

Mayor | Jason Perez Mayor Pro-Tem | John Wright Council Members | Cecil Booth, Christiene Daniel, Mark Gongora, Travis Townsend City Manager | Chris Whittaker City Secretary | Michelle Perez

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE CITY COUNCIL FOR THE CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON TUESDAY, APRIL 11, 2023, AT 6:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

CITIZENS WISHING TO ADDRESS CITY COUNCIL

The Presiding Officer may establish time limits based upon the number of speaker requests, the length of the agenda, and to ensure meeting efficiency, and may include a cumulative time limit. Citizens may speak at the beginning or at the time the item comes before council in accordance with Texas Government Code Section 551.007. No Action May be Taken by the City Council During Public Comments.

EXECUTIVE SESSION

The City Council will now convene into executive session pursuant to the provisions of Chapter 551 Texas Government Code, in accordance with the authority contained therein:

1. Discussion and possible action to consult with Attorney pursuant to Section 551.071 of the Texas Government Code; pending or contemplated litigation; settlement offer regarding Christopher Hill v. City of Angleton, Texas.

OPEN SESSION

The City Council will now adjourn Executive Session, reconvene into Open Session pursuant to the provisions of Chapter 551 Texas Government Code and take action, if any, on item(s) discussed during Closed Executive Session.

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Council and will be enacted with one motion. There will be no separate discussion of these items unless requested by

the Mayor or a Council Member; in which event, the item will be removed from the consent agenda and considered separately.

- 2. Discussion and possible action on a request to approve purchasing or leasing a new storage server or cloud services from Texas Department of Information Resources (DIR) contract vendor Dell to replace PIVOT3 Network Attached Storage (NAS).
- 3. Discussion and possible action on a waiver of permit fees for the construction of a new home and demo of existing structure located at 504 W. Peach, Angleton, Tx. 77515 in the SF6.3 zoning district.
- 4. Consideration of approval of a Final Plat for Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection.
- 5. Discussion and possible action on a Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes, out of the Shubael Marsh Survey A-81 &A-82, Brazoria County, Texas as submitted by Ashton Gray Development.
- <u>6.</u> Discussion and possible action on the preliminary plat of the Ashland Project Coral Haven Street Dedication.
- <u>7.</u> Discussion and possible action on a revised preliminary plat for Angleton Park Place Subdivision Section 1.

PUBLIC HEARINGS AND ACTION ITEMS

8. Conduct a public hearing, discussion, and take possible action on Ordinance No. 20230411-008 an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.

REGULAR AGENDA

- 9. Discussion and possible action on the preliminary plat of Ashland Section 2.
- <u>10.</u> Discussion and possible action on a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street.
- <u>11.</u> Discussion and possible action on a Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east.

<u>12.</u> Discussion of a Project Concept for the Mulberry Fields Subdivision site for consideration of a new concept, for approximately 13 acres of land located north of W. Mulberry St., West side of N. Walker St, and south of W. Live Oak St., within the SF-6.3 Zoning District. No action is required.

EXECUTIVE SESSION

The City Council will now convene into executive session pursuant to the provisions of Chapter 551 Texas Government Code, in accordance with the authority contained therein:

13. Discussion and possible action on personnel matters; to deliberate the appointment, employment, evaluation, reassignment, duties, discipline or dismissal of an employee, pursuant to Government Code Section 551.074. (City Manager)

OPEN SESSION

The City Council will now adjourn Executive Session, reconvene into Open Session pursuant to the provisions of Chapter 551 Texas Government Code and take action, if any, on item(s) discussed during Closed Executive Session.

ADJOURNMENT

If, during the course of the meeting and discussion of any items covered by this notice, City Council determines that a Closed or Executive Session of the Council is required, then such closed meeting will be held as authorized by Texas Government Code, Chapter 551, Section 551.071 - consultation with attorney; Section 551.072 - deliberation regarding real property; Section 551.073 - deliberation regarding prospective gift; Section 551.074 - personnel matters regarding the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; Section 551.076 - deliberation regarding security devices or security audit; Section 551.087 - deliberation regarding economic development negotiations; Section 551.089 - deliberation regarding security devices or security audits, and/or other matters as authorized under the Texas Government Code. If a Closed or Executive Session is held in accordance with the Texas Government Code as set out above, the City Council will reconvene in Open Session in order to take action, if necessary, on the items addressed during Executive Session.

CERTIFICATION

I, Michelle Perez, City Secretary, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Thursday, April 6, 2023, by 6:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

<u>/S/ Michelle Perez</u> Michelle Perez, TRMC City Secretary Public participation is solicited without regard to race, color, religion, sex, age, national origin, disability, or family status. In accordance with the Americans with Disabilities Act, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Angleton ADA Coordinator, Colleen Martin, no later than seventy-two (72) hours prior to the meeting, at (979) 849-4364 ext. 2132, email: cmartin@angleton.tx.us.



AGENDA ITEM SUMMARY FORM

MEETING DATE:	03/28/2023
PREPARED BY:	Jason Crews
AGENDA CONTENT:	Discussion and possible action on a request to approve purchasing/leasing a new storage server or cloud services from DIR contract vendor Dell to replace a no longer supported and failing Pivot3 Network Attached Storage (NAS). NAS is mission-critical hardware supporting every department.
AGENDA ITEM SECTION:	Regular Agenda

BUDGETED AMOUNT: \$8000.00 FUNDS REQUESTED: \$10,781

FUND: 01-555-310 INFO TECH - R&M EQUIPMENT

EXECUTIVE SUMMARY:

During COVID our storage vendor PIVOT3 dropped support for our NAS due to hardware supply limitations. The company has also shifted its focus from NAS to Surveillance Storage and no longer offers NAS solutions. The PIVOT3 storage we currently have is a fully redundant Active-Active dual controller NAS, meaning two storage controllers are built into a single appliance. When a hardware failure is experienced in an Active-Active environment, there is no noticeable impact to end users as the redundant hardware takes over. This redundancy normally allows us time to replace the faulty hardware with minimal impact to the network.

We recently lost one of the two boot drives on the Active-Active system, which puts us in a nearcritical status. Without vendor support, if the 2nd boot drive were to fail we would be in a disaster recovery event and all locally hosted city services would be on hold until backups could be restored to new hardware.

RECOMMENDATION:

City Manager and Staff recommend funding the Dell PowerStore 500T four-year lease option with \$1 buy-out with lease payments totaling \$75,121.96. The unbudgeted balance of \$10,781 for the first year to be funded by America Rescue Plan Act (ARPA) funds, and the remaining years added to the budget annually.

PowerStore 500T

17TBe

Angleton , TX

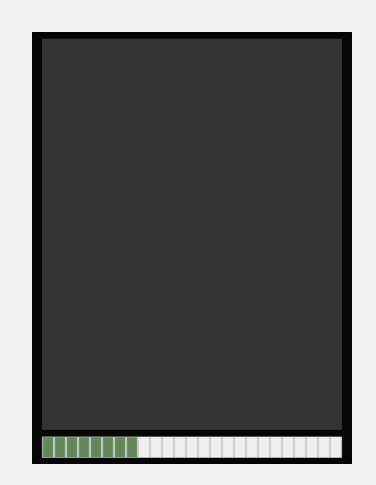
SizerId: pstore_2172986

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Cluster Information

Model Mode	PowerStore T
Appliances	1
Effective Capacity	17.83 TiBe
Usable Capacity	8.92 TiB
Raw Capacity	13.97 TiB
Average Capacity Utilization	95.34%
Average Storage Performance Saturation	0.74%
Data Reduction Ratio	2:1
Performance	0.6 K IOPS / 4.69 MiB/s
Max Performance	81.271 K IOPS / 634 MiB/s
Rack Units	2U







Appliance Configuration - Appliance 1

ltem 2.	
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•••	
Model	PowerStore 500
Rack Units	2U
Storage Information	
Effective Capacity	17.83 TiBe
Usable Capacity	8.92 TiB
Raw Capacity	13.97 TiB
Data Reduction Ratio	2:1
Total Drive Count	8
Capacity Utilization	95.34%
Enclosure Drive Lavout	

Enclosure	Drive	Layout
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Appliance - Internal Enclosure

8 x 1.92TB NVMe SSD

Total Drive Information	on			
Drive Type	Drive Count		DRE Tolerance Level	
1.92TB NVMe SSD	8		Single Drive Failure (4+1)	
Performance Informa	ation			
Performance		0.6 K IOPS / 4.69 MiB/s		
Max Performance		81.271 K IOPS / 634 MiB/s		
Storage Performance Saturation		0.74%		

Connectivity
mezz: 4 x 25GbE Optical
iomodule: 4 x 10GBase-T



Investment Summary

PowerStore 500T + 2 Switches						
Dell EMC List Price	\$	209,173.37				
Standard Discount	\$	95,678.98				
In Quarter Discount	\$	42,659.37				
Total Discounts	\$	138,338.35				
Final Price	\$	70,835.02				
Quote Expires 1/22/23 *Includes D	eplo	yment and 5 years of Support*				

Pricing Includes: **Deployment: Pro Deploy Plus Support: 5 Years Pro Support 4 Hr Mission Critical**





D&LLTechnologies

Additional Information

Deployment Suite Feature Comparison	Basic Deployment	ProDeploy	ProDeploy Plus
Single point of contact for project management		х	In-region
Site readiness review		х	x
Implementation planning		х	х
Technology Service Manager (TSM) engagement for Pro Support Plus Entitled devices			х
Deployment service hours	Business Hours	24/7	24/7
Onsite hardware Installation	x	х	x
Packaging materials disposal	x	х	х
Install and configure system software		Remote	Onsite
Project documentation knowledge transfer		х	Х
Deployment verification			Х
Configuration data transfer to Dell EMC technical support			x
30- days post deployment configuration assistance			x
Training credits for Dell EMC Education Services			x

Proposal Includes 5 years of Pro Support + Pro Deploy Plus

Support Feature Comparison	Pro Support	Pro Support Plus
Remote technical Support	24/7	24/7
Onsite Support	Next Business Day or Mission Critical	Next Business Day or Mission Critical
Automated issue detection and case creation	x	x
Self-service case initiation and management	х	х
Hypervisor, Operating Environment Software and OS support	x	x
Priority access to specialized support experts		x
Designated service account management expert		x
Periodic assessment and recommendations		x
Monthly contract renewal and support history reporting		x
Systems Maintenance guidance		Semi- Annually
Designated technical and field support teams		X 10



Prepared For:

ANGLETON, TEXAS **104 CANNAN DR** ANGLETON, TX 77515

December 19, 2022

Dell

Quote Number

3000139988889.1

Proposal Expiration Date:

Thank you for giving Dell Financial Services L.L.C. ("DFS") the opportunity to provide a techno Enclosed is a financing proposal for your new technology needs. We look forward to discussin further detail with you. If you have any questions, please contact me at the phone number or en

Summary Product Description

Dell PowerStore 500 T

Dell EMC AppSync for PowerStore

PowerSwitch S4112

TOTALS

Term	36	Term	48
Option	TELP	Option	TELP
Payments:	Annual	Payments:	Annual
Consolidation:	Monthly	Consolidation:	Monthly
Payments Due:	Advance	Payments Due:	Advance
Interim Rent:	None	Interim Rent:	None
ct Price Quantity Extended Price Rate Factor 3	•	Rate Factor	4
	Payments		Payments
0.34670	\$18,958.81	0.26513	\$14,498.27
0.34670	\$0.00	0.26513	\$0.00
0.34670	\$5,599.68	0.26513	\$4,282.22
	\$24,558.50		\$18,780.49
	Option Payments: Consolidation: Payments Due: Interim Rent: Rate Factor 0.34670 0.34670	Option TELP Payments: Annual Consolidation: Monthly Payments Due: Advance Interim Rent: None Rate Factor 3 Payments 0.34670 0.34670 \$0.00 0.34670 \$5,599.68	Option TELP Option Payments: Annual Payments: Consolidation: Monthly Consolidation: Payments Due: Advance Payments Due: Interim Rent: None Interim Rent: Rate Factor 3 Payments Rate Factor 0.34670 \$18,958.81 0.26513 0.34670 \$5,599.68 0.26513

January 18, 2023 PLEASE NOTE

Personal Property Taxes (PPT) do not apply to this lease.

Leasing and financing provided by Dell Financial Services L.L.C. or its affiliate or designee ("DFS") to qualified customers. Offers may not be available or may vary in certain countries. Where available, offers may be changed without notice and are subject to product availability, credit approval, execution of documentation provided by and acceptable to DFS, and may be subject to minimum transaction size. Offers not available for personal, family or household use. Dell and the Dell logo are trademarks of Dell Inc. Proposal is property of DFS, contains confidential information and shall not be duplicated or disclosed in whole or part. Proposal is not a firm offer of financing. Pricing and rates based upon the final amount, configuration and specification of the supplied equipment, software, services or fees. Prorata payment may be due in the first payment cycle. Proposal excludes additional costs to customer such as shipping, maintenance, filing fees, applicable taxes, insurance and similar items. Proposal valid through the expiration date shown above, or if none is specified, for 30 calendar days from date of presentation.

End of Term Options:

Tax Exempt Lease Purchase (TELP):

Exercise the option to purchase the products for \$1.00. Return all products to lessor at the lessee's expense

Bobby Hadley

Account Representative Dell | Financial Services office + 1 512 708-6318 bobby.hadley@dell.com

Additional Information:

LEASE QUOTE: The Lease Quote is exclusive of shipping costs, maintenance fees, filing fees, licensing fees, property or use taxes, insurance premiums and similar items which shall be for Lessee's account. Lessee will pay payments and all other amounts without set-off, abatement or reduction for any reason whatsoever. Additionally, Lessee shall declare and pay all sales, use and personal property taxes to the appropriate taxing authorities. If you are sales tax exempt, please provide a copy of your Exemption Certificate with the Lease Contract. If Lessee provides the appropriate tax exemption certificates to DFS, sales and use taxes will not be collected by DFS. However, if your taxing authority assesses a personal property tax on leased equipment, and if DFS pays that tax under your lease structure, Lessee must reimburse DFS for that tax expense in connection with the Lessee's lease.

PURCHASE ORDER: The Purchase Order must be made out to Dell Financial Services L.L.C., One Dell Way, RR8-23, Round Rock, TX 78682. The Purchase Order will need to include the quote number, quantity and description of the equipment. Please be sure to indicate that the PO is for a lease order and shows the type of lease, the term length, and payment frequency. The date of the lease quote referenced should be included. Please be sure to include any applicable shipping costs as a line item and include your address as the SHIP TO destination

INSURANCE: The risk of loss on the equipment is borne solely by the Lessee. Lessee shall be required to purchase and maintain during the Term (i) comprehensive public liability insurance naming Lessor as additional insured; and (ii) "all-risk" physical damage insurance in a minimum amount of the Purchase Price, naming DFS as first loss payee.

APPROPRIATION COVENANT: The Lease will contain an appropriation of funds clause. The Lessee will covenant that it shall do all things legally within its power to obtain and maintain funds from which the payments may be paid.

DOCUMENTATION: In addition to a duly executed Agreement, other documents as reasonably requested by DFS may be required, such as but not limited to, opinions of counsel, IRS tax exemption forms (if applicable), and audited financials.

PROPOSAL VALIDITY / APPROVALS: This is a proposal based upon market conditions and is valid for 30 days, is subject to final credit approval, review of the economics of the transaction, and execution of mutually acceptable documentation. Upon expiration, lease rates may be changed in the event that market rates change Item 2.

Dell APEX Cloud + Angleton, TX

APEX as-a-Service Portfolio

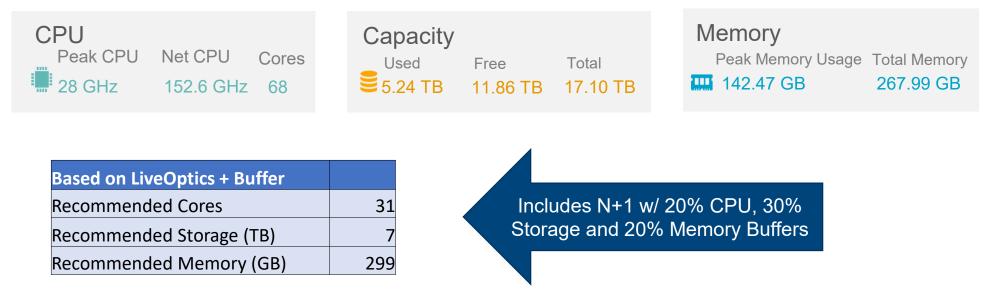
Internal Use - Confident

DCLTechnologies

Item 2.

Dell Customer Communication - Confidential

APEX Sizing Logic (APC) – What do I need?



APEX Private Cloud

- APC: G 16
- APC: 48 instances (cores) | 384 GB total memory | 69TB storage raw (No DD/C, FTT1 R1 = ~23TB)
 - Total of 3 nodes

D&LLTechnologies

Dell Integrated Rack

Front Elevation (42U)



Solution:

- **15G**
- All Flash G16AF2 ICBs VxRailNodes
- 3 Nodes: 48 Cores (Ghz), 384 GB
 Memory, 69 TB RAW Storage, No
 DD/C, FTT1 R1 = ~23TB)
- What is included: 2x TOR Switches, 1x Mgmt Switch, VxRail, 4x Mgmt Servers, PDU

Pricing:

- Monthly Option: \$6,543
- 36 Month Contract: \$235,550

What You're Getting

- Based on VxRail The #1 HCI Solution on the Market
- Fully configured rack is shipped from Dell facilities to on-site or Colo
- 28 Day Service Level Objective on Initial Install, ~5-14 Day on Upgrades
- Customer Success Manager
- ✓ 24x7 ProSupport Plus 4 HR Mission Critical Support
- Software installation/deployment occurs on-site
- Dell Provided VMware vSAN Enterprise & vSphere Enterprise Plus 7.x
- Make life easier with single click lifecycle management, biannual upgrades, and Dell-Driven tech refreshes
- Expand to up to 27 Nodes
- Cloud IQ AlOps, Insight & Monitoring

DCLTechnologies

Currency USD

Amount

\$6,543.05 \$235,549.80 \$235,549.80 \$19,432.85

\$0.00 \$235,549.80 \$254,982.65

Dell Customer Communication - Confidential

APC List Pricing (APC) – What does it cost?

			Cost summary
Cluster-1 🥒			Description
Instance type	Instances per host	Instance Quantity	Monthly total
General purpose	16	48	Total contract value
Storage type	Storage Performance	Storage capacity	
VSAN	Balanced	69 TB	Subtotal
			Тах
* 1.1			Non-Taxable
Total			Taxable
Total nodes/height	Total sockets (CPU)	Total power requirements	Tununo
3/3U	3	2397W	Estimated total*

Prices displayed here are estimates and may not include all taxes or other applicable charges. The prices shown are subject to change. This is not an offer to sell at the estimated price.

Includes vSphere/vSAN 7.x licensing. Includes Dell Integrated Rack. Includes 3-year subscription.

Payment options (Excludes taxes)	
Monthly	\$6,543.05
Annually	\$78,516.60
Full term	\$235,549.80

DCLTechnologies

11 © Copyright 2021 Dell Inc.

DCLTechnologies



AGENDA ITEM SUMMARY FORM

MEETING DATE:	4/11/23
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PREPARED BY: Kyle Reynolds

AGENDA CONTENT: Discussion and possible action on a waiver of permit fees for the construction of a new home and demo of existing structure located at 504 W. Peach, Angleton, Tx. 77515 in the SF6.3 zoning district.

AGENDA ITEM SECTION: Consent Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

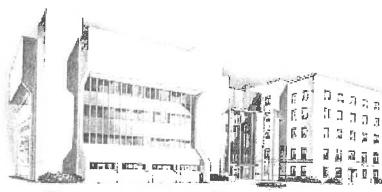
FUND: N/A

EXECUTIVE SUMMARY:

Brazoria County Community Development Department would like to have the permit fees waived for the construction of a new SF home (approx.. 1000sq.ft.) located at 504 W. Peach, Angleton, TX 77515

RECOMMENDATION:

N/A



MARI REYES PROJECT COORDINATOR

Item 3.

KAREN LAND FINANCIAL COORDINATOR

DAPHNE LEMELLE DIRECTOR

JENNIFER CRAINER ASSISTANT DIRECTOR

BRAZORIA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

April 3, 2023

Council Members City of Angleton 121 S. Velasco Angleton, TX 77515

Re: Housing Reconstruction – 504 W Peach, Angleton, 77515

To Whom It May Concern:

Please waive all permitting, building, and inspections fees for Residential Reconstruction for Shreka Hernandez who resides at 504 W Peach, and has been approved for assistance under the County's HOME Reconstruction/Rehabilitation Program. Ms. Hernandez has chosen Cypress Point Construction as her contractor, and construction is targeted for April 2023.

US Dept of Housing and Urban Development's HOME Reconstruction/ Rehabilitation program assists low to moderate income families repair their homes. In the case that rehab is not feasible, Brazoria County reconstructs a new dwelling. These are HOME Program grant funds from HUD that the County manages and distributes to eligible applicants throughout the County. This program not only helps the individual with a more suitable living environment, but also prevents the City's housing stock to become dilapidated, and in turn, promotes an increase in property values. The cost of the assistance is in the form of a deferred, forgivable loan which requires a lien to be placed on the property for a period of 10 years for rehabilitation, and 20 years for the reconstruction of the home. There is no mortgage payment required from the homeowner; however, they must maintain property taxes, insurance, and reside in the home for the period of the lien. Reducing the amount of fees in turn reduces the lien owed on the home.

If you have any questions, please feel free to call me at (979) 864-1953.

Sincerely,

Matt Summers Project Coordinator

1524 EAST MULBERRY, SUITE 162, ANGLETON, TEXAS 77515

Angleton Area (979) 864-1427 Brazosport Area (979) 388-1427 Houston Area (281) 756-1427 Fax Number (979) 864-1089 **Development Services**

504 W. Peach, Angleton, Tx. 77515

Waiver of building permit fees to construct a new residence located at 504 W. Peach:

New residential permit fee Approx. 1000 sq. ft. home- \$580.00 Plumbing new home Approx. 1000 sq. ft. home- \$65.00 Mechanical new home Approx. 1000 sq. ft. home- \$75.00 Electrical new home Approx. 1000 sq. ft. home- \$70.00

Demo of existing structure- \$25.00

Total o new home permit fees- \$815.00



AGENDA ITEM SUMMARY FORM

BUDGETED AMOUNT:	N/A FUNDS REQUESTED: N/A		
AGENDA ITEM SECTION:	Regular Agenda		
AGENDA CONTENT:	Consideration of approval of a Final Plat for Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection.		
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services		
MEETING DATE:	April 6, 2023		

FUND: N/A

EXECUTIVE SUMMARY:

This is a request for approval of the final plat of Windrose Green Section 3 Subdivision. The subject property consists of 23.70 acres, 122 Lots, 3 Blocks, 4 Reserves, in the T.S. Lee Survey, Abstract #318, is in the City of Angleton ETJ and is located on the south side of FM 523 approximately 2,500 feet west of the FM 523/SH 35 intersection. Except as otherwise noted in the City Engineer's memo which are textual and general note corrections, the proposed final plat meets all City of Angleton requirements.

COMMISSION ACTION:

Motion was made by Commission Member Bonnie McDaniel to approve approves of the proposed final plat and recommends it to the City Council for final action. Motion was seconded by Commission Member Michelle Townsend.

Roll call vote:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby; Aye; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Nay and Commission Member Michelle Townsend- Aye.

Motion carried with a 4 - 3 vote.

RECOMMENDATION:

The City Engineer reviewed the plat and offered 7 comments of which the applicants have resubmitted and addressed each comment.

The Planning and Zoning Commission voted 4-3 to approve the proposed final plat and recommends it to the City Council for final approval.

March 30, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services
 Windrose Green Section 3 Subdivision Final Plat – <u>1st</u> Submittal Review
 Angleton, Texas
 HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the final plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 3

- 1. Remove additional text shown in the Engineer's Certification Block
- 2. Provide the required plat notes take from the Angleton LDC Sec.23-115, L.
- 3. Update text shown. Plat drawing shows "O.P.R.B.C."

Sheet 2 of 3

- 4. Label existing New Dawn Drive from Windrose Green Section 1.
- 5. Verify street name "Windrose Bend". Per preliminary plat, "Windrose Bend Drive" was used.
- 6. Update the FEMA FIRM information in Plat Note #8 to reflect current information
- 7. Show bearing and distance for the east line shown along the King Subdivision.

HDR takes no objection to the proposed Windrose Green Section 3 Subdivision Final Plat with the exceptions noted. Please note, this does not necessarily mean that the entire drawings, including all supporting data and calculations, has been completely checked and verified; however, the drawings and supporting data are signed, dated, and sealed by a Registered Professional Land Surveyor licensed to practice in the State of Texas, which therefore conveys the surveyor's responsibility and accountability.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

/////

Javier Vasquez, P.E., CFM Civil Engineer

cc: Files (10361761/10336228)

Attachments

 hdrinc.com
 4828 Loop Central Drive, Suite 800, Houston, TX 77081-2220

 T (713) 622-9264
 F (713) 622-9265

 Texas Registered Engineering Firm F-754

PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.	
TATE OF TEXAS § COUNTY OF BRAZORIA §	CI
THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES,	
DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.	— CI
EMPTOR ANGLETON, LLC A TEXAS LIMITED LIABILITY COMPANY	
BY: CCDL VENTURES, LLC, MANAGER	Al
BY: CONCOURSE COMPANIES, LLC, MANAGER	
ORDAN MACK, MANAGER	 M
TATE OF TEXAS § COUNTY OF BRAZORIA §	 CI
BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED JORDAN MACK, MANAGER KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED	C
O ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY	
DF,2023.	ST CO
	TI
IOTARY PUBLIC TATE OF TEXAS	_
PRINT NAME	
AY COMMISSION EXPIRES:	
AY COMMISSION EXPIRES:	
MY COMMISSION EXPIRES:	
NGLETON DRAINAGE DISTRICT NGLETON DRAINAGE DISTRICT NGLETON DRAINAGE DISTRICT ACCEPTED THIS THE DAY OF, 20 THE BOARD OF PERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT, OR UARANTEE: 1. THAT THE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.	
NGLETON DRAINAGE DISTRICT NGLETON DRAINAGE DISTRICT NGLETON DRAINAGE DISTRICT ACCEPTED THIS THE DAY OF, 20 THE BOARD OF PERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT, OR UARANTEE: 1. THAT THE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINTED BY THE ANGLETON DRAINAGE DISTRICT.	
AY COMMISSION EXPIRES:	

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS. THEIR HEIRS. GRANTEES AND SUCCESSORS: THE PORTION OF THE PLAT CALLED "DRAINAGE AND DETENTION EASEMENT". THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION.NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD

LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL

STATE OF TEXAS § COUNTY OF BRAZORIA §

STATE OF TEXAS §

COUNTY OF BRAZORIA §

SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT EMPTOR ANGLETON, LLC ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS WINDROSE GREEN SECTION THREE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE. IN FEE SIMPLE. TO THE PUBLIC USE FOREVER. THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THE PLAT. NO BUILDINGS, FENCES, TREES,

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

> JOSEPH B. MAY **TEXAS REGISTRATION NO. 5484**

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

A. KHOSHAKHLAGH, P.E. **TEXAS REGISTRATION NO. 101133**

APPROVED THIS CITY OF ANGLETON, TEXAS.

SECRETARY

OVED THIS _____ DAY OF ____

SECRETARY

OF TEXAS § ΓY OF BRAZORIA §

THAT I, JOSEPH B. MAY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

REGISTERED PROFESSIONAL LAND SURVEYOR

THAT I.A. KHOSHAKHLAGH. DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REOUIREMENTS OF THE ANGLETON LDC. EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

Remove additional text shown in the Engineer's Certification Block

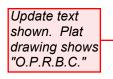
DAY OF

, 2023, BY THE PLANNING AND ZONING COMMISSION,

RMAN, PLANNING AND ZONING COMMISSION

,2023, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

NSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE DAY OF , 2023, BY , CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.



METES AND BOUNDS DESCRIPTION 23.70 ACRES

Being a 23.70-acre tract of land located in the T.S. Lee Survey, Abstract No. 318 in Brazoria County, Texas; said 23.70-acre tract being a portion of a called 154.6-acre tract of land recorded in the name of Emptor Angleton, LLC, in File No. 2020013621 of the Official Public Records of Brazoria County (O.P.R.B.C.); said 23.70-acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, North American Datum 1983 (NAD 83), South Central Zone):

Beginning at a 1/2-inch iron rod found the southeast corner of a called of a called 4.0174-acre tract of land recorded in the name of Good Shepherd Lutheran Church in Volume 288, Page 254 of the Deed Records of Brazoria County (D.R.B.C.) and the southwesterly exterior corner of said 154.6-acre tract, and being on the northerly right-of-way line of Henderson Road (80.00 feet wide)

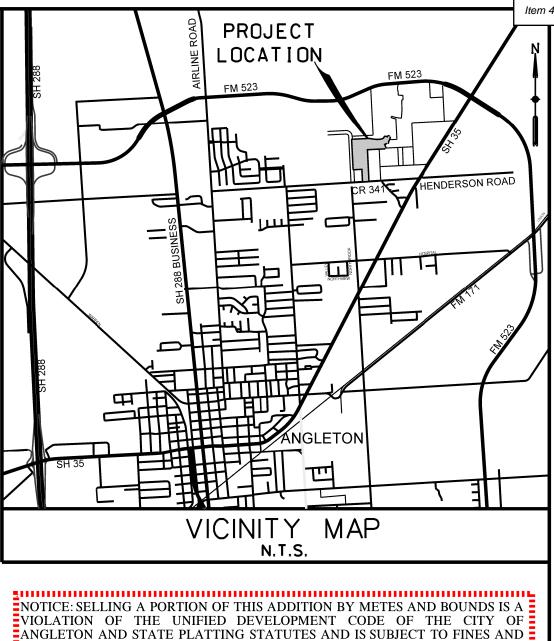
- Thence, with the westerly line of said 154.6-acre tract and the easterly line of said 4.0174-acre tract, North 02 degrees 46 minutes 29 seconds West, a distance of 500.35 feet to a 1/2-inch iron rod inside a 4-inch iron pipe found at an interior corner of said 154.6-acre tract and the northeast corner of said 4.0174-acre tract;
- Thence, with a southerly line of said 154.6-acre tract and the northerly line of said 4.0174-acre tract, South 87 degrees 07 minutes 32 seconds West, a distance of 350.09 feet to a easterly line of a called 9.032-acre tract of land recorded in the name of Angleton Drainage District in Volume 329, Page 340 of the D.R.B.C.;
- Thence, with the westerly line of said 154.6-acre tract and said easterly line of the 9.032-acre tract, North 02 degrees 53 minutes 17 seconds West, a distance of 1,157.44 feet to the southwest corner of Reserve "M" of Windrose Green Sec 1, a subdivision recorded in Plat Number 2021062480 of the Brazoria County Plat Records;
- Thence, with the south line of said Reserve "M", the following eleven (11) courses:
- 4. North 87 degrees 09 minutes 48 seconds East, a distance of 658.12 feet;
- South 81 degrees 53 minutes 56 seconds East, a distance of 196.45 feet; South 83 degrees 12 minutes 15 seconds East, a distance of 78.77 feet;
- South 88 degrees 16 minutes 59 seconds East, a distance of 78.13 feet;
- North 86 degrees 25 minutes 02 seconds East, a distance of 78.13 feet;
- North 81 degrees 27 minutes 27 seconds East, a distance of 78.15 feet;
- 10. North 70 degrees 38 minutes 37 seconds East, a distance of 72.88 feet;
- 11. North 44 degrees 06 minutes 33 seconds East, a distance of 69.78 feet;
- 12. North 21 degrees 44 minutes 36 seconds East, a distance of 32.57 feet;
- 13. North 62 degrees 31 minutes 20 seconds East, a distance of 15.14 feet;
- 14. South 76 degrees 41 minutes 55 seconds East, a distance of 115.00 feet to a east line of said Reserve "M"; 15. Thence, with a east line of said Reserve "M", 31.77 feet along the arc of a curve to the left, said curve having a central angle of 06
- degrees 44 minutes 33 seconds, a radius of 270.00 feet and a chord that bears North 09 degrees 55 minutes 49 seconds East, a distance of 31.75 feet;
- 16. Thence, continuing with said east line of Reserve "M", 19.31 feet along the arc of a curve to the left, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,770.00 feet and a chord that bears North 06 degrees 14 minutes 47 seconds East, a distance of 19.31 feet to the southeast corner of Reserve "K" of aforesaid Windrose Green Sec 1, same being the south terminus of Windrose Bend (60' wide) of aforesaid Windrose Green Sec 1;
- 17. Thence, with the south terminus of said Windrose Bend, South 84 degrees 03 minutes 57 seconds East, a distance of 60.00 feet to the west line of Reserve "D" of aforesaid Windrose Green Sec 1;
- 18. Thence, with the west line of said Reserve "D", 19.96 feet along the arc of a curve to the right, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,830.00 feet and a chord that bears South 06 degrees 14 minutes 47 seconds West, a distance of 19.96 feet:
- 19. 84.26 feet along the arc of a curve to the right, to the southwest corner of Reserve "D", totaling a distance of 179.28 feet, through aforesaid 154.6 acre tract, said curve having a central angle of 31 degrees 07 minutes 38 seconds, a radius of 330.00 feet and a chord that bears South 22 degrees 07 minutes 21 seconds West, a distance of 177.08 feet;

Thence, through said 154.6 acre tract, the following seven (7) courses:

- 20. 44.15 feet along the arc of a curve to the left, said curve having a central angle of 101 degrees 11 minutes 11 seconds, a radius of 25.00 feet and a chord that bears South 12 degrees 54 minutes 25 seconds East, a distance of 38.63 feet; 21. South 26 degrees 29 minutes 59 seconds West, a distance of 60.00 feet;
- 22. 37.53 feet along the arc of a curve to the right, said curve having a central angle of 06 degrees 30 minutes 57 seconds, a radius of 330.00 feet and a chord that bears North 60 degrees 14 minutes 32 seconds West, a distance of 37.51 feet;
- 23. 29.10 feet along the arc of a curve to the left, said curve having a central angle of 66 degrees 41 minutes 16 seconds, a radius of 25.00 feet and a chord that bears South 89 degrees 40 minutes 19 seconds West, a distance of 27.48 feet;
- 24. 100.13 feet along the arc of a curve to the right, said curve having a central angle of 17 degrees 23 minutes 09 seconds, a radius of 330.00 feet and a chord that bears South 65 degrees 01 minutes 15 seconds West, a distance of 99.75 feet; 25. South 22 degrees 25 minutes 04 seconds East, a distance of 160.17 feet;
- South 02 degrees 47 minutes 14 seconds East, a distance of 15.00 feet to a southerly line of aforesaid 154.6-acre tract and the northerly line of a called 12.40-acre tract of land recorded in the name of Wesley Johnson in File No. 02 052985 of the O.P.R.B.C.;
- 27. Thence, with the common line of said 154.6-acre tract and said 12.40-acre tract, South 87 degrees 12 minutes 46 seconds West, a distance of 241.63 feet to a 3/4-inch iron pipe found at an interior corner of said 154.6-acre tract, the northwest corner of said 12.40-acre tract, and the northeast corner of a called 14.571-acre tract of land recorded in the name of E. J. King, Sr. and Jackie M. King in File No. 2014054480 of the O.P.R.B.C.:
- 28. Thence, continuing with said southerly line of the 154.6-acre tract and with the northerly line of said 14.571-acre tract, South 87 degrees 5 minutes 57 seconds West, a distance of 499.89 feet to a 5/8-inch iron rod found at the northwest corner of said 14.571-acre tract;
- Thence, with an easterly line of said 154.6-acre tract and the westerly line of said 14.571-acre tract, South 02 degrees 45 minutes 27 seconds East, a distance of 1,271.10 feet to a 5/8-inch iron rod found on the northerly right-of-way line of aforesaid Henderson Road;
- 30. Thence, with the southerly line of said 154.6-acre tract and said northerly right-of-way line of Henderson Road, South 87 degrees 06 minutes 09 seconds West, a distance of 198.28 feet to the **Point of Beginning** and containing 23.70 acres of land.



Provide the required plat notes take from the Angleton LDC Sec.23-115



WITHHOLDING OF UTILITIES AND BUILDING PERMITS. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF

LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT."

NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.



BEING 23.70 ACRES

LOCATED IN THE T. S. LEE SURVEY, A-318 BRAZORIA COUNTY, TEXAS

3 BLOCKS

122 LOTS

4 RESERVES

JANUARY, 2023



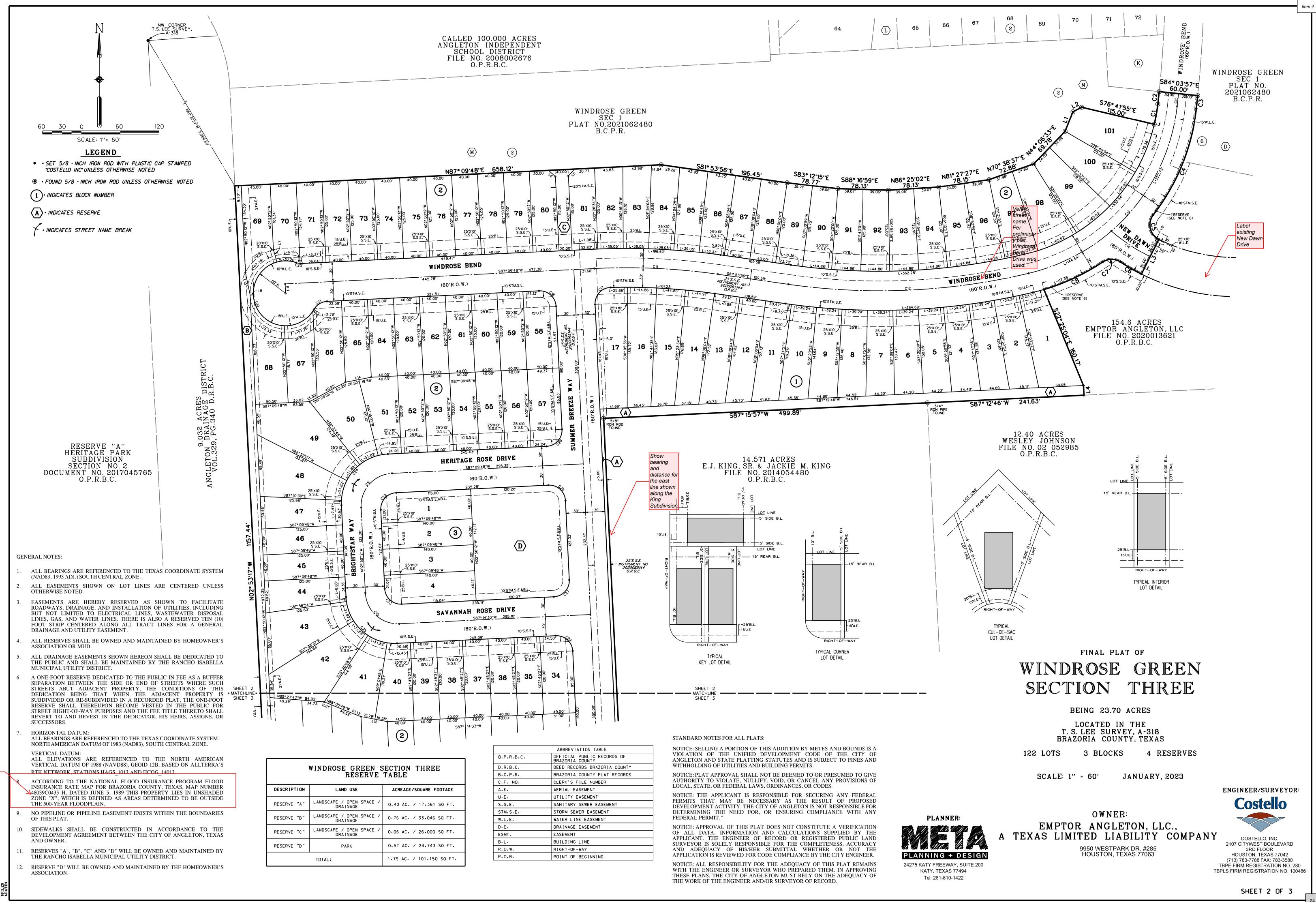
OWNER: EMPTOR ANGLETON, LLC., A TEXAS LIMITED LIABILITY COMPANY 9950 WESTPARK DR. #285 HOUSTON, TEXAS 77063



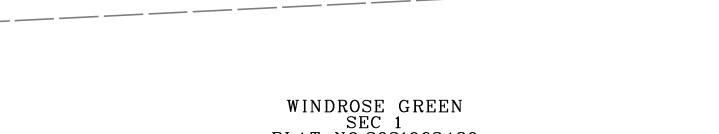
COSTELLO, INC.

2107 CITYWEST BOULEVARD 3RD FLOOR HOUSTON, TEXAS 77042 (713) 783-7788 FAX: 783-3580 TBPE FIRM REGISTRATION NO. 280 **TBPLS FIRM REGISTRATION NO. 100486**

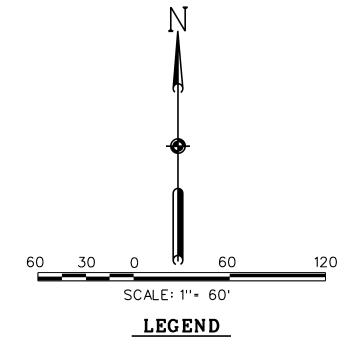
SHEET 1 OF 3



Update the FEMA FIRM information in Plat Note #8 to reflect current information



		ABBREVIATION TABLE		
	0.P.R.B.C.	OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY		
HREE	D.R.B.C.	DEED RECORDS BRAZORIA COUNTY		
	B.C.P.R.	BRAZORIA COUNTY PLAT RECORDS		
	C.F. NO.	CLERK'S FILE NUMBER		
UARE FOOTAGE	A.E.	AERIAL EASEMENT		
	U.E.	UTILITY EASEMENT		
7,361 SQ FT.	S.S.E.	SANITARY SEWER EASEMENT		
	STM.S.E.	STORM SEWER EASEMENT		
33.046 SQ FT.	W.L.E.	WATER LINE EASEMENT		
	D.E.	DRAINAGE EASEMENT		
26,000 SQ FT.	ESMT.	EASEMENT		
04 747 CO ET	B.L.	BUILDING LINE		
24,743 SQ FT.	R.O.W.	RIGHT-OF-WAY		
101,150 SQ FT.	P.O.B.	POINT OF BEGINNING		



SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED "COSTELLO INC" UNLESS OTHERWISE NOTED

● FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED

1 · INDICATES BLOCK NUMBER

A INDICATES RESERVE

✓ INDICATES STREET NAME BREAK

RESERVE "A"
HERITAGE PARK
SUBDIVISION
SECTION NO. 2
DOCUMENT NO. 2017045765
0.P.R.B.C.

SHEET 2 — MATCHLINE -SHEET 3

9.032 ACRES ANGLETON DRAINAGE DISTRICT VOL.329, PG.340 D.R.B.C.

(B)

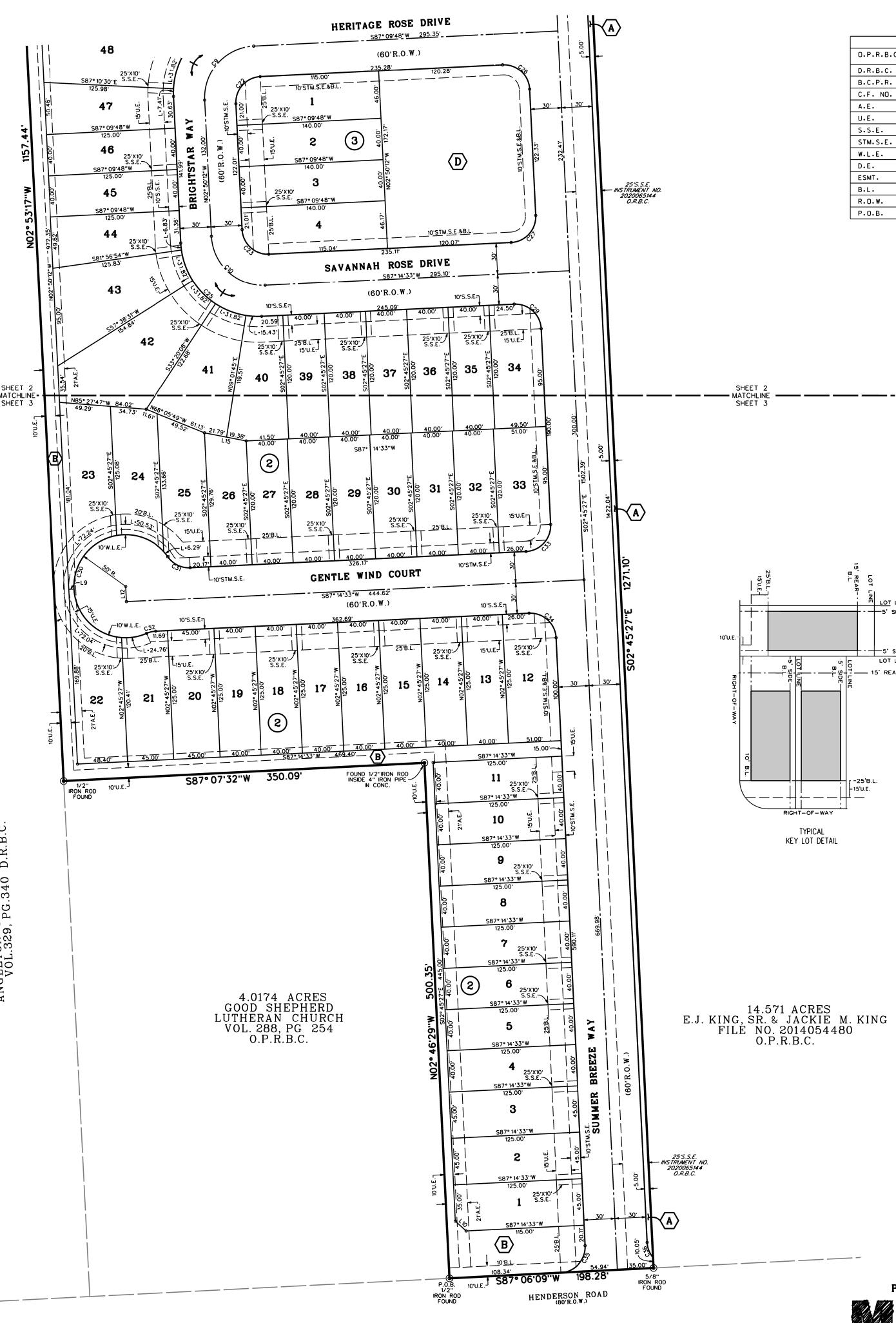
WINDROSE GREEN SECTION THREE RESERVE TABLE				
DESCRIPTION	LAND USE	ACREAGE/SOUARE FOOTAGE		
RESERVE "A"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.40 AC. / 17,361 SO FT.		
RESERVE "B"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.76 AC. / 33.046 SO FT.		
RESERVE "C"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.06 AC. / 26.000 S0 FT.		
RESERVE "D"	PARK	0.57 AC. / 24.743 SO FT.		
	TOTAL:	1.79 AC. / 101,150 SO FT.		

<u>LINE DATA TABLE</u>

NUMBER	DIRECTION	DISTANCE
		(FEET)
L1	N21° 44'36''E	32.57
L2	N62° 31'20''E	15.14
L3	S26° 29'59''W	60.00
L4	S02° 47'14''E	15.00
L5	N42° 09'48''E	14.14
L6	N47°50'12''W	14.14
L7	S15° 35'32''E	20.00
L8	N87° 25'20''E	4.99
L9	S87°07'20''W	5.02
L10	N47° 45'27''W	14.14
L11	S02° 50'12''E	14.61
L12	N02° 45'27''W	15.00
L13	N11° 42'23''W	35.46
L14	N79° 04'05''E	40.40
L15	N79° 03'05''W	41.17

<u>CURVE DATA TABLE</u>

NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH
	(FEET)	(FEET)			(FEET)
C1	31.77	270.00	6° 44' 33''	N09° 55'49''E	31.75
C2	19.31	1770.00	0° 37' 30''	N06° 14'47''E	19.31
C3	19.96	1830.00	0° 37' 30''	S06° 14'47''W	19.96
C4	179.28	330.00	31° 7' 38''	S22° 07'21''W	177.08
C5	44.15	25.00	101° 11' 11''	S12° 54'25''E	38.63
C6	37.53	330.00	6° 30' 57''	N60° 14'32''W	37.51
C7	29.10	25.00	66° 41' 16''	S89° 40'19''W	27.48
C8	100.13	330.00	17° 23' 9''	S65° 01'15''W	99.75
C9	78.54	50.00	90° 0'0''	N42°09'48''E	70.71
C10	78.47	50.00	89° 55' 15''	S47° 47'50''E	70.66
C11	190.90	1000.00	10° 56' 16''	S87° 22'04''E	190.61
C12	373.48	1000.00	21° 23' 56''	N87°24'06''E	371.32
C13	367.27	300.00	70° 8' 35''	N41° 37'50''E	344.76
C14	71.98	300.00	13° 44' 47''	S56° 37'37''E	71.80
C15	19.63	1800.00	0° 37' 30''	N06° 14'47''E	19.63
C16	16.09	25.00	36° 52' 11''	S21° 11'33''E	15.81
C17	39.85	25.00	91° 20' 7''	S42° 54'37''W	35.76
C18	39.30	25.00	90° 4' 45''	N47° 47'50''W	35.38
C19	226.25	50.00	259° 15' 58''	S20° 37'23''E	77.01
C20	9.53	25.00	21° 50' 48''	S81° 54'48''E	9.47
C21	25.05	25.00	57° 25' 10''	N58° 27'13''E	24.02
C22	39.27	25.00	90° 0' 0''	S42°09'48''W	35.36
C23	39.24	25.00	89° 55' 15''	S47° 47'50''E	35.33
C24	117.81	75.00	90° 0' 0''	S42°09'48''W	106.07
C25	117.71	75.00	89° 55' 15''	S47° 47'50''E	105.99
C26	39.30	25.00	90° 4' 45''	S47° 47'50''E	35.38
C27	39.27	25.00	90° 0' 0''	N42° 14'33''E	35.36
C28	39.24	25.00	89° 55' 15''	N42° 12'10''E	35.33
C29	39.27	25.00	90° 0' 0''	S47° 45'27''E	35.36
C30	225.85	50.00	258° 48' 31''	S15° 36'26''W	77.27
C31	25.21	25.00	57° 46'9''	S63° 52'23''E	24.15
C32	9.18	25.00	21° 2' 22''	N76° 43'22''E	9.13
C33	39.27	25.00	90° 0'0''	N42° 14'33''E	35.36
C34	39.27	25.00	90° 0'0''	S47° 45'27''E	35.36
C35	39.21	25.00	89° 51' 36''	S42° 10'21''W	35.31



.P.R.B.C.	ABBREVIATION TABLE OFFICIAL PUBLIC RECORDS OF	Image: Non-state FM 523 FM 523 FM 523
	BRAZORIA COUNTY	
.R.B.C. .C.P.R.	DEED RECORDS BRAZORIA COUNTY BRAZORIA COUNTY PLAT RECORDS	
.F. NO.	CLERK'S FILE NUMBER	
.E.	AERIAL EASEMENT	PR 341 HENDERSON ROAD
.E.		
.S.E. TM.S.E.	SANITARY SEWER EASEMENT STORM SEWER EASEMENT	
·L·E·	WATER LINE EASEMENT	
.E.	DRAINAGE EASEMENT	
SMT.	EASEMENT	
.L. .O.W.	BUILDING LINE RIGHT-OF-WAY	
.O.B.	POINT OF BEGINNING	
		SH 35
		VICINITY MAP
		VICINITY MAP
		_
	15' REAR B.L	
	25'B.L.	
		—
	RIGHT-OF-WAY	
	TYPICAL INTERIOR	
6	TYPICAL INTERIOR LOT DETAIL	\wedge
THE LOT LINE		
	ن	
	ند ف ب لا س ف	Si rever
LOT LINE		X X X
– 15' REAR B.L.		
		LOT LINE BI
		TLINE B.L.
B.L.	25'B.L.	2018 . THE
.E.		150 RIGHT-OF-WAY
	RIGHT-OF-WAY	
	TYPICAL CORNER	TYPICAL
	LOT DETAIL	CUL-DE-SAC LOT DETAIL

FINAL PLAT OF WINDROSE GREEN SECTION THREE

BEING 23.70 ACRES LOCATED IN THE T. S. LEE SURVEY, A-318 BRAZORIA COUNTY, TEXAS 122 LOTS 4 RESERVES 3 BLOCKS

SCALE: 1" = 60' JANUARY, 2023



OWNER: EMPTOR ANGLETON, LLC., TEXAS LIMITED LIABILITY COMPANY 9950 WESTPARK DR. #285 HOUSTON, TEXAS 77063

COSTELLO, INC. 2107 CITYWEST BOULEVARD 3RD FLOOR HOUSTON, TEXAS 77042 (713) 783-7788 FAX: 783-3580 TBPE FIRM REGISTRATION NO. 280

ENGINEER/SURVEYOR:

Costello

SHEET 3 OF 3

TBPLS FIRM REGISTRATION NO. 100486



April 3, 2023

Otis T. Spriggs, AICP Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: Windrose Green Sec 3 Final Plat Costello, Inc. Job No. 2021050-000-DV-012-12B

Director Spriggs,

Please see each of your plat comments addressed below. If you require additional information or have any questions, please let us know.

Sheet 1 of 3

- 1. Remove additional text shown in the Engineer's Certification Block
 - a. Additional text has been removed.
- 2. Provide the required plat notes take from the Angleton LDC Sec.23-115, L. *a. Required plat notes have been provided.*
- 3. Update text shown. Plat drawing shows "O.P.R.B.C."
 - a. Text has been updated.

Sheet 2 of 3

- 4. Label existing New Dawn Drive from Windrose Green Section 1.
 - a. Street has been labeled.
- 5. Verify street name "Windrose Bend". Per preliminary plat, "Windrose Bend Drive" was used.
 - a. Windrose Bend is a continuation of the same street from Windrose Green Sec 1 and was so recorded.
- 6. Update the FEMA FIRM information in Plat Note #8 to reflect current information.
 - a. Current FEMA FIRM information in Plat Note #8 is updated.
- 7. Show bearing and distance for the east line shown along the King Subdivision.
 - a. Bearing and distance is now shown.

Sincerely, Costello, Inc.

Renissa M. Garza Montalvo, AICP, CPRP Plat Coordinator

713.783.7788 | www.costelloinc.com 2107 CityWest Blvd., 3rd Floor Houston, Texas 77042 Costello Engineering&Surveying Principled. Practical. Proven. TBPE No. 280 TBPLS No. 100486

STATE OF TEXAS § COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT EMPTOR ANGLETON, LLC, A TEXAS LIMITED LIABILTY COMPANY ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS WINDROSE GREEN SECTION THREE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE. TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS. ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THE PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.

STATE OF TEXAS § COUNTY OF BRAZORIA §

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION OF THE PLAT CALLED "DRAINAGE AND DETENTION EASEMENT". THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION.NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

STATE OF TEXAS § COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

EMPTOR ANGLETON, LLC A TEXAS LIMITED LIABILITY COMPANY

BY: CCDL VENTURES, LLC, MANAGER

BY: CONCOURSE COMPANIES, LLC, MANAGER

JORDAN MACK, MANAGER

STATE OF TEXAS § COUNTY OF BRAZORIA §

BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED JORDAN MACK, MANAGER KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY

NOTARY PUBLIC STATE OF TEXAS

PRINT NAME

MY COMMISSION EXPIRES:

ANGLETON DRAINAGE DISTRICT

ANGLETON DRAINAGE DISTRICT ACCEPTED THIS THE DAY OF , 20 . THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT, OR GUARANTEE

- 1. THAT THE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO
- RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS
- OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINTED BY THE ANGLETON
- DRAINAGE DISTRICT.
- 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

JOSEPH B. MAY **TEXAS REGISTRATION NO. 5484**

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS: GRANTED BY THE CITY COUNCIL.

A. KHOSHAKHLAGH, P.E. **TEXAS REGISTRATION NO. 101133**

APPROVED THIS DAY OF CITY OF ANGLETON, TEXAS.

MICHELLE PEREZ, TRMC, CITY SECRETARY

APPROVED THIS ____ DAY OF ____

JASON PEREZ, MAYOR

STATE OF TEXAS § COUNTY OF BRAZORIA §

METES AND BOUNDS DESCRIPTION 23.70 ACRES

THAT I, JOSEPH B. MAY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

REGISTERED PROFESSIONAL LAND SURVEYOR

THAT I, A. KHOSHAKHLAGH, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY

, 2023, BY THE PLANNING AND ZONING COMMISSION,

CHAIRMAN. PLANNING AND ZONING COMMISSION

, 2023, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

MICHELLE PEREZ, TRMC, CITY SECRETARY

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____ ____, 2023, BY , CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

Being a 23.70-acre tract of land located in the T.S. Lee Survey, Abstract No. 318 in Brazoria County, Texas; said 23.70-acre tract being a portion of a called 154.6-acre tract of land recorded in the name of Emptor Angleton, LLC, in File No. 2020013621 of the Official Public Records of Brazoria County (O.P.R.B.C.); said 23.70-acre tract being more particularly described by metes and bounds as follows (all bearings are referenced to the Texas Coordinate System, North American Datum 1983 (NAD 83), South Central Zone):

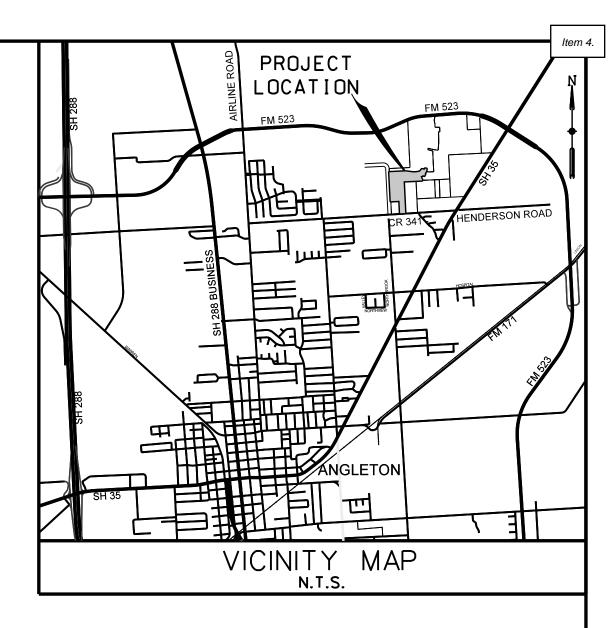
Beginning at a 1/2-inch iron rod found the southeast corner of a called of a called 4.0174-acre tract of land recorded in the name of Good Shepherd Lutheran Church in Volume 288, Page 254 of the Deed Records of Brazoria County (D.R.B.C.) and the southwesterly exterior corner of said 154.6-acre tract, and being on the northerly right-of-way line of Henderson Road (80.00 feet wide);

- Thence, with the westerly line of said 154.6-acre tract and the easterly line of said 4.0174-acre tract, North 02 degrees 46 minutes 29 seconds West, a distance of 500.35 feet to a 1/2-inch iron rod inside a 4-inch iron pipe found at an interior corner of said 154.6-acre tract and the northeast corner of said 4.0174-acre tract;
- Thence, with a southerly line of said 154.6-acre tract and the northerly line of said 4.0174-acre tract, South 87 degrees 07 minutes 32 seconds West, a distance of 350.09 feet to a easterly line of a called 9.032-acre tract of land recorded in the name of Angleton Drainage District in Volume 329, Page 340 of the D.R.B.C.;
- Thence, with the westerly line of said 154.6-acre tract and said easterly line of the 9.032-acre tract, North 02 degrees 53 minutes 17 seconds West, a distance of 1,157.44 feet to the southwest corner of Reserve "M" of Windrose Green Sec 1, a subdivision recorded in Plat Number 2021062480 of the Brazoria County Plat Records;
- Thence, with the south line of said Reserve "M", the following eleven (11) courses:
- 4. North 87 degrees 09 minutes 48 seconds East, a distance of 658.12 feet;
- South 81 degrees 53 minutes 56 seconds East, a distance of 196.45 feet;
- South 83 degrees 12 minutes 15 seconds East, a distance of 78.77 feet; South 88 degrees 16 minutes 59 seconds East, a distance of 78.13 feet;
- North 86 degrees 25 minutes 02 seconds East, a distance of 78.13 feet;
- 9. North 81 degrees 27 minutes 27 seconds East, a distance of 78.15 feet;
- 10. North 70 degrees 38 minutes 37 seconds East, a distance of 72.88 feet;
- 11. North 44 degrees 06 minutes 33 seconds East, a distance of 69.78 feet;
- 12. North 21 degrees 44 minutes 36 seconds East, a distance of 32.57 feet;
- 13. North 62 degrees 31 minutes 20 seconds East, a distance of 15.14 feet;
- 14. South 76 degrees 41 minutes 55 seconds East, a distance of 115.00 feet to a east line of said Reserve "M";
- 15. Thence, with a east line of said Reserve "M", 31.77 feet along the arc of a curve to the left, said curve having a central angle of 06 degrees 44 minutes 33 seconds, a radius of 270.00 feet and a chord that bears North 09 degrees 55 minutes 49 seconds East, a distance of 31.75 feet;
- 16. Thence, continuing with said east line of Reserve "M", 19.31 feet along the arc of a curve to the left, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,770.00 feet and a chord that bears North 06 degrees 14 minutes 47 seconds East, a distance of 19.31 feet to the southeast corner of Reserve "K" of aforesaid Windrose Green Sec 1, same being the south terminus of Windrose Bend (60' wide) of aforesaid Windrose Green Sec 1;
- 17. Thence, with the south terminus of said Windrose Bend, South 84 degrees 03 minutes 57 seconds East, a distance of 60.00 feet to the west line of Reserve "D" of aforesaid Windrose Green Sec 1;
- 18. Thence, with the west line of said Reserve "D", 19.96 feet along the arc of a curve to the right, said curve having a central angle of 00 degrees 37 minutes 30 seconds, a radius of 1,830.00 feet and a chord that bears South 06 degrees 14 minutes 47 seconds West, a distance of 19.96 feet:
- 19. 84.26 feet along the arc of a curve to the right, to the southwest corner of Reserve "D", totaling a distance of 179.28 feet, through aforesaid 154.6 acre tract, said curve having a central angle of 31 degrees 07 minutes 38 seconds, a radius of 330.00 feet and a chord that bears South 22 degrees 07 minutes 21 seconds West, a distance of 177.08 feet;

Thence, through said 154.6 acre tract, the following seven (7) courses:

- 20. 44.15 feet along the arc of a curve to the left, said curve having a central angle of 101 degrees 11 minutes 11 seconds, a radius of 25.00 feet and a chord that bears South 12 degrees 54 minutes 25 seconds East, a distance of 38.63 feet; 21. South 26 degrees 29 minutes 59 seconds West, a distance of 60.00 feet;
- 22. 37.53 feet along the arc of a curve to the right, said curve having a central angle of 06 degrees 30 minutes 57 seconds, a radius of 330.00 feet and a chord that bears North 60 degrees 14 minutes 32 seconds West, a distance of 37.51 feet;
- 23. 29.10 feet along the arc of a curve to the left, said curve having a central angle of 66 degrees 41 minutes 16 seconds, a radius of 25.00 feet and a chord that bears South 89 degrees 40 minutes 19 seconds West, a distance of 27.48 feet;
- 24. 100.13 feet along the arc of a curve to the right, said curve having a central angle of 17 degrees 23 minutes 09 seconds, a radius of 330.00 feet and a chord that bears South 65 degrees 01 minutes 15 seconds West, a distance of 99.75 feet;
- 25. South 22 degrees 25 minutes 04 seconds East, a distance of 160.17 feet; 26. South 02 degrees 47 minutes 14 seconds East, a distance of 15.00 feet to a southerly line of aforesaid 154.6-acre tract and the northerly
- line of a called 12.40-acre tract of land recorded in the name of Wesley Johnson in File No. 02 052985 of the O.P.R.B.C.;
- 27. Thence, with the common line of said 154.6-acre tract and said 12.40-acre tract, South 87 degrees 12 minutes 46 seconds West, a distance of 241.63 feet to a 3/4-inch iron pipe found at an interior corner of said 154.6-acre tract, the northwest corner of said 12.40-acre tract, and the northeast corner of a called 14.571-acre tract of land recorded in the name of E. J. King, Sr. and Jackie M. King in File No. 2014054480 of the O.P.R.B.C.:
- 28. Thence, continuing with said southerly line of the 154.6-acre tract and with the northerly line of said 14.571-acre tract, South 87 degrees 5 minutes 57 seconds West, a distance of 499.89 feet to a 5/8-inch iron rod found at the northwest corner of said 14.571-acre tract;
- 29. Thence, with an easterly line of said 154.6-acre tract and the westerly line of said 14.571-acre tract, South 02 degrees 45 minutes 27 seconds East, a distance of 1,271.10 feet to a 5/8-inch iron rod found on the northerly right-of-way line of aforesaid Henderson Road;
- 30. Thence, with the southerly line of said 154.6-acre tract and said northerly right-of-way line of Henderson Road, South 87 degrees 06 minutes 09 seconds West, a distance of 198.28 feet to the **Point of Beginning** and containing 23.70 acres of land.





NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.

NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT."

NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.

NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.



BEING 23.70 ACRES

LOCATED IN THE T. S. LEE SURVEY, A-318 BRAZORIA COUNTY, TEXAS

3 BLOCKS

122 LOTS

4 RESERVES

APRIL, 2023

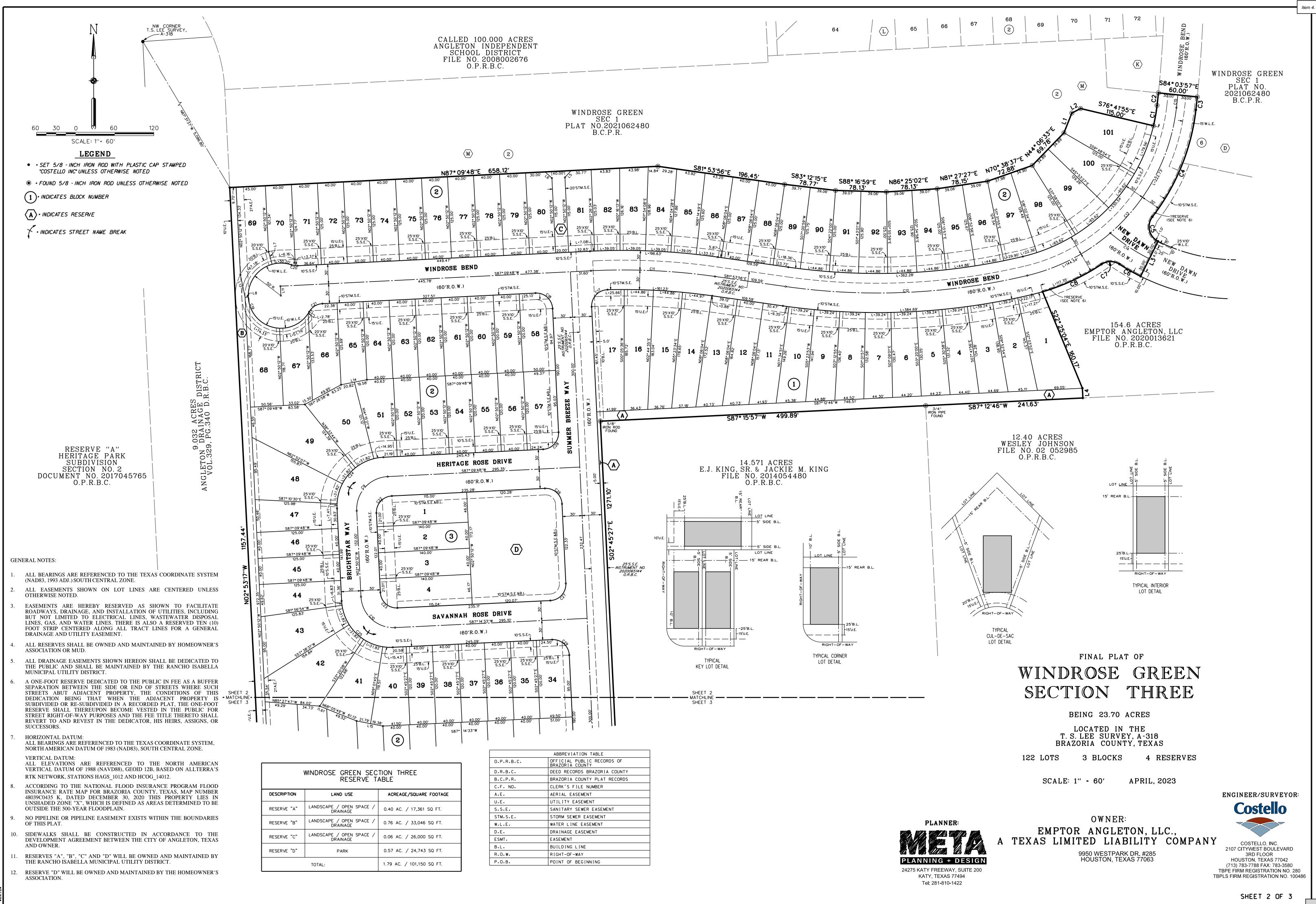
OWNER: EMPTOR ANGLETON, LLC., A TEXAS LIMITED LIABILITY COMPANY 9950 WESTPARK DR. #285 HOUSTON, TEXAS 77063

ENGINEER/SURVEYOR:

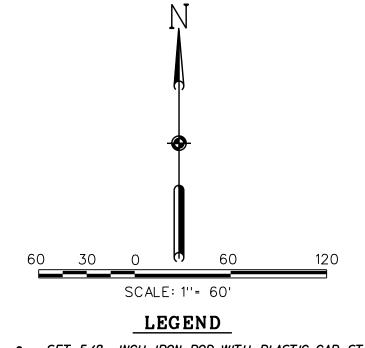


COSTELLO, INC. 2107 CITYWEST BOULEVARD 3RD FLOOR HOUSTON, TEXAS 77042 (713) 783-7788 FAX: 783-3580 **TBPE FIRM REGISTRATION NO. 280 TBPLS FIRM REGISTRATION NO. 100486**

SHEET 1 OF 3



		ABBREVIATION TABLE		
	0.P.R.B.C.	OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY		
E I	D.R.B.C.	DEED RECORDS BRAZORIA COUNTY		
_	B.C.P.R.	BRAZORIA COUNTY PLAT RECORDS		
	C.F. NO.	CLERK'S FILE NUMBER		
QUARE FOOTAGE	A.E.	AERIAL EASEMENT		
	U.E.	UTILITY EASEMENT		
7,361 SQ FT.	S.S.E.	SANITARY SEWER EASEMENT		
	STM.S.E.	STORM SEWER EASEMENT		
3,046 SQ FT.	W.L.E.	WATER LINE EASEMENT		
	D.E.	DRAINAGE EASEMENT		
6,000 SQ FT.	ESMT.	EASEMENT		
24,743 SQ FT.	B.L.	BUILDING LINE		
	R.O.W.	RIGHT-OF-WAY		
01.150 SQ FT.	P.O.B.	POINT OF BEGINNING		
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		· · ·		



• • SET 5/8 - INCH IRON ROD WITH PLASTIC CAP STAMPED COSTELLO INC UNLESS OTHERWISE NOTED

● FOUND 5/8 - INCH IRON ROD UNLESS OTHERWISE NOTED

1 · INDICATES BLOCK NUMBER

A · INDICATES RESERVE

+ INDICATES STREET NAME BREAK

RESERVE "A" HERITAGE PARK SUBDIVISION SECTION NO. 2 DOCUMENT_NO. 2017045765 0.P.R.B.C.

SHEET 2 — MATCHLINE -SHEET 3

DISTRICT .R.B.C.

9.032 ACRES NGLETON DRAINAGE VOL.329, PG.340 D.

 \triangleleft

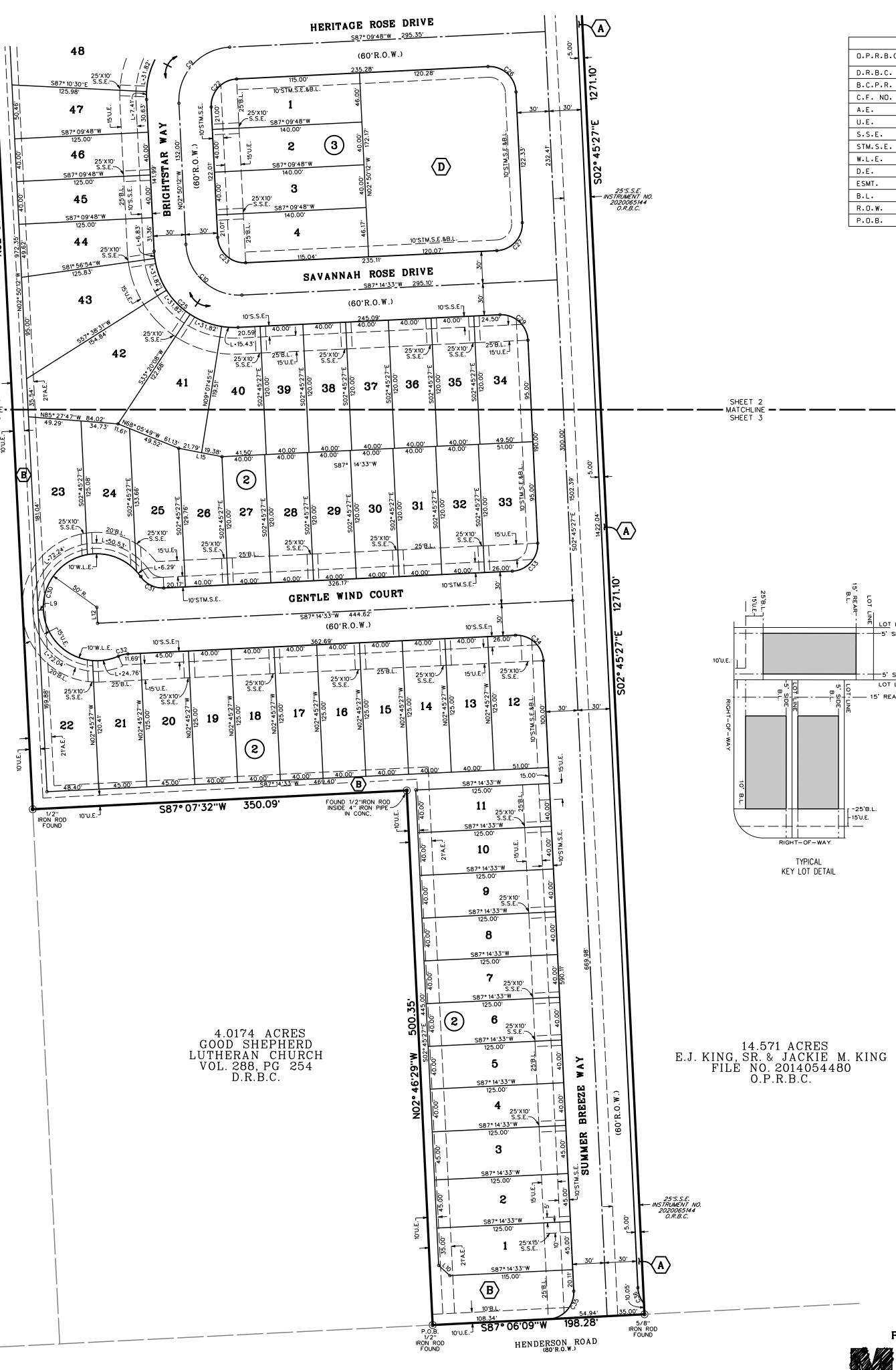
WINDROSE GREEN SECTION THREE RESERVE TABLE		
DESCRIPTION	LAND USE	ACREAGE/SQUARE FOOTAGE
RESERVE "A"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.40 AC. / 17,361 SQ FT.
RESERVE "B"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.76 AC. / 33,046 SQ FT.
RESERVE "C"	LANDSCAPE / OPEN SPACE / DRAINAGE	0.06 AC. / 26,000 SQ FT.
RESERVE "D"	PARK	0.57 AC. / 24,743 SQ FT.
TOTAL:		1.79 AC. / 101,150 SQ FT.

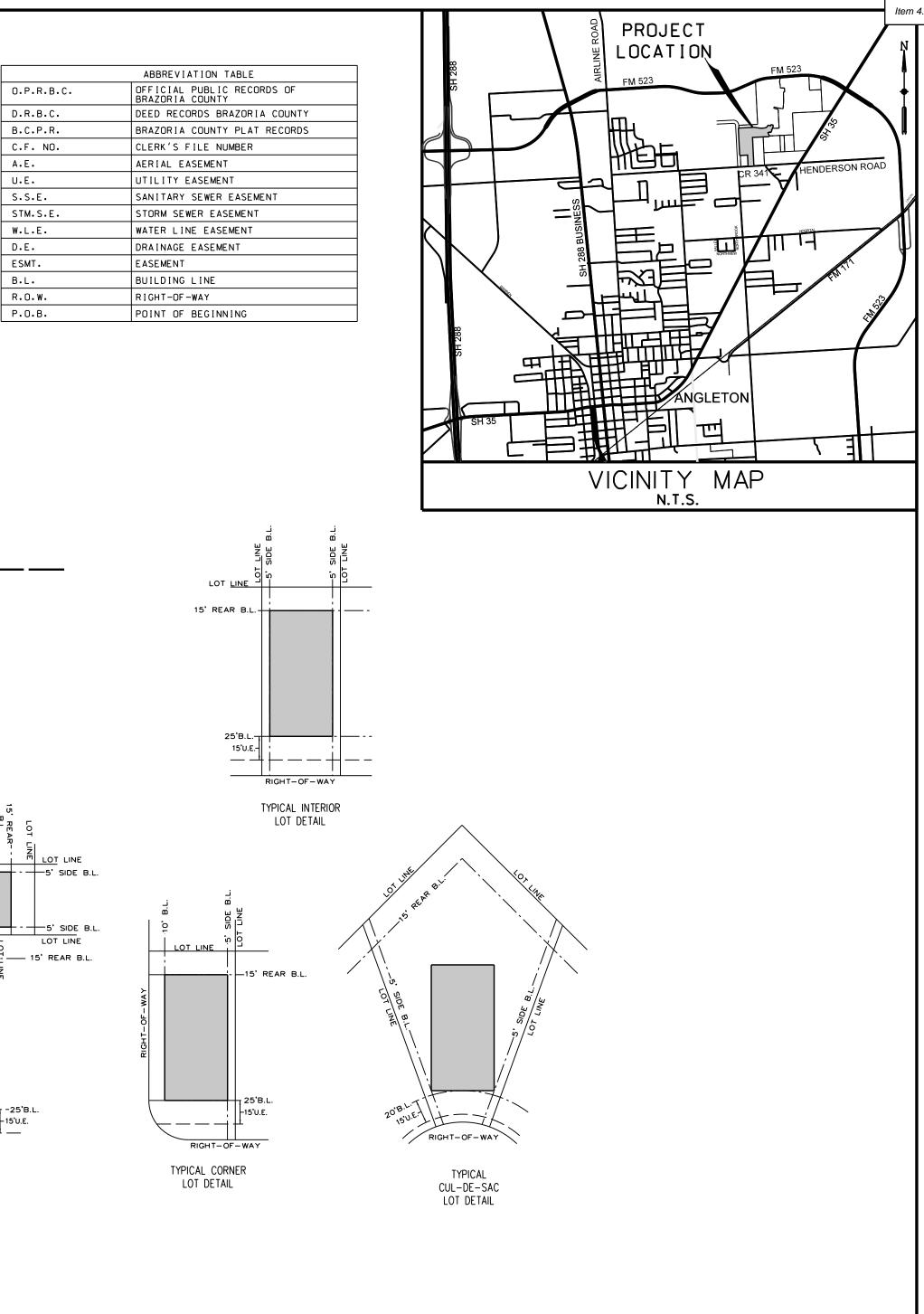
<u>LINE DATA TABLE</u>

NUMBER	DIRECTION	DISTANCE
		(FEET)
L1	N21° 44'36''E	32.57
L2	N62° 31'20''E	15.14
L3	S26° 29'59''W	60.00
L4	S02° 47'14''E	15.00
L5	N42° 09'48''E	14.14
L6	N47°50'12''W	14.14
L7	S15° 35'32''E	20.00
L8	N87° 25'20''E	4.99
L9	S87°07'20''W	5.02
L10	N47° 45'27''W	14.14
L11	S02° 50'12''E	14.61
L12	N02° 45'27''W	15.00
L13	N11° 42'23''W	35.46
L14	N79° 04'05''E	40.40
L15	N79° 03'05''W	41.17

<u>CURVE DATA TABLE</u>

NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH
	(FEET)	(FEET)			(FEET)
C1	31.77	270.00	6° 44' 33''	N09° 55'49''E	31.75
C2	19.31	1770.00	0° 37' 30''	N06° 14'47''E	19.31
C3	19.96	1830.00	0° 37' 30''	S06° 14'47''W	19.96
C4	179.28	330.00	31° 7' 38''	S22° 07'21''W	177.08
C5	44.15	25.00	101° 11' 11''	S12° 54'25''E	38.63
C6	37.53	330.00	6° 30' 57''	N60° 14'32''W	37.51
C7	29.10	25.00	66° 41'16''	S89° 40'19''W	27.48
C8	100.13	330.00	17° 23' 9''	S65° 01'15''W	99.75
C9	78.54	50.00	90° 0'0''	N42°09'48''E	70.71
C10	78.47	50.00	89° 55' 15''	S47° 47'50''E	70.66
C11	190.90	1000.00	10° 56' 16''	S87° 22'04''E	190.61
C12	373.48	1000.00	21° 23' 56''	N87° 24'06''E	371.32
C13	367.27	300.00	70° 8' 35''	N41° 37'50''E	344.76
C14	71.98	300.00	13° 44' 47''	S56° 37'37''E	71.80
C15	19.63	1800.00	0° 37' 30''	N06° 14'47''E	19.63
C16	16.09	25.00	36° 52' 11''	S21º 11'33''E	15.81
C17	39.85	25.00	91° 20' 7''	S42° 54'37''W	35.76
C18	39.30	25.00	90° 4'45''	N47° 47'50''W	35.38
C19	226.25	50.00	259° 15' 58''	S20° 37'23''E	77.01
C20	9.53	25.00	21° 50' 48''	S81° 54'48''E	9.47
C21	25.05	25.00	57° 25' 10''	N58° 27'13''E	24.02
C22	39.27	25.00	90° 0'0''	S42°09'48''W	35.36
C23	39.24	25.00	89° 55' 15''	S47° 47'50''E	35.33
C24	117.81	75.00	90° 0'0''	S42°09'48''W	106.07
C25	117.71	75.00	89° 55' 15''	S47° 47'50''E	105.99
C26	39.30	25.00	90° 4'45''	S47° 47'50''E	35.38
C27	39.27	25.00	90° 0'0''	N42° 14'33''E	35.36
C28	39.24	25.00	89° 55' 15''	N42° 12'10''E	35.33
C29	39.27	25.00	90° 0'0''	S47° 45'27''E	35.36
C30	225.85	50.00	258° 48' 31''	S15° 36'26''W	77.27
C31	25.21	25.00	57° 46'9"	S63° 52'23''E	24.15
C32	9.18	25.00	21° 2'22''	N76° 43'22''E	9.13
C33	39.27	25.00	90° 0'0''	N42° 14'33''E	35.36
C34	39.27	25.00	90° 0'0''	S47° 45'27''E	35.36
C35	39.21	25.00	89° 51' 36''	S42° 10'21''W	35.31





FINAL PLAT OF WINDROSE GREEN SECTION THREE

BEING 23.70 ACRES LOCATED IN THE T. S. LEE SURVEY, A-318 BRAZORIA COUNTY, TEXAS 122 LOTS 4 RESERVES 3 BLOCKS

> SCALE: 1" = 60' APRIL, 2023

ENGINEER/SURVEYOR:





COSTELLO, INC. 2107 CITYWEST BOULEVARD 3RD FLOOR HOUSTON, TEXAS 77042 (712) 782 7788 FAX: 782 2520 (713) 783-7788 FAX 783-3580 TBPE FIRM REGISTRATION NO. 280 TBPLS FIRM REGISTRATION NO. 100486

Costello

SHEET 3 OF 3



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 22823		
TYPE OF PLAT APPLICATION		
ADMINISTRATIVE PRELIMINARY FINAL MINOR RESIDENTIAL RESIDENTIAL RESIDENTIAL AMENDING/REPLAT COMMERCIAL COMMERCIAL COMMERCIAL Address of property: HENAUSCA Road West of SH35 Name of Applicant: Remissa M. Gama Montalvo, Auco, (Methone: 281-788-8015 Name of Company: Costello, Tuc. Phone: 713-783-7788 E-mail: Ygarza Montalvo & costelloinc. Com		
Name of Owner of Property: Emptor Angleton, LLC Address: 9950 Westpark Drive #285 Houston, TX 77043		
Phone:E-mail:		
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief. Signature of Owner or Agent for Owner (Applicant)		
Sworn to and subscribed before me this 27^{+} day of <u>February</u> , 2023 .		
(SEAL) CASSIDY CRYER My Notary ID # 132521305 Expires June 15, 2024 Notary Public for the State of Texas Commission Expires:		

Item 4.

PROJECT SUMMARY FORM

Address of property Henderson Road west of SH35
The subject property fronts <u>198.28</u> feet on the <u>NOAL</u> side of <u>HemdelySen Road</u> Depth: <u>1,722</u> Area: <u>23.70</u> Acres: <u>1,032,372</u> square feet
INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC):
For the development of 122 single-family residential lots and
Ann reserves.
Is this platting a requirement for obtaining a building permit? <u>Y</u> YESNO
INDICATE ADDITIONAL INFORMATION THAT WILL ASSIST WITH THE REVIEW OF THIS APPLICATION.
Name: Renissa M. Gana Montalvo Date: 2/28/23 ALCP, UPRP

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APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description) Being 23. TUAL Wated in the T.S. Lee Survey, A-318 Brazma County, TX

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAM	E OF APPLICANT: COSTEL	O Engineening (Remissal Gana Montalivo MCP, CPRP)
ADD	RESS: 2107 City Wes	- Blvd, 319 PI Houston, TX 77042
APPL	LICANT PHONE # 281-768-	BOLEE-MAIL: rganamontalvo Ccostelloinc.com
PRIN	TED NAME OF OWNER:	Jeb Kolby, P.E. Clancourse Development, LC)
SIGN	ATURE OF OWNER:	DATE: 2/27/23
NOTA	ARIAL STATEMENT FOR PROP.	ERTY OWNER:
Swor	n to and subscribed before me this	and day of February, 20 <u>23</u> .
(SEAL)	CASSIDY CRYER My Notary ID # 132521305 Expires June 15, 2024	Notary Public for the State of Texas

Commission Expires: $6.15 \cdot 24$

SUBMITTAL REQUIREMENTS Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

- 1. A completed application form and application fee;
- 2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with \$117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
- 3. A preliminary utility plan showing all existing and proposed utilities;
- 4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
- 5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
- 6. A drainage report, as set out in section 23-15, Drainage and utilities;
- 7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
- 8. A current tax certificate(s);
- 9. Construction plans may be submitted at the option of the applicant;
- 10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
- 11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
- 12. Heritage tree survey and a tree preservation plan;
- 13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
- 14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

*RESIDENTIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)200 Lots or less\$800.00 plus \$6.00 per lotMore than 200 Lots\$4.00 per additional lot over 200Plan Review Fee by City Engineer\$1,000.00deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

*COMMERCIAL (Preliminary and Final Plat Fees and	e separate and calculated as detailed herein)
Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00
deposit (If cost of review exceeds deposit amount,	
balance of cost will be billed at a later time)	

OFFICE USE ONLY:

Date received:	By:		
Type of Plat:			
Description of individual charges:			
Total Fee Received:	By:		
Proof of taxes received:Yes	If no, explain:		
PRELIMINARY PLAT MEETING	<u>GS:</u>		
Pre-submission conference/meeting	g date:		
Received Preliminary Plat on:by			
Preliminary plat staff meeting date	•		
Planning & Zoning meeting date:			
City Council meeting date:			
<u>FINAL PLAT MEETINGS:</u>			
Received final plat on	by		
Reviewed by Staff on	by		
Planning & Zoning meeting date:			
City Council meeting date:			
Filed with County Clerk on:			
File-stamped copy to owner/develo	oper on:		

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AGENDA ITEM SECTION:	Consent Agenda Item
AGENDA CONTENT:	Discussion and possible action on a Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes, out of the Shubael Marsh Survey A-81 &A- 82, Brazoria County, Texas as submitted by Ashton Gray Development.
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services
MEETING DATE:	April 11, 2023

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

Consideration of approval of a Preliminary Plat for Ashland Development Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes and to allow for a lift station, out of the Shubael Marsh Survey A-81 & A-82, Brazoria County, Texas as submitted by META Planning and Design LLC on behalf of Ashton Gray Development.

The property is currently within the ETJ, Extraterritorial Jurisdiction within Brazoria County.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented the Preliminary Plat for Ashland Utility Reserve, for 0.23 acres of land, containing two reserves in one block for utility purposes. The City Engineer has reviewed the submitted Preliminary Plat for Ashland Utility Reserve, and listed (9) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

The planning commission should approve the Preliminary Plat for Ashland Development Utility Reserve, 0.23 acres of land, containing two reserves in one block for utility purposes and a lift station and recommend it to City Council for final action, subject the final approval of the Development Agreement.

Commission Action:

Motion was made by Commission Member Michelle Townsend to approve approves of the proposed final plat and recommends it to the City Council for final action subject to final approval of the DA. Motion was seconded by Commission Member Regina Bieri.

Commission Action:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby; Aye; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Aye and Commission Member Michelle Townsend- Aye.

Roll Call vote:

Motion carried, 6 -1 vote.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Utility Reserve, and listed (9) comments which have all been addressed by the applicant. Staff has cleared all the noted comments.

RECOMMENDATION: The planning commission approved the Preliminary Plat for Ashland Development Utility Reserve, 0.23 acres of land, containing two reserves in one block for utility purposes and a lift station and recommend it to City Council for final action, subject the final approval of the Development Agreement.

April 2, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services
 Ashland Subdivision – Utility Reserves Preliminary Plat – <u>1st</u> Submittal Review
 Angleton, Texas
 HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 1

- 1. Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1).
- 2. Metes and Bounds Field Notes to be provided.
- 3. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
- 4. Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station).
- 5. Plat note #9 For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.
- 6. At least one corner referencing a survey (abstract) corner per Angleton LDC Sec. 23-117 B.1.a.
- 7. Verify table to include decimals to correlate with metes and bounds description to be provided.
- 8. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
- 9. Complete all information noted in the dedication statement.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Utility Reserves Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM Civil Engineer

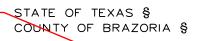
cc: Files (10361761)

Attachments

 hdrinc.com
 4828 Loop Central Drive, Suite 800, Houston, TX 77081-2220

 T (713) 622-9264
 F (713) 622-9265

 Texas Registered Engineering Firm F-754



Complete all in

statement.

noted in the dedication

formation

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS § COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion. but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Duly Authorized Agent

STATE OF TEXAS § COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ___ day of _____, ____.

_____ Notary Public State of Texas

Owner

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares Registered Professional Land Surveyor No. 5317

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

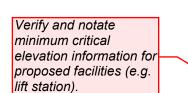
That I, William A.C. McAshan, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshan, P.E. Professional Engineer

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE

PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT TH TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUA UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.



Verify information noted.

subdivision is completely

within Zone X (shaded).

It appears this

8.)

10.)

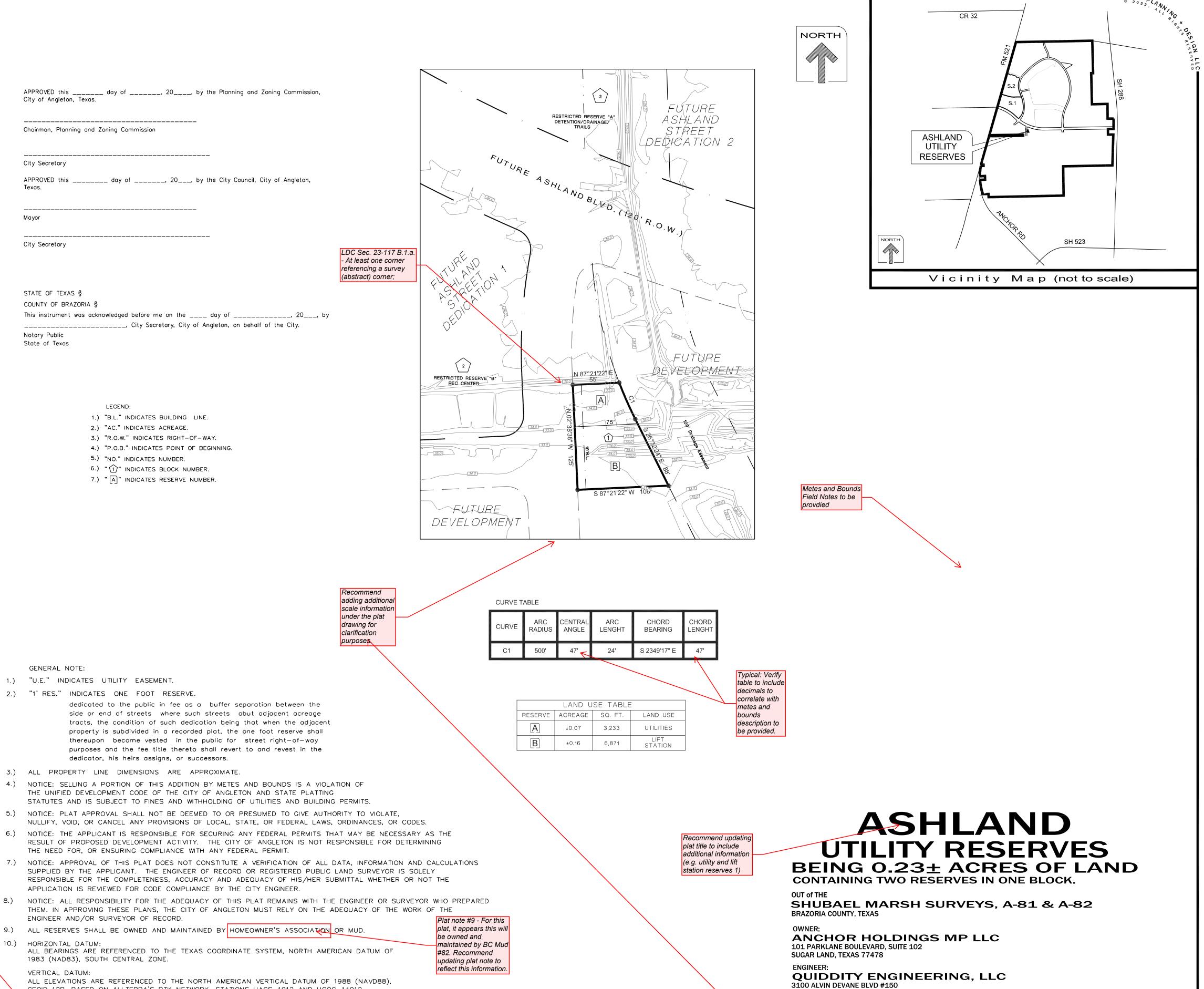
11.)

City Secretary

Mayor

City Secretary

Notary Public State of Texas



GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.

THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, AP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND

INCORPORATED AREAS. 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC. WITH THE AID OF INFORMATION PROVIDED BY

QUIDDITY ENGINEERING, LLC. 13.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No. 10046100,. IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.

14.) • PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC., UPON RECORDATION OF A FINAL PLAT. 15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82. CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

	HLA		
UTILITY	RES	ERVE	S

3100 ALVIN DEVANE BLVD #150 AUSTIN, TEXAS 78741 (512) 441-9493

SURVEYOR **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401

TBPELS Firm Registration No. 10046104

SCALE: 1" = 60

MARCH 1, 2023

PLANNER:

PLANNING + DESIGN META PLANNING + DESIGN LLC 24285 KATY FREEWAY, SUITE 525 KATY, TEXAS 77494 | TEL: 281-810-1422 MTA-78006

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April 3, 2023

Mr. Otis Spriggs Development Services Director 121 S. Velasco Street, Angleton, TX, 77515

Re: ASHLAND UTILITY AND LIFT STATION RESERVES- RESUBMITTAL

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

- 1. Recommend updating plat title to include additional information (e.g. utility and lift station reserves 1). Response: The plat has been renamed Ashland Utility and Lift Station Reserves. Please see updated plat.
- 2. Metes and Bounds Field Notes to be provided. Response: Metes and Bounds have been included. Please see updated plat.
- 3. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded). Response: The FIRM information as provided is correct.
- 4. Verify and notate minimum critical elevation information for proposed facilities (e.g. lift station). Response: A note to address this has been added to the plat. Please see updated plat.
- Plat note #9 For this plat, it appears this will be owned and maintained by BC Mud #82. Recommend updating plat note to reflect this information.
 Response: Note #9 has been updated to read as follows: "All reserves shall be owned and maintained by Brazoria County MUD 82 or Centric Gas and Fiber" (Centric will maintain the Fiber Hub). Please see updated plat.
- 6. At least one corner referencing a survey (abstract) corner per Angleton LDC Sec. 23-117 B.1.a. **Response: A survey tie has been provided. Please see updated plat.**
- Update table to include decimals as noted in the metes and bounds description (Typical).
 Response: The line and curve tables have been updated to reflect decimals. Please see updated plat.
- 8. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ. **Response: The boundary is not within this plat boundary.**
- Complete all information noted in the dedication statement.
 Response: The dedication statement has been completed. Please see updated plat.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,

Caitlin King

Caitlin King Enclosure

STATE OF TEXAS § COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Ashland Utility and Lift Station Reserves, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS § COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion. but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner

Duly Authorized Agent

STATE OF TEXAS § COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ___ day of _____, ____.

------Notary Public State of Texas

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares Registered Professional Land Surveyor No. 5317

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshan, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshan, P.E. Professional Engineer

DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT TH TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OB CITY-COUNCIL THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS. EXPRESS OR IMPLIED CONCERNING THE DESIGN LOCATION QUALITY, CHARACTER OF ACTUA UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

City Secretary

_____ Mayor

City Secretary

This instrument was acknowledged before me on the ____ day of _____, 20___, by _, City Secretary, City of Angleton, on behalf of the City. Notary Public

STATE OF TEXAS§

A METES & BOUNDS description of a certain 0.2320-acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPROBC); said 0.2320-acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01-008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Records;

THENCE, South 14°02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1527.59 feet to a point for corner, from which a found 1/2-inch iron rod (with cap stamped "CBG") bears South 14°02'37" West, 554.42 feet; THENCE, over and across said 469.08-acre tract the following six (6) courses and distances:

of the herein described subject tract; 2.North 87°21'22" East, 55.31 feet to a point for corner marking the beginning of a

5. South 87°21'22" West, 108.23 feet to a point for corner;

GENERAL NOTE: 1.) "U.E." INDICATES UTILITY EASEMENT. 2.) "1' RES." INDICATES ONE FOOT RESERVE.

4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS

5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.

7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE

APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.

NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED 8.) THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

10.) HORIZONTAL DATUM:

VERTICAL DATUM:

THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, 11.) MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND

INCORPORATED AREAS. 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC. WITH THE AID OF INFORMATION PROVIDED BY

QUIDDITY ENGINEERING, LLC. 13.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No. 10046100,. IS A SUBCONSULTANT ONLY

AND HAS NOT PREPARED THIS PRELIMINARY PLAT. 14.) • PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC., UPON RECORDATION OF A FINAL PLAT.

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

APPROVED this _____ day of _____, 20___, by the City Council, City of Angleton,

STATE OF TEXAS §

COUNTY OF BRAZORIA §

State of Texas

COUNTY OF BRAZORIA

1. South 75°57'23" East, 1730.07 feet to a point for corner marking the **POINT OF BEGINNING**

non-tangent curve to the left;

3. Along the arc of said non-tangent curve to the left having a radius of 500.00 feet, a central angle of 05°26'14", an arc length of 47.45 feet, and a long chord bearing South 23°49'17" East, with a chord length of 47.43 feet to a point for corner;

4. South 26°32'24" East, 88.34 feet to a point for corner,

North 02°38'38" West, 125.00 feet to the POINT OF BEGINNING, CONTAINING 0.2320 acres of land situated in Brazoria County. Texas

dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the

dedicator, his heirs assigns, or successors. 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.

6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE

RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.

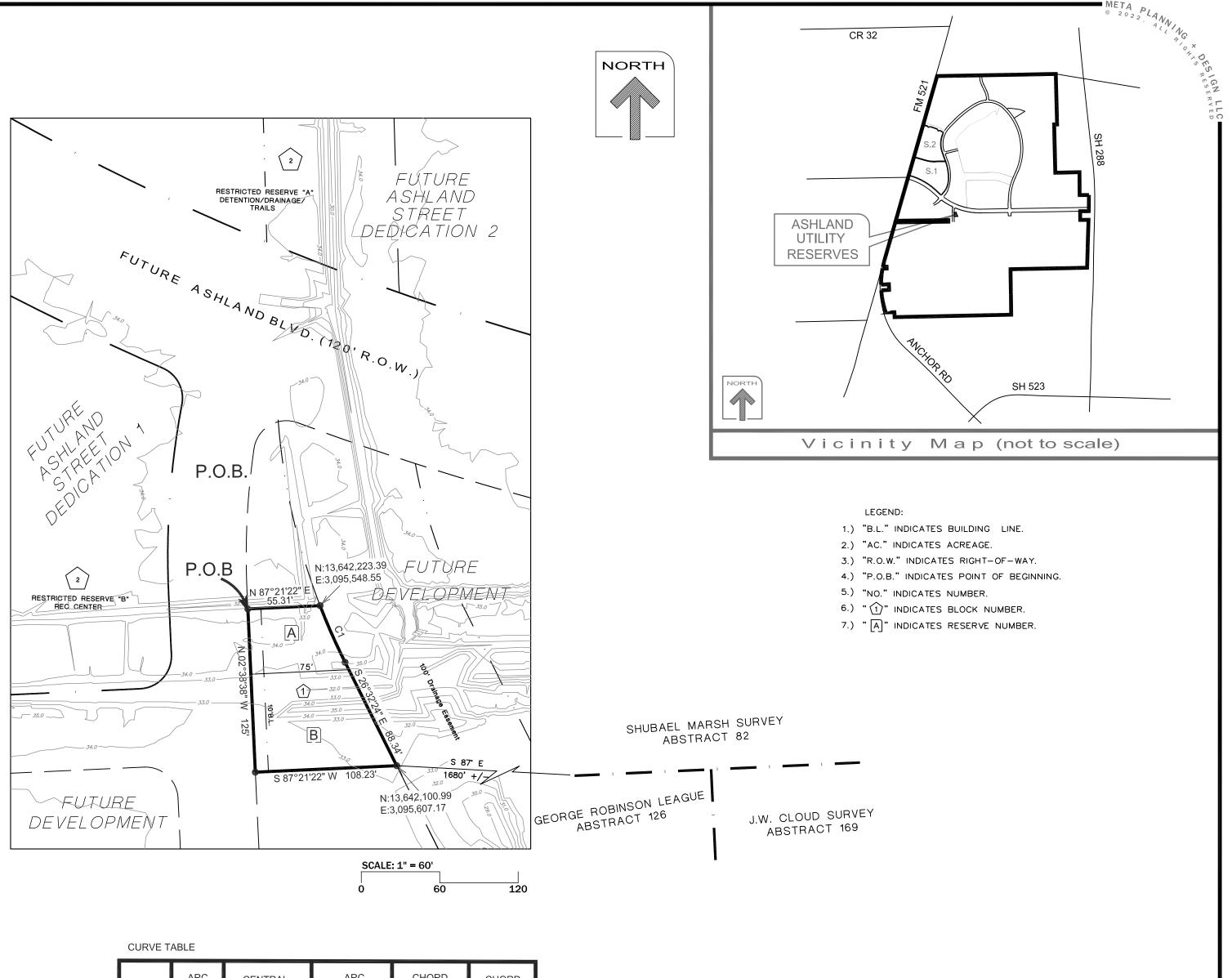
9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY BRAZORIA COUNTY MUD 82 OR CENTRIC GAS AND FIBER.

ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.

ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.

15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82. CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

16.) CRITICAL ELEVATIONS SHALL BE SET PER CITY OF ANGLETON GUIDELINES FOR MINIMUM SLAB ELEVATIONS.



CURVE	ARC	CENTRAL	ARC	CHORD	CHORD
	RADIUS	ANGLE	LENGTH	BEARING	LENGTH
C1	500'	0526'14"	47.45'	S 23 ² 49'17" E	47.43'

	LAND U	SE TABLE	
RESERVE	ACREAGE	SQ. FT.	LAND USE
A	±0.07	3,233	UTILITIES
В	±0.16	6,871	LIFT STATION



CONTAINING TWO RESERVES IN ONE BLOCK. OUT of THE

SHUBAEL MARSH SURVEYS, A-81 & A-82 **BRAZORIA COUNTY, TEXAS**

OWNER: ANCHOR HOLDINGS MP LLC 101 PARKLANE BOULEVARD, SUITE 102 SUGAR LAND, TEXAS 77478 ENGINEER: QUIDDITY ENGINEERING, LLC 3100 ALVIN DEVANE BLVD #150

AUSTIN, TEXAS 78741 (512) 441-9493 SURVEYOR

QUIDDITY ENGINEERING, LLC 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401 **TBPELS Firm Registration No. 10046104**

SCALE: 1" = 60'

APRIL 03, 2023



META PLANNING + DESIGN LLC 24285 KATY FREEWAY, SUITE 525 KATY, TEXAS 77494 | TEL: 281-810-1422 MTA-78006

41

ltem 5.



