grocery and food services, education, childcare, sanitation, and transit
 - d **Must be fully additive** to a worker's wages
- 7  **Broadband Infrastructure**
 - a **Focus on households and businesses** without access to broadband and those with connections that do not provide minimally acceptable speeds
 - b **Fund projects that deliver reliable service** with minimum 100 Mbps download / 100 Mbps upload speeds unless impracticable
 - c **Complement broadband investments** made through the Capital Projects Fund
- 8  **Ineligible Uses**
 - a **Changes that reduce net tax revenue** must not be offset with American Rescue Plan funds
 - b **Extraordinary payments into a pension fund** are a prohibited use of this funding
 - c **Other restrictions apply** to eligible uses

The examples listed in this document are non-exhaustive, do not describe all terms and conditions associated with the use of this funding, and do not describe all the restrictions on use that may apply. The U.S. Department of the Treasury provides this document, the State and Local contact channels, and other resources for informational purposes. Although efforts have been made to ensure the accuracy of the information provided, the information is subject to change or correction. Any Coronavirus State and Local Fiscal Recovery Funds received will be subject to the terms and conditions of the agreement entered into by Treasury and the respective jurisdiction, which shall incorporate the provisions of the Interim Final Rule and/or Final Rule that implements this program.

ARPA II PROPOSED SPENDING PLAN

	Description	Total Amount	Category
1	LIFT STATIONS	\$750,000	3.a.
2	SEWER LINES	\$500,000	3.a.
3	WWTP LAB RENOVATIONS	\$400,000	3.a.
4	WWTP GRIT REMOVAL	\$250,000	3.a.
5	SOLAR STREETLIGHTS	\$250,000	4.a.
6	NEW SIDEWALKS	\$200,000	4.a.
7	PARK LIGHTING	\$57,364	5.a.
	Total, ARPA II	\$2,407,364	
	Total All ARPA Funds	\$4,814,728	

1	Lift station repairs and security
2	Sewer line repairs
	WWTP Lab Renovations, including equipment, upgrade of offices and shared facilities, rental of a
3	temporary building
4	WWTP grit removal/sludge removal
5	Solar streetlights for add'l streets
6	New sidewalks - locations TBD
7	Park lighting at BG Peck



AGENDA ITEM SUMMARY FORM

MEETING DATE: 8/23/2022

PREPARED BY: Martha Eighme Director of Communications and Marketing

AGENDA CONTENT: Discussion and possible action on a Request for Proposal for Oyster Creek Wastewater Treatment Plant Lab Redesign to be awarded to Construction Masters of Houston, Inc.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: \$ **FUNDS REQUESTED:** \$427,320.

FUND: CARES and ARPA II Funds

EXECUTIVE SUMMARY: Council approved the allocation of CARES funding for the Oyster Creek Wastewater Treatment Plant Lab for \$124,000 on April 27, 2021. After purchasing needed lab equipment, the CARES fund has a balance of \$72,683.04. We initially went through the purchasing program Choice Partners Inc. and received a proposal from Construction Masters of Houston for \$366,430.35 on March 7, 2022. As this was more than was available through CARES funds, the staff proposes using ARPA II funds to execute the WWTP Lab Redesign project. In July, we went out for an RFP to meet the mandated criteria for use of Federal Funds. One company attended the pre-proposal site visit and submitted a proposal – again, Construction Masters of Houston, Inc. With increases in the materials pricing, the new proposal is for \$427,320. After approval of award, staff will work with legal and bring a contract back for your approval.

RECOMMENDATION:

Staff recommends that City Council approve awarding the Oyster Creek Wastewater Treatment Plant Lab Redesign to Construction Masters of Houston, Inc.



Request for Proposal
Angleton Wastewater Treatment Plant Lab Redesign

City of Angleton

August 4, 2022
Presented by
Justin Davis, President

Building South Texas Since 1987
3908 Third St. Pearland, Texas 77581 (281) 997-2640
Fax (281) 485-4702

**Angleton Wastewater Treatment Plant Lab Redesign
Construction Services**

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7/27/2022

City Secretary
City of Angleton
121 South Velasco
Angleton, TX 77515

Re: Angleton Wastewater Treatment Plant Lab Redesign – Construction Services

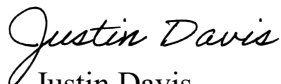
To Whom it May Concern,

Enclosed is our cost proposal to complete the renovation work identified in drawings prepared by MRB Group dated 01/14/2022 with the clarifications noted below.

Unfortunately, due to existing commitments at the time of this solicitation, we are unable to include the remaining items requested within the RFP document. If permissible, we can submit the balance of the RFP to you by 2:00 PM on 8/4/22.

We are interested in performing this work for you and will have the appropriate manpower available in the coming weeks. I regret that we are submitting an incomplete proposal package. It simply came down to a matter of timing.

Thank you for your time and consideration,



Justin Davis
President
Construction Masters

Bid clarifications: LVT flooring is to be installed where epoxy flooring is shown, LVT flooring will be installed over existing VCT flooring at Lab 201. Existing VCT will be removed at all other locations. Any abatement of hazardous materials is excluded from this estimate. Relocation of existing furnishings is excluded from this proposal. Drinking fountains shown on the drawings are not included in this proposal. The existing water cooler will be reused. Appliances are to be furnished by owner per drawings. A urinal will be added to the restroom. All countertops are to be solid surface.

ATTACHMENT 1 PROPOSAL FORM

PROPOSAL SUBMITTED TO:
City of Angleton

For
Angleton Wastewater Treatment Plant Lab Redesign

The Undersigned Bidder proposes to complete the work as shown on the Plans and described in the specifications:

BASE BID: Bidder proposes to provide all labor and materials for renovation and addition of a single-story building and related sitework as shown on the contract documents for the stipulated sum of:

Base Bid Breakdown:

Demolition.....	\$ 13,670
Sitework & Utilities.....	\$ _____
Concrete.....	\$ _____
Masonry.....	\$ _____
Metals.....	\$ _____
Insulation.....	\$ _____
Walls / Ceilings.....	\$ 39,550
Finishes.....	\$ 23,720
Doors / Windows.....	\$ 53,570
Casework / Countertops.....	\$ 54,040
Mechanical.....	\$ 75,040
Electrical.....	\$ 40,390
Plumbing.....	\$ 65,980
Misc. Subs.....	\$ 32,240
Project Management, Bonds, Insurance, O&P.....	\$ 28,300

BASE BID TOTAL \$ 427,320

Construction Masters of Houston, Inc

Company Name

Justin Davis

President

Signed by (name & title)

7/27/2022

Date

The undersigned acknowledges receipt of Addenda Nos. _____, _____, _____
dated _____, _____, 2022.

Attachment 7 – Texas Public Information Act Information

Attachment 8 – Form W-9

Attachment 9 – Certificate of Interested Parties

Attachment 10 – House Bill 89 Verification

Attachment 11 – 100% Drawings

It is understood that the right is reserved by the City to reject any or all Proposals or waive any informalities or irregularities in any Proposal.

Authorized Signature	
Printed Name	Justin Davis
Title	President
Name of Contracting Firm	Construction Masters of Houston, Inc.
Address	3908 3rd Street, Pearland, TX 77581
Telephone	281-997-2640
Email	justin@cmhou.com
Date	8/8/2022



UNITED FIRE & CASUALTY COMPANY
118 Second Avenue SE, PO Box 73909
Cedar Rapids, Iowa 52407-3909 319-399-5700
(A Stock Company)

BID BOND

KNOW ALL BY THESE PRESENTS, that we Construction Masters of Houston, Inc.

as Principal, hereinafter called the Principal, and the UNITED FIRE & CASUALTY COMPANY, a corporation duly organized under the laws of the State of IOWA, as Surety, hereinafter called the Surety, are held and firmly bound unto
City of Angleton, Texas

as Obligee, hereinafter called the Obligee, in the sum of Five Percent of Greatest Amount Bid
Dollars (\$ 5% G.A.B.), for the payment of which sum well and truly to be made, the said principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for Angleton Wastewater Treatment Plant Lab Redesign
500 County Road 609
Angleton, Texas 77515

NOW, THEREFORE, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a contract with the Obligee in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or contract documents with good and sufficient surety for the faithful performance of such contract and for the prompt payment of labor and material furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this 8th day of August, 2022.

Construction Masters of Houston, Inc.
By [Signature] (Seal)
(PRINCIPAL)

[Signature: Marzi Carns]
(WITNESS)

Justin Davis, President
(TITLE)

UNITED FIRE & CASUALTY COMPANY (Seal)
(SURETY)

[Signature: Dennis Wein]
(WITNESS)

By [Signature: Jennifer Mitchell]
Jennifer Mitchell (ATTORNEY-IN-FACT)



UNITED FIRE & CASUALTY COMPANY, CEDAR RAPIDS, IA
 UNITED FIRE & INDEMNITY COMPANY, WEBSTER, TX
 FINANCIAL PACIFIC INSURANCE COMPANY, ROCKLIN, CA
 CERTIFIED COPY OF POWER OF ATTORNEY
 (original on file at Home Office of Company – See Certification)

Inquiries: Surety Depa
 118 Second
 Cedar Rapids, IA 52401 Item 10.

KNOW ALL PERSONS BY THESE PRESENTS, That United Fire & Casualty Company, a corporation duly organized and existing under the laws of the State of Iowa; United Fire & Indemnity Company, a corporation duly organized and existing under the laws of the State of Texas; and Financial Pacific Insurance Company, a corporation duly organized and existing under the laws of the State of California (herein collectively called the Companies), and having their corporate headquarters in Cedar Rapids, State of Iowa, does make, constitute and appoint

G.C. BLYSTONE, JR., MARK SMITH, BETTY BUSH, DONNA WEINEL, CHASE WORTHAM, JENNIFER MITCHELL, EACH INDIVIDUALLY

their true and lawful Attorney(s)-in-Fact with power and authority hereby conferred to sign, seal and execute in its behalf all lawful bonds, undertakings and other obligatory instruments of similar nature provided that no single obligation shall exceed \$40,000,000.00 and to bind the Companies thereby as fully and to the same extent as if such instruments were signed by the duly authorized officers of the Companies and all of the acts of said Attorney, pursuant to the authority hereby given and hereby ratified and confirmed.

The Authority hereby granted is continuous and shall remain in full force and effect until revoked by United Fire & Casualty Company, United Fire & Indemnity Company, and Financial Pacific Insurance Company.

This Power of Attorney is made and executed pursuant to and by authority of the following bylaw duly adopted on May 15, 2013, by the Boards of Directors of United Fire & Casualty Company, United Fire & Indemnity Company, and Financial Pacific Insurance Company.

“Article VI – Surety Bonds and Undertakings”

Section 2, Appointment of Attorney-in-Fact. “The President or any Vice President, or any other officer of the Companies may, from time to time, appoint by written certificates attorneys-in-fact to act in behalf of the Companies in the execution of policies of insurance, bonds, undertakings and other obligatory instruments of like nature. The signature of any officer authorized hereby, and the Corporate seal, may be affixed by facsimile to any power of attorney or special power of attorney or certification of either authorized hereby; such signature and seal, when so used, being adopted by the Companies as the original signature of such officer and the original seal of the Companies, to be valid and binding upon the Companies with the same force and effect as though manually affixed. Such attorneys-in-fact, subject to the limitations set forth in their respective certificates of authority shall have full power to bind the Companies by their signature and execution of any such instruments and to attach the seal the Companies thereto. The President or any Vice President, the Board of Directors or any other officer of the Companies may at any time revoke all power and authority previously given to any attorney-in-fact.

IN WITNESS WHEREOF, the COMPANIES have each caused these presents to be signed by its vice president and its corporate seal to be hereto affixed this 27th day of July, 2021



UNITED FIRE & CASUALTY COMPANY
 UNITED FIRE & INDEMNITY COMPANY
 FINANCIAL PACIFIC INSURANCE COMPANY

By: *Dennis J. Richmann*
 Vice President

State of Iowa, County of Linn, ss:

On 27th day of July, 2021, before me personally came Dennis J. Richmann to me known, who being by me duly sworn, did depose and say; that he resides in Cedar Rapids, State of Iowa; that he is a Vice President of United Fire & Casualty Company, a Vice President of United Fire & Indemnity Company, and a Vice President of Financial Pacific Insurance Company the corporations described in and which executed the above instrument; that he knows the seal of said corporations; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporations and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporations.



Patti Waddell
 Notary Public
 My commission expires: 10/26/2022

I, Mary A. Bertsch, Assistant Secretary of United Fire & Casualty Company and Assistant Secretary of United Fire & Indemnity Company, and Assistant Secretary of Financial Pacific Insurance Company, do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Section of the bylaws and resolutions of said Corporations as set forth in said Power of Attorney, with the ORIGINALS ON FILE IN THE HOME OFFICE OF SAID CORPORATIONS, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect.

In testimony whereof I have hereunto subscribed my name and affixed the corporate seal of the said Corporations this 8th day of August, 2022.



By: *Mary A. Bertsch*
 Assistant Secretary,
 UF&C & UF&I & FPIC

ATTACHMENT 5
References

Include below three references:

Reference #1

Company Name Brazoria County

Address 1340 E. Kiber, Angleton, TX 77515

Type of Business County Government

Contact Person Gerald Hendrick II, Project Designer, Brazoria County Facilities Mgmt.

Telephone and Fax #'s 979-864-1676

Reference #2

Company Name City of Baytown

Address 2123 Market Street, Baytown, TX 77522

Type of Business City Government

Contact Person Andrea Brinkley, Assistant Director - Capital Projects

Telephone and Fax #'s 281-420-7154

Reference #3


Company Name City of Pearland

Address 2016 Old Alvin Rd., Pearland, TX 77581

Type of Business City Government

Contact Person Michael Collins, Sr. Construction Manager | Engineering & Capital Projects

Telephone and Fax #'s 281-652-1747

CONFLICT OF INTEREST QUESTIONNAIRE For vendor or other person doing business with local governmental entity		FORM CIQ
<p>This questionnaire reflects changes made to the law by H.B. 1491, 80th Leg., Regular Session.</p> <p>This questionnaire is being filed in accordance with Chapter 176, Local Government Code by a person who has a business relationship as defined by Section 176.001(1-a) with a local governmental entity and the person meets requirements under Section 176.006(a).</p> <p>By law this questionnaire must be filed with the records administrator of the local governmental entity not later than the 7th business day after the date the person becomes aware of facts that require the statement to be filed. See Section 176.006, Local Government Code.</p> <p>A person commits an offense if the person knowingly violates Section 176.006, Local Government Code. An offense under this section is a Class C misdemeanor.</p>	OFFICE USE ONLY Date Received	
1 Name of person who has a business relationship with local governmental entity. Justin Davis		
2 <input type="checkbox"/> Check this box if you are filing an update to a previously filed questionnaire. (The law requires that you file an updated completed questionnaire with the appropriate filing authority not later than the 7th business day after the date the originally filed questionnaire becomes incomplete or inaccurate.)		
3 Name of local government officer with whom filer has employment or business relationship. N/A <div style="text-align: center; margin-left: 100px;"> _____ Name of Officer </div> <p>This section (item 3 including subparts A, B, C & D) must be completed for each officer with whom the filer has an employment or other business relationship as defined by Section 176.001(1-a), Local Government Code. Attach additional pages to this Form CIQ as necessary.</p> <p>A. Is the local government officer named in this section receiving or likely to receive taxable income, other than investment income, from the filer of the questionnaire?</p> <p style="text-align: center;"> <input type="checkbox"/> Yes <input type="checkbox"/> No </p> <p>B. Is the filer of the questionnaire receiving or likely to receive taxable income, other than investment income, from or at the direction of the local government officer named in this section AND the taxable income is not received from the local governmental entity?</p> <p style="text-align: center;"> <input type="checkbox"/> Yes <input type="checkbox"/> No </p> <p>C. Is the filer of this questionnaire employed by a corporation or other business entity with respect to which the local government officer serves as an officer or director, or holds an ownership of 10 percent or more?</p> <p style="text-align: center;"> <input type="checkbox"/> Yes <input type="checkbox"/> No </p> <p>D. Describe each employment or business relationship with the local government officer named in this section.</p>		
4 <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"> <div style="width: 45%;">  _____ Signature of person doing business with the governmental entity </div> <div style="width: 45%; text-align: right;"> 8/8/2022 _____ Date </div> </div>		

Adopted 06/29/2007

ATTACHMENT 7

Texas Public Information Act Steps to Assert Information Confidential or Proprietary

All proposals or proposals, data, and information submitted to the City of Angleton are subject to release under the Texas Public Information Act ("Act") unless exempt from release under the Act. You are not encouraged to submit data and/or information that you consider to be confidential or proprietary unless it is absolutely required to understand and evaluate your submission.

On each page where confidential or proprietary information appears, you must label the confidential or proprietary information. Do not label every page of your submission as confidential as there are pages (such as the certification forms and RFP sheet with pricing) that are not confidential. It is recommended that each page that contains either confidential or proprietary information be printed on colored paper (such as yellow or pink paper). At a minimum the pages where the confidential information appears should be labeled and the information you consider confidential or proprietary clearly marked.

Failure to label the actual pages on which information considered confidential appears will be considered as a waiver of confidential or proprietary rights in the information.

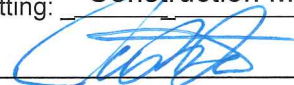
In the event a request for public information is filed with the City which involves your submission, you will be notified by the City of the request so that you have an opportunity to present your reasons for claims of confidentiality to the Texas Attorney General.

In signing this form, I acknowledge that I have read the above and further City:

The proposal/RFP submitted to the City contains NO confidential information and may be released to the public if required under the Texas Public Information Act.

The proposal/RFP submitted contains confidential information, which is labeled, and which may be found on the following pages 22 and 23 and any information contained on page numbers not listed above may be released to the public if required under the Texas Public Information Act.

Firm Submitting: Construction Masters of Houston, Inc.

Signature:  Date: 8/8/2022

Print Name: Justin Davis Print Title: President

Request for Taxpayer Identification Number and Certification

**Give Form to the
requester. Do not
send to the IRS.**

▶ Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type. See Specific Instructions on page 3.	<p>1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.</p> <p style="text-align: center;">Construction Masters of Houston, Inc.</p>	
	<p>2 Business name/disregarded entity name, if different from above</p>	
	<p>3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.</p> <p><input type="checkbox"/> Individual/sole proprietor or single-member LLC</p> <p><input checked="" type="checkbox"/> C Corporation</p> <p><input type="checkbox"/> S Corporation</p> <p><input type="checkbox"/> Partnership</p> <p><input type="checkbox"/> Trust/estate</p> <p><input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ _____</p> <p>Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.</p> <p><input type="checkbox"/> Other (see instructions) ▶ _____</p>	<p>4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):</p> <p>Exempt payee code (if any) _____</p> <p>Exemption from FATCA reporting code (if any) _____</p> <p><small>(Applies to accounts maintained outside the U.S.)</small></p>
	<p>5 Address (number, street, and apt. or suite no.) See instructions.</p> <p>3908 3rd St.</p>	<p>Requester's name and address (optional)</p>
	<p>6 City, state, and ZIP code</p> <p>Pearland, TX 77581</p>	<p>City of Angleton 121 S. Velasco Angleton, TX 77515</p>
	<p>7 List account number(s) here (optional)</p>	

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number									
or									
Employer identification number									
7	6		0	2	3	7	8	2	5

Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person ▶ <i>Maji Arns</i>	Date ▶ <i>8/4/22</i>
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
 - Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
 - Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
 - Form 1099-S (proceeds from real estate transactions)
 - Form 1099-K (merchant card and third party network transactions)
 - Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
 - Form 1099-C (canceled debt)
 - Form 1099-A (acquisition or abandonment of secured property)
- Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.

CERTIFICATE OF INTERESTED PARTIES

FORM 1295

1 of 1

Complete Nos. 1 - 4 and 6 if there are interested parties.
Complete Nos. 1, 2, 3, 5, and 6 if there are no interested parties.

OFFICE USE ONLY CERTIFICATION OF FILING

Certificate Number:
2022-918215

Date Filed:
08/03/2022

Date Acknowledged:

1 Name of business entity filing form, and the city, state and country of the business entity's place of business.
Construction Masters of Houston, Inc.
Pearland, TX United States

2 Name of governmental entity or state agency that is a party to the contract for which the form is being filed.
City of Angleton

3 Provide the identification number used by the governmental entity or state agency to track or identify the contract, and provide a description of the services, goods, or other property to be provided under the contract.
22-21
Angleton Wastewater Treatment Plant Lab Redesign

4	Name of Interested Party	City, State, Country (place of business)	Nature of interest (check applicable)	
			Controlling	Intermediary
	Davis, Justin	Pearland, TX United States	X	

5 Check only if there is NO Interested Party.

6 UNSWORN DECLARATION

My name is Justin Davis, and my date of birth is 12/7/81.

My address is 3908 3rd St., Pearland, TX, 77581, USA.
(street) (city) (state) (zip code) (country)

I declare under penalty of perjury that the foregoing is true and correct.

Executed in Brazoria County, State of Texas, on the 4th day of August, 20 22.
(month) (year)



Signature of authorized agent of contracting business entity
(Declarant)

ATTACHMENT 10



House Bill 89 Verification Form

I, Justin Davis (Person name), the undersigned representative of Construction Masters of Houston, Inc. (Company or Business name) (hereafter referred to as company) being an adult over the age of eighteen (18) years of age, do hereby depose and verify under oath that the company named above, under the provisions of Subtitle F, Title 10, Government Code Chapter 2270:

- 1. Does not boycott Israel currently; and
2. Will not boycott Israel during the term of the contract the above-named Company, business or individual with City of Angleton, Texas.

Pursuant to Section 2270.001, Texas Government Code:

- 1. 'Boycott Israel' means refusing to deal with, terminating business activities with, or otherwise taking any action that is intended to penalize, inflict economic harm on, or limit commercial relations specifically with Israel, or with a person or entity doing business in Israel or in an Israeli-controlled territory, but does not include an action made for ordinary business purposes; and
2. 'Company' means a for-profit organization, association, corporation, partnership, joint venture, limited partnership, limited liability partnership, or any limited liability company, including a wholly owned subsidiary, majority-owned subsidiary, parent company or affiliate of those entities or business associations that exist to make a profit.
3. Section only applies to a contract that is between a governmental entity and a company with 10 or more full-time employees; and has a value of \$100,000 or more that is to be paid wholly or partly from public funds of the governmental entity.

DATE

8/8/2022

SIGNATURE OF COMPANY REPRESENTATIVE

Handwritten signature of Justin Davis

Justin Davis, President



P.O. Box 1587
Pearland, Texas 77588
Phone: 281/997-2640
Fax: 281/485-4702

TAB 2: PROPRIETARY INFORMATION

State if any information contained in this proposal response is declared proprietary.

8/4/2022

City Secretary
City of Angleton
121 South Velasco
Angleton, TX 77515

Proprietary Information

No information contained herein is considered proprietary. Financials are marked as 'Confidential'.

Justin Davis
President

TAB 3: EXECUTIVE SUMMARY

Provide a brief summary of the proposal's contents, emphasizing any unique aspects or strengths of the proposal. The executive summary should be limited to no more than three (3) pages.

8/4/2022

City Secretary
City of Angleton
121 South Velasco
Angleton, TX 77515

Executive Summary

The key to any successful project is organizing the right management, designers, subcontractors, and vendors for the work proposed. We put people in a position to be successful. Our management team is selected based on their experience and performance on projects of similar scope and complexity. The team we are proposing comes with over 50 years of experience with Construction Masters.

Our project team will be led by Justin Davis, President of Construction Masters. Justin has been with CM since 2006 and in his current role for the last 9 years. Justin will serve as this project's lead executive and Project Manager. As lead executive, these duties include contract administration, labor & product procurement, submittal review, schedule management, quality control and overall project oversight. Extending into the project manager's role, these duties will include subcontractor management, construction process control, safety inspections, quality assurance and construction conflict resolution.

Our onsite Superintendent will be Joe Magnuson. Joe has been a member of the CM Team since 2012. He was chosen for this role based on his extensive field experience and working with city governments and personnel. Joe's duties will include day-to-day project administration, subcontractor management, quality and safety assurance, schedule maintenance and customer coordination.

Lynnette McLain is our Project Coordinator. Lynnette has been a member of the CM Team for 12 years and in her current role for the last 9 years. Her duties include subcontractor contract administration, submittal coordination, delivery management, field support and project closeout.

I would like to point out a common highlight that you should notice when reviewing this RFQ response. This group has worked together at length and completed several projects corresponding in proportion to the Angleton Wastewater Treatment Plant Lab Redesign.

I am confident that we have the team best suited for this project and hope your diligence leads you to the same conclusion.

Best Regards,

Justin Davis, President



P.O. Box 1587
 Pearland, Texas 77588
 Phone: 281/997-2640
 Fax: 281/485-4702

TAB 4: BUSINESS ORGANIZATION AND HISTORY OF THE FIRM

Provide a history of the firm including years in business and the depth of resources to provide construction renovation services. Explain the size of your firm, including office locations and the legal structure. If the proposer is a joint venture or includes partners or key sub-consultants or sub-contractors as part of this project, please explain the relationships of the parties.

Response:

Construction Masters of Houston, Inc. has been in continuous business since 1987, providing general construction services. Operating as a privately owned, mid-size general contracting firm, with its sole office located at 3908 3rd Street, Pearland, Texas. Our focus has always been that of a general contractor, building relationships with clients, subcontractors and vendors, thus ensuring an equitable partnership for each side.

Construction Masters is a corporation, incorporated in the State of Texas, 11/25/1987.

Justin Davis is the President and Owner.

- **Arbitration / Litigation Proceedings**
 - Identify any and all lawsuits and/or arbitration proceedings that you were a party to that were filed within the last ten (5) years.
 - **Response:**
Construction Masters has not been in any lawsuits or arbitrations within the last 10 years.
- **Disclosure of Conflicts**
 - Disclose any financial or legal conflicts of interest, whether existing or potential, which may affect Proposer's performance of services, required under this RFP and contractual agreement should Proposer be selected for this project.
 - **Response:**
Construction Masters does not have any financial or legal conflicts of interest, or potential conflicts of interest, that would affect our performance of services under this contract.

Continued next page

- References

- Provide the name, address, and telephone number of no more than three (3) project owners to act as references for the Proposer with whom Proposer has worked within the last ten (5) years. Identify the project(s), location(s), and services performed.

- **Response:**

- 1) **City of Pearland: Michael Collins, Sr. Construction Manager | Engineering & Capital Projects**
2016 Old Alvin Rd., Pearland, TX 77581 / 281-652-1747 / mcollins@pearlandtx.go

Project: Pearland Orange St. Service Center Phase 1 – Administration Building
Location: 2016 Old Alvin Rd., Pearland, TX 77581

General Contracting Services: Improvements to the Administration Building, including demolition of two existing buildings and utility service; new construction of a 2-story, approximate 19,000 SF building consisting mostly of office and workstations; and major building systems.

- 2) **City of Baytown: Andrea Brinkley, Assistant Director – Capital Projects**
2123 Market Street, Baytown, TX 77522 / 281-420-7154 / Andrea.Brinkley@baytown.org

Project: Baytown Animal Services & Adoption Shelter
Location: 705 N. Robert C. Lanier Dr., Baytown, TX 77521

General Contracting Services: Construction of a 14,034 SF enclosed space, single story, pre-engineered metal structure with CMU exterior construction, a 9,784 SF of canopy covered outdoor animal runs, covered play yard, a sally port, kennels, and animal clinic area, site work, paving and utilities. Project also included demolition of the existing facility upon completion of the new facility.

- 3) **Brazoria Cty: Gerald Hendrick II, Project Designer, Brazoria County Facilities Management**
1340 E. Kiber, Angleton, TX 77515 / 979-864-1676 / geraldh@brazoria-county.com

Project: City of Lake Jackson – Lake Jackson Annex Building
Location: 202 Peach Street, Lake Jackson, TX 77566

General Contracting Services: Construction of a new single-story facility of approximately 19,600 SF serving as Brazoria County’s new Lake Jackson Annex building. The new building provides for the Justice of the Peace activities with private offices, administration areas, healthcare facilities, and restrooms. Site amenities such as parking and pedestrian traffic area also included.

Continued next page

- Provide the name, address, and telephone number of no more than three (3) design professionals to act as references for the Proposer or persons currently employed by the Proposer with whom Proposer has worked with within the last ten (5) years. Identify the project(s), location(s), and services performed.
- **Response:**
 - 1) **Kim Dowdy-Hickman, Principal, Director of Animal Care Design**
Quorum Architecture, 825 W. Vickery Blvd., Suite 100, Fort Worth, TX 76104
817-546-6325 / kimd@qarch.com

Project: Baytown Animal Services & Adoption Shelter
Location: 705 N. Robert C. Lanier Dr., Baytown, TX 77521

General Contracting Services: Construction of a 14,034 SF enclosed space, single story, pre-engineered metal structure with CMU exterior construction, a 9,784 SF of canopy covered outdoor animal runs, covered play yard, a sally port, kennels, and animal clinic area, site work, paving and utilities. Project also included demolition of the existing facility upon completion of the new facility.
 - 2) **Ryan McLemore, Principal, McLemore Luong Architects, LLC**
1127 Eldridge Parkway, Suite 300, Houston, TX 77077
713-825-1324 / rmclmore@mclemoreluong.com

Project: Delores Fenwick Nature Center
Location: 5750 Magnolia Parkway, Pearland, TX 77584

General Contracting Services: Construction of a new one-story nature center and related parking lot, consisting of 6,046 SF conditioned space and 2,823 SF unconditioned SF.

Of Note: Mr. McLemore was with PGAL Architecture during the build.
 - 3) **Brent Bowles, AIA, iAD Architects**
107 West Way, Suite 16, Lake Jackson, TX 77566
979-297-1411 / bbowles@iadarchitects.com

Project: City of Lake Jackson – Lake Jackson Annex Building
Location: 202 Peach Street, Lake Jackson, TX 77566

General Contracting Services: Construction of a new single-story facility of approximately 19,600 SF serving as Brazoria County’s new Lake Jackson Annex building. The new building provides for the Justice of the Peace activities with private offices, administration areas, healthcare facilities, and restrooms. Site amenities such as parking and pedestrian traffic area also included.
- In providing the references, Proposer consents to the City contacting Proposer’s references for the purpose of evaluating proposals.
- **Response:**
Understood and consented to.



P.O. Box 1587
 Pearland, Texas 77588
 Phone: 281/997-2640
 Fax: 281/485-4702

TAB 5: ORGANIZATIONAL STRUCTURE

This section of the Proposal should contain the following information and data:

- If the Proposer is a corporation, provide the following information:
 - Date of incorporation
 ○ **Response: 11/25/1987**
 - Place of incorporation and principal place of business
 ○ **Response: Incorporated in the State of Texas**
Principal Place of Business: 3908 3rd Street, Pearland, TX 77581
 - Officers and Directors (include position, address, and telephone number)
Response: Justin Davis, President, 3908 3rd Street, Pearland, TX 77581 / 281-960-4491
 - Affiliates, partner corporations, and subsidiaries
 ○ **Response: No affiliates, partner corporations or subsidiaries**
- If the Proposer is a general or limited partnership, provide the following information:
 - General Partners (include address and telephone number)
 - Limited Partners, if applicable (include address and telephone number)
 - **Response: N/A**
- If the Proposer is a joint venture, provide the following information:
 - Date of formation
 - Name and address of each venture partner
 - Principals of each venture partner
 - Venture partner holding the majority interest in the venture and its percentage of interest
 - Proposer must include a copy of the Joint Venture Agreement as an attachment to proposal. Such attachment will not count against the page limit.
 - **Response: N/A**
- If the Proposer is not a corporation, general or limited partnership, or joint venture, please identify the type of business entity and provide any pertinent information.
 - **Response: N/A**
- Provide the total number of employees (divided into full-time and part-time).
 - **Response: 17 full-time employees**
- Certify that the entity signing any agreement emanating from this RFP is a duly licensed General Contractor in Texas.
 - **Response: Texas does not require General Contractors to be licensed. Construction Masters has been in Texas, and providing General Contracting services continuously since 1987.**



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 Pearland, Texas 77588
 Phone: 281/997-2640
 Fax: 281/485-4702

TAB 6: SAFETY

This section of the proposal must contain the following information and data and be tied to project examples listed in TAB 9.

- Safety Program Description including:
 - Name and qualifications of Safety Officer
 - **Response: Dennis Busby**
 - Narrative description of program
 - **Response: Please refer to attached Construction Masters Safety Program Outline.**
 - Training and safety education programs used
 - **Response: Complete Safety Manual is available upon request. Limitations to page count prohibit inclusion in this RFP.**
 - Maintenance of your firm's safety statistics
 - **Response: Justin Davis, President, maintains all safety records.**
 - Include organization chart showing relationship of safety officers to senior management of Proposer's organization
 - **Response: Please refer to attached Construction Masters organizational chart.**
- Safety Record including:
 - Man, hours worked
 - **Response:**
2021: 39,520 hours
 - EMR rate and OSHA recordable rates
 - **Response:**
EMR Rate: 10-1-2021 – 10-1-2022 = .98
OSHA TRIR: 0
 - Describe any OSHA violations and actions taken to correct, and lessons learned
 - **Response: no OSHA violations**
- Organization chart relationship of safety management to senior management of the Proposer
 - **Response: Please refer to attached Construction Masters organizational chart.**

Safety Program Overview

Our safety program, which was developed in conjunction with U.S. Compliance Systems, Inc., contains the following elements:

GENERAL SAFETY POLICIES AND PROCEDURES

ACCIDENT/INJURY PREVENTION.
SAFETY PROGRAM ADMINISTRATOR
EMPLOYEE INVOLVEMENT
SUBCONTRACTOR INVOLVEMENT
HOUSEKEEPING
EMERGENCY ACTION PLAN
EMERGENCY MEDICAL RESPONSE
FIRE PREVENTION PLAN
PORTABLE FIRE EXTINGUISHERS
FIRE PROTECTION.
FIRST AID & FIRST AID KITS
SANITATION

LIFTING, PUSHING & PULLING
SLIPS, TRIPS, AND FALLS
DRUGS AND ALCOHOL
SMOKING.
ACCIDENT INVESTIGATION
POSTINGS
RECORDKEEPING: INJURIES & ILLNESSES
INCIDENCE RATE
SAFETY MEETINGS
SUBCONTRACTOR RESPONSIBILITIES
ENFORCEMENT
SCHEDULE OF ENFORCEMENT ACTIONS

JOB SPECIFIC-EQUIPMENT SPECIFIC SAFETY PROCEDURES

ABRASIVE WHEELS
AERIAL LIFTS
COMBUSTIBLE & FLAMMABLE LIQUID HANDLING
COMBUSTIBLE GAS INDICATORS
COMPRESSED GAS CYLINDERS
CONCRETE AND MASONRY CONSTRUCTION
CONCRETE CUTTING
CRANES
DEMOLITION
DISPOSABLE RESPIRATORS
EARTH MOVING EQUIPMENT
ELECTRICAL WORK - WORKPLACE SAFETY
EXCAVATING, TRENCHING & SHORING
EXTENSION CORDS
GROUND FAULT CIRCUIT INTERRUPTERS
HEAVY EQUIPMENT AND ELECTRICAL POWER LINES
HOISTS
KETTLE OPERATIONS
LIGHTING

LP-GAS STORAGE
LP-GAS TEMPORARY HEATING
MACHINE GUARDING
MACHINERY
PIPE TIE-INS
SCISSOR-LIFT FALL PROTECTION
SIGNS & TAGS
SLINGS
SOLDERING & BRAZING
STAIRS
STEEL ERECTION ACTIVITIES
TILE CUTTING
TOOLS: HAND
TOOLS: PNEUMATIC POWERED
TOOLS: POWDER-ACTUATED
VEHICLES
VENTILATION
WELDING, CUTTING AND BRAZING
IDENTIFICATION OF HAZARDOUS JOB SITE
MATERIALS

COMPLETE WRITTEN PROGRAMS

CONTROL OF HAZARDOUS ENERGY
FALL PROTECTION
FORKLIFTS
HAZARD COMMUNICATION

PERSONAL PROTECTIVE EQUIPMENT
RESPIRATORY PROTECTION
SCAFFOLDS & LADDERS

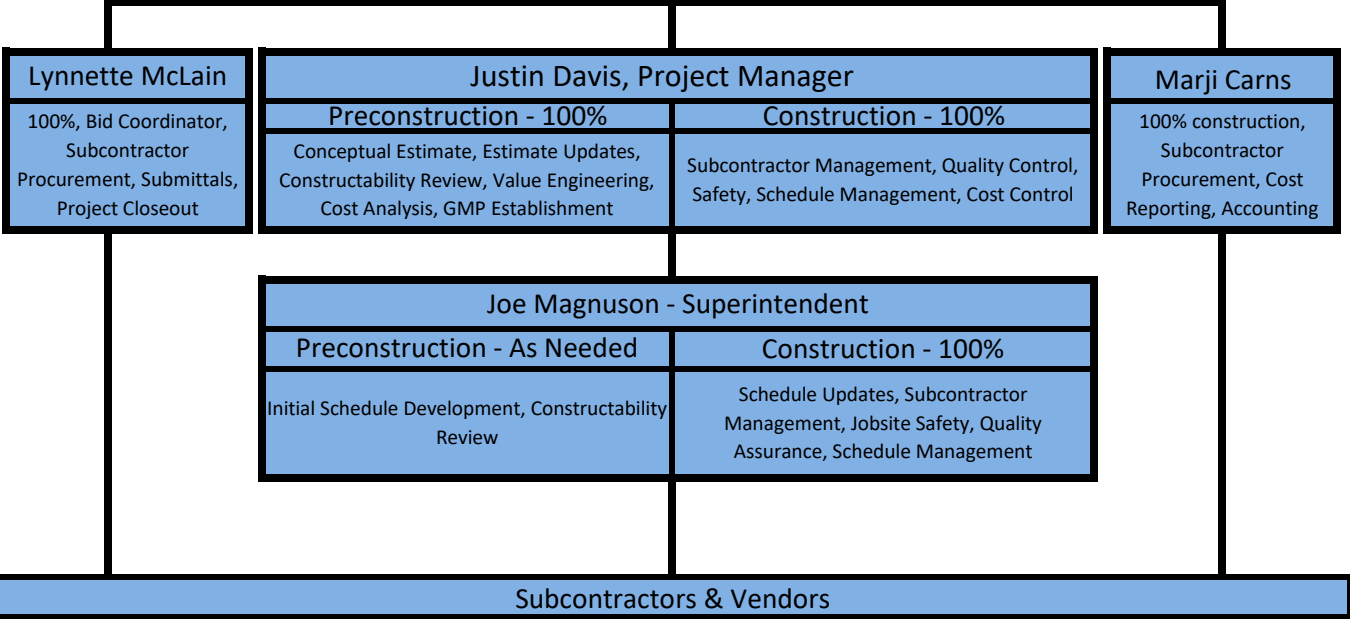
Additionally, included in our safety program are employee handbooks, project manuals, appropriate OSHA standards, forms, and a policy statement demonstrating a management commitment to safety.

Our safety program, in addition to being OSHA compliant, incorporates established policies and procedures, training, inspection, and enforcement – key elements in a successful safety effort.

Owner



Justin Davis - Project Executive	
Preconstruction - 100%	Construction - 100%
Conceptual Estimating, Estimate Updates, Initial Schedule Development, Cost Analysis, Value Engineering, Constructability Review, GMP Establishment	Procurement, Submittals, Cost Reporting, Schedule Management, Safety Inspections, Quality Assurance, Project Closeout



Team Organizational Chart



P.O. Box 1587
 Pearland, Texas 77588
 Phone: 281/997-2640
 Fax: 281/485-4702

TAB 7: FINANCIAL CONDITION AND INSURANCE REQUIREMENTS

Provide the following:

- No more than two (2) bank references for Proposer including the name and title of the bank officer for each bank and telephone contact information.
 - **Response:**
 Capital Bank, 1813 E. Broadway, Pearland, TX 77581
 Gary Idoux, Sr. VP and Market President / 713-586-4872 / garvi@capitalbanktx.com
 Mary Teutsch, Sr. VP and Sr. Portfolio Manager / 713-675-2341 / marvt@capitalbanktx.com
- No more than two (2) references from other types of businesses including the name and title of the individual to contact at that business and that person's telephone number.
 - **Response:**
 Leggio Electric / Debbie Hanks, Office Manager / 713-644-2051 / accounting@leggioelectric.com
 Texan Floor Service / Ray Parish, VP – Sales / 713-956-9966 / rparish@texanfloor.com
- Current audited financial statement for Proposer, or if only unaudited financial statements are available, then a current financial statement.
 - **Response:** Please refer to attached Financial Statement.
- A specimen certificate of insurance in Acord form evidencing Proposer's current insurance coverage.
 - **Response:** Please refer to attached 'for bid purposes only' Certificates of Insurance.

The Proposer will examine the estimated cost range for this Project as it relates to the bond requirements and provide proof of evidence that the Proposer has the ability to provide a performance and payment bond equal to 100% of the estimated contract cost range amount.

- **Response:** Please refer to attached Surety Letter.

The Proposer must examine the insurance requirements included in the General Conditions and provide an insurance certificate evidencing Proposer's liability coverage with minimum limits, per the insurance requirements in the Agreement.

- **Response:** Please refer to attached 'for bid purposes only' Certificates of Insurance.



Wrinkle, Gardner & Company, P.C.
Certified Public Accountants

INDEPENDENT ACCOUNTANT'S REVIEW REPORT

To Management
Construction Masters of Houston, Inc.
Pearland, Texas 77581

We have reviewed the accompanying financial statements of Construction Masters of Houston, Inc., which comprise the balance sheets as of December 31, 2021 and 2020, and the related statements of income and retained earnings and cash flows for the years then ended, and the related notes to the financial statements. A review includes primarily applying analytical procedures to management's financial data and making inquiries of company management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, we do not express such an opinion.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America and for designing, implementing, and maintaining internal control relevant to the preparation and fair presentation of the financial statements.

Accountant's Responsibility

Our responsibility is to conduct the review engagement in accordance with Statements on Standards for Accounting and Review Services issued by the Accounting and Review Services Committee of the AICPA. Those standards require us to perform procedures to obtain limited assurance as a basis for reporting whether we are aware of any material modifications that should be made to the financial statements for them to be in accordance with accounting principles generally accepted in the United States of America. We believe that the results of our procedures provide a reasonable basis for our conclusion.

We are required to be independent of Construction Masters of Houston, Inc. and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements related to our review.

Accountant's Conclusion

Based on our review, we are not aware of any material modifications that should be made to the accompanying financial statements in order for them to be in accordance with accounting principles generally accepted in the United States of America.

Supplementary Information

The supplementary information included in Schedules I-V is presented for purposes of additional analysis and is not a required part of the basic combined financial statements. Such information is the responsibility of management and was derived from, and relates directly to, the underlying accounting and other records used to prepare the combined financial statements. The supplementary information has been subjected to the review procedures applied in our review of the basic financial statements. We are not aware of any material modifications that should be made to the supplementary information. We have not audited the supplementary information and do not express an opinion on such information.

Wrinkle, Gardner & Company, P.C.

Friendswood, Texas
April 27, 2022

**CONSTRUCTION MASTERS OF HOUSTON, INC.
BALANCE SHEETS**

	December 31	
	2021	2020
ASSETS		
CURRENT ASSETS		
Cash and cash equivalents	\$ 1,261,539	\$ 1,423,587
Contracts receivable - estimates and trade	2,150,713	1,688,912
Contracts receivable - retainage	991,754	478,394
Note receivable	390,000	390,000
Costs and estimated earnings in excess of billings on uncompleted contracts	311,167	189,287
Prepaid federal income tax	14,984	27,828
Due from related party	21,189	0
Total current assets	5,141,346	4,198,008
 PROPERTY AND EQUIPMENT, at cost		
Automobiles and trucks	279,579	242,356
Machinery	60,019	60,019
Furniture and fixtures	10,756	10,756
Office equipment	18,674	18,674
	369,028	331,805
Less: Accumulated depreciation	(175,081)	(104,813)
Total assets	\$ 5,335,293	\$ 4,425,000
 LIABILITIES AND SHAREHOLDER'S EQUITY		
CURRENT LIABILITIES		
Trade accounts payable	\$ 2,467,225	\$ 1,772,698
Accrued expenses	11,476	11,476
Deferred income tax	249,601	184,532
Current portion of long-term debt	34,988	35,560
Billings in excess of costs and estimated earnings on uncompleted contracts	147,616	210,374
Total current liabilities	2,910,906	2,214,640
 LONG-TERM DEBT, less current portion	71,073	110,344
Total liabilities	2,981,979	2,324,984
 SHAREHOLDER'S EQUITY		
Common Stock, no par value, 100,000 shares authorized, 1,000 shares issued and outstanding	1,000	1,000
Retained earnings	2,352,314	2,099,016
Total shareholder's equity	2,353,314	2,100,016
Total liabilities and shareholder's equity	\$ 5,335,293	\$ 4,425,000

See notes to financial statements and Independent Accountant's Review Report.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD) Item 10.
2/24/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Hotchkiss Insurance Agency, LLC - Houston 13430 NW Freeway, Suite 600 Houston TX 77040	CONTACT NAME: Certificates Houston PHONE (A/C, No, Ext): 713-956-9800 FAX (A/C, No): 713-956-0331 E-MAIL ADDRESS: certs@hiallc.com
INSURER(S) AFFORDING COVERAGE	
INSURED Construction Masters of Houston, Inc. P.O. Box 1587 Pearland TX 77588	INSURER A: Depositors Insurance Company NAIC # 42587 INSURER B: Travelers Lloyds Insurance Company 41262 INSURER C: ALLIED P & C Ins Co 42579 INSURER D: INSURER E: INSURER F:

COVERAGES **CERTIFICATE NUMBER:** 259283560 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:			GLDO7214799735	2/24/2022	2/24/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
C	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			BAPC7214799735	2/24/2022	2/24/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 0			CAD7214799735	2/24/2022	2/24/2023	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	Builders Risk			QT6600J952843TLC22	3/1/2022	3/1/2023	Per Location 6,000,000 Per Occurrence 6,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 The general liability policy includes blanket additional insured endorsements (CG7323 1214 & CG7434 0512) that provide additional insured status for ongoing & completed operations when required by written contract. The auto liability policy includes a blanket additional insured endorsement that provides additional insured status when required by written contract. The general liability and auto policies include blanket waiver of subrogation endorsements that provide this feature when required by written contract. The general liability policy includes a special endorsement with Primary and Noncontributory wording, (CG7323 1214). The certificate holder is named as loss payee/mortgagee with regard to the Builders Risk policy and is subject the terms and conditions applicable to this policy. Umbrella will follow the underlying policies subject to the policy terms and conditions.

CERTIFICATE HOLDER Bid Purposes Only ***** ***** ** *****	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	--



CERTIFICATE OF LIABILITY INSURANCE

Acct#: 2494132

DATE (MM/DD)
10/01/20

Item 10.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Lockton Companies, LLC 2100 Ross Ave, Suite 1400 Dallas, TX 75201	CONTACT NAME: PHONE (A/C, No, Ext): 214-771-4411		FAX (A/C, No):
	E-MAIL ADDRESS: wc@resourcingedge.com		
INSURER(S) AFFORDING COVERAGE			NAIC #
INSURER A : Indemnity Insurance Co. of North America			43575
INSURER B :			
INSURER C :			
INSURER D :			
INSURER E :			
INSURER F :			

INSURED
 Construction Masters of Houston Inc.
 3908 3rd St.
 PEARLAND, TX 77581

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			C70282902	10/01/2021	10/01/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Coverage provided for all leased employees but not subcontractors of: Construction Masters of Houston Inc.

CERTIFICATE HOLDER **CANCELLATION**

FOR BID PURPOSES ONLY CONSTRUCTION MASTERS OF HOUSTON, INC.	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
--	--

Serving Texans Since 1925

August 8, 2022

City of Angleton, Texas
121 South Velasco
Angleton, Texas 77515

RE: Angleton Wastewater Treatment Plant Lab Redesign

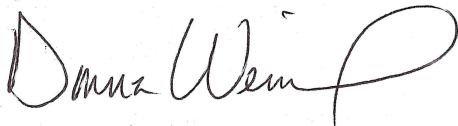
Gentlemen:

Please be advised Construction Masters of Houston, Inc. has an established surety relationship with United Fire & Casualty Company and Texas First Insurance is one of their authorized agents. United Fire & Casualty Company has an "A Excellent" rating from A.M. Best Company and qualifies as an acceptable surety on the Department of the Treasury Federal Register.

United Fire & Casualty Company believes Construction Masters of Houston, Inc. maintains a very experienced management team and they have successfully completed all projects in a professional manner. United Fire & Casualty Company has approved bonding for Construction Masters of Houston, Inc. on single jobs exceeding \$15,000,000 along with a \$25,000,000 aggregate program. United Fire & Casualty Company will provide Performance and Payment Bonds on the above captioned project subject to a satisfactory review of financial underwriting guidelines and specific contract details at the time of such request.

Please call me directly at (409) 934-8040 if you have any further questions or need additional information. Thanks again for your consideration of our client.

Sincerely,



Donna Weinel
Surety Account Manager
Rust, Ewing, Watt & Haney, Inc.
dba Texas First Insurance



P.O. Box 1587
 Pearland, Texas 77588
 Phone: 281/997-2640
 Fax: 281/485-4702

TAB 8: EXPERIENCE OF KEY PERSONNEL

Proposer must submit a detailed organizational chart identifying the individuals whom the Proposer proposes to perform the services required during the Construction Phase. Any firms or individuals proposed to be subcontracted to the Proposer must be clearly noted as such.

- **Response: Please refer to attached Construction Masters organizational chart.**

The organizational chart must be accompanied by a narrative summary indicating the duties, the functional responsibilities, and the designated authority of each individual on the chart.

- **Response: Please refer to attached Construction Masters organizational chart. Responsibilities are outlined for each individual named on the chart.**

Proposer should identify the relationships of any partner, Joint Venturer, or other vendor intended to participate on the Project in direct relationship to Owner and Architect. Any firms or individuals proposed in such direct relationships must be named and clearly noted as such.

- **Response: Understood, no known relationships exist for this project.**

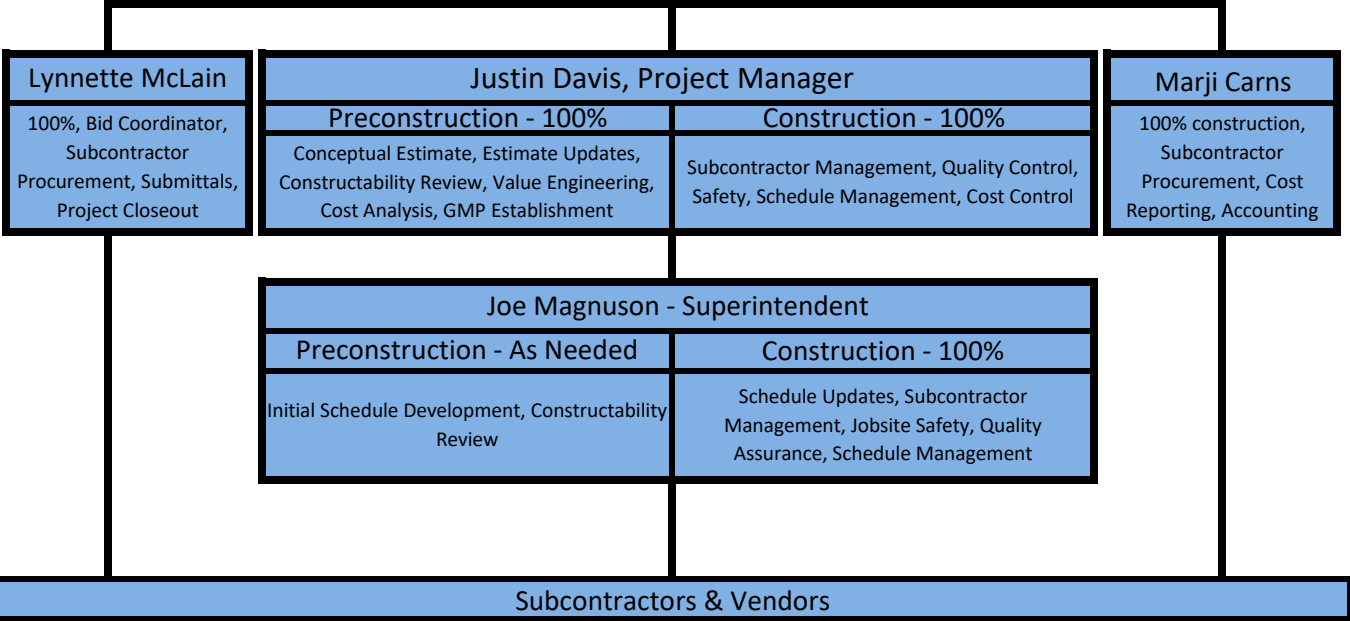
For each person identified as Key Personnel by the Proposer, the following information should be provided in resume format:

- Name and title
- Project responsibilities and roles
- Educational background
- Professional registrations and memberships
- Years of relevant experience
- Relevant project experience
 - **Response: Please refer to attached resumes -
 Justin Davis, Project Manager
 Joe Magnuson, Superintendent
 Dennis Busby, Safety Officer.**

Owner



Justin Davis - Project Executive	
Preconstruction - 100%	Construction - 100%
Conceptual Estimating, Estimate Updates, Initial Schedule Development, Cost Analysis, Value Engineering, Constructability Review, GMP Establishment	Procurement, Submittals, Cost Reporting, Schedule Management, Safety Inspections, Quality Assurance, Project Closeout



Team Organizational Chart

Justin Davis

President / Project Executive

justin@cmhou.com

281-960-4491

Employment History

Construction Masters of Houston, Inc.

