



Mayor | Jason Perez
Mayor Pro-Tem | John Wright
Council Members | Cecil Booth, Christiene Daniel, Mark Gongora, Travis Townsend
City Manager | Chris Whittaker
City Secretary | Michelle Perez

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE CITY COUNCIL FOR THE CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON TUESDAY, APRIL 11, 2023, AT 6:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

CITIZENS WISHING TO ADDRESS CITY COUNCIL

The Presiding Officer may establish time limits based upon the number of speaker requests, the length of the agenda, and to ensure meeting efficiency, and may include a cumulative time limit. Citizens may speak at the beginning or at the time the item comes before council in accordance with Texas Government Code Section 551.007. No Action May be Taken by the City Council During Public Comments.

EXECUTIVE SESSION

The City Council will now convene into executive session pursuant to the provisions of Chapter 551 Texas Government Code, in accordance with the authority contained therein:

1. Discussion and possible action to consult with Attorney pursuant to Section 551.071 of the Texas Government Code; pending or contemplated litigation; settlement offer regarding Christopher Hill v. City of Angleton, Texas.

OPEN SESSION

The City Council will now adjourn Executive Session, reconvene into Open Session pursuant to the provisions of Chapter 551 Texas Government Code and take action, if any, on item(s) discussed during Closed Executive Session.

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Council and will be enacted with one motion. There will be no separate discussion of these items unless requested by

the Mayor or a Council Member; in which event, the item will be removed from the consent agenda and considered separately.

- [2.](#) Discussion and possible action on a request to approve purchasing or leasing a new storage server or cloud services from Texas Department of Information Resources (DIR) contract vendor Dell to replace PIVOT3 Network Attached Storage (NAS).
- [3.](#) Discussion and possible action on a waiver of permit fees for the construction of a new home and demo of existing structure located at 504 W. Peach, Angleton, Tx. 77515 in the SF6.3 zoning district.
- [4.](#) Consideration of approval of a Final Plat for Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection.
- [5.](#) Discussion and possible action on a Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes, out of the Shubael Marsh Survey A-81 & A-82, Brazoria County, Texas as submitted by Ashton Gray Development.
- [6.](#) Discussion and possible action on the preliminary plat of the Ashland Project Coral Haven Street Dedication.
- [7.](#) Discussion and possible action on a revised preliminary plat for Angleton Park Place Subdivision Section 1.

PUBLIC HEARINGS AND ACTION ITEMS

- [8.](#) Conduct a public hearing, discussion, and take possible action on Ordinance No. 20230411-008 an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.

REGULAR AGENDA

- [9.](#) Discussion and possible action on the preliminary plat of Ashland Section 2.
- [10.](#) Discussion and possible action on a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street.
- [11.](#) Discussion and possible action on a Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east.

12. Discussion of a Project Concept for the Mulberry Fields Subdivision site for consideration of a new concept, for approximately 13 acres of land located north of W. Mulberry St., West side of N. Walker St, and south of W. Live Oak St., within the SF-6.3 Zoning District. No action is required.

EXECUTIVE SESSION

The City Council will now convene into executive session pursuant to the provisions of Chapter 551 Texas Government Code, in accordance with the authority contained therein:

13. Discussion and possible action on personnel matters; to deliberate the appointment, employment, evaluation, reassignment, duties, discipline or dismissal of an employee, pursuant to Government Code Section 551.074. (City Manager)

OPEN SESSION

The City Council will now adjourn Executive Session, reconvene into Open Session pursuant to the provisions of Chapter 551 Texas Government Code and take action, if any, on item(s) discussed during Closed Executive Session.

ADJOURNMENT

If, during the course of the meeting and discussion of any items covered by this notice, City Council determines that a Closed or Executive Session of the Council is required, then such closed meeting will be held as authorized by Texas Government Code, Chapter 551, Section 551.071 - consultation with attorney; Section 551.072 - deliberation regarding real property; Section 551.073 - deliberation regarding prospective gift; Section 551.074 - personnel matters regarding the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; Section 551.076 - deliberation regarding security devices or security audit; Section 551.087 - deliberation regarding economic development negotiations; Section 551.089 - deliberation regarding security devices or security audits, and/or other matters as authorized under the Texas Government Code. If a Closed or Executive Session is held in accordance with the Texas Government Code as set out above, the City Council will reconvene in Open Session in order to take action, if necessary, on the items addressed during Executive Session.

CERTIFICATION

I, Michelle Perez, City Secretary, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Thursday, April 6, 2023, by 6:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/S/ Michelle Perez
Michelle Perez, TRMC
City Secretary

Public participation is solicited without regard to race, color, religion, sex, age, national origin, disability, or family status. In accordance with the Americans with Disabilities Act, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Angleton ADA Coordinator, Colleen Martin, no later than seventy-two (72) hours prior to the meeting, at (979) 849-4364 ext. 2132, email: cmartin@angleton.tx.us.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 03/28/2023

PREPARED BY: Jason Crews

AGENDA CONTENT: Discussion and possible action on a request to approve purchasing/leasing a new storage server or cloud services from DIR contract vendor Dell to replace a no longer supported and failing Pivot3 Network Attached Storage (NAS). NAS is mission-critical hardware supporting every department.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: \$8000.00

FUNDS REQUESTED: \$10,781

FUND: 01-555-310 INFO TECH - R&M EQUIPMENT

EXECUTIVE SUMMARY:

During COVID our storage vendor PIVOT3 dropped support for our NAS due to hardware supply limitations. The company has also shifted its focus from NAS to Surveillance Storage and no longer offers NAS solutions. The PIVOT3 storage we currently have is a fully redundant Active-Active dual controller NAS, meaning two storage controllers are built into a single appliance. When a hardware failure is experienced in an Active-Active environment, there is no noticeable impact to end users as the redundant hardware takes over. This redundancy normally allows us time to replace the faulty hardware with minimal impact to the network.

We recently lost one of the two boot drives on the Active-Active system, which puts us in a near-critical status. Without vendor support, if the 2nd boot drive were to fail we would be in a disaster recovery event and all locally hosted city services would be on hold until backups could be restored to new hardware.

RECOMMENDATION:

City Manager and Staff recommend funding the Dell PowerStore 500T four-year lease option with \$1 buy-out with lease payments totaling \$75,121.96. The unbudgeted balance of \$10,781 for the first year to be funded by America Rescue Plan Act (ARPA) funds, and the remaining years added to the budget annually.

PowerStore 500T

17TBe

Angleton, TX



SizeId: pstore_2172986

Cluster Information

Item 2.

Model Mode	PowerStore T
Appliances	1
Effective Capacity	17.83 TiBe
Usable Capacity	8.92 TiB
Raw Capacity	13.97 TiB
Average Capacity Utilization	95.34%
Average Storage Performance Saturation	0.74%
Data Reduction Ratio	2:1
Performance	0.6 K IOPS / 4.69 MiB/s
Max Performance	81.271 K IOPS / 634 MiB/s
Rack Units	2U



Appliance Configuration - Appliance 1

Appliance Information

Model	PowerStore 500
Rack Units	2U

Storage Information

Effective Capacity	17.83 TiBe
Usable Capacity	8.92 TiB
Raw Capacity	13.97 TiB
Data Reduction Ratio	2:1
Total Drive Count	8
Capacity Utilization	95.34%

Enclosure Drive Layout

Appliance - Internal Enclosure
8 x 1.92TB NVMe SSD

Total Drive Information

Drive Type	Drive Count	DRE Tolerance Level
1.92TB NVMe SSD	8	Single Drive Failure (4+1)

Performance Information

Performance	0.6 K IOPS / 4.69 MiB/s
Max Performance	81.271 K IOPS / 634 MiB/s
Storage Performance Saturation	0.74%

Connectivity

mezz: 4 x 25GbE Optical
iomodule: 4 x 10GBase-T

Investment Summary

PowerStore 500T + 2 Switches	
Dell EMC List Price	\$ 209,173.37
Standard Discount	\$ 95,678.98
<i>In Quarter Discount</i>	\$ 42,659.37
<i>Total Discounts</i>	\$ 138,338.35
Final Price	\$ 70,835.02

Quote Expires 1/22/23 *Includes Deployment and 5 years of Support*

*Pricing Includes:
Deployment: Pro Deploy Plus
Support: 5 Years Pro Support 4 Hr Mission Critical*



DELL

- ✓ Most Reliable
- ✓ Most Trusted
- ✓ #1 Market Share



Additional Information

Item 2.

Deployment Suite Feature Comparison	Basic Deployment	ProDeploy	ProDeploy Plus
Single point of contact for project management		x	In-region
Site readiness review		x	x
Implementation planning		x	x
Technology Service Manager (TSM) engagement for Pro Support Plus Entitled devices			x
Deployment service hours	Business Hours	24/7	24/7
Onsite hardware Installation	x	x	x
Packaging materials disposal	x	x	x
Install and configure system software		Remote	Onsite
Project documentation knowledge transfer		x	x
Deployment verification		x	x
Configuration data transfer to Dell EMC technical support		x	x
30- days post deployment configuration assistance			x
Training credits for Dell EMC Education Services			x

Proposal Includes 5 years of Pro Support + Pro Deploy Plus

Support Feature Comparison	Pro Support	Pro Support Plus
Remote technical Support	24/7	24/7
Onsite Support	Next Business Day or Mission Critical	Next Business Day or Mission Critical
Automated issue detection and case creation	x	x
Self-service case initiation and management	x	x
Hypervisor, Operating Environment Software and OS support	x	x
Priority access to specialized support experts		x
Designated service account management expert		x
Periodic assessment and recommendations		x
Monthly contract renewal and support history reporting		x
Systems Maintenance guidance		Semi-Annually
Designated technical and field support teams		x



Prepared For:

ANGLETON, TEXAS
104 CANNAN DR
ANGLETON, TX 77515

Item 2.

December 19, 2022

Thank you for giving Dell Financial Services L.L.C. ("DFS") the opportunity to provide a technology financing solution. Enclosed is a financing proposal for your new technology needs. We look forward to discussing this opportunity in further detail with you. If you have any questions, please contact me at the phone number or email address below.

Term	36	Term	48
Option	TELP	Option	TELP
Payments:	Annual	Payments:	Annual
Consolidation:	Monthly	Consolidation:	Monthly
Payments Due:	Advance	Payments Due:	Advance
Interim Rent:	None	Interim Rent:	None
Rate Factor	3 Payments	Rate Factor	4 Payments

Dell Quote Number	Summary Product Description	Product Price	Quantity	Extended Price	Rate Factor	36 Payments	Rate Factor	48 Payments
3000139988889.1	Dell PowerStore 500 T	\$54,683.63	1	\$54,683.63	0.34670	\$18,958.81	0.26513	\$14,498.27
	Dell EMC AppSync for PowerStore	\$0.01	1	\$0.01	0.34670	\$0.00	0.26513	\$0.00
	PowerSwitch S4112	\$8,075.69	2	\$16,151.38	0.34670	\$5,599.68	0.26513	\$4,282.22
TOTALS				\$70,835.02		\$24,558.50		\$18,780.49

Proposal Expiration Date:
 January 18, 2023

PLEASE NOTE:

Personal Property Taxes (PPT) do not apply to this lease.

Leasing and financing provided by Dell Financial Services L.L.C. or its affiliate or designee ("DFS") to qualified customers. Offers may not be available or may vary in certain countries. Where available, offers may be changed without notice and are subject to product availability, credit approval, execution of documentation provided by and acceptable to DFS, and may be subject to minimum transaction size. Offers not available for personal, family or household use. Dell and the Dell logo are trademarks of Dell Inc. Proposal is property of DFS, contains confidential information and shall not be duplicated or disclosed in whole or part. Proposal is not a firm offer of financing. Pricing and rates based upon the final amount, configuration and specification of the supplied equipment, software, services or fees. Prorata payment may be due in the first payment cycle. Proposal excludes additional costs to customer such as shipping, maintenance, filing fees, applicable taxes, insurance and similar items. Proposal valid through the expiration date shown above, or if none is specified, for 30 calendar days from date of presentation.

End of Term Options:
Tax Exempt Lease Purchase (TELP):
 • Exercise the option to purchase the products for \$1.00.
 • Return all products to lessor at the lessee's expense.

Bobby Hadley
 Account Representative
 Dell | Financial Services
 office + 1 512 708-6318
bobby.hadley@dell.com


Additional Information:
LEASE QUOTE: The Lease Quote is exclusive of shipping costs, maintenance fees, filing fees, licensing fees, property or use taxes, insurance premiums and similar items which shall be for Lessee's account. Lessee will pay payments and all other amounts without set-off, abatement or reduction for any reason whatsoever. Additionally, Lessee shall declare and pay all sales, use and personal property taxes to the appropriate taxing authorities. **If you are sales tax exempt, please provide a copy of your Exemption Certificate with the Lease Contract.** If Lessee provides the appropriate tax exemption certificates to DFS, sales and use taxes will not be collected by DFS. However, if your taxing authority assesses a **personal property tax** on leased equipment, and if DFS pays that tax under your lease structure, **Lessee must reimburse DFS for that tax expense in connection with the Lessee's lease.**
PURCHASE ORDER: The Purchase Order must be made out to Dell Financial Services L.L.C., One Dell Way, RR8-23, Round Rock, TX 78682. The Purchase Order will need to include the quote number, quantity and description of the equipment. Please be sure to indicate that the PO is for a lease order and shows the type of lease, the term length, and payment frequency. The date of the lease quote referenced should be included. Please be sure to include any applicable shipping costs as a line item and include your address as the SHIP TO destination.
INSURANCE: The risk of loss on the equipment is borne solely by the Lessee. Lessee shall be required to purchase and maintain during the Term (i) comprehensive public liability insurance naming Lessor as additional insured; and (ii) "all-risk" physical damage insurance in a minimum amount of the Purchase Price, naming DFS as first loss payee.
APPROPRIATION COVENANT: The Lease will contain an appropriation of funds clause. The Lessee will covenant that it shall do all things legally within its power to obtain and maintain funds from which the payments may be paid.
DOCUMENTATION: In addition to a duly executed Agreement, other documents as reasonably requested by DFS may be required, such as but not limited to, opinions of counsel, IRS tax exemption forms (if applicable), and audited financials.
PROPOSAL VALIDITY / APPROVALS: This is a proposal based upon market conditions and is valid for 30 days, is subject to final credit approval, review of the economics of the transaction, and execution of mutually acceptable documentation. Upon expiration, lease rates may be changed in the event that market rates change.


Dell APEX Cloud + Angleton, TX


APEX as-a-Service Portfolio

DELLTechnologies

APEX Sizing Logic (APC) – What do I need?

CPU		
Peak CPU	Net CPU	Cores
 28 GHz	152.6 GHz	68

Capacity		
Used	Free	Total
 5.24 TB	11.86 TB	17.10 TB

Memory	
Peak Memory Usage	Total Memory
 142.47 GB	267.99 GB

Based on LiveOptics + Buffer	
Recommended Cores	31
Recommended Storage (TB)	7
Recommended Memory (GB)	299

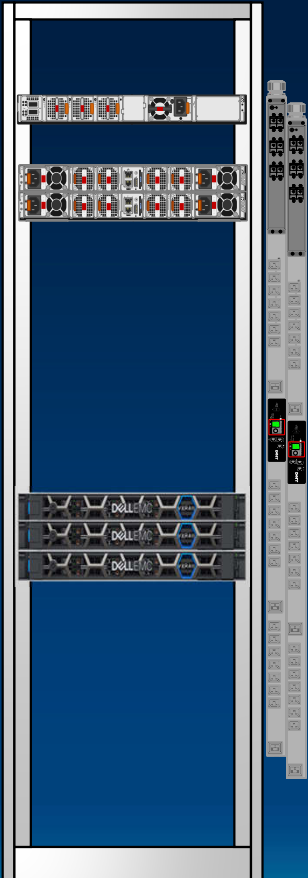
Includes N+1 w/ 20% CPU, 30% Storage and 20% Memory Buffers

APEX Private Cloud

- APC: **G - 16**
- APC: **48** instances (cores) | **384 GB** total memory | 69TB storage raw (No DD/C, FTT1 R1 = ~23TB)
 - **Total of 3 nodes**

Dell Integrated Rack

Front Elevation (42U)



15G

✓ Solution:

- ✓ All Flash G16AF2 ICBs VxRail Nodes
- ✓ 3 Nodes: 48 Cores (Ghz), 384 GB Memory, 69 TB RAW Storage, No DD/C, FTT1 R1 = ~23TB)
- ✓ What is included: 2x TOR Switches, 1x Mgmt Switch, VxRail, 4x Mgmt Servers, PDU

✓ Pricing:

- ✓ Monthly Option: \$6,543
- ✓ 36 Month Contract: \$235,550

What You're Getting

- ✓ Based on VxRail – The #1 HCI Solution on the Market
- ✓ Fully configured rack is shipped from Dell facilities to on-site or Colo
- ✓ 28 Day Service Level Objective on Initial Install, ~5-14 Day on Upgrades
- ✓ Customer Success Manager
- ✓ 24x7 ProSupport Plus 4 HR Mission Critical Support
- ✓ Software installation/deployment occurs on-site
- ✓ Dell Provided VMware vSAN Enterprise & vSphere Enterprise Plus 7.x
- ✓ Make life easier with single click lifecycle management, bi-annual upgrades, and Dell-Driven tech refreshes
- ✓ Expand to up to 27 Nodes
- ✓ Cloud IQ – AIOps, Insight & Monitoring

DELLTechnologies

APC List Pricing (APC) – What does it cost?

Cluster-1		
Instance type	Instances per host	Instance Quantity
General purpose	16	48
Storage type	Storage Performance	Storage capacity
vSAN	Balanced	69 TB
<hr/>		
Total		
Total nodes/height	Total sockets (CPU)	Total power requirements
3/3U	3	2397W

Cost summary		Currency
		USD
Description		Amount
Monthly total		\$6,543.05
Total contract value		\$235,549.80
Subtotal		\$235,549.80
Tax		\$19,432.85
Non-Taxable		\$0.00
Taxable		\$235,549.80
Estimated total*		\$254,982.65

Prices displayed here are estimates and may not include all taxes or other applicable charges. The prices shown are subject to change. This is not an offer to sell at the estimated price.

Includes vSphere/vSAN 7.x licensing.
Includes Dell Integrated Rack.
Includes 3-year subscription.

Payment options	
(Excludes taxes)	
Monthly	\$6,543.05
Annually	\$78,516.60
Full term	\$235,549.80

The logo for Dell Technologies, featuring the word "DELL" in a stylized font where the "E" is composed of three horizontal bars, followed by the word "Technologies" in a sans-serif font.



AGENDA ITEM SUMMARY FORM

MEETING DATE: 4/11/23

PREPARED BY: Kyle Reynolds

AGENDA CONTENT: Discussion and possible action on a waiver of permit fees for the construction of a new home and demo of existing structure located at 504 W. Peach, Angleton, Tx. 77515 in the SF6.3 zoning district.

AGENDA ITEM SECTION: Consent Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

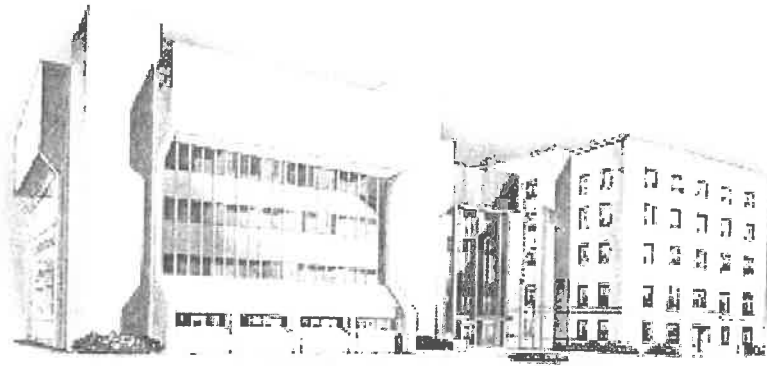
FUND: N/A

EXECUTIVE SUMMARY:

Brazoria County Community Development Department would like to have the permit fees waived for the construction of a new SF home (approx.. 1000sq.ft.) located at 504 W. Peach, Angleton, TX 77515

RECOMMENDATION:

N/A



DAPHNE LEMELLE
DIRECTOR

JENNIFER CRAINER
ASSISTANT DIRECTOR

MARI REYES
PROJECT COORDINATOR

KAREN LAND
FINANCIAL COORDINATOR

BRAZORIA COUNTY
COMMUNITY DEVELOPMENT
DEPARTMENT

April 3, 2023

Council Members
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: Housing Reconstruction – 504 W Peach, Angleton, 77515

To Whom It May Concern:

Please waive all permitting, building, and inspections fees for Residential Reconstruction for Shreka Hernandez who resides at 504 W Peach, and has been approved for assistance under the County’s HOME Reconstruction/Rehabilitation Program. Ms. Hernandez has chosen Cypress Point Construction as her contractor, and construction is targeted for April 2023.

US Dept of Housing and Urban Development’s HOME Reconstruction/ Rehabilitation program assists low to moderate income families repair their homes. In the case that rehab is not feasible, Brazoria County reconstructs a new dwelling. These are HOME Program grant funds from HUD that the County manages and distributes to eligible applicants throughout the County. This program not only helps the individual with a more suitable living environment, but also prevents the City’s housing stock to become dilapidated, and in turn, promotes an increase in property values. The cost of the assistance is in the form of a deferred, forgivable loan which requires a lien to be placed on the property for a period of 10 years for rehabilitation, and 20 years for the reconstruction of the home. There is no mortgage payment required from the homeowner; however, they must maintain property taxes, insurance, and reside in the home for the period of the lien. Reducing the amount of fees in turn reduces the lien owed on the home.

If you have any questions, please feel free to call me at (979) 864-1953.

Sincerely,

Matt Summers
Project Coordinator

Development Services

504 W. Peach, Angleton, Tx. 77515

Waiver of building permit fees to construct a new residence located at 504 W. Peach:

New residential permit fee Approx. 1000 sq. ft. home- \$580.00

Plumbing new home Approx. 1000 sq. ft. home- \$65.00

Mechanical new home Approx. 1000 sq. ft. home- \$75.00

Electrical new home Approx. 1000 sq. ft. home- \$70.00

Demo of existing structure- \$25.00

Total o new home permit fees- \$815.00



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 6, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Consideration of approval of a Final Plat for Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

This is a request for approval of the final plat of Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection. Except as otherwise noted in the City Engineer's memo which are textual and general note corrections, the proposed final plat meets all City of Angleton requirements.

COMMISSION ACTION:

Motion was made by Commission Member Bonnie McDaniel to approve approves of the proposed final plat and recommends it to the City Council for final action. Motion was seconded by Commission Member Michelle Townsend.

Roll call vote:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby; Aye; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Nay and Commission Member Michelle Townsend- Aye.

Motion carried with a 4 -3 vote.

RECOMMENDATION:

The City Engineer reviewed the plat and offered 7 comments of which the applicants have resubmitted and addressed each comment.

The Planning and Zoning Commission voted 4-3 to approve the proposed final plat and recommends it to the City Council for final approval.



March 30, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Windrose Green Section 3 Subdivision Final Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the final plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 3

1. Remove additional text shown in the Engineer's Certification Block
2. Provide the required plat notes take from the Angleton LDC Sec.23-115, L.
3. Update text shown. Plat drawing shows "O.P.R.B.C."

Sheet 2 of 3

4. Label existing New Dawn Drive from Windrose Green Section 1.
5. Verify street name "Windrose Bend". Per preliminary plat, "Windrose Bend Drive" was used.
6. Update the FEMA FIRM information in Plat Note #8 to reflect current information
7. Show bearing and distance for the east line shown along the King Subdivision.

HDR takes no objection to the proposed Windrose Green Section 3 Subdivision Final Plat with the exceptions noted. Please note, this does not necessarily mean that the entire drawings, including all supporting data and calculations, has been completely checked and verified; however, the drawings and supporting data are signed, dated, and sealed by a Registered Professional Land Surveyor licensed to practice in the State of Texas, which therefore conveys the surveyor's responsibility and accountability.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

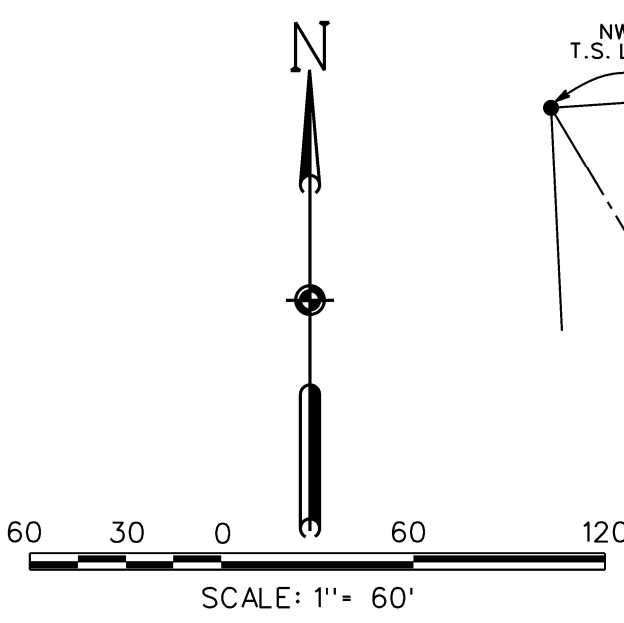
cc: Files (10361761/10336228)

Attachments

CALLED 100.000 ACRES
ANGLETON INDEPENDENT
SCHOOL DISTRICT
FILE NO. 2008002676
O.P.R.B.C.

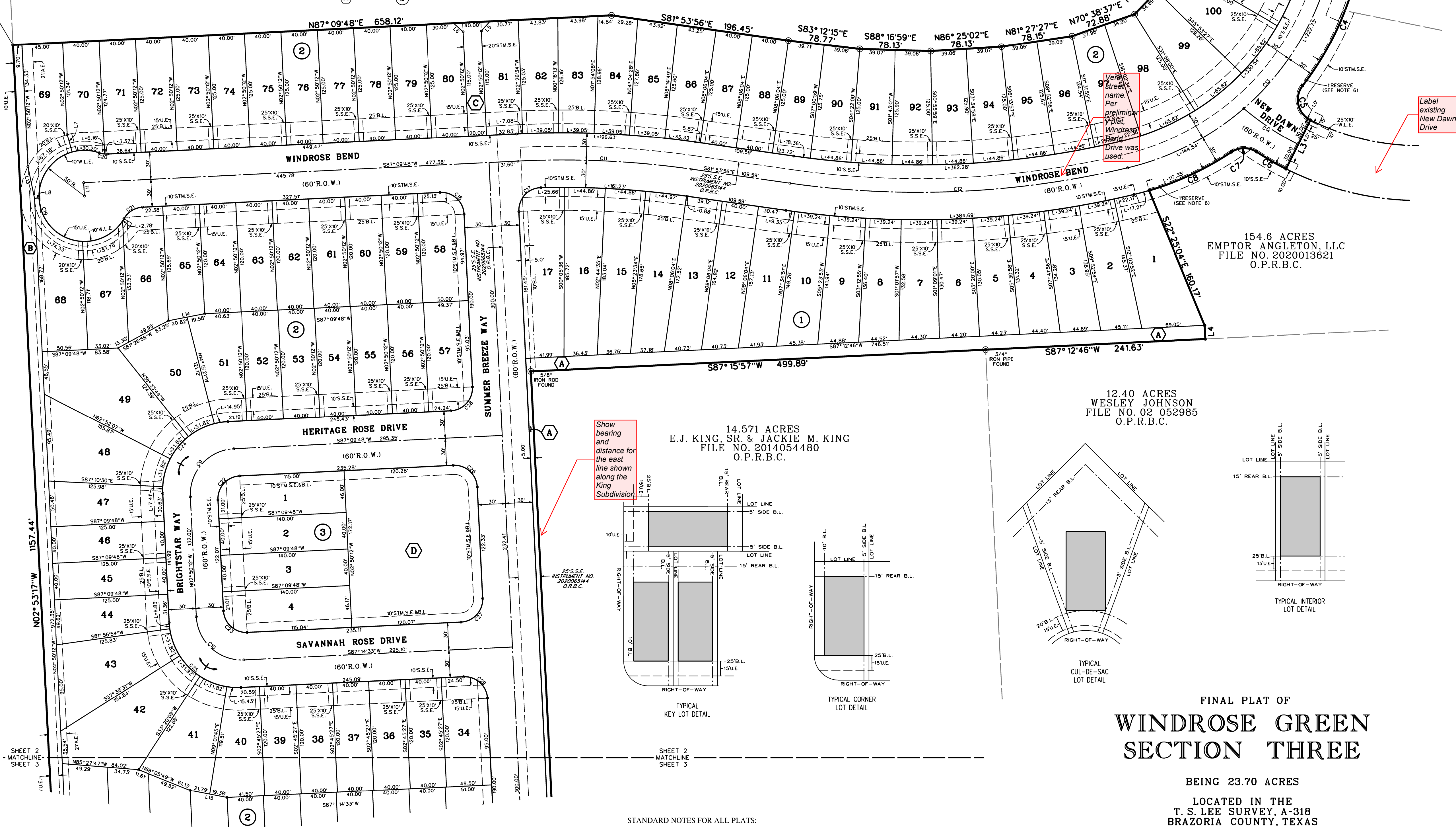
WINDROSE GREEN
SEC 1
PLAT NO. 2021062480
B.C.P.R.

WINDROSE GREEN
SEC 1
PLAT NO.
2021062480
B.C.P.R.



LEGEND

- SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED
- ⊙ - FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED
- ① - INDICATES BLOCK NUMBER
- Ⓐ - INDICATES RESERVE
- - INDICATES STREET NAME BREAK



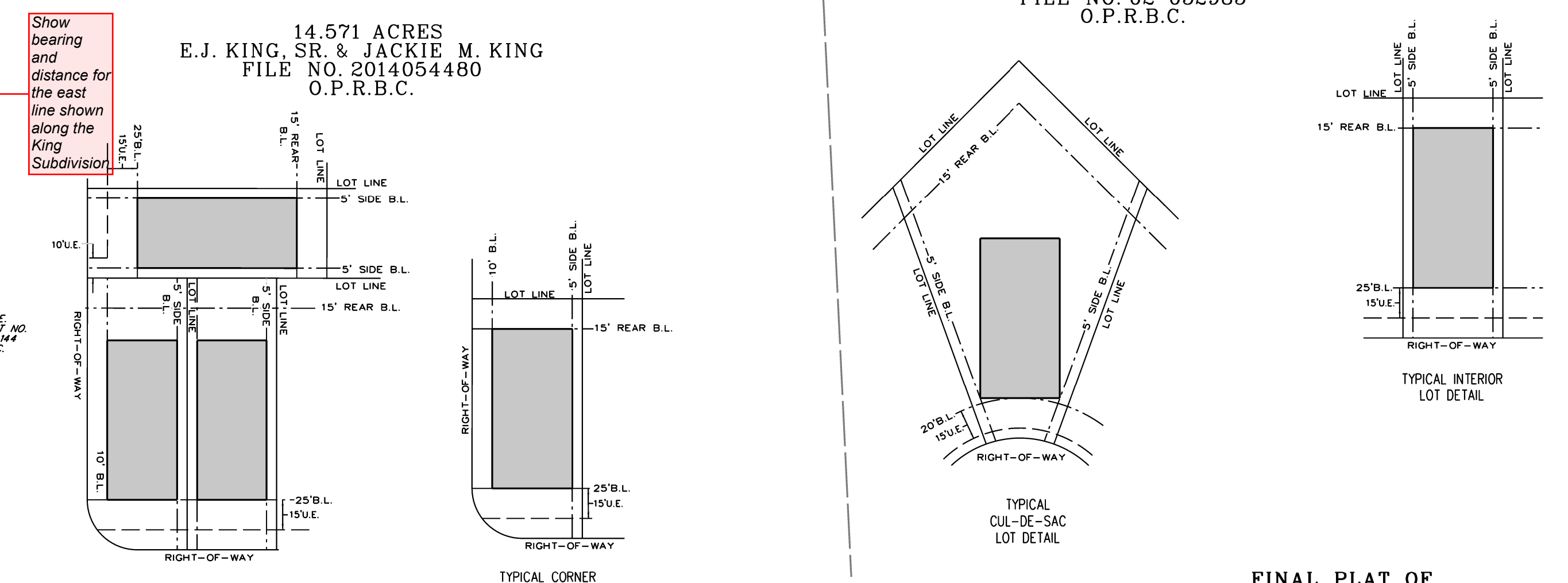
RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
O.P.R.B.C.

9.032 ACRES
ANGLETON DRAINAGE DISTRICT
VOL. 329, PG. 340 D.R.B.C.

154.6 ACRES
EMPTOR ANGLETON, LLC
FILE NO. 2020013621
O.P.R.B.C.

14.571 ACRES
E.J. KING, SR. & JACKIE M. KING
FILE NO. 2014054480
O.P.R.B.C.

12.40 ACRES
WESLEY JOHNSON
FILE NO. 02 052985
O.P.R.B.C.



- GENERAL NOTES:
- ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM (NAD83, 1993 ADJ.) SOUTH CENTRAL ZONE.
 - ALL EASEMENTS SHOWN ON LOT LINES ARE CENTERED UNLESS OTHERWISE NOTED.
 - EASEMENTS ARE HEREBY RESERVED AS SHOWN TO FACILITATE ROADWAYS, DRAINAGE, AND INSTALLATION OF UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL LINES, WASTEWATER DISPOSAL LINES, GAS, AND WATER LINES. THERE IS ALSO A RESERVED TEN (10) FOOT STRIP CENTERED ALONG ALL TRACT LINES FOR A GENERAL DRAINAGE AND UTILITY EASEMENT.
 - ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
 - ALL DRAINAGE EASEMENTS SHOWN HEREON SHALL BE DEDICATED TO THE PUBLIC AND SHALL BE MAINTAINED BY THE RANCHO ISABELLA MUNICIPAL UTILITY DISTRICT.
 - A ONE-FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ADJACENT PROPERTY. THE CONDITIONS OF THIS DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED OR RE-SUBDIVIDED IN A RECORDED PLAT, THE ONE-FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
 - HORIZONTAL DATUM:
ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.
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ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK STATIONS HAGS_1012 AND HC0G_14012.
8. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS, MAP NUMBER 48039C0435 H, DATED JUNE 5, 1989 THIS PROPERTY LIES IN UNSHADED ZONE "X", WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
 - NO PIPELINE OR PIPELINE EASEMENT EXISTS WITHIN THE BOUNDARIES OF THIS PLAT.
 - SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF ANGLETON, TEXAS AND OWNER.
 - RESERVES "A", "B", "C" AND "D" WILL BE OWNED AND MAINTAINED BY THE RANCHO ISABELLA MUNICIPAL UTILITY DISTRICT.
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WINDROSE GREEN SECTION THREE
RESERVE TABLE

DESCRIPTION	LAND USE	ACREAGE/SQUARE FOOTAGE
RESERVE "A"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.40 AC. / 17,361 50 FT.
RESERVE "B"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.76 AC. / 33,046 50 FT.
RESERVE "C"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.06 AC. / 26,000 50 FT.
RESERVE "D"	PARK	0.57 AC. / 24,743 50 FT.
TOTAL:		1.79 AC. / 101,150 50 FT.

ABBREVIATION TABLE

O.P.R.B.C.	OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY
D.R.B.C.	DEED RECORDS BRAZORIA COUNTY
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C.F. NO.	CLERK'S FILE NUMBER
A.E.	AERIAL EASEMENT
U.E.	UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
STM.S.E.	STORM SEWER EASEMENT
W.L.E.	WATER LINE EASEMENT
D.E.	DRAINAGE EASEMENT
ESMT.	EASEMENT
B.L.	BUILDING LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING

STANDARD NOTES FOR ALL PLATS:

NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.

NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.

NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.

NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

FINAL PLAT OF WINDROSE GREEN SECTION THREE

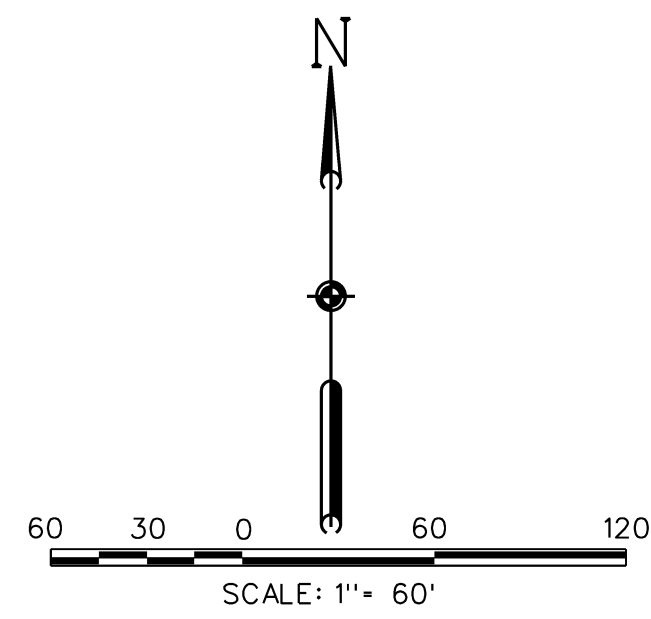
BEING 23.70 ACRES
LOCATED IN THE
T. S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS
122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' JANUARY, 2023

PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

OWNER:
**EMPTOR ANGLETON, LLC.,
A TEXAS LIMITED LIABILITY COMPANY**
9950 WESTPARK DR. #285
HOUSTON, TEXAS 77063

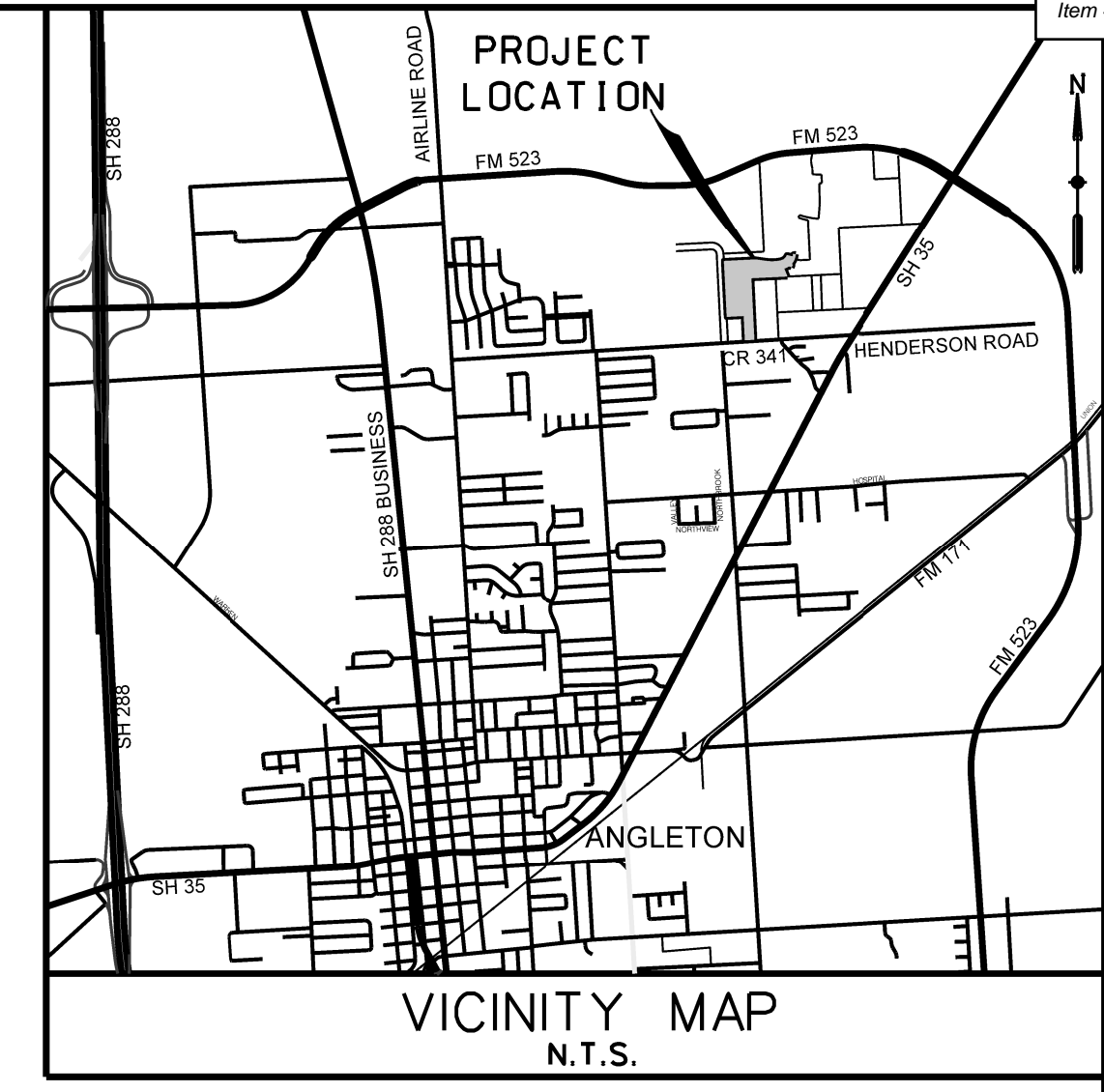
ENGINEER/SURVEYOR:
Costello
COSTELLO, INC.
2107 CITYWEST BOULEVARD
3RD FLOOR
HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100486



LEGEND

- SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED
- ⊙ - FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED
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RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
O.P.R.B.C.

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TOTAL:		1.79 AC. / 101,150 SQ. FT.

LINE DATA TABLE

NUMBER	DIRECTION	DISTANCE (FEET)
L1	N21°44'36"E	32.57
L2	N62°31'20"E	19.96
L3	S26°29'59"W	60.00
L4	S02°47'14"E	15.00
L5	N42°09'48"E	14.14
L6	N47°50'12"W	14.14
L7	S15°35'32"E	20.00
L8	N87°25'20"E	4.99
L9	S87°07'20"W	5.02
L10	N47°45'27"W	14.14
L11	S02°50'12"E	14.61
L12	N02°45'27"W	15.00
L13	N11°42'23"W	35.46
L14	N79°04'05"E	40.40
L15	N79°03'05"W	41.17

CURVE DATA TABLE

NUMBER	ARC LENGTH (FEET)	RADIUS (FEET)	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH (FEET)
C1	31.77	270.00	6° 44' 33"	N09° 55' 49" E	31.75
C2	19.31	1770.00	0° 37' 30"	N06° 14' 47" E	19.31
C3	19.96	1830.00	0° 37' 30"	S06° 14' 47" W	19.96
C4	179.28	330.00	31° 7' 38"	S22° 07' 23" W	177.08
C5	44.15	25.00	101° 11' 11"	S12° 54' 25" E	38.63
C6	37.53	330.00	6° 30' 57"	N60° 14' 32" W	37.51
C7	29.10	25.00	66° 41' 16"	S89° 40' 19" W	27.48
C8	100.13	330.00	17° 23' 9"	S65° 01' 15" W	99.75
C9	78.54	50.00	90° 0' 0"	N42° 09' 48" E	70.71
C10	78.47	50.00	89° 55' 15"	S47° 47' 50" E	70.66
C11	180.90	1000.00	10° 56' 16"	S87° 22' 04" E	190.61
C12	373.48	1000.00	21° 23' 56"	N87° 24' 06" E	371.32
C13	367.27	300.00	70° 8' 35"	N41° 37' 50" E	344.76
C14	71.98	300.00	13° 44' 7"	S56° 37' 37" E	71.80
C15	19.63	1800.00	0° 37' 30"	N06° 14' 47" E	19.63
C16	16.09	25.00	36° 52' 11"	S21° 11' 33" E	15.81
C17	39.85	25.00	91° 20' 7"	S42° 54' 37" W	35.76
C18	39.30	25.00	90° 4' 45"	N47° 47' 50" E	35.38
C19	226.25	50.00	258° 15' 58"	S20° 37' 23" E	77.01
C20	9.53	25.00	21° 50' 48"	S81° 54' 48" E	9.47
C21	25.05	25.00	57° 25' 10"	N58° 27' 13" E	24.02
C22	39.27	25.00	90° 0' 0"	S42° 09' 48" W	35.36
C23	39.24	25.00	89° 55' 15"	S47° 47' 50" E	35.33
C24	117.81	75.00	90° 0' 0"	S47° 09' 48" W	105.07
C25	117.71	75.00	89° 55' 15"	S47° 47' 50" E	105.99
C26	39.30	25.00	90° 4' 45"	S47° 47' 50" E	35.38
C27	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C28	39.24	25.00	89° 55' 15"	N42° 12' 10" E	35.33
C29	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C30	225.85	50.00	258° 48' 31"	S15° 36' 26" W	77.27
C31	25.21	25.00	57° 46' 9"	S63° 52' 23" E	24.15
C32	9.18	25.00	21° 2' 22"	N76° 43' 22" E	9.13
C33	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C34	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C35	39.21	25.00	89° 51' 36"	S42° 10' 21" W	35.31

9.032 ACRES
ANGLETON DRAINAGE DISTRICT
VOL.329, PG.340 D.R.B.C.

4.0174 ACRES
GOOD SHEPHERD
LUTHERAN CHURCH
VOL. 288, PG 254
O.P.R.B.C.

14.571 ACRES
E.J. KING SR. & JACKIE M. KING
FILE NO. 2014054480
O.P.R.B.C.

FINAL PLAT OF
WINDROSE GREEN SECTION THREE

BEING 23.70 ACRES
LOCATED IN THE
T. S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS
122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' JANUARY, 2023

ENGINEER/SURVEYOR:



PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

OWNER:
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HOUSTON, TEXAS 77063

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TBPE FIRM REGISTRATION NO. 280
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April 3, 2023

Otis T. Spriggs, AICP
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: Windrose Green Sec 3 Final Plat
Costello, Inc. Job No. 2021050-000-DV-012-12B

Director Spriggs,

Please see each of your plat comments addressed below. If you require additional information or have any questions, please let us know.

Sheet 1 of 3

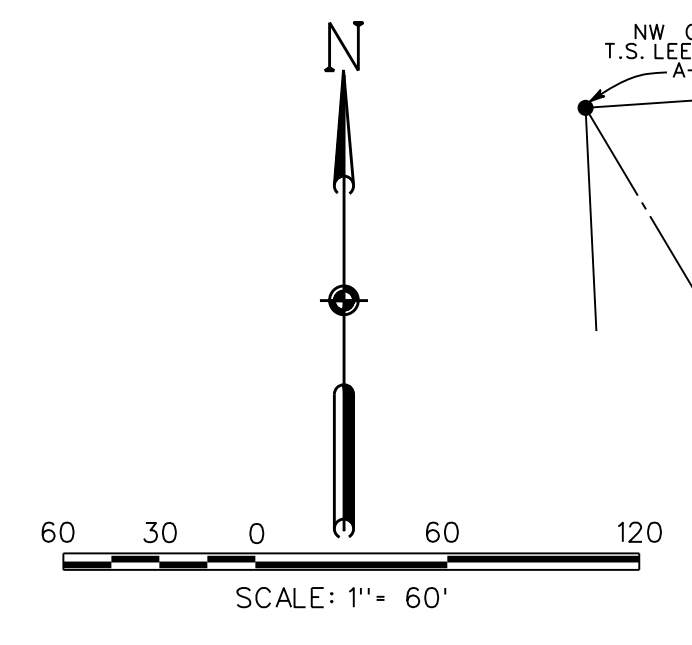
1. Remove additional text shown in the Engineer's Certification Block
 - a. *Additional text has been removed.*
2. Provide the required plat notes take from the Angleton LDC Sec.23-115, L.
 - a. *Required plat notes have been provided.*
3. Update text shown. Plat drawing shows "O.P.R.B.C."
 - a. *Text has been updated.*

Sheet 2 of 3

4. Label existing New Dawn Drive from Windrose Green Section 1.
 - a. *Street has been labeled.*
5. Verify street name "Windrose Bend". Per preliminary plat, "Windrose Bend Drive" was used.
 - a. *Windrose Bend is a continuation of the same street from Windrose Green Sec 1 and was so recorded.*
6. Update the FEMA FIRM information in Plat Note #8 to reflect current information.
 - a. *Current FEMA FIRM information in Plat Note #8 is updated.*
7. Show bearing and distance for the east line shown along the King Subdivision.
 - a. *Bearing and distance is now shown.*

Sincerely,
Costello, Inc.

Renissa M. Garza Montalvo, AICP, CPRP
Plat Coordinator



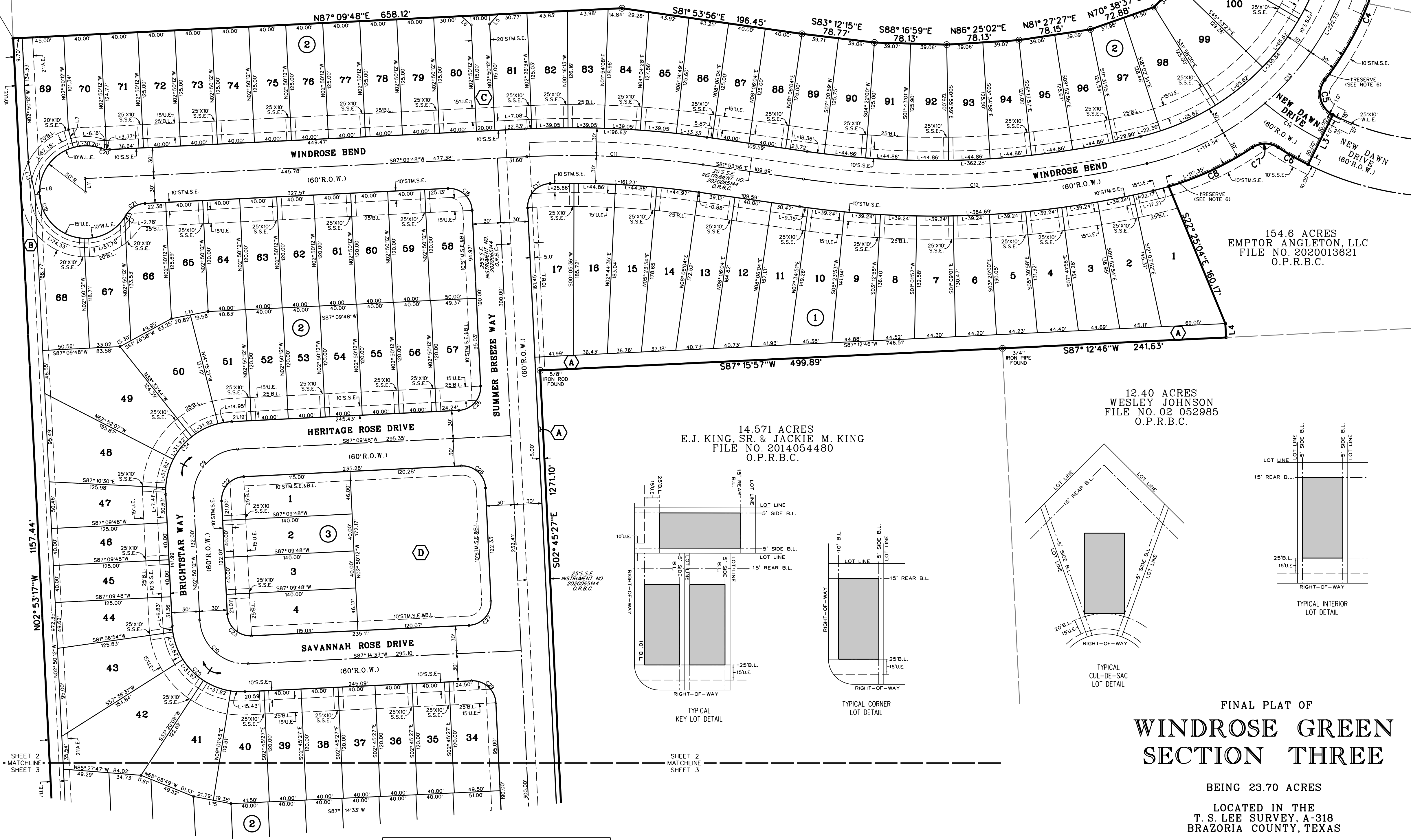
LEGEND

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CALLED 100.000 ACRES
 ANGLETON INDEPENDENT
 SCHOOL DISTRICT
 FILE NO. 2008002676
 O.P.R.B.C.

WINDROSE GREEN
 SEC 1
 PLAT NO. 2021062480
 B.C.P.R.

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 ANGLETON DRAINAGE DISTRICT
 VOL. 329, PG. 340 D.R.B.C.

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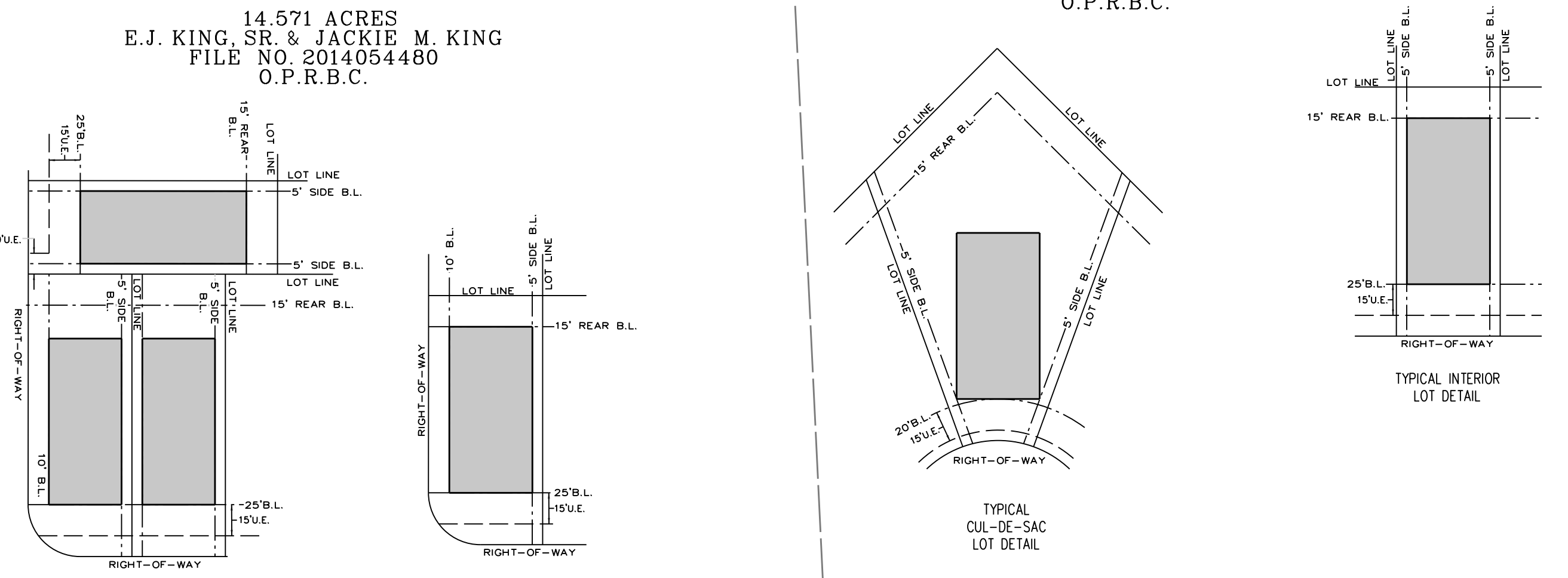
12.40 ACRES
 WESLEY JOHNSON
 FILE NO. 02 052985
 O.P.R.B.C.

154.6 ACRES
 EMPTOR ANGLETON, LLC
 FILE NO. 2020013621
 O.P.R.B.C.

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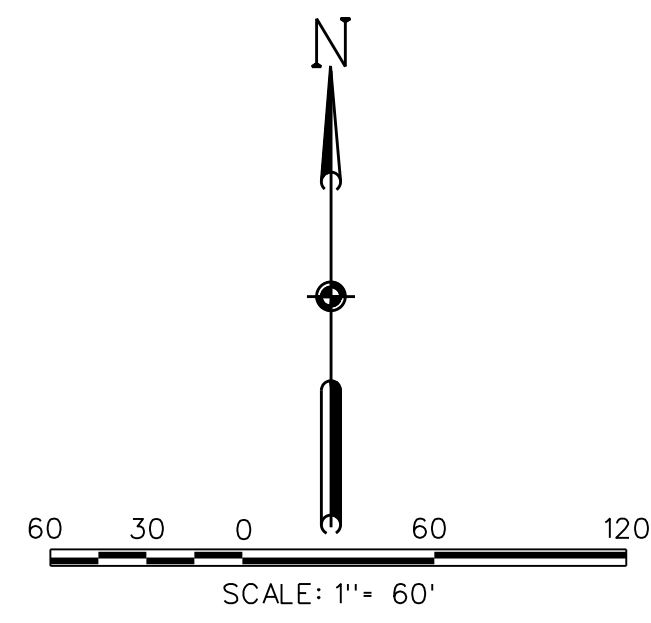
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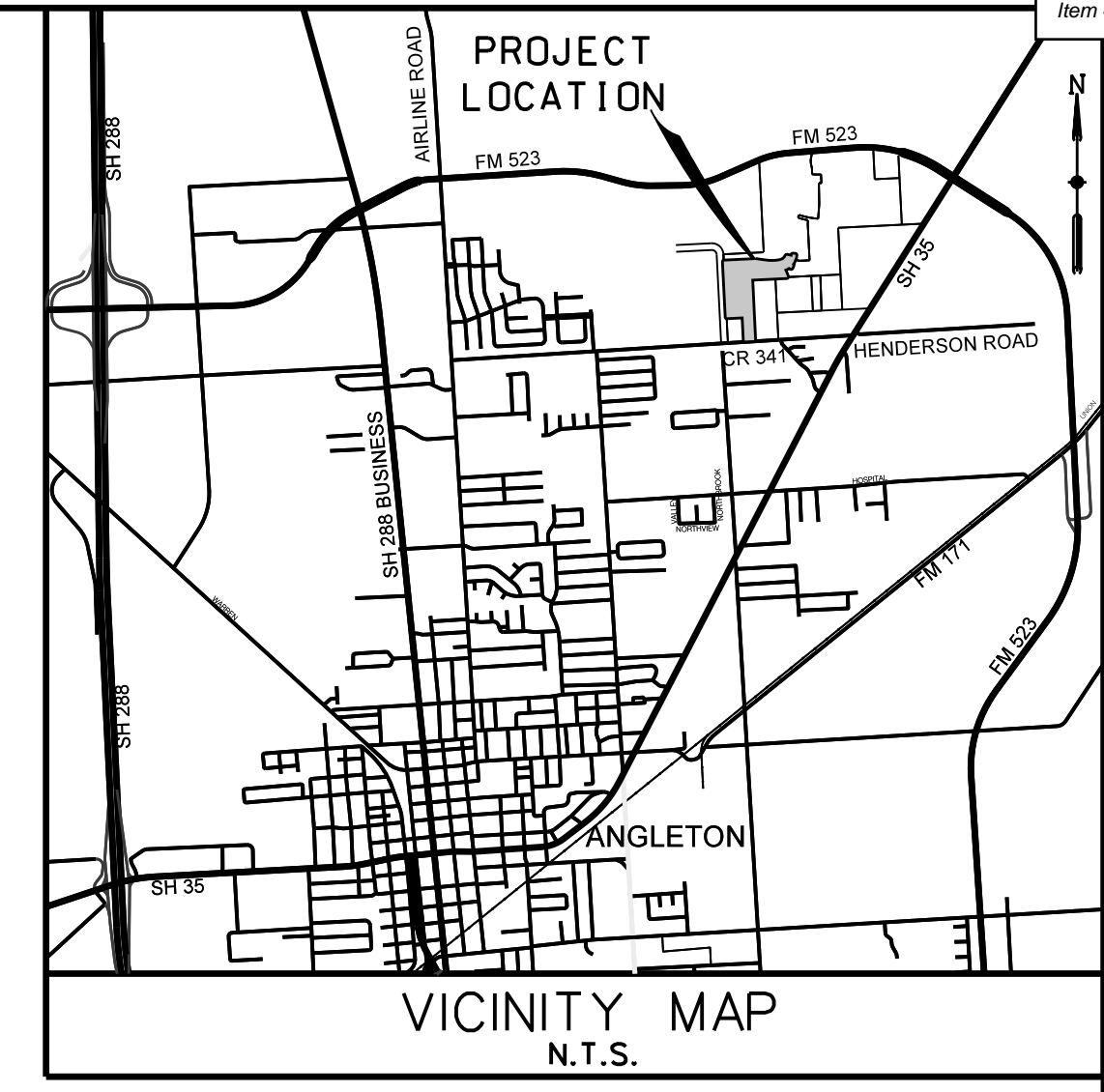
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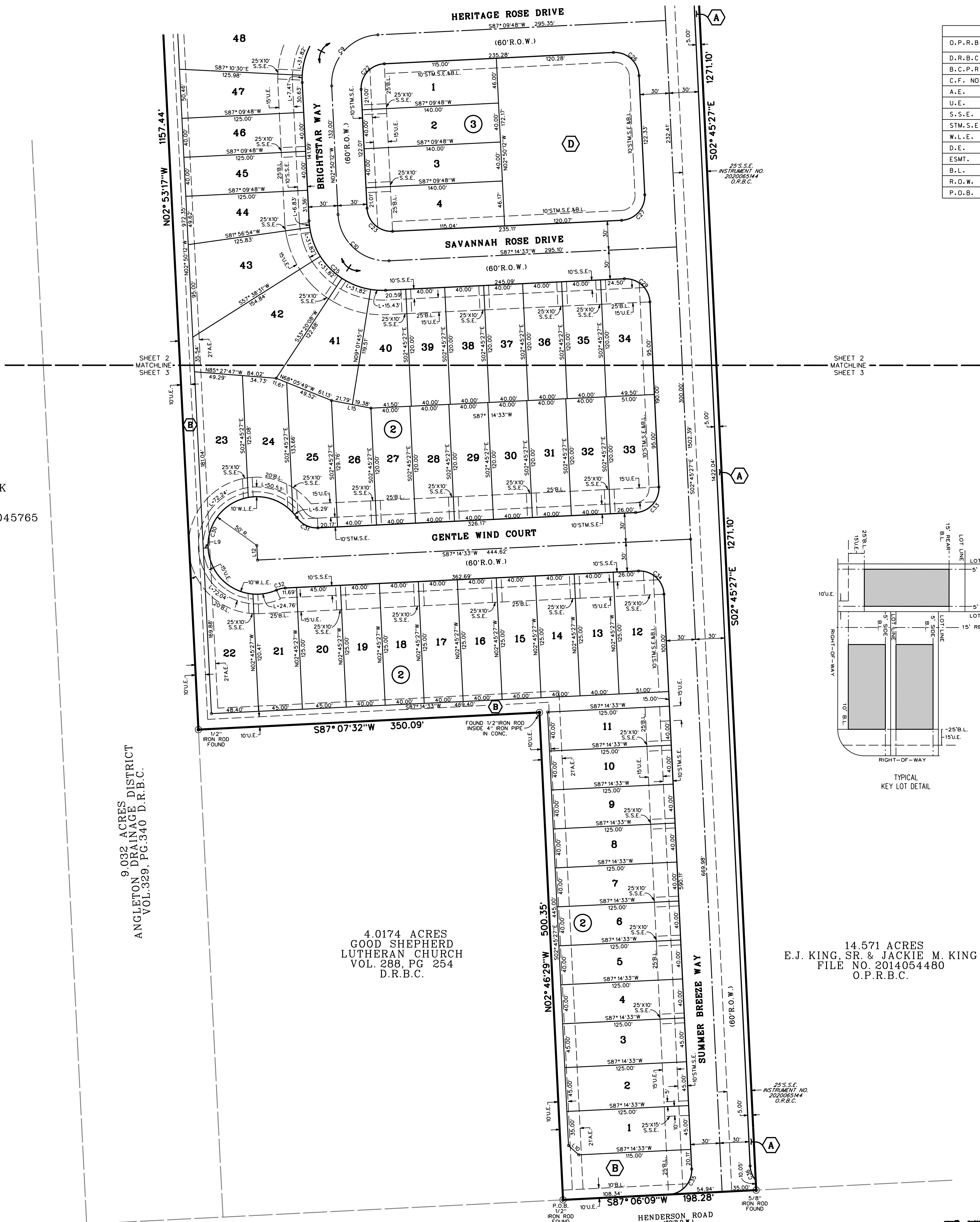
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L15	N79°03'05"W	41.17

CURVE DATA TABLE

NUMBER	ARC LENGTH (FEET)	RADIUS (FEET)	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH (FEET)
C1	31.77	270.00	6° 44' 33"	N09° 55' 49" E	31.75
C2	19.31	1770.00	0° 37' 30"	N06° 14' 47" E	19.31
C3	19.96	1830.00	0° 37' 30"	S06° 14' 47" W	19.96
C4	179.28	330.00	31° 7' 38"	S22° 07' 27" W	177.08
C5	44.15	25.00	101° 11' 11"	S12° 54' 25" E	38.63
C6	37.53	330.00	6° 30' 57"	N60° 14' 32" W	37.51
C7	29.10	25.00	66° 41' 16"	S89° 40' 19" W	27.48
C8	100.13	330.00	17° 23' 9"	S65° 01' 15" W	99.75
C9	78.54	50.00	90° 0' 0"	N42° 09' 48" E	70.71
C10	78.47	50.00	89° 55' 15"	S47° 47' 50" E	70.66
C11	190.90	1000.00	10° 56' 16"	S87° 22' 04" E	190.61
C12	373.48	1000.00	21° 23' 56"	N87° 24' 06" E	371.32
C13	367.27	300.00	70° 8' 35"	N41° 37' 50" E	344.76
C14	71.98	300.00	13° 44' 47"	S56° 37' 37" E	71.80
C15	19.63	1800.00	0° 37' 30"	N06° 14' 47" E	19.63
C16	16.09	25.00	36° 52' 11"	S21° 11' 33" E	15.81
C17	39.85	25.00	91° 20' 7"	S42° 54' 37" W	35.76
C18	39.30	25.00	90° 4' 45"	N42° 12' 10" E	35.36
C19	226.25	50.00	259° 15' 58"	S20° 37' 23" E	77.01
C20	9.53	25.00	21° 50' 48"	S81° 54' 48" E	9.47
C21	25.05	25.00	57° 25' 10"	N58° 27' 13" E	24.02
C22	39.27	25.00	90° 0' 0"	S42° 09' 48" W	35.36
C23	39.24	25.00	89° 55' 15"	S47° 47' 50" E	35.33
C24	117.81	75.00	90° 0' 0"	S42° 09' 48" W	105.07
C25	117.71	75.00	89° 55' 15"	S47° 47' 50" E	105.99
C26	39.30	25.00	90° 4' 45"	S47° 47' 50" E	35.38
C27	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C28	39.24	25.00	89° 55' 15"	N42° 12' 10" E	35.33
C29	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C30	225.85	50.00	258° 48' 31"	S15° 36' 26" W	77.27
C31	25.21	25.00	57° 48' 9"	S63° 52' 23" E	24.15
C32	9.18	25.00	21° 2' 22"	N76° 43' 22" E	9.13
C33	39.27	25.00	90° 0' 0"	N42° 14' 33" E	35.36
C34	39.27	25.00	90° 0' 0"	S47° 45' 27" E	35.36
C35	39.21	25.00	89° 51' 36"	S42° 10' 21" W	35.31

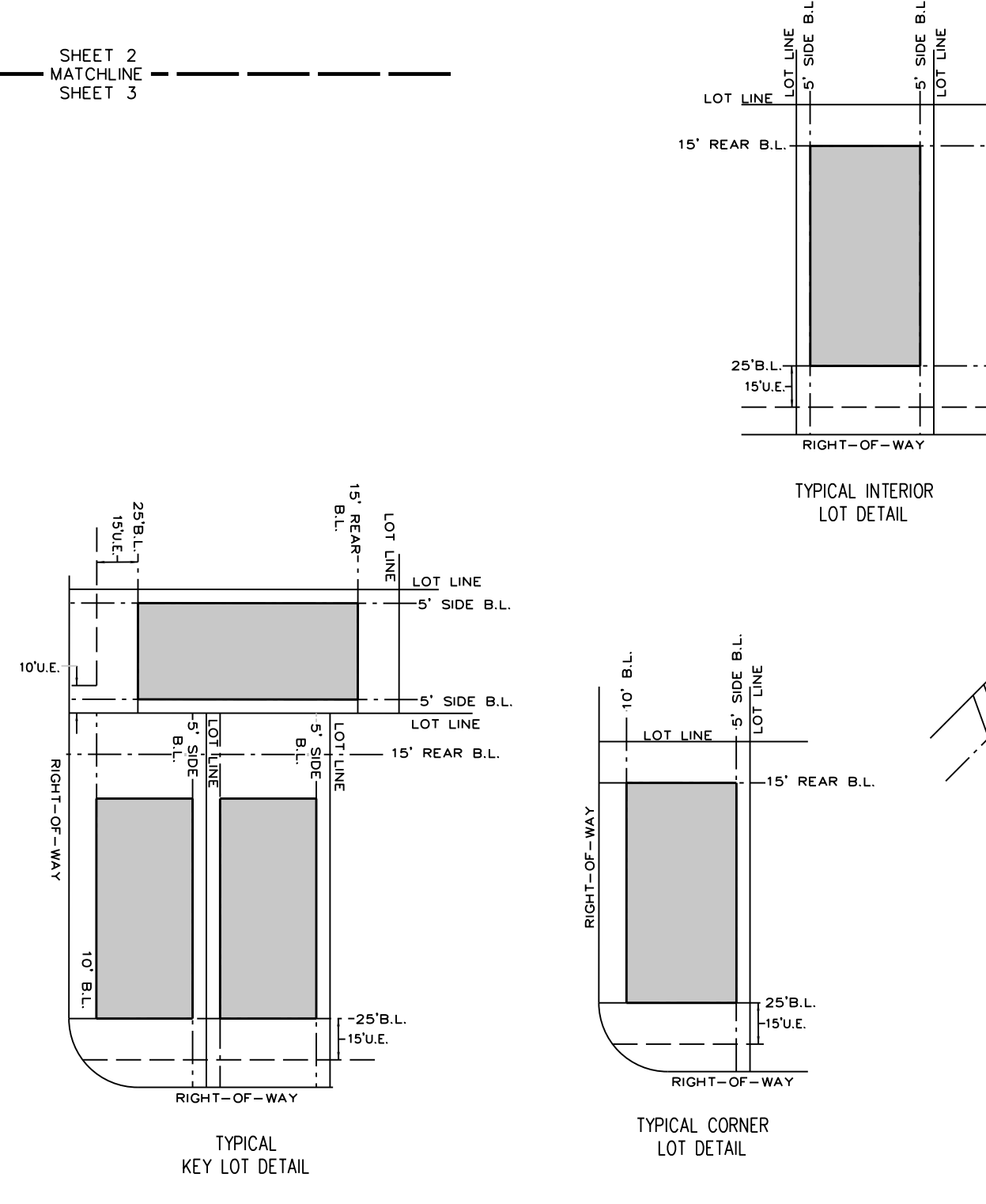


RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
O.P.R.B.C.

9.032 ACRES
ANGLETON DRAINAGE DISTRICT
VOL. 329, PG. 340 D.R.B.C.

4.0174 ACRES
GOOD SHEPHERD
LUTHERAN CHURCH
VOL. 288, PG. 254
D.R.B.C.

14.571 ACRES
E.J. KING SR. & JACKIE M. KING
FILE NO. 2014054480
O.P.R.B.C.



FINAL PLAT OF
WINDROSE GREEN SECTION THREE

BEING 23.70 ACRES
LOCATED IN THE
T.S. LEE SURVEY, A-318
BRAZORIA COUNTY, TEXAS
122 LOTS 3 BLOCKS 4 RESERVES

SCALE: 1" = 60' APRIL, 2023

PLANNER:
META
PLANNING + DESIGN
24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

OWNER:
EMPTOR ANGLETON, LLC.,
A TEXAS LIMITED LIABILITY COMPANY

ENGINEER/SURVEYOR:
Costello
COSTELLO, INC.
2107 CITYWEST BOULEVARD
3RD FLOOR
HOUSTON, TEXAS 77042
(713) 783-7788 FAX: 783-3580
TBPE FIRM REGISTRATION NO. 280
TBPLS FIRM REGISTRATION NO. 100486



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 2/28/23

TYPE OF PLAT APPLICATION

ADMINISTRATIVE

MINOR

AMENDING/REPLAT

PRELIMINARY

RESIDENTIAL

COMMERCIAL

FINAL

RESIDENTIAL

COMMERCIAL

Address of property: Henderson Road west of SH 35

Name of Applicant: Remissa M. Garza Montalvo, AICP, (PRA) Phone: 281-788-8015

Name of Company: Costello, Inc. Phone: 713-783-7788

E-mail: rgarza.montalvo@costelloinc.com

Name of Owner of Property: Emptor Angleton, LLC

Address: 9950 Westpark Drive #285 Houston, TX 77063

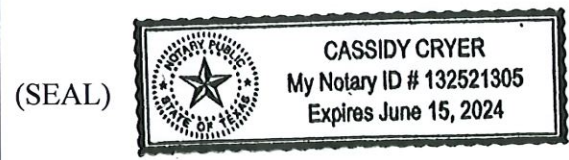
Phone: _____ E-mail: _____

I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) [Signature]

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 27th day of February, 20 23.



Cassidy Cryer
Notary Public for the State of Texas
Commission Expires: 6.15.24

PROJECT SUMMARY FORM

Address of property Henderson Road west of SH35

The subject property fronts 198.28 feet on the north side of Henderson Road

Depth: 1,722 Area: 23.70 Acres: 1,032,372 square feet

INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):

For the development of 122 single-family residential lots and four reserves.

Is this platting a requirement for obtaining a building permit? YES NO

INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.

Name: Remissa M. Ganza Montalvo Date: 2/28/23
ALCP, UPRP

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description)

Being 23.70ac located in the T.S. Lee Survey, A-318 Brazoria County, TX

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Costello Engineering (Remissam Ganza Montalvo AICP, CRRP)

ADDRESS: 2107 City West Blvd, 3rd Fl Houston, TX 77042

APPLICANT PHONE # 281-788-8015 E-MAIL: rganzamontalvo@costelloinc.com

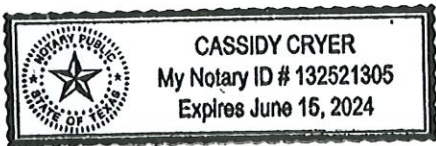
PRINTED NAME OF OWNER: Jeb Kolby, P.E. (Concourse Development, LLC)

SIGNATURE OF OWNER: [Handwritten Signature] DATE: 2/27/23

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 27th day of February, 2023.

(SEAL)



[Handwritten Signature] Notary Public for the State of Texas Commission Expires: 6.15.24

SUBMITTAL REQUIREMENTS

Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN_DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

1. A completed application form and application fee;
2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with §117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
3. A preliminary utility plan showing all existing and proposed utilities;
4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
6. A drainage report, as set out in section 23-15, Drainage and utilities;
7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
8. A current tax certificate(s);
9. Construction plans may be submitted at the option of the applicant;
10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
12. Heritage tree survey and a tree preservation plan;
13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

***RESIDENTIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

200 Lots or less	\$800.00 plus \$6.00 per lot
More than 200 Lots	\$4.00 per additional lot over 200
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

***COMMERCIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time)

OFFICE USE ONLY:

Date received: _____ By: _____

Type of Plat: _____

Description of individual charges:

Total Fee Received: _____ By: _____

Proof of taxes received: ____ Yes If no, explain: _____

PRELIMINARY PLAT MEETINGS:

Pre-submission conference/meeting date: _____

Received Preliminary Plat on: _____ by _____

Preliminary plat staff meeting date: _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

FINAL PLAT MEETINGS:

Received final plat on _____ by _____

Reviewed by Staff on _____ by _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

Filed with County Clerk on: _____

File-stamped copy to owner/developer on: _____



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on a Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes, out of the Shubael Marsh Survey A-81 & A-82, Brazoria County, Texas as submitted by Ashton Gray Development.

AGENDA ITEM SECTION: Consent Agenda Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

Consideration of approval of a Preliminary Plat for Ashland Development Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes and to allow for a lift station, out of the Shubael Marsh Survey A-81 & A-82, Brazoria County, Texas as submitted by META Planning and Design LLC on behalf of Ashton Gray Development.

The property is currently within the ETJ, Extraterritorial Jurisdiction within Brazoria County.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented the Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes. The City Engineer has reviewed the submitted Preliminary Plat for Ashland Utility Reserve, and listed (9) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

The planning commission should approve the Preliminary Plat for Ashland Development Utility Reserve, 0.23 acres of land, containing two reserves in one block for utility purposes and a lift station and recommend it to City Council for final action, subject the final approval of the Development Agreement.

Commission Action:

Motion was made by Commission Member Michelle Townsend to approve approves of the proposed final plat and recommends it to the City Council for final action subject to final approval of the DA. Motion was seconded by Commission Member Regina Bieri.

Commission Action:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby; Aye; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Aye and Commission Member Michelle Townsend- Aye.

Roll Call vote:

Motion carried, 6 -1 vote.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Utility Reserve, and listed (9) comments which have all been addressed by the applicant. Staff has cleared all the noted comments.

RECOMMENDATION: The planning commission approved the Preliminary Plat for Ashland Development Utility Reserve, 0.23 acres of land, containing two reserves in one block for utility purposes and a lift station and recommend it to City Council for final action, subject the final approval of the Development Agreement.

April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Ashland Subdivision – Utility Reserves Preliminary Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 1

1. Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1).
2. Metes and Bounds Field Notes to be provided.
3. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
4. Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station).
5. Plat note #9 - For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.
6. At least one corner referencing a survey (abstract) corner per Angleton LDC Sec. 23-117 B.1.a.
7. Verify table to include decimals to correlate with metes and bounds description to be provided.
8. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
9. Complete all information noted in the dedication statement.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Utility Reserves Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

Complete all information noted in the dedication statement.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plot is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns: "Drainage Easements" shown on the plot are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s). The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved. The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plot, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner
Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jores, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plot from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jores
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plot. To the best of my knowledge, this plot conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THE PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

Mayor

City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

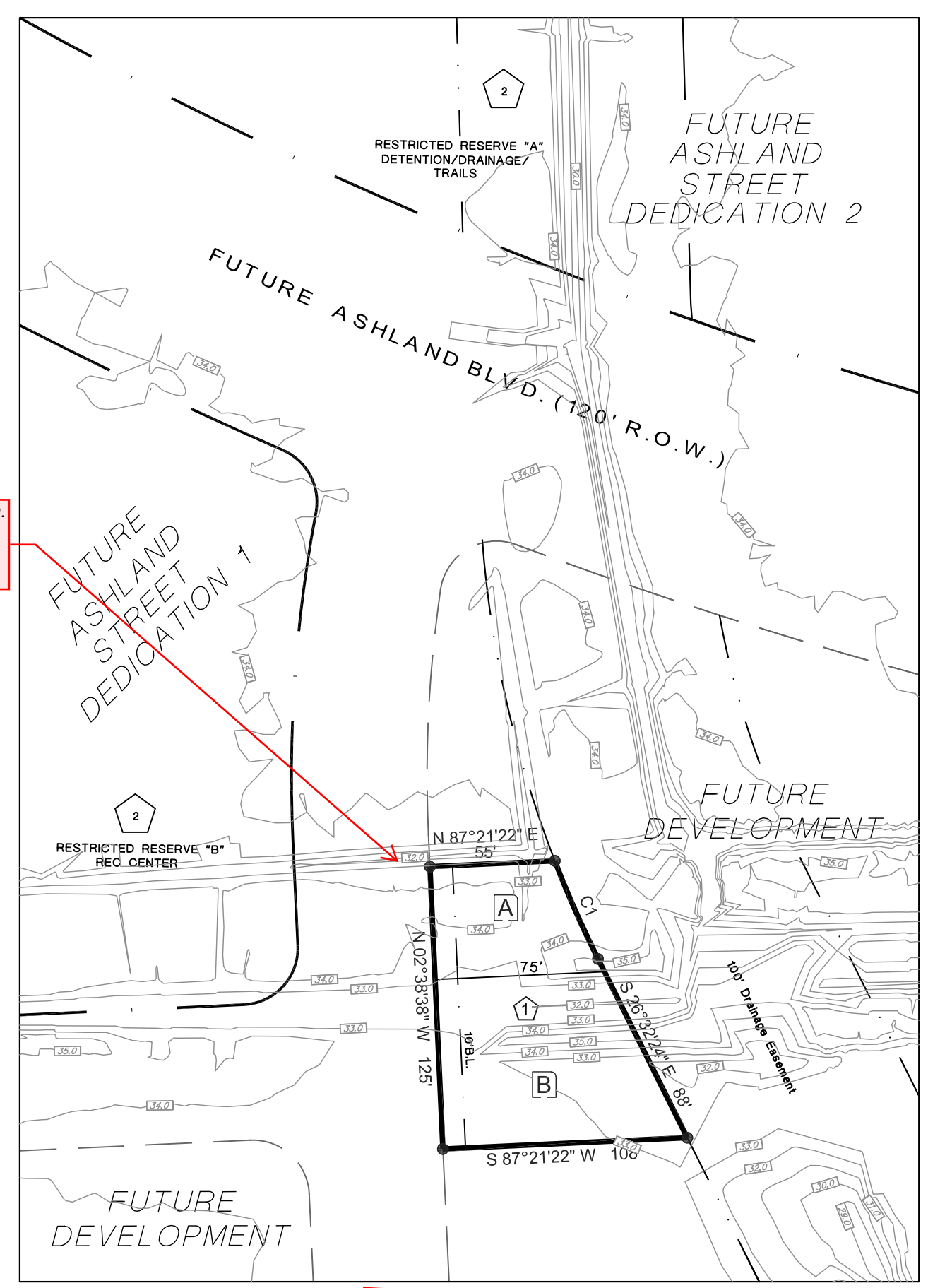
This instrument was acknowledged before me on the ____ day of _____, 20____, by _____, City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

- LEGEND:
- 1.) "B.L." INDICATES BUILDING LINE.
 - 2.) "AC." INDICATES ACREAGE.
 - 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
 - 4.) "P.O.B." INDICATES POINT OF BEGINNING.
 - 5.) "NO." INDICATES NUMBER.
 - 6.) "U" INDICATES UTILITY EASEMENT.
 - 7.) "[A]" INDICATES RESERVE NUMBER.

GENERAL NOTE:

- 1.) "U.E." INDICATES UTILITY EASEMENT.
- 2.) "1' RES." INDICATES ONE FOOT RESERVE. dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicatior, his heirs assigns, or successors.
- 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 8.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
- 10.) HORIZONTAL DATUM: ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE. VERTICAL DATUM: ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.
- 11.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 48545B, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- 13.) QUIDDITY ENGINEERING, LLC, TPBE FIRM REGISTRATION No. F-23290, TPBLS FIRM REGISTRATION No. 10046100, IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
- 14.) PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC., UPON RECORDATION OF A FINAL PLAT.
- 15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.



LDC Sec. 23-117 B.1.a. - At least one corner referencing a survey (abstract) corner.

Recommend adding additional scale information under the plat drawing for clarification purposes.

CURVE TABLE

CURVE	ARC RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	500'	47'	24'	S 2349'17" E	47'

LAND USE TABLE

RESERVE	ACREAGE	SQ. FT.	LAND USE
[A]	±0.07	3,233	UTILITIES
[B]	±0.16	6,871	LIFT STATION

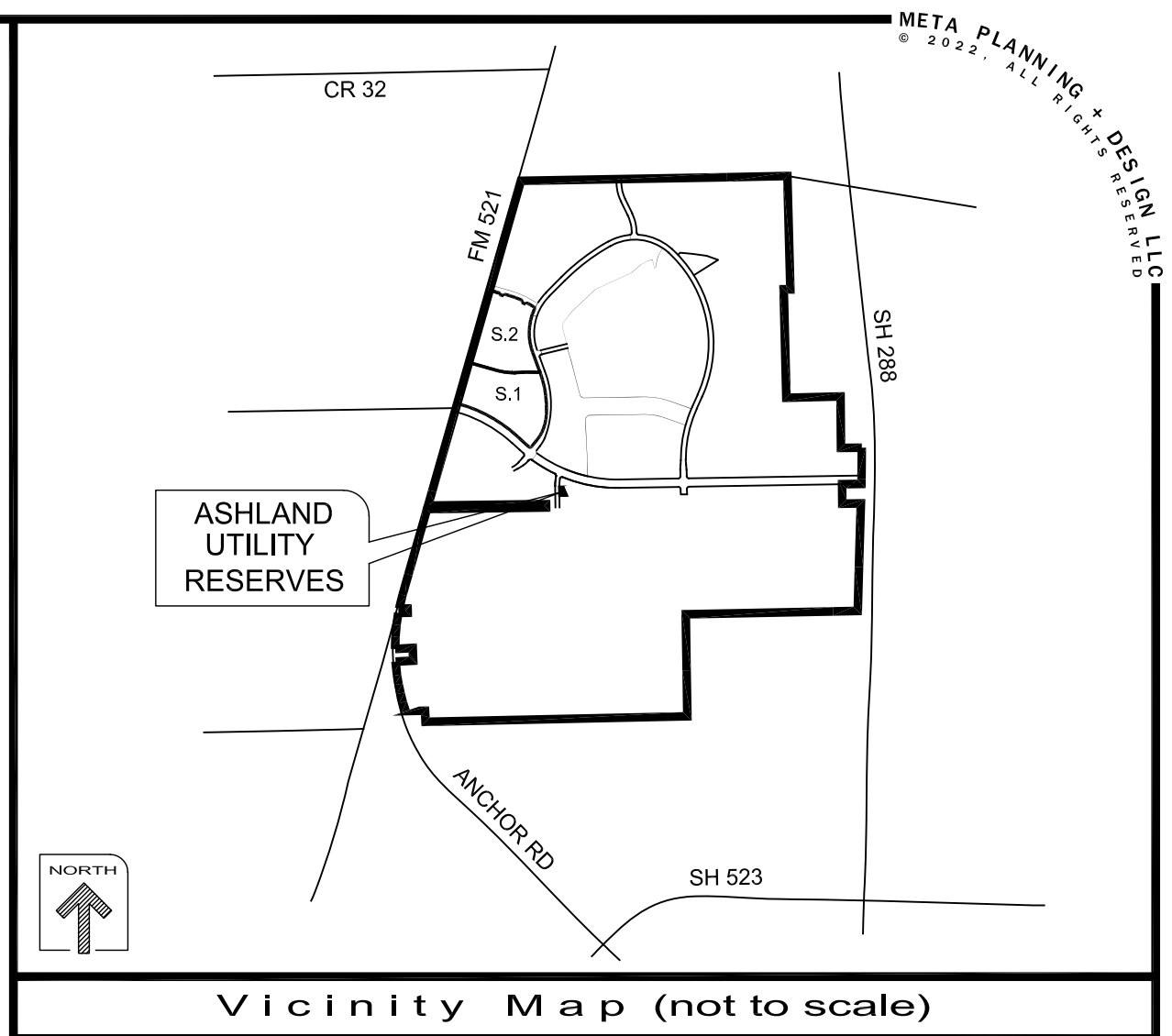
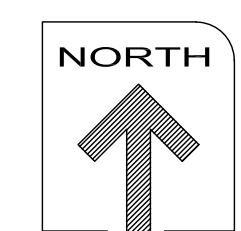
Typical: Verify table to include decimals to correlate with metes and bounds description to be provided.

Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1)

Plat note #9 - For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.

Verify information noted. It appears this subdivision is completely within Zone X (shaded).

Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station).



Metes and Bounds Field Notes to be provided

ASHLAND UTILITY RESERVES

BEING 0.23± ACRES OF LAND CONTAINING TWO RESERVES IN ONE BLOCK.

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER: QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TPBELS Firm Registration No. 10046104



SCALE: 1" = 60'
0 60 120

MARCH 1, 2023

MTA-78006

April 3, 2023

Mr. Otis Spriggs
Development Services Director
121 S. Velasco Street,
Angleton, TX, 77515

Re: ASHLAND UTILITY AND LIFT STATION RESERVES- RESUBMITTAL

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

1. Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1).
Response: The plat has been renamed Ashland Utility and Lift Station Reserves. Please see updated plat.
2. Metes and Bounds Field Notes to be provided.
Response: Metes and Bounds have been included. Please see updated plat.
3. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
Response: The FIRM information as provided is correct.
4. Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station).
Response: A note to address this has been added to the plat. Please see updated plat.
5. Plat note #9 - For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.
Response: Note #9 has been updated to read as follows: "All reserves shall be owned and maintained by Brazoria County MUD 82 or Centric Gas and Fiber" (Centric will maintain the Fiber Hub). Please see updated plat.
6. At least one corner referencing a survey (abstract) corner per Angleton LDC Sec. 23-117 B.1.a.
Response: A survey tie has been provided. Please see updated plat.
7. Update table to include decimals as noted in the metes and bounds description (Typical).
Response: The line and curve tables have been updated to reflect decimals. Please see updated plat.
8. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
Response: The boundary is not within this plat boundary.
9. Complete all information noted in the dedication statement.
Response: The dedication statement has been completed. Please see updated plat.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,



Caitlin King
Enclosure

STATE OF TEXAS §
COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Ashland Utility and Lift Station Reserves, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:
"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).
The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.
The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.
The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner
Duly Authorized Agent

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:
That I, Steve Jores, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plot from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jores
Registered Professional Land Surveyor
No. 5317

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:
That I, William A.C. McAshon, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshon, P.E.
Professional Engineer

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING AND ZONING COMMISSION AND/OR CITY-COUNCIL. THE PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission
City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

Mayor
City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____, 20____, by _____, City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

STATE OF TEXAS §
COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 0.2320-acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPR08); said 0.2320-acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01-008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Records;

THENCE, South 14°02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1527.59 feet to a point for corner, from which a found 1/2-inch iron rod (with cap stamped "CBG") bears South 14°02'37" West, 554.42 feet;

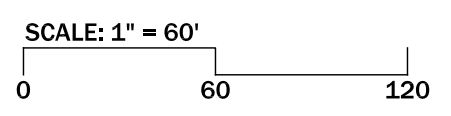
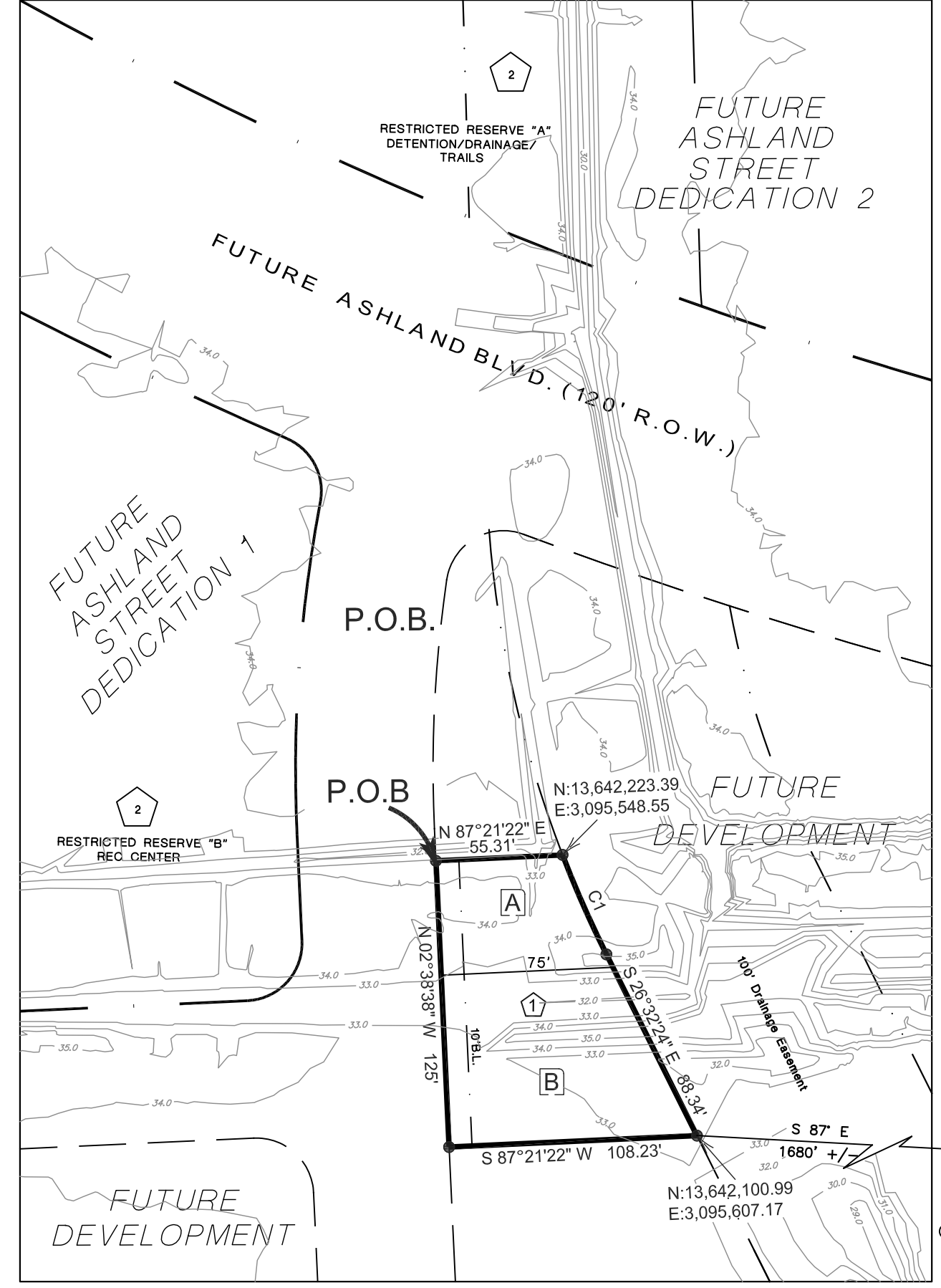
THENCE, over and across said 469.08-acre tract the following six (6) courses and distances:

- 1. South 75°57'23" East, 1730.07 feet to a point for corner marking the POINT OF BEGINNING of the herein described subject tract;
- 2. North 87°21'22" East, 55.31 feet to a point for corner marking the beginning of a non-tangent curve to the left;
- 3. Along the arc of said non-tangent curve to the left having a radius of 500.00 feet, a central angle of 05°26'14", an arc length of 47.45 feet, and a long chord bearing South 23°49'17" East, with a chord length of 47.43 feet to a point for corner;
- 4. South 26°32'24" East, 88.34 feet to a point for corner;
- 5. South 87°21'22" West, 108.23 feet to a point for corner;

North 02°38'38" West, 125.00 feet to the POINT OF BEGINNING, CONTAINING 0.2320 acres of land situated in Brazoria County, Texas

GENERAL NOTE:

- 1.) "U.E." INDICATES UTILITY EASEMENT.
- 2.) "1' RES." INDICATES ONE FOOT RESERVE. dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicatior, his heirs assigns, or successors.
- 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 8.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY BRAZORIA COUNTY MUD 82 OR CENTRIC GAS AND FIBER.
- 10.) HORIZONTAL DATUM: ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE. VERTICAL DATUM: ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.
- 11.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC, WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- 13.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No. 10046100, IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
 - PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC., UPON RECORDATION OF A FINAL PLAT.
- 15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82, CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.
- 16.) CRITICAL ELEVATIONS SHALL BE SET PER CITY OF ANGLETON GUIDELINES FOR MINIMUM SLAB ELEVATIONS.

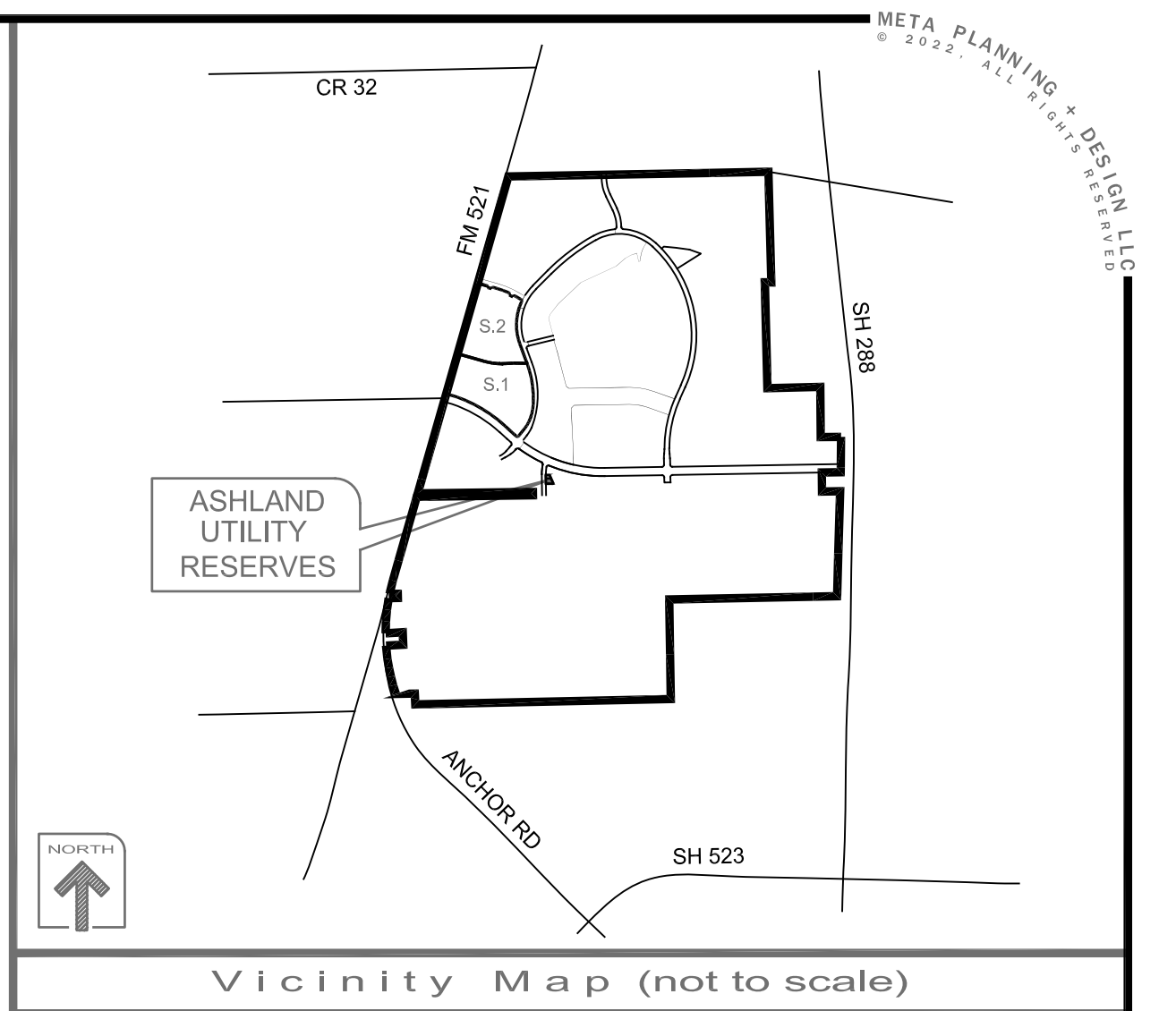
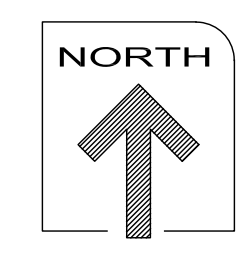


CURVE TABLE

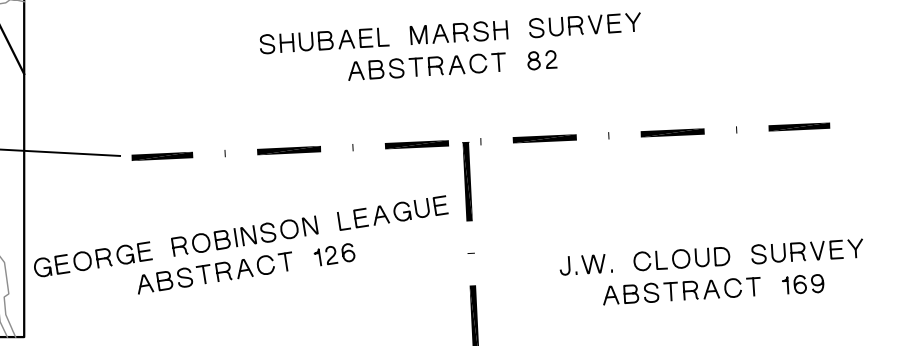
CURVE	ARC RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	500'	05°26'14"	47.45'	S 23°49'17" E	47.43'

LAND USE TABLE

RESERVE	ACREAGE	SQ. FT.	LAND USE
[A]	±0.07	3,233	UTILITIES
[B]	±0.16	6,871	LIFT STATION



- LEGEND:
- 1.) "B.L." INDICATES BUILDING LINE.
 - 2.) "AC." INDICATES ACREAGE.
 - 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
 - 4.) "P.O.B." INDICATES POINT OF BEGINNING.
 - 5.) "NO." INDICATES NUMBER.
 - 6.) "Ⓜ" INDICATES BLOCK NUMBER.
 - 7.) "[A]" INDICATES RESERVE NUMBER.



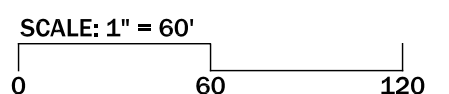
ASHLAND UTILITY AND LIFT STATION RESERVES

BEING 0.23± ACRES OF LAND CONTAINING TWO RESERVES IN ONE BLOCK.

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER: QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493
SURVEYOR: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104



APRIL 03, 2023

PLANNER: META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

MTA-78006



AGENDA ITEM SUMMARY FORM (Revised)

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on the preliminary plat of the Ashland Project Coral Haven Street Dedication

AGENDA ITEM SECTION: Consent Agenda Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY. This is a request for approval of the Ashland Project Street Dedication #2 Preliminary Plat (Attachment 1). The subject property is located within the City of Angleton ETJ between SH 521 and SH 288 and north of SH 523. No development agreement is in place to establish standards for the Ashland Project.

For roads, the construction of which are governed by the pending development agreement between City and developer, County and City shall jointly coordinate and cross-reference construction standards to verify that the roads are constructed to meet or exceed County standards.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented the Ashland Project Coral Haven Street Dedication. The City Engineer has reviewed the submitted Preliminary Plat, and listed (7) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Ashland Coral Haven Street Dedication Plat and forward it to City Council for final action, subject to the final approval of the Development Agreement. Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve approves of the proposed final plat and recommends it to the City Council for

final action subject to final approval of the DA. Motion was seconded by Commission Member Michelle Townsend.

Commission Action:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Aye; Commission Member Ellen Eby; Aye; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Aye and Commission Member Michelle Townsend- Aye.

Roll Call vote:

Motion carried, 6 -1 vote.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Development Coral Haven Street Dedication Plat, and listed (7) comments that were all addressed by the applicant. Staff has cleared all the noted comments.

Recommendation. The Planning Commission recommends approval of the Preliminary Plat for Ashland Coral Haven Street Dedication Plat and forwards it to City Council for final action, subject to the final approval of the Development Agreement.

April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Ashland Subdivision – Coral Haven Street Dedication Preliminary Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
2. Verify and update bearing information shown in the metes and bounds description (Typical).
3. Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point of beginning.

Sheet 2 of 2

1. Label tables shown on the plat (Typical).
2. Update table to include central angle information as noted in the metes and bounds description (Typical).
3. Update table to include decimals as noted in the metes and bounds description (Typical).
4. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Coral Haven Street Dedication Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

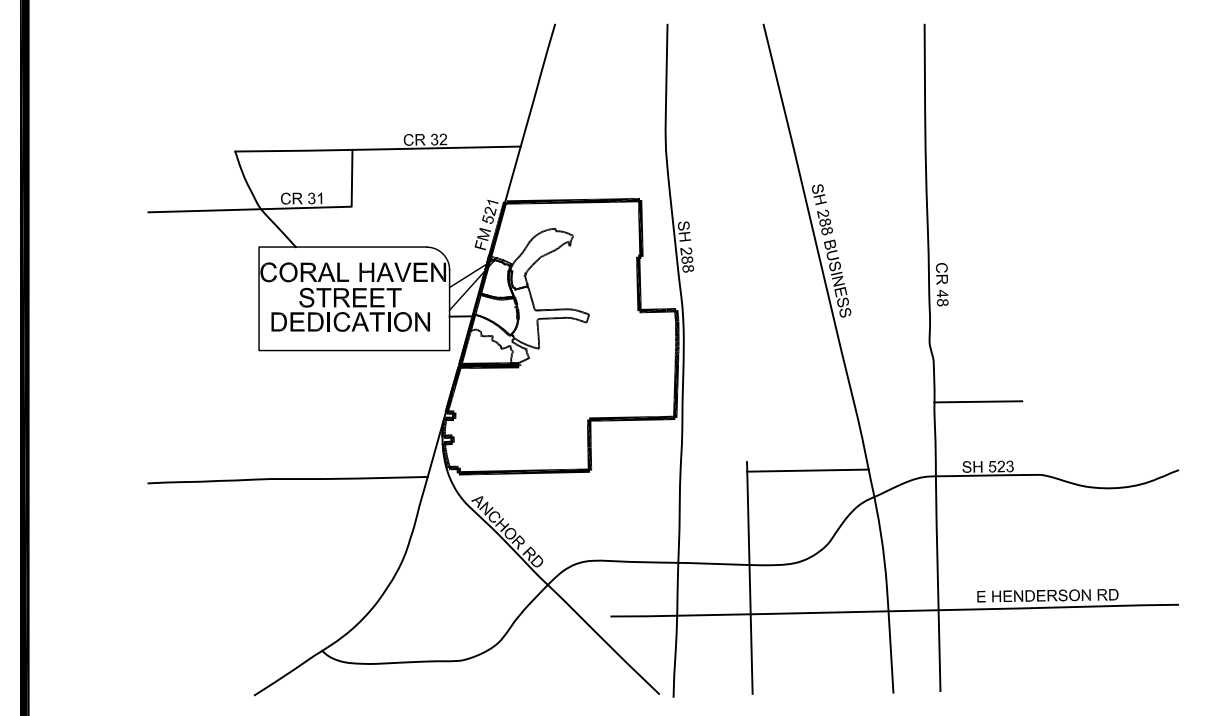
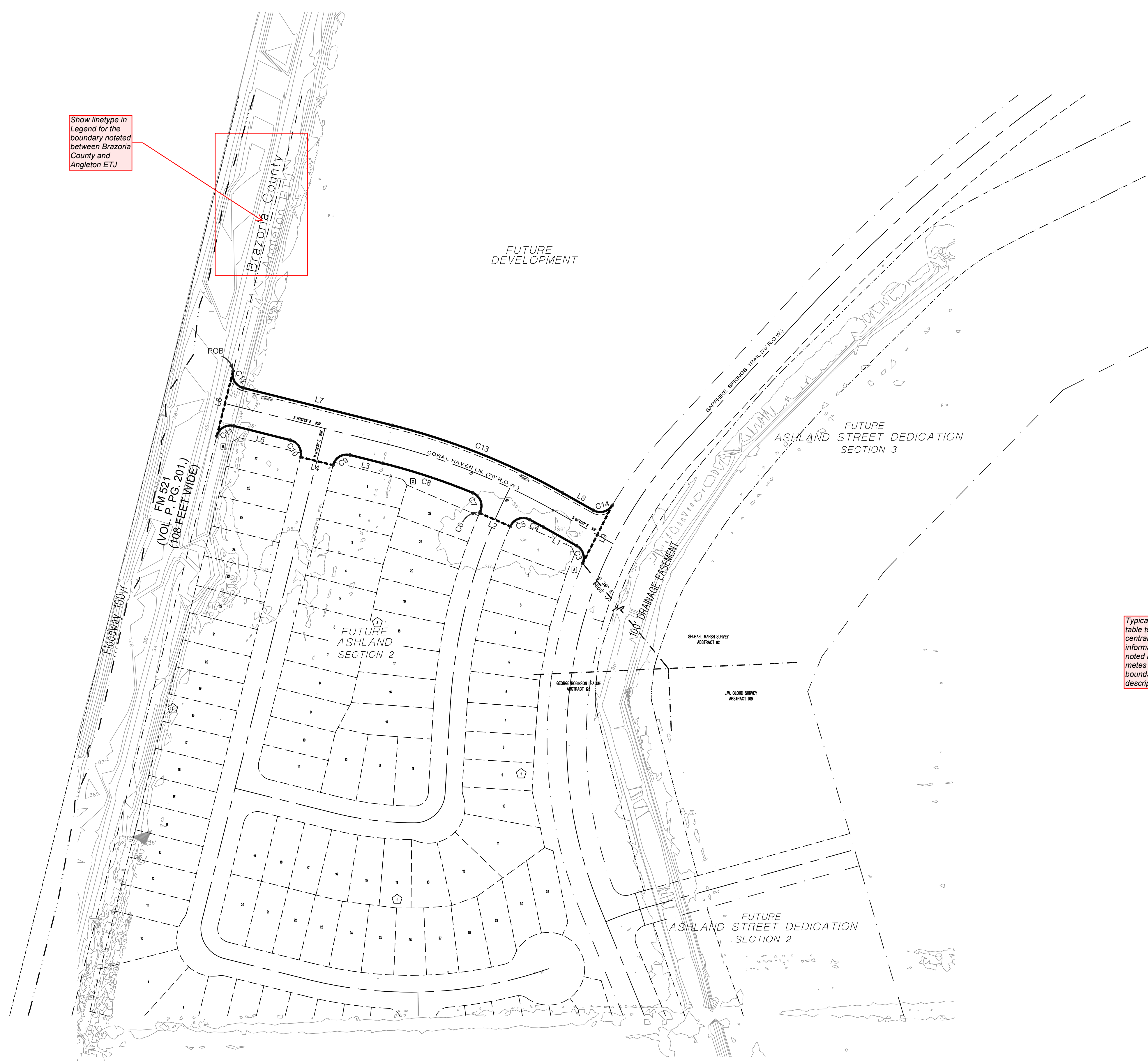
HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

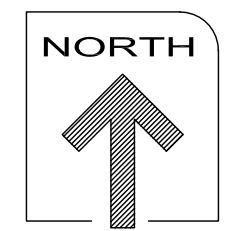
cc: Files (10361761)

Attachments

Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ



Vicinity Map (not to scale)



Typical: Label tables shown on the plat

LINE	DISTANCE	BEARING
L1	60'	N 60°41'32" W
L2	60'	N 60°32'39" W
L3	60'	N 75°52'23" W
L4	60'	N 75°52'23" W
L5	104'	N 75°52'23" W
L6	120'	N 44°52'33" E
L7	215'	S 75°52'23" E
L8	63'	N 60°41'32" W
L9	117'	S 28°54'50" W

Typical: Update table to include decimals as noted in the notes and bounds description

Typical: Update table to include central angle information as noted in the notes and bounds description

CURVE	RADIUS	ARC	TANGENT	BEARING	CHORD
C1	1000'	520'	161'	S 60°19'22" E	319'
C2	960'	410'	208'	S 15°18'11" W	407'
C3	25'	36'	22'	S 10°50'23" E	33'
C4	1165'	28'	14'	S 61°20'30" E	28'
C5	25'	41'	27'	S 70°41'08" W	33'
C6	1000'	3'	2'	S 23°34'44" W	3'
C7	25'	40'	26'	S 21°58'10" E	36'
C8	1165'	170'	85'	N 71°48'55" W	170'
C9	25'	38'	25'	S 58°02'33" W	35'
C10	25'	38'	25'	N 30°52'23" W	35'
C11	25'	38'	25'	S 58°02'33" W	35'
C12	25'	38'	25'	N 30°52'23" W	35'
C13	1235'	520'	160'	S 60°19'22" E	320'
C14	25'	38'	24'	S 70°39'38" W	35'

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLO NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

CORAL HAVEN STREET DEDICATION

BEING 1.2349 ACRES OF LAND

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

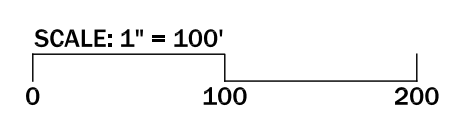
OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104

PLANNER:
META
PLANNING + DESIGN

META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422



MARCH 1, 2023

PAGE: 2 OF 2

MTA# 78006



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 11/18/2022

TYPE OF PLAT APPLICATION

ADMINISTRATIVE	PRELIMINARY	FINAL
MINOR <input type="checkbox"/>	RESIDENTIAL <input checked="" type="checkbox"/>	RESIDENTIAL <input type="checkbox"/>
AMENDING/REPLAT <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>

Address of property: _____

Name of Applicant: Caitlin King Phone: 281-810-7228

Name of Company: META Planning + Design Phone: 281-810-1442

E-mail: cking@meta-pd.com

Name of Owner of Property: Ashton Gray Development

Address: 101 Parklane Blvd, Suite 102, Sugar Land, Texas, 77478

Phone: 281-810-7228 E-mail: cking@meta-pd.com


I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) 

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 18 day of November, 2022.

(SEAL) 


Notary Public for the State of Texas
Commission Expires: 01/18/2025

April 3, 2023

Mr. Otis Spriggs
Development Services Director
121 S. Velasco Street,
Angleton, TX, 77515

Re: CORAL HAVEN STREET DEDICATION

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

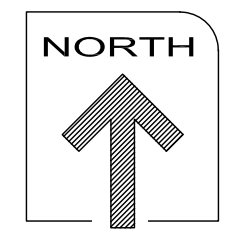
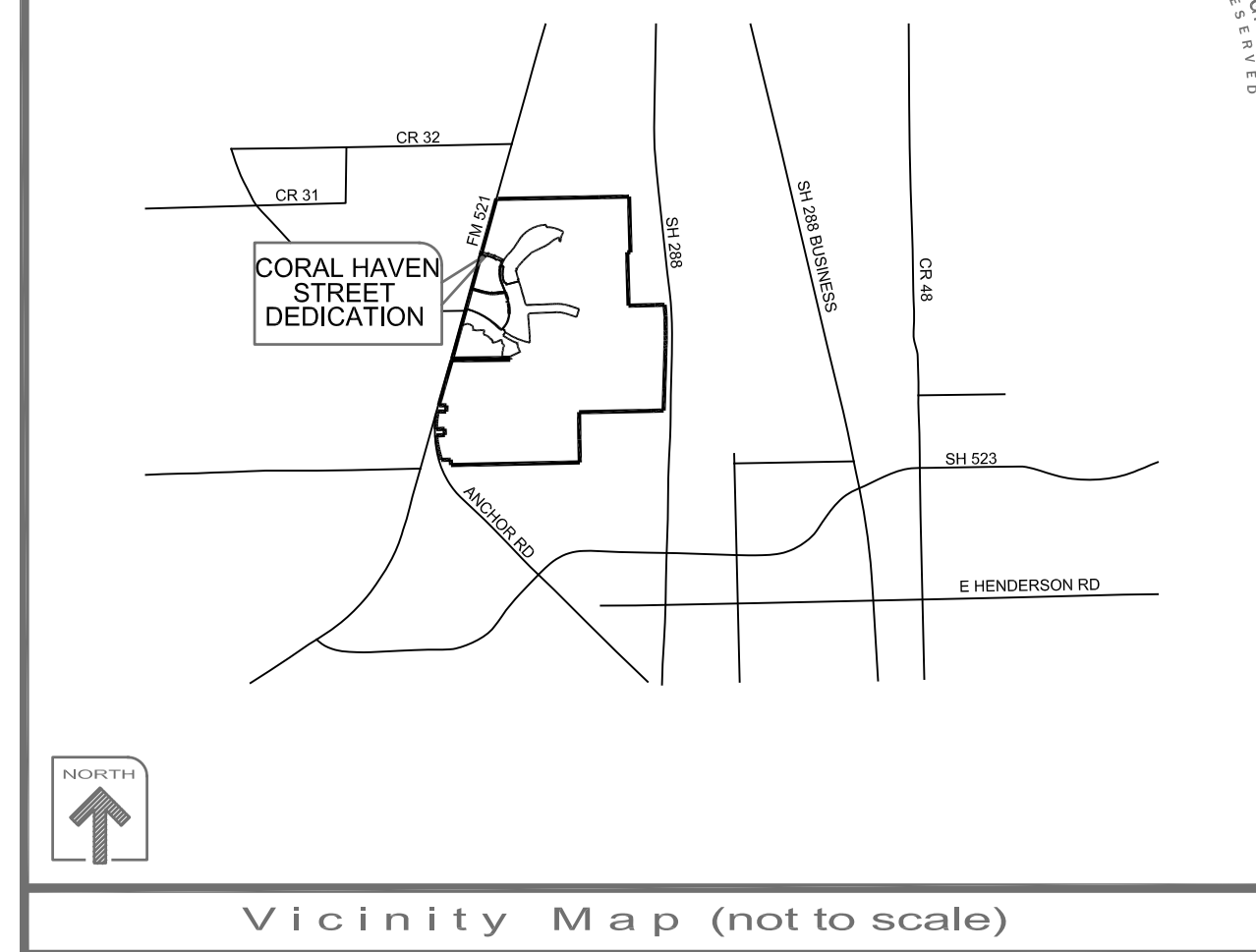
1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
Response: The FIRM information provided is correct.
2. Verify and update bearing information as shown in the metes and bounds description.
Response: Bearing information has been updated. Please see updated plat.
3. Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point of beginning.
Response: Point of Commencement has been provided. Please see updated plat.
4. Label tables shown on the plat (Typical).
Response: The line and curve tables have been labelled. Please see updated plat.
5. Update table to include central angle information as noted in the metes and bounds description (Typical).
Response: Central angles have been provided. Please see updated plat.
6. Update table to include decimals as noted in the metes and bounds description (Typical).
Response: The line and curve table now reflects two decimal places. Please see updated plat.
7. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
Response: The boundary linetype has been included in the legend. Please see updated plat.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,



Caitlin King
Enclosure



LINE TABLE		
LINE	DISTANCE	BEARING
L1	239.47'	S 75°57'13" E
L2	133.32'	S 62°03'54" E
L3	95.26'	N 62°03'54" W
L4	60.00'	N 66°03'06" W
L5	25.03'	N 75°57'13" W
L6	60.00'	N 75°57'13" W
L7	104.37'	N 75°57'13" W
L8	120.03'	S 14°00'56" W

CURVE TABLE						
CURVE	RADIUS	ARC	CENTRAL ANGLE	TANGENT	BEARING	CHORD
C1	25.00'	39.30'	90°03'37"	25.03'	S 30°59'24" E	35.37'
C2	1230.00'	298.15'	13°53'19"	149.81'	S 69°00'33" E	297.42'
C3	25.00'	37.63'	86°14'47"	23.41'	N 74°48'43" E	34.18'
C4	815.00'	116.53'	08°11'32"	58.36'	S 27°35'33" W	116.43'
C5	25.00'	37.33'	85°33'41"	23.13'	S 19°17'03" E	33.96'
C6	25.00'	41.01'	93°59'13"	26.80'	S 70°56'30" W	36.56'
C7	1020.00'	5.29'	00°17'49"	2.64'	N 24°05'48" E	5.29'
C8	25.00'	39.23'	89°54'45"	24.96'	N 20°42'40" W	35.33'
C9	1160.00'	208.25'	10°17'10"	104.41'	N 70°48'38" W	207.97'
C10	25.00'	39.27'	90°00'10"	25.00'	S 59°02'42" W	35.36'
C11	25.00'	39.27'	89°59'50"	25.00'	S 30°57'18" E	35.35'
C12	25.00'	39.27'	90°00'10"	25.00'	S 59°02'42" W	35.36'
C13	1195.00'	289.67'	13°53'19"	145.55'	S 69°00'33" E	288.96'
C14	990.00'	63.74'	03°41'19"	31.88'	S 25°47'33" W	63.73'

CORAL HAVEN STREET DEDICATION

BEING 1.2405 ACRES OF LAND

OUT OF THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

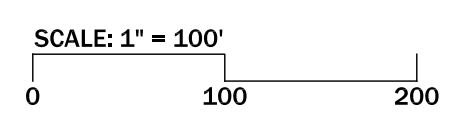
OWNER:
ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER:
QUIDDITY ENGINEERING, LLC
3100 ALVIN DEVANE BLVD #150
AUSTIN, TEXAS 78741
(512) 441-9493

SURVEYOR:
QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBPELS Firm Registration No. 10046104

PLANNER:
META
PLANNING + DESIGN

META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422



DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLO NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES, OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Development Services Director

AGENDA CONTENT: Discussion and possible action on a revised preliminary plat for Angleton Park Place Subdivision Section 1.

AGENDA ITEM SECTION: Consent Agenda

BUDGETED AMOUNT: None. **FUNDS REQUESTED:** None.

FUND: None

EXECUTIVE SUMMARY:

The subject property is located on the southeast corner of E. Phillips Road and Gifford Road, consists of 7.447 acres in Section 1 (16.73 acres in total) and is in the Manufactured Home (MH) zoning district. This project is a manufactured home subdivision and is not a manufactured home park and is proposing 50 lots, 4 blocks, 6 reserves on a 17.72-acre site.

The preliminary plat was originally approved by the Planning and Zoning Commission and City Council in 2021. The applicant Mike Morgan purchased the adjacent lot and will build two entrances on E Phillips Road. This change triggered the subdivision preliminary plat to be resubmitted as revised.

Pursuant to Section 23-11.I subdivisions containing 30 or more lots must provide two points of 100-year storm compliant public access constructed to ACM standards. The previous planned was approved to have a secondary access off of Gifford Road with the improvements being the responsibility of the Developer. The resubmitted preliminary plat does not entail any new improvements of Gifford Rd.

The second issue is the improvement of Gifford Road on the east side of the property. At one point in time the developer was instructed by staff that half of Gifford Road would have to be constructed as part of this project. Should a variance to Section 23.11.I not be granted with any future phase(s), then the only other plausible point for a second 100-year storm compliant public access would be cul-de-sac bulb on Lalia Loop. Using that as the second access point would require construction of Gifford Road.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented Angleton Park Place Subdivision Section 1. He explained the reasoning the resubmitted preliminary was to readjust the 2 entrances off of Phillips Rd. The City Engineer has reviewed the submitted Preliminary Plat, and listed (12) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Angleton Park Place Subdivision Section 1 and forward it to City Council for final action.

Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve of the proposed Angleton Park Place Preliminary Subdivision Section 1 and recommend it to the City Council for final action. Motion was seconded by Commission Member Michelle Townsend.

Commission Action:

Motion carried unanimously, 7 -0.

STAFF REVIEW:

The City Engineer has reviewed the submitted Preliminary Plat for Angleton Park Place Subdivision, Section 1 and the listed (12) comments have been addressed by the applicant. At Revisions or resubmittal were received prior to the meeting. Staff has cleared all noted comments.

RECOMMENDATION:

The Planning Commission recommends approval of the Preliminary Plat for Angleton Park Place Subdivision, and forwards the Preliminary Plat to Council for final action.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Angleton Park Place Preliminary Plat (Revised) – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
3. Notate applicable future Angleton Park Place phases on the preliminary plat.
4. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.
5. Verify and update plat to show this portion of Gifford Road as unimproved ROW.
6. Show existing Gifford Road intersection on the plat.
7. For Reserve "A", update spelling to "Residential".
8. Verify and update the name for Boardwalk Street with "Boardwalk" to be one word.
9. Remove fire easement from plat if not applicable.
10. Move Reserve and Curve Tables outside of plat drawing.
11. Include information in plat notes for ownership and maintenance of proposed plat reserves.
12. Remove additional text from the Engineer's Certificate.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Angleton Park Place Preliminary Plat (Revised) be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

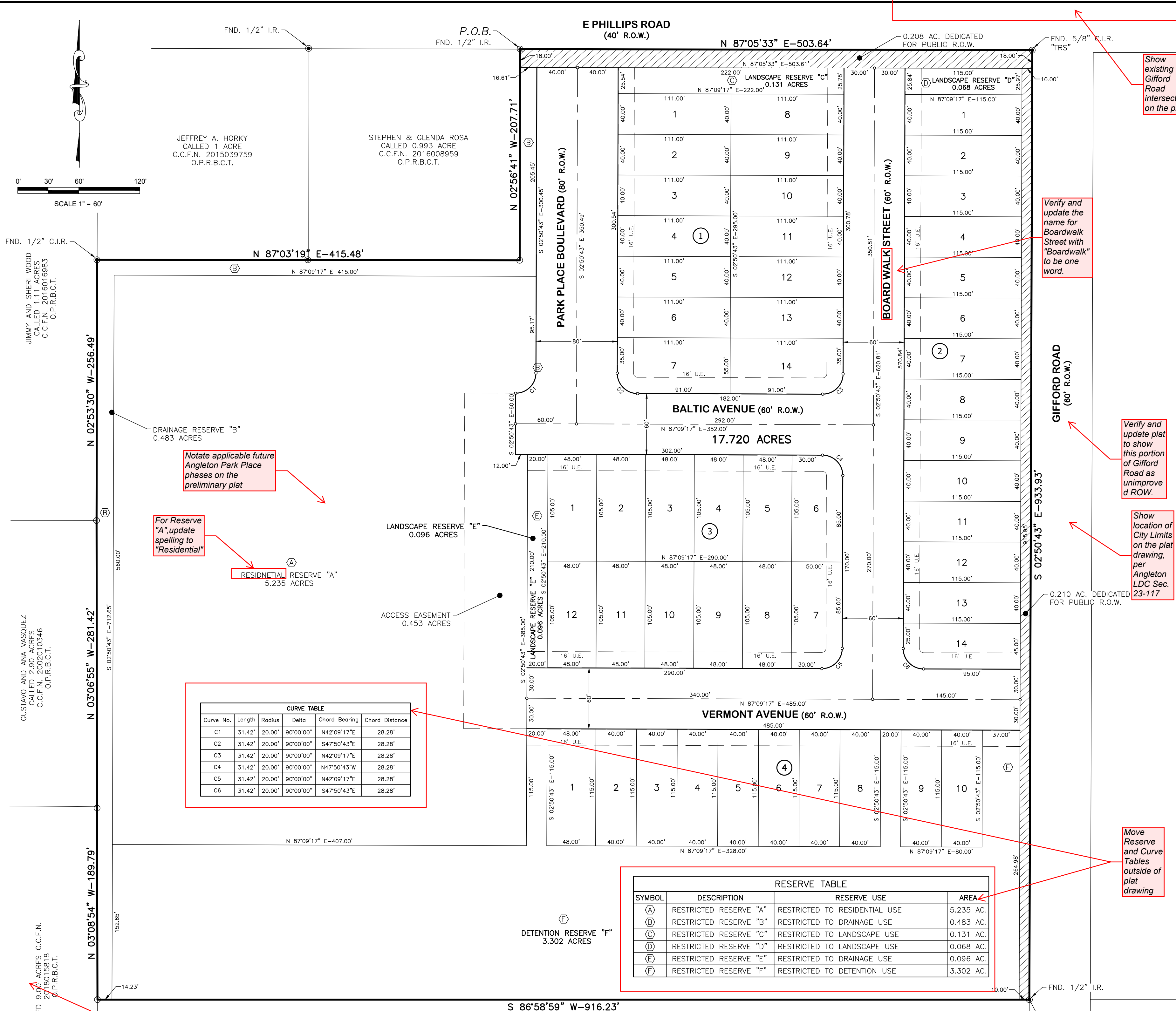
Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments



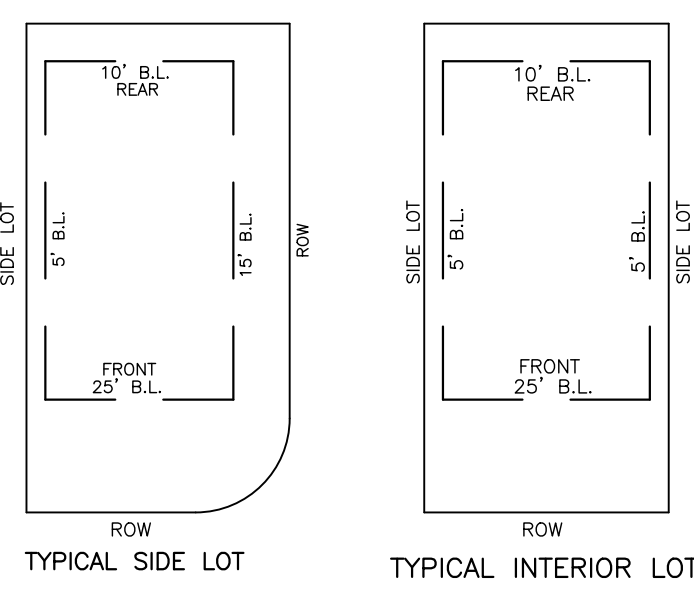
DRainage and Detention Easement, FIRE LANE AND FIRE EASEMENT, ANGLETON DRAINAGE DISTRICT, ACCEPTED THIS... DAY OF... 20... BY THE ANGLETON DRAINAGE DISTRICT...

FIELD NOTES FOR 17.720 ACRES, LEGEND, SYMBOLS, OWNER'S ACKNOWLEDGEMENT, STATE OF TEXAS § COUNTY OF BRAZORIA §

VICINITY MAP, NOTES (1-11), PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 03/07/23, PRELIMINARY PLAT ANGLETON PARK PLACE, A 17.720 ACRE TRACT...

FIRE LANE AND FIRE EASEMENT, THAT THE UNDERSIGNED DOES HEREBY COVENANT AND AGREE THAT THEY SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS...

Remove fire easement from plat if not applicable.



Include a lot and block table on the plat that includes the total square footage of each lot within each block

Remove additional text from the Engineer's Certificate

Include information in plat notes for ownership and maintenance of proposed plat reserves

If future phases of Angleton Park Place, recommend updating accordingly (e.g. Section 1 or Phase 1)



April 3, 2023

Mr. Otis Spriggs
 Director of Development Services
 City of Angleton
 121 S. Velasco
 Angleton, TX 77515

Re: Response Letter - Angleton Park Place Preliminary Plat (Revised) – 1st Submittal Review
 Angleton, Texas
 HDR Job No. 10361761

Dear Mr. Spriggs:

Baker & Lawson received a summary of comments for the Angleton Park Place Preliminary Plat (Revised). The comments indicated on the said report have been addressed as follows:

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block. **Action:** Lot and block table added to plat.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing. **Action:** Owner name added to plat as indicated.
3. Notate applicable future Angleton Park Place phases on the preliminary plat. **Action:** Future Angleton Park Place phases have been noted on plat.
4. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117. **Action:** City Limits line has been noted on the plat.
5. Verify and update plat to show this portion of Gifford Road as unimproved ROW. **Action:** Updated plat to show an improved ROW.
6. Show existing Gifford Road intersection on the plat. **Action:** Existing Gifford Road has been indicated on plat.
7. For Reserve "A", update spelling to "Residential". **Action:** Spelling has been corrected on plat.
8. Verify and update the name for Boardwalk Street with "Boardwalk" to be one word. **Action:** "Boardwalk" has been updated on the plat.
9. Remove fire easement from plat if not applicable. **Action:** Fire easement has been removed from plat.
10. Move Reserve and Curve Tables outside of plat drawing. **Action:** Moved from plat drawing.

DOUGLAS B. ROESLER, P.E. - Principal Engineer
 4005 TECHNOLOGY DRIVE, SUITE 1530, ANGLETON, TEXAS 77515
 (979) 849-6681 • Fax (979) 849-4689

11. Include information in plat notes for ownership and maintenance of proposed plat reserves. **Action:** Ownership and maintenance information has been updated.

12. Remove additional text from the Engineer's Certificate. **Action:** Additional text has been removed from plat.

The revised plat is included with this submittal.

If you have any questions, please feel free to contact us at our office.

Sincerely,



Robin Crouch
Vice President



AGENDA SUMMARY/STAFF REPORT

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.

AGENDA ITEM SECTION: Public Hearing and Action Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

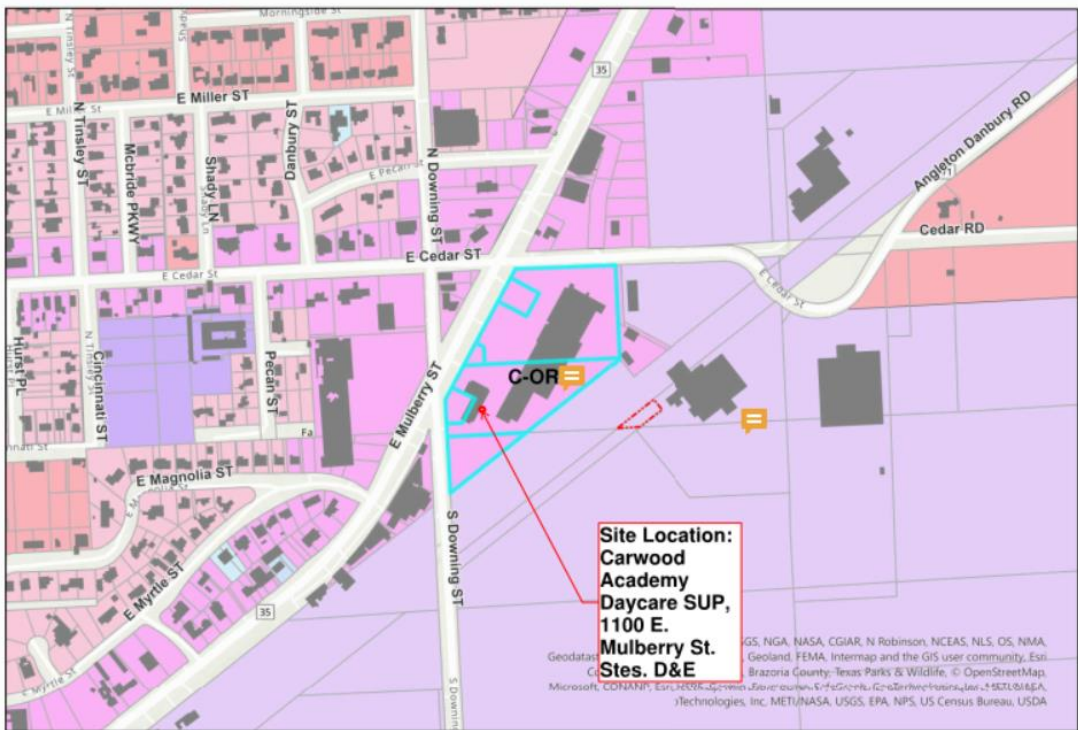
FUND: N/A

EXECUTIVE SUMMARY: Carwood Preparatory Academy Daycare/Preschool is requesting consideration of a Specific Use Permit for a Child Day care/Preschool at the property located at 1100 E. Mulberry St., Angleton, TX, Stes. D&E, within the Commercial General Zoning District (C-G).

PROPERTY HISTORY:

The subject property lies within a shopping center located at E. 1100 E. Mulberry St., Angleton, TX, Suites. D&E (East of Intersection of SH35 and S. Downing St./south of E. Cedar St.), within the Commercial General Zoning District (C-G). The commercial tenant space at one time was a daycare use; however, due to its discontinuance, the previous approval is considered vacated, and a new Specific Use Permit application was necessary.

The facility will have an exterior play area (20'X40') with a 4 ft. fence and gate with locking mechanism per state requirements.



ZONING MAP- 1100 E. MULBERRY ST.



Aerial View of Site



View looking 1100 E. Mulberry St., Suites D&E at Subject property



View of the Subject property Suites D & E on the right



View of rear yard showing the fenced playground area.



Zoning & Vicinity Map

STAFF ANALYSIS:

Section 28-63, 5 (e); SUP- Specific use permits, outlines the requirements and factors for consideration:

When considering applications for a specific use permit, the planning and zoning commission in making its recommendation and the city council in rendering its decision on the application shall, on the basis of the site plan and other information submitted, evaluate the impact of the specific use on, and the compatibility of the use with, surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The planning and zoning commission and the city council shall specifically consider the extent to which:

- a. The proposed use at the specified location is consistent with the goals, objectives and policies contained in the adopted comprehensive plan;
- b. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations;
- c. The proposed use meets all supplemental standards specifically applicable to the use as set forth in this chapter;
- d. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and, as required by the particular circumstances, includes improvements or modifications either on-site or within the public rights-of-way to mitigate development-related adverse impacts, including but not limited to:
 - Adequate ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, and access in case of fire;
 - Off-street parking and loading areas; ***While staff cannot require speed-bumps on the subject site which is private, it is highly recommended that the applicant request permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.***
 - Refuse and service areas;
 - Utilities with reference to location, availability, and compatibility;
 - Screening and buffering, features to minimize visual impacts, and/or setbacks from adjacent uses;
 - Control of signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;
 - Required yards and open space;
 - Height and bulk of structures;
 - Hours of operation;
 - Exterior construction material and building design; and
 - Roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development-generated traffic on neighborhood streets.
- e. The proposed use is not materially detrimental to the public health, safety, convenience and welfare, or results in material damage or prejudice to other property in the vicinity.

Staff has taken the above criteria into consideration when reviewing the proposed day care and pre-school facility. The space adequately provides for the use and if approved, it will not be in conflict with the Zoning Resolution nor the Comprehensive Plan. The use is compatible with the overall character of the area. The parking lot will adequately accommodate the proposed use.

Childcare licensing and regulations are handled by the state of Texas Health and Human Services Commission. The applicant has stated that the food service will not be cooked on site, but catered. In any case of prepared foods on site, the applicant must comply with Food and Health Inspections and Permit requirements.

Public Notification

Staff sent public notices to the local newspaper, and to the property owners within 200 feet of the subject property under consideration for the SUP application.

Opposition to or Support of Proposed Request

To-date, Staff has not received any notices in support or in opposition of the proposed SUP request.

Planning & Zoning Commission Record of Proceedings: Meeting held April 6, 2023

PUBLIC HEARINGS AND ACTION ITEMS

4. Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.

DS Director Otis Spriggs presented the SUP request and staff summary. He noted the criteria for approving SUP's was reviewed by staff and noted that there were no items in conflict.

Motion was made by Commission Member Ellen Eby to approve the minutes subject to the noted corrections; Motion was seconded by Commission Member Regina Bieri.

The planning and zoning commission forwards this Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the condition that:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.

2. The applicant shall obtain and maintain Childcare licensing as regulated by the state of Texas Health and Human Services Commission.
3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.
4. The applicant shall maintain any required Health Permit for food services to the children.

Chair William Garwood opened the public hearing without any opposition.

Christopher Woodard, the daycare owner, stated that they will have 50 children and will be open from 7:00 AM to 7:00 PM. Age will be from 18 months to age 13-year-olds.

Chair William Garwood closed the public hearing without any opposition.

Commission Member Regina Bieri commented on the existing playground area and its current bad condition and size. Mr. Woodard stated that he would be clearing the area and improving it.

Commission Action:

Motion was made by Commission Member Regina Bieri to approve the Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the 4 conditions; Motion was seconded by Commission Member Bonnie McDaniel.

Commission Action: Motion carried unanimously, 7 -0 vote.

Recommended Action:

The Planning and Zoning Commission adopts this as its Final Report, forwards it to City Council with a positive recommendation of this Specific Use Permit (S.U.P.) application for a Child Daycare and Pre-school facility in the Commercial- General Zoning District, (C-G), for approval consideration and appropriate action (Vote: Unanimously Approved 7-0)).

Recommendation. The planning and zoning commission forwards this Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the condition of the attached Ordinance that:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.

2. The applicant shall obtain and maintain Childcare licensing as regulated by the state of Texas Health and Human Services Commission.
3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.
4. The applicant shall maintain any required Health Permit for food services to the children.

ORDINANCE NO. 20230411-008

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, APPROVING SPECIFIC USE PERMIT TO ALLOW FOR A CHILD DAYCARE USE AT 1100 E. MULBERRY ST. (SUITES D&E), ANGLETON, TX, BRAZORIA COUNTY, TEXAS, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND EFFECTIVE DATE, AND FINDINGS OF FACT.

WHEREAS, On April 6, 2023, the City of Angleton Planning & Zoning Commission held a public hearing and approved a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District (C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX.; and

WHEREAS, on April 6, 2023, the City of Angleton Planning & Zoning Commission, after conducting a public hearing, discussed and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed daycare use; and

WHEREAS, on April 11, 2023, the City of Angleton City Council conducted a public hearing, discussed, and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed Daycare/Preschool at 1100 E. Mulberry St., Suites D &E; and

WHEREAS, the City considered the factors and provisions set forth in the City of Angleton Code of Ordinances, Chapter 28 Zoning, Sec. 28-63 Specific Use Permits, and considered the proposed Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX; and

WHEREAS, the City Council desires to grant the Specific Use Permit (SUP) submitted by Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX, to allow the proposed Daycare use.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

SECTION 1. That all of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof, as if copied herein verbatim.

SECTION 2. City Council approves the Specific Use Permit in accordance with City

of Angleton Code of Ordinances Sec. 28-63, Specific Use Permits (SUP), subject to the following conditions:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety from any speeding cars accessing the parking lot.
2. The applicant shall obtain and maintain appropriate childcare licensing as regulated by the state of Texas Health and Human Services Commission.
3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.
4. The applicant shall maintain any required Health Permit for food services to the children.

SECTION 3. Repeal. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

SECTION 4. Severability. In the event any clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

SECTION 4. Effective date. That this Ordinance shall be effective and in full force immediately upon its adoption.

SECTION 5. Proper Notice & Meeting. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code.

PASSED AND APPROVED THIS 11th DAY OF APRIL, 2023.

CITY OF ANGLETON, TEXAS

Jason Perez
Mayor

ATTEST:

Michelle Perez, TRMC
City Secretary



Affidavit of Publication

P. O. BOX 549
CLUTE TX 77531
979-265-7411

STATE OF TEXAS COUNTY OF BRAZORIA

Cindy Cornette, being duly sworn, says:

That she is Classifieds Leader of the **The Facts**, a daily newspaper of general circulation, printed and published in **Brazoria County, Texas**; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:

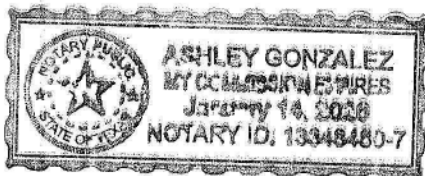
03/11-12/2023

That said newspaper was regularly issued and circulated on those dates.

Cindy Cornette
Advertising Director

Subscribed to and sworn to me this **17th day of March, 2023.**

Ashley Gonzalez
Ashley Gonzalez, Brazoria County, Texas



City Of Angleton
121 S Velasco
Angleton, TX 77515

Acct #15239 Ad #1100774

City of Angleton Notice of Public Hearings

Notice is hereby given that the Planning and Zoning Commission of the City of Angleton, Texas will conduct a public hearing at 12:00 pm on Thurs., April 6, 2023, and the City Council will conduct a public hearing at 6:00 pm on Tues., April 11, 2023. The meetings will be held at Angleton City Hall in the City Council Chambers at 120 S. Chenango Street, Angleton, Texas 77515. At these meetings, the following public hearing will be held:

- Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Ste. D&E.

The meeting agenda and agenda packet will be posted online at www.angleton.tx.us. The public will have the opportunity to offer comments on each agenda item by registering prior to the meeting.

For more information regarding these requests please contact Otis T. Spriggs, AICP, Development Services Director by email at ospriggs@angleton.tx.us or by phone at (979) 849-4364 x-2108 or Mr. Kyle Reynolds, Assistant Development Services Director by email at kreynolds@angleton.tx.us or by phone at (979) 849-4364 x-2106.



CITY OF ANGLETON
SPECIFIC USE PERMIT APPLICATION

PROPERTY ADDRESS: 1100 D+E E Mulberry Angleton, TX 77515

PROPERTY DESCRIPTION (Legal description): A0325 17 Tinsley Tract
16B-16B2-16B4-1621 Acres 6.63 Angleton

RECORD PROPERTY OWNER NAME, ADDRESS AND PHONE NUMBER:
Angleton Investments Ltd. 2500 Tanglewilde Suite 306
Houston, TX 77063 713-953-9800

DESIGNATED REPRESENTATIVE, ADDRESS AND ^{409-502-3054*} PHONE NUMBER:
Christopher Carmona-Woodard 1209 Dennis Ave. Angleton, TX 77515

PROPOSED USE FOR THE PROPERTY ADDRESS INDICATED ABOVE:

Day Care Center

A site plan (prepared and approved) in accordance with Section 35.4 of the City of Angleton Code of Ordinances (City Code) must be attached to the application. If a base zoning district amendment is required or requested, such rezoning application shall accompany the application for a Specific Use Permit. If the proposed use requires a division of land, an application for subdivision approval must be submitted with this application for a Specific Use Permit.

SIGNATURE: [Signature]
DATE: 2023-2-14

PLEASE PROVIDE PROOF OF TAXES PAID ON THIS PROPERTY.

ATTACHMENT: SECTION 35 SUP – SPECIFIC USE PERMIT

APPLICATION FEE: \$150.00 due upon submittal

OFFICE USE ONLY	
Date received: _____	Admin Fee Received: _____
P&Z Public Hearing date: _____	Date to publish: _____
Date to send cert. letters: _____	Site Plan submitted: Yes _____ No _____
Site Plan received & evaluated by City Staff: Yes _____ No _____	Proof of taxes paid: _____ Date verified: _____

RECEIVED
FEB 21 2023
BY: [Signature]



CITY OF ANGLETON
APPOINTMENT OF AGENT

As owner of the property described as 1100 D.C. O & E E. Mulberry Angleton TX 77515
I hereby appoint the person designated below to act for me, as my agent in this request.

Name of Agent: Christopher Carmena - Woodward

Mailing Address: 1209 Dennis Ave. Email:

City: Angleton State: TX Zip: - 77515

Home Phone: () Business Phone: (409) 502-3054

I verify that I am the legal owner of the subject property and I acknowledge and affirm that I will be legally bound by the words and acts of my agent, and by my signature below, I fully authorize my agent to:

be the point of contact between myself and the City: make legally binding representations of fact and commitments of every kind on my behalf; grant legally binding waivers of rights and releases of liabilities of every kind on my behalf; to consent to legally binding modifications, conditions, and exceptions on my behalf; and, to execute documents on my behalf which are legally binding on me.

I understand that the City will deal only with a fully authorized agent. At any time it should appear that my agent has less than full authority to act, then the application may be suspended and I will have to personally participate in the disposition of the application. I understand that all communications related to this application are part of an official proceeding of City government and, that the City will rely upon statements made by my agent. Therefore, I agree to hold harmless and indemnify the City of Angleton, its officers, agents, employees, and third parties who act in reliance upon my agent's words and actions from all damages, attorney fees, interest and costs arising from this matter. If my property is owned by a corporation, partnership, venture, or other legal entity, then I certify that I have legal authority to make this binding appointment on behalf of the entity, and every reference herein to 'I', 'my', or 'me' is a reference to the entity.

Agent is authorized to use fenced in designated area as a playground. Agent is allowed to apply for Special Use Permit
Signature of owner [Signature] Title V.D. of Way M. Shur
John De M. M. M. 06

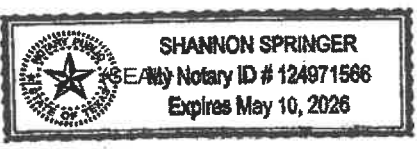
Printed/Typed Name of owner Donald Dawn V.D. Date: 02/14/2023

*Application must be signed by the individual applicant, by each partner of a partnership, or by an officer of a corporation or association.

STATE OF TEXAS §
COUNTY OF Harris §

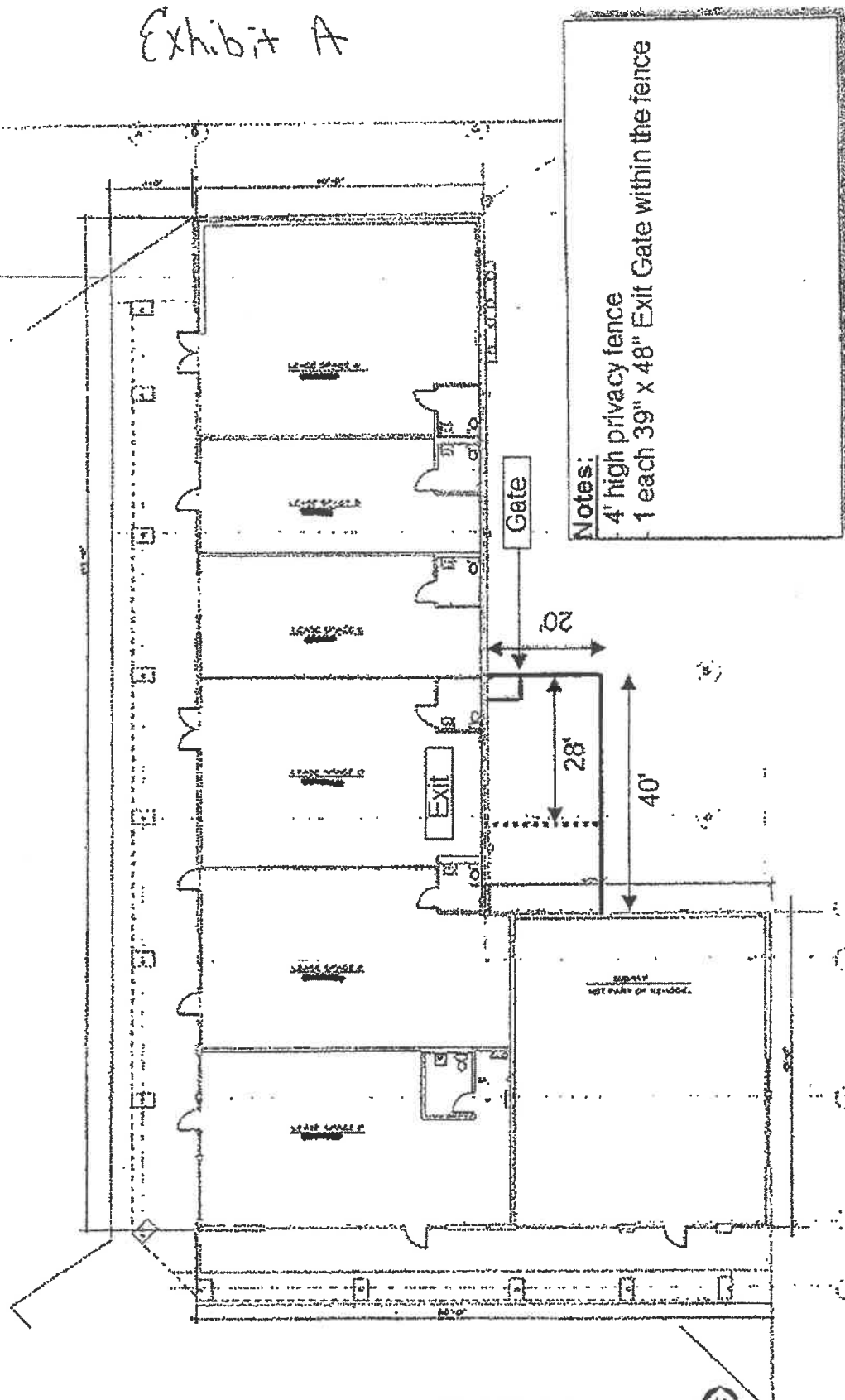
Before me, Shannon Springer, on this day personally appeared Donald Dawn, known to me (or proved to me on the oath of) or through (D.L.) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this 14 day of February, 2023



[Signature]
Notary Public Signature
5-10-26
Commission Expires

Exhibit A



Notes:
 4' high privacy fence
 1 each 39" x 48" Exit Gate within the fence

ANGLETON PLAZA
 1100 E. MULBERRY STREET
 ANGLETON, TEXAS 77515

REVISIONS

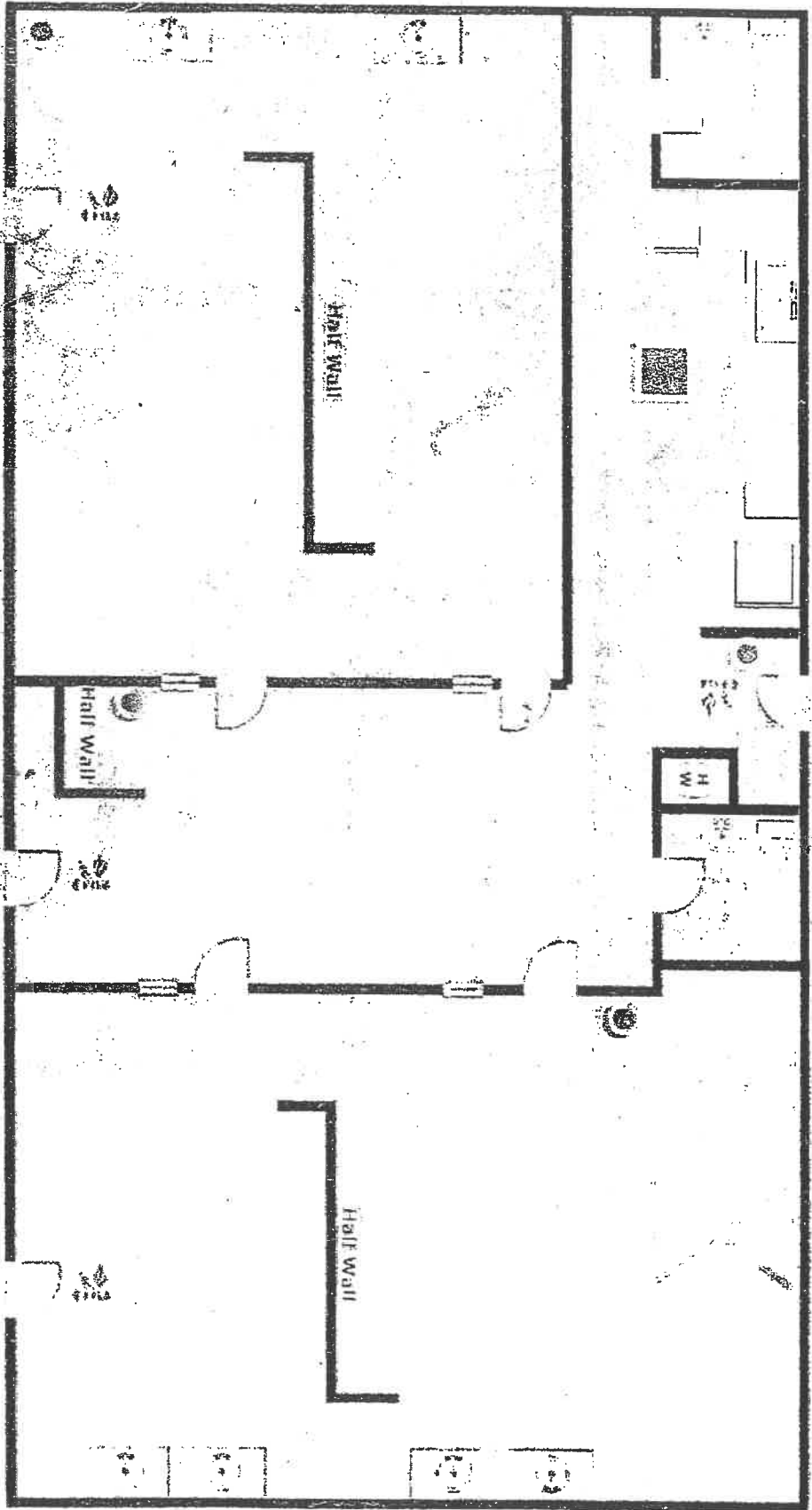
DATE	BY	DESCRIPTION
07-27-00	...	...
08-28-00	...	...
07-28-00	...	...
07-08-00	...	...
07-08-00	...	...
07-08-00	...	...

SHEET:
A2
 OF 4

FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 2,000 SF



*CarWood Learning Centers LLC
D.B.A. CarWood Preparatory Academ*



Shelter in Place

Fire Extinguishers

THIS OLD IS CROSSA TO NETWORK

Academy
Evacuation Plan
 1100 East Mulberry Suite E
 Angleton, TX 77515



Shannon Springer <sspringer@hmginterests.com>

Fwd: Floorplan

1 message

ddaum99517@aol.com <ddaum99517@aol.com>
To: espringer@hmginterests.com

Fri, Oct 2, 2015 at

FYI

Original Message

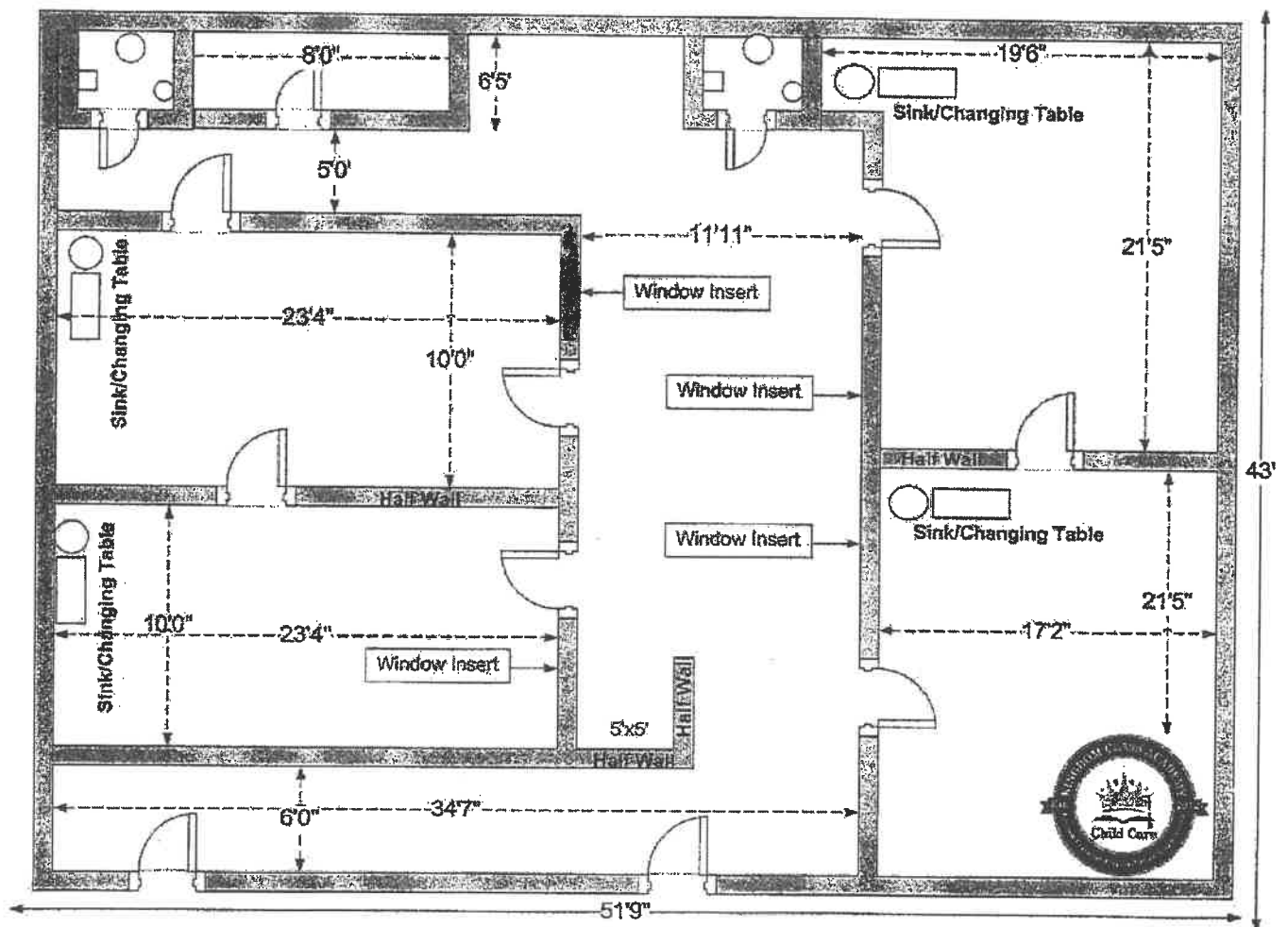
From: Kingdom Class Academy <kingdomclasskids@yahoo.com>
To: ddaum99517 <ddaum99517@aol.com>
Sent: Fri, Oct 2, 2015 3:25 pm
Subject: Fwd: Floorplan

Sent from my iPhone

Begin forwarded message:

From: Kingdom Class Academy <kingdomclasskids@yahoo.com>
Date: September 24, 2015 at 12:04:26 PM CDT
To: Kaye Griggs <griggskaye@yahoo.com>
Subject: Floorplan

Kingdom Class Academy: Expansion Phase 2 (2206 sq ft)



Sent from my iPhone

***If more than one location and/or Building: Use another Sheet if necessary
Property- Must be completed even if only quoting GL***

Current carrier:

Current Premium: \$

Location Address:

County: Brazoria

Owner Occupant Tenant Lessors Risk

(If rental) Type of Operation (Occupancy):

If more than one Type of Occupancy: List all occupancies and corresponding Sq. Footage:

Personal Property Limit: \$ _____ Deductible \$ _____

Building RC Value: \$ _____ Deductible \$ _____

Construction Type: Frame Masonry Other _____

Roof Type: TPO

Year Built: 1975

Total Area: _____

Number of Stories: _____

Total Area Occupied: _____

Basement: Yes No

Sprinklers: Yes % _____

No

Alarm Type: Local Monitored

If building is over 20 years old: Year of Last updates for:

Heat 2020 Plumbing 2020 Wiring N/A and Roof: 2020

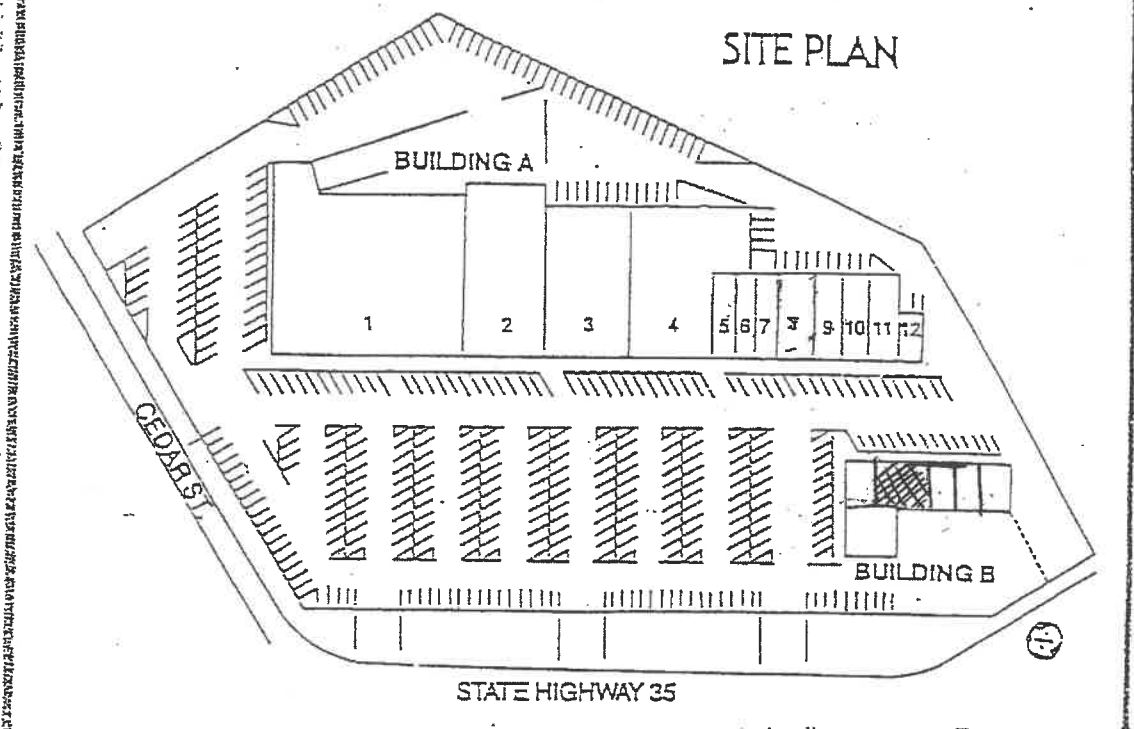
If within 5 miles of shore: Distance to shore _____

Loss Payee:

*Use another sheet if more than one property or building



ANGLETON PLAZA CENTER Angleton, Texas





AGENDA ITEM SUMMARY FORM

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on the preliminary plat of Ashland Section 2

AGENDA ITEM SECTION: Regular Agenda Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY. This is a resubmittal of Ashland Section 2 Preliminary Plat originally submitted July of 2022, due to the addition of acreage. The subject property is located within the City of Angleton ETJ between SH 521 and SH 288 and north of SH 523. The draft development agreement is pending final approval this month by City Council which will establish standards for the Ashland Project. City Engineer comments are provided in the plat review attachment. The subject property consists of 21.5 acres and has 86 lots, 3 reserves and 3 blocks.

Pursuant to Section II County Regulatory Authority of the existing interlocal agreement between the City of Angleton and Brazoria County, the County shall have exclusive jurisdiction in the following matters: Subsection (b): Regulate the construction of any and all roads located within a subdivision of property that will be located within the City's ETJ, including but not limited to, planning, review, construction, bonding, inspection and acceptance of any newly constructed road or street. County authority shall also apply to the improvement, removal, relocation, or abandonment of any existing road or streets in City's ETJ. County's oversight of roads shall be performed using the most current and applicable construction standards adopted by County. For roads, the construction of which are governed by a development agreement between City and developer, County and City shall jointly coordinate and cross-reference construction standards to verify that the roads are constructed to meet or exceed County standards.

As the Council is aware, there is no zoning or land use control in the ETJ except for that allowed by the Texas Local Government Code. Those regulations that the LGC permits the City to extend into the ETJ are the subdivision regulations (Chapter 23 Land Development Code) and sign regulations. As such there is no City regulation of lot size, setbacks, maximum height, etc., except as detailed in a development agreement by City Council. Staff finds that the proposed section plat will comply with the proposed agreement as drafted.

A Traffic Impact Analysis has also been submitted and reviewed for the entirety of the project. That TIA will need to be considered by both TxDOT and Brazoria County for review and approval as well.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented the preliminary plat of Ashland Section 2. The City Engineer has reviewed the submitted Preliminary Plat, and listed (6) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Ashland Section 2 Plat and forward it to City Council for final action, subject to the final approval of the Development Agreement.

Motion was made by Commission Member Bonnie McDaniel to approve the proposed final plat and recommend it to the City Council for final action subject to final approval of the DA. Motion was **not** seconded.

Commission Action: Motion failed due to the lack of a second to the motion.

No vote.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Section 2, and listed (6) comments that were resubmitted and addressed by the applicant. Staff has cleared all comments.

Recommendation. The planning and zoning commission disapproved the preliminary plat due to failure of obtaining a second of the motion. Staff recommends that Council approves the Preliminary Plat for Ashland Section 2 for final consideration and appropriate action subject to the final approval of the Development Agreement.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Ashland Subdivision – Section Two Preliminary Plat – 2nd Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
2. Verify and update bearing information shown in the metes and bounds description (Typical).

Sheet 2 of 2

1. Line L26 not provided in Line Table. Update table to include information for L26.
2. Label tables shown on the plat (Typical).
3. Update table to include central angle information as noted in the metes and bounds description (Typical).
4. Update table to include decimals as noted in the metes and bounds description (Typical).
5. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
6. If Reserve "B" does not allow for buildings/structures, no need to show 25-BL.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Section Two Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

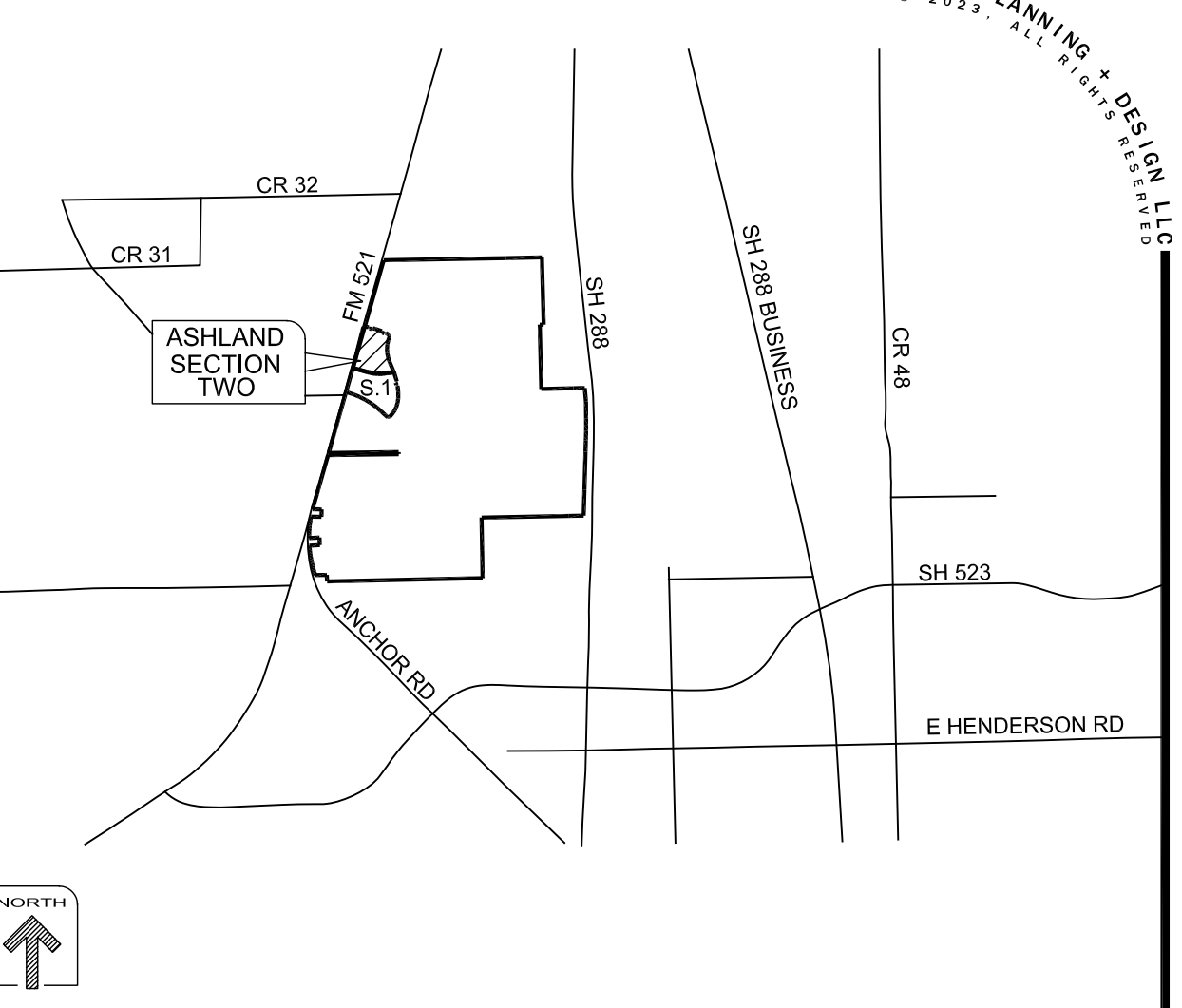
Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761/10336228)

Attachments



Vicinity Map (not to scale)

Table with 3 columns: BLOCK, LOT NO., LOT AREA SQ. FT. It lists 33 lots across 3 blocks with their respective areas.

LAND USE TABLE with columns: RESERVE, ACREAGE, SQ. FT., LAND USE. It details the acreage and square footage for Reserve A (Landscape/Open Space), Reserve B (Landscape/Open Space), and Reserve C (Landscape/Open Space).

ASHLAND SECTION TWO

BEING 18.77 ACRES OF LAND CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT OF THE SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: ANCHOR HOLDINGS MP LLC
101 PARKLANE BOULEVARD, SUITE 102
SUGAR LAND, TEXAS 77478

ENGINEER: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
(713)-777-5337

SURVEYOR: QUIDDITY ENGINEERING, LLC
6330 W LOOP S, SUITE 150
BELLAIRE, TEXAS 77401
TBLPS FIRM REGISTRATION No. 10046104



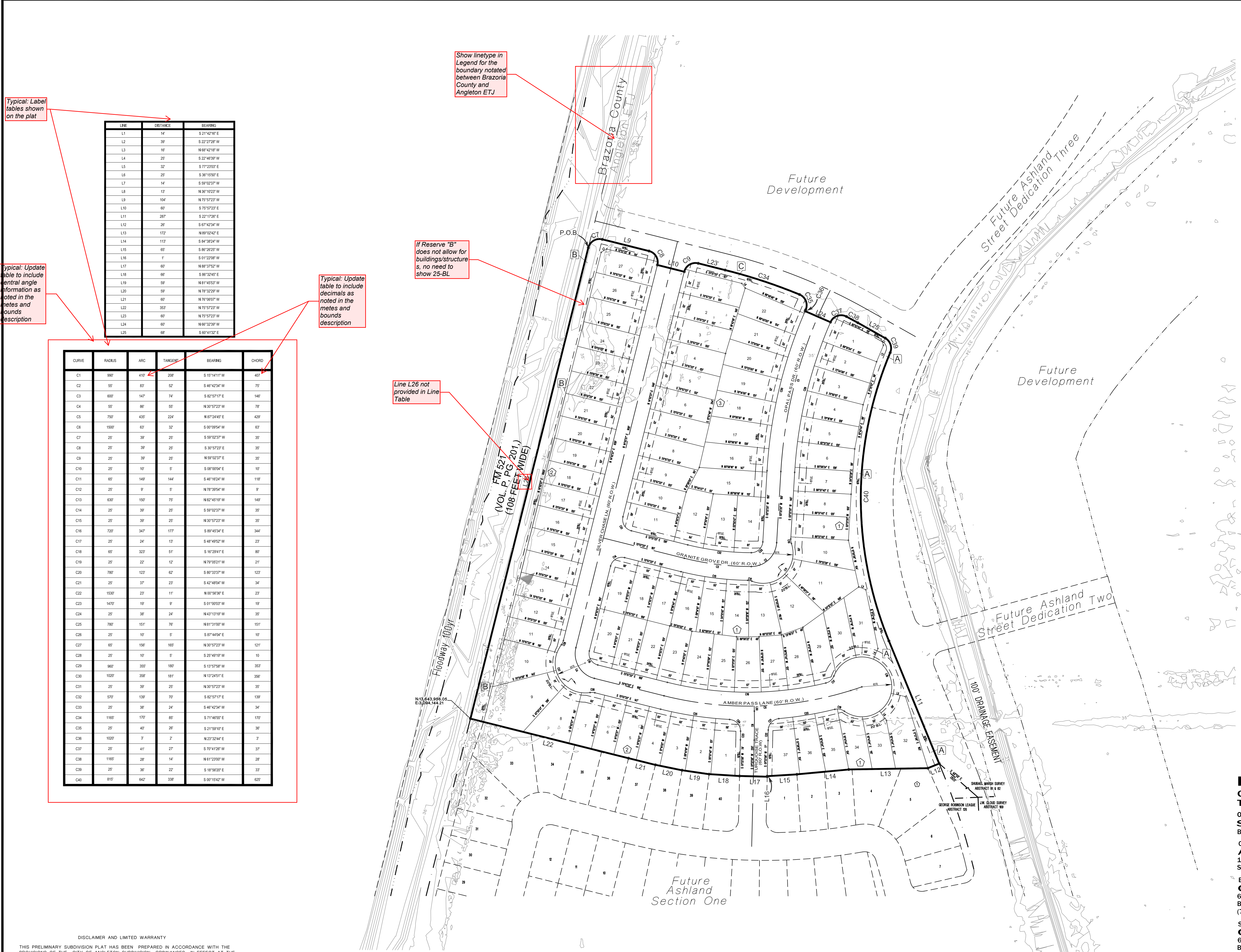
META PLANNING + DESIGN LLC
24285 KATY FREEWAY, SUITE 525
KATY, TEXAS 77494 | TEL: 281-810-1422

SCALE: 1" = 100'

MARCH 1, 2023

PAGE 2 OF 2

MTA# 78006



Typical: Label tables shown on the plat

Table with 3 columns: LINE, DISTANCE, BEARING. It lists 25 lines with their respective distances and bearings.

Typical: Update table to include central angle information as noted in the notes and bounds description

Table with 5 columns: CURVE, RADIUS, ARC, TANGENT, BEARING, CHORD. It lists 40 curves with their geometric details.

Typical: Update table to include decimals as noted in the notes and bounds description

Line L26 not provided in Line Table

If Reserve "B" does not allow for buildings/structures, no need to show 25-BL

Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFORESAID ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES, OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

April 3, 2023

Mr. Otis Spriggs
Development Services Director
121 S. Velasco Street,
Angleton, TX, 77515

Re: ASHLAND SECTION TWO- RESUBMITTAL

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
Response: The FIRM information provided is correct. Please see updated plat.
2. Verify and update bearing information shown in the metes and bounds description (Typical).
Response: This has been updated. Please see updated plat.
3. Line L26 not provided in Line Table. Update table to include information for L26.
Response: This has been updated. Please see updated plat.
4. Label tables shown on the plat (Typical).
Response: The line and curve tables have been labelled. Please see updated plat.
5. Update table to include central angle information as noted in the metes and bounds description (Typical).
Response: The central angle information has been included in the curve table. Please see updated plat.
6. Update table to include decimals as noted in the metes and bounds description (Typical).
Response: The line and curve tables have been updated to reflect decimals. Please see updated plat.
7. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
Response: The boundary linetype has been included in the legend. Please see updated plat.
8. If Reserve "B" does not allow for buildings/structures, no need to show 25-BL.
Response: The building line will remain as a buffer along FM-521.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,



Caitlin King
Enclosure



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 11/18/2022

TYPE OF PLAT APPLICATION

ADMINISTRATIVE
MINOR
AMENDING/REPLAT

PRELIMINARY
RESIDENTIAL
COMMERCIAL

FINAL
RESIDENTIAL
COMMERCIAL

Address of property: _____

Name of Applicant: Caitlin King Phone: 281-810-7228

Name of Company: META Planning + Design Phone: 281-810-1442

E-mail: cking@meta-pd.com

Name of Owner of Property: Ashton Gray Development

Address: 101 Parklane Blvd, Suite 102, Sugar Land, Texas, 77478

Phone: 281-810-7228 E-mail: cking@meta-pd.com


I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant) 

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 18 day of November, 2022.




Notary Public for the State of Texas
Commission Expires: 01/18/2025



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Development Services Director

AGENDA CONTENT: Discussion and possible action on a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street.

AGENDA ITEM SECTION: Consent Agenda Item

BUDGETED AMOUNT: None

FUNDS REQUESTED: None

FUND: None

EXECUTIVE SUMMARY:

This is a request from the owner/developer of the Austin Colony Development, PD No. 3, regarding a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 51.766 acres, 50 lots, 4 blocks, and 5 reserves being part of 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street. Note that Section 1 A contains the beginning portion of the redesigned Austin Colony Boulevard which enters off County RD 44, Anchor Road, now having single family lots fronting the right of way.

Approved Land Plan

LOT SIZE	NUMBER	PERCENTAGE OF TOTAL
Minimum 50 ft wide	100	17.67%
Minimum 55 ft wide	215	37.99%
Minimum 60 ft. wide	247	44.34%
TOTAL	562	100%

The applicant recently made minor adjustments to the land plan, redesigning Austin Colony Boulevard to be a local interior street with single family homes fronting on both sides. The four-lane Boulevard- Tigner St. will remain as approved: Austin Colony Boulevard was originally designed the same with no houses fronting on the corridor. This modification was made to avoid safety issues for children, as well as cost increases.

The Austin Colony Development is currently being evaluated to determine what effects the noted minor amendment has had on the PID, Public Improvement District assessments, as well

as the Development Agreement. Staff is working with the Financial Consultants, P-3 and legal counsel in order to coordinate any further amendments through City Council.

Development Schedule. The property shall be developed in accordance with the development schedule attached hereto as Exhibit "C".

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented Preliminary Plat for Austin Colony Section 1 A. He explained the reasoning behind the amendment to the PD which covered the Austin Colony Boulevard classification. This proposal is in compliance with the PD Ordinance. The City Engineer has reviewed the submitted Preliminary Plat, and listed (11) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Austin Colony Section 1 A and forward it to City Council for final action.

Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve of the proposed preliminary plat and recommends it to the City Council for final action. Motion was seconded by Commission Member Michelle Townsend.

Commission Action:

Roll Call vote:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby- Nay; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Nay; and Commission Member Michelle Townsend- Aye.

Motion failed to carry, 3 -4 vote recommending denial.

STAFF REVIEW:

The City Engineer has reviewed the submitted Preliminary Plat for Austin Colony Section 1 A, and the noted (11) comments have all been resubmitted and addressed by the applicant (Transmittal and revised plat is attached). All noted comments have been cleared. Staff recommends approval based on the plan meeting the minimum requirements.

RECOMMENDATION:

The Planning Commission voted disapproval (3-4 vote) of the Preliminary Plat for Austin Colony Section 1 A.



April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Austin Colony Section 1a Preliminary Plat – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
3. Provide callout for Reserve D and include acreage as provided for other reserves.
4. Notate applicable future Austin Colony phases on the preliminary plat.
5. Verify and update limits of 20-U.E. within Reserve “B” and adjacent to Karankawa Road.
6. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.

Sheet 2 of 2


1. Remove fire easement from plat if not applicable
2. Verify and update block information in relation to proposed easement/reserves shown in the Drainage and Detention Easement plat certificate.
3. Plat note #1 - Verify and update the acreage shown in the plat note.
4. Include information in plat notes for ownership and maintenance of proposed plat reserves
5. Remove additional text from the Engineer's Certificate.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Austin Colony Section 1a Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

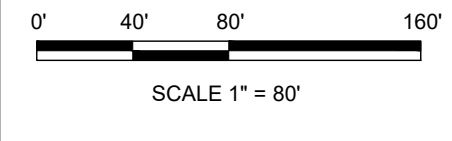

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

BRAZORIA COUNTY, TEXAS
J. DE. J. VALDERAS SURVEY, A-380

RESERVE TABLE			
SYMBOL	DESCRIPTION	RESERVE USE	AREA
(A)	RESTRICTED RESERVE "A"	RESTRICTED PARK & LANDSCAPE USE	1.400 AC.
(B)	RESTRICTED RESERVE "B"	RESTRICTED TO UTILITY & DRAINAGE USE	7.037 AC.
(C)	RESTRICTED RESERVE "C"	RESTRICTED TO RESIDENTIAL USE	21.208 AC.
(D)	RESTRICTED RESERVE "D"	RESTRICTED TO UTILITY & DRAINAGE USE	0.055 AC.
(E)	RESTRICTED RESERVE "E"	RESTRICTED TO UTILITY & DRAINAGE USE	10.808 AC.

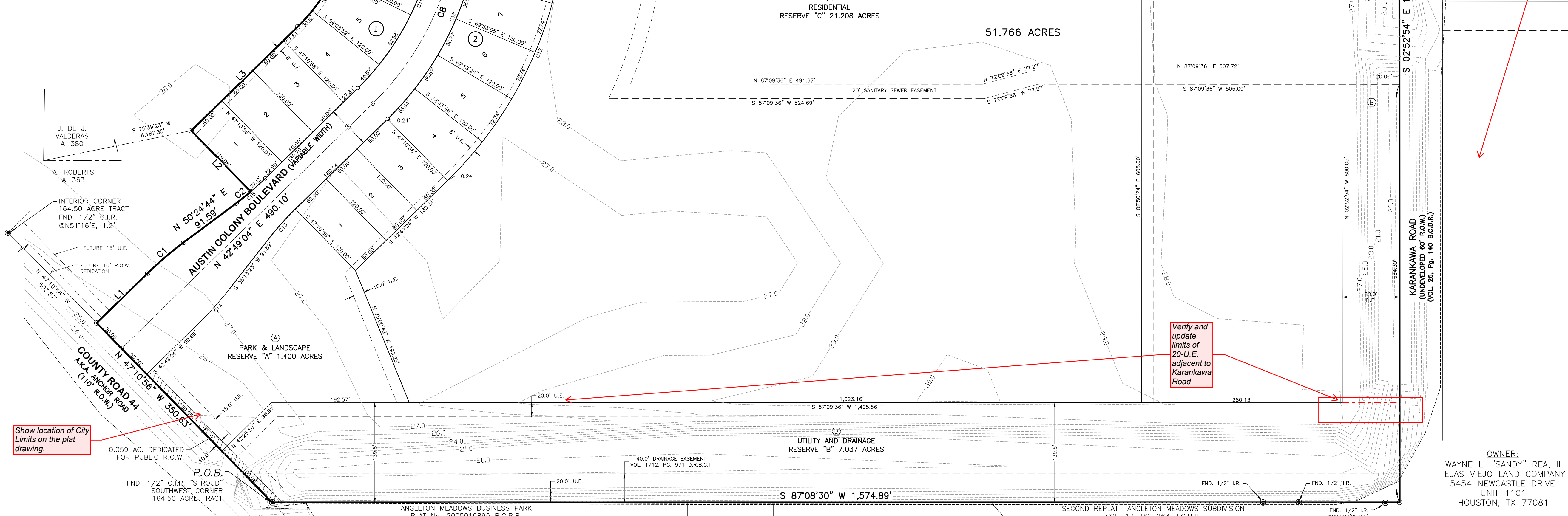


- LEGEND**
- O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS
 - D.R.B.C.T. = DEED RECORDS BRAZORIA COUNTY TEXAS
 - P.R.B.C.T. = PLAT RECORDS BRAZORIA COUNTY TEXAS
 - C.C.F.N. = COUNTY CLERK'S FILE NUMBER
 - F.N.D. = FOUND
 - C.I.R. = CAPTOP IRON ROD
 - I.R. = IRON ROD
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - R.O.W. = RIGHT-OF-WAY
 - VOL. PG. = VOLUME PAGE
 - B.L. = BUILDING LINE
 - U.E. = UTILITY EASEMENT

- SYMBOLS**
- = SET 5/8" I.R. W/CAP "BAKER & LAWSON"
 - = FOUND MONUMENT (AS NOTED)

Line Table			Line Table		
Line No.	Length	Direction	Line No.	Length	Direction
L1	99.66'	N42°49'04"E	L7	60.00'	S02°52'12"E
L2	119.08'	N47°10'56"W	L8	38.47'	N87°07'53"E
L3	207.81'	N42°49'04"E	L9	67.56'	N48°52'03"E
L4	95.00'	N87°07'48"E	L10	42.28'	S02°52'12"E
L5	60.00'	N02°52'12"W	L11	50.00'	S02°52'12"E
L6	118.95'	S08°29'14"E	L12	60.00'	S87°07'48"W
			L13	7.28'	N02°52'12"W

Curve Table					
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	66.28'	500.00'	7°35'41"	N46°36'54"E	66.23'
C2	25.90'	400.00'	3°42'34"	N48°33'27"E	25.89'
C3	199.35'	250.00'	45°41'16"	N19°58'26"E	194.11'
C4	192.65'	795.00'	1°35'02"	N55°48'34"E	192.17'
C5	32.92'	705.00'	2°40'31"	N50°12'19"E	32.92'
C6	48.38'	580.00'	4°46'46"	N53°55'58"E	48.37'
C7	176.39'	400.00'	25°15'59"	N69°20'37"E	174.97'
C8	318.96'	400.00'	45°41'17"	N19°58'25"E	310.58'
C9	135.45'	150.00'	51°44'16"	N22°59'55"E	130.89'
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C12	438.57'	550.00'	45°41'16"	S19°58'26"W	427.04'
C13	53.48'	400.00'	7°39'39"	S39°03'12"W	53.44'
C14	66.28'	500.00'	7°35'41"	S39°01'13"W	66.23'
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C16	295.04'	370.00'	45°41'17"	N19°58'25"E	287.28'
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C27	265.67'	690.00'	2°20'39"	S08°09'37"W	264.03'



Include a lot and block table on the plat that includes the total square footage of each lot within each block

Show owner name for adjacent tracts shown on the plat

Provide callout for Reserve D and include acreage as provided for other reserves

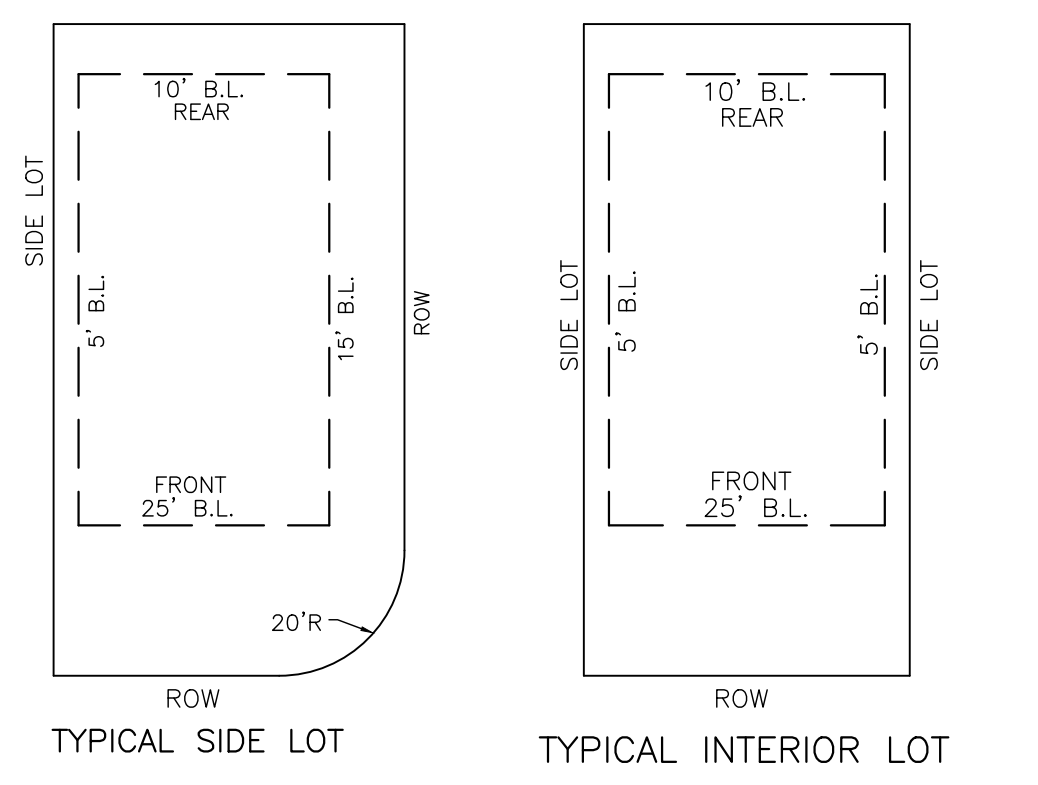
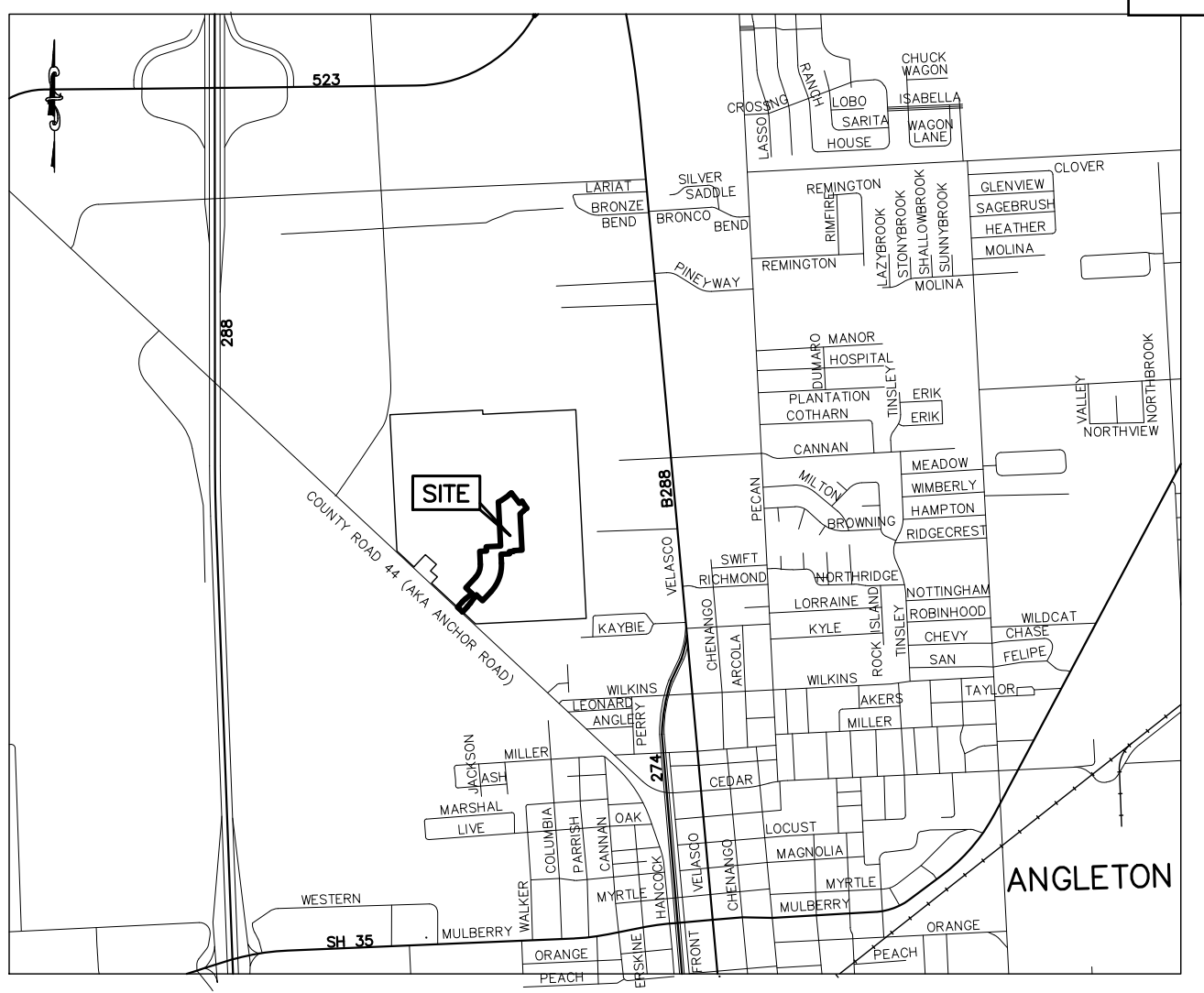
Notate future Austin Colony phases on preliminary plat

Show owner name for adjacent tracts shown on the plat

Show owner or subdivision information for adjacent tracts shown on the plat

Show location of City Limits on the plat drawing

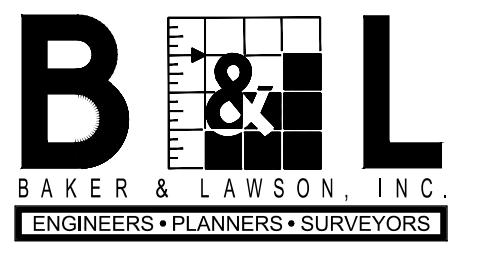
Verify and update limits of 20'-U.E. adjacent to Karankawa Road



SHEET 1 OF 2

PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
 A 51.766 ACRE
 50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
 BEING A PORTION OF A CALLED 164.50 ACRE TRACT
 AS RECORDED IN C.C.F.N. 2021067765
 OF THE O.P.R.B.C.T.

LOCATED IN THE
 J. DE J. VALDERAS SURVEY
 ABSTRACT NO. 380
 CITY OF ANGLETON
 BRAZORIA COUNTY, TEXAS



4005 TECHNOLOGY DR., SUITE 1530
 ANGLETON, TEXAS 77515
 OFFICE: (979) 849-6681
 TBPELS No. 10052500 REG. NO. F-825

OWNER:
 WAYNE L. "SANDY" REA, II
 TEJAS VIEJO LAND COMPANY
 5454 NEWCASTLE DRIVE
 UNIT 1101
 HOUSTON, TX 77081

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SECTA	DATE: 02/14/2023	CHECKED BY: --

J:\14005\14257\14257_Preliminary-Subdivision-Survey\Drawings\Survey - PLAT\14257 - PLAT SECTA.DWG 2/14/2023 10:05:00 AM

APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 3/1/2023

TYPE OF PLAT APPLICATION

ADMINISTRATIVE	PRELIMINARY	FINAL
MINOR <input type="checkbox"/>	RESIDENTIAL <input checked="" type="checkbox"/>	RESIDENTIAL <input type="checkbox"/>
AMENDING/REPLAT <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>

Address of property: Northeast Side of County Road 44 (Anchor Road) and 1,000' Southeast of CR 340 (Carr Road)

Name of Applicant: Douglas B. Roesler, P.E./Robin Crouch Phone: 979-849-6681

Name of Company: Baker & Lawson, Inc. Phone: _____

E-mail: drosler@bakerlawson.com

Name of Owner of Property: Tejas Angleton Development, LLC

Address: 5454 Newcastle Drive, Unit #1101, Houston, Texas 77081

Phone: 713-993-64543 E-mail: waynerea@swbell.net

I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

Signature of Owner or Agent for Owner (Applicant)

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 27 day of February, 2023.

(SEAL)

Notary Public for the State of Texas
 Commission Expires: 03-15-2025

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description) 164.5 acres being all of Lots 73,75,76, 77 and 84 of the New York and Texas Land Company Subdivision

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Douglas B. Roesler, P.E & Robin Crouch./Baker & Lawson, Inc.

ADDRESS: 4005 Technology Drive, Suite 1530, Angleton, Texas 77515

APPLICANT PHONE # 979-849-6681 E-MAIL: drosler@bakerlawson.com

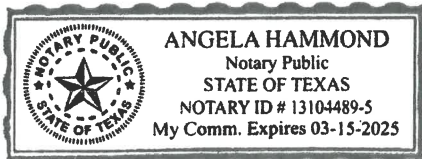
PRINTED NAME OF OWNER: Tejas Angleton Development, L.L.C.

SIGNATURE OF OWNER: Wayne C Roesler, II DATE: Jan 6, 2022

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 6 day of January, 2022.

(SEAL)



Angela Hammond
Notary Public for the State of Texas
Commission Expires: 03-15-2025

PROJECT SUMMARY FORM

Address of property Northeast side of CR 44 (Anchor Road) across the street from the City of Angleton's Lakeside Park.

The subject property fronts 350 feet on the Northeast side of CR 44 (Anchor Rd.)

Depth: 1,500 Ft. Area: 2,254,927 S.F. Acres: 51.766 Ac. square feet

INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):
To plat Section 1A of a multiple section development. Section 1A will be
50 lots (22-60' wide lots & 28-50' wides lots). Also included in the plat are
reserves areas for a landscape/park area (1.400 acres), a detention pond
area (1.808 acres) and a utility and Drainage reserve (7.037 acres).

Is this platting a requirement for obtaining a building permit? YES NO

INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.

1. See Engineer's Summary Letter dated February 20, 2023.
2. See Preliminary Plat for Austin Colony Section 1A.
3. See Preliminary Utility and Storm Sewer Layout drawing.

Name: Robi Crow Date: 02/27/23

SUBMITTAL REQUIREMENTS

Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN_DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

1. A completed application form and application fee;
2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with §117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
3. A preliminary utility plan showing all existing and proposed utilities;
4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
6. A drainage report, as set out in section 23-15, Drainage and utilities;
7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
8. A current tax certificate(s);
9. Construction plans may be submitted at the option of the applicant;
10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
12. Heritage tree survey and a tree preservation plan;
13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

***RESIDENTIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)**

200 Lots or less	\$800.00 plus \$6.00 per lot
More than 200 Lots	\$4.00 per additional lot over 200
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

***COMMERCIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)**

Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time)

OFFICE USE ONLY:

Date received: _____ By: _____

Type of Plat: _____

Description of individual charges:

Total Fee Received: _____ By: _____

Proof of taxes received: _____ Yes If no, explain: _____

PRELIMINARY PLAT MEETINGS:

Pre-submission conference/meeting date: _____

Received Preliminary Plat on: _____ by _____

Preliminary plat staff meeting date: _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

FINAL PLAT MEETINGS:

Received final plat on _____ by _____

Reviewed by Staff on _____ by _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

Filed with County Clerk on: _____

File-stamped copy to owner/developer on: _____

Exhibit C
Development Standards and District Regulations

All regulations of the Code of Ordinances of the City of Angleton shall apply in this Planned Development PD Three (3) unless otherwise modified in this Exhibit or the PD Planned Development Overlay District Three (3) Ordinance.

REGULATIONS for Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9. as identified in Exhibit "B":

1. **Base District.** The provisions of Section 28-47 SF-5 Single Family Residential 5 District of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance shall apply to Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9, except as otherwise modified herein.

2. **Uses.** Those uses described for the SF-5 district in Section 28-81 Use Regulations (Charts) shall be permitted for Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9.

3. **Lot Dimensions and Development.** The lots shall be the size depicted in Exhibit "B" and shall be approximately 120 feet in length, with the front width of each lot as set forth in this Sections and Lot Summary Chart.

SECTIONS AND LOT SUMMARY CHART				
Section	Lot Width 50 Feet	Lot Width 55 Feet	Lot Width 60 Feet	Section Lot Total
1A	30 Lots	20 Lots		50 Lots
1B		50 Lots		50 Lots
Section 2A	24 Lots	29 Lots		53 Lots
Section 2B	46 Lots	1 Lots		47 Lots
Section 3		43 Lots	9 Lots	52 Lots
Section 4		46 Lots	17 Lots	63 Lots
Section 5		26 Lots	35 Lots	61 Lots
Section 6			41 Lots	41 Lots
Section 7			50 Lots	50 Lots
Section 8			44 Lots	44 Lots
Section 9 Commercial reserve or 55-60 Lots			55 Lots	
Lot Size Total	100 Lots	215 Lots	251 Lots	566 Lots
Size%	17.67%	37.99%	44.34%	100%

4. **Entry Monument.** An Entry Monument shall be placed at the corner of Austin Colony Boulevard and County Road 44, which is the entry to the Project off County Road 44. The Entry Monument shall be either brick or stone with landscaping, planted grass, shrubs, an irrigation system and lighting.

5. **Fencing.** Developer agrees to install perimeter fencing as depicted in **Exhibit "D"** attached hereto. Developer agrees to install premium, stained, crowned fencing along the

rear Property lines of all lots at the intersection of the Austin Colony Boulevard entrance at CR 44 (Anchor Road) and along both sides of the extension of Tigner Street. All perimeter fencing shall be maintained by the Homeowners' Association. Perimeter fencing shall not be installed within any street intersection sight triangles. All fencing for each proposed development phase shall be installed prior to the occupancy of any residence in that phase. All wood fencing will have a top cap.

REGULATIONS for Phase 9 as identified by Exhibit "B":

- 1. Base District.** The provisions of Section 28-58 C-O/R Commercial-Office/Retail District of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance, shall apply to Phase 9 of the Property subject to the provisions of this Exhibit and the PD Planned Development Overlay District Three (3) Ordinance.
- 2.** In the event the then current owner of the property depicted as Phase 9 of Exhibit "B" hereof has not applied for a building permit for an office or retail use permitted by Section 28-81 of the City of Angleton Code of Ordinances (C-O/R - Commercial office-Retail District) within six (6) years of the issuance of the first building permit in the project, the then current owner shall be automatically, and with no additional legislative action, be permitted to take all necessary steps to construct single family residential product consistent with the requirements of Section 28-47 SF-5 Single Family Residential District and Exhibit "B".



April 3, 2023

Mr. Otis Spriggs
 Director of Development Services
 City of Angleton
 121 S. Velasco
 Angleton, TX 77515

Re: Austin Colony Section 1a Preliminary Plat – 1st Submittal Review Comments Angleton, Texas

Dear Mr. Spriggs:

Attached is the updated Austin Colony Section 1A Preliminary Plat preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
Included a lot and block table with square footages.
2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
Added owner name for adjacent tracts.
3. Provide callout for Reserve D and include acreage as provided for other reserves.
Provided callout for Reserve D.
4. Notate applicable future Austin Colony phases on the preliminary plat.
Noted future Austin Colony phases.
5. Verify and update limits of 20-U.E. within Reserve "B" and adjacent to Karankawa Road.
Verified and updated limits.
6. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.
City Limits location is shown on CR 44. Property was annexed into the City Limits March 9, 2021 - Ordinance No. 2021030-016

Sheet 2 of 2

1. Remove fire easement from plat if not applicable
Removed
2. Verify and update block information in relation to proposed easement/reserves shown in the Drainage and Detention Easement plat certificate.
Updated
3. Plat note #1 - Verify and update the acreage shown in the plat note.
Acreage and Reserves updated
4. Include information in plat notes for ownership and maintenance of proposed plat reserves
Included note
5. Remove additional text from the Engineer's Certificate.
Removed

DOUGLAS B. ROESLER, P.E. - Principal Engineer
 4005 TECHNOLOGY DRIVE, SUITE 1530, ANGLETON, TEXAS 77515
 (979) 849-6681 • Fax (979) 849-4689

We believe all comments have been addressed. Please let us know if further information is needed.

Sincerely,

A handwritten signature in blue ink that reads "Robin Crouch". The signature is written in a cursive style with a large initial 'R' and a long, sweeping underline.

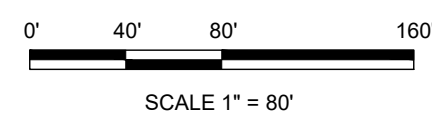
Robin Crouch

BRAZORIA COUNTY, TEXAS
J. DE. J. VALDERAS SURVEY, A-380

RESERVE TABLE			
SYMBOL	DESCRIPTION	RESERVE USE	AREA
(A)	RESTRICTED RESERVE "A"	RESTRICTED LANDSCAPE USE	1.400 AC.
(B)	RESTRICTED RESERVE "B"	RESTRICTED TO UTILITY & DRAINAGE USE	7.037 AC.
(C)	RESTRICTED RESERVE "C"	RESTRICTED TO RESIDENTIAL USE	21.208 AC.
(D)	RESTRICTED RESERVE "D"	RESTRICTED TO UTILITY & DRAINAGE USE	0.055 AC.
(E)	RESTRICTED RESERVE "E"	RESTRICTED TO UTILITY & DRAINAGE USE	10.808 AC.

Line Table		
Line No.	Length	Direction
L1	99.66'	N42°49'04"E
L2	119.08'	N47°10'56"W
L3	207.81'	N42°49'04"E
L4	95.00'	N87°07'48"E
L5	60.00'	N02°52'12"W
L6	118.95'	S08°29'14"E

Line Table		
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L10	42.28'	S02°52'12"E
L11	50.00'	S02°52'12"E
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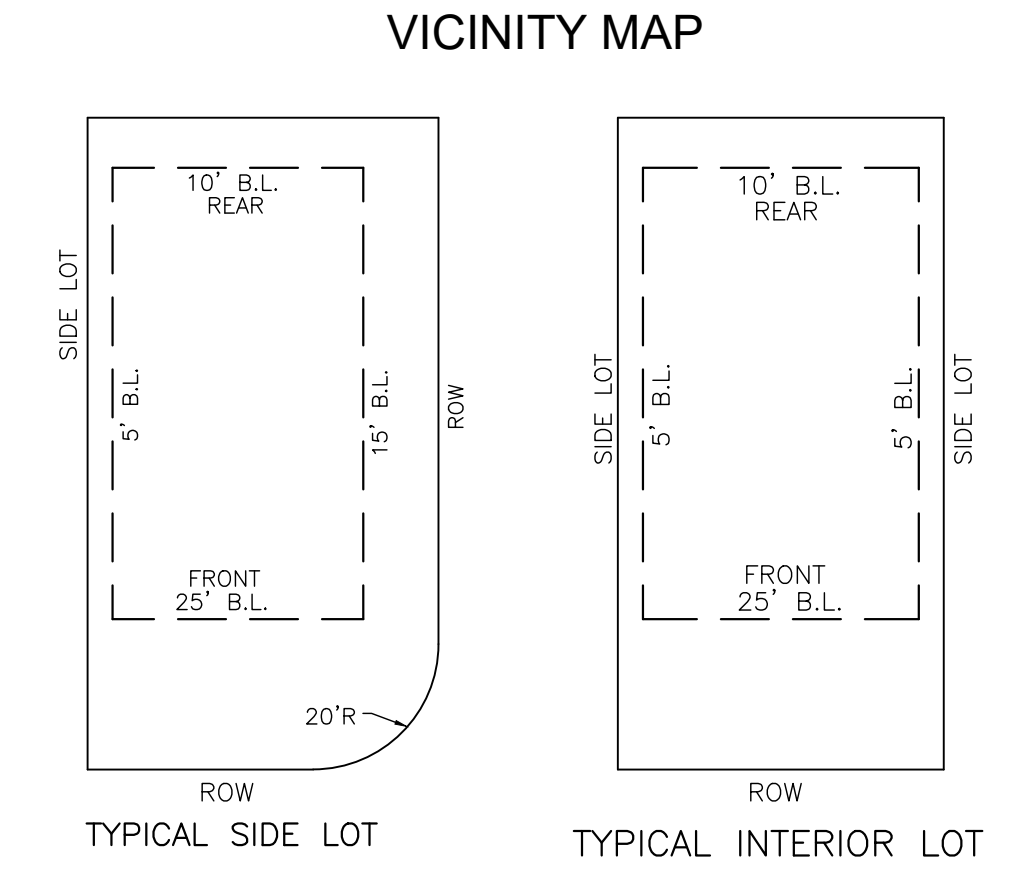
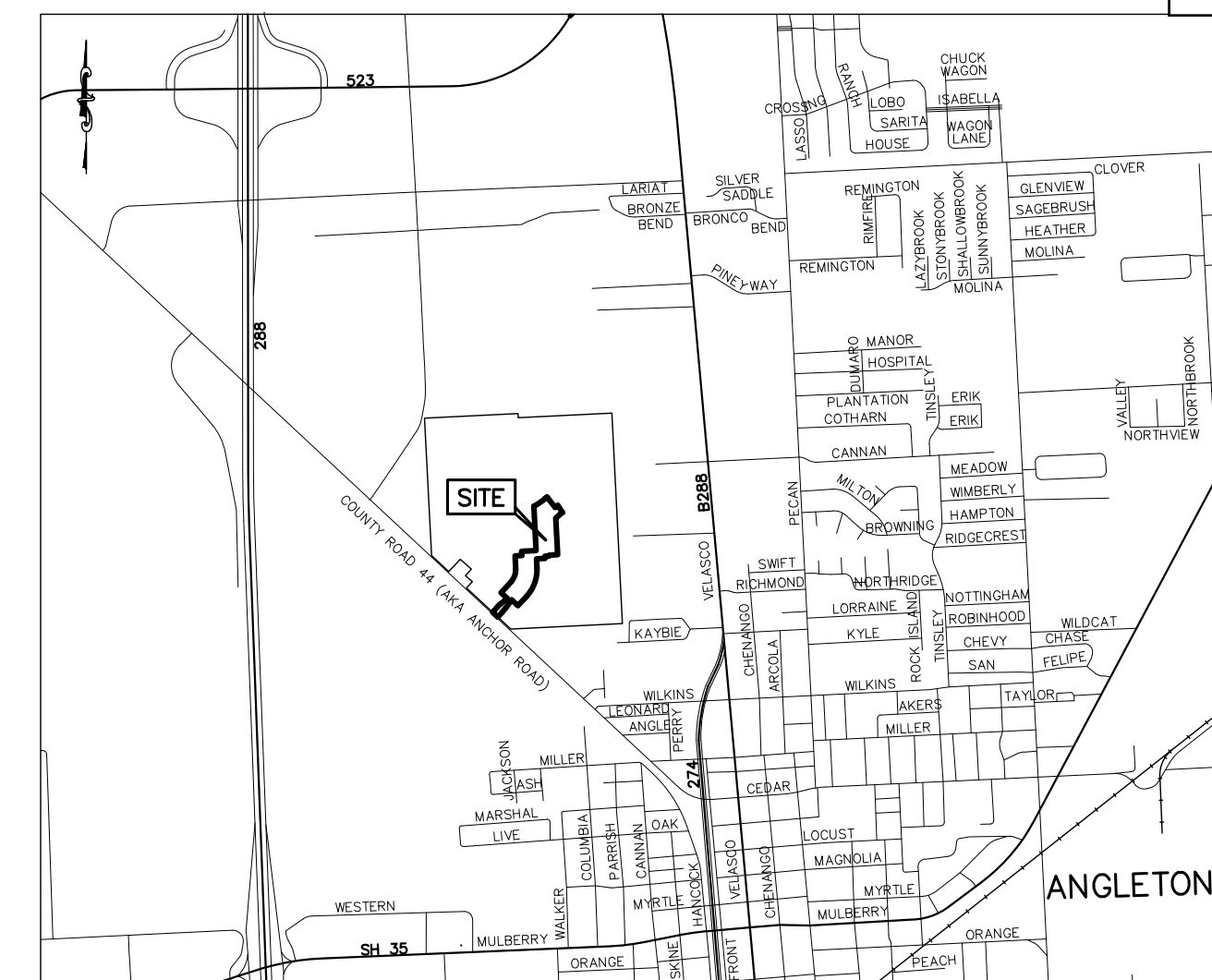
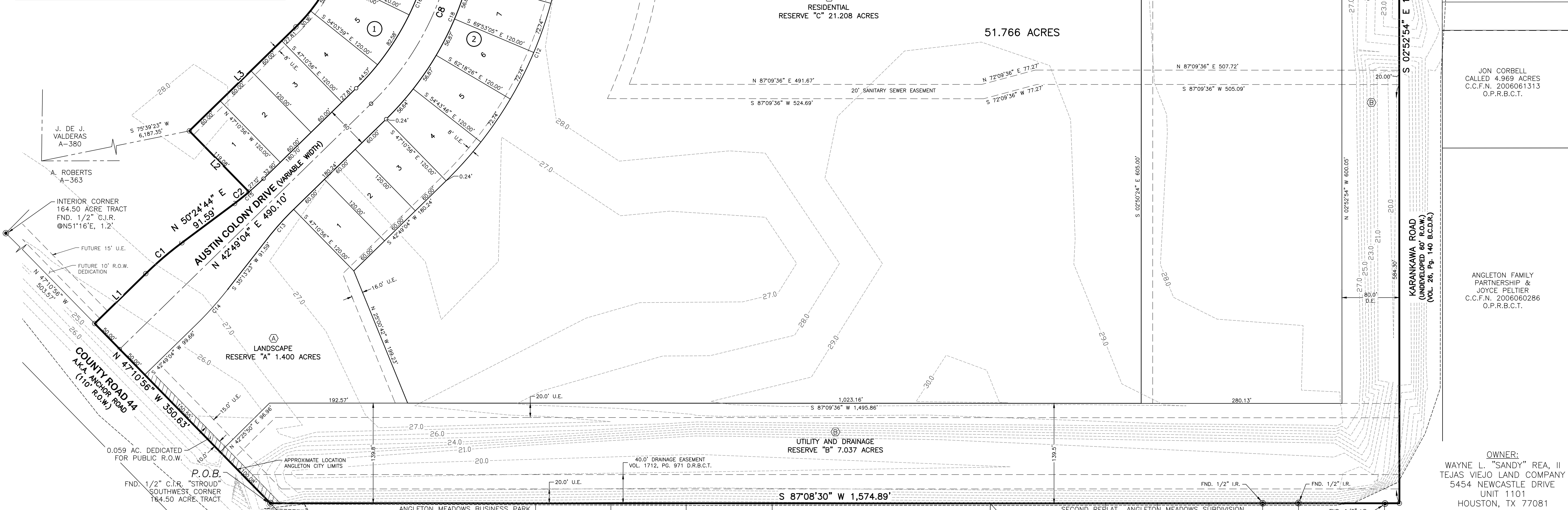
LEGEND

- O.P.R.B.C.T. = OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS
- D.R.B.C.T. = DEED RECORDS BRAZORIA COUNTY TEXAS
- P.R.B.C.T. = PLAT RECORDS BRAZORIA COUNTY TEXAS
- C.C.F.N. = COUNTY CLERK'S FILE NUMBER
- FND = FOUND
- C.I.R. = CAPTOP IRON ROD
- I.R. = IRON ROD
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- R.O.W. = RIGHT-OF-WAY
- VOL., PG. = VOLUME PAGE
- B.L. = BUILDING LINE
- U.E. = UTILITY EASEMENT

SYMBOLS

- = SET 5/8" I.R. W/CAP "BAKER & LAWSON"
- = FOUND MONUMENT (AS NOTED)

Curve Table					
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C27	265.67'	690.00'	22°03'39"	S08°09'37"W	264.03'



BLOCK 1 SECTION 1A		BLOCK 2 SECTION 1A		BLOCK 3 SECTION 1A		BLOCK 4 SECTION 1A	
PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE	PARCEL TABLE
LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.
1	7,192	1	7,200	1	6,514	1	6,000
2	7,200	2	7,200	2	6,000	2	6,000
3	7,200	3	7,200	3	6,000	3	6,000
4	7,821	4	7,774	4	6,000	4	6,000
5	8,302	5	7,776	5	6,000	5	6,000
6	8,302	6	7,776	6	6,000	6	6,000
7	8,337	7	7,776	7	6,000	7	6,000
8	7,200	8	7,776	8	6,000	8	6,000
9	7,200	9	7,797	9	6,001	9	6,000
10	7,714	10	7,200	10	8,732	10	6,939
		11	7,200	11	11,020	11	8,197
		12	7,714	12	9,689	12	6,115
		13	6,514	13	6,550	13	6,587
		14	6,414	14	6,414		

TEJAS-ANGLETON DEVELOPMENT, LLC
CALLED 11.535 ACRES
B.C.C.F. NO. 2021067765
O.P.R.B.C.T.

CORNERSTONE SUBDIVISION
VOL. 16, PG. 343
B.C.P.R.

JON CORBELL
CALLED 4.969 ACRES
C.C.F.N. 2006061313
O.P.R.B.C.T.

ANGLETON FAMILY PARTNERSHIP & JOYCE FELTNER
C.C.F.N. 2006060286
O.P.R.B.C.T.

OWNER:
WAYNE L. "SANDY" REA, II
TEJAS VIEJO LAND COMPANY
5454 NEWCASTLE DRIVE
UNIT 1101
HOUSTON, TX 77081

PRELIMINARY PLAT
AUSTIN COLONY SECTION 1A
A 51.766 ACRES
50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION
BEING A PORTION OF A CALLED 164.50 ACRE TRACT
AS RECORDED IN C.C.F.N. 2021067765
OF THE O.P.R.B.C.T.

LOCATED IN THE
J. DE J. VALDERAS SURVEY
ABSTRACT NO. 380
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS

4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

PROJECT NO: 14257	SCALE: 1" = 80'	DRAWN BY: AD
DRAWING NO: 14257_PLAT SEC1A	DATE: 3/13/2023	CHECKED BY: DH



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and possible action on a Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east.

AGENDA ITEM SECTION: Regular Agenda Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The subject property consists of approximately Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east. Riverwood Ranch Section 3 consists of 73 lots, 4 blocks and 5 reserves, being a portion of a called 73.74 acre tract located in the Theodore S. Lee Survey, abstract No. 318, City of Angleton, Brazoria County, Texas.

The permitted lot sizes and density for the Riverwood Ranch project were established as part of an ordinance (ORD. 20200609-006) approving the Planned Development zoning on the property. That ordinance was subsequently amended by ORD. 20200112-014; to include agricultural uses to allow the property owner to obtain an agricultural exemption on the undeveloped portion of the property.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

The City Engineer has reviewed the submitted the Riverwood Ranch Subdivision, Section 3, and the listed (10) comments have been addressed by the applicant since this agenda posting. The comments found in the review were minor and are primarily textual/formatting items noted for correction. Staff has cleared the noted comments.

Commissioner Ellen Eby asked how were the sales going for the subdivision phases 1 and 2.

Michael Foley reported from Riverway spoke on the raised interest rates which have slowed sales. His group is selling at a better pace than others. Lennar does a lot of spec homes and then sells them over a few months. They are not a custom builder.

Recommendation. The Planning Commission should approve the Preliminary Plat for Austin Colony Section 1 A and forward it to City Council for final action.

Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve of the proposed preliminary plat and recommends it to the City Council for final action. Motion was seconded by Commission Member Munson.

Commission Action:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby- Nay; Commission Member Bonnie McDaniel- Nay; and Commission Member Henry Munson- Nay; and Commission Member Michelle Townsend- Nay.

Motion failed to carry, 2 -5 vote recommending denial.

STAFF REVIEW

The City Engineer has reviewed the submitted the Riverwood Ranch Subdivision, Section 3, and has listed (10) comments that need to be addressed by the applicant. The comments found in the review are minor and are primarily textual/formatting items noted for correction. At the time of agenda posting no revisions or resubmittal was received. Staff will update the Commission on the final recommendation during the 4/6/2023 meeting of any and all cleared comments.

RECOMMENDATION:

The Planning and Zoning Commission voted 2-5 denying the Final Plat for Riverwood Ranch Subdivision, Section 3. Staff finds that the plat meets the minimum requirements and should be approved.