MEETING DATE:	April 11, 2023
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services
AGENDA CONTENT:	Discussion and possible action on the preliminary plat of the Ashland Project Coral Haven Street Dedication
AGENDA ITEM SECTION:	Consent Agenda Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY. This is a request for approval of the Ashland Project Street Dedication #2 Preliminary Plat (Attachment 1). The subject property is located within the City of Angleton ETJ between SH 521 and SH 288 and north of SH 523. No development agreement is in place to establish standards for the Ashland Project.

For roads, the construction of which are governed by the pending development agreement between City and developer, County and City shall jointly coordinate and cross-reference construction standards to verify that the roads are constructed to meet or exceed County standards.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented the Ashland Project Coral Haven Street Dedication. The City Engineer has reviewed the submitted Preliminary Plat, and listed (7) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Ashland Coral Haven Street Dedication Plat and forward it to City Council for final action, subject to the final approval of the Development Agreement. Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve approves of the proposed final plat and recommends it to the City Council for final action subject to final approval of the DA. Motion was seconded by Commission Member Michelle Townsend.

Commission Action:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Aye; Commission Member Ellen Eby; Aye; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Aye and Commission Member Michelle Townsend- Aye.

Roll Call vote:

Motion carried, 6 -1 vote.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Development Coral Haven Street Dedication Plat, and listed (7) comments that were all addressed by the applicant. Staff has cleared all the noted comments.

<u>**Recommendation.</u>** The Planning Commission recommends approval of the Preliminary Plat for Ashland Coral Haven Street Dedication Plat and forwards it to City Council for final action, subject to the final approval of the Development Agreement.</u> April 2, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services Ashland Subdivision – Coral Haven Street Dedication Preliminary Plat – <u>1st Submittal Review</u> Angleton, Texas HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

- 1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
- 2. Verify and update bearing information shown in the metes and bounds description (Typical).
- 3. Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point of beginning.

Sheet 2 of 2

- 1. Label tables shown on the plat (Typical).
- 2. Update table to include central angle information as noted in the metes and bounds description (Typical).
- 3. Update table to include decimals as noted in the metes and bounds description (Typical).
- 4. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Coral Haven Street Dedication Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM Civil Engineer

cc: Files (10361761)

Attachments

STATE OF TEXAS § COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby Angleton, Texas. adopt this plat designating the hereinabove described property as Coral Haven Street Dedication, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated Chairman, Planning and Zoning Commission for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City -----of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all City Secretary public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City APPROVED this _____ day of _____, 20___, by the City Council, City of Angleton, Texas. of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, Mayo maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone. City Secretary STATE OF TEXAS § COUNTY OF BRAZORIA § This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns: STATE OF TEXAS § "Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance COUNTY OF BRAZORIA § of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements This instrument was acknowledged before me on the ____ day of _____, 20___, by and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee _____, City Secretary, City of Angleton, on behalf of the City. simple title to the Drainage and Floodway Easement shall always remain in the Owner(s). Notary Public The City and Angleton Drainage District will not be responsible for the maintenance and operation of State of Texas easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion. but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved. The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of GENERAL NOTE: maintenance work by the Owners to alleviate any public health or safety issues. 1.) "U.E." INDICATES UTILITY EASEMENT. The Association hereby agrees to indemnify and hold harmless the City from any such damages and in juries. 2.) "1' RES." INDICATES ONE FOOT RESERVE. dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage

Verify information noted.

subdivision is completely

within Zone X (shaded).

It appears this

10.)

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

------Owner

Duly Authorized Agent

STATE OF TEXAS § COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity, therein stated. Given under my hand and seal of office this ___ day of _____, ____,

Notary Public State of Texas

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares Registered Professional Land Surveyor No. 5317

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshan, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshan, P.E. Professional Engineer No. 101133

IN THE PRELIMINARY SUBDIVISION PLAT.

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THI PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED

DISCLAIMER AND LIMITED WARRANTY

Verify and update bearing information shown in the metes and bounds description (Typical) tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs assigns, or successors. 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE. 4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS. 5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES. 6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT. 7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER. 8.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD. 9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD. HORIZONTAL DATUM: ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE. VERTICAL DATUM: ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 128, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012. 11.) THESE TRACT LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND

INCORPORATED AREAS. 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC. WITH THE AID OF INFORMATION PROVIDED BY

QUIDDITY ENGINEERING, LLC. 13.) QUIDDITY ENGINEERING, LLC., TBPE FIRM REGISTRATION NO. F-23290, TBPLS FIRM REGISTRATION No. 10046100,. IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.

14.) • PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC, UPON RECORDATION OF A FINAL PLAT.

15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82. CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

LEGEND:

- 1.) 2.) "AC." INDICATES ACREAGE.
- 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
- 4.) "P.O.B." INDICATES POINT OF BEGINNING.
- 5.) "VOL." INDICATES VOLUME.
- 6.) "PG." INDICATES PAGE.
- 7.) " $\langle 2 \rangle$ " indicates block number.
- 9.) "A" INDICATES RESERVE NUMBER

WIETA PLANN © 2023 LANN ALANN ALANN ALANN

Item 6.

E	DISTANCE	BEARING
	68'	N 60°41'32" W
	60'	N 66°32'39" W
	60'	N 75°57'23" W
	60'	N 75°57'23" W
	104'	N 75°57'23" W
	120'	N 14°02'37" E
	275'	S 75°57'23" E
	63'	N 60°41'32" W
	117'	S 26°54'50" W

CURVE	RADIUS	ARC	TANGENT	BEARING	CHORD
C1	1200'	320'	161'	S 68°19'27" E	319'
C2	990'	410'	208'	S 15°14'11" W	407'
C3	25'	36'	22'	S 18°56'20" E	33'
C4	1165'	28'	14'	S 61°23'00" E	28'
C5	25'	41'	27'	S 70°41'26" W	37'
C6	1020'	3'	2'	S 23°32'44" W	3'
C7	25'	40'	26'	S 21°59'10" E	36'
C8	1165'	170'	85'	N 71°46'55" W	170'
C9	25'	39'	25'	S 59°02'37" W	35'
C10	25'	39'	25'	N 30°57'23" W	35'
C11	25'	39'	25'	S 59°02'37" W	35'
C12	25'	39'	25'	N 30°57'23" W	35'
C13	1235'	329'	165'	S 68°19'27" E	328'
C14	25'	39'	24'	S 75°09'38" W	35'

STATE OF TEXAS §

Show information

on plat for the

2.97acre tract

bearing and

point of beginning.

noted along with

distance to the

COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 1.2349—acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPROBC); said 1.2349-acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01-008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Proceeder.

THENCE, South 14'02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1527.59 feet to a point for corner being the POINT OF BEGINNING of the herein described subject tract marking the beginning of a non-tangent curve to the left;

THENCE, over and across said 469.08-acre tract the following twenty (20) courses and distances:

1. Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing South 30°57'23" East, with a chord length of 35.36 feet to a point for corner; 2. South 75'57'23" East, 274.63 feet to a point for corner marking the beginning of a curve to the right;

Along the arc of said curve to the right having a radius of 1235.00 feet, a central angle of 1515'51", an arc length of 329.02 feet, and a long chord bearing South 68'19'27" East, with a chord length of 328.04 feet to a point for corner;

4. South 60°41'32" East, 62.99 feet to a point for corner marking the beginning of a curve to the left;

5. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 88°17'40", an arc length of 38.53 feet, and a long chord bearing North 75°09'38" East, with a chord length of 34.83 feet to a point for corner marking the beginning of a compound curve to the left;

6. Along the arc of said compound curve to the left having a radius of 815.00 feet, a central angle of 08*11'57", an arc length of 116.63 feet, and a long chord bearing South 26'54'50" West, with a chord length of 116.53 feet to a point for corner marking the beginning of a compound curve to the left;

Along the arc of said compound purve to the left having a radius of 25.00 feet, a central angle of 83°30'22", an arc length of 36.44 feet, and a long chord bearing North 18'56'20" West, with a chord length of 33.30 feet to a point for corner;

8. North 60°41'32" West, 68.01 feet to a point for corner marking the beginning of a curve to the left; Along the arc of said curve to the left having a radius of 1165.00 feet, a central angle of 01°22'57", an arc length of 28.11 feet, and a long chord bearing North 61'23'00" West, with a chord length of 28.11 feet to a point for corner marking the beginning

of a compound curve to the left; 10. Along the arc of said compound curve to the left having a radius of 25.00 feet, a central angle of 94*28'10", an arc length of 41.22 feet, and a long chord bearing South 70°41'26" West, with a chord length of 36.71 feet to a point for corner;

11. North 66*32'39 West, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the right;

12. Along the arc of said non-tangent curve to the right having p radius of 1020.00 feet, a central angle of 00°10'45", an arc length of 3.19 feet, and long chord bearing North 23.32'44" East with a chord length of 3.19 feet to a point for corner marking the beginning of a reverse curve to the left;

13. Along the arc of said reverse curve to the left having a radius of 25.00 feet, a central angle of 9114'34", an arc length of 39.81 feet, and a long chord bearing North 21'59'10" West, with a chord length of 35.74 feet to a point for corner marking the beginning of a compound curve to the the the beginning of a compound curve to the the begin is the begin in the begin is t

14. Along the arc of said compound curve to the left having a radius of 1165.00 feet, a central angle of 08'20'55", an arc length of 169.75 feet, and a long chord bearing North 71°46'55" West, with a chord length of 169.60 feet to a point for corner; 15. North 75'57'23" West, 60.27 feet to a point for corner marking the beginning of a curve to the left;

16. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90'00'00", an arc length of 39.27 feet, and a long chord bearing South 59'02'37" West, with a chord length of 35.36 feet to a point for corner;

17. North 75'57'23" West, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the left;

18. Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 90°00'00", an arc length of 39.27 feet, and a long chord bearing North 30.57'23" West, with a chord length of 35.36 feet to a point for corner;

19. North 75'57'23" West, 104.37 feet to a point for corner marking the beginning of a curve to the left;

20. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90'00'00", an arc length of 39.27 feet, and a long chord bearing South 59°02'37" West, with a chord length of 35.36 feet to a point for corner marking the southwest corner of the herein described subject tract, being common with the east line of aforementioned F.M. Highway 521 and the west line of said 469.08-acre tract;

THENCE, North 14'02'37" East, along said common lines, 120.00 feet to the POINT OF BEGINNING, CONTAINING 1.2349 acres of land situated in Brazoria County, Texas.



OUT of THE SHUBAEL MARSH SURVEYS, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: **ANCHOR HOLDINGS MP LLC 101 PARKLANE BOULEVARD, SUITE 102** SUGAR LAND, TEXAS 77478 ENGINEER:

QUIDDITY ENGINEERING, LLC 3100 ALVIN DEVANE BLVD #150 AUSTIN, TEXAS 78741 (512) 441-9493

SURVEYOR **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401

TBPELS Firm Registration No. 10046104

SCALE: 1'' = 100

PLANNING + DESIGN

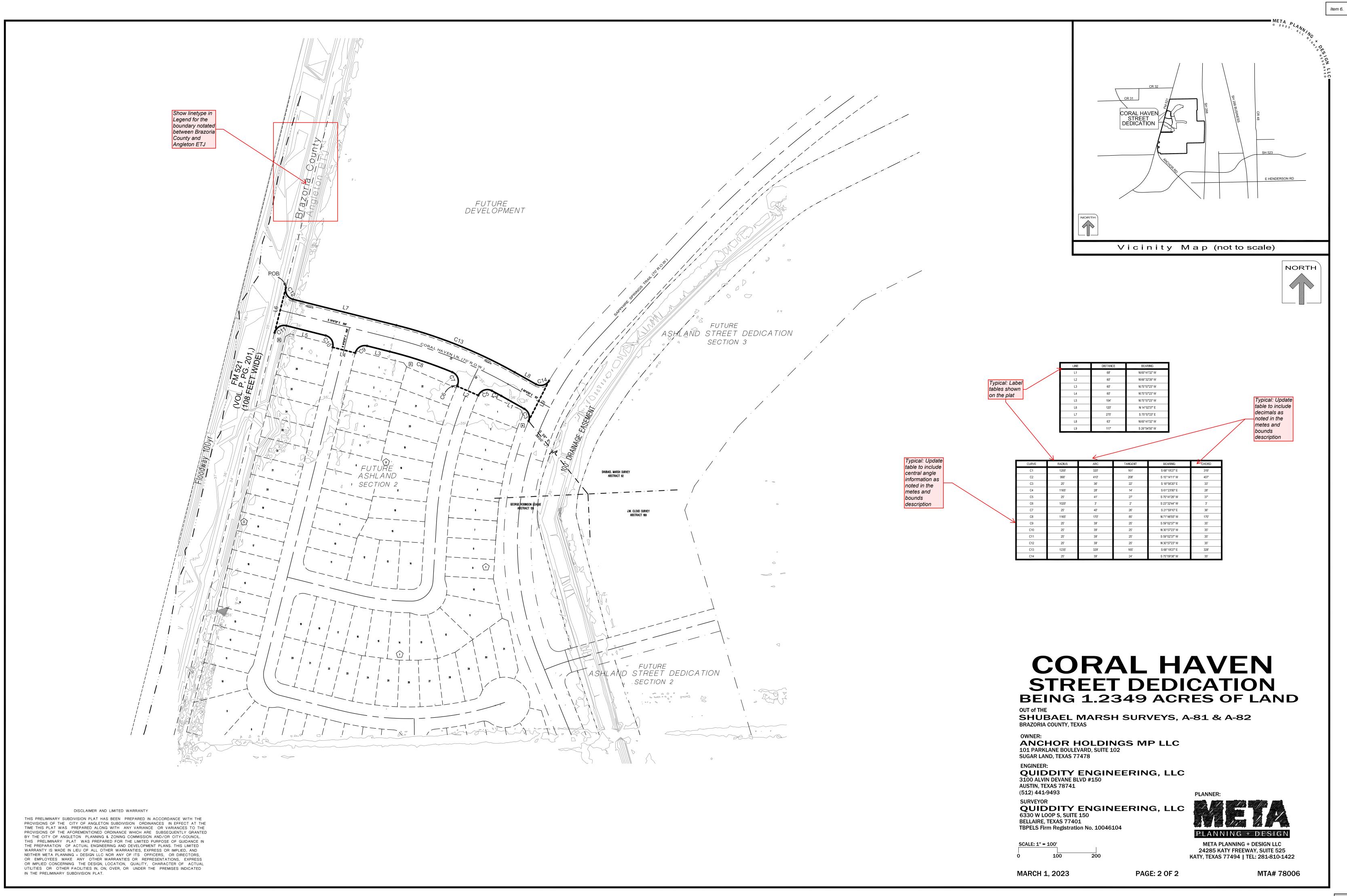
PLANNER:

META PLANNING + DESIGN LLC 24285 KATY FREEWAY, SUITE 525 KATY, TEXAS 77494 | TEL: 281-810-1422

MARCH 1, 2023

PAGE: 1 OF 2

MTA# 78006





APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 11/18/2022		
TYPE OF PLAT APPLICATION		
ADMINISTRATIVE PRELIMINARY MINOR RESIDENTIAL AMENDING/REPLAT COMMERCIAL	FINAL RESIDENTIAL COMMERCIAL	
Address of property:		
Name of Applicant: Caitlin King Phone: 2	281-810-7228	
Name of Company: META Planning + DesignPhone: 2	281-810-1442	
E-mail: cking@meta-pd.com		
Name of Owner of Property: Ashton Gray Development		
Address: 101 Parklane Blvd, Suite 102, Sugar Land, Texas, 77478		
Phone: 281-810-7228 E-mail: cking@meta-pd.com		
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief. Signature of Owner or Agent for Owner (Applicant)		
NOTARIAL STATEMENT FOR APPLICANT:		
Sworn to and subscribed before me this <u>18</u> day of <u>NOVEMDEY</u>	, 20 <u>22</u> .	
(SEAL)	Man State of Texas xpires: 0118/2025	

47



April 3, 2023

Mr. Otis Spriggs Development Services Director 121 S. Velasco Street, Angleton, TX, 77515

Re: CORAL HAVEN STREET DEDICATION

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

- 1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded). Response: The FIRM information provided is correct.
- 2. Verify and update bearing information as shown in the metes and bounds description. **Response: Bearing information has been updated. Please see updated plat.**
- Show information on plat for the 2.97-acre tract noted along with bearing and distance to the point. of beginning.
 Response: Point of Commencement has been provided. Please see updated plat.
- Label tables shown on the plat (Typical).
 Response: The line and curve tables have been labelled. Please see updated plat.
- Update table to include central angle information as noted in the metes and bounds description (Typical).
 Response: Central angles have been provided. Please see updated plat.
- Update table to include decimals as noted in the metes and bounds description (Typical).
 Response: The line and curve table now reflects two decimal places. Please see updated plat.
- 7. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ. Response: The boundary linetype has been included in the legend. Please see updated plat.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,

Caitlin King

Caitlin King Enclosure

STATE OF TEXAS §

COUNTY OF BRAZORIA § NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby Angleton, Texas. adopt this plat designating the hereinabove described property as Coral Haven Street Dedication, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated Chairman, Planning and Zoning Commission for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City _____ of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all City Secretary public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City APPROVED this _____ day of _____, 20___, by the City Council, City of Angleton, Texas. of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, Mayor maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone. City Secretary STATE OF TEXAS § COUNTY OF BRAZORIA § This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns: STATE OF TEXAS § "Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance COUNTY OF BRAZORIA § of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements This instrument was acknowledged before me on the ____ day of _____, 20___, by and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee .____, City Secretary, City of Angleton, on behalf of the City. simple title to the Drainage and Floodway Easement shall always remain in the Owner(s). Notary Public The City and Angleton Drainage District will not be responsible for the maintenance and operation of State of Texas easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion. but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved. The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage GENERAL NOTE District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. 1.) "U.E." INDICATES UTILITY EASEMENT. The Association hereby agrees to indemnify and hold harmless the City from any such damages and in juries. 2.) "1' RES." INDICATES ONE FOOT RESERVE. dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way STATE OF TEXAS § purposes and the fee title thereto shall revert to and revest in the COUNTY OF BRAZORIA § dedicator, his heirs assigns, or successors. The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. 3.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE. 4.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF ------Owner THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS. Duly Authorized Agent 5.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES. STATE OF TEXAS § COUNTY OF BRAZORIA § 6.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT. foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity, therein stated. Given under my hand and seal of office this ___ day of _____, ____, ____, 7.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY Notary Public RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE State of Texas APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER. 8.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD. 9.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY BRAZORIA COUNTY MUD 82 OR HOMEOWNER'S ASSOCIATION. 10.) HORIZONTAL DATUM: STATE OF TEXAS § ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF COUNTY OF BRAZORIA § 1983 (NAD83), SOUTH CENTRAL ZONE. KNOW ALL MEN BY THESE PRESENTS: VERTICAL DATUM: ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012. actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision. 11.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS. Steve Jares 12.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC. WITH THE AID OF INFORMATION PROVIDED BY Registered Professional Land Surveyor QUIDDITY ENGINEERING, LLC. No. 5317

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshan, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshan, P.E. Professional Engineer No. 101133

IN THE PRELIMINARY SUBDIVISION PLAT.

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES EXPRESS OR IMPLIED AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED

DISCLAIMER AND LIMITED WARRANTY

13.) QUIDDITY ENGINEERING, LLC., TBPE FIRM REGISTRATION NO. F-23290, TBPLS FIRM REGISTRATION No. 10046100,. IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.

14.) PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC, UPON RECORDATION OF A FINAL PLAT.

15.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82. CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

LEGEND:

- 1.) 2.) "AC." INDICATES ACREAGE.
- 3.) "R.O.W." INDICATES RIGHT-OF-WAY.
- 4.) "P.O.B." INDICATES POINT OF BEGINNING.
- 5.) "VOL." INDICATES VOLUME.
- 6.) "PG." INDICATES PAGE.
- 7.) " (2) " indicates block number. 8.)
- " A " INDICATES RESERVE NUMBER. 9.)

10.) "----- " INDICATES ANGLETON ETJ/BRAZORIA COUNTY LINE.

COUNTY OF BRAZORIA § to the left; at the beginning of a reverse curve to the left;

STATE OF TEXAS §

- A METES & BOUNDS description of a certain 1.23 acre tract of land situated in the Shubael Marsh Survey, Abstract No. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract of land conveyed to Anchor Holdings by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Property Records of Brazoria County; said 1.23 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;
- COMMENCING at a found concrete monument being the northwest corner of said 469.08 acre tract of land, common with the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the community court Records, and the southwest corner of a called 2.97 acre tract of land conveyed to James W. Northrup & Deborah Northrup recorded in Clerk's File No. 01-008056 of the Official Records of Brazoria County, from which a found concrete monument being the southeast corner of a called 96.50 acre tract of land conveyed to James Wortham Northrup recorded in Clerk's File No. 00-016352 Official Records of Brazoria County bears North 87'05'19" East, 2947.41 feet;
- THENCE, South 14°02'37" West, along the west line of said 469.08 acre tract, common with the east line of said F.M. 521, 1510.45 feet to the POINT OF BEGINNING of the herein described tract at the beginning of a non-tangent curve
- THENCE, over and across said 469.08 acre tract the following nineteen (19) courses and distances:
- 1. Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 89°59'50", an arc length of 39.27 feet, and a long chord bearing South 30°57'18" East, 35.35 feet to a point for corner; 2. South 75'57'13" East, 239.41 feet to a point for corner at the beginning of a curve to the right;
- 3. Along the arc of said curve to the right having a radius of 1230.00 feet, a central angle of 13.53'19", an arc length of 298.15 feet, and a long chord bearing South 69°00'33" East, 297.42 feet to a point for corner; 4. South 62°03'54" East, 133.32 feet to a point for corner at the beginning of a curve to the left;
- 5. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 8614'47", an arc length of 37.63 feet, and a long chord bearing North 74*48'43" East, 34.18 feet to a point for corner at the beginning of a compound curve to the left;
- 6. Along the arch of said compound curve to the left having a radius of 815.00 feet, a central angle of 08*11'32", an arc length of 116.53 feet, and a long chord bearing South 27°35'33" West, 116.43 feet to a point for corner at the beginning of a compound curve to the left;
- 7. Along the arch of said compound curve to the left having a radius of 25.00 feet, a central angle of 85°33'41", an arc length of 37.33 feet, and a long chord bearing North 19°17'03" West, 33.96 feet to a point for corner; 8. North 62°03'54" West, 95.26 feet to a point for corner at the beginning of a curve to the left;
- 9. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 93*59'13", an arc length of 41.01 feet, and a long chord bearing South 70°56'30" West, 36.56 feet to a point for corner;
- 10. North 66'03'06" West, 60.00 feet to a point for corner at the beginning of a non-tangent curve to the right; 11. Along the arc of said non-tangent curve to the right having a radius of 1020.00 feet, a central angle of 00°17'49", an arc length of 5.29 feet, and a long chord bearing North 24°05'48" East, 5.29 feet to a point for corner
- 12. Along the arc of said reverse curve to the left having a radius of 25.00 feet, a central angle of 89'54'46", an arc length of 39.23 feet, and a long chord bearing North 20°42'40" West, 35.33 feet to a point for corner at the beginning of a compound curve to the left;
- 13. Along the arch of said compound curve to the left having a radius of 1160.00 feet, a central angle of 1017'10", an arc length of 208.25 feet, and a long chord bearing North 70°48'38" West, 207.97 feet to a point for corner; 14. North 75'57'13" West, 25.03 feet to a point for corner at the beginning of a curve to the left;
- 15. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90°00'10", an arc length of 39.27 feet, and a long chord bearing South 59'02'42" West, 35.36 feet to a point for corner;
- 16. North 75'57'04" West, 60.00 feet to a point for corner at the beginning of a non-tangent curve to the left;
- 17. Along the arc of said non-tangent curve to the left having a radius of 25.00 feet, a central angle of 89'59'50", an arc length of 39.27 feet, and a long chord bearing North 30*57'18" West, 35.35 feet to a point for corner; 18. North 75'57'13" West, 104.37 feet to a point for corner at the beginning of a curve to the left;
- 19. Along the arc of said curve to the left having a radius of 25.00 feet, a central angle of 90'00'10", an arc length of 39.27 feet, and a long chord bearing South 59°02'42" West, 35.36 feet to a point for corner being in the west line of said 469.08 acre tract being common with the east line of F.M. Highway 521, from which a found 1/2-inch Iron Rod with cap stamped "CBG" marking an angle point in bears South 14'02'37" West, 2980.55 feet;
- THENCE, North 14°02'37" East, 120.00 feet to the POINT OF BEGINNING, CONTAINING 1.2404 acres of land in Brazoria County, Texas.



APRIL 03, 2023

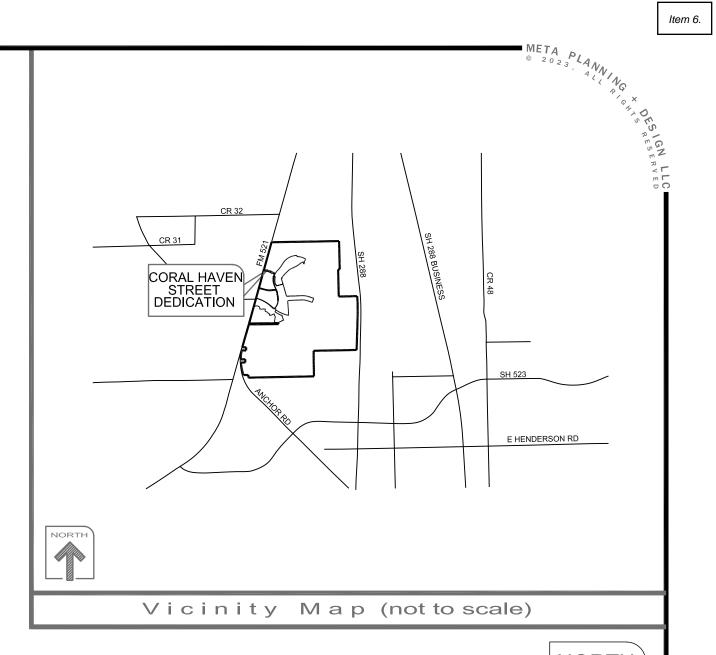
PAGE: 1 OF 2

MTA-78006

Item 6.



THIS PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.



NORTH

LINE TABLE		BLE
LINE	DISTANCE	BEARING
L1	239.47'	S 75°57'13" E
L2	133.32'	S 62°03'54" E
L3	95.26'	N 62°03'54" W
L4	60.00'	N 66°03'06" W
L5	25.03'	N 75°57'13" W
L6	60.00'	N 75°57'23" W
L7	104.37'	N 75°57'13" W
L8	120.03'	S 14°00'56" W

CURVE TABLE						
CURVE	RADIUS	ARC	CENTRAL ANGLE	TANGENT	BEARING	CHORD
C1	25.00'	39.30'	90°03'37"	25.03'	S 30°55'24" E	35.37'
C2	1230.00'	298.15'	13°53'19"	149.81'	S 69°00'33" E	297.42'
C3	25.00'	37.63'	86°14'47"	23.41'	N 74°48'43" E	34.18'
C4	815.00'	116.53'	08°11'32"	58.36'	S 27°35'33" W	116.43'
C5	25.00'	37.33'	85°33'41"	23.13'	S 19°17'03" E	33.96'
C6	25.00'	41.01'	93°59'13"	26.80'	S 70°56'30" W	36.56'
C7	1020.00'	5.29'	00°17'49"	2.64'	N 24°05'48" E	5.29'
C8	25.00'	39.23'	89°54'45"	24.96'	N 20°42'40" W	35.33'
C9	1160.00'	208.25'	10°17'10"	104.41'	N 70°48'38" W	207.97'
C10	25.00'	39.27'	90°00'10"	25.00'	S 59°02'42" W	35.36'
C11	25.00'	39.27'	89°59'50"	25.00'	S 30°57'18" E	35.35'
C12	25.00'	39.27'	90°00'10"	25.00'	S 59°02'42" W	35.36'
C13	1195.00'	289.67'	13°53'19"	145.55'	S 69°00'33" E	288.96'
C14	990.00'	63.74'	03°41'19"	31.88'	S 25°47'33" W	63.73'





AGENDA ITEM SUMMARY FORM

AGENDA ITEM SECTION:	Consent Agenda
AGENDA CONTENT:	Discussion and possible action on a revised preliminary plat for Angleton Park Place Subdivision Section 1.
PREPARED BY:	Otis T. Spriggs, AICP, Development Services Director
MEETING DATE:	April 11, 2023

BUDGETED AMOUNT: None.

FUNDS REQUESTED: None.

FUND: None

EXECUTIVE SUMMARY:

The subject property is located on the southeast corner of E. Phillips Road and Gifford Road, consists of 7.447 acres in Section 1 (16.73 acres in total) and is in the Manufactured Home (MH) zoning district. This project is a manufactured home subdivision and is not a manufactured home park and is proposing 50 lots, 4 blocks, 6 reserves on a 17.72-acre site.

The preliminary plat was originally approved by the Planning and Zoning Commission and City Council in 2021. The applicant Mike Morgan purchased the adjacent lot and will build two entrances on E Phillips Road. This changed triggered the subdivision preliminary plat to be resubmitted as revised.

Pursuant to Section 23-11.I subdivisions containing 30 or more lots must provide two points of 100-year storm compliant public access constructed to ACM standards. The previous planned was approved to have a secondary access off of Gifford Road with the improvements being the responsibility of the Developer. The resubmitted preliminary plat does not entail any new improvements of Gifford Rd.

The second issue is the improvement of Gifford Road on the east side of the property. At one point in time the developer was instructed by staff that half of Gifford Road would have to be constructed as part of this project. Should a variance to Section 23.11. In the granted with any future phase(s), then the only other plausible point for a second 100-year storm compliant public access would be cul-de-sac bulb on Lalia Loop. Using that as the second access point would require construction of Gifford Road.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented Angleton Park Place Subdivision Section 1. He explained the reasoning the resubmitted preliminary was to readjust the2 entrances off of Phillips Rd. The City Engineer has reviewed the submitted Preliminary Plat, and listed (12) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Angleton Park Place Subdivision Section 1 and forward it to City Council for final action.

Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve of the proposed Angleton Park Place Preliminary Subdivision Section 1 and recommend it to the City Council for final action. Motion was seconded by Commission Member Michelle Townsend.

Commission Action:

Motion carried unanimously, 7 -0.

STAFF REVIEW:

The City Engineer has reviewed the submitted Preliminary Plat for Angleton Park Place Subdivision, Section 1 and the listed (12) comments have been addressed by the applicant. At Revisions or resubmittal were received prior to the meeting. Staff has cleared all noted comments.

RECOMMENDATION:

The Planning Commission recommends approval of the Preliminary Plat for Angleton Park Place Subdivision, and forwards the Preliminary Plat to Council for final action.

April 2, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services Angleton Park Place Preliminary Plat (Revised) – <u>1st Submittal Review</u> Angleton, Texas HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

- 1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
- 2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
- 3. Notate applicable future Angleton Park Place phases on the preliminary plat.
- 4. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.
- 5. Verify and update plat to show this portion of Gifford Road as unimproved ROW.
- 6. Show existing Gifford Road intersection on the plat.
- 7. For Reserve "A", update spelling to "Residential".
- 8. Verify and update the name for Boardwalk Street with "Boardwalk" to be one word.
- 9. Remove fire easement from plat if not applicable.
- 10. Move Reserve and Curve Tables outside of plat drawing.
- 11. Include information in plat notes for ownership and maintenance of proposed plat reserves.
- 12. Remove additional text from the Engineer's Certificate.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Angleton Park Place Preliminary Plat (Revised) be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vasquez, P.E., CFM Civil Engineer

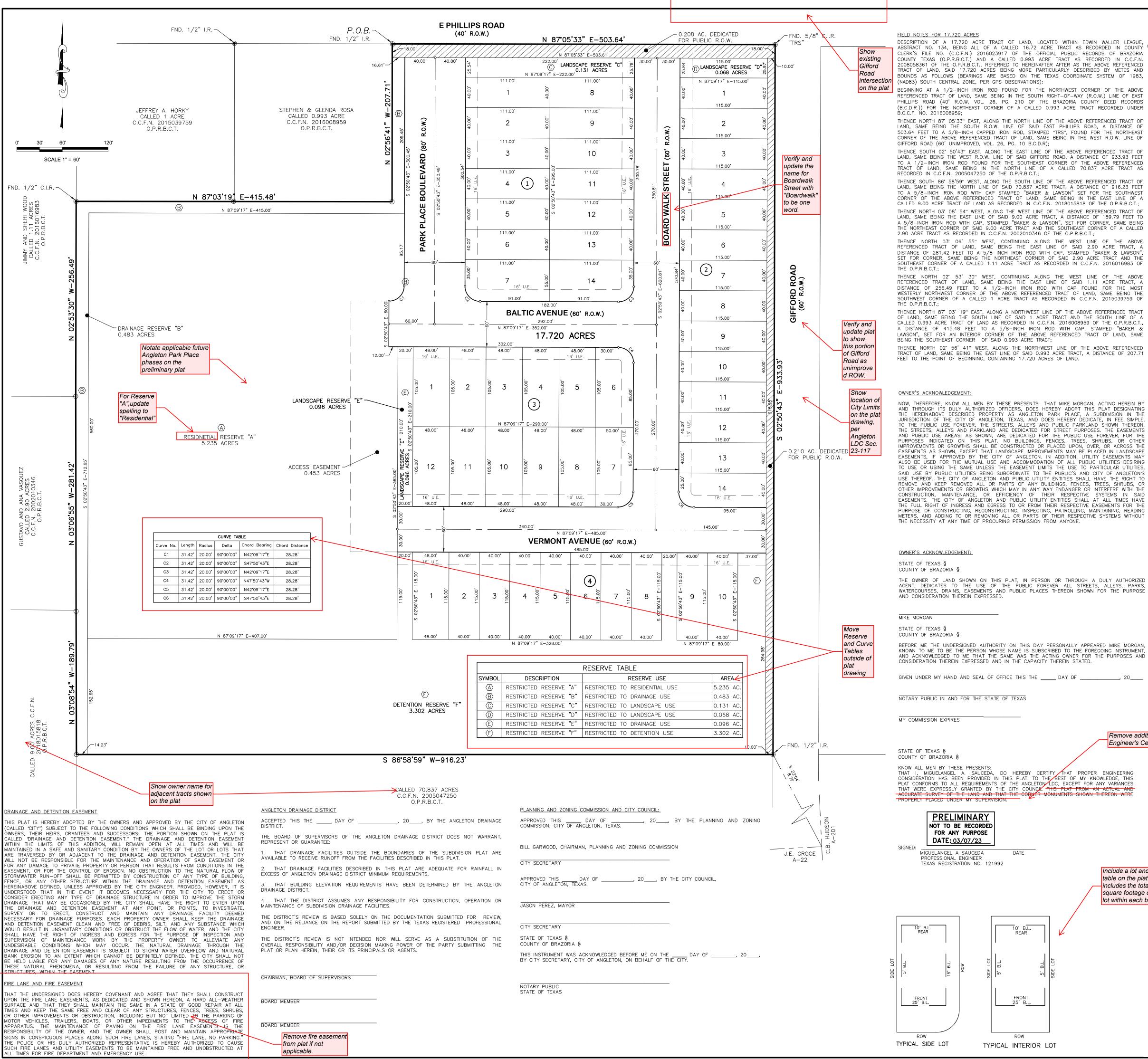
cc: Files (10361761)

Attachments

 hdrinc.com
 4828 Loop Central Drive, Suite 800, Houston, TX 77081-2220

 T (713) 622-9264
 F (713) 622-9265

 Texas Registered Engineering Firm F-754



CLERK'S FILE NO. (C.C.F.N.) 2016023917 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.) AND A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 OF THE OPRBCT REFERRED TO HEREINAFTER AFTER AS THE ABOVE REFERENCED RACT OF LAND, SAID 17.720 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983,

REFERENCED TRACT OF LAND, SAME BEING IN THE SOUTH RIGHT-OF-WAY (R.O.W.) LINE OF EAST PHILLIPS ROAD (40' R.O.W. VOL. 26, PG. 210 OF THE BRAZORIA COUNTY DEED RECORDS (B.C.D.R.)) FOR THE NORTHEAST CORNER OF A CALLED 0.993 ACRE TRACT RECORDED UNDER

LAND, SAME BEING THE SOUTH R.O.W. LINE OF SAID EAST PHILLIPS ROAD, A DISTANCE OF 503.64 FEET TO A 5/8–INCH CAPPED IRON ROD, STAMPED "TRS", FOUND FOR THE NORTHEAS CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE WEST R.O.W. LINE OF

LAND, SAME BEING THE WEST R.O.W. LINE OF SAID GIFFORD ROAD, A DISTANCE OF 933.93 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED LAND, SAME BEING IN THE NORTH LINE OF A CALLED 70.837 ACRE TRACT AS

THENCE SOUTH 86" 58'59" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT O LAND, SAME BEING THE NORTH LINE OF SAID 70.837 ACRE TRACT, A DISTANCE OF 916.23 FEE TO A 5/8—INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" SET FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND. SAME BEING IN THE EAST LINE OF CALLED 9.00 ACRE TRACT OF LAND AS RECORDED IN C.C.F.N. 2018015818 OF THE O.P.R.B.C.T.; THENCE NORTH 03" 08' 54" WEST, ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 9.00 ACRE TRACT, A DISTANCE OF 189.79 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAME BEING THE NORTHEAST CORNER OF SAID 9.00 ACRE TRACT AND THE SOUTHEAST CORNER OF A CALLEI 2.90 ACRE TRACT AS RECORDED IN C.C.F.N. 2002010346 OF THE O.P.R.B.C.T. THENCE NORTH 03" 06' 55" WEST, CONTINUING ALONG THE WEST LINE OF THE ABOVE

DISTANCE OF 281.42 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", FOR CORNER. SAME BEING THE NORTHEAST CORNER OF SAID 2.90 ACRE TRACT AND 1 THEAST CORNER OF A CALLED 1.11 ACRE TRACT AS RECORDED IN C.C.F.N. 2016016983 OF THENCE NORTH 02' 53' 30" WEST, CONTINUING ALONG THE WEST LINE OF THE ABOVE

REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 1.11 ACRE TRACT, A DISTANCE OF 256.49 FEET TO A 1/2-INCH IRON ROD WITH CAP FOUND FOR THE MOST WESTERLY NORTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING TH SOUTHWEST CORNER OF A CALLED 1 ACRE TRACT AS RECORDED IN C.C.F.N. 2015039759 OF

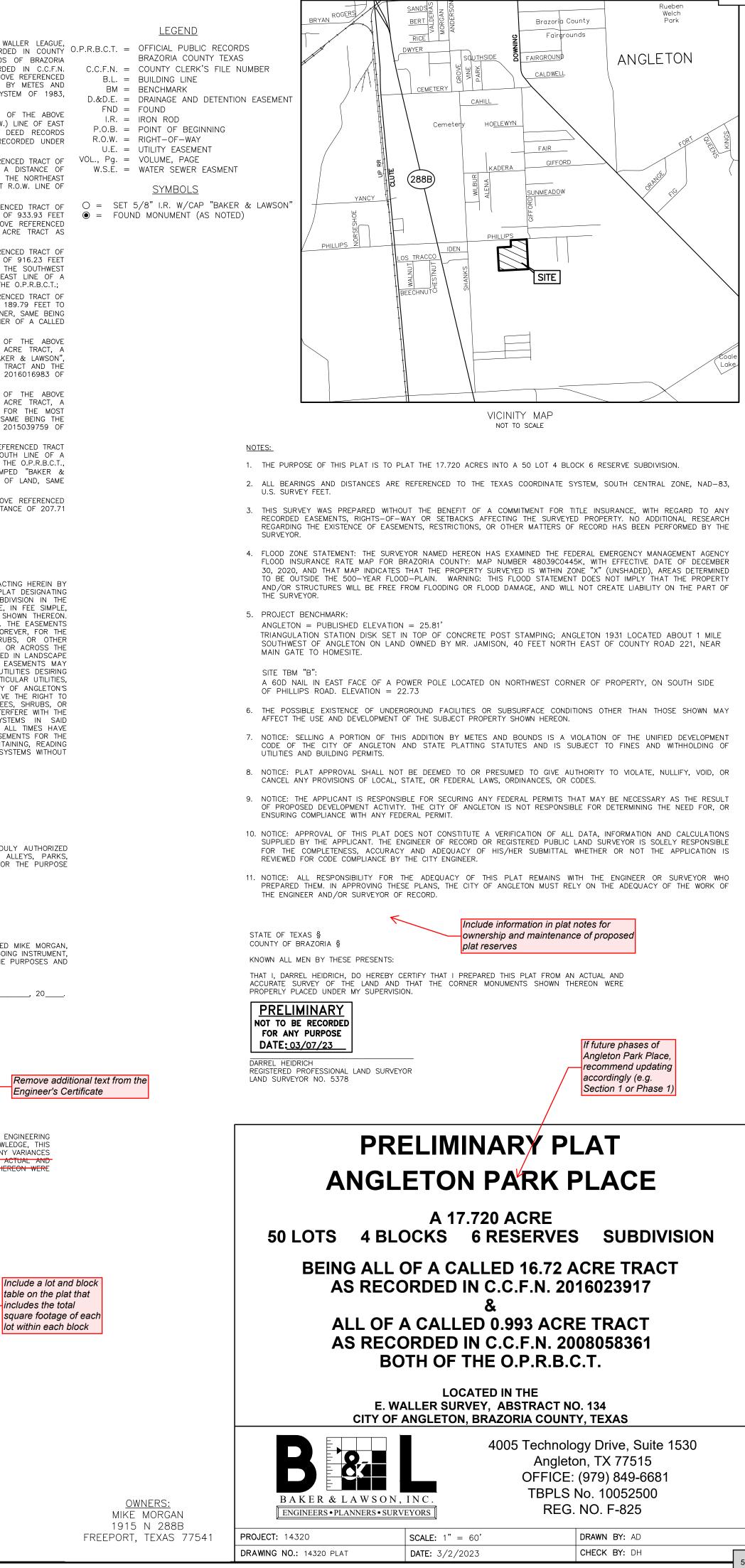
OF LAND. SAME BEING THE SOUTH LINE OF SAID 1 ACRE TRACT AND THE SOUTH LINE OF A CALLED 0.993 ACRE TRACT OF LAND AS RECORDED IN C.C.F.N. 2016008959 OF THE O.P.R.B.C.T A DISTANCE OF 415.48 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON". SET FOR AN INTERIOR CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME

TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 0.993 ACRE TRACT, A DISTANCE OF 207.71

AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS ANGLETON PARK PLACE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS. AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER. FOR THI PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OF OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAIL EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED MIKE MORGAN KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.



Item 7



Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: Response Letter - Angleton Park Place Preliminary Plat (Revised) – 1st Submittal Review Angleton, Texas HDR Job No. 10361761

Dear Mr. Spriggs:

Baker & Lawson received a summary of comments for the Angleton Park Place Preliminary Plat (Revised). The comments indicated on the said report have been addressed as follows:

- 1. Include a lot and block table on the plat that includes the total square footage of each lot within each block. Action: Lot and block table added to plat.
- 2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing. Action: Owner name added to plat as indicated.
- 3. Notate applicable future Angleton Park Place phases on the preliminary plat. Action: Future Angleton Park Place phases have been noted on plat.
- 4. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117. Action: City Limits line has been noted on the plat.
- 5. Verify and update plat to show this portion of Gifford Road as unimproved ROW. Action: Updated plat to show an improved ROW.
- 6. Show existing Gifford Road intersection on the plat. Action: Existing Gifford Road has been indicated on plat.
- 7. For Reserve "A", update spelling to "Residential". Action: Spelling has been corrected on plat.
- 8. Verify and update the name for Boardwalk Street with "Boardwalk" to be one word. Action: "Boardwalk" has been updated on the plat.
- 9. Remove fire easement from plat if not applicable. Action: Fire easement has been removed from plat.
- 10. Move Reserve and Curve Tables outside of plat drawing. Action: Moved from plat drawing.

DOUGLAS B. ROESLER, P.E. - Principal Engineer 4005 TECHNOLOGY DRIVE, SUITE 1530, ANGLETON, TEXAS 77515 (979) 849-6681 • Fax (979) 849-4689

- 11. Include information in plat notes for ownership and maintenance of proposed plat reserves. Action: Ownership and maintenance information has been updated.
- 12. Remove additional text from the Engineer's Certificate. Action: Additional text has been removed from plat.

The revised plat is included with this submittal.

If you have any questions, please feel free to contact us at our office.

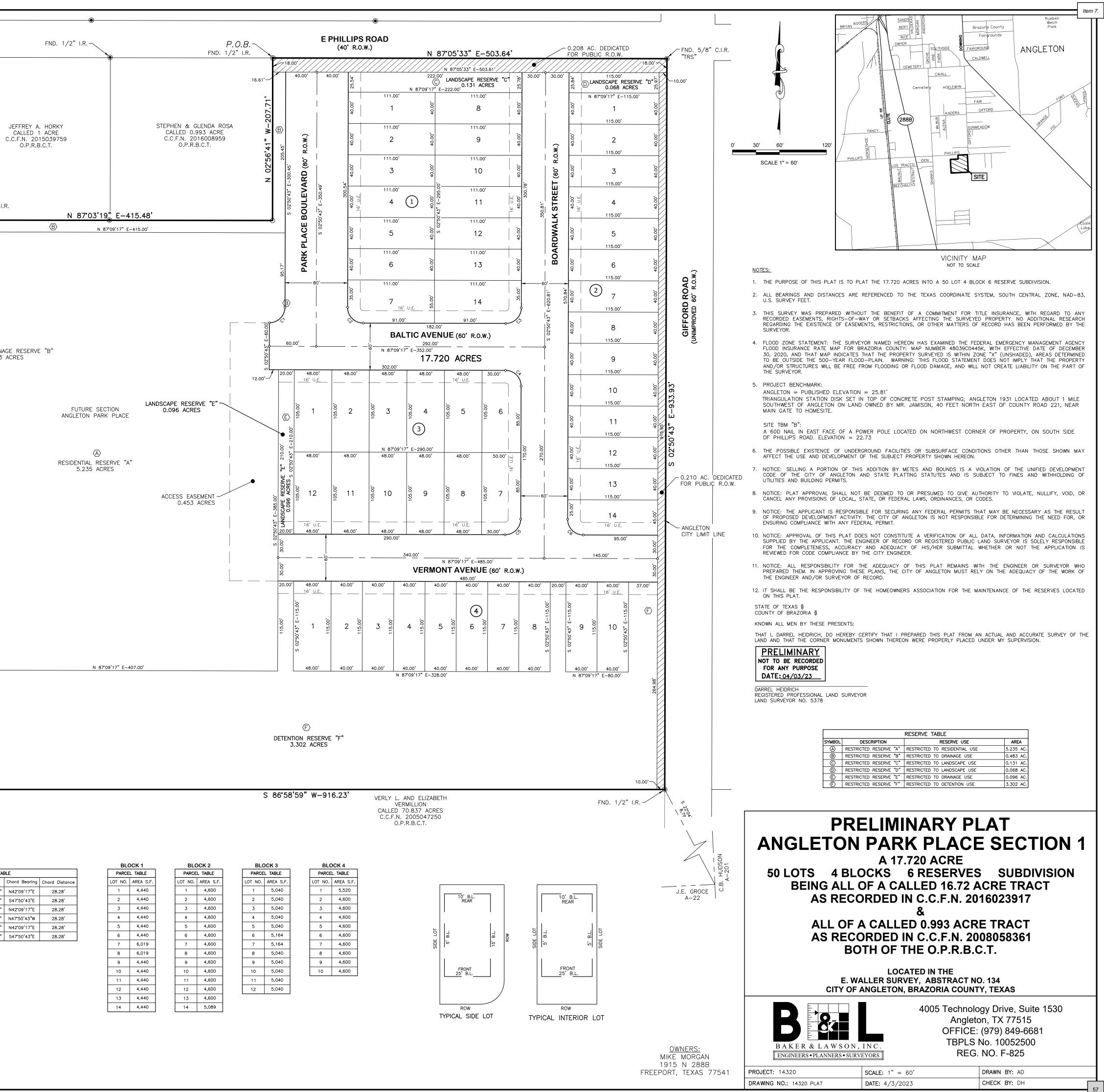
Sincerely,

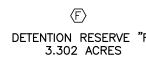
 \leq Rob: Com

Robin Crouch Vice President

FIELD NOTES FOR 17.720 ACRES DESCRIPTION OF A 17.720 ACRE TRACT OF LAND, LOCATED WITHIN EDWIN WALLER LEAGUE, ABSTRACT NO. 134, BEING ALL OF A CALLED 16.72 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2016023917 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.) AND A CALLED 0.993 ACRE TRACT AS RECORDED IN C.C.F.N. 2008058361 OF THE O.P.R.B.C.T., REFERRED TO HEREINAFTER AFTER AS THE ABOVE REFERENCED TRACT OF LAND, SAID 17.720 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83)				
SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS): BEGINNING AT A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE SOUTH RIGHT-OF-WAY (R.O.W.) LINE OF EAST PHILLIPS ROAD (40' R.O.W. VOL. 26, PG. 210 OF THE BRAZORIA COUNTY DEED RECORDS (B.C.D.R.)) FOR THE NORTHEAST CORNER OF A				
CALLED 0.993 ACRE TRACT RECORDED UNDER B.C.C.F. NO. 2016008959; THENCE NORTH 87 05'33" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH R.O.W. LINE OF SAID EAST PHILLIPS ROAD, A DISTANCE OF 503.64 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "TRS", FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF				
LAND, SAME BEING IN THE WEST R.O.W. LINÉ OF GIFFORD ROAD (60' UNIMPROVED, VOL. 26, PG. 10 B.C.D.R); THENCE SOUTH 02' 50'43" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID GIFFORD ROAD, A DISTANCE OF 933.93 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE NORTH				
LINE OF A CALLED 70.837 ACRE TRACT AS RECORDED IN C.C.F.N. 2005047250 OF THE O.P.R.B.C.T.; THENCE SOUTH 86 58'59" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH LINE OF SAID 70.837 ACRE TRACT,				
A DISTANCE OF 916.23 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" SET FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING IN THE EAST LINE OF A CALLED 9.00 ACRE TRACT OF LAND AS RECORDED IN C.C.F.N. 2018015818 OF THE O.P.R.B.C.T.; THENCE NORTH 03' 08' 54" WEST, ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 9.00 ACRE TRACT, A				
DISTANCE OF 189.79 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAME BEING THE NORTHEAST CORNER OF SAID 9.00 ACRE TRACT AND THE SOUTHEAST CORNER OF A CALLED 2.90 ACRE TRACT AS RECORDED IN C.C.F.N. 2002010346 OF THE 0.P.R.B.C.T.; THENCE NORTH 03' 06' 55" WEST, CONTINUING ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 2.90 ACRE				
TRACT, A DISTANCE OF 281.42 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAME BEING THE NORTHEAST CORNER OF SAID 2.90 ACRE TRACT AND THE SOUTHEAST CORNER OF A CALLED 1.11 ACRE TRACT AS RECORDED IN C.C.F.N. 2016016983 OF THE O.P.R.B.C.T.; THENCE NORTH 02' 53' 30" WEST, CONTINUING ALONG THE WEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 1.11 ACRE				
TRACT, A DISTANCE OF 256.49 FEET TO A 1/2-INCH IRON ROD WITH CAP FOUND FOR THE MOST WESTERLY NORTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTHWEST CORNER OF A CALLED 1 ACRE TRACT AS RECORDED IN C.C.F.N. 2015039759 OF THE O.P.R.B.C.T.;				
THENCE NORTH 87° 03' 19" EAST, ALONG A NORTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID 1 ACRE TRACT AND THE SOUTH LINE OF A CALLED 0.993 ACRE TRACT OF LAND AS RECORDED IN C.C.F.N. 2016008959 OF THE O.P.R.B.C.T., A DISTANCE OF 415.48 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON", SET FOR AN INTERIOR CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTHEAST CORNER OF SAID 0.993 ACRE TRACT;			Fì	ND. 1/2"C.I
THENCE NORTH 02' 56' 41" WEST, ALONG THE NORTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST LINE OF SAID 0.993 ACRE TRACT, A DISTANCE OF 207.71 FEET TO THE POINT OF BEGINNING, CONTAINING 17.720 ACRES OF LAND.	000D 883 983	Ý	/	
OWNER'S ACKNOWLEDGEMENT: NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT MIKE MORGAN, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY	3HERI WOOD 11 ACRES 16016983 3.C.T.			
ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS ANGLETON PARK PLACE, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE	AND S ED 1. 20 D.P.R.I			
FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE ADDITION THE CAME UNDER THE FACEMENT AND THE INTER ADDITION AND ALL PUBLIC UTILITIES DESIRING TO	CALLI CALLI C.C.F.	49,		
USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE		256.4		
THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE.		 		
OWNER'S ACKNOWLEDGEMENT:		02.53'30		
STATE OF TEXAS § COUNTY OF BRAZORIA § THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS.				DRAIN 0.483
ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.		z		
MIKE MORGAN				
STATE OF TEXAS § COUNTY OF BRAZORIA § REFORE WE THE UNDERSIONED AUTHORITY ON THIS DAY REPSONALLY ARREADED MIKE MORGAN. KNOWN TO WE TO BE THE REPSON WHOSE NAME IS SUBSCRIPED TO				
BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED MIKE MORGAN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.		-0	B	
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE DAY OF, 20			560.00'	
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS			560	
MY COMMISSION EXPIRES			2,	
STATE OF TEXAS § COUNTY OF BRAZORIA §	VASQUEZ CRES 10346	31.42	E-712.6	
KNOW ALL MEN BY THESE PRESENTS: THAT I, MIGUELANGEL A. SAUCEDA, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.	ANA VASC 90 ACRES 002010346 .B.C.T.	W-281	2.50'43"	
PRELIMINARY	Dage.	55"	s 03	
NOT TO BE RECORDED FOR ANY PURPOSE DATE: <u>04/03/23</u>	GUSTAVO A CALLEE C.C.F.N	03.06		
SIGNED:	CUS	z		
TEXAS REGISTRATION NO. 121992				
DRAINAGE AND DETENTION EASEMENT THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL				
BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT IS CALLED 'DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS				
IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE		_0		
OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY		, O		
SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF		89.7		
THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.		√ 1		
ACCEPTED THIS THE DAY OF, 20, BY THE ANGLETON DRAINAGE DISTRICT.	1_	8'54"	52.65'	
THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:	ANHORN E SCHOL S C.C.F.N 8	03.08'5	15	
PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.	\[\] \[z		
 THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES. 	L WAYNE EREE REN 9.00 ACF 20180158 0.P.R.B.(14.23'
THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.	MICHAEL AND CHEF CALLED 9 2 2 0			
THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.	- AA			
		I		
CHAIRMAN, BOARD OF SUPERVISORS				
BOARD MEMBER	Curve No	Ler	nath R	CURVE TA
BOARD MEMBER	C1 C2	31	.42' 20	0.00' 90°00'00" 0.00' 90°00'00"
PLANNING AND ZONING COMMISSION AND CITY COUNCIL: APPROVED THIS DAY OF, 20, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.	C3 C4		.42' 20	0.00' 90°00'00" 0.00' 90°00'00"
	C5 C6	31	.42' 20	0.00' 90°00'00" 0.00' 90°00'00"
BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION	L	_1	1	!
APPROVED THIS DAY OF, 20, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.				
JASON PEREZ, MAYOR				
CITY SECRETARY STATE OF TEXAS §				
COUNTY OF BRAZORIA § THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE DAY OF, 20, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.				

NOTARY PUBLIC STATE OF TEXAS







AGENDA SUMMARY/STAFF REPORT

MEETING DATE:	April 11, 2023
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services
AGENDA CONTENT:	Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.
AGENDA ITEM SECTION:	Public Hearing and Action Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY: Carwood Preparatory Academy Daycare/Preschool is requesting consideration of a Specific Use Permit for a Child Day care/Preschool at the property located at 1100 E. Mulberry St., Angleton, TX, Stes. D&E, within the Commercial General Zoning District (C-G).

PROPERTY HISTORY:

The subject property lies within a shopping center located at E. 1100 E. Mulberry St., Angleton, TX, Suites. D&E (East of Intersection of SH35 and S. Downing St./south of E. Cedar St.), within the Commercial General Zoning District (C-G). The commercial tenant space at one time was a daycare use; however, due to its discontinuance, the previous approval is considered vacated, and a new Specific Use Permit application was necessary.

The facility will have an exterior play area (20'X40') with a 4 ft. fence and gate with locking mechanism per state requirements.



ZONING MAP- 1100 E. MULBERRY ST.



Aerial View of Site



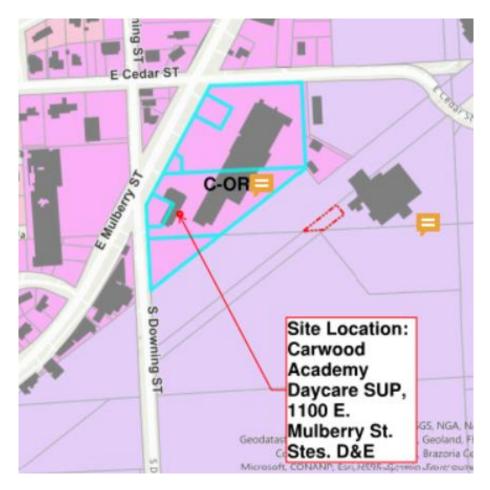
View looking 1100 E. Mulberry St., Suites D&E at Subject property



View of the Subject property Suites D & E on the right



View of rear yard showing the fenced playground area.



Zoning & Vicinity Map

STAFF ANALYSIS:

Section 28-63, 5 (e); SUP- Specific use permits, outlines the requirements and factors for consideration:

When considering applications for a specific use permit, the planning and zoning commission in making its recommendation and the city council in rendering its decision on the application shall, on the basis of the site plan and other information submitted, evaluate the impact of the specific use on, and the compatibility of the use with, surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The planning and zoning commission and the city council shall specifically consider the extent to which:

- a. The proposed use at the specified location is consistent with the goals, objectives and policies contained in the adopted comprehensive plan;
- b. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations;
- c. The proposed use meets all supplemental standards specifically applicable to the use as set forth in this chapter;
- d. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and, as required by the particular circumstances, includes improvements or modifications either on-site or within the public rights-of-way to mitigate development-related adverse impacts, including but not limited to:
 - Adequate ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, and access in case of fire;
 - Off-street parking and loading areas; While staff cannot require speed-bumps on the subject site which is private, it is highly recommended that the applicant request permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.
 - Refuse and service areas;
 - Utilities with reference to location, availability, and compatibility;
 - Screening and buffering, features to minimize visual impacts, and/or setbacks from adjacent uses;
 - Control of signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;
 - Required yards and open space;
 - Height and bulk of structures;
 - Hours of operation;
 - Exterior construction material and building design; and
 - Roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development-generated traffic on neighborhood streets.
- e. The proposed use is not materially detrimental to the public health, safety, convenience and welfare, or results in material damage or prejudice to other property in the vicinity.

Staff has taken the above criteria into consideration when reviewing the proposed day care and pre-school facility. The space adequately provides for the use and if approved, it will not be in conflict with the Zoning Resolution nor the Comprehensive Plan. The use is compatible with the overall character of the area. The parking lot will adequately accommodate the proposed use.

Childcare licensing and regulations are handled by the state of Texas Health and Human Services Commission. The applicant has stated that the food service will not be cooked on site, but catered. In any case of prepared foods on site, the applicant must comply with Food and Health Inspections and Permit requirements.

Public Notification

Staff sent public notices to the local newspaper, and to the property owners within 200 feet of the subject property under consideration for the SUP application.

Opposition to or Support of Proposed Request

To-date, Staff has not received any notices in support or in opposition of the proposed SUP request.

Planning & Zoning Commission Record of Proceedings: Meeting held April 6, 2023

PUBLIC HEARINGS AND ACTION ITEMS

4. Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Stes. D&E.

DS Director Otis Spriggs presented the SUP request and staff summary. He noted the criteria for approving SUP's was reviewed by staff and noted that there were no items in conflict.

Motion was made by Commission Member Ellen Eby to approve the minutes subject to the noted corrections; Motion was seconded by Commission Member Regina Bieri.

The planning and zoning commission forwards this Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the condition that:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.

2. The applicant shall obtain and maintain Childcare licensing as regulated by the state of Texas Health and Human Services Commission.

3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.

4. The applicant shall maintain any required Health Permit for food services to the children.

Chair William Garwood opened the public hearing without any opposition.

Christopher Woodard, the daycare owner, stated that they w8ll have 50 children and will be open from 7:00 AM to 7:00 PM. Age will be from 18 months to age 13-year-olds.

Chair William Garwood closed the public hearing without any opposition.

Commission Member Regina Bieri commented on the existing playground area and its current bad condition and size. Mr. Woodard stated that he would be clearing the area and improving it.

Commission Action:

Motion was made by Commission Member Regina Bieri to approve the Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the 4 conditions; Motion was seconded by Commission Member Bonnie McDaniel.

Commission Action: Motion carried unanimously, 7 -0 vote.

Recommended Action:

The Planning and Zoning Commission adopts this as its Final Report, forwards it to City Council with a positive recommendation of this Specific Use Permit (S.U.P.) application for a Child Daycare and Pre-school facility in the Commercial- General Zoning District, (C-G), for approval consideration and appropriate action (Vote: Unanimously Approved 7-0)).

Recommendation. The planning and zoning commission forwards this Specific Use Permit (S.U.P.) application for a Daycare within the Commercial General Zoning District(C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Stes. D&E to the city council for approval consideration and appropriate action, and there are findings of fact of no negative impact to the surrounding properties and subject to the condition of the attached Ordinance that:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety for any speeding cars accessing the parking lot.

- 2. The applicant shall obtain and maintain Childcare licensing as regulated by the state of Texas Health and Human Services Commission.
- 3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.
- 4. The applicant shall maintain any required Health Permit for food services to the children.

ORDINANCE NO. 20230411-008

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, APPROVING SPECIFIC USE PERMIT TO ALLOW FOR A CHILD DAYCARE USE AT 1100 E. MULBERRY ST. (SUITES D&E), ANGLETON, TX, BRAZORIA COUNTY, TEXAS, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND EFFECTIVE DATE, AND FINDINGS OF FACT.

WHEREAS, On April 6, 2023, the City of Angleton Planning & Zoning Commission held a public hearing and approved a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District (C-G), for Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX.; and

WHEREAS, on April 6, 2023, the City of Angleton Planning & Zoning Commission, after conducting a public hearing, discussed and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed daycare use; and

WHEREAS, on April 11, 2023, the City of Angleton City Council conducted a public hearing, discussed, and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed Daycare/Preschool at 1100 E. Mulberry St., Suites D &E; and

WHEREAS, the City considered the factors and provisions set forth in the City of Angleton Code of Ordinances, Chapter 28 Zoning, Sec. 28-63 Specific Use Permits, and considered the proposed Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX; and

WHEREAS, the City Council desires to grant the Specific Use Permit (SUP) submitted by Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Suites D &E, Angleton, TX, to allow the proposed Daycare use.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

SECTION 1. That all of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof, as if copied herein verbatim.

SECTION 2. City Council approves the Specific Use Permit in accordance with City

of Angleton Code of Ordinances Sec. 28-63, Specific Use Permits (SUP), subject to the following conditions:

1. The applicant should make a good faith effort to obtain permission of the property ownership to install speed bumps in the drop off area to ensure child safety from any speeding cars accessing the parking lot.

2. The applicant shall obtain and maintain appropriate childcare licensing as regulated by the state of Texas Health and Human Services Commission.

3. The applicant shall obtain any City Final Occupancy permits prior to opening the facility.

4. The applicant shall maintain any required Health Permit for food services to the children.

SECTION 3. Repeal. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

SECTION 4. Severability. In the event any clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

<u>SECTION 4.</u> Effective date. That this Ordinance shall be effective and in full force immediately upon its adoption.

<u>SECTION 5.</u> Proper Notice & Meeting. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code.

PASSED AND APPROVED THIS 11th DAY OF APRIL, 2023.

CITY OF ANGLETON, TEXAS

Jason Perez Mayor

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Item 8.

ATTEST:

Michelle Perez, TRMC City Secretary

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P. O. BOX 549 CLUTE TX 77531 979-265-7411

STATE OF TEXAS COUNTY OF BRAZORIA

Cindy Cornette, being duly sworn, says:

That she is Classifieds Leader of the **The Facts**, a daily newspaper of general circulation, printed and published in **Brazoria County**, **Texas**; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:

03/11-12/2023

That said newspaper was	regularly issued and circulated on
those dates.	
	La Sila
May	CLATT
Advartising Director	(

Advertising Director

Subscribed to and sworn to me this 17th day of March, 2023.

Ashley Gonzalez, Brazoria County, Texas



City Of Angleton 121 S Velasco Angleton, TX 77515

Acct #15239

5239 Ad #1100774

Affidavit of Publication

City of Angleton Notice of Public Hearings

Notice is hereby given that the Planning and Zoning Commission of the City of Angleton, Texas will conduct a public hearing at 12:00 pm on Thurs., April 6, 2023, and the City Council will conduct a public hearing at 6:00 pm on Tues., April 11, 2023. The meetings will be held at Angleton City Hall in the City Council Chambers at 120 S. Chenango Street, Angleton, Texas 77515. At these meetings, the following public hearing will be held:

 Conduct a public hearing, discussion, and take possible action on an application for a Special Use Permit (SUP), pursuant to Sec. 28-63 of the Code of Ordinances, for a Daycare within the Commercial General Zoning District(C-G), DBA Carwood Preparatory Academy Daycare/Preschool at 1100 E. Mulberry St., Angleton, TX, Ste. D&E.

The meeting agenda and agenda packet will be posted online at <u>www.angleton.tx.us</u>. The public will have the opportunity to offer comments on each agenda item by registering prior to the meeting.

For more information regarding these requests please contact Otis T. Spriggs, AICP, Development Services Director by email at <u>ospriggs@angleton.tx.us</u> or by phone at (979) 849-4364 x-2108 or Mr. Kyle Reynolds, Assistant Development Services Director by email at <u>kreynolds@angleton.tx.us</u> or by phone at (979) 849-4364 x-2106.



Item 8.

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CITY OF ANGLETON SPECIFIC USE PERMIT APPLICATION

PROPERTY ADDRESS: 100 DE E Mulberry Angleton, TX 77515

PROPERTY DESCRIPTION (Legal description): A0375 17 Tinsley Tract 16B-16B2-16B4-1621 Acres 6.63 Angleton

RECORD	PROPERTY	OWNER	NAME,	ADDRESS	AND	PHONE	NUMBER:
Angleton	1 Investm	ents Ltd.	25100	Tanglewilde	Suite		
Houston	Th That	3 713	- 953-980	XV , COL			
DESIGNATI	-	EPRESENTA		ADDRESS		AND 409	- 502 - 3054 PHONE
NUMBER:	hastopher	Carmona-	Londard	1 1209 Donn	is Ave.		
PROPOSED	USE	FOR		PROPERTY		RESS	INDICATED
ABOVE:							
Da	y Care	Center					
	1						

A site plan (prepared and approved) in accordance with Section 35.4 of the City of Angleton Code of Ordinances (City Code) must be attached to the application. If a base zoning district amendment is required or requested, such rezoning application shall accompany the application for a Specific Use Permit. If the proposed use requires a division of land, an application for subdivision approval must be submitted with this application for a Specific Use Permit.

SIGNATURE DATE

PLEASE PROVIDE PROOF OF TAXES PAID ON THIS PROPERTY.

ATTACHMENT: SECTION 35 SUP - SPECIFIC USE PERMIT

APPLICATION FEE: \$150.00 due upon submittal

Date received:	Admin Fee R	Admin Fee Received:	
AZ Public Hearing date:			
Date to send cert. letters:	Date to public	sh:	
Site Plan submitted: Yes	No		
Site Plan received & evaluate	d by City Staff: Yes	No	
Proof of taxes paid:	Date verified:		



CITY OF ANGLETON APPOINTMENT OF AGENT

As owner of the property describe I hereby appoint the person desig	ed as <u>1100 0</u> , gnated below to	$C, O \neq E$ act for me, as m	E. Mulberry Angle y agent in this request.	ton M	TISIS
Name of Agent: Christopher					
Mailing Address: 1209 Der	nis Aue.		Email:		
city: Angleton	State: <u>N</u>	Zip:	- 71515		
Home Phone: ()	E	Business Phone:	409 1500-3054		

I verify that I am the legal owner of the subject property and I acknowledge and affirm that I will be legally bound by the words and acts of my agent, and by my signature below, I fully authorize my agent to:

be the point of contact between myself and the City: make legally binding representations of fact and commitments of every kind on my behalf; grant legally binding walvers of rights and releases of liabilities of every kind on my behalf; to consent to legally binding modifications, conditions, and exceptions on my behalf; and, to execute documents on my behalf which are legally binding on me.

*Application must be signed by the individual applicant, by each partner of a partnership, or by an officer of a corporation or association.

STATE OF TEXAS §

COUNTY OF HATCIS

Expires May 10, 2026

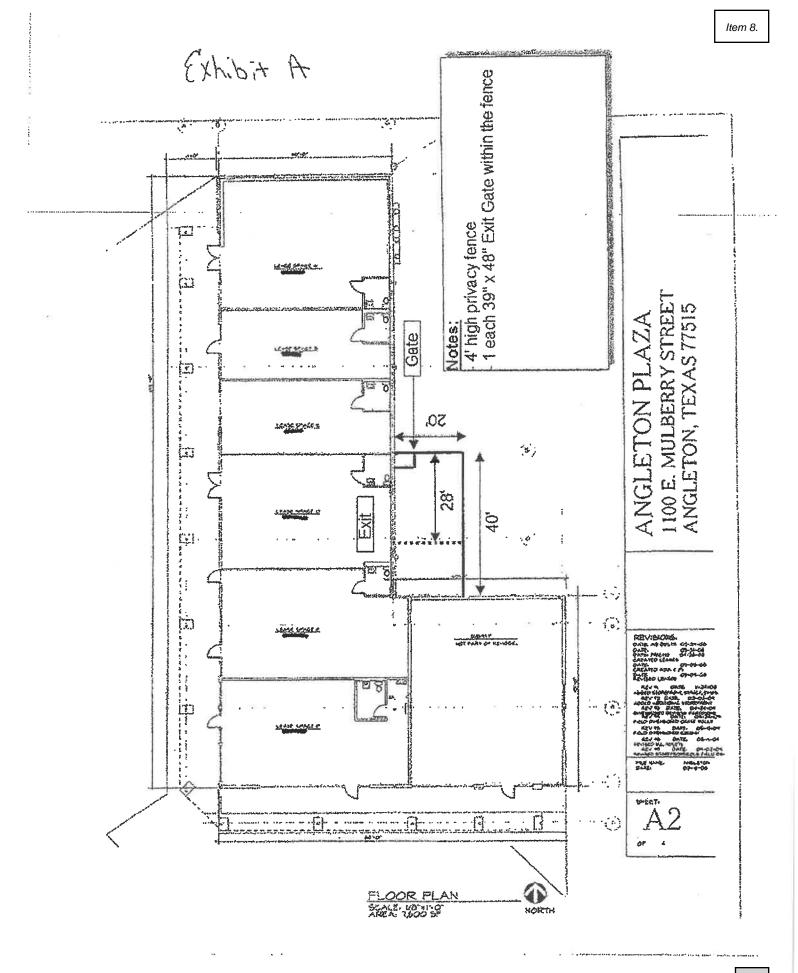
Printed/Typed Name of owner

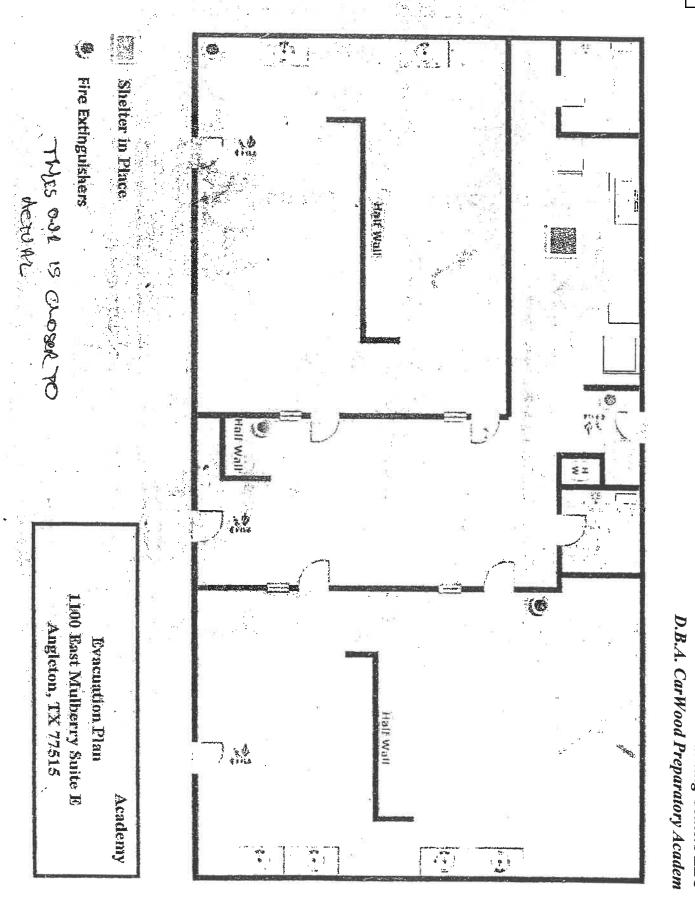
Before me, <u>Shance Springer</u>, on this day personally appeared <u>Denald Daum</u>, known to me (or proved to me on the oath of _______ or through (________) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

day of February. 2023 Given under my hand and seal of office this SHANNON SPRINGER ANY Notary ID # 124971566

5-10-26 **Commission Expires**

Date





ltem 8.

Fri, Oct 2, 2015 at

Shannon Springer <sspringer@hmgInterests.com>

Fwd: Floorplan

JMail

1 message

ddaum99517@aol.com <ddaum99517@aol.com> To: sspringer@hmginterests.com

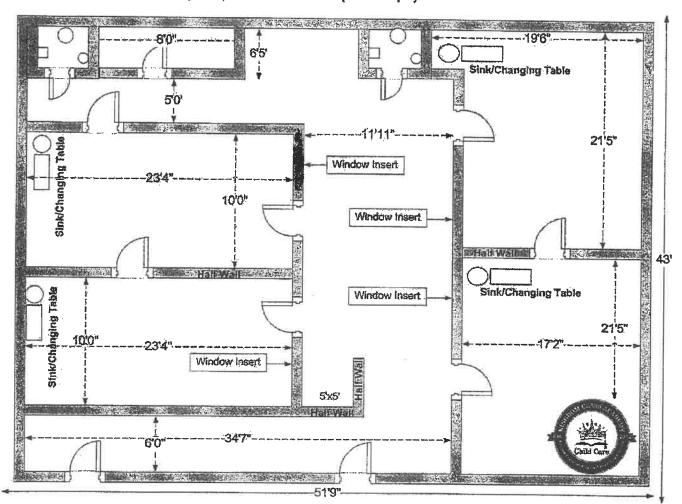
FYI

----Original Message----From: Kingdom Class Academy <kingdom classkids@yahoo.com> To: ddaum99517 <ddaum99517@sol.com> Sent: Fri, Oct 2, 2015 3:25 pm Subject: Fwd: Floorplan

Sent from my IPhone

Begin forwarded message:

From: Kingdom Class Academy <kingdomclasskids@yahoo.com> Data: September 24, 2015 at 12:04:26 PM CDT To: Kaya Griggs <griggskaye@yahoo.com> Subject: Floorplan



Kingdom Class Academy: Expansion Phase 2 (2206 sq ft)

Sent from my iPhone

https://mail.google.com/mail/u/0/?ui=2&ik=9baca6b5cf&view=pt&search=inbox&th=1502a59805957b2e&sim|=1502a59805957b2e

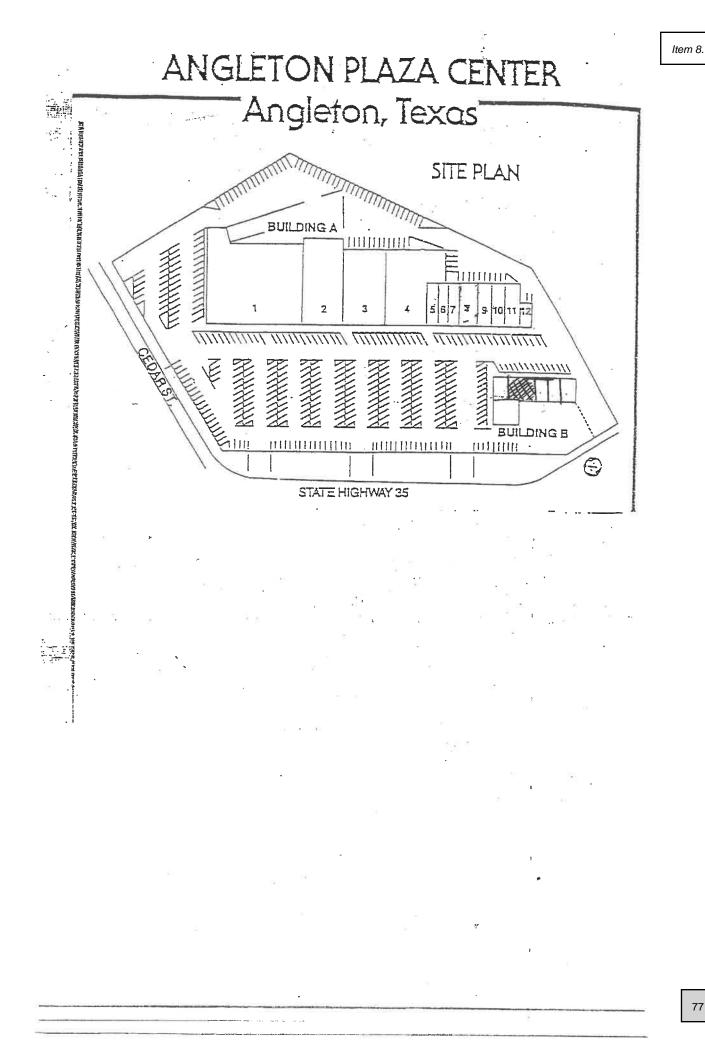
Item 8.

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Current carrier:	urrent carrier: Carrent Premium: \$		
Location Address:			
County: Brazoria			
<u> </u>	ant O Lessors Risk		
(If rental) Type of Operation (Occup	•		
-			
If more than one Type of Occupancy:	List all occupanies and corresponding	<u>z 5q. 100</u> tage:	
Personal Property Limit: \$	Deductible \$		
Building RC Value: \$	Deductible §		
Construction Type: OFrame	Masonry Ooth	ér	
Roof Type: <u>TRO</u>			
Very Briller 107	Total Area:	Number of Stories:	
	Total Area Occupied:		
Basement: OYes ONo	Sprinklers: OYes %	QNo	
Alarm Type: O Local	Monitored		
If building is over 20 years old: Year	of Last updates for:		
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Loss Payee: *Use another sheet if more than one propert	y or building		

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AGENDA ITEM SUMMARY FORM

MEETING DATE:	April 11, 2023	
PREPARED BY:	Otis T. Spriggs AICP, Director of Development Services	
AGENDA CONTENT:	Discussion and possible action on the preliminary plat of Ashland Section 2	
AGENDA ITEM SECTION:	Regular Agenda Item	
BUDGETED AMOUNT:	N/A	FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY. This is a resubmittal of Ashland Section 2 Preliminary Plat originally submitted July of 2022, due to the addition of acreage. The subject property is located within the City of Angleton ETJ between SH 521 and SH 288 and north of SH 523. The draft development agreement is pending final approval this month by City Council which will establish standards for the Ashland Project. City Engineer comments are provided in the plat review attachment. The subject property consists of 21.5 acres and has 86 lots, 3 reserves and 3 blocks.

Pursuant to Section II County Regulatory Authority of the existing interlocal agreement between the City of Angleton and Brazoria County, the County shall have exclusive jurisdiction in the following matters: Subsection (b): Regulate the construction of any and all roads located within a subdivision of property that will be located within the City's ETJ, including but not limited to, planning, review, construction, bonding, inspection and acceptance of any newly constructed road or street. County authority shall also apply to the improvement, removal, relocation, or abandonment of any existing road or streets in City's ETJ. County's oversite of roads shall be performed using the most current and applicable construction standards adopted by County. For roads, the construction of which are governed by a development agreement between City and developer, County and City shall jointly coordinate and cross-reference construction standards to verify that the roads are constructed to meet or exceed County standards.

As the Council is aware, there is no zoning or land use control in the ETJ except for that allowed by the Texas Local Government Code. Those regulations that the LGC permits the City to extend into the ETJ are the subdivision regulations (Chapter 23 Land Development Code) and sign regulations. As such there is <u>no</u> City regulation of lot size, setbacks, maximum height, etc., except as detailed in a development agreement by City Council. Staff finds that the proposed section plat will comply with the proposed agreement as drafted.

A Traffic Impact Analysis has also been submitted and reviewed for the entirety of the project. That TIA will need to be considered by both TxDOT and Brazoria County for review and approval as well.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented the preliminary plat of Ashland Section 2. The City Engineer has reviewed the submitted Preliminary Plat, and listed (6) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Ashland Section 2 Plat and forward it to City Council for final action, subject to the final approval of the Development Agreement.

Motion was made by Commission Member Bonnie McDaniel to approve the proposed final plat and recommend it to the City Council for final action subject to final approval of the DA. Motion was **not** seconded.

Commission Action: Motion failed due to the lack of a second to the motion.

No vote.

STAFF REVIEW

The City Engineer has reviewed the submitted Preliminary Plat for Ashland Section 2, and listed (6) comments that were resubmitted and addressed by the applicant. Staff has cleared all comments.

Recommendation. The planning and zoning commission disapproved the preliminary plat due to failure of obtaining a second of the motion. Staff recommends that Council approves the Preliminary Plat for Ashland Section 2 for final consideration and appropriate action subject to the final approval of the Development Agreement.

April 2, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services
 Ashland Subdivision – Section Two Preliminary Plat – 2nd Submittal Review
 Angleton, Texas
 HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

- 1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded).
- 2. Verify and update bearing information shown in the metes and bounds description (Typical).

Sheet 2 of 2

- 1. Line L26 not provided in Line Table. Update table to include information for L26.
- 2. Label tables shown on the plat (Typical).
- 3. Update table to include central angle information as noted in the metes and bounds description (Typical).
- 4. Update table to include decimals as noted in the metes and bounds description (Typical).
- 5. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ.
- 6. If Reserve "B" does not allow for buildings/structures, no need to show 25-BL.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Ashland Subdivision – Section Two Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

11111

Javier Vasquez, P.E., CFM Civil Engineer

cc: Files (10361761/10336228)

Attachments

STATE OF TEXAS § COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Ashland Section 2, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS §	Verify and update bearing information shown in the
COUNTY OF BRAZORIA §	metes and bounds description (Typical)

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion. but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.

The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner

Duly Authorized Agent

STATE OF TEXAS § COUNTY OF BRAZORIA §

STATE OF TEXAS §

COUNTY OF BRAZORIA §

META [®] 2023 ^ANN ^ACANN A METES & BOUNDS description of a certain 18.77 acre tract of land situated in Shubael Marsh Surveys, Abstract Nos. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract conveyed to Anchor Holdings MP, LLC by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Public Records of Brazoria County (OPROBC); said 18.77 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;

COMMENCING at a found concrete monument at the northwest corner of said 469.08-acre tract, the southwest corner of a called 2.97-acre tract of land conveyed to James W. Northrup and Deborah Northrup in Clerk's File No. 01–008056 in Brazoria County Official Public Records, and along the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the Commissioner Court Records;

THENCE, South 14'02'37" West, along the west line of said 469.08-acre tract, common with the east line of said F.M. Highway 521, 1647.59 feet to a point for corner being the POINT OF BEGINNING of the herein described subject tract marking the beginning of a non-tangent curve to the right;

THENCE, over and across said 469.08-acre tract the following twenty seven (27) courses and distances:

1. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 90.00.00, an arc length of 39.27 feet, and a long chord bearing North 59'02'37 East, with a chord length of 35.36 feet to a point for corner;

2. South 75°57'23" Fast, 104.37 feet to a point for corner marking the beginning of a curve to the right;

Along the arc of sold curve to the right having a radius of 25.00 feet, a central angle of 90'00'00", an arc length of 39.27 feet, and a long chord beening South 30°57'23" East, with a chord length of 35.36 feet to a point for corner;

South 75°57'23" East, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the right;

Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 90'00'00", an arc length of 39.27 5. feet, and a long chord bearing North 59°02'37" East, with a chord length of 35.36 feet to a point for corner;

South 75'57'23' Eost, 60.27 feet to a point for corner marking the beginning of a curve to the right;

Along the arc of said curve to the right having a radius of 1165.00 feet, a central angle of 08°20'55", an arc length of 169.75 feet, and a long chord bearing South 71'46'55" East, with a chord length of 169.60 feet to a point for corner marking the beginning of a compound curve to the right;

8. Along the arc of said compound curve to the right having a radius of 25.00 feet, a central angle of 91°14'34", an arc length of 39.81 feet, and a long chord bearing South 21 59'10" East, with a chord length of 35.74 feet to a point for corner marking the beginning of a reverse urve to the left;

se curve to the left having a radius of 1020.00 feet, a central angle of 00°10'45", an arc length of 3.19 feet, 9. Along the arc of said ceve and a long chold bearing South 23.32'44" West, with a chord length of 3.19 feet to a point for corner;

10. South 66.32'39" Ext, 60.00 feet to a point for corner marking the beginning of a non-tangent curve to the right;

Along the arc of said hon-tangent curves to the right having a radius of 25.00 feet, a central angle of 94.28'10", an arc length of 41.22 feet, and a long chord bearing North 70 41 26" East, with a chord length of 36.71 feet to a point for corner marking the beginning of a compound curve to the right;

Along the arc of said compound curve to the right having a radius of 1165.00 feet, a central angle of 01°22'57", an arc length of 28.11 12. feet, and a long chord bearing South 123'00" East with a chord length of 28.11 feet to a point for corner;

13. South 60*41'32" East, 68.01 feet to a point for corner marking the beginning of a curve to the right;

14. Along the arc of said curve to the right having a radius of 25.00 feet, a central angle of 83°30'22", an arc length of 36.44 feet, and a long chot bearing South 18'56'20" East, with a chord length of 33.30 feet to a point for corner marking the beginning of a reverse curve to the left;

15. Along the arc of said reverse curve to the left having a radius of 815.00 feet, a central angle of 45*06'17", an arc length of 641.59 feet. and a long chord bearing South 00"15'42" West, with a chord length of 625.15 feet to a point for corner;

16. South 22°17 26" East, 287.46 feet to a point for corner;

17. South 67'42'34" West, 26.42 feet to a point for corner;

18. South 89°02'42" West, 171.62 feet to a point for corner;

19. South 84'38'24" West, 112.86 feet to a point for corner;

20. South 86'26'25" West, 64.50 feet to a point for corner;

21. South 01°22'08" West, 1.02 feet to a point for corner;

22. North 88'37'52" West, 60.00 feet to a point for corner:

Before me, the undersigned, personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____, ____.

Notary Public State of Texas

STATE OF TEXAS §

COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares Registered Professional Land Surveyor No. 5317

STATE OF TEXAS §

COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshan, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshan, P.E. Professional Engineer

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____, 20___, by the City Council, City of Angleton, Texas.

Mayor

23. North 86°32'45" West, 66.17 feet to a point for corner;

24. North 81°45'53" West, 59.15 feet to a point for corner;

25. North 78°32'29" West, 58.96 feet to a point for corner;

26. North 76°06'07" West, 60.00 feet to a point for corner;

27. North 75°57'23" West, 353.23 feet to a point for corner marking the southwest corner of the herein described subject tract, being common with the east line of aforementioned F.M. Highway 521 and the west line of said 469.08-acre tract;

THENCE, North 14'02'37" East, along said common lines, 1052.84 feet to the POINT OF BEGINNING, CONTAINING 18.77 acres of land situated in Brazoria County, Texas.

GENERAL NOTE:

- 1) "B.L." INDICATES BUILDING LINE.
- 2.) "U.E." INDICATES UTILITY EASEMENT.

3.) "1' RES." INDICATES ONE FOOT RESERVE.

dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs assigns, or successors.

- 4.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 5.) ALL LOT WIDTH AND DEPTH DIMENSIONS ARE APPROXIMATE, AND LOT WIDTHS ARE MEASURED AT THE FRONT BUILDING LINE, AND OR THE REAR BUILDING PAD LINE.
- 6.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 7.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 8.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 9.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 10.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 11.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.

12.) HORIZONTAL DATUM: ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.

VERTICAL DATUM

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LOT DETAIL

ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.

- 13.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- 14.) THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC. WITH THE AID OF INFORMATION PROVIDED BY QUIDDITY ENGINEERING, LLC.
- 15.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No.10046100, IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
- 16.) PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC, UPON RECORDATION OF A FINAL PLAT.
- LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82. 17.) CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER

City Secretary

It appears this subdivision is completely within Zone X (shaded).

Verify information noted.

STATE OF TEXAS §

COUNTY OF BRAZORIA §

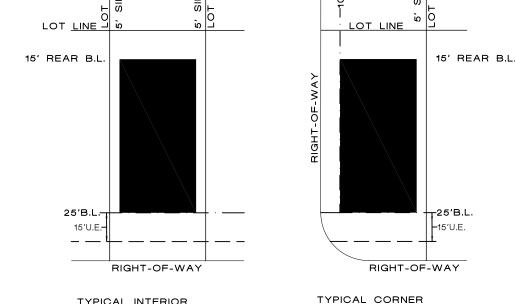
This instrument was acknowledged before me on the ____ day of _____, 20____, by

_____, City Secretary, City of Angleton, on behalf of

the City.

Notary Public State of Texas

LEGEND:



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TYPICAL INTERIOR LOT DETAIL

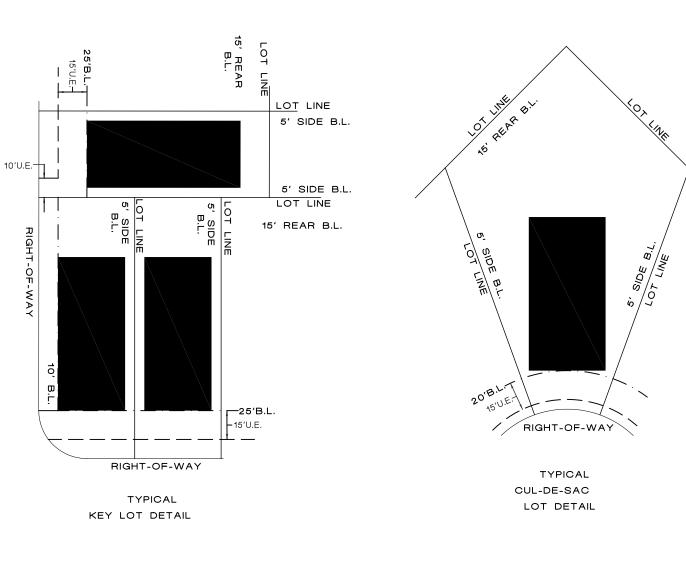


2.) "U.E." INDICATES UTILITY EASEMENT.

- 3.) "AC." INDICATES ACREAGE.
- 4.) "R.O.W." INDICATES RIGHT-OF-WAY.
- 5.) "P.O.B." INDICATES POINT OF BEGINNING.
- 6.) "VOL." INDICATES VOLUME.
- 7.) "PG." INDICATES PAGE.
- 8.) "NO." INDICATES NUMBER.
- 9.) "CT." INDICATES COURT.
- 10.) "DR." INDICATES DRIVE.
- 11.) " " INDICATES STREET NAME CHANGE.
- 12.) " (2) " INDICATES BLOCK NUMBER.
- 13.) 14.) "A " INDICATES RESERVE NUMBER.
- 15.) "^{50'R}, " INDICATES 50' CUL-D-SAC RADIUS.



THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.



ASHLAND **SECTION TWO**

BEING 18.77 ACRES OF LAND

PAGE: 1 OF 2

CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT of THE

SHUBAEL MARSH SURVEY, A-81 & A-82 **BRAZORIA COUNTY, TEXAS**

OWNER:

ANCHOR HOLDINGS MP LLC 101 PARKLANE BOULEVARD, SUITE 102 SUGAR LAND, TEXAS 77478

ENGINEER:

QUIDDITY ENGINEERING, LLC 6330 W LOOP S, SUITE 150 **BELLAIRE, TEXAS 77401** (713)-777-5337

PLANNER:

SURVEYOR **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401 **TBPLS FIRM REGISTRATION No. 10046104**

200

SCALE:	1" = 100'
Ó	100

MARCH 1, 2023

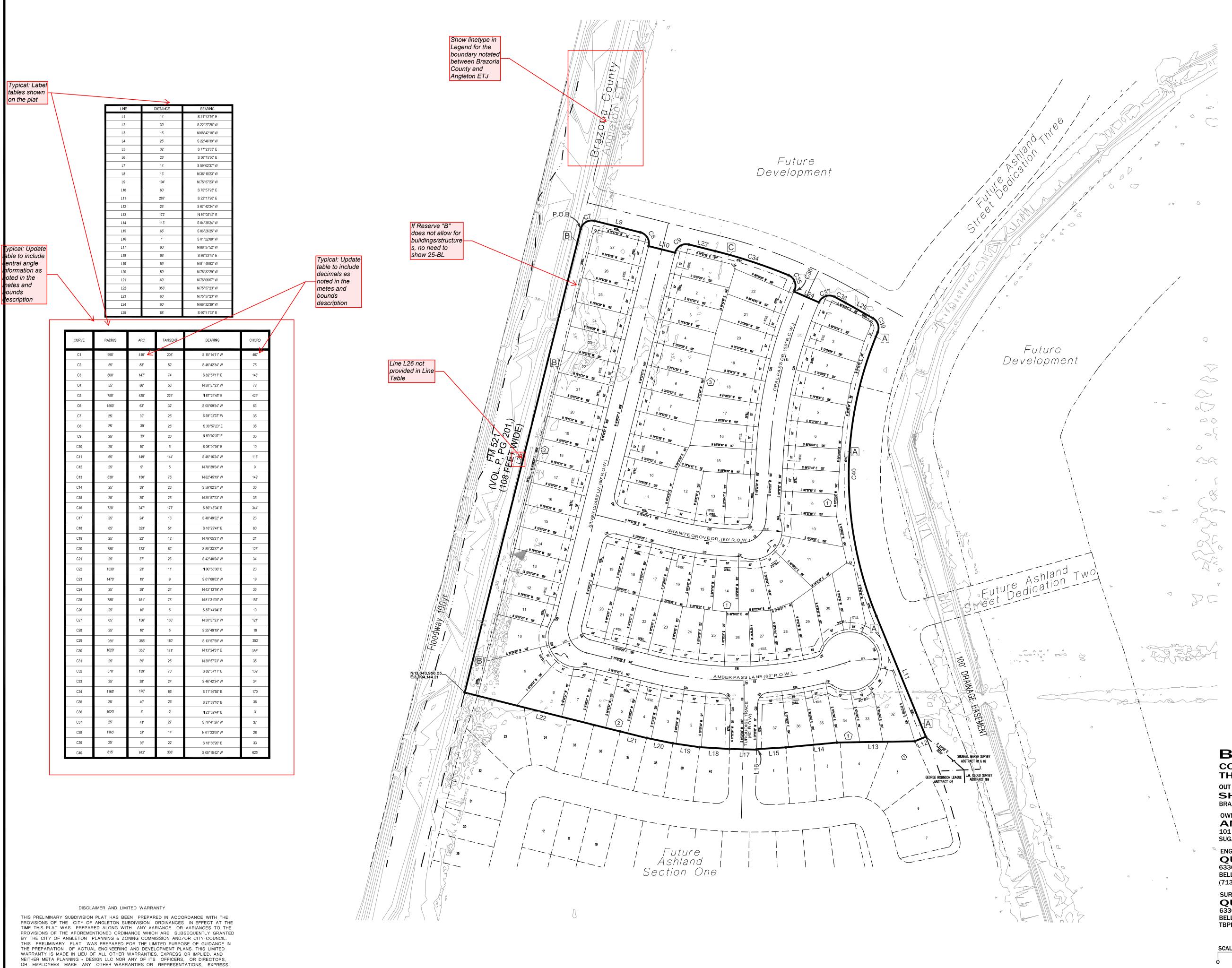
MTA# 78006

PLANNING + DESIGN

META PLANNING + DESIGN LLC

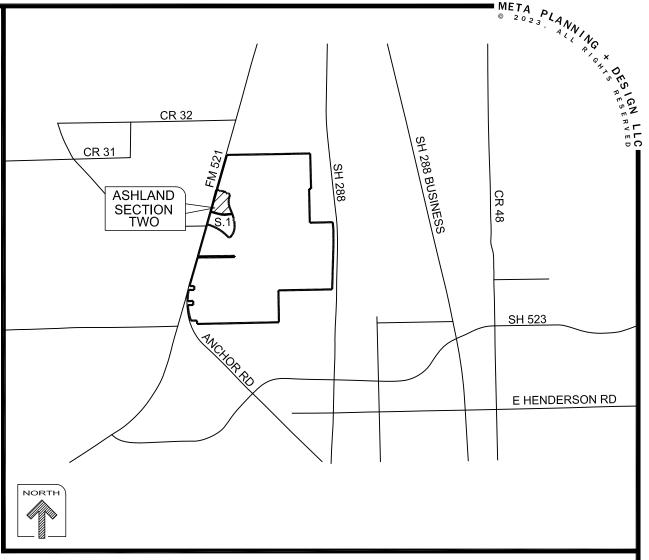
24285 KATY FREEWAY, SUITE 525

KATY, TEXAS 77494 | TEL: 281-810-1422



OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

Item 9.





LOT NO.	LOT AREA SQ. FT.
BLOCK	1
LOT 1	6,523
LOT 2	6,608
LOT 3	6,608
LOT 4	6,608
LOT 5	6,608
LOT 6	6,597
LOT 7	6,336
LOT 8	6,250
LOT 9	6,250
LOT 10	7,207
LOT 11	10,525
LOT 12	8,224
LOT 13	6,826
LOT 14	6,443
LOT 15	6,361
LOT 16	6,355
LOT 17	6,031
LOT 18	6,000
LOT 19	6,585
LOT 20	6,585
LOT 21	6,000
LOT 22	6,000
LOT 23	6,232
LOT 24	6,505
LOT 25	6,505
LOT 26	6,456
LOT 27	6,456
LOT 28	6,674
LOT 29	6,839
LOT 30	6,387
LOT 31	7,217
LOT 32	9,486
LOT 33	5,944

LOT NO.	LOT AREA SQ. FT.
BLOCK	1
LOT 34	6,141
LOT 35	6,531
LOT 36	6,590
LOT 37	7,476
BLOCK	2
LOT 1	6,947
LOT 2	6,293
LOT 3	6,251
LOT 4	6,128
LOT 5	5,988
LOT 6	6,000
LOT 7	5,904
LOT 8	8,259
LOT 9	13,764
LOT 10	8.848
LOT 11	6,148
LOT 12	6,250
LOT 13	6,250
LOT 14	6,250
LOT 15	6,250
LOT 16	6,250
LOT 17	6,250
LOT 18	6,250
LOT 19	6,250
LOT 20	6,250
LOT 21	6,250
LOT 22	6,190
LOT 23	6,875
LOT 24	6,875
LOT 25	6,875
LOT 26	6,875
LOT 27	6,822

LOT NO.	LOT AREA SQ. FT.	
BLOCK	3	
LOT 1	7,030	
LOT 2	6,945	
LOT 3	6,819	
LOT 4	6,781	
LOT 5	6,832	
LOT 6	6,883	
LOT 7	6,934	
LOT 8	6,979	
LOT 9	6,579	
LOT 10	6,240	
LOT 11	6,885	
LOT 12	7,393	
LOT 13	7,338	
LOT 14	7,338	
LOT 15	7,294	
LOT 16	7,652	
LOT 17	7,350	
LOT 18	7,117	
LOT 19	7,048	
LOT 20	7,107	
LOT 21	7,169	
LOT 22	7,377	

LAND USE TABLE			
RESERVE ACREAGE SQ. FT. LAND USE			
A	0.52	22,677	LANDSCAPE/ OPEN SPACE
B 0.77 33,681		LANDSCAPE/ OPEN SPACE	
С	0.15	6,808	LANDSCAPE/ OPEN SPACE

ASHLAND **SECTION TWO**

BEING 18.77 ACRES OF LAND CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS. OUT of THE SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS OWNER: ANCHOR HOLDINGS MP LLC 101 PARKLANE BOULEVARD, SUITE 102 SUGAR LAND, TEXAS 77478 ENGINEER: **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401 (713)-777-5337 PLANNER: SURVEYOR **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 **BELLAIRE, TEXAS 77401 TBPLS FIRM REGISTRATION No. 10046104** PLANNING + DESIGN SCALE: 1" = 100'

PAGE: 2 OF 2

MARCH 1, 2023

META PLANNING + DESIGN LLC 24285 KATY FREEWAY, SUITE 525 KATY, TEXAS 77494 | TEL: 281-810-1422

MTA# 78006



Item 9.

April 3, 2023

Mr. Otis Spriggs Development Services Director 121 S. Velasco Street, Angleton, TX, 77515

Re: ASHLAND SECTION TWO- RESUBMITTAL

Dear Otis,

On behalf of Anchor Holdings, LLC, we Meta Planning + Design, respectfully submit our responses below to the City Comments dated April 2, 2023, for the above referenced plat.

- 1. Verify FIRM information noted. It appears this subdivision is completely within Zone X (shaded). Response: The FIRM information provided is correct. Please see updated plat.
- 2. Verify and update bearing information shown in the metes and bounds description (Typical). Response: This has been updated. Please see updated plat.
- 3. Line L26 not provided in Line Table. Update table to include information for L26. **Response: This has been updated. Please see updated plat.**
- Label tables shown on the plat (Typical).
 Response: The line and curve tables have been labelled. Please see updated plat.
- 5. Update table to include central angle information as noted in the metes and bounds description (Typical). Response: The central angle information has been included in the curve table. Please see updated plat.
- Update table to include decimals as noted in the metes and bounds description (Typical).
 Response: The line and curve tables have been updated to reflect decimals. Please see updated plat.
- 7. Show linetype in Legend for the boundary notated between Brazoria County and Angleton ETJ. Response: The boundary linetype has been included in the legend. Please see updated plat.
- 8. If Reserve "B" does not allow for buildings/structures, no need to show 25-BL. Response: The building line will remain as a buffer along FM-521.

Enclosed is a copy of the revised plat. Please contact me if you need any additional information.

Sincerely,

Caitlin King

Caitlin King Enclosure

STATE OF TEXAS § COUNTY OF BRAZORIA §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ANCHOR HOLDINGS MP, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Ashland Section 2, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

STATE OF TEXAS § COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision. All Owner documents shall specify, confirm and bind the Owner(s) to continuously maintain all Drainage Easements and shall relieve the City of Angleton of the responsibility to maintain any Drainage Easement. The fee simple title to the Drainage and Floodway Easement shall always remain in the Owner(s).

The City and Angleton Drainage District will not be responsible for the maintenance and operation of easement or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion. but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues.

The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

Owner

Duly Authorized Agent

STATE OF TEXAS § COUNTY OF BRAZORIA § STATE OF TEXAS §

COUNTY OF BRAZORIA §

A METES & BOUNDS description of a certain 18.99 acre tract of land situated in the Shubael Marsh Survey, Abstract No. 81 & 82 in Brazoria County, Texas, being out of a called 469.08 acre tract of land conveyed to Anchor Holdings by Special Warranty Deed recorded in Clerk's File No. 2021085145 of the Official Property Records of Brazoria County; said 18.99 acre tract being more particularly described as follows with all bearings being based on the Texas Coordinate System of 1983, South Central Zone;

COMMENCING at a found concrete monument being the northwest corner of said 469.08 acre tract of land, common with the east line of F.M. Highway 521 recorded in Volume P, Page 201 of the community court Records, and the southwest corner of a called 2.97 acre tract of land conveyed to James W. Northrup & Deborah Northrup recorded in Clerk's File No. 01-008056 of the Official Records of Brazoria County, from which a found concrete monument being the southeast corner of a called 96.50 acre tract of land conveyed to James Wortham Northrup recorded in Clerk's File No. 00-016352 Official Records of Brazoria County bears North 87°05'19"East, 2947.41 feet;

THENCE, South 14°02'37" West, along the west line of said 469.08 acre tract, common with the east line of said F.M. 521, 1630.45 feet to the POINT OF BEGINNING of the herein described tract at the beginning of a non-tangent curve to the right;

THENCE, over and across said 469.08 acre tract the following twenty-six (26) courses and distances:

1. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 90°00'10", an arc length of 39.27 feet, and a long chord bearing North 59°02'42" East, 35.36 feet to a point for corner;

2. South 75°57'13" East, 104.37 feet to a point for corner at the beginning of a curve to the right;

3. Along the arc of said curve to the right having a radius of 25.00 feet, a central angle of 89°59'50", an arc length of 39.27 feet, and a long chord bearing South 30°57'18" East, 35.35 feet to a point for corner;

4. South 75°57'04" East, 60.00 feet to a point for corner at the beginning of a non-tangent curve to the right;

5. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 90.00'10", an arc length of 39.27 feet, and a long chord bearing North 59.02'42" East, 35.36 feet to a point for corner;

6. South 75'57'13" East, 25.03 feet to a point for corner at the beginning of a curve to the right;

7. Along the arc of said curve to the right having a radius of 1160.00 feet, a central angle of 10°17'10", an arc length of 208.25 feet, and a long chord bearing South 70'48'38" East, 207.97 feet to a point for corner at the beginning of a compound curve to the right;

8. Along the arch of said compound curve to the right having a radius of 25.00 feet, a central angle of 89°54'46", an arc length of 39.23 feet, and a long chord bearing South 20°42'40" East, 35.33 feet to a point for corner at the beginning of a reverse curve to the left;

9. Along the arc of said reverse curve to the left having a radius of 1020.00 feet, a central anale of 00°17'49", an arc length of 5.29 feet, and a long chord bearing South 24°05'48" West, 5.29 feet to a point for corner;

10. South 66°03'06" East, 60.00 feet to a point for corner at the beginning of a non-tangent curve to the right;

11. Along the arc of said non-tangent curve to the right having a radius of 25.00 feet, a central angle of 93.59'13", an arc length of 41.01 feet, and a long chord bearing North 70.56'30" East, 36.56 feet to a point for corner;

12. South 62°03'54" East, 95.26 feet to a point for corner at the beginning of a curve to the right;

13. Along the arc of said curve to the right having a radius of 25.00 feet, a central angle of 85'33'41", an arc length of 37.33 feet, and a long chord bearing South 1917'03" East, 33.96 feet to a point for corner at the beginning of a reverse curve to the left;

14. Along the arc of said reverse curve to the left having a radius of 815.00 feet, a central angle of 45°47'14", an arc length of 651.30 feet, and a long chord bearing South 00'36'11" West, 634.10 feet to a point for corner;

15. South 22°17'26" East, 287.46 feet to a point for corner;

16. South 67°42'34" West, 26.42 feet to a point for corner;

17. South 89°02'42" West, 171.62 feet to a point for corner;

18. South 84.38'24" West, 112.86 feet to a point for corner;

19. South 86'26'25" West, 64.50 feet to a point for corner;

20. South 01°22'08" West, 1.02 feet to a point for corner;

Before me, the undersigned, personally appeared ______ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____, ____.