1998 - 2004 & 2006 - Present

Project History

Bezos Academy - North Shore	Houston, TX	\$783,000
HCESD 48 - Fire Station 4 Renovation	Katy, TX	\$989,300
Texas Gulf Bank - River Oaks	Houston, TX	\$372,300
Brazoria County Historical Museum - Westside	Angleton, TX	\$1,002,374
Brazoria County Animal Control Renovation	Angleton, TX	\$584,711
Barbers Hill MSN Girls Athletic Renovations	Mont Belvieu, TX	\$632,615
City of Baytown - Utility Services Building	Baytown, TX	\$3,467,695
HCESD 4 - Fire Station 52 Renovation	Huffman, TX	\$534,000
Texas Gulf Bank - Freeport	Freeport, TX	\$1,782,500
Champions Fire Station 11 Renovation	Houston, TX	\$359,700
Missouri City Fire Stations #1, #3, & #4 Renovations	Missouri City, TX	\$317,243
San Luis Pass Visitor Center	Freeport, TX	\$410,770
Baytown Animal Services and Adoption Shelter	Baytown, TX	\$6,532,984
Village Fire Station Addition and Renovations	Hedwig Village, TX	\$4,707,600
City of Pearland-Orange St Service Center - Phase 1 Admin Bld	Pearland, TX	\$5,619,510
San Jacinto College - South Campus Welcome Center	Houston, TX	\$419,671
San Jacinto College -Maritime Expansion Fire Training C	Pasadena, TX	\$1,047,600
Hanson Riverside Park Re-Development	West Columbia, TX	\$459,750
Arcola City Hall Renovations	City of Arcola, TX	\$2,034,000
EMS Station 97	Humble, TX	\$1,819,000
Plus 4 Credit Union - Tomball Branch	Tomball, TX	\$327,600
Baker Ripley Rookin	Houston, TX	\$96,400
Brazoria County Lake Jackson Annex Building	Lake Jackson, TX	\$3,926,500
Brazoria County Camp Mohawk	Alvin, TX	\$215,241
Brazoria County Resoft Park Ranger Station	Alvin, TX	\$649,800
Brazoria County Historical Museum	Angleton, TX	\$293,508
Sheldon ISD Compass Schools	Houston, TX	\$889,138
City of Webster - Animal Control & Police Dept	Webster, TX	\$1,206,200
San Jacinto College - Administration - Restroom Reno	Pasadena, TX	\$580,611
Cy-Fair FCU Copperfield Branch - Remodel	Houston, TX	\$496,878
FCCU Spring Branch Remodel - Phase I & Phase II	Houston, TX	\$2,291,000
Harris County EMS Stations 92 & 94	Houston, TX	\$6,178,460
Sheldon ISD Build Back	Houston, TX	\$3,616,026
ACU - Texas City	Texas City, TX	\$1,337,200
Houston Federal Credit Union - Kirby Branch	Houston, TX	\$236,012
Delores Fenwick Nature Center	Pearland, TX	\$2,535,728
PinnacleART - Phase V	Pasadena, TX	\$4,218,200
ACU - Alvin - Remodel (new location)	Alvin, TX	\$195,900

Project History

Mayde Creek E.S. & Sundown E.S. / Renovations	Houston & Katy, TX	\$1,233,000
Tom Reid Library / Renovations & New Construction	Pearland, TX	\$3,319,200
Sheldon ISD - Cravens ECA / Sheldon ECA Renovations	Houston, TX	\$263,525
Dickinson ISD - Food Nutrition Warehouse	Dickinson, TX	\$698,486
Pearland City Hall Complex Renovation	Pearland, TX	\$6,124,000
Heritage Bank - Growth & Lease Spaces Build-out	Lake Jackson, TX	\$295,502
Texas Gulf Bank - Lake Jackson - Teller Line	Lake Jackson, TX	\$142,000
Texas Gulf Bank - Clute - Teller Line	Clute, TX	\$176,500
ACU - Brenham - Disaster Recovery Center	Brenham, TX	\$640,800
Nottingham Country Elementary - Life Skills Remodel	Katy, TX	\$375,818
Heritage Bank	Lake Jackson, TX	\$2,315,791
Traylor Office Building	Pearland, TX	\$861,000
San Jacinto College - North - Baseball Facility	Houston, TX	\$622,648
ACU - Deer Park - Remodel	Deer Park, TX	\$768,545
ACU - La Marque - New Roof & Mechanical	La Marque, TX	\$256,699
NCI - 5th St.	Stafford, TX	\$24,973
NCI - Austin St.	Richmond, TX	\$82,515
MGArchitects Office	Houston, TX	\$799,388
Texas Gulf Bank - Voss	Houston, TX	\$110,269
Texas Gulf Bank - Angleton	Angleton, TX	\$246,426
Westbound Bank - FM 529 Branch	Houston, TX	\$1,149,307
Westbound Bank - Conroe Branch	Conroe, TX	\$1,170,350
NCI - Rosenberg Workforce Solutions	Rosenberg, TX	\$767,635
Brazoria County Courthouse Restroom Remodel	Angleton, TX	\$272,646
Texas Gulf Bank - Town & Country (Demo & Remodel)	Houston, TX	\$884,575
ACU Corporate Driveway Expansion	League City, TX	\$272,321
Ashford Crossing / Lincoln Properties	Houston, TX	\$138,885
Brazoria County Sheriff's Office	Angleton, TX	\$155,000
Brazosport College Welding Lab	Lake Jackson, TX	\$3,730,000
PinnacleART Phase III	Pasadena, TX	\$1,531,894
Brazoria County Pct. 4	Manvel, TX	\$2,442,000
Pearland Westside Library Expansion	Pearland, TX	\$290,000
NCI - Almeda Workforce Solutions	Houston, TX	\$607,000
PinnacleART Phase II	Pasadena, TX	\$2,978,375
Max Road Sports Complex	Pearland, TX	\$2,521,315
Anytime Fitness	League City, TX	\$108,271
Creekside Shopping Center	League City, TX	\$847,910
Booster Pump Station	Webster, TX	\$1,186,000
Ipswich Road Repairs at Hobby Airport	Houston, TX	\$143,905
Associated Credit Union Fry Rd.	Cypress, TX	\$1,166,409
Progressive Commercial Aquatics	Houston, TX	\$162,375
First Community Credit Union Parking Lot Expansion	Houston, TX	\$270,100
Integrity Bank Pasadena	Pasadena, TX	\$1,740,733
MidSouth Bank - Magnolia	Magnolia, TX	\$299,506
Integrity Bank Woodlands	Shenandoah, TX	\$534,994

Project History

Pearland ISD Turner HS Renovations	Pearland, TX	\$254,477
First Community Credit Union - Woodlands	The Woodlands, TX	\$107,300
MidSouth Bank - Veterans	Houston, TX	\$198,134
Texas Gulf Bank - West University	Houston, TX	\$344,256
Pearland Westside Library	Pearland, TX	\$380,726
Northwest Pines	Houston, TX	\$856,000
Southwest Water Reclamation Facility	League City, TX	\$2,586,590
South Main Baptist Church	Pasadena, TX	\$1,000,000
Texas Gulf Bank of Friendswood	Friendswood, TX	\$1,411,278
San Jacinto College District Child Care Lab School	Pasadena, TX	\$2,900,000
PinnacleAIS Office Complex	Pasadena, TX	\$1,229,962
Associated Credit Union of Texas - Headquarters	League City, TX	\$6,137,582
Brazoria County EMS Facility	Manvel, TX	\$1,542,398
San Jacinto College YUM Kitchen Renovations	Multiple Sites	\$958,154
Brazoria County Commissioner's Office	Alvin, TX	\$2,575,830
San Jacinto College Hurricane Repairs	Multiple Sites	\$7,145,019
Brazoria County Justice of the Peace Office	Pearland, TX	\$828,000
Urology of Houston Medical Clinic	Pasadena, TX	\$1,800,000
Broadway 518 Business Center	Pearland, TX	\$1,877,000
Cooperative Purchasing		Approximately \$4,000,000 Annually

References

Troy Kennedy	9Yards Architecture	281-316-6392	Troy@the9yards.com
Eric Batte	MGArchitects	713-552-0707	ebatte@mgarchitects.com
Mike Harris	San Jacinto College District	281-998-6338	mike.harris@sjcd.edu
Rex Anderson	Lukasa / Pinnacle	281-598-1330	rex.anderson@lukasa.net
Gerald Hendrick II	Brazoria County	979-864-1676	geraldh@brazoria-county.com
Jennifer Lee	City of Pearland, Projects Div.	281-652-1600	jlee@pearlandtx.gov
Ryan McLemore	PGAL Architects	713-622-1444	rmclemore@pgal.com

Education & Certifications

Houston Baptist University: Bachelors of Business Administration; Marketing

Joe Magnuson

Superintendent

joem@cmhou.com

713-245-6439

Employment History

Construction Masters of Houston, Inc.	2012 - Present
Diversified Finishes	1995 - 2018

Project History

Brazoria County Historical Museum - Westside Reno	Angleton, TX	\$996,700
Brazoria County Animal Control Renovation	Angleton, TX	\$584,711
Baytown Animal Services and Adoption Shelter	Baytown, TX	\$6,532,984
Brazoria County Lake Jackson Annex Building	Lake Jackson, TX	\$3,926,500
Brazoria County Historical Museum	Angleton, TX	\$293,508
Sheldon ISD Build Back	Houston, TX	\$3,616,026
ACU - Alvin - Remodel (new location)	Alvin, TX	\$195,900
Mayde Creek E.S. & Sundown E.S. / Renovations	Houston & Katy, TX	\$1,233,000
Sheldon ISD - Cravens ECA / Sheldon ECA Renovations	Houston, TX	\$263,525
Texas Gulf Bank - Lake Jackson - Teller Line	Lake Jackson, TX	\$142,000
Texas Gulf Bank - Clute - Teller Line	Clute, TX	\$176,500
Texas Gulf Bank - Angleton	Angleton, TX	\$246,426
NCI - Rosenberg Workforce Solutions	Rosenberg, TX	\$767,635
ACU - Friendswood Kroger	Friendswood, TX	\$112,395
ACU - Alvin Kroger	Alvin, TX	\$96,454
Pearland Westside Library Expansion	Pearland, TX	\$290,000
Brazoria County - Various Projects - Renovations		
San Jacinto College District - Various Projects - Renovations		

References

Mary Henson	Texas Gulf Bank	979-888-7850	mhenson@texasgulfbank.com
Charles Griffiths	Huckabee	281-520-4995	charles.griffiths@huckabee-inc.com
Toni O'Bryan	LAN, Inc.	713-266-6900	TMOBryan@lan-inc.com

Education & Certifications

San Jacinto College

Dennis Busby

Safety Manager

dennis@cmhou.com

281-780-3871

Employment History

Construction Masters of Houston, Inc.
 Northwinds Construction
 Teal Construction
 K.D. Development
 Wood Master Building Company

August 2008 - Present
 February 2007 - August 2008
 September 2005 - February 2007
 July 2002 - September 2005
 October 1999 - May 2002

Project History

HCESD 48 - Fire Station 4 Renovation	Katy, TX	\$989,300
Barbers Hill MSN Girls Athletic Renovations	Mont Belvieu	\$632,615
City of Baytown - Utility Services Building	Baytown, TX	\$3,467,695
Champions Fire Station 11 Renovation	Houston, TX	\$359,700
Baytown Animal Services and Adoption Shelter	Baytown, TX	\$6,532,984
Village Fire Station Addition and Renovations	Hedwig Village, TX	\$4,707,600
San Jacinto College -Maritime Expansion Fire Training C	Pasadena, TX	\$1,047,600
Arcola City Hall Renovations	City of Arcola, TX	\$2,034,000
Plus 4 Credit Union - Tomball Branch	Tomball, TX	\$327,600
EMS Station 97	Humble, TX	\$1,819,000
Sheldon ISD Compass Schools	Houston, TX	\$889,138
Cy-Fair FCU Copperfield Branch - Remodel	Houston, TX	\$496,878
FCCU Spring Branch Remodel - Phase I & Phase II	Houston, TX	\$2,291,000
Harris County EMS Stations 92 & 94	Houston, TX	\$6,178,460
Sheldon ISD Build Back	Houston, TX	\$3,616,026
Houston Federal Credit Union - Kirby Branch	Houston, TX	\$236,012
ACU - Alvin - Remodel (new location)	Alvin, TX	\$195,900
Mayde Creek E.S. & Sundown E.S. / Renovations	Houston & Katy, TX	\$1,233,000
Sheldon ISD - Cravens ECA / Sheldon ECA Renovations	Houston, TX	\$263,525
Dickinson ISD - Food Nutrition Warehouse	Dickinson, TX	\$698,486
ACU - Brenham - Disaster Recovery Center	Brenham, TX	\$640,800
ACU - Deer Park - Remodel	Deer Park, TX	\$768,545
ACU - La Marque -New Roof & Mechanical	La Marque, TX	\$256,699
NCI - 5th St.	Stafford, TX	\$24,973
NCI - Austin St.	Richmond, TX	\$82,515
MGArchitects Office	Houston, TX	\$799,388
Texas Gulf Bank - Voss	Houston, TX	\$110,269
Texas Gulf Bank - Angleton	Angleton, TX	\$246,426
Westbound Bank - FM 529 Branch	Houston, TX	\$1,149,307
Westbound Bank - Conroe Branch	Conroe, TX	\$1,170,350
NCI - Rosenberg Workforce Solutions	Rosenberg, TX	\$767,635
Brazoria County Courthouse Restroom Remodel	Angleton, TX	\$272,646

Project History

Texas Gulf Bank - Town & Country (Demo & Remodel)	Houston, TX	\$884,575
ACU Corporate Driveway Expansion	League City, TX	\$272,321
Ashford Crossing / Lincoln Properties	Houston, TX	\$138,885
Brazoria County Sheriff's Office	Angleton, TX	\$155,000
Brazosport College Welding Lab	Lake Jackson, TX	\$3,730,000
PinnacleAIS Phase III	Pasadena, TX	\$1,531,894
Brazoria County Pct. 4	Manvel, TX	\$2,442,000
Pearland Westside Library Expansion	Pearland, TX	\$290,000
NCI - Almeda Workforce Solutions	Houston, TX	\$607,000
Associated Credit Union Fry Rd.	Cypress, TX	\$1,166,409
Progressive Commercial Aquatics	Houston, TX	\$162,375.00
First Community Credit Union Parking Lot Expansion	Houston, TX	\$270,100.00
Integrity Bank Woodlands	Shenandoah, TX	\$534,994.00
Harris County ESD #1 (Fire Station & Clinic)	Houston, TX	\$97,525.00
MidSouth Bank Phase II / Veterans /Greenspoint Branch	Houston, TX	\$198,134.28
Northwest Pines Club House	Houston, TX	\$957,157.00
League City SWWRF	League City, TX	\$2,586,590.00
Manvel EMS	Manvel, TX	\$1,542,398.00
Texas Gulf Bank Renovation	Lake Jackson, TX	\$213,983.50

References

Ricardo Martinez	Martinez Architects	281-346-7371	ricardo@martinez-architects.com
Jeremy Hyde	Harris County ESD No. 1	281-449-3131	jhyde@hcec.com
Spencer Clark	AG CM	713-842-0540	sclark@agcm.com
Troy Kennedy	9Yards Architecture	281-316-6392	Troy@the9yards.com
Eric Batte	MG Architects	713-552-0707	ebatte@mgarchitects.com
Juan Mendoza	Sheldon ISD / LAN	713-266-6900	jmendoza@lan-inc.com

Education & Certifications

Certified: Fork Lift



P.O. Box 1587
 Pearland, Texas 77588
 Phone: 281/997-2640
 Fax: 281/485-4702

TAB 9: EXPERIENCE ON SIMILAR PROJECTS

This section of the Proposal addresses the Proposer's related experience with an emphasis on past construction experience.

Experience constructing major commercial construction projects:

- Describe the Proposer's experience in the last ten (10) years on any construction projects involving commercial projects of significant scope, similar to the project.
- Include the project name, location, description, size, and cost.
- Provide the date of actual construction start, and actual substantial completion compared to planned start and planned completion; explain variances.
- Provide the original construction budget, final construction cost: explain variances.
- Include the number of Change Orders and dollar amounts.
- Describe field conditions.
- Provide the name of the owner and any other key project team members (include address and telephone numbers).
- Describe the services performed by the Proposer or persons currently employed by the Proposer as well as the Proposer's office performing the work (if applicable).

Include the name of the architect of record.

- **The following is an abbreviated list of Public Projects by Construction Masters.**
 - **1) Harris County ESD #1 - EMS Stations 92 and 94**
 92: 1618 Isom St., Houston, TX 77039 / 94: 6310 Aldine Bender Rd., Humble, TX 77396
 New construction of two - 15,000 SF EMS Stations.

Owner: HCESD #1 / Jeremy Hyde / 281-449-3131 / jhyde@hcec.com

Contract: \$6,178,460
SCD: 92 – 4/7/2020 / 94 – 3/23/2020
Architect: Joiner Architects
 - **2) Brazoria County Sub Office Building**
 3633 CR 58, Manvel, TX 77578
 New construction of a freestanding courthouse building, approx. 17,000 SF.

Owner: Brazoria County / Gerald Hendrick II / 979-215-4840 / geraldh@brazoria-county.com

Contract: \$2,429,100
SCD: 11/1/2014
Architect: PGAL

Continued next page

- **3) Brazoria County Sheriff's Office**
3602 County Rd. 45, Angleton, TX 77515
Renovation of the Dispatch Office including new workstations; improvement to facility acoustics; new HVAC; and electrical work. Project was a JOC / Design Build.
Owner: Brazoria County / Gerald Hendrick II / 979-215-4840 / geraldh@brazoria-county.com
Contract: \$155,317
SCD: 3/13/2015
Architect: Design/Build – Gerald Hendrick II, Brazoria County

- **4) Pearland City Hall and Annex Renovation**
3519 and 3523 Liberty Dr., Pearland, TX 77581
Complete gut and remodel of 125,000 SF area. The two buildings, comprised of a three-story City Hall structure and one-story Annex Building, housing operations personnel, council chambers and administration. Phased project.
Owner: City of Pearland, Michael Collins, Construction Manager
281-652-1747 / mcollins@pearlandtx.gov

Contract: \$5,619,510
SCD: 10/15/2021
Architect: Huitt-Zollars, Inc.

- **5) Webster Police Department Renovation**
217 Pennsylvania Ave., Webster, TX 77598
Renovation of the breakroom, dispatch breakroom, property room and restrooms encompassing a 2,433 SF area.
Owner: City of Webster, David Glasco, Manager, Engineering / Construction
281-316-4139 / dglasco@cityofwebster.com

Contract: \$352,039
SCD: 9/17/2019
Architect: PGAL



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TAB 10: MANAGEMENT APPROACH AND SERVICES

The Proposal should provide a detailed narrative of the management approach that will be used for the project. The Proposer should identify any unique experience, qualifications, tools, techniques, and approaches that will best achieve the project's objectives. Proposer shall explain why and how it is industry-leading in these areas.

The following issues should be addressed for the construction:

- Scheduling and scheduling management.
- Cost tracking and control.
- Project documentation and reporting.
- Design review approaches.
- Construction coordination and management.
- Construction quality assurance and control plan.
- Software programs, web-based applications, and other computer applications proposed or required for construction management, scheduling, and cost management tasks.
- Examples of project deliverables (as attachment to proposal, pages are excluded from page limit of proposal).
- Experience with alternate delivery strategies and innovative ways to speed up procurement and project delivery.
- Experience with BIM and 3, 4 and 5 D technologies.

Response:

Foreword:

Since 1987, Construction Masters has been a steady presence in the commercial construction industry throughout the greater Houston area. Our proposed team of management and support come with over 50 years of experience with Construction Masters. In addition to our in-house team is a network of subcontractors and vendors. Many of which we have had relationships with for more than 10 years. This direct work experience illustrates our cohesiveness as a team and our commitment to achieving common goals through innovation and collaboration.

Management System:

Construction Masters has teamed with Architects and Owners utilizing the Procore Management Software, Projectmates, and Active Collab, to name a few. These programs effectively bring together all management phases of the project, including, planning, development, bidding, construction, and completion.

Schedule Management:

Our construction schedule will be used to forecast material and labor needs and for coordination with the Owner. The schedules are developed by using the MS Project management software.

We maintain schedule control by proposing a realistic schedule, procuring materials early, hiring subcontractors with ample manpower, forecasting conflicts, and adjusting quickly when things do not go as planned.

Cost Control:

In the last 2 years, 90% of our business came from repeat customers. We believe this statistic illustrates our commitment to our core values which are honesty, integrity, and transparency. We earn these relationships by building trust through schedule management, cost control and building a quality product.

Cost Control begins at the estimating stage. Our goal is to identify potential conflicts at this stage to avoid uncomfortable conversations during the build.

We only partner with subcontractors who share this common goal. While bidding, we discard subcontractor bids that look unrealistic because they do not align with our cost expectations. Majority of the time these subcontractors do not end up being team players. If we think they will be looking for change orders, we will move to the next responsible bidder. This process may inflate our numbers, but we would rather lose out on a project than win one with a poorly put together team. We want you to become another repeat customer.

Throughout construction we are collaborating with subcontractors, architects, and engineers to identify conflicting field conditions, unexpected consequences, and constructability issues. In many situations, additional costs can be avoided through proper planning and foresight.

When added costs are unavoidable, we look to propose solutions that minimize overall impact. Often, we can eliminate the added cost all together by suggesting corresponding changes that do not take away from aesthetics or functionality.

Change orders are not good for anyone involved including us. You have our commitment to work responsibly and proactively.



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TAB 11: UNIQUE CAPABILITIES / RESOURCES

Summarize any unique capabilities and/or resources that distinguish the Proposer regarding this project.

Project Approach and Understanding

Since 1987, Construction Masters has been a steady presence in the commercial construction industry throughout the greater Houston area. Our proposed team of management and support come with over 50 years of experience with Construction Masters. In addition to our in-house team is a network of subcontractors and vendors. Many of which we've had relationships with for more than 10 years. This direct work experience illustrates our cohesiveness as a team and our commitment to achieving common goals through innovation and collaboration.

Our project team will be led by Justin Davis, President of Construction Masters. Justin has been with CM since 2006 and in his current role for the last 10 years. Justin will serve as this project's lead executive. His duties will include contract administration, labor & product procurement, submittal review, schedule management, quality control and overall project oversight. Justin will office from our location in Pearland but will make a minimum of 1 site visit per week and attend all OAC meetings. Approximately 30% of Justin's work hours will be spent on this project. He is 100% committed to the success of this project and building a relationship with the City of Angleton.

Justin will also serve as the Project Manager for this build. His Project Management duties will include subcontractor management, construction process control, safety inspections, quality assurance and construction conflict resolution.

Our onsite Superintendent will be Joe Magnuson. Joe has been a member of the CM Team since 2012. He was chosen for this role based on his experience with public market sector. Joe's duties will include day-to-day project administration, subcontractor management, quality and safety assurance, schedule maintenance and customer coordination. Joe will be onsite full time for the duration of the project. Joe is 100% committed to the success of this project and building a relationship with the City of Angleton.

Lynnette McLain is our Project Coordinator. Lynnette has been a member of the CM Team for 12 years and in her current role for the last 9 years. Her duties include subcontractor contract administration, submittal coordination, delivery management, field support and project closeout. Lynnette will office solely from our location in Pearland. 30% of her work hours will be spent on this project. Lynnette is 100% committed to the success of this project and building a relationship with the City of Angleton.

Marji Carns is our Office Manager. Marji has been with CM for 13 years, all of which in her current role. Her duties on this project include insurance compliance, accounts receivable,

accounts payable, lien protection and project document control. She will office from our Pearland location and will spend 20% of her work hours on this project. Marji is 100% committed to the success of this project and building a relationship with the City of Angleton.

Construction Masters is extremely selective when it comes to subcontractors. We believe our role is to put people in the best position possible to be successful. This requires carefully analyzing each project and selecting partners with skillsets and manpower appropriate for each job. We are looking for subcontractors who offer the most value rather than the cheapest price. This approach may take away from our bottom line, but it also insures a successful build. We will not jeopardize our reputation by putting together an unqualified team just to try to win a project. Our goal is to win this award and build a long-standing relationship with the City of Angleton.

We are thankful for the opportunity given to us to submit this proposal and look forward to the possibility of working with the City of Angleton.

Best Regards,

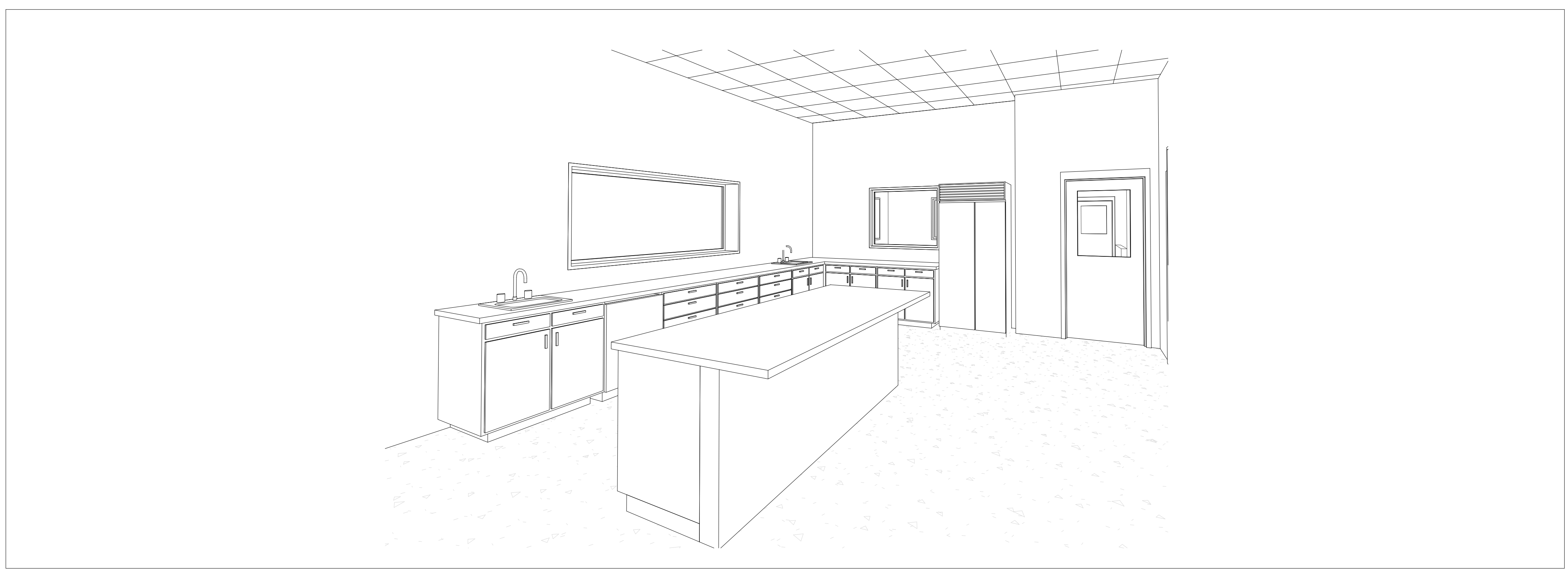
Justin Davis
President

CONTRACT DOCUMENTS FOR THE OYSTER CREEK WASTEWATER TREATMENT PLANT

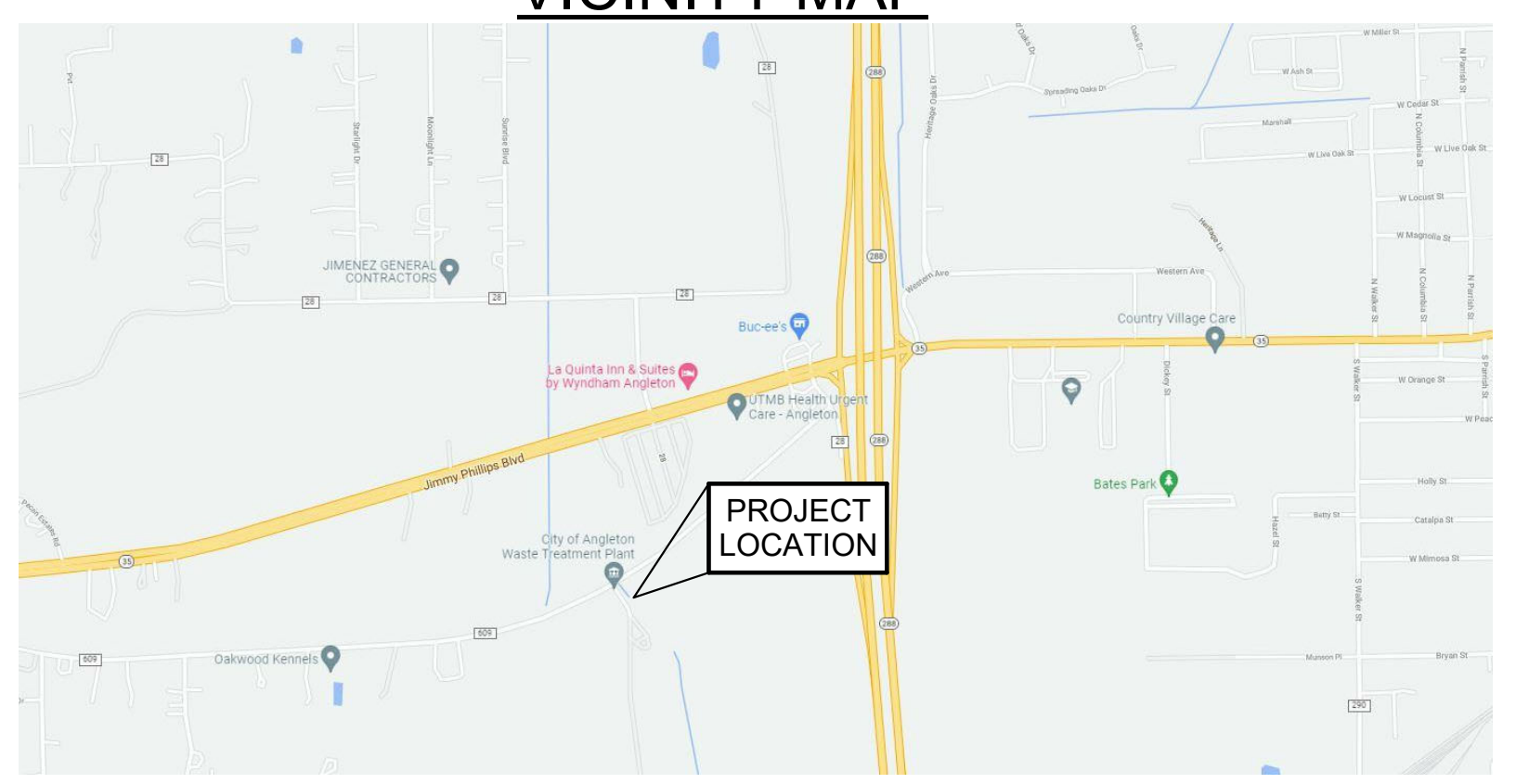
474 COUNTY RD 609
ANGLETON, TEXAS 77515

DRAWING INDEX

G000	COVER SHEET
D101	DEMOLITION PLAN
LS101	SECOND FLOOR LIFE SAFETY PLAN
A101	PROPOSED FLOORPLANS
A102	FINISH PLAN & DOORS
A401	ENLARGED PLAN AND INTERIOR ELEVATIONS
A501	DETAILS
A601	SCHEDULES & SPECIFICATIONS
A602	GENERAL REQUIREMENTS & SPECIFICATIONS
M101	MECHANICAL LAYOUT
M201	MECHANICAL SCHEDULE AND DETAILS
M301	MECHANICAL SPECIFICATIONS
P101	PLUMBING LAYOUT - DEMOLITION
P102	PLUMBING - DOMESTIC & SANITARY
P201	PLUMBING DETAILS
P301	PLUMBING SPECS & SCHEDULES
E000	ELECTRICAL GENERAL INFORMATION
E100	ELECTRICAL NEW WORK PLANS



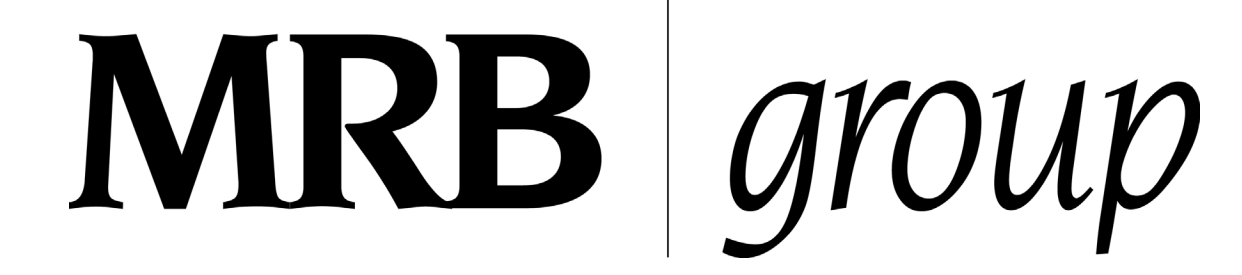
VICINITY MAP



OWNER
CITY OF ANGLETON
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ANGLETON, TEXAS ZIP 77515
P. 979.849.4364
MEIGHME@ANGLETON.TX.US

ARCHITECT
MRB GROUP
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TEMPLE, TX 76501
P. 254.771.2054
TANYA.REED@MRBGROUP.COM

MEP
CEN-TEX ENGINEERING
CONTACT: MICHAEL PITTS
18 S MAIN ST, SUITE 610
TEMPLE, TX 76501
P. 254.598.9704
MPITTS@CENTEXENG.COM



MRB Group, P.C.

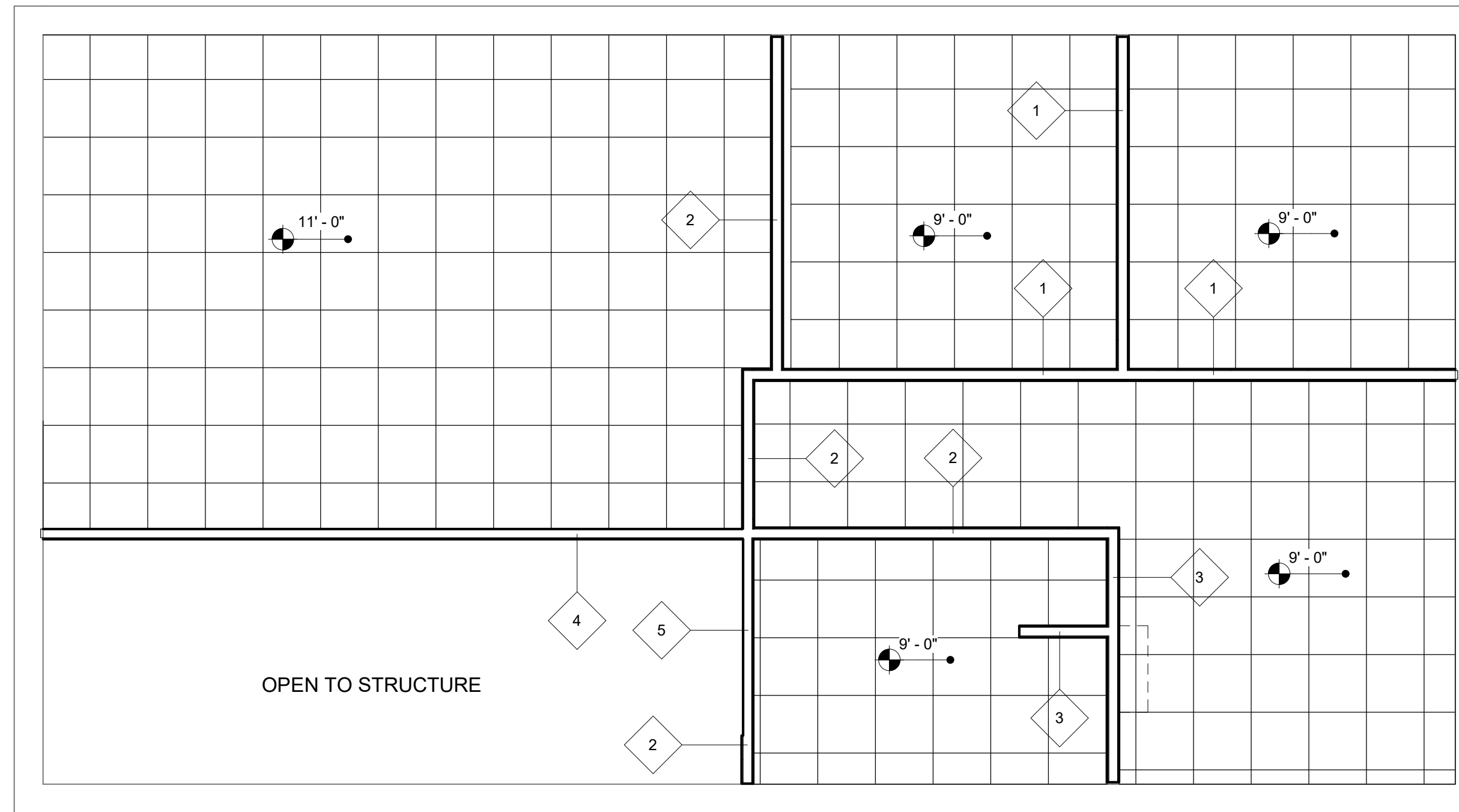
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Phone: 512-436-8571
303 W. Calhoun Ave. Temple, TX 76501
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www.mrbgroup.com

**PROJECT 0109.21005
JANUARY 14, 2022**

90% FOR REVIEW

PARTITION TYPES

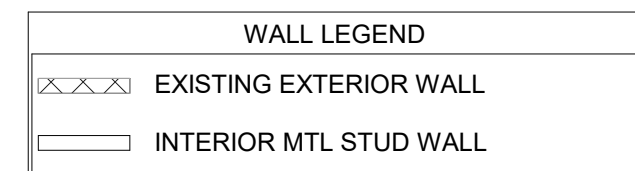
- 1 STANDARD WALL - 5/8" GYPSUM BOARD EACH SIDE OF 2x4 MTL STUDS @ 16" O.C. - EXTEND TO STRUCTURE.
- 2 STANDARD AND WET WALL - 5/8" GREEN BOARD ON WET SIDE AND 5/8" GYPSUM BOARD ON DRY SIDE OF 2x4 MTL STUDS @ 16" O.C. - EXTEND TO STRUCTURE.
- 3 WET WALL - 5/8" GREEN BOARD EACH SIDE OF 2x4 MTL STUDS @ 16" O.C. - EXTEND TO STRUCTURE.
- 4 MECH WALL - 5/8" GYPSUM BOARD ONE SIDE OF 2x4 MTL STUDS @ 16" O.C. - EXTEND TO STRUCTURE.
- 5 MECH WALL - 5/8" GREEN BOARD ONE SIDE OF 2x4 MTL STUDS @ 16" O.C. - EXTEND TO STRUCTURE.



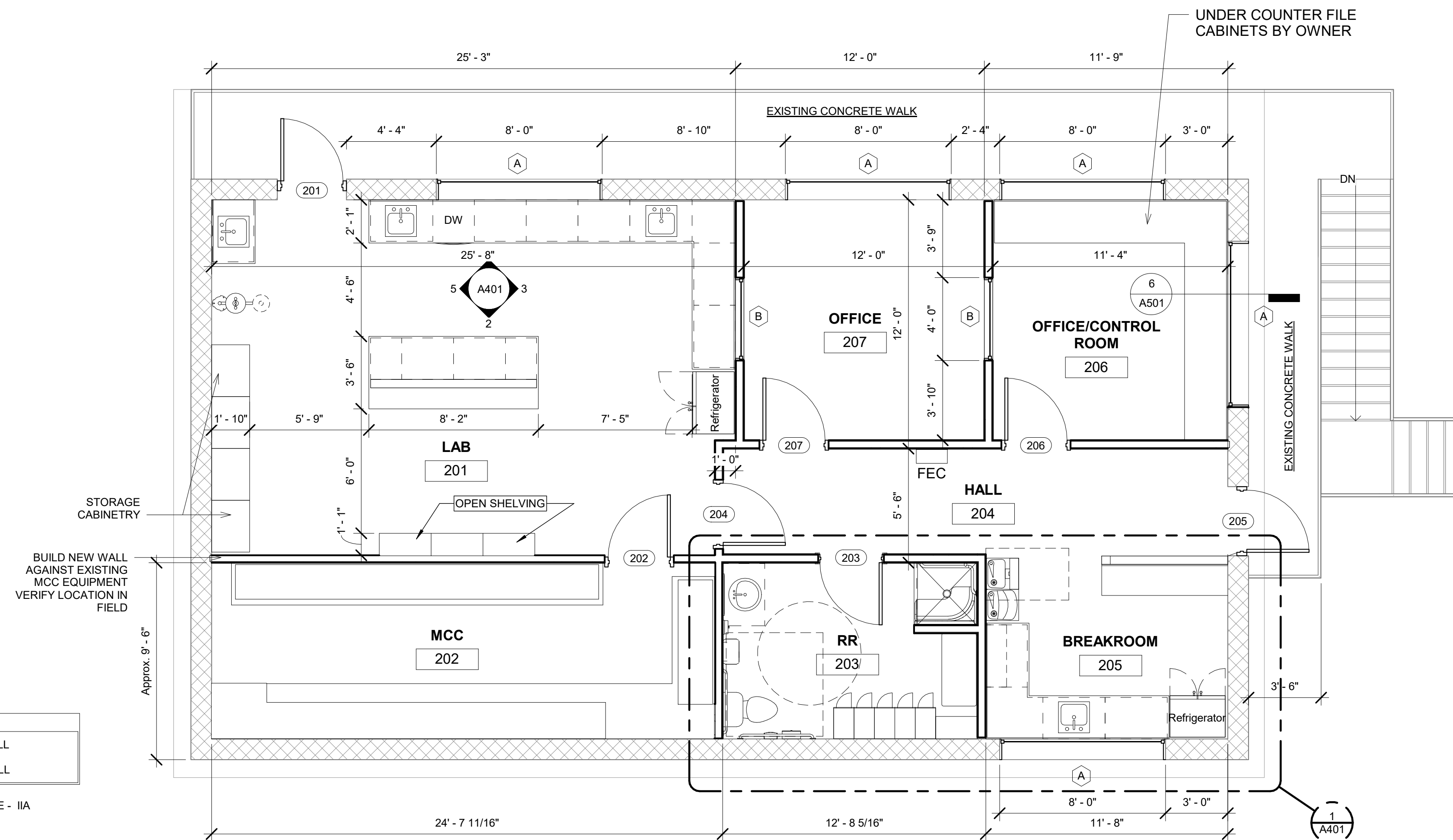
2 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES

1. REMOVE AND DISPOSE OF ALL EXISTING INTERIOR WALLS. NEW WALL TO BE CONSTRUCTED IN SIMILAR PLACES. SEE PLANS. ALL NEW WALLS TO INCLUDE SOUND BATT INSULATION.
2. DEMOLISH EXISTING FLOORING AS REQUIRED. EPOXY FLOORING EVERYWHERE EXCEPT RESTROOMS. TILE IN RESTROOMS.
3. CEILING HEIGHT TO BE 9'-0" FOR ALL ROOMS EXCEPT LAB. LAB CEILING HEIGHT TO BE 11'-0". ALL CEILINGS TO BE DEMOLISHED AND REPLACE WITH 2X2 ARMSTRONG MOLD RESISTANT LAY-IN TILES W/ SPRAY DISINFECTABILITY.
4. ALL EXTERIOR WINDOWS TO BE REPLACED OR ADDED TO MEET WIND CODE.
5. ALL DOORS TO BE REPLACED WITH 3'-0"X 7'-0" DOORS TO MEET FIRE CODE AND HAVE A HALF LIGHT WINDOW. SEE DOOR SCHEDULE.
6. ALL DOORS TO HAVE LEVER HARDWARE
7. ALL FAUCETS, TOILETS, SOAP DISPENSER AND AIR DRYERS TO BE TOUCHLESS.
8. ALL LIGHTS TO BE SENSOR LED LIGHTS. SEE MEP.
9. ALL DUCTWORK TO BE REDESIGNED FOR NEW LAYOUT. SEE MEP.
10. WHITE INTEGRATED SLIMSHADE BLIND SYSTEM TO BE IN ALL EXTERIOR WINDOWS.
11. APPLIANCES BY OWNER



BUILDING CONSTRUCTION TYPE - IIA



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

No.	Revisions and Descriptions	By	Date

Project Title: OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

Drawing Title: PROPOSED FLOORPLANS

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Drawn By: AM	Checked By: TMR	Scale: As Indicated	Date: 01/14/2022
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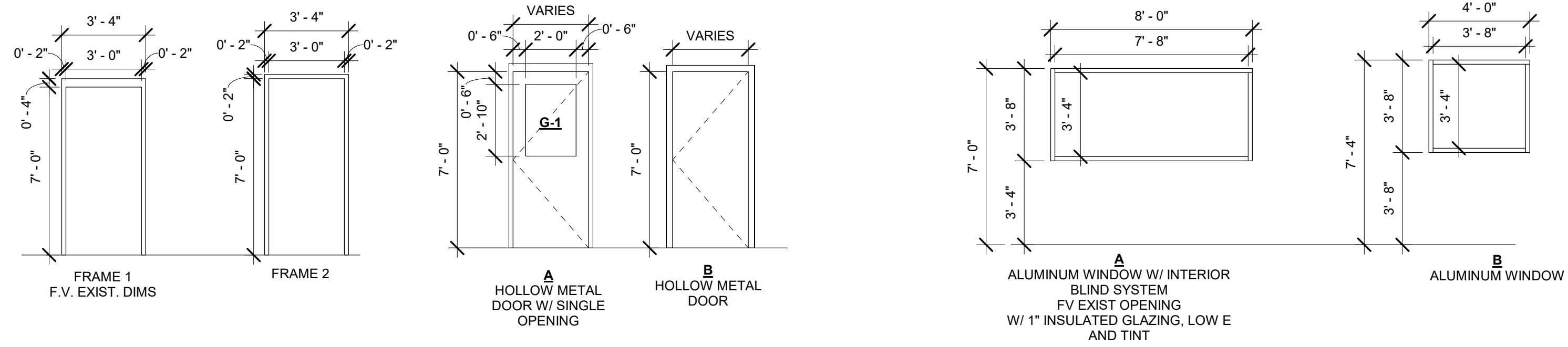
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303 W. Calhoun, Suite 100, Angleton, TX 77515
Phone: 281-771-3954
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Room Schedule						
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
201	LAB	EPOXY	EPOXY	PT	ACT	
202	MCC	EPOXY	EPOXY	PT	OPEN TO STRUCTURE	
203	RR	TILE	TILE	PT	ACT	
204	HALL	EPOXY	EPOXY	PT	ACT	
205	BREAKROOM	EPOXY	EPOXY	PT	ACT	
206	OFFICE/CONTROL ROOM	EPOXY	EPOXY	PT	ACT	
207	OFFICE	EPOXY	EPOXY	PT	ACT	

Door Schedule										
Door No.	Type	Height	Width	Finish	Glass Type	Frame Type	Frame Material	Hardware	Fire Rating	Comments
201	A	7'-0"	3'-0"	HM		1	HM		Available in 20, 45, 60, & 90 minute ratings.	
202	A	7'-0"	3'-0"	HM		2	HM		Available in 20, 45, 60, & 90 minute ratings.	
203	B	7'-0"	3'-0"	HM		2	HM			
204	A	7'-0"	3'-0"	HM		2	HM			
205	A	7'-0"	3'-0"	HM		1	HM		Available in 20, 45, 60, & 90 minute ratings.	
206	A	7'-0"	3'-0"	HM		2	HM			
207	A	7'-0"	3'-0"	HM		2	HM			

FINISH SPECIFICATIONS

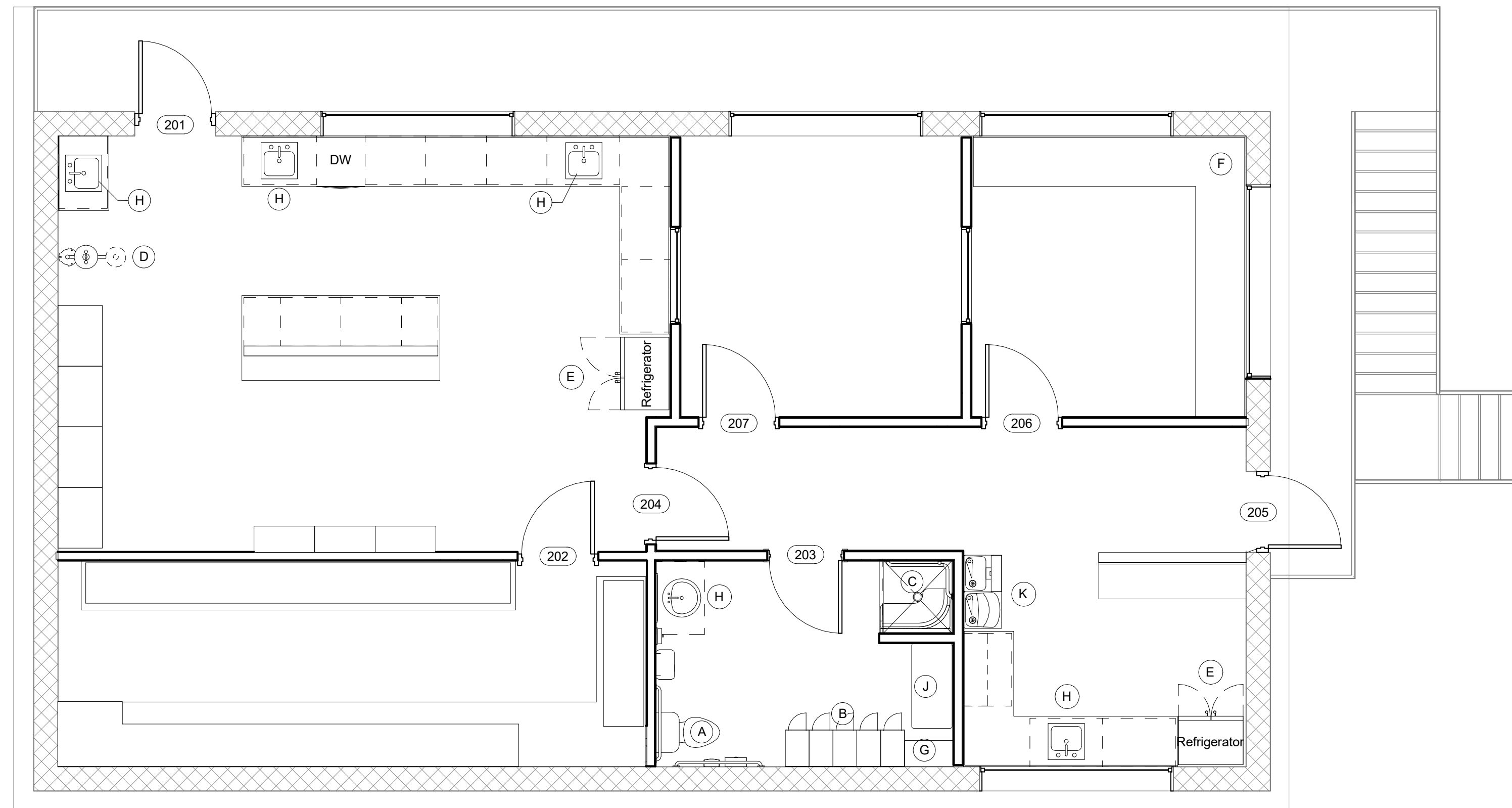
WALLS	ALL PAINTS TO BE SHERWIN WILLIAMS UNLESS OTHERWISE NOTED OR APPROVED EQUIVALENT ALL INTERIOR GYP. BD. WALLS TO BE 5/8" TYPE 'X' GYPSUM BOARD UNLESS NOTED IN PARTITION TYPE, TEXTURED WITH A MEDIUM LEVEL ORANGE PEEL AND PAINTED WITH ONE COAT ULTRA SPEC 500 WALL PRIMER 534 (1.1 MILS) AND TWO COATS INTERIOR PAINT SEMI-GLOSS A100 (1.6 MILS).
CEILINGS	ACT - 2X2 ACOUSTIC TILE, ARMSTRONG OPTIMA LAY-IN SQUARE, THROUGHOUT EXCEPT WHERE OTHERWISE NOTED - INSTALL PER MANUF RECOMMENDATIONS
FLOORS	NOVOLAC EPOXY FLOORING - STANDARD GREY PORCELAIN TILE IN RESTROOM - COLOR BY OWNER PROVIDE MARBLE TRANSITION STRIP TO MATCH TILE COLOR
TRIM	METAL FRAMES TO BE PAINTED WITH SATIN WATER BASE ACRYLIC LATEX EQUIVALENT TO ONE COAT OF DTM ACRYLIC PRIMER/FINISH (2.5 MILS) AND TWO FINISH COATS DTM ACRYLIC S-6 (3.0 MILS EA.). PAINT TO MATCH ADJACENT WALLS ALL WINDOW TRIM, PRIME & PAINT, INTERIOR SIDE RUBBER BASE, TYP. THROUGHOUT. TILE BASE IN BATHROOMS
DOORS	ALL INTERIOR DOORS TO BE PAINTED ALL INTERIOR FRAMES TO BE PAINTED
SIGNAGE	ALL INTERIOR SIGNAGE TO BE ADA COMPLIANT. STANDARD SIGNAGE AT EACH ENTRANCE, AND INTERIOR ROOM. EXTERIOR SIGNAGE TO BE FROM TEXAS CUSTOM SIGNS OR APPROVED EQUAL
MISC	PRIME AND PAINT ALL EXPOSED METAL, CONDUIT, PLYWOOD PANELS (TYP)



NOTE:
DOOR HARDWARE MOUNTING HEIGHT
3'-0" STANDARD HEIGHT, TYP.

EQUIPMENT

- A TOILET
- B STEEL LOCKERS: 12"X12"X8'-0"
- C SHOWER: 40" X 40"
- D SAFETY STATION WITH EYEWASH
- E REFRIGERATOR: BY OWNER
- F OPEN COUNTERTOP W/ TUBE STEEL BRACE, RE: 7/A501
- G CABINETRY: BY OWNER
- H SINK: RE: MEP
- J ADA LOCKER BENCH
- K HI-LO WATER FOUNTAINS W/ (1) BOTTLE FILLER, ADA COMPLIANT



1 SECOND FLOOR FINISH PLAN
1/4" = 1'-0"

No.	Revisions and Descriptions	By	Date

Project Title:
OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

Drawing Title:
FINISH PLAN & DOORS

Drawn By:	AM
Checked By:	TMR
Scale:	As Indicated
Date:	01/14/2022

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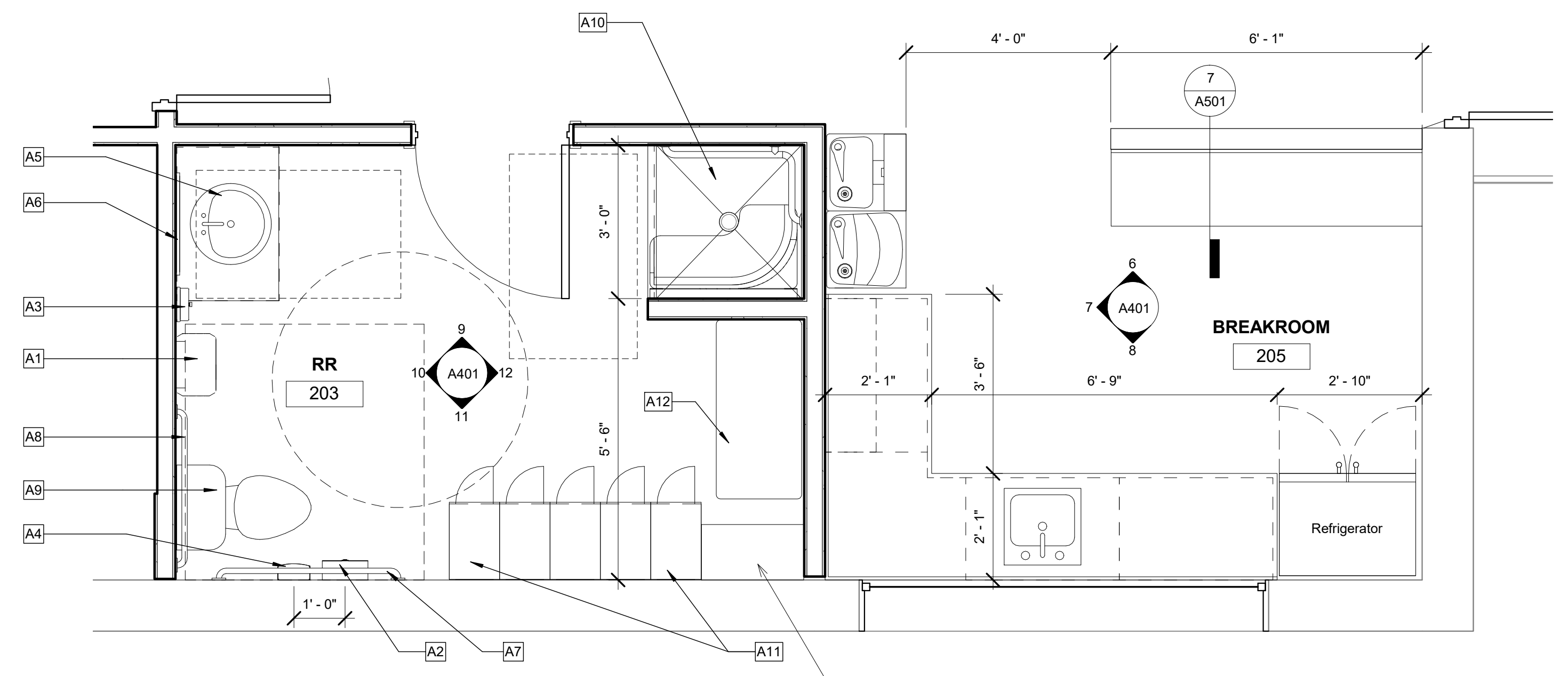
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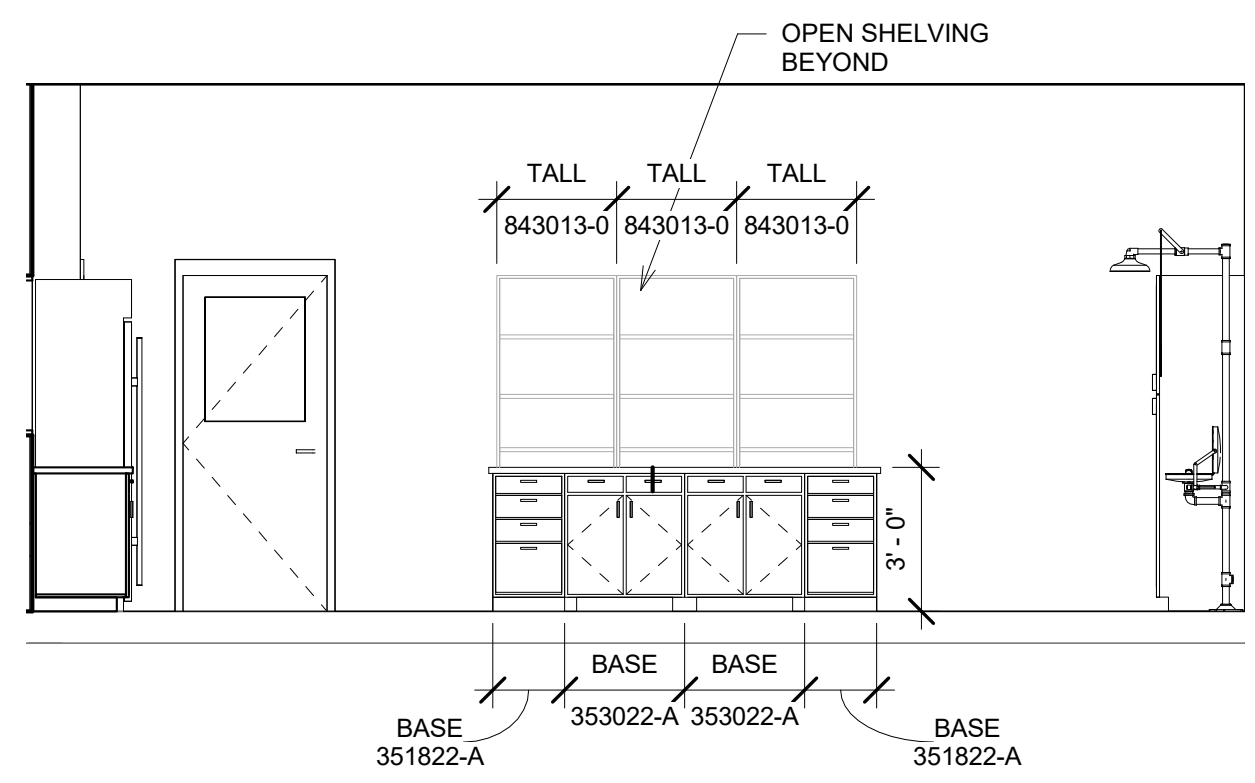
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of	
Project No.	0109.21005

ACCESSORIES LEGEND

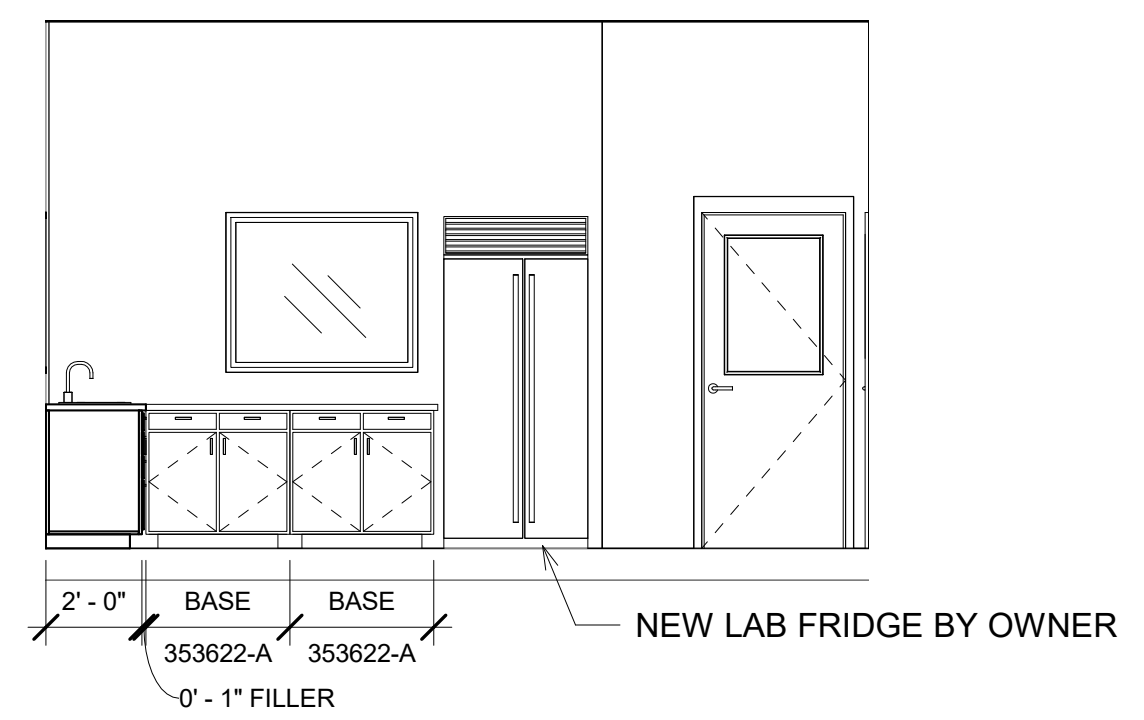
A1	PAPER TOWEL DISPENSER TOUCHLESS	INSTALL AT EACH RESTROOM LAVATORY AS SHOWN ON PLANS 1. MODEL NUMBER: GEORGIA PACIFIC COMMERCIAL MODEL 59462
A2	TOILET TISSUE DISPENSER	EACH RESTROOM TOILET 1. MODEL NUMBER: BOBRICK B-2890
A3	SOAP DISPENSER	INSTALL AT EACH LAVATORY AS SHOWN ON PLANS 1. MODEL NUMBER: BOBRICK B-2013 OR EQUAL
A4	SANITARY NAPKIN DISPOSAL	EACH UNI-SEX RESTROOM 1. MODEL NUMBER: BOBRICK B-270
A5	SINK	PORCELAIN WALL-MOUNT (ADA) 1. INSULATE HOT WATER SUPPLY AND DRAIN RE: MEP
A6	MIRROR	INSTALLED 24" X 36" BEVELED FRAME OVER WALL MOUNTED LAVATORY 1. MODEL NUMBER: BOBRICK B-290 OR APPROVED EQUAL - CONFIRM WITH OWNER PRIOR TO INSTALLATION DESCRIPTION: BEVELED FRAME EDGE GALVANIZED STEEL BACK WITH SLOTS FOR MOUNTING SCREWS AND INTEGRAL SCREW-HEAD LOCK. BACK PROTECTED BY SHOCK-ABSORBING WATER-RESISTANT PADDING 2. INSTALL MIRROR AT 3'-4" AFF TO REFLECTIVE SURFACE
A7	42" GRAB BAR	INSTALLED IN EACH ACCESSIBLE TOILET AS SHOWN ON PLANS 1. MODEL NUMBER: BOBRICK B-6806 2. DESCRIPTION: 1-1/2" OUTSIDE DIA. X PLAN LENGTH, HORIZONTAL, 1-1/2" WALL CLEARANCE. TYPE 304 MINIMUM 18 GA. STAINLESS STEEL. CONCEALED SCREW ATTACHED MOUNTING AND ANCHORAGE. NO.4 SATIN FINISH. MINIMUM 900 POUND SUPPORTING CAPACITY
A8	36" GRAB BAR	EACH UNI-SEX, MOUNT TO DOOR (ADA) 1. MODEL NUMBER BOBRICK B-672 2. MOUNT @ 36" AFF MAX.
A9	ADA COMPLIANT FLOOR MOUNTED TOILET	INSTALLED IN EACH UNISEX AND PARTITIONED RESTROOM - CENTERLINE 16" FROM WALL AT ALL ADA RESTROOMS 1. MODEL NUMBER: RE: MEP
A10	ADA COMPLIANT SHOWER	1. MODEL NUMBER: RE: MEP
A11	LOCKERS	INSTALL 5 IN RESTROOM 1. HALLOWELL STEEL SINGLE TIER 1 DOOR LOCKER MODEL NUMBER: WGB661819 OR EQUAL
A12	ADA BENCH	INSTALL AT RESTROOM 1. SALSBUURY MODEL NUMBER: 77781-ADA-LGT OR EQUAL