April 2, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Riverwood Ranch Section 3 Final Plat and Construction Plans – 1st Submittal Review
Angleton, Texas
HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the construction plans and final plat for the above referenced subdivision and offers the following comments:

Final Plat - Sheet 1 of 2

1. Show existing Riverwood Ranch Section 1 in grey scale or dashed lines.
2. Notate future Riverwood Ranch phases on Final plat.
3. Show existing Northview Subdivision Section 1 in grey scale or dashed lines.

Construction Plans

Sheet 9 – Plan & Profile Emma Street Sta. 10+00 to 15+60

1. Verify if overflow weir to extend into ROW where notated on the plans.
2. Revise water line offset (Sta. 14+00) shown to be more gradual deflection. Example shown on profile.

Sheet 10 – Plan & Profile Robin Street Sta. 1+60 to 4+20

1. Proposed water line is in conflict with proposed sanitary sewer near Sta. 3+15.

Sheet 14 – Plan & Profile Amy Street Sta. 0+00 to 3+20

1. Verify and update water surface elevations shown for 25yr and 100yr.

Sheet 24 – Paving Marking , Street Sign, and Roadway Lighting Layout

1. Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b. See sheet for locations.
2. Update plan sheet to include all proposed striping including stop bar locations and striping on Buchta Road.

Sheet 40 – Residential Curb Construction Details SL-23

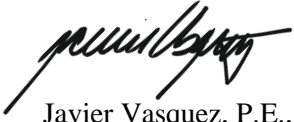
1. Revise subgrade section shown. 8-inch minimum to be used.

The proposed plat and plans are incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Riverwood Ranch Section 3 Final Plat and Construction Plans be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

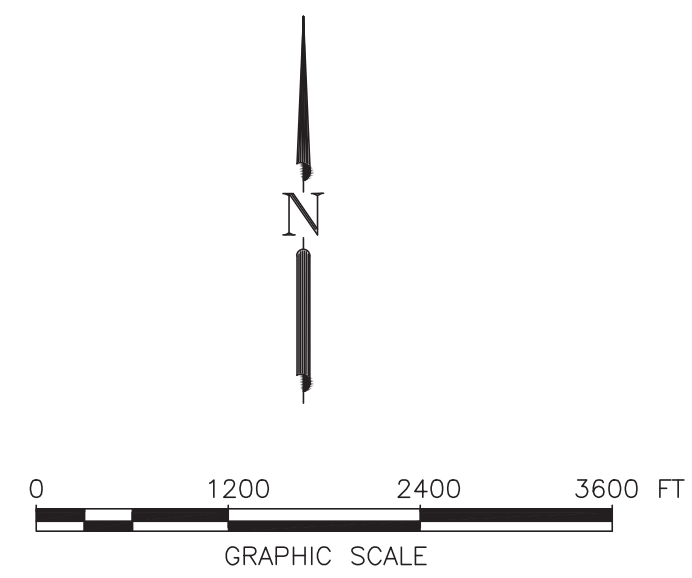
A handwritten signature in black ink, appearing to read 'Javier Vasquez', written in a cursive style.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10361761)

Attachments

CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 8 BLOCKS, 145 LOTS IN THE CITY OF ANGLETON BRAZORIA COUNTY B&L JOB No. 14396

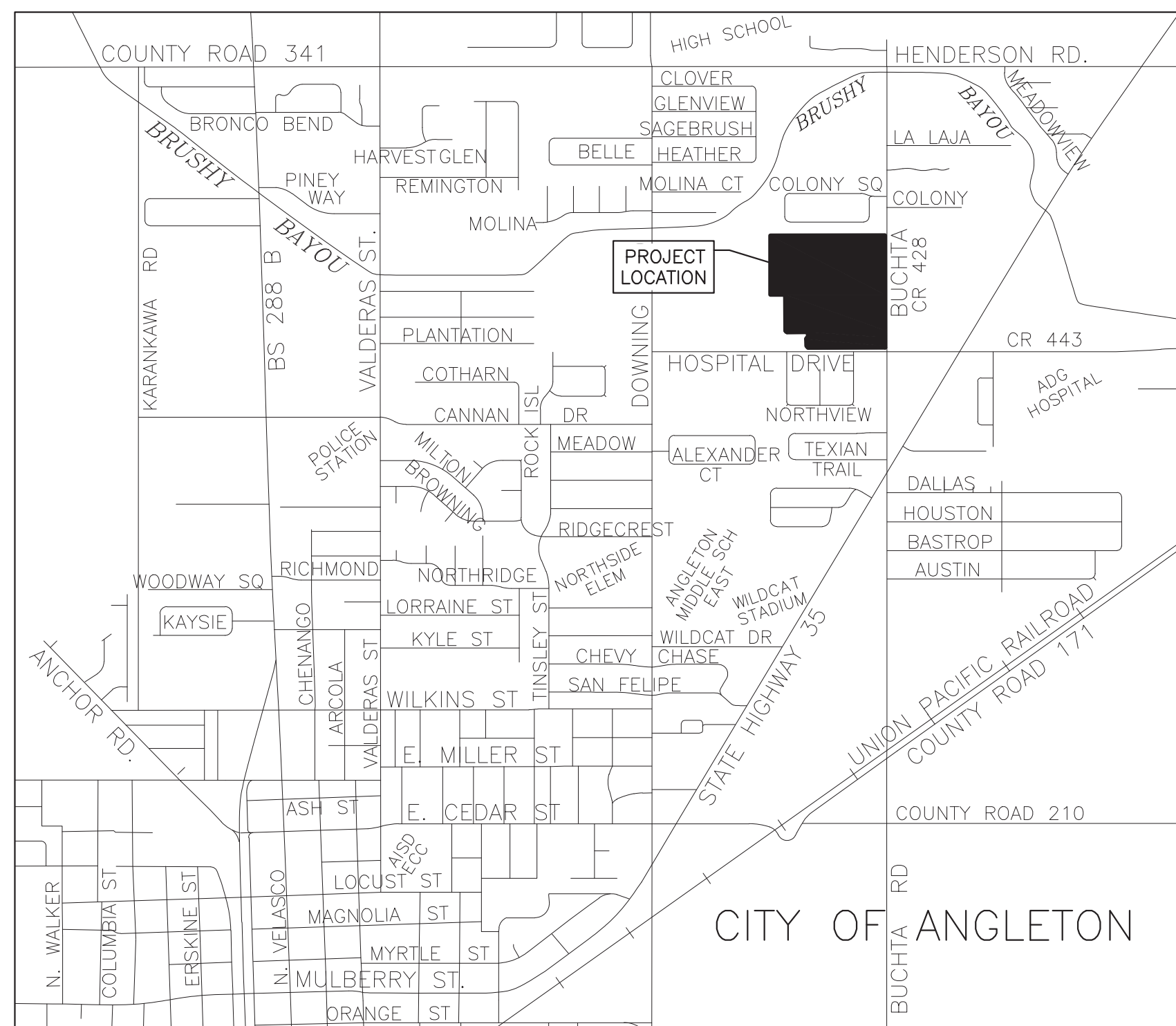


INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
1	TITLE SHEET
-	FINAL PLAT
2	CONSTRUCTION NOTES
3	EXISTING CONDITIONS & DEMOLITION
4	DRAINAGE AREA MAP
5	LOT GRADING PLAN
5A	CUT & FILL CALCULATION
6	UTILITY PLAN & SHEET LAYOUT
7	PLAN & PROFILE - EMMA STREET STA -0+80 TO 4+80
8	PLAN & PROFILE - EMMA STREET STA 4+80 TO 10+00
9	PLAN & PROFILE - EMMA STREET STA 10+00 TO 15+60
10	PLAN & PROFILE - ROBIN STREET STA -1+60 TO 4+20
11	PLAN & PROFILE - ROBIN STREET STA 4+20 TO 9+60
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15	PLAN & PROFILE - AMY STREET STA 3+20 TO 8+00
16	PLAN & PROFILE - AMY STREET STA 15+00 TO 17+80
17	PLAN & PROFILE - AMY STREET STA 17+80 TO 22+68
17A	PLAN & PROFILE - OUTFALL C & D
17B	PLAN & PROFILE - OUTFALL D & NORTH DITCH
17C	PLAN & PROFILE - NORTH DITCH
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21	HYDROLOGICAL CALCULATIONS
22	WINDSTORM DATA RUN A & B
23	WINDSTORM DATA RUN C & D
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25	TRAFFIC CONTROL PLAN - TCP (2-5) - 18
26	HERITAGE TREE PRESERVATION PLAN

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27	MISCELLANEOUS DETAILS
28 (SL-03)	STORM SEWER MANHOLE CONSTR. DETAILS
29 (SL-08)	STORM SEWER INLET CONSTR. DETAILS II
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31 (SL-10)	STORM SEWER CONSTR. DETAILS
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34 (SL-15)	WATER LINE CONSTR. DETAILS
35 (SL-16)	WATER LINE CROSSING DETAILS
36 (SL-19)	WATER LINE, SAN. SEW. F.M. BEDDING DETAILS
37 (SL-20)	STORM SEW. BEDDING AND BACKFILL DETAILS
38 (SL-21)	CONCRETE PAVEMENT CONSTR. DETAILS
39 (SL-22)	CONCRETE PAVEMENT CONSTR. DETAILS
40 (SL-23)	RESIDENTIAL CURB CONSTR. DETAILS
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43 (SL-27)	DRIVEWAY CONSTR. DETAILS
44 (SL-33)	GENERAL EROSION CONTROL NOTES
45 (SL-34)	EROSION CONTROL DETAILS - 1
46 (SL-35)	EROSION CONTROL DETAILS - 2



CITY OF ANGLETON

MAYOR
JASON PEREZ

CITY MANAGER
CHRIS WHITTAKER

CITY COUNCIL
CHRISTIENE DANIEL
CECIL BOOTH
JOHN WRIGHT
MARK GONGORA
TRAVIS TOWNSEND

This subdivision lies within the Brushy Bayou Watershed.

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4905 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

TITLE SHEET
PROJECT NO. 14396

OWNER'S ACKNOWLEDGEMENT.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINAbove DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT
RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS ____ DAY OF _____, 20____ BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ____ DAY OF _____, 20____ BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEEES AND SUCCESSORS: THE PORTION OF BLOCK 1, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINAbove DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SLT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

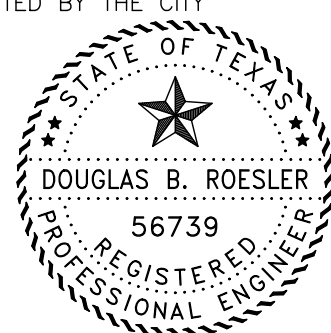
BOARD MEMBER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

SIGNED: _____ DATE _____
DOUGLAS B. ROESLER
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739

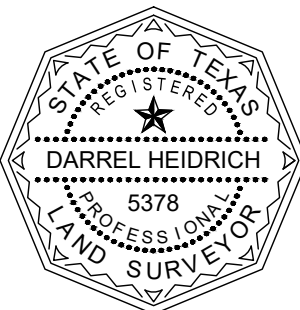


STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

SIGNED: _____ DATE _____
DARREL HEIDRICH
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5378



NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.
2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
4. REFERENCE BENCHMARK:
NGS MONUMENT R1182 (PID AW1171)
A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
ELEVATION = 26.31 FEET NGVD29
5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.
12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.
13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

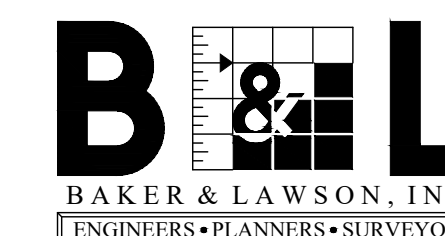
SHEET 2 OF 2

**FINAL PLAT
RIVERWOOD RANCH SUBDIVISION
SECTION 3**

**A 35.620 ACRES
73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION**

**BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS
RECORDED IN C.C.F.N. 2020043779
OF THE O.P.R.B.C.T.**

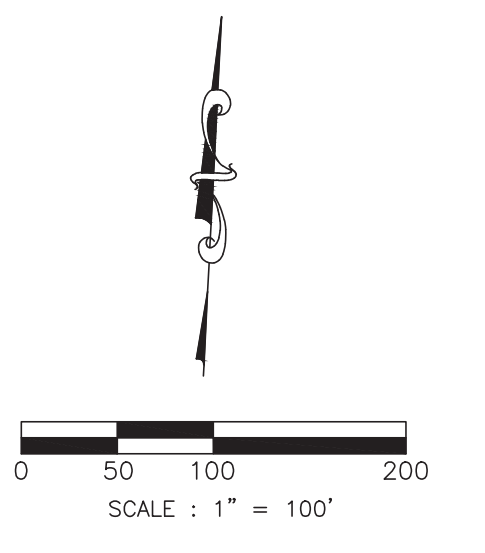
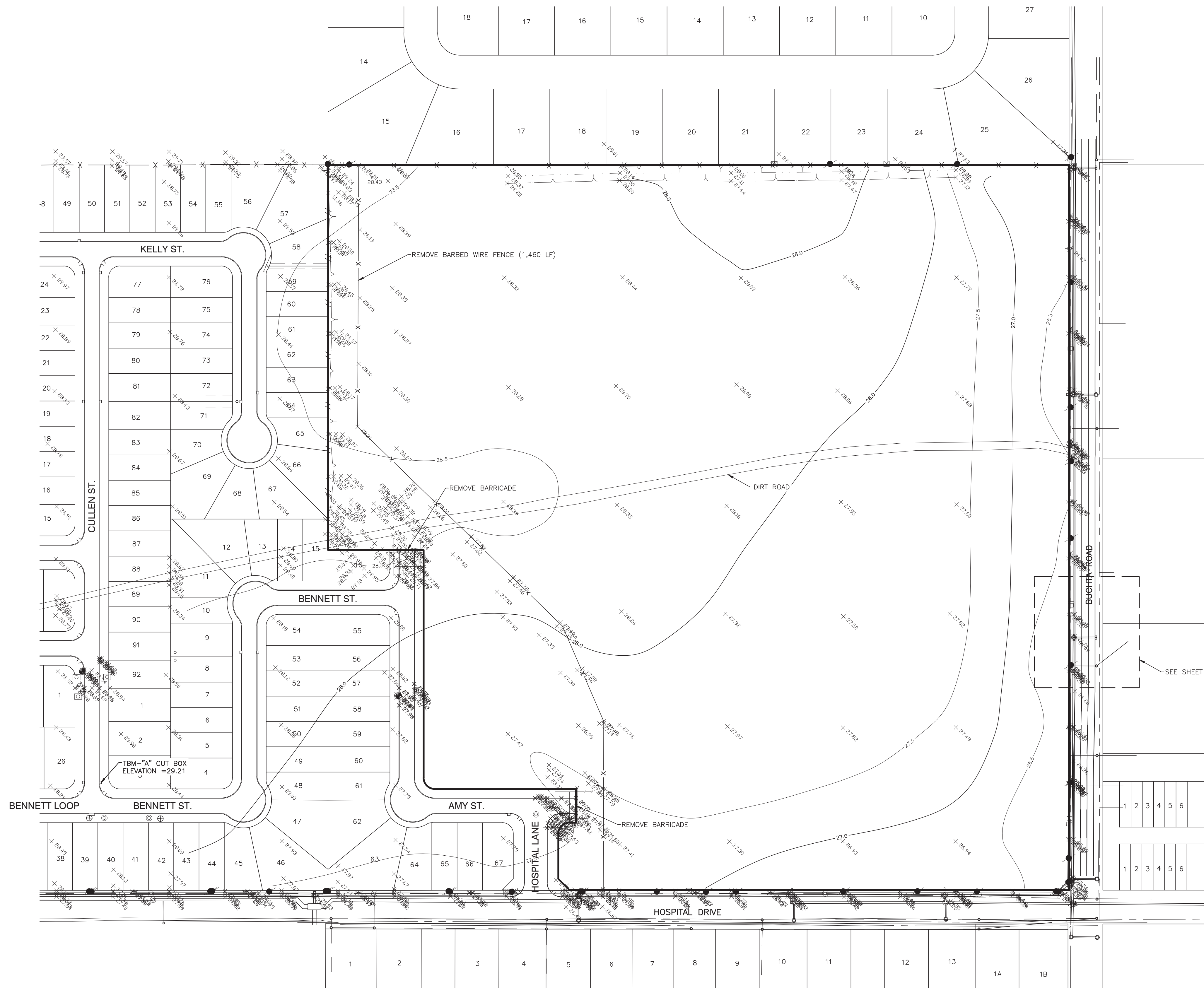
**LOCATED IN THE
THEODORE S. LEE SURVEY
ABSTRACT NO. 318
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS**



4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

OWNERS:
JOHN SANTASIERO
RIVERWOOD RANCH LLC
1027 YALE STREET
HOUSTON, TEXAS 77008

PROJECT NO.: 14396	SCALE: 1" = 100'	DRAWN BY: BT
DRAWING NO.: 14396 SEC 3-4 FINAL PLAT	DATE: 12/02/2022	CHECKED BY: DH



SYMBOLS LEGEND

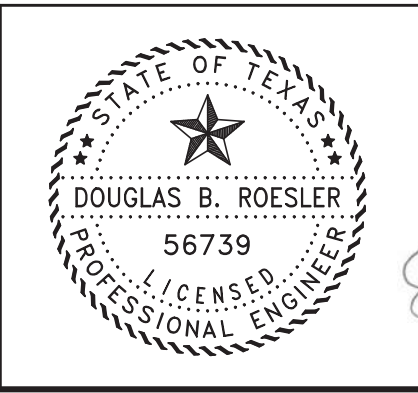
- ⊙ = FND IMPLEMENT AS NOTED
- = SET 5/8" IRON ROD
- ⊕ = BENCHMARK
- ⊕ = GAS VALVE
- ⊕ = GAS METER
- ⊕ = IRRIGATION CONTROL
- ⊕ = WATER VALVE
- ⊕ = WATER METER
- ⊕ = FIRE HYDRANT
- ⊕ = GUY WIRE
- ⊕ = POWER POLE
- ⊕ = SIGNAL POLE
- ⊕ = LIGHT POLE
- ⊕ = LIGHT BOLLARD
- ⊕ = BOLLARD
- ⊕ = MONITOR WELL
- ⊕ = CLEANOUT
- ⊕ = SIGN
- ⊕ = TELE PEDESTAL
- ⊕ = TREE
- ⊕ = MANHOLE
- ⊕ = INLET

1. REFERENCE BENCHMARK:
 NGS MONUMENT R1182 (PID AW1171)
 A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275' SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29.
2. SITE BENCHMARK:
 TBM "A":
 A CUT BOX ON AN INLET ON THE EAST SIDE OF CULLEN STREET APPROXIMATELY 41' NORTH FROM THE INTERSECTION WITH BENNETT STREET. ELEVATION = 29.21'

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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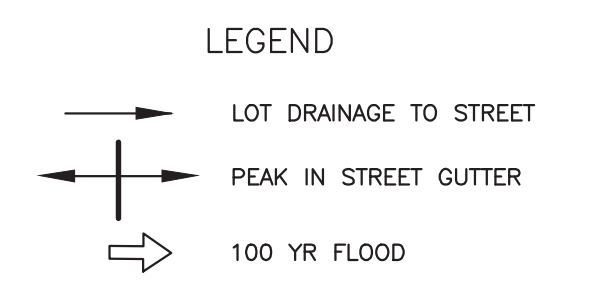
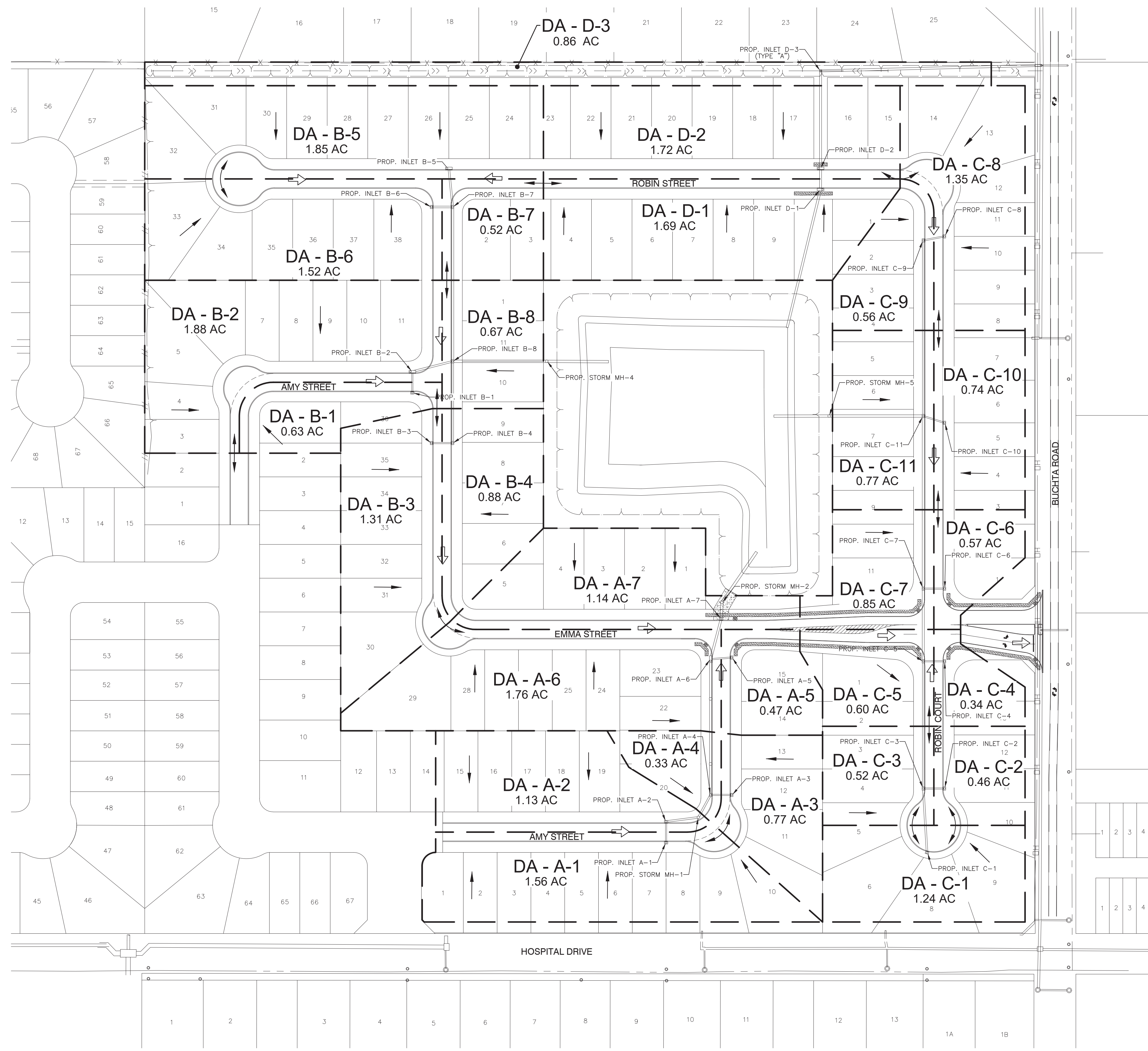
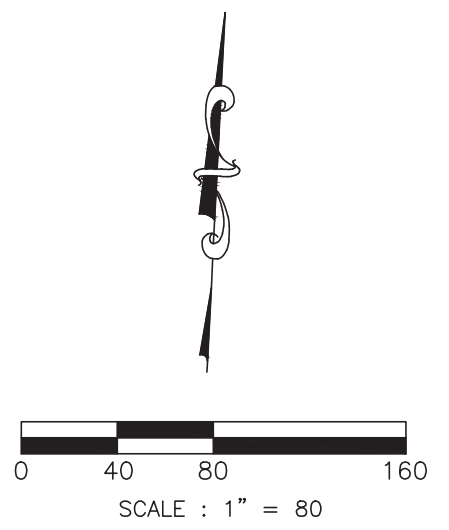
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

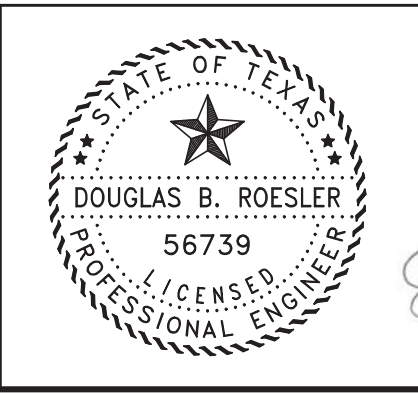
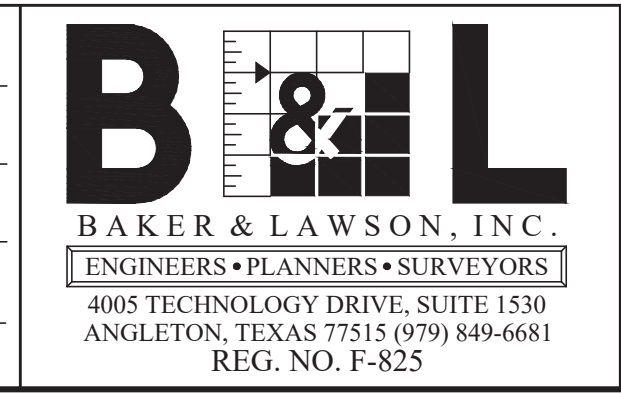
EXISTING CONDITION
 & DEMOLITION

PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____



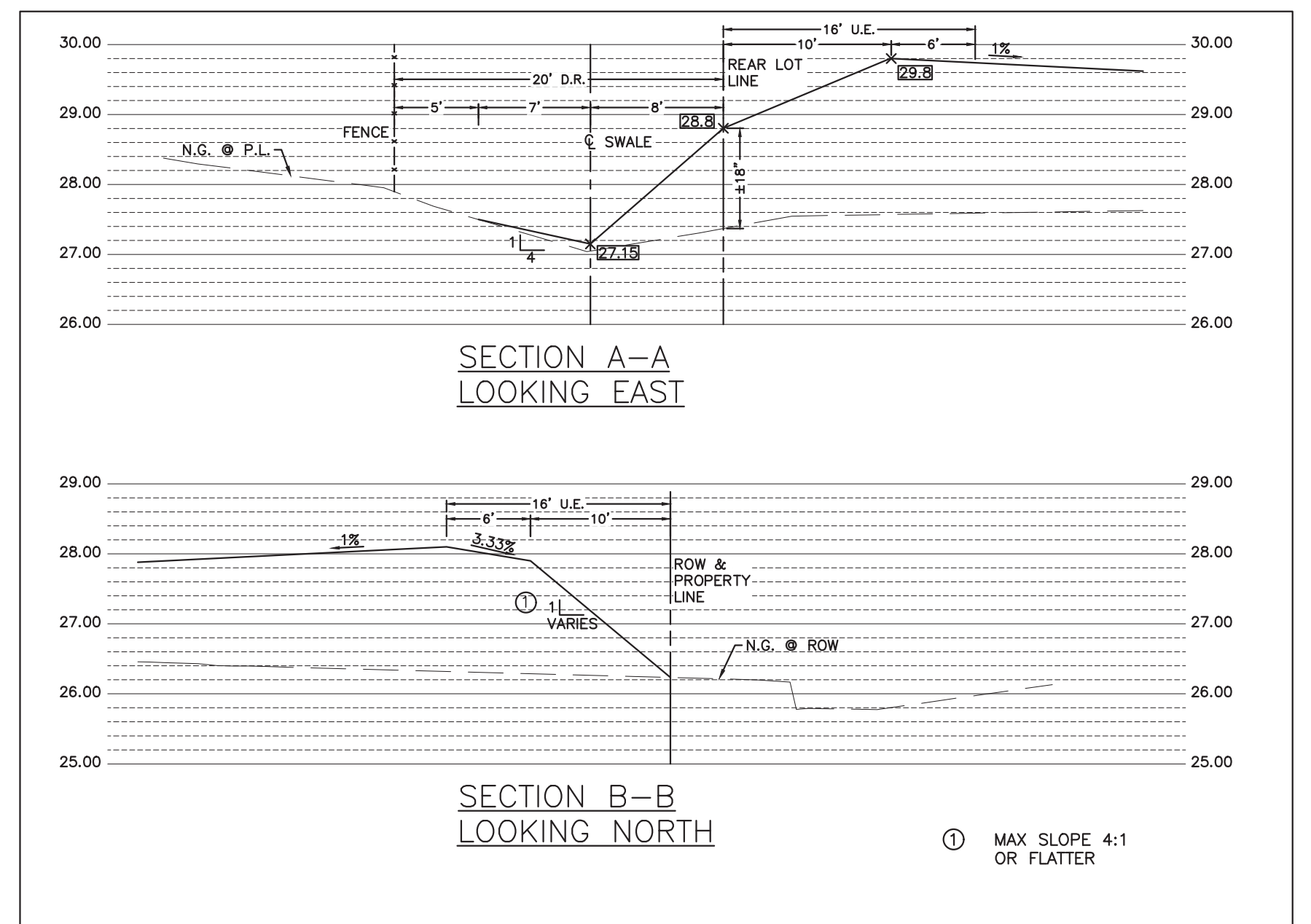
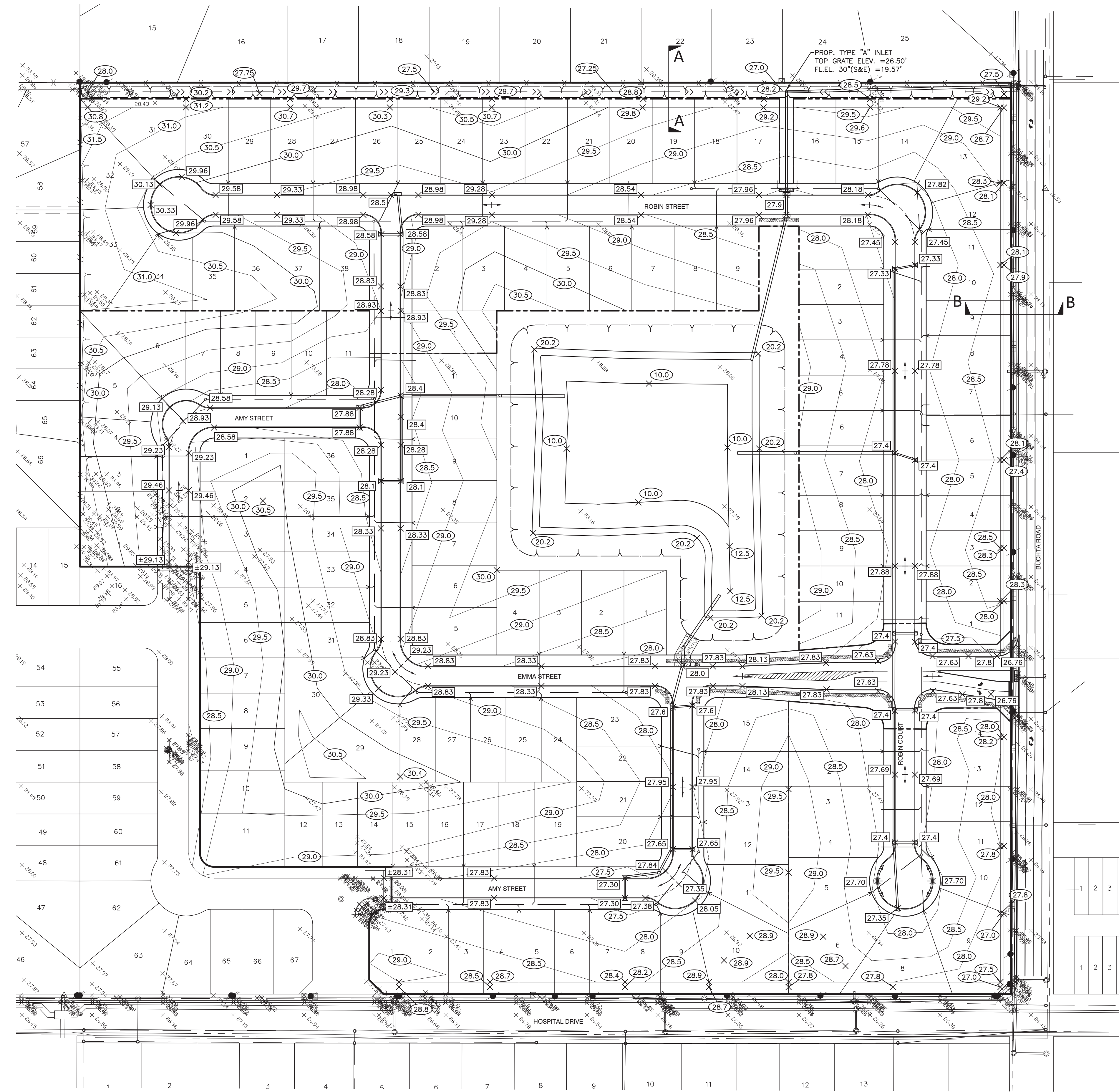
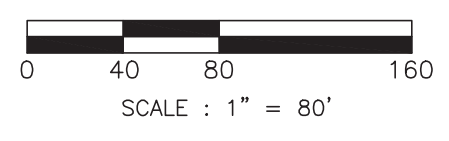
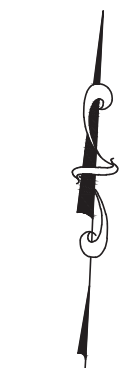
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DRAINAGE AREA MAP
 PROJECT NO. 14396

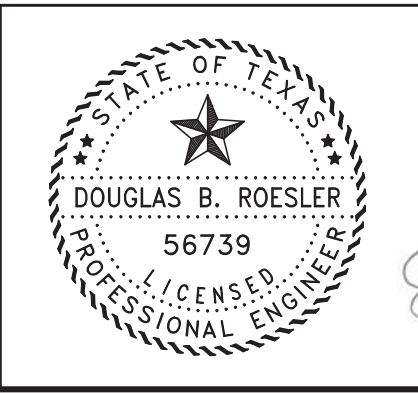


	Pavement area	Curb length
Section 3	86,130	5,466
Section 4	65,647	4,224

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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 DRAWN BT
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 DATE

BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



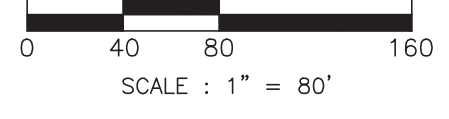
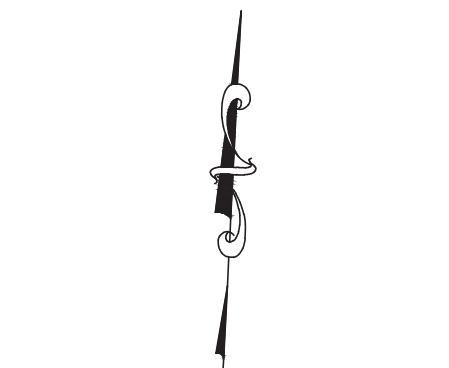
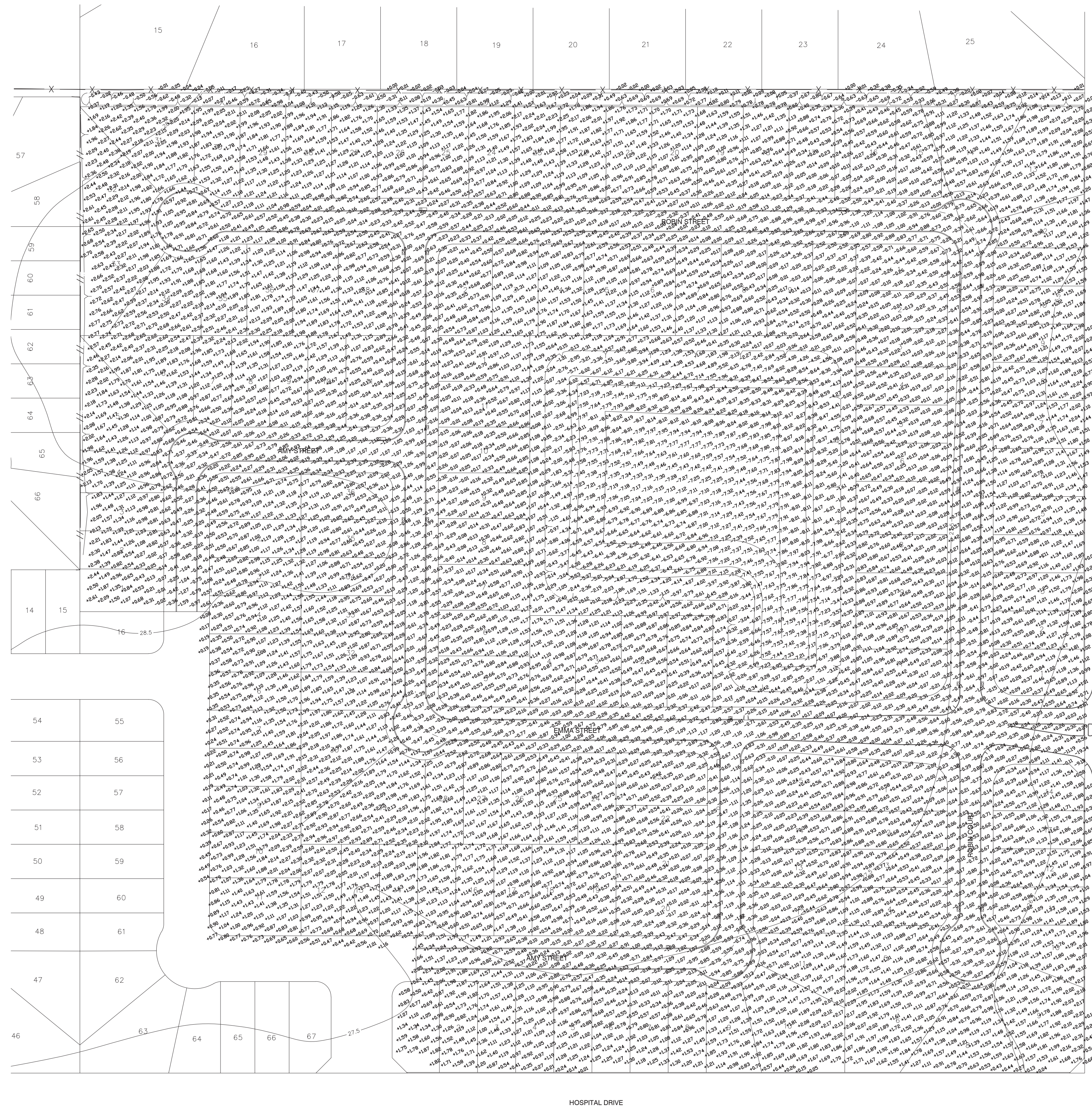
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

LOT GRADING PLAN
 PROJECT NO. 14396



EARTHWORK QUANTITY	
CUT VOLUME	: 38140 CUYD
FILL VOLUME	: 43230 CUYD
NET FILL	: 5090 CUYD

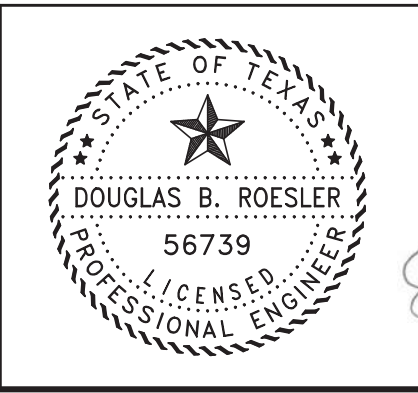
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1	2	3

1	2	3	4	5	6	7	8	9	10	11	12	13
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REVISIONS			

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 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



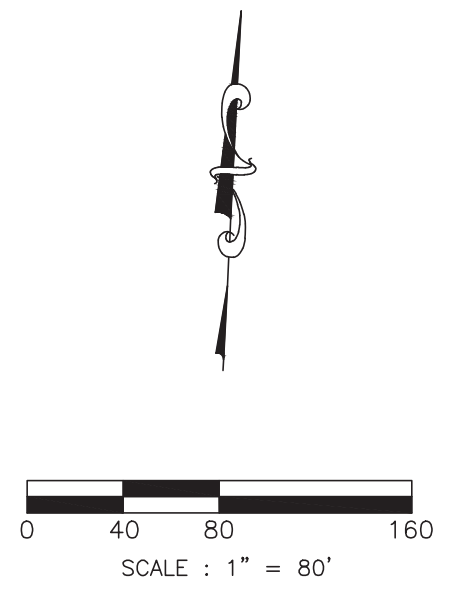
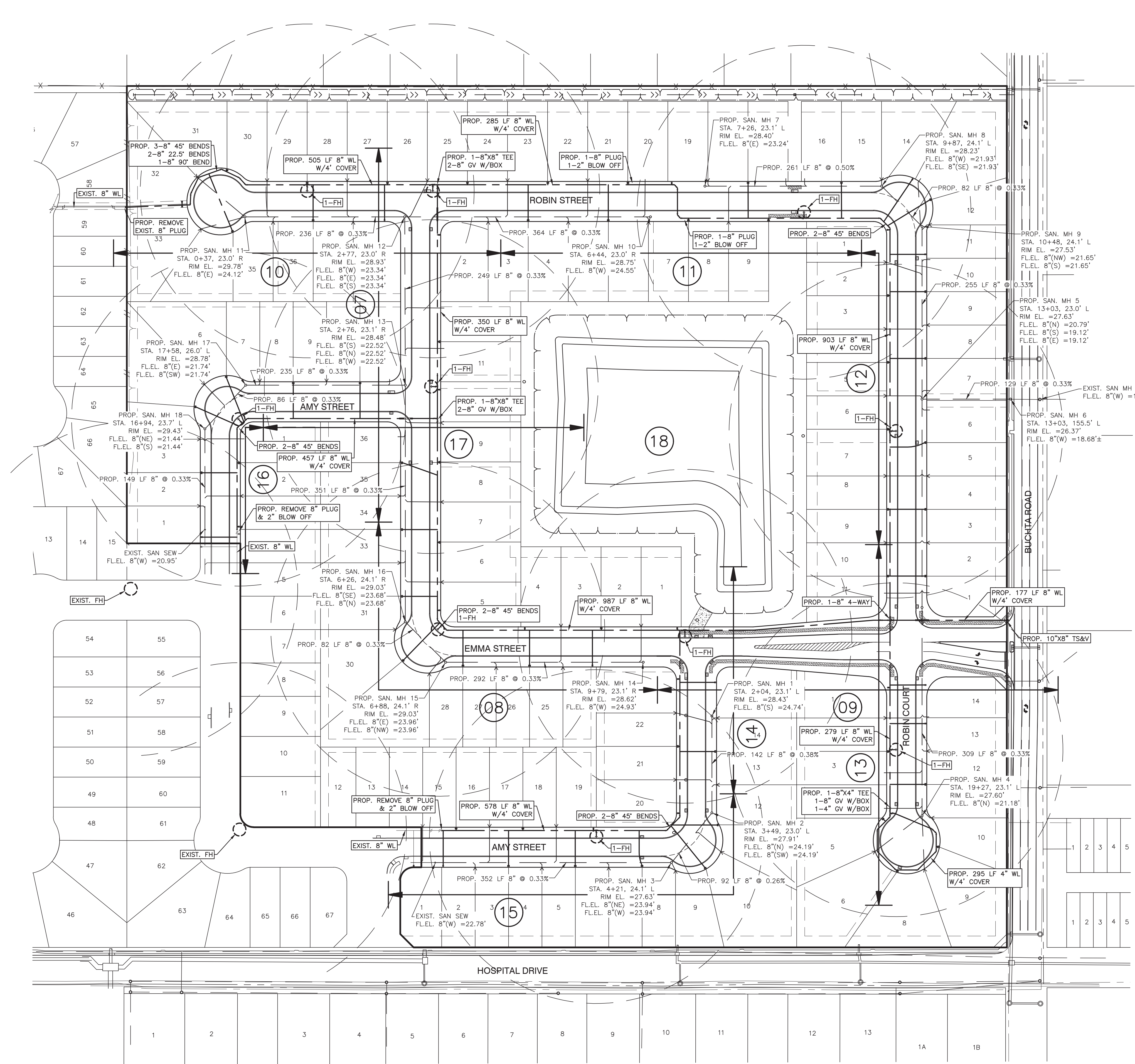
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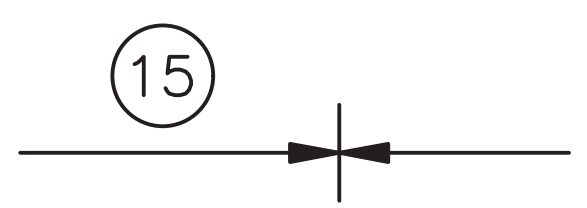
PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

CUT & FILL
 CALCULATION
 PROJECT NO. 14396



LEGEND:

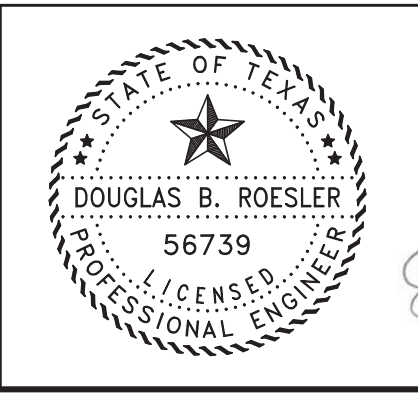
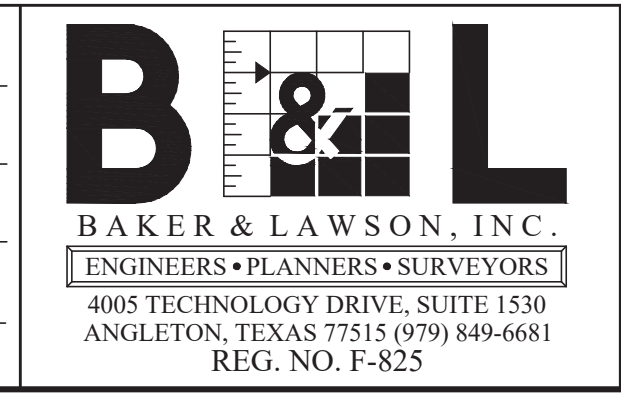


SHEET NUMBER

250' F.H. RADIUS & F.H. LOCATION

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 DATE



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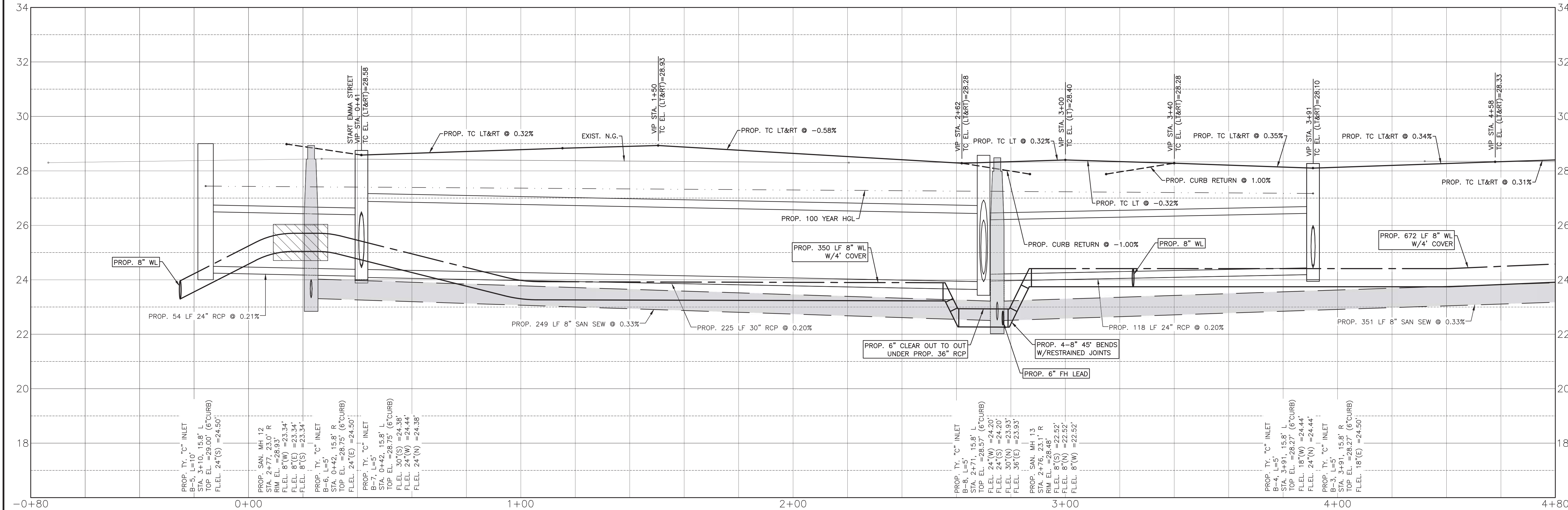
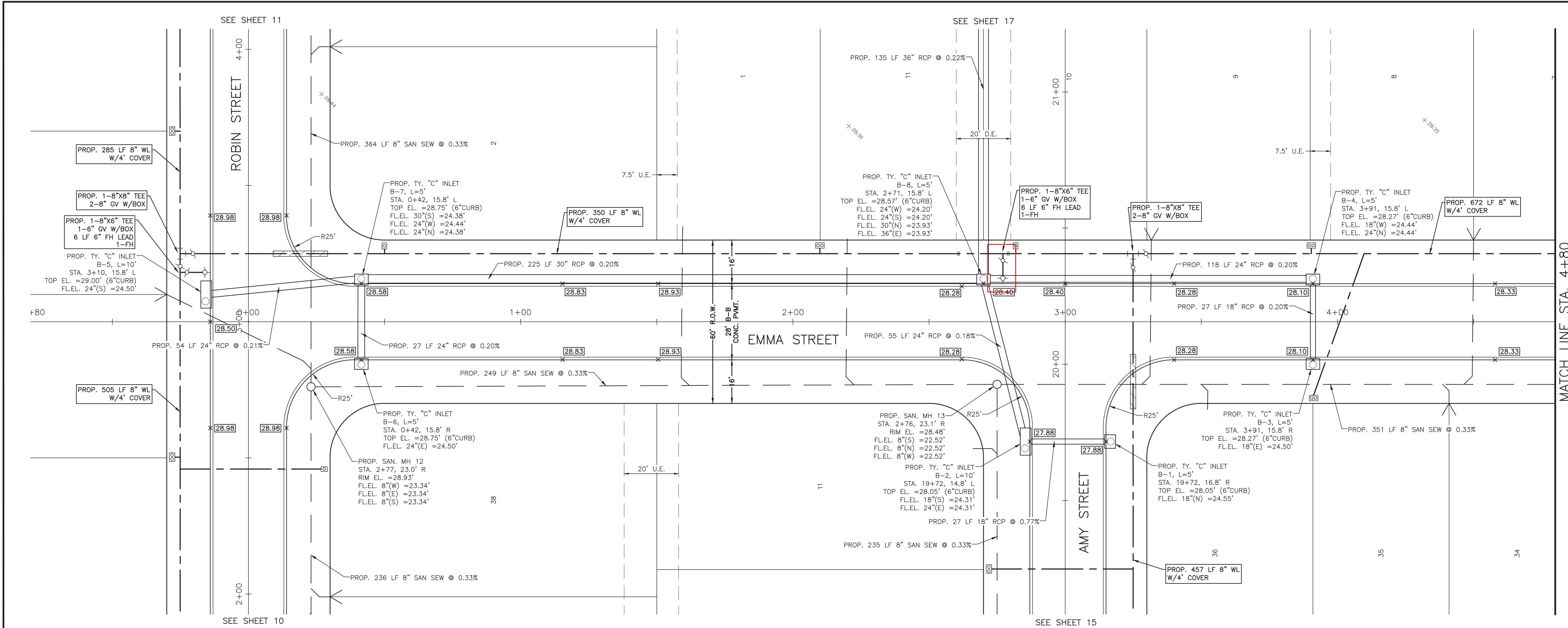
OWNER:
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6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

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 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

UTILITY PLAN & SHEET LAYOUT

PROJECT NO. 14396

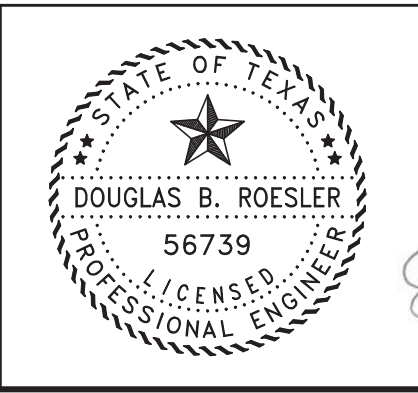


- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM. MH-1)
 - SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWMA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

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 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



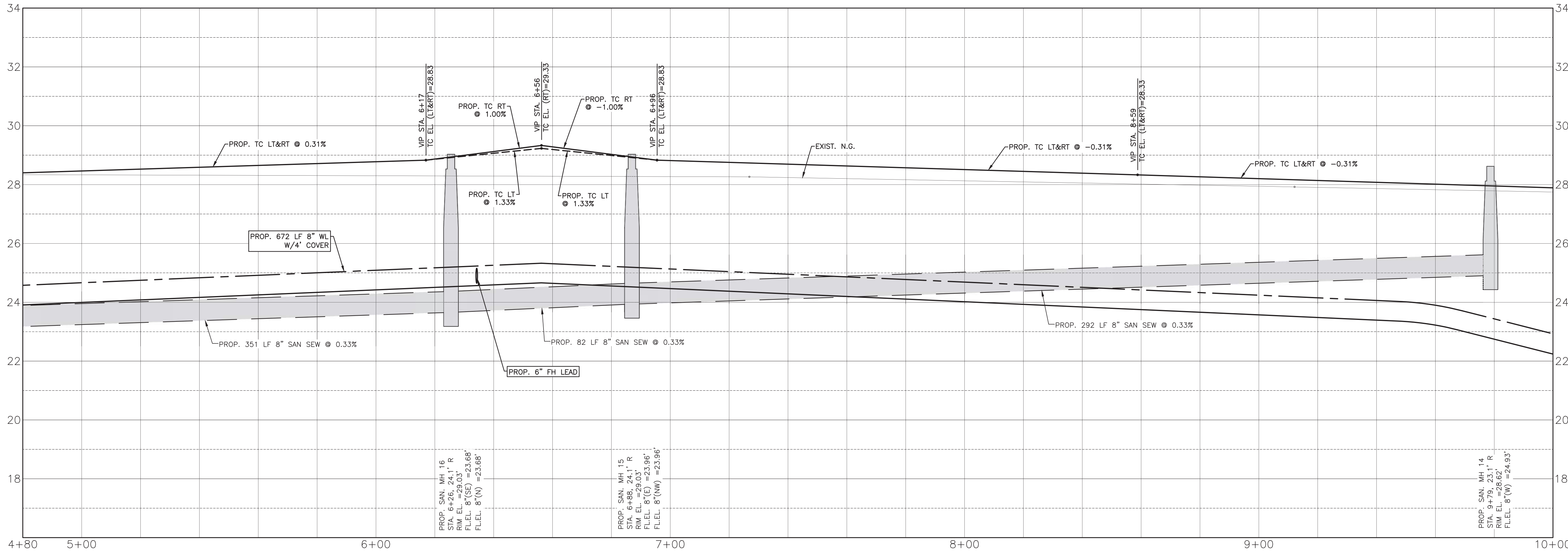
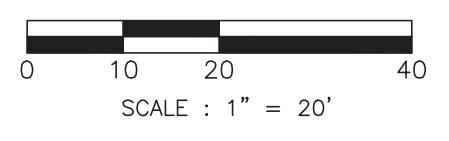
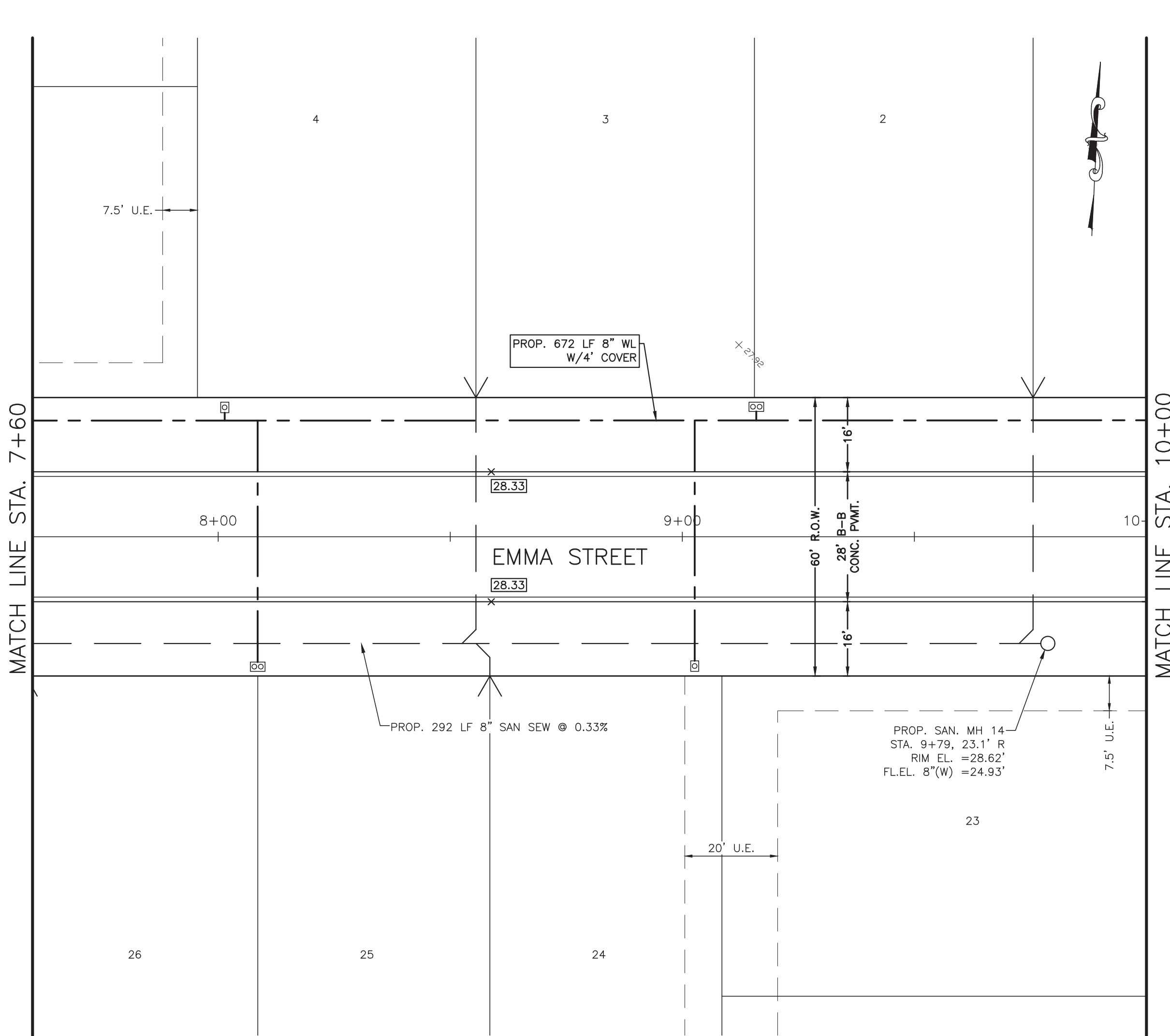
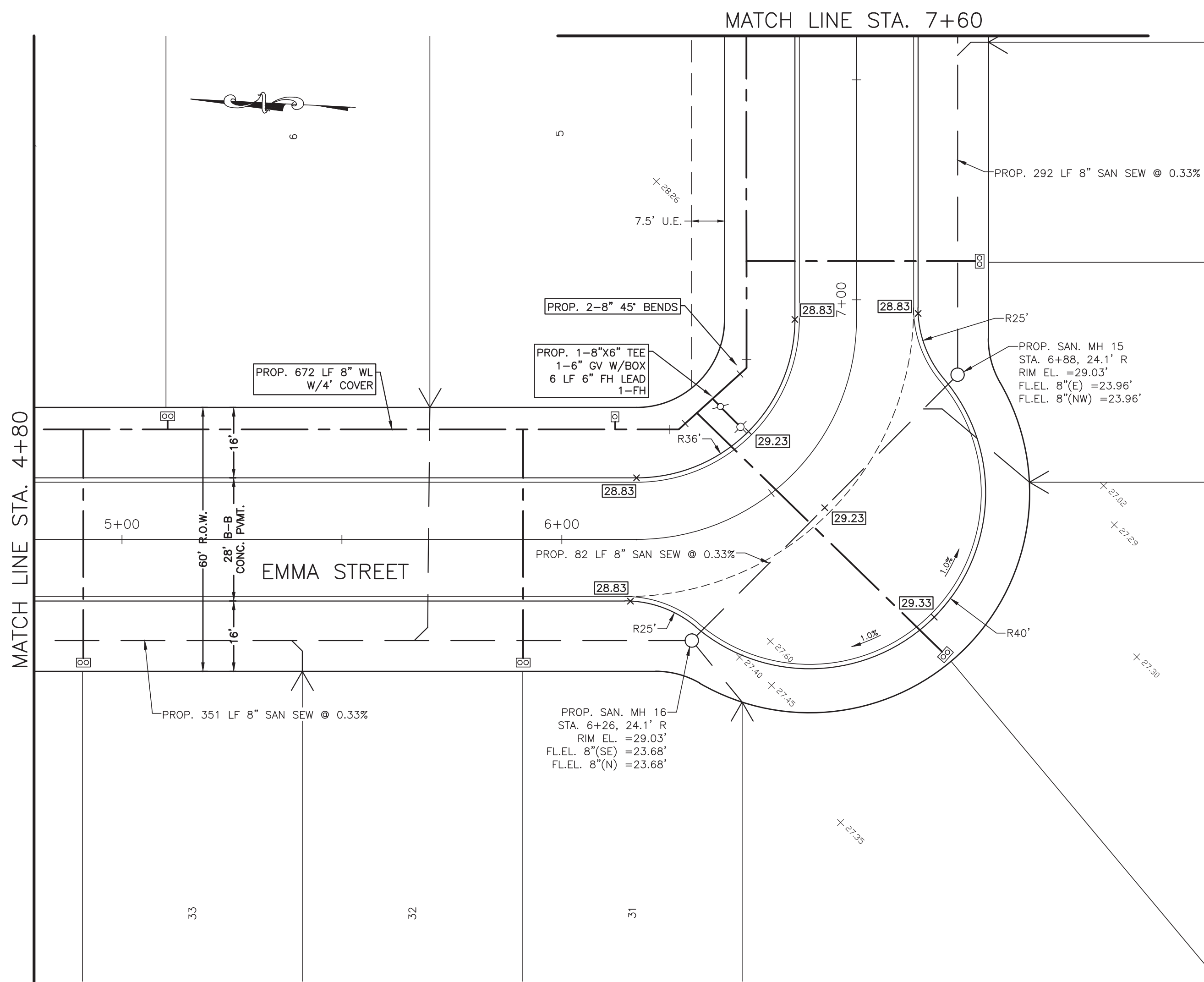
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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. -0+80 TO 4+80
 PROJECT NO. 14396

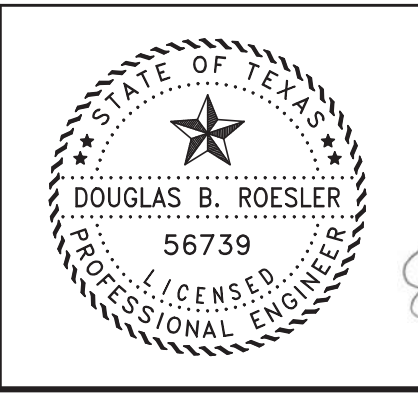


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
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 - PROP. TOP OF CONCRETE PAVEMENT
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 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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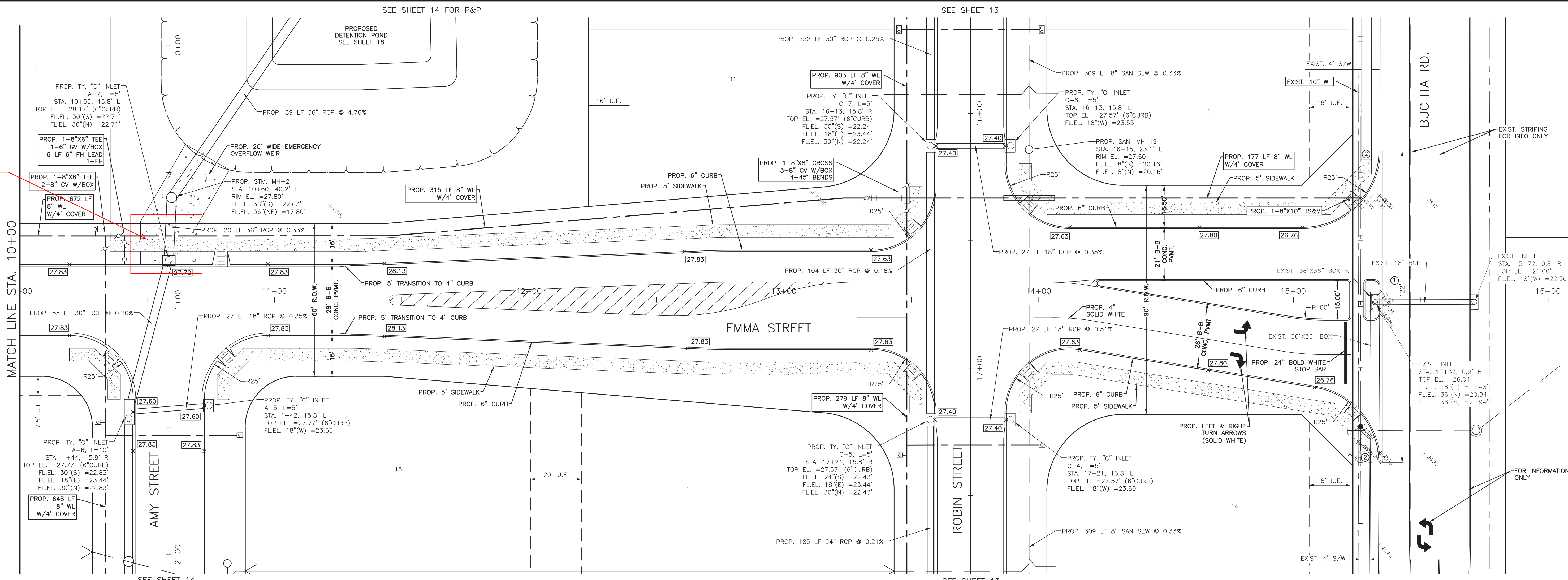
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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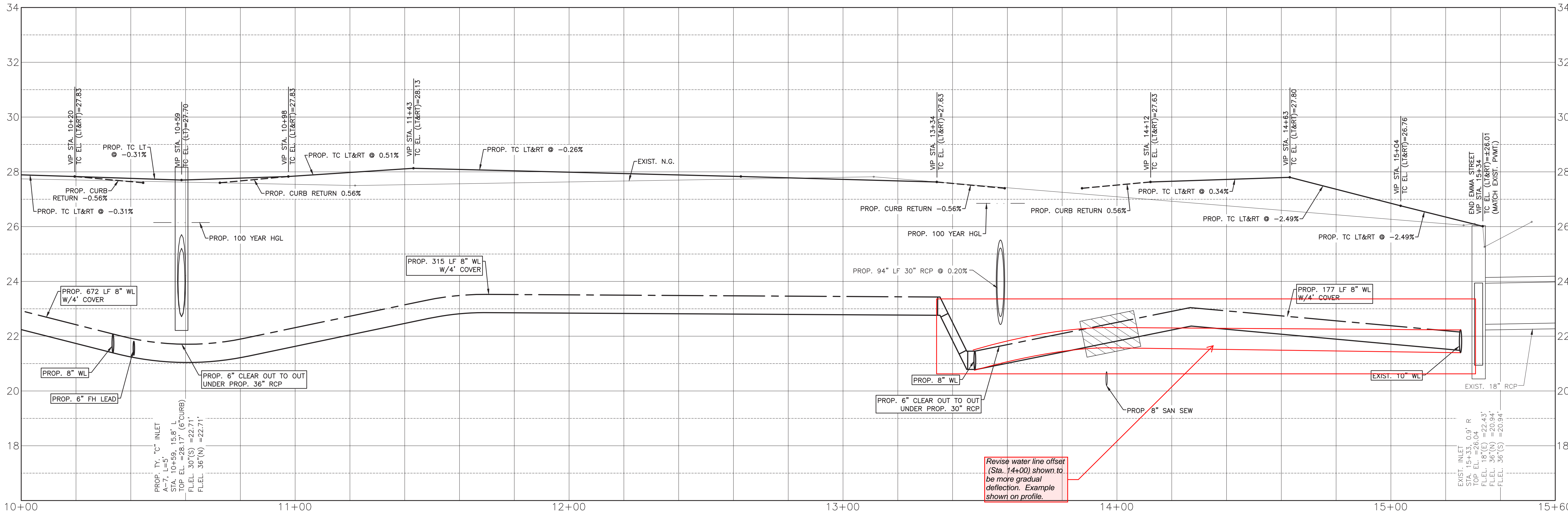
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. 4+80 TO 10+00

PROJECT NO. 14396



- ① SAWCUT 18" FROM BACK OF CURB TO REMOVE 122 LF CONC. PVMT.
- ② SAWCUT TO REMOVE 114 LF OF 4' WIDE CONC. SIDEWALK.



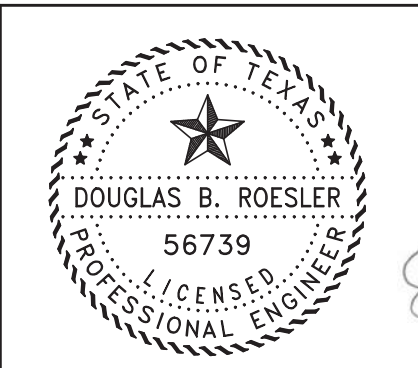
- SYMBOLS LEGEND**
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Revise water line offset (Sta. 14+00) shown to be more gradual deflection. Example shown on profile.

NO.	DATE	DESCRIPTION	APPROVED
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DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
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 ANGLETON, TEXAS 77515 (979) 849-6681
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 03-03-2023

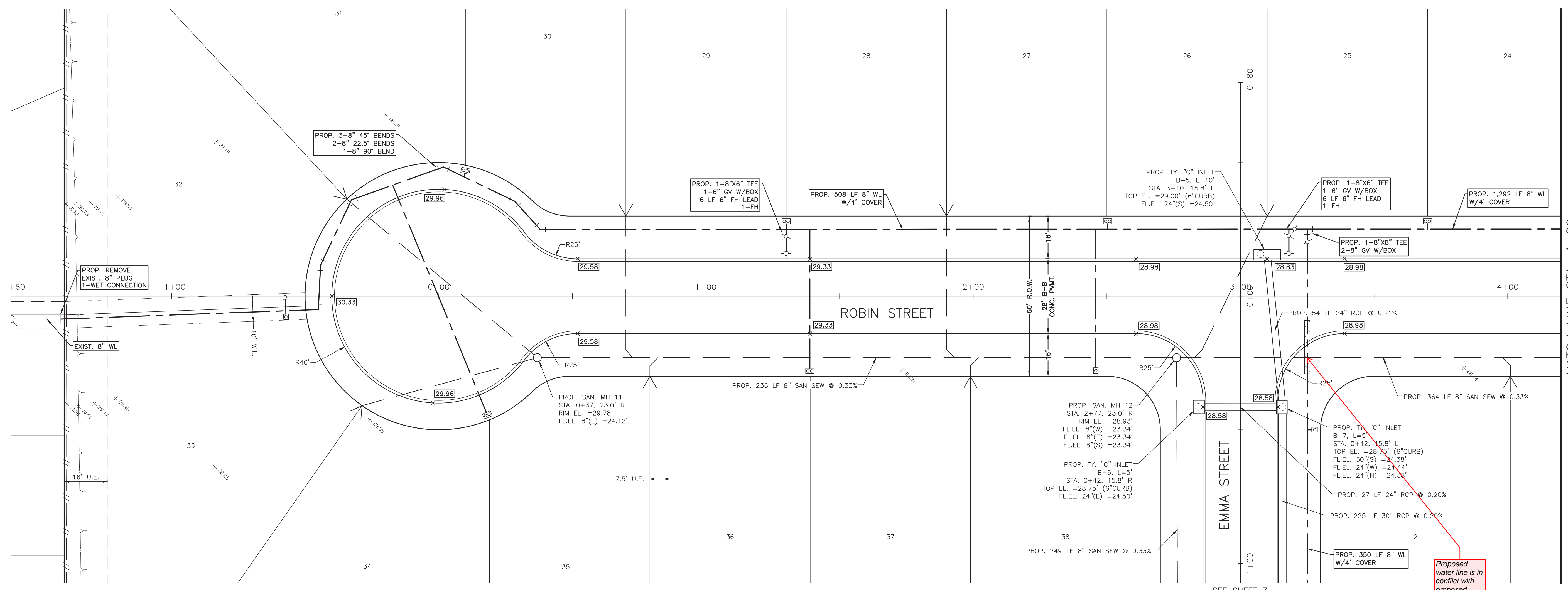
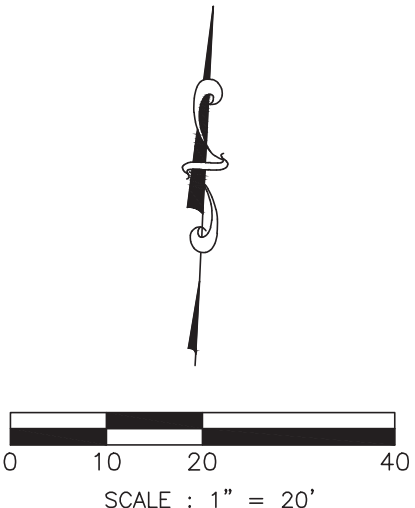
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20"
 PROFILE: 1" = 20"
 HORIZONTAL: 1" = 20"
 VERTICAL: 1" = 2"

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. 10+00 TO 15+60

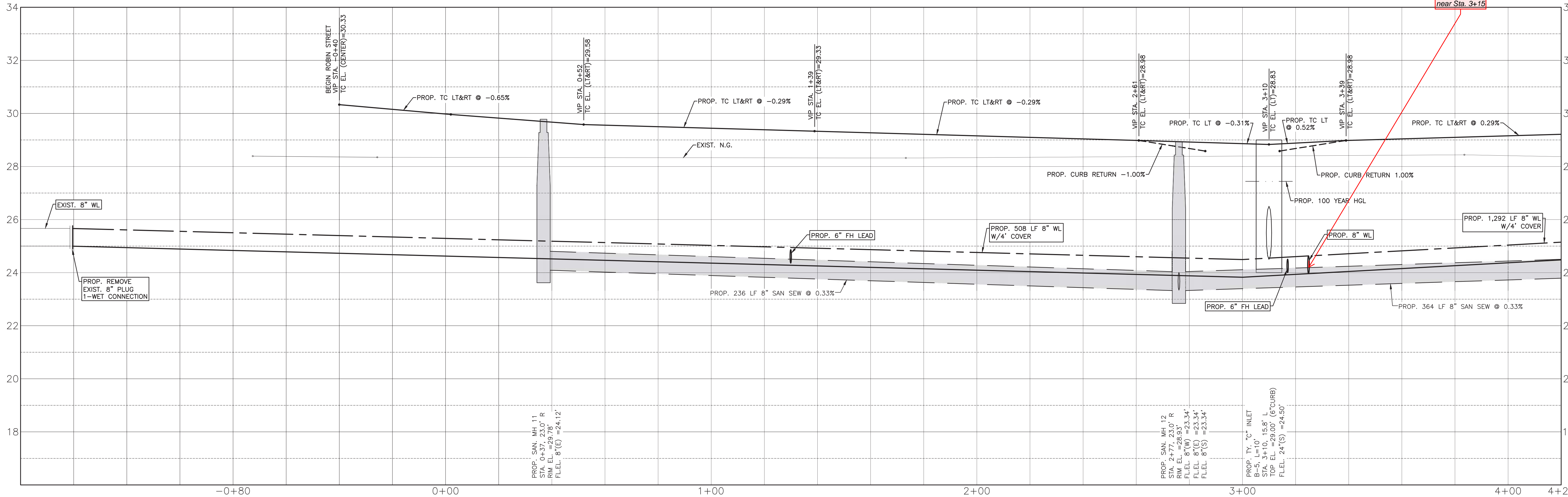
PROJECT NO. 14396



MATCH LINE STA. 4+20

SEE SHEET 7

Proposed water line is in conflict with proposed sanitary sewer near Sta. 3+15



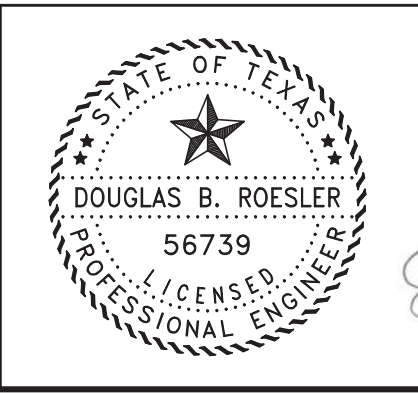
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
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NO.	DATE	DESCRIPTION	APPROVED
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B & L
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 4005 TECHNOLOGY DRIVE, SUITE 1530
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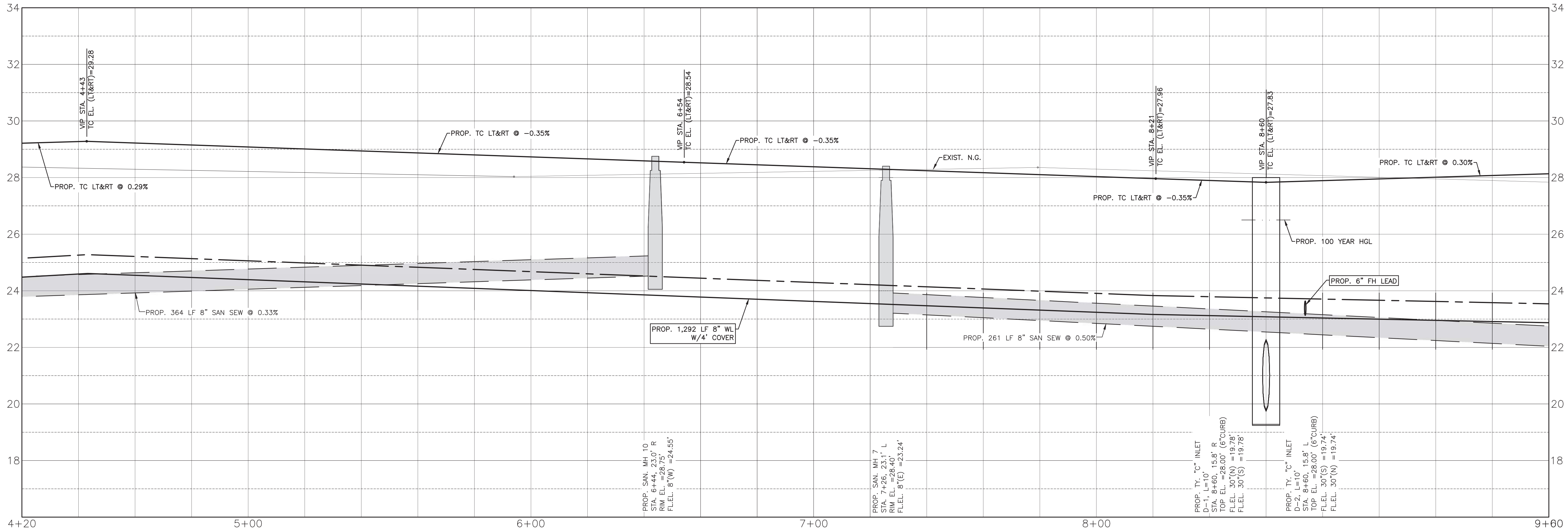
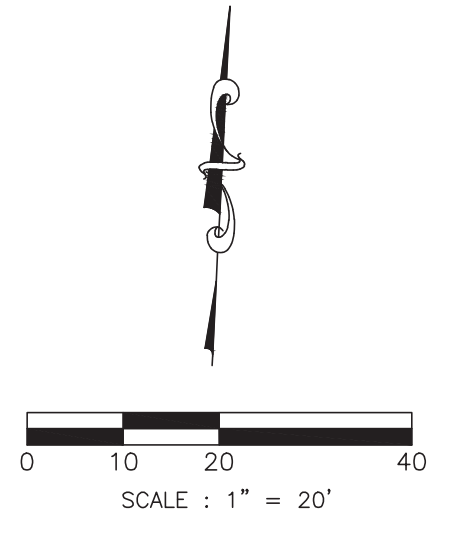
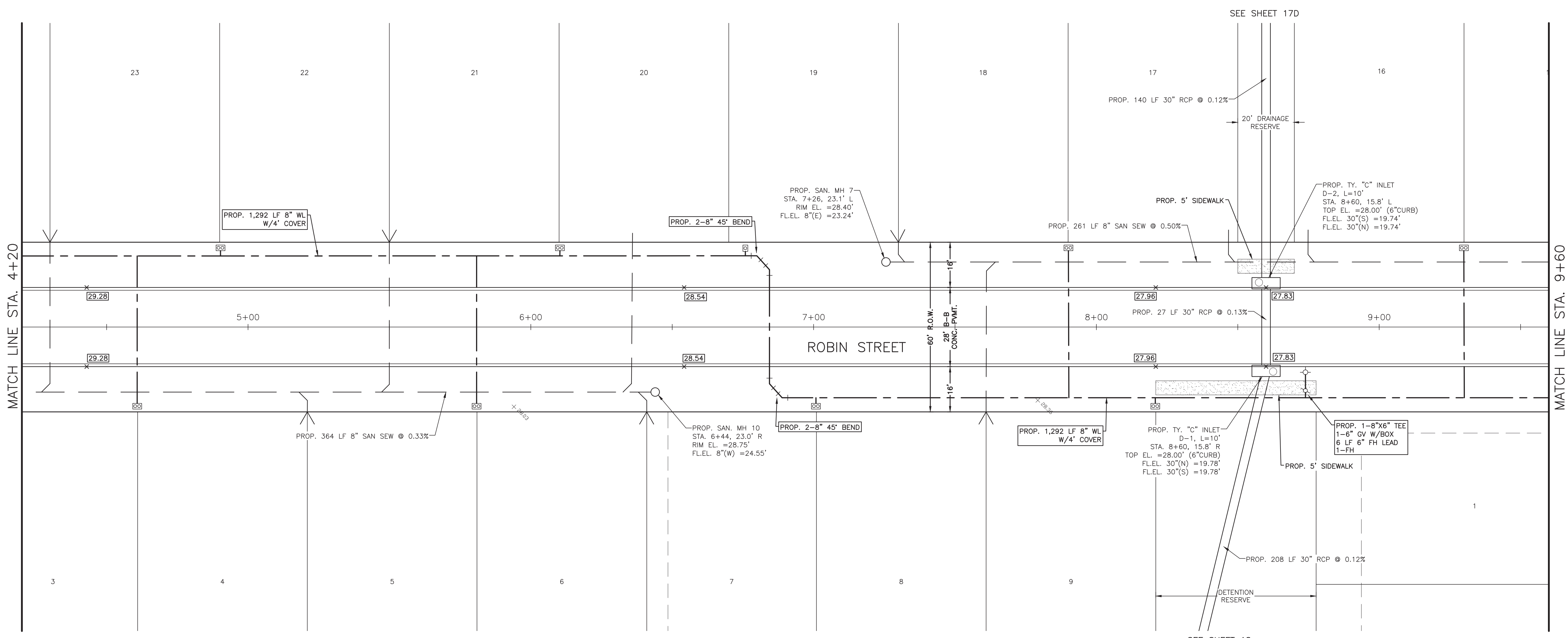
OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. -1+60 TO 4+20

PROJECT NO. 14396

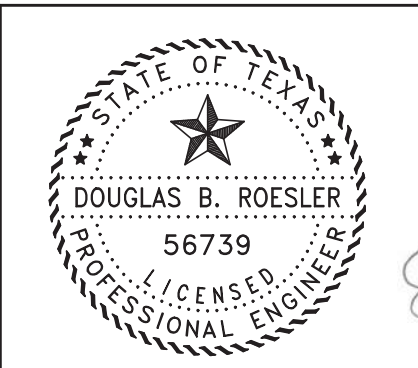


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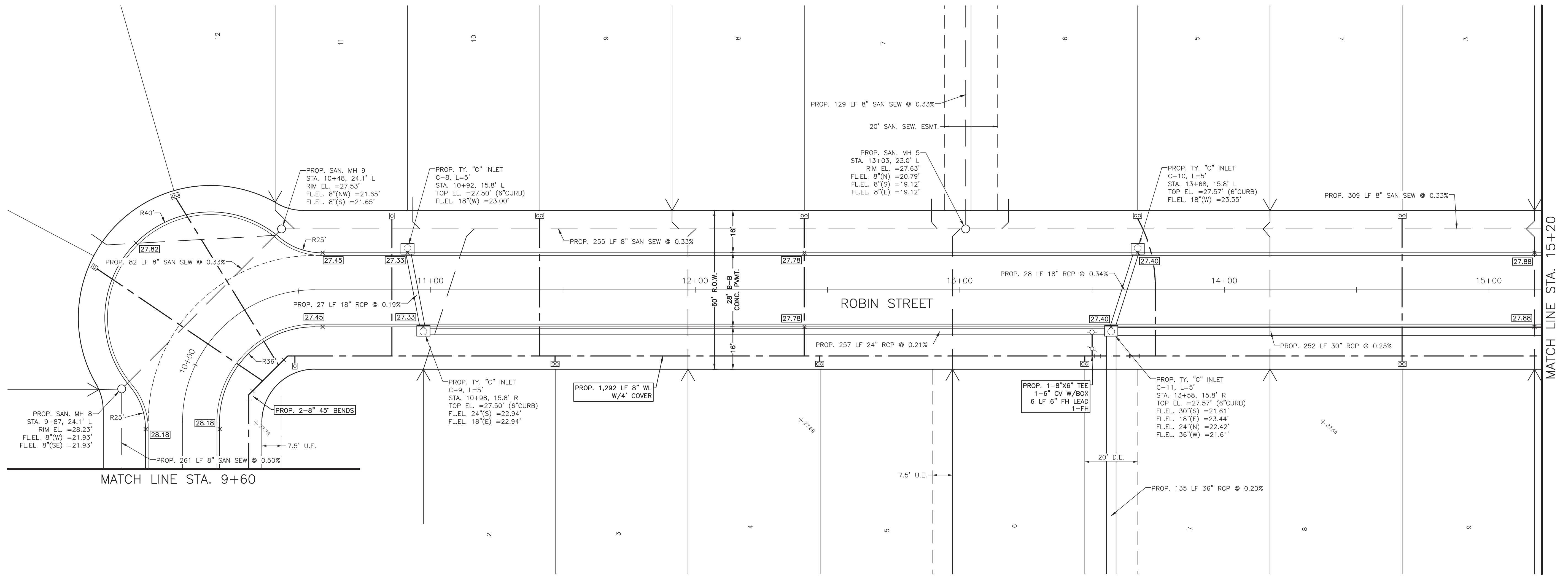
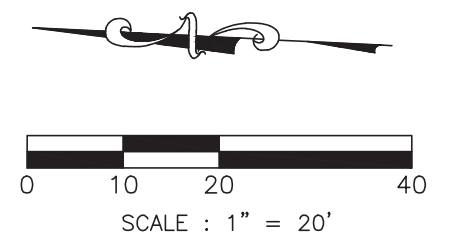
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 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

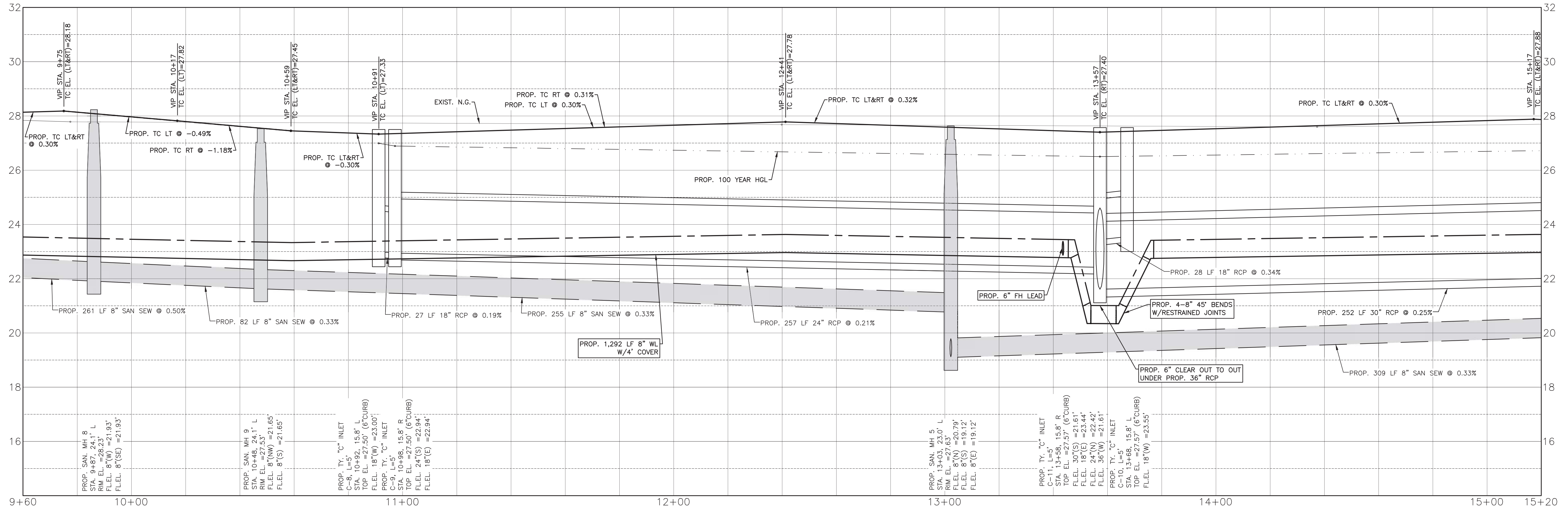
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 4+20 TO 9+60

PROJECT NO. 14396



SEE SHEET 17A



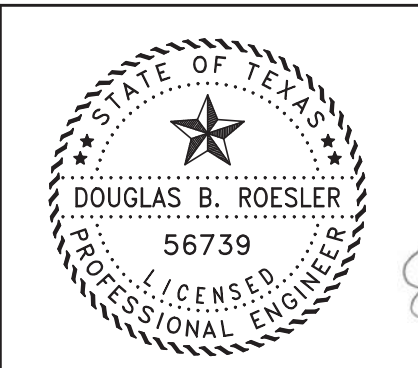
SYMBOLS LEGEND

- EXIST. GRADE ELEVATION
- PROP. GRADE ELEVATION
-
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
- STORM SEWER MANHOLE (STM. MH-1)
- SANITARY SEWER MANHOLE (SAN. MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWWA C900, CLASS 150, DR18)
- PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



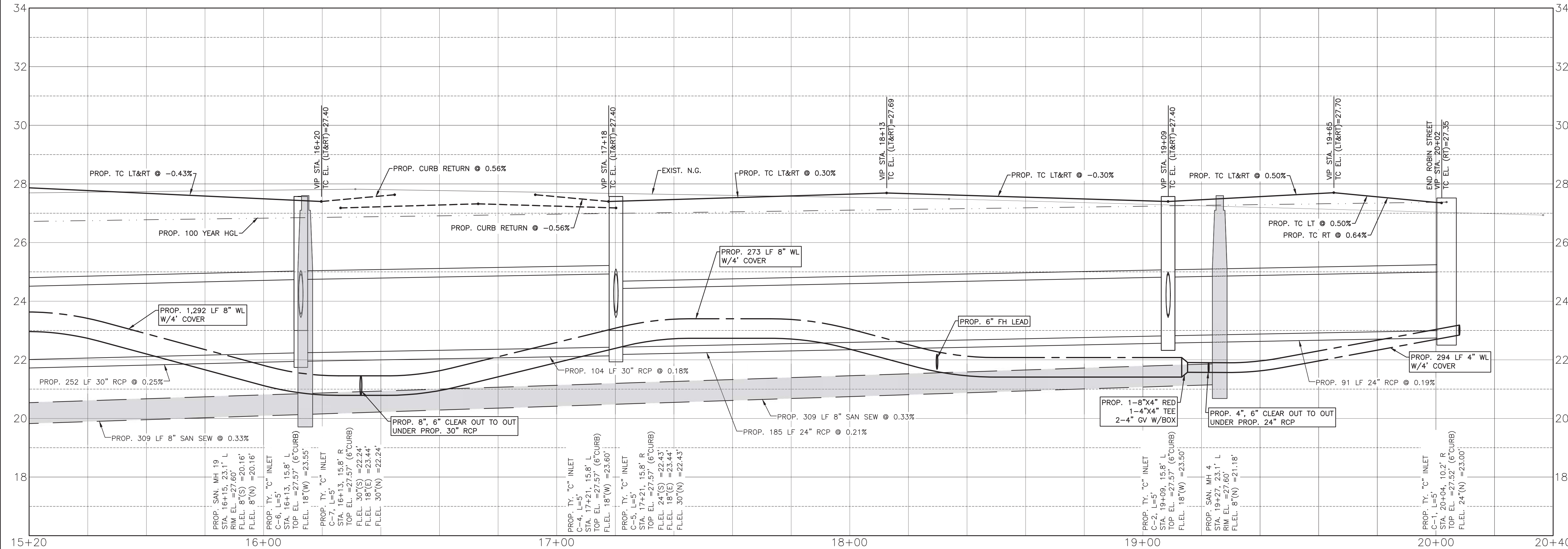
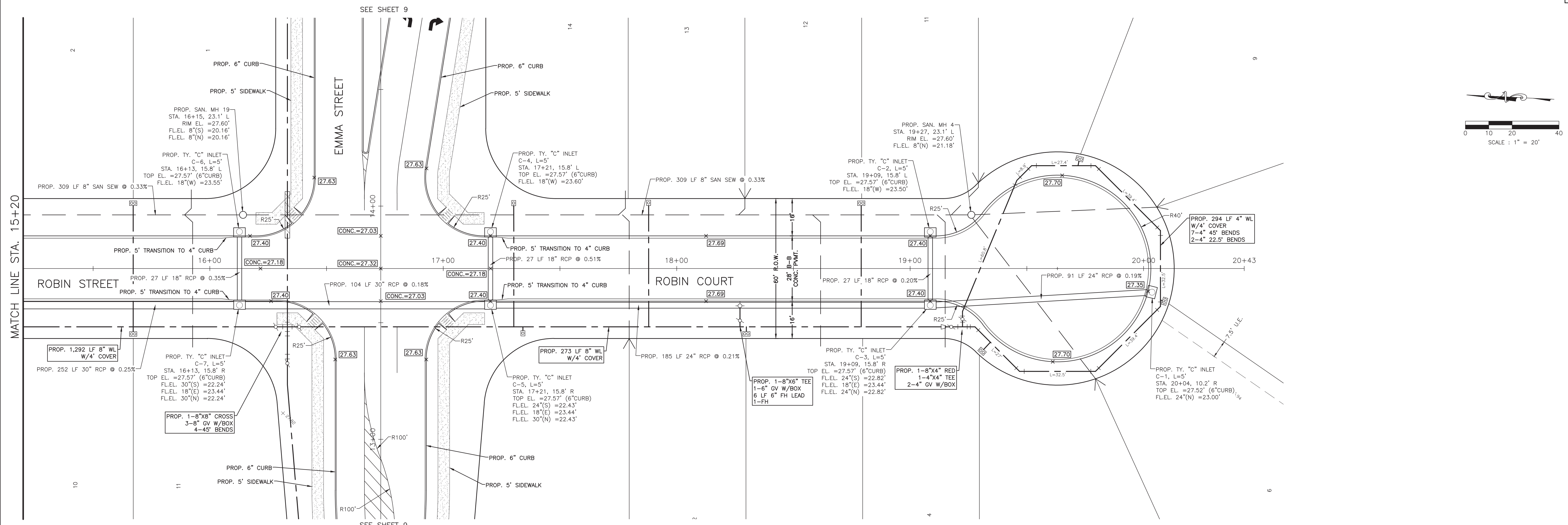
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 9+60 TO 15+20
 PROJECT NO. 14396



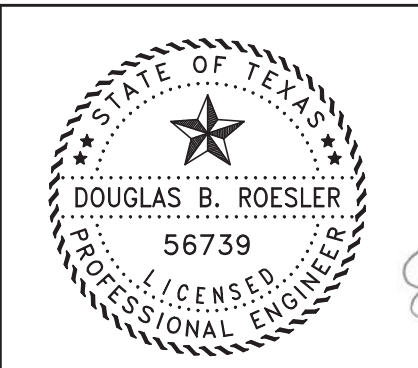
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- OUT=81.50 PROP. GUTTER ELEVATION
- CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
- TG=81.50 PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
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- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
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DATE	

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 ANGLETON, TEXAS 77515 (979) 849-6681
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 03-03-2023

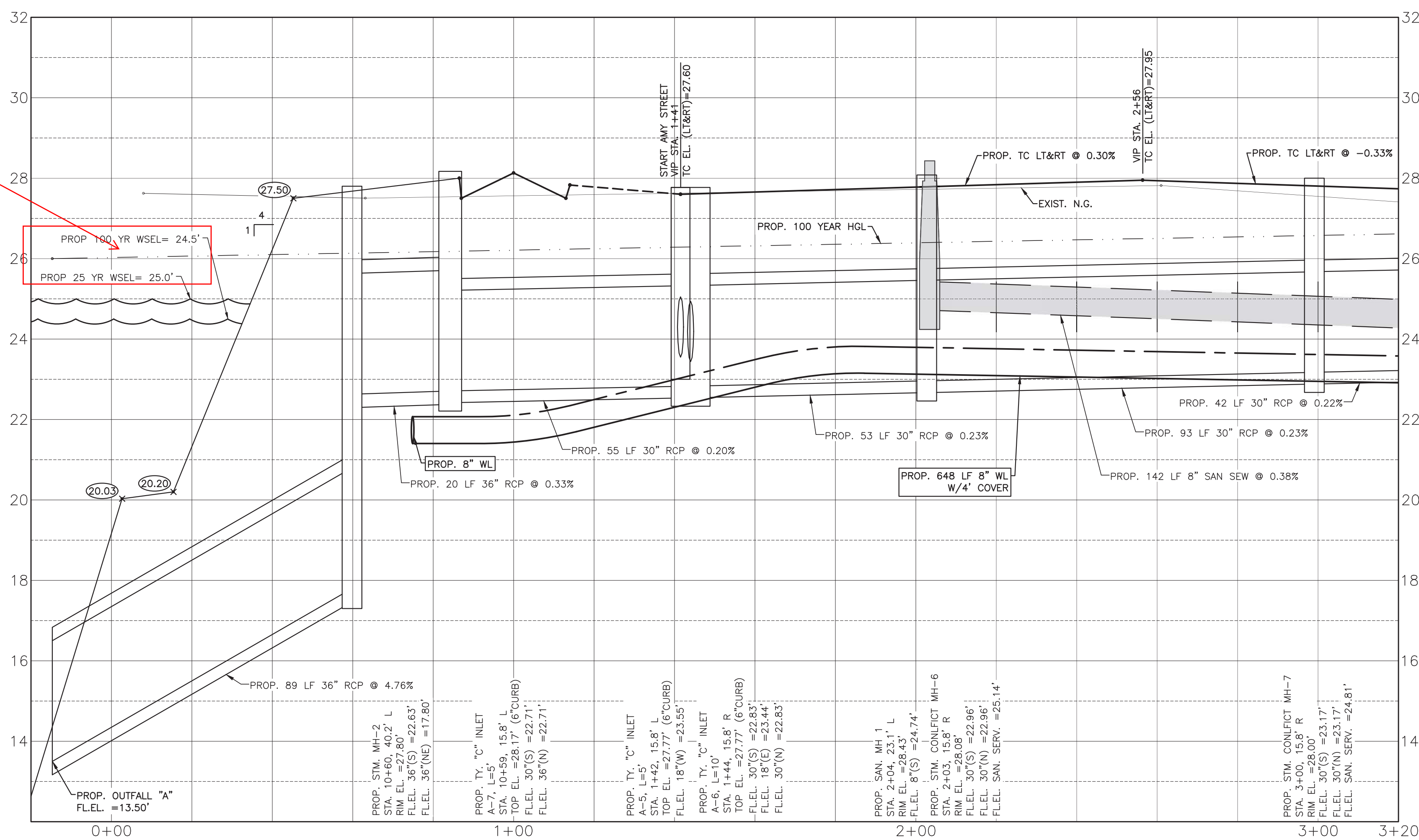
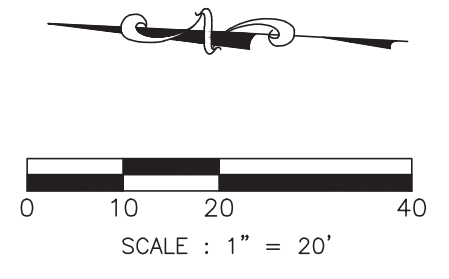
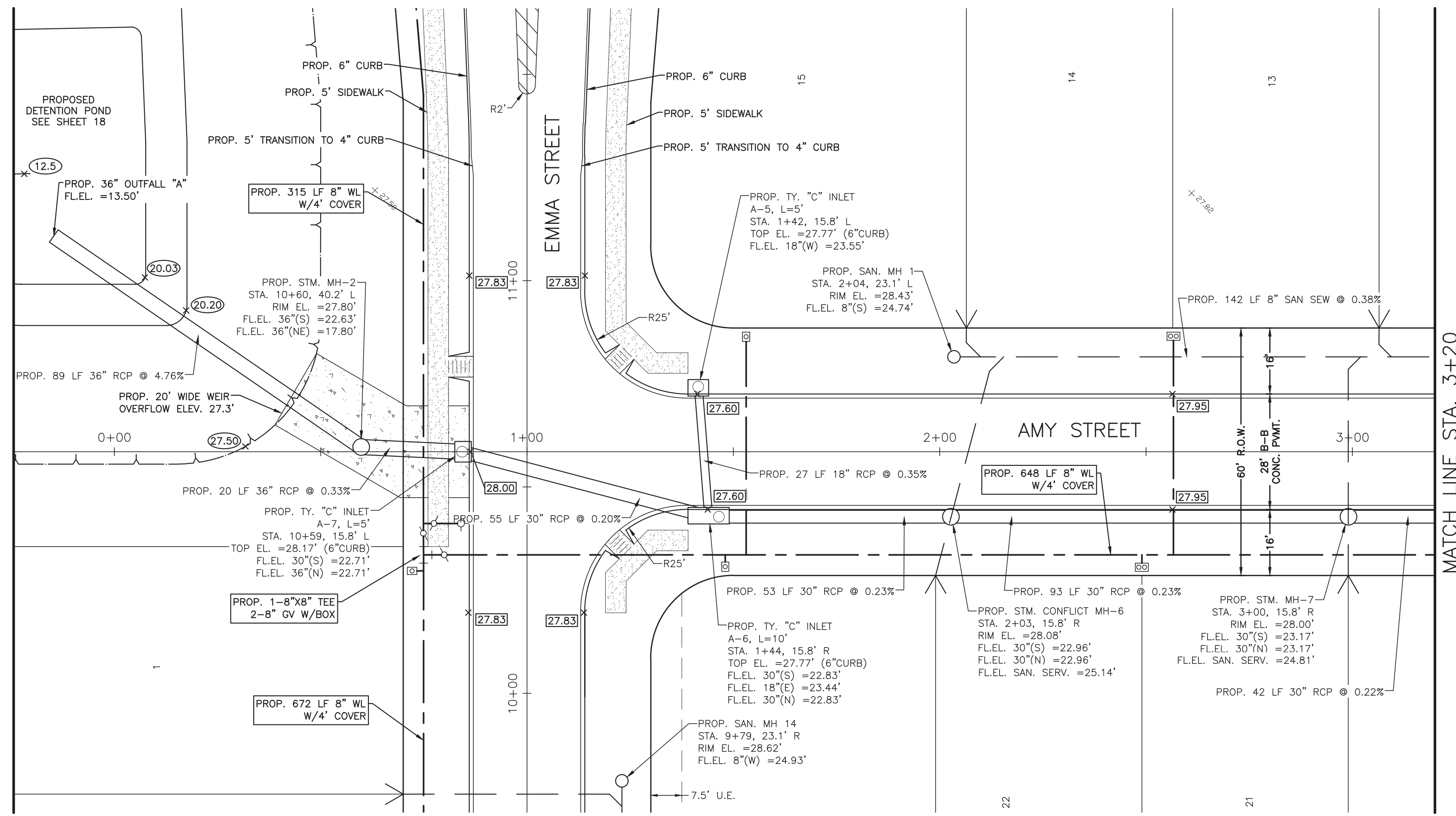
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 15+20 TO 20+40

PROJECT NO. 14396



Verify and update water surface elevations shown for 25yr and 100yr

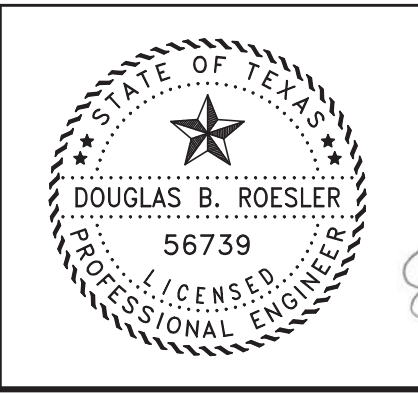
SYMBOLS LEGEND

- EXIST. GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
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- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

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 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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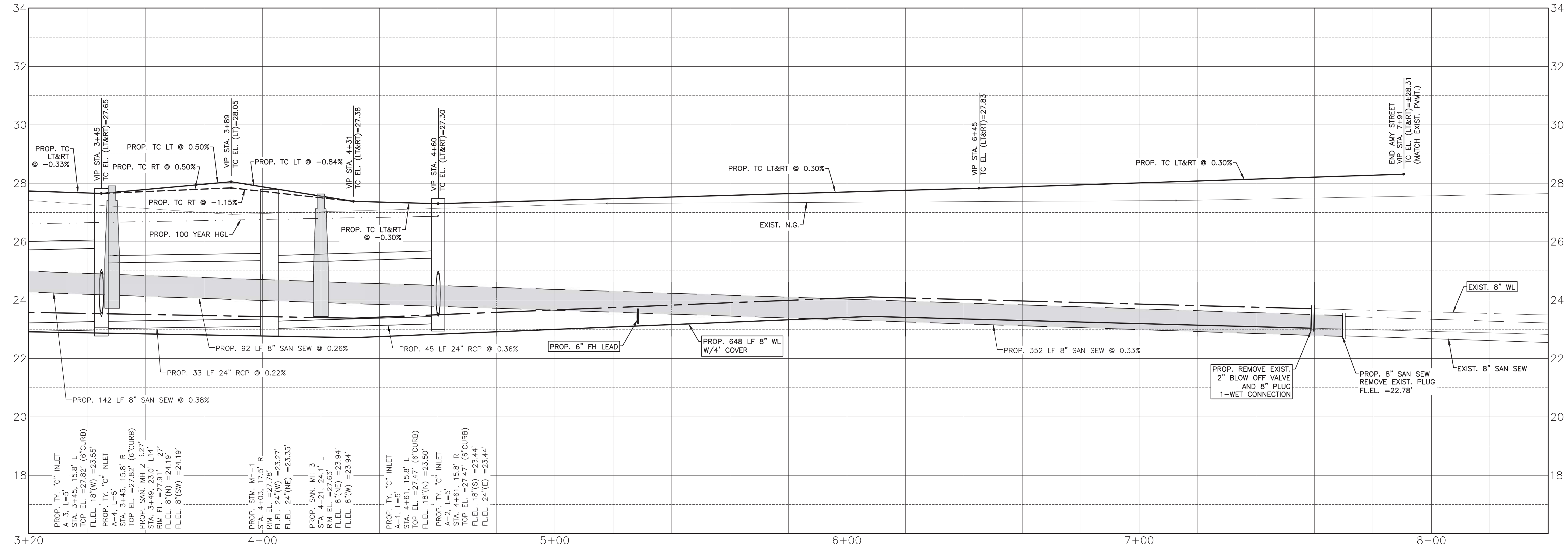
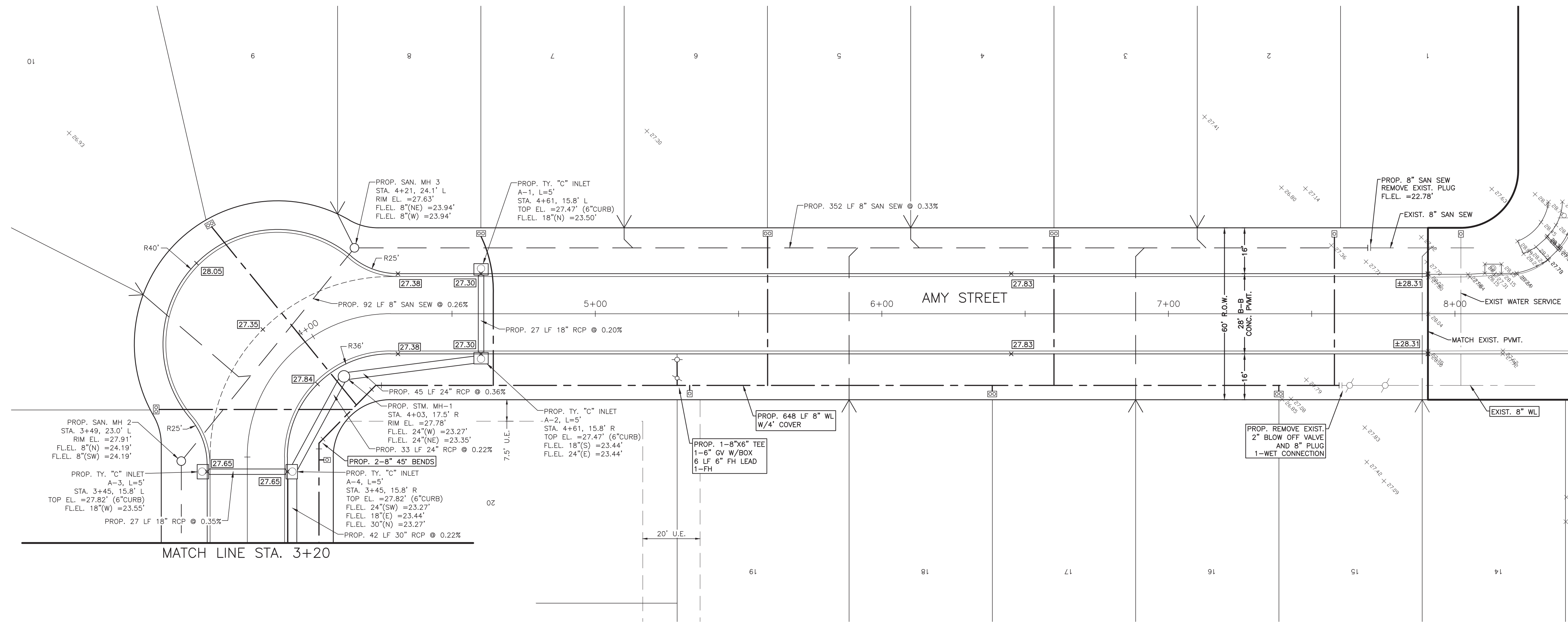
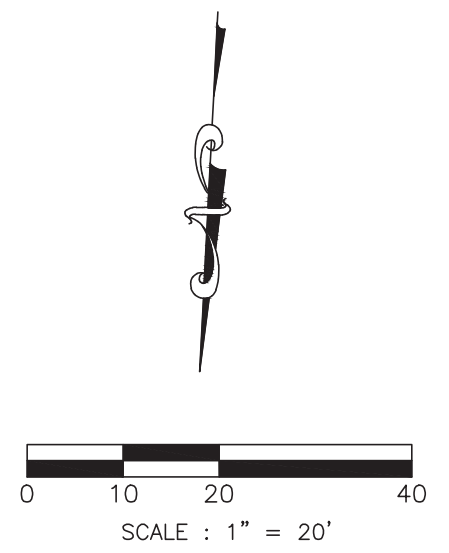
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 0+00 TO 3+20

PROJECT NO. 14396

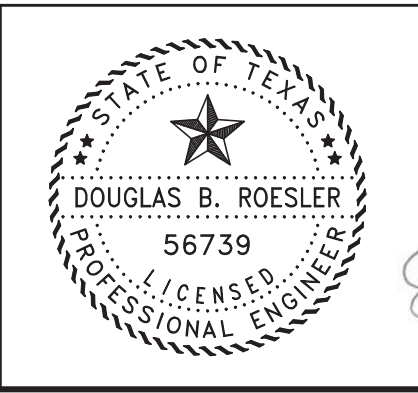


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 -
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
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 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
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 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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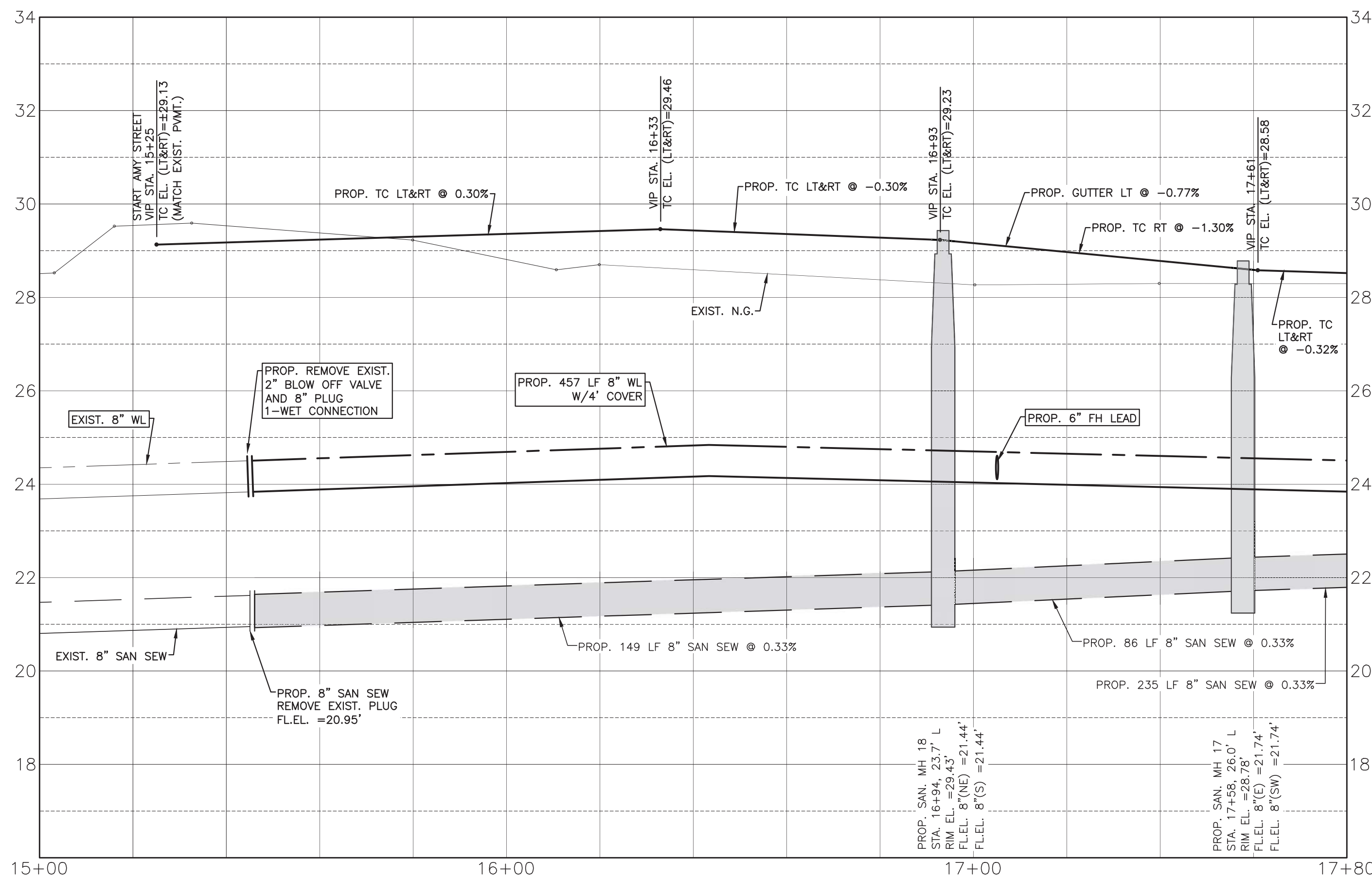
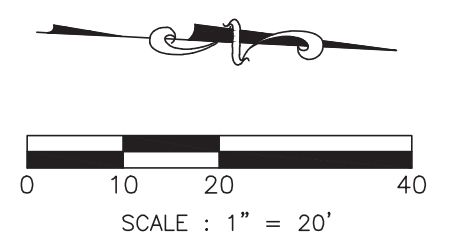
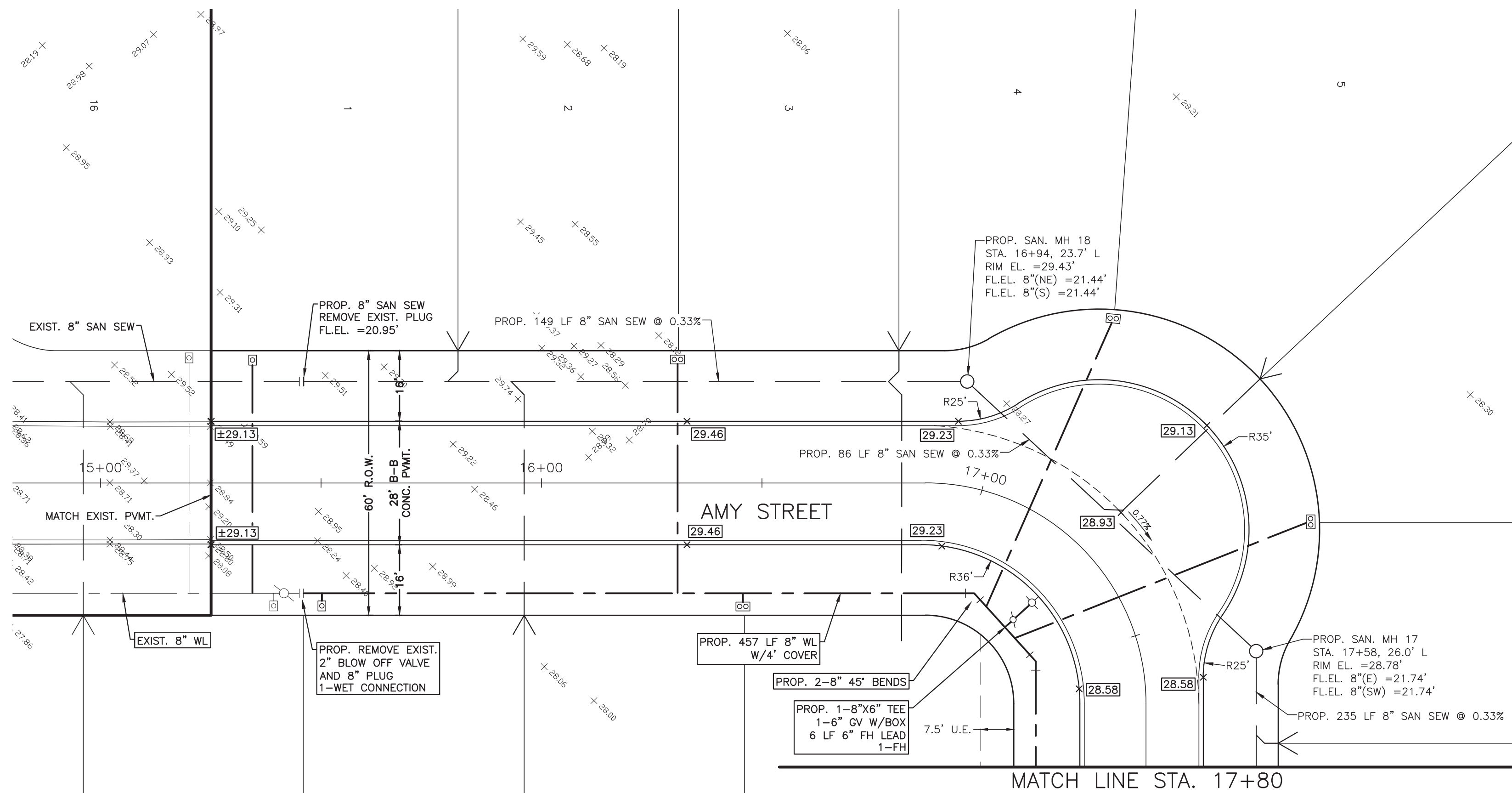
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 3+20 TO 8+00

PROJECT NO. 14396



SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
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 DATE _____

B & L
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 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

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DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER
 03-03-2023

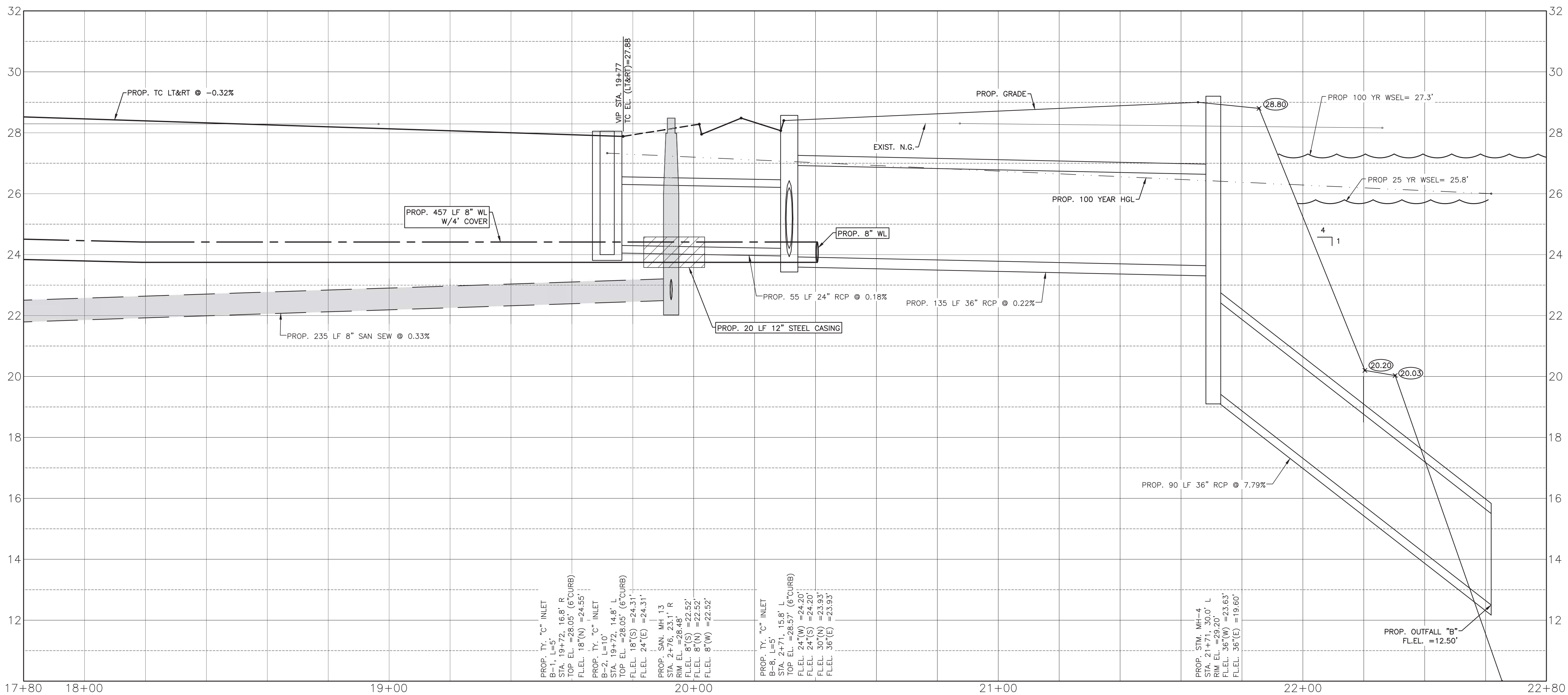
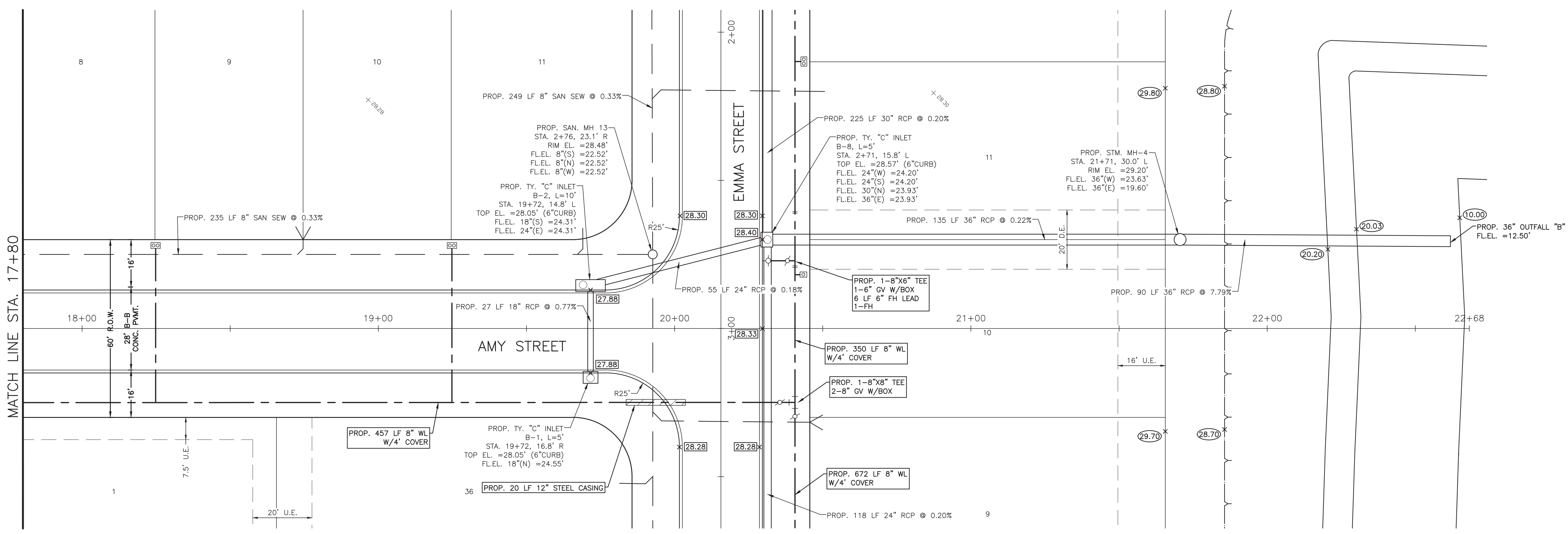
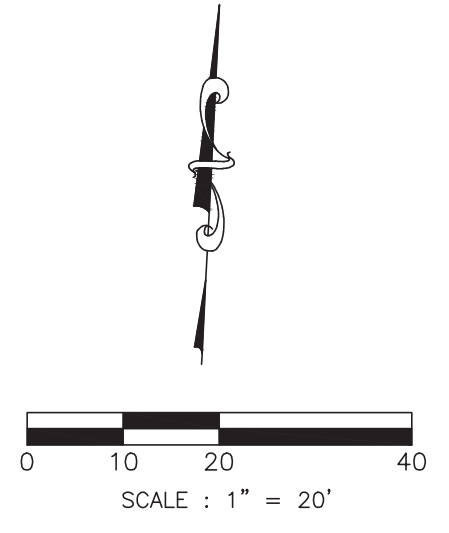
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 15+00 TO 17+80

PROJECT NO. 14396

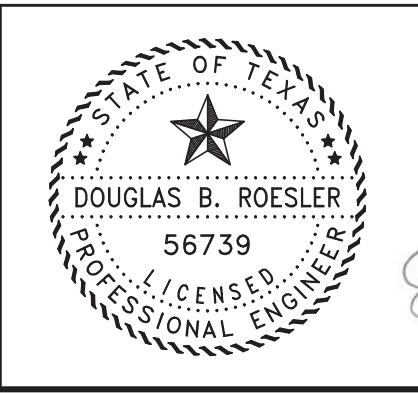


- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 -
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM. MH-1)
 - SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
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 CHECKED
 DATE

B & L
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 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



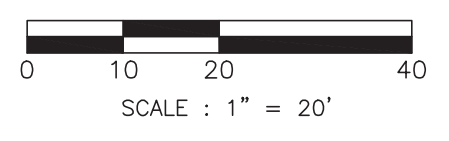
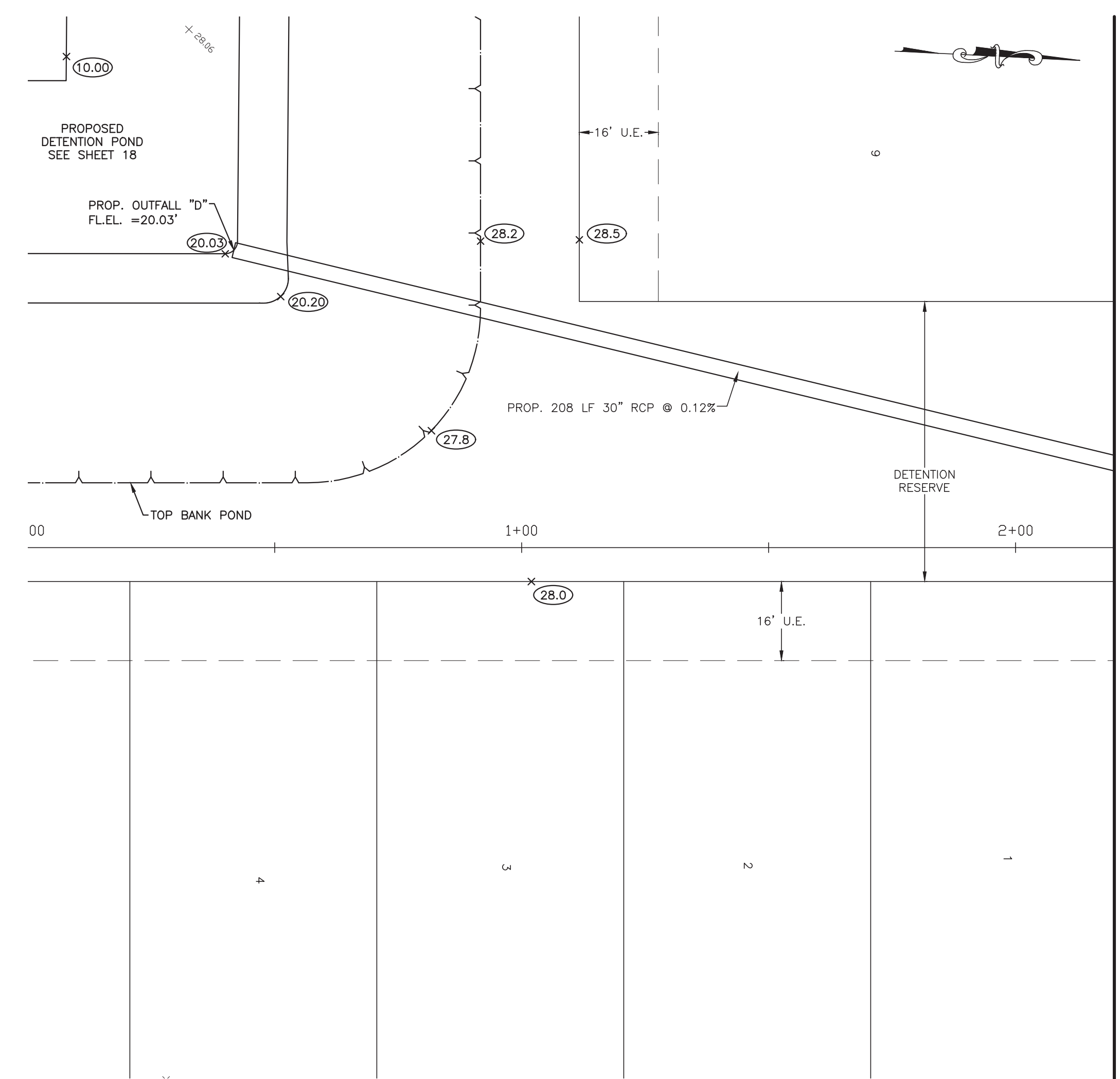
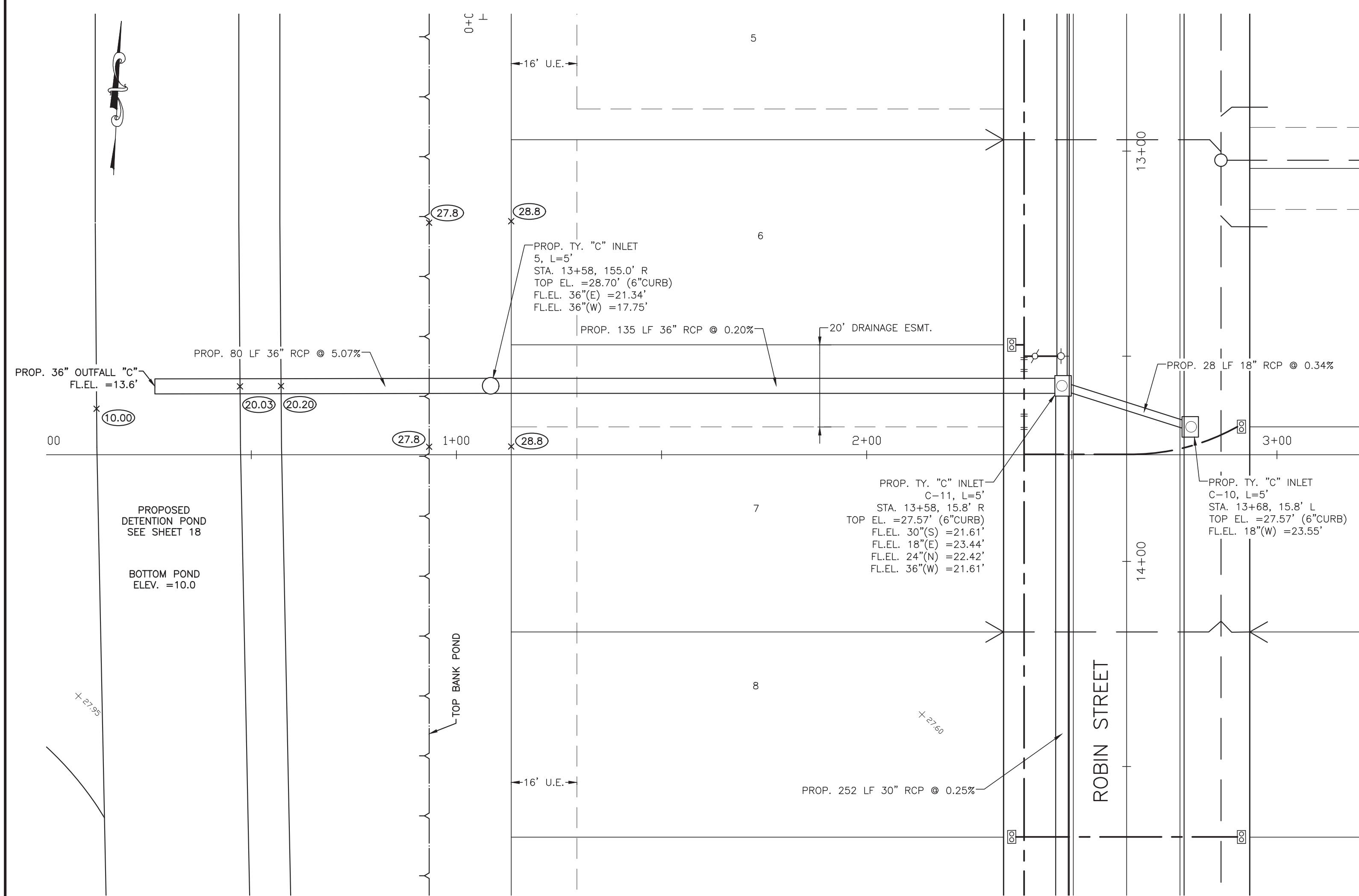
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

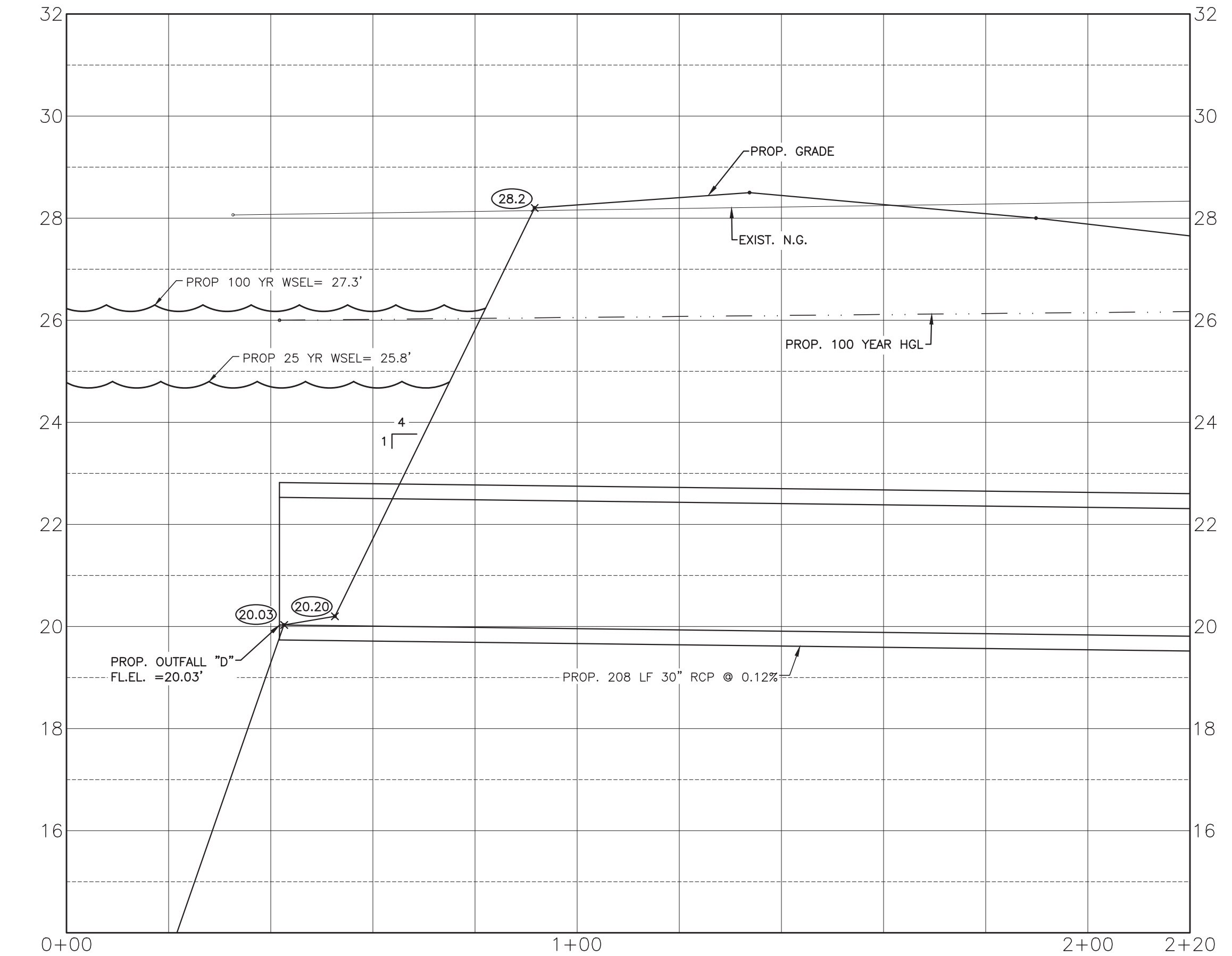
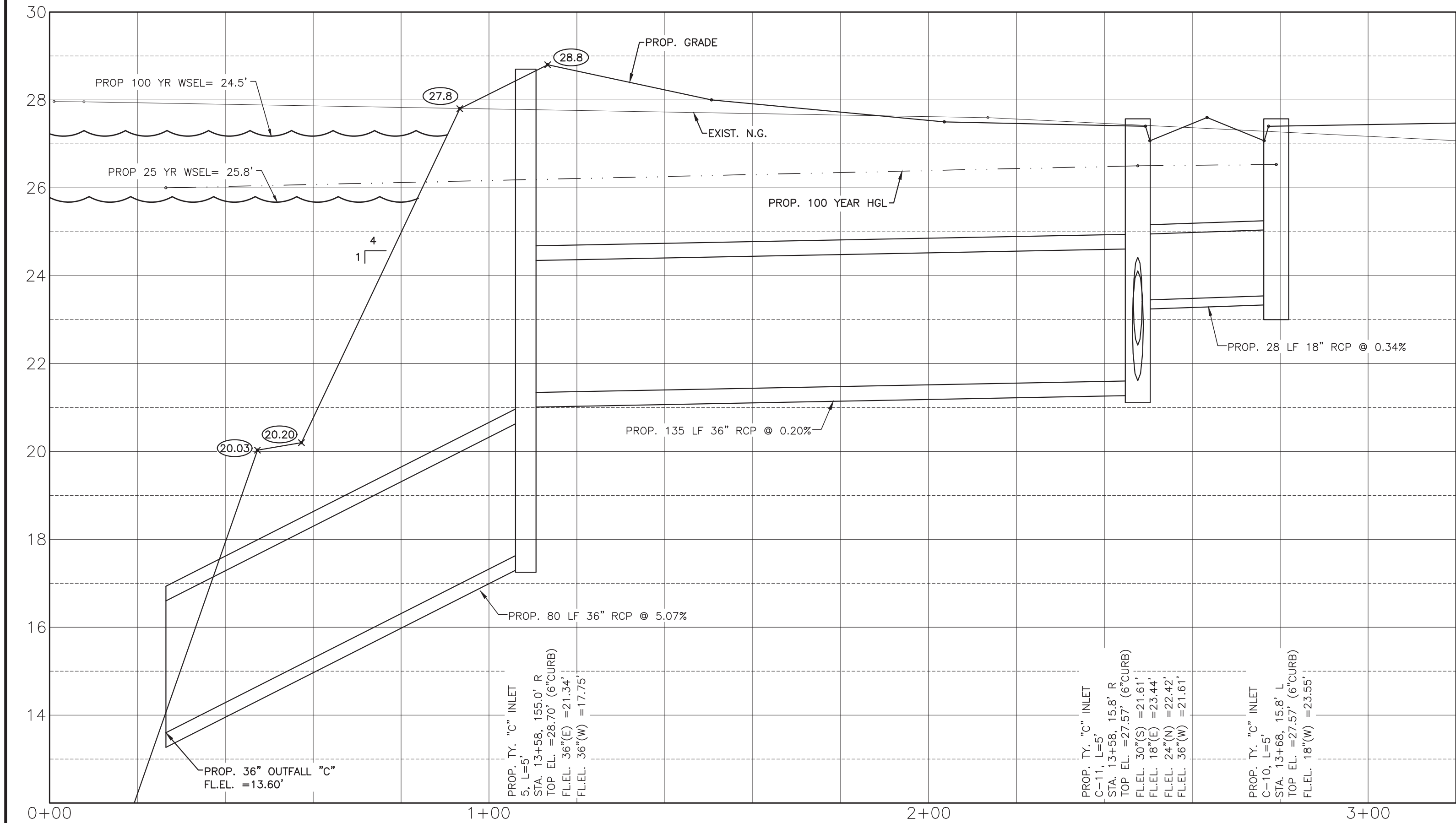
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 17+80 TO 22+68
 PROJECT NO. 14396



OUTFALL C

OUTFALL D



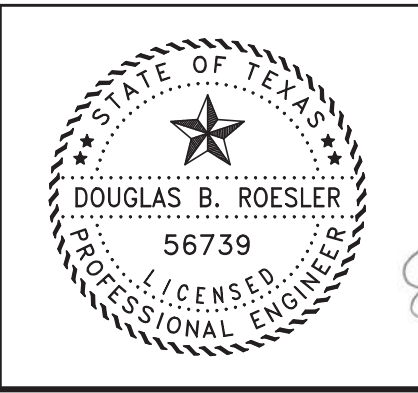
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50 PROP. GUTTER ELEVATION
- CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
- TG=81.50 PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
- STORM SEWER MANHOLE (STM. MH-1)
- SANITARY SEWER MANHOLE (SAN. MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWWA C900, CLASS 150, DR18)

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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 03-03-2023

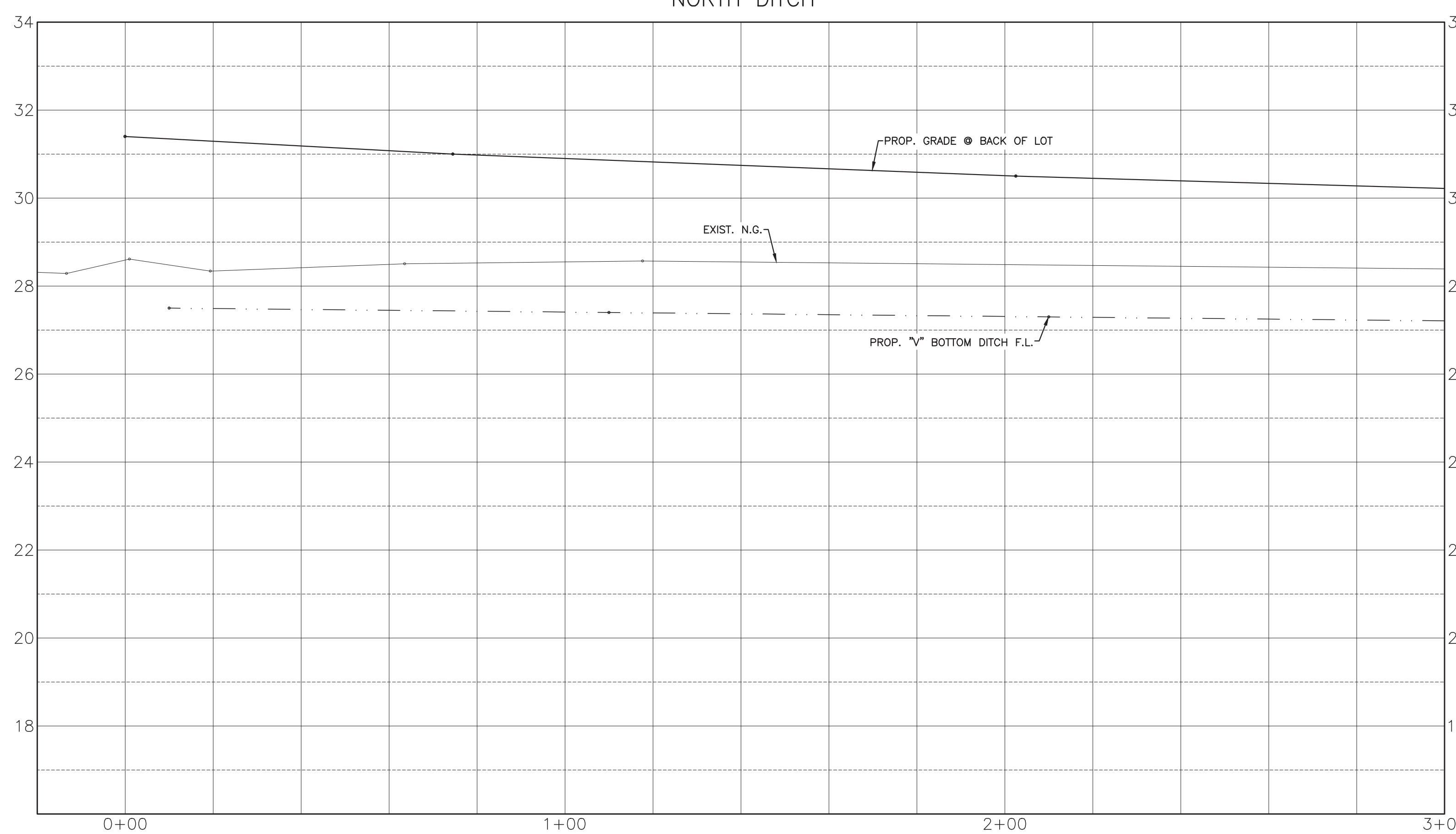
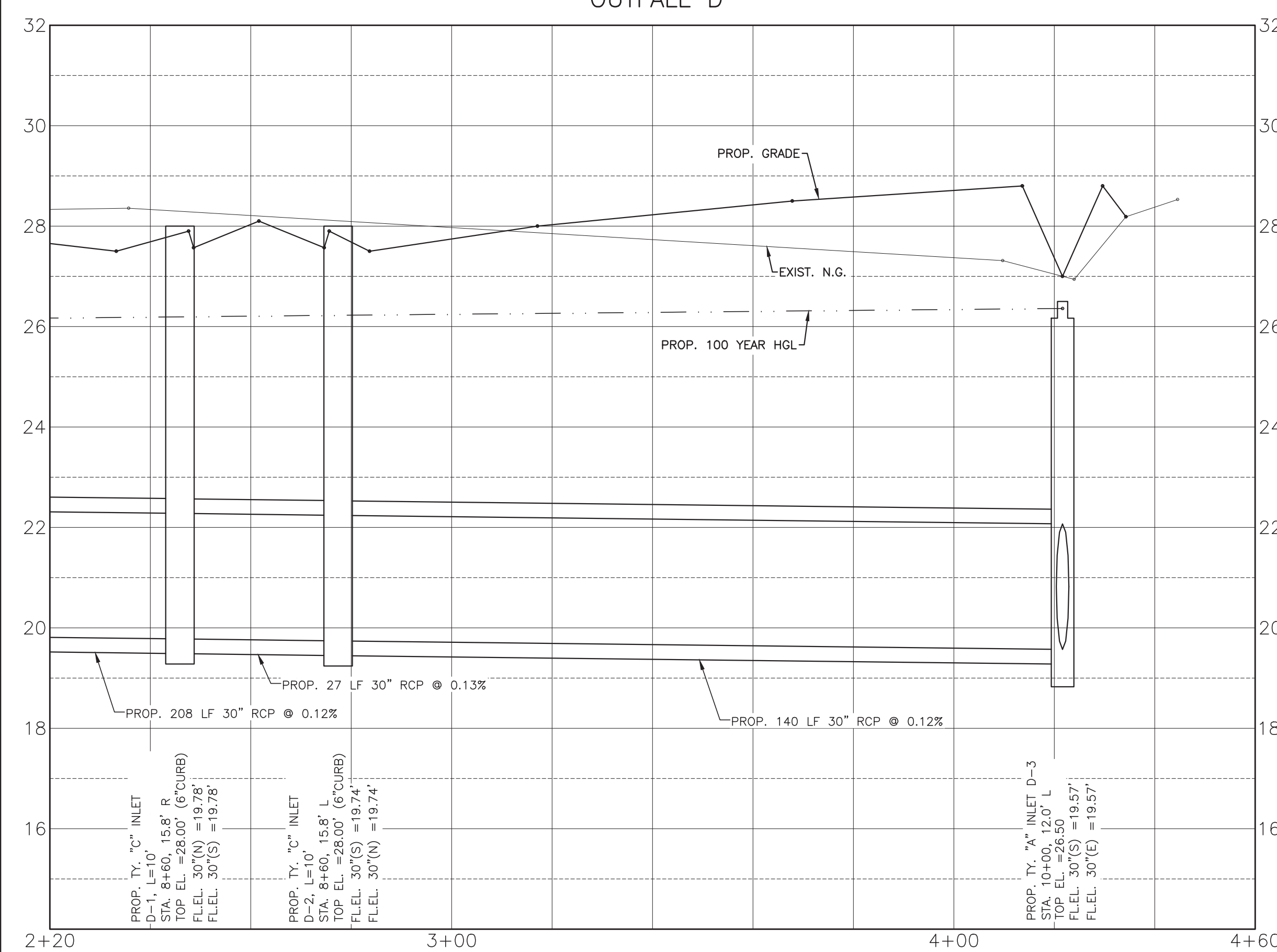
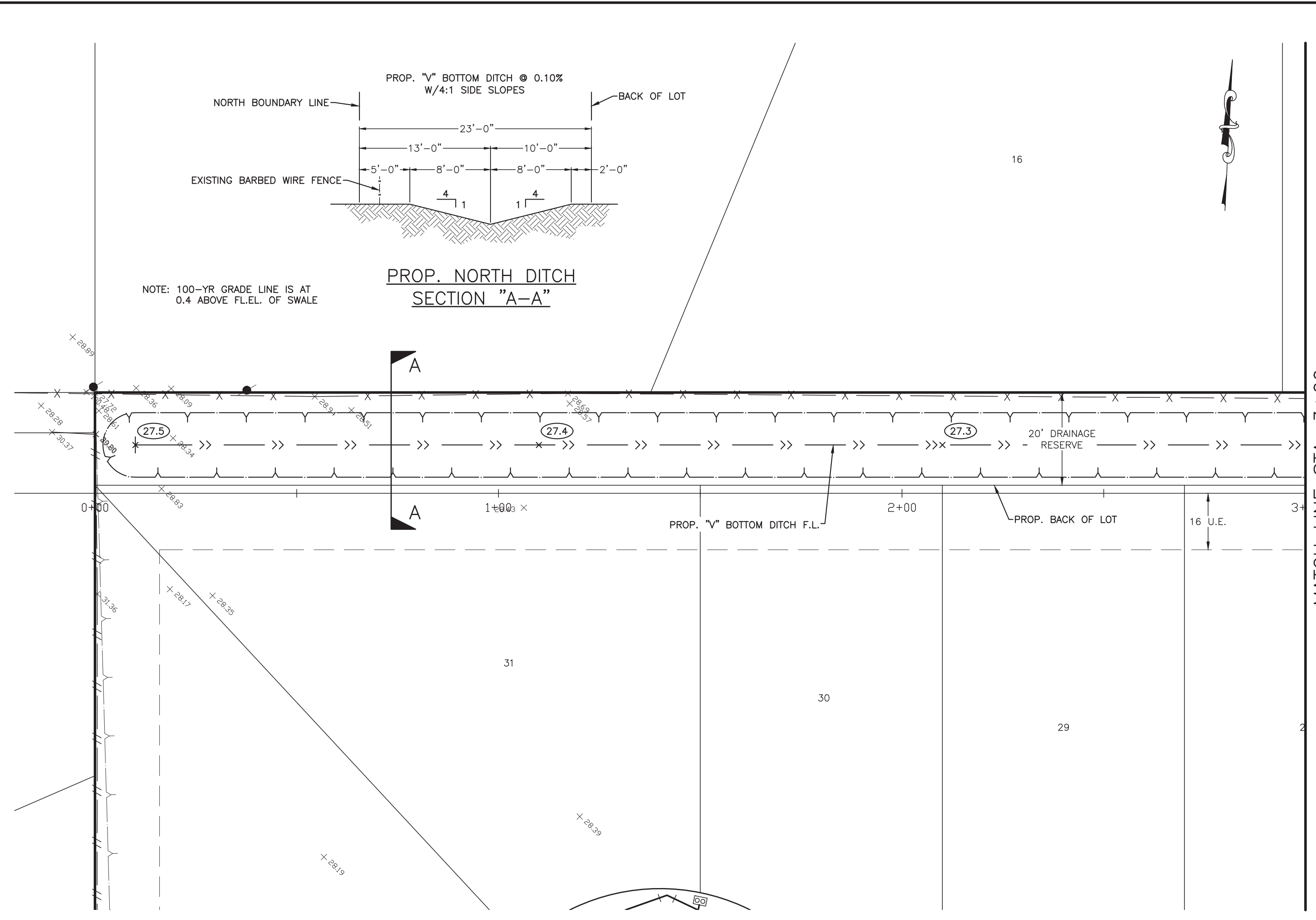
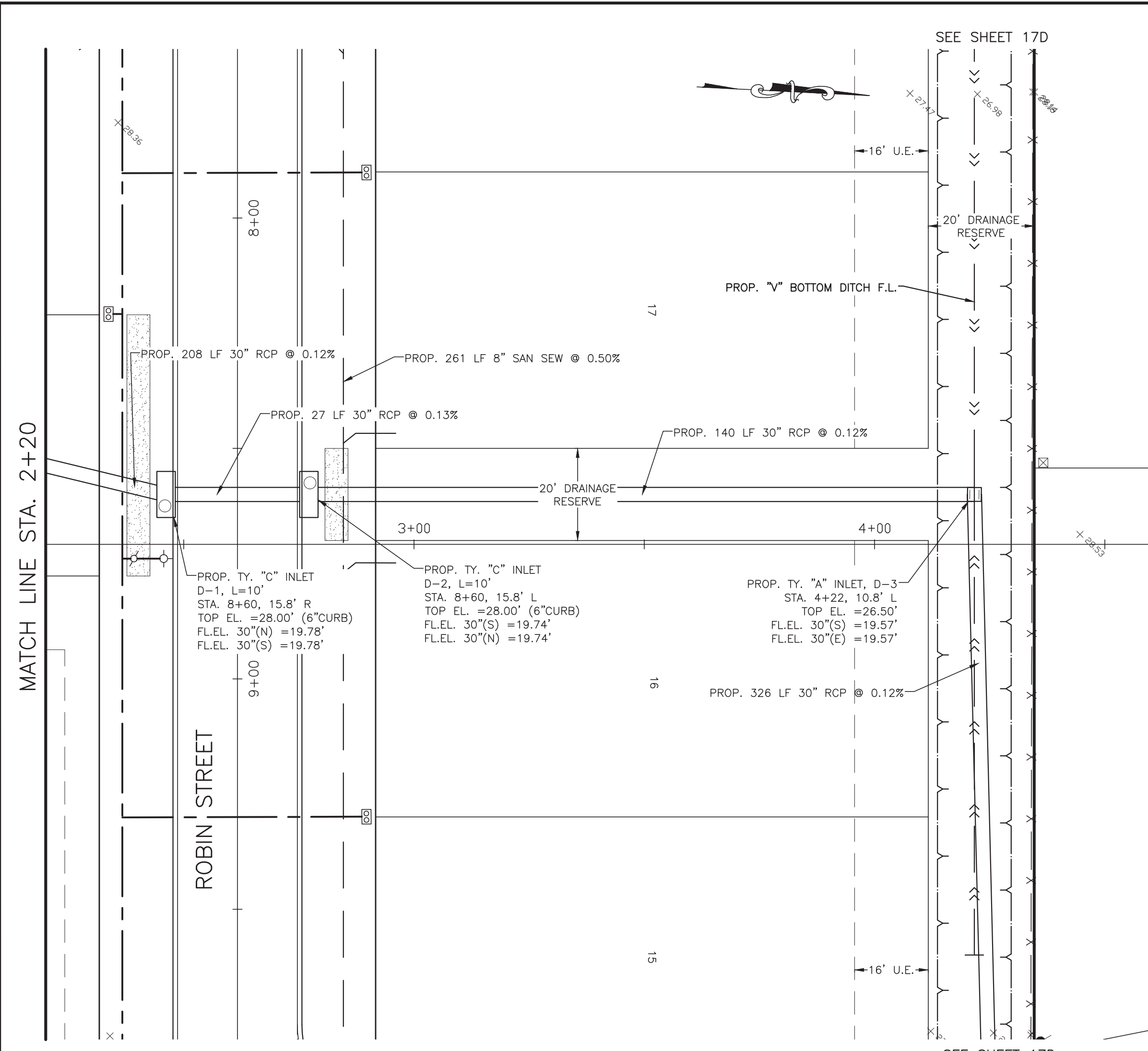
OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
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 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL C & D

PROJECT NO. 14396



SYMBOLS LEGEND

- EXIST. GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
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- FIRE HYDRANT
- WATER VALVE
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- STORM SEWER MANHOLE (STM, MH-1)
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- WATERLINE (AWMA C900, CLASS 150, DR18)

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
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 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

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 03-03-2023

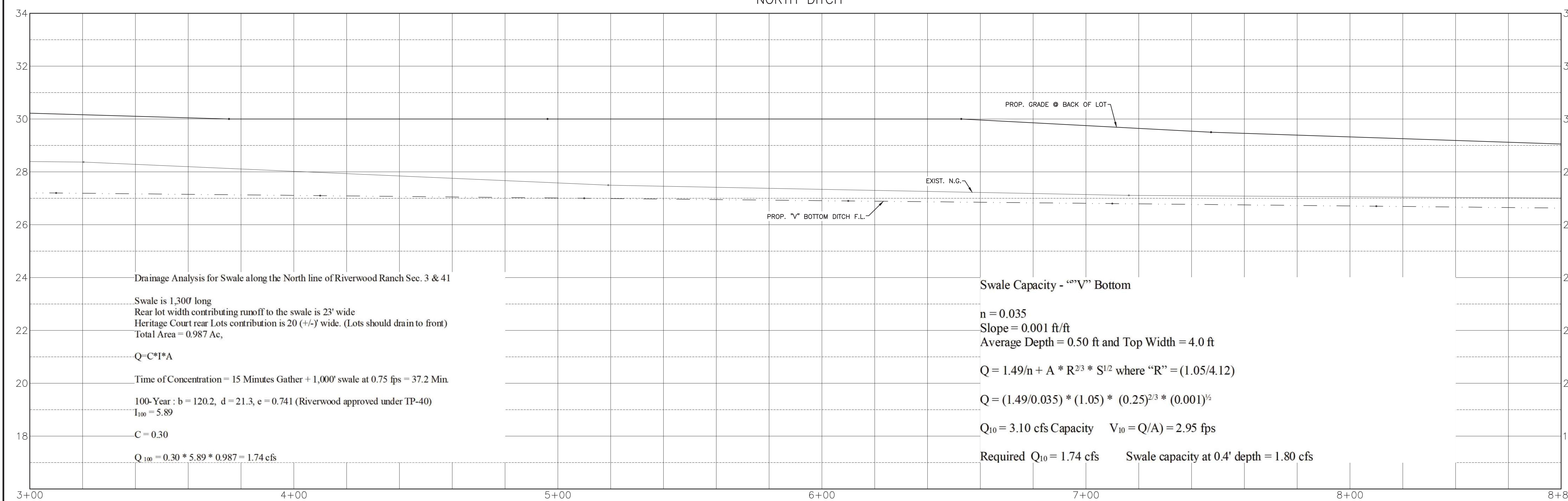
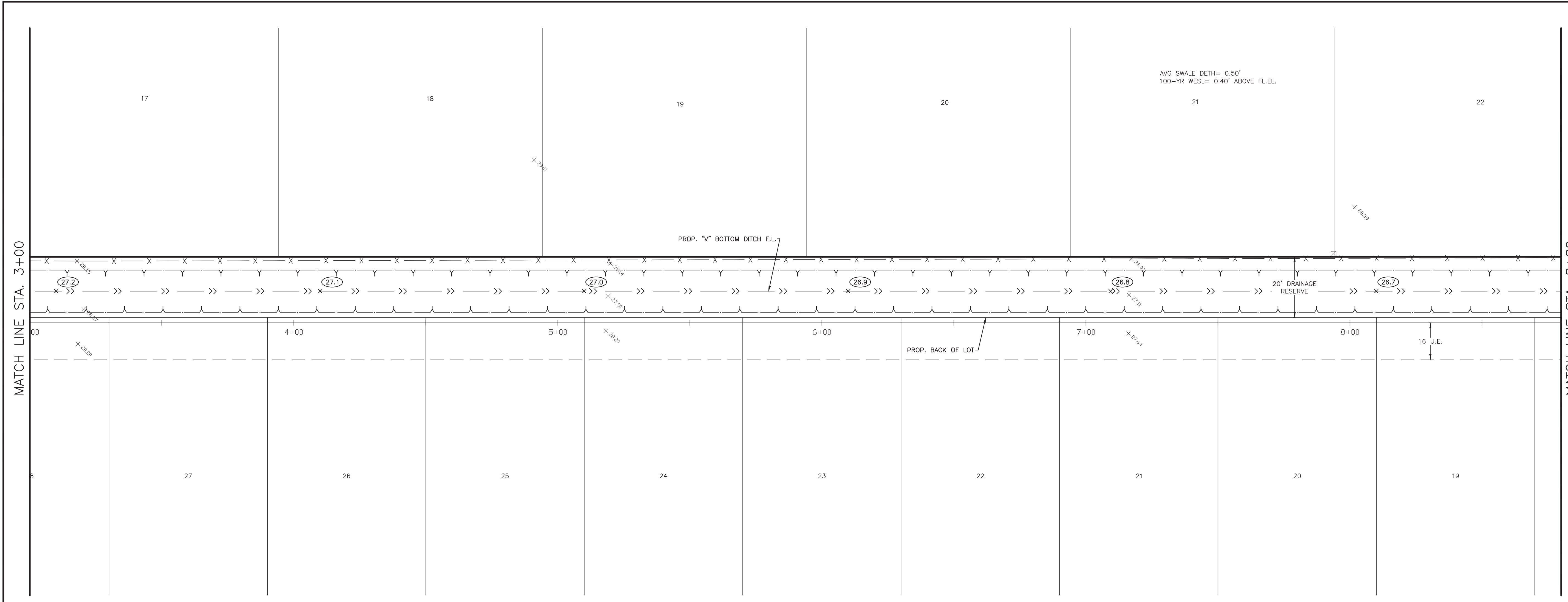
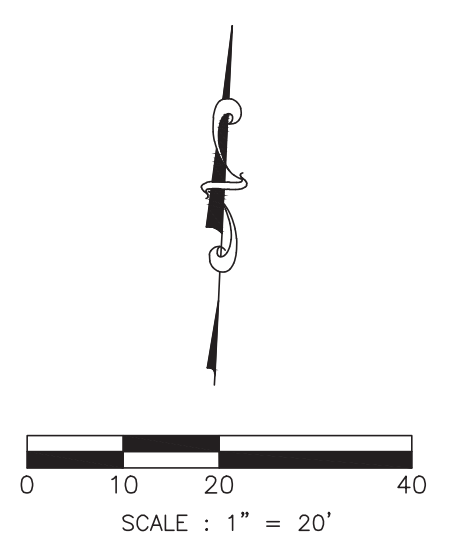
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL D
 & NORTH DITCH

PROJECT NO. 14396



- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
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NO.	DATE	DESCRIPTION	APPROVED
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BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 LICENSED PROFESSIONAL ENGINEER
 56739

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[Signature] 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

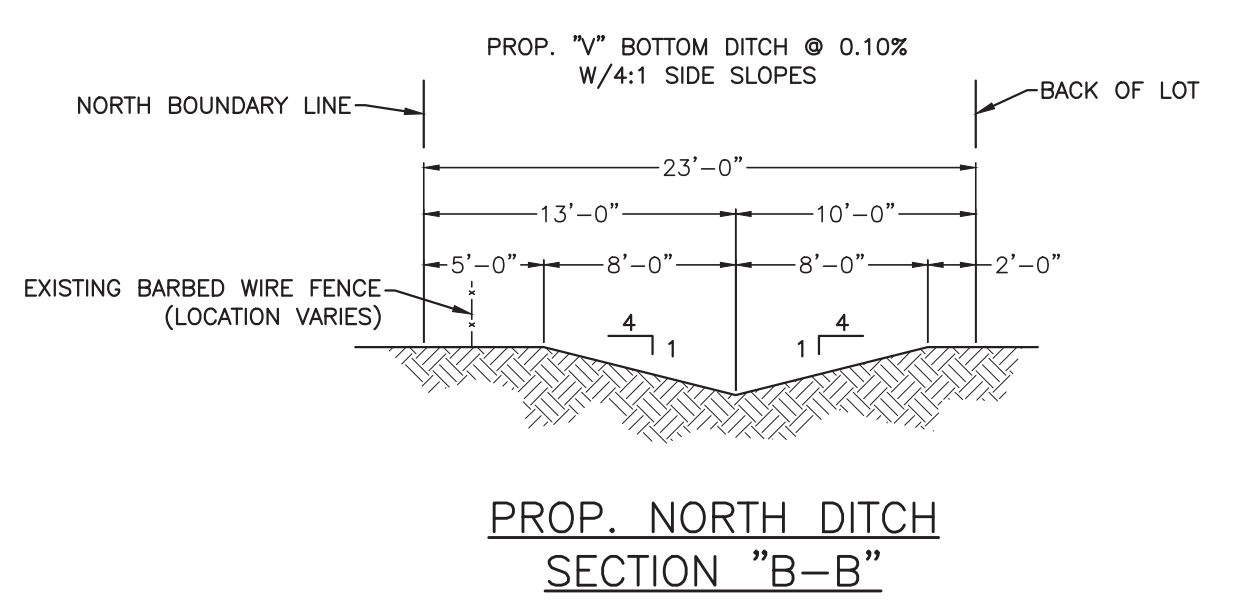
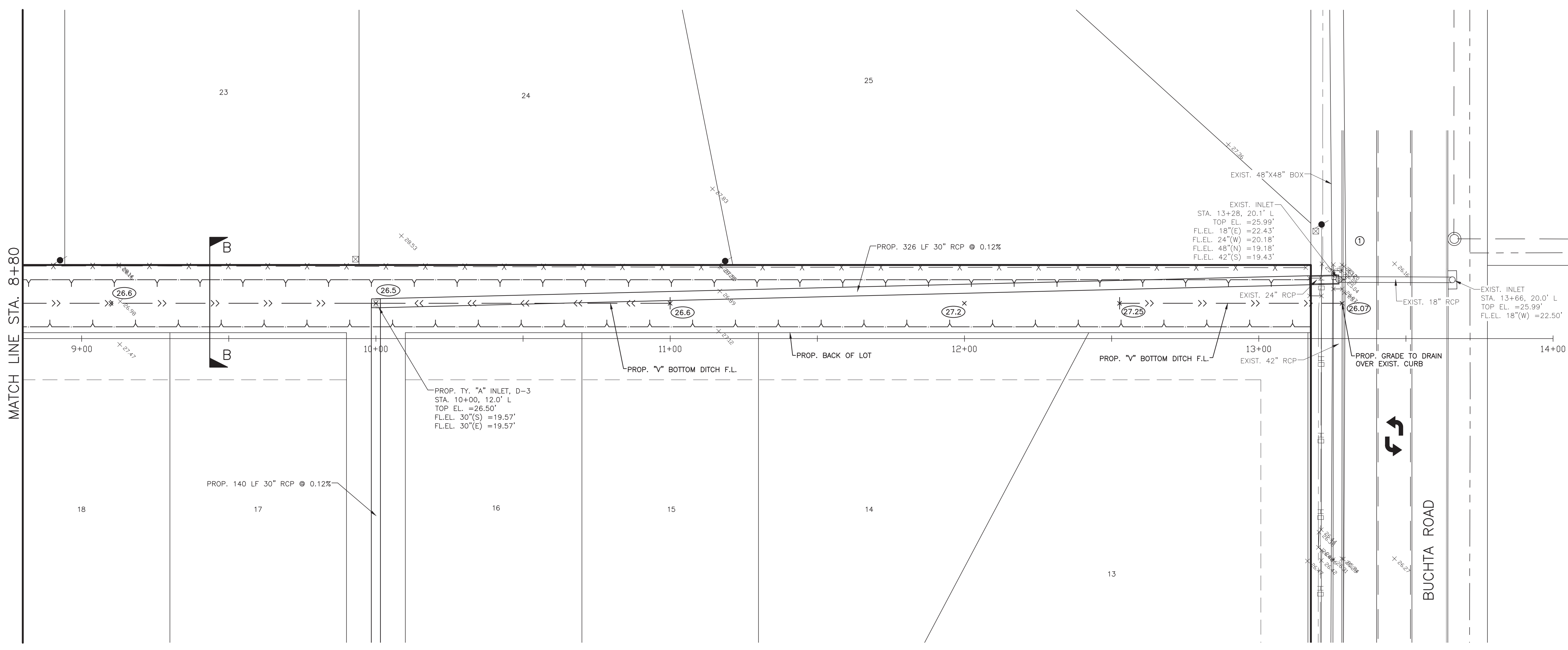
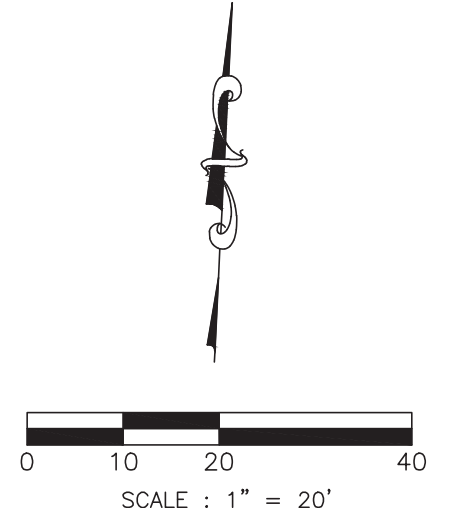
PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

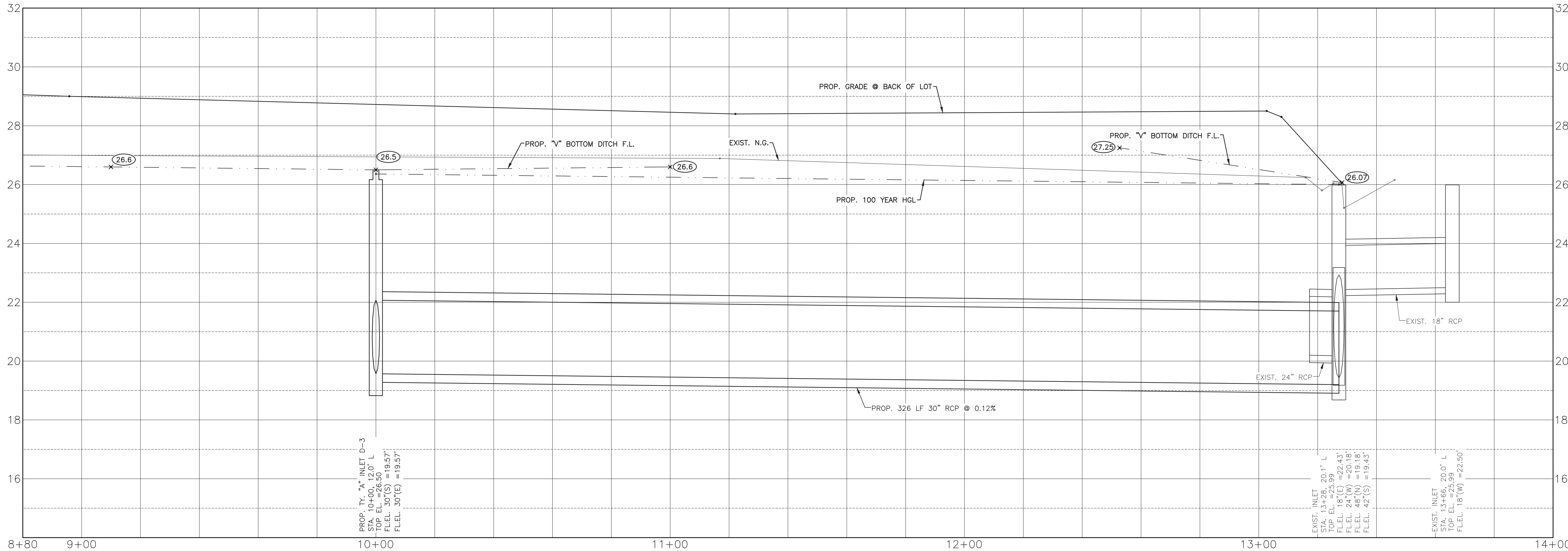
PLAN & PROFILE
 NORTH DITCH

PROJECT NO. 14396

132



① REMOVE EXIST 24" RCP WEST. BREAK OUT BACK WALL TO PLACE PROP 30" RCP AT F.L.E.L. 19.18. GROUT 30" RCP INSIDE AND OUTSIDE OF BOX TO MAKE WATER TIGHT.



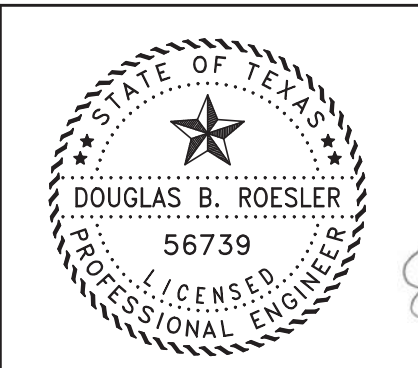
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- PROP. GRADE ELEVATION
- PROP. TOP OF 4" CURB ELEVATION
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
- STORM SEWER MANHOLE (STM. MH-1)
- SANITARY SEWER MANHOLE (SAN. MH-1)
- TOP BANK
- STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWWA C900, CLASS 150, DR18)

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



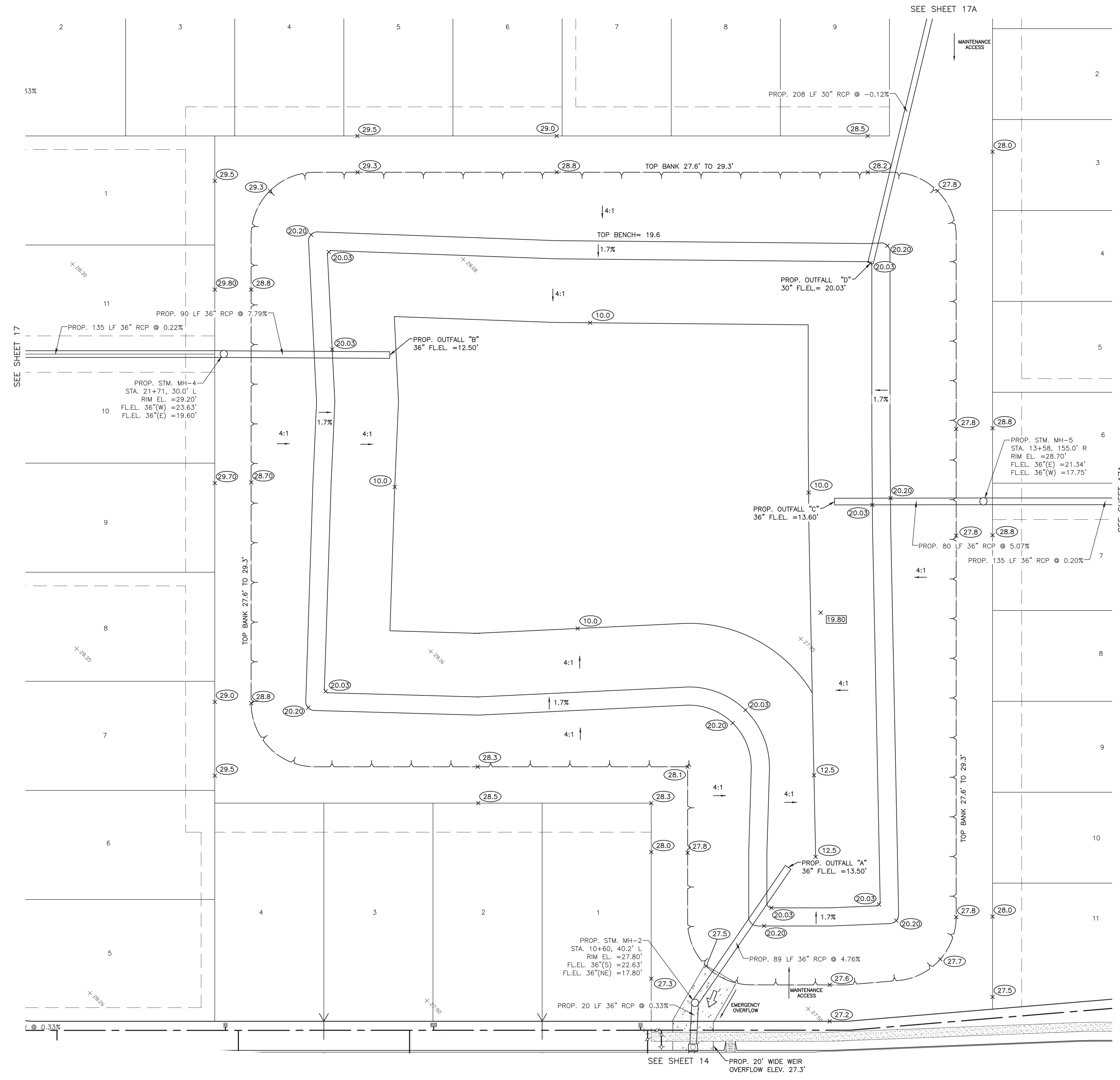
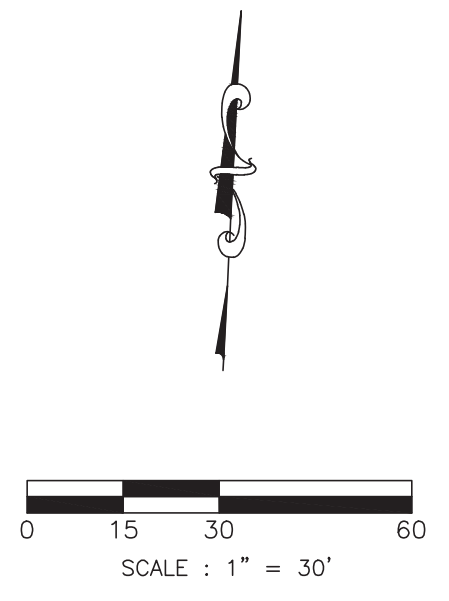
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 NORTH DITCH
 PROJECT NO. 14396



Riverwood Sec. 3 & 4 Detention/Excavation Summary

Detention Volume Required	17,179	Ac-Ft
Detention Volume Provided	22,680	Ac-Ft

Elev. (f.t.)		Area (s.f.)
28.50 (+/-)	Top bank	142,525
28.00	Nat. Gr.	140,945
27.30	12" Freeboard - 100 Yr WSEL	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
* Static Water = Bottom Bench		

Detention Pond Volume		
Elev. (f.t.)		Area (s.f.)
27.30	12" Freeboard - 100 Yr	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726

Area	(137,373 + 117,382)/2	127,377	s.f.
Volume	(127,377*7.1' Depth)	904,377	c.f.

Area	(117,382 + 105,726)/2	111,554	s.f.
Volume	(111,554*0.20' Depth)	22,311	c.f.

Total Volume		926,688	c.f.
		21.27	ac-ft

Excavation Volume		
Elev. (f.t.)		Area (s.f.)
28.00	Nat. Gr.	140,945
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440

Area	(140,945 + 117,382)/2	129,164	s.f.
Volume	(129,164*7.8' Depth)	1,007,479	c.f.

Area	(117,382 + 105,726)/2	111,554	s.f.
Volume	(111,554*0.20' Depth)	22,311	c.f.

Area	(105,726 + 63,440)/2	84,583	s.f.
Volume	(84,583*10.00' Depth)	845,830	c.f.

Total Volume		1,875,286	c.f.
		69,467	c.y.

(File: 14396 / Det Vol Calcs 02-25-23)

100 YR WSEL = 27.0 PROVIDES 17.32 AC-FT
ALL SIDE SLOPES AT 4' TO 1' OR FLATTER

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

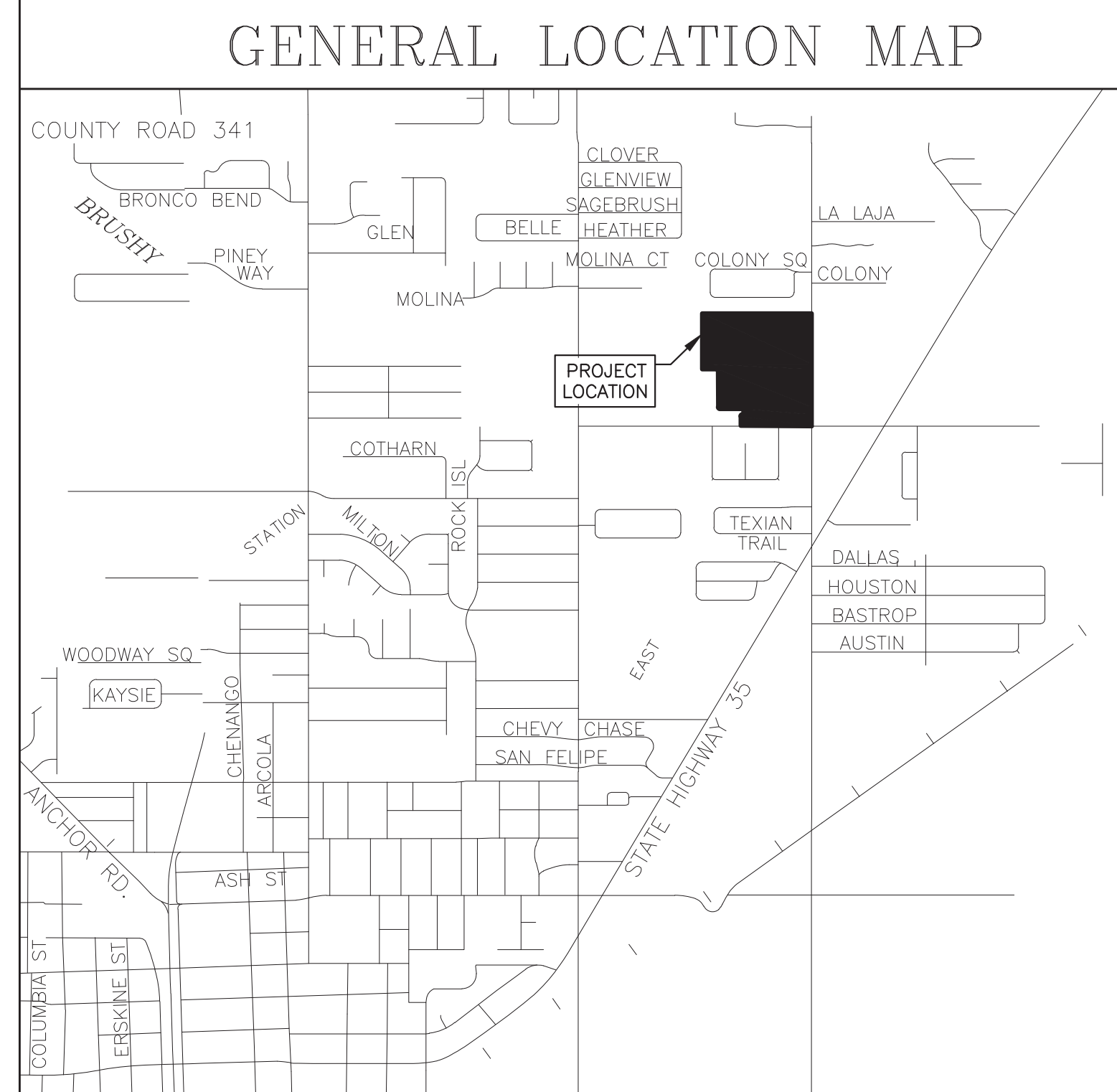
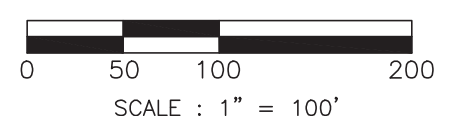
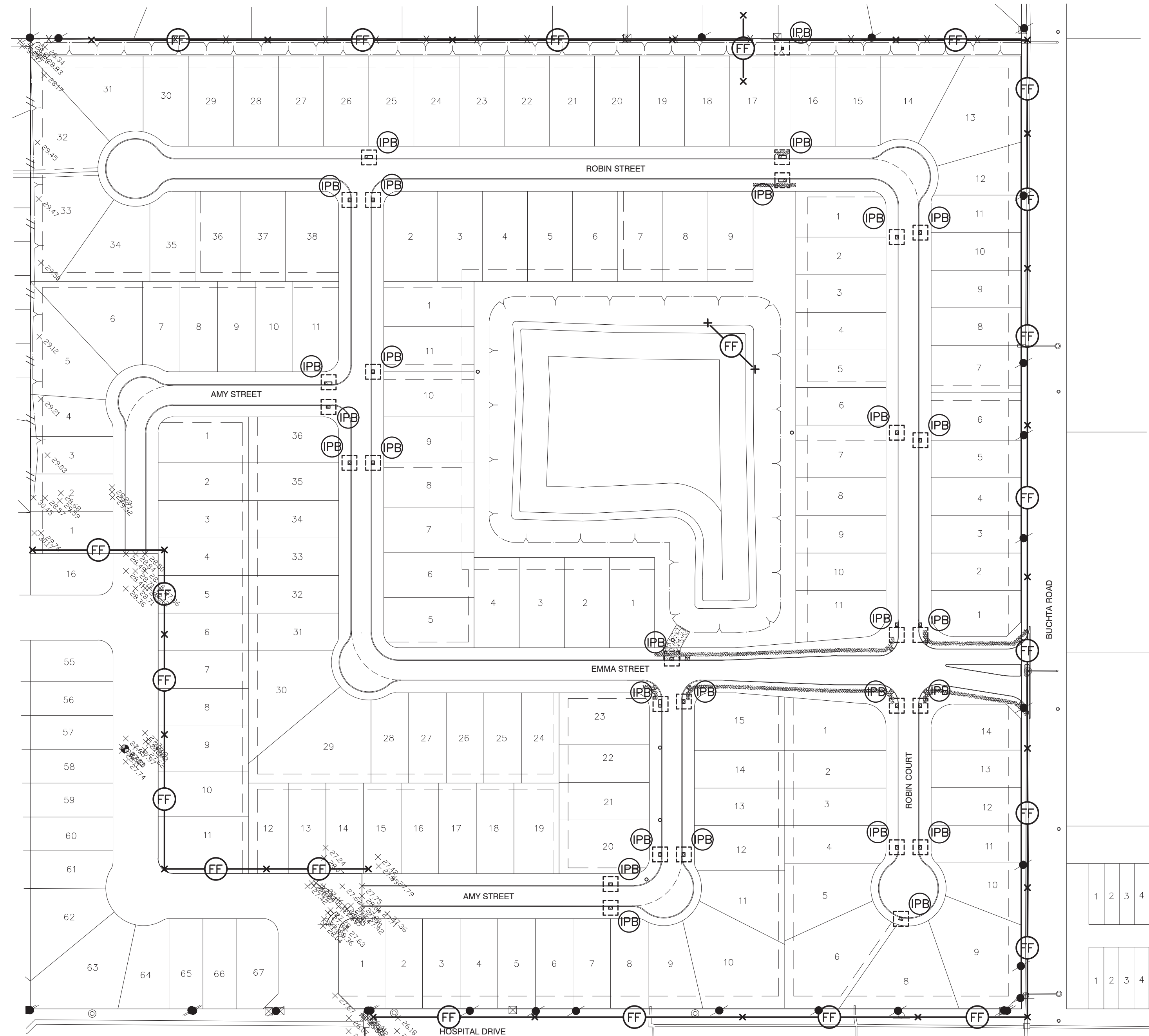
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 30'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DETENTION POND
PROJECT NO. 14396



PROJECT/SITE INFORMATION

PROJECT NAME: RIVERWOOD RANCH SUBDIVISION, SECTIONS 3 & 4
 PROJECT ADDRESS/LOCATION: NE CORNER OF DOWNING ROAD AND HOSPITAL DRIVE INTERSECTION
 CITY: ANGLETON STATE: TX. ZIP CODE: 77515
 LATITUDE: 29°11'13.1" LONGITUDE: 95°24'45.0" COUNTY: BRAZORIA
 NAME OF RECEIVING WATERS: GULF OF MEXICO

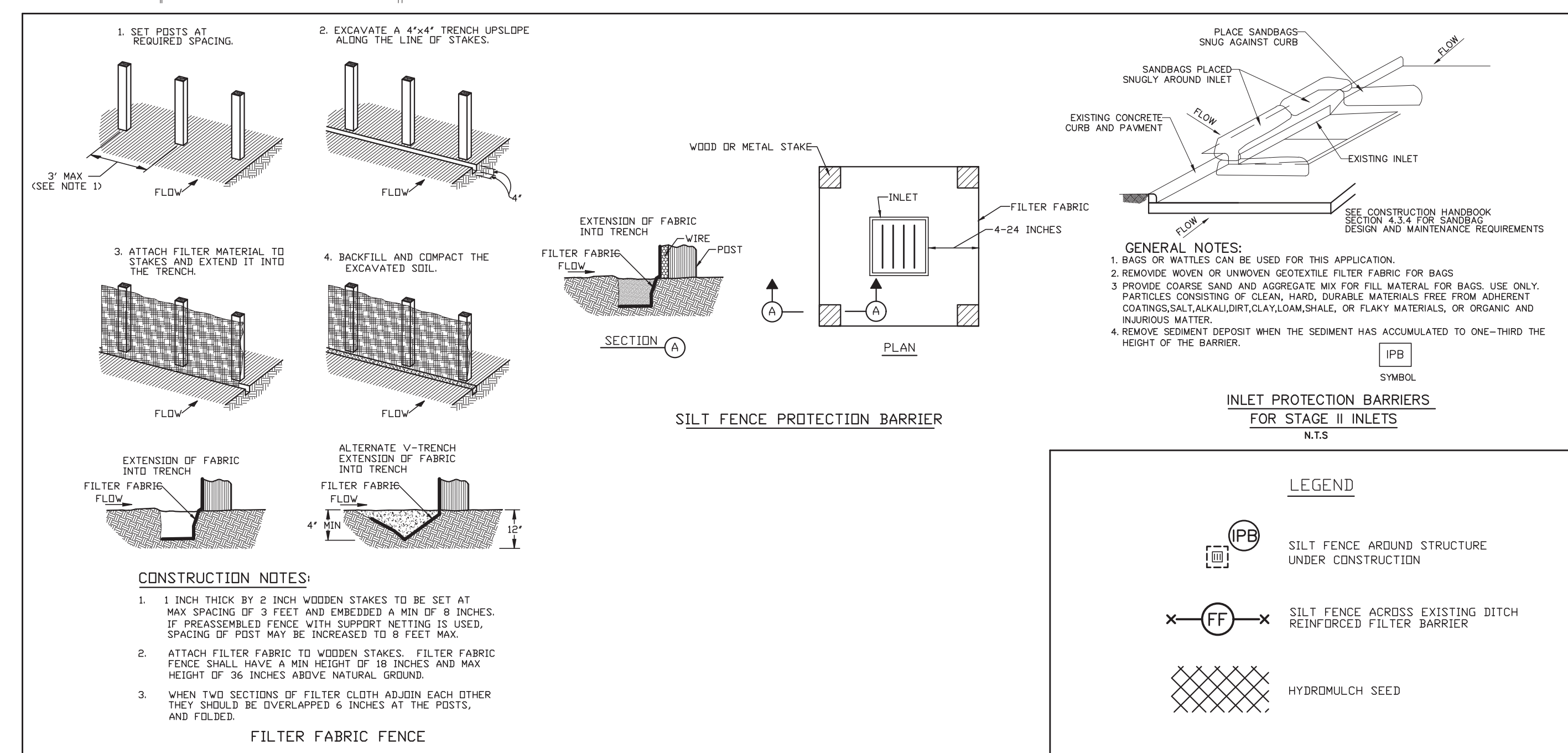
2/01/2023 MONTH/DAY/YEAR ESTIMATED CONSTRUCTION START DATE
 8/01/2023 MONTH/DAY/YEAR ESTIMATED COMPLETION DATE
 ESTIMATE OF AREA TO BE DISTURBED: 36.0 ACRES
 ESTIMATE OF LIKELIHOOD OF DISCHARGE:

- UNLIKELY
- ONCE PER WEEK
- CONTINUAL
- ONCE PER MONTH
- ONCE PER DAY

ARE THERE ANY LISTED ENDANGERED OR THREATENED SPECIES, OR DESIGNATED CRITICAL HABITAT IN THE PROJECT AREA?
 YES NO

ELIGIBILITY WITH REGARD TO PROTECTION OF ENDANGERED SPECIES HAS BEEN SATISFIED THROUGH THE INDICATED SECTION OF PART 1.B.3.e.(2) OF THE PERMIT.

- (a)
- (b)
- (c)
- (d)



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

SWPPP LAYOUT
 PROJECT NO. 14396

1. SITE DESCRIPTION

- A. NATURE OF THE CONSTRUCTION ACTIVITY:

RIVERWOOD RANCH SUBDIVISION SECTIONS 3&4, ANGLETON, BRAZORIA COUNTY, TEXAS. BEING A 35.620 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 145 LOTS. CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS AND CONCRETE ROADWAYS WITH CURBS WITH EXCESS EXCAVATION WITH MATERIAL SPREAD FOR LOT GRADING.
- B. INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER. THIS MATERIAL WILL BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD ON DEVELOPED LOTS AFTER FINAL GRADING. UTILITY AND STORM SEWER CONSTRUCTION WILL REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE WILL INVOLVE SPREADING EXCAVATED MATERIAL ON ADJACENT LOTS. RAINFALL RUNOFF WILL BE DIRECTED TO THE STREET GUTTERS AND TO THE CONSTRUCTED STORM SEWER SYSTEM. TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE, UTILITY AND STORM SEWER MATERIALS AND OTHER CONSTRUCTION MATERIALS. TRUCKS WILL ALSO BE USED TO HAUL CONSTRUCTION DEBRIS AWAY FROM THE SITE. THESE TRUCKS WILL BE ROUTED ALONG HOSPITAL DR. AND BUTCHA ROADS FOR INGRESS AND EGRESS. RUTTING DURING WET WEATHER WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE ROUTE.
- C. TOTAL PROJECT AREA: 35.620 ACRES
- D. TOTAL AREA TO BE DISTURBED: 36 ACRES

WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.55

- E. REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; AREAS WHICH WILL NOT BE DISTURBED; LOCATIONS OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF-SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARGES TO A SURFACE WATER.
- F. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION:
- G. NAME OF RECEIVING WATERS:

RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO.

AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SITE WHICH WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS OF THE PROJECT.

NONE

- H. REFER TO FEDERAL REGISTER, VOLUME 63, NO.128, MONDAY JULY 6, 1998, PAGES 36497 TO 36515 FOR REQUIREMENTS OF NPDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IN REGION 6.
- I. LISTED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY:

NONE
- J. PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES:

NONE

2. CONTROLS

NARRATIVE – SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

- THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.
1. INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE.
 2. INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.
 3. ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND, UTILITY STORM SEWER CONSTRUCTION, AND DESIGNATED POND EVACUATION.
 4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 18" WIDE SOLID SOD BEHIND ALL CURBS, OR FILTER FABRIC FENCE.

- A. EROSION AND SEDIMENT CONTROLS: EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER:				

- B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION:

CURBS & GUTTERS STORM SEWERS

C. OTHER CONTROLS

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

WASTE MATERIALS: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

HAZARDOUS WASTE (INCLUDING SPILL REPORTING): AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY:

- HAUL ROADS DAMPENED FOR DUST CONTROL LOADED
- HAUL TRUCKS TO BE COVERED WITH TARPULIN
- EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED
- CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION

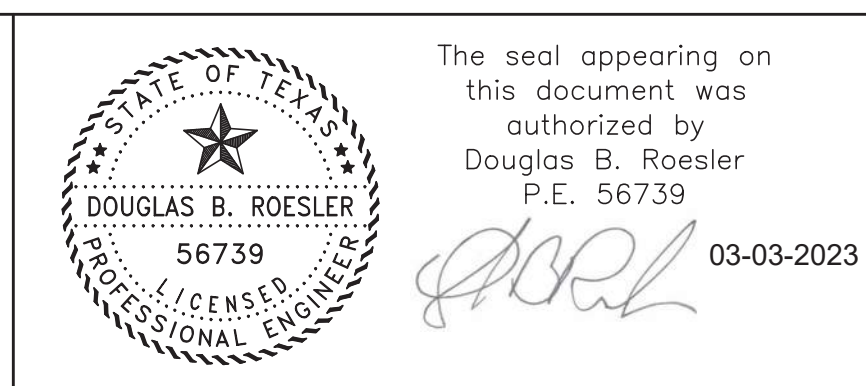
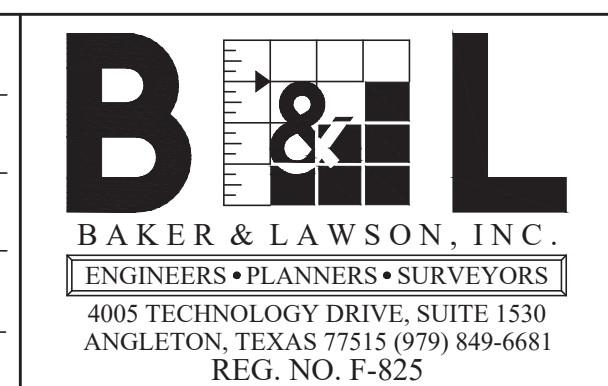
AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

5. NON-STORMWATER DISCHARGES

- FIRE HYDRANT FLUSHING
- BUILDING WASHDOWN WITHOUT DETERGENTS
- PAVEMENT WASHDOWN WITHOUT DETERGENTS
- CONDENSATE
- UNCONTAMINATED GROUNDWATER
- UNCONTAMINATED FOUNDATION DRAINS

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE



OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" =
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SWPPP NARRATIVE
 PROJECT NO. 14396

Hydrological and Hydraulic Impacts
 Riverwood Ranch Subdivision - NE Area
 Job # 13032
 Brazoria County, Texas
 A = 40.016 Acre Development
 Pre Development:
 C = 0.175
 TC = 90.0 Minutes, I = 3.66
 Q = 100 Year Storm = 32.04 cfs
 Q-allowable is 0.80 cfs / ac. = 32.01 cfs
 Post Development:
 C = 0.55
 TC = 31.6 Minutes, I = 6.573
 Q = 100 Year Storm = 180.83 cfs
 Required Detention:
 17.179 acre - feet (748,317 c.f.)

EXISTING CONDITIONS
 Bra. Co. Master Drg. Study allows only 0.80 cfs/acre in this area. These are Bastrop Bayou drainage areas BB 35 and BB 36.
 TC = 15 Minutes gather time plus diagonal length (1,800') overlaid at 0.40 fps = 90.0 Minutes
PROPOSED CONDITIONS
 TC = 15 Minutes gather time + 150' overlaid at 0.50 fps + 1,650 lf. storm sewer at 3 fps = 29.2 Minutes
 C = 0.55 per City of Sugarland
 ACREAGE = 40.016 Ac.
 Section 3 & 4 = 35.6 Ac. (+/-) + 4.38 Ac. from Sec. 2 to compensate for free drain to Hospital Dr.

Drainage Analysis
 Job # 13032 - Riverwood Ranch Subdivision - NE Area
Rainfall Intensity calculations for Brazoria County

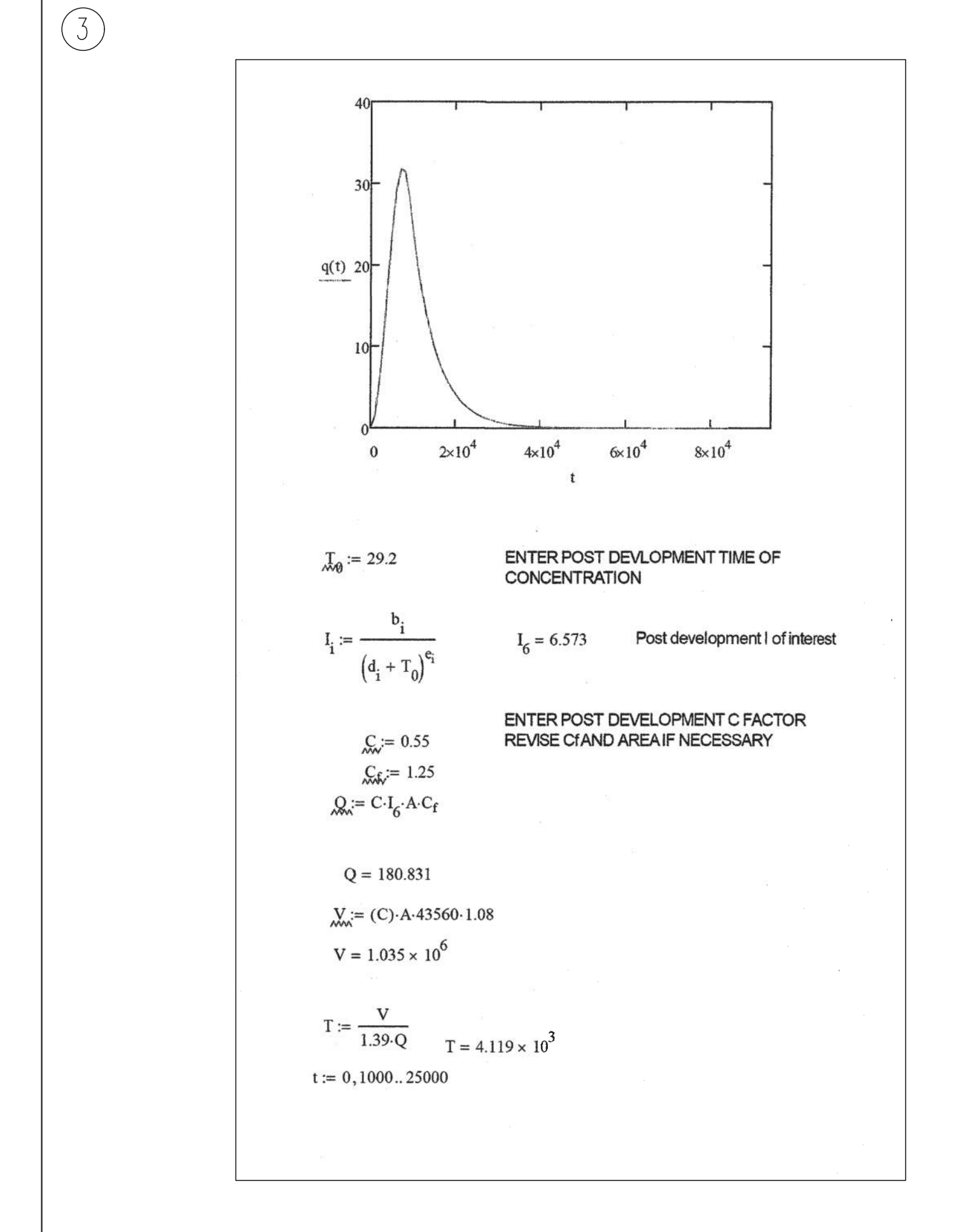
i = intensity (in/hr)
 b = coefficient
 t = time of concentration
 d = coefficient
 e = coefficient

subscript i=1 = 2 year storm
 i=2 = 5 year storm
 i=3 = 10 year storm
 i=4 = 25 year storm
 i=5 = 50 year storm
 i=6 = 100 year storm

i = 1..6

b ₁	b ₂	b ₃	b ₄	b ₅	b ₆
71.0	70.1	96.6	89.2	86.5	120.2
0.774	0.752	0.770	0.736	0.709	0.741
8.4	7.7	17.2	10.4	10.0	21.3

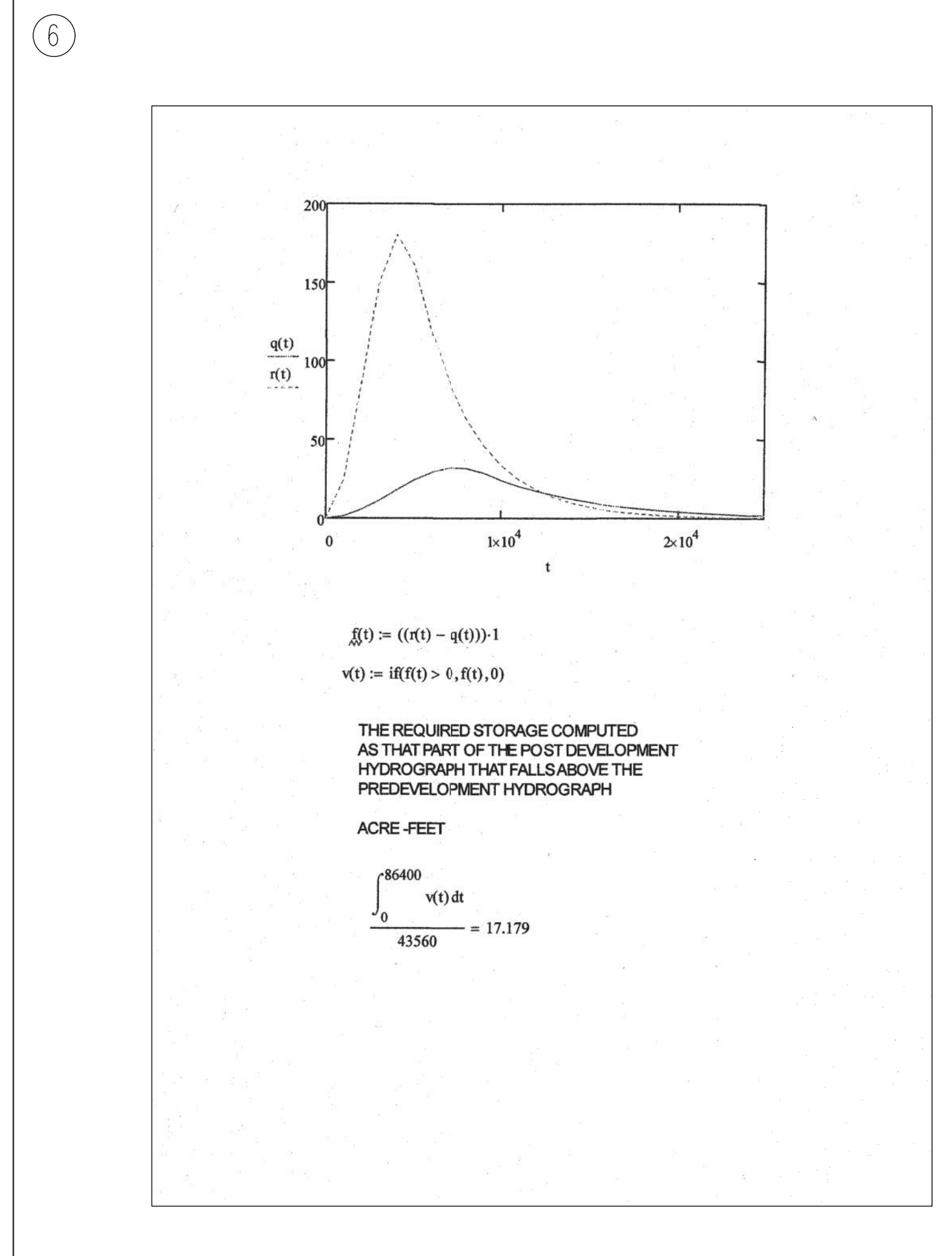
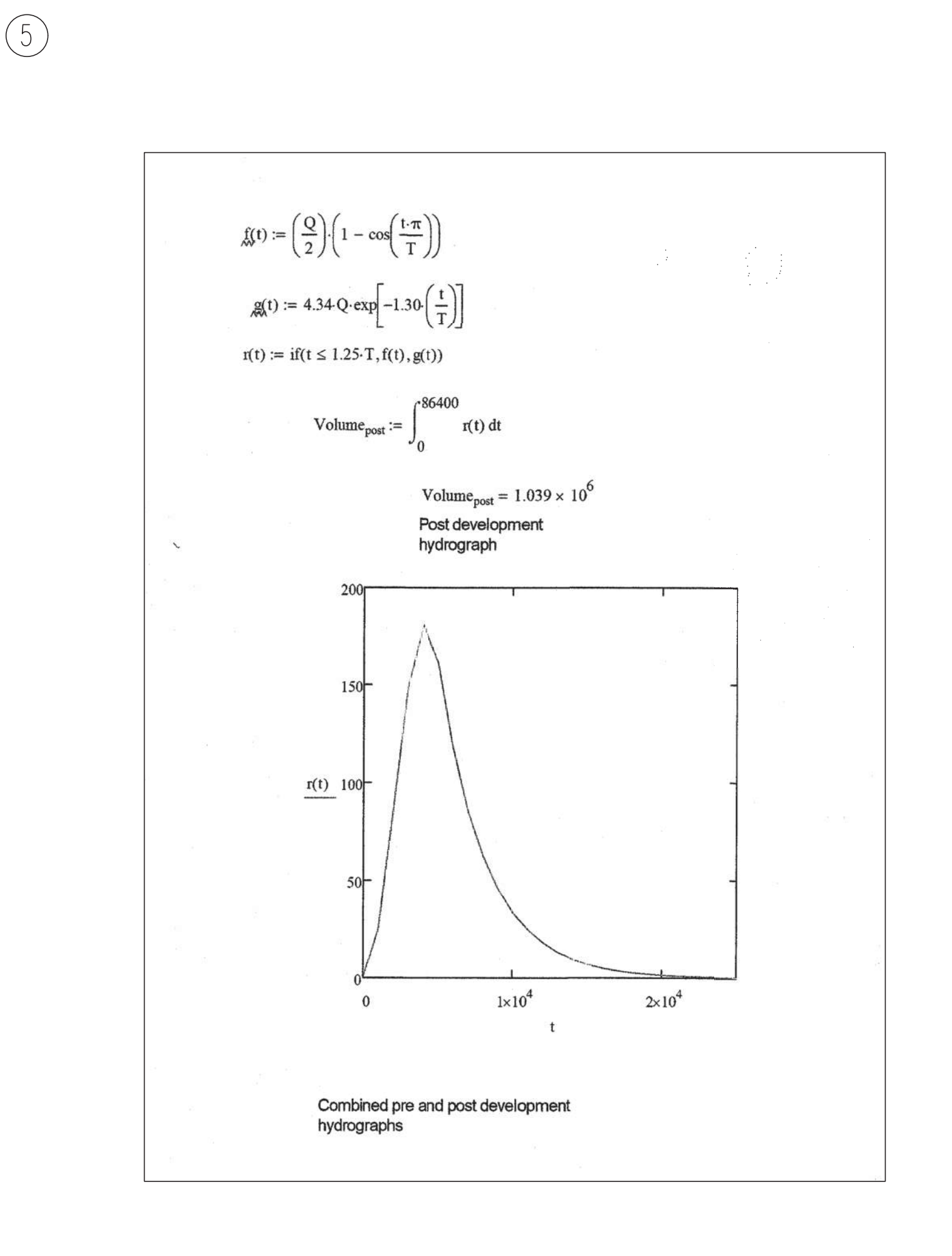
T₀ = 90.0 ENTER PREDEVELOPMENT TIME OF CONCENTRATION
 I₀ = 3.66 Predevelopment Intensity of interest
 C_{pd} = .175 ENTER PREDEVELOPMENT C VALUE
 A_{pd} = 40.016 ENTER AREA



C_r = 1.25
 Q = C * C_r * I₀ * A
 Q = 32.036
 V_{pd} = (C) * A * 43560 * 1.08
 V = 3.294 x 10⁵
 T = V / (1.39 * Q) T = 7.398 x 10³
 T = Time to peak, presented as a function of volume and peak flow and therefore indirectly related to time of concentration

DEVELOPMENT OF RUNOFF HYDROGRAPH
 MALCOM'S METHOD AS DESCRIBED IN THE BRAZORIA COUNTY DRAINAGE CRITERIA MANUAL

f(t) = (Q/2) * (1 - cos(t/T)) f(t) describes rising limb of hydrograph
 g(t) = 4.34 * Q * exp[-1.30 * (t/T)] g(t) describes descending limb of hydrograph
 q(t) = if(t < 1.25 * T, f(t), g(t))
 Volume_{pre} = ∫₀⁸⁶⁴⁰⁰ q(t) dt
 Volume_{pre} = 3.306 x 10⁵
 Predevelopment hydrograph



14396 - RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 IN ANGLETON, TEXAS
 RESTRICTIVE OUTLET WITH MAX. FLOW RATE OF 32.01 CFS AND 1.0' HEAD

A	B	C	D	E	F	G	H	I	J	K	L	M	N
1													
2	H"	Q"	ENTR.	n	L	D		EQ.	EQ.	EQ.	EQ.	EQ.	EQ.
3			LOSS					2.5204(1+D4)	466.18*E4^2*F4	B4/(C4/10)^2	I4/G4^4	J4/G4^5.333	L4-(L4+M4)
4	1	24.6	0.5	0.013	116	2.5		3.7806	9.1390	0.1658	0.0968	0.0690	0.0000
5	1	37.1	0.5	0.013	116	3		3.7806	9.1390	0.0728	0.0467	0.0261	0.0000

USE 30" RESTRICTIVE OUTLET

ORIFICE EQUATION
 Q = Cd * A * (2 * G * H)^0.5
 Where:
 Cd = 0.8
 G = 32.2
 H = 1
 Q = 32.01
 A = 4.99 30" Dia. 4.91 S.F.

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

HYDROLOGICAL CALCULATIONS

PROJECT NO. 14396

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:09:56 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area A 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows A-1 to A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 to A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows A-1 to A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 to A-7 and MH-2.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 9.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Q, Cap Loss, Junc Loss. Rows 1 to 9.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows A-1 to A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 to A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows A-1 to A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 to A-7 and MH-2.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 9.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Q, Cap Loss, Junc Loss. Rows 1 to 9.

NORMAL TERMINATION OF WINSTORM.

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:12:54 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area B 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows B-1 to B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 to B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows B-1 to B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 to B-8 and MH-4.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 10.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Q, Cap Loss, Junc Loss. Rows 1 to 10.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 8 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows B-1 to B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 to B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded width. Rows B-1 to B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 to B-8 and MH-4.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 10.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Fr. Slope, Actual Unif. Fr. Slope, Q, Cap Loss, Junc Loss. Rows 1 to 10.

NORMAL TERMINATION OF WINSTORM.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes DESIGNED, DRAWN, CHECKED, DATE.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes DESIGNED, DRAWN, CHECKED, DATE.

Professional Engineer seal for Douglas B. Roessler, P.E. 56739, dated 03-03-2023. Includes logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

WINDSTORM DATA RUN A & B PROJECT NO. 14396

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/1/2023 4:19:37 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : Area C 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows C-1 to C-11.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows C-1 to C-11.

Cumulative Junction Discharge Computations.

Table with 10 columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows C-1 to C-11.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 12.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows C-1 to C-11.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows C-1 to C-11.

Cumulative Junction Discharge Computations.

Table with 10 columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows C-1 to C-11.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 12.

NORMAL TERMINATION OF WINSTORM.

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/25/2023 9:31:31 AM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : D.A. D 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows D-1 to D-3.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows D-1 to D-3.

Cumulative Junction Discharge Computations.

Table with 10 columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows D-1 to D-3.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows D-1 to D-3.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Area, Total Q, Inlet Capacity, Total Head, Pondered width. Rows D-1 to D-3.

Cumulative Junction Discharge Computations.

Table with 10 columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows D-1 to D-3.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

NORMAL TERMINATION OF WINSTORM.

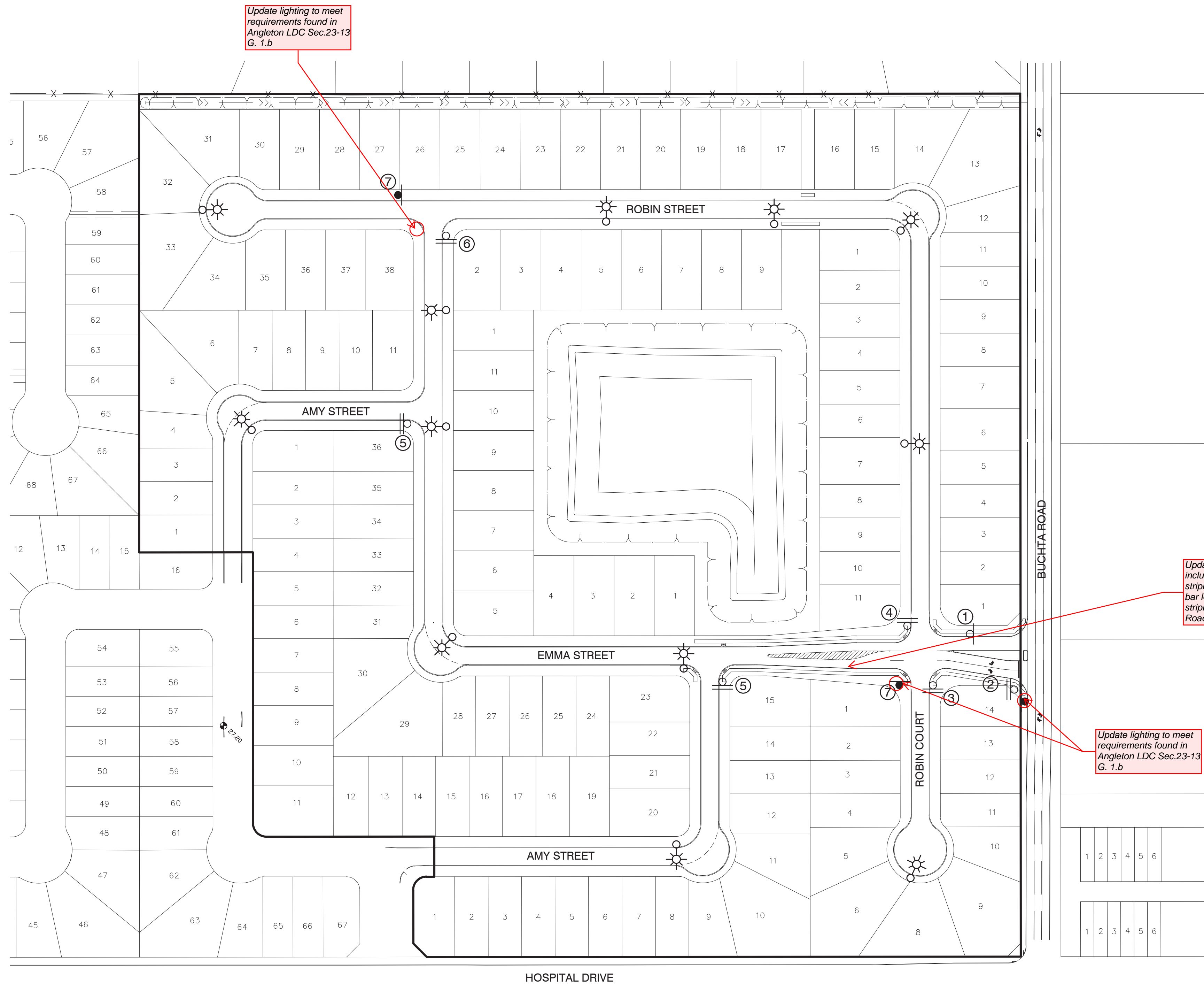
Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes DESIGNER, DRAWN, CHECKED, DATE.