_____ Notary Public State of Texas

STATE OF TEXAS §

COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, Steve Jares, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monument shown thereon were properly placed under my supervision.

Steve Jares

Registered Professional Land Surveyor No. 5317

STATE OF TEXAS §

COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That I, William A.C. McAshan, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

William A.C. McAshan, P.E. Professional Engineer

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Chairman, Planning and Zoning Commission

City Secretary

APPROVED this _____ day of _____, 20___, by the City Council, City of Angleton, Texas.

Mayor

21. North 88°37'52" West, 60.00 feet to a point for corner 22. North 86'32'45" West, 66.17 feet to a point for corner;

23. North 81°45'53" West, 59.15 feet to a point for corner;

24. North 78°32'29" West, 58.96 feet to a point for corner;

25. North 76°06'07" West, 60.00 feet to a point for corner:

26. North 75'57'23" West, 353.23 feet to a point for corner;

THENCE, North 14°02'37" East, 1069.98 feet to the POINT OF BEGINNING, CONTAINING 18.99 acres of land in Brazoria County, Texas.

GENERAL NOTE

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LOT DETAIL

- 1,) "B.L." INDICATES BUILDING LINE
- 2.) "U.E." INDICATES UTILITY EASEMENT.

3.) "1' RES." INDICATES ONE FOOT RESERVE.

dedicated to the public in fee as a buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and revest in the dedicator, his heirs assigns, or successors.

- 4.) ALL PROPERTY LINE DIMENSIONS ARE APPROXIMATE.
- 5.) ALL LOT WIDTH AND DEPTH DIMENSIONS ARE APPROXIMATE, AND LOT WIDTHS ARE MEASURED AT THE FRONT BUILDING LINE, AND OR THE REAR BUILDING PAD LINE.
- 6.) NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 7.) NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 8.) NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 9.) NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 10.) NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 11.) ALL RESERVES SHALL BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION OR MUD.
- 12.) HORIZONTAL DATUM: ALL BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), SOUTH CENTRAL ZONE.

VERTICAL DATUM: ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEOID 12B, BASED ON ALLTERRA'S RTK NETWORK, STATIONS HAGS_1012 AND HCOG_14012.

- 13.) THESE TRACTS LIE WITHIN ZONE "X" AND ZONE "X-SHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 485458, MAP NUMBER 48039C0430K, PANEL 430, SUFFIX "K" DATED DECEMBER 30, 2020, FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS.
- THIS PRELIMINARY PLAT HAS BEEN PREPARED BY META PLANNING + DESIGN LLC. WITH THE AID OF INFORMATION PROVIDED BY 14.) QUIDDITY ENGINEERING, LLC.
- 15.) QUIDDITY ENGINEERING, LLC, TBPE FIRM REGISTRATION No. F-23290, TBPLS FIRM REGISTRATION No.10046100,. IS A SUBCONSULTANT ONLY AND HAS NOT PREPARED THIS PRELIMINARY PLAT.
- 16.) PROPOSED MONUMENTS TO BE SET BY QUIDDITY ENGINEERING, LLC, UPON RECORDATION OF A FINAL PLAT.
- 17.) LOTS WITHIN THIS SUBDIVISION SHALL BE SERVICED BY THE FOLLOWING PROVIDERS: BRAZORIA COUNTY MUD #82. CENTERPOINT, TEXAS NEW MEXICO POWER, AND CENTRIC GAS & FIBER.

City Secretary

STATE OF TEXAS §

COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____, 20____, by

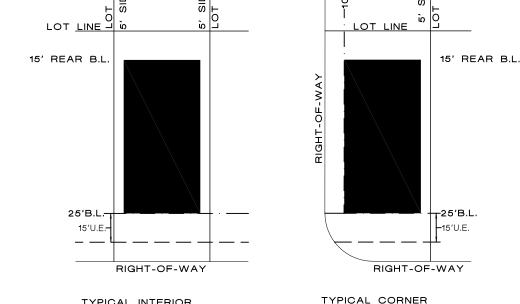
_____ City Secretary, City of Angleton, on behalf of

the City.

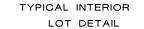
Notary Public State of Texas

LEGEND:

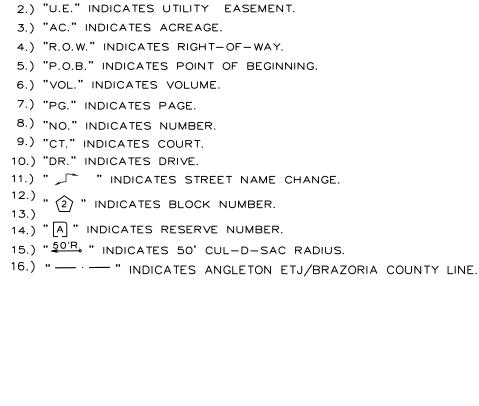
1.) "B.L." INDICATES BUILDING LINE.



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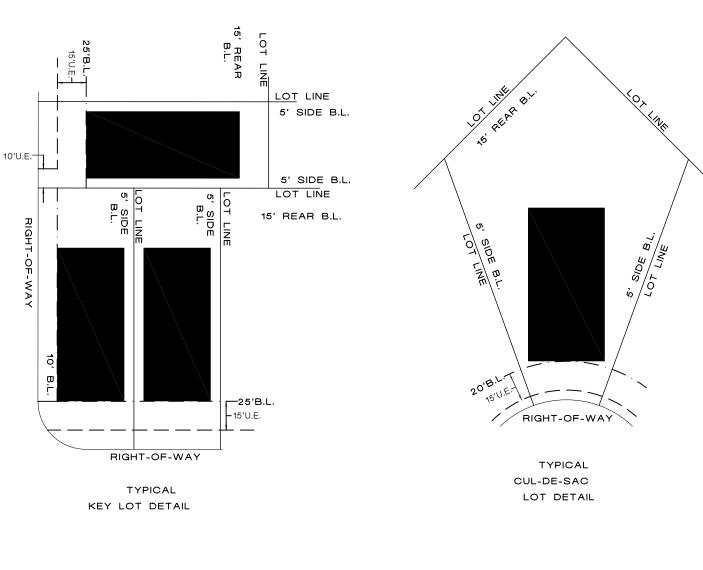


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DISCLAIMER AND LIMITED WARRANTY

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT



ASHLAND **SECTION TWO**

BEING 18.99 ACRES OF LAND

PAGE: 1 OF 2

CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT of THE

SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS

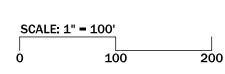
OWNER:

ANCHOR HOLDINGS MP LLC **101 PARKLANE BOULEVARD, SUITE 102** SUGAR LAND, TEXAS 77478

ENGINEER:

QUIDDITY ENGINEERING, LLC 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401 (713)-777-5337

SURVEYOR **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 **BELLAIRE, TEXAS 77401 TBPLS FIRM REGISTRATION No. 10046104**



APRIL 03, 2023



PLANNER:

META PLANNING + DESIGN LLC 24285 KATY FREEWAY, SUITE 525 KATY, TEXAS 77494 | TEL: 281-810-1422

MTA-78006

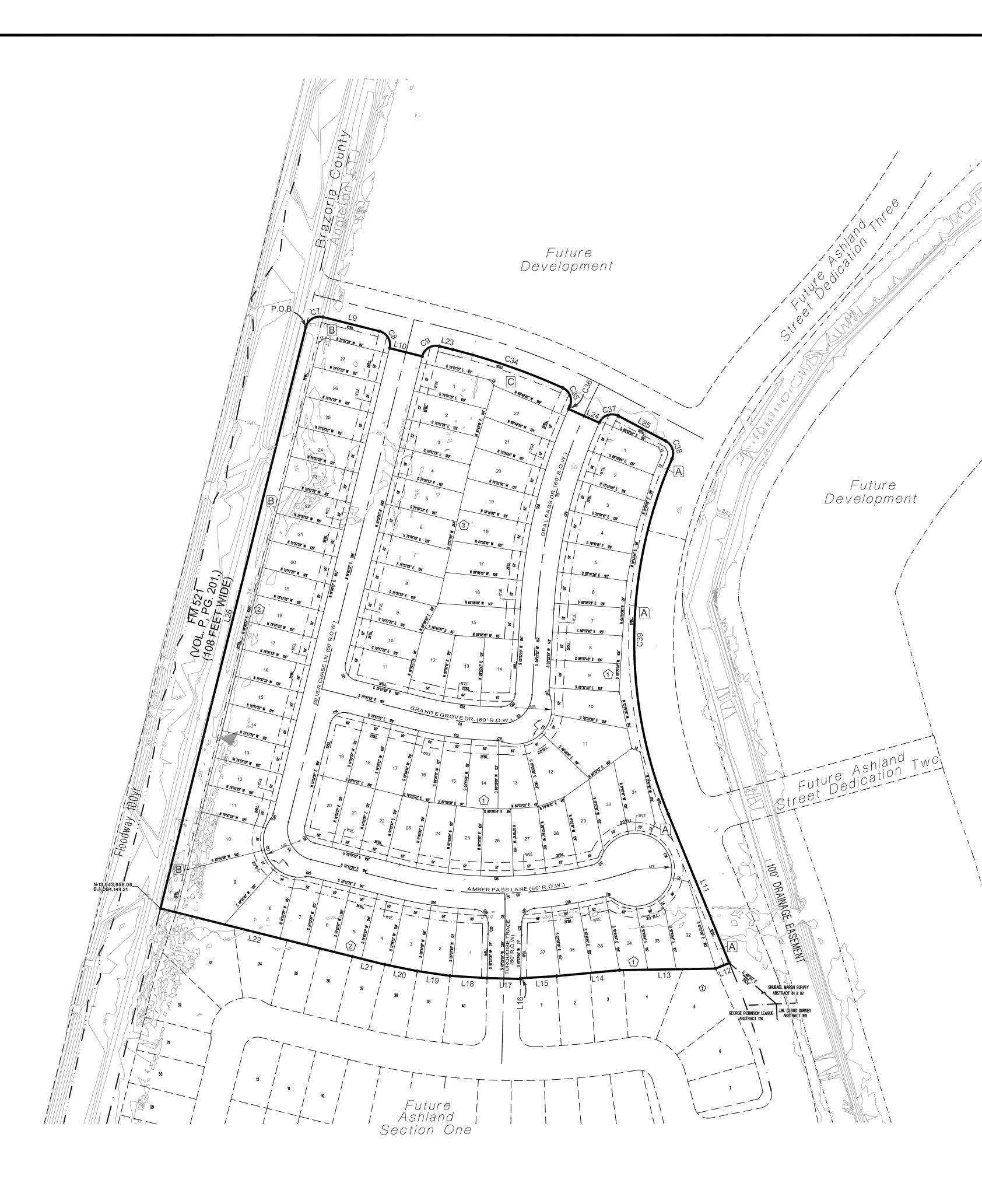
LINE DATA

LINE	DISTANCE	BEARING
L1	14.35'	S 21°42'16" E
L2	38.83'	S 22°27'28" W
L3	16.30'	N 68°42'18" W
L4	25.00'	S 22°46'39" W
L5	31.74'	S 77°23'03" E
L6	25.00'	S 36°15'50" E
L7	14.14'	S 59°02'37" W
L8	12.53'	N 36°10'23" W
L9	104.37'	S 75°57'13" E
L10	60.00'	S 75°57'23" E
L11	287.46'	S 22°17'26" E
L12	26.42'	S 67°42'34" W
L13	171.62'	N 89°02'42" E
L14	112.86'	S 84°38'24" W
L15	64.50'	S 86°26'25" W
L16	1.02'	S 01°22'08" W
L17	60.00'	N 88°37'52" W
L18	66.17'	S 86°32'45" E
L19	59.15'	N 81°45'53" W
L20	58.96'	N 78°32'29" W
L21	60.00'	N 76°06'07" W
L22	353.23'	N 75°57'23" W
L23	25.03'	S 75°57'13" E
L24	60.00'	N 66°03'06" W
L25	95.26'	S 62°03'54" E
L26	1069.98'	N 14°02'37" E

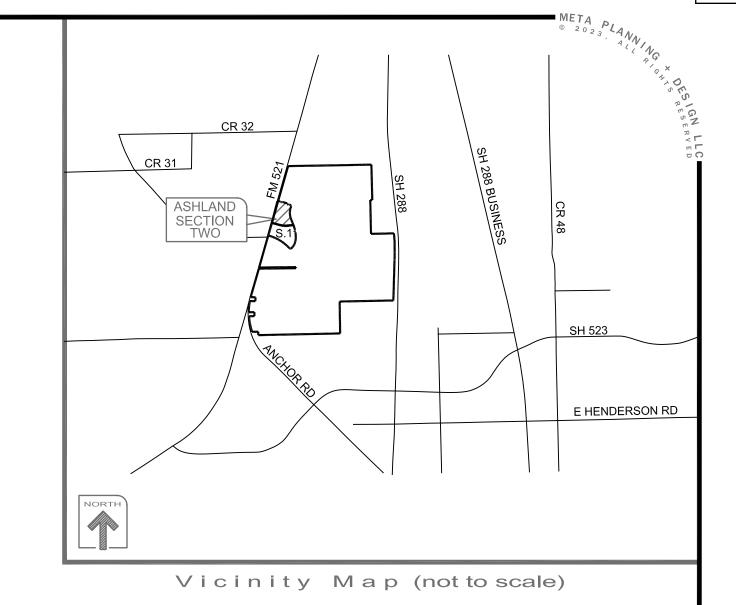
CURVE DATA CENTRA ANGLE BEARING CHORD CURVE ARC RADIUS FANGENT 416.14' N 15°30'17" E C2 55.00' 83.20' S 46°42'34" W 75.49' 86°40'28" 51.90' C3 600.00' 146.58' 73.66' 146.21' 13°59'49" S 82°57'17" E C4 55.00' 86.39' N 30°57'23" W 77.78' 90°00'00" 55.00' C5 750.00' 33°15'45" 435.41' 224.03' N 87°24'45" E 429.32' C6 1500.00' 63.03' 02°24'27' 31.52' S 00°09'54" W 63.02' C7 25.00' 39.27' 35.36' 90°00'10" 25.00' S 59°02'42" W C8 25.00' 39.27' 25.00' S 30°57'18" E 35.35' 89°59'50" C9 25.00' 90°00'10' 39.27' 25.00' N 59°02'42" E 35.36' C10 25.00' 22°44'49" 9.93' S 08°00'04" E 9.86' 5.03' 65.00' 148.95' 143.6 S 46°16'24" W 118.43 C12 25.00' 9.24' 4.67' N 78°39'54" W 9.19' 21°10'23" C13 630.00' 13°17'43" 73.42' 145.86' 146.19' N 82°36'14" W C14 25.00' 39.27' S 59°02'37" W 35.36' 90°00'00" 25.00' C15 25.00' 90°00'00" 39.27' 25.00' N 30°57'23" W 35.36' C16 343.57' 720.00' 27°36'24" 346.92' 176.89' S 89°45'34" E C17 23.17' 24.09' 13.07' S 48°49'52" W 25.00' 55°12'43" C18 65.00' 322.82' 50.27' 79.53' S 16°29'41" E 284°33'36" C19 25.00' 49°44'57" 21.71' 11.59' N 79°05'21" W 21.03' C20 123.05' 780.00' 09°02'54" 123.18' 61.72' S 80°33'37" W C21 25.00' 84°34'00" 36.90' 22.73' S 42°48'04" W 33.64' C22 22.72' 22.72' 1530.00' 00°51'03" 11.36' N 00°56'36" E C23 18.87' 9.44' 18.87' 1470.00' 00°44'08" S 01°00'03" W C24 25.00' 38.27' N 43°13'19" W 34.64' 87°42'37' 24.02' C25 151.16' 780.00' 11°07'16' 151.40' 75.94' N 81°31'00" W C26 10.28' 10.21' 25.00' 5.21' S 87°44'04" E 23°33'23" C27 65.00' N 30°57'23" W 121.00' 137°06'47" 155.55' 165.49' C28 25.00' 10.28' 10.21' 23°33'23" 5.21' S 25°49'19" W C29 960.00' S 13°39'37" W 342.91' 20°34'34" 344.75' 174.25' C30 364.34' 1020.00' 20°34'34" 366.30' 185.15' N 13°39'37" E C31 25.00' 39.27' 35.36' 90°00'00" 25.00' N 30°57'23" W C32 138.90' 69.97' S 82°57'17" E 570.00' 13°59'49" 139.25' C33 25.00' 37.82' 23.59' S 46°42'34" W 34.31' 86°40'28" C34 1160.00' 10°17'10 208.25' 104.41' N 70°48'38" W 207.97' 35.33' C35 25.00' 89°54'45" 39.23' 24.96' S 20°42'40" E C36 1020.00' 00°17'49" 5.29' 2.64' N 24°05'48" E 5.29' C37 25.00' 36.56' 41.01' S 70°56'30" W 93°59'13" 26.80' C38 37.33' 23.13' 33.96' 25.00' N 19°17'03" W 85°33'41' C39 815.00' 45°47'14" N 00°36'11" E 634.10' 651.30' 344.16'

THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF ANGLETON SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE CITY OF ANGLETON PLANNING & ZONING COMMISSION AND/OR CITY-COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC NOR ANY OF ITS OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS, EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY, CHARACTER OF ACTUAL UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE PRELIMINARY SUBDIVISION PLAT.

DISCLAIMER AND LIMITED WARRANTY



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LOT NO.	LOT AREA SQ. FT.
вгоск	1
LOT 1	6,523
LOT 2	6,608
LOT 3	6,608
LOT 4	6,608
LOT 5	6,608
LOT 6	6,597
LOT 7	6,336
LOT 8	6,250
LOT 9	6,250
LOT 10	7,207
LOT 11	10,525
LOT 12	8,224
LOT 13	6,826
LOT 14	6,443
LOT 15	6,361
LOT 16	6,355
LOT 17	6,031
LOT 18	6,000
LOT 19	6,585
LOT 20	6,585
LOT 21	6,000
LOT 22	6,000
LOT 23	6,232
LOT 24	6,505
LOT 25	
LOT 26	
LOT 27	6,456
LOT 28	6,674
LOT 29	
LOT 30	6,387
LOT 31	7,217
LOT 32	
LOT 33	5,944

LOT NO.	LOT AREA SQ. FT.
вгоск	1
LOT 34	6,141
LOT 35	6,531
LOT 36	6,590
LOT 37	7,476
BLOCK	2
LOT 1	6,947
LOT 2	6,293
LOT 3	6,251
LOT 4	6,128
LOT 5	5,988
LOT 6	6,000
LOT 7	5,904
LOT 8	8,259
LOT 9	13,764
LOT 10	8,848
LOT 11	6,148
LOT 12	6,250
LOT 13	6,250
LOT 14	6,250
LOT 15	6,250
LOT 16	6,250
LOT 17	6,250
LOT 18	6,250
LOT 19	6,250
LOT 20	6,250
LOT 21	6,250
LOT 22	6,190
LOT 23	6,875
LOT 24	6,875
LOT 25	6,875
LOT 26	6,875
LOT 27	6,822

LOT NO.	LOT AREA SQ. FT.
BLOCK	3
LOT 1	7,030
LOT 2	6,945
LOT 3	6,819
LOT 4	6,781
LOT 5	6,832
LOT 6	6,883
LOT 7	6,934
LOT 8	6,979
LOT 9	6,579
LOT 10	6,240
LOT 11	6,885
LOT 12	7,393
LOT 13	7,338
LOT 14	7,338
LOT 15	7,294
LOT 16	7,652
LOT 17	7,350
LOT 18	7,117
LOT 19	7,048
LOT 20	7,107
LOT 21	7,169
LOT 22	7,377
	LJ

LAND USE TABLE								
RESERVE ACREAGE SQ. FT. LAND USE								
A	0.55	23,956	LANDSCAPE/ OPEN SPACE					
B	0.83	36,325	LANDSCAPE/ OPEN SPACE					
С	0.25	10,923	LANDSCAPE/ OPEN SPACE					

ASHLAND **SECTION TWO**

BEING 18.99 ACRES OF LAND CONTAINING 86 LOTS (50' X 120' TYP.) AND THREE RESERVES IN THREE BLOCKS.

OUT of THE SHUBAEL MARSH SURVEY, A-81 & A-82 BRAZORIA COUNTY, TEXAS

OWNER: ANCHOR HOLDINGS MP LLC 101 PARKLANE BOULEVARD, SUITE 102 SUGAR LAND, TEXAS 77478

ENGINEER: **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 **BELLAIRE, TEXAS 77401** (713)-777-5337

SURVEYOR **QUIDDITY ENGINEERING, LLC** 6330 W LOOP S, SUITE 150 BELLAIRE, TEXAS 77401 TBPLS FIRM REGISTRATION No. 10046104



META PLANNING + DESIGN LLC

24285 KATY FREEWAY, SUITE 525

KATY, TEXAS 77494 | TEL: 281-810-1422

MTA-78006

SCALE: 1" = 100' 100 200

APRIL 03, 2023

PAGE: 2 OF 2



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: 11/18/2022					
TYPE OF PLAT APPLICATION					
ADMINISTRATIVE PRELIMINARY MINOR RESIDENTIAL AMENDING/REPLAT COMMERCIAL	FINAL RESIDENTIAL COMMERCIAL				
Address of property:					
Name of Applicant: Caitlin King Phone: 2	281-810-7228				
Name of Company: META Planning + DesignPhone: 2	281-810-1442				
E-mail: cking@meta-pd.com					
Name of Owner of Property: Ashton Gray Development					
Address: 101 Parklane Blvd, Suite 102, Sugar Land, Texas, 77478					
Phone: 281-810-7228 E-mail: cking@meta-pd.com					
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief. Signature of Owner or Agent for Owner (Applicant)					
NOTARIAL STATEMENT FOR APPLICANT:					
Sworn to and subscribed before me this <u>18</u> day of <u>NOVEMBEY</u> , 2022.					
(SEAL)	Man State of Texas xpires: 0118/2025				



AGENDA ITEM SUMMARY FORM

MEETING DATE:	April 11, 2023
PREPARED BY:	Otis T. Spriggs, AICP, Development Services Director
AGENDA CONTENT:	Discussion and possible action on a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street.

AGENDA ITEM SECTION: Consent Agenda Item

BUDGETED AMOUNT: None

FUNDS REQUESTED: None

FUND: None

EXECUTIVE SUMMARY:

This is a request from the owner/developer of the Austin Colony Development, PD No. 3, regarding a Preliminary Plat for Austin Colony Section 1 A, within Planned Development (PD) District No. 3., on an approximate 51.766 acres, 50 lots, 4 blocks, and 5 reserves being part of 164.50 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkins Street. Note that Section 1 A contains the beginning portion of the redesigned Austin Colony Boulevard which enters off County RD 44, Anchor Road, now having single family lots fronting the right of way.

Approved Land Plan

LOT SIZE	NUMBER	PERCENTAGE OF TOTAL
Minimum 50 ft wide	100	17.67%
Minimum 55 ft wide	215	37.99%
Minimum 60 ft. wide	247	44.34%
TOTAL	562	100%

The applicant recently made minor adjustments to the land plan, redesigning Austin Colony Boulevard to be a local interior street with single family homes fronting on both sides. The fourlane Boulevard- Tigner St. will remain as approved: Austin Colony Boulevard was originally designed the same with no houses fronting on the corridor. This modification was made to avoid safety issues for children, as well as cost increases.

The Austin Colony Development is currently being evaluated to determine what effects the noted minor amendment has had on the PID, Public Improvement District assessments, as well

as the Development Agreement. Staff is working with the Financial Consultants, P-3 and legal counsel in order to coordinate any further amendments through City Council.

Development Schedule. The property shall be developed in accordance with the development schedule attached hereto as Exhibit "C".

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

Mr. Spriggs presented Preliminary Plat for Austin Colony Section 1 A. He explained the reasoning behind the amendment to the PD which covered the Austin Colony Boulevard classification. This proposal is in compliance with the PD Ordinance. The City Engineer has reviewed the submitted Preliminary Plat, and listed (11) comments which have all been addressed by the applicant after the agenda posting. Staff has cleared all the noted comments.

Recommendation. The Planning Commission should approve the Preliminary Plat for Austin Colony Section 1 A and forward it to City Council for final action.

Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve of the proposed preliminary plat and recommends it to the City Council for final action. Motion was seconded by Commission Member Michelle Townsend.

Commission Action:

Roll Call vote:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby- Nay; Commission Member Bonnie McDaniel- Aye; and Commission Member Henry Munson- Nay; and Commission Member Michelle Townsend- Aye.

Motion failed to carry, 3 -4 vote recommending denial.

STAFF REVIEW:

The City Engineer has reviewed the submitted Preliminary Plat for Austin Colony Section 1 A, and the noted (11) comments have all been resubmitted and addressed by the applicant (Transmittal and revised plat is attached). All noted comments have been cleared. Staff recommends approval based on the plan meeting the minimum requirements.

The Planning Commission voted disapproval (3-4 vote) of the Preliminary Plat for Austin Colony Section 1 A.

April 2, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services Austin Colony Section 1a Preliminary Plat – <u>1st Submittal Review</u> Angleton, Texas HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

- 1. Include a lot and block table on the plat that includes the total square footage of each lot within each block.
- 2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing.
- 3. Provide callout for Reserve D and include acreage as provided for other reserves.
- 4. Notate applicable future Austin Colony phases on the preliminary plat.
- 5. Verify and update limits of 20-U.E. within Reserve "B" and adjacent to Karankawa Road.
- 6. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.

Sheet 2 of 2

- 1. Remove fire easement from plat if not applicable
- Verify and update block information in relation to proposed easement/reserves shown in the Drainage and Detention Easement plat certificate.
- 3. Plat note #1 Verify and update the acreage shown in the plat note.
- 4. Include information in plat notes for ownership and maintenance of proposed plat reserves
- 5. Remove additional text from the Engineer's Certificate.

The proposed plat is incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Austin Colony Section 1a Preliminary Plat be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

Javier Vásquez, P.E., CFM Civil Engineer

cc: Files (10361761)

Attachments

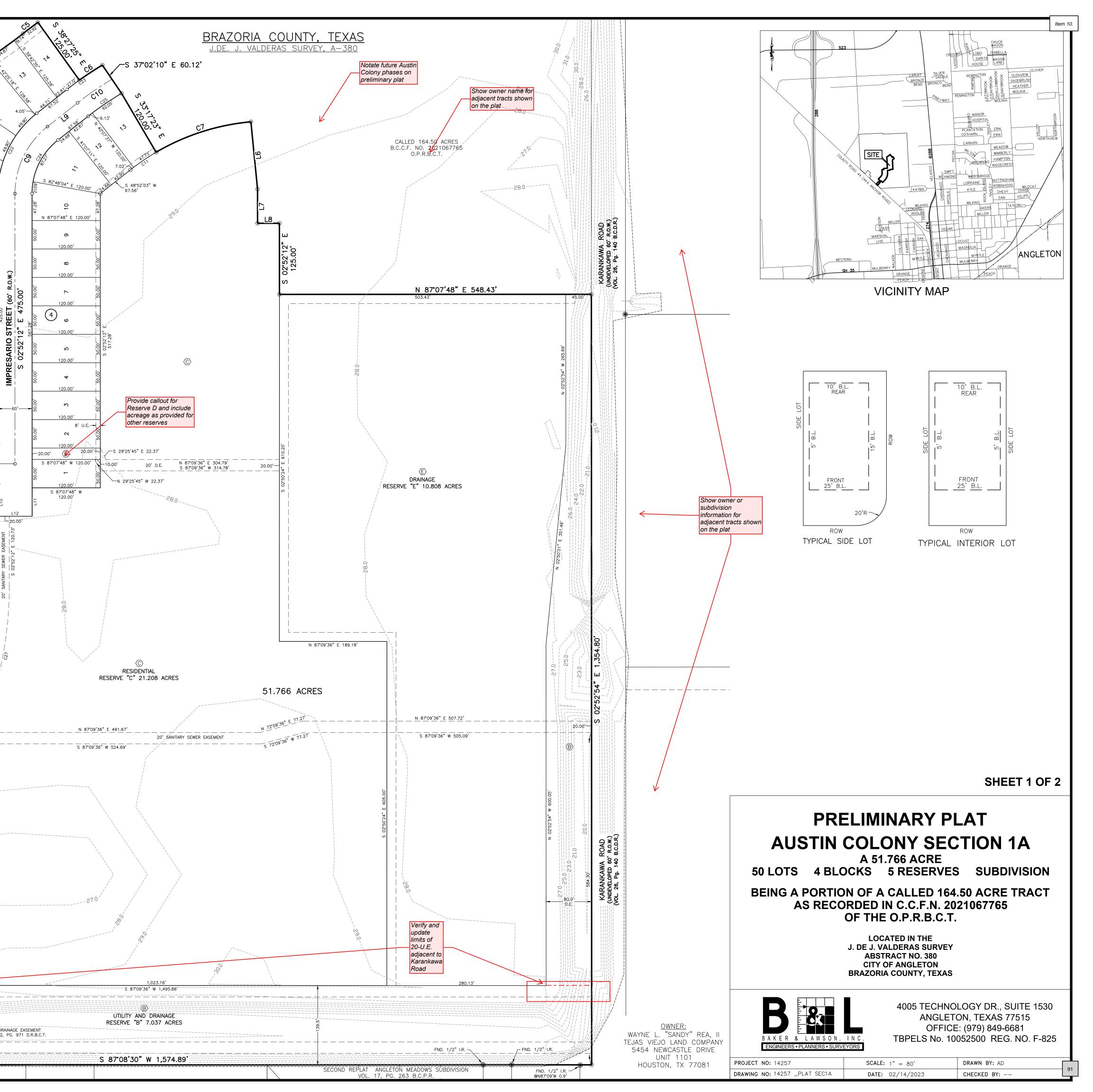
 hdrinc.com
 4828 Loop Central Drive, Suite 800, Houston, TX 77081-2220

 T (713) 622-9264
 F (713) 622-9265

 Texas Registered Engineering Firm F-754

c				SYMBOL	DESCR		RESERVE	TABLE RESERV			AREA			
(K.			$\langle \mathbb{A} \rangle$	RESTRICTED I	RESERVE "		PARK & L	ANDSCAPE		1.400 AC.		16. U.	C4
	T			B	RESTRICTED	RESERVE "	C" RESTRICTED	TO RESIDE	INTIAL USE		7.037 AC. 21.208 AC.			93.9'
	$\overline{\mathbb{A}}$				RESTRICTED RESTRICTED						0.055 AC. 10.808 AC.	(♥24.º' >> 	5 58. 18:2.
													79.99	~
	4												- 8' U.E	~
40'	80'	16	60'		[1	[7			4.11'24" E 13
SCA	ALE 1" = 80'		1		Line No.	Line Tab	le Direction	Line No.	Line Table	e Direction			91.43	10
					Line No.		N42°49'04"E	Line No.		502°52'12"E			 N 87°C)7'48"E 120.
<u>gend</u> bct = 0			RDS BRAZORIA		L2 L3		N47°10'56"W N42°49'04"E	L8 L9		187°07'53"E 148°52'03"E	_		,00.0	1 ත
B.C.T. = 1	COUNTY TEX DEED RECOF	AS RDS BRAZOF			L3 L4		N87°07'48"E	L9 L10	+	148 52 03 E	-		ى ا	120.00'
B.C.T. = C.F.N. = (COUNTY CLE	DS BRAZOR	RIA COUNTY TE NUMBER	XAS	L5 L6		N02°52'12"W	L11 L12		:02°52'12"E 87°07'48"W	_	.42	ũ	Ø
I.R. = I	CAPPED IROI IRON ROD					110.90	S08°29'14"E	L12 L13		8/°0/'48"W 02°52'12"W	_	626.		120.00'
P.O.C. = R.O.W. =	POINT OF BI POINT OF CO RIGHT-OF-W	OMMENCEME /AY	ENT					clude a lot			_	2 ×	2 ·)
B.L. =	VOLUME PAC BUILDING LIN UTILITY EASE	١E					ta in	ble on the p cludes the t	olat that total			52'12	0.00	9
<u>IBOLS</u>			"DAL/CO-					quare footag t within eac				- 02 .	ی ا	120.00'
$\bigcirc = 1$ $\textcircled{\bullet} = 1$	SET 5/8" I. FOUND MON	к. w/CAP UMENT (AS	"BAKER & LA NOTED)	WYSUN			K					z	50.00'	Q
			Curve Tab	le					[120.00'
Curve No.	Length	Radius	Delta	Chord Bearing		ıce		(B.0	CALLED 164 C.C.F. NO. O.P.R.I	.50 ACRES 202106776	5		50.00	4 120.00'
C1 C2	66.28' 25.90'	500.00' 400.00'	7°35'41" 3°42'34"	N46°36'54"E N48°33'27"E	66.23' 25.89'	\neg			U.P.K.I			-•	- 8' U.E	
C3	199.35'	250.00'	45°41'16"	N19°58'26"E	194.11'		Show owner n adjacent tracts		X				- 50	۲۶ 120.00' /
C4 C5	192.65' 32.92'	795.00' 705.00'	13°53'02" 2°40'31"	N55°48'34"E N50°12'19"E	192.17' 32.92'		on the plat		- 0'62 -				50.00'	7
C6	48.38'	580.00'	4°46'46"	N53°55'58"E	48.37'								^{*1} N 87℃	07'48" E 120.
C7 C8	176.39' 318.96'	400.00'	25°15'59" 45°41'17"	N69°20'37"E N19°58'25"E	174.97' 310.58'						'07'48" E		55.00	-
C8 C9	135.45'	400.00	45 41 17 51°44'16"	N19 58 25 E N22°59'55"E	130.89'					20	05.00'			00.00'
C10	73.32'	550.00'	7°38'17"	N52°41'12"E	73.27'				[2	G		DIO STR 7'07'48		0' R.O.W.) 0.00'
C11 C12	54.75' 438.57'	400.00' 550.00'	7°50'34" 45°41'16"	S52°47'20"W S19°58'26"W	54.71' 427.04'			L4 100.00'	-5.00' C,-	·_ ~	-0	200	0.00'	00.00'
C13	53.48'	400.00'	7°39'39"	S39°03'12"W	53.44'		.01, 55.00	' U.E. Q	,00	13.01		<u>35 00' 1</u>	16' U.E	13
C14 C15	66.28' 53.02'	500.00' 400.00'	7°35'41" 7°35'41"	S39°01'13"W	66.23' 52.98'			87°07'48" E 1	42. 20.00'	E -	120.00)' 		87°07'48" W 120.00'
C16	295.04'	370.00'	45°41'17"	N19°58'25"E	287.28'		2 ° 0.00 [°] ×	თ	60.00 63.01	2'12" 63.01' 60.00'	1	8' U.E	• 01.	.20.00
C17 C18	31.42' 342.88'	20.00' 430.00'	90°00'00" 45°41'17"	N47°52'12"W	28.28'		52 , 12	120.00'	163.	02'52'12 163.01' 02'0'	120.00), 	E 128.0	
C18 C19	342.88	430.00 20.00'	45 [°] 41 [°] 17 [°] 90°00'00"	N19°58'25"E S42°07'48"W	333.87' 28.28'		02.	80	3.01	S ^{:01}	10		2.52'12"	
C20	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'		Z المراجع <u>(1.9</u>	9'	1.99'		-1.99'	1,99'	N 02.	
C21 C22	31.42' 162.54'	20.00' 180.00'	90°00'00" 51°44'16"	N42°07'48"E S22°59'55"W	28.28' 157.07'		и [62'	87'07'48" E 1	20.00'	.78'	N 87*07'48"E	120.00' 		
	75.50'	580.00'	7°27'30"	S52°35'36"W	75.45'		23 s	۲ ۱۹۰ ₃₀ ,	83.33'	20	о, S 85°02'23" Е	73.1		
C23		120.00'	51°44'16" 7°50'34"	S22°59'55"W	104.72' 71.12'		10	^{'9•38'16" E 120}	<u></u>	87		120.00, 1		
C23 C24	108.36'	520.00'			71.12		3	ଚ		99	80	274		
C23	108.36' 71.18' 287.92'	520.00' 670.00'	24°37'19"	N09°26'27"E	285.71'		$1 \sim 6_{6}$			⊢_s	77· ₂₇ , 8'	11- 11		
C23 C24 C25	71.18'			S08°09'37"W	285.71' 264.03'		66*517 12	0.00; <u>E</u> 120.00;	76 82.5	10		U.E.		
C23 C24 C25 C26	71.18'	670.00'	24°37'19"					\$ <u> 2.00</u> , <u> 120.00</u> ,	C8	26.	77*27'44" E 120			
C23 C24 C25 C26	71.18'	670.00'	24°37'19"			Lat of	\$ 5.5.7.03.59. 5.5.7.03.59.			26.	77*27'44" E 120			,
C23 C24 C25 C26	71.18'	670.00'	24°37'19"			100 PH 100	\$ 5.5.7.03.59. 5.5.7.03.59.			\$ 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	77:27'44" E 120 3'05" E 120.00'			, , , ,
C23 C24 C25 C26	71.18'	670.00'	24°37'19" 22°03'39"	S08°09'37"W	264.03'	نبر کر م	× 5 54.03 50. 1 120 C			85 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	77:27'44" E 120 3'05" E 120.00'			
C23 C24 C25 C26	71.18'	670.00'	24°37'19"	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c			85 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	77:27'44" E 120 3'05" E 120.00'			
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' J. DE J.	670.00'	24°37'19" 22°03'39"	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c		S SST W S RE	8 8 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 6 7 6 7 6 7 6 7 6 7 6 7 6 7 6 7 7 7 7 7 7 7 7 7 7 7 7 7	77:27'44" E 120 3'05" E 120.00'	C12 27.4	8.0	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67'	670.00'	24°37'19" 22°03'39"	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c	1 5. 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	S SST W S RE	85 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	77:27'44" E 120 3'05" E 120.00'	C12 27.4	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' J. DE J. VALDERAS A-380 A. ROBERTS	670.00' 690.00'	24°37'19" 22°03'39"	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c		S SST W S RE	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 27.4	20-	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' J. DE J. VALDERAS A-380 . ROBERTS A-363	670.00' 690.00'	24°37'19" 22°03'39" \$ 75°39'23" 6,187.35'	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c	1 5, 6 6 6 6 7 7 7 7 7 7 7 7 7 7 7 7 7		8 8 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 5 6 6 7 6 7 6 7 6 7 6 7 6 7 6 7 6 7 7 7 7 7 7 7 7 7 7 7 7 7	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' J. DE J. VALDERAS A-380 ROBERTS A-363 - INTERIOR 164.50 A	670.00' 690.00' CORNER SRE TRAC	24°37'19" 22°03'39" \$ 75°39'23" 6,187.35'	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c	1 5 5 6 6 6 6 6 6 6 6 6 6 6 7 7 7 7 7 7 7 7 7 7 7 7 7	S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' J. DE J. VALDERAS A-380 ROBERTS A-363 - INTERIOR	670.00' 690.00' 690.00' CORNER SRE TRAC	24°37'19" 22°03'39" \$ 75°39'23" 6,187.35'	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c	1 5 5 5 5 5 5 5 5 5 5 5 5 5	S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' VALDERAS A-380 A-380 A-363 INTERIOR 164.50 A FND. 1/2 @N51°16'	670.00' 690.00' 690.00' CORNER SRE TRAC	24°37'19" 22°03'39" \$ 75'39'23" 6,187.35' T	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c	1 5 5 6 6 6 6 6 6 6 6 6 6 6 7 7 7 7 7 7 7 7 7 7 7 7 7	S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' VALDERAS A-380 . ROBERTS A-363 . ROBERTS A-363 . INTERIOR 164.50 AU FND. 1/2 @N51*16'	670.00' 690.00' CORNER SRE TRAC " G.I.R. E, 1.2'	24°37'19" 22°03'39" \$ 75°39'23" 6,187.35' T	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	80	
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C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' VALDERAS A-380 . ROBERTS A-363 . ROBERTS A-363 . INTERIOR 164.50 AU FND. 1/2 @N51*16'	670.00' 690.00' 690.00' CORNER SRE TRAC " C.I.R. E, 1.2' URE 15' U.E	24°37'19" 22°03'39" \$ 75°39'23" 6,187.35' T	S08°09'37"W	264.03'	3	* 5 34.03 50. r 120 c		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' 265.67' VALDERAS A-380 	670.00' 690.00' 690.00' CORNER SRE TRAC SRE TRAC "C.I.R. E, 1.2' URE 15' U.E IRE 10' R.O. CATION RE 10' R.O.	24°37'19" 22°03'39" \$ 75°39'23" \$ 75°39'23" 6.187.35' T	S08°09'37"W	264.03' 266.0 266.	3	* 5 34.03 50. r 120 c		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' 265.67' VALDERAS A-380 	670.00' 690.00' 690.00' CORNER SRE TRAC SRE TRAC "C.I.R. E, 1.2' URE 15' U.E IRE 10' R.O. CATION RE 10' R.O.	24°37'19" 22°03'39" \$ 75°39'23" \$ 75°39'23" 6.187.35' T	S08°09'37"W	264.03' 269.00 269.000 269.000 269.000 269.000	ANDSCAPE	x x x x x x x x		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' 265.67' VALDERAS A-380 	670.00' 690.00' 690.00' CORNER SRE TRAC SRE TRAC "C.I.R. E, 1.2' URE 15' U.E IRE 10' R.O. CATION RE 10' R.O.	24°37'19" 22°03'39" \$ 75°39'23" \$ 75°39'23" 6.187.35' T	S08°09'37"W	264.03' 266.03' 266.03	ANDSCAPE	x x x x x x x x		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' 265.67' VALDERAS A-380 	670.00' 690.00' 690.00' CORNER SRE TRAC SRE TRAC "C.I.R. E, 1.2' URE 15' U.E IRE 10' R.O. CATION RE 10' R.O.	24°37'19" 22°03'39" 22°03'39" 5 75°39'23" 6,187.35' 6,187.35' T	S08°09'37"W	264.03' 266.03' 266.03	A ANDSCAPE 1.400 ACF	x x x x x x x x		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	C12 213	80	
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C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' VALDERAS A-380 	670.00' 690.00' 690.00' CORNER SRE TRAC " C.I.R. E, 1.2' URE 15' U.E IRE 10' R.O. URE 15' U.E RE TRAC " C.I.R. E, 1.2' URE 15' U.E RE TRAC	24°37'19" 22°03'39" 22°03'39" 5 75'39'23" 6.187.35' 7 6.187.35' 7 6.187.35' 7 6.187.35' 7 6.187.35'	S08°09'37"W	264.03' 266.03' 266.03	A ANDSCAPE 1.400 ACF	* 5 3 FO. 5 * 1000 *		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	20	20	
C23 C24 C25 C26 C27	71.18' 287.92' 265.67' 265.67' VALDERAS A-380 	670.00' 690.00' 690.00' CORNER SRE TRAC CORNER SRE TRAC SRE TRAC S	24°37'19" 22°03'39" 22°03'39" 5 75°39'23" 6,187.35' 6,187.35' T	S08°09'37"W	264.03' 266.03' 266.03	A ANDSCAPE 1.400 ACF	* 5 3 FO. 5 * 1000 *		S S S S S S S S S S S S S S S S S S S	85 5055 85 5055 20 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L 5 62:18:28° L	77:27'44" E 120 3'05" E 120.00'	20	20	

ANGLETON MEADOWS BUSINESS PARK PLAT No. 2005019895 B.C.P.R.



FIRE LANE AND FIRE EASEMENT	
THAT THE UNDERSIGNED DOES HEREBY COVENANT AND AGREE THAT THEY SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD ALL-WEATHER SURFACE AND THAT THEY SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTION, INCLUDING BUT NOT LIMITED TO THE PARKING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF FIRE APPARATUS. THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN APPROPRIATE SIGNS IN CONSPICUOUS PLACES ALONG SUCH FIRE LANES, STATING "FIRE LANE, NO PARKING." THE POLICE OR HIS DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.	
PLANNING AND ZONING COMMISSION AND CITY COUNCIL:	
APPROVED THIS DAY OF, 20, BY THE PLANNING AND ZONING COMMISSION, CITY OF ANGLETON, TEXAS.	
from plat if	
CITY SECRETARY applicable.	
APPROVED THIS DAY OF, 20, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.	

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT WAYNE L. REA II, OF TEJAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION 1A. A SUBDIVISION IN THE JURISDICTION OF THE CITY O ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC US FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREET ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR TH PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHE IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, O ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY E PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL T OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II TEJAS VIEJO LAND COMPANY

STATE OF TEXAS § COUNTY OF BRAZORIA §

Verify and update block

easement/reserves

proposed

information in relation to

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

CITY SECRETARY

STATE OF TEXAS §

COUNTY OF BRAZORIA §

JASON PEREZ, MAYOR

NOTARY PUBLIC STATE OF TEXAS

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE OMAY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION OF BLOCK 1, AS SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEME NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NO BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE ____ DAY OF _____, 20___, BY THE ANGLETON DRAINAGE THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN

EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRIC 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR

MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES. THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

BOARD MEMBER

FIELD NOTES FOR 51.766 ACRE

705.00 FFFT:

DESCRIPTION OF A 51.766 ACRE TRACT OF LAND, LOCATED WITHIN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380 BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), REFERRED TO HEREINAFTER AT THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2-INCH CAPPED IRON ROD, STAMPED "STROUD", FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING LOCATED ON THE NORTHEAST RIGHT-OF-WAY (R.O.W.) LINE OF COUNTY ROAD 44 (ALSO KNOWN AS ANCHOR ROAD, 110' WIDE); THENCE NORTH 47"10'56" WEST, ALONG THE SOUTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTHEAST LINE OF SAID COUNTY ROAD 44 R.O.W., A DISTANCE OF 350.63 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR THE SOUTHWEST CORNER OF AUSTIN COLONY SECTION 1A; THENCE IN A GENERAL NORTHEASTERLY DIRECTION ALONG THE NORTHWEST LINE OF THE AUSTIN

COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES: NORTH 42'49'04" EAST, A DISTANCE OF 99.66 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE RIGHT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 66.28 FEET, SAID CURVE HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 07.35'41", A CHORD WHICH BEARS NORTH 46'36'54" EAST, A DISTANCE OF 66.23 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 50'24'44" EAST, A DISTANCE OF 91.59 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 25.90 FEET, SAID CURVE HAVING A RADIUS OF 400.00, A CENTRAL ANGLE OF 03'42'34", A CHORD WHICH BEARS NORTH 48'33'27" EAST, A DISTANCE OF 25.89 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER; NORTH 47'10'56" WEST, A DISTANCE OF 119.08 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 42'49'04" EAST, A DISTANCE OF 207.81 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE LEFT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 199.35 FEET, SAID CURVE HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 45'41'16", A CHORD WHICH BEARS NORTH 19'58'26" EAST, A DISTANCE OF 194.11 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 02'52'12" WEST, A DISTANCE OF 183.01 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 87°07'48" EAST, A DISTANCE OF 95.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

NORTH 02'52'12" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON". SET FOR CORNER: NORTH 87'07'48" EAST, A DISTANCE OF 205.00 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 02*52'12" WEST, A DISTANCE OF 626.42 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE LEFT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 192.65 FEET, SAID CURVE HAVING A RADIUS OF 795.00 FEET, A CENTRAL ANGLE OF 13'53'02", A CHORD WHICH BEARS NORTH 55'48'34" EAST, A DISTANCE OF 192.17 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID POINT BEING IN THE RC OF A CURVE OF REVERSE CURVATURE TO THE TO THE RIGHT, HAVING A RADIUS OF

THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 32.92 FEET, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 02°40'31", A CHORD WHICH BEARS NORTH 50°12'19" EAST. A DISTANCE OF 32.92 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR THE MOST NORTHERLY CORNER OF AUSTIN COLONY SECTION 1A;

THENCE IN A GENERAL SOUTHEASTERLY DIRECTION ALONG THE NORTHEAST LINE OF THE AUSTIN COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES: SOUTH 38'27'25" EAST, A DISTANCE OF 125.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 48.38, SAID CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 04'46'46", A CHORD WHICH BEARS NORTH 53'55'58" EAST, A DISTANCE OF 48.37 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 37'02'10" EAST, A DISTANCE OF 60.12 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; SOUTH 33'17'23" EAST, A DISTANCE OF 120.00 FEET TO A 5/8-INCH CAPPED IRON ROD,

"BAKER & LAWSON". SET FOR AN INTERIOR NORTHEAST CORNER OF SAID AUSTI COLONY SECTION 1A, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 176,39 FEET, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 25'15'59", A

CHORD WHICH BEARS NORTH 69'20'37" EAST, A DISTANCE OF 174.97 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER; SOUTH 08'29'14" EAST, A DISTANCE OF 118.95 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 87°07'53" EAST, A DISTANCE OF 38.47 FEET TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON", SET FOR CORNER;

SOUTH 02'52'12" EAST, A DISTANCE OF 125.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; THENCE NORTH 87'07'48" EAST, CONTINUING ALONG THE NORTHEAST LINE OF SAID AUSTIN COLONY

SEC 1A, A DISTANCE OF 548.43 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET IN THE WEST LINE R.O.W. LINE OF KARANKAWA ROAD (60' WIDE UNIMPROVED ROAD) FOR THE NORTHEAST CORNER OF AUSTIN COLONY SECTION 1A; THENCE SOUTH 02'52'54" EAST. ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID KARANKAWA ROAD AND THE EAST LINE OF SAID

AUSTIN COLONY SEC 1A. A DISTANCE OF 1.354.80 FEET TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON", SET FOR THE SOUTHEAST CORNER OF AUSTIN COLONY SECTION 1A; THENCE SOUTH 87'08'30" WEST, CONTINUING ALONG THE SOUTH LINE OF THE ABOVE REFERENCED

TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID AUSTIN COLONY SECTION 1A, A DISTANCE OF 1,547.89 FEET TO THE POINT OF BEGINNING OF THE ABOVE REFERENCED TRACT OF LAND, CONTAINING 51.766 ACRE OF LAND, MORE OR LESS.

NOTES: 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 11.313 ACRE TRACT INTO A 50 LOT 4 BLOCK 1 RESERVE

ZONE, NAD-83, U.S. SURVEY FEET.

SUBDIVISION. 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL

- 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
- 4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY: MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERT AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABÍLITY ON THE PART OF THE SURVEYOR.
- 5. SITE BENCHMARK TBM "A" 5/8-INCH IRON ROD SET ±40' FROM THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ON THE SOUTHWEST HIGH BANK OF THE DITCH. ELEVATION= 26.90' NAVD1988 (BASED ON GPS OBSERVATION, GEOID 18)
- 6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- 7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES
- 9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NO RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT
- 10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY O HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER
- 11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

STATE OF TEXAS § COUNTY OF BRAZORIA §

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

plat reserves

<u>PRELIMINARY</u> NOT TO BE RECORDED FOR ANY PURPOSE DATE: 02/28/23

DARREL HEIDRICH REGISTERED PROFESSIONAL LAND SURVEYOR LAND SURVEYOR NO. 5378

STATE OF TEXAS § COUNTY OF BRAZORIA §

MY SUPERVISION.

SIGNED:

KNOW ALL MEN BY THESE PRESENTS: THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE. THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON IDC EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSIN CRANTED BY THE CL COUNCIL THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND

> PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 02/28/23

DOUGLAS B. ROESLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

Include information in plat notes for ownership and maintenance of proposed

Remove additional text from the Engineer's Certificate

THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER

SHEET 2 OF 2

Item 10

PRELIMINARY PLAT **AUSTIN COLONY SECTION 1A**

A 51.766 ACRE 50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION

BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN C.C.F.N. 2021067765 OF THE O.P.R.B.C.T.

> LOCATED IN THE J. DE J. VALDERAS SURVEY **ABSTRACT NO. 380** CITY OF ANGLETON **BRAZORIA COUNTY, TEXAS**



PROJECT NO: 14257

DRAWING NO: 14257 _PLAT SEC1A

<u>OWNER:</u> WAYNE L. "SANDY" REA, II TEJAS VIEJO LAND COMPANY 5454 NEWCASTLE DRIVE UNIT 1101 HOUSTON, TX 77081

SCALE: 1'' = 80'DATE: 02/14/2023

DRAWN BY: AD CHECKED BY: --

4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515

OFFICE: (979) 849-6681

TBPELS No. 10052500 REG. NO. F-825



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: <u>3/1/2023</u>
TYPE OF PLAT APPLICATION
ADMINISTRATIVEPRELIMINARYFINALMINORRESIDENTIALRESIDENTIALIAMENDING/REPLATCOMMERCIALCOMMERCIALI
Address of property: Northeast Side of County Road 44 (Anchor Road) and 1,000' Southeast of CR 340 (Carr Road)
Name of Applicant: Douglas B. Roesler, P.E./Robin Crouch Phone: 979-849-6681
Name of Company: Baker & Lawson, Inc. Phone:
E-mail:
Name of Owner of Property: Tejas Angleton Development, LLC
Address:
Phone: 713-993-64543 E-mail: waynerea@swbell.net
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.
NOTARIAL STATEMENT FOR APPLICANT:
Sworn to and subscribed before me this $\frac{27}{27}$ day of <u>February</u> , $20\overline{23}$.
(SEAL) ANGELA HAMMOND Notary Public STATE OF TEXAS NOTARY ID # 13104489-5 My Comm. Expires 03-15-2025 Notary Public for the State of Texas Commission Expires: <u>03-15-2025</u>

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Item 10.

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description) 164.5 acres being all of Lots 73,75,76, 77 and 84 of the New York and Texas Land Company Subdivision

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Douglas B. Roesler, P.E & Robin Crouch./Baker & Lawson, Inc.

ADDRESS: 4005 Technology Drive, Suite 1530, Angleton, Texas 77515

APPLICANT PHONE # 979-849-6681 E-MAIL: droesler@bakerlawson.com

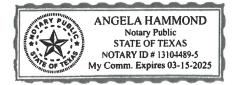
PRINTED NAME OF OWNER: Tejas Angleton Development, L.L.C.

SIGNATURE OF OWNER he_ DATE: JAN 4, 2022

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 6 day of January , 20 22

(SEAL)



Notary Public for the State of Texas

Commission Expires: <u>03-15-20</u>

PROJECT SUMMARY FORM

Address of property Northeast side	of CR 44 (Anchor Road) across the	street from the City of Angleton	's Lakeside Park.				
The subject property fronts 350	feet on the Northe	eastside of CR 44	4 (Anchor Rd.)				
Depth: 1,500 Ft.	square feet						
INDICATE THE PURPOSE OF THE REQUESTED PLAT APPROVAL (BE SPECIFIC): To plat Section 1A of a multiple section developement. Section 1A will be							
50 lots (22-60' wide lots & 2 reserves areas for a landso		•					
area (1.808 acres) and a u							
Is this platting a requirement for o	btaining a building permit?	X YES NO					
INDICATE ADDITIONAL INFO APPLICATION.	RMATION THAT WILL AS	SSIST WITH THE REVIE	W OF THIS				
1. See Engineer's S	ummary Letter da	tedFebruary 20,	2023.				
2. See Preliminary F	Plat for Austin Cold	ony Section 1A.					
3. See Preliminary L	Jtility and Storm S	ewer Layout dra	awing.				
Name: Robi Cior	Dat	e: _02/27/23					
INDICATE ADDITIONAL INFO APPLICATION. 1. See Engineer's St 2. See Preliminary F 3. See Preliminary L	ummary Letter da Plat for Austin Cold Jtility and Storm S	tedFebruary 20, ony Section 1A.	2023.				

SUBMITTAL REQUIREMENTS Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

- 1. A completed application form and application fee;
- 2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with \$117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
- 3. A preliminary utility plan showing all existing and proposed utilities;
- 4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
- 5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
- 6. A drainage report, as set out in section 23-15, Drainage and utilities;
- 7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
- 8. A current tax certificate(s);
- 9. Construction plans may be submitted at the option of the applicant;
- 10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
- 11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
- 12. Heritage tree survey and a tree preservation plan;
- 13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
- 14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

*RESIDENTIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)
200 Lots or less\$800.00 plus \$6.00 per lot
\$4.00 per additional lot over 200
\$1,000.00More than 200 Lots\$4.00 per additional lot over 200
\$1,000.00Plan Review Fee by City Engineer
deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

*COMMERCIAL (Preliminary and	nd Final Plat Fees are separate and calculated as detailed herein)
Less than two acres	\$1,000.00
More then True Acres	01 00000 1 05000 1999

More than Two Acres Plan Review Fee by City Engineer deposit (If cost of review exceeds deposit amount, balance of cost will be billed at a later time) \$1,000.00 plus 25.00/additional acre

\$1,000.00

OFFICE USE ONLY:

Date received:	_By:
Type of Plat:	
Description of individual charges:	
Total Fee Received:	_By:
Proof of taxes received:Yes If no, explain:	
<u>PRELIMINARY PLAT MEETINGS:</u>	
Pre-submission conference/meeting date:	
Received Preliminary Plat on:	by
Preliminary plat staff meeting date:	
Planning & Zoning meeting date:	
City Council meeting date:	
FINAL PLAT MEETINGS:	
Received final plat onby	
Reviewed by Staff onby	
Planning & Zoning meeting date:	
City Council meeting date:	
Filed with County Clerk on:	
File-stamped copy to owner/developer on:	

Exhibit C

Development Standards and District Regulations

All regulations of the Code of Ordinances of the City of Angleton shall apply in this Planned Development PD Three (3) unless otherwise modified in this Exhibit or the PD Planned Development Overlay District Three (3) Ordinance.

REGULATIONS for Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9. as identified in Exhibit "B":

- 1. **Base District.** The provisions of Section 28-47 SF-5 Single Family Residential 5 District of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance shall apply to Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9, except as otherwise modified herein.
- **2.** Uses. Those uses described for the SF-5 district in Section 28-81 Use Regulations (Charts) shall be permitted for Phases 1A, 1B, 2A, 2B, 3, 4, 5, 6, 7, 8 and 9.
- **3.** Lot Dimensions and Development. The lots shall be the size depicted in Exhibit "B" and shall be approximately 120 feet in length, with the front width of each lot as set forth in this Sections and Lot Summary Chart.

SECTIONS AND LOT SUMMARY CHART							
Section	Lot Width 50 Feet	Lot Width 55 Feet	Lot Width 60 Feet	Section Lot Total			
1A	30 Lots	20 Lots		50 Lots			
1B		50 Lots		50 Lots			
Section 2A	24 Lots	29 Lots		53 Lots			
Section 2B	46 Lots	1 Lots		47 Lots			
Section 3		43 Lots	9 Lots	52 Lots			
Section 4		46 Lots	17 Lots	63 Lots			
Section 5		26 Lots	35 Lots	61 Lots			
Section 6			41 Lots	41 Lots			
Section 7			50 Lots	50 Lots			
Section 8			44 Lots	44 Lots			
Section 9 Commercial reserve or 55-60 Lots			55 Lots				
Lot Size Total	100 Lots	215 Lots	251 Lots	566 Lots			
Size%	17.67%	37.99%	44.34%	100%			

- **4.** Entry Monument. An Entry Monument shall be placed at the corner of Austin Colony Boulevard and County Road 44, which is the entry to the Project off County Road 44. The Entry Monument shall be either brick or stone with landscaping, planted grass, shrubs, an irrigation system and lighting.
- 5. Fencing. Developer agrees to install perimeter fencing as depicted in Exhibit "D" attached hereto. Developer agrees to install premium, stained, crowned fencing along the

rear Property lines of all lots at the intersection of the Austin Colony Boulevard entrance at CR 44 (Anchor Road) and along both sides of the extension of Tigner Street. All perimeter fencing shall be maintained by the Homeowners' Association. Perimeter fencing shall not be installed within any street intersection sight triangles. All fencing for each proposed development phase shall be installed prior to the occupancy of any residence in that phase. All wood fencing will have a top cap.

REGULATIONS for Phase 9 as identified by Exhibit "B":

- **1. Base District.** The provisions of Section 28-58 C-O/R Commercial-Office/Retail District of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance, shall apply to Phase 9 of the Property subject to the provisions of this Exhibit and the PD Planned Development Overlay District Three (3) Ordinance.
- 2. In the event the then current owner of the property depicted as Phase 9 of Exhibit "B" hereof has not applied for a building permit for an office or retail use permitted by Section 28-81 of the City of Angleton Code of Ordinances (C-O/R Commercial office-Retail District) within six (6) years of the issuance of the first building permit in the project, the then current owner shall be automatically, and with no additional legislative action, be permitted to take all necessary steps to construct single family residential District consistent with the requirements of Section 28-47 SF-5 Single Family Residential District and Exhibit "B.".



April 3, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: Austin Colony Section 1a Preliminary Plat – <u>1st Submittal Review Comments</u> Angleton, Texas

Dear Mr. Spriggs:

Attached is the updated Austin Colony Section 1A Preliminary Plat preliminary plat for the above referenced subdivision and offers the following comments:

Sheet 1 of 2

- 1. Include a lot and block table on the plat that includes the total square footage of each lot within each block. **Included a lot and block table with square footages**.
- 2. Show owner name for adjacent tracts shown on the plat where noted in the plat drawing. Added owner name for adjacent tracts.
- 3. Provide callout for Reserve D and include acreage as provided for other reserves. **Provided callout for Reserve D.**
- 4. Notate applicable future Austin Colony phases on the preliminary plat. Noted future Austin Colony phases.
- 5. Verify and update limits of 20-U.E. within Reserve "B" and adjacent to Karankawa Road. Verified and updated limits.
- 6. Show location of City Limits on the plat drawing, per Angleton LDC Sec. 23-117.

City Limits location is shown on CR 44. Property was annexed into the City Limits March 9, 2021 - Ordinance No. 2021030-016

Sheet 2 of 2

- 1. Remove fire easement from plat if not applicable **Removed**
- Verify and update block information in relation to proposed easement/reserves shown in the Drainage and Detention Easement plat certificate.
 Updated
- 3. Plat note #1 Verify and update the acreage shown in the plat note. Acreage and Reserves updated
- 4. Include information in plat notes for ownership and maintenance of proposed plat reserves **Included note**
- 5. Remove additional text from the Engineer's Certificate. **Removed**

DOUGLAS B. ROESLER, P.E. - Principal Engineer 4005 TECHNOLOGY DRIVE, SUITE 1530, ANGLETON, TEXAS 77515 (979) 849-6681 • Fax (979) 849-4689 We believe all comments have been addressed. Please let us know if further information is needed.

Sincerely,

Rob in Crown

Robin Crouch

PLANNING AND ZONING COMMISSION	AND CITY COU	NCIL:				
APPROVED THIS DAY OF COMMISSION, CITY OF ANGLETON, TEX		20,	BY THE	PLANNING	AND	ZONING

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS § COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC STATE OF TEXAS

MY COMMISSION EXPIRES

DRAINAGE AND DETENTION EASEMENT THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON

(CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE ÒWNERS, THEIŔ HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT CALLED DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL E MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING. FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OF CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER. AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

REPRESENT OR GUARANTEE:

ACCEPTED THIS THE _____ DAY OF _____, 20___, BY THE ANGLETON DRAINAGE THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT,

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. . THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.

3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.

H. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL FNGINFFR.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

BOARD MEMBER

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT WAYNE L. REA II, OF TEJAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION 1A. A SUBDIVISION IN THE JURISDICTION OF THE CITY O ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER MPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OF ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY E PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FU T OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II TEJAS VIEJO LAND COMPANY STATE OF TEXAS §

COUNTY OF BRAZORIA § BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II

KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

FIELD NOTES FOR 51.766 ACRE

DESCRIPTION OF A 51.766 ACRE TRACT OF LAND, LOCATED WITHIN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380 BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), REFERRED TO HEREINAFTER AT THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2-INCH CAPPED IRON ROD, STAMPED "STROUD", FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING LOCATED ON THE NORTHEAST RIGHT-OF-WAY (R.O.W.) LINE OF COUNTY ROAD 44 (ALSO KNOWN AS ANCHOR ROAD, 110' WIDE); THENCE NORTH 47"10'56" WEST, ALONG THE SOUTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTHEAST LINE OF SAID COUNTY ROAD 44 R.O.W., A DISTANCE OF 350.63 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR THE SOUTHWEST CORNER OF AUSTIN COLONY SECTION 1A; THENCE IN A GENERAL NORTHEASTERLY DIRECTION ALONG THE NORTHWEST LINE OF THE AUSTIN

COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES: NORTH 42'49'04" EAST, A DISTANCE OF 99.66 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE RIGHT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 66.28 FEET, SAID CURVE HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 07.35'41", A CHORD WHICH BEARS NORTH 46'36'54" EAST, A DISTANCE OF 66.23 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 50'24'44" EAST, A DISTANCE OF 91.59 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 25.90 FEET, SAID CURVE HAVING A RADIUS OF 400.00, A CENTRAL ANGLE OF 03'42'34", A CHORD WHICH BEARS NORTH 48'33'27" EAST, A DISTANCE OF 25.89 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER; NORTH 47'10'56" WEST, A DISTANCE OF 119.08 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 42'49'04" EAST, A DISTANCE OF 207.81 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE LEFT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 199.35 FEET, SAID CURVE HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 45'41'16", A CHORD WHICH BEARS NORTH 19'58'26" EAST, A DISTANCE OF 194.11 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 02*52'12" WEST, A DISTANCE OF 183.01 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 87°07'48" EAST, A DISTANCE OF 95.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

NORTH 87'07'48" EAST, A DISTANCE OF 205.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 02*52'12" WEST, A DISTANCE OF 626.42 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 192.65

FEET, SAID CURVE HAVING A RADIUS OF 795.00 FEET, A CENTRAL ANGLE OF 13'53'02", A CHORD WHICH BEARS NORTH 55'48'34" EAST, A DISTANCE OF 192.17 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID POINT BEING IN THE RC OF A CURVE OF REVERSE CURVATURE TO THE TO THE RIGHT, HAVING A RADIUS OF 705.00 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF

32.92 FEET, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 02°40'31", A CHORD WHICH BEARS NORTH 50°12'19" EAST. A DISTANCE OF 32.92 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR THE MOST NORTHERLY CORNER OF AUSTIN COLONY SECTION 1A; THENCE IN A GENERAL SOUTHEASTERLY DIRECTION ALONG THE NORTHEAST LINE OF THE AUSTIN

COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES: SOUTH 38'27'25" EAST, A DISTANCE OF 125.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 48.38, SAID CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 04'46'46", A CHORD WHICH BEARS NORTH 53'55'58" EAST, A DISTANCE OF 48.37 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 37'02'10" EAST, A DISTANCE OF 60.12 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

SOUTH 33'17'23" EAST, A DISTANCE OF 120.00 FEET TO A 5/8-INCH CAPPED IRON ROD, "BAKER & LAWSON". SET FOR AN INTERIOR NORTHEAST CORNER OF SAID AUSTI COLONY SECTION 1A, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 176,39

FEET, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 25'15'59", A CHORD WHICH BEARS NORTH 69°20'37" EAST, A DISTANCE OF 174.97 FEET, TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON" SET FOR CORNER: SOUTH 08'29'14" EAST, A DISTANCE OF 118.95 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 87"07'53" EAST, A DISTANCE OF 38.47 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER; SOUTH 02'52'12" EAST, A DISTANCE OF 125.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

THENCE NORTH 87'07'48" EAST, CONTINUING ALONG THE NORTHEAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 548.43 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET IN THE WEST LINE R.O.W. LINE OF KARANKAWA ROAD (60' WIDE UNIMPROVED ROAD) FOR THE NORTHEAST CORNER OF AUSTIN COLONY SECTION 1A: THENCE SOUTH 02'52'54" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID KARANKAWA ROAD AND THE EAST LINE OF SAID

AUSTIN COLONY SEC 1A, A DISTANCE OF 1,354.80 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR THE SOUTHEAST CORNER OF AUSTIN COLONY SECTION 1A; THENCE SOUTH 87'08'30" WEST, CONTINUING ALONG THE SOUTH LINE OF THE ABOVE REFERENCED

TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID AUSTIN COLONY SECTION 1A, A DISTANCE OF 1,547.89 FEET TO THE POINT OF BEGINNING OF THE ABOVE REFERENCED TRACT OF LAND, CONTAINING 51.766 ACRE OF LAND, MORE OR LESS.

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 51.766 ACRE TRACT INTO A 50 LOT 4 BLOCK 5 RESERVE SUBDIVISION.

- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
- 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
- 4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY: MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 5. SITE BENCHMARK TBM "A" 5/8-INCH IRON ROD SET ±40' FROM THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ON THE SOUTHWEST HIGH BANK OF THE DITCH. ELEVATION= 26.90' NAVD1988 (BASED ON GPS OBSERVATION, GEOID 18)
- 6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- 7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR
- 9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT
- 10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS. ACCURACY AND ADEQUACY O HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THE MAINTENANCE OF THE RESERVES LOCATED ON THIS PLAT.
- 13. THE PLATTED PROPERTY LIES WITHIN A TRACT OF LAND (164.5 ACRE TRACT) ANNEXED BY THE CITY OF ANGLETON ON MARCH 9, 2021, CITY ORDINANCE NO. 20210309016

STATE OF TEXAS § COUNTY OF BRAZORIA §

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

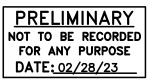
PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 02/28/23 DARREL HEIDRICH

REGISTERED PROFESSIONAL LAND SURVEYOR LAND SURVEYOR NO. 5378

STATE OF TEXAS § COUNTY OF BRAZORIA §

SIGNED

KNOW ALL MEN BY THESE PRESENTS: THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.



DOUGLAS B. ROESLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

SHEET 2 OF 2

Item 10

PRELIMINARY PLAT **AUSTIN COLONY SECTION 1A**

A 51.766 ACRE 50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION

BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN C.C.F.N. 2021067765 OF THE O.P.R.B.C.T.

> LOCATED IN THE J. DE J. VALDERAS SURVEY **ABSTRACT NO. 380** CITY OF ANGLETON **BRAZORIA COUNTY, TEXAS**



4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPELS No. 10052500 REG. NO. F-825

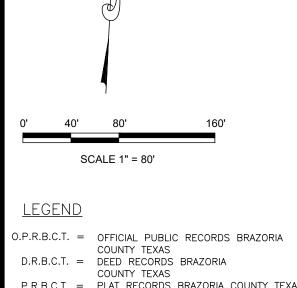
<u>OWNER:</u> WAYNE L. "SANDY" REA, II TEJAS VIEJO LAND COMPANY 5454 NEWCASTLE DRIVE UNIT 1101 HOUSTON, TX 77081

PROJECT NO: 14257 DRAWING NO: 14257 _PLAT SEC1A SCALE: 1" = 80'DATE: 3/13/2023

DRAWN BY: AD CHECKED BY: DH

SYMBOL	DESCRIPTION	RESERVE USE	AREA
$\langle A \rangle$	RESTRICTED RESERVE "A"	RESTRICTED LANDSCAPE USE	1.400 AC.
B	RESTRICTED RESERVE "B"	RESTRICTED TO UTILITY & DRAINAGE USE	7.037 AC.
$\langle \hat{C} \rangle$	RESTRICTED RESERVE "C"	RESTRICTED TO RESIDENTIAL USE	21.208 AC
$\langle D \rangle$	RESTRICTED RESERVE "D"	RESTRICTED TO UTILITY & DRAINAGE USE	0.055 AC.
Ē	RESTRICTED RESERVE "E"	RESTRICTED TO UTILITY & DRAINAGE USE	10.808 AC

Line Table



PLAT RECORDS BRAZORIA COUNTY TEXAS
COUNTY CLERK'S FILE NUMBER
FOUND
CAPPED IRON ROD
IRON ROD
POINT OF BEGINNING
POINT OF COMMENCEMENT
RIGHT-OF-WAY

VOL., PG. = VOLUME PAGE B.L. = BUILDING LINE U.E. = UTILITY EASEMENT <u>SYMBOLS</u>

> O = SET 5/8" I.R. W/CAP "BAKER & LAWSON" \odot = FOUND MONUMENT (AS NOTED)

			Curve Tab	e			
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance		
C1	66.28'	500.00'	7°35'41"	N46°36'54"E	66.23'		
C2	25.90'	400.00'	3°42'34"	N48°33'27"E	25.89'		
C3	199.35'	250.00'	45°41'16"	N19°58'26"E	194.11'		
C4	192.65'	795.00'	13°53'02"	N55°48'34"E	192.17'		
C5	32.92'	705.00'	2°40'31"	N50°12'19"E	32.92'		
C6	48.38'	580.00'	4°46'46"	N53°55'58"E	48.37'		
C7	176.39'	400.00'	25°15'59"	N69°20'37"E	174.97'		
C8	318.96'	400.00'	45°41'17"	N19°58'25"E	310.58'		
C9	135.45'	150.00'	51°44'16"	N22°59'55"E	130.89'		
C10	73.32'	550.00'	7°38'17"	N52°41'12"E	73.27'		
C11	54.75'	400.00'	7°50'34"	S52°47'20"W	54.71'		
C12	438.57'	550.00'	45°41'16"	S19°58'26"W	427.04'		
C13	53.48'	400.00'	7°39'39"	S39°03'12"W	53.44'		
C14	66.28'	500.00'	7°35'41"	S39°01'13"W	66.23'		
C15	53.02'	400.00'	7°35'41"	N46°36'54"E	52.98'		
C16	295.04'	370.00'	45°41'17"	N19°58'25"E	287.28'		
C17	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'		
C18	342.88'	430.00'	45°41'17"	N19°58'25"E	333.87'		
C19	31.42'	20.00'	90°00'00"	S42°07'48"W	28.28'		
C20	31.42'	20.00'	90°00'00"	N47°52'12"W	28.28'		
C21	31.42'	20.00'	90°00'00"	N42°07'48"E	28.28'		
C22	162.54'	180.00'	51°44'16"	S22°59'55"W	157.07'		
C23	75.50'	580.00'	7°27'30"	S52°35'36"W	75.45'		
C24	108.36'	120.00'	51°44'16"	S22°59'55"W	104.72'		
C25	71.18'	520.00'	7°50'34"	S52°47'20"W	71.12'		
C26	287.92'	670.00'	24°37'19"	N09°26'27"E	285.71'		
C27	265.67'	690.00'	22°03'39"	S08°09'37"W	264.03'		

75°39'23 6,187.35

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P.O.B.

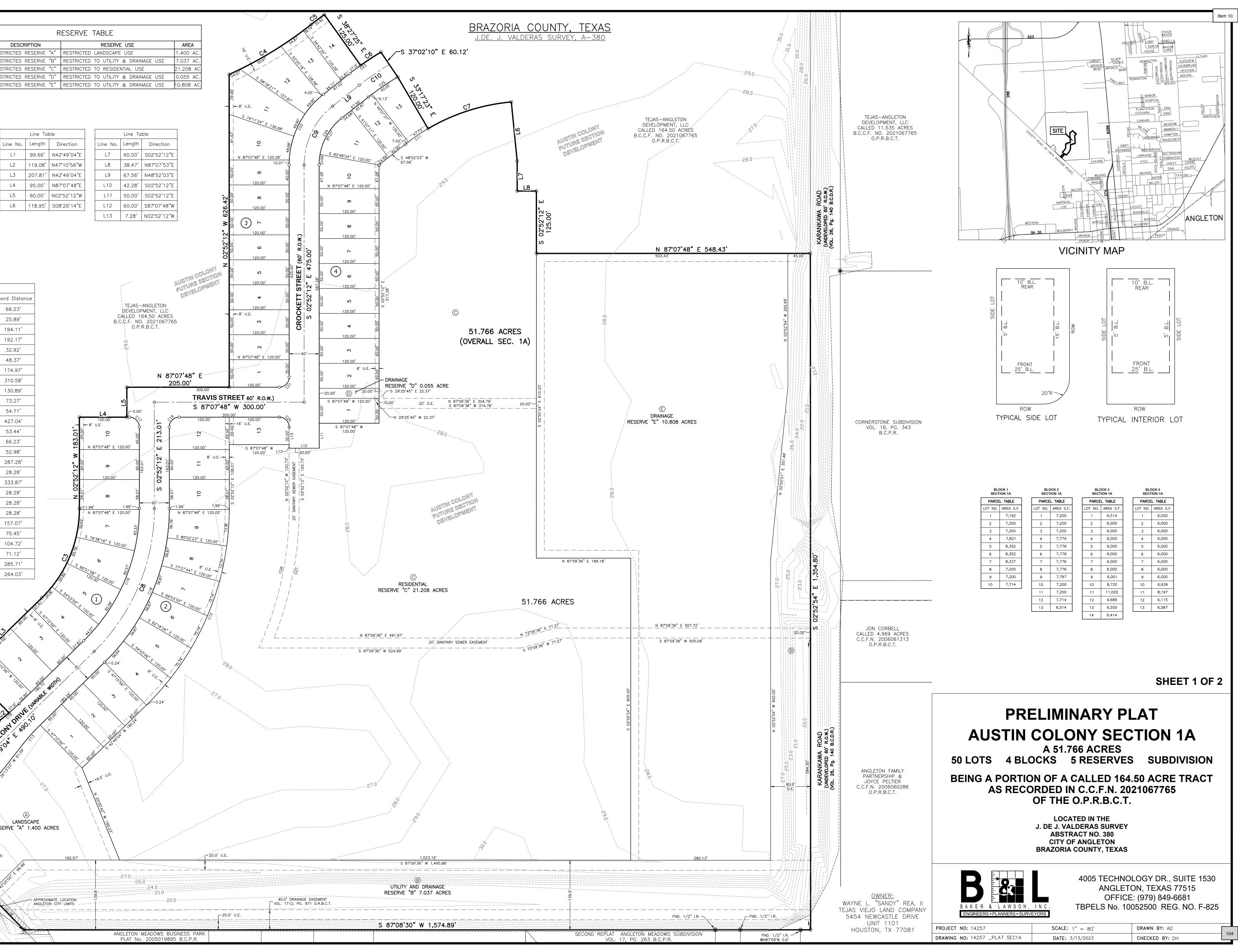
FND. 1/2" C.I.R. "STROUD"

SOUTHWEST CORNER

4

LANDSCAPE

RESERVE "A" 1.400 ACRES



J. DE J. VALDERAS A-380

A. ROBERTS A-363

5, 5,

_ ____ _ _ _ _

- INTERIOR CORNER 164.50 ACRE TRACT FND. 1/2" C.J.R.

- FUTURE 15'U.E

FUTURE 10' R.O.W. DEDICATION

COUNTL ROAD TA

F. 10. 10.56.

0.059 AC. DEDICATED

@N51°16'E, 1.2'

PLANNING AND ZONING COMMISSION	AND CITY COU	NCIL:				
APPROVED THIS DAY OF COMMISSION, CITY OF ANGLETON, TEX		20,	BY THE	PLANNING	AND	ZONING

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY

STATE OF TEXAS § COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____, BY CITY SECRETARY, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC STATE OF TEXAS

MY COMMISSION EXPIRES

DRAINAGE AND DETENTION EASEMENT THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON

(CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE ÒWNERS, THEIŔ HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT CALLED DRAINAGE AND DETENTION EASEMENT." THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL E MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING. FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREINABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OF CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER. AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

REPRESENT OR GUARANTEE:

ACCEPTED THIS THE _____ DAY OF _____, 20___, BY THE ANGLETON DRAINAGE THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT,

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. . THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.

3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.

H. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL FNGINFFR.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

BOARD MEMBER

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT WAYNE L. REA II, OF TEJAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION 1A. A SUBDIVISION IN THE JURISDICTION OF THE CITY O ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER MPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OF ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY E PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FU T OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION FROM ANYONE

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II TEJAS VIEJO LAND COMPANY STATE OF TEXAS §

COUNTY OF BRAZORIA § BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II

KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

FIELD NOTES FOR 51.766 ACRE

DESCRIPTION OF A 51.766 ACRE TRACT OF LAND, LOCATED WITHIN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380 BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN COUNTY CLERK'S FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), REFERRED TO HEREINAFTER AT THE ABOVE REFERENCED TRACT OF LAND, SAID 51.766 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 1/2-INCH CAPPED IRON ROD, STAMPED "STROUD", FOUND FOR THE SOUTHWEST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING LOCATED ON THE NORTHEAST RIGHT-OF-WAY (R.O.W.) LINE OF COUNTY ROAD 44 (ALSO KNOWN AS ANCHOR ROAD, 110' WIDE); THENCE NORTH 47"10'56" WEST, ALONG THE SOUTHWEST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTHEAST LINE OF SAID COUNTY ROAD 44 R.O.W., A DISTANCE OF 350.63 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR THE SOUTHWEST CORNER OF AUSTIN COLONY SECTION 1A; THENCE IN A GENERAL NORTHEASTERLY DIRECTION ALONG THE NORTHWEST LINE OF THE AUSTIN

COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES: NORTH 42'49'04" EAST, A DISTANCE OF 99.66 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE RIGHT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 66.28 FEET, SAID CURVE HAVING A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 07.35'41", A CHORD WHICH BEARS NORTH 46'36'54" EAST, A DISTANCE OF 66.23 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 50'24'44" EAST, A DISTANCE OF 91.59 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT;

NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 25.90 FEET, SAID CURVE HAVING A RADIUS OF 400.00, A CENTRAL ANGLE OF 03'42'34", A CHORD WHICH BEARS NORTH 48'33'27" EAST, A DISTANCE OF 25.89 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER; NORTH 47'10'56" WEST, A DISTANCE OF 119.08 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 42'49'04" EAST, A DISTANCE OF 207.81 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE LEFT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 199.35 FEET, SAID CURVE HAVING A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 45'41'16", A CHORD WHICH BEARS NORTH 19'58'26" EAST, A DISTANCE OF 194.11 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

NORTH 02*52'12" WEST, A DISTANCE OF 183.01 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 87°07'48" EAST, A DISTANCE OF 95.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

NORTH 02°52'12" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

NORTH 87'07'48" EAST, A DISTANCE OF 205.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 02*52'12" WEST, A DISTANCE OF 626.42 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT: NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 192.65

FEET, SAID CURVE HAVING A RADIUS OF 795.00 FEET, A CENTRAL ANGLE OF 13'53'02", A CHORD WHICH BEARS NORTH 55'48'34" EAST, A DISTANCE OF 192.17 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID POINT BEING IN THE RC OF A CURVE OF REVERSE CURVATURE TO THE TO THE RIGHT, HAVING A RADIUS OF 705.00 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF

32.92 FEET, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 02°40'31", A CHORD WHICH BEARS NORTH 50°12'19" EAST. A DISTANCE OF 32.92 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR THE MOST NORTHERLY CORNER OF AUSTIN COLONY SECTION 1A; THENCE IN A GENERAL SOUTHEASTERLY DIRECTION ALONG THE NORTHEAST LINE OF THE AUSTIN

COLONY SECTION 1A, THE FOLLOWING COURSES AND DISTANCES: SOUTH 38'27'25" EAST, A DISTANCE OF 125.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE

TO THE RIGHT, HAVING A RADIUS OF 580.00 FEET; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 48.38, SAID CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 04'46'46", A CHORD WHICH BEARS NORTH 53'55'58" EAST, A DISTANCE OF 48.37 FEET, TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" SET FOR CORNER;

SOUTH 37'02'10" EAST, A DISTANCE OF 60.12 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

SOUTH 33'17'23" EAST, A DISTANCE OF 120.00 FEET TO A 5/8-INCH CAPPED IRON ROD, "BAKER & LAWSON". SET FOR AN INTERIOR NORTHEAST CORNER OF SAID AUSTI COLONY SECTION 1A, SAID POINT BEING IN THE ARC OF A CURVE TO THE LEFT; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 176,39

FEET, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 25'15'59", A CHORD WHICH BEARS NORTH 69°20'37" EAST, A DISTANCE OF 174.97 FEET, TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON" SET FOR CORNER: SOUTH 08'29'14" EAST, A DISTANCE OF 118.95 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

SOUTH 02°52'12" EAST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH CAPPED IRON ROD. STAMPED "BAKER & LAWSON", SET FOR CORNER; NORTH 87"07'53" EAST, A DISTANCE OF 38.47 FEET TO A 5/8-INCH CAPPED IRON ROD,

STAMPED "BAKER & LAWSON", SET FOR CORNER; SOUTH 02'52'12" EAST, A DISTANCE OF 125.00 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR CORNER;

THENCE NORTH 87'07'48" EAST, CONTINUING ALONG THE NORTHEAST LINE OF SAID AUSTIN COLONY SEC 1A, A DISTANCE OF 548.43 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET IN THE WEST LINE R.O.W. LINE OF KARANKAWA ROAD (60' WIDE UNIMPROVED ROAD) FOR THE NORTHEAST CORNER OF AUSTIN COLONY SECTION 1A: THENCE SOUTH 02'52'54" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE WEST R.O.W. LINE OF SAID KARANKAWA ROAD AND THE EAST LINE OF SAID

AUSTIN COLONY SEC 1A, A DISTANCE OF 1,354.80 FEET TO A 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON", SET FOR THE SOUTHEAST CORNER OF AUSTIN COLONY SECTION 1A; THENCE SOUTH 87'08'30" WEST, CONTINUING ALONG THE SOUTH LINE OF THE ABOVE REFERENCED

TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID AUSTIN COLONY SECTION 1A, A DISTANCE OF 1,547.89 FEET TO THE POINT OF BEGINNING OF THE ABOVE REFERENCED TRACT OF LAND, CONTAINING 51.766 ACRE OF LAND, MORE OR LESS.

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 51.766 ACRE TRACT INTO A 50 LOT 4 BLOCK 5 RESERVE SUBDIVISION.

- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
- 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
- 4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY: MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 5. SITE BENCHMARK TBM "A" 5/8-INCH IRON ROD SET ±40' FROM THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ON THE SOUTHWEST HIGH BANK OF THE DITCH. ELEVATION= 26.90' NAVD1988 (BASED ON GPS OBSERVATION, GEOID 18)
- 6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- 7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR
- 9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT
- 10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS. ACCURACY AND ADEQUACY O HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THE MAINTENANCE OF THE RESERVES LOCATED ON THIS PLAT.
- 13. THE PLATTED PROPERTY LIES WITHIN A TRACT OF LAND (164.5 ACRE TRACT) ANNEXED BY THE CITY OF ANGLETON ON MARCH 9, 2021, CITY ORDINANCE NO. 20210309016

STATE OF TEXAS § COUNTY OF BRAZORIA §

KNOWN ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

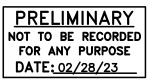
PRELIMINARY NOT TO BE RECORDED FOR ANY PURPOSE DATE: 02/28/23 DARREL HEIDRICH

REGISTERED PROFESSIONAL LAND SURVEYOR LAND SURVEYOR NO. 5378

STATE OF TEXAS § COUNTY OF BRAZORIA §

SIGNED

KNOW ALL MEN BY THESE PRESENTS: THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY COUNCIL.



DOUGLAS B. ROESLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

SHEET 2 OF 2

Item 10

PRELIMINARY PLAT **AUSTIN COLONY SECTION 1A**

A 51.766 ACRE 50 LOTS 4 BLOCKS 5 RESERVES SUBDIVISION

BEING A PORTION OF A CALLED 164.50 ACRE TRACT AS RECORDED IN C.C.F.N. 2021067765 OF THE O.P.R.B.C.T.

> LOCATED IN THE J. DE J. VALDERAS SURVEY **ABSTRACT NO. 380** CITY OF ANGLETON **BRAZORIA COUNTY, TEXAS**



4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPELS No. 10052500 REG. NO. F-825

<u>OWNER:</u> WAYNE L. "SANDY" REA, II TEJAS VIEJO LAND COMPANY 5454 NEWCASTLE DRIVE UNIT 1101 HOUSTON, TX 77081

PROJECT NO: 14257 DRAWING NO: 14257 _PLAT SEC1A SCALE: 1" = 80'DATE: 3/13/2023 DRAWN BY: AD CHECKED BY: DH



AGENDA ITEM SUMMARY FORM

April 11, 2023
Otis T. Spriggs, AICP, Director of Development Services
Discussion and possible action on a Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east.
Regular Agenda Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The subject property consists of approximately Final Plat for Riverwood Ranch Section 3. The proposed final plat consists of approximately 73 single family residential lots on approximately 35.62 acres and is generally located north of Hospital Drive between N. Downing Street to the west and Buchta Road to the east. Riverwood Ranch Section 3 consists of 73 lots, 4 blocks and 5 reserves, being a portion of a called 73.74 acre tract located in the Theodore S. Lee Survey, abstract No. 318, City of Angleton, Brazoria County, Texas.

The permitted lot sizes and density for the Riverwood Ranch project were established as part of an ordinance (ORD. 20200609-006) approving the Planned Development zoning on the property. That ordinance was subsequently amended by ORD. 20200112-014; to include agricultural uses to allow the property owner to obtain an agricultural exemption on the undeveloped portion of the property.

RECORD OF PROCEEDINGS: Planning and Zoning Commission Meeting held April 6, 2023

The City Engineer has reviewed the submitted the Riverwood Ranch Subdivision, Section 3, and the listed (10) comments have been addressed by the applicant since this agenda posting. The comments found in the review were minor and are primarily textual/formatting items noted for correction. Staff has cleared the noted comments.

Commissioner Ellen Eby asked how were the sales going for the subdivision phases 1 and 2.

Michael Foley reported from Riverway spoke on the raised interest rates which have slowed sales. His group is selling at a better pace than others. Lennar does a lot of spec homes and then sells them over a few months. They are not a custom builder.

Recommendation. The Planning Commission should approve the Preliminary Plat for Austin Colony Section 1 A and forward it to City Council for final action.

Commission Action:

Motion was made by Commission Member Bonnie McDaniel to approve of the proposed preliminary plat and recommends it to the City Council for final action. Motion was seconded by Commission Member Munson.

Commission Action:

Chair William Garwood, Aye; Commission Member Deborah Spoor, Nay; Commission Member Regina Bieri- Nay; Commission Member Ellen Eby- Nay; Commission Member Bonnie McDaniel- Nay; and Commission Member Henry Munson- Nay; and Commission Member Michelle Townsend- Nay.

Motion failed to carry, 2 -5 vote recommending denial.

STAFF REVIEW

The City Engineer has reviewed the submitted the Riverwood Ranch Subdivision, Section 3, and has listed (10) comments that need to be addressed by the applicant. The comments found in the review are minor and are primarily textual/formatting items noted for correction. At the time of agenda posting no revisions or resubmittal was received. Staff will update the Commission on the final recommendation during the 4/6/2023 meeting of any and all cleared comments.

RECOMMENDATION:

The Planning and Zoning Commission voted 2-5 denying the Final Plat for Riverwood Ranch Subdivision, Section 3. Staff finds that the plat meets the minimum requirements and should be approved.

April 2, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services
 Riverwood Ranch Section 3 Final Plat and Construction Plans – <u>1st Submittal Review</u>
 Angleton, Texas
 HDR Job No. 10361761

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the construction plans and final plat for the above referenced subdivision and offers the following comments:

Final Plat - Sheet 1 of 2

- 1. Show existing Riverwood Ranch Section 1 in grey scale or dashed lines.
- 2. Notate future Riverwood Ranch phases on Final plat.
- 3. Show existing Northview Subdivision Section 1 in grey scale or dashed lines.

Construction Plans

Sheet 9 – Plan & Profile Emma Street Sta. 10+00 to 15+60

- 1. Verify if overflow weir to extend into ROW where notated on the plans.
- 2. Revise water line offset (Sta. 14+00) shown to be more gradual deflection. Example shown on profile.

Sheet 10 – Plan & Profile Robin Street Sta. 1+60 to 4+20

1. Proposed water line is in conflict with proposed sanitary sewer near Sta. 3+15.

Sheet 14 – Plan & Profile Amy Street Sta. 0+00 to 3+20

1. Verify and update water surface elevations shown for 25yr and 100yr.

Sheet 24 – Paving Marking, Street Sign, and Roadway Lighting Layout

- 1. Update lighting to meet requirements found in Angleton LDC Sec.23-13 G. 1.b. See sheet for locations.
- 2. Update plan sheet to include all proposed striping including stop bar locations and stripping on Buchta Road.

Sheet 40 – Residential Curb Construction Details SL-23

1. Revise subgrade section shown. 8-inch minimum to be used.

The proposed plat and plans are incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Riverwood Ranch Section 3 Final Plat and Construction Plans be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.

nuilbum

Javier Vasquez, P.E., CFM Civil Engineer

cc: Files (10361761)

Attachments

CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 8 BLOCKS, 145 LOTS IN THE CITY OF ANGLETON **BRAZORIA COUNTY** B&L JOB No. 14396

CITY OF ANGLETON

CITY COUNCIL

MAYOR JASON PEREZ

CITY MANAGER CHRIS WHITTAKER CHRISTIENE DANIEL CECIL BOOTH JOHN WRIGHT MARK GONGORA TRAVIS TOWNSEND

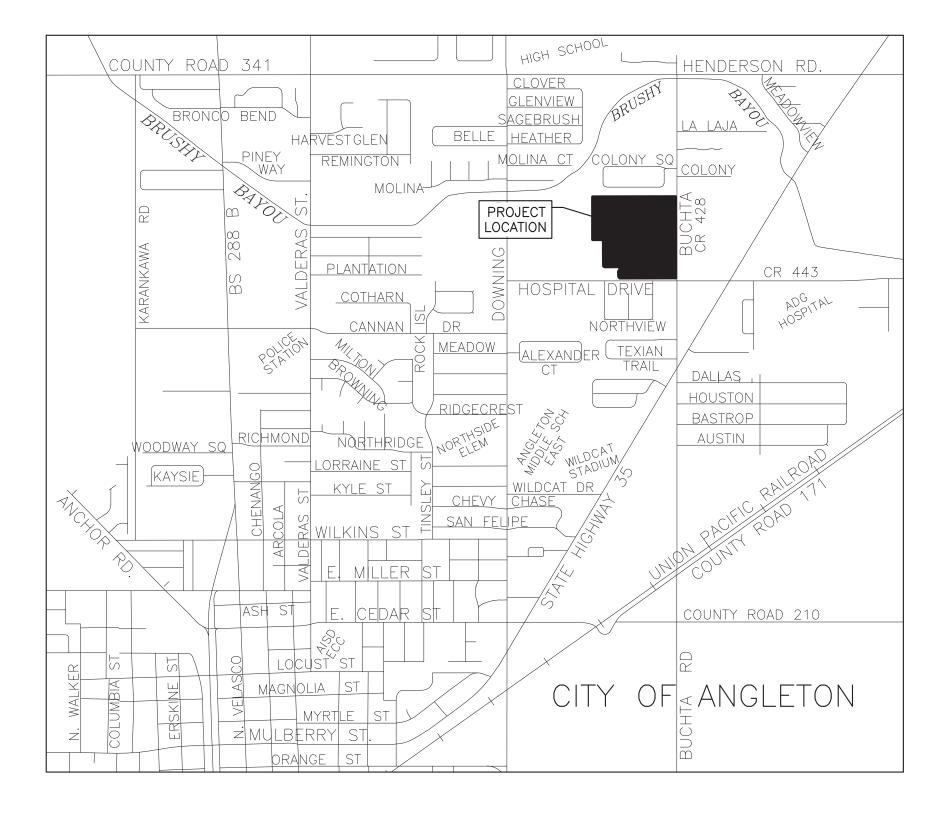
This subdivision lies within the Brushy Bayou Watershed.

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

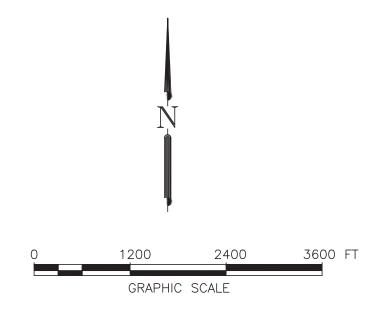
				DESIGNED DR	
				DRAWN BT	
NO.	DATE	DESCRIPTION	APPROVED	CHECKED	BAKER & LAWSON, INC.
		REVISIONS	DATE	ENGINEERS • PLANNERS • SURVEYORS 4005 TECHNOLOGY DRIVE, SUITE 1530 ANGLETON, TEXAS 77515 (979) 849-6681 REG. NO. F-825	



X DOUGLAS B. ROESLE The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN: PROFILE: HORIZONTAL: VERTICAL:



INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
	TITLE SHEET
1	TITLE SHEET FINAL PLAT
- 2	CONSTRUCTION NOTES
3	EXISTING CONDITIONS & DEMOLITION
4	DRAINAGE AREA MAP
5	LOT GRADING PLAN
5 5A	CUT & FILL CALCULATION
6	UTILITY PLAN & SHEET LAYOUT
7	PLAN & PROFILE - EMMA STREET STA -0+80 TO 4+80
8	PLAN & PROFILE - EMMA STREET STA 4+80 TO 10+00
9	PLAN & PROFILE - EMMA STREET STA 10+00 TO 15+60
10	PLAN & PROFILE - ROBIN STREET STA -1+60 TO 4+20
11	PLAN & PROFILE - ROBIN STREET STA 4+20 TO 9+60
12	PLAN & PROFILE - ROBIN STREET STA 9+60 TO 15+20
13	PLAN & PROFILE - ROBIN STREET STA 15+20 TO 20+40
14	PLAN & PROFILE - AMY STREET STA 0+00 TO 3+20
15	PLAN & PROFILE - AMY STREET STA 3+20 TO 8+00
16	PLAN & PROFILE - AMY STREET STA 15+00 TO 17+80
17	PLAN & PROFILE - AMY STREET STA 17+80 TO 22+68
17A	PLAN & PROFILE - OUTFALL C & D
17B	PLAN & PROFILE - OUTFALL D & NORTH DITCH
17C	PLAN & PROFILE - NORTH DITCH
17D	PLAN & PROFILE - NORTH DITCH
18	DETENTION POND
19	SWPPP LAYOUT
20	SWPPP NARRATIVE
21	HYDROLOGICAL CALCULATIONS
22	WINDSTORM DATA RUN A & B
23	WINDSTORM DATA RUN C & D
24	PAVEMENT MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT
25	TRAFFIC CONTROL PLAN - TCP (2-5) - 18
26	HERITAGE TREE PRESERVATION PLAN

DETAIL SHEETS

27	MISCELLANEOUS DETAILS
28 (SL-03)	STORM SEWER MANHOLE CONSTR. DETAILS
29 (SL-08)	STORM SEWER INLET CONSTR. DETAILS II
30 (SL-09)	STORM SEWER INLET CONSTR. DETAILS III
31 (SL-10)	STORM SEWER CONSTR. DETAILS
32 (SL-11)	JUNCTION BOX MANHOLES
33 (SL-14)	SANITARY SEWER CONSTR. DETAILS
34 (SL-15)	WATER LINE CONSTR. DETAILS
35 (SL-16)	WATER LINE CROSSING DETAILS
36 (SL-19)	WATER LINE, SAN. SEW. F.M. BEDDING DETAILS
37 (SL-20)	STORM SEW. BEDDING AND BACKFILL DETAILS
38 (SL-21)	CONCRETE PAVEMENT CONSTR. DETAILS
39 (SL-22)	CONCRETE PAVEMENT CONSTR. DETAILS
40 (SL-23)	RESIDENTIAL CURB CONSTR. DETAILS
41 (SL-25)	WHEEL CHAIR RAMP & SIDEWALK DETAILS I
42 (SL-26)	WHEEL CHAIR RAMP & SIDEWALK DETAILS II
43 (SL-27)	DRIVEWAY CONSTR. DETAILS
44 (SL-33)	GENERAL EROSION CONTROL NOTES
45 (SL-34)	EROSION CONTROL DETAILS - 1
46 (SL-35)	EROSION CONTROL DETAILS - 2

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

TITLE SHEET

FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, LLC, A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B&L), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02"52'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90"00"(THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER:

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER:

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET; NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00"(THE

CHORD BEARS NORTH 47'52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER; NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

CORNER: SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B&L, FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87'07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02*52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B&L, SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT OF WAY LINE OF HOSPITAL DRIVE;

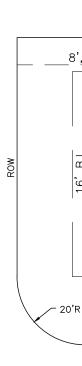
THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

			Curve Te	able					Curve To	able	
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance	Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C20	47.12'	30.00'	90°00'00"	S42°07'30"W	42.43'
C2	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C21	44.63'	30.00'	85°14'11"	N45°29'36"W	40.63'
С3	78.54'	50.00'	90°00'04"	N42°07'32"E	70.71'	C22	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C4	78.54'	50.00'	90°00'00"	N47°52'30"W	70.71'	C23	10.48'	20.00'	30°01'29"	S17°53'15"E	10.36'
C5	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'	C24	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C6	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C25	10.48'	20.00'	30°01'29"	N77°51'46"W	10.36'
C7	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C26	23.81'	50.00'	27°16'52"	S70°44'26"W	23.58'
C8	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'	C27	46.06'	50.00'	52°46'37"	N69°13'49"W	44.45'
C9	130.94'	50.00'	150°02'59"	N47°52'30"W	96.60'	C28	50.53'	50.00'	57°53'51"	N13°53'35"W	48.40'
C10	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'	C29	10.55'	50.00'	12°05'39"	N21°06'10"E	10.53'
C11	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C30	29.72'	50.00'	34°03'12"	N15°52'24"W	29.28'
C12	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'	C31	37.36'	50.00'	42°48'24"	N22°33'24"E	36.49'
C13	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'	C32	36.06'	50.00'	41°19'24"	N64°37'19"E	35.28'
C14	130.94'	50.00'	150°02'59"	N42°07'30"E	96.60'	C33	27.81'	50.00'	31°51'58"	S78°47'00"E	27.45'
C15	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'	C34	2.35'	50.00'	2°41'52"	S31°33'04"E	2.35'
C16	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C35	41.46'	50.00'	47°30'51"	S06°26'42"E	40.29'
C17	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'	C36	34.74'	50.00'	39°48'52"	S37°13'10"W	34.05'
C18	44.63'	30.00'	85°14'11"	N39°44'35"E	40.63'	C37	47.75'	50.00'	54°43'17"	S84°29'15"W	45.96'
C19	47.12'	30.00'	90°00'00"	S47°52'30"E	42.43'	C38	4.63'	50.00'	5°18'06"	N65°30'04"W	4.62'

LINE TABLE							
Line No.	Length	Direction					
L1	28.28'	N47°52'30"W					
L2	80.00'	N02°52'30"W					
L3	11.50'	N87°07'30"E					
L4	60.00'	N02°52'30"W					
L5	28.28'	S47°52'30"E					
L6	70.00'	N87°07'30"E					
L7	60.00'	N87°49'17"E					
L8	60.00'	S86°25'43"W					
L9	70.00'	S87°07'29"W					
L10	28.28'	S42°07'31"W					
L11	120.00'	S02°52'30"E					

CORNER;

BLOCK 1 SECTION 3			DCK 2 TION 3	BLOCK 3 SECTION 3						BLOCK 4 SECTION 3		
PARCE	l table	PARCE	l table	PARCE	PARCEL TABLE		PARCEL TABLE			PARCEL TABLE		
_OT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	1	LOT NO.	AREA S.F.	1 [LOT NO.	AREA S.F	
1	7,112	1	6,160	1	7,234		21	6,000	1 [1	7,200	
2	5,950	2	5,500	2	6,000	1	22	6,000	1 [2	7,200	
3	5,950	3	5,500	3	6,000	1	23	8,194	1 [3	7,200	
4	5,950	4	5,515	4	6,000	1	24	6,000	1 [4	7,200	
5	5,950	5	10,361	5	6,000	1	25	6,000	1 [5	7,954	
6	5,950	6	10,975	6	6,000	1	26	6,000	1 [6	7,200	
7	5,950	7	5,796	7	6,000	1	27	6,000	1 [7	7,200	
8	5,926	8	6,000	8	6,000	1	28	5,833	1 [8	7,200	
9	6,668	9	6,000	9	7,200	1	29	14,158	1	9	7,200	
10	14,121	10	6,000	10	7,200	1	30	11,652	1 [10	7,200	
11	7,786	11	7,234	11	9,034	1	31	5,943	1	11	7,200	
12	7,184	L		12	6,360	1	32	6,000				
13	6,000			13	6,000		33	6,000	1			
14	6,000			14	6,000		34	6,000	1			
15	8,910			15	6,000		35	6,000	1			
				16	6,000		36	7,234	1			
				17	6,000				-			
				18	6,000							
				19	7,200	1						
				20	8,434							



Show existing

Ranch Section 1

in grey scale or

T.S. LEE

SURVEY A-318

N73 52 06"E 2739.64 .