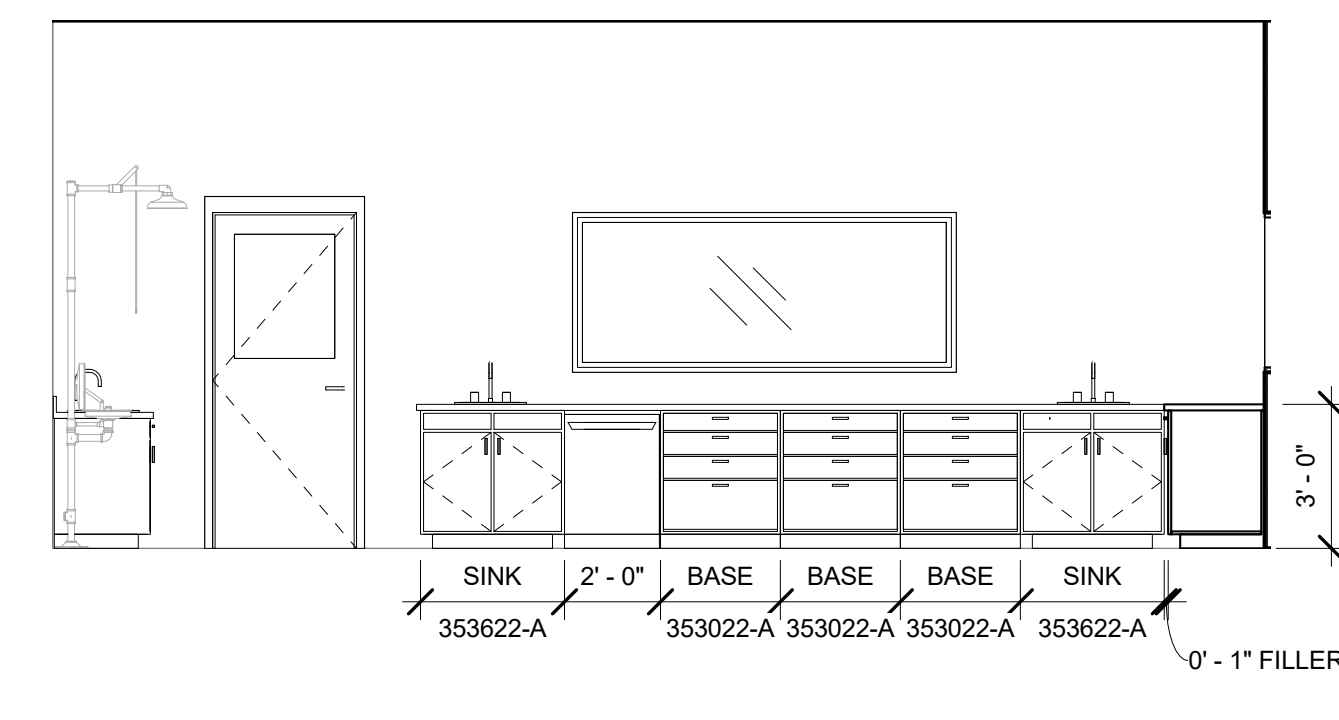
1 ENLARGED BATHROOM AND BREAKROOM
1/2" = 1'-0"



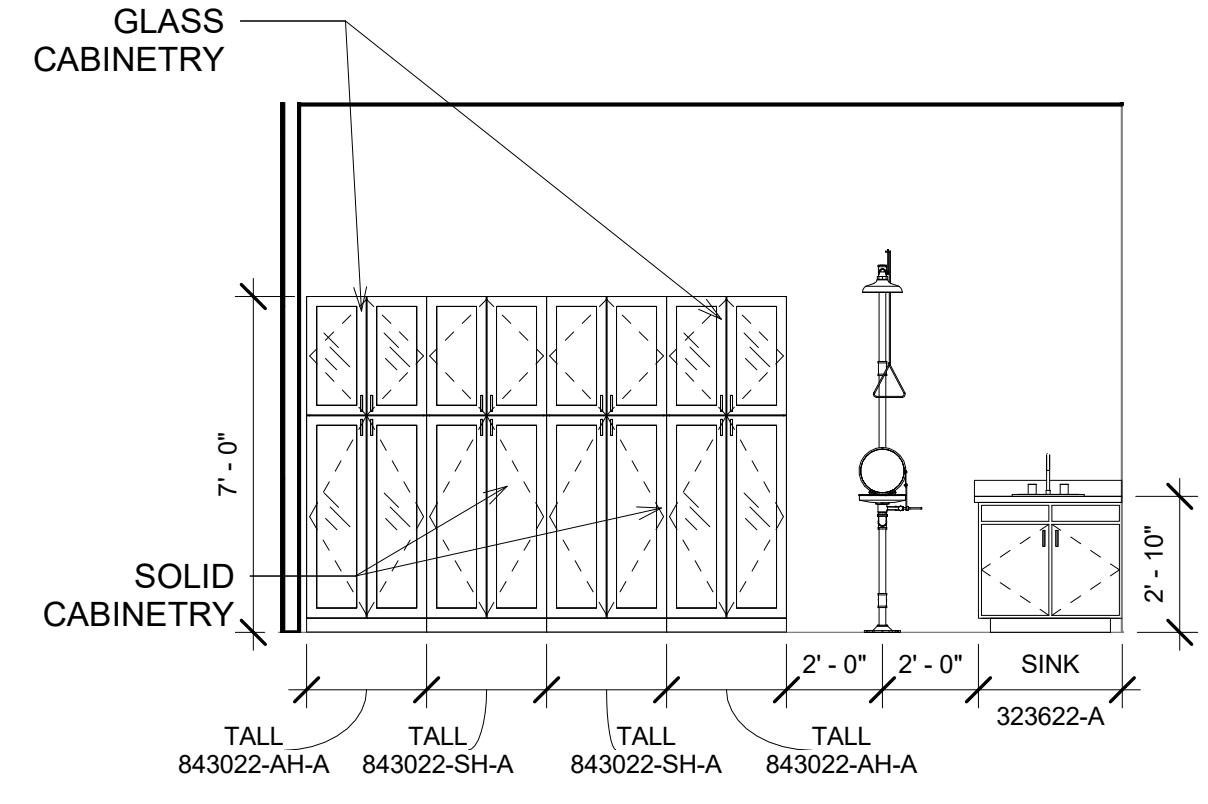
2 LAB - SOUTH
1/4" = 1'-0"



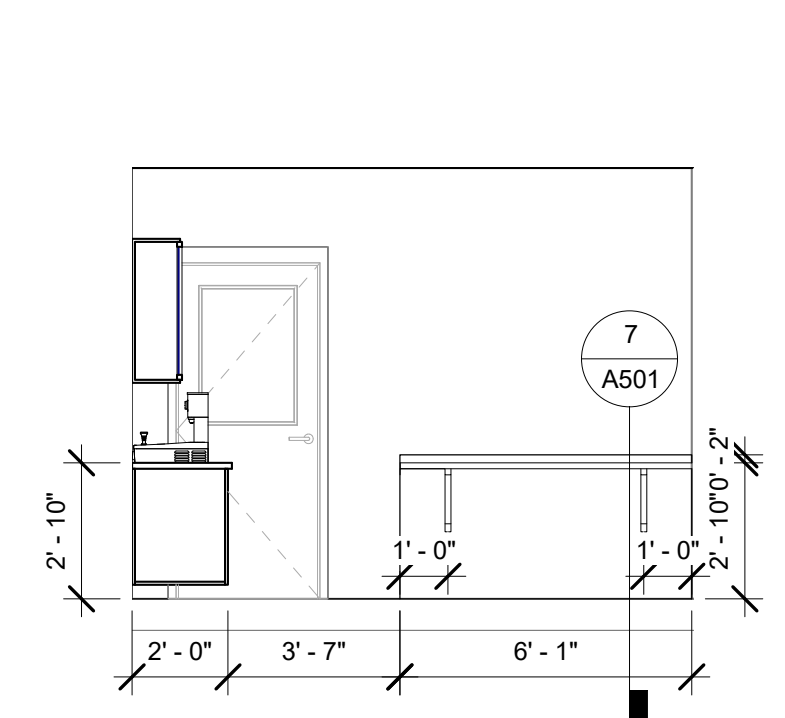
3 LAB - EAST
1/4" = 1'-0"



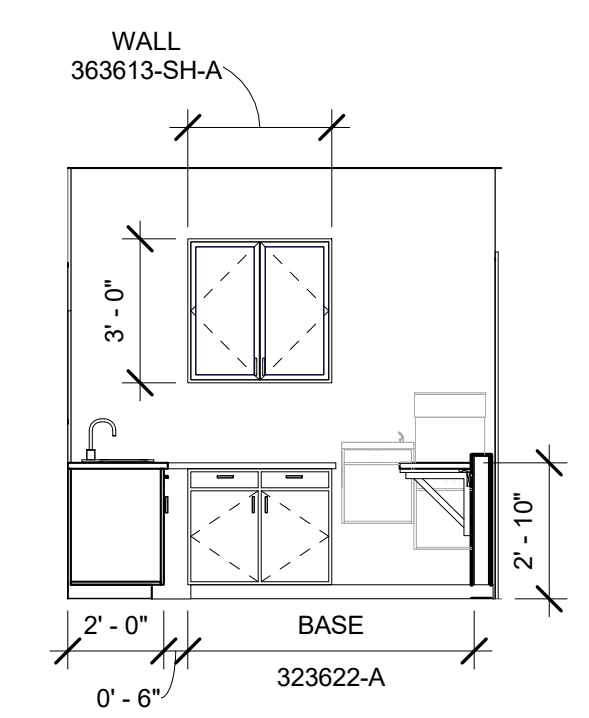
4 LAB - NORTH
1/4" = 1'-0"



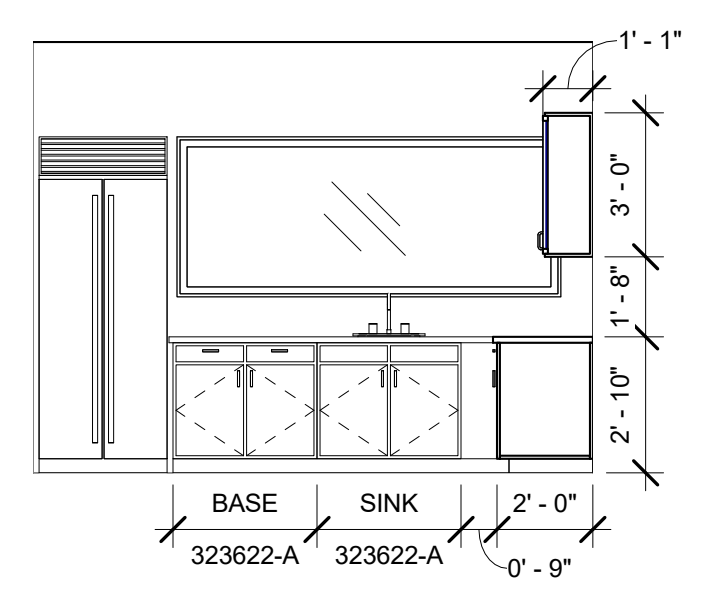
5 LAB - WEST
1/4" = 1'-0"



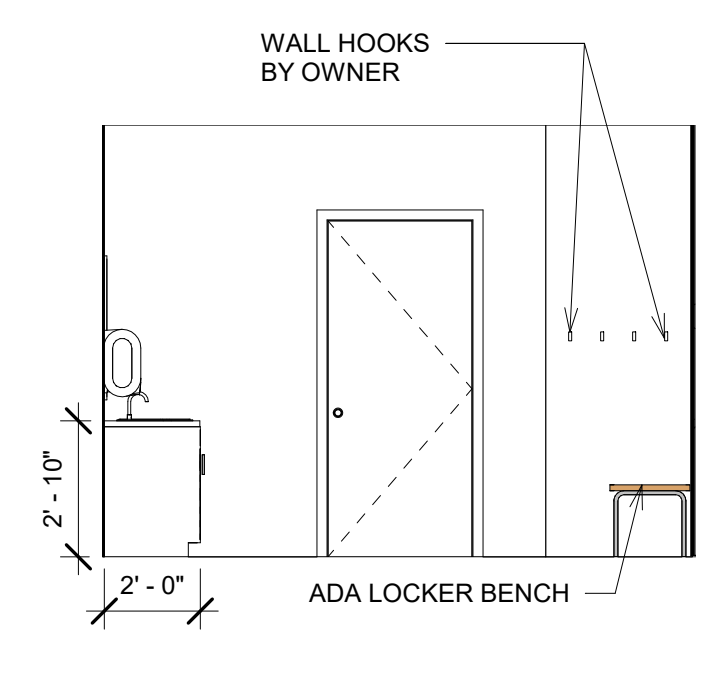
6 BREAKROOM - NORTH
1/4" = 1'-0"



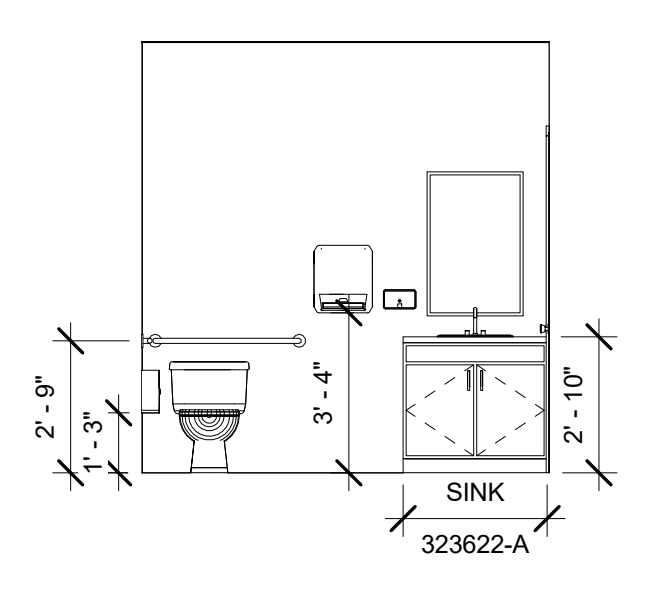
7 BREAKROOM - WEST
1/4" = 1'-0"



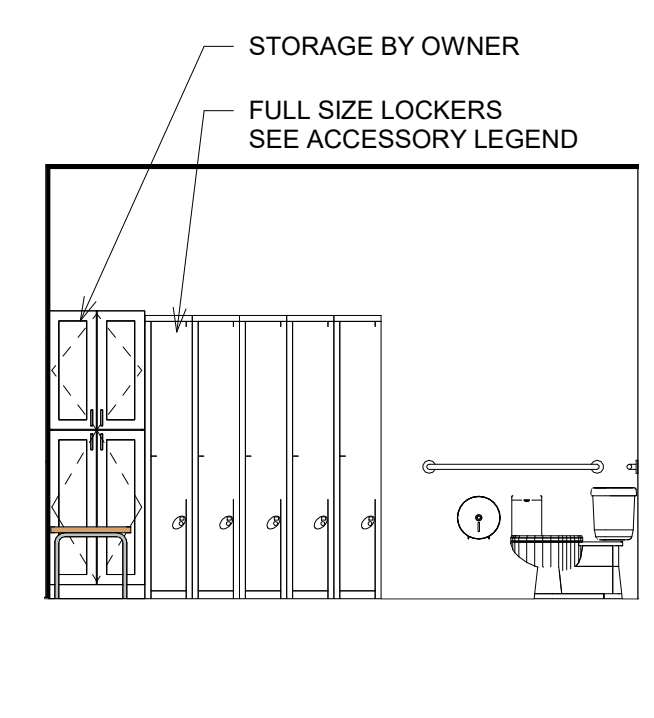
8 BREAKROOM - SOUTH
1/4" = 1'-0"



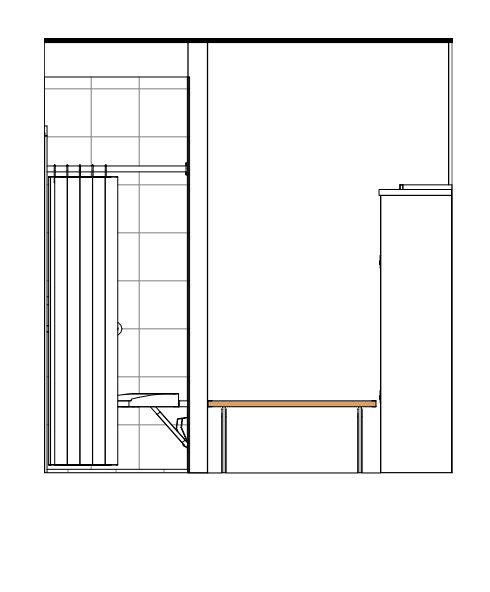
9 BATHROOM - NORTH
1/4" = 1'-0"



10 BATHROOM - WEST
1/4" = 1'-0"



11 BATHROOM - SOUTH
1/4" = 1'-0"



12 BATHROOM - EAST
1/4" = 1'-0"

No.	Revisions and Descriptions	By	Date

Project Title:
OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

Drawing Title:
ENLARGED PLAN AND INTERIOR ELEVATIONS

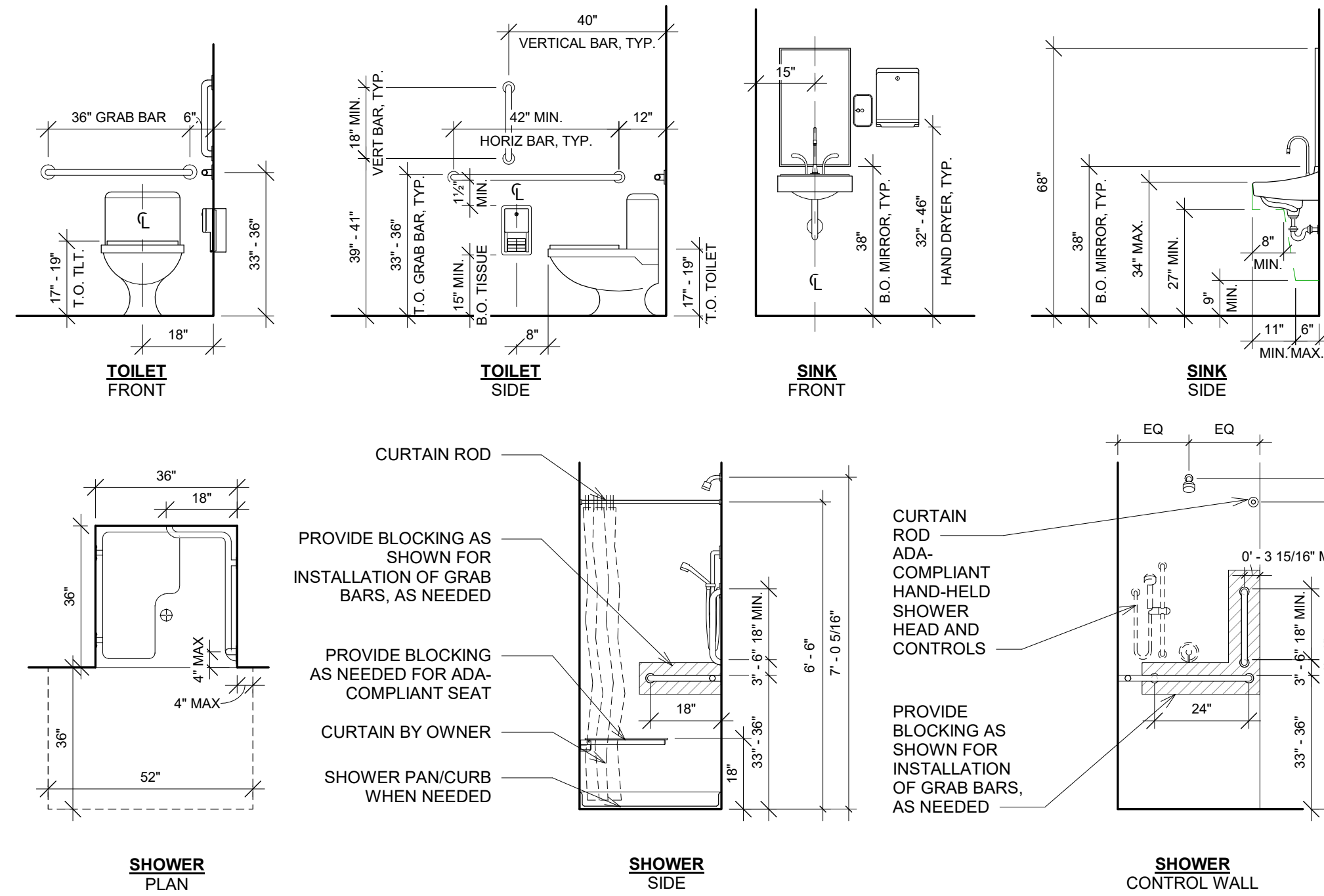
Drawn By:	AM
Checked By:	MR
Scale:	As Indicated
Date:	01/14/2022

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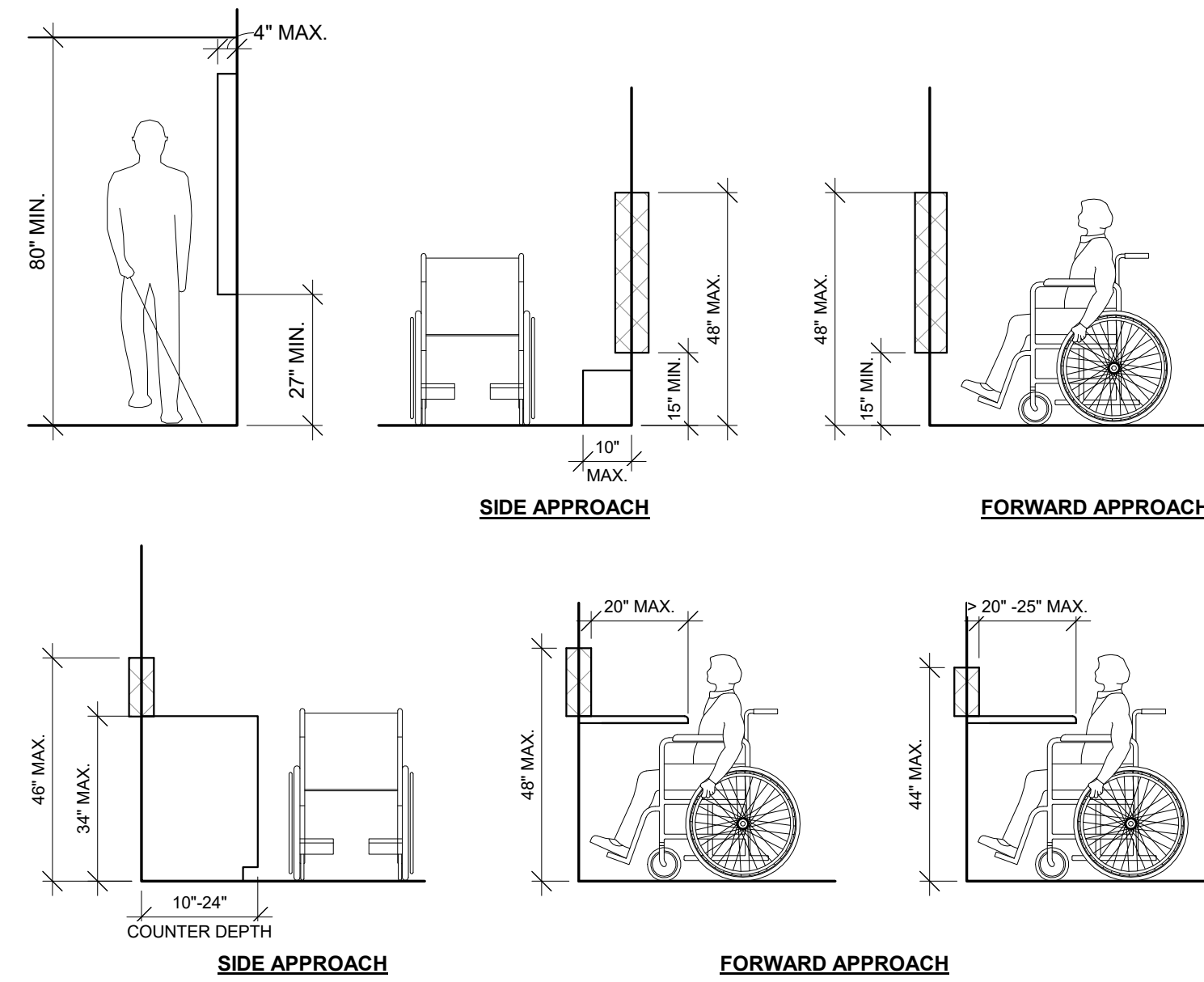
Sheet No.
A401
of
Project No.
0109.21005

MOUNTING DIMENSIONS FOR PLUMBING FIXTURES AND TOILET ACCESSORIES

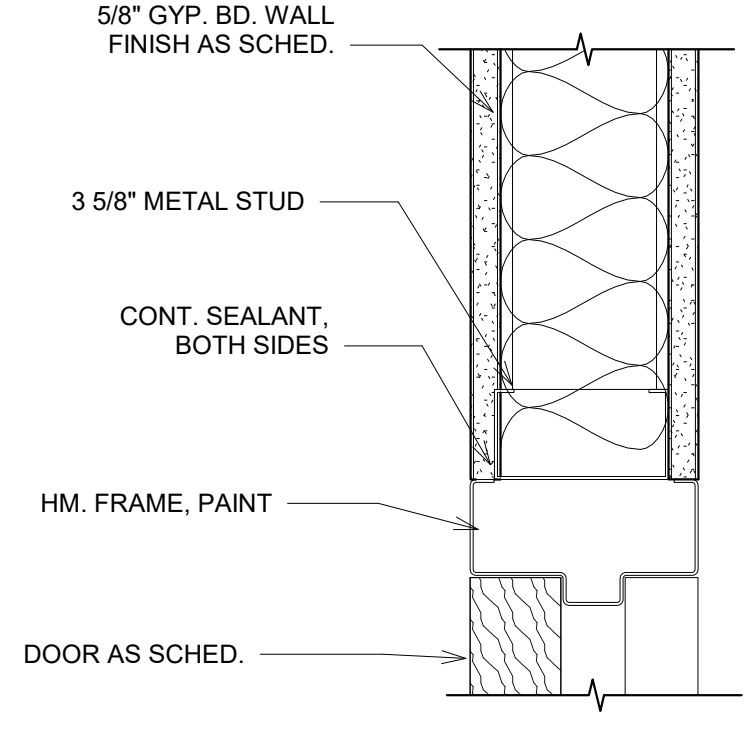
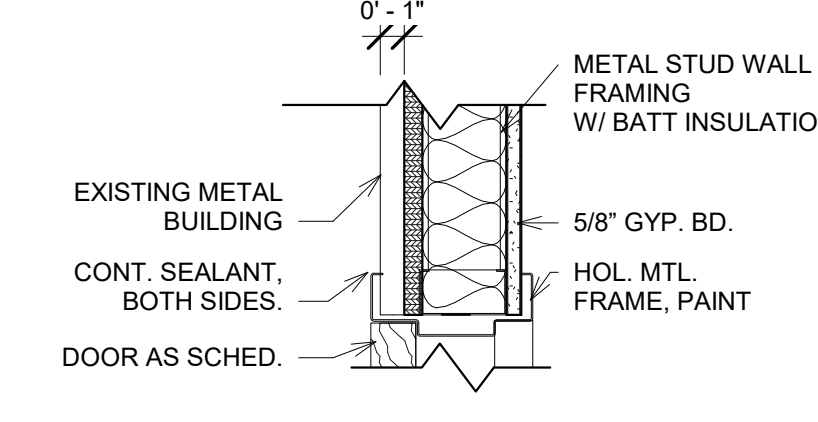
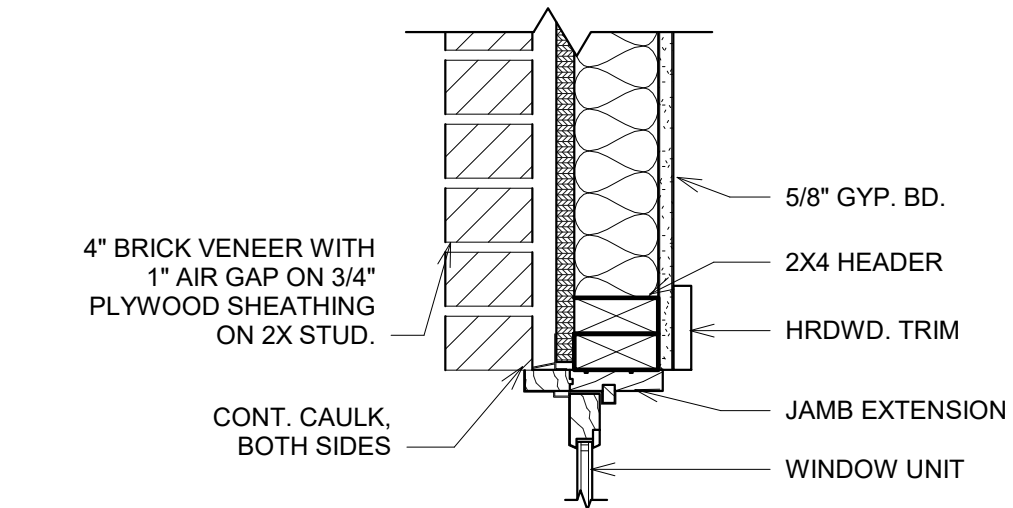
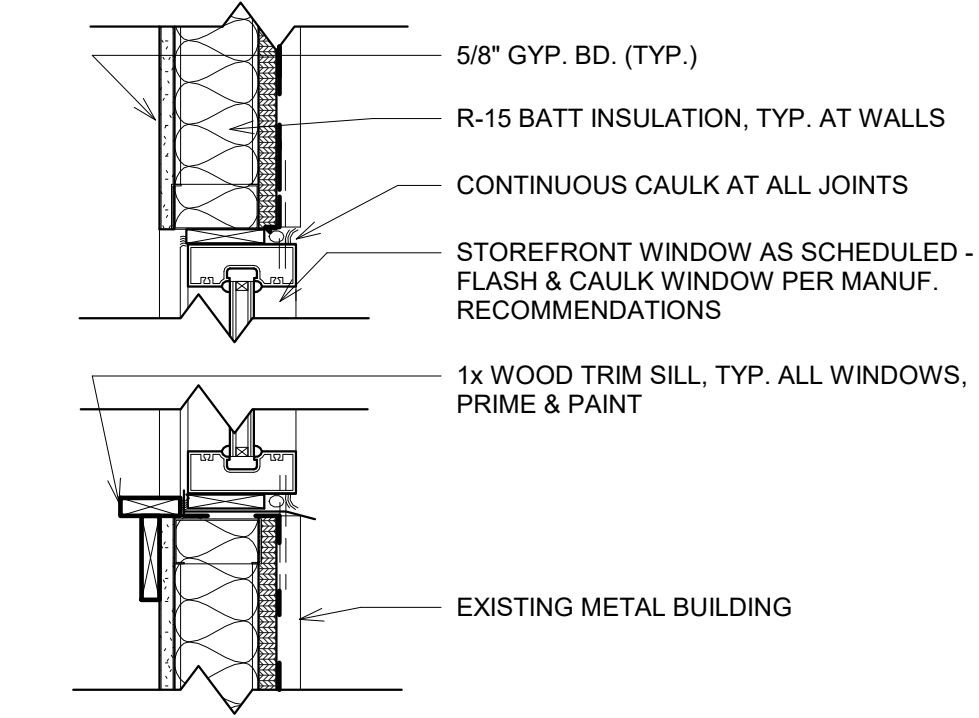
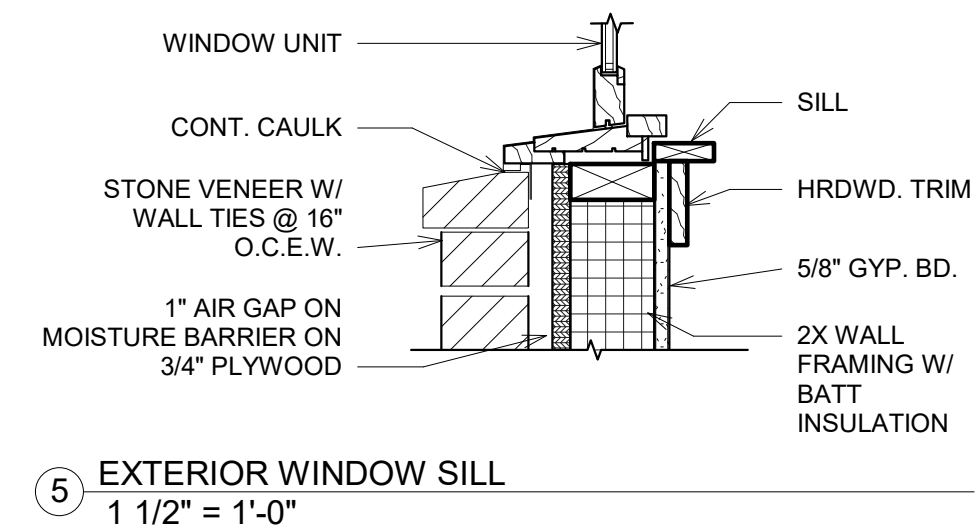
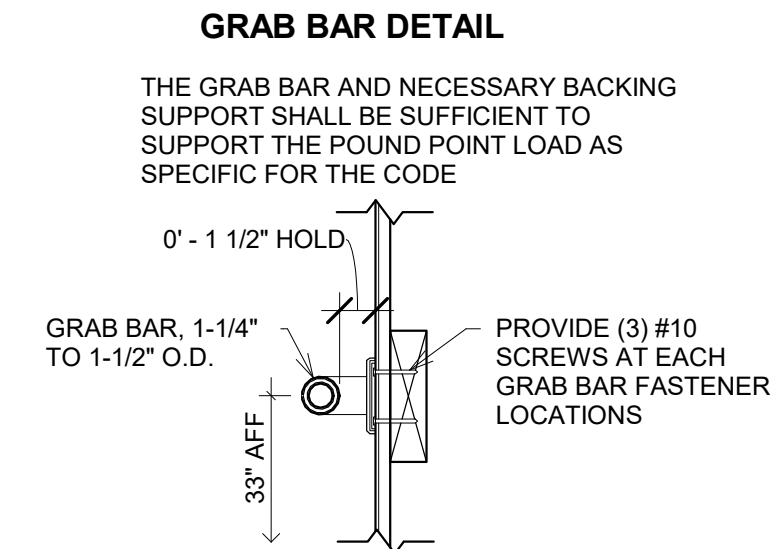
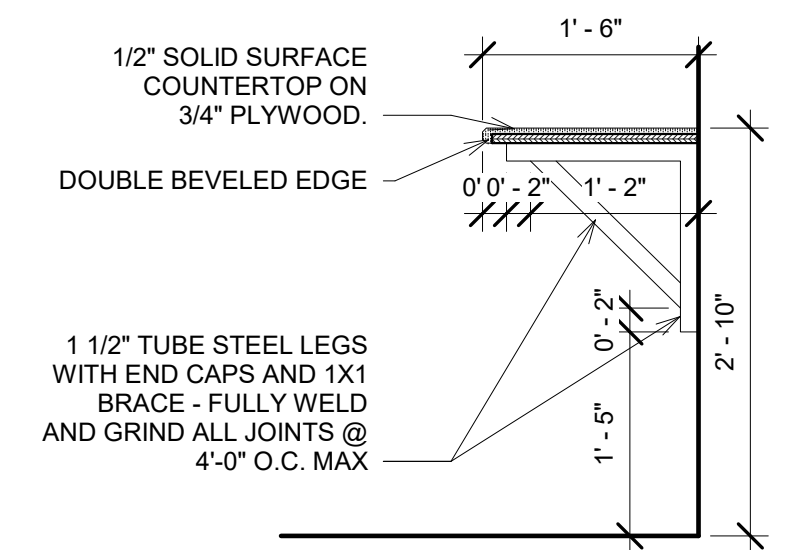
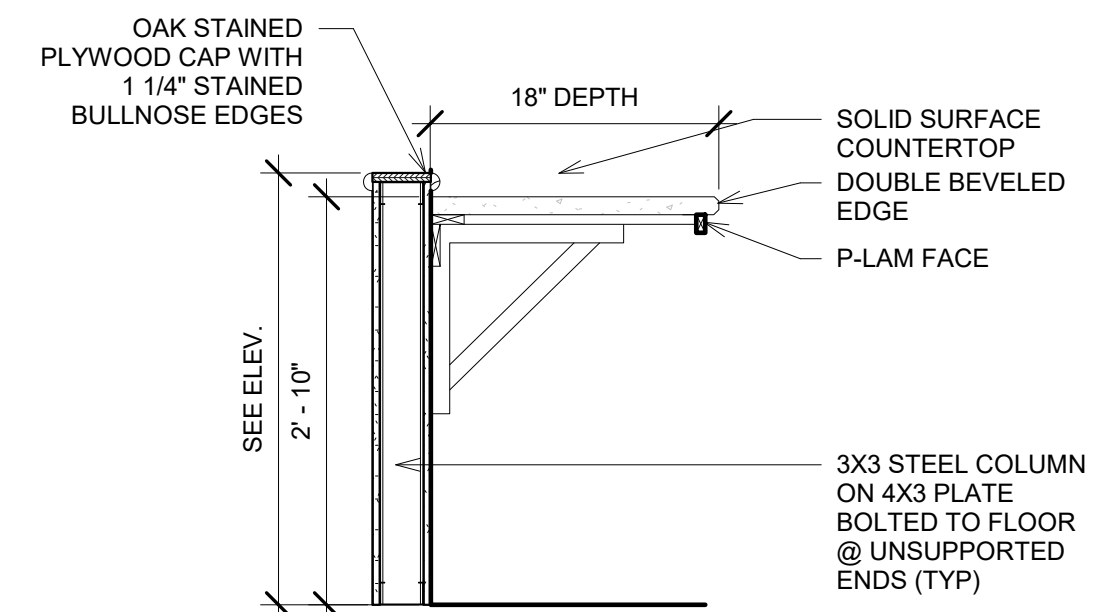
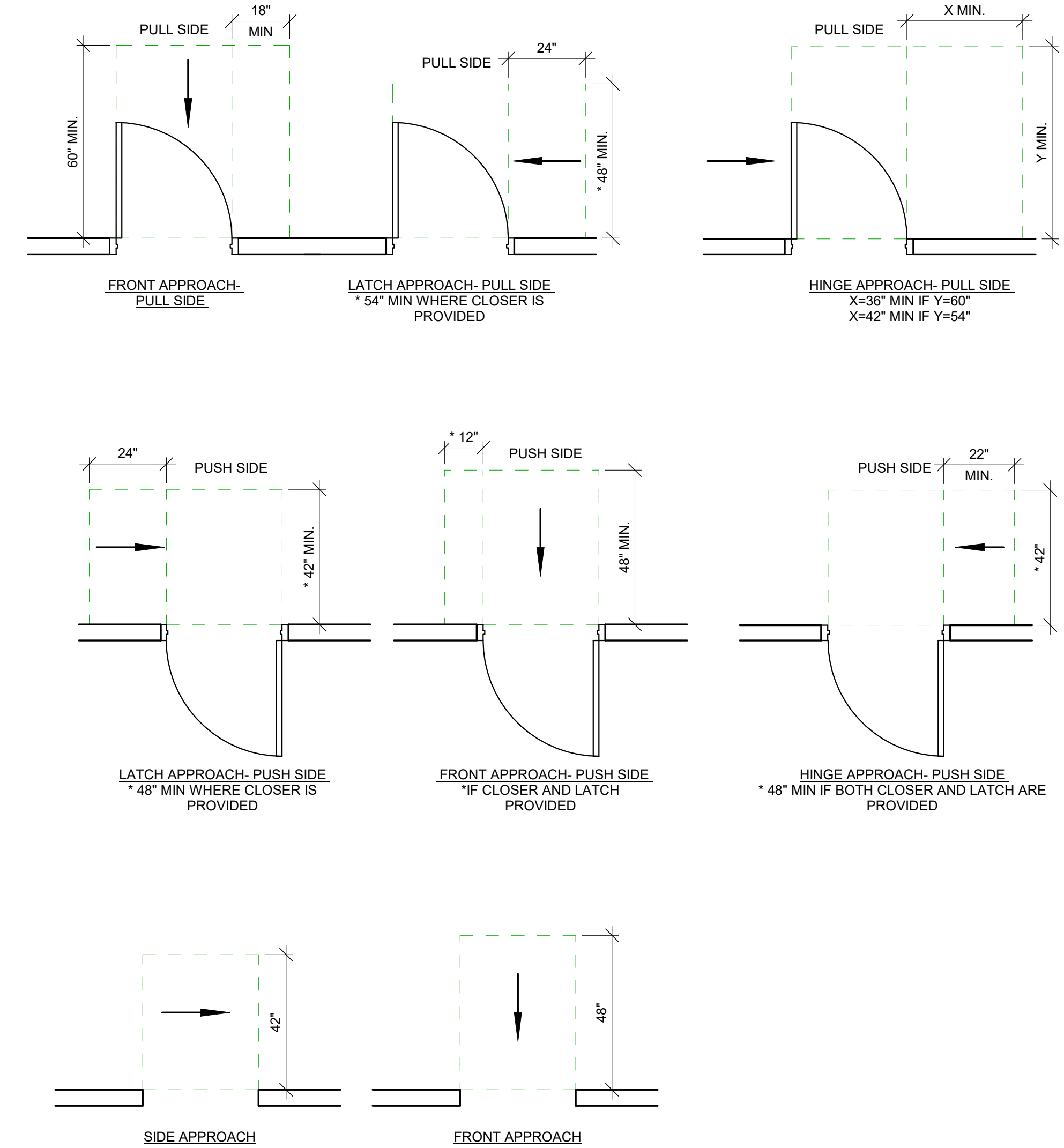


NOTES:
 • PROVIDE COVERINGS FOR ALL EXPOSED PIPING BELOW FIXTURES.
 • ALL TOILET ROOM ACCESSORIES SHALL BE SELECTED BY OTHERS.
 • FINAL LOCATIONS SHALL BE COORDINATED BETWEEN GC & OWNER.

ACCESSIBLE CLEARANCES AND REACH RANGES



DOOR CLEARANCES



Project Title:
OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

Drawn By: AM
Checked By: TMR
Scale: As Indicated
Date: 01/14/2022

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Sheet No.
A501
of
Project No.
0109.21005

GENERAL REQUIREMENTS

SUMMARY OF WORK
1.1 WORK COVERED BY CONTRACT DOCUMENTS - Work of this Contract consists of a renovation to the Oyster Creek Wastewater Treatment Plant Lab's second floor located at 474 County Road 609, Angleton, TX, 77515
The work consists of the following:
A. Selective demolition of existing second floor interior walls, equipment and exterior windows.

1.2 CONTRACTOR'S DUTIES -Except as specifically noted, provide and pay for:
A. Labor, materials and equipment.
B. Water, heat, and utilities required for construction.
C. Other facilities and services necessary of proper execution and completion of the work.

1.3 Secure and pay for, as necessary for proper execution and completion of Work, and as applicable at time of receipt of bids:
A. Government Fees (including inspection fees).
B. Permits.
C. Licenses.

1.4 Contractor to give required notices.

1.5 Comply with codes, ordinances, rules, regulations, orders and other legal requirements of public authorities that bear on performance of Work, including all provisions of the Occupational Safety and Health Administration, and including Article 1926.21 (Safety Training and Education).

1.6 Promptly submit written notice to architect of observed variance of Contract Documents from legal requirements. Assume responsibility for Work known to be contrary to such requirements, without notice.

1.7 Certify that materials incorporated into the Work as part of this project contain no hazardous materials (asbestos, PCP's, etc.). Submit certification letter in triplicate to Architect stating such at substantial completion of the project.

1.8 CONTRACTOR USE OF THE PREMISES
A. General: Contractor's staging area and parking for Contractor's employees shall be fully coordinated with Owner and Contract Document requirements.
B. Use of the Site: Limit the use of the premises to work in areas indicated. Confine operations to areas within contract limits indicated. Do not disturb portions of the site beyond areas in which Work is indicated.
C. Driveways and Entrances: Keep driveways and entrances serving the premises clear and available to site activities and emergency vehicles at all times. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on the Project site.

1.9 QUALITY CONTROL - Maintain quality control over supervi's on, subcontractors, suppliers, manufacturers, products, services, workmanship, and site conditions, to produce Work in accordance with Contract Documents.

2.1 WORKMANSHIP
A. Comply with industry standards of the region except when more restrictive tolerances or specified requirements indicate more rigid standards or more precise workmanship.
B. Provide suitably qualified personnel to produce Work of specified quality.
C. Secure products in place with positive anchorage devices designed and sized to withstand stresses, vibration, and rocking.
D. Provide finishes to match approved samples.

2.2 MANUFACTURER'S INSTRUCTIONS
A. Require compliance with instructions in full detail, including each step in sequence.
B. Should instruction conflict with Contract Documents, request clarification from Architect before proceeding.

CLEANING
3.1 Execute cleaning, during progress of the work, and at completion of the work.
3.2 DISPOSAL REQUIREMENTS - Conduct cleaning and disposal operations to comply with codes, ordinances, regulations, and antipollution laws.

3.3 MATERIALS
A. Use only those cleaning materials which will not create hazardous conditions to health or property and which will not damage surfaces.
B. Use only those cleaning materials and methods recommended by manufacturer of the surface materials to be cleaned.
C. Use cleaning materials only on surfaces recommended by cleaning material manufacturer.

3.4 DURING CONSTRUCTION
A. Execute periodic cleaning to keep the work, the site and adjacent properties free from accumulations of waste materials, rubbish and windblown debris, resulting from construction operations.
B. Provide on-site containers for the collection of waste materials, debris, and rubbish.

3.5 DUST CONTROL
A. Clean interior spaces prior to the start of finish painting and continue cleaning on an as-needed basis until painting is finished.
B. Schedule operations so that dust and other contaminants resulting from cleaning process will not fall on wet or newly painted surfaces.
C. Prior to final completion, or Owner occupancy, Contractor shall conduct an inspection of sight exposed interior and exterior surfaces, and all work areas, to verify that the entire work is clean.

3.6 FINAL CLEANING
A. Employ skilled work persons for final cleaning.
B. Remove grease, mastic, adhesives, dust, dirt, stains, fingerprints, labels, and other foreign materials from sight-exposed interior and exterior surfaces.
C. Broom clean exterior paved surfaces; rake clean other surfaces of the grounds.

4.1 SCHEDULE OF VALUES- Procedures for preparation and submittal of Schedule of Values.

4.2 FORMAT
A. Type Schedule on AIA Document G703 - Continuation Sheet for Application and Certificate for Payment, or use media driven printout.
B. Follow Table of Contents of Project Manual for listing component parts. Identify each line item by number and title of major Specifications section.

4.3 CONTENT
A. List installed value of each major item of Work and each subcontracted item of Work as a separate line item to serve as a basis for computing values for Progress Payments. Round off values to nearest dollar.
B. For each major subcontract, list products and operations of that subcontract as separate line items.
C. Coordinate listings with Progress Schedule.
D. Component listings shall each include a directly proportional amount of Contractor's general office overhead and profit. However, use separate line for bonds, insurance, temporary facilities and controls, and superintendence. The sum of values listed shall equal total Contract Sum.

4.4 SUBMITTALS - Submit electronic copy of Schedule of Values a minimum of 14 days prior to first Application for Payment..

4.5 SUBSTANTIATING DATA - When Architect requires substantiating information, submit data justifying line item amounts in question.

SHOP DRAWINGS

5.1 Present in a clear and thorough manner original drawings that illustrate the portion of the work showing fabrication, layout, setting, or erection details, prepared by a qualified detailer. Title each drawing with Project and Contract name and number; identify each element of drawings by reference to sheet number and detail, schedule, room number, or specification section of Contract Documents.

5.2 PRODUCT DATA - Submit only pages that are pertinent; mark each copy of standard printed data to identify pertinent products, referenced to Specification Section and Article number. Show reference standards, performance characteristics, and capacities; wiring and piping diagrams and controls; component parts; finishes; dimensions; and required clearances.
A. Modify manufacturer's standard schematic drawings and diagrams to supplement standard information and to provide information specifically applicable to the Work. Delete information not applicable.
B. Submit material safety data sheets for each product, including certificate from manufacturer certifying all products provided for the project are "asbestos free" (i.e. contains less than 1 % of content by weight).

5.3 SAMPLES

A. Submit full range of manufacturer's standard finishes except when more restrictive requirements are specified, indicating colors, textures, and patterns, for Architect selection.
B. Submit samples to illustrate functional characteristics of products, including parts and attachments.
C. Approved samples that may be used in the Work are indicated in the Specification section.
D. Label each sample with identification required for transmittal letter.
E. Provide field samples of finishes at Project, at location acceptable to Architect, as required by individual Specifications section. Install each sample complete and finished. Acceptable finishes in place may be retained in completed work.

5.4 CONTRACTOR REVIEW

A. Review submittals prior to transmittal; determine and verify field measurements, field construction criteria, quantities and details, manufacturer's catalog numbers, and conformance of submittal with requirements of Contract Documents.
B. Coordinate submittals with requirements of Work and of Contract Documents.
C. Sign and certify compliance with requirements of Contract Documents. Notify Architect in writing at time of submittal, of any deviations from requirements of Contract Documents.
D. Do not fabricate products or begin work that requires submittals until return of submittal with Architect acceptance.
E. Contractor's responsibility for errors and omissions in submittals is not relieved by Architect's review of submittals.
F. Contractor's responsibility for deviations in submittals from requirements of Contract Documents is not relieved by Architect's review of submittals, unless Architect gives specific written acceptance of deviations. Architect will review submittals for general conformance to design intent only.

5.5 SUBMITTAL REQUIREMENTS

A. Transmit only from Contractor to Architect. Submittals sent from subcontractor or material supplier directly to Architect will be returned for resubmission through Contractor.
B. Apply Contractor's stamp, signed or initialed, certifying to review, verification of products, field dimensions and field construction criteria, and coordination of information with requirements of Work and Contract Documents.
C. Submit electronic copy, or number of hard copies of product data and manufacturer's instructions Contractor requires, plus one (1) copy that will be retained by Architect
D. Identify Work and product by Specification section and Article number.

5.6 ARCHITECT AND ENGINEER REVIEW - Architect and consultants will review shop drawings, product data, and samples and return submittals generally within 10 days from receipt.

SUBSTITUTIONS

6.1 OPTIONS
A. Products Specified by Reference Standards or by Description Only: Any product meeting those standards.
B. Products Specified by Naming One or More Manufacturers with a Provision for Substitutions: Submit a request for substitution for any manufacturer not specifically named.
C. Products Specified by Naming Several Manufacturers: Products of named manufacturers meeting specifications; no options, no substitutions.
D. Products Specified by Naming Only One Manufacturer: No option; no substitution allowed.

6.2 LIMITATIONS ON SUBSTITUTIONS
A. Any substitution proposed prior to bidding; if the substitution is not accepted via addendum to bid documents, it is not officially accepted.
B. Substitutions proposed after bidding may be approved ONLY if contractor can prove that proposed item has become unavailable since the bid date.
C. Substitutions will not be considered when indicated on shop drawings or product data submittals without separate formal request, when requested directly by subcontractor or supplier, or when acceptance will require substantial revision of Contract Documents.
D. Substitute products shall not be ordered or installed without written acceptance. Only one request for substitution for each product will be considered. When substitution is not accepted, provide specified product.
E. Architect will determine acceptability of substitutions.

6.3 REQUESTS FOR SUBSTITUTIONS
A. Submit separate request for each substitution. Document each request with complete data substantiating compliance of proposed substitution with requirements of Contract Documents.
B. Identify product by Specifications section and Article numbers. Provide manufacturer's name and address, trade name of product, and model or catalog number. List fabricators and suppliers.
C. Give itemized comparison of proposed substitution with specified product, listing variations, and reference to Specifications section and Article numbers.
D. Give quality and performance comparison between proposed substitution and the specified product.
E. Give cost data comparing proposed substitution with specified product, and amount of net change to Contract Sum.

CONTRACT CLOSEOUT

7.1 SUBSTANTIAL COMPLETION
A. When contractor considers the work is substantially complete, he shall submit to the architect:
A written notice that the work, or designated portion thereof, is substantially complete.
A list of items to be completed or corrected.
B. Within a reasonable time after receipt of such notice, architect will make an inspection to determine the status of completion.
C. Should architect determine that the work is not substantially complete: Architect will promptly notify the contractor in writing, giving the reasons therefore. Contractor shall remedy the deficiencies in the work and send a second written notice of completion to the architect/engineer. Architect will re-inspect the work.
D. When architect concurs that the work is substantially complete, he will: Prepares a certificate of substantial completion on AIA form G704, accompanied by contractor's list of items to be completed or corrected, as verified and amended by the architect. Submit the certificate to owner and contractor for their written acceptance of the responsibilities assigned to them in the certificate.

7.2 CONTRACTOR'S CLOSE OUT SUBMITTALS TO ARCHITECT
A. Contractor shall prepare and furnish one (1) set of record drawings and indicate the following: Where actual field construction differs from work as shown on contract documents. Show changes in detail with the same accuracy of dimensions and/or scale as shown by the original contract documents. Locations and dimensions of concealed worked.
B. Warranties and bonds: Refer to uniform general requirements.
C. Spare parts and maintenance materials: Refer to various sections.
D. Evidence of payment and release of liens: Refer to requirements of general and supplementary conditions.
E. Certificate of insurance for products and completed operations.

7.3 FINAL APPLICATION FOR PAYMENT
A. Contractor shall submit the final application for payment in accordance with procedures and requirements stated in the conditions of the contract.
B. Contractor shall include consent of surety to final payment documentation.
C. Contractor shall include final release of lien documentation.

SELECT DEMOLITION

SUBMITTALS FOR REVIEW
1. Project Record Documents: Accurately record actual locations of capped utilities and any subsurface obstructions.

REGULATORY REQUIREMENTS
1. Conform to OSHA requirements and all applicable codes for demolition work, dust control, construction materials disposal, and products requiring electrical disconnection and re-connection.
2. Obtain required permits from authorities.
3. Conform to procedures applicable when hazardous or contaminated materials are discovered.

PROJECT CONDITIONS
1. Conduct demolition to minimize interference with adjacent materials that are not scheduled to be demolished.
2. Cease operations immediately if structure appears to be in danger and notify Architect. Do not resume operations until directed.

PREPARATION
1. Provide, erect, and maintain temporary barriers and partitions as needed.
2. Protect existing materials and elements that are not to be demolished.
3. Prevent movement of structure; provide bracing and shoring as required.
4. Mark location and termination of utilities.

EXECUTION
1. Demolish in an orderly and careful manner. Protect existing supporting structural members and building materials.
2. Remove demolished materials from site except where specifically noted otherwise. Do not burn or bury materials on site.
3. Remove materials as Work progresses. Upon completion of Work, leave areas in clean condition.

ROUGH CARPENTRY (IF WOOD FRAMING)

LUMBER MATERIALS
1. Lumber, finished 4 sides, 15 percent maximum moisture content. Each piece of lumber to be factory marked with type, grade, mill and grading agency.
2. Light framing: Construction grade Douglas fir or southern pine, appearance grade where exposed.
3. Structural framing and timbers: Select Structural no. 1 grade Douglas Fir, Southern Pine, or Sitka Spruce, appearance grade A where exposed. Sizes as indicated on the Drawings.
4. Boards: Construction grade.

NAILERS, BLOCKING, FURRING AND SLEEPERS
1. Wood for nailers, blocking, furring and sleepers: Construction grade, finished 4 sides, 15 percent maximum moisture content. Use preservative treat items in contact with roofing, flashing, waterproofing, masonry, concrete or the ground.

WOOD TREATMENT
1. Preservative Pressure Treated Lumber:
• Remove excess moisture where shrinkage is a serious fault or where treated lumber will be in contact with plaster, or stucco, and where water-borne treated lumber is to be painted or stained.
• Lumber shall be dried to 15-19 percent moisture content after treatment, and material to be painted or stained shall have knots and pitch streaks sealed as with untreated wood.
• Liberally brush freshly cut surfaces, bolt holes and machined areas with the compatible preservative in accordance with preservative manufacturer's recommendations.
2. Wood Requiring Treatment includes nailers, blocking, stripping, cant strips and similar items in conjunction with roofing, flashing, and other construction. Sills, blocking, furring, stripping, and similar items in contact with masonry or concrete.

INSTALLATION - FRAMING
1. Set structural members level and plumb, in correct position.
2. Make provisions for erection loads, and for sufficient temporary bracing to maintain structure safe, plumb, and in true alignment until completion of erection and installation of permanent bracing.
3. Place horizontal members with crown side up.
4. Construct load bearing framing and curb members full length without splices.
5. Place full width continuous sill flashing under framed walls on cementitious foundations. Lap flashing joint 4 inches.
6. Install miscellaneous blocking, nailing strips and framing where required as backing for attachment of wall mounted fixtures, cabinetwork, and other items, and as shown on Drawings. Coordinate to allow proper attachment of work of other Sections.
7. Secure in place using fasteners specified. Use only recommended power tools for placement of fasteners.
8. Recess heads of fasteners below surface of wood members.
9. Secure in place with appropriate fasteners and as shown on the Drawings. Use fasteners of correct size that will not penetrate members where opposite side will be exposed to view or require finishing. Do not split wood with fasteners; set panel products to allow expansion at joints.
10. Secure wall sheathing with long dimension perpendicular to wall studs, with ends over firm bearing and staggered.
11. Install plywood in combination single and two span continuous.
12. Install telephone and electrical panel back boards with plywood sheathing material where required. Size the backboard by 12 inches beyond size of electrical panel. (field verify).
13. Place building paper with 12-inch overlap and minimum 6-inch end-laps; weather-lap edges and ends. Fasten to sheathing/decking with corrosion resistant fasteners.

SITE TREATMENT OF WOOD MATERIALS
1. Apply preservative treatment in accordance with manufacturer's published instructions.
2. Brush apply two (2) coats of preservative treatment on wood in contact with cementitious materials, roofing and related metal flashing. Treat site-sawn cuts.
3. Allow preservative to dry prior to erecting members.

SITE TOLERANCES:
1. Framing Members: 1/4 inch from true position, maximum.

FRAMING INSPECTION
1. Inspect wood framing installation and connections at completion of each phase of wood construction for correct installation, nailing, connections, and fasteners.
2. Inspect and verify that types and spacing of fasteners are installed in locations specified or indicated on Drawings.
3. Inspect types, locations, and fasteners for structural metal framing connectors.
4. Inspect types, locations, and connections of hold-down anchors.
5. Inspect wood to steel beam connections.

Table with 2 columns: NAILING CONNECTION and NAILING. Lists various nail types and sizes for different applications like joist to sill, bridging to joist, etc.

CASEWORK

1. Use Onepointe Solutions Metal Casework for labs from onepointesolutions.com Sizes noted on drawings or indicated herein for metal casework are based on standard Onepointe Solutions sizes.
2. All base cabinets at 22" depth with scribes sized to close gap between cabinets and wall. All other cabinet dimensions noted on drawings.
3. Products surfaced as specified at onepointesolutions.com. Metal Casework to be Stainless Steel ASTM A240, type 304 alloy. Finish: AISI No. 3 or 4 brushed finish
4. Clear Acrylic: 1/2" thick, conforming to ANSI Z97.1, as indicated on plan.
5. Base molding to be 4" high plywood with framed out at each casework edge.

COUNTERTOPS:
1. Countertops: Durcon 1" thick Epoxy Resin w/ 1/4" marine edge finish. 25" deep countertop. Color: Black Onyx

HARDWARE
1. Recessed Anodized Aluminum Door and Drawer Handles as specified for standard metal cabinet at onepointesolutions.com. Color: Matte Jet Black
2. Concealed cabinet hinges as specified for standard metal cabinet on onepointesolutions.com.
3. Door types and sizes are noted on interior elevations.