Professional Engineer seal for Douglas B. Roessler, State of Texas, License No. 56739. Includes logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLANNED: RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WINDSTORM DATA
RUN C & D
PROJECT NO. 14396



Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b

Update plansheet to include all proposed striping including stop bar locations and striping on Buchta Road

Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b

STREET SIGNS

- ① 30 MPH SPEED LIMIT
- ② STOP - FACING EMMA STREET BUCHTA STREET / EMMA LOOP
- ③ STOP - FACING ROBIN COURT ROBIN COURT / EMMA STREET
- ④ STOP - FACING ROBIN STREET ROBIN STREET / EMMA STREET
- ⑤ STOP - FACING AMY STREET AMY STREET/EMMA STREET
- ⑥ STOP - FACING EMMA STREET EMMA STREET / ROBIN STREET
- ⑦ NO OUTLET (2 LOCATION)

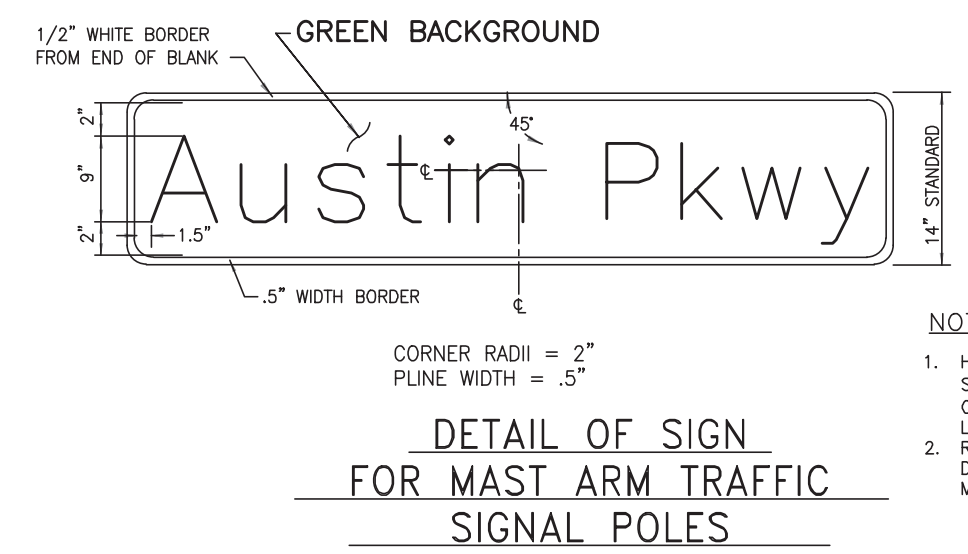
STREET AREA LIGHTING (13 LOCATIONS)

- ☐ STREET SIGNS (6 LOCATIONS)
- ☐ STREET SIGNS (1 LOCATION) 30 MPH
- NO OUTLET (2 LOCATIONS)

LIGHTING PLAN PROVIDED IS SHOWN AS RECOMMENDED. FINAL LOCATIONS AND QUANTITIES ARE DETERMINED BY TEXAS NEW MEXICO POWER (TNMP).

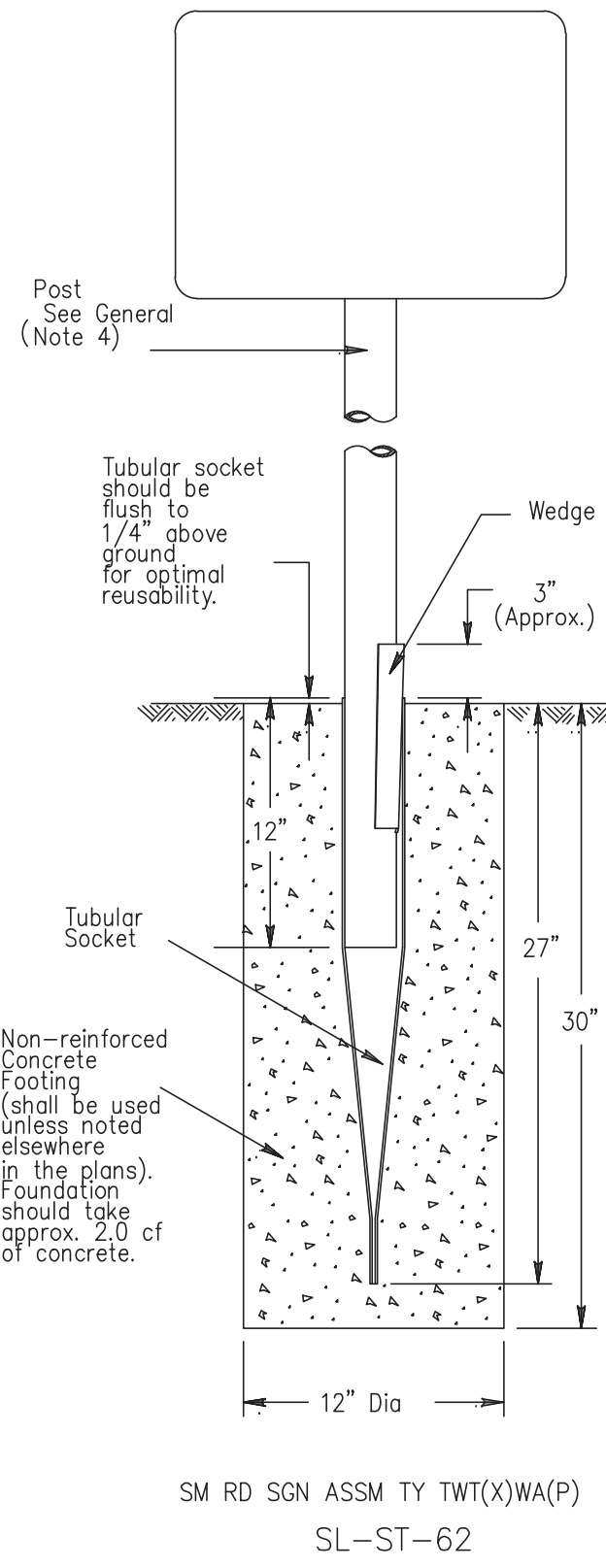
- GENERAL CONSTRUCTION NOTES:**
1. SECURELY ATTACH STREET NAME SIGN TO TRAFFIC SIGNAL SUPPORT WIRES WITH MULTI-LEVELING, WIND DAMPING BRACKETS.
 2. SUPPORT WIRES SHOULD NOT BE PROHIBITED FROM INDEPENDENT MOVEMENT.
 3. INSTALL ONE STREET NAME SIGN APPROXIMATE 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL SPAN.
 4. THE FIRST LETTER OF EACH WORD SHALL BE UPPER CASE, SUBSEQUENT LETTERS SHALL BE LOWER CASE, ALL INDIVIDUAL LETTERS FOR EXAMPLE "T.M." SHALL BE UPPER CASE, STREET SUFFIXES & "NO OUTLET" SHALL BE UPPER CASE.
 5. ALL SIGNETING SHALL BE "TANDARD GRADE" OR APPROVED EQUAL.
 6. USE ANODIZED ALUMINUM ONLY.
 7. STREET SIGN FONTS SHALL BE HELVETICA BOLD, MEDIUM STYLE.
 8. MINIMUM SIGN THICKNESS IF SIGNS = 300", 14" SIGNS = 1875"
 9. ATTACH SIGNAGE TO 2" SIGN POST WITH 12" BLADE MOUNT BRACKET.

SL-ST-68



- NOTES:**
1. HELVETICA BOLD, MEDIUM STYLE, WITH 9" UPPER CASE LETTERS AND 6" LOWER CASE LETTERS.
 2. REFER TO C.O.S.L. DESIGN STANDARDS FOR MORE INFO.
- SL-ST-67

Wedge Anchor System



SM RD SGN ASSM TY TWT(X)WA(P)
SL-ST-62

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

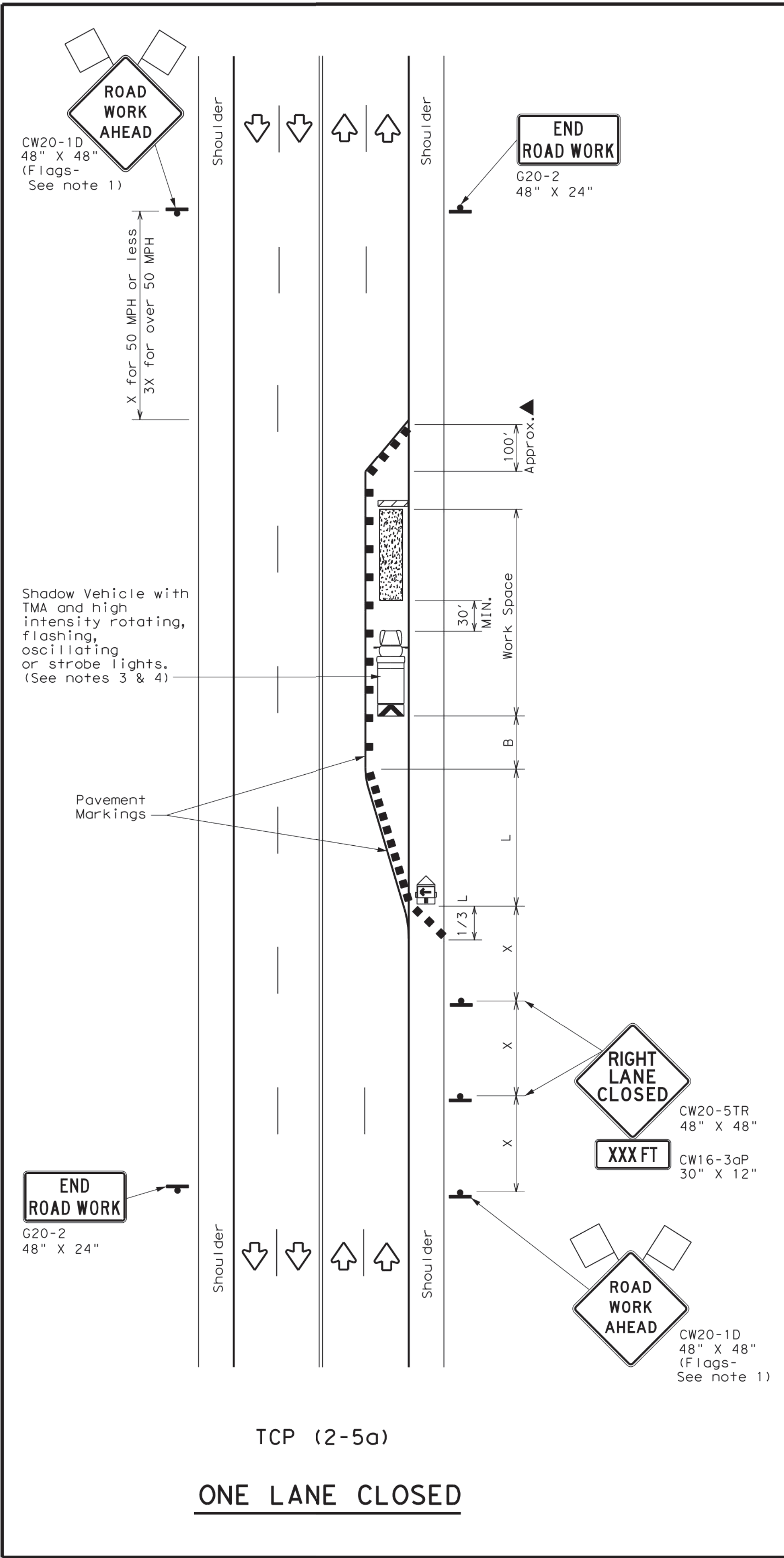
PLAN: 1" = 100'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

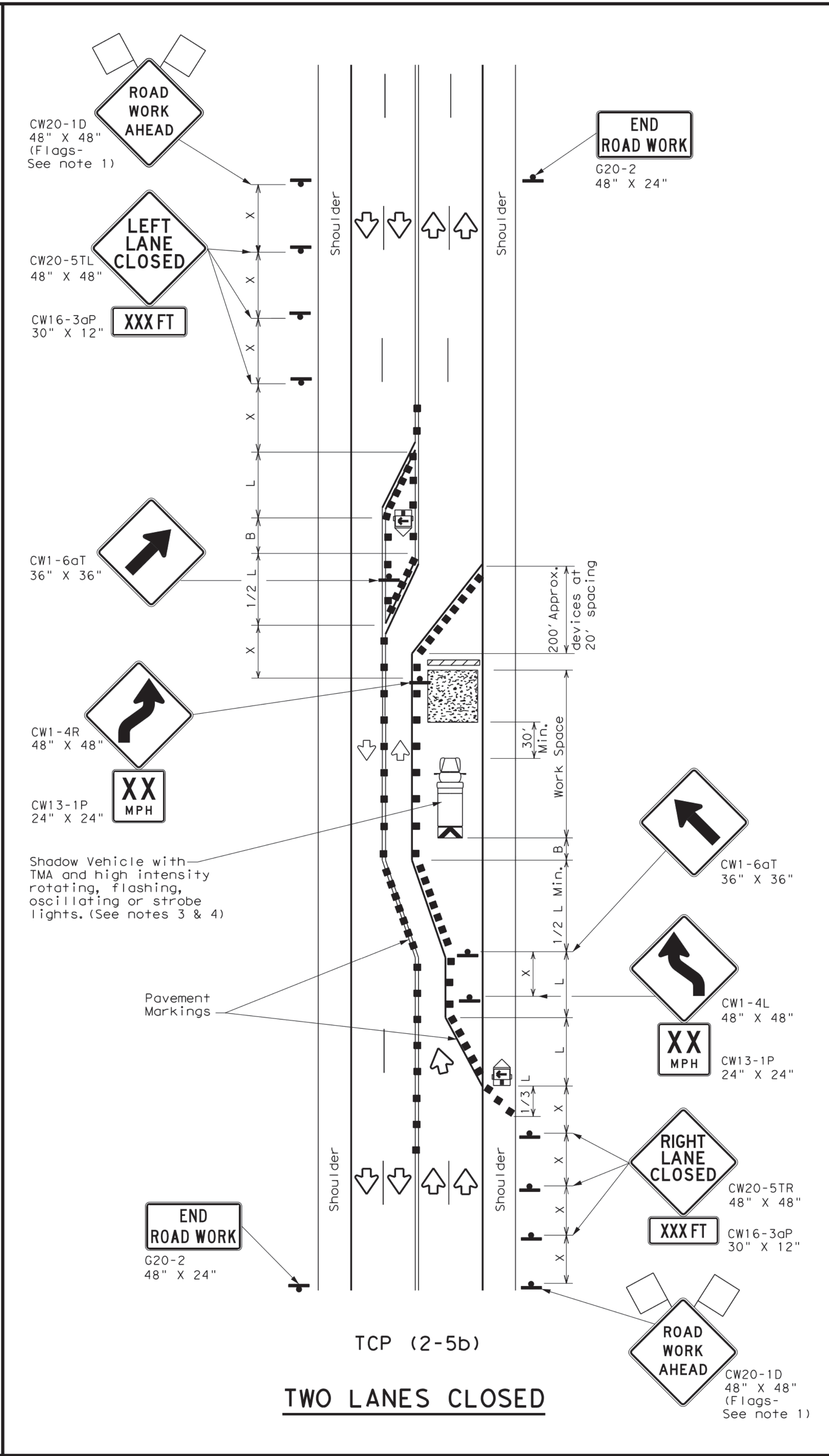
PAVING MARKING,
STREET SIGN AND
ROADWAY LIGHTING LAYOUT
PROJECT NO. 14396

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DATE: _____
FILE: _____



TCP (2-5a)
ONE LANE CLOSED



TCP (2-5b)
TWO LANES CLOSED

LEGEND

	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "X" Distance	Suggested Longitudinal Buffer Space "B"
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent		
30	L = WS ² / 60	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* Conventional Roads Only
** Taper lengths have been rounded off.
L=Length of Taper(FT) W=Width of Offset(FT) S=Posted Speed(MPH)

TYPICAL USAGE

MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY

- GENERAL NOTES**
- Flags attached to signs where shown, are REQUIRED.
 - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
 - A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Additional Shadow Vehicles with TMAs may be positioned in each closed lane, on the shoulder or off the paved surface, next to those shown in order to protect a wider work space.
 - The downstream taper is optional. When used, it should be 100 feet approximately per lane, with channelizing devices spaced at 20 feet.
- TCP (2-5a)**
- If this TCP is used for a left lane closure, CW20-5TL "LEFT LANE CLOSED" signs shall be used and channelizing devices shall be placed on the centerline to protect the work space from opposing traffic, with the arrow board placed in the closed lane near the end of the merging taper.
- TCP (2-5b)**
- Conflicting pavement markings shall be removed for long-term projects.

Texas Department of Transportation
Traffic Operations Division Standard

**TRAFFIC CONTROL PLAN
LONG TERM LANE CLOSURES
MULTILANE CONVENTIONAL RDS.**

TCP (2-5) - 18

FILE: tcp2-5-18.dgn	DN: _____	CK: _____	DR: _____	CK: _____
© TxDOT December 1985	CONT	SECT	JOB	HIGHWAY
8-95 2-12 REVISIONS				
1-97 3-03	DIST	COUNTY		SHEET NO.
4-98 2-18				
165				

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1330
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

STATE OF TEXAS
56739
LICENSED PROFESSIONAL ENGINEER

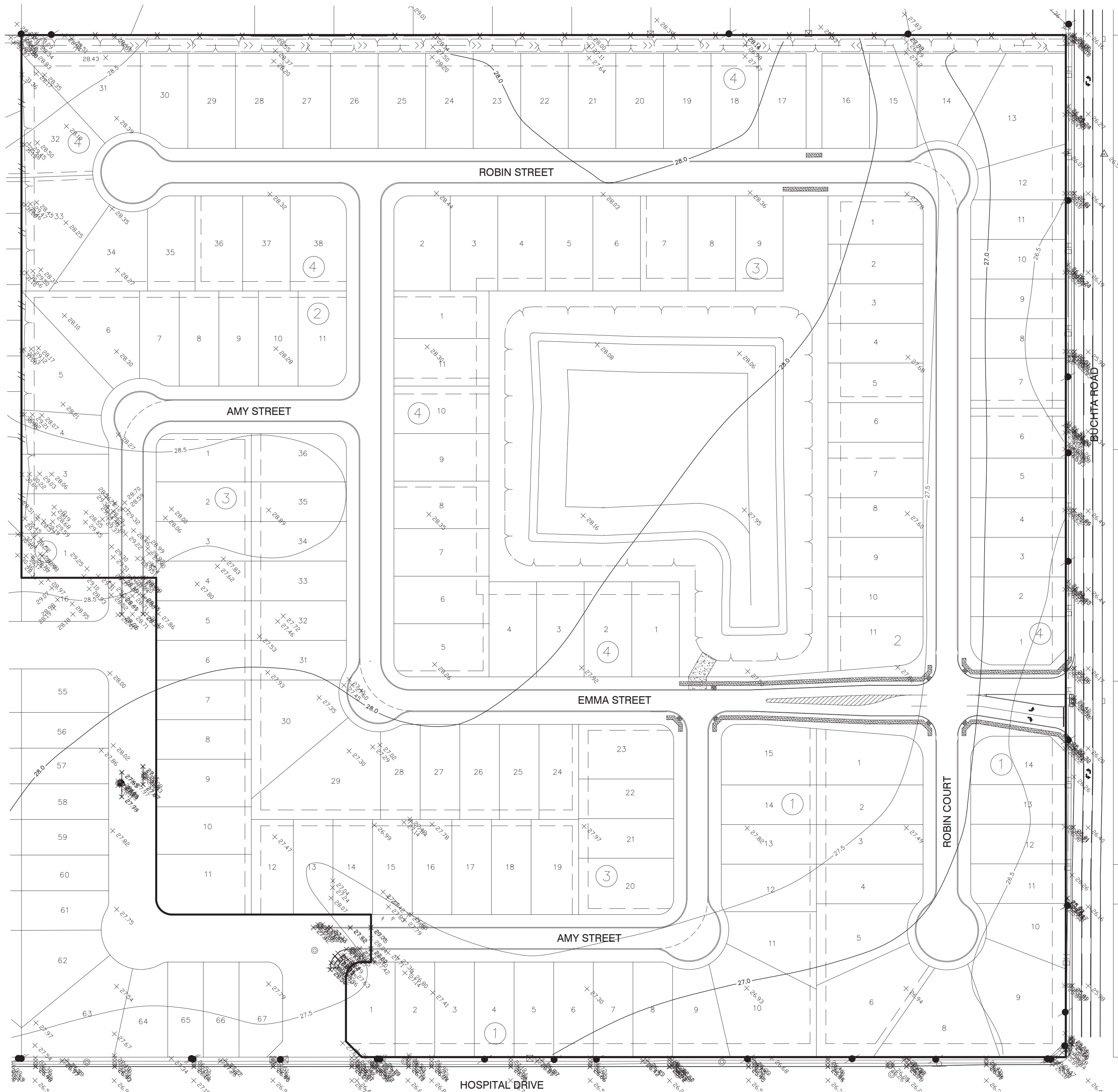
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
**RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057**

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

**RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515**

TRAFFIC CONTROL PLAN
TCP (1-1)-18
PROJECT NO. 14396



TREE LEGEND

- HERITAGE TREE (PECAN & LIVE OAK)
- SIGNIFICANT TREE (OAK & ELM)
- PROP CREPE MYRTLE
- PROP OAK TREE

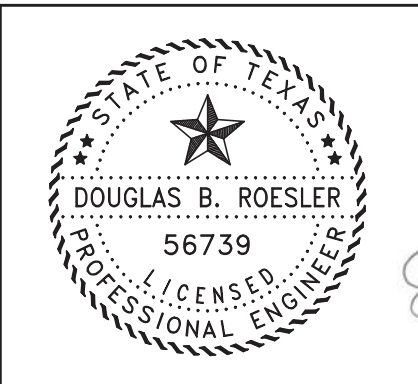
SITE TREE SUMMARY

TOTAL NUMBER OF HERITAGE TREES = 0
 TOTAL CALIPER OF HERITAGE TREES = 0 IN
 HERITAGE TREES TO BE REMOVED* = 0
 CALIPER OF REMOVED HERITAGE TREES = 0 IN
 HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 0
 CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 0 IN
 REQUIRED REPLACEMENT CALIPER = N/A
 REQUIRED REPLACEMENT TREES (3"-CALIPER OAK TREES) = 0 TREES
 PER SECTION 23-60.H.7 OF THE ANGLETON LDC, THE HOMEOWNER WILL PROVIDE TWO TREES PER LOT IN ADDITION TO THE REQUIRED REPLACEMENT CALIPER.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



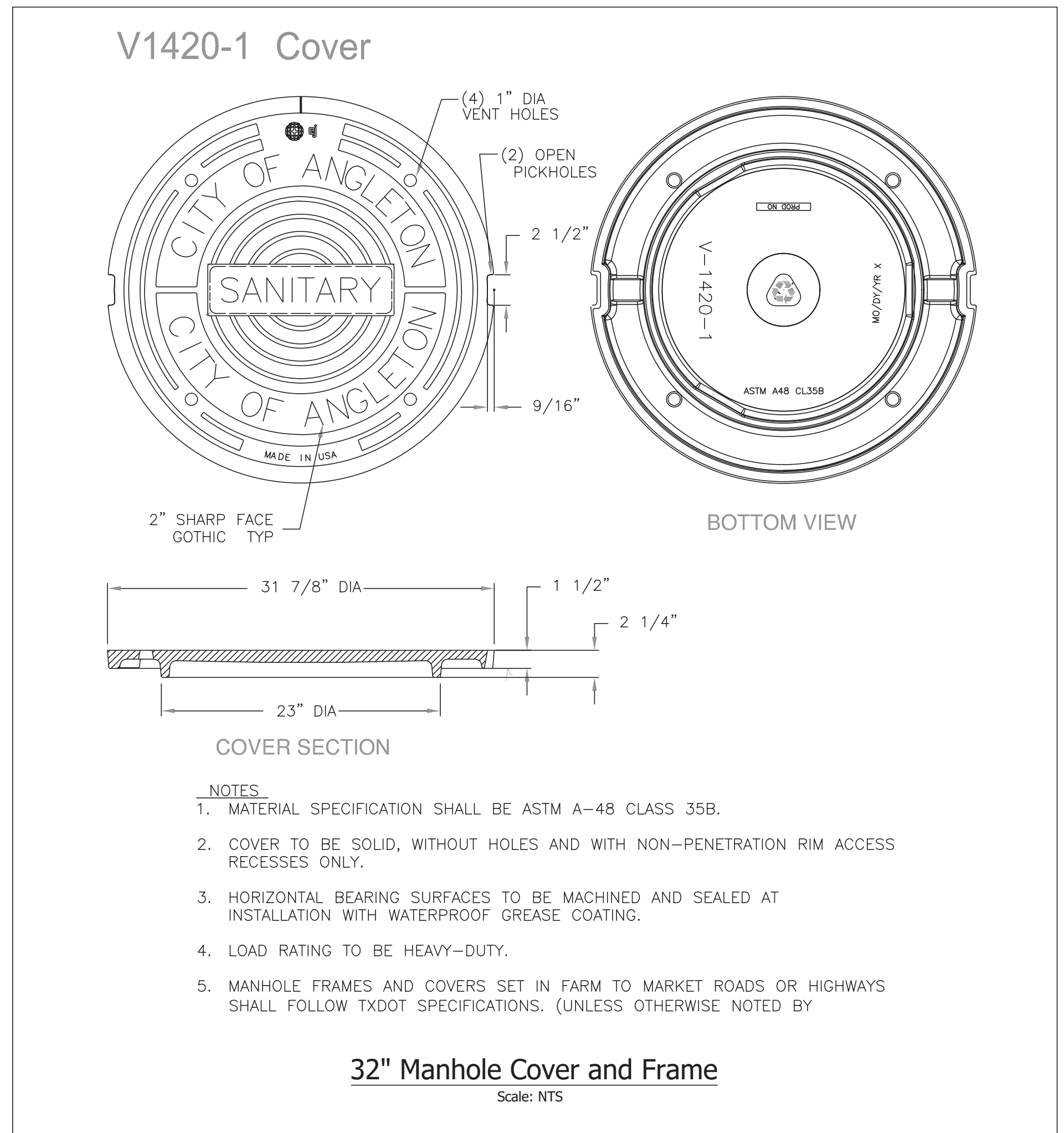
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

HERITAGE TREE PRESERVATION PLAN
 PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

03-03-2023

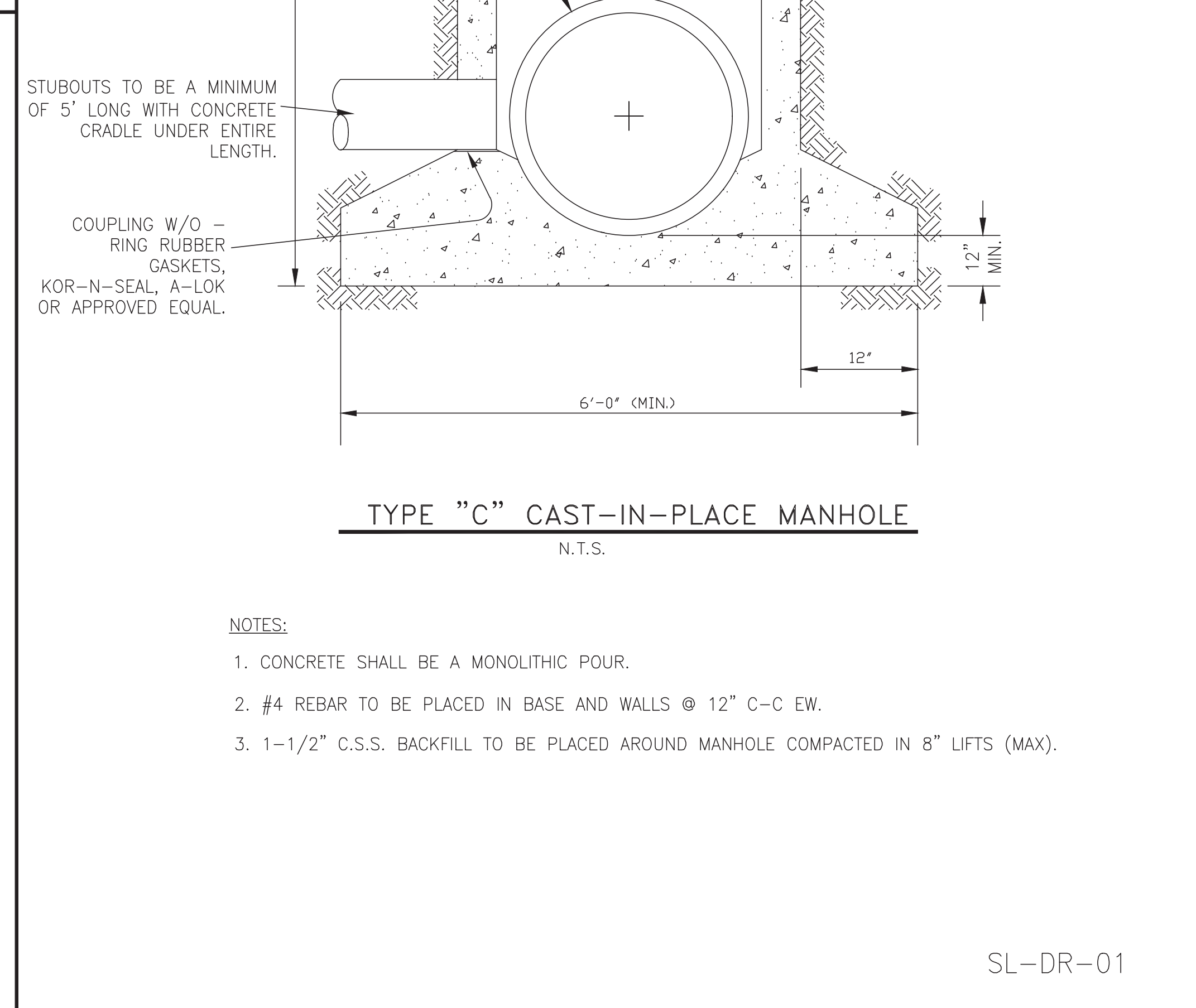
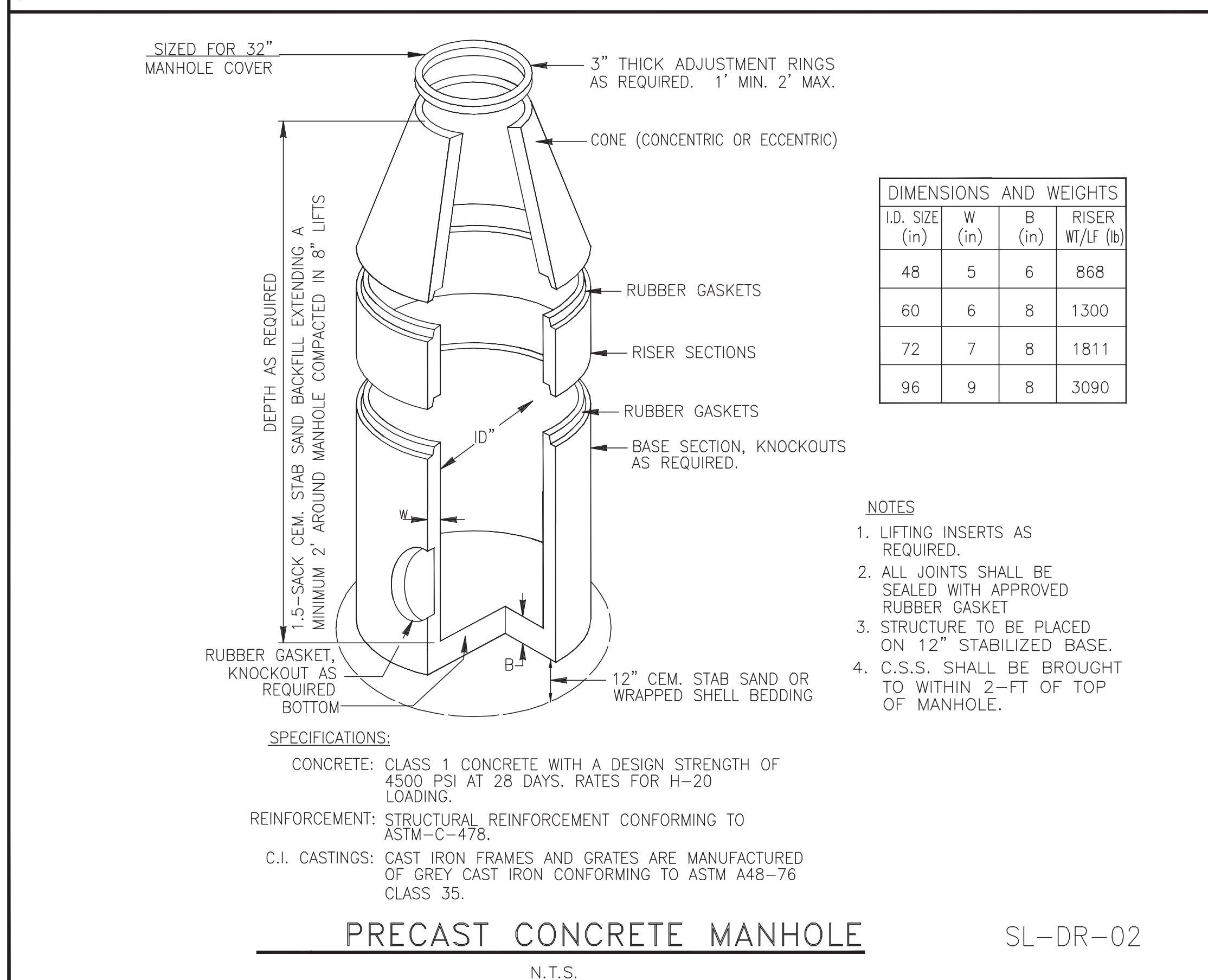
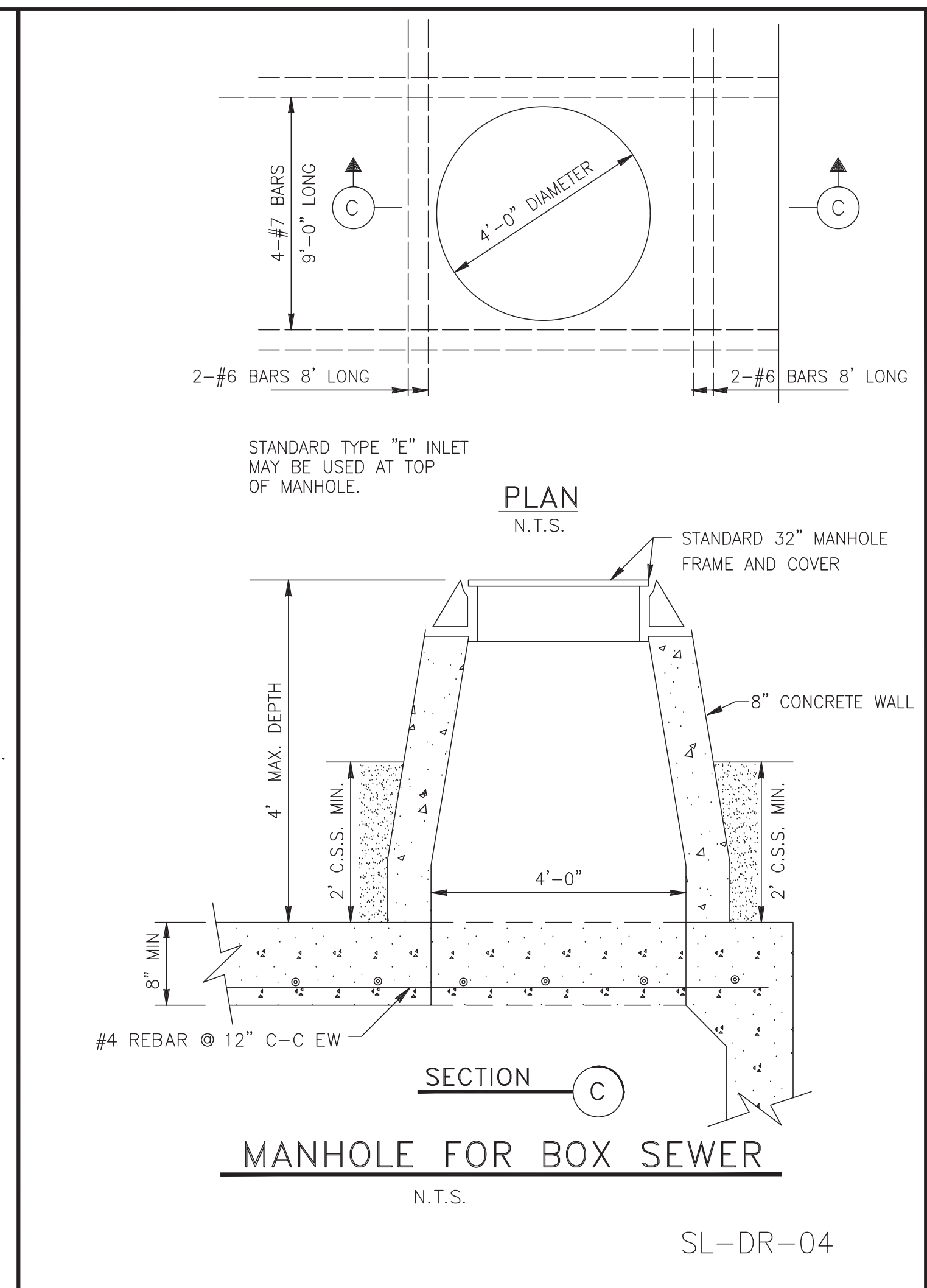
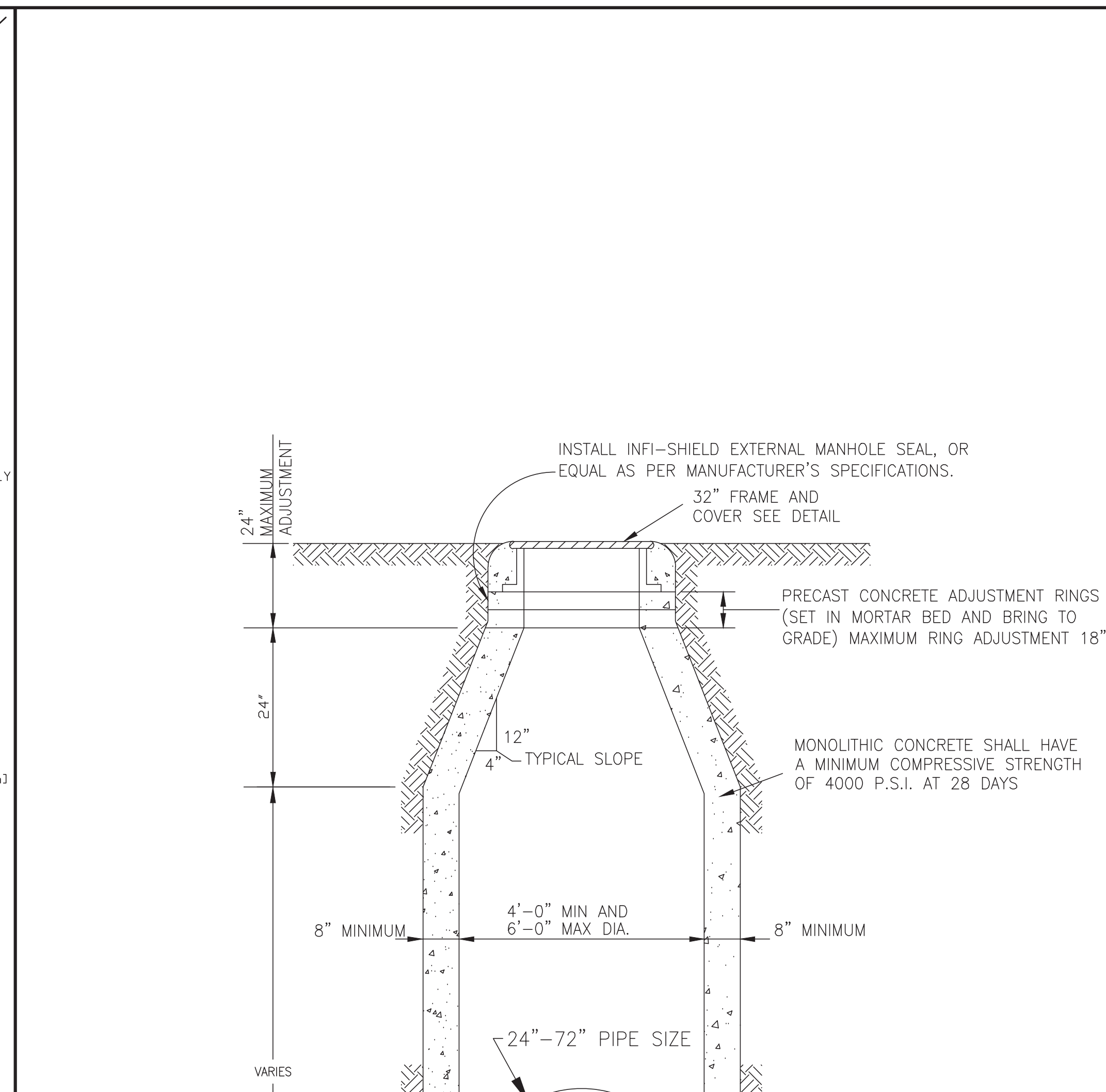
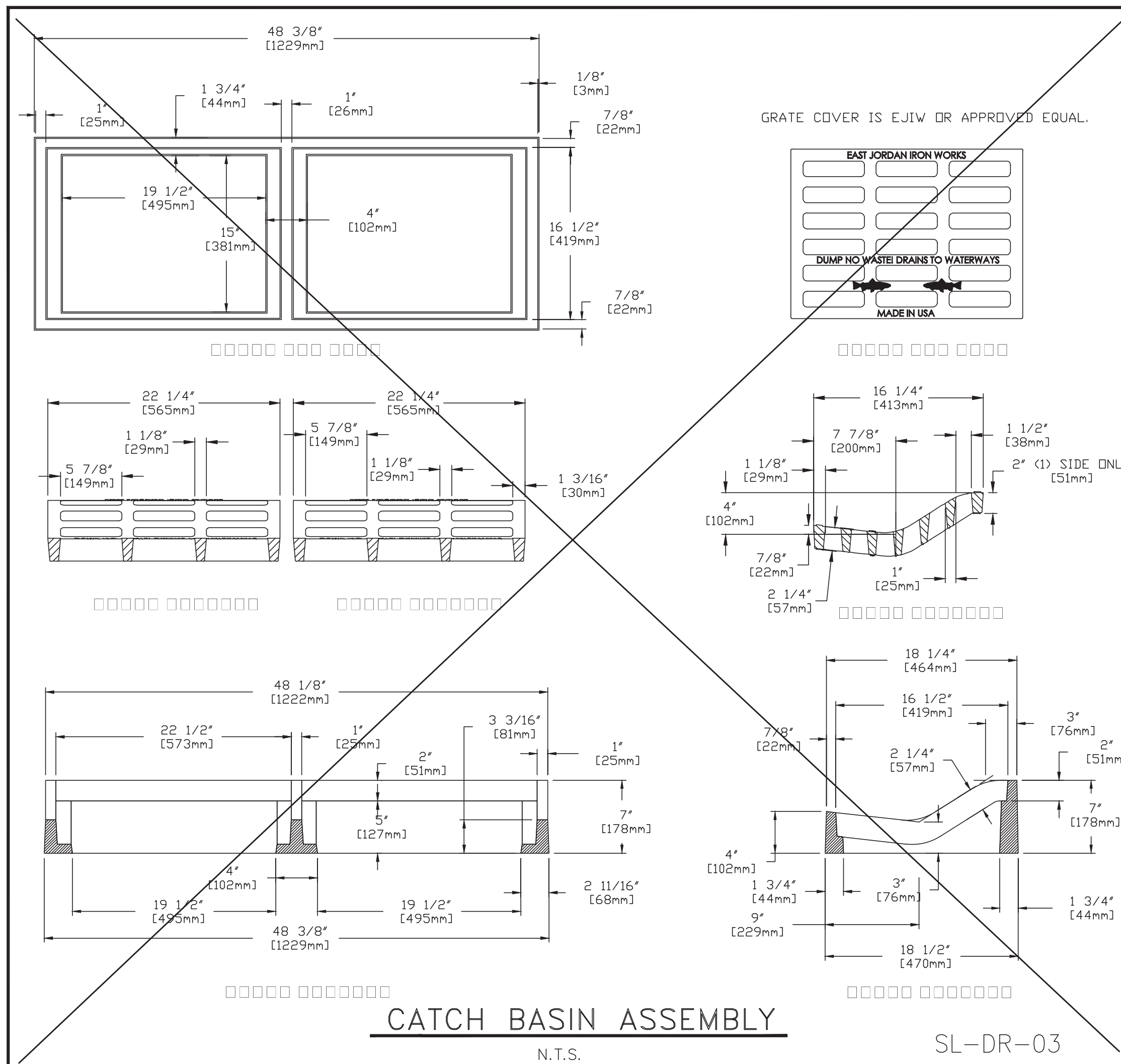
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515


MISCELLANEOUS DETAILS

PROJECT NO. 14396



DESIGN ENGINEER: _____ **DATE:** _____

SEAL:



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

STORM SEWER MANHOLE CONSTRUCTION DETAILS

REFER TO:

- GENERAL NOTES, C.S.S. & CONCRETE NOTES.
- STORM SEWER NOTES

JOB No.: _____ **DATE:** _____

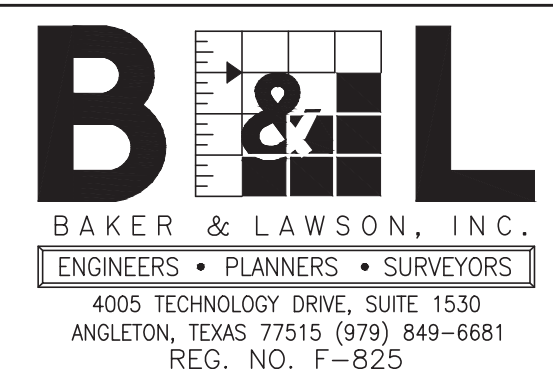
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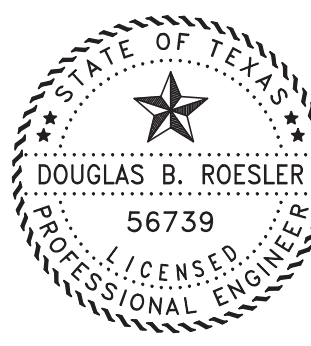
SL-03
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NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
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ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825



DOUGLAS B. ROESSLER
P.E. 56739
03-03-2023

OWNER:

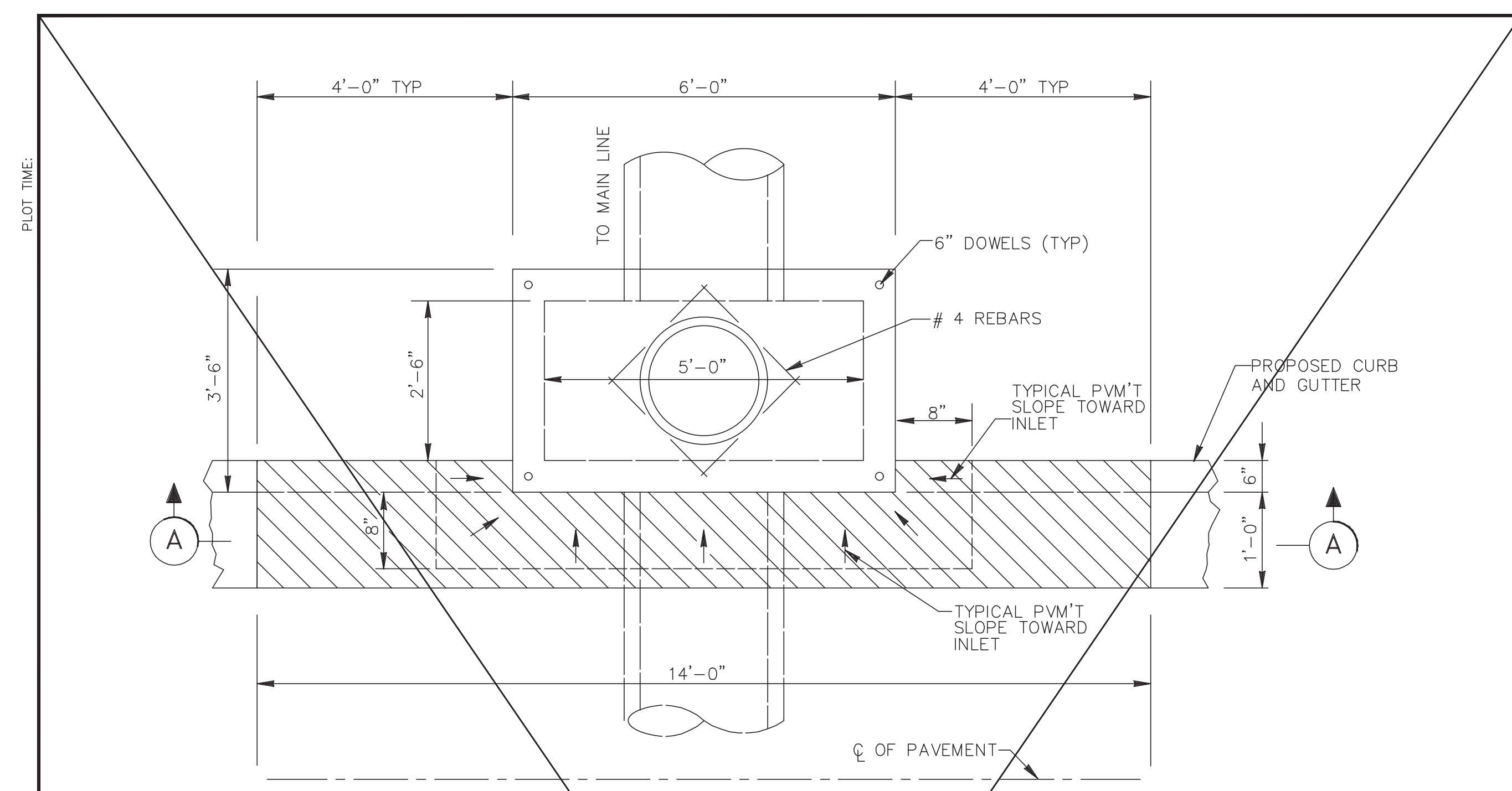
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

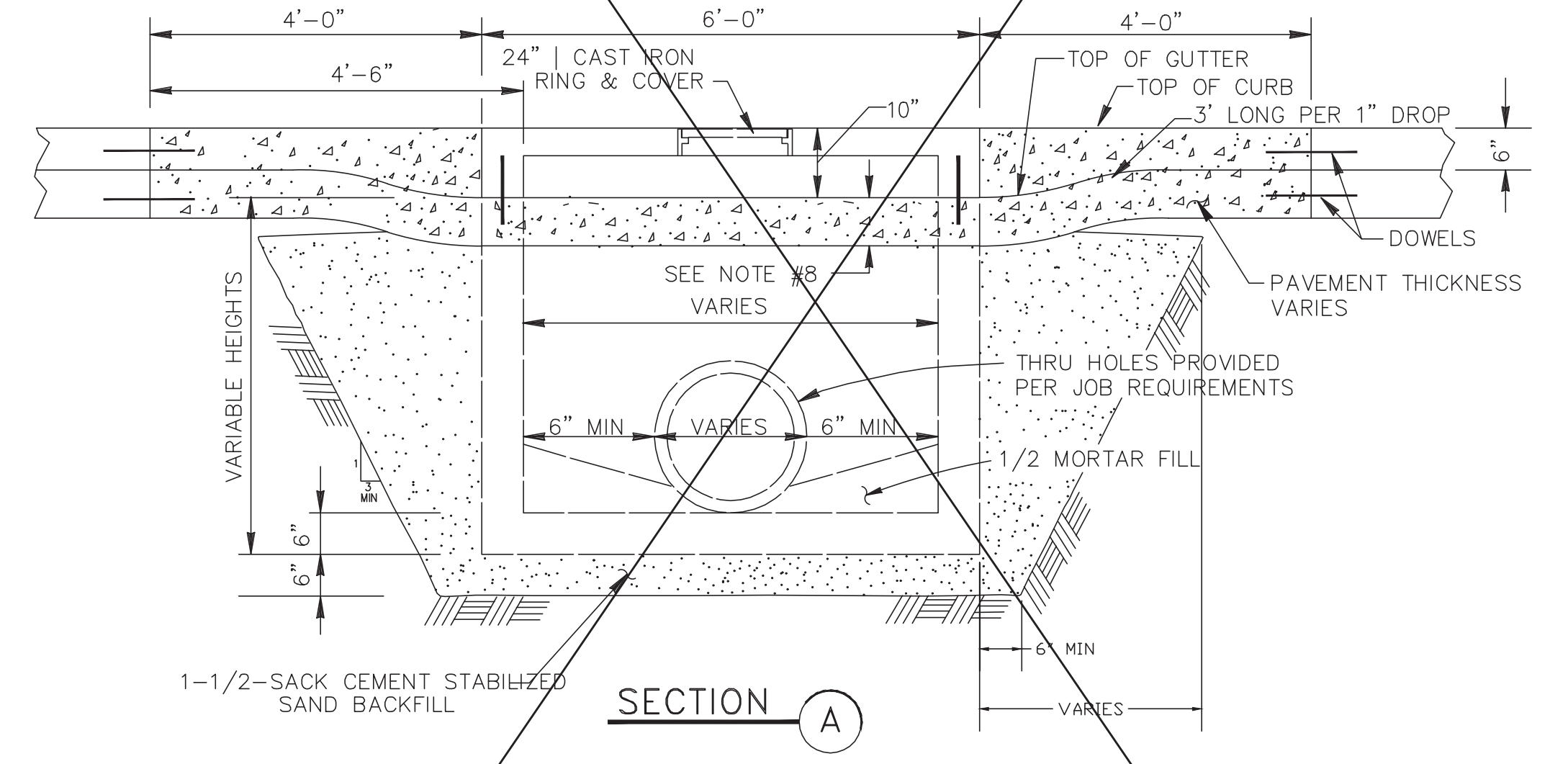
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER MANHOLE CONSTRUCTION DETAILS
SL-03

PROJECT NO.: 14396



PLAN

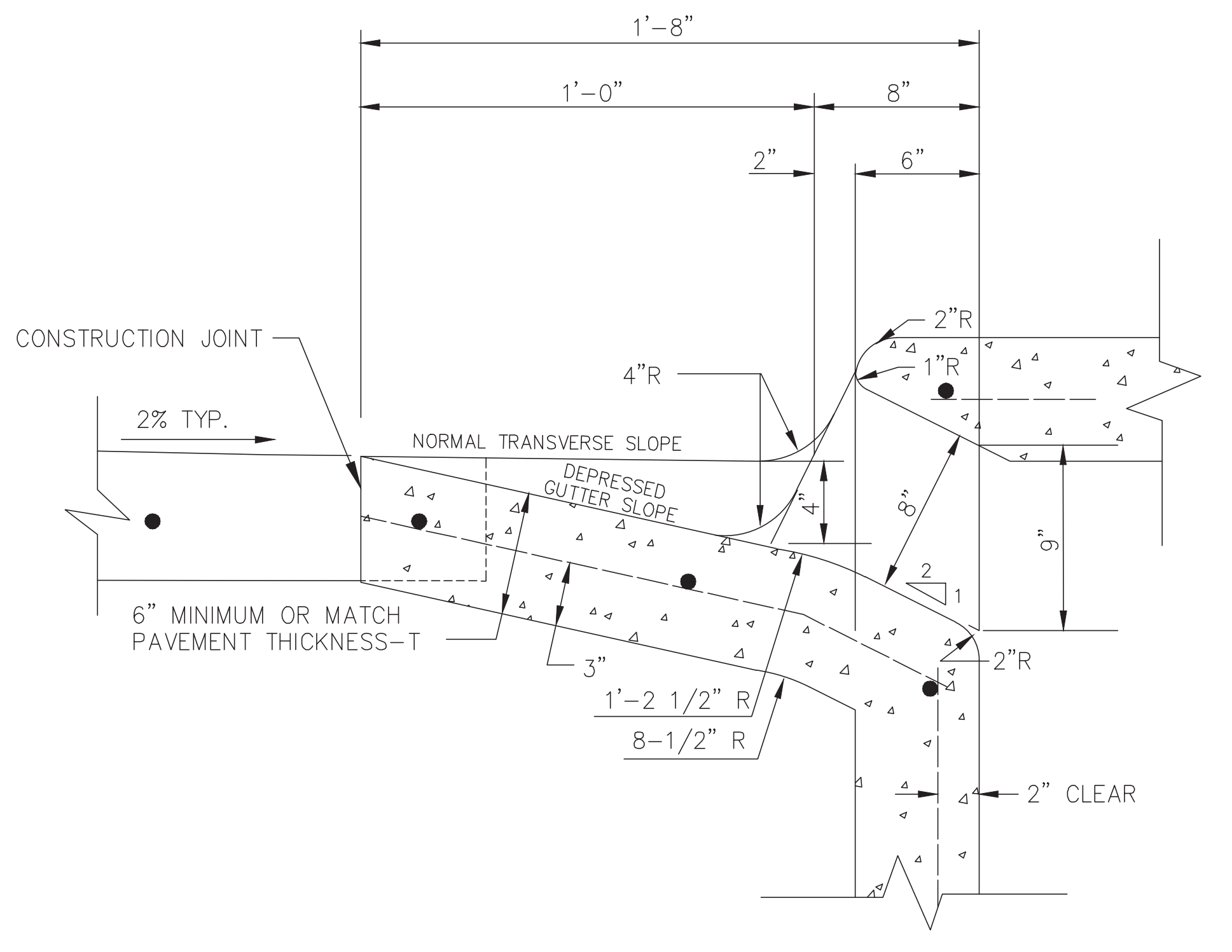


SECTION A

TYPE "H-2" INLET

SL-DR-25

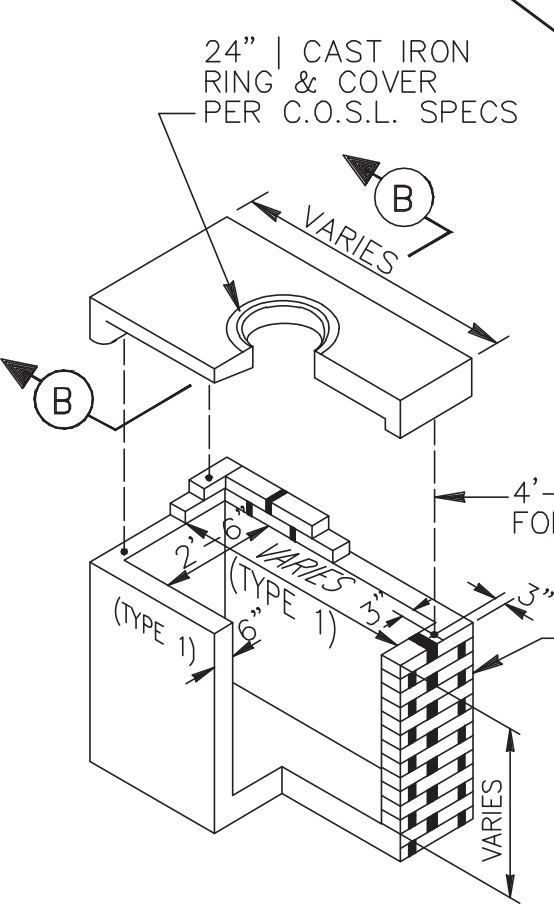
- NOTES:
1. INLET WALLS MAY BE EXTENDED USING PRECAST RISER SECTION.
 2. INLET TOPS MUST BE SECURED TO THE INLET WALL USING #6 DOWELS DRILLED AND GROUTED A MINIMUM DEPTH OF 5" INTO THE INLET WALL. A PLAN PREPARED BY THE MANUFACTURER MUST BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. THE PLAN SHOULD DETAIL CONNECTIONS AND SEALING OF JOINTS.
 3. PRECAST INLET TOPS SHALL NOT UTILIZE MULTIPLE ONE-FOOT SECTIONS TO ACHIEVE GRADE.
 4. INLET BACKFILL SHALL BE CEMENT STABILIZED SAND TO THE TOP OF THE INLET FIRST STAGE.
 5. GRADE 60 REINFORCEMENT. #4 STEEL REBAR TO CONFORM TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.
 6. PRECAST INLET MUST BE CONSTRUCTED TO SPECIFICATIONS REQUIRED BY APPROVED DRAWINGS. (SEE GENERAL NOTES).
 7. TOPS POURED-IN-PLACE REQUIRE #4 REBAR @ 12" C-C EACH WAY, 4,500 PSI CONCRETE MINIMUM AND 3" THICK MINIMUM.
 8. PAVEMENT DEPTH AT INLET SHALL BE EQUAL TO OR GREATER THAN REQUIRED PAVEMENT DEPTH.
 9. DEPRESS GUTTER TO INLET.
 10. ALL SIDES OF ALL INLETS MUST BE COMPACTED.
 11. REFER TO GEOTECHNICAL REPORTS FOR RECOMMENDED TRENCH SIDE SLOPES.



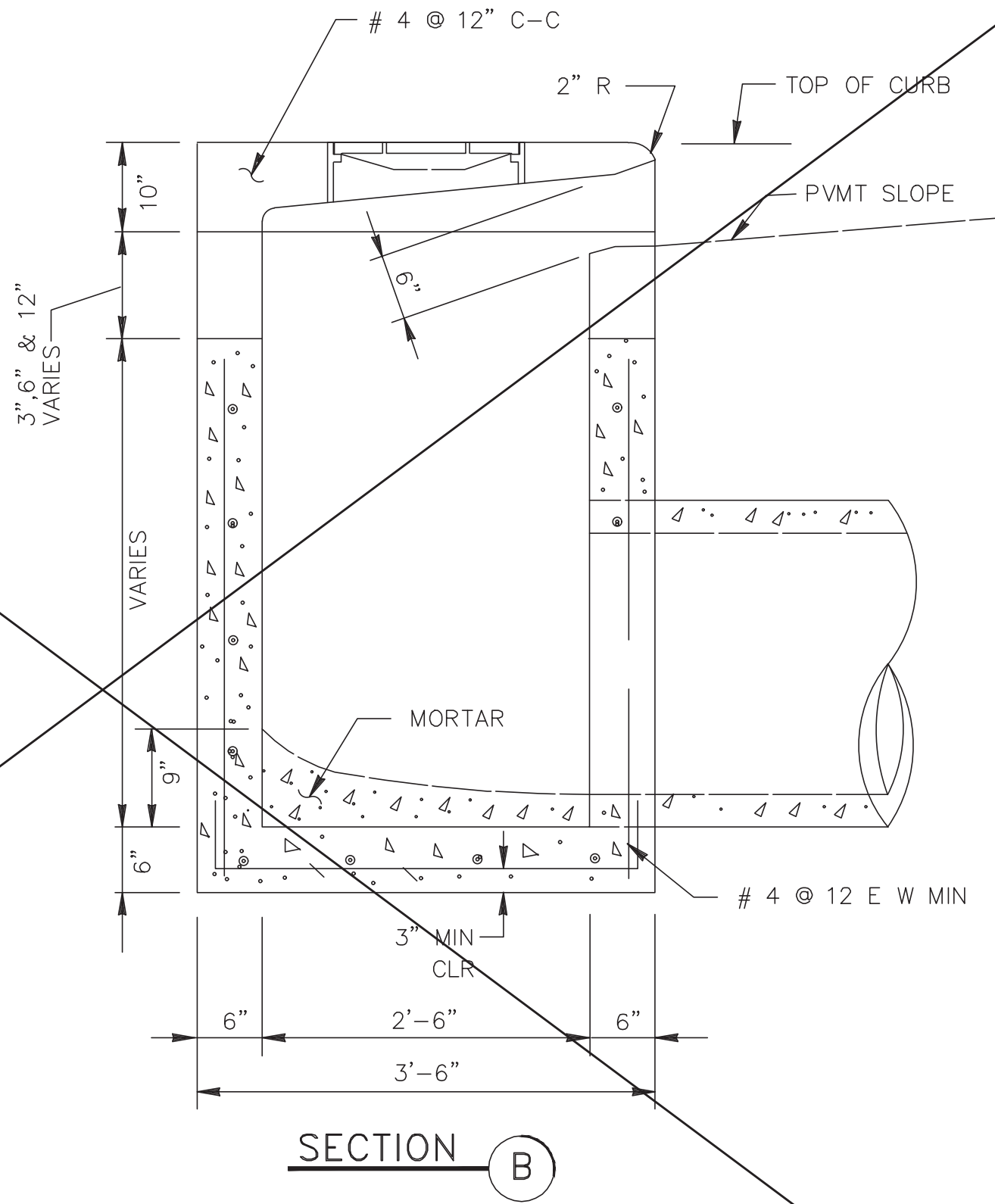
THROAT DETAIL FOR STANDARD INLETS ON CONCRETE STREETS

SCALE: N.T.S.

SL-DR-40



NOTE:
REFER TO INSTALLATION FOR TYPE H-2 5'-0" CURB INLET ON PAVING DETAIL SHEET



SECTION B

TYPE "H-2" PRECAST INLET

N.T.S.

SL-DR-26

REFER TO:

1. GENERAL NOTES
2. SEE C.S.S., PAVEMENT NOTES

NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

STORM SEWER INLET CONSTRUCTION DETAILS II

JOB No.: SL-08
DATE DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

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CAD FILE PATH:
PLOT DATE:

NO.	DATE	DESCRIPTION	APPROVED

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DRAWN BT
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DATE

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REG. NO. F-825

STATE OF TEXAS
DOUGLAS B. ROESLER
56739
LICENSED PROFESSIONAL ENGINEER

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03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

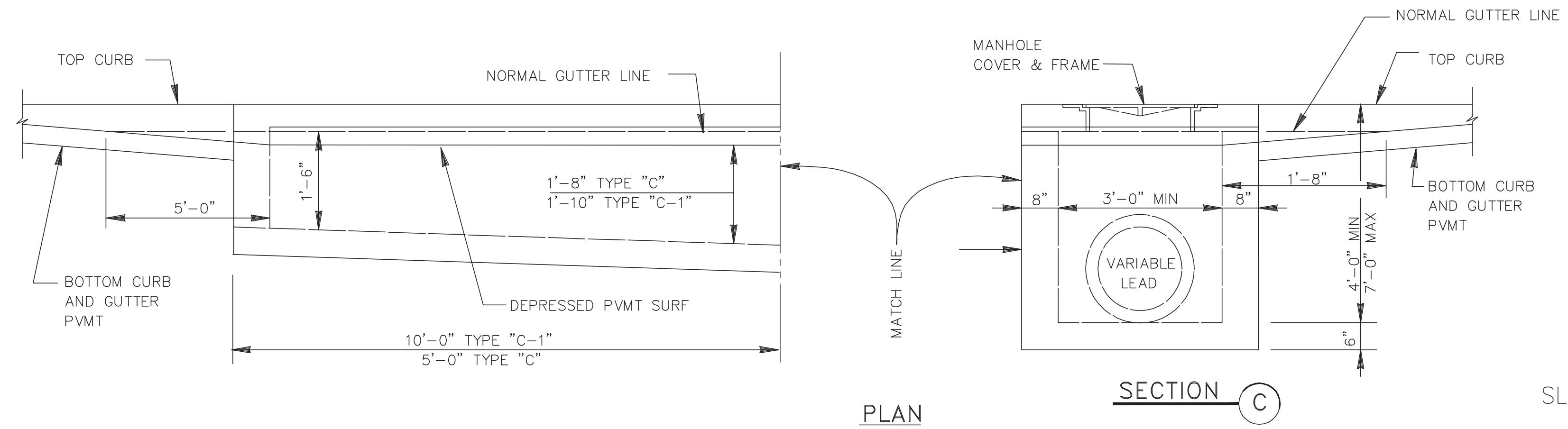
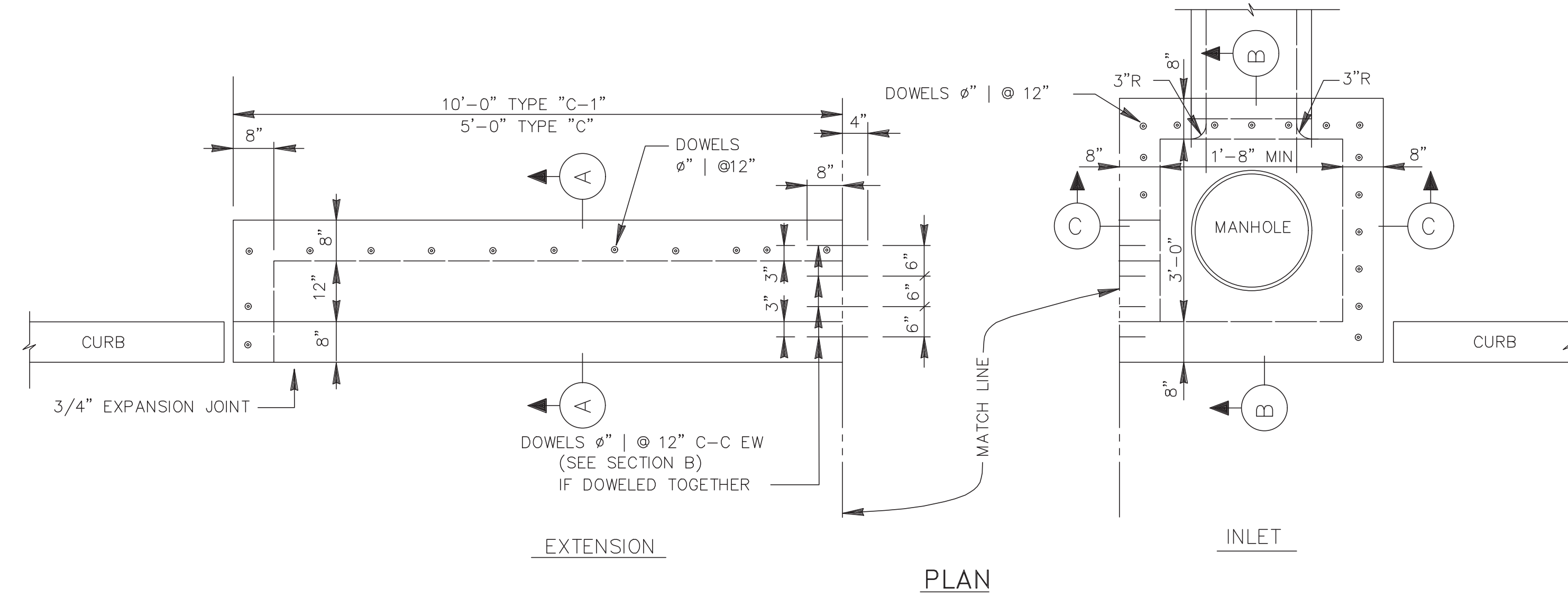
STORM SEWER INLET CONSTRUCTION DETAILS II
SL-08
PROJECT NO. 14396

GENERAL NOTES:

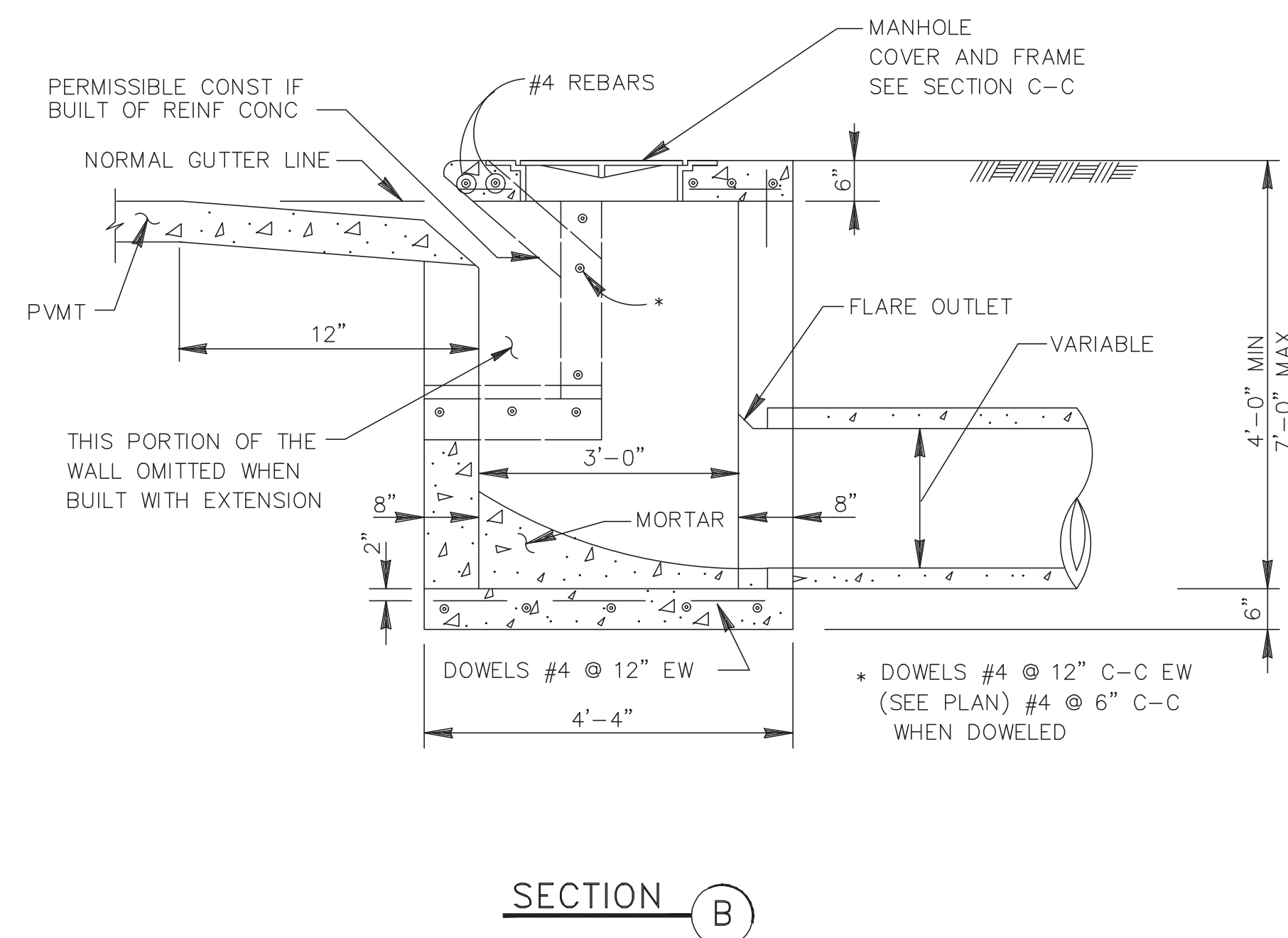
TYPE "C" INLET WITH ONE EXTENSION
TYPE "C-1" INLET WITH DOUBLE EXTENSION
TYPE "C-2" INLET WITH EXTEN. ON EACH SIDE
TYPE "C-2A" INLET WITH NO EXTENSION

NOTES:

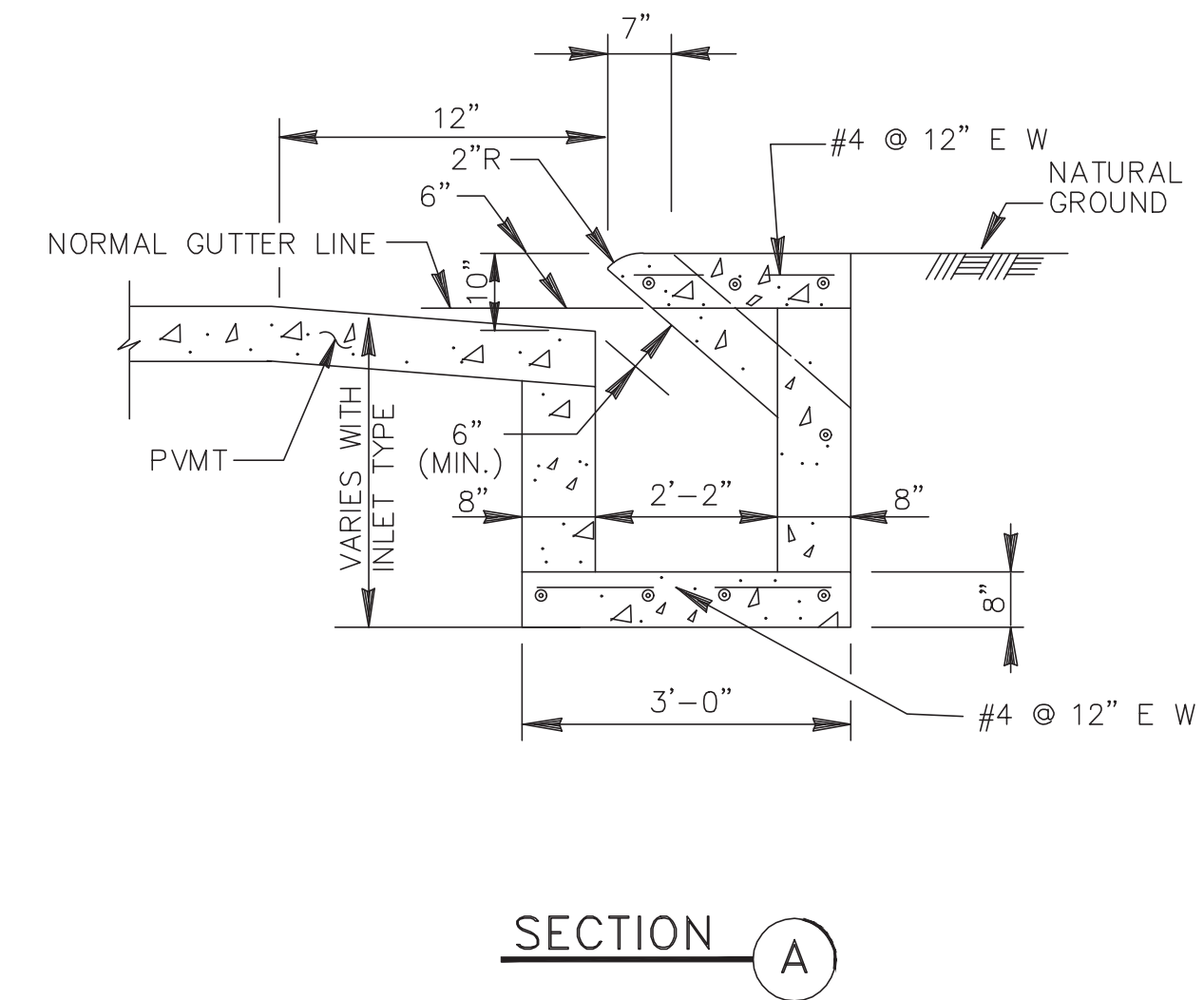
1. FOR TYPE "C-1" INLETS PROVIDE A CENTER 6"x6" COLUMNS IN THE CURB LINE BETWEEN ALL EXTENSIONS.
2. WALLS TO BE 8" IF BUILT WITH REINFORCED CONCRETE. BRICK WALLS ARE NOT ALLOWED.



SL-DR-27



SECTION B



SECTION A

TYPE "C" INLET

N.T.S.

SL-DR-28


REFER TO:

1. GENERAL NOTES
2. STORM SEWER NOTES

No.	DATE	REVISION

SEAL: _____ DATE _____

DESIGN ENGINEER: _____

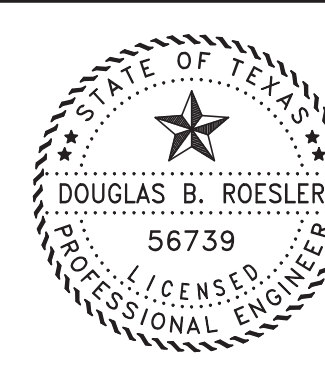

 CITY OF SUGAR LAND, TEXAS
 ENGINEERING DEPARTMENT
 CONSTRUCTION PLANS FOR:
**STORM SEWER INLET
 CONSTRUCTION DETAILS III**

JOB No.: _____	SL-09
DATE: _____	
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CHECKED BY: _____	
SCALE: _____	SHEET OF _____

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DOR 03-03-2023

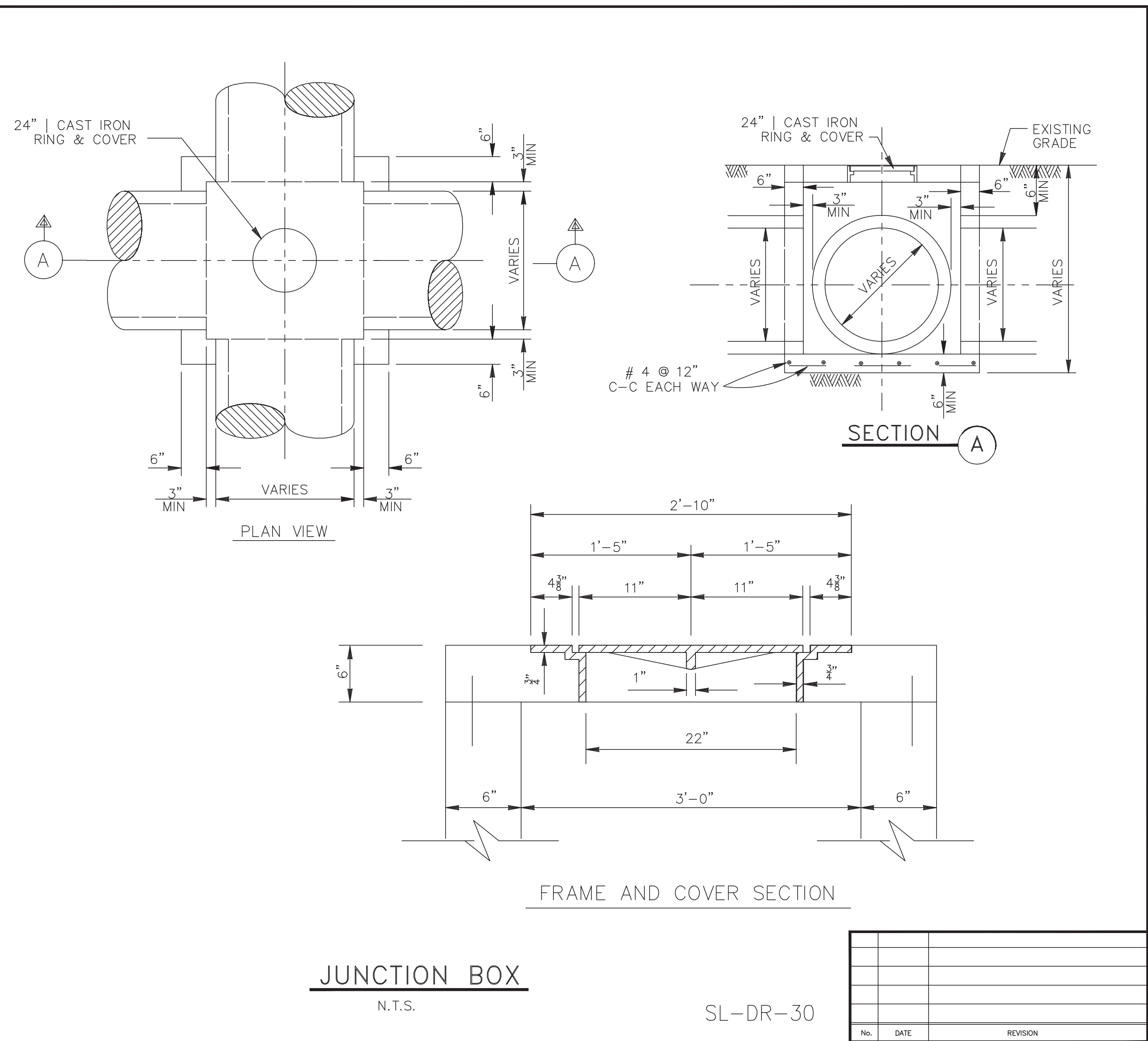
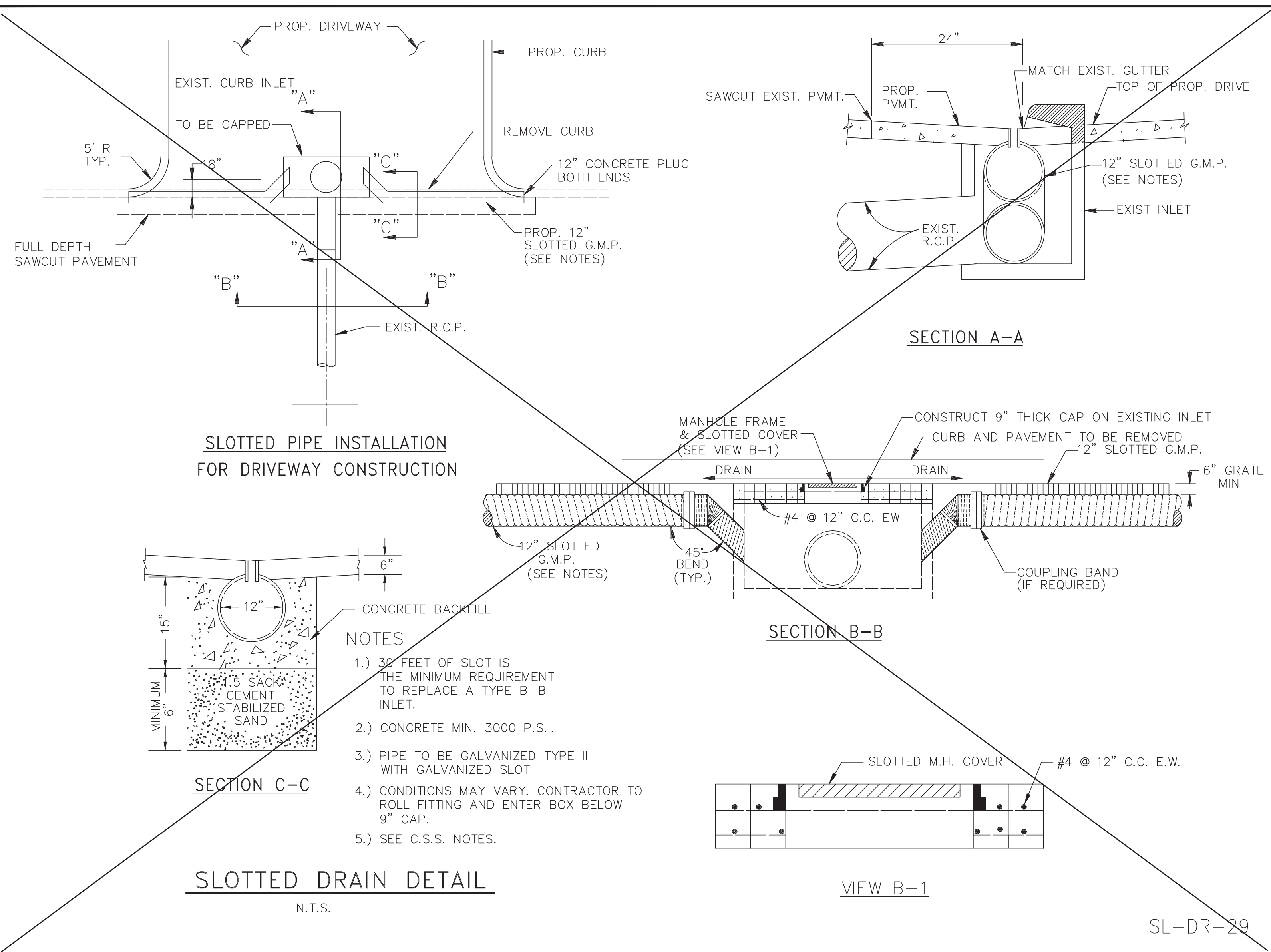
OWNER:
RIVERWAY PROPERTIES
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HOUSTON, TEXAS 77057

PLAN: _____
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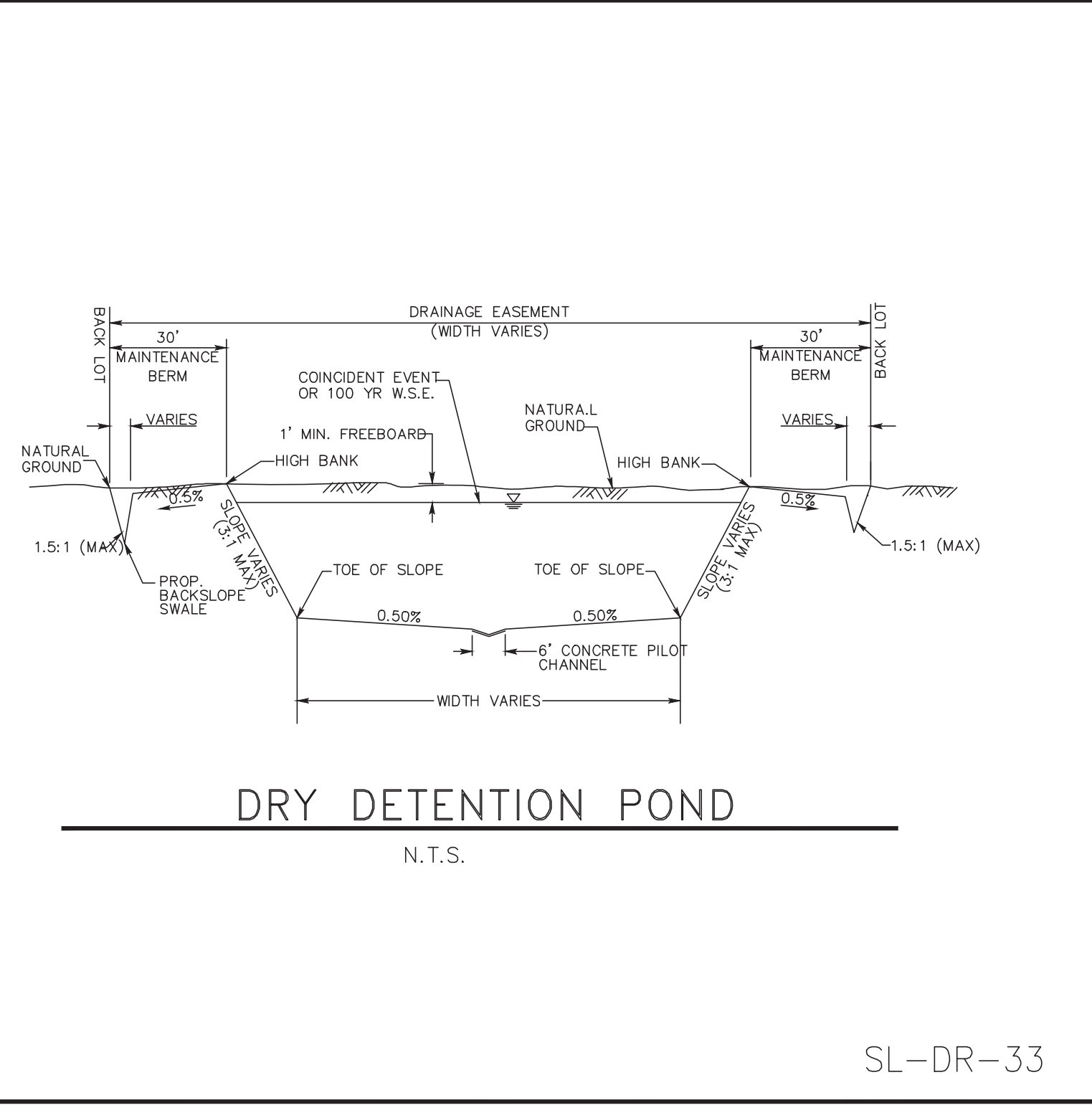
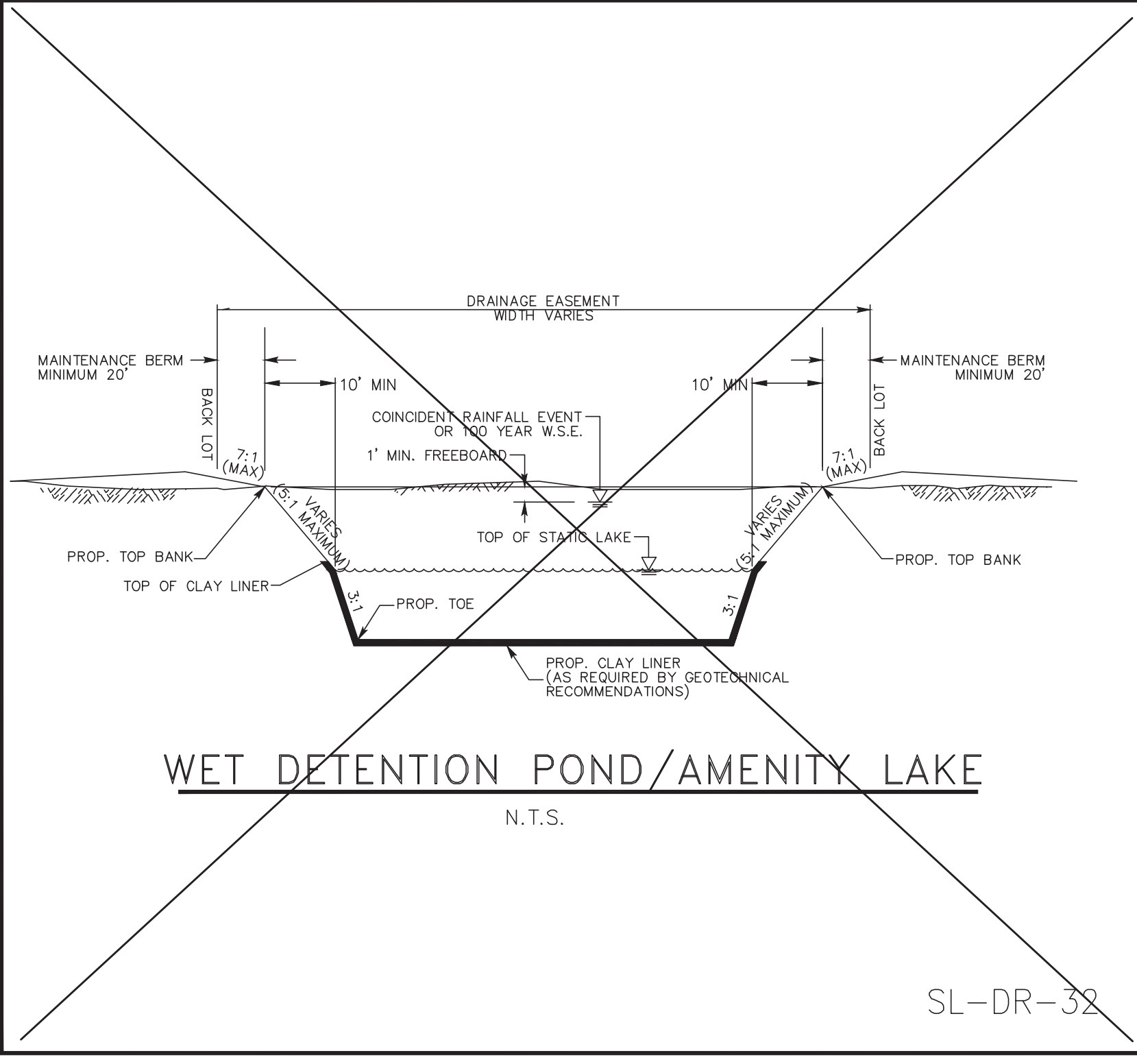
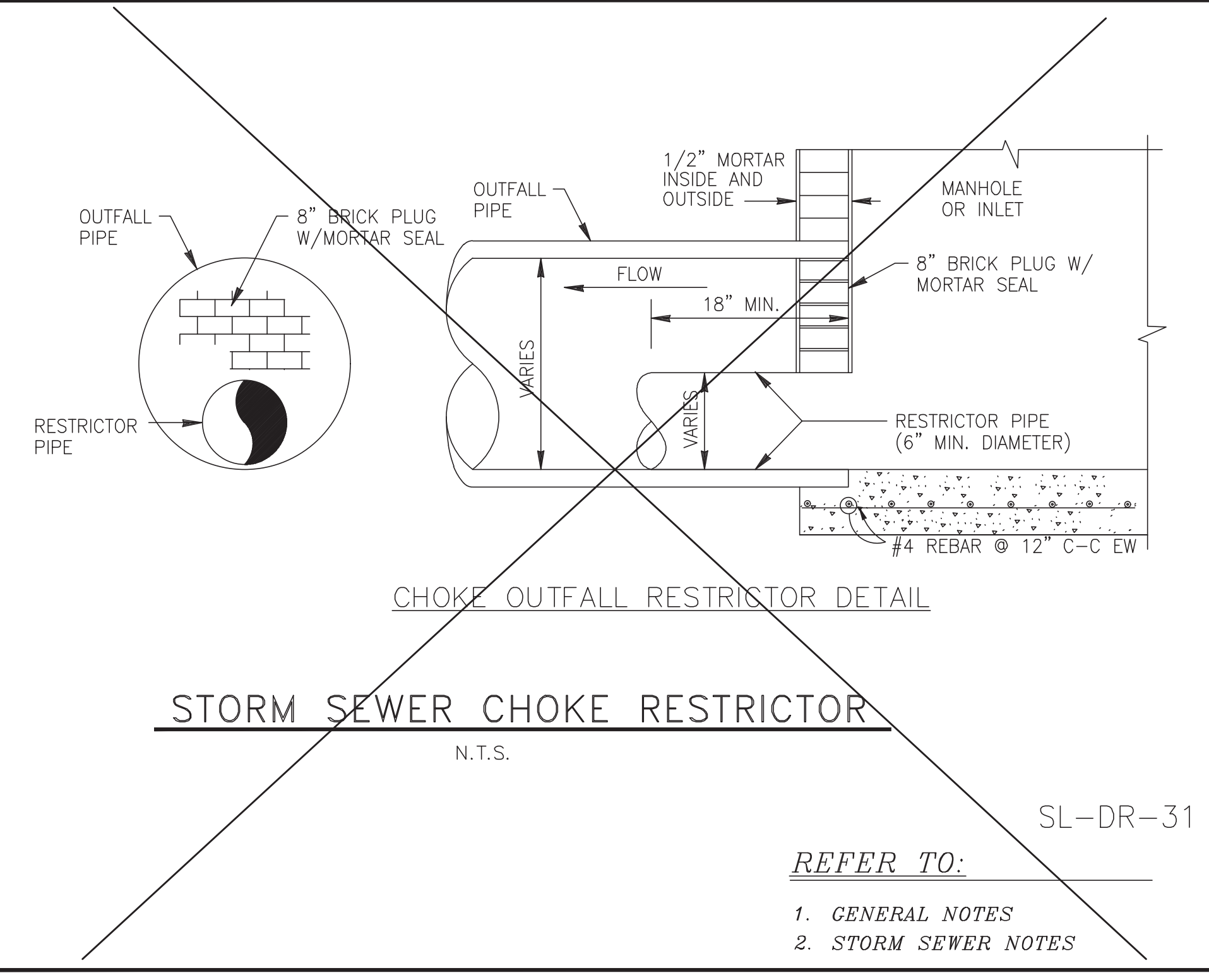
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515


STORM SEWER INLET
 CONSTRUCTION DETAILS III
 SL-09

PROJECT NO. 14396



NO.	DATE	REVISION

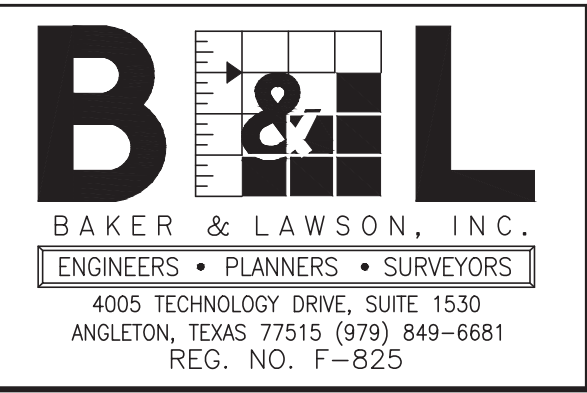
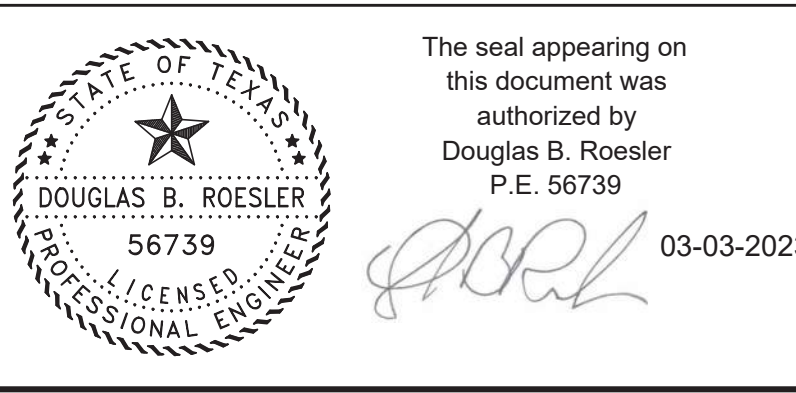


SEAL:	DATE
DESIGN ENGINEER:	DATE
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT	
CONSTRUCTION PLANS FOR:	
STORM SEWER CONSTRUCTION DETAILS	
JOB No.: DATE: DRAWN BY: CHECKED BY: SCALE:	SL-10 SHEET OF

REFER TO:
 1. GENERAL NOTES
 2. STORM SEWER NOTES

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DESIGNED DR
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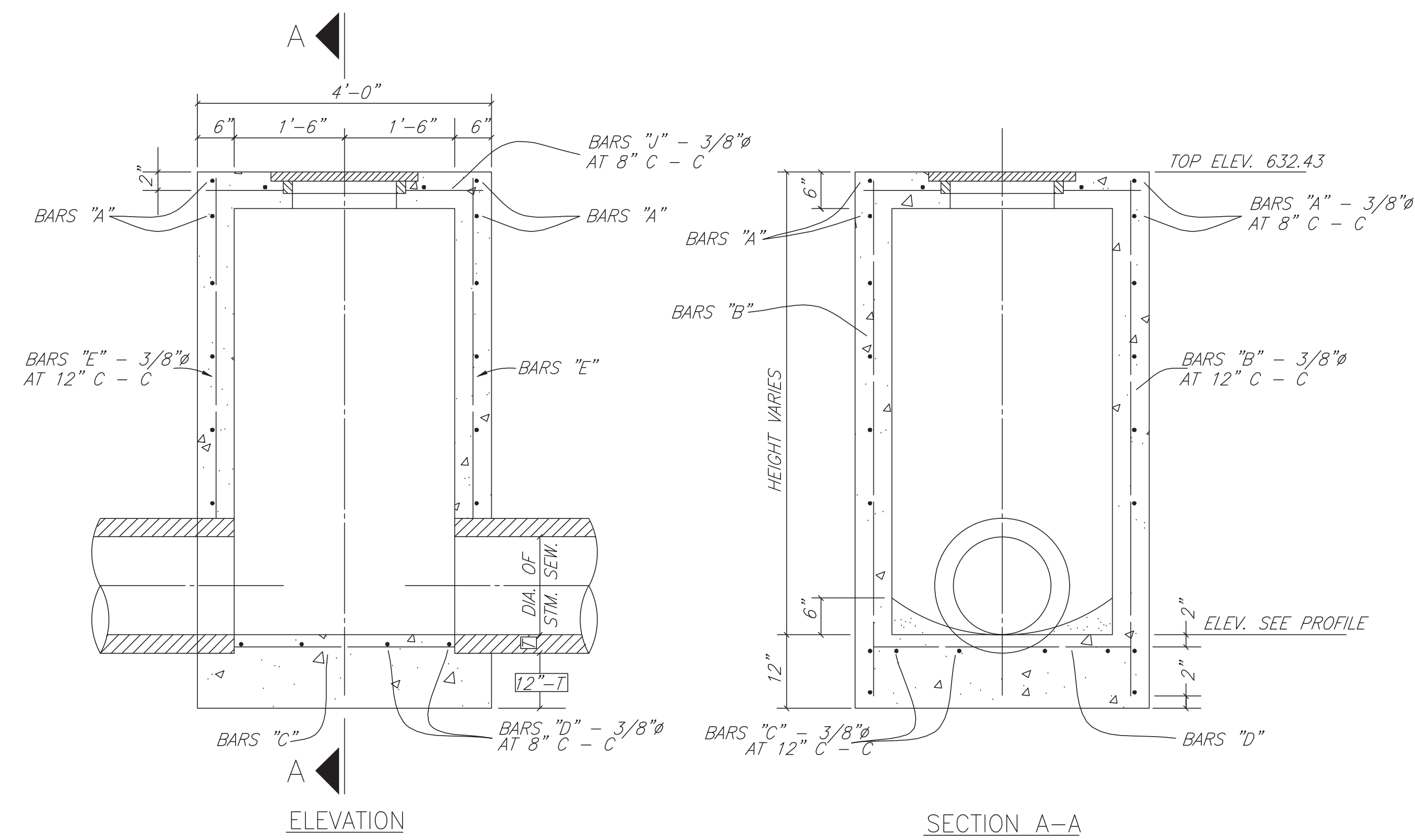



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RIVERWAY PROPERTIES
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HOUSTON, TEXAS 77057

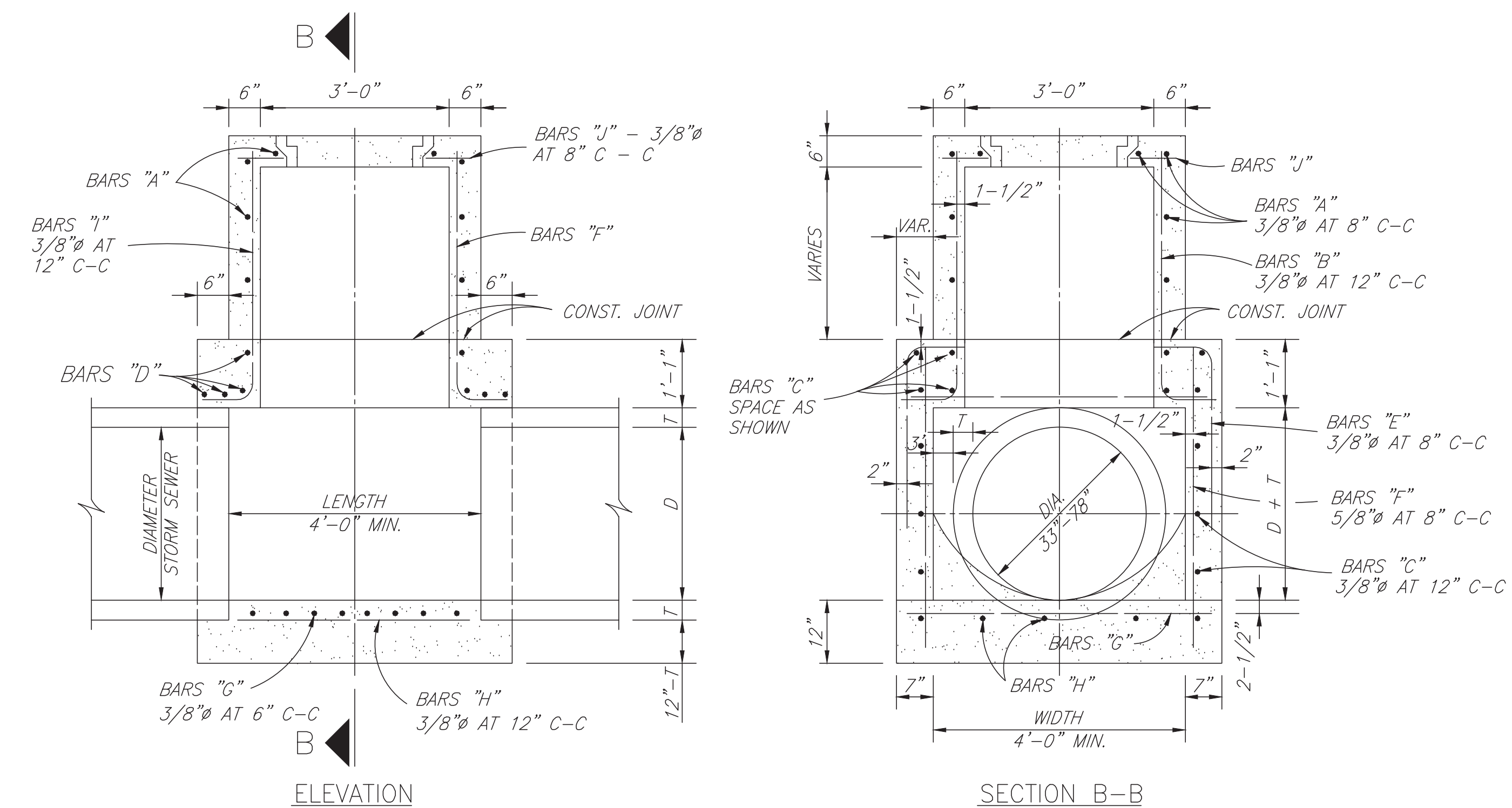
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 PROFILE: _____
 HORIZONTAL: _____
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515


STORM SEWER
 CONSTRUCTION DETAILS
 SL-10
 PROJECT NO. 14396



STORM SEWER TYPE A MANHOLE
MAX. PIPE SIZE 30" - N.T.S.

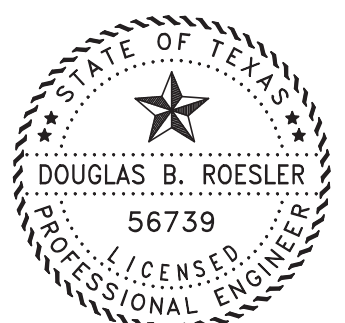


TYPE B STORM SEWER MANHOLE
MAX. PIPE SIZE 78" - N.T.S.

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
JUNCTION BOX MANHOLES		
JOB No.:	DATE:	SL-11
DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	SHEET	OF

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DRAWN	BT		
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 03-03-2023

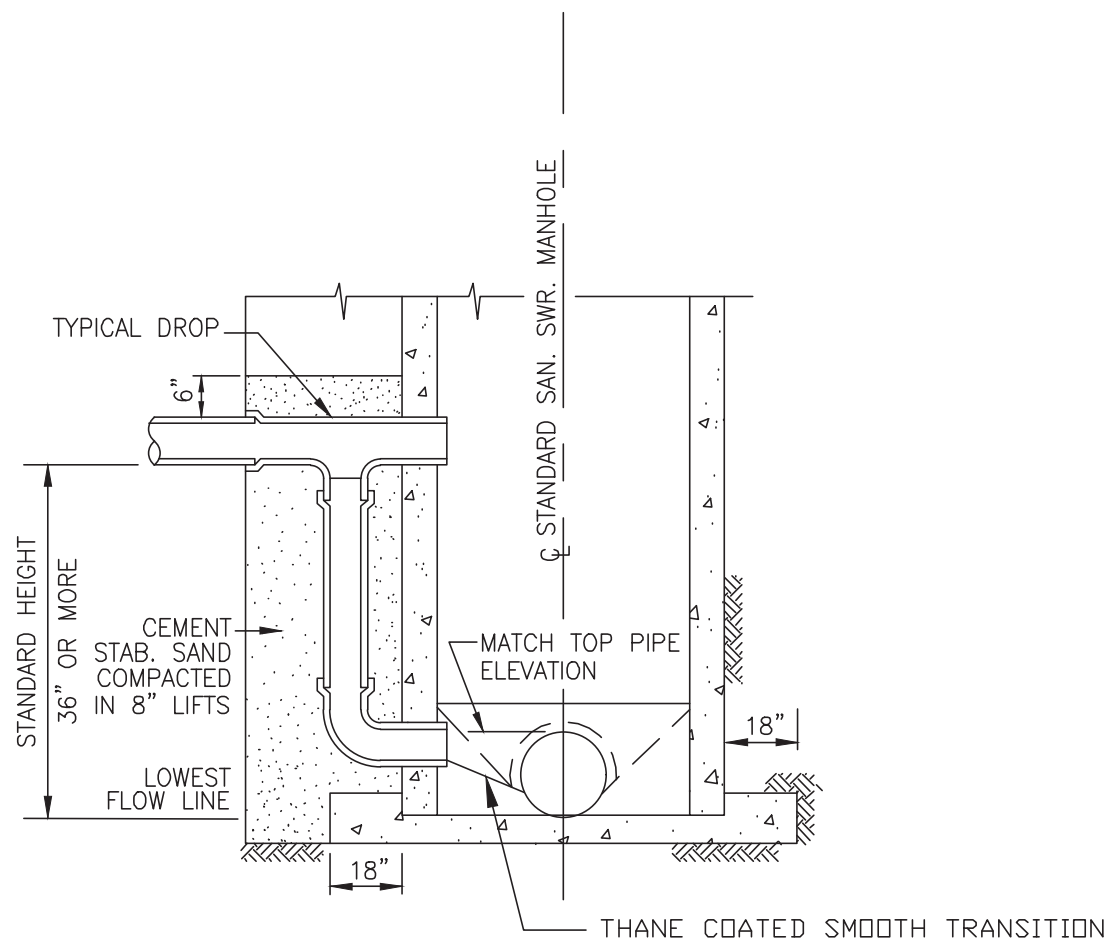
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 HOUSTON, TEXAS 77057

PLAN: _____
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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

JUNCTION BOX MANHOLES
 SL-11

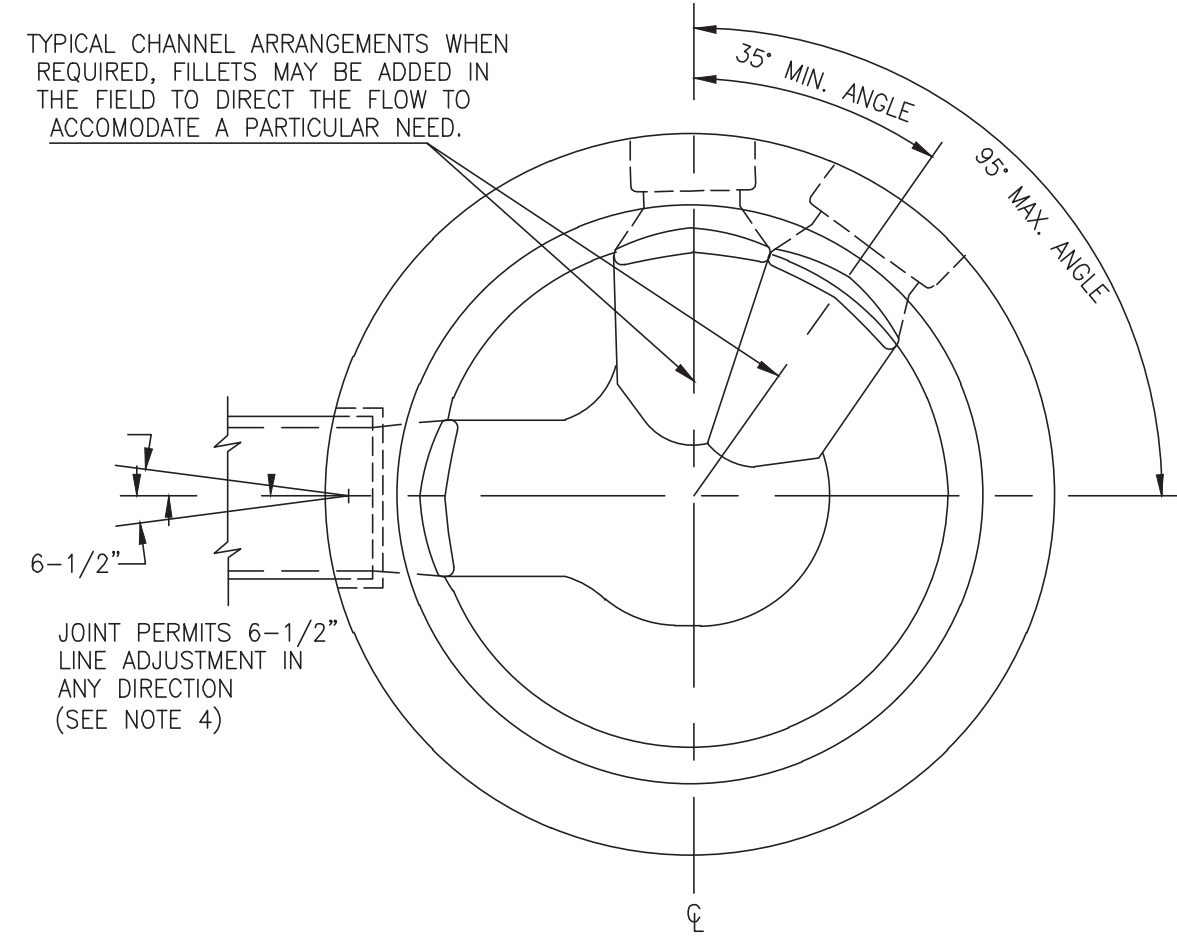
PROJECT NO. 14396



STANDARD DROP DETAIL

(SEE C.S.S. NOTES)

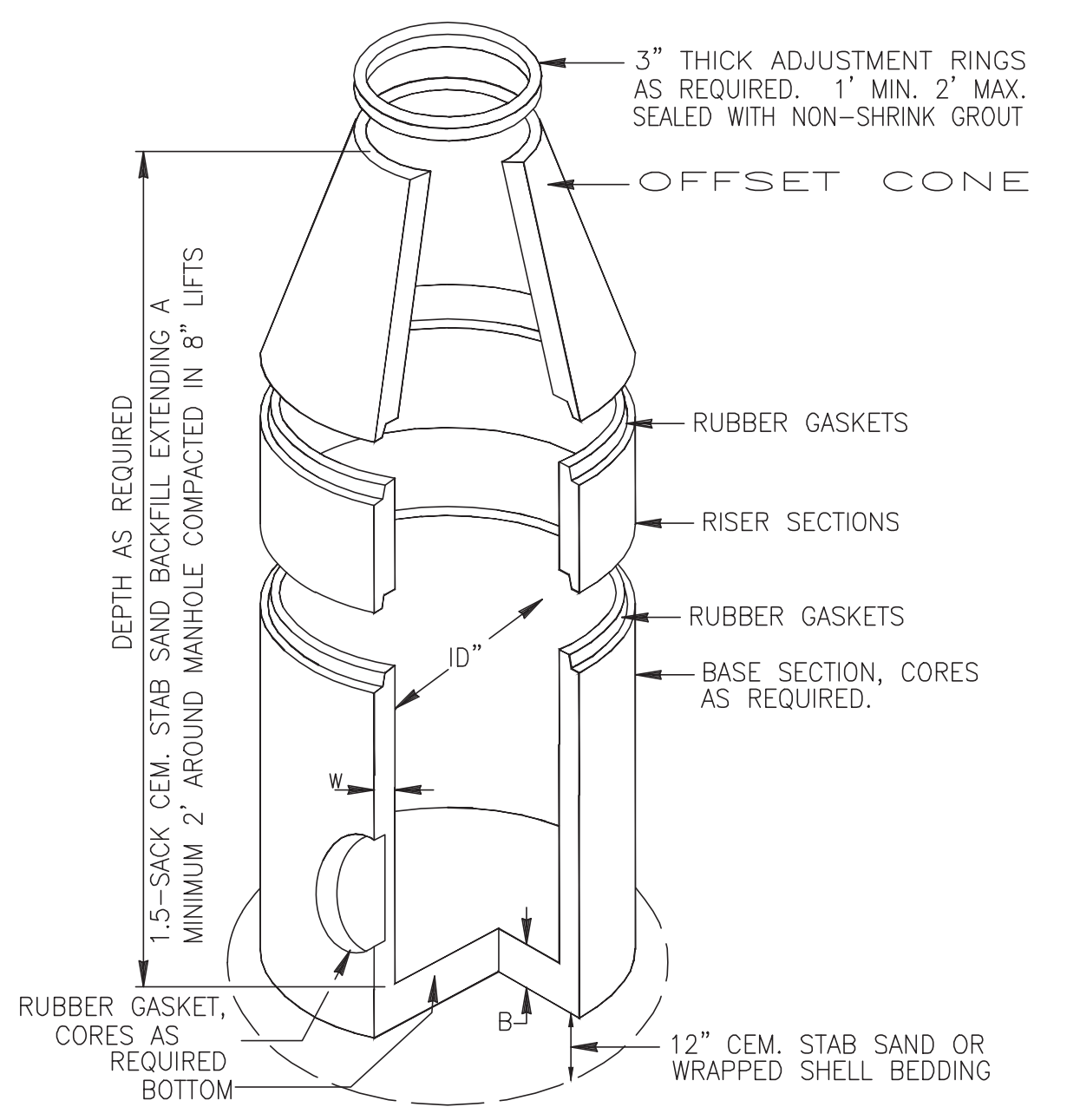
SL-SS-05



PIPING CONNECTIONS DETAIL

SL-SS-05

- NOTE:**
1. INFLUENT AND EXFLUENT PIPING CONNECTIONS TO MANHOLE SHALL BE ALIGNED TO PREVENT REVERSE FLOW.
 2. INFLUENT AND EXFLUENT CONNECTIONS ARE LIMITED TO A MAXIMUM 90° INCLUDED ANGLE OF CONVERGENCE.
 3. MINIMUM 35° AND MAXIMUM 90° INCLUDED ANGLES MUST BE PROVIDED BETWEEN MULTIPLE INFLUENT CONNECTIONS.
 4. ANGLE OF DEFLECTION AT PIPING JOINTS AS PER MANUFACTURE'S RECOMMENDATIONS.



SPECIFICATIONS:

- CONCRETE: CLASS 1 CONCRETE WITH A DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. RATES FOR H-20 LOADING.
- REINFORCEMENT: STRUCTURAL REINFORCEMENT CONFORMING TO ASTM-C-478.
- C.I. CASTINGS: CAST IRON FRAMES AND LIDS ARE MANUFACTURED OF GREY CAST IRON CONFORMING TO ASTM A48-76 CLASS 35.

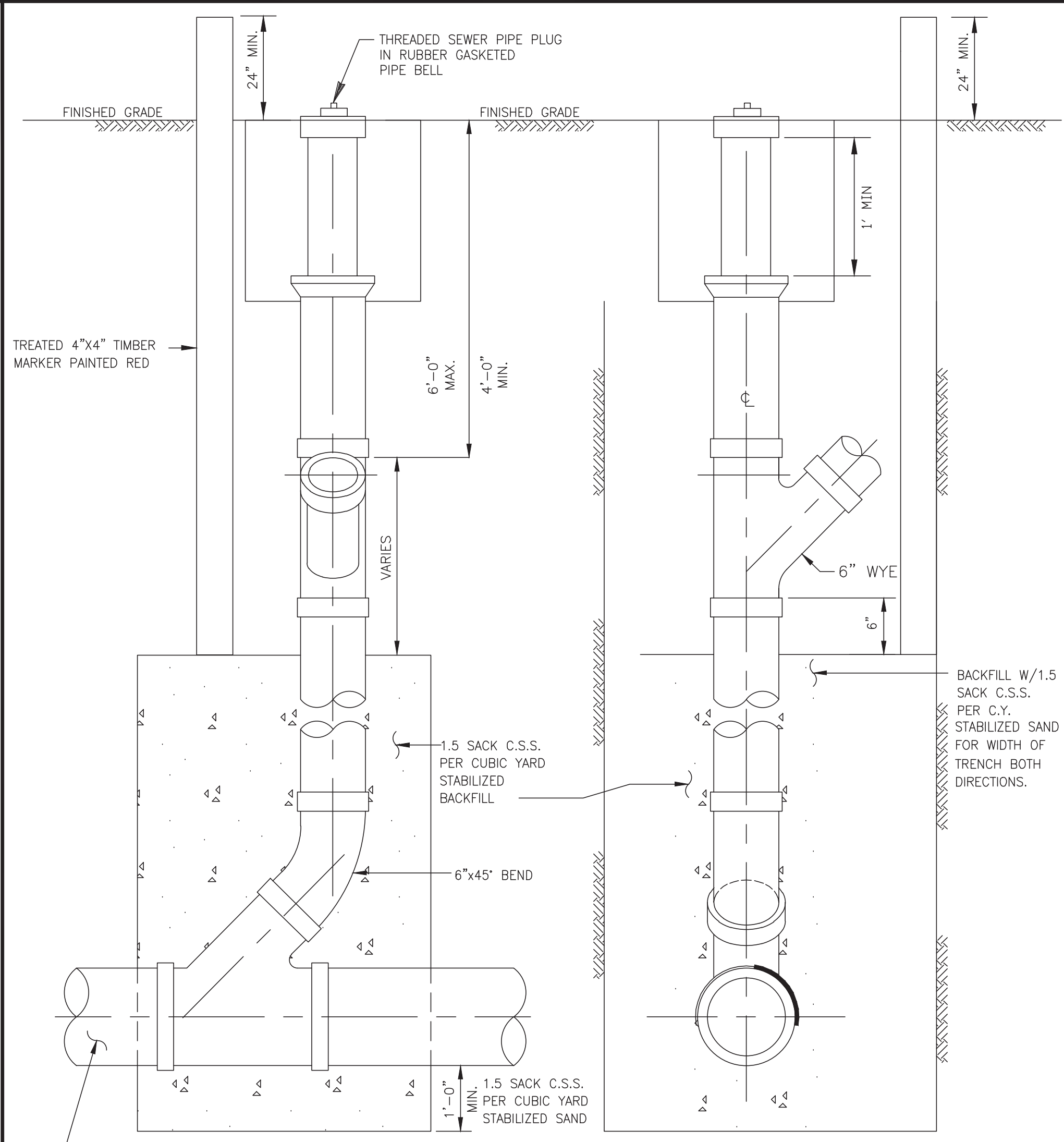
NOTES

1. LIFTING INSERTS AS REQUIRED.
2. ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET
3. STRUCTURE TO BE PLACED ON 12" STABILIZED BASE.
4. C.S.S. SHALL BE BROUGHT TO WITHIN 2'-FT OF TOP OF MANHOLE.
5. PRE-CAST MANHOLE SHALL BE IN COMPLIANCE APPROVED PRODUCT LIST.
6. THANE COAT SHALL BE IN COMPLIANCE WITH APPROVED PRODUCT LIST.
7. INVERTS SHALL COMPLY WITH C.O.S.L., DESIGN MANUAL SPECIFICATIONS.
8. INFLOW PROTECTORS REQUIRED ON ALL SANITARY MANHOLES.
9. REFER TO SANITARY MANHOLE LIDS, C.S.S. NOTES, MODIFIED BEDDING DETAILS AND NOTES.

PRECAST SANITARY MANHOLE

N.T.S.

SL-SS-03



TRENCH SIDE VIEW TRENCH END VIEW STACK DETAIL

N.T.S.

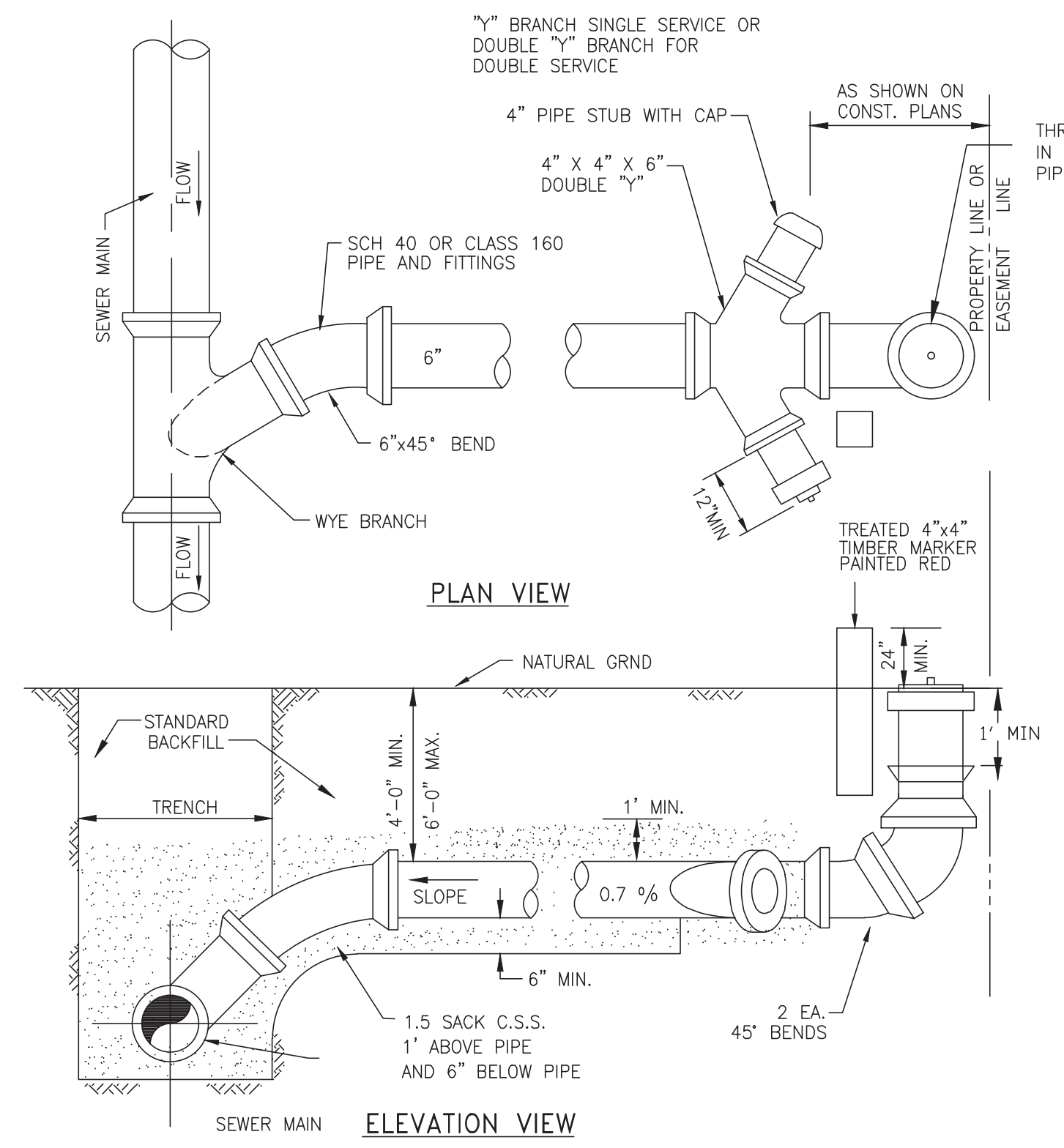
SL-SS-04

- NOTES:**
- A.) NO STACKS ON MAINS OVER 16' DEEP OR IN WET SAND CONDITIONS.
 - B.) ALL STACK CONNECTIONS SHALL BE IN-LINE FITTINGS.

NOTES:

1. CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
2. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
3. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF FOUR FOOT FROM BACK OF CURB ON CURB AND GUTTER ROADWAYS AND THREE FEET FROM EDGE OF TRAVELLED ROADWAY ON THOSE THOROUGHFARES HAVING NO CURBING, MEASURED FROM OUTSIDE DIAMETER OF MANHOLE. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE SPECIFICALLY AUTHORIZED BY CITY ENGINEER AND SO DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS.
4. ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF SUGAR LAND EMBLEM AND THE WORDS "SUGAR LAND" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS SHEETS. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS.
5. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER FINAL GRADING. ADJUSTMENTS TO MANHOLE RIM ELEVATIONS SHALL BE ACCOMPLISHED BY THE USE OF THROAT RINGS ONLY (MAX. OF 24 INCHES PERMITTED). THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM.
6. DROP CONNECTIONS ARE REQUIRED WHEN INVERT ELEVATION OF SEWER LINE TO BE CONNECTED EXCEEDS 36 INCHES DISTANCE ABOVE INVERT ELEVATION OF MANHOLE BASE. ALL DROP CONNECTIONS SHALL BE CONSTRUCTED OF SAME MATERIALS AS SEWER AND SHALL BE CONSTRUCTED EXTERIOR TO MANHOLE. PIPE CONNECTIONS TO MANHOLES SHALL BE SO CONSTRUCTED AS TO BE WATERTIGHT AND TO ALIGN UPPER INSIDE PIPE WALL ELEVATIONS OF ALL PIPING CONNECTED TO BASE OF MANHOLE UNIFORMLY, REGARDLESS OF PIPE DIAMETERS. DROP ASSEMBLIES SHALL BE BEDDED IN CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL EXTEND A MINIMUM OF SIX INCHES PAST PIPING LATERALLY FROM BASE OF MANHOLE UPWARD TO A POINT SIX INCHES (MINIMUM) ABOVE THE HORIZONTAL SEWER PIPING WHERE CONNECTED TO THE MANHOLE ABOVE THE VERTICAL DROP.
7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECORED HOLES OF CORRECT DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHISELS AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT STATIONS.
8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.
9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
10. SANITARY SEWER SERVICE LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE.
11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB", "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.
13. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY INFRASTRUCTURE STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY NOTIFY THE CITY OF ALL CONSTRUCTION ACTIVITIES AND TO CONFORM TO CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT INSPECTION POLICY.
14. C.S.S. 1' ABOVE PIPE AND 6" BELOW PIPE MINIMUM.
15. SEE GENERAL NOTES AND C.S.S. NOTES.

SL-SS-07



SANITARY SEWER SERVICE CONNECTION

N.T.S.

SL-SS-06

No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

SEAL: _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:
SANITARY SEWER CONSTRUCTION DETAILS

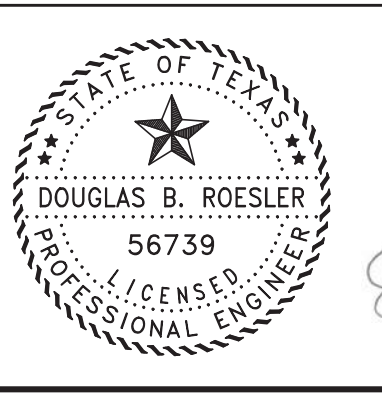
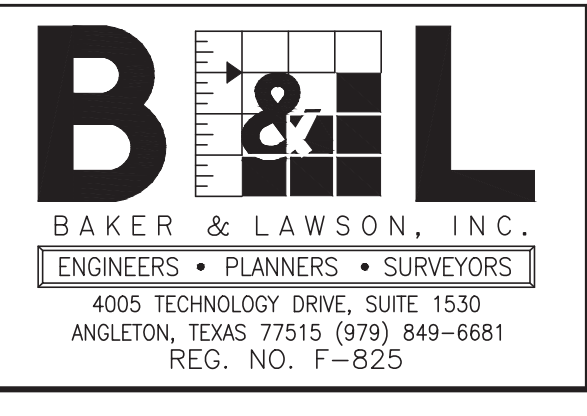
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SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

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DRAWN: BT
CHECKED: _____
DATE: _____



The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739

[Signature] 03-03-2023

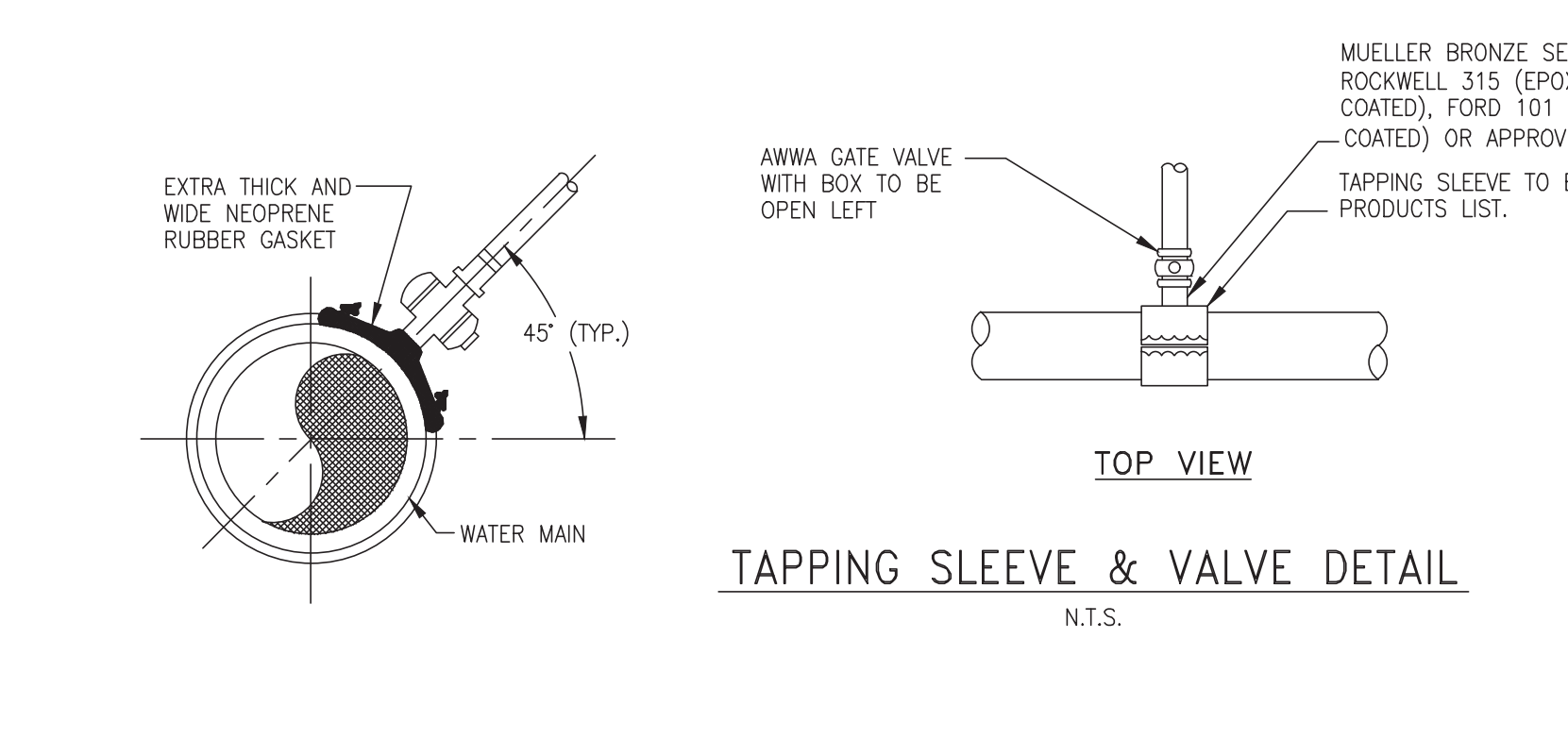
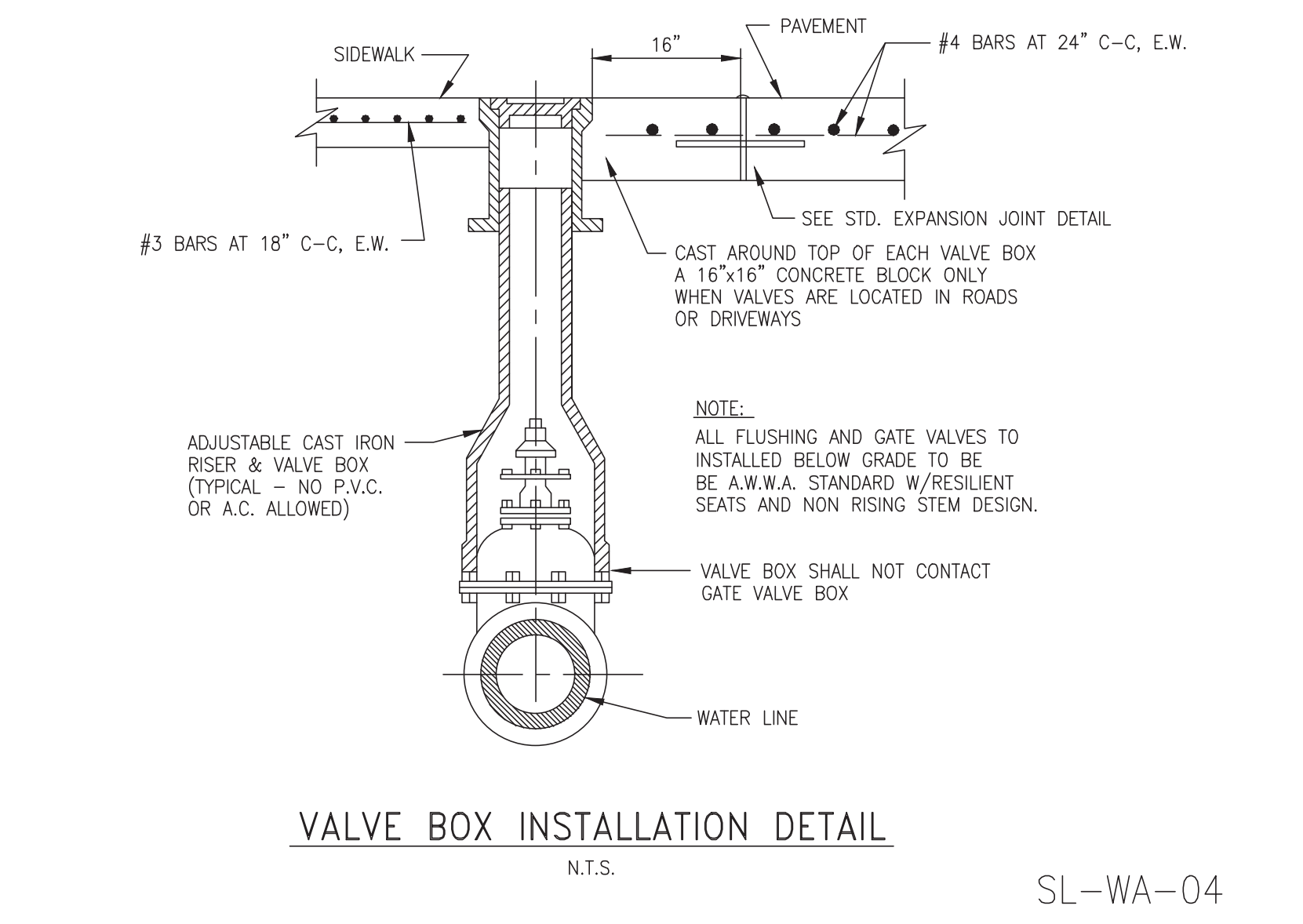
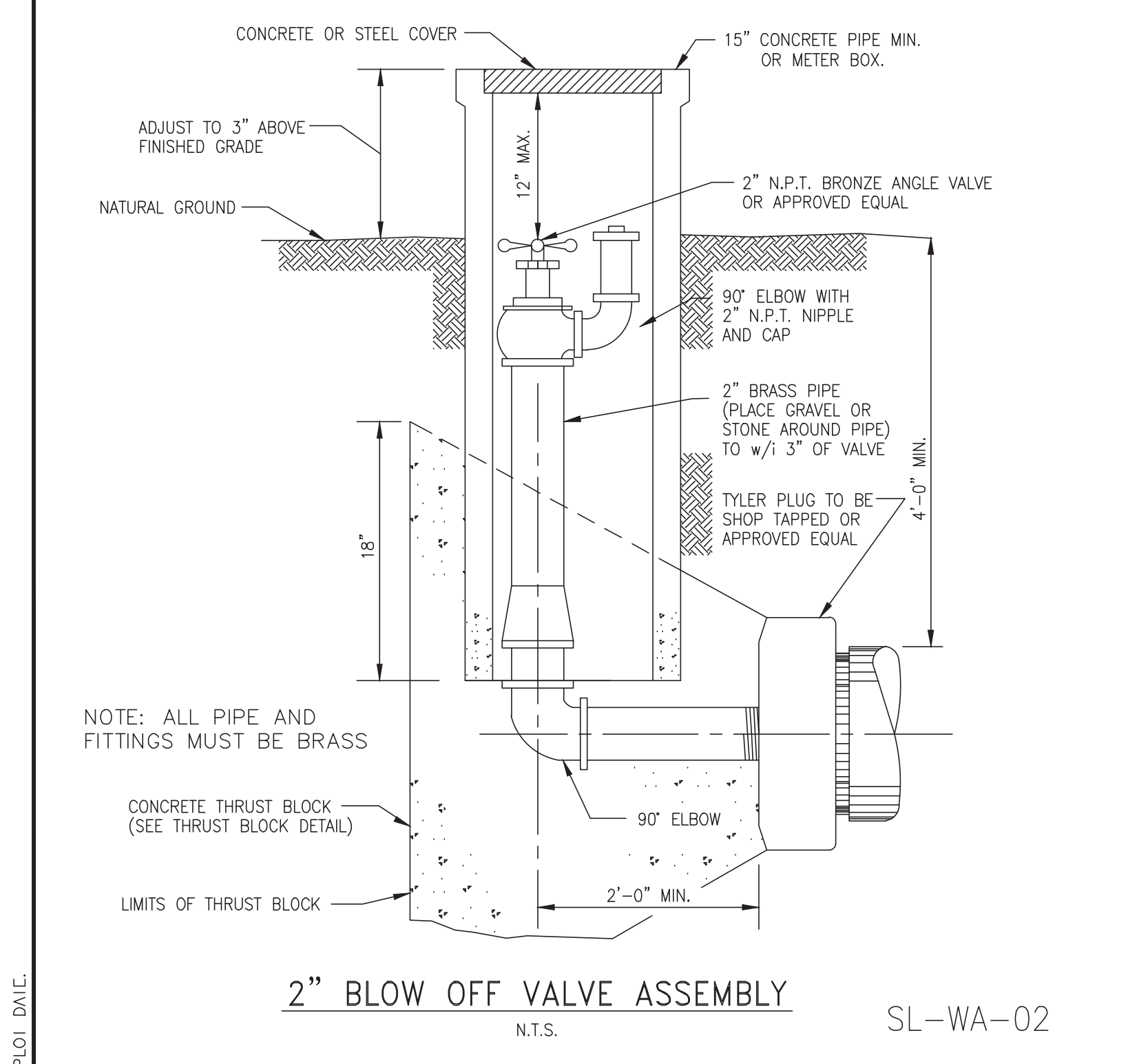
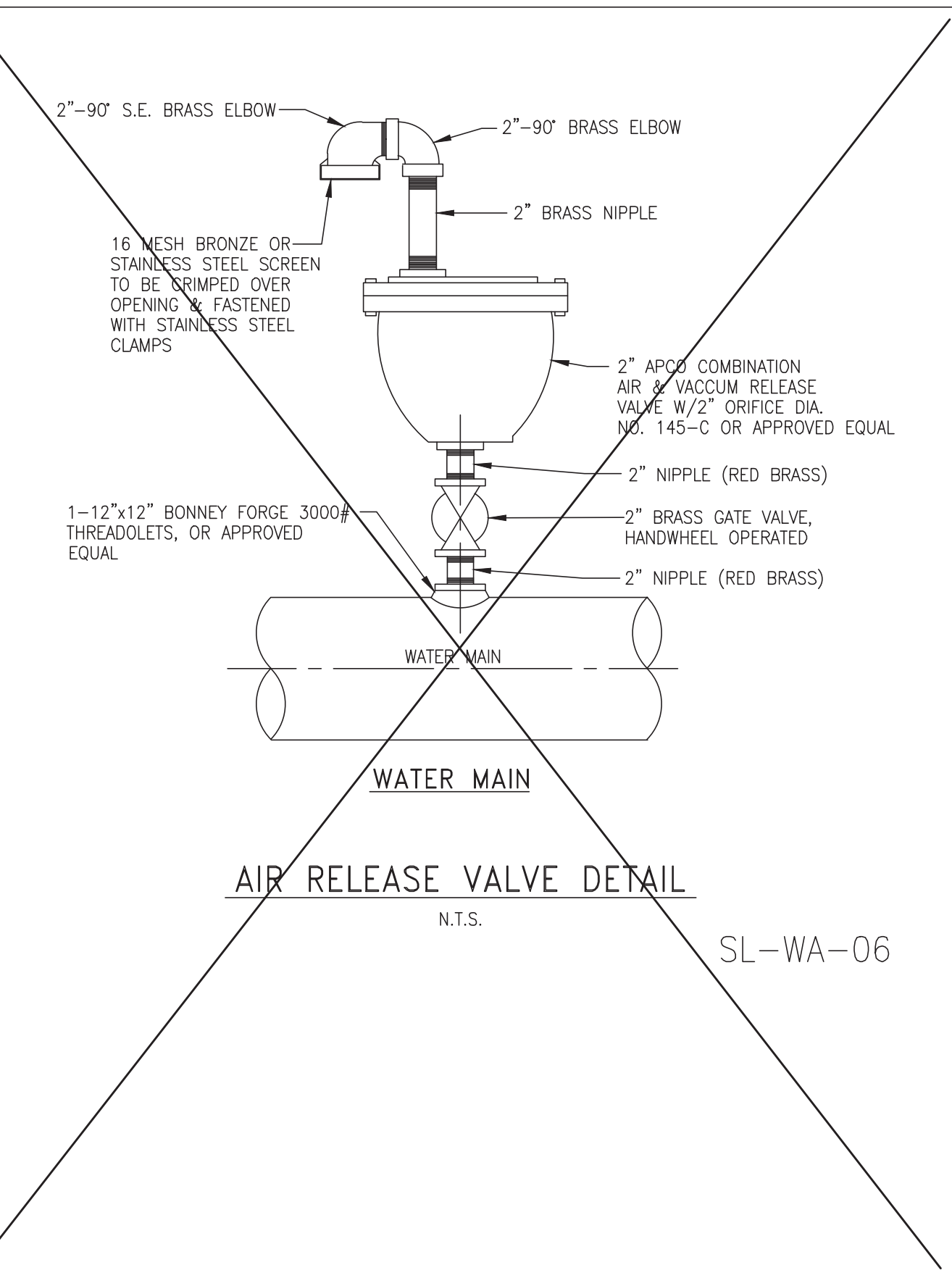
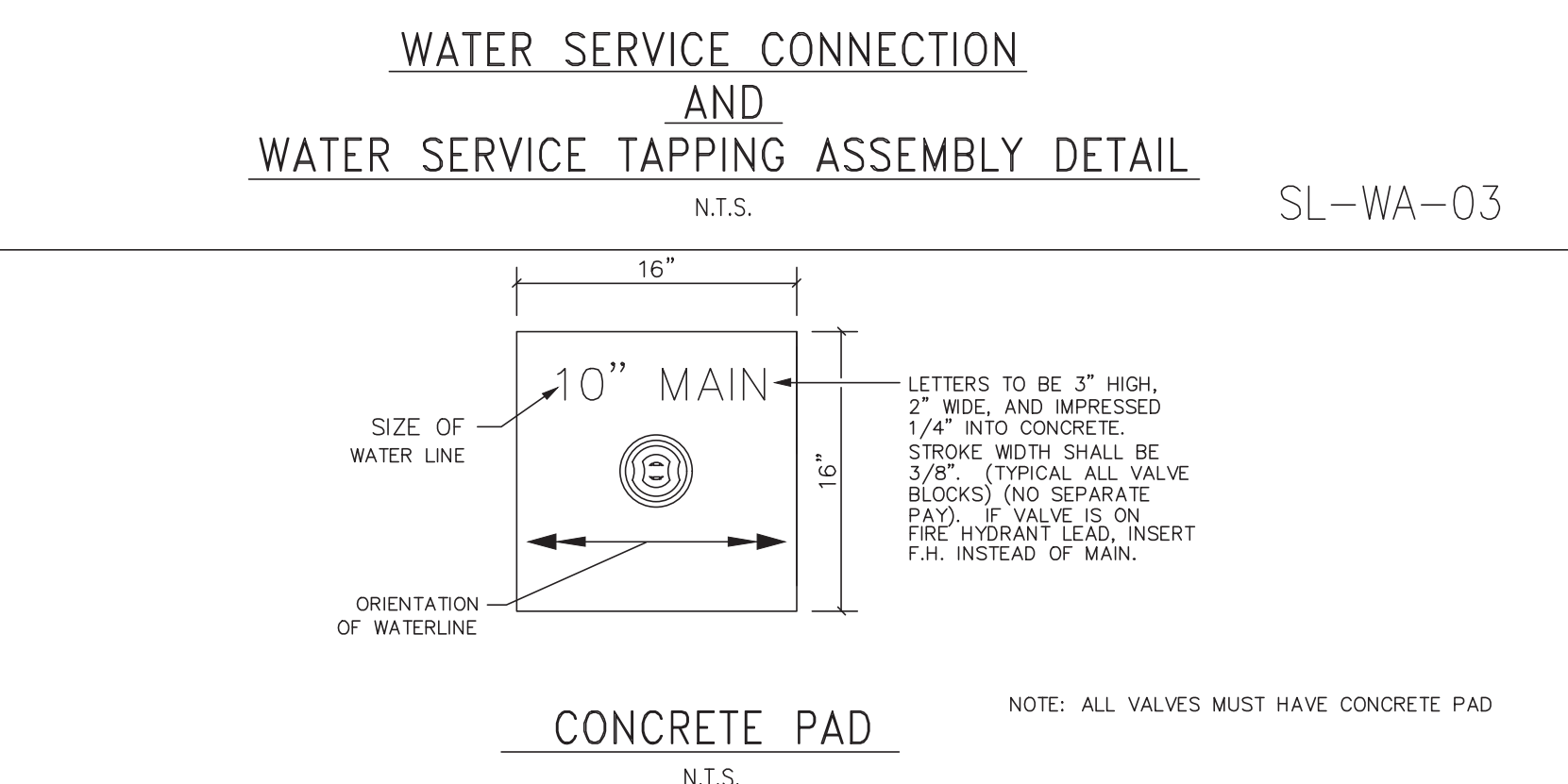
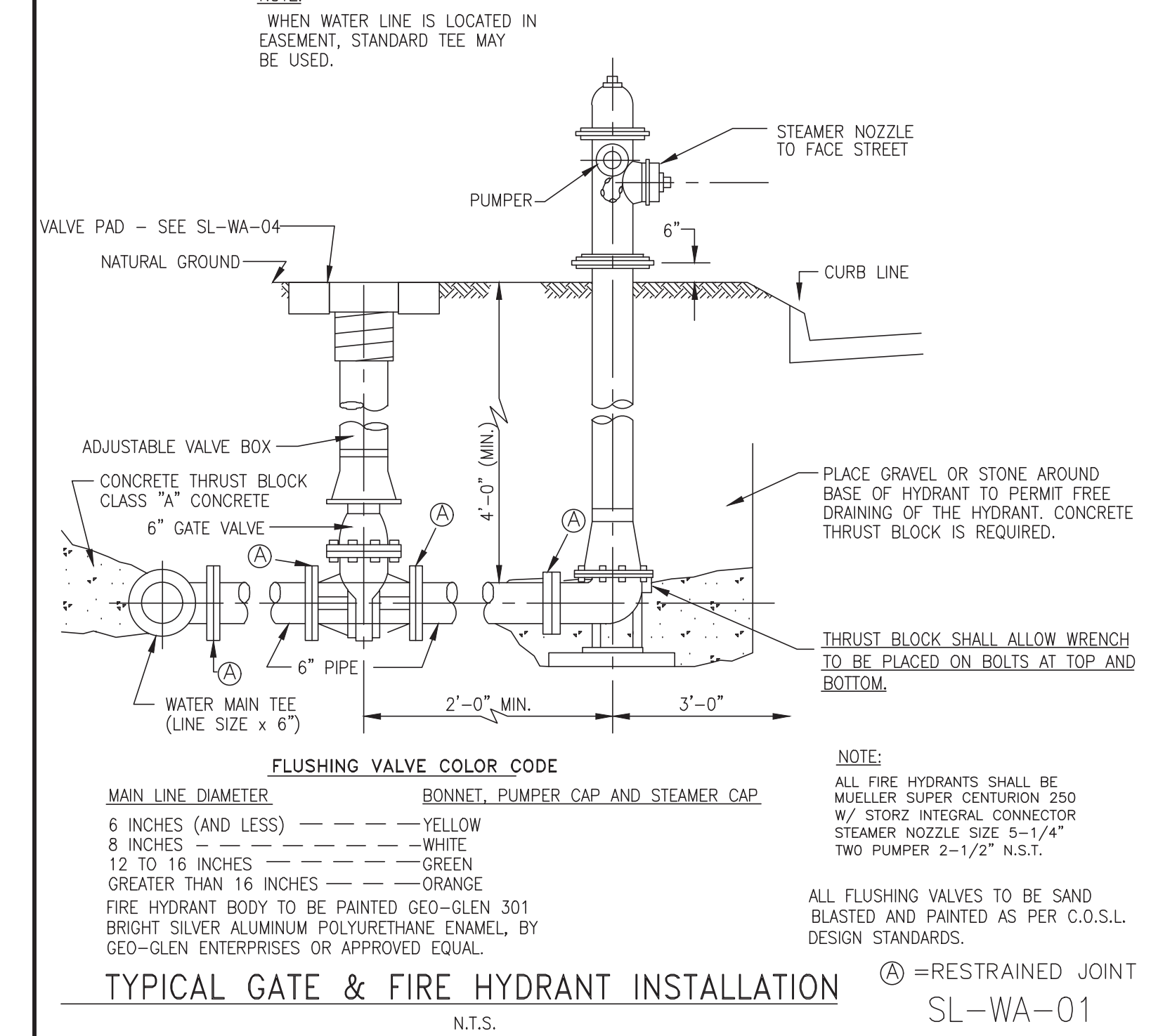
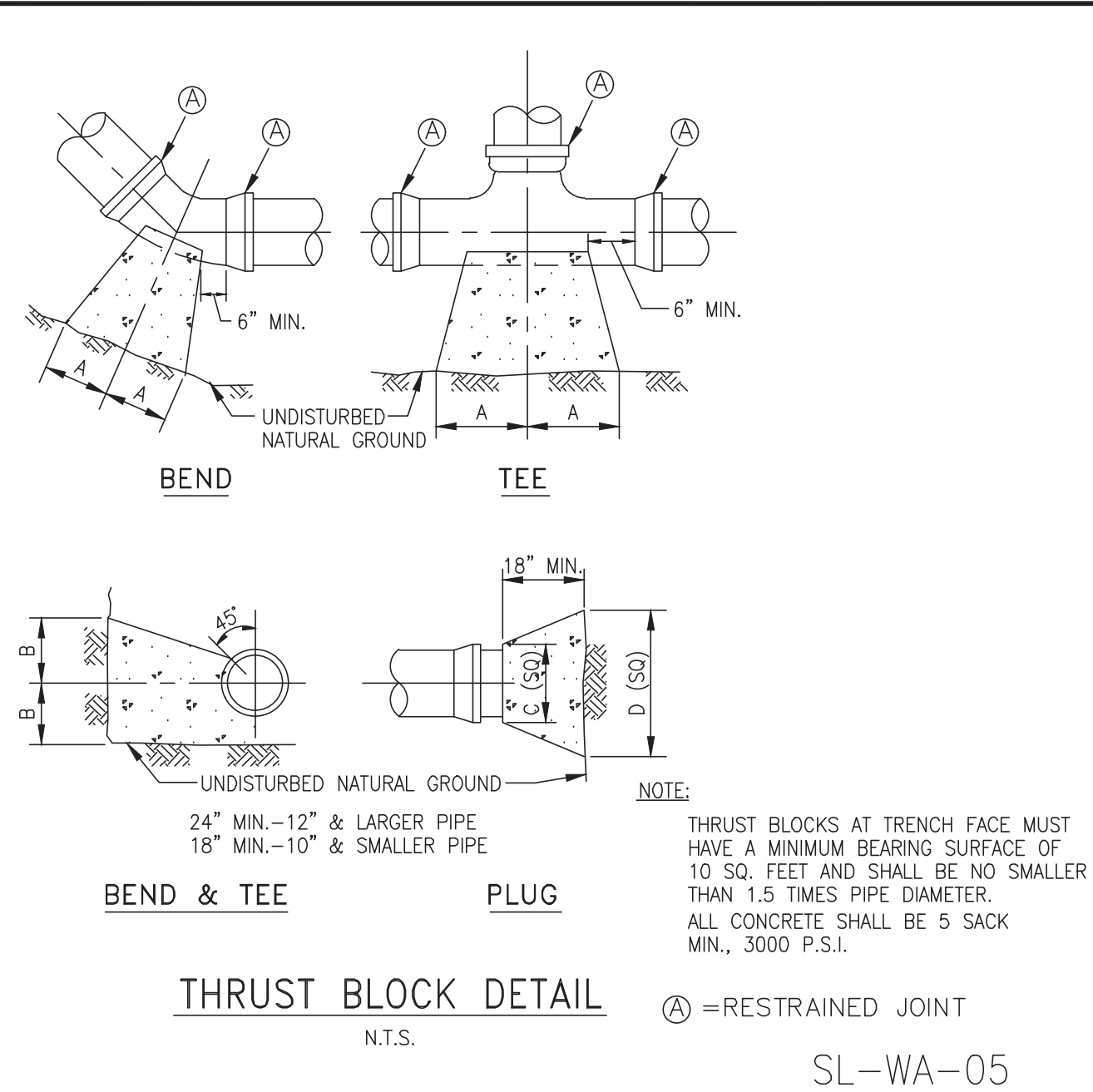
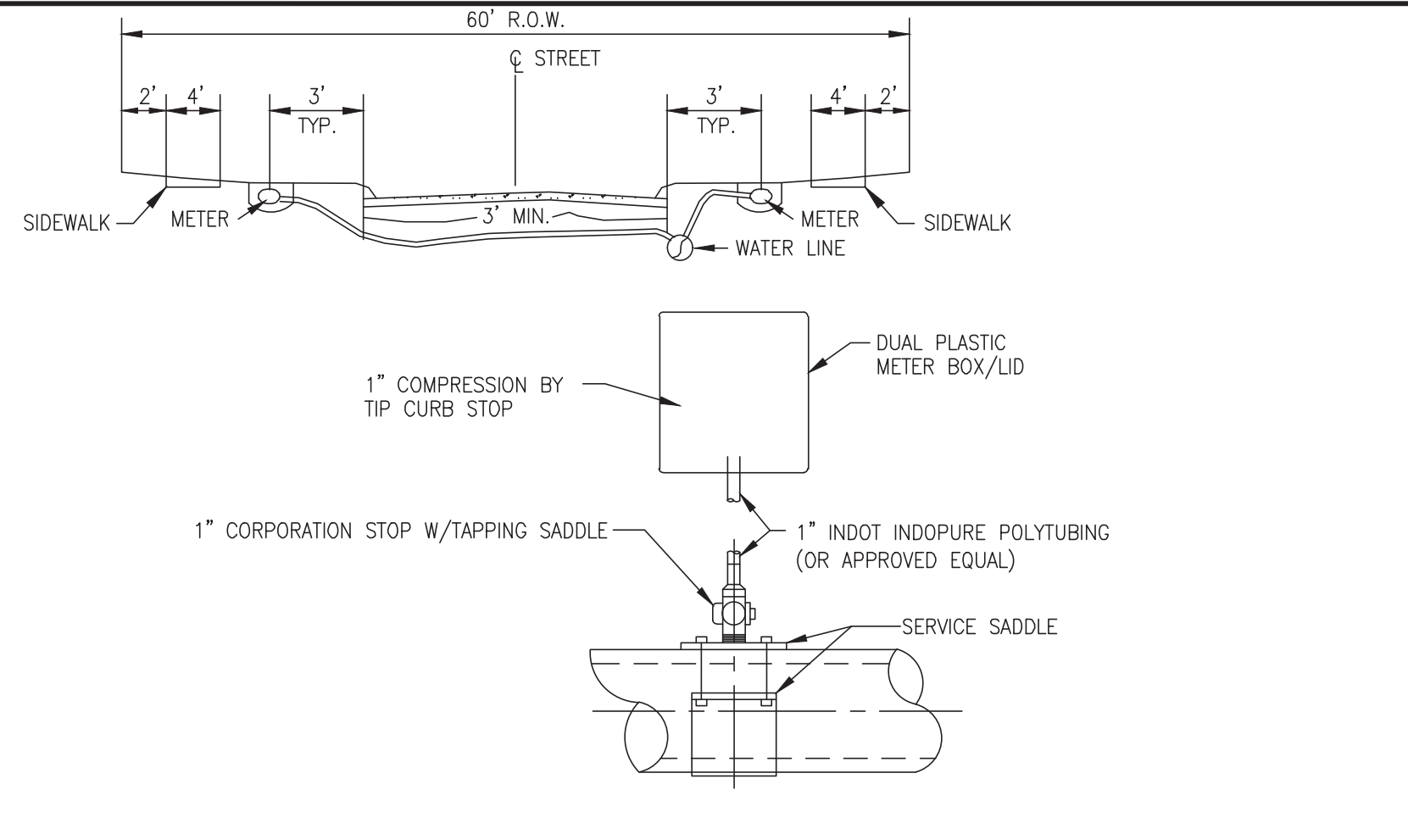
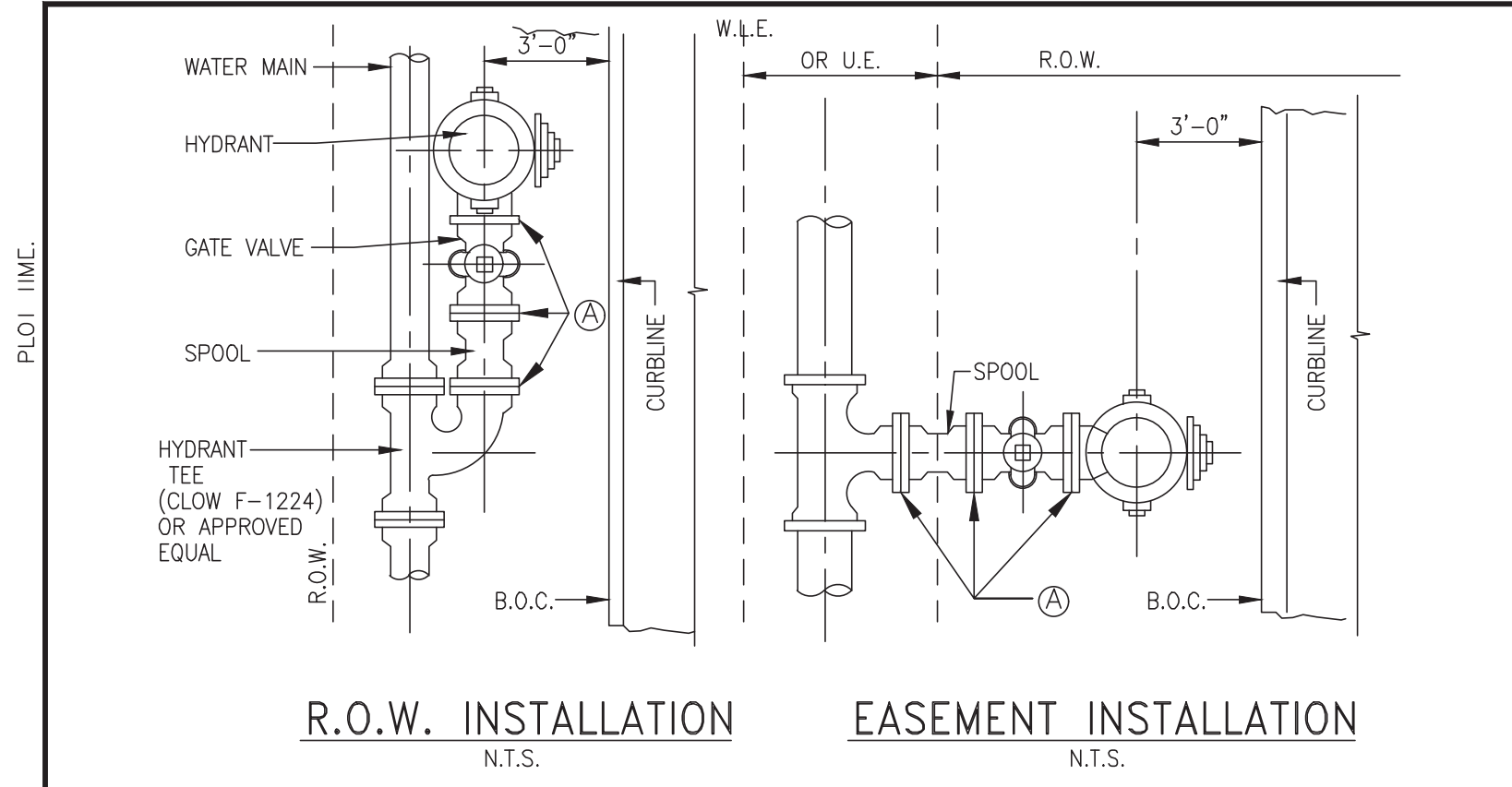
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SANITARY SEWER CONSTRUCTION DETAILS
SL-14

PROJECT NO. 14396



NOTES:
POLYETHYLENE WRAP FOR IRON PIPE

NOTE:

- POLYETHYLENE FILM SHALL BE USED AS A WRAP TO PROTECT CAST IRON AND OTHER METALS IN A CORROSIVE SOIL ENVIRONMENT.
- AN 8 MIL POLYETHYLENE FILM WRAP SHALL BE REQUIRED AROUND ALL METAL PIPE AND APPURTENANCES (EXCEPT FIRE HYDRANTS).
- POLYETHYLENE FILM SHALL BE FURNISHED AND INSTALLED EITHER IN TUBULAR FORM PRIOR TO LOWERING THE PIPE IN TRENCH OR IN SHEET FORM.
- POLYETHYLENE TUBE ENCASUREMENT SHALL CONFORM WITH THE MINIMUM REQUIREMENTS OF "POLYETHYLENE ENCASUREMENT FOR GRAY AND DUCTILE CAST-IRON PIPING FOR WATER AND OTHER LIQUIDS", ANSI/AWWA C105, CURRENT REVISION. SOILS WITHIN A PROJECT SHALL BE TESTED IN ACCORDANCE WITH APPENDIX A OF ANSI/AWWA C105 TO ADEQUATELY DETERMINE THE REQUIREMENTS FOR ENCASUREMENT.
- ALL FITTINGS AND PIPE JOINTS WITHIN 10' OF A FITTING SHALL HAVE RESTRAINT JOINTS

SIZE	90° BEND		45° BEND		22 1/2° BEND		TEES		PLUGS	
	A	B	A	B	A	B	A	B	A	B
2 1/2"	12"	7"	6"	7"	6"	7"	6"	8"	8"	14"
6"	16"	10"	9"	10"	6"	12"	10"	12"	10"	21"
8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
10"	26"	17"	14"	17"	10"	13"	16"	20"	16"	41"
12"	29"	21"	16"	21"	11"	16"	18"	24"	18"	41"
14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"
20"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
24"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
30"	60"	48"	36"	48"	20"	36"	36"	48"	36"	*96"

NOTE: (A) = RESTRAINED JOINT

BENDS, TEES & PLUGS FOR PIPE OF VARIOUS SIZES

SL-WA-08

NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

SEAL:

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

WATER LINE CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-15
SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739

DOUGLAS B. ROESSLER
56739
LICENSED PROFESSIONAL ENGINEER

03-03-2023

OWNER:

RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

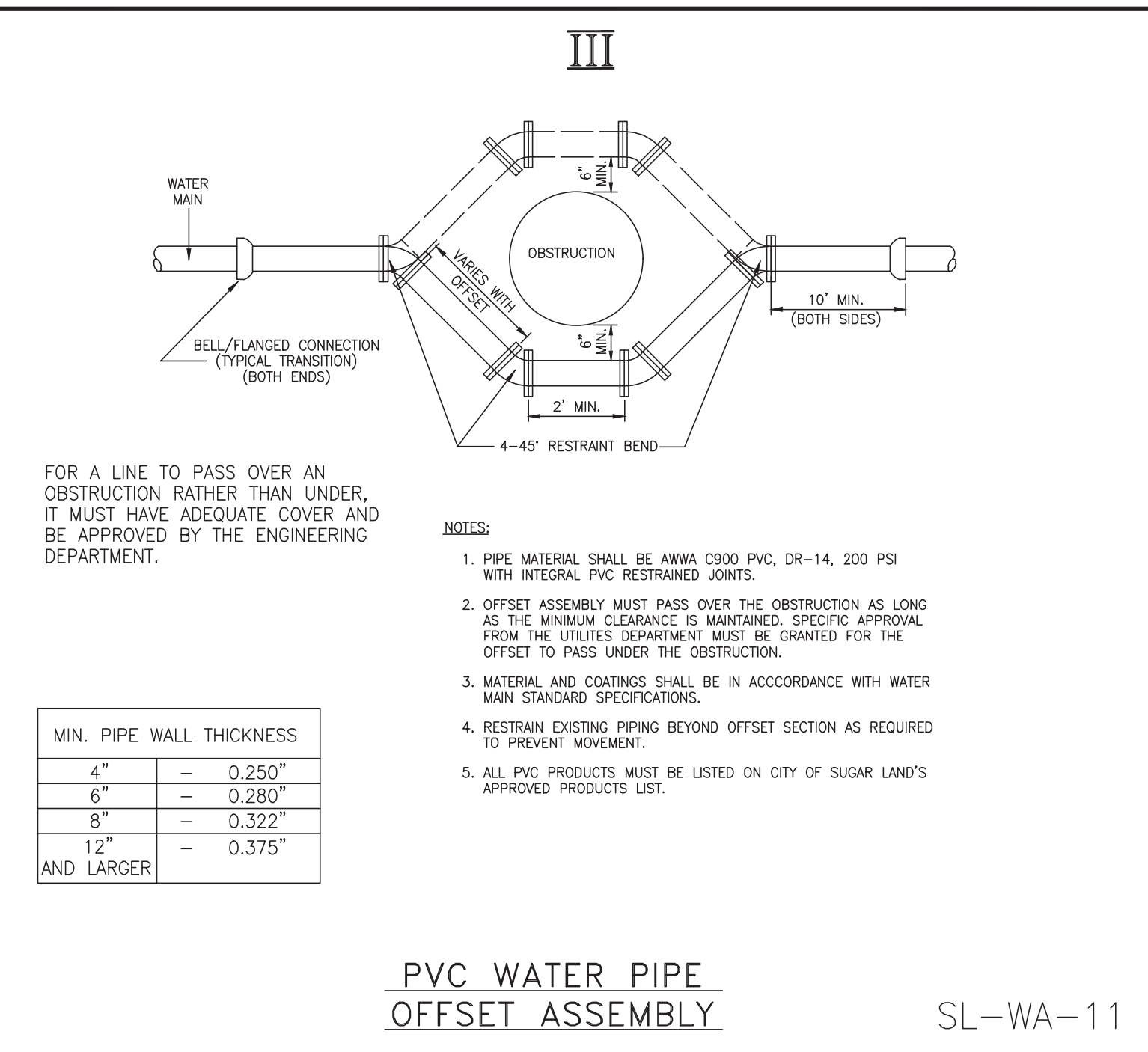
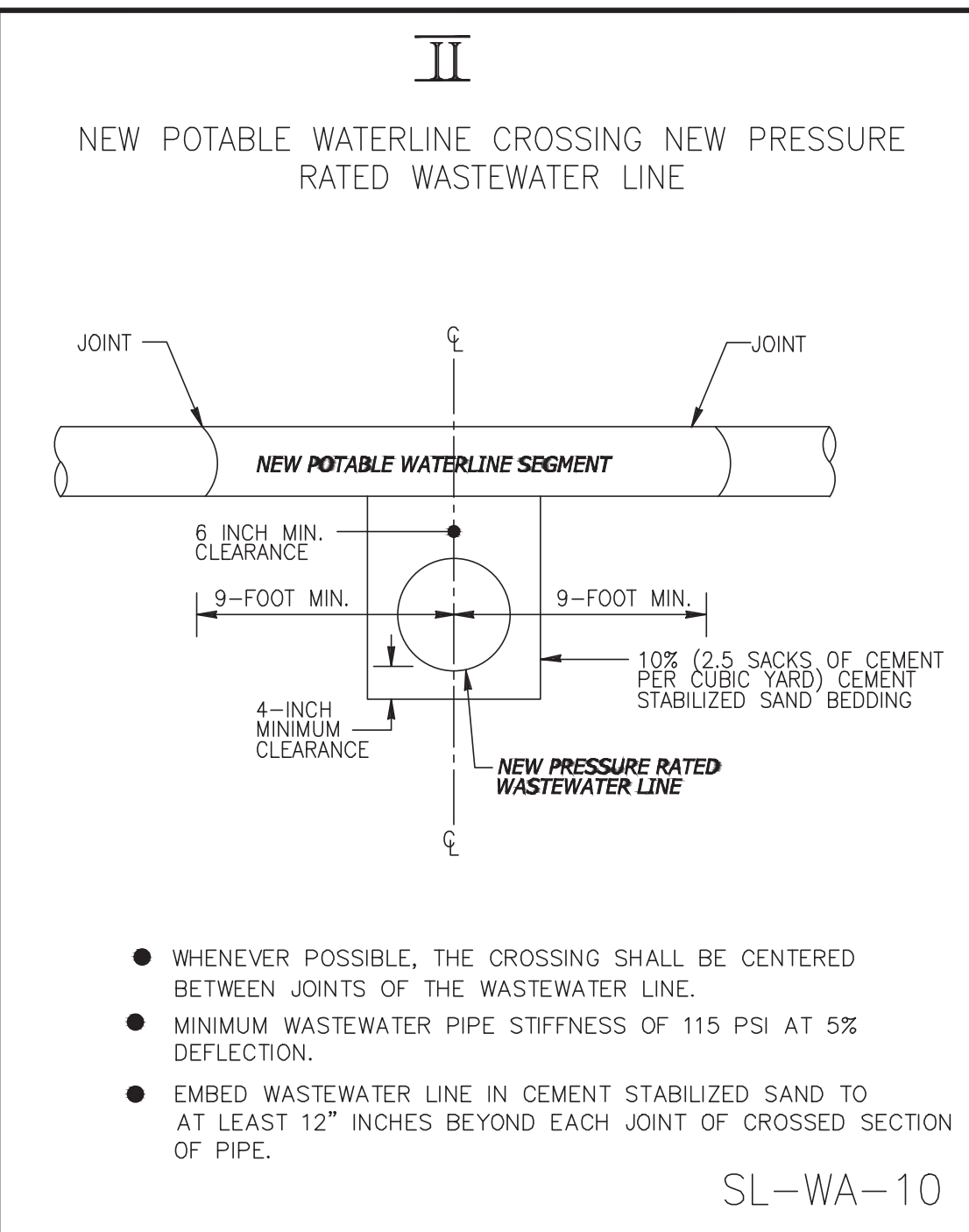
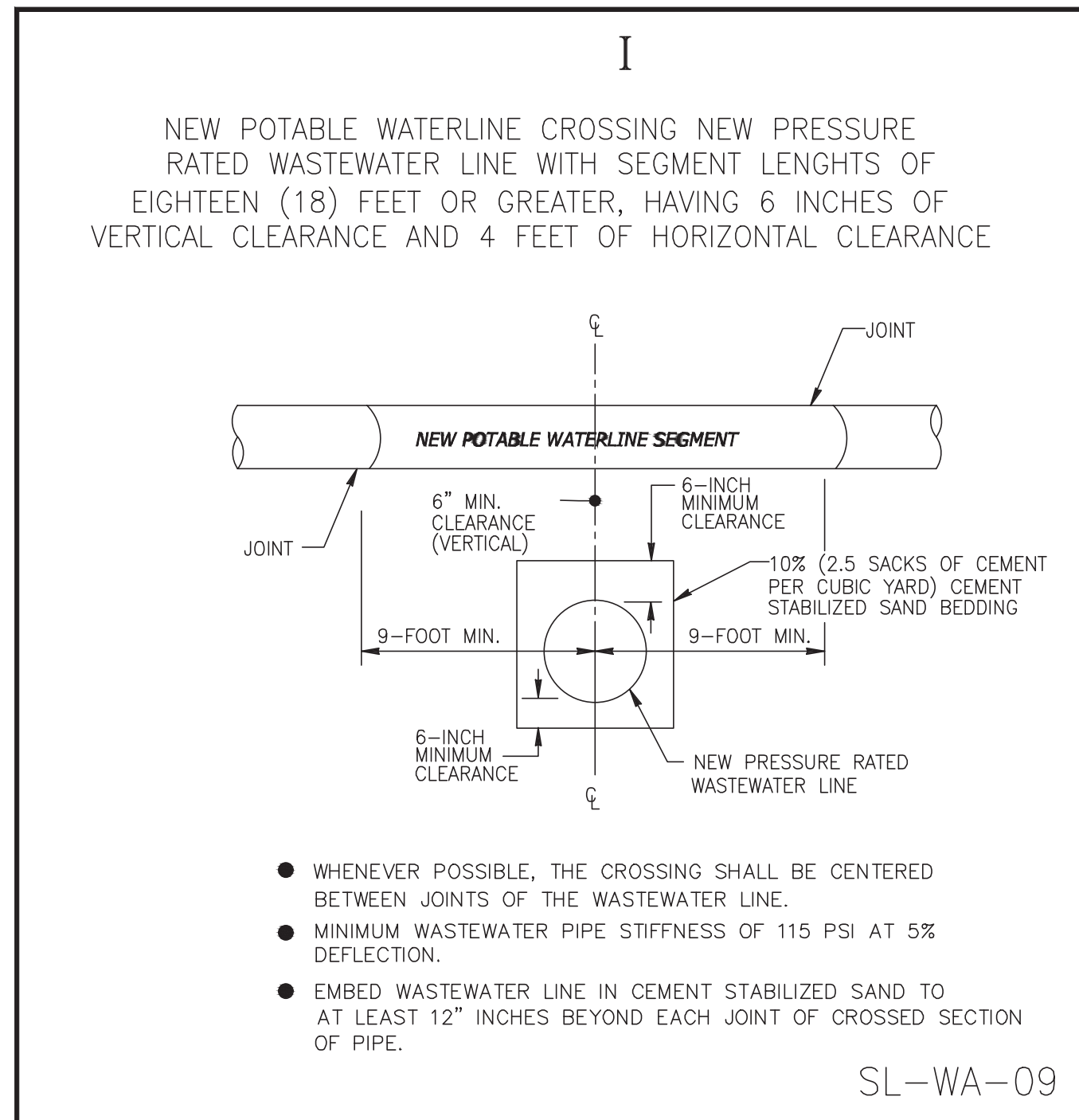
PLANNING:

PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

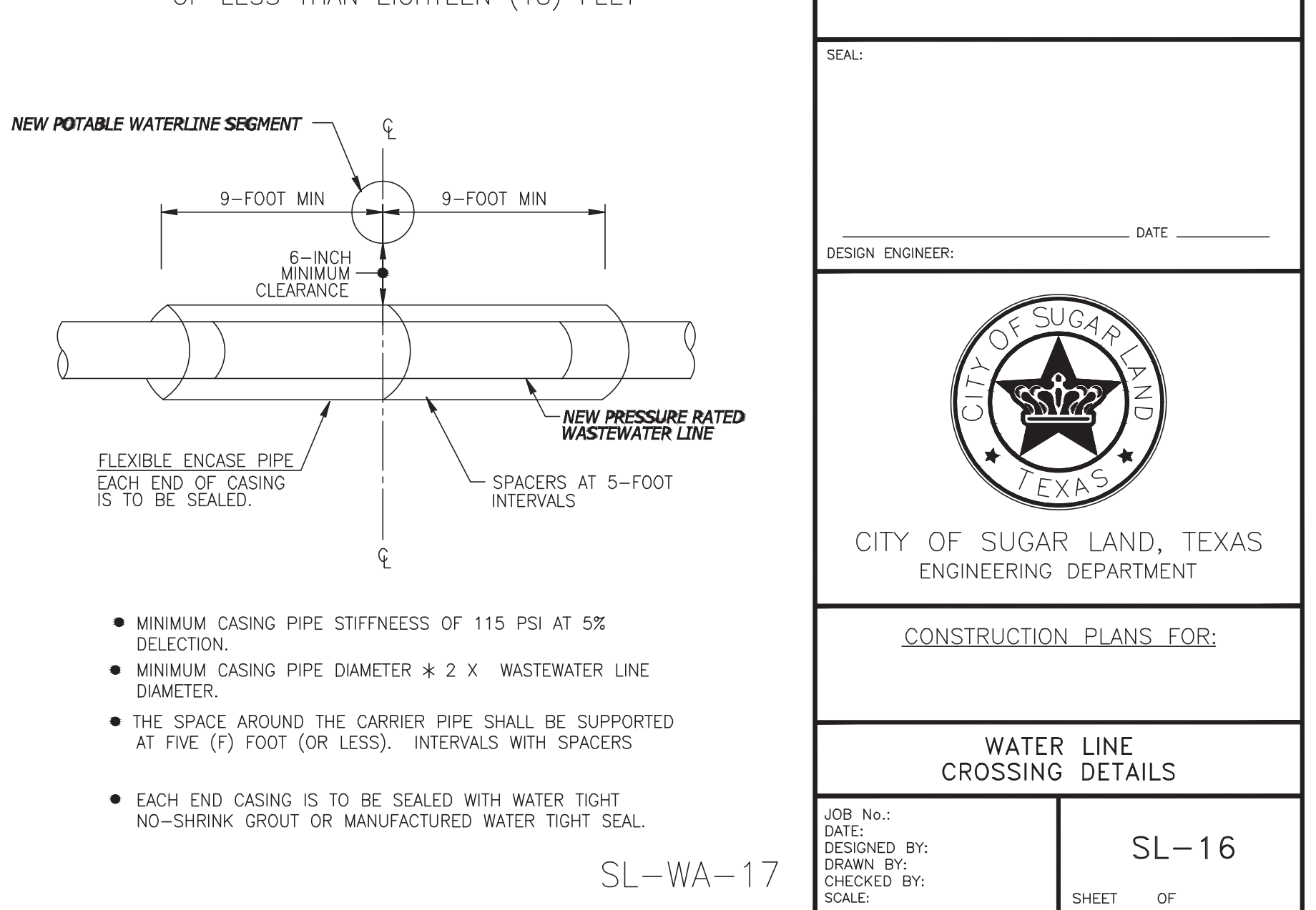
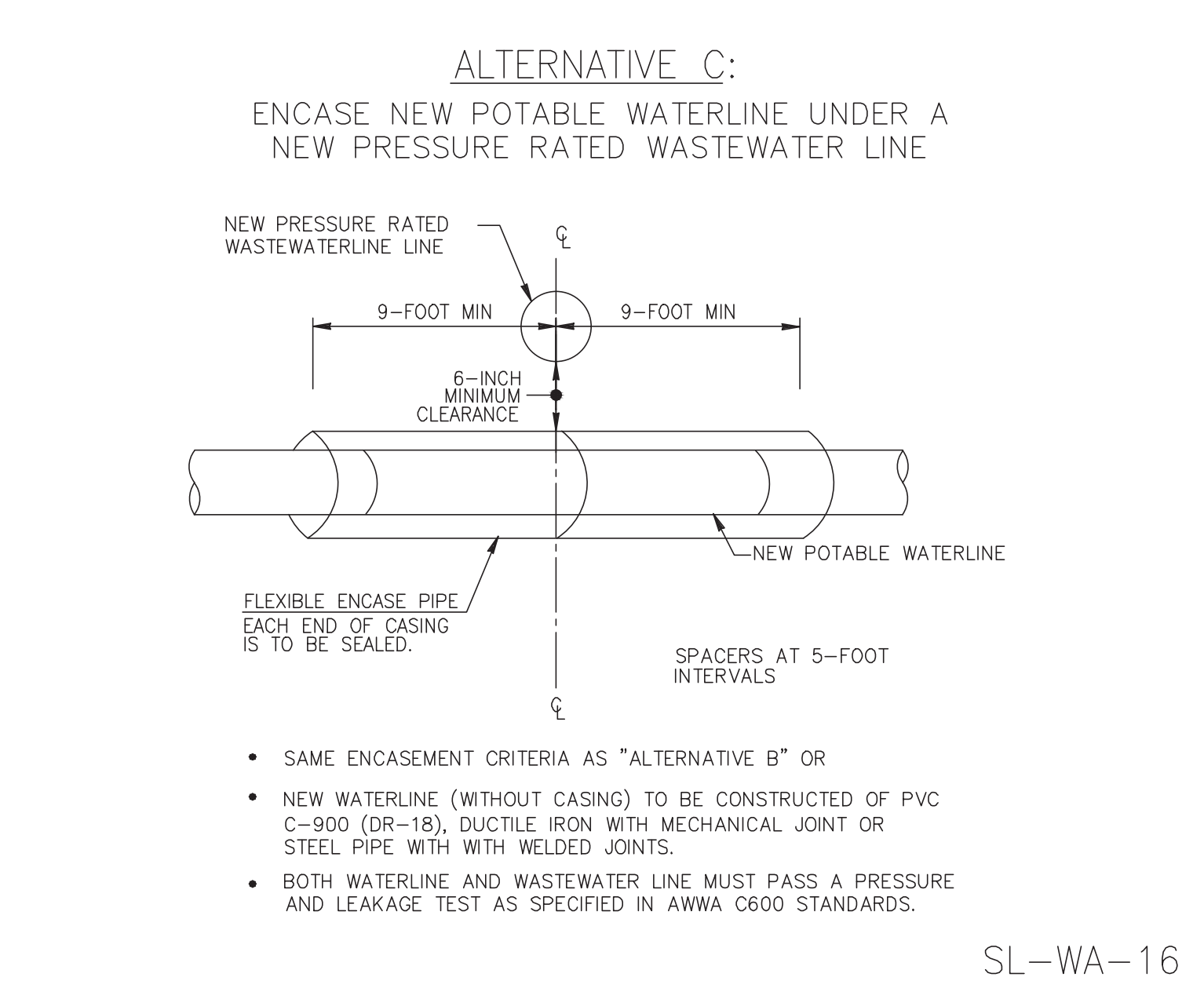
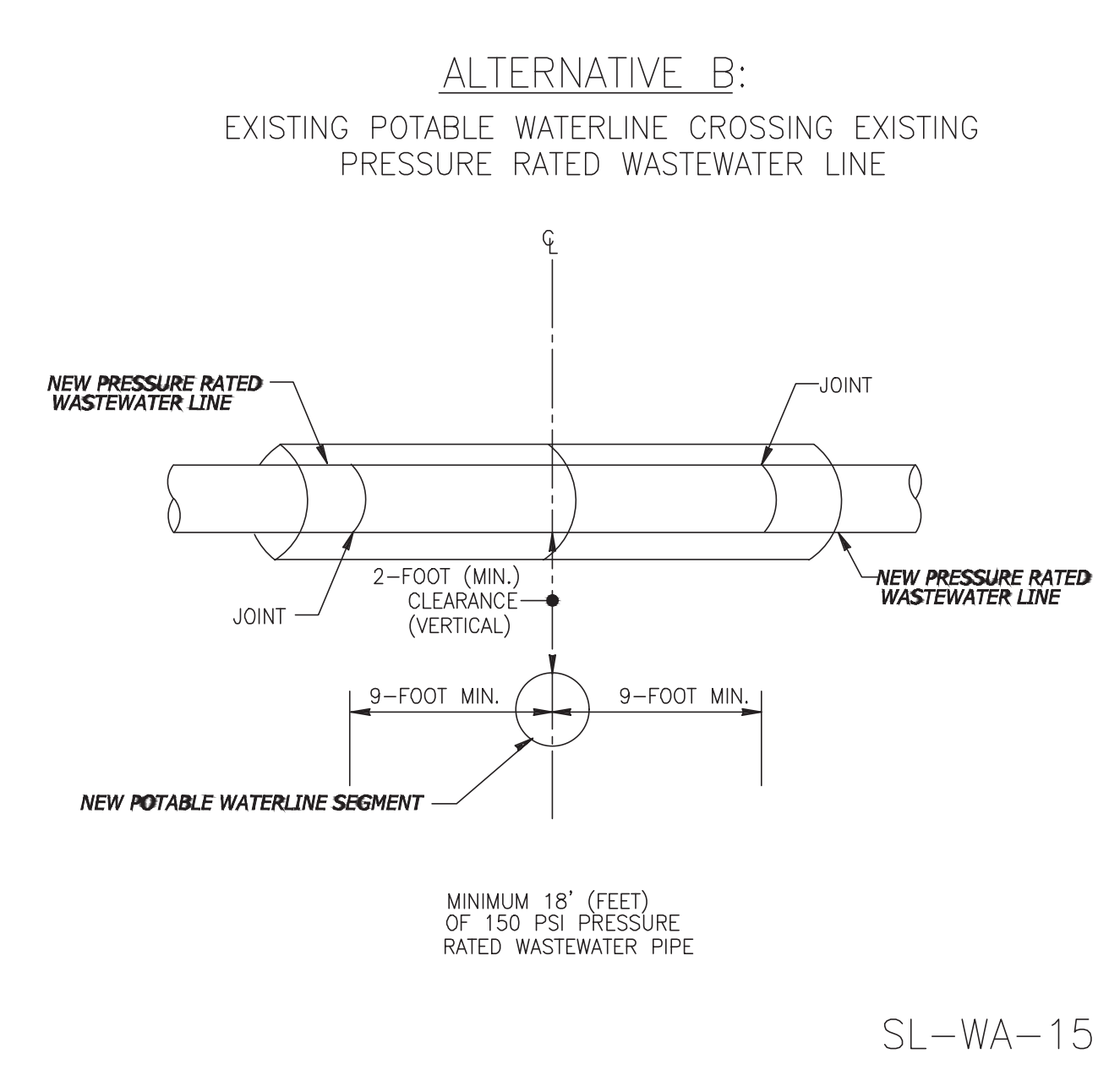
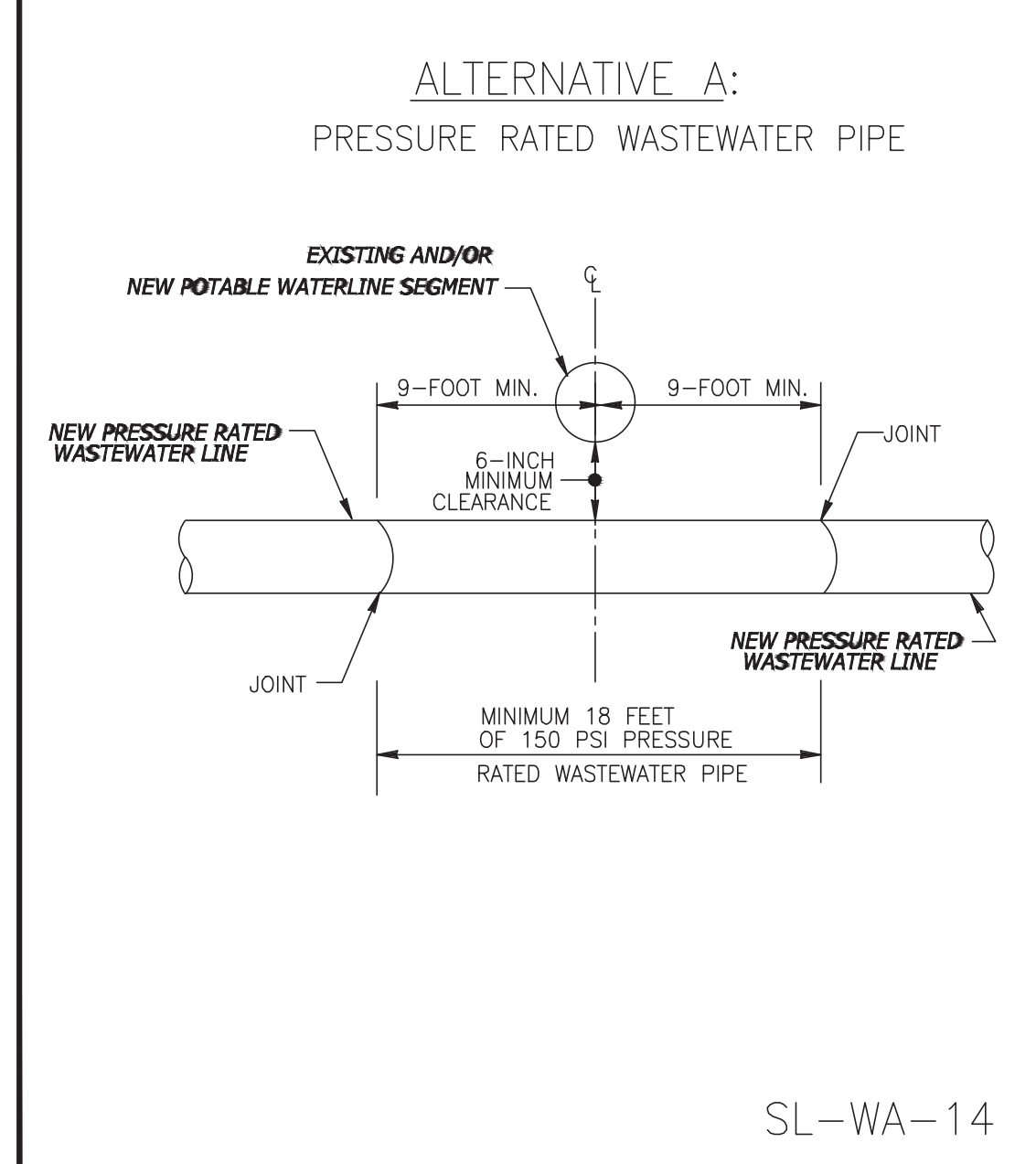
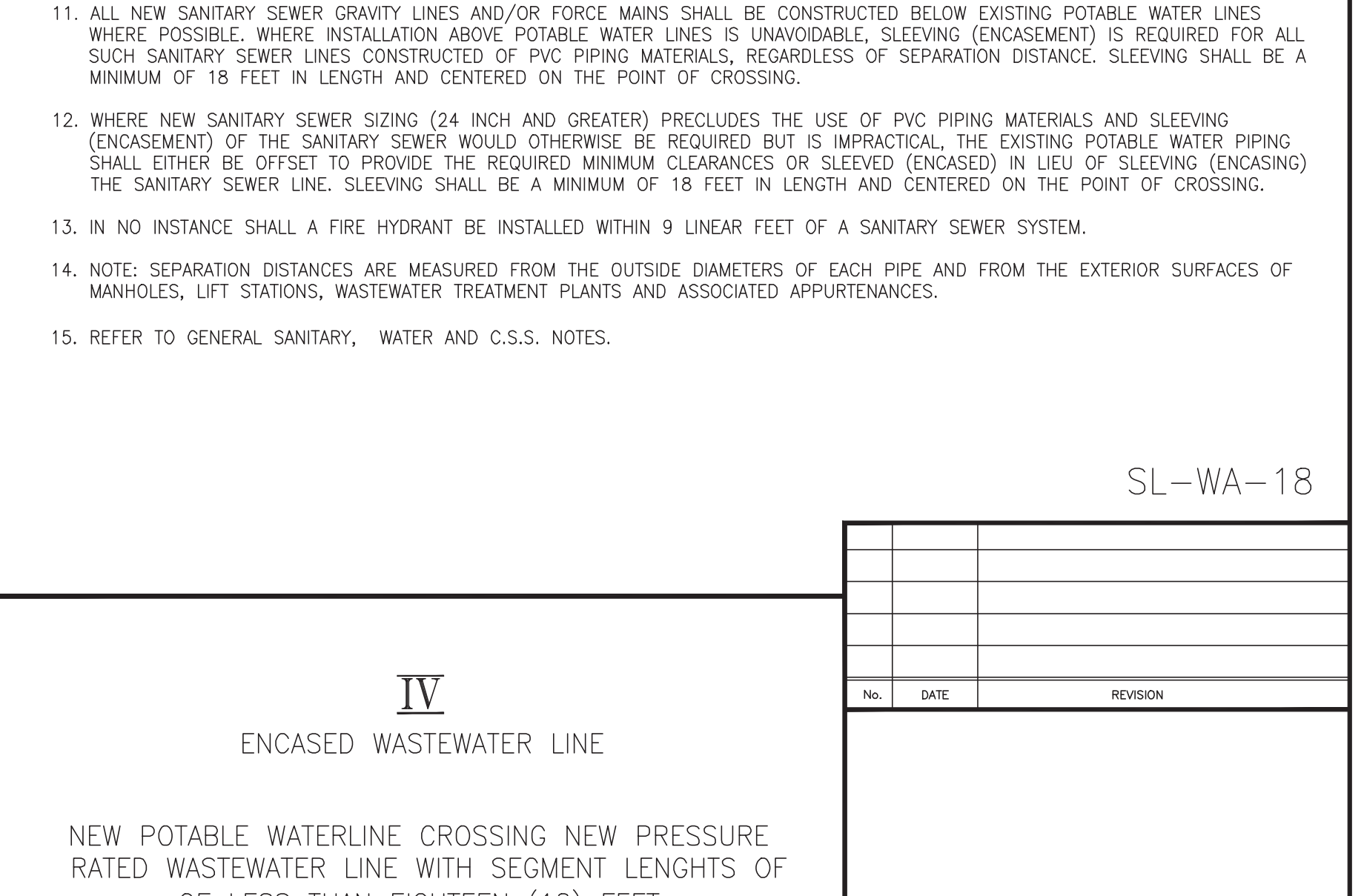
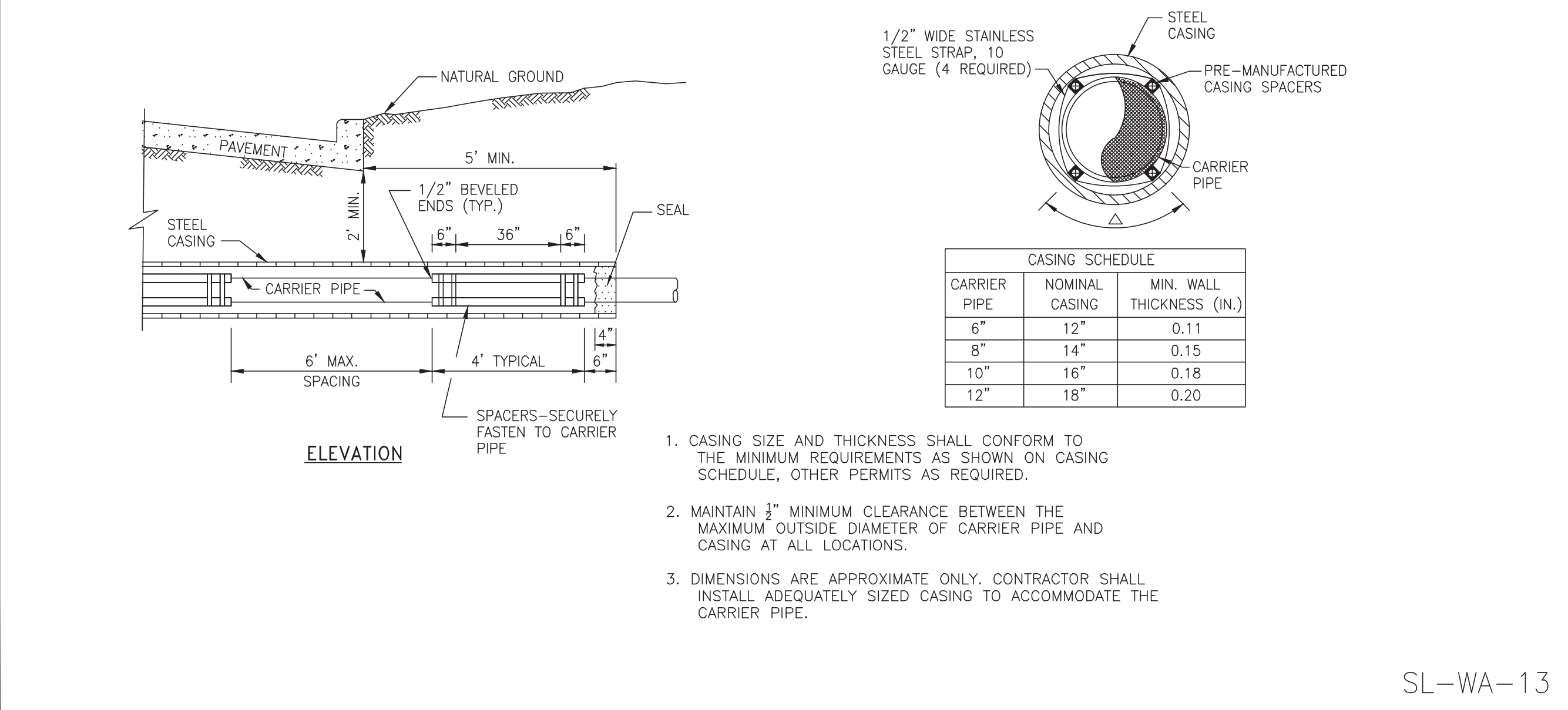
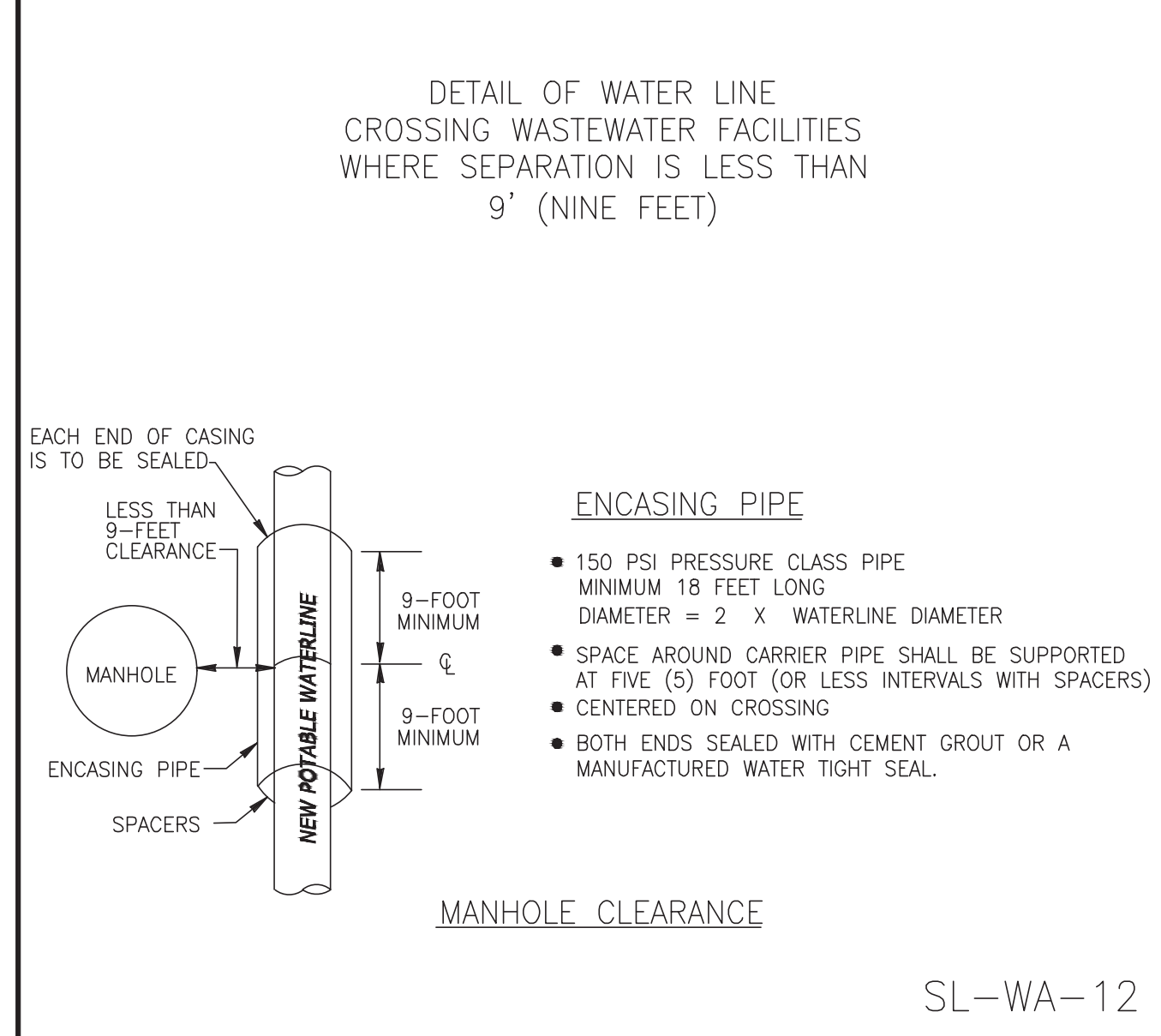
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WATER LINE CONSTRUCTION DETAILS
SL-15

PROJECT NO. 14396

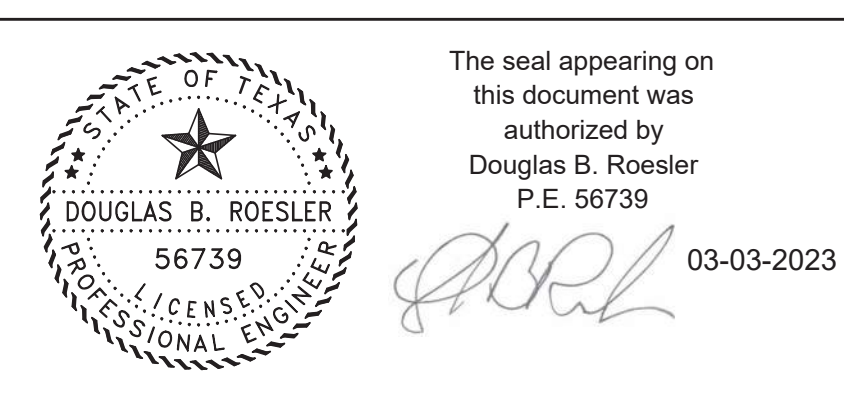
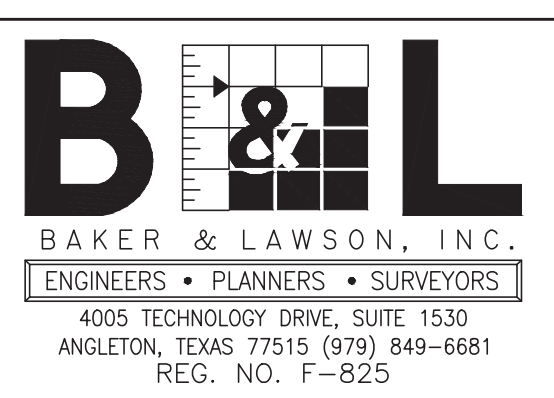


- GENERAL NOTES:
- CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
 - SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
 - ALL NEW POTABLE WATER LINES AND SANITARY SEWER FORCE MAINS SHALL BE BEDDED IN COMPACTED BANK SAND A MINIMUM OF 6 INCHES BELOW, ABOVE AND TO EITHER SIDE OF SUCH PIPING.
 - ALL NEW SANITARY SEWER GRAVITY DRAIN LINES SHALL BE BEDDED IN CEMENT STABILIZED SAND CONFORMING TO THE REQUIREMENTS FOR EITHER CLASS "A" STANDARD BEDDING OR CLASS "A-A" BEDDING AS APPLICABLE. USE OF MODIFIED "A" OR MODIFIED "A-A" BEDDING FOR SANITARY SEWER INSTALLATIONS WHERE WET SAND CONDITIONS ARE ENCOUNTERED AND SEPARATION DISTANCE TO POTABLE WATER LINES IS LESS THAN 9 FEET REQUIRES APPROVAL BY CITY ENGINEER.
 - CEMENT STABILIZED BEDDING SHALL BE A MINIMUM 1.5 SACK PER CUBIC YARD C.S.S., INSTALLED IN MAXIMUM LIFTS OF 8 INCHES AND MECHANICALLY TAMPED TO 95% PROCTOR.
 - WHERE REQUIRED, SLEEVING (ENCASEMENT) OF POTABLE WATER PIPING AND/OR SANITARY SEWER GRAVITY DRAIN LINES AND FORCE MAINS SHALL BE PROVIDED. SUCH SLEEVING (ENCASEMENT) SHALL BE CONSTRUCTED OF APPROVED PIPING MATERIALS HAVING A MINIMUM PRESSURE RATING OF 150 PSI AND ANNUAL SPACES AT EACH END SHALL BE SEALED WITH A MATERIAL APPROVED FOR SUCH USE.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE A MINIMUM OF 9 FEET SEPARATION DISTANCE TO EXISTING OR PROPOSED SANITARY SEWER MANHOLE, LIFT STATION OR WASTEWATER TREATMENT PLANT CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING. WHERE PIPING IS LAID PARALLEL AND MINIMUM SEPARATION DISTANCES CANNOT BE MAINTAINED, SLEEVING SHALL EXTEND AT LEAST 9 FEET PAST THE POINT WHERE MINIMUM SEPARATION DISTANCES ARE ACHIEVED.
 - ALL NEW POTABLE WATER LINES SHALL BE CONSTRUCTED ABOVE EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS WHERE POSSIBLE. WHERE INSTALLATION BENEATH SANITARY SEWER GRAVITY LINES OR FORCE MAINS IS UNAVOIDABLE AT POINTS OF CROSSING, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL NEW POTABLE WATER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS CONSTRUCTED OF PVC PIPING MATERIALS SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING POTABLE WATER PIPING CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS SHALL BE CONSTRUCTED BELOW EXISTING POTABLE WATER LINES WHERE POSSIBLE. WHERE INSTALLATION ABOVE POTABLE WATER LINES IS UNAVOIDABLE, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL SUCH SANITARY SEWER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - WHERE NEW SANITARY SEWER SIZING (24 INCH AND GREATER) PRECLUDES THE USE OF PVC PIPING MATERIALS AND SLEEVING (ENCASEMENT) OF THE SANITARY SEWER WOULD OTHERWISE BE REQUIRED BUT IS IMPRACTICAL, THE EXISTING POTABLE WATER PIPING SHALL EITHER BE OFFSET TO PROVIDE THE REQUIRED MINIMUM CLEARANCES OR SLEEVED (ENCASED) IN LIEU OF SLEEVING (ENCASING) THE SANITARY SEWER LINE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - IN NO INSTANCE SHALL A FIRE HYDRANT BE INSTALLED WITHIN 9 LINEAR FEET OF A SANITARY SEWER SYSTEM.
 - NOTE: SEPARATION DISTANCES ARE MEASURED FROM THE OUTSIDE DIAMETERS OF EACH PIPE AND FROM THE EXTERIOR SURFACES OF MANHOLES, LIFT STATIONS, WASTEWATER TREATMENT PLANTS AND ASSOCIATED APPURTENANCES.
 - REFER TO GENERAL SANITARY, WATER AND C.S.S. NOTES.