- SOUTHWEST CORNER

OF T.S. LEE SURVEY A-318

I.T. TINSLEY

SURVEY A-375

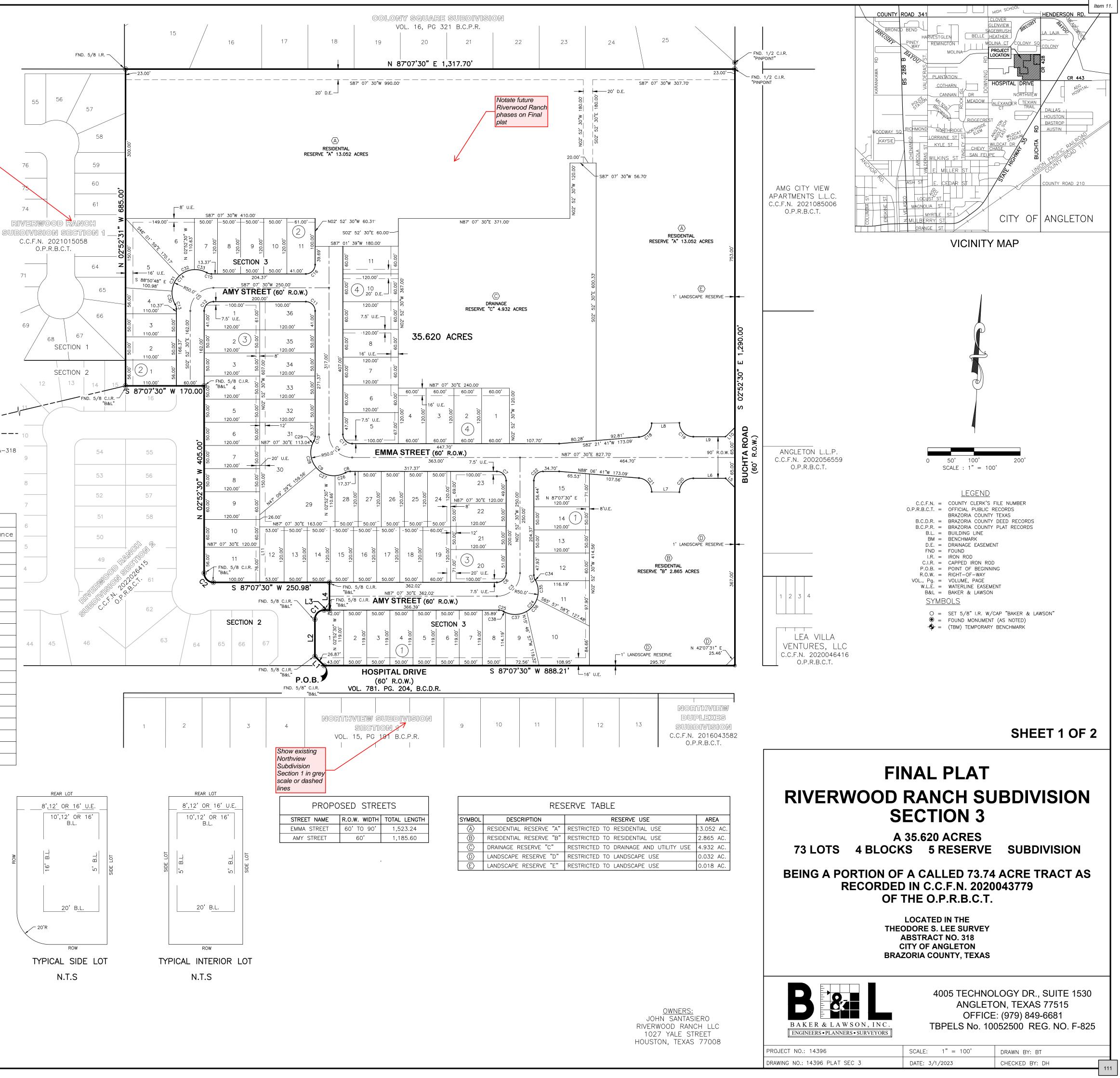
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76

74

69

Riverwood



OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON. OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES. SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

FROM ANYONE.

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

STATE OF TEXAS § COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

PLANNING AND ZONING COMMISSION AND CITY COUNCIL: COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY STATE OF TEXAS § COUNTY OF BRAZORIA § THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____,

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT OR GUARANTEE: DISTRICT

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

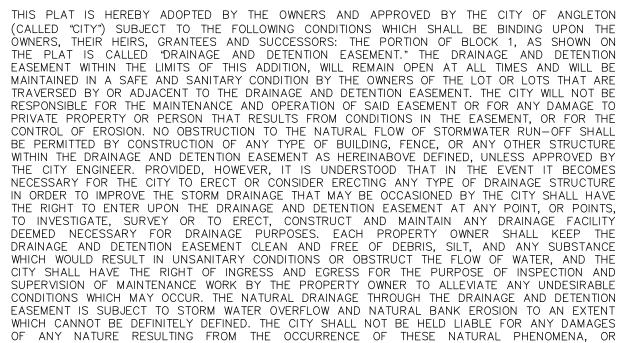
COUNCIL.

SIGNED

STATE OF TEXAS § COUNTY OF BRAZORIA §

SIGNED

DRAINAGE AND DETENTION EASEMENT



ACCEPTED THIS THE _____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT. THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES. THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR IT'S PRINCIPALS OR AGENTS.

BOARD MEMBER

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE. THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY \mathbf{X} DOUGLAS B. ROESLER DATE

DOUGLAS B. ROESLER 56739

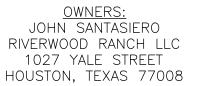
PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

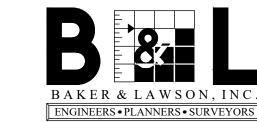
KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

> DARREL HEIDRICH DATE REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 5378







DRAWING NO.: 14396 SEC 3-4 FINAL PLAT

PROJECT NO.: 14396

4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPELS No. 10052500 REG. NO. F-825

DRAWN BY: BT

CHECKED BY: DH

112



BRAZORIA COUNTY, TEXAS

SHEET 2 OF 2

- 12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B. 13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

FINAL PLAT

RIVERWOOD RANCH SUBDIVISION

SECTION 3

A 35.620 ACRES

73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION

BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS RECORDED IN C.C.F.N. 2020043779 OF THE O.P.R.B.C.T.

> LOCATED IN THE **THEODORE S. LEE SURVEY ABSTRACT NO. 318** CITY OF ANGLETON

> > SCALE: 1'' = 100'

DATE: 12/02/2022

SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER. 10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.

- 9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER
- 8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- WITHHOLDING OF UTILITIES AND BUILDING PERMITS. 7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND
- 5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29
- NGS MONUMENT R1182 (PID AW1171)
- LIABILITY ON THE PART OF THE SURVEYOR. 4. REFERENCE BENCHMARK:
- OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE
- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET. 3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE
- 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.

<u>NOTES:</u>

	1.	GENERAL CONSTRUCTION NOTES . CONTRACTOR SHALL NOTIFY THE "UNDERGROUND UTILITY COORDINATING COMMITTEE" (TELEPHON NO. (979) 849–4364 AND THE CITY OF ANGLETON (TELEPHONE NO. (979) 849–4364) 48		. RATE OF APPLICATION FOR LI (QUALITY BASE ON 100 #/ C YARD FOR SIX (6) INCH STAE
	2.	HOUR'S BÉFORE STARTING WORK IN STREET RIGHT-OF-WAYS OR EASEMENT'S. . ALL EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM INFORMATION AVAILABLE, CONTRACTOR HAS SOLE RESPONSIBILITY		MIXED MORE THAN ONE INCH SUBGRADE SHALL BE BROUGH OPERATIONS THEN LEFT TO C AFTER FINAL MIXING IS COMP
	3.	FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS. CONTRACTOR SHAL COORDINATE ALL CONFLICTS WITH THE APPROPRIATE GOVERNING AGENCY. NO SEPARATE PAY. . CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUBPART P AS	L	STABILIZED SUBGRADE SHALL STAKES (BLUE TOPS) AND AF PERCENT (95%) OF THE STAN COMPLETED SECTIONS SHALL
	4.	PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989. . CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD MOST		OR SUBSTANTIAL SUPPLY HOS WITH ADDITIONAL COURSES. EQUIPMENT, SCRAPERS AND C COMPLETED LIME STABILIZED
	5.	RECENT EDITION AS REVISED) DURING CONSTRUCTION. . CONTRACTOR SHALL COVER OPEN EXCAVATIONS IN PUBLIC STREETS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS.		TRUCKS AND ROLLERS USED APPROVAL OF THE ENGINEER. ON COMPLETED AREAS UNLES COMPACTED AND TESTED FOR
	6.	. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)		. FORMS SHALL BE EITHER WOO SUFFICIENTLY STAKED TO AVO BOARDS SHALL BE STAKED W POUR. METAL STAKES ARE A
	7.	REQUIREMENTS. . EXISTING PAVEMENTS, CURBS, SIDEWALKS, CULVERTS AND DRIVEWAYS (ADJACENT TO THE WORK DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO EQUAL OR BETTER THAN THEIR ORIGINAL CONDITION AT CONTRACTOR EXPENSE.		REINFORCING SHALL BE SECU SHALL BE SECURELY TIED. F USE. PLASTIC CHAIR OF THE SUFFICIENT TO SUPPORT REIN
	8.	. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK. CONTRACTOR SHALL TAKE NECESSARY ACTIONS TO PROTECT THE EXISTING SURFACES OUTSIDE THE WORK AREA FROM THE EQUIPMENT USED. ALL TRACKED MACHINERY (STREET PADS INCLUDED) SHALL NOT BE OPERATED DIRECTLY ATOP THE PAVEMENT WITHOUT APPROPRIATE PADDING AND PROTECTION OF THE SURFACES. ANY MARRED OR DISTRESSED AREAS SHALL BE REMOVED AND RESTORED WITH NEW MATERIALS TO THE SATISFACTION OF THE ENGINEER. ANY EXISTING DISTRESSED AREAS SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO OPERATIONS IN THE WORK AREA.	۱7.	 PRIOR TO CONCRETE PLACEMI FORM GRADES TO THE ENGINI BE RECORDED AT 10' INTERV. PRIOR TO CONCRETE PLACEMI CONCRETE FOR STREET PAVEN THAN FIVE AND ONE HALF (5 HAVE MORE THAN SIX AND O SULUE SULUE NOT EXCEED FOR
	9.	ALIGNMENT, CENTERLINE CURVE DATA AND STATIONING TO BE VERIFIED BY ON-THE-GROUND SURVEY FROM APPROVED SUBDIVISION PLAT (OR APPROVED PLOT FOR OFF SITE EASEMENTS), AND ELEVATIONS OF ALL CONNECTIONS TO EXISTING FACILITIES TO BE CONFIRMED PRIOR TO WORK START. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.		SLUMP SHALL NOT EXCEED F STRENGTH OF TWO THOUSAND CONCRETE SHALL BE PLACED POSSIBLE. USE OF AN APPR AND SMALL AREAS WHERE A "JITTERBUG" SHALL BE USED.
	10.	. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.		WILL ALSO BE REQUIRED. AL SURFACE SHALL BE TYPICALL` AS REQUIRED BY THE APPLIC
	11.	. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK.		. FLY ASH SHALL MAKE UP FR SHALL CONFORM TO ASTM C . CURING COMPOUND SHALL BE
		. ALL UTILITY TRENCHES TO BE BACK FILLED TO 90 PERCENT (90%) STANDARD PROCTOR DENSITY UNLESS OTHERWISE NOTED.	00	OF ONE GALLON PER TWO HU
		 ALL SURVEY, LAYOUT, MEASUREMENT, AND GRADE STAKE WORK SHALL BE PERFORMED BY BAKER & LAWSON, INC. AS PART OF THE WORK UNDER THIS CONTACT. BAKER & LAWSON, INC. WILL PROVIDE EXPERIENCED INSTRUMENT MEN, COMPETENT ASSISTANTS 		AN APPROVED LIST RUBBERIZ COMPONENT POLYMERIC SELF
		AND SUCH INSTRUMENTS, TOOLS, STAKES, AND OTHER MATERIALS REQUIRED TO COMPLETE THI SURVEY, LAYOUT AND MEASUREMENT WORK.	E 21.	. CONTRACTOR WILL NOT PERMI OF SEVEN (7) CURING DAYS HUNDRED (3500) P.S.I. TAKES DEPARTMENT.
		HAULED TO A STATE APPROVED DISPOSAL SITE OR AS DIRECTED BY THE ENGINEER. AN EXISTING LANDFILL APPROXIMATELY 10 MILES FROM THE PROJECT SITE IS THE NEAREST STATE APPROVED FEE FACILITY. ALL REFUSE MATERIALS (BROKEN CONCRETE, TREES, ASPHALT, ETC.) SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.		. CONCRETE FOR CURB SHALL MINIMUM FIVE (5) SACK CEME SMALL AGGREGATE BATCH DES
	16.	. PLAN QUANTITIES WILL BE USED FOR FINAL PAYMENT UNLESS DESIGN CHANGES ARE MADE DURING CONSTRUCTION.	23.	A CONCRETE MIX DESIGN OF STANDARD CONCRETE BATCH
		CONSTRUCTION NOTES FOR PAVING & DRAINAGE		OF TXDOT MATERIAL SPECIFIC VOLUME OF THE SPECIFIED C MINIMUMS AND DEVELOPMENT IN EFFECT AND SHALL BE VE
		GUIDELINES SET FORTH IN THE MANUAL ON UNIFORM CONTROL DEVICES SHALL BE OBSERVED. FILL SHALL BE PLACED IN MAXIMUM 8" LOOSE LIFTS AND COMPACTED TO 95% OF OPTIMUM		BY A GEOTECHNICAL LAB AND ENGINEERING/PUBLIC WORKS
	3.	DENSITY AS DETERMINED USING TESTING METHOD ASTM D698. CONTRACTOR RESPONSIBLE FOR MAINTAINING BARRICADES TO PREVENT TRAFFIC FROM USING	24	. ALL PAVEMENT SAW CUT REQ PAVING REMOVAL PAY ITEM R
	Δ	NEW PAVEMENT UNTIL PROJECT IS COMPLETED AND ACCEPTED BY PROPER AUTHORITY OR AS AUTHORIZED BY ENGINEER. B-B INDICATES ROAD WIDTH TO BACK OF CURB. CURB RADII ARE TO FACE OF CURB. T.C.		. BLOCK SOD SHALL BE PLACE CONSTRUCTED CURBS AND TO
		INDICATES TOP OF CURB ELEVATIONS (BASED ON 4" CURB UNLESS OTHERWISE NOTED) T.P. INDICATES TOP OF PAVEMENT ELEVATION.	20.	. THE CONTRACTOR WILL BE RE SUSPEND OPERATIONS DURING NO CONCRETE SHALL BE PLA CONCRETE SHALL BE PLACED THE CONTRACTOR SHALL KEE
		TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM SPACING OF 40-FOOT INTERVALS (SAWCUTS © 20'(2 1/2"DEEP), LONGITUDINAL JOINTS SHALL BE AT MAXIMUM OF 14-FOOT SPACING. WOOD JOINT SHALL BE SOUND HEART REDWOOD.		TO PLACE OVER AND PROTEC UNPREDICTED RAINS.
		6-INCH CONCRETE PAVEMENT TO BE 5.5 SACK MIX MIN. (3,500 PSI) REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60. PROVIDE MINIMUM 18-INCH LAPS. (36 BAR DIA)	27	. CUL-DE-SACS TO BE PAVED WASTEWATER CONSTRU
	7.	SAW CUT TO EXPOSE EXISTING LONGITUDINAL STEEL REQUIRED TO CREATE A MINIMUM TWELVE-INCH (12") OVERLAP OF PROPOSED AND EXISTING LONGITUDINAL REINFORCING STEEL WHEN MAKING A CONNECTION TO EXISTING CONCRETE PAVEMENT. WHERE SPACING OF EXISTIN LONGITUDINAL STEEL DIFFERS FROM PROPOSED STEEL SPACING, NOTIFY THE ENGINEER.	١G	CONTRACTOR SHALL PROVIDE CITY OF ANGLETON. SEPARATION DISTANCES FOR /
		USE PLASTIC CHAIRS TO SUPPORT REINFORCEMENT AT 24-INCH SPACING EACH WAY. SUBGRADE TO BE STABILIZED 1-FOOT BACK OF PROPOSED CURB OR EDGE OF PAVEMENT.		GOVERNED BY THE "TEXAS NA REGULATIONS FOR DESIGN CC CRITERIA FOR SEWAGE SYSTEM
		EXCESS LIME STABILIZED SOIL SHALL BE UTILIZED IN THE PREPARATION OF SUBGRADE FOR DRIVEWAYS. THERE WILL BE NO PAYMENT FOR PREPARING SUBGRADE FOR DRIVEWAYS AND SIDEWALKS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE ASSOCIATED CONCRETE PAY ITEMS. SUBGRADE PREPARATION FOR DRIVEWAYS AND PAVING SHALL INCLUDE PROOF		MAINTAIN 12-INCH MINIMUM V AND CULVERTS, UNLESS OTHE
	10.	ROLLING. SOFT AREAS TO BE EXCAVATED AND RECOMPACTED TO ADJACENT SOIL DENSITY. USE CONTINUOUS LONGITUDINAL REINFORCING BAR IN CURB.	4.	WHERE SANITARY SEWER LINE THAN 6-INCHES VERTICAL SE RATED P.V.C. SANITARY SEWER
	11.	BACK FILL AND BEDDING FOR HEADWALL STRUCTURES, TYPE "C" INLETS, R.C.P. LEADS AND STORM SEWERS SHALL BE WITH 1.5 SACK CEMENT. STABILIZED SAND SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90% OF DENSITY DETERMINED BY STANDARD MOISTURE-DENSITY		INCLUDE COST OF WATER LIN SEWER IN APPROPRIATE SIZES CONTRACTOR TO NOTIFY OWNI
		RELATION (ASTM D-698) AT OPTIMUM MOISTURE AND SHALL BE PLACED AND FINISHED WITHIN 3 HRS. OF MIXING. TEMPORARY TRAVEL WAY SURFACE SHALL BE WITH CEMENT STABILIZED LIMESTONE. PAYMENT FOR THESE ITEMS SHALL BE SUBSIDIARY TO THE VARIOUS STRUCTURAL		SANITARY SEWER LEADS UNDE
	1.0	BID ITEMS. VERIFICATION OF CEMENT STABILIZED SAND MIXTURE SHALL BE FURNISHED UPON REQUEST OF ENGINEER. . THE SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES		BACK FILLED WITH CEMENT S CEMENT STABILIZED SAND BAC FOR LEADS.
	12.	(BLUE TOPS) AND APPROVED BY THE ENGINEER BEFORE LIME IS APPLIED.		LOW PRESSURE AIR TEST SHA SHALL BE AS ESTABLISHED B NO SEPARATE PAY.
		DESIGNED DR		
		DRAWN BT		
NO.	DATE	DESCRIPTION APPROVED CHECKED		BAKER & LAWSON, ENGINEERS • PLANNERS • SURV
		REVISIONS DATE		4005 TECHNOLOGY DRIVE, SUI ANGLETON, TEXAS 77515 (979) REG. NO. F-825

IME SHALL BE SEVEN PERCENT (7%) OF THE DRY WEIGHT OF SOIL C.F.) OR THIRTY ONE AND ONE HALF (31.5) POUNDS PER SQUARE BILIZED SUBGRADE. LIME STABILIZED SUBGRADE SHALL NOT BE IN EXCESS OF THE REQUIRED DEPTH. LIME STABILIZED GHT TO THE OPTIMUM MOISTURE CONTENT DURING THE FIRST MIXING CURE FOR TWO CURING DAYS BEFORE FINAL MIXING CAN BEGIN. PLETED AND BEFORE SOIL DENSITY TESTS ARE TAKEN. LIME BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE PPROVED BY THE ENGINEER. DENSITY SHALL BE NINETY-FIVE NDARD PROCTOR DENSITY AT OPTIMUM MOISTURE. TESTED AND BE KEPT MOIST CURED ON A DAILY BASIS WITH WATER TRUCKS SES FOR THE ENTIRE PERIOD THE SURFACE REMAINS UNCOVERED AFTER FINAL TESTING AND APPROVAL IS COMPLETE, TRACK OTHER HEAVY EQUIPMENT WILL NOT BE PERMITTED ON THE AREA. LIGHT MOTOR GRADERS, RUBBER TIRED TRACTORS, WATER IN THE FINISHING OPERATIONS WILL BE PERMITTED WITH THE CONCRETE AND LOADED HAUL TRUCKS ARE STRICTLY PROHIBITED SS THE TRAVELED AREA REGARDLESS OF CONDITION IS REMIXED APPROVAL A SECOND TIME.

OD OR STEEL, OF GOOD QUALITY, FREE OF WARP AND DID SHIFTING WHEN LOAD IS APPLIED. ALL REDWOOD EXPANSION VITH 1X2 REDWOOD STAKES AND ALLOWED TO REMAIN WITHIN THE APPROVED FOR USE TO STAKE METAL KEYWAYS.

IRELY TIED AT ALL INTERSECTIONS AND SPLICES. ALL DOWELS REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST AT TIME OF CORRECT HEIGHT SHALL BE USED. SPACING SHALL BE NFORCEMENT.

IENT, CONTRACTOR SHALL PRESENT A CERTIFIED COPY OF TOP OF IEER FOR REVIEW AND APPROVAL. ELEVATIONS OF FORMS SHALL VALS. ADJUSTMENTS TO FORMS SHALL BE COMPLETE 4 HRS.

MENTS SHALL BE "CLASS A" CONCRETE, SHALL NOT HAVE LESS 1/2) SACKS OF CEMENT PER CUBIC YARD, AND SHALL NOT)NE HALF (6 1/2) GALLONS OF WATER PER SACK OF CEMENT. FIVE (5) INCHES AND SHALL DEVELOP A MODULUS OF RUPTURE FIVE HUNDRED (2500) P.S.I. AT TWENTY EIGHT (28) DAYS. IN SUCH A MANNER AS TO REQUIRE AS LITTLE HANDLING ROVED VIBRATING SCREED WILL BE REQUIRED. AT INTERSECTIONS VIBRATORY SCREED CAN NOT BE USED, A HAND VIBRATOR OR USE OF A TEN FOOT (10') CONCRETE PAVEMENT STRAIGHT EDGE LL EXPOSED JOINTS SHALL BE EDGED AS NOTED ON DETAILS. (A BELT FINISH OR BROOM FINISH (COARSE, MEDIUM OR LIGHT)

CATION AND DIRECTED BY THE ENGINEER. ROM 20-25% BY VOLUME OF THE SPECIFIED CEMENT VOLUME AND 618. CLASS F.

TYPE II WITH WHITE PIGMENT. APPLIED AT THE UNDILUTED RATE UNDRED (200) SQUARE FEET.

CLEANED, WIRE BRUSHED, BLOWN OR FLAME DRIED SEALED WITH ZED HOT LAID ASPHALT JOINT AND CRACK SEALANT OR A TWO (2) LEVELING COLD APPLIED SEALANT.

IT TRAFFIC ON NEW CONCRETE PAVEMENT UNTIL BOTH A MINIMUM AND MODULUS OF RUPTURE STRENGTH OF THIRTY THOUSAND FIVE ES PLACE OR AS APPROVED BY THE ENGINEER/PUBLIC WORKS

BE A 3000 P.S.I. PERFORMANCE STRENGTH CONCRETE WITH A ENT PER CUBIC YARD CONTENT. CURB CONCRETE MIX MAY BE A SIGN.

CONCRETE PLUS FLY ASH MAY BE SUBSTITUTED IN LIEU OF THE DESIGN. THE FLY ASH SHALL CONFORM TO THE REQUIREMENTS ATION D-9-8900, AND SHALL NOT EXCEED 25% BY ABSOLUTE CEMENT CONTENT. THE MODULUS OF RUPTURE STRENGTHS PERIOD OF THE STANDARD CONCRETE MIX DESIGN SHALL REMAIN ERIFIED BY A CONCRETE BATCH MIX DESIGN PREPARED AND TESTED SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY DEPARTMENT PRIOR TO PAVING OPERATIONS.

UIRED IN THE PLANS SHALL BE CONSIDERED SUBSIDIARY TO THE REQUIRING IT.

D 16" (ONE BLOCK WIDTH) WIDE ALONG THE EDGE OF ALL NEWLY DRIVEWAY REPLACEMENT LIMITS.

SPONSIBLE FOR ANALYZING WEATHER CONDITIONS AND TO G PERIODS WHEN ADVERSE WEATHER CONDITIONS APPEAR LIKELY. ACED WHEN THE TEMPERATURE IS 35°F AND RISING. HOWEVER, NO WHEN THE CONCRETE TEMPERATURE IS ABOVE 100°F. P SUFFICIENT LENGTH OF COVERING MATERIAL ON THE JOB SITE CT THE SURFACE OF "FRESH" CONCRETE DURING PERIODS OF

COMPLETELY WITH <u>NO</u> ISLANDS

JCTION NOTES

RECORD OF LOCATION OF ALL STACKS, STUBS, LEADS, ETC. TO

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE ATURAL RESOURCE CONSERVATION COMMISSION RULES AND DNSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN EMS "SECTION 317.20," LATEST PRINTING.

VERTICAL CLEARANCE AT CROSSINGS BETWEEN SANITARY SEWERS ERWISE NOTED.

CROSSES A WATER LINE WITH LESS THAN 9-FEET BUT MORE PARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF PRESSURE R (ASTM D2241, CLASS 150, SDR 26) CENTERED ON WATER LINE. E CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR SANITARY

VER'S REPRESENTATIVE UPON ENCOUNTERING ANY UNSUITABLE

PER OR WITHIN 1' OF EXISTING OR FUTURE PAVEMENT SHALL BE TABILIZED SAND UP TO WITHIN 1' OF TOP OF PAVING SUBGRADE ACK FILL FOR LEADS SHALL BE INCLUDED IN THE BID UNIT PRICE

ALL BE CONDUCTED PER TNRCC TAC 317.2. HOLDING TIMES BY TNRCC. CONTRACTOR TO PROVIDE TEST PLUGS AND RISERS.

X

- 8. CONTRACTOR TO OPEN CUT ALL SANITARY SEWER CONSTRUCTION UNLESS NOTE OTHER WISE. SEWER SERVICES TO BE INSTALLED FULL WIDTH OF ROADWAY.-NO HALF STREET INSTALLATIONS.
- 9. CONTRACTOR SHALL AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED SERVICE AND SHALL AVAIL OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.
- 10. ALL SINGLE AND DOUBLE SERVICE LEAD SHALL BE A MINIMUM SIX INCH (6") UNLESS OTHERWISE DIRECTED BY THE ENGINEER/PUBLIC WORKS AND/OR FIELD ADJUSTED BY THE UTILITY DEPARTMENT IN THE FUTURE.

WATER CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN CONTRACT DOCUMENTS. THRUST BLOCKING SHALL BE CLASS "B" CONCRETE 2500 P.S.I. AND SHALL BE SUBSIDIARY TO THE BID ITEM PERTINENT TO ITS USE. ALL CEMENT STABILIZED SAND BACKFILL SHALL BE 1.5 SK/CY CEMENT CONTENT. ALL M.J. D.I. FITTINGS WILL HAVE M.J. RESTRAINTS (STARGRIP OR EQUAL) WRAP FITTINGS & RESTRAINTS WITH 10 MIL POLY.
- 2. SEPARATION DISTANCES OF ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS," SECTION 317.20, LATEST PRINTING.
- 3. ALL 4" THROUGH 12" WATER MAINS TO BE P.V.C. PIPE, AWWA C-900, CLASS 150, SDR 18, MEETING THE REQUIREMENTS OF ANSI/NSF 61 UNLESS OTHERWISE NOTED.
- 4. WATER LINES UNDER OR WITHIN 1 FEET OF NEW OR EXISTING PAVEMENTS (STREETS AND DRIVEWAYS) SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND AS SPECIFIED IN THE CONSTRUCTION DETAIL.
- PROVIDE A MINIMUM SIX-INCHES (6") OF CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS.
- 6. 4-INCH THROUGH 12-INCH LINES TO HAVE A MINIMUM OF 4'-O" COVER BELOW TOP OF CURB. UNLESS OTHERWISE NOTED, VARY FLOW LINE UNIFORMLY FROM DEPTH SHOWN ON PLANS.
- 7. CENTERLINE OF FIRE HYDRANT TO BE LOCATED AT 3' FROM BACK OF CURB WITH CENTERLINE OF STEAMER NOZZLE 22 INCHES ABOVE FINISHED GRADE. TURN STEAMER OUTLET TO FACE STREET.
- WHERE WATER LINE CROSSES SANITARY SEWER LINE OR LEAD WITH LESS THAN NINE FEET (9') VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF WATER LINE CENTERED ON LEAD. INCLUDE COST OF LEAD CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR WATER LINE IN APPROPRIATE SIZES.
- 9. THE CONTRACTOR AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED FLOW TO ALL SERVICES AND MAINS AND SHALL AVAIL OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.

<u>CENTERPOINT ENERGY / ENTEX NOTES</u>

CAUTION: UNDERGROUND GAS FACILITIES

LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY, INTRASTATE PIPELINE, LLC. WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE NOT USUALLY SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE. THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT (979) 849-4364 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

- * WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (800) 752-8036 OR (713) 659-2111 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.
- * WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
- * WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
- * FOR EMERGENCIES REGARDING GAS LINES CALL (800) 659-2111 OR (713) 659-2111.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-5769.

WARNING: OVERHEAD ELECTRICAL FACILITIES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT 713-207-2222.

SBC NOTES

THE LOCATIONS OF SOUTHWESTERN BELL TELEPHONE CO. UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.

TEXAS NEW MEXICO POWER NOTES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTMPETD TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO POWER AT (979) 829-5776.

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023

OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN: PROFILE: HORIZONTAL: VERTICAL:

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ANGLETON CONSTRUCTION MANUAL (ACM) AND LAND DEVELOPMENT CODE, HEREAFTER REFERRED TO THE ACM AND THE LDC.

2. APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, ADEQUACY, AND COMPLIANCE OF THE SUBMITTED PLANS.

3. ALL RESPONSIBILITY FOR RESTS ON DESIGN ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY MUST RELY ON THE ADEQUACY AND ACCURACY OF THE DESIGN ENGINEER.

4. DESIGNS SHALL BE IN COMPLETE COMPLIANCE WITH THE LDC AND THE ACM. ANY WAIVER, DEVIATION, VARIANCE, OR EXCEPTION FROM ANY SPECIFIC REQUIREMENT(S) OF THE LDC OR ACM THAT WERE NOT EXPRESSLY REQUESTED WHEN PLANS ARE SUBMITTED, SHALL NOT BE CONSTRUED TO HAVE BEEN GRANTED IF PLANS ARE APPROVED. IT IS THE RESPONSIBILITY OF THE ENGINEER TO MAKE SUCH A WAIVER PROACTIVELY WHEN PLANS ARE SUBMITTED.

5. A MINIMUM OF TWO EXISTING BENCHMARKS SHOULD BE SHOWN ON THE PLANS. IN ADDITION, TWO PERMANENT BENCHMARKS PER SUBDIVISION SHALL BE INSTALLED IN EACH NEW SUBDIVISION TO INCLUDE DESCRIPTION, LOCATION, AND ELEVATION AND TIE TO CITY STANDARDS.

6. CAST BRONZE SURVEY MARKERS SHALL BE PLACED IN CONCRETE IN PERMANENT, ACCESSIBLE LOCATIONS AT THE TIME OF CONSTRUCTION. THE LOCATIONS OF THE MARKERS SHALL BI INDICATED ON THE CONSTRUCTION PLANS. A MINIMUM OF ONE MARKER SHALL BE PLACED FOR EACH 20 ACRES OF THE PROJECT.

7. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY, THE DEVELOPER'S CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES, THE CITY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

8. THE CONTRACTOR SHALL PROVIDE THE CITY A MINIMUM OF 48 HOURS' NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.

9. BARRICADES, BUILT TO CITY SPECIFICATIONS, SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB SAFETY. 10. IF BLASTING IS PLANNED, A BLASTING PERMIT MUST BE SECURED PRIOR TO COMMENCEMENT OF ANY BLASTING.

11. ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION. 12. THE LOCATION OF ANY WATER OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE PUBLIC WORKS DEPARTMENT.

13. USE ONE CALL UTILITY SYSTEM: DIAL 1-800-344-8377, 48 HOURS BEFORE YOU DIG. 14. ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE. SPECIAL NOTES

15. THE SUBGRADE MATERIAL IN RIVERWOOD RANCH SUBDIVISION WAS TESTED BY INTERTEK PSI ON DECEMBER 6, 2019 AND THE STREET SECTION DESIGNED ACCORDING TO THE LDC AND ACM.

16. CONSTRUCTED STREET SECTIONS SHALL SHOW THE FOLLOWING:

FOR PLANS, WHEN APPLICABLE.

a. PROVIDE STREET NAMES, WIDTH OF R.O.W., OR OTHER METHODS TO IDENTIFY PROPOSED DESIGN OF DIFFERENT PAVEMENT THICKNESS. IN WRITING OR GRAPHICALLY, DESCRIBE THE STREET SECTION(S) TO BE CONSTRUCTED.

b. MANHOLE FRAMES, COVERS, AND WATER VALVE COVERS WILL BE RAISED TO FINISHED PAVEMENT GRADE AT THE OWNER'S EXPENSE BY A QUALIFIED CONTRACTOR WITH CITY INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.

CROWNS OF INTERSECTING STREETS WILL CULMINATE IN A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED. INLETS ON THE INTERSECTING STREET SHALL NOT BE CONSTRUCTED WITHIN 40 FEET OF THE VALLEY GUTTER, UNLESS OTHERWISE NOTEL

d. PRIOR TO FINAL ACCEPTANCE OF A STREET OUTSIDE THE CITY LIMITS, STREET NAME SIGNS CONFORMING TO COUNTY STANDARDS SHALL BE INSTALLED BY DEVELOPER. e. SIDEWALK REQUIREMENTS (GIVE STREET NAME AND LOCATION OF REQUIRED SIDEWALK, I.E.,

NORTH, SOUTH, EAST, OR WEST SIDE). f. A CURB LAY DOWN WHERE REQUIRED WHEN ALL POINTS OF SIDEWALKS INTERSECTS CURBS

g. INSIDE THE CITY LIMITS, SIDEWALKS SHALL BE COMPLETED PRIOR TO ACCEPTANCE OF ANY DRIVEWAY APPROACHES AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN OUTSIDE THE CITY LIMITS, A LETTER OF CREDIT MAY BE POSTED OR OTHER SUITABLE FINANCIAL ARRANGEMENTS MAY BE MADE TO ENSURE CONSTRUCTION OF THE SIDEWALKS. IN FITHER CASE, SIDEWALKS ADJACENT TO "COMMON AREAS", PARKWAYS, OR OTHER LOCATIONS ON WHICH NO BUILDING CONSTRUCTION WILL TAKE PLACE, MUST BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE OF THE SUBDIVISION.

h. A LICENSE AGREEMENT FOR LANDSCAPING MAINTENANCE AND IRRIGATION IN STREET R.O.W, SHALL BE EXECUTED BY THE DEVELOPER IN PARTY WITH THE CITY PRIOR TO FINAL ACCEPTANCE.

17. CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

CONSTRUCTION SEQUENCING

CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

OBTAIN A DEVELOPMENT PERMIT FROM THE CITY.

PROVIDE THE CITY WITH EVIDENCE ALL TCEQ LICENSES AND REQUIREMENTS ARE UP TO DATE.

INSTALL TEMPOROARY EROSION CONTROLS AND TREE PROTECTION FENCING PRIOR TO ANY CLEARING AND GRUBBING. NOTIFY THE CITY WHEN INSTALLED.

ROUGH-CUT ALL REQUIRED OR NECESSARY PONDS. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUCH BE CONSTRUCTED PRIOR TO DEVELOPMENT OF ANY AMBANKMENT OR AXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A LOW-LEVEL OUTLET AND AN EMERGENCY OVERFLOW MEETING THE REQUIREMENTS OF THE LDC. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL RESTORATION IS ACHIEVED.

DELIVER APPPROVED ROUGH-CUT SHEETS TO THE CITY ENGINEER PRIOR TO CLEARING AND GRUBBING.

ROUGH GRADE STREETS. NO DEVELOPMENT OF EMBANKEMENT WILL BE PERMITTED AT THIS TIME. INSTALL ALL UTILITIES TO BE LOCATED UNDER THE PROPOSED PAVEMENT OR WITHIN THE ROAD RIGHT-OF-WAY.

DELIVER STORM SEWER CUR SHEETS TO THE CITY ENGINEER.

BEGIN INSTALLATION OF STORM SEWER LINES. UPON COMPLETION, RESTORE AS MUCH DISTURABED AREAS AS POSSIBLE, PARTICULARLY CHANNELS AND LARGE OPEN AREAS.

DELIVER FINAL GRADE CUT SHEETS TO THE CITY ENGINEER.

RE-GRADE STREETS TO SUB-GRADE.

ENSURE THAT UNDERGROUND UTILITY CROSSINGS ARE COMPLETED. LAY 1ST/ COURSE BASE MATERIAL ON STREETS.

INSTALL CURB AND GUTTER

LAY FINAL BASE COURSE ON ALL STREETS.

PLACE CONCRETE.

COMPLETE FINAL GRADING AND RESTORATION OF DETENTION, SEDIMENTATION/FILTRATION PONDS.

COMPLETE PERMANENT EROSION CONTROL AND RESTORAMATION OF SITE VEGETATION.

REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS

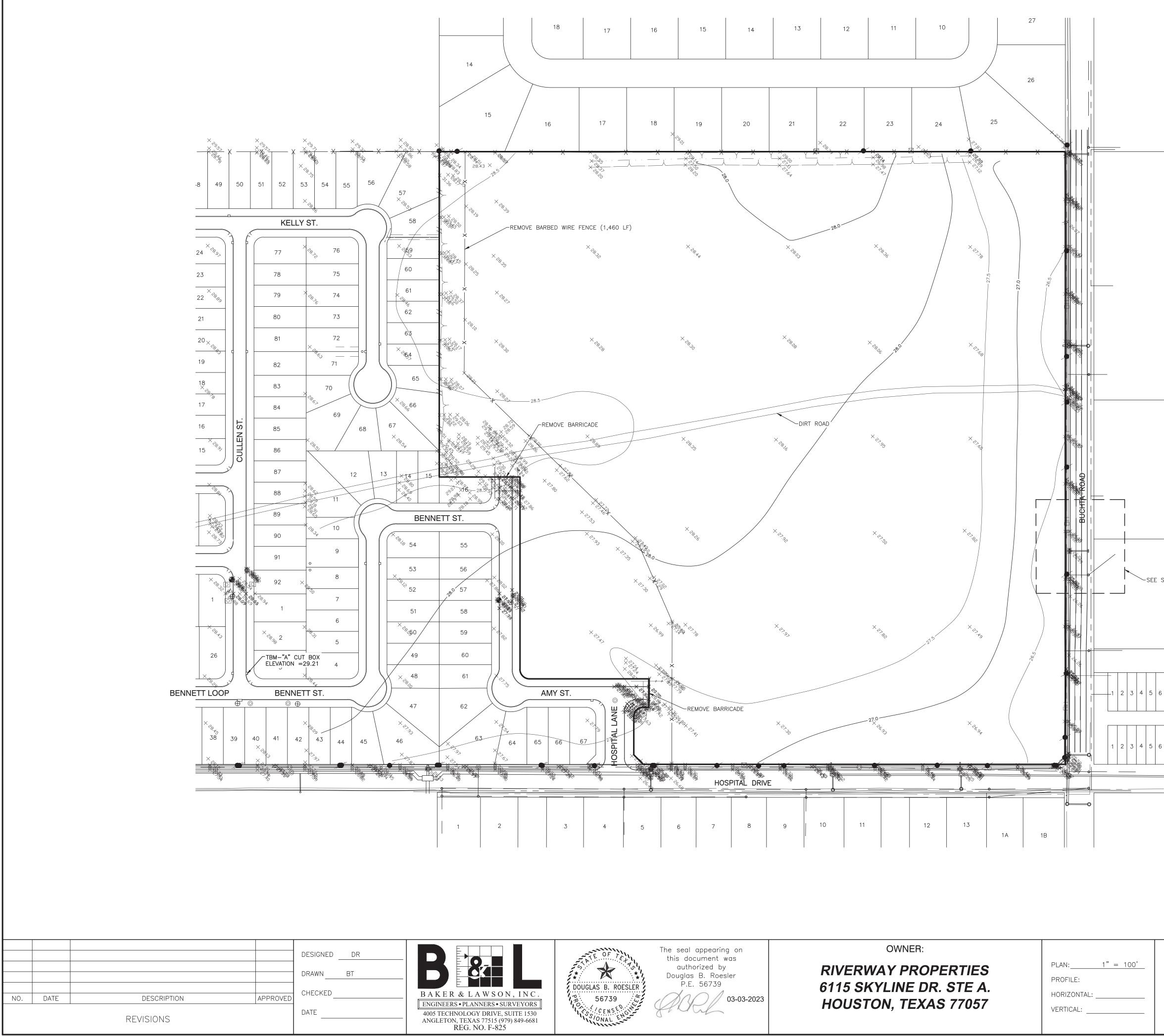
COMPLETE ANY NECESSARY FINAL DRESS UP OF AREAS DISTURBED

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

CONSTRUCTION NOTES

113

Item 11

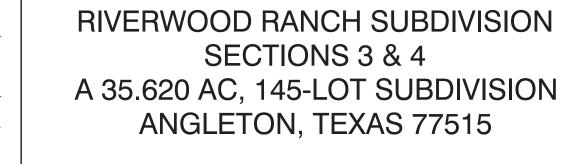


0 50 100 20 SCALE : 1" = 100'	Item 11
SYMBOLS LEGEND	

- 1. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1171) A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29.
 - 2. SITE BENCHMARK:

SEE SHEET 9

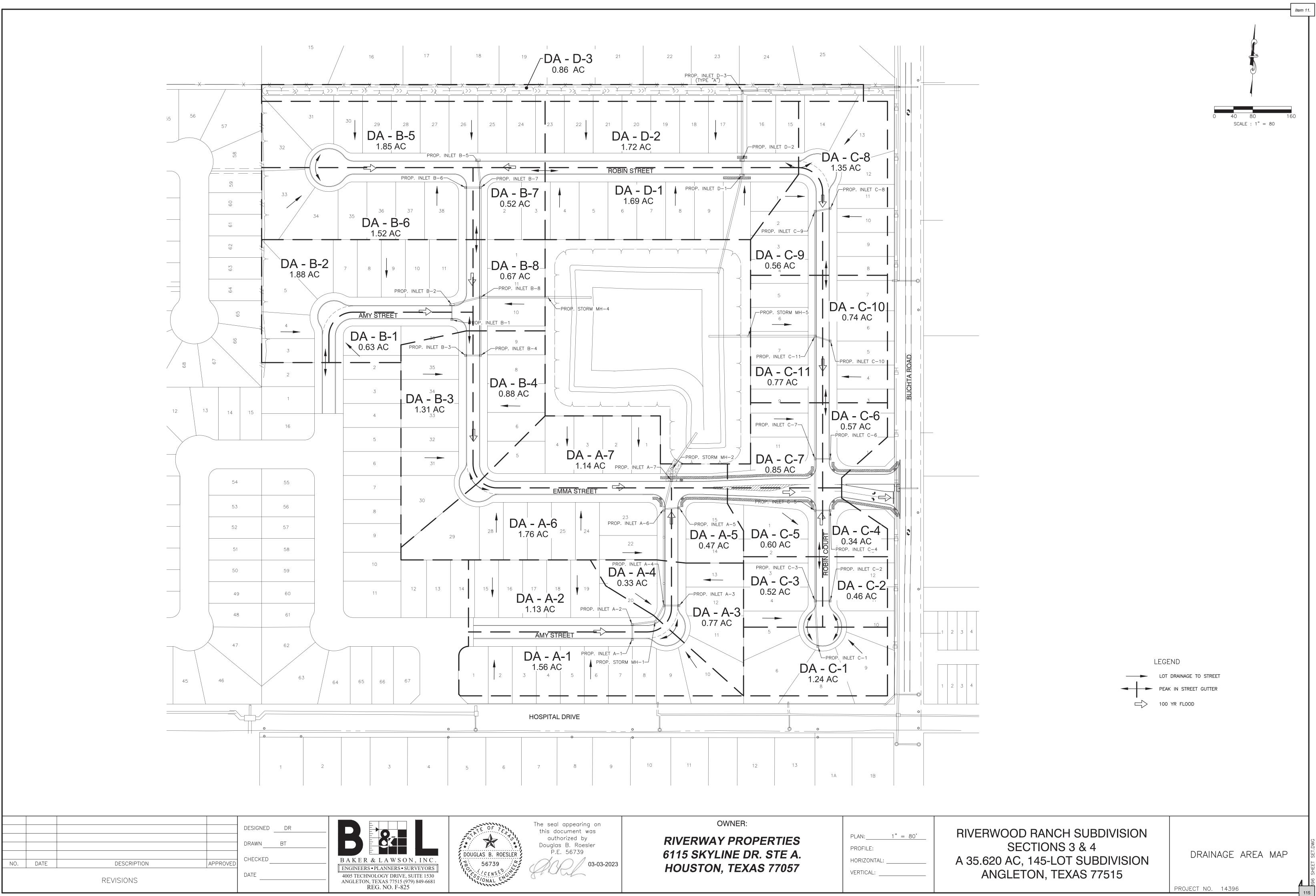
TBM "A": A CUT BOX ON AN INLET ON THE EAST SIDE OF CULLEN STREET APPROXIMATELY 41' NORTH FROM THE INTERSECTION WITH BENNETT STREET. ELEVATION = 29.21'

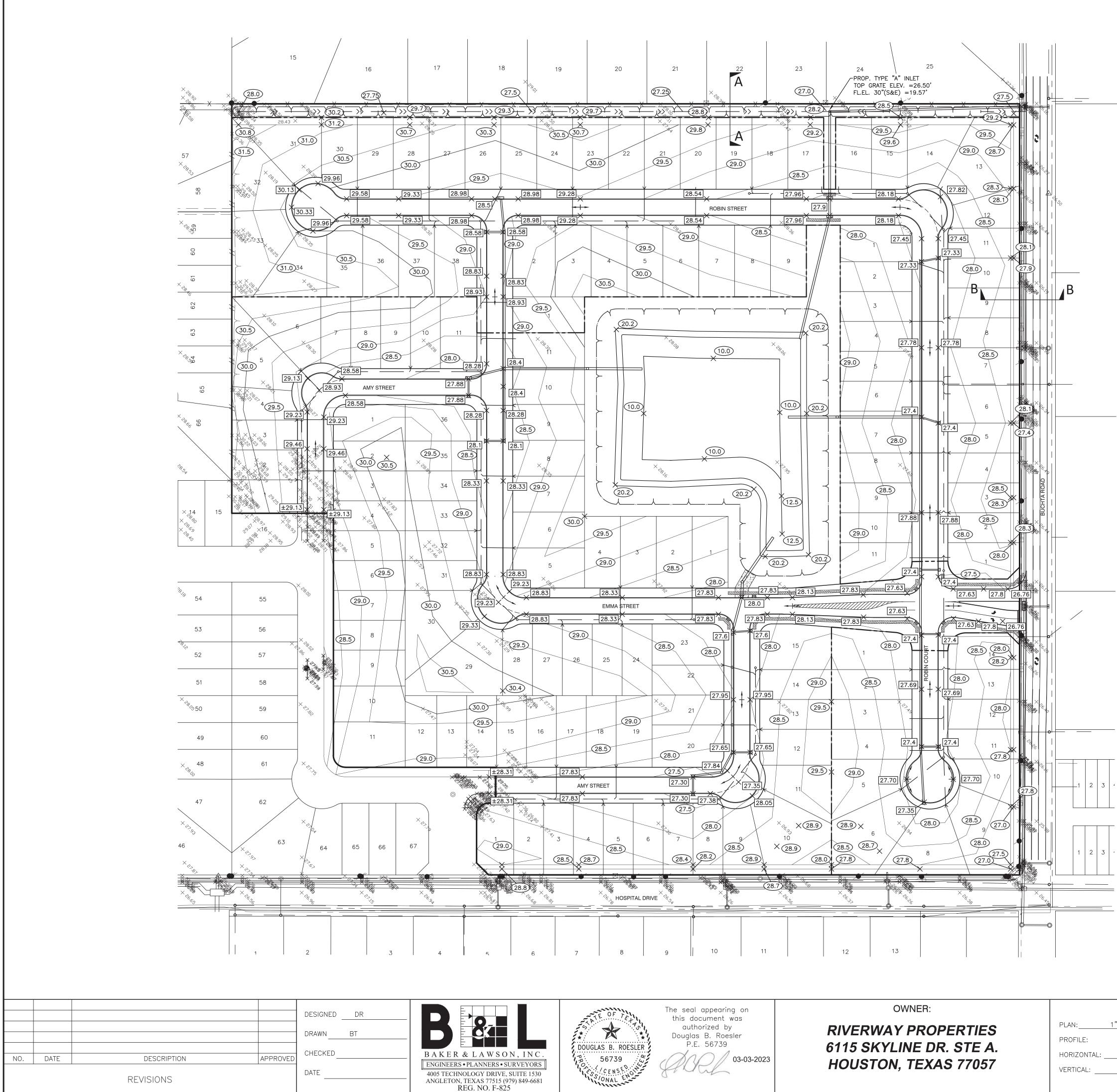


EXISTING CONDITION & DEMOLITION

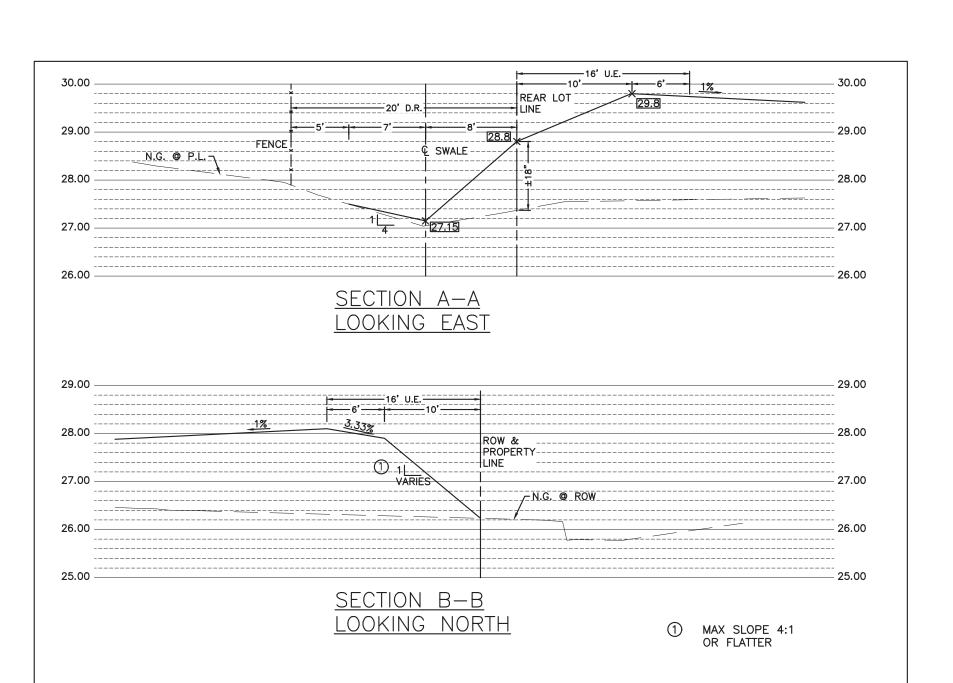
PROJECT NO. 14396

114





1" = 80'



	1	
	Pavement	Curb
	area	length
Section 3	86,130	5,466
Section 4	65,647	4,224

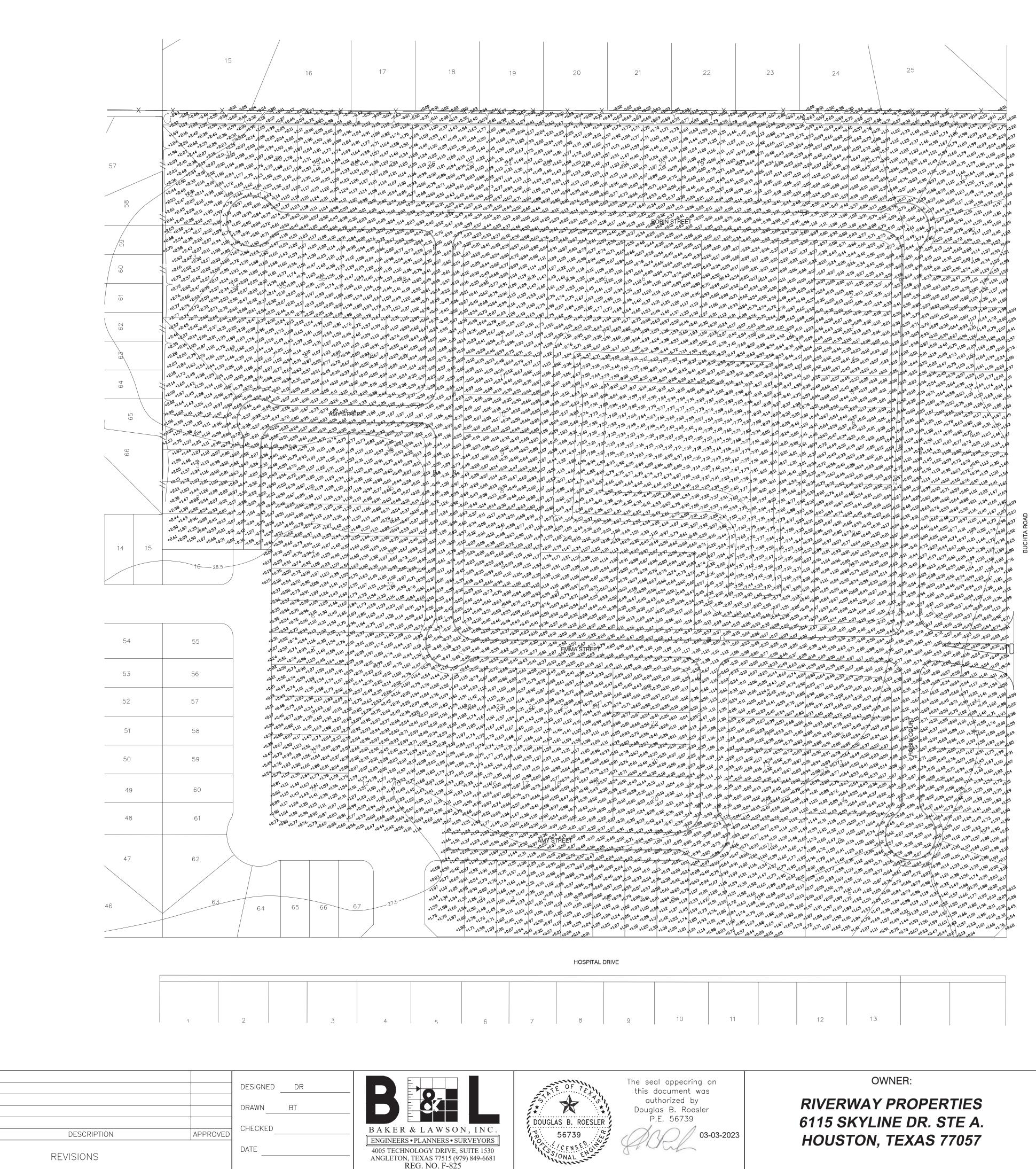
RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

LOT GRADING PLAN

116

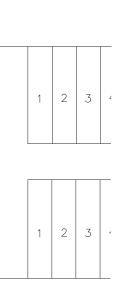
Item 11.

SCALE : 1" = 80'



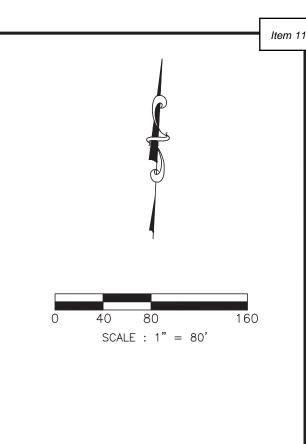
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DATE



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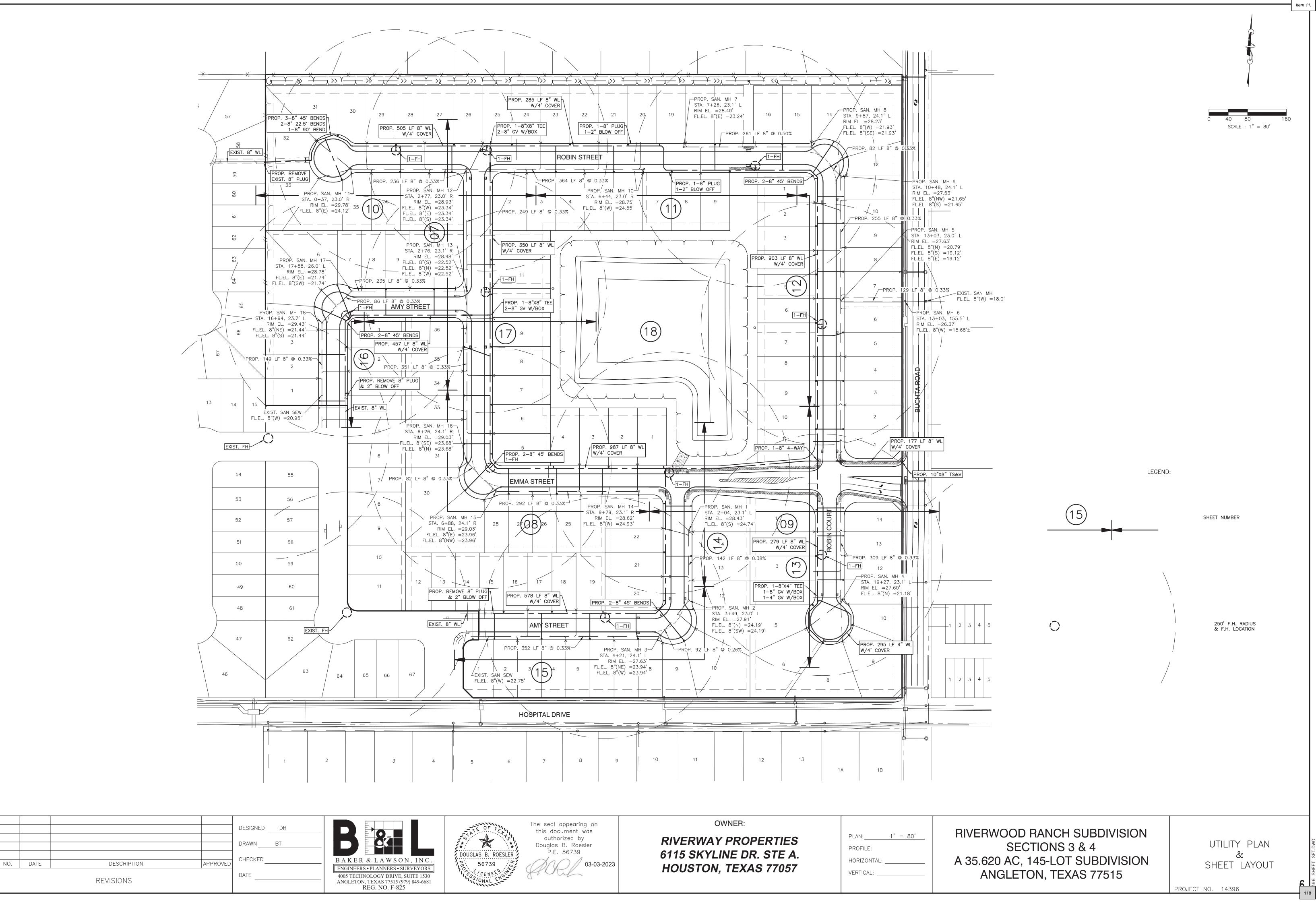
PLAN:	1" = 80'
PROFILE:	
HORIZONTAL:	
VERTICAL:	

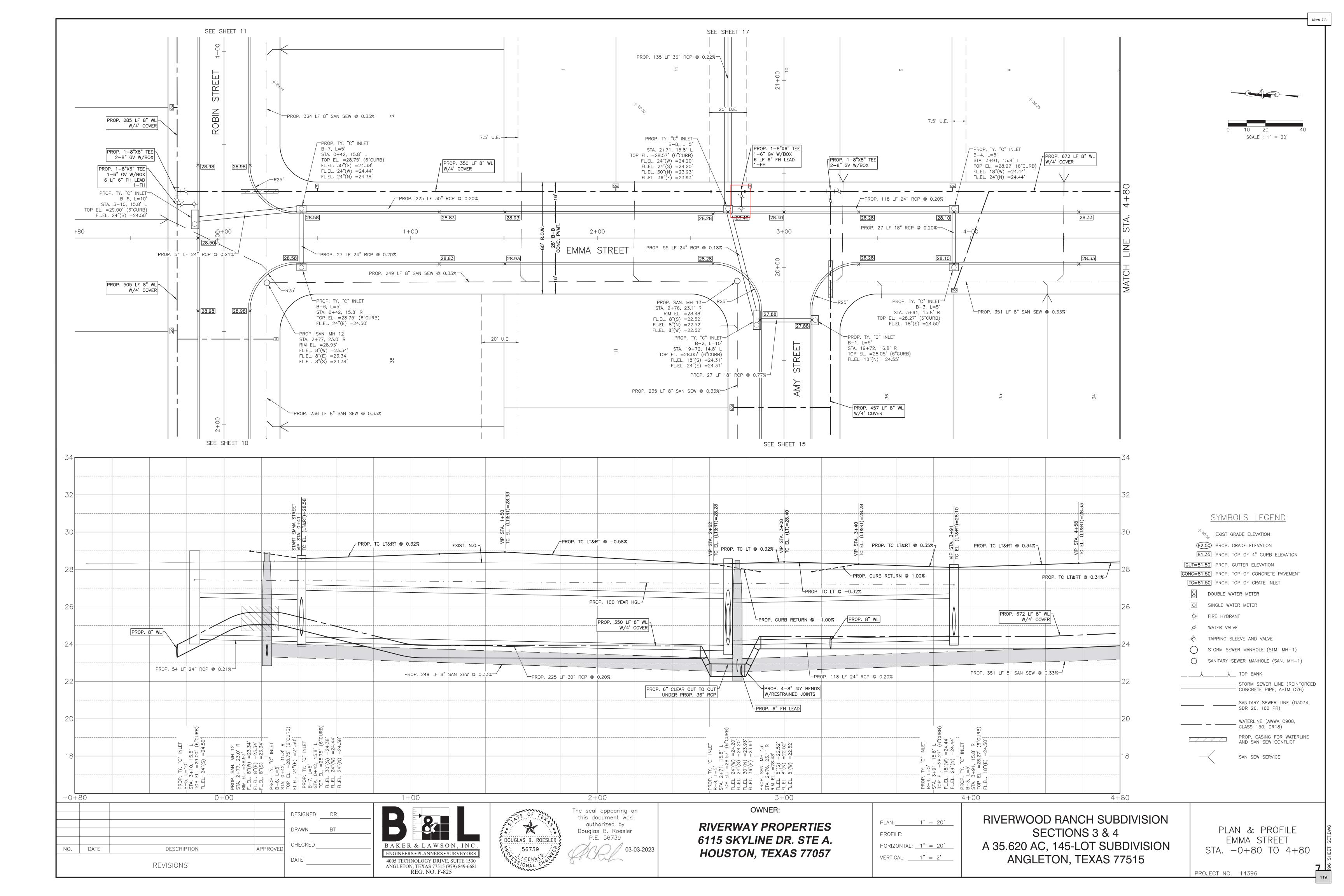


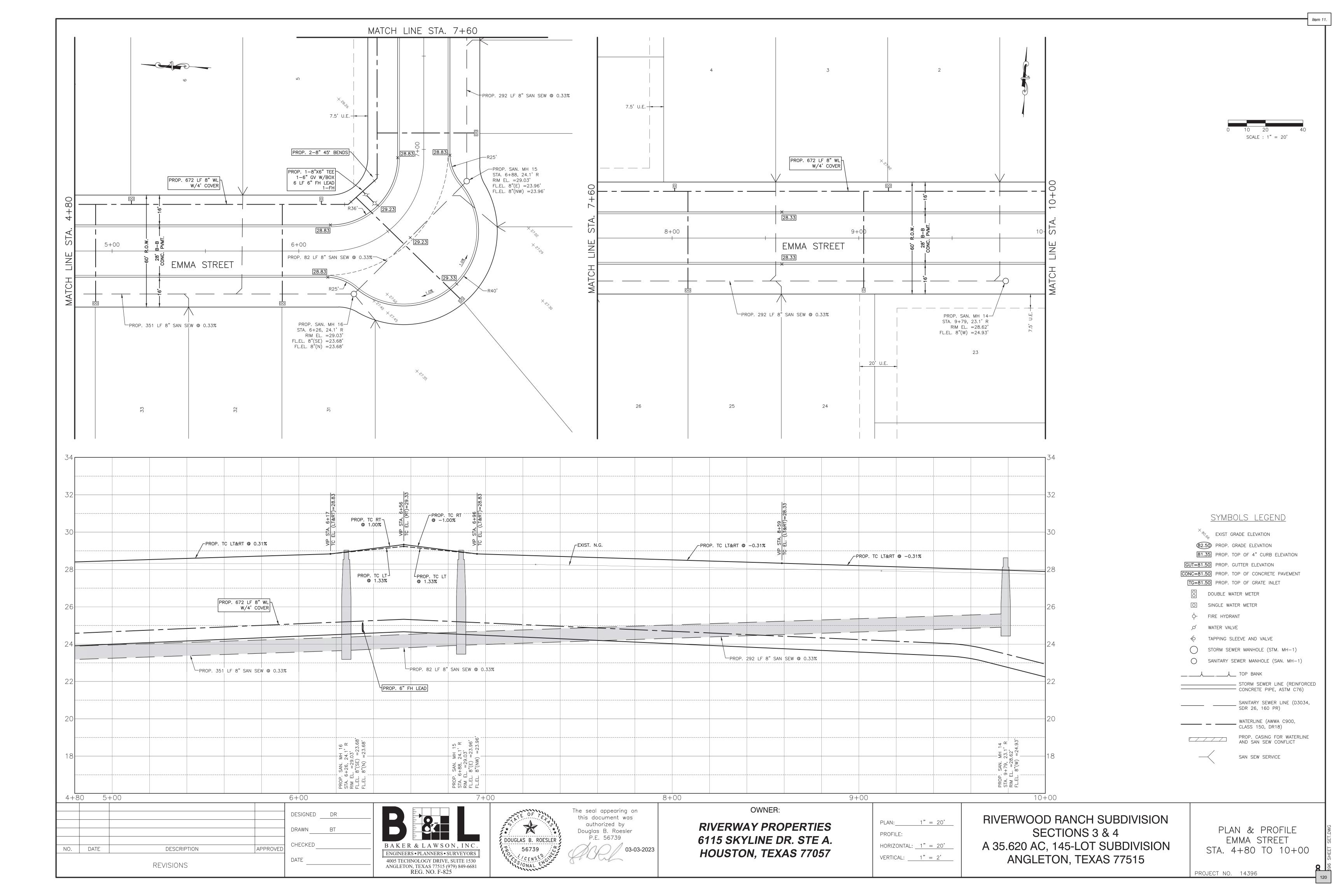
EARTHWORK QUANTITY : 38140 CUYD CUT VOLUME FILL VOLUME : 43230 CUYD : 5090 CUYD NET FILL

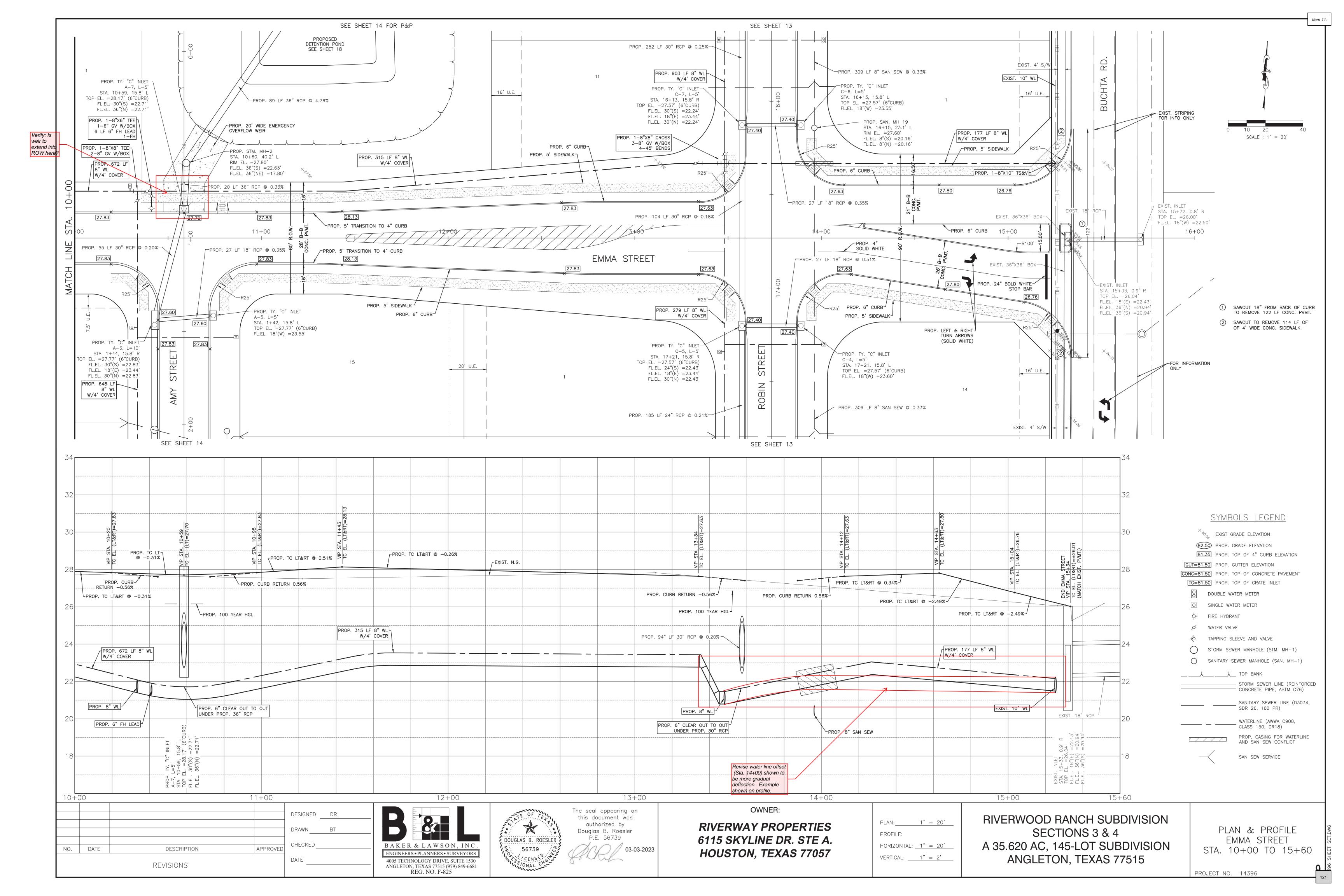
RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

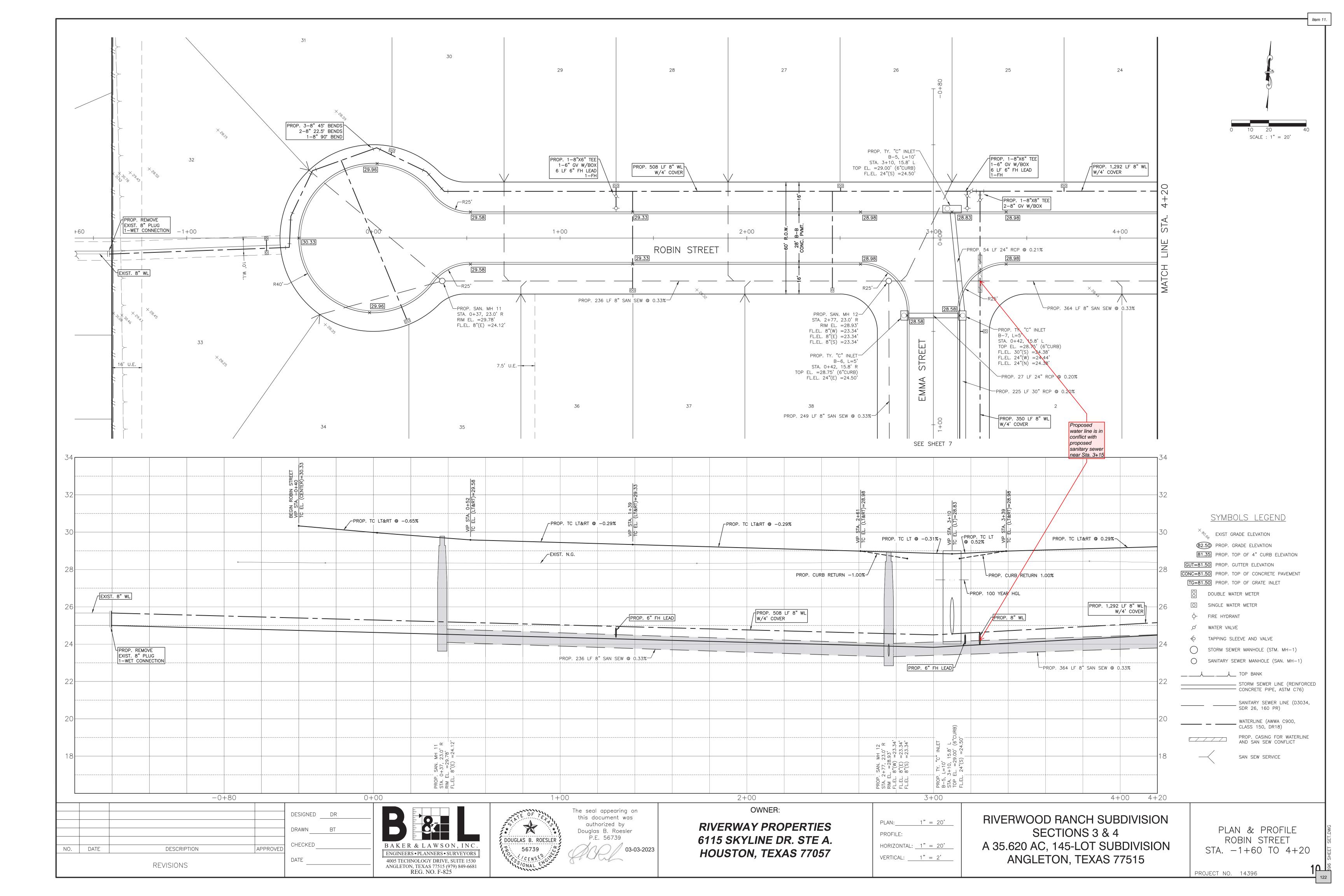
CUT & FILL CALCULATION 117

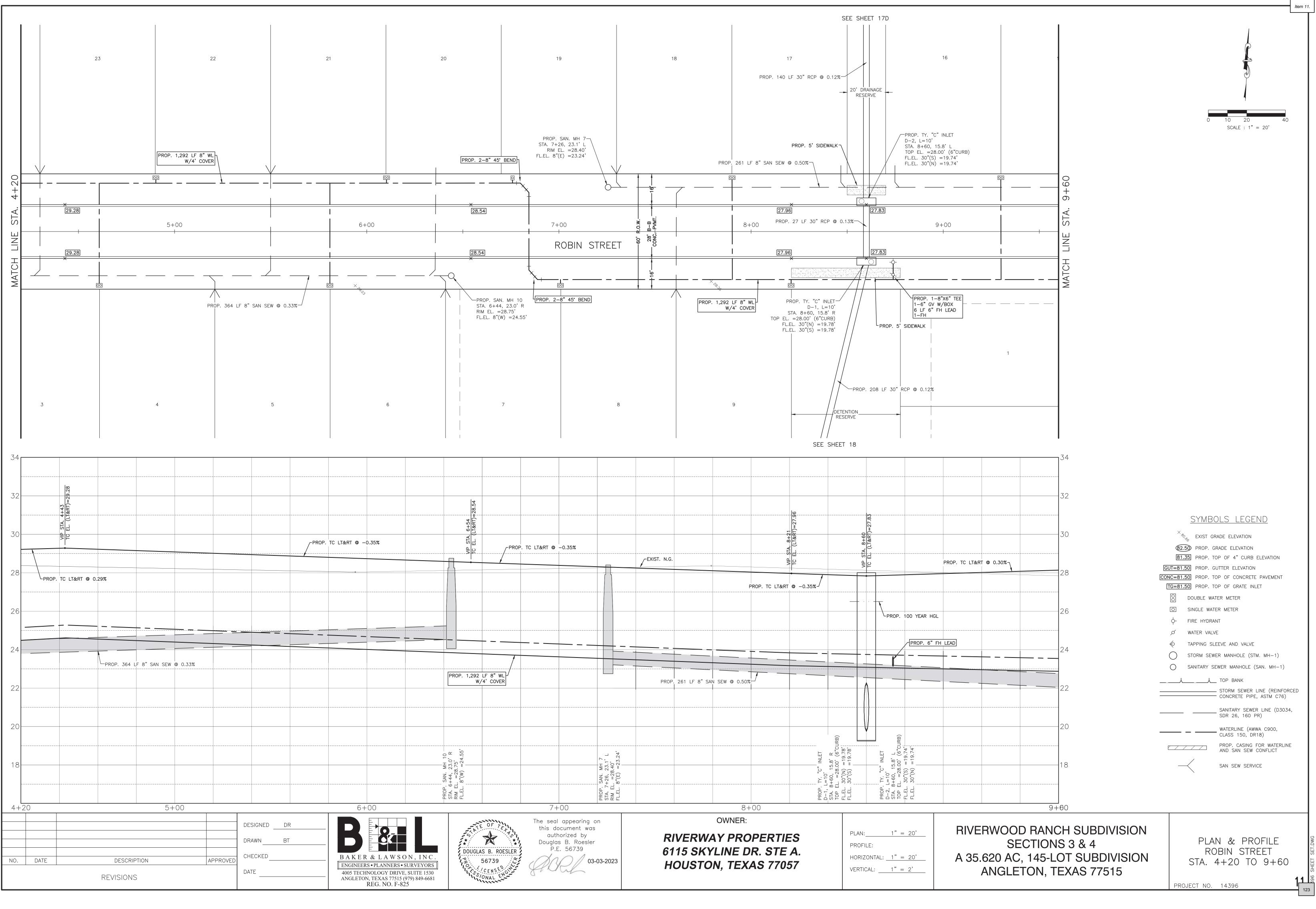




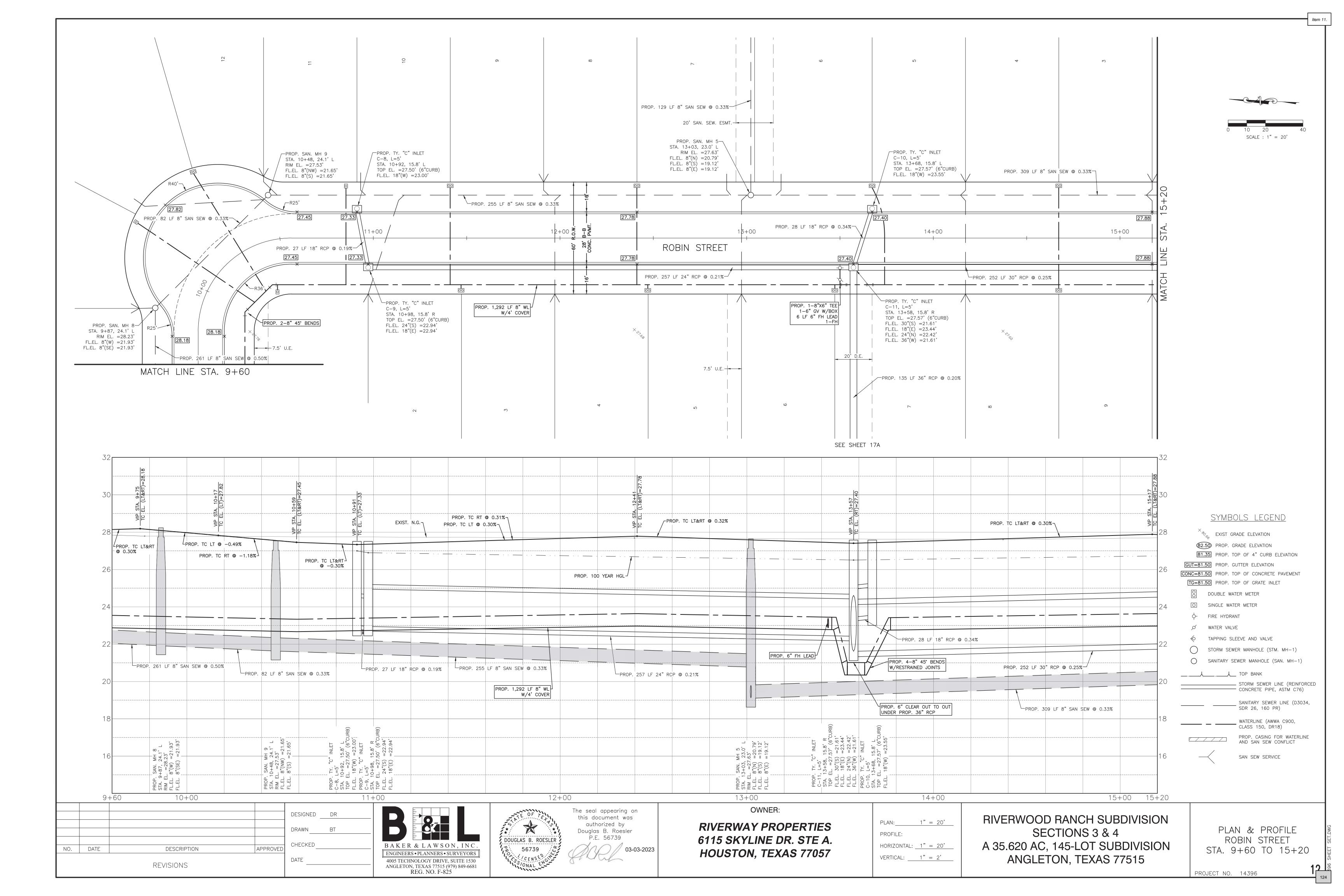


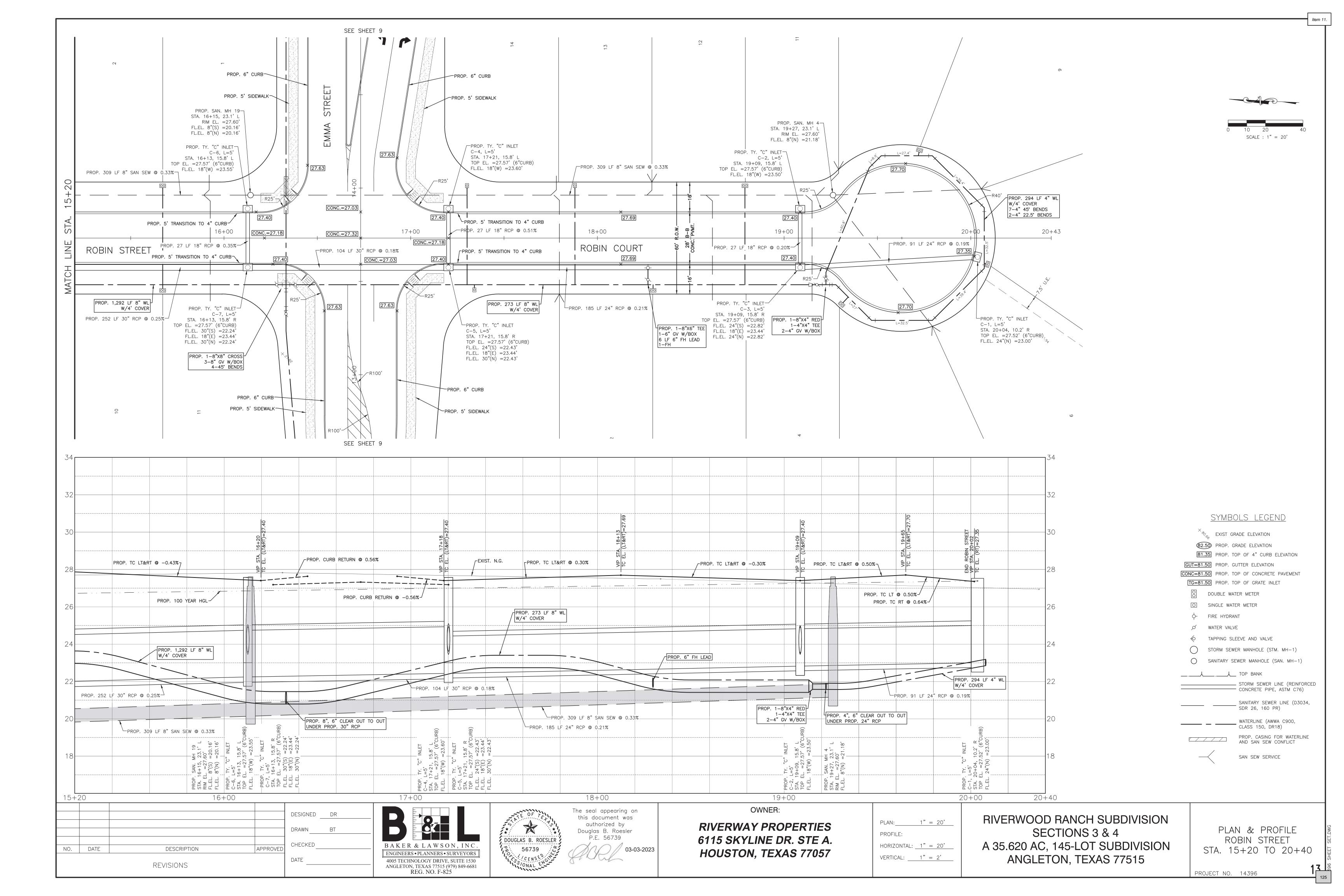


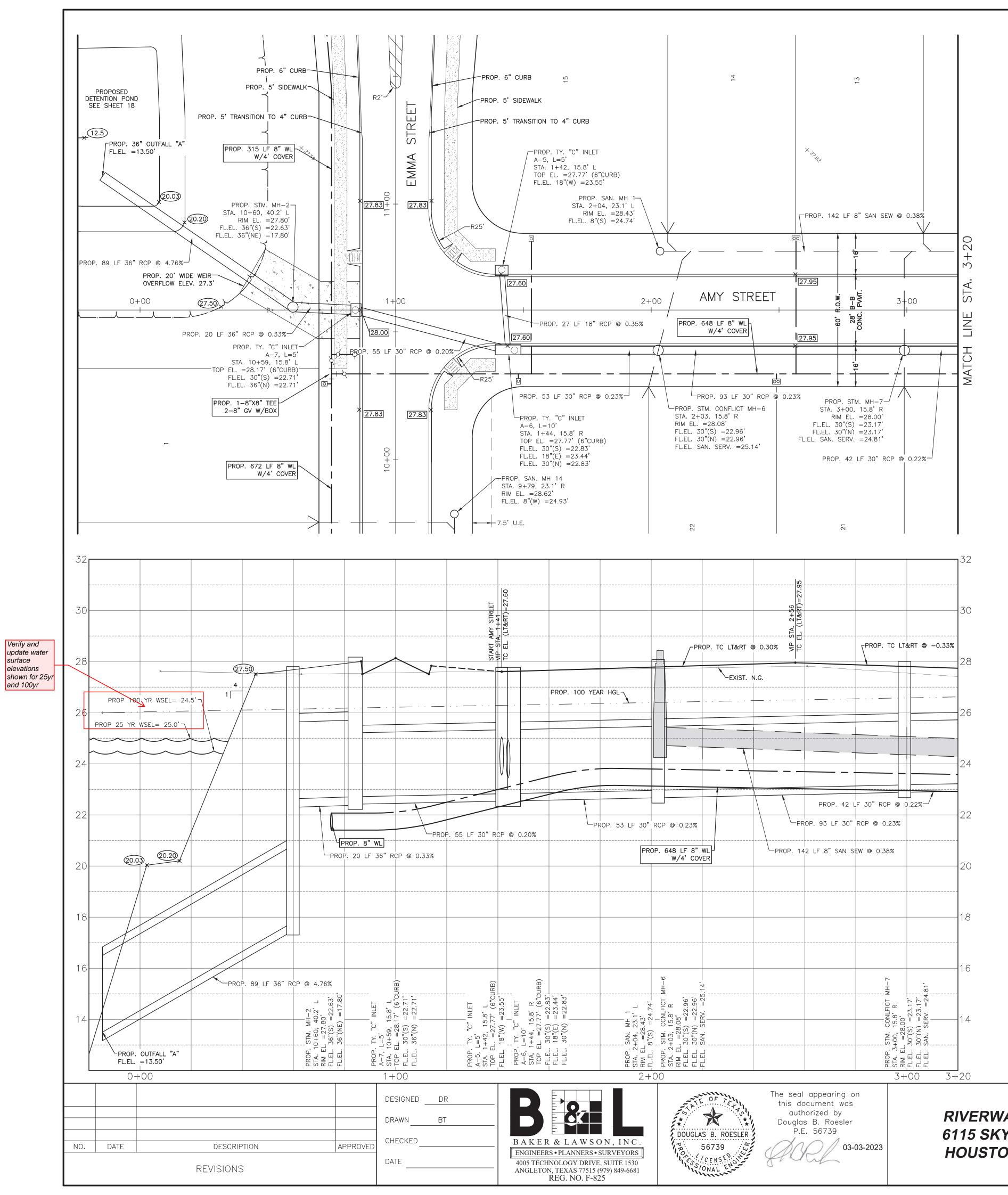




Item 11.







OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

1" = 20' PLAN:____ PROFILE: HORIZONTAL: 1" = 20'VERTICAL: <u>1" = 2'</u>

RIVERWOOD

A 35.620 AC,

ERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 5.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515	PLAN & AMY S ⁻ STA. 0+00
	PROJECT NO. 14396

PLAN & PROFILE AMY STREET		SET.DWG
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JECT NO. 14396	126	6
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\$ -	FIRE HYDRAN	IT		
ø	WATER VALVE			
\diamond	TAPPING SLEEVE AND VALVE			
\bigcirc	STORM SEWER MANHOLE (STM. MH-1)			
\bigcirc	SANITARY SEWER MANHOLE (SAN. MH-1)			
k_		TOP BANK		
		STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)		
		SANITARY SEWER LINE (D3034, SDR 26, 160 PR)		
		WATERLINE (AWWA C900, CLASS 150, DR18)		
		PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT		
	\langle	SAN SEW SERVICE		

SYMBOLS LEGEND

81.35 PROP. TOP OF 4" CURB ELEVATION

CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT

ିଂନ୍ତ୍ର EXIST GRADE ELEVATION

(82.50) PROP. GRADE ELEVATION

TG=81.50 PROP. TOP OF GRATE INLET

DOUBLE WATER METER

SINGLE WATER METER

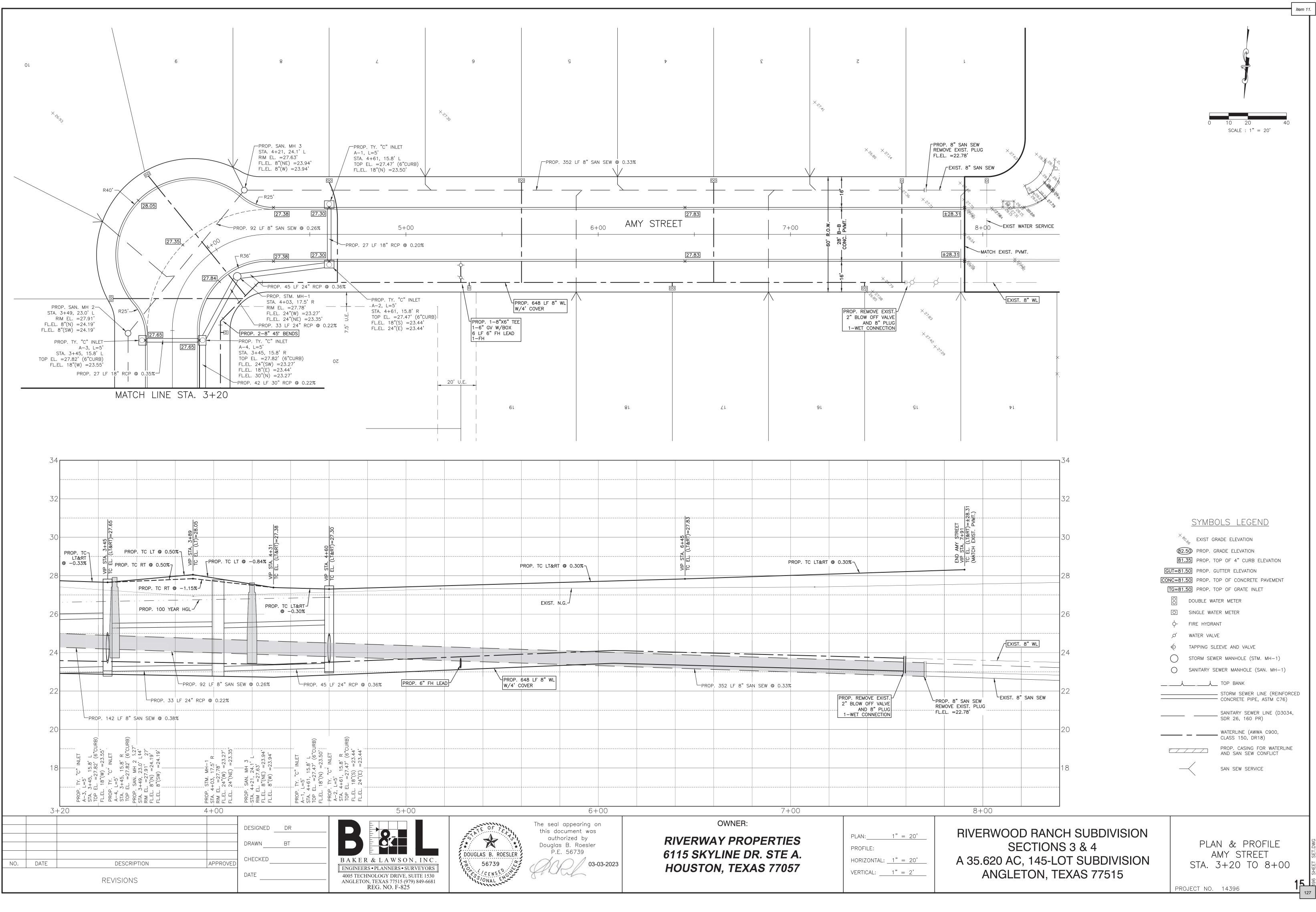
GUT=81.50 PROP. GUTTER ELEVATION

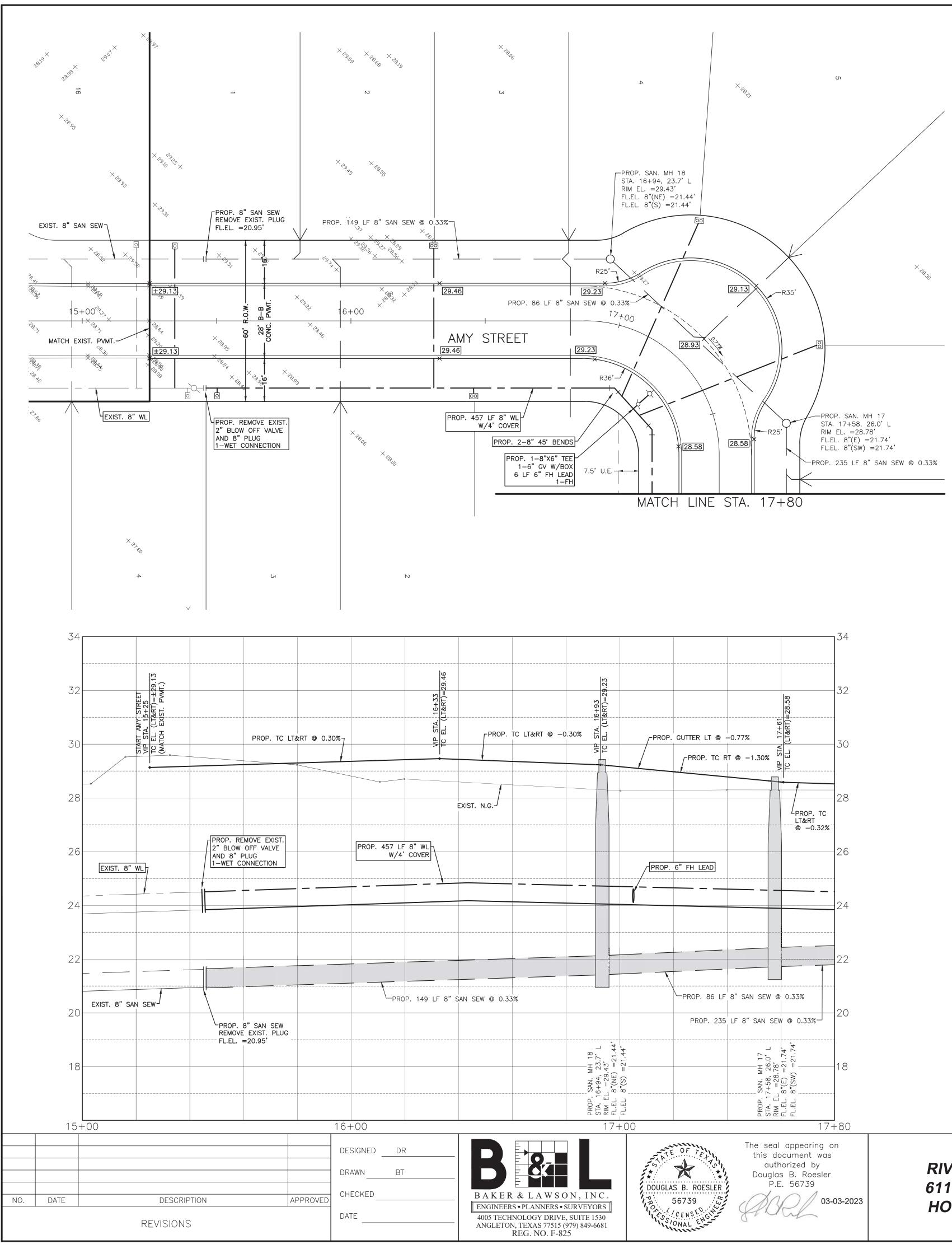
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Item 11.