BUILDING INSULATION

BATT INSULATION
1. 3 1/2" unfaced batt insulation at all new interior walls.
2. Trim insulation neatly to fit spaces. Use batts free of damage. Fit insulation tight in spaces and tight to exterior side of mechanical and electrical services within the plane of insulation.
3. Install insulation with factory applied membrane facing warm side of building spaces. Lap ends and side flanges of membrane. Attach insulation in place to framing; tape seal butt end and lapped side flanges. Tape seal tears or cuts in membrane.

MEAL DOORS AND FRAMES
1. Metal doors to be produced by one of the following: Arweld Building Products, Incorporated, Garrettsville, OH (216) 527-4385. Cecco Door Products, Brentwood, TN (615) 661-5030. Republic, Houston, TX (713) 820-5282. Steelcraft, Cincinnati, OH (513) 745-6400.
2. Exterior Doors: SDI-100, Grade III - Extra Heavy-Duty - 1-3/4 inch, Model 1 - Full Flush Design, 16 gage cold rolled steel; galvanized to ASTM A 525.
3. Interior Doors: SDI-100, Grade I - Standard-Duty - 1-3/4 inch, Model 1 - Full Flush Design, 18 gage cold rolled steel.
4. Exterior Frames: 14 gage, cold rolled steel, mitered and welded; in accordance with ASTM A 525.
5. Interior Frames: 16 gage, cold rolled steel, mitered and welded, 2 inch profile, for installation in a metal or wood stud and gypsum board partition.
6. The core shall be constructed of one of the following:
• Kraft Honeycomb: Phenolic treated.
• Polyurethane: Core foamed-in-place or laminated, 20 psi strength, 1 .8 pcf density; 1/2 inch maximum voids in any direction. Strength of bond between core and steel face sheet shall exceed strength of core so delamination will not occur during operating conditions.
• Polystyrene: Rigid core of polystyrene foam board, 1500 psi compressive strength, 18 psi shear strength. Strength of bond between core and steel face sheet shall exceed strength of core so that delamination will not occur under operating conditions.
• Vertical Steel Stiffeners: 22 gage vertical steel stiffeners, spaced 6 inches apart and spot welded to face sheets at 6 inches on center. Insulate spaces between stiffeners with loose fill insulation full height of door.
7. Provide resilient rubber silencers on all doors.
8. Where door louvers are shown, use roll formed 20-gauge steel with wipe coat of zinc
Blade shall be an inverted Y blade; sight proof.
9. Louvers are not permitted in exterior doors, or in doors that provide direct access from a public area, without burglar bars or wire mesh installed on the protected side.
10. Install integral rain-caps on exterior doors.
11. Field paint all metal doors and frames per paint notes.
12. The frame is to be mounted to the studing in such a manner to prevent a spreading of the frame from the studs of less than 1/2 inch.

HARDWARE SCHEDULE

Hardware Schedule table with columns: Item, Author, Check, As indicated, Date. Lists items like HW 1 EXTERIOR SET, HW 2 OFFICE SET, HW 3 STORAGE SET, HW 4 RESTROOM PRIVACY SET.

MANUFACTURERS LISTING: Table with 2 columns: Manufacturer Name and Product Name. Lists companies like SEL, HA, VD, FA, A/R, DO, LCN, NGP, TR, GJ.

HARDWARE NOTES:
1. ALL HARDWARE FINISHES TO BE 626/US26D.
2. FINAL HARDWARE SCHEDULE TO BE REVIEWED AND APPROVED BY OWNER AND OWNER'S SECURITY VENDOR PRIOR TO ORDERING DEVICES.
3. ALL LOCKSETS SUPPLIED FOR INTERIOR AND EXTERIOR DOORS SHALL BE KEYED TO MASTER KEY.

FINISH HARDWARE

HINGES:
1. Templates: Except for hinges and pivots to be installed entirely (both leaves) into wood doors and frames, provide only template produced units. When used on existing frames, coordinate screw hole patterns, sizes, gauges, and locations. Hinges shall be machined prior to anodizing.
2. Screws: Furnish Phillips flat head screws complying with the following requirements:
a. For metal doors and frames install machine screws into drilled and tapped holes.
b. For wood doors and frames install wood screws.
c. For fire-rated wood doors install 1/2 x 1-1/4 inch threaded to the head steel wood screws.
d. Finish screw heads to match surface of hinges or pivots.
3. Hinges Pins: Except as otherwise indicated, provide non_rising pins.
4. Provide number of hinges indicated but not less than 3 hinges for door leaf for doors 90 inches or less in height and one additional hinge for each 30 inches for additional height.

LOCKS, LATCHES, AND BOLTS
1. Strikes: Provide manufacturer's standard wrought box strike for each latch or lock bait, with curved lip extended to protect frame, finished to match hardware set, unless otherwise indicated.
2. Provide curved lip strikes for locks with latchbolts as recommended by manufacturer and required by existing conditions.
3. Lock Throw: Provide 5/8-inch minimum throw of latch on pairs of doors. Comply with UL requirements for throw of bolts and latch bolts on rated fire openings.
4. Provide 3/4 inch minimum throw of latch for mortise locks. Provide 1-inch minimum throw for all dead bolts.
5. Flush Bolt Heads: Minimum 6/8 inch diameter rods of brass, bronze, or stainless steel with minimum 12 inch long rod for doors up to 7'-0' in height. Provide longer rods as necessary for doors exceeding 7'-6' in height.
6. Exit Device Dogging: Except on fire-rated doors, provide exit devices with hex key dogging to keep the latch bolt retracted with activation by masterkey.

CLOSERS
1. Where parallel arms are indicated for closers, provide with solid forged extra duty arms and extra duty knuckles with integral bronze bushings
2. Provide parallel arms for all overhead closers, except as otherwise indicated.
3. Closers shall have powder coated finish.
4. Provide cast iron closer with steel pistons.
5. All closers shall be furnished by one manufacturer.
6. Units shall be independently certified to 10,000,000 cycles in accordance with ANSI testing procedures unless otherwise indicated.

WEATHERSTRIPPING AND SEALS:
1. Provide continuous weather stripping on exterior doors. Provide noncorrosive fasteners for exterior applications and elsewhere as indicated.
2. Provide bumper-type resilient insert and metal retainer strips, surface applied unless shown as mortised or semi-mortised, and of following metal, finish, and resilient bumper material at jams and heads
3. Install hardware in compliance with the manufacturer's instructions and recommendations.
4. Set units level, plumb and true to line and location. Adjust and reinforce the attachment substrate as necessary for proper installation and operation.
5. Drill and countersink units that are not factory prepared for anchorage fasteners. Space fasteners and anchors in accordance with industry standards.
6. Patch and repair all existing holes and voids as resulted by the removal and replacement of door hardware.
7. Set thresholds for exterior doors in full bed of butyl rubber or polyisobutylene mastic sealant.
8. Weather stripping and Seals: Comply with manufacturer's instructions and recommendations to the extent installation requirements are not otherwise indicated.

FLUID APPLIED WATERPROOFING (IF APPLICABLE)

1. Subgrade and above grade waterproofing at concrete and CMU locations shall be equal to Elastomulsion Waterproofing rubberized asphalt membrane by Henry Company (HE787074) or equal.
2. Waterproofing must be a Fluid applied Class 1 vapor retarder.

Table with 4 columns: No., Revisions and Descriptions, By, Date. Includes MRB Group and Copyright C 2021.

Table with 2 columns: Project Title, Drawing Title. Project Title: OYSTER CREEK WWTP 474 COUNTY RD 609 ANGLETON, TX 77515. Drawing Title: SCHEDULES & SPECIFICATIONS.

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Table with 2 columns: Sheet No. (A601), Project No. (0109.21005). Includes 'of' separator and date 7/2022 3:53:29 PM.

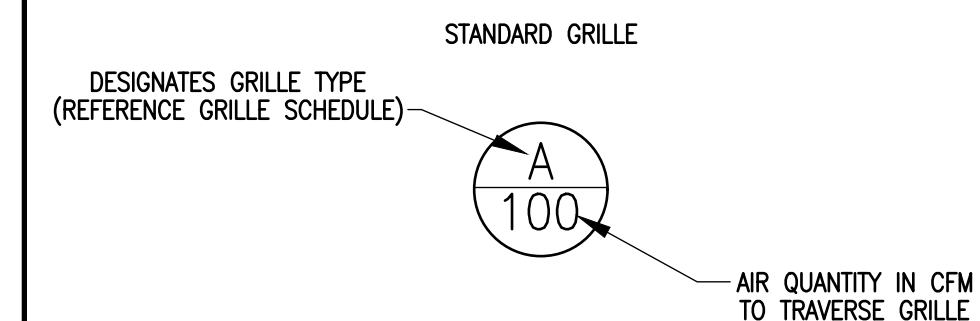
MECHANICAL GENERAL NOTES:

1. CODES, RULES AND REGULATIONS - DESIGN OF SYSTEM
 - A) ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND CODES.
 - B) WHEN THE DRAWINGS CALL FOR MATERIALS OR CONSTRUCTION OF A BETTER QUALITY OR LARGER SIZES THAN REQUIRED BY THE ABOVE MENTIONED CODES AND RULES, WORK SHALL BE AS SPECIFIED OR SHOWN RATHER THAN AS REQUIRED BY CODE. ALL ITEMS OR FEATURES OF THE MECHANICAL SYSTEMS REQUIRED BY CODE SHALL BE INCLUDED, EVEN THOUGH NOT SPECIFIED HEREIN.
 - C) INSTALLATION OF THE SYSTEMS SHALL BE IN ACCORDANCE WITH THE ABOVE MENTIONED CODES AND REGULATIONS AND ALSO SHALL CONFORM TO GOOD, ACCEPTED MECHANICAL PRACTICES.
2. PROVIDE AND INSTALL VOLUME DAMPERS IN ALL BRANCH DUCTS.
3. FLEXIBLE CONNECTIONS AT SUPPLY AND RETURN AIR OPENINGS OF ALL AIR CONDITIONING UNITS.
4. FLEXIBLE DUCTS TO BE R-8 GLASS-FLEX 6"-0" MAXIMUM IN LENGTH, WHERE APPLICABLE.
5. COORDINATE EXACT LOCATION OF ALL AIR OUTLETS AND INLETS (DIFFUSERS, REGISTERS AND GRILLES) WITH APPROPRIATE ARCHITECTURAL PLAN, AND VERIFY THEIR LOCATION WITH ARCHITECT ON THE JOB SITE BEFORE INSTALLATION. COLOR AS DIRECTED BY ARCHITECT/OWNER.
6. AUTOMATIC TEMPERATURE CONTROL DEVICE FOR REGULATION OF SPACE TEMPERATURE SHALL BE CAPABLE OF BEING SET FROM 55 TO 85°F, AND HAVE THE ABILITY TO OPERATE THE HEATING AND COOLING IN SEQUENCE. CONTROL SHALL BE ADJUSTABLE TO PROVIDE A RANGE OF UP TO 5°F BETWEEN FULL HEATING AND FULL COOLING.
7. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED IN PLACE.
8. A MAINTENANCE LABEL SHALL BE AFFIXED TO MECHANICAL EQUIPMENT AND A MAINTENANCE MANUAL SHALL BE PROVIDED FOR THE OWNERS USE.
9. PROVIDE ACCESS PANEL FOR ALL CEILING MOUNTED EQUIPMENT & YOUNG REGULATORS OR ACCESS PANEL FOR VOLUME DAMPERS.
10. PROVIDE MIN. 10'-0" SEPARATION BETWEEN POINT OF EXHAUST AND ANY FRESH AIR INTAKE, OR A/C UNIT OUTSIDE AIR INTAKE.
11. PROVIDE FIRE DAMPERS OR SMOKE/FIRE DAMPERS WHERE DUCT PENETRATES FIRE RATED CEILING OR WALL IF APPLICABLE.
12. TRANSVERSE JOINTS FOR ALL AIR SUPPLY DUCTS INSTALLED WHERE AIR LEAKAGE WOULD BE NON-BENEFICIAL TO THE OCCUPIED AREA, TEMPERATURE REQUIREMENTS SHALL BE SEALED WITH APPROVED MASTIC OR TAPE.
13. ALL DUCT SIZES SHOWN ON THE FLOOR PLANS ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL ENLARGE DUCT SIZE IN ORDER TO ACCOMMODATE LINING INSIDE OF DUCT.
14. THE MECHANICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND FEES.
15. SHOP PRIME ALL MISCELLANEOUS INTERIOR BRACKETS AND HANGERS UNLESS GALVANIZED OR STAINLESS STEEL.
16. ENERGY CONSERVATION STANDARDS FOR NEW NONRESIDENTIAL BUILDINGS HAVE BEEN REVIEWED AND DESIGN SUBSTANTIALLY CONFORMS TO THEM.
17. EACH SINGLE SYSTEM PROVIDING HEATING OR COOLING AIR IN EXCESS OF 2,000 CFM SHALL BE EQUIPPED WITH AN AUTOMATIC SHUT-OFF. THE SMOKE DETECTOR SHALL BE INSTALLED IN THE MAIN RETURN DUCT AHEAD OF OSA INTAKE. SEE CODE FOR EXEMPTIONS AND LOCAL AUTHORITY FOR CODE INTERPRETATION, OR AS INDICATED ON PLAN.
18. ALL EQUIPMENT AND APPLIANCES ARE LISTED PRODUCTS, AND WILL BE INSTALLED ACCORDING TO THEIR LISTING, AND ALL LISTING INFORMATION WILL BE AVAILABLE FOR INSPECTION.
19. REFER TO DETAILS OR GUIDELINES FOR MECHANICAL CONSTRUCTION REQUIREMENTS. INSTALL IN FULL ACCORDANCE WITH PROPER CODES AND GUIDELINES.
20. COORDINATE IN THE FIELD THE EXACT LOCATION OF ALL CEILING MOUNTED GRILLES AND DIFFUSERS WITH LIGHT FIXTURES AND (ARCHITECTUAL) REFLECTED CEILING PLAN.
21. ALL EXTERIOR BRACKETS, CLAMPS, AND HANGERS SHALL BE HOT DIPPED GALVANIZED. COAT ALL CUT ENDS AND WELDS WITH "ZRC" COLD GALVANIZING COMPOUND.

MECHANICAL KEYED NOTES:

- ① PROVIDE PROGRAMMABLE THERMOSTAT. COORDINATE FINAL LOCATION AND HEIGHT WITH ARCHITECT.
- ② ROUTE CONDENSATE DRAIN TO AHU SINK TAIL PIECE.
- ③ PROVIDE UNIT WITH MANUFACTURERS SUGGESTED CLEARANCES FOR ACCESS AND MAINTENANCE. CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO INSTALL OR FABRICATION TO ENSURE PROPER CLEARANCES OF SYSTEMS AND CODE REQUIREMENTS ARE MAINTAINED.
- ④ ROUTE EXHAUST THRU ROOF. PROVIDE ROOF RAIN CAP. CONTRACTOR SHALL COORDINATE ROOF PENETRATIONS WITH ROOFING CONTRACTOR.
- ⑤ INSULATE PIPE AS SPECIFIED. REFER TO SPECIFICATIONS.
- ⑥ REFRIGERANT LIQUID AND SUCTION LINES SIZED PER MANUFACTURER'S RECOMMENDATIONS. INSULATE PIPE AS SPECIFIED, REFER TO SPECIFICATIONS.
- ⑦ CONDENSERS SHALL BE INSTALLED ON THE ROOF. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO CONSTRUCTION. PROVIDE CONDENSER WITH HOUSEKEEPING PAD. PROVIDE CONDENSING UNIT WITH ALL PROPER CLEARANCES FOR MAINTENANCE AND OPERATION. REFER TO MANUFACTURER FOR RECOMMENDATIONS. PROVIDE CONDENSING UNIT WITH VIBRATION ISOLATION PADS.
- ⑧ EXISTING ROOFTOP UNIT SHALL REMAIN.

GRILLE SIZING SCHEDULE



MECHANICAL CONTRACTOR NOTES

- CONTRACTOR SHALL REMOVE ALL DUCTWORK AND AIR DEVICES BACK TO EXISTING RTU. EXISTING RTU SHALL REMAIN IN PLACE FOR REUSE.
- CONTRACTOR SHALL REMOVE LAB HOOD AND ASSOCIATED DUCTWORK. CAP AND SEAL ALL PENETRATIONS.
- CONTRACTOR SHALL REMOVE EXISTING RESTROOM EXHAUST FANS.
- CONTRACTOR TO BE AWARE OF OBSTRUCTIONS AND BE PREPARED TO OFFSET DUCT AND PIPING BOTH VERTICAL AND HORIZONTALLY TO ROUTE MECHANICAL SYSTEM.

CONDENSATE DRAIN SIZING SCHEDULE

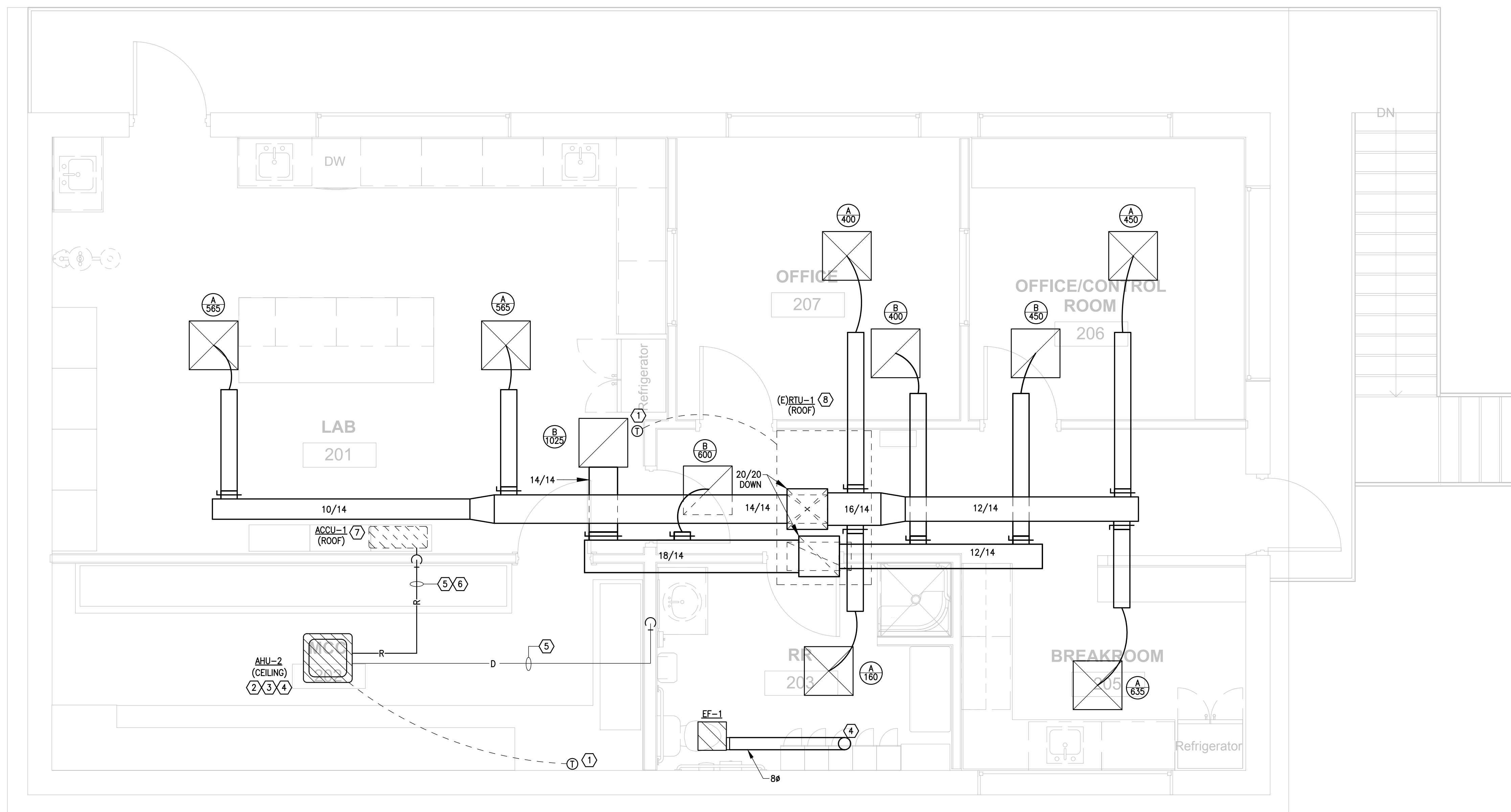
PIPE DIA.	EQUIPMENT CAPACITY
3/4"	UP TO 5 TONS
1"	OVER 5 TONS TO 25 TONS
1-1/4"	OVER 25 TONS TO 60 TONS
1-1/2"	OVER 60 TONS TO 100 TONS
2"	OVER 100 TONS TO 200 TONS

SUPPLY DIFFUSER NECK SIZING SCHEDULE

SIZE	AIRFLOW (CFM)
4"	0 - 50
6"	50 - 100
8"	100 - 210
10"	210 - 380
12"	380 - 500
14"	500 - 700
16"	700 - 800

RETURN FLEX DUCT SIZING SCHEDULE

SIZE	AIRFLOW (CFM)
4"	0 - 50
6"	50 - 100
8"	100 - 200
10"	200 - 300
12"	300 - 400
14"	400 - 500
16"	600 - 700



1 MECHANICAL LAYOUT - REMODEL
SCALE: 3/8" = 1'-0"

Item 10.

By: _____ Date: _____

Revisions and Descriptions: _____

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OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

MECHANICAL LAYOUT

Project Title: _____

Drawn By: MRB
Checked By: MRB
Scale: As indicated
Date: 12/29/2021

Cooper Gill
12.29.21

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Sheet No. **M101**
of _____

Project No. **0109.21005**

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MECHANICAL SPECIFICATIONS

1.1 SCOPE

- A. THE WORK OF THIS DIVISION CONSISTS OF PROVIDING LABOR, MATERIALS, PRODUCTS, AND IN PERFORMING ALL OPERATIONS REQUIRED FOR THE COMPLETE OPERATING INSTALLATION OF ALL MECHANICAL AND PLUMBING SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS AS WELL AS APPLICABLE DRAWINGS, TERMS, CONDITIONS OF THE CONTRACT AND ALL APPLICABLE CODES AND ORDINANCES GOVERNING THE INSTALLATION OF THE VARIOUS MECHANICAL AND PLUMBING SYSTEMS. ALL WORK SHALL BE FULLY CORRELATED WITH THE WORK OF OTHER CRAFTS.
B. EACH CONTRACTOR SHALL STUDY THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF WORK PROVIDED UNDER THIS CONTRACT AS WELL AS ASCERTAIN THE DIFFICULTY TO BE ENCOUNTERED IN PERFORMING THE WORK ON THE DRAWINGS AND OUTLINED HEREINAFTER AND IN MAKING CONNECTIONS TO EXISTING UTILITIES, INSTALLING NEW EQUIPMENT AND SYSTEMS AND COORDINATING THE WORK WITH THE OTHER TRADES.
C. EXAMINATION OF THE SITE: THE CONTRACTOR SHALL THOROUGHLY EXAMINE SITE AND SATISFY HIMSELF AS THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH AFFECT HIS WORK. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.

1.2 REGULATORY REQUIREMENTS

- A. CODES AND ORDINANCES/PERMIT AND FEES: PERFORM ALL WORK IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE CURRENT EDITION OF NFPA, THE INTERNATIONAL BUILDING CODE, INTERNATIONAL MECHANICAL CODE, INTERNATIONAL PLUMBING CODE, AND ALL CURRENT SUPPLEMENTS THERETO, AND ANY OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK. PROCURE AND PAY FOR ALL PERMITS, LICENSES, FEES AND CHARGES, AND GIVE ALL NOTICES NECESSARY.
B. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND REQUIREMENTS OF ANY CODE OR AUTHORITIES HAVING JURISDICTION, THE MOST STRINGENT REQUIREMENTS OF THE AFORESAIDED SHALL BE GOVERNING.
C. SHOULD THE CONTRACTOR PERFORM ANY WORK THAT DOES NOT COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES, STATE LAWS, AND LOCAL ORDINANCES AND INDUSTRY STANDARDS, HE SHALL BEAR ALL COSTS ARISING IN CORRECTING THE DEFICIENCIES, AS APPROVED BY THE ARCHITECT.
D. INTENT: THE DRAWINGS SHOW GENERAL ARRANGEMENTS AND THE EXTENT OF THE WORK. THE DRAWINGS DO NOT SHOW, IN MINUTE DETAIL, ALL FEATURES OF THE INSTALLATION. FOLLOW THE DRAWINGS AS CLOSELY AS ACTUAL CONSTRUCTION WILL PERMIT. ALL MATERIAL AND LABOR NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE INTENT OF THE SPECIFICATIONS AND DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR WITHOUT ADDITIONAL CHARGE. THE JOB SHALL BE BID AND INSTALLED COMPLETE AND CONSISTENT IN EVERY REQUEST.

1.3 COORDINATION OF WORK

- A. EACH CONTRACTOR SHALL COMPARE HIS DRAWINGS AND SPECIFICATIONS WITH THOSE OF OTHER TRADES. ALL WORK SHALL BE INSTALLED IN COOPERATION WITH ALL OTHER TRADES INSTALLING INTERRELATED WORK. BEFORE INSTALLATION, ALL TRADES SHALL MAKE PROVISIONS TO AVOID INTERFERENCES. EACH CONTRACTOR SHALL COORDINATE THE LOCATION OF HIS SYSTEMS TO THAT ALL OUTSIDE AIR INTAKES, PLUMBING VENTS, AND EXHAUST FANS ARE LOCATED IN SUCH A WAY AS TO PREVENT CROSS-CONTAMINATION. SUCH A DISTANCE SHALL BE NOT LESS THAN 10'-0".
C. LOCATIONS OF CONDUIT, DUCTS, PIPING, SPRINKLER HEADS AND EQUIPMENT SHALL BE ADJUSTED TO ACCOMMODATE THE WORK WITH INTERFERENCES ANTICIPATED AND ENCOUNTERED. EXACT ROUTING AND LOCATION OF SYSTEMS SHALL BE DETERMINED PRIOR TO FABRICATION OR INSTALLATION.
D. OFFSETS AND CHANGES OF DIRECTION IN ALL CONDUIT, DUCTS AND PIPING SYSTEMS SHALL BE MADE AS REQUIRED TO MAINTAIN PROPER HEADROOM AND PITCH OF SLOPING LINES.

1.4 REGULATORY REQUIREMENTS

- A. COMPLY WITH ALL CURRENT LOCAL, STATE, AND NATIONAL CODES, INCLUDING THE AMERICANS WITH DISABILITIES ACT (MOST CURRENT EDITION) AND SECURE AND PAY FOR ALL APPLICABLE COSTS, FEES, PERMITS AND LICENSES. NO ADDITIONAL COSTS SHALL BE PAID BY THE OWNER FOR THESE ITEMS.
B. PERFORM ALL WORK WITH HIGHEST REGARD TO SAFETY. EXCAVATE BY HAND AND WITH CAUTION TO LOCATE ALL UTILITIES IN THE BOUNDS OF THE AREA TO BE EXCAVATED PRIOR TO MACHINE EXCAVATING. PROCEED WITH SAFETY AND CAUTION SO THAT NO UTILITY IS DAMAGED OR INTERRUPTED.
C. PRIOR TO BID, VERIFY AND COORDINATE ALL REQUIRED CONNECTIONS AND/OR RELOCATIONS OF UTILITIES WITH UTILITY COMPANIES. PERFORM SUCH WORK IN ACCORDANCE WITH UTILITY COMPANY REGULATIONS. PAY ALL APPLICABLE FEES AND COSTS INCLUDING THOSE FOR ANY EXTENSIONS, RELOCATIONS AND/OR CONNECTIONS.
D. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ABOVE GROUND AND MARKED UTILITIES.

1.5 SUBMITTALS

- A. SUBMITTALS SHALL BE COMPLETE FOR SYSTEM(S) INVOLVED. PROVIDE SUBMITTALS FOR ALL HVAC EQUIPMENT.
B. WHERE EQUIPMENT OF THE ACCEPTABLE MANUFACTURERS REQUIRE DIFFERENT ARRANGEMENT OR CONNECTIONS FROM THOSE SHOWN, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL THE EQUIPMENT TO OPERATE PROPERLY AND IN HARMONY WITH THE ORIGINAL INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL MAKE ALL NECESSARY CHANGES IN ALL AFFECTED RELATED WORK PROVIDED UNDER OTHER SECTIONS INCLUDING LOCATIONS OF ROUGH-IN CONNECTIONS BY OTHER TRADES, CONDUIT SUPPORTS, INSULATION, ETC. ALL CHANGES SHALL BE MADE AT NO INCREASE IN THE CONTRACT AMOUNT OR ADDITIONAL COSTS TO THE OTHER TRADES AND/OR OWNER.

1.6 GUARANTEE

- A. ALL EQUIPMENT AND WORK SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE. ANY DEFECTS IN EQUIPMENT OR WORKMANSHIP SHALL BE PROMPTLY REPAIRED OR REPLACED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER. THE GUARANTEE PERIOD OF ANY PART OF THE REPAIRED ITEMS SHALL BE EXTENDED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUCH REPAIR OR REPLACEMENT.

1.7 COMPLETION

- A. UPON COMPLETION OF THE MECHANICAL INSTALLATION, DEMONSTRATE TO THE OWNER'S SATISFACTION THAT THE SYSTEMS HAVE BEEN INSTALLED IN A SATISFACTORY MANNER IN ACCORDANCE WITH THE PLANS AND APPLICABLE CODES. SHOW THAT ALL CONTROLS ARE OPERABLE AND ARE PROPERLY ADJUSTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FINAL SYSTEMS BALANCE. THAT ALL SYSTEMS ARE PROPERLY BALANCED, THAT ALL EQUIPMENT OPERATES PROPERLY, THAT FILTERS AND STRAINERS ARE CLEAN, AND THAT ALL COMPONENTS OF ALL SYSTEMS ARE INSTALLED AND ADJUSTED FOR PROPER OPERATION.

PRODUCTS

2.1 GENERAL

- A. ALL MATERIALS SHALL BE NEW AND OF THE QUALITY SPECIFIED. MATERIALS SHALL BE FREE FROM DEFECTS. MANUFACTURERS SHALL BE AS SPECIFIED HEREIN, OR BY ADDENDA. ALL PIPING EQUIPMENT, ETC., WHICH NEEDS TO BE INSULATED TO CONSERVE HEAT OR COLD, OR TO PREVENT FREEZING OR CONDENSATION, SHALL BE INSULATED. ALL MATERIALS SHALL HAVE THE UNDERWRITERS LABORATORIES, INC. LABEL.

BASIC MECHANICAL METHODS

1.1 DIMENSION AND FIT

- A. CUT MATERIALS ACCURATELY FROM MEASUREMENTS TAKEN ON THE JOB SITE.
B. DO NOT SPRING OR BEND PIPE TO FIT CONDITIONS OR MAKE UP JOINTS

1.2 SERVICEABILITY OF PRODUCTS

- A. FURNISH ALL PRODUCTS TO PROVIDE THE PROPER ORIENTATION OF SERVICEABLE COMPONENTS TO ACCESS SPACE PROVIDED.
B. COORDINATE INSTALLATION OF PIPING, DUCTWORK, EQUIPMENT, SYSTEM COMPONENTS, AND OTHER PRODUCTS TO ALLOW PROPER SERVICE OF ALL ITEMS REQUIRING PERIODIC MAINTENANCE OR REPLACEMENT.
C. REPLACE OR RELOCATE ALL PRODUCTS INCORRECTLY ORDERED OR INSTALLED TO PROVIDE PROPER SERVICEABILITY.
D. PROVIDE ACCESS DOORS AND ACCESS PANELS IN CEILINGS, WALLS, FLOORS, ETC. FOR ACCESS TO TRAPS, VALVES, PRIMERS, DAMPERS, AUTOMATIC DEVICES, AND ALL SERVICEABLE OR OPERABLE EQUIPMENT IN CONCEALED SPACES.
E. PROVIDE VIBRATION ISOLATORS ON ALL EQUIPMENT HAVING MOTORS AND SUPPORTED BY THE BUILDINGS STRUCTURE.

1.3 ROUTING

- A. ROUTE ALL PIPELINES AND DUCTWORK PARALLEL WITH BUILDINGS LINES AND AS HIGH AS POSSIBLE.
B. ROUTE PIPING AND DUCTS TO CLEAR ALL DOORS, WINDOWS, AND OTHER OPENINGS AND TO AVOID ALL OTHER PIPES AND DUCTS, LIGHT FIXTURES AND SIMILAR PRODUCTS.
C. PROVIDE UNIONS ADJACENT TO ALL EQUIPMENT AND WHERE REQUIRED FOR DISCONNECT AND MAINTENANCE OF EQUIPMENT.
D. SECURELY FASTEN ALL MECHANICAL/PLUMBING WORK TO THE STRUCTURE TO PREVENT HAZARD HUMAN LIFE AND LIMB, AND TO PREVENT DAMAGE TO PRODUCTS OF CONSTRUCTION UNDER ALL CONDITIONS OF OPERATION.
E. DO ALL SLEEVING, CUTTING, AND PATCHING OF ROUGH CONSTRUCTION FOR PIPING. ALL CUTTING, REPAIRING AND REQUIRED STRUCTURAL REINFORCING FOR INSTALLATION OF THIS WORK SHALL BE DONE IN CONFORMANCE WITH ARCHITECT'S DIRECTIONS AND ANY DAMAGE CAUSED BY CUTTING SHALL BE REPAIRED EQUAL TO ORIGINAL CONDITIONS. NO CUTTING WITHOUT ARCHITECT'S APPROVAL.
F. PLACE ANY SLEEVES, CHASES, CONCRETE INSERTS, ANCHOR BOLTS, ETC., BEFORE CONCRETE IS POURED, AND BE RESPONSIBLE FOR CORRECT LOCATION AND INSTALLATION OF THESE ITEMS.

VIBRATION AND SEISMIC CONTROL FOR HVAC PIPING AND EQUIPMENT

1.1 PERFORMANCE REQUIREMENTS

- A. SEISMIC-RESTRAINT LOADING:
a. SITE CLASS AS DEFINED IN THE IBC. AS REQUIRED BY LOCAL JURISDICTION
b. ASSIGNED SEISMIC USE GROUP OR BUILDING CATEGORY AS DEFINED IN THE IBC. AS REQUIRED BY LOCAL JURISDICTION.
c. DESIGN SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS (0.2 SECOND).
d. DESIGN SPECTRAL RESPONSE ACCELERATION AT 1-SECOND PERIOD.

1.2 COMPONENTS

- A. VIBRATION ISOLATORS:
a. ISOLATOR PADS: NEOPRENE.
b. MOUNTS: DOUBLE-DEFLECTION TYPE.
c. RESTRAINED MOUNTS: ALL DIRECTIONAL MOUNTINGS WITH SEISMIC RESTRAINT; CAST-DUCTILE-IRON HOUSING.
d. SPRING ISOLATORS: FREESTANDING, LATERALLY STABLE, OPEN-SPRING TYPE.
e. RESTRAINED SPRING ISOLATORS: FREESTANDING, STEEL, OPEN-SPRING TYPE WITH SEISMIC RESTRAINT.
f. HOUSED SPRING MOUNTS: DUCTILE-IRON OR STEEL HOUSING, WITH INTEGRAL, VERTICALLY ADJUSTABLE SEISMIC SNUBBERS.
g. ELASTOMERIC HANGERS: DOUBLE-DEFLECTION TYPE.

- h. SPRING HANGERS: COMBINATION COIL-SPRING AND ELASTOMERIC-INSERT HANGERS WITH SPRING AND INSERT IN COMPRESSION.
i. SPRING HANGERS WITH VERTICAL-LIMIT STOP: COMBINATION COIL-SPRING AND ELASTOMERIC-INSERT HANGERS WITH SPRING AND INSERT IN COMPRESSION AND WITH VERTICAL-LIMIT STOP.
j. PIPE RISER RESILIENT SUPPORT: ALL-DIRECTIONAL, ACOUSTICAL PIPE ANCHOR.
k. RESILIENT PIPE GUIDES.
B. AIR-MOUNTING SYSTEMS:
a. AIR MOUNTS: FREESTANDING, SINGLE OR MULTIPLE, COMPRESSED-AIR BELLOWES.
b. RESTRAINED AIR MOUNTS: HOUSED COMPRESSED-AIR BELLOWES.
C. RESTRAINED VIBRATION ISOLATION ROOF-CURB RAILS: FACTORY-ASSEMBLED, FULLY ENCLOSED, INSULATED, AIR- AND WATERTIGHT CURB RAIL; WITH SPRING ISOLATORS MOUNTED ON ELASTOMERIC ISOLATION PADS, AND SNUBBER BUSHINGS.
D. VIBRATION ISOLATION EQUIPMENT BASES:
a. STEEL BASE: FACTORY-FABRICATED, WELDED, STRUCTURAL-STEEL BASES AND RAILS.
b. INERTIA BASE: FACTORY-FABRICATED, WELDED, STRUCTURAL-STEEL BASES AND RAILS READY FOR FIELD-APPLIED, CAST-IN-PLACE CONCRETE.
E. SEISMIC-RESTRAINT DEVICES:
a. SNUBBERS: WELDED STRUCTURAL-STEEL SHAPES AND REPLACEABLE RESILIENT ISOLATION WASHERS AND BUSHINGS.
b. CHANNEL SUPPORT SYSTEM: MFM-3 SLOTTED STEEL CHANNELS.
c. RESTRAINT CABLES: STAINLESS-STEEL CABLES.
d. ANCHOR BOLTS: MECHANICAL TYPE, SEISMIC RATED.
e. RESILIENT ISOLATION WASHERS AND BUSHINGS: MOLDED NEOPRENE.

1.3 FIELD QUALITY CONTROL

- A. TESTING: BY CONTRACTOR.

AIR DISTRIBUTION

1.1 FILTERS

- A. MANUFACTURERS: AAF OR APPROVED EQUIVALENT.
a. PLEATED FILTERS MERV-8, OR AS NOTED ON THE DRAWINGS.

1.2 DUCTWORK

- A. MATERIALS:
a. STEEL DUCTS: GALVANIZED STEEL SHEET, LOCK-FORMING QUALITY, MINIMUM GAUGE PER SMACNA STANDARDS.
b. INSULATED FLEXIBLE DUCTS: FLEXIBLE DUCT WRAPPED WITH FLEXIBLE GLASS FIBER INSULATION, ENCLOSED BY R-8 METALIZED VAPOR BARRIER JACKET.
c. SEALANT: NON-HARDENING, WATER RESISTANT, FIRE RESISTIVE, USED ALONE OR WITH TAPE.
B. METAL DUCTWORK:
a. FABRICATE AND SUPPORT IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE EXCEPT AS INDICATED.
b. CONSTRUCT T'S, BENDS, AND ELBOWS WITH RADIUS OF 1-1/2 TIMES WIDTH OF DUCT ON CENTER LINE. WHERE NOT POSSIBLE PROVIDE TURNING VANES.
c. INCREASE DUCT SIZES GRADUALLY, NOT EXCEEDING 30 DEGREES DIVERGENCE AND 45 DEGREES CONVERGENCE.
d. CONNECT FLEXIBLE DUCTS TO METAL DUCTS WITH DRAW BANDS.
e. USE CRIMP JOINTS WITH OR WITHOUT BEAD FOR JOINING ROUND DUCT SIZES 8 INCHES AND SMALLER WITH CRIMP IN DIRECTION OF AIR FLOW.
f. DUCT SCHEDULE:
f.a. SUPPLY DUCTS CONNECTED TO CONSTANT-VOLUME AIR-HANDLING UNITS, SINGLE ZONE VARIABLE-VOLUME AIR-HANDLING UNITS, AND SECONDARY DUCTWORK AFTER TERMINAL UNITS:
f.a.a. PRESSURE CLASS: POSITIVE 2-INCH WG.
f.a.b. MINIMUM SMACNA SEAL CLASS: B
f.a.c. SMACNA LEAKAGE CLASS FOR RECTANGULAR: 12
f.a.d. SMACNA LEAKAGE CLASS FOR ROUND: 12
f.b. SUPPLY DUCTS CONNECTED TO VARIABLE-VOLUME AIR-HANDLING UNITS:
f.b.a. PRESSURE CLASS: POSITIVE 4-INCH WG.
f.b.b. MINIMUM SMACNA SEAL CLASS: B
f.b.c. SMACNA LEAKAGE CLASS FOR RECTANGULAR: 6
f.b.d. SMACNA LEAKAGE CLASS FOR ROUND: 6
f.c. RETURN DUCTS CONNECTED TO VARIABLE AND CONSTANT-VOLUME AIR-HANDLING UNITS:
f.c.a. PRESSURE CLASS: POSITIVE OR NEGATIVE 2-INCH WG.
f.c.b. MINIMUM SMACNA SEAL CLASS: B
f.c.c. SMACNA LEAKAGE CLASS FOR RECTANGULAR: 12
f.c.d. SMACNA LEAKAGE CLASS FOR ROUND: 12
f.d. EXHAUST DUCTS:
f.d.a. PRESSURE CLASS: POSITIVE OR NEGATIVE 2-INCH WG.
f.d.b. MINIMUM SMACNA SEAL CLASS: B IF NEGATIVE, A IF POSITIVE
f.d.c. SMACNA LEAKAGE CLASS FOR RECTANGULAR: 12
f.d.d. SMACNA LEAKAGE CLASS FOR ROUND: 6
f.e. OUTSIDE AIR DUCTS:
f.e.a. PRESSURE CLASS: POSITIVE OR NEGATIVE 2-INCH WG.
f.e.b. MINIMUM SMACNA SEAL CLASS: B
f.e.c. SMACNA LEAKAGE CLASS FOR RECTANGULAR: 12
f.e.d. SMACNA LEAKAGE CLASS FOR ROUND: 12
g. SEISMIC-RESTRAINT DEVICES
1. CHANNEL SUPPORT SYSTEM
2. GALVANIZED STEEL RESTRAINT CABLES.
3. HANGER ROD STIFFENER: STEEL TUBE OR STEEL SLOTTED-SUPPORT-SYSTEM SLEEVE WITH INTERNALLY BOLTED CONNECTIONS OR REINFORCING STEEL ANGLE CLAMPED TO HANGER ROD.

1.3 VOLUME CONTROL DAMPERS

- C. PROVIDE ALL BRANCHES AND DUCT TAKE-OFFS, FABRICATE IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE, AND AS INDICATED.
D. FABRICATE SPLITTER DAMPERS OF MATERIAL SAME GAGE AS DUCT TO 24 INCHES SIZE IN EITHER DIRECTION, OR TWO GAGES HEAVIER FOR LARGER SIZES. SECURE WITH CONTINUOUS HINGE OR ROD. OPERATE WITH MINIMUM 1/4 INCH DIAMETER ROD.
E. FABRICATE SINGLE BLADE DAMPERS FOR DUCT SIZES TO 12X30 INCH.
F. EXCEPT IN ROUND DUCTWORK 12 INCHES AND SMALLER, PROVIDE END BEARINGS.
G. PROVIDE LOCKING, INDICATING QUADRANT REGULATORS ON SINGLE AND MULTI-BLADE DAMPERS. WHERE WIDTH EXCEEDS 30 INCHES PROVIDE REGULATOR AT BOTH ENDS.

1.4 FLEXIBLE DUCT CONNECTIONS

- A. UL LISTED FIRE-RETARDANT NEOPRENE COATED WOVEN GLASS FIBER FABRIC TO NFPA 90, APPROXIMATELY 3 INCHES (75 MM) WIDE, CRIMPED INTO METAL EDGING STRIP.

1.5 AIR OUTLETS

- A. MANUFACTURERS: PRICE, TITUS, TUTTLE AND BAILEY, KRUEGER, OR APPROVED EQUIVALENT.
B. DIFFUSERS/REGISTERS/GRILLES: PROVIDE AIR DEVICE TYPE, OPERATION, COLOR, ETC. AS SCHEDULED.

2.1 INSTALLATION

- A. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
B. INSTALL FLEXIBLE CONNECTIONS SPECIFIED BETWEEN FAN INLET AND DISCHARGE DUCTWORK. FLEXIBLE CONNECTORS SHALL NOT BE IN TENSION WHILE RUNNING.
C. PROVIDE BACK DRAFT DAMPERS ON DISCHARGE OF EXHAUST FANS AND AS INDICATED.
D. PREVENT PASSAGE OF UNFILTERED AIR AROUND FILTERS WITH FELT, RUBBER, OR NEOPRENE GASKETS.
E. LOCATE DUCTS WITH SUFFICIENT SPACE AROUND EQUIPMENT TO ALLOW NORMAL OPERATING AND MAINTENANCE ACTIVITIES.
F. PROVIDE FLEXIBLE CONNECTIONS IMMEDIATELY ADJACENT TO EQUIPMENT IN DUCTS ASSOCIATED WITH FANS AND MOTORIZED EQUIPMENT.
G. CHECK LOCATION OF AIR OUTLETS AND INLETS AND MAKE NECESSARY ADJUSTMENTS IN POSITION TO CONFORM TO ARCHITECTURAL FEATURES, SYMMETRY, AND LIGHTING ARRANGEMENTS.
H. PROVIDE BALANCING DAMPERS ON DUCT TAKE-OFF TO DIFFUSERS, AND GRILLES AND REGISTERS, REGARDLESS OF WHETHER DAMPERS ARE SPECIFIED AS PART OF THE DIFFUSER, OR GRILLE AND REGISTER ASSEMBLY.

MECHANICAL INSULATION

1.1 SCOPE

- A. GENERAL: FURNISH ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETE INSTALLATION OF THERMAL INSULATION ON ALL HOT AND COLD PIPING SURFACE AND DUCTWORK INSTALLED UNDER THIS CONTRACT WHICH REQUIRE INSULATIONS FOR HEAT OR COLD CONSERVATION; FREEZE PROTECTION, PREVENTION OF CONDENSATION OR DRIPPINGS; COMFORT FOR OCCUPANTS; EFFICIENCY OR

BASE OF OPERATION. MECHANICAL INSULATION SHALL BE COMPLETE AND EFFECTIVE THROUGHOUT THE PROJECT.

- B. SYSTEMS TO RECEIVE INSTALLATION INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO:

- a. HYDRONIC WATER LINES (SUPPLY AND RETURN).
b. CONDENSATE DRAINAGE.
c. HORIZONTAL RAIN LEADERS AND ROOF DRAINS.
d. REFRIGERANT LINES (BOTH HIGH AND LOW PRESSURES).
e. PIPING ACCESSORIES AND SPECIALTIES.
f. DUCTWORK

1.2 PIPE INSULATION

- A. ALL ABOVE GRADE INSULATION SHALL HAVE COMPOSITE (INSULATION, JACKET OR FACING, ALL ADHESIVE OR CEMENT USED TO ADHERE THE JACKET TO THE

INSULATION) FIRE AND SMOKE HAZARD RATINGS AS TESTED UNDER PROCEDURE ASTM E-84 AND NFPA 225.

- B. APPROVED MANUFACTURERS: CERTAINEED, OMENS/CORNING, JOHNS-MANVILLE, UROJON, ARMSTRONG, OR APPROVED EQUIVALENT.
C. LOCATE INSULATION AND COVER SEAMS IN LEAST VISIBLE LOCATIONS.
D. NEATLY FINISH INSULATION AT SUPPORTS, PROTRUSIONS, AND INTERRUPTIONS.
E. PROVIDE INSULATED DUAL-TEMPERATURE PIPES OR COLD PIPES CONVEYING FLUIDS BELOW AMBIENT TEMPERATURE WITH VAPOR BARRIER JACKETS. FINISH WITH GLASS CLOTH AND VAPOR BARRIER ADHESIVE. INSULATE COMPLETE SYSTEM.
F. FOR INSULATED PIPES CONVEYING FLUIDS ABOVE AMBIENT TEMPERATURE, PROVIDE STANDARD JACKETS, BEVEL AND SEAL ENDS OF INSULATION AT EQUIPMENT, FLANGES, AND UNIONS.
G. PROVIDE INSERT BETWEEN SUPPORT SHELD AND PIPING ON PIPING 2 INCHES (50 MM) DIAMETER OR LARGER. FABRICATE OF CORK OR OTHER HEAVY DENSITY INSULATING MATERIAL, SUITABLE FOR TEMPERATURE, NOT LESS THAN 6 INCHES (150 MM) LONG.
H. SCHEDULE:
a. CONDENSATE DRAINS: 1" FLEXIBLE ELASTOMERIC, PROVIDE ALUMINUM JACKETING ON PIPING EXPOSED TO WEATHER.
b. REFRIGERANT LINES; 1" FLEXIBLE ELASTOMERIC, PROVIDE ALUMINUM JACKETING ON PIPING EXPOSED TO WEATHER.

1.3 DUCTWORK INSULATION

- A. MANUFACTURERS: KNAUF, OR APPROVED EQUIVALENT.
B. FIBERGLASS BLANKET INSULATION: GLASS FIBERS BONDED WITH A THERMOSETTING RESIN. COMPLY WITH ASTM C 553, TYPE II AND ASTM C 1290, TYPE III WITH FACTORY-APPLIED FSK JACKET. FACTORY-APPLIED JACKET REQUIREMENTS ARE SPECIFIED IN "FACTORY-APPLIED JACKETS" ARTICLE.
a. 'K' (KSI) VALUE: 0.29 AT 75 DEGREES F (0.042 AT 24 DEGREES C).
b. DENSITY: 0.75 LB/CU FT (24 KG/CU M).
c. VAPOR BARRIER JACKET: ALUMINUM-FOIL, FIBERGLASS-REINFORCED SCRM WITH KRAFT-PAPER BACKING, COMPLYING WITH ASTM C 1136, TYPE II.
C. INSULATION PINS AND HANGERS:
a. METAL, ADHESIVELY ATTACHED, PERFORATED-BASE INSULATION HANGERS: BASEPLATE WELDED TO PROJECTING SPINDLE THAT IS CAPABLE OF HOLDING INSULATION, OF THICKNESS INDICATED, SECURELY IN POSITION INDICATED WHEN SELF-LOCKING WASHER IS IN PLACE. COMPLY WITH THE FOLLOWING REQUIREMENTS:
D. GLASS FIBER BLANKET INSULATION SCHEDULE (UNLESS SPECIFIED ON PLANS):
i. EXHAUST DUCTS EXPOSED TO OUTDOOR AIR: 1-1/2"
ii. VENTILATION DUCTS: 2"
iii. SUPPLY DUCTS: 2"
iv. RETURN DUCTS IN UNCONDITIONED SPACES: 1-1/2"

1.4 INSTALLATION

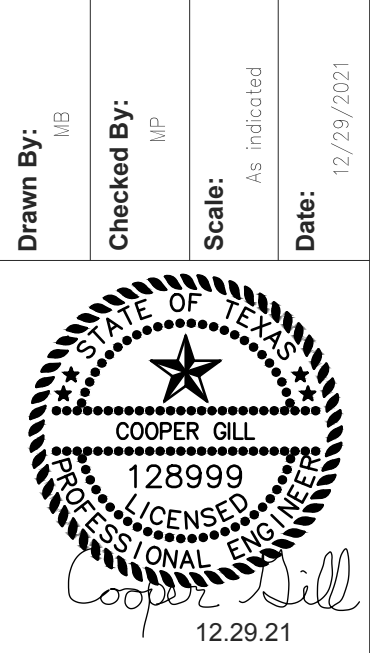
- A. INSTALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
B. CONTINUE INSULATION VAPOR BARRIER THROUGH PENETRATIONS.
C. MASTICS:
a. MATERIALS SHALL BE COMPATIBLE WITH INSULATION MATERIALS, JACKETS, AND SUBSTRATES; COMPLY WITH MIL-PRF-10565C, TYPE II.
i. FOR INDOOR APPLICATIONS, USE MASTICS THAT HAVE A VOC CONTENT OF 50 G/L, OR LESS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24).

SYSTEM TESTING, ADJUSTING, AND BALANCING

- A. TESTING, ADJUSTING AND BALANCING OF ALL WORK SHALL BE MADE BY AN INDEPENDENT AABC OR NEBB CONTRACTOR WHO IS CURRENTLY LICENSED. THE HVAC CONTRACTOR SHALL INSTALL NEW FILTERS IN ALL UNITS PRIOR TO THE AIR BALANCE. THE COMPLETE AIR BALANCE SHALL TAKE PLACE WITH OUTSIDE AIR DAMPERS IN MINIMUM POSITION.
B. BALANCE AIR AND WATER QUANTITIES TO WITHIN +/- 5% OF THAT INDICATED ON THE DRAWINGS. ANY REQUIRED CHANGES IN SHEAVES, BELTS, PULLEYS, OR THE ADDITION OF DAMPERS REQUIRED TO ACHIEVE SPECIFIED FLOW RATES SHALL BE PERFORMED BY THE HVAC CONTRACTOR WITH NO ADDITIONAL COST.
C. THE BALANCE REPORT SHALL INCLUDE AS A MINIMUM THE FOLLOWING INFORMATION:
A. CERTIFICATION NUMBER AND SIGNATURE OF BALANCING CONTRACTOR.
B. INSTRUMENTATION LIST WITH LAST CALIBRATION DATES.
C. MAKE AND MODEL NUMBERS OF ALL HVAC EQUIPMENT.
D. AIR CFM AND STATIC PRESSURE READINGS (DISCHARGE AND SUCTION) AS MEASURED BY PITOT TUBE DUCT TRAVERSE AT THE UNIT.
E. MOTOR NAMEPLATE DATA WITH ACTUAL FIELD VOLTAGE AND AMPERAGE READINGS FOR EACH LEG.
F. MOTOR AND FAN RPMs, SHEAVE SIZES AND BELT SIZES.
G. OUTSIDE, RETURN, MIXED AND SUPPLY AIR TEMPERATURES AT FULL COOLING AND HEATING.
H. WATER BALANCE DATA INCLUDING GPM WITH INLET AND OUTLET TEMPERATURE AND PRESSURE READINGS (WHERE APPLICABLE)
I. MAKE AND MODEL NUMBERS OF ALL AIR DISTRIBUTION EQUIPMENT.
J. FINAL BALANCED AIR VOLUMES AT ALL OUTLETS (INCLUDING RETURNS WHERE DUCTED).
K. INDEXED PLAN WITH DIFFUSER AND RETURN LOCATIONS.
E. ALL CONTROL SEQUENCES SHALL BE TESTED (INTERLOCKED EQUIPMENT, SMOKE DETECTORS, SMOKE EVACUATION, ECONOMIZER, ETC.) AND OPERATING STATUS RECORDED IN THE REPORT.
F. THREE COPIES OF THE BALANCE REPORT SHALL BE SUBMITTED THROUGH THE GENERAL CONTRACTOR TO THE TENANT'S CONSTRUCTION MANAGER FOR APPROVAL.
G. THE BALANCING CONTRACTOR SHALL PERFORM ALL APPLICABLE TESTING AND BALANCING FUNCTIONS AS REQUIRED FOR THE SYSTEM DESIGNED IN THESE DRAWINGS. THE BALANCING CONTRACTOR SHALL RECHECK ANY ITEMS THAT THE TENANT DEEMS NECESSARY AT NO ADDITIONAL COST TO THE TENANT.
H. CONTROLS CONTRACTOR SHALL PROVIDE, AT NO COST, ALL NECESSARY SOFTWARE AND HARDWARE REQUIRED FOR SYSTEM BALANCE AND VERIFICATION OF CONTROLS. CONTROLS CONTRACTOR SHALL BE PRESENT AND ASSIST TEST & BALANCE CONTRACTOR DURING CONTROLS VERIFICATION. PRIOR TO START OF TEST & BALANCE, THE CONTROLS CONTRACTOR SHALL VERIFY ALL CONTROLS ARE OPERATIONAL AND ALL INPUT VALUES HAVE BEEN ENTERED PER DESIGN DOCUMENTATION. CONTROLS CONTRACTOR SHALL PROVIDE CONTROL SYSTEM START-UP SHEETS VERIFYING CONTROLS OPERATION PRIOR TO THE START OF TEST & BALANCE.
I. FINAL BALANCE REPORT SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUALS.

Table with columns for Item No., Date, By, and Description.

Project Title: OYSTER CREEK WWTP 474 COUNTY RD 609 ANGLETON, TX 77515
Drawing Title: MECHANICAL SPECIFICATIONS
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Sheet No. M301 of

Project No. 0109.21005

OYSTER CREEK WWTP
 474 COUNTY RD 609
 ANGLETON, TX 77515

PLUMBING LAYOUT - DEMOLITION

Project Title:

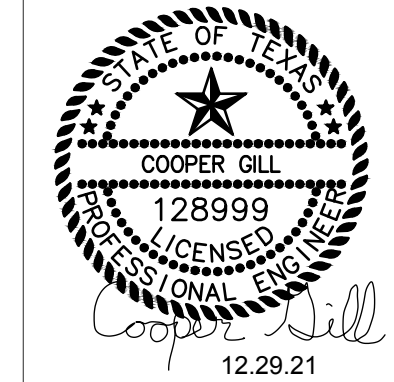
Drawing Title:

Drawn By: HJB

Checked By: MP

Scale: As indicated

Date: 12/29/2011



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Sheet No.
P101
 of
 Project No.
0109.21005

PLUMBING GENERAL NOTES: DEMOLITION

- REFER TO GENERAL DEMOLITION NOTES ON ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND SCOPE OF WORK REQUIREMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONED FLOOR PLANS.
- COORDINATE ALL WORK WITH THE WORK OF OTHER TRADES TO AVOID CONFLICTS AND TO MINIMIZE INTERRUPTION OF SERVICES.
- THE PROPER INSTALLATION OF NEW FIXTURES AND THE PROPER CONTINUED OPERATION OF EXISTING BUILDING FIXTURES TO REMAIN SHALL GOVERN THE EXTENT AND NATURE OF WORK.
- UNLESS NOTED OTHERWISE, WHERE FIXTURES ARE TO BE REMOVED: REMOVE FIXTURE, CARRIER, FAUCET/FLUSH VALVE, SUPPLIES/STOPS, TUBULAR BRASS, AND ASSOCIATED PIPING AS NOTED.
- ALL PIPING BEING EXPOSED DURING REMODEL THAT IS NOT IDENTIFIED/LABELED SHALL BE IDENTIFIED WITH PIPE MARKERS FOR BOTH TYPE OF SERVICE AND DIRECTION OF FLOW.
- ALL PIPING BEING EXPOSED DURING REMODEL SHALL BE PROVIDED WITH INSULATION IF NOT ALREADY EXISTING OR IN POOR CONDITION; INSULATION SHALL BE PER THE SPECIFICATIONS.
- ALL EXISTING PLASTIC PIPING, NOT BEING DEMOLISHED, WITHIN CEILING AREAS SHALL BE INSULATED WITH 3M OR EQUAL FIRE WRAPPING.
- ALL PLUMBING FIXTURES AND/OR EQUIPMENT REMOVED SHALL BE SUBMITTED TO THE OWNER, WITH THE OPTION TO BE REUSED AT THE OWNER'S DISCRETION ONLY. ITEMS THE OWNER DOES NOT WISH TO REUSE BUT WISHES TO RETAIN SHALL BE DELIVERED TO STORAGE AS DIRECTED. ITEMS THE OWNER DOES NOT WISH TO REUSE OR RETAIN SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE OWNER'S MOST RECENT RULES AND REGULATIONS FOR CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH SUCH RULES AND REGULATIONS, UNLESS THE PREVAILING CODE OR THESE DOCUMENTS INDICATE A HIGHER STANDARD, WHICH SHALL GOVERN.
- SITE INSPECTION: CONTRACTOR SHALL VISIT THE SITE OF WORK PRIOR TO SUBMISSION OF HIS BID AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE WORKING CONDITIONS AND EXACT NATURE OF WORK. SUBMISSION OF A BID ACKNOWLEDGES FULL RESPONSIBILITY FOR FURNISHING A COMPLETE AND FUNCTIONAL SYSTEM. NO CHANGES IN CONTRACT WILL BE MADE TO ACCOMMODATE OR ALLOW EXTRA FUNDS FOR ANY OMISSION WHICH RESULTS FROM A FAILURE TO MAKE SUCH A THOROUGH EXAMINATION. ALL EXISTING PIPING TO REMAIN OR TO BE ABANDONED IN PLACE MAY NOT BE SHOWN ON FINISHED FLOOR PLAN FOR GRAPHICAL CLARITY.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS IN ADVANCE WITH THE OWNER PRIOR TO ANY NECESSARY SHUT DOWN OF THE DOMESTIC WATER OR ANY OTHER SERVICE. SUCH SHUT DOWN SHALL BE AT A TIME AND FOR A DURATION SATISFACTORY TO THE OWNER, WHO SHALL MAKE THE FINAL DETERMINATION AS TO ITS ACCEPTABILITY.