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED: DR
 DRAWN: BT
 CHECKED:
 DATE:



OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

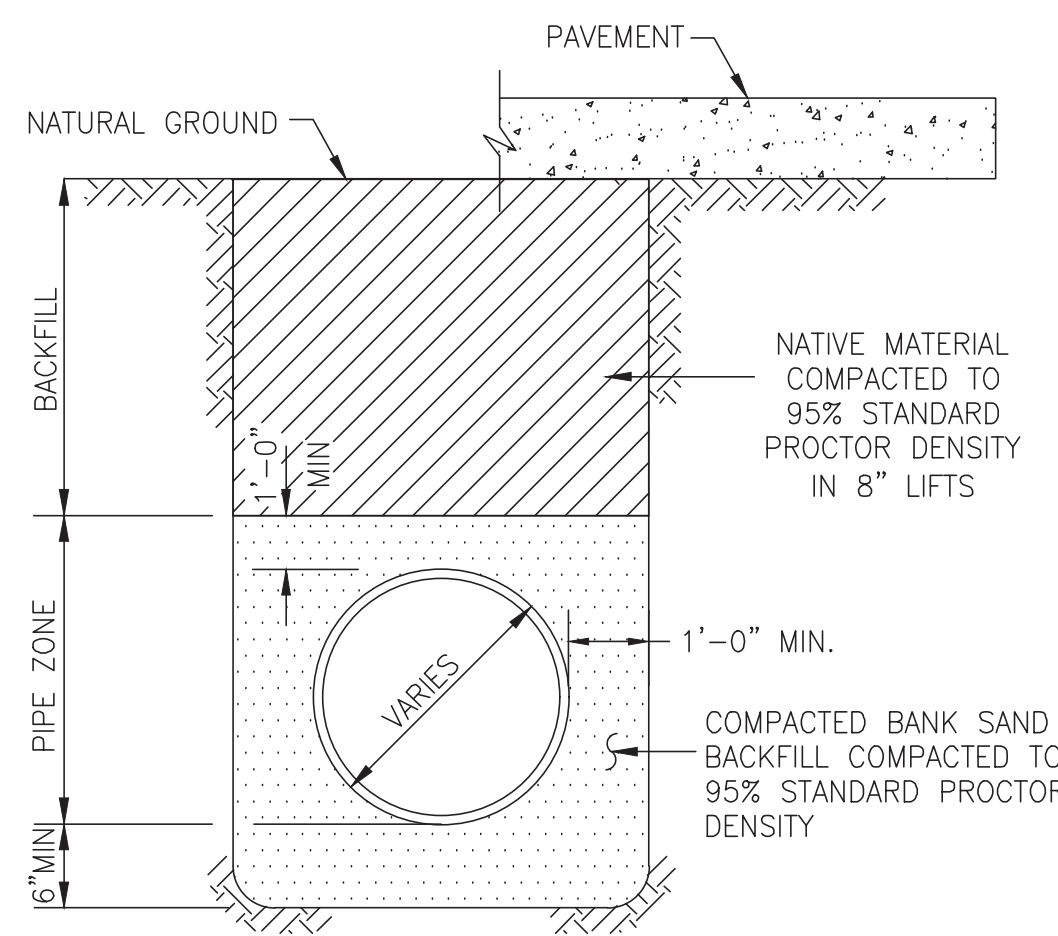
RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

WATER LINE CROSSING DETAILS
 SL-16

PROJECT NO. 14396

JOB No.: _____
 DATE: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____

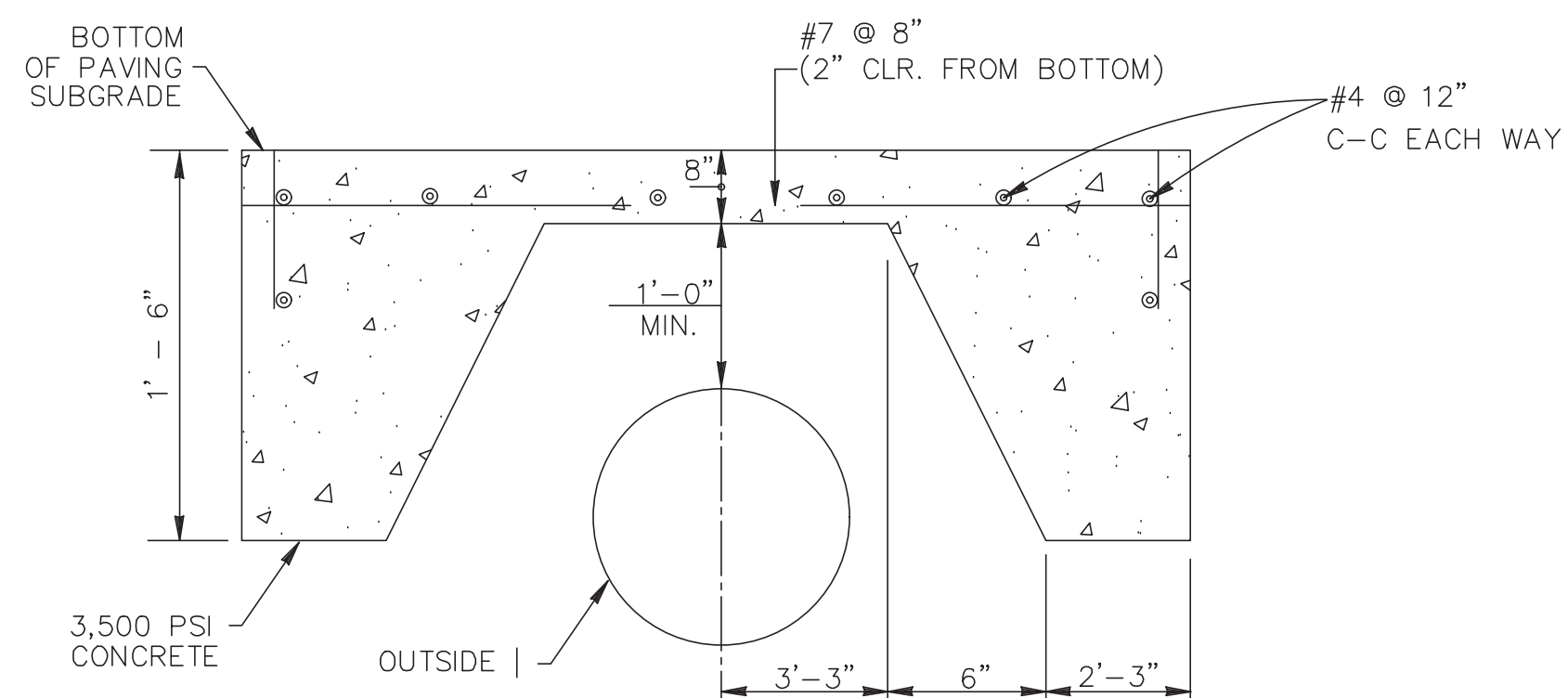
SL-16 SHEET OF



P.V.C. PIPE BEDDING & BACKFILL
N.T.S.
*SEE CONSTRUCTION NOTES

**SANITARY FORCE MAIN & WATER LINE
BEDDING AND BACKFILL**

SL-BB-01



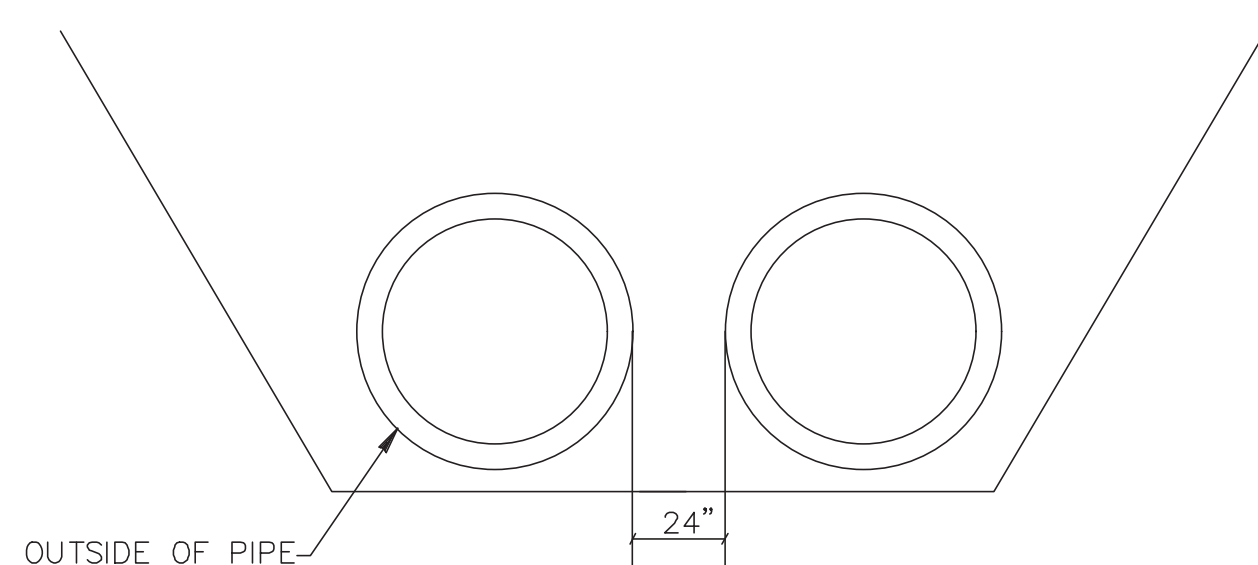
**PROTECTIVE SLAB DETAIL
ZERO LOAD TRANSFER CONCRETE SLAB**

SL-BB-04

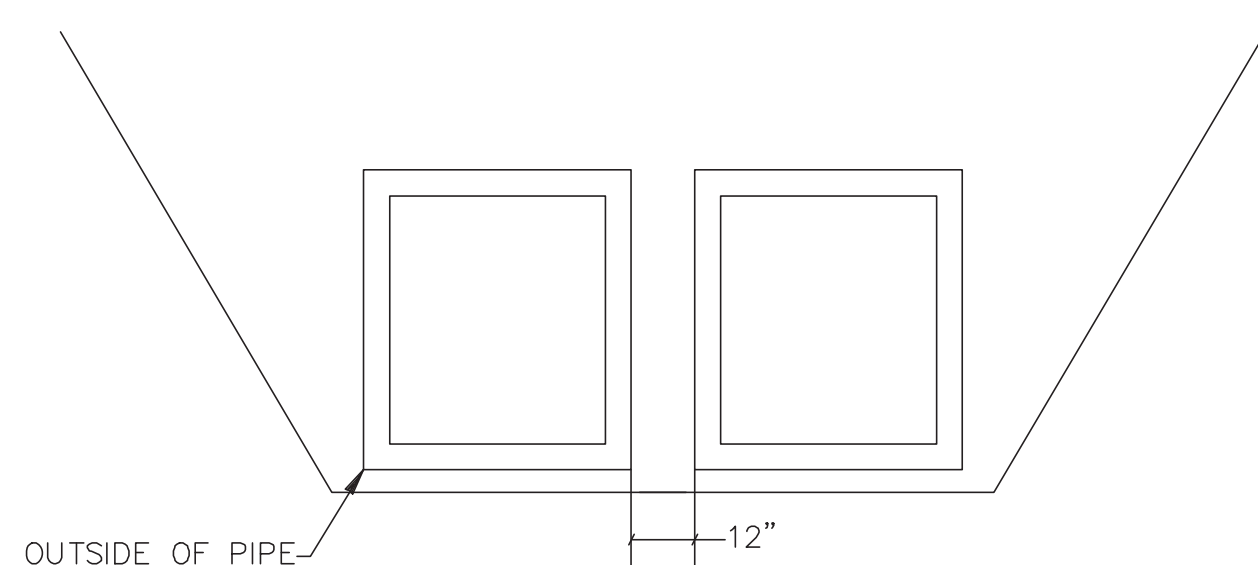
CONSTRUCTION NOTES

1. CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEERING DEPARTMENT IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUNTERED.
2. LIMESTONE AND RECYCLED CONCRETE DIMENSIONS SHOWN ARE TYPICAL BUT MAY BE VARIED BY ORDER OF CITY ENGINEER.
3. LIMESTONE OR RECYCLED CONCRETE SHALL BE IN ACCORDANCE WITH TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPE A, GRADE 2 AGGREGATE.
4. NO BEDDING SHALL BE INSTALLED IN WET CONDITIONS. WHEN WELL POINTING OR IN WET SAND CONDITIONS, MAINTAIN GROUND WATER 1 (FT) BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24-HRS AFTER BEDDING AND BACKFILL IS IN PLACE.
5. ALL MATERIALS SHALL BE FROM THE APPROVED PRODUCTS LIST UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER.
6. SANITARY SEWER BEDDING FOR WET SAND CONDITIONS SHALL BE AS PER MODIFIED "A".
7. ALL SAND BEDDING FOR WATER LINES SHALL BE CLEAN, MECHANICALLY COMPACTED BANK SAND.
8. REFER TO: MANHOLE DETAILS, SANITARY, C.S.S., GENERAL, WATER CROSSING, WATER DISTRIBUTION DETAILS AND NOTES.
9. ALL BEDDING WILL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
10. A GEOTECHNICAL REPORT MAY BE REQUIRED TO ANALYZE THE BEARING CAPACITY OF EXISTING SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDDING AND BACKFILL IS APPROPRIATE.

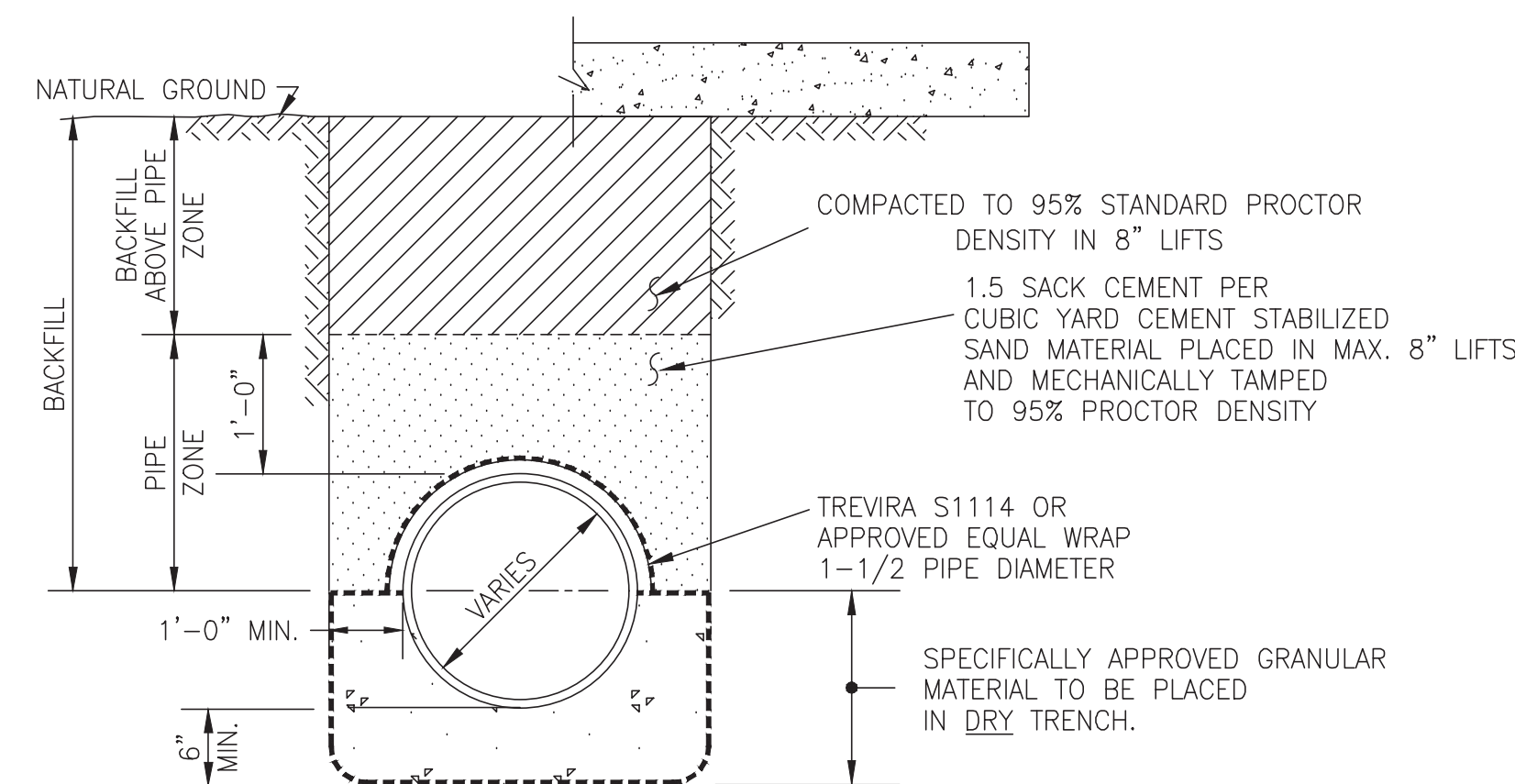
SL-BB-05



PIPE SEPARATION



RCB SEPARATION



MODIFIED "A"
N.T.S.


NOTE: C.S.S. SHALL BE INSTALLED A MIN. 1' ABOVE TOP OF PIPE.

**SANITARY SEWER
BEDDING AND BACKFILL**

SL-BB-03

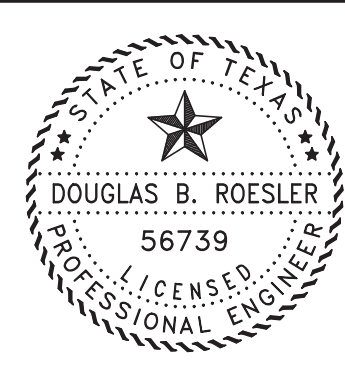
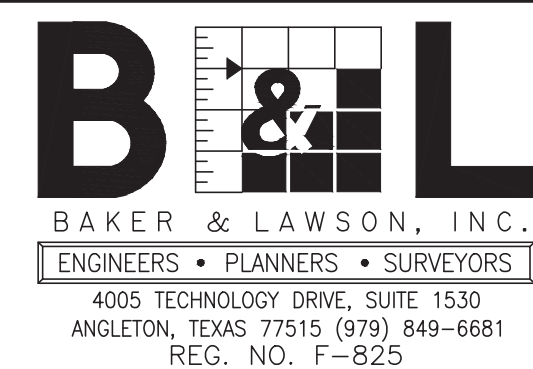
REFER TO:

1. GENERAL NOTES
2. C.S.S. NOTES

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
WATER LINE, SANITARY SEWER FORCE MAIN BEDDING DETAILS		
JOB No.:	SL-19	
DATE:		
DESIGNED BY:		
DRAWN BY:		
CHECKED BY:		
SCALE:		SHEET OF

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	



The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

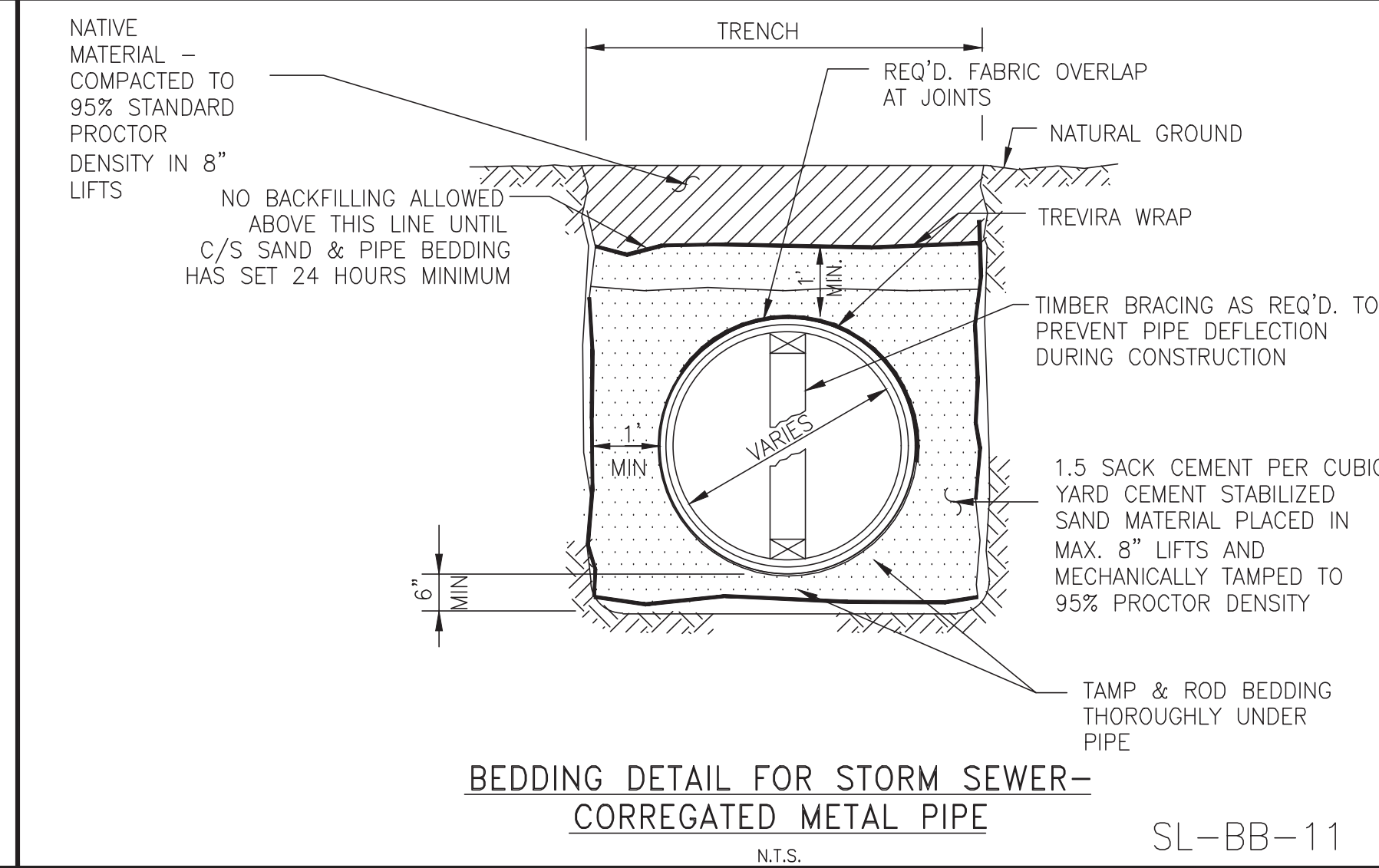
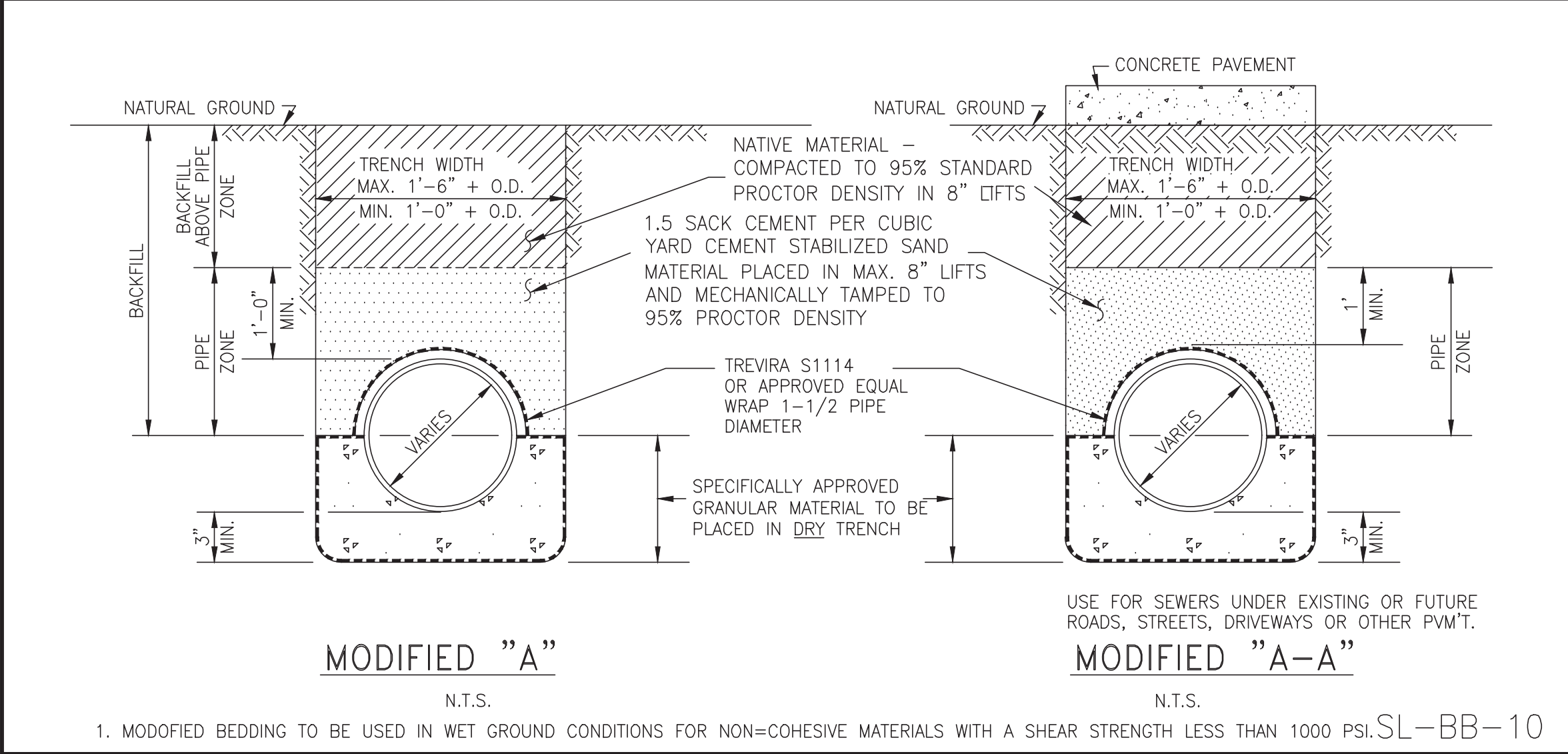
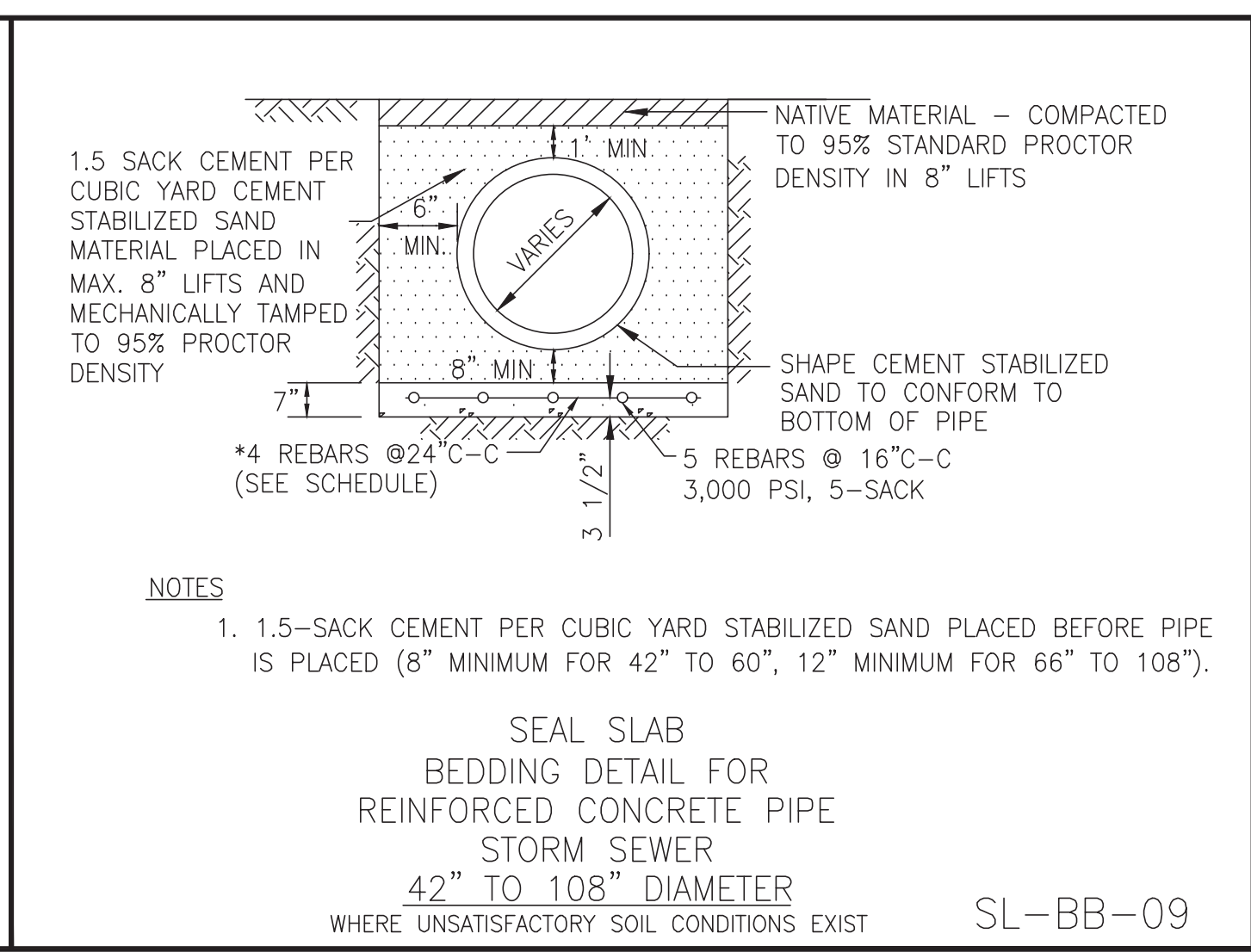
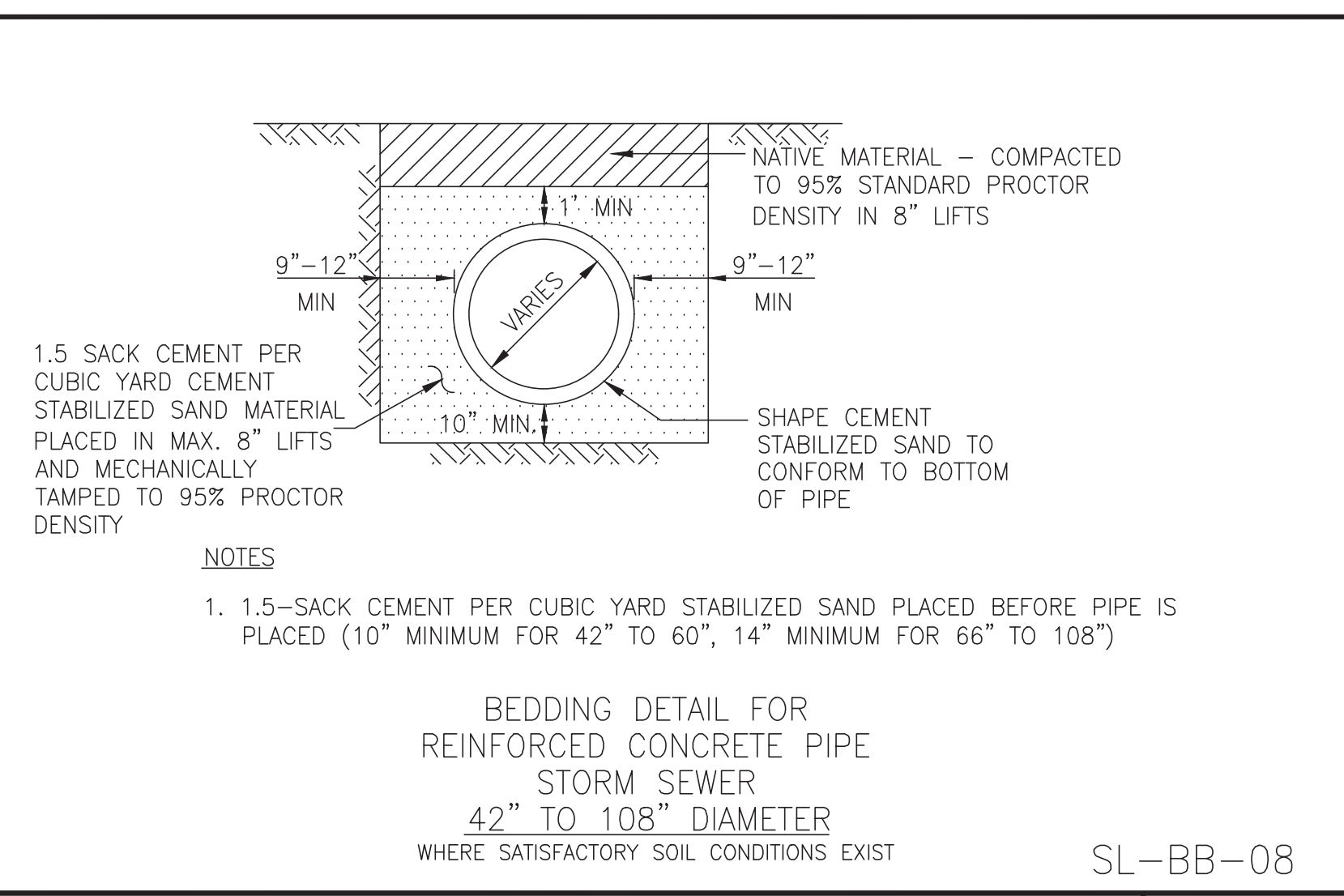
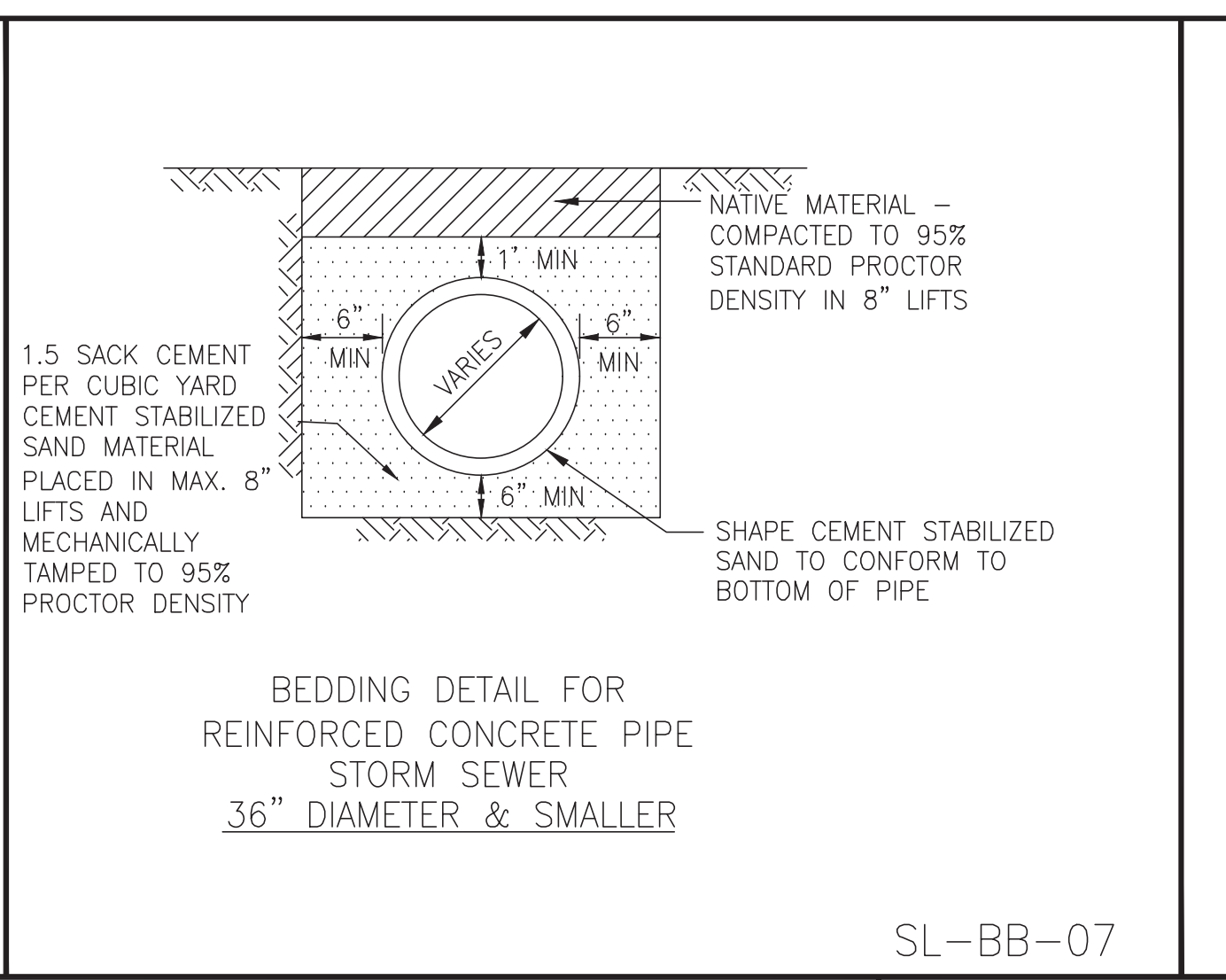
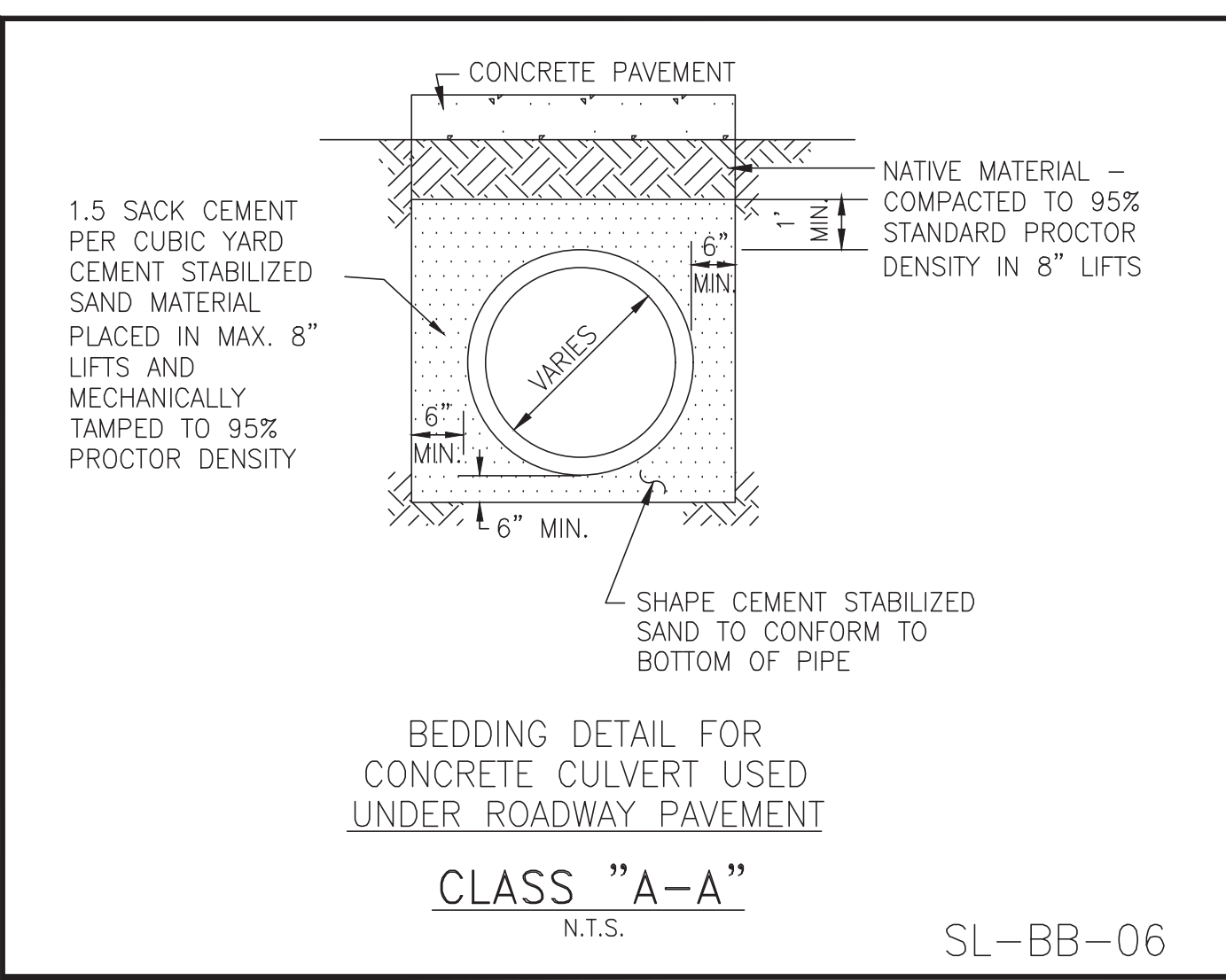
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

**RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4**
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WATER LINE, SANITARY
SEWER FORCE MAIN
BEDDING DETAILS
SL-19

PROJECT NO. 14396



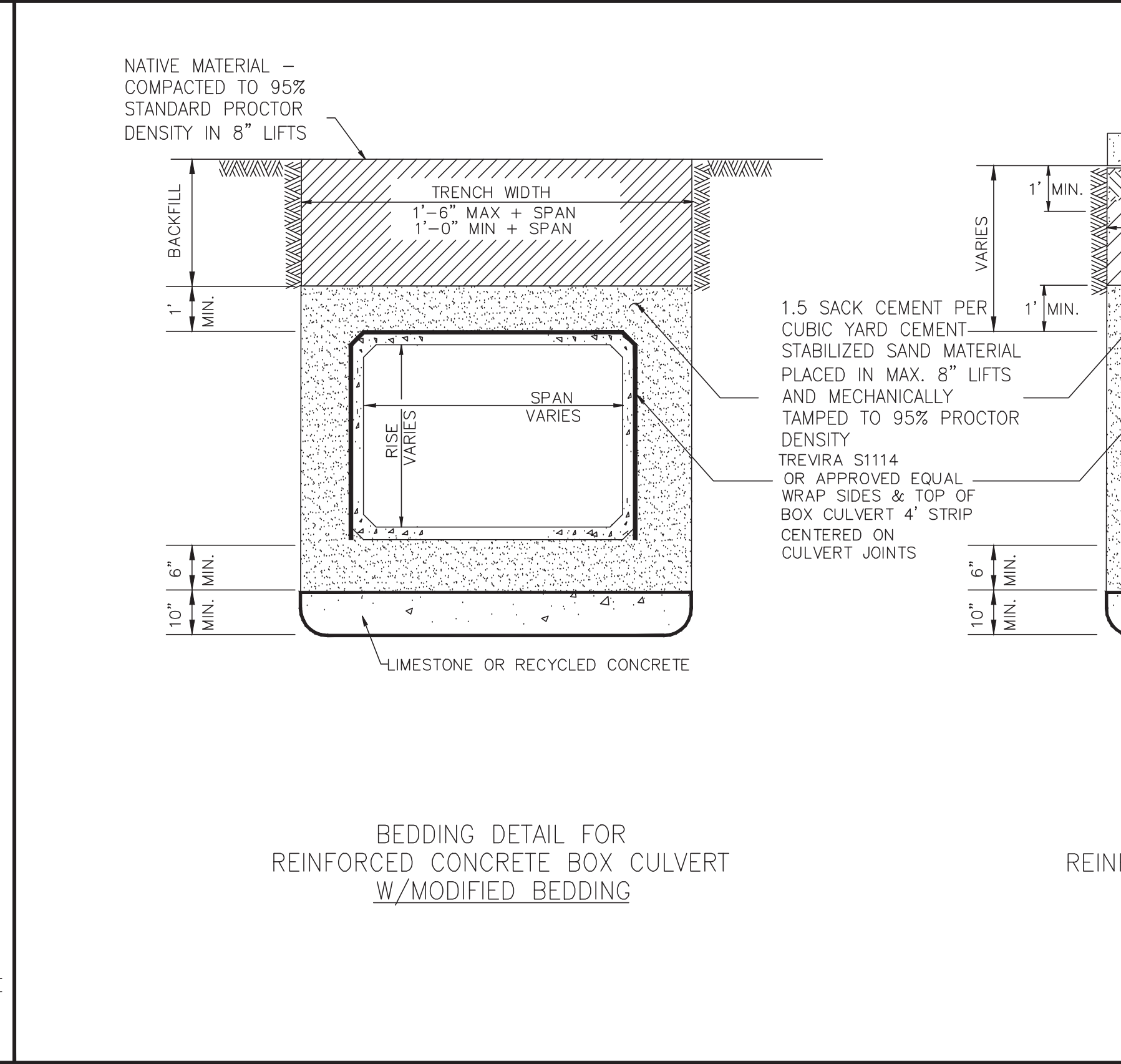
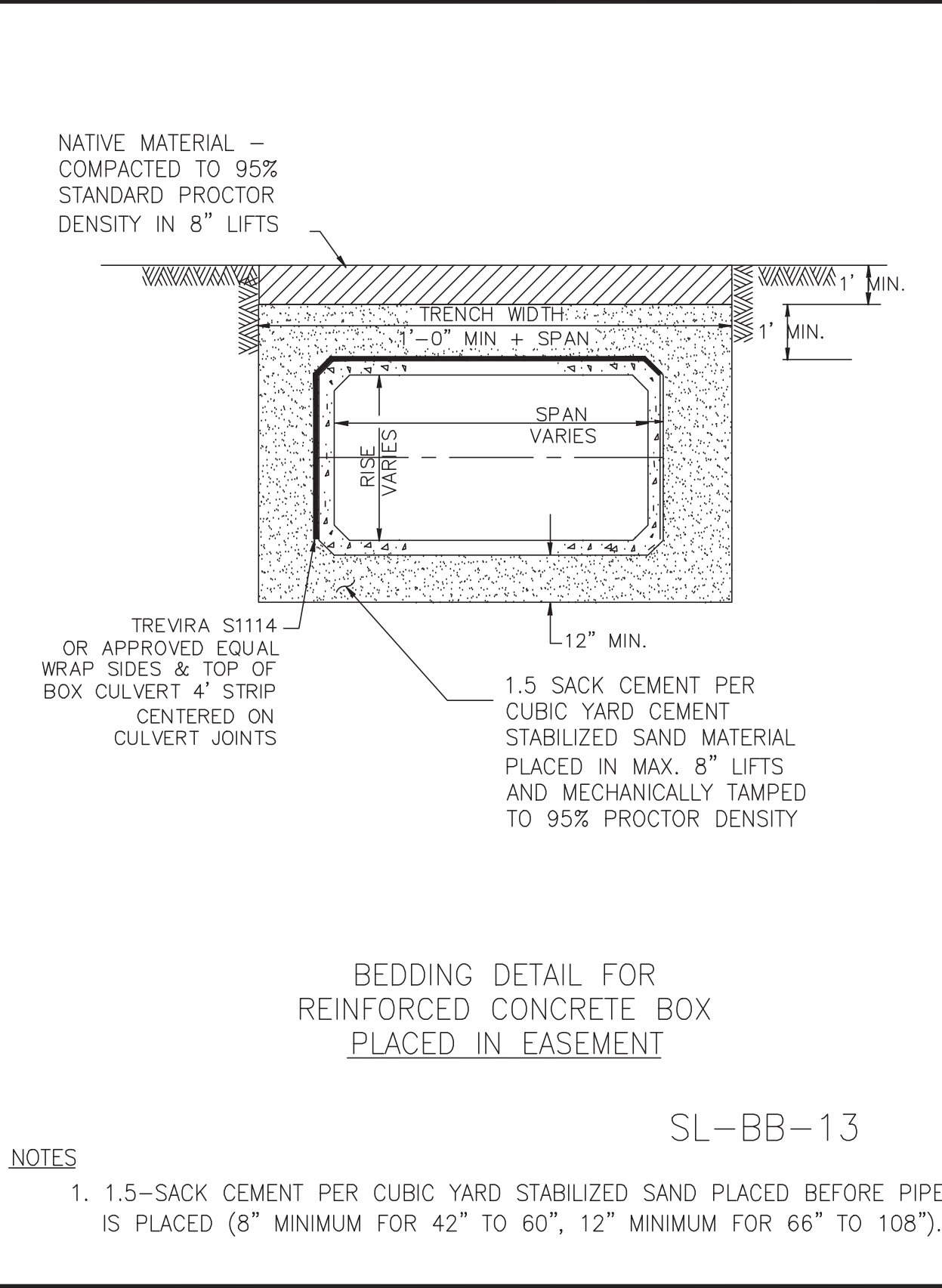
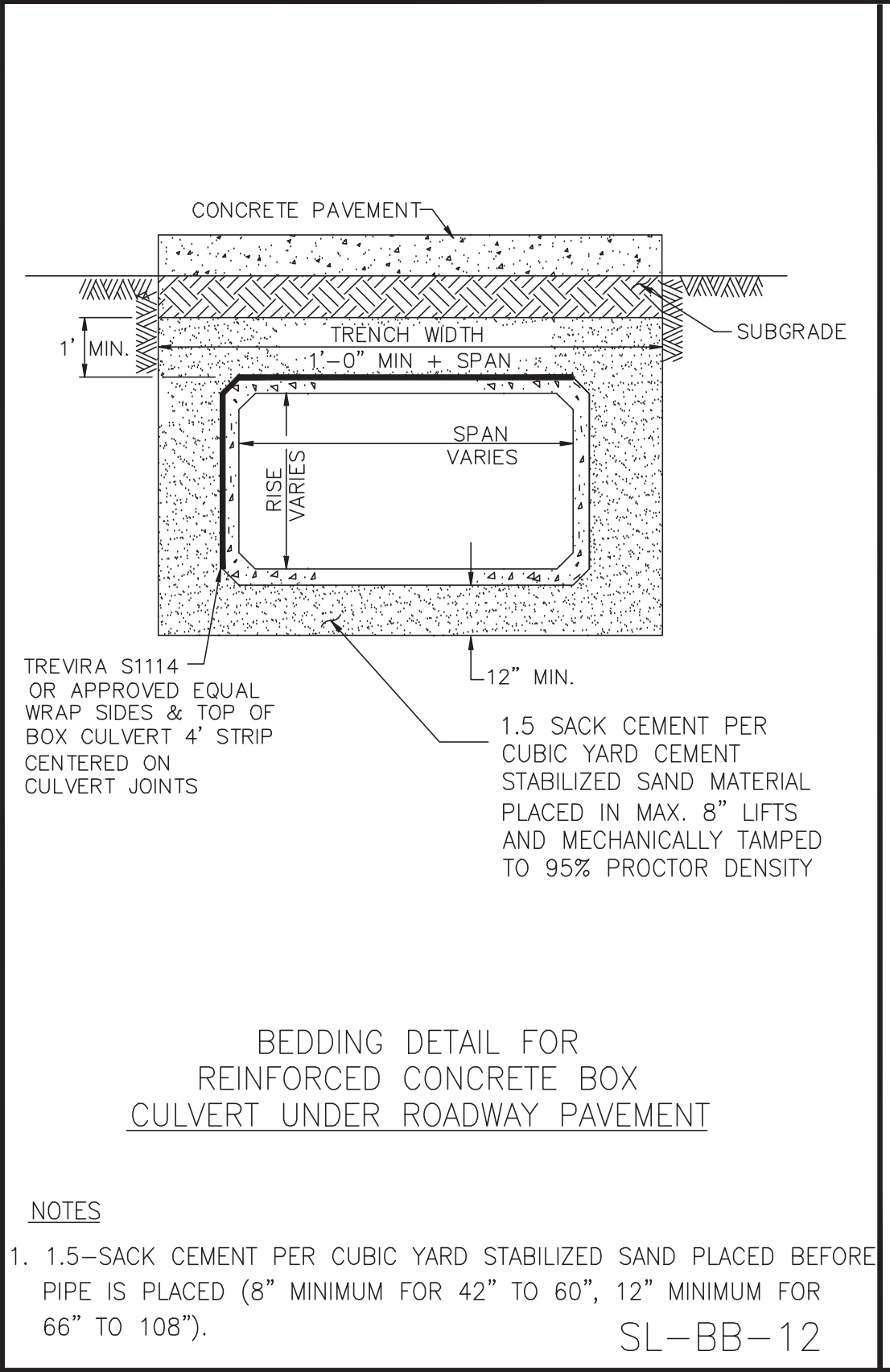
CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEERING DEPARTMENT IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUNTERED.
- SPECIFICALLY APPROVED GRANULAR MATERIAL DIMENSIONS SHOWN ARE TYPICAL BUT MAY BE VARIED BY ORDER OF CITY ENGINEER.
- SPECIFICALLY APPROVED GRANULAR MATERIAL SHALL BE IN ACCORDANCE WITH TXDOT SPECIFICATION No. 247 FLEXIBLE BASE, TYPE A, GRADE 2 AGGREGATE.
- NO BEDDING SHALL BE INSTALLED IN WET CONDITIONS. WHEN WELL POINTING OR IN WET SAND CONDITIONS, MAINTAIN GROUND WATER 1' (FT.) BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24-HRS AFTER BEDDING AND BACKFILL IS IN PLACE.
- R.C.P. AND BOX CULVERTS SHALL BE INSTALLED WITH APPROVED GASKETS ONLY.
- MANHOLES SHALL BE PROVIDED WHERE MODIFIED "A" OR MODIFIED "A-A" BEDDING IS USED. STACKS ARE NOT ALLOWED.
- REFER TO: MANHOLE DETAILS, INLETS, OUTFALL AND END TREATMENT DETAILS, C.S.S., GENERAL NOTES, AND STORM NOTES.
- SPECIFIC DESIGNS MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER FOR MANHOLE ACCESS TO BOX CULVERTS AS REQUIRED.
- ALL BACKFILL WITHIN THE R.O.W. SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- A GEOTECHNICAL REPORT MAY BE REQUIRED TO ANALYZE THE BEARING CAPACITY OF EXISTING SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDDING AND BACKFILL IS APPROPRIATE.

TYPICAL SEAL SLAB BAR SCHEDULE (OR AS DIRECTED BY ENGINEER)

PIPE SIZE	LGT #4 BARS	LAT #5 BARS	NO LONGIT #5 BARS
42"	5'4"		5
48"	6'8"		6
54"	6'8"		6
60"	8'0"		7
66"	8'0"		7
72"	9'4"		8
78"	9'4"		8
84"	9'4"		8
90"	10'8"		9
96"	10'8"		9
102"	12'0"		10
108"	12'0"		10

SL-BB-15



REVISIONS

No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

STORM SEWER PIPE BEDDING AND BACKFILL DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-20
SHEET OF

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____

NO. DATE DESCRIPTION APPROVED

REVISIONS

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

STATE OF TEXAS
DOUGLAS B. ROESLER
P.E. 56739
LICENSED PROFESSIONAL ENGINEER
03-03-2023

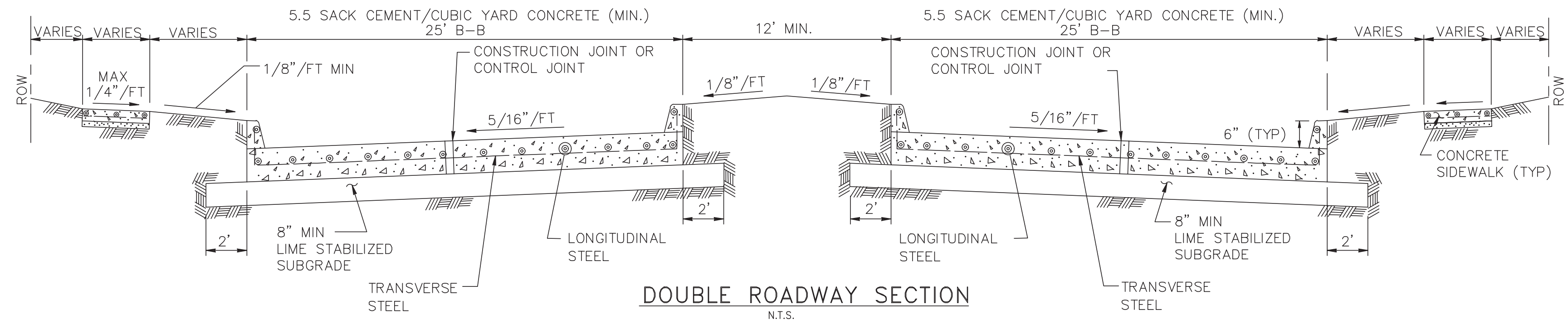
OWNER:
**RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057**

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

**RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515**

STORM SEWER PIPE BEDDING AND BACKFILL DETAILS
SL-20

PROJECT NO. 14396

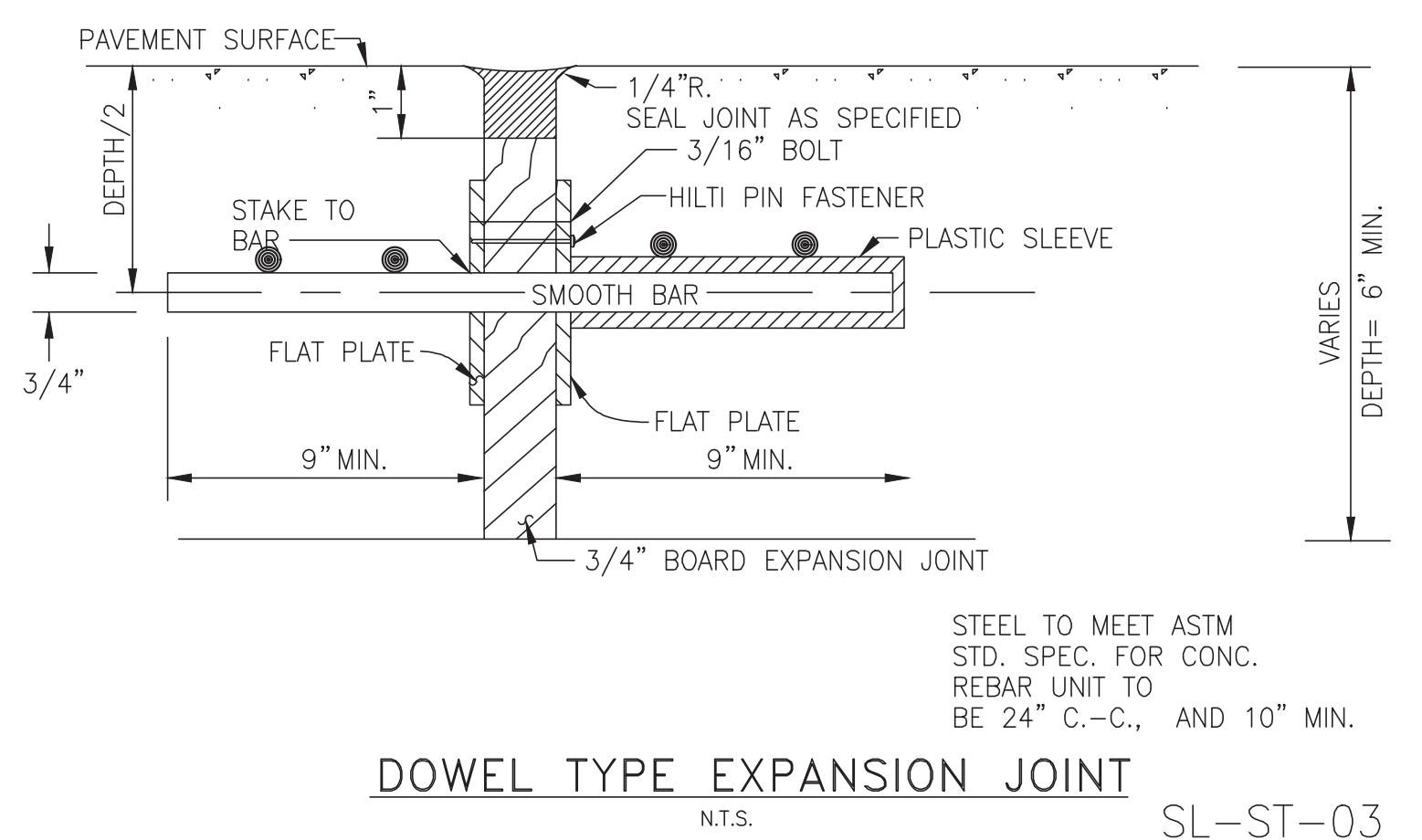


SL-ST-01

CONSTRUCTION NOTES:

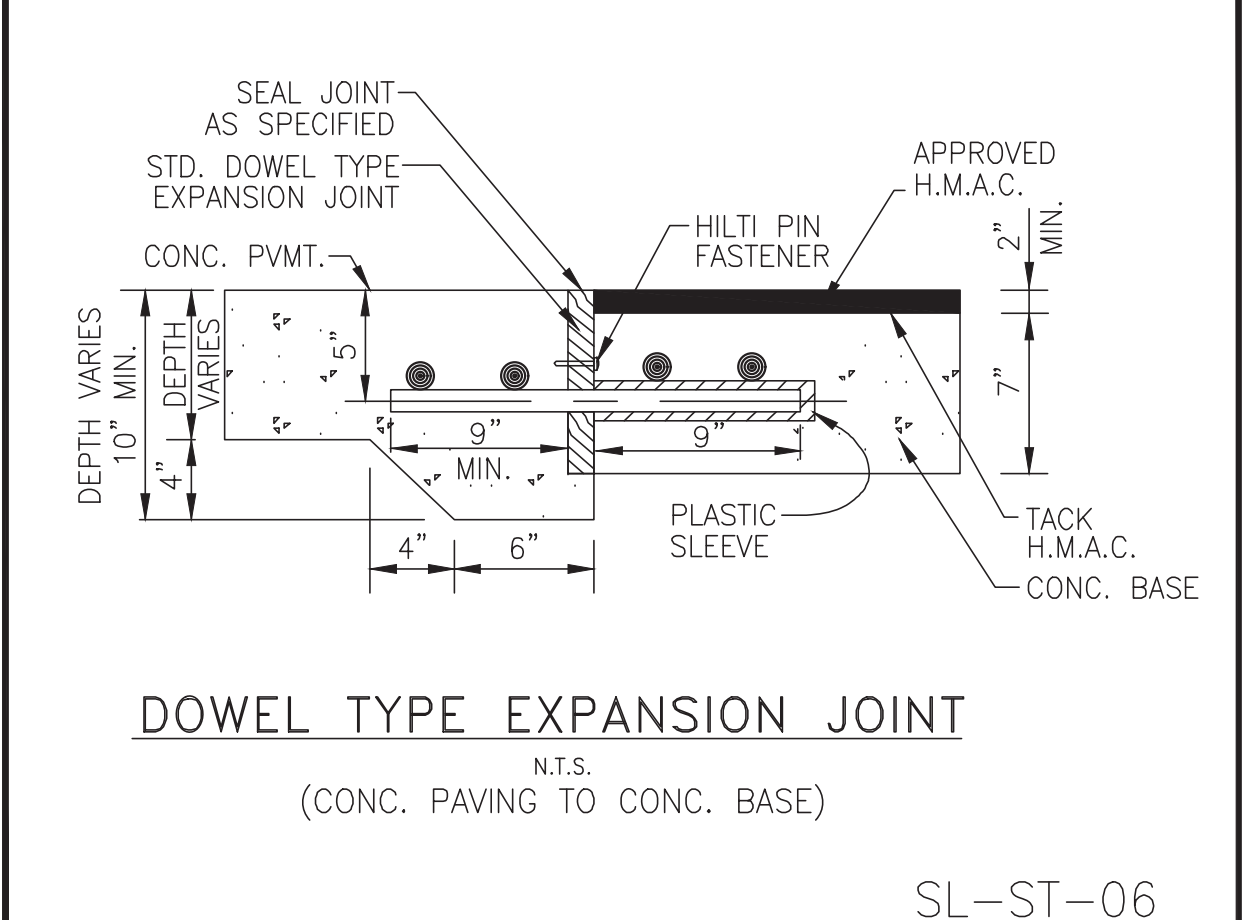
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR LOCAL STREETS
- 7 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 18 INCHES C-C, IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS
- EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS.
- HARD AGGREGATE IS NOT ALLOWED IN STREET PAVEMENT MIX. ADMIXTURES REQUIRE CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT APPROVAL.
- TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 200' AND BE SEALED WITH SEALANT CONFORMING TO TXDOT ITEM 360 (& ITEM 438) AND TXDOT DMS-6310, CLASS-2.
- TRANSVERSE CONTROL JOINTS ARE REQUIRED AT MAXIMUM SPACING OF 20'-0" C-C, AND VERTICAL CURB JOINTS TO BE SEALED WITH SPECIAL JOINT SEALANT ASTM-D-1190-74 OR AASHTO-M173-60 FOR PAVEMENT 8" THICK AND GREATER. (ELASTOMERIC TYPE HOT Poured)
- PAVEMENT FINISH SHALL BE BAKER BROOM FINISH. CURING COMPOUND REQUIRED ON ALL CONCRETE.
- STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED, MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM QUALITY MANUAL OF THE CITY OF SUGAR LAND. CITY ENGINEER'S APPROVAL.
- REFER TO GENERAL, C.S.S., AND PAVEMENT NOTES.

SL-ST-12



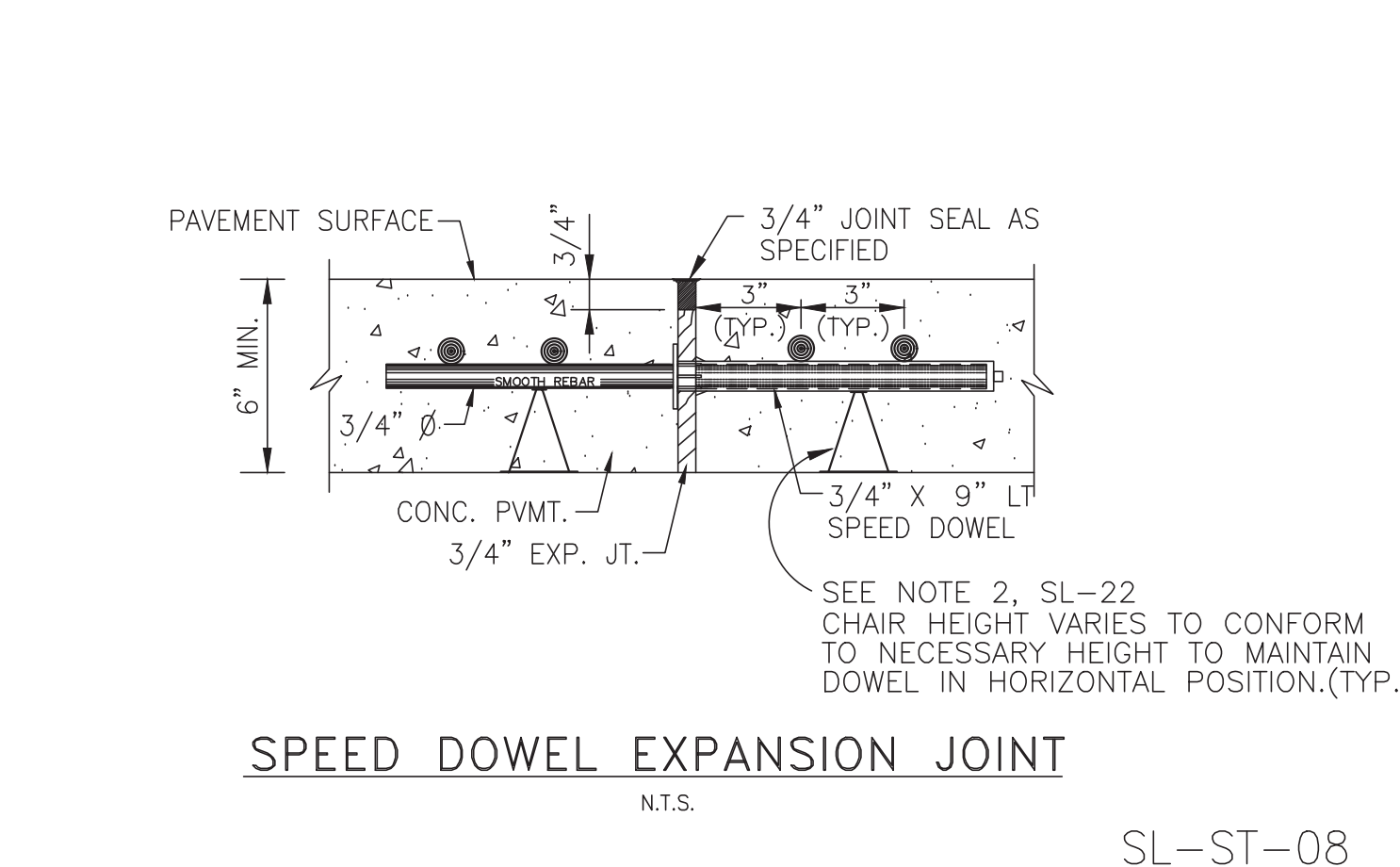
DOWEL TYPE EXPANSION JOINT N.T.S.

SL-ST-03



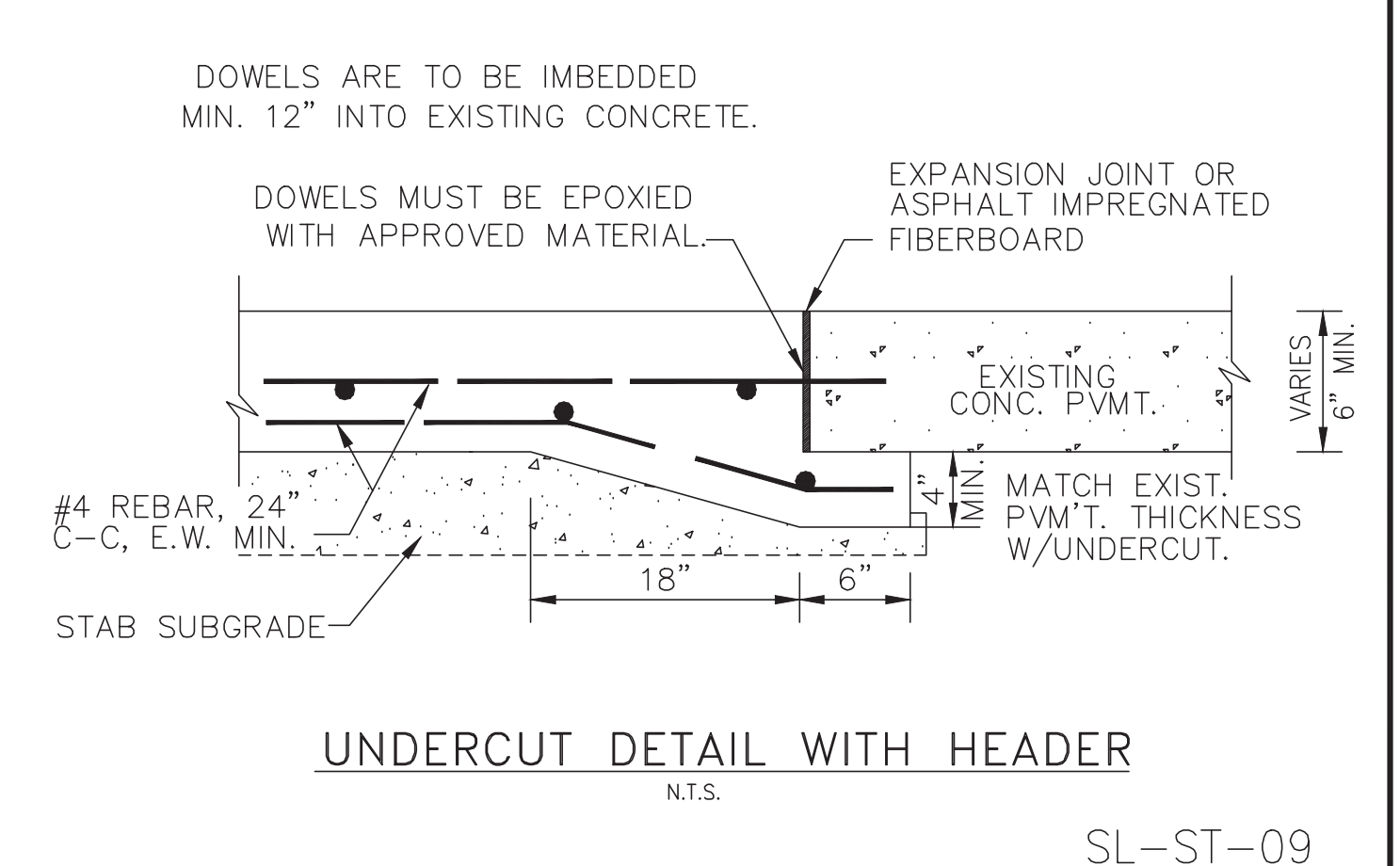
DOWEL TYPE EXPANSION JOINT (CONC. PAVING TO CONC. BASE) N.T.S.

SL-ST-06



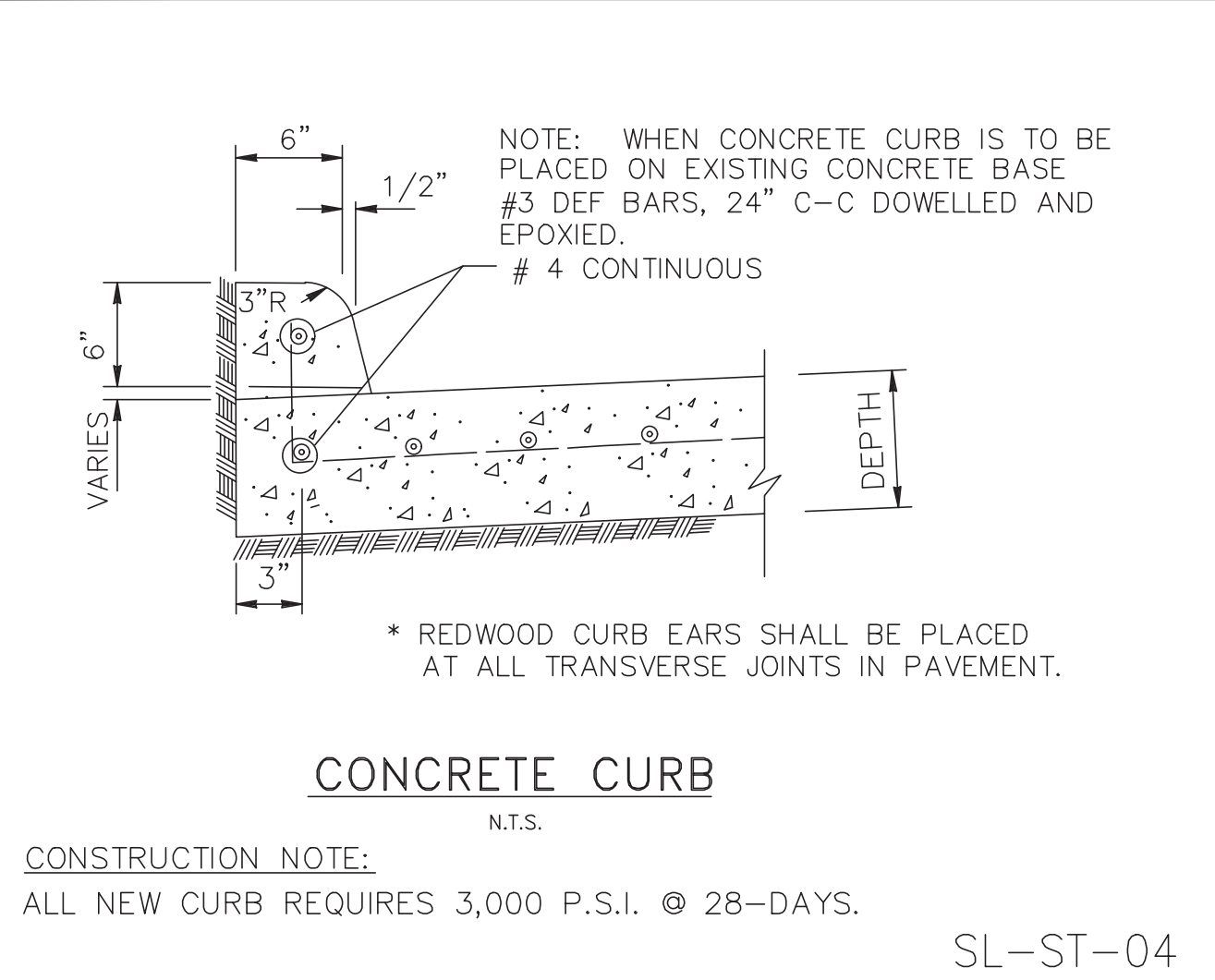
SPEED DOWEL EXPANSION JOINT N.T.S.

SL-ST-08



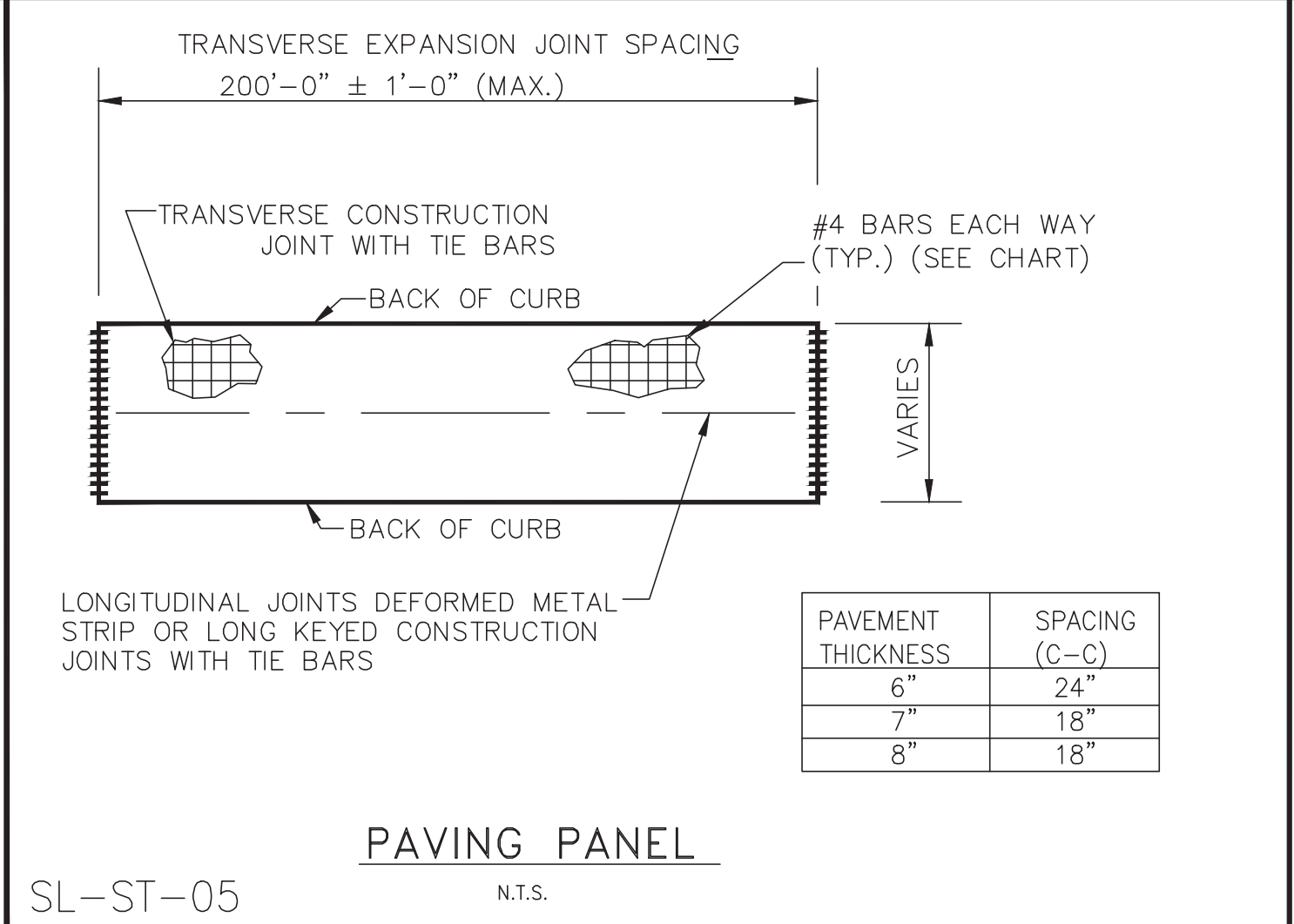
UNDERCUT DETAIL WITH HEADER N.T.S.

SL-ST-09



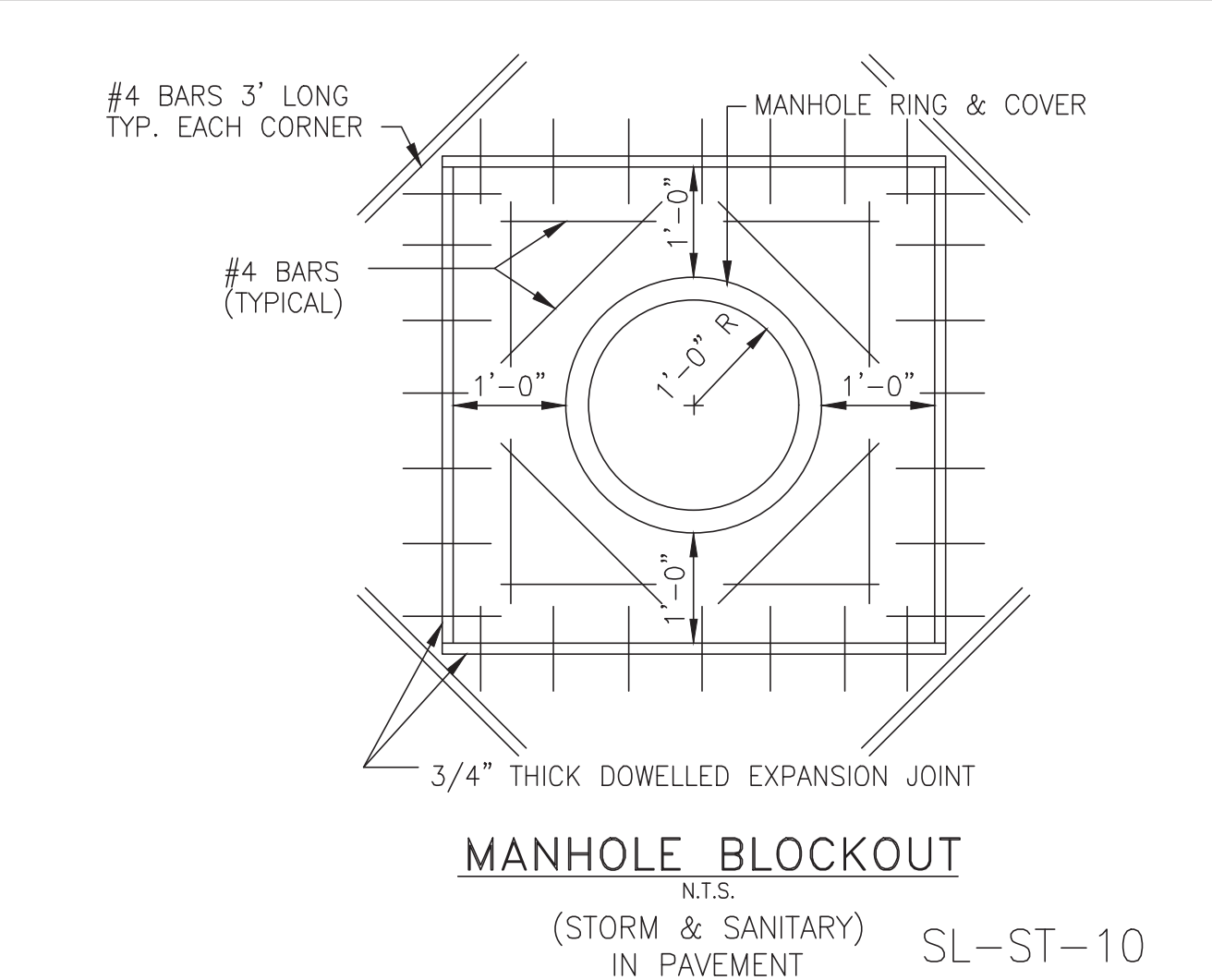
CONCRETE CURB N.T.S.

SL-ST-04



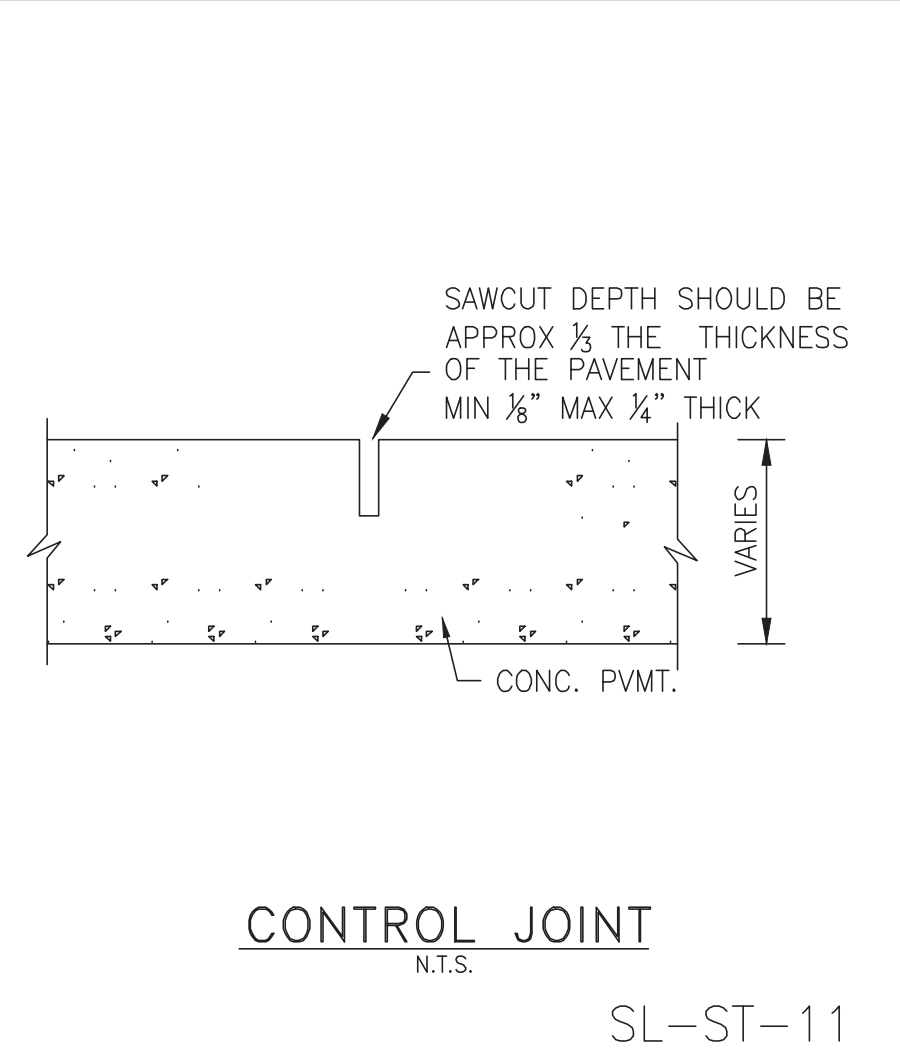
PAVING PANEL N.T.S.

SL-ST-05



MANHOLE BLOCKOUT N.T.S.

SL-ST-10

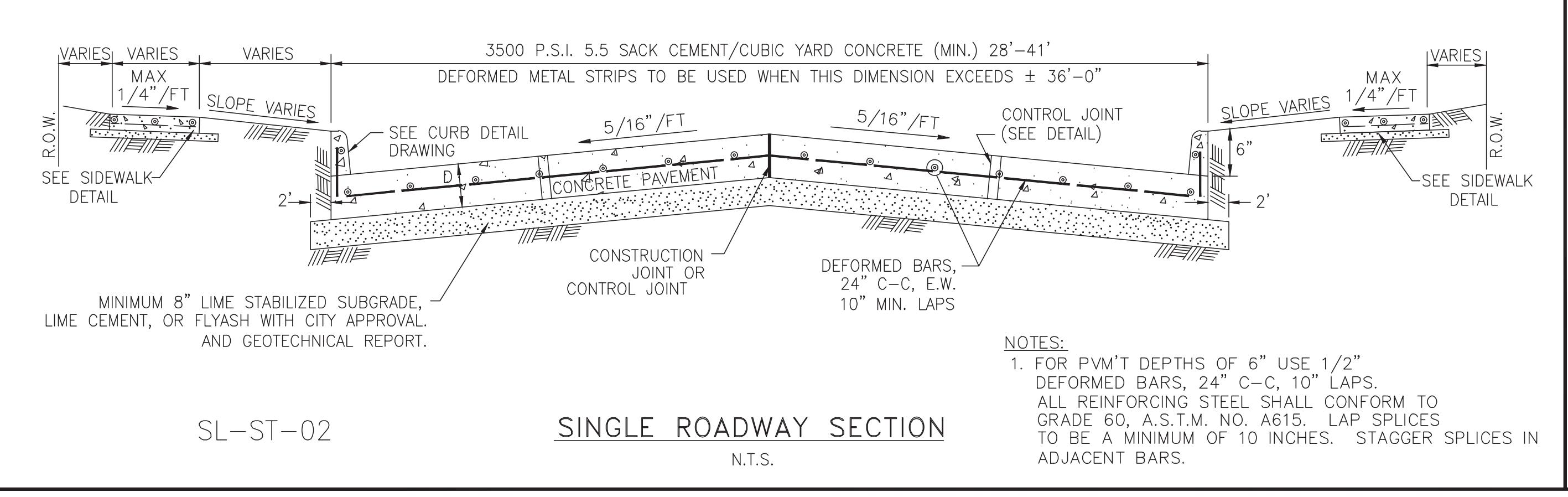


CONTROL JOINT N.T.S.

SL-ST-11

No.	DATE	REVISION

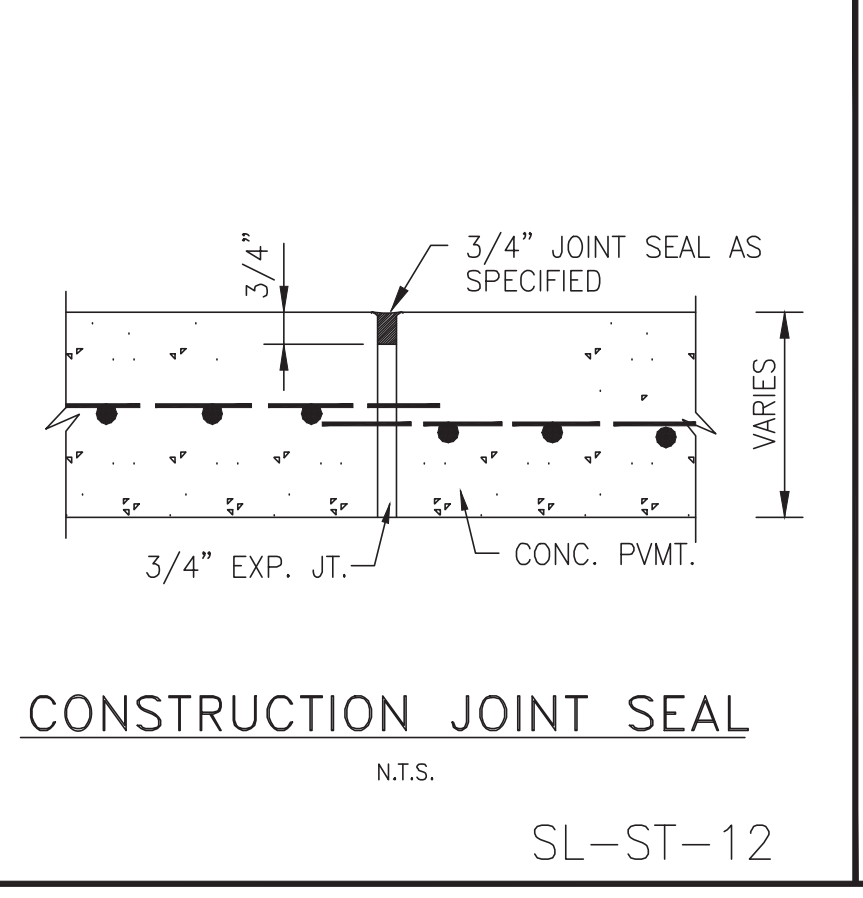
DESIGN ENGINEER: _____ DATE: _____



SL-ST-02

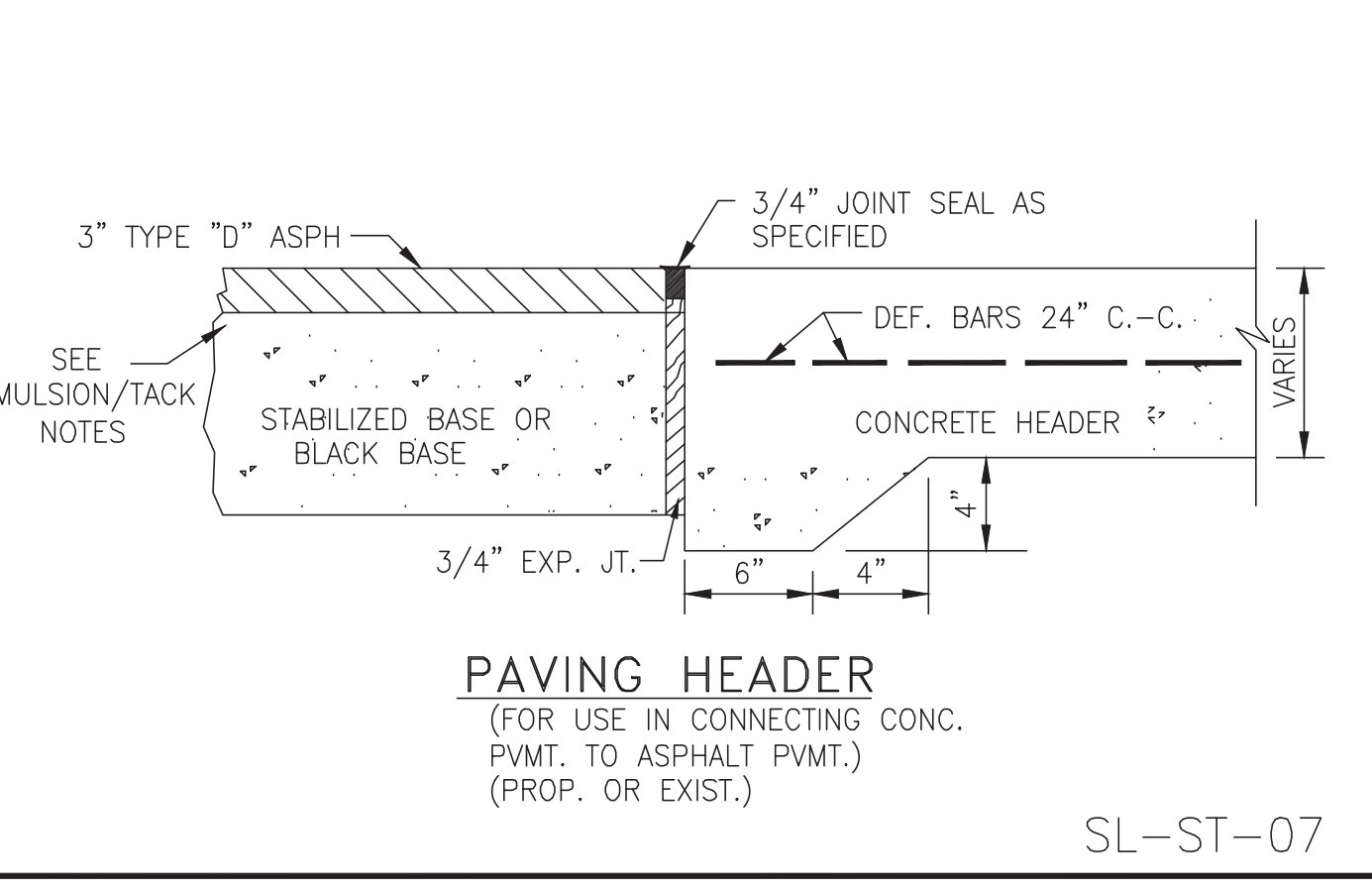
SINGLE ROADWAY SECTION N.T.S.

- NOTES:**
- FOR P.V.M.T. DEPTHS OF 6" USE 1/2" DEFORMED BARS, 24" C-C, 10" LAPS. ALL REINFORCING STEEL SHALL CONFORM TO GRADE 60, A.S.T.M. NO. A615. LAP SPLICES TO BE A MINIMUM OF 10 INCHES. STAGGER SPLICES IN ADJACENT BARS.




CONSTRUCTION JOINT SEAL N.T.S.

SL-ST-12



PAVING HEADER (FOR USE IN CONNECTING CONC. P.V.M.T. TO ASPHALT P.V.M.T.) (PROP. OR EXIST.)

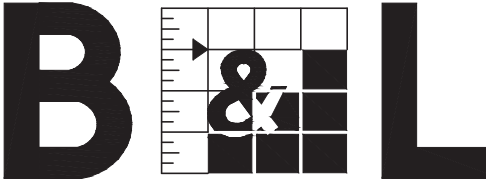
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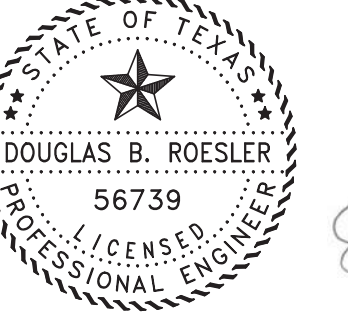

 CITY OF SUGAR LAND, TEXAS
 ENGINEERING DEPARTMENT
 CONSTRUCTION PLANS FOR:
CONCRETE PAVEMENT CONSTRUCTION DETAILS
 JOB No.: _____
 DATE: _____
 DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____

SL-21
 SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
 DRAWN: BT
 CHECKED: _____
 DATE: _____


BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-8681
 REG. NO. F-825

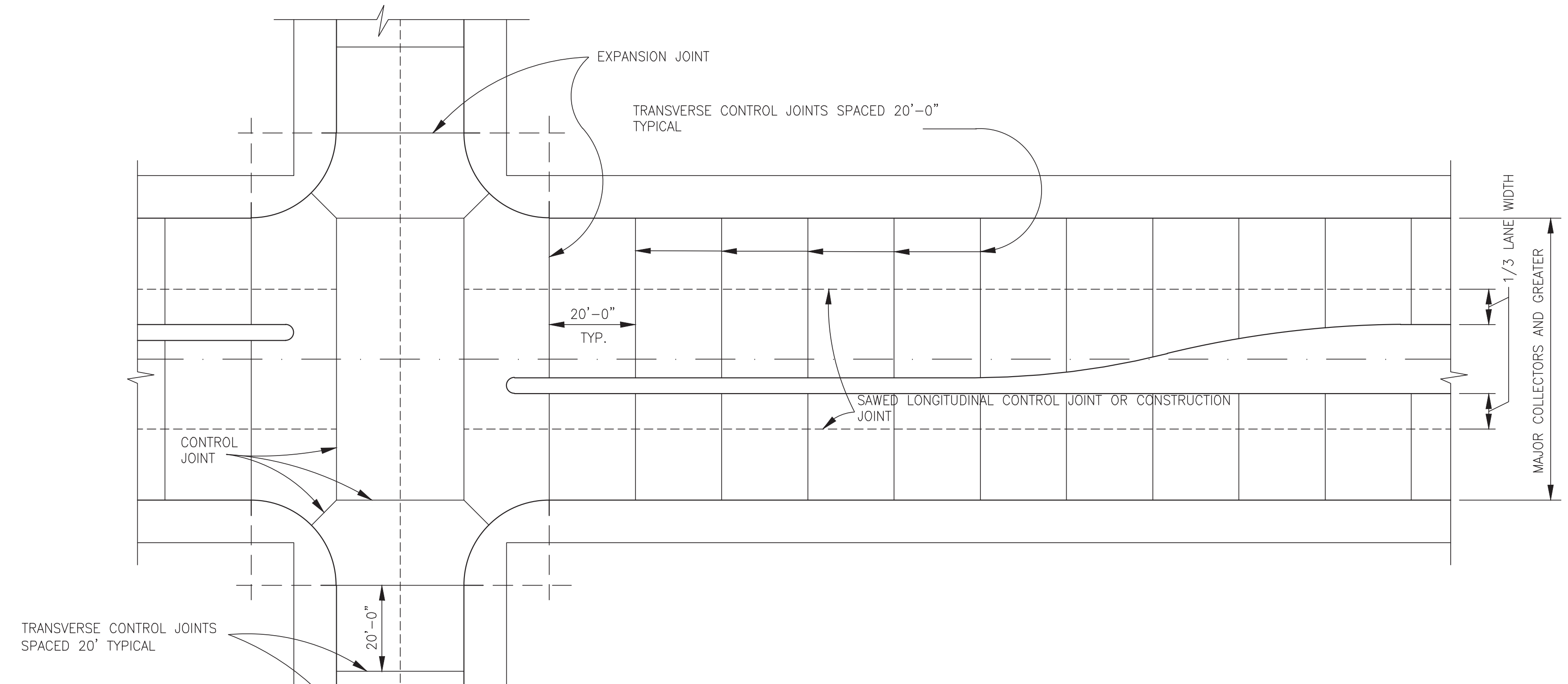

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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

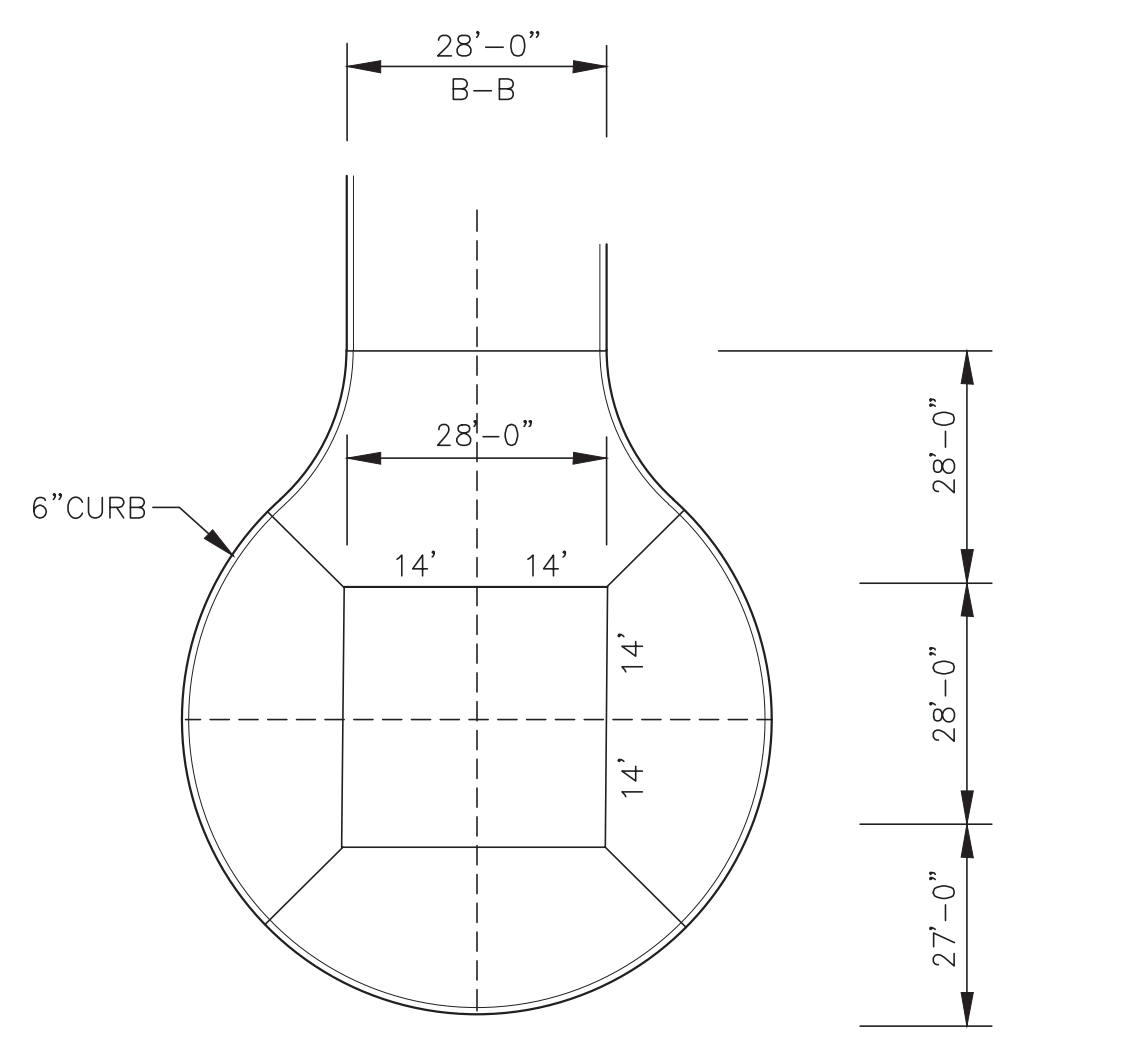
CONCRETE PAVEMENT CONSTRUCTION DETAILS
SL-21
 PROJECT NO. 14396



SPACING DIAGRAM FOR JOINTS


1. SPACING OF EXPANSION JOINTS SHALL NOT EXCEED 40 FEET.
2. ALL EXPANSION JOINT DOWEL BARS SHALL BE HELD FIRMLY IN PLACE PARALLEL WITH THE PAVEMENT SURFACE WITH WIRE BASKETS MODIFIED TO MOLD AROUND THE REDWOOD EXPANSION BOARD.
3. ALL TIE BARS SHALL BE 24" MIN. LENGTH AND CENTERED ON THE LONGITUDINAL JOINT.

————— EXPANSION JOINT
 - - - - - CONSTRUCTION OR LONGITUDINAL JOINT



————— EXPANSION JOINT
 - - - - - CONSTRUCTION OR LONGITUDINAL JOINT

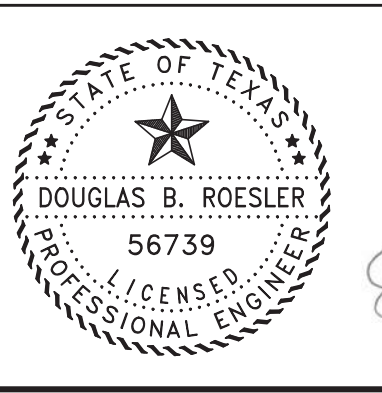
TYPICAL JOINT LAYOUT FOR CUL-DE-SAC

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
CONCRETE PAVEMENT CONSTRUCTION DETAILS		
JOB No.:	DATE:	SL-22
DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	SHEET OF	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6661
 REG. NO. F-825



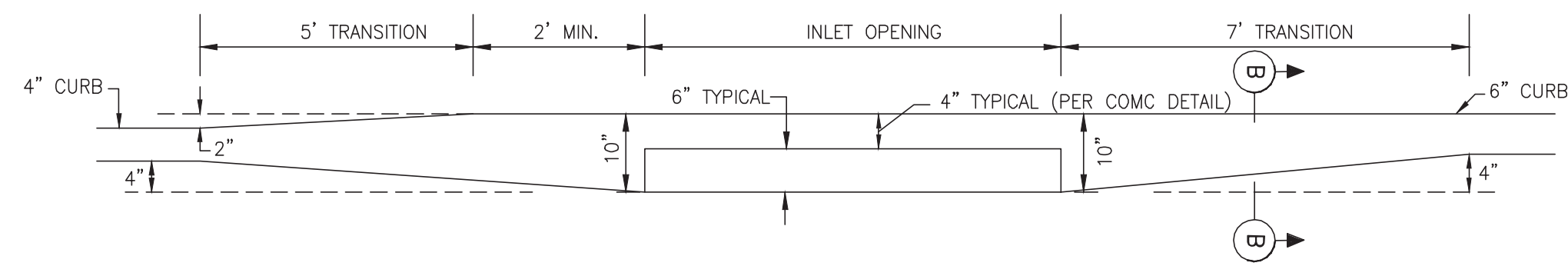
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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

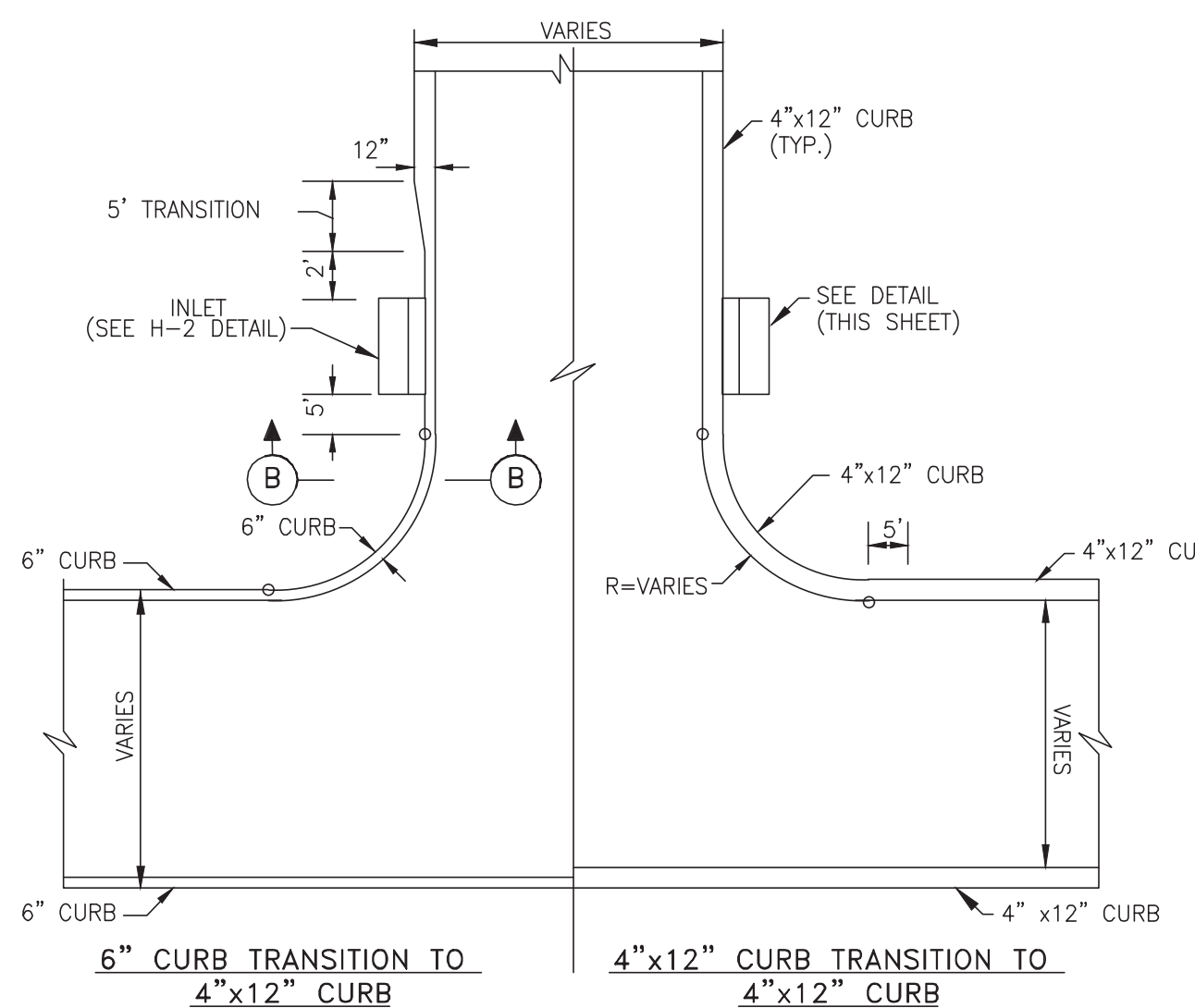
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CONCRETE PAVEMENT
 CONSTRUCTION DETAILS
 SL-22
 PROJECT NO. 14396



TYPICAL CURB TRANSITION FOR INLET INSTALLATION

SL-ST-13



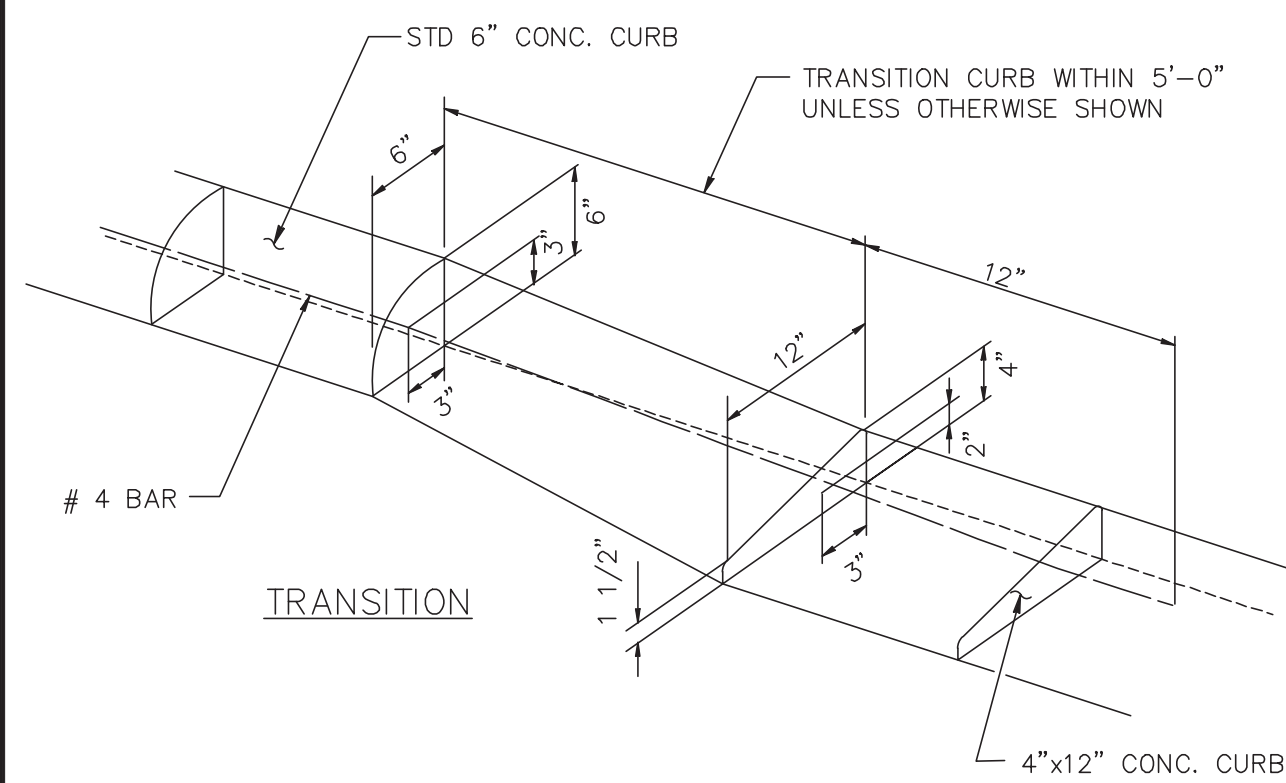
TYPICAL 4\"/>

SL-ST-14

CONSTRUCTION NOTES:

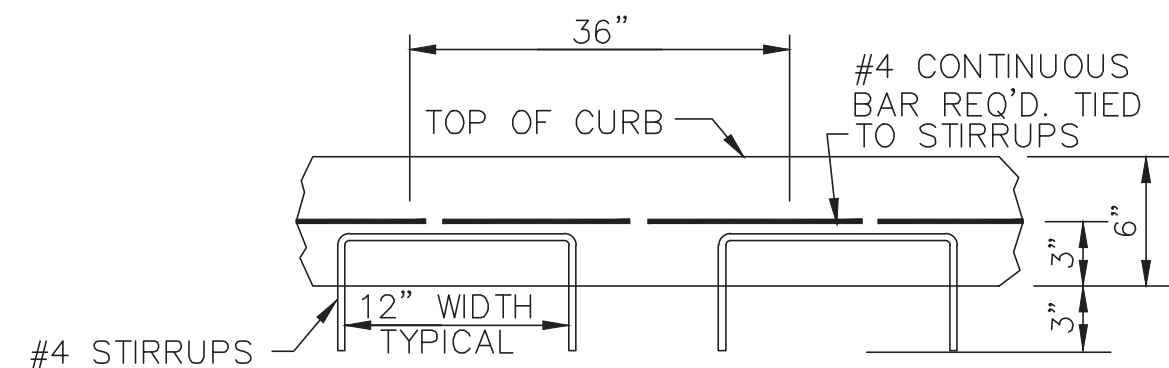
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR RESIDENTIAL STREETS.
- 7 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS.
- EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18\"/>

SL-ST-20



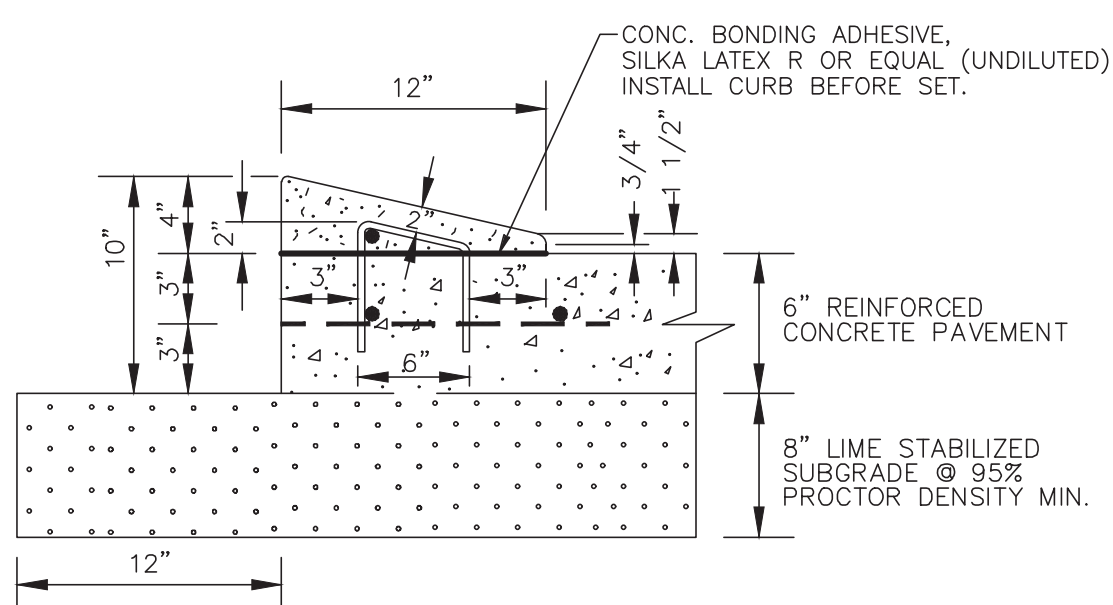
TYPICAL CURB TRANSITION

SL-ST-15



TYPICAL CONCRETE CURB REINFORCING

SL-ST-16

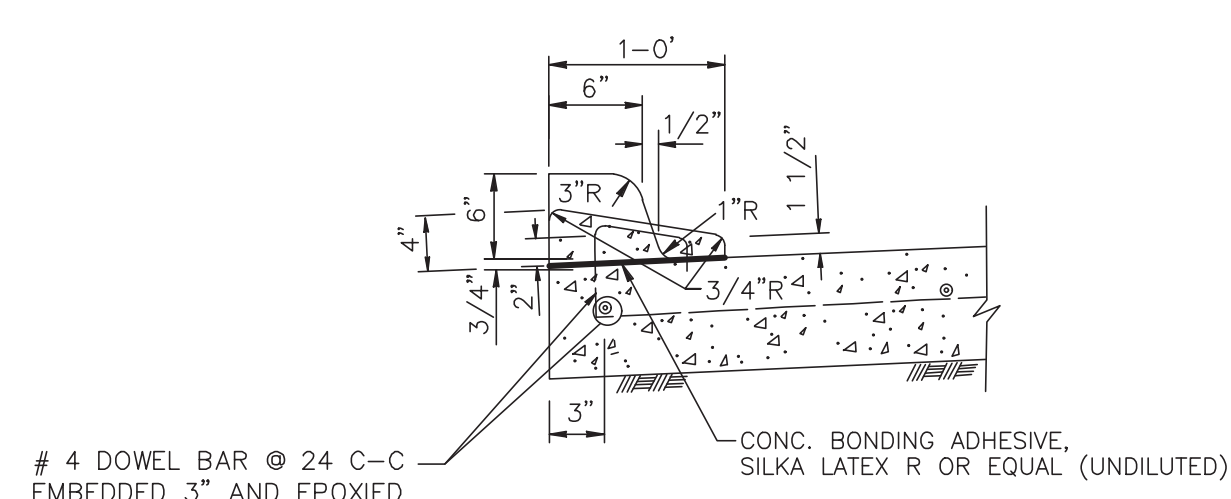


4\"/>

NOTES:

- 1.0 LBS. OF APPROVED NON-METALLIC FIBER MESH PER C/Y IN 4\"/>

SL-ST-17



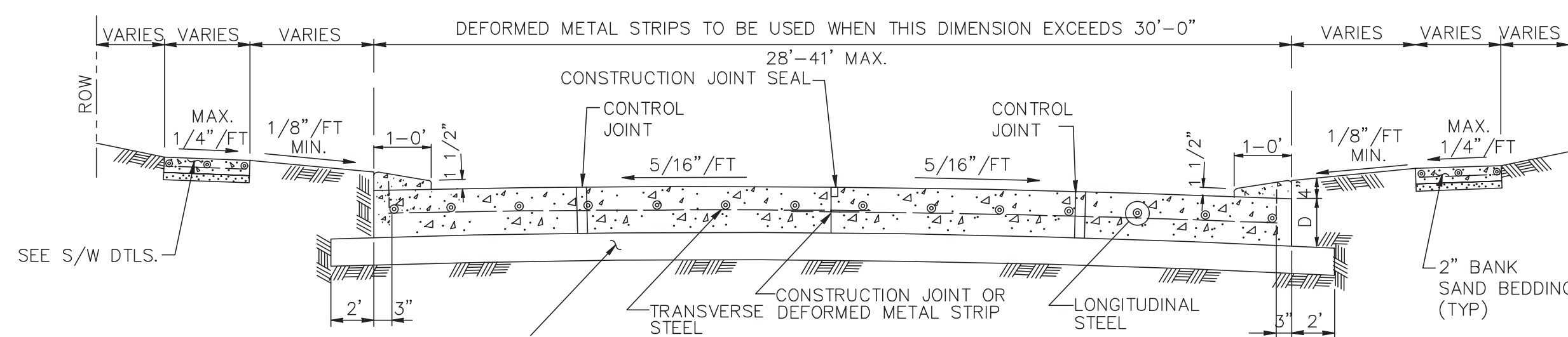
4\"/>

SL-ST-18

4\"/>

- TRANSITION CURB NOTES:
- 6-INCH CONCRETE CURB TO BE CONSTRUCTED ON ALL ESPLANADES, ISLANDS AND NON-RESIDENTIAL STREETS. RESIDENTIAL STREETS MAY BE CONSTRUCTED WITH EITHER 6-INCH CONCRETE CURB OR 4-INCH x 12-INCH CONCRETE CURB AS NOTED ON PLANS.
 - ALL 4-INCH x 12-INCH CONCRETE CURBS TO BE POURED SEPARATE FROM PROPOSED CONCRETE PAVEMENT.
 - TRANSITIONS FROM 6-INCH CONCRETE CURB TO 4-INCH x 12-INCH CONCRETE CURB TO BE ACCOMPLISHED WITHIN 5 FEET (TYP.), UNLESS OTHERWISE SHOWN. REINFORCING STEEL AS SHOWN IN "4-INCH x 12-INCH TRANSITION CURB" DETAIL IS TO BE INSTALLED.

SL-ST-20



TYPICAL SINGLE ROADWAY SECTION FOR CONCRETE PAVEMENT WITH 4\"/>

* SEE 4\"/>

SL-ST-19

No.	DATE	REVISION

DESIGN ENGINEER: _____	DATE: _____
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CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

RESIDENTIAL CURB CONSTRUCTION DETAILS

JOB No.: _____	SL-23
DATE: _____	
DRAWN BY: _____	
CHECKED BY: _____	
SCALE: _____	SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
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ANGLETON, TEXAS 77515 (979) 849-8681
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STATE OF TEXAS
DOUGLAS B. ROESSLER
P.E. 56739
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03-03-2023

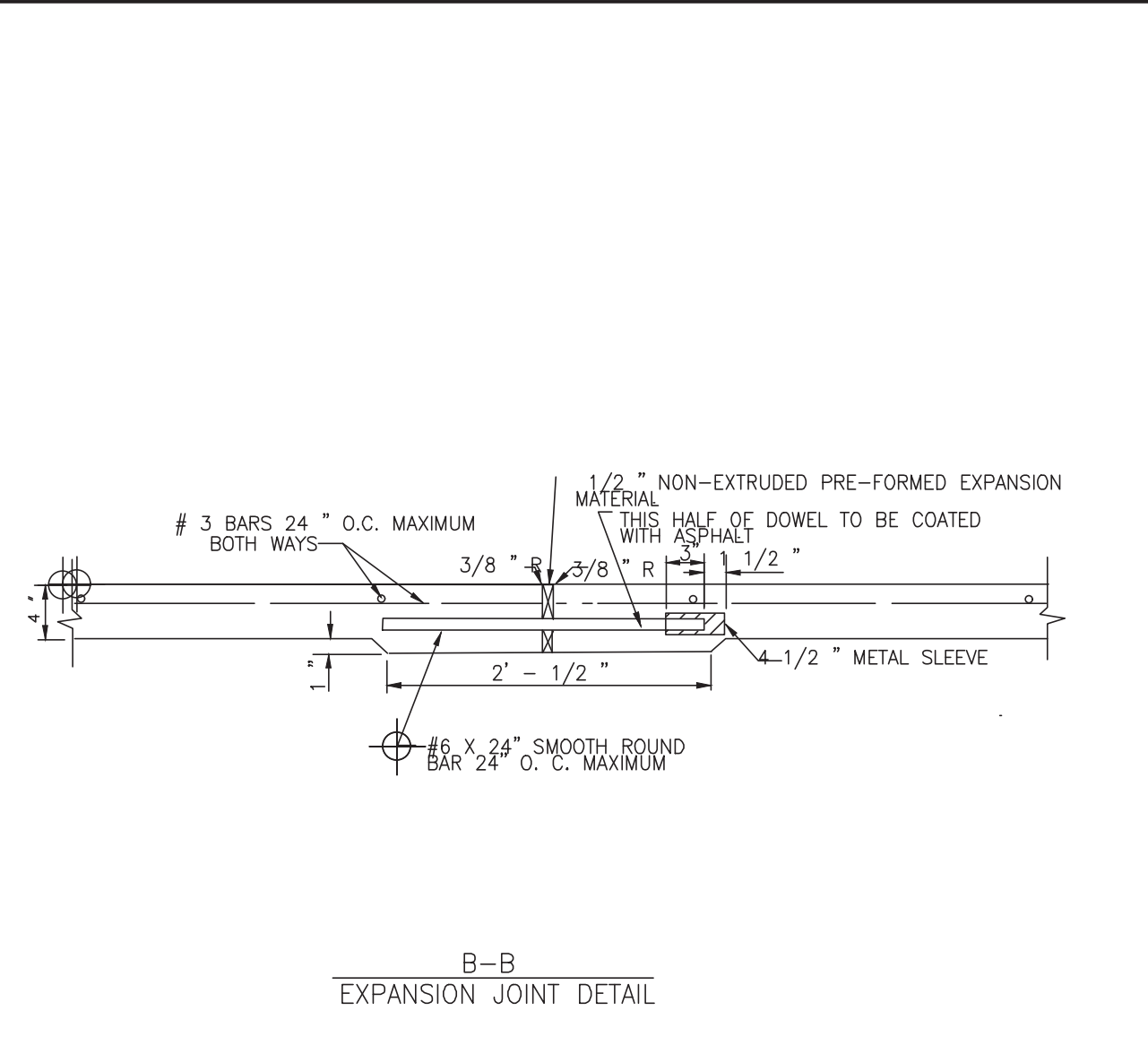
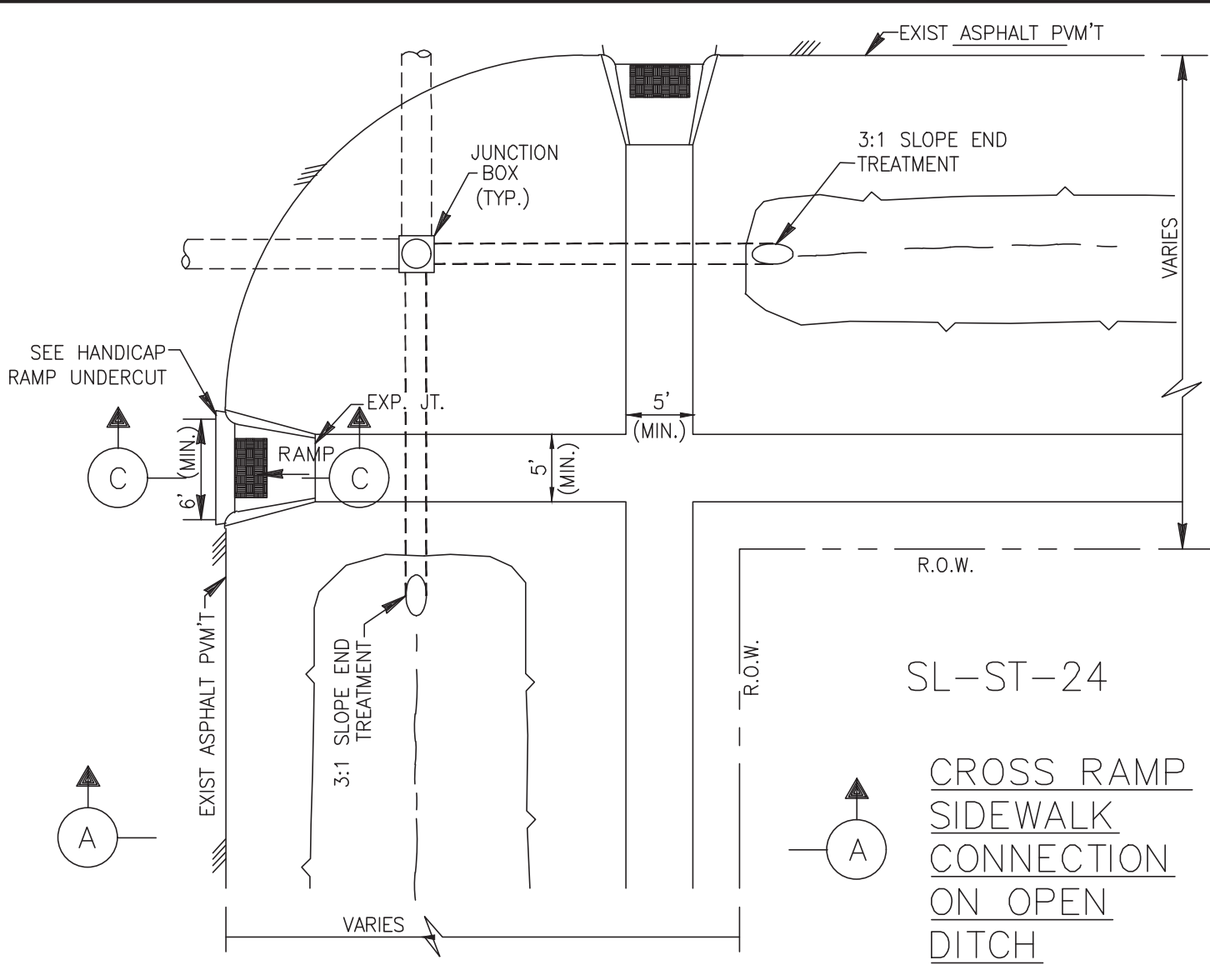
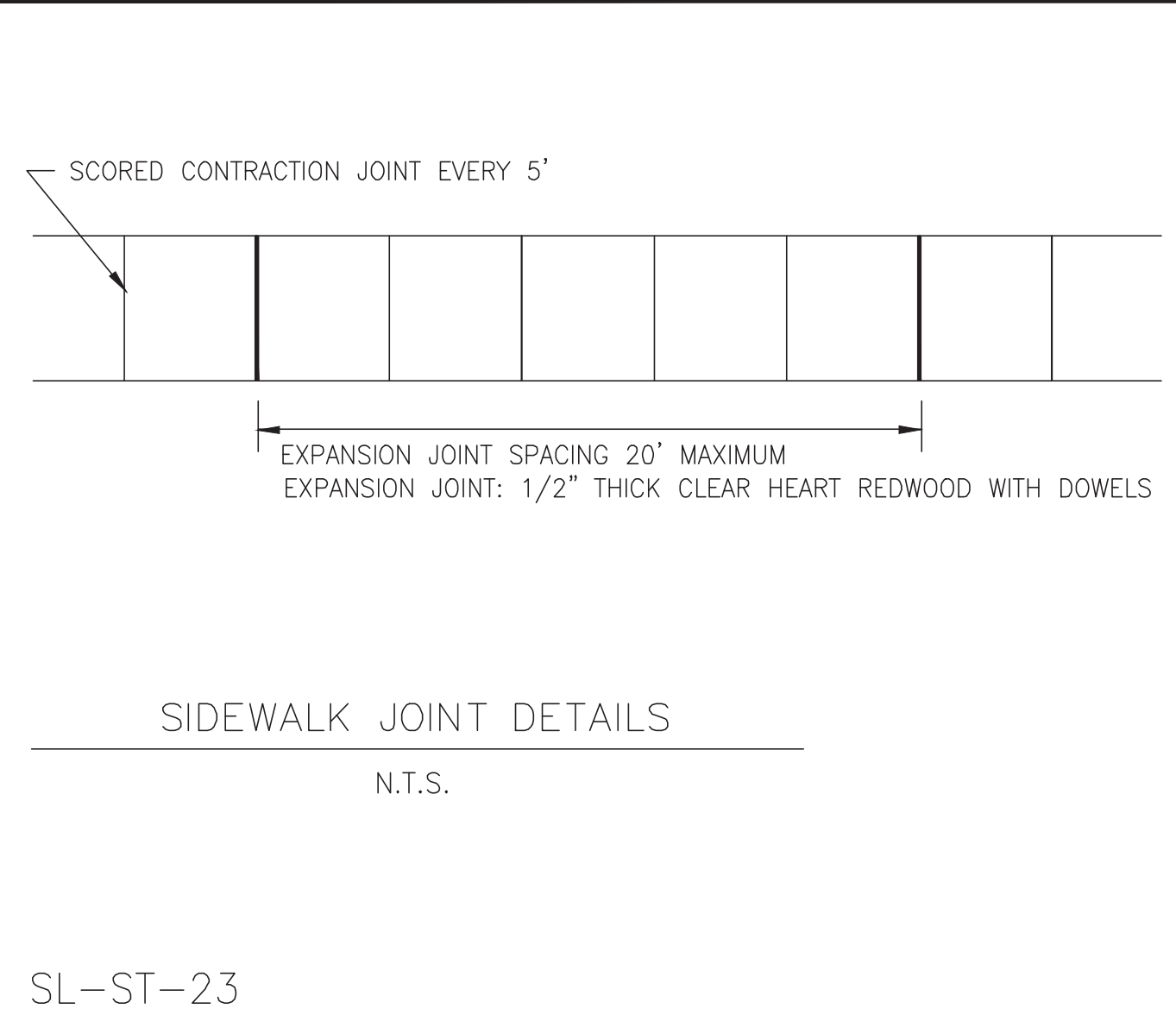
OWNER:
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PLAN: _____
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VERTICAL: _____

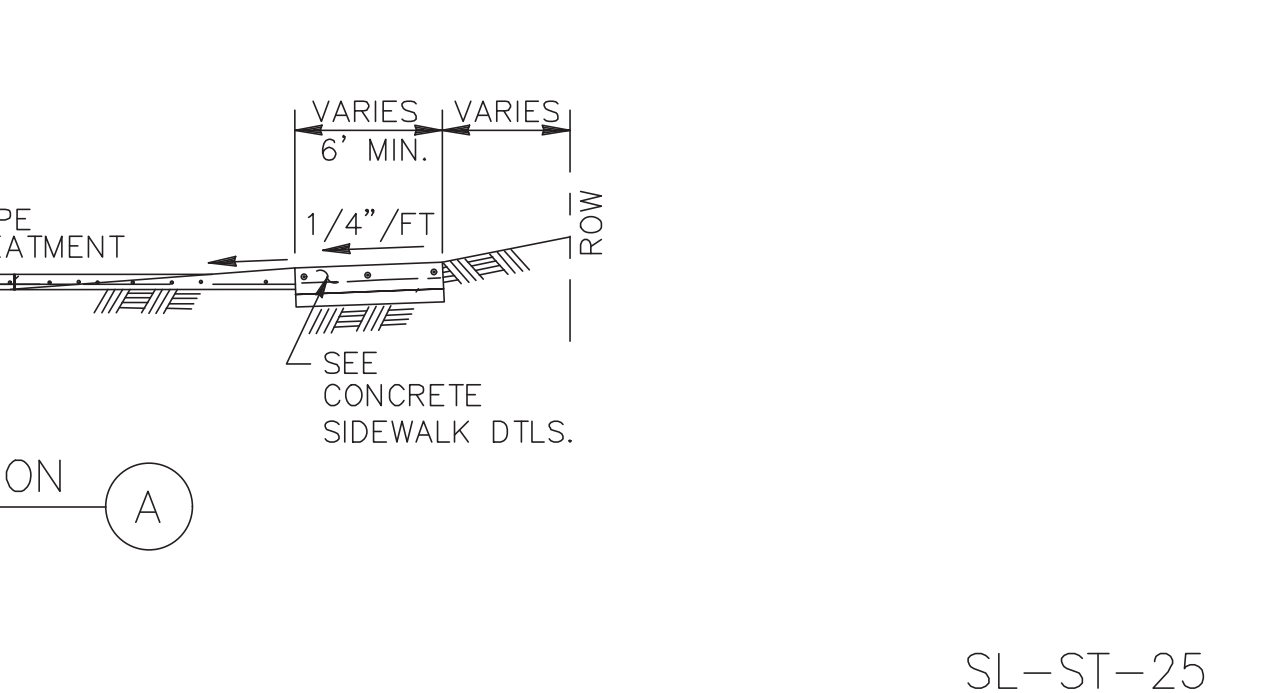
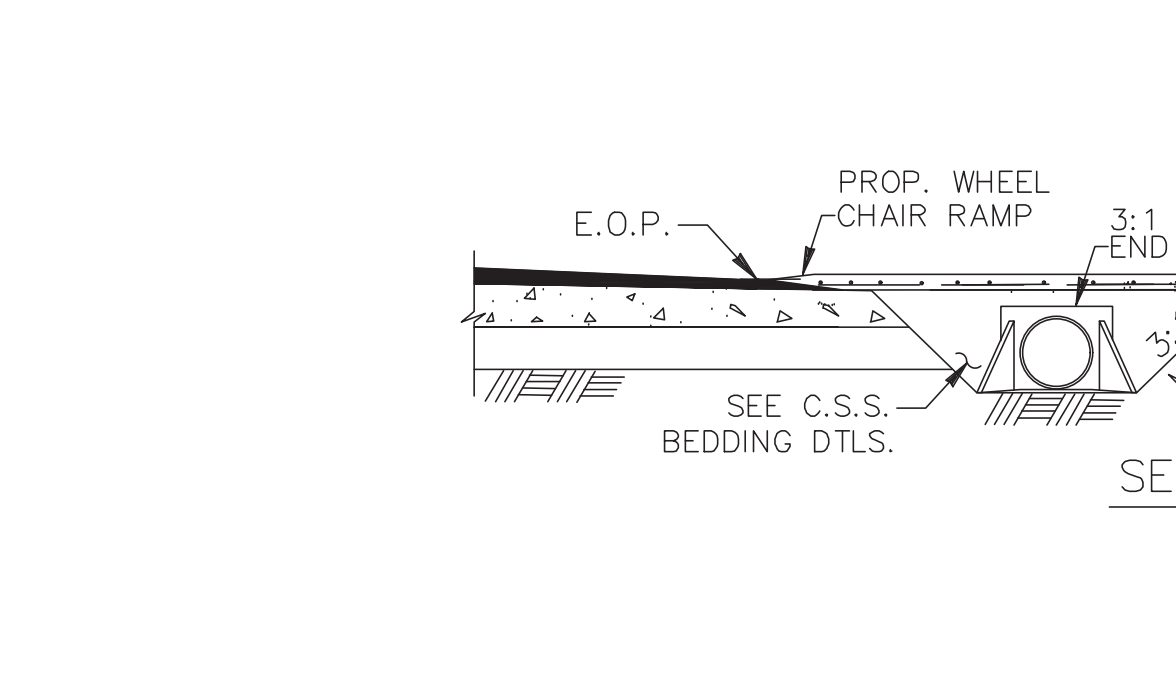
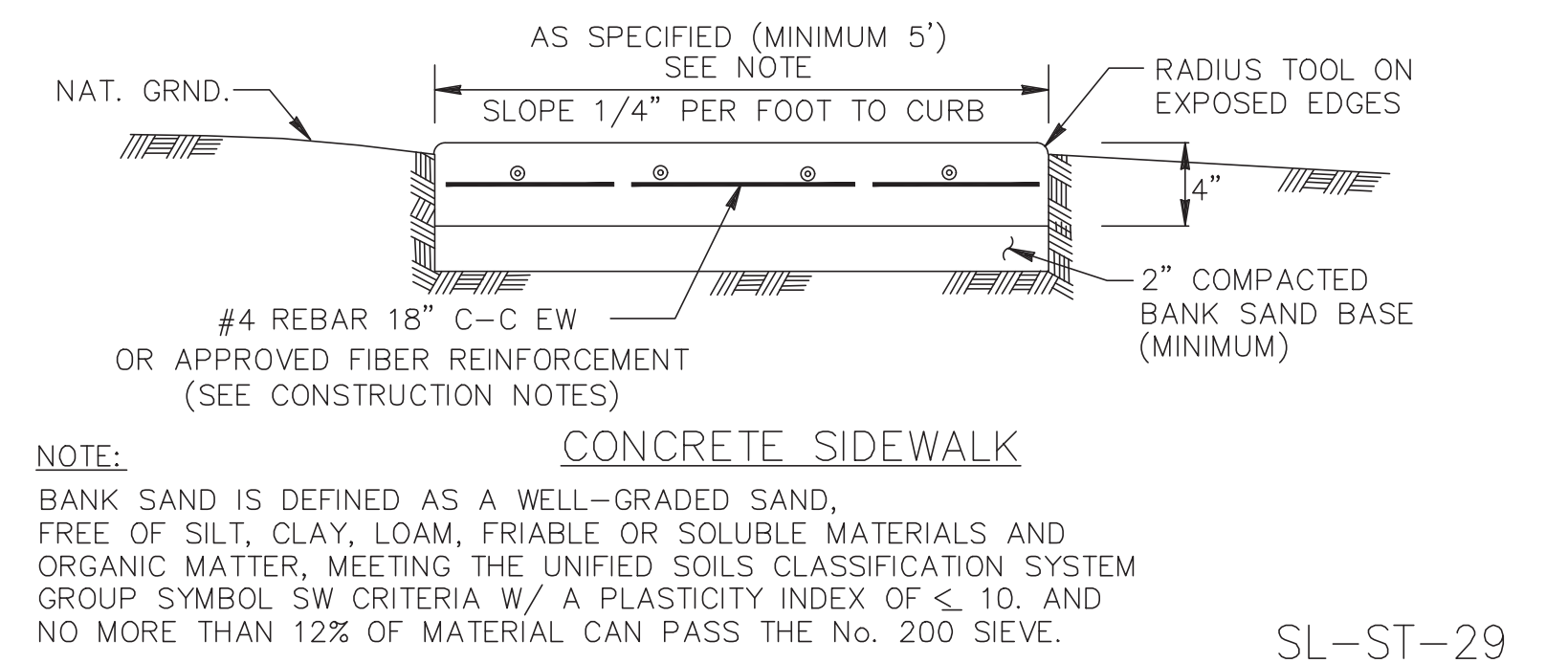
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

RESIDENTIAL CURB CONSTRUCTION DETAILS
SL-23

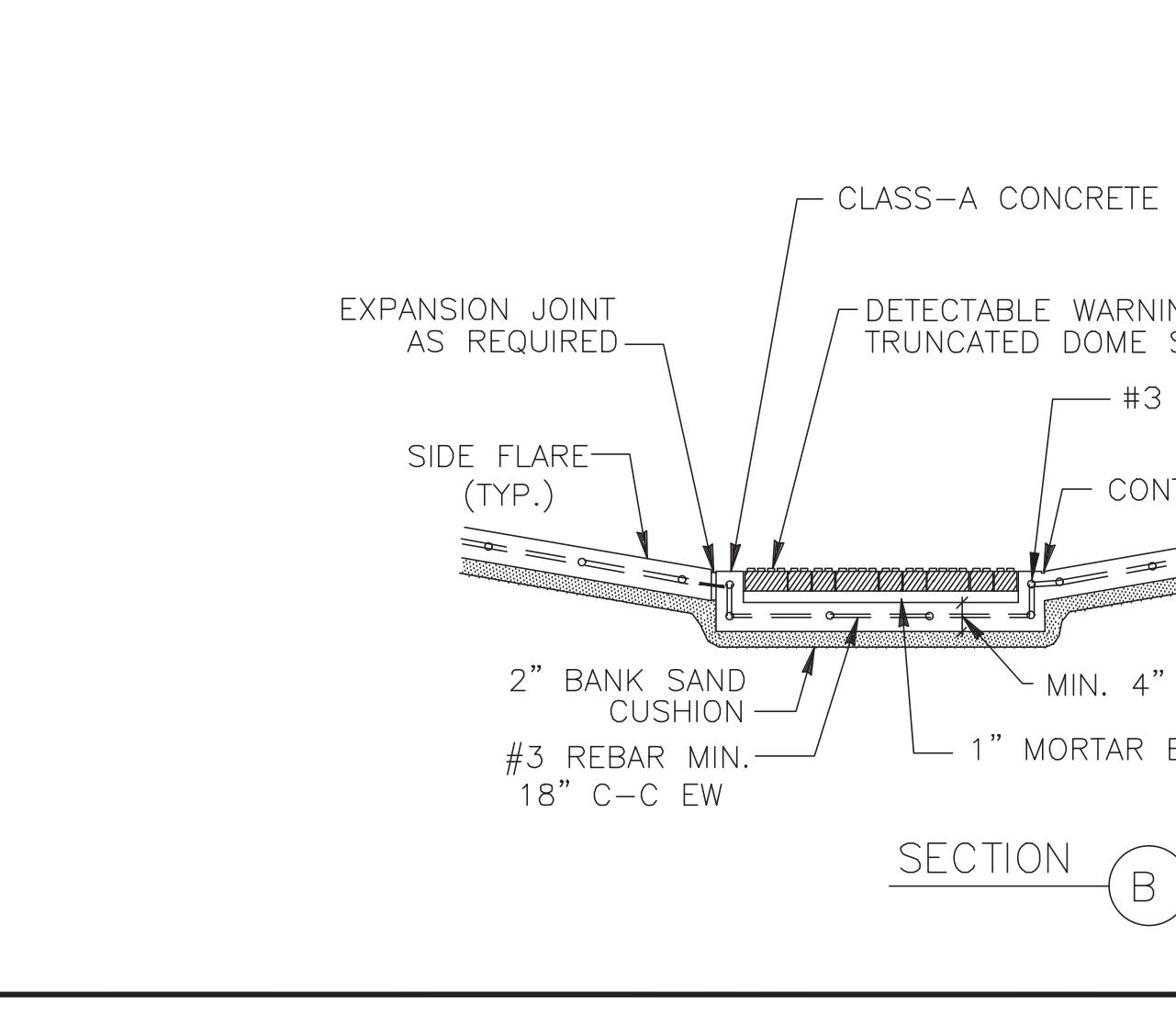
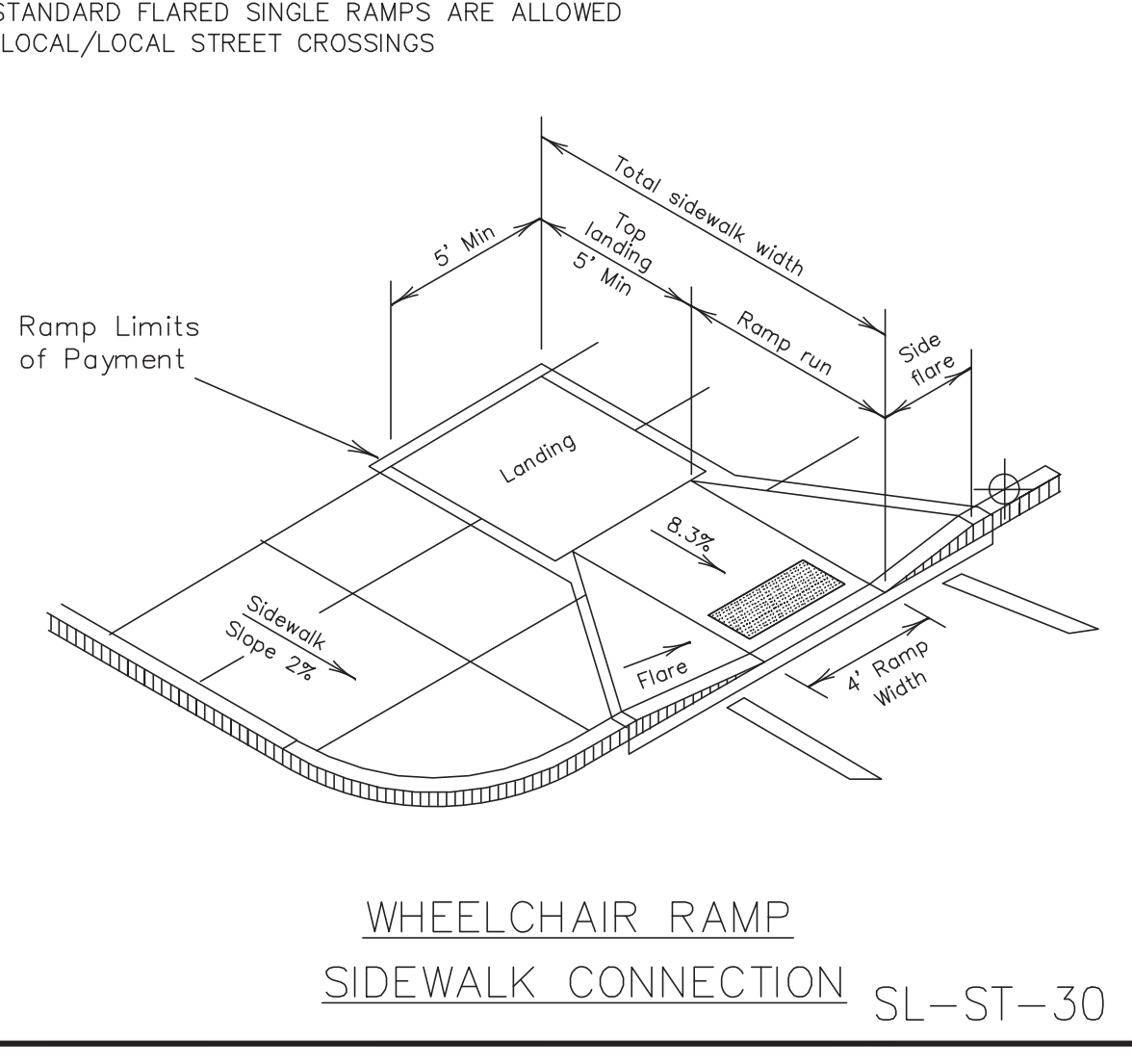
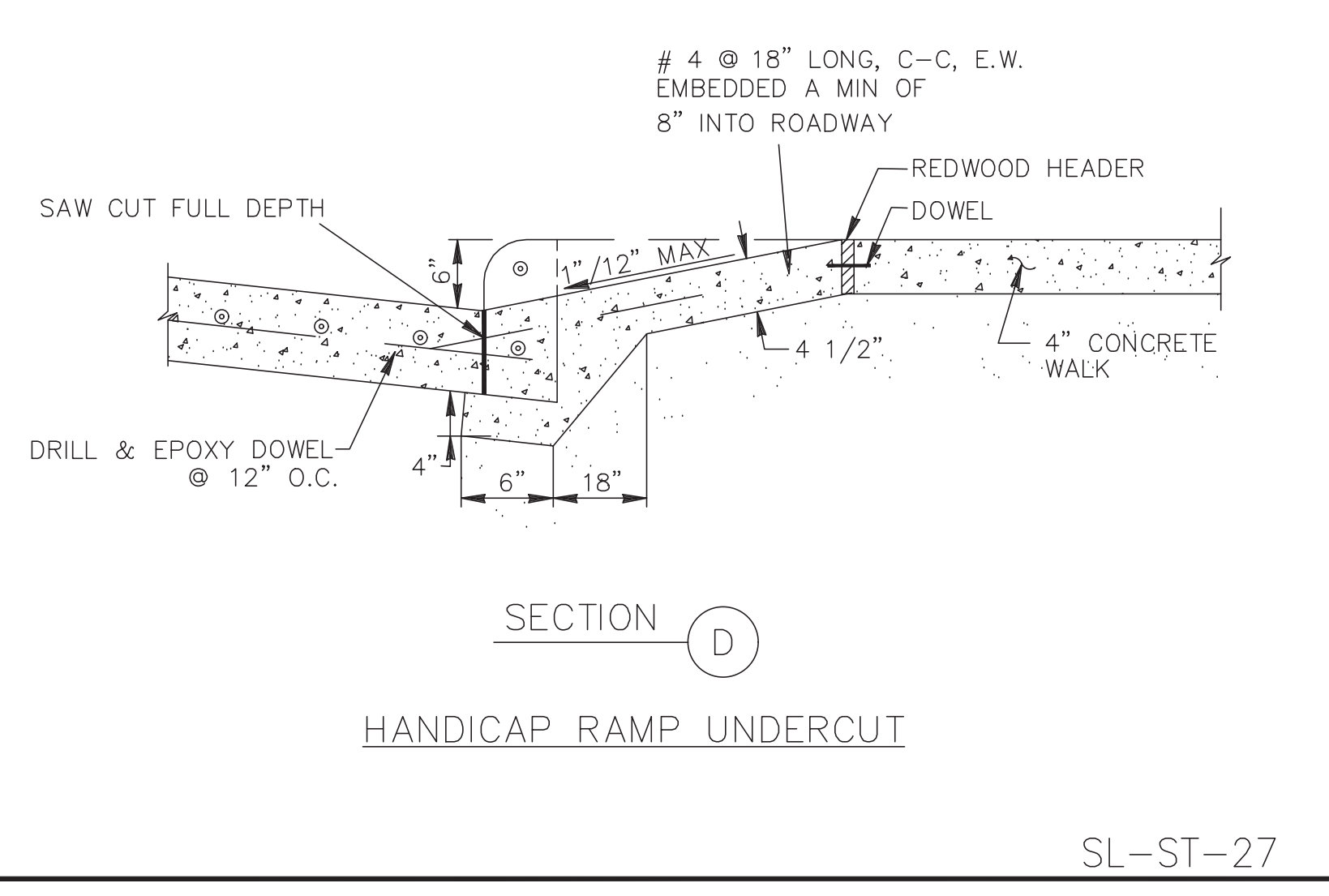
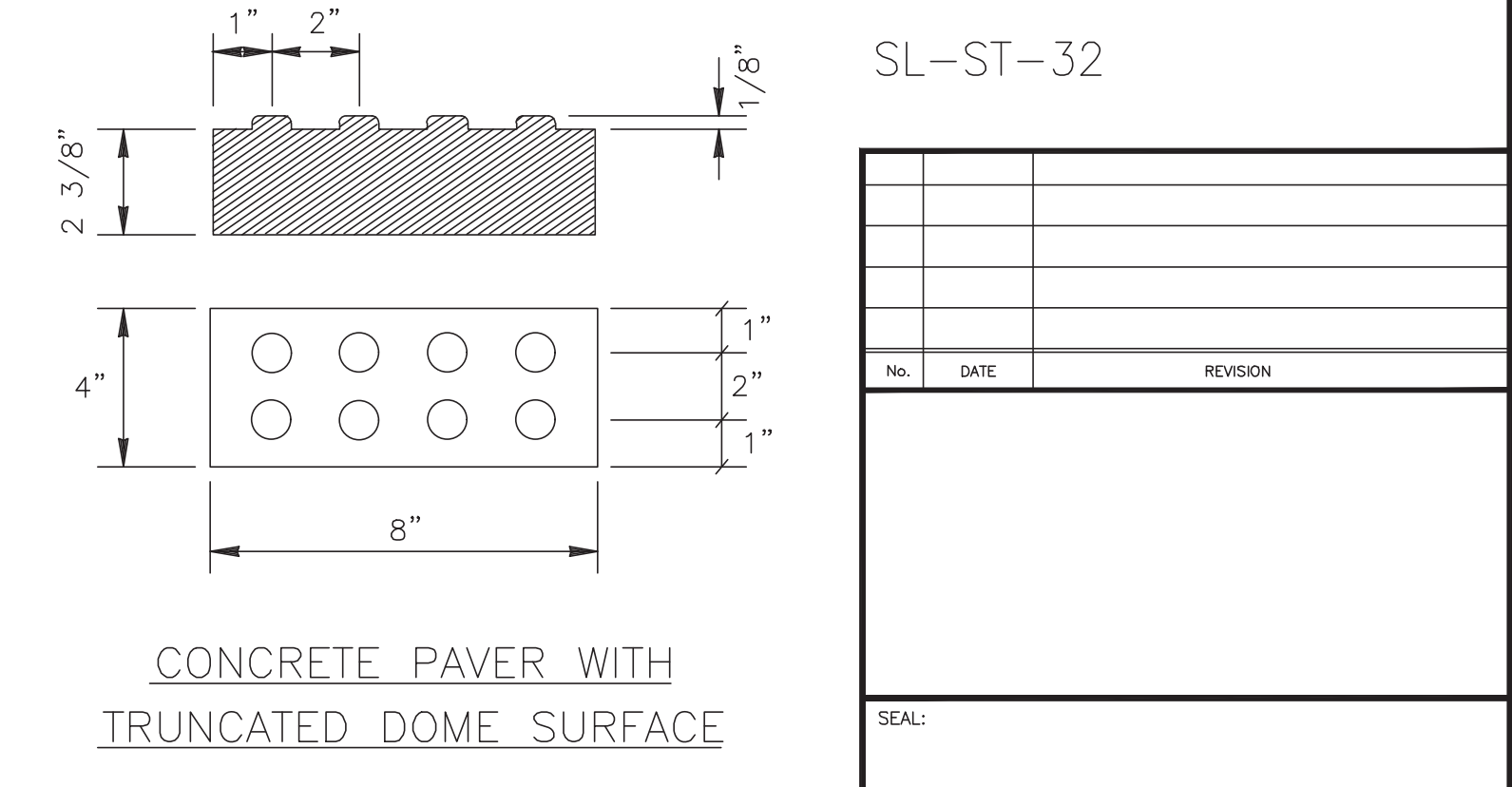
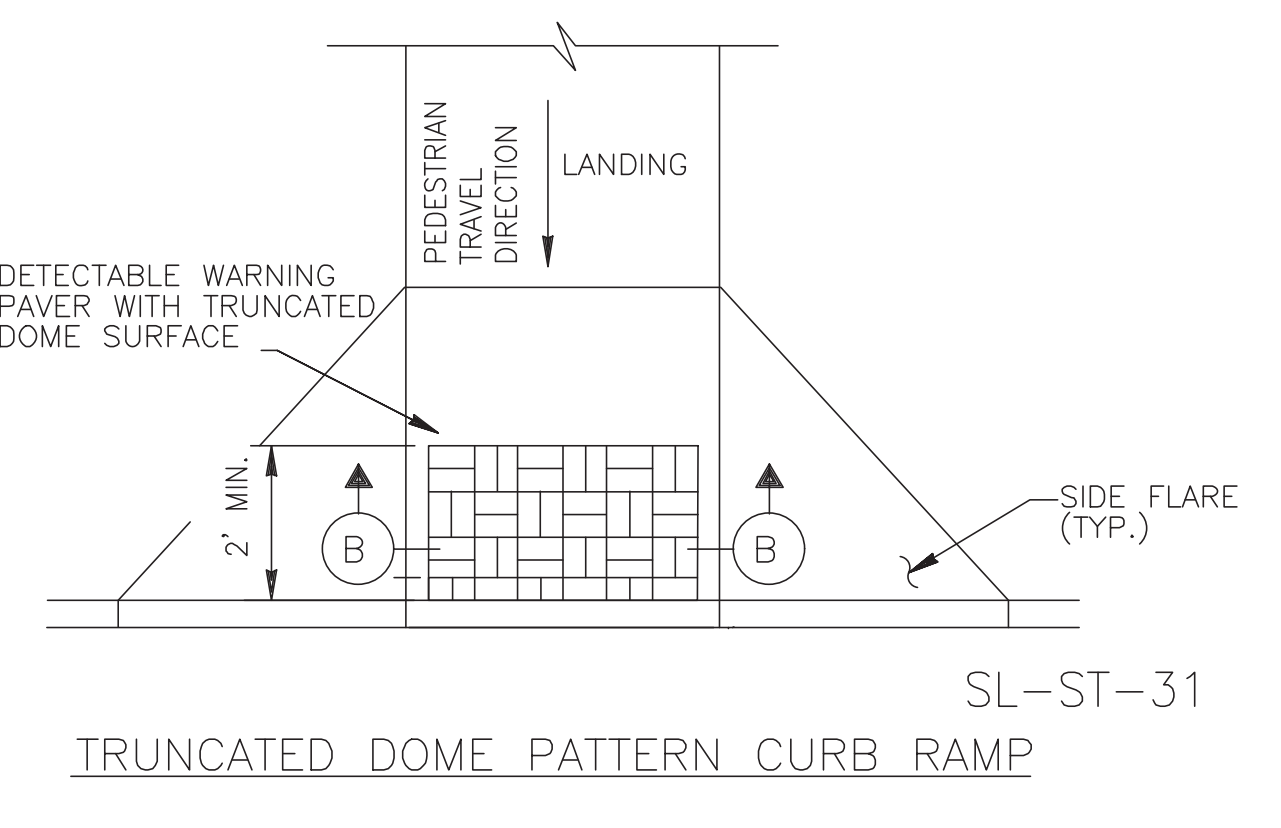
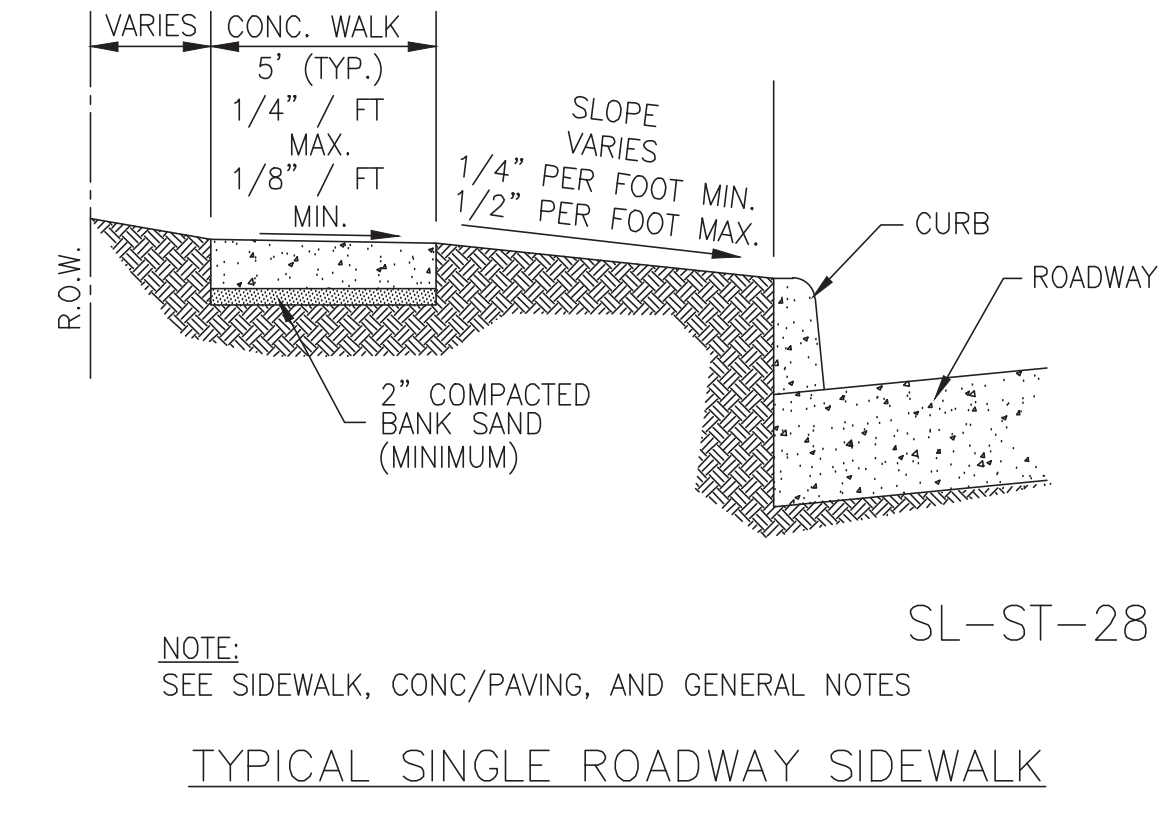
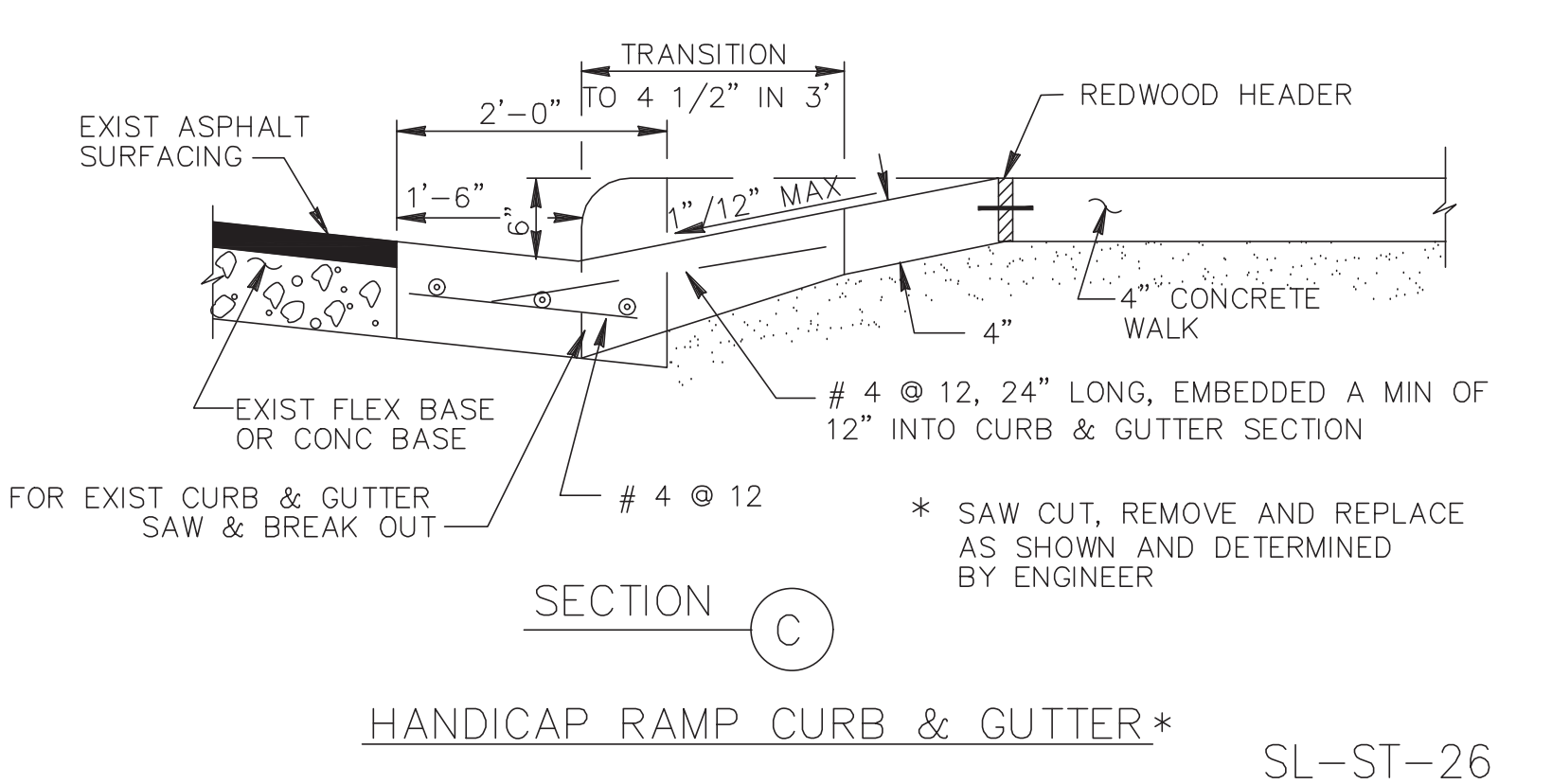
PROJECT NO. 14396




- NOTES:
- EXISTING CURB AND GUTTER TO BE SAW CUT, REMOVED AND REPLACED. DOWEL STEEL FOR MINIMUM REINFORCING OVERLAP OF 10 INCHES (10") DOWELS SHALL BE EIGHTEEN INCHES (18") LONG AND EPOXIED A MINIMUM OF (8") EIGHT INCHES INTO EXISTING PAVEMENT.
 - IF SIDEWALKS ARE NEITHER EXISTING NOR PROPOSED WHERE WHEELCHAIR RAMP ACCESS IS REQUIRED, CONCRETE SIDEWALKS SURFACE 4 1/2" THICK SHALL BE INSTALLED TO PROVIDE ACCESS TO THE PEDESTRIAN PUSH BUTTONS.
 - DETECTABLE WARNINGS REQUIRED BY T.A.S. SECTIONS 4.1 AND 4.7 SHALL COMPLY WITH T.A.S. SECTION 4.29
 - THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACE SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE.
 - DETECTABLE WARNING SURFACE SHALL COVER THE ENTIRE WIDTH AND DEPTH OF RAMP.
 - DETECTABLE WARNINGS SHALL BE INSTALLED WITH PAVERS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - CONCRETE PAVER UNITS SHALL MEET ALL REQUIREMENTS OF ASTM C-935, C-33, AND SHALL BE PLACED IN A TWO BY TWO UNIT BASKET WEAVE PATTERN, UNLESS SHOWN OTHERWISE IN THE PLANS.
 - CONCRETE PAVER UNITS SHALL HAVE A TRUNCATED DOME TOP SURFACE FOR DETECTABLE WARNING TO PEDESTRIANS. DOMES SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - CONCRETE PAVER UNIT COLOR FOR THE RAMP SHALL BE A CONTRASTING COLOR THAT PROVIDES A LIGHT REFLECTIVE THAT SIGNIFICANTLY CONTRASTS WITH THE ADJACENT SURFACES INCLUDE SIDE FLARES.
 - CONCRETE PAVER UNITS SHALL BE SAW CUT ONLY, AND ANY CUT UNIT SHALL NOT BE LESS THAN 25% OF A FULL UNIT.
- CONSTRUCTION NOTES:
- THE MAXIMUM WIDTH BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20'-0"
 - EXPANSION JOINT IS TO BE 1/2" THICK CLEAR HEART REDWOOD WITH DOWELS.
 - SCORED CONTRACTION JOINTS SHALL BE EVERY 5' OR EQUAL TO WIDTH OF SIDEWALK.
 - ALL EARTHEN AREAS ARE TO BE SODDED UNLESS SHOWN OTHERWISE ON DRAWINGS.
 - 4 INCH, 5 SACK CEMENT PER CUBIC YARD CONCRETE, 3000 PSI. REINFORCED CONCRETE WITH #3 BARS, 18 INCHES C-C, FOR SIDEWALKS, #4 BARS 18" C-C FOR WHEEL CHAIR RAMPS IS THE MINIMUM ACCEPTED. MINIMUM 3 LONGITUDINAL BARS, FIBER REINFORCING SIDEWALKS-STEEL AND POLYPROPYLENE BLENDED FIBER REINFORCEMENT SYSTEM SUCH AS NOVOMESH #3 AS MANUFACTURED BY S.I. CONCRETE SYSTEMS (OR PRE-APPROVED EQUAL) MAY BE USED AS AN ALTERNATE TO CONVENTIONAL REBAR REINFORCING AT A DOSAGE RATE OF 24 LBS. PER CUBIC YARD OF CONCRETE.
 - USE RADIUS TOOL ON ALL EXPOSED EDGES.
 - TOP OF THE SIDEWALK ELEVATION TO BE TOP OF CURB.
 - MEMBRANE CURING COMPOUND IS REQUIRED AS DESCRIBED IN ITEM 526 IN THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - REFER TO GENERAL NOTES AND CONCRETE/PAVING NOTES.
 - SIDEWALK EXPANSION JOINTS SHALL CONFORM TO STREET EXPANSION JOINT STANDARDS.



- CONSTRUCTION NOTES:
- THE MAXIMUM WIDTH BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20'-0"
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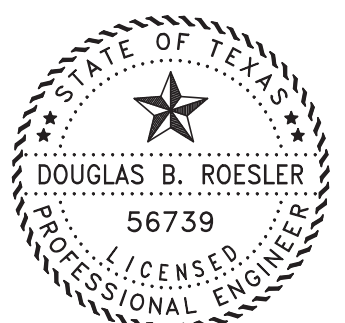


No. DATE REVISION	
SEAL:	
DESIGN ENGINEER: _____ DATE _____	
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT	
CONSTRUCTION PLANS FOR:	
WHEEL CHAIR RAMP & SIDEWALK DETAILS I	
JOB No.: DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SL-25 SHEET OF

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	
NO. DATE DESCRIPTION APPROVED	
REVISIONS	

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03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

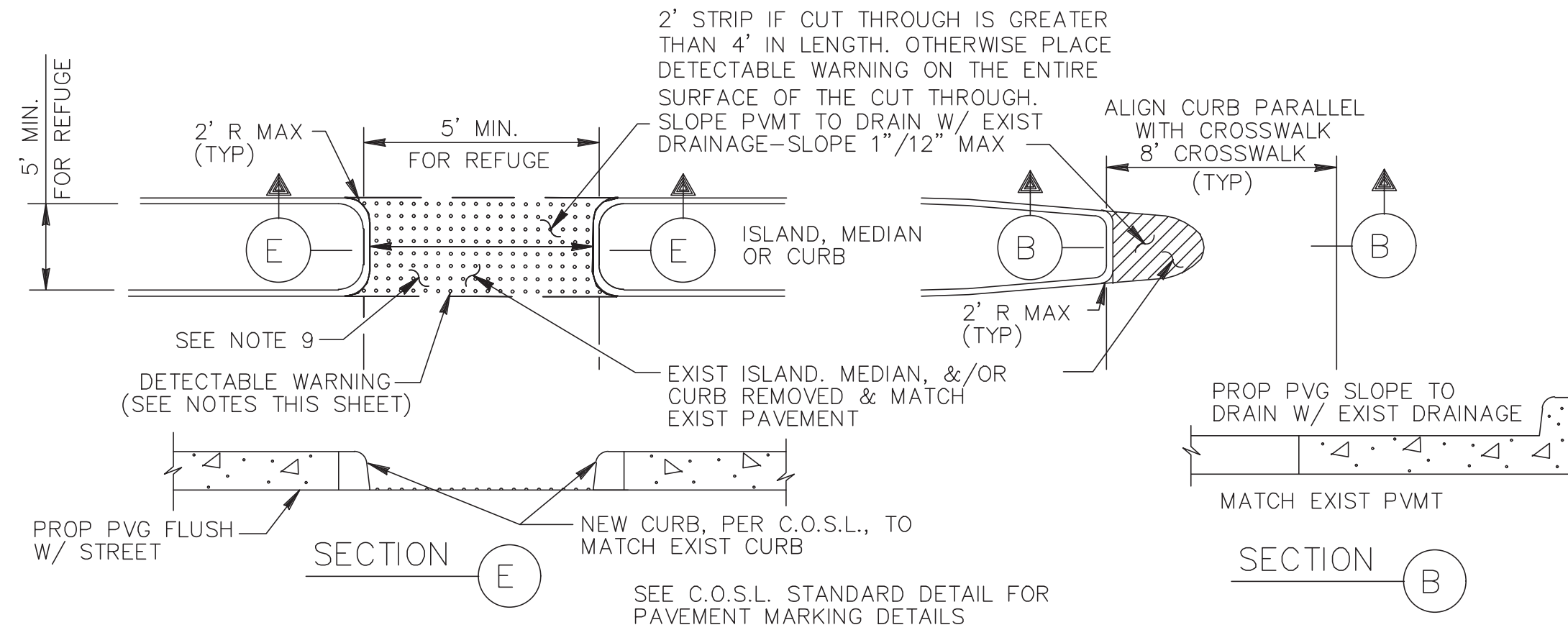
WHEEL CHAIR RAMP & SIDEWALK DETAILS I
SL-25

PROJECT NO. 14396

NOTES:

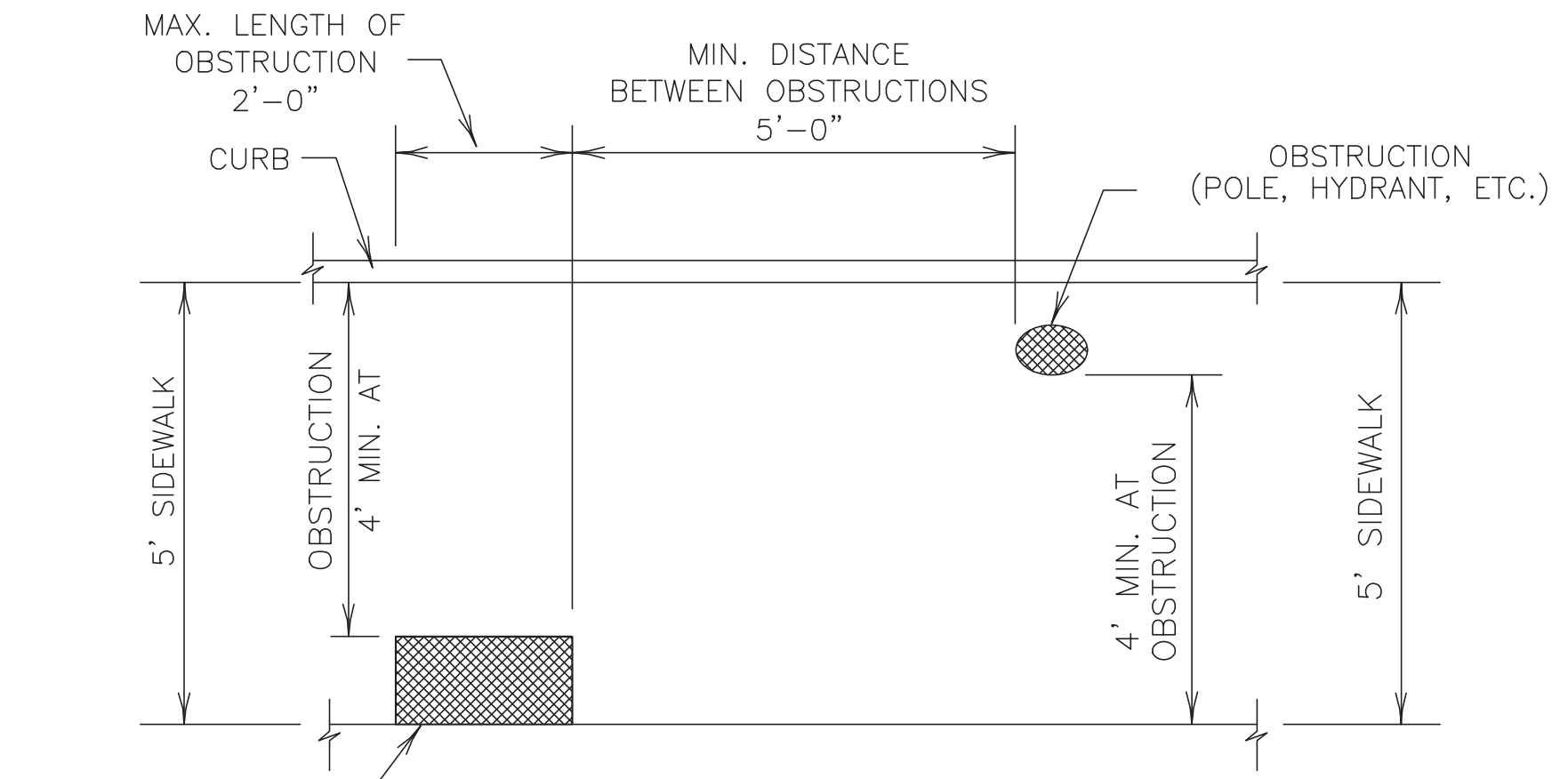
1. ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED. RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS MAY BE ADJUSTED AS DIRECTED
2. THE MINIMUM SIDEWALK WIDTH IS 5' (FEET). THE LANDING SHALL BE 5' x 5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND RAMP SURFACES IS 2%. USUAL SIDEWALK CROSS SLOPE EQUALS 1.5%. CHANGES IN LEVEL GREATER THAN 1/4" (IN.) ARE NOT PERMITTED.
3. MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A MINIMUM OF 5' x 5' WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH.
4. ANY PART OF THE ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 (5%) SHALL BE CONSIDERED A RAMP. IF A RAMP HAS A RISE GREATER THAN 6" (IN.) OR A HORIZONTAL PROJECTION GREATER THAN 72 INCHES, THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES, WITH THE FOLLOWING EXCEPTIONS:
 - A.) HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. CURB RAMPS SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
 - B.) THE LEAST POSSIBLE GRADE SHOULD BE USED TO MAXIMIZE ACCESSIBILITY. WHERE STRUCTURALLY IMPRACTICAL TO ACHIEVE TEXAS ACCESSIBILITY STANDARDS (TAS) COMPLIANCE, THE RUNNING SLOPE OF SIDEWALKS AND CROSSWALKS, WITHIN THE PUBLIC R.O.W., MAY FOLLOW THE GRADE OF THE PARALLEL ROADWAY WITHOUT INVOKING TEXAS ACCESSIBILITY STANDARDS (TAS) VARIANCES FOR LANDINGS OR HANDRAILS. WHERE A CONTINUOUS GRADE GREATER THAN 5% MUST BE PROVIDED, HANDRAILS MAY BE DESIRABLE ON ONE OR BOTH SIDES OF THE SIDEWALK TO IMPROVE ACCESSIBILITY. HANDRAILS MAY ALSO BE NEEDED TO PROTECT PEDESTRIANS FROM POTENTIALLY HAZARDOUS CONDITIONS.
5. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. OTHERWISE, FLARED SIDES SHALL BE PROVIDED. ALL CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE IN THE PLANS.
6. RAMP TEXTURES MUST CONSIST OF TRUNCATED DOME SURFACES, IN ACCORDANCE WITH ADA AND TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR). TEXTURES ARE REQUIRED TO BE DETECTABLE UNDERFOOT. TEXTURES ALSO SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. SURFACES THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
7. ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) PREPARED AND ADMINISTERED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR).
8. RAISED MEDIANS SEPARATE OPPOSING DIRECTIONS OF TRAFFIC AND PROVIDE A REFUGE AREA FOR PEDESTRIANS UNABLE TO CROSS THE ENTIRE ROADWAY IN THE ALLOTTED SIGNAL PHASE. TO SERVE AS A REFUGE AREA, THE MEDIAN SHALL BE A MINIMUM OF 5' (FT.) WIDE. MEDIANS SHOULD BE DESIGNED TO PROVIDE ACCESSIBLE PASSAGE OVER OR THROUGH THEM.
9. SMALL CHANNELIZATION ISLANDS, WHICH CAN NOT PROVIDE A MINIMUM 5' x 5' LANDING AT THE TOP OF RAMPS, SHALL BE CUT THROUGH LEVEL WITH THE SURFACE OF THE STREET.
10. CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP BAR LOCATIONS SHALL BE AS SHOWN IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ARE NOT REQUIRED, RAMPS SHALL BE ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE ENGINEER.
11. EXISTING FEATURES THAT COMPLY WITH T.A.S. MAY REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS.
12. TRAFFIC SIGNAL OR ILLUMINATION POLES, GROUND BOXES, CONTROLLER BOXES, SIGNS, DRAINAGE FACILITIES AND OTHER ITEMS SHALL BE PLACED SO NOT TO OBSTRUCT THE ACCESSIBLE ROUTE.

PLOI: IIMC



FOR ISLAND, MEDIAN, OR CURB MODIFICATIONS FOR CROSSWALKS

SL-ST-35



PLAN VIEW
PLACEMENT OF STREET FIXTURES
(ITEMS NOT INTENDED FOR PUBLIC USE. MINIMUM 4' x 4' CLEAR GROUND SPACE REQUIRED AT PUBLIC USE FIXTURES.)

SL-ST-36

SL-ST-40

NO.	DATE	REVISION

SEAL: _____
DESIGN ENGINEER: _____ DATE: _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

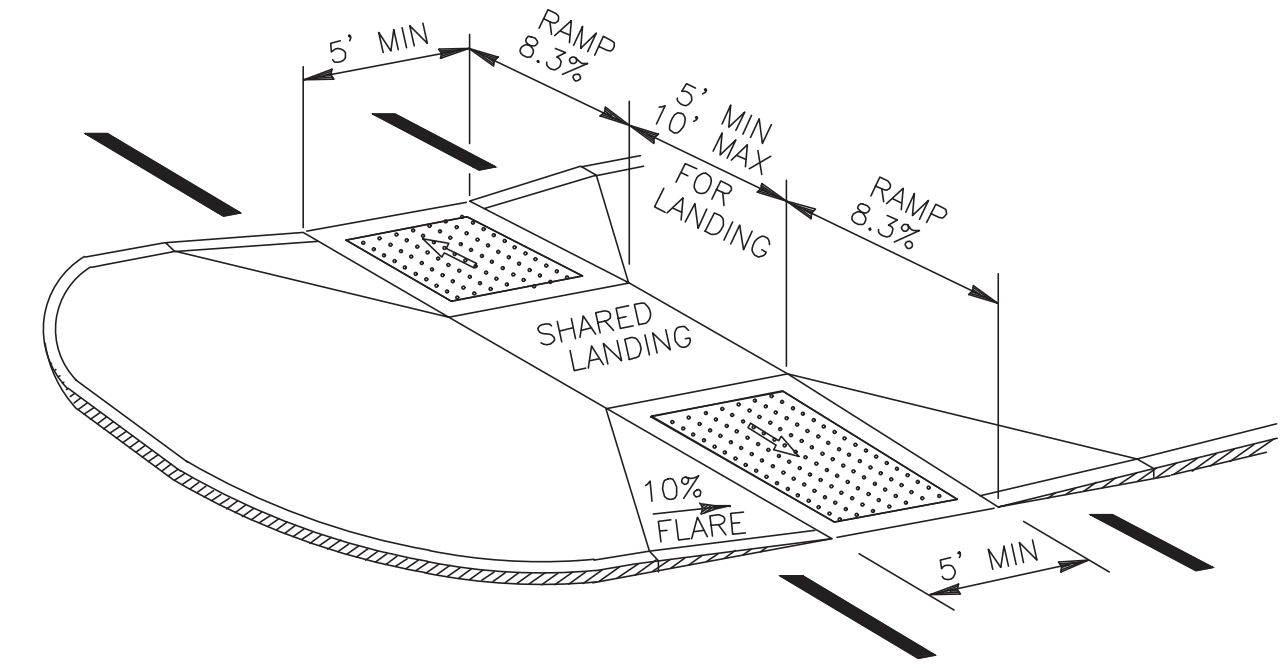
WHEEL CHAIR RAMP & SIDEWALK DETAILS II

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-26

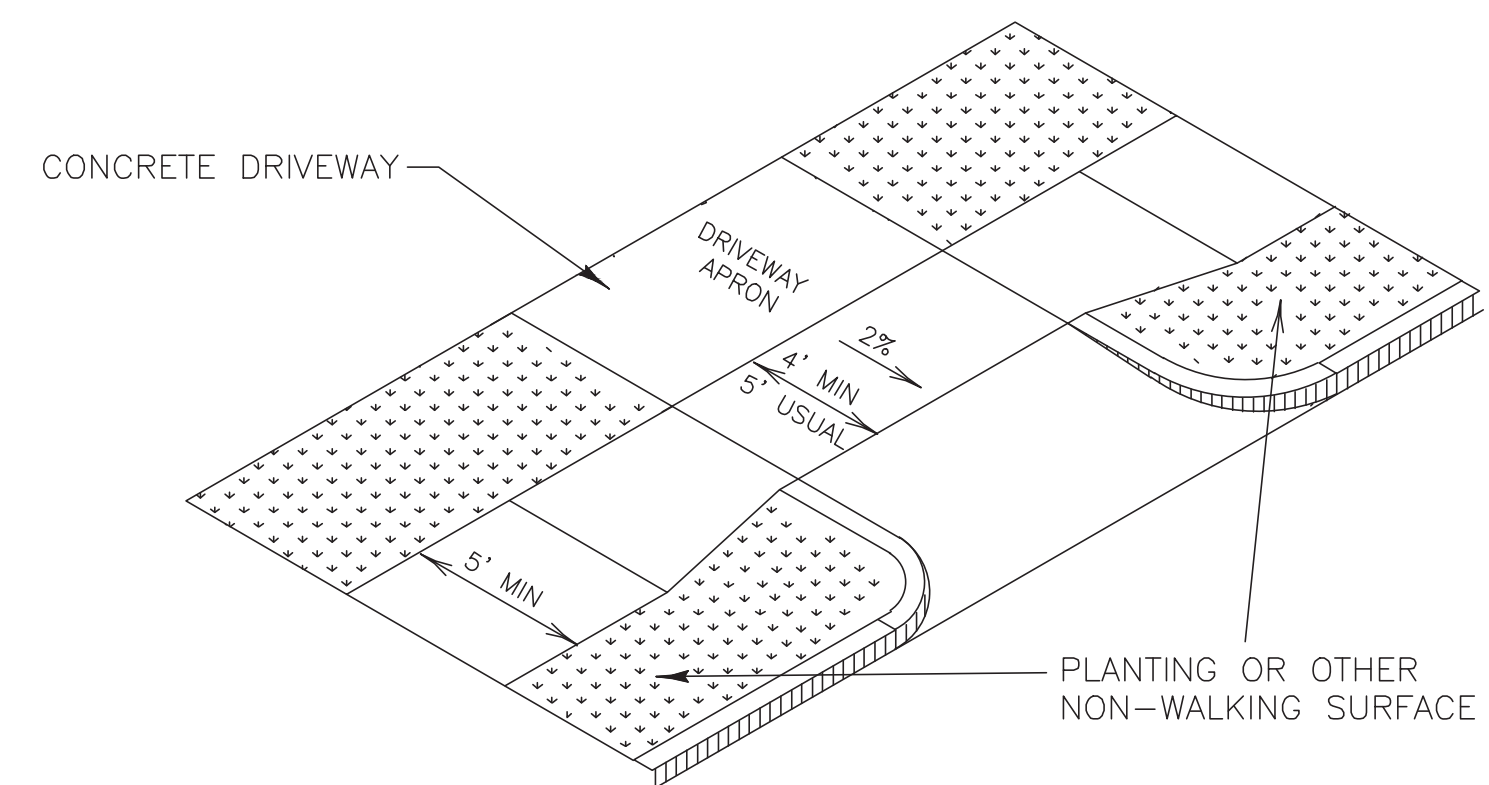
SHEET OF

PLOI: DMLC



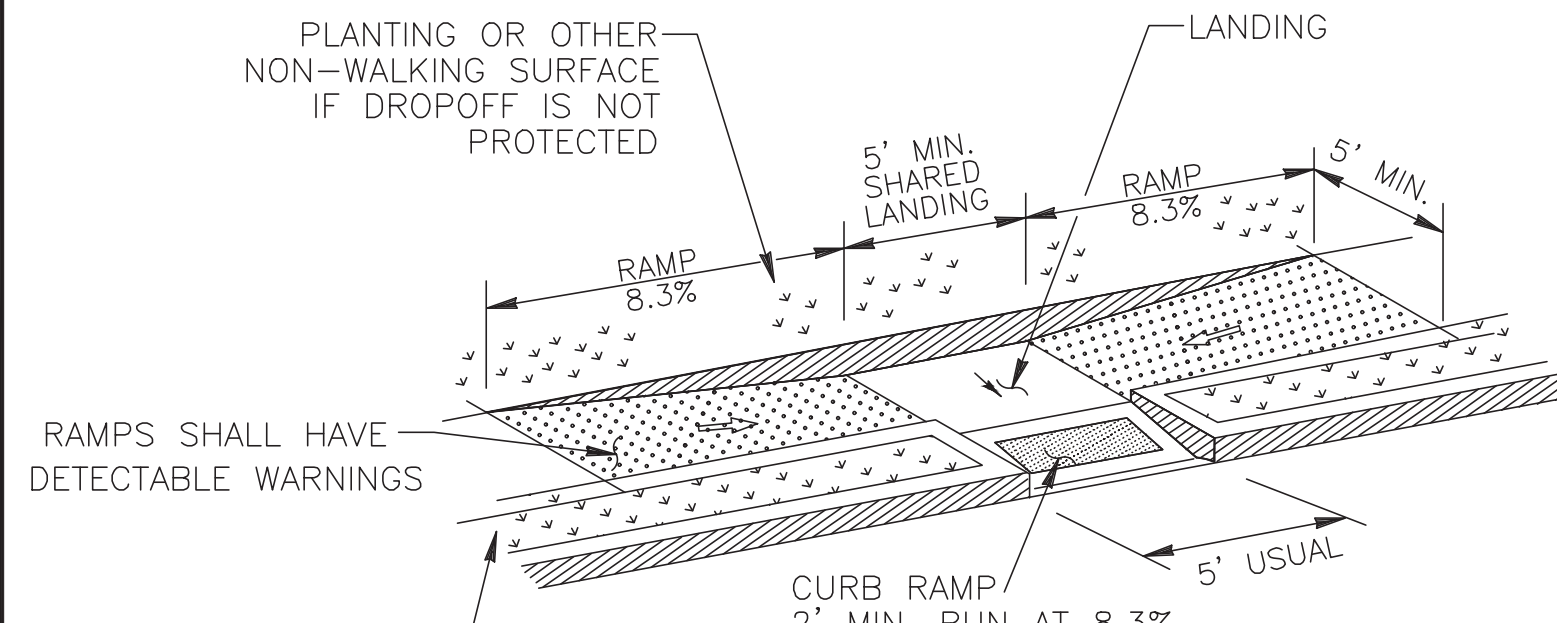
CURB RAMPS AT MEDIAN ISLANDS

SL-ST-37



SIDEWALK TREATMENT AT DRIVEWAYS

SL-ST-38

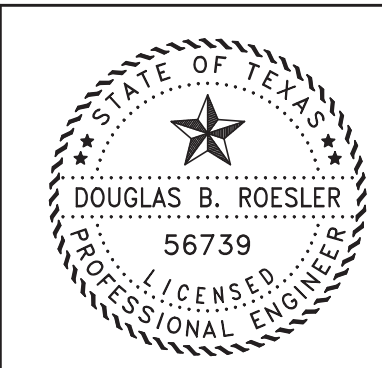
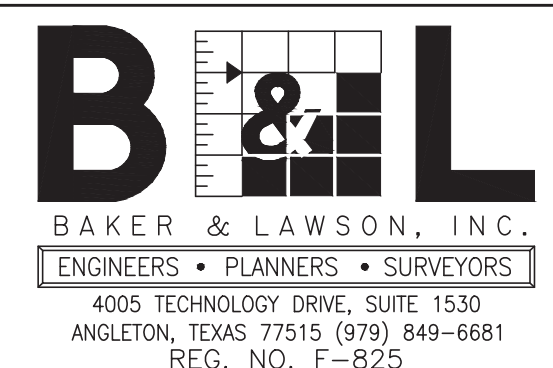


PARALLEL CURB RAMP

SL-ST-39

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____



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DR 03-03-2023

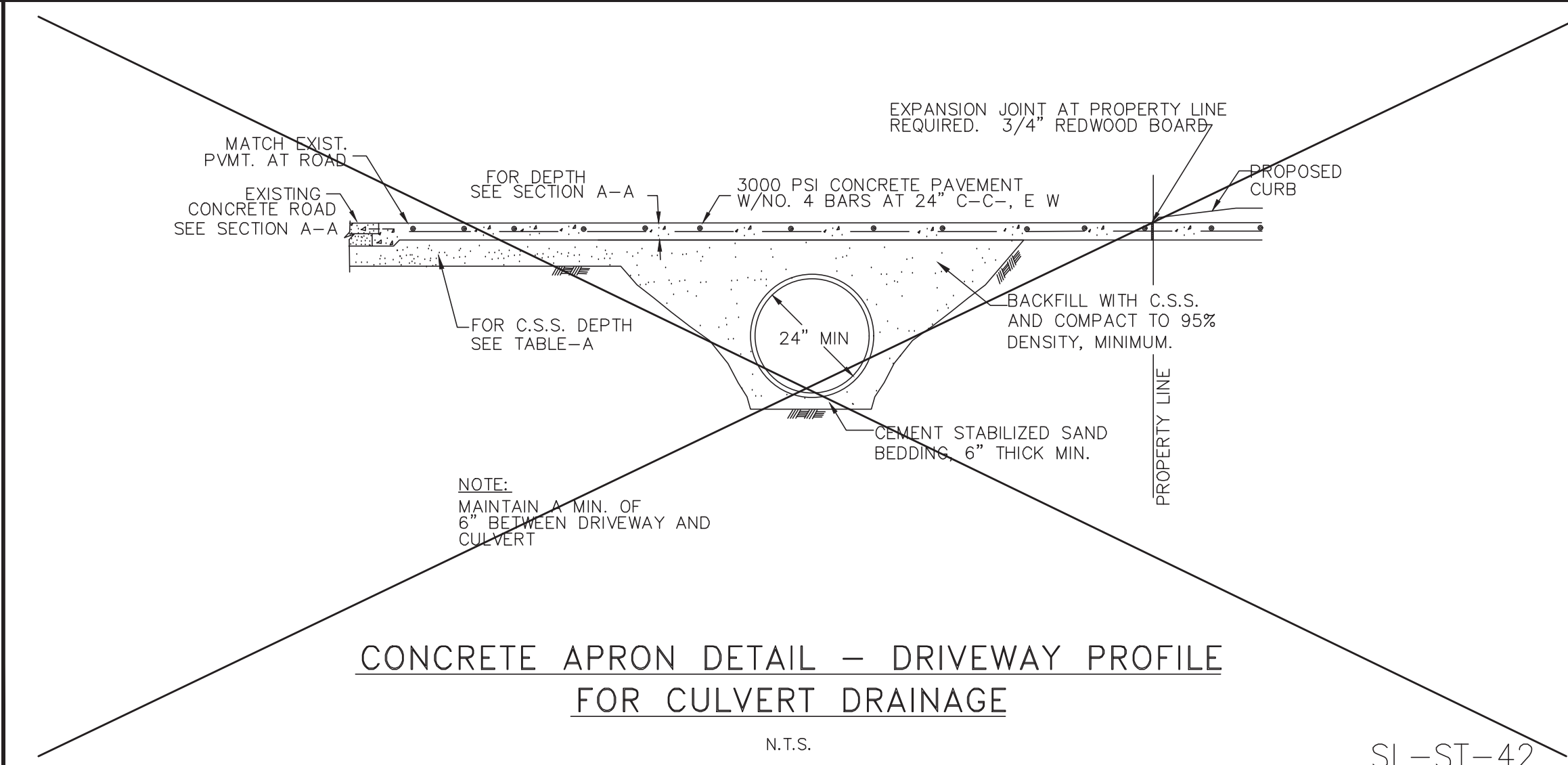
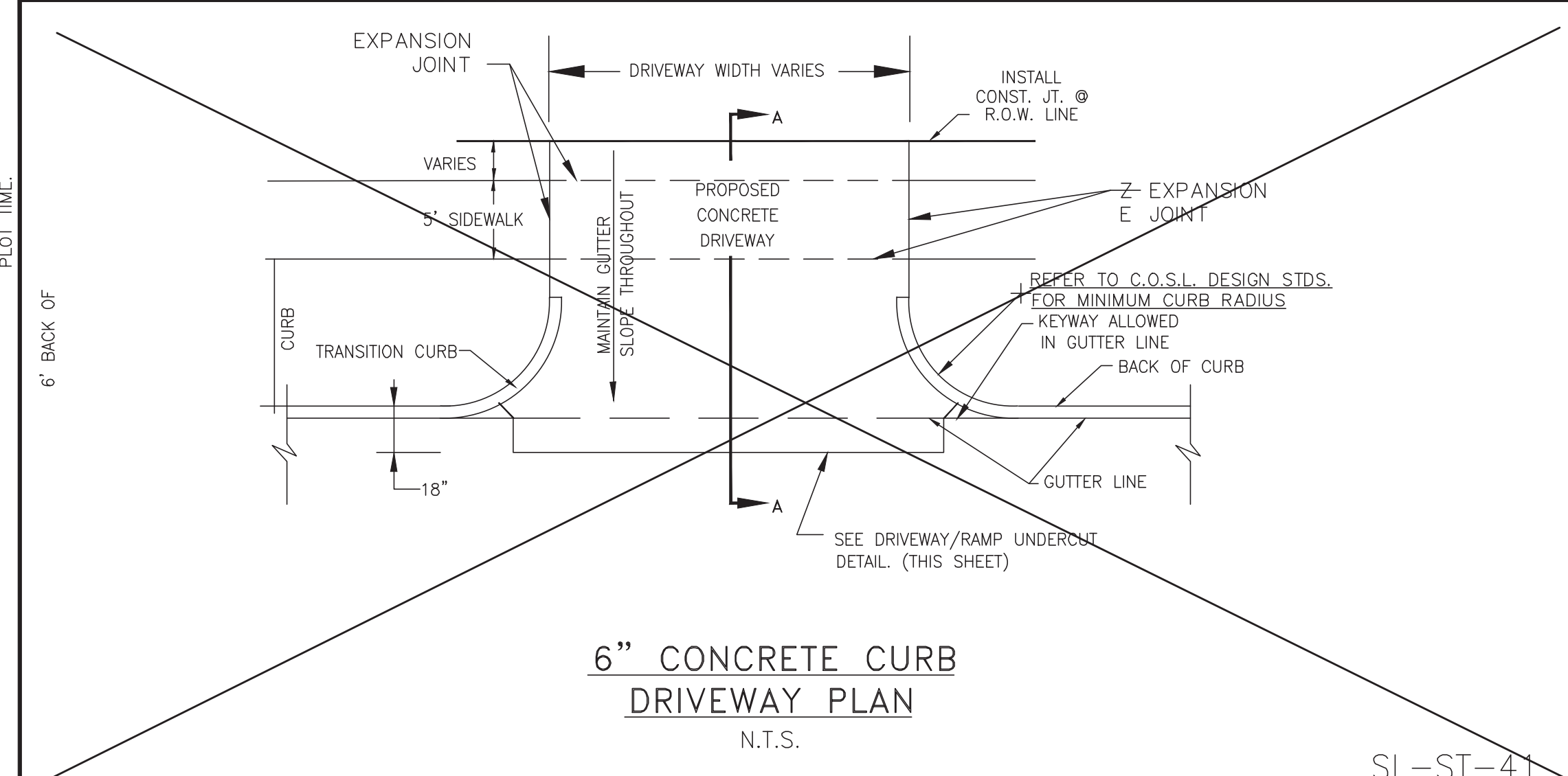
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WHEEL CHAIR RAMP & SIDEWALK DETAILS II
SL-26

PROJECT NO. 14396



- NOTES:
- 1.) SAW CUT & BREAKOUT NO MORE THAN 72 HOURS PRIOR TO PROPOSED CONCRETE PLACEMENT. NOTIFY SUGAR LAND PRIOR TO CUT.
 - 2.) UNSTABLE SUBGRADE SHALL BE OVER EXCAVATED & REPLACED WITH CONCRETE.
 - 3.) IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY SUGAR LAND OF ANY BIRD BATH PROBLEMS PRIOR TO CONSTRUCTION OF DRIVEWAY.
 - 4.) USE 1"x2" TREATED REDWOOD FOR HEADER.
 - 5.) EDGE ALL SIDES WITH EDGING TOOL AND BROOM FINISH
 - 6.) FOR INDUSTRIAL DRIVES, PAVEMENT SHALL HAVE A DEPTH OF 8" (IN).
 - 7.) EXPANSION JOINT AT PROPERTY LINE REQUIRED. 3/4" REDWOOD BOARD WITH NO. 4 DOWELS MINIMUM.
 - 8.) MAXIMUM ALLOWABLE DRIVEWAY GRADE IN PULIC R.O.W. IS 5%
 - 9.) DRIVEWAY GRADE MUST MEET A.D.A AND T.A.S. SIDEWALK SLOPE, SIDEWALKS MUST BE SCORED TO MATCH ADJACENT SIDEWALK. IF SLOPE IS CONTINUED THROUGH THE R.O.W. LINE, PROVIDE A 3/4" REDWOOD EXPANSION JOINT WITH DOWELS AT R.O.W. LINE.
 - 10.) REFER TO GENERAL , C.S.S., ASPHALT, AND CONCRETE PAVEMENT NOTES.
- SL-ST-49

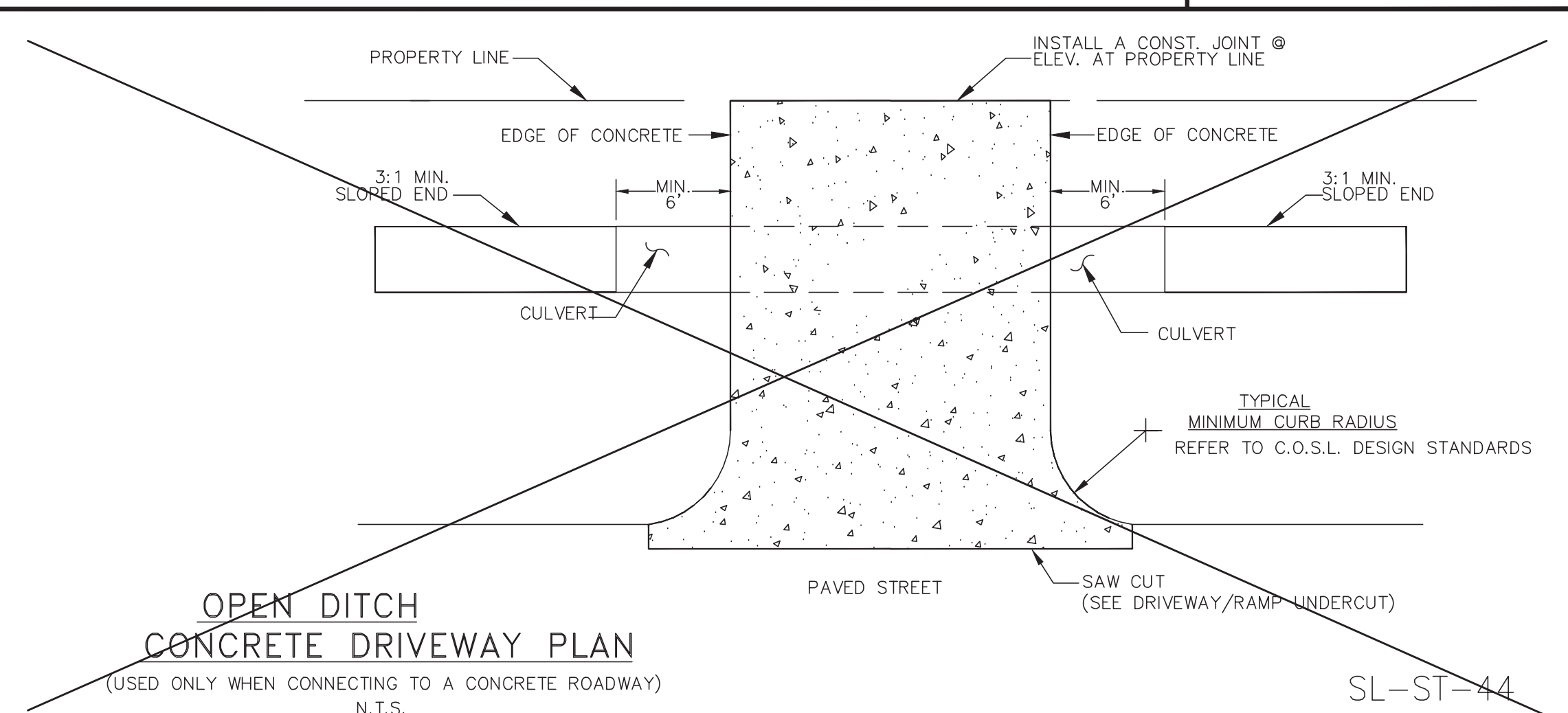
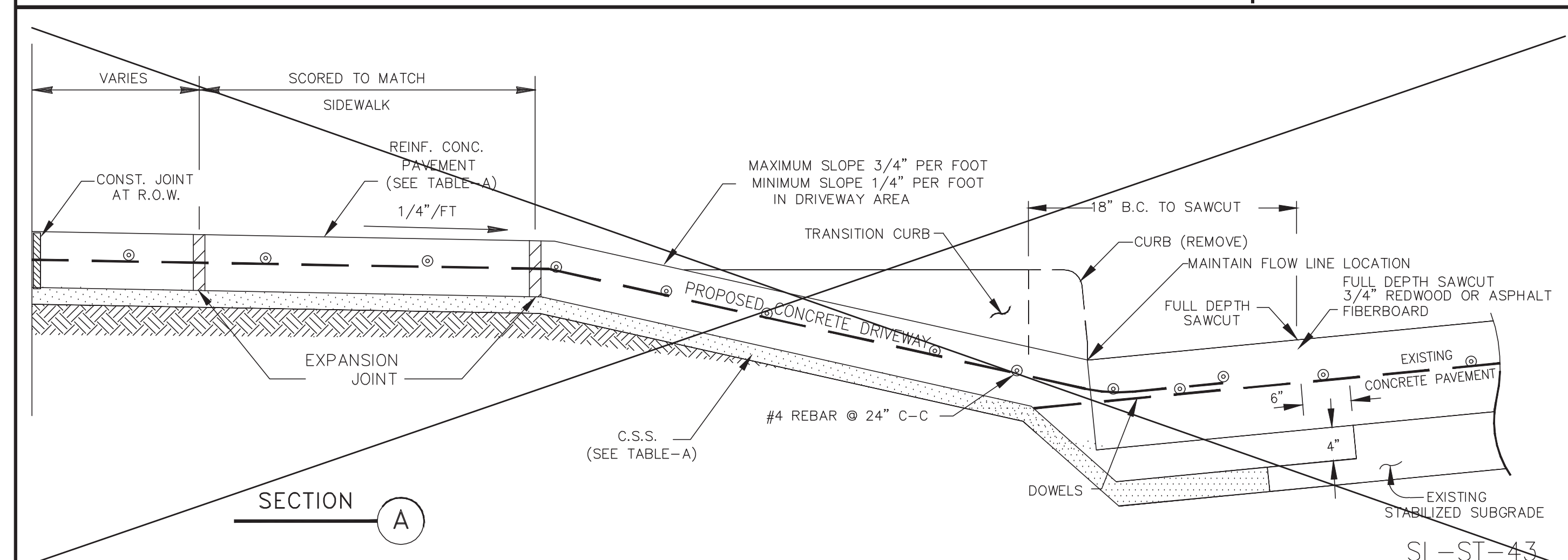
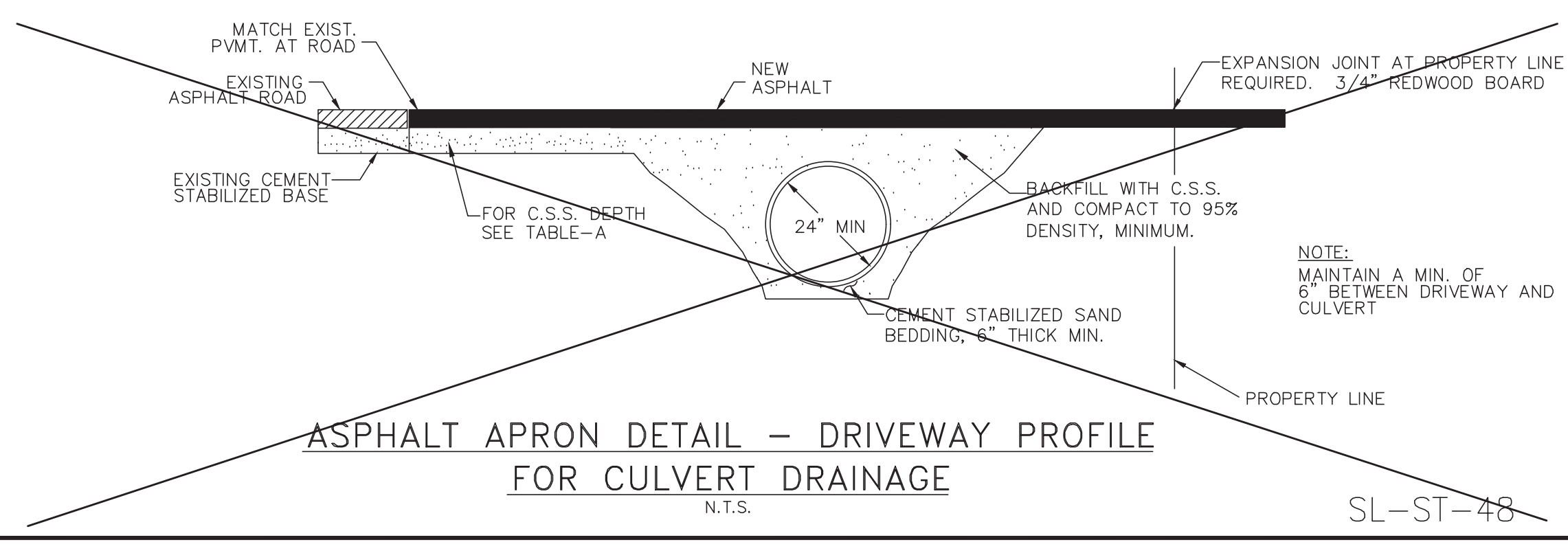
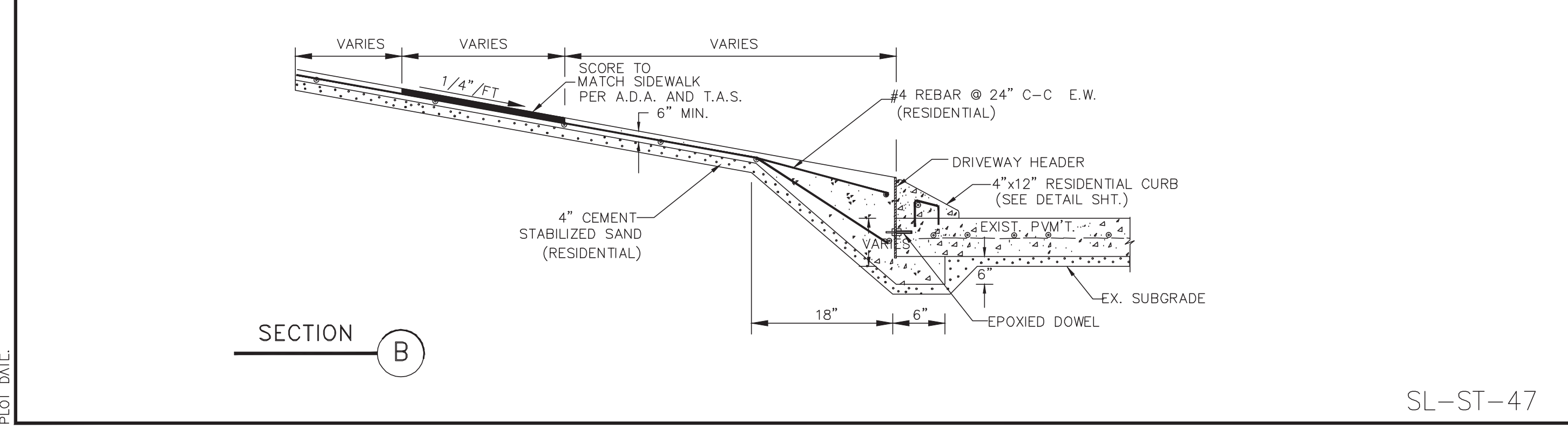
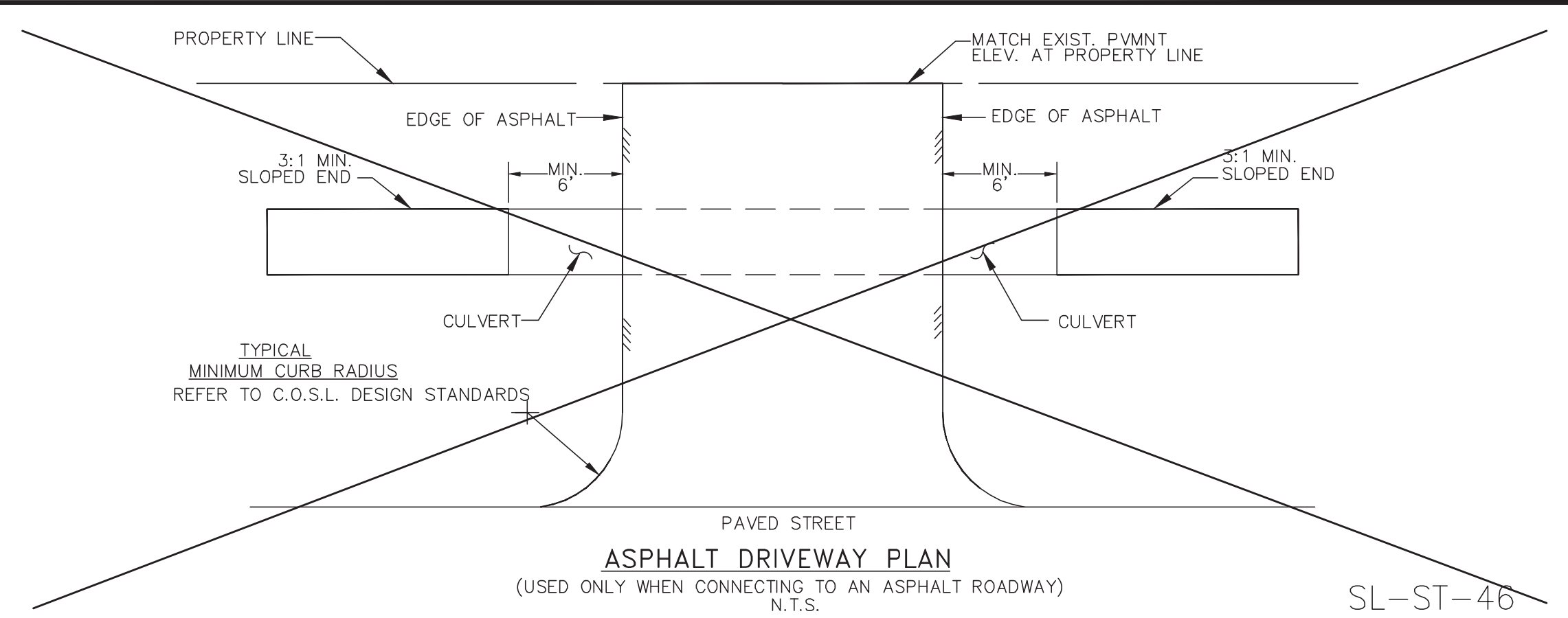
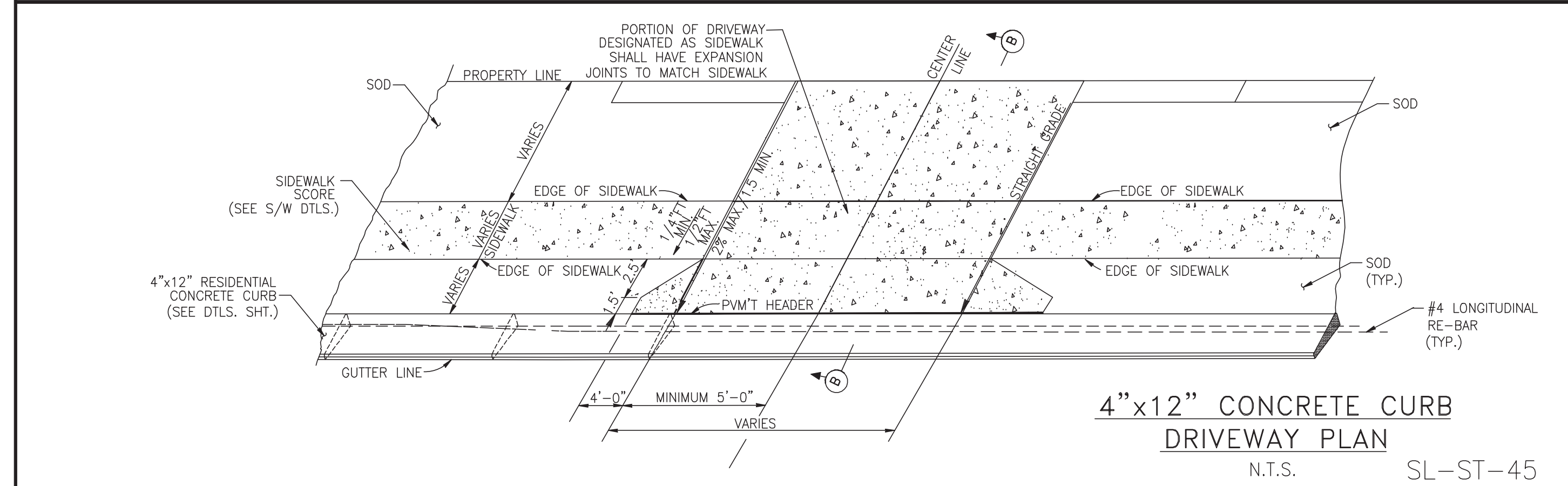


TABLE-A

CEMENT STABILIZED SAND 2-SK/C.Y.	
RESIDENTIAL	4" MINIMUM
COMMERCIAL	6" MINIMUM
INDUSTRIAL	8" MINIMUM

REINFORCED CONCRETE PAVEMENT 3,000 PSI MIN	
RESIDENTIAL	4" MINIMUM
COMMERCIAL	6" MINIMUM
INDUSTRIAL	8" MINIMUM

DRIVEWAY PAVEMENT CONSTRUCTION TABLE



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

DRIVEWAY CONSTRUCTION DETAILS

JOB No.: SL-27
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

DOUGLAS B. ROESSLER
LICENSED PROFESSIONAL ENGINEER
56739
03-03-2023

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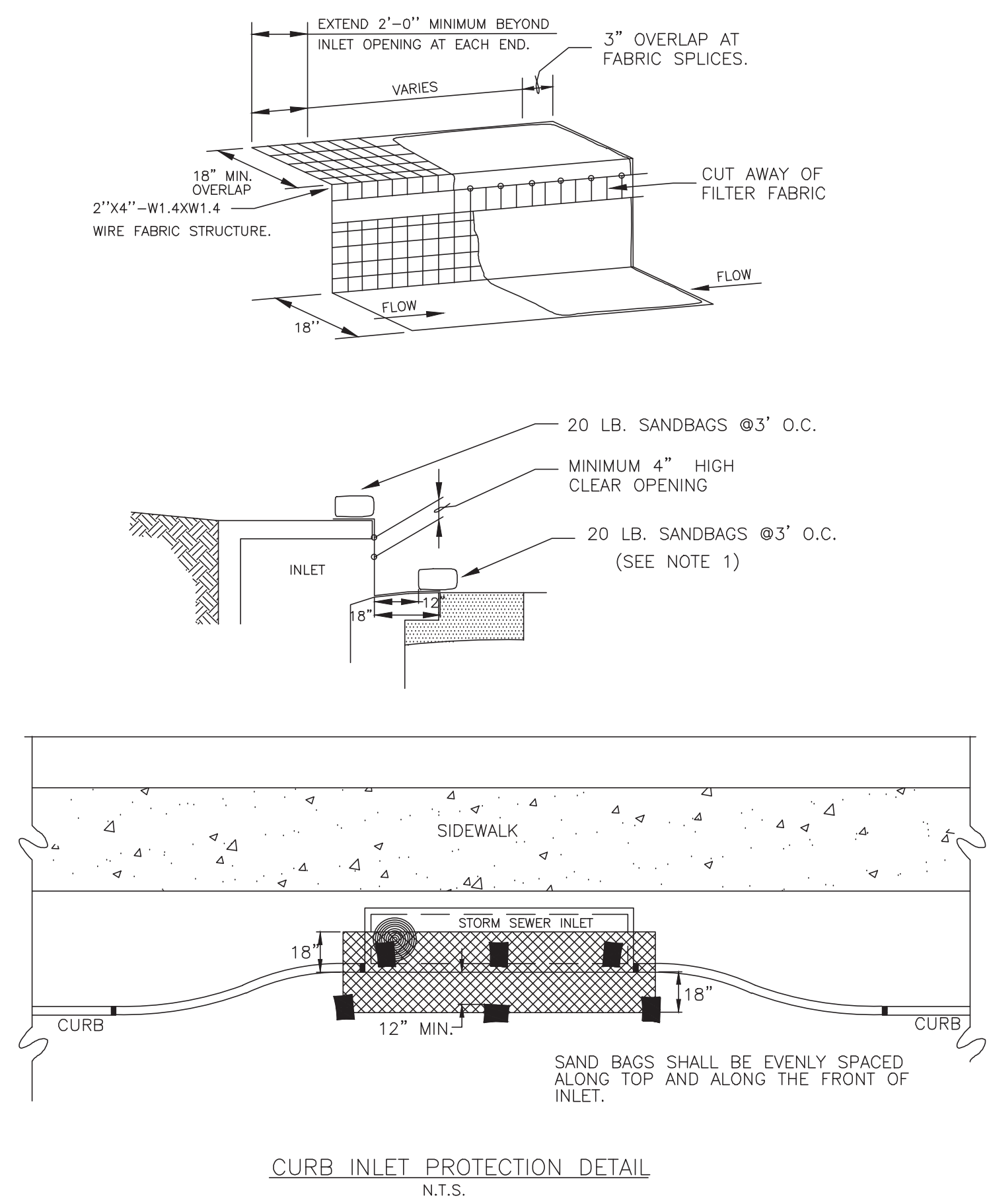
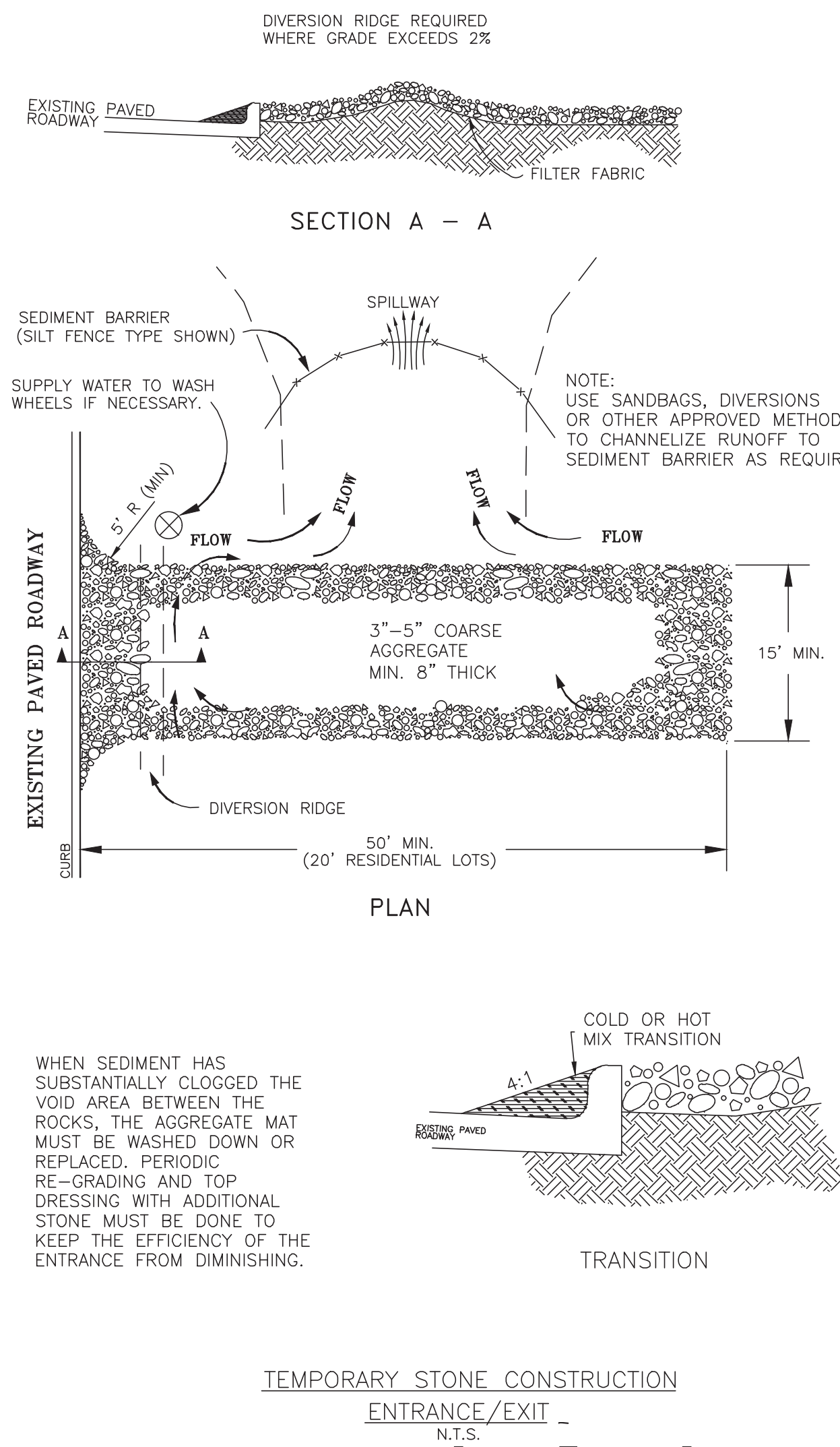
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

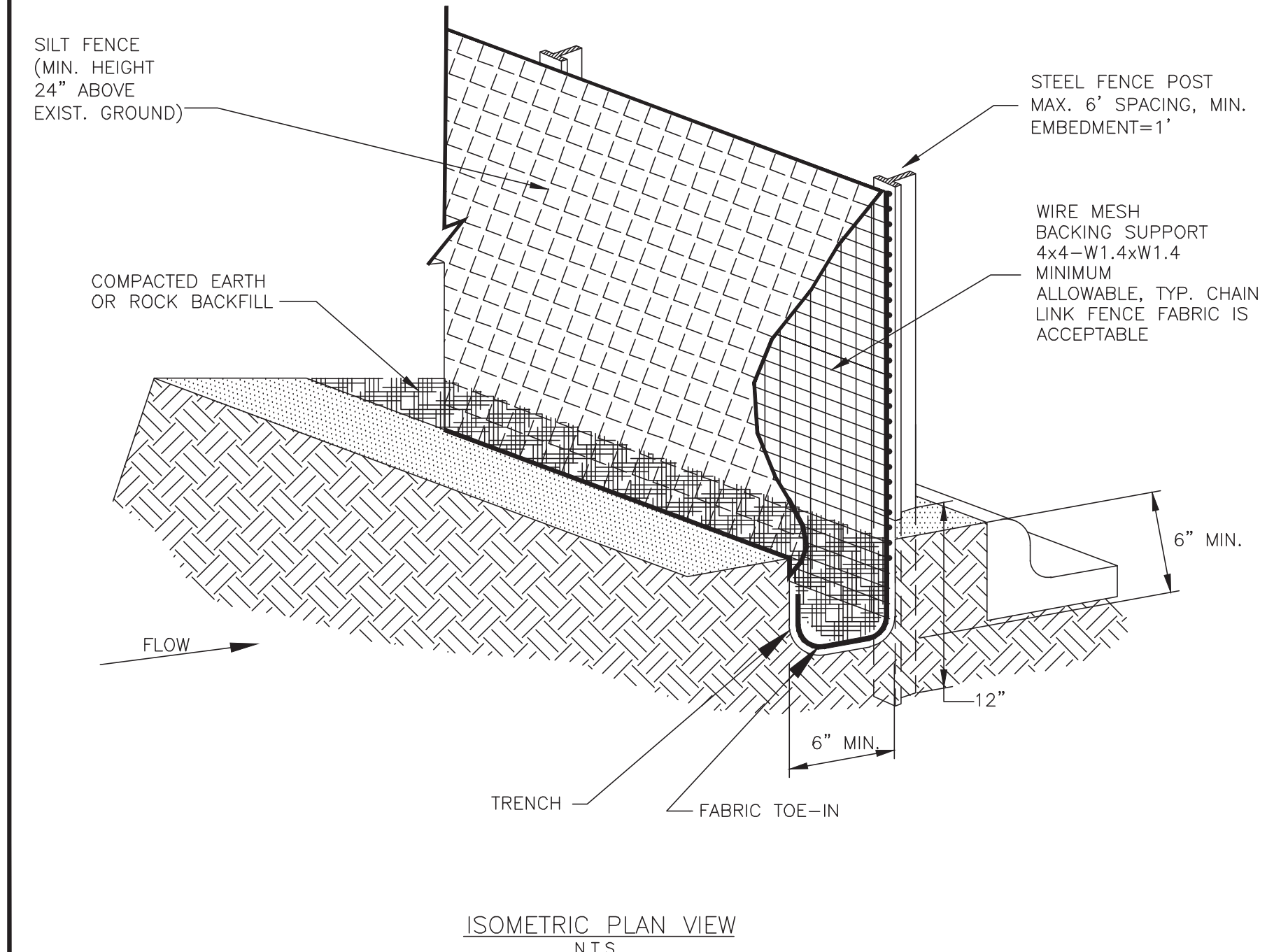
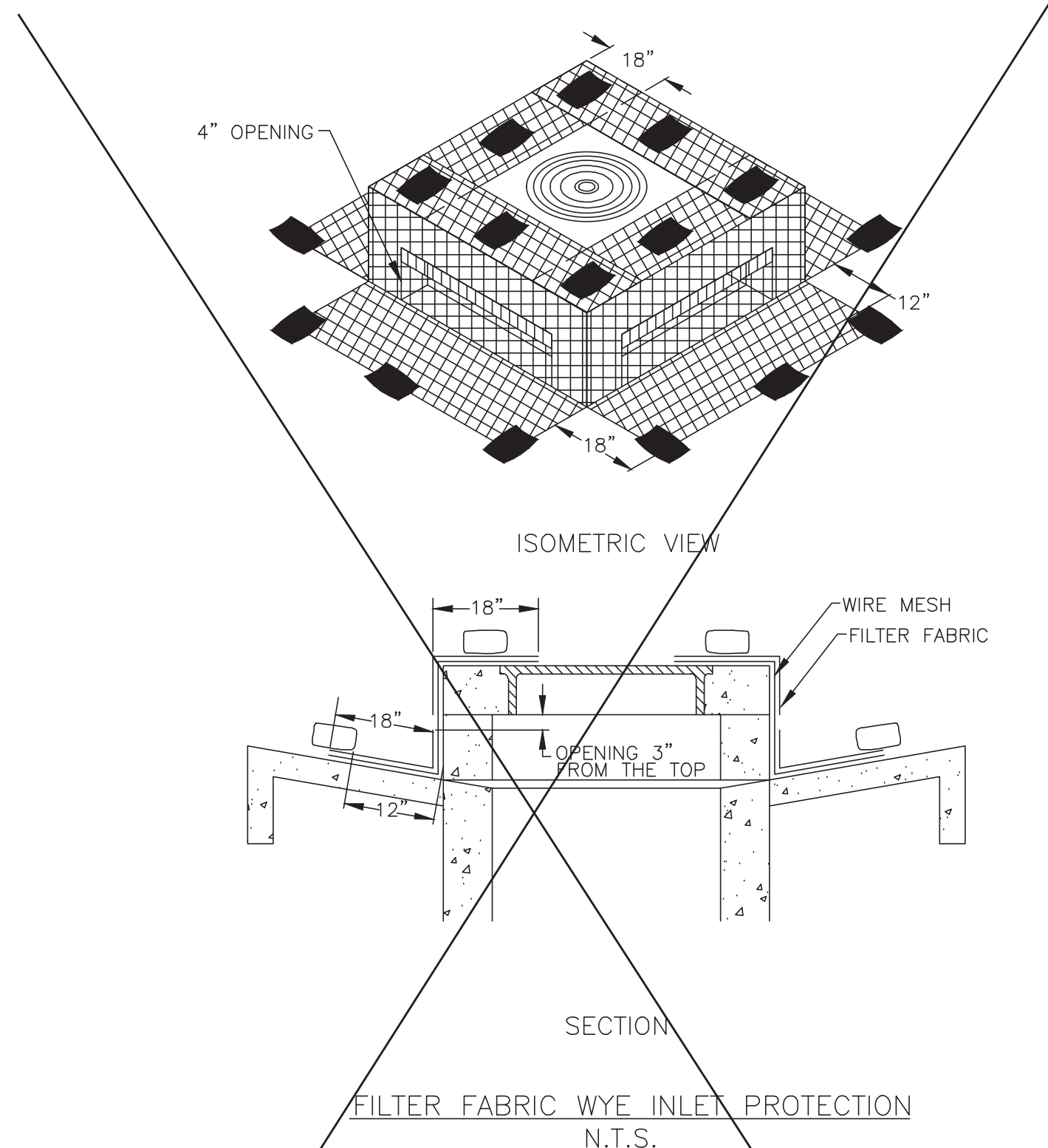
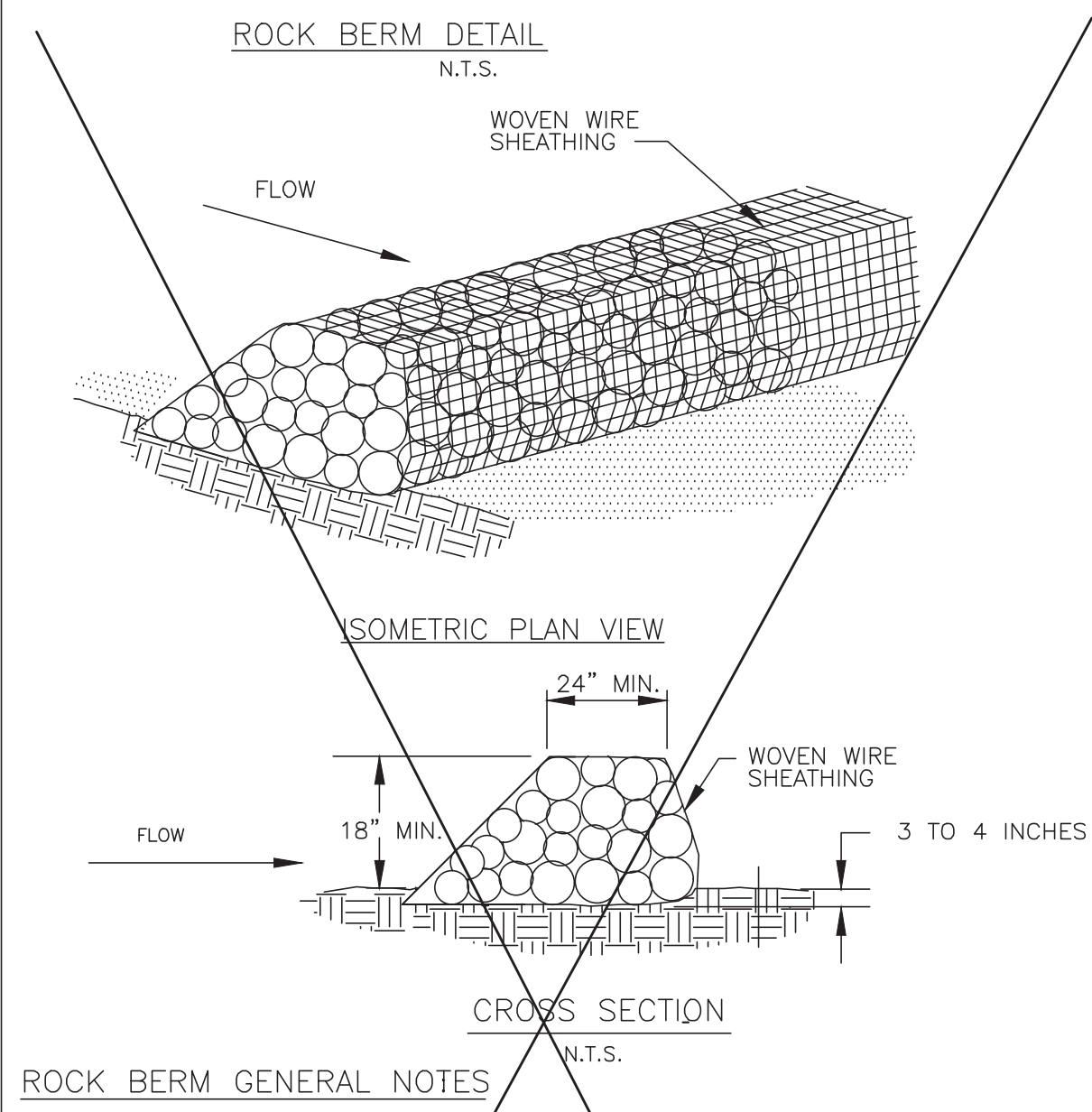
DRIVEWAY CONSTRUCTION DETAILS
SL-27

PROJECT NO. 14396

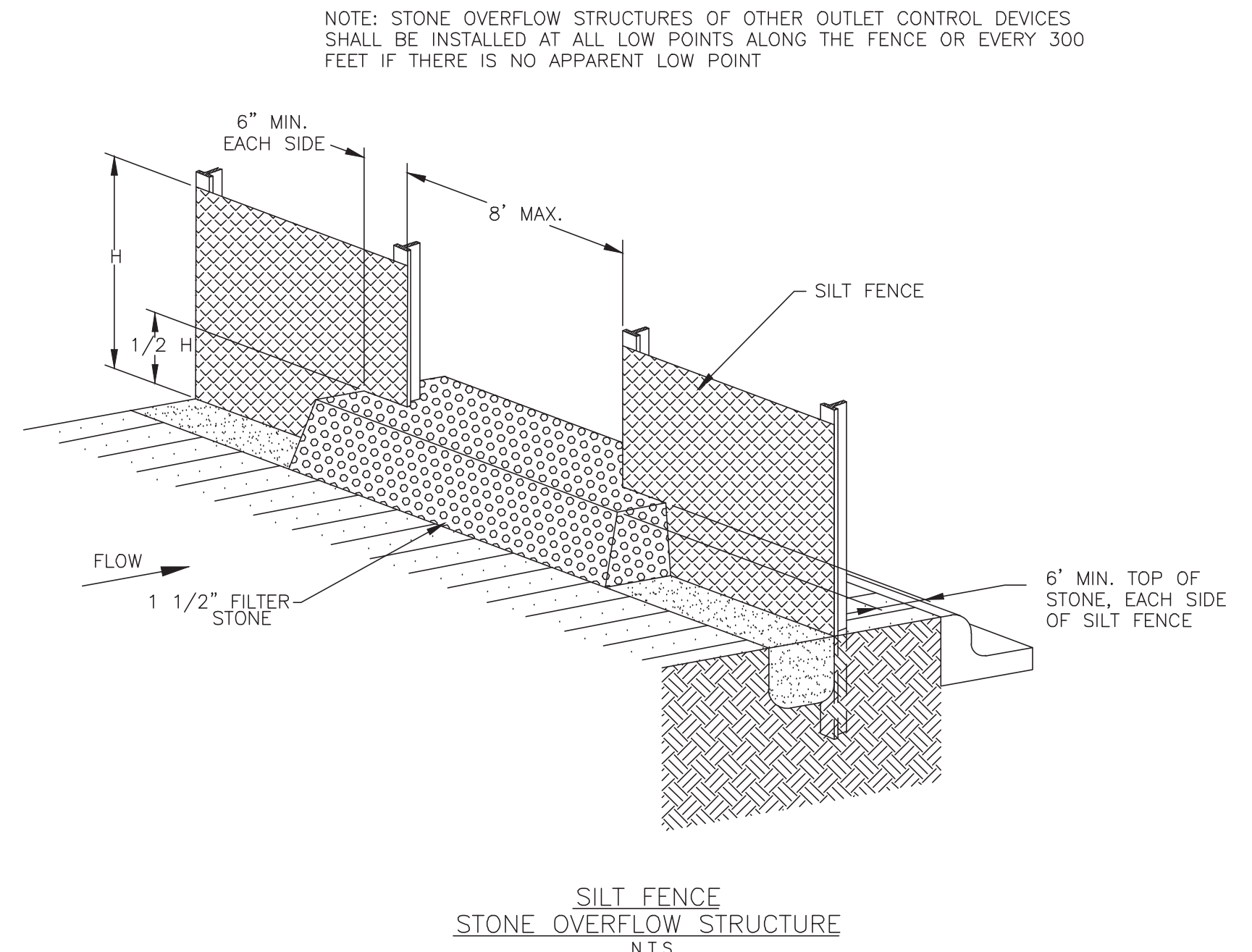


- NOTES:**
1. A SECTION OF FILTER FABRIC SHALL BE REMOVED AS SHOWN ON THIS DETAIL TO PROVIDE A 4" MINIMUM CLEAR OPENING. FABRIC MUST BE SECURED TO WIRE BACKING WITH CLIPS OR HOG RINGS AT THIS LOCATION.
 2. INSPECTION SHALL BE MADE BY CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 2".
 3. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY REMOVE THE INLET PROTECTION IF THE STORMWATER BEGINS TO OVERTOP THE CURB.
 4. INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF THE SEDIMENT IS STABILIZED.