SCALE : 1" = 20'





OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN: 1" = 20'PROFILE: HORIZONTAL: 1" = 20'VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515	PLAN & AMY S ⁻ STA. 15+00
	PROJECT NO. 14396

PLAN & PROFILE	DWG
AMY STREET	SET.DWG
STA. 15+00 TO 17+80	SHEET
	<u> 5</u> 96

128

00	DOUBLE WAT	ER METER
0	SINGLE WATE	R METER
\ -	FIRE HYDRAN	IT
Ø	WATER VALVE	Ξ
$\langle \! \circ \!$	TAPPING SLE	EVE AND VALVE
\bigcirc	STORM SEWE	R MANHOLE (STM. MH-1)
0	SANITARY SE	WER MANHOLE (SAN. MH-1)
\		TOP BANK
		STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
		SANITARY SEWER LINE (D3034, SDR 26, 160 PR)
		WATERLINE (AWWA C900, CLASS 150, DR18)
		PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
	\prec	SAN SEW SERVICE

<u>SYMBOLS LEGEND</u>

81.35 PROP. TOP OF 4" CURB ELEVATION

CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT

م EXIST GRADE ELEVATION

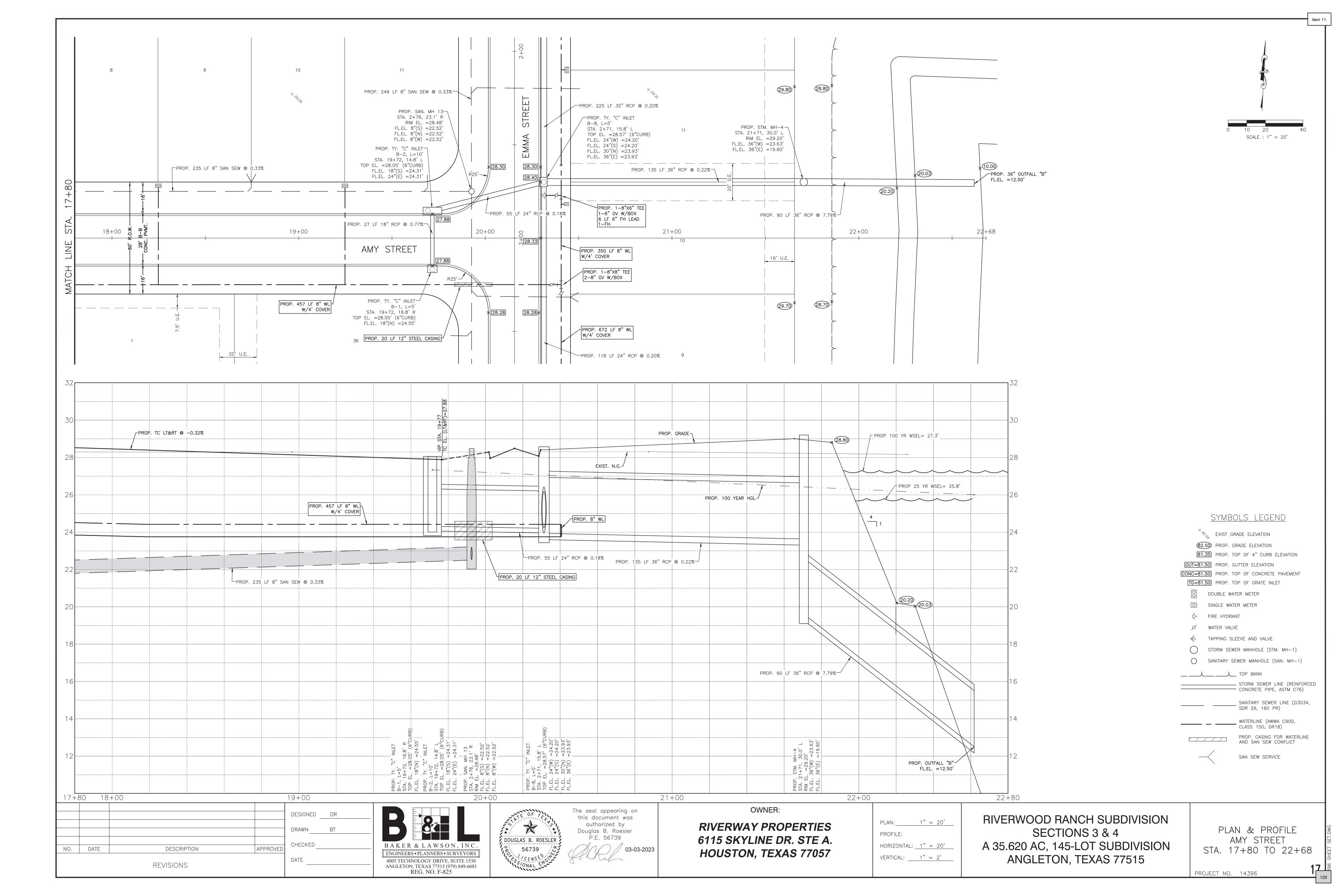
82.50 PROP. GRADE ELEVATION

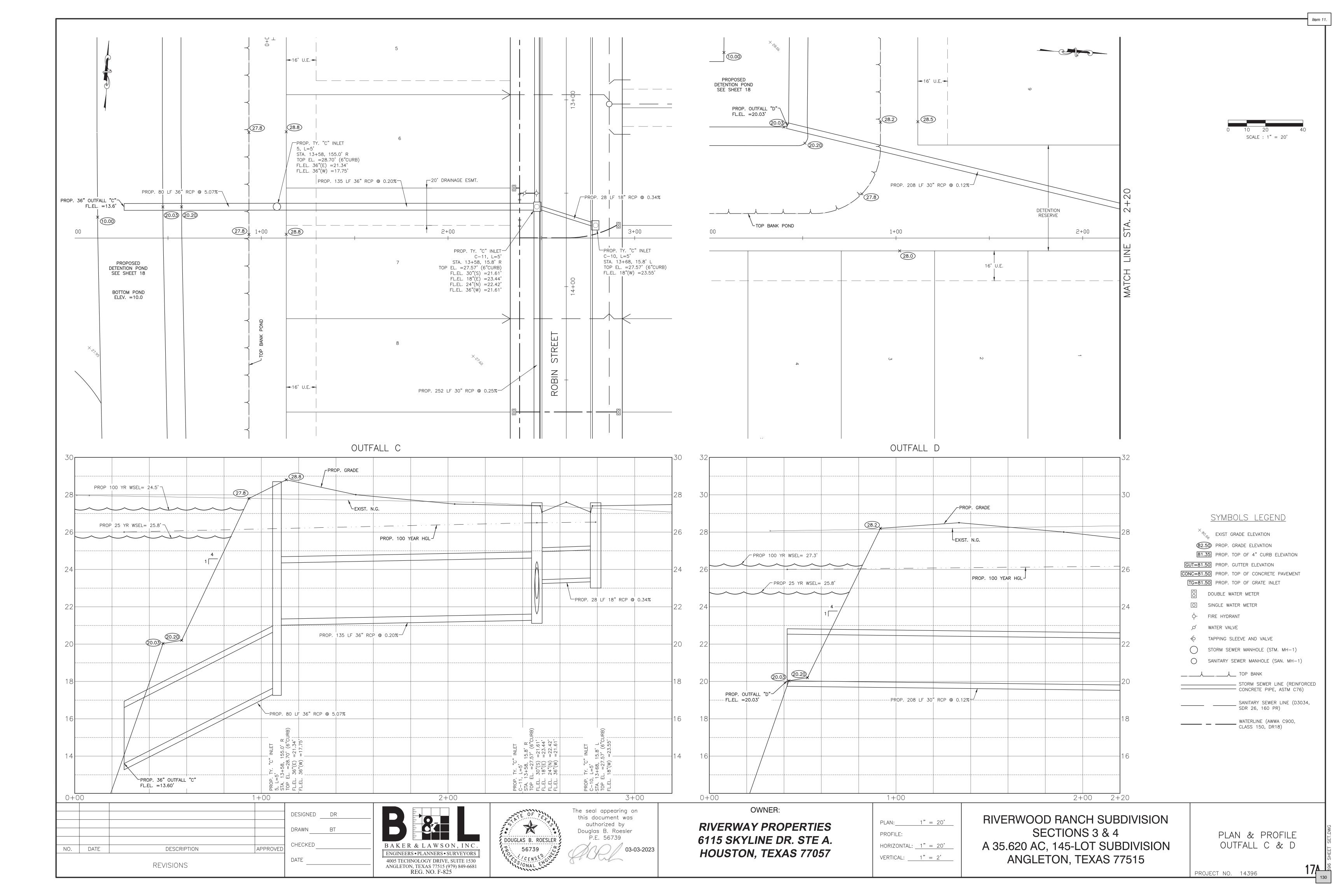
TG=81.50 PROP. TOP OF GRATE INLET

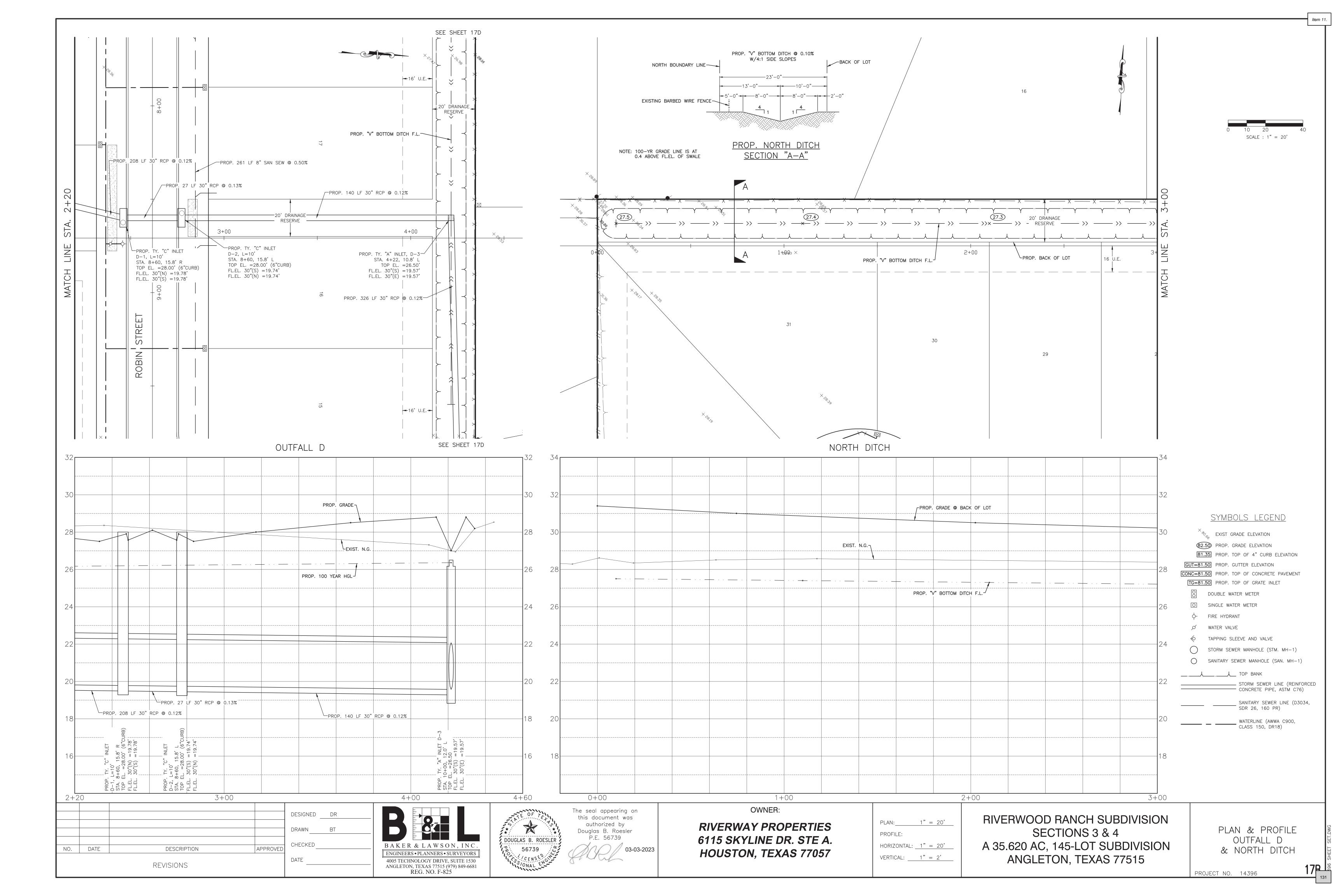
GUT=81.50 PROP. GUTTER ELEVATION

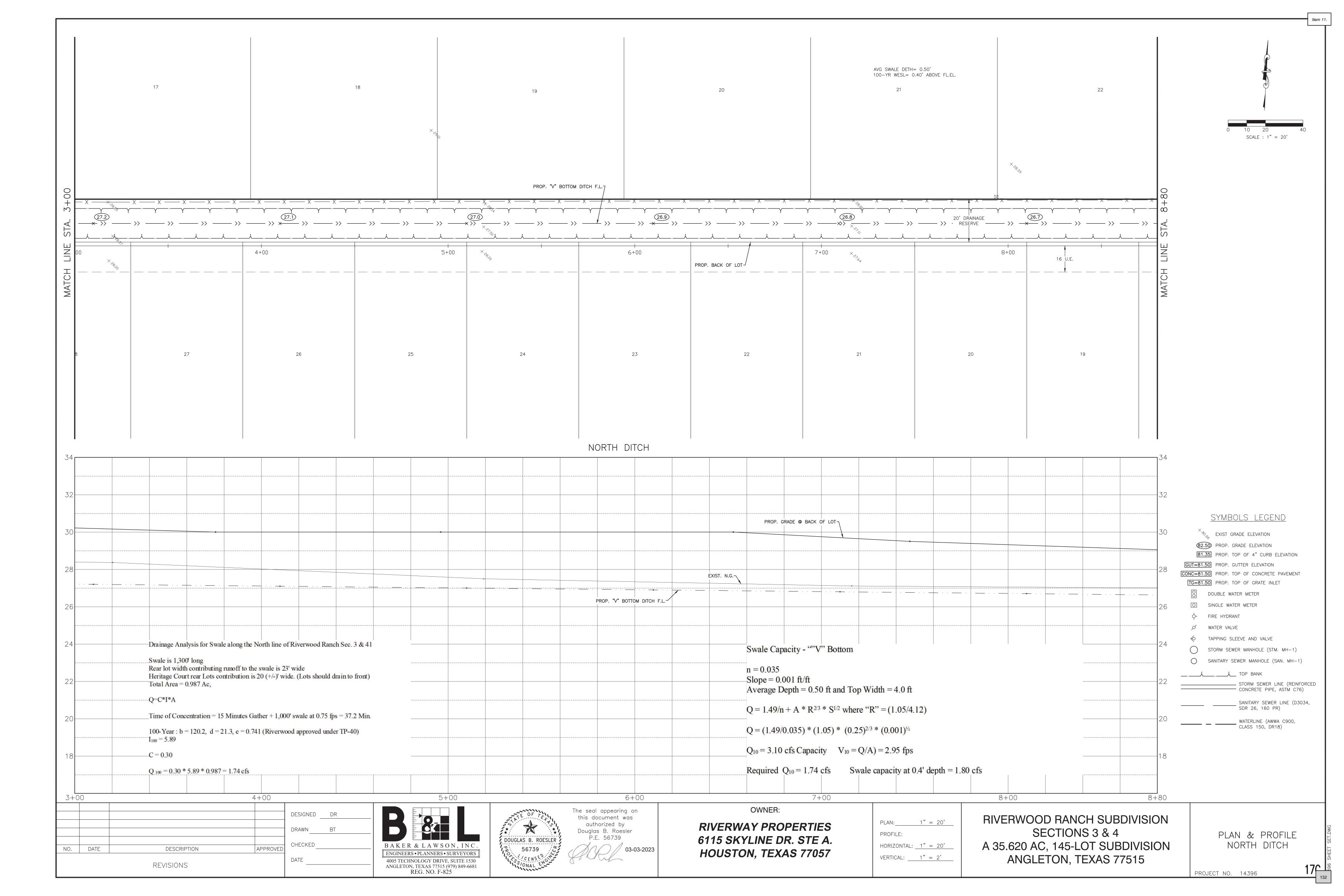
SCALE : 1" = 20'

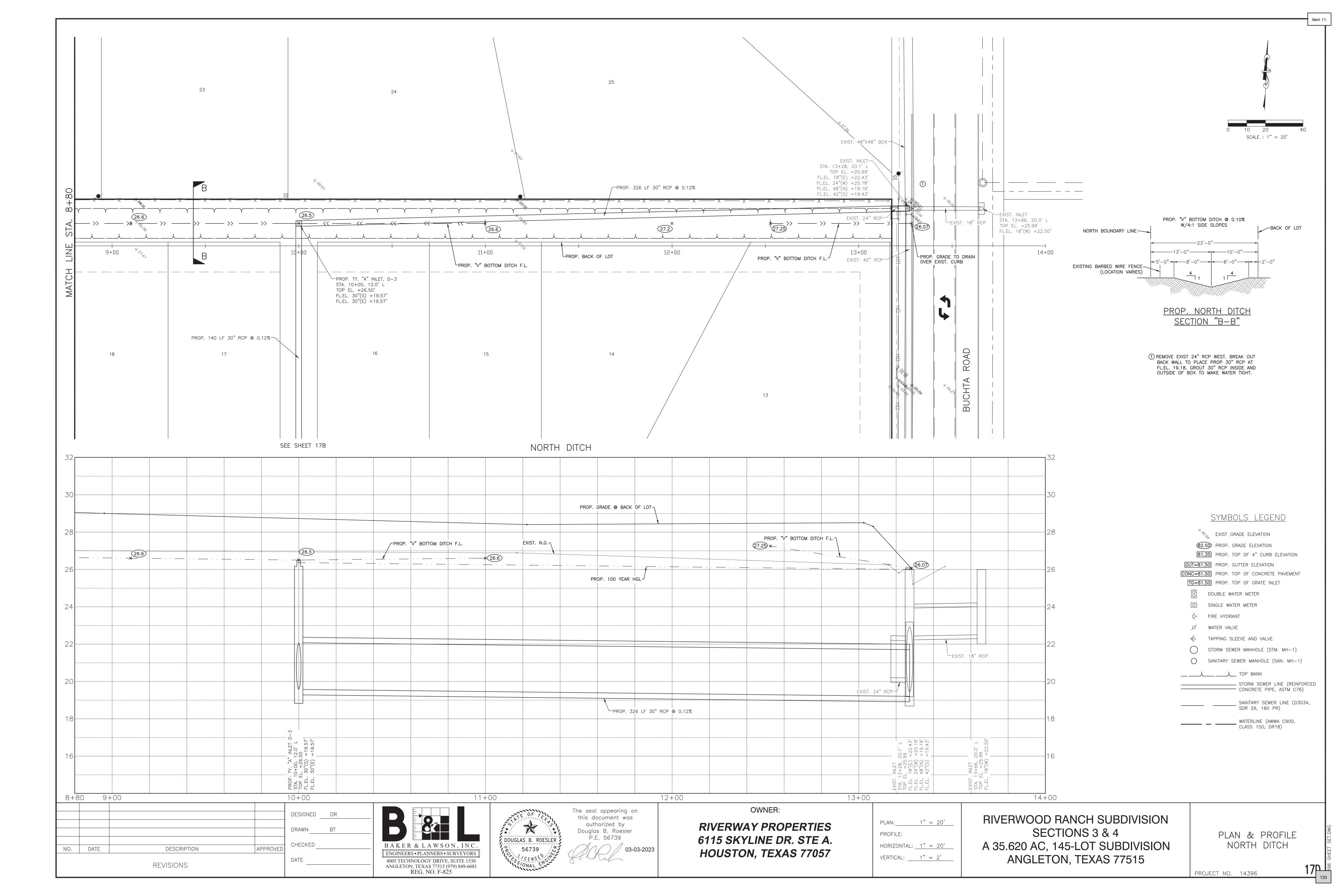
ltem 11.

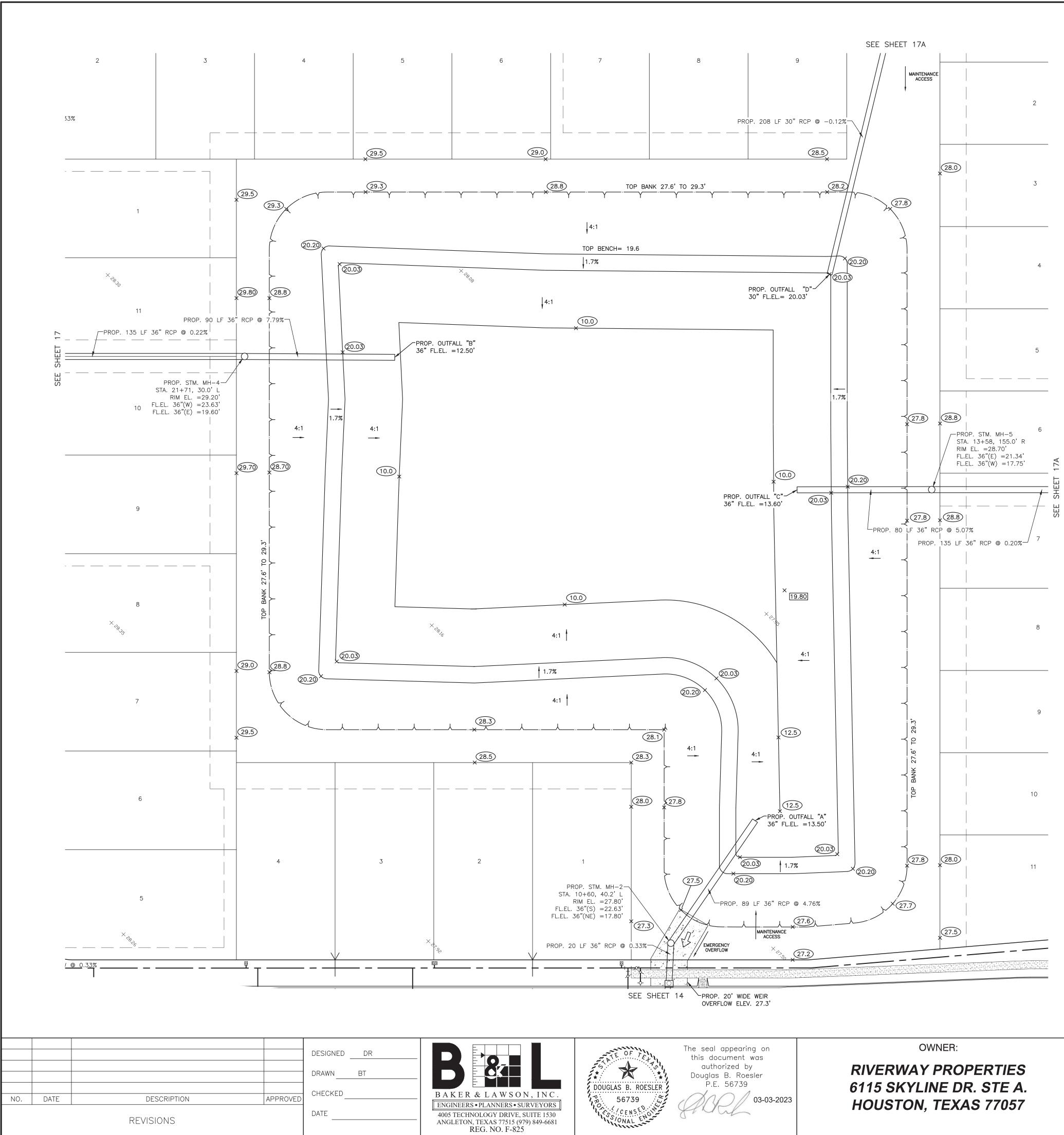












1" = 30' PLAN:____ PROFILE: HORIZONTAL: VERTICAL:

Riverwo	od Sec. 3 & 4 Detention/Ex	cavation Sun	nmary
Detention Vol	lume Required	17.179	Ac-Et
	lume Provided	22.680	
Detertion voi		22.000	AG-FL
Elev. (f.t.)		Area (s.f.)	
28.50 (+/-)	Top bank	142,525	
28.00	Nat. Gr.	140,945	
27.30	12" Freeboard - 100 Yr WSEL	137,373	
20.20	Top 10' Bench	117,382	
20.00	Bottom 10' Bench*	105,726	
10.00	Bottom Pond	63,440	
*	Static Water = Bo		
		LIGHT Denon	
	Detention Pond Volu	me	
Elev. (f.t.)		Area (s.f.)	
27.30	12" Freeboard - 100 Yr	137,373	
20.20	Top 10' Bench	117,382	
20.00	Bottom 10' Bench*	105,726	
		,	
Area	(137,373 + 117,382)/2	127,377	s.f.
Volume	(127,377*7.1' Depth)	904,377	
		С.	
Area	(117,382 + 105,726)/2	111,554	s.f.
Volume	(111,554*0.20' Depth)	22,311	c.f.
		000 000	
	Total Volume	926,688	
		21.27	ac-tt
	Excavation Volum	е	
28.00	Nat. Gr.	140,945	
20.20	Top 10' Bench	117,382	
20.00	Bottom 10' Bench*	105,726	
10.00	Bottom Pond	63,440	
Area	(140,945 +117,382)/2	129,164	s.f.
Volume	(129,164*7.8' Depth)	1,007,479	c.f.
Area	(117,382 + 105,726)/2	111,554	s.f.
Volume	(111,554*0.20' Depth)	22,311	c.f.
Area	(105,726+63,440)/2	84,583	
Volume	(84,583*10.00 Depth)	845,830	c.f.
	Tatal Makuma	1.075.000	<u>_ f</u>
	Total Volume	1,875,286	
Ϋ́.		69,467	c.y.
(Eile: 14206 /	Det Vol Calce 02-25-23)		

Item 11.

SCALE : 1" = 30'

(File: 14396 / Det Vol Calcs 02-25-23)

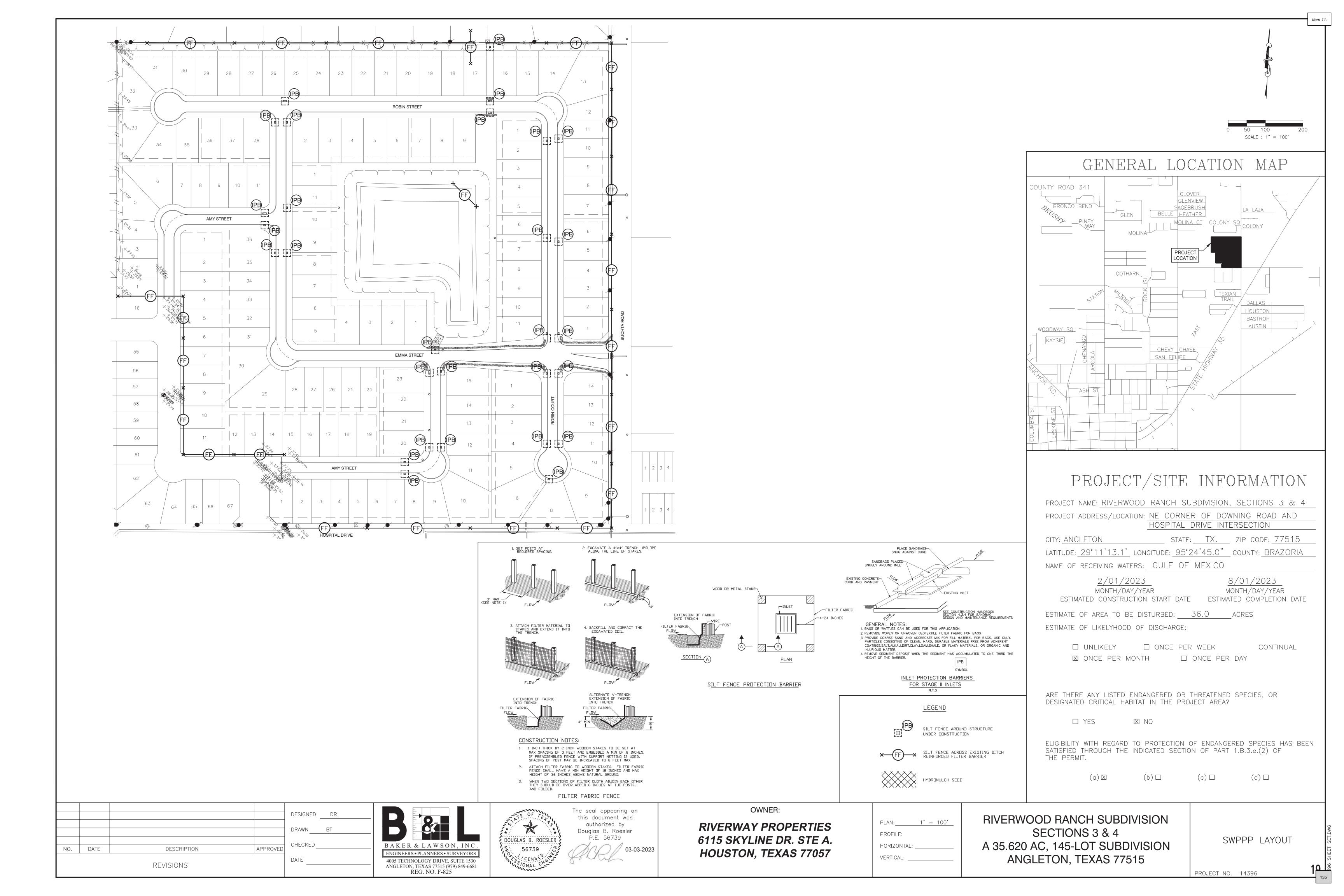
100 YR WSEL= 27.0 PROVIDES 17.32 AC–FT ALL SIDE SLOPES AT 4' TO 1' OR FLATTER

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

DETENTION POND

1**8** ไ

134



Þ	۹.	NATURE OF THE CONSTRUCTION ACTIVITY:
		BEING A 35.620 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 145 LOTS. CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS AND CONCRETE ROADWAYS WITH CURBS WITH EXCESS EXCAVATION WITH MATERIAL SPREAD FOR LOT GRADING.
E	3.	INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES: STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER. THIS MATERIAL WILL BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD ON DEVELOPED LOTS
		AFTER FINAL GRADING. UTILITY AND STORM SEWER CONSTRUCTION WILL REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE WILL INVOLVE SPREADING EXCAVATED MATERIAL ON
		ADJACENT LOTS. RAINFALL RUNOFF WILL BE DIRECTED TO THE STREET GUTTERS AND TO THE CONSTRUCTED STORM SEWER SYSTEM. TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE, UTILITY AND STORM SEWER MATERIALS AND OTHER CONSTRUCTION MATERIALS. TRUCKS WILL ALSO BE USED TO HAUL CONSTRUCTION DEBRIS AWAY FROM THE SITE. THESE TRUCKS WILL BE ROUTED ALONG HOSPITAL DR. AND BUTCHA ROADS FOR INGRESS AND EGRESS. RUTTING DURING WET WEATHER WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE ROUTE.
(С.	TOTAL PROJECT AREA: 35.620 ACRES
		TOTAL AREA TO BE DISTURBED: 36 ACRES
		WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.55
		· · · · · · · · · · · · · · · · · · ·
E		REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROX SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; ARE WHICH WILL NOT BE DISTURBED; LOCTIONS OF MAJOR STRUCTURAL AND NON—STRUCTURA CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF—SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARC TO A SURFACE WATER.
F		LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH
		INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTIO <u>N:</u>
(5.	NAME OF RECEIVING WATERS: RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED
(3.	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY
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ŀ	H	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO. AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SITE WHICH WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS OFTHE PROJECT. NONE
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2. CONTROLS

NARRATIVE - SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.

1. INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE.

2. INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.

3. ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND, UTILITY STORM SEWER CONSTRUCTION, AND DESIGNATED POND EVACUATION.

4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 18" WIDE SOLID SOD BEHIND ALL CURBS, OR FILTER FABRIC FENCE.

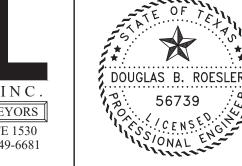
A. EROSION AND SEDIMENT CONTROLS: EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

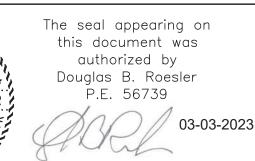
SOIL STABILIZATION PRACTICES:	OWNER/ DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/ DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		Х		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER:				

B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION: CURBS & GUTTERS STORM SEWERS





OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

PLAN:	1"	=
PROFILE:		
HORIZONTAL:		
VERTICAL:		

C. OTHER CONTROLS

WASTE MATERIALS: _____ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

HAZARDOUS WASTE (INCLUDING SPILL REPORTING) AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY: HAUL ROADS DAMPENED FOR DUST CONTROL LOADED X HAUL TRUCKS TO BE COVERED WITH TARPAULIN X EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPAULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION

AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

5. NON-STORMWATER DISCHARGES

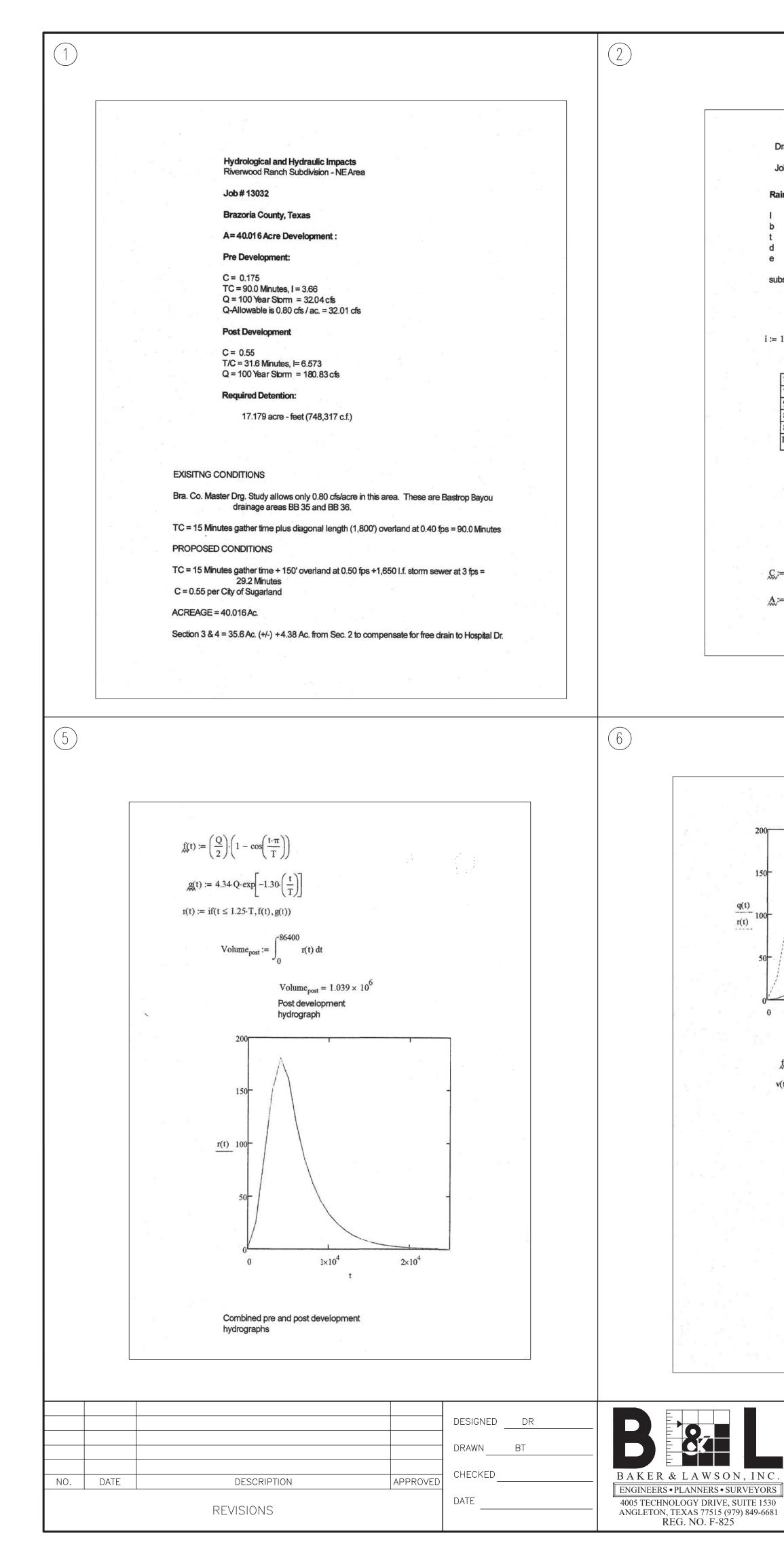
FIRE HYDRANT FLUSHING X BUILDING WASHDOWN WITHOUT DETERGENTS X PAVEMENT WASHDOWN WITHOUT DETERGENTS X CONDENSATE UNCONTAMINATED GROUNDWATER

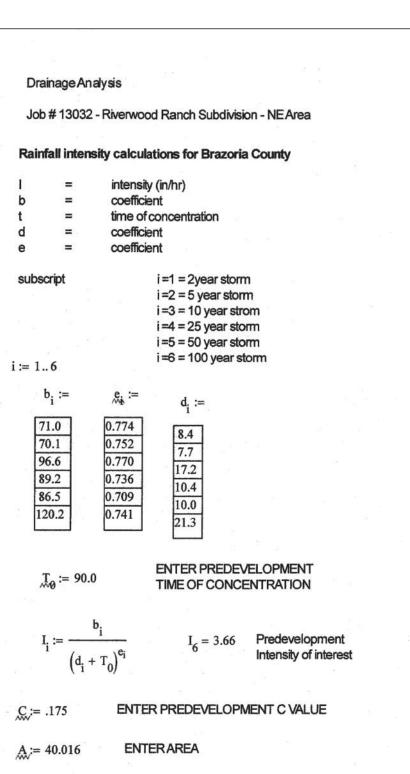
____ UNCONTAMINATED FOUNDATION DRAINS

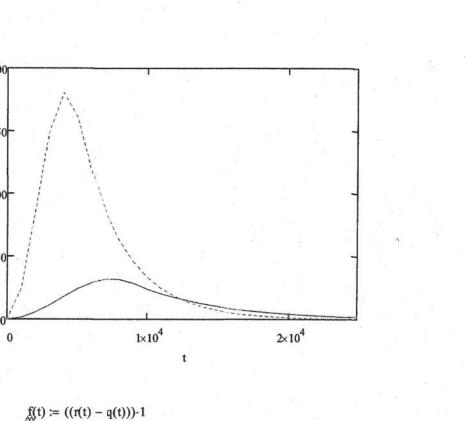
RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

SWPPP NARRATIVE

Item 11





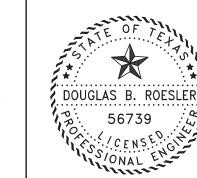


v(t) := if(f(t) > 0, f(t), 0)

THE REQUIRED STORAGE COMPUTED AS THAT PART OF THE POST DEVELOPMENT HYDROGRAPH THAT FALLS ABOVE THE PREDEVELOPMENT HYDROGRAPH

ACRE -FEET

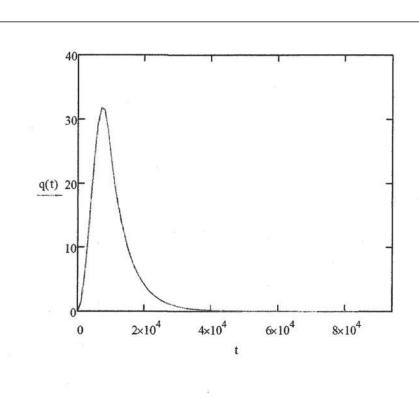
v(t) dt --- = 17.179 43560



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:__ PROFILE: HORIZONTAL: VERTICAL:



 $I_i := \frac{b_i}{\cdots}$ $\left(d_{i} + T_{0}\right)^{e_{i}}$

T_= 29.2

3

CONCENTRATION $I_6 = 6.573$ Post development | of interest

ENTER POST DEVLOPMENT TIME OF

C := 0.55 Cf:= 1.25 $Q := C \cdot I_6 \cdot A \cdot C_f$

ENTER POST DEVELOPMENT C FACTOR REVISE CFAND AREA IF NECESSARY

Q = 180.831 $V := (C) \cdot A \cdot 43560 \cdot 1.08$

 $V = 1.035 \times 10^{6}$

 $T := \frac{V}{1.39 \cdot Q} \qquad T = 4.119 \times 10^3$ t := 0,1000..25000

		RANCH SUB WITH MAX.					TON, TEXAS HEAD					
А	В	С	D	E	F	G	HI	J	К	L	Μ	Ν
1			Η.	C.F.C.D. I	EQUATIO	N FOR A	HDPE PIPE WITH K	NOWN "L", "n", "I	D" AND ASSUM	ED "H"		
2	H"	Q"	ENTR.	n	L	D	EQ.	EQ.	EQ.	EQ.	EQ.	EQ.
3			LOSS				2.5204(1+D4)	466.18*E4^2*F4	B4/(C4/10)^2	14/G4^4	J4/G4^5.333	L4-(L4+M4)
4	1	24.6	0.5	0.013	116	2.5	3.7806	9.1390	0.1658	0.0968	0.0690	0.0000
5	1	37.1	0.5	0.013	116	3	3.7806	9.1390	0.0728	0.0467	0.0261	0.0000
	USE 30" R	ESTRICTIVE (OUTLET	· · · · · · · · · · · · · · · · · · ·								

0	RIFICE	EQUATION				
Q =	Cd*A	*(2*G*H)^0.5				
Whe	ere:					
Cd	=	0.8				
G	=	32.2				
Н	=	1				
Q	=	32.01				
А	=	4.99	30"	Dia.	4.91 \$	5.F.

USE SU RESTRICTIVE OUTLET

4)
C _f := 1.25
$Q := C \cdot C_f \cdot I_6 \cdot A$ Must Insert correct subscript for I to obtain the relevant Q
$Q = 32.036$ $V := (C) \cdot A \cdot 43560 \cdot 1.08$ $V = 3.294 \times 10^{5}$ For these calculations, total volume storage is assumed to equal (C)*A with A converted to square feet multiplied by 13" (1.08')
DEVELOPMENT OF RUNOFF HYDROGRAPH MALCOM'S METHOD AS DESCRIBED IN THE BRAZORIA COUNTY DRAINAGE CRITERIA MANUAL
$T := \frac{V}{1.39 \cdot Q} \qquad T = 7.398 \times 10^{3} \qquad \begin{array}{c} T = \text{Time to peak, presented as a function} \\ \text{of volume and peak flow and therefore} \\ \text{indirectly related to time of concentration} \end{array}$
t := 0,100084000
$f(t) := \left(\frac{Q}{2}\right) \cdot \left(1 - \cos\left(\frac{t \cdot \pi}{T}\right)\right) \qquad \qquad f(t) \text{ describes rising limb of hydrograph}$
$g(t) := 4.34 \cdot Q \cdot \exp\left[-1.30 \cdot \left(\frac{t}{T}\right)\right] \qquad g(t) \text{ describes descending limb of hydrograph}$
$q(t) := if(t \le 1.25 \cdot T, f(t), g(t))$
c86400
$Volume_{pre} := \int_0^{30400} q(t) dt$
$Volume_{pre} = 3.306 \times 10^5$
Predevelopment hydrograph

HYDROLOGICAL CALCULATIONS

21 8 137

WinStorm (STORM DRAIN DESIGN)

Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:09:56 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area A 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation for	Design Frequency.
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====== TD							======================================
ID	C Value (min)	Area (min)	TC	TC Used	,	Supply Q (cfs)	Total Q
(acre)	(1111)	(((((((((((((((((((((((((((((((((((((((()	n/hr)	((15)	((15)	
A-1	0.55	1.56	15.00	15.00	6.21	0.000	5.327
A-2	0.55	1.13	15.00	15.00	6.21	0.000	3.859
A-3	0.55	0.77	15.00	15.00	6.21	0.000	2.630
A-4	0.55	0.33	15.00	15.00	6.21	0.000	1.127
A-5	0.55	0.47	15.00	15.00	6.21	0.000	1.605
A-6	0.55	1.76	15.00	15.00	6.21	0.000	6.010
A-7	0.55	1.19	15.00	15.00	6.21	0.000	4.064

Sag In	lets C	onfigura	tion Da	ata.							
Inlet ID (ft)	Inlet Type (sf)	Length/ Perim. (%)	Grate Area (%)		t-Slope g Trans (%)	Long	-Slope Trans (ft)	e Gu n (ft)	itter DeprW (Depth Allowed ft)	Critic Elev.
 А-1	Curb	5.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-2	Curb	4.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-3	Curb	3.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-4	Curb	2.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-5	Curb	2.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-6	Curb	6.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-7	Curb	4.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00

Sag In	lets Co	omputatio	n Data.						
Inlet ID (ft)	Inlet Type (ft)	Length (sf) (Gra Perim (cfs)		Total Q (ft)	Inlet Capacity (ft)	Total Head (ft)	Ponded Left	Width Right
A-1 A-2 A-3 A-4 A-5 A-6 A-7	Curb Curb Curb Curb Curb Curb Curb Curb	5.00 4.00 3.00 2.00 2.00 6.00 4.00	n/a n/a n/a n/a n/a n/a n/a	n/a n/a n/a n/a n/a n/a n/a	5.327 3.859 2.630 1.127 1.605 6.010 4.064	6.261 5.448 4.635 3.822 3.822 7.075 5.448	0.449 0.397 0.343 0.222 0.280 0.449 0.411	11.25 10.00 8.65 6.30 7.20 11.80 10.20	11.25 10.00 8.65 6.30 7.20 11.80 10.20

Cumulat	ive Jur	nction Dis	scharge Co	mputatio	ns			
Node I.D. (acres)	J I I I	C-Value	Cumulat. Dr.Area hr) cfs	Тс	. Intens. (cfs)	User Supply Q (cfs)	Additional Q in Node	Total Disch.
A-1	Curb	0.550	1.56	15.00	6.21	0.000	0.00	5.327
A-2	Curb	0.550	2.69	16.55	6.00	0.000	0.00	8.877
A-3	Curb	0.550	0.77	15.00	6.21	0.000	0.00	2.630
A-4	Curb	0.550	3.79	16.89	5.96	0.000	0.00	12.416
A-5	Curb	0.550	0.47	15.00	6.21	0.000	0.00	1.605
A-6	Curb	0.550	6.02	17.79	5.84	0.000	0.00	19.350
A-7	Curb	0.550	7.21	17.87	5.83	0.000	0.00	23.134
MH-1	CircMł	n 0.550	2.69	16.55	6.00	0.000	0.00	8.877
MH-2	CircMł	n 0.550	7.21	17.87	5.83	0.000	0.00	23.134
OUT	Outlt	0.550	7.21	17.87	5.83	0.000	0.00	23.134

Conveyance Configuration Data

Run#	Node US (ft)	I.D. DS	Flowline US (ft)	Elev. DS (ft)	Shape # (ft) (Span %)	Rise	Length	Slope	n_value
1	A-1	A-2	23.50	23.44	Circ 1	0.00	1.50	280.00	0.02	0.013
2	A-2	MH-1	23.44	23.27	Circ 1	0.00	2.00	45.00	0.38	0.013
3	MH-1	A-4	23.35	23.27	Circ 1	0.00	2.00	40.00	0.20	0.013
4	A-3	A-4	23.55	23.44	Circ 1	0.00	1.50	28.00	0.39	0.013
5	A-4	A-6	23.27	22.83	Circ 1	0.00	2.50	220.00	0.20	0.013
6	A-5	A-6	23.55	23.44	Circ 1	0.00	1.50	28.00	0.39	0.013
7	A-6	A-7	22.83	22.71	Circ 1	0.00	2.50	30.00	0.40	0.013
8	A-7	мн-2	22.71	22.63	Circ 1	0.00	3.00	38.00	0.21	0.013
9	MH-2	OUT	20.25	20.15	Circ 1	0.00	3.00	30.00	0.33	0.013

Conveyance Hydraulic Computations. Tailwater = 25.000 (ft) Hydraulic Gradeline Depth Velocitv Jund Run# US Elev DS Elev Fr.Slope Unif. Actual Unif. Actual Q Сар Loss (%) (ft) (ft) (f/s) (f/s) (cfs) (cfs) (ft) (ft) (ft) 26.13 25.42 0.257 1.50 1.50 3.01 3.01 5.33 1.54 0.000 1.16 2.00 4.72 2.83 8.88 13.91 0.000 25.42 25.35 0.154 25.29 0.154 1.44 2.00 3.67 2.83 8.88 10.12 0.000 25.35 25.29 0.063 0.66 1.50 3.54 1.49 2.63 6.58 0.000 25.30 25.13 0.092 1.48 2.29 4.09 2.63 12.42 18.35 0.000 25.29 25.13 0.023 0.50 1.50 3.08 0.91 1.61 6.58 0.000 25.13 25.08 0.222 1.60 2.37 5.83 4.02 19.35 25.95 0.000 25.13 25.04 0.120 1.97 2.41 4.70 3.81 23.13 30.61 0.000 25.08 25.00 0.120 1.69 3.00 5.65 3.27 23.13 38.51 0.000 25.04

				DESIGNED DR DRAWN BT	B 84
NO.	DATE	DESCRIPTION	APPROVED	CHECKED	BAKER & LAWSON
		REVISIONS		DATE	- ENGINEERS • PLANNERS • SU 4005 TECHNOLOGY DRIVE, S ANGLETON, TEXAS 77515 (97 REG. NO. F-825

acre) (m [.]	•••						15.0	~~~												
4-1	0.55		1.5			.00					8.3				000				7.2		
4-2	0.55		1.1			.00		15.0			8.3				000				5.2		
-3	0.55		0.7			.00		15.0			8.3				000				3.5		
A-4	0.55		0.3			.00		15.0			8.3 8.3				000				1.5		
4−5 4−6	0.55		0.4 1.7			.00		15.0 15.0			8.3				000				2.1 8.1		
4-0 4-7	0.55		1.1			.00		15.0			8.3				000				5.4		
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Inlet		: Leng									t-Slo			utte				pth		Cr	
ID (ft)	Туре (sf)	Peri (%)		Are (%)		Lor %)		Tran: %)	s l		Tran (ft)		n (ft)	Dep		A (ft)		owe	d	E	le
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۹-2	Curb	5.0		n/				2.00		0.50			.014		50			.50			8.0
4-3	Curb	4.0		n/				2.00		0.50			.014		50			.50			8.0
4-4 4-5	Curb Curb	2.0 3.0		n/ n/				2.00		0.50 0.50			.014 .014		50 50			.50 .50			8.(8.(
4-5 4-6	Curb	8.0		n/				2.00		0.50			.014		50			.50			8.0
4-7	Curb	5.0		n/				2.00		0.50			.014		50			.50			8.0
	nlote C																				
sag 1 ===== [nlet	nlets C ======= Inlet		ength						==== otal	===== 1 0	 Inl	=== et	===== T(==== otal	===	=== Pon	deo	==== d W ⁻¹	=== idt	===: h	===
ID	Туре				erin		rea				Capac			ead		Lef			igh		
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			·		 /											 1 ~			 1		
A-1 A-2	Curb Curb		7.00		n/a n/a		1/a 1/a		7.20 5.21		7.8 6.2			.471 .443		12. 11.			12. 11.		
4-2 4-3	Curb		4.00		n/a n/a		1/a 1/a		3.55		5.4			.443 .376			20 70		9.		
λ-4	Curb		2.00		n/a		1/a		1.52		3.8			. 271		7.			<i>7</i> .		
4-5	Curb	3	3.00		n/a	r	1/a		2.17	70	4.6	35	0	.301		8.	05		8.	05	
A-6	Curb		3.00		n/a		ı/a		8.12		8.7			. 478		13.			13.		
A-7	Curb	5	5.00	-	n/a	n 	1/a		5.49	94	6.2	61 	0	.458		11.	40		11.	40	
.D.	Node Type	uncti Wei C-Va nin)	ighte alue	ed (Cumu	 ulat	. (Cumu TC	lat.			Su	User Upply (cfs)	Q	Ad		io	nal de		TO [.] Dis	
D. acres	Node Type s) (r Curt	e Wei C-Va min)	ighte alue (ir).550	ed (D n/hr	==== Cumu (r.Ai	ulat rea ci	fs)	Cumu Tc 15.0	==== lat. 00	. In (cfs	tens.) 8.39	Su (User pply (cfs) 0.00	Q D	Ad	dit in 	io No 0.0	de 00		Dis 7.	ch 20
acre 	Node Type s) (r Curb Curb	e Wei C-Va min) o C	ighte alue (ir).550).550	ed (D n/hr))	==== Cumu r . Ai ') 1	ulat rea c1 1.56 2.69	fs)	Cumu Tc 15.0	==== lat. 00 04	. In (cfs	tens.) 8.39 8.06	Su (User (pply (cfs) 0.00 0.00	Q D D	Ad	dit in 	No No 0.0	de 00 00		Dis 7.1 11.	ch 202
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D. acres 	Node Type s) (r Curk Curk Curk Curk Curk Curk Curk	e Wei C-Va nin) D C D C D C D C D C D C D C D C D C D C	ighte alue (ir).550).550).550).550).550).550).550	ed (D n/hr))))))))	==== Cumu (r . Ai () 2 () 2 () () () 2 () () () () () () () () () () () () ()	==== rea c1.56 2.69 0.77 3.79 0.47 6.02 7.21	fs) , , , , , , ,	Cumu Tc 15.0 17.0 15.0 15.0 18.1 18.1	==== lat. 00 04 00 36 00 23 31 04 31	(cfs	tens.) 8.39 8.06 8.39 8.01 8.39 7.88 7.88	Su (User (pply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Q 0 0 0 0 0 0 0 0 0 0 0 0 0	Ad	dit in 	ioi No 0.0 0.0 0.0 0.0 0.0 0.0	de 00 00 00 00 00 00 00 00 00		Dis 7. 11. 3. 16. 2. 31.	ch 20: 92: 55: 70: 17: 09: 20: 92: 20:
acre: a-1 	Node Type s) (r Curk Curk Curk Curk Curk Curk Curk Cur	e Wei C-Va nin) 0 C 0 C 0 C 0 C 0 C 0 C 0 C 0 C 0 C 0 C	ighte alue (ir).550).550).550).550).550).550).550).550).550).550).550).550).550).550).550).550).550	ed o D n/hr)))))))))))))))))))	Cumu (r.An) 2 ((2 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	Lat rea c1 	==== (fs)	15.0 17.0 17.0 15.0 17.0 18.0 18.0 18.0 18.0 18.0 18.0 18.0 18	<pre>lat</pre>	. Ini (cfs	tens.) 8.39 8.06 8.39 8.01 8.39 7.88 7.87 8.06 7.87 7.87 7.87 	Su (User (pply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Q 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Ad Q 	dit in 	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	de 00 00 00 00 00 00 00 00 00 00 00		Dis 7. 11. 3. 16. 2. 26. 31. 31. 31.	ch 203 928 559 700 170 094 203 203 203 203
	Node Type s) (r Curk Curk Curk Curk Curk Curk Curk Cur	e Wei C-Va min) D C D C D C D C D C D C D C D C D C D C	ighte alue (ir).550).550).550).550).550).550).550).550).550).550).550).550).550).550).550).550).550	ed o D n/hr)))))))))))))))))))	Cumu (r.Ai) 2 (((7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	Lat rea c1 	(ft)	15.0 17.0 17.0 15.0 17.0 18.0 18.0 18.0 18.0 18.0 18.0 18.0 18	<pre>lat. 00 04 00 36 00 23 31 31 Sha (ft)</pre>	. Ini (cfs	tens.) 8.39 8.06 8.39 8.01 8.39 7.88 7.87 7.87 7.87 7.87 7.87 7.87 7.8	Su (User (pply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Q 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Ad Q 	dit in th		de 00 00 00 00 00 00 00 00 00 00 00		Dis 7. 11. 3. 26. 31. 31. 31. 31.	ch 202 923 55 700 202 202 202 202 202 202 202 202 202
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Inlet ID (ft)	Inlet											
ID		I enorn/	Grate	left-	slone	Righ	t-Slope	Gut	ter	Г	Depth	Criti
	Туре	Perim.					Trans				llowed	Elev
		(%)		(%) ((ft)	(ft)		(ft)	i i oncu	LICV
	(31)	(%)	(//) ((//) 	./0) 		(11)	((())				
A-1	Curb	7.00	n/a	0.50	2 00	0 50	2.00	0 01/	1.50		0.50	28.0
A-2	Curb	5.00	n/a	0.50			2.00		1.50		0.50	28.0
A-3	Curb	4.00		0.50		0.50			1.50		0.50	28.0
A-4	Curb	2.00	n/a	0.50	2.00	0.50	2.00	0.014	1.50		0.50	28.0
A-5	Curb	3.00	n/a	0.50	2.00	0.50	2.00	0.014	1.50		0.50	28.0
A-6	Curb	8.00		0.50				0.014	1.50		0.50	28.0
	Curb	5.00					2.00		1.50		0.50	28.0
		omputati =======										
Inlet	Inlet		h Gr	ate	Tot	al Q	Inlet	Tota	al	Pond	led Widt	h
ID	туре			m Area			Capacity		d	Left	t Rigł	nt
(ft)	(ft)	(sf)	(cfs)	(cfs)	(ft)	(ft)	(ft)				
A-1	Curb	7.00	n/a	n/a	7	. 203	7.888	0.4	71	12.6	50 12	. 60
A-2	Curb	5.00				.217	6.261			11.2		.20
A-3	Curb	4.00				555	5.448			9.7		.70
A-4	Curb	2.00				. 524	3.822			7.0		.05
A-5	Curb	3.00				. 170	4.635	0.3)5 8	
	Curb	8.00			8	. 126	8.701		/ð	13.2		
A-7	Curb	5.00	n/a	n/a	. 5	. 494	6.261	0.4	58	11.4	40 11	.40
		unction										
Node	Node	Weight	ed Cum	ulat.	Cumula	at. In	tens.	User	Ad	lditi	onal	Total
I.D.		C-Value			ТС			upply Q			vode	Disch.
		in) (i				(cfe		(cfs)	ų v	1		
	,, (III	···· (1										
 А-1	Curb	0.55	0	1.56	15.00	<u>יייי</u>	8.39	0.000		~	0.00	7.203
A-2	Curb	0.55		2.69	17.04		8.06	0.000			0.00	11.928
A-3	Curb	0.55		0.77	15.00		8.39	0.000			0.00	3.555
A-4	Curb	0.55		3.79	17.30		8.01	0.000			0.00	16.700
A-5	Curb	0.55	0	0.47	15.00)	8.39	0.000		C	0.00	2.170
A-6	Curb	0.55		6.02	18.23		7.88	0.000			0.00	26.094
A-7	Curb	0.55		7.21	18.3		7.87	0.000			0.00	31.203
	C1 PC	/h ^ 55	0	2 60	17 0/	1 '	8 06	0 000) (1(1)	11 0.00
MH-1		4h 0.55		2.69	17.04		8.06	0.000			0.00	
MH-1 MH-2	CircM	4h 0.55	0	7.21	18.31	Ľ	7.87	0.000		C	0.00	31.203
MH-1		4h 0.55	0			Ľ				C		31.203
MH-1 MH-2 OUT 	CircM Outli	4h 0.55 t 0.55 	0 0 tion Da	7.21 7.21 	18.31 18.31	L	7.87 7.87	0.000		C C).00).00	31.203 31.203
MH-1 MH-2 OUT 	CircM Outli	4h 0.55 t 0.55 onfigura	0 0 tion Da	7.21 7.21 	18.31	L	7.87	0.000		C C).00).00	31.203 31.203
MH-1 MH-2 OUT Convey	CircM Outli yance Co Node I.	4h 0.55 t 0.55 	0 0 tion Da ====== Flowli	7.21 7.21 ta ne Ele	18.31 18.33 	L L	7.87 7.87	0.000		C C).00).00 	31.203 31.203
MH-1 MH-2 OUT Convey ===== Run#	CircM Outli yance Co Node I. US I	4h 0.55 t 0.55 onfigura	0 0 tion Da ====== Flowli US	7.21 7.21 ta ne Ele DS	18.31 18.33 	L Shape	7.87 7.87 	0.000		C C).00).00	
MH-1 MH-2 OUT Convey	CircM Outli yance Co Node I. US I	4h 0.55 t 0.55 	0 0 tion Da ====== Flowli	7.21 7.21 ta ne Ele DS	18.31 18.33 	L L	7.87 7.87	0.000		C C).00).00 	31.203 31.203
MH-1 MH-2 OUT Convey ===== Run# (ft)	CircM Outli yance Co Node I. US I (ft)	4h 0.55 c	0 0 tion Da ====== Flowli US (ft 	7.21 7.21 ta ne Ele DS c) (ft	18.31 18.32 	L L Shape ft)	7.87 7.87 ==============================	0.000 0.000 Rise	Leng	0 0).00).00 	31.203 31.203 n_valu
MH-1 MH-2 OUT Convey ===== Run# (ft) 1 4	CircM Outli yance Co Node I. US I (ft)	4h 0.55 c	0 0 Flowli US (ft 23.50	7.21 7.21 ta ne Ele DS c) (ft 23	18.31 18.32 	Shape ft)	7.87 7.87 ======= # Span (%) 1 0.00	0.000 0.000 Rise 2.00	Leng 280	0 0).00).00 	31.203 31.203 n_valu 0.01
MH-1 MH-2 OUT Convey ===== Run# (ft) 1 4 2 4	CircM Outli yance Co Node I. US I (ft) A-1 A A-2 M	4h 0.55 c	0 0 Flowli US (ft -23.50 23.44	7.21 7.21 ta ne Ele DS c) (ft 23 23	18.31 18.32 	Shape ft) Circ I	7.87 7.87 # Span (%) 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00	Leng 280 45	0 0 0 0 0 0 0 0 0 0 0).00).00 Slope 0.02 0.38	31.203 31.203
MH-1 MH-2 OUT Convey ===== Run# (ft) 1 4 2 4 3 N	CircM Out11 yance Co Node I. US I (ft) 	4h 0.55 c 0.55 c 0.55 c 0.55 c 0.55 c 0.5 c 0.55 c 0.	0 0 Flowli US (ft -23.50 23.44 23.35	7.21 7.21 ta ne Ele DS c) (ft 23 23 23 23	18.31 18.32 V. (1) (1) (1) (2) (2) (2) (2) (2) (2) (2) (2) (2) (2	Shape ft) Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00	Leng 280 45 40	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0).00).00 Slope 0.02 0.38 0.20	31.203 31.203
MH-1 MH-2 OUT Convey ===== Run# (ft) 1 4 2 4 3 N 4 4	CircM Out11 yance Co Node I. US I (ft) 	4h 0.55 c 0.55 c 0.55 c 0.55 c 0.5 c 0.55 c 0.5	0 0 Flowli US (ft -23.50 23.44 23.35 23.55	7.21 7.21 ta ne Ele DS c) (ft 23 23 23 23 23 23	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50	Leng 280 45 40 28	gth .00 .00 .00 .00).00).00 Slope 0.02 0.38 0.20 0.39	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4	CircM Out11 yance Co Node I. US I (ft) 	4h 0.55 c 0.55 c 0.55 c 0.55 c 0.55 c 0.5 c 0.55 c 0.	0 0 Flowli US (ft -23.50 23.44 23.35	7.21 7.21 ta ne Ele DS c) (ft 23 23 23 23 23 23	18.31 18.32 v. c) (1 .44 .27 .27 .44	Shape ft) Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50	Leng 280 45 40 28	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0).00).00 Slope 0.02 0.38 0.20	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01
MH-1 MH-2 OUT Convey E===== Run# (ft) 1 4 2 4 3 M 4 4 5 4	CircM Outl1 yance Co Node I. US ((ft) 	nh 0.55 onfigura onfigura D. DS A-2 MH-1 A-4 A-4 A-6	0 0 tion Da Flowli US (ft 23.50 23.44 23.35 23.55 23.27	7.21 7.21 ne Ele DS 2) (ft 23 23 23 23 23 23 22	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50	Leng 280 45 40 28 220	gth .00 .00 .00 .00).00).00 Slope 0.02 0.38 0.20 0.39 0.20	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 M 4 4 5 4 6 4	CircM Outl1 yance Co Node I. US I (ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A	0.55 onfigura onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55	7.21 7.21 ne Ele DS 2) (ft 23 23 23 23 23 22 23	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50	Leng 280 45 40 28 220 28	gth .00 .00 .00 .00 .00 .00 .00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) (ft) 4 2 4 3 4 4 4 4 4 4 4 7 4 4 4 4 4 4 4 4 4 7 4	CircM Outl1 yance Co Node I. US I (ft) A-1 A A-2 M MH-1 A A-3 A A-5 A A-6 A	0.55 onfigura onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83	7.21 7.21 ta ne Ele DS c) (ft 23 23 23 23 23 23 23 22 23 22	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50	Leng 280 45 40 28 220 28 30	oth 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.40	31.203 31.203
MH-1 MH-2 OUT Convey Run# (ft) (ft) 4 2 4 3 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	CircM Outl1 yance Co US I (ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M	nh 0.55 onfigura onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.55 22.83 22.71	7.21 7.21 ta ne Ele DS 23 23 23 23 23 23 23 23 22 23 22 23	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00	Leng 280 45 40 28 220 28 30 38	000 000 000 000 000 000 000 000 000 00).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.40 0.21	31.203 31.203
MH-1 MH-2 OUT Convey Run# (ft) I A J A	CircM Outl1 yance Co Node I. US I (ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M	0.55 onfigura onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83	7.21 7.21 ne Ele DS 23 23 23 23 23 23 23 23 22 23 22 23	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00	Leng 280 45 40 28 220 28 30 38	oth 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.40	31.203 31.203
MH-1 MH-2 OUT Convey Run# (ft) (ft) 4 2 4 3 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	CircM Outl1 yance Co US I (ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M	nh 0.55 onfigura onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.55 22.83 22.71	7.21 7.21 ne Ele DS 23 23 23 23 23 23 23 23 22 23 22 23	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ :	7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00	Leng 280 45 40 28 220 28 30 38	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.40 0.21	31.203 31.203
MH-1 MH-2 OUT Convey ====== Run# (ft) 1 4 2 4 3 M 4 4 5 4 6 4 7 4 8 4 9 M	CircM Outl1 	nh 0.55 c <	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83 22.71 20.25	7.21 7.21 ta ne Ele DS c) (ft 23 23 23 23 23 23 23 23 23 22 23 22 20 	18.31 18.32 	Shape ft) Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ : Circ :	7.87 7.87 7.87 (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00	Leng 280 45 40 28 220 28 30 38 30	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.40 0.21	31.203 31.203
MH-1 MH-2 OUT Convey ====== Run# (ft) 1 4 2 4 3 M 4 4 5 4 6 4 7 4 8 4 9 M	CircM Outl1 yance Co Node I. US I (ft) A-1 / A-2 M H-1 / A-2 M H-1 / A-3 / A-4 / A-5 / A-6 / A-7 M MH-2 C yance Hy	nh 0.55 onfigura onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83 22.71 20.25 	7.21 7.21 ne Ele DS 23 23 23 23 23 23 22 23 22 20 ations	18.31 18.32 18.32 	Shape ft) Circ : Circ :	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00	Leng 280 45 40 28 220 28 30 38 30 	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.40 0.21	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 M 4 4 5 4 6 4 7 4 8 4 9 M Convey	CircM Outl1 	nh 0.55 onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83 22.71 20.25 Comput ====================================	7.21 7.21 ne Ele DS 2) (ft 23 23 23 23 23 23 23 23 23 23 23 23 23	18.31 18.32 	Shape ft) Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 (ft) elocity	Leng 280 45 40 28 220 28 30 38 30 	gth .00 .00 .00 .00 .00 .00 .00 .00 .00 .0	0.00 0.00 slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.33	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) Run# (ft) Run# Convey Run#	CircM Outl1 	nh 0.55 onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr	7.21 7.21 ne Ele DS 23 23 23 23 23 23 23 22 23 22 20 ations 	18.31 18.32 18.32 20 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Shape ft) Circ : Circ :	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 (ft) elocity f. Actus	Leng 280 45 40 28 220 28 30 38 30 	c c c c c c c c c c c c c c c c c c c	0.00 0.00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.21 0.33	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 M 4 4 5 4 6 4 7 4 8 4 9 M Convey	CircM Outl1 	nh 0.55 onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr	7.21 7.21 ne Ele DS 2) (ft 23 23 23 23 23 23 23 23 23 23 23 23 23	18.31 18.32 18.32 20 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Shape ft) Circ : Circ :	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 (ft) elocity f. Actus	Leng 280 45 40 28 220 28 30 38 30 	c c c c c c c c c c c c c c c c c c c	0.00 0.00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.21 0.33	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) Run# (ft) Run# Convey Run#	CircM Outl1 	nh 0.55 onfigura	0 0 Flowli US (ft 23.50 23.44 23.35 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr	7.21 7.21 ne Ele DS 23 23 23 23 23 23 23 22 23 22 20 ations 	18.31 18.32 18.32 20 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Shape ft) Circ : Circ :	7.87 7.87 7.87 (%) 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 (ft) elocity f. Actus	Leng 280 45 40 28 220 28 30 38 30 	c c c c c c c c c c c c c c c c c c c	0.00 0.00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.21 0.33	31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 M 4 4 5 4 6 4 7 4 8 4 9 M Convey E==== Run# (ft)	CircM Outl1 	nh 0.55 onfigura onfigura	0 0 flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () (7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 23 22 23 22 20 ations .slope (ft) (18.31 18.32 18.32 	Shape ft) Circ : Circ :	7.87 7.87 7.87 (%) 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 (ft) elocity f. Actua) (cfs	Leng 280 45 40 28 220 28 30 38 30 38 30 	Q Q C C C C C C C C C C C C C C C C C C).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.21 0.21 0.21 0.21 0.22 0.39 0.20 0.21 0.22 0.39 0.20 0.21 0.20 0.39 0.20 0.21 0.20 0.20 0.39 0.20 0.21 0.20 0.20 0.38 0.20 0.20 0.39 0.20 0.21 0.20 0.20 0.39 0.20 0.21 0.20 0.20 0.39 0.20 0.21 0.21 0.21 0.21 0.21 0.21 0.21	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) Run# (ft) Convey Run# (ft) Convey Run#	CircM Out11 yance Co Node I. US I (ft) A-1 /A A-2 M H-1 /A A-3 /A A-4 /A A-5 /A A-6 /A A-7 M H-2 (yance Hy US Ele (ft) US Ele (ft)	nh 0.55 onfigura onfigura	0 0 flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () () ()	7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 23 22 20 ations 	18.31 18.32 19.5	shape ft) Circ : Circ :	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 (ft) elocity f. Actua) (cfs	Leng 280 45 40 28 220 28 30 38 30 	Q Q 7.20).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33 	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Convey Run# (ft) 	CircM Out11 	nh 0.55 onfigura onfigura	0 0 flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () () .74 0.	7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 23 23 23 22 20 ations 	18.31 18.32 18.32 18.32 	shape ft) Circ : Circ :	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 (ft) elocity f. Actua) (cfs 29 2.2 94 3.3	Leng 280 45 40 28 220 28 30 38 30 	Q Q C C C C C C C C C C C C C C C C C C).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.33 0.20 0.33 0.21 0.33 0.31 0.31 0.31 0.33 0.31 0.31 0.3	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Run# (ft) 	CircM Out11 yance Co Node I. US I (ft) A-1 / A-2 M H-1 / A-3 / A-4 / A-5 / A-6 / A-7 M H-2 (yance Hy us Ele (ft) 27.1 26.8 26.7	nh 0.55 onfigura onfigura	0 0 flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () (.87 0. .74 0. .63 0.	7.21 7.21 7.21 ta ne Ele DS 23 23 23 23 23 23 22 20 ations 	18.31 18.32 18.32 18.32	Shape ft) Circ Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 000 (ft elocity f. Actua) (cfs 29 2.2 30 3.4	Leng 280 45 40 28 220 28 30 38 30) (0 29 80 1 80 1	Q Q 1.93 1.93 1.93).00).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.33 0.21 0.31 0.21 0.33	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Run# (ft) 1 2 3 4	CircM Out11 yance Co Node I. US I (ft) A-1 / A-2 M H-1 / A-3 / A-4 / A-3 / A-4 / A-5 / A-6 / A-7 M HH-2 (yance Hy US Ele (ft) 26.8 26.7 26.6	ah 0.55 onfigura onfigura	0 0 flowli US (ft 23.50 23.44 23.55 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () .74 0. .63 0. .63 0.	7.21 7.21 7.21 ta ne Ele DS 23 23 23 23 23 22 23 22 20 ations 	18.31 18.32 18.32 18.32	shape ft) Circ Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00 0 0.00000000	0.000 0.000 Rise 2.00 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 000 (ft) elocity f. Actua) (cfs 29 2.3 30 3.0 3.0 3.0 3.0 3.0 3.0 3.0 3.0 3.	Leng 280 45 40 28 220 28 30 38 30) (0 29 80 1 80 1 01	Q Q 1.93 1.93 3.56).00).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.33 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.33 0.20 0.39 0.20 0.39 0.20 0.39 0.21 0.33 0.21 0.33 0.21 0.33 0.21 0.33 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.21 0.33 0.21 0.33 0.20 0.35 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.55 0.55 0.55 0.55 0.55 0.55 0.5	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Run# (ft) Convey Run# (ft) 	CircM Out11 yance Co Node I. US I (ft) A-1 / A-2 M H-1 / A-3 / A-4 / A-3 / A-4 / A-5 / A-6 / A-7 M HH-2 (yance Hy US Ele (ft) 26.8 26.7 26.6 26.6	ah 0.55 onfigura onfigura	0 0 flowli US (ft 23.50 23.44 23.35 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput ====== eline lev Fr () .74 0. .63 0. .63 0. .27 0.	7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 22 23 22 20 ations 	18.31 18.32 18.32 18.32	Shape ft) Circ Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 # Span (%) 1 0.00 1 0.00 0 0.000 0 0.000 0 0.00000000	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 000 (ft) elocity f. Actua) (cfs 29 2.3 30 3.0 3.0 3.0 3.0 3.0 3.0 3.0 3.0 3.	Leng 280 45 40 28 220 28 30 38 30) (0 29 80 1 80 1 01 40 1	Q Q Q 1.93 1.93 3.56 6.70).00).00).00).00 Slope 0.02 0.38 0.20 0.39 0.20 0.33 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.39 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.21 0.33 0.20 0.33 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.55 0.55 0.55 0.55 0.55 0.55 0.5	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Run# (ft) 1 2 3 4 5 6 4 5 6 4 5 6 7 7 4 5 7 7 7 7 7 7 7 7 7 7 7 7 8 9 8 7 7 7 7 7	CircM Out11 yance CC US I (ft) A-1 / A-2 M HH-1 / A-3 / A-4 / A-3 / A-4 / A-5 / A-6 / A-7 M HH-2 (C) US Ele (ft) US Ele (ft) 26.8 26.7 26.6 26.6 26.6	ah 0.55 onfigura onfigura	0 0 tion Da Flowli US (ft 23.50 23.44 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () .74 0. .63 0. .74 0. .63 0. .27 0. .27 0.	7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 22 20 ations 	18.31 18.32 18.32 18.32	Shape ft) Circ Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 7.87 7.87 7.87 7.87 7.87	0.000 0.000 Rise 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 000 (ft elocity f. Actua) (cfs 29 2.3 30 3.0 3.0 3.0 3.0 3.0 3.0 3.0 3.0 3.	Leng 280 45 40 28 220 28 30 38 30 29 80 1 80 1 01 40 1 23	Q Q C C C C C C C C C C C C C).00).00).00).00).00 slope 0.02 0.38 0.20 0.39 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.52 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.55 0.55 0.55 0.55 0.55 0.55 0.5	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Run# (ft) Convey Run# (ft) 	CircM Out11 yance Co Node I. US I (ft) A-1 / A-2 M H-1 / A-3 / A-4 / A-3 / A-4 / A-5 / A-6 / A-7 M HH-2 (yance Hy US Ele (ft) 26.8 26.7 26.6 26.6	ah 0.55 onfigura onfigura	0 0 tion Da Flowli US (ft 23.50 23.44 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () .74 0. .63 0. .74 0. .63 0. .27 0. .27 0.	7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 22 23 22 20 ations 	18.31 18.32 19.5 1	Shape ft) Circ Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 7.87 7.87 7.87 7.87 7.87	0.000 0.000 0.000 Rise 2.00 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 0.00 (ft) elocity f. Actual 0 (cfs) 29 2.2 24 3.4 80 3.4 80 2.4 23 3.4 50 5.5 20 5.5 2	Leng 280 45 40 28 220 28 30 38 30) (0 29 80 1 80 1 01 40 1 23 32 2	Q Q C C C C C C C C C C C C C).00).00).00).00).00 slope 0.02 0.38 0.20 0.39 0.20 0.33 0.20 0.35 0.20 0.39 0.20 0.52 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.55 0.55 0.55 0.55 0.55 0.55 0.5	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0
MH-1 MH-2 OUT Convey Run# (ft) 1 4 2 4 3 N 4 4 5 4 6 4 7 4 8 4 9 N Convey Run# (ft) 1 2 3 4 5 6 4 5 6 4 5 6 7 7 4 5 7 7 7 7 7 7 7 7 7 7 7 7 8 9 8 7 7 7 7 7	CircM Out11 yance CC US I (ft) A-1 / A-2 M HH-1 / A-3 / A-4 / A-3 / A-4 / A-5 / A-6 / A-7 M HH-2 (C) US Ele (ft) US Ele (ft) 26.8 26.7 26.6 26.6 26.6	ah 0.55 onfigura onfigura	0 0 tion Da Flowli US (ft 23.50 23.44 23.55 23.55 23.27 23.55 22.83 22.71 20.25 Comput eline lev Fr () .74 0. .63 0. .74 0. .63 0. .27 0. .27 0.	7.21 7.21 7.21 ne Ele DS 23 23 23 23 23 22 20 ations 	18.31 18.32 18.32 18.32	Shape ft) Circ Circ Circ Circ Circ Circ Circ Circ	7.87 7.87 7.87 7.87 7.87 7.87 7.87 7.87	0.000 0.000 0.000 Rise 2.00 2.00 2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 3.00 0.00 (ft) elocity f. Actual 0 (cfs) 29 2.2 24 3.4 80 3.4 80 2.4 23 3.4 50 5.5 20 5.5 2	Leng 280 45 40 28 220 28 30 38 30) (0 29 80 1 80 1 01 40 1 23 32 2	Q Q C C C C C C C C C C C C C).00).00).00).00).00 slope 0.02 0.38 0.20 0.39 0.20 0.33 0.20 0.33 0.20 0.33 0.20 0.52 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.20 0.53 0.55 0.55 0.55 0.55 0.55 0.55 0.5	31.203 31.203 31.203 n_valu 0.01 0.01 0.01 0.01 0.01 0.01 0.01 0.0

WinStorm (STORM DRAIN DESIGN)

Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:12:54 PM

(cfs)

0.000

0.000

0.000

0.000

0.000

0.000

0.000

0.000

Capacity Head Left Right

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area B 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

Runoff Computation for Design Frequency.

(acre) (min) (min) (in/hr)

B-8 0.55 0.67 15.00 15.00

Sag Inlets Configuration Data.

Sag Inlets Computation Data.

ID Type

в-1

в-2

в-3

в-4

B-5

в-6 в-7

в-3

в-2

в-3

в-4

B-5

в-6

в-7

в-8

мн-4 OUT

MH-3

0.55

0.55

0.55

0.55

0.55

0.55

0.55

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

0.63 15.00 15.00

1.88 15.00 15.00

1.31 15.00 15.00

0.88 15.00 15.00

1.85 15.00 15.00

1.52 15.00 15.00

0.52 15.00 15.00

ID C Value Area TC TC Used Intensity Supply Q Total Q

Inlet Inlet Length/ Grate Left-Slope Right-Slope Gutter Depth Critic ID Type Perim. Area Long Trans Long Trans n DeprW Allowed Elev.

B-1 Curb 3.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00 B-2 Curb 6.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00 Curb 4.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00

B-4 Curb 3.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00 B-5 Curb 6.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00

B-6 Curb 5.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00 B-7 Curb 2.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00 B-8 Curb 3.00 n/a 0.50 2.00 0.50 2.00 0.014 1.50 0.50 28.00

Inlet Inlet Length Grate Total Q Inlet Total Ponded Width

B-1 Curb 3.00 n/a n/a 2.151 4.635 0.300 8.00 8.00 B-2 Curb 6.00 n/a n/a 6.420 7.075 0.469 12.10 12.10 B-3 Curb 4.00 n/a n/a 4.474 5.448 0.438 10.55 10.55 B-4 Curb 3.00 n/a n/a 3.005 4.635 0.375 9.10 9.10 B-5 Curb 6.00 n/a n/a 6.318 7.075 0.464 12.00 12.00 B-6 Curb 5.00 n/a n/a 5.191 6.261 0.441 11.15 11.15 B-7 Curb 2.00 n/a n/a 1.776 3.822 0.300 7.45 7.45 B-8 Curb 3.00 n/a n/a 2.288 4.635 0.312 8.20 8.20

Node Node Weighted Cumulat. Cumulat. Intens. User Additional Total I.D. Type C-Value Dr.Area Tc Supply Q Q in Node Disch.

------B-1 Curb 0.550 0.63 15.00 6.21 0.000 0.00 2.151

6.19

6.19

6.21

6.20

6.21

6.21

6.17

6.04

0.00

6.04 0.000

0.000

0.000

0.000

0.000

0.000

0.000

0.000

0.000

0.000

Shape # Span Rise Length Slope n_value

24.44 circ 1 0.00 1.50 28.00 0.39 0.013

Perim Area

(ft) (ft) (sf) (cfs) (cfs) (ft) (ft) (ft)

(acres) (min) (in/hr) cfs) (cfs) (cfs)

1.31

Flowline Elev.

24.55

US DS

2.51 15.14

2.51 15.14

2.19 15.08

1.85 15.00

1.52 15.00

3.89 15.30

9.26 16.22

9.26 16.22

9.26 0.00

(ft) (ft) (ft) (%)

15.00

Cumulative Junction Discharge Computations

0.550

0.550

0.550

0.550

0.550

0.550

0.550

CircMh 0.550

CircMh 0.550

Outlt 0.550

Conveyance Configuration Data

Curb

Curb

Curb

Curb

Curb

Curb Curb

Run# Node I.D.

(ft) (ft)

US DS

в-1 в-2

(ft) (sf) (%) (%) (%) (ft) (ft) (ft)

(cfs)

6.21

6.21

6.21

6.21

6.21

6.21

6.21

6.21

OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years

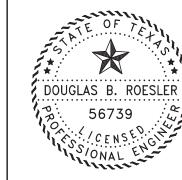
Runoff Computation for Analysis Frequency. ID C Value Area TC TC Used Intensity Supply Q Total Q (acre) (min) (min) (in/hr) (cfs) (cfs)

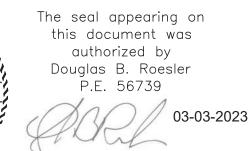
 	15.00 15.00	8.39 8.39	0.000	8.126 5.494	

NORMAL TERMINATION OF WINSTORM.

24.24 circ 1 0.00 2.00 100.00 0.20 0.013 в-2 мн-3 24.44 24.13 Circ 1 0.00 2.00 55.00 0.20 0.013 мн-3 в-8 24.24 в-3 в-4 24.44 Circ 1 0.00 1.50 18.00 0.33 0.013 24.50 24.20 Circ 1 0.00 2.00 120.00 0.20 0.013 в-4 в-8 24.44 24.38 Circ 1 0.00 2.00 60.00 0.20 0.013 в-5 в-7 24.50 в-6 в-7 24.50 24.44 circ 1 0.00 2.00 28.00 0.21 0.013 8 B-7 B-8 24.38 23.93 Circ 1 0.00 2.50 225.00 0.20 0.013 9 B-8 MH-4 23.93 23.63 Circ 1 0.00 3.00 130.00 0.23 0.013 MH-4 OUT 20.10 20.00 Circ 1 0.00 3.00 50.00 0.20 0.013 10 Conveyance Hydraulic Computations. Tailwater = 25.000 (ft) Hydraulic Gradeline Depth Velocity US Elev DS Elev Fr.Slope Unif. Actual Unif. Actual Run# (%) (ft) (ft) (f/s) (f/s) (cfs) (cfs) (ft) (ft) (ft) 26.49 0.042 0.59 1.50 3.32 1.22 2.15 6.58 0.000 26.50 26.35 0.143 26.49 1.44 2.00 3.54 2.72 8.54 10.12 0.000 1.44 2.00 3.54 2.72 8.54 10.12 0.000 26.35 26.27 0.143 0.96 1.50 3.74 2.53 4.47 6.07 0.000 26.43 26.40 0.181 26.40 1.28 2.00 3.51 2.38 7.47 10.12 0.000 26.27 0.109 26.46 0.078 1.16 2.00 3.36 2.01 6.32 10.12 0.000 26.51 26.46 0.053 1.00 2.00 3.30 1.65 5.19 10.47 0.000 26.47 26.27 0.103 1.56 2.34 4.09 2.76 13.20 18.35 0.000 26.46 25.43 0.213 2.34 2.34 5.20 5.20 30.78 32.05 0.000 26.27 25.11 25.00 0.213 2.63 3.00 4.69 4.35 30.78 29.83 0.000

N, INC JRVEYORS SUITE 1530 79) 849-6681





OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN: PROFILE: HORIZONTAL: VERTICAL:

2.151

6.420

4.474

3.005

6.318

5.191

1.776

2.288 _ _ _ _ _ _

8.544

8.544

4.474

7.465

6.318

5.191

Jund

Loss

Cap

13.195

0.00 30.780

0.00 30.780

0.00 0.000

0.00

0.00

0.00

0.00

0.00

0.00

0.00

OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years

		~		
Runott	Computation	tor	Analysis	Frequency.

ID (acre)	C Value (min)	Area (min)	Tc (ii	Tc Used n/hr)	Intensity (cfs)	Supply Q (cfs)	Total Q
в-1	0.55	0.63	15.00	15.00	8.39	0.000	2.909
в-2	0.55	1.88	15.00	15.00	8.39	0.000	8.680
в-3	0.55	1.31	15.00	15.00	8.39	0.000	6.048
в-4	0.55	0.88	15.00	15.00	8.39	0.000	4.063
в-5	0.55	1.85	15.00	15.00	8.39	0.000	8.542
в-6	0.55	1.52	15.00	15.00	8.39	0.000	7.018
в-7	0.55	0.52	15.00	15.00	8.39	0.000	2.401
в-8	0.55	0.67	15.00	15.00	8.39	0.000	3.094

Item 11.

Sag Inlets Configuration Data.

Inlet ID (ft)	Inlet Type (sf)	Length/ Perim. (%)	Grate Area (%)	Left-Slope Long Trans (%) (%)	Long	-Slope Trans (ft)	Gu n (ft)	utter DeprW (Depth Allowed	Critic Elev.
B-1 B-2 B-3 B-4 B-5 B-6 B-7 B-8	Curb Curb Curb Curb Curb Curb Curb Curb	3.00 9.00 6.00 4.00 9.00 7.00 3.00 3.00	n/a n/a n/a n/a n/a n/a n/a	$\begin{array}{cccccccc} 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \end{array}$	0.50 0.50 0.50 0.50 0.50 0.50 0.50 0.50	2.00 (2.00 (2.00 (2.00 (2.00 (2.00 (2.00 (2.00 (2.00 (2.00 ().014).014).014).014).014).014	1.50 1.50 1.50 1.50 1.50 1.50 1.50 1.50	0.50 0.50 0.50 0.50 0.50 0.50 0.50 0.50	28.00 28.00 28.00 28.00 28.00 28.00 28.00 28.00 28.00

Sag Inlets Computation Data.

Inlet ID (ft)	Inlet Type (ft)	Lengt		te Area (cfs)	Total Q (ft)	Inlet Capacity (ft)	Total Head (ft)	Ponded Left	Width Right
в-1	Curb	3.00	n/a	n/a	2.909	4.635	0.366	9.00	9.00
в-2	Curb	9.00	n/a	n/a	8.680	9.514	0.470	13.55	13.55
в-3	Curb	6.00	n/a	n/a	6.048	7.075	0.450	11.80	11.80
в-4	Curb	4.00	n/a	n/a	4.063	5.448	0.411	10.20	10.20
в-5	Curb	9.00	n/a	n/a	8.542	9.514	0.465	13.45	13.45
в-6	Curb	7.00	n/a	n/a	7.018	7.888	0.463	12.50	12.50
в-7	Curb	3.00	n/a	n/a	2.401	4.635	0.322	8.35	8.35
в-8	Curb	3.00	n/a	n/a	3.094	4.635	0.382	9.20	9.20

Cumulative Junction Discharge Computations

Node I.D. (acres)	туре С	Weighted C-Value D 1) (in/hr	r.Area	тс		User Supply Q (cfs)	Additional Q in Node	Total Disch.
в-1	Curb	0.550	0.63	15.00	8.39	0.000	0.00	2.909
в-2	Curb	0.550	2.51	15.13	8.37	0.000	0.00	11.558
мн-3	CircMh	0.550	2.51	15.13	8.37	0.000	0.00	11.558
B-3	Curb	0.550	1.31	15.00	8.39	0.000	0.00	6.048
B-4	Curb	0.550	2.19	15.08	8.38	0.000	0.00	10.096
B-5	Curb	0.550	1.85	15.00	8.39	0.000	0.00	8.542
в-6	Curb	0.550	1.52	15.00	8.39	0.000	0.00	7.018
в-7	Curb	0.550	3.89	15.28	8.35	0.000	0.00	17.858
в-8	Curb	0.550	9.26	16.18	8.20	0.000	0.00	41.754
MH-4	CircMh	0.550	9.26	16.18	8.20	0.000	0.00	41.754
OUT	Outlt	0.550	9.26	0.00	0.00	0.000	0.00	0.000

Conv	Conveyance Configuration Data											
 Run# (ft)	US	I.D. DS	Flowline US (ft)	Elev. DS (ft)	Shape # (ft) (Span (%)	Rise	Length	Slope	n_value		
1 2 3 4 5 6 7 8	B-1 B-2 MH-3 B-3 B-4 B-5 B-6 B-7	B-2 MH-3 B-8 B-4 B-8 B-7 B-7 B-7 B-8	24.55 24.44 24.24 24.50 24.44 24.50 24.50 24.50 24.38	24.44 24.24 24.13 24.44 24.20 24.38 24.44 23.93	Circ 1 Circ 1 Circ 1 Circ 1 Circ 1 Circ 1 Circ 1 Circ 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	1.50 2.00 2.00 1.50 2.00 2.00 2.00 2.50	28.00 100.00 55.00 18.00 120.00 60.00 28.00 225.00	0.39 0.20 0.20 0.33 0.20 0.20 0.21 0.20	$\begin{array}{c} 0.013 \\ 0.013 \\ 0.013 \\ 0.013 \\ 0.013 \\ 0.013 \\ 0.013 \\ 0.013 \\ 0.013 \end{array}$		
9 10	в-8 MH-4	MH-4 OUT	23.93 20.10	23.63 20.00	Circ 1 Circ 1	0.00	3.00 3.00	130.00 50.00	0.23 0.20	0.013 0.013		

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

=====	Hydraulic Gradeline US Elev DS Elev Fr.Slo				Depth Velocity e Unif. Actual Unif. Actual					Junc
(ft)	(ft)	(%)	(ft)	(ft)	(f/s)	(f/s)	(cfs)	Q (cfs)	Cap (ft)	Loss
1	27.36	27.33	0.077	0.70	1.50	3.58	1.65	2.91	6.58	0.000
2	27.33	27.07	0.261	2.00	2.00	3.68	3.68	11.56	10.12	0.000
3	27.07	26.93	0.261	2.00	2.00	3.68	3.68	11.56	10.12	0.000
4	27.23	27.17	0.331	1.22	1.50	3.93	3.42	6.05	6.07	0.000
5	27.17	26.93	0.199	1.63	2.00	3.69	3.21	10.10	10.12	0.000
6	27.44	27.36	0.143	1.44	2.00	3.53	2.72	8.54	10.12	0.000
7	27.38	27.36	0.096	1.19	2.00	3.61	2.23	7.02	10.47	0.000
8	27.36	26.93	0.189	2.03	2.50	4.18	3.64	17.86	18.35	0.000
9	26.93	26.20	0.392	3.00	3.00	5.91	5.91	41.75	32.05	0.000
10	26.20	26.00	0.392	3.00	3.00	5.91	5.91	41.75	29.83	0.000

NORMAL TERMINATION OF WINSTORM.

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

WINDSTORM DATA RUN A & B

138

PROJECT NO 14.396

WinStorm (STORM DRAIN DESIGN)

Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:19:37 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area C 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

> OUTPUT FOR DESIGN FREQUENCY of: 10 Years ______

	Runoff Computation for Design Frequency.
	C-10.551.2415.0015.006.210.0004.235C-20.550.4615.0015.006.210.0001.571C-30.550.5215.0015.006.210.0001.776C-40.550.3115.0015.006.210.0001.059C-50.550.6015.0015.006.210.0002.049C-60.550.5715.0015.006.210.0001.947C-70.550.8515.0015.006.210.0002.903C-80.551.3515.0015.006.210.0004.610C-90.550.5615.0015.006.210.0001.912C-100.550.7415.0015.006.210.0002.527C-110.550.7715.0015.006.210.0002.630
	Sag Inlets Configuration Data. ===================================
	ID Type Perim. Area Long Trans Long Trans n DeprW Allowed Elev. (ft) (sf) (%) (%) (%) (ft) (ft) (ft) C-1 Curb 4.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00
	C-2 Curb 2.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-3 Curb 2.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-4 Curb 2.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-4 Curb 2.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-5 Curb 3.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-6 Curb 2.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-7 Curb 3.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-7 Curb 3.00 n/a 0.50 2.00 0.014 1.50 0.50 28.00 C-8 Curb 4.00 n/a 0.50 2.00 0.50 2.00 0.50 2.8.00 C-9 Curb 2.00<
	Sag Inlets Computation Data. ===================================
	ID Type Perim Area Capacity Head Left Right (ft) (ft) (sf) (cfs) (cfs) (ft) (ft) (ft)
	C-1Curb4.00n/an/a4.2355.4480.42310.3510.35C-2Curb2.00n/an/a1.5713.8220.2767.157.15C-3Curb2.00n/an/a1.7763.8220.3007.457.45C-4Curb2.00n/an/a1.0593.8220.2126.156.15C-5Curb3.00n/an/a2.0494.6350.2907.907.90C-6Curb2.00n/an/a1.9473.8220.3197.707.70C-7Curb3.00n/an/a2.9034.6350.3668.958.95C-8Curb4.00n/an/a1.9123.8220.3157.657.65C-9Curb2.00n/an/a1.9123.8220.3157.657.65C-10Curb3.00n/an/a2.5274.6350.3438.508.50C-11Curb3.00n/an/a2.6304.6350.3438.658.65
	Cumulative Junction Discharge Computations
	Node Node Weighted Cumulat. Cumulat. Intens. User Additional Total I.D. Type C-Value Dr.Area Tc Supply Q Q in Node Disch. (acres) (min) (in/hr) cfs) (cfs) (cfs) C-1 Curb 0.550 1.24 15.00 6.21 0.000 0.00 4.235 C-2 Curb 0.550 1.70 15.49 6.14 0.000 0.00 5.742 C-3 Curb 0.550 2.22 15.63 6.12 0.000 0.00 7.475
	C-4Curb0.5500.3115.006.210.0000.001.059C-5Curb0.5503.1316.556.000.0000.0010.328C-6Curb0.5500.5715.006.210.0000.001.947C-7Curb0.5504.5516.965.950.0000.0014.883C-8Curb0.5501.3515.006.210.0000.004.610C-9Curb0.5501.9115.156.190.0000.002.527C-10Curb0.5507.9718.215.790.0000.0025.396MH-5CirCMh0.5507.9718.215.790.0000.0025.396OUTOutlt0.5507.9718.215.790.0000.0025.396
	Conveyance Configuration Data ===================================
	US DS US DS Shape # Span Rise Length Slope n_value (ft) (ft) (ft) (ft) (ft) (%) 1 C-1 C-2 23.00 22.82 Circ 1 0.00 2.00 90.00 0.20 0.013
	2 C-2 C-3 23.50 23.44 Circ 1 0.00 2.00 28.00 0.21 0.013 3 C-3 C-5 22.82 22.43 Circ 1 0.00 2.00 195.00 0.20 0.013 4 C-4 C-5 23.60 23.44 Circ 1 0.00 1.50 28.00 0.57 0.013 5 C-5 C-7 22.43 22.24 Circ 1 0.00 2.50 95.00 0.20 0.013 6 C-6 C-7 23.55 23.44 Circ 1 0.00 1.50 28.00 0.39 0.013 7 C-7 C-11 22.24 21.61 Circ 1 0.00 3.00 315.00 0.20 0.013 8 C-8 C-9 23.00 22.94 Circ 1 0.00 1.50 28.00 0.21 0.013 9 C-9 C-11 22.94 22.42 Circ 1 0.00 2.00 260.00 0.20 0.013 10 C-10 C-11 23.55 23.44
	Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)
	Hydraulic Gradeline Depth Velocity Junc Run# US Elev DS Elev Fr.Slope Unif. Actual Unif. Actual Q Cap Loss (ft) (ft) (%) (ft) (ft) (f/s) (cfs) (cfs) (ft)
	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
	9 25.48 25.27 0.083 1.16 2.00 3.45 2.07 6.50 10.12 0.000 10 25.28 25.27 0.058 0.64 1.50 3.48 1.43 2.53 6.58 0.000 11 25.27 25.07 0.145 2.16 3.00 4.67 3.59 25.40 29.83 0.000 12 25.07 25.00 0.145 2.16 3.00 4.67 3.59 25.40 29.83 0.000
	DESIGNED DR
	DRAWN BT
DATE	DESCRIPTION APPROVED CHECKED

(acre)	C Value (min)			rc ٦ (in/	「c Used hr)	I (cf	ntensit s)	ty : (cf	Supply s)	Q	Total	Q
C-1	0.55	1.2		.00	15.00		8.39		0.000)	5.7	25
C-2 C-3	0.55 0.55	0.4 0.5		.00 .00	15.00 15.00		8.39 8.39		0.000		2.1 2.4	
c-4	0.55	0.3			15.00		8.39		0.000		1.4	
C-5	0.55	0.6	0 15.	.00	15.00		8.39		0.000)	2.7	
C-6 C-7	0.55 0.55	0.5 0.8		.00 .00	15.00 15.00		8.39 8.39		0.000		2.6	
c-7 c-8	0.55	1.3		.00	15.00		8.39		0.000		6.2	
c-9	0.55	0.5	6 15.	.00	15.00		8.39		0.000)	2.5	86
C-10 C-11	0.55 0.55	0.7 0.7		.00	15.00 15.00		8.39 8.39		0.000		3.4	
			/ <u></u>								J.J	
======	lets Con		=======									
ID ID		_ength/ Perim.	Grate Area		Slope Frans	-			tter Denrw	Dep Allo		Critic Elev
(ft)	(sf)				%) 		ft)	(ft)		(ft)		
2-1	Curb	5.00	n/a	0.50 2		0.50	2.00 (1.50		50	28.00
C-2 C-3	Curb Curb	3.00 3.00	n/a n/a	0.50 2		0.50 0.50	2.00 (1.50 1.50		. 50 . 50	28.00 28.00
c-4	Curb	2.00	n/a	0.50 2	2.00	0.50	2.00 (0.014	1.50	0.	50	28.00
C-5	Curb	3.00	n/a	0.50 2		0.50	2.00 (1.50		50	28.00
C-6 C-7	Curb Curb	3.00 4.00	n/a n/a	0.50 2		0.50 0.50	2.00 (1.50 1.50		. 50 . 50	28.00 28.00
2-8	Curb	6.00	n/a	0.50 2	2.00	0.50	2.00 0	0.014	1.50	0.	50	28.00
c-9	Curb	3.00	n/a	0.50 2	2.00	0.50	2.00 (0.014	1.50	0.	50	28.00
C-10 C-11	Curb Curb 	4.00 4.00	n/a n/a	0.50 2		0.50 0.50	2.00 (1.50 1.50		. 50 . 50	28.00 28.00
-	lets Com	•										
===== Enlet ID	Inlet Type	Length	Gra		Tota	1 Q	Inlet apacity	TO	tal	Pondec Left	d widt	:h
(ft)	(ft) ((sf) (5.00	(cfs)	(cfs)) (ft)	(ft)	(ft)			
C-1 C-2	Curb Curb	3.00	n/a n/a	n/a n/a	5.7 2.1		6.261 4.635		471 297	11.60 8.00	11. 8.	00
c-3	Curb	3.00	n/a	n/a	2.4	01	4.635	0.	322	8.35	8.	35
C-4	Curb	2.00	n/a	n/a	1.4		3.822		260	6.90		90
C-5 C-6	Curb Curb	3.00 3.00	n/a n/a	n/a n/a	2.7 2.6		4.635 4.635		355 343	8.80 8.65		80 65
c-7	Curb	4.00	n/a		3.9		5.448		402	10.05	10.	
2-8	Curb	6.00	n/a		6.2		7.075		460	11.95	11.	
C-9 C-10	Curb Curb	3.00 4.00	n/a n/a		2.5 3.4	86 17	4.635 5.448		339 366	8.60 9.55	8. 9.	
2-11	Curb	4.00	n/a				5.448		376			70
Cumula	tive lur				outatio							
		nction D										
	Node Type (d Cumu Dr.A	ulat. (rea	umulat Tc	. Int	ens. S	User upply	Ac	lditior in No	nal	Total Disch.
Node L.D. (acres C-1	Node Type () (min Curb	Weighte C-Value n) (ir 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24	Cumulat Tc 15.00	. Int (cfs) 8	ens. S . 39	User upply (cfs) 0.000	Ac Q Q	lditior in Noo 	nal de 	Total Disch. 5.725
Node I.D. (acres) C-1 C-2	Node Type () (min Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70	Cumulat Tc	. Int (cfs) 8 8	ens. S . 39 . 32	User upply (cfs)	Ac Q Q	lditior in Noo	nal de)0)0	Total Disch. 5.725 7.779
Node L.D. (acres C-1 C-2 C-3 C-4	Node Type () (min Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22).31	Cumulat Tc 15.00 15.44 15.57 15.00	. Int (cfs) 8 8 8 8 8	ens. 	User upply (cfs) 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Noc 0.0 0.0 0.0 0.0	nal de)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431
====== Node I.D. (acres C-1 C-2 C-3 C-3 C-4 C-5	Node Type () (min Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13	Cumulat Tc 15.00 15.44 15.57 15.00 16.45	. Int (cfs) 8 8 8 8 8 8 8 8 8	ens. 	User upply (cfs) 0.000 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Not 0.0 0.0 0.0 0.0 0.0	nal de 00 00 00 00 00	Total Disch. 5.725 7.779 10.132 1.431 14.039
Node L.D. (acres) 	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. S .39 .32 .30 .39 .15 .39	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Not 0.0 0.0 0.0 0.0 0.0 0.0	nal de 00 00 00 00 00 00	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632
Node L.D. (acres) 	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. .39 .32 .30 .39 .15 .39 .09 .39	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	nal de 00 00 00 00 00 00 00 00	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233
Node L.D. (acres) 	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A h/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. .39 .32 .30 .39 .15 .39 .09 .39 .39 .39 .39 .39 .39 .37	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795
Node L.D. (acres) 	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.35 1.91 0.74	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. .39 .32 .30 .39 .15 .39 .09 .39 .39 .39 .39 .39 .39 .39 .3	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417
Node L.D. Cacres C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 MH-5	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00	. Int (cfs) 88 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7 7	ens. .39 .32 .30 .15 .39 .09 .39 .37 .39 .91 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	ldition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00	. Int (cfs) 88 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7 7	ens. .39 .32 .30 .39 .15 .39 .09 .39 .37 .39 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	lditior in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694
Node L.D. (acres) C-1 C-2 C-3 C-4 C C C	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 7 7 7 7	ens. .39 .32 .30 .15 .39 .09 .37 .39 .91 .91 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	dition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 MH-5 DUT Convey ======= Run#	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 ta ta	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 7 7 7 7	ens. .39 .32 .30 .39 .15 .39 .09 .39 .91 .91 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	dition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 MH-5 DUT Convey Run# (ft)	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A h/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 ta ta	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7 7 7 7 7	span (%)	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q 	dition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	na 1 de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694 34.694
Node L.D. Cacres C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 MH-5 DUT Convey Run# (ft) L C	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A n/hr)	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 ta be Elev DS 0 (ft)	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00 18.00 18.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7 7 7 7 7	span (%) (%) (%) (%) (%) (%) (%) (%) (%) (%)	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q 	dition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 H-5 DUT Convey Run# (ft) Convey	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550	d Cumu Dr.A h/hr) 1 2 ((2 (2 (2 (2 (2 (2 (2 (2 (ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 19.14 19.00 19.00 10.00 10.00 10.00 10.00 10.00 10.00 10.00 10.00 10.00 10.00 1	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	span (%) (%) (%) (%) (%) (%) (%) (%) (%) (%)	User upply (cfs) 0.0000 0.0000 0.0000 0.000000	Ac Q Q Leng 90 28 195	dition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 36.69436.694 36.695636
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 H-5 DUT Convey Run# (ft) Convey Co	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cumu Dr.A h/hr) 1 2 ((2 (2 (2 (2 (2 (2 (2 (2 (ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 19.14 19.00 19.00 19.14 19.00 10.00 10.00 10.00 10.00 10.00 10.00 1	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	span (%) span (%) span (%) span (%)	User upply (cfs) 0.0000 0.0000 0.000000	Ac Q Q Leng 90 28 195 28	dition in Not 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 36.694 36.
Node I.D. (acres) (acre	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550	d Cumu Dr.A h/hr) 1 2 ((2 (2 (2 (2 (2 (2 (2 (2 (ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 10.00 1	<pre>. Int (cfs)</pre>	span (%) Span (%) Span (%) Span (%) Span (%) Span (%)	User upply (cfs) 0.0000 0.0000 0.0000 0.000000	Ac Q Q 	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de 00 00 00 00 00 00 00 00 00 00 00 00 00	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 36.013 0.013 0.013 0.013
Node I.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-11 MH-5 DUT Convey Run# (ft) C <	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550	d Cumu Dr.A h/hr) 1 2 ((2 (2 (2 (2 (2 (2 (2 (2 (ulat. (rea cfs) 24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.35 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 10.00 1	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	span (%) span (%) span (%) span (%) span (%) span (%) span (%)	User upply (cfs) 0.0000 0.0000 0.000000	Ac Q Q 	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 30.013 0.013 0.013 0.013 0.013 0.013
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-7 C-8 C-7 C-8 C-7 C-11 MH-5 DUT Convey Run# (ft) Convey Con	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0	d Cumu Dr.A h/hr) ion Dat flowlir US (ft) 23.00 23.50 22.82 23.60 22.43 23.55 22.24 23.00	ulat. (rea cfs) 	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 16.83 15.00 18.00 10.00 1	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	span (%) Spa	User upply (cfs) 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.00000 0.0000 0.0000 0.00000000	Ac Q Q Leng 28 195 28 95 28 315 28 315 28	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 30.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013
Image: Second state sta	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0	d Cumu Dr.A h/hr) ion Dat flowlir US (ft) 23.00 23.50 22.82 23.60 22.43 23.55 22.24 23.00 22.94	ulat. (rea cfs) 	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 16.83 15.00 18.00 1	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	span (%) Spa	User upply (cfs) 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.000000 0.0000 0.00000	Ac Q Q Leng 28 195 28 95 28 315 28 315 28 260	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	hal de)0)0)0)0)0)0)0)0)0)0)0)0)0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 30.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013
Image: Second state sta	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0	d Cumu Dr.A h/hr) ion Dat flowlin US (ft) 23.00 23.50 22.82 23.60 22.43 23.55 22.24 23.00 22.94 23.55	ulat. (rea cfs) 	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 16.83 15.00 18.00 1	. Int. (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	span (%) Spa	User upply (cfs) 0.0000 0.0000 0.0000 0.000000	Ac Q Q 	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 30.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013
Node I.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 MH-5 DUT Convey Run# (ft) Convey Run# (ft) Convey	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0	d Cumu Dr.A h/hr) ion Dat flowlir US (ft) 23.00 23.50 22.82 23.60 22.43 23.55 22.24 23.00 22.94	ulat. (rea cfs) 	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 16.83 15.00 18.00 10.00 10.00 10.00 10.00 10.00 10.00 1	. Int. (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7	span (%) Spa	User upply (cfs) 0.0000 0.0000 0.0000 0.000000	Ac Q Q Leng 195 28 315 28 315 28 315 28 260 28 315 315 28 315 315 28 315 28 315 28 315 315 315 315 315 315 315 315 315 315	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	nal de	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 30.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013
Image: Constraint of the second state of the second sta	Node Type () (min Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0	d Cumu Dr.A h/hr) ion Dat flowlin US (ft) 23.00 23.50 22.82 23.60 22.43 23.55 22.24 23.00 22.94 23.55 22.24 23.00	ulat. (rea cfs) .24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.35 1.35 1.35 1.35 1.35 1.35 1	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 16.83 15.00 18.00 10.00 10.00 10.00 10.00 10.00 10.00 1	. Int. (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7	span (%) Spa	User upply (cfs) 0.0000 0.0000 0.0000 0.000000	Ac Q Q Leng 195 28 315 28 315 28 315 28 260 28 315 315 28 315 315 28 315 28 315 28 315 315 315 315 315 315 315 315 315 315	dition in No 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	hal de 	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 30.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013

Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)										
 Run# (ft)	Hydraulic US Elev (ft)			pe Unif.				Q (cfs)	Cap (ft)	Junc Loss
1	27.38	27.33	0.064	1.06	2.00	3.38	1.82	5.73	10.12	0.000
2 3	27.33 27.29	27.29 26.90	0.118 0.201	1.28 1.63	2.00 2.00	3.66 3.71	2.48 3.23	7.78 10.13	10.47 10.12	0.000
4* 5	26.91	26.90	0.019	0.43	1.50	3.41	0.81	1.43	7.94	0.000
5 6	26.90 26.81	26.79 26.79	0.117 0.063	1.64 0.66	2.50 1.50	4.11 3.54	2.86 1.49	14.04 2.63	18.35 6.58	0.000 0.000
7	26.79 26.99	26.50 26.89	0.092	$1.83 \\ 1.50$	3.00 1.50	4.49 3.53	2.87 3.53	20.25	29.83 4.86	0.000
8 9	26.99	26.89	0.352	1.50	2.00	3.64	2.80	6.23 8.80	4.86	0.000 0.000
10 11	26.53 26.50	26.50 26.14	0.106 0.270	0.76 3.00	1.50 3.00	3.79 4.91	1.93 4.91	3.42 34.69	6.58 29.83	0.000
12	26.14	26.00	0.270	3.00	3.00	4.91	4.91	34.69	29.83	0.000

NORMAL TERMINATION OF WINSTORM.

OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 '10/ 03-03-2023 , WinStorm (STORM DRAIN DESIGN)

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 &4 JOB NUMBER : 14396 PROJECT DESCRIPTION : D.A. D 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

ID	C Value	e Area (acr		-	Tc Use (min)	d	Intensi (in/hr		Supply (cfs)		Tota (cfs	•
D-1 D-2 D-3	0.6 0.6 0.35	1.69 1.72 0.50	2 15.	00	15.00 15.00 15.00		6.21 6.21 6.21		0.000 0.000 0.000)	6.2 6.4 1.2	108
Sag Ir	nlets Con	nfigurat [.]	ion Dat	a.								
Inlet ID	Туре			===== Left- Long (%)		-	====== t-Slope Trans (%)		====== itter DeprW (ft)	A]	====== epth lowed ft)	Criti Elev (ft)
D-1 D-2 D-3	Curb Curb Grate		n/a	0.50	2.00	0.50 0.50 0.50	2.00	0.014 0.014 0.014	1.50 1.50 n/a	().50).50).50).50	28.0 28.0 28.0
Sag Ir	nlets Cor	nputatio	n Data.									
Inlet ID	Inlet Type	Length (ft)		te Area (sf)			Inlet Capacit (cfs)	су не		Ponde Left (ft)		nt
D-1 D-2 D-3	Curb Curb Grate	6.00 6.00 n/a	n/a n/a 7.34	n/a n/a 3.74	6.4	296 408 217	7.075 7.075 8.011	0		12.00 12.10 6.50) 12.	
Cumula	ative Ju	nction D [.]	ischarg	e Com	outati	ons						
Node I.D.	Node Type	Weighted C-Value	d Cumu Dr.A (acr	rea	Cumula Tc (min)			User Supply cfs	v Q Q	ditic in N (cfs	lode	Total Disch (cfs)
D-1 D-2 D-3 OUT	Curb Curb Grate Outlt	0.600 0.600 0.565 0.565	3	.41	15.00 15.15 15.88 15.88		6.21 6.19 6.09 6.09	0.000)	0.	. 00 . 00 . 00 . 00	6.296 12.661 13.651 13.651
Convey	vance Co	nfigurat	ion Dat	a								
=====). I		e Elev DS	v. S		# Spar	n Rise		jth s	Slope	
2 C	D-1 D- D-2 D- D-3 OU	-2 -3 JT	19.78 19.74 19.57	19 19 19	.74 (.57 (.18 (Circ Circ Circ	1 0.00 1 0.00 1 0.00	2.50 2.50 2.50) 27) 140) 326	.00 .00 .00	0.15 0.12 0.12	0.01 0.01 0.01
		draulic (
	Hydraul US Elev	ic Grade V DS Ele	line ev Fr.	slope	Dep Unif.	th Actu	۲ al Uni	/eloci f. Act	ty cual	Q	Сар	Jun Los
Kull#	(ft)	(ft)	(%)	(Tt)	(Tt)	(Γ)	(s) (Γ/S (CTS)	(CTS)) (ft

OWNER:

RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:__ PROFILE: HORIZONTAL: VERTICAL:

OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years _____

Runoff Computation for Analysis Frequency.