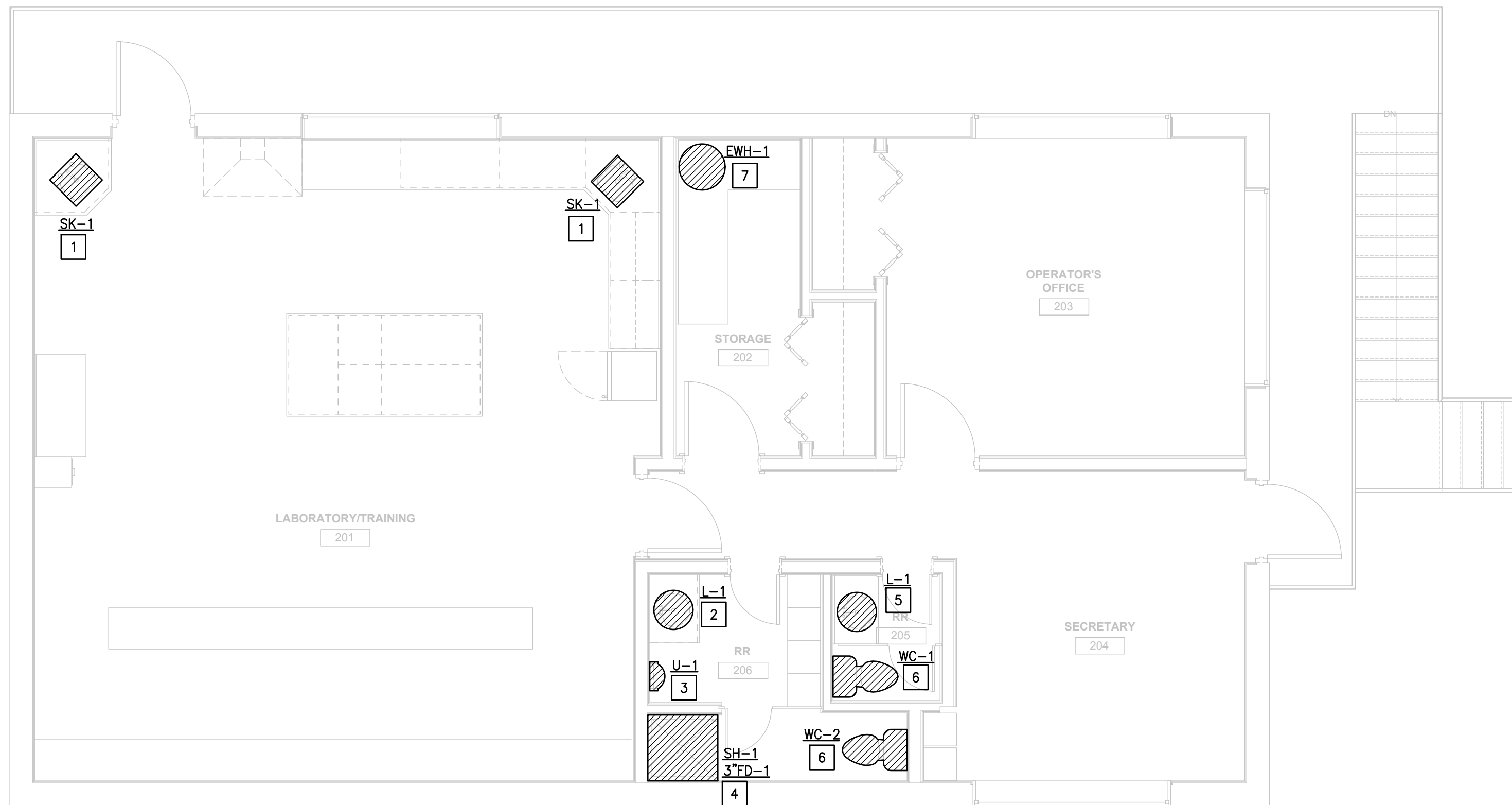
PLUMBING KEYED NOTES: DEMOLITION

- DEMO EXISTING SINK. MODIFY EXISTING PLUMBING PIPING FOR NEW SINK. CAP ANY UNUSED PIPING AT CONCEALED LOCATION. PATCH WALL AND FLOOR TO MATCH EXISTING.
- DEMO EXISTING LAVATORY. MODIFY EXISTING PLUMBING PIPING FOR NEW LAVATORY. CAP ANY UNUSED PIPING AT CONCEALED LOCATION. PATCH WALL AND FLOOR TO MATCH EXISTING.
- DEMO EXISTING URINAL IN IT'S ENTIRETY. CAP ANY UNUSED PIPING AT A CONCEALED LOCATION. CAP AND PLUG SANITARY FLUSH WITH FLOOR. PATCH FLOOR TO MATCH EXISTING.
- DEMO EXISTING SHOWER. MODIFY EXISTING PLUMBING PIPING FOR NEW WATER CLOSET. CAP ANY UNUSED PIPING AT CONCEALED LOCATION. PATCH WALL AND FLOOR TO MATCH EXISTING.
- DEMO EXISTING LAVATORY. MODIFY EXISTING PLUMBING PIPING FOR NEW SHOWER. CAP ANY UNUSED PIPING AT CONCEALED LOCATION. PATCH WALL AND FLOOR TO MATCH EXISTING.
- DEMO EXISTING WATER CLOSET IN IT'S ENTIRETY. CAP ANY UNUSED PIPING AT A CONCEALED LOCATION. CAP AND PLUG SANITARY FLUSH WITH FLOOR. PATCH FLOOR TO MATCH EXISTING.
- DEMO EXISTING ELECTRIC WATER HEATER ON 1ST FLOOR. MODIFY SPACE FOR NEW ELECTRIC WATER HEATER IN EXACT SAME LOCATION.

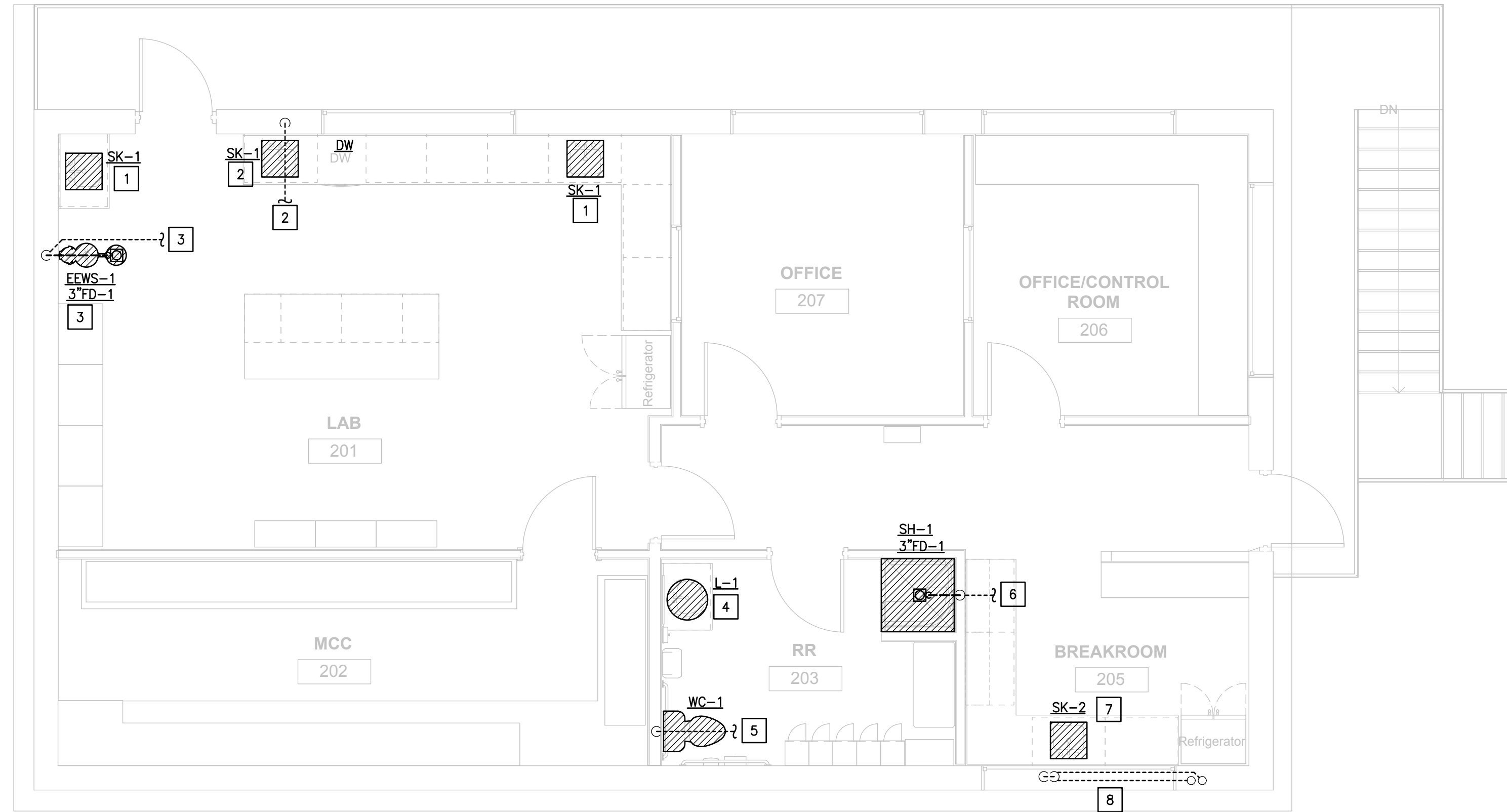
NOTE FOR CONTRACTORS:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BID, PURCHASE, AND/OR INSTALLATION AND SHALL INCLUDE ANY ADDITIONAL COST ASSOCIATED WITH PROVIDING A COMPLETE PLUMBING SYSTEM.

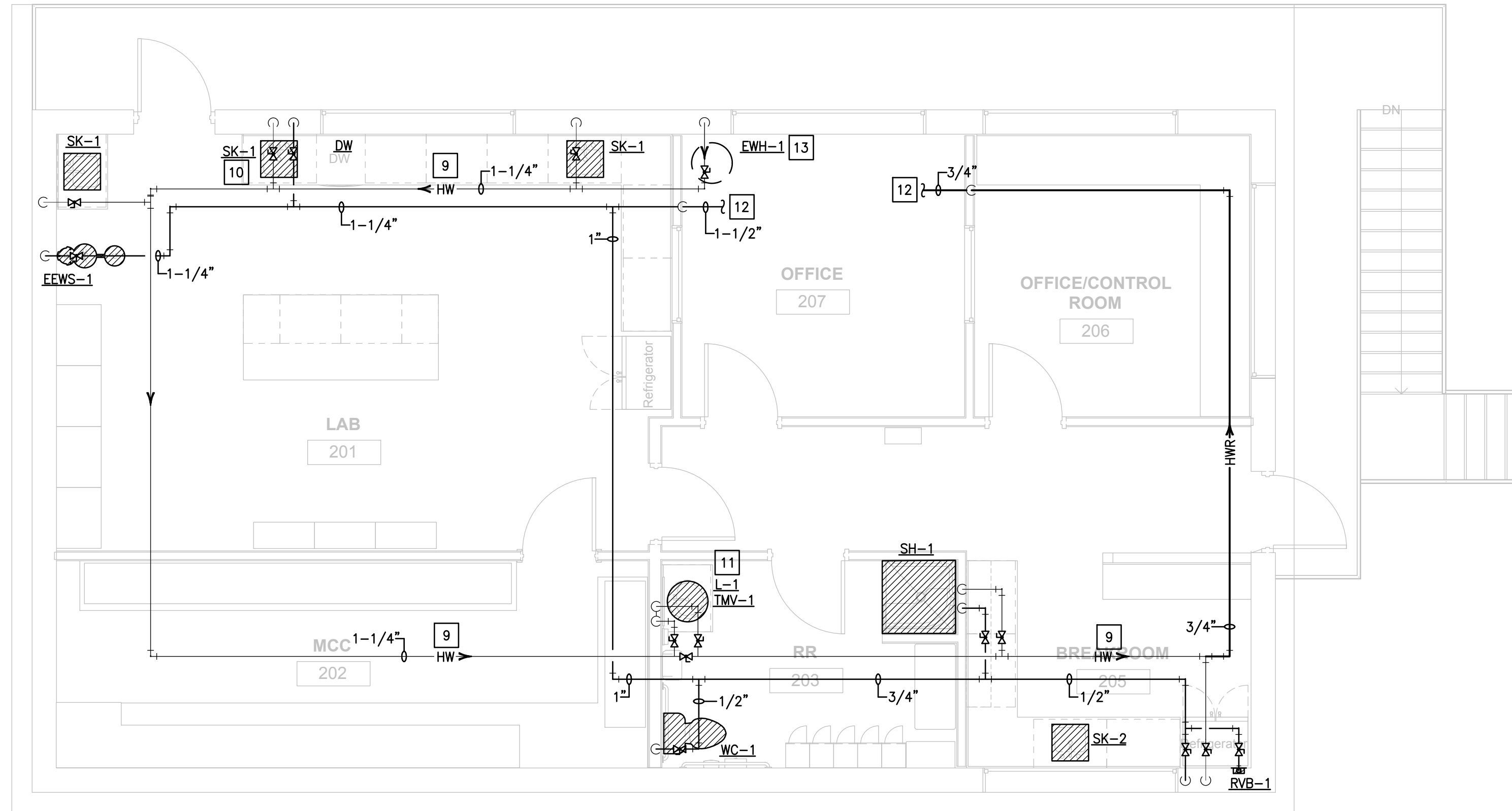
THE CONTRACTOR SHALL REPORT ALL DEFICIENCIES AND/OR CODE COMPLIANT ISSUES TO THE ENGINEER DURING THE DEMOLITION PHASE FOR DESIGN REVISIONS PRIOR TO THE START OF CONSTRUCTION.



1 PLUMBING LAYOUT - DEMOLITION
 SCALE: 1/4" = 1'-0"



1 PLUMBING LAYOUT - SANITARY WASTE AND VENT
SCALE: 1/4" = 1'-0"



2 PLUMBING LAYOUT - DOMESTIC WATER
SCALE: 1/4" = 1'-0"

PLUMBING GENERAL NOTES, RENOVATION

- COORDINATE CONNECTION OF BUILDING DOMESTIC WATER AND SANITARY WASTE UTILITIES WITH LOCAL UTILITY PROVIDERS AND PROVIDE CONNECTIONS IN ACCORDANCE WITH THEIR REQUIREMENTS. COORDINATE SIZE, TYPE, AND LOCATION OF DOMESTIC WATER METER ON SITE
- WITH LOCAL UTILITY PROVIDER. PROVIDE IN ACCORDANCE WITH THEIR REQUIREMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING FINISHED FLOOR ELEVATION.
- FIELD VERIFY EXACT LOCATION, SIZE, DEPTH, DIRECTION OF FLOW, CAPACITY,
- PIPE MATERIAL AND CONDITION OF SITE DOMESTIC WATER AND SANITARY WASTE PIPING PRIOR TO BEGINNING CONSTRUCTION TO ENSURE THAT PROPER CONNECTIONS TO AND EXTENSION OF SUCH UTILITIES CAN BE MADE. COORDINATE FINAL INVERT ELEVATIONS OF BUILDING SANITARY OUTFALLS AND
- SITE PIPING WITH SITE UTILITY CONTRACTOR PRIOR TO CONSTRUCTION AND MAKE ADJUSTMENTS AS REQUIRED TO ENSURE PROPER CONNECTIONS TO SITE UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, COORDINATE PLUMBING BACKFLOW
- PREVENTION REQUIREMENTS WITH THE LOCAL CODE AUTHORITY AND PROVIDE AS DIRECTED. CONTRACTOR SHALL COORDINATE ROUTING OF PIPING BELOW SLAB WITH
- COLUMN FOOTINGS, GRADE BEAMS, UNDERGROUND PLUMBING AND ELECTRICAL UTILITIES, AND OTHER SUB-SURFACE BUILDING ELEMENTS. CONTRACTOR SHALL COORDINATE ROUTING OF PIPING IN CEILING SPACES WITH
- MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTWORK AND CONDUIT. SHOULD A CONFLICT OCCUR THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO INSTALLING AN ALTERNATE PIPING PLAN. MAINTAIN MINIMUM 10'-0" DISTANCE BETWEEN VENT TERMINALS THROUGH ROOF
- AND ALL FRESH AIR INTAKES. COORDINATE ALL FIXTURE AND EQUIPMENT LOCATIONS AND CONNECTION
- REQUIREMENTS WITH LATEST ARCHITECTURAL DRAWINGS, SPECIFICATIONS, AND MANUFACTURER RECOMMENDATIONS PRIOR TO ANY ROUGH-INS. DO NOT ROUGH-IN FROM THESE DRAWINGS. REFER TO LATEST ARCHITECTURAL
- DRAWINGS FOR DIMENSIONED LOCATIONS. CONTRACTOR TO COORDINATE ALL WORK WITH THE WORK OF OTHER TRADES TO
- AVOID CONFLICTS AND TO MINIMIZE INTERRUPTION OF SERVICES. ALL WORK, METHODS AND INSTALLATIONS INVOLVED IN THE PLUMBING DESIGN
- SHALL BE IN ACCORDANCE WITH THE CITY BUILDING CODE AND INSPECTION REGULATIONS AND ALL OTHER OFFICIALS HAVING JURISDICTION. UPON COMPLETION OF WORK, THOROUGHLY ROD OUT AND FLUSH ALL SANITARY
- PIPING TO ENSURE IT IS FREE FROM BLOCKAGES. CONTRACTOR SHALL PROVIDE SINK TAIL PIECE(S) FOR HVAC CONDENSATE AS 15. REQUIRED BY MECHANICAL CONTRACTOR. COORDINATE REQUIREMENTS WITH MECHANICAL DRAWINGS AND MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.

PLUMBING KEYED NOTES, RENOVATION

- REPLACE EXISTING SANITARY WASTE AND VENT AS NEEDED TO ACCOMMODATE NEW SK-1 FIXTURE AND DISHWASHER INSTALLATION. EXTEND/MODIFY EXISTING SANITARY/VENT IN CHASE AS NEEDED FOR NEW INSTALLATION. RE-USE EXISTING V.T.R. MODIFY HOT AND COLD WATER AS REQUIRED TO SERVE NEW FIXTURE(S).
- NEW 2" SANITARY WASTE AND 2" VENT ROUGH-IN FOR NEW SK-1. EXTEND/MODIFY EXISTING SANITARY/VENT BELOW AND IN CHASE AS NEEDED FOR NEW INSTALLATION. CONNECT TO EXISTING BASE UTILITY LINES IN 1ST FLOOR CEILING ASSEMBLY. MODIFY EXISTING V.T.R. AS REQUIRED TO SERVE NEW FIXTURE(S).
- NEW 3" SANITARY WASTE AND 2" VENT ROUGH-IN FOR NEW 3FD-1 ADDED TO SERVE THE NEW FEWS-1. EXTEND/MODIFY EXISTING SANITARY/VENT BELOW AND IN CHASE AS NEEDED FOR NEW INSTALLATION. CONNECT TO EXISTING BASE UTILITY LINES IN 1ST FLOOR CEILING ASSEMBLY. MODIFY EXISTING V.T.R. AS REQUIRED TO SERVE NEW FIXTURE(S).
- REPLACE EXISTING SANITARY WASTE AND VENT AS NEEDED TO ACCOMMODATE NEW L-1 FIXTURE INSTALLATION. EXTEND/MODIFY EXISTING SANITARY/VENT IN CHASE AS NEEDED FOR NEW INSTALLATION. RE-USE EXISTING V.T.R. MODIFY HOT AND COLD WATER AS REQUIRED TO SERVE NEW FIXTURE(S).
- NEW 4" SANITARY WASTE AND 2" VENT ROUGH-IN FOR NEW WC-1 ADDED TO THE RESTROOM. EXTEND/MODIFY EXISTING SANITARY/VENT BELOW AND IN CHASE AS NEEDED FOR NEW INSTALLATION. CONNECT TO EXISTING BASE UTILITY LINES IN 1ST FLOOR CEILING ASSEMBLY. MODIFY EXISTING V.T.R. AS REQUIRED TO SERVE NEW FIXTURE(S).
- NEW 3" SANITARY WASTE AND 2" VENT ROUGH-IN FOR NEW 3FD-1 ADDED TO THE RESTROOM. EXTEND/MODIFY EXISTING SANITARY/VENT BELOW AND IN CHASE AS NEEDED FOR NEW INSTALLATION. CONNECT TO EXISTING BASE UTILITY LINES IN 1ST FLOOR CEILING ASSEMBLY. MODIFY EXISTING V.T.R. AS REQUIRED TO SERVE NEW FIXTURE(S).
- NEW 2" SANITARY WASTE AND 2" VENT ROUGH-IN FOR NEW SK-2 ADDED TO THE BREAKROOM. EXTEND/MODIFY EXISTING SANITARY/VENT BELOW AND IN CHASE AS NEEDED FOR NEW INSTALLATION. CONNECT TO EXISTING BASE UTILITY LINES IN 1ST FLOOR CEILING ASSEMBLY. MODIFY EXISTING V.T.R. AS REQUIRED TO SERVE NEW FIXTURE(S).
- PROVIDE LOOP VENTING TO SINK, REFER TO 8/P-201.
- HOT WATER CIRCULATION LOOP IS ROUTED IN THE 1ST FLOOR CEILING ASSEMBLY. SHOWN FOR CLARITY.
- NEW 1/2" HOT AND COLD ROUGH-IN FOR NEW SK-1. EXTEND/MODIFY EXISTING WATER LINES BELOW AND IN CHASE AS NEEDED FOR NEW INSTALLATION. CONNECT TO EXISTING BASE UTILITY LINES IN 1ST FLOOR CEILING ASSEMBLY.
- HOT WATER DROP FOR SERVICE TO LAV(S), RUN RECIRCULATING LINE WITHIN 2 FEET OF HW ROUGH-IN FOR 2015 IECC COMPLIANCE. SIZE AS NOTED. REFER TO 4/P-201.
- CONNECT TO EXISTING BASE UTILITY LINES, SIZE AS NOTED; MODIFY AS NECESSARY AND FIELD VERIFY FOR EXACT LOCATION.
- NEW ELECTRIC WATER HEATER LOCATION ON 1ST FLOOR. REFER TO 5/P-201.

NOTE FOR CONTRACTORS:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BID, PURCHASE, AND/OR INSTALLATION AND SHALL INCLUDE ANY ADDITIONAL COST ASSOCIATED WITH PROVIDING A COMPLETE PLUMBING SYSTEM.

THE CONTRACTOR SHALL REPORT ALL DEFICIENCIES AND/OR CODE COMPLIANT ISSUES TO THE ENGINEER DURING THE DEMOLITION PHASE FOR DESIGN REVISIONS PRIOR TO THE START OF CONSTRUCTION.

Project Title:	OYSTER CREEK WWTP 474 COUNTY RD 609 ANGLETON, TX 77515
Drawn By:	MBG
Checked By:	MBG
Scale:	As indicated
Date:	12/29/2021

Project Title: OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

Project No. 0109.21005

Sheet No. P102

of

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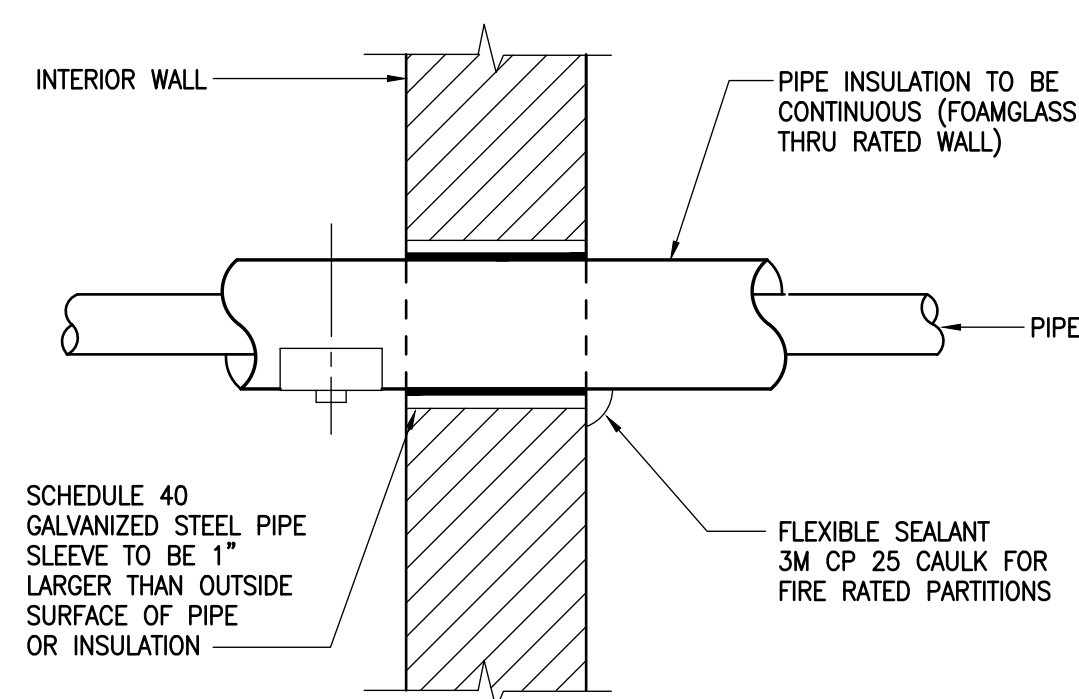
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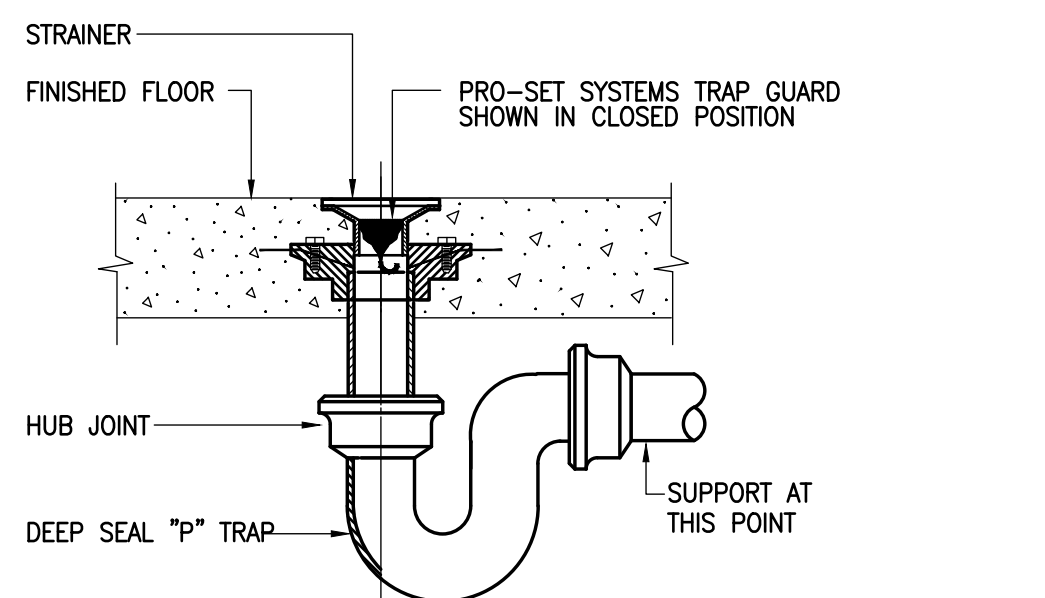
Project No. 0109.21005

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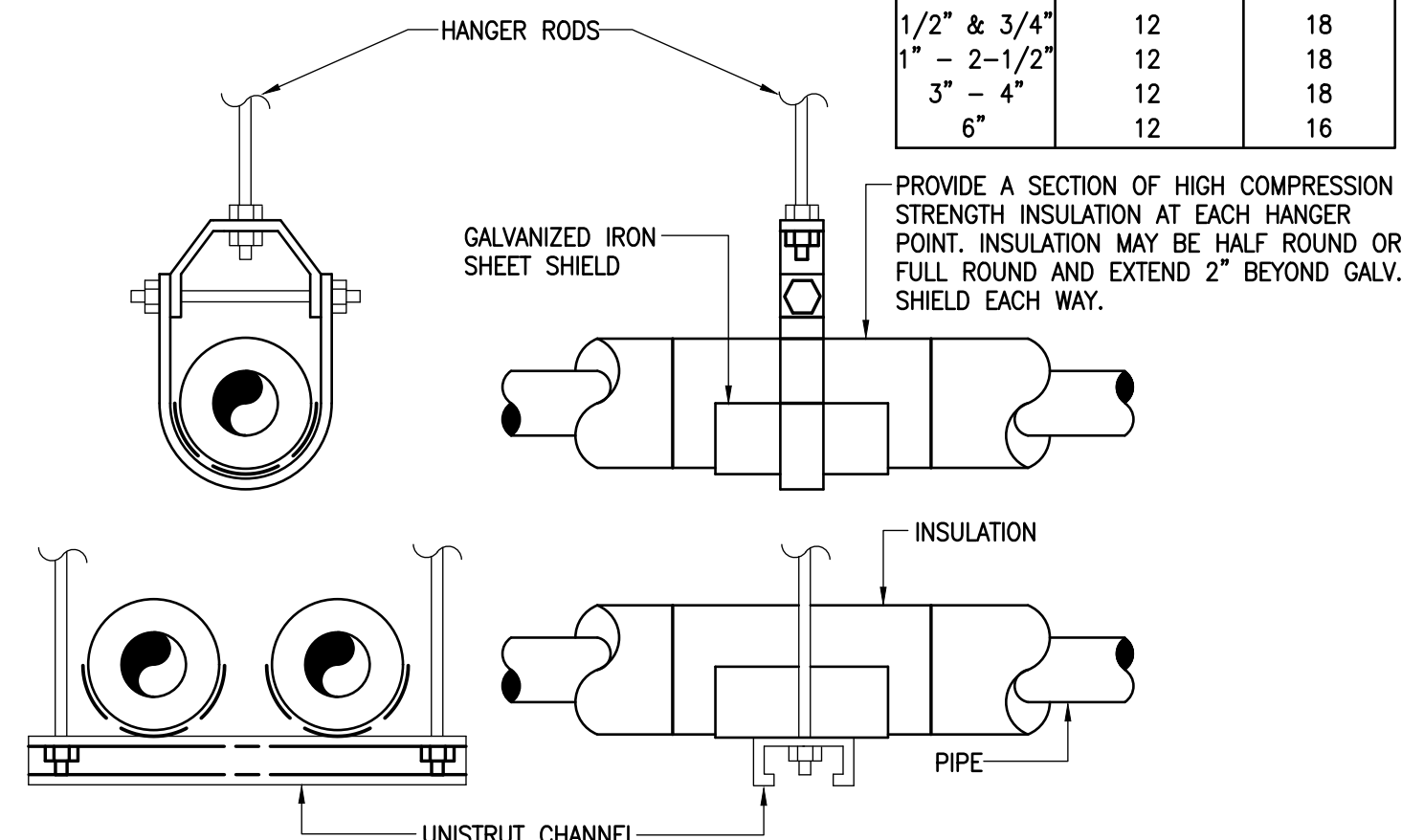
1 INTERIOR WALL PENETRATION
SCALE: NONE



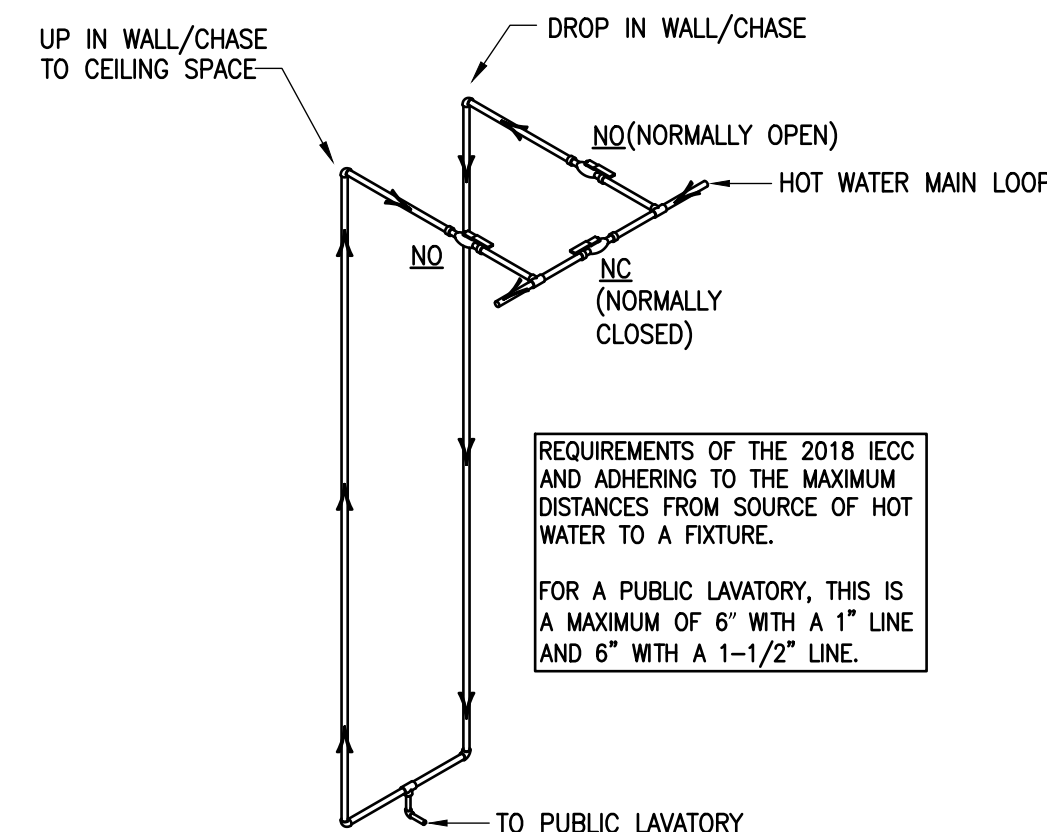
- NOTES:**
- TRAP GUARD SHALL BE FACTORY FITTED TO MATCH EACH FLOOR DRAIN (AND FLOOR SINK) BY SIZE, MODEL, AND MANUFACTURER.
 - FLOOR SINK/HUB DRAIN TRAP GUARD INSTALLATION IS SIMILAR.
 - INSTALLATION OF TRAP GUARD TO BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - INSERT TRAP GUARD ONLY AFTER FINAL RODDING OF DRAINS. INSTALL TRAP GUARD WITH CLEAR SILICONE CAULK FOR GAS TITE SEAL. FOR DRAIN RODDING AFTER INSTALLATION, INSERT SEWER TAPE THROUGH LIGHTLY GREASED 1-1/2" PVC PIPE TO PROTECT TRAP GUARD.

2 FLOOR DRAIN/SINK WITH TRAP SEAL PROTECTION
SCALE: NONE

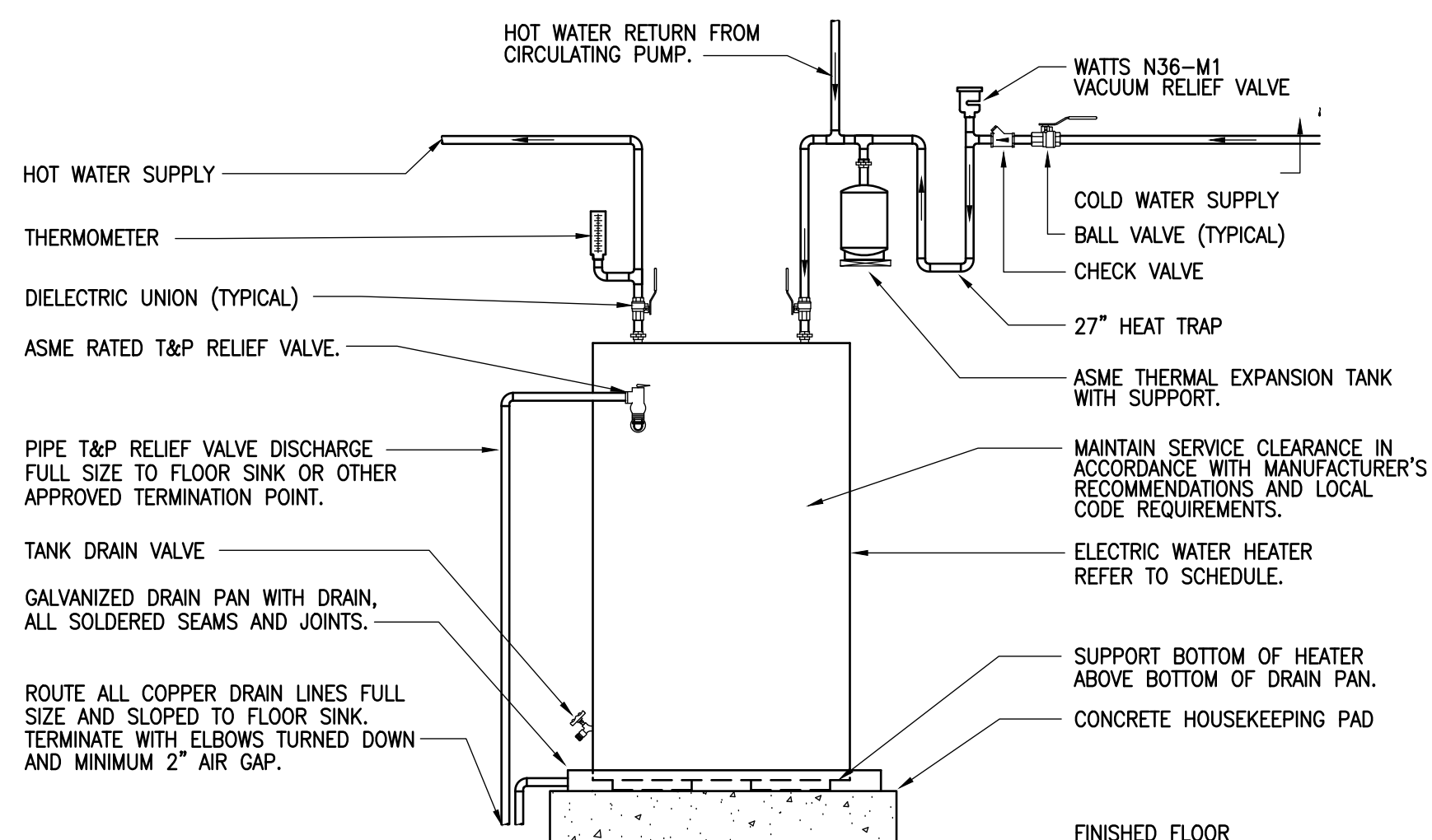
MINIMUM DIMENSIONS OF GALVANIZED SHEETMETAL PROTECTION SHIELDS AT PIPE HANGERS		
NOMINAL SIZE PIPE	SHIELD LENGTH MIN. (IN.)	GAUGE THICKNESS
1/2" & 3/4"	12	18
1" - 2-1/2"	12	18
3" - 4"	12	18
6"	12	16



3 HANGER FOR WATER PIPING
SCALE: NONE

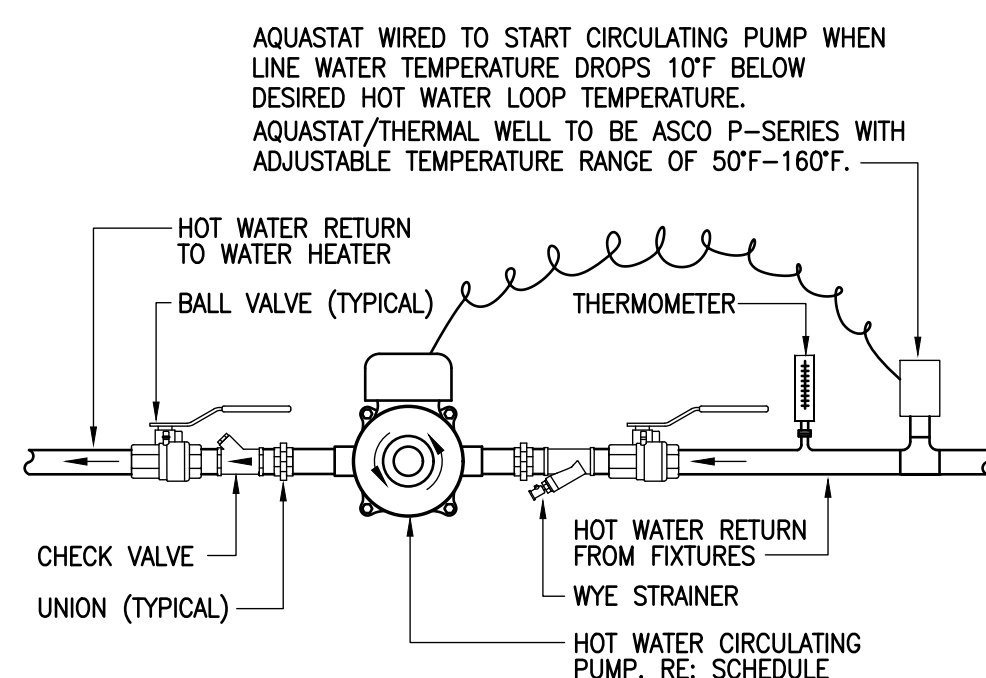


4 HOT WATER LOOP DETAIL
SCALE: NONE



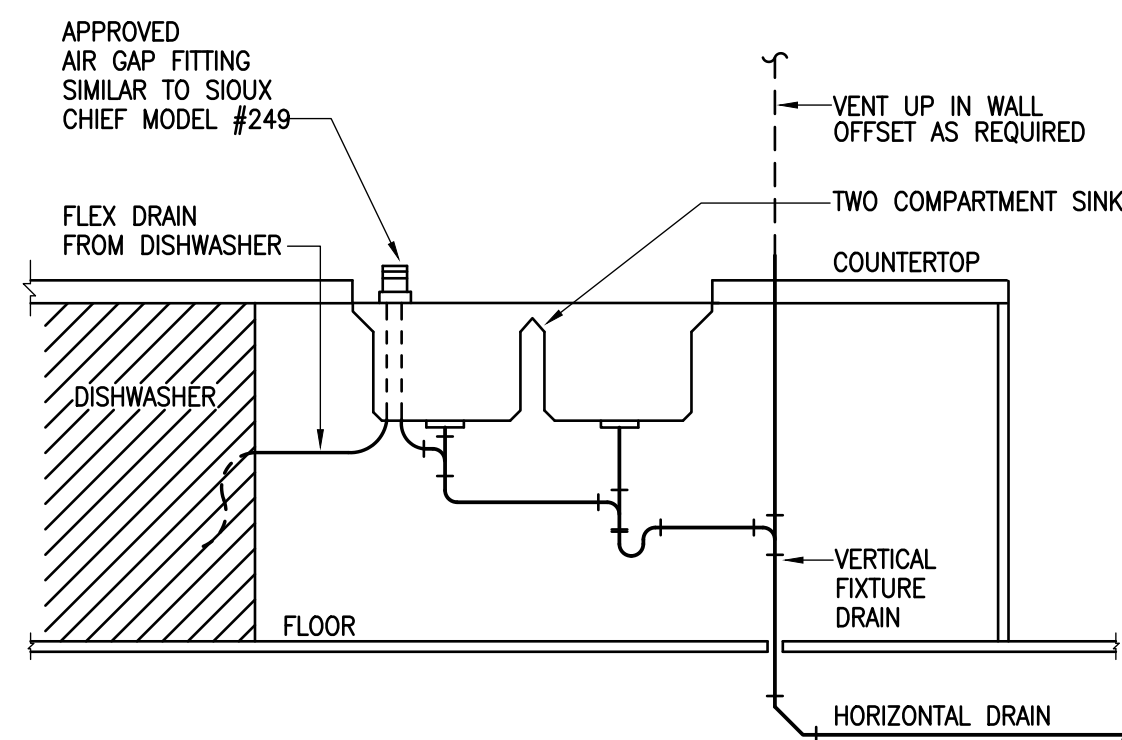
NOTE: PROVIDE 1" FIBERGLASS PIPE INSULATION HAVING A CONDUCTIVITY NOT EXCEEDING 0.28 BTU PER INCH/HR x S.F. x °F ON ALL DOMESTIC WATER PIPING.
NOTE: INSTALL CIRCULATION PUMP IN ACCESSIBLE LOCATION.

5 ELECTRIC WATER HEATER PIPING
SCALE: NONE



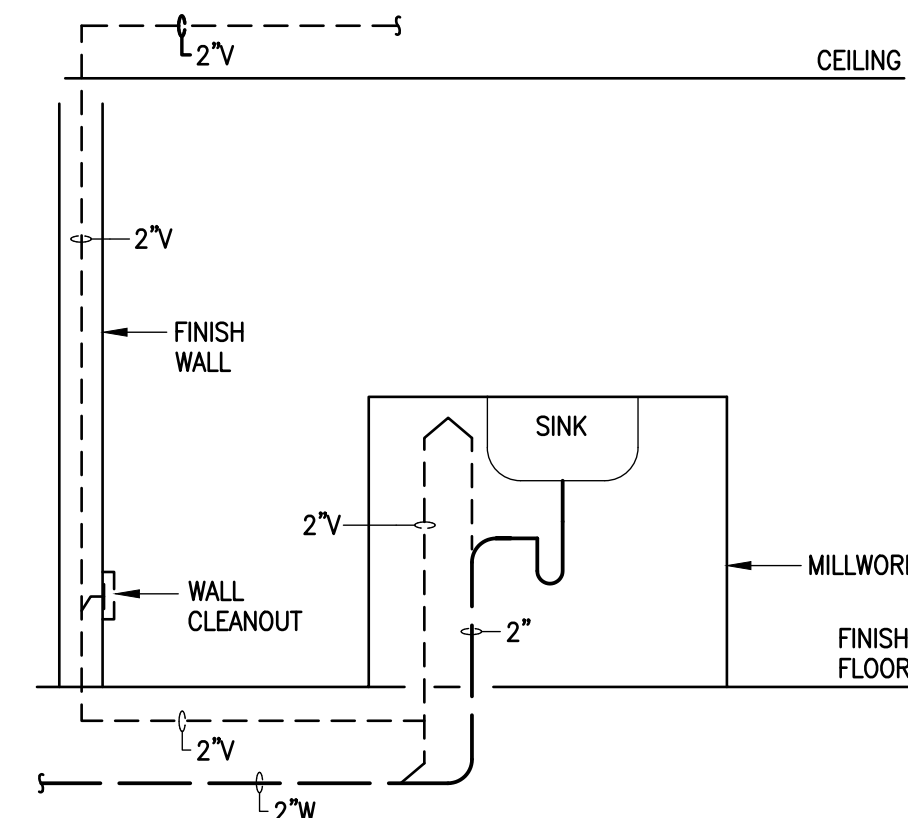
- NOTES:**
- MOUNT PUMP IN AN ACCESSIBLE LOCATION.
 - PUMP SHALL RUN ONLY DURING OCCUPIED HOURS. PLUMBING CONTRACTOR SHALL PROVIDE TIME-CLOCK FOR INSTALLATION BY ELECTRICAL CONTRACTOR.
 - PROVIDE AQUASTAT ON HOT WATER RETURN LINE, WIRED TO START CIRCULATING PUMP WHEN LINE WATER TEMPERATURE DROPS 10°F BELOW DESIRED HOT WATER LOOP TEMPERATURE.

6 HOT WATER CIRCULATING PUMP
SCALE: NONE

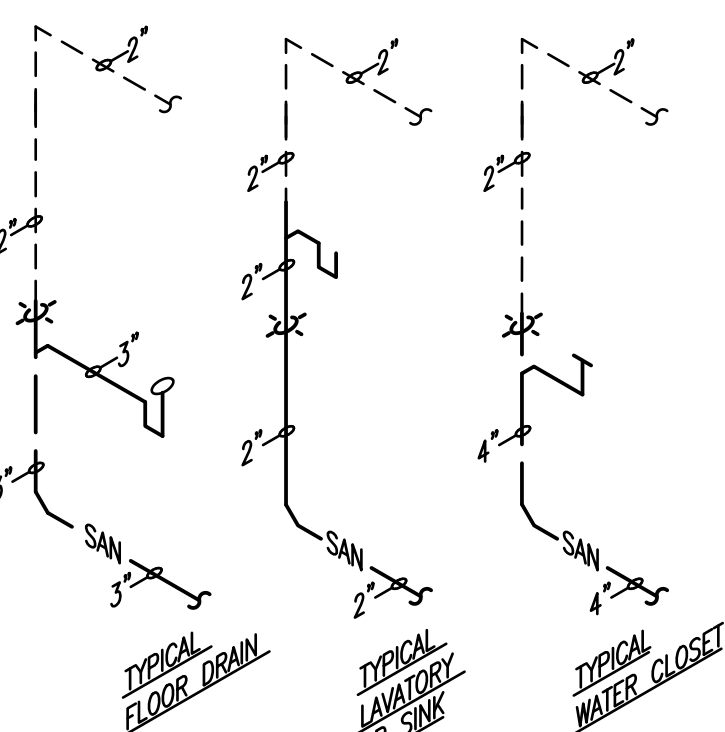


- NOTES:**
- MAINTAIN ALL REQUIRED T.A.S. CLEARANCES.
 - PROVIDE 3/4" BRANCH WYE TAILPIECE FOR DISHWASHER WASTE. IS SPECIFIED AT THE SINK. REFER TO PLANS AND PLUMBING FIXTURE SPECIFICATION.
 - SINGLE COMPARTMENT SINK INSTALLATION IS SIMILAR.

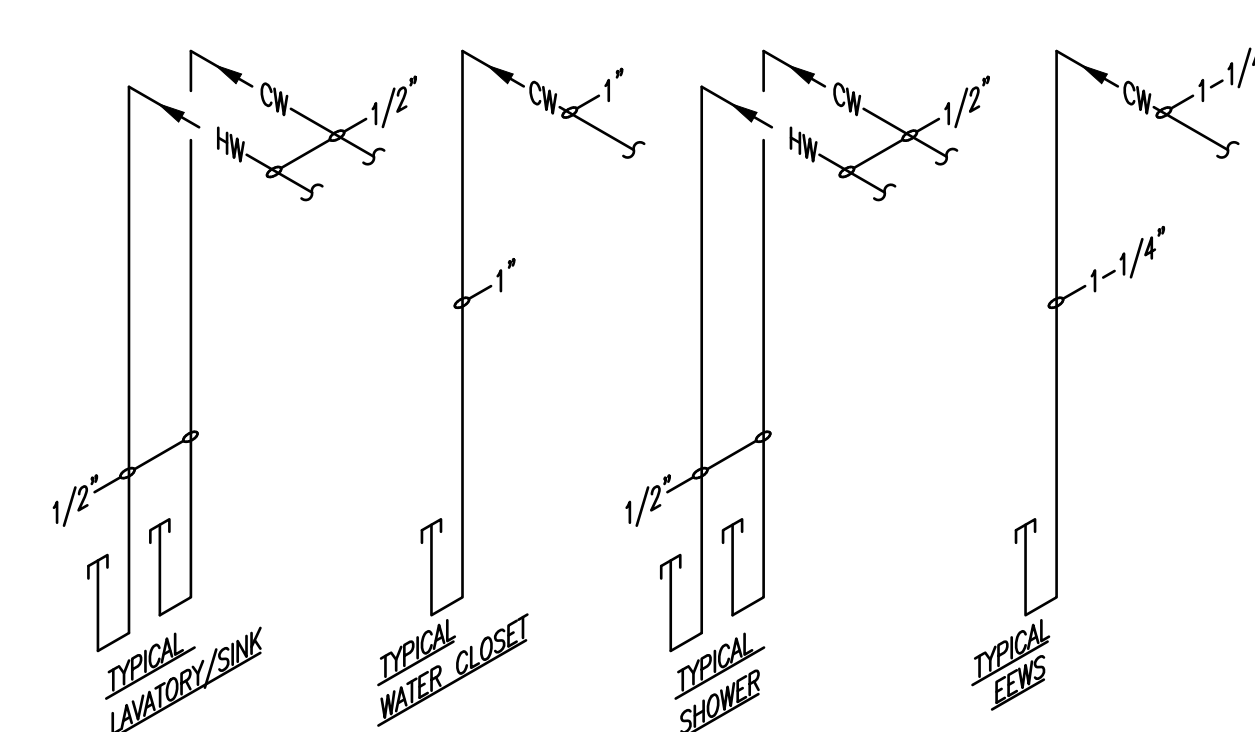
7 DISHWASHER CONNECTION
SCALE: NONE



8 LOOP VENTING DETAIL
SCALE: NONE



9 TYPICAL WASTE AND VENT RISERS
SCALE: NONE



10 TYPICAL DOMESTIC WATER RISERS
SCALE: NONE

OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

PLUMBING DETAILS

Project Title:

Drawn By: HIB

Checked By: MP

Scale: As indicated

Date: 12/29/2021



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Sheet No.

P201

Project No.
0109.21005

PLUMBING LEGEND

SYMBOL	DESCRIPTION
	SANITARY OR WASTE PIPING ABOVE GRADE (SAN)
	SANITARY OR WASTE PIPING BELOW GRADE (SAN)
	VENT PIPING ABOVE OR BELOW GRADE (V)
	COLD WATER PIPING (CW)
	FIRE PROTECTION WATER PIPING (FIRE)
	HOT WATER PIPING (HW)
	HOT WATER RETURN PIPING (HWR)
	NATURAL GAS PIPING (G)
	GAS VENT PIPING (GV)
	SHUT-OFF VALVE
	BALL VALVE (BV)
	GAS PLUG VALVE (GPV)
	HORIZONTAL SWING CHECK
	UNION
	Y-STRAINER
	REDUCER OR INCREASER
	ECCENTRIC REDUCER
	REDUCED PRESSURE BACKFLOW PREVENTER (RPZ)
	PIPING DOWN
	RISE OR DROP PIPING
	PIPING UP -OR- PIPING UP & DOWN
	CLEANOUT (WALL OR CEILING) (CO)
	FLOOR CLEANOUT (FCO)
	EXTERIOR CLEANOUT WITH 18"x18"x4" CONCRETE PAD (ECO)
	TWO-WAY CLEANOUT (PROVIDE 18"x24"x4" CONCRETE PAD OUTSIDE)
	PRESSURE REDUCING VALVE (PRV)
	BRANCH CONNECTION OUT OF TOP
	BRANCH CONNECTION OUT OF BOTTOM
	BRANCH CONNECTION OUT OF SIDE
	WYE & 1/8TH BEND BRANCH CONNECTION
	WYE BRANCH CONNECTION
	HOSE BIBB
	PRESSURE GAUGE WITH COCK
	THERMOMETER
	GAS PRESSURE REGULATOR
	TEST COCK
	GAS METER
	WALL HYDRANT
	VENT THROUGH ROOF
	REFER TO KEYED NOTE
	FLOOR SINK (FS)
	FLOOR DRAIN (FD)
	HUB DRAIN (HD)
	ACCESS PANEL FOR TRAP PRIMER
	ACCESS PANEL LOCATION SYMBOL
	CONNECT NEW TO EXISTING
	DELTA CHANGE SYMBOL
	RISER FLAG

NOTE: NOT ALL SYMBOLS MAY APPLY TO THIS PROJECT.

PLUMBING SCOPE & SPECIFICATION

THE WORK OF THIS SECTION SHALL INCLUDE, BUT NOT BE LIMITED TO:

- DOMESTIC HOT AND COLD WATER DISTRIBUTION SYSTEM TO SERVE ALL FIXTURES, AND EQUIPMENT.
- SANITARY/GREASE WASTE AND VENT SYSTEM TO SERVE ALL FIXTURES AND EQUIPMENT.
- NOT USED.

DRAWINGS ARE DIAGRAMMATIC; CONFIRM DIMENSIONS AND LOCATIONS IN THE FIELD, ADVISE OF MAJOR DISCREPANCIES. GUARANTEE LABOR AND MATERIALS FOR ONE YEAR. ADHERE TO ALL APPLICABLE LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND PAY ALL FEES.

VALVES

VALVES SHALL BE MANUFACTURED BY NIBCO, HAMMOND, POWELL, STOCKHAM, WATTS OR EQUIVALENT APPROVED BY THE ENGINEER. BALL VALVES SHALL HAVE CAST BRONZE BODY, BLOWOUT PROOF STEMS, FULL SIZE PORT, 316 STAINLESS STEEL TRIM, TEFLON SEAT AND SEAL AND THRUST WASHERS. VALVES 2" AND SMALLER SHALL BE NIBCO T-585-70-66 OR APPROVED EQUIVALENT.

UNIONS

UNIONS IN COPPER OR BRASS LINES SHALL BE BRASS, THREADED PATTERN UNIONS.

EXCAVATION

EXCAVATE TRENCHES FOR UNDERGROUND PIPING TO THE REQUIRED DEPTH. CUT THE BOTTOM OF THE TRENCH OR EXCAVATION TO UNIFORM GRADE. EXCAVATE 6" BELOW GRADE, FILL WITH BEDDING MATERIAL (SAND) AND TAMP WELL. LAY OUT ALIGNMENT OF PIPE TRENCHES TO AVOID OBSTRUCTIONS. PROVIDE ASSURANCE THAT PROPOSED ROUTE OF PIPE WILL NOT INTERFERE WITH BUILDING FOUNDATION BEFORE ANY CUTTING IS BEGUN. SHOULD INTERFERENCE BE FOUND, CONTACT THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

BACKFILL

BACKFILL SHALL NOT BE PLACED UNTIL THE WORK HAS BEEN INSPECTED, TESTED AND APPROVED. USE SUITABLE FRABLE SOIL AS BACKFILL MATERIAL. DO NOT USE PEAT, SILT, MUCK, DEBRIS OR OTHER ORGANIC MATERIALS. DEPOSIT BACKFILL IN UNIFORM LAYERS. PLACE BACKFILL MATERIAL IN UNIFORM LAYERS, 8" MAXIMUM LOOSE MEASURE. COMPACT TO NOT LESS THAN 95% OF MAXIMUM SOIL DENSITY AS DETERMINED BY ASTM D698 STANDARD PROCTOR.

PLUMBING PIPING HANGER SPACING

MAXIMUM SPACING SHALL BE 10 FOOT.

CLEANING, TESTING AND ADJUSTING

THIS CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS, INSTRUCTIONS, AND SUPERVISION REQUIRED FOR THE PERFORMANCE OF ALL TESTS, CLEANING, AND MAKING NECESSARY ADJUSTMENTS TO OPERATION OF ALL FIXTURES AND EQUIPMENT.

PIPING INSULATION

ALL COLD & HOT WATER PIPING, FITTINGS AND VALVES SHALL BE INSULATED WITH NOMINAL 1" WALL THICKNESS FIBERGLASS PIPE INSULATION, OR AN APPROVED EQUAL HAVING FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DENSITY OF 50 OR LESS WHEN TESTED BY ASTM E-84 METHOD.

PIPE INSULATION SHALL BE INSTALLED ACCORDING TO THE PROCEDURES OUTLINED BY THE MANUFACTURER.