INLET OPENING	MINIMUM NUMBER OF SAND BAGS	
	TOP	FRONT
5'	2	3
10'	3	3
15'	3	4
20'	4	4



- SILT FENCE GENERAL NOTES**
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER:		DATE
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
EROSION CONTROL DETAILS - 1		
JOB No.:	DATE:	SL-34 SHEET OF
DESIGNED BY:	DRAWN BY:	
CHECKED BY:		
SCALE:		

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
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ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825

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03-03-2023

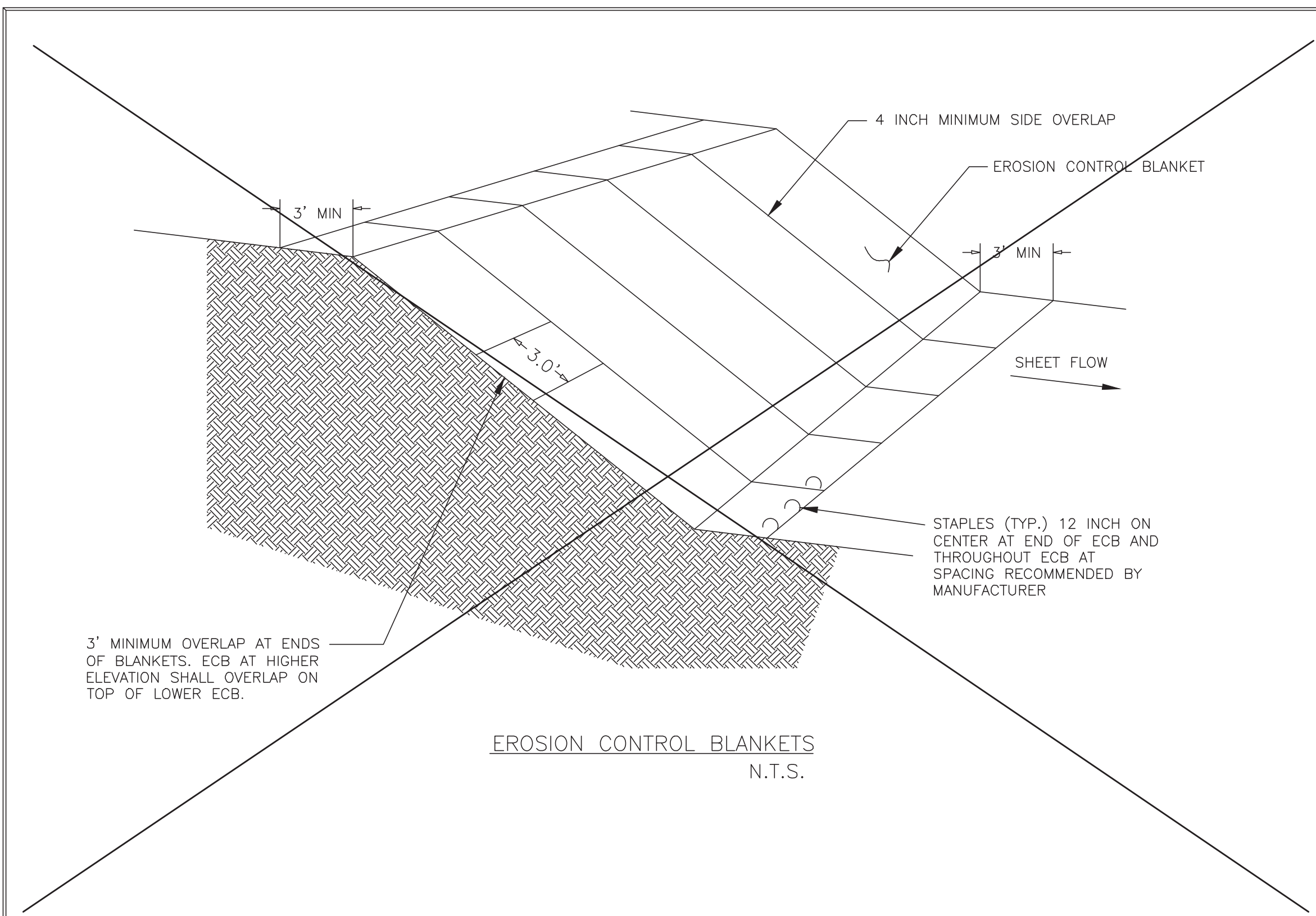
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

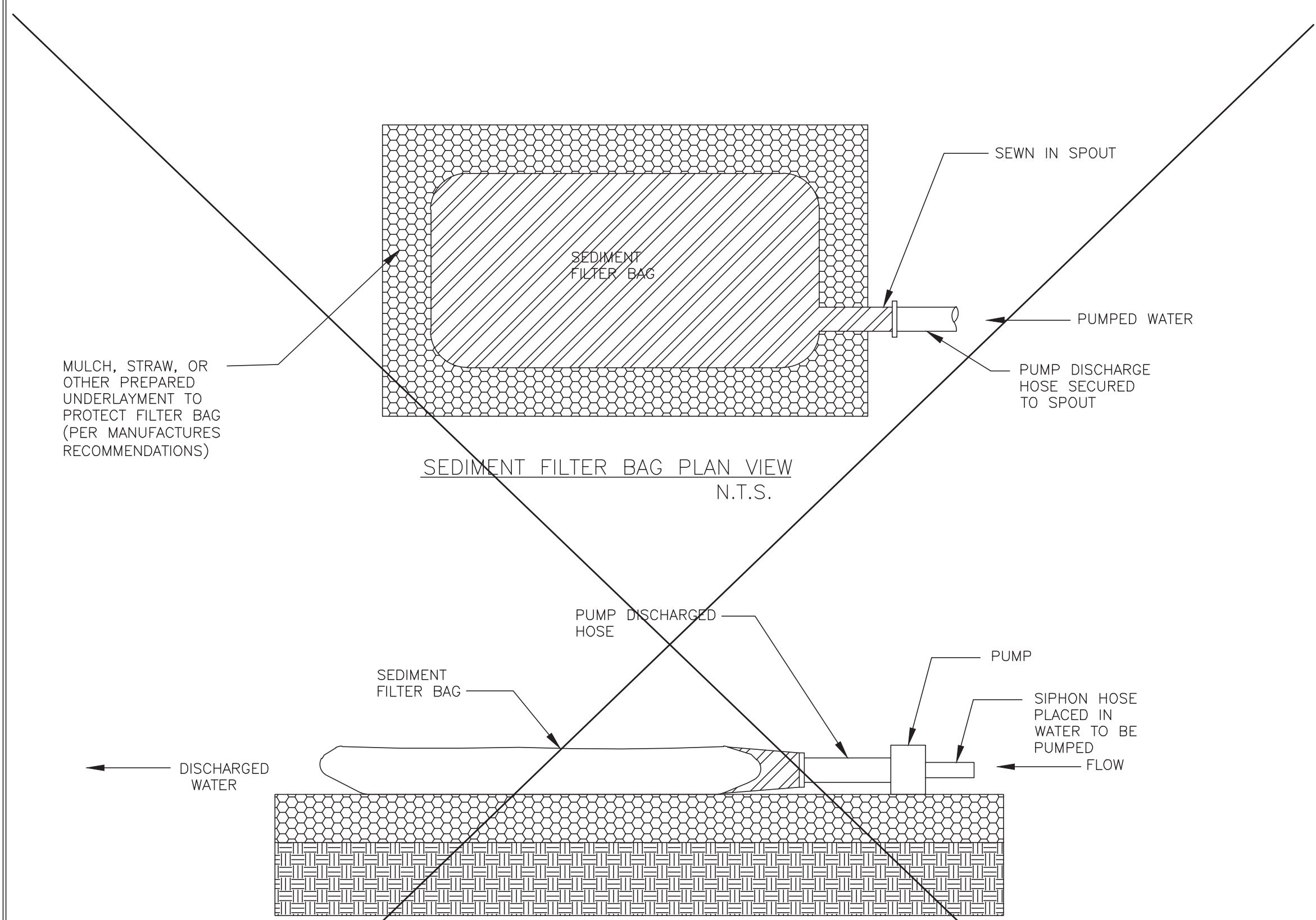
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

EROSION CONTROL
DETAILS - 1
SL-34

PROJECT NO. 14396



EROSION CONTROL BLANKETS
N.T.S.

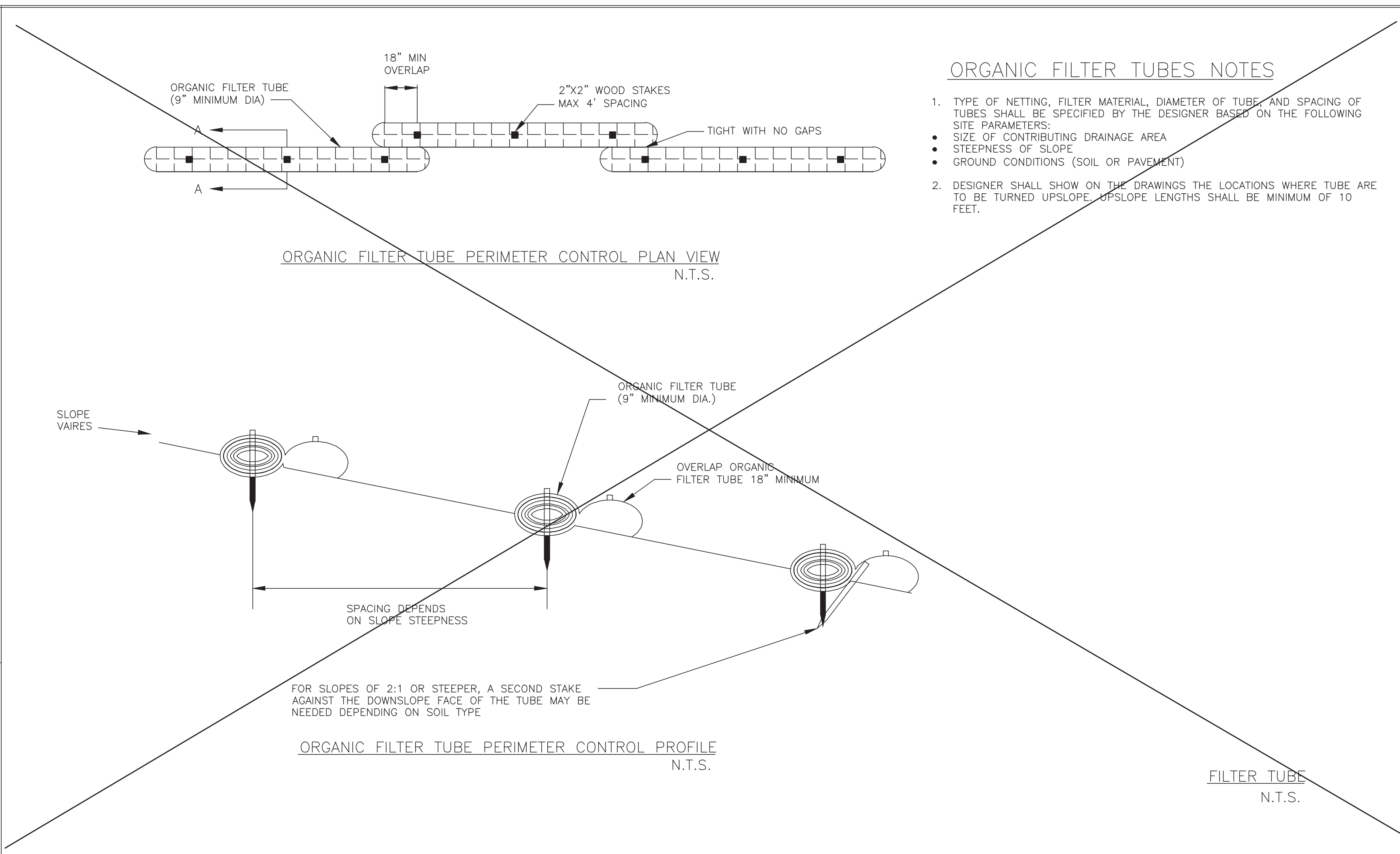


SEDIMENT FILTER BAG PLAN VIEW
N.T.S.

SEDIMENT FILTER BAG PROFILE
N.T.S.

NOTE: A FILTRATION BAG IS NOT REQUIRED IF THE DRAINAGE SYSTEM CAN BE ADEQUATELY PROTECTED

DEWATERING CONTROLS
N.T.S.



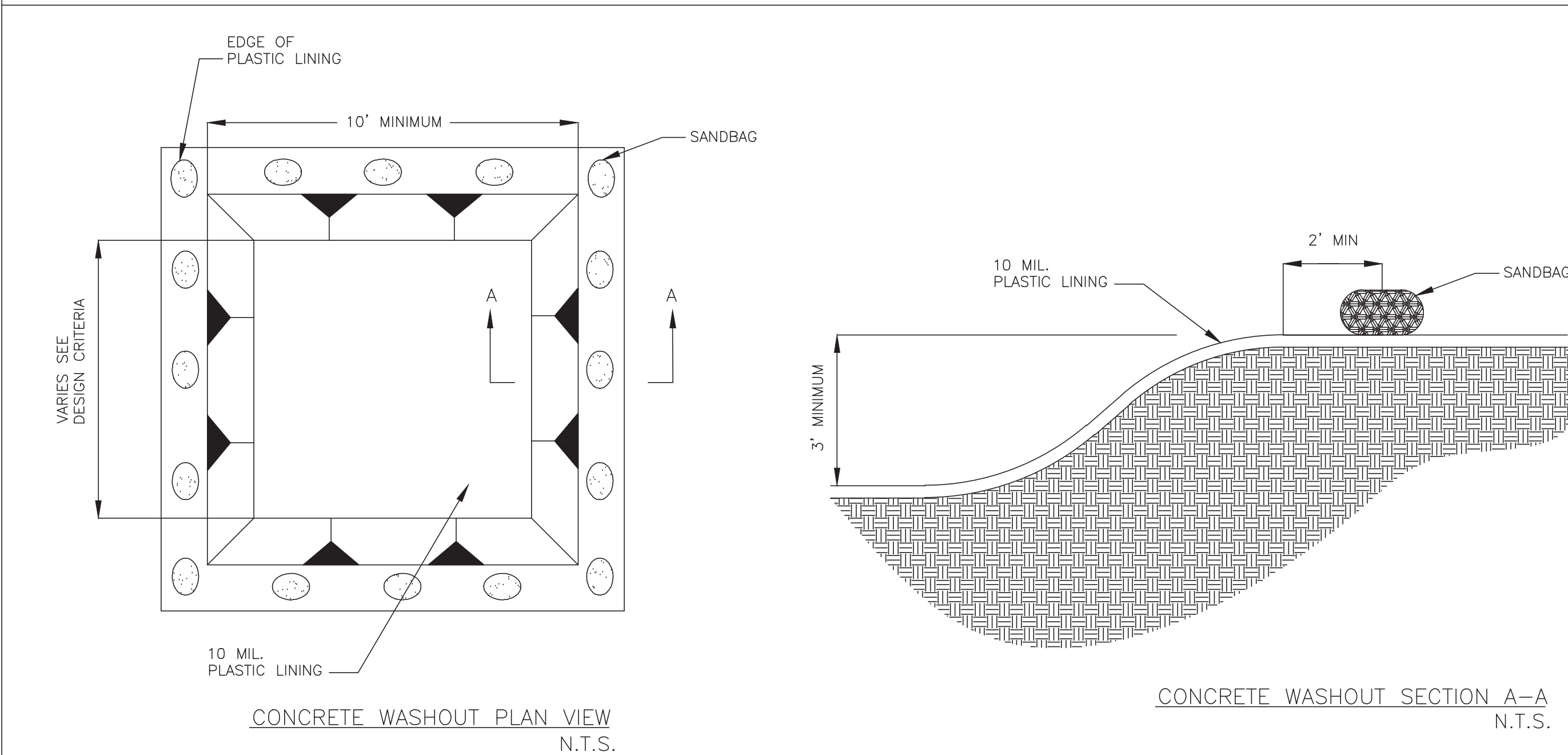
ORGANIC FILTER TUBES NOTES

- TYPE OF NETTING, FILTER MATERIAL, DIAMETER OF TUBE AND SPACING OF TUBES SHALL BE SPECIFIED BY THE DESIGNER BASED ON THE FOLLOWING SITE PARAMETERS:
 - SIZE OF CONTRIBUTING DRAINAGE AREA
 - STEEPNESS OF SLOPE
 - GROUND CONDITIONS (SOIL OR PAVEMENT)
- DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE TUBE ARE TO BE TURNED UPSLOPE. UPSLOPE LENGTHS SHALL BE MINIMUM OF 10 FEET.

ORGANIC FILTER TUBE PERIMETER CONTROL PLAN VIEW
N.T.S.

ORGANIC FILTER TUBE PERIMETER CONTROL PROFILE
N.T.S.

FILTER TUBE
N.T.S.




CONCRETE WASHOUT PLAN VIEW
N.T.S.

CONCRETE WASHOUT SECTION A-A
N.T.S.

CONCRETE WASHOUT NOTES


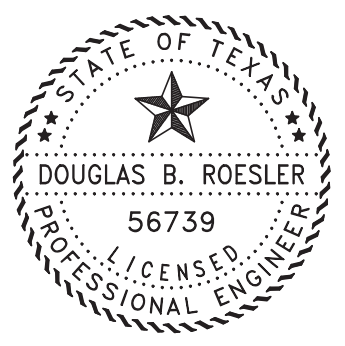
- SANDBAGS MAYBE REPLACED BY A SOIL BERM TO ANCHOR THE PLASTIC BAG

CONCRETE WASHOUT AREA
N.T.S.

No.	DATE	REVISION
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
EROSION CONTROL DETAILS - 2		
JOB No.:	DATE:	SL-35
DESIGNED BY:	DRAWN BY:	
CHECKED BY:	SCALE:	
SHEET OF		

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

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OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

EROSION CONTROL
 DETAILS - 2
 SL-35
 PROJECT NO. 14396

APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 3/1/2023

TYPE OF PLAT APPLICATION

ADMINISTRATIVE	PRELIMINARY	FINAL
MINOR <input type="checkbox"/>	RESIDENTIAL <input type="checkbox"/>	RESIDENTIAL <input checked="" type="checkbox"/>
AMENDING/REPLAT <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>	COMMERCIAL <input type="checkbox"/>

Address of property: Riverwood Ranch, Section 3

Name of Applicant: Douglas B. Roesler/Robin Crouch Phone: 979-849-6681

Name of Company: Baker & Lawson, Inc. Phone: _____

E-mail: drosler@bakerlawson.com

Name of Owner of Property: Riverwood Ranch Land Holding LLC

Address: 1027 Yale, Houston, Texas 77008

Phone: 713-621-6111 E-mail: john@riverwayproperties.com

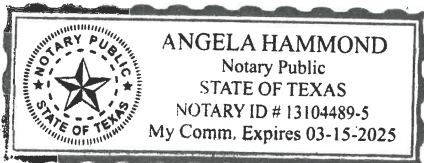
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.

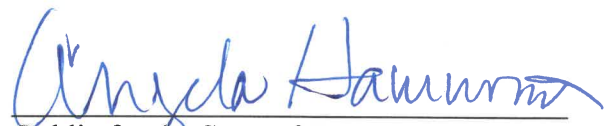
Signature of Owner or Agent for Owner (Applicant) *Robin Crouch*

NOTARIAL STATEMENT FOR APPLICANT:

Sworn to and subscribed before me this 1 day of March, 2023.

(SEAL)




 Notary Public for the State of Texas
 Commission Expires: 03-15-2025

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description)
Tracts 2-2A-2B-3-3A-14 15 - Riverway Ranch Sections 3 & 4

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Riverway Ranch Land Holdings LLC

ADDRESS: 1027 Yale Street

APPLICANT PHONE # 713-621-6111 E-MAIL: john@riverwayproperties.com

PRINTED NAME OF OWNER: Michael Foley

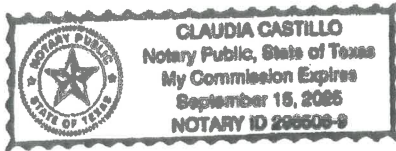
SIGNATURE OF OWNER: _____

DATE: 4/5/22

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 5 day of April, 2022.

(SEAL)



Notary Public for the State of Texas
Commission Expires: _____

PROJECT SUMMARY FORM

Address of property NW corner of Hospital Drive and Buchta Road Intersection

The subject property fronts 1,290 feet on the West side of Buchta

Depth: 1,318 feet (max) Area: 35.6 Acres: 1,550,736 square feet

INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):

**Section 3 of Riverwood Ranch Development located
between Downing Road, Hospital Drive and Buchta Road**

Is this platting a requirement for obtaining a building permit? YES NO

INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.

Name: Robi Crow Date: 3-1-23

SUBMITTAL REQUIREMENTS

Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN_DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

1. A completed application form and application fee;
2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with §117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
3. A preliminary utility plan showing all existing and proposed utilities;
4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
6. A drainage report, as set out in section 23-15, Drainage and utilities;
7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
8. A current tax certificate(s);
9. Construction plans may be submitted at the option of the applicant;
10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
12. Heritage tree survey and a tree preservation plan;
13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

***RESIDENTIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

200 Lots or less	\$800.00 plus \$6.00 per lot
More than 200 Lots	\$4.00 per additional lot over 200
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

***COMMERCIAL** (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00

deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time)

OFFICE USE ONLY:

Date received: _____ By: _____

Type of Plat: _____

Description of individual charges:

Total Fee Received: _____ By: _____

Proof of taxes received: ____ Yes If no, explain: _____

PRELIMINARY PLAT MEETINGS:

Pre-submission conference/meeting date: _____

Received Preliminary Plat on: _____ by _____

Preliminary plat staff meeting date: _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

FINAL PLAT MEETINGS:

Received final plat on _____ by _____

Reviewed by Staff on _____ by _____

Planning & Zoning meeting date: _____

City Council meeting date: _____

Filed with County Clerk on: _____

File-stamped copy to owner/developer on: _____



April 3, 2023

Mr. Otis Spriggs
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: Riverwood Ranch Section 3 Final Plat – 1st Submittal Review Comments

Dear Mr. Spriggs:

Attached is the updated referenced plat with the following comments addressed:

Final Plat - Sheet 1 of 2

1. Show existing Riverwood Ranch Section 1 in grey scale or dashed lines.
Shown in grey scale
2. Notate future Riverwood Ranch phases on Final plat.
Notated
3. Show existing Northview Subdivision Section 1 in grey scale or dashed lines.
Shown in grey scale

We believe we have corrected all comments. Please contact us if you have any questions concerning the submittal.

Sincerely,

Robin Crouch

OWNER'S ACKNOWLEDGEMENT.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINAFOVE DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEEES AND SUCCESSORS: THE PORTION OF BLOCK 1, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT". THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSESED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINAFOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

OWNER'S ACKNOWLEDGEMENT.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT
RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

APPROVED THIS ____ DAY OF _____, 20____ BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS ____ DAY OF _____, 20____ BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE ____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

- 1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

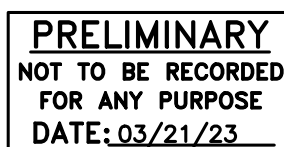
CHAIRMAN, BOARD OF SUPERVISORS BOARD MEMBER

BOARD MEMBER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.

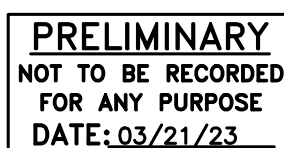


SIGNED: DOUGLAS B. ROESLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.



SIGNED: DARREL HEIDRICH DATE REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 5378

NOTES:

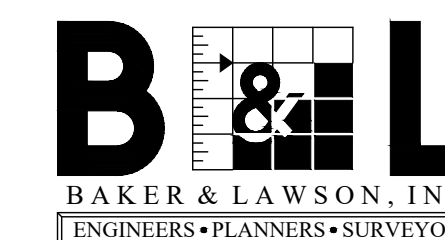
- 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.
2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
4. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1171) A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29
5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.
12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.
13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

FINAL PLAT
RIVERWOOD RANCH SUBDIVISION
SECTION 3

A 35.620 ACRES
73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION

BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS
RECORDED IN C.C.F.N. 2020043779
OF THE O.P.R.B.C.T.

LOCATED IN THE
THEODORE S. LEE SURVEY
ABSTRACT NO. 318
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS

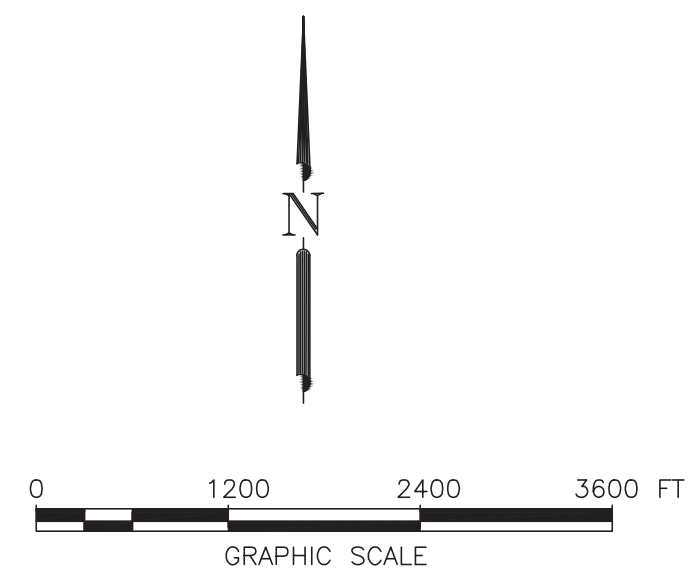


4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

OWNERS:
JOHN SANTASIERO
RIVERWOOD RANCH LLC
1027 YALE STREET
HOUSTON, TEXAS 77008

Table with 3 columns: PROJECT NO., SCALE, DRAWN BY, DATE, CHECKED BY

CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 8 BLOCKS, 145 LOTS IN THE CITY OF ANGLETON BRAZORIA COUNTY B&L JOB No. 14396

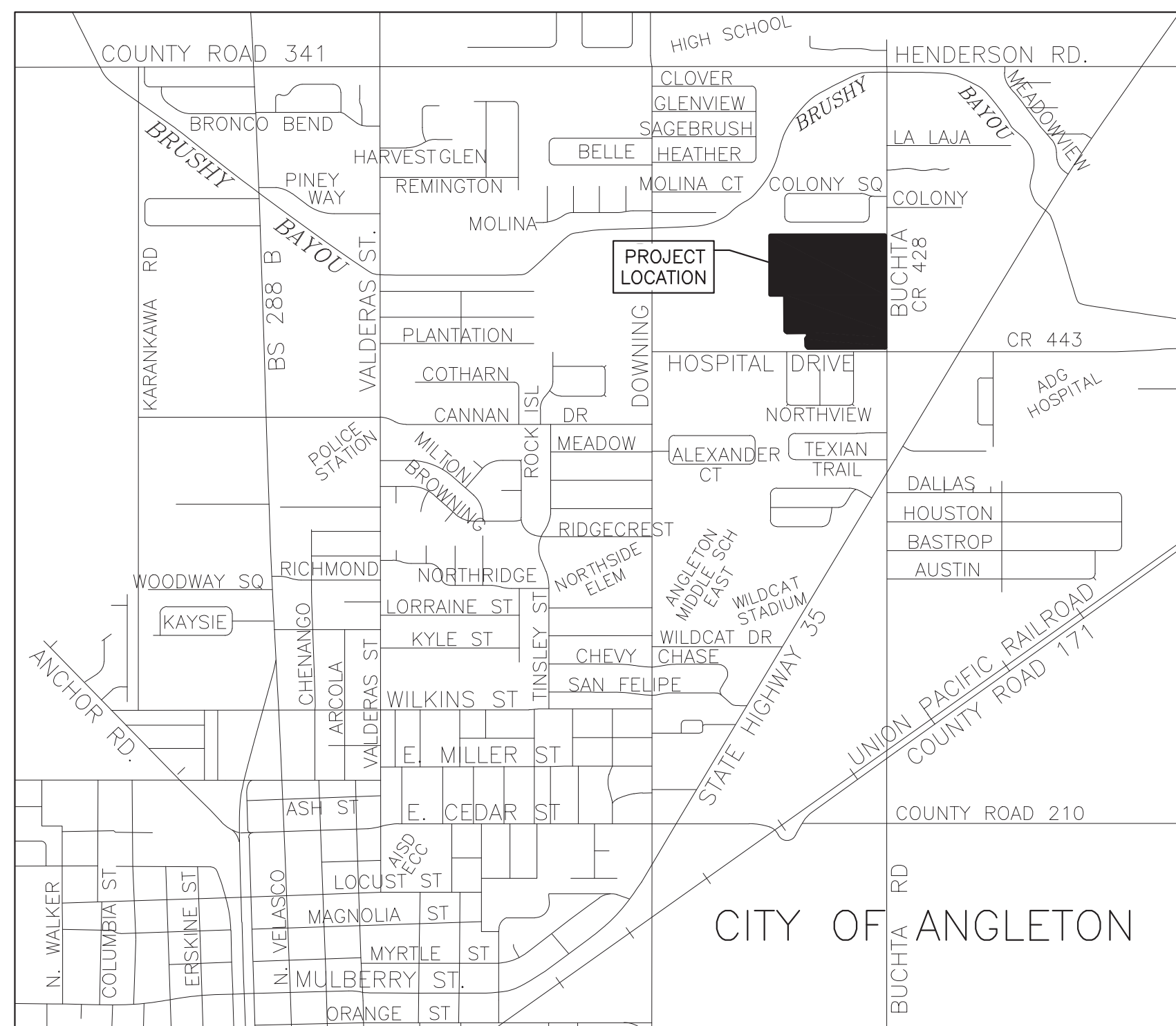


INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
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-	FINAL PLAT
2	CONSTRUCTION NOTES
3	EXISTING CONDITIONS & DEMOLITION
4	DRAINAGE AREA MAP
5	LOT GRADING PLAN
5A	CUT & FILL CALCULATION
6	UTILITY PLAN & SHEET LAYOUT
7	PLAN & PROFILE - EMMA STREET STA -0+80 TO 4+80
8	PLAN & PROFILE - EMMA STREET STA 4+80 TO 10+00
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CITY OF ANGLETON

MAYOR
JASON PEREZ
CITY MANAGER
CHRIS WHITTAKER

CITY COUNCIL
CHRISTIENE DANIEL
CECIL BOOTH
JOHN WRIGHT
MARK GONGORA
TRAVIS TOWNSEND

This subdivision lies within the Brushy Bayou Watershed.

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4905 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

TITLE SHEET
PROJECT NO. 14396

FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B.&L.), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00" (THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET;

NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00" (THE CHORD BEARS NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B.&L. FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87°07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02°52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B.&L. SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE;

THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

Table with 5 columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Contains curves C1 through C19.

Table with 5 columns: Curve No., Length, Radius, Delta, Chord Bearing, Chord Distance. Contains curves C20 through C38.

Table with 3 columns: Line No., Length, Direction. Contains lines L1 through L11.

Block tables for Section 3, containing lot numbers, areas, and dimensions for 15 lots.

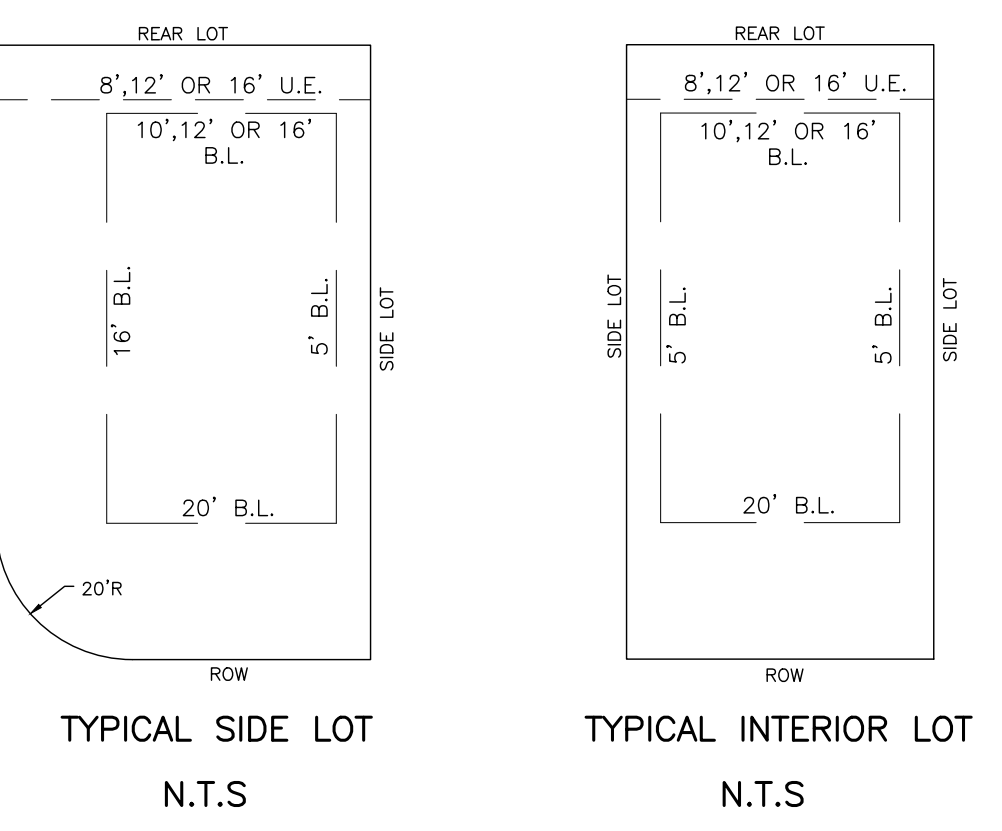


Table with 3 columns: Street Name, R.O.W. Width, Total Length. Lists Amy Street and Hospital Drive.

Table with 4 columns: Symbol, Description, Reserve Use, Area. Lists various reserve areas like Residential Reserve A, B, C, D, E.

Final Plat title block for Riverwood Ranch Subdivision Section 3, including acreage, lot count, and owner information.

Owner information for Baker & Lawson, Inc., including address and contact details.

OWNER'S ACKNOWLEDGEMENT.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

OWNER'S ACKNOWLEDGEMENT.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT
RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED THIS _____ DAY OF _____, 20____ BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____ BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS §
COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEEES AND SUCCESSORS: THE PORTION OF BLOCK 1, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE _____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS _____

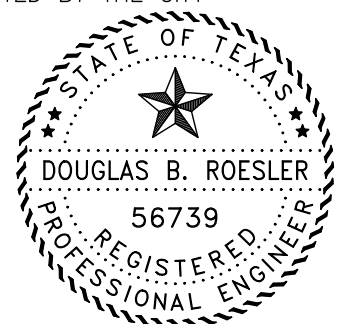
BOARD MEMBER _____

BOARD MEMBER _____

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.



SIGNED: _____

DOUGLAS B. ROESLER DATE
PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 56739

STATE OF TEXAS §
COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.



SIGNED: _____

DARREL HEIDRICH DATE
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5378

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.
2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 4803900435K AND 4803900445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
4. REFERENCE BENCHMARK:
NGS MONUMENT R1182 (PID AW1171)
A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
ELEVATION = 26.31 FEET NGVD29
5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT, THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.
12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.
13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

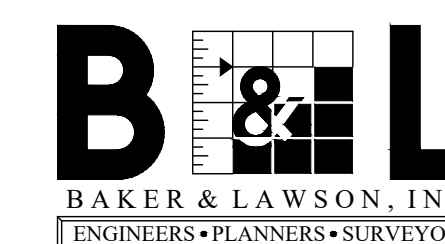
SHEET 2 OF 2

**FINAL PLAT
RIVERWOOD RANCH SUBDIVISION
SECTION 3**

**A 35.620 ACRES
73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION**

**BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS
RECORDED IN C.C.F.N. 2020043779
OF THE O.P.R.B.C.T.**

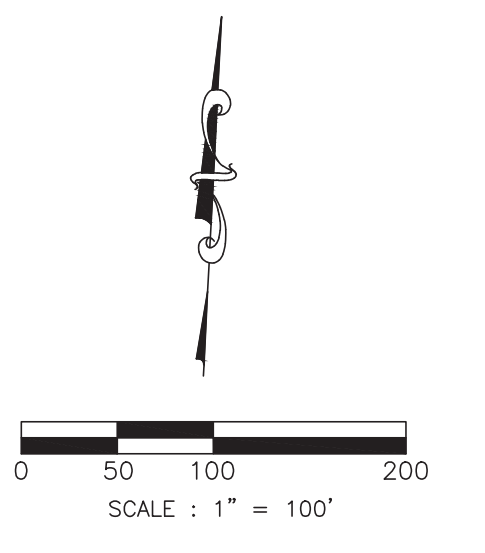
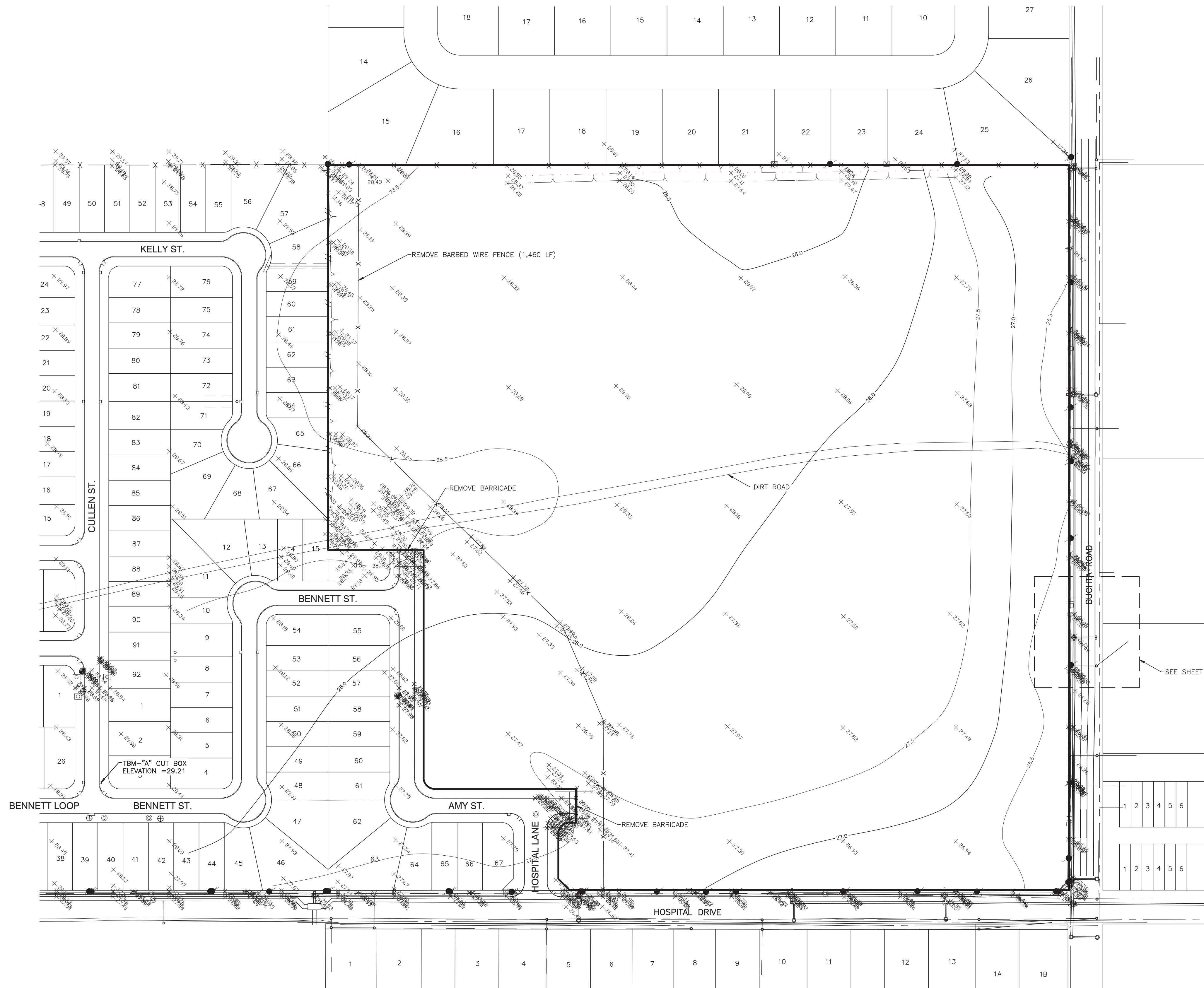
LOCATED IN THE
THEODORE S. LEE SURVEY
ABSTRACT NO. 318
CITY OF ANGLETON
BRAZORIA COUNTY, TEXAS



4005 TECHNOLOGY DR., SUITE 1530
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPELS No. 10052500 REG. NO. F-825

OWNERS:
JOHN SANTASIERO
RIVERWOOD RANCH LLC
1027 YALE STREET
HOUSTON, TEXAS 77008

PROJECT NO.: 14396	SCALE: 1" = 100'	DRAWN BY: BT
DRAWING NO.: 14396 SEC 3-4 FINAL PLAT	DATE: 12/02/2022	CHECKED BY: DH



SYMBOLS LEGEND

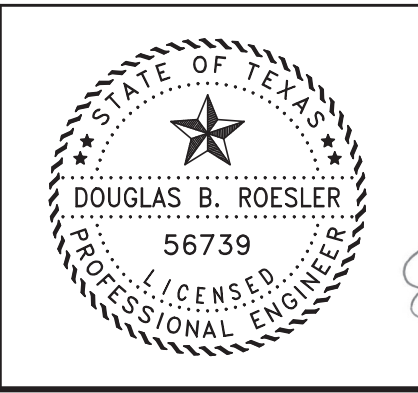
- ⊙ = FND IMPLEMENT AS NOTED
- = SET 5/8" IRON ROD
- ⊕ = BENCHMARK
- ⊕ = GAS VALVE
- ⊕ = GAS METER
- ⊕ = IRRIGATION CONTROL
- ⊕ = WATER VALVE
- ⊕ = WATER METER
- ⊕ = FIRE HYDRANT
- ⊕ = GUY WIRE
- ⊕ = POWER POLE
- ⊕ = SIGNAL POLE
- ⊕ = LIGHT POLE
- ⊕ = LIGHT BOLLARD
- ⊕ = BOLLARD
- ⊕ = MONITOR WELL
- ⊕ = CLEANOUT
- ⊕ = SIGN
- ⊕ = TELE PEDESTAL
- ⊕ = TREE
- ⊕ = MANHOLE
- ⊕ = INLET

1. REFERENCE BENCHMARK:
 NGS MONUMENT R1182 (PID AW1171)
 A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275' SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29.
2. SITE BENCHMARK:
 TBM "A":
 A CUT BOX ON AN INLET ON THE EAST SIDE OF CULLEN STREET APPROXIMATELY 41' NORTH FROM THE INTERSECTION WITH BENNETT STREET. ELEVATION = 29.21'

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739

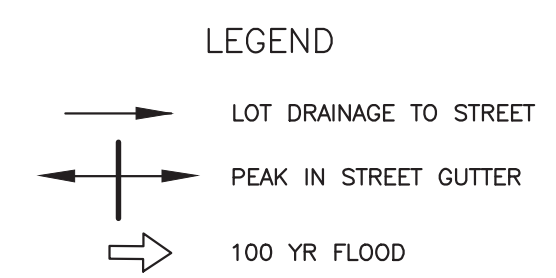
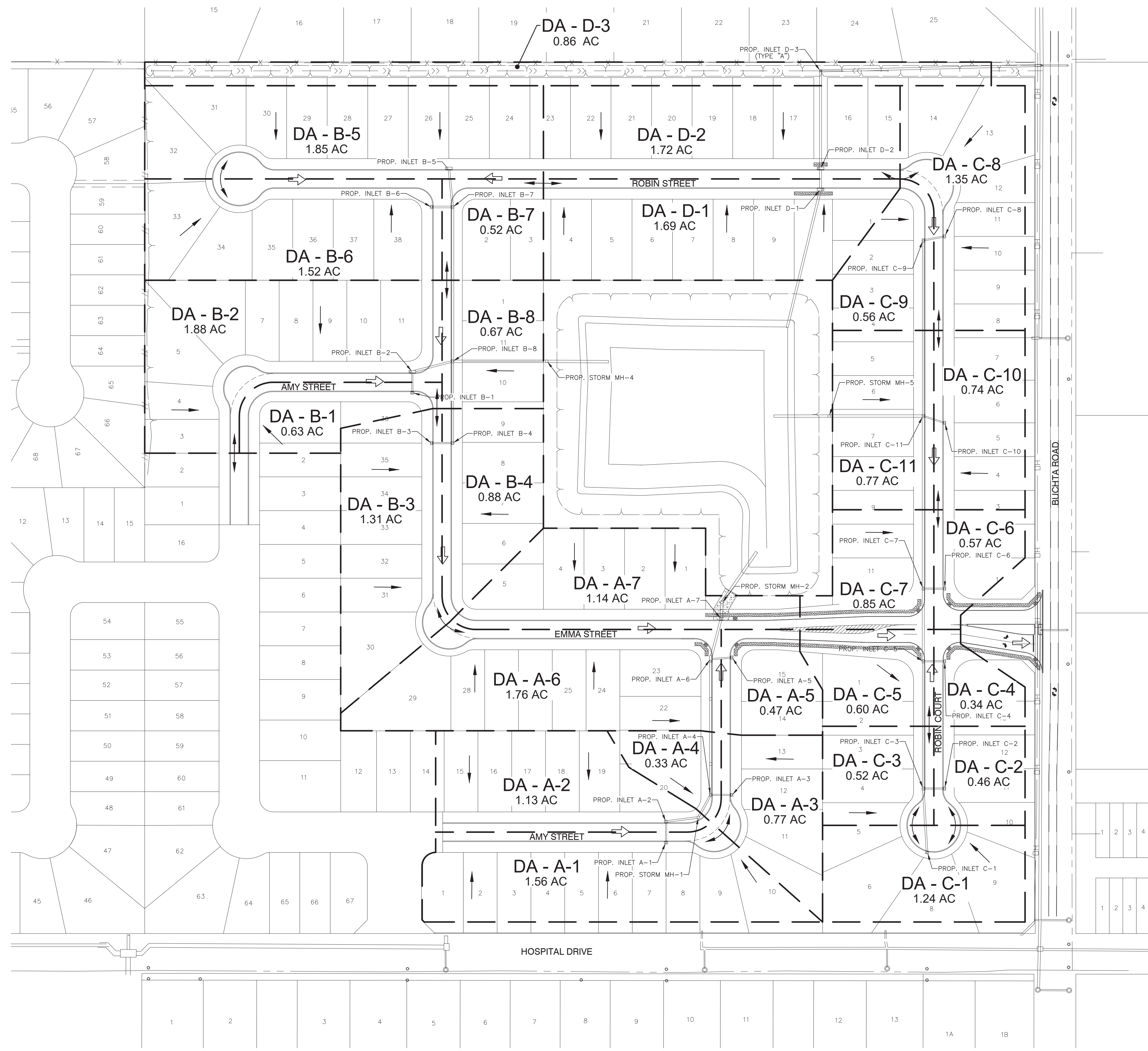
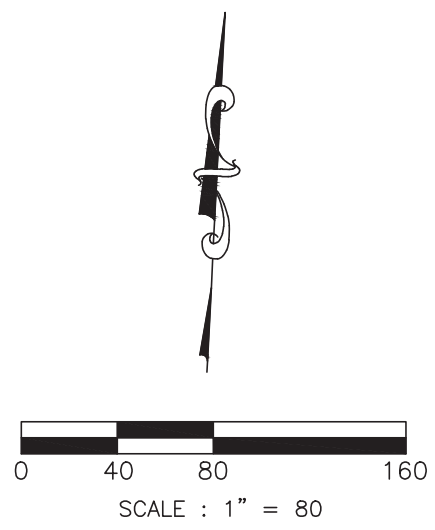
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

EXISTING CONDITION
 & DEMOLITION

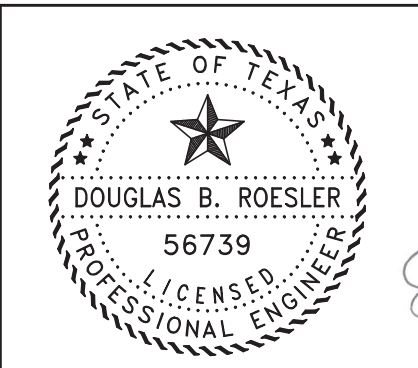
PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

B & L
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 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



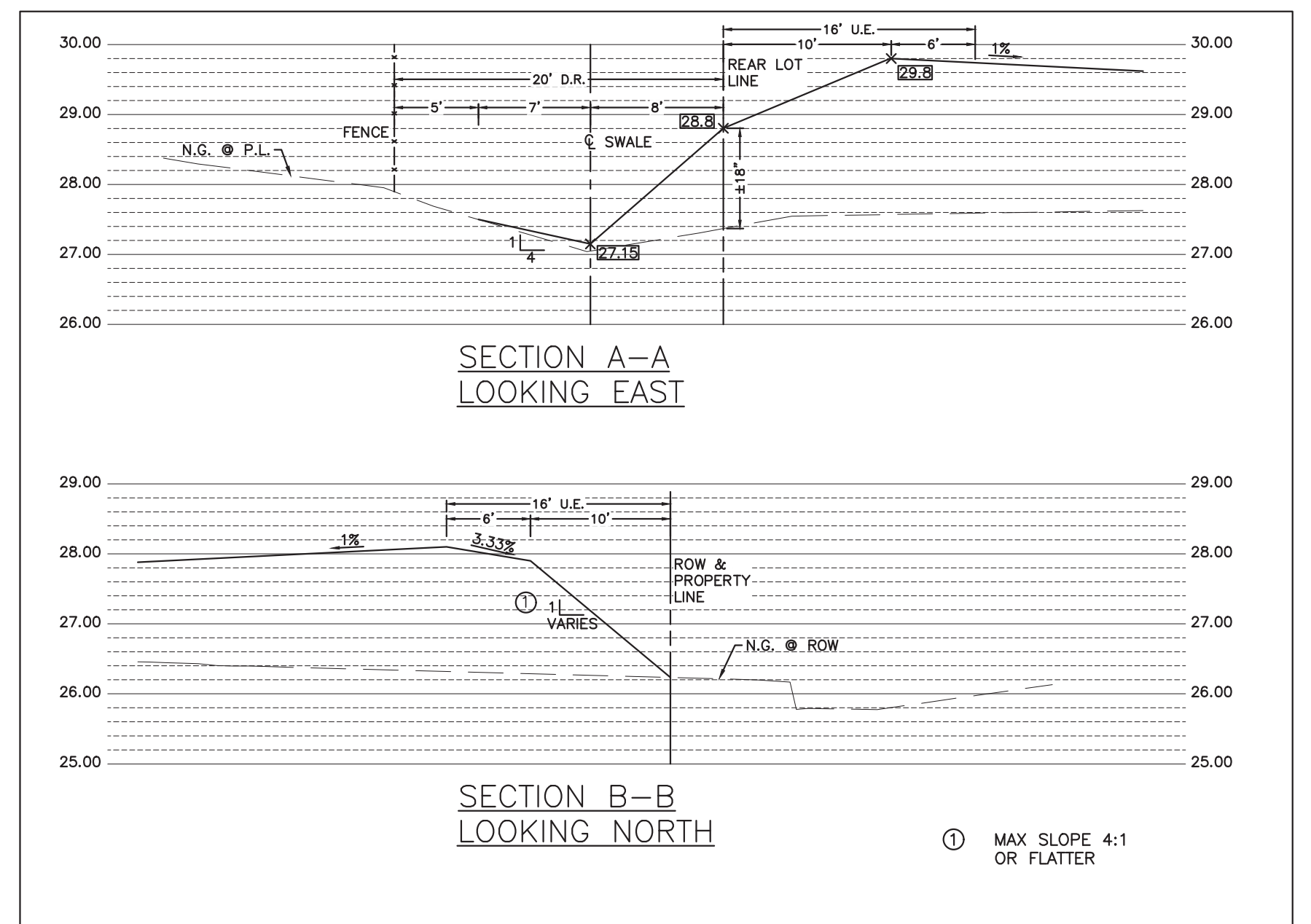
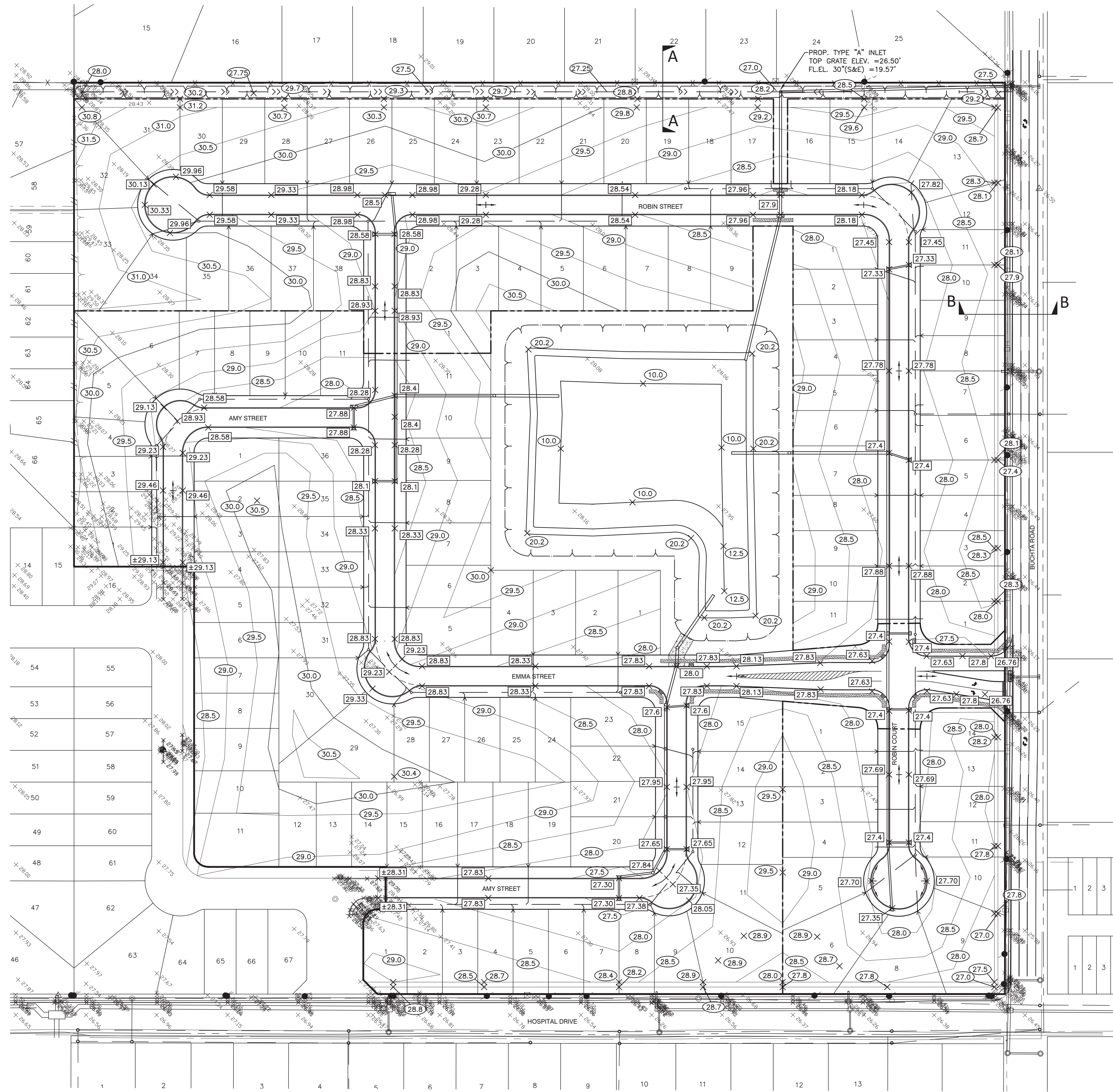
The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
DR 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DRAINAGE AREA MAP
 PROJECT NO. 14396

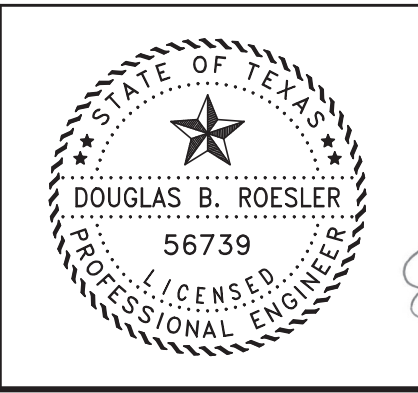


	Pavement area	Curb length
Section 3	86,130	5,466
Section 4	65,647	4,224

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825



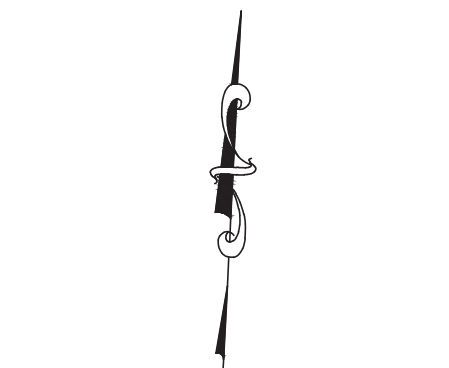
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

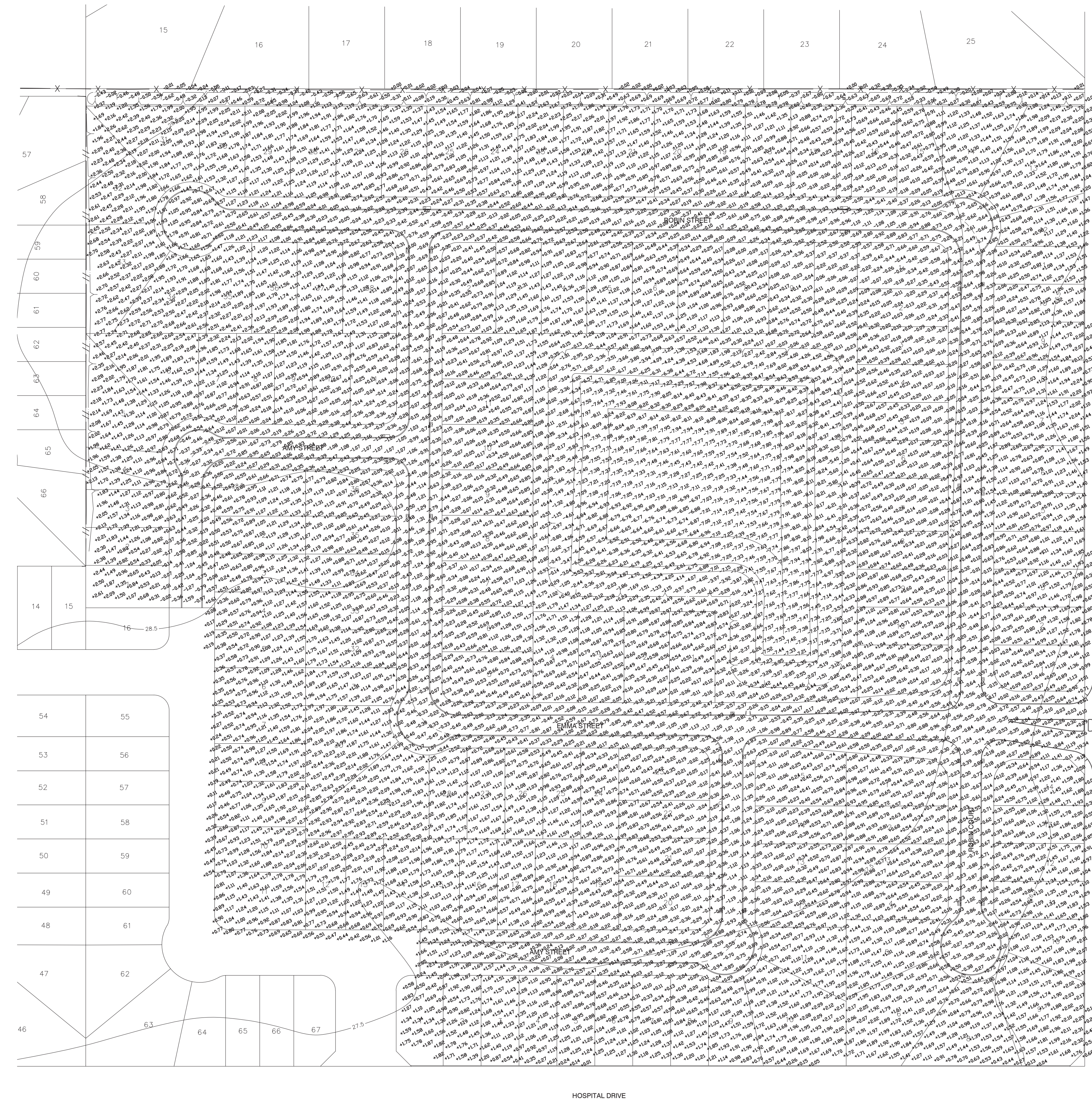
PLAN: 1" = 80'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

LOT GRADING PLAN
PROJECT NO. 14396



0 40 80 160
SCALE : 1" = 80'



EARTHWORK QUANTITY	
CUT VOLUME	: 38140 CUYD
FILL VOLUME	: 43230 CUYD
NET FILL	: 5090 CUYD

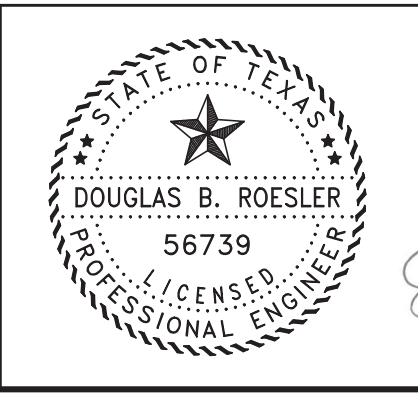
1	2	3
1	2	3

1	2	3	4	5	6	7	8	9	10	11	12	13
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NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1330
ANGLETON, TEXAS 77515 (979) 849-6681
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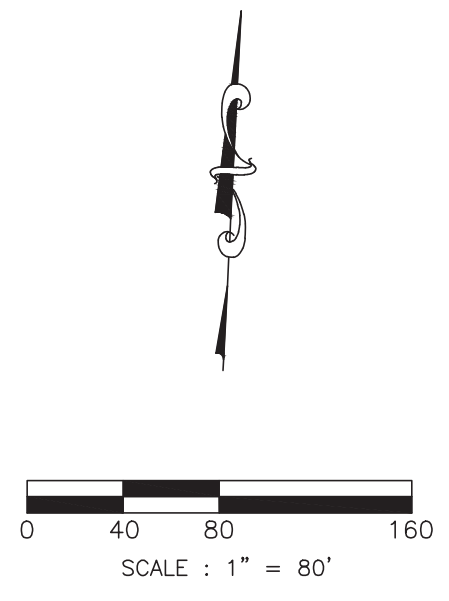
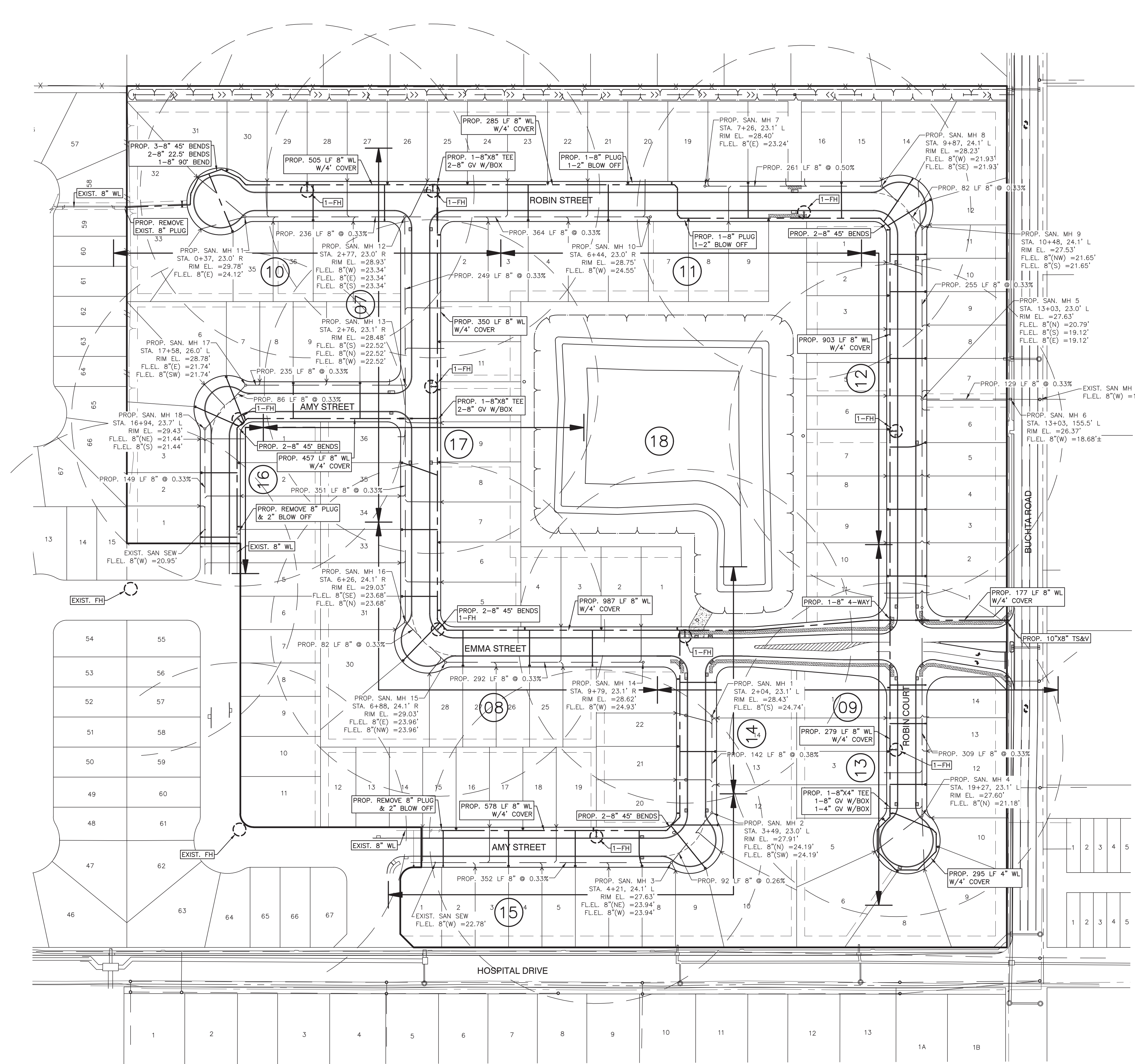
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
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OWNER:
RIVERWAY PROPERTIES
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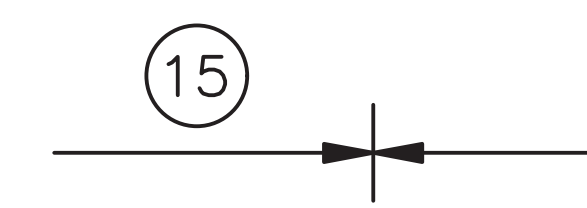
PLAN: 1" = 80'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CUT & FILL CALCULATION
PROJECT NO. 14396



LEGEND:



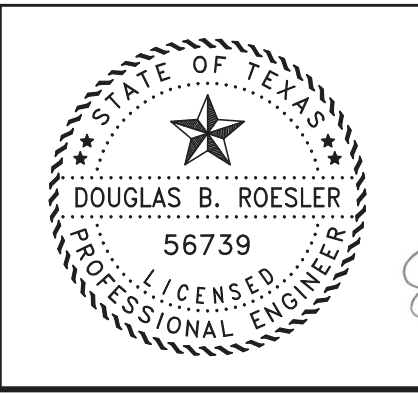
SHEET NUMBER

250' F.H. RADIUS & F.H. LOCATION

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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 03-03-2023

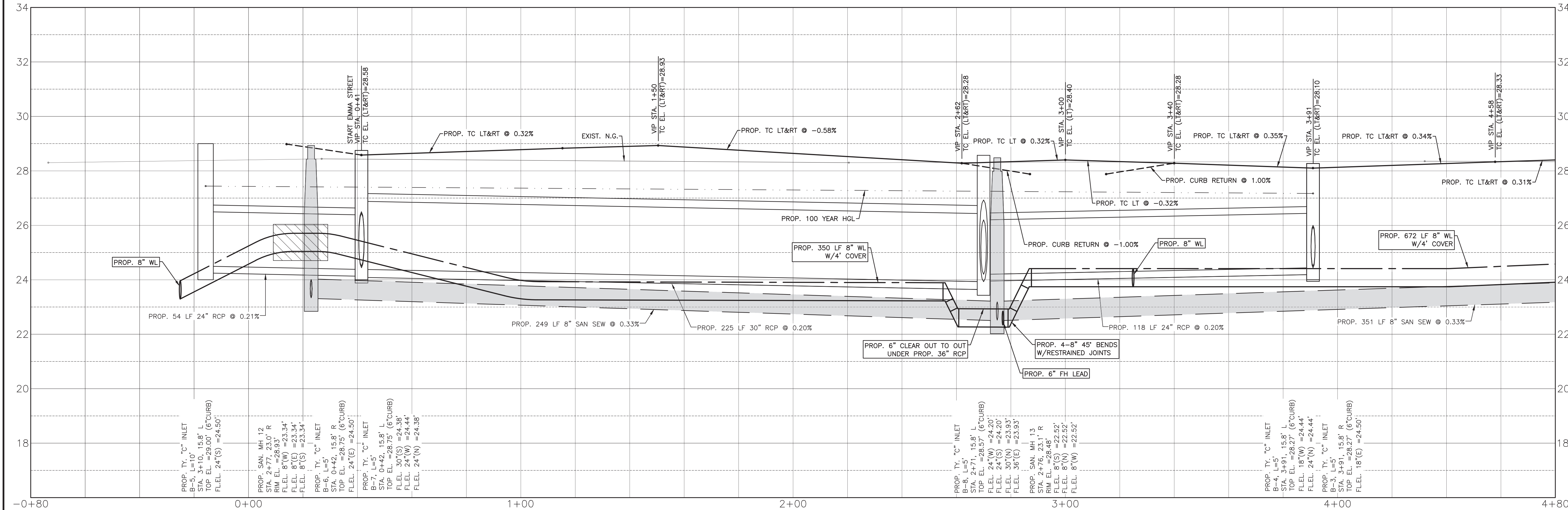
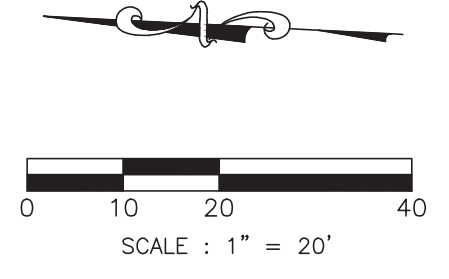
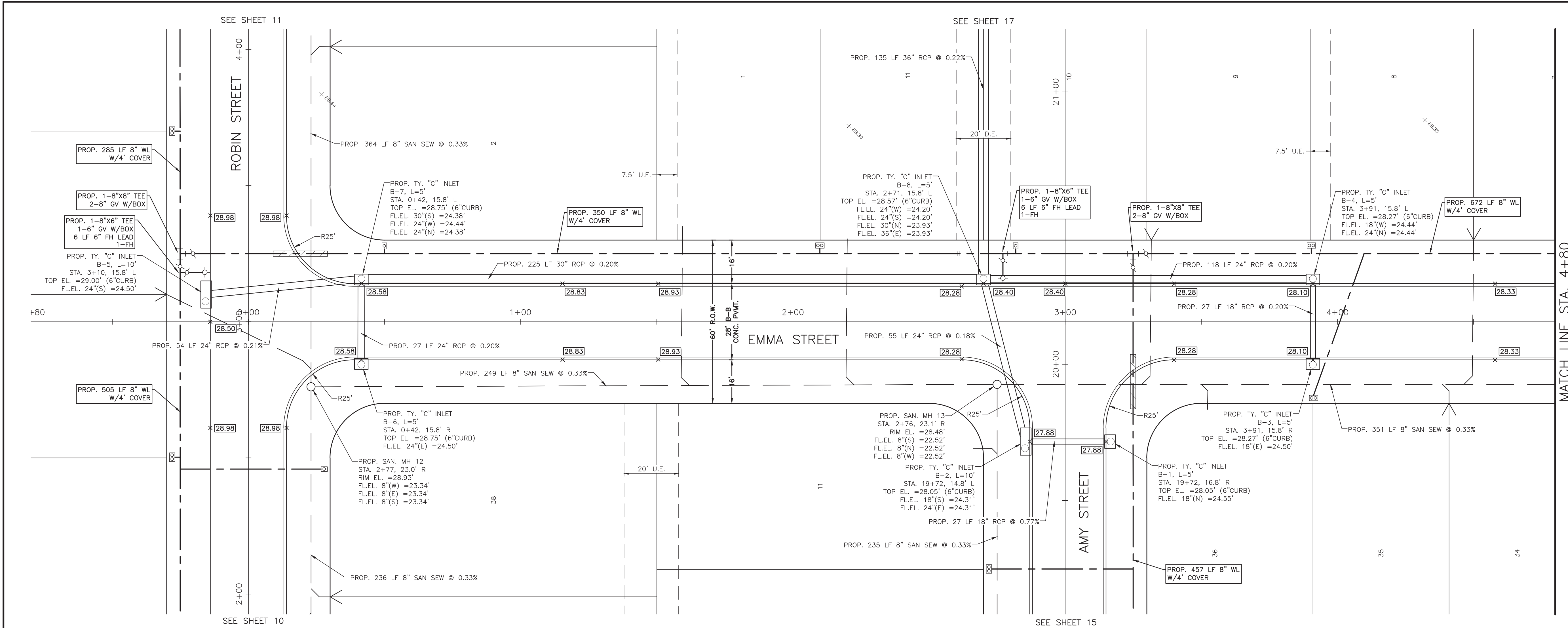
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

UTILITY PLAN &
 SHEET LAYOUT

PROJECT NO. 14396

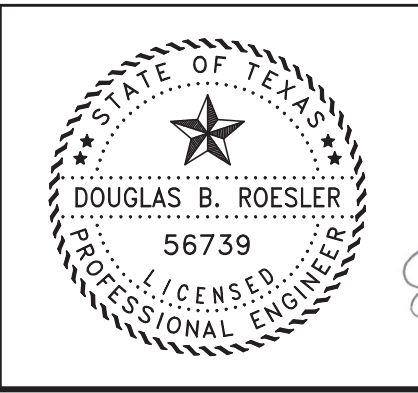


- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWMA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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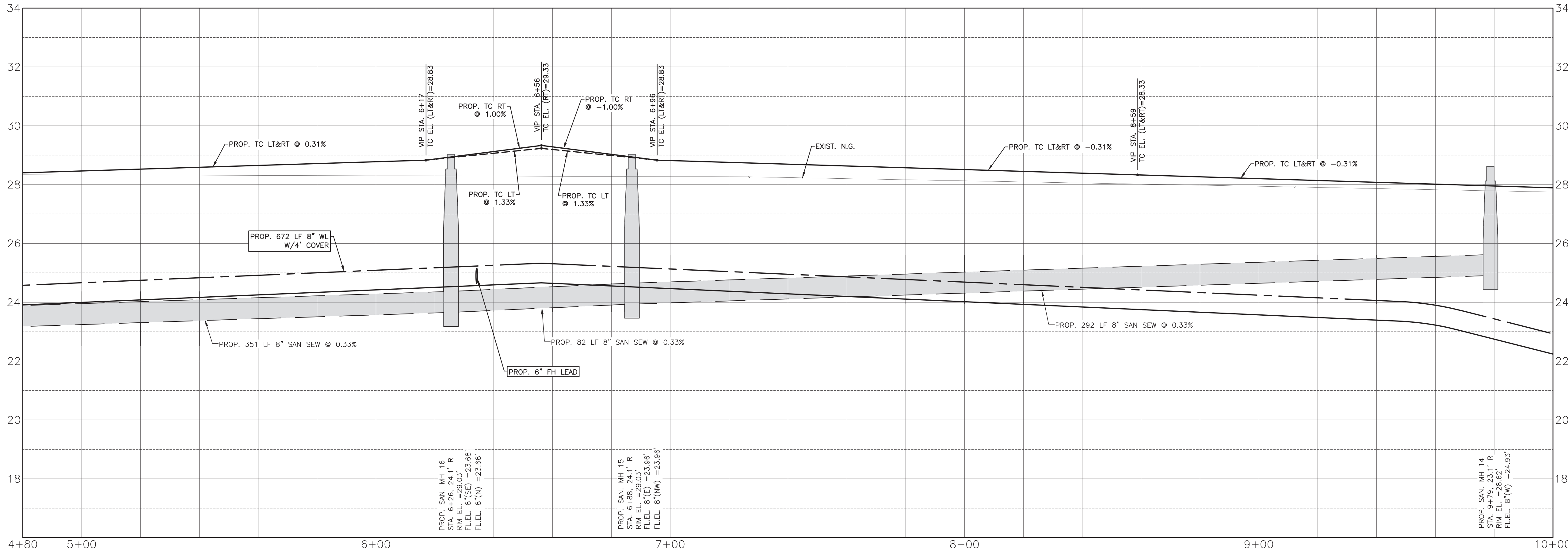
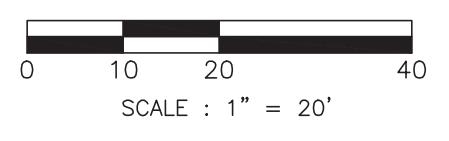
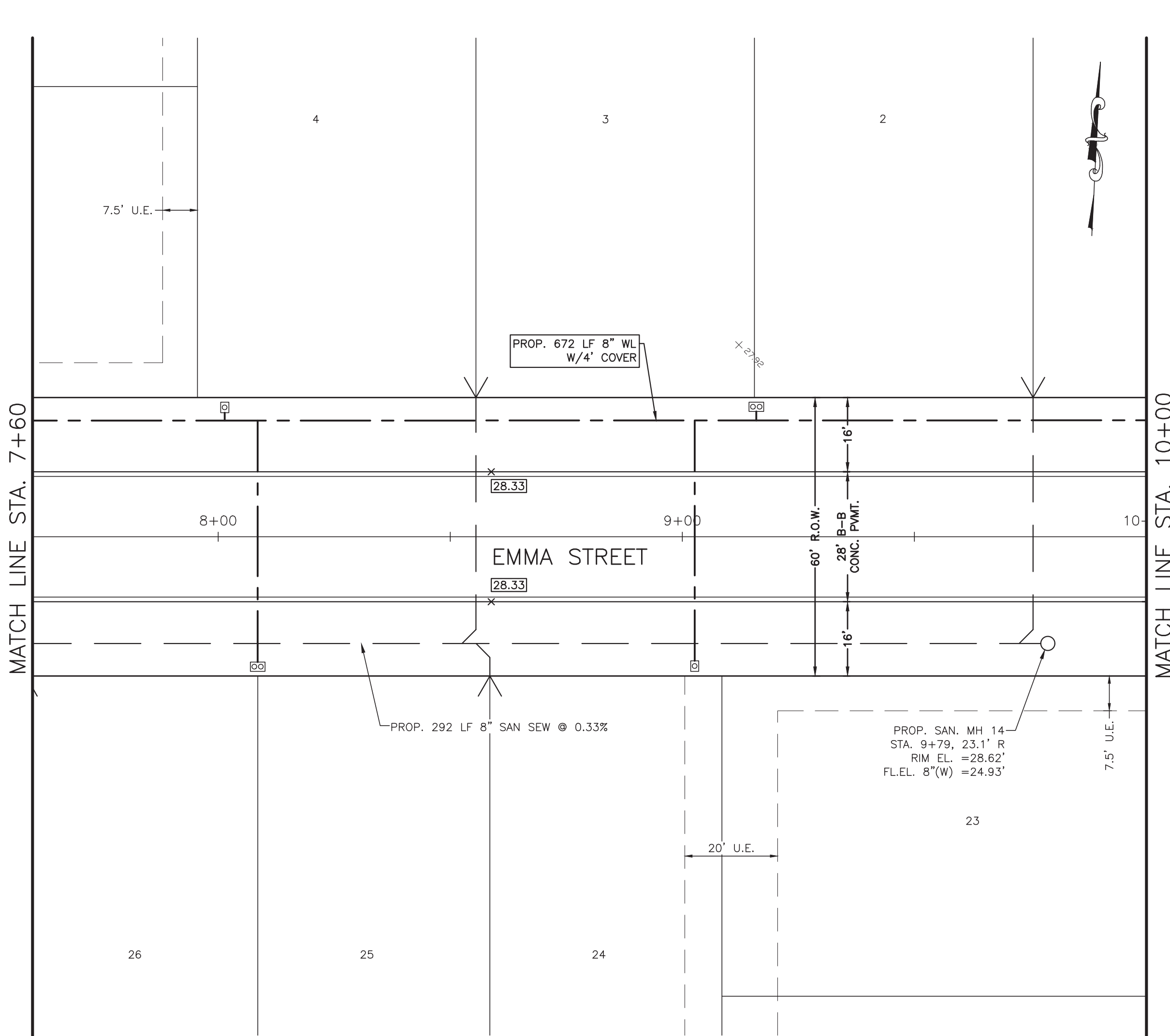
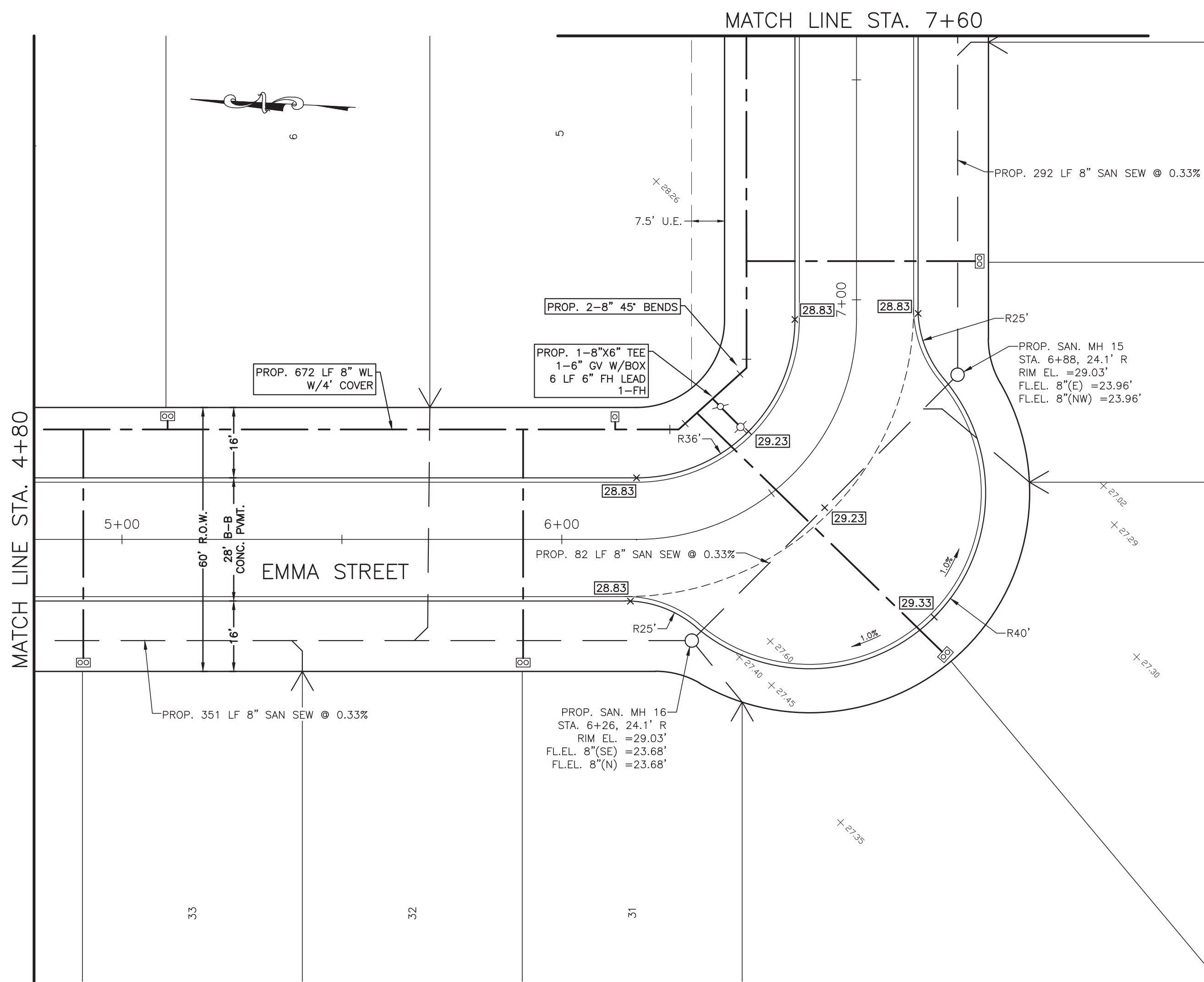
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. -0+80 TO 4+80

PROJECT NO. 14396

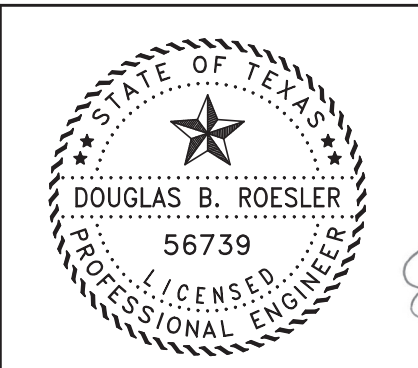


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM. MH-1)
 - SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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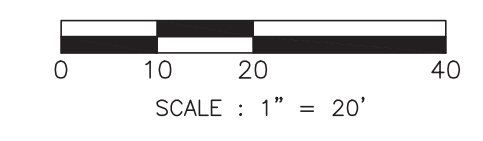
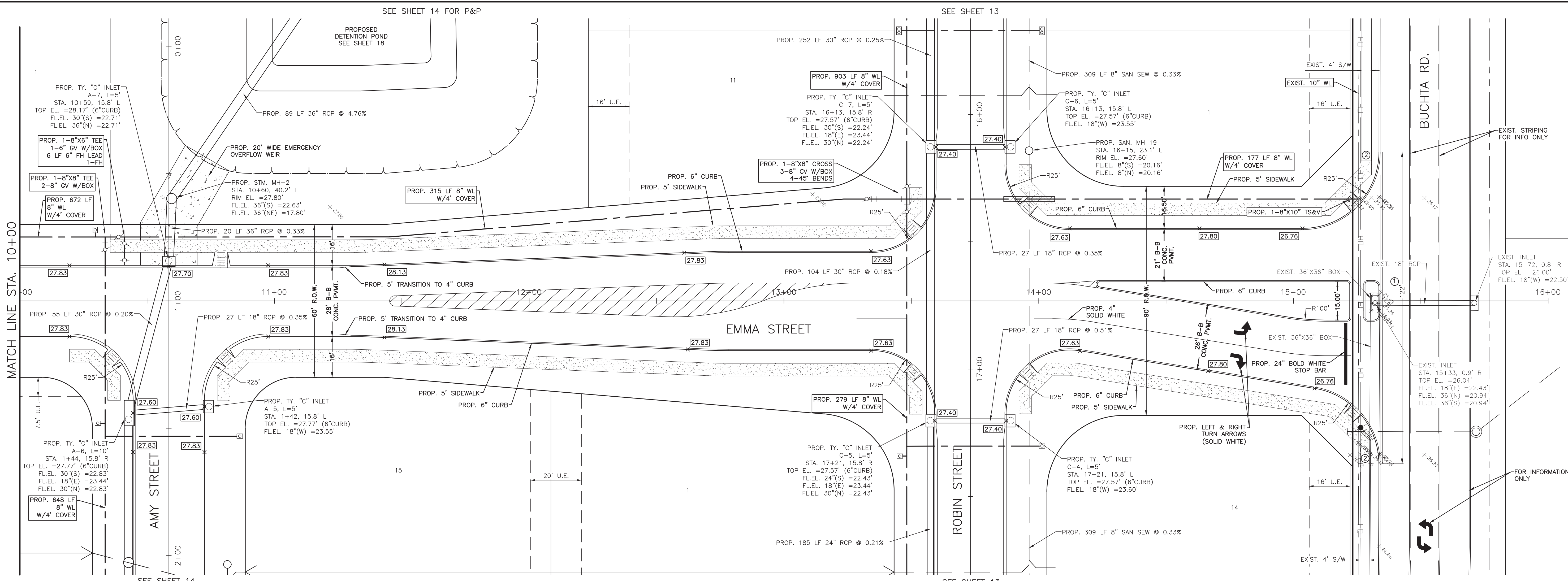
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

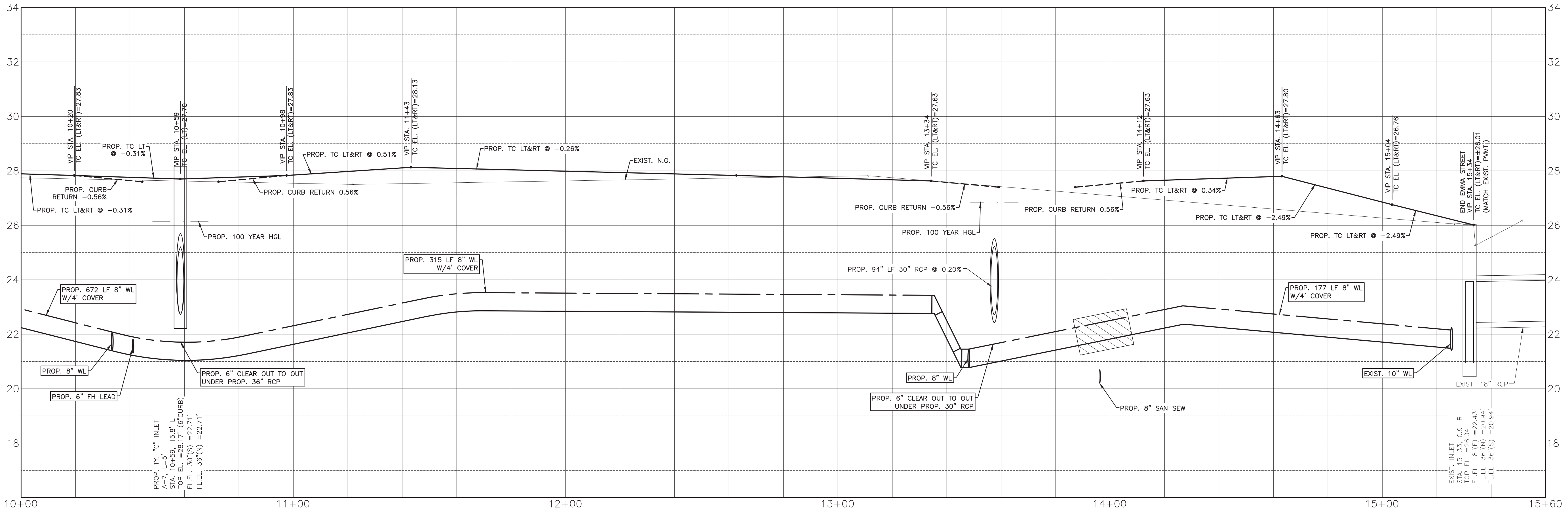
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 EMMA STREET
 STA. 4+80 TO 10+00

PROJECT NO. 14396



- ① SAWCUT 18" FROM BACK OF CURB TO REMOVE 122 LF CONC. PVMT.
- ② SAWCUT TO REMOVE 114 LF OF 4' WIDE CONC. SIDEWALK.

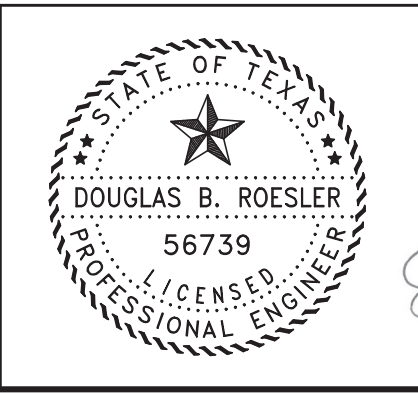


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
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 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
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 - PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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 03-03-2023

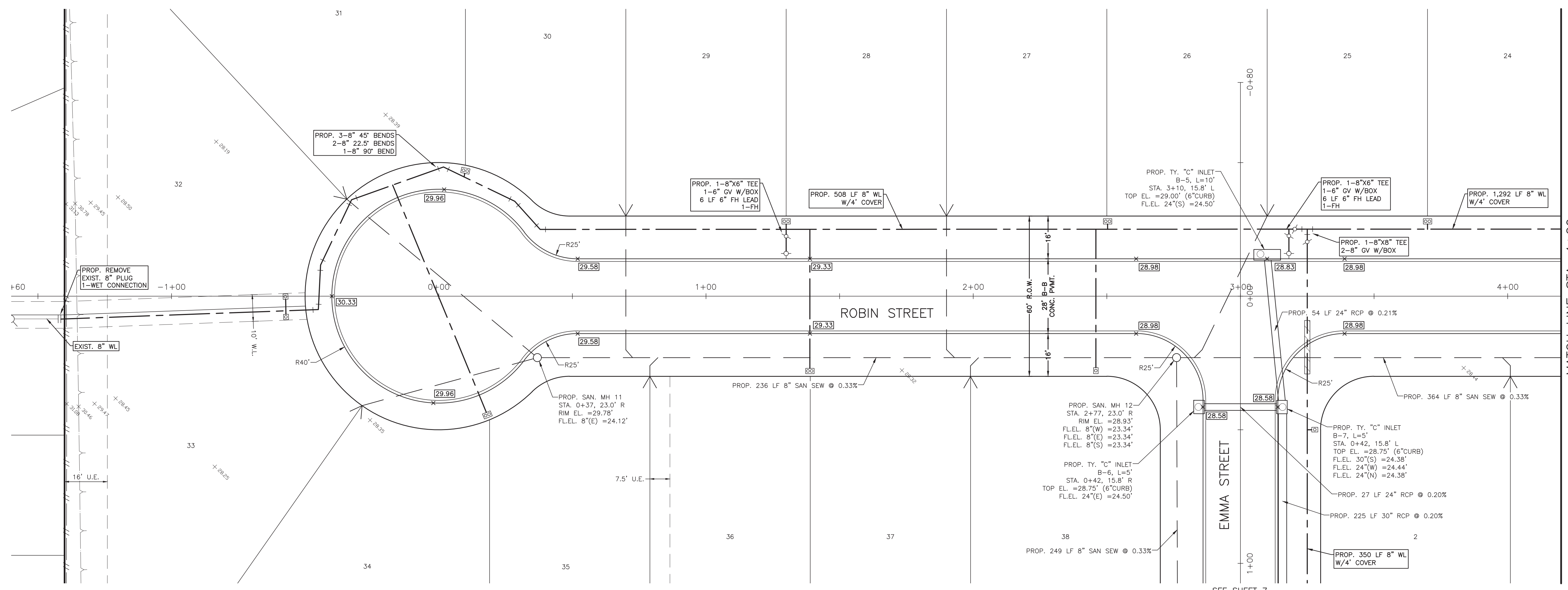
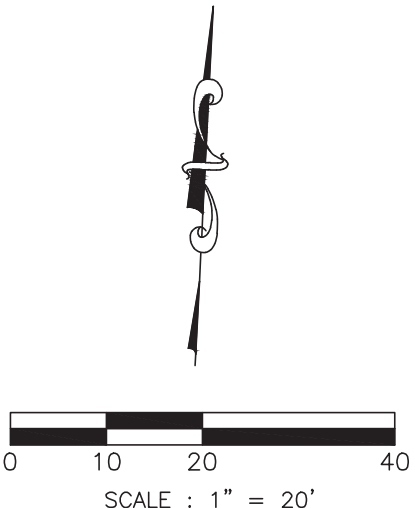
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE: 1" = 20'
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

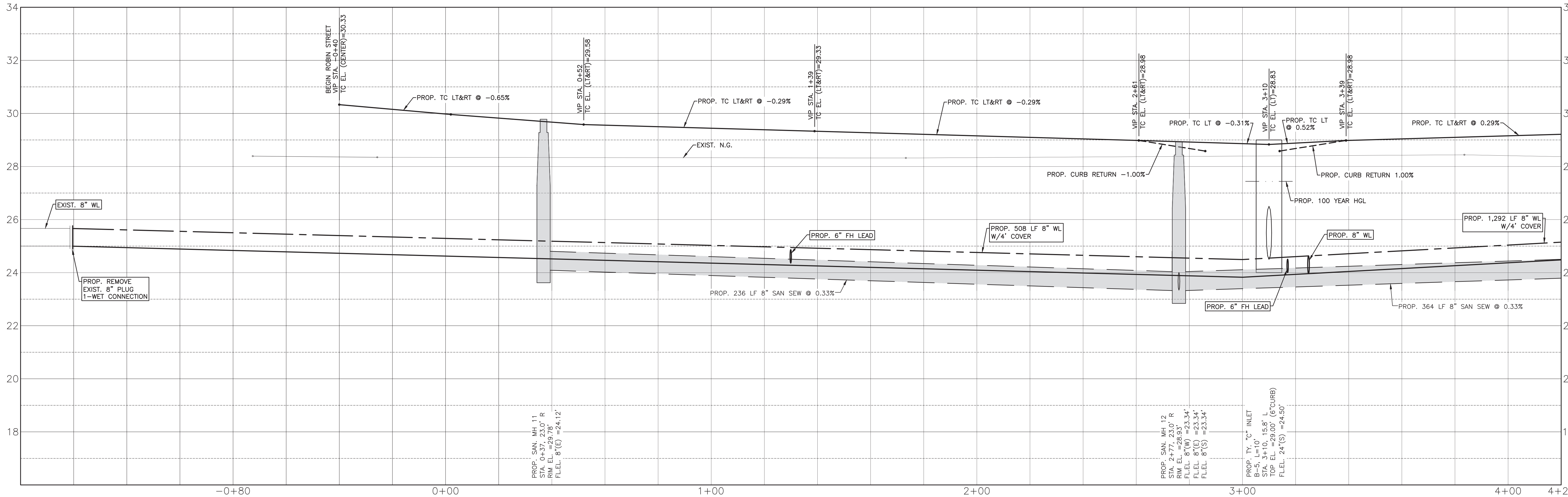
PLAN & PROFILE
 EMMA STREET
 STA. 10+00 TO 15+60

PROJECT NO. 14396



MATCH LINE STA. 4+20

SEE SHEET 7



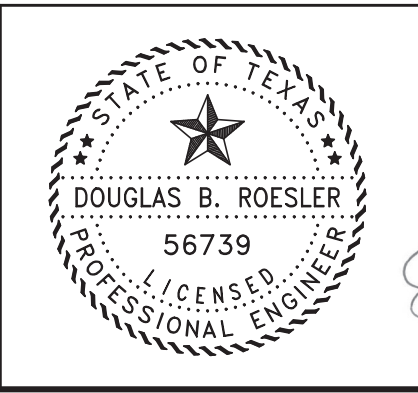
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- 82.50 PROP. GRADE ELEVATION
- 81.35 PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50 PROP. GUTTER ELEVATION
- CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
- TG=81.50 PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
- STORM SEWER MANHOLE (STM. MH-1)
- SANITARY SEWER MANHOLE (SAN. MH-1)
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- WATERLINE (AWWA C900, CLASS 150, DR18)
- PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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 03-03-2023

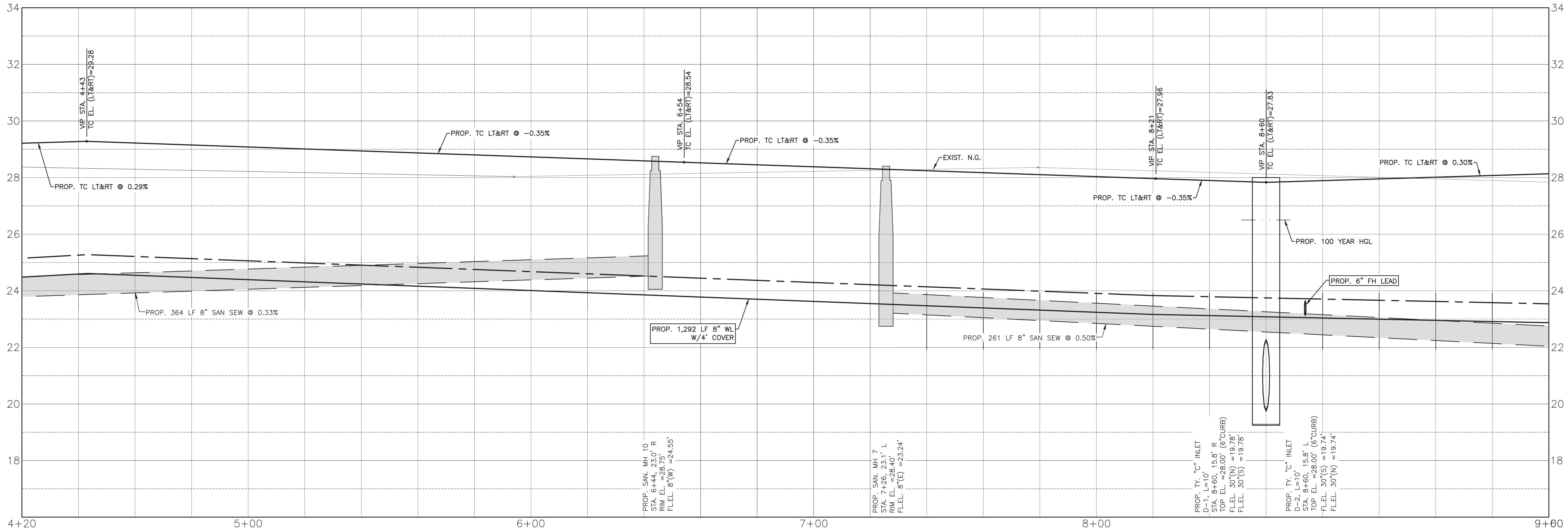
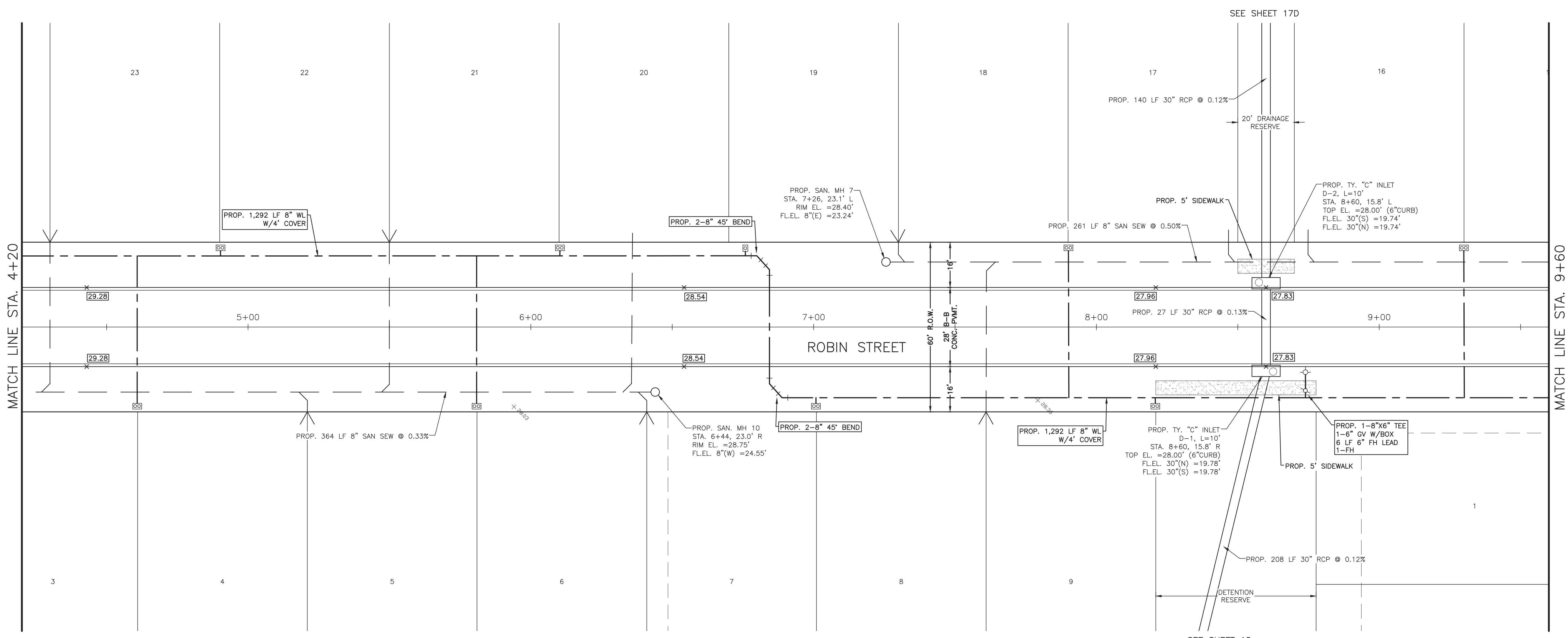
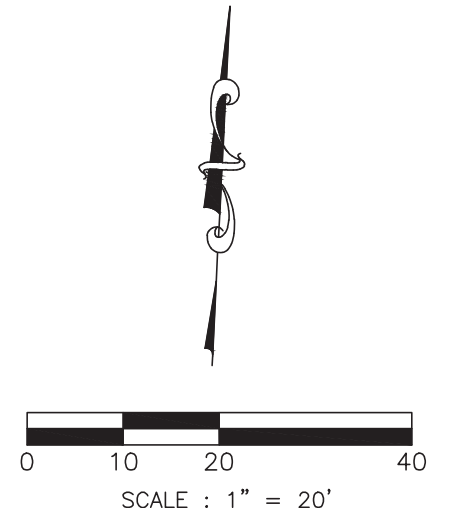
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. -1+60 TO 4+20

PROJECT NO. 14396

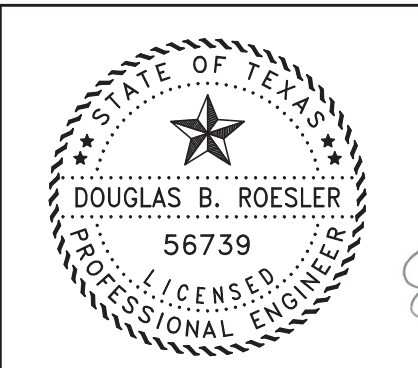


- SYMBOLS LEGEND**
- +30.00 EXIST GRADE ELEVATION
 - 82.50 PROP. GRADE ELEVATION
 - 81.35 PROP. TOP OF 4" CURB ELEVATION
 - GUT=81.50 PROP. GUTTER ELEVATION
 - CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT
 - TG=81.50 PROP. TOP OF GRATE INLET
 - ⊗ DOUBLE WATER METER
 - ⊠ SINGLE WATER METER
 - ⊕ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ⊙ TAPPING SLEEVE AND VALVE
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 - ⊙ SANITARY SEWER MANHOLE (SAN. MH-1)
 - TOP BANK
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 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - ▨ PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



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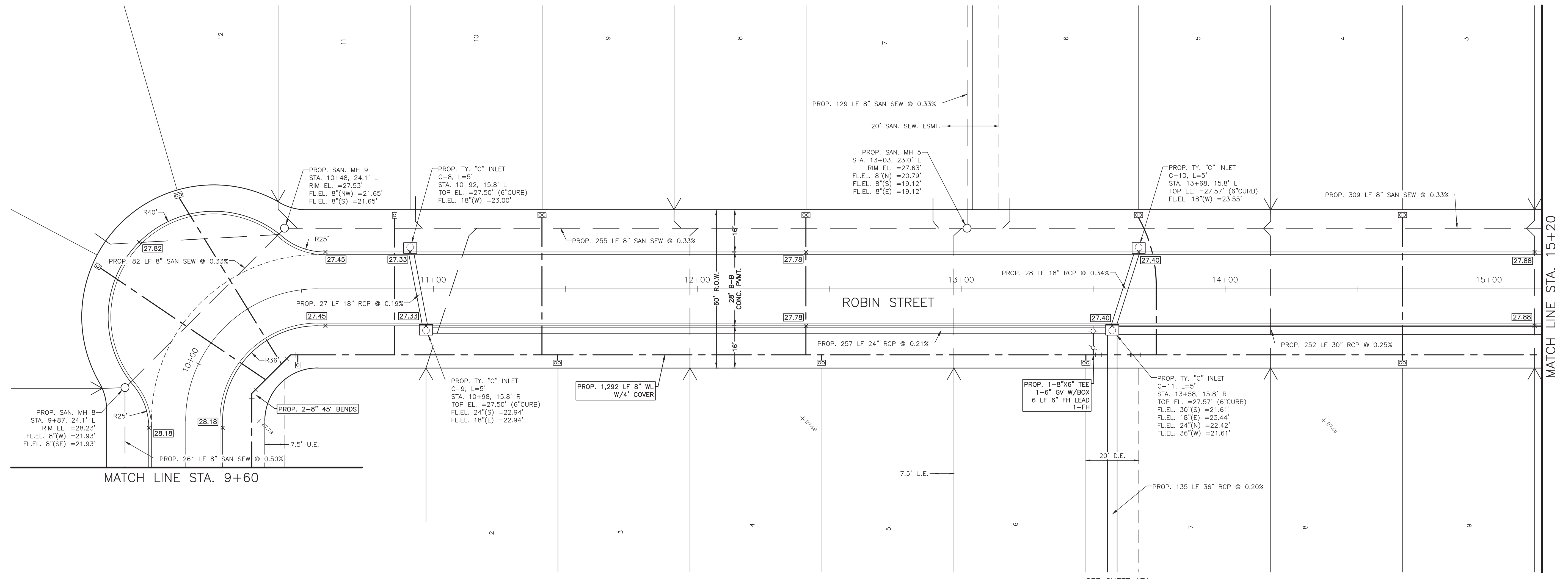
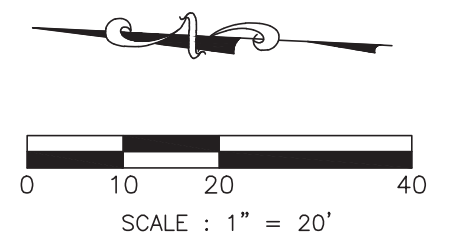
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE: 1" = 20'
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

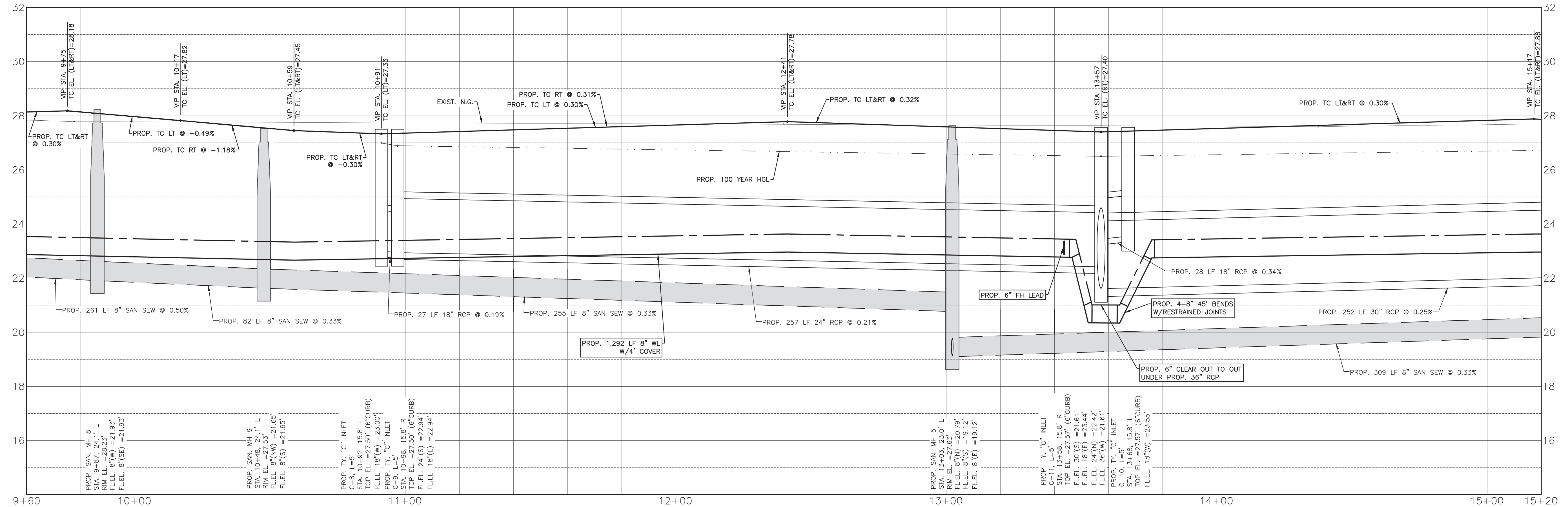
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 4+20 TO 9+60

PROJECT NO. 14396



SEE SHEET 17A



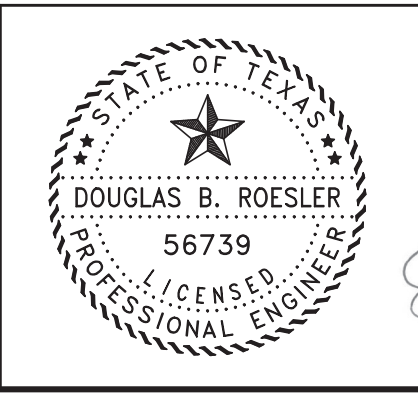
SYMBOLS LEGEND

- EXIST. GRADE ELEVATION
- PROP. GRADE ELEVATION
-
- PROP. GUTTER ELEVATION
- PROP. TOP OF CONCRETE PAVEMENT
- PROP. TOP OF GRATE INLET
- DOUBLE WATER METER
- SINGLE WATER METER
- FIRE HYDRANT
- WATER VALVE
- TAPPING SLEEVE AND VALVE
- STORM SEWER MANHOLE (STM. MH-1)
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- WATERLINE (AWWA C900, CLASS 150, DR18)
- PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



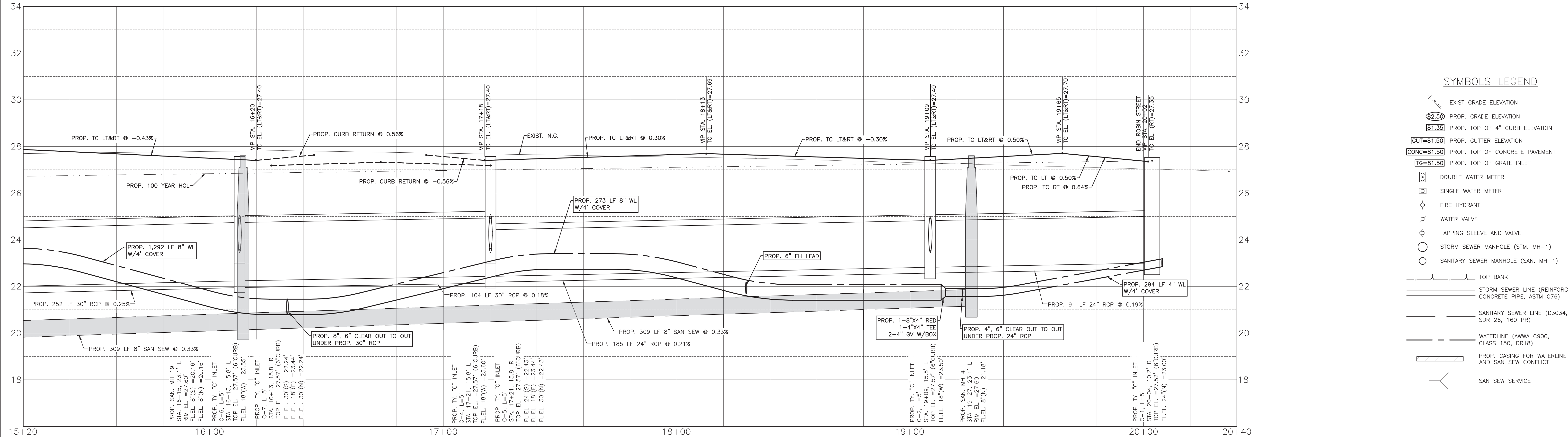
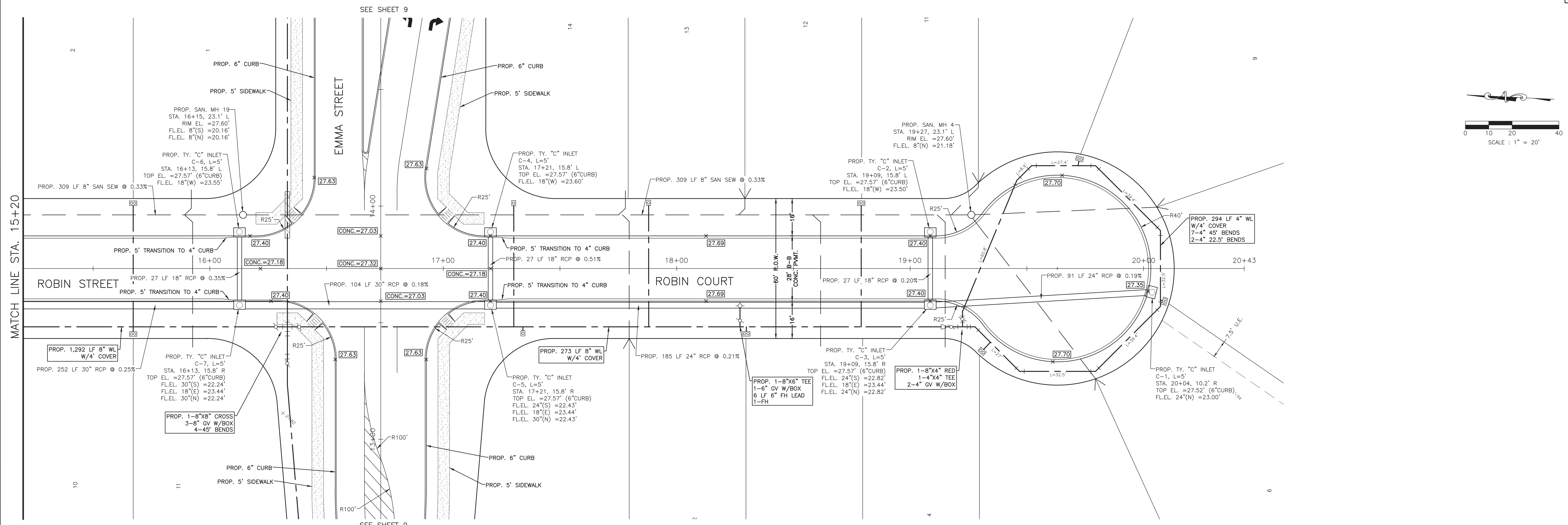
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 9+60 TO 15+20
 PROJECT NO. 14396



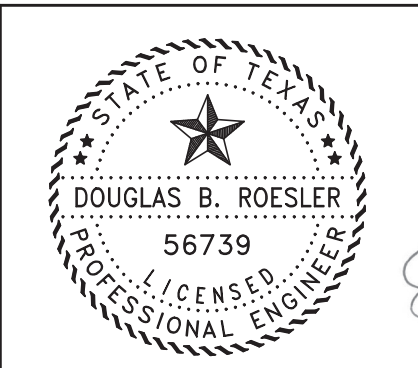
SYMBOLS LEGEND

- EXIST GRADE ELEVATION
- 82.50** PROP. GRADE ELEVATION
- 81.35** PROP. TOP OF 4" CURB ELEVATION
- GUT=81.50** PROP. GUTTER ELEVATION
- CONC=81.50** PROP. TOP OF CONCRETE PAVEMENT
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- PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
- SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
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DRAWN	BT
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B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
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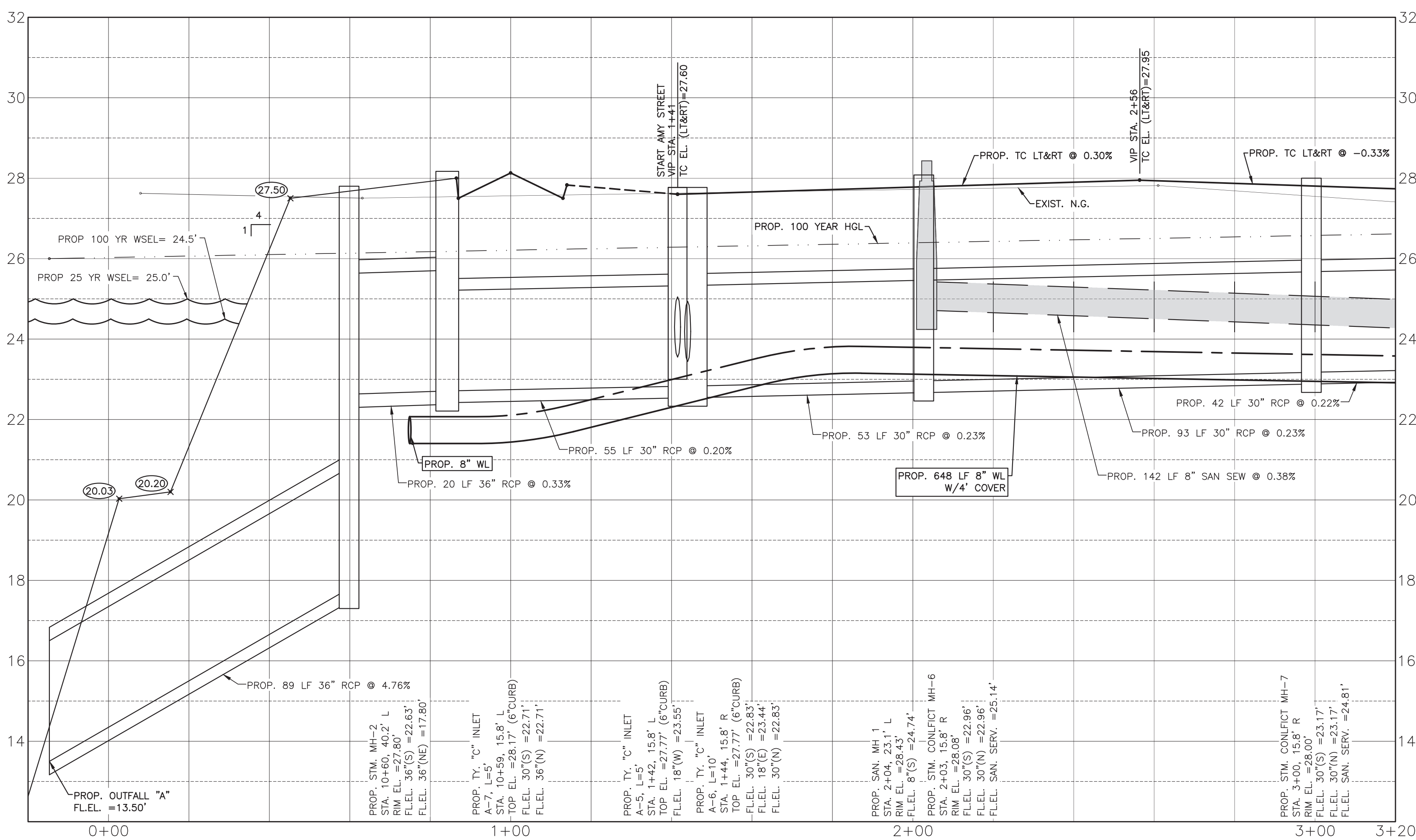
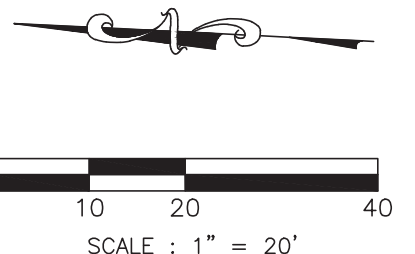
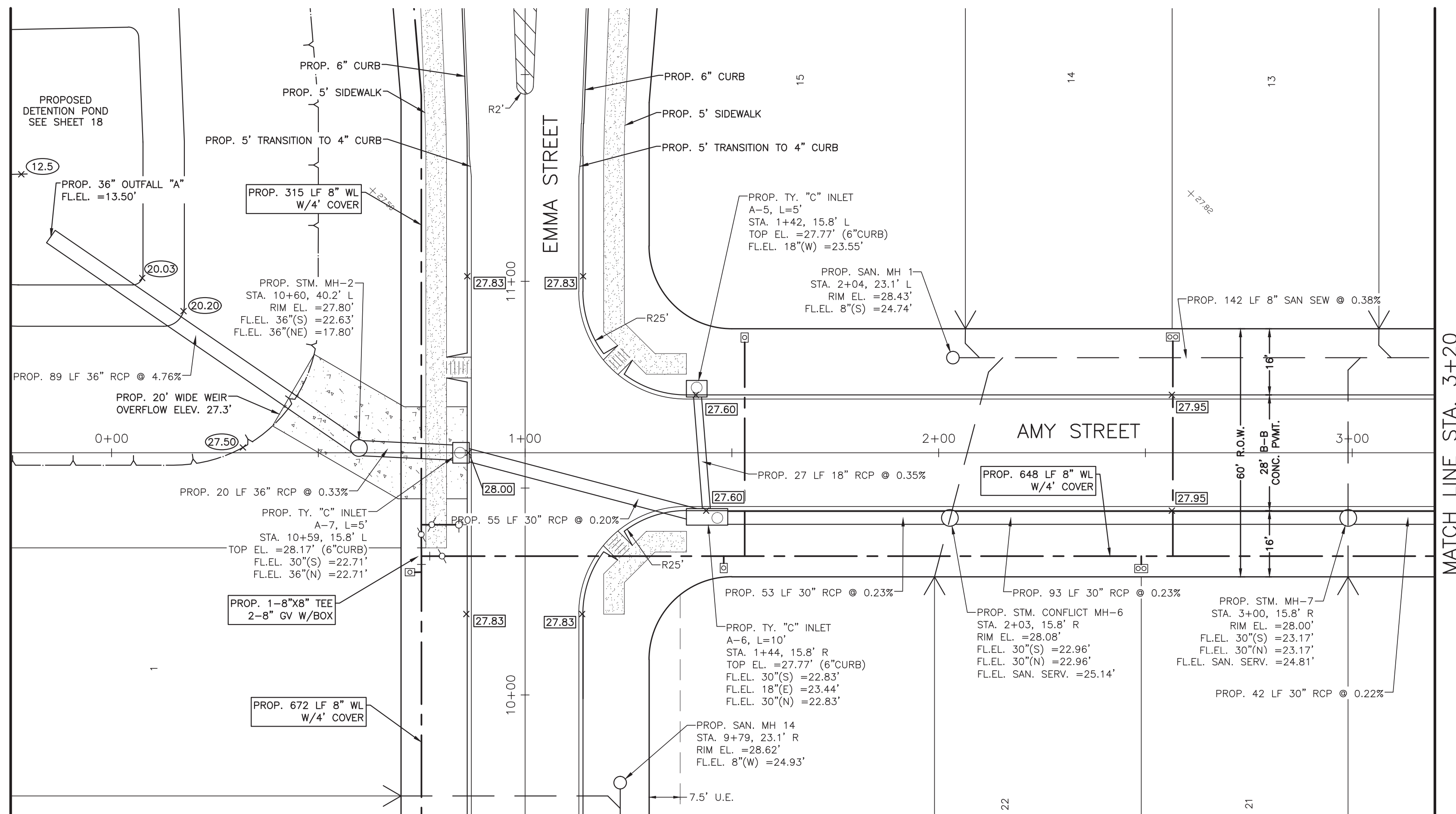
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 ROBIN STREET
 STA. 15+20 TO 20+40

PROJECT NO. 14396

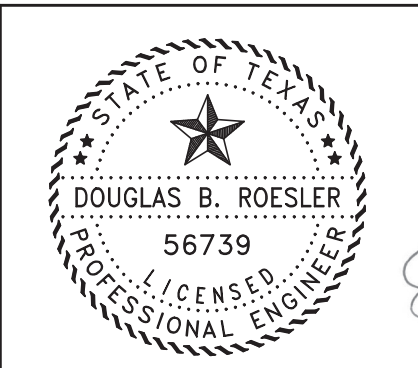


- SYMBOLS LEGEND**
- EXIST GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
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 - DOUBLE WATER METER
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NO.	DATE	DESCRIPTION	APPROVED
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 DATE

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 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



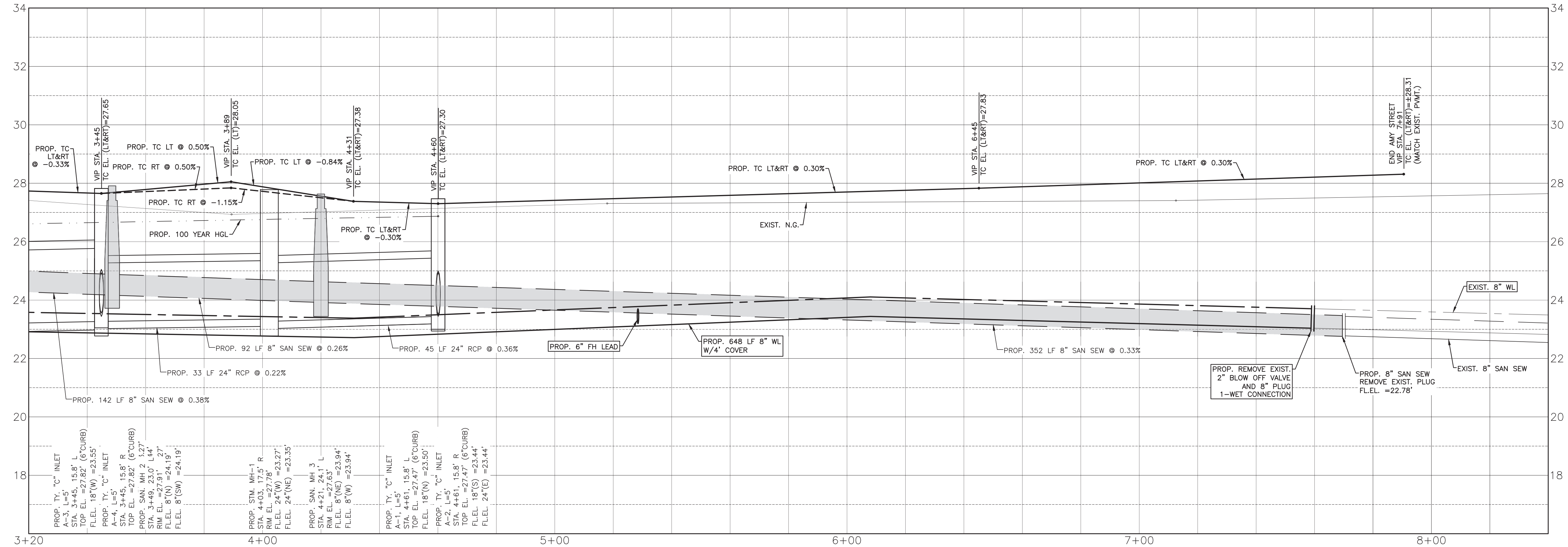
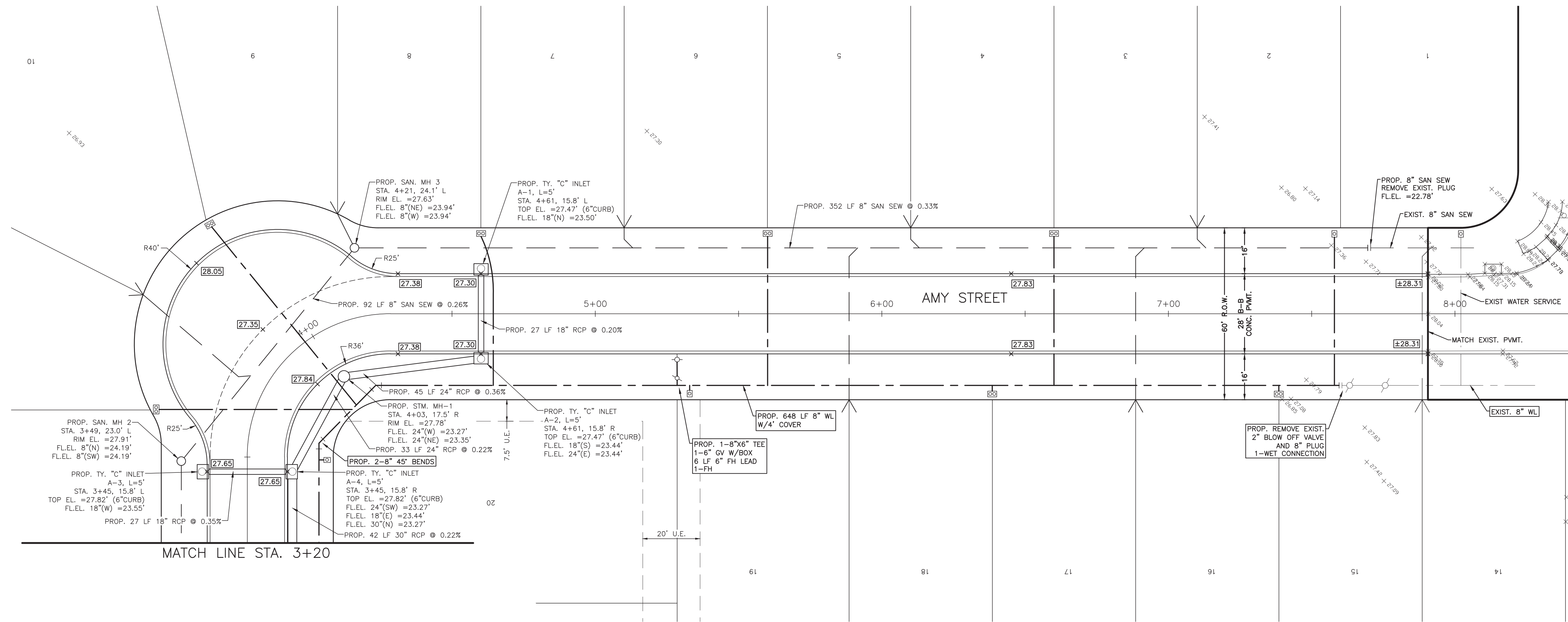
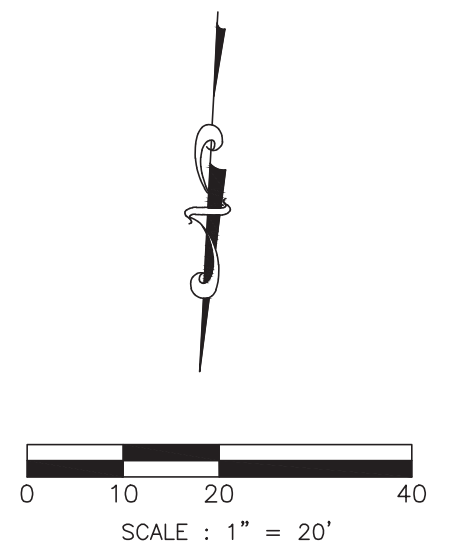
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 0+00 TO 3+20
 PROJECT NO. 14396

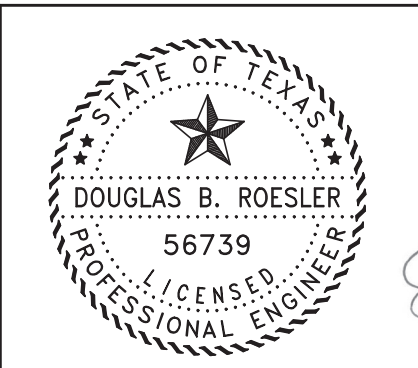


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 -
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
 - FIRE HYDRANT
 - WATER VALVE
 - TAPPING SLEEVE AND VALVE
 - STORM SEWER MANHOLE (STM, MH-1)
 - SANITARY SEWER MANHOLE (SAN, MH-1)
 - TOP BANK
 - STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
 - SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
 - WATERLINE (AWWA C900, CLASS 150, DR18)
 - PROP. CASING FOR WATERLINE AND SEWER CONFLICT
 - SAN SEW SERVICE

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825



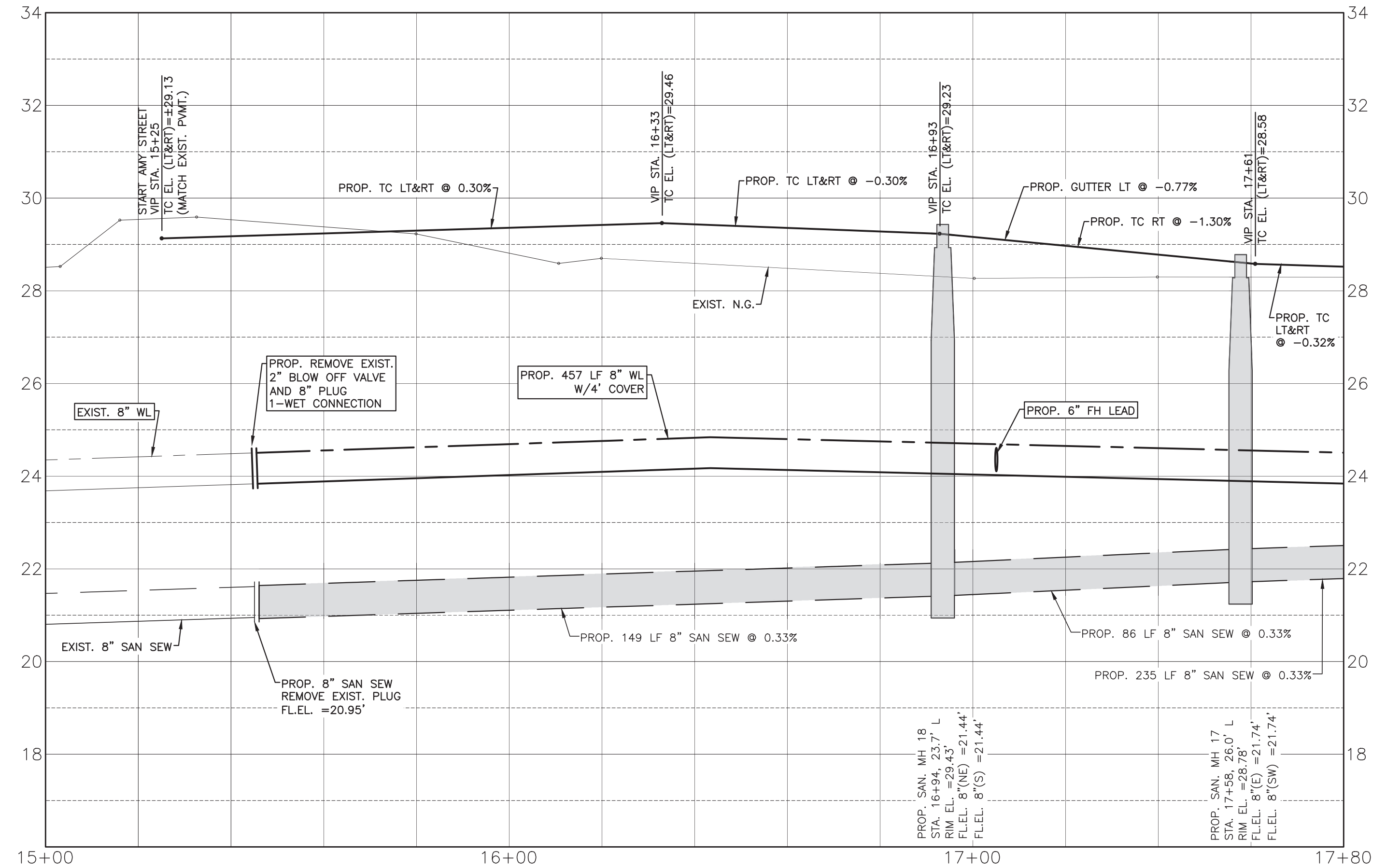
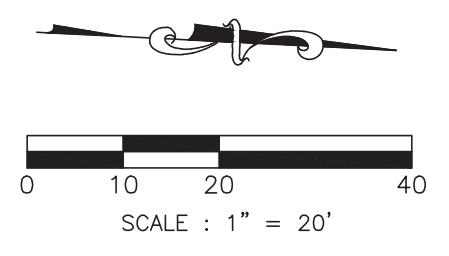
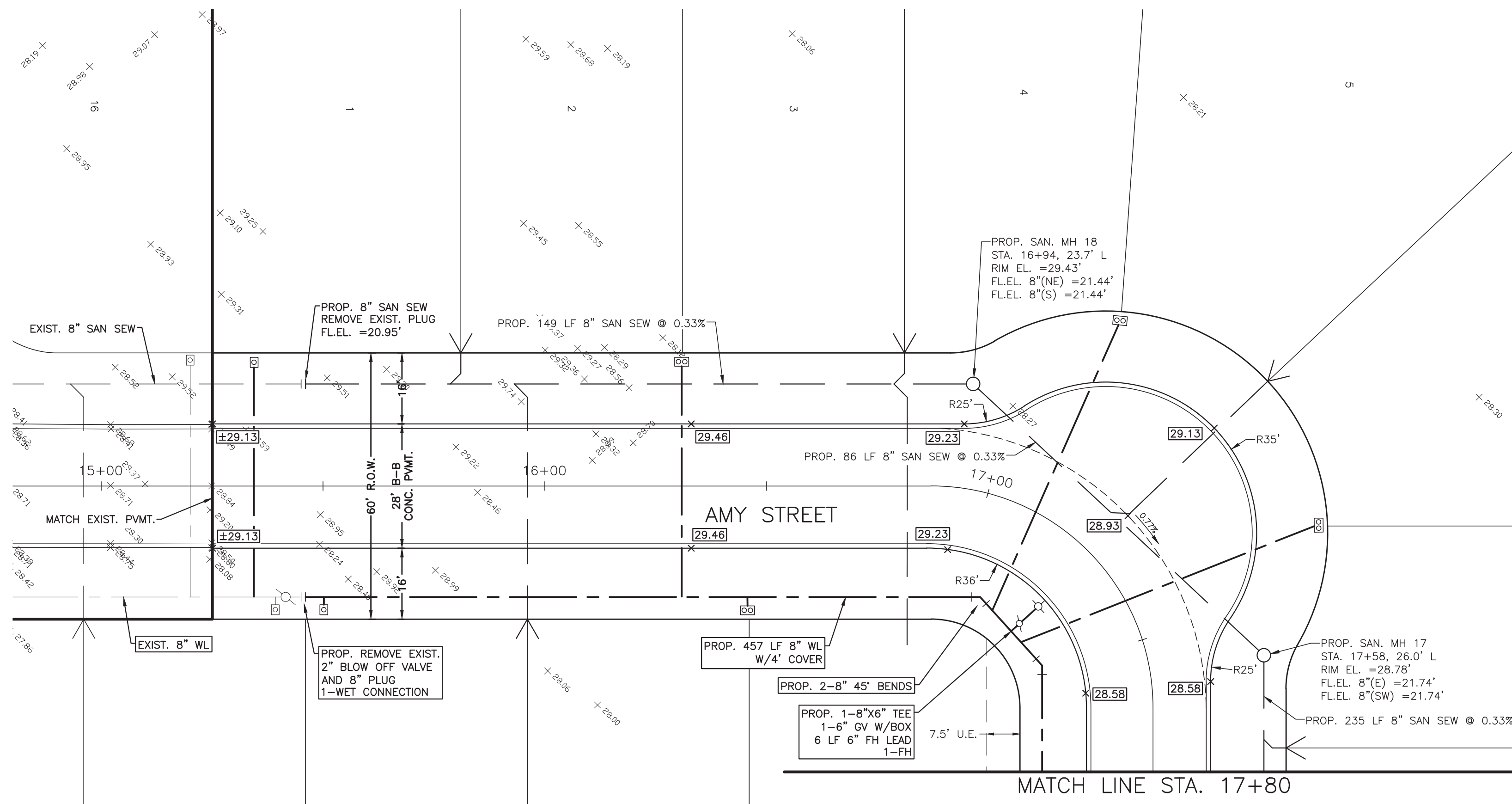
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
 PROFILE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 3+20 TO 8+00
 PROJECT NO. 14396

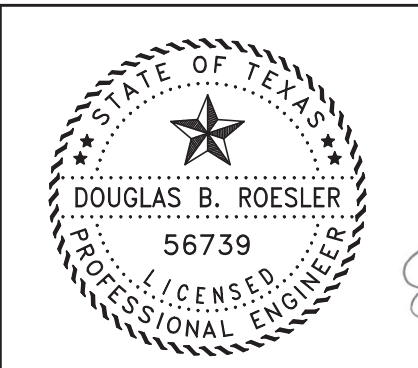


- SYMBOLS LEGEND**
- EXIST. GRADE ELEVATION
 - PROP. GRADE ELEVATION
 - PROP. TOP OF 4" CURB ELEVATION
 - PROP. GUTTER ELEVATION
 - PROP. TOP OF CONCRETE PAVEMENT
 - PROP. TOP OF GRATE INLET
 - DOUBLE WATER METER
 - SINGLE WATER METER
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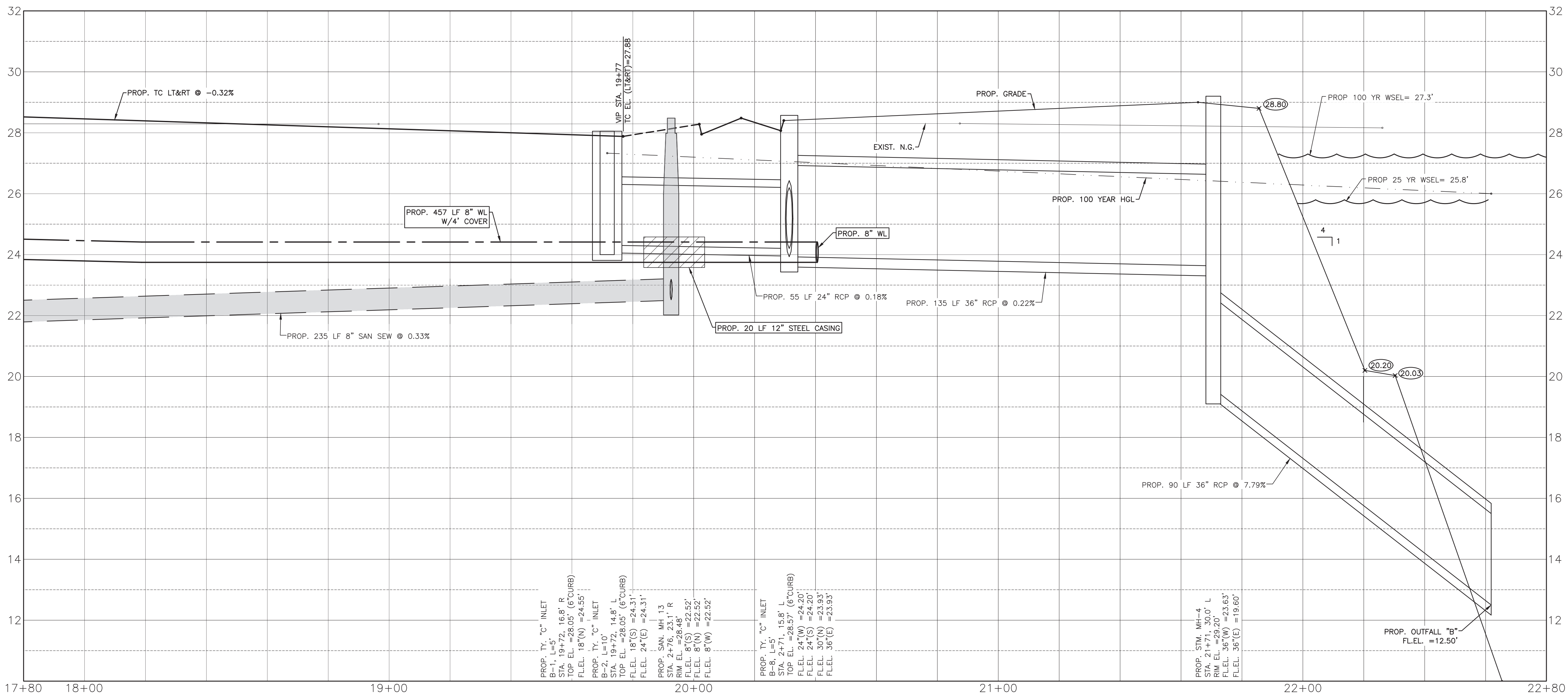
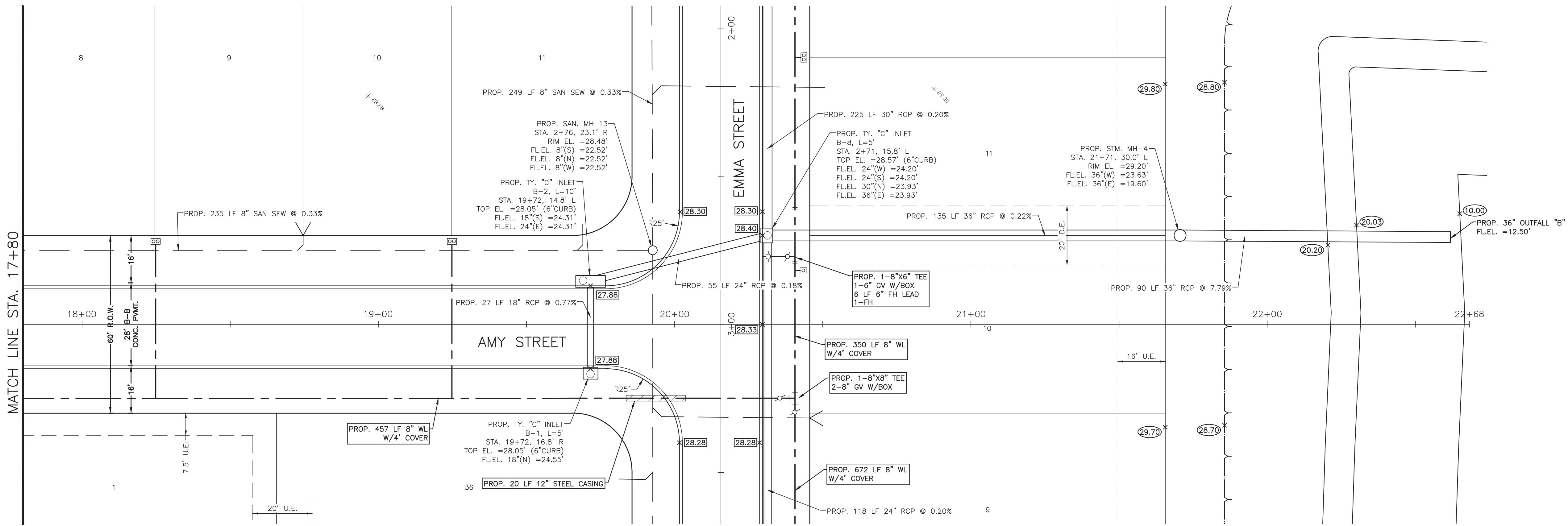
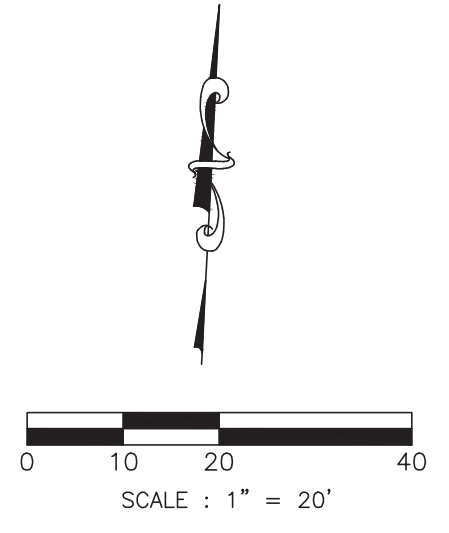
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 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

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 PROFILE:
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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 AMY STREET
 STA. 15+00 TO 17+80

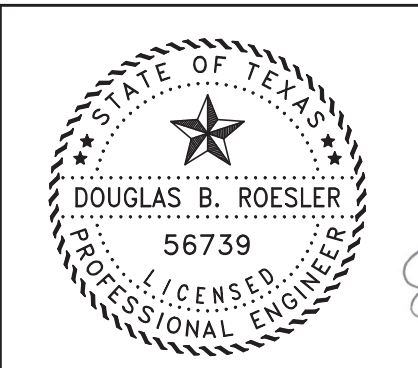


- SYMBOLS LEGEND**
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 - PROP. TOP OF CONCRETE PAVEMENT
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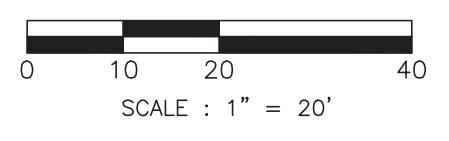
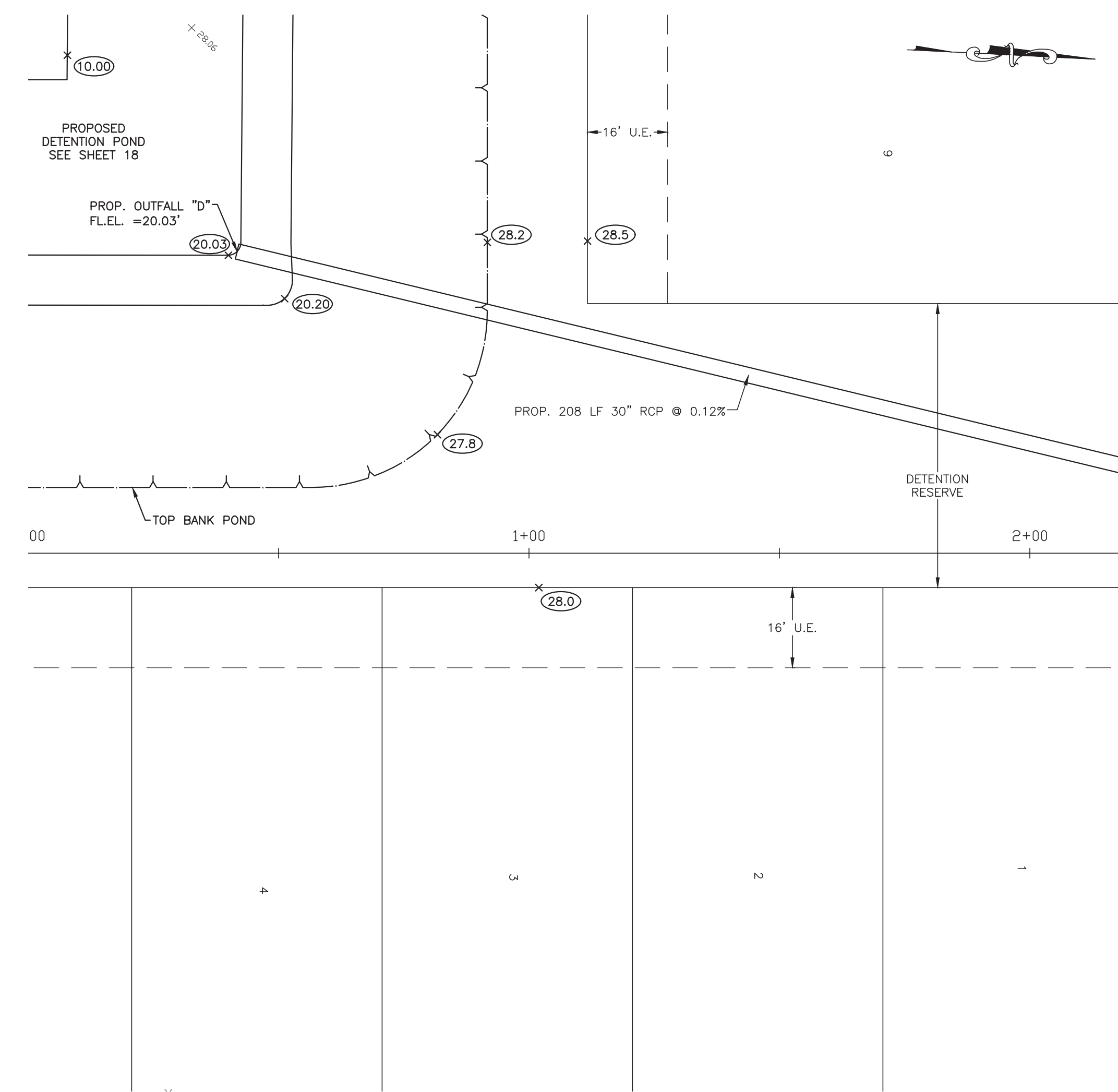
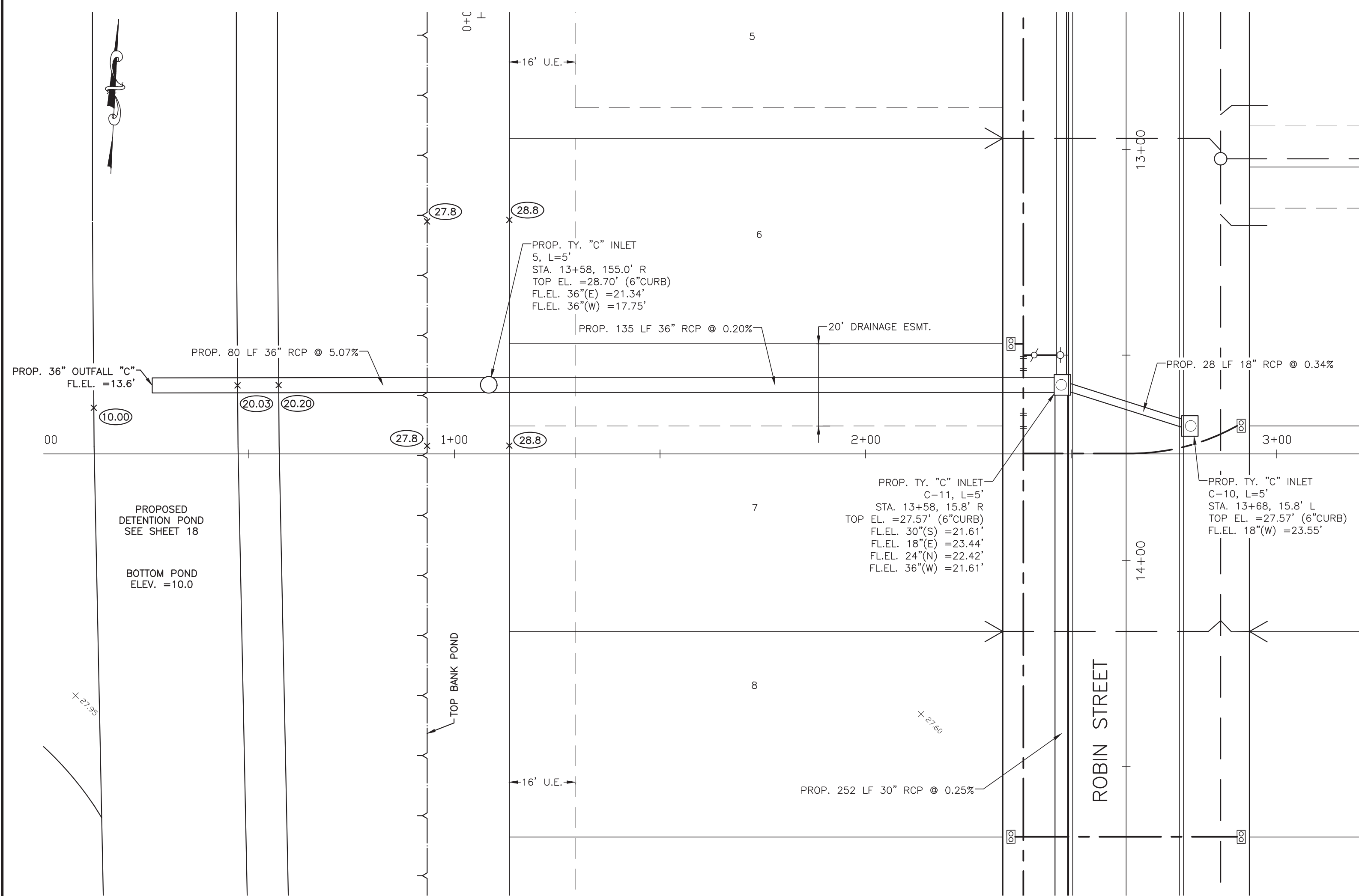
OWNER:
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6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

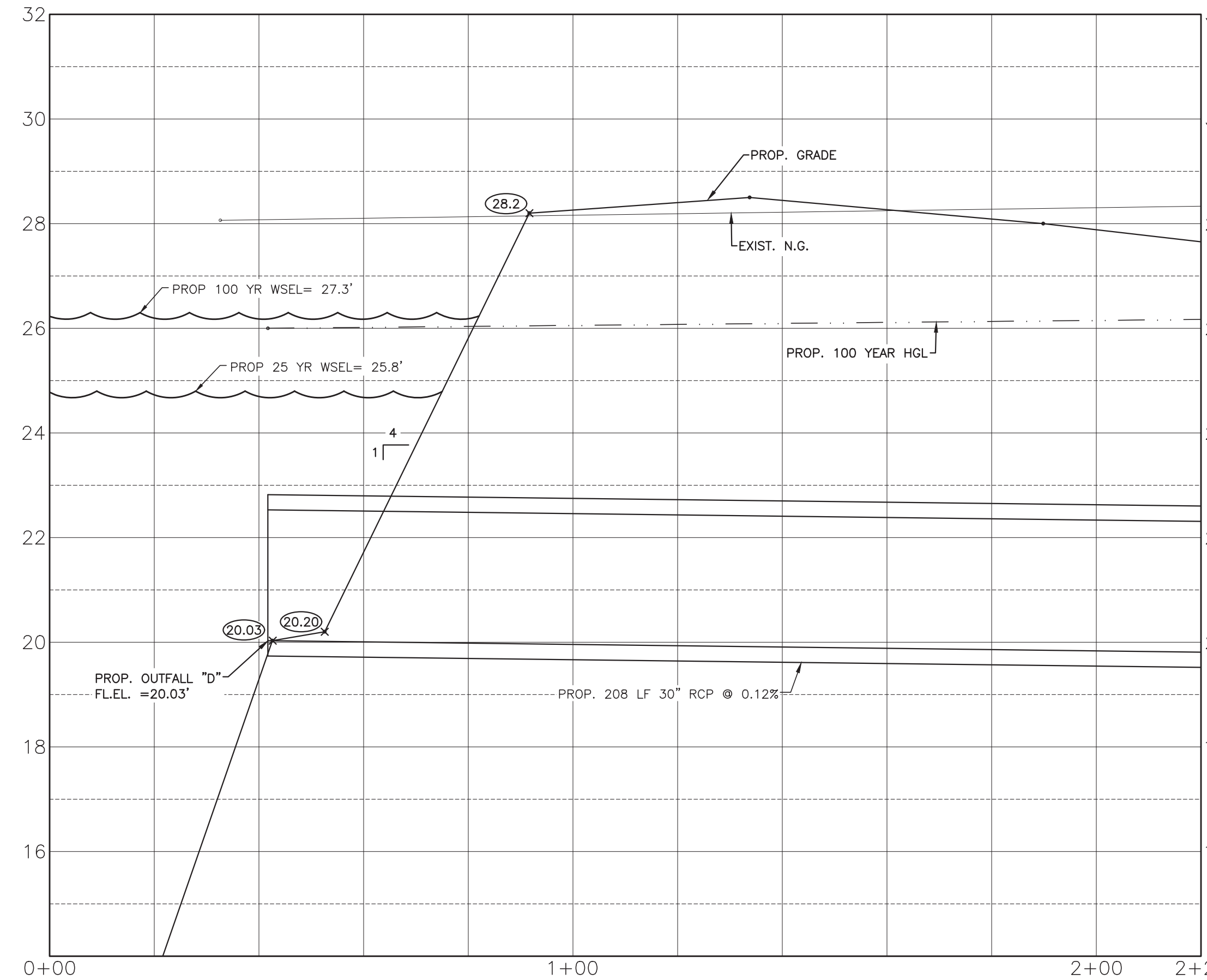
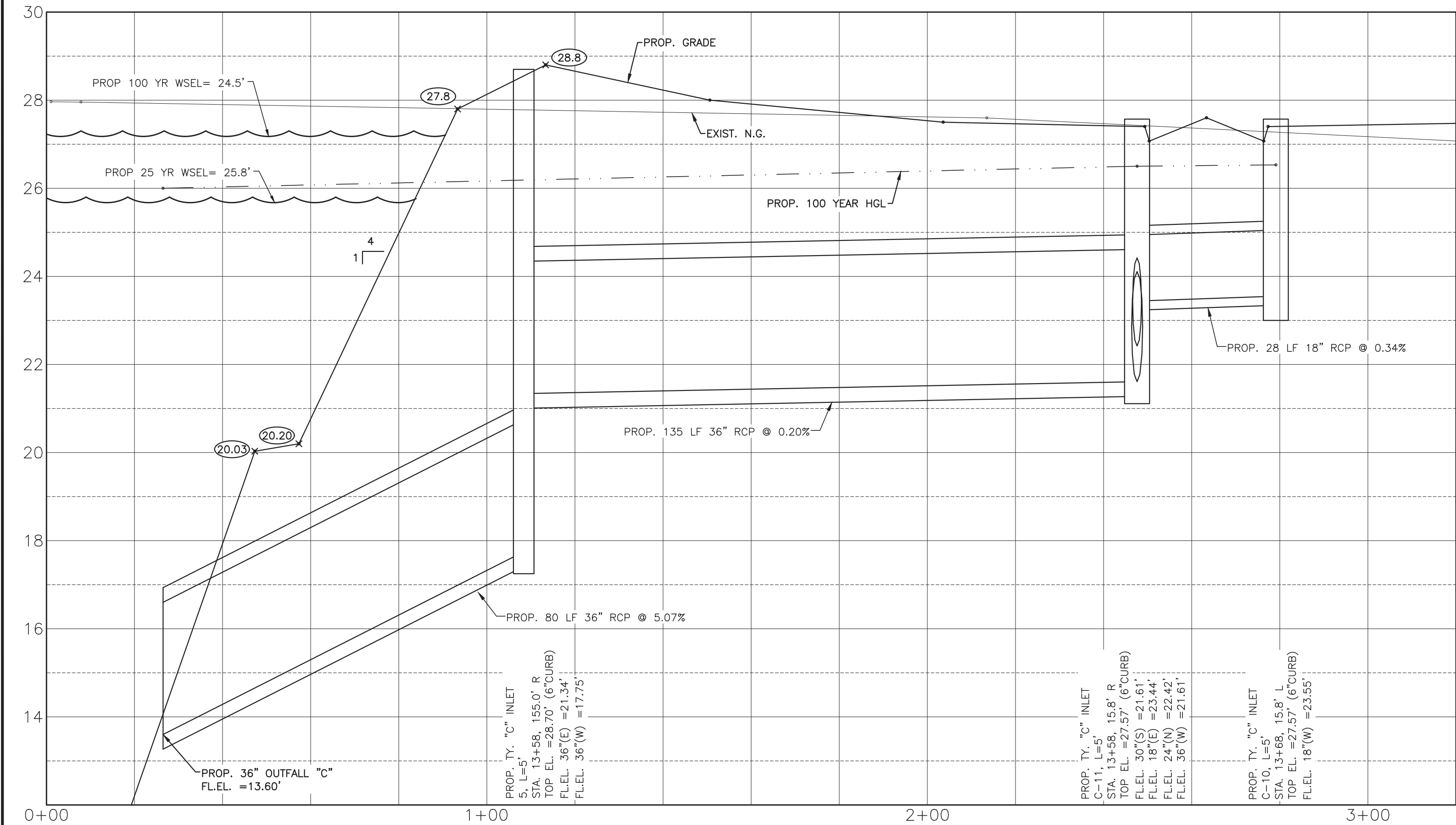
PLAN & PROFILE
 AMY STREET
 STA. 17+80 TO 22+68

PROJECT NO. 14396



OUTFALL C

OUTFALL D



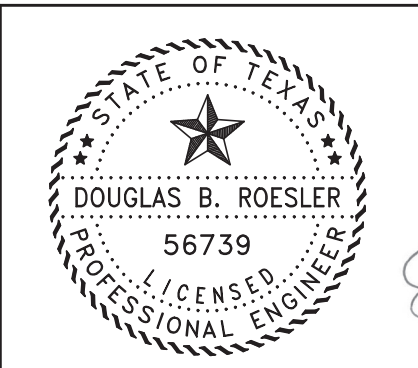
SYMBOLS LEGEND

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- PROP. GUTTER ELEVATION
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- PROP. TOP OF GRATE INLET
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- SANITARY SEWER LINE (D3034, SDR 26, 160 FR)
- WATERLINE (AWWA C900, CLASS 150, DR18)

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1330
 ANGLETON, TEXAS 77515 (979) 849-6681
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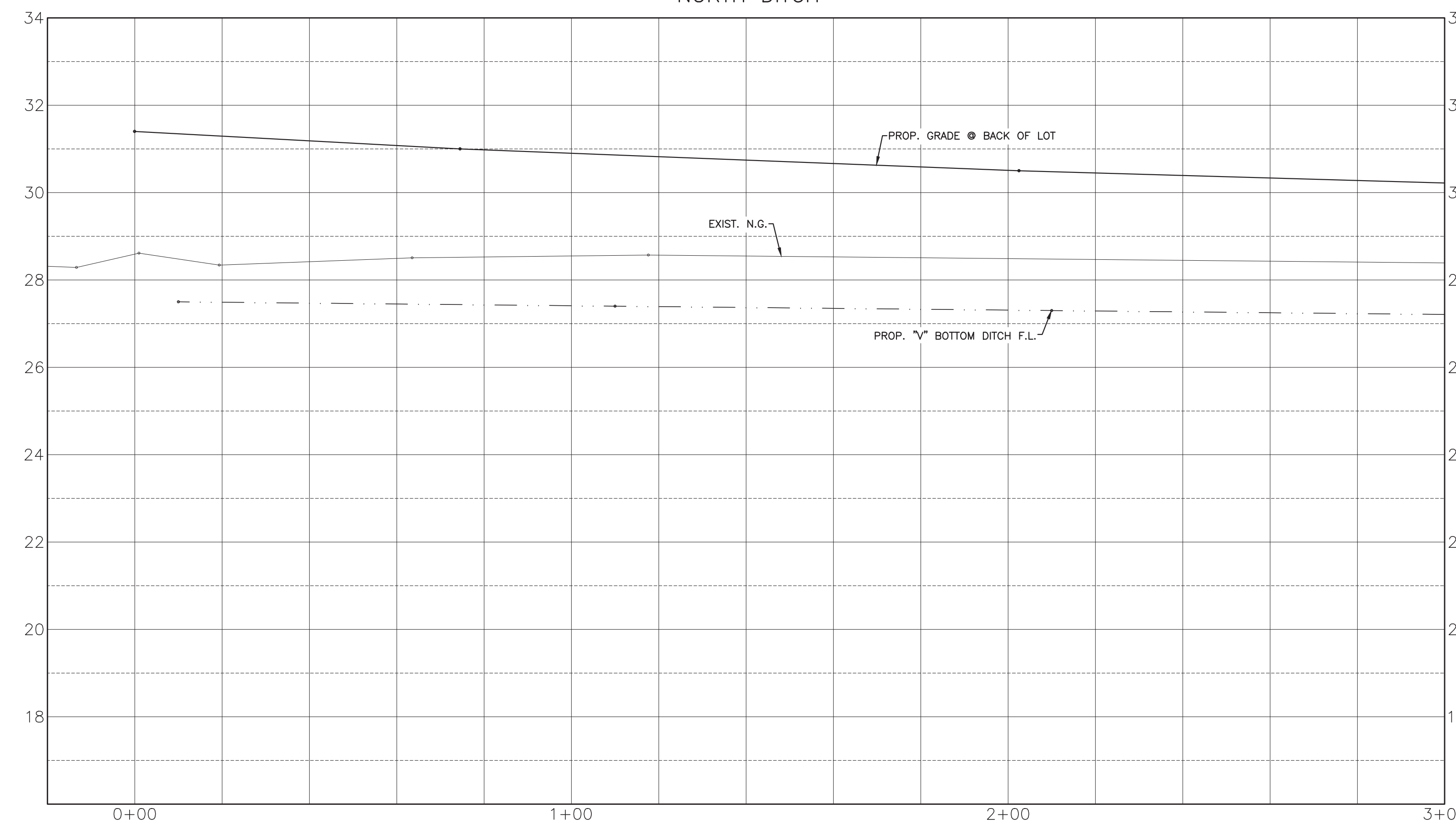
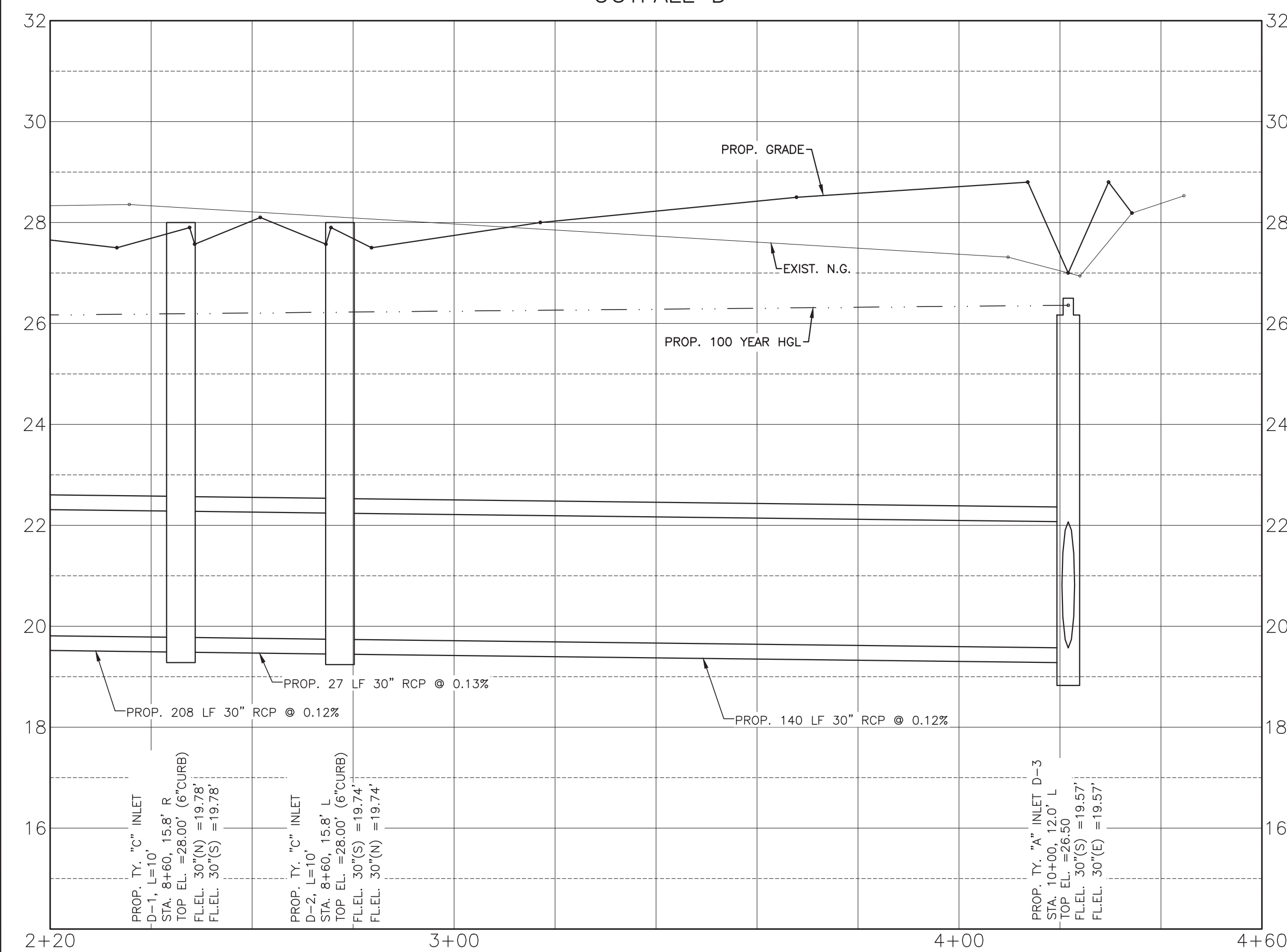
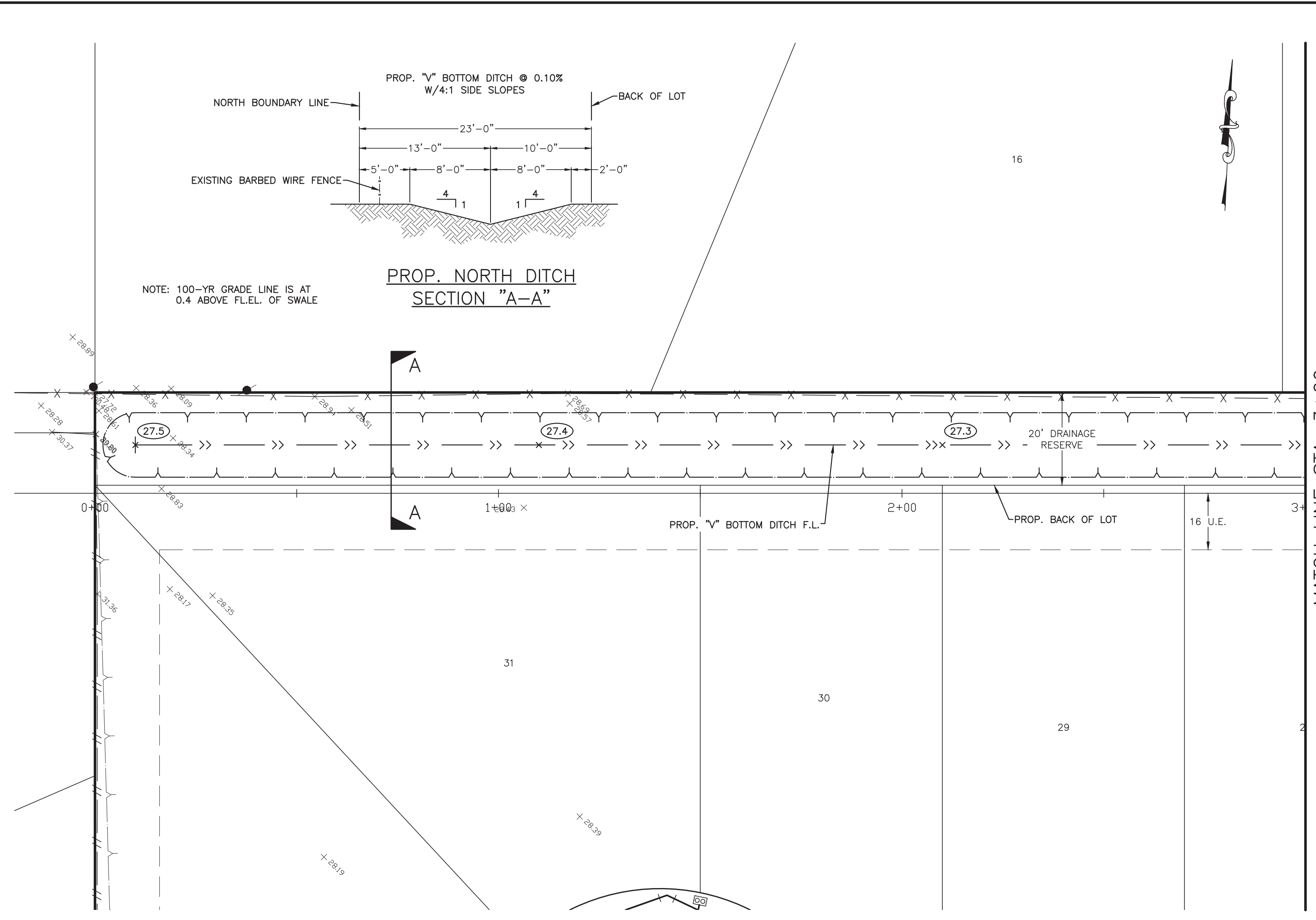
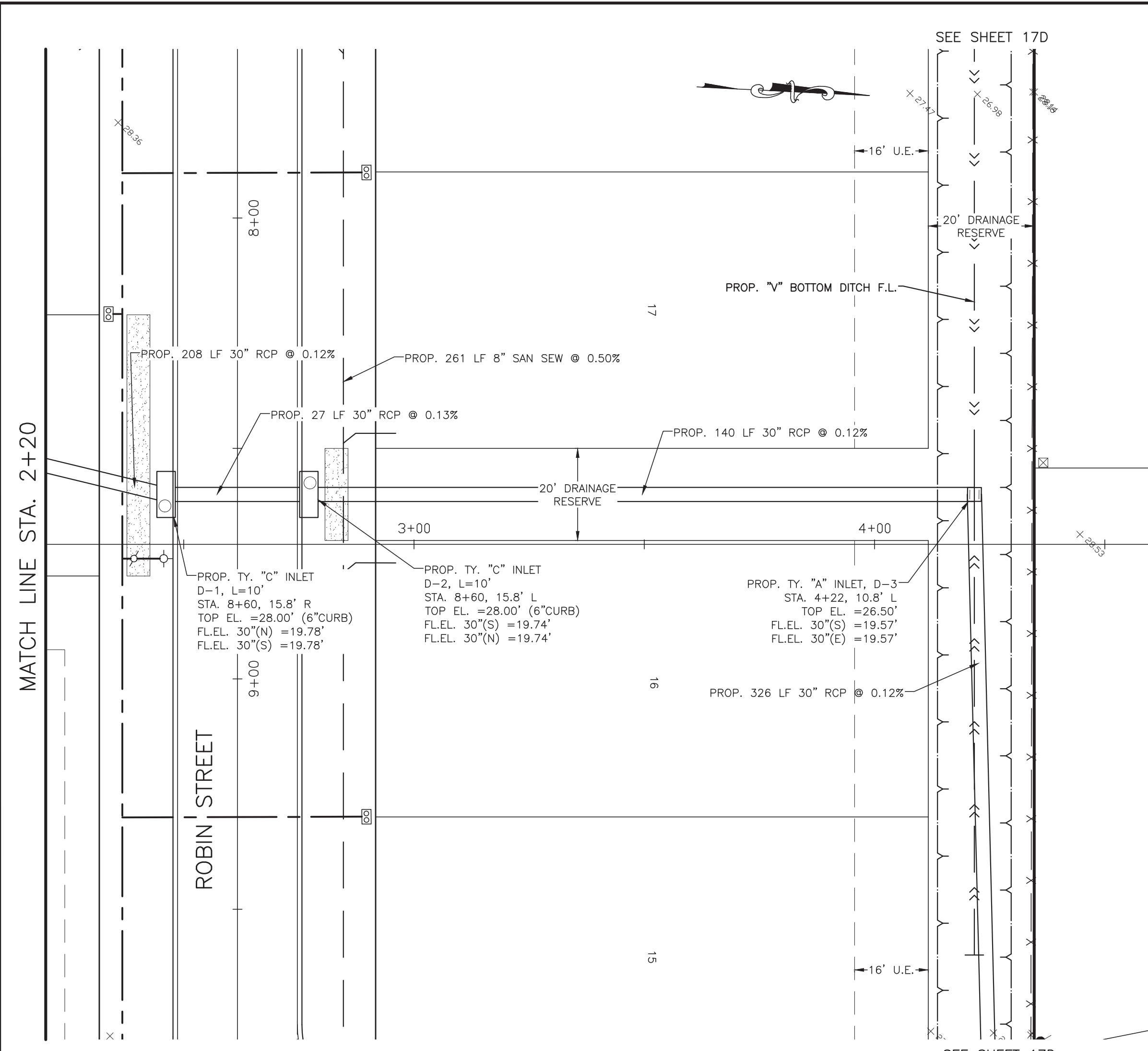
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

PLAN & PROFILE
 OUTFALL C & D
 PROJECT NO. 14396



SYMBOLS LEGEND

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DESIGNED DR

DRAWN BT

CHECKED

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03-03-2023

OWNER:

RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'

PROFILE:

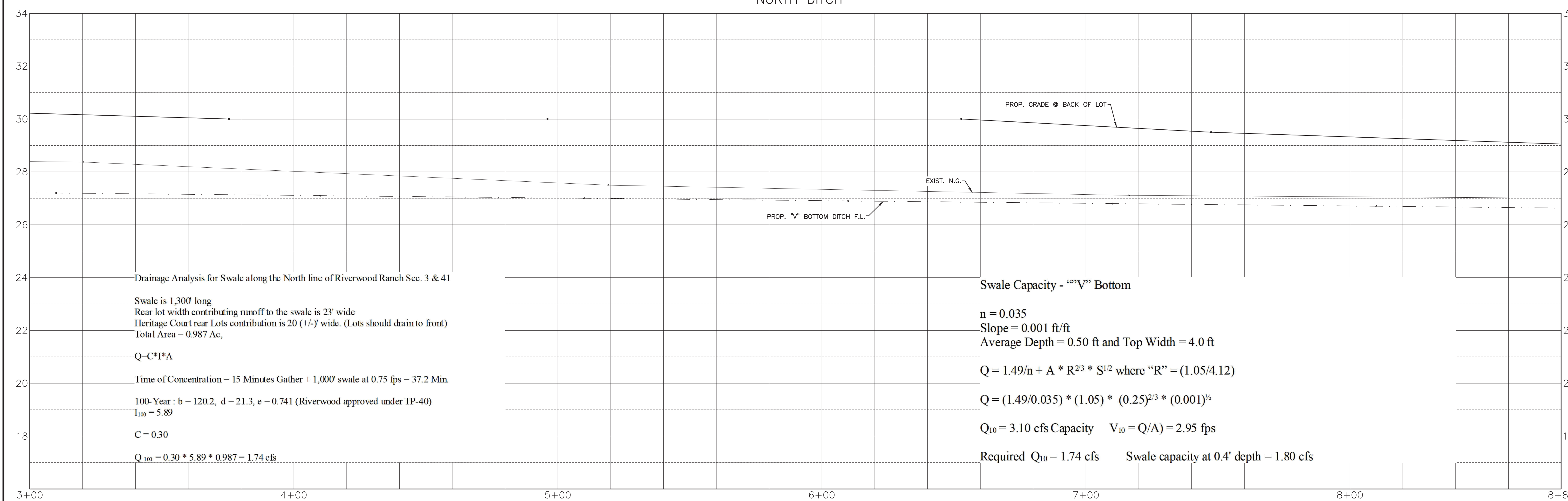
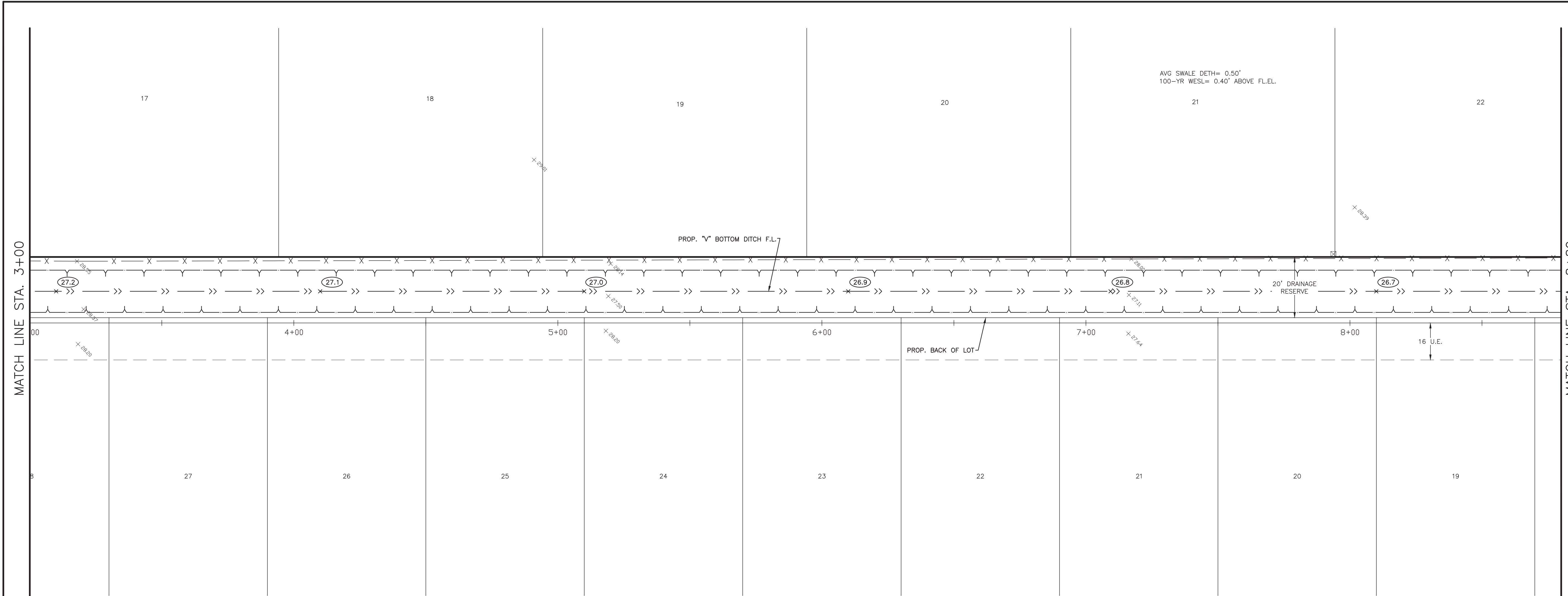
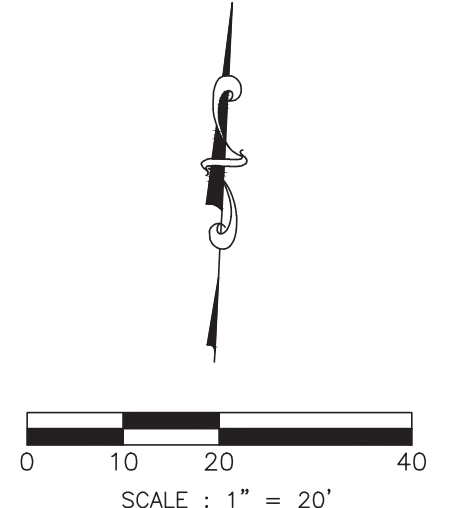
HORIZONTAL: 1" = 20'

VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
OUTFALL D
& NORTH DITCH

PROJECT NO. 14396



- SYMBOLS LEGEND**
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Drainage Analysis for Swale along the North line of Riverwood Ranch Sec. 3 & 41

Swale is 1,300' long
 Rear lot width contributing runoff to the swale is 23' wide
 Heritage Court rear Lots contribution is 20 (+/-) wide. (Lots should drain to front)
 Total Area = 0.987 Ac.

$Q=C*I*A$

Time of Concentration = 15 Minutes Gather + 1,000' swale at 0.75 fps = 37.2 Min.

100-Year: $b = 120.2$, $d = 21.3$, $c = 0.741$ (Riverwood approved under IP-40)
 $I_{100} = 5.89$

$C = 0.30$

$Q_{100} = 0.30 * 5.89 * 0.987 = 1.74$ cfs

Swale Capacity - "V" Bottom

$n = 0.035$
 Slope = 0.001 ft/ft
 Average Depth = 0.50 ft and Top Width = 4.0 ft

$Q = 1.49/n + A * R^{2/3} * S^{1/2}$ where "R" = (1.05/4.12)

$Q = (1.49/0.035) * (1.05) * (0.25)^{2/3} * (0.001)^{1/2}$

$Q_{10} = 3.10$ cfs Capacity $V_{10} = Q/A = 2.95$ fps

Required $Q_{10} = 1.74$ cfs Swale capacity at 0.4' depth = 1.80 cfs

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 DATE

B & L
BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

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DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER
 03-03-2023

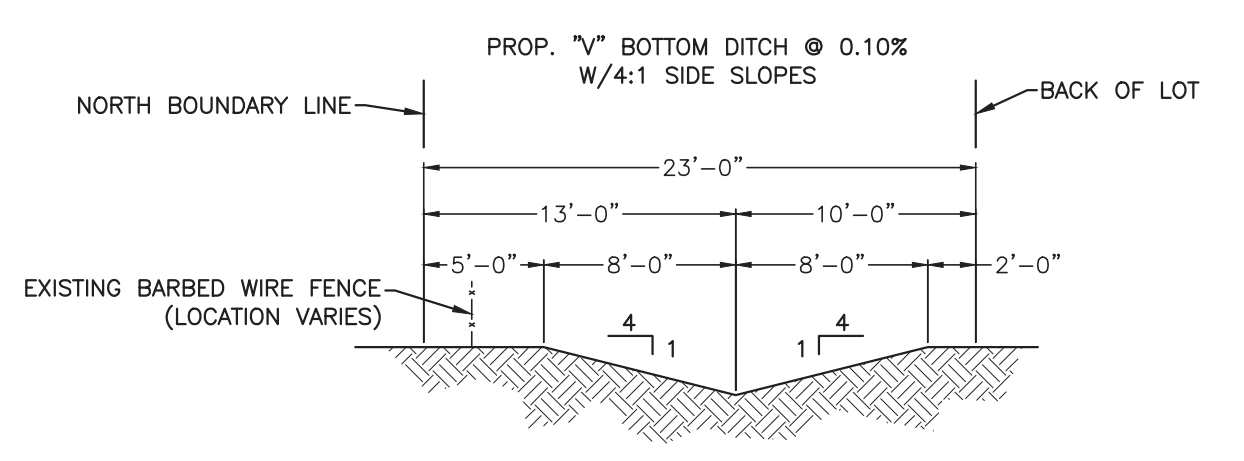
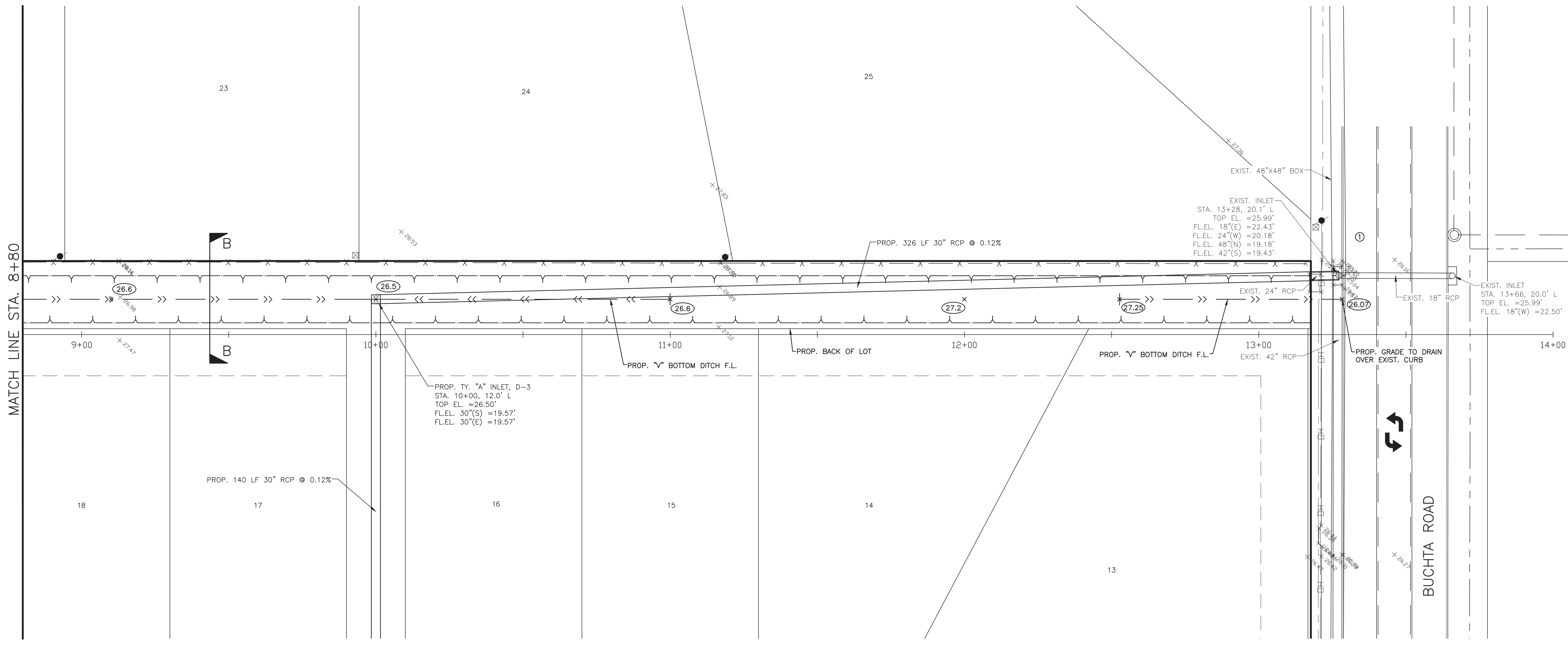
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 20'
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

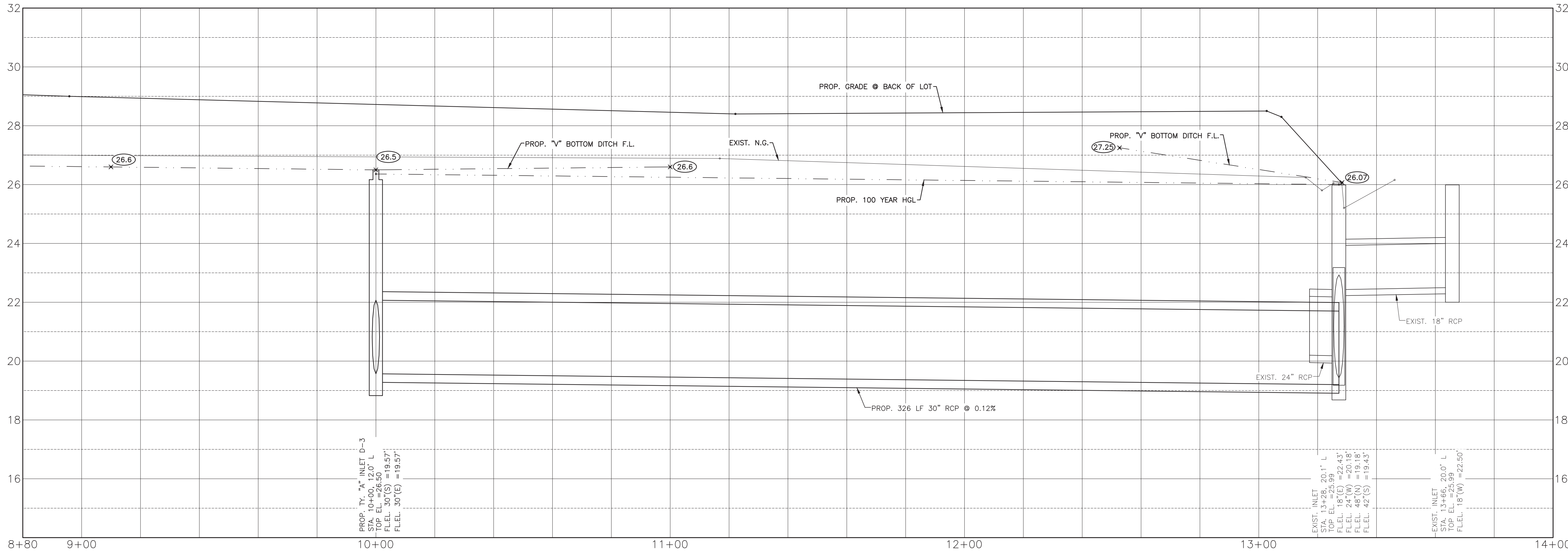
PLAN & PROFILE
 NORTH DITCH

PROJECT NO. 14396



PROP. NORTH DITCH SECTION "B-B"

① REMOVE EXIST 24" RCP WEST. BREAK OUT BACK WALL TO PLACE PROP 30" RCP AT F.L.E.L. 19.18. GROUT 30" RCP INSIDE AND OUTSIDE OF BOX TO MAKE WATER TIGHT.