ID	C Valı			Tc in)	Tc Used (min)		ntensit (in/hr)		Supply (cfs)		Tota (cf:	
D-1 D-2 D-3	0.6 0.6 0.35	1.6 1.7 0.5	2 15	.00 .00 .00	15.00 15.00 15.00		8.39 8.39 8.39		0.000)	8.9 8.0 1.0	663
Sag	Inlets Co	onfigurat	ion Da	ta.								
Inle ID	t Inlet Type	Length/ Perim. (ft)		Long	Trans	Long			tter DeprW (ft)	A	epth llowed (ft)	Criti Elev (ft)
D-1 D-2 D-3	Curb	9.00 9.00 7.34	n/a n/a 3.74	0.50		0.50	2.00 0 2.00 0 2.00 0	.014	1.50		0.50 0.50 0.50	28.0 28.0 28.0
	Inlets Co											
Inle ID	t Inlet Type	Length (ft)	Gr Gr	ate m Area (sf)	Tota a	1 Q c	Inlet Inlet apacity (cfs)	To He	====== tal ad t)		led Widt t Rigl	th ht
D-1 D-2 D-3	Curb Curb Grate	9.00 9.00 n/a	n/a n/a 7.34		a 8.6	63	9.514 9.514 8.011	0.	470	13.4 13.5 7.2	5 13	. 45 . 55 . 25
	lative Ju											
	Node		ed Cum Dr., (ac	ulat. Area res)	Cumulat Tc (min)	. Int	ens.	User upply	Q C) in	onal Node Fs)	Disch
==== Node	Node Type Curb Curb	Weighte C-Value 0.600 0.600 0.555	ed Cum e Dr., (ac	ulat. Area	Cumulat Tc (min) 15.00 15.14	 (in 8 8 8 8	ens. 5 /hr) .39 .37 .26	User upply	Q ((cf (cf (((((Node	Disch (cfs) 8.512 17.127 18.516
==== Node I.D. D-1 D-2 D-3 OUT	Node Type Curb Curb Grate Outli	Weighte C-Value 0.600 0.600 0.600 0.565	ed Cum Dr., (ac	ulat. Area res) 1.69 3.41 3.97 3.97	Cumulat Tc (min) 15.00 15.14 15.81	 (in 8 8 8 8	ens. 5 /hr) .39 .37 .26	User upply cfs) 0.000 0.000 0.000	Q ((cf (cf (((((Node Fs) 	Disch (cfs) 8.512 17.127 18.516
==== Node I.D. D-1 D-2 D-3 OUT	Node Type Curb Curb Grate Outli eyance Co	Weighte C-Value 0.600 0.600 0.565 0.565	ed Cum Dr., (ac	ulat. Area res) 1.69 3.41 3.97 3.97 ta	Cumulat Tc (min) 15.00 15.14 15.81 15.81	 (in 8 8 8 8	ens. S /hr) .39 .37 .26 .26 	User upply cfs) 0.000 0.000 0.000 0.000 Rise	Q (<pre>> in (c1</pre>	Node Fs) 	Disch (cfs) 8.512 17.127 18.516 18.516
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==== Node I.D. D-1 D-2 D-3 OUT Run# 1 2 3 	Node Type Curb Curb Grate Outl eyance Co US I D-1 [D-2 [D-3 C	Weighte C-Value 0.600 0.600 0.565 t 0.565 t 0.565 t 0.565 t 0.565	ed Cum Dr., (ac)) :ion Da Flowli US (ft) 19.78 19.74 19.57	ulat. Area res) 1.69 3.41 3.97 3.97 ta me Ele DS (ft) 19 19	Cumulat TC (min) 15.00 15.14 15.81 15.81 20.81 2	===== . Int (in 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. /hr) .39 .37 .26 .26 .26 .26 	User upply cfs) 0.000 0.000 0.000 0.000 0.000 Rise (ft) 2.50 2.50 2.50	Q C	<pre>> in (cf (cf (c) (c) (c) (c) (c) (c) (c) (c) (c) (c)</pre>	Node fs) 0.00 0.00 0.00 0.00 Slope (%) 0.15 0.12	Total Disch (cfs) 8.512 17.127 18.516 18.516 18.516
==== Node I.D. D-1 D-2 D-3 OUT Run# 1 2 3 Conv	Node Type Curb Curb Grate Outli eyance Co US I D-1 [D-2 [D-3 C eyance Hy eyance Hy	Weighte C-Value 0.600 0.600 0.565 0.	ed Cum Dr., (ac)Dr., (ac Dr., (ac)Dr.,	ulat. Area res) 1.69 3.41 3.97 3.97 ta me Ele DS (ft) 19 19 19 19	Cumulat TC (min) 15.00 15.14 15.81 15.81 15.81 20.74 20.75 2	===== . Int (in 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. S /hr) .39 .37 .26 .26 .26 .26 .26 .26 .26 .26	User upply cfs) 0.000 0.000 0.000 0.000 0.000 Rise (ft) 2.50 2.50 2.50 2.50 (ff ===== locit	Q C 	<pre>> in (cf (cf (c) (c) (c) (c) (c) (c) (c) (c) (c) (c)</pre>	Node fs)).00).00).00).00).00).00).00).	Disch (cfs) 8.512 17.127 18.516 18.516

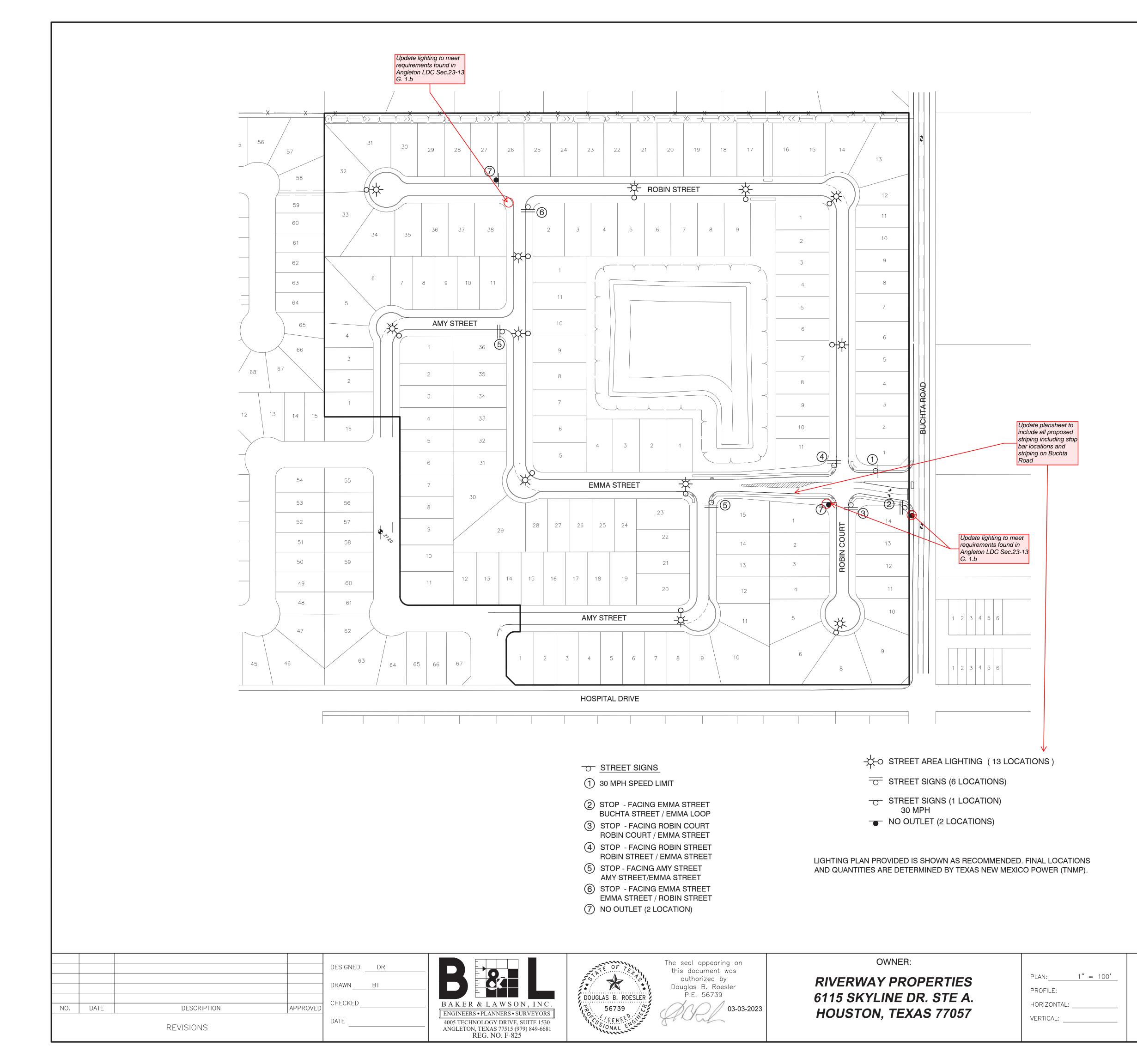
NORMAL TERMINATION OF WINSTORM.

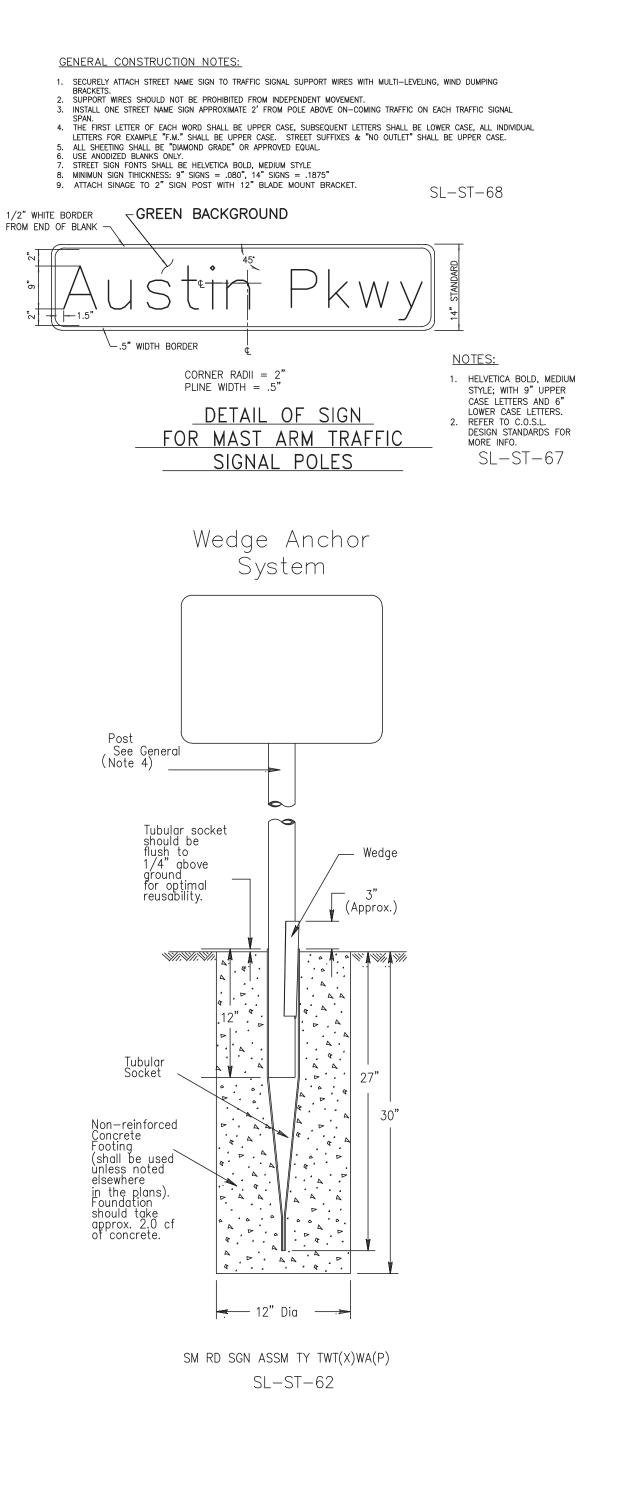
RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

WINDSTORM DATA RUN C & D

27 8

Item 11.



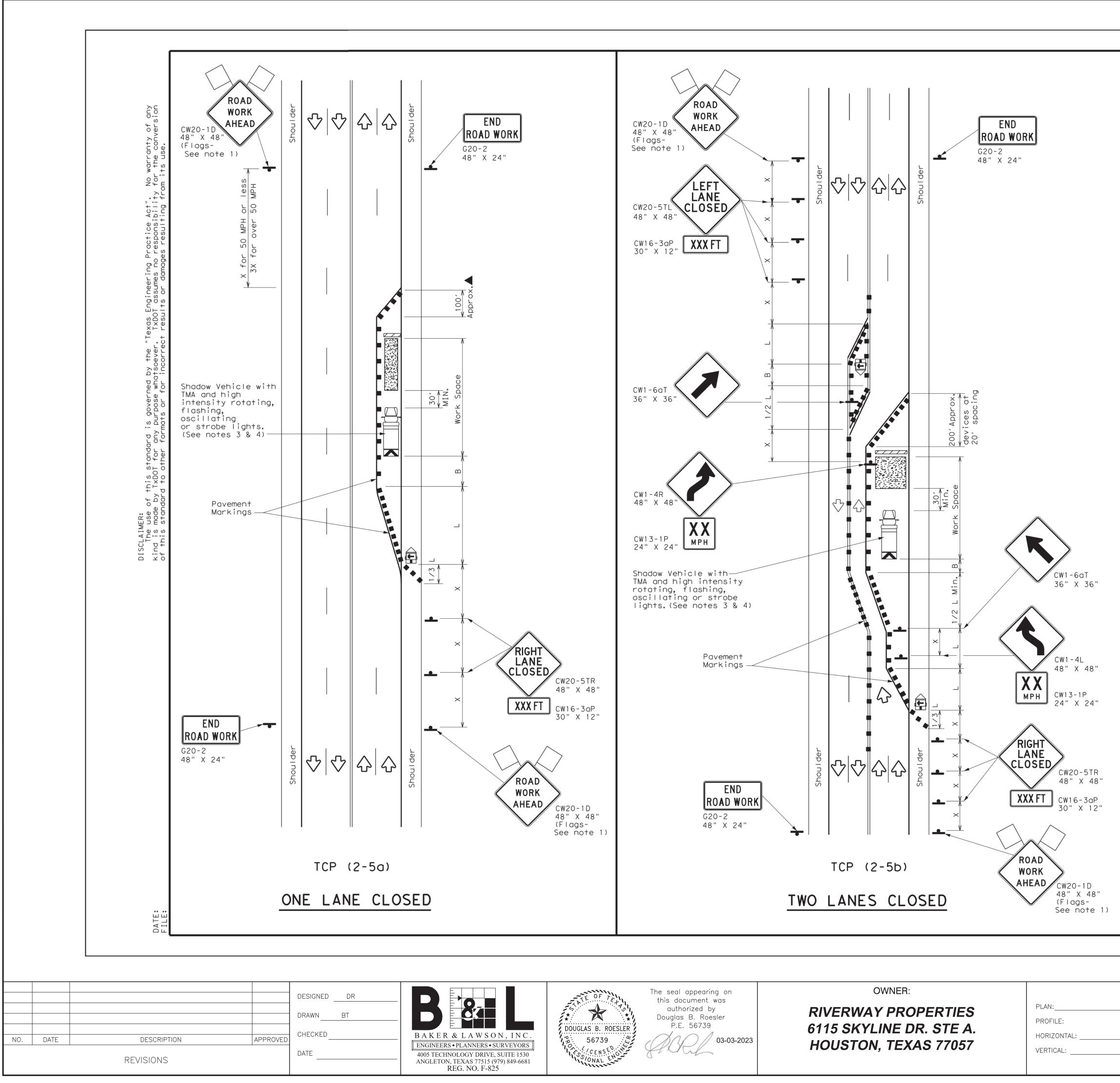


ltem 11.

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

PAVING MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT

2



PLAN:	
PROFILE:	
HORIZONTAL:	
VERTICAL:	

Г				LE	GEND)				
Z		Туре З	Barri				Chann	elizing	Devices	- I
		Heavy Work Vehicle			<u> </u>	Tr		Truck Mounted		- 1
Ľ								Attenuator (TMA) Portable Changeab		- I
		Trailer Mounted Flashing Arrow Board		ord	M		ige Sign		- I	
	•	Sign				\Diamond	Traff	ic Flow		- I
Γ	\bigtriangledown	Flag					Flagg	jer		- 1
	1		Minimu	m	Sugges	stod l	Maximum			- I
sted	Formul	D	esirab er Len	le	Spo	neli:	of	Minimum Sign	Suggested	- I
eed X			* *		0)evic	es	Spacing "X"	Longitudinal Buffer Space "B"	- I
~		10' Offset	11' Offset	12' Offset	On c Tape		On a angent	Distance	В	- I
50	- ws	2 150'	165′	180′	30		60′	120′	90′	- I
35 10	$L = \frac{WS}{60}$	- 205′ 265′	225′ 295′	245' 320'	35 [°] 40		70' 80'	160' 240'	120' 155'	- I
5		450'	495'	540'	40		90'	320'	195'	- I
50	1	500'	550'	600'	50		100'	400'	240'	
5	L=WS		605′	660′	55		110′	500′	295′	
5	-	600′	660'	720' 780'	60 ⁻		120' 130'	600′ 700′	350' 410'	
5 0	1	650' 700'		840'	70 [°]		140'	800'	410	
'5		750'			75		150'	900 <i>′</i>	540'	
L=L	ength (of Taper	r(FT)	W=Widt				S=Poste	d Speed(MPH)	
MOF	BILE	SHOR		SHORT	TERM	IN	ITERMEDI		LONG TERM	
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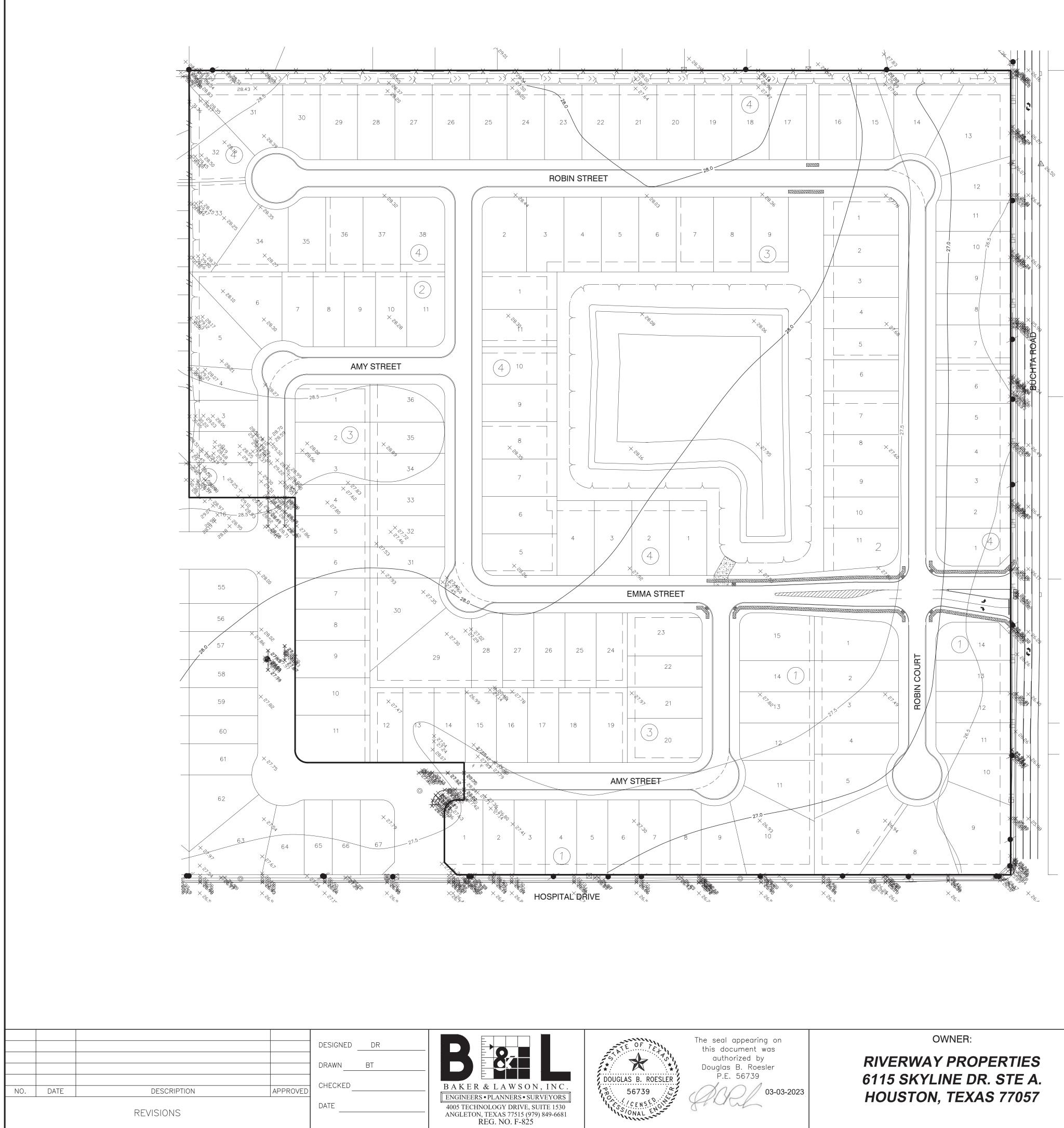
RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

TRAFFI	C CONTROI
	PLAN
TCP	(1-1)-18

PROJECT NO. 14396

25 1%

ltem 11.



PLAN: 1" = 80' PROFILE: HORIZONTAL: VERTICAL:

TREE	LEGEND
\bigcirc	HERITAGE TREE (PECAN & LIVE OAK)
\odot	SIGNIFICANT TREE (OAK & ELM)
¢	PROP CREPE MYRTLE
Q	PROP OAK TREE

<u>SITE TREE SUMMARY</u>

TOTAL NUMBER OF HERITAGE TREES = 0 TOTAL CALIPER OF HERITAGE TREES = 0 IN HERITAGE TREES TO BE REMOVED* = 0 CALIPER OF REMOVED HERITAGE TREES = 0 IN

HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 0CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 0 IN

REQUIRED REPLACEMENT CALIPER = N/AREQUIRED REPLACEMENT TREES (3"-CALIPER OAK TREES)= 0 TREES PER SECTION 23-60.H.7 OF THE ANGLETON LDC, THE HOMEOWNER WILL PROVIDE TWO TREES PER LOT IN ADDITION TO THE REQUIRED REPLACEMENT CALIPER.

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

HERITAGE TREE PRESERVATION PLAN Item 11.

				DESIGNED DR	
				DRAWN BT	BAKER & LAWSON, I
NO.	DATE	DESCRIPTION	APPROVED	DATE	4005 TECHNOLOGY DRIVE, SUITE ANGLETON, TEXAS 77515 (979) 849 REG. NO. F-825





The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 OWNER:

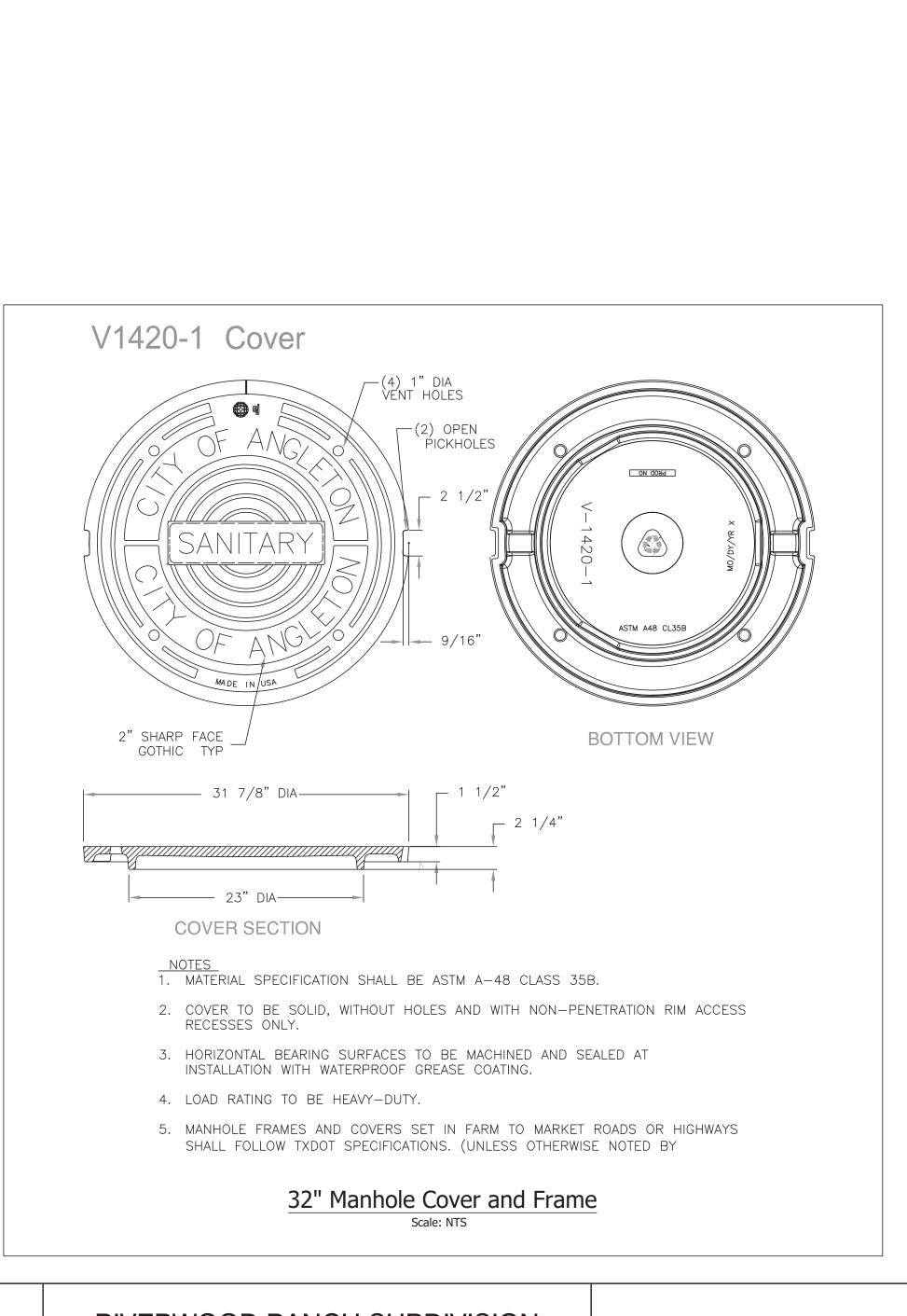
RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

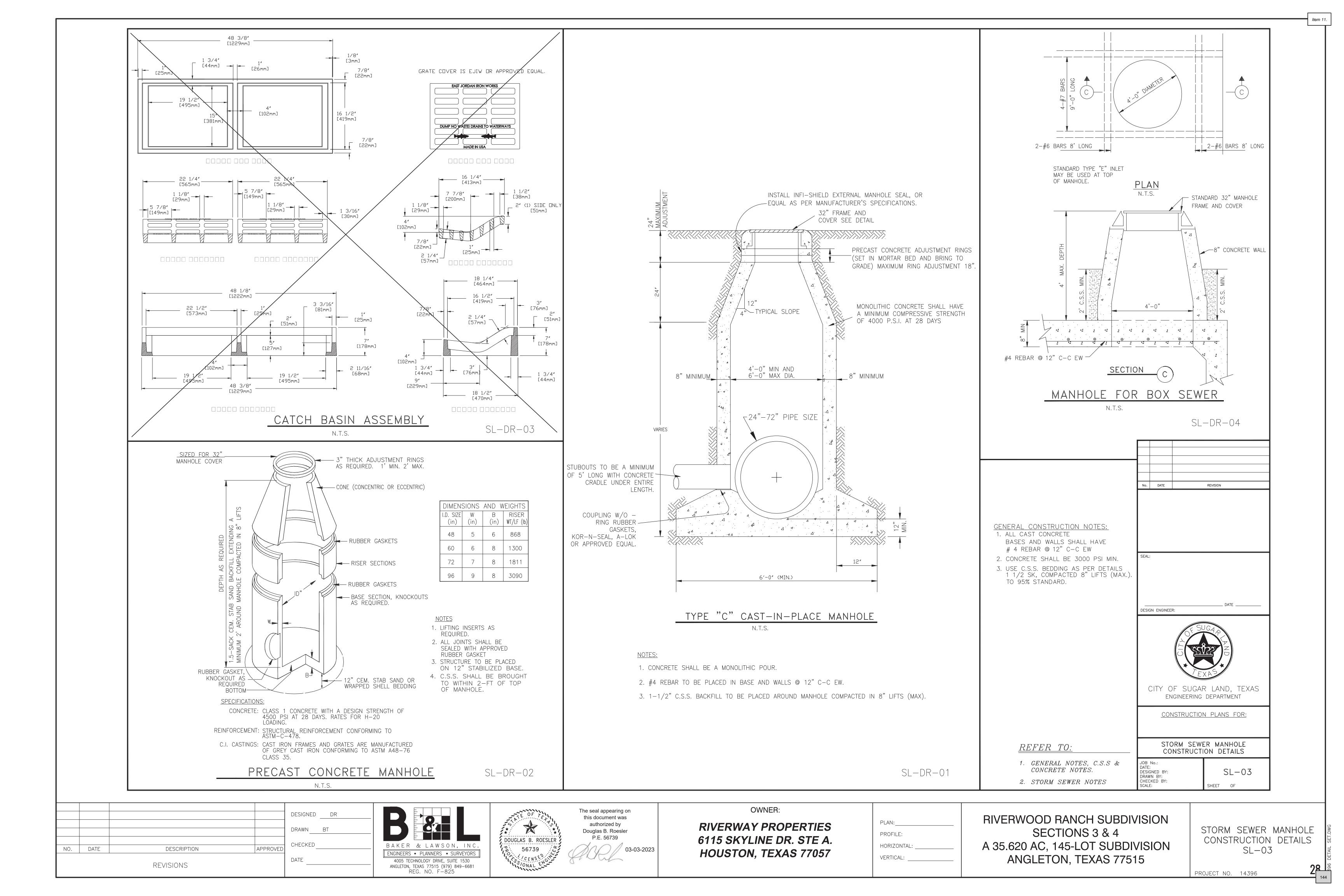
PLAN:_____ PROFILE: HORIZONTAL: ____ VERTICAL: _____

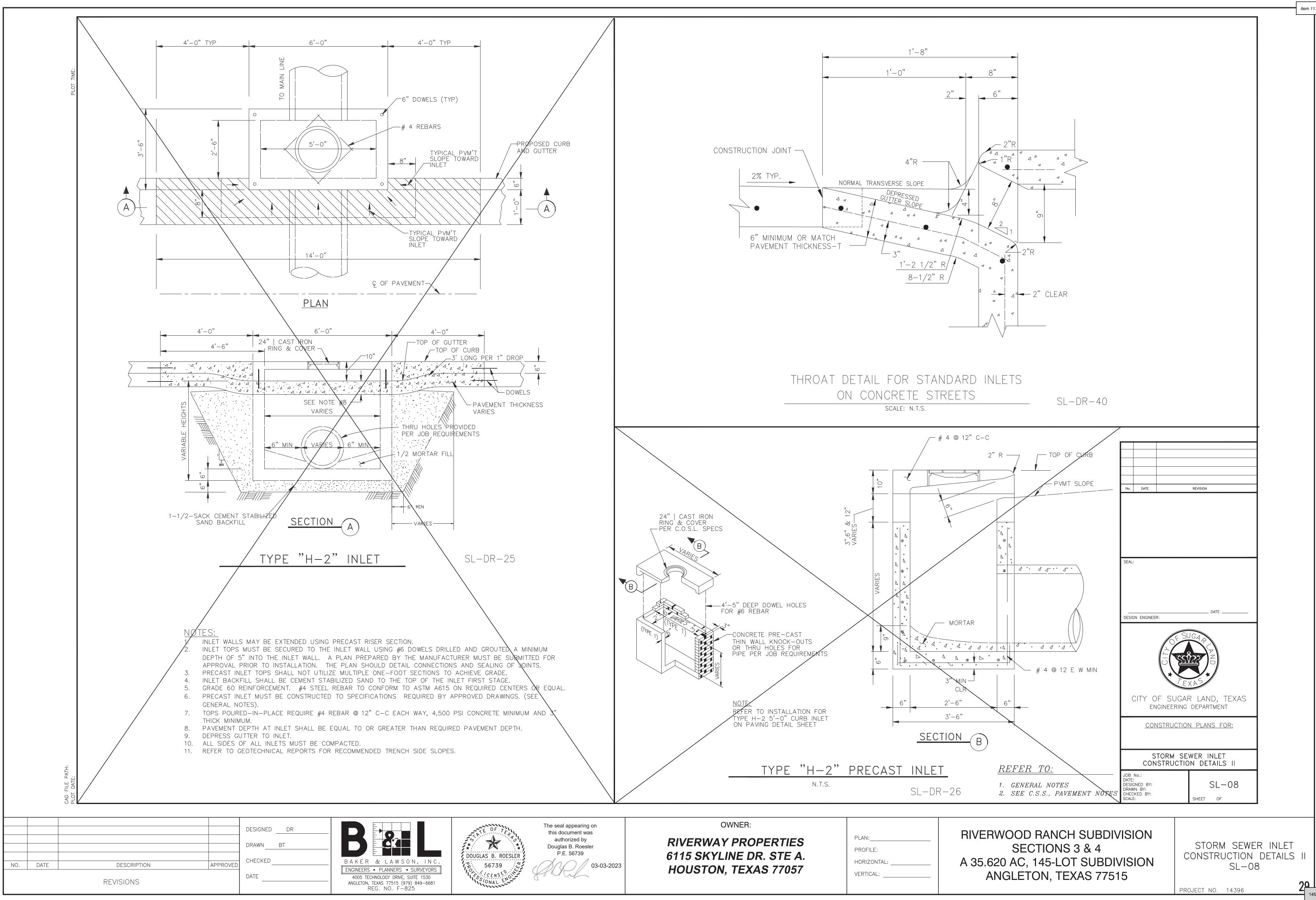
RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

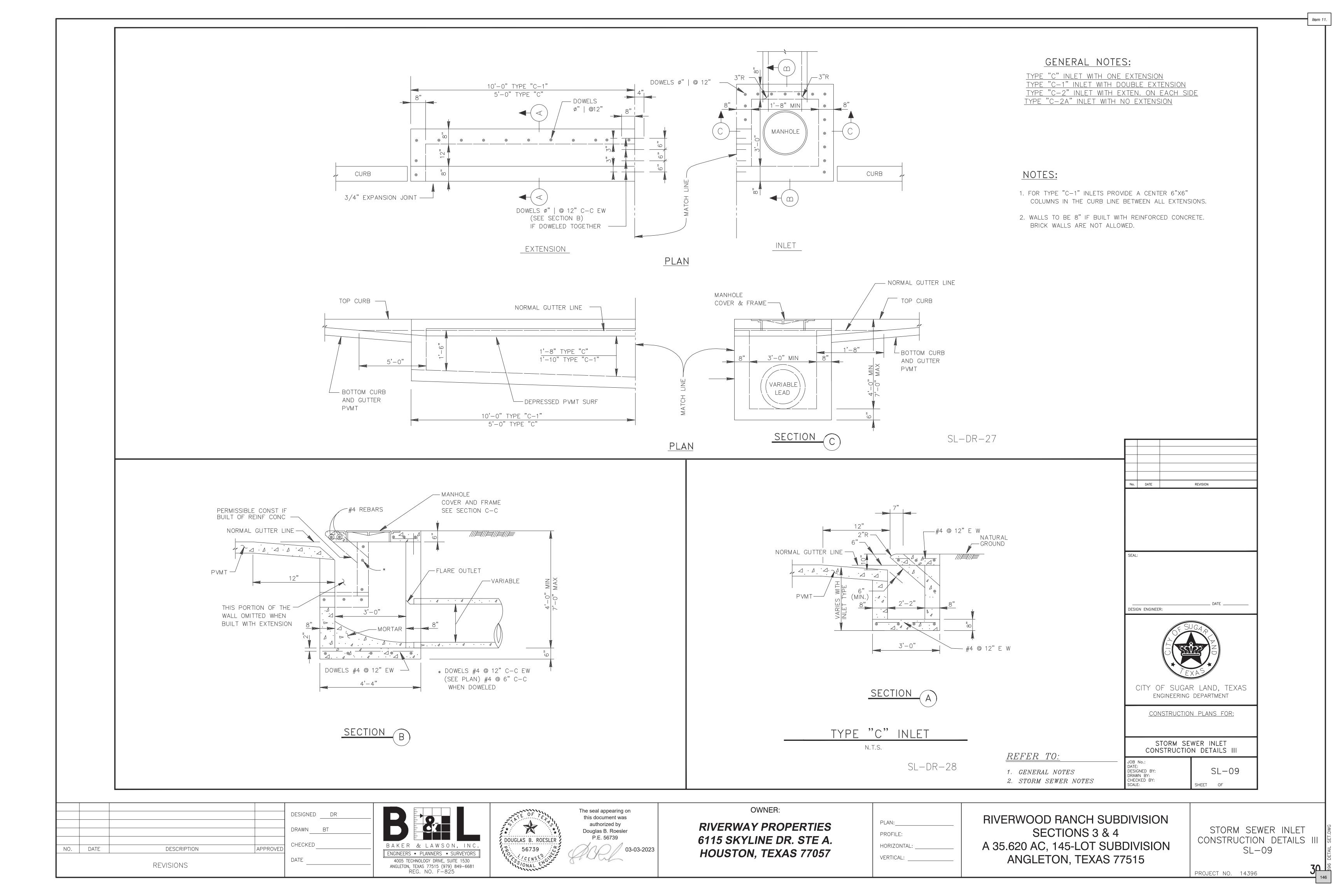
MISCELLANEOUS DETAILS

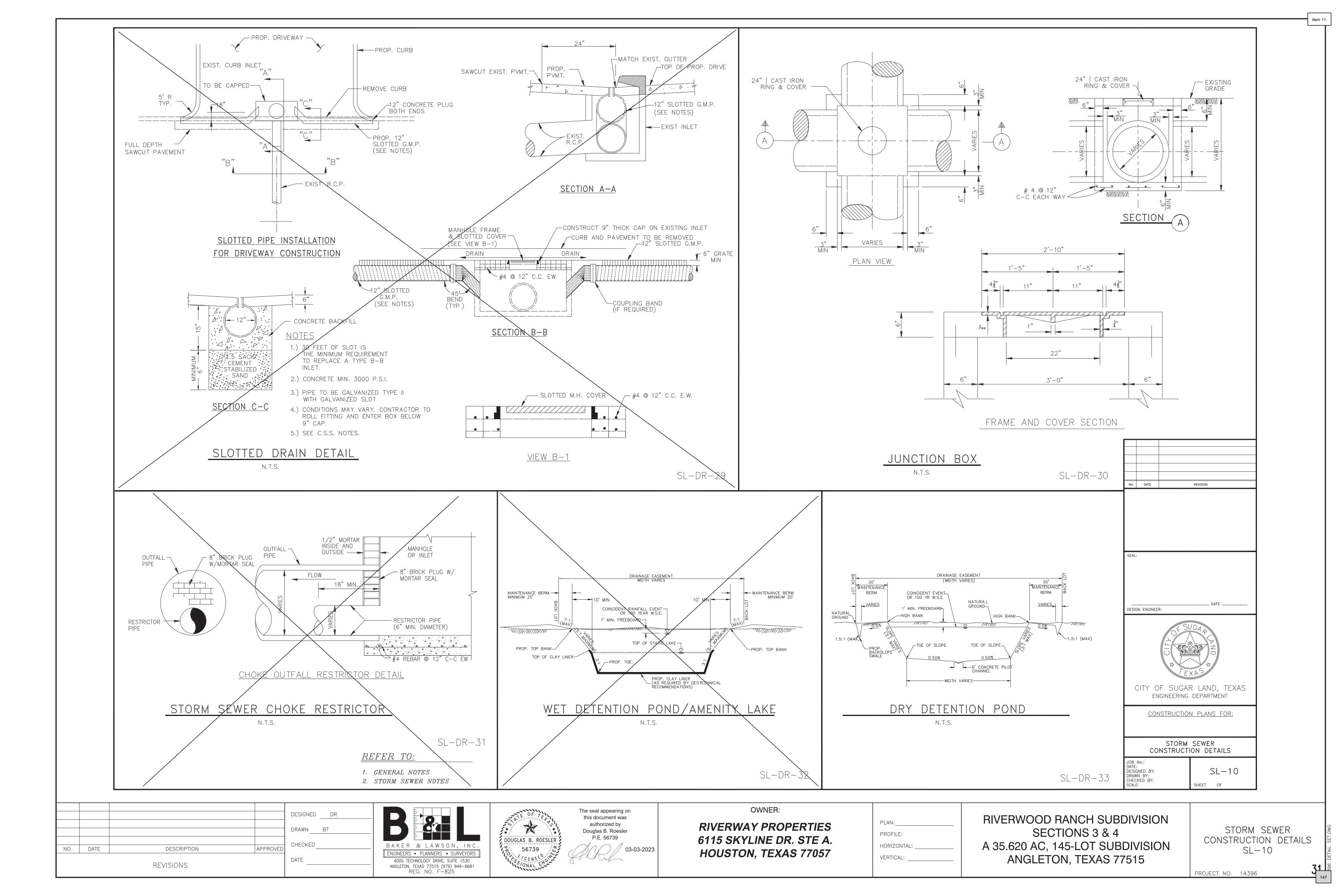
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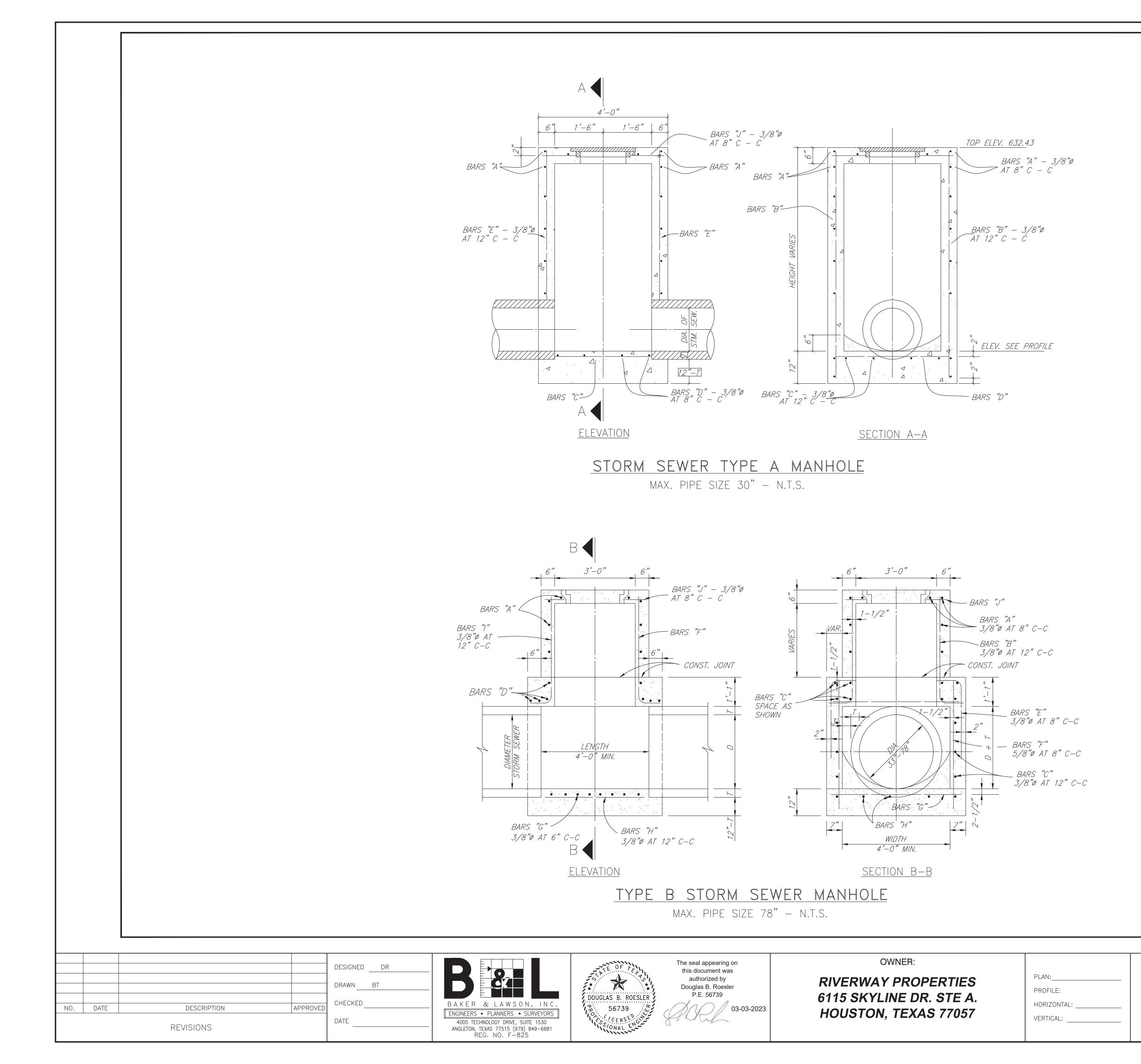








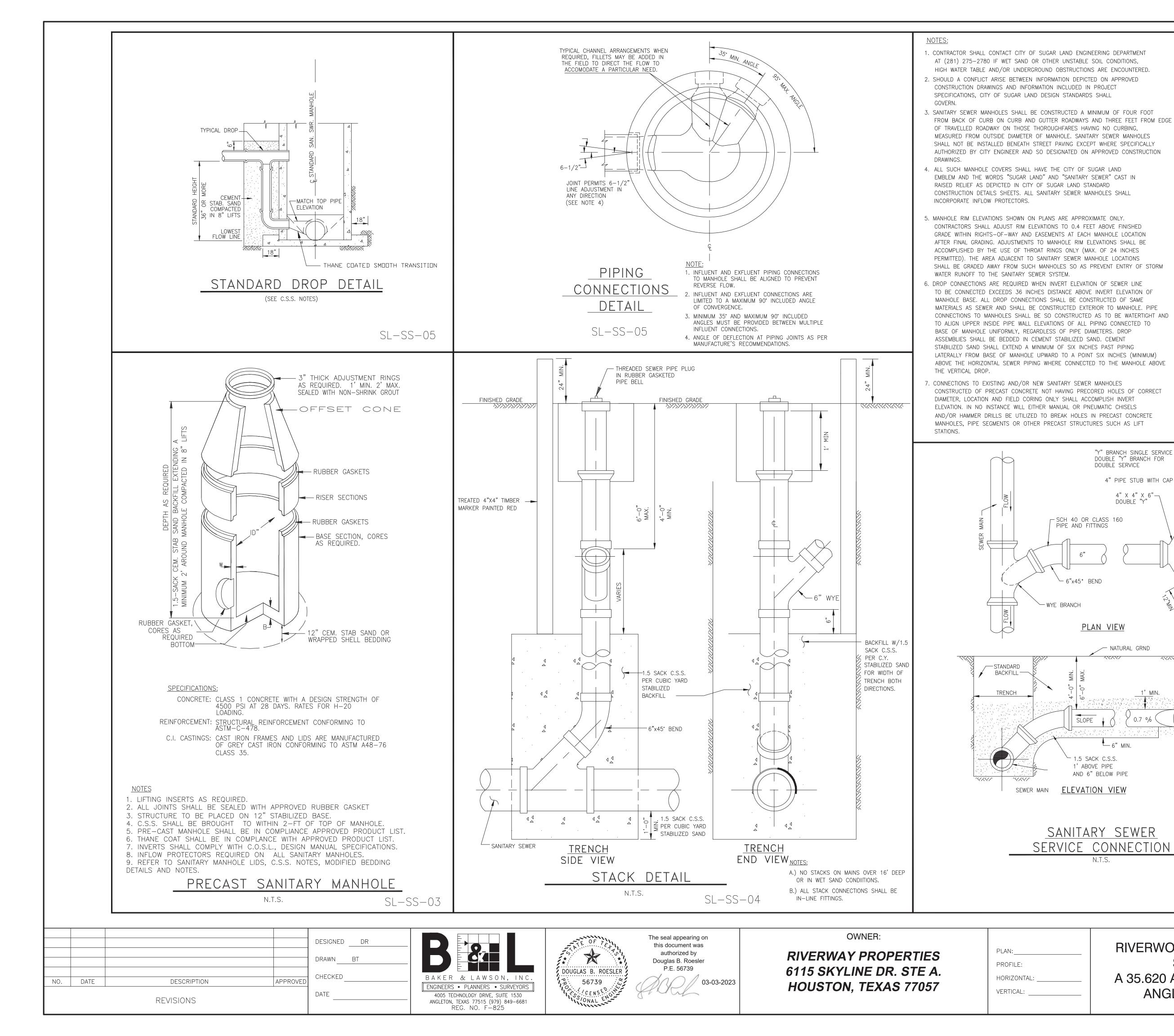




RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

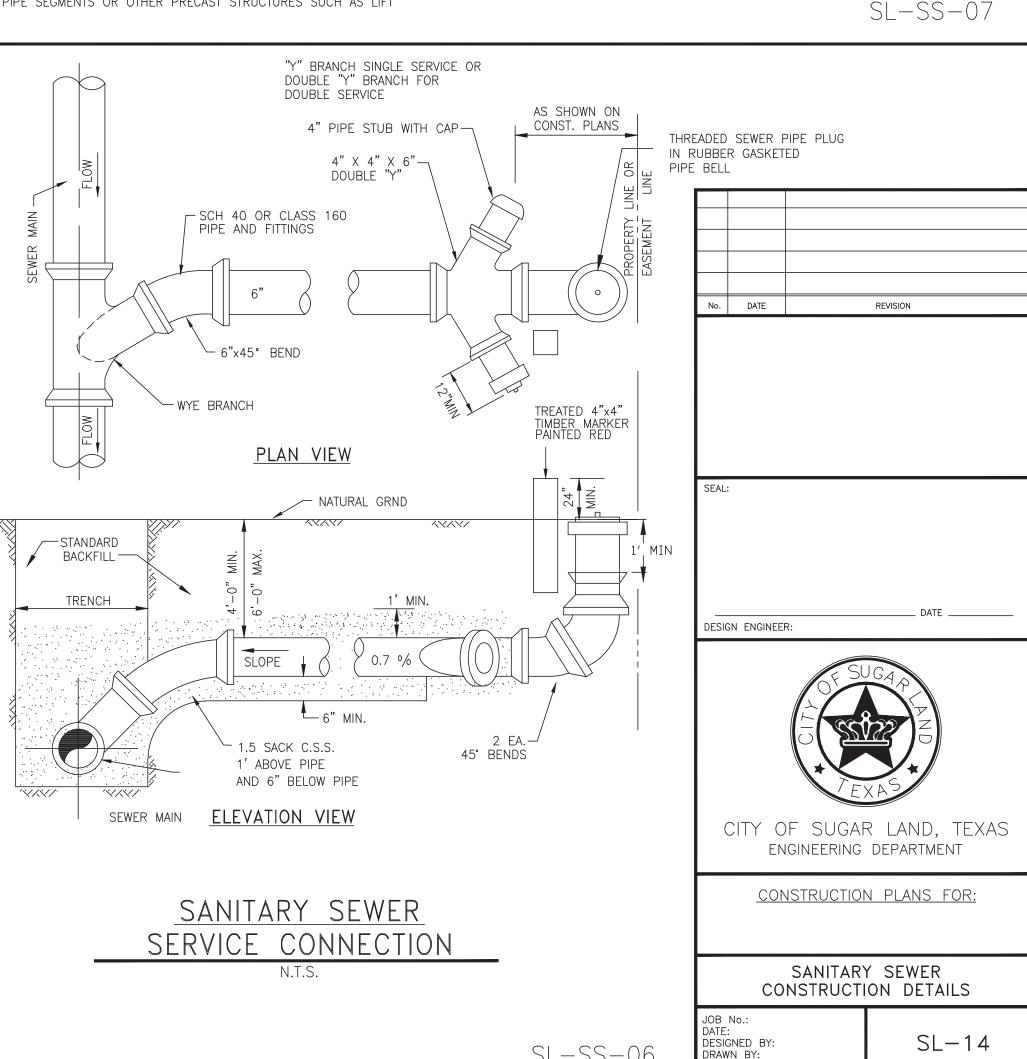
JUNCTION BOX MANHOLES SL-11 Item 11.

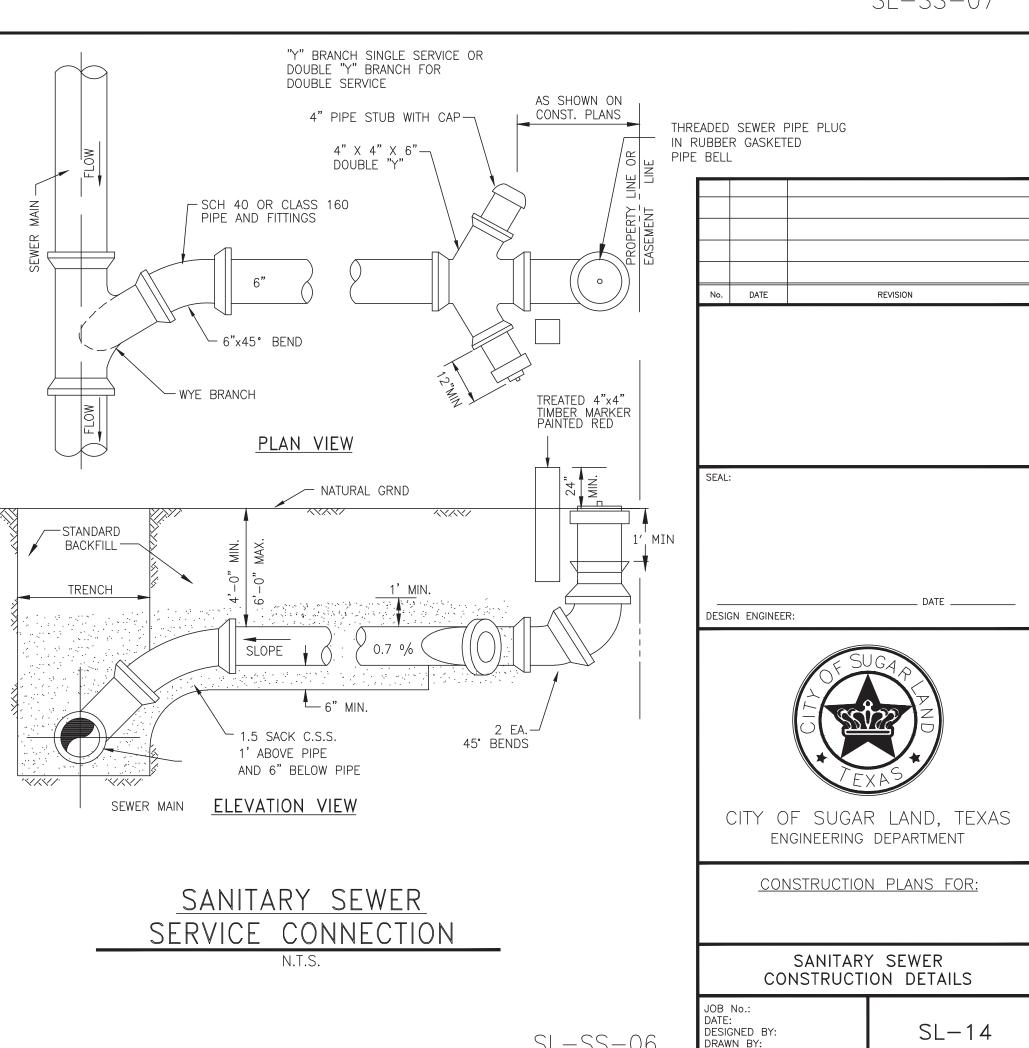
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JOB No.: DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE: SCALE: SHEET OF	

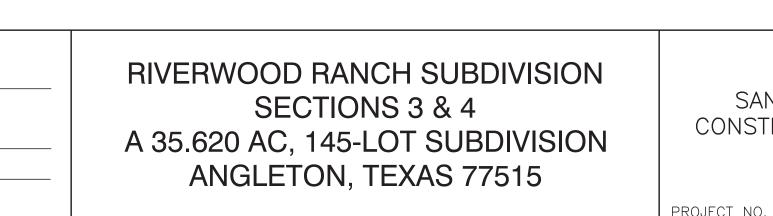


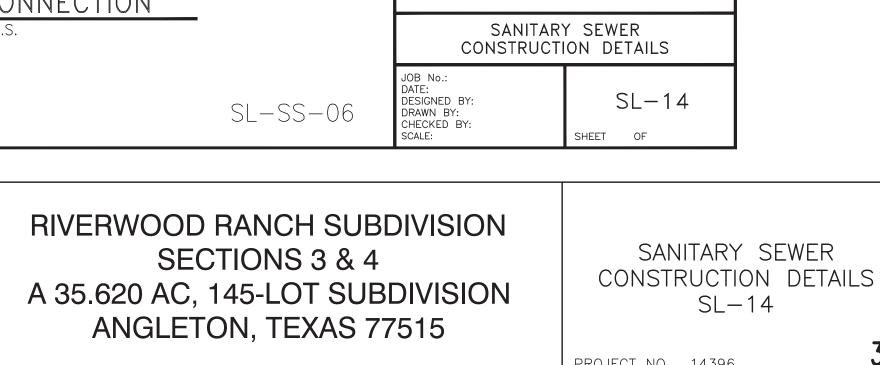
PLAN: PROFILE: HORIZONTAL VERTICAL:

MANHOLE BASE. ALL DROP CONNECTIONS SHALL BE CONSTRUCTED OF SAME MATERIALS AS SEWER AND SHALL BE CONSTRUCTED EXTERIOR TO MANHOLE. PIPE CONNECTIONS TO MANHOLES SHALL BE SO CONSTRUCTED AS TO BE WATERTIGHT AND TO ALIGN UPPER INSIDE PIPE WALL ELEVATIONS OF ALL PIPING CONNECTED TO BASE OF MANHOLE UNIFORMLY, REGARDLESS OF PIPE DIAMETERS. DROP ASSEMBLIES SHALL BE BEDDED IN CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL EXTEND A MINIMUM OF SIX INCHES PAST PIPING 7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHISELS MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT









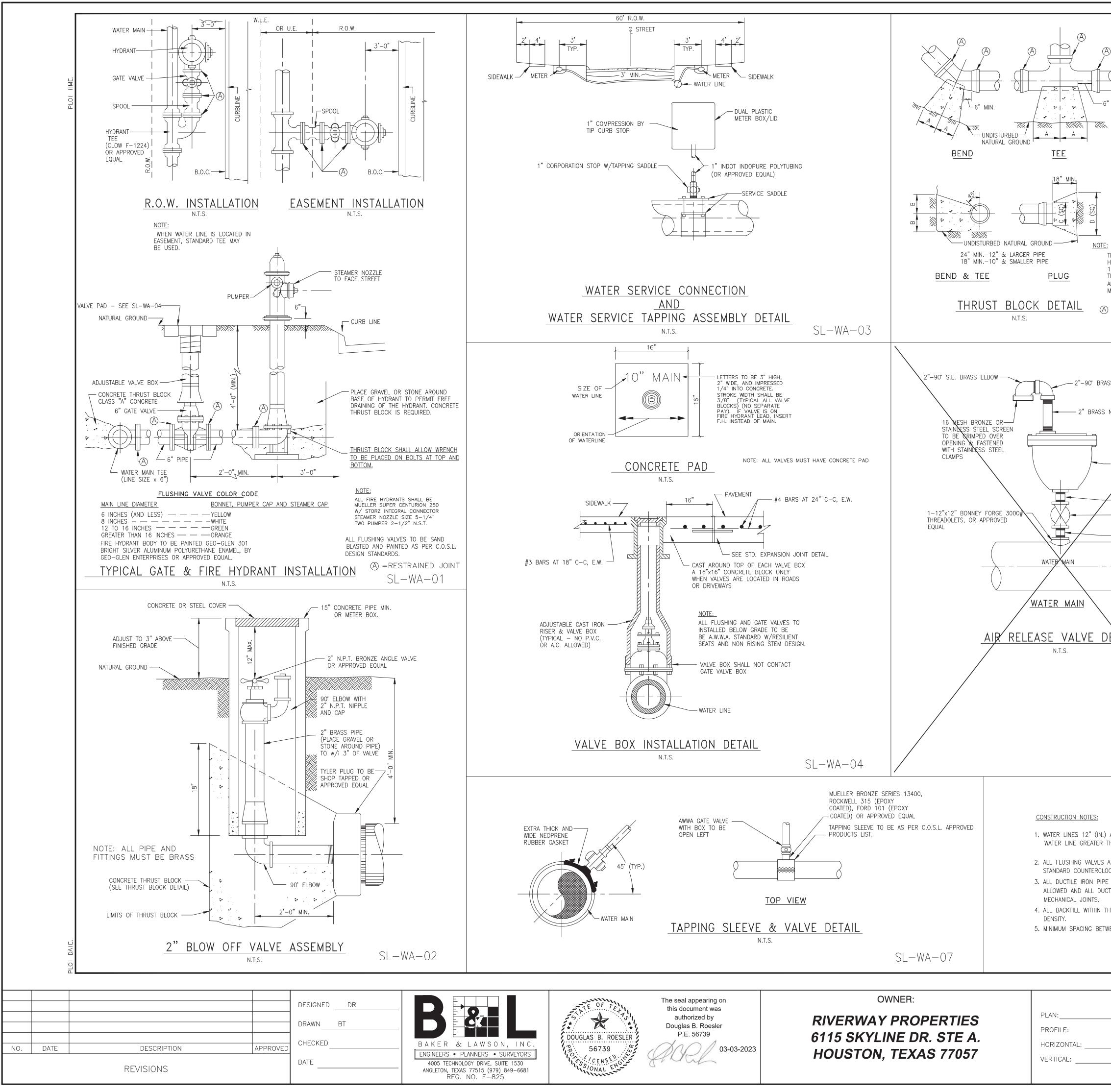
- ABOVE THE HORIZONTAL SEWER PIPING WHERE CONNECTED TO THE MANHOLE ABOVE CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECORED HOLES OF CORRECT

- LATERALLY FROM BASE OF MANHOLE UPWARD TO A POINT SIX INCHES (MINIMUM)
- AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE

8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.

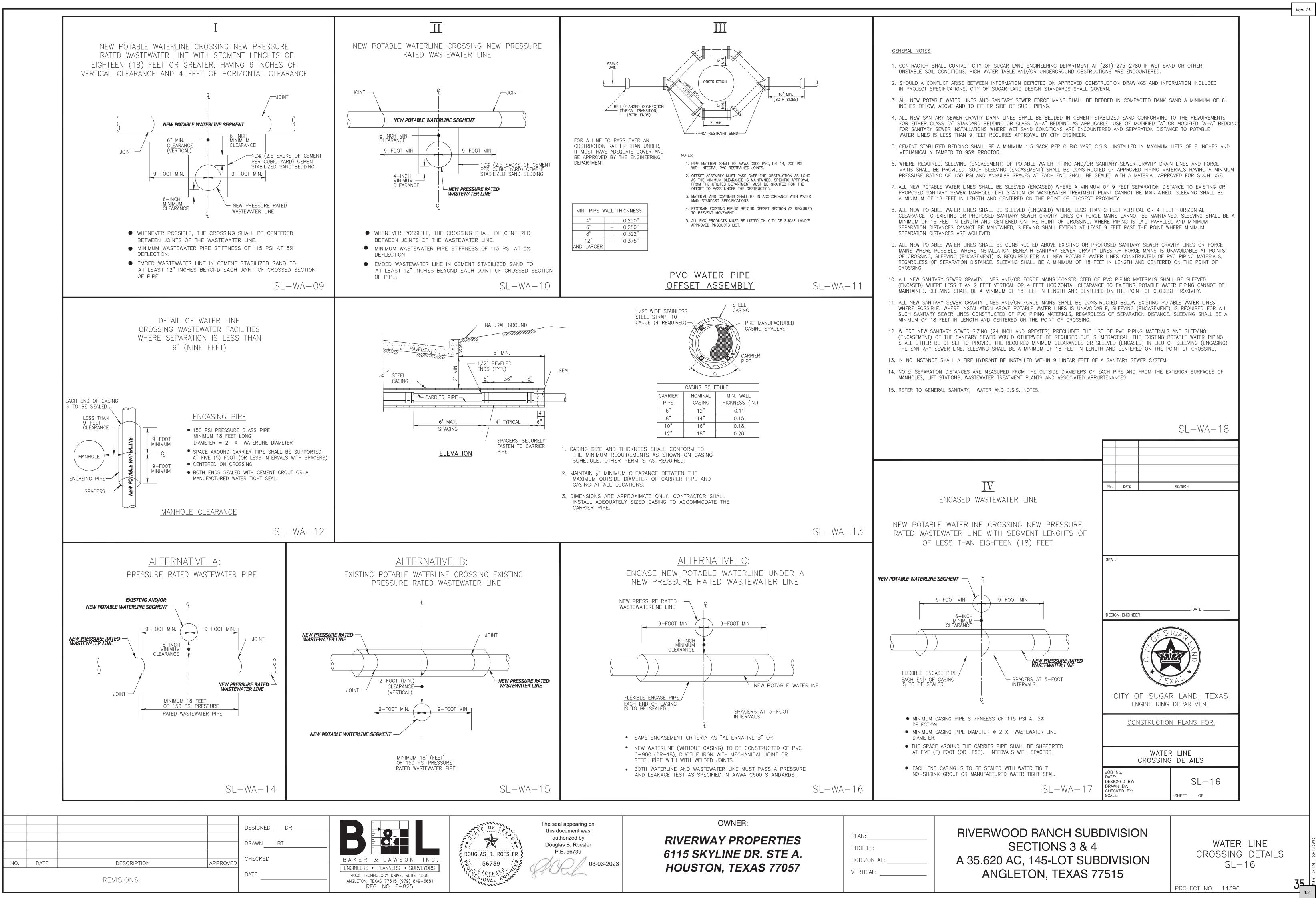
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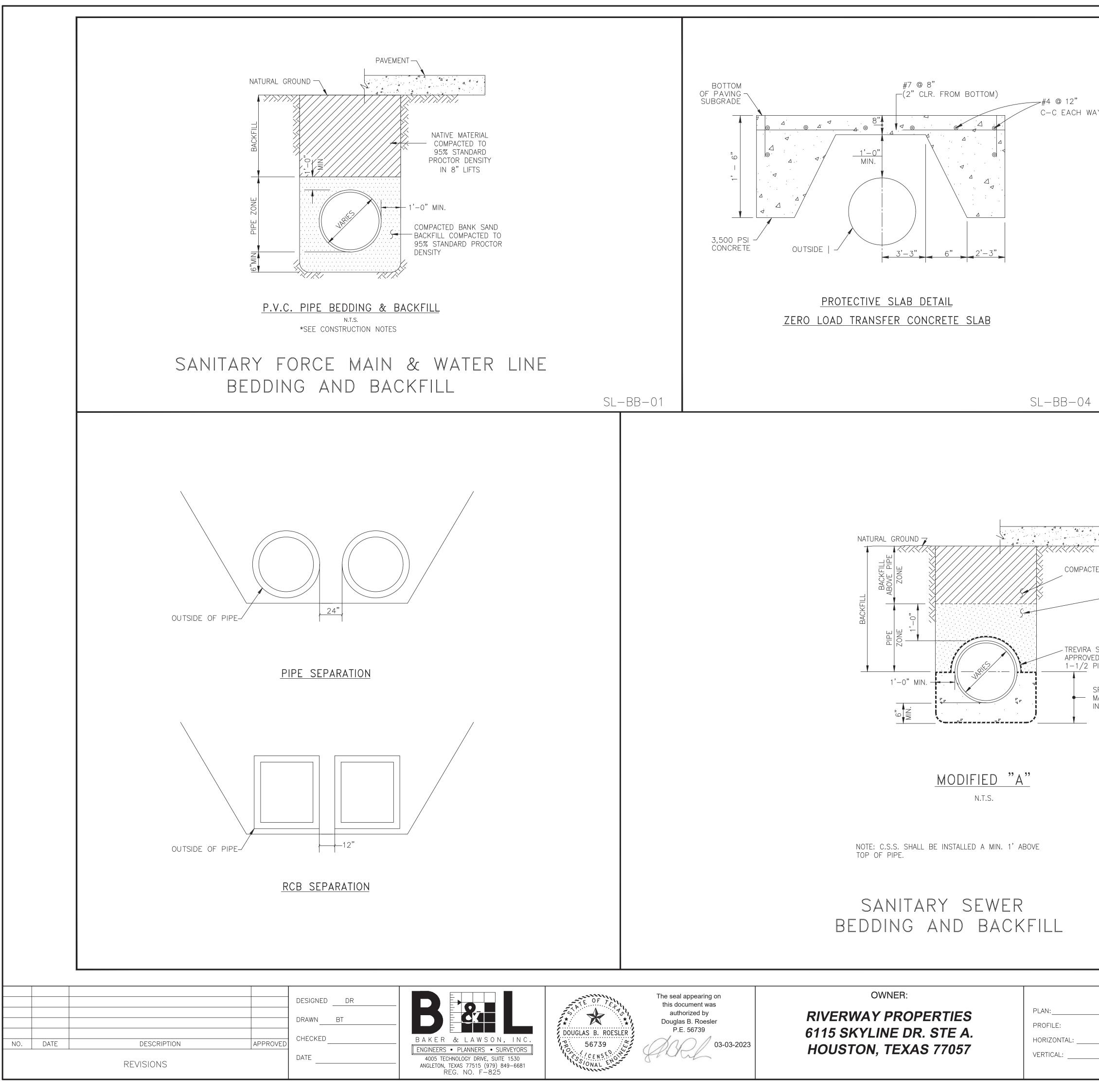
- 9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE
- INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
- 10. SANITARY SEWER SERVICE LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER
- POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE. 11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF
- THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB", "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH
- STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS
- RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND
- REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH
- POSITIVE DRAINAGE. 13. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY INFRASTRUCTURE STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY NOTIFY THE CITY OF ALL CONSTRUCTION ACTIVITIES AND TO CONFORM TO CITY OF
- SUGAR LAND PUBLIC WORKS DEPARTMENT INSPECTION POLICY.
- 14. C.S.S. 1' ABOVE PIPE AND 6" BELOW PIPE MINIMUM.
- 15. SEE GENERAL NOTES AND C.S.S. NOTES.



\mathbb{D}	POLYETHYLENE	<u>NOTES:</u> WRAP FOR IR	<u>on pipe</u>	
Ϋ́MIN.	4. POLYETHYLENE TUBE ENCA REQUIREMENTS OF "POLYE" CAST—IRON PIPING FOR WA CURRENT REVISION. SOILS	OSIVE SOIL ENVIRONMENT. FILM WRAP SHALL BE REQUIR CEPT FIRE HYDRANTS). BE FURNISHED AND INSTALL THE PIPE IN TRENCH OR IN SEMENT SHALL CONFORM WITH THYLENE ENCASEMENT FOR GR ATER AND OTHER LIQUIDS", AN WITHIN A PROJECT SHALL BE DIX A OF ANSI/AWWA C105 TO ENTS FOR ENCASEMENT.	ED AROUND ALL METAL PIPE ED EITHER IN TUBULAR SHEET FORM. H THE MINIMUM RAY AND DUCTILE ISI/AWWA C105, TESTED IN O ADEQUATELY	
THRUST BLOCKS AT TRENCH FACE MUST HAVE A MINIMUM BEARING SURFACE OF 10 SQ. FEET AND SHALL BE NO SMALLER THAN 1.5 TIMES PIPE DIAMETER. ALL CONCRETE SHALL BE 5 SACK MIN., 3000 P.S.I.) = RESTRAINED JOINT SL-WA-05 SS ELBOW NIPPLE - 2" APG0 COMBINATION	SIZE A B A 2 1/2" 12" 7" 6 6" 16" 10" 9 8" 22" 13" 12 10" 26" 17" 14 12" 29" 21" 10 14" 35" 24" 19 16" 38" 27" 2 20" 50" 40" 30 30" 60" 48" 30	" 10" 6" 12" 10" 12 2" 13" 8" 10" 13" 16 4" 17" 10" 13" 16" 20 6" 21" 11" 16" 18" 24 9" 24" 12" 20" 22" 21" 1" 27" 12" 24" 24" 30 0" 40" 18" 30" 30" 40	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	
AIR & VACCUM RELEASE VALVE W/2" ORIFICE DIA. NO. 145-C OR APPROVED EQUAL 2" NIPPLE (RED BRASS) -2" BRASS GATE VALVE, HANDWHEEL OPERATED -2" NIPPLE (RED BRASS)		No. DATE	REVISION	
SL-WA-06		SEAL: DESIGN ENGINEER:	DATE	
AND LESS SHALL BE AWWA C-900 DR18 THAN 12" (IN.) IN Ø SHALL BE AWWA C-90 AND GATE VALVES TO BE AMERICAN WATER OCKWISE OPENING WITH NON-RISING STEM D E SHALL BE CLASS 50 MORTAR LINED. NO CTILE IRON FITTINGS SHALL BE MORTAR LINE HE R.O.W. SHALL BE COMPACTED TO 95% S VEEN TAPS SHALL BE 2' AT ALTERNATING TA	WORKS ASSOC. (AWWA) ESIGN. A.C. PIPE WILL BE D PUSHON OR TANDARD PROCTOR	ENGINEERING <u>CONSTRUCTIO</u> WATEI	R LAND, TEXAS DEPARTMENT N PLANS FOR: R LINE ION DETAILS SL-15 SHEET OF	
A 35.620 /	DOD RANCH SUBI SECTIONS 3 & 4 AC, 145-LOT SUBI LETON, TEXAS 77	DIVISION	CONSTRUCT	R LINE ION DETAILS - 15 34 150

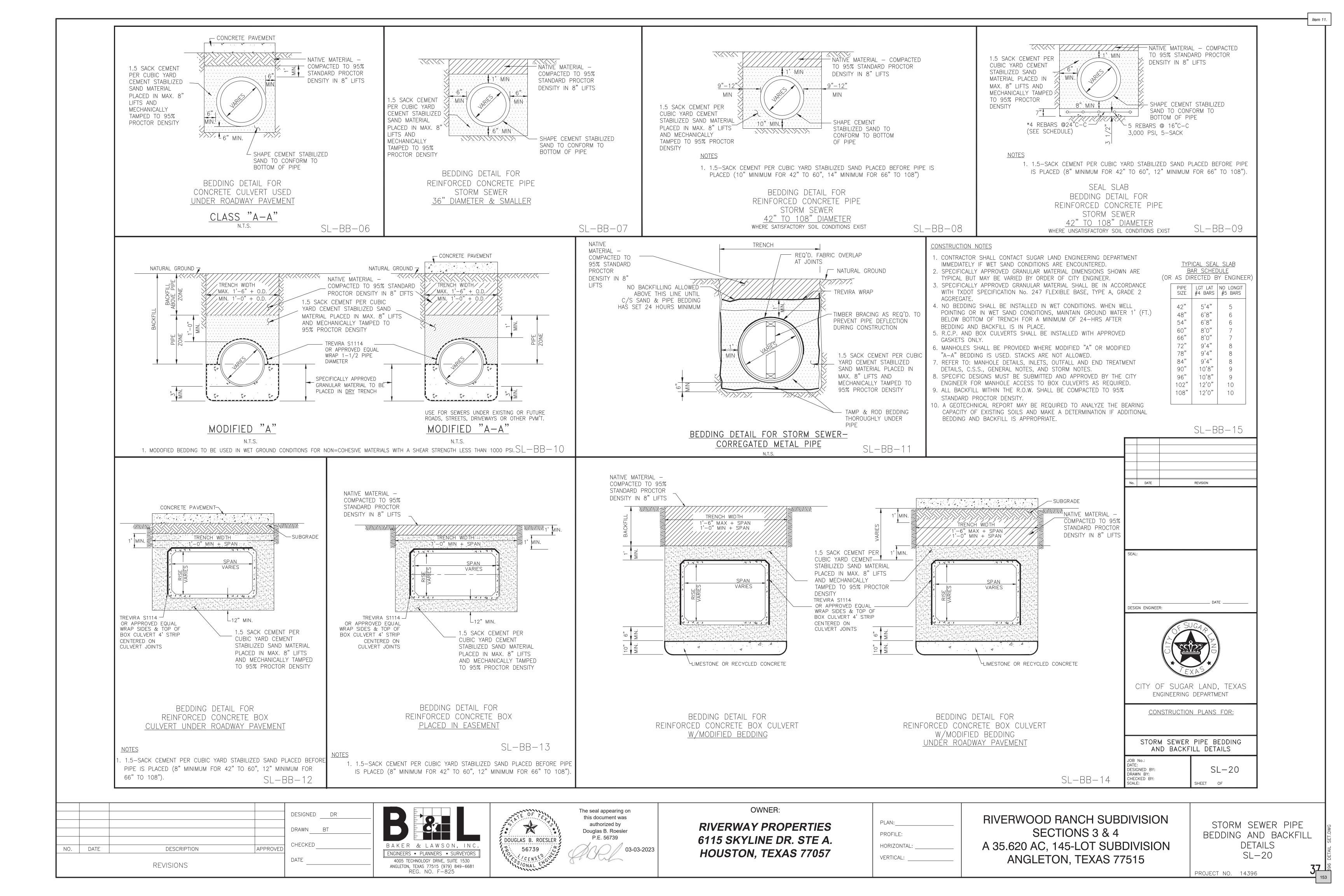
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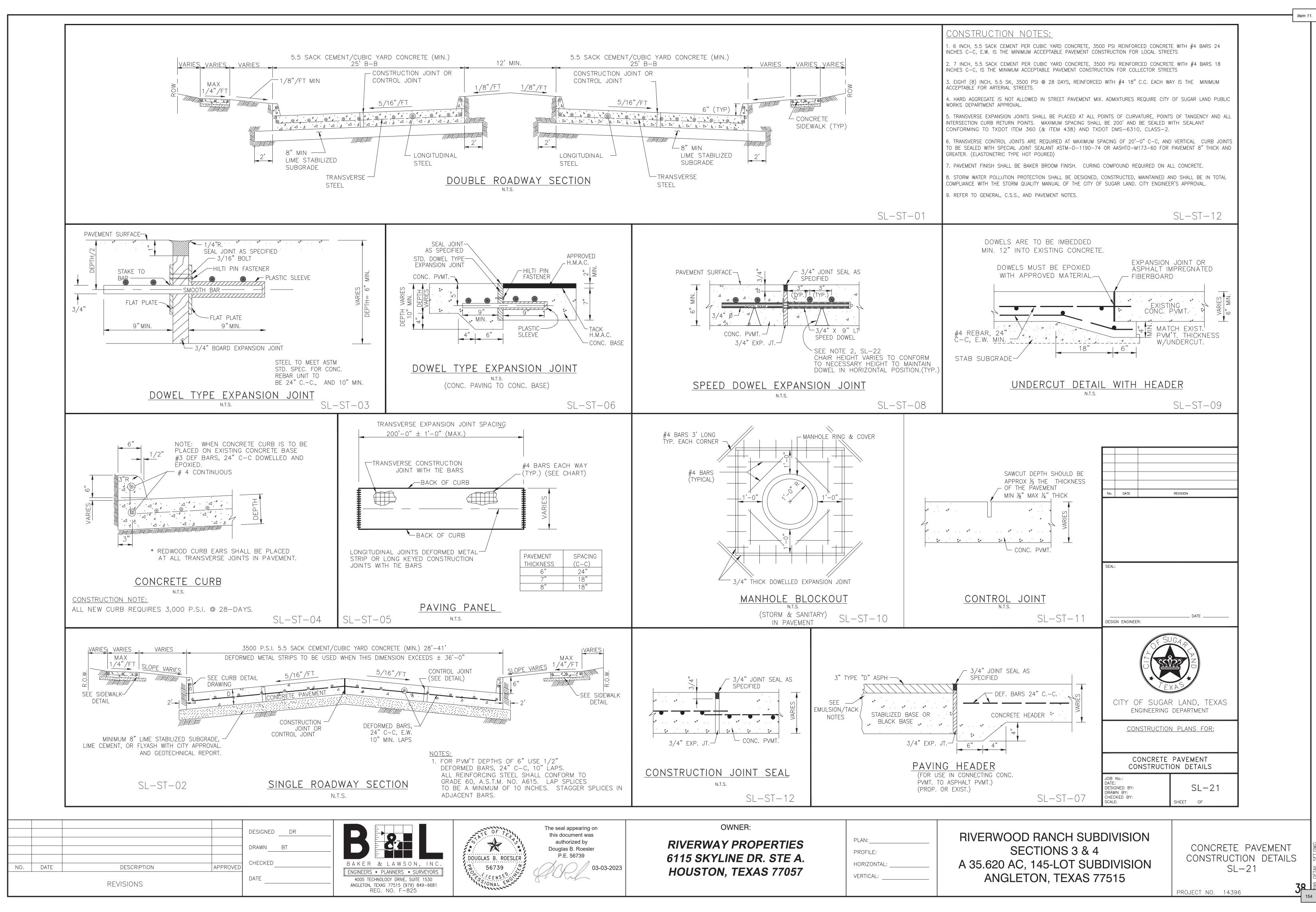


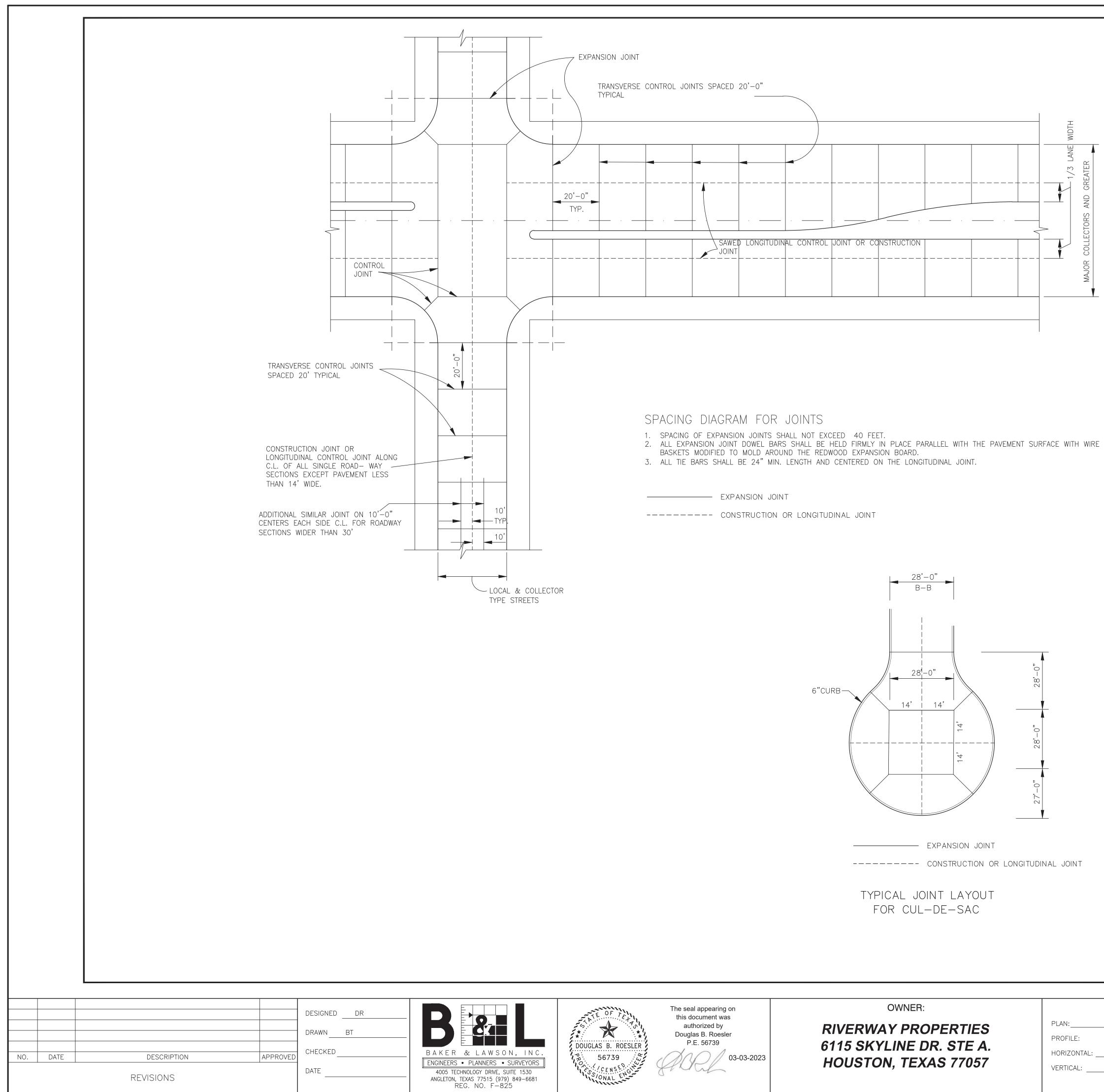


	<u>CONSTRUCTION NOTES</u> 1. CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEE IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUN			
Υ	2. LIMESTONE AND RECYCLED CONCRETE DIMENSIONS TYPICAL BUT MAY BE VARIED BY ORDER OF CITY EI			
	 LIMESTONE OR RECYCLED CONCRETE SHALL BE IN TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPI AGGREGATE. 			
	4. NO BEDDING SHALL BE INSTALLED IN WET CONDITIC POINTING OR IN WET SAND CONDITIONS, MAINTAIN G BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24 AND BACKFILL IS IN PLACE.	GROUND WATER 1 (FI		
	5. ALL MATERIALS SHALL BE FROM THE APPROVED PR SPECIFICALLY APPROVED BY THE CITY ENGINEER.	ODUCTS LIST UNLESS		
	6. SANITARY SEWER BEDDING FOR WET SAND CONDITIO SHALL BE AS PER MODIFIED "A".	INS		
	7. ALL SAND BEDDING FOR WATER LINES SHALL BE CI COMPACTED BANK SAND.	LEAN, MECHANICALLY		
	8. REFER TO: MANHOLE DETAILS, SANITARY, C.S.S., GE WATER DISTRIBUTION DETAILS AND NOTES.			
	9. ALL BEDDING WILL BE COMPACTED TO 95% STANDA 10. A GEOTECHNICAL REPORT MAY BE REQUIRED TO AI SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDI	NALYZE THE BEARING	CAPACITY OF EXISTING	
			SL-BB-05	
a 4 4				
ED TO 95	5% STANDARD PROCTOR			
1.5 SAG	IN 8" LIFTS CK CEMENT PER YARD CEMENT STABILIZED	No. DATE	REVISION	
SAND M AND ME	MATERIAL PLACED IN MAX. 8" LIFTS ECHANICALLY TAMPED & PROCTOR DENSITY			
S1114 OF D EQUAL				
PIPE DIAME	ETER	SEAL:		
	LLY APPROVED GRANULAR TO BE PLACED ZENCH.			
		DESIGN ENGINEER:	DATE	
		DESIGN ENGINEER:	SUGA	
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			IGAR LAND, TEXAS Ring department	
		CONSTRUC	CTION PLANS FOR:	
	SL-BB-03		SANITADY SEWED	
	<u>REFER TO:</u>	FORCE MAIN	, SANITARY SEWER I BEDDING DETAILS	
	1. GENERAL NOTES 2. C.S.S. NOTES	DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SL-19	
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RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

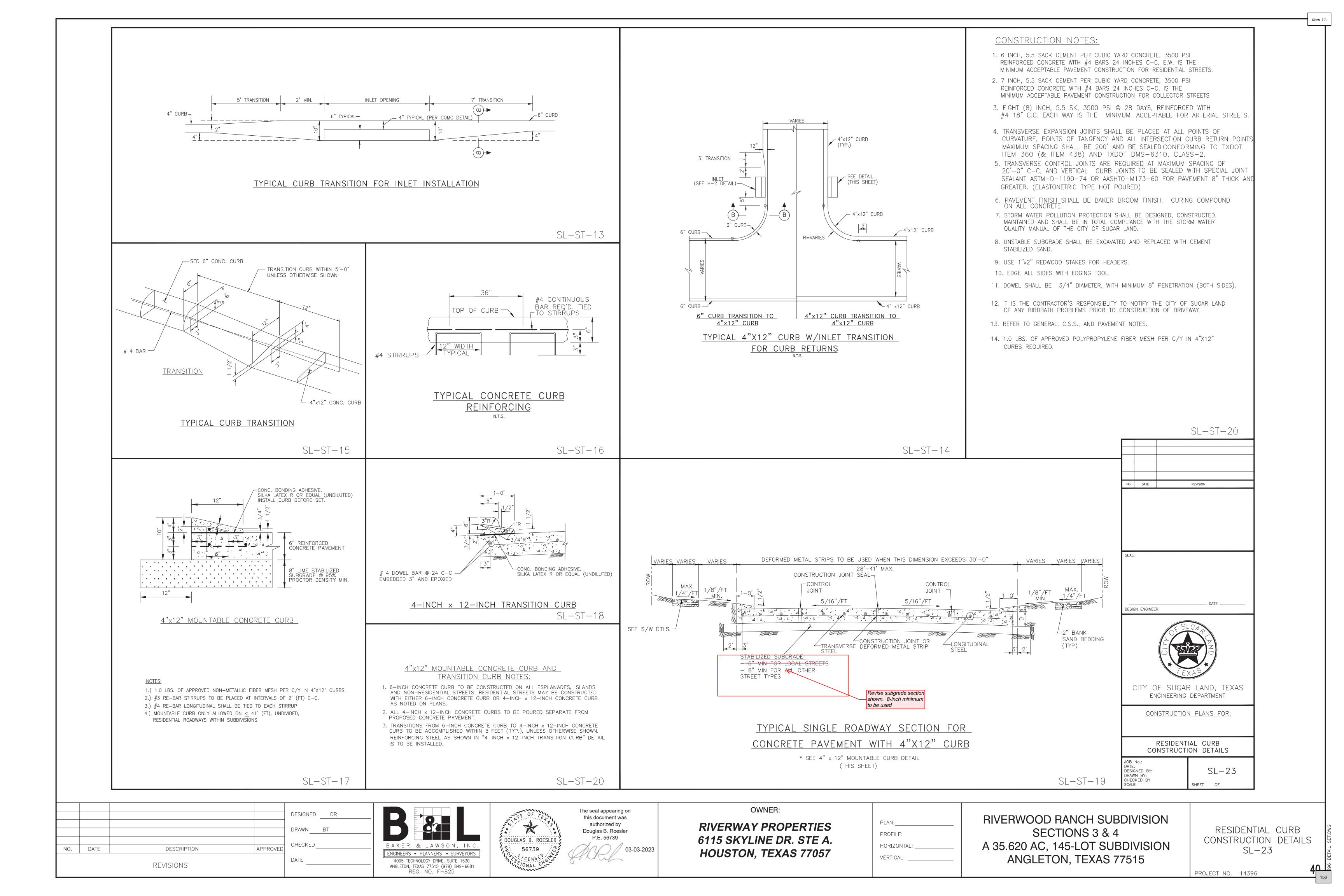
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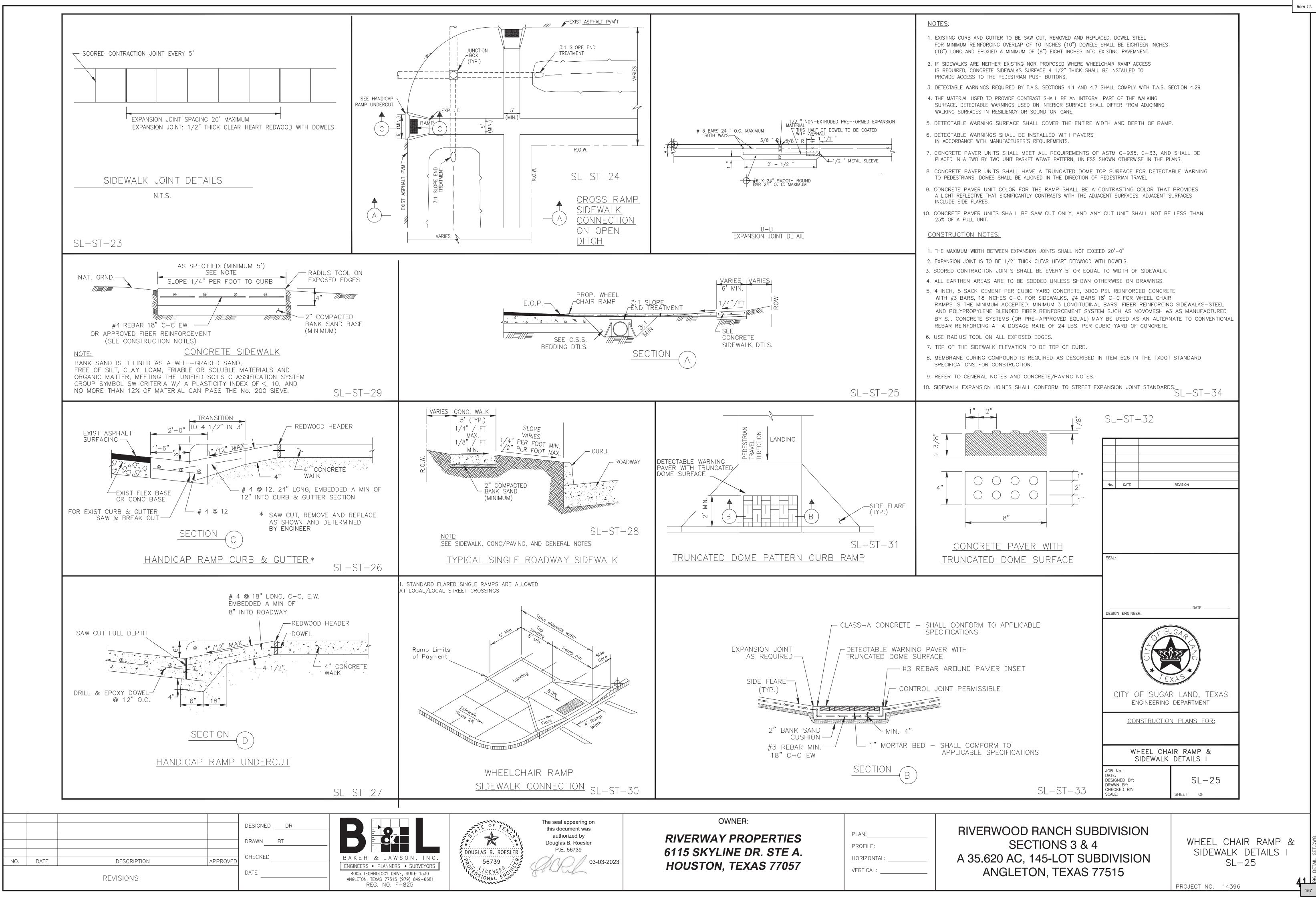
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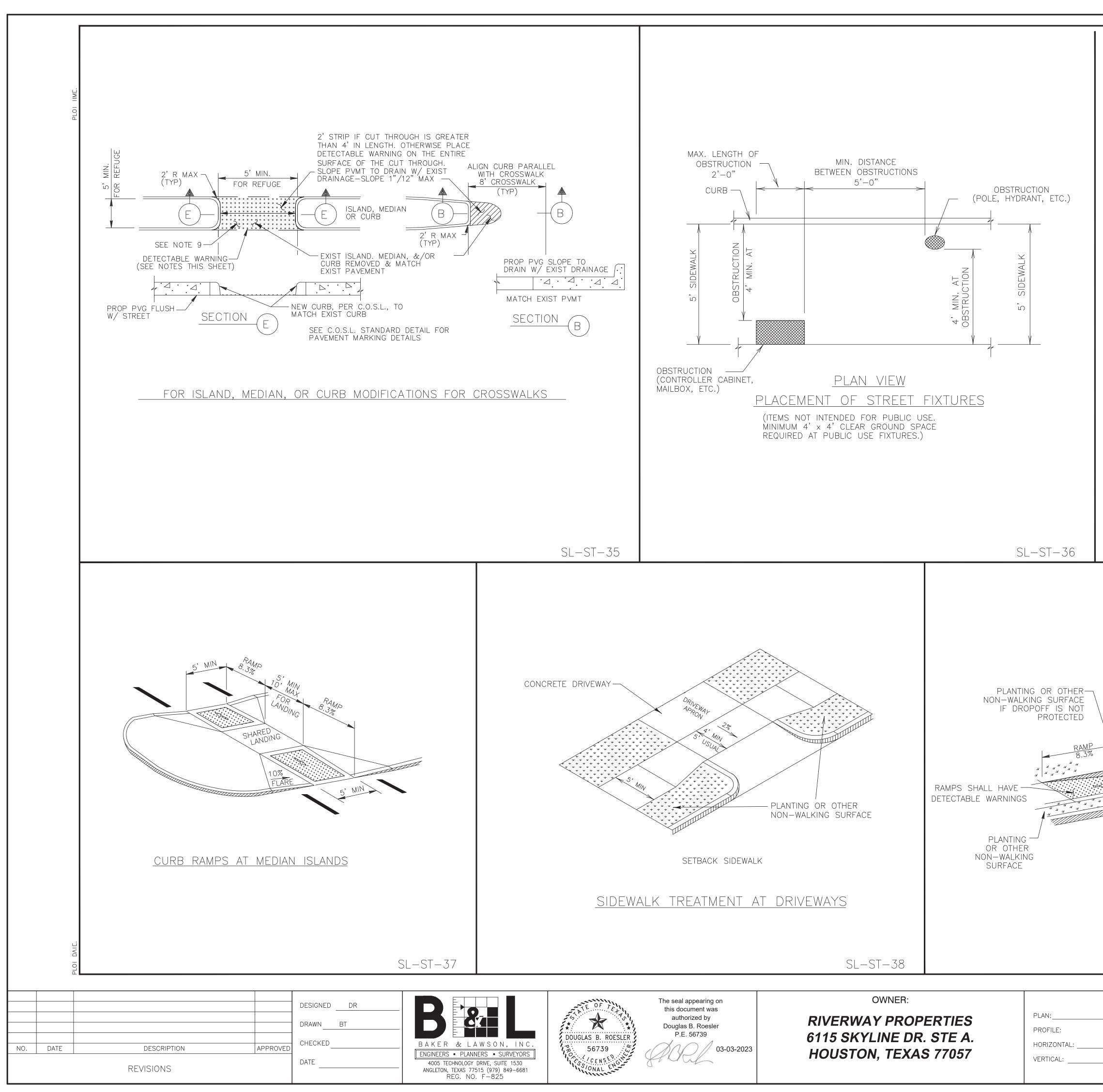
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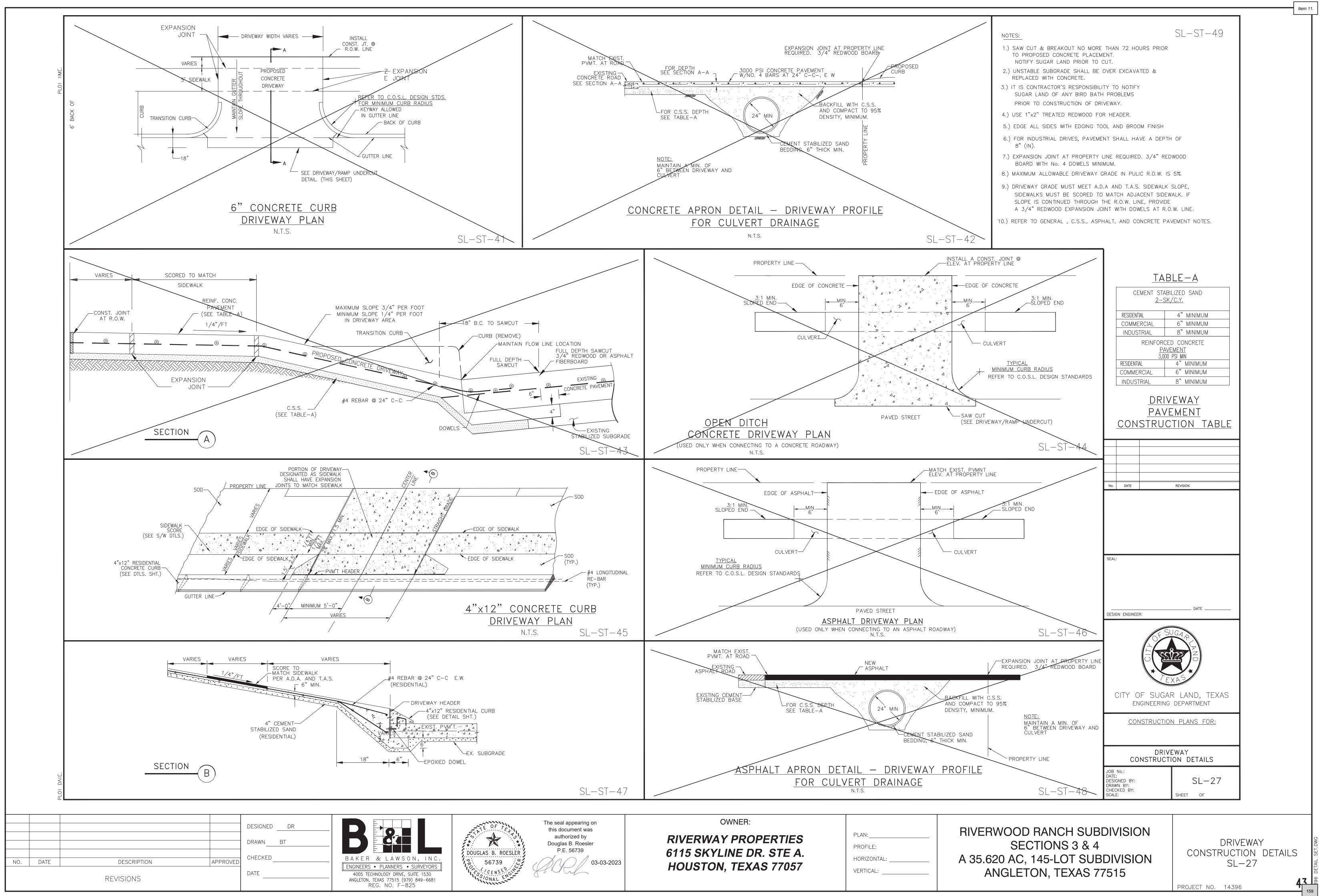
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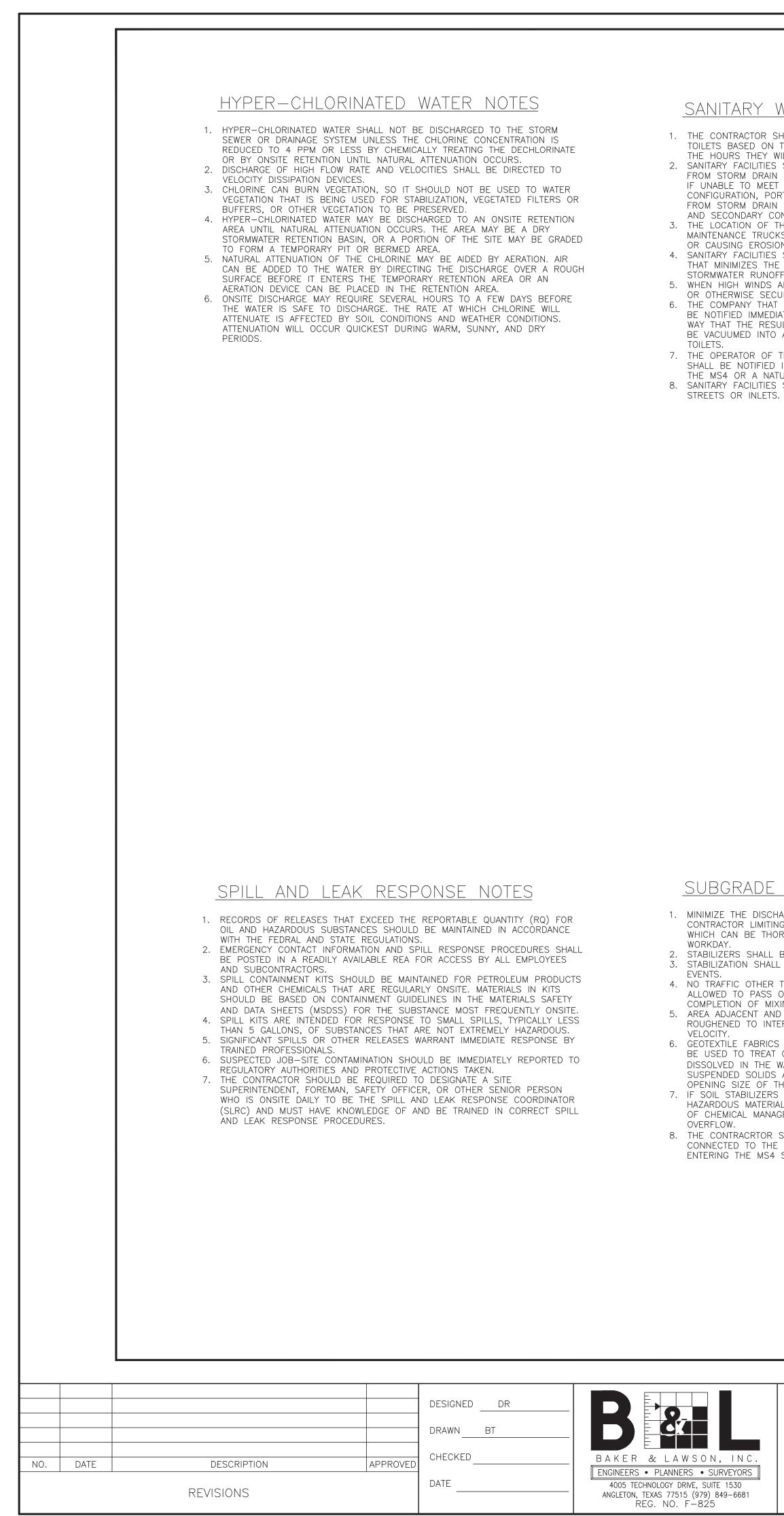






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							-
<u>N</u> (<u>DTES</u> :						
1.	ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLOPE SHOULD BE USED. RAMP LENGTH OR GRADE OF APPROACH SIDEWA						
	THE MINIMUM SIDEWALK WIDTH IS 5' (FEET). THE LANDING SHALL B IN ANY DIRECTION. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWAL SIDEWALK CROSS SLOPE EQUALS 1.5%. CHANGES IN LEVEL GREATER	E 5' x 5' WITH K AND RAMP SU	A MAXIMUM S RFACES IS 2	SLOPE OF 2% %. USUAL			
3.	MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHIC			LY CONTAINED			
4.	ANY PART OF THE ACCESSIBLE ROUTE WITH A SLOPE GREATER THA A RAMP. IF A RAMP HAS A RISE GREATER THAN 6" (IN.) OR A HOP	RIZONTAL PROJEC	TION GREATE	R THAN			
	72 INCHES, THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES, WIT A.) HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. CURB RAMP						
	ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB. B.) THE LEAST POSSIBLE GRADE SHOULD BE USED TO MAXIMIZE A						
	IMPRACTICAL TO ACHIEVE TEXAS ACCESSIBILITY STANDARDS (TA: SLOPE OF SIDEWALKS AND CROSSWALKS, WITHIN THE PUBLIC THE PARALLEL ROADWAY WITHOUT INVOKING TEXAS ACCESSIBILI	R.OW., MAY FOLL	OW THE GRA	DE OF			
	LANDINGS OR HANDRAILS. WHERE A CONTINUOUS GRADE GREAT HANDRAILS MAY BE DESIRABLE ON ONE OR BOTH SIDES OF T HANDRAILS MAY ALSO BE NEEDED TO PROTECT PEDESTRIANS F	HE SIDEWALK TO	IMPROVE AC	CESSIBILTY.			
5.	CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE I WALK ACROSS THE RAMP. OTHERWISE, FLARED SIDES SHALL BE PRO	PEDESTRIANS WO	ULD NOT NOI	RMALLY			
6.	RECEIVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE IN THE RAMP TEXTURES MUST CONSIST OF TRUNCATED DOME SURFA	PLANS.					
	AND TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR), T DETECTABLE UNDERFOOT. TEXTURES ALSO SHALL CONTRAST VISUALL SURFACES THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIB ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN,	EXTURES ARE RI Y WITH ADJOINING ITED.	EQUIRED TO G SURFACES.	BE			
7.	TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS A PREPARED AND ADMINISTERED BY THE TEXAS DEPARTMENT OF LICEN	ACCESSIBILTIY ST	ANDARDS (TA	S)			
8.	RAISED MEDIANS SEPARATE OPPOSING DIRECTIONS OF TRAFFI FOR PEDESTRIANS UNABLE TO CROSS THE ENTIRE ROADWAY IN THE AS A REFUGE AREA, THE MEDIAN SHALL BE A MINIMUM OF 5' (FT.) DESIGNED TO PROVIDE ACCESSIBLE PASSAGE OVER OR THROUGH TH	ALLOTTED SIGNA WIDE. MEDIANS	L PHASE. TO				
9.	SMALL CHANNELIZATION ISLANDS, WHICH CAN NOT PROVIDE / THE TOP OF RAMPS, SHALL BE CUT THROUGH LEVEL WITH THE SUF			G AT			
10.	CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP E IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS AF	RE NOT REQUIRED					
11.	ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE EXISTING FEATURES THAT COMPLY WITH T.A.S. MAY REMAIN IN		SS OTHERWI	SE			
12.	SHOWN ON THE PLANS. 12. TRAFFIC SIGNAL OR ILLUMINATION POLES, GROUND BOXES, CONTROLLER BOXES, SIGNS, DRAINAGE FACILITIES AND OTHER ITEMS SHALL BE PLACED SO NOT TO OBSTRUCT THE ACCESSIBLE ROUTE.						
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	/LANDING	SEAL:					
	5' MIN. SHARED RAMP 5' MIN. LANDING 8.3%						
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			OF SI	JGAP			
V V V V V V							
CUR	B RAMP 5' USUAL						
2'N	MN. RUN AT 8.3% Detectable Warnings)	CITY O	F SUGAI	R LAND, TEXAS			
PAF	RALLEL CURB RAMP			DEPARTMENT			
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#### SANITARY WASTE NOTES

- 1. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE TOILETS BASED ON THE NUMBER OF EMPLOYEES USING THE TOILETS AND THE HOURS THEY WILL WORK.
- 2. SANITARY FACILITIES SHALL BE PLACED ON A MINIMUM OF 50 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE, CHANNELS OR SURFACE WATERS. IF UNABLE TO MEET THE 50 FOOT REQUIREMENT DUE TO SITE CONFIGURATION, PORTABLE TOILETS SHALL BE A MINIMUM OF 20 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE CHANNELS OR SURFACE WATER
- AND SECONDARY CONTAINMENT SHALL BE PROVIDE IN CASE OF SPILLS. 3. THE LOCATION OF THE PORTABLE TOILETS SHALL BE ACCESSIBLE TO MAINTENANCE TRUCKS WITHOUT DAMAGING EROSION AND SEDIMENT CONTROLS
- OR CAUSING EROSION OR TRACKING PROBLEMS. 4. SANITARY FACILITIES SHALL BE FULLY ENCLOSED AND DESIGNED IN A MANNER THAT MINIMIZES THE EXPOSURE OF SANITARY WASTE TO PRECIPITATION AND STORMWATER RUNOFF.
- 5. WHEN HIGH WINDS ARE EXPECTED, PORTABLE TOILETS SHALL BE ANCHORED OR OTHERWISE SECURED TO PREVENT THEM FROM BEING BLOWN OVER. 6. THE COMPANY THAT SUPPLIES AND MAINTAINS THE PORTABLE TOILETS SHALL BE NOTIFIED IMMEDIATELY IF A TOILET IS TIPPED OVER OR DAMAGED IN A WAY THAT THE RESULTS IN A DISCHARGE. DISCHARGED SOLID MATTER SHALL BE VACUUMED INTO A SEPTIC TRUCK BY THE COMPANY THAT MAINTAINS THE
- 7. THE OPERATOR OF THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL BE NOTIFIED IF A DISCHARGE FROM THE PORTABLE TOILETS ENTERS THE MS4 OR A NATURAL CHANNEL. 8. SANITARY FACILITIES SHALL NOT BE PERMITTED ON PUBLIC SIDEWALKS,

# DEBRIS AND TRASH NOTES

- 1. ALL WASTE SOURCES AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS, IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO. IN NO CASE SHALL MATERIAL AND WASTE SOURCES BE CLOSER THAN 20 FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS.
- 2. CONSTRUCTION WASTE AND TRASH SHALL BE STORED IN A MANNER THAT MINIMIZES ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.
- 3. WHENEVER POSSIBLE, MINIMIZE PRODUCTION OF DEBRIS AND TRASH. 4. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES.
- 5. SEGREGATE POTENTIAL HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE DEBRIS.
- 5. PROHIBIT LITTERING BY WORKERS AND VISITORS. 7. POLICE SITE DAILY FOR LITTER AND DEBRIS.
- 8. ENFORCE SOLID WASTE HANDLING AND STORAGE PROCEDURES. 9. IF FEASIBLE, RECYCLE CONSTRUCTION AND DEMOLITION DEBRIS SUCH AS
- WOOD, METAL, AND CONCRETE. 10. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN THEY ARE 90
- PERCENT FULL OR MORE FREQUENTLY.
- 11. GENERAL CONSTRUCTION DEBRIS MAY BE HAULED TO A LICENSED CONSTRUCTION DEBRIS LANDFILL.
- 12. USE WASTE AND RECYCLING HAULERS/FACILITIES APPROVED BY THE LOCAL MUNICIPALITY. 13. CHIPPING OF TREES AND BRUSH FOR USE SUCH AS MULCH IS PREFERRED
- ALTERNATIVE TO OFFSITE DISPOSAL. 14. NO WASTE, TRASH, OR DEBRIS SHALL BE BURIED, BURNED OR OTHER WISE
- DISPOSED OF ONSITE. 15. CLEARLY MARK ON ALL DEBRIS AND TRASH CONTAINERS WHICH MATERIALS ARE ACCEPTABLE. FOREMAN AND/OR CONSTRUCTION SUPERVISOR SHALL MONITOR ONSITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES DAILY.