FITTING COVER INSULATION SHALL BE FABRICATED AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDED PROCEDURES. SWEAT FITTINGS SHALL BE INSULATED WITH MITER CUT PIECES OF FIBERGLASS PIPE INSULATION THE SAME SIZE AS ON ADJACENT PIPING. THREADED FITTINGS SHALL BE INSULATED WITH SLEEVED FITTING COVERS FABRICATED FROM MITER CUT PIECES OF FIBERGLASS PIPE INSULATION ACCORDING TO THE MANUFACTURER'S SLEEVING SIZE RECOMMENDATIONS AND SHALL BE OVERLAPPED 2" AND SEALED TO THE ADJACENT PIPE INSULATION. ALL VALVES SHALL BE INSULATED WITH CUT PIECES OF FIBERGLASS PIPE INSULATIONS. ALL JOINTS AND MITER CUT PIECES ARE TO BE SEALED PER MANUFACTURER'S RECOMMENDATIONS.

SUPPORTING HANGERS SHALL BE DESIGNED TO RESIST COMPRESSION; SUPPORTING DEVICES SUCH AS SHORT WOOD DOWELS OR WOOD BLOCKS SHALL BE USED IN COMBINATION WITH GALVANIZED SHEET METAL HANGER SHIELDS. THE WOOD SUPPORTING DEVICES SHALL BE THE SAME THICKNESS AS THE INSULATION AND SEALED TO THE INSULATION WITH FACTORY APPROVED CONTACT ADHESIVE.

INSTALL THERMAL INSULATION ON CLEAN, DRY SURFACES AFTER ALL TESTING AND INSPECTION IS COMPLETED. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THESE SPECIFICATIONS AND WITH MANUFACTURER'S INSTRUCTIONS.

PIPE MATERIAL LIST

DOMESTIC WATER PIPING

ABOVE SLAB INSIDE THE BUILDING SHALL BE SEAMLESS ASTM B 88 TYPE L COPPER WATER TUBE WITH WROUGHT COPPER FITTINGS, ANSI B16.22. SOLDER MATERIAL SHALL BE 99.8% LEAD FREE AND COMPLIANT WITH THE "SAFE WATER DRINKING ACT". THE USE OF DRILLED-T CONNECTIONS IS NOT PERMITTED. PEX TUBING CONFORMING TO ALL STANDARD APPLICABLE CODE REQUIREMENTS FOR COMMERCIAL APPLICATIONS IS APPROVED AS ALTERNATE TO COPPER.

BELOW SLAB SHALL BE ASTM B 88 TYPE K COPPER WATER TUBE WITH WROUGHT COPPER FITTINGS, ANSI B16.22. ALL JOINTS SHALL BE BRAZED.

CONDENSATE AND INDIRECT DRAIN PIPING SHALL BE

TYPE M COPPER TUBING UP TO 1" ID, TYPE DWV TUBING AND COPPER FITTINGS FOR 1-1/4" AND LARGER SIZES, AND 95-5 SOLDER JOINTS. SCHEDULE 40 DWV POLYVINYL CHLORIDE PIPE AND FITTINGS CONFORMING TO ASTM D-1784-82 WITH SOLVENT WELDED JOINTS AND PEX TUBING CONFORMING TO ALL STANDARD APPLICABLE CODE REQUIREMENTS FOR COMMERCIAL APPLICATIONS IS APPROVED AS ALTERNATE IN NON-PLENUM AN/OR FIRE RATED AREAS.

SANITARY SOIL WASTE AND VENT PIPING SHALL BE

ABOVE SLAB INSIDE BUILDING SHALL BE SCHEDULE 40 DWV POLYVINYL CHLORIDE PIPE AND FITTINGS CONFORMING TO ASTM D-1784-82 WITH SOLVENT WELDED JOINTS. IN AIR SUPPLY OR RETURN PLENUMS, AND/OR WHERE FIRE RATED WALLS, PARTITIONS, OR FLOORS ARE PENETRATED, CONTRACTOR SHALL PROVIDE NO-HUB CAST IRON SYSTEM CONFORMING TO CISPI STANDARD NO. 301-75. NEOPRENE GASKETS SHALL CONFORM TO ASTM STANDARD C564-75.

BELOW SLAB SHALL BE SCHEDULE 40 DWV POLYVINYL CHLORIDE PIPE AND FITTINGS CONFORMING TO ASTM D-1784-82 WITH SOLVENT WELDED JOINTS.

ELECTRIC WATER HEATER

ITEM NO.	TOTAL KW INPUT	GALS. PER HR. RECOVERY RATE 80°F RISE	STORAGE CAPACITY (GALLONS)	ELECTRICAL REQUIRED	STORED WATER TEMP	MANUFACTURER/ MODEL
EWH-1	4	20.0	50.0	208V, 1Ø	140°	AO SMITH DURA-POWER DEN-52

NOTES:

- PROVIDE HOT WATER EXPANSION TANK DOWNSTREAM OF CHECK VALVE ON COLD WATER SUPPLY. THERM-X-TROL ST-5.
- PROVIDE WATER HEATER DRAIN PAN.
- CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODE REQUIREMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

HOT WATER CIRCULATION PUMP

ITEM NO.	PUMP TYPE	FLOW RATE (GPM)	HEAD (FT)	ELECTRICAL REQUIRED	MOTOR (HP)	MANUFACTURER / MODEL
CP-1	IN-LINE	1.0	25.0	120V, 1Ø	1/8	TACO / 009-SF5-IFC

NOTES:

- PUMP SHALL BE LEAD-FREE AND COMPLIANT WITH THE "SAFE DRINKING WATER ACT".
- MOUNT PUMP IN AN ACCESSIBLE LOCATION.
- PUMP SHALL RUN ONLY DURING OCCUPIED HOURS. PLUMBING CONTRACTOR SHALL PROVIDE TIME-CLOCK FOR INSTALLATION BY ELECTRICAL CONTRACTOR.
- PROVIDE AQUASTAT ON HOT WATER RETURN LINE, WIRED TO START CIRCULATING PUMP WHEN LINE WATER TEMPERATURE DROPS 10°F BELOW DESIRED HOT WATER LOOP TEMPERATURE.

THERMOSTATIC MIXING VALVES

ITEM NO.	INLET HOT WATER TEMP (°F)	OUTLET MIXED WATER TEMP (°F)	MINIMUM FLOW (GPM)	DESIGN FLOW (GPM)	PRESSURE DROP @ DESIGN FLOW (PSI)	VALVE FINISH	MANUFACTURER / MODEL NO.
TMV-1	140°	110°	0.5	0.5-2.5	5.0	ROUGH BRONZE	WATTS USG-B-M1

NOTES:

- MAKE WATER CONNECTIONS TO THERMOSTATIC MIXING VALVE(S) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE PIPE INCREASERS AND/OR VALVES AS REQUIRED.

SHOCK ARRESTORS

P.D.I. SYMBOL	FIXTURE UNITS	CHAMBER LENGTH	SWEAT CONNECTION
A	1-11	9-5/8"	1/2"
B	12-32	11-3/4"	3/4"
C	33-60	14-11/18"	1"
D	61-113	12-3/8"	1"
E	114-154	15-3/8"	1"
F	155-330	17-3/8"	1"

PLUMBING FIXTURE SCHEDULE

PLAN MARK	WASTE /TRAP	VENT	CW	HW	DESCRIPTION
WC-1 	4"	2"	1/2"	--	WATER CLOSET: AMERICAN STANDARD: CADET 3 RIGHT HEIGHT 3378.128ST.020 (T.A.S. COMPLIANT). FLOOR MOUNTED, WHITE VITREOUS CHINA, ELONGATED BOWL, 16-1/2" HIGH, FULLY GLAZED 2-1/8" TRAPWAY, 1.28-GPF, 12" ROUGH-IN. TOILET SEAT: AMERICAN STANDARD OPEN FRONT, LESS COVER, HIGH IMPACT SOLID PLASTIC, SELF SUSTAINING CHECK HINGES.
L-1	2"	2"	1/2"	1/2"	UNDERCOUNTER LAVATORY: AMERICAN STANDARD: OVALYN 9482.000.020 (T.A.S. COMPLIANT). WHITE VITREOUS CHINA, 16-3/4" OVAL, REAR OVERFLOW. ELECTRIC SENSOR FAUCET: DELTA 590LF-LGHGMHDF 0.5 GPM AERATOR. ROUGH-INS, FAUCET INSTALLATION, AND FINAL CONNECTIONS BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR TO PROVIDE STRAINER, ESCUTCHEONS AT WALL, SUPPLIES AND STOPS, ETC. AS REQUIRED IN ORDER TO PROPERLY INSTALL FIXTURE.
SK-1	2"	2"	1/2"	1/2"	UNDERCOUNTER MTD SINK: FISHER SCIENTIFIC FISHERBRAND 16WX18LX10.5D STAINLESS STEEL ELECTRIC SENSOR FAUCET: ZURN Z6920-XL. ROUGH-INS, FAUCET INSTALLATION, AND FINAL CONNECTIONS BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR TO PROVIDE STRAINER, ESCUTCHEONS AT WALL, SUPPLIES AND STOPS, ETC. AS REQUIRED IN ORDER TO PROPERLY INSTALL FIXTURE.
SK-2	2"	2"	1/2"	1/2"	UNDERCOUNTER MTD SINGLE COMPARTMENT SINK: KRAUS STANDART PRO 23" FAUCET: DELTA THEODORA SINGLE HANDLE PULL DOWN KITCHEN FAUCET. ROUGH-INS, FAUCET INSTALLATION, AND FINAL CONNECTIONS BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR TO PROVIDE STRAINER, ESCUTCHEONS AT WALL, SUPPLIES AND STOPS, ETC. AS REQUIRED IN ORDER TO PROPERLY INSTALL FIXTURE.
SK-3	2"	2"	1/2"	1/2"	UNDERCOUNTER MTD HAND SINK: FISHER SCIENTIFIC FISHERBRAND 16WX18LX10.5D STAINLESS STEEL FAUCET: DELTA THEODORA SINGLE HANDLE PULL DOWN KITCHEN FAUCET. ROUGH-INS, FAUCET INSTALLATION, AND FINAL CONNECTIONS BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR TO PROVIDE STRAINER, ESCUTCHEONS AT WALL, SUPPLIES AND STOPS, ETC. AS REQUIRED IN ORDER TO PROPERLY INSTALL FIXTURE.
SH-1	2"	2"	1/2"	1/2"	SHOWER ENCLOSURE: SELECTED BY ARCHITECT/OWNER. CONTROLS: DELTA 142910-SS. ROUGH-INS, INSTALLATION, AND FINAL CONNECTIONS BY PLUMBING CONTRACTOR. PLUMBING CONTRACTOR TO PROVIDE ALL NECESSARY SUPPLIES REQUIRED TO PROPERLY INSTALL FIXTURE. COORDINATE INSTALLATION AND ORIENTATION WITH ARCHITECTURAL DRAWINGS.
EEWS-1	2"	2"	1-1/4"	--	EMERGENCY EYE WASH/SHOWER: GUARDIAN GBF1994 STAINLESS STEEL BARRIER FREE COMBINATION EYE/FACE WASH AND SHOWER SAFETY STATION.
FD-1	3"	2"	--	--	FLOOR DRAIN: MI-FAB F1000. BOTTOM OUTLET CAST IRON BODY, ADJUSTABLE 6" DIAMETER NICKEL BRONZE STRAINER WITH VANDAL PROOF SCREWS. PROVIDE PRO-SET SYSTEMS, INC. TRAP GUARD FACTORY FITTED TO MATCH EACH FLOOR DRAIN BY SIZE, MODEL, AND MANUFACTURER.
RVB-1	--	--	1/2"	--	REFRIGERATOR VALVE BOX: GUY GRAY BIM-875. REFRIGERATOR VALVE BOX, 10-3/4" X 9", 16 GAUGE STEEL W/EPOXY FINISH, 5/8" O.D. SWEAT CONNECTION.
AF-1	--	--	--	1/2"	DOMESTIC HOT WATER CIRCULATION AUTOMATIC FLOW CONTROL DEVICE: GRISWOLD CONTROLS: 3K02L. LEAD-FREE AUTOMATIC FLOW CONTROL DEVICE COMPLIANT WITH THE "SAFE DRINKING WATER ACT". FLOWRATE = 1.0 GPM.
WCO	REFER TO PLANS	--	--	--	WALL CLEANOUT: MIFAB C1440-RD6. CAST IRON CLEANOUT FERRULE WITH BRONZE RAISED HEAD PLUG AND ROUND STAINLESS STEEL COVER PLATE WITH CENTER SECURING SCREW.
FCO	REFER TO PLANS	--	--	--	FLOOR CLEANOUT: MIFAB C1100-R-1. FOR CARPETED FLOORS PROVIDE MIFAB C1100-RC. CAST IRON BODY WITH SECONDARY O-RING TEST SEAL AND ADJUSTABLE COMBINED ACCESS COVER/ PLUG TOP ASSEMBLY WITH PRIMARY GASKET SEAL, AND ROUND SCORATED NICKEL BRONZE COVER.
ECO	REFER TO PLANS	--	--	--	EXTERIOR CLEANOUT: MIFAB C1100-XR-4. EXTERIOR CLEANOUT TO GRADE, CAST IRON BODY WITH SECONDARY SECONDARY O-RING TEST SEAL AND ADJUSTABLE COMBINED ACCESS COVER/PLUG TOP ASSEMBLY WITH PRIMARY GASKET SEAL, AND ROUND SCORATED VANDAL RESISTANT DUCTILE IRON TRACTOR TYPE COVER. IF LOCATED IN ASPHALT OR DIRT PROVIDE 18" X 18" X 4" CONCRETE PAD FOR SINGLE CLEANOUT AND 24" X 18" X 4" CONCRETE PAD FOR DOUBLE CLEANOUT.

NOTE:

- CONTRACTOR SHALL VERIFY ALL PLUMBING FIXTURES SELECTIONS WITH OWNER/ARCHITECT PRIOR TO PURCHASE AND INSTALLATION.

OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TX 77515

Project Title:

Drawn By: [Signature]

Checked By: [Signature]

Scale: As indicated

Date: 12/29/2021



12.29.21

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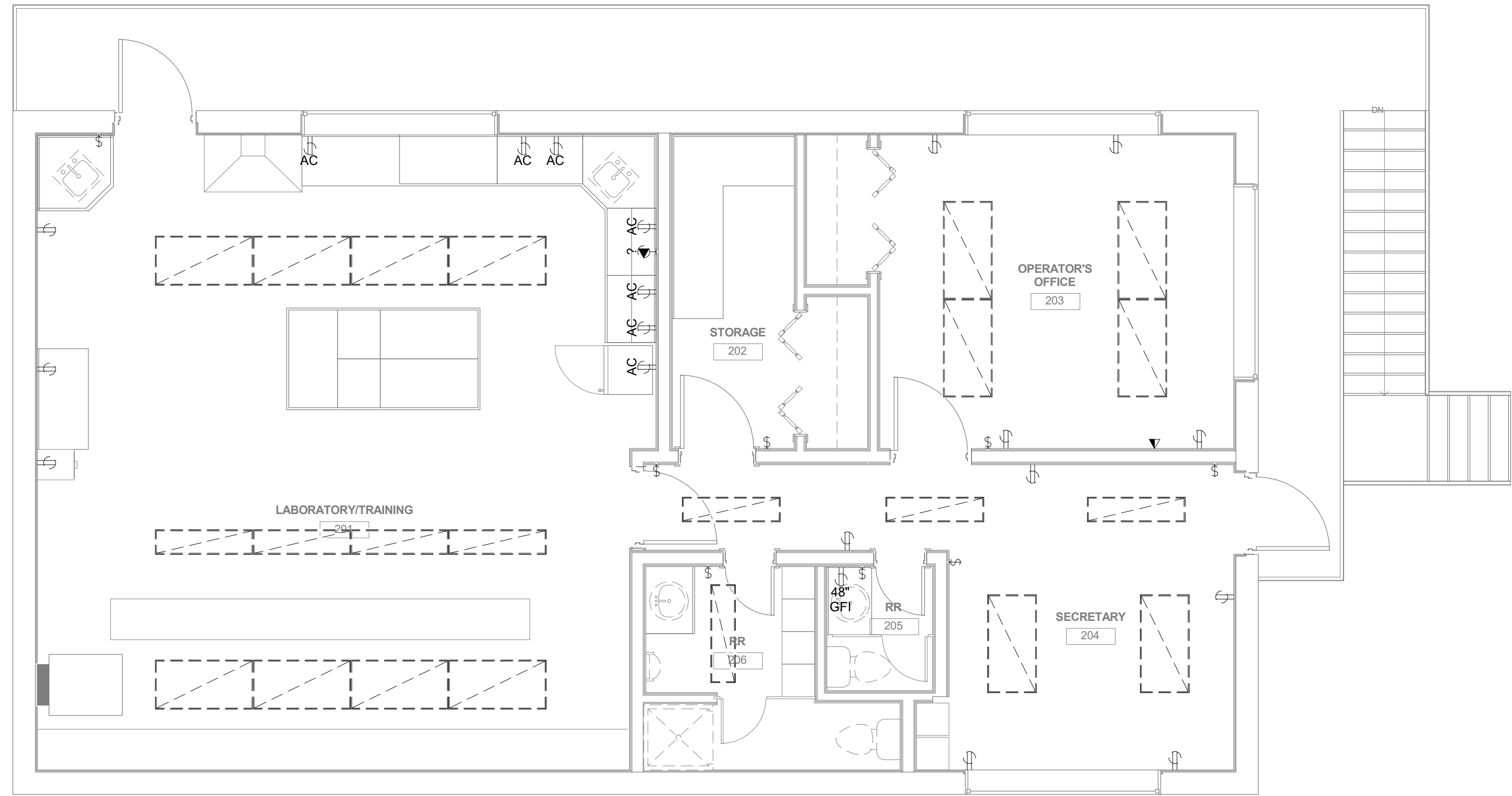
89

POWER SYMBOLS LIST	
	DUPLEX RECEPTACLE 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	DUPLEX RECEPTACLE GFCI 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER UC - UNDER COUNTER
	DUPLEX RECEPTACLE GFCI WEATHERPROOF 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	DUPLEX USB CHARGING RECEPTACLE 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	DOUBLE DUPLEX RECEPTACLE 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	DOUBLE DUPLEX GFCI RECEPTACLE 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	SIMPLEX RECEPTACLE 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	SPLIT WIRED DUPLEX RECEPTACLE 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	SPLIT WIRED DUPLEX RECEPTACLE W/ EACH RECEPTACLE SWITCHED 18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER
	SINGLE RECEPTACLE, 30 AMP REFER TO PLAN NOTES FOR MOUNTING LOCATION INFORMATION
	SINGLE RECEPTACLE, 40 AMP REFER TO PLAN NOTES FOR MOUNTING LOCATION INFORMATION
	SPECIAL PURPOSE OUTLET REFER TO PLAN NOTES FOR MOUNTING LOCATION INFORMATION
	BRANCH PANELBOARD, SURFACE MOUNTED. REFER TO PANLE SCHEDULE FOR MORE INFORMATION
	DASHED LINE INDICATES REQUIRED WORKING CLEARANCE
	TRANSFORMER DASHED LINE INDICATES REQUIRED WORKING CLEARANCE
	PUSH BUTTON PROVIDED BY GC. REFER TO PLAN NOTES FOR MOUNTING LOCATION INFORMATION.
	FUSED DISCONNECT, 240V RATED, 200A/3P FRAME, (3) 150A FUSES, FACTORY INSTALLED GROUNDING KIT, NEMA 1, UL LISTED. PROVIDE WITH AT LEAST (1) SET EACH OF N.O. AND N.C. CONTACTS TO INTERFACE WITH ANCILLARY SYSTEMS. PROVIDE WITH RK1 FUSES.
	FUSED DISCONNECT, 240V RATED, 30A/3P FRAME, 20A FUSES, FACTORY INSTALLED GROUNDING KIT, NEMA 1, UL LISTED.

LIGHTING CONTROL SYMBOLS LIST	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	KEY OPERATED SWITCH
	LOW VOLTAGE SWITCH
	LOW VOLTAGE DIMMING SWITCH
	OCCUPANCY SENSOR, WALL MOUNTED SWITCH
	MANUAL MOTOR STARTER SWITCH WITH MELTING ALLOY TYPE THERMAL OVERLOAD RELAY, TOGGLE OPERATED, SINGLE POLE, SINGLE THROW, RATED 1 HP MAXIMUM AT 120V, NEMA 1 ENCLOSURE, UL LISTED
	MANUAL MOTOR STARTER SWITCH WITH MELTING ALLOY TYPE THERMAL OVERLOAD RELAY, TOGGLE OPERATED, SINGLE POLE, SINGLE THROW, RATED 1 HP MAXIMUM AT 120V, NEMA 1 ENCLOSURE, UL LISTED
	OCCUPANCY SENSOR IF ARROW IS SHOWN, OCCUPANCY SENSOR SHALL BE WALL MOUNTED IN CORNER AT THE SAME ELEVATION AS LIGHT FIXTURES
	PHOTO SENSOR
	DAYLIGHT SENSOR, CEILING MOUNTED
	PROGRAMMABLE LIGHTING CONTROL PANEL
	LCP

SYSTEMS SYMBOLS LIST	
	THERMOSTAT
	TELECOMMUNICATION OULTET ROUGH-IN, FLUSH MOUNT ON WALL OR AS NOTED IN PLANS.
	18" - STANDARD MOUNTING HEIGHT XX" - INDICATED MOUNTING HEIGHT AC - ABOVE COUNTER TV - INDICATES WALL MOUNTED DATA FOR TV. COORDINATE HEIGHT WITH OWNER CLG.TV - INDICATES CEILING MOUNTED DATA FOR TV
	TELECOMMUNICATION OULTET ROUGH-IN FOR CABLE TV, FLUSH MOUNT ON WALL OR AS NOTED IN PLANS. COORDINATE HEIGHT WITH OWNER PRIOR TO ROUGH-IN CLG.TV - INDICATES CEILING MOUNTED DATA FOR TV
	EXIT SIGN

LIGHT FIXTURE SCHEDULE								
TYPE	DESCRIPTION	MANUFACTURER	MODEL	MOUNTNG	LAMP	VOLTAGE	WATTAGE	
EM1	EMERGENCY	EELP	OEM-LED	WALL	LED	120 V	4 W	
EX1	EXIT SIGN	EELP	XE-2-R-W-EM	WALL	LED	120 V	5 W	
F1	FLAT PANEL	ALS	LPA-2-C-WH-UD	LAY-IN	LED	120 V	32 W	
F1E	FLAT PANEL	ALS	LPA-2-C-WH-UD-EMB-700	LAY-IN	LED	120 V	32 W	
R1	DOWNLIGHT	ALS	DL-15-40-F-WH-S	SURFACE	LED	120 V	15 W	
S1	STRIP	ALS	IL-4-30-40-F-JM-W-UD	SURFACE	LED	120 V	30 W	



1 ELECTRICAL DEMO PLAN
1/4" = 1'-0"
0' 4' 8' 16'

BRANCH PANEL NAME	VOLTAGE	PHASE	WIRE	BUS SIZE	MAIN OCP	AIC RATING
P1	120/240 Single	1	3	100 AMPS	90 A	EXISTING
	CODE: L=LIGHTING, R=RECEPTACLES, M=MOTORS, K=KITCHEN, E=EQUIPMENT					MOUNTING: SURFACE
ROOM:						ENCLOSURE: NEMA 1
FED FROM:						FEED: EXISTING

LOAD	CODE	POLE	BKR	CKT #	A	B	CKT #	BKR	POLE	CODE	LOAD
EXISTING LOAD	--	1	--	1	0 VA / 0 VA		2	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	3		0 VA / 0 VA	4	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	5	0 VA / 0 VA		6	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	7		0 VA / 0 VA	8	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	9	0 VA / 0 VA		10	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	11		0 VA / 0 VA	12	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	13	0 VA / 0 VA		14	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	15		0 VA / 0 VA	16	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	17	0 VA / 0 VA		18	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	19		0 VA / 0 VA	20	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	21	0 VA / 0 VA		22	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	23		0 VA / 0 VA	24	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	25	0 VA / 0 VA		26	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	27		0 VA / 0 VA	28	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	29	0 VA / 0 VA		30	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	31		0 VA / 0 VA	32	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	33	0 VA / 0 VA		34	--	1	--	EXISTING LOAD
EXISTING LOAD	--	1	--	35		0 VA / 720 VA	36	20 A	1	R	OFFICE 207 RCPTS
BREAKROOM RCPTS	R	1	20 A	37	360 VA / 2794...		38	35 A	2	M	ACCU-2
BREAKROOM RCPTS	R	1	20 A	39		360 VA / 2794...	40	--	--	--	--
REFRIGERATOR	R	1	20 A	41	180 VA / 0 VA		42	--	--	--	--
TOTAL LOAD:					3288 VA	3795 VA					
TOTAL AMPS:					27 A	32 A					

Item 10

Project Title: OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TEX 77515

Project No.: 0109.21005

Author: [Name], Checked By: [Name], Checker: [Name], Scale: AS NOTED, Date: 12/29/2021

Professional Engineer Seal: State of Texas, License No. 128999, Cooper Dill, 12/29/2021

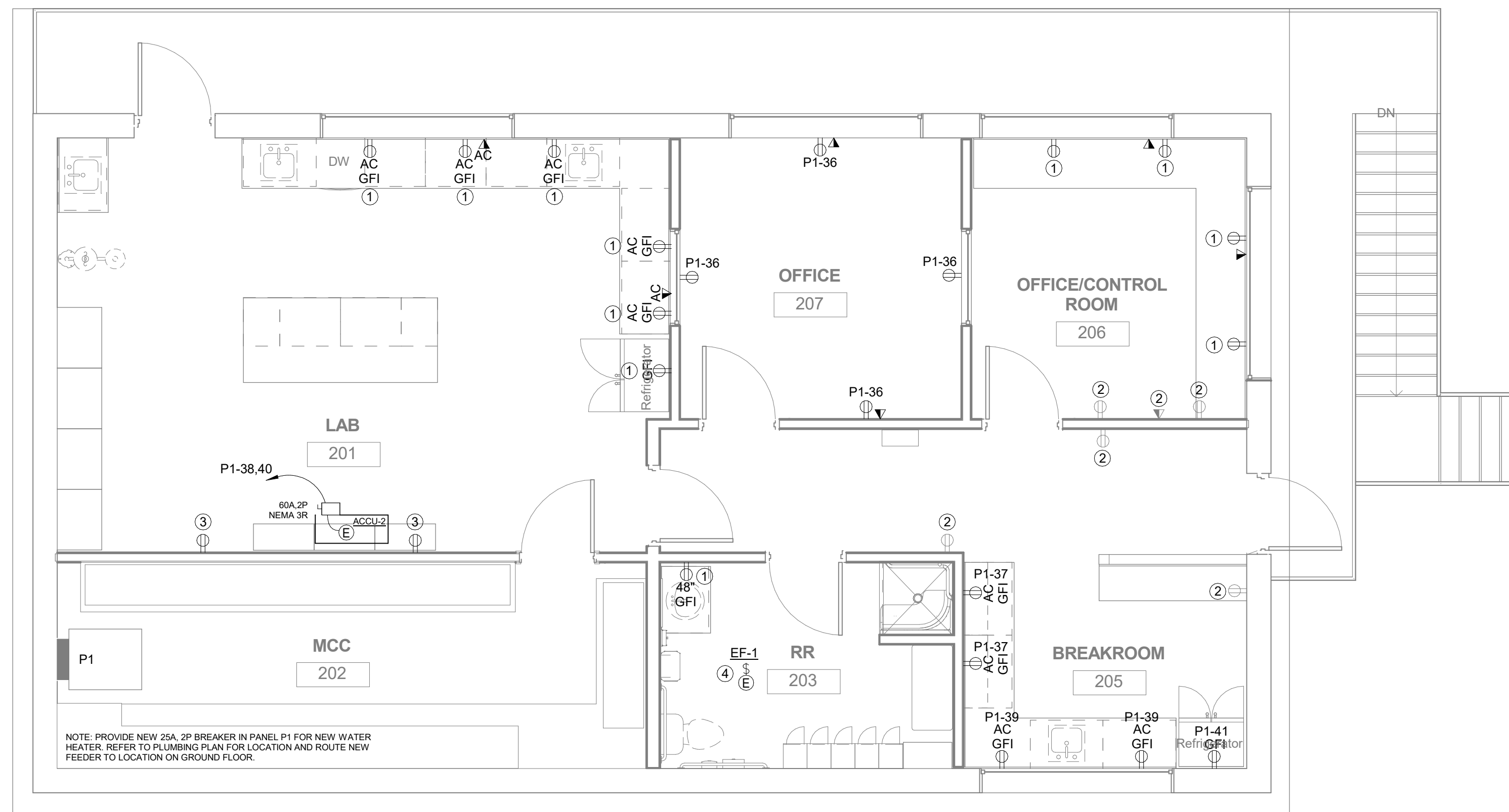
MRB group logo

Engineering, Architecture, Planning & Surveying
30 West Lake Street, Suite 200, Angleton, TX 77515
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Project No. 0109.21005

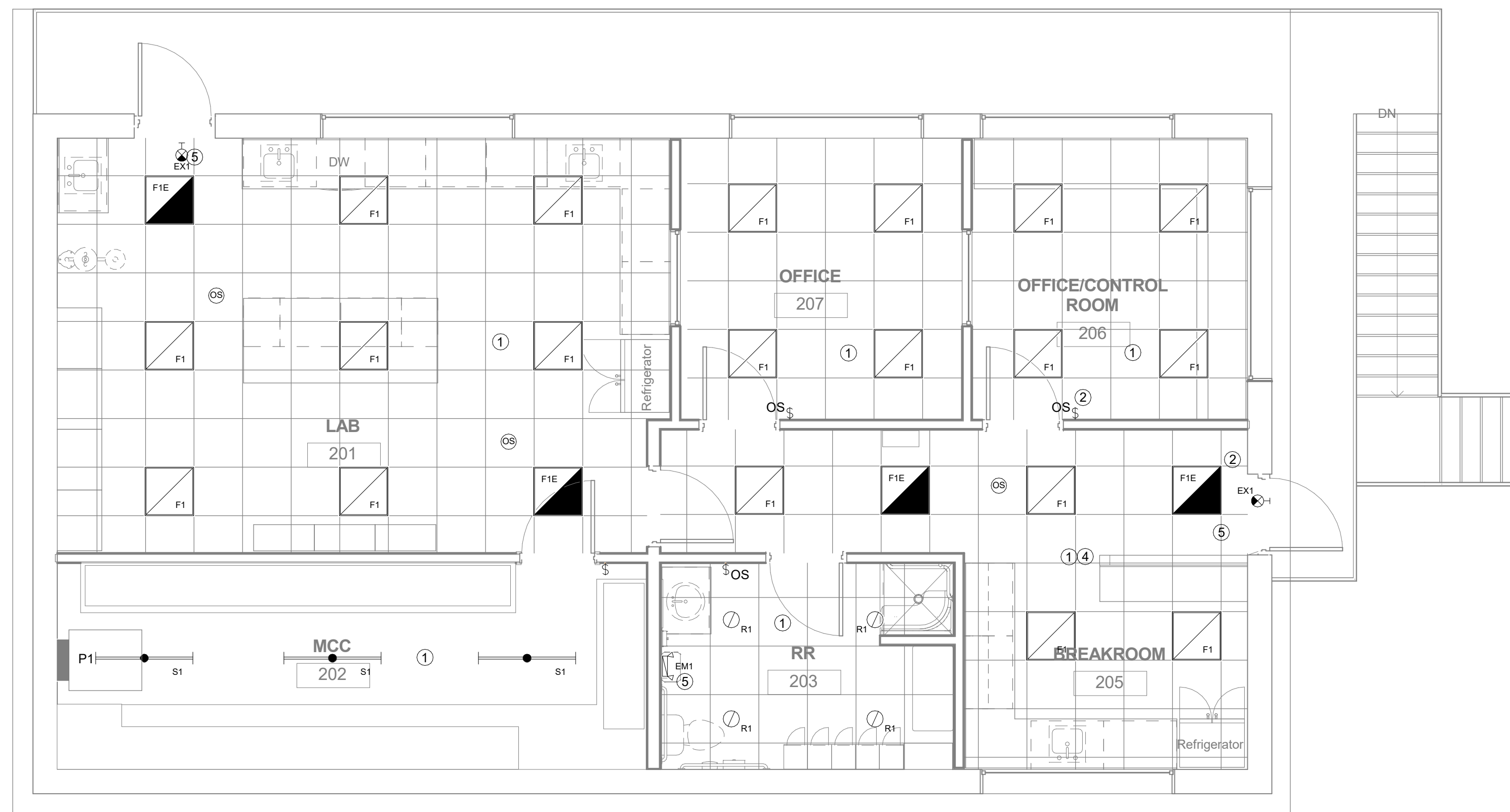
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ELECTRICAL POWER & DATA PLAN NOTES

1. CONNECT NEW DEVICE TO EXISTING CIRCUIT
2. DEVICE IS EXISTING TO REMAIN
3. CONNECT NEW DEVICES TO CLOSEST EXISTING CIRCUIT
4. CONNECT EF-1 TO LIGHTING CIRCUIT IN RESTROOM

1 ELECTRICAL POWER & DATA PLAN
 1/4" = 1'-0" 0' 4' 8' 16'



ELECTRICAL LIGHTING PLAN NOTES

1. CONNECT ALL LIGHTING TO EXISTING LIGHTING CIRCUIT(S)
2. SWITCH LOCATION IS EXISTING TO REMAIN. PROVIDE NEW SWITCH AS SHOWN
3. CONNECT NEW DEVICES TO CLOSEST EXISTING CIRCUIT
4. LIGHT FIXTURES IN HALLWAY AND BREAKROOM 205 ON 3-WAY SWITCHES AS SHOWN
5. EXTEND UNSWITCHED LEG OF CIRCUIT TO FIXTURE.

2 ELECTRICAL LIGHTING PLAN
 1/4" = 1'-0" 0' 4' 8' 16'

No.	Revisions and Descriptions	By	Date

Project Title:
OYSTER CREEK WWTP
474 COUNTY RD 609
ANGLETON, TEX 77515
 Drawing Title:
ELECTRICAL NEW WORK PLANS

Drawn By: KSF
 Checked By: C.G.
 Scale: AS NOTED
 Date: 12/29/2021



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 Engineering, Architecture, Planning
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 Cooper, Texas 77004
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Sheet No.
E100
 of
 Project No.
0109.21005



Joe Morrow

Managing Director
Public Finance

August 11, 2022

Chris Whittaker
City Manager
City of Angleton, Texas
Via Email

Dear Chris:

As we discussed on our call a week ago, market conditions have changed over the last year significantly. The supply chain issues and increase in rates has had an impact on all projects and issuers. The impact on Riverwood Ranch PID will need to be determined as we move forward towards a sale date. The issue impacting Riverwood Ranch PID includes the assumptions and assessment structure in the original service and assessment plan (“SAP”), the rising interest rate environment and the disclosure to existing homeowners.

The original SAP had an increasing annual debt service structure. This would dictate an increase in the assessment overtime with the goal that an increase in home value would be enough to keep the ratio of a tax equivalent rate approximately the same. As you are aware, I have asked Jason Hughes out of our Dallas office to review and help structure our PID transaction. From the experience Jason has gained out of his PID practice in North Texas his recommendation is to use a level debt structure so that payment amounts do not go up annually and the ratio for a tax equivalent rate will improve over time rather than be constant. This change has some impact to the assessments by increasing them over the initial levy of the existing SAP.

Interest rates changes have had a larger impact on reimbursement and assessment picture. The current interest rate environment for PID transactions is close to 2% higher than when the original SAP was adopted about a year ago. There are two ways to accommodate the increase in rates. One is to keep the assessments approximately the same. This will mean a decrease to the developer in expected reimbursement funds. The other is an increase in assessments to the homeowner in an amount to keep the reimbursement either the same or at some lower level than anticipated by the developer.

When existing homeowners purchased homes, part of the closing process included disclosure to the new homebuyer that the assessment existed, the total amount of the assessment and a schedule of amortization if the buyer opted to fund the assessment over time. There was also a disclosure that this amount could change based on future events. The next SAP will change. The question is the magnitude of change. We recommend structuring the assessments as level payments and not escalating over time. This will cause a marginal increase in the initial assessment but be approximately equivalent to what the average payment would have been under the original plan. The potential for a larger change in assessment is dependent upon Council decision on how to treat the

increase in interest rates; either pass it on to the residents, reduce the amount of reimbursement of some combination of the two. Consider the chart below which summarizes the estimated impact to a homeowner based on certain annual assessment levels.

Scenario	Estimated Bond Par	Interest Rate	Estimated % of Project Costs Reimbursed	Estimated Average Annual Assessment	Calculated Assessment TRE	Average Annual Installment per Unit		
						45' Lots	50' Lots	60' Lots
Original SAP	\$5,180,000	4.00%	96.1%	\$337,200	\$0.6691	\$1,585	\$1,729	\$1,879
<i>(Numbers above are for the anticipated initial year of assessment collections)</i>								
1	\$5,180,000	5.83%	95.5%	\$427,034	\$0.8473	\$2,042	\$2,152	\$2,231
2	\$4,006,000	5.83%	73.2%	\$340,223	\$0.6751	\$1,627	\$1,715	\$1,778
3	\$4,413,000	5.83%	80.9%	\$370,307	\$0.7348	\$1,771	\$1,866	\$1,935

Scenario 1 keeps the reimbursement the same and passes the additional cost on to the homeowner in the form of a higher annual assessment.

Scenario 2 keeps the assessment approximately the same and reduces the reimbursement to the developer.

Scenario 3 both reduces reimbursement to the developer and increases the assessment to the homeowner.

The decision on how the increase in interest rates is to be treated will provide us the direction we need to move forward with the bond sale.

Sincerely yours,

/s/ Joe Morrow
 Joe Morrow
 Managing Director

/s/ Jason Hughes
 Jason Hughes
 Managing Director



AGENDA ITEM SUMMARY FORM

MEETING DATE: 8/23/2022

PREPARED BY: Phill Conner, Finance Director

AGENDA CONTENT: Consider and approve an Ordinance approving the 2022-23 update to the service and assessment plan and assessment roll for the Riverwood Public Improvement District.

AGENDA ITEM SECTION: Consent Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

Andrea Barnes and Jon Snyder of P3Works will attend the Council Meeting to present and discuss the FY 2022-23 update to the Service and Assessment Plan (SAP) for the Riverwood Public Improvement District. State law requires the SAP to be approved by ordinance and recorded with the County within 7 days of approval.

RECOMMENDATION:

Staff recommends council approve an Ordinance approving the 2022-23 SAP update for the Riverwood Public Improvement District.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, APPROVING THE 2022-23 UPDATE TO THE SERVICE AND ASSESSMENT PLAN AND ASSESSMENT ROLL FOR THE RIVERWOOD PUBLIC IMPROVEMENT DISTRICT; MAKING AND ADOPTING FINDINGS; ACCEPTING AND APPROVING THE ANNUAL SERVICE PLAN UPDATE AND UPDATED ASSESSMENT ROLL FOR THE DISTRICT; PROVIDING AN EFFECTIVE DATE AND OTHER MATTERS RELATED THERETO.

WHEREAS, On November 12, 2019, the City passed and approved Resolution 20191112-011 authorizing the creation of the Riverwood Public Improvement District (the “District”) in accordance with the PID Act, as amended, which authorization was effective upon publication as required by the PID Act.

WHEREAS, On December 8, 2020, the City passed and approved Ordinance 20201208-108 which approved an Assessment Ordinance, which was subsequently rescinded by the City Council by ordinance on September 14, 2021. The service and assessment plan approved on September 14, 2021 by Ordinance 20211012-013 (the “Service and Assessment Plan”) replaced in its entirety the previously approved plan approved by Ordinance 20201208-108. Ordinance 20211012-013 also levied assessments against benefited properties within the District and established a lien on such properties.

WHEREAS, all capitalized terms used herein and not otherwise defined herein shall have the meanings assigned to such terms in the Service and Assessment Plan; and

WHEREAS, Section 372.013 of the Act and the Service and Assessment Plan require that the Service and Assessment Plan and Assessment Roll for the District be reviewed and updated annually for the purpose of determining the annual budget for improvements (the “Annual Service Plan Update”); and

WHEREAS, the Annual Service Plan Update and updated Assessment Roll for Fiscal Year 2022-2023 attached as Exhibit A (the “2022-2023 Annual Service Plan Update”) hereto conforms the Assessment Roll to the annual principal and interest payment schedule required for the Facilities and Creation Costs Reimbursement Agreement and updates the Service and Assessment Plan and Assessment Roll to reflect prepayments, property divisions and changes to the cost and/or budget allocations for the Authorized Improvements that occur during the year, if any and the annual administrative costs of the District; and

WHEREAS, the City Council now desires to proceed with the adoption of this Ordinance and hereby approves and adopts the 2022-2023 Annual Service Plan Update and the updated Assessment Roll attached thereto, in conformity with the requirements of the Act.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

SECTION 1. Findings. The findings and determinations set forth in the preambles hereto are hereby incorporated by reference for all purposes and are hereby adopted.

SECTION 2. Annual Service Plan Update. The 2022-2023 Annual Service Plan Update with updated Assessment Roll attached hereto as Exhibit A is hereby accepted and approved and complies with the Act in all matters as required.

SECTION 3. Cumulative Repealer. This Ordinance shall be cumulative of all other ordinances and shall not repeal any of the provisions of such ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances or parts thereof in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such Ordinance on the date of adoption of this Ordinance shall continue to be governed by the provisions of that ordinance and for that purpose the ordinance shall remain in full force and effect.

SECTION 4. Severability. If any provision, section, subsection, sentence, clause or phrase of this Ordinance, or the application of same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this Ordinance or the application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council that no portion hereof, or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity of any other portion hereof, and all provisions of this Ordinance are declared to be severable for that purpose.

SECTION 5. Effective Date. This Ordinance shall take effect, and the provisions and terms of the Annual Service Plan Update shall be and become effective upon passage and execution hereof.

SECTION 6. Property Records. This Ordinance and the 2022-2023 Annual Service Plan Update shall be filed in the real property records of Brazoria County within seven (7) days of the Effective Date.

DULY PASSED AND APPROVED by the City Council of the City of Angleton, Texas, on this the 23rd day of August 2022.

Jason Perez
Mayor

ATTEST:

APPROVED AS TO LEGAL FORM:

Michelle Perez
City Secretary

Judith El Masri
City Attorney

THE STATE OF TEXAS §

COUNTY OF DALLAS §

Before me, the undersigned authority, on this day personally appeared Jason Perez, Mayor of the City of Angleton, Texas, known to me to be such persons who signed the above and acknowledged to me that such persons executed the above and foregoing Ordinance in my presence for the purposes stated therein.

Given under my hand and seal of office this _____.

Notary Public, State of Texas

[NOTARY STAMP]

EXHIBIT A

2022-2023 UPDATE TO RIVERWOOD PUBLIC IMPROVEMENT DISTRICT SERVICE
AND ASSESSMENT PLAN



RIVERWOOD RANCH
PUBLIC IMPROVEMENT DISTRICT
2022 ANNUAL SERVICE PLAN UPDATE

AUGUST 23, 2022

INTRODUCTION

Capitalized terms used in this 2022 Service Plan Update shall have the meanings given to them in the 2021 Service and Assessment Plan (the “2021 SAP”) or unless the context in which a term is used clearly requires a different meaning.

On November 12, 2019, the City passed and approved Resolution 20191112-011 authorizing the creation of the District in accordance with the PID Act, as amended, which authorization was effective upon publication as required by the PID Act.

On December 8, 2020, the City passed and approved Ordinance 20201208-108 which approved an Assessment Ordinance, which was subsequently rescinded by the City Council by ordinance on September 14, 2021. The Service and Assessment Plan approved on September 14, 2021 by Ordinance 20211012-013 replaced in its entirety the previously approved plan approved by Ordinance 20201208-108. Ordinance 20211012-013 also levied assessments against benefited properties within the District and established a lien on such properties.

Pursuant to Texas Local Government Code Chapter 372, a service and assessment plan must be reviewed and updated annually. This document is the Annual Service Plan Update for 2022. This Annual Service Plan Update also updates the Assessment Roll for 2022.

PARCEL SUBDIVISION

Improvement Area #1

- The Riverwood Ranch Section 1 Plat was filed and recorded within the Brazoria County Official Public Records on March 11, 2021. The Riverwood Ranch Section 1 Plat consists of 71 Lots classified as Lot Type 1, 13 Lots classified as Lot Type 2, 12 Lots classified as Lot Type 3 and 3 Lots classified as Non-Benefited property.
- The Riverwood Ranch Section 2 Plat was filed and recorded with Brazoria County Official Public Records on May 2, 2022. The Riverwood Ranch Section 2 Plat consists of 77 Lots classified as Lot Type 1, 17 Lots classified as Lot Type 2, 15 Lots classified as Lot Type 3 and 4 Lots classified as Non-Benefited property.

LOT AND HOME SALES

Improvement Area #1

As of June 30, 2022, there are 205 platted lots designated for single family use. The developer, Riverway Properties, owns 64 lots and homebuilders own 141 lots.

See **Exhibit C** for buyer disclosures.

AUTHORIZED IMPROVEMENTS

Improvement Area #1

The budget for the Authorized Improvements as identified in the 2021 SAP and updated as of June 30, 2022 is shown below.

Authorized Improvements	Original Budget	Updated Budget	Actual Costs Spent to Date	Percent Complete
<i>Improvement Area #1 Improvements</i>				
Roadway	\$ 1,698,506	\$ 1,774,281	\$ 1,814,783	102.28%
Water	376,407	464,061	449,530	96.87%
Wastewater	452,137	1,323,114	475,416	35.93%
Storm Water	655,617	644,935	643,034	99.71%
Landscape & Park	425,589	790,947	781,247	98.77%
Detention	-	215,995	227,273	105.22%
Contingency	360,826	505,329	-	0.00%
Soft Costs	541,238	1,771,090	687,885	38.84%
Total	\$ 4,510,320	\$ 7,489,751	\$ 5,079,169	67.81%

Notes:

1) As of June 30, 2022, provided by the developer.

OUTSTANDING ASSESSMENT

Improvement Area #1

Improvement Area #1 has an outstanding Assessment of \$5,180,000.00.

ANNUAL INSTALLMENT DUE 1/31/2023

Improvement Area #1

- **Principal and Interest** – The total principal and interest required for the Annual Installment is \$302,200.
- **Administrative Expenses** – The cost of administering the District and collecting the Annual Installments shall be paid for on a pro rata basis by each Parcel based on the amount of outstanding Assessment remaining on the Parcel. The total Annual Collection Costs budgeted for the Annual Installment for Improvement Area #1 is \$26,565.00. A breakdown of the Annual Collection Costs is shown below.

Improvement Area #1	
Annual Collection Costs Breakdown	
Administration	\$ 18,360.00
City Auditor	1,000.00
Filing Fees	1,000.00
County Collection	205.00
Draw Request	5,000.00
Miscellaneous	1,000.00
Total Annual Collection Costs	\$ 26,565.00

See **Exhibit B** for the Improvement Area #1 Installments.

PREPAYMENT OF ASSESSMENTS IN FULL

Improvement Area #1

No parcels in Improvement Area #1 have made full prepayments.

PARTIAL PREPAYMENT OF ASSESSMENTS

Improvement Area #1

No parcels in Improvement Area #1 have made partial prepayments.

TIRZ NO. 2 ANNUAL CREDIT

Improvement Area #1

The City Council, in accordance with the Facilities and Creation Costs Reimbursement Agreement approved July 14, 2020, TIRZ funds will be used to reduce the annual PID assessment levied on properties within Improvement Area #1. The TIRZ Revenues generated to reduce the Improvement Area #1 Annual Installment for all Improvement Area #1 Assessed Property so that the Improvement Area #1 Annual Installment minus the TIRZ No. 2 Annual Credit Amount for each Lot Type does not produce an equivalent tax rate which exceeds the competitive composite ad valorem equivalent tax rate taking into consideration the tax rates of all applicable taxing units and the equivalent tax rate of the Improvement Area #1 Annual Installments. The resulting Maximum TIRZ No. 2 Annual Credit Amount for each Lot Type is shown below.

Lot Type	TIRZ Maximum Annual Credit Amount	
Improvement Area #1		
Lot Type 1	\$	406.77
Lot Type 2	\$	443.58
Lot Type 3	\$	482.20

The TIRZ No. 2 Revenues available to be applied to the Improvement Area #1 Annual Installment due January 31, 2023 is \$0.00.

SERVICE PLAN – FIVE YEAR BUDGET FORECAST

The PID Act requires the annual indebtedness and projected costs for the improvements to be reviewed and updated in the Annual Service Plan Update, and the projection shall cover a period of not less than five years.

		Improvement Area #1				
Annual Installments Due		1/31/2023	1/31/2024	1/31/2025	1/31/2026	1/31/2027
<i>Improvement Area #1</i>						
Principal		\$ 95,000	\$ 100,000	\$ 105,000	\$ 110,000	\$ 110,000
Interest		207,200	203,400	199,400	195,200	190,800
	(1)	\$ 302,200	\$ 303,400	\$ 304,400	\$ 305,200	\$ 300,800
Annual Collection Costs	(2)	\$ 26,565	\$ 27,096	\$ 27,638	\$ 28,191	\$ 28,755
Total Annual Installments	(3) = (1) + (2)	\$ 328,765	\$ 330,496	\$ 332,038	\$ 333,391	\$ 329,555

ASSESSMENT ROLL

The list of current Parcels or Lots within Improvement Area #1, the corresponding total assessments, and current Annual Installment are shown on the Improvement Area #1 Assessment Roll attached hereto as **Exhibit A**. The Parcels or Lots shown on the Assessment Rolls will receive the bills for the 2022 Annual Installments which will be delinquent if not paid by January 31, 2023.

EXHIBIT A – IMPROVEMENT AREA #1 ASSESSMENT ROLL

Property ID	Address	Lot Type	Outstanding			Annual Collection Costs	Annual Installment Due 1/31/2023
			Assessment	Principal	Interest		
700123	Riverwood Ranch Section 1, BLK 1 LOT 1	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700124	Riverwood Ranch Section 1, BLK 1 LOT 2	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700125	Riverwood Ranch Section 1, BLK 1 LOT 3	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700126	Riverwood Ranch Section 1, BLK 1 LOT 4	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700127	Riverwood Ranch Section 1, BLK 1 LOT 5	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700128	Riverwood Ranch Section 1, BLK 1 LOT 6	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700129	Riverwood Ranch Section 1, BLK 1 LOT 7	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700130	Riverwood Ranch Section 1, BLK 1 LOT 8	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700131	Riverwood Ranch Section 1, BLK 1 LOT 9	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700132	Riverwood Ranch Section 1, BLK 1 LOT 10	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700133	Riverwood Ranch Section 1, BLK 1 LOT 11	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700134	Riverwood Ranch Section 1, BLK 1 LOT 12	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700135	Riverwood Ranch Section 1, BLK 1 LOT 13	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700136	Riverwood Ranch Section 1, BLK 1 LOT 14	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700137	Riverwood Ranch Section 1, BLK 1 LOT 15	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700138	Riverwood Ranch Section 1, BLK 1 LOT 16	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700139	Riverwood Ranch Section 1, BLK 1 LOT 17	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700140	Riverwood Ranch Section 1, BLK 1 LOT 18	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700141	Riverwood Ranch Section 1, BLK 1 LOT 19	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700142	Riverwood Ranch Section 1, BLK 1 LOT 20	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700143	Riverwood Ranch Section 1, BLK 1 LOT 21	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700144	Riverwood Ranch Section 1, BLK 1 LOT 22	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700145	Riverwood Ranch Section 1, BLK 1 LOT 23	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700146	Riverwood Ranch Section 1, BLK 1 LOT 24	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700147	Riverwood Ranch Section 1, BLK 1 LOT 25	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700148	Riverwood Ranch Section 1, BLK 1 LOT 26	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700149	Riverwood Ranch Section 1, BLK 1 LOT 27	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700150	Riverwood Ranch Section 1, BLK 1 LOT 28	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700151	Riverwood Ranch Section 1, BLK 1 LOT 29	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700152	Riverwood Ranch Section 1, BLK 1 LOT 30	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700153	Riverwood Ranch Section 1, BLK 1 LOT 31	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700154	Riverwood Ranch Section 1, BLK 1 LOT 32	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700155	Riverwood Ranch Section 1, BLK 1 LOT 33	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700156	Riverwood Ranch Section 1, BLK 1 LOT 34	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700157	Riverwood Ranch Section 1, BLK 1 LOT 35	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700158	Riverwood Ranch Section 1, BLK 1 LOT 36	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700159	Riverwood Ranch Section 1, BLK 1 LOT 37	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700160	Riverwood Ranch Section 1, BLK 1 LOT 38	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700161	Riverwood Ranch Section 1, BLK 1 LOT 39	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700162	Riverwood Ranch Section 1, BLK 1 LOT 40	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52

Property ID	Address	Lot Type	Outstanding			Annual	Annual
			Assessment	Principal	Interest	Collection Costs	Installment Due 1/31/2023
700163	Riverwood Ranch Section 1, BLK 1 LOT 41	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700164	Riverwood Ranch Section 1, BLK 1 LOT 42	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700165	Riverwood Ranch Section 1, BLK 1 LOT 43	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700166	Riverwood Ranch Section 1, BLK 1 LOT 44	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700170	Riverwood Ranch Section 1, BLK 1 LOT 45	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700171	Riverwood Ranch Section 1, BLK 1 LOT 46	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700172	Riverwood Ranch Section 1, BLK 1 LOT 47	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700173	Riverwood Ranch Section 1, BLK 1 LOT 48	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700174	Riverwood Ranch Section 1, BLK 1 LOT 49	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700175	Riverwood Ranch Section 1, BLK 1 LOT 50	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700176	Riverwood Ranch Section 1, BLK 1 LOT 51	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700177	Riverwood Ranch Section 1, BLK 1 LOT 52	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700178	Riverwood Ranch Section 1, BLK 1 LOT 53	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700179	Riverwood Ranch Section 1, BLK 1 LOT 54	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700180	Riverwood Ranch Section 1, BLK 1 LOT 55	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700181	Riverwood Ranch Section 1, BLK 1 LOT 56	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700182	Riverwood Ranch Section 1, BLK 1 LOT 57	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700183	Riverwood Ranch Section 1, BLK 1 LOT 58	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700184	Riverwood Ranch Section 1, BLK 1 LOT 59	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700185	Riverwood Ranch Section 1, BLK 1 LOT 60	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700186	Riverwood Ranch Section 1, BLK 1 LOT 61	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700187	Riverwood Ranch Section 1, BLK 1 LOT 62	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700188	Riverwood Ranch Section 1, BLK 1 LOT 63	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700189	Riverwood Ranch Section 1, BLK 1 LOT 64	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700190	Riverwood Ranch Section 1, BLK 1 LOT 65	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700191	Riverwood Ranch Section 1, BLK 1 LOT 66	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700192	Riverwood Ranch Section 1, BLK 1 LOT 67	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700193	Riverwood Ranch Section 1, BLK 1 LOT 68	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700194	Riverwood Ranch Section 1, BLK 1 LOT 69	3	\$ 28,866.47	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
700195	Riverwood Ranch Section 1, BLK 1 LOT 70	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700196	Riverwood Ranch Section 1, BLK 1 LOT 71	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700197	Riverwood Ranch Section 1, BLK 1 LOT 72	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700198	Riverwood Ranch Section 1, BLK 1 LOT 73	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700199	Riverwood Ranch Section 1, BLK 1 LOT 74	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700200	Riverwood Ranch Section 1, BLK 1 LOT 75	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700201	Riverwood Ranch Section 1, BLK 1 LOT 76	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700203	Riverwood Ranch Section 1, BLK 1 LOT 77	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700204	Riverwood Ranch Section 1, BLK 1 LOT 78	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700205	Riverwood Ranch Section 1, BLK 1 LOT 79	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700206	Riverwood Ranch Section 1, BLK 1 LOT 80	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52

[a] Hospital Drive & Buchta Road

Property ID	Address	Lot Type	Outstanding			Annual	Annual
			Assessment	Principal	Interest	Collection Costs	Installment Due 1/31/2023
700207	Riverwood Ranch Section 1, BLK 1 LOT 81	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700208	Riverwood Ranch Section 1, BLK 1 LOT 82	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700209	Riverwood Ranch Section 1, BLK 1 LOT 83	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700210	Riverwood Ranch Section 1, BLK 1 LOT 84	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700211	Riverwood Ranch Section 1, BLK 1 LOT 85	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700212	Riverwood Ranch Section 1, BLK 1 LOT 86	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700213	Riverwood Ranch Section 1, BLK 1 LOT 87	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700214	Riverwood Ranch Section 1, BLK 1 LOT 88	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700215	Riverwood Ranch Section 1, BLK 1 LOT 89	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700216	Riverwood Ranch Section 1, BLK 1 LOT 90	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700217	Riverwood Ranch Section 1, BLK 1 LOT 91	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700218	Riverwood Ranch Section 1, BLK 1 LOT 92	2	\$ 26,555.01	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
700219	Riverwood Ranch Section 1, BLK 2 LOT 1	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700220	Riverwood Ranch Section 1, BLK 2 LOT 2	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700221	Riverwood Ranch Section 1, BLK 3 LOT 1	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700222	Riverwood Ranch Section 1, BLK 3 LOT 2	1	\$ 24,351.05	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
700120	Riverwood Ranch Section 1, ACRES 5.267	Non-Benefited Property	\$ -	\$ -	\$ -	\$ -	\$ -
700121	Riverwood Ranch Section 1, CRES 0.0215	Non-Benefited Property	\$ -	\$ -	\$ -	\$ -	\$ -
700122	Riverwood Ranch Section 1, ACRES 0.303	Non-Benefited Property	\$ -	\$ -	\$ -	\$ -	\$ -
168834	T S Lee Tract 3-3A-14-15 Acres 35.616	[a]	\$ 2,759,462.86	\$ 50,607.91	\$ 110,378.51	\$ 14,151.57	\$ 175,137.99
Improvement Area #1 Total			\$ 5,180,000.00	\$ 95,000.00	\$ 207,200.00	\$ 26,565.00	\$ 328,765.00

[a] Hospital Drive & Buchta Road

EXHIBIT B – IMPROVEMENT AREA #1 INSTALLMENTS

Annual Installment Due 1/31	Principal	Interest [a]	Annual Collection Costs	Total Annual Installment [c]
2023	\$ 95,000	\$ 207,200	\$ 26,565	\$ 328,765
2024	\$ 100,000	203,400	27,096	330,496
2025	\$ 105,000	199,400	27,638	332,038
2026	\$ 110,000	195,200	28,191	333,391
2027	\$ 110,000	190,800	28,755	329,555
2028	\$ 115,000	186,400	29,330	330,730
2029	\$ 120,000	181,800	29,917	331,717
2030	\$ 125,000	177,000	30,515	332,515
2031	\$ 130,000	172,000	31,125	333,125
2032	\$ 135,000	166,800	31,748	333,548
2033	\$ 145,000	161,400	32,383	338,783
2034	\$ 150,000	155,600	33,030	338,630
2035	\$ 155,000	149,600	33,691	338,291
2036	\$ 160,000	143,400	34,365	337,765
2037	\$ 170,000	137,000	35,052	342,052
2038	\$ 175,000	130,200	35,753	340,953
2039	\$ 180,000	123,200	36,468	339,668
2040	\$ 190,000	116,000	37,197	343,197
2041	\$ 200,000	108,400	37,941	346,341
2042	\$ 205,000	100,400	38,700	344,100
2043	\$ 215,000	92,200	39,474	346,674
2044	\$ 225,000	83,600	40,264	348,864
2045	\$ 235,000	74,600	41,069	350,669
2046	\$ 245,000	65,200	41,890	352,090
2047	\$ 255,000	55,400	42,728	353,128
2048	\$ 265,000	45,200	43,583	353,783
2049	\$ 275,000	34,600	44,454	354,054
2050	\$ 290,000	23,600	45,343	358,943
2051	\$ 300,000	12,000	46,250	358,250
Total	\$ 5,180,000	\$ 3,691,600	\$ 1,030,516	\$ 9,902,116

Notes:

The figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

[a] Interest is calculated at a 4.000% rate for illustrative purposes.