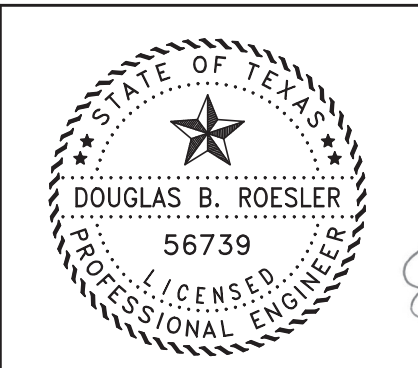
SYMBOLS LEGEND

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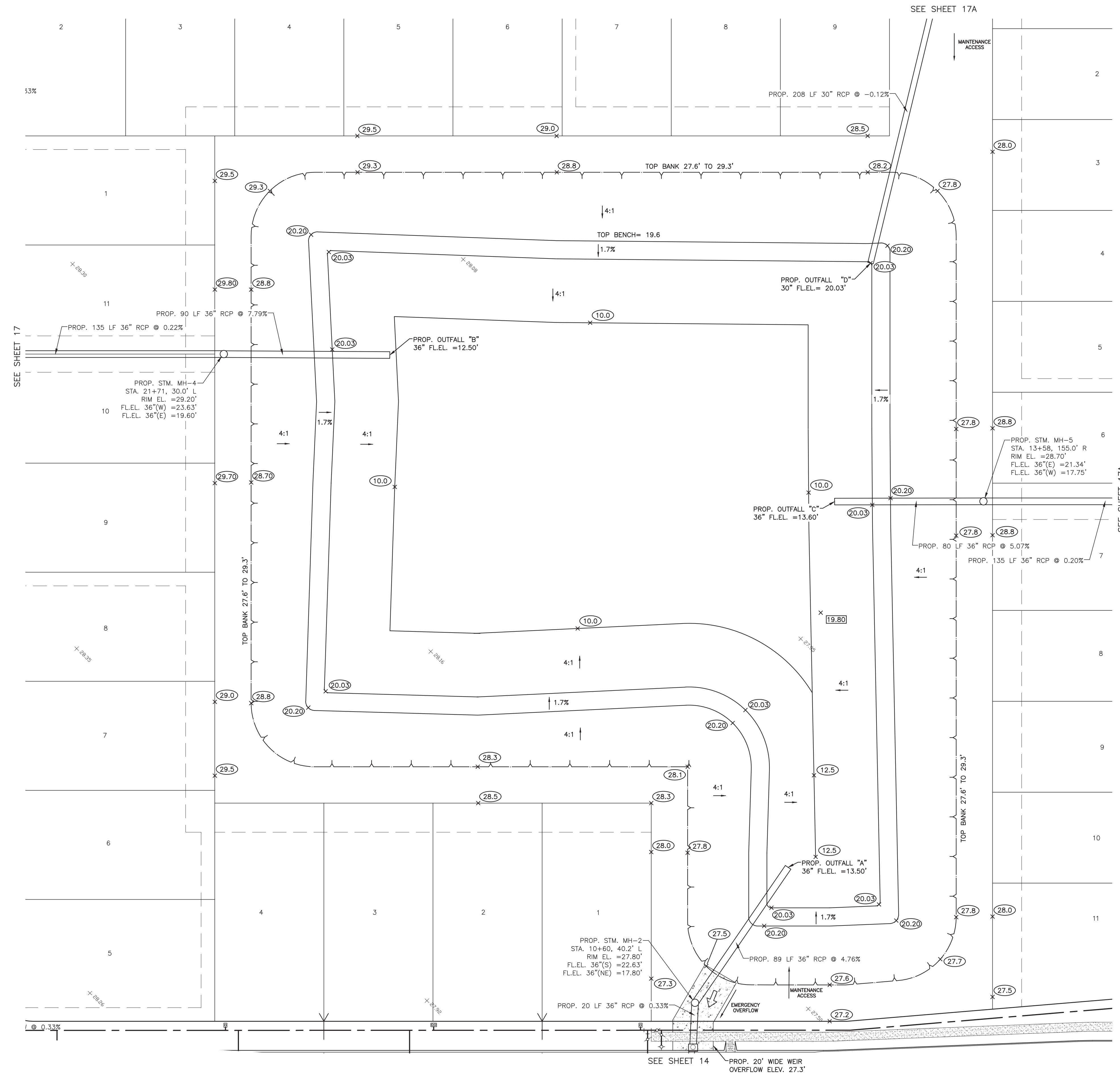
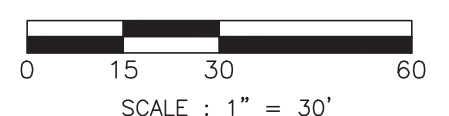
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PLAN & PROFILE
 NORTH DITCH
 PROJECT NO. 14396



Riverwood Sec. 3 & 4 Detention/Excavation Summary		
Detention Volume Required	17,179	Ac-Ft
Detention Volume Provided	22,680	Ac-Ft
Elev. (f.t.)		Area (s.f.)
28.50 (+/-)	Top bank	142,525
28.00	Nat. Gr.	140,945
27.30	12" Freeboard - 100 Yr WSEL	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
* Static Water = Bottom Bench		
Detention Pond Volume		
Elev. (f.t.)		Area (s.f.)
27.30	12" Freeboard - 100 Yr	137,373
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
Area	(137,373 + 117,382)/2	127,377 s.f.
Volume	(127,377*7.1' Depth)	904,377 c.f.
Area	(117,382 + 105,726)/2	111,554 s.f.
Volume	(111,554*0.20' Depth)	22,311 c.f.
Total Volume		926,688 c.f.
		21.27 ac-ft
Excavation Volume		
28.00	Nat. Gr.	140,945
20.20	Top 10' Bench	117,382
20.00	Bottom 10' Bench*	105,726
10.00	Bottom Pond	63,440
Area	(140,945 + 117,382)/2	129,164 s.f.
Volume	(129,164*7.8' Depth)	1,007,479 c.f.
Area	(117,382 + 105,726)/2	111,554 s.f.
Volume	(111,554*0.20' Depth)	22,311 c.f.
Area	(105,726 + 63,440)/2	84,583 s.f.
Volume	(84,583*10.00' Depth)	845,830 c.f.
Total Volume		1,875,286 c.f.
		69,467 c.y.

(File: 14396 / Det Vol Calcs 02-25-23)

100 YR WSEL = 27.0 PROVIDES 17.32 AC-FT
ALL SIDE SLOPES AT 4' TO 1' OR FLATTER

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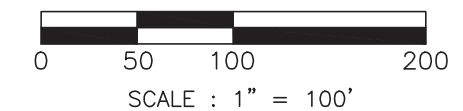
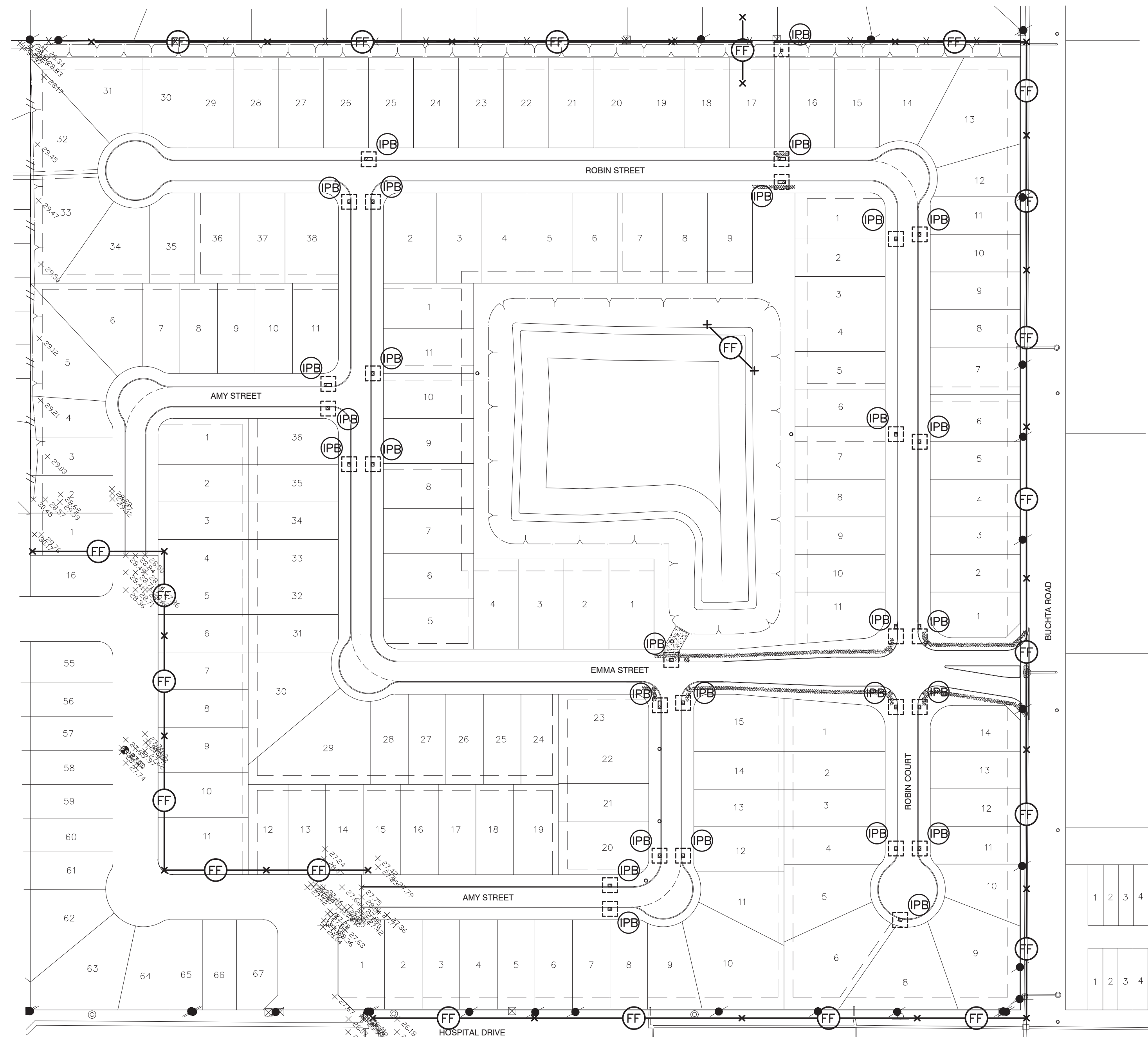
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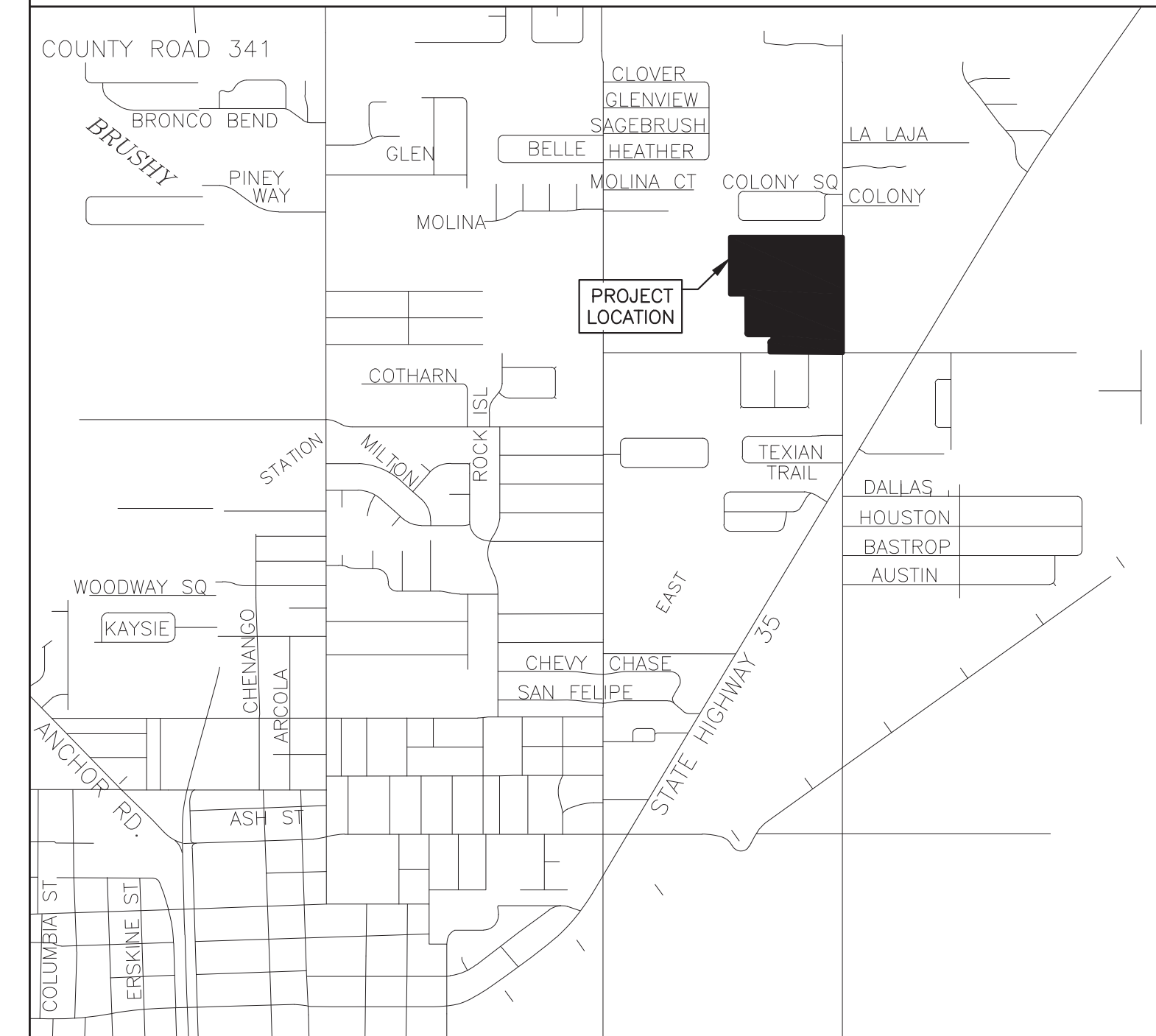
PLAN: 1" = 30'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DETENTION POND
PROJECT NO. 14396



GENERAL LOCATION MAP



PROJECT/SITE INFORMATION

PROJECT NAME: RIVERWOOD RANCH SUBDIVISION, SECTIONS 3 & 4
 PROJECT ADDRESS/LOCATION: NE CORNER OF DOWNING ROAD AND HOSPITAL DRIVE INTERSECTION
 CITY: ANGLETON STATE: TX. ZIP CODE: 77515
 LATITUDE: 29°11'13.1" LONGITUDE: 95°24'45.0" COUNTY: BRAZORIA
 NAME OF RECEIVING WATERS: GULF OF MEXICO

2/01/2023 MONTH/DAY/YEAR ESTIMATED CONSTRUCTION START DATE
8/01/2023 MONTH/DAY/YEAR ESTIMATED COMPLETION DATE
 ESTIMATE OF AREA TO BE DISTURBED: 36.0 ACRES
 ESTIMATE OF LIKELIHOOD OF DISCHARGE:

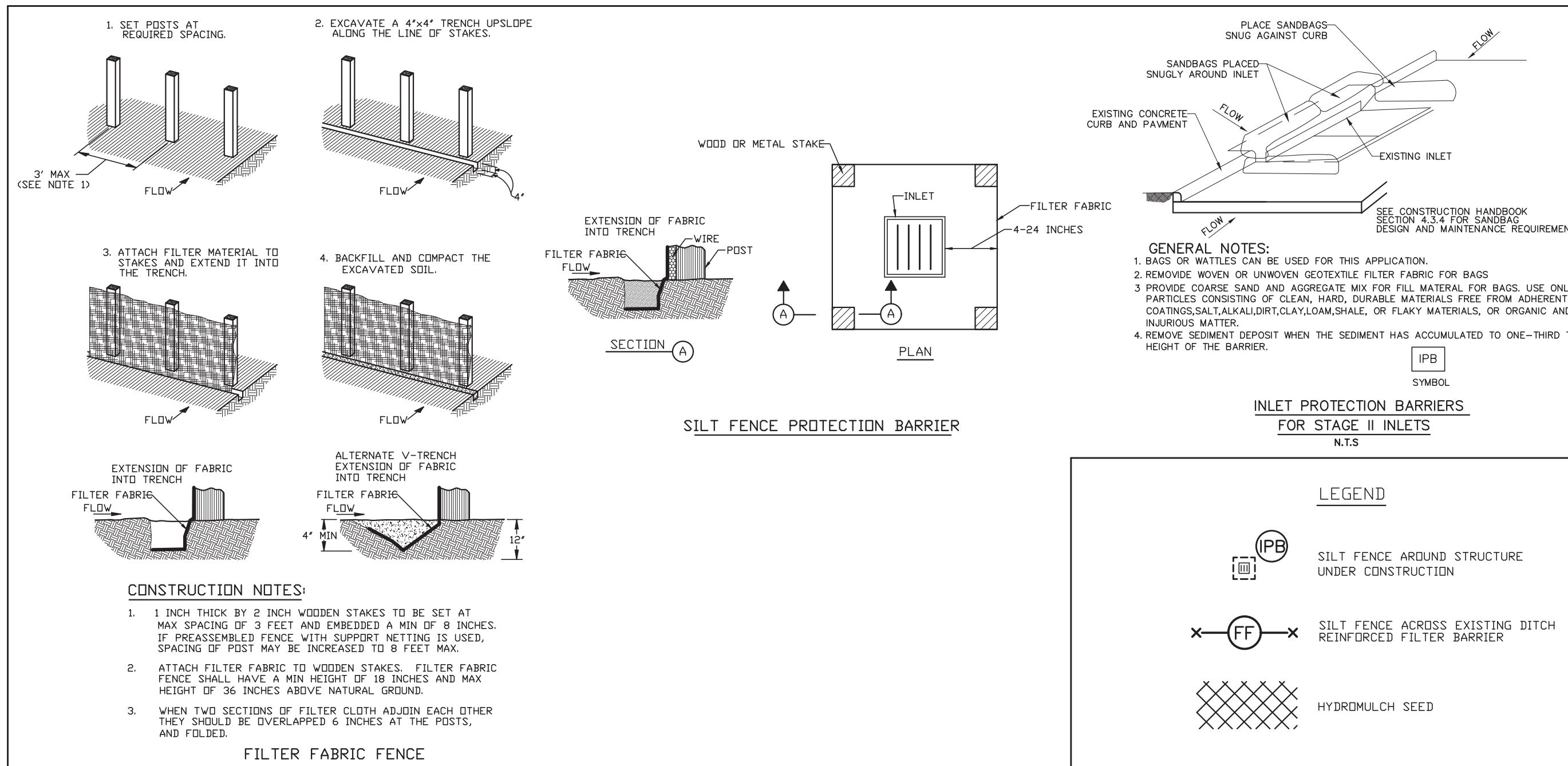
- UNLIKELY
- ONCE PER WEEK
- CONTINUAL
- ONCE PER MONTH
- ONCE PER DAY

ARE THERE ANY LISTED ENDANGERED OR THREATENED SPECIES, OR DESIGNATED CRITICAL HABITAT IN THE PROJECT AREA?

- YES
- NO

ELIGIBILITY WITH REGARD TO PROTECTION OF ENDANGERED SPECIES HAS BEEN SATISFIED THROUGH THE INDICATED SECTION OF PART 1.B.3.e.(2) OF THE PERMIT.

- (a)
- (b)
- (c)
- (d)



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HOUSTON, TEXAS 77057

PLAN: 1" = 100'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SWPPP LAYOUT
 PROJECT NO. 14396

1. SITE DESCRIPTION

- A. NATURE OF THE CONSTRUCTION ACTIVITY:
RIVERWOOD RANCH SUBDIVISION SECTIONS 3&4, ANGLETON, BRAZORIA COUNTY, TEXAS. BEING A 35.620 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 145 LOTS. CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS AND CONCRETE ROADWAYS WITH CURBS WITH EXCESS EXCAVATION WITH MATERIAL SPREAD FOR LOT GRADING.
- B. INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:
STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER. THIS MATERIAL WILL BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD ON DEVELOPED LOTS AFTER FINAL GRADING. UTILITY AND STORM SEWER CONSTRUCTION WILL REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE WILL INVOLVE SPREADING EXCAVATED MATERIAL ON ADJACENT LOTS. RAINFALL RUNOFF WILL BE DIRECTED TO THE STREET GUTTERS AND TO THE CONSTRUCTED STORM SEWER SYSTEM. TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE, UTILITY AND STORM SEWER MATERIALS AND OTHER CONSTRUCTION MATERIALS. TRUCKS WILL ALSO BE USED TO HAUL CONSTRUCTION DEBRIS AWAY FROM THE SITE. THESE TRUCKS WILL BE ROUTED ALONG HOSPITAL DR. AND BUTCHA ROADS FOR INGRESS AND EGRESS. RUTTING DURING WET WEATHER WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE ROUTE.
- C. TOTAL PROJECT AREA: 35.620 ACRES
- D. TOTAL AREA TO BE DISTURBED: 36 ACRES
WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.55
- E. REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; AREAS WHICH WILL NOT BE DISTURBED; LOCATIONS OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF-SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARGES TO A SURFACE WATER.
- F. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION:
NONE
- G. NAME OF RECEIVING WATERS:
RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO.
- H. REFER TO FEDERAL REGISTER, VOLUME 63, NO.128, MONDAY JULY 6, 1998, PAGES 36497 TO 36515 FOR REQUIREMENTS OF NPDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IN REGION 6.
- I. LISTED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY:
NONE
- J. PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES:
NONE

2. CONTROLS

NARRATIVE – SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

- THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.
1. INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE.
 2. INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.
 3. ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND, UTILITY STORM SEWER CONSTRUCTION, AND DESIGNATED POND EVACUATION.
 4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 18" WIDE SOLID SOD BEHIND ALL CURBS, OR FILTER FABRIC FENCE.

- A. EROSION AND SEDIMENT CONTROLS: EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER:				

- B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION:
CURBS & GUTTERS STORM SEWERS

C. OTHER CONTROLS

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

WASTE MATERIALS: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

HAZARDOUS WASTE (INCLUDING SPILL REPORTING): AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY:
 HAUL ROADS DAMPENED FOR DUST CONTROL LOADED
 HAUL TRUCKS TO BE COVERED WITH TARPULIN
 EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED
 CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION

AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

5. NON-STORMWATER DISCHARGES

- FIRE HYDRANT FLUSHING
- BUILDING WASHDOWN WITHOUT DETERGENTS
- PAVEMENT WASHDOWN WITHOUT DETERGENTS
- CONDENSATE
- UNCONTAMINATED GROUNDWATER
- UNCONTAMINATED FOUNDATION DRAINS

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" =
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SWPPP NARRATIVE
 PROJECT NO. 14396

Hydrological and Hydraulic Impacts
 Riverwood Ranch Subdivision - NE Area
 Job # 13032
 Brazoria County, Texas
 A= 40.016 Acre Development :
 Pre Development:
 C = 0.175
 TC = 90.0 Minutes, I = 3.66
 Q = 100 Year Storm = 32.04 cfs
 Q-Allowed is 0.80 cfs / ac. = 32.01 cfs
 Post Development
 C = 0.55
 TC = 31.6 Minutes, I = 6.573
 Q = 100 Year Storm = 180.83 cfs
 Required Detention:
 17.179 acre - feet (748,317 c.f.)

EXISTING CONDITIONS
 Bra. Co. Master Drg. Study allows only 0.80 cfs/acre in this area. These are Bastrop Bayou drainage areas BB 35 and BB 36.
 TC = 15 Minutes gather time plus diagonal length (1,800') overlaid at 0.40 fps = 90.0 Minutes
PROPOSED CONDITIONS
 TC = 15 Minutes gather time + 150' overlaid at 0.50 fps + 1,650' l.f. storm sewer at 3 fps = 29.2 Minutes
 C = 0.55 per City of Sugarland
 ACREAGE = 40.016 Ac.
 Section 3 & 4 = 35.6 Ac. (+/-) + 4.38 Ac. from Sec. 2 to compensate for free drain to Hospital Dr.

Drainage Analysis
 Job # 13032 - Riverwood Ranch Subdivision - NE Area
Rainfall Intensity calculations for Brazoria County

i = intensity (in/hr)
 b = coefficient
 t = time of concentration
 d = coefficient
 e = coefficient

subscript i=1 = 2 year storm
 i=2 = 5 year storm
 i=3 = 10 year storm
 i=4 = 25 year storm
 i=5 = 50 year storm
 i=6 = 100 year storm

i := 1..6
 b_i :=

71.0	0.774	8.4
70.1	0.752	7.7
96.6	0.770	17.2
89.2	0.726	10.4
86.5	0.709	10.0
120.2	0.741	21.3

 d_i :=

8.4
7.7
17.2
10.4
10.0
21.3

T₀ := 90.0 ENTER PREDEVELOPMENT TIME OF CONCENTRATION
 I₀ := $\frac{b_i}{(d_i + T_0)^e}$ I₀ = 3.66 Predevelopment Intensity of interest
 C₀ := .175 ENTER PREDEVELOPMENT C VALUE
 A := 40.016 ENTER AREA

T₀ := 29.2 ENTER POST DEVELOPMENT TIME OF CONCENTRATION
 I₀ := $\frac{b_i}{(d_i + T_0)^e}$ I₀ = 6.573 Post development I of interest
 C₀ := 0.55 ENTER POST DEVELOPMENT C FACTOR
 C₀ := 1.25 REVISE C AND AREA IF NECESSARY
 Q = 180.831
 V := (C) * A * 43560 * 1.08
 V = 1.035 x 10⁶
 T := $\frac{V}{1.39 * Q}$ T = 4.119 x 10³
 t := 0, 1000.. 25000

C_f := 1.25
 Q := C * C_f * I₀ * A
 Q = 32.036
 V := (C) * A * 43560 * 1.08
 V = 3.294 x 10⁵
 T := $\frac{V}{1.39 * Q}$ T = 7.398 x 10³
 T = Time to peak, presented as a function of volume and peak flow and therefore indirectly related to time of concentration
 t := 0, 1000.. 84000
 f(t) := $\left(\frac{Q}{2}\right) \left(1 - \cos\left(\frac{t * \pi}{T}\right)\right)$ f(t) describes rising limb of hydrograph
 g(t) := 4.34 * Q * exp[-1.30 * $\left(\frac{t}{T}\right)$] g(t) describes descending limb of hydrograph
 q(t) := if(t <= 1.25 * T, f(t), g(t))
 Volume_{pre} := $\int_0^{86400} q(t) dt$
 Volume_{pre} = 3.306 x 10⁵
 Predevelopment hydrograph

f(t) := $\left(\frac{Q}{2}\right) \left(1 - \cos\left(\frac{t * \pi}{T}\right)\right)$
 g(t) := 4.34 * Q * exp[-1.30 * $\left(\frac{t}{T}\right)$]
 r(t) := if(t <= 1.25 * T, f(t), g(t))
 Volume_{post} := $\int_0^{86400} r(t) dt$
 Volume_{post} = 1.039 x 10⁶
 Post development hydrograph

Combined pre and post development hydrographs

f(t) := ((r(t) - q(t)) - 1)
 v(t) := if(f(t) > 0, f(t), 0)
 THE REQUIRED STORAGE COMPUTED AS THAT PART OF THE POST DEVELOPMENT HYDROGRAPH THAT FALLS ABOVE THE PREDEVELOPMENT HYDROGRAPH
 ACRE- FEET
 $\int_0^{86400} v(t) dt = 17.179$
 43560

14396 - RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 IN ANGLETON, TEXAS
 RESTRICTIVE OUTLET WITH MAX. FLOW RATE OF 32.01 CFS AND 1.0' HEAD

A	B	C	D	E	F	G	H	I	J	K	L	M	N
1													
2	H"	Q"	ENTR.	n	L	D		EQ.	EQ.	EQ.	EQ.	EQ.	EQ.
3			LOSS					2.5204(1+D4)	466.18*E4^2*F4	B4/(C4/10)^2	I4/G4^4	J4/G4^5.333	L4-(L4+M4)
4	1	24.6	0.5	0.013	116	2.5		3.7806	9.1390	0.1658	0.0968	0.0690	0.0000
5	1	37.1	0.5	0.013	116	3		3.7806	9.1390	0.0728	0.0467	0.0261	0.0000

USE 30" RESTRICTIVE OUTLET

ORIFICE EQUATION
 Q = Cd * A * (2 * G * H)^0.5
 Where:
 Cd = 0.8
 G = 32.2
 H = 1
 Q = 32.01
 A = 4.99 30" Dia. 4.91 S.F.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
 03-03-2023

OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN:
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

HYDROLOGICAL CALCULATIONS

PROJECT NO. 14396

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:09:56 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area A 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows A-1 through A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 through A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded Width. Rows A-1 through A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 through A-7 and MH-2.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 through 9.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Actual, Velocity, Q, Cap Loss, Junc Loss. Rows 1 through 9.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows A-1 through A-7.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows A-1 through A-7.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded Width. Rows A-1 through A-7.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows A-1 through A-7 and MH-2.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 through 9.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Actual, Velocity, Q, Cap Loss, Junc Loss. Rows 1 through 9.

NORMAL TERMINATION OF WINSTORM.

WinStorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:12:54 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area B 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSIS FREQUENCY : 100 Years MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY OF: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows B-1 through B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 through B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded Width. Rows B-1 through B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 through B-8.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 through 10.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Actual, Velocity, Q, Cap Loss, Junc Loss. Rows 1 through 10.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY OF: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows B-1 through B-8.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Left-Slope, Right-Slope, Gutter, Depth, Critic Elev. Rows B-1 through B-8.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Type, Length, Grate, Total Q, Inlet Capacity, Total Head, Ponded Width. Rows B-1 through B-8.

Cumulative Junction Discharge Computations

Table with 10 columns: Node I.D., Type, C-Value, Dr. Area, Tc, Cumulat. Intens., User Supply Q, Additional Q, Total Disch. Rows B-1 through B-8.

Conveyance Configuration Data

Table with 10 columns: Run# Node I.D., Flowline Elev., Shape #, Span, Rise, Length, Slope, n_value. Rows 1 through 10.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr. Slope, Unif. Actual, Velocity, Q, Cap Loss, Junc Loss. Rows 1 through 10.

NORMAL TERMINATION OF WINSTORM.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes DESIGNER, DRAWN, CHECKED, DATE.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes REVISIONS.

Professional Engineer seal for Douglas B. Roessler, P.E. 56739, State of Texas. Includes company logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A HOUSTON, TEXAS 77057

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515 WINDSTORM DATA RUN A & B PROJECT NO. 14396

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/1/2023 4:19:37 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : Area C 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Left-Slope Long Trans, Right-Slope Long Trans, Gutter n, Depth Dep, Critic Elev. Rows C-1 to C-11.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Total Q, Inlet Capacity, Total Head, Pondered width Left, Pondered width Right. Rows C-1 to C-11.

Cumulative Junction Discharge Computations.

Table with 10 columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows C-1 to C-11.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev. US, Flowline Elev. DS, Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 12.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows C-1 to C-11.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Left-Slope Long Trans, Right-Slope Long Trans, Gutter n, Depth Dep, Critic Elev. Rows C-1 to C-11.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Total Q, Inlet Capacity, Total Head, Pondered width Left, Pondered width Right. Rows C-1 to C-11.

Cumulative Junction Discharge Computations.

Table with 10 columns: Node I.D., Node Type, Node C-value, Node Dr.Area, Node Tc, Node Intens., User Supply Q, Additional Q in Node, Total Disch. Rows C-1 to C-11.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev. US, Flowline Elev. DS, Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 12.

NORMAL TERMINATION OF WINSTORM.

winstorm (STORM DRAIN DESIGN) Version 3.05, Jan. 25, 2002
Run @ 2/25/2023 9:31:31 AM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4
JOB NUMBER : 14396
PROJECT DESCRIPTION : D.A. D 10 - Year Storm
DESIGN FREQUENCY : 10 Years
ANALYSIS FREQUENCY : 100 Years
MEASUREMENT UNITS : ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for Design Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Left-Slope Long Trans, Right-Slope Long Trans, Gutter n, Depth Dep, Critic Elev. Rows D-1 to D-3.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Total Q, Inlet Capacity, Total Head, Pondered width Left, Pondered width Right. Rows D-1 to D-3.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev. US, Flowline Elev. DS, Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 12.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 12.

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSIS FREQUENCY of: 100 Years

Runoff Computation for Analysis Frequency.

Table with 7 columns: ID, C Value, Area, Tc, Tc Used, Intensity, Supply Q, Total Q. Rows D-1 to D-3.

Sag Inlets Configuration Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Left-Slope Long Trans, Right-Slope Long Trans, Gutter n, Depth Dep, Critic Elev. Rows D-1 to D-3.

Sag Inlets Computation Data.

Table with 10 columns: Inlet ID, Inlet Type, Inlet Length, Grate Perim Area, Total Q, Inlet Capacity, Total Head, Pondered width Left, Pondered width Right. Rows D-1 to D-3.

Conveyance Configuration Data.

Table with 10 columns: Run# Node I.D., Node US, Node DS, Flowline Elev. US, Flowline Elev. DS, Shape #, Span, Rise, Length, Slope, n_value. Rows 1 to 3.

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

Table with 10 columns: Run# US Elev, DS Elev, Fr.Slope, Unif. Fr.Slope, Depth, Velocity, Q, Cap, Junc Loss. Rows 1 to 3.

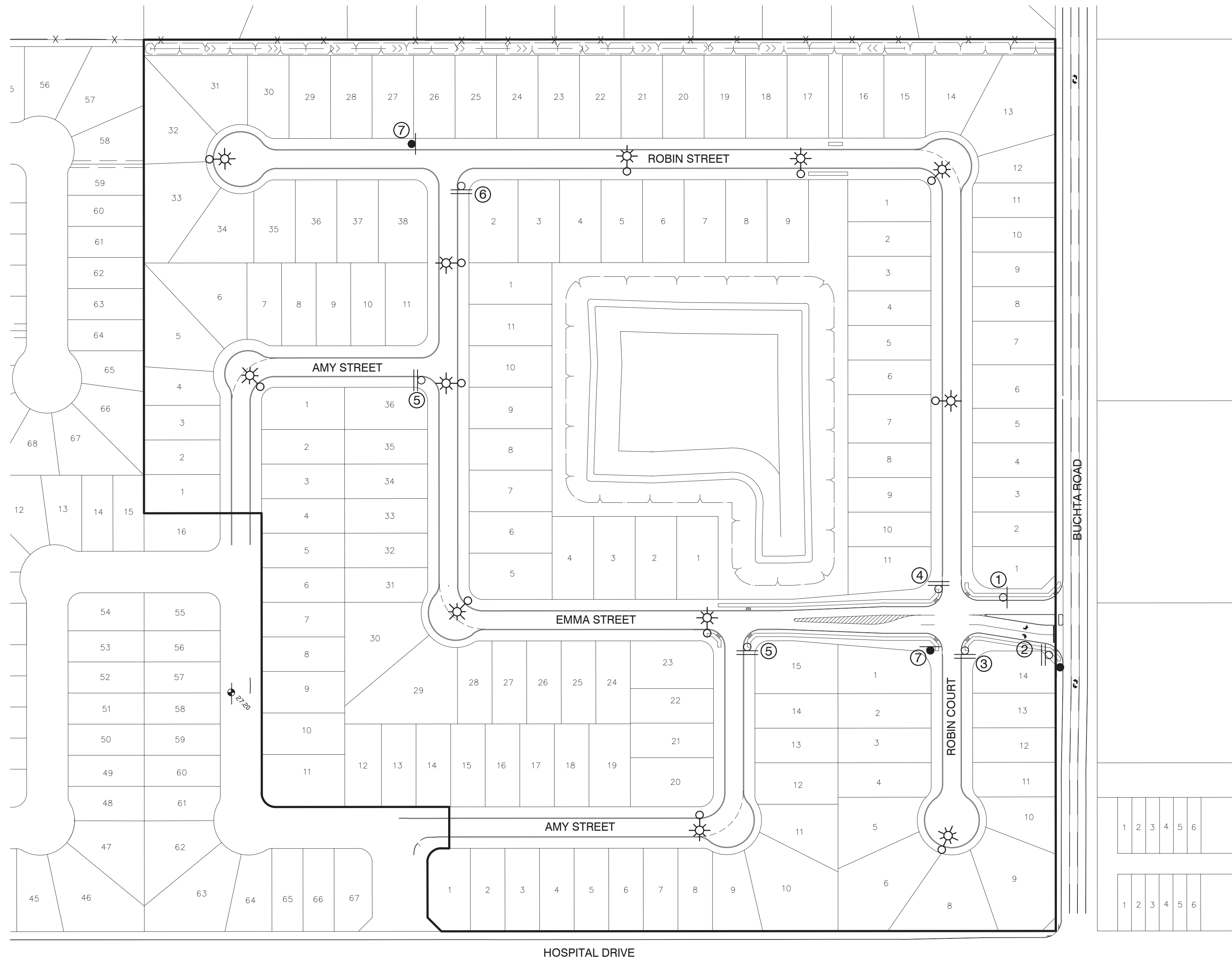
NORMAL TERMINATION OF WINSTORM.

Table with 4 columns: NO., DATE, DESCRIPTION, APPROVED. Includes a REVISIONS section.

Professional Engineer seal for Douglas B. Roessler, State of Texas, License No. 56739. Includes company logo for Baker & Lawson, Inc.

OWNER: RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

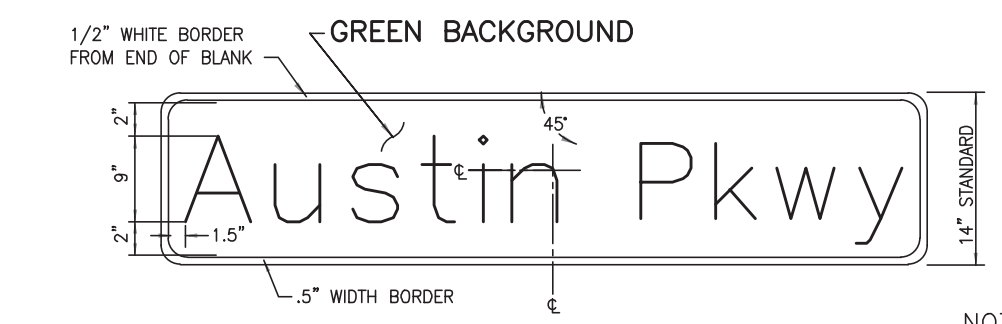
PLANNING: RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515



GENERAL CONSTRUCTION NOTES:

1. SECURELY ATTACH STREET NAME SIGN TO TRAFFIC SIGNAL SUPPORT WIRES WITH MULTI-LEVELING, WIND DAMPING BRACKETS.
2. SUPPORT WIRES SHOULD NOT BE PROHIBITED FROM INDEPENDENT MOVEMENT.
3. INSTALL ONE STREET NAME SIGN APPROXIMATE 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL SPAN.
4. THE FIRST LETTER OF EACH WORD SHALL BE UPPER CASE, SUBSEQUENT LETTERS SHALL BE LOWER CASE, ALL INDIVIDUAL LETTERS FOR EXAMPLE "T.M." SHALL BE UPPER CASE, STREET SUFFIXES & "NO OUTLET" SHALL BE UPPER CASE.
5. ALL SHEETING SHALL BE "TANDARD GRADE" OR APPROVED EQUAL.
6. USE ANODIZED ALUMINUM ONLY.
7. STREET SIGN FONTS SHALL BE HELVETICA BOLD, MEDIUM STYLE.
8. MINIMUM SIGN THICKNESS: 1/8" SIGNS = .080", 14" SIGNS = .1875"
9. ATTACH SIGNAGE TO 2" SIGN POST WITH 1/2" BLADE MOUNT BRACKET.

SL-ST-68



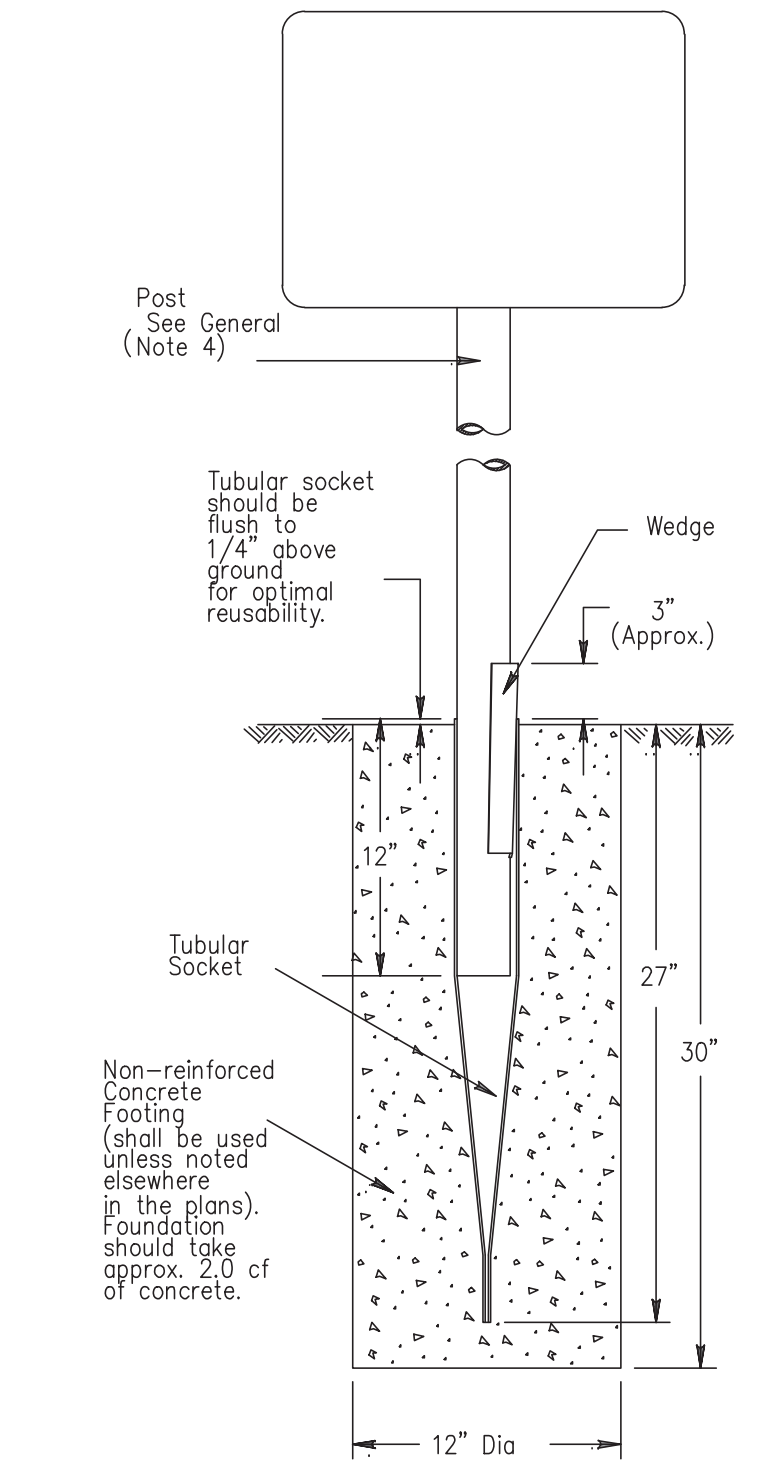
DETAIL OF SIGN FOR MAST ARM TRAFFIC SIGNAL POLES

NOTES:

1. HELVETICA BOLD, MEDIUM STYLE, WITH 9" UPPER CASE LETTERS AND 6" LOWER CASE LETTERS.
2. REFER TO C.O.S.L. DESIGN STANDARDS FOR MORE INFO.

SL-ST-67

Wedge Anchor System



SM RD SGN ASSM TY TWT(X)WA(P)
SL-ST-62

STREET SIGNS

- ① 30 MPH SPEED LIMIT
- ② STOP - FACING EMMA STREET BUCHTA STREET / EMMA LOOP
- ③ STOP - FACING ROBIN COURT ROBIN COURT / EMMA STREET
- ④ STOP - FACING ROBIN STREET ROBIN STREET / EMMA STREET
- ⑤ STOP - FACING AMY STREET AMY STREET/EMMA STREET
- ⑥ STOP - FACING EMMA STREET EMMA STREET / ROBIN STREET
- ⑦ NO OUTLET (2 LOCATION)

STREET AREA LIGHTING (13 LOCATIONS)

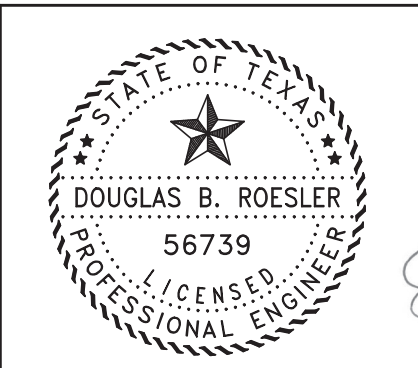
- ☉ STREET SIGNS (6 LOCATIONS)
- ☉ STREET SIGNS (1 LOCATION) 30 MPH
- NO OUTLET (2 LOCATIONS)

LIGHTING PLAN PROVIDED IS SHOWN AS RECOMMENDED. FINAL LOCATIONS AND QUANTITIES ARE DETERMINED BY TEXAS NEW MEXICO POWER (TNMP).

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

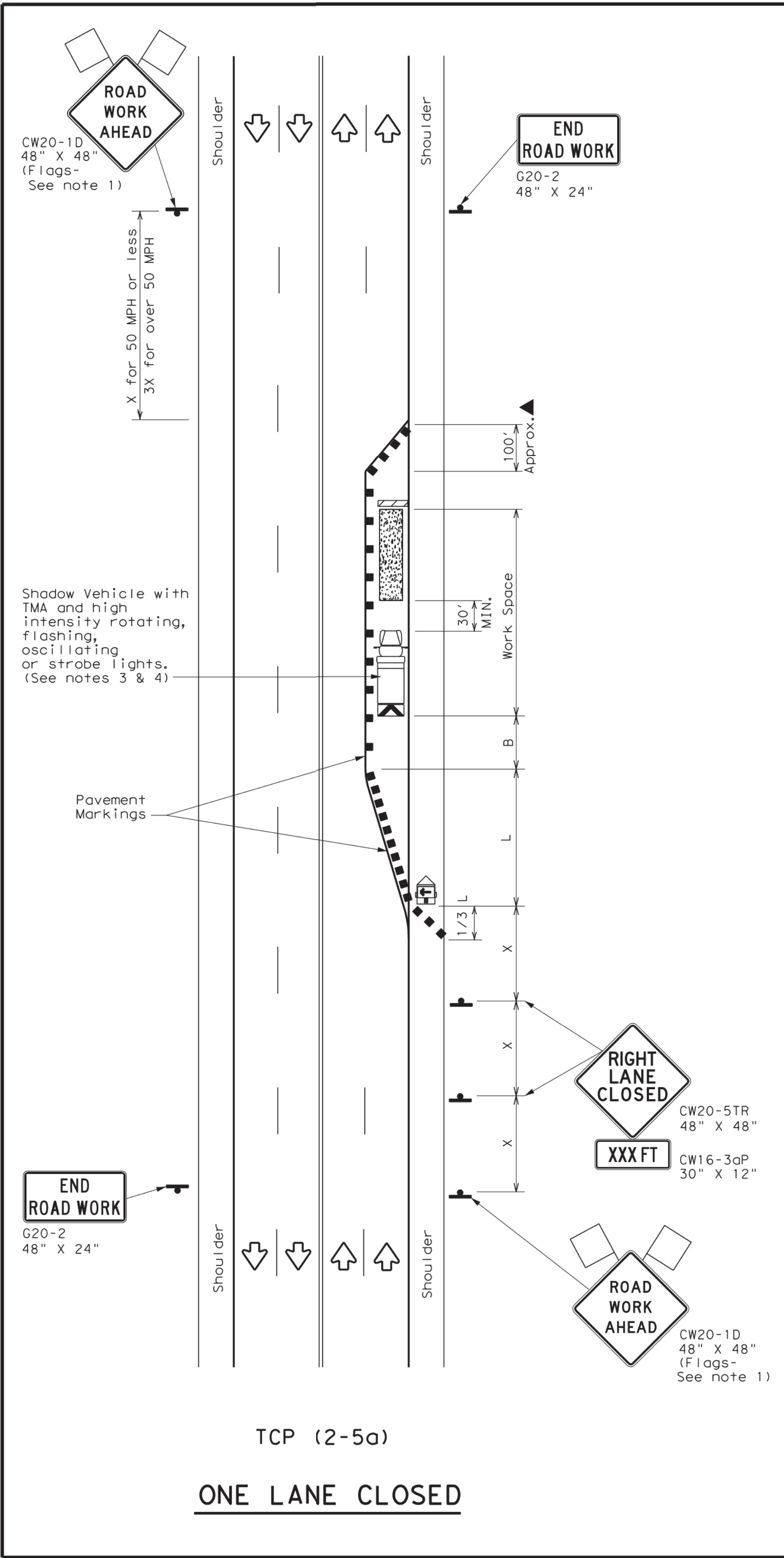
PLAN: 1" = 100'
PROFILE:
HORIZONTAL:
VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

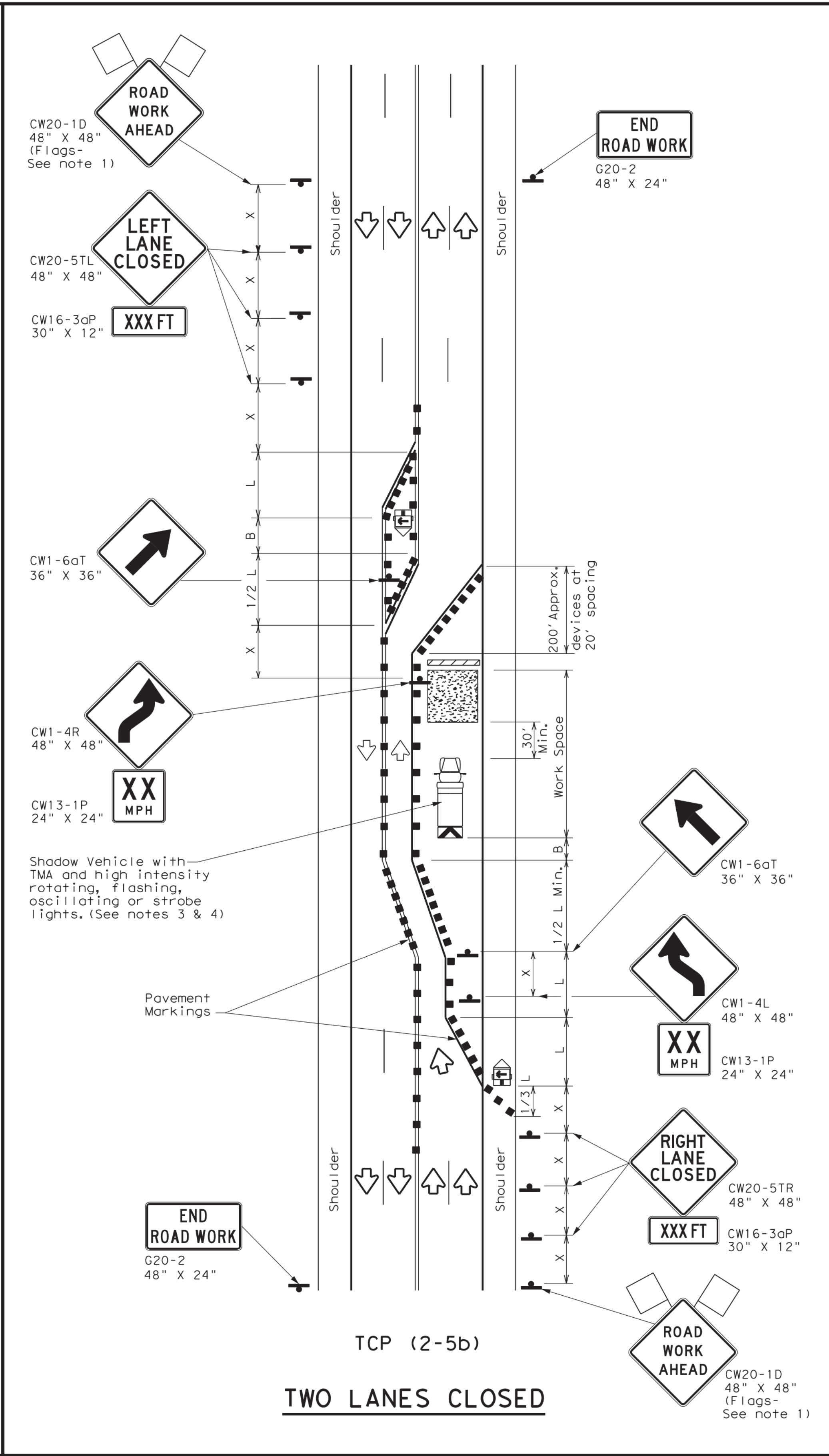
PAVING MARKING,
STREET SIGN AND
ROADWAY LIGHTING LAYOUT

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

DATE: _____
FILE: _____



TCP (2-5a)
ONE LANE CLOSED



TCP (2-5b)
TWO LANES CLOSED

LEGEND			
	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "X" Distance	Suggested Longitudinal Buffer Space "B"
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent		
30	L = WS ² / 60	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* Conventional Roads Only
** Taper lengths have been rounded off.
L=Length of Taper(FT) W=Width of Offset(FT) S=Posted Speed(MPH)

TYPICAL USAGE				
MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY

- GENERAL NOTES**
- Flags attached to signs where shown, are REQUIRED.
 - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
 - A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Additional Shadow Vehicles with TMAs may be positioned in each closed lane, on the shoulder or off the paved surface, next to those shown in order to protect a wider work space.
 - The downstream taper is optional. When used, it should be 100 feet approximately per lane, with channelizing devices spaced at 20 feet.
- TCP (2-5a)**
- If this TCP is used for a left lane closure, CW20-5TL "LEFT LANE CLOSED" signs shall be used and channelizing devices shall be placed on the centerline to protect the work space from opposing traffic, with the arrow board placed in the closed lane near the end of the merging taper.
- TCP (2-5b)**
- Conflicting pavement markings shall be removed for long-term projects.

Texas Department of Transportation

Traffic Operations Division Standard

**TRAFFIC CONTROL PLAN
LONG TERM LANE CLOSURES
MULTILANE CONVENTIONAL RDS.**

TCP (2-5) - 18

FILE: tcp2-5-18.dgn	DN: _____	CK: _____	DR: _____	CK: _____
© TxDOT December 1985	CONT	SECT	JOB	HIGHWAY
8-95 2-12	REVISIONS			
1-97 3-03	DIST	COUNTY	SHEET NO.	
4-98 2-18				
165				

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____

B & L
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ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1330
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

STATE OF TEXAS
56739
LICENSED PROFESSIONAL ENGINEER

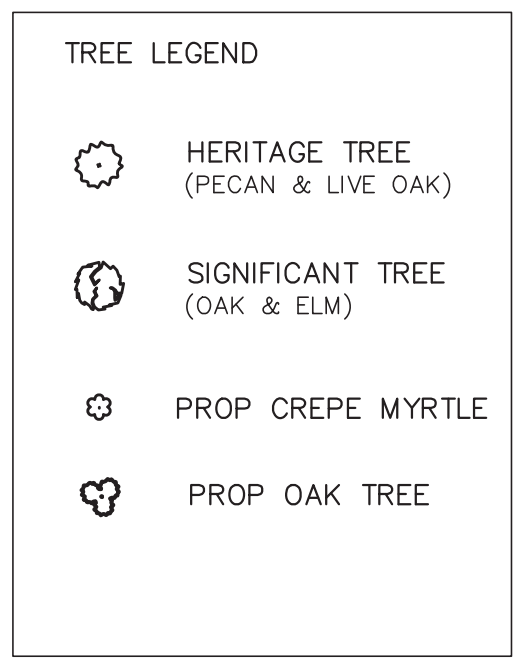
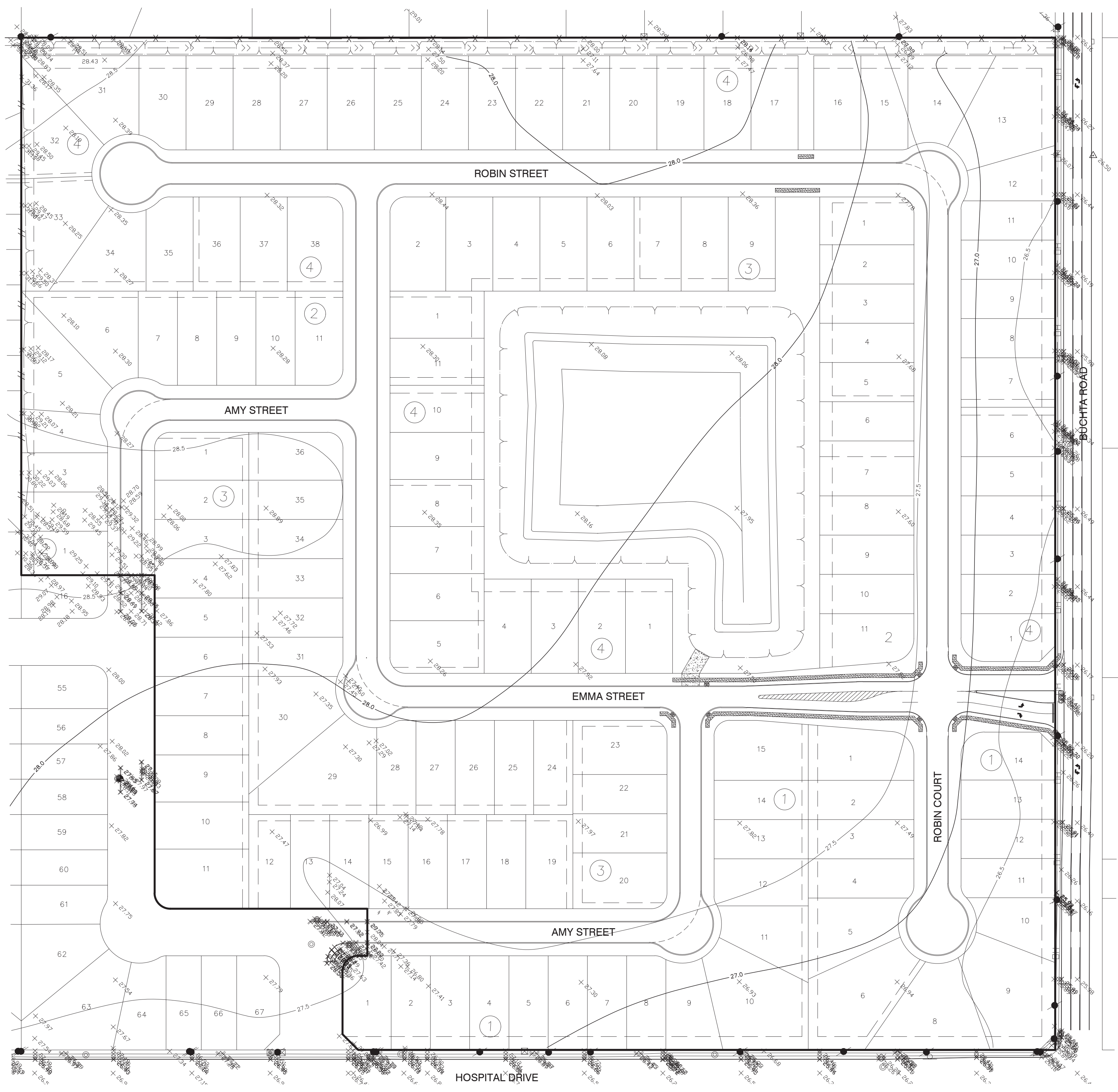
The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739
03-03-2023

OWNER:
**RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057**

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

**RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515**

TRAFFIC CONTROL PLAN
TCP (1-1)-18
PROJECT NO. 14396

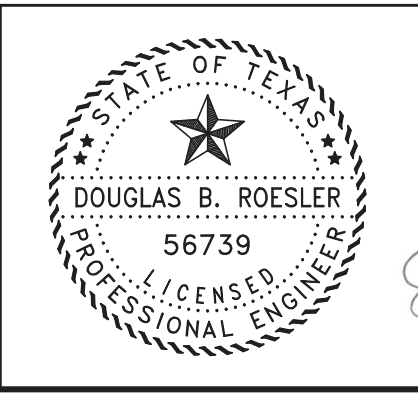
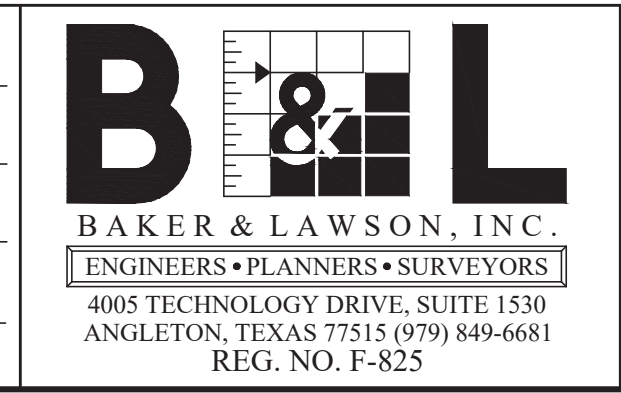


SITE TREE SUMMARY

TOTAL NUMBER OF HERITAGE TREES = 0
 TOTAL CALIPER OF HERITAGE TREES = 0 IN
 HERITAGE TREES TO BE REMOVED* = 0
 CALIPER OF REMOVED HERITAGE TREES = 0 IN
 HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 0
 CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 0 IN
 REQUIRED REPLACEMENT CALIPER = N/A
 REQUIRED REPLACEMENT TREES (3"-CALIPER OAK TREES) = 0 TREES
 PER SECTION 23-60.H.7 OF THE ANGLETON LDC, THE HOMEOWNER WILL PROVIDE TWO TREES PER LOT IN ADDITION TO THE REQUIRED REPLACEMENT CALIPER.

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____



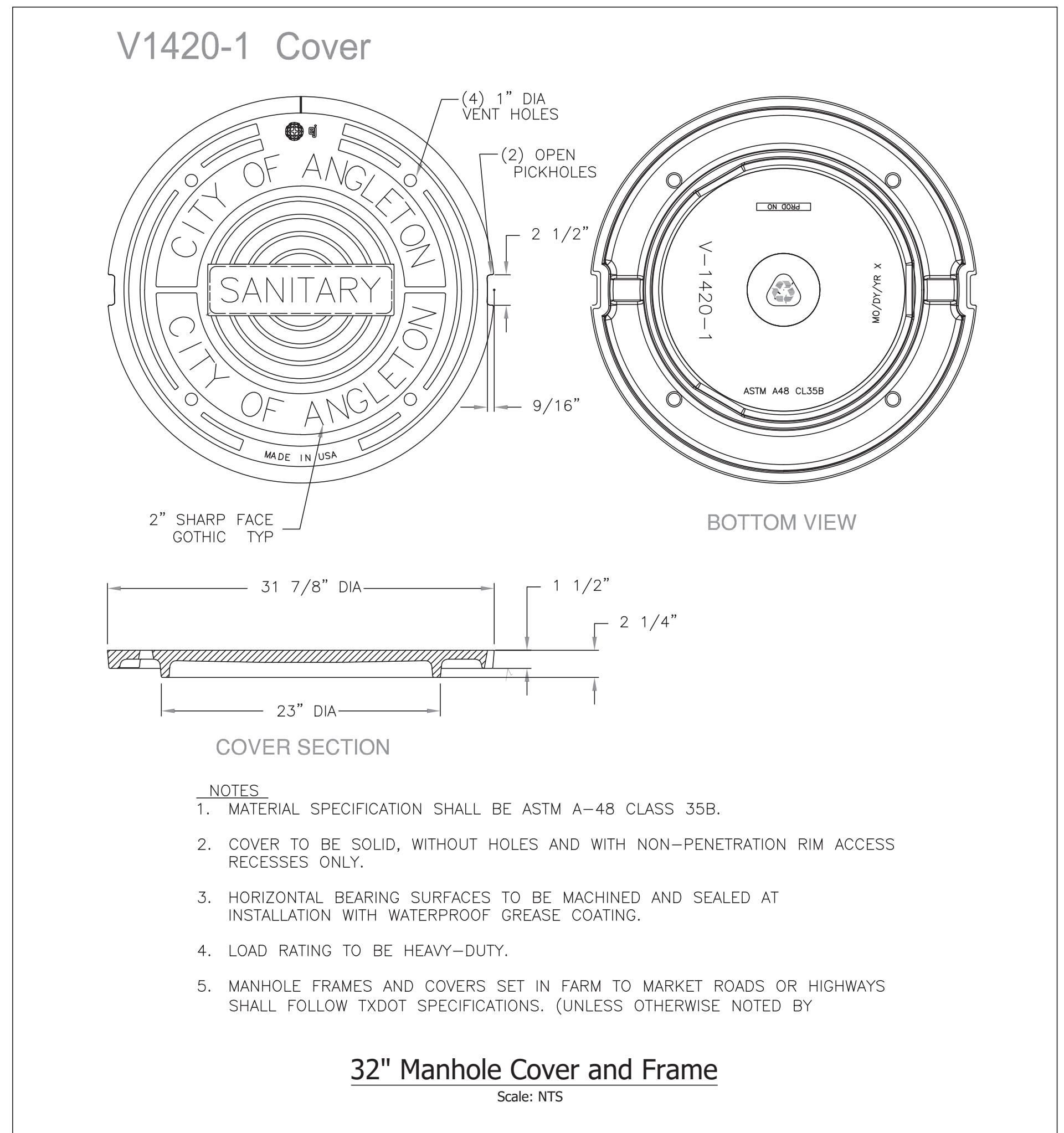
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: 1" = 80'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

HERITAGE TREE
 PRESERVATION PLAN
 PROJECT NO. 14396



NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

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 4905 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6681
 REG. NO. F-825

STATE OF TEXAS
 DOUGLAS B. ROESLER
 56739
 LICENSED PROFESSIONAL ENGINEER

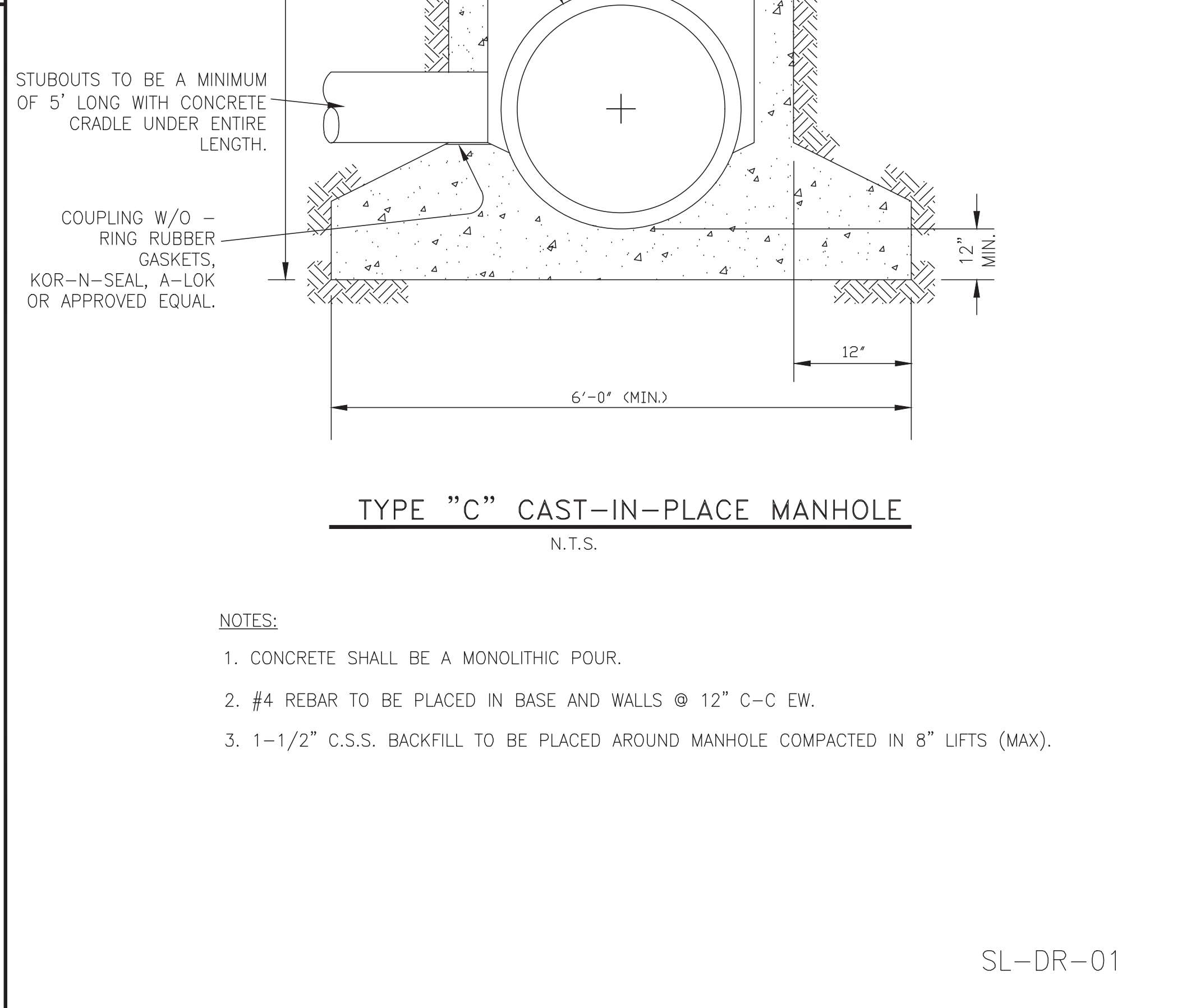
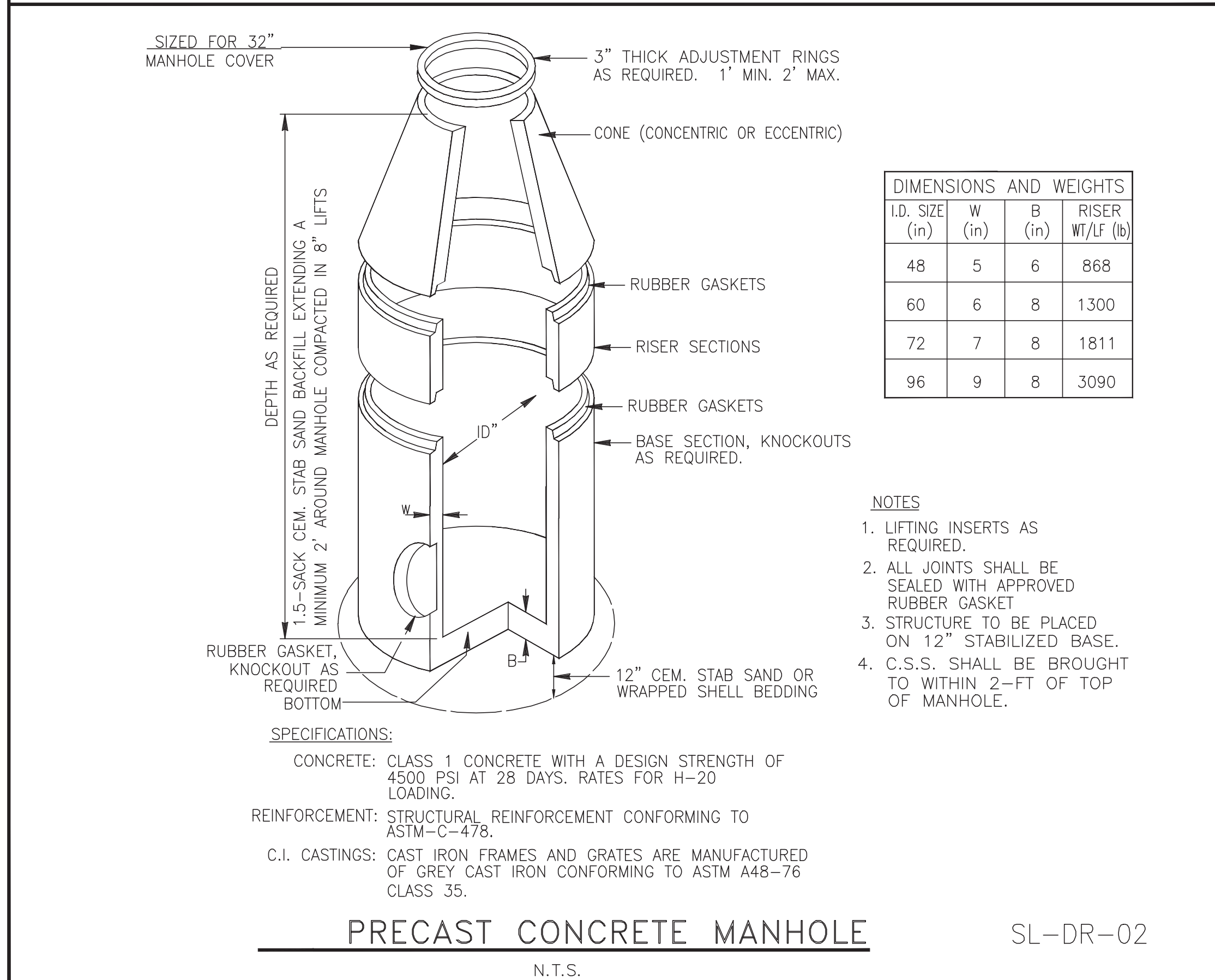
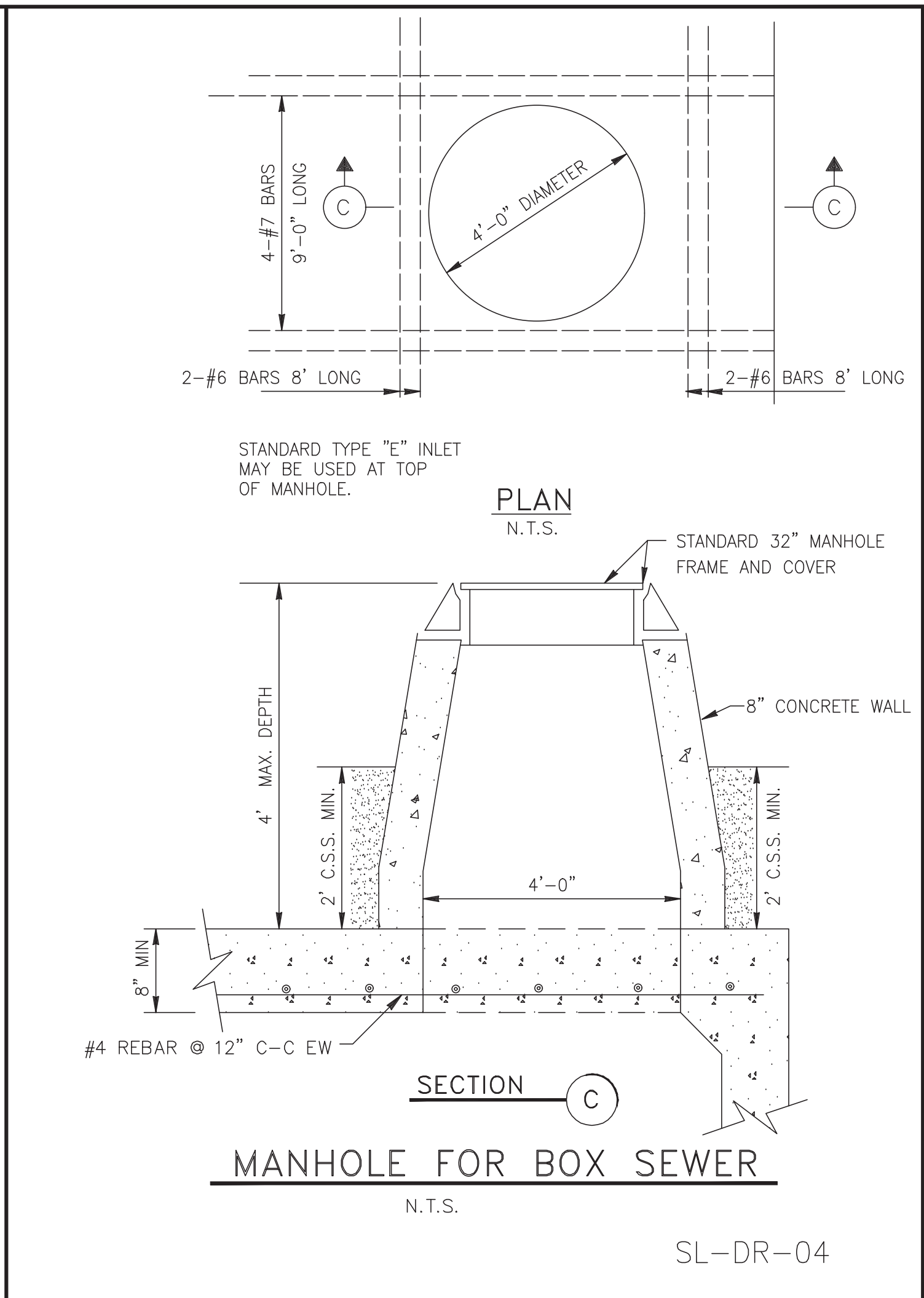
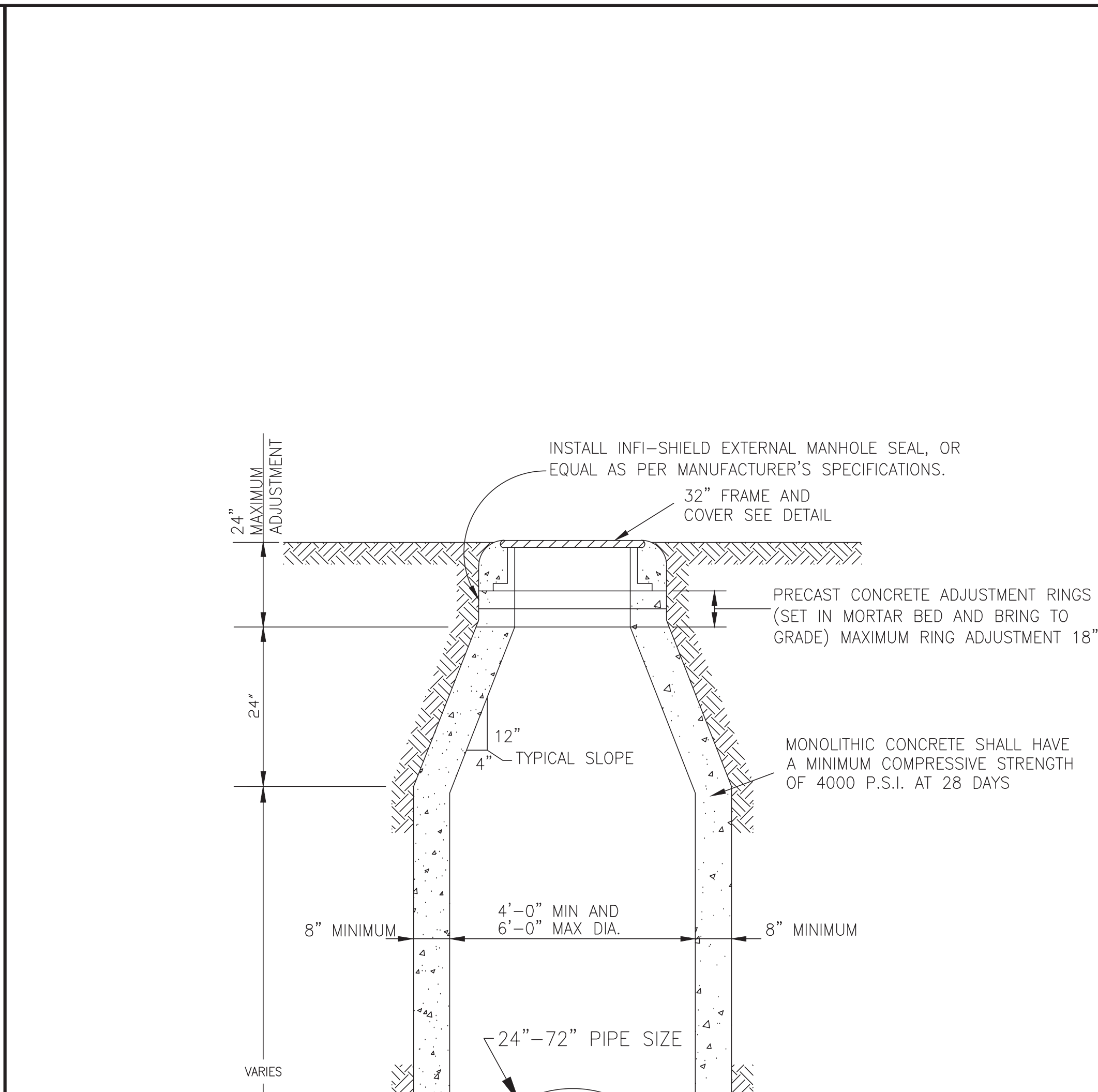
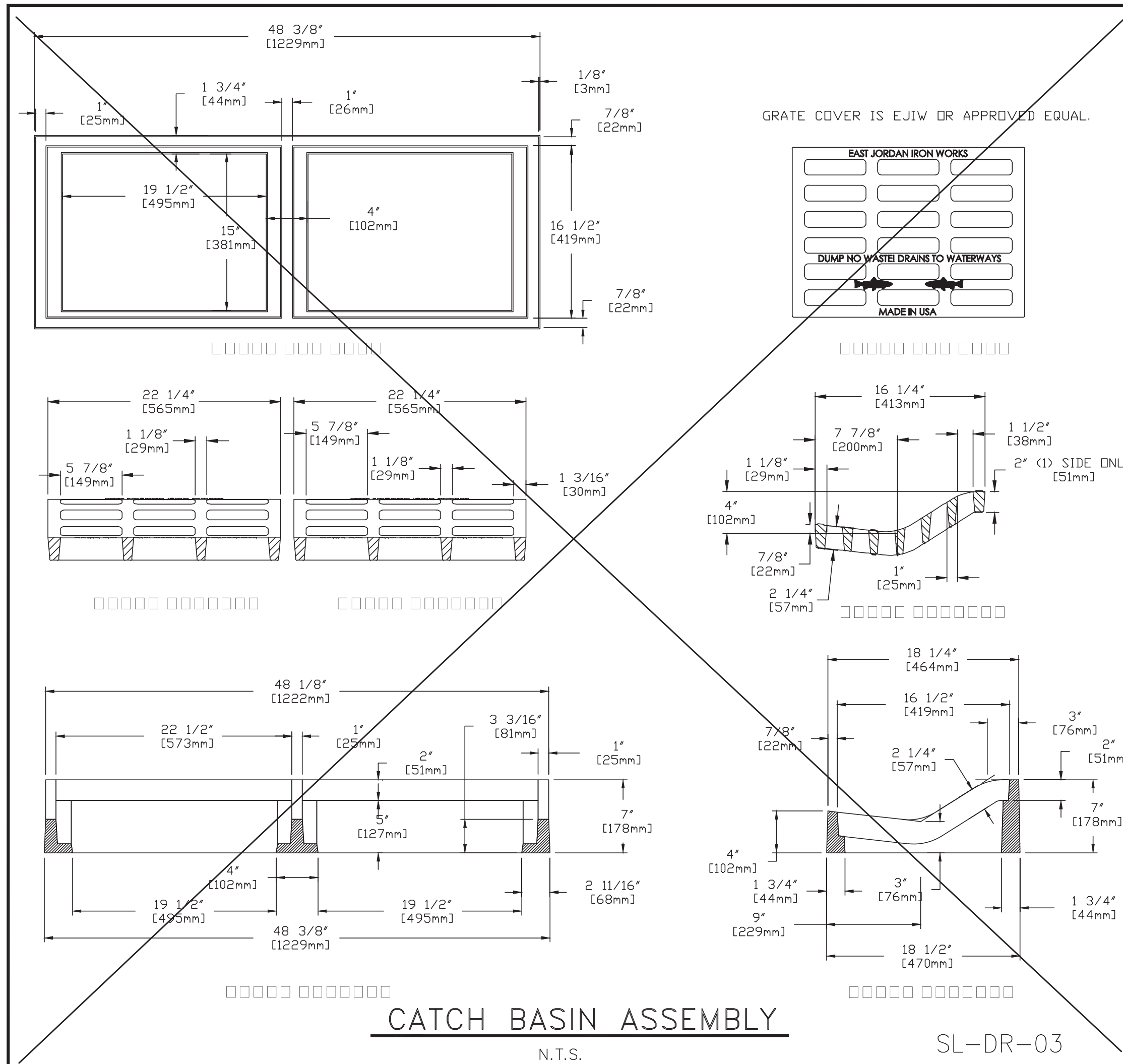
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DR 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

MISCELLANEOUS DETAILS
 PROJECT NO. 14396



No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

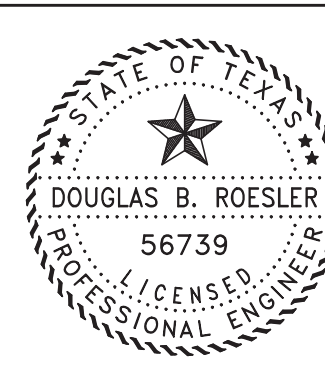
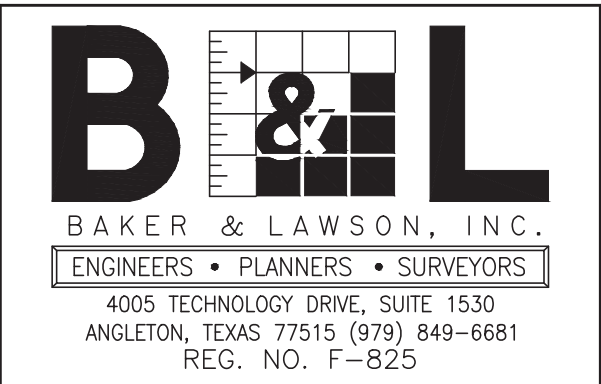
CONSTRUCTION PLANS FOR:
STORM SEWER MANHOLE CONSTRUCTION DETAILS

JOB No.: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____

SL-03
SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE



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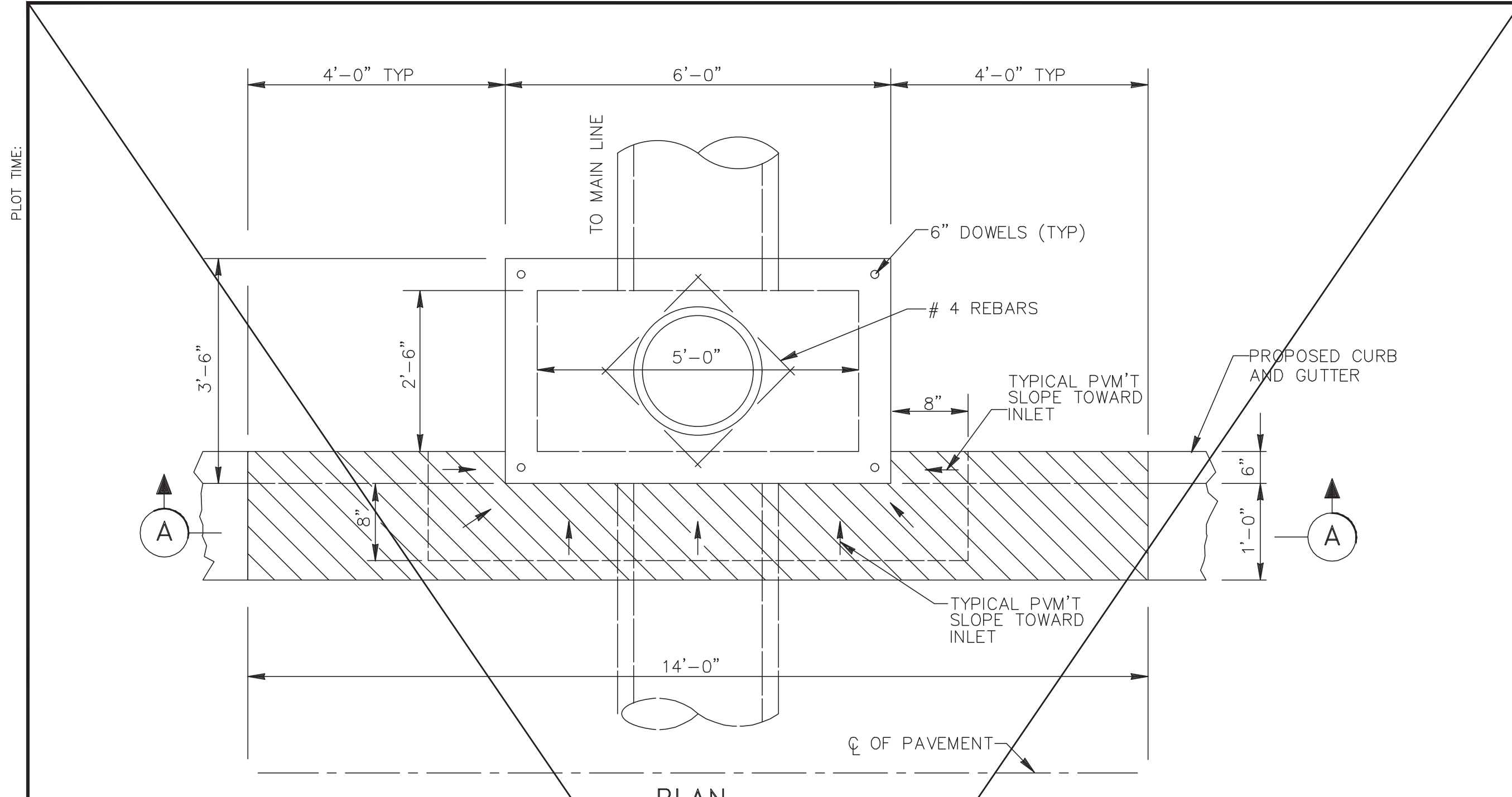
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

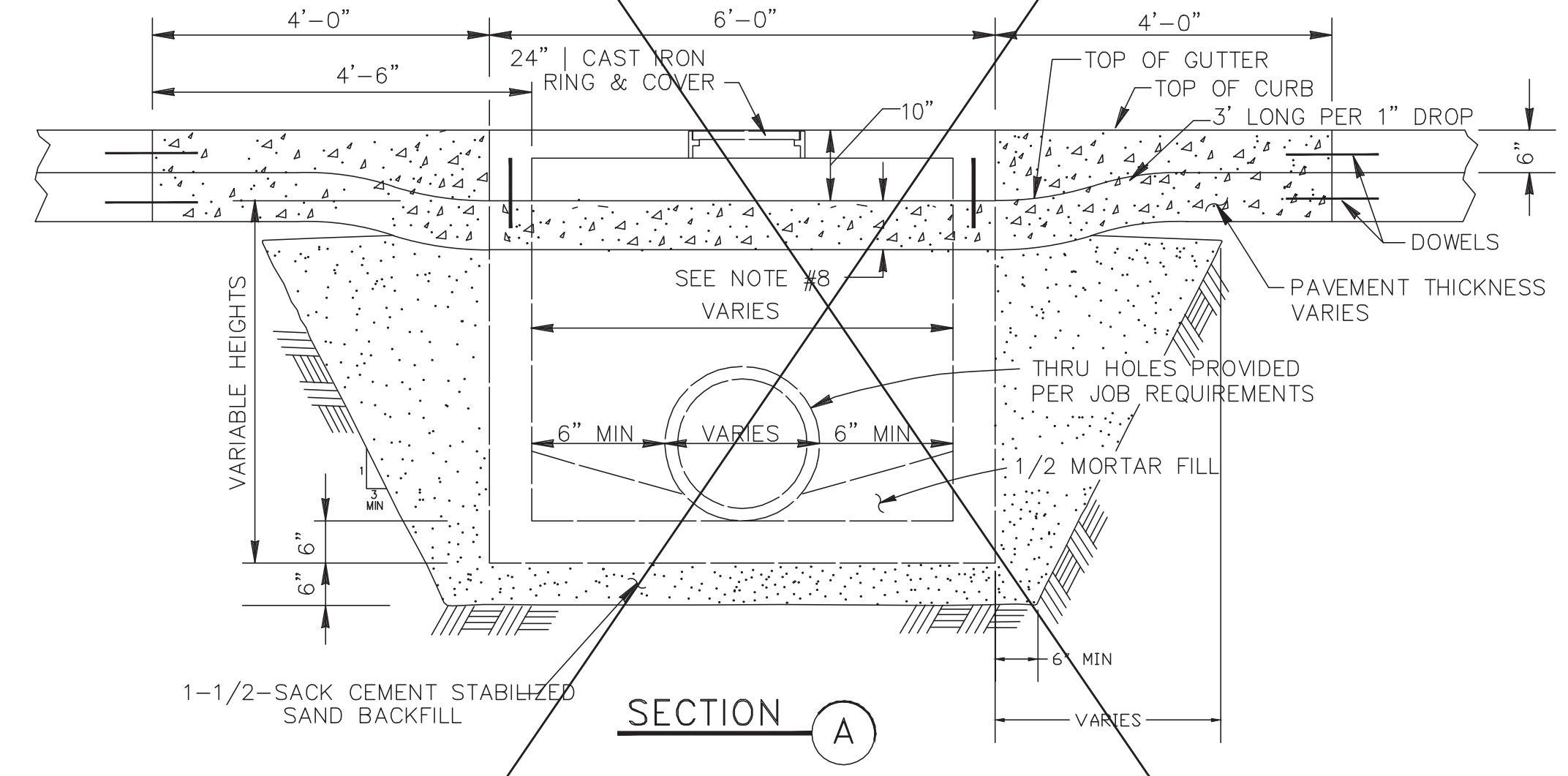
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER MANHOLE CONSTRUCTION DETAILS
 SL-03

PROJECT NO. 14396



PLAN

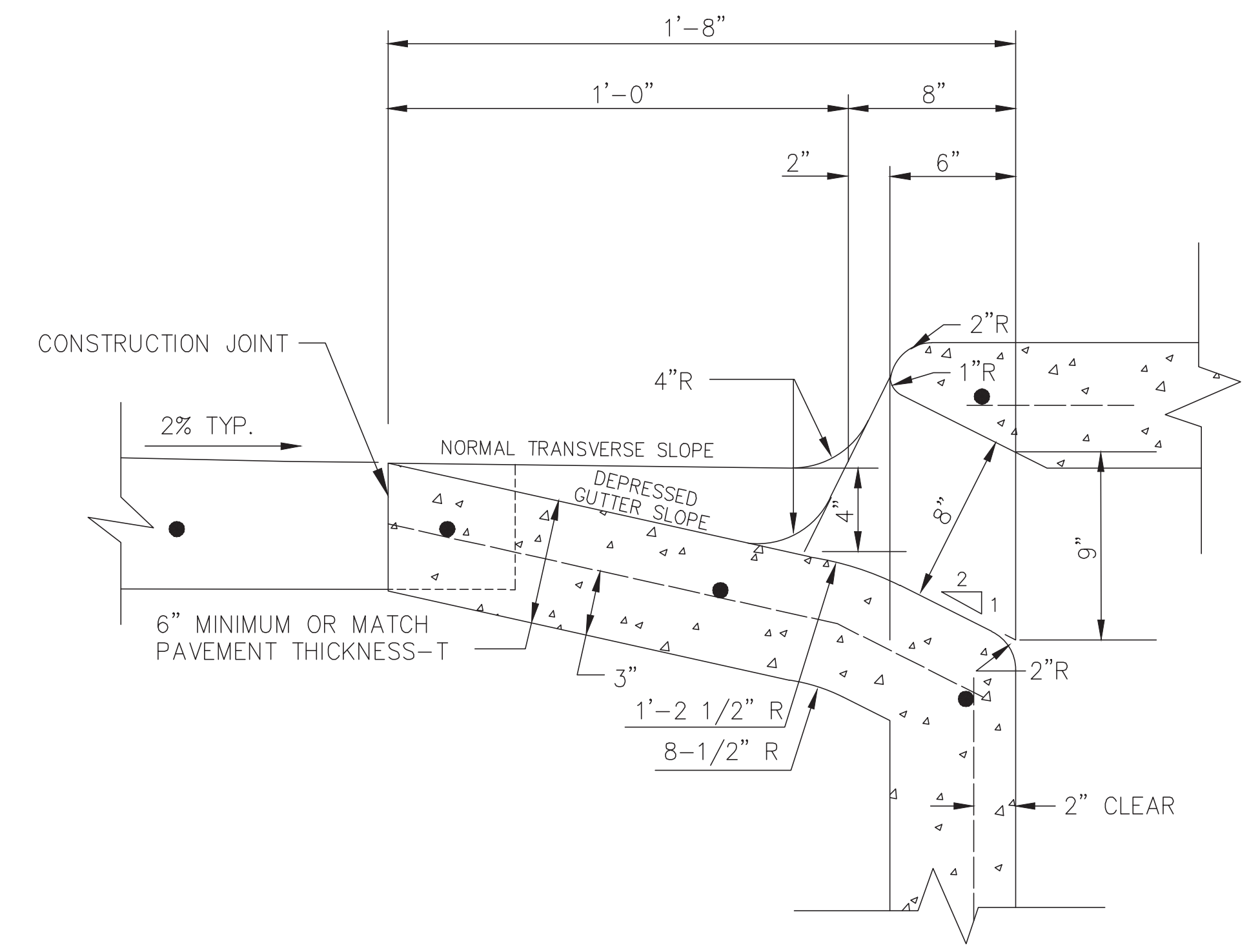


SECTION A

TYPE "H-2" INLET

SL-DR-25

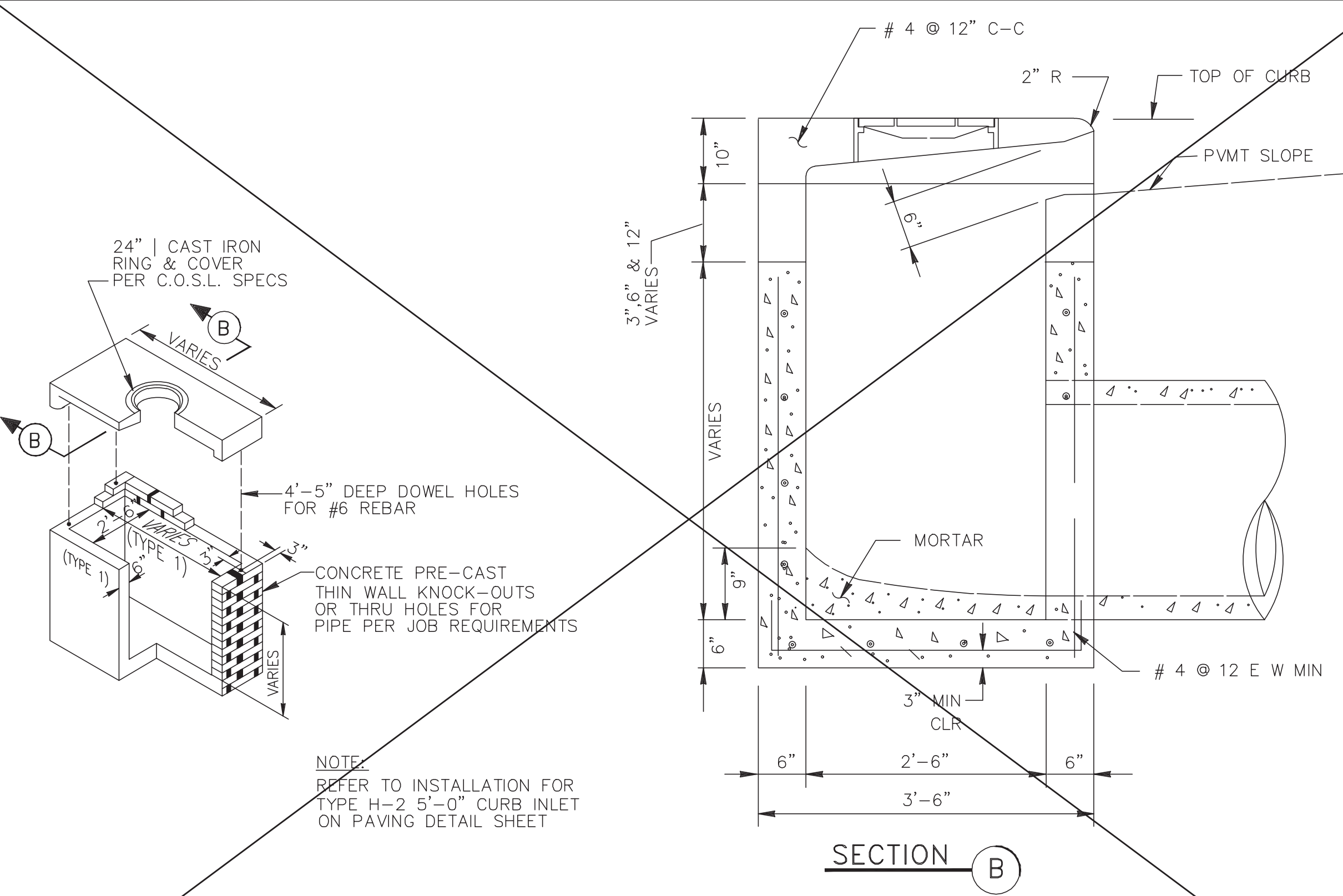
- NOTES:**
1. INLET WALLS MAY BE EXTENDED USING PRECAST RISER SECTION.
 2. INLET TOPS MUST BE SECURED TO THE INLET WALL USING #6 DOWELS DRILLED AND GROUTED A MINIMUM DEPTH OF 5" INTO THE INLET WALL. A PLAN PREPARED BY THE MANUFACTURER MUST BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. THE PLAN SHOULD DETAIL CONNECTIONS AND SEALING OF JOINTS.
 3. PRECAST INLET TOPS SHALL NOT UTILIZE MULTIPLE ONE-FOOT SECTIONS TO ACHIEVE GRADE.
 4. INLET BACKFILL SHALL BE CEMENT STABILIZED SAND TO THE TOP OF THE INLET FIRST STAGE.
 5. GRADE 60 REINFORCEMENT, #4 STEEL REBAR TO CONFORM TO ASTM A615 ON REQUIRED CENTERS OR EQUAL.
 6. PRECAST INLET MUST BE CONSTRUCTED TO SPECIFICATIONS REQUIRED BY APPROVED DRAWINGS. (SEE GENERAL NOTES).
 7. TOPS POURED-IN-PLACE REQUIRE #4 REBAR @ 12" C-C EACH WAY, 4,500 PSI CONCRETE MINIMUM AND 3" THICK MINIMUM.
 8. PAVEMENT DEPTH AT INLET SHALL BE EQUAL TO OR GREATER THAN REQUIRED PAVEMENT DEPTH.
 9. DEPRESS GUTTER TO INLET.
 10. ALL SIDES OF ALL INLETS MUST BE COMPACTED.
 11. REFER TO GEOTECHNICAL REPORTS FOR RECOMMENDED TRENCH SIDE SLOPES.



THROAT DETAIL FOR STANDARD INLETS ON CONCRETE STREETS

SCALE: N.T.S.

SL-DR-40




SECTION B

TYPE "H-2" PRECAST INLET

N.T.S.

SL-DR-26

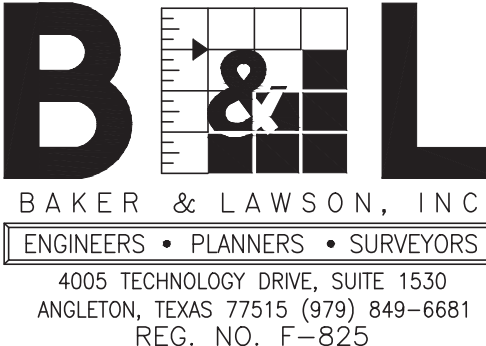
- REFER TO:**
1. GENERAL NOTES
 2. SEE C.S.S., PAVEMENT NOTES

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE: _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
STORM SEWER INLET CONSTRUCTION DETAILS II		
JOB No.:	DATE:	SL-08
DRAWN BY:	CHECKED BY:	SHEET OF
SCALE:		

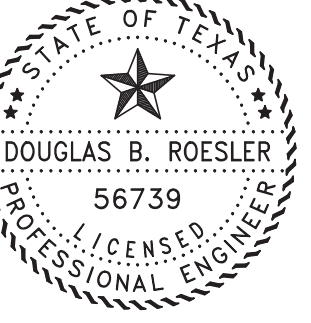
CAD FILE PATH:
PLOT DATE:

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED:
DATE:



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DOR 03-03-2023

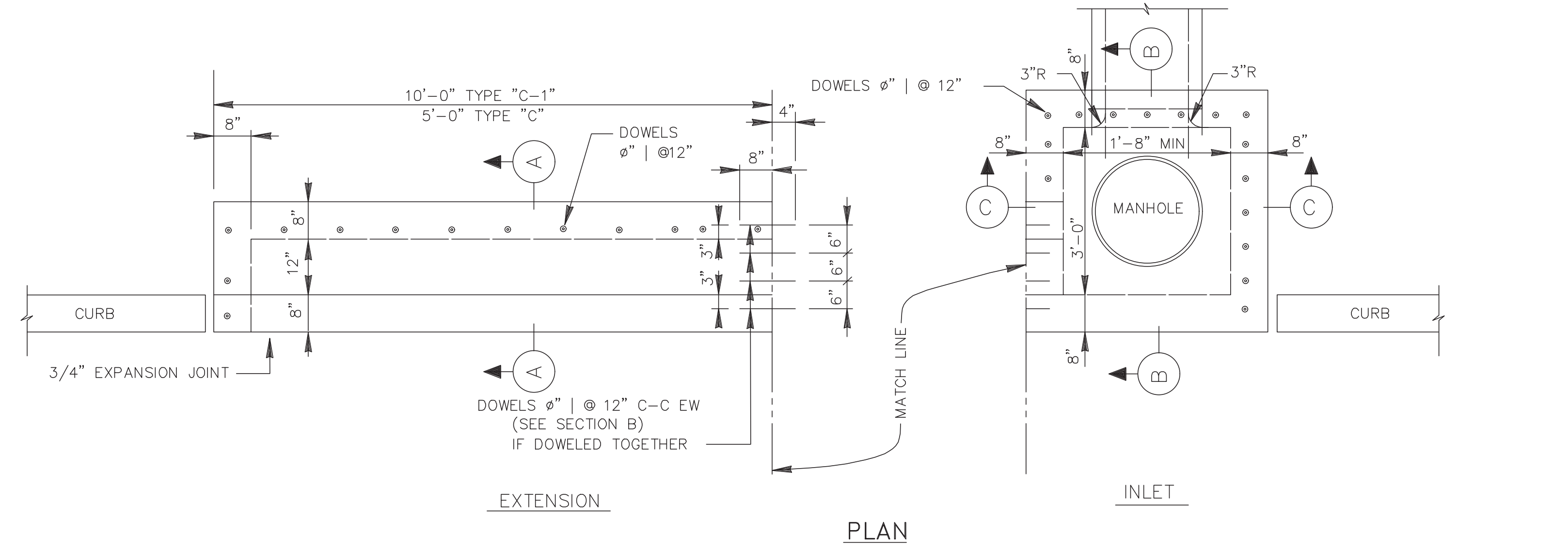
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER INLET
CONSTRUCTION DETAILS II
SL-08

PROJECT NO. 14396

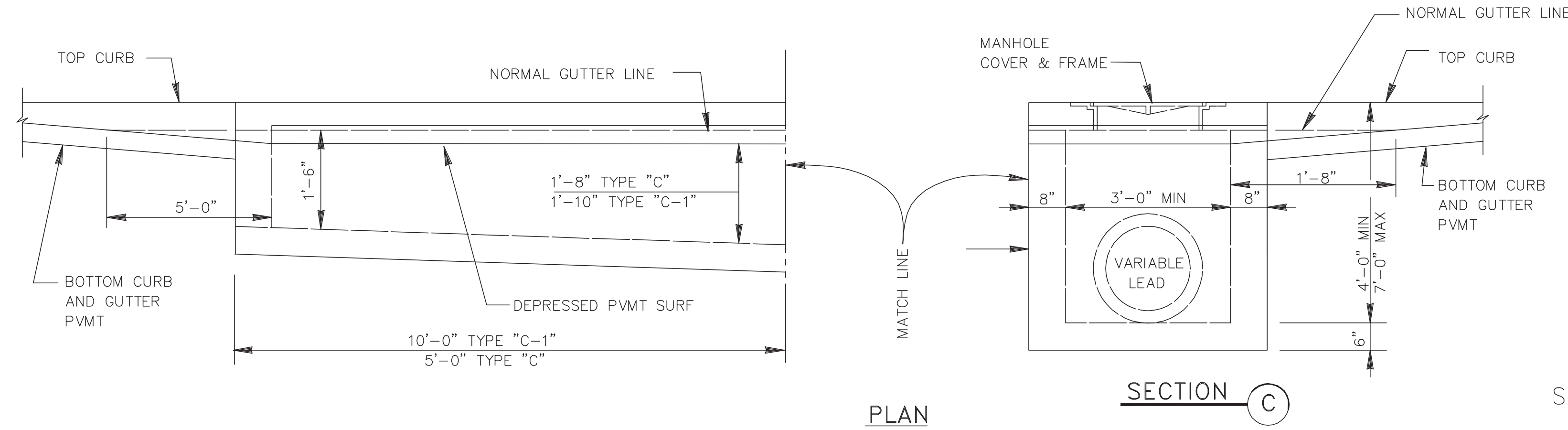


GENERAL NOTES:

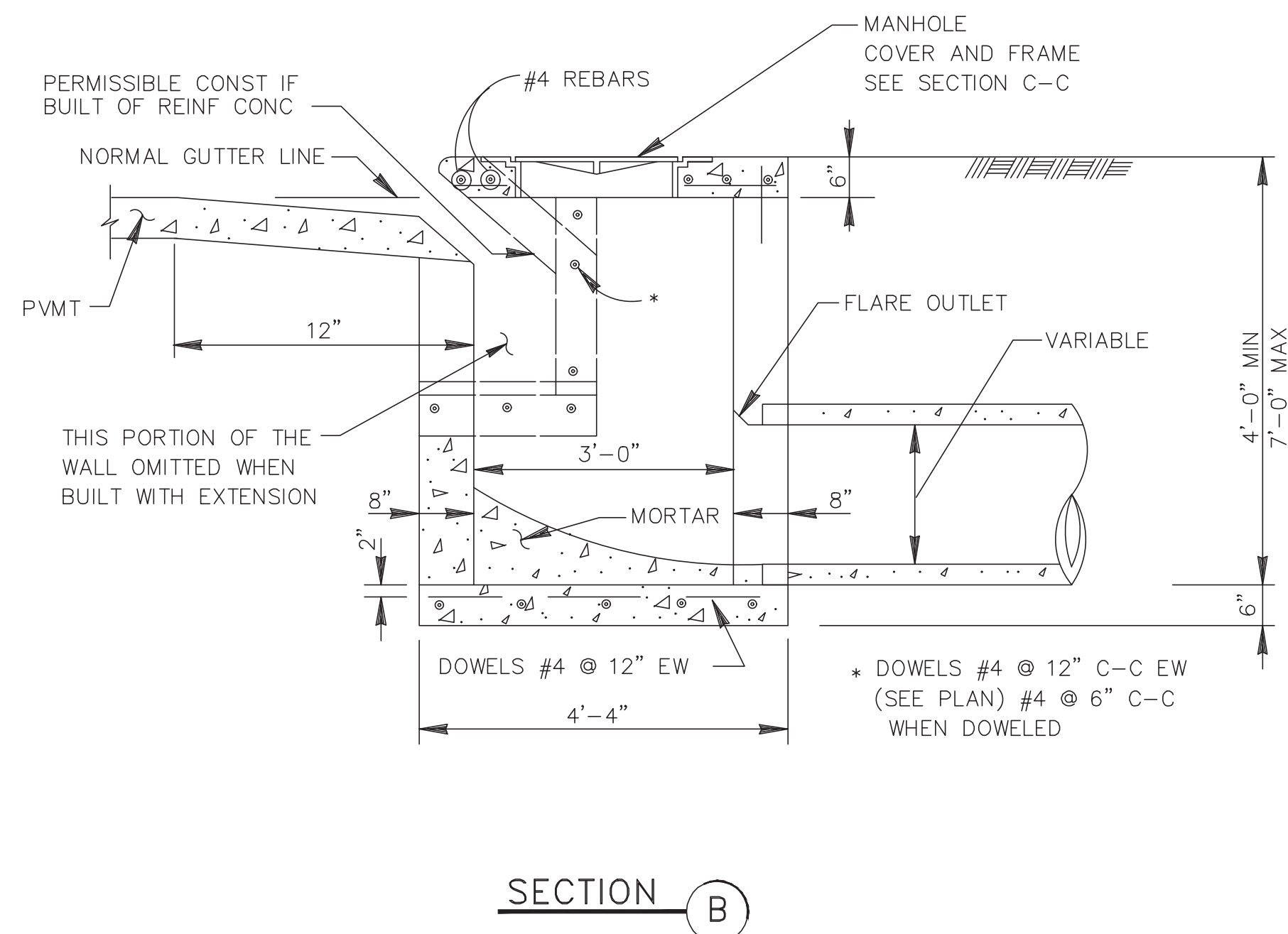
TYPE "C" INLET WITH ONE EXTENSION
 TYPE "C-1" INLET WITH DOUBLE EXTENSION
 TYPE "C-2" INLET WITH EXTEN. ON EACH SIDE
 TYPE "C-2A" INLET WITH NO EXTENSION

NOTES:

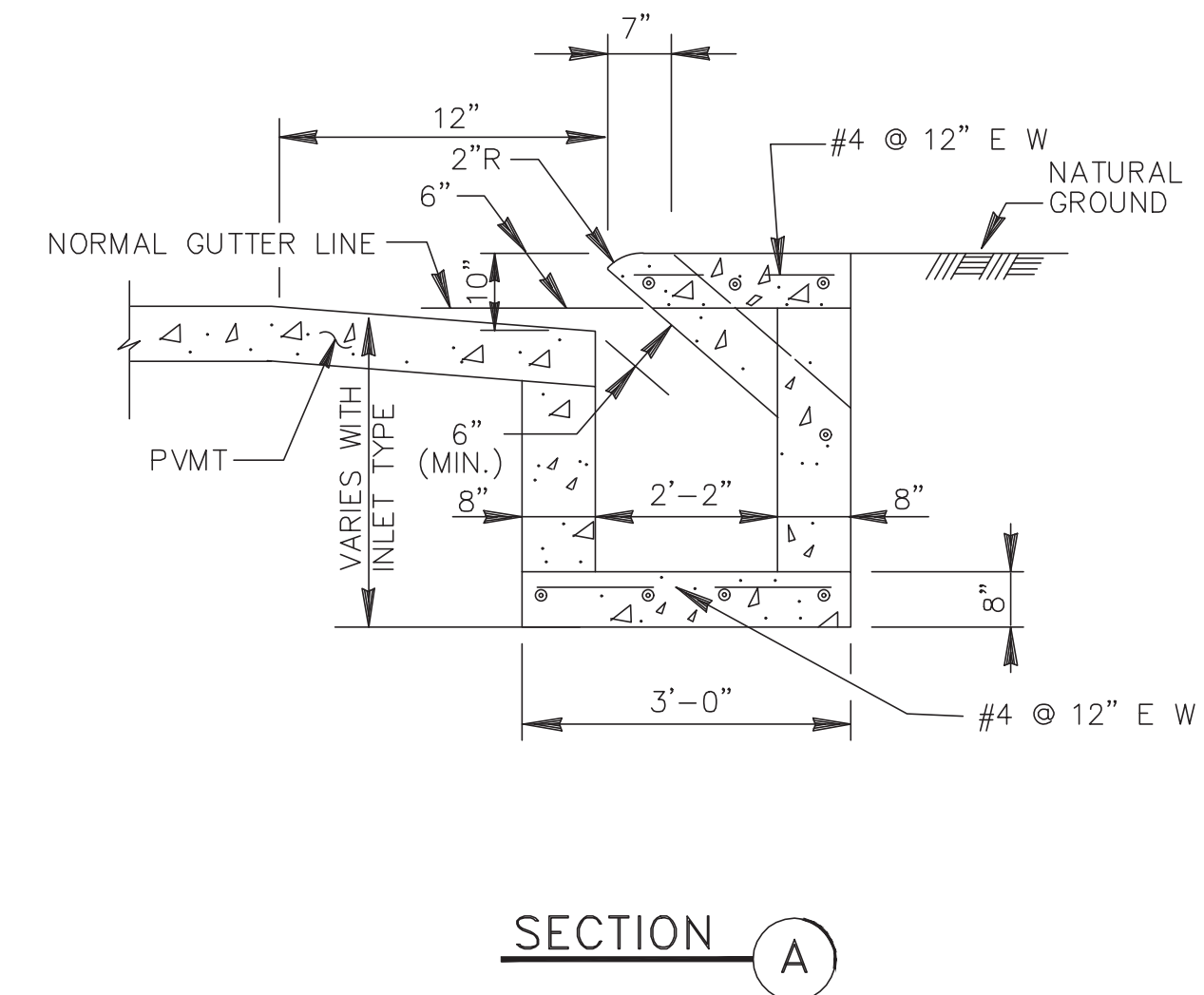
1. FOR TYPE "C-1" INLETS PROVIDE A CENTER 6"X6" COLUMNS IN THE CURB LINE BETWEEN ALL EXTENSIONS.
2. WALLS TO BE 8" IF BUILT WITH REINFORCED CONCRETE. BRICK WALLS ARE NOT ALLOWED.



SL-DR-27



SECTION B



SECTION A


TYPE "C" INLET

N.T.S.

SL-DR-28

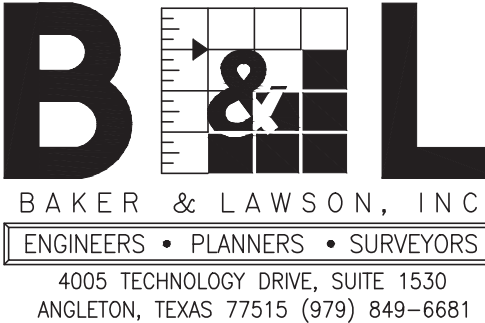
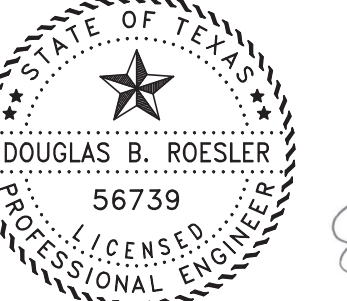
REFER TO:

1. GENERAL NOTES
2. STORM SEWER NOTES

No.	DATE	REVISION
DESIGN ENGINEER: _____		DATE: _____
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT CONSTRUCTION PLANS FOR:		
STORM SEWER INLET CONSTRUCTION DETAILS III		
JOB No.: _____	DATE: _____	SL-09
DRAWN BY: _____	CHECKED BY: _____	SHEET OF _____
SCALE: _____		

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED _____
 DATE _____

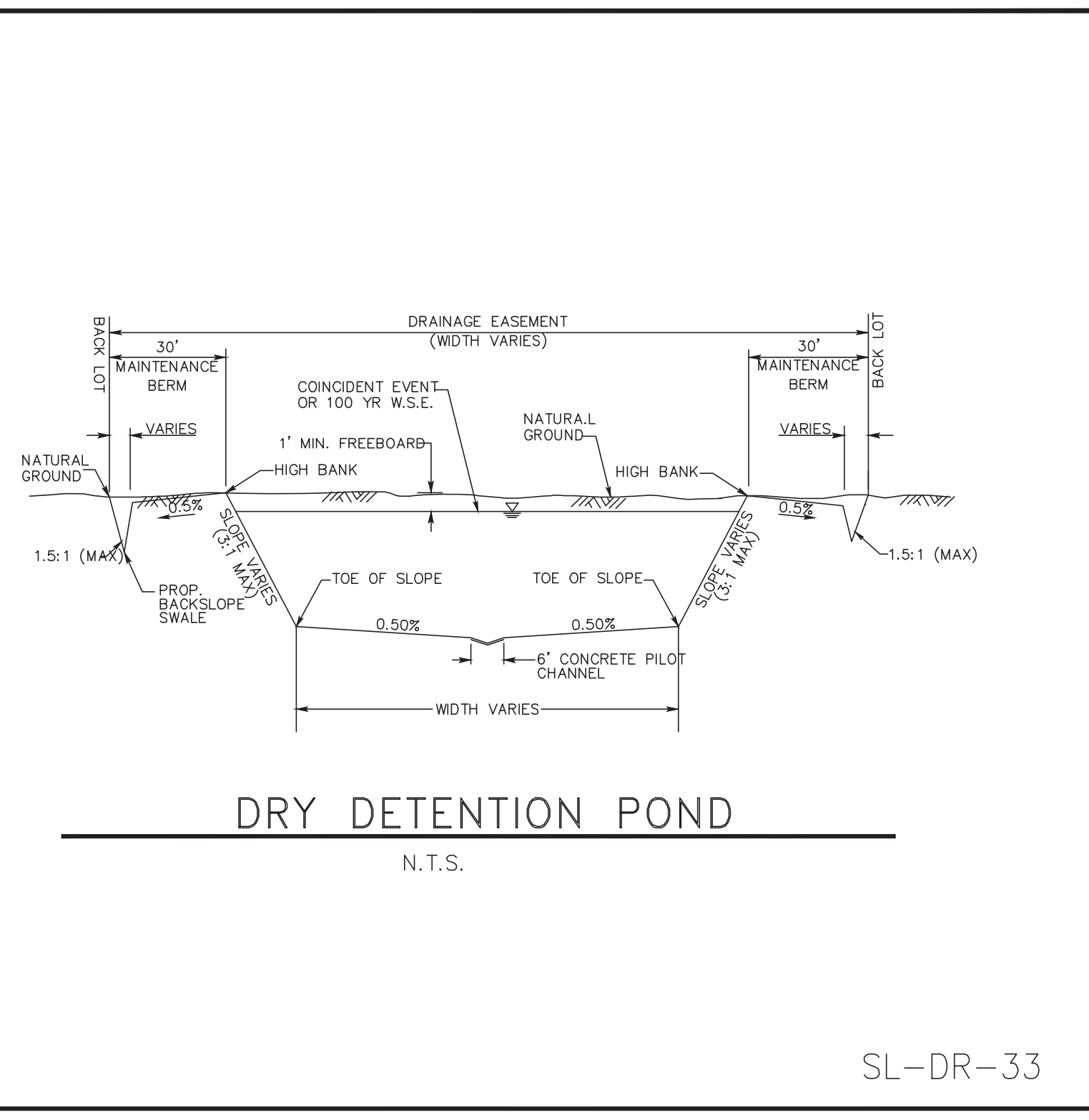
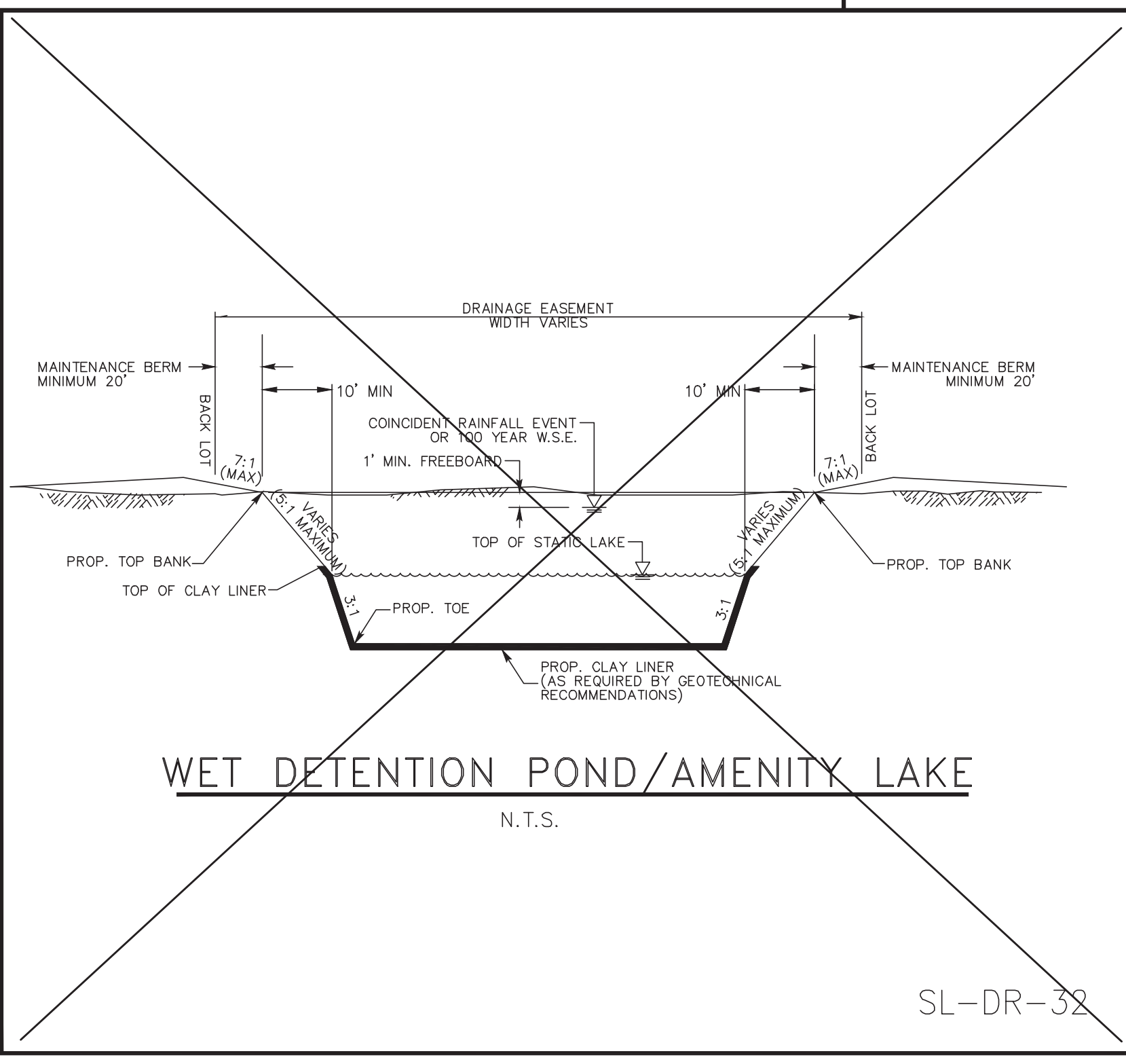
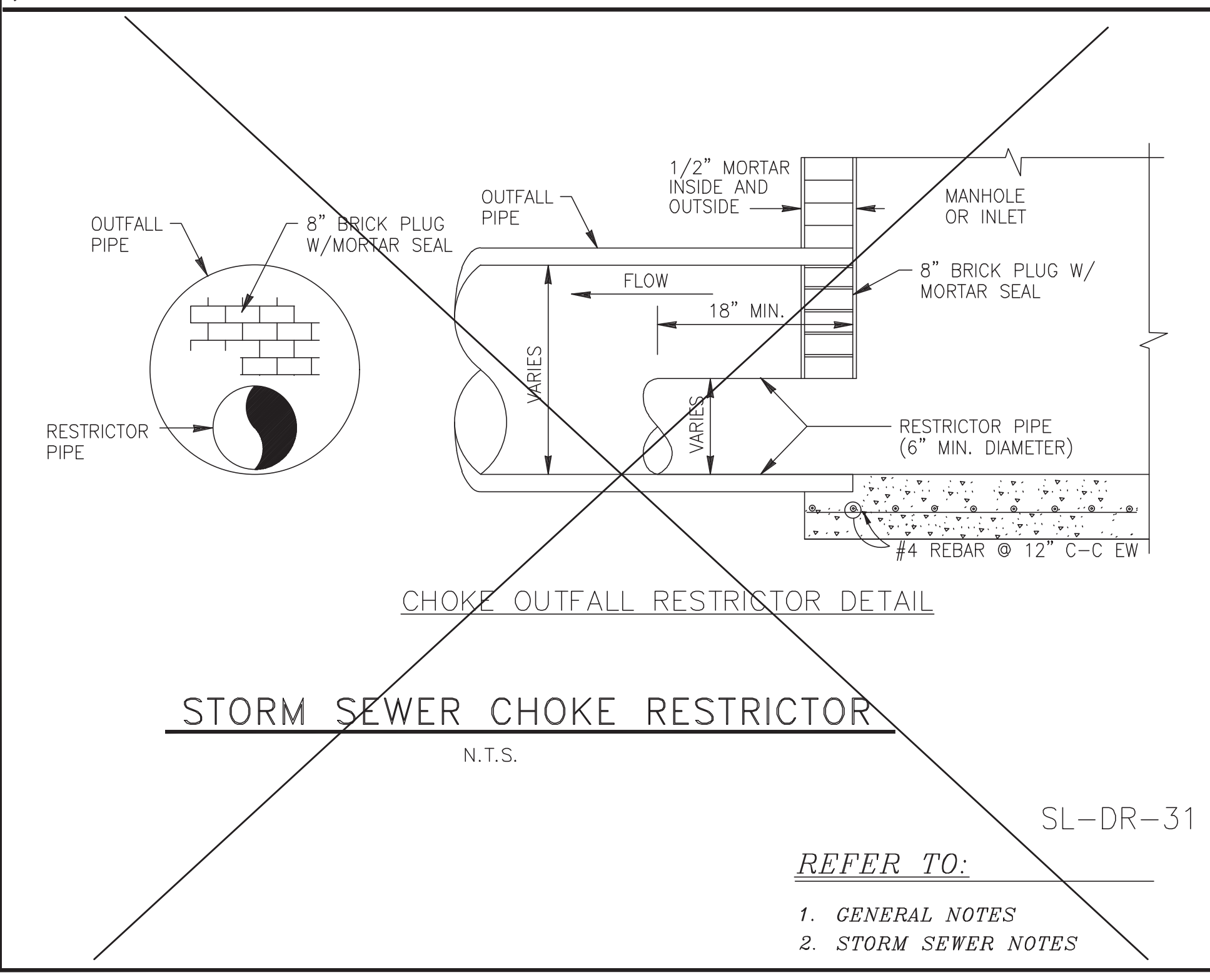
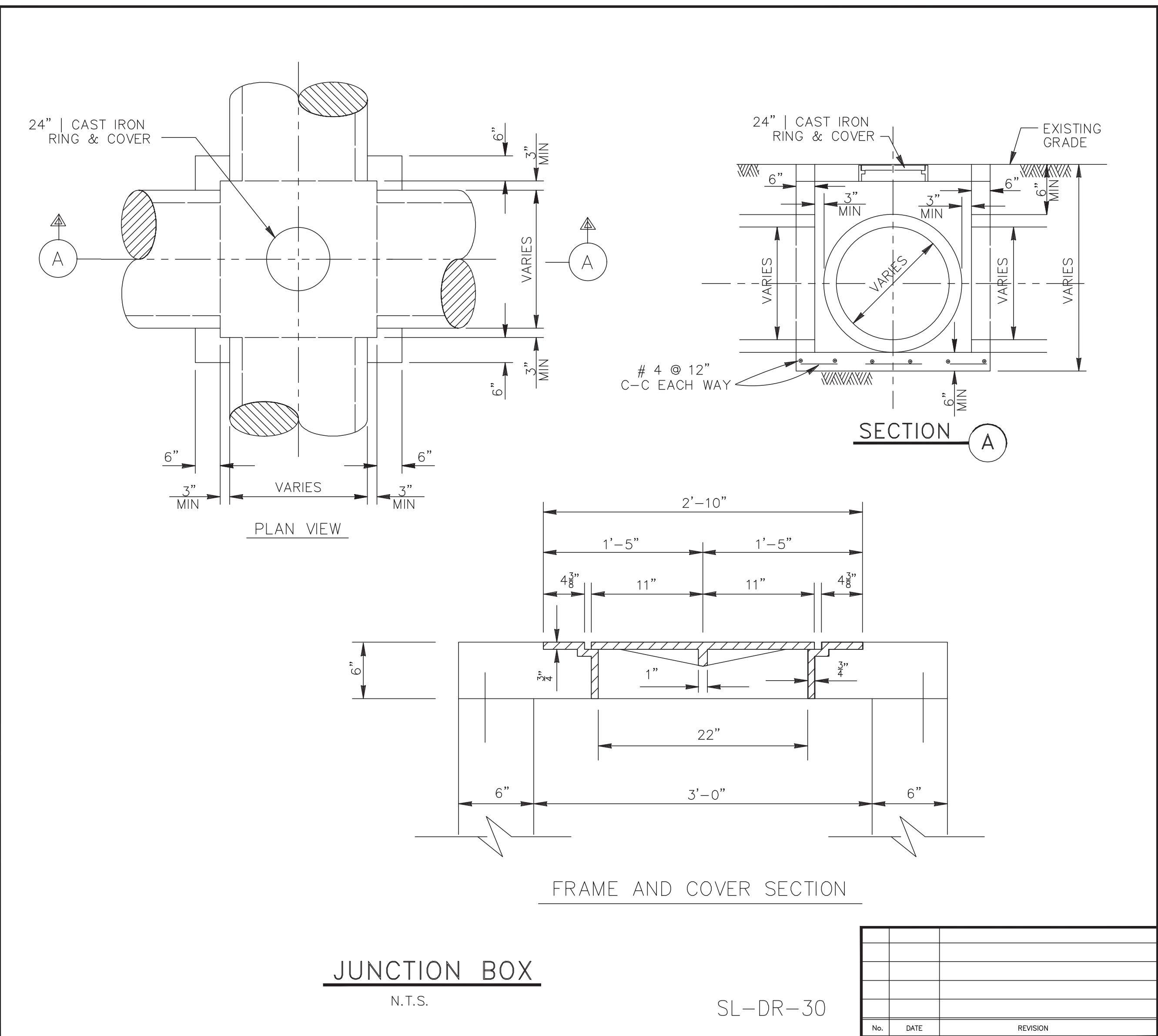
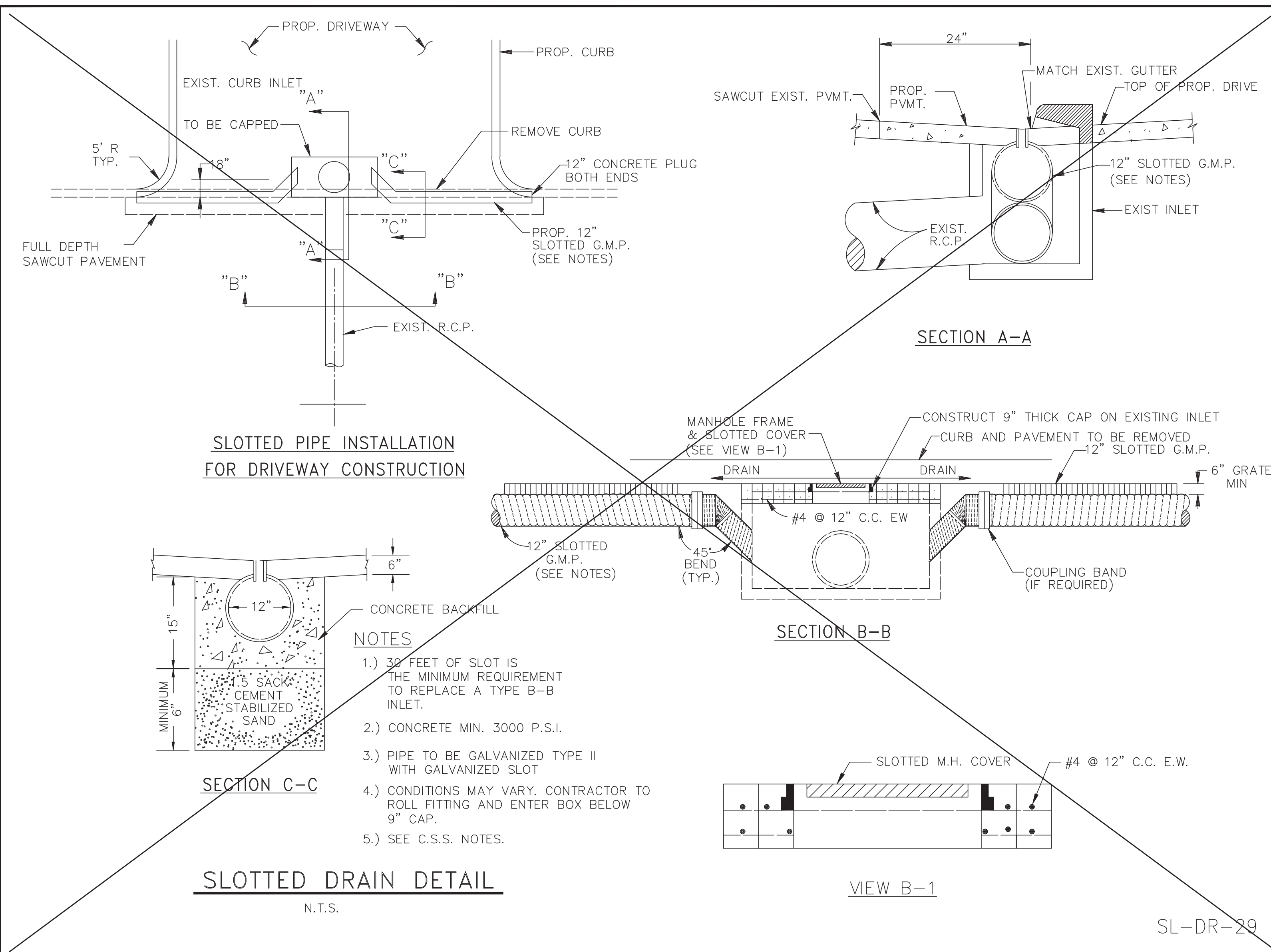
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

STORM SEWER INLET
 CONSTRUCTION DETAILS III
 SL-09

PROJECT NO. 14396



NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS

ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

STORM SEWER CONSTRUCTION DETAILS

JOB No.: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____

SL-10

SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
 DRAWN: BT
 CHECKED: _____
 DATE: _____

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6661
 REG. NO. F-825

The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739

DOUGLAS B. ROESSLER
 56739
 LICENSED PROFESSIONAL ENGINEER

03-03-2023

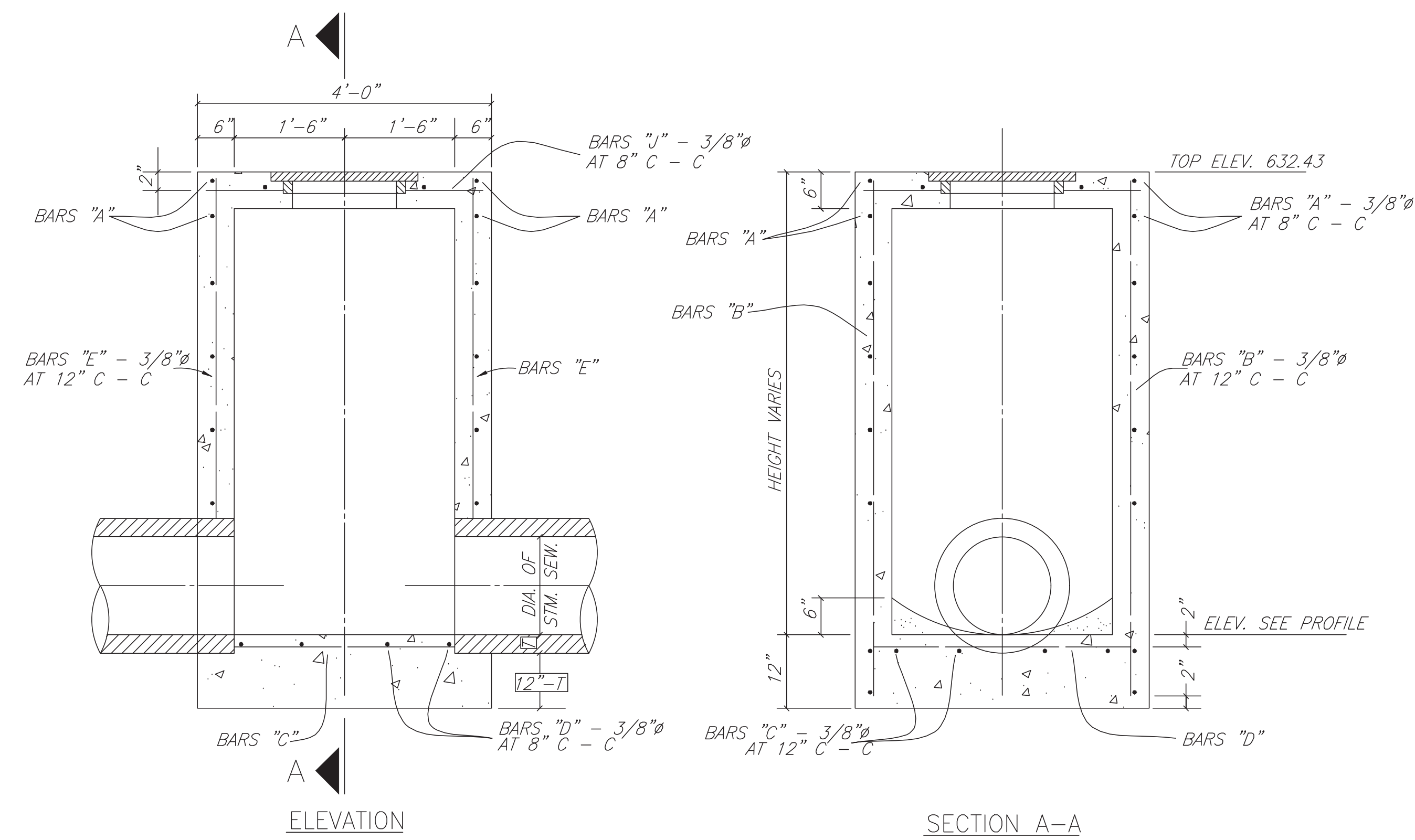
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 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: _____
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 HORIZONTAL: _____
 VERTICAL: _____

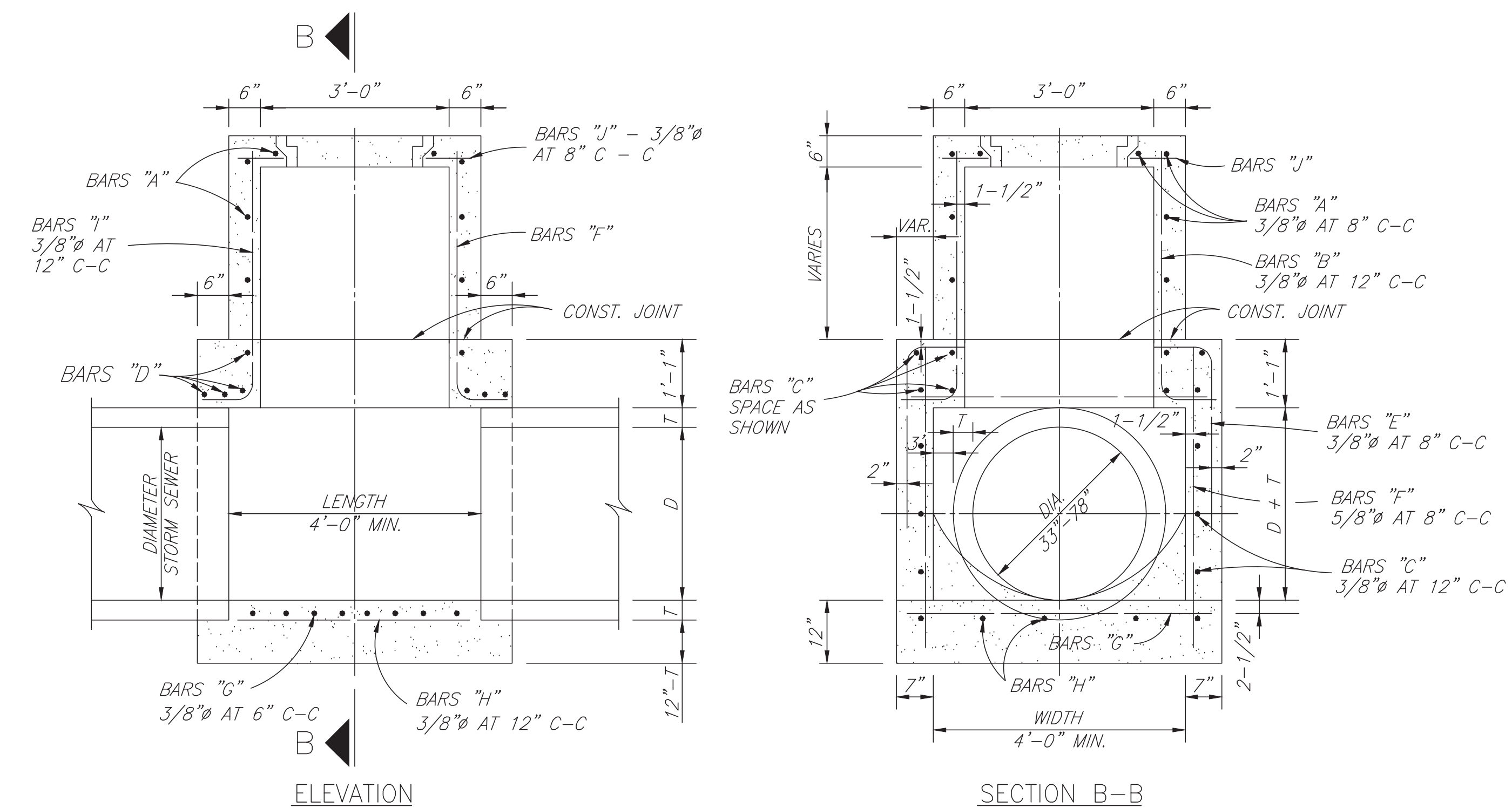
RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

STORM SEWER CONSTRUCTION DETAILS
 SL-10


PROJECT NO. 14396



STORM SEWER TYPE A MANHOLE
MAX. PIPE SIZE 30" - N.T.S.

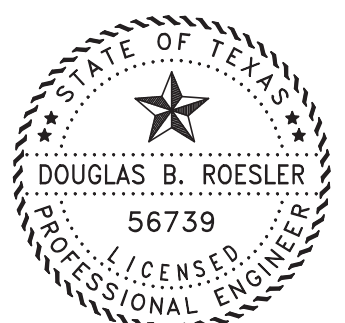


TYPE B STORM SEWER MANHOLE
MAX. PIPE SIZE 78" - N.T.S.

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
JUNCTION BOX MANHOLES		
JOB No.:	DATE:	SL-11
DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	SHEET	OF

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

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 03-03-2023

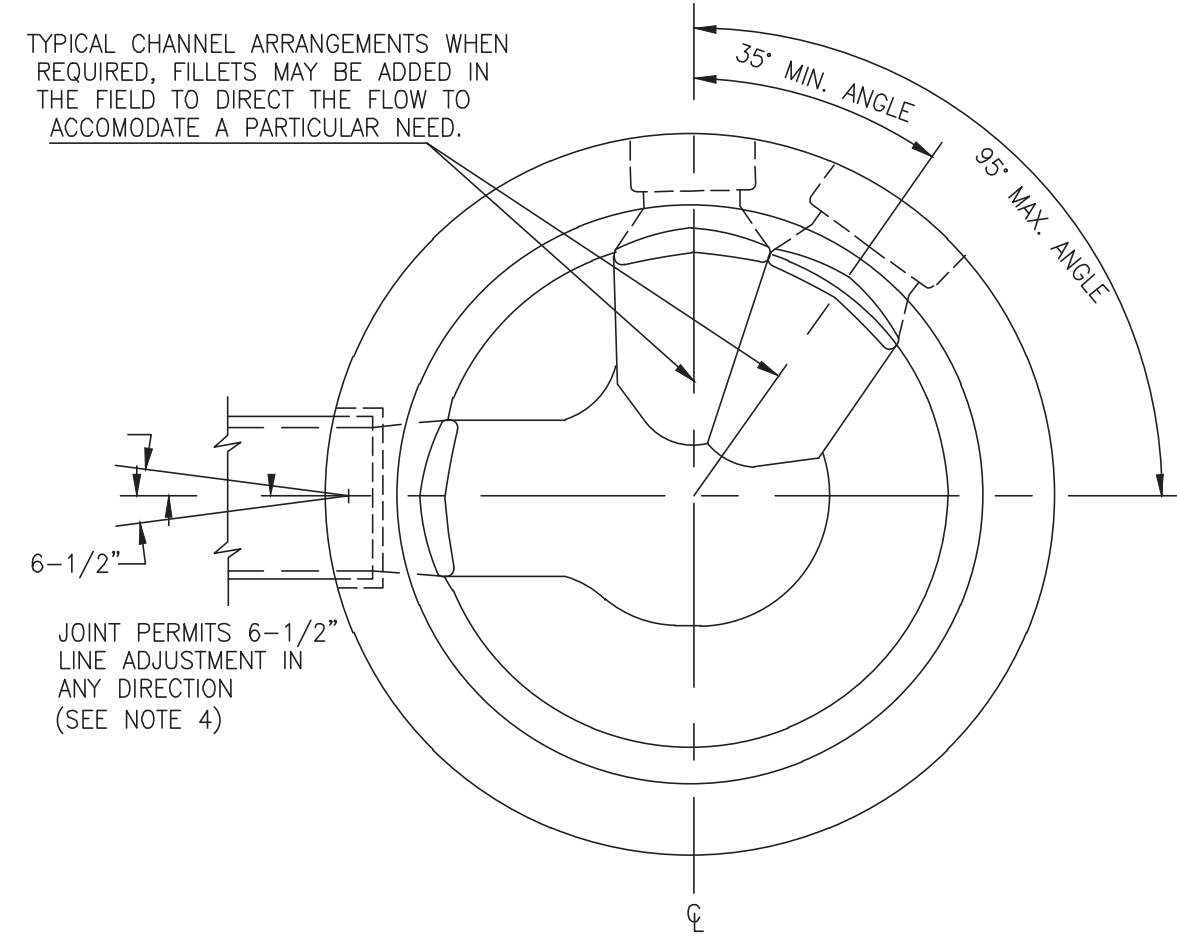
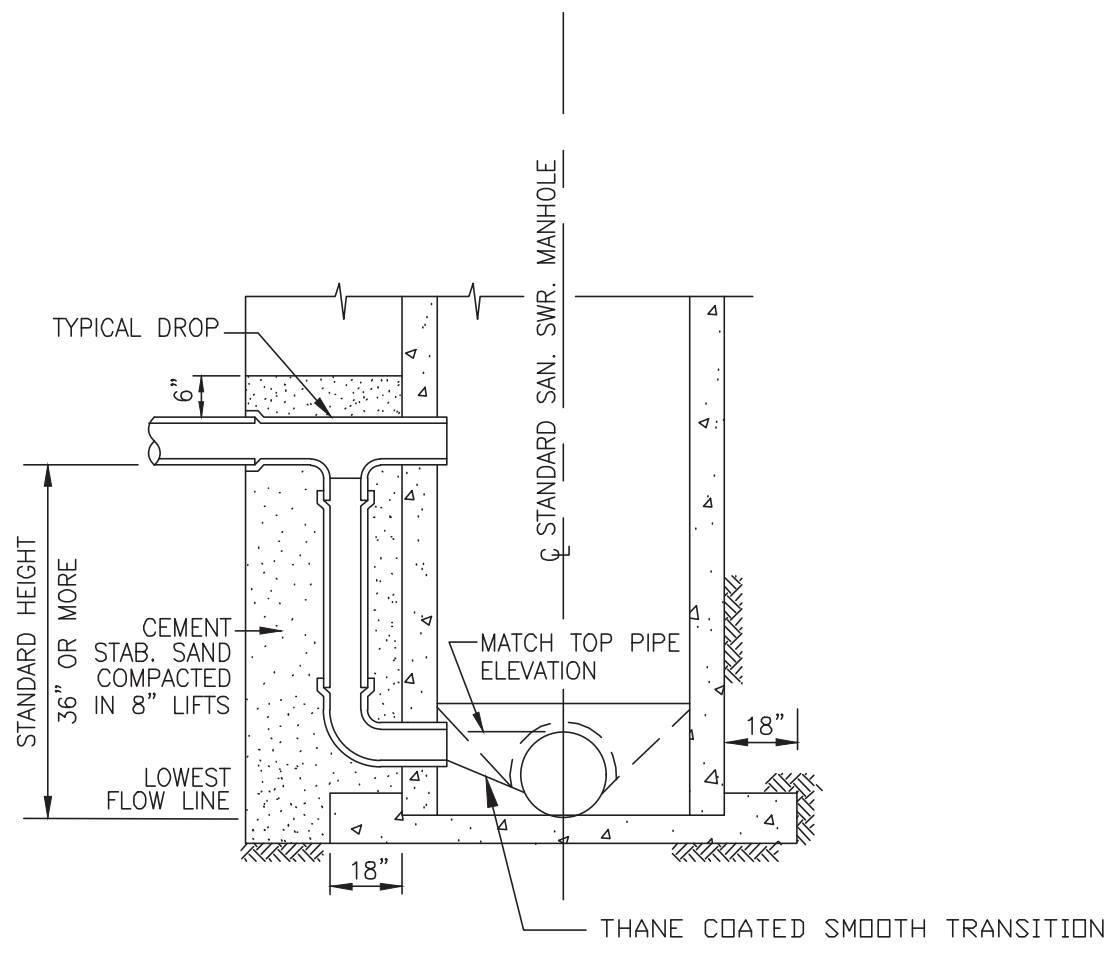
OWNER:
RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A.
 HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

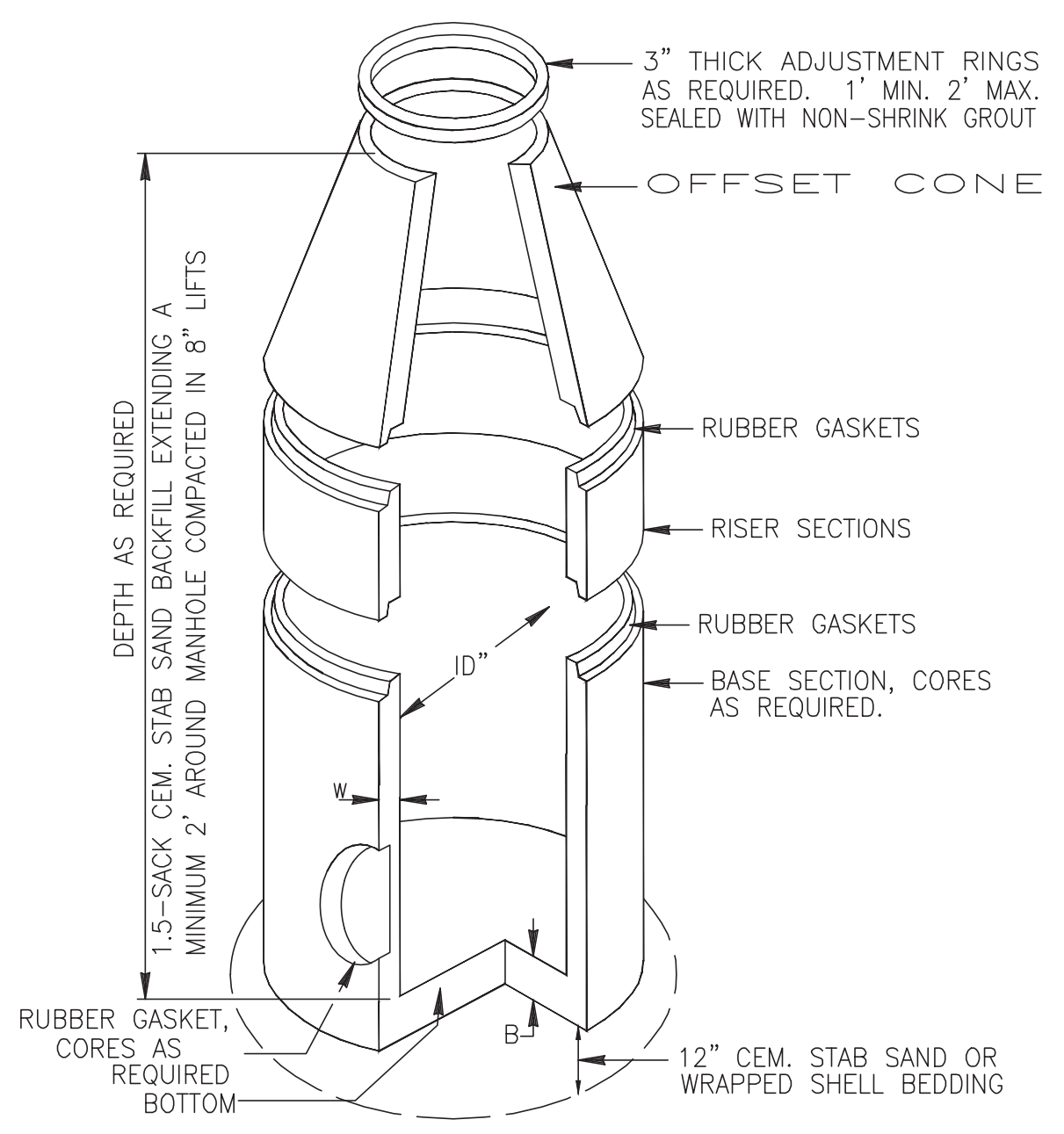
RIVERWOOD RANCH SUBDIVISION
 SECTIONS 3 & 4
 A 35.620 AC, 145-LOT SUBDIVISION
 ANGLETON, TEXAS 77515

JUNCTION BOX MANHOLES
 SL-11

PROJECT NO. 14396

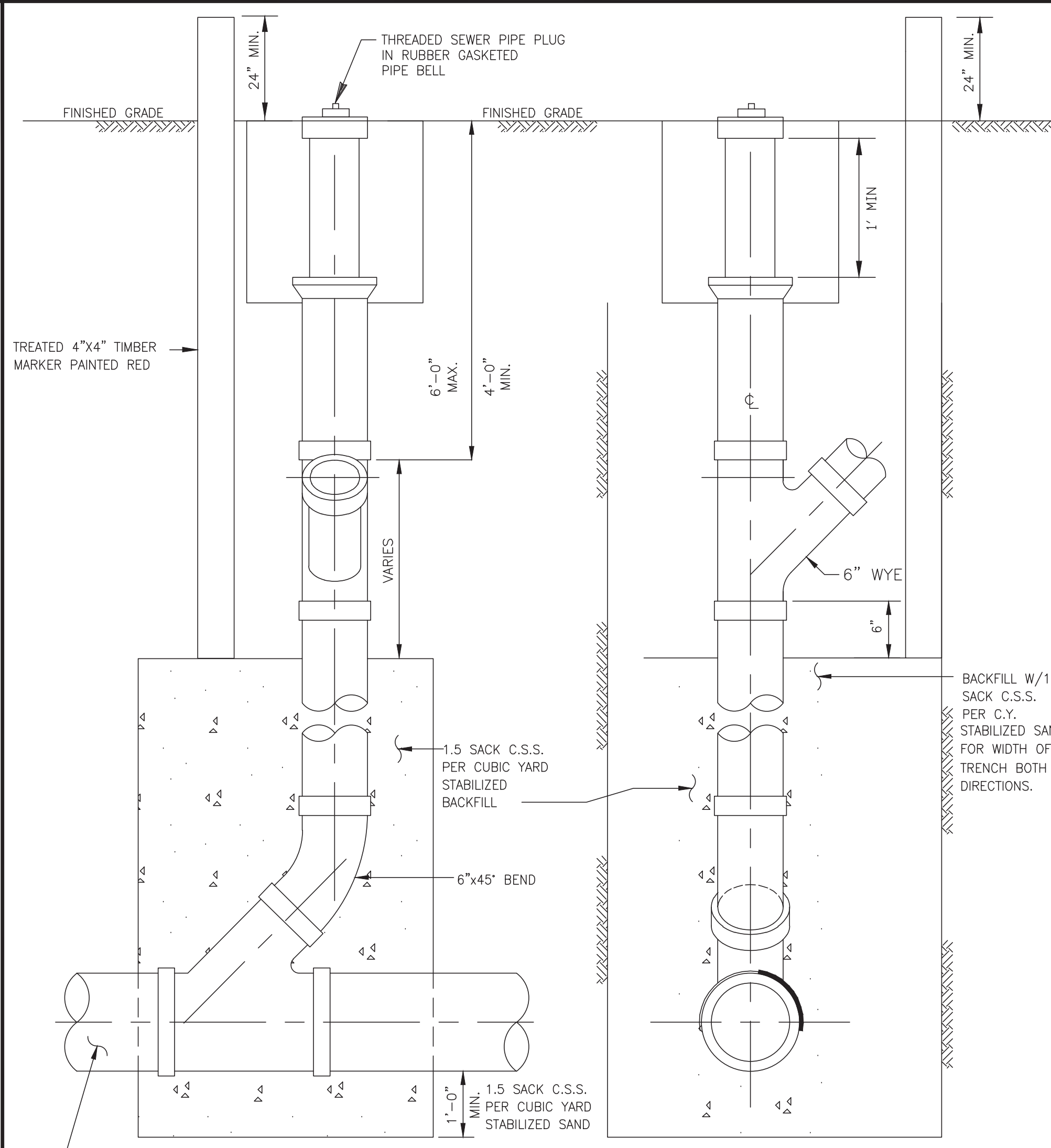


- NOTE:**
1. INFLUENT AND EXFLUENT PIPING CONNECTIONS TO MANHOLE SHALL BE ALIGNED TO PREVENT REVERSE FLOW.
 2. INFLUENT AND EXFLUENT CONNECTIONS ARE LIMITED TO A MAXIMUM 90° INCLUDED ANGLE OF CONVERGENCE.
 3. MINIMUM 35° AND MAXIMUM 90° INCLUDED ANGLES MUST BE PROVIDED BETWEEN MULTIPLE INFLUENT CONNECTIONS.
 4. ANGLE OF DEFLECTION AT PIPING JOINTS AS PER MANUFACTURE'S RECOMMENDATIONS.



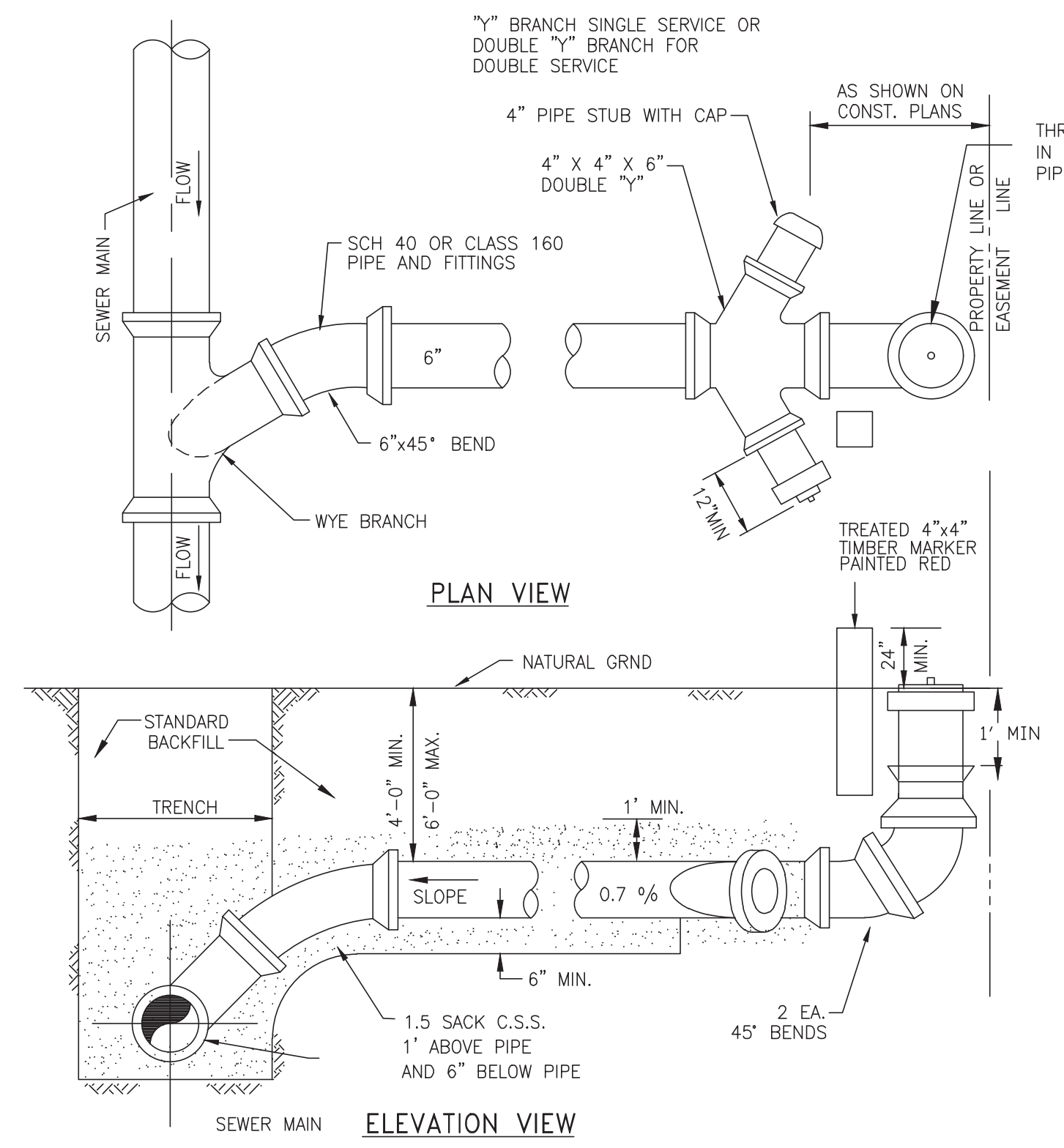
- SPECIFICATIONS:**
- CONCRETE: CLASS 1 CONCRETE WITH A DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. RATES FOR H-20 LOADING.
 - REINFORCEMENT: STRUCTURAL REINFORCEMENT CONFORMING TO ASTM-C-478.
 - C.I. CASTINGS: CAST IRON FRAMES AND LIDS ARE MANUFACTURED OF GREY CAST IRON CONFORMING TO ASTM A48-76 CLASS 35.

- NOTES**
1. LIFTING INSERTS AS REQUIRED.
 2. ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET
 3. STRUCTURE TO BE PLACED ON 12" STABILIZED BASE.
 4. C.S.S. SHALL BE BROUGHT TO WITHIN 2'-FT OF TOP OF MANHOLE.
 5. PRE-CAST MANHOLE SHALL BE IN COMPLIANCE APPROVED PRODUCT LIST.
 6. THANE COAT SHALL BE IN COMPLIANCE WITH APPROVED PRODUCT LIST.
 7. INVERTS SHALL COMPLY WITH C.O.S.L., DESIGN MANUAL SPECIFICATIONS.
 8. INFLOW PROTECTORS REQUIRED ON ALL SANITARY MANHOLES.
 9. REFER TO SANITARY MANHOLE LIDS, C.S.S. NOTES, MODIFIED BEDDING DETAILS AND NOTES.



- NOTES:**
- A.) NO STACKS ON MAINS OVER 16' DEEP OR IN WET SAND CONDITIONS.
 - B.) ALL STACK CONNECTIONS SHALL BE IN-LINE FITTINGS.

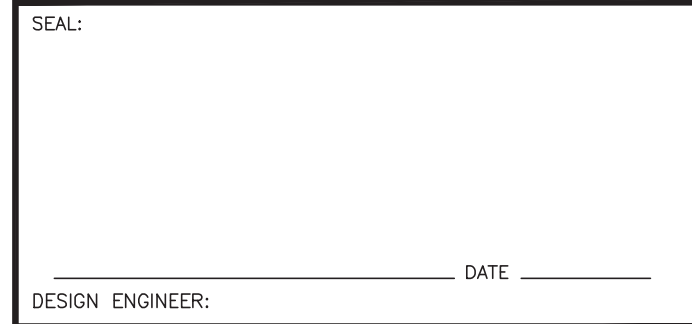
- NOTES:**
1. CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
 2. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
 3. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF FOUR FOOT FROM BACK OF CURB ON CURB AND GUTTER ROADWAYS AND THREE FEET FROM EDGE OF TRAVELLED ROADWAY ON THOSE THOROUGHFARES HAVING NO CURBING, MEASURED FROM OUTSIDE DIAMETER OF MANHOLE. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE SPECIFICALLY AUTHORIZED BY CITY ENGINEER AND SO DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS.
 4. ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF SUGAR LAND EMBLEM AND THE WORDS "SUGAR LAND" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS SHEETS. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS.
 5. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER FINAL GRADING. ADJUSTMENTS TO MANHOLE RIM ELEVATIONS SHALL BE ACCOMPLISHED BY THE USE OF THROAT RINGS ONLY (MAX. OF 24 INCHES PERMITTED). THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM.
 6. DROP CONNECTIONS ARE REQUIRED WHEN INVERT ELEVATION OF SEWER LINE TO BE CONNECTED EXCEEDS 36 INCHES DISTANCE ABOVE INVERT ELEVATION OF MANHOLE BASE. ALL DROP CONNECTIONS SHALL BE CONSTRUCTED OF SAME MATERIALS AS SEWER AND SHALL BE CONSTRUCTED EXTERIOR TO MANHOLE. PIPE CONNECTIONS TO MANHOLES SHALL BE SO CONSTRUCTED AS TO BE WATERTIGHT AND TO ALIGN UPPER INSIDE PIPE WALL ELEVATIONS OF ALL PIPING CONNECTED TO BASE OF MANHOLE UNIFORMLY, REGARDLESS OF PIPE DIAMETERS. DROP ASSEMBLIES SHALL BE BEDDED IN CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL EXTEND A MINIMUM OF SIX INCHES PAST PIPING LATERALLY FROM BASE OF MANHOLE UPWARD TO A POINT SIX INCHES (MINIMUM) ABOVE THE HORIZONTAL SEWER PIPING WHERE CONNECTED TO THE MANHOLE ABOVE THE VERTICAL DROP.
 7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECORED HOLES OF CORRECT DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHISELS AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT STATIONS.
 8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.
 9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
 10. SANITARY SEWER SERVICE LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE.
 11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB", "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED.
 12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.
 13. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY INFRASTRUCTURE STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY NOTIFY THE CITY OF ALL CONSTRUCTION ACTIVITIES AND TO CONFORM TO CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT INSPECTION POLICY.
 14. C.S.S. 1' ABOVE PIPE AND 6" BELOW PIPE MINIMUM.
 15. SEE GENERAL NOTES AND C.S.S. NOTES.



No.	DATE	REVISION

SEAL: _____

DESIGN ENGINEER: _____ DATE _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

SANITARY SEWER
CONSTRUCTION DETAILS

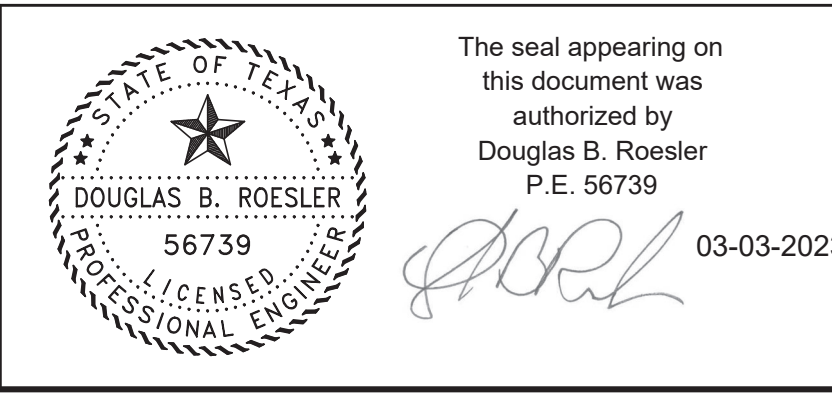
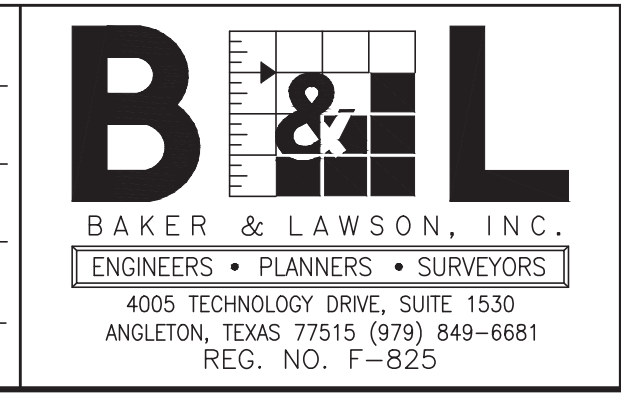
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DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-14
SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

REVISIONS

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____



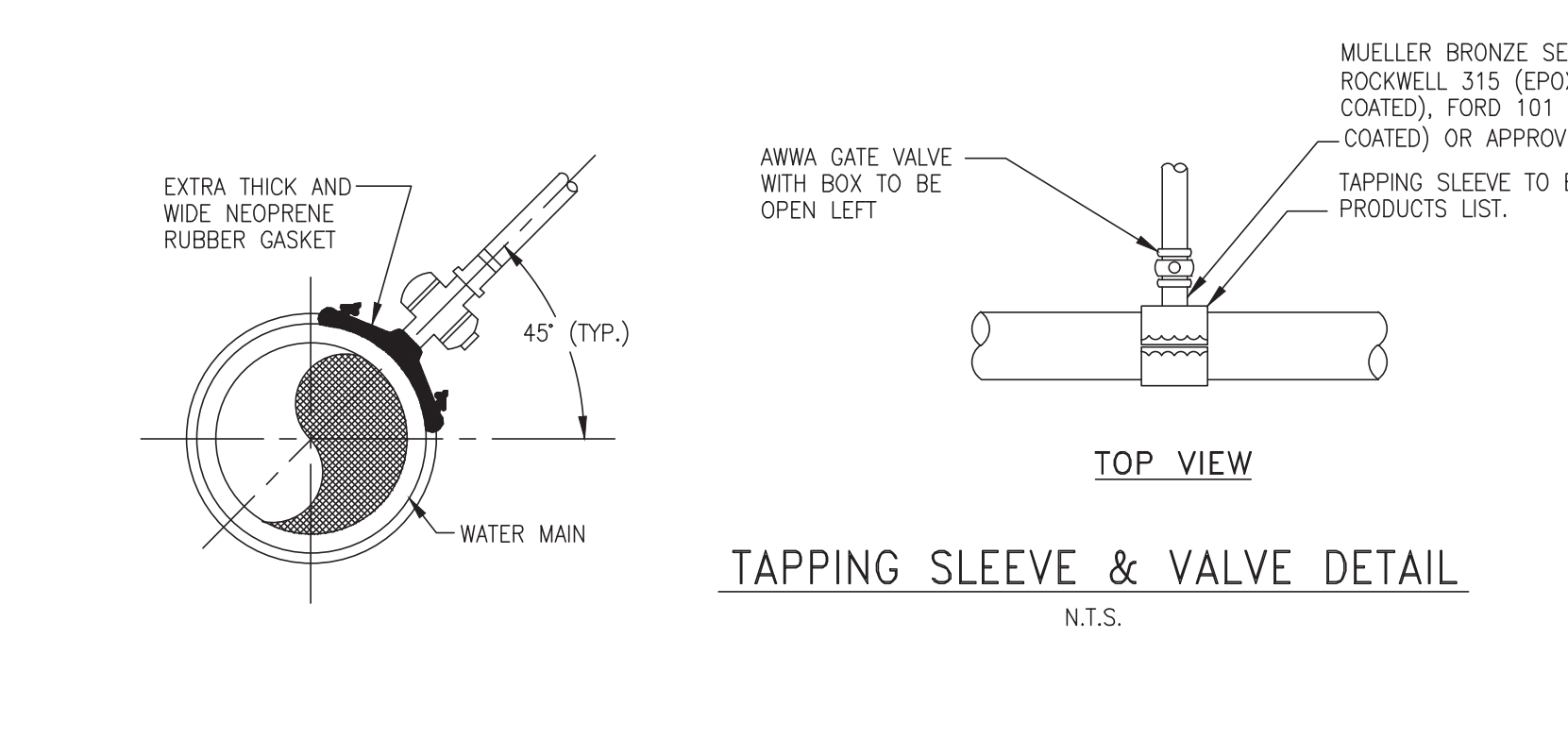
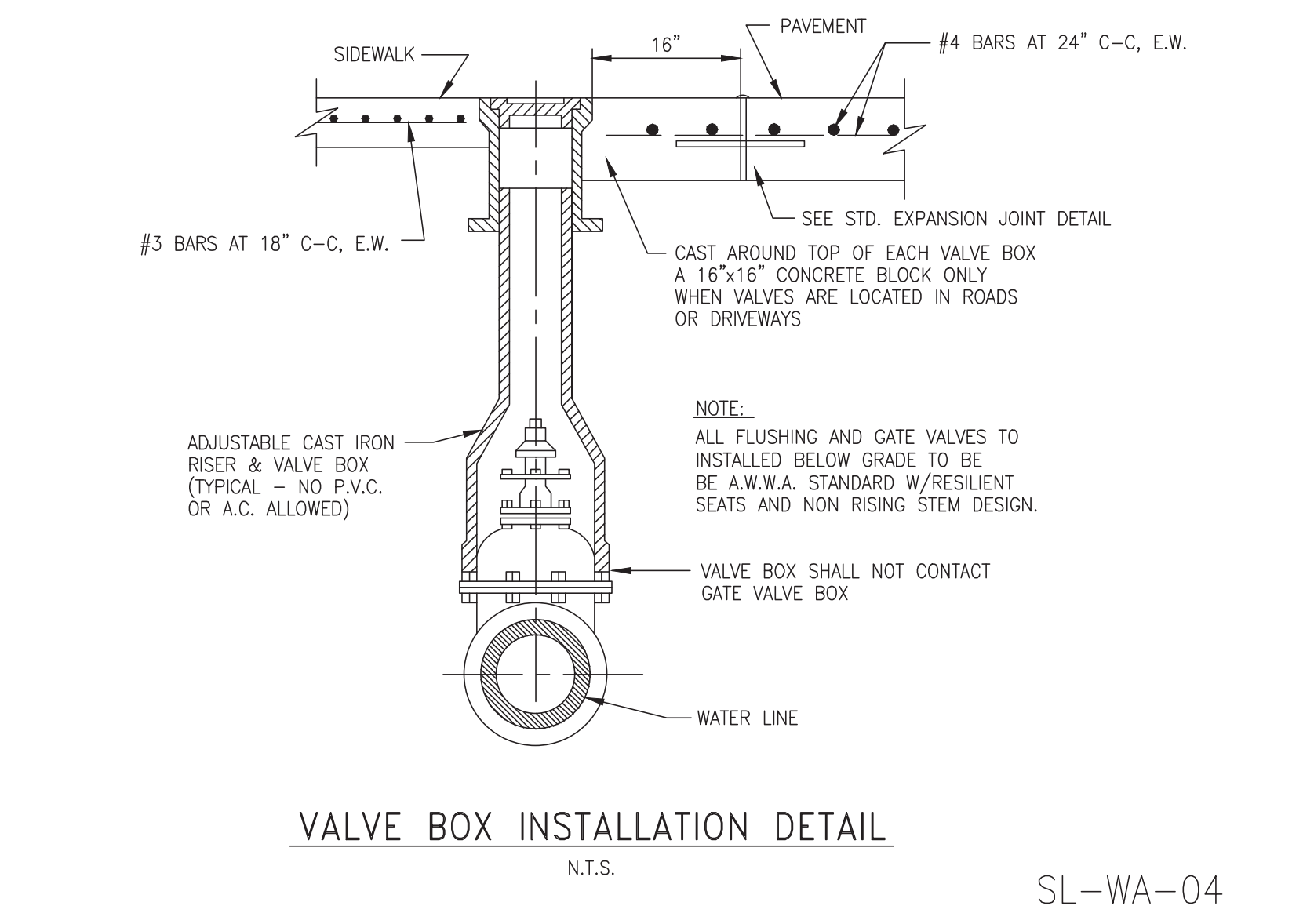
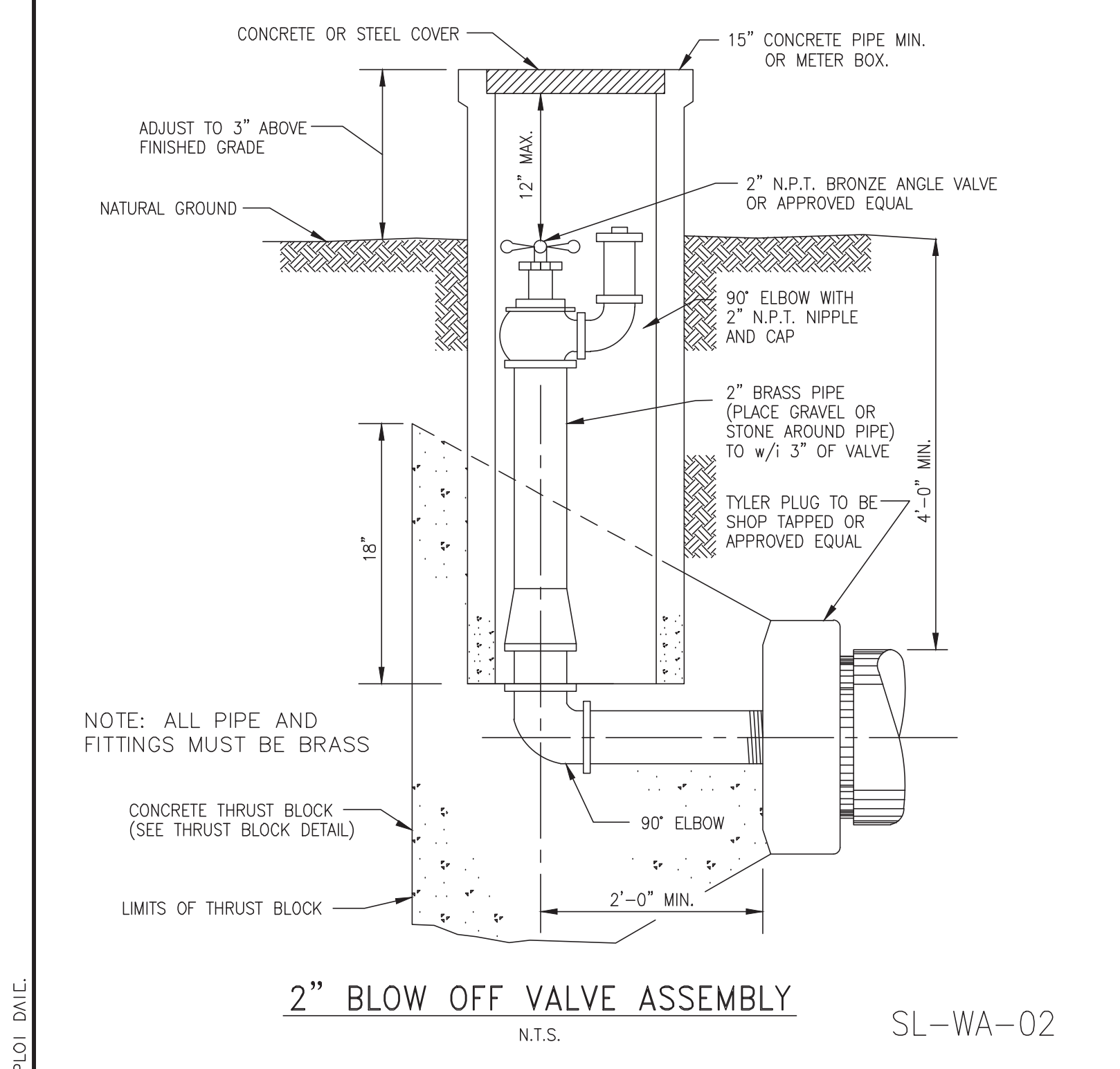
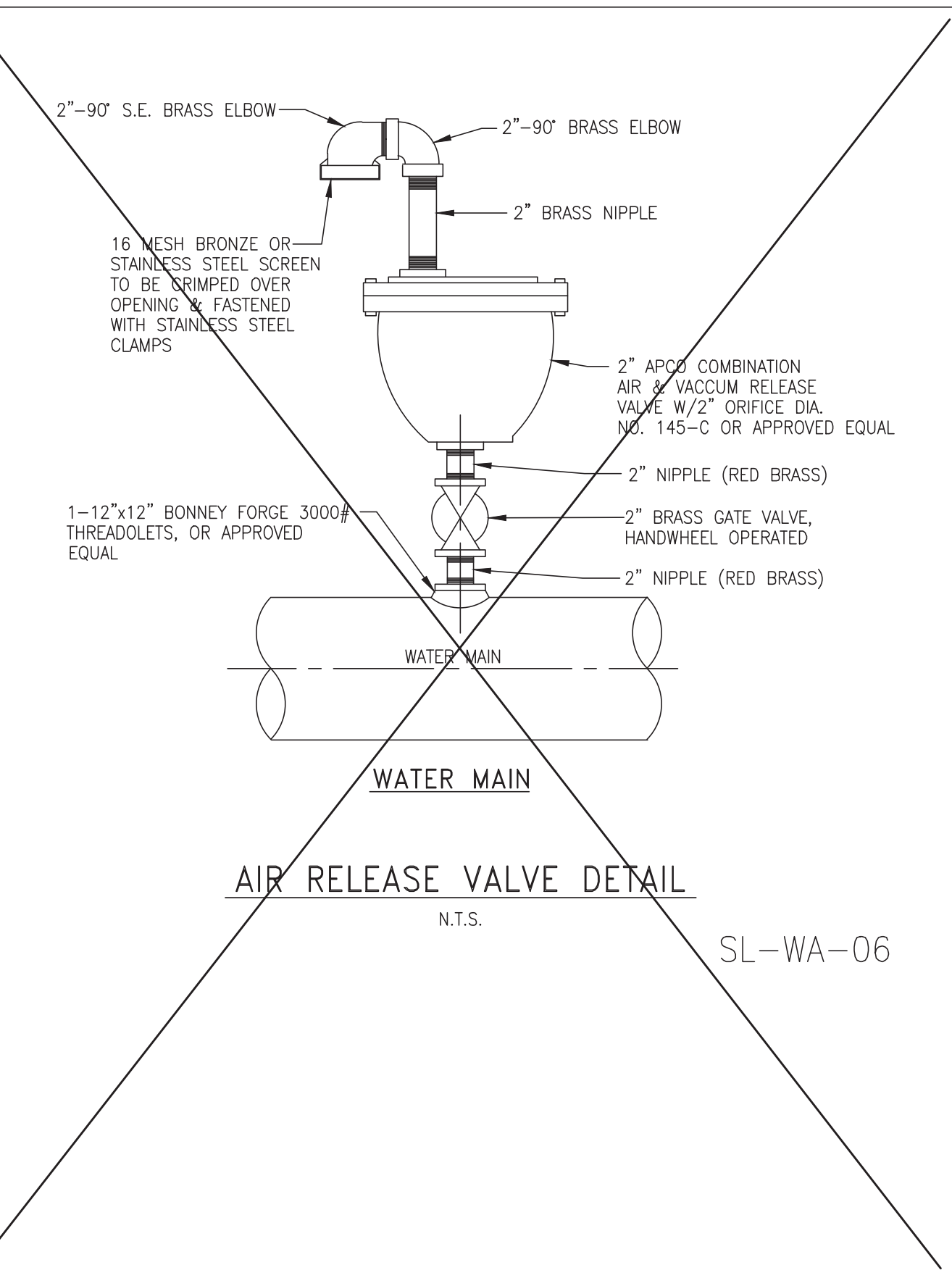
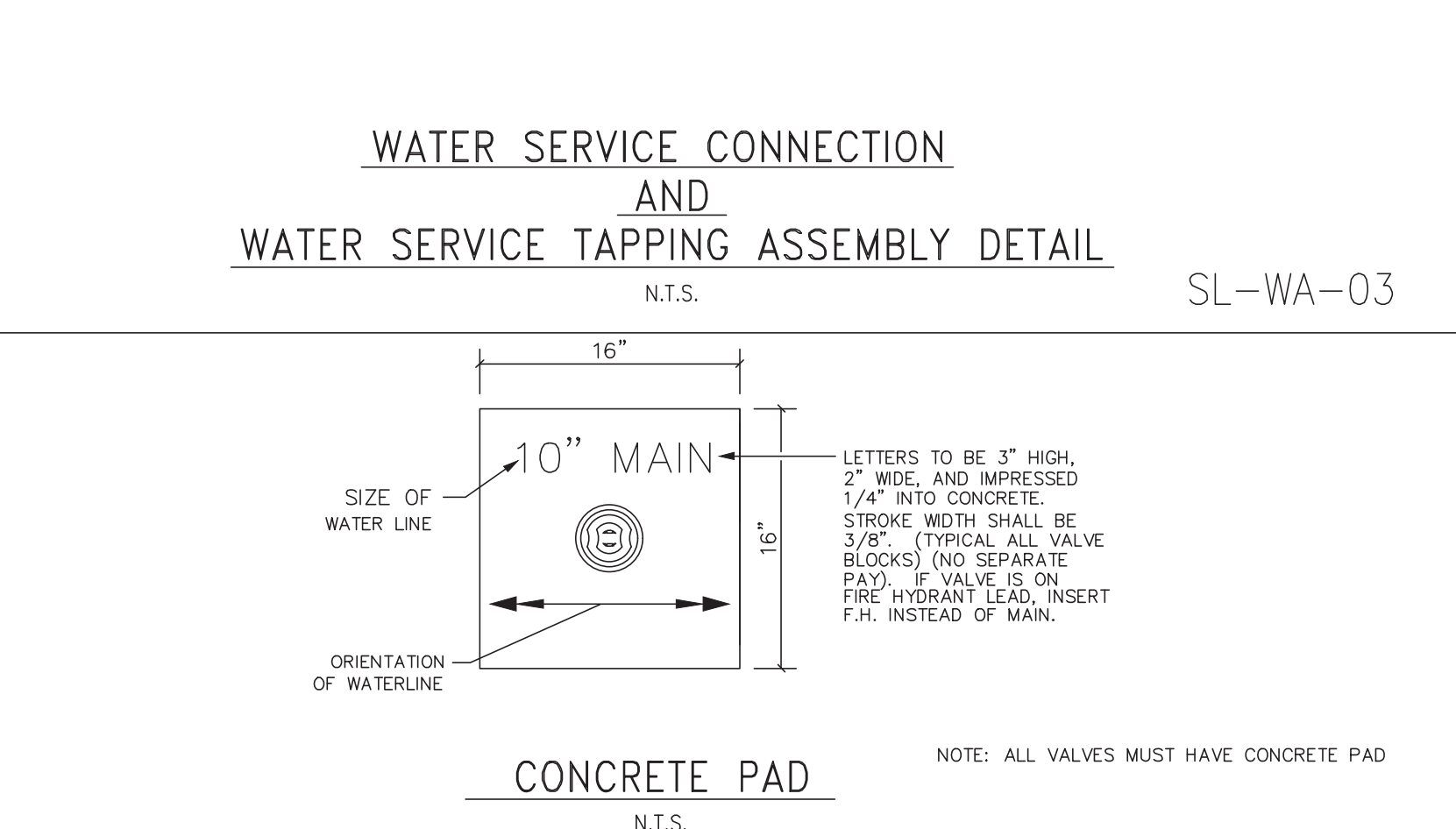
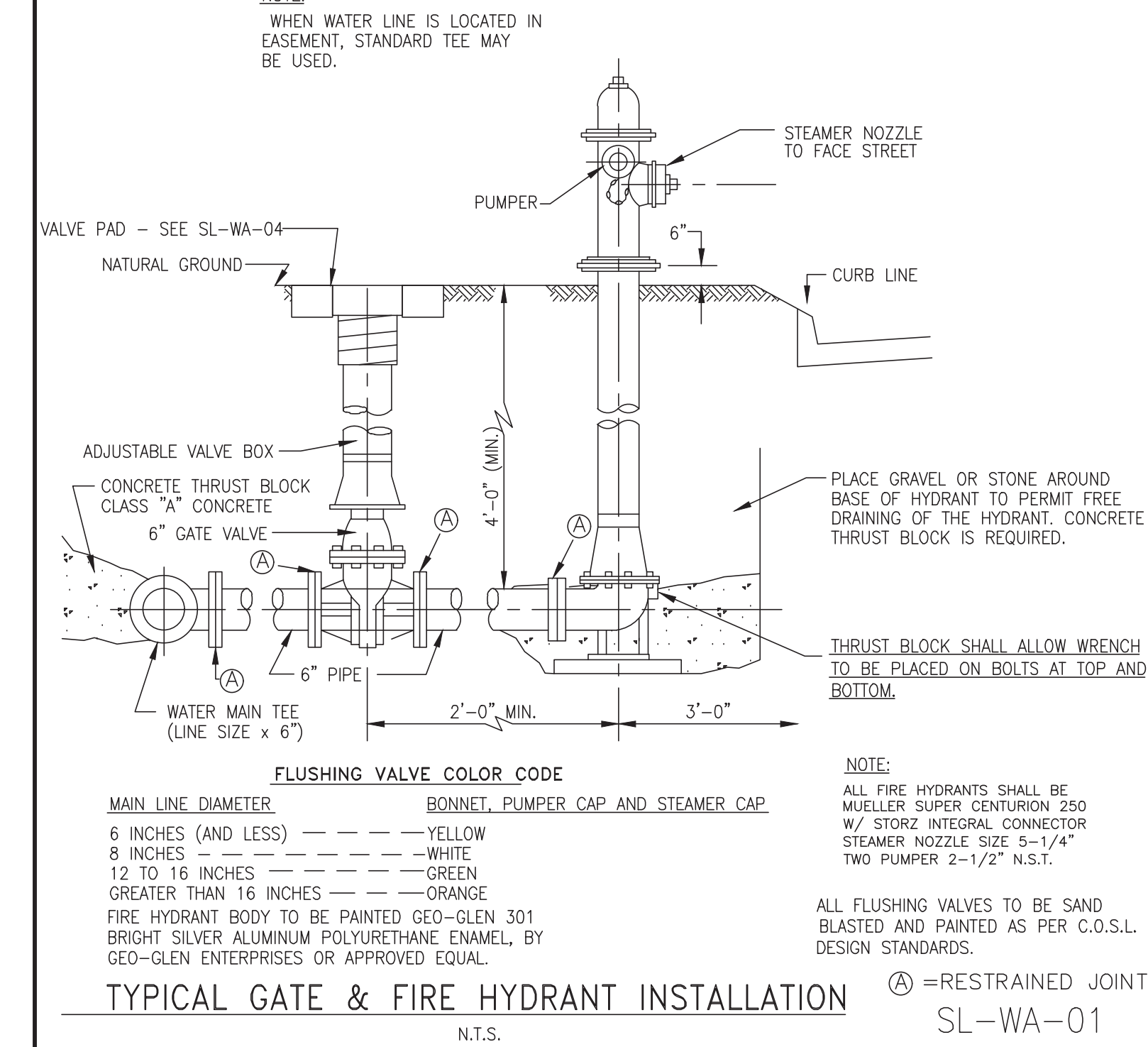
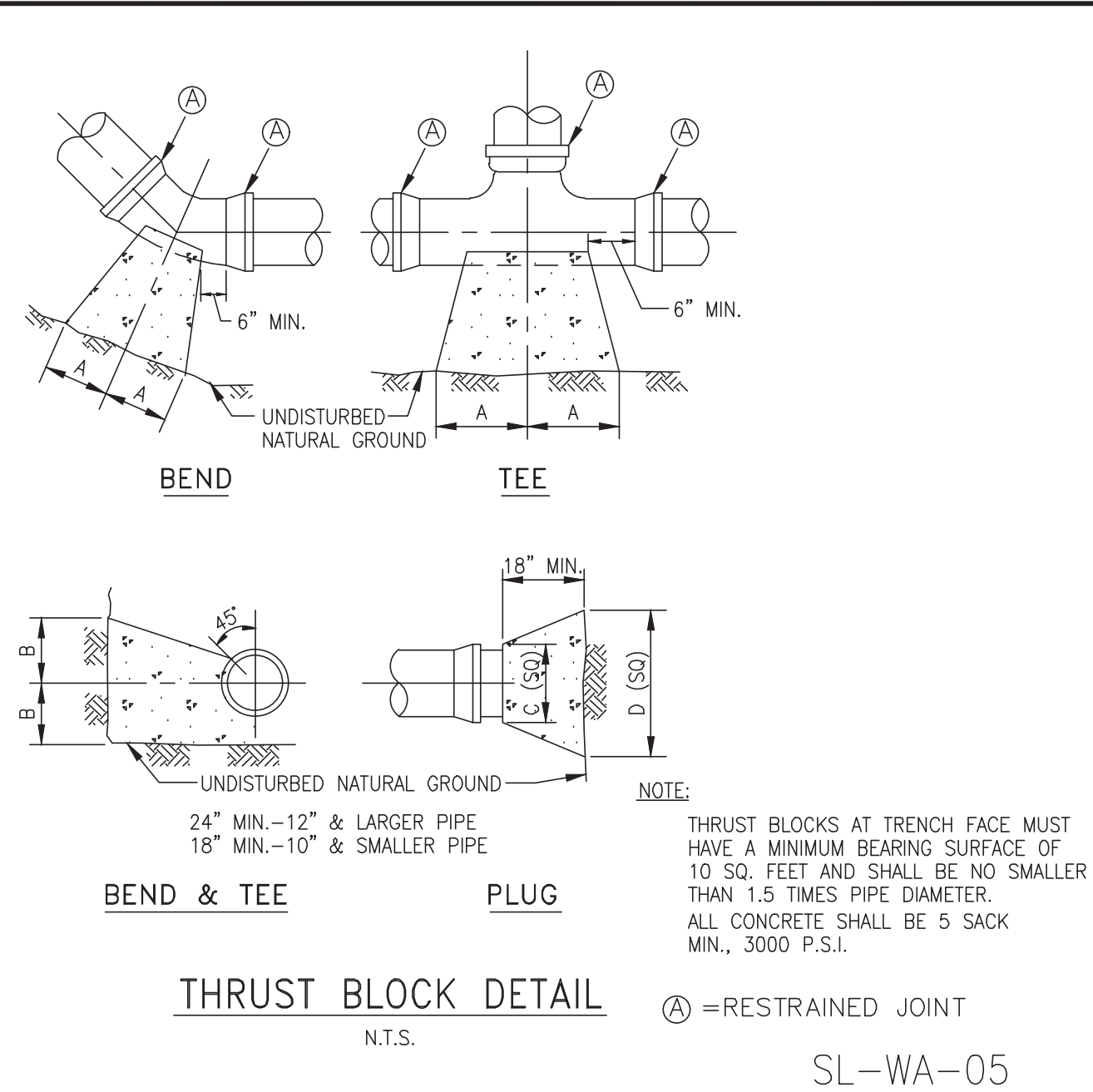
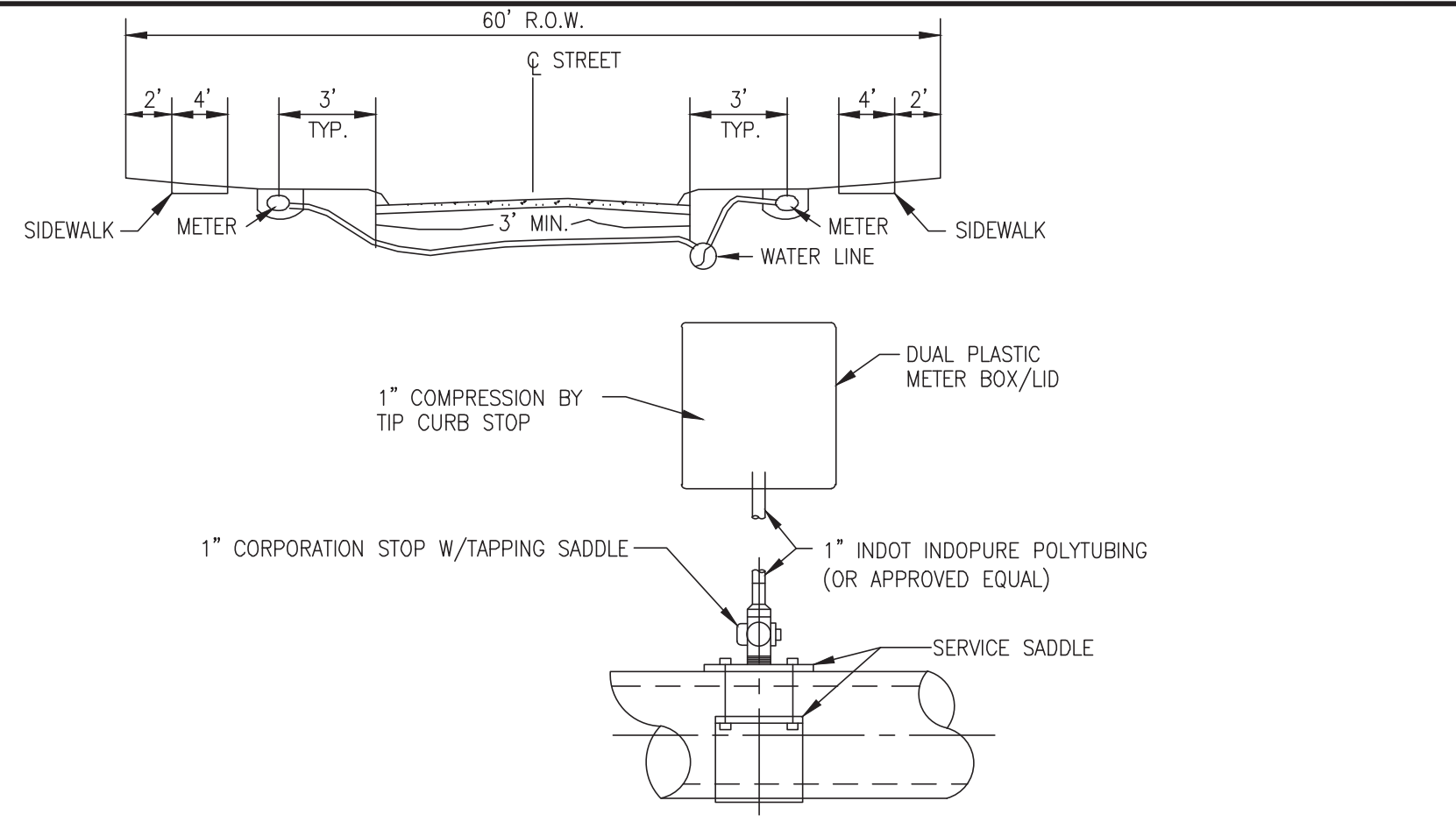
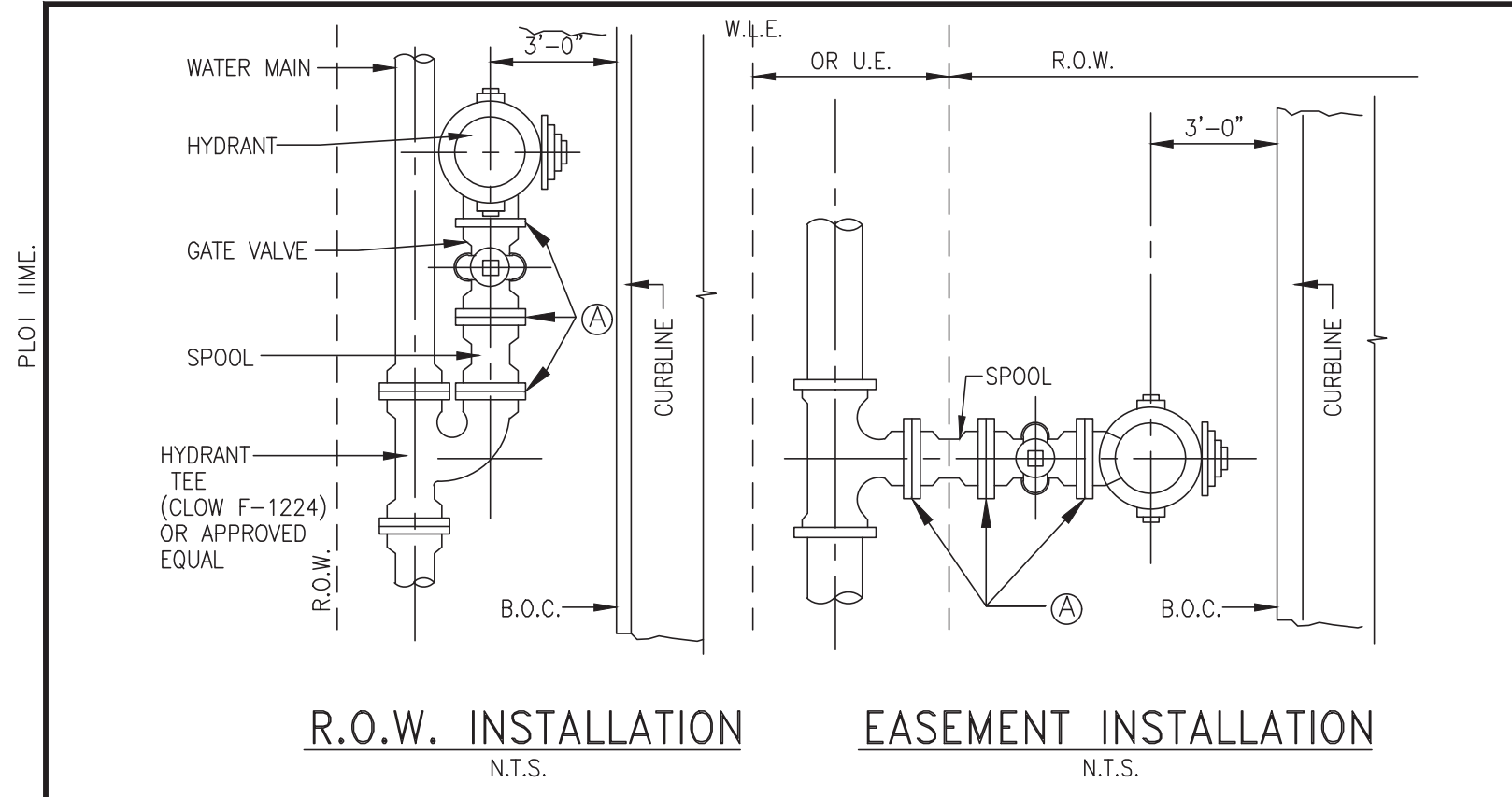
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

SANITARY SEWER
CONSTRUCTION DETAILS
SL-14

PROJECT NO. 14396



NOTES:
POLYETHYLENE WRAP FOR IRON PIPE

NOTE:

- POLYETHYLENE FILM SHALL BE USED AS A WRAP TO PROTECT CAST IRON AND OTHER METALS IN A CORROSIVE SOIL ENVIRONMENT.
- AN 8 MIL POLYETHYLENE FILM WRAP SHALL BE REQUIRED AROUND ALL METAL PIPE AND APPURTENANCES (EXCEPT FIRE HYDRANTS).
- POLYETHYLENE FILM SHALL BE FURNISHED AND INSTALLED EITHER IN TUBULAR FORM PRIOR TO LOWERING THE PIPE IN TRENCH OR IN SHEET FORM.
- POLYETHYLENE TUBE ENCASUREMENT SHALL CONFORM WITH THE MINIMUM REQUIREMENTS OF "POLYETHYLENE ENCASUREMENT FOR GRAY AND DUCTILE CAST-IRON PIPING FOR WATER AND OTHER LIQUIDS", ANSI/AWWA C105, CURRENT REVISION. SOILS WITHIN A PROJECT SHALL BE TESTED IN ACCORDANCE WITH APPENDIX A OF ANSI/AWWA C105 TO ADEQUATELY DETERMINE THE REQUIREMENTS FOR ENCASUREMENT.
- ALL FITTINGS AND PIPE JOINTS WITHIN 10' OF A FITTING SHALL HAVE RESTRAINT JOINTS

SIZE	90° BEND		45° BEND		22 1/2° BEND		TEES		PLUGS	
	A	B	A	B	A	B	A	B	A	B
2 1/2"	12"	7"	6"	7"	6"	7"	6"	8"	8"	14"
6"	16"	10"	9"	10"	6"	12"	10"	12"	10"	21"
8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
10"	26"	17"	14"	17"	10"	13"	16"	20"	14"	36"
12"	29"	21"	16"	21"	11"	16"	18"	24"	16"	41"
14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
16"	38"	27"	21"	27"	12"	24"	30"	20"	54"	
20"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
24"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
30"	60"	48"	36"	48"	20"	36"	36"	48"	36"	*96"

NOTE: (A) = RESTRAINED JOINT

BENDS, TEES & PLUGS FOR PIPE OF VARIOUS SIZES
SL-WA-08

NO.	DATE	REVISION

DESIGN ENGINEER: _____ DATE _____

SEAL: _____



CONSTRUCTION PLANS FOR:

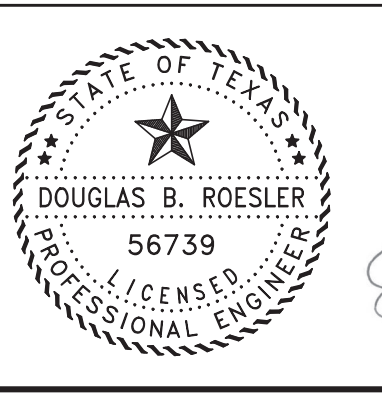
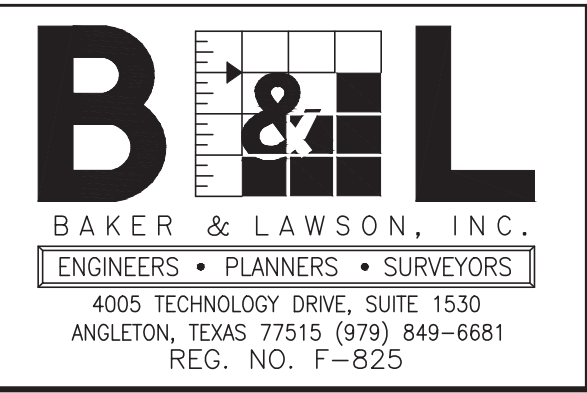
WATER LINE CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-15
SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____



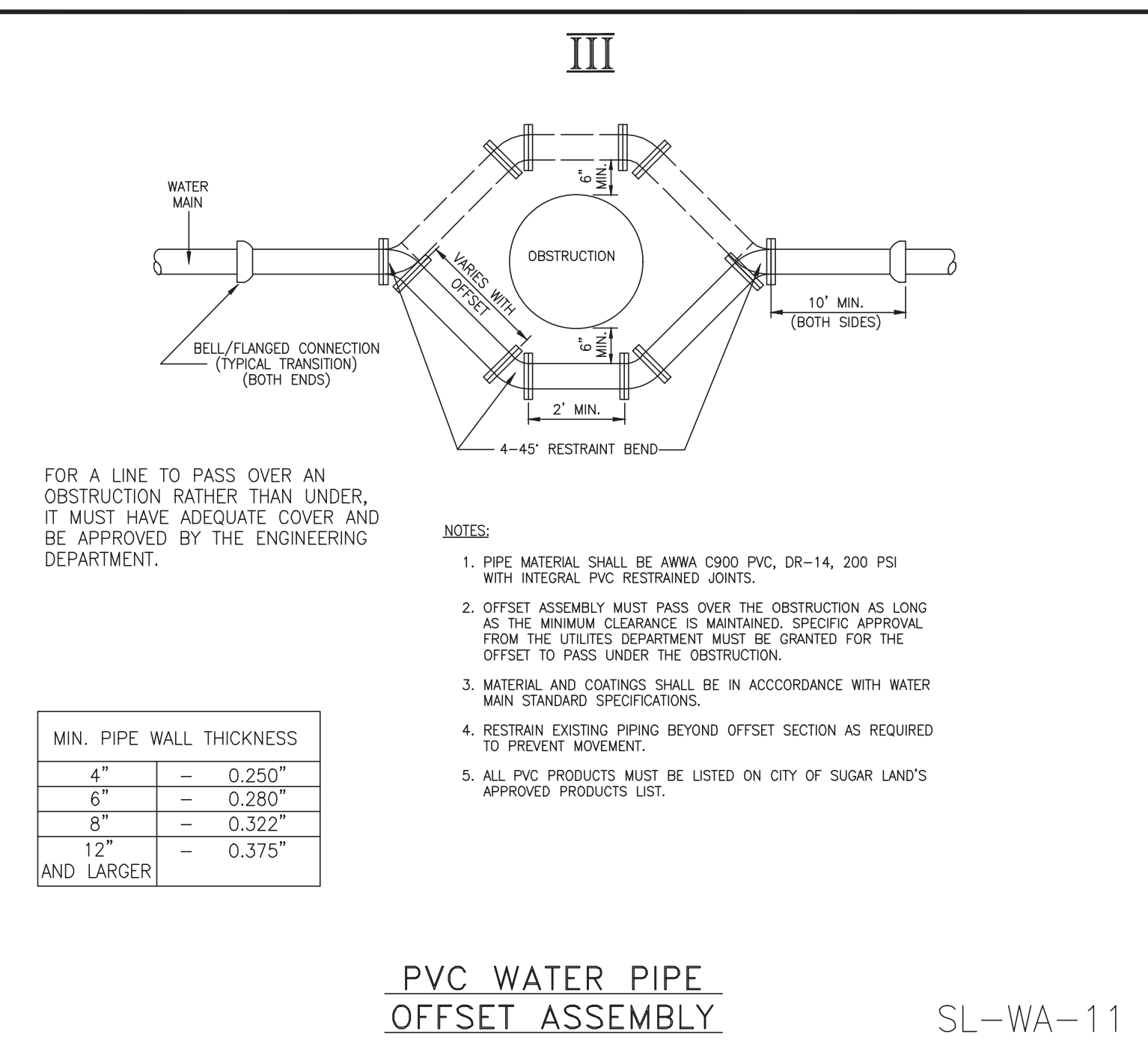
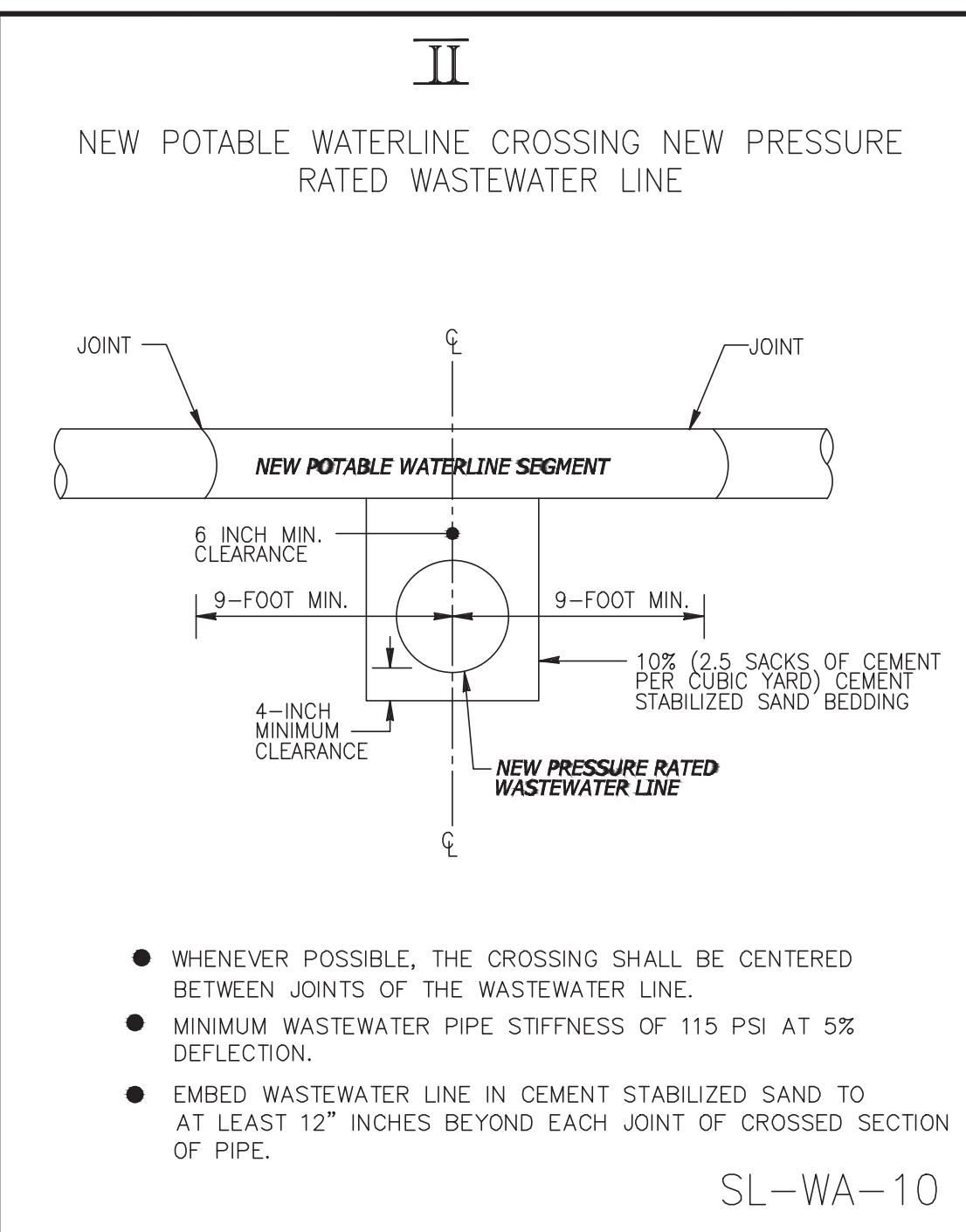
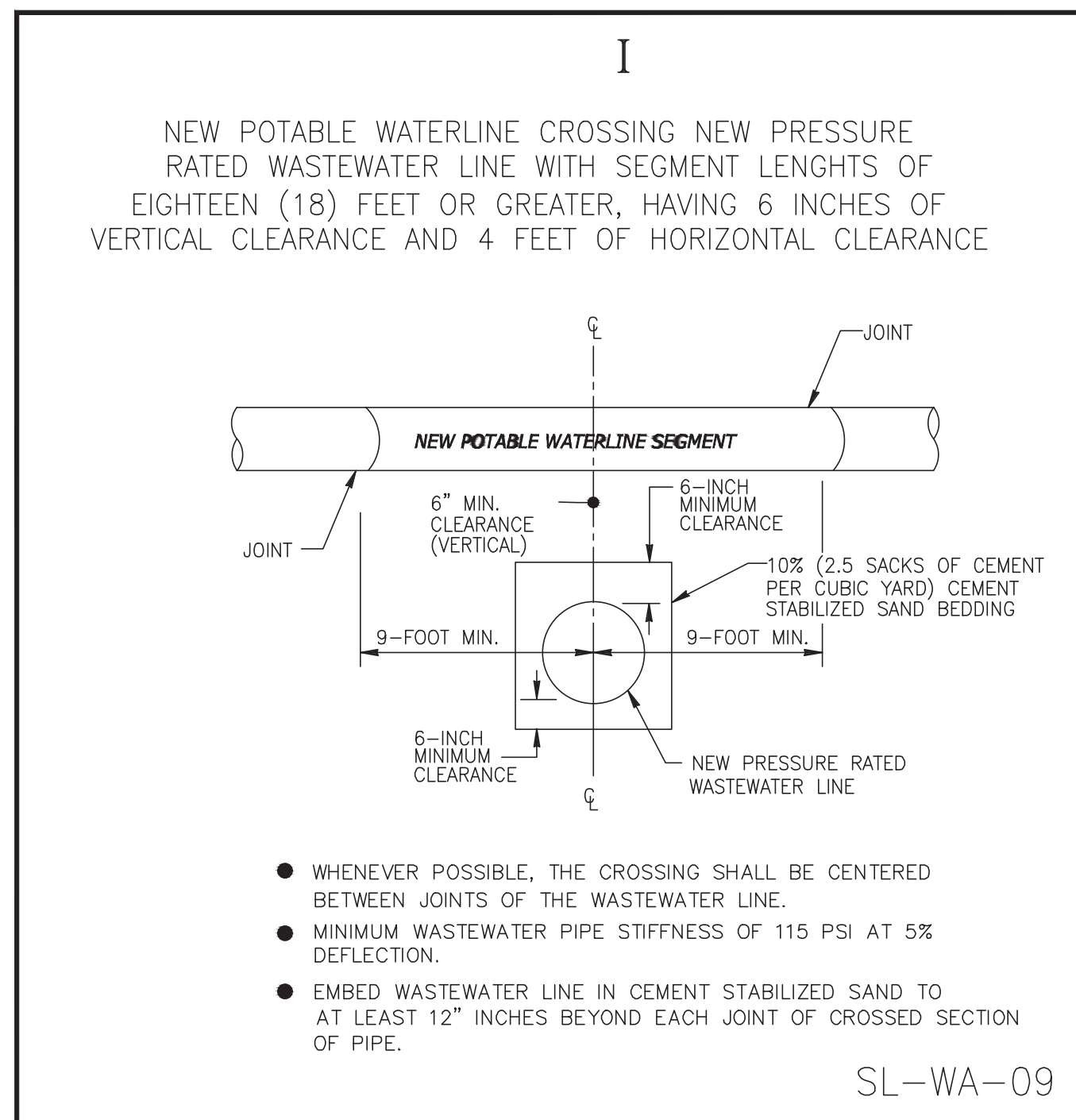
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03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

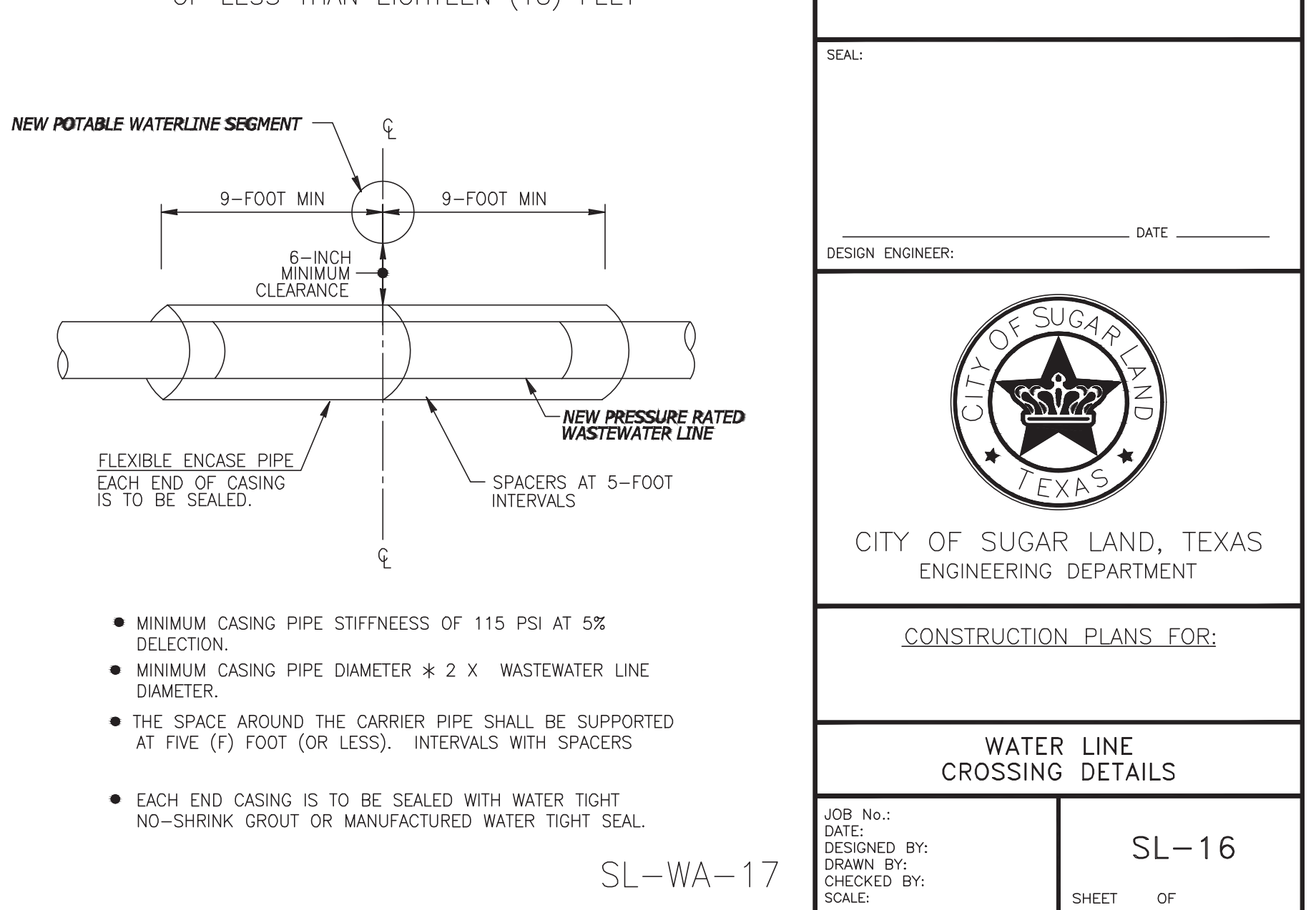
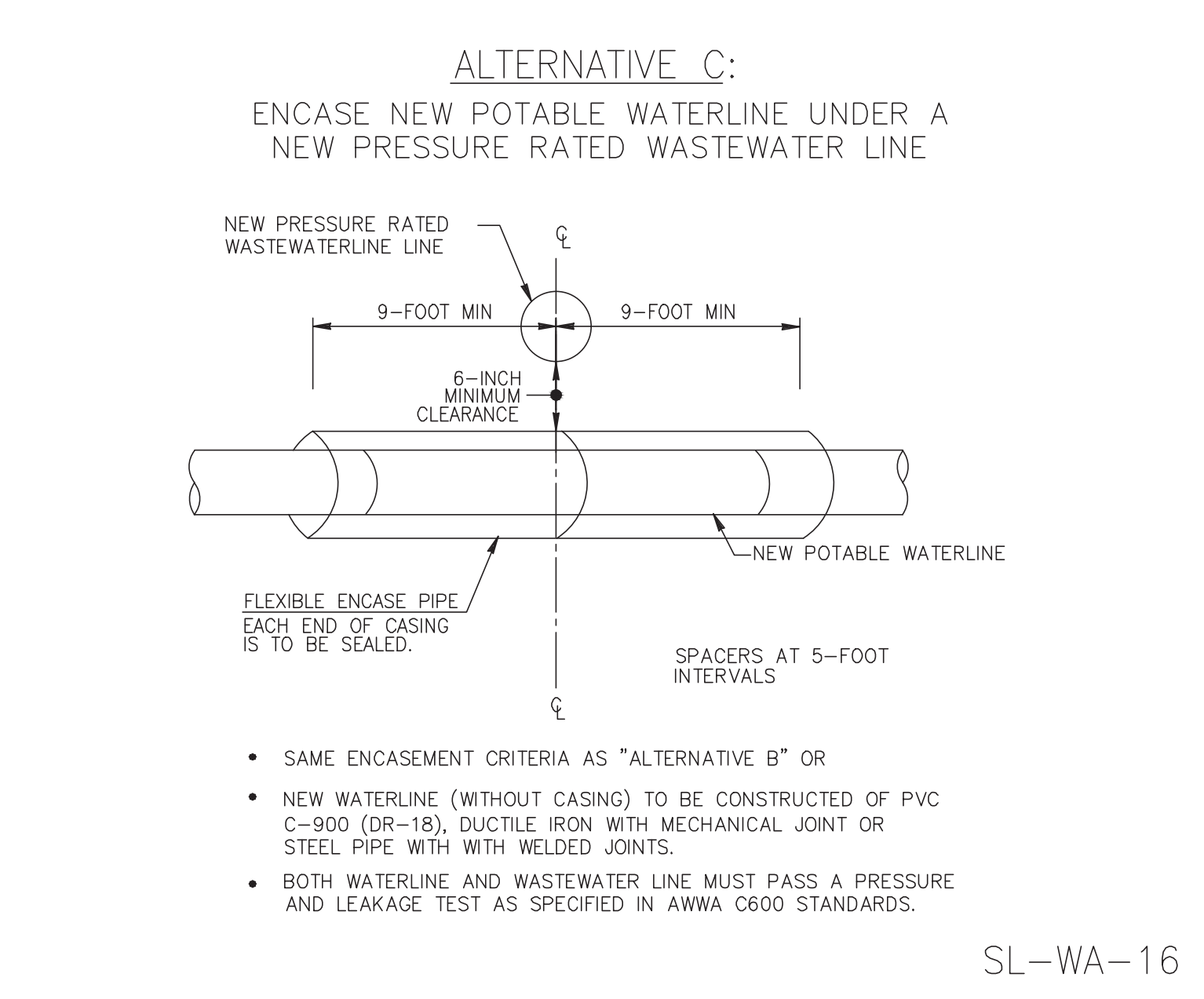
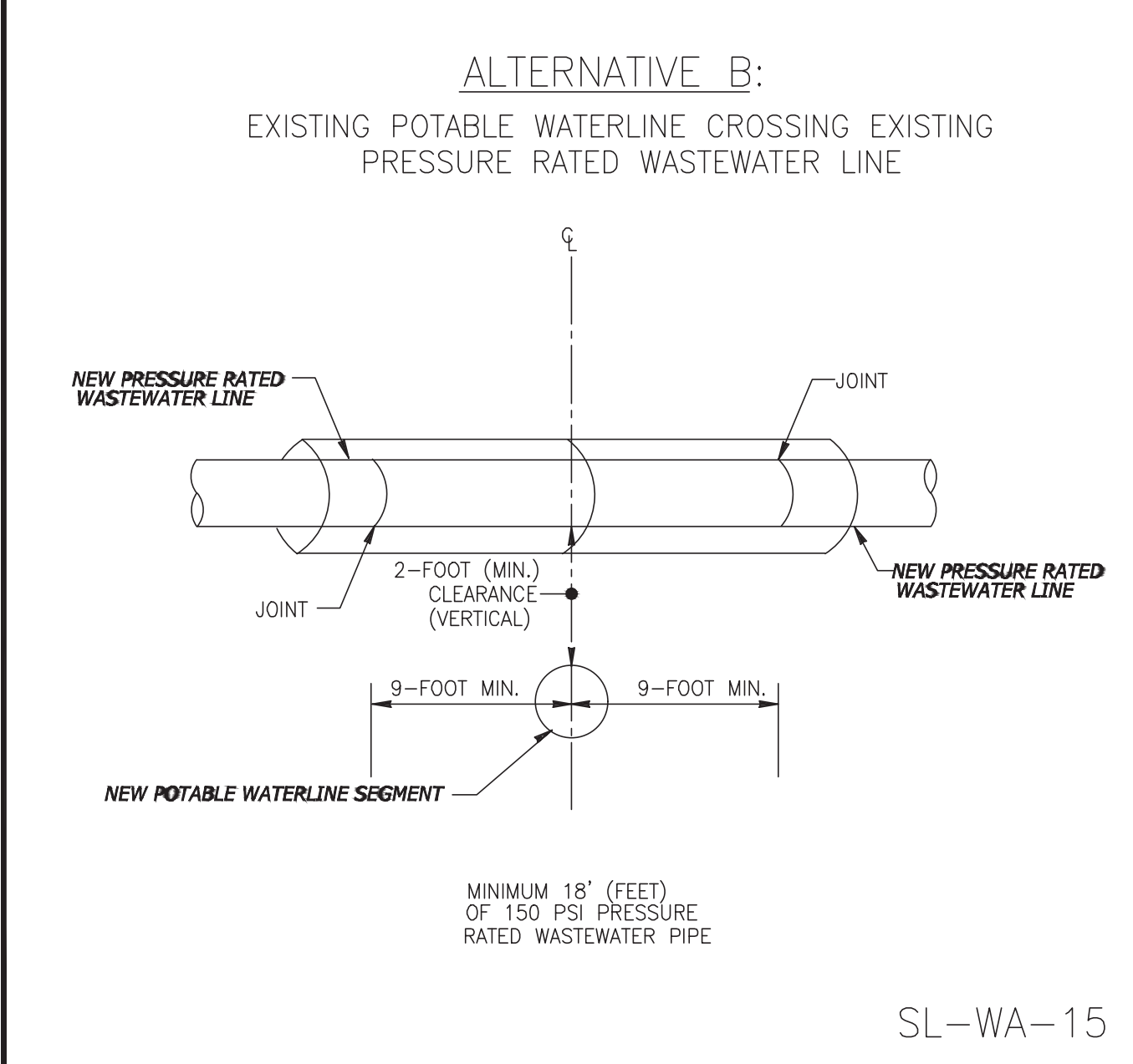
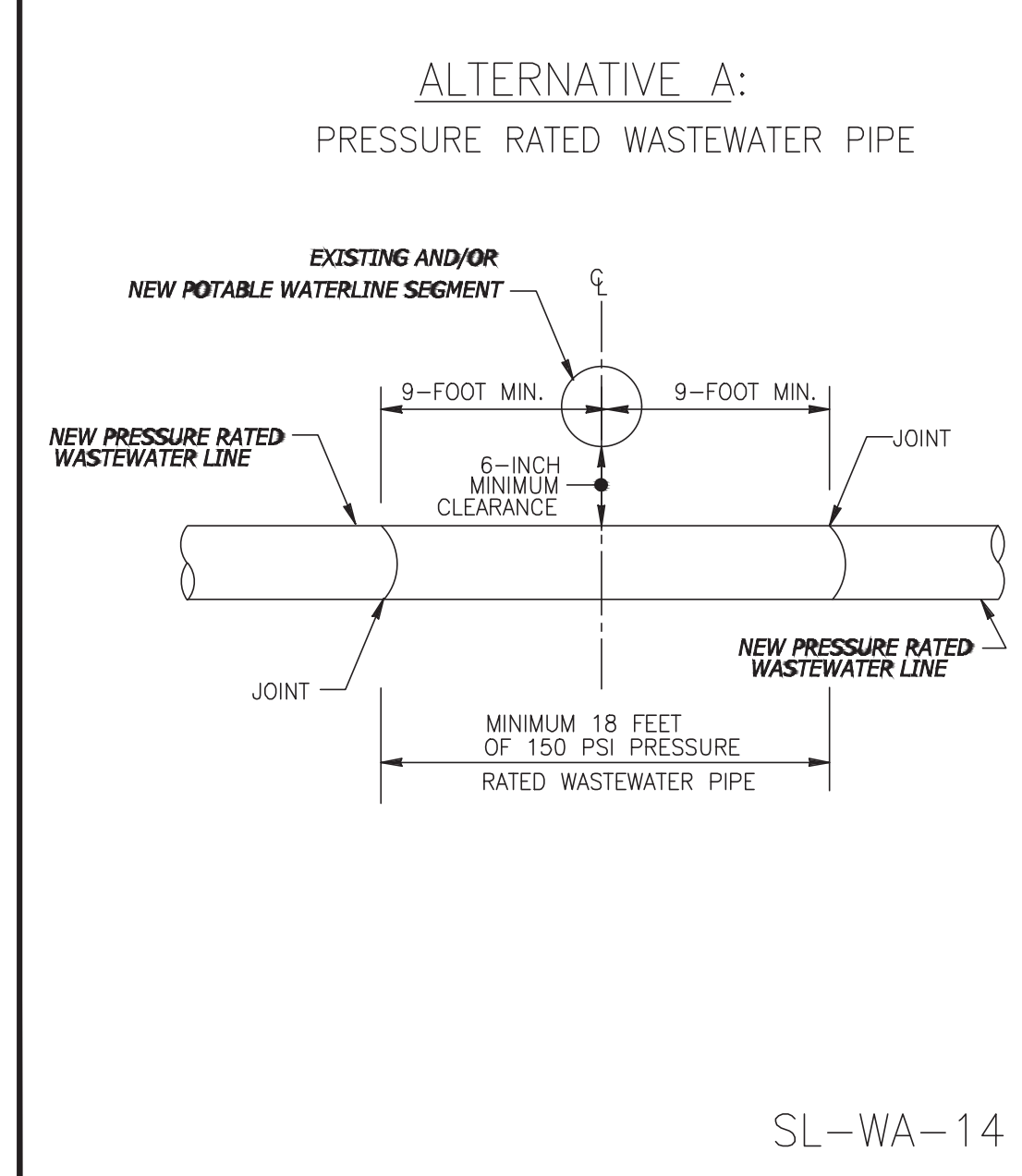
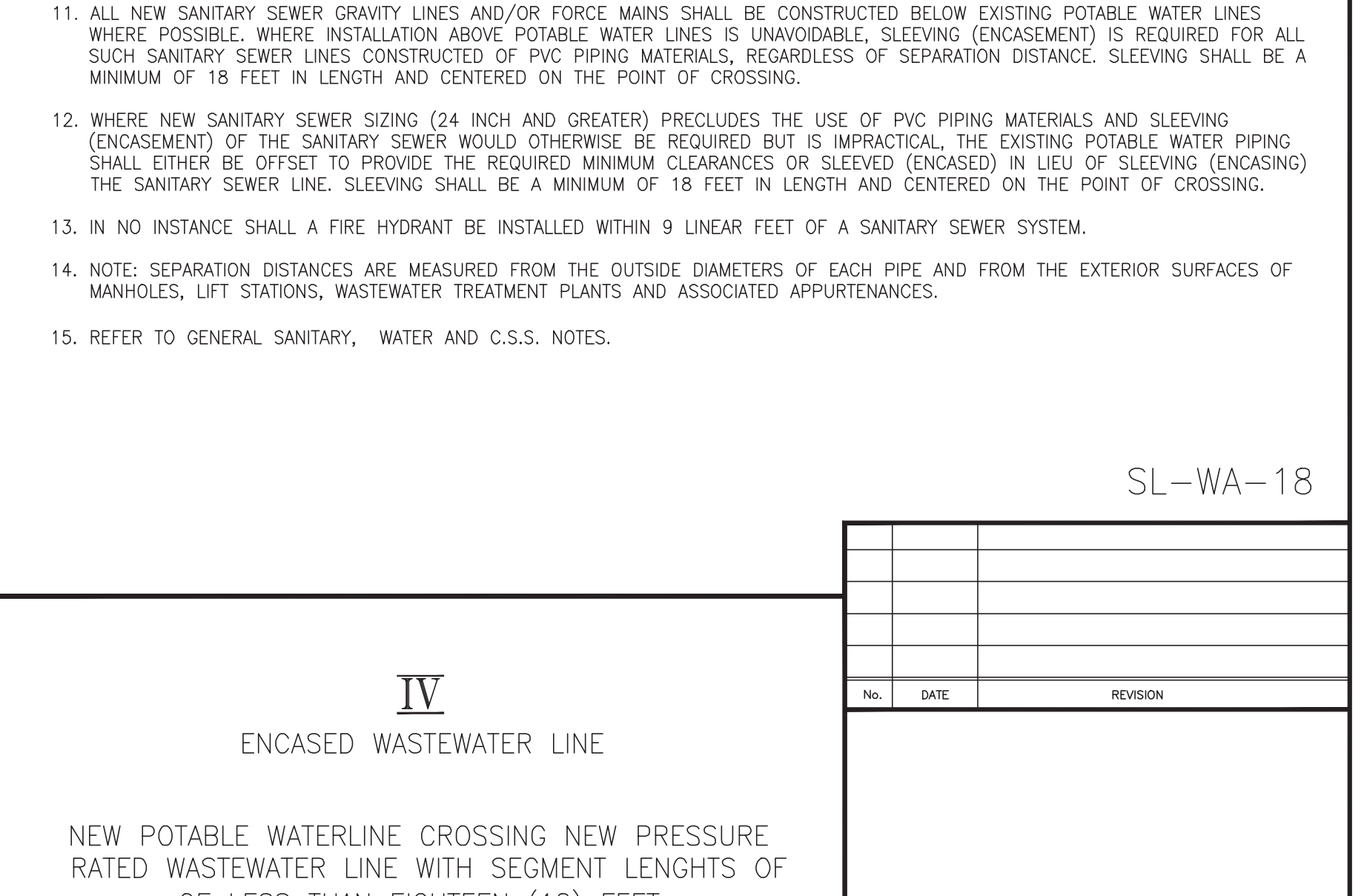
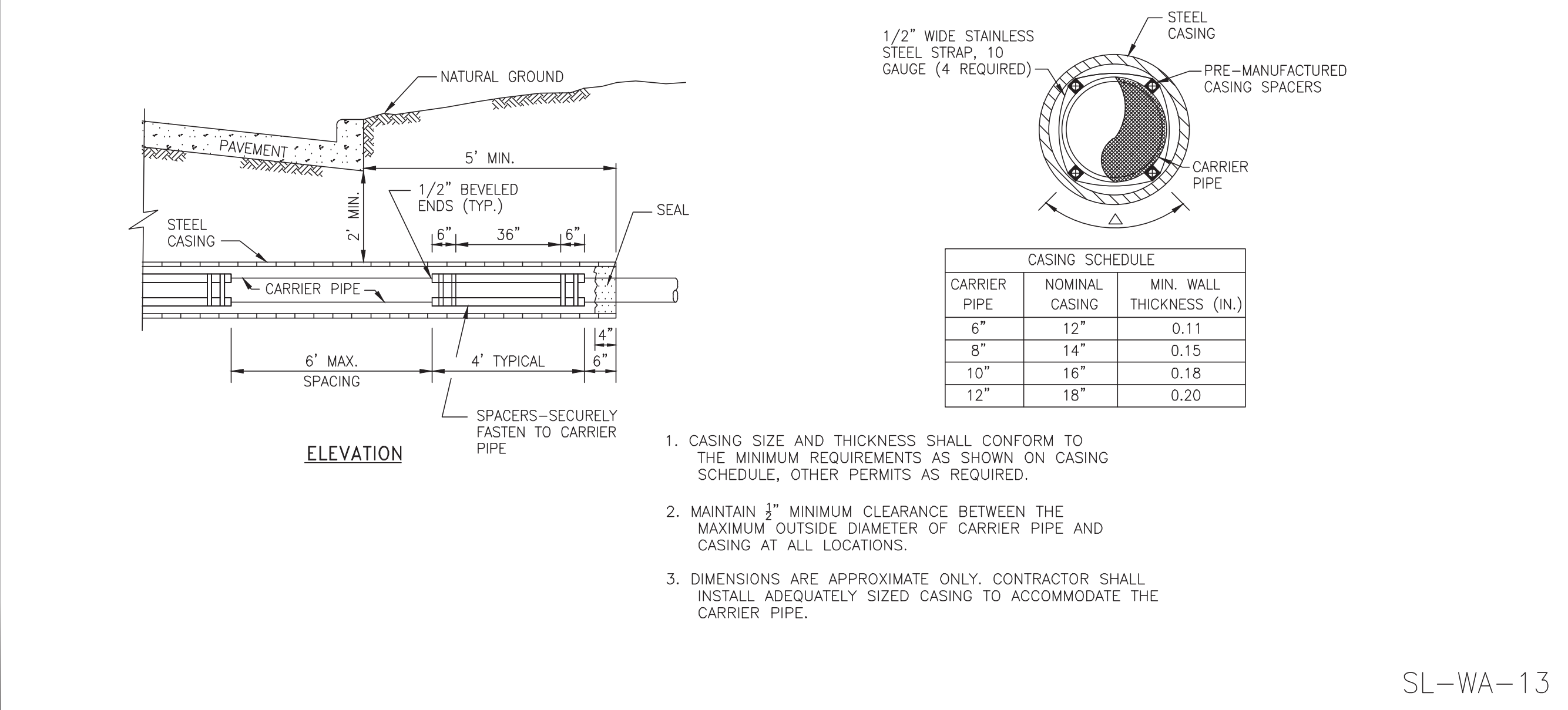
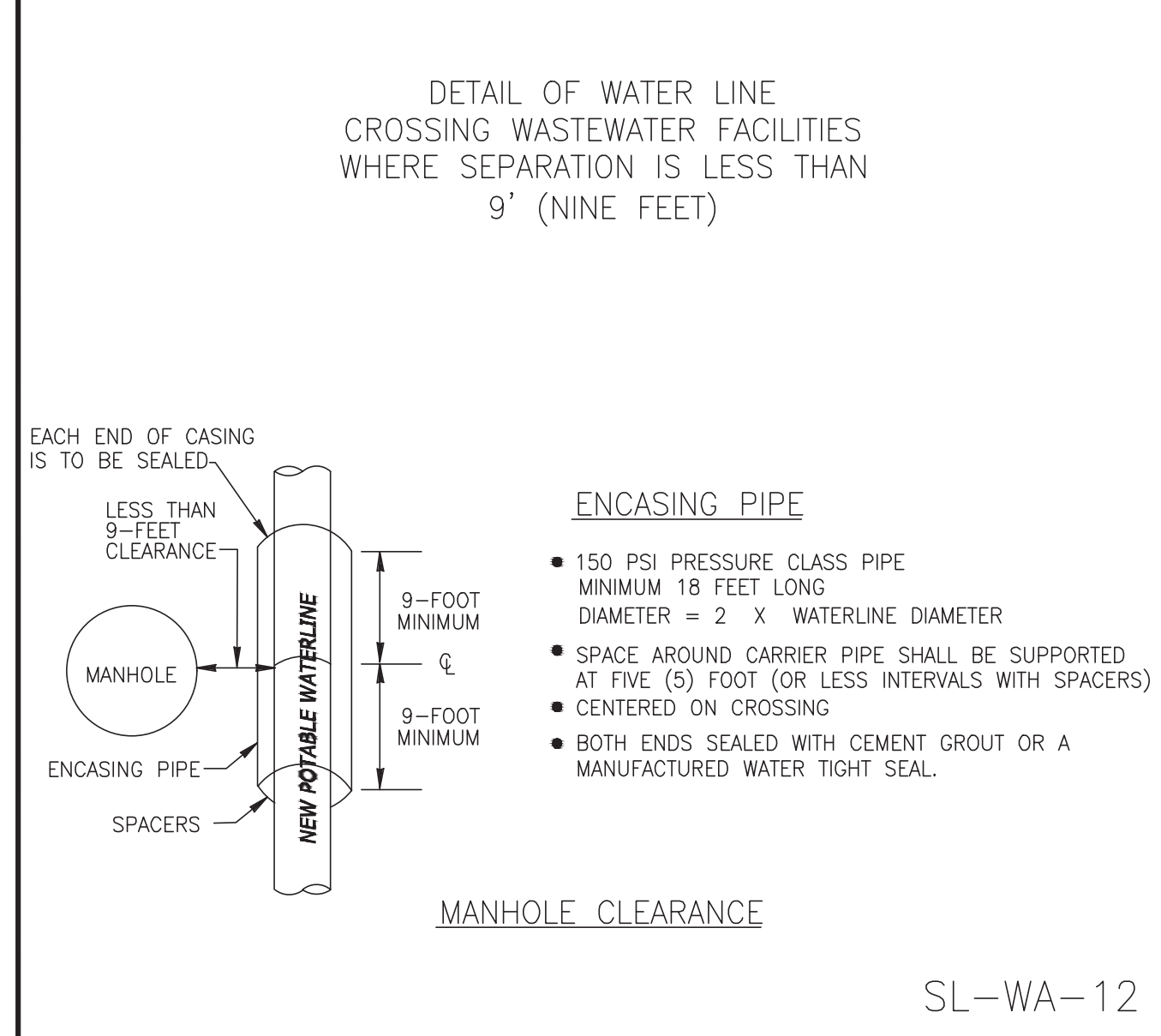
PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WATER LINE CONSTRUCTION DETAILS
SL-15
PROJECT NO. 14396



- GENERAL NOTES:
- CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
 - SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
 - ALL NEW POTABLE WATER LINES AND SANITARY SEWER FORCE MAINS SHALL BE BEDDED IN COMPACTED BANK SAND A MINIMUM OF 6 INCHES BELOW, ABOVE AND TO EITHER SIDE OF SUCH PIPING.
 - ALL NEW SANITARY SEWER GRAVITY DRAIN LINES SHALL BE BEDDED IN CEMENT STABILIZED SAND CONFORMING TO THE REQUIREMENTS FOR EITHER CLASS "A" STANDARD BEDDING OR CLASS "A-A" BEDDING AS APPLICABLE. USE OF MODIFIED "A" OR MODIFIED "A-A" BEDDING FOR SANITARY SEWER INSTALLATIONS WHERE WET SAND CONDITIONS ARE ENCOUNTERED AND SEPARATION DISTANCE TO POTABLE WATER LINES IS LESS THAN 9 FEET REQUIRES APPROVAL BY CITY ENGINEER.
 - CEMENT STABILIZED BEDDING SHALL BE A MINIMUM 1.5 SACK PER CUBIC YARD C.S.S., INSTALLED IN MAXIMUM LIFTS OF 8 INCHES AND MECHANICALLY TAMPED TO 95% PROCTOR.
 - WHERE REQUIRED, SLEEVING (ENCASEMENT) OF POTABLE WATER PIPING AND/OR SANITARY SEWER GRAVITY DRAIN LINES AND FORCE MAINS SHALL BE PROVIDED. SUCH SLEEVING (ENCASEMENT) SHALL BE CONSTRUCTED OF APPROVED PIPING MATERIALS HAVING A MINIMUM PRESSURE RATING OF 150 PSI AND ANNUAL RATES OF WEAR SHALL BE SEaled WITH A MATERIAL APPROVED FOR SUCH USE.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE A MINIMUM OF 9 FEET SEPARATION DISTANCE TO EXISTING OR PROPOSED SANITARY SEWER MANHOLE, LIFT STATION OR WASTEWATER TREATMENT PLANT CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW POTABLE WATER LINES SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS IS UNAVOIDABLE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING. WHERE PIPING IS LAID PARALLEL AND MINIMUM SEPARATION DISTANCES CANNOT BE MAINTAINED, SLEEVING SHALL EXTEND AT LEAST 9 FEET PAST THE POINT WHERE MINIMUM SEPARATION DISTANCES ARE ACHIEVED.
 - ALL NEW POTABLE WATER LINES SHALL BE CONSTRUCTED ABOVE EXISTING OR PROPOSED SANITARY SEWER GRAVITY LINES OR FORCE MAINS WHERE POSSIBLE. WHERE INSTALLATION BENEATH SANITARY SEWER GRAVITY LINES OR FORCE MAINS IS UNAVOIDABLE AT POINTS OF CROSSING, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL NEW POTABLE WATER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS CONSTRUCTED OF PVC PIPING MATERIALS SHALL BE SLEEVED (ENCASED) WHERE LESS THAN 2 FEET VERTICAL OR 4 FEET HORIZONTAL CLEARANCE TO EXISTING POTABLE WATER PIPING CANNOT BE MAINTAINED. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CLOSEST PROXIMITY.
 - ALL NEW SANITARY SEWER GRAVITY LINES AND/OR FORCE MAINS SHALL BE CONSTRUCTED BELOW EXISTING POTABLE WATER LINES WHERE POSSIBLE. WHERE INSTALLATION ABOVE POTABLE WATER LINES IS UNAVOIDABLE, SLEEVING (ENCASEMENT) IS REQUIRED FOR ALL SUCH SANITARY SEWER LINES CONSTRUCTED OF PVC PIPING MATERIALS, REGARDLESS OF SEPARATION DISTANCE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - WHERE NEW SANITARY SEWER SIZING (24 INCH AND GREATER) PRECLUDES THE USE OF PVC PIPING MATERIALS AND SLEEVING (ENCASEMENT) OF THE SANITARY SEWER WOULD OTHERWISE BE REQUIRED BUT IS IMPRACTICAL, THE EXISTING POTABLE WATER PIPING SHALL EITHER BE OFFSET TO PROVIDE THE REQUIRED MINIMUM CLEARANCES OR SLEEVED (ENCASED) IN LIEU OF SLEEVING (ENCASING) THE SANITARY SEWER LINE. SLEEVING SHALL BE A MINIMUM OF 18 FEET IN LENGTH AND CENTERED ON THE POINT OF CROSSING.
 - IN NO INSTANCE SHALL A FIRE HYDRANT BE INSTALLED WITHIN 9 LINEAR FEET OF A SANITARY SEWER SYSTEM.
 - NOTE: SEPARATION DISTANCES ARE MEASURED FROM THE OUTSIDE DIAMETERS OF EACH PIPE AND FROM THE EXTERIOR SURFACES OF MANHOLES, LIFT STATIONS, WASTEWATER TREATMENT PLANTS AND ASSOCIATED APPURTENANCES.
 - REFER TO GENERAL SANITARY, WATER AND C.S.S. NOTES.