# SUBGRADE STABILIZATION NOTES

1. MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH

. STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN NO RUN OFF. 3. STABILIZATION SHALL NOT OCCUR IMMEDIATELY BEFORE AND DURING RAINFALL

4. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE AREA BEING STABILIZED UNTIL AFTER COMPLETION OF MIXING THE CHEMICAL. 5. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE ROUGHENED TO INTERCEPT CHEMICAL RUNOFF AND REDUCE RUNOFF

6. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE DISSOLVED IN THE WATER AND WON'T BE AFFECTED BY A BARRIER AND THE SUSPENDED SOLIDS ARE SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

7. IF SOIL STABILIZERS ARE STORED ONSITE, THEY SHALL BE CONSIDERED HAZARDOUS MATERIAL AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LIME OR CHEMICAL

8. THE CONTRACRTOR SHALL INSTALL BMP'S TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEMS TO PREVENT LIME FROM ENTERING THE MS4 SYSTEM.

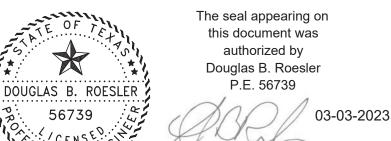
### SANDBLASTING WASTE NOTES

- 1. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE THE SITE SUPERINTENDENT, FOREMAN, OR OTHER PERSON WHO IS RESPONSIBLE FOR SANDBLASTING TO ALSO BE RESPONSIBLE FOR SANDBLASTING WASTE MANAGEMENT.
- PROHIBIT THE DISCHARGE OF SANDBLASTING WASTE. USE ONLY INERT, NON-DEGRADABLE SANDBLAST MEDIA.
- 4. USE APPROPRIATE EQUIPMENT FOR THE JOB; DO NOT OVER-BLAST.
- WHENEVER POSSIBLE. BLAST IN A DOWNWARD DIRECTION. CEASE BLASTING ACTIVITIES IN HIGH WINDS OR IF WIND DIRECTION COULD
- TRANSPORT GRIT TO DRAINAGE FACILITIES.
- INSTALL DUST SHIELDING AROUND SANDBLASTING AREAS. 8. COLLECT AND DISPOSE OF ALL SPENT SANDBLAST GRIT, USE DUST
- CONTAINMENT FABRICS AND DUST COLLECTION HOPPERS AND BARRELS.
- 9. NON-HAZARDOUS SANDBLAST GRIT MAY BE DISPOSED IN PERMITTED CONSTRUCTION DEBRIS LANDFILLS OR PERMITTED SANITARY LANDFILLS.
- 10. IF SANDBLAST MEDIA CANNOT BE FULLY CONTAINED, CONSTRUCT SEDIMENT TRAPS DOWNSTREAM FROM BLASTING AREA WHERE APPROPRIATE.
- 11. USE SAND FENCING WHERE APPRORIATE IN AREAS WHERE BLAST MEDIA
- CANNOT BE FULLY CONTAINED. 12. IF NECESSARY, INSTALL MISTING EQUIPMENT TO REMOVE SANDBLAST GRIT FROM THE AIR PREVENT RUNOFF FROM MISTING OPERATIONS FROM ENTERING DRAINAGE SYSTEMS.
- 13. USE VACUUM GRIT COLLECTION SYSTEMS WHERE POSSIBLE. 14. KEEP RECORDS OF SANDBLASTING MATERIALS, PROCEDURES, AND WEATHER
- CONDITIONS ON A DAILY BASIS. 15. TAKE ALL REASONABLE PRECAUTIONS TO ENSURE THAT SANDBLASTING GRIT IS CONTAINED AND KEPT AWAY FROM DRAINAGE STRUCTURES.
- 16. SAND BLASTING MEDIA SHOULD ALWAYS BE STORED UNDER COVER AWAY FROM DRAINAGE STRUCTURES.
- 17. ENSURE THAT STORED MEDIA OR GRIT IS NOT SUBJECTED TO TRANSPORT BY 18. ENSURE THAT ALL SANDBLASTING EQUIPMENT AND STORAGE CONTAINERS
- COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS. 19. CAPTURE AND TREAT RUNOFF, WHICH COMES INTO CONTACT WITH
- SANDBLASTING MATERIALS OR WASTE.

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56739



OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:	
PROFILE:	
HORIZONTAL:	
VERTICAL:	

	CONCRETE	SAWCUTTING	WASTE	NOTES
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1. DURING SAWCUTTING OPERATIONS, THE SLURRY AND CUTTINGS SHALL BE

- CONTINUOUSLY VACUUMED OR OTHERWISE RECOVERED AND NOT BE ALLOWED TO DISCHARGE FROM THE SITE. 2. IF THE PAVEMENT TO BE CUT IS NEAR A STORM DRAIN INLET, THE INLET SHALL BE BLOCKED BY SANDBAGS OR EQUIVALENT TEMPORARY MEASURES TO PREVENT THE SLURRY FROM ENTERING THE INLET. REMOVE THE SANDBAGS IMMEDIATELY AFTER COMPLETING SAWCUTTING OPERATIONS, SO THEY DO NOT
- CAUSE DRAINAGE PROBLEMS DURING STORM EVENTS. 3. SLURRY AND CUTTINGS SHALL NOT BE ALLOWED TO REMAIN ON THE PAVEMENT TO DRY OUT 4. DEVELOP PRE-DETERMINED, SAFE SLURRY DISPOSAL AREAS.
- 5. COLLECTED SLURRY AND CUTTINGS SHOULD BE IMMEDIATELY HAULED FROM THE SITE FOR DISPOSAL AT A WASTE FACILITY. IF THIS IS NOT POSSIBLE, THE SLURRY AND CUTTINGS SHALL BE DISCHARGED INTO ONSITE CONTAINMENT.
- 6. THE ONSITE CONTAINMENT MAY BE EXCAVATED OR BERMED PIT LINED WITH PLASTIC MINIMUM OF 10 MILIMETERS THICK. IF THE PROJECT INCLUDES PLACEMENT OF NEW CONCRETE, SLURRY FROM SAWCUTTING MAY BE DISPOSED OF IN FACILITIES DESIGNATED FOR THE WASHOUT OF CONCRETE TRUCKS INSTEAD CONSTRUCTING A SEPARATE CONTAINMENT.
- 7. THE CONTAINMENT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS, IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO. IN NO CASE SHALL THE COLLECTION AREA BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS.
- 8. SEVERAL, PORTABLE, PRE-FABRICATED, CONCRETE WASHOUT, COLLECTION BASINS ARE COMMERCIALLY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO AN ONSITE CONTAINMENT PIT. 9. REMOVE WASTER CONCRETE WHEN THE CONTAINMENT IS HALF FULL. ALWAYS
- MAINTAIN A MINIMUM OF ONE FOOT FREEBOARD. 10. ONSITE EVAPORATION OF SLURRY WATER AND RECYCLING OF THE CONCRETE WASTE IS THE PREFERRED DISPOSAL METHOD. WHEN THIS IS NOT FEASIBLE, DISCHARGE FROM THE COLLECTION AREA SHALL ONLY BE ALLOWED IF A PASSIVE TREATMENT SYSTEM IS USED TO REMOVE THE FINES. MECHANICAL MIXING IS REQUIRED IN THE COLLECTION AREA. THE pH MUST BE TESTED, AND DISCHARGED IS ALLOWED IN IF THE pH DOES NOT EXCEED 8.0. THE pH
- MAY BE LOWERED BY ADDING SULFURIC ACID TO THE SLURRY WATER. 11. CARE SHALL BE EXERCISED WHEN TREATING THE SLURRY WATER FOR DISCHARGE. MONITORING MUST BE IMPLEMENTED TO VERIFY THAT DISCHARGES FROM THE COLLECTION AREA DO NOT VIOLATE GROUNDWATER OR SURFACE
- WATER QUALITY STANDARDS. 12. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO CONTROL SAWCUTTING WASTE, SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

No. DA	TE	REVISION
SEAL:		
		DATE
DESIGN EN	GINEER:	
CITY	OF SUGA	R LAND, TEXAS DEPARTMENT
	<u>CONSTRUCTIO</u>	<u>n plans for:</u>
GENERAL EROSION CONTROL NOTES		
JOB No.: DATE: DESIGNED DRAWN BY CHECKED SCALE:	•	SL-33

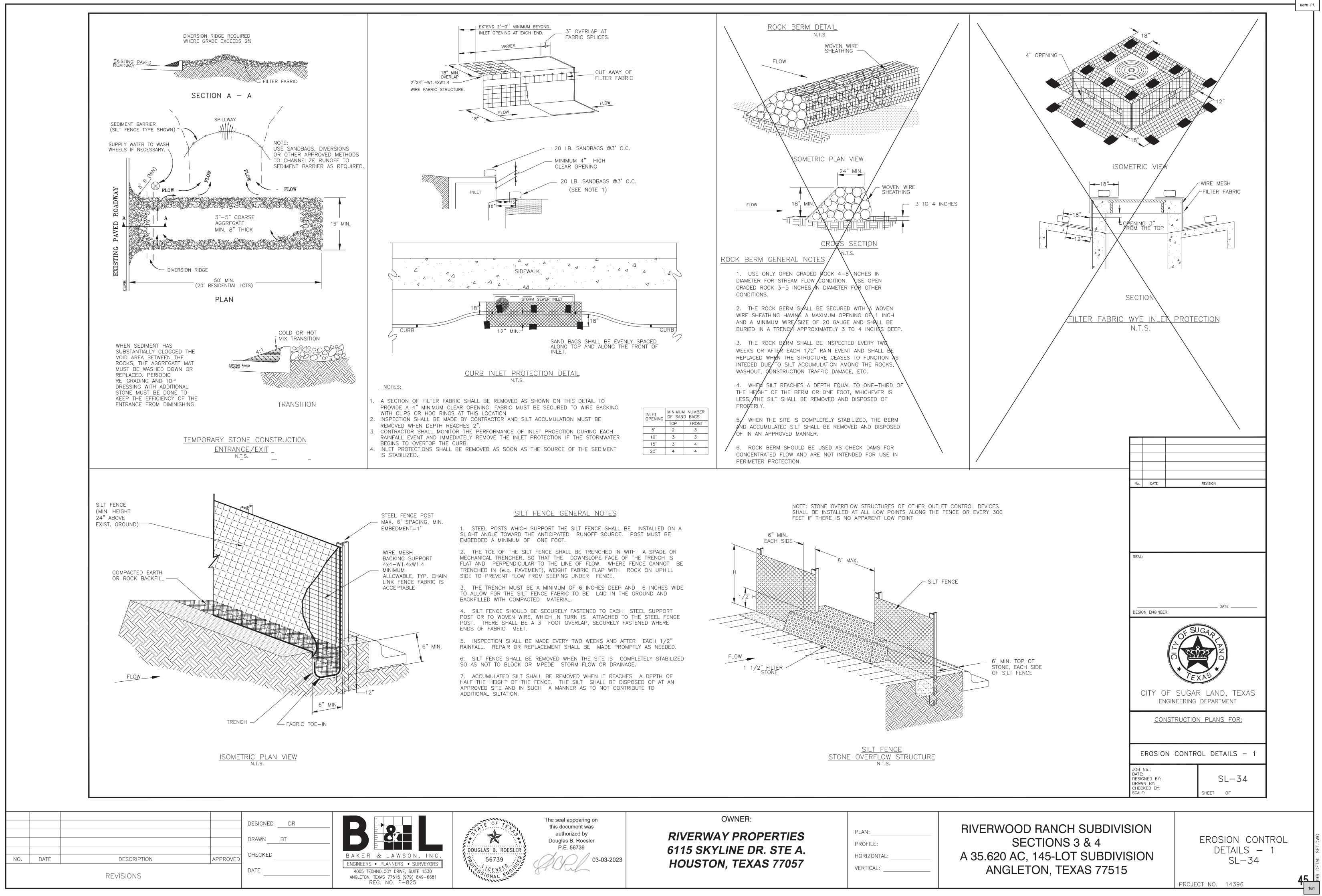
# **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

GENERAL EROSION CONTROL NOTES SL-33

PROJECT NO. 14396

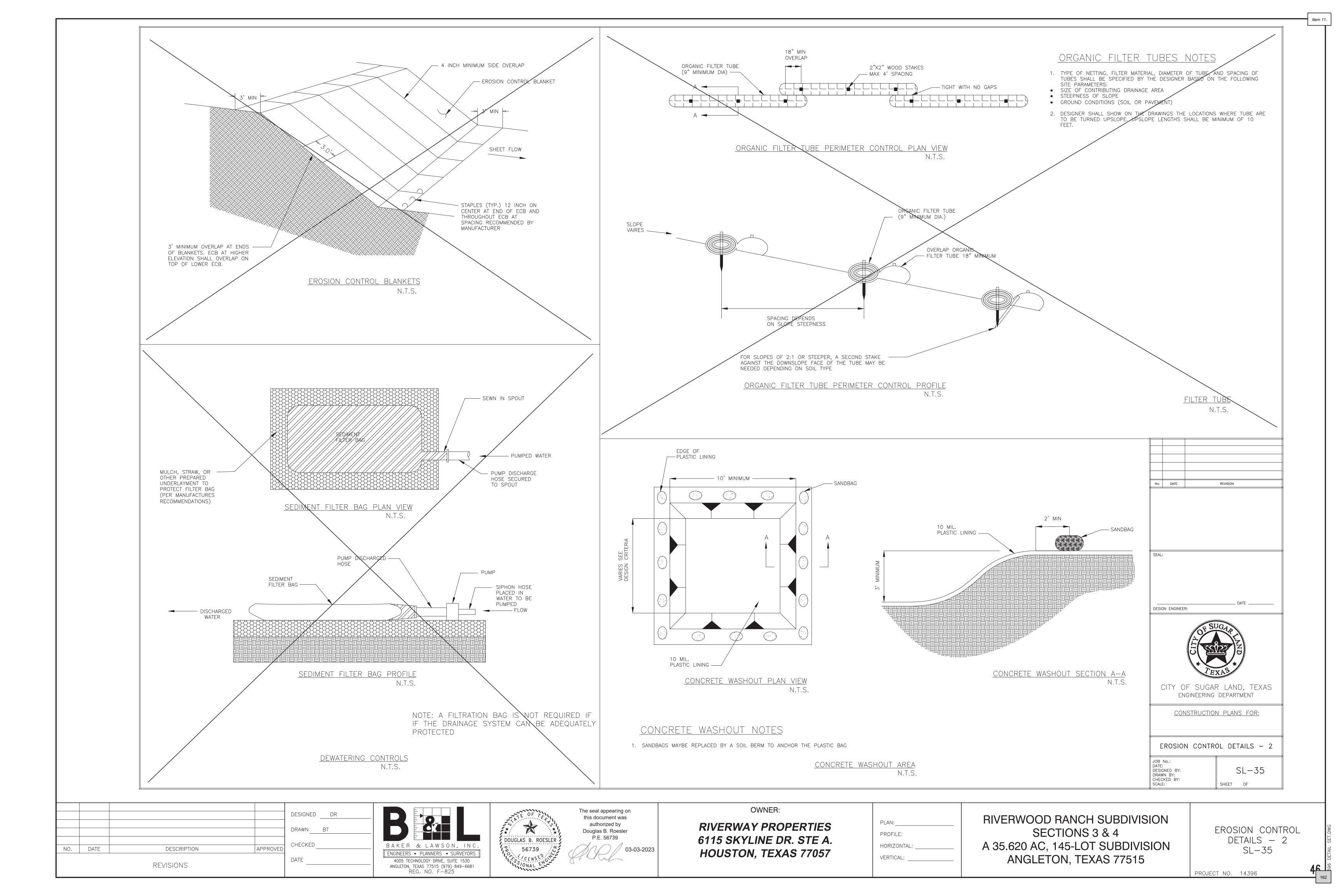
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Item 11



T MIN.	SILT FENCE GENERAL NOTES
17111 1 .	1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALL SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUS EMBEDDED A MINIMUM OF ONE FOOT.
r Chain	2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SP MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TREN FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CA TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON U SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
IC IS	3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INC

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:





# **APPLICATION FOR PLAT REVIEW/APPROVAL**

Date: 3/1/2023				
TYPE OF PLAT APPLICATION				
ADMINISTRATIVEPRELIMINARYFINALMINORRESIDENTIALRESIDENTIALIAMENDING/REPLATCOMMERCIALCOMMERCIALI				
Address of property: Riverwood Ranch, Section 3				
Name of Applicant:     Douglas B. Roesler/Robin Crouch     Phone:     979-849-6681				
Name of Company:     Baker & Lawson, Inc.     Phone:       E-mail:     droesler@bakerlawson.com				
Name of Owner of Property: Riverwood Ranch Land Holding LLC				
Address: 1027 Yale, Houston, Texas 77008				
Phone: 713-621-6111 E-mail: john@riverwayproperties.com				
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief.				
NOTARIAL STATEMENT FOR APPLICANT:				
Sworn to and subscribed before me this day of March , 20 23.				
(SEAL) ANGELA HAMMOND Notary Public STATE OF TEXAS NOTARY ID # 13104489-5 My Comm. Expires 03-15-2025 Notary Public for the State of Texas Commission Expires: 03-15-2025				

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

#### AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description) Tracts 2-2A-2B-3-3A-14 15 - Riverway Ranch Sections 3 & 4

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Riverway Ranch Land Holdings LLC

ADDRESS: 1027 Yale Street

APPLICANT PHONE # 713-621-6111 E-MAIL; john@riverwayproperties.com

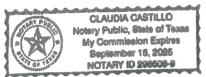
PRINTED NAME OF OWNER: Michael Foley

SIGNATURE OF OWNER:__

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 5 day of April . 2022

(SEAL)



Notary Public for the State of Texas

DATE:

Commission Expires:

#### PROJECT SUMMARY FORM

Address of property <u>NW corner of H</u>	ospital Drive and Buchta Road	Intersection	
The subject property fronts 1,290	feet on the West	side of Buchta	
Depth: 1,318 feet (max)	Area: 35.6	Acres: 1,550,736	square feet
INDICATE THE PURPOSE OF THE Section 3 of Riverwo			d
between Downing R	load, Hospital D	rive and Buchta	Road
Is this platting a requirement for obt	taining a building permit?X	YESNO	
INDICATE ADDITIONAL INFOR APPLICATION.	MATION THAT WILL AS	SIST WITH THE REVIEW (	OF THIS
Name: Rob: Crow	Date	3-1-23	

# SUBMITTAL REQUIREMENTS Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN DIX_A-1PLCE_S23-117PRPL

#### SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

- 1. A completed application form and application fee;
- 2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with \$117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
- 3. A preliminary utility plan showing all existing and proposed utilities;
- 4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
- 5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
- 6. A drainage report, as set out in section 23-15, Drainage and utilities;
- 7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
- 8. A current tax certificate(s);
- 9. Construction plans may be submitted at the option of the applicant;
- 10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
- 11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
- 12. Heritage tree survey and a tree preservation plan;
- 13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
- 14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

#### **PLAT FEES:**

#### **ADMINISTRATIVE PLAT**

\$250.00 Plus Review Expense

#### **REGULAR PLAT SUBMITTAL:**

*RESIDENTIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)<br/>200 Lots or less\$800.00 plus \$6.00 per lot200 Lots or less\$800.00 plus \$6.00 per lotMore than 200 Lots\$4.00 per additional lot over 200Plan Review Fee by City Engineer\$1,000.00deposit (If cost of review exceeds deposit amount,<br/>balance of cost will be billed at a later time).

*COMMERCIAL (Preliminary and Final Plat Fees	are separate and calculated as detailed herein)
Less than two acres	\$1,000.00
More than Two Acres	\$1,000.00 plus 25.00/additional acre
Plan Review Fee by City Engineer	\$1,000.00
deposit (If cost of review exceeds deposit amount,	
balance of cost will be billed at a later time)	

#### **OFFICE USE ONLY:**

Date received:	By:
Type of Plat:	
Description of individual charges:	
Total Fee Received:	By:
Proof of taxes received:Yes If no, exp	plain:
PRELIMINARY PLAT MEETINGS:	
Pre-submission conference/meeting date:	
Received Preliminary Plat on:	by
Preliminary plat staff meeting date:	
Planning & Zoning meeting date:	
City Council meeting date:	
FINAL PLAT MEETINGS:	
Received final plat onby	
Reviewed by Staff onby	
Planning & Zoning meeting date:	
City Council meeting date:	
Filed with County Clerk on:	
File-stamped copy to owner/developer on: _	



April 3, 2023

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: Riverwood Rach Section 3 Final Plat – 1st Submittal Review Comments

Dear Mr. Spriggs:

Attached is the updated referenced plat with the following comments addressed:

Final Plat - Sheet 1 of 2

1. Show existing Riverwood Ranch Section 1 in grey scale or dashed lines.

Shown in grey scale

- 2. Notate future Riverwood Ranch phases on Final plat. Notated
- 3. Show existing Northview Subdivision Section 1 in grey scale or dashed lines.

Shown in grey scale

We believe we have corrected all comments. Please contact us if you have any questions concerning the submittal.

Sincerely,

Ib: Cram

**Robin Crouch** 

#### FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, LLC, A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B&L), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47"52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00"(THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02'52'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER:

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER:

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET; NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90'00'(THE

CHORD BEARS NORTH 47'52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER; NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

CORNER: SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B&L, FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87'07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02"52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B&L, SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT OF WAY LINE OF HOSPITAL DRIVE;

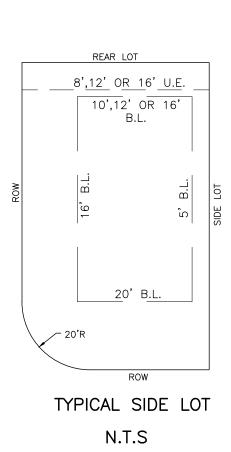
THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

			Curve To	able		Curve Table					
urve No.	Length	Radius	Delta	Chord Bearing	Chord Distance	Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C20	47.12'	30.00'	90°00'00"	S42°07'30"W	42.43'
C2	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C21	44.63'	30.00'	85°14'11"	N45°29'36"W	40.63'
C3	78.54'	50.00'	90°00'04"	N42°07'32"E	70.71'	C22	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C4	78.54'	50.00'	90°00'00"	N47°52'30"W	70.71'	C23	10.48'	20.00'	30°01'29"	S17°53'15"E	10.36'
C5	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'	C24	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C6	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C25	10.48'	20.00'	30°01'29"	N77°51'46"W	10.36'
C7	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C26	23.81'	50.00'	27°16'52"	S70°44'26"W	23.58'
C8	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'	C27	46.06'	50.00'	52°46'37"	N69°13'49"W	44.45'
С9	130.94'	50.00'	150°02'59"	N47°52'30"W	96.60'	C28	50.53'	50.00'	57°53'51"	N13°53'35"W	48.40'
C10	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'	C29	10.55'	50.00'	12°05'39"	N21°06'10"E	10.53'
C11	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C30	29.72'	50.00'	34°03'12"	N15°52'24"W	29.28'
C12	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'	C31	37.36'	50.00'	42°48'24"	N22°33'24"E	36.49'
C13	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'	C32	36.06'	50.00'	41°19'24"	N64°37'19"E	35.28'
C14	130.94'	50.00'	150°02'59"	N42°07'30"E	96.60'	C33	27.81'	50.00'	31°51'58"	S78°47'00"E	27.45'
C15	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'	C34	2.35'	50.00'	2°41'52"	S31°33'04"E	2.35'
C16	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C35	41.46'	50.00'	47°30'51"	S06°26'42"E	40.29'
C17	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'	C36	34.74'	50.00'	39°48'52"	S37°13'10"W	34.05'
C18	44.63'	30.00'	85°14'11"	N39°44'35"E	40.63'	C37	47.75'	50.00'	54°43'17"	S84°29'15"W	45.96'
C19	47.12'	30.00'	90°00'00"	S47°52'30"E	42.43'	C38	4.63'	50.00'	5°18'06"	N65°30'04"W	4.62'

	LINE TAE	BLE
Line No.	Length	Direction
L1	28.28'	N47°52'30"W
L2	80.00'	N02°52'30"W
L3	11.50'	N87°07'30"E
L4	60.00'	N02°52'30"W
L5	28.28'	S47°52'30"E
L6	70.00'	N87°07'30"E
L7	60.00'	N87°49'17"E
L8	60.00'	S86°25'43"W
L9	70.00'	S87°07'29"W
L10	28.28'	S42°07'31"W
L11	120.00'	S02°52'30"E

CORNER;

	DCK 1 FION 3		DCK 2 TION 3				CK 3 ION 3				CK 4 TON 3
PARCE	l table	PARCE	l table	PARCE	L TABLE	]	PARCE	L TABLE	] [	PARCE	l table
OT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	1	LOT NO.	AREA S.F.		LOT NO.	AREA S.F.
1	7,112	1	6,160	1	7,234		21	6,000		1	7,200
2	5,950	2	5,500	2	6,000	1	22	6,000		2	7,200
3	5,950	3	5,500	3	6,000	1	23	8,194		3	7,200
4	5,950	4	5,515	4	6,000		24	6,000		4	7,200
5	5,950	5	10,361	5	6,000	1	25	6,000		5	7,954
6	5,950	6	10,975	6	6,000	1	26	6,000		6	7,200
7	5,950	7	5,796	7	6,000	1	27	6,000		7	7,200
8	5,926	8	6,000	8	6,000		28	5,833		8	7,200
9	6,668	9	6,000	9	7,200		29	14,158		9	7,200
10	14,121	10	6,000	10	7,200	1	30	11,652		10	7,200
11	7,786	11	7,234	11	9,034	1	31	5,943		11	7,200
12	7,184			12	6,360	1	32	6,000	1 '		
13	6,000			13	6,000		33	6,000	1		
14	6,000			14	6,000		34	6,000	1		
15	8,910			15	6,000	1	35	6,000	1		
				16	6,000	1	36	7,234	1		
				17	6,000			•			
				18	6,000	1					
				19	7,200	]					
				20	8,434						



76

75

74

T.S. LEE

SURVEY A-318

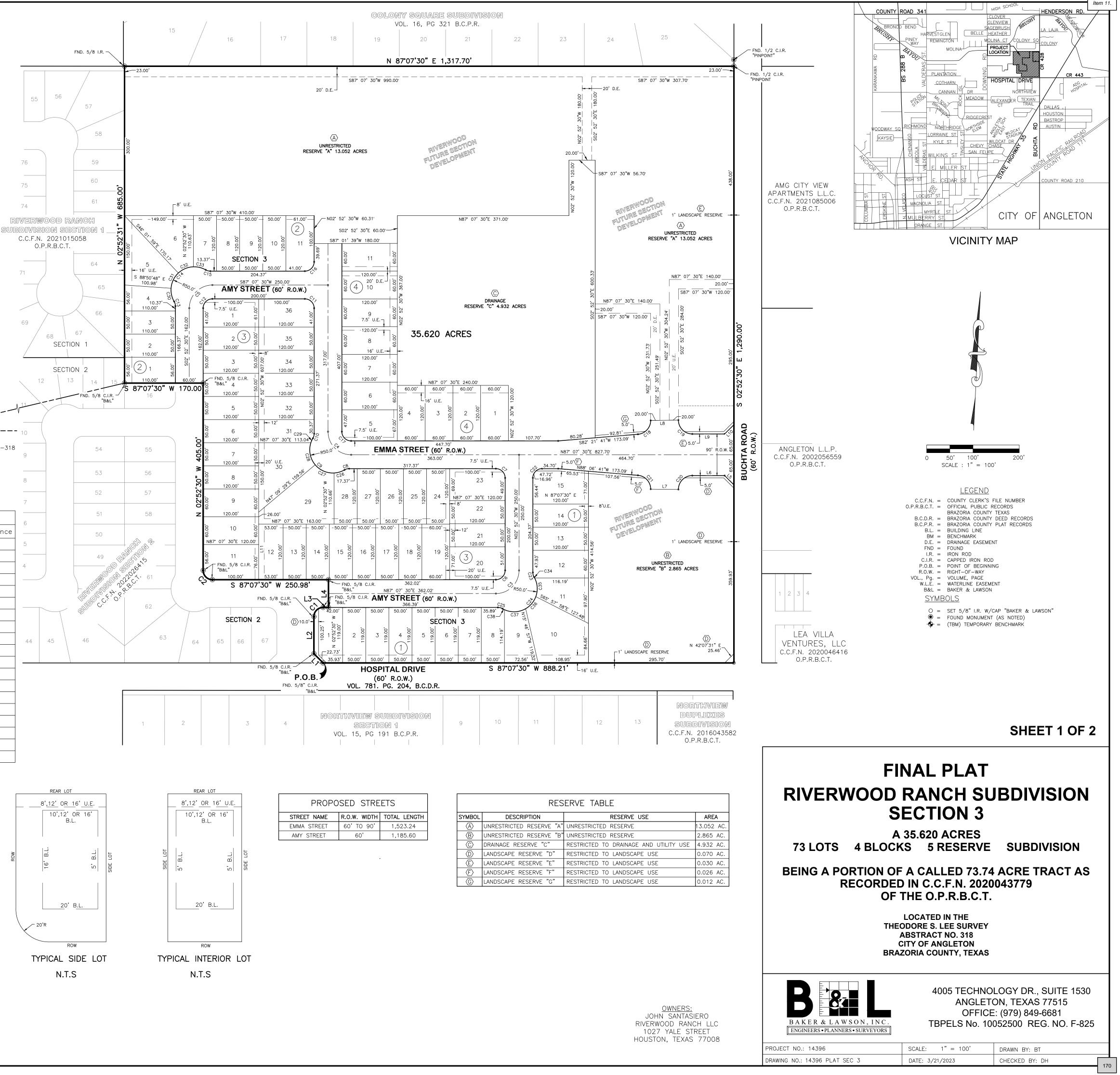
- SOUTHWEST CORNER

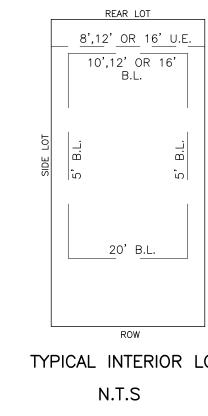
_____

OF T.S. LEE SURVEY A-318

I.T. TINSLEY

SURVEY A-375





PROPO	SED STRE	ETS
STREET NAME	R.O.W. WIDTH	TOTAL LENGTH
EMMA STREET	60'TO 90'	1,523.24
AMY STREET	60'	1,185.60

	RES	ERVE TABLE
SYMBOL	DESCRIPTION	RESE
$\langle A \rangle$	UNRESTRICTED RESERVE "A"	UNRESTRICTED RESER
B	UNRESTRICTED RESERVE "B"	UNRESTRICTED RESER
$\langle \mathbb{C} \rangle$	DRAINAGE RESERVE "C"	RESTRICTED TO DRAII
$\bigcirc$	LANDSCAPE RESERVE "D"	RESTRICTED TO LAND
E	LANDSCAPE RESERVE "E"	RESTRICTED TO LAND
Æ	LANDSCAPE RESERVE "F"	RESTRICTED TO LAND
G	LANDSCAPE RESERVE "G"	RESTRICTED TO LAND

#### OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON. OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION

OWNER'S ACKNOWLEDGEMENT:

#### STATE OF TEXAS § COUNTY OF BRAZORIA §

FROM ANYONE.

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

#### STATE OF TEXAS § COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

PLANNING AND ZONING COMMISSION AND CITY COUNCIL: COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY STATE OF TEXAS § COUNTY OF BRAZORIA § THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____,

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

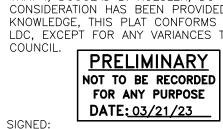
# RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT OR GUARANTEE: DISTRICT

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:



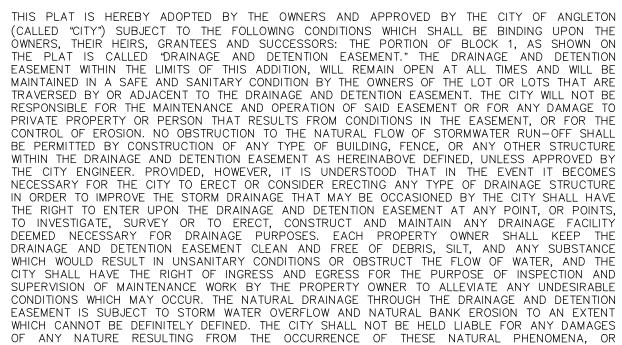
DOUGLAS B. ROESLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

DARREI HEIDRICH

SIGNED

### DRAINAGE AND DETENTION EASEMENT



ACCEPTED THIS THE _____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT. THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT

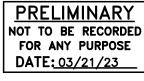
1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER. THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR IT'S PRINCIPALS OR AGENTS.

BOARD MEMBER

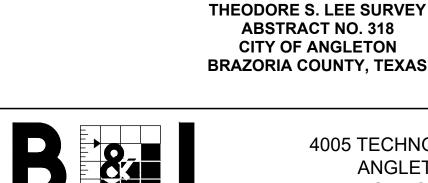
THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE. THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.



DATE REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 5378

> <u>OWNERS:</u> JOHN SANTASIERO RIVERWOOD RANCH LLC 1027 YALE STREET HOUSTON, TEXAS 77008



PROJECT NO.: 14396

DRAWING NO .: 14396 PLAT SEC 3

ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681



4005 TECHNOLOGY DR., SUITE 1530

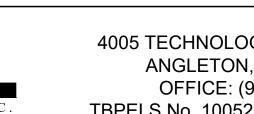
DRAWN BY: BT

CHECKED BY: DH

171



TBPELS No. 10052500 REG. NO. F-825



SCALE: 1'' = 100'

DATE: 3/21/2023

**RIVERWOOD RANCH SUBDIVISION** 

SHEET 2 OF 2

**FINAL PLAT** 

**SECTION 3** 

A 35.620 ACRES

73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION

**BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS RECORDED IN C.C.F.N. 2020043779** OF THE O.P.R.B.C.T.

LOCATED IN THE

13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.

11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.

SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER. 10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF

THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

- 9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER
- 8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- ELEVATION = 26.31 FEET NGVD29
- A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
- NGS MONUMENT R1182 (PID AW1171)
- LIABILITY ON THE PART OF THE SURVEYOR. 4. REFERENCE BENCHMARK:
- 3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE
- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
- <u>NOTES:</u> 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.

Item 11

# CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 8 BLOCKS, 145 LOTS IN THE CITY OF ANGLETON **BRAZORIA COUNTY** B&L JOB No. 14396

# CITY OF ANGLETON

# CITY COUNCIL

MAYOR JASON PEREZ

CITY MANAGER CHRIS WHITTAKER CHRISTIENE DANIEL CECIL BOOTH JOHN WRIGHT MARK GONGORA TRAVIS TOWNSEND

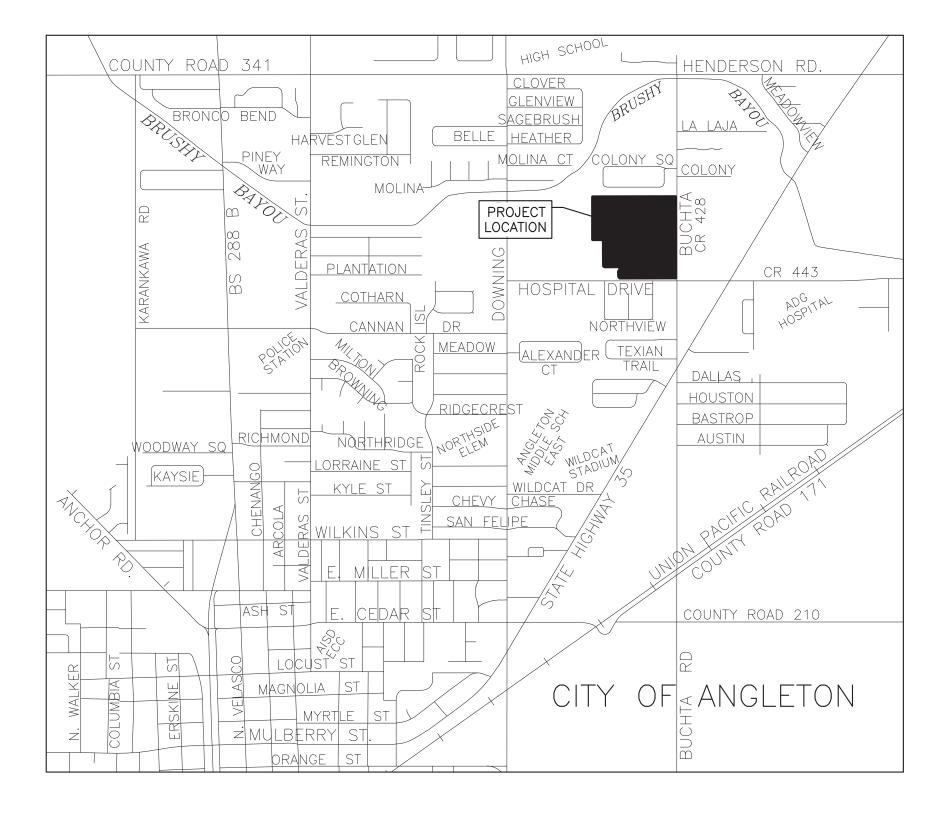
This subdivision lies within the Brushy Bayou Watershed.

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

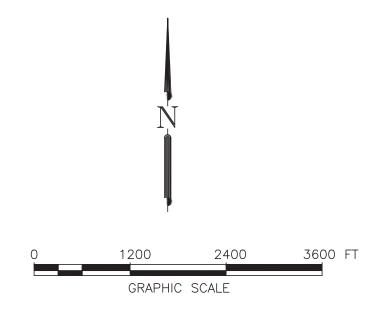
				DESIGNED DR	
				DRAWN BT	
NO.	DATE	DESCRIPTION	APPROVED	CHECKED	BAKER & LAWSON, INC.
		REVISIONS		DATE	ENGINEERS • PLANNERS • SURVEYORS 4005 TECHNOLOGY DRIVE, SUITE 1530 ANGLETON, TEXAS 77515 (979) 849-6681 REG. NO. F-825



X DOUGLAS B. ROESLE The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN: PROFILE: HORIZONTAL: VERTICAL:



INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
	TITLE SHEET
1	TITLE SHEET FINAL PLAT
- 2	CONSTRUCTION NOTES
3	EXISTING CONDITIONS & DEMOLITION
4	DRAINAGE AREA MAP
5	LOT GRADING PLAN
5 5A	CUT & FILL CALCULATION
6	UTILITY PLAN & SHEET LAYOUT
7	PLAN & PROFILE - EMMA STREET STA -0+80 TO 4+80
8	PLAN & PROFILE - EMMA STREET STA 4+80 TO 10+00
9	PLAN & PROFILE - EMMA STREET STA 10+00 TO 15+60
10	PLAN & PROFILE - ROBIN STREET STA -1+60 TO 4+20
11	PLAN & PROFILE - ROBIN STREET STA 4+20 TO 9+60
12	PLAN & PROFILE - ROBIN STREET STA 9+60 TO 15+20
13	PLAN & PROFILE - ROBIN STREET STA 15+20 TO 20+40
14	PLAN & PROFILE - AMY STREET STA 0+00 TO 3+20
15	PLAN & PROFILE - AMY STREET STA 3+20 TO 8+00
16	PLAN & PROFILE - AMY STREET STA 15+00 TO 17+80
17	PLAN & PROFILE - AMY STREET STA 17+80 TO 22+68
17A	PLAN & PROFILE - OUTFALL C & D
17B	PLAN & PROFILE - OUTFALL D & NORTH DITCH
17C	PLAN & PROFILE - NORTH DITCH
17D	PLAN & PROFILE - NORTH DITCH
18	DETENTION POND
19	SWPPP LAYOUT
20	SWPPP NARRATIVE
21	HYDROLOGICAL CALCULATIONS
22	WINDSTORM DATA RUN A & B
23	WINDSTORM DATA RUN C & D
24	PAVEMENT MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT
25	TRAFFIC CONTROL PLAN - TCP (2-5) - 18
26	HERITAGE TREE PRESERVATION PLAN

DETAIL SHEETS

27	MISCELLANEOUS DETAILS
28 (SL-03)	STORM SEWER MANHOLE CONSTR. DETAILS
29 (SL-08)	STORM SEWER INLET CONSTR. DETAILS II
30 (SL-09)	STORM SEWER INLET CONSTR. DETAILS III
31 (SL-10)	STORM SEWER CONSTR. DETAILS
32 (SL-11)	JUNCTION BOX MANHOLES
33 (SL-14)	SANITARY SEWER CONSTR. DETAILS
34 (SL-15)	WATER LINE CONSTR. DETAILS
35 (SL-16)	WATER LINE CROSSING DETAILS
36 (SL-19)	WATER LINE, SAN. SEW. F.M. BEDDING DETAILS
37 (SL-20)	STORM SEW. BEDDING AND BACKFILL DETAILS
38 (SL-21)	CONCRETE PAVEMENT CONSTR. DETAILS
39 (SL-22)	CONCRETE PAVEMENT CONSTR. DETAILS
40 (SL-23)	RESIDENTIAL CURB CONSTR. DETAILS
41 (SL-25)	WHEEL CHAIR RAMP & SIDEWALK DETAILS I
42 (SL-26)	WHEEL CHAIR RAMP & SIDEWALK DETAILS II
43 (SL-27)	DRIVEWAY CONSTR. DETAILS
44 (SL-33)	GENERAL EROSION CONTROL NOTES
45 (SL-34)	EROSION CONTROL DETAILS - 1
46 (SL-35)	EROSION CONTROL DETAILS - 2

**RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

TITLE SHEET

PROJECT NO. 14396

#### FIELD NOTES FOR 35.620 ACRE TRACT

BEING A 35.620 ACRE TRACT OF LAND, LOCATED IN THE T.S. LEE SURVEY, ABSTRACT NO. 318, IN BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 73.74 ACRE TRACT IN THE NAME RIVERWOOD RANCH LAND HOLDINGS, LLC, A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2020043779 OF THE OFFICIAL PUBLIC RECORDS BRAZORIA COUNTY TEXAS (O.P.R.B.C.T.), BEING REFERRED TO HEREIN AFTER AS THE ABOVE REFERENCE TRACT OF LAND, SAID 35.620 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH CAPPED IRON ROD, STAMPED "BAKER & LAWSON" (CAPPED B&L), FOUND ON THE SOUTH LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF HOSPITAL DRIVE (60' WIDE);

THENCE NORTHWESTERLY, OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 2 (RIVERWOOD S/D SEC 2), THE FOLLOWING COURSES AND DISTANCES:

NORTH 47°52'30" WEST, A DISTANCE OF 28.28 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET; NORTHEASTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00"(THE CHORD BEARS NORTH 42°07'30" EAST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER;

NORTH 02°52'30" WEST, A DISTANCE OF 80.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

NORTH 87°07'30" EAST, A DISTANCE OF 11.50 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER:

NORTH 02°52'30" WEST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER:

SOUTH 87°07'30" WEST, A DISTANCE OF 250.98 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER, SAID POINT BEING IN THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET; NORTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 90°00'00"(THE

CHORD BEARS NORTH 47'52'30" WEST, A DISTANCE OF 28.28 FEET) AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR CORNER; NORTH 02°52'30" WEST, A DISTANCE OF 405.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

CORNER: SOUTH 87°07'30" WEST, A DISTANCE OF 170.00 FEET TO A 5/8-INCH IRON ROD CAPPED "B & L" FOUND FOR

THENCE NORTH 02°52'31" WEST, CONTINUING OVER AND ACROSS SAID 73.74 ACRE TRACT, SAME BEING THE EAST LINE OF SAID RIVERWOOD S/D SEC 2 AND THE EAST LINE OF RIVERWOOD RANCH SUBDIVISION SECTION 1 (RIVERWOOD S/D SEC 1) AS RECORDED IN C.C.F.N. 2021015058 OF THE O.P.R.B.C.T., PASSING AT A DISTANCE OF 55.00 FEET THE SOUTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1, CONTINUING A TOTAL DISTANCE OF 685.00 FEET TO A 5/8-INCH IRON ROD CAPPED B&L, FOUND FOR THE NORTHWEST CORNER OF SAID 35.620 ACRE TRACT, SAME BEING ON THE NORTH LINE OF THE ABOVE REFERENCED TRACT, THE SOUTH LINE OF COLONY SQUARE SUBDIVISION, AS RECORDED IN VOLUME 16, PAGE 321 OF THE BRAZORIA COUNTY PLAT RECORDS AND THE NORTHEAST CORNER OF SAID RIVERWOOD S/D SEC 1;

THENCE NORTH 87'07'30" EAST, ALONG THE NORTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE SOUTH LINE OF SAID COLONY SQUARE SUBDIVISION, A DISTANCE OF 1,317.70 FEET TO A 1/2 INCH IRON ROD WITH CAP STAMPED "PINPOINT" FOUND FOR THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING ON THE WEST RIGHT-OF-WAY LINE OF BUCHTA ROAD (60' WIDE);

THENCE SOUTH 02°52'30" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID BUCHTA ROAD, A DISTANCE OF 1,290.00 FEET TO A 5/8-INCH CAPPED IRON ROD, CAPPED B&L, SET FOR THE SOUTHEAST CORNER OF THE ABOVE REFERENCED TRACT, SAME BEING ON SAID NORTH RIGHT OF WAY LINE OF HOSPITAL DRIVE;

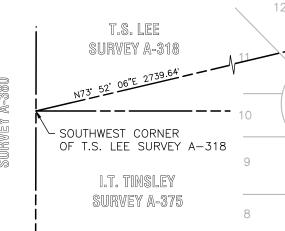
THENCE SOUTH 87°07'30" WEST, ALONG THE SOUTH LINE OF THE ABOVE REFERENCED TRACT OF LAND, SAME BEING THE NORTH RIGHT-OF-WAY LINE OF SAID HOSPITAL DRIVE, A DISTANCE OF 888.21 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, CONTAINING 35.620 ACRES OF LAND, MORE OR LESS.

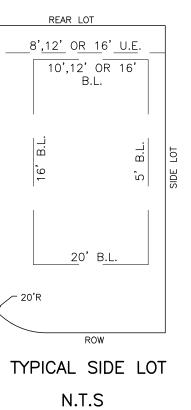
			Curve To	able		Curve Table					
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance	Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C20	47.12'	30.00'	90°00'00"	S42°07'30"W	42.43'
C2	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C21	44.63'	30.00'	85°14'11"	N45°29'36"W	40.63'
С3	78.54'	50.00'	90°00'04"	N42°07'32"E	70.71'	C22	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C4	78.54'	50.00'	90°00'00"	N47°52'30"W	70.71'	C23	10.48'	20.00'	30°01'29"	S17°53'15"E	10.36'
C5	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'	C24	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C6	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C25	10.48'	20.00'	30°01'29"	N77°51'46"W	10.36'
C7	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C26	23.81'	50.00'	27°16'52"	S70°44'26"W	23.58'
C8	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'	C27	46.06'	50.00'	52°46'37"	N69°13'49"W	44.45'
C9	130.94'	50.00'	150°02'59"	N47°52'30"W	96.60'	C28	50.53'	50.00'	57°53'51"	N13°53'35"W	48.40'
C10	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'	C29	10.55'	50.00'	12°05'39"	N21°06'10"E	10.53'
C11	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'	C30	29.72'	50.00'	34°03'12"	N15°52'24"W	29.28'
C12	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'	C31	37.36'	50.00'	42°48'24"	N22°33'24"E	36.49'
C13	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'	C32	36.06'	50.00'	41°19'24"	N64°37'19"E	35.28'
C14	130.94'	50.00'	150°02'59"	N42°07'30"E	96.60'	C33	27.81'	50.00'	31°51'58"	S78°47'00"E	27.45'
C15	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'	C34	2.35'	50.00'	2°41'52"	S31°33'04"E	2.35'
C16	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'	C35	41.46'	50.00'	47°30'51"	S06°26'42"E	40.29'
C17	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'	C36	34.74'	50.00'	39°48'52"	S37°13'10"W	34.05'
C18	44.63'	30.00'	85°14'11"	N39°44'35"E	40.63'	C37	47.75'	50.00'	54°43'17"	S84°29'15"W	45.96'
C19	47.12'	30.00'	90°00'00"	S47°52'30"E	42.43'	C38	4.63'	50.00'	5°18'06"	N65°30'04"W	4.62'

LINE TABLE							
Line No.	Length	Direction					
L1	28.28'	N47°52'30"W					
L2	80.00'	N02°52'30"W					
L3	11.50'	N87°07'30"E					
L4	60.00'	N02°52'30"W					
L5	28.28'	S47°52'30"E					
L6	70.00'	N87°07'30"E					
L7	60.00'	N87°49'17"E					
L8	60.00'	S86°25'43"W					
L9	70.00'	S87°07'29"W					
L10	28.28'	S42°07'31"W					
L11	120.00'	S02°52'30"E					

CORNER;

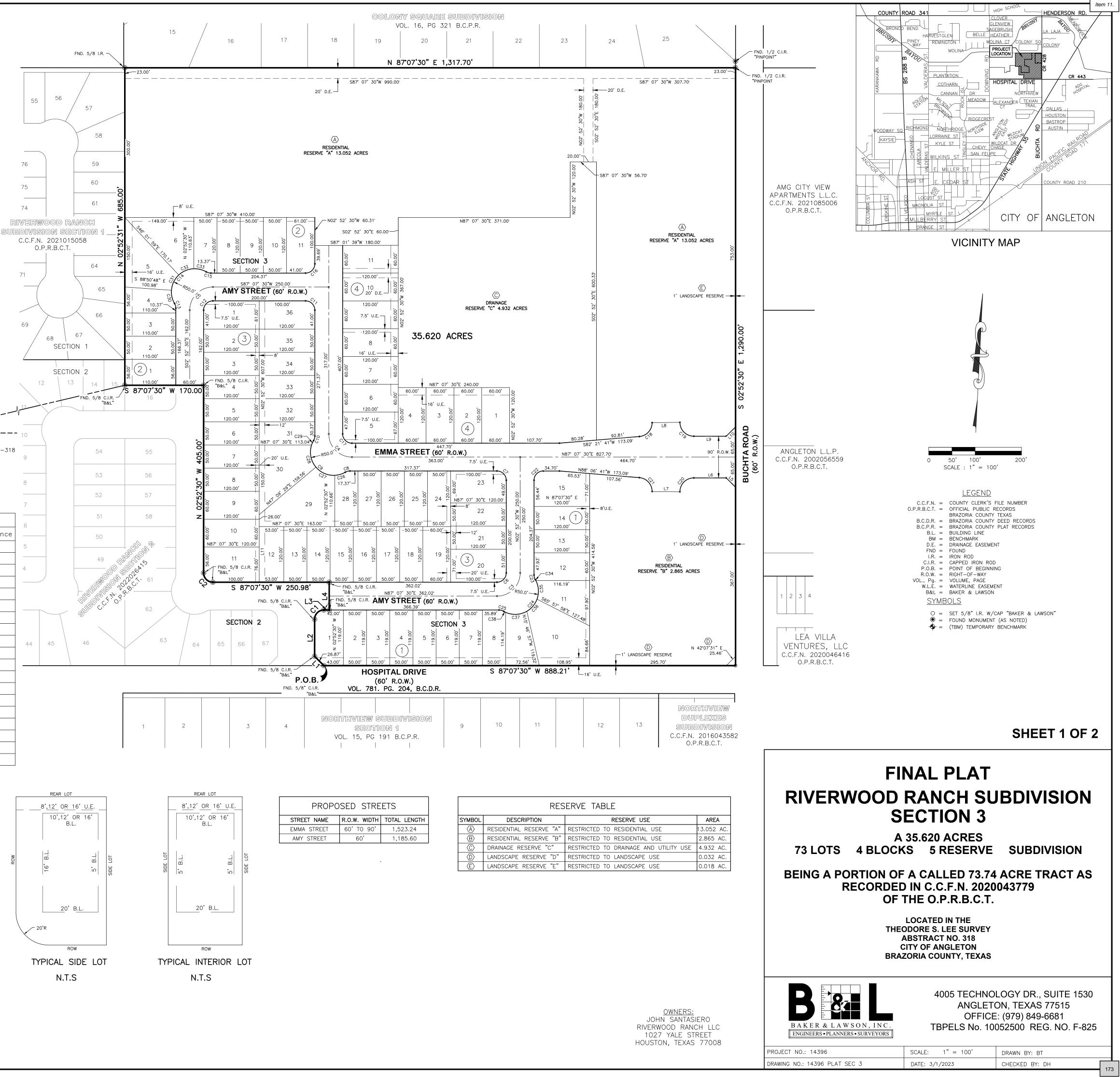
	DCK 1 FION 3		DCK 2 TION 3				CK 3 ION 3				OCK 4 TION 3
PARCE	L TABLE	PARCE	L TABLE	PARCE	L TABLE		PARCE	l table	P/	RCE	L TABLE
LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	LOT NO.	AREA S.F.	1	LOT NO.	AREA S.F.	LOT	NO.	AREA S.F.
1	7,112	1	6,160	1	7,234		21	6,000	1		7,200
2	5,950	2	5,500	2	6,000	1	22	6,000	2		7,200
3	5,950	3	5,500	3	6,000		23	8,194	3		7,200
4	5,950	4	5,515	4	6,000		24	6,000	4		7,200
5	5,950	5	10,361	5	6,000	1	25	6,000	5		7,954
6	5,950	6	10,975	6	6,000	1	26	6,000	6		7,200
7	5,950	7	5,796	7	6,000	1	27	6,000	7		7,200
8	5,926	8	6,000	8	6,000	1	28	5,833	8		7,200
9	6,668	9	6,000	9	7,200	1	29	14,158	9		7,200
10	14,121	10	6,000	10	7,200	1	30	11,652	10	)	7,200
11	7,786	11	7,234	11	9,034	1	31	5,943	1.	l	7,200
12	7,184			12	6,360	1	32	6,000			
13	6,000			13	6,000	1	33	6,000			
14	6,000			14	6,000	1	34	6,000			
15	8,910			15	6,000	1	35	6,000			
				16	6,000		36	7,234			
				17	6,000	1					
				18	6,000	]					
				19	7,200	1					
				20	8,434						

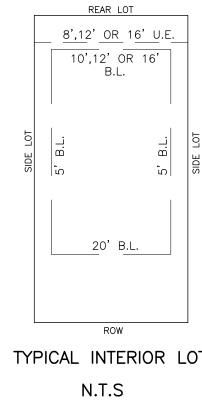




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74





PROPOSED STREETS							
STREET NAME	R.O.W. WIDTH	TOTAL LENGTH					
EMMA STREET	60'TO 90'	1,523.24					
AMY STREET	60'	1,185.60					

	RES	ERVE TABLE
SYMBOL	DESCRIPTION	RESER
$\langle A \rangle$	RESIDENTIAL RESERVE "A"	RESTRICTED TO RESID
B	RESIDENTIAL RESERVE "B"	RESTRICTED TO RESID
Ô	DRAINAGE RESERVE "C"	RESTRICTED TO DRAIN
$\langle D \rangle$	LANDSCAPE RESERVE "D"	RESTRICTED TO LAND
E	LANDSCAPE RESERVE "E"	RESTRICTED TO LAND

#### OWNER'S ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, PRESIDENT OF RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS RIVERWOOD RANCH, SECTION 3, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS, ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON. OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING PERMISSION

OWNER'S ACKNOWLEDGEMENT:

#### STATE OF TEXAS § COUNTY OF BRAZORIA §

FROM ANYONE.

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

JOHN SANTASIERO, PRESIDENT RIVERWOOD RANCH LLC, A TEXAS LIMITED LIABILITY COMPANY

#### STATE OF TEXAS § COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN SANTASIERO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

PLANNING AND ZONING COMMISSION AND CITY COUNCIL: COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

CITY SECRETARY

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL, CITY OF ANGLETON, TEXAS.

JASON PEREZ, MAYOR

CITY SECRETARY STATE OF TEXAS § COUNTY OF BRAZORIA § THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20____,

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

# RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT OR GUARANTEE: DISTRICT

CHAIRMAN, BOARD OF SUPERVISORS

BOARD MEMBER

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOW ALL MEN BY THESE PRESENTS:

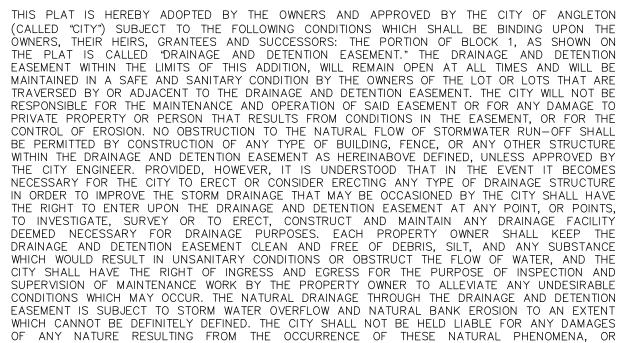
COUNCIL.

SIGNED

STATE OF TEXAS § COUNTY OF BRAZORIA §

SIGNED

## DRAINAGE AND DETENTION EASEMENT



ACCEPTED THIS THE _____ DAY OF _____, 20____, BY THE ANGLETON DRAINAGE DISTRICT. THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT. 2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. 3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES. THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR IT'S PRINCIPALS OR AGENTS.

BOARD MEMBER

THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE. THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY  $\mathbf{X}$ DOUGLAS B. ROESLER DATE

DOUGLAS B. ROESLER 56739

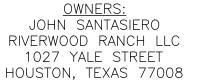
PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

KNOW ALL MEN BY THESE PRESENTS:

THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

> DARREL HEIDRICH DATE REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 5378







DRAWING NO.: 14396 SEC 3-4 FINAL PLAT

PROJECT NO.: 14396

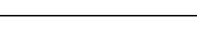
4005 TECHNOLOGY DR., SUITE 1530 ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPELS No. 10052500 REG. NO. F-825

DRAWN BY: BT

CHECKED BY: DH

174





SHEET 2 OF 2

13. THE PURPOSE OF THE 1' WIDE RESERVE IS TO RESTRICT DRIVEWAY ACCESS TO BUCHTA ROAD AND HOSPITAL DRIVE. THE CITY OF ANGLETON WILL MAINTAIN THE 1' WIDE RESERVE.

**FINAL PLAT** 

**RIVERWOOD RANCH SUBDIVISION** 

**SECTION 3** 

A 35.620 ACRES

73 LOTS 4 BLOCKS 5 RESERVE SUBDIVISION

**BEING A PORTION OF A CALLED 73.74 ACRE TRACT AS RECORDED IN C.C.F.N. 2020043779** OF THE O.P.R.B.C.T.

> LOCATED IN THE **THEODORE S. LEE SURVEY ABSTRACT NO. 318** CITY OF ANGLETON **BRAZORIA COUNTY, TEXAS**

> > SCALE: 1'' = 100'

DATE: 12/02/2022

12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN DRAINAGE RESERVES A & B.

- THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD. 11. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION TO MAINTAIN LANDSCAPE RESERVE.
- 10. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF
- 9. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 8. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 7. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 6. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 5. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.

- ELEVATION = 26.31 FEET NGVD29
- A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
- 4. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1171)
- LIABILITY ON THE PART OF THE SURVEYOR.
- OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE
- 2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET. 3. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K AND 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE
- 1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 35.620 ACRES INTO A 73 LOT 5 RESERVE SUBDIVISION.

<u>NOTES:</u>

	1.	GENERAL CONSTRUCTION NOTES . CONTRACTOR SHALL NOTIFY THE "UNDERGROUND UTILITY COORDINATING COMMITTEE" (TELEPHONE NO. (979) 849–4364 AND THE CITY OF ANGLETON (TELEPHONE NO. (979) 849–4364) 48 HOURS BEFORE STARTING WORK IN STREET RIGHT-OF-WAYS OR EASEMENTS.		. RATE OF APPLICATION FOR LI (QUALITY BASE ON 100 #/ C YARD FOR SIX (6) INCH STAE MIXED MORE THAN ONE INCH
	2	. ALL EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM INFORMATION AVAILABLE, CONTRACTOR HAS SOLE RESPONSIBILITY FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS. CONTRACTOR SHALL		SUBGRADE SHALL BE BROUGH OPERATIONS THEN LEFT TO C AFTER FINAL MIXING IS COMP STABILIZED SUBGRADE SHALL
	3.	COORDINATE ALL CONFLICTS WITH THE APPROPRIATE GOVERNING AGENCY. NO SEPARATE PAY. . CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUBPART P AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989.		STAKES (BLUE TOPS) AND AF PERCENT (95%) OF THE STAN COMPLETED SECTIONS SHALL OR SUBSTANTIAL SUPPLY HOS
	4.	CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD MOST RECENT EDITION AS REVISED) DURING CONSTRUCTION.		WITH ADDITIONAL COURSES. EQUIPMENT, SCRAPERS AND C COMPLETED LIME STABILIZED TRUCKS AND ROLLERS USED
	5.	. CONTRACTOR SHALL COVER OPEN EXCAVATIONS IN PUBLIC STREETS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS.		APPROVAL OF THE ENGINEER. ON COMPLETED AREAS UNLES COMPACTED AND TESTED FOR
	6.	. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.		<ul> <li>FORMS SHALL BE EITHER WOO SUFFICIENTLY STAKED TO AVO BOARDS SHALL BE STAKED W POUR. METAL STAKES ARE A</li> <li>REINFORCING SHALL BE SECU</li> </ul>
	7.	. EXISTING PAVEMENTS, CURBS, SIDEWALKS, CULVERTS AND DRIVEWAYS (ADJACENT TO THE WORK) DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO EQUAL OR BETTER THAN THEIR ORIGINAL CONDITION AT CONTRACTOR EXPENSE.		SHALL BE SECURELY TIED. F USE. PLASTIC CHAIR OF THE SUFFICIENT TO SUPPORT REIN
	8.	. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK. CONTRACTOR SHALL TAKE NECESSARY ACTIONS TO PROTECT THE EXISTING SURFACES OUTSIDE THE WORK AREA FROM THE EQUIPMENT USED. ALL TRACKED MACHINERY (STREET PADS INCLUDED) SHALL NOT BE OPERATED DIRECTLY ATOP THE PAVEMENT WITHOUT APPROPRIATE PADDING AND PROTECTION OF THE SURFACES. ANY MARRED OR DISTRESSED AREAS SHALL BE REMOVED AND RESTORED WITH NEW MATERIALS TO THE SATISFACTION OF THE ENGINEER. ANY EXISTING DISTRESSED AREAS SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO OPERATIONS IN THE WORK AREA.		<ul> <li>PRIOR TO CONCRETE PLACEMI FORM GRADES TO THE ENGINI BE RECORDED AT 10' INTERV PRIOR TO CONCRETE PLACEMI</li> <li>CONCRETE FOR STREET PAVEN THAN FIVE AND ONE HALF (5 HAVE MORE THAN SIX AND O SLUMP SHALL NOT EXCEED F</li> </ul>
	9.	. ALIGNMENT, CENTERLINE CURVE DATA AND STATIONING TO BE VERIFIED BY ON-THE-GROUND SURVEY FROM APPROVED SUBDIVISION PLAT (OR APPROVED PLOT FOR OFF SITE EASEMENTS), AND ELEVATIONS OF ALL CONNECTIONS TO EXISTING FACILITIES TO BE CONFIRMED PRIOR TO WORK START. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.		STRENGTH OF TWO THOUSAND CONCRETE SHALL BE PLACED POSSIBLE. USE OF AN APPR AND SMALL AREAS WHERE A "JITTERBUG" SHALL BE USED.
	10.	. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.		WILL ALSO BE REQUIRED. AL SURFACE SHALL BE TYPICALL` AS REQUIRED BY THE APPLIC
	11.	. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK.		. FLY ASH SHALL MAKE UP FRI SHALL CONFORM TO ASTM C
		. ALL UTILITY TRENCHES TO BE BACK FILLED TO 90 PERCENT (90%) STANDARD PROCTOR DENSITY UNLESS OTHERWISE NOTED.	00	. CURING COMPOUND SHALL BE OF ONE GALLON PER TWO HU . EXPANSION JOINTS SHALL BE
		<ul> <li>ALL SURVEY, LAYOUT, MEASUREMENT, AND GRADE STAKE WORK SHALL BE PERFORMED BY BAKER &amp; LAWSON, INC. AS PART OF THE WORK UNDER THIS CONTACT.</li> <li>BAKER &amp; LAWSON, INC. WILL PROVIDE EXPERIENCED INSTRUMENT MEN, COMPETENT ASSISTANTS,</li> </ul>		AN APPROVED LIST RUBBERIZ COMPONENT POLYMERIC SELF
		AND SUCH INSTRUMENTS, TOOLS, STAKES, AND OTHER MATERIALS REQUIRED TO COMPLETE THE SURVEY, LAYOUT AND MEASUREMENT WORK.		. CONTRACTOR WILL NOT PERMI OF SEVEN (7) CURING DAYS HUNDRED (3500) P.S.I. TAKES DEPARTMENT.
		HAULED TO A STATE APPROVED DISPOSAL SITE OR AS DIRECTED BY THE ENGINEER. AN EXISTING LANDFILL APPROXIMATELY 10 MILES FROM THE PROJECT SITE IS THE NEAREST STATE APPROVED FEE FACILITY. ALL REFUSE MATERIALS (BROKEN CONCRETE, TREES, ASPHALT, ETC.) SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.		. CONCRETE FOR CURB SHALL MINIMUM FIVE (5) SACK CEME SMALL AGGREGATE BATCH DES
	16.	. PLAN QUANTITIES WILL BE USED FOR FINAL PAYMENT UNLESS DESIGN CHANGES ARE MADE DURING CONSTRUCTION.	23	. A CONCRETE MIX DESIGN OF STANDARD CONCRETE BATCH
		CONSTRUCTION NOTES FOR PAVING & DRAINAGE		OF TXDOT MATERIAL SPECIFIC, VOLUME OF THE SPECIFIED C MINIMUMS AND DEVELOPMENT IN EFFECT AND SHALL BE VE
		GUIDELINES SET FORTH IN THE MANUAL ON UNIFORM CONTROL DEVICES SHALL BE OBSERVED. FILL SHALL BE PLACED IN MAXIMUM 8" LOOSE LIFTS AND COMPACTED TO 95% OF OPTIMUM		BY A GEOTECHNICAL LAB AND ENGINEERING/PUBLIC WORKS
	3.	DENSITY AS DETERMINED USING TESTING METHOD ASTM D698. CONTRACTOR RESPONSIBLE FOR MAINTAINING BARRICADES TO PREVENT TRAFFIC FROM USING	24	. ALL PAVEMENT SAW CUT REQ PAVING REMOVAL PAY ITEM R
	Δ	NEW PAVEMENT UNTIL PROJECT IS COMPLETED AND ACCEPTED BY PROPER AUTHORITY OR AS AUTHORIZED BY ENGINEER. B-B INDICATES ROAD WIDTH TO BACK OF CURB. CURB RADII ARE TO FACE OF CURB. T.C.		. BLOCK SOD SHALL BE PLACE CONSTRUCTED CURBS AND TO
		INDICATES TOP OF CURB ELEVATIONS (BASED ON 4" CURB UNLESS OTHERWISE NOTED) T.P. INDICATES TOP OF PAVEMENT ELEVATION. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM SPACING OF 40-FOOT INTERVALS (SAWCUTS @ 20'(2 1/2"DEEP), LONGITUDINAL JOINTS SHALL BE AT MAXIMUM OF		. THE CONTRACTOR WILL BE RE SUSPEND OPERATIONS DURING NO CONCRETE SHALL BE PLA CONCRETE SHALL BE PLACED THE CONTRACTOR SHALL KEE
		14-FOOT SPACING. WOOD JOINT SHALL BE SOUND HEART REDWOOD.		TO PLACE OVER AND PROTEC UNPREDICTED RAINS.
		6-INCH CONCRETE PAVEMENT TO BE 5.5 SACK MIX MIN. (3,500 PSI) REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60. PROVIDE MINIMUM 18-INCH LAPS. (36 BAR DIA) SAW CUT TO EXPOSE EXISTING LONGITUDINAL STEEL REQUIRED TO CREATE A MINIMUM	27	. CUL-DE-SACS TO BE PAVED WASTEWATER CONSTRU
	7.	TWELVE-INCH (12") OVERLAP OF PROPOSED AND EXISTING LONGITUDINAL REINFORCING STEEL WHEN MAKING A CONNECTION TO EXISTING CONCRETE PAVEMENT. WHERE SPACING OF EXISTING LONGITUDINAL STEEL DIFFERS FROM PROPOSED STEEL SPACING, NOTIFY THE ENGINEER.	;	CONTRACTOR SHALL PROVIDE CITY OF ANGLETON. SEPARATION DISTANCES FOR A
		USE PLASTIC CHAIRS TO SUPPORT REINFORCEMENT AT 24-INCH SPACING EACH WAY. SUBGRADE TO BE STABILIZED 1-FOOT BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. EXCESS LIME STABILIZED SOIL SHALL BE UTILIZED IN THE PREPARATION OF SUBGRADE FOR		GOVERNED BY THE "TEXAS NA REGULATIONS FOR DESIGN CO CRITERIA FOR SEWAGE SYSTEM
		DRIVEWAYS. THERE WILL BE NO PAYMENT FOR PREPARING SUBGRADE FOR DRIVEWAYS AND SIDEWALKS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE ASSOCIATED CONCRETE PAY ITEMS. SUBGRADE PREPARATION FOR DRIVEWAYS AND PAVING SHALL INCLUDE PROOF	3.	MAINTAIN 12-INCH MINIMUM N AND CULVERTS, UNLESS OTHE
	10.	ROLLING. SOFT AREAS TO BE EXCAVATED AND RECOMPACTED TO ADJACENT SOIL DENSITY.	4.	WHERE SANITARY SEWER LINE THAN 6-INCHES VERTICAL SE RATED P.V.C. SANITARY SEWER
	11.	. BACK FILL AND BEDDING FOR HEADWALL STRUCTURES, TYPE "C" INLETS, R.C.P. LEADS AND STORM SEWERS SHALL BE WITH 1.5 SACK CEMENT. STABILIZED SAND SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90% OF DENSITY DETERMINED BY STANDARD MOISTURE—DENSITY	_	INCLUDE COST OF WATER LIN SEWER IN APPROPRIATE SIZES
		RELATION (ASTM D-698) AT OPTIMUM MOISTURE AND SHALL BE PLACED AND FINISHED WITHIN 3 HRS. OF MIXING. TEMPORARY TRAVEL WAY SURFACE SHALL BE WITH CEMENT STABILIZED LIMESTONE. PAYMENT FOR THESE ITEMS SHALL BE SUBSIDIARY TO THE VARIOUS STRUCTURAL		CONTRACTOR TO NOTIFY OWNI TRENCH CONDITIONS. SANITARY SEWER LEADS UNDE
		BID ITEMS. VERIFICATION OF CEMENT STABILIZED SAND MIXTURE SHALL BE FURNISHED UPON REQUEST OF ENGINEER.	0.	BACK FILLED WITH CEMENT S CEMENT STABILIZED SAND BAC FOR LEADS.
	12.	. THE SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES (BLUE TOPS) AND APPROVED BY THE ENGINEER BEFORE LIME IS APPLIED.	7.	LOW PRESSURE AIR TEST SHA SHALL BE AS ESTABLISHED B NO SEPARATE PAY.
		DESIGNED DR		
		DRAWN BT		
NO.	DATE	DESCRIPTION APPROVED CHECKED		BAKER & LAWSON, ENGINEERS • PLANNERS • SURV
		REVISIONS DATE		4005 TECHNOLOGY DRIVE, SUI ANGLETON, TEXAS 77515 (979) REG. NO. F-825

IME SHALL BE SEVEN PERCENT (7%) OF THE DRY WEIGHT OF SOIL C.F.) OR THIRTY ONE AND ONE HALF (31.5) POUNDS PER SQUARE BILIZED SUBGRADE. LIME STABILIZED SUBGRADE SHALL NOT BE IN EXCESS OF THE REQUIRED DEPTH. LIME STABILIZED GHT TO THE OPTIMUM MOISTURE CONTENT DURING THE FIRST MIXING CURE FOR TWO CURING DAYS BEFORE FINAL MIXING CAN BEGIN. PLETED AND BEFORE SOIL DENSITY TESTS ARE TAKEN. LIME BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE PPROVED BY THE ENGINEER. DENSITY SHALL BE NINETY-FIVE NDARD PROCTOR DENSITY AT OPTIMUM MOISTURE. TESTED AND BE KEPT MOIST CURED ON A DAILY BASIS WITH WATER TRUCKS SES FOR THE ENTIRE PERIOD THE SURFACE REMAINS UNCOVERED AFTER FINAL TESTING AND APPROVAL IS COMPLETE, TRACK OTHER HEAVY EQUIPMENT WILL NOT BE PERMITTED ON THE AREA. LIGHT MOTOR GRADERS, RUBBER TIRED TRACTORS, WATER IN THE FINISHING OPERATIONS WILL BE PERMITTED WITH THE CONCRETE AND LOADED HAUL TRUCKS ARE STRICTLY PROHIBITED SS THE TRAVELED AREA REGARDLESS OF CONDITION IS REMIXED APPROVAL A SECOND TIME.

OD OR STEEL, OF GOOD QUALITY, FREE OF WARP AND DID SHIFTING WHEN LOAD IS APPLIED. ALL REDWOOD EXPANSION VITH 1X2 REDWOOD STAKES AND ALLOWED TO REMAIN WITHIN THE APPROVED FOR USE TO STAKE METAL KEYWAYS.

IRELY TIED AT ALL INTERSECTIONS AND SPLICES. ALL DOWELS REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST AT TIME OF CORRECT HEIGHT SHALL BE USED. SPACING SHALL BE NFORCEMENT.

IENT, CONTRACTOR SHALL PRESENT A CERTIFIED COPY OF TOP OF IEER FOR REVIEW AND APPROVAL. ELEVATIONS OF FORMS SHALL VALS. ADJUSTMENTS TO FORMS SHALL BE COMPLETE 4 HRS.

MENTS SHALL BE "CLASS A" CONCRETE, SHALL NOT HAVE LESS 1/2) SACKS OF CEMENT PER CUBIC YARD, AND SHALL NOT )NE HALF (6 1/2) GALLONS OF WATER PER SACK OF CEMENT. FIVE (5) INCHES AND SHALL DEVELOP A MODULUS OF RUPTURE FIVE HUNDRED (2500) P.S.I. AT TWENTY EIGHT (28) DAYS. IN SUCH A MANNER AS TO REQUIRE AS LITTLE HANDLING ROVED VIBRATING SCREED WILL BE REQUIRED. AT INTERSECTIONS VIBRATORY SCREED CAN NOT BE USED, A HAND VIBRATOR OR USE OF A TEN FOOT (10') CONCRETE PAVEMENT STRAIGHT EDGE LL EXPOSED JOINTS SHALL BE EDGED AS NOTED ON DETAILS. ( A BELT FINISH OR BROOM FINISH (COARSE, MEDIUM OR LIGHT)

CATION AND DIRECTED BY THE ENGINEER. ROM 20-25% BY VOLUME OF THE SPECIFIED CEMENT VOLUME AND 618. CLASS F.

TYPE II WITH WHITE PIGMENT. APPLIED AT THE UNDILUTED RATE UNDRED (200) SQUARE FEET.

CLEANED, WIRE BRUSHED, BLOWN OR FLAME DRIED SEALED WITH ZED HOT LAID ASPHALT JOINT AND CRACK SEALANT OR A TWO (2) LEVELING COLD APPLIED SEALANT.

IT TRAFFIC ON NEW CONCRETE PAVEMENT UNTIL BOTH A MINIMUM AND MODULUS OF RUPTURE STRENGTH OF THIRTY THOUSAND FIVE ES PLACE OR AS APPROVED BY THE ENGINEER/PUBLIC WORKS

BE A 3000 P.S.I. PERFORMANCE STRENGTH CONCRETE WITH A ENT PER CUBIC YARD CONTENT. CURB CONCRETE MIX MAY BE A SIGN.

CONCRETE PLUS FLY ASH MAY BE SUBSTITUTED IN LIEU OF THE DESIGN. THE FLY ASH SHALL CONFORM TO THE REQUIREMENTS ATION D-9-8900, AND SHALL NOT EXCEED 25% BY ABSOLUTE CEMENT CONTENT. THE MODULUS OF RUPTURE STRENGTHS PERIOD OF THE STANDARD CONCRETE MIX DESIGN SHALL REMAIN ERIFIED BY A CONCRETE BATCH MIX DESIGN PREPARED AND TESTED SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY DEPARTMENT PRIOR TO PAVING OPERATIONS.

UIRED IN THE PLANS SHALL BE CONSIDERED SUBSIDIARY TO THE REQUIRING IT.

D 16" (ONE BLOCK WIDTH) WIDE ALONG THE EDGE OF ALL NEWLY DRIVEWAY REPLACEMENT LIMITS.

SPONSIBLE FOR ANALYZING WEATHER CONDITIONS AND TO G PERIODS WHEN ADVERSE WEATHER CONDITIONS APPEAR LIKELY. ACED WHEN THE TEMPERATURE IS 35°F AND RISING. HOWEVER, NO WHEN THE CONCRETE TEMPERATURE IS ABOVE 100°F. P SUFFICIENT LENGTH OF COVERING MATERIAL ON THE JOB SITE CT THE SURFACE OF "FRESH" CONCRETE DURING PERIODS OF

COMPLETELY WITH <u>NO</u> ISLANDS

# JCTION NOTES

RECORD OF LOCATION OF ALL STACKS, STUBS, LEADS, ETC. TO

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE ATURAL RESOURCE CONSERVATION COMMISSION RULES AND DNSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN EMS "SECTION 317.20," LATEST PRINTING.

VERTICAL CLEARANCE AT CROSSINGS BETWEEN SANITARY SEWERS ERWISE NOTED.

CROSSES A WATER LINE WITH LESS THAN 9-FEET BUT MORE PARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF PRESSURE R (ASTM D2241, CLASS 150, SDR 26) CENTERED ON WATER LINE. E CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR SANITARY

VER'S REPRESENTATIVE UPON ENCOUNTERING ANY UNSUITABLE

PER OR WITHIN 1' OF EXISTING OR FUTURE PAVEMENT SHALL BE TABILIZED SAND UP TO WITHIN 1' OF TOP OF PAVING SUBGRADE ACK FILL FOR LEADS SHALL BE INCLUDED IN THE BID UNIT PRICE

ALL BE CONDUCTED PER TNRCC TAC 317.2. HOLDING TIMES BY TNRCC. CONTRACTOR TO PROVIDE TEST PLUGS AND RISERS.

X

- 8. CONTRACTOR TO OPEN CUT ALL SANITARY SEWER CONSTRUCTION UNLESS NOTE OTHER WISE. SEWER SERVICES TO BE INSTALLED FULL WIDTH OF ROADWAY.-NO HALF STREET INSTALLATIONS.
- 9. CONTRACTOR SHALL AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED SERVICE AND SHALL AVAIL OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.
- 10. ALL SINGLE AND DOUBLE SERVICE LEAD SHALL BE A MINIMUM SIX INCH (6") UNLESS OTHERWISE DIRECTED BY THE ENGINEER/PUBLIC WORKS AND/OR FIELD ADJUSTED BY THE UTILITY DEPARTMENT IN THE FUTURE.

WATER CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN CONTRACT DOCUMENTS. THRUST BLOCKING SHALL BE CLASS "B" CONCRETE 2500 P.S.I. AND SHALL BE SUBSIDIARY TO THE BID ITEM PERTINENT TO ITS USE. ALL CEMENT STABILIZED SAND BACKFILL SHALL BE 1.5 SK/CY CEMENT CONTENT. ALL M.J. D.I. FITTINGS WILL HAVE M.J. RESTRAINTS (STARGRIP OR EQUAL) WRAP FITTINGS & RESTRAINTS WITH 10 MIL POLY.
- 2. SEPARATION DISTANCES OF ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS," SECTION 317.20, LATEST PRINTING.
- 3. ALL 4" THROUGH 12" WATER MAINS TO BE P.V.C. PIPE, AWWA C-900, CLASS 150, SDR 18, MEETING THE REQUIREMENTS OF ANSI/NSF 61 UNLESS OTHERWISE NOTED.
- 4. WATER LINES UNDER OR WITHIN 1 FEET OF NEW OR EXISTING PAVEMENTS (STREETS AND DRIVEWAYS) SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND AS SPECIFIED IN THE CONSTRUCTION DETAIL.
- PROVIDE A MINIMUM SIX-INCHES (6") OF CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS.
- 6. 4-INCH THROUGH 12-INCH LINES TO HAVE A MINIMUM OF 4'-O" COVER BELOW TOP OF CURB. UNLESS OTHERWISE NOTED, VARY FLOW LINE UNIFORMLY FROM DEPTH SHOWN ON PLANS.
- 7. CENTERLINE OF FIRE HYDRANT TO BE LOCATED AT 3' FROM BACK OF CURB WITH CENTERLINE OF STEAMER NOZZLE 22 INCHES ABOVE FINISHED GRADE. TURN STEAMER OUTLET TO FACE STREET.
- WHERE WATER LINE CROSSES SANITARY SEWER LINE OR LEAD WITH LESS THAN NINE FEET (9') VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF WATER LINE CENTERED ON LEAD. INCLUDE COST OF LEAD CROSSING IN UNIT PRICE BID PER LINEAR FOOT FOR WATER LINE IN APPROPRIATE SIZES.
- 9. THE CONTRACTOR AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED FLOW TO ALL SERVICES AND MAINS AND SHALL AVAIL OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.

# <u>CENTERPOINT ENERGY / ENTEX NOTES</u>

CAUTION: UNDERGROUND GAS FACILITIES

LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY, INTRASTATE PIPELINE, LLC. WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE NOT USUALLY SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE. THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT (979) 849-4364 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

- * WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (800) 752-8036 OR (713) 659-2111 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.
- * WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
- * WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
- * FOR EMERGENCIES REGARDING GAS LINES CALL (800) 659-2111 OR (713) 659-2111.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-5769.

# WARNING: OVERHEAD ELECTRICAL FACILITIES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL CENTERPOINT ENERGY AT 713-207-2222.

#### SBC NOTES

THE LOCATIONS OF SOUTHWESTERN BELL TELEPHONE CO. UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.

#### TEXAS NEW MEXICO POWER NOTES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTMPETD TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO POWER AT (979) 829-5776.

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023

#### OWNER:

# **RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN: PROFILE: HORIZONTAL: VERTICAL:

#### GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ANGLETON CONSTRUCTION MANUAL (ACM) AND LAND DEVELOPMENT CODE, HEREAFTER REFERRED TO THE ACM AND THE LDC.

2. APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, ADEQUACY, AND COMPLIANCE OF THE SUBMITTED PLANS.

3. ALL RESPONSIBILITY FOR RESTS ON DESIGN ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY MUST RELY ON THE ADEQUACY AND ACCURACY OF THE DESIGN ENGINEER.

4. DESIGNS SHALL BE IN COMPLETE COMPLIANCE WITH THE LDC AND THE ACM. ANY WAIVER, DEVIATION, VARIANCE, OR EXCEPTION FROM ANY SPECIFIC REQUIREMENT(S) OF THE LDC OR ACM THAT WERE NOT EXPRESSLY REQUESTED WHEN PLANS ARE SUBMITTED, SHALL NOT BE CONSTRUED TO HAVE BEEN GRANTED IF PLANS ARE APPROVED. IT IS THE RESPONSIBILITY OF THE ENGINEER TO MAKE SUCH A WAIVER PROACTIVELY WHEN PLANS ARE SUBMITTED.

5. A MINIMUM OF TWO EXISTING BENCHMARKS SHOULD BE SHOWN ON THE PLANS. IN ADDITION, TWO PERMANENT BENCHMARKS PER SUBDIVISION SHALL BE INSTALLED IN EACH NEW SUBDIVISION TO INCLUDE DESCRIPTION, LOCATION, AND ELEVATION AND TIE TO CITY STANDARDS.

6. CAST BRONZE SURVEY MARKERS SHALL BE PLACED IN CONCRETE IN PERMANENT, ACCESSIBLE LOCATIONS AT THE TIME OF CONSTRUCTION. THE LOCATIONS OF THE MARKERS SHALL BI INDICATED ON THE CONSTRUCTION PLANS. A MINIMUM OF ONE MARKER SHALL BE PLACED FOR EACH 20 ACRES OF THE PROJECT.

7. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY, THE DEVELOPER'S CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES, THE CITY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

8. THE CONTRACTOR SHALL PROVIDE THE CITY A MINIMUM OF 48 HOURS' NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.

9. BARRICADES, BUILT TO CITY SPECIFICATIONS, SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB SAFETY. 10. IF BLASTING IS PLANNED, A BLASTING PERMIT MUST BE SECURED PRIOR TO COMMENCEMENT OF ANY BLASTING.

11. ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION. 12. THE LOCATION OF ANY WATER OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE PUBLIC WORKS DEPARTMENT.

13. USE ONE CALL UTILITY SYSTEM: DIAL 1-800-344-8377, 48 HOURS BEFORE YOU DIG. 14. ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE. SPECIAL NOTES

15. THE SUBGRADE MATERIAL IN RIVERWOOD RANCH SUBDIVISION WAS TESTED BY INTERTEK PSI ON DECEMBER 6, 2019 AND THE STREET SECTION DESIGNED ACCORDING TO THE LDC AND ACM.

16. CONSTRUCTED STREET SECTIONS SHALL SHOW THE FOLLOWING:

FOR PLANS, WHEN APPLICABLE.

a. PROVIDE STREET NAMES, WIDTH OF R.O.W., OR OTHER METHODS TO IDENTIFY PROPOSED DESIGN OF DIFFERENT PAVEMENT THICKNESS. IN WRITING OR GRAPHICALLY, DESCRIBE THE STREET SECTION(S) TO BE CONSTRUCTED.

b. MANHOLE FRAMES, COVERS, AND WATER VALVE COVERS WILL BE RAISED TO FINISHED PAVEMENT GRADE AT THE OWNER'S EXPENSE BY A QUALIFIED CONTRACTOR WITH CITY INSPECTION. ALL UTILITY ADJUSTMENTS SHALL BE COMPLETED PRIOR TO FINAL PAVING CONSTRUCTION.

CROWNS OF INTERSECTING STREETS WILL CULMINATE IN A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED. INLETS ON THE INTERSECTING STREET SHALL NOT BE CONSTRUCTED WITHIN 40 FEET OF THE VALLEY GUTTER, UNLESS OTHERWISE NOTEL

d. PRIOR TO FINAL ACCEPTANCE OF A STREET OUTSIDE THE CITY LIMITS, STREET NAME SIGNS CONFORMING TO COUNTY STANDARDS SHALL BE INSTALLED BY DEVELOPER. e. SIDEWALK REQUIREMENTS (GIVE STREET NAME AND LOCATION OF REQUIRED SIDEWALK, I.E.,

NORTH, SOUTH, EAST, OR WEST SIDE). f. A CURB LAY DOWN WHERE REQUIRED WHEN ALL POINTS OF SIDEWALKS INTERSECTS CURBS

g. INSIDE THE CITY LIMITS, SIDEWALKS SHALL BE COMPLETED PRIOR TO ACCEPTANCE OF ANY DRIVEWAY APPROACHES AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY. WHEN OUTSIDE THE CITY LIMITS, A LETTER OF CREDIT MAY BE POSTED OR OTHER SUITABLE FINANCIAL ARRANGEMENTS MAY BE MADE TO ENSURE CONSTRUCTION OF THE SIDEWALKS. IN FITHER CASE, SIDEWALKS ADJACENT TO "COMMON AREAS", PARKWAYS, OR OTHER LOCATIONS ON WHICH NO BUILDING CONSTRUCTION WILL TAKE PLACE, MUST BE CONSTRUCTED PRIOR TO FINAL ACCEPTANCE OF THE SUBDIVISION.

h. A LICENSE AGREEMENT FOR LANDSCAPING MAINTENANCE AND IRRIGATION IN STREET R.O.W, SHALL BE EXECUTED BY THE DEVELOPER IN PARTY WITH THE CITY PRIOR TO FINAL ACCEPTANCE.

17. CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

#### CONSTRUCTION SEQUENCING

CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

OBTAIN A DEVELOPMENT PERMIT FROM THE CITY.

PROVIDE THE CITY WITH EVIDENCE ALL TCEQ LICENSES AND REQUIREMENTS ARE UP TO DATE.

INSTALL TEMPOROARY EROSION CONTROLS AND TREE PROTECTION FENCING PRIOR TO ANY CLEARING AND GRUBBING. NOTIFY THE CITY WHEN INSTALLED.

ROUGH-CUT ALL REQUIRED OR NECESSARY PONDS. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUCH BE CONSTRUCTED PRIOR TO DEVELOPMENT OF ANY AMBANKMENT OR AXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A LOW-LEVEL OUTLET AND AN EMERGENCY OVERFLOW MEETING THE REQUIREMENTS OF THE LDC. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL RESTORATION IS ACHIEVED.

DELIVER APPPROVED ROUGH-CUT SHEETS TO THE CITY ENGINEER PRIOR TO CLEARING AND GRUBBING.

ROUGH GRADE STREETS. NO DEVELOPMENT OF EMBANKEMENT WILL BE PERMITTED AT THIS TIME. INSTALL ALL UTILITIES TO BE LOCATED UNDER THE PROPOSED PAVEMENT OR WITHIN THE ROAD RIGHT-OF-WAY.

DELIVER STORM SEWER CUR SHEETS TO THE CITY ENGINEER.

BEGIN INSTALLATION OF STORM SEWER LINES. UPON COMPLETION, RESTORE AS MUCH DISTURABED AREAS AS POSSIBLE, PARTICULARLY CHANNELS AND LARGE OPEN AREAS.

DELIVER FINAL GRADE CUT SHEETS TO THE CITY ENGINEER.

RE-GRADE STREETS TO SUB-GRADE.

ENSURE THAT UNDERGROUND UTILITY CROSSINGS ARE COMPLETED. LAY 1ST/ COURSE BASE MATERIAL ON STREETS.

INSTALL CURB AND GUTTER

LAY FINAL BASE COURSE ON ALL STREETS.

PLACE CONCRETE.

COMPLETE FINAL GRADING AND RESTORATION OF DETENTION, SEDIMENTATION/FILTRATION PONDS.

COMPLETE PERMANENT EROSION CONTROL AND RESTORAMATION OF SITE VEGETATION.

REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS

COMPLETE ANY NECESSARY FINAL DRESS UP OF AREAS DISTURBED

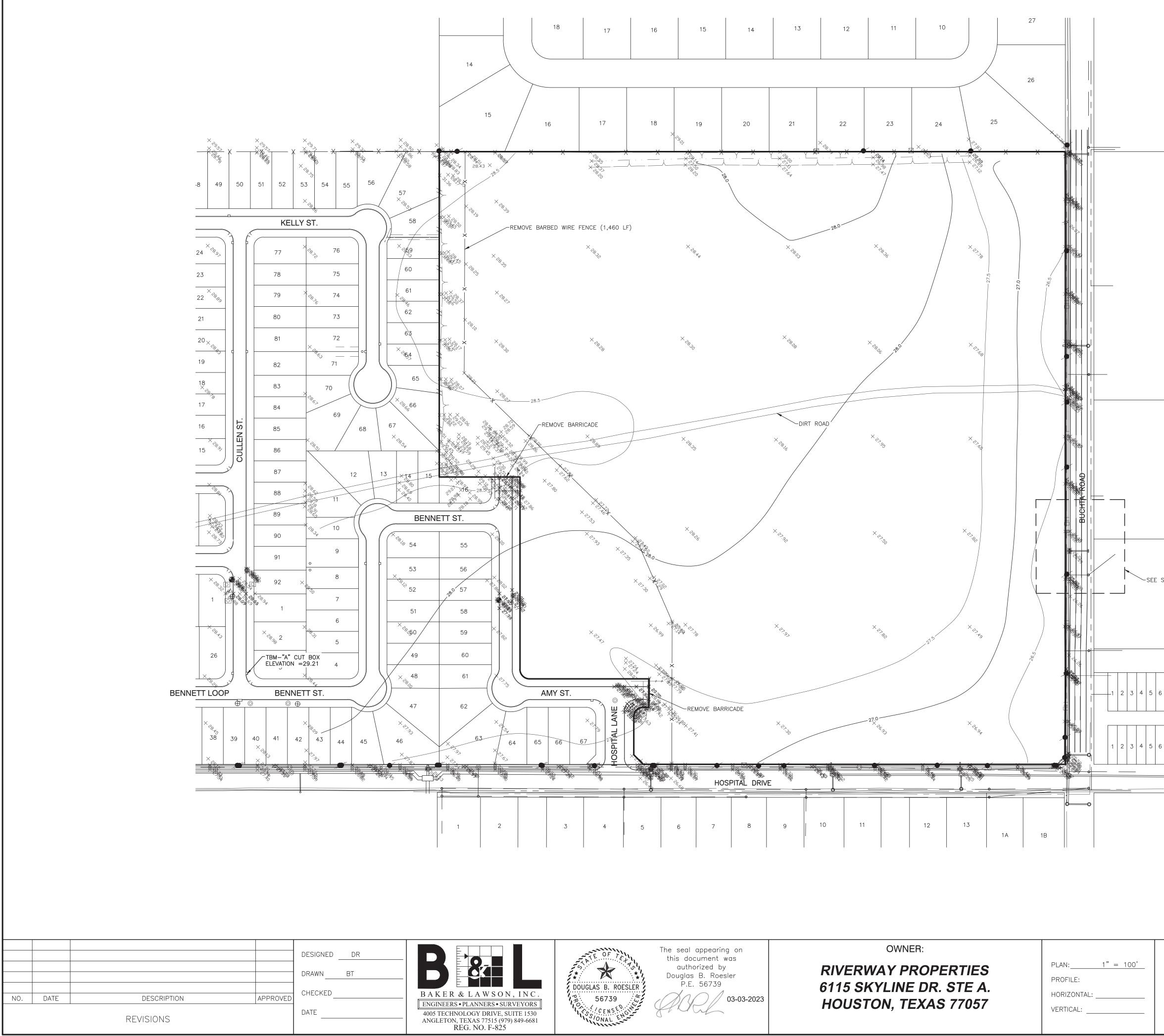
# **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

# CONSTRUCTION NOTES

175

Item 11

PROJECT NO. 14396

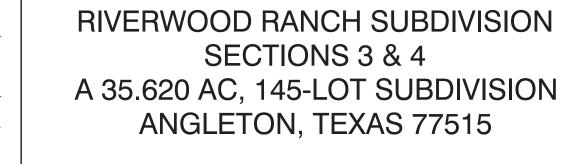


0 50 100 20 SCALE : 1" = 100'	Item 11
SYMBOLS LEGEND	

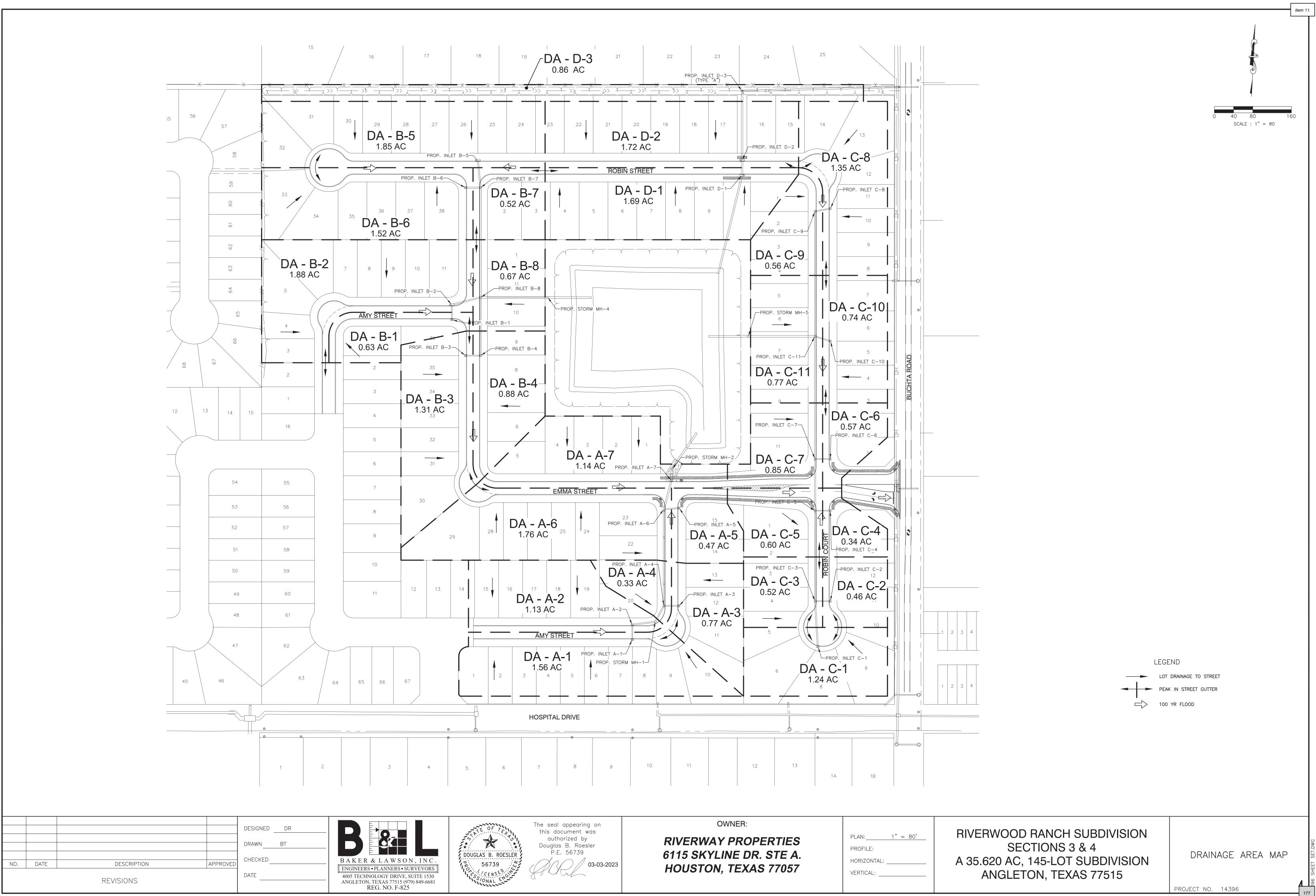
- 1. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1171) A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29.
  - 2. SITE BENCHMARK:

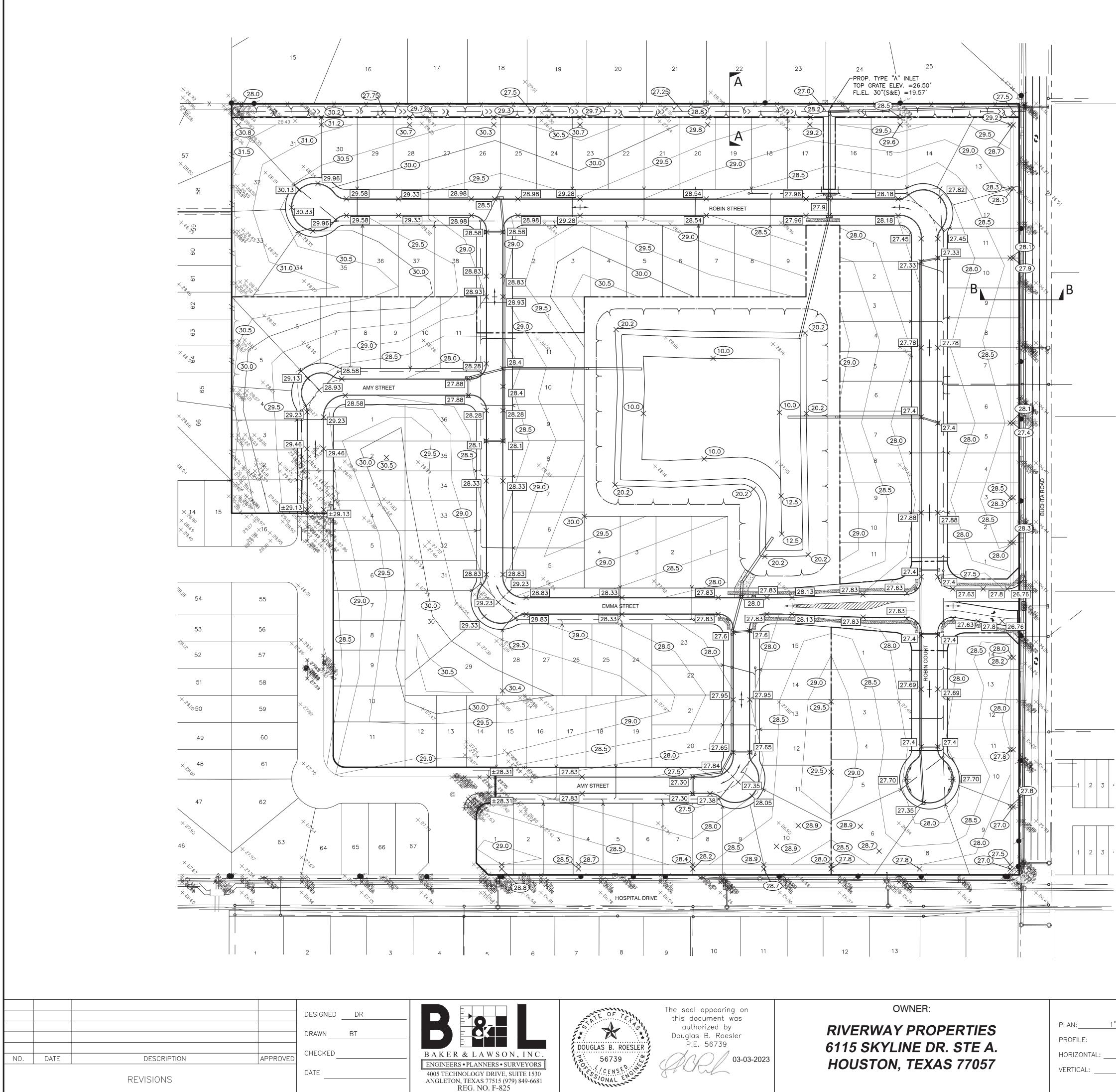
SEE SHEET 9

TBM "A": A CUT BOX ON AN INLET ON THE EAST SIDE OF CULLEN STREET APPROXIMATELY 41' NORTH FROM THE INTERSECTION WITH BENNETT STREET. ELEVATION = 29.21'

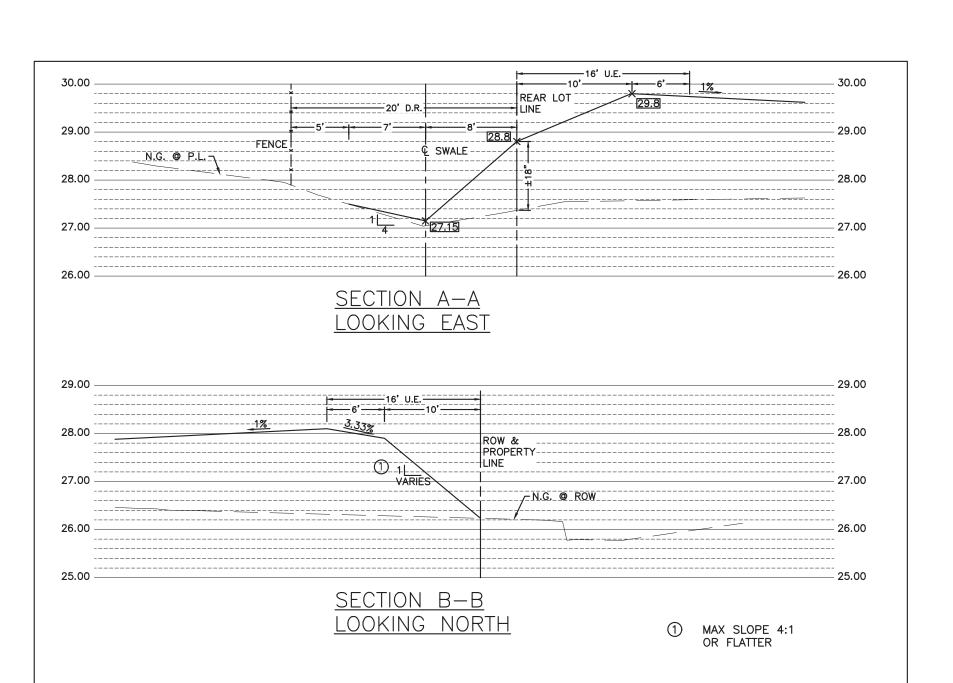


# EXISTING CONDITION & DEMOLITION





1" = 80'



	Pavement	Curb
	area	length
Section 3	86,130	5,466
Section 4	65,647	4,224

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

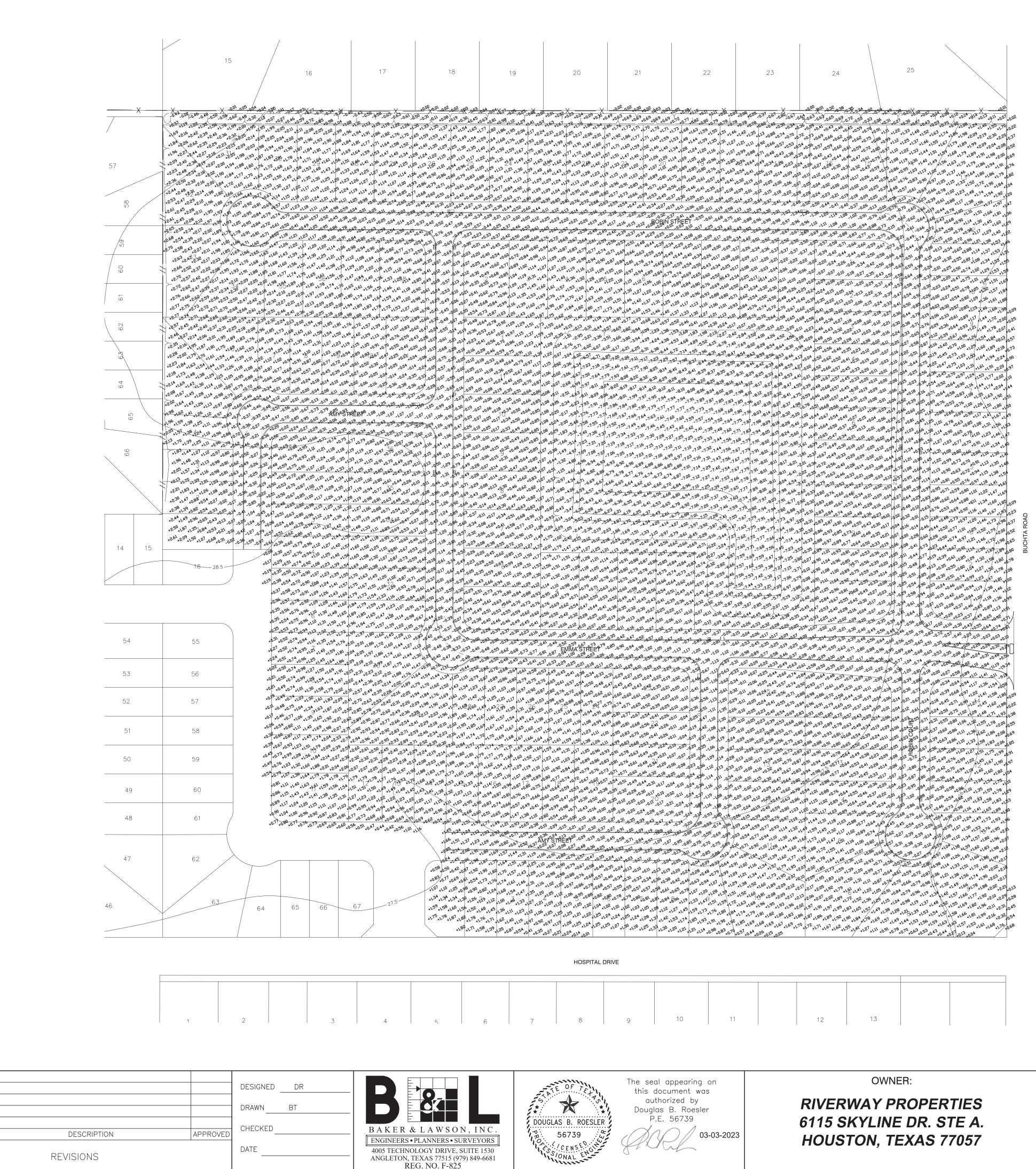
LOT GRADING PLAN

178

Item 11.

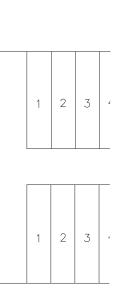
SCALE : 1" = 80'

PROJECT NO. 14396



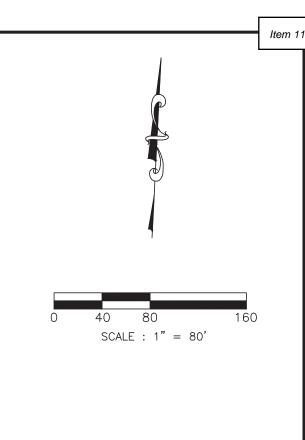
NO.

DATE



6 7	8 9	10	11	12	13	

1" = 80' PLAN: PROFILE: HORIZONTAL: VERTICAL:

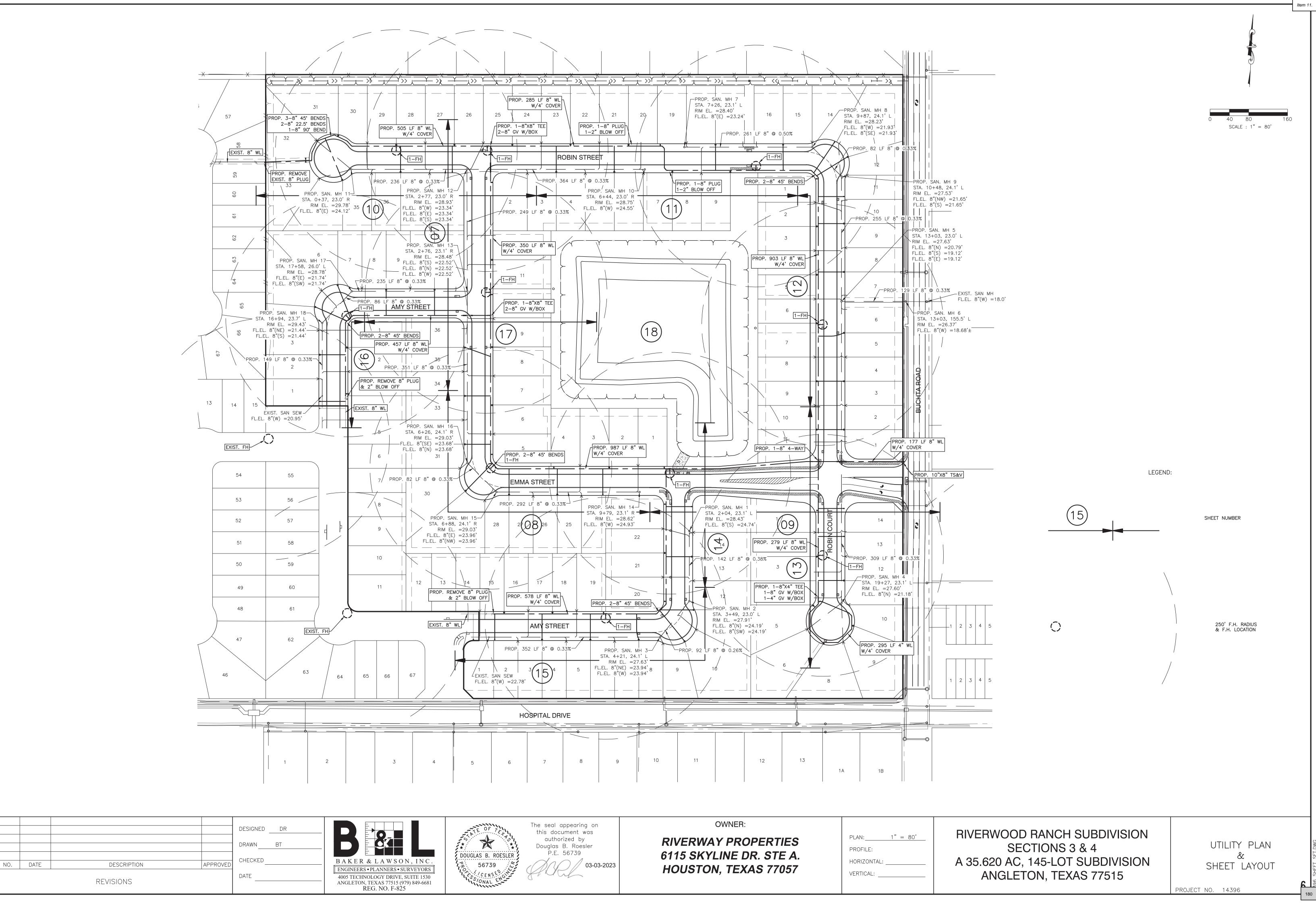


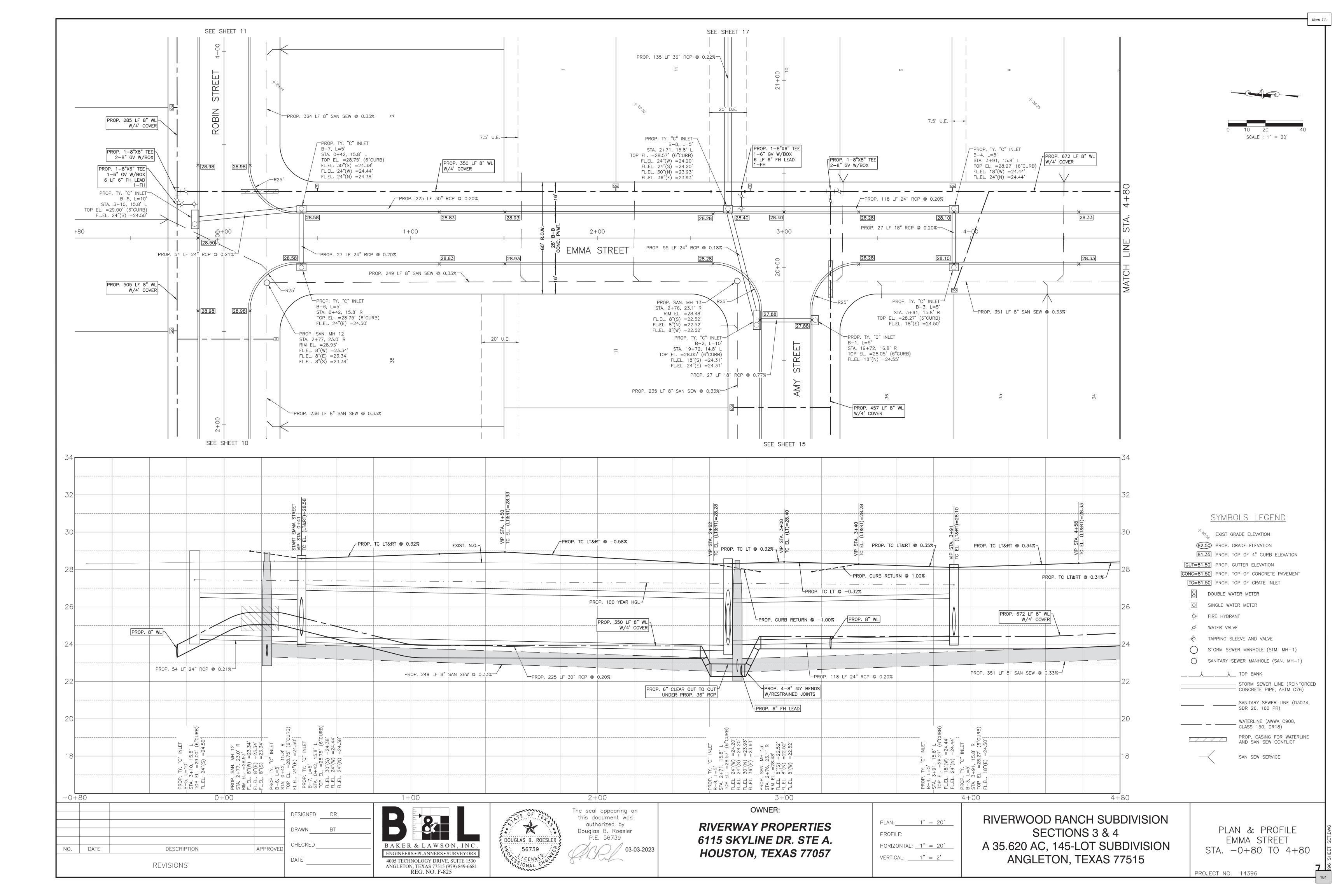
#### EARTHWORK QUANTITY : 38140 CUYD CUT VOLUME FILL VOLUME : 43230 CUYD : 5090 CUYD NET FILL

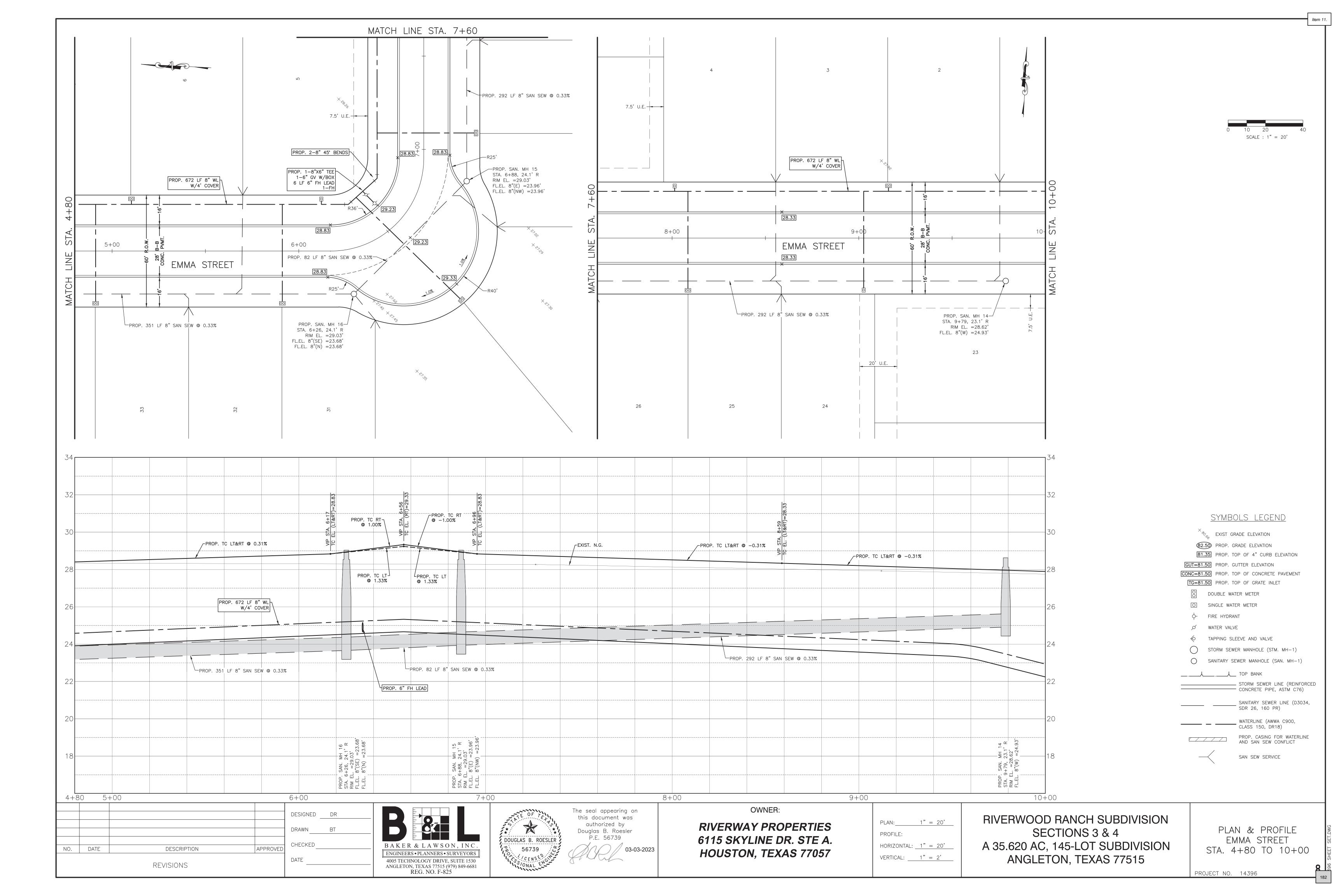
**RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

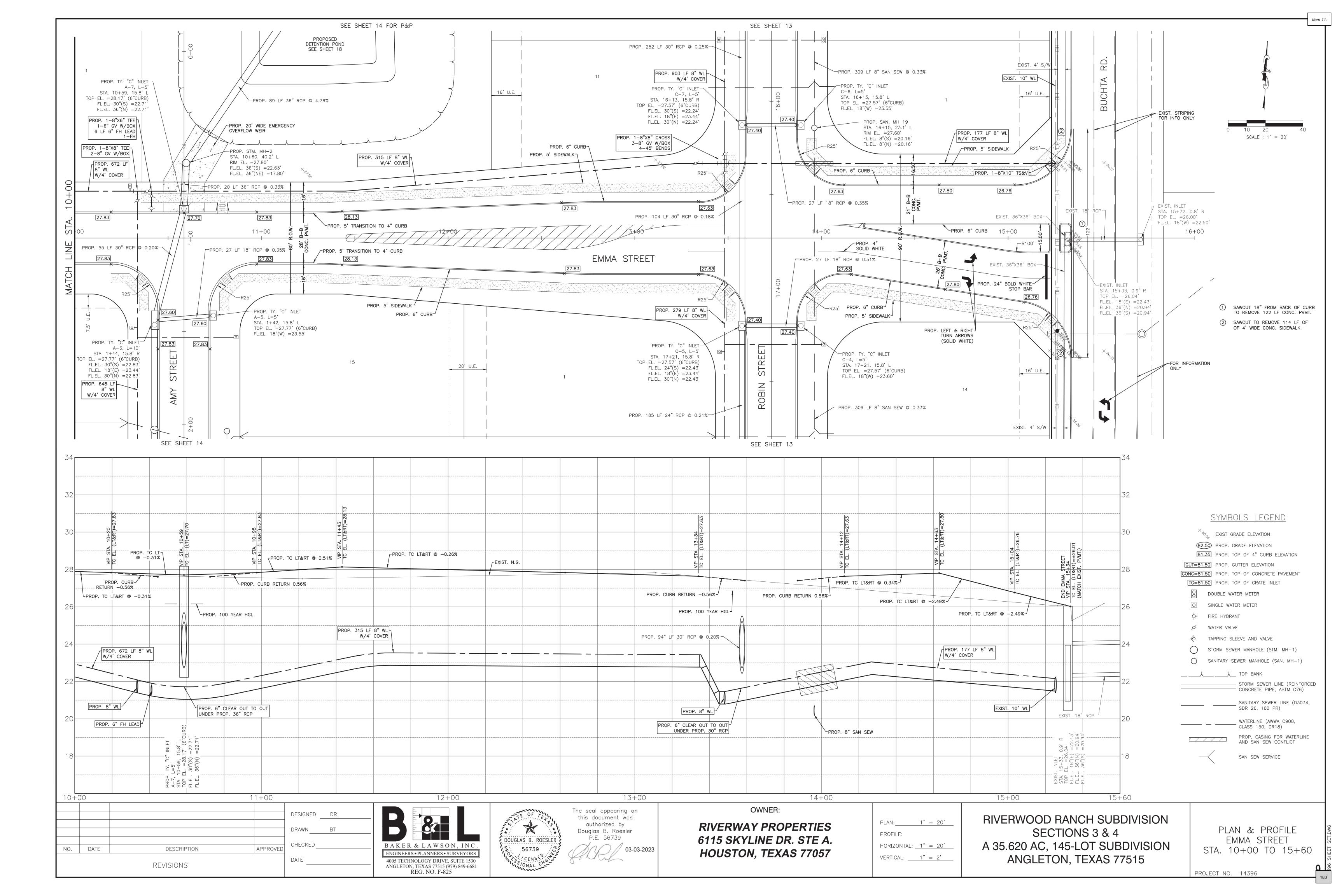
CUT & FILL CALCULATION 179

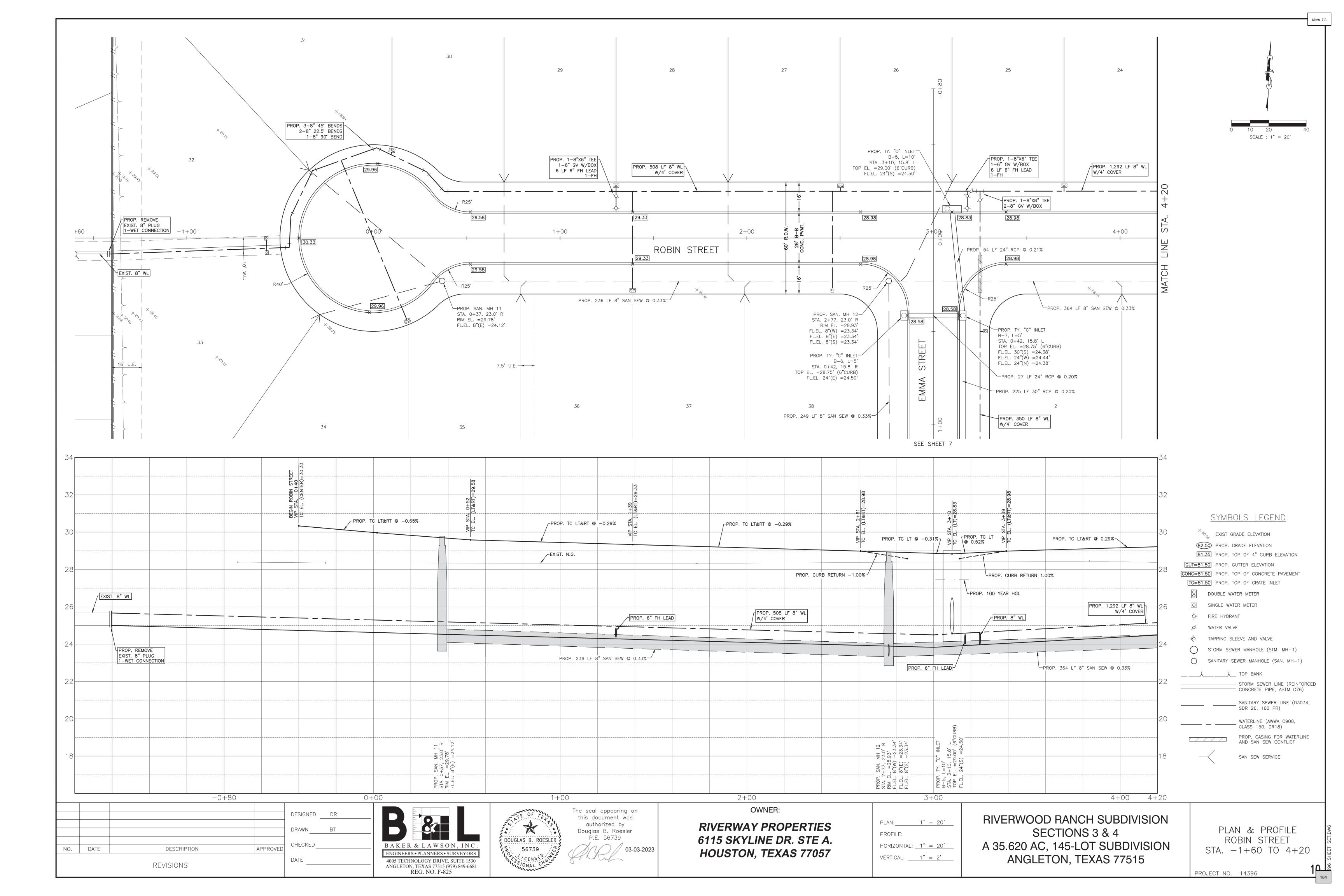
PROJECT NO. 14396

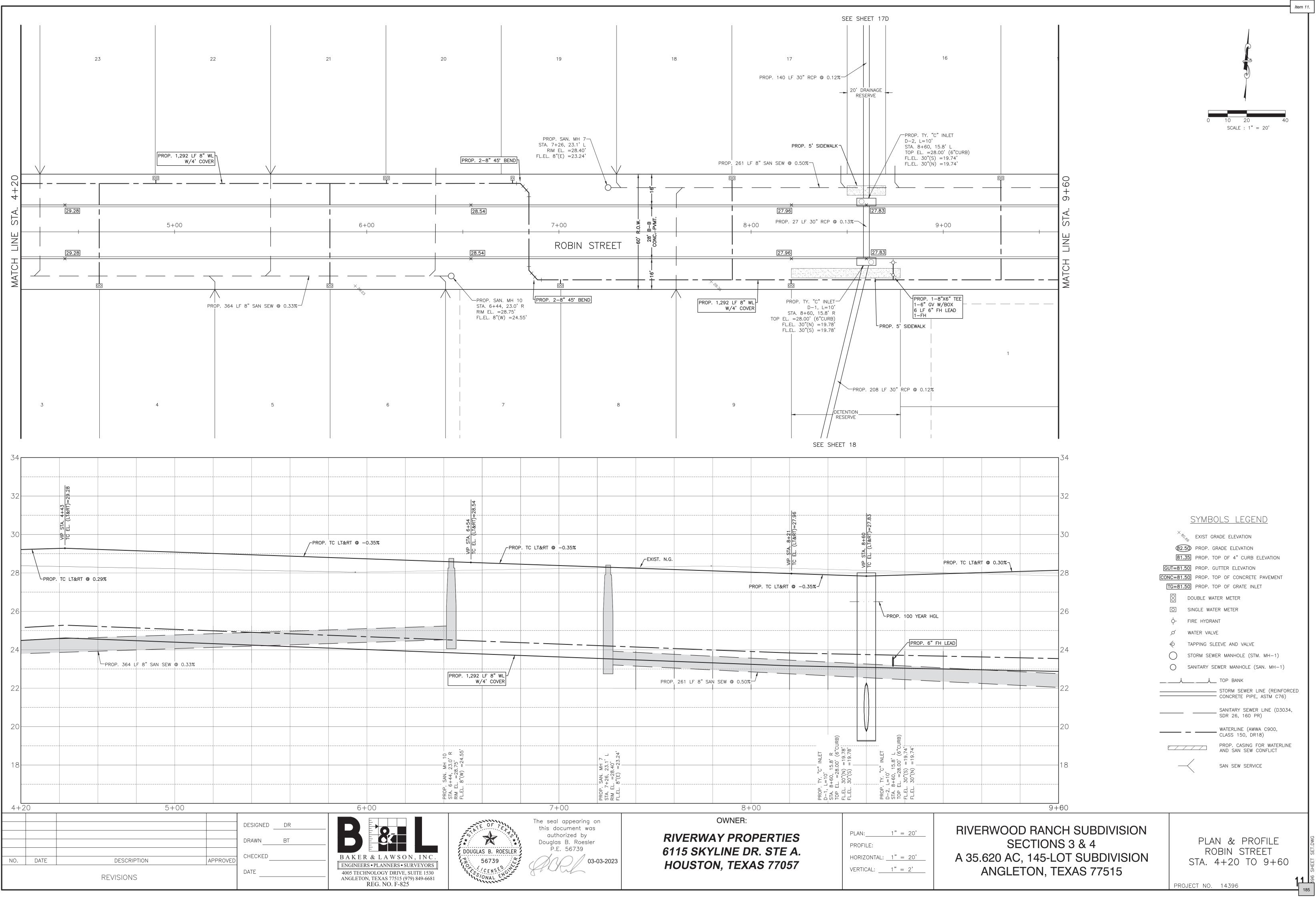


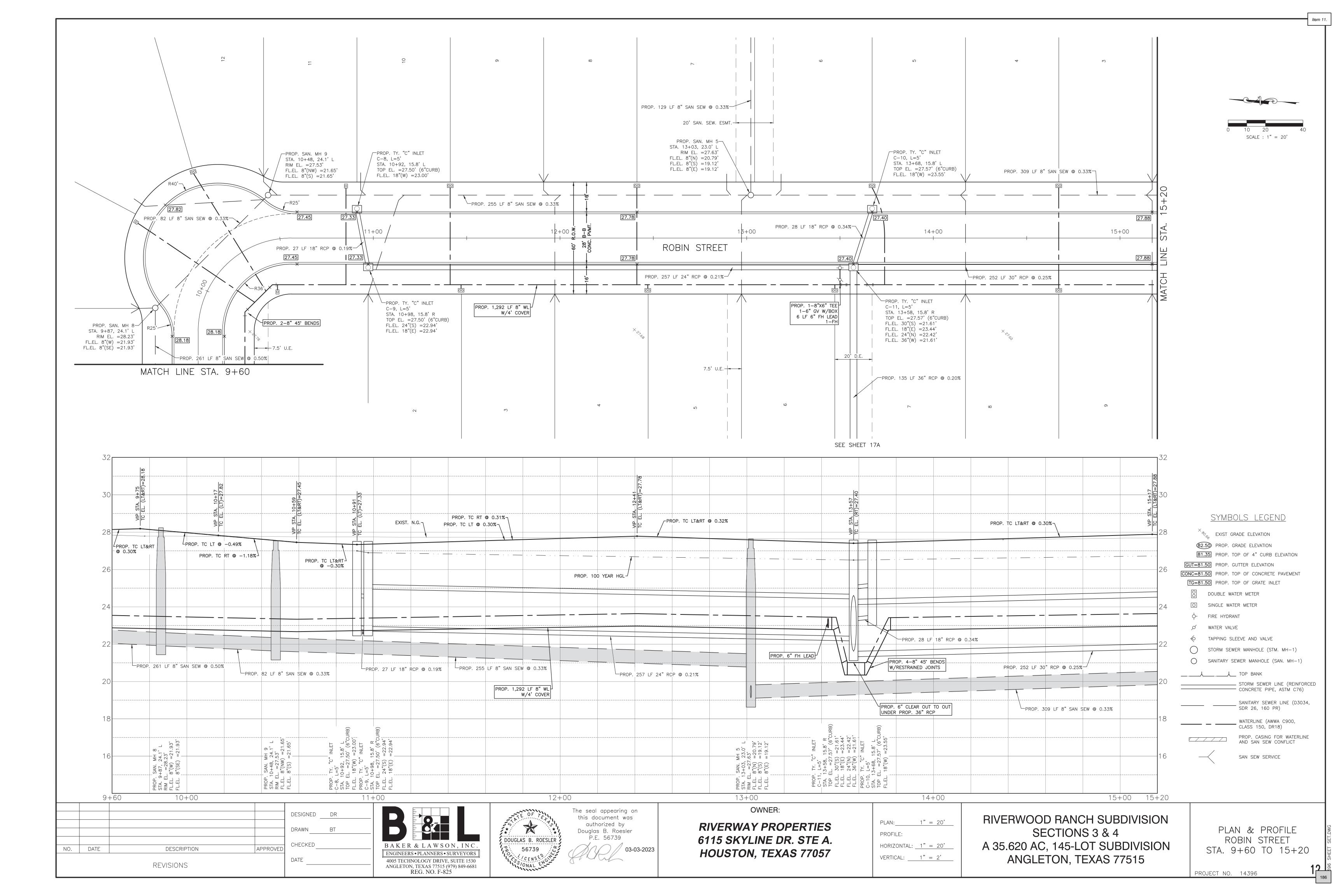


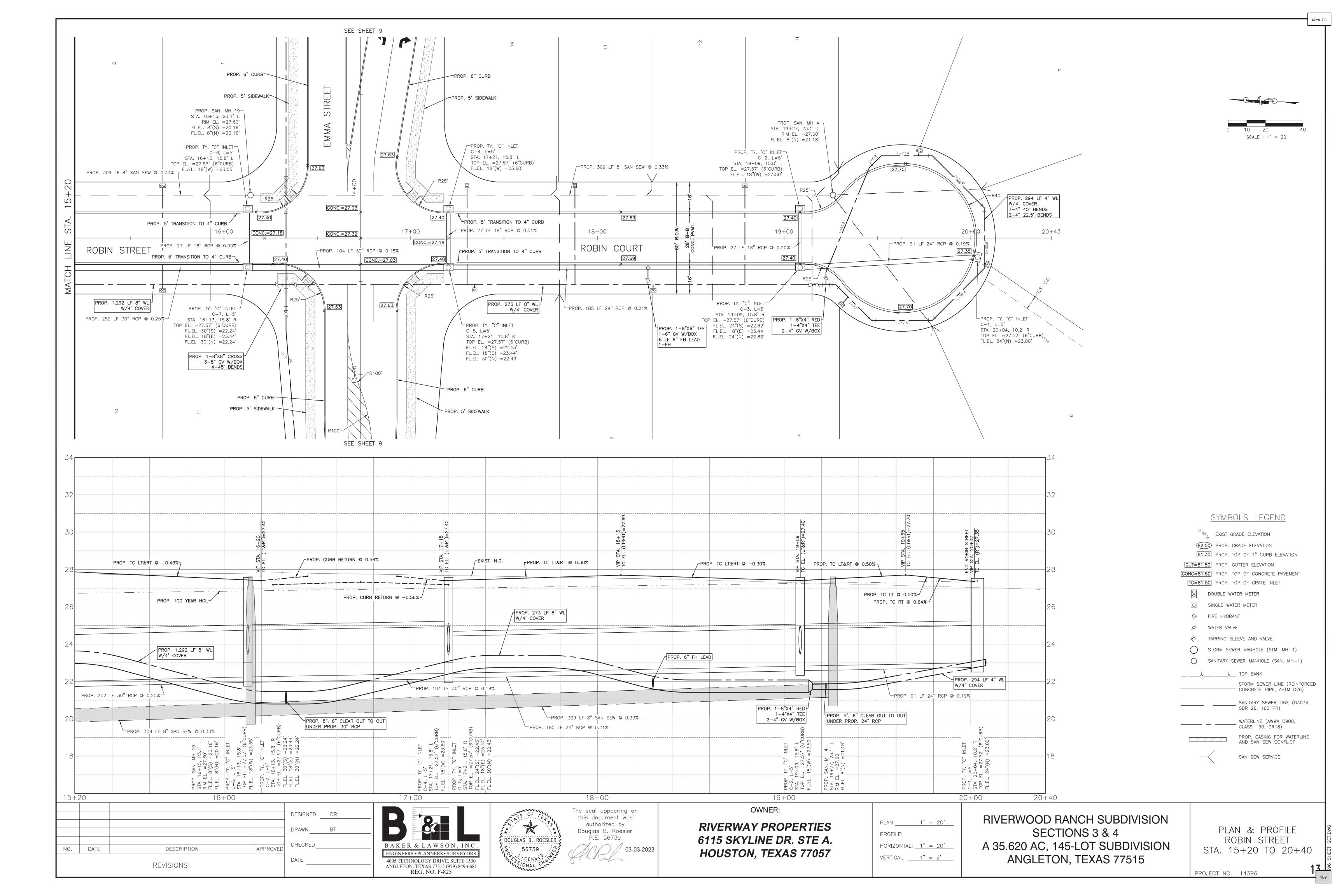


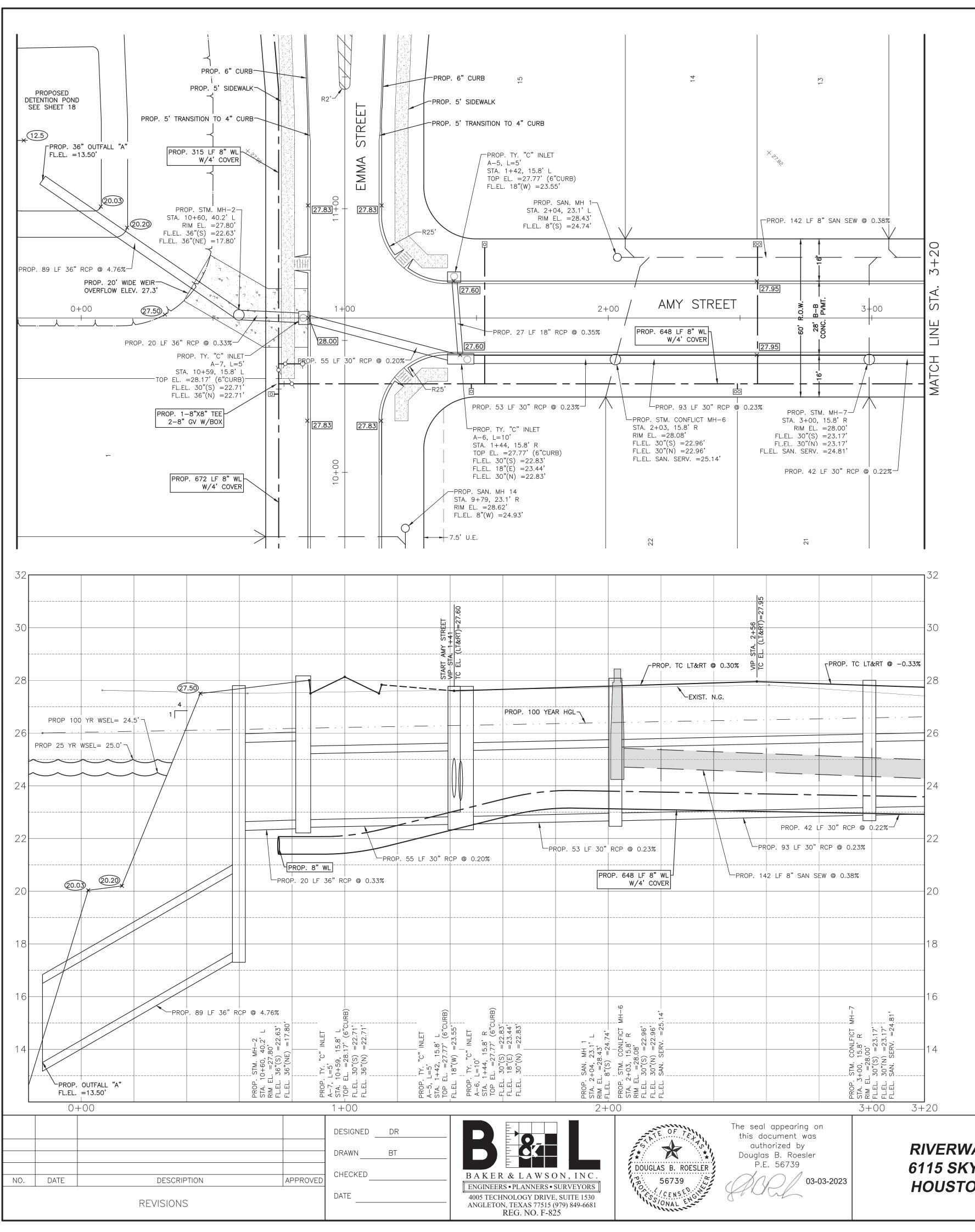












**RIVERWAY PROPERTIES** 

6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

OWNER:

1" = 20' PLAN: PROFILE: HORIZONTAL: 1" = 20'VERTICAL: <u>1" = 2'</u>

<b>RIVERWOOD RANCH SUBDIVISION</b>	
SECTIONS 3 & 4	PLAN & AMY ST
A 35.620 AC, 145-LOT SUBDIVISION	STA. 0+00
ANGLETON, TEXAS 77515	

PL	AN &	PRC	FILE
	AMY	STRE	ΞT
STA.	0+0	Ο ΤΟ	3+20

PROJECT NO. 14396

SAN SEW SERVICE

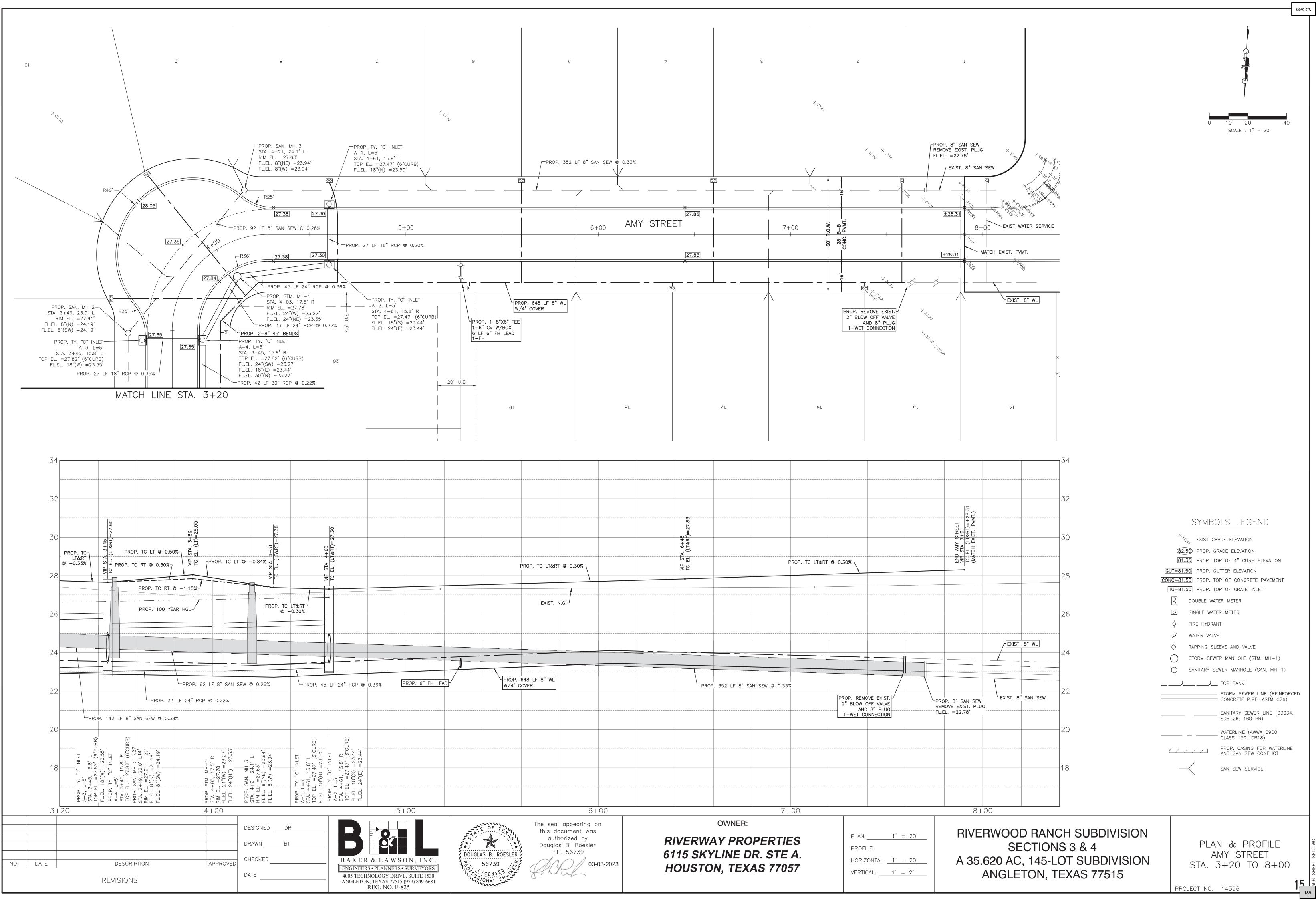
		SET.DWG
		SHEET
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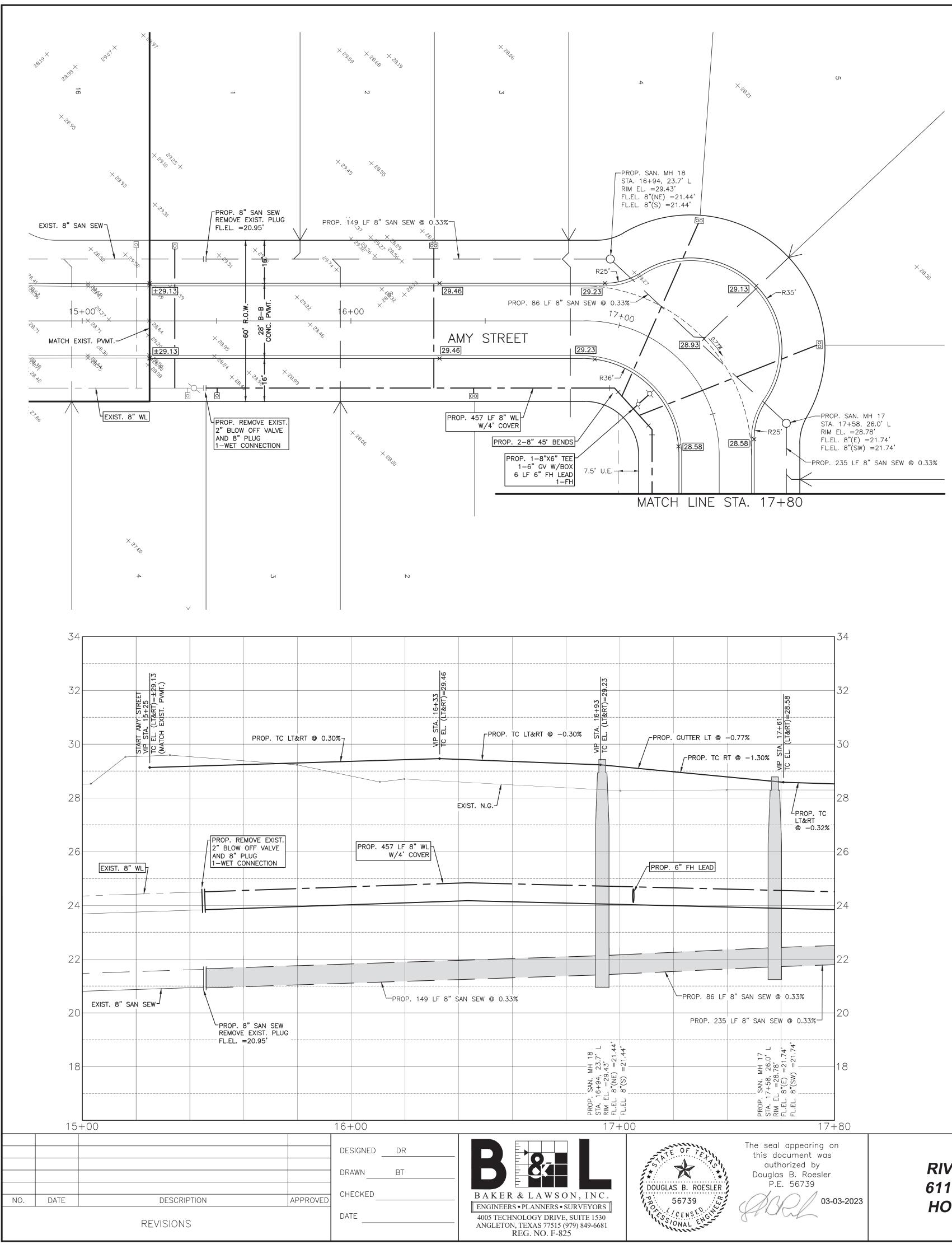
## <u>SYMBOLS LEGEND</u>

ିଂନ୍ତ୍ର EXIST GRADE ELEVATION (82.50) PROP. GRADE ELEVATION 81.35 PROP. TOP OF 4" CURB ELEVATION GUT=81.50 PROP. GUTTER ELEVATION CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT TG=81.50 PROP. TOP OF GRATE INLET 00 DOUBLE WATER METER O SINGLE WATER METER  $\diamond$ - FIRE HYDRANT WATER VALVE Ø TAPPING SLEEVE AND VALVE  $\Leftrightarrow$  $\bigcirc$ STORM SEWER MANHOLE (STM. MH-1) 0 SANITARY SEWER MANHOLE (SAN. MH-1) ___.___. TOP BANK _____ STORM SEWER LINE (REINFORCED - CONCRETE PIPE, ASTM C76) SANITARY SEWER LINE (D3034, WATERLINE (AWWA C900, CLASS 150, DR18) PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT

Item 11.

SCALE : 1" = 20'





OWNER:

# *RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057*

PLAN: 1" = 20'PROFILE: HORIZONTAL: 1" = 20'VERTICAL: 1" = 2'

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515	PLAN & AMY S ⁻ STA. 15+00
	PROJECT NO. 14396

PLAN & PROFILE	DWG
AMY STREET	SET.I
STA. 15+00 TO 17+80	SHEET SET.DWG
	ц С
POLECT NO. 14306	<u>8</u> 96

190

TG=81.	50 PROP. TO	P OF GRATE INLET
00	DOUBLE WAT	ER METER
0	SINGLE WATE	R METER
<b>\$</b> -	FIRE HYDRAN	Т
ø	WATER VALVE	:
$\Leftrightarrow$	TAPPING SLE	EVE AND VALVE
$\bigcirc$	STORM SEWE	R MANHOLE (STM. MH-1)
0	SANITARY SEV	WER MANHOLE (SAN. MH-1)
k		TOP BANK
		STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
		SANITARY SEWER LINE (D3034, SDR 26, 160 PR)
		WATERLINE (AWWA C900, CLASS 150, DR18)
		PROP. CASING FOR WATERLINE AND SAN SEW CONFLICT
	$\langle$	SAN SEW SERVICE

### <u>SYMBOLS LEGEND</u>

81.35 PROP. TOP OF 4" CURB ELEVATION

CONC=81.50 PROP. TOP OF CONCRETE PAVEMENT

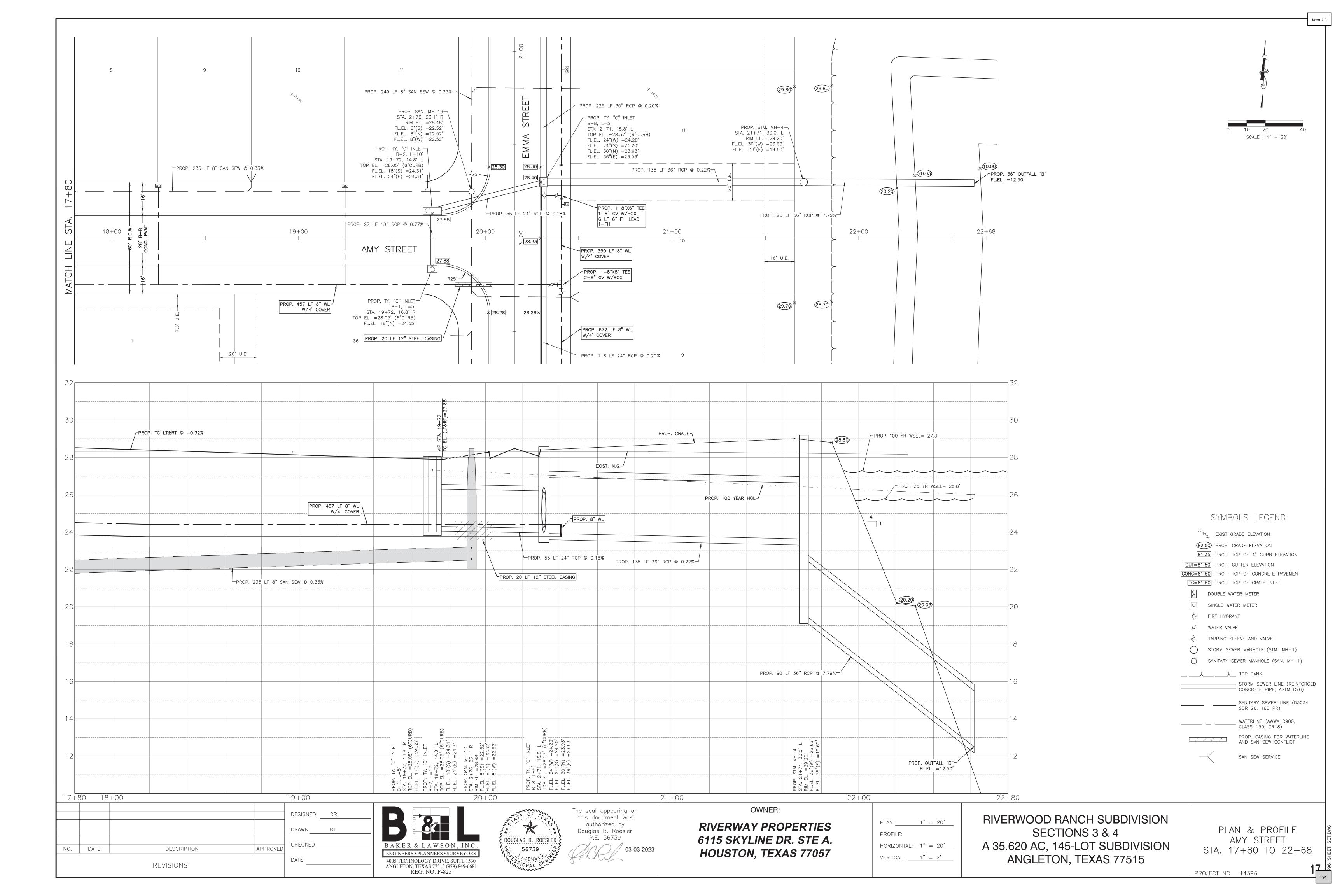
ିଂନ୍ତ୍ର EXIST GRADE ELEVATION

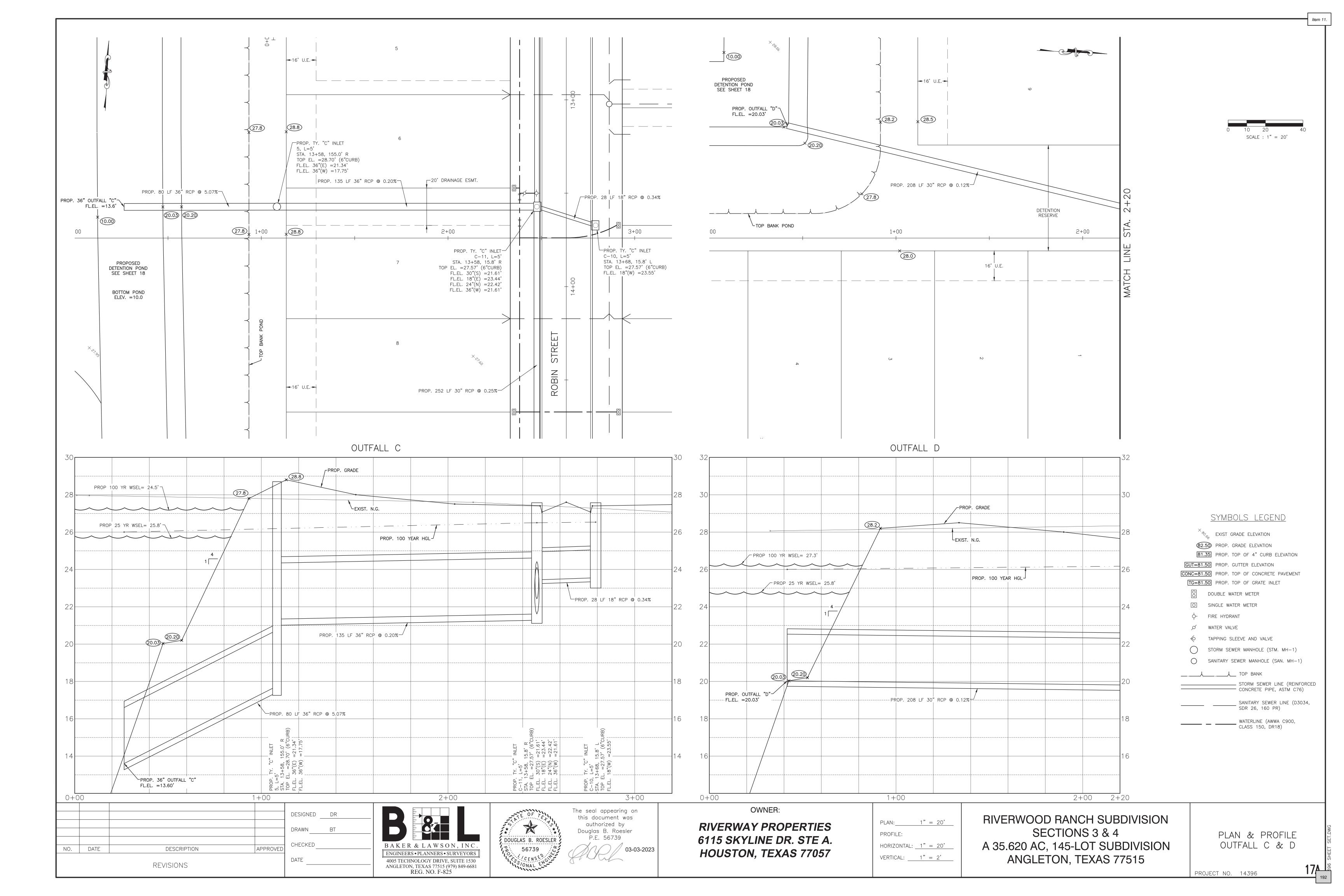
82.50 PROP. GRADE ELEVATION

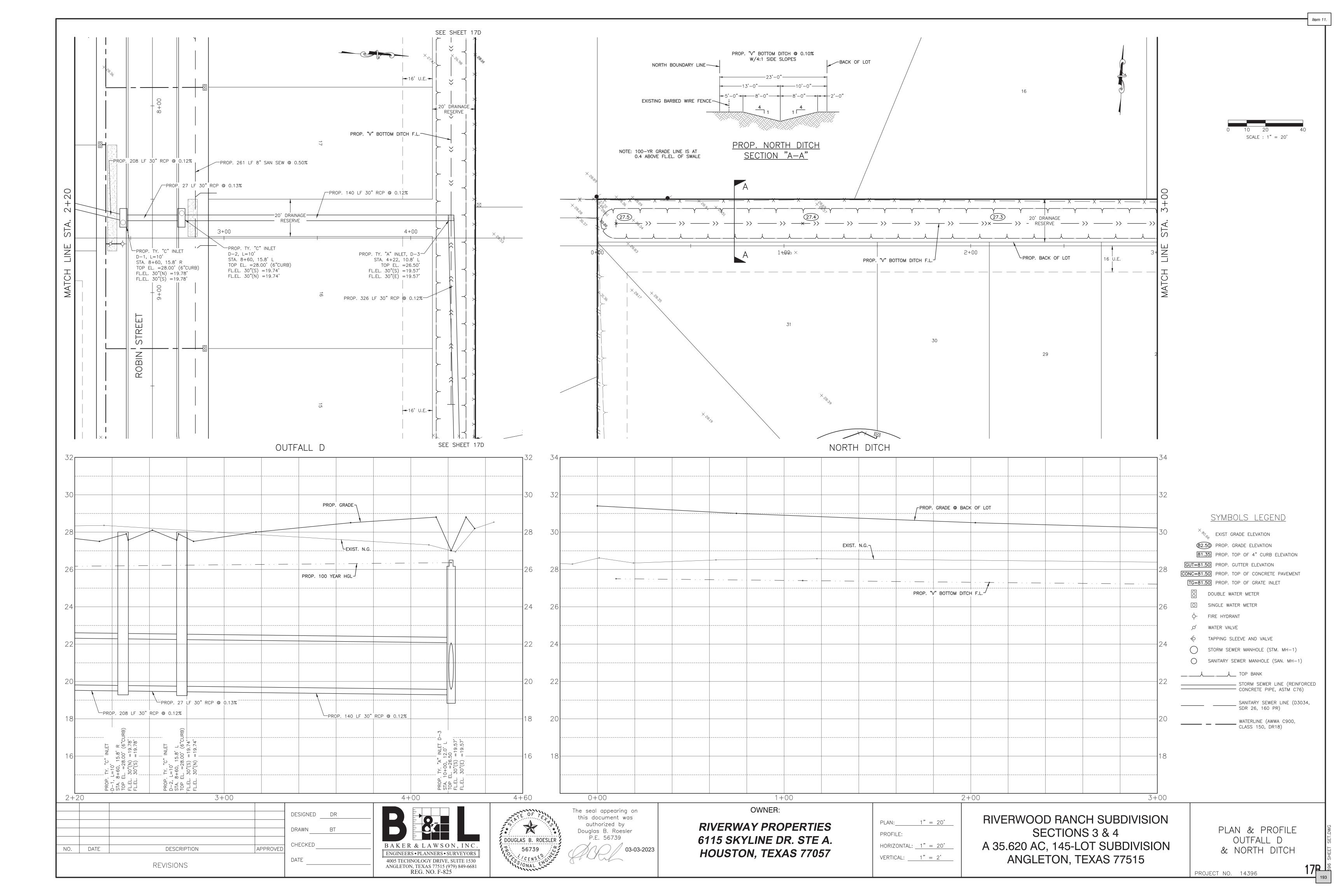
GUT=81.50 PROP. GUTTER ELEVATION

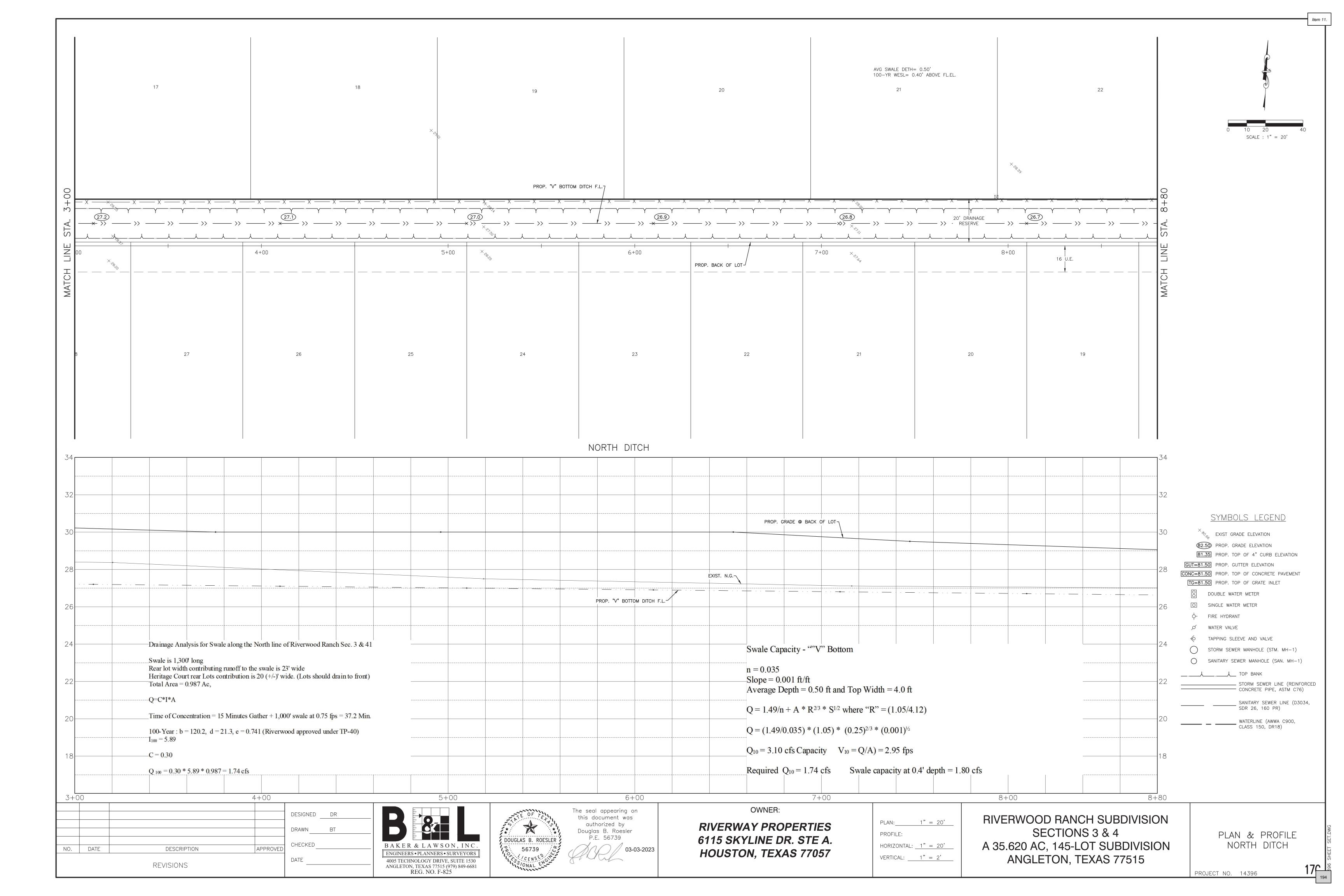
Item 11.

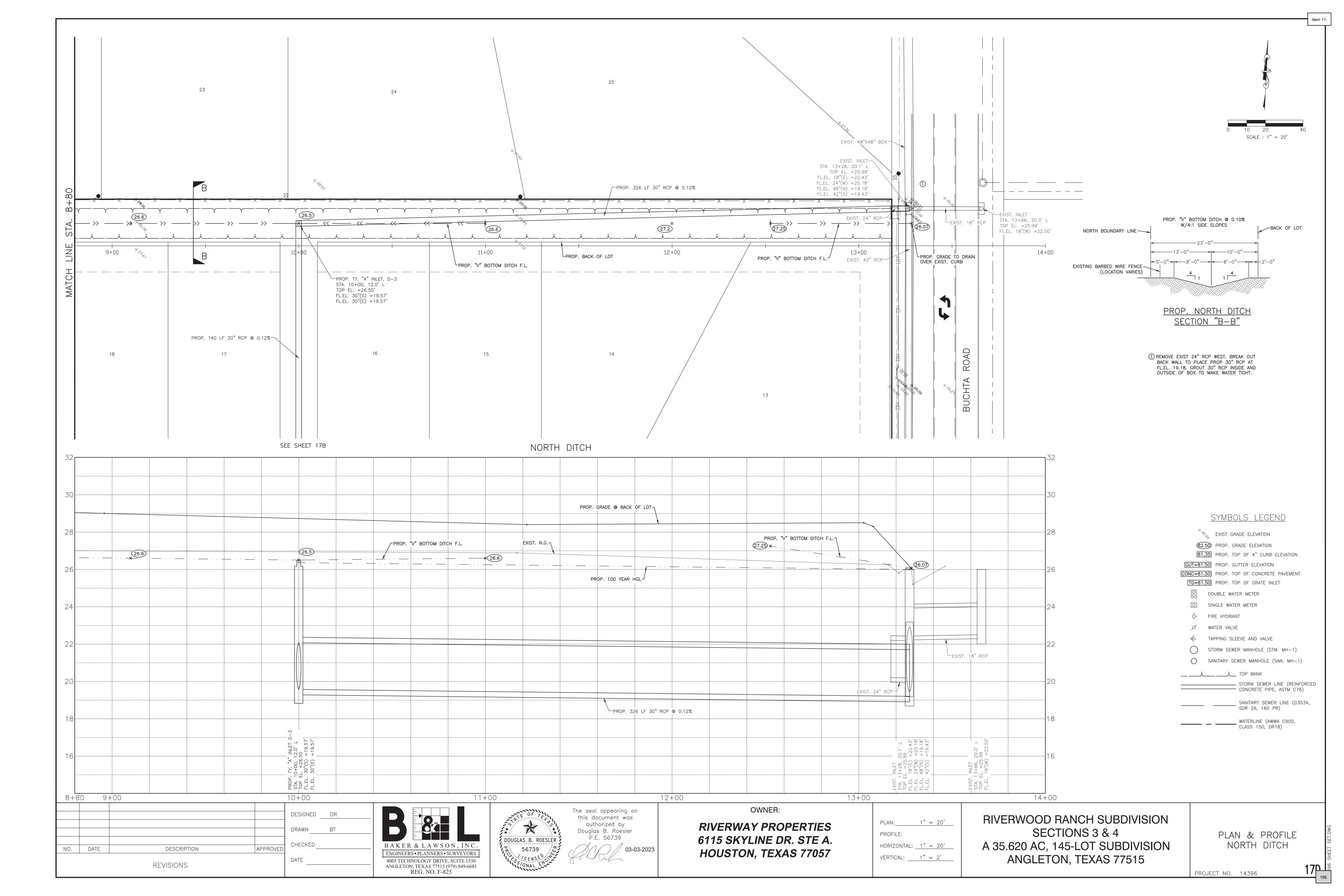
SCALE : 1" = 20'

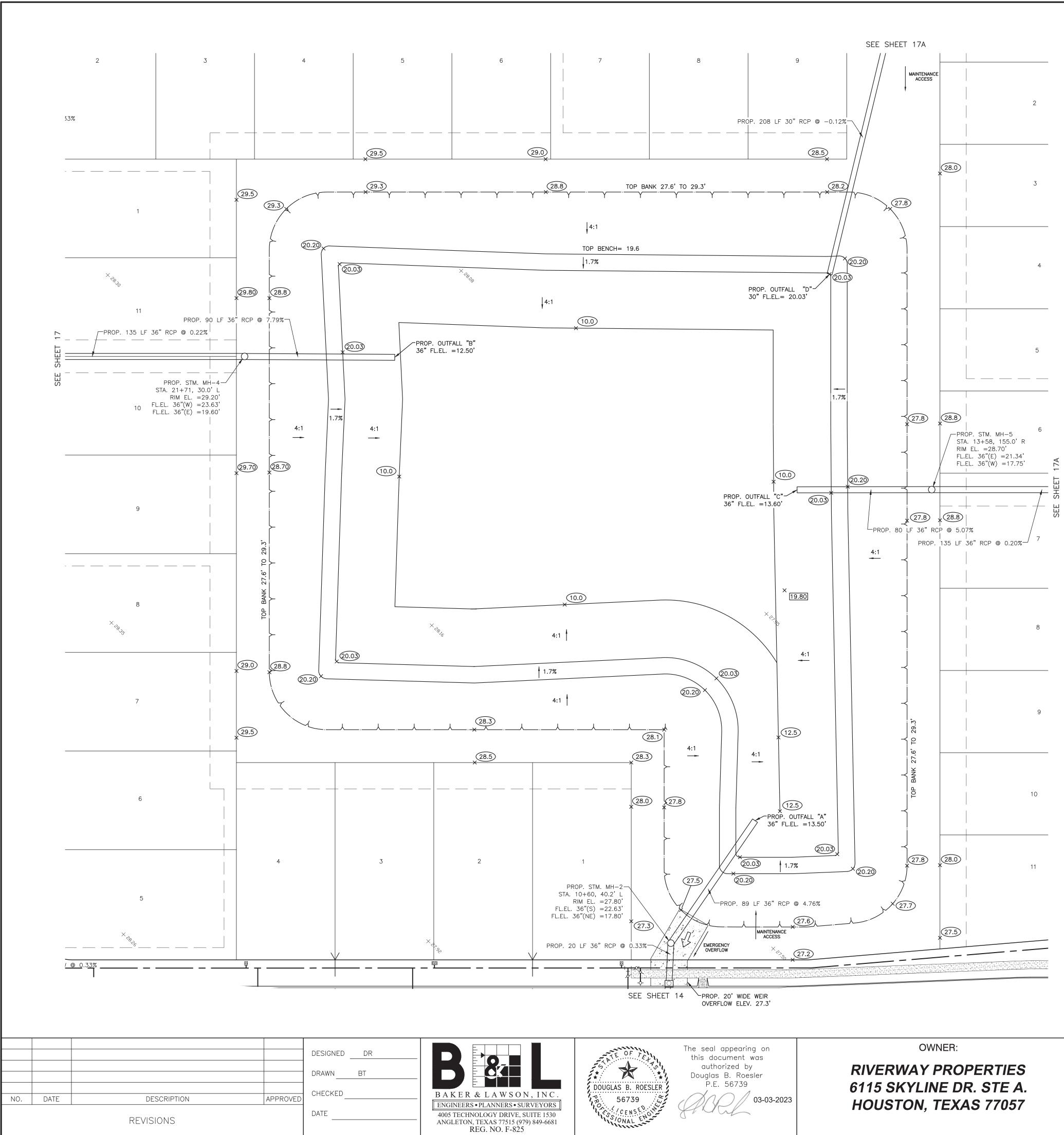












1" = 30' PLAN:____ PROFILE: HORIZONTAL: VERTICAL:

Riverwood Sec. 3 & 4 Detention/Excavation Summary						
Deterritory Mal	Denvined.	47.470				
	ume Required	17.179				
Detention Vol	ume Provided	22.680	Ac-Ft			
Elev. (f.t.)		Area (s.f.)				
28.50 (+/-)	Top bank	142,525				
28.00	Nat. Gr.	140,945				
27.30	12" Freeboard - 100 Yr WSEL	137,373				
20.20	Top 10' Bench	117,382				
20.00	Bottom 10' Bench*	105,726				
10.00	Bottom Pond	63,440				
*	Static Water = Bo	ttom Bench				
	Deterfier Devel V					
	Detention Pond Volu					
Elev. (f.t.)		Area (s.f.)				
27.30	12" Freeboard - 100 Yr	137,373				
20.20	Top 10' Bench	117,382				
20.00	Bottom 10' Bench*	105,726				
Area	(137,373 + 117,382)/2	127,377	s.f.			
Volume	(127,377*7.1' Depth)	904,377	c.f.			
Area	(117,382 + 105,726)/2	111,554	s.f.			
Volume	(111,554*0.20' Depth)	22,311	c.f.			
	Total Volume	926,688	c.f.			
		21.27	ac-ft			
	Excavation Volum	Contraction of Aller				
28.00	Nat. Gr.	140,945				
20.20	Top 10' Bench	117,382				
20.00	Bottom 10' Bench*	105,726				
10.00	Bottom Pond	63,440				
Area	(140,945 +117,382)/2	129,164	s.f.			
Volume	(129,164*7.8' Depth)	1,007,479	c.f.			
Area	(117,382 + 105,726)/2	111,554	s.f.			
Volume	(111,554*0.20' Depth)	22,311	c.f.			
Area	(105,726+63,440)/2	84,583	s.f.			
Volume	(84,583*10.00 Depth)	845,830	c.f.			
	Total Volume	1,875,286	c.f.			
		69,467				

(File: 14396 / Det Vol Calcs 02-25-23)

100 YR WSEL= 27.0 PROVIDES 17.32 AC–FT ALL SIDE SLOPES AT 4' TO 1' OR FLATTER

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

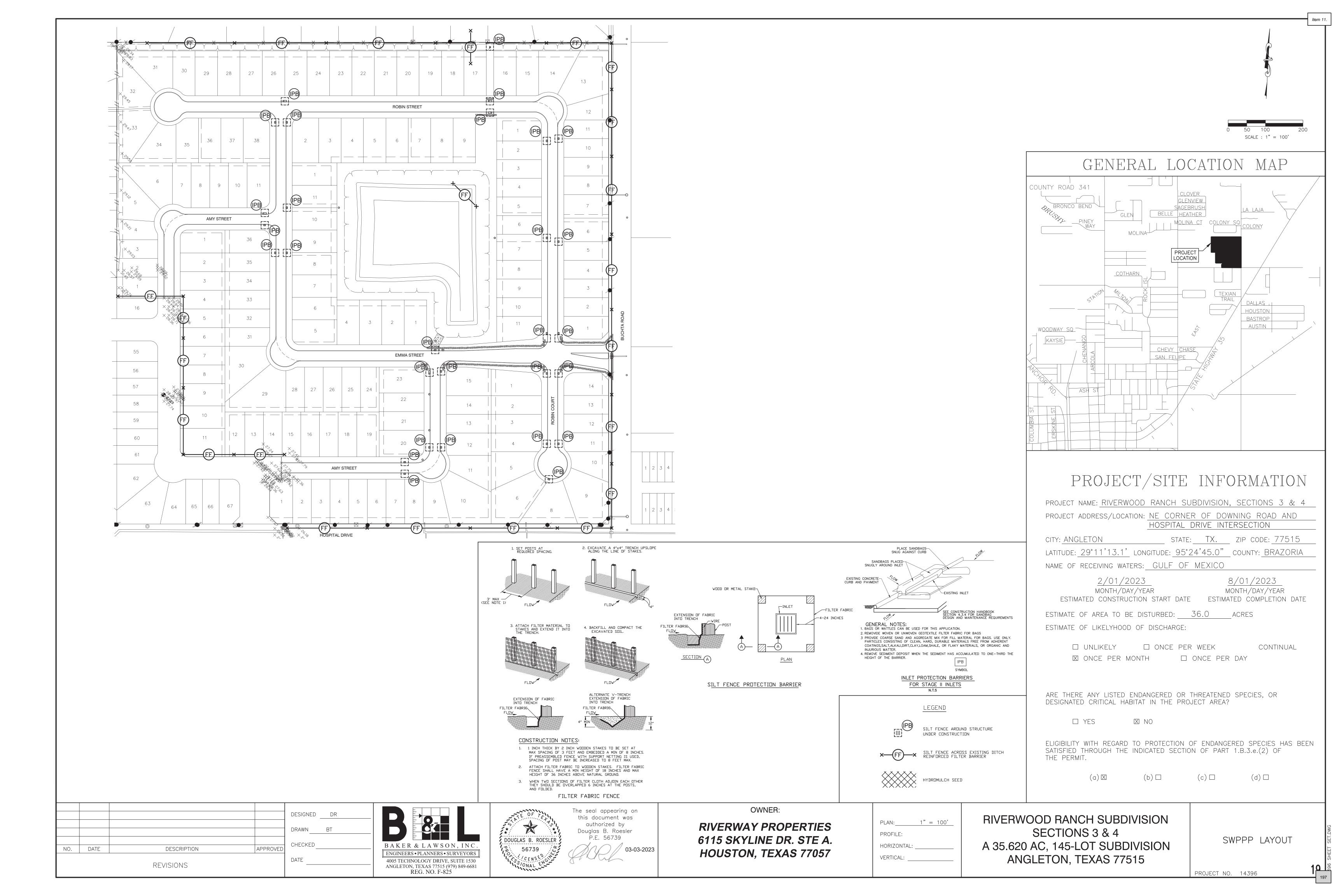
DETENTION POND

PROJECT NO. 14396

**18** 

Item 11.

SCALE : 1" = 30'



Æ	۹.	NATURE OF THE CONSTRUCTION ACTIVITY: 
		BEING A 35.620 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 145 LOTS. CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS AND CONCRETE ROADWAYS WITH CURBS WITH EXCESS EXCAVATION WITH MATERIAL SPREAD FOR LOT GRADING.
E	3.	INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES: STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER. THIS MATERIAL WILL BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD ON DEVELOPED LOTS
		AFTER FINAL GRADING. UTILITY AND STORM SEWER CONSTRUCTION WILL REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE WILL INVOLVE SPREADING EXCAVATED MATERIAL ON
		ADJACENT LOTS. RAINFALL RUNOFF WILL BE DIRECTED TO THE STREET GUTTERS AND TO THE CONSTRUCTED STORM SEWER SYSTEM. TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE, UTILITY AND STORM SEWER MATERIALS AND OTHER CONSTRUCTION MATERIALS. TRUCKS WILL ALSO BE USED TO HAUL CONSTRUCTION DEBRIS AWAY FROM THE SITE. THESE TRUCKS WILL BE ROUTED ALONG HOSPITAL DR. AND BUTCHA ROADS FOR INGRESS AND EGRESS. RUTTING DURING WET WEATHER WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE ROUTE.
(	С.	TOTAL PROJECT AREA: 35.620 ACRES
		TOTAL AREA TO BE DISTURBED: 36 ACRES
		WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.55
		· · · · · · · · · · · · · · · · · · ·
E		REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROX SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; ARE WHICH WILL NOT BE DISTURBED; LOCTIONS OF MAJOR STRUCTURAL AND NON—STRUCTURA CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF—SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARC TO A SURFACE WATER.
F		LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH
		INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTIO <u>N:</u>
(	5.	NAME OF RECEIVING WATERS: RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED
(	3.	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY
(	5.	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO
(	ļ	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO. AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE
(		RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO.
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	H	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO. AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SITE WHICH WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS OFTHE PROJECT.
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ŀ	H	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE PROPOSED         DETENTION POND AND TO A PROPOSED 30" CULVERT STUBBED OUT FROM BUCHTA DR. TO         SERVE THIS TRACT. THE POND AND THE PROPOSED 30" CULVERT OUTFALL INTO BRUSHY         BAYOU WHICH FLOWS TO BASTROP BAYOU AND THEN TO THE GULF OF MEXICO.         AREAL EXTENT AND DESCRIPTION OF WETLAND OR SPECIAL AQUATIC SITE AT OR NEAR THE         SITE WHICH WILL BE DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED         AREAS OFTHE PROJECT.         NONE
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# 2. CONTROLS

NARRATIVE - SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.

1. INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE.

2. INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.

3. ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND, UTILITY STORM SEWER CONSTRUCTION, AND DESIGNATED POND EVACUATION.

4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 18" WIDE SOLID SOD BEHIND ALL CURBS, OR FILTER FABRIC FENCE.

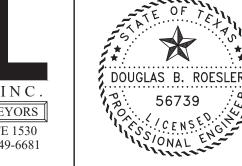
A. EROSION AND SEDIMENT CONTROLS: EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/ DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/ DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER:				

#### B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION: CURBS & GUTTERS STORM SEWERS



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023

OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

3. MAINTENANCE ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

PLAN:	1" =	
PROFILE:		
HORIZONTAL:		
VERTICAL:		

### C. OTHER CONTROLS

WASTE MATERIALS: _____ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

HAZARDOUS WASTE (INCLUDING SPILL REPORTING) AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY: HAUL ROADS DAMPENED FOR DUST CONTROL LOADED X HAUL TRUCKS TO BE COVERED WITH TARPAULIN X EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPAULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

# 5. NON-STORMWATER DISCHARGES

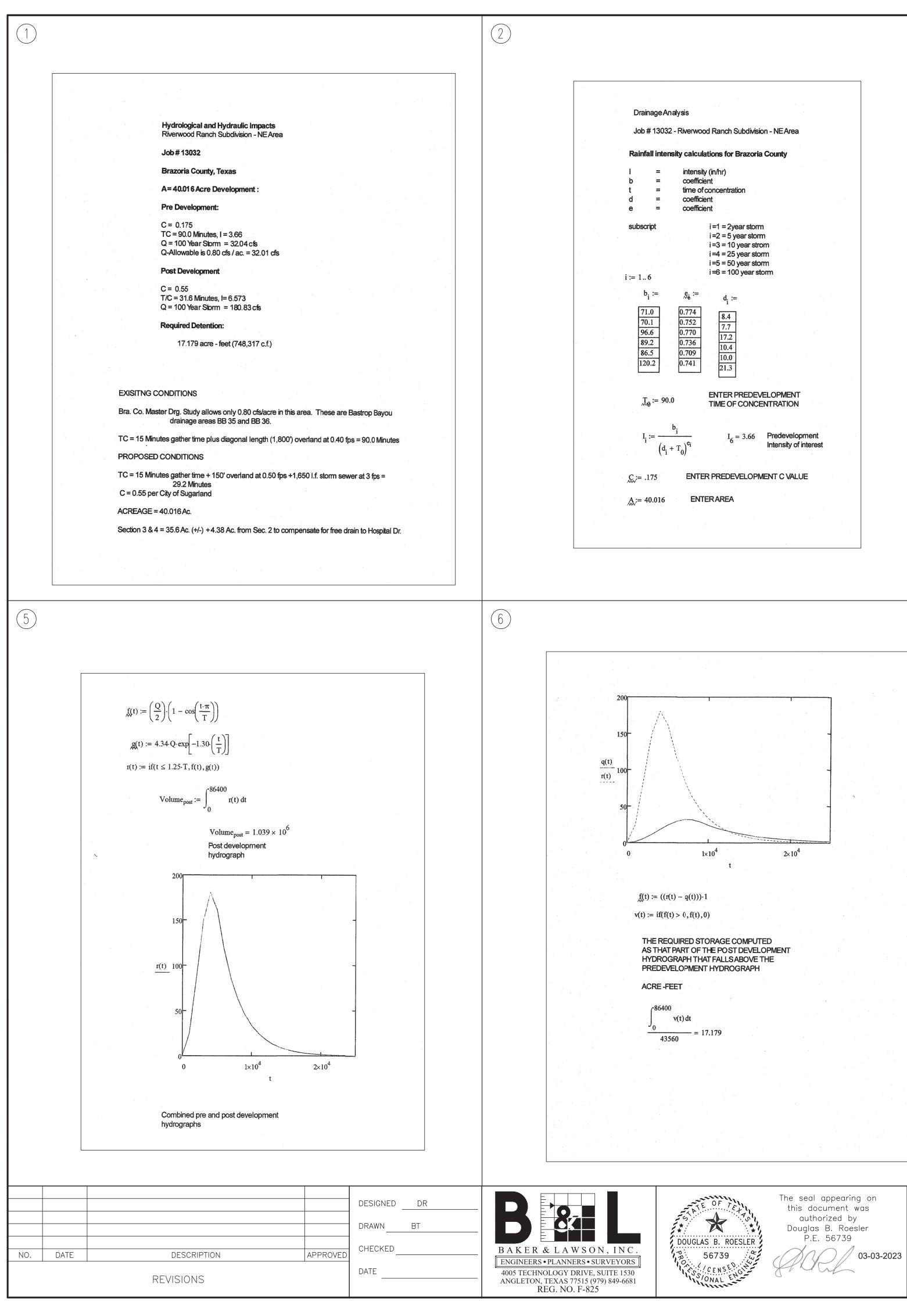
FIRE HYDRANT FLUSHING X BUILDING WASHDOWN WITHOUT DETERGENTS X PAVEMENT WASHDOWN WITHOUT DETERGENTS X CONDENSATE UNCONTAMINATED GROUNDWATER

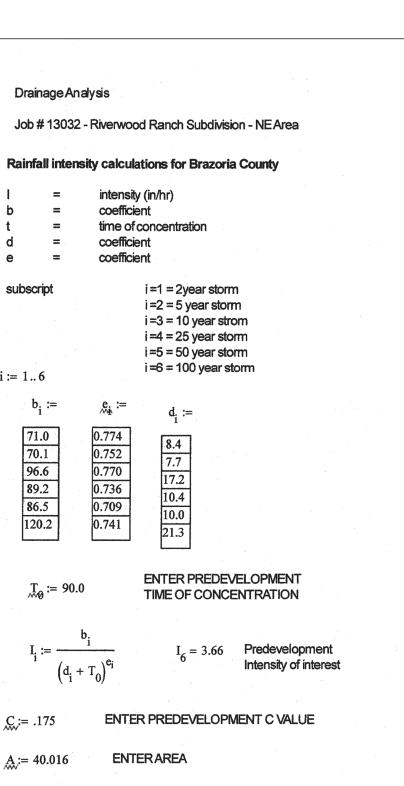
____ UNCONTAMINATED FOUNDATION DRAINS

# **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

SWPPP NARRATIVE

Item 11

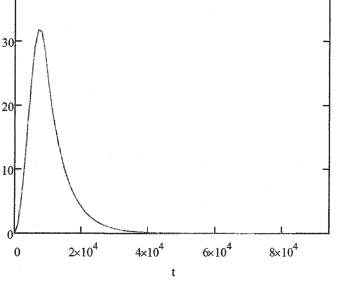




	<i>i</i>	
r86400		
v(t) dt		
$\frac{20}{43560} = 17.179$		· · ·

q(t) 20-

3



T_= 29.2

 $I_i := \frac{b_i}{b_i}$ 

#### ENTER POST DEVLOPMENT TIME OF CONCENTRATION

 $I_6 = 6.573$  Post development | of interest

ENTER POST DEVELOPMENT C FACTOR

REVISE CFAND AREA IF NECESSARY

<u>C</u> := 0.55 C_f:= 1.25  $Q := C \cdot I_6 \cdot A \cdot C_f$ 

 $\left(d_{i} + T_{0}\right)^{e_{i}}$ 

Q = 180.831 $V := (C) \cdot A \cdot 43560 \cdot 1.08$ 

 $V = 1.035 \times 10^{6}$ 

 $T := \frac{V}{1.39 \cdot Q}$   $T = 4.119 \times 10^3$ t := 0,1000..25000

	14396 - RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 IN ANGLETON, TEXAS RESTRICTIVE OUTLET WITH MAX. FLOW RATE OF 32.01 CFS AND 1.0' HEAD												
A	В	С	D	E	F	G	H	I	J	K	L	M	N
1	H.C.F.C.D. EQUATION FOR A HDPE PIPE WITH KNOWN "L", "n", "D" AND ASSUMED "H"												
2	H"	Q"	ENTR.	n	L	D		EQ.	EQ.	EQ.	EQ.	EQ.	EQ.
3			LOSS					2.5204(1+D4)	466.18*E4^2*F4	B4/(C4/10)^2	I4/G4^4	J4/G4^5.333	L4-(L4+M4)
4	1	24.6	0.5	0.013	116	2.5		3.7806	9.1390	0.1658	0.0968	0.0690	0.0000
5	1 37.1 0.5 0.013 116 3 3.7806 9.1390 0.0728 0.0467 0.0261 0.0000												
USE 30" RESTRICTIVE OUTLET													

### USE SU RESTRICTIVE OUTLET

С	RIFICE	EQUATION
Q:	= Cd*A	*(2*G*H)^0.5
Wh	ere:	
Cd	=	0.8
G	=	32.2
Η	=	1
Q	=	32.01
А	=	4.99

30" Dia. 4.91 S.F.

OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:

$\neg$	
	$C_f := 1.25$ Must Insert correct subscript for I to obtain the relevant Q $Q := C \cdot C_f \cdot I_6 \cdot A$ Must Insert correct subscript for I to obtain the relevant Q $Q = 32.036$ For these calculations, total volume storage is assumed to equal (C)*A with A converted to square feet multiplied
	V = 3.294 × 10 ⁵ by 13" (1.08') DEVELOPMENT OF RUNOFF HYDROGRAPH MALCOM'S METHOD AS DESCRIBED IN THE BRAZORIA COUNTY DRAINAGE CRITERIA MANUAL
	$T := \frac{V}{1.39 \cdot Q} \qquad T = 7.398 \times 10^{3} \qquad T = Time \text{ to peak, presented as a function} \\ t := 0, 100084000 \qquad T = 7.398 \times 10^{3} \qquad T = Time \text{ to peak, presented as a function} \\ t := 0, 100084000 \qquad T = 7.398 \times 10^{3} \qquad T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time \text{ to peak, presented as a function} \\ T = Time  to peak, presented as a funct$
	$f(t) := \left(\frac{Q}{2}\right) \left(1 - \cos\left(\frac{t \cdot \pi}{T}\right)\right)$ $f(t) \text{ describes rising limb of hydrograph}$ $g(t) := 4.34 \cdot Q \cdot \exp\left[-1.30 \cdot \left(\frac{t}{T}\right)\right]$ $g(t) \text{ describes descending limb of hydrograph}$
	$q(t) := if(t \le 1.25 \cdot T, f(t), g(t))$
	$Volume_{pre} := \int_{0}^{86400} q(t) dt$
	$Volume_{pre} = 3.306 \times 10^5$
	Predevelopment hydrograph

RIVERWOOD RANCH SUBDIVISION
SECTIONS 3 & 4
A 35.620 AC, 145-LOT SUBDIVISION
ANGLETON, TEXAS 77515

HYDROLOGICAL CALCULATIONS

21 m

WinStorm (STORM DRAIN DESIGN)

Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:09:56 PM

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PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area A 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

OUTPUT FOR DESIGN FREQUENCY of: 10 Years

Runoff Computation	for	Design	Frequency.
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====== TD							======================================
ID	C Value (min)	Area (min)	TC	TC Used	,	Supply Q (cfs)	Total Q
(acre)	(1111)	(((((((((((((((((((((((((((((((((((((((	() 	n/hr)	((15)	((15)	
A-1	0.55	1.56	15.00	15.00	6.21	0.000	5.327
A-2	0.55	1.13	15.00	15.00	6.21	0.000	3.859
A-3	0.55	0.77	15.00	15.00	6.21	0.000	2.630
A-4	0.55	0.33	15.00	15.00	6.21	0.000	1.127
A-5	0.55	0.47	15.00	15.00	6.21	0.000	1.605
A-6	0.55	1.76	15.00	15.00	6.21	0.000	6.010
A-7	0.55	1.19	15.00	15.00	6.21	0.000	4.064

Inlet		Length/			t-Slope	5	-Slope		utter	Depth	Critic
ID (ft)	Type (sf)	Perim. (%)	Area (%)	(%)	g Trans (%)	Long (	ft)	n (ft)	DeprW (	Allowed ft)	Elev.
A-1	Curb	5.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-2	Curb	4.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-3	Curb	3.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-4	Curb	2.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-5	Curb	2.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-6	Curb	6.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00
A-7	Curb	4.00	n/a	0.5	0 2.00	0.50	2.00	0.014	1.50	0.50	28.00

ID       Type       Perim Area       Capacity       Head       Left       Rig         (ft)       (ft)       (sf)       (cfs)       (cfs)       (ft)       (ft)       (ft)       Left       Rig         A-1       Curb       5.00       n/a       n/a       5.327       6.261       0.449       11.25       11         A-2       Curb       4.00       n/a       n/a       3.859       5.448       0.397       10.00       10         A-3       Curb       3.00       n/a       n/a       2.630       4.635       0.343       8.65       8         A-4       Curb       2.00       n/a       n/a       1.127       3.822       0.222       6.30       6         A-5       Curb       2.00       n/a       n/a       1.605       3.822       0.280       7.20       7         A-6       Curb       6.00       n/a       n/a       1.605       3.822       0.240       71.80       11	Sag In	Sag Inlets Computation Data.										
A-2       Curb       4.00       n/a       n/a       3.859       5.448       0.397       10.00       10         A-3       Curb       3.00       n/a       n/a       2.630       4.635       0.343       8.65       8         A-4       Curb       2.00       n/a       n/a       1.127       3.822       0.222       6.30       6         A-5       Curb       2.00       n/a       n/a       1.605       3.822       0.280       7.20       7         A-6       Curb       6.00       n/a       n/a       6.010       7.075       0.449       11.80       11	ID	Туре	5	Perim	Area		Capacity	Head		Width Right		
A-7 Curb 4.00 n/a n/a 4.064 5.448 0.411 10.20 10	A-2 A-3 A-4 A-5	Curb Curb Curb Curb	4.0 3.0 2.0 2.0 6.0	0 n/a 0 n/a 0 n/a 0 n/a 0 n/a 0 n/a	n/a n/a n/a n/a	3.859 2.630 1.127 1.605	5.448 4.635 3.822 3.822	0.397 0.343 0.222 0.280	10.00 8.65 6.30 7.20	11.25 10.00 8.65 6.30 7.20 11.80 10.20		

Cumula	Cumulative Junction Discharge Computations									
Node I.D. (acres)	Туре С-	-Value	Cumulat. Dr.Area hr) cfs	тс	. Intens. (cfs)	User Supply Q (cfs)	Additional Q in Node	Total Disch.		
A-1	Curb	0.550	1.56	15.00	6.21	0.000	0.00	5.327		
A-2	Curb	0.550	2.69	16.55	6.00	0.000	0.00	8.877		
A-3	Curb	0.550	0.77	15.00	6.21	0.000	0.00	2.630		
A-4	Curb	0.550	3.79	16.89	5.96	0.000	0.00	12.416		
A-5	Curb	0.550	0.47	15.00	6.21	0.000	0.00	1.605		
A-6	Curb	0.550	6.02	17.79	5.84	0.000	0.00	19.350		
A-7	Curb	0.550	7.21	17.87	5.83	0.000	0.00	23.134		
MH-1	CircMh	0.550	2.69	16.55	6.00	0.000	0.00	8.877		
MH-2	CircMh	0.550	7.21	17.87	5.83	0.000	0.00	23.134		
OUT	Outlt	0.550	7.21	17.87	5.83	0.000	0.00	23.134		

#### Conveyance Configuration Data

Run# (ft)	Node US (ft)	I.D. DS	Flowline US (ft)	Elev. DS (ft)	Shape # (ft) (	Span %)	Rise	Length	Slope	n_value
1	A-1	A-2	23.50	23.44	Circ 1	0.00	1.50	280.00	0.02	0.013
2	A-2	MH-1	23.44	23.27	Circ 1	0.00	2.00	45.00	0.38	0.013
3	MH-1	A-4	23.35	23.27	Circ 1	0.00	2.00	40.00	0.20	0.013
4	A-3	A-4	23.55	23.44	Circ 1	0.00	1.50	28.00	0.39	0.013
5	A-4	A-6	23.27	22.83	Circ 1	0.00	2.50	220.00	0.20	0.013
6	A-5	A-6	23.55	23.44	Circ 1	0.00	1.50	28.00	0.39	0.013
7	A-6	A-7	22.83	22.71	Circ 1	0.00	2.50	30.00	0.40	0.013
8	A-7	мн-2	22.71	22.63	Circ 1	0.00	3.00	38.00	0.21	0.013
9	MH-2	0UT	20.25	20.15	Circ 1	0.00	3.00	30.00	0.33	0.013

#### Conveyance Hydraulic Computations. Tailwater = 25.000 (ft) Hydraulic Gradeline Velocity Depth Jund Run# US Elev DS Elev Fr.Slope Unif. Actual Unif. Actual Q Сар Loss (ft) (%) (ft) (ft) (f/s) (cfs) (cfs) (ft) (ft) 26.1325.420.2571.501.503.013.015.331.540.00025.4225.350.1541.162.004.722.838.8813.910.00025.3525.290.1541.442.003.672.838.8810.120.00025.3025.290.0630.661.503.541.492.636.580.00025.2925.130.0921.482.294.092.6312.4218.350.000 25.13 25.13 0.023 0.50 1.50 3.08 0.91 1.61 6.58 0.000 25.080.2221.602.375.834.0219.3525.950.00025.040.1201.972.414.703.8123.1330.610.000 25.13 25.08 25.04 25.00 0.120 1.69 3.00 5.65 3.27 23.13 38.51 0.000

				DESIGNED DR DRAWN BT	B 84
NO.	DATE	DESCRIPTION	APPROVED	CHECKED	BAKER & LAWSON
		REVISIONS		DATE	- ENGINEERS • PLANNERS • SU 4005 TECHNOLOGY DRIVE, S ANGLETON, TEXAS 77515 (97 REG. NO. F-825

(acre	e) (miı															
A-1	0.55		1.56		.00		.00		8.39			000			.203	
A-2 A-3	0.55 0.55		1.13 ).77		.00 .00		.00 .00		8.39 8.39			000 000			.217	
4-4	0.55		0.33		.00		.00		8.39			000		1	.524	
A-5 A-6	0.55 0.55		).47 1.76		.00 .00		.00 .00		8.39 8.39			000 000			.170	
A-7	0.55		1.19		.00		.00		8.39			000			.494	
																-
Sag 1 ==== Inlet		======					======				====			pth		===== ritic
ID (ft)	Type (sf)			rea	Long		ns Lo	ong T	Trans ft)		Depi		A11	owed		Elev.
A-1 A-2	Curb Curb	7.00 5.00		n/a n/a	0.50 0.50			. 50 . 50	2.00	0.014 0.014				).50 ).50		28.00 28.00
A-3	Curb	4.00	r	ı/a	0.50	2.0	0 0.	. 50	2.00	0.014	1.	50	C	.50		28.00
A-4	Curb	2.00		ı/a	0.50			. 50 . 50		0.014				.50		28.00
A-5 A-6	Curb Curb	3.00 8.00		ı/a ı/a	0.50		0 0.			0.014				).50 ).50		28.00 28.00
A-7	Curb	5.00		1/a	0.50				2.00					.50		28.00
Sag 1	Inlets Co															
Inlet	t Inlet	Leng		Gra	===== ate m Area	-	Total	Q	Inlet Inlet	Т	otal	PC		d Wi	dth	
ID (ft) 	Type (ft)	(sf)	(c1				(f		(ft)		ead t)	Le		к I	ght 	
A-1 A-2	Curb Curb	7.( 5.(		n/a n/a			7.203 5.217		7.888		.471 .443		2.60 1.20		2.60 1.20	
A-3	Curb	4.0	00	n/a	n/a	a	3.555	5	5.448	0	. 376	9	9.70	)	9.70	
A-4 A-5	Curb	2.0		n/a			1.524		3.822		.271	-	7.05		7.05 8.05	
a-5 a-6	Curb Curb	3.( 8.(		n/a n/a			8.126		4.635 8.701		. 301		3.05 3.20		8.05 3.20	
A-7	Curb	5.0		n/a			5.494		6.261		458		L.40		1.40	
٥de		Weigh	nted	Cum	ulat.	Cum								nal	т	otal