[b] Additional Interest is calculated at the Additional Interest Rate.

[c] Excludes the TIRZ Annual Credit Amount which will be calculated annually in each Annual Service

EXHIBIT C – BUYER DISCLOSURES

Buyer Disclosures for the following Lot Types within Improvement Area #1 are found in this Exhibit:

- Lot Type 1 (45')
- Lot Type 2 (50')
- Lot Type 3 (60')
- Remainder Parcel (Parcel 168834)

**RIVERWOOD RANCH PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 -
LOT TYPE 1 - BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
CITY OF ANGLETON, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

IMPROVEMENT AREA #1 - LOT TYPE 1 PRINCIPAL ASSESSMENT: \$24,351.05

As the purchaser of the real property described above, you are obligated to pay assessments to City of Angleton, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within ***Riverwood Ranch Public Improvement District*** (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from City of Angleton. The exact amount of each annual installment will be approved each year by the Angleton City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from City of Angleton.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

§
§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

§
§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 - LOT TYPE 1

Annual Installment Due 1/31	Principal	Interest [a]	Annual Collection Costs	Total Annual Installment [c]
2023	\$ 446.59	\$ 974.04	\$ 124.88	\$ 1,545.52
2024	470.10	956.18	127.38	1,553.65
2025	493.60	937.37	129.93	1,560.90
2026	517.11	917.63	132.53	1,567.26
2027	517.11	896.95	135.18	1,549.23
2028	540.61	876.26	137.88	1,554.75
2029	564.12	854.64	140.64	1,559.39
2030	587.62	832.07	143.45	1,563.14
2031	611.13	808.57	146.32	1,566.01
2032	634.63	784.12	149.24	1,568.00
2033	681.64	758.74	152.23	1,592.61
2034	705.15	731.47	155.27	1,591.89
2035	728.65	703.27	158.38	1,590.30
2036	752.16	674.12	161.55	1,587.82
2037	799.17	644.03	164.78	1,607.98
2038	822.67	612.07	168.07	1,602.81
2039	846.18	579.16	171.44	1,596.77
2040	893.19	545.31	174.86	1,613.36
2041	940.19	509.59	178.36	1,628.14
2042	963.70	471.98	181.93	1,617.61
2043	1,010.71	433.43	185.57	1,629.71
2044	1,057.72	393.00	189.28	1,640.00
2045	1,104.73	350.69	193.06	1,648.49
2046	1,151.74	306.50	196.93	1,655.17
2047	1,198.75	260.43	200.86	1,660.05
2048	1,245.76	212.48	204.88	1,663.12
2049	1,292.77	162.65	208.98	1,664.40
2050	1,363.28	110.94	213.16	1,687.38
2051	1,410.29	56.41	217.42	1,684.13
Total	\$ 24,351.05	\$ 17,354.12	\$ 4,844.43	\$ 46,549.59

Notes:

The Figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

[a] Interest is calculated at a 4.000% rate for illustrative purposes.

[b] Additional Interest is calculated at the Additional Interest Rate.

[c] Excludes the TIRZ Annual Credit Amount which will be calculated annually in each Annual Service Plan Update.

**RIVERWOOD RANCH PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 -
LOT TYPE 2 - BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
CITY OF ANGLETON, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

IMPROVEMENT AREA #1 - LOT TYPE 2 PRINCIPAL ASSESSMENT: \$26,555.01

As the purchaser of the real property described above, you are obligated to pay assessments to City of Angleton, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within **Riverwood Ranch Public Improvement District** (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from City of Angleton. The exact amount of each annual installment will be approved each year by the Angleton City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from City of Angleton.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

§
§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

§
§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 - LOT TYPE 2

Annual Installment Due 1/31	Principal	Interest [a]	Annual Collection Costs	Total Annual Installment [c]
2023	\$ 487.01	\$ 1,062.20	\$ 136.18	\$ 1,685.40
2024	512.64	1,042.72	138.91	1,694.27
2025	538.28	1,022.21	141.69	1,702.18
2026	563.91	1,000.68	144.52	1,709.11
2027	563.91	978.13	147.41	1,689.45
2028	589.54	955.57	150.36	1,695.47
2029	615.17	931.99	153.37	1,700.53
2030	640.81	907.38	156.43	1,704.62
2031	666.44	881.75	159.56	1,707.75
2032	692.07	855.09	162.75	1,709.91
2033	743.34	827.41	166.01	1,736.75
2034	768.97	797.68	169.33	1,735.97
2035	794.60	766.92	172.71	1,734.23
2036	820.23	735.13	176.17	1,731.53
2037	871.50	702.32	179.69	1,753.51
2038	897.13	667.46	183.29	1,747.88
2039	922.76	631.58	186.95	1,741.29
2040	974.03	594.67	190.69	1,759.38
2041	1,025.29	555.71	194.50	1,775.50
2042	1,050.92	514.70	198.39	1,764.01
2043	1,102.19	472.66	202.36	1,777.21
2044	1,153.45	428.57	206.41	1,788.43
2045	1,204.72	382.43	210.54	1,797.69
2046	1,255.98	334.24	214.75	1,804.97
2047	1,307.24	284.01	219.04	1,810.29
2048	1,358.51	231.72	223.42	1,813.65
2049	1,409.77	177.38	227.89	1,815.04
2050	1,486.67	120.98	232.45	1,840.11
2051	1,537.93	61.52	237.10	1,836.55
Total	\$ 26,555.01	\$ 18,924.80	\$ 5,282.89	\$ 50,762.69

Notes:

The Figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

[a] Interest is calculated at a 4.000% rate for illustrative purposes.

[b] Additional Interest is calculated at the Additional Interest Rate.

[c] Excludes the TIRZ Annual Credit Amount which will be calculated annually in each Annual Service Plan Update.

**RIVERWOOD RANCH PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 -
LOT TYPE 3 - BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
CITY OF ANGLETON, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

IMPROVEMENT AREA #1 - LOT TYPE 3 PRINCIPAL ASSESSMENT: \$28,866.47

As the purchaser of the real property described above, you are obligated to pay assessments to City of Angleton, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within ***Riverwood Ranch Public Improvement District*** (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from City of Angleton. The exact amount of each annual installment will be approved each year by the Angleton City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from City of Angleton.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

§
§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

§

COUNTY OF _____

§

§

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 - LOT TYPE 3

Annual Installment Due 1/31	Principal	Interest [a]	Annual Collection Costs	Total Annual Installment [c]
2023	\$ 529.40	\$ 1,154.66	\$ 148.04	\$ 1,832.10
2024	557.27	1,133.48	151.00	1,841.75
2025	585.13	1,111.19	154.02	1,850.34
2026	612.99	1,087.79	157.10	1,857.88
2027	612.99	1,063.27	160.24	1,836.50
2028	640.86	1,038.75	163.45	1,843.05
2029	668.72	1,013.11	166.72	1,848.55
2030	696.58	986.36	170.05	1,853.00
2031	724.45	958.50	173.45	1,856.40
2032	752.31	929.52	176.92	1,858.75
2033	808.04	899.43	180.46	1,887.93
2034	835.90	867.11	184.07	1,887.08
2035	863.77	833.67	187.75	1,885.19
2036	891.63	799.12	191.50	1,882.25
2037	947.36	763.46	195.33	1,906.15
2038	975.22	725.56	199.24	1,900.02
2039	1,003.08	686.55	203.22	1,892.86
2040	1,058.81	646.43	207.29	1,912.53
2041	1,114.54	604.08	211.44	1,930.05
2042	1,142.40	559.50	215.66	1,917.56
2043	1,198.13	513.80	219.98	1,931.90
2044	1,253.85	465.88	224.38	1,944.11
2045	1,309.58	415.72	228.86	1,954.17
2046	1,365.31	363.34	233.44	1,962.09
2047	1,421.03	308.73	238.11	1,967.87
2048	1,476.76	251.89	242.87	1,971.52
2049	1,532.49	192.81	247.73	1,973.03
2050	1,616.08	131.52	252.68	2,000.28
2051	1,671.80	66.87	257.74	1,996.41
Total	\$ 28,866.47	\$ 20,572.10	\$ 5,742.73	\$ 55,181.31

Notes:

The Figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

[a] Interest is calculated at a 4.000% rate for illustrative purposes.

[b] Additional Interest is calculated at the Additional Interest Rate.

[c] Excludes the TIRZ Annual Credit Amount which will be calculated annually in each Annual Service Plan Update.

**RIVERWOOD RANCH PUBLIC IMPROVEMENT DISTRICT – IMPROVEMENT AREA #1 -
REMAINDER PARCEL 168834 - BUYER DISCLOSURE**

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
CITY OF ANGLETON, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

**IMPROVEMENT AREA #1 – REMAINDER PARCEL 168834 PRINCIPAL ASSESSMENT:
\$2,759,462.86**

As the purchaser of the real property described above, you are obligated to pay assessments to City of Angleton, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within ***Riverwood Ranch Public Improvement District*** (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from City of Angleton. The exact amount of each annual installment will be approved each year by the Angleton City Council in the annual service plan update for the District. More information about the assessments, including the amounts and due dates, may be obtained from City of Angleton.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

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§
§

COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

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COUNTY OF _____

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

ANNUAL INSTALLMENTS - IMPROVEMENT AREA #1 – REMAINDER PARCEL 168834

Annual Installment Due 1/31	Principal	Interest [a]	Annual Collection Costs	Total Annual Installment [c]
2023	\$ 50,607.91	\$ 110,378.51	\$ 14,151.57	\$ 175,137.99
2024	53,271.48	108,354.20	14,434.60	176,060.28
2025	55,935.06	106,223.34	14,723.29	176,881.69
2026	58,598.63	103,985.94	15,017.76	177,602.33
2027	58,598.63	101,641.99	15,318.11	175,558.74
2028	61,262.21	99,298.05	15,624.48	176,184.73
2029	63,925.78	96,847.56	15,936.97	176,710.30
2030	66,589.35	94,290.53	16,255.71	177,135.59
2031	69,252.93	91,626.95	16,580.82	177,460.70
2032	71,916.50	88,856.84	16,912.44	177,685.77
2033	77,243.65	85,980.17	17,250.68	180,474.51
2034	79,907.23	82,890.43	17,595.70	180,393.35
2035	82,570.80	79,694.14	17,947.61	180,212.55
2036	85,234.37	76,391.31	18,306.56	179,932.25
2037	90,561.52	72,981.93	18,672.70	182,216.15
2038	93,225.10	69,359.47	19,046.15	181,630.72
2039	95,888.67	65,630.47	19,427.07	180,946.21
2040	101,215.82	61,794.92	19,815.61	182,826.35
2041	106,542.97	57,746.29	20,211.93	184,501.18
2042	109,206.54	53,484.57	20,616.16	183,307.28
2043	114,533.69	49,116.31	21,028.49	184,678.49
2044	119,860.84	44,534.96	21,449.06	185,844.86
2045	125,187.99	39,740.53	21,878.04	186,806.55
2046	130,515.14	34,733.01	22,315.60	187,563.74
2047	135,842.28	29,512.40	22,761.91	188,116.60
2048	141,169.43	24,078.71	23,217.15	188,465.29
2049	146,496.58	18,431.93	23,681.49	188,610.01
2050	154,487.30	12,572.07	24,155.12	191,214.50
2051	159,814.45	6,392.58	24,638.23	190,845.26
Total	\$ 2,759,462.86	\$ 1,966,570.10	\$ 548,971.01	\$ 5,275,003.97

Notes:

The Figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, reserve fund requirements, interest earnings, or other available offsets could increase or decrease the amounts shown.

[a] Interest is calculated at a 4.000% rate for illustrative purposes.

[b] Additional Interest is calculated at the Additional Interest Rate.

[c] Excludes the TIRZ Annual Credit Amount which will be calculated annually in each Annual Service Plan Update.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, APPROVING THE 2022-23 UPDATE TO THE SERVICE AND ASSESSMENT PLAN AND ASSESSMENT ROLL FOR THE KIBER RESERVE PUBLIC IMPROVEMENT DISTRICT; MAKING AND ADOPTING FINDINGS; ACCEPTING AND APPROVING THE ANNUAL SERVICE PLAN UPDATE AND UPDATED ASSESSMENT ROLL FOR THE DISTRICT; PROVIDING AN EFFECTIVE DATE AND OTHER MATTERS RELATED THERETO.

WHEREAS, The Kiber Reserve Public Improvement District (the “District”) was created pursuant to the PID Act, by Resolution No. 20201110-007 of the City Council on November 10, 2020, to finance certain public improvement projects for the benefit of the property in the District and

WHEREAS, On October 12, 2021, the City Council adopted and approved the Service and assessment plan for the District by Ordinance No. 20211012-015, (the “Service and Assessment Plan”) including an Assessment Roll, and levied Assessments on property within the District to finance the Authorized Improvements for the benefit of such property.

WHEREAS, all capitalized terms used herein and not otherwise defined herein shall have the meanings assigned to such terms in the Service and Assessment Plan; and

WHEREAS, Section 372.013 of the Act and the Service and Assessment Plan require that the Service and Assessment Plan and Assessment Roll be reviewed and updated annually for the purpose of determining the annual budget for improvements (the “Annual Service Plan Update”); and

WHEREAS, the Annual Service Plan Update and updated Assessment Roll for Fiscal Year 2022-2023 attached as Exhibit A (the “2022-2023 Annual Service Plan Update”) hereto conforms the Assessment Roll to the annual principal and interest payment schedule required for the PID Reimbursement Agreement and updates the Service and Assessment Plan and Assessment Roll to reflect prepayments, property divisions and changes to the cost and/or budget allocations for District Authorized Improvements that occur during the year, if any and the annual administrative costs of the District; and

WHEREAS, the City Council now desires to proceed with the adoption of this Ordinance and hereby approves and adopts the 2022-2023 Annual Service Plan Update and the updated Assessment Roll attached thereto, in conformity with the requirements of the Act.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

SECTION 1. Findings. The findings and determinations set forth in the preambles hereto are hereby incorporated by reference for all purposes and are hereby adopted.

SECTION 2. Annual Service Plan Update. The 2022-2023 Annual Service Plan Update with updated Assessment Roll attached hereto as Exhibit A is hereby accepted and approved and complies with the Act in all matters as required.

SECTION 3. Cumulative Repealer. This Ordinance shall be cumulative of all other ordinances and shall not repeal any of the provisions of such ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances or parts thereof in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such Ordinance on the date of adoption of this Ordinance shall continue to be governed by the provisions of that ordinance and for that purpose the ordinance shall remain in full force and effect.

SECTION 4. Severability. If any provision, section, subsection, sentence, clause or phrase of this Ordinance, or the application of same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this Ordinance or the application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council that no portion hereof, or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity of any other portion hereof, and all provisions of this Ordinance are declared to be severable for that purpose.

SECTION 5. Effective Date. This Ordinance shall take effect, and the provisions and terms of the Annual Service Plan Update shall be and become effective upon passage and execution hereof.

SECTION 6. Property Records. This Ordinance and the 2022-2023 Annual Service Plan Update shall be filed in the real property records of Brazoria County within seven (7) days of the Effective Date.

DULY PASSED AND APPROVED by the City Council of the City of Angleton, Texas, on this the 23rd day of August 2022.

[SIGNATURE PAGE FOLLOWS]

Jason Perez
Mayor

ATTEST:

APPROVED AS TO LEGAL FORM:

Michelle Perez
City Secretary

Judith El Masri
City Attorney

THE STATE OF TEXAS §

COUNTY OF DALLAS §

Before me, the undersigned authority, on this day personally appeared Jason Perez, Mayor of the City of Angleton, Texas, known to me to be such persons who signed the above and acknowledged to me that such persons executed the above and foregoing Ordinance in my presence for the purposes stated therein.

Given under my hand and seal of office this _____.

Notary Public, State of Texas

[NOTARY STAMP]

EXHIBIT A

2022-2023 ANNUAL UPDATE TO THE KIBER RANCH PUBLIC IMPROVEMENT
DISTRICT SERVICE AND ASSESSMENT PLAN.



KIBER RESERVE
PUBLIC IMPROVEMENT DISTRICT
2022 ANNUAL SERVICE PLAN UPDATE

AUGUST 23, 2022

INTRODUCTION

Capitalized terms used in this Annual Service Plan Update shall have the meanings set forth in the original Service and Assessment Plan (the “SAP”).

The District was created pursuant to the PID Act, by Resolution No. 20201110-007 of the City Council on November 10, 2020, to finance certain public improvement projects for the benefit of the property in the District.

On October 12, 2021, the City Council adopted and approved the Service and Assessment Plan for the District by Ordinance No. 20211012-015, including an Assessment Roll, and levied Assessments on property within the District to finance the Authorized Improvements for the benefit of such property.

The Service and Assessment Plan identified the Authorized Improvements to be constructed, the costs of the Authorized Improvements, the indebtedness to be incurred for the Authorized Improvements, and the manner of assessing the property in the District for the costs of the Authorized Improvements. Pursuant to the PID Act, the Service and Assessment Plan must be reviewed and updated annually. This document is the Annual Service Plan Update for 2022. This 2022 Annual Service Plan Update also updates the Assessment Roll for 2022.

PARCEL SUBDIVISION

The Final Plat for Kiber Reserve Phase 1 was recorded in the official public records of Brazoria County on October 22, 2021, and consists of 48 Residential Lots and 1 Lot classified as Non-Benefitted Property. The final plat is attached as **Exhibit B**.

LOT AND HOME SALES

It is anticipated that the District will consist of 93 Residential Lots.

As of June 30, 2022, the Developer reported all 93 Residential Lots are under contract, 40 have begun construction and 8 have been closed to end users.

See **Exhibit D** for the homebuyer disclosures.

AUTHORIZED IMPROVEMENTS

The Authorized Improvements consist of street, storm drainage, sanitary sewer, water and soft costs. Per the Developer, the estimated cost of the Authorized Improvements remains unchanged at 2,121,890, as shown in the table below. Actual Costs spent to date, and construction completion percentage is shown in the table below.

Authorized Improvements	Original Budget	Actual Costs		Forecast Completion Date
		Spent to Date	Percent Complete	
<i>Improvement Area #1 Improvements</i>				
Street	\$ 821,686	\$ 384,084	46.74%	November 2022
Storm Drainage	602,572	548,262	90.99%	November 2022
Sanitary Sewer	203,387	238,484	117.26%	November 2022
Water	164,016	287,035	175.00%	November 2022
Soft Costs	330,229	231,889	70.22%	
Total	\$ 2,121,890	\$1,689,754	79.63%	

Notes:

1) As provided by the developer, as of June 30, 2022.

OUTSTANDING ASSESSMENT

The District has an outstanding Assessment of \$1,780,000.00.

ANNUAL INSTALLMENT DUE 1/31/2023

- **Principal and Interest** – Pursuant to the PID Reimbursement Agreement, the Annual Installment shall include interest on the unpaid principal amount of the Assessment at a rate of 4.04% per annum, simple interest. The total principal and interest required for the Annual Installment is \$103,438.10.

- **Annual Collection Costs** – The cost of administering the District and collecting the Annual Installments shall be paid for on a pro rata basis by each Parcel based on the amount of outstanding Assessment remaining on the Parcel. The total Annual Collection Costs budgeted for the Annual Installment for the District is \$18,200.00.

Improvement Area #1	
Due January 31, 2023	
Principal	\$ 31,526.10
Interest	71,912.00
Annual Collection Costs	18,200.00
Total Annual Installment	\$121,638.10

The Annual Installments for Residential Lots are attached hereto as **Exhibit C**.

PREPAYMENT OF ASSESSMENT IN FULL

No full prepayments have occurred within the District.

PARTIAL PREPAYMENT OF ASSESSMENTS

No partial prepayment of Assessments have occurred within the District.

SERVICE PLAN – FIVE YEAR BUDGET FORECAST

The PID Act requires the annual indebtedness and projected costs for the Authorized Improvements to be reviewed and updated in the Annual Service Plan Update, and the projection shall cover a period of not less than five years.

Annual Installments		1/31/2023	1/31/2024	1/31/2025	1/31/2026	1/31/2027
Principal		\$ 31,526.10	\$ 32,799.75	\$ 34,124.86	\$ 35,503.51	\$ 36,937.85
Interest		\$ 71,912.00	\$ 70,638.35	\$ 69,313.24	\$ 67,934.59	\$ 66,500.25
	(1)	<u>\$ 103,438.10</u>	<u>\$ 103,438.10</u>	<u>\$ 103,438.10</u>	<u>\$ 103,438.10</u>	<u>\$ 103,438.10</u>
Annual Collection Costs	(2)	\$ 18,200.00	\$ 18,564.00	\$ 18,935.28	\$ 19,313.99	\$ 19,700.27
Total Annual Installment	(3) = (1) + (2)	\$ 121,638.10	\$ 122,002.10	\$ 122,373.38	\$ 122,752.08	\$ 123,138.36

ASSESSMENT ROLL

The list of current Parcels within the District, the corresponding total Assessments, and current Annual Installment are shown on the Assessment Roll attached hereto as **Exhibit A**. The Parcels shown on the Assessment Rolls will receive the bills for the 2022 Annual Installments which will be delinquent if not paid by January 31, 2023.

EXHIBIT A – ASSESSMENT ROLL

Property ID	Legal Description	Lot Type	Outstanding Assessment ^[a]	Annual Installment Due 1/31/23 ^[a]
702067	KIBER RESERVE PHASE 1 BLK 1 LOT 11	Residential	\$ 19,139.78	\$ 1,307.94
702068	KIBER RESERVE PHASE 1 BLK 1 LOT 12	Residential	\$ 19,139.78	\$ 1,307.94
702069	KIBER RESERVE PHASE 1 BLK 1 LOT 13	Residential	\$ 19,139.78	\$ 1,307.94
702070	KIBER RESERVE PHASE 1 BLK 1 LOT 14	Residential	\$ 19,139.78	\$ 1,307.94
702071	KIBER RESERVE PHASE 1 BLK 1 LOT 15	Residential	\$ 19,139.78	\$ 1,307.94
702072	KIBER RESERVE PHASE 1 BLK 1 LOT 16	Residential	\$ 19,139.78	\$ 1,307.94
702091	KIBER RESERVE PHASE 1 BLK 2 LOT 14	Residential	\$ 19,139.78	\$ 1,307.94
702092	KIBER RESERVE PHASE 1 BLK 2 LOT 15	Residential	\$ 19,139.78	\$ 1,307.94
702093	KIBER RESERVE PHASE 1 BLK 2 LOT 16	Residential	\$ 19,139.78	\$ 1,307.94
702094	KIBER RESERVE PHASE 1 BLK 2 LOT 17	Residential	\$ 19,139.78	\$ 1,307.94
702095	KIBER RESERVE PHASE 1 BLK 2 LOT 18	Residential	\$ 19,139.78	\$ 1,307.94
702096	KIBER RESERVE PHASE 1 BLK 2 LOT 19	Residential	\$ 19,139.78	\$ 1,307.94
702097	KIBER RESERVE PHASE 1 BLK 2 LOT 20	Residential	\$ 19,139.78	\$ 1,307.94
702098	KIBER RESERVE PHASE 1 BLK 2 LOT 21	Residential	\$ 19,139.78	\$ 1,307.94
702099	KIBER RESERVE PHASE 1 BLK 2 LOT 22	Residential	\$ 19,139.78	\$ 1,307.94
702078	KIBER RESERVE PHASE 1 BLK 2 LOT 1	Residential	\$ 19,139.78	\$ 1,307.94
702079	KIBER RESERVE PHASE 1 BLK 2 LOT 2	Residential	\$ 19,139.78	\$ 1,307.94
702080	KIBER RESERVE PHASE 1 BLK 2 LOT 3	Residential	\$ 19,139.78	\$ 1,307.94
702081	KIBER RESERVE PHASE 1 BLK 2 LOT 4	Residential	\$ 19,139.78	\$ 1,307.94
702082	KIBER RESERVE PHASE 1 BLK 2 LOT 5	Residential	\$ 19,139.78	\$ 1,307.94
702083	KIBER RESERVE PHASE 1 BLK 2 LOT 6	Residential	\$ 19,139.78	\$ 1,307.94
702084	KIBER RESERVE PHASE 1 BLK 2 LOT 7	Residential	\$ 19,139.78	\$ 1,307.94
702085	KIBER RESERVE PHASE 1 BLK 2 LOT 8	Residential	\$ 19,139.78	\$ 1,307.94
702086	KIBER RESERVE PHASE 1 BLK 2 LOT 9	Residential	\$ 19,139.78	\$ 1,307.94
702087	KIBER RESERVE PHASE 1 BLK 2 LOT 10	Residential	\$ 19,139.78	\$ 1,307.94
702088	KIBER RESERVE PHASE 1 BLK 2 LOT 11	Residential	\$ 19,139.78	\$ 1,307.94
702089	KIBER RESERVE PHASE 1 BLK 2 LOT 12	Residential	\$ 19,139.78	\$ 1,307.94
702090	KIBER RESERVE PHASE 1 BLK 2 LOT 13	Residential	\$ 19,139.78	\$ 1,307.94
702057	KIBER RESERVE PHASE 1, BLK 1 LOT 1	Residential	\$ 19,139.78	\$ 1,307.94
702058	KIBER RESERVE PHASE 1 BLK 1 LOT 2	Residential	\$ 19,139.78	\$ 1,307.94
702059	KIBER RESERVE PHASE 1 BLK 1 LOT 3	Residential	\$ 19,139.78	\$ 1,307.94
702060	KIBER RESERVE PHASE 1 BLK 1 LOT 4	Residential	\$ 19,139.78	\$ 1,307.94
702061	KIBER RESERVE PHASE 1 BLK 1 LOT 5	Residential	\$ 19,139.78	\$ 1,307.94
702062	KIBER RESERVE PHASE 1 BLK 1 LOT 6	Residential	\$ 19,139.78	\$ 1,307.94
702063	KIBER RESERVE PHASE 1 BLK 1 LOT 7	Residential	\$ 19,139.78	\$ 1,307.94
702064	KIBER RESERVE PHASE 1 BLK 1 LOT 8	Residential	\$ 19,139.78	\$ 1,307.94
702065	KIBER RESERVE PHASE 1 BLK 1 LOT 9	Residential	\$ 19,139.78	\$ 1,307.94
702066	KIBER RESERVE PHASE 1 BLK 1 LOT 10	Residential	\$ 19,139.78	\$ 1,307.94
702073	KIBER RESERVE PHASE 1 BLK 1 LOT 17	Residential	\$ 19,139.78	\$ 1,307.94
702074	KIBER RESERVE PHASE 1 BLK 1 LOT 18	Residential	\$ 19,139.78	\$ 1,307.94

Notes:

- ^[a] Outstanding Assessment and Annual Installment totals may not sum due to rounding.
- ^[b] Identified on the Kiber Reserve Plat for Phase 1, recorded on October 11, 2021, as Future Kiber Reserve Phase 2 and classified as remainder parcel

Property ID	Legal Description	Lot Type	Outstanding Assessment ^[a]	Annual Installment Due 1/31/23 ^[a]
702075	KIBER RESERVE PHASE 1 BLK 1 LOT 19	Residential	\$ 19,139.78	\$ 1,307.94
702076	KIBER RESERVE PHASE 1 BLK 1 LOT 20	Residential	\$ 19,139.78	\$ 1,307.94
702077	KIBER RESERVE PHASE 1 BLK 1 LOT 21	Residential	\$ 19,139.78	\$ 1,307.94
702100	KIBER RESERVE PHASE 1 BLK 2 LOT 23	Residential	\$ 19,139.78	\$ 1,307.94
702101	KIBER RESERVE PHASE 1 BLK 2 LOT 24	Residential	\$ 19,139.78	\$ 1,307.94
702102	KIBER RESERVE PHASE 1 BLK 2 LOT 25	Residential	\$ 19,139.78	\$ 1,307.94
702103	KIBER RESERVE PHASE 1 BLK 2 LOT 26	Residential	\$ 19,139.78	\$ 1,307.94
702104	KIBER RESERVE PHASE 1 BLK 2 LOT 27	Residential	\$ 19,139.78	\$ 1,307.94
702056	KIBER RESERVE PHASE 1 PARK/DRAINAGE/DETENTION ACRES 4.08	Non-Benefited	\$ -	\$ -
170803	Tinsley Tract 69A Acres 8.01 - Future Kiber Reserve Phase 2 ^[b]	Remainder Parcel	\$ 861,290.32	\$ 58,857.14
Total			\$1,780,000.00	\$ 121,638.10

Notes:

^[a] Outstanding Assessment and Annual Installment totals may not sum due to rounding.

^[b] Identified on the Kiber Reserve Plat for Phase 1, recorded on October 11, 2021, as Future Kiber Reserve Phase 2 and classified as remainder parcel

EXHIBIT C – PROJECTED ANNUAL INSTALLMENTS

Improvement Area #1 Annual Installments					
Annual Installments Due	Principal	Interest ²	Annual Collection Costs	Annual Installment ¹	
1/31/2023	\$ 31,526.10	\$ 71,912.00	\$ 18,200.00	\$ 121,638.10	
1/31/2024	\$ 32,799.75	\$ 70,638.35	\$ 18,564.00	\$ 122,002.10	
1/31/2025	\$ 34,124.86	\$ 69,313.24	\$ 18,935.28	\$ 122,373.38	
1/31/2026	\$ 35,503.51	\$ 67,934.59	\$ 19,313.99	\$ 122,752.08	
1/31/2027	\$ 36,937.85	\$ 66,500.25	\$ 19,700.27	\$ 123,138.36	
1/31/2028	\$ 38,430.14	\$ 65,007.96	\$ 20,094.27	\$ 123,532.37	
1/31/2029	\$ 39,982.72	\$ 63,455.38	\$ 20,496.16	\$ 123,934.25	
1/31/2030	\$ 41,598.02	\$ 61,840.08	\$ 20,906.08	\$ 124,344.18	
1/31/2031	\$ 43,278.58	\$ 60,159.52	\$ 21,324.20	\$ 124,762.30	
1/31/2032	\$ 45,027.03	\$ 58,411.07	\$ 21,750.68	\$ 125,188.78	
1/31/2033	\$ 46,846.12	\$ 56,591.97	\$ 22,185.70	\$ 125,623.80	
1/31/2034	\$ 48,738.71	\$ 54,699.39	\$ 22,629.41	\$ 126,067.51	
1/31/2035	\$ 50,707.75	\$ 52,730.35	\$ 23,082.00	\$ 126,520.10	
1/31/2036	\$ 52,756.34	\$ 50,681.75	\$ 23,543.64	\$ 126,981.74	
1/31/2037	\$ 54,887.70	\$ 48,550.40	\$ 24,014.51	\$ 127,452.61	
1/31/2038	\$ 57,105.16	\$ 46,332.94	\$ 24,494.80	\$ 127,932.90	
1/31/2039	\$ 59,412.21	\$ 44,025.89	\$ 24,984.70	\$ 128,422.80	
1/31/2040	\$ 61,812.46	\$ 41,625.63	\$ 25,484.39	\$ 128,922.49	
1/31/2041	\$ 64,309.69	\$ 39,128.41	\$ 25,994.08	\$ 129,432.18	
1/31/2042	\$ 66,907.80	\$ 36,530.30	\$ 26,513.96	\$ 129,952.06	
1/31/2043	\$ 69,610.87	\$ 33,827.22	\$ 27,044.24	\$ 130,482.34	
1/31/2044	\$ 72,423.15	\$ 31,014.94	\$ 27,585.13	\$ 131,023.23	
1/31/2045	\$ 75,349.05	\$ 28,089.05	\$ 28,136.83	\$ 131,574.93	
1/31/2046	\$ 78,393.15	\$ 25,044.95	\$ 28,699.57	\$ 132,137.66	
1/31/2047	\$ 81,560.23	\$ 21,877.86	\$ 29,273.56	\$ 132,711.66	
1/31/2048	\$ 84,855.27	\$ 18,582.83	\$ 29,859.03	\$ 133,297.13	
1/31/2049	\$ 88,283.42	\$ 15,154.68	\$ 30,456.21	\$ 133,894.31	
1/31/2050	\$ 91,850.07	\$ 11,588.03	\$ 31,065.33	\$ 134,503.43	
1/31/2051	\$ 95,560.81	\$ 7,877.28	\$ 31,686.64	\$ 135,124.74	
1/31/2052	\$ 99,421.47	\$ 4,016.63	\$ 32,320.37	\$ 135,758.47	
Total	\$ 1,780,000.00	\$ 1,323,142.94	\$ 738,339.04	\$ 3,841,481.98	

Footnotes:

1) The figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, interest earnings, or other available offsets could increase or decrease the amounts shown.

2) The interest rate on the Reimbursement Obligation is estimated at a 4.04% rate.

EXHIBIT D – HOMEBUYER DISCLOSURES

Homebuyer Disclosures for the following Lot Types are contained in this Exhibit:

- Residential Lot
- Remainder Parcel

[Remainder of page intentionally left blank.]

RESIDENTIAL LOT HOMEBUYER DISCLOSURE

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
ANGLETON, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

LOT TYPE RESIDENTIAL LOT PRINCIPAL ASSESSMENT: \$19,139.78

As the purchaser of the real property described above, you are obligated to pay assessments to Angleton, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Kiber Reserve Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of Angleton. The exact amount of each annual installment will be approved each year by the Angleton City Council in the annual service plan update for the district. More information about the assessments, including the amounts and due dates, may be obtained from the City of Angleton.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

§

§

COUNTY OF _____

§

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

§

§

COUNTY OF _____

§

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

ANNUAL INSTALLMENTS - RESIDENTIAL LOT

Lot Type Residential Annual Installments								
Annual Installments Due	Principal		Interest ²		Annual Collection Costs	Annual Installment ¹		
1/31/2023	\$	338.99	\$	773.25	\$	1,307.94		
1/31/2024	\$	352.69	\$	759.55	\$	1,311.85		
1/31/2025	\$	366.93	\$	745.30	\$	1,315.84		
1/31/2026	\$	381.76	\$	730.48	\$	1,319.91		
1/31/2027	\$	397.18	\$	715.06	\$	1,324.07		
1/31/2028	\$	413.23	\$	699.01	\$	1,328.31		
1/31/2029	\$	429.92	\$	682.32	\$	1,332.63		
1/31/2030	\$	447.29	\$	664.95	\$	1,337.03		
1/31/2031	\$	465.36	\$	646.88	\$	1,341.53		
1/31/2032	\$	484.16	\$	628.08	\$	1,346.12		
1/31/2033	\$	503.72	\$	608.52	\$	1,350.79		
1/31/2034	\$	524.07	\$	588.17	\$	1,355.56		
1/31/2035	\$	545.24	\$	566.99	\$	1,360.43		
1/31/2036	\$	567.27	\$	544.97	\$	1,365.40		
1/31/2037	\$	590.19	\$	522.05	\$	1,370.46		
1/31/2038	\$	614.03	\$	498.20	\$	1,375.62		
1/31/2039	\$	638.84	\$	473.40	\$	1,380.89		
1/31/2040	\$	664.65	\$	447.59	\$	1,386.26		
1/31/2041	\$	691.50	\$	420.74	\$	1,391.74		
1/31/2042	\$	719.44	\$	392.80	\$	1,397.33		
1/31/2043	\$	748.50	\$	363.73	\$	1,403.04		
1/31/2044	\$	778.74	\$	333.49	\$	1,408.85		
1/31/2045	\$	810.20	\$	302.03	\$	1,414.78		
1/31/2046	\$	842.94	\$	269.30	\$	1,420.84		
1/31/2047	\$	876.99	\$	235.25	\$	1,427.01		
1/31/2048	\$	912.42	\$	199.82	\$	1,433.30		
1/31/2049	\$	949.28	\$	162.95	\$	1,439.72		
1/31/2050	\$	987.64	\$	124.60	\$	1,446.27		
1/31/2051	\$	1,027.54	\$	84.70	\$	1,452.95		
1/31/2052	\$	1,069.05	\$	43.19	\$	1,459.77		
Total	\$	19,139.78	\$	14,227.34	\$	7,939.13	\$	41,306.26

Footnotes:

1) The figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, interest earnings, or other available offsets could increase or decrease the amounts shown.

2) The interest rate on the Reimbursement Obligation is estimated at a 4.04% rate.

REMAINDER PARCEL HOMEBUYER DISCLOSURE

NOTICE OF OBLIGATIONS RELATED TO PUBLIC IMPROVEMENT DISTRICT

A person who proposes to sell or otherwise convey real property that is located in a public improvement district established under Subchapter A, Chapter 372, Local Government Code (except for public improvement districts described under Section 372.005), or Chapter 382, Local Government Code, shall first give to the purchaser of the property this written notice, signed by the seller.

For the purposes of this notice, a contract for the purchase and sale of real property having a performance period of less than six months is considered a sale requiring the notice set forth below.

This notice requirement does not apply to a transfer:

- 1) under a court order or foreclosure sale;
- 2) by a trustee in bankruptcy;
- 3) to a mortgagee by a mortgagor or successor in interest or to a beneficiary of a deed of trust by a trustor or successor in interest;
- 4) by a mortgagee or a beneficiary under a deed of trust who has acquired the land at a sale conducted under a power of sale under a deed of trust or a sale under a court-ordered foreclosure or has acquired the land by a deed in lieu of foreclosure;
- 5) by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust;
- 6) from one co-owner to another co-owner of an undivided interest in the real property;
- 7) to a spouse or a person in the lineal line of consanguinity of the seller;
- 8) to or from a governmental entity; or
- 9) of only a mineral interest, leasehold interest, or security interest

The following notice shall be given to a prospective purchaser before the execution of a binding contract of purchase and sale, either separately or as an addendum or paragraph of a purchase contract. In the event a contract of purchase and sale is entered into without the seller having provided the required notice, the purchaser, subject to certain exceptions, is entitled to terminate the contract.

A separate copy of this notice shall be executed by the seller and the purchaser and must be filed in the real property records of the county in which the property is located at the closing of the purchase and sale of the property.

AFTER RECORDING¹ RETURN TO:

NOTICE OF OBLIGATION TO PAY IMPROVEMENT DISTRICT ASSESSMENT TO
ANGLETON, TEXAS
CONCERNING THE FOLLOWING PROPERTY

STREET ADDRESS

REMAINDER PARCEL PRINCIPAL ASSESSMENT: \$861,290.32

As the purchaser of the real property described above, you are obligated to pay assessments to Angleton, Texas, for the costs of a portion of a public improvement or services project (the "Authorized Improvements") undertaken for the benefit of the property within *Kiber Reserve Public Improvement District* (the "District") created under Subchapter A, Chapter 372, Local Government Code.

AN ASSESSMENT HAS BEEN LEVIED AGAINST YOUR PROPERTY FOR THE AUTHORIZED IMPROVEMENTS, WHICH MAY BE PAID IN FULL AT ANY TIME. IF THE ASSESSMENT IS NOT PAID IN FULL, IT WILL BE DUE AND PAYABLE IN ANNUAL INSTALLMENTS THAT WILL VARY FROM YEAR TO YEAR DEPENDING ON THE AMOUNT OF INTEREST PAID, COLLECTION COSTS, ADMINISTRATIVE COSTS, AND DELINQUENCY COSTS.

The exact amount of the assessment may be obtained from the City of Angleton. The exact amount of each annual installment will be approved each year by the Angleton City Council in the annual service plan update for the district. More information about the assessments, including the amounts and due dates, may be obtained from the City of Angleton.

Your failure to pay any assessment or any annual installment may result in penalties and interest being added to what you owe or in a lien on and the foreclosure of your property.

¹ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County when updating for the Current Information of Obligation to Pay Improvement District Assessment.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

The undersigned seller acknowledges providing this notice to the potential purchaser before the effective date of a binding contract for the purchase of the real property at the address described above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER]²

² To be included in copy of the notice required by Section 5.014, Tex. Prop. Code, to be executed by seller in accordance with Section 5.014(a-1), Tex. Prop. Code.

[The undersigned purchaser acknowledges receipt of this notice before the effective date of a binding contract for the purchase of the real property at the address described above. The undersigned purchaser acknowledged the receipt of this notice including the current information required by Section 5.0143, Texas Property Code, as amended.

DATE:

DATE:

SIGNATURE OF PURCHASER

SIGNATURE OF PURCHASER

STATE OF TEXAS

§

§

COUNTY OF _____

§

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]³

³ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

[The undersigned seller acknowledges providing a separate copy of the notice required by Section 5.014 of the Texas Property Code including the current information required by Section 5.0143, Texas Property Code, as amended, at the closing of the purchase of the real property at the address above.

DATE:

DATE:

SIGNATURE OF SELLER

SIGNATURE OF SELLER

STATE OF TEXAS

§

COUNTY OF _____

§

§

The foregoing instrument was acknowledged before me by _____ and _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he or she executed the same for the purposes therein expressed.

Given under my hand and seal of office on this _____, 20__.

Notary Public, State of Texas]⁴

⁴ To be included in separate copy of the notice required by Section 5.0143, Tex. Prop. Code, to be executed at the closing of the purchase and sale and to be recorded in the deed records of Brazoria County.

ANNUAL INSTALLMENTS - REMAINDER PARCEL

Remainder Parcel Annual Installments								
Annual Installments Due 1/31	Principal		Interest ²		Annual Collection Costs	Annual Installment ¹		
1/31/2023	\$	15,254.56	\$	34,796.13	\$	8,806.45	\$	58,857.14
1/31/2024	\$	15,870.85	\$	34,179.84	\$	8,982.58	\$	59,033.27
1/31/2025	\$	16,512.03	\$	33,538.66	\$	9,162.23	\$	59,212.92
1/31/2026	\$	17,179.12	\$	32,871.58	\$	9,345.48	\$	59,396.17
1/31/2027	\$	17,873.15	\$	32,177.54	\$	9,532.39	\$	59,583.08
1/31/2028	\$	18,595.23	\$	31,455.46	\$	9,723.03	\$	59,773.73
1/31/2029	\$	19,346.48	\$	30,704.22	\$	9,917.49	\$	59,968.19
1/31/2030	\$	20,128.07	\$	29,922.62	\$	10,115.84	\$	60,166.54
1/31/2031	\$	20,941.25	\$	29,109.45	\$	10,318.16	\$	60,368.85
1/31/2032	\$	21,787.27	\$	28,263.42	\$	10,524.52	\$	60,575.22
1/31/2033	\$	22,667.48	\$	27,383.21	\$	10,735.02	\$	60,785.71
1/31/2034	\$	23,583.25	\$	26,467.45	\$	10,949.72	\$	61,000.41
1/31/2035	\$	24,536.01	\$	25,514.68	\$	11,168.71	\$	61,219.40
1/31/2036	\$	25,527.26	\$	24,523.43	\$	11,392.08	\$	61,442.78
1/31/2037	\$	26,558.56	\$	23,492.13	\$	11,619.93	\$	61,670.62
1/31/2038	\$	27,631.53	\$	22,419.16	\$	11,852.32	\$	61,903.02
1/31/2039	\$	28,747.84	\$	21,302.85	\$	12,089.37	\$	62,140.06
1/31/2040	\$	29,909.26	\$	20,141.44	\$	12,331.16	\$	62,381.85
1/31/2041	\$	31,117.59	\$	18,933.10	\$	12,577.78	\$	62,628.47
1/31/2042	\$	32,374.74	\$	17,675.95	\$	12,829.34	\$	62,880.03
1/31/2043	\$	33,682.68	\$	16,368.01	\$	13,085.92	\$	63,136.62
1/31/2044	\$	35,043.46	\$	15,007.23	\$	13,347.64	\$	63,398.33
1/31/2045	\$	36,459.22	\$	13,591.48	\$	13,614.60	\$	63,665.29
1/31/2046	\$	37,932.17	\$	12,118.52	\$	13,886.89	\$	63,937.58
1/31/2047	\$	39,464.63	\$	10,586.06	\$	14,164.62	\$	64,215.32
1/31/2048	\$	41,059.00	\$	8,991.69	\$	14,447.92	\$	64,498.61
1/31/2049	\$	42,717.78	\$	7,332.91	\$	14,736.88	\$	64,787.57
1/31/2050	\$	44,443.58	\$	5,607.11	\$	15,031.61	\$	65,082.31
1/31/2051	\$	46,239.10	\$	3,811.59	\$	15,332.25	\$	65,382.94
1/31/2052	\$	48,107.16	\$	1,943.53	\$	15,638.89	\$	65,689.58
Total	\$	861,290.32	\$	640,230.45	\$	357,260.83	\$	1,858,781.60

Footnotes:

- 1) The figures shown above are estimates only and subject to change in Annual Service Plan Updates. Changes in Annual Collection Costs, interest earnings, or other available offsets could increase or decrease the amounts shown.
- 2) The interest rate on the Reimbursement Obligation is estimated at a 4.04% rate.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 8/23/2022

PREPARED BY: Megan Mainer, Director of Parks & Recreation

AGENDA CONTENT: Discussion and possible action on a thirty-day contract extension request from DL Meacham, Lakeside Park Contractor, due to delays associated with the TDI design revisions.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: NA **FUNDS REQUESTED:** NA

FUND: NA

EXECUTIVE SUMMARY:

DL Meacham, contractor, is requesting 30 days be added to the Lakeside Park construction contract duration due to delays associated with the TDI design revisions needed for this project. The 30 days accounts for the time between notice to proceed and the date ASI 001 was issued, in which DL Meacham could not procure materials and arrange subcontractors due to the change in design.

Clark Condon, contract administrators, provided the information below regarding TDI and the proposed extension:

The first RFI which asked if TDI inspection was required was submitted 11/8/2021. The next RFI mentioning items that had to be changed to meet TDI was submitted on 11/10/2021.

Clark Condon provided updated specifications on items that needed to meet TDI requirements which were provided by Studio Red, Lakeside Park Architect, on 12/8/2021. The first proposal Clark Condon received for these TDI changes was sent for review on 2/4/2022. Clark Condon began receiving and reviewing all submittals associated with TDI changes and provided timely response so the project could proceed without delay.

Also, Clark Condon and Contractor were in constant discussions on cost associated with TDI changes.

Additionally, Clark Condon informed the City, there was no mention of delaying the project due to TDI issues. If TDI changes presented a scheduling and completion date issue, the start date could have been delayed. The items that were required to change to meet TDI requirements were addressed and approved in submittals prior to Meacham beginning any work on the pavilion. A

recent submittal pertaining to architectural louvers fabricated were reviewed and approved on-site last month.

RECOMMENDATION:

Staff recommends City Council discuss the impacts TDI requirements had on the project timeline and determine if an extension is warranted based on information provided by the Contractor, DL Meacham, and Contract Administrator, Clark Condon.



TIME EXTENSION REQUEST FORM

P.O. Box 431789 Houston, Texas 77243
Office: 713.465.1905

#002

PROPOSAL SUBMITTED TO		DATE	PROJECT NUMBER
Clark Condon		7/22/2022	62805
PHONE NUMBER	FAX NUMBER	PROJECT NAME	
713-871-1414		Angleton Lakeside Park	
Company Name		ADDRESS,CITY, STATE, ZIP	
Brandon Whittaker		1234 Enchanted Oaks Dr. Angleton, TX 77515	

We request extension of completion time on our Contract in the amount of 30 Calendar/Working Days specified as follows:

Description

DL Meacham is requesting 30 days be added to the contract duration due to delays associated with the TDI design revisions needed for this project

- The 30 days accounts for the time between NTP (11/8/21) and the date ASI 001 was issued (12/8/21), in which DLM could not procure materials and sign up subcontractors due to the change in design
- New Final Completion Date: 12/2/22

Total Number of Day Accepted: _____

SIGNATURE _____

DATE OF ACCEPTANCE _____

Tanner Shipp
Project Manager
DL Meacham LP

Narrative

Prior to being issued NTP (Notice-to-Proceed) on 11/8, DLM submitted an RFI on 11/1 to the Design Team requesting confirmation if the project needed to meet TDI (Texas Department of Insurance) requirements due to the location of the project. A month later on 12/8, ASI 001 was issued by the Design Team with the revised specifications which complied with TDI requirements.

DLM is requesting for a time extension for the period between being issued NTP and when ASI 001 was received (30 days) to be added to our contractual duration agreement due to not having all the project specifications prior to the start of the project. This change in design has prevented DLM from signing up subcontractors and procuring materials in a timely manner and has resulted in additional costs and delays that should not be at the expense of DLM.

Please see timeline and supporting documentation below.

11/1/2021 – DLM submitted RFI #001 – TDI Requirements Confirmation to Clark Condon for review (Exhibit 1)

11/8/2021 – Clark Condon issued Notice-to-Proceed (Exhibit 2)

12/8/2021 – Studio Red issued ASI #001 for review and approved CP#01 (Exhibit 1)

2/3/2022 – DLM submitted CP#03 to Clark Condon for review (Exhibit 3)

4/13/2022 – DLM submitted revised CP#03 to Clark Condon for review (Exhibit 4)

Below are some examples of materials that changed per ASI 001. Throughout the project, DLM has spent many hours coordinating with the Design Team, our subcontractors, and the TDI inspector to procure the correct materials and to help reduce costs. DLM has released these materials, out of good faith, without having received compensation or delays in order to finish the project on time.

- **Air Barriers** – DLM submitted weather barrier (Submittal #005) on 9/24/2021 which was approved by Studio Red on 10/5/21. Per the revised specifications, the previously submitted product was not included as an approved manufacturer/product. DLM requested direction from Clark Condon as to how to proceed on 4/22/22, see attached correspondence (Exhibit 5). Per phone conversation between DLM, Clark Condon, and Studio Red, it was verbally agreed that DLM was to proceed with the originally approved product. DLM submitted RFI #041 on 8/15/22 requesting confirmation for the records.
- **Hollow Metal Doors & Frames** – DLM submitted the HM doors and frames (Submittal #026) per the revised specifications on 1/10/22 which was approved by Studio Red on 1/12/22 with exceptions noted. DLM had to coordinate with TDI inspector to confirm the returned comments by the architect met TDI requirements. DLM resubmitted the HM doors and frames (Submittal #026.1) on 2/1/22 which was approved by Studio Red on 2/7/22.
- **Door Hardware** – DLM submitted the door hardware (Submittal #027) per the revised specifications on 1/10/22 which was approved by Studio Red on 1/24/22.
- **Service Teller Window Unit** – A completely different product was requested per the revised specifications than that originally specified and shown on the drawings. DLM requested direction from Clark Condon as to how to proceed on 4/22/22, see attached (Exhibit 5). DLM submitted the service teller window unit (Submittal #045) on 6/1/22 which was approved by Studio Red on 6/23/22.

- **HVAC Louver** – The HVAC louver specified on the IFC drawings did not meet TDI requirements. DLM did not received a revised specification for this product in ASI 001, however, we coordinated with our subcontractor to submit a TDI rated product that was similar to that shown on the drawings. DLM submitted the HVAC louver (Submittal #028) on 2/4/22 which was rejected by Studio Red on 2/10/22. Studio Red approved the original product that was submitted via RFI #19 on 3/23/22, stating that there was confusion between the HVAC louver and architectural louver material callouts on the drawings.
- **Architectural Louvers** – In order to reduce costs, DLM proposed to build the architectural louvers in-house in lieu of submitting a product per the revised louver specifications. Prior to submitting shop drawings to the design team, DLM coordinated with the TDI inspector and received his approval of the proposed product. DLM submitted the architectural louvers (Submittal #046) on 6/17/22, which was approved by Studio Red on 6/21/22.

DLM is still finding design elements that do meet TDI requirements that we are diligently coordinating with the Design Team and the TDI inspector to quickly resolve. We are committed to finishing this project in a timely manner and will continue to support the City of Angleton and the Design Team in any way that we can.

Exhibit 1



D.L. Meacham LP
 2102 Hoskins Dr
 Houston, Texas 77080
 P: (713) 465-1905
 F: 713 465-2744

Project: 62805 Angleton Lakes Item 14.
 Anc
 Angleton, Texas 77515
 P: 979-849-4364

RFI #1: TDI Requirements Confirmation

Status	Closed on 05/23/22		
To	Brandon Whittaker (Clark Condon)	From	Tanner Shipp (D L Meacham LP)
Date Initiated	Nov 1, 2021	Due Date	Feb 11, 2022
Location		Project Stage	Pre-Construction
Cost Impact	TBD	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Luis Becerra (D L Meacham LP), Isaac Espino (D L Meacham LP), Carrie Wicke (D L Meacham LP), Charlie Willing (D L Meacham LP)		

Activity

Question

Question from Tanner Shipp D L Meacham LP on Monday, Nov 1, 2021 at 02:24 PM CDT
 Per previous discussion, please confirm if this project needs to meet TDI (Texas Department of Insurance) requirements.

Awaiting an Official Response

All Replies

Response from Tanner Shipp D L Meacham LP on Friday, Feb 4, 2022 at 10:57 AM CST
 DLM sent cost changes associated with ASI 001 to Clark Condon for review on 2/4.

Response from Brandon Whittaker Clark Condon on Wednesday, Dec 8, 2021 at 10:53 AM CST
 See attached fully executed Change Order No. 1 for TDI Inspections.
 Also attached, ASI 01 Updated specifications provided by Studio Red complying with TDI requirements.

Attachments
[211130_CO #1_Lakeside Park_119-076 FINAL.pdf](#), [211208_AIA ASI_Lakeside Park_119-076.pdf](#)

Response from Brandon Whittaker Clark Condon on Tuesday, Nov 30, 2021 at 08:40 AM CST
 As per discussion with the City of Angleton, TDI inspection will be required. The proposal for this inspection has been submitted to the City for their approval. Once the signed proposal has been received, we will provide a copy.

Response from Tanner Shipp D L Meacham LP on Friday, Nov 19, 2021 at 09:41 AM CST
 Please see attached proposal for the TDI inspections needed for this project. This is proposal is from Jun Yang who was recommended by Sigma Engineering Services, per the previous RFI response

Attachments
[Structural Engineering Service Plus Proposal.pdf](#)

Response from Tanner Shipp D L Meacham LP on Wednesday, Nov 10, 2021 at 11:00 AM CST

I have forwarded this response to all our Architectural players, and have received commentary stating pricing changes to meet the TDI requirement. I am in the process of gathering all this information and will submit a change order for approval. The TDI requirements was not disclosed on the IFB's or IFC's, that is what is causing the change order.

Response from Brandon Whittaker Clark Condon on Monday, Nov 8, 2021 at 07:35 PM CST

See attached from Sigma Engineering Services.

Attachments

[RFI 01 - TDI Requirements confirmation.pdf](#)

D.L. MEACHAM
CONSTRUCTION LP

Change Proposal

Angleton Lakeside Park

P.O. Box 431789 Houston, Texas 77243
Office: 713.465.1905
Fax: 713.465.2744

TDI Inspector

#01

PROPOSAL SUBMITTED TO		DATE	DATE OF PLANS/PAGE #'s
Clark Condon		11/23/2021	
PHONE NUMBER	Added Days	JOB NAME	
713-871-1414	0	Angleton Lakeside Park	
Attention		ADDRESS,CITY, STATE, ZIP	
Brandon Whittaker		1234 Enchanted Oaks Dr. Angleton, TX 77515	

We propose to furnish material and labor necessary of:

Description	Qty	Unit	Unit Price	Extension
Scope of work:				
TDI Inspector - Windstorm WPI-8 Certification - See attached proposal from Structural Engineering Service Plus (Jun Yang); recommended inspector by Sigma Engineering (RFI #01) - 4 Inspections	1	LS	\$ 3,600.00	\$ 3,600.00
Total: \$				3,600.00

SIGNATURE 

DATE OF ACCEPTANCE 12/7/2021

ACCEPTANCE OF PROPOSAL The above prices, specifications and conditions are satisfactory and are hereby accepted.

Tanner Shipp
Project Manager
DL Meacham LP

Exhibit 2

VI. NOTICE TO PROCEED

Owner: City of Angleton
Megan Mainer
Director of Parks & Recreation
979.849.4364 ext. 4101

Contractor: D.L. Meacham Construction LP
2102 Hoskins Dr.
Houston, TX 77080
Tanner Shipp
713.465.1905

Date of Contract: September 20, 2021

Work: Angleton Lakeside Park

Owner gives notice to Contractor that the Work under the contract shall commence on **November 8, 2021**, on which date the Contract Time **270** calendar days shall begin to run.

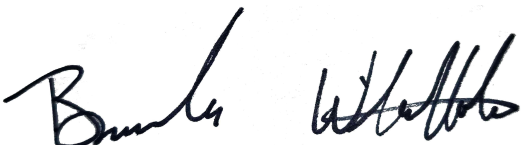
Approval: 
(Owner) (Owner's Representative)

Exhibit 3

Tanner Shipp

From: Tanner Shipp
Sent: Friday, February 4, 2022 7:16 AM
To: Brandon Whittaker
Cc: Carrie Wicke (carrie@dlmeacham.com); Charlie Willing (charlie@dlmeacham.com)
Subject: Lakeside Park - CP#03 - ASI 001 TDI Changes
Attachments: CP#03 - ASI 001 TDI Changes.pdf

Morning Brandon,

Please see attached **CP#03 - ASI 001 TDI Changes** for your review. I have most of the submittals ready to go. I will submit them via procore today.

Let me know if you have any questions.

Thank you,



Tanner Shipp
Phone: [713-465-1905](tel:713-465-1905) **Mobile:** 214-886-4671
Address: 2102 Hoskins Dr., Houston, TX 77080
Email: tshipp@dlmeacham.com
www.dlmeacham.com

D.L. MEACHAM
CONSTRUCTION LP

Change Proposal

Angleton Lakeside Park

P.O. Box 431789 Houston, Texas 77243
Office: 713.465.1905
Fax: 713.465.2744

ASI 001 / TDI Changes

#03

PROPOSAL SUBMITTED TO		DATE	DATE OF PLANS/PAGE #'s
Clark Condon		2/3/2022	
PHONE NUMBER	Added Days	JOB NAME	
713-871-1414	25	Angleton Lakeside Park	
Attention		ADDRESS,CITY, STATE, ZIP	
Brandon Whittaker		1234 Enchanted Oaks Dr. Angleton, TX 77515	

We propose to furnish material and labor necessary of:

Description	Qty	Unit	Unit Price	Extension
Scope of work: See cost changes below needed to meet TDI Requirements outlined in ASI 001 and per discussions with the TDI Inspector				
Spec Sections:				
04 4313 Stone Masonry Veneer			No Cost Change	
07 2500 Weather Barrier			No Cost Change	
07 4113 Metal Roof Panels			No Cost Change	
07 4623 Wood Siding			No Cost Change	
07 4646 Fiber-Cement Siding			No Cost Change	
07 6200 Sheet Metal Flashing & Trim			No Cost Change	
08 5659 Service Teller Window Units			No Cost Change	
07 2700 Air Barriers	1	LS	\$ 2,843.75	\$ 2,843.75
08 1113 HM Doors & Frames	1	LS	\$ 3,363.75	\$ 3,363.75
08 7100 Door Hardware	1	LS	\$ 1,551.88	\$ 1,551.88
08 9100 Louvers	1	LS	\$ 9,499.75	\$ 9,499.75
HVAC Louvers	1	LS	\$ 2,088.13	\$ 2,088.13
Construction Hardware - Allowance	1	LS	\$ 5,000.00	\$ 5,000.00
**Allowance for additional clips, screws, and other misc. hardware that will be needed per the TDI Inspector's request. DLM will provide receipts for material if/when ordered				

Total: \$ 24,347.26

SIGNATURE _____

DATE OF ACCEPTANCE _____

ACCEPTANCE OF PROPOSAL The above prices, specifications and conditions are satisfactory and are hereby accepted.

Tanner Shipp
Project Manager
DL Meacham LP

Exhibit 4

Tanner Shipp

From: Tanner Shipp
Sent: Wednesday, April 13, 2022 4:11 PM
To: 'Brandon Whittaker'
Cc: Carrie Wicke; 'Elizabeth Gilbert'
Subject: RE: Angleton Lakeside Park
Attachments: CP#03 - ASI 001 TDI Changes Rev_2022.4.13.pdf

Brandon,

Please see attached. I'll give you a call in a few to discuss.