SL-WA-18

No.	DATE	REVISION
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
WATER LINE CROSSING DETAILS		
JOB No.: _____ DATE: _____ DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ SCALE: _____	SL-16 SHEET OF	

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

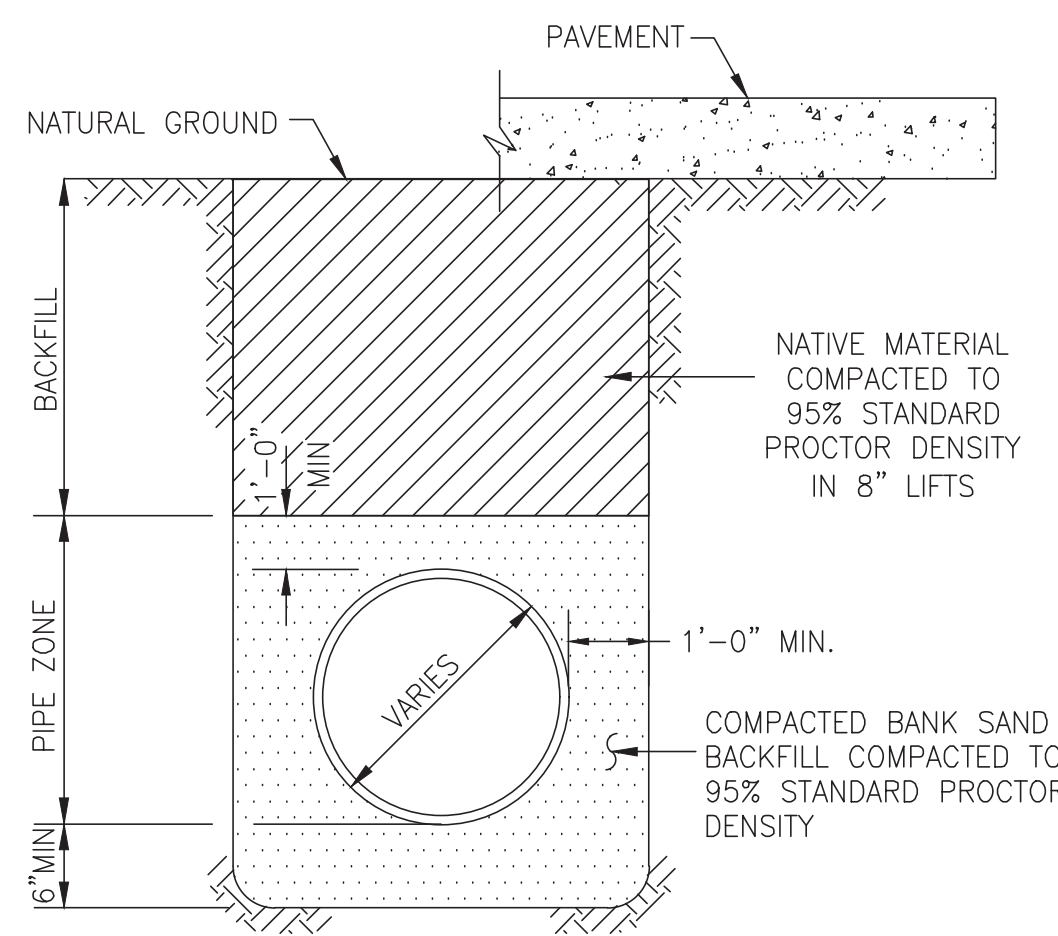
The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

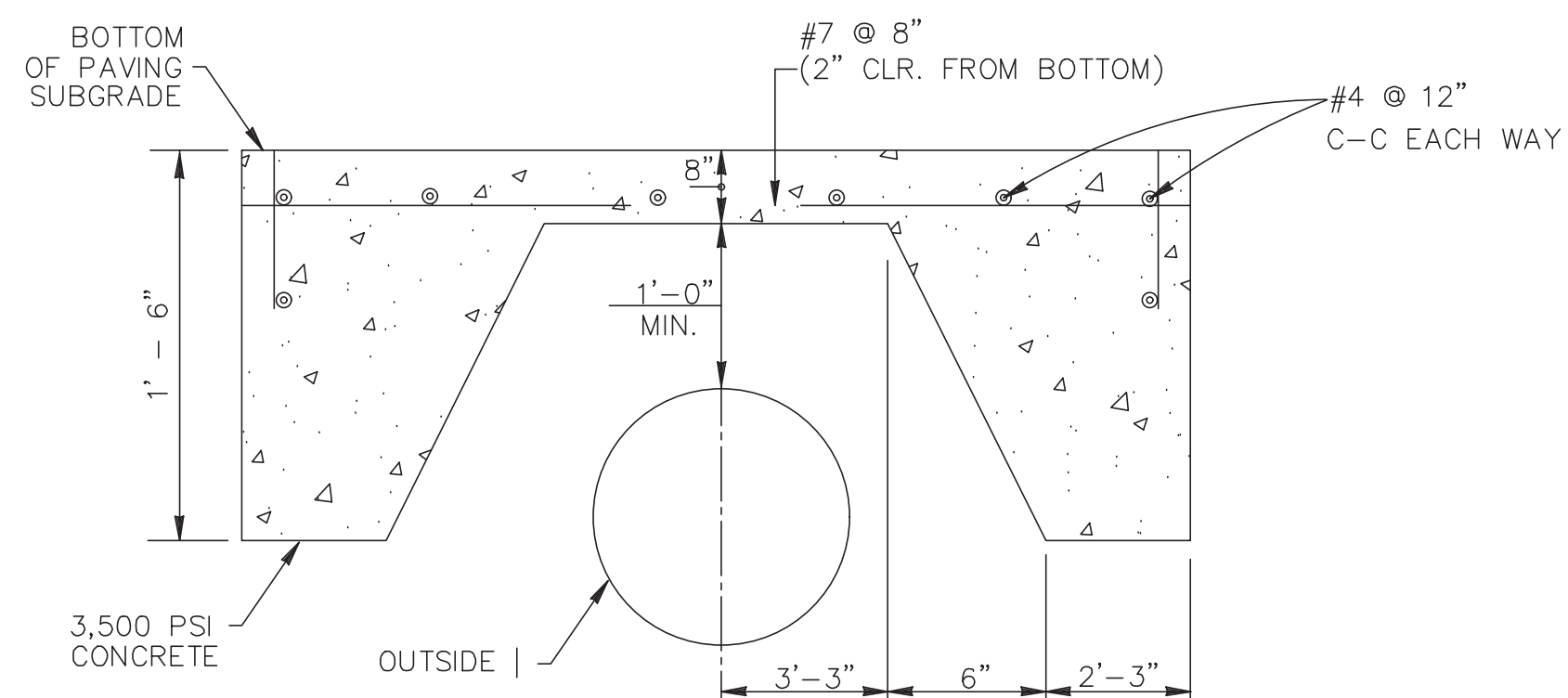
WATER LINE CROSSING DETAILS
SL-16
PROJECT NO. 14396



P.V.C. PIPE BEDDING & BACKFILL
N.T.S.
*SEE CONSTRUCTION NOTES

**SANITARY FORCE MAIN & WATER LINE
BEDDING AND BACKFILL**

SL-BB-01



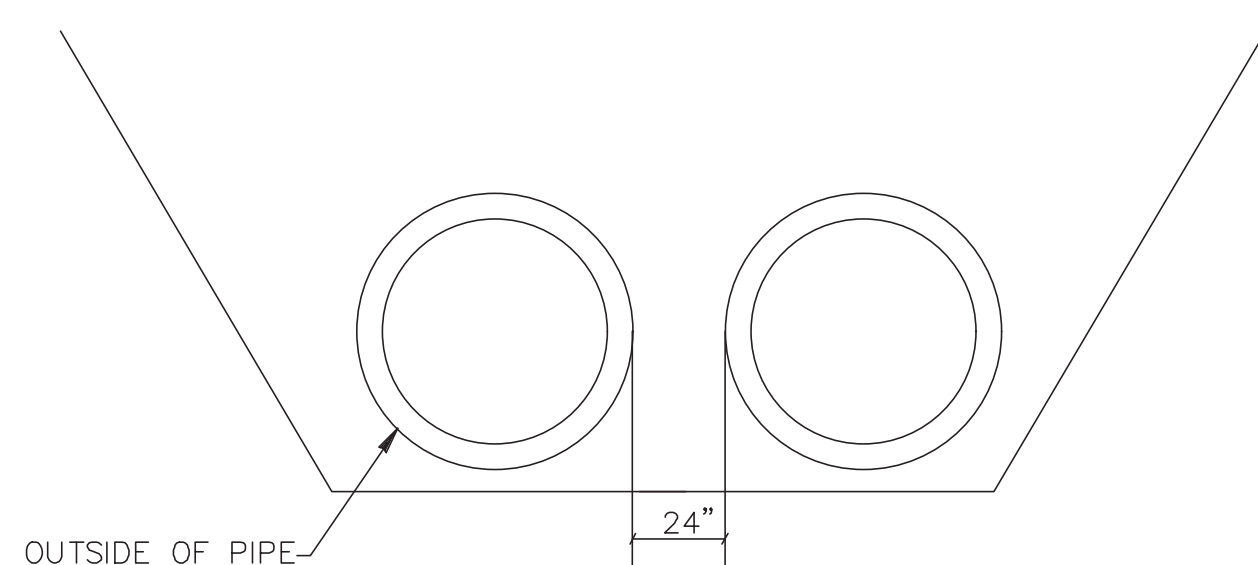
**PROTECTIVE SLAB DETAIL
ZERO LOAD TRANSFER CONCRETE SLAB**

SL-BB-04

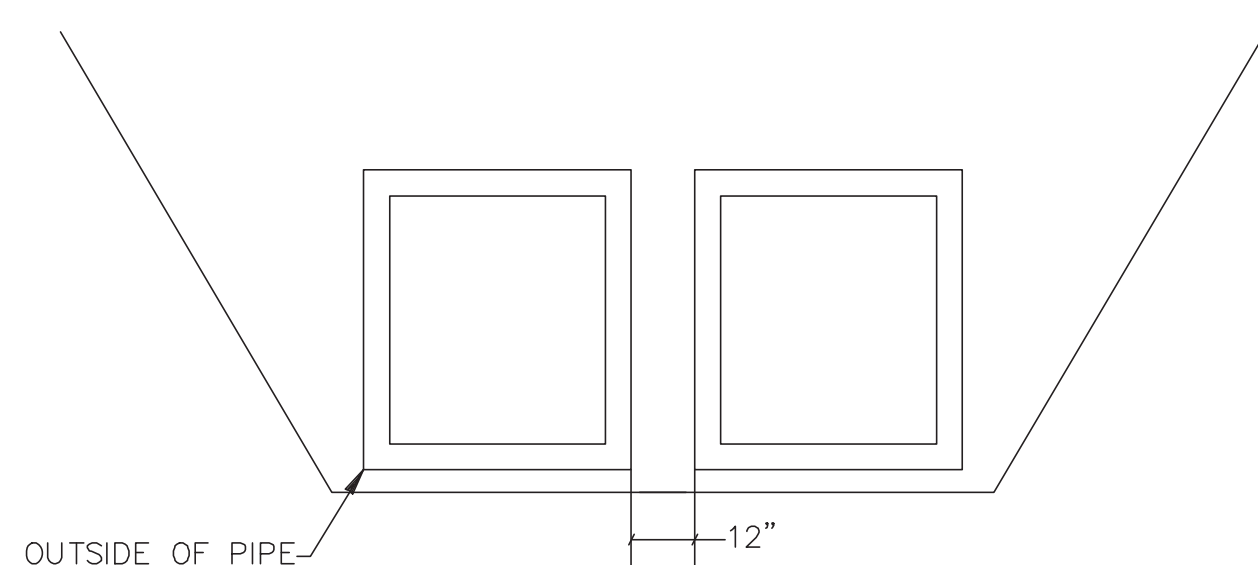
CONSTRUCTION NOTES

1. CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEERING DEPARTMENT IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUNTERED.
2. LIMESTONE AND RECYCLED CONCRETE DIMENSIONS SHOWN ARE TYPICAL BUT MAY BE VARIED BY ORDER OF CITY ENGINEER.
3. LIMESTONE OR RECYCLED CONCRETE SHALL BE IN ACCORDANCE WITH TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPE A, GRADE 2 AGGREGATE.
4. NO BEDDING SHALL BE INSTALLED IN WET CONDITIONS. WHEN WELL POINTING OR IN WET SAND CONDITIONS, MAINTAIN GROUND WATER 1 (FT) BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24-HRS AFTER BEDDING AND BACKFILL IS IN PLACE.
5. ALL MATERIALS SHALL BE FROM THE APPROVED PRODUCTS LIST UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER.
6. SANITARY SEWER BEDDING FOR WET SAND CONDITIONS SHALL BE AS PER MODIFIED "A".
7. ALL SAND BEDDING FOR WATER LINES SHALL BE CLEAN, MECHANICALLY COMPACTED BANK SAND.
8. REFER TO: MANHOLE DETAILS, SANITARY, C.S.S., GENERAL, WATER CROSSING, WATER DISTRIBUTION DETAILS AND NOTES.
9. ALL BEDDING WILL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
10. A GEOTECHNICAL REPORT MAY BE REQUIRED TO ANALYZE THE BEARING CAPACITY OF EXISTING SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDDING AND BACKFILL IS APPROPRIATE.

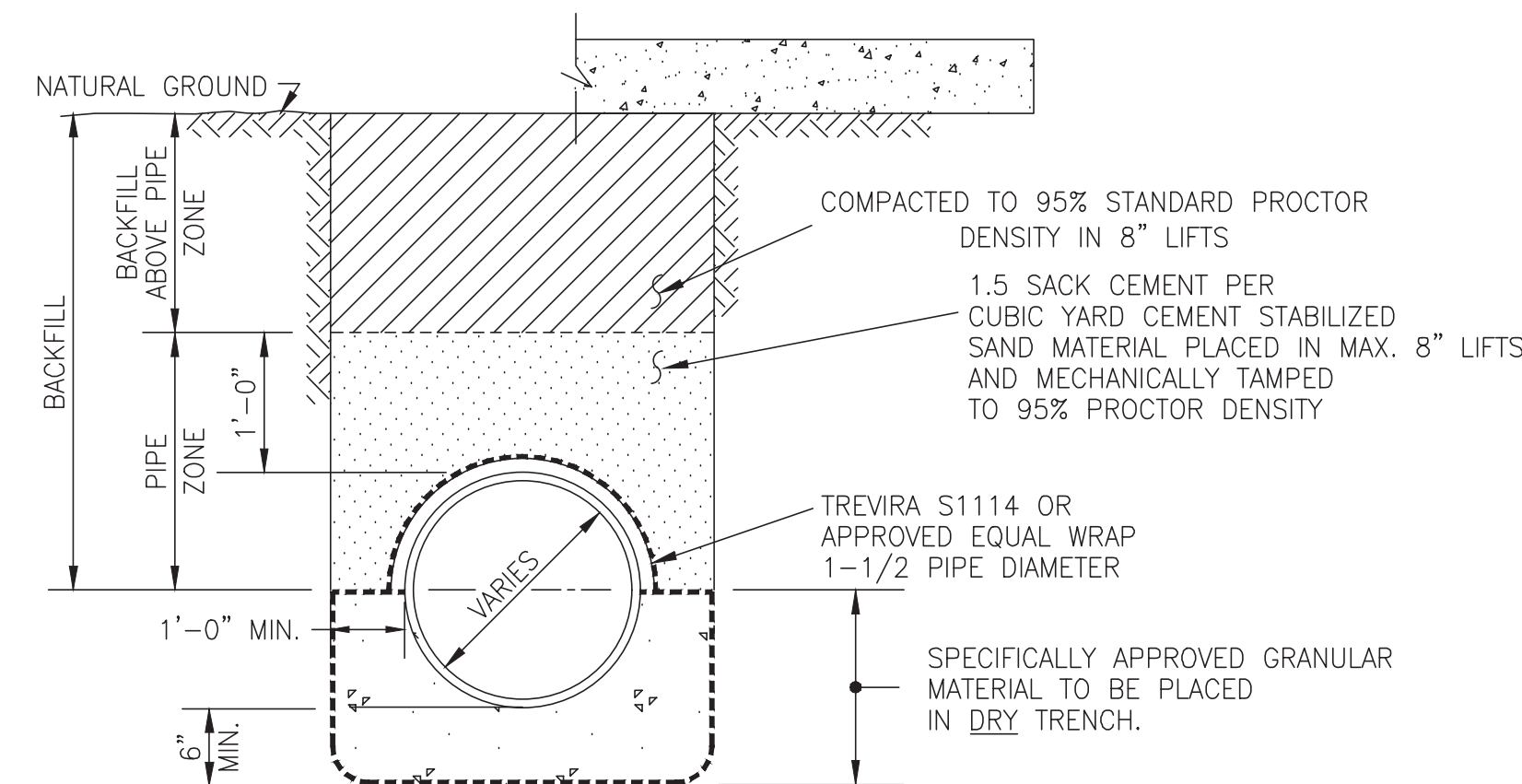
SL-BB-05



PIPE SEPARATION



RCB SEPARATION



MODIFIED "A"
N.T.S.


NOTE: C.S.S. SHALL BE INSTALLED A MIN. 1' ABOVE TOP OF PIPE.

**SANITARY SEWER
BEDDING AND BACKFILL**

SL-BB-03

REFER TO:

1. GENERAL NOTES
2. C.S.S. NOTES

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
WATER LINE, SANITARY SEWER FORCE MAIN BEDDING DETAILS		
JOB No.:	SL-19	
DATE:		
DESIGNED BY:		
DRAWN BY:		
CHECKED BY:		
SCALE:		SHEET OF

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED	DR
DRAWN	BT
CHECKED	
DATE	

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4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6661
REG. NO. F-825

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DOUGLAS B. ROESSLER
56739
LICENSED PROFESSIONAL ENGINEER

DR 03-03-2023

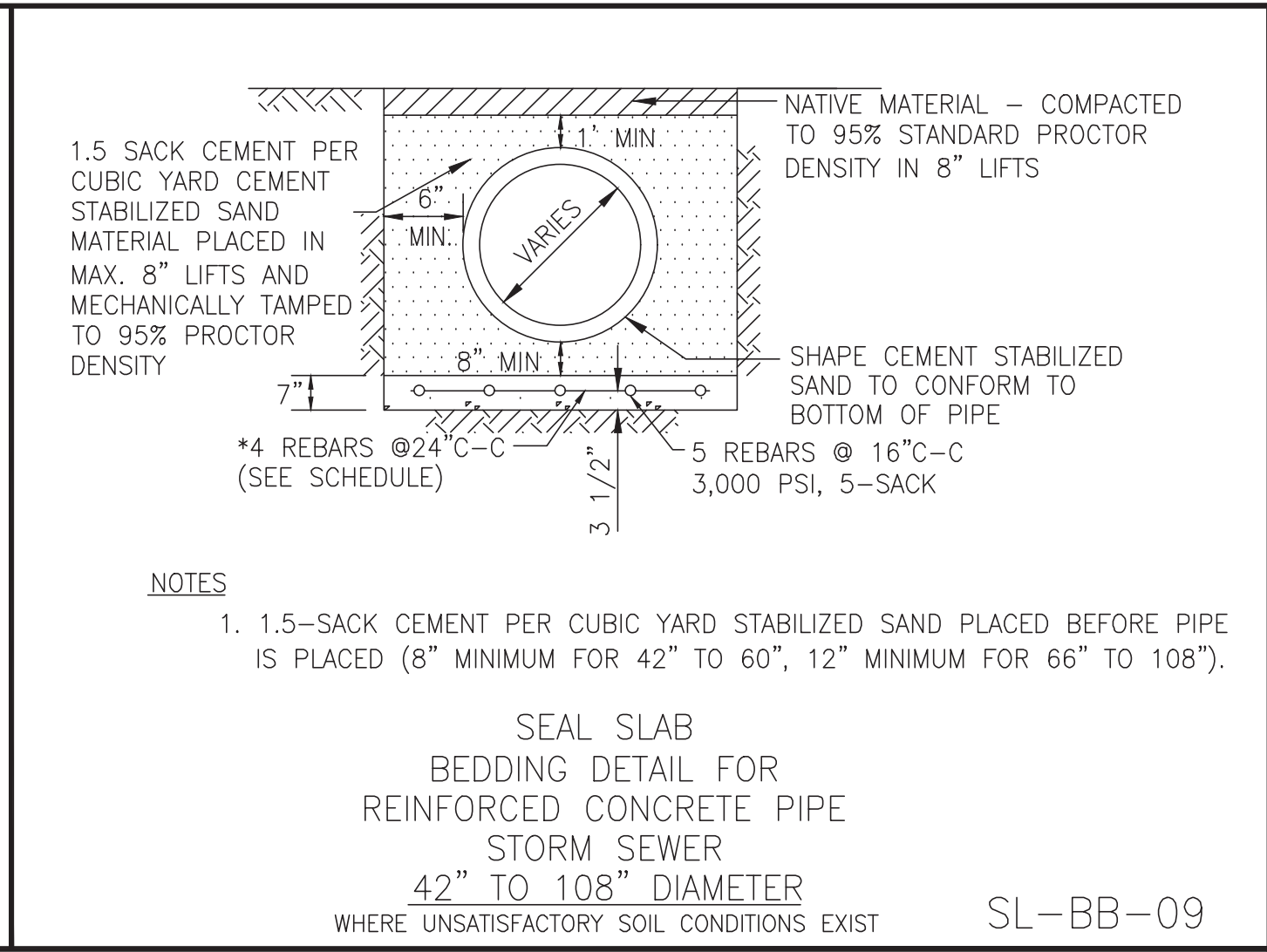
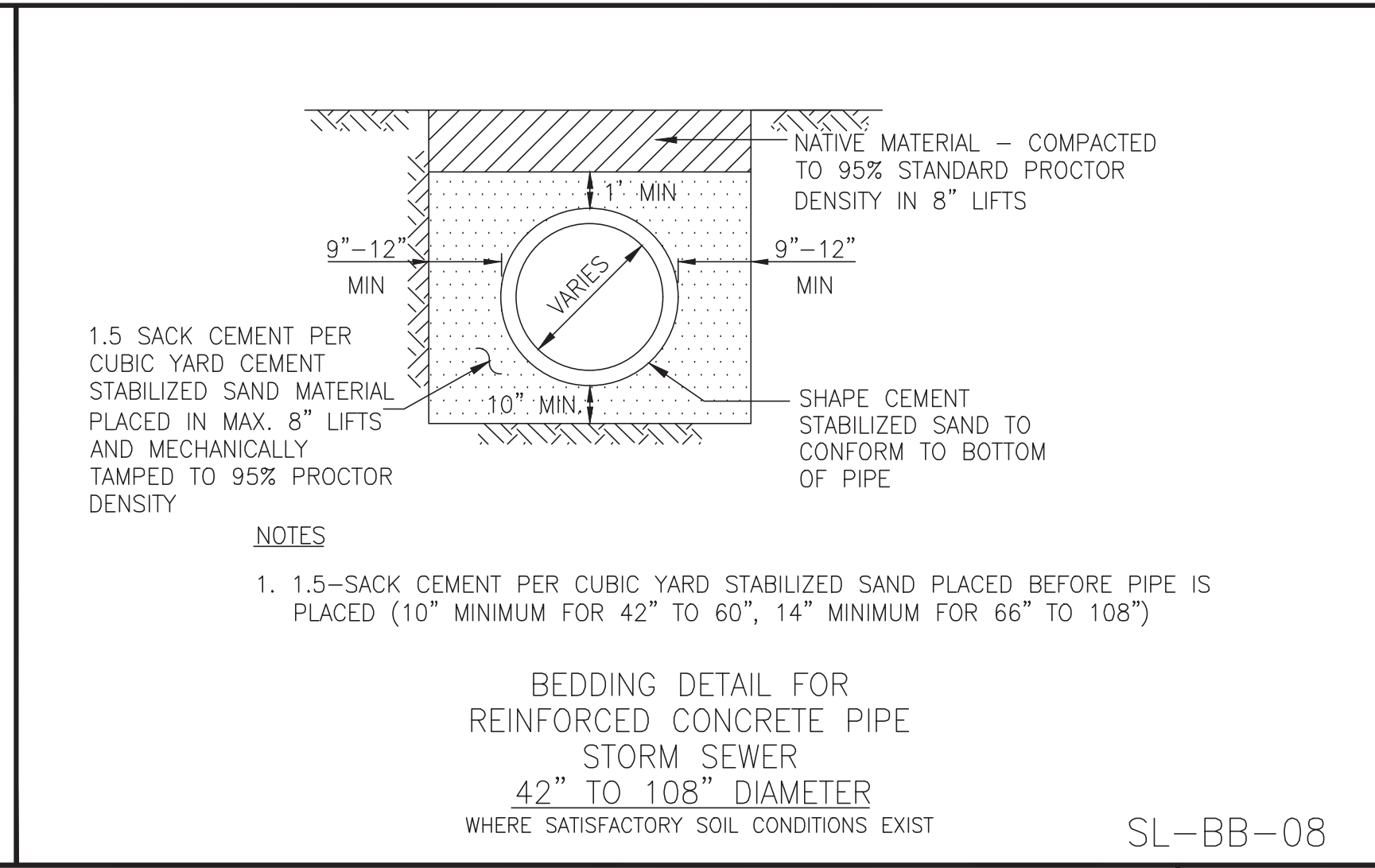
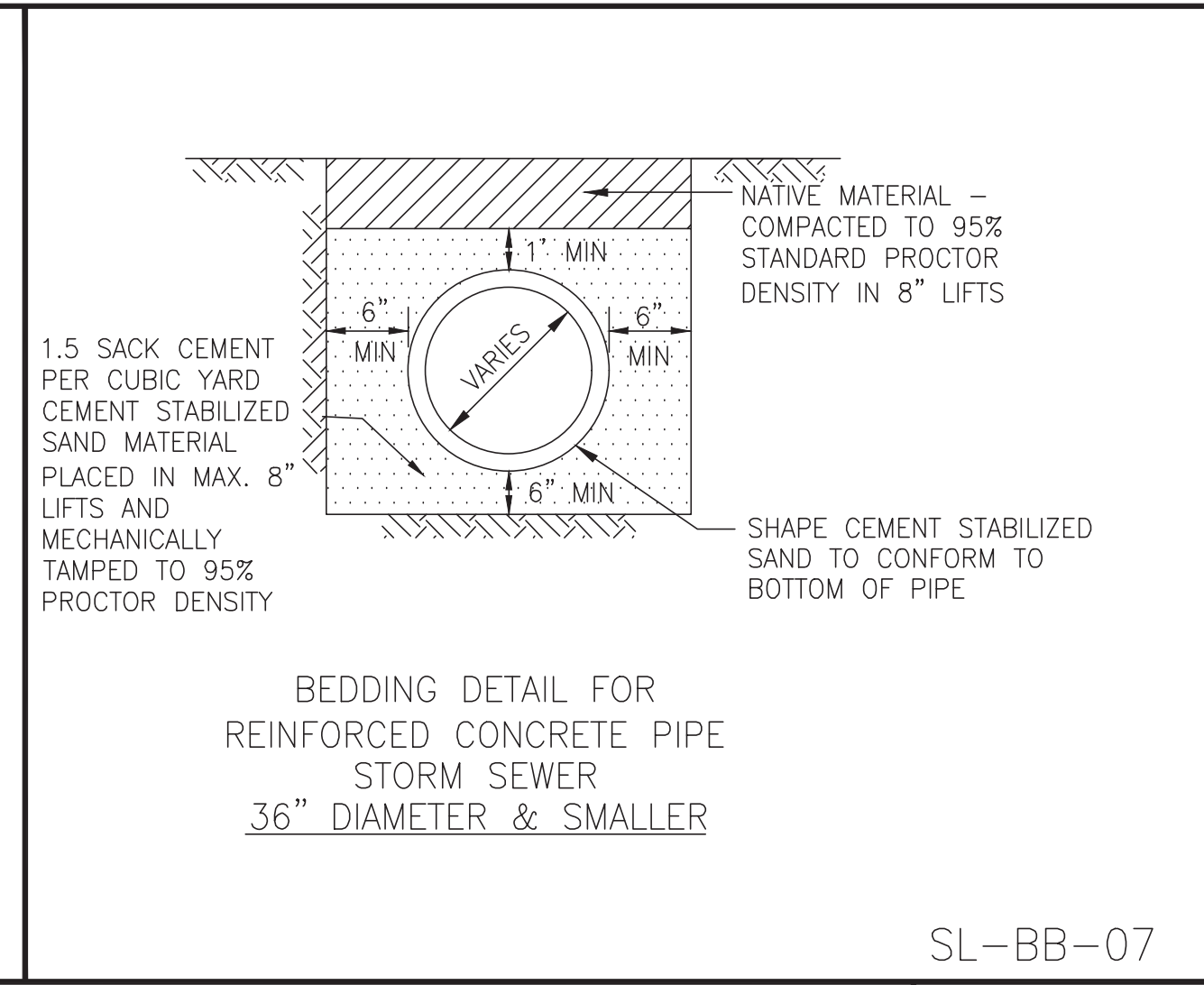
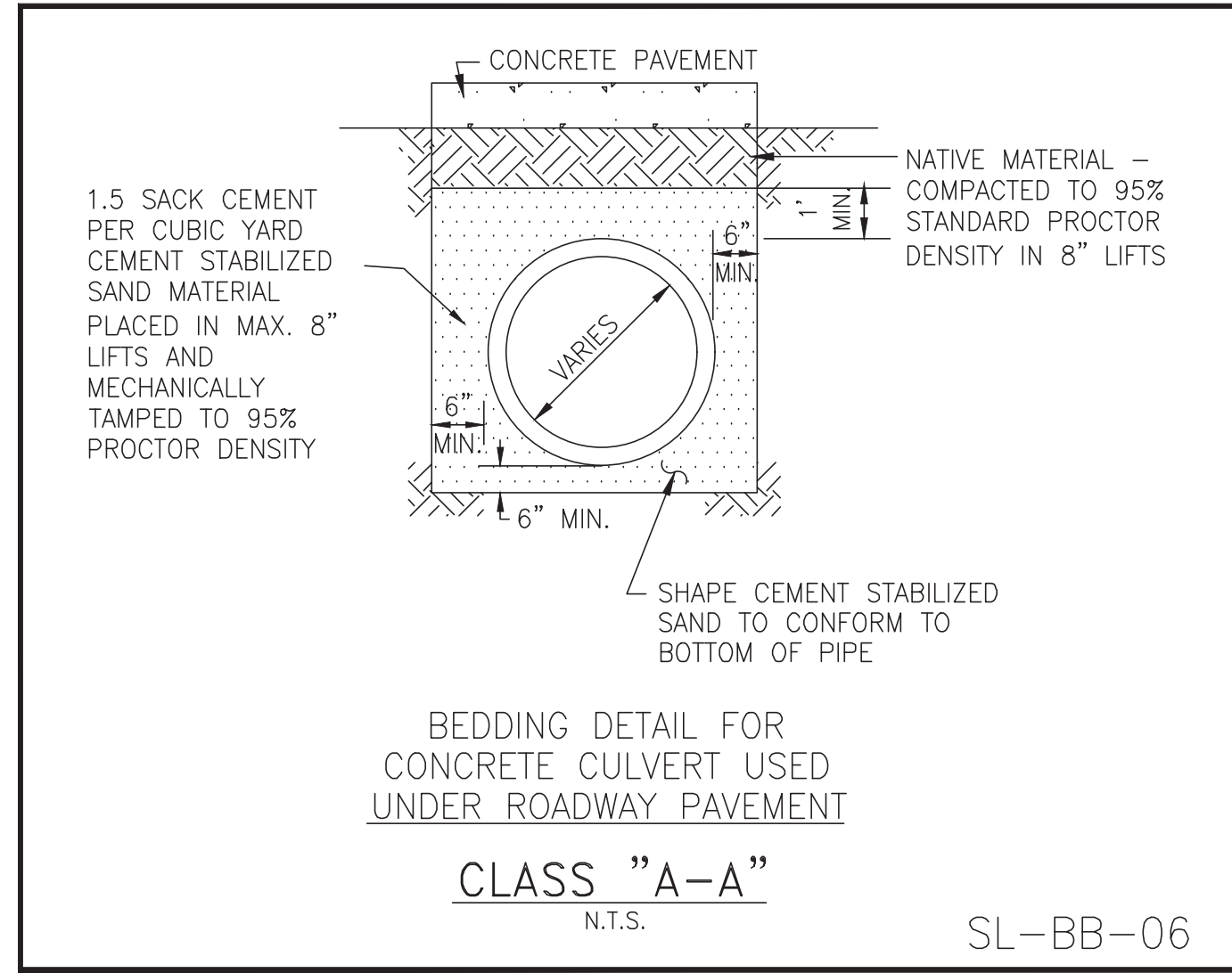
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

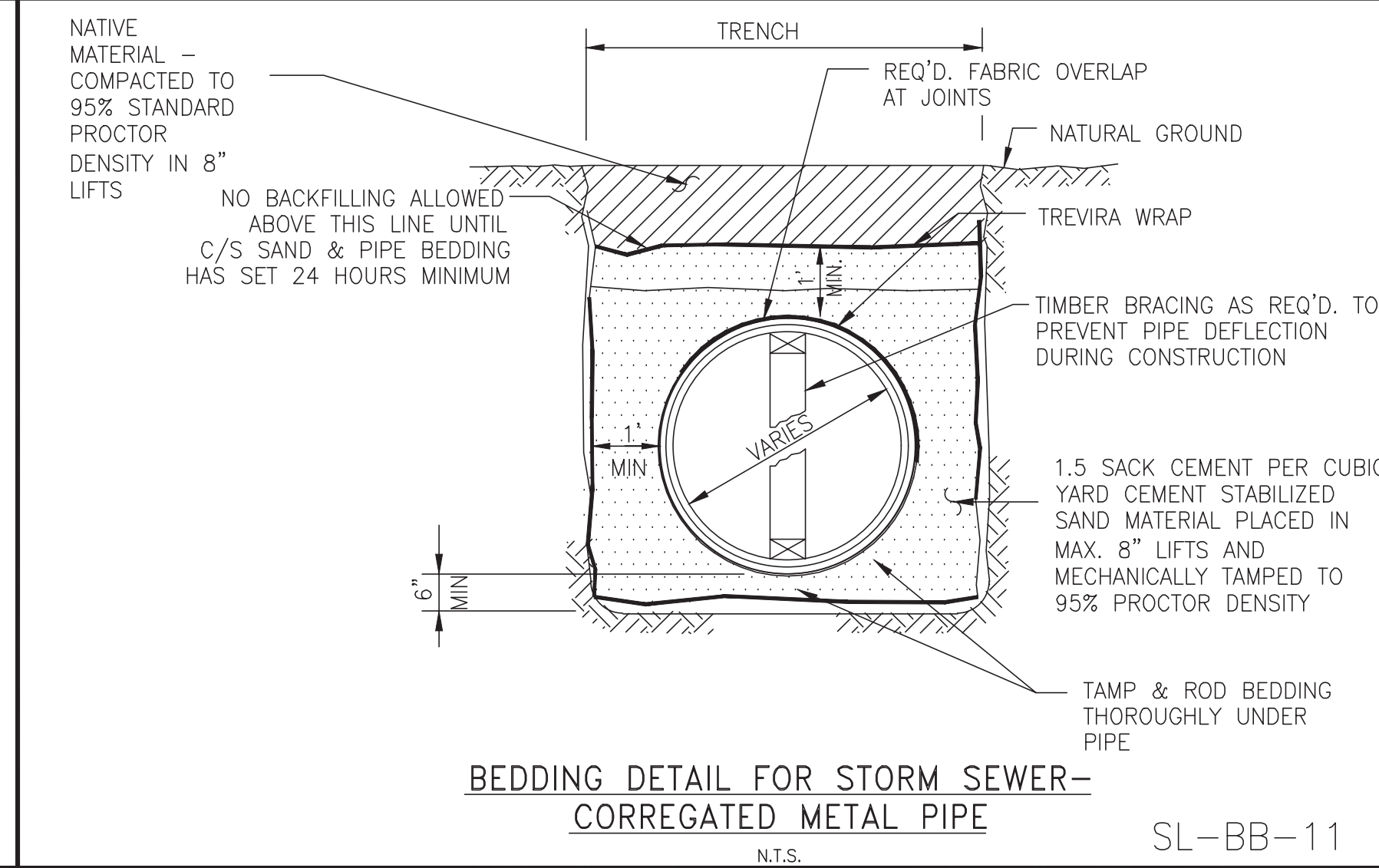
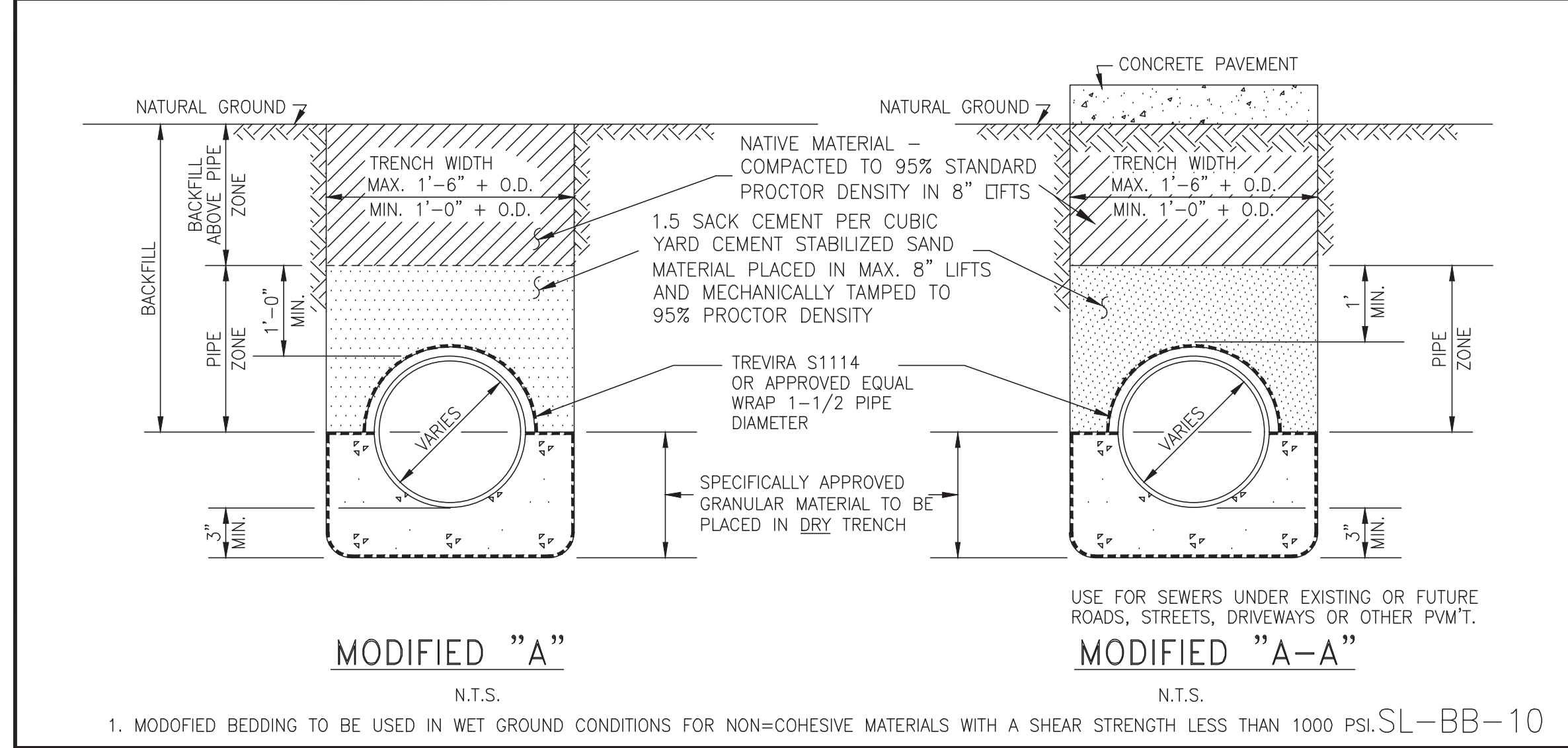
WATER LINE, SANITARY SEWER
FORCE MAIN BEDDING DETAILS
SL-19

PROJECT NO. 14396



NOTES

- 1.5-SACK CEMENT PER CUBIC YARD STABILIZED SAND PLACED BEFORE PIPE IS PLACED (10" MINIMUM FOR 42" TO 60", 14" MINIMUM FOR 66" TO 108")
- 1.5-SACK CEMENT PER CUBIC YARD STABILIZED SAND PLACED BEFORE PIPE IS PLACED (8" MINIMUM FOR 42" TO 60", 12" MINIMUM FOR 66" TO 108").

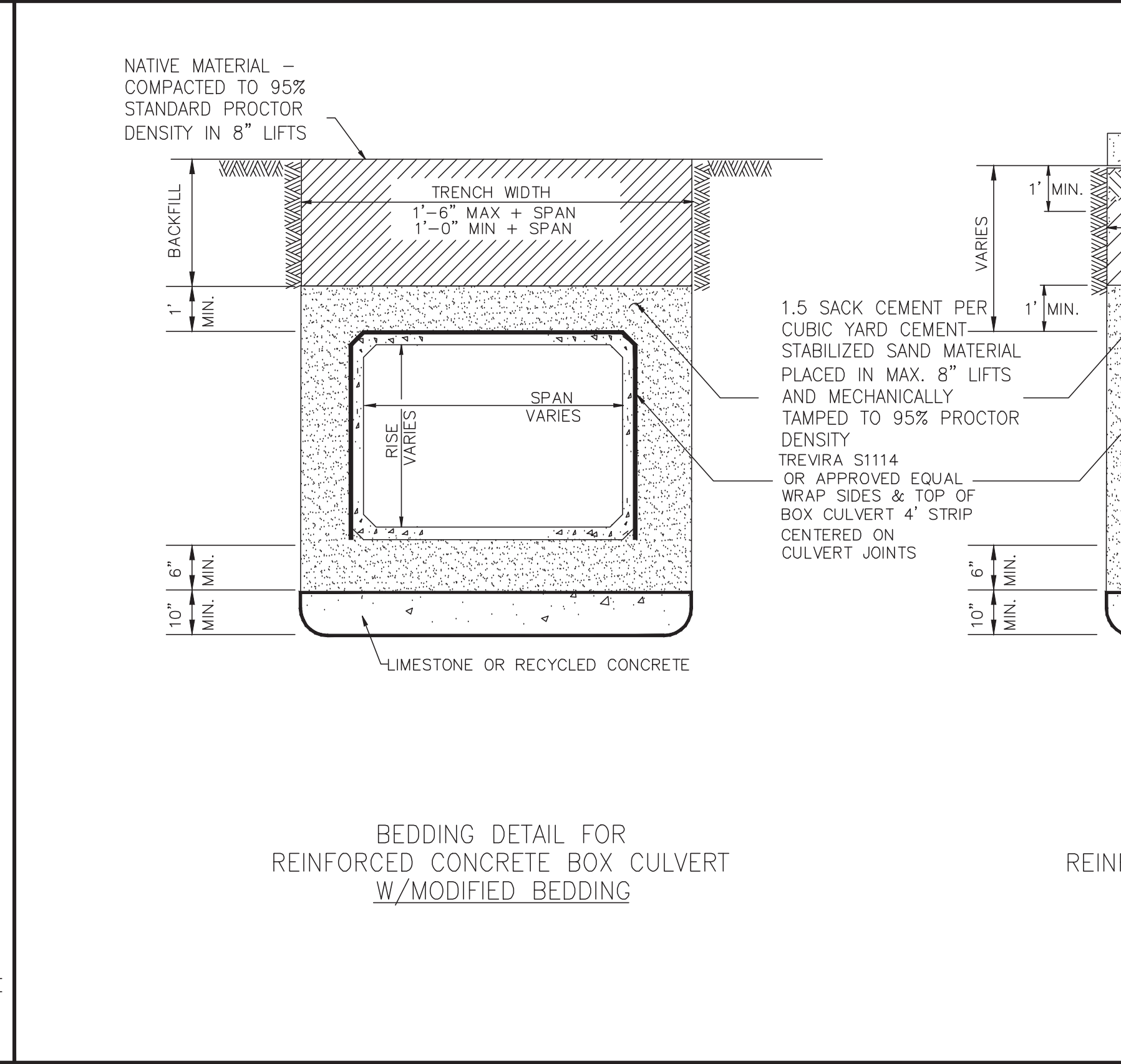
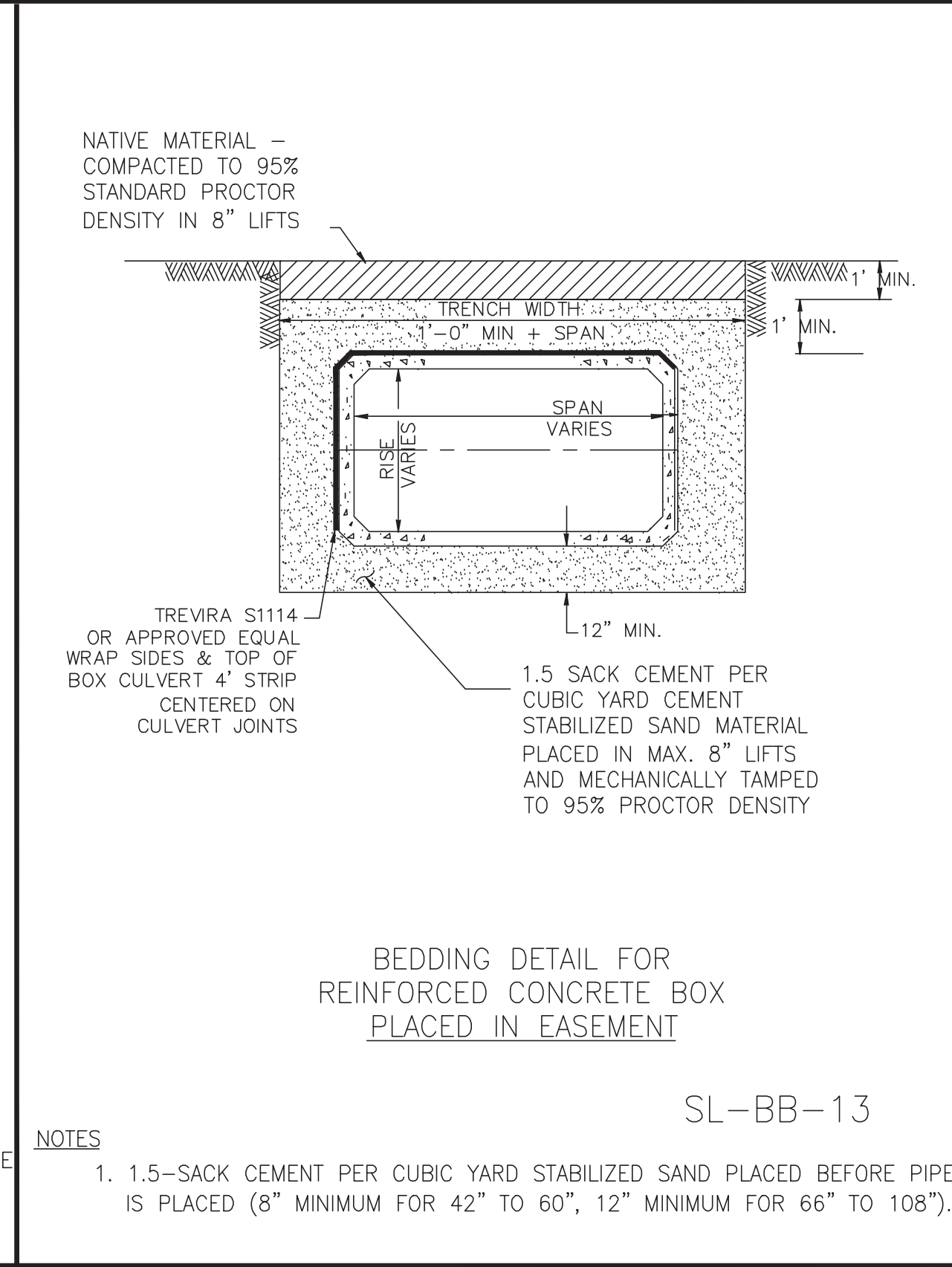
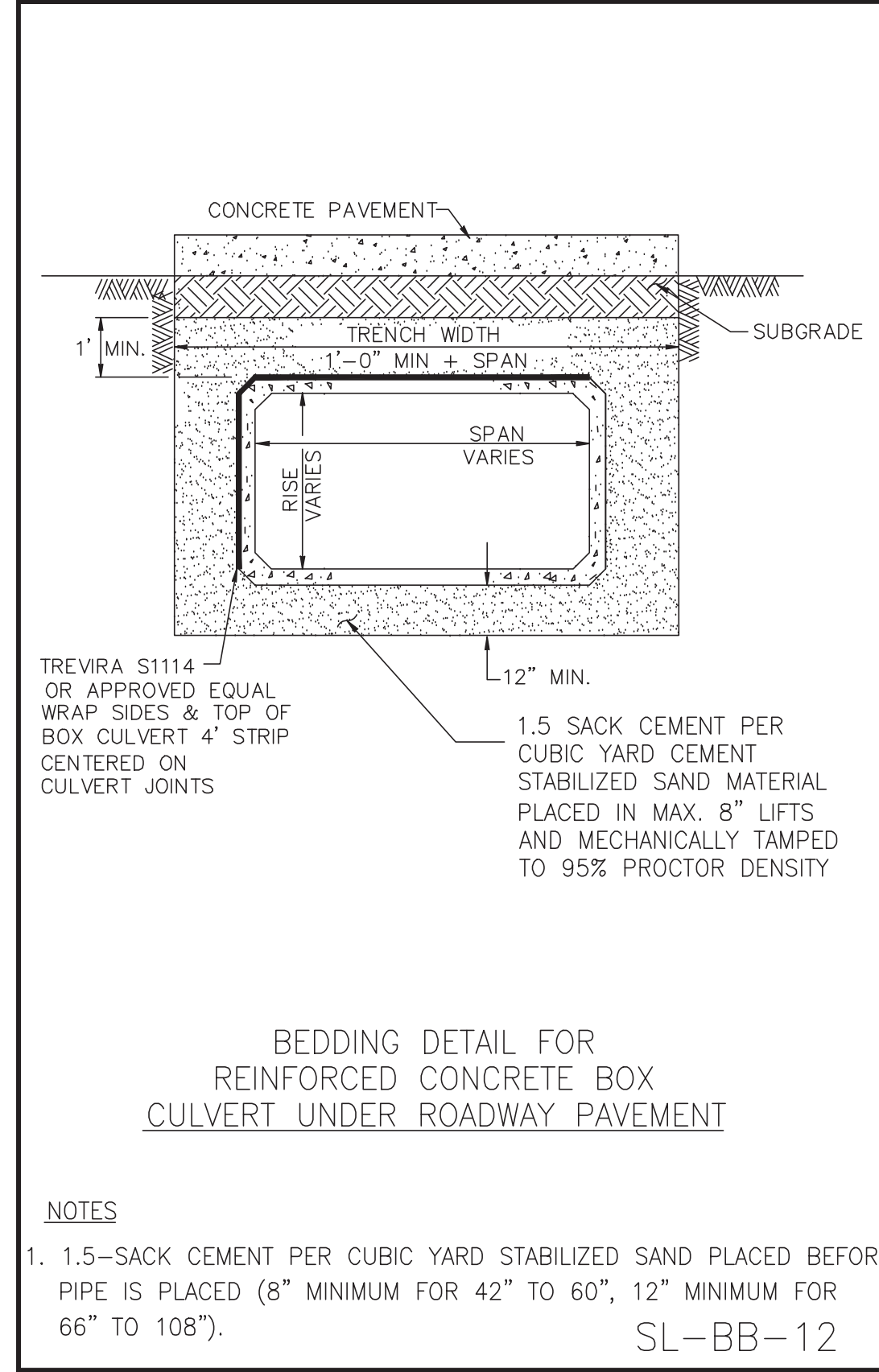


CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEERING DEPARTMENT IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUNTERED.
- SPECIFICALLY APPROVED GRANULAR MATERIAL DIMENSIONS SHOWN ARE TYPICAL BUT MAY BE VARIED BY ORDER OF CITY ENGINEER.
- SPECIFICALLY APPROVED GRANULAR MATERIAL SHALL BE IN ACCORDANCE WITH TxDOT SPECIFICATION No. 247 FLEXIBLE BASE, TYPE A, GRADE 2 AGGREGATE.
- NO BEDDING SHALL BE INSTALLED IN WET CONDITIONS. WHEN WELL POINTING OR IN WET SAND CONDITIONS, MAINTAIN GROUND WATER 1' (FT.) BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24-HRS AFTER BEDDING AND BACKFILL IS IN PLACE.
- R.C.P. AND BOX CULVERTS SHALL BE INSTALLED WITH APPROVED GASKETS ONLY.
- MANHOLES SHALL BE PROVIDED WHERE MODIFIED "A" OR MODIFIED "A-A" BEDDING IS USED. STACKS ARE NOT ALLOWED.
- REFER TO: MANHOLE DETAILS, INLETS, OUTFALL AND END TREATMENT DETAILS, C.S.S., GENERAL NOTES, AND STORM NOTES.
- SPECIFIC DESIGNS MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER FOR MANHOLE ACCESS TO BOX CULVERTS AS REQUIRED.
- ALL BACKFILL WITHIN THE R.O.W. SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- A GEOTECHNICAL REPORT MAY BE REQUIRED TO ANALYZE THE BEARING CAPACITY OF EXISTING SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDDING AND BACKFILL IS APPROPRIATE.

PIPE SIZE	LGT #4 BARS	LAT #5 BARS	NO LONGIT #5 BARS
42"	5'4"		5
48"	6'8"		6
54"	6'8"		6
60"	8'0"		7
66"	8'0"		7
72"	9'4"		8
78"	9'4"		8
84"	9'4"		8
90"	10'8"		9
96"	10'8"		9
102"	12'0"		10
108"	12'0"		10

SL-BB-15



BEDDING DETAIL FOR REINFORCED CONCRETE BOX CULVERT UNDER ROADWAY PAVEMENT
SL-BB-14

REVISIONS

No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:
STORM SEWER PIPE BEDDING AND BACKFILL DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-20 SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

REVISIONS

DESIGNED DR
DRAWN BT
CHECKED
DATE

BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

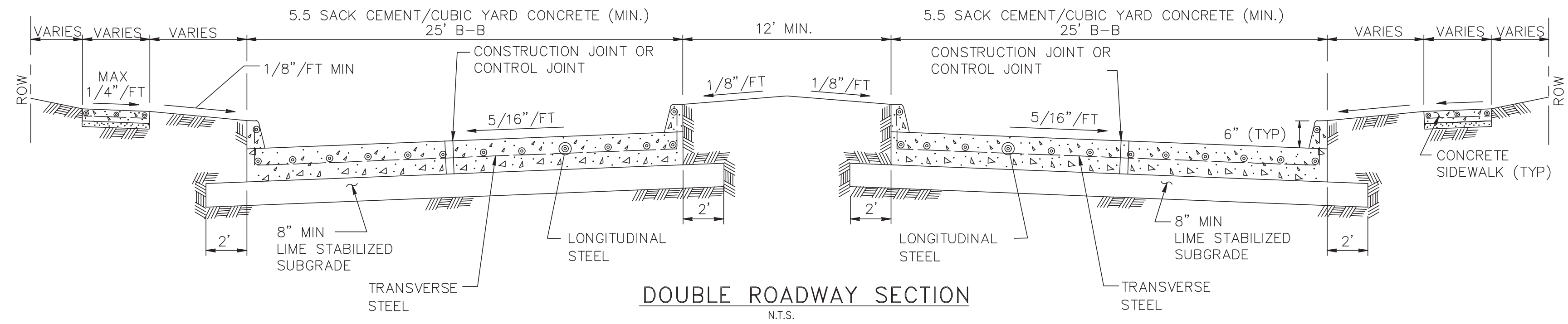
The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

PROJECT NO. 14396
STORM SEWER PIPE BEDDING AND BACKFILL DETAILS
SL-20

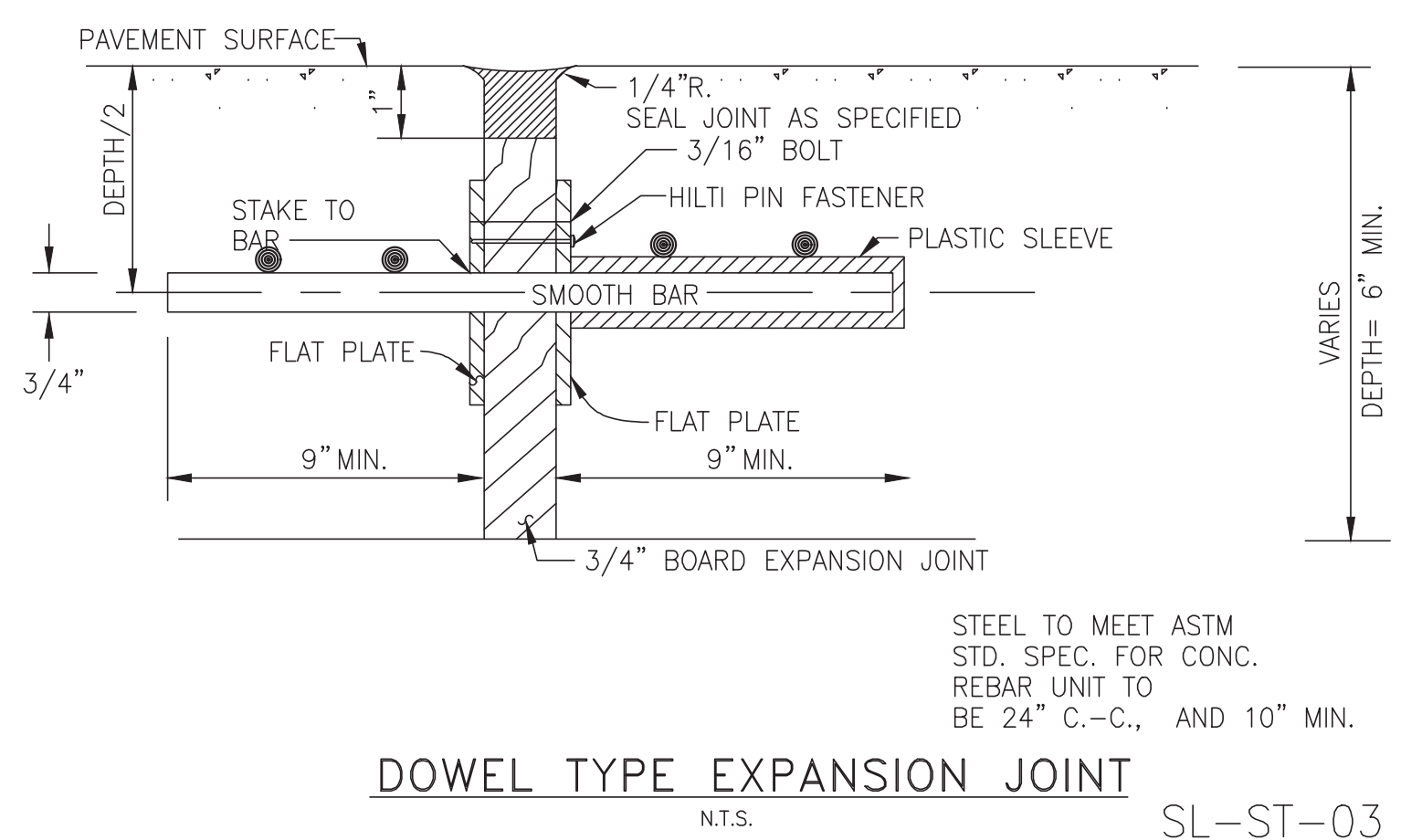


SL-ST-01

CONSTRUCTION NOTES:

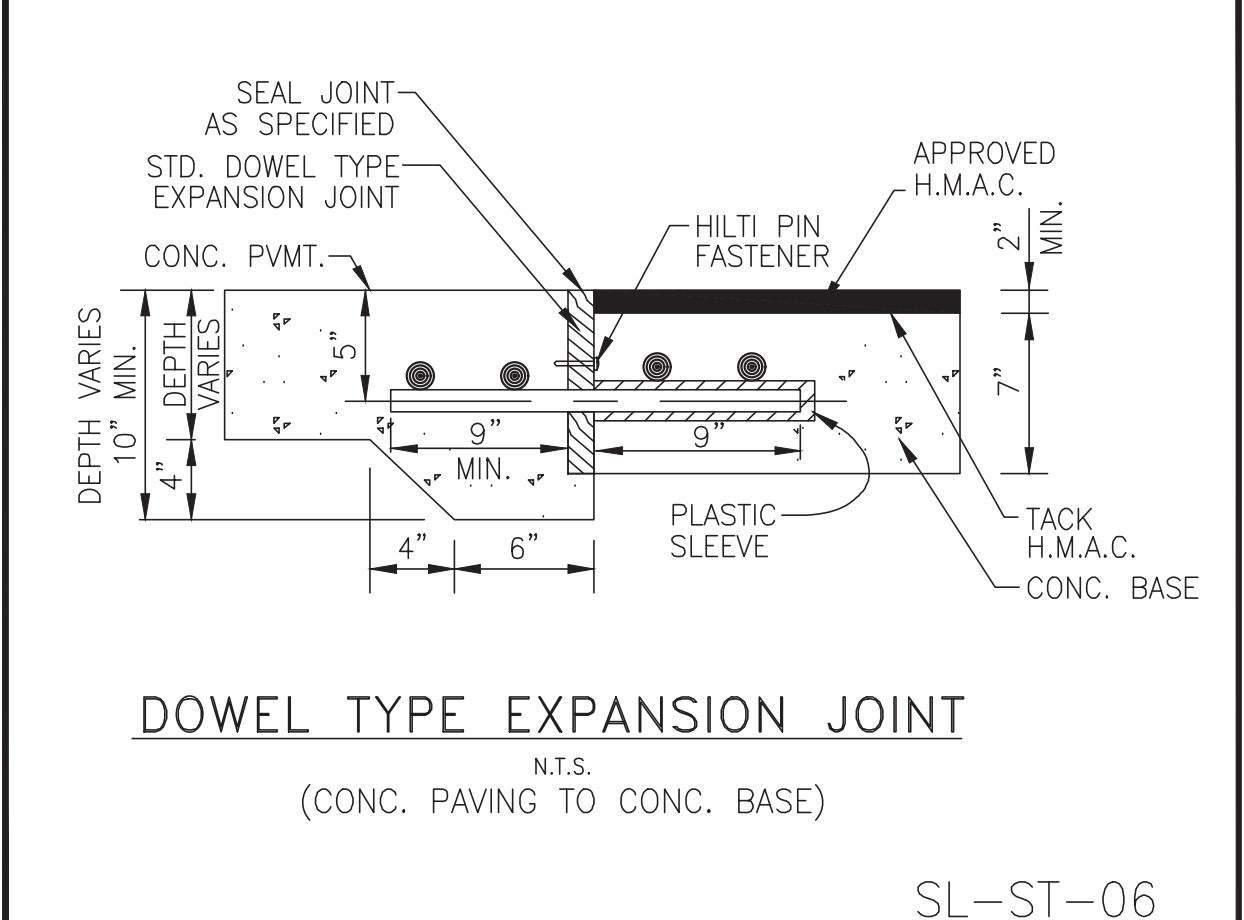
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR LOCAL STREETS
- 7 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 18 INCHES C-C, IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS
- EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS.
- HARD AGGREGATE IS NOT ALLOWED IN STREET PAVEMENT MIX. ADMIXTURES REQUIRE CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT APPROVAL.
- TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 200' AND BE SEALED WITH SEALANT CONFORMING TO TXDOT ITEM 360 (& ITEM 438) AND TXDOT DMS-6310, CLASS-2.
- TRANSVERSE CONTROL JOINTS ARE REQUIRED AT MAXIMUM SPACING OF 20'-0" C-C, AND VERTICAL CURB JOINTS TO BE SEALED WITH SPECIAL JOINT SEALANT ASTM-D-1190-74 OR AASHTO-M173-60 FOR PAVEMENT 8" THICK AND GREATER. (ELASTOMERIC TYPE HOT Poured)
- PAVEMENT FINISH SHALL BE BAKER BROOM FINISH. CURING COMPOUND REQUIRED ON ALL CONCRETE.
- STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED, MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM QUALITY MANUAL OF THE CITY OF SUGAR LAND. CITY ENGINEER'S APPROVAL.
- REFER TO GENERAL, C.S.S., AND PAVEMENT NOTES.

SL-ST-12



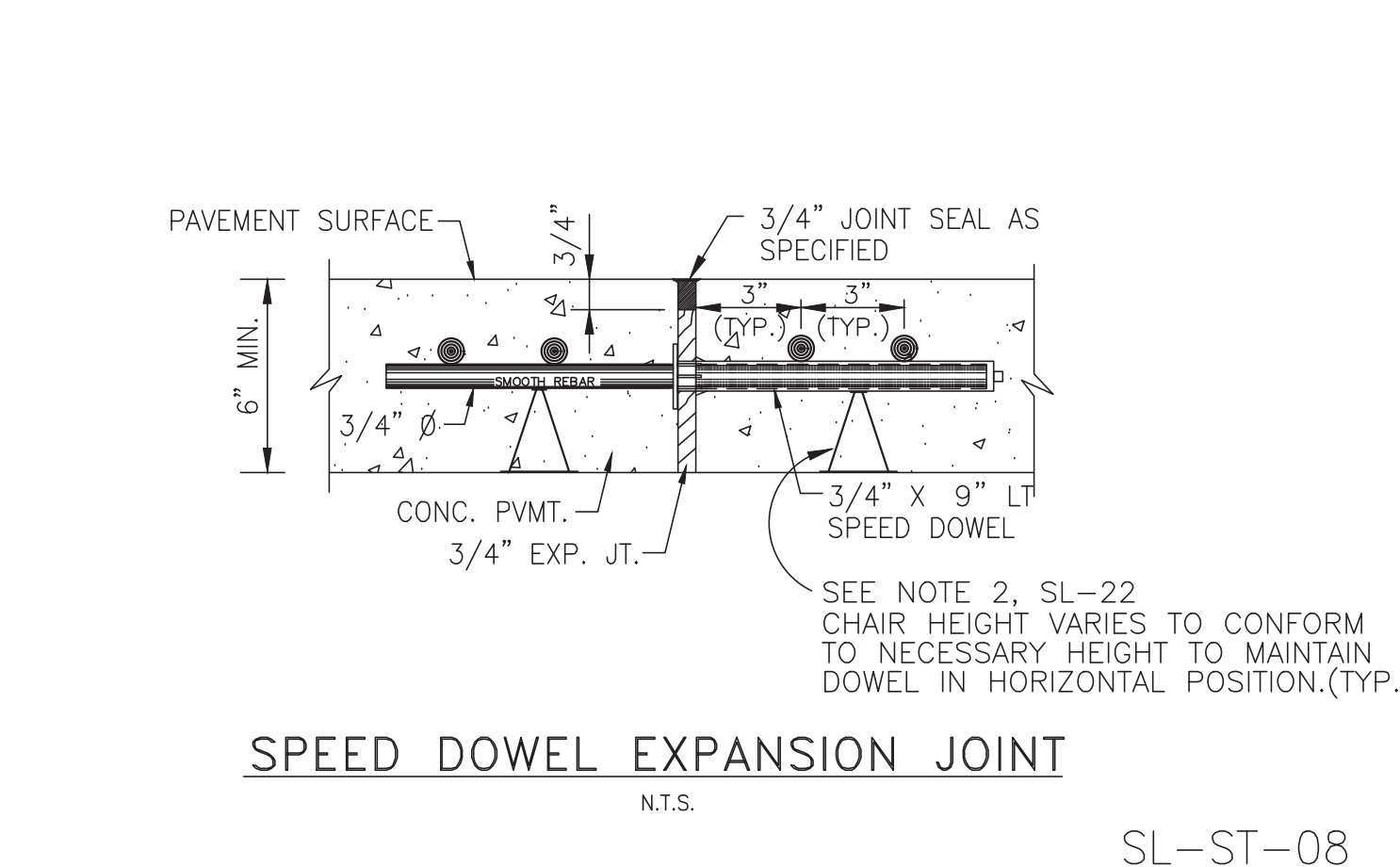
DOWEL TYPE EXPANSION JOINT N.T.S.

SL-ST-03



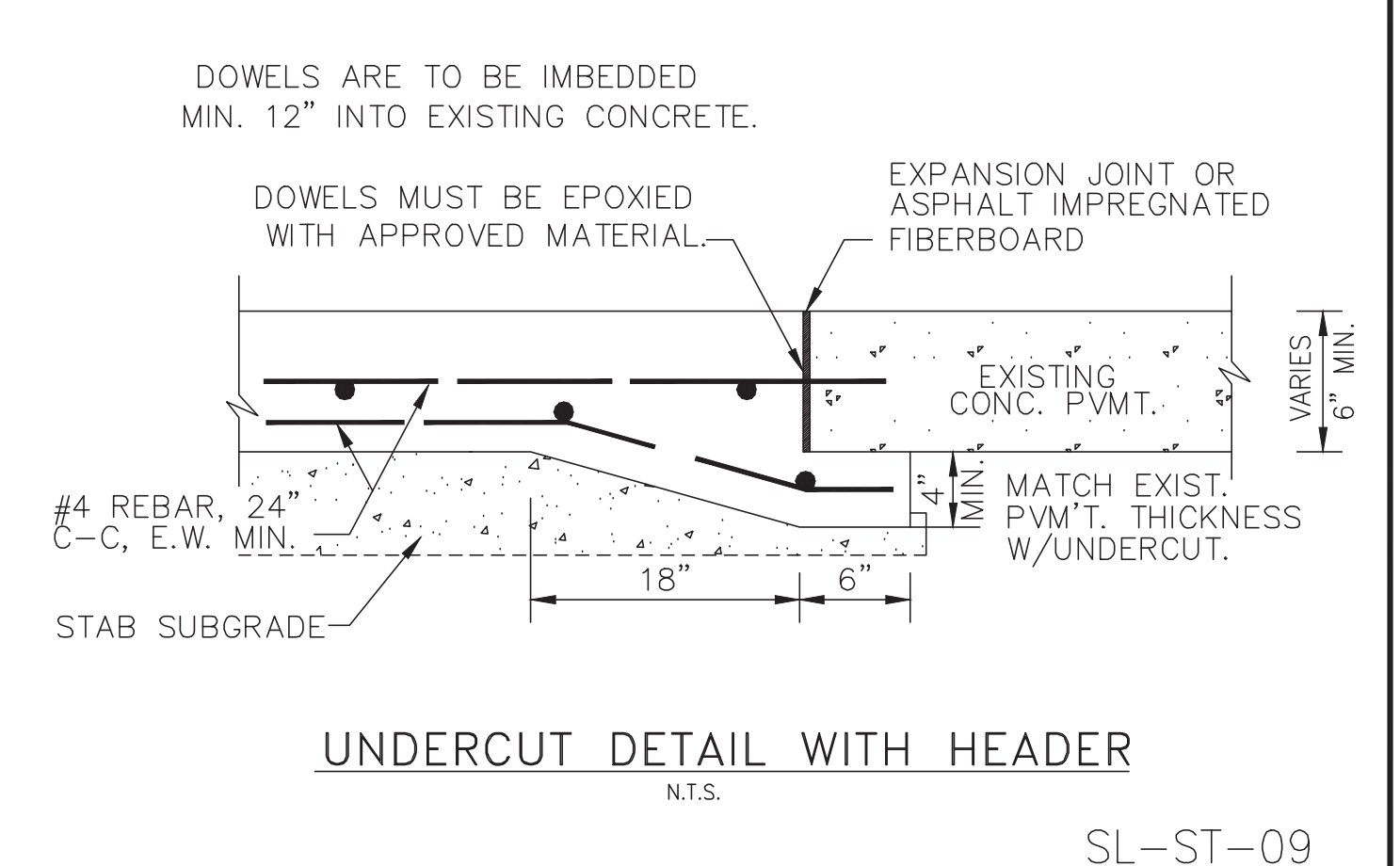
DOWEL TYPE EXPANSION JOINT (CONC. PAVING TO CONC. BASE) N.T.S.

SL-ST-06



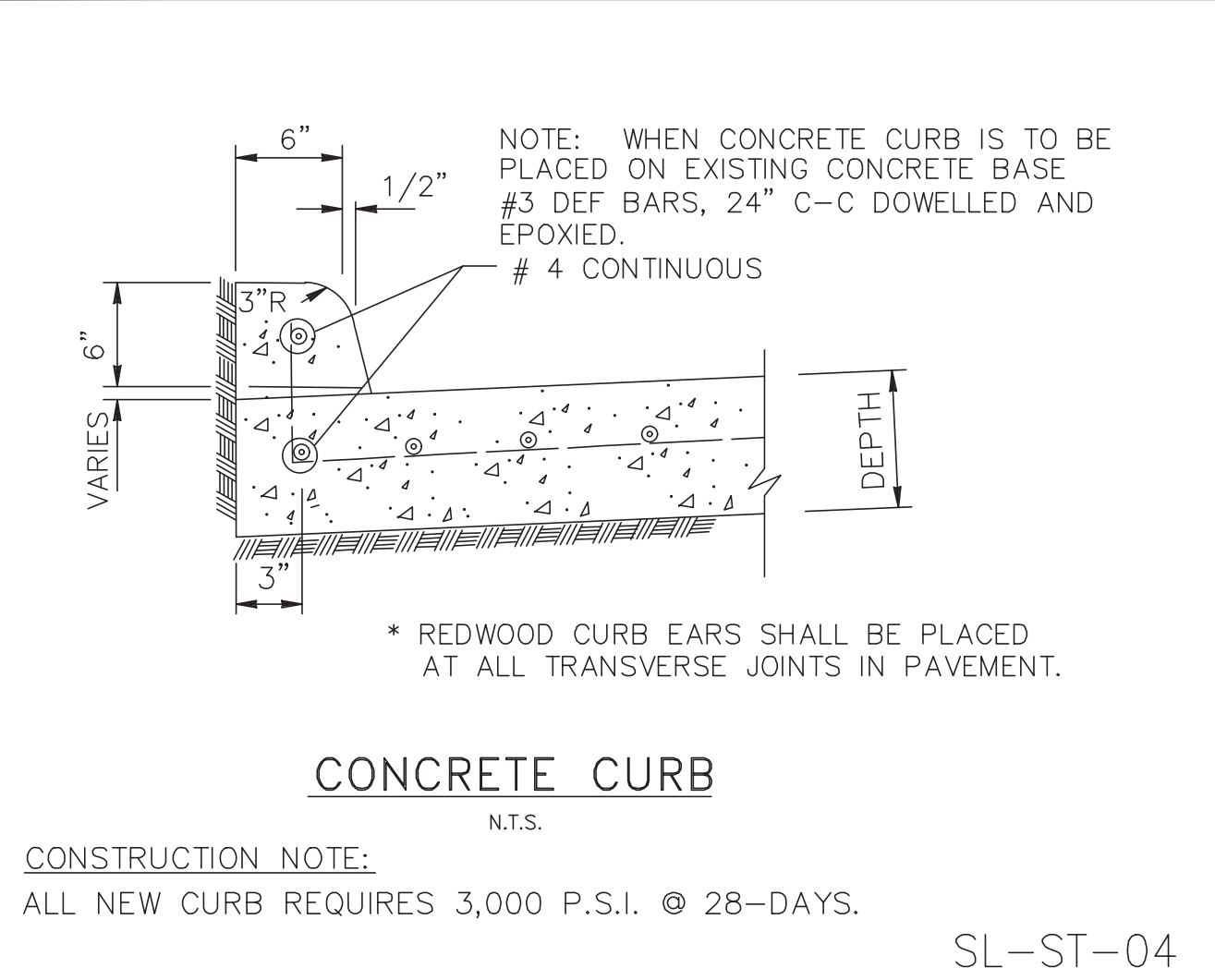
SPEED DOWEL EXPANSION JOINT N.T.S.

SL-ST-08



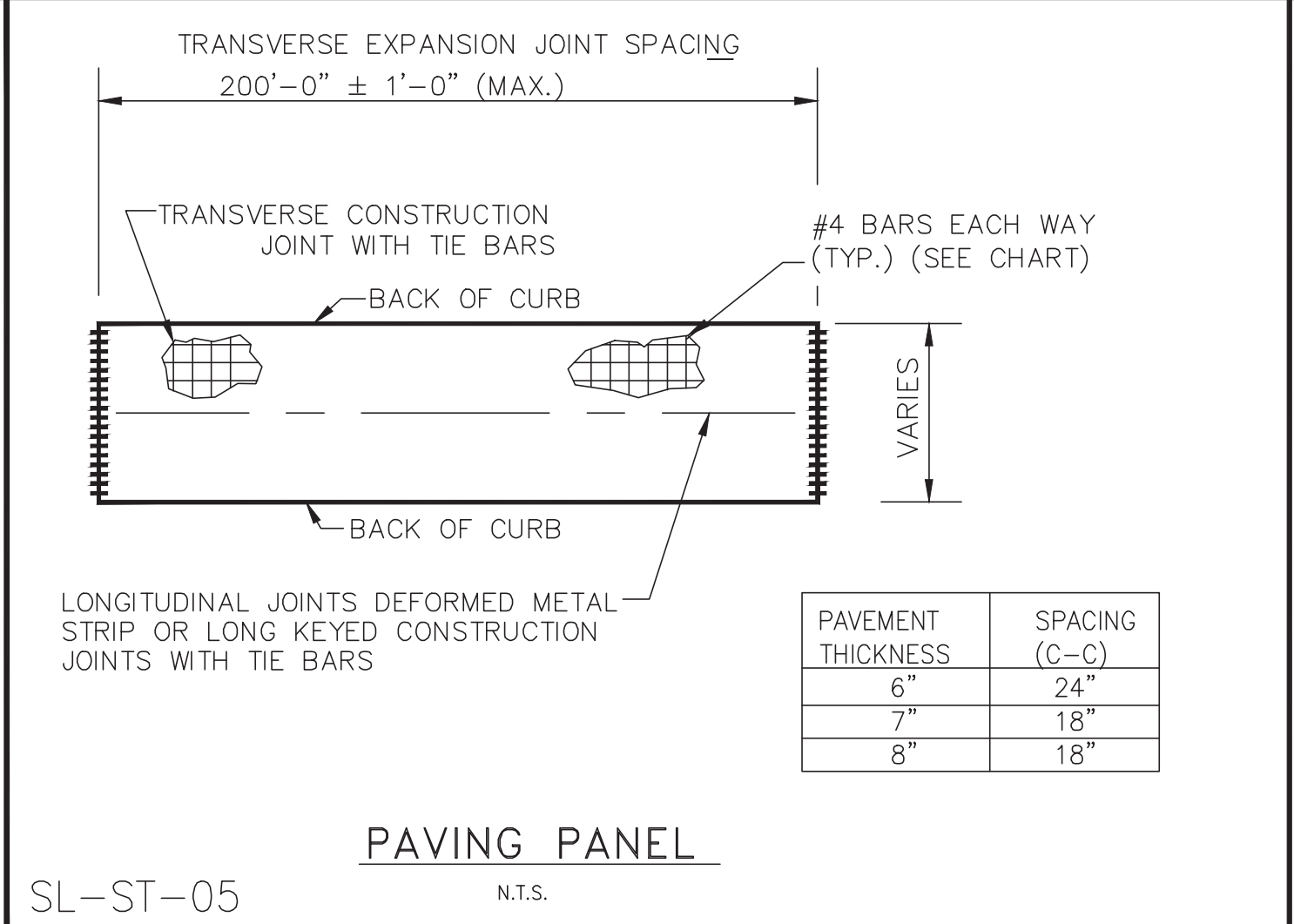
UNDERCUT DETAIL WITH HEADER N.T.S.

SL-ST-09



CONCRETE CURB N.T.S.

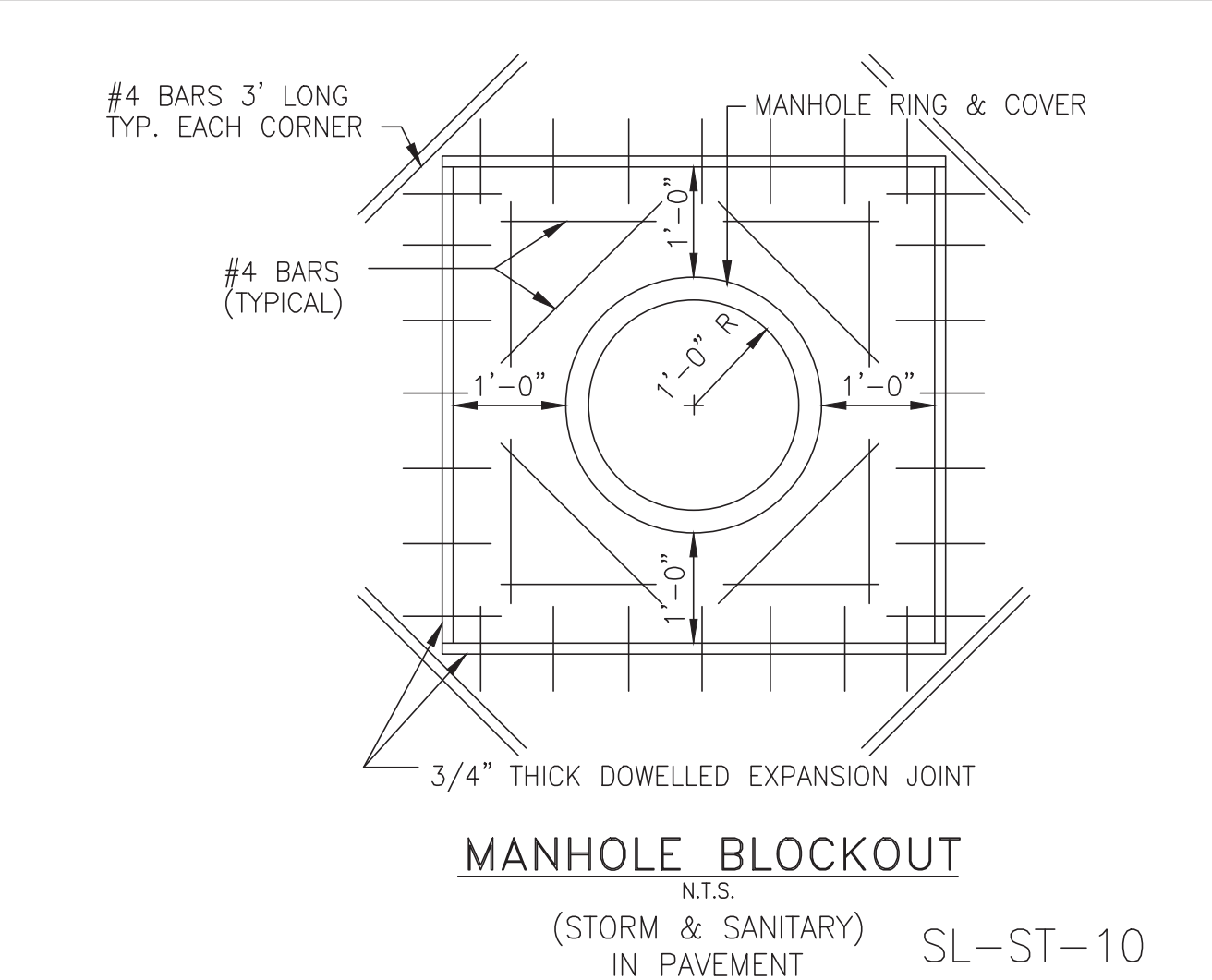
SL-ST-04



PAVING PANEL N.T.S.

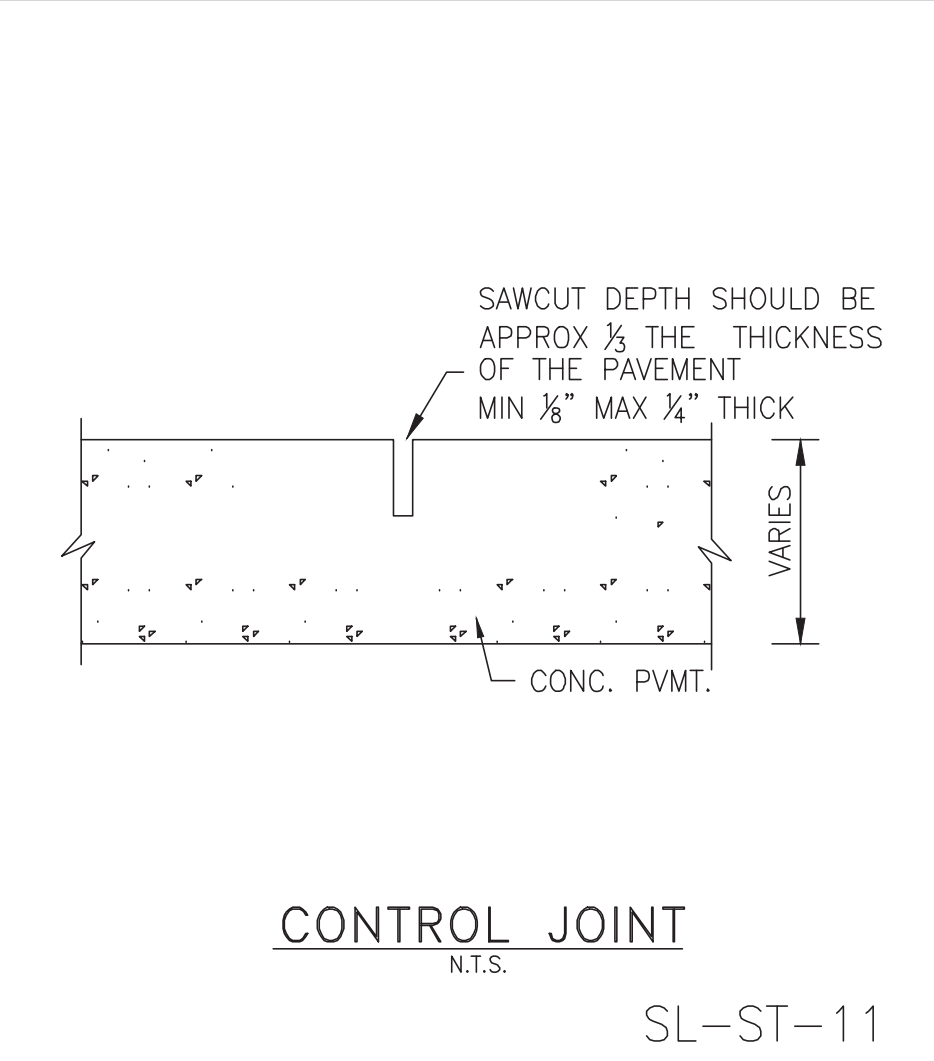
SL-ST-05

PAVEMENT THICKNESS	SPACING (C-C)
6"	24"
7"	18"
8"	18"



MANHOLE BLOCKOUT N.T.S.

(STORM & SANITARY) IN PAVEMENT SL-ST-10

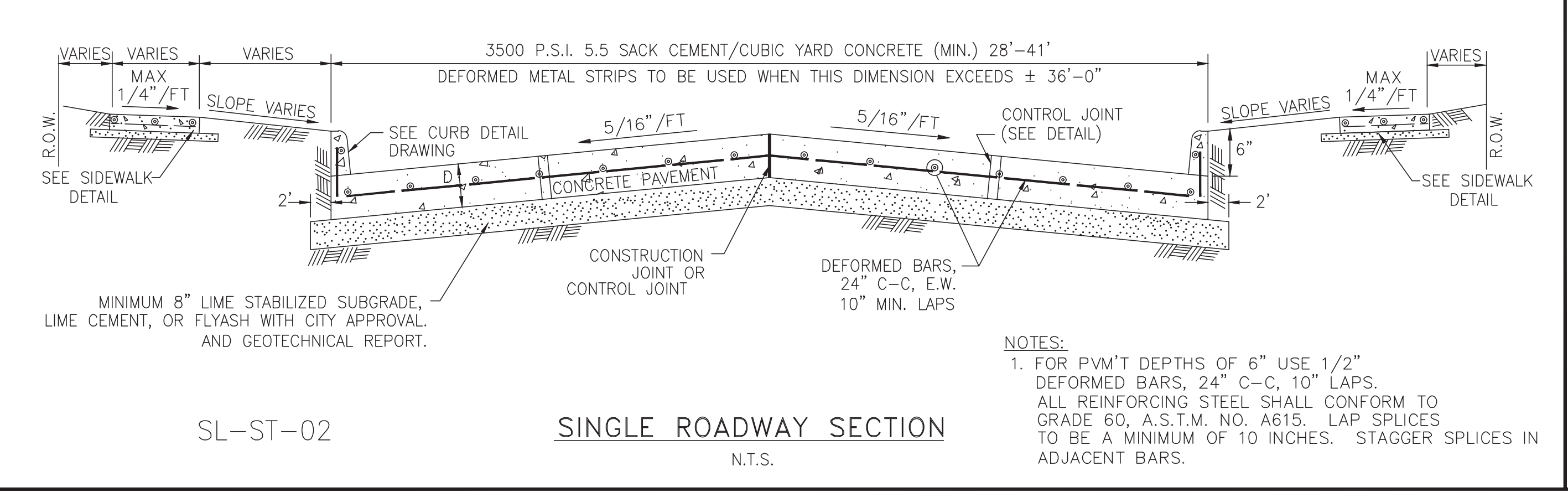


CONTROL JOINT N.T.S.

SL-ST-11

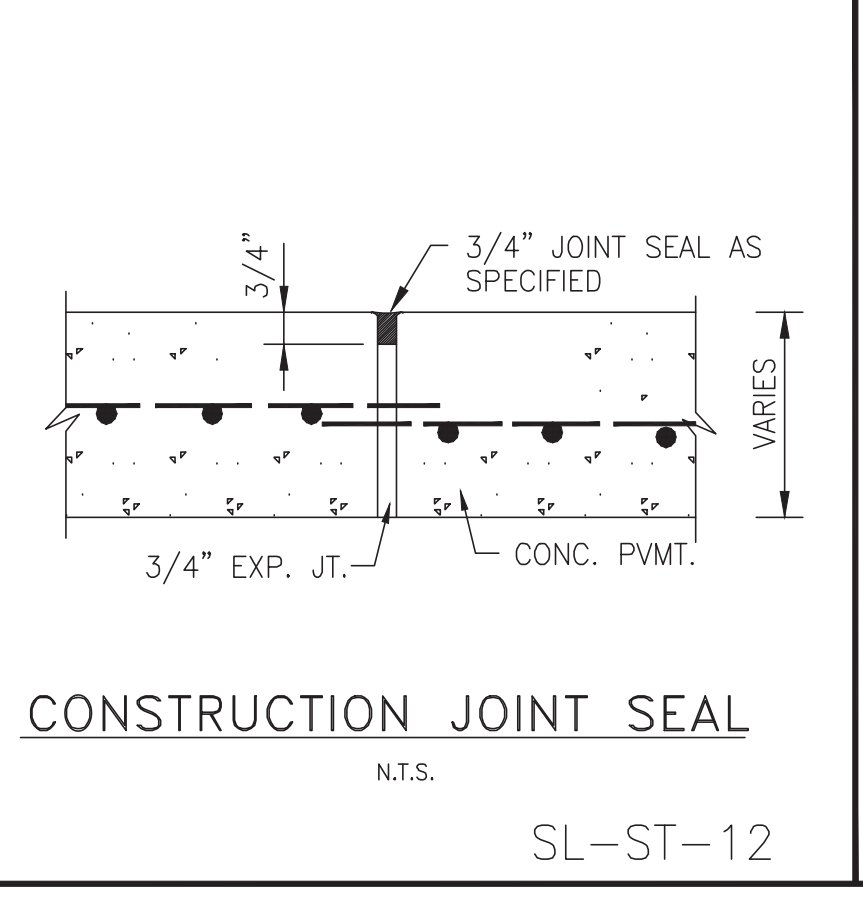
No.	DATE	REVISION

DESIGN ENGINEER: _____ DATE: _____



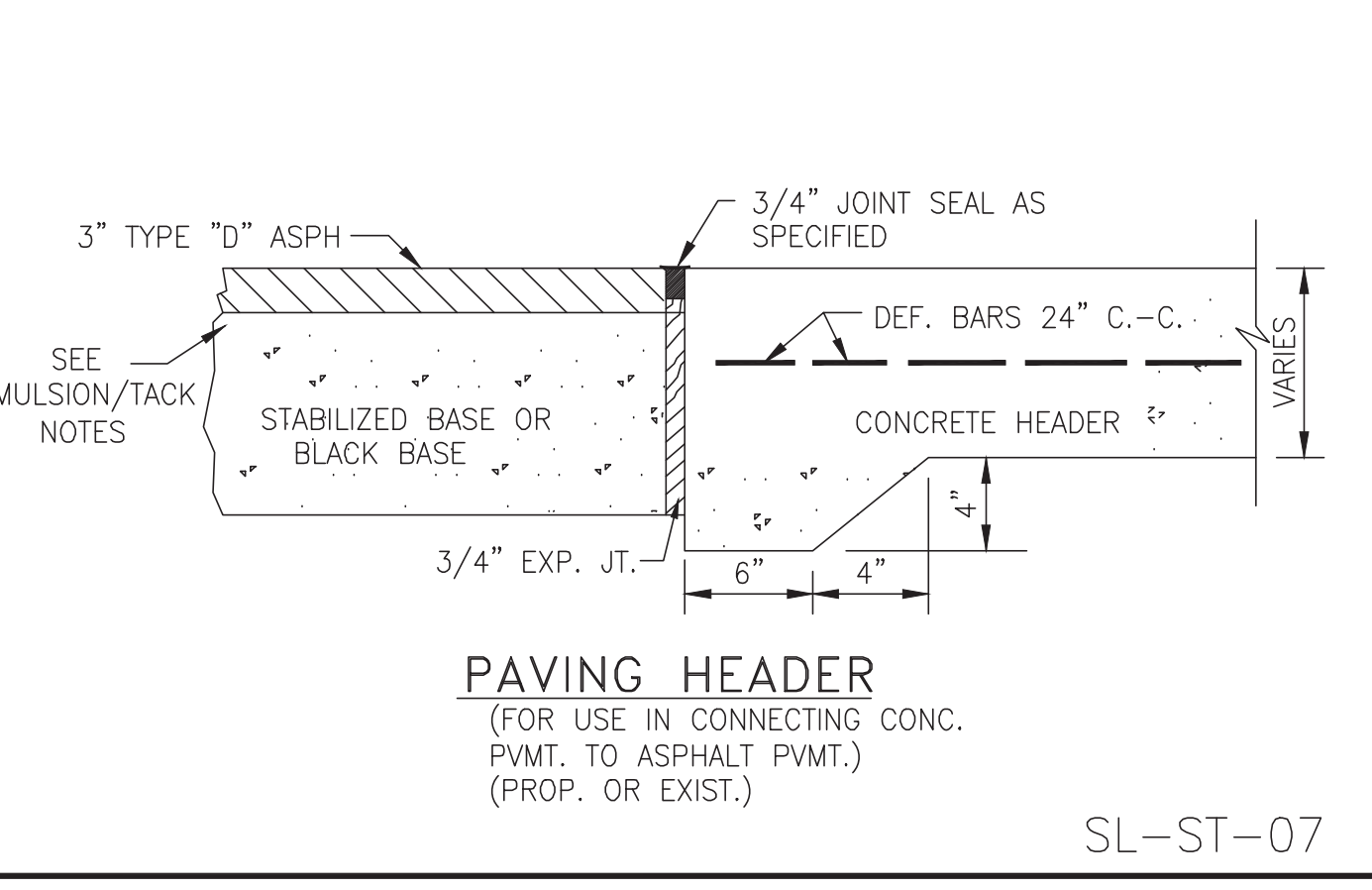
SL-ST-02

SINGLE ROADWAY SECTION N.T.S.



CONSTRUCTION JOINT SEAL N.T.S.

SL-ST-12



PAVING HEADER (FOR USE IN CONNECTING CONC. P.V.M.T. TO ASPHALT P.V.M.T.) (PROP. OR EXIST.)

SL-ST-07

CITY OF SUGAR LAND TEXAS

CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

CONCRETE PAVEMENT CONSTRUCTION DETAILS

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-21
SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

REVISIONS

DESIGNED: DR
DRAWN: BT
CHECKED: _____
DATE: _____

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BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825

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DOUGLAS B. ROESLER
P.E. 56739

03-03-2023

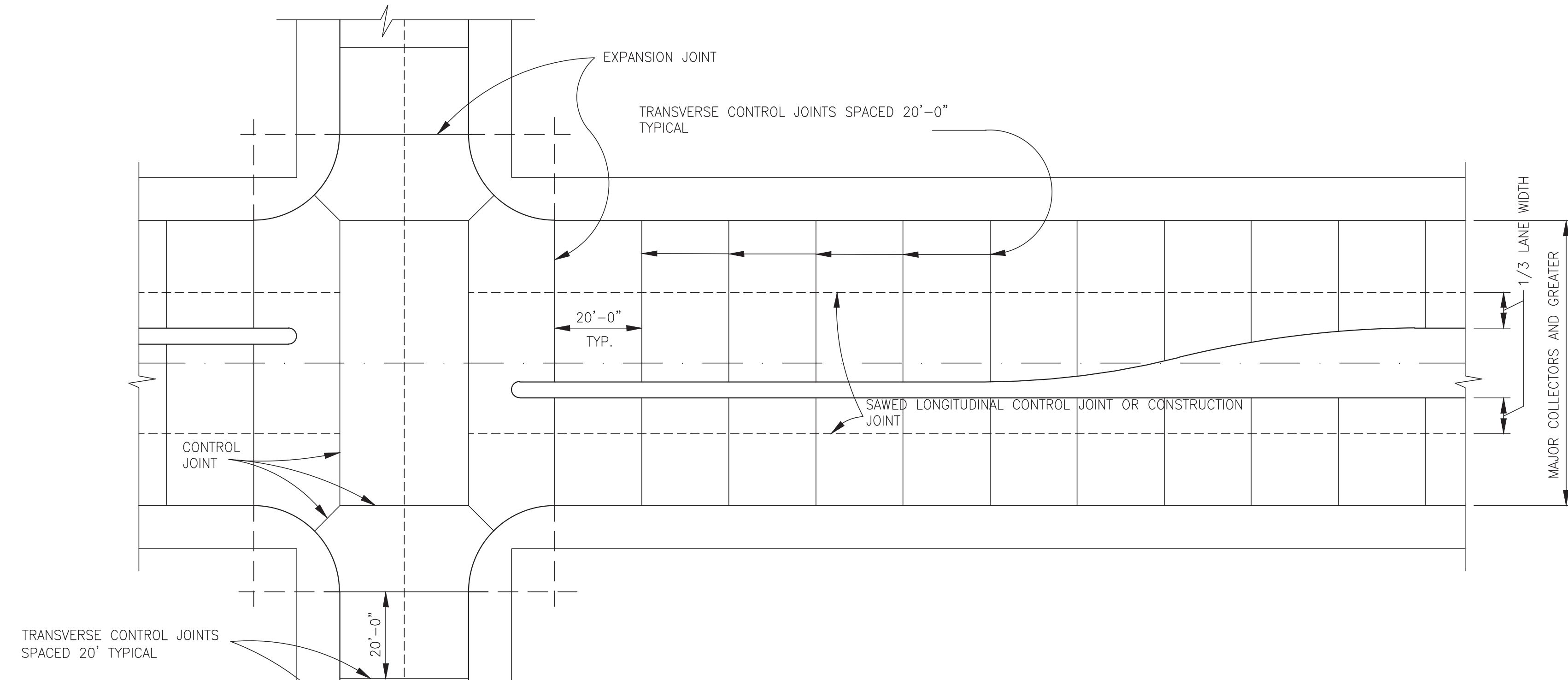
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

CONCRETE PAVEMENT CONSTRUCTION DETAILS
SL-21

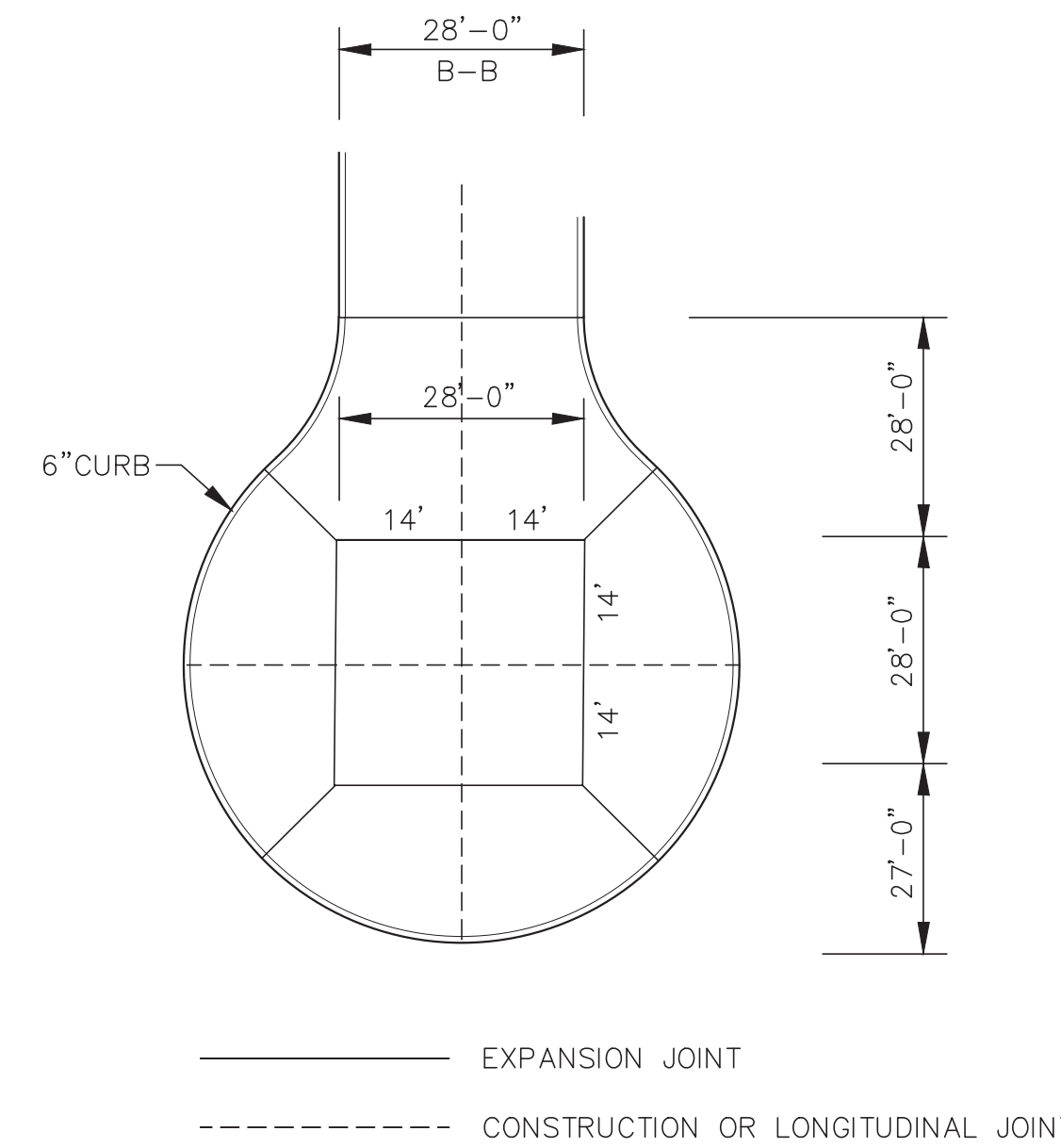
PROJECT NO. 14396




SPACING DIAGRAM FOR JOINTS

1. SPACING OF EXPANSION JOINTS SHALL NOT EXCEED 40 FEET.
2. ALL EXPANSION JOINT DOWEL BARS SHALL BE HELD FIRMLY IN PLACE PARALLEL WITH THE PAVEMENT SURFACE WITH WIRE BASKETS MODIFIED TO MOLD AROUND THE REDWOOD EXPANSION BOARD.
3. ALL TIE BARS SHALL BE 24" MIN. LENGTH AND CENTERED ON THE LONGITUDINAL JOINT.

————— EXPANSION JOINT
 - - - - - CONSTRUCTION OR LONGITUDINAL JOINT



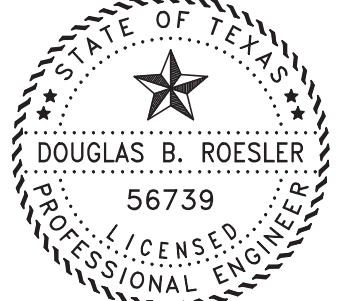
TYPICAL JOINT LAYOUT FOR CUL-DE-SAC

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
CONCRETE PAVEMENT CONSTRUCTION DETAILS		
JOB No.:	DATE:	SL-22
DESIGNED BY:	DRAWN BY:	CHECKED BY:
SCALE:	SHEET OF	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
 DRAWN BT
 CHECKED
 DATE

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 4005 TECHNOLOGY DRIVE, SUITE 1530
 ANGLETON, TEXAS 77515 (979) 849-6661
 REG. NO. F-825

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 P.E. 56739

 03-03-2023

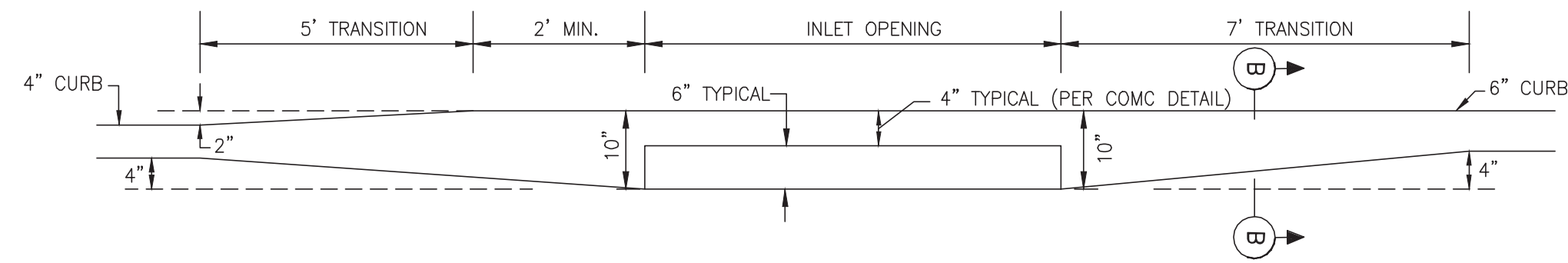
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

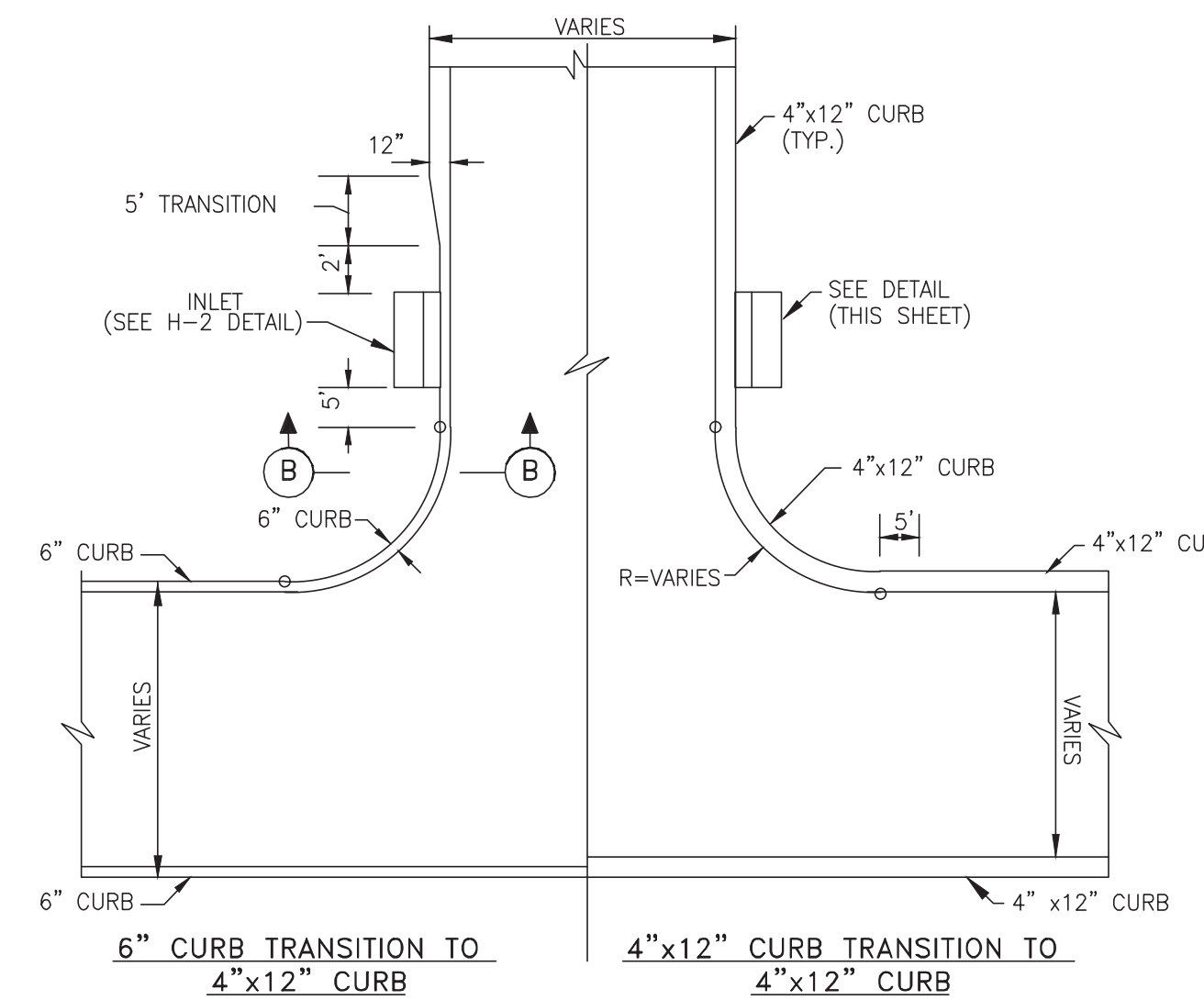
CONCRETE PAVEMENT
 CONSTRUCTION DETAILS
 SL-22

PROJECT NO. 14396



TYPICAL CURB TRANSITION FOR INLET INSTALLATION

SL-ST-13



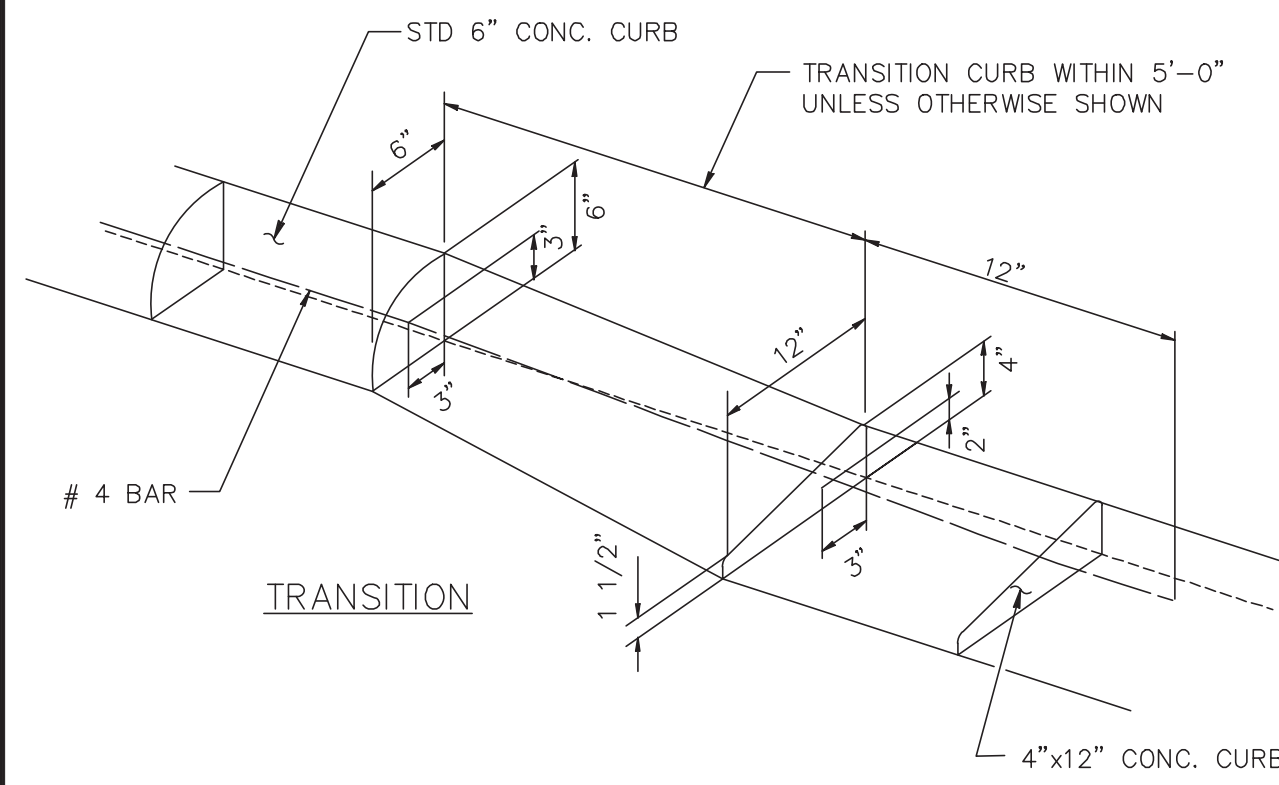
TYPICAL 4"X12" CURB W/INLET TRANSITION FOR CURB RETURNS

SL-ST-14

CONSTRUCTION NOTES:

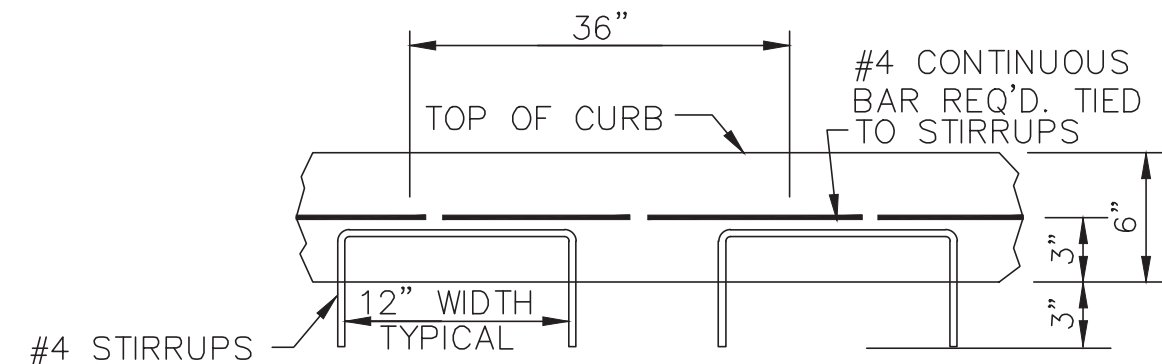
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR RESIDENTIAL STREETS.
- 7 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #4 BARS 24 INCHES C-C, IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS.
- EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS.
- TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS MAXIMUM SPACING SHALL BE 200' AND BE SEALED CONFORMING TO TXDOT ITEM 360 (& ITEM 438) AND TXDOT DMS-6310, CLASS-2.
- TRANSVERSE CONTROL JOINTS ARE REQUIRED AT MAXIMUM SPACING OF 20'-0" C-C, AND VERTICAL CURB JOINTS TO BE SEALED WITH SPECIAL JOINT SEALANT ASTM-D-1190-74 OR AASHTO-M173-60 FOR PAVEMENT 8" THICK AND GREATER. (ELASTONETRIC TYPE HOT Poured)
- PAVEMENT FINISH SHALL BE BAKER BRUSH FINISH. CURING COMPOUND ON ALL CONCRETE.
- STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED, MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM WATER QUALITY MANUAL OF THE CITY OF SUGAR LAND.
- UNSTABLE SUBGRADE SHALL BE EXCAVATED AND REPLACED WITH CEMENT STABILIZED SAND.
- USE 1"x2" REDWOOD STAKES FOR HEADERS.
- EDGE ALL SIDES WITH EDGING TOOL.
- DOWEL SHALL BE 3/4" DIAMETER, WITH MINIMUM 8" PENETRATION (BOTH SIDES).
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CITY OF SUGAR LAND OF ANY BIRDBATH PROBLEMS PRIOR TO CONSTRUCTION OF DRIVEWAY.
- REFER TO GENERAL, C.S.S., AND PAVEMENT NOTES.
- 1.0 LBS. OF APPROVED POLYPROPYLENE FIBER MESH PER C/Y IN 4"X12" CURBS REQUIRED.

SL-ST-20



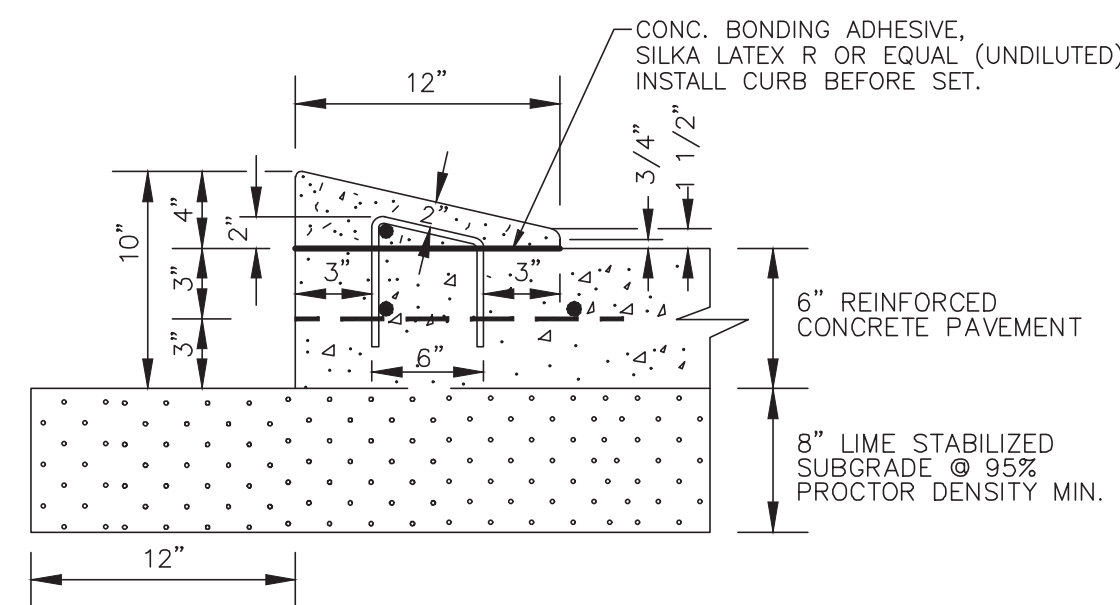
TYPICAL CURB TRANSITION

SL-ST-15



TYPICAL CONCRETE CURB REINFORCING

SL-ST-16

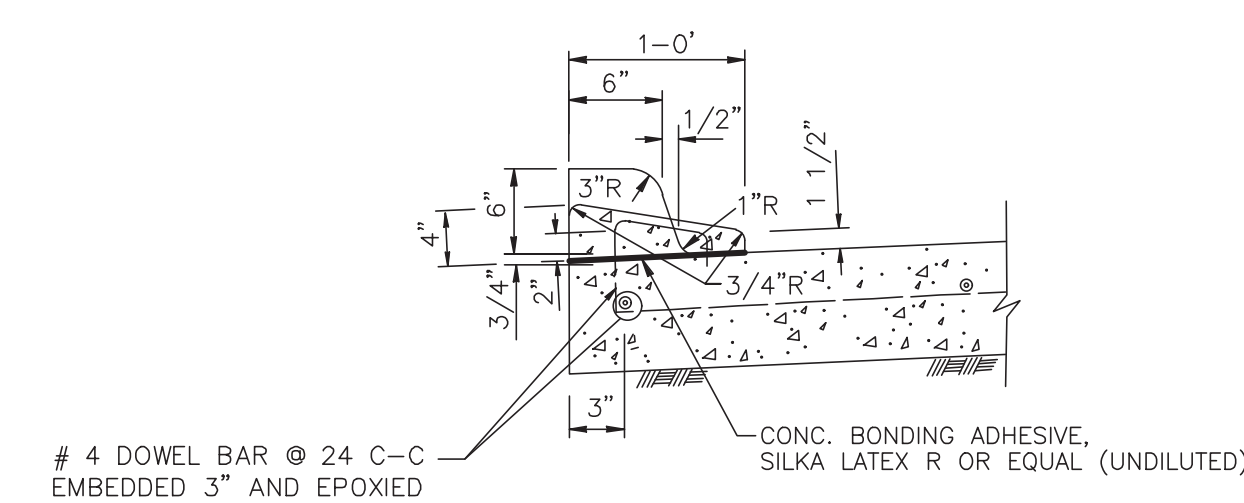


4"X12" MOUNTABLE CONCRETE CURB

NOTES:

- 1.0 LBS. OF APPROVED NON-METALLIC FIBER MESH PER C/Y IN 4"X12" CURBS.
- #3 RE-BAR STIRRUPS TO BE PLACED AT INTERVALS OF 2' (FT) C-C.
- #4 RE-BAR LONGITUDINAL SHALL BE TIED TO EACH STIRRUP
- MOUNTABLE CURB ONLY ALLOWED ON < 41' (FT), UNDIVIDED, RESIDENTIAL ROADWAYS WITHIN SUBDIVISIONS.

SL-ST-17



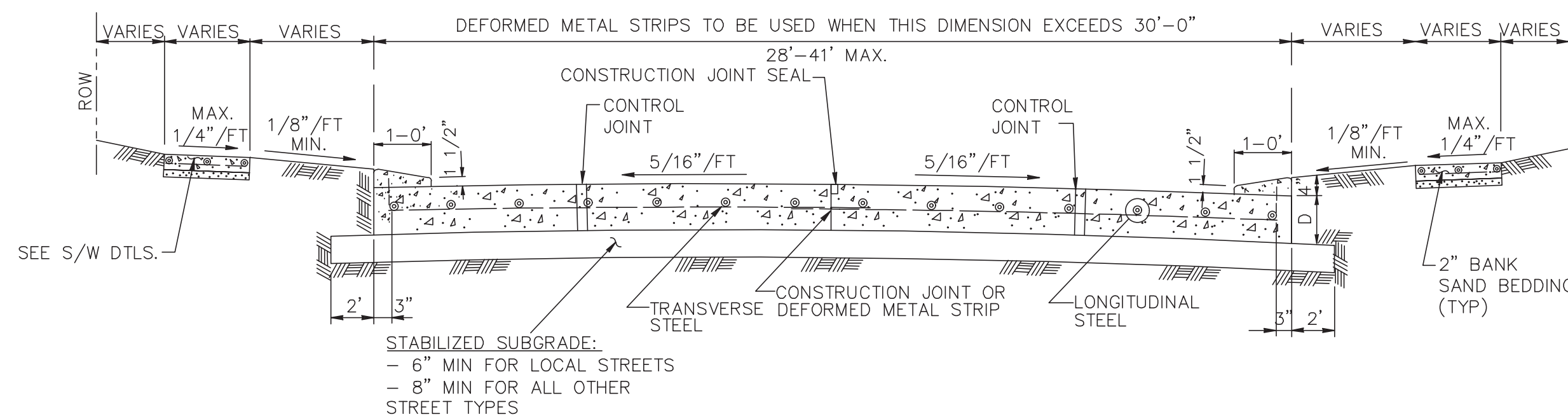
4-INCH x 12-INCH TRANSITION CURB

SL-ST-18

4"X12" MOUNTABLE CONCRETE CURB AND TRANSITION CURB NOTES:

- 6-INCH CONCRETE CURB TO BE CONSTRUCTED ON ALL ESPLANADES, ISLANDS AND NON-RESIDENTIAL STREETS. RESIDENTIAL STREETS MAY BE CONSTRUCTED WITH EITHER 6-INCH CONCRETE CURB OR 4-INCH x 12-INCH CONCRETE CURB AS NOTED ON PLANS.
- ALL 4-INCH x 12-INCH CONCRETE CURBS TO BE POURED SEPARATE FROM PROPOSED CONCRETE PAVEMENT.
- TRANSITIONS FROM 6-INCH CONCRETE CURB TO 4-INCH x 12-INCH CONCRETE CURB TO BE ACCOMPLISHED WITHIN 5 FEET (TYP.), UNLESS OTHERWISE SHOWN. REINFORCING STEEL AS SHOWN IN "4-INCH x 12-INCH TRANSITION CURB" DETAIL IS TO BE INSTALLED.

SL-ST-20



TYPICAL SINGLE ROADWAY SECTION FOR CONCRETE PAVEMENT WITH 4"X12" CURB

* SEE 4" x 12" MOUNTABLE CURB DETAIL (THIS SHEET)

SL-ST-19

No.	DATE	REVISION

DESIGN ENGINEER: _____	DATE _____
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CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

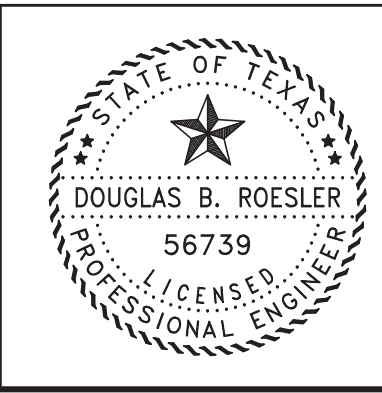
RESIDENTIAL CURB CONSTRUCTION DETAILS

JOB No.: _____	SL-23
DATE: _____	
DESIGNED BY: _____	
DRAWN BY: _____	
CHECKED BY: _____	
SCALE: _____	SHEET OF _____

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR	
DRAWN BT	
CHECKED	
DATE	

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 REG. NO. F-825



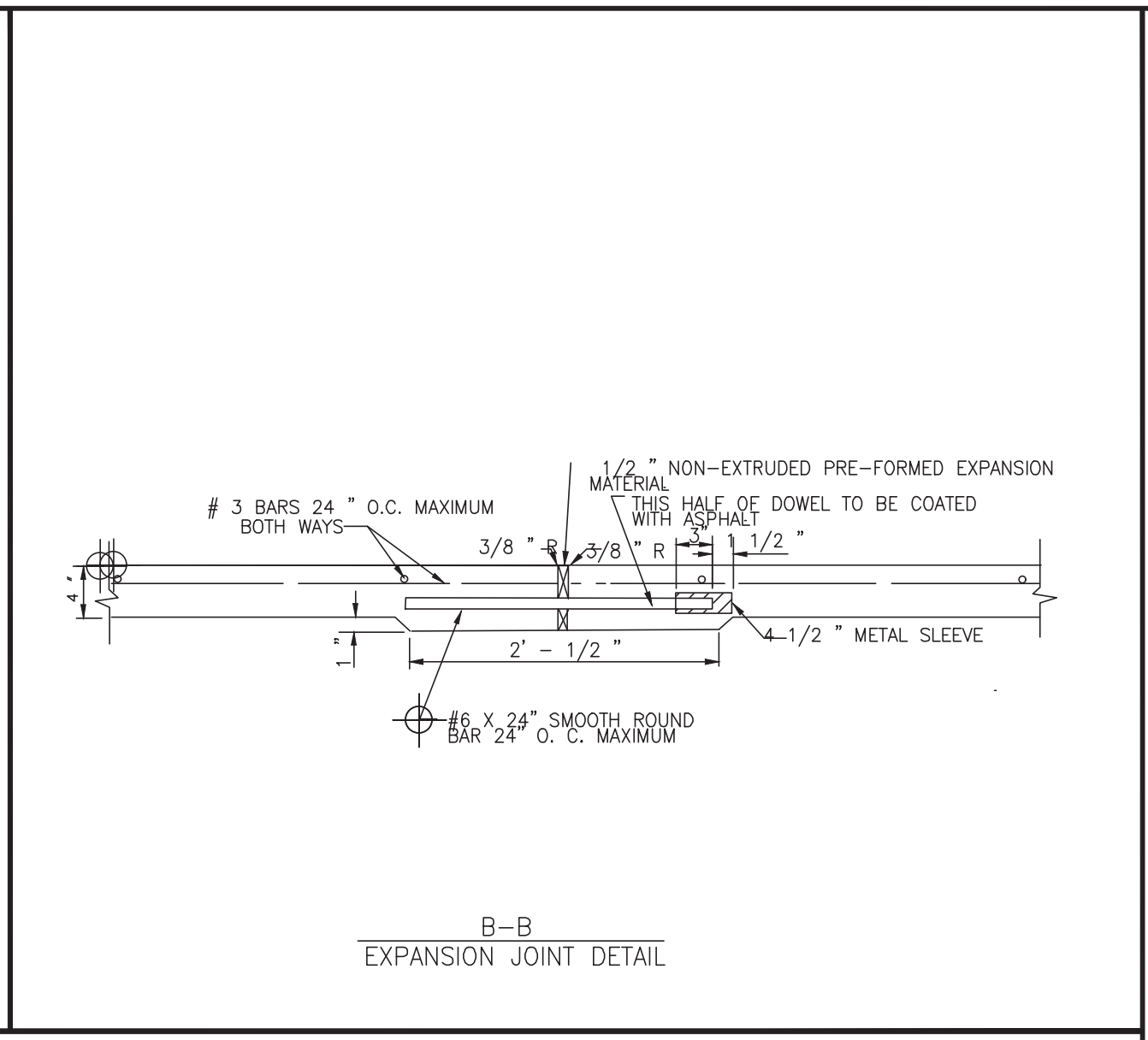
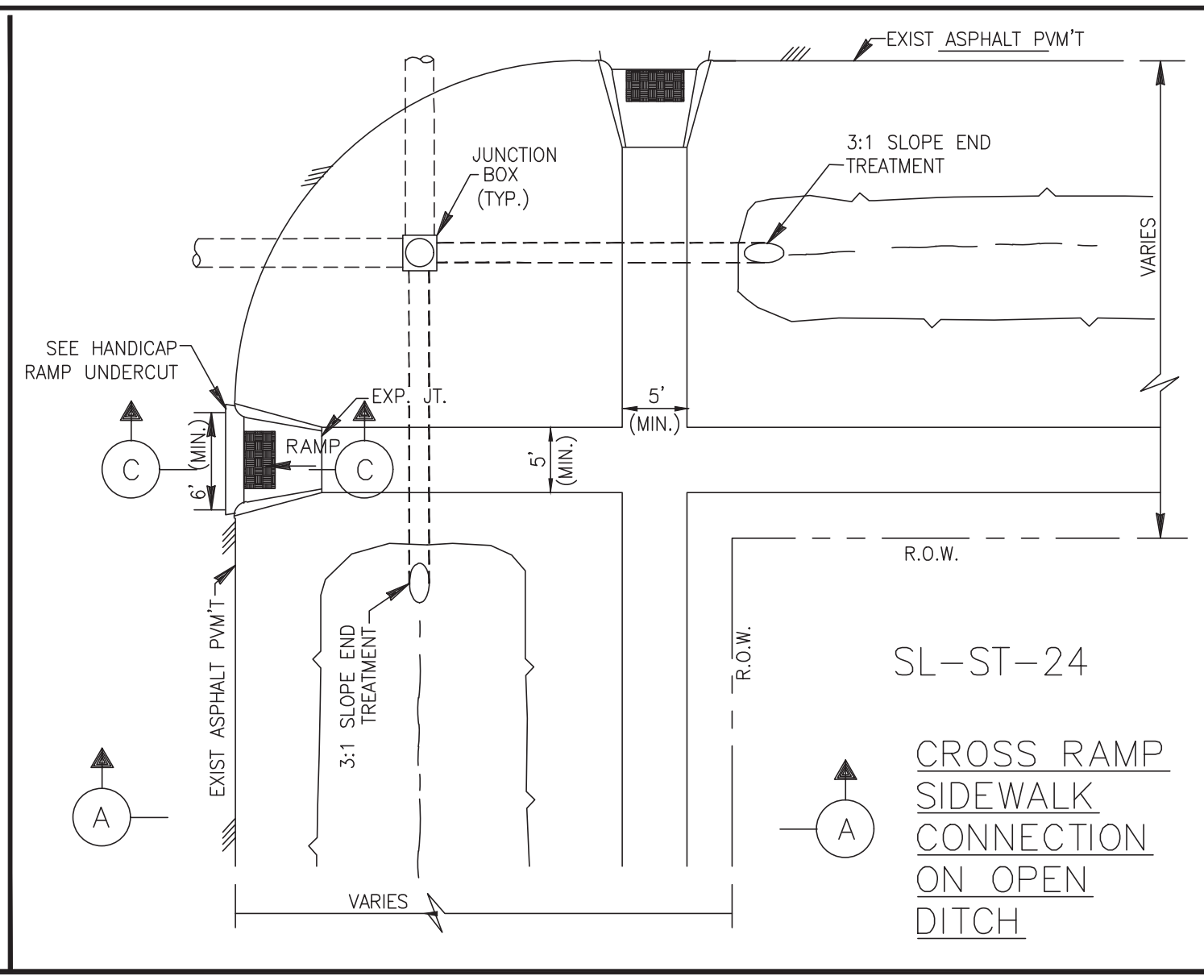
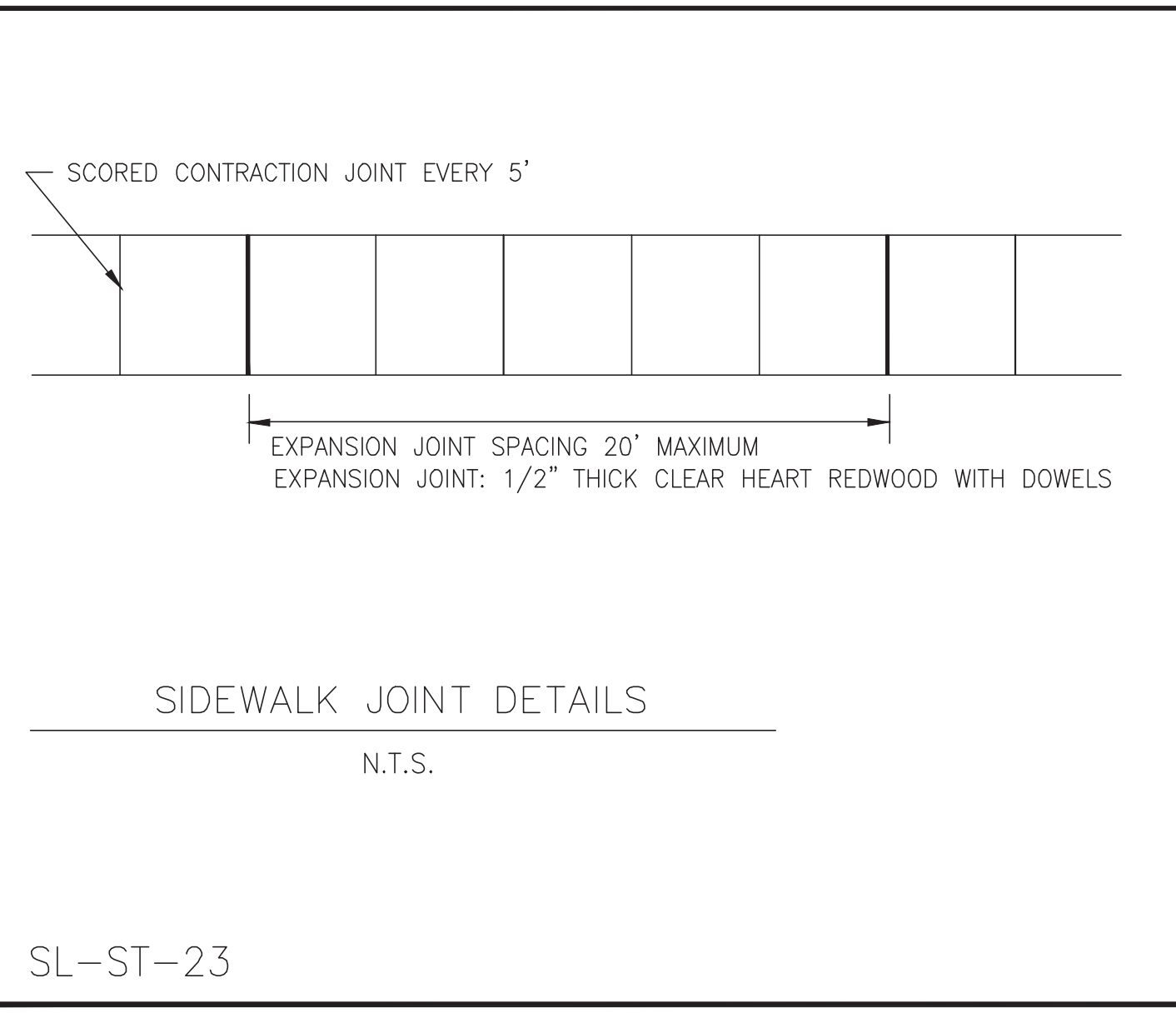
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 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

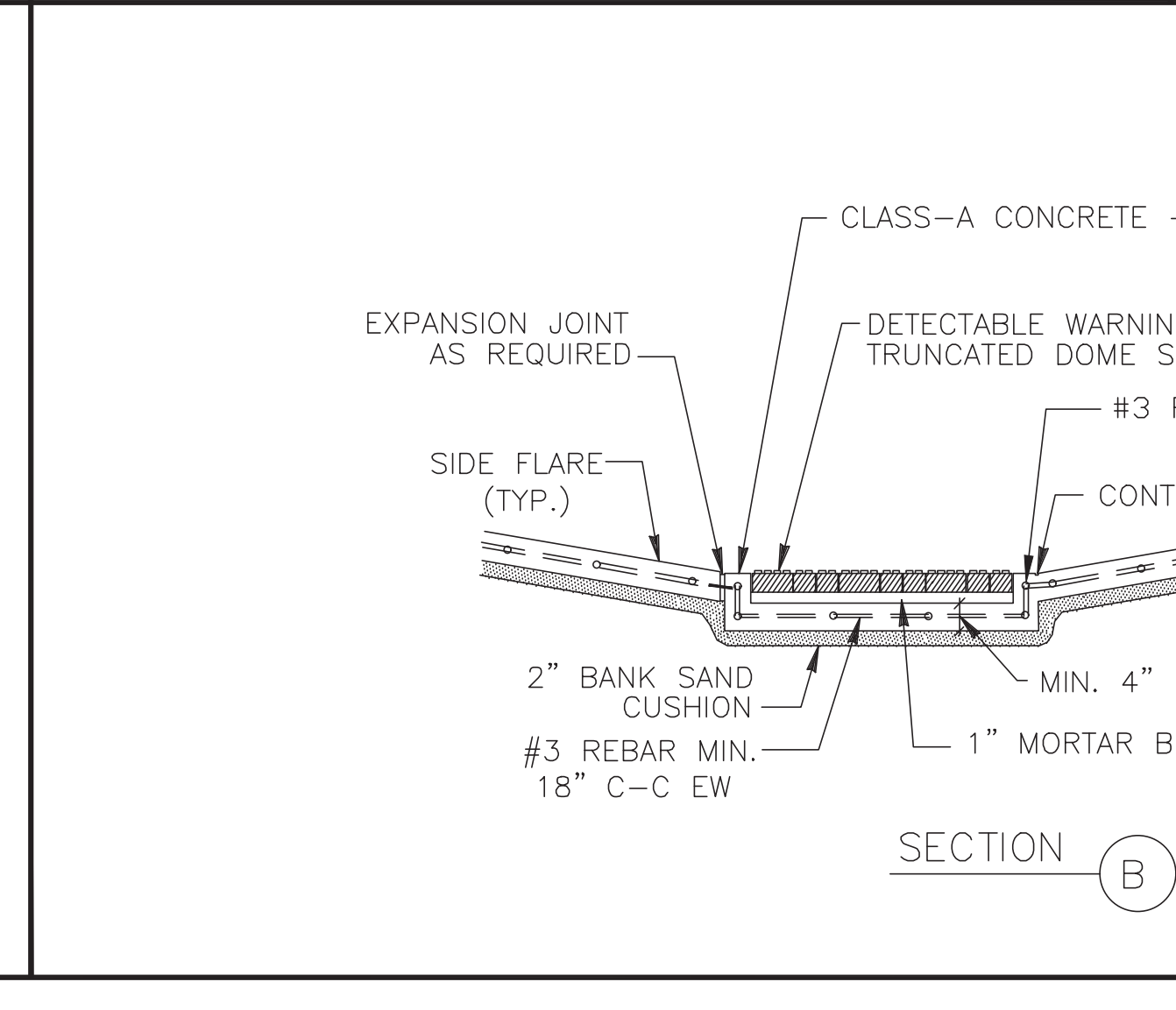
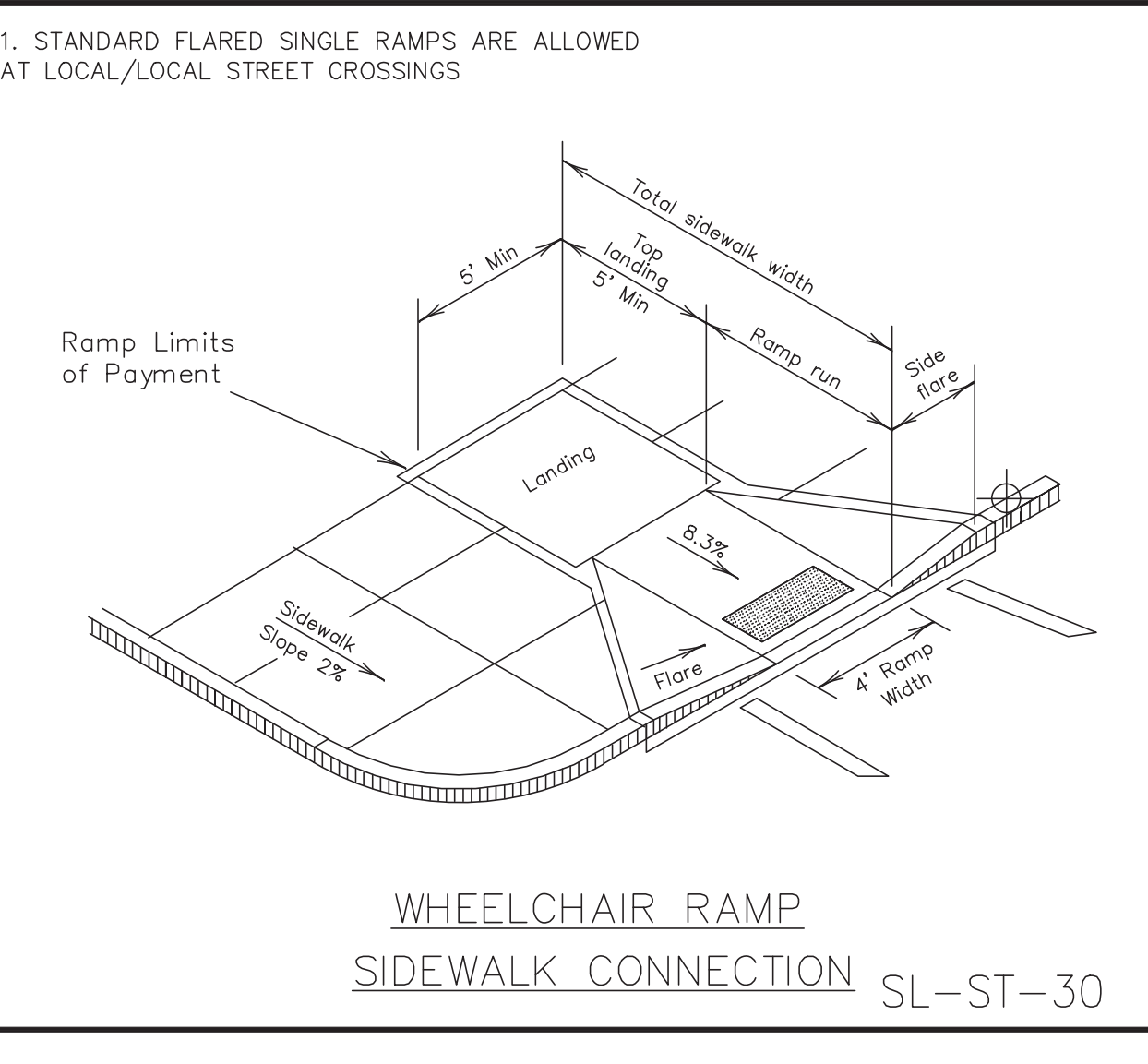
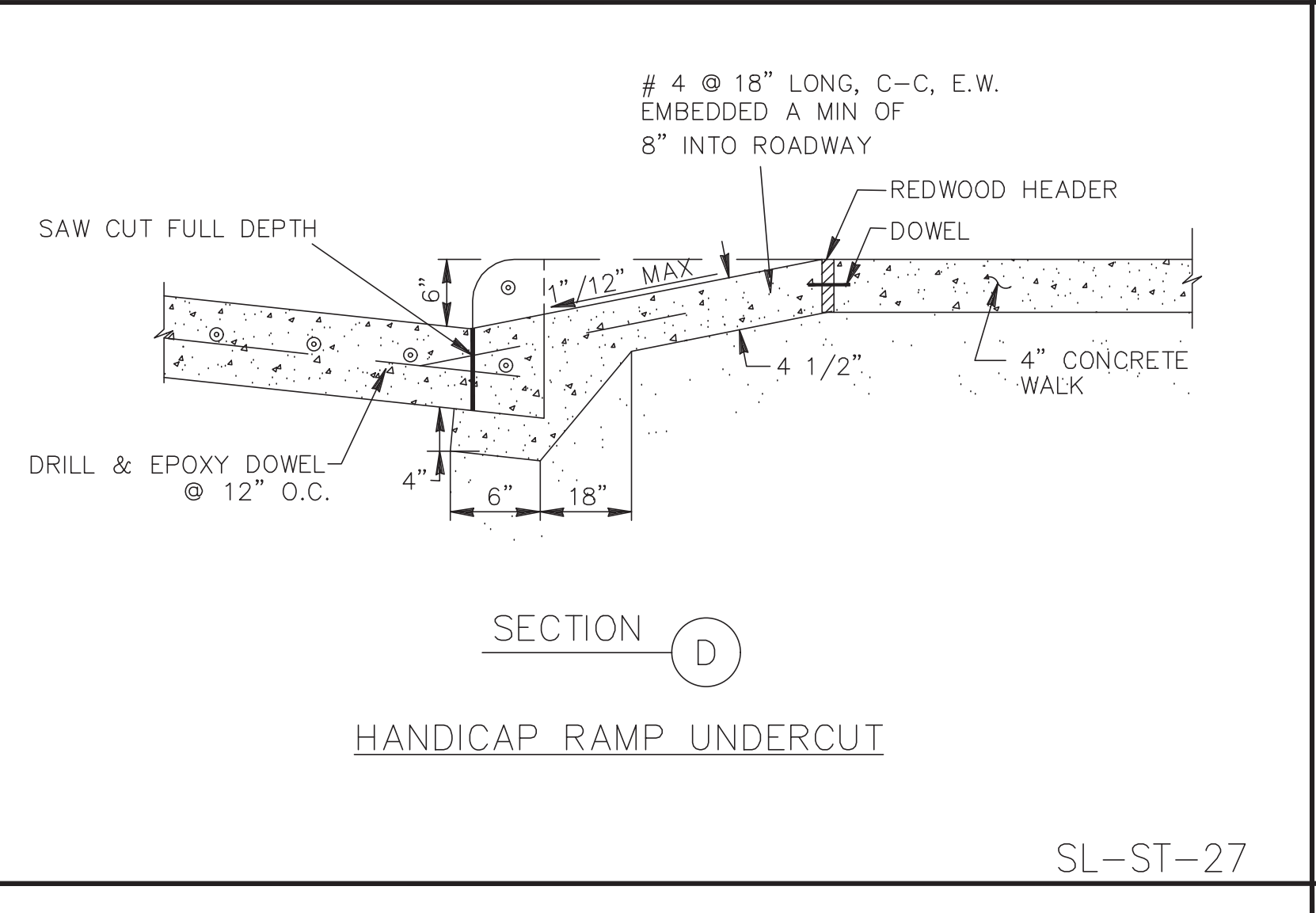
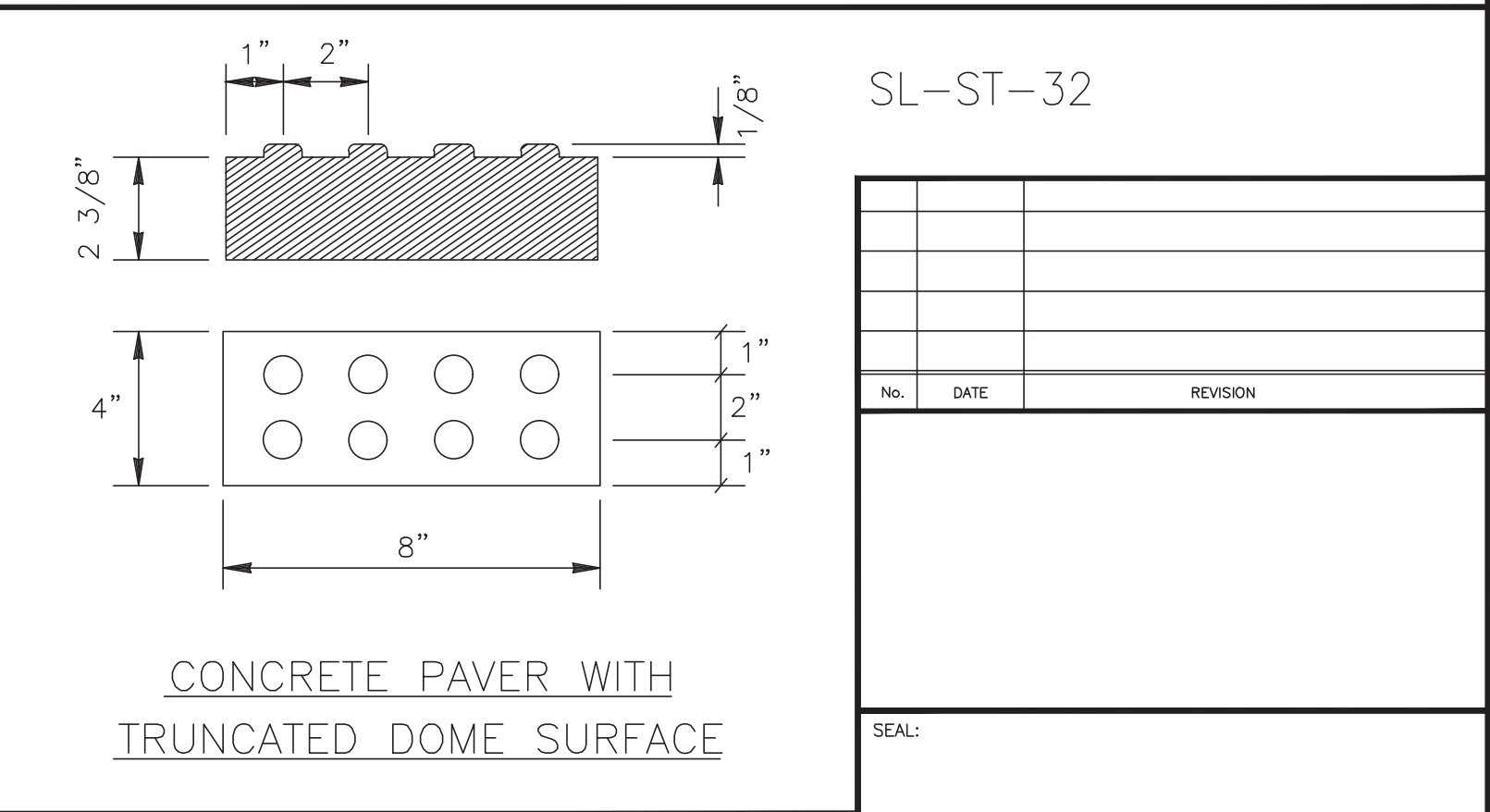
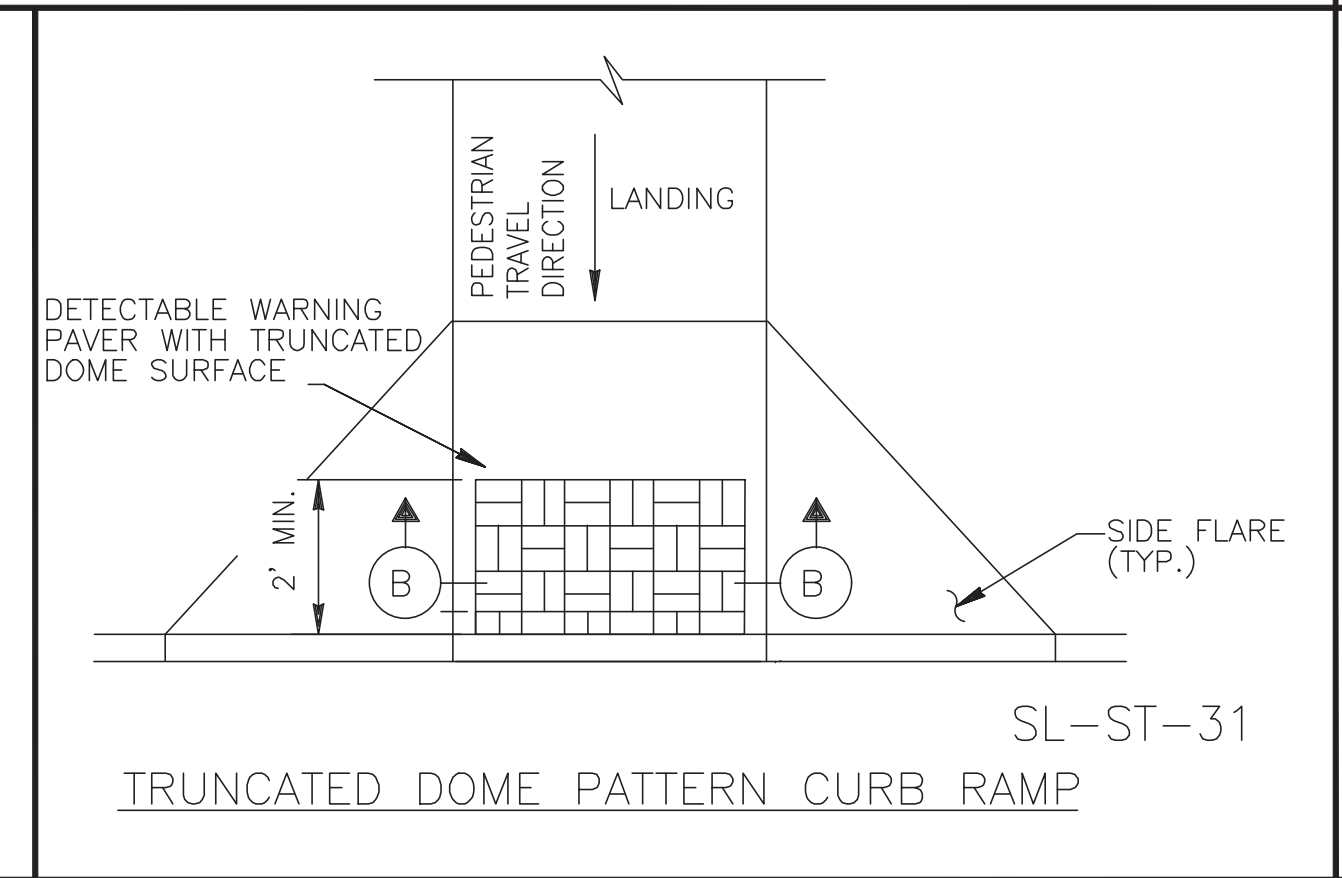
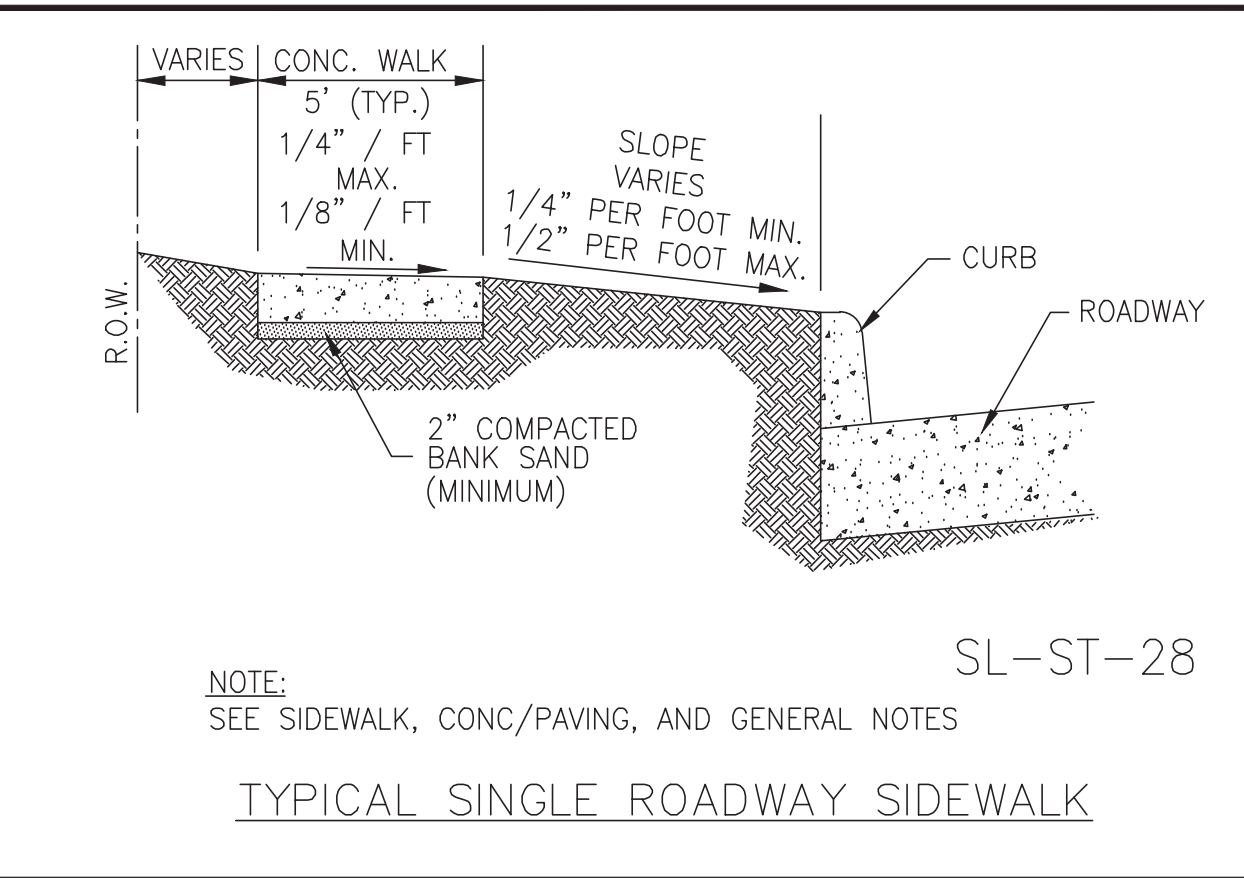
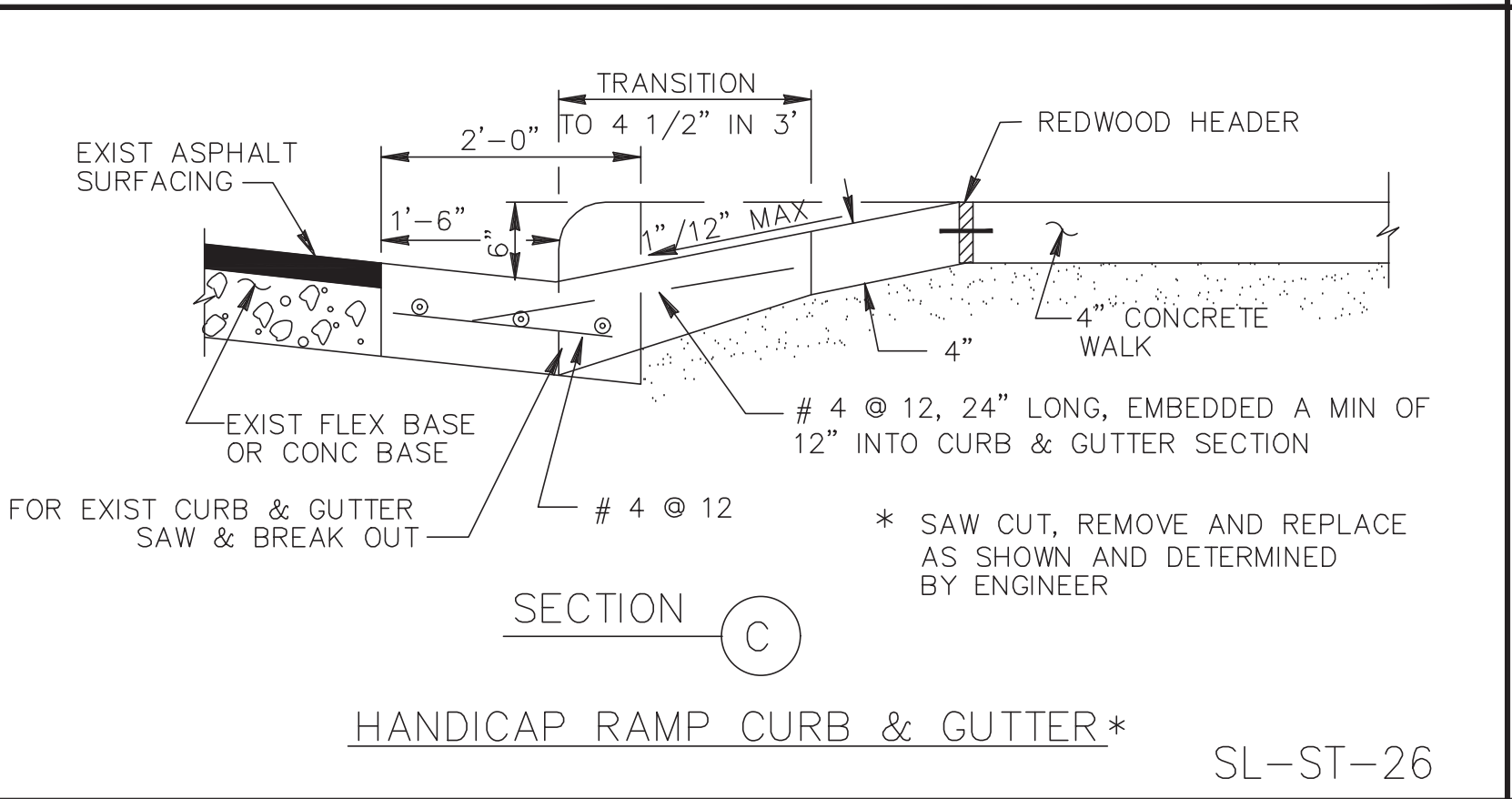
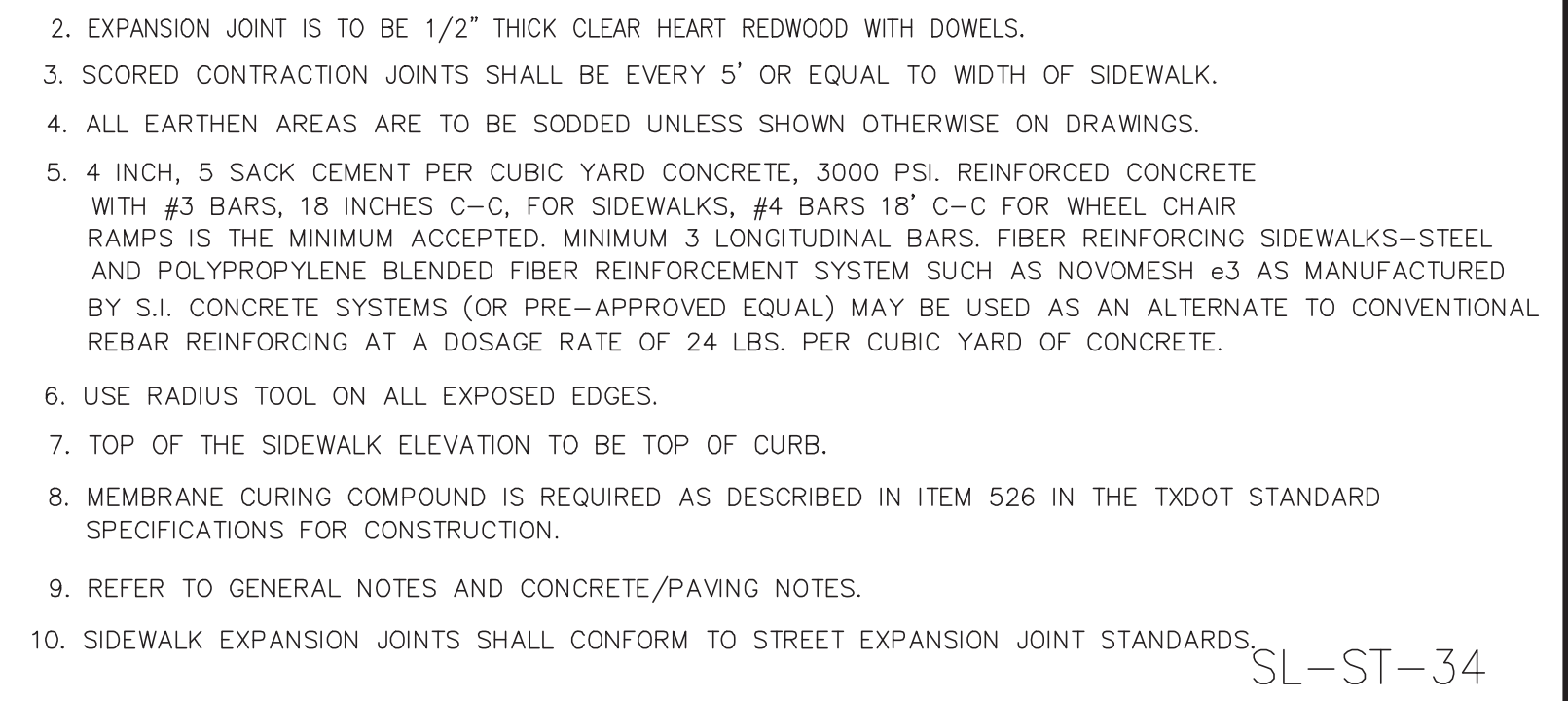
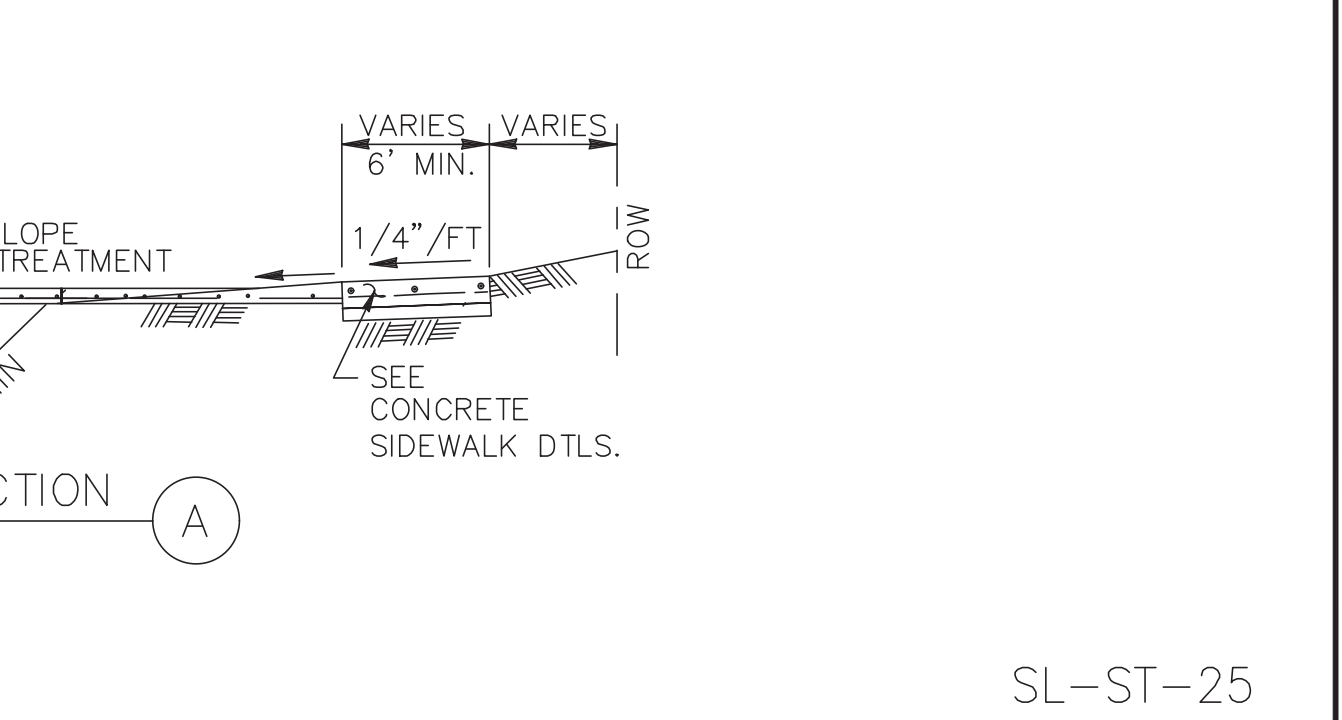
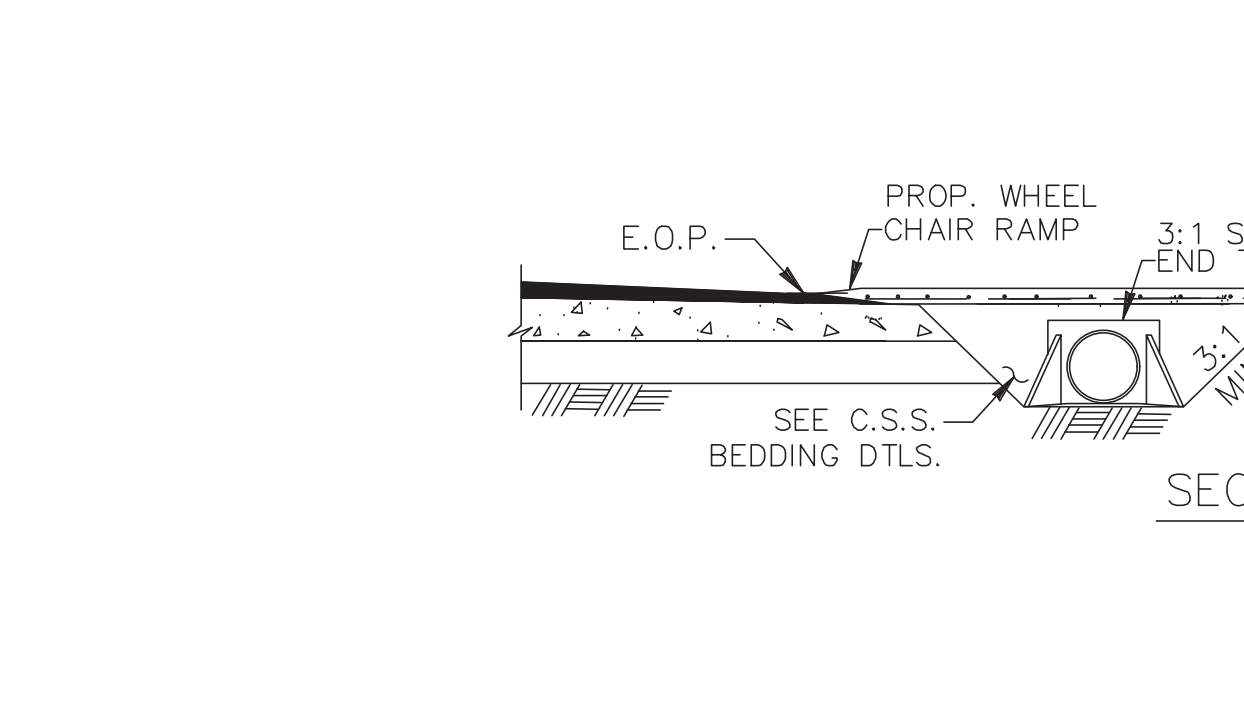
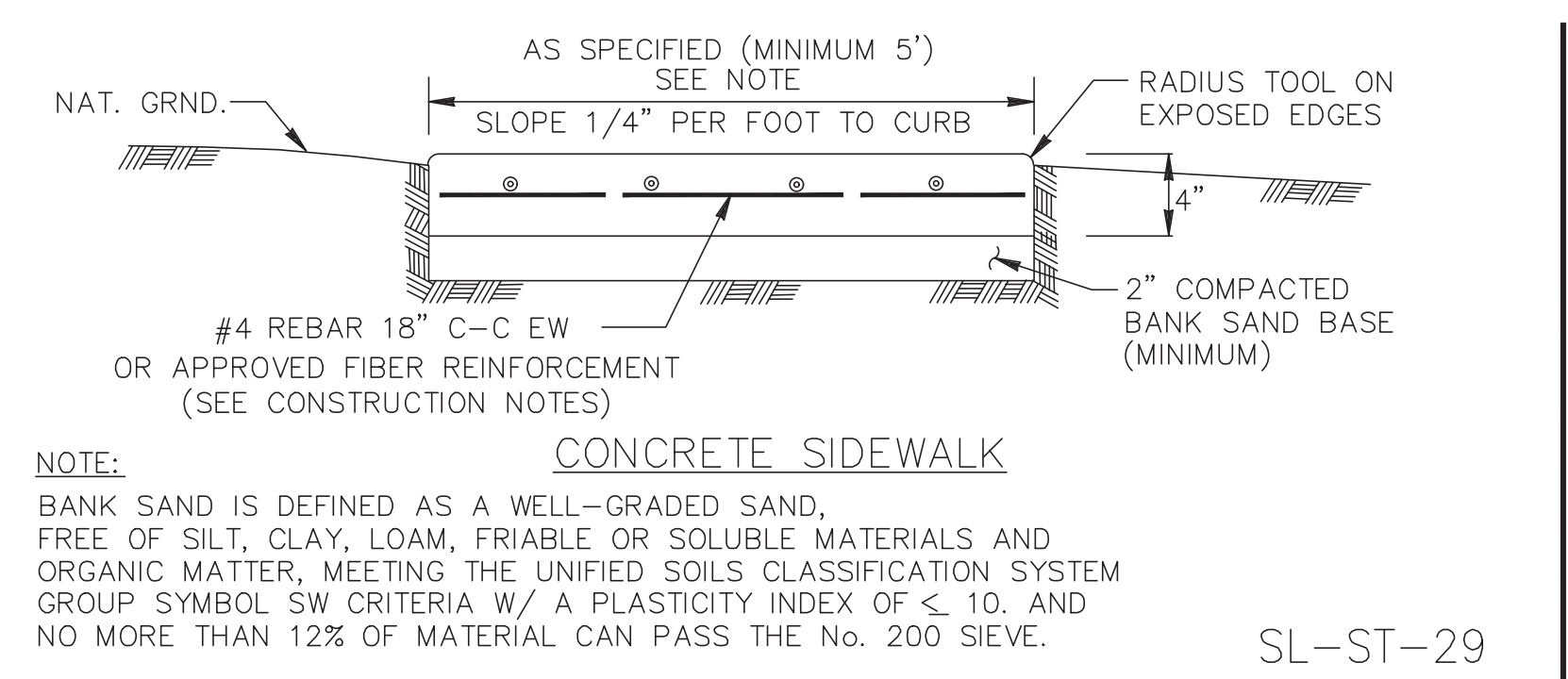
PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____


RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

RESIDENTIAL CURB CONSTRUCTION DETAILS
 SL-23
 PROJECT NO. 14396



- NOTES:**
- EXISTING CURB AND GUTTER TO BE SAW CUT, REMOVED AND REPLACED. DOWEL STEEL FOR MINIMUM REINFORCING OVERLAP OF 10 INCHES (10") DOWELS SHALL BE EIGHTEEN INCHES (18") LONG AND EPOXIED A MINIMUM OF (8") EIGHT INCHES INTO EXISTING PAVEMENT.
 - IF SIDEWALKS ARE NEITHER EXISTING NOR PROPOSED WHERE WHEELCHAIR RAMP ACCESS IS REQUIRED, CONCRETE SIDEWALKS SURFACE 4 1/2" THICK SHALL BE INSTALLED TO PROVIDE ACCESS TO THE PEDESTRIAN PUSH BUTTONS.
 - DETECTABLE WARNINGS REQUIRED BY T.A.S. SECTIONS 4.1 AND 4.7 SHALL COMPLY WITH T.A.S. SECTION 4.29
 - THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACE SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE.
 - DETECTABLE WARNING SURFACE SHALL COVER THE ENTIRE WIDTH AND DEPTH OF RAMP.
 - DETECTABLE WARNINGS SHALL BE INSTALLED WITH PAVERS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - CONCRETE PAVER UNITS SHALL MEET ALL REQUIREMENTS OF ASTM C-935, C-33, AND SHALL BE PLACED IN A TWO BY TWO UNIT BASKET WEAVE PATTERN, UNLESS SHOWN OTHERWISE IN THE PLANS.
 - CONCRETE PAVER UNITS SHALL HAVE A TRUNCATED DOME TOP SURFACE FOR DETECTABLE WARNING TO PEDESTRIANS. DOMES SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - CONCRETE PAVER UNIT COLOR FOR THE RAMP SHALL BE A CONTRASTING COLOR THAT PROVIDES A LIGHT REFLECTIVE THAT SIGNIFICANTLY CONTRASTS WITH THE ADJACENT SURFACES. ADJACENT SURFACES INCLUDE SIDE FLARES.
 - CONCRETE PAVER UNITS SHALL BE SAW CUT ONLY, AND ANY CUT UNIT SHALL NOT BE LESS THAN 25% OF A FULL UNIT.
- CONSTRUCTION NOTES:**
- THE MAXIMUM WIDTH BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20'-0"
 - EXPANSION JOINT IS TO BE 1/2" THICK CLEAR HEART REDWOOD WITH DOWELS.
 - SCORED CONTRACTION JOINTS SHALL BE EVERY 5' OR EQUAL TO WIDTH OF SIDEWALK.
 - ALL EARTHEN AREAS ARE TO BE SODDED UNLESS SHOWN OTHERWISE ON DRAWINGS.
 - 4 INCH, 5 SACK CEMENT PER CUBIC YARD CONCRETE, 3000 PSI. REINFORCED CONCRETE WITH #3 BARS, 18 INCHES C-C, FOR SIDEWALKS, #4 BARS 18" C-C FOR WHEEL CHAIR RAMPS IS THE MINIMUM ACCEPTED. MINIMUM 3 LONGITUDINAL BARS, FIBER REINFORCING SIDEWALKS-STEEL AND POLYPROPYLENE BLENDED FIBER REINFORCEMENT SYSTEM SUCH AS NOVOMESH #3 AS MANUFACTURED BY S.I. CONCRETE SYSTEMS (OR PRE-APPROVED EQUAL) MAY BE USED AS AN ALTERNATE TO CONVENTIONAL REBAR REINFORCING AT A DOSAGE RATE OF 24 LBS. PER CUBIC YARD OF CONCRETE.
 - USE RADIUS TOOL ON ALL EXPOSED EDGES.
 - TOP OF THE SIDEWALK ELEVATION TO BE TOP OF CURB.
 - MEMBRANE CURING COMPOUND IS REQUIRED AS DESCRIBED IN ITEM 526 IN THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - REFER TO GENERAL NOTES AND CONCRETE/PAVING NOTES.
 - SIDEWALK EXPANSION JOINTS SHALL CONFORM TO STREET EXPANSION JOINT STANDARDS.



NO.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
WHEEL CHAIR RAMP & SIDEWALK DETAILS I		
JOB No.: _____	DATE: _____	SL-25
DESIGNED BY: _____	DRAWN BY: _____	SHEET OF _____
CHECKED BY: _____	SCALE: _____	

DESIGNED	DR		
DRAWN	BT		
CHECKED			
DATE			
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

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03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
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RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

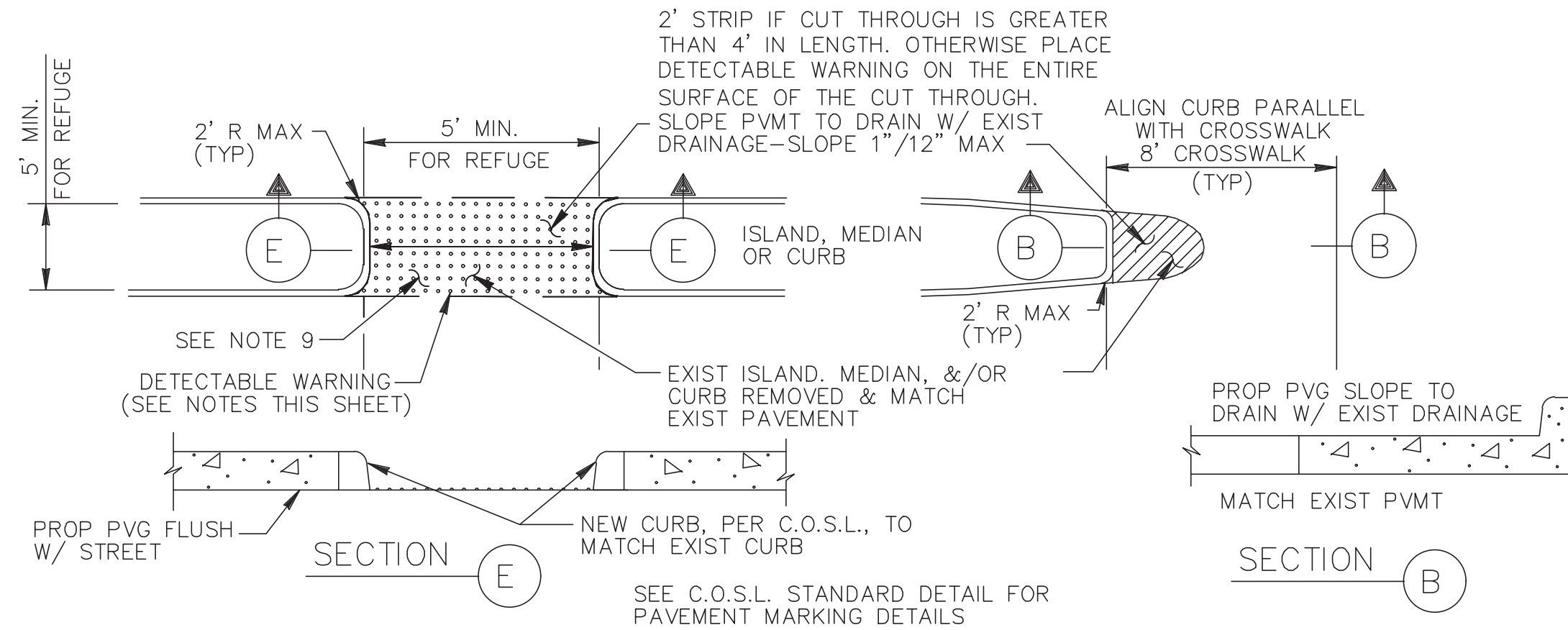
WHEEL CHAIR RAMP & SIDEWALK DETAILS I
SL-25

PROJECT NO. 14396

NOTES:

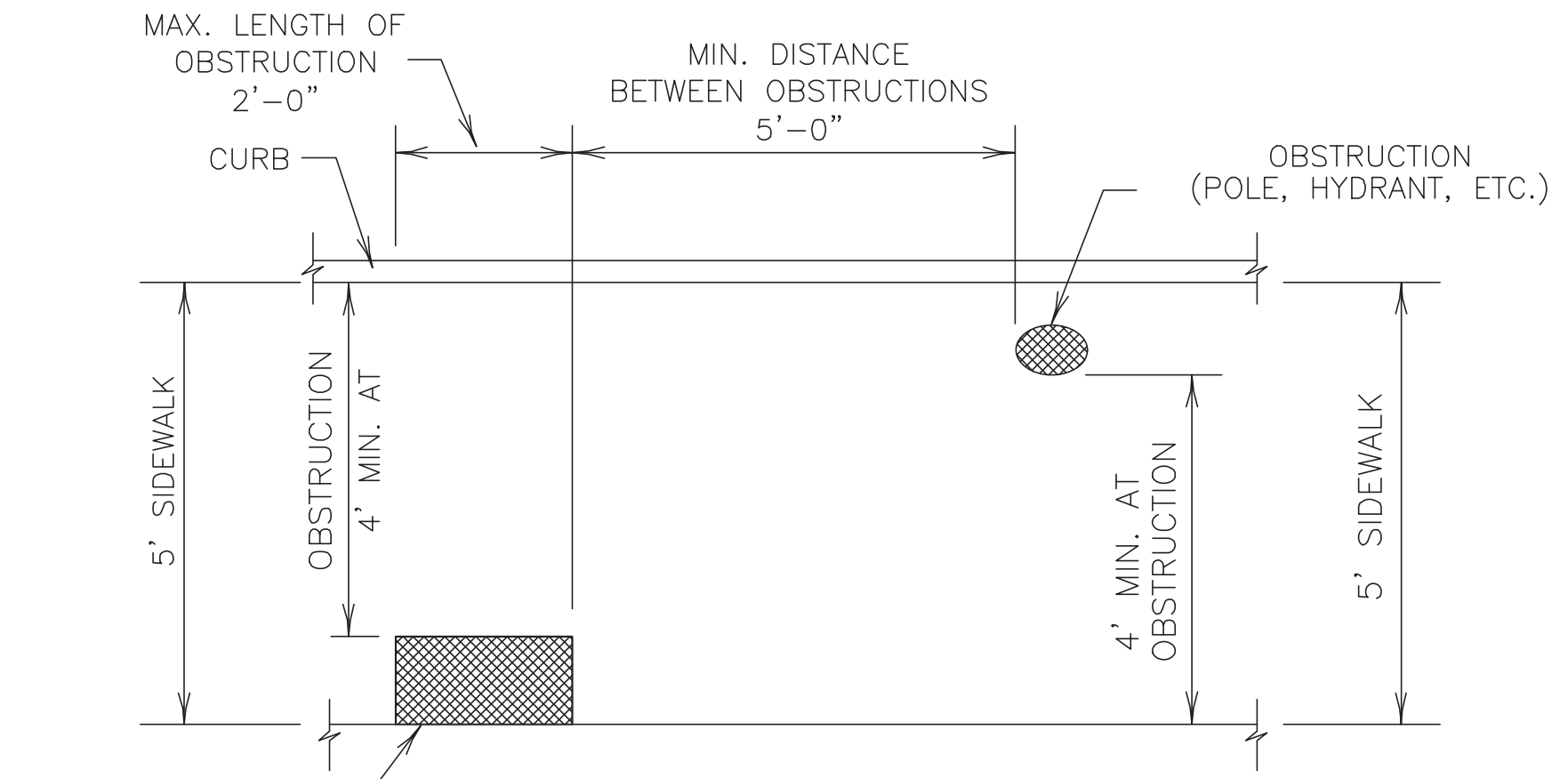
1. ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED. RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS MAY BE ADJUSTED AS DIRECTED
2. THE MINIMUM SIDEWALK WIDTH IS 5' (FEET). THE LANDING SHALL BE 5' x 5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND RAMP SURFACES IS 2%. USUAL SIDEWALK CROSS SLOPE EQUALS 1.5%. CHANGES IN LEVEL GREATER THAN 1/4" (IN.) ARE NOT PERMITTED.
3. MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A MINIMUM OF 5' x 5' WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH.
4. ANY PART OF THE ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 (5%) SHALL BE CONSIDERED A RAMP. IF A RAMP HAS A RISE GREATER THAN 6" (IN.) OR A HORIZONTAL PROJECTION GREATER THAN 72 INCHES, THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES, WITH THE FOLLOWING EXCEPTIONS:
 - A.) HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. CURB RAMPS SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
 - B.) THE LEAST POSSIBLE GRADE SHOULD BE USED TO MAXIMIZE ACCESSIBILITY. WHERE STRUCTURALLY IMPRACTICAL TO ACHIEVE TEXAS ACCESSIBILITY STANDARDS (TAS) COMPLIANCE, THE RUNNING SLOPE OF SIDEWALKS AND CROSSWALKS, WITHIN THE PUBLIC R.O.W., MAY FOLLOW THE GRADE OF THE PARALLEL ROADWAY WITHOUT INVOKING TEXAS ACCESSIBILITY STANDARDS (TAS) VARIANCES FOR LANDINGS OR HANDRAILS. WHERE A CONTINUOUS GRADE GREATER THAN 5% MUST BE PROVIDED, HANDRAILS MAY BE DESIRABLE ON ONE OR BOTH SIDES OF THE SIDEWALK TO IMPROVE ACCESSIBILITY. HANDRAILS MAY ALSO BE NEEDED TO PROTECT PEDESTRIANS FROM POTENTIALLY HAZARDOUS CONDITIONS.
5. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. OTHERWISE, FLARED SIDES SHALL BE PROVIDED. ALL CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE IN THE PLANS.
6. RAMP TEXTURES MUST CONSIST OF TRUNCATED DOME SURFACES, IN ACCORDANCE WITH ADA AND TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR). TEXTURES ARE REQUIRED TO BE DETECTABLE UNDERFOOT. TEXTURES ALSO SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. SURFACES THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
7. ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN, LIGHT REFLECTIVE VALUE AND TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) PREPARED AND ADMINISTERED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR).
8. RAISED MEDIANS SEPARATE OPPOSING DIRECTIONS OF TRAFFIC AND PROVIDE A REFUGE AREA FOR PEDESTRIANS UNABLE TO CROSS THE ENTIRE ROADWAY IN THE ALLOTTED SIGNAL PHASE. TO SERVE AS A REFUGE AREA, THE MEDIAN SHALL BE A MINIMUM OF 5' (FT.) WIDE. MEDIANS SHOULD BE DESIGNED TO PROVIDE ACCESSIBLE PASSAGE OVER OR THROUGH THEM.
9. SMALL CHANNELIZATION ISLANDS, WHICH CAN NOT PROVIDE A MINIMUM 5' x 5' LANDING AT THE TOP OF RAMPS, SHALL BE CUT THROUGH LEVEL WITH THE SURFACE OF THE STREET.
10. CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP BAR LOCATIONS SHALL BE AS SHOWN IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ARE NOT REQUIRED, RAMPS SHALL BE ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE ENGINEER.
11. EXISTING FEATURES THAT COMPLY WITH T.A.S. MAY REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS.
12. TRAFFIC SIGNAL OR ILLUMINATION POLES, GROUND BOXES, CONTROLLER BOXES, SIGNS, DRAINAGE FACILITIES AND OTHER ITEMS SHALL BE PLACED SO NOT TO OBSTRUCT THE ACCESSIBLE ROUTE.

P.L.O.I. I.M.C.