Thank you,

Tanner Shipp
Project Manager

2102 Hoskins Rd. Houston, TX 77080
D (713) 465-1905
C (214) 886-4671
tshipp@dlmeacham.com
www.dlmeacham.com



From: Tanner Shipp
Sent: Wednesday, April 13, 2022 9:12 AM
To: 'Brandon Whittaker' <bwhittaker@clarkcondon.com>
Cc: Carrie Wicke <carrie@dlmeacham.com>; Elizabeth Gilbert <egilbert@clarkcondon.com>
Subject: RE: Angleton Lakeside Park

Brandon,

I'm in the process of putting together everything Isaac had discussed with Studio red and the TDI inspector. I'll send over it over to you here shortly and will give you a call to discuss.

Thank you,

Tanner Shipp
Project Manager

2102 Hoskins Rd. Houston, TX 77080
D (713) 465-1905
C (214) 886-4671
tshipp@dlmeacham.com
www.dlmeacham.com



From: Brandon Whittaker <bwhittaker@clarkcondon.com>
Sent: Wednesday, April 13, 2022 8:40 AM
To: Tanner Shipp <tshipp@dlmeacham.com>
Cc: Carrie Wicke <carrie@dlmeacham.com>; Elizabeth Gilbert <egilbert@clarkcondon.com>
Subject: Angleton Lakeside Park

Tanner,

Where are we on the TDI items? Has all the equipment and selections been completed and discussed with Studio Red?

Thank you,

Brandon Whittaker PLA, ASLA, TX IRRIGATION LIC #20647
Senior Associate

CLARK CONDON



Change Proposal

Angleton Lakeside Park

P.O. Box 431789 Houston, Texas 77243
Office: 713.465.1905
Fax: 713.465.2744

ASI 001 / TDI Changes

#03

PROPOSAL SUBMITTED TO		DATE	DATE OF PLANS/PAGE #s
Clark Condon		2/3/2022	
PHONE NUMBER	Added Days	JOB NAME	
713-871-1414	20	Angleton Lakeside Park	
Attention		ADDRESS,CITY, STATE, ZIP	
Brandon Whittaker		1234 Enchanted Oaks Dr. Angleton, TX 77515	

We propose to furnish material and labor necessary of:

Description	Qty	Unit	Unit Price	Extension
Scope of work: See cost changes below needed to meet TDI Requirements outlined in ASI 001 and per discussions with the TDI Inspector. **Please note: Lead times have not been confirmed on all of these materials				
Spec Sections:				
04 4313 Stone Masonry Veneer			No Cost Change	
07 2500 Weather Barrier			No Cost Change	
07 4113 Metal Roof Panels			No Cost Change	
07 4623 Wood Siding			No Cost Change	
07 4646 Fiber-Cement Siding			No Cost Change	
07 6200 Sheet Metal Flashing & Trim			No Cost Change	
07 2700 Air Barriers	1	LS	\$ 2,843.75	\$ 2,843.75
Air barrier material changed from Henry Air Bloc #17 to Pecora ProPerm VP				
08 1113 HM Doors & Frames	1	LS	\$ 3,363.75	\$ 3,363.75
HM door and frame material had to be changed from 18ga to 16ga material and with additional screws				
08 7100 Door Hardware	1	LS	\$ 1,551.88	\$ 1,551.88
There is a louver shown on the door elevation but not on the door hardware schedule, Sheet A5.20. Per discussion with Studio Red and Telios, the louvers were part of the mechanical design criteria for the room and needed to be installed on the door. The louver material is to be 16ga similar to the HM door and frame				
08 5659 Service Teller Window Units	1	LS	\$ 3,840.00	\$ 3,840.00
Window unit changed from Easi-Serve SS Series Side Sliding Window to Quickserv BRDW1-4855 Combination unit with QSP-713S drive through package; The price included is for a quick serve product that matches closer with the Easi Serve sliding window, Quickserv Model SC-4030-IP (see attached product data). Please advise if we are to price the service window provided on the revised spec or if we are to proceed with a product similar to the Easi Serve originally specified				
08 9100 Louvers	1	LS	\$ 6,499.75	\$ 6,499.75
See attached proposed louver product data. DLM proposes to build the louvers in house to save on costs. Shop drawings will be provided to TDI inspector for formal approval. Photos of louvers built for another project will be sent for review and approval				
HVAC Louvers	1	LS	\$ 2,088.13	\$ 2,088.13
Louver Model # ESD-635 shown on Note 1/Sheet M-201 was not rated for TDI. Price difference is for ESD-635D which meets TDI requirements. There are 2 louvers to be installed at the concessions room				
Construction Hardware - Allowance	1	LS	\$ 5,000.00	\$ 5,000.00
This is an allowance for additional clips, screws, and other misc. hardware that will be needed per the TDI Inspector's request. DLM will provide receipts for material if/when ordered. DLM to revisit if allowance is exceeded				
Total:				\$ 25,187.26

SIGNATURE _____

DATE OF ACCEPTANCE _____

ACCEPTANCE OF PROPOSAL The above prices, specifications and conditions are satisfactory and are hereby accepted.

Tanner Shipp
Project Manager
DL Meacham LP

Exhibit 5

Tanner Shipp

From: Tanner Shipp
Sent: Friday, April 22, 2022 8:14 AM
To: Elizabeth Gilbert
Cc: Carrie Wicke (carrie@dlmeacham.com); Charlie Willing (charlie@dlmeacham.com); Isaac Espino; Brandon Whittaker
Subject: Lakeside Park - CP#03 - ASI 001 TDI Changes
Attachments: CP#03 - ASI 001 TDI Changes Rev_2022.4.13.pdf; TDI Insoector Response.pdf

Elizabeth,

I know you are working through the TDI pricing with Studio Red, but we are needing a decision on these items here asap in order to have this material in time. We've already released a few of these items with approved submittals to have material onsite in time.

Air Barriers: Material not released. Confirm if we are to use the original specified Henry Air Bloc (already approved submittal #005) or if we are to submit revised product Pecora ProPerm VP

HM Doors & Frames: This material was released in February (see approved submittal #026.1)

Door Hardware: This material was released in February (see approved submittal #027)

Service Teller Window Units: Material not released. The revised TDI spec 08 5659 shows a different product with a drive thru attachment, not sure if this was needed). Original product was just a single sliding window unit. Need to order asap 4-6 week lead time.

Architectural Louvers: We were able to cut costs on these louvers by proposing to build these in-house vs. ordering specified product. See attached email correspondence from TDI inspector approving alternate louver. We need to order this material asap in order to secure pricing and to start fabricating

HVAC Louvers: This material was released in March (see RFI response #19)

Construction Hardware: This is an allowance for any additional material that might be required per the TDI inspector's request. We will provide material invoices as needed.

Let us know if you have any questions.

Thank you,

Tanner Shipp
Project Manager

2102 Hoskins Rd. Houston, TX 77080
D (713) 465-1905
C (214) 886-4671
tshipp@dlmeacham.com
www.dlmeacham.com



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 23, 2022

PREPARED BY: Chris Whittaker

AGENDA CONTENT: New Sewer Serves to County's EOC

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND:N/A

EXECUTIVE SUMMARY:

Brazoria County is currently building a new Emergency Operation Center (EOC) building on the west side of SH 288B north of Live Oak across from the Annex Building. The existing sanitary sewer in this area is extremely shallow and flat. The majority of this line is the original concrete line (only a small portion is pvc from the construction of the Annex Building). Currently, City staff monitors the flow in this sanitary sewer line and performs maintenance (cleaning) when required. The County has approached the City about their concerns on the existing sanitary sewer services to the EOC. When the EOC is being utilized during extreme events it houses 20 plus individuals to operate County business and to gather and disperse critical information to the public. The County is concerned about the possibility that during an extreme event maintenance would be required to keep the EOC sanitary sewer services available to the people housed and the City will be overtaxed with other priorities and obligations during this time.

The City has request HDR to look into possible solutions for this section of line. The material and condition of this line indicates that it is approaching its life expectancy. Also due to the shallow depths of this line downstream receiving the flow, installing a gravity sewer at the required TCEQ slopes to achieve a self-cleaning velocity is not possible. HDR has evaluated two potential option that would provide service to the EOC Building.

The City could install a small lift station and 3" force main to pump flow across SH 288B to an existing manhole downstream. During times of extreme event and power failures, the City has a portable generator that is utilized to power lift stations and pump down the collection system. This lift station and its service area could be included in that service program during extreme events. There are two options for this solution:

Option #1

Service the County's EOC only. This option would provide an independent collection system for the EOC (only) consisting of a lift station and force main. Section of the county's parking lot would be replaced to install the proposed force main with a new steel casing under SH 288B and connection point into the down stream system. This would address the County's concerns about the service to the EOC. However, the City would still have to maintain the existing gravity line that is quickly approaching its life expectancy for the remaining stakeholders on the west side of SH 288B. Please see attached flow calculations, exhibit, and OPCC for Option #1.

Option #2

Provide service to all facilities serviced by the existing sanitary sewer line. This would be the same process as above but include abandoning the existing old gravity sanitary sewer line and redirecting the existing flows to the proposed station. The station will then pump across to SH 288B through a 3" force main like option #1.

This will provide service to the west side of SH 288B and remove the sewer line that is quickly reaching its service life and requires maintenance. Please see attached flow calculations, exhibit, and OPCC for Option #2.

RECOMMENDATION: If Council elects to proceed forward with one of the two options stated above, Staff Recommends Option #2.

Option #1

Item 15.

Building	Flow(gpm)	Cameron Hydraulic Data Flow	2" Pipe Velocity (ft/s)	3" Pipe Velocity (ft/s)	4" Pipe Velocity (ft/s)
EOC	64	65	6.21	2.95	1.53-1.79

Proposed Force Main (ft) 714

Option #1

Item 15.



OPINION OF PROBABLE CONSTRUCTION COST					
City of Angleton Courthouse Expansion Project					
JUNE 2022					
Option 1 - Construction of a New Lift Station with 3" Force Main					
ITEM NO.	ITEM DESCRIPTION	UNIT	QUAN.	UNIT PRICE	TOTAL AMOUNT
A) GENERAL ITEMS					
1	Mobilization	L.S.	1	\$ 10,000.00	\$ 10,000.00
2	Traffic Control Plans and Flagmen	L.S.	1	\$ 10,000.00	\$ 10,000.00
3	SWPPP	L.S.	1	\$ 2,500.00	\$ 2,500.00
SUB-TOTAL GENERAL ITEMS					\$ 22,500.00
B) WATER ITEMS					
4	70 gpm Grinder Pump Station	L.S.	1	\$ 200,000.00	\$ 200,000.00
5	6" reinforced Concrete Point Repair including removal of existing concrete and 12" of Subgrade and Installation of 12" of Cement Stablized Sand	SY	1,250	\$ 180.00	\$ 225,000.00
6	Auger 8" Steel Casing	L.F.	100	\$ 150.00	\$ 15,000.00
7	3" Force Main	L.F.	750	\$ 25.00	\$ 18,750.00
8	Trench Safety	L.F.	750	\$ 2.00	\$ 1,500.00
SUB-TOTAL WATER LINE ITEMS					\$ 460,250.00
SUB-TOTAL					\$ 482,750.00
TxDOT Coordination					\$ 5,000.00
30% CONTINGENCY					\$ 144,825.00
5% MARKET VOLATILITY (N/A)					\$ 24,137.50
TOTAL OPINION OF PROBABLE CONSTRUCTION COST					\$ 656,712.50

Option #2

Item 15.

Buildings	L(ft)	W(ft)	Area (SF)	SU Equivalent	1.0SU = 250gpd	Flow(gpm)
A	59.5	54.9	3266.55	0.000237	193.54	0.54
B	160	55	8800	0.000237	521.40	1.45
C	160	50	8000	0.000237	474.00	1.32
D	120	68.6	8232	0.000237	487.75	1.35
E	192.8	39.2	7557.76	0.000237	447.80	1.24
F	157.7	100.8	15896.16	0.000237	941.85	2.62
G	28.3	25.7	727.31	0.000237	43.09	0.12
H	93.3	46.2	4310.46	0.000237	255.39	0.71
I	90.4	56	5062.4	0.000237	299.95	0.83
J	71	51.8	3677.8	0.000237	217.91	0.61
EOC						64
Tax Office						7.25
Total						82.03

Cameron Hydraulic Data	2" Pipe	3" Pipe	4" Pipe
Flow	Velocity (ft/s)	Velocity (ft/s)	Velocity (ft/s)
80	7.65	3.63	2.04
85	8.13	3.86	
90	8.6	4.08	2.3
95	9.08	4.31	
100	9.56	4.54	2.55
110	10.52	4.99	2.81
120	11.5	5.45	3.06

Proposed Force Main (ft) 714
Proposed Gravity Sewer Line (ft) 520
Proposed Manhole 2

Option #2

Item 15.



OPINION OF PROBABLE CONSTRUCTION COST					
City of Angleton Courthouse Expansion Project					
JUNE 2022					
Option 2 - Construction of a New Lift Station with 3" Force Main and 8" Gravity Sewer Line					
ITEM NO.	ITEM DESCRIPTION	UNIT	QUAN.	UNIT PRICE	TOTAL AMOUNT
A) GENERAL ITEMS					
1	Mobilization	L.S.	1	\$ 15,000.00	\$ 15,000.00
2	Traffic Control Plans and Flagmen	L.S.	1	\$ 20,000.00	\$ 20,000.00
3	SWPPP	L.S.	1	\$ 5,000.00	\$ 5,000.00
SUB-TOTAL GENERAL ITEMS					\$ 40,000.00
B) WATER ITEMS					
4	120 gpm Grinder Pump Station	L.S.	1	\$ 250,000.00	\$ 250,000.00
5	6" reinforced Concrete Point Repair including removal of existing concrete and 12" of Subgrade and Installation of 12" of Cement Stablized Sand	SY	1,250	\$ 180.00	\$ 225,000.00
6	Auger 8" Steel Casing	L.F.	100	\$ 150.00	\$ 15,000.00
5	3" Force Main	L.F.	750	\$ 25.00	\$ 18,750.00
6	8" Sanitary Sewer	L.F.	550	\$ 65.00	\$ 35,750.00
7	4' Diameter Sanitary Sewer Manhole	EA.	2	\$ 7,500.00	\$ 15,000.00
8	Trench Safety	EA.	750	\$ 2.00	\$ 1,500.00
SUB-TOTAL WATER LINE ITEMS					\$ 561,000.00
SUB-TOTAL					\$ 601,000.00
TxDOT Coordination					\$ 5,000.00
30% CONTINGENCY					\$ 180,300.00
5% MARKET VOLATILITY (N/A)					\$ 30,050.00
TOTAL OPINION OF PROBABLE CONSTRUCTION COST					\$ 816,350.00



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 23, 2022

PREPARED BY: Chris Whittaker

AGENDA CONTENT: Robinhood Sidewalks

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A

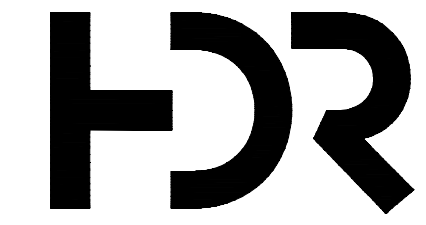
FUNDS REQUESTED: N/A

FUND:N/A

EXECUTIVE SUMMARY:

City Council directed HDR to evaluate the possibility of installing sidewalks on Robinhood Lane as part of the City Street Bond Project- Package #1 Project. The Contractor has completed the south side of Ridgecrest and is currently moving at a rapid pace to complete the north side of the roadway. He will be mobilizing to Robinhood soon. Please find the attached exhibits and construction costs for this task. These are rough numbers with assumptions made on possible construction impacts on trees. These assumptions will be vetted out during the design for the sidewalks if council elects to move forward. The south side has more issues due to trees. To stay away from existing trees, the sidewalk will be located adjacent to the roadway. However, there are mailboxes there that will require the sidewalk to contract at those locations or be in conflict. The northside could work but decisions on tree impacts will need to occur. Please note that installing sidewalks deep into City ROW closer to the existing homes will be viewed as taking residents front yards. This may be very unpopular with the residents on Robinhood.

RECOMMENDATION: If Council elects to proceed forward with one of the two options stated above, Staff will be bringing back a proposal for engineering services.



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PROJECT FOR
**2021 STREET BOND
PROJECT - PACKAGE 1**



PRIVATE UTILITY LINES SHOWN
AT LEAST 48 HOURS BEFORE EXCAVATING IN STREET R.O.W. OR
EASEMENTS CALL THE LONE STAR NOTIFICATION 713-223-4567.

TO ARRANGE FOR LINES TO BE TURNED OFF OR MOVED, CALL TEXAS NEW MEXICO POWER AT 409-945-2386

NOTICE:
For your safety, you are required by Texas Law to call 811 at least 48 hours before you dig, so that underground line can be marked. This signature does not fulfill your obligation to call 811.

VERIFICATION OF PRIVATE UTILITY LINES

Date: _____
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown.) This signature not to be used for conflict verification.

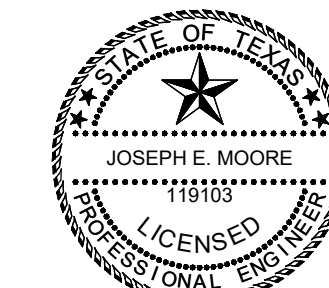
Signature Valid for six months.

Date: _____
Texas New Mexico Power Co. (Approved Only for Crossing Underground Ductlines. Unless Otherwise Noted.) Valid at Time of Review Only.

Date: _____
Approved for AT&T Texas/SWB Undergound Conduit Facilities ONLY.
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MARK	DATE	DESCRIPTION
▲	4-5-22	ADDENDUM NO. 1

PROJECT NUMBER	10318318
CHECKED BY	AARON CROLEY
DRAWN BY	G.S. FULLER



JEM
4-6-2022

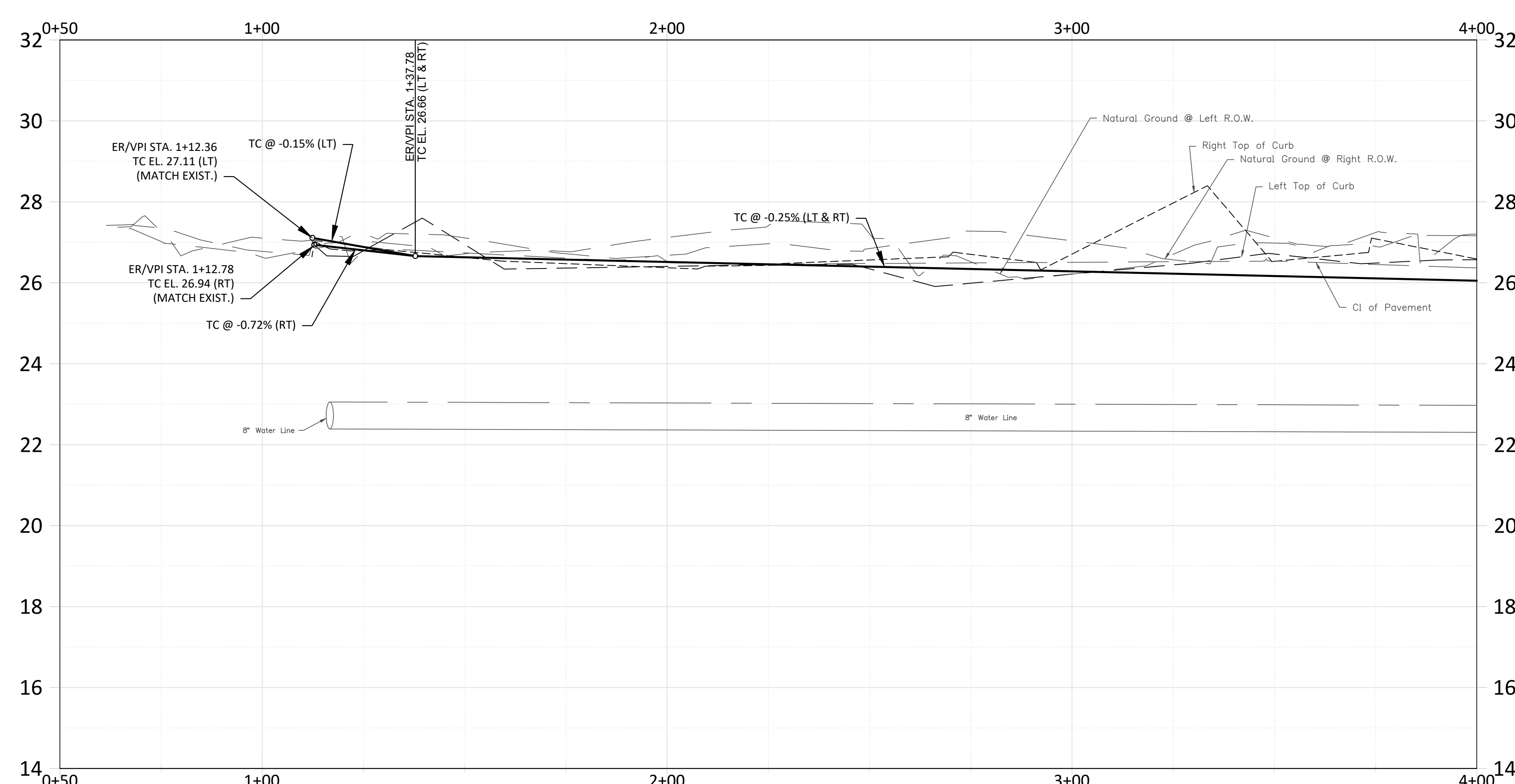
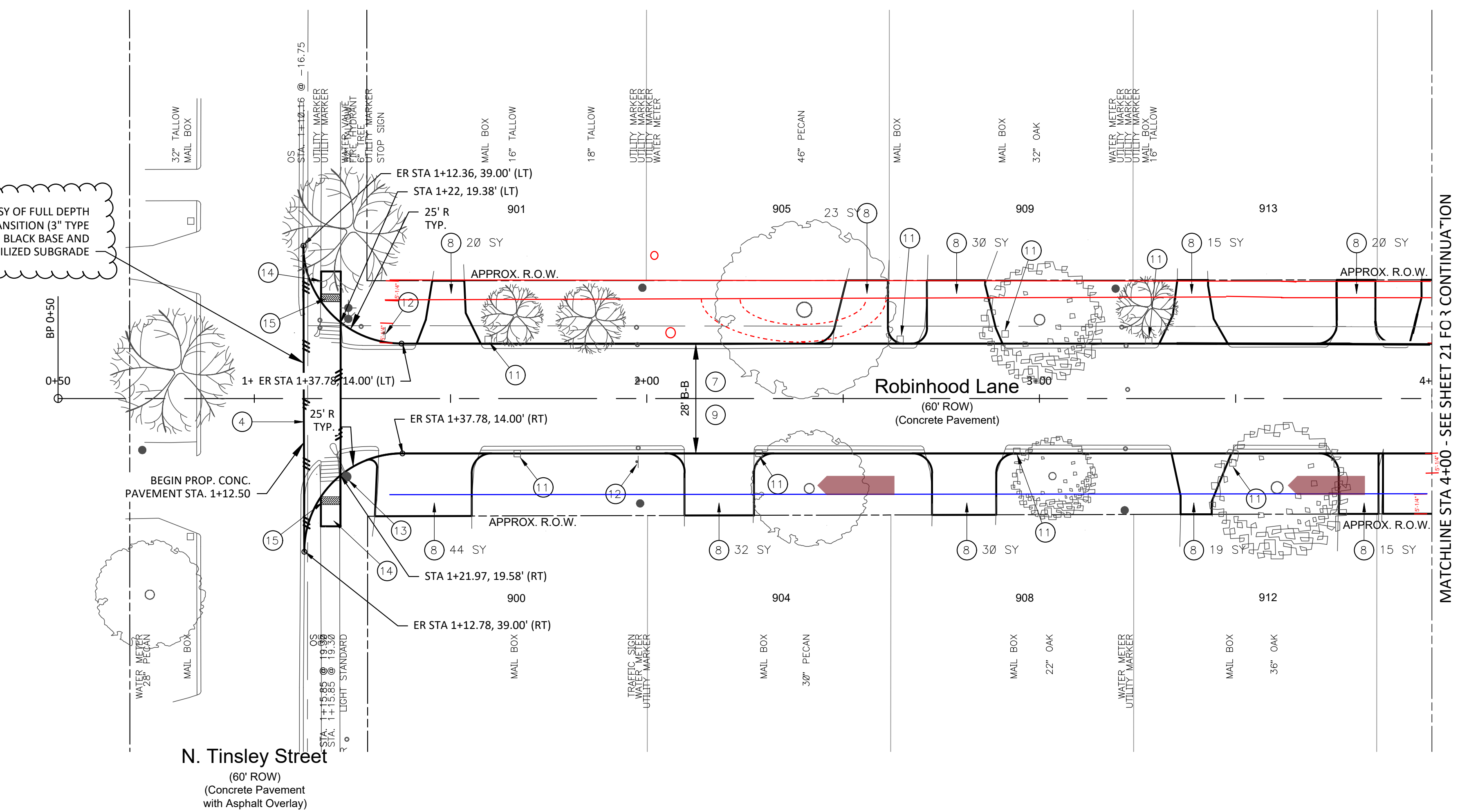
SHEET NAME
**Robinhood Lane
0+50 to Sta. 4+00**

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1" = 20' - H
1" = 2' - V

SHEET NUMBER
SHEET **20** OF 40

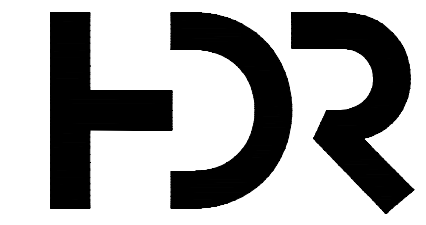
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- KEYNOTES:**
UTILITIES, PAVING & DRAINAGE
- ADJUST EXIST. VALVE BOX, METER BOX AND/OR CLEANOUT TO BE FLUSH WITH TOP OF PROPOSED P/VT OR FINISHED GRADE AS NOTED IN PLANS.
 - REMOVE EXISTING INLET, MANHOLE, OR JUNCTION BOX.
 - REMOVE EXISTING STORM SEWER PIPE OR CULVERT.
 - PROPOSED PAVING HEADER (NO UNDERCUT).
 - PROPOSED UNDERCUT PAVING CONNECTION PER STD. DETAIL.
 - PROP. FULL DEPTH SAW CUT (NO SEPARATE PAY).
 - REMOVE AND DISPOSED OF EXIST. PAVEMENT WITH OR WITHOUT CURB AND WITH OR WITHOUT ASPHALT OVERLAY.
 - REMOVE AND REPLACE DRIVEWAY WITH 6" CONCRETE PER DETAIL.
 - PROPOSED REINFORCED CONCRETE PAVEMENT W/4" LAYDOWN CURB.
 - PROPOSED REINFORCED CONCRETE PAVEMENT W/6" STANDARD CURB.
 - REMOVE AND RESET MAILBOX (INCLUDES TEMPORARY RELOCATION).
 - REMOVE AND SALVAGE EXISTING SIGN, REMOVE AND REPLACE SIGN POST. REMOUNT SALVAGE SIGN.
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 - ABANDON EXISTING WATER LINES PER SPECIFICATIONS
 - MONOLITHIC CURB AND GUTTER



PROP. 60 SY OF FULL DEPTH ASPHALT TRANSITION (3" TYPE D OVERLAY, 8" BLACK BASE AND 8" LIME STABILIZED SUBGRADE)





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Registration No. F-754

HDR Engineering, Inc.
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PROJECT - PACKAGE 1**



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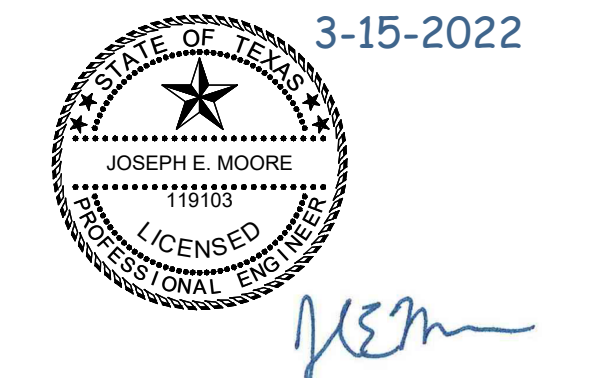
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CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown.) This signature not to be used for conflict verification.
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MARK	DATE	DESCRIPTION

PROJECT NUMBER	10318318
CHECKED BY	AARON CROLEY
DRAWN BY	G.S. FULLER

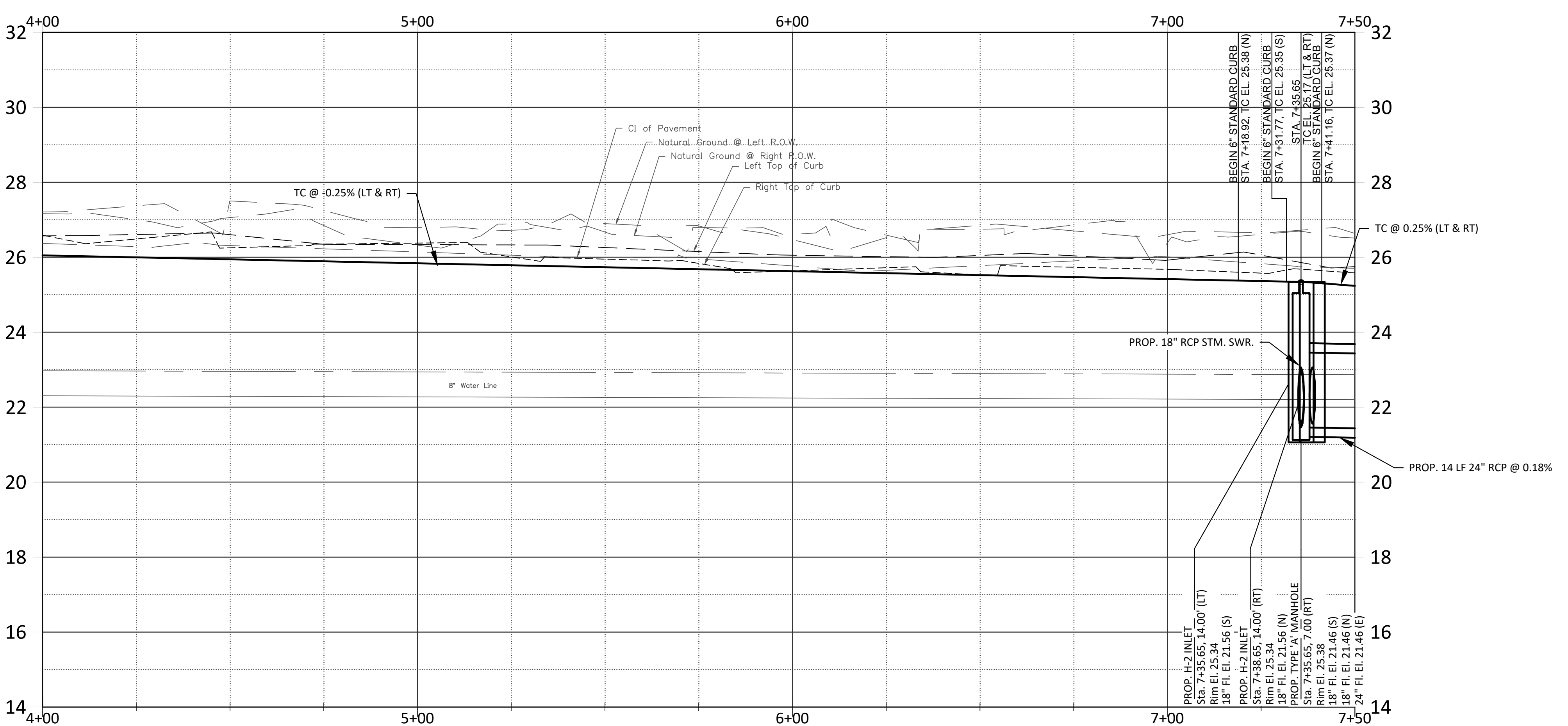
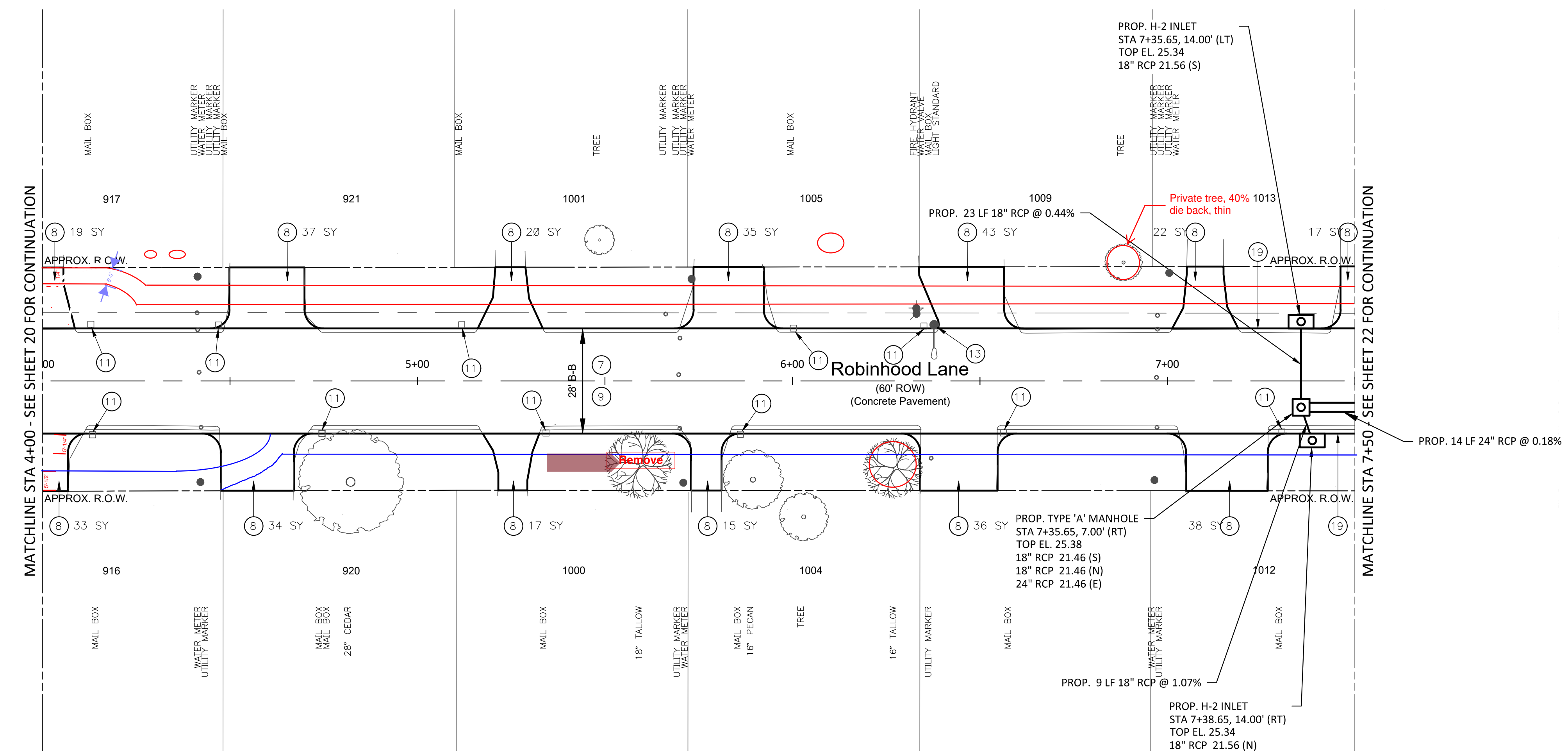


SHEET NAME
**Robinhood Lane
4+00 to Sta. 7+50**

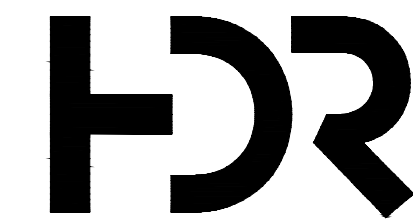
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1" = 20' - H
1" = 2' - V

SHEET NUMBER
SHEET **21** OF 40

FILE NAME
00C-01.dwg



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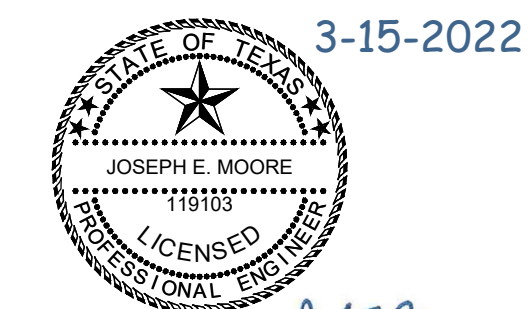
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MARK	DATE	DESCRIPTION

PROJECT NUMBER	10318318
CHECKED BY	AARON CROLEY
DRAWN BY	G.S. FULLER

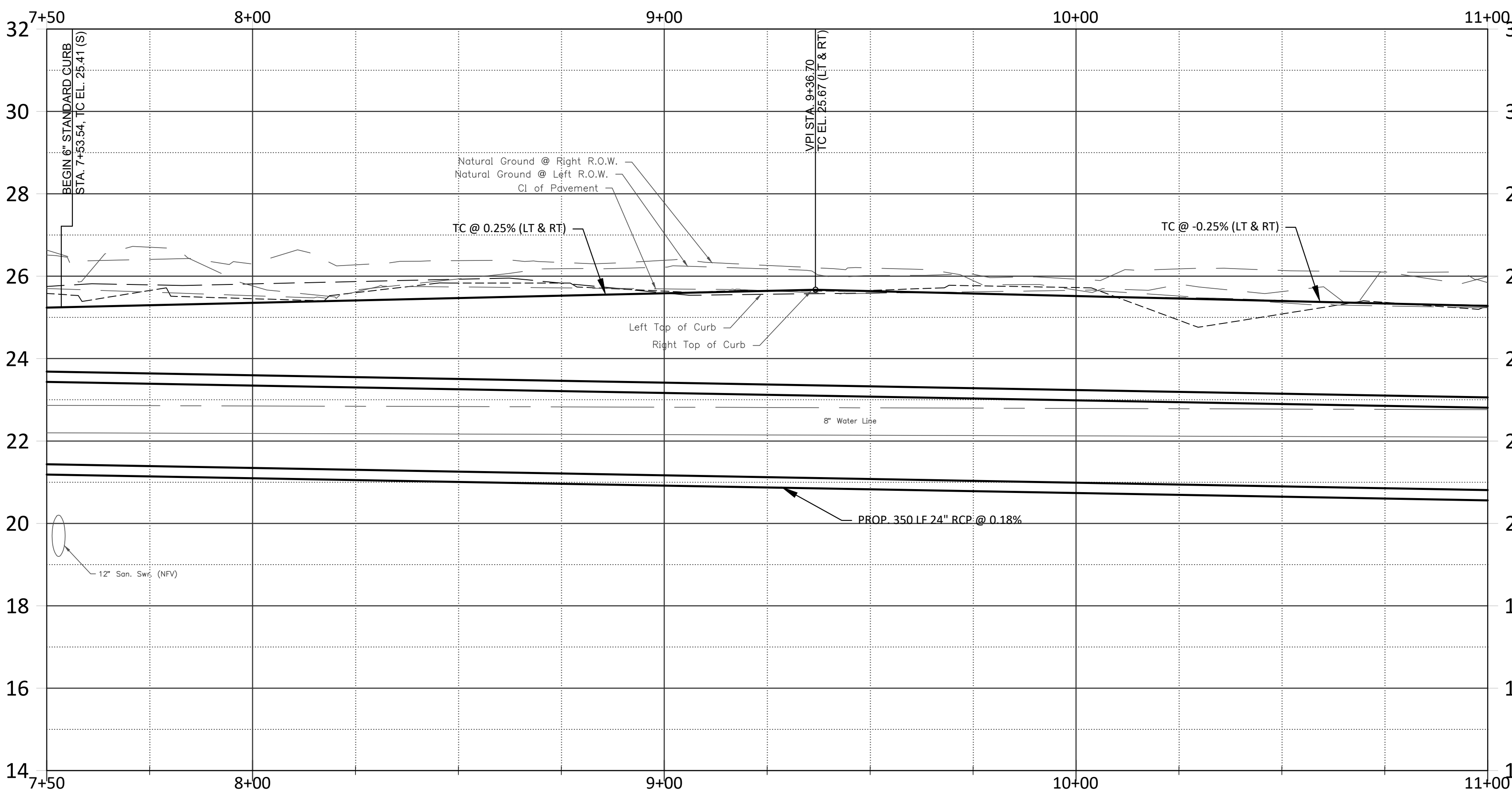
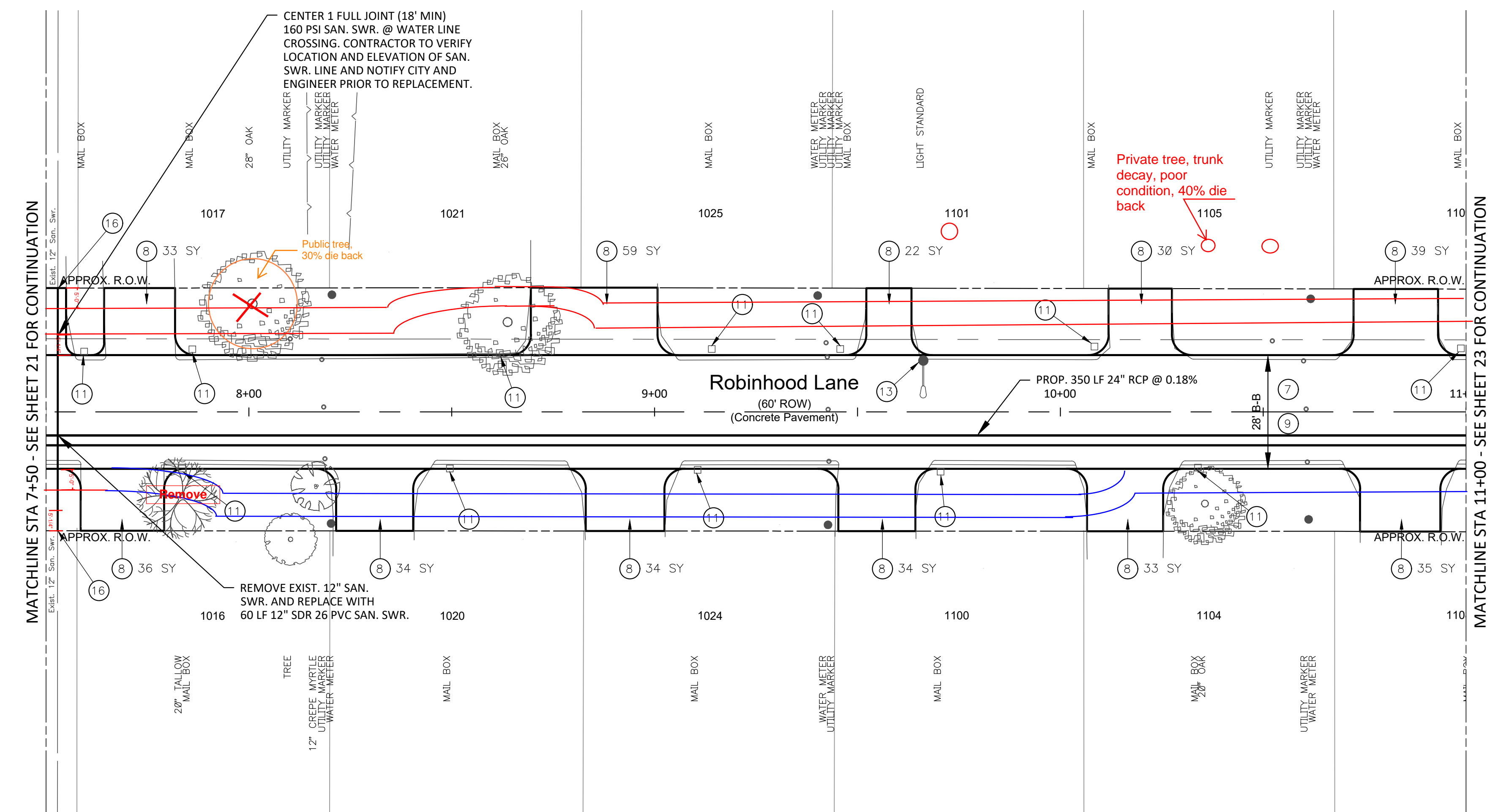


SHEET NAME
**Robinhood Lane
7+50 to Sta. 11+00**

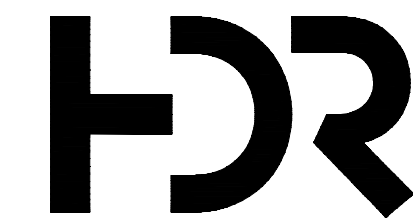
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SHEET NUMBER
SHEET 22 OF 40

FILE NAME
00C-01.dwg



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For your safety, you are required by Texas Law to call 811 at least 48 hours before you dig,
so that underground line can be marked. This Signature does not fulfill your obligation to call 811.

VERIFICATION OF PRIVATE UTILITY LINES

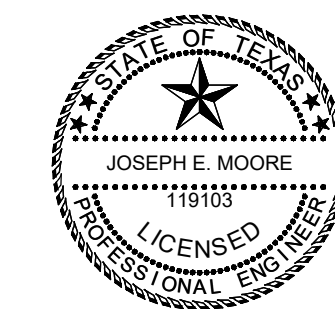
Date:
CenterPoint Energy natural gas utilities shown. (Gas service lines are not shown.) This signature not to be used for conflict verification.
Signature Valid for six months.

Date:
Texas New Mexico Power Co. (Approved Only for Crossing Underground Ductlines, Unless Otherwise Noted.) Valid at Time of Review Only.

Date:
Approved for AT&T Texas/SWB Undergound Conduit Facilities ONLY.
Signature Valid for one year.

MARK	DATE	DESCRIPTION
	4-5-22	ADDENDUM NO. 1

PROJECT NUMBER	10318318
CHECKED BY	AARON CROLEY
DRAWN BY	G.S. FULLER



4-6-2022

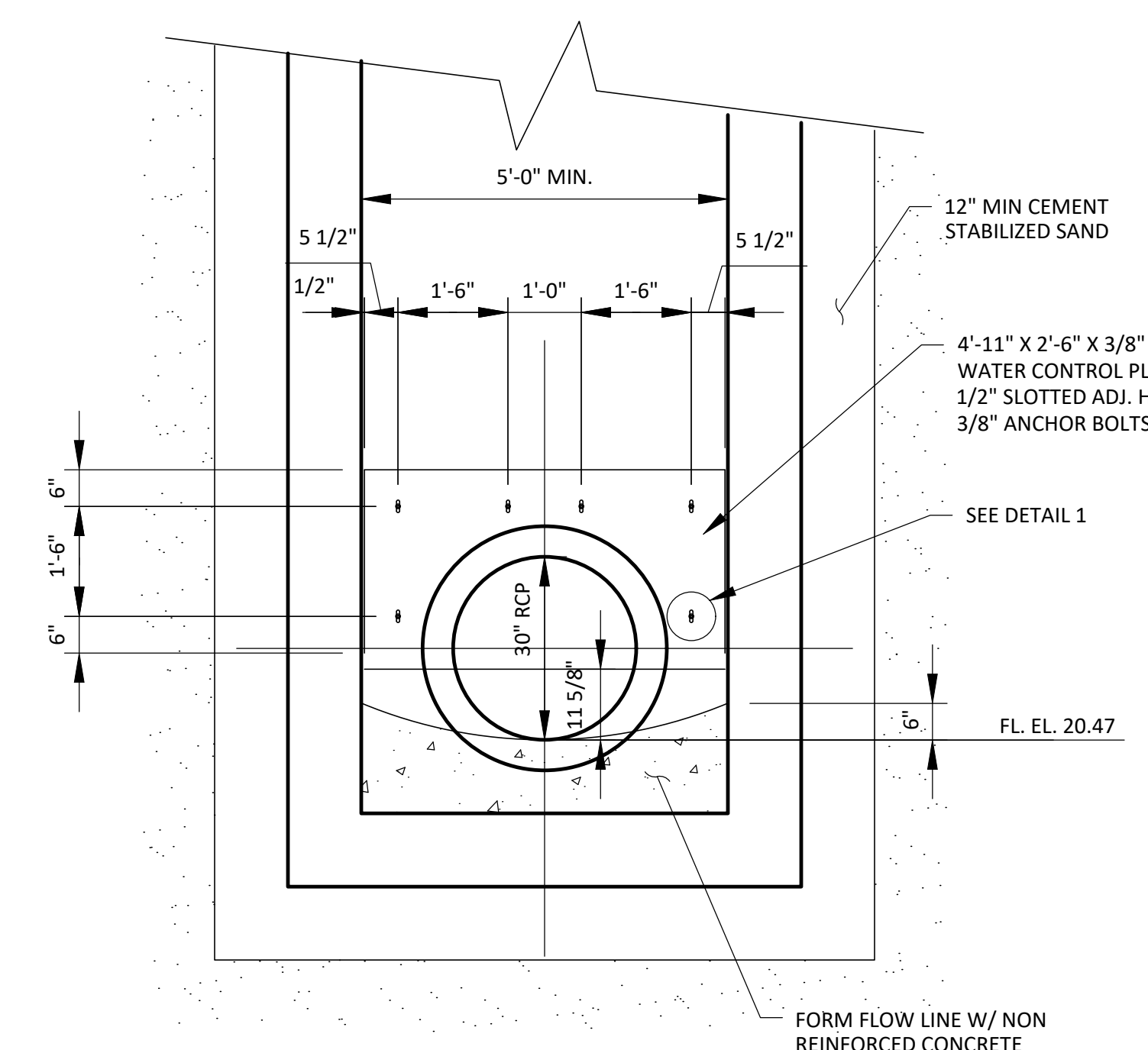
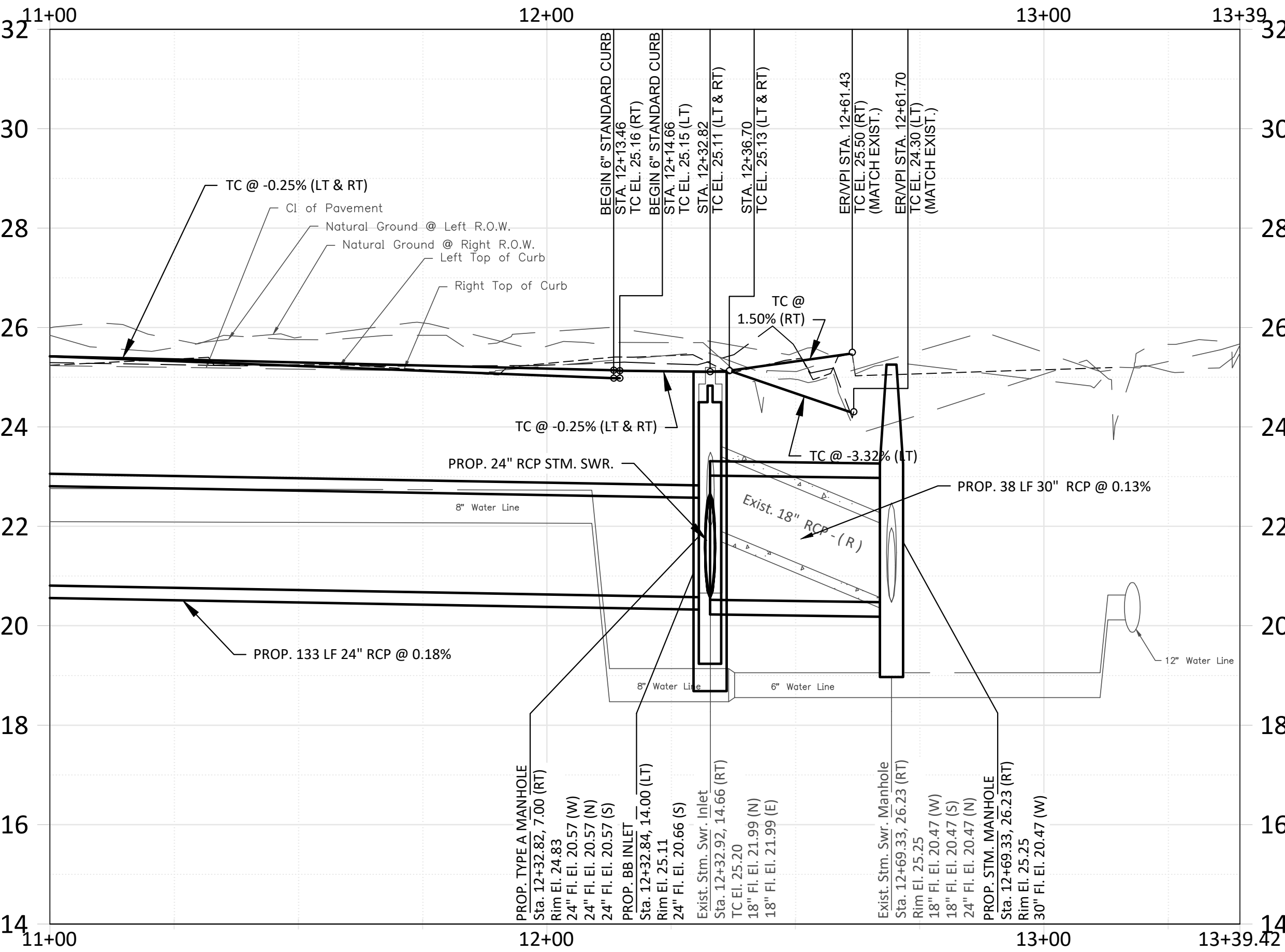
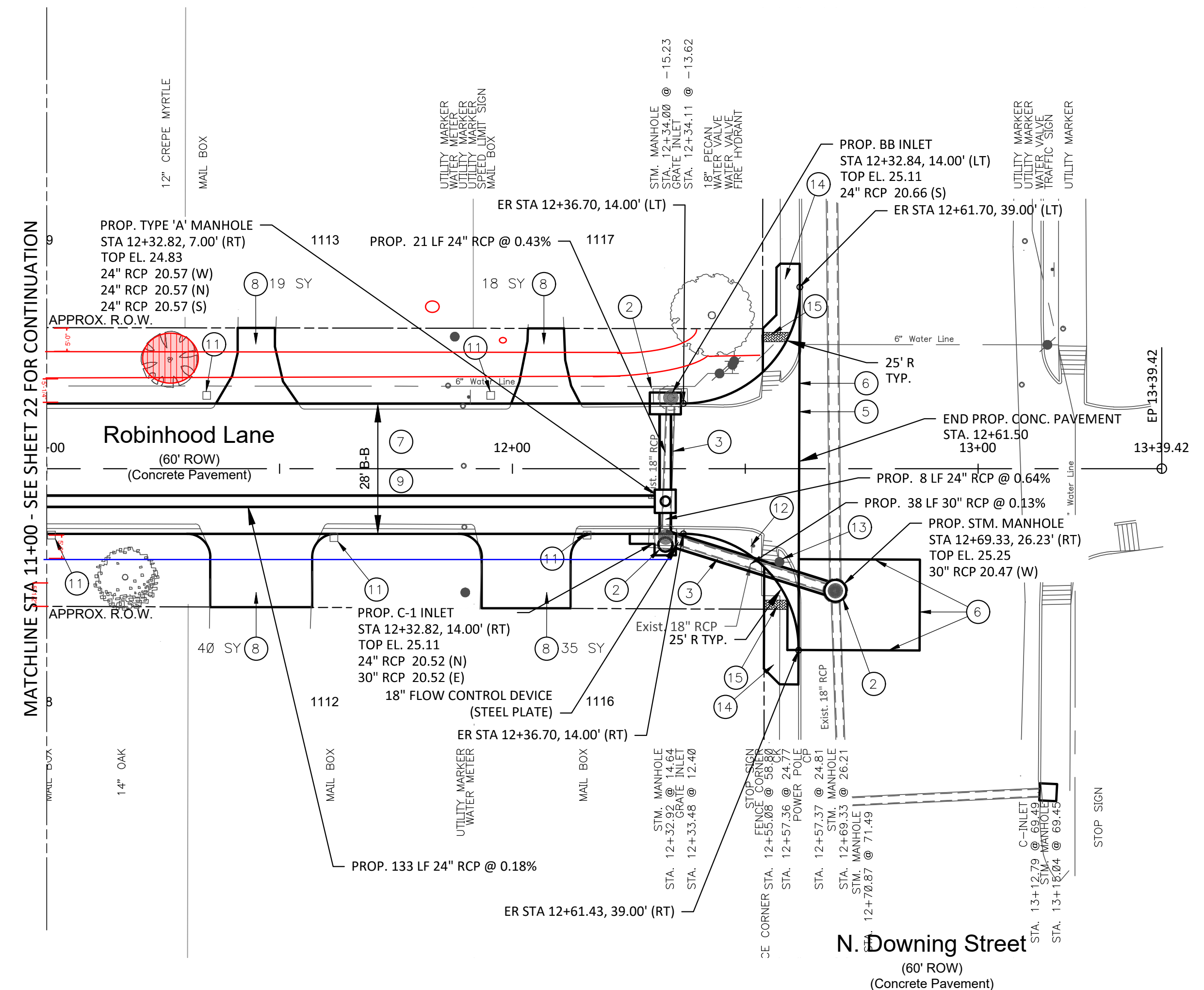
SHEET NAME
**Robinhood Lane
11+00 to Sta. 13+39.42**

SCALE
0 10 20 30 40
1" = 20' - H
1" = 2' - V

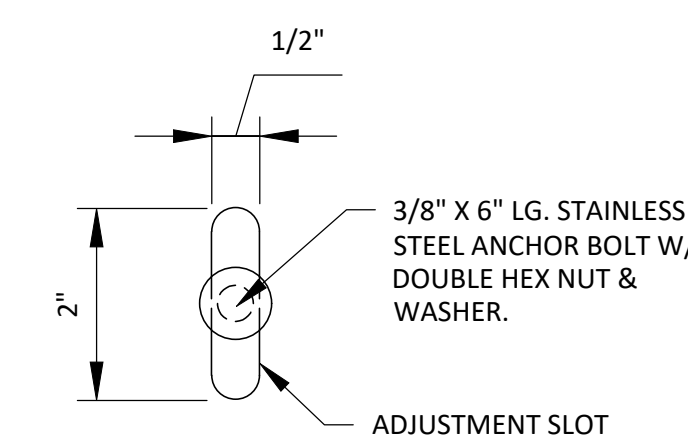
SHEET NUMBER

SHEET **23** OF 40

FILE NAME
00C-01.dwg



FLOW CONTROL DEVICE (STEEL PLATE)
SCALE: 1/2" = 1'-0"



DETAIL 1
SCALE: 1" = 1'-0"

Robinhood Lane Sidewalk Improvements

Opinion of Probable Construction Costs

City of Angleton, Texas

Southside

Robinhood Lane Items Total:

Item	Item Description	Unit	Quantity	Unit Price	Cost
1	ROW Preperation & installation 4"-thick concrete sidewalk	S.F	5,620	\$10.00	\$56,200.00
2	Remove and replace existing concrete wheelchair ramp	E.A	2	\$3,500.00	\$7,000.00
3	Diamond Plate Sidewalk Spans over tree roots	S.F.	270	\$100.00	\$27,000.00
4	Remove tree	E.A	4	\$2,000.00	\$8,000.00
Drainage Items Total:					\$98,200.00
Michellaneous Items (20%):					\$19,640.00
Total Opinion of Probable Construction Costs:					\$117,840.00

Northside

Robinhood Lane Items Total:

Item	Item Description	Unit	Quantity	Unit Price	Cost
1	ROW Preperation & installation 4"-thick concrete sidewalk	S.F	5,620	\$10.00	\$56,200.00
2	Remove and replace existing concrete wheelchair ramp	E.A	2	\$3,500.00	\$7,000.00
3	Diamond Plate Sidewalk Spans over tree roots	S.F.	270	\$100.00	\$27,000.00
4	Remove tree	E.A	4	\$2,000.00	\$8,000.00
Drainage Items Total:					\$98,200.00
Michellaneous Items (20%):					\$19,640.00
Total Opinion of Probable Construction Costs:					\$117,840.00