FOR ISLAND, MEDIAN, OR CURB MODIFICATIONS FOR CROSSWALKS

SL-ST-35



PLAN VIEW
PLACEMENT OF STREET FIXTURES
(ITEMS NOT INTENDED FOR PUBLIC USE. MINIMUM 4' x 4' CLEAR GROUND SPACE REQUIRED AT PUBLIC USE FIXTURES.)

SL-ST-36

SL-ST-40

No.	DATE	REVISION

SEAL: _____
DESIGN ENGINEER: _____ DATE: _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

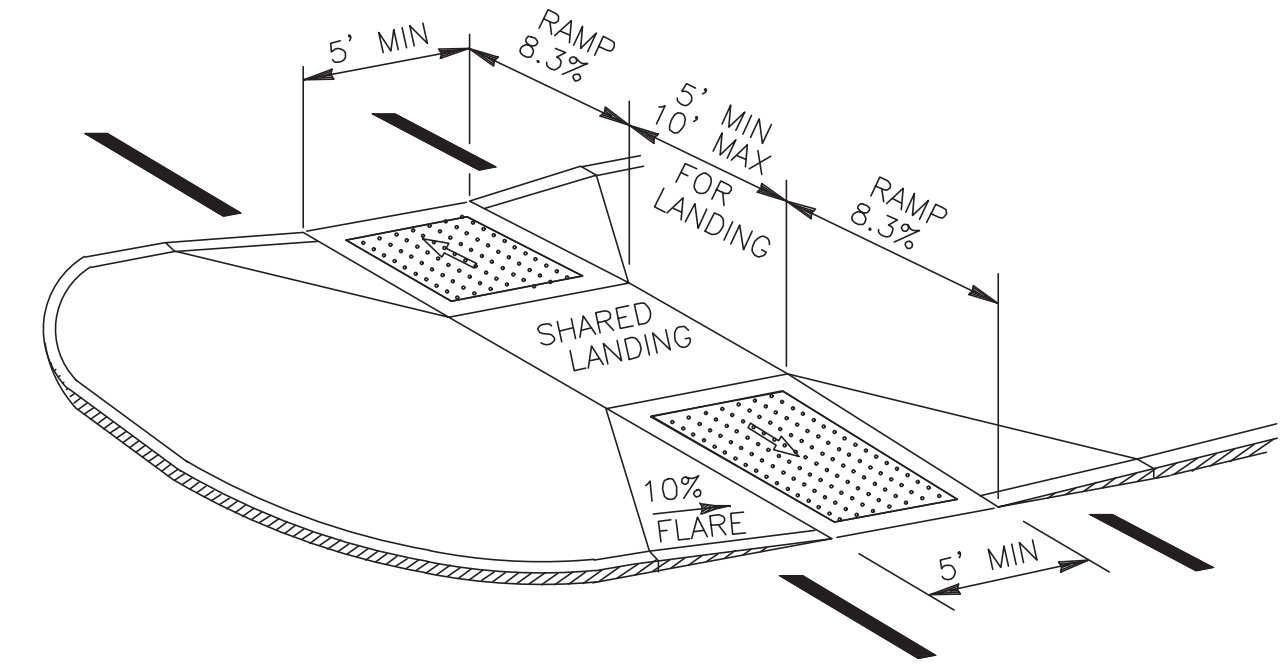
WHEEL CHAIR RAMP & SIDEWALK DETAILS II

JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-26

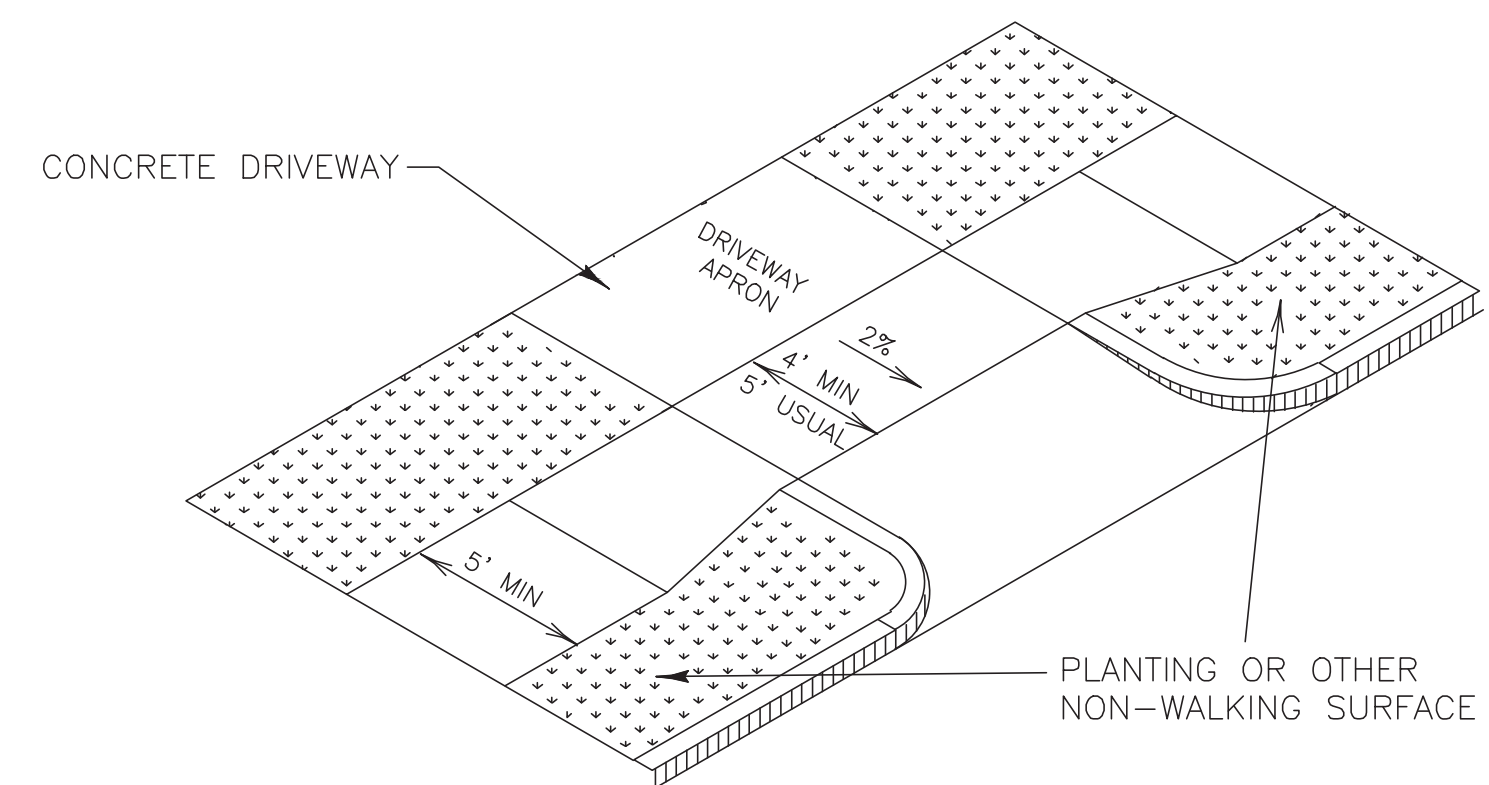
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P.L.O.I. D.M.C.



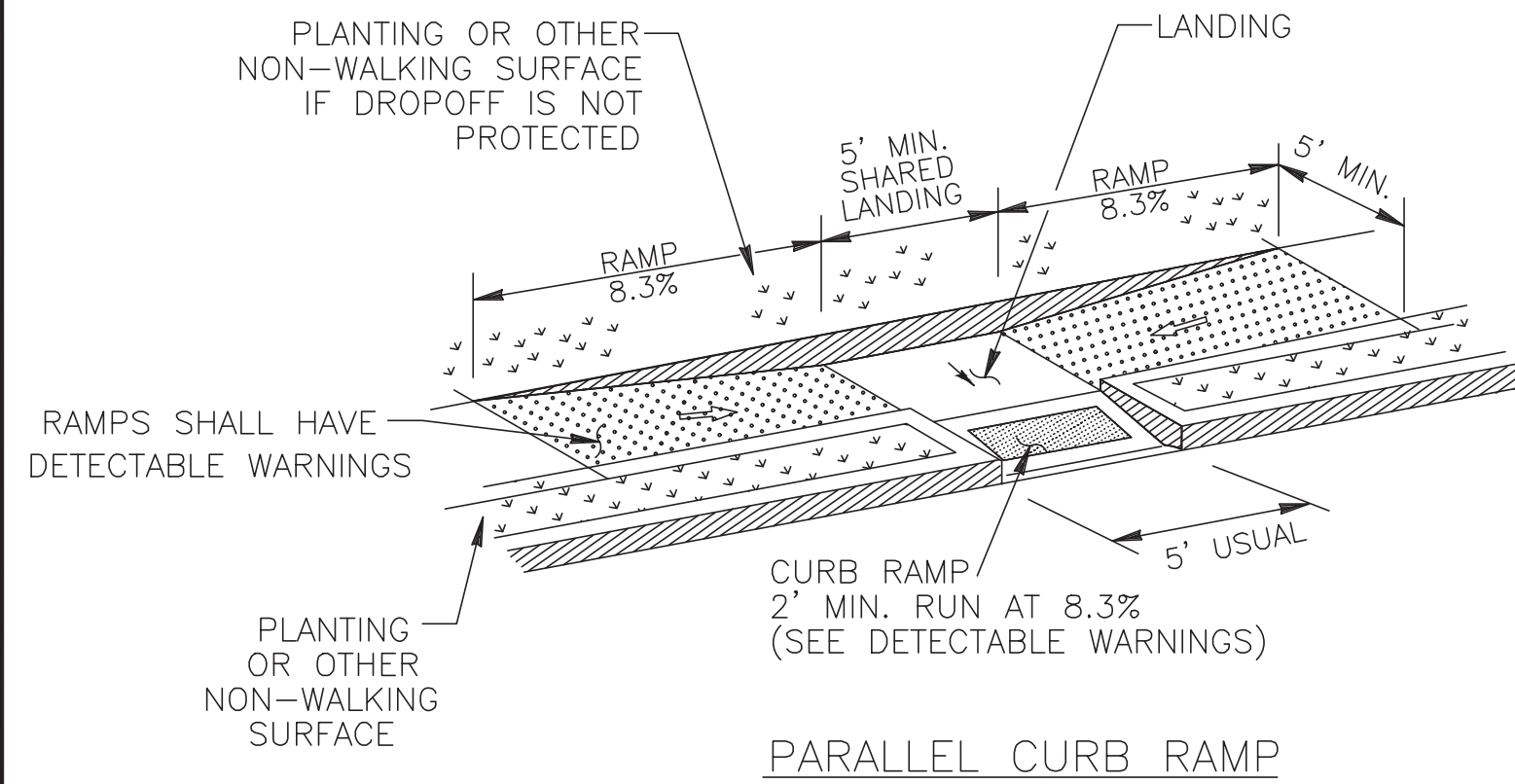
CURB RAMPS AT MEDIAN ISLANDS

SL-ST-37



SIDEWALK TREATMENT AT DRIVEWAYS

SL-ST-38

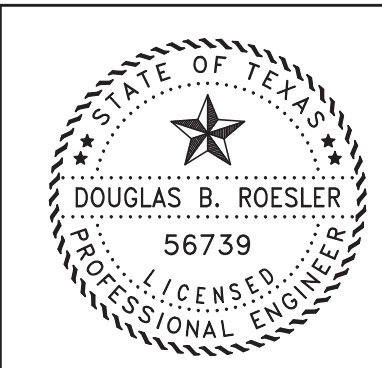
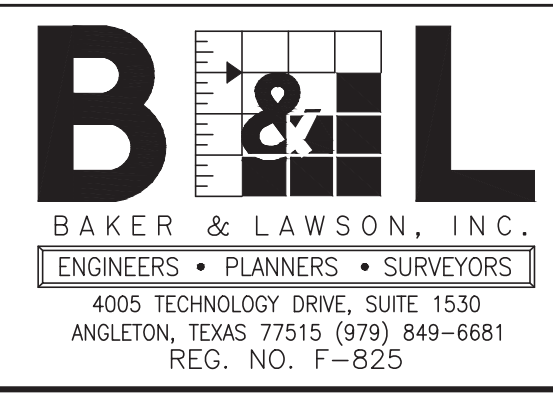


PARALLEL CURB RAMP

SL-ST-39

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED
DATE



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[Signature] 03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

WHEEL CHAIR RAMP & SIDEWALK DETAILS II
SL-26

PROJECT NO. 14396

SL-ST-49

- NOTES:
- 1.) SAW CUT & BREAKOUT NO MORE THAN 72 HOURS PRIOR TO PROPOSED CONCRETE PLACEMENT. NOTIFY SUGAR LAND PRIOR TO CUT.
 - 2.) UNSTABLE SUBGRADE SHALL BE OVER EXCAVATED & REPLACED WITH CONCRETE.
 - 3.) IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY SUGAR LAND OF ANY BIRD BATH PROBLEMS PRIOR TO CONSTRUCTION OF DRIVEWAY.
 - 4.) USE 1"x2" TREATED REDWOOD FOR HEADER.
 - 5.) EDGE ALL SIDES WITH EDGING TOOL AND BROOM FINISH
 - 6.) FOR INDUSTRIAL DRIVES, PAVEMENT SHALL HAVE A DEPTH OF 8" (IN).
 - 7.) EXPANSION JOINT AT PROPERTY LINE REQUIRED. 3/4" REDWOOD BOARD WITH NO. 4 DOWELS MINIMUM.
 - 8.) MAXIMUM ALLOWABLE DRIVEWAY GRADE IN PULIC R.O.W. IS 5%
 - 9.) DRIVEWAY GRADE MUST MEET A.D.A AND T.A.S. SIDEWALK SLOPE, SIDEWALKS MUST BE SCORED TO MATCH ADJACENT SIDEWALK. IF SLOPE IS CONTINUED THROUGH THE R.O.W. LINE, PROVIDE A 3/4" REDWOOD EXPANSION JOINT WITH DOWELS AT R.O.W. LINE.
 - 10.) REFER TO GENERAL , C.S.S., ASPHALT, AND CONCRETE PAVEMENT NOTES.

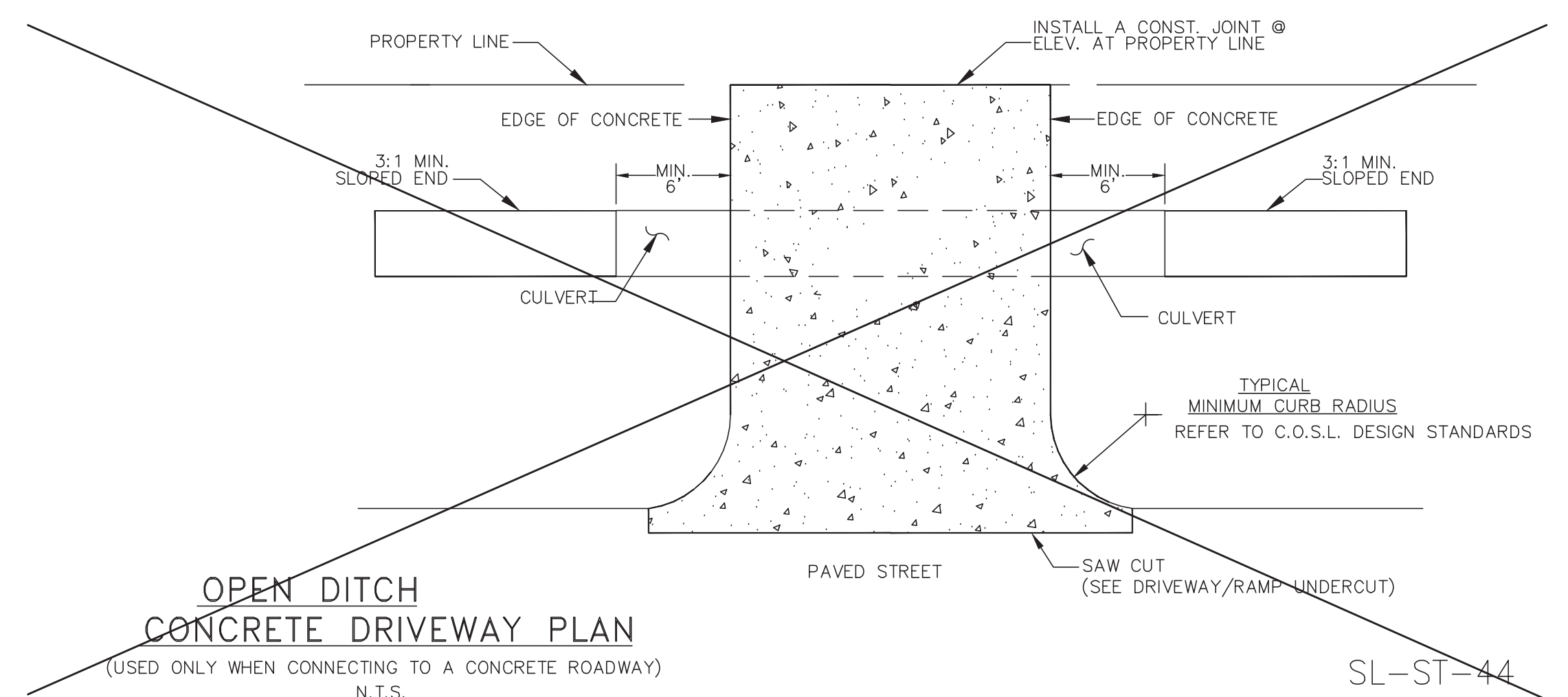
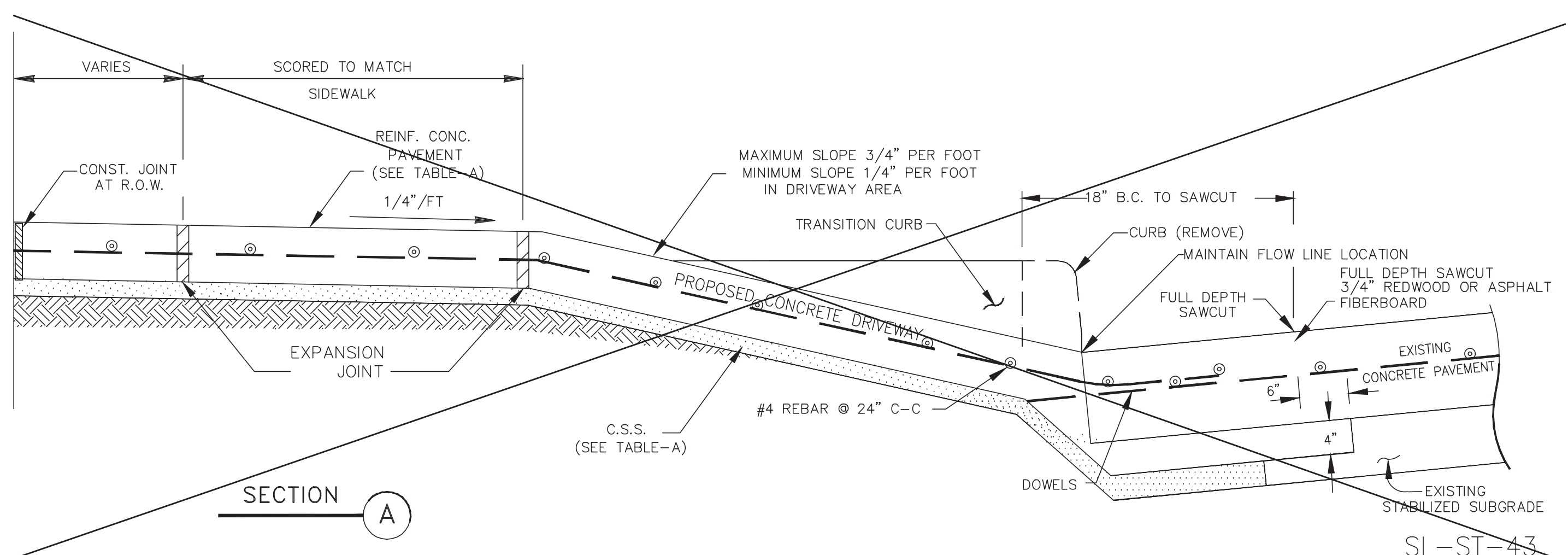
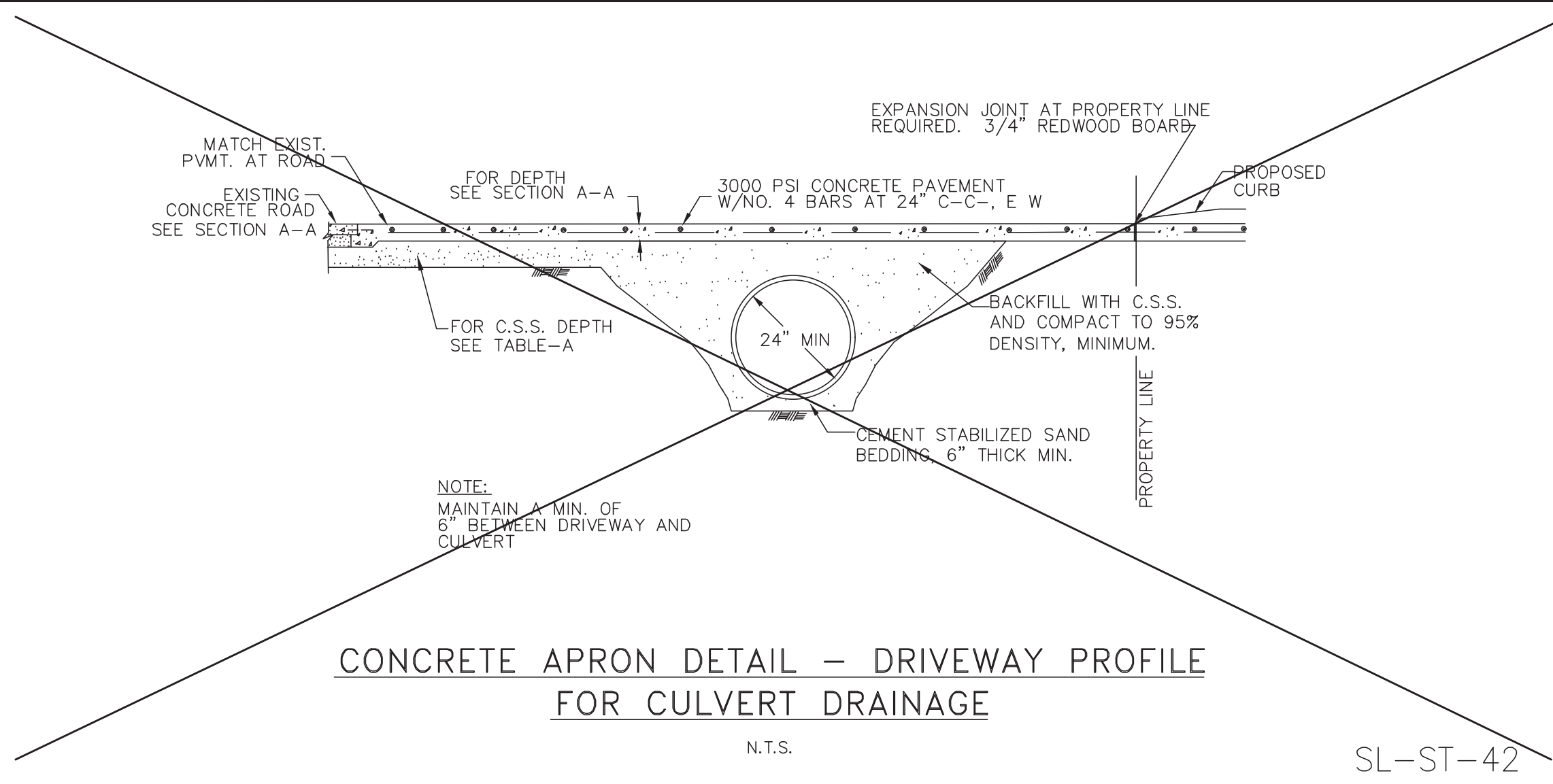
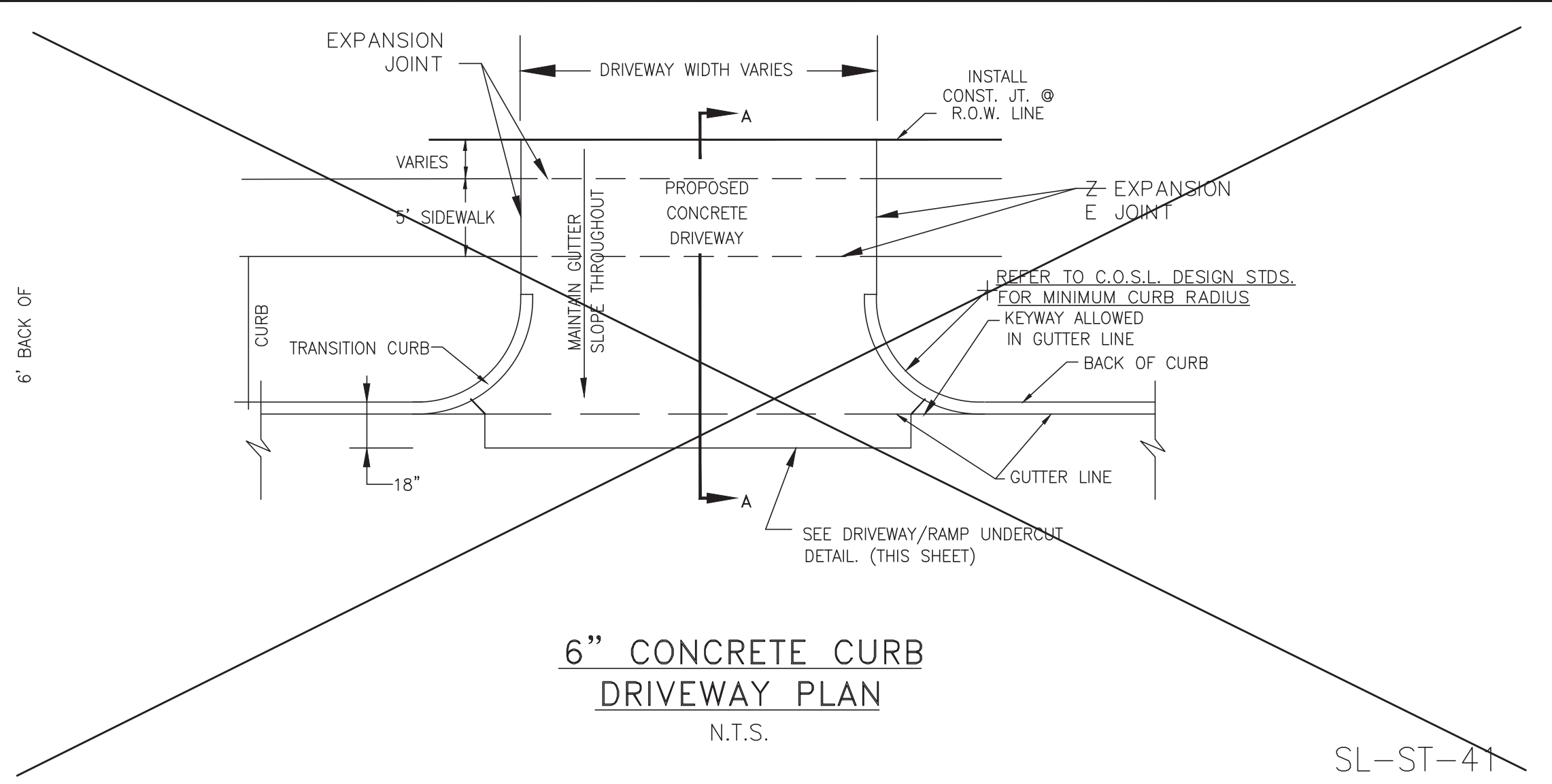


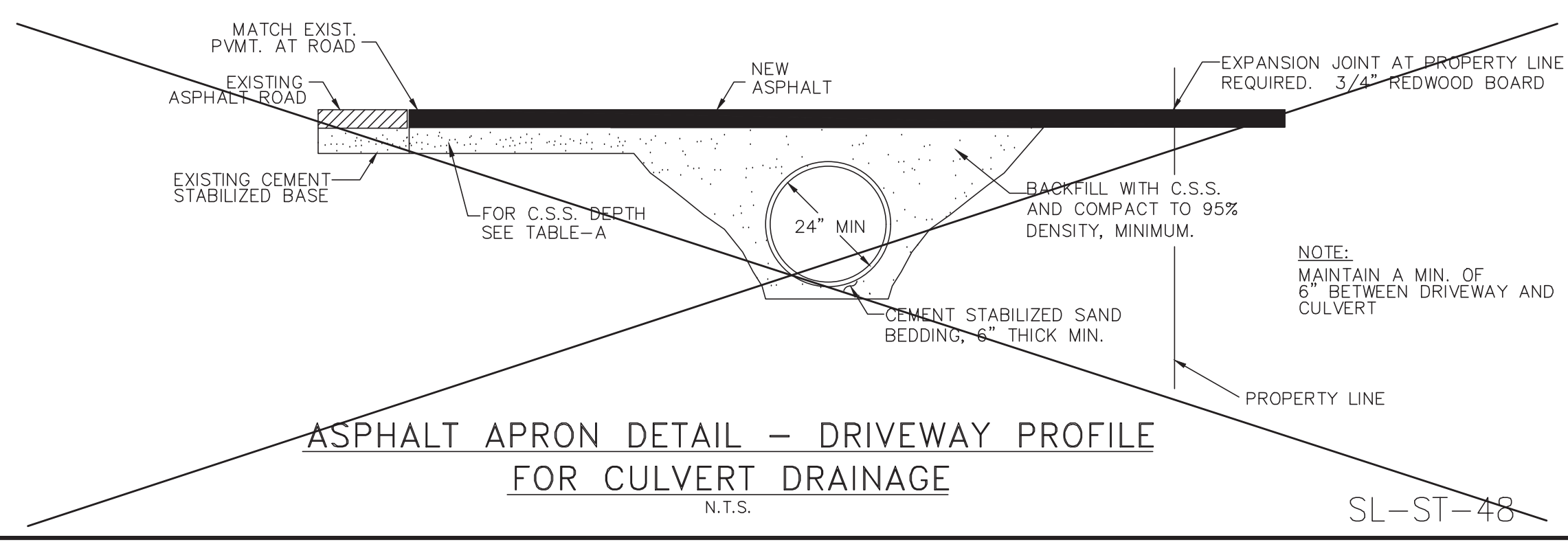
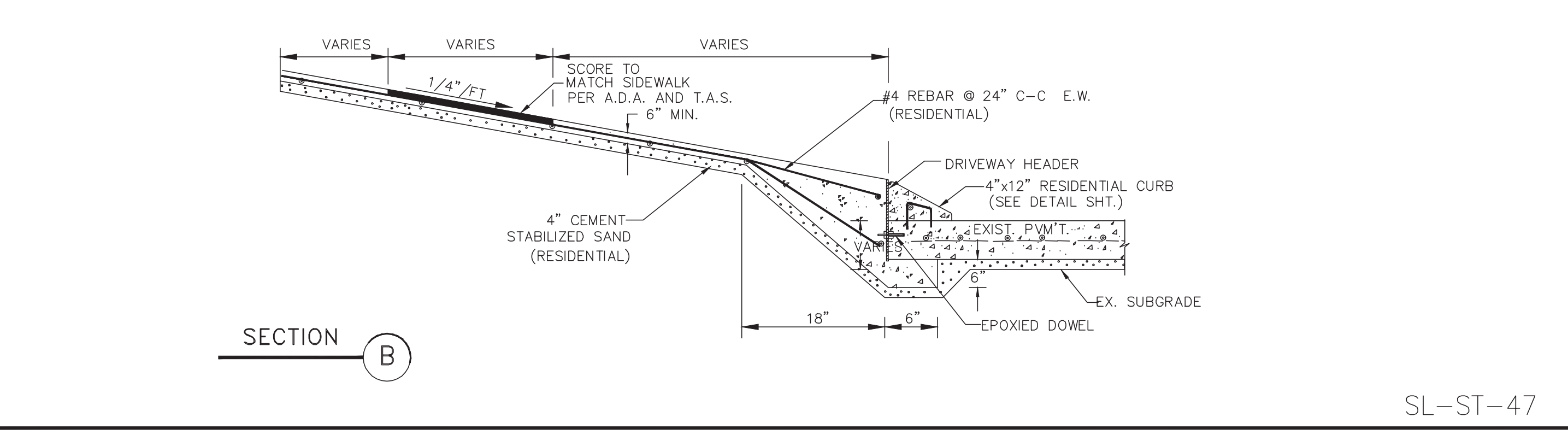
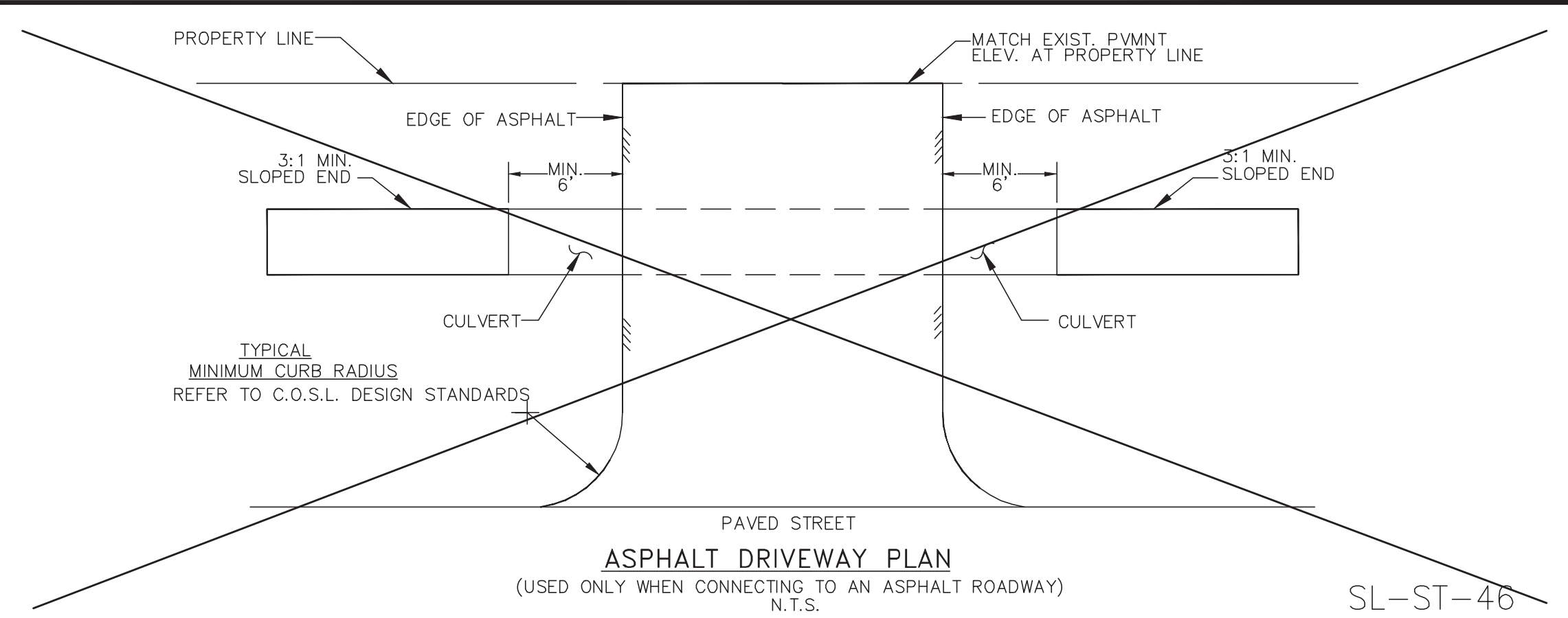
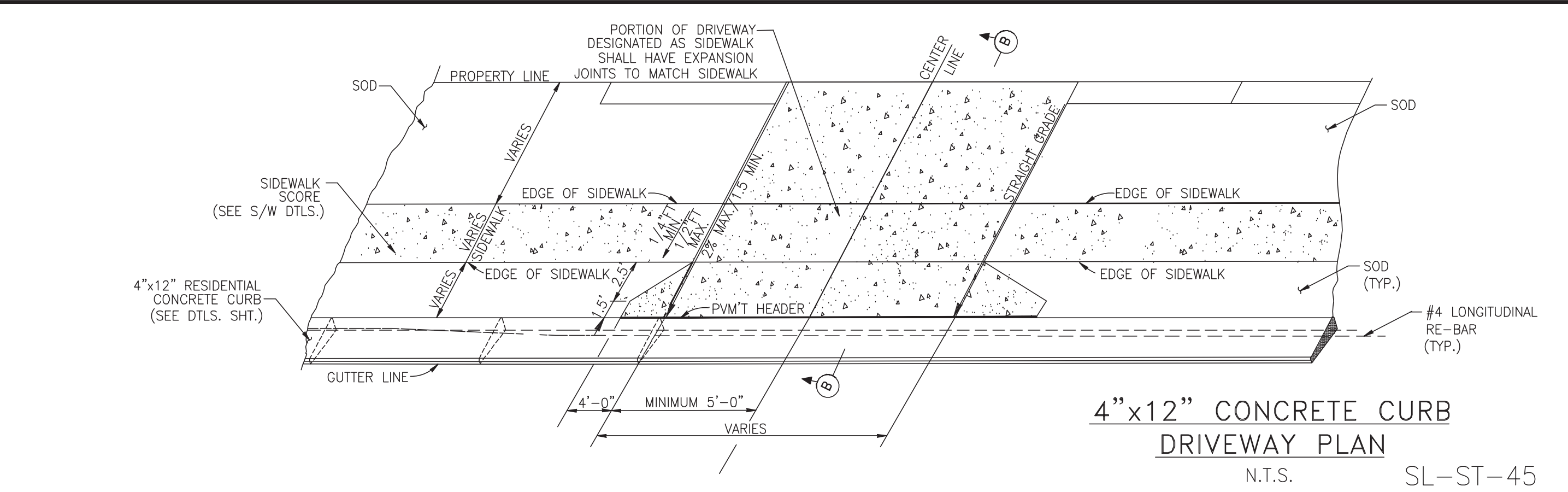
TABLE-A

CEMENT STABILIZED SAND 2-SK/C.Y.	
RESIDENTIAL	4" MINIMUM
COMMERCIAL	6" MINIMUM
INDUSTRIAL	8" MINIMUM
REINFORCED CONCRETE PAVEMENT 3,000 PSI MIN	
RESIDENTIAL	4" MINIMUM
COMMERCIAL	6" MINIMUM
INDUSTRIAL	8" MINIMUM

DRIVEWAY PAVEMENT CONSTRUCTION TABLE

No.	DATE	REVISION

SEAL: _____ DATE _____
DESIGN ENGINEER: _____



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT

CONSTRUCTION PLANS FOR:

DRIVEWAY CONSTRUCTION DETAILS

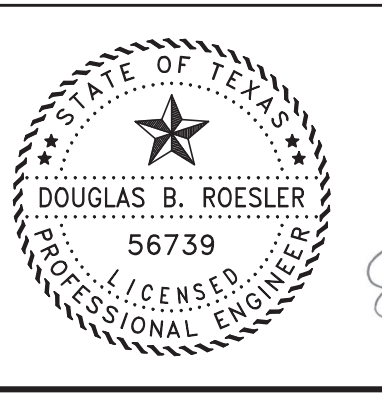
JOB No.: _____
DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SL-27
SHEET OF

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED DR
DRAWN BT
CHECKED
DATE

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-8681
REG. NO. F-825



The seal appearing on this document was authorized by Douglas B. Roessler P.E. 56739
03-03-2023

OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DRIVEWAY CONSTRUCTION DETAILS
SL-27

PROJECT NO. 14396

HYPER-CHLORINATED WATER NOTES

1. HYPER-CHLORINATED WATER SHALL NOT BE DISCHARGED TO THE STORM SEWER OR DRAINAGE SYSTEM UNLESS THE CHLORINE CONCENTRATION IS REDUCED TO 4 PPM OR LESS BY CHEMICALLY TREATING THE DECHLORINATE OR BY ONSITE RETENTION UNTIL NATURAL ATTENUATION OCCURS.
2. DISCHARGE OF HIGH FLOW RATE AND VELOCITIES SHALL BE DIRECTED TO VELOCITY DISSIPATION DEVICES.
3. CHLORINE CAN BURN VEGETATION, SO IT SHOULD NOT BE USED TO WATER VEGETATION THAT IS BEING USED FOR STABILIZATION, VEGETATED FILTERS OR BUFFERS, OR OTHER VEGETATION TO BE PRESERVED.
4. HYPER-CHLORINATED WATER MAY BE DISCHARGED TO AN ONSITE RETENTION AREA UNTIL NATURAL ATTENUATION OCCURS. THE AREA MAY BE A DRY STORMWATER RETENTION BASIN, OR A PORTION OF THE SITE MAY BE GRADED TO FORM A TEMPORARY PIT OR BERMED AREA.
5. NATURAL ATTENUATION OF THE CHLORINE MAY BE AIDED BY AERATION. AIR CAN BE ADDED TO THE WATER BY DIRECTING THE DISCHARGE OVER A ROUGH SURFACE BEFORE IT ENTERS THE TEMPORARY RETENTION AREA OR AN AERATION DEVICE CAN BE PLACED IN THE RETENTION AREA.
6. ONSITE DISCHARGE MAY REQUIRE SEVERAL HOURS TO A FEW DAYS BEFORE THE WATER IS SAFE TO DISCHARGE. THE RATE AT WHICH CHLORINE WILL ATTENUATE IS AFFECTED BY SOIL CONDITIONS AND WEATHER CONDITIONS. ATTENUATION WILL OCCUR QUICKEST DURING WARM, SUNNY, AND DRY PERIODS.

SANITARY WASTE NOTES

1. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE TOILETS BASED ON THE NUMBER OF EMPLOYEES USING THE TOILETS AND THE HOURS THEY WILL WORK.
2. SANITARY FACILITIES SHALL BE PLACED ON A MINIMUM OF 50 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE, CHANNELS OR SURFACE WATERS. IF UNABLE TO MEET THE 50 FOOT REQUIREMENT DUE TO SITE CONFIGURATION, PORTABLE TOILETS SHALL BE A MINIMUM OF 20 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE CHANNELS OR SURFACE WATER AND SECONDARY CONTAINMENT SHALL BE PROVIDED IN CASE OF SPILLS.
3. THE LOCATION OF THE PORTABLE TOILETS SHALL BE ACCESSIBLE TO MAINTENANCE TRUCKS WITHOUT DAMAGING EROSION AND SEDIMENT CONTROLS OR CAUSING EROSION OR TRACKING PROBLEMS.
4. SANITARY FACILITIES SHALL BE FULLY ENCLOSED AND DESIGNED IN A MANNER THAT MINIMIZES THE EXPOSURE OF SANITARY WASTE TO PRECIPITATION AND STORMWATER RUNOFF.
5. WHEN HIGH WINDS ARE EXPECTED, PORTABLE TOILETS SHALL BE ANCHORED OR OTHERWISE SECURED TO PREVENT THEM FROM BEING BLOWN OVER.
6. THE COMPANY THAT SUPPLIES AND MAINTAINS THE PORTABLE TOILETS SHALL BE NOTIFIED IMMEDIATELY IF A TOILET IS TIPPED OVER OR DAMAGED IN A WAY THAT THE RESULTS IN A DISCHARGE. DISCHARGED SOLID MATTER SHALL BE VACUUMED INTO A SEPTIC TRUCK BY THE COMPANY THAT MAINTAINS THE TOILETS.
7. THE OPERATOR OF THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL BE NOTIFIED IF A DISCHARGE FROM THE PORTABLE TOILETS ENTERS THE MS4 OR A NATURAL CHANNEL.
8. SANITARY FACILITIES SHALL NOT BE PERMITTED ON PUBLIC SIDEWALKS, STREETS OR INLETS.

DEBRIS AND TRASH NOTES

1. ALL WASTE SOURCES AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL MATERIAL AND WASTE SOURCES BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS.
2. CONSTRUCTION WASTE AND TRASH SHALL BE STORED IN A MANNER THAT MINIMIZES ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.
3. WHENEVER POSSIBLE, MINIMIZE PRODUCTION OF DEBRIS AND TRASH.
4. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES.
5. SEGREGATE POTENTIAL HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE DEBRIS.
6. PROHIBIT LITTERING BY WORKERS AND VISITORS.
7. POLICE SITE DAILY FOR LITTER AND DEBRIS.
8. ENFORCE SOLID WASTE HANDLING AND STORAGE PROCEDURES.
9. IF FEASIBLE, RECYCLE CONSTRUCTION AND DEMOLITION DEBRIS SUCH AS WOOD, METAL, AND CONCRETE.
10. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN THEY ARE 90 PERCENT FULL OR MORE FREQUENTLY.
11. GENERAL CONSTRUCTION DEBRIS MAY BE HAULED TO A LICENSED CONSTRUCTION DEBRIS LANDFILL.
12. USE WASTE AND RECYCLING HAULERS/FACILITIES APPROVED BY THE LOCAL MUNICIPALITY.
13. CHIPPING OF TREES AND BRUSH FOR USE SUCH AS MULCH IS PREFERRED ALTERNATIVE TO ONSITE DISPOSAL.
14. NO WASTE, TRASH, OR DEBRIS SHALL BE BURIED, BURNED OR OTHER WISE DISPOSED OF ONSITE.
15. CLEARLY MARK ON ALL DEBRIS AND TRASH CONTAINERS WHICH MATERIALS ARE ACCEPTABLE. FOREMAN AND/OR CONSTRUCTION SUPERVISOR SHALL MONITOR ONSITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES DAILY.

CONCRETE SAWCUTTING WASTE NOTES

1. DURING SAWCUTTING OPERATIONS, THE SLURRY AND CUTTINGS SHALL BE CONTINUOUSLY VACUUMED OR OTHERWISE RECOVERED AND NOT BE ALLOWED TO DISCHARGE FROM THE SITE.
2. IF THE PAVEMENT TO BE CUT IS NEAR A STORM DRAIN INLET, THE INLET SHALL BE BLOCKED BY SANDBAGS OR EQUIVALENT TEMPORARY MEASURES TO PREVENT THE SLURRY FROM ENTERING THE INLET. REMOVE THE SANDBAGS IMMEDIATELY AFTER COMPLETING SAWCUTTING OPERATIONS, SO THEY DO NOT CAUSE DRAINAGE PROBLEMS DURING STORM EVENTS.
3. SLURRY AND CUTTINGS SHALL NOT BE ALLOWED TO REMAIN ON THE PAVEMENT TO DRY OUT.
4. DEVELOP PRE-DETERMINED, SAFE SLURRY DISPOSAL AREAS.
5. COLLECTED SLURRY AND CUTTINGS SHOULD BE IMMEDIATELY HAULED FROM THE SITE FOR DISPOSAL AT A WASTE FACILITY. IF THIS IS NOT POSSIBLE, THE SLURRY AND CUTTINGS SHALL BE DISCHARGED INTO ONSITE CONTAINMENT.
6. THE ONSITE CONTAINMENT MAY BE EXCAVATED OR BERMED PIT LINED WITH PLASTIC MINIMUM OF 10 MILLIMETERS THICK. IF THE PROJECT INCLUDES PLACEMENT OF NEW CONCRETE, SLURRY FROM SAWCUTTING MAY BE DISPOSED OF IN FACILITIES DESIGNATED FOR THE WASHOUT OF CONCRETE TRUCKS INSTEAD CONSTRUCTING A SEPARATE CONTAINMENT.
7. THE CONTAINMENT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS. IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO, IN NO CASE SHALL THE COLLECTION AREA BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS.
8. SEVERAL, PORTABLE, PRE-FABRICATED, CONCRETE WASHOUT, COLLECTION BASINS ARE COMMERCIALY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO AN ONSITE CONTAINMENT PIT.
9. REMOVE WASTER CONCRETE WHEN THE CONTAINMENT IS HALF FULL. ALWAYS MAINTAIN A MINIMUM OF ONE FOOT FREEBOARD.
10. ONSITE EVAPORATION OF SLURRY WATER AND RECYCLING OF THE CONCRETE WASTE IS THE PREFERRED DISPOSAL METHOD. WHEN THIS IS NOT FEASIBLE, DISCHARGE FROM THE COLLECTION AREA SHALL ONLY BE ALLOWED IF A PASSIVE TREATMENT SYSTEM IS USED TO REMOVE THE FINES. MECHANICAL MIXING IS REQUIRED IN THE COLLECTION AREA. THE pH MUST BE TESTED, AND DISCHARGED IS ALLOWED IN IF THE pH DOES NOT EXCEED 8.0. THE pH MAY BE LOWERED BY ADDING SULFURIC ACID TO THE SLURRY WATER.
11. CARE SHALL BE EXERCISED WHEN TREATING THE SLURRY WATER FOR DISCHARGE. MONITORING MUST BE IMPLEMENTED TO VERIFY THAT DISCHARGES FROM THE COLLECTION AREA DO NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
12. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO CONTROL SAWCUTTING WASTE, SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

SPILL AND LEAK RESPONSE NOTES


1. RECORDS OF RELEASES THAT EXCEED THE REPORTABLE QUANTITY (RQ) FOR OIL AND HAZARDOUS SUBSTANCES SHOULD BE MAINTAINED IN ACCORDANCE WITH THE FEDERAL AND STATE REGULATIONS.
2. EMERGENCY CONTACT INFORMATION AND SPILL RESPONSE PROCEDURES SHALL BE POSTED IN A READILY AVAILABLE REA FOR ACCESS BY ALL EMPLOYEES AND SUBCONTRACTORS.
3. SPILL CONTAINMENT KITS SHOULD BE MAINTAINED FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS THAT ARE REGULARLY ONSITE. MATERIALS IN KITS SHOULD BE BASED ON CONTAINMENT GUIDELINES IN THE MATERIALS SAFETY AND DATA SHEETS (MSDS) FOR THE SUBSTANCE MOST FREQUENTLY ONSITE.
4. SPILL KITS ARE INTENDED FOR RESPONSE TO SMALL SPILLS, TYPICALLY LESS THAN 5 GALLONS, OF SUBSTANCES THAT ARE NOT EXTREMELY HAZARDOUS.
5. SIGNIFICANT SPILLS OR OTHER RELEASES WARRANT IMMEDIATE RESPONSE BY TRAINED PROFESSIONALS.
6. SUSPECTED JOB-SITE CONTAMINATION SHOULD BE IMMEDIATELY REPORTED TO REGULATORY AUTHORITIES AND PROTECTIVE ACTIONS TAKEN.
7. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE A SITE SUPERINTENDENT, FOREMAN, SAFETY OFFICER, OR OTHER SENIOR PERSON WHO IS ONSITE DAILY TO BE THE SPILL AND LEAK RESPONSE COORDINATOR (SLRC) AND MUST HAVE KNOWLEDGE OF AND BE TRAINED IN CORRECT SPILL AND LEAK RESPONSE PROCEDURES.

SUBGRADE STABILIZATION NOTES

1. MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH WORKDAY.
2. STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN NO RUN OFF.
3. STABILIZATION SHALL NOT OCCUR IMMEDIATELY BEFORE AND DURING RAINFALL EVENTS.
4. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE AREA BEING STABILIZED UNTIL AFTER COMPLETION OF MIXING THE CHEMICAL.
5. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE ROUGHENED TO INTERCEPT CHEMICAL RUNOFF AND REDUCE RUNOFF VELOCITY.
6. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE DISSOLVED IN THE WATER AND WON'T BE AFFECTED BY A BARRIER AND THE SUSPENDED SOLIDS ARE SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.
7. IF SOIL STABILIZERS ARE STORED ONSITE, THEY SHALL BE CONSIDERED HAZARDOUS MATERIAL AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LIME OR CHEMICAL OVERFLOW.
8. THE CONTRACTOR SHALL INSTALL BMP'S TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEMS TO PREVENT LIME FROM ENTERING THE MS4 SYSTEM.

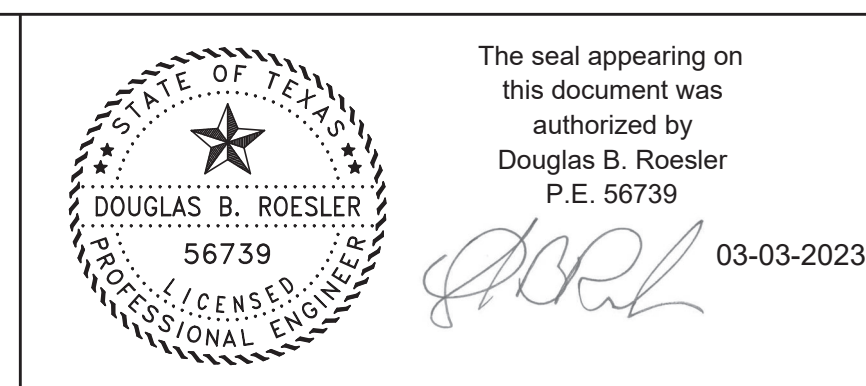
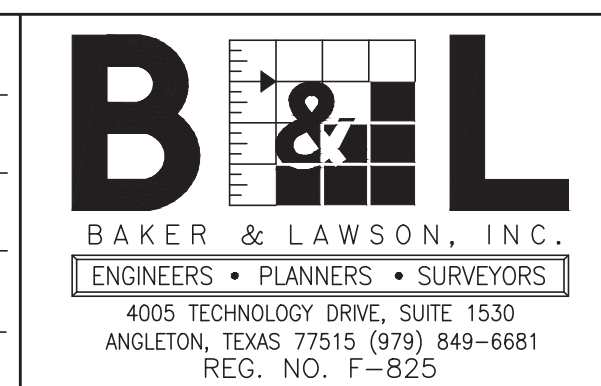
SANDBLASTING WASTE NOTES

1. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE THE SITE SUPERINTENDENT, FOREMAN, OR OTHER PERSON WHO IS RESPONSIBLE FOR SANDBLASTING TO ALSO BE RESPONSIBLE FOR SANDBLASTING WASTE MANAGEMENT.
2. PROHIBIT THE DISCHARGE OF SANDBLASTING WASTE.
3. USE ONLY INERT, NON-DEGRADABLE SANDBLAST MEDIA.
4. USE APPROPRIATE EQUIPMENT FOR THE JOB; DO NOT OVER-BLAST.
5. WHENEVER POSSIBLE, BLAST IN A DOWNWARD DIRECTION.
6. CEASE BLASTING ACTIVITIES IN HIGH WINDS OR IF WIND DIRECTION COULD TRANSPORT GRIT TO DRAINAGE FACILITIES.
7. INSTALL DUST SHIELDING AROUND SANDBLASTING AREAS.
8. COLLECT AND DISPOSE OF ALL SPENT SANDBLAST GRIT, USE DUST CONTAINMENT FABRICS AND DUST COLLECTION HOPPERS AND BARRELS.
9. NON-HAZARDOUS SANDBLAST GRIT MAY BE DISPOSED IN PERMITTED CONSTRUCTION DEBRIS LANDFILLS OR PERMITTED SANITARY LANDFILLS.
10. IF SANDBLAST MEDIA CANNOT BE FULLY CONTAINED, CONSTRUCT SEDIMENT TRAPS DOWNSTREAM FROM BLASTING AREA WHERE APPROPRIATE.
11. USE SAND FENCING WHERE APPROPRIATE IN AREAS WHERE BLAST MEDIA CANNOT BE FULLY CONTAINED.
12. IF NECESSARY, INSTALL MISTING EQUIPMENT TO REMOVE SANDBLAST GRIT FROM THE AIR PREVENT RUNOFF FROM MISTING OPERATIONS FROM ENTERING DRAINAGE SYSTEMS.
13. USE VACUUM GRIT COLLECTION SYSTEMS WHERE POSSIBLE.
14. KEEP RECORDS OF SANDBLASTING MATERIALS, PROCEDURES, AND WEATHER CONDITIONS ON A DAILY BASIS.
15. TAKE ALL REASONABLE PRECAUTIONS TO ENSURE THAT SANDBLASTING GRIT IS CONTAINED AND KEPT AWAY FROM DRAINAGE STRUCTURES.
16. SAND BLASTING MEDIA SHOULD ALWAYS BE STORED UNDER COVER AWAY FROM DRAINAGE STRUCTURES.
17. ENSURE THAT STORED MEDIA OR GRIT IS NOT SUBJECTED TO TRANSPORT BY WIND.
18. ENSURE THAT ALL SANDBLASTING EQUIPMENT AND STORAGE CONTAINERS COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS.
19. CAPTURE AND TREAT RUNOFF, WHICH COMES INTO CONTACT WITH SANDBLASTING MATERIALS OR WASTE.

No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____		DATE _____
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
GENERAL EROSION CONTROL NOTES		
JOB No.: DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SL-33 SHEET OF	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____



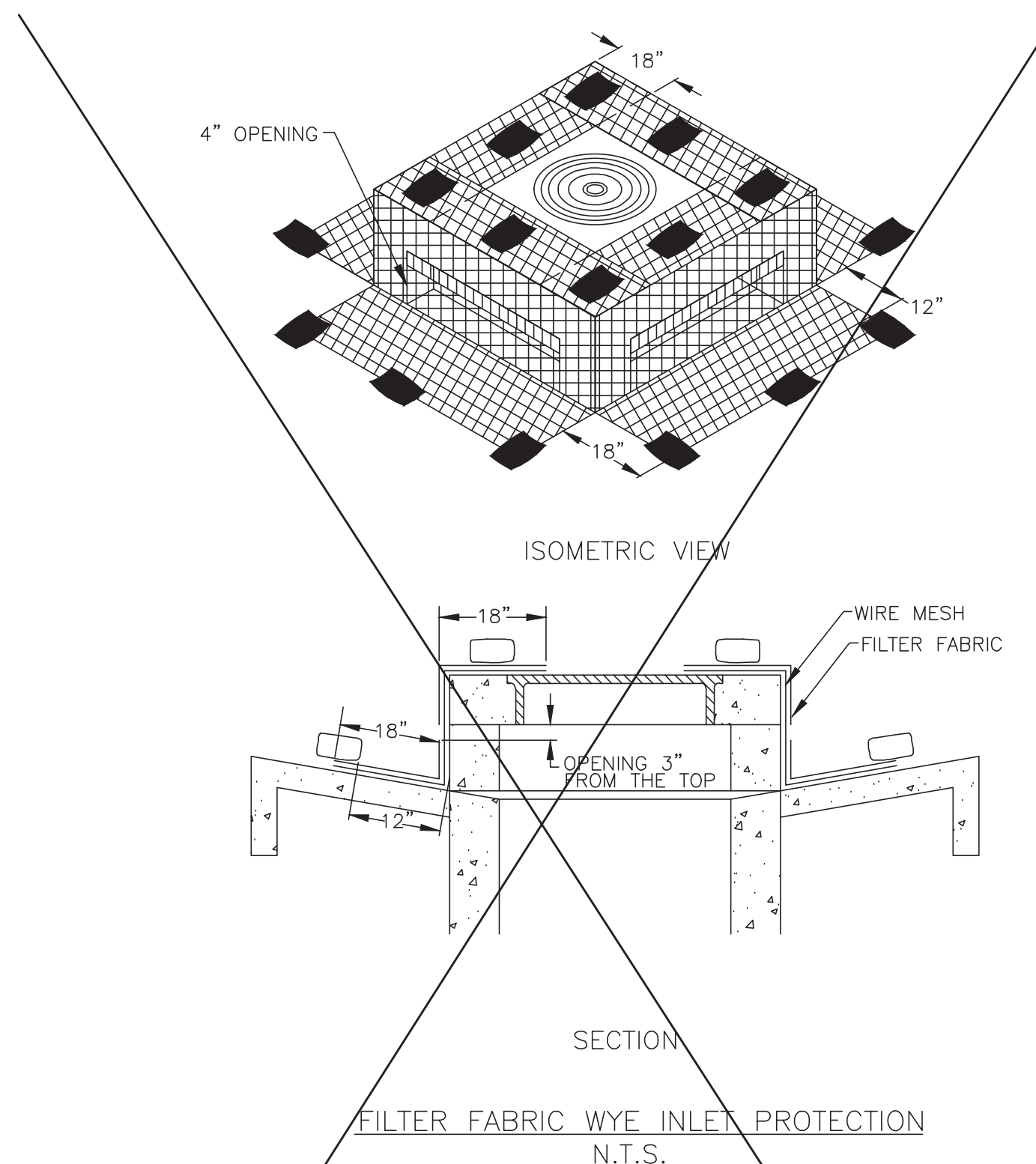
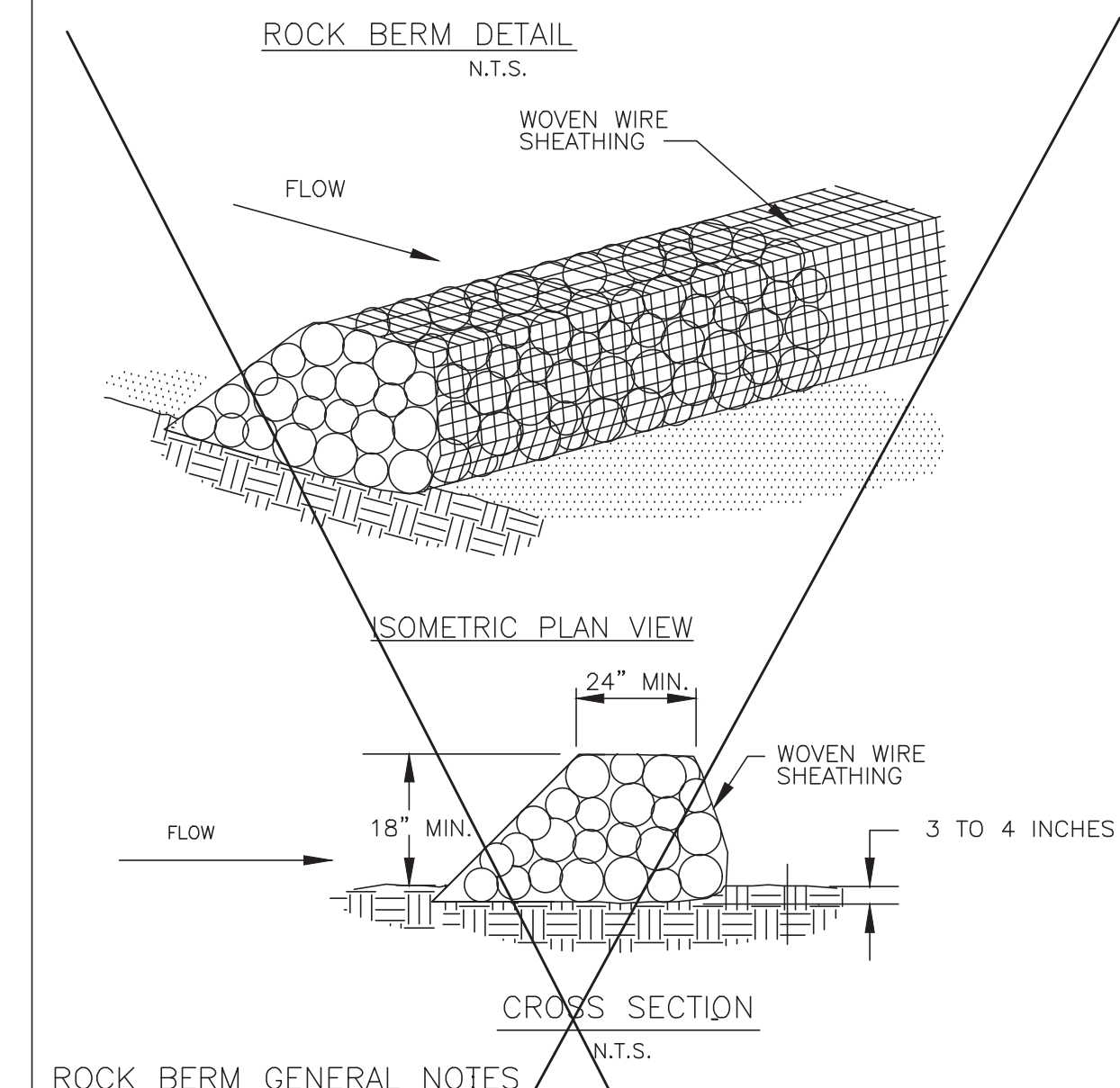
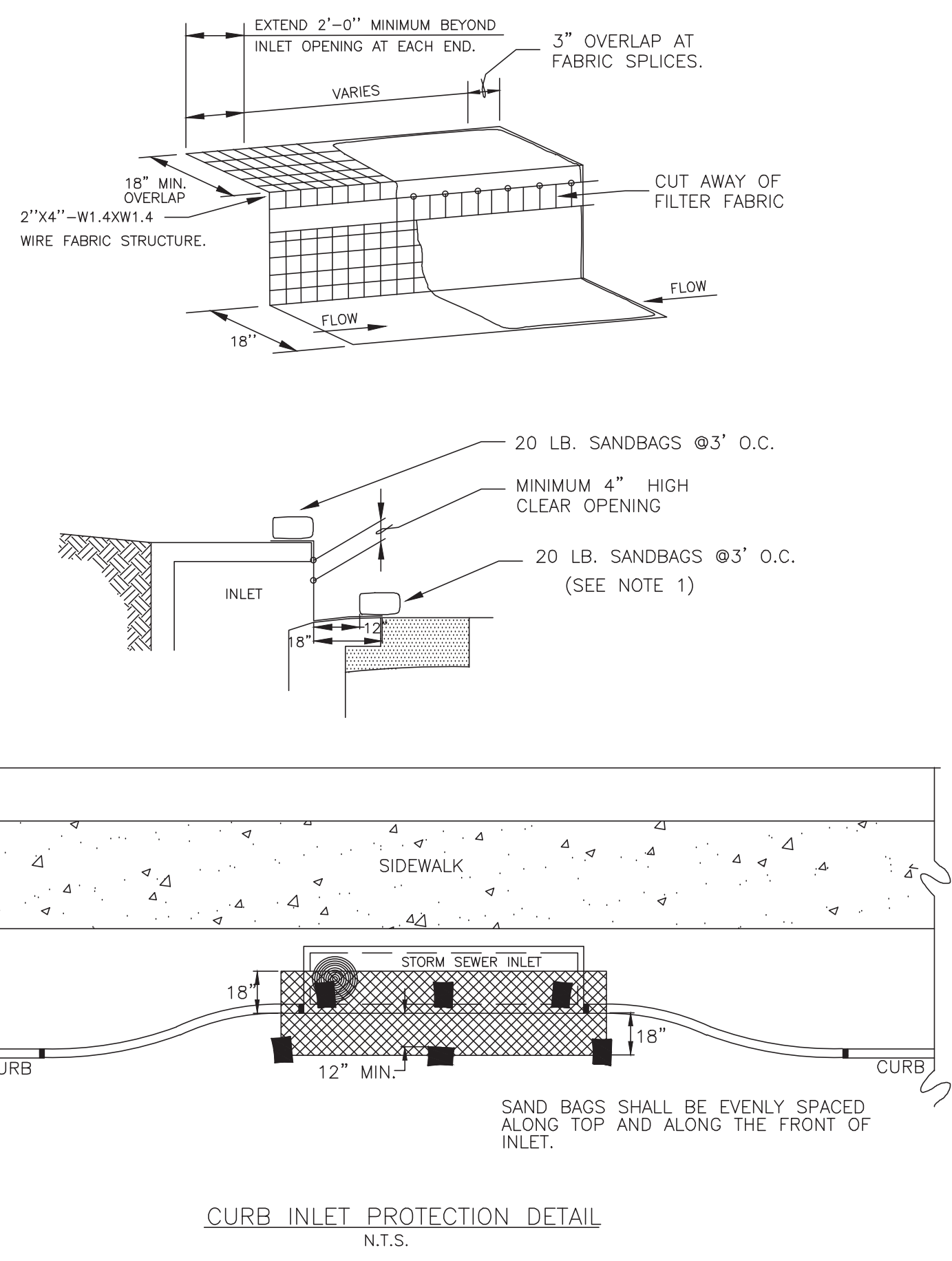
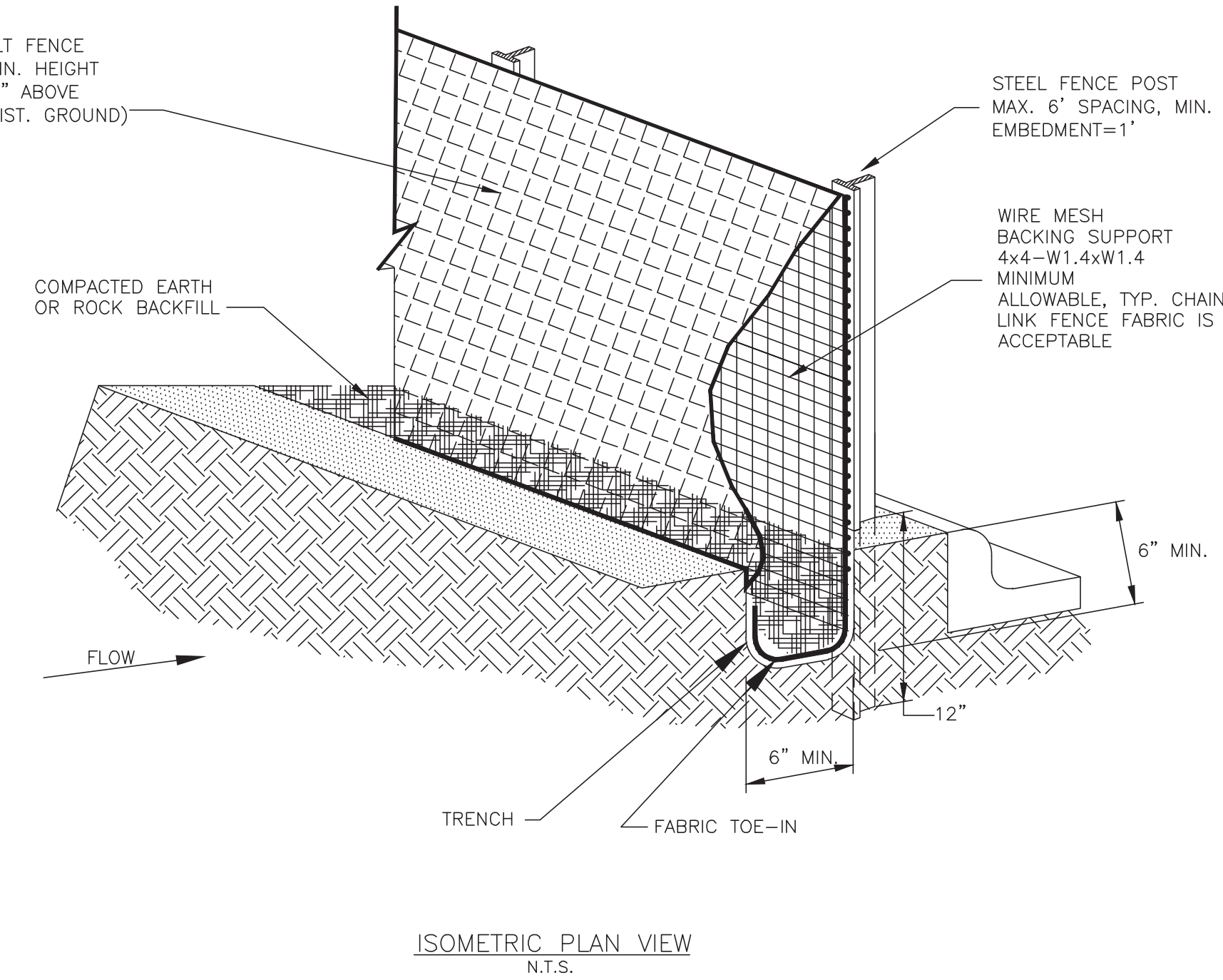
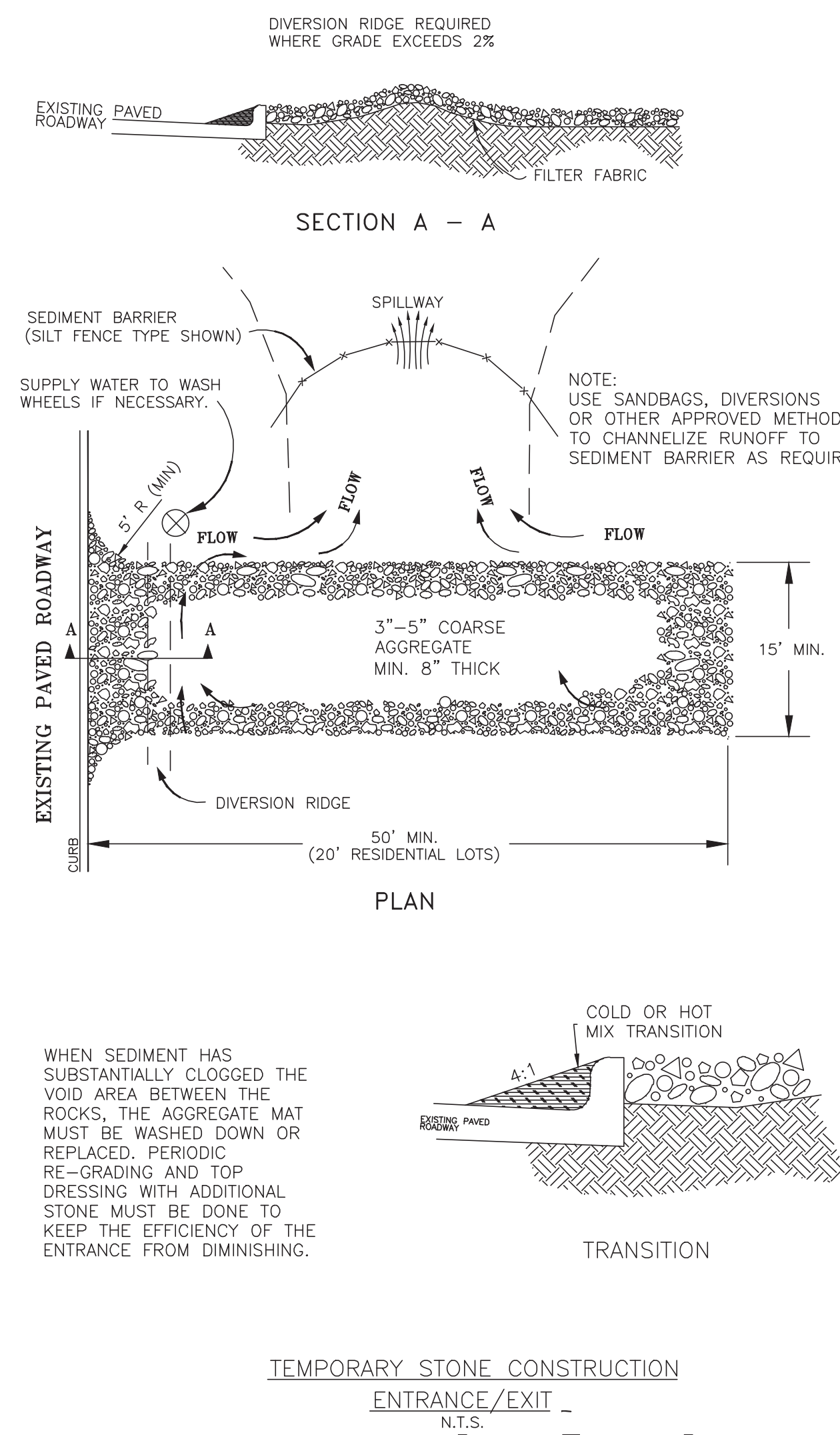
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

GENERAL EROSION CONTROL NOTES
 SL-33

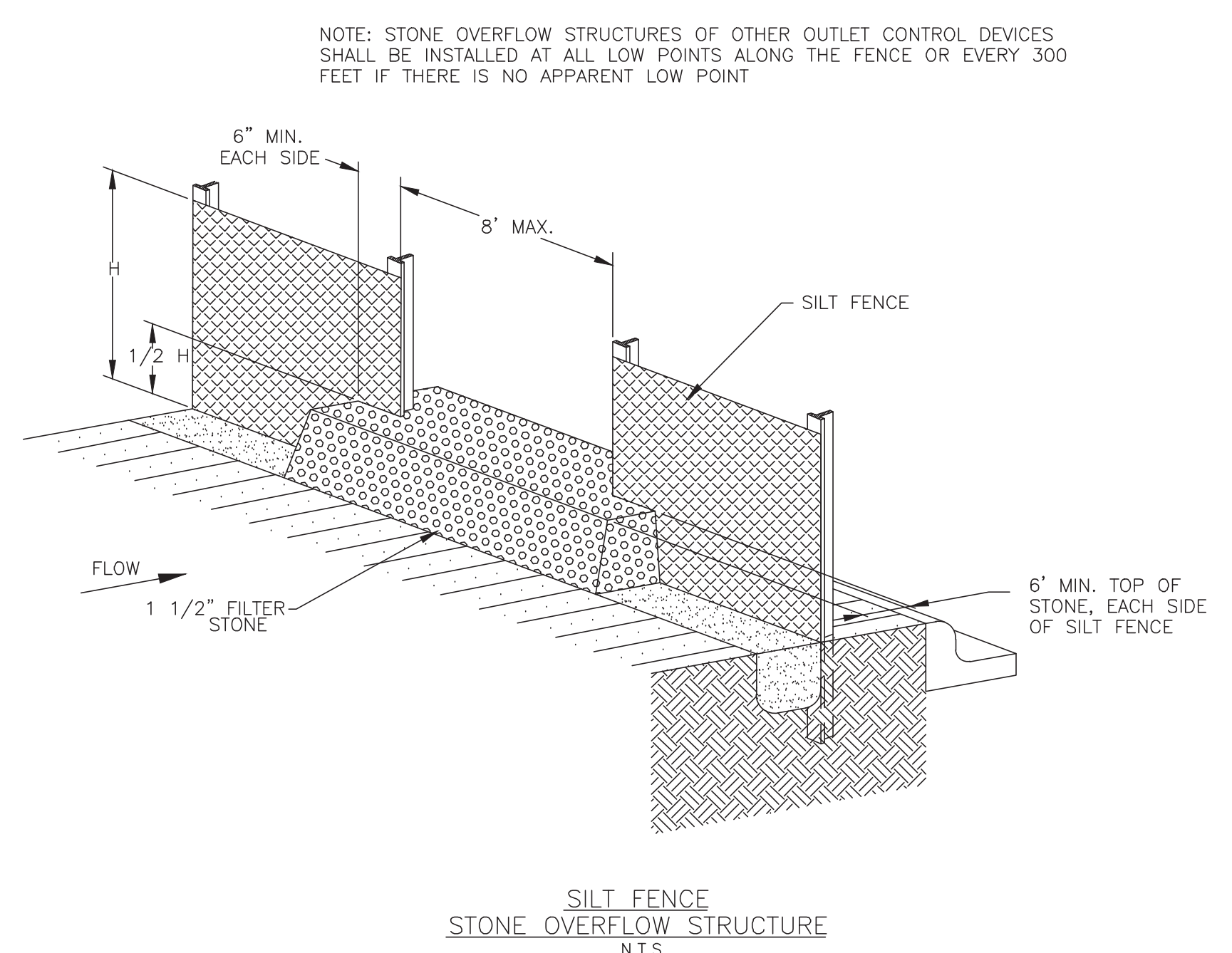
PROJECT NO. 14396



- NOTES:**
- A SECTION OF FILTER FABRIC SHALL BE REMOVED AS SHOWN ON THIS DETAIL TO PROVIDE A 4" MINIMUM CLEAR OPENING. FABRIC MUST BE SECURED TO WIRE BACKING WITH CLIPS OR HOG RINGS AT THIS LOCATION.
 - INSPECTION SHALL BE MADE BY CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 2".
 - CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY REMOVE THE INLET PROTECTION IF THE STORMWATER BEGINS TO OVERTOP THE CURB.
 - INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF THE SEDIMENT IS STABILIZED.

INLET OPENING	MINIMUM NUMBER OF SAND BAGS	
	TOP	FRONT
5'	2	3
10'	3	3
15'	3	4
20'	4	4

- SILT FENCE GENERAL NOTES**
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 - SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 - INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



No.	DATE	REVISION
SEAL:		
DESIGN ENGINEER: _____ DATE _____		
CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
EROSION CONTROL DETAILS - 1		
JOB No.: _____ DATE: _____ DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ SCALE: _____	SL-34 SHEET OF	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED
DATE

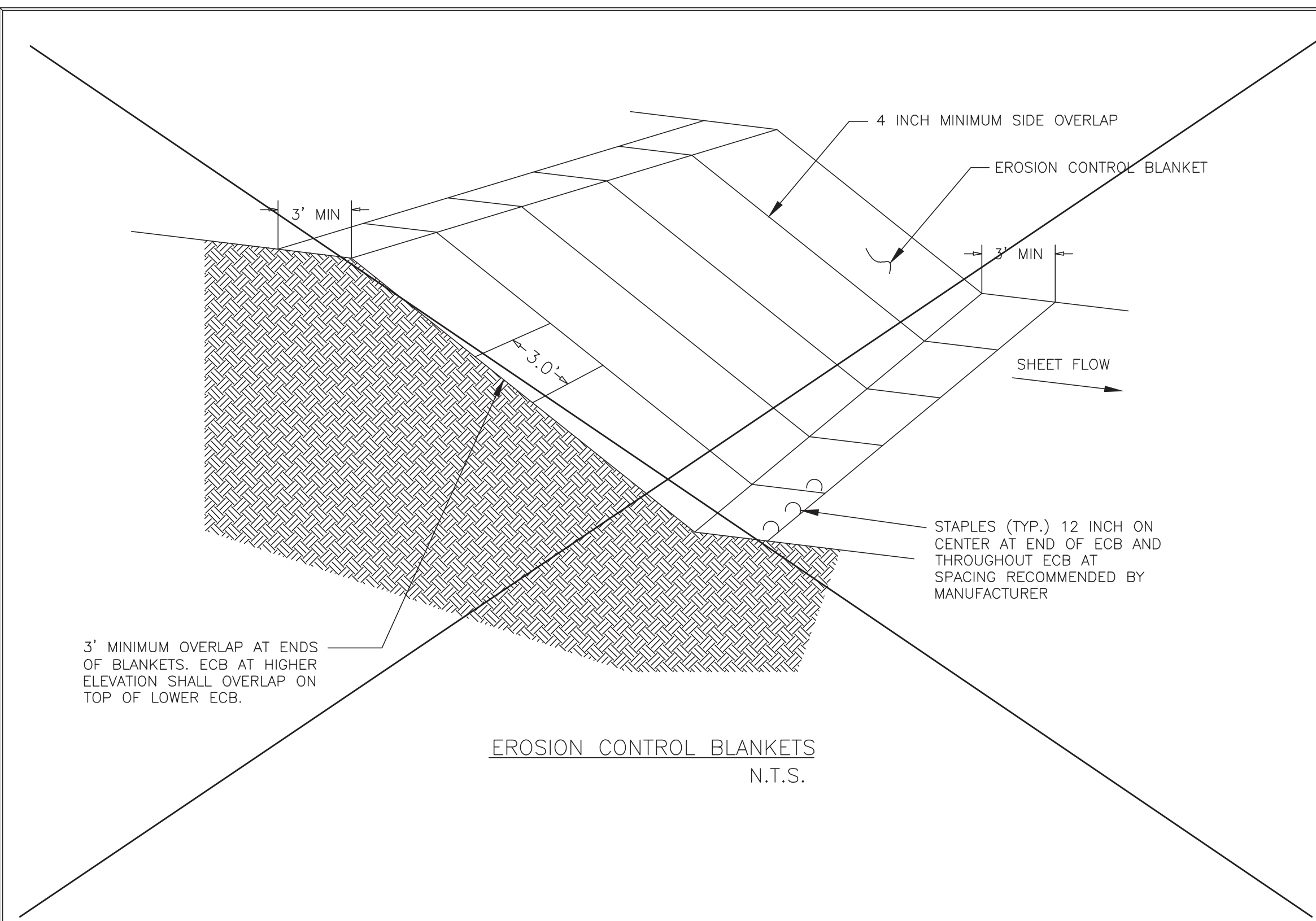
OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
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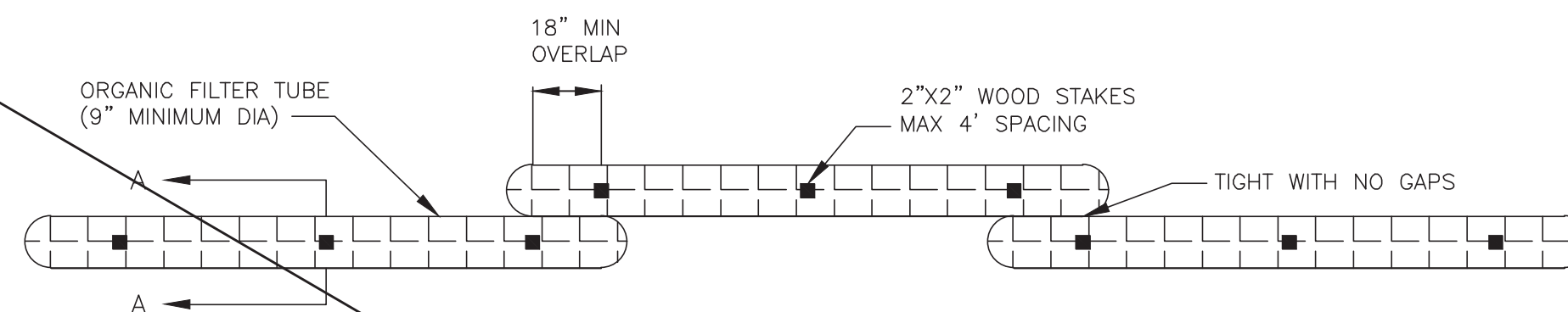
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

EROSION CONTROL
DETAILS - 1
SL-34

PROJECT NO. 14396



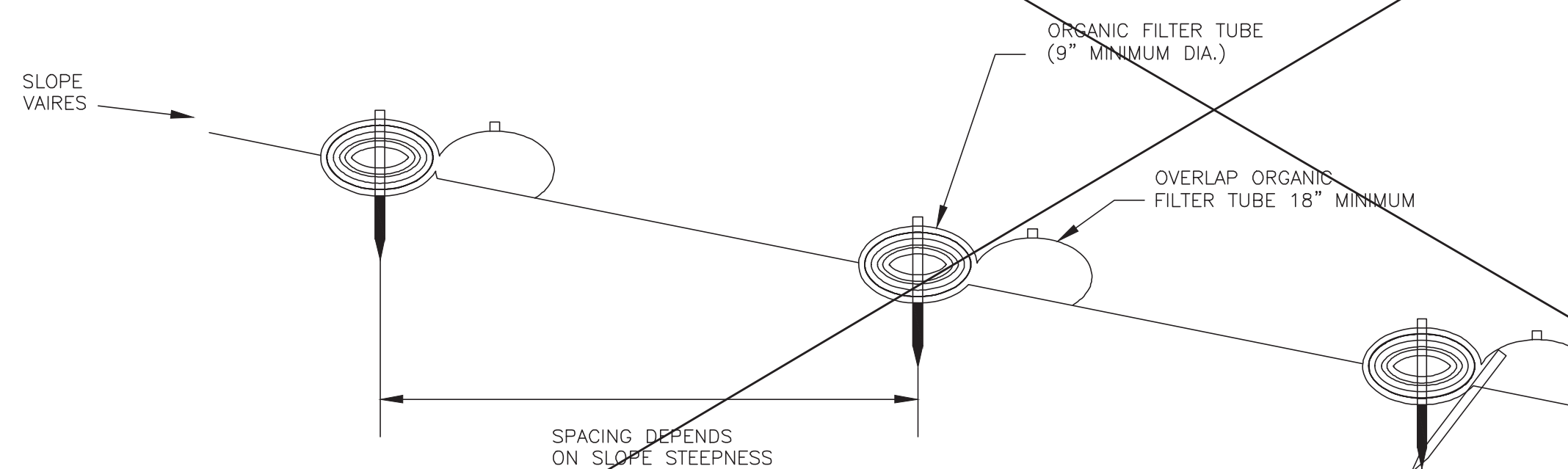
EROSION CONTROL BLANKETS
N.T.S.



ORGANIC FILTER TUBE PERIMETER CONTROL PLAN VIEW
N.T.S.

ORGANIC FILTER TUBES NOTES

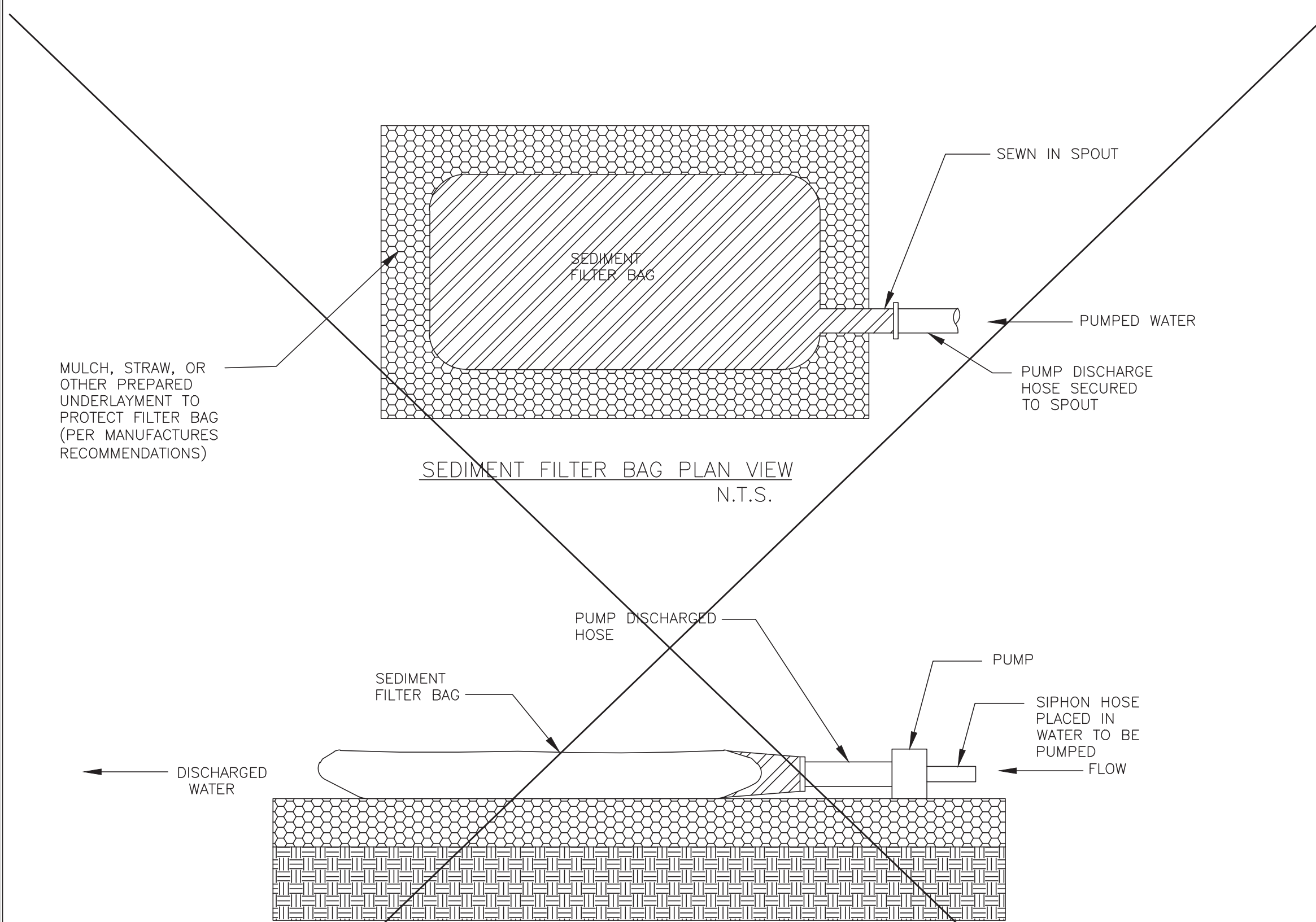
1. TYPE OF NETTING, FILTER MATERIAL, DIAMETER OF TUBE, AND SPACING OF TUBES SHALL BE SPECIFIED BY THE DESIGNER BASED ON THE FOLLOWING SITE PARAMETERS:
 - SIZE OF CONTRIBUTING DRAINAGE AREA
 - STEEPNESS OF SLOPE
 - GROUND CONDITIONS (SOIL OR PAVEMENT)
2. DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE TUBE ARE TO BE TURNED UPSLOPE. UPSLOPE LENGTHS SHALL BE MINIMUM OF 10 FEET.



ORGANIC FILTER TUBE PERIMETER CONTROL PROFILE
N.T.S.

FOR SLOPES OF 2:1 OR STEEPER, A SECOND STAKE AGAINST THE DOWNSLOPE FACE OF THE TUBE MAY BE NEEDED DEPENDING ON SOIL TYPE

FILTER TUBE
N.T.S.

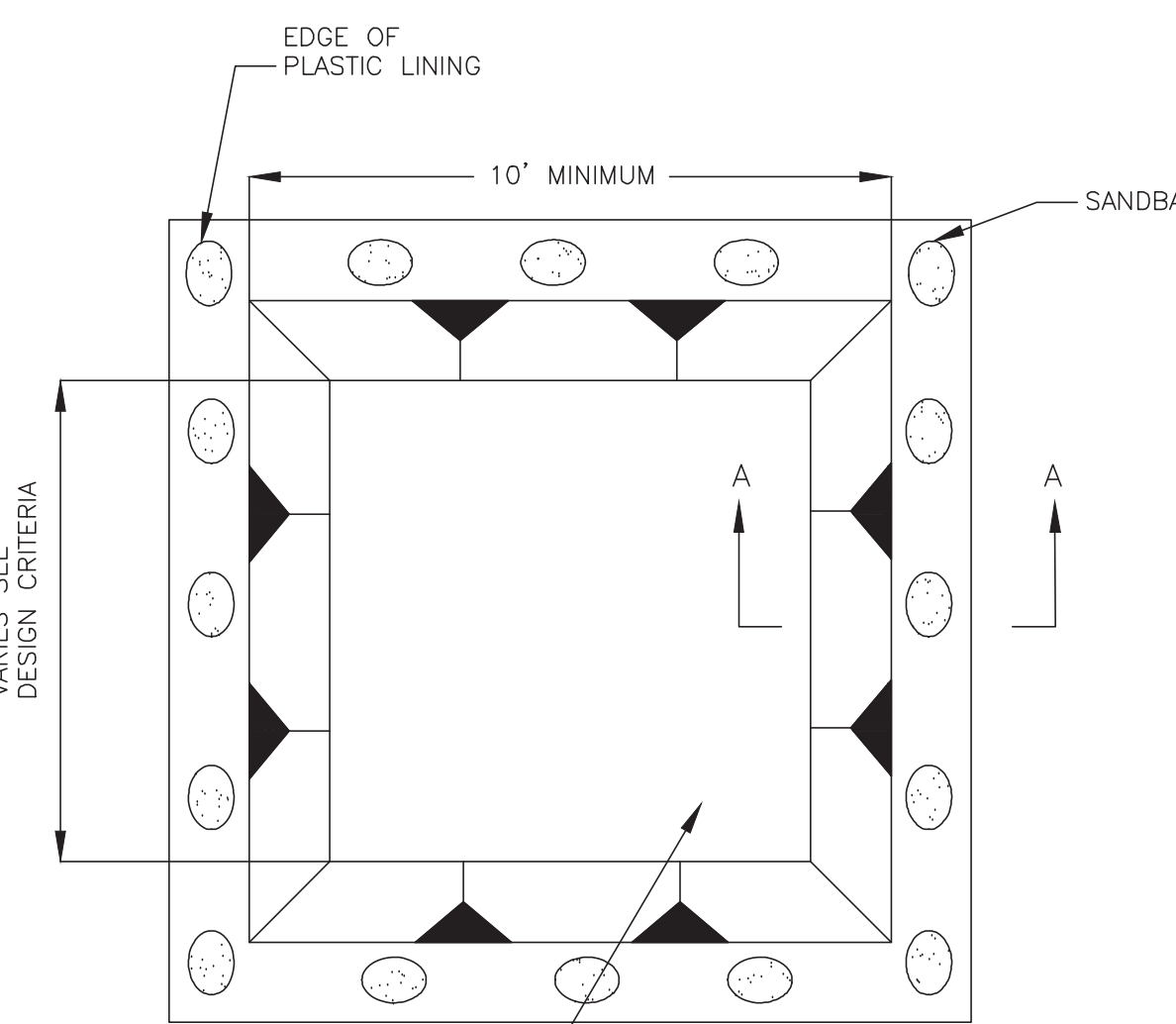


SEDIMENT FILTER BAG PLAN VIEW
N.T.S.

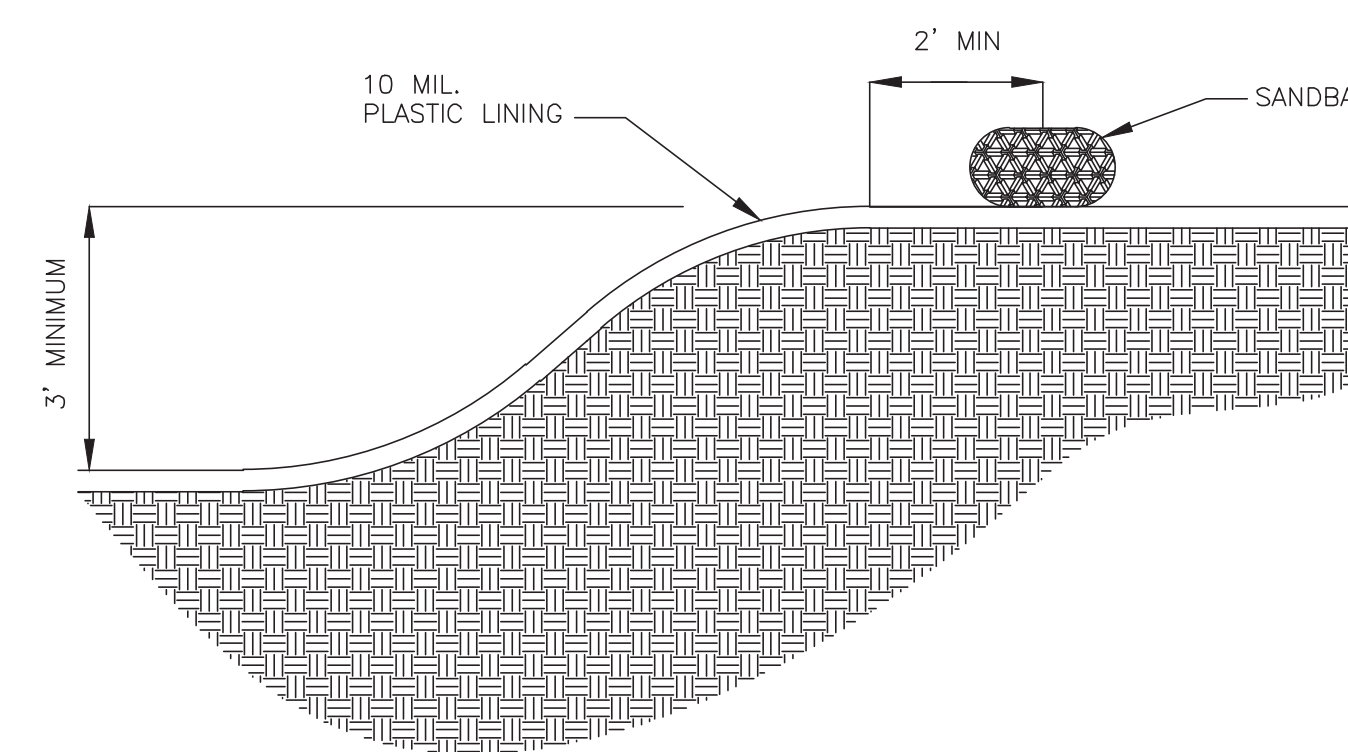
SEDIMENT FILTER BAG PROFILE
N.T.S.

DEWATERING CONTROLS
N.T.S.

NOTE: A FILTRATION BAG IS NOT REQUIRED IF THE DRAINAGE SYSTEM CAN BE ADEQUATELY PROTECTED



CONCRETE WASHOUT PLAN VIEW
N.T.S.




CONCRETE WASHOUT SECTION A-A
N.T.S.

CONCRETE WASHOUT NOTES

1. SANDBAGS MAYBE REPLACED BY A SOIL BERM TO ANCHOR THE PLASTIC BAG

CONCRETE WASHOUT AREA
N.T.S.

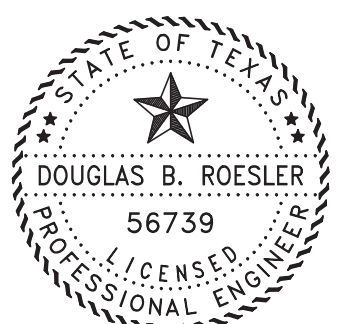
No.	DATE	REVISION
SEAL:		DATE _____
DESIGN ENGINEER: _____		
 CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT		
CONSTRUCTION PLANS FOR:		
EROSION CONTROL DETAILS - 2		
JOB No.: _____ DATE: _____ DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ SCALE: _____	SL-35 SHEET OF	

NO.	DATE	DESCRIPTION	APPROVED
REVISIONS			

DESIGNED DR
DRAWN BT
CHECKED _____
DATE _____

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS
4005 TECHNOLOGY DRIVE, SUITE 1530
ANGLETON, TEXAS 77515 (979) 849-6681
REG. NO. F-825

The seal appearing on this document was authorized by
Douglas B. Roessler
P.E. 56739
03-03-2023



OWNER:
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PLAN: _____
PROFILE: _____
HORIZONTAL: _____
VERTICAL: _____

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

EROSION CONTROL
DETAILS - 2
SL-35
PROJECT NO. 14396



AGENDA ITEM SUMMARY FORM

MEETING DATE: April 11, 2023

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion of a Project Concept for the Mulberry Fields Subdivision site for consideration of a new concept, for approximately 13 acres of land located north of W. Mulberry St., West side of N. Walker St, and south of W. Live Oak St., within the SF-6.3 Zoning District. No action is required.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: \$0

FUNDS REQUESTED: \$0

FUND: N/A

EXECUTIVE SUMMARY:

Mulberry Fields Subdivision is a proposed 13 acre, 44 lot, residential development bordered on the east by Walker Street, south of its intersection with an unnamed street that appears to be Magnolia Street. The land to be subdivided surrounds a CG zoned area consisting of commercial tower and a one-acre commercial tract. Reserve "A" will serve as the detention area for the development. The development will be served by 2 ingress/egress points: one on N. Walker St. and the other on West Mulberry St.

Corey Boyer, Manager of Development of Texas, developer, hopes to discuss a new vision for the property to allow for a different product in response to the current market influences and interest rates. The applicant is proposing a rezoning of the property to SFA, Single-family attached residential district (Townhomes) *(See attachment 1 for the related Code regulations)*. *The proposed number of units would result in 88 doors, depending on net density once public improvements and setbacks are finally designed.*

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission receive the developer's presentation and hold discussion regarding the proposed development and provide the applicant with feedback. No formal action is required for this item.

CONSTRUCTION PLANS FOR WATER, SEWER, PAVING AND DRAINAGE FACILITIES TO SERVE "MULBERRY FIELDS SUBDIVISION"

A 13.0044 ACRE TRACT OF LAND

IN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380, IN THE M. C. TOBIN SURVEY, ABSTRACT NO. 699, AND IN THE H. H. CORNWALL SURVEY,
ABSTRACT NO. 180, CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS 77515

PROJECT NO.: 21015-01 DATE: February 2023

"RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THEIR SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER."

"ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER."

FLOODPLAIN:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-0440K EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

WATERSHED: LOWER OYSTER CREEK (12040205)

TXDOT ROADWAY: SH-35 (W MULBERRY ST)

STOP - CALL BEFORE YOU DIG!!

CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES BY CONTACTING "TEXAS ONE CALL" AT 1-800-245-4545 AT LEAST 48 HOURS BEFORE YOU DIG, DRILL OR BLAST.

EXISTING WATER, SANITARY, GAS, ELECTRICAL, TELECOMMUNICATIONS AND ALL OTHER UTILITY LINES ARE SHOWN PER RECORD DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION AT THE SITE PRIOR TO CONSTRUCTION.

AUTHORIZATION NOTICE ISSUED BY BRAZORIA COUNTY ENGINEERING DEPARTMENT, PERMIT OFFICE, REQUIRED PRIOR TO CONSTRUCTION OF UTILITIES OR LEFT TURN LANES WITHIN BRAZORIA COUNTY PUBLIC RIGHTS-OF-WAY.

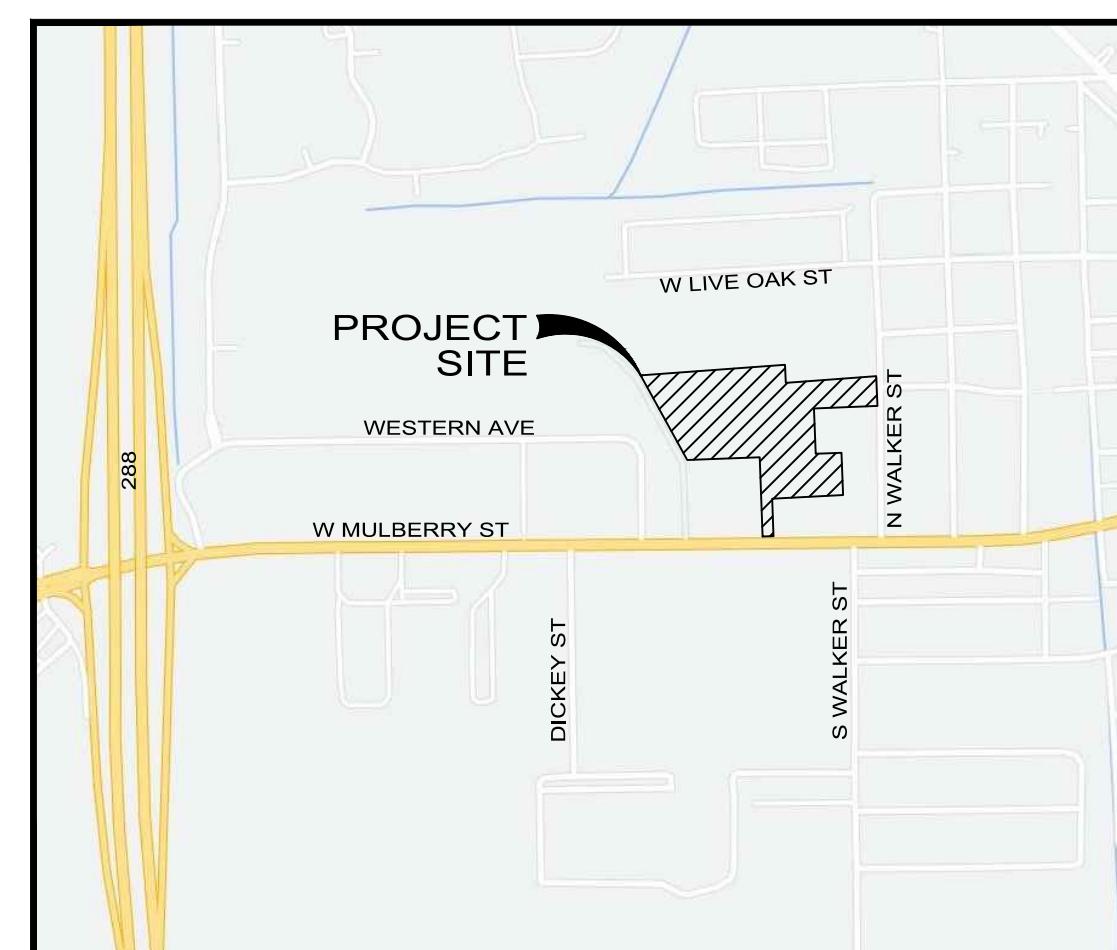
CONTRACTOR AND OWNER SHALL COMPLY WITH THE REGULATIONS OF CITY OF ANGLETON AND BRAZORIA COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT.

48 HOUR NOTICE:

CONTRACTOR(S) SHALL NOTIFY CITY OF ANGLETON PERMIT AND INSPECTION OFFICE AT (979) 849-4364, PRIOR TO COMMENCING CONSTRUCTION AND/OR BACKFILLING ANY UTILITIES.



VICINITY MAP
NOT TO SCALE



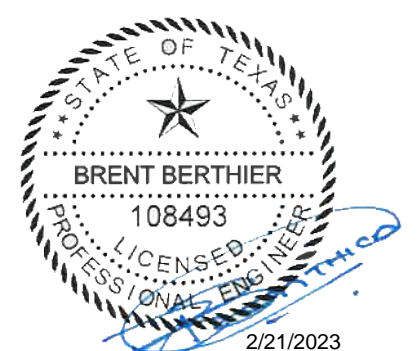
LOCATION MAP
NOT TO SCALE

PROJECT ADDRESS:
N WALKER STREET &
W MULBERRY STREET
ANGLETON, TEXAS 77515

SHEET	SHEET TITLE
1	COVER SHEET
△ 2	PLAT
3	TOPOGRAPHIC SURVEY
4	GENERAL NOTES
5	CLEARING PLAN
△ 6	WATER & SANITARY SEWER LAYOUT
△ 7	STORM SEWER LAYOUT
△ 8	PAVING & SIGNAGE LAYOUT
9	GEOMETRIC LAYOUT
△ 10	GRADING PLAN
△ 11	DRAINAGE AREA MAP
△ 12	STORM SEWER CALCULATIONS
△ 13	LILLY VIEW DRIVE PLAN & PROFILE STA 0+00 TO 5+00
△ 14	LILLY VIEW DRIVE PLAN & PROFILE STA 5+00 TO 9+00
15	NICOLETTE DRIVE PLAN & PROFILE STA 0+00 TO 4+50
16	SUGARDALE DRIVE PLAN & PROFILE STA 4+50 TO 7+00
17	LINWOOD STREET PLAN & PROFILE STA 7+00 TO 12+00
△ 18	LINWOOD STREET PLAN & PROFILE STA 12+00 TO 17+50
△ 19	DETENTION POND PLAN & DETAILS
△ 20	STORM WATER LIFT STATION DETAILS
△ 21	STORM WATER POLLUTION PREVENTION PLAN
22	STORM WATER POLLUTION PREVENTION DETAILS
23	WATER DETAILS
24	SANITARY SEWER DETAILS
25	STORM SEWER DETAILS
26	CONCRETE PAVEMENT CONSTRUCTION DETAILS
27	DRIVEWAY DETAILS
28	SIDEWALK & ADA RAMP DETAILS
29	CURB DETAILS
30	SIGNAGE DETAILS
31	MISCELLANEOUS DETAILS
△ 32	CONFLICT STRUCTURE DETAILS
33	TRAFFIC CONTROL PLAN
△ 34	PAVEMENT REPLACEMENT & CHAIN LINK FENCE DETAILS
△ 35	SAFETY END TREATMENT DETAIL
△ 36	EXCAVATION & BACKFILL DETAILS
△ 37	DRIVEWAY DETAILS (TXDOT)



WARNING:
CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES BY CONTACTING "TEXAS 811" AT 811 OR 713-223-4567 AT LEAST 48 HOURS BEFORE YOU DIG, DRILL OR BLAST. EXISTING WATER, SANITARY, GAS, ELECTRICAL, TELECOMMUNICATIONS AND ALL OTHER UTILITY LINES ARE SHOWN PER RECORD DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION AT THE SITE PRIOR TO CONSTRUCTION.



CIVIL ENGINEER:

ADICO

CONSULTING ENGINEERS

2114 EL DORADO BLVD, STE. 400, FRIENDSWOOD, TX 77464
PHONE: 832-895-1093 WWW.ADICO-LLC.COM
TBPE FIRM NO. 16423

BENCHMARK:
PROJECT IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83) USING NGS CONTINUOUSLY OPERATING REFERENCE STATIONS.

ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD '88, GEOID 12a)

FLOODPLAIN:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-0440K EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

MULBERRY FIELDS SUBDIVISION

N WALKER STREET & W MULBERRY STREET
ANGLETON, TEXAS 77515

ADICO, LLC
TBPE FIRM NO. F-16423

NO.	DATE	REVISION

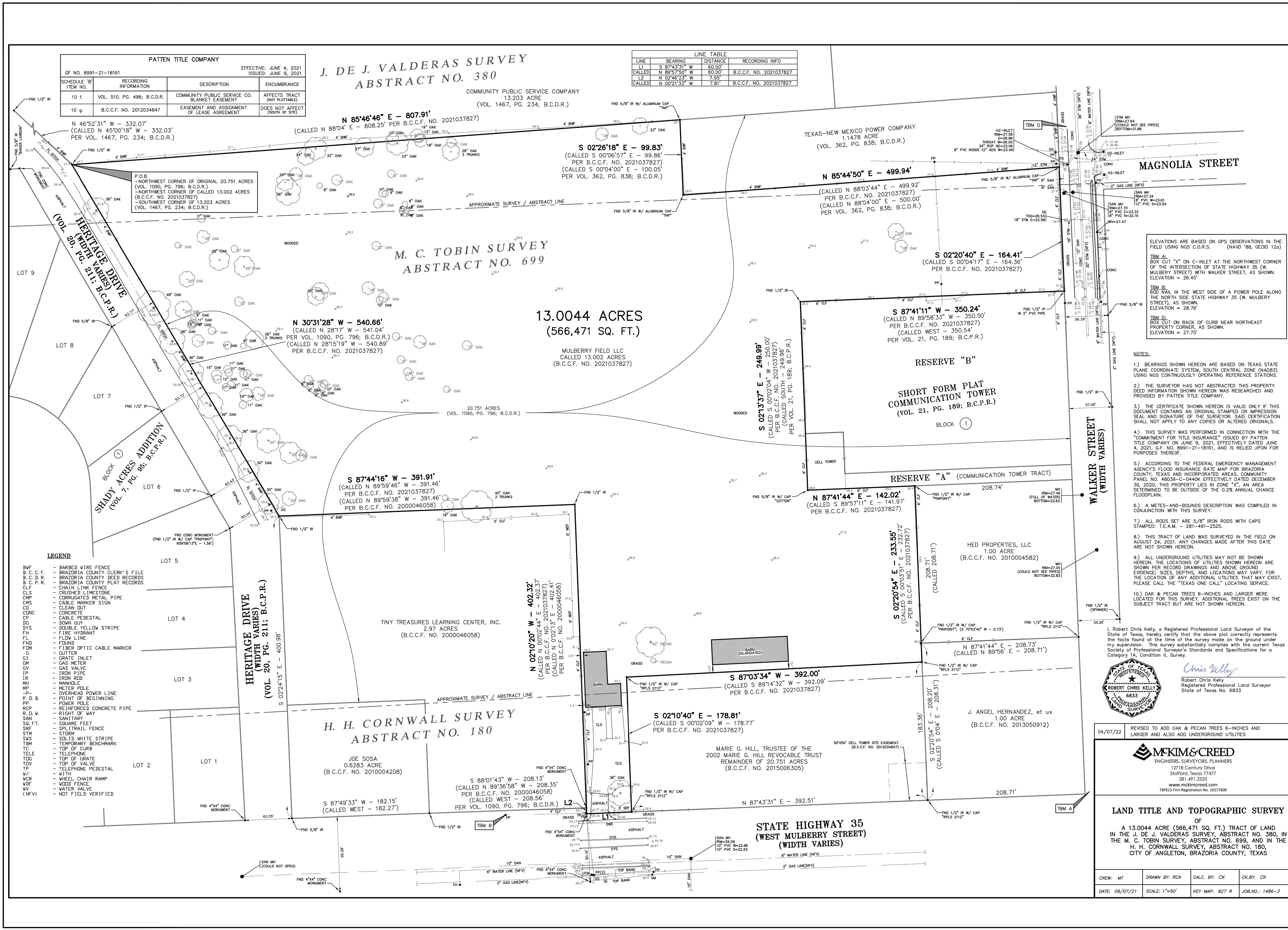
PROJECT OWNER:
MULBERRY FIELDS

PROJECT LOCATION:
MULBERRY FIELDS SUBDIVISION

TOPOGRAPHIC SURVEY

ALL PROJECT NO. 21015-01 SHEET NO.

DRAWN BY: MG
CHECKED BY: SM
DRAWING SCALE:
HORZ: NA
VERT: NA
DATE PLOTTED:
Feb 21, 2023 - 9:29am



C:\Users\amichael\Adico Dropbox\ADICO\Projects\21015-01 - CE Mulberry Subdivision\2 - Drawings\Revised Fond Drawings\3 TOPOGRAPHIC SURVEY.dwg Feb 21, 2023 - 9:29am smichael

I, Robert Chris Kelly, a Registered Professional Land Surveyor of the State of Texas, hereby certify that the above plot correctly represents the facts found at the time of the survey made on the ground under my supervision. This survey substantially complies with the current Texas Society of Professional Surveyor's Standards and Specifications for a Category 1A, Condition II, Survey.

Chris Kelly
Robert Chris Kelly
Registered Professional Land Surveyor
State of Texas No. 6833

MCKIM & CREED
ENGINEERS, SURVEYORS, PLANNERS
12718 Century Drive
Stouffville, Texas 77477
281-491-2255
www.mckimcreed.com
TBPE FIRM Registration No. 1017600

LAND TITLE AND TOPOGRAPHIC SURVEY
OF
A 13.0044 ACRE (566,471 SQ. FT.) TRACT OF LAND
IN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380, IN
THE M. C. TOBIN SURVEY, ABSTRACT NO. 699, AND IN THE
H. H. CORNWALL SURVEY, ABSTRACT NO. 180,
CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS

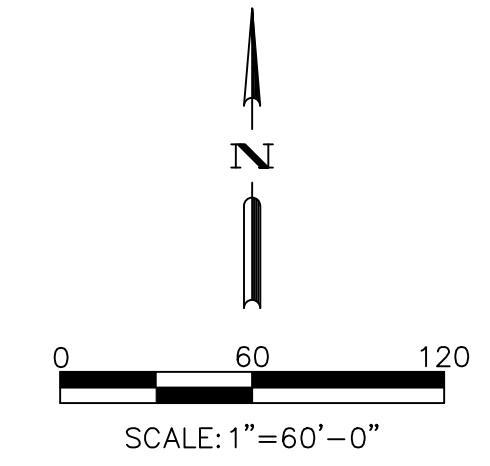
04/07/22	REVISED TO ADD OAK & PECAN TREES 6-INCHES AND LARGER AND ALSO ADD UNDERGROUND UTILITIES
----------	---

CREW: MT	DRAWN BY: RCA	CALC. BY: CK	CK BY: CK
DATE: 09/07/21	SCALE: 1"=50'	KEY MAP: 827 R	JOB NO.: 1488-3

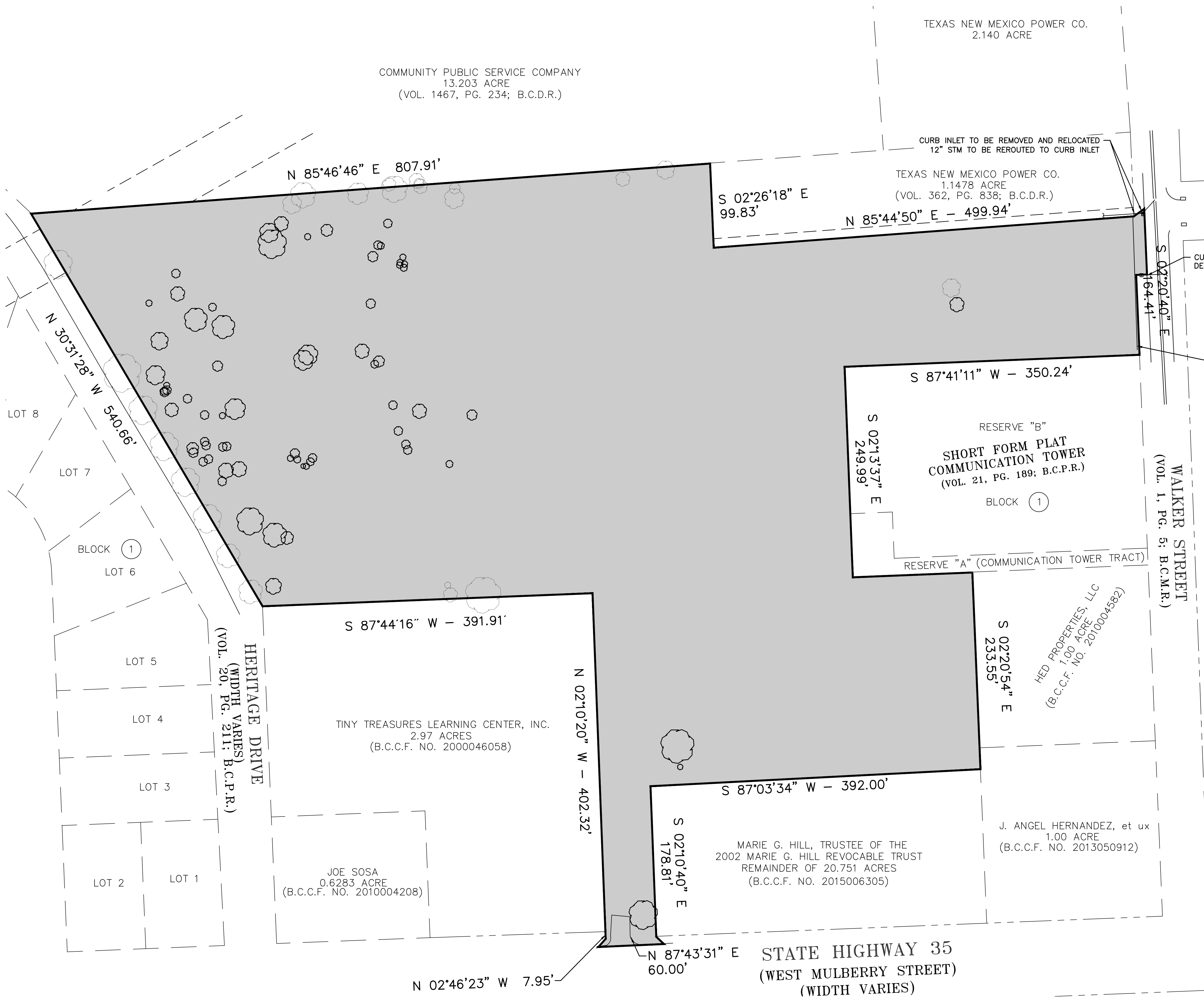
CIVIL ENGINEER:
ADICO
 CONSULTING ENGINEERS
 2114 EL DORADO BLVD, STE. 400, FRIENDSWOOD, TX 77546
 PHONE: 832-895-1093 WWW.ADICO-LLC.COM
 TBPE FIRM NO. 16423

BENCHMARK:
 PROJECT IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD83) USING NGS CONTINUOUSLY OPERATING REFERENCE STATIONS.
 ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD '88, GEOD 12a)

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 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-0440K EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



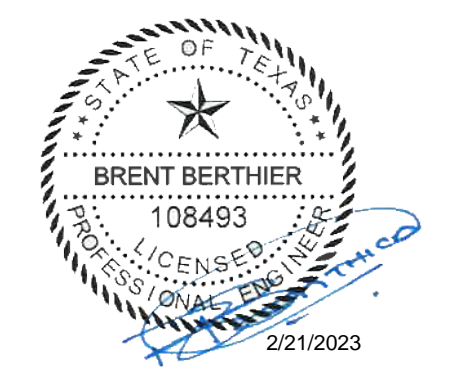
- LEGEND:**
- CLEARING & GRUBBING AREA 13.00 ACRES
 - CLEARING & GRUBBING LIMITS
 - TREE TO BE CLEARED
 - TREE TO REMAIN IN PLACE



MULBERRY FIELDS SUBDIVISION

N WALKER STREET &
W MULBERRY STREET
ANGLETON, TEXAS 77515

ADICO, LLC
TBPE FIRM NO. F-16423



NO.	DATE	REVISION

PROJECT OWNER:
MULBERRY FIELDS

PROJECT LOCATION:
MULBERRY FIELDS SUBDIVISION

CLEARING PLAN

ALLC PROJECT NO. 21015-01	SHEET NO.
DRAWN BY: MG	5 OF 37
CHECKED BY: SM	
DRAWING SCALE:	Feb 21, 2023 - 9:29am
HORZ: 1" = 60'	
VERT: NA	
DATE PLOTTED:	229

C:\Users\michael\Adico\Dropbox\ADICO\PROJECTS\21015-01_CE_Mulberry Subdivision\6 - Drawings\Revised Pond Drawings\5 CLEARING PLAN.dwg Feb 21, 2023 - 9:29am sMichael



MULBERRY FIELDS

INTRODUCTION

DEVELOPMENT OF TEXAS

Development of Texas is a real estate company that specializes in acquisition and investment solutions that add value and vision to communities in Texas.

We are committed to discovering and realizing new opportunities in demanded areas while creating functional and desirable developments.





PROJECT SUMMARY

MULBERRY FIELDS

CURRENT APPROVED DEVELOPMENT

Item 12.



ELEVATIONS ARE BASED ON GPS OBSERVATIONS IN THE FIELD USING NGS C.O.R.S. (NAVD 88, SEGD 12x)

TIM A:
BOX CUT "X" ON D-INLET AT THE NORTHWEST CORNER OF THE INTERSECTION OF STATE HIGHWAY 35 (W. MULBERRY STREET) WITH WALKER STREET, AS SHOWN. ELEVATION = 26.40'

TIM B:
500 NAIL IN THE WEST SIDE OF A POWER POLE ALONG THE NORTH SIDE STATE HIGHWAY 35 (W. MULBERRY STREET), AS SHOWN. ELEVATION = 28.71'

TIM C:
ROCK CUT ON BACK OF CURB NEAR NORTHEAST PROPERTY CORNER, AS SHOWN. ELEVATION = 27.75'

References

WHAT WE ARE PROPOSING

Current Approved Plan

Zoned SF 6.3

41 Single Family Homesites

Why Change?

Economic Feasibility has shifted due to
Cost of Construction
Interest Rates
Insurance Rates

Proposed SFA Plan

Re-Zoned SFA

Approx. 82 Single Family Attached Homesites

No additional Water, Traffic or Density
Concerns



SFA SITE PLAN CONCEPT

Item 12.



WHAT IS SFA?

Sec. 28-50. - SFA—Single-family attached residential district (Townhomes).



- ✓ (a) *General purpose and description:* The SFA—Single-Family Attached Residential, district is intended to promote stable, quality, attached-occupancy residential development on individual lots at higher residential densities. Individual ownership of each lot and dwelling unit is encouraged. This district may be included within certain areas of neighborhoods or, when in accordance with the intent of the comprehensive plan, may provide a "buffer" or transition district between lower density residential areas and multifamily or nonresidential areas or major thoroughfares. Areas zoned for the SFA district shall have, or shall make provision for, City of Angleton water and sewer services. They shall be designed to adequately accommodate storm drainage; they shall have paved streets with logical and efficient vehicular circulation patterns which discourage non-local traffic; they shall be properly buffered from nonresidential uses; and they shall be protected from pollution and undesirable environmental and noise impacts.
- ✓ (c) *Height regulations:*
 - (1) *Maximum height:*
 - a. Two and one-half stories, and not to exceed 35 feet, for the main building or house.
 - b. One story for other accessory buildings, including detached garage, carports, garden shed, gazebo, clubhouse, mail kiosks, etc.
 - c. Other requirements (see [section 28-106](#)).
- ✓ (d) *Area regulations:*
 - (1) *Size of lots:*
 - a. *Minimum lot area:* 2,500 square feet.
 - b. *Maximum density:* Ten units per gross acre of land area within the development.
 - c. *Maximum project size:* The maximum size of a single-family attached residential development shall be 25 acres.
 - d. *Minimum lot width:* 20 feet.
 - e. *Minimum lot depth:* 100 feet.



WHAT IS SFA?

- ✓ (2) *Size of yards:*
 - a. *Minimum front yard:* 15 feet; front yard setbacks shall be staggered in at least four-foot increments such that no more than two units have the same front setback in a row; no front-entry garages permitted unless the garage door or carport access opening is set back at least 20 feet from the property line (i.e., the right-of-way or street easement line).
 - b. *Minimum side yard:*
 - 1. Single-family attached dwellings shall not have an interior side yard; however, a minimum ten-foot side yard is required for a corner lot adjacent to a residential street or alley that only serves lots within the SFA subdivision, a minimum 15-foot side yard is required for a corner lot adjacent to a residential or collector street serving lots outside the SFA subdivision, a minimum 20-foot side yard is required for a corner lot adjacent to an arterial street. The ends of any two adjacent building complexes or rows of buildings shall be at least 15 feet apart.
 - 2. A complex or continuous row of attached single-family dwellings shall have a minimum length of four dwelling units (quadriplex), a maximum length of eight dwelling units.
 - c. *Minimum rear yard:* 15 feet for the main building and any accessory building(s); 20 feet for rear entry garage.
- ✓ (3) *Maximum lot coverage:* 70 percent by main and accessory buildings on each individual lot.
- ✓ (4) *Parking regulations:*
 - a. A minimum of two parking spaces for each dwelling unit, located in front, behind, beside or incorporated into the dwelling unit and located on the same lot as each dwelling unit (see [section 28-101](#), off-street parking and loading requirements).
 - b. Designated visitor parking spaces shall be provided in off-street, common areas at a ratio of one guest/visitor space per four units. SFA developments that include a two-car garage or carport and driveway area equivalent to two additional parking spaces on each lot are not required to provide visitor parking spaces.
 - c. Additional parking shall be required for any recreational uses, clubhouse, office, sales offices and other similar accessory structures and uses.
- ✓ (5) *Minimum floor area per dwelling unit:* 800 square feet of air-conditioned floor area.
- ✓ (6) *Minimum exterior construction standards:* See [section 28-105](#).



WHY SFA FOR MULBERRY FIELDS

Item 12.

Surrounded
By
Commercial

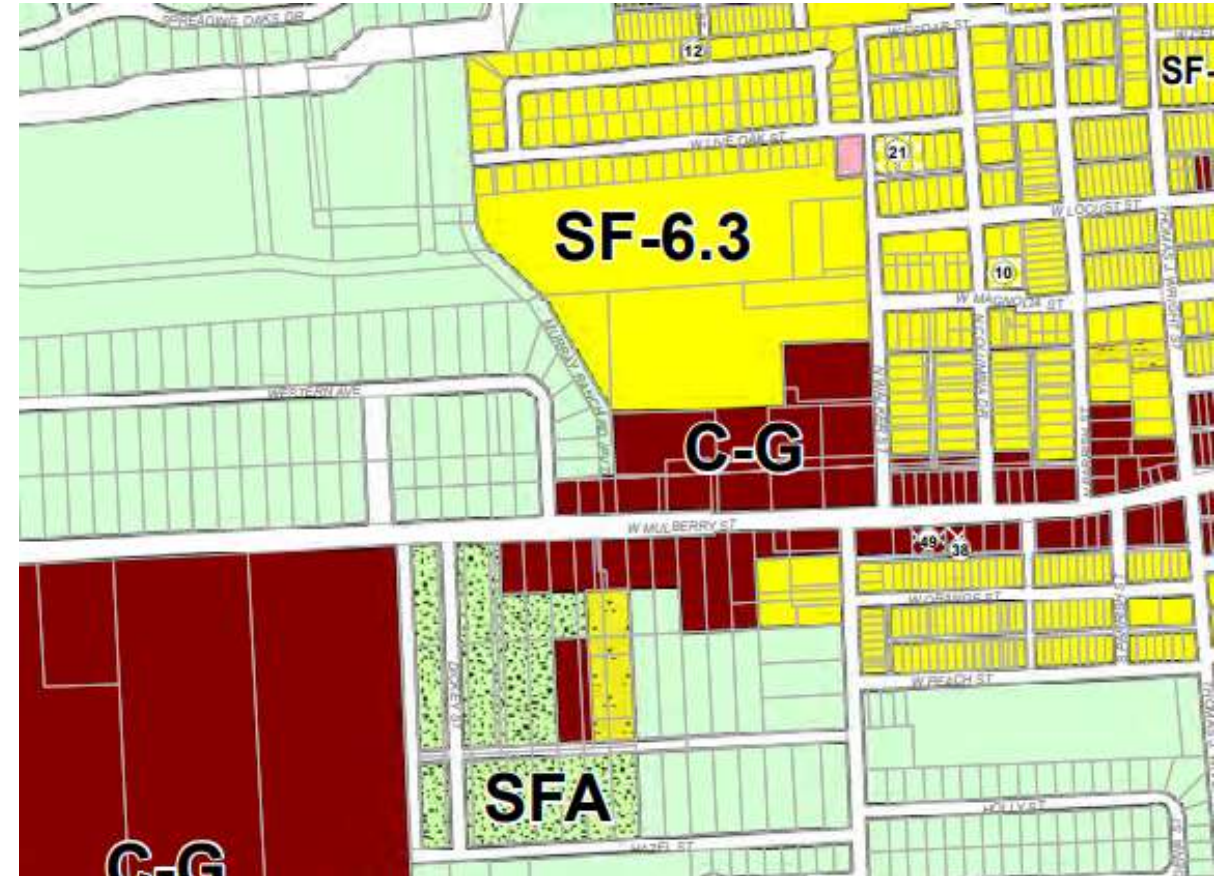
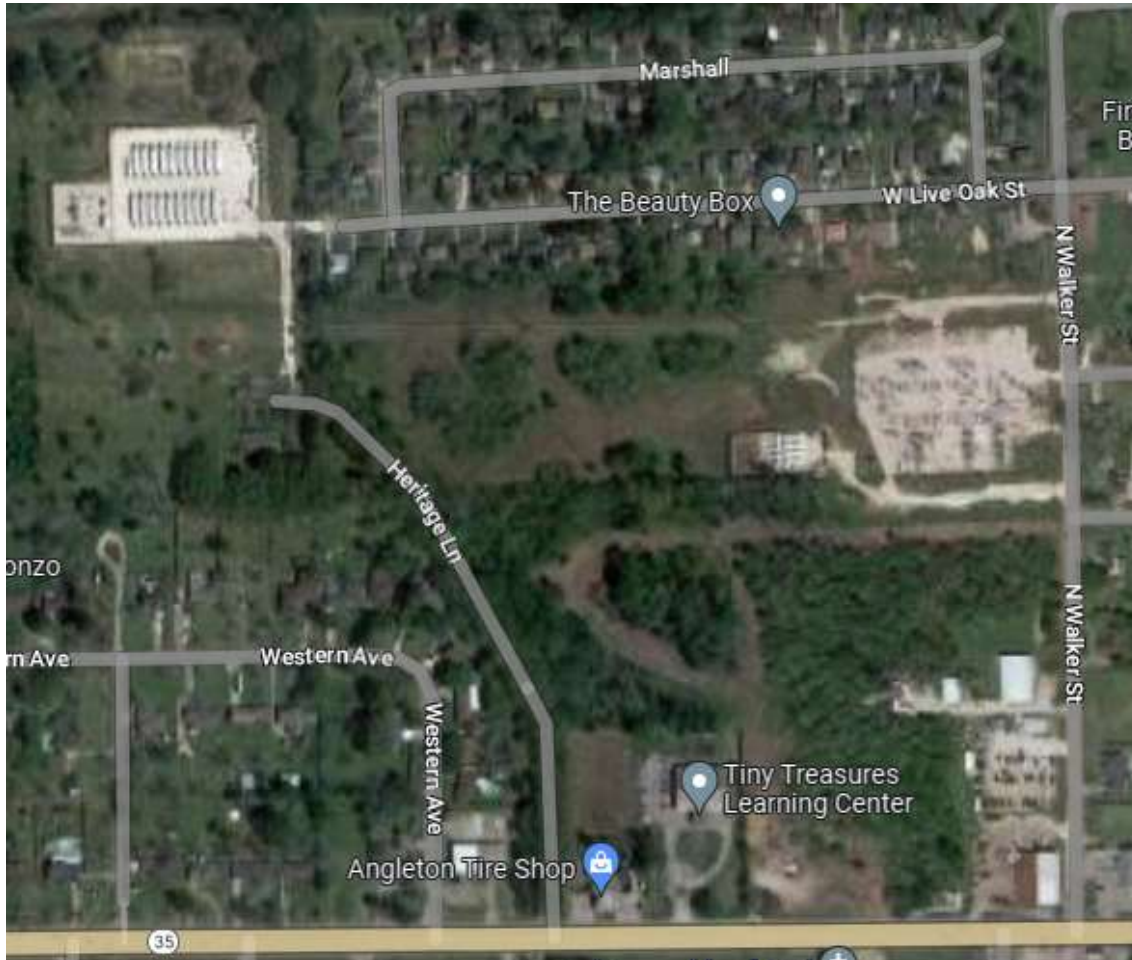


Option that
best aligns
with City
Needs

High Quality
Affordable
Housing
Option

SURROUNDED BY COMMERCIAL

Item 12.



NEED FOR AFFORDABLE HOUSING

Item 12.



Median household
can afford a home
mortgage of \$236,865
(Per Wells Fargo Loan Assumptions)

Anticipated Sales
Price
\$200,000-\$220,000



HIGH QUALITY AFFORDABLE HOUSING





OTHER POSSIBLE OPTIONS

Item 12.



MULTIFAMILY



COMMERCIAL USE

QUESTIONS?



CONTACT US



+1 (832) 525-1633



Corey Boyer



corey@developmentoftexas.com

www.developmentoftexas.com



A New Duplex for BHGE - Corey Boyer
1118 - 5th Avenue North
Texas City, Texas

GENERAL NOTE:
ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH IRC 2018 AND ALL REGULATIONS FOR THE CITY OF TEXAS CITY, TEXAS.

LEGAL DESCRIPTION:
LOT 31, BLOCK 2, OF CHELSEA MANOR, AS SUBDIVISION IN GALVESTON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT RECORD 3, MAP NUMBER 49, OF THE MAP/PLAT RECORDS OF GALVESTON COUNTY, TEXAS.

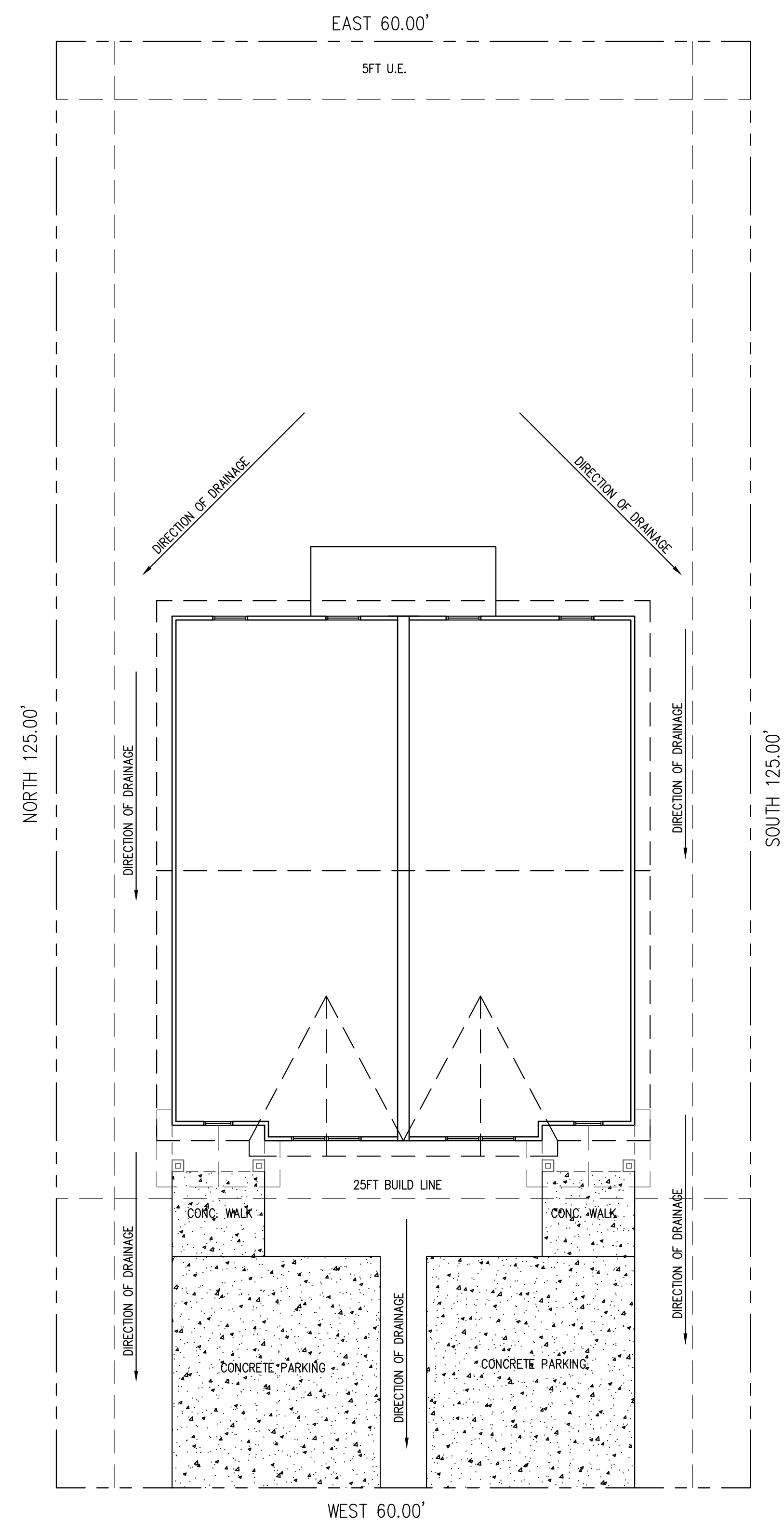
SQUARE FOOTAGE (PER UNIT)

LEVEL 1:
LIVING AREA (AC SPACE) = 578 SQFT
GARAGE = 242 SQFT
FRONT PORCH = 30 SQFT
REAR PATIO = 48 SQFT

LEVEL 2:
LIVING AREA (AC SPACE) = 866 SQFT

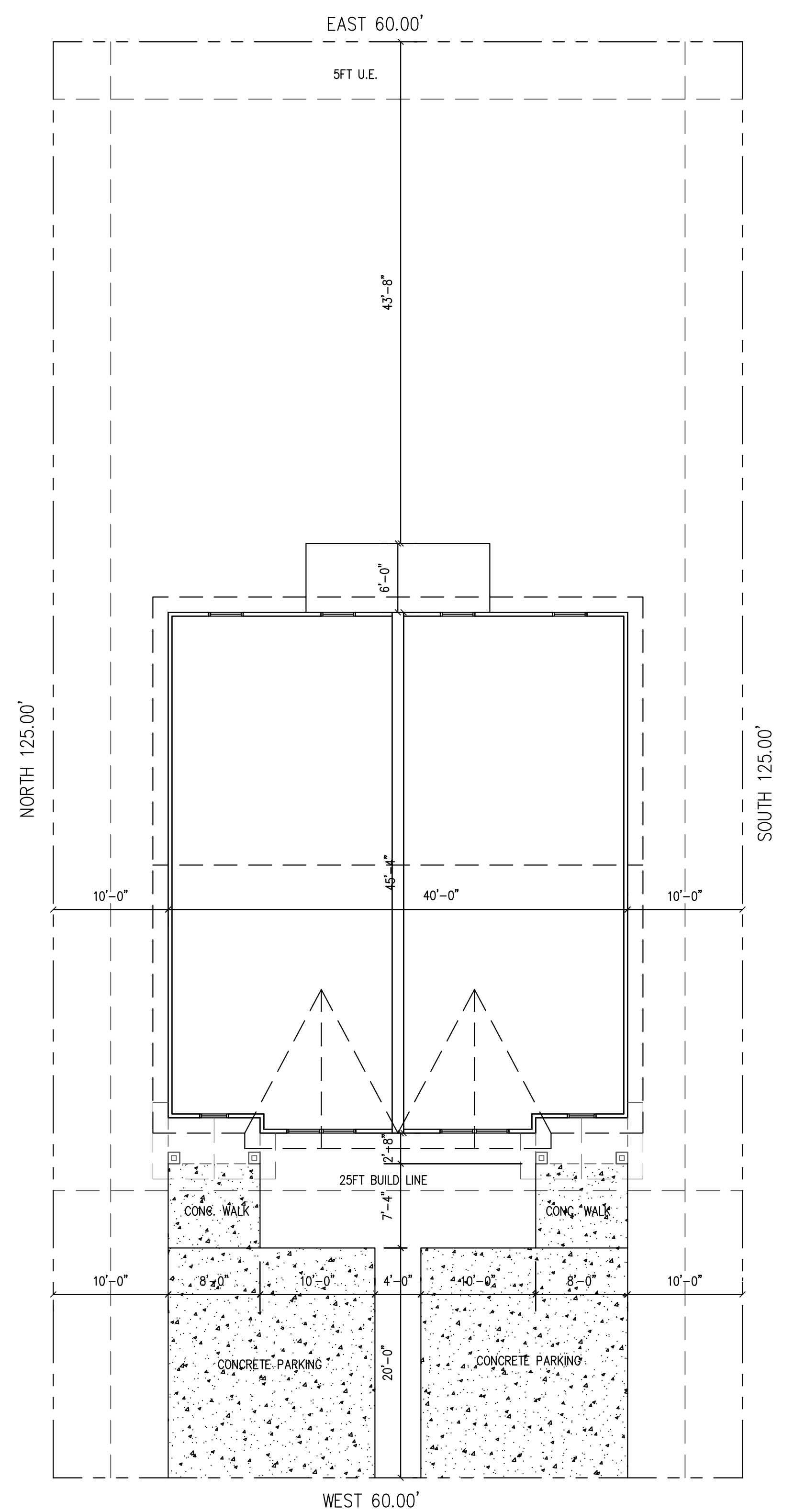


A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas



5TH AVENUE NORTH

2 DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



5TH AVENUE NORTH

1 SITE PLAN
SCALE: 1/8" = 1'-0"

SITE NOTES:
CONTRACTOR SHALL SET FINISH FLOOR OF HOUSE AT NO LESS THAN 12" ABOVE THE NEAREST SANITARY SEWER MANHOLE RIM. IF MANHOLE DOES NOT EXIST THE FINISH FLOOR SHALL NOT BE LESS THAN 4 INCHES ABOVE CROWN OF THE STREET.

DATE: 08 AUG. 2020

REVISIONS:

SHEET NO.

A0.0



A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

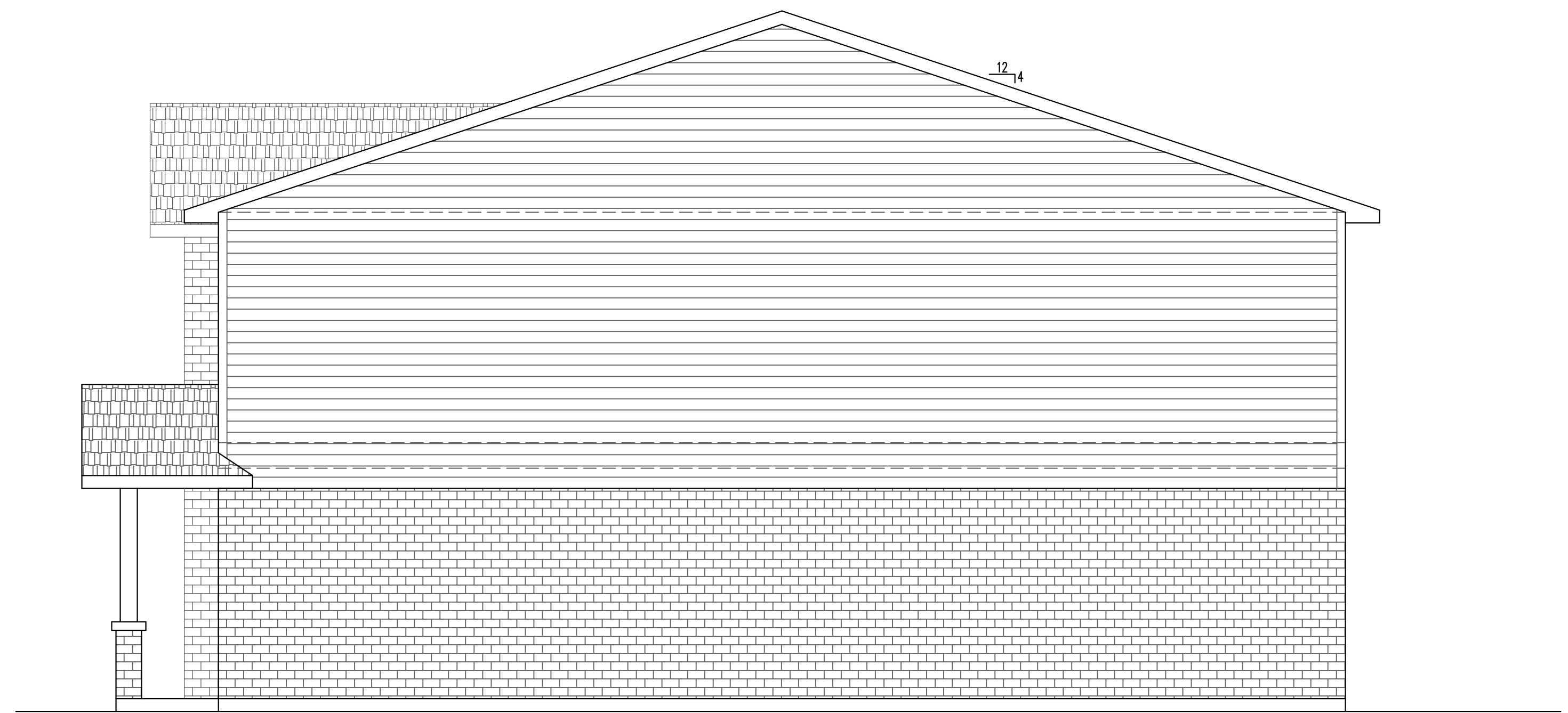
REVISIONS:

SHEET NO.

A1.0



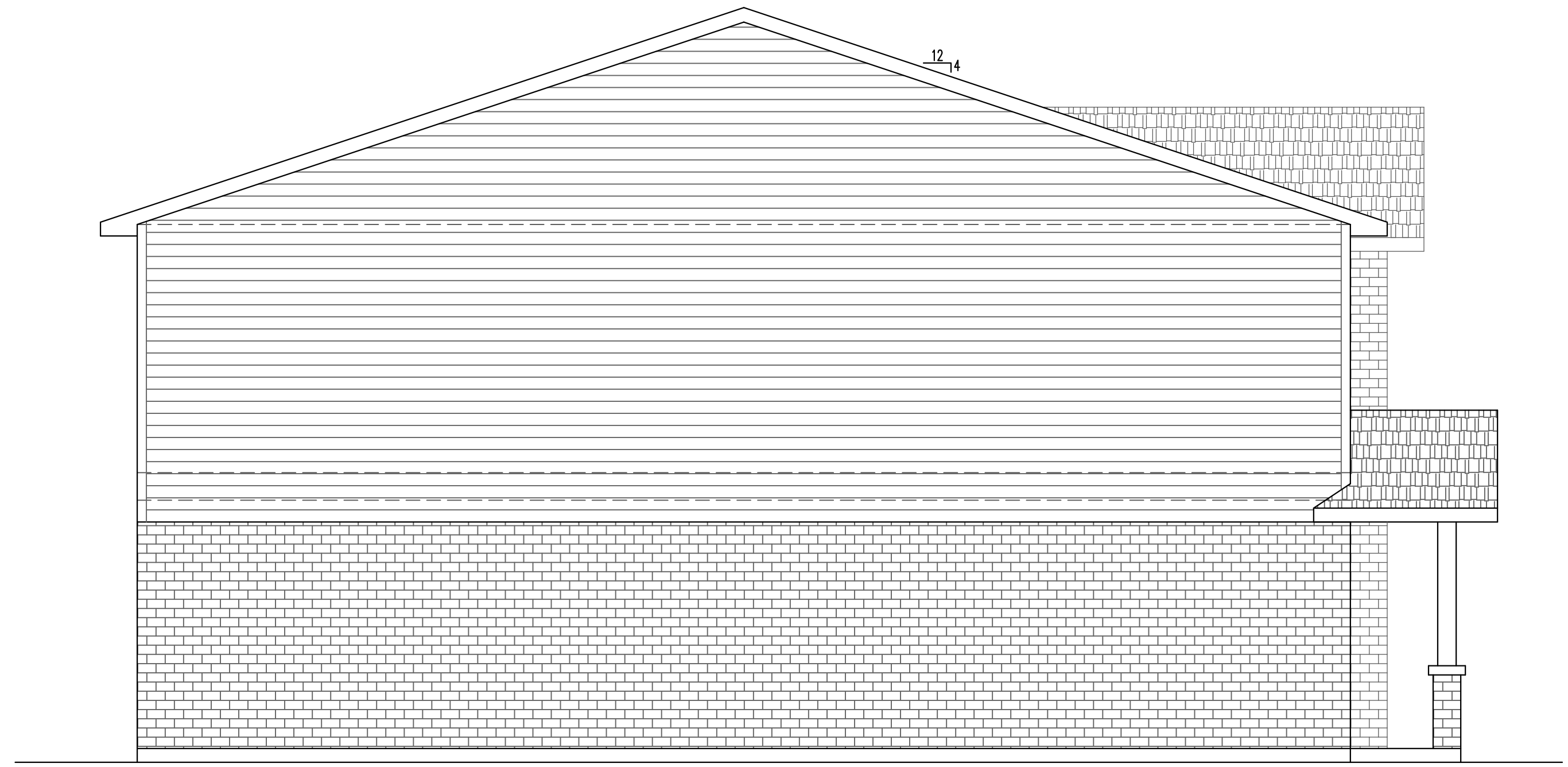
1 EXTERIOR ELEVATION - FRONT VIEW
SCALE: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - RIGHT SIDE VIEW
SCALE: 3/8" = 1'-0"



3 EXTERIOR ELEVATION - REAR VIEW
SCALE: 3/8" = 1'-0"



4 EXTERIOR ELEVATION - LEFT SIDE VIEW
SCALE: 3/8" = 1'-0"



A New Duplex for BHGC - Corey Boyer
1118 - 5th Avenue North, Texas City, Texas

DATE: 08 AUG. 2020

REVISIONS:

SHEET NO.

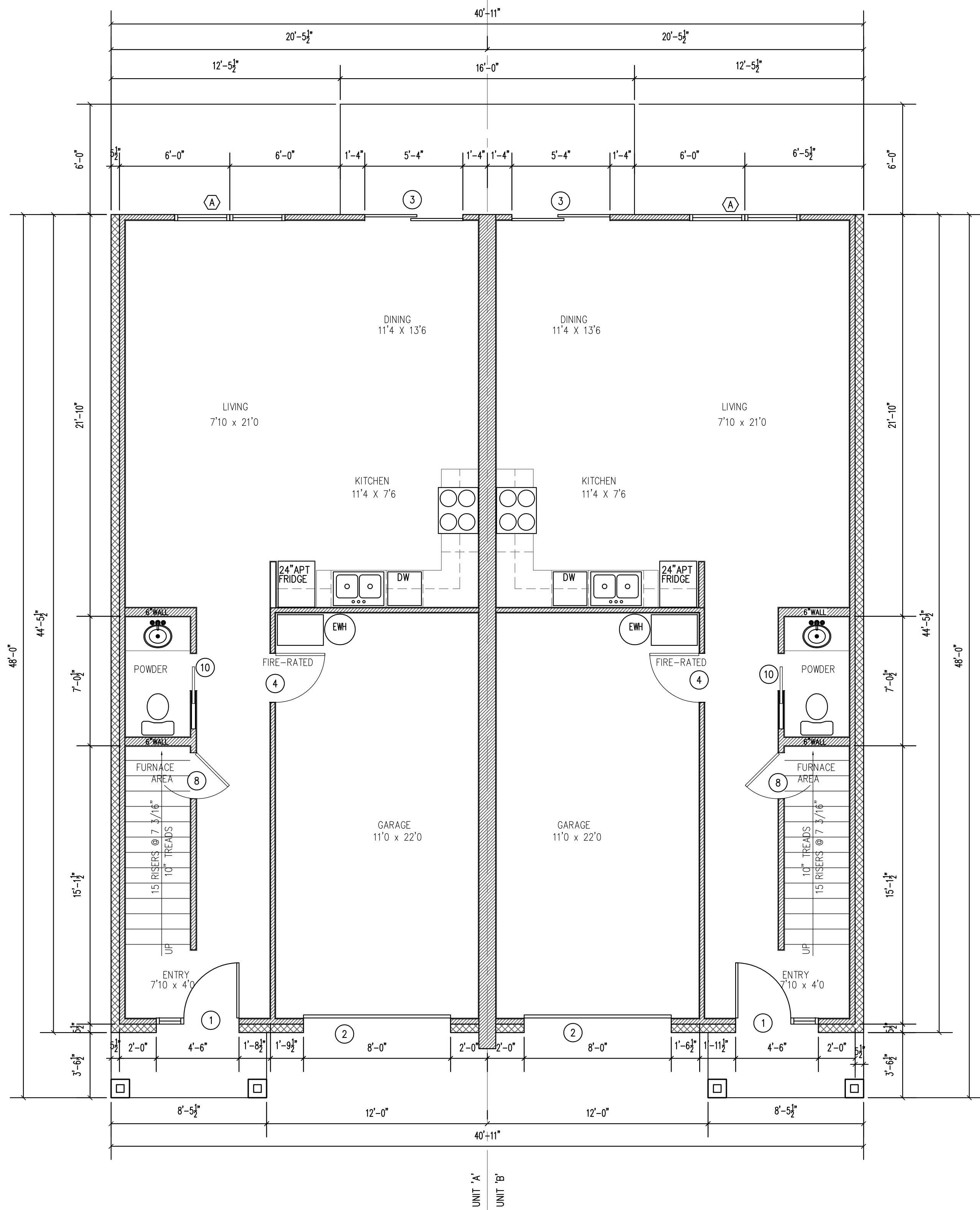
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ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO FACE OF STUD

SQUARE FOOTAGE (PER UNIT)

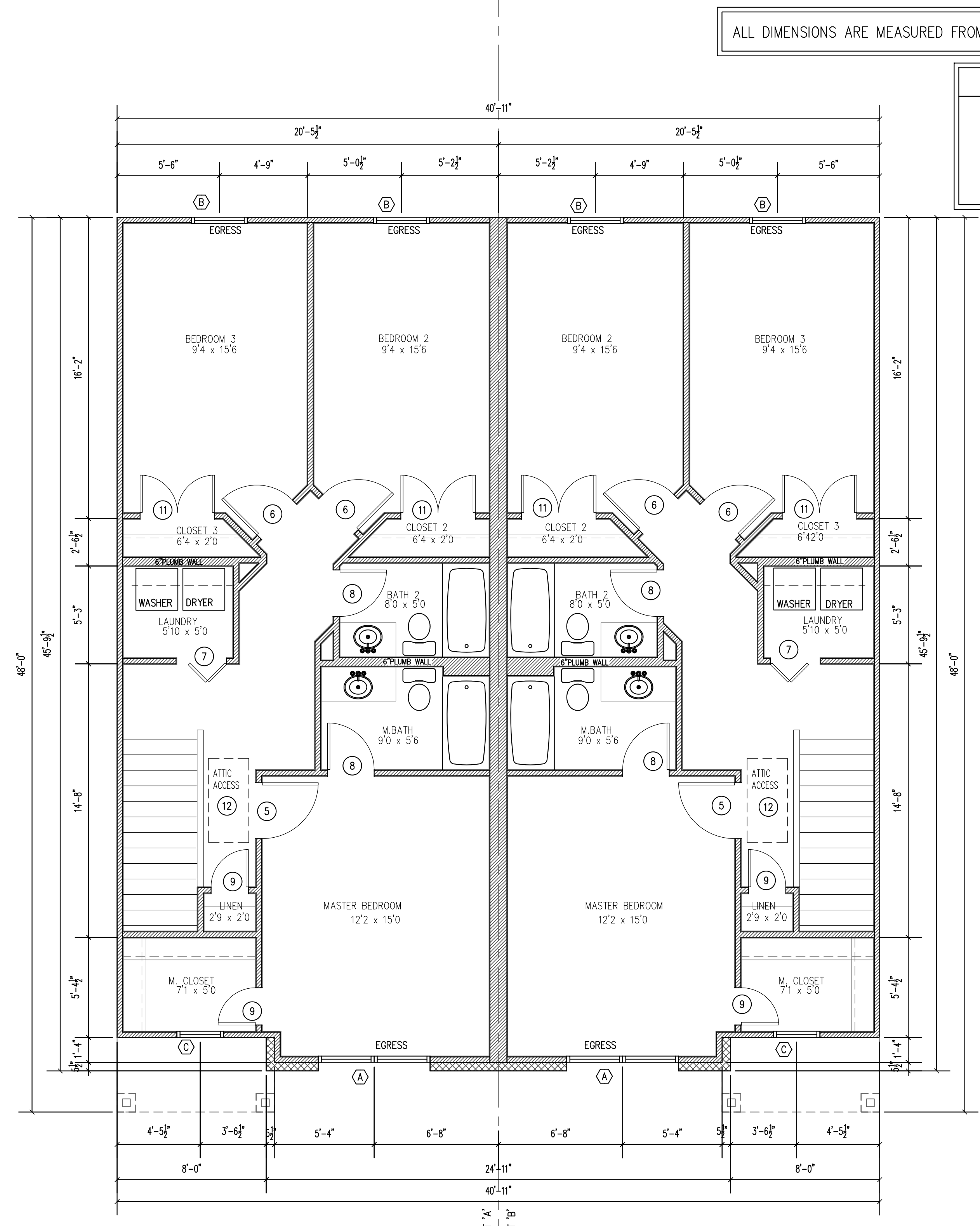
LEVEL 1:
LIVING AREA (AC SPACE) = 578 SQFT
GARAGE = 242 SQFT
FRONT PORCH = 30 SQFT
REAR PATIO = 48 SQFT

LEVEL 2:
LIVING AREA (AC SPACE) = 866 SQFT



1 PROPOSED FLOOR PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE - PER UNIT		
ALL DOOR STYLE, BRAND AND COLOR TO BE SELECTED BY OWNER; APPROVED BY ENGINEER		
MARK	DESCRIPTION	QTY
1	3'-0"W x 7'-0"H EXTERIOR DOOR w/GLAZING AND 1'-6"W x 7'-0"H SIDE LIGHT WINDOW	1
2	8'-0"W x 7'-0" GARAGE DOOR	1
3	5'-4"W x 7'-0"H EXTERIOR GLASS SLIDING PATIO DOOR	1
4	2'-8"W x 6'-8"H S.C. FIRE-RATED DOOR	1
5	3'-0"W x 6'-8"H INTERIOR DOOR	1
6	2'-8"W x 6'-8"H INTERIOR DOOR	2
7	2'-8"W x 6'-8"H INTERIOR BI-FOLD DOOR	1
8	2'-6"W x 6'-8"H INTERIOR DOOR	3
9	2'-0"W x 6'-8"H INTERIOR DOOR	2
10	2'-0"W x 6'-8"H INTERIOR POCKET DOOR	1
11	(2) 2'-0"W x 6'-8"H INTERIOR DOOR	2
12	ATTIC ACCESS WITH PULL-DOWN LADDER	1



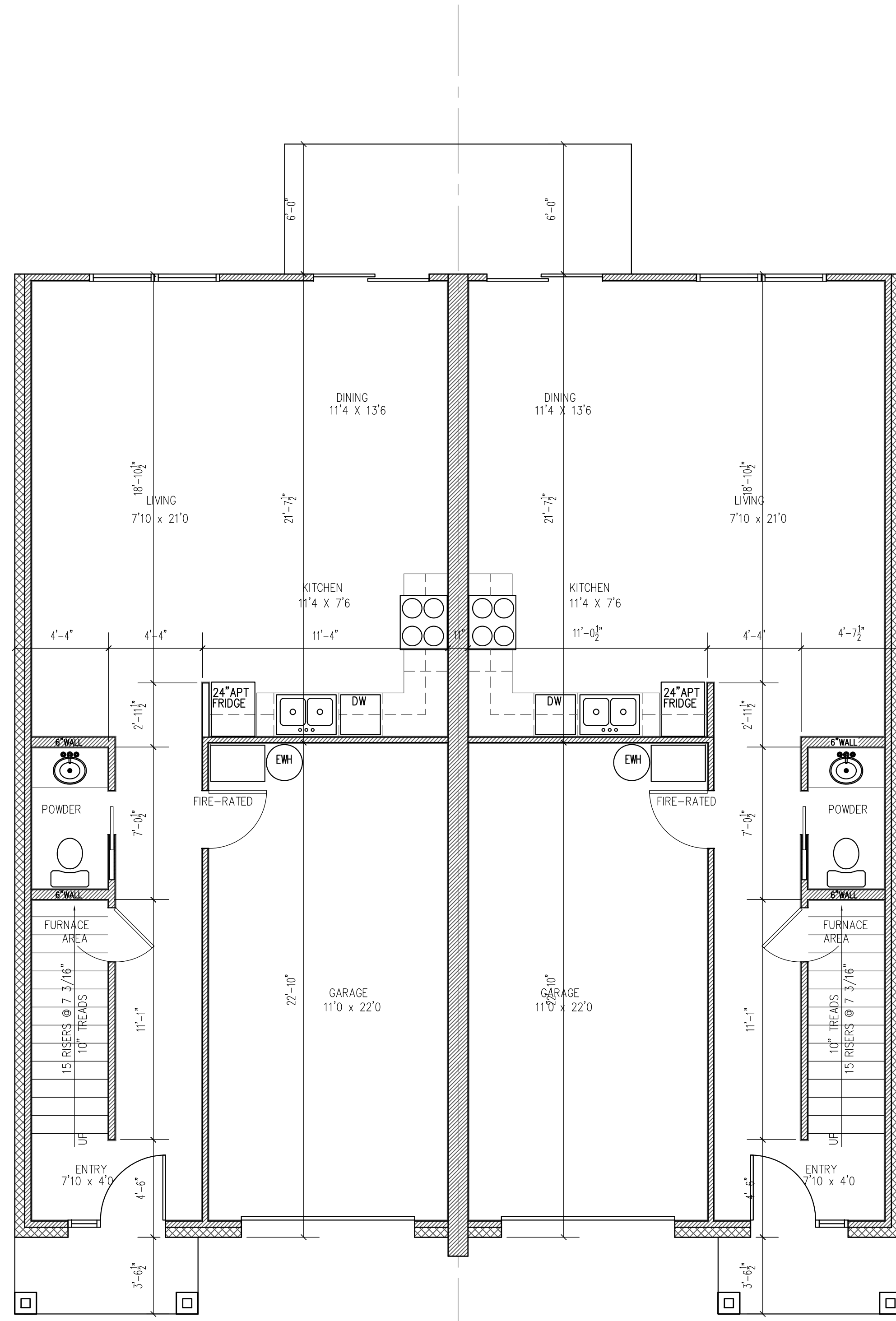
2 PROPOSED FLOOR PLAN - LEVEL 21
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE - PER UNIT		
ALL WINDOW STYLE, BRAND AND COLOR TO BE SELECTED BY OWNER; APPROVED BY ENGINEER		
MARK	DESCRIPTION	QTY
A	(2) 3'-0"W x 5'-0"H SINGLE HUNG WINDOW SILL = 2'-0" AFF	2
B	3'-0"W x 5'-0"H SINGLE HUNG WINDOW SILL = 2'-0" AFF	2
C	2'-6"W x 2'-0"H FIXED WINDOW SILL = 5'-0" AFF	1

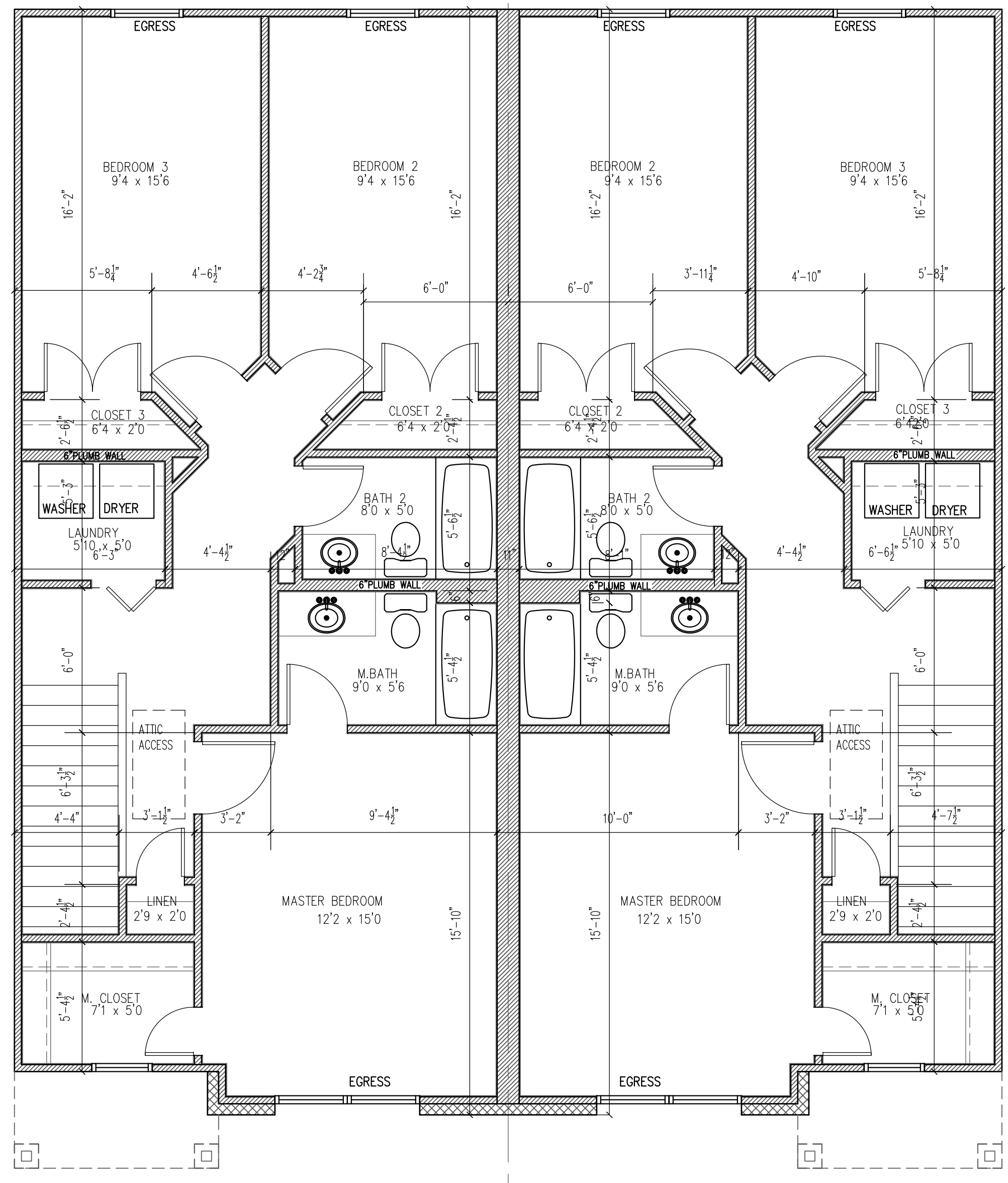
ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO FACE OF STUD

SQUARE FOOTAGE (PER UNIT)	
LEVEL 1:	
LIVING AREA (AC SPACE)	= 578 SQFT
GARAGE	= 242 SQFT
FRONT PORCH	= 30 SQFT
REAR PATIO	= 48 SQFT
LEVEL 2:	
LIVING AREA (AC SPACE)	= 866 SQFT

COREY BOYER
832-525-1633
corey@bhgcllc.com



3 PROPOSED FLOOR PLAN w/INTERIOR DIMENSIONS
SCALE: 1/4" = 1'-0" LEVEL 1



4 PROPOSED FLOOR PLAN w/INTERIOR DIMENSIONS
SCALE: 1/4" = 1'-0" LEVEL 2

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DATE: 08 AUG. 2020

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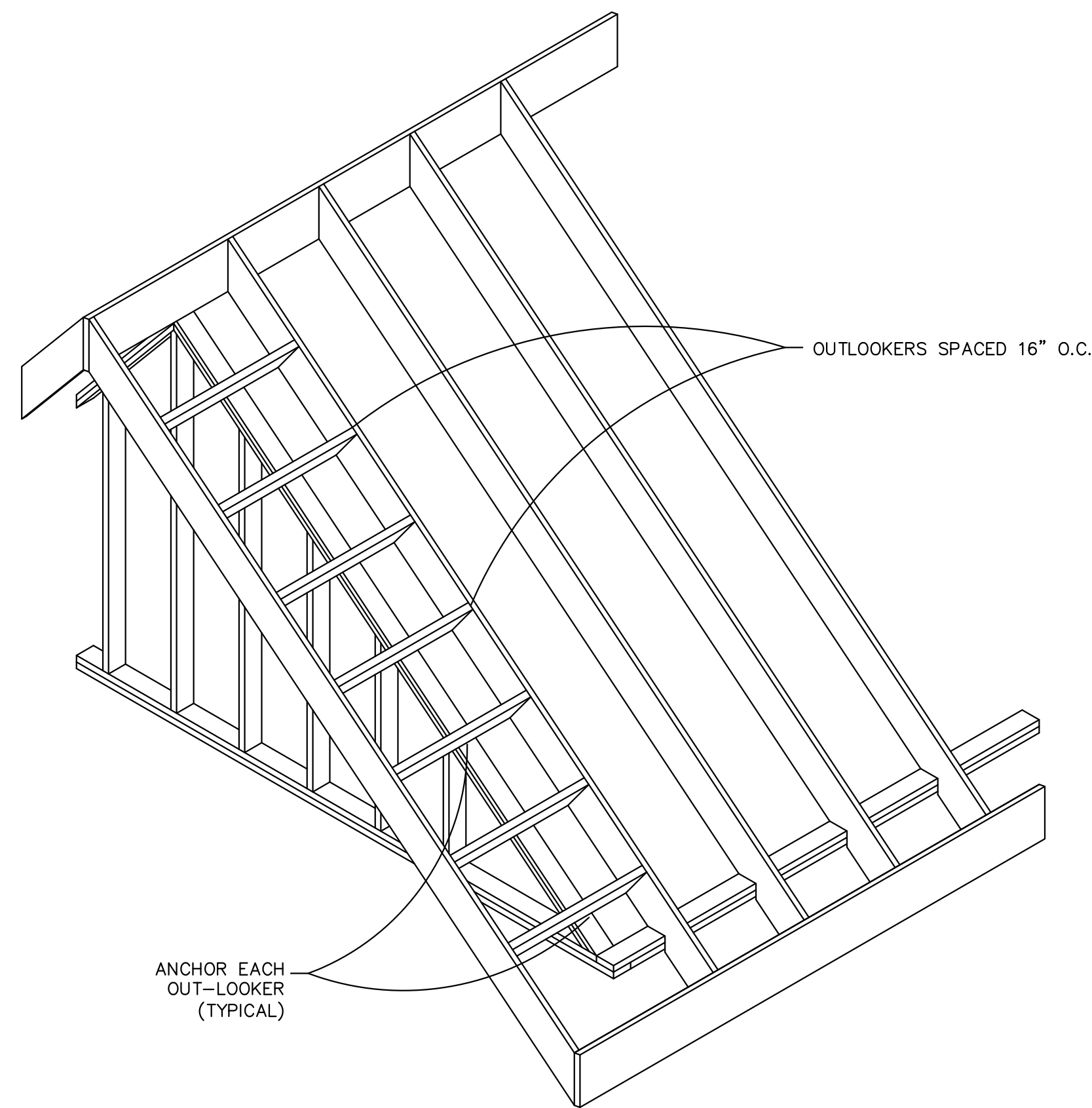
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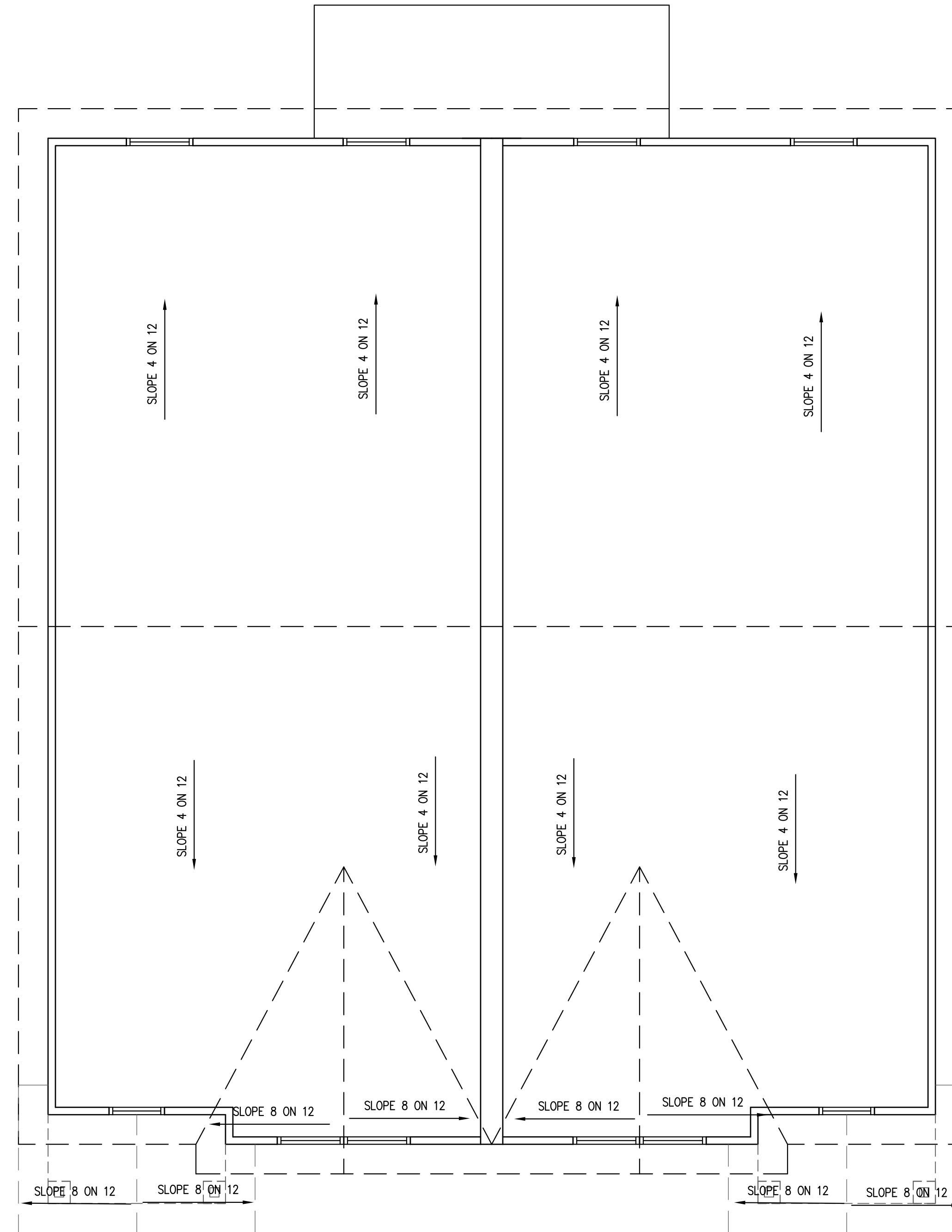
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TYPICAL GABLE ROOF

NTS

NOTE: ALL STUDS, JOISTS & RAFTERS
16" O.C. UNLESS OTHERWISE NOTED
CEILING JOISTS NOT SHOWN
RAFTERS 2 X 6



1 ROOF PLAN

SCALE: 1/4" = 1'-0"



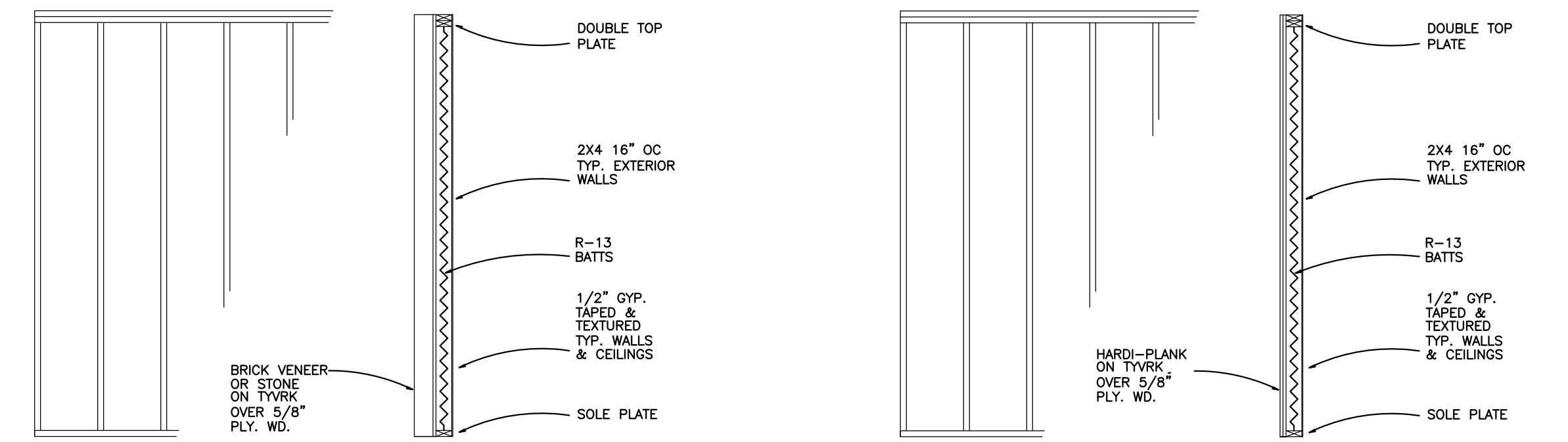
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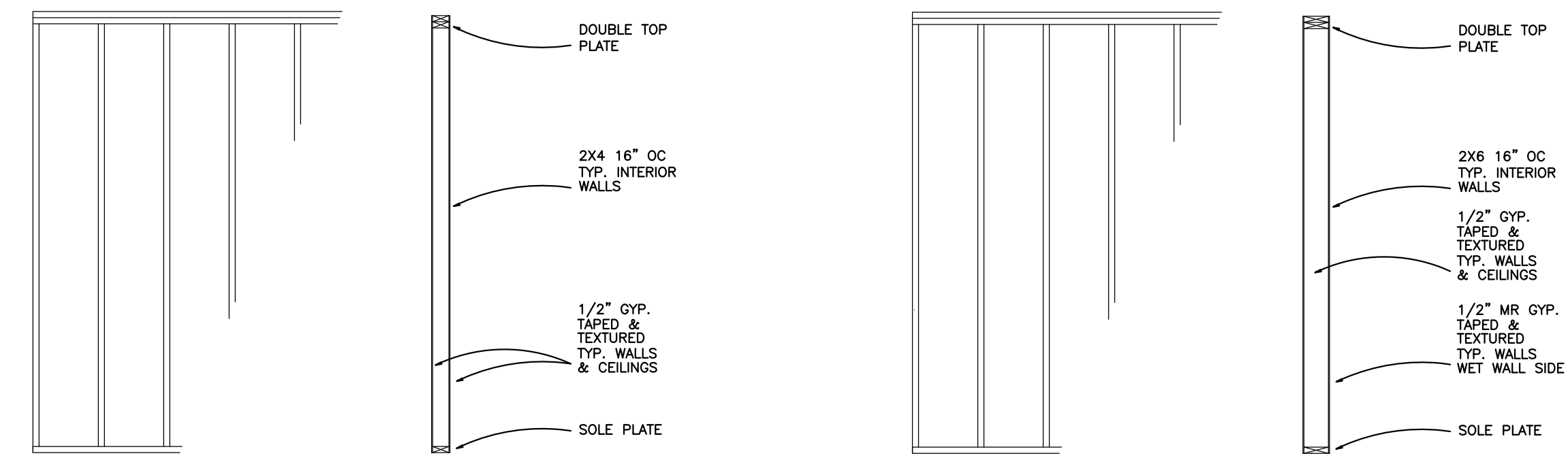
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NOTE: 5 1/2" BRICK LEDGE IS PROVIDED FOR THIS BRICK OR STONE VENEER
EXTERIOR WALL SECTION WITH BRICK OR STONE VENEER

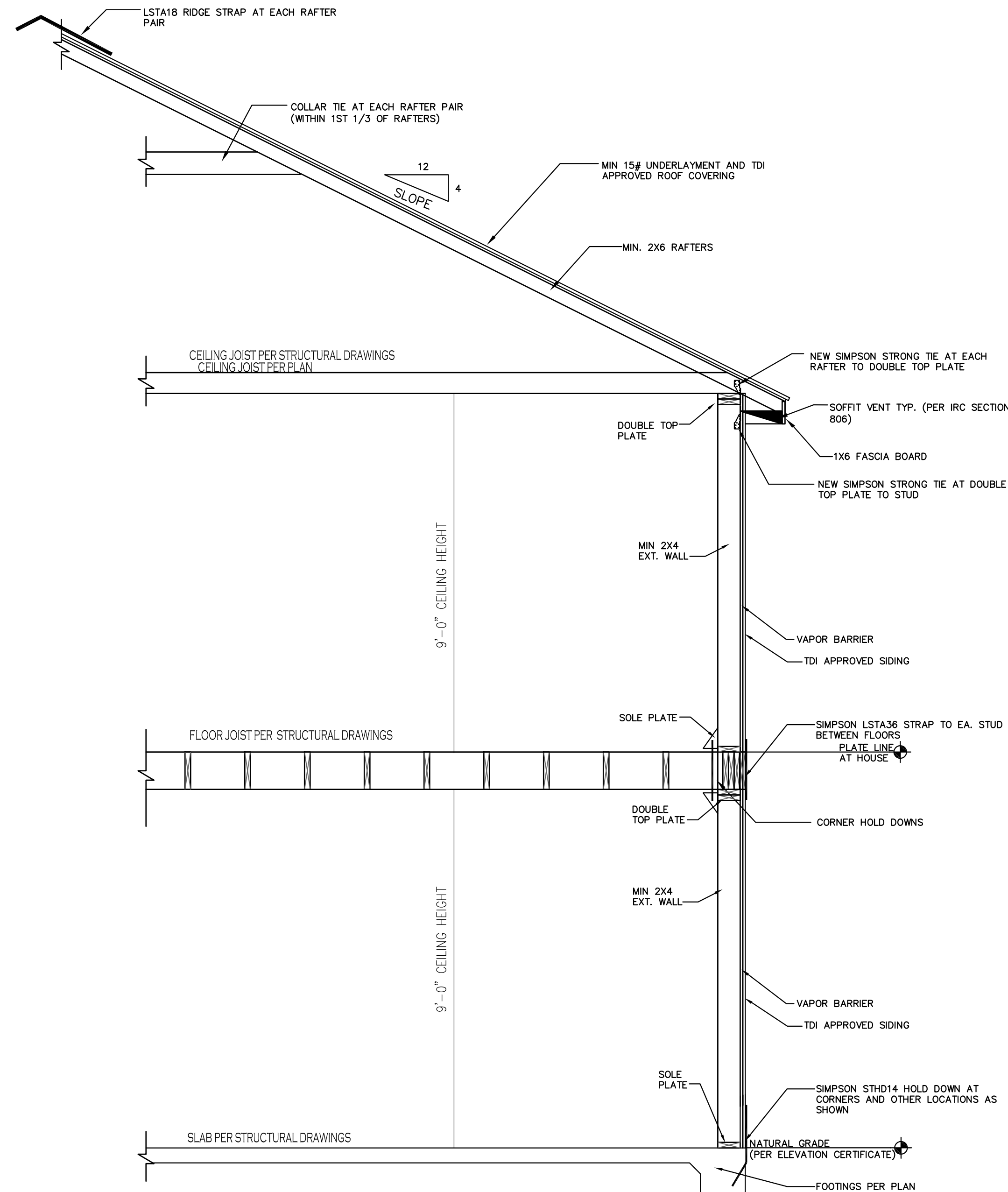
EXTERIOR WALL SECTION WITH HARDIE SIDING



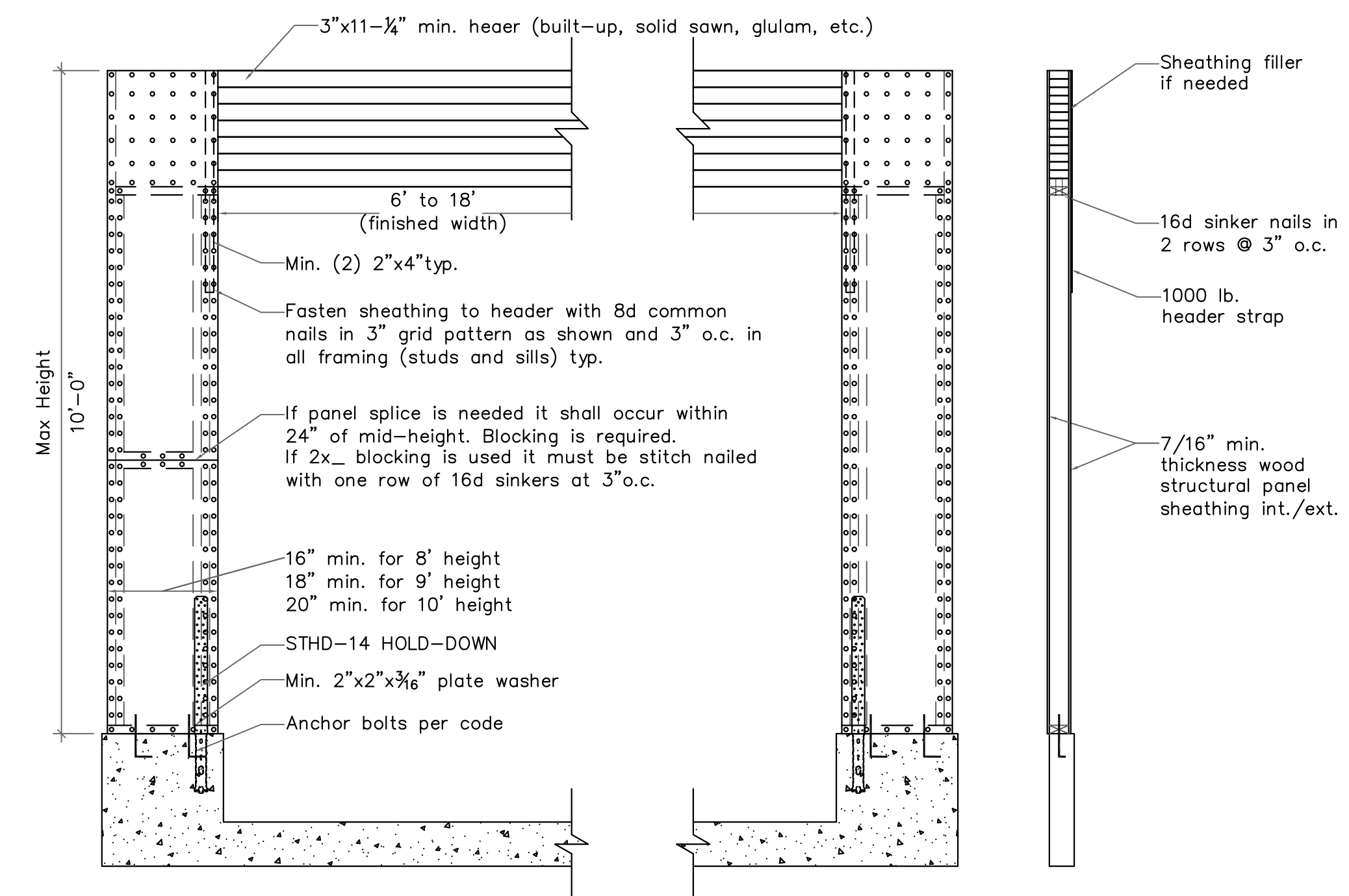
TYPICAL INTERIOR WALL SECTION

TYPICAL INTERIOR WALL SECTION AT PLUMBING WALL CHASE

2 WALL SECTIONS
SCALE: NONE



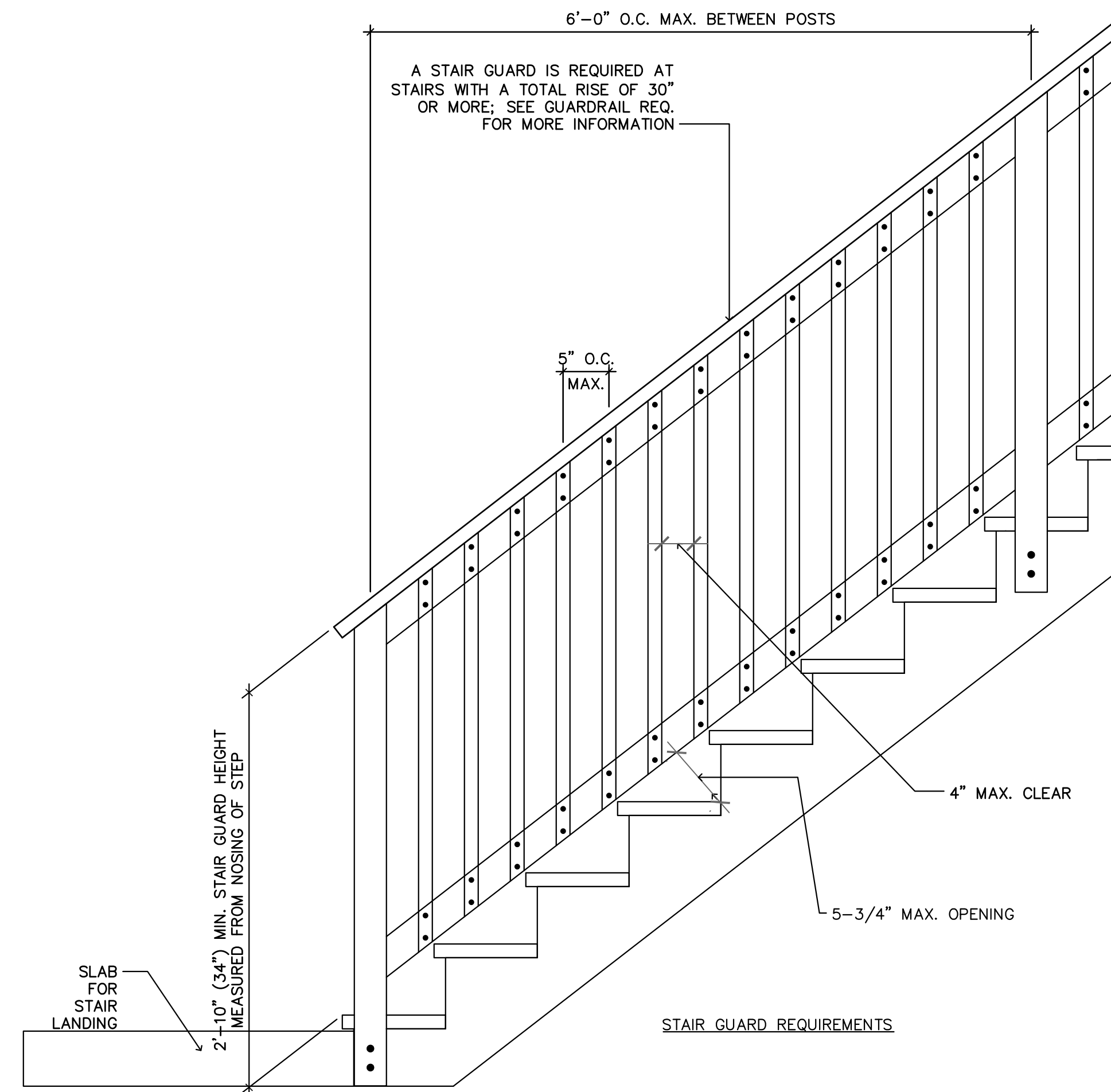
1 TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



3 GARAGE DOOR PORTAL FRAMING DETAIL
SCALE: 1/2" = 1'-0"



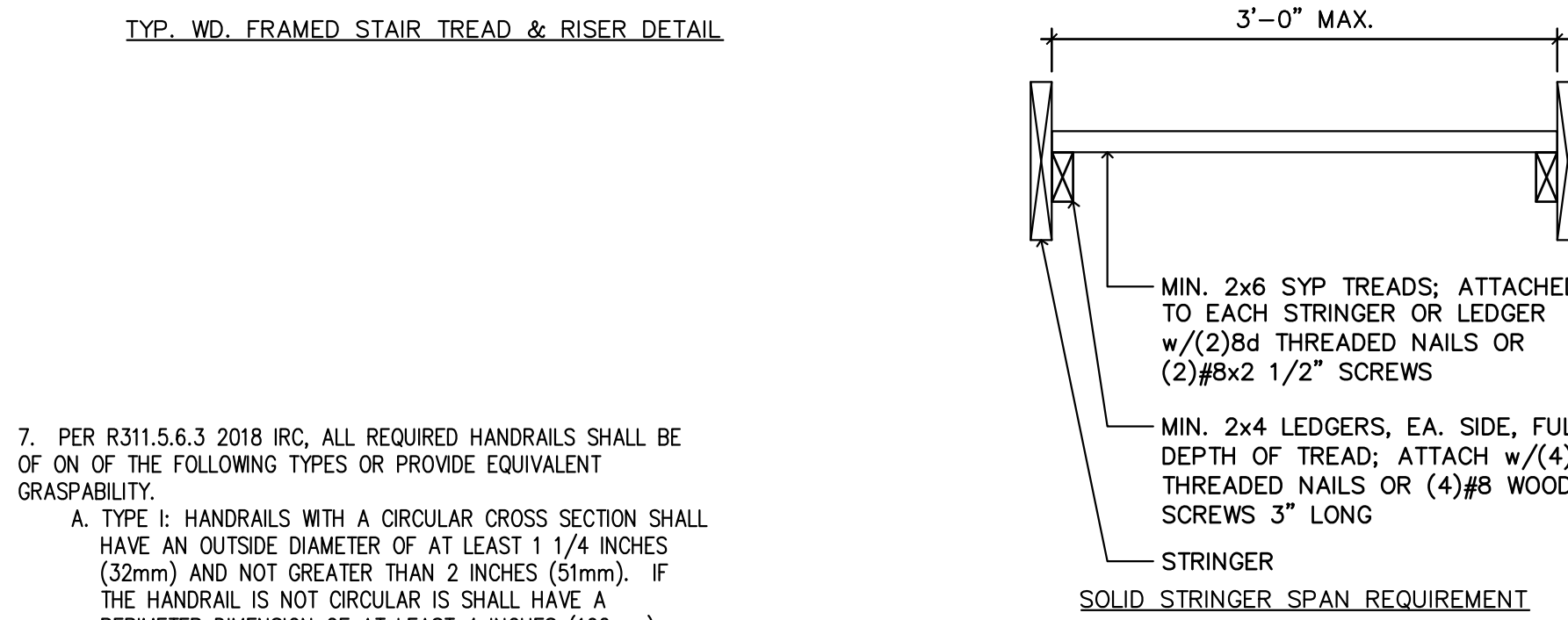
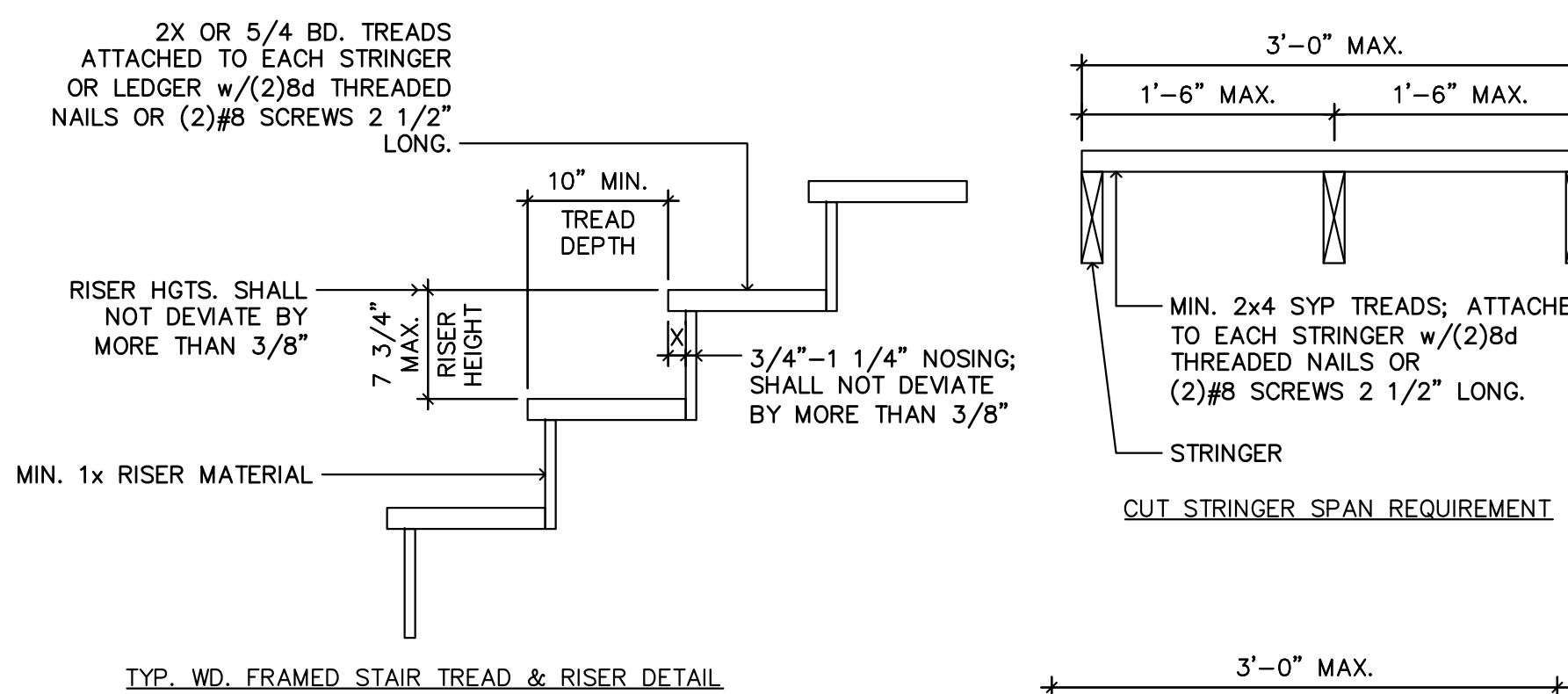
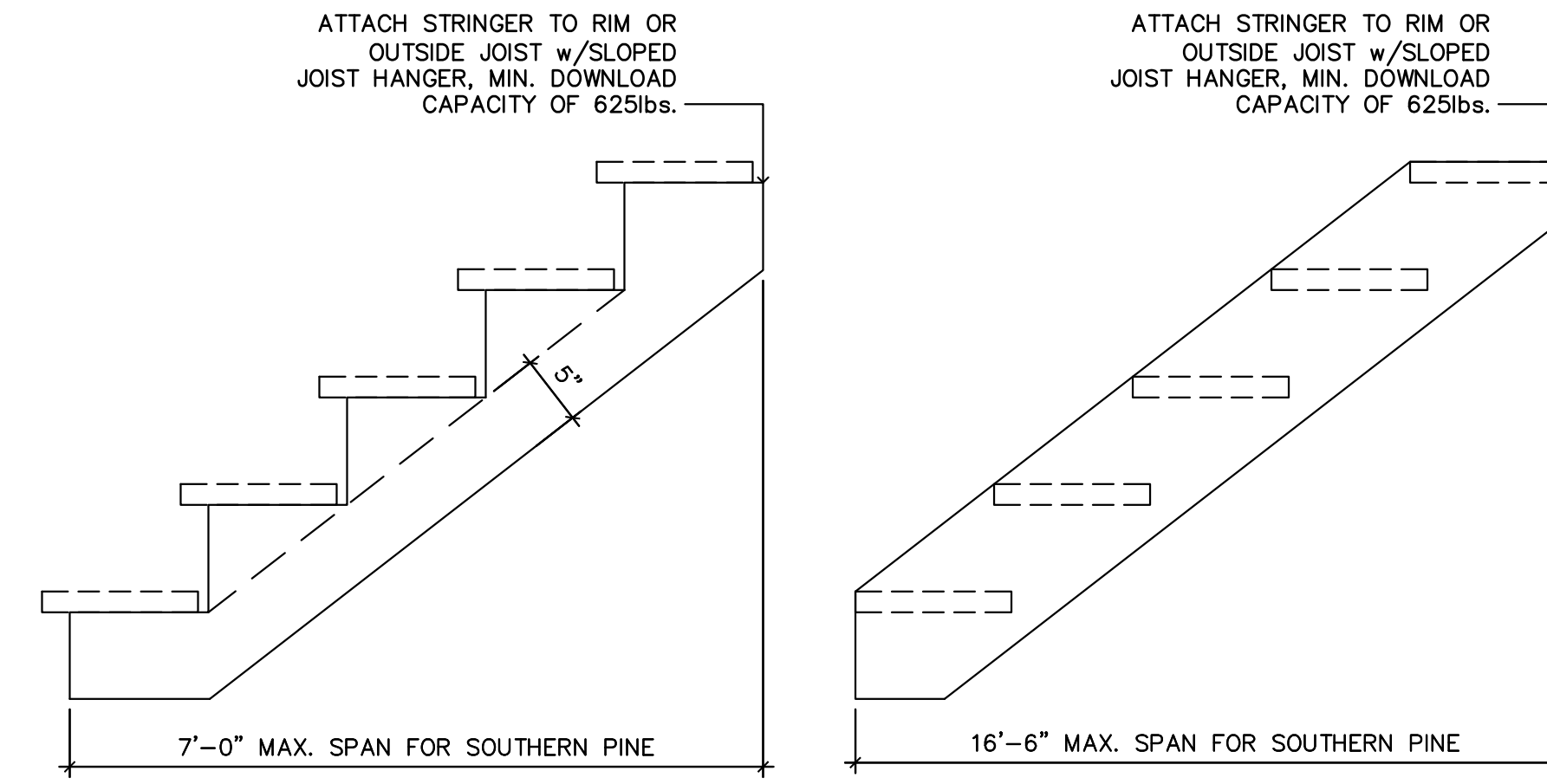
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GENERAL STAIR NOTES:

- PER R311.2.2 2018 IRC, PROVIDE UNDER STAIR PROTECTION TO ENCLOSED ACCESSIBLE SPACE WITH 1/2 INCH GYPSUM BOARD.
- PER R312.2 EXCEPTION 1 2018 IRC, THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM OF RAIL OF GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152mm) CANNOT PASS THROUGH.
- PER R312.2 2018 IRC, REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL ENCLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102mm) OR MORE IN DIAMETER.
- PER 311.5.3 2018 IRC, STAIR MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM WIDTH FOR TREADS SHALL BE 10 INCHES.
- PER R311.5.6.1 2018 IRC, HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPE PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THA 34 INCHES (864mm) AND NOT MORE THAN 38 INCHES (965mm)
- PER R311.5.6.2 2018 IRC, HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38mm) BETWEEN THE WALL AND THE HANDRAIL.

4 TYPICAL STAIR DETAIL
SCALE: 1" = 1'-0"



- PER R311.5.6.3 2018 IRC, ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
 - TYPE I: HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32mm) AND NOT GREATER THAN 2 INCHES (51mm). IF THE HANDRAIL IS NOT CIRCULAR IS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102mm) AND NOT GREATER THAN 6 1/4 INCHES (160mm) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES (57mm).
 - TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES (160mm) SHALL PROVIDE A GRASPABLE FINGER RISERS, RECESS AREAS ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITH A DISTANCE OF 3/4 INCH (19mm) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8mm) WITHIN 7/8 INCH (22mm) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH (10mm) TO A LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES (45mm) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4 INCHES (32mm) TO A MAXIMUM OF 2 3/4 INCHES (70mm). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25mm).

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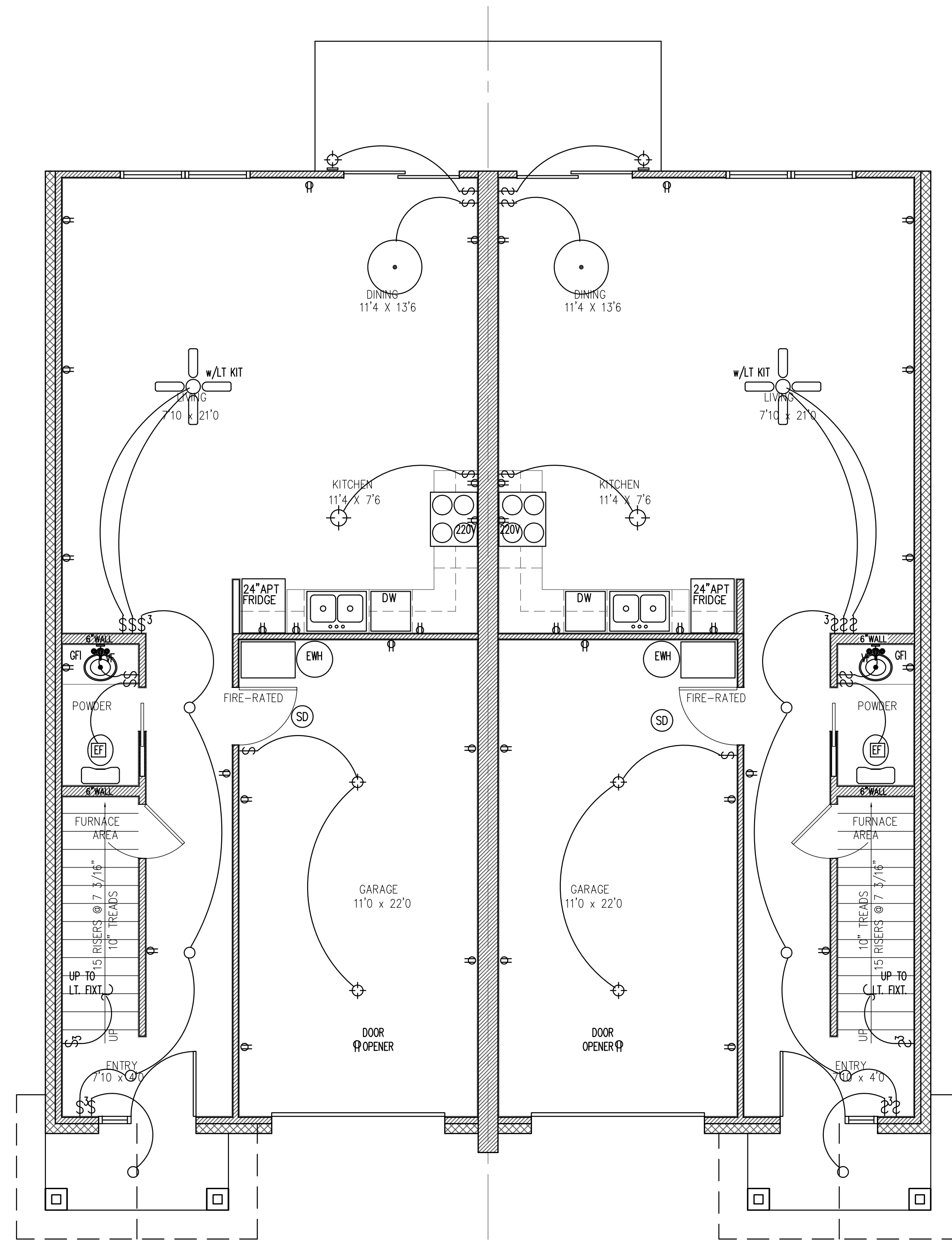
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ELECTRICAL LEGEND	
	CEILING FAN WITH LIGHT KIT
	CEILING FAN
	UNDER CABINET LIGHTING
	LARGE PENDANT LIGHT FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE
	EXHAUST FAN
	RECESSED CAN LIGHT FIXTURE
	BATHROOM VANITY SCONCE LIGHT FIXTURE
	OUTDOOR SCONCE LIGHT FIXTURE
	SWITCH
	3-WAY SWITCH
	SWITCH WITH DIMMER
	STANDARD DUPLEX RECEPTACLE
	RECEPTACLE 220V
	RECEPTACLE WITH GROUND FAULT INTERCEPT
	OUTDOOR RECEPTACLE - WATERPROOF & WITH GROUND FAULT INTERCEPT
	COMBO SMOKE/CARBON DIOXIDE DETECTOR
	CORNER OUTDOOR FLOOD LIGHT - DUSK TO DAWN SWITCHING

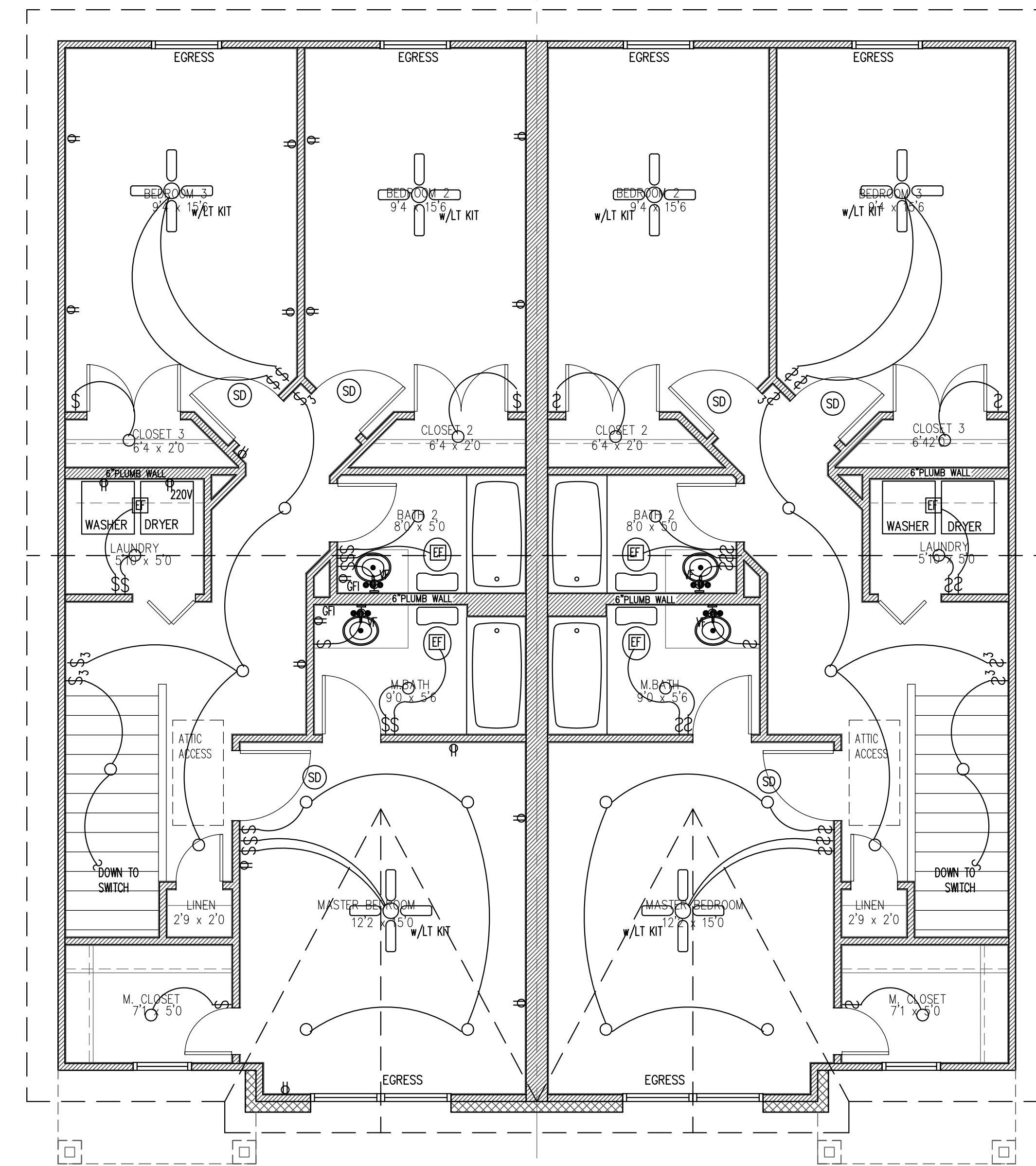
(SD) = SMOKE/CARBON DIOXIDE DETECTOR

PER R313.2 2018 IRC, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 A. IN EACH SLEEPING ROOM
 B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

PER R313.3 2018 IRC, SMOKE DETECTORS SHALL BE HARD-WIRED AND INTER-CONNECTED WITH BATTERY BACKUP.



1 PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" LEVEL 1



2 PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" LEVEL 2

NOTE: ALL HVAC DUCTING AND ATTIC VENTILATION SHALL COMPLY WITH CITY OF LA MARQUE CODE REQUIREMENTS AND BE ADDRESSED BY THE HVAC CONTRACTOR.

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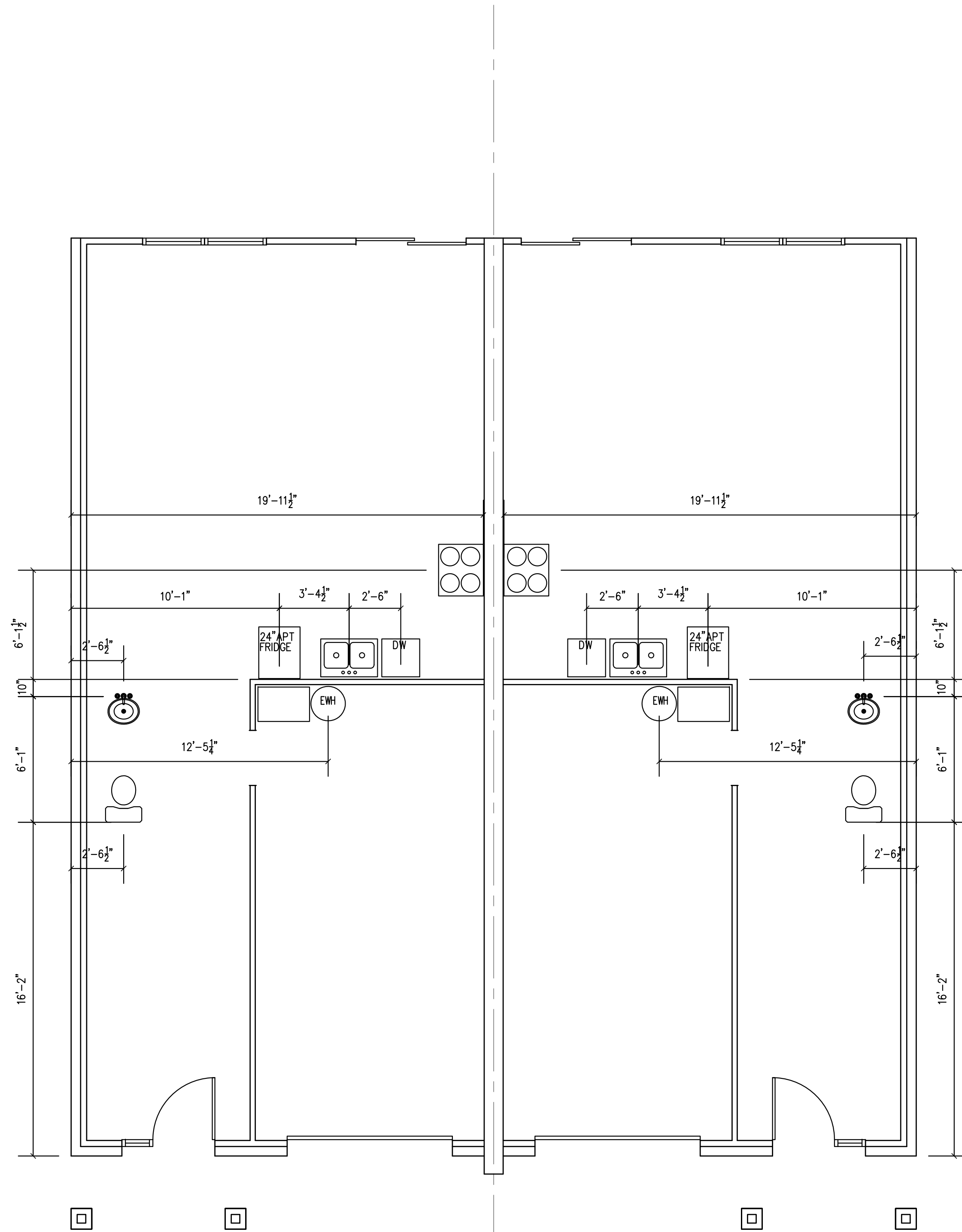
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PLUMBING & APPLIANCE LEGEND	
	SHOWER STALL
	BATH TUB
	TOILET
	BATHROOM LAVATORY
	KITCHEN SINK
	DISH WASHER
	COOKING RANGE
	REFRIGERATOR
	WASHING MACHINE
	CLOTHES DRYER
	ELECTRIC WATER HEATER



1 PLUMBING – SLAB PENETRATIONS
SCALE: 3/16" = 1'-0"

ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO PLUMBING FIXTURE

DATE: 08 AUG. 2020

REVISIONS:

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A6.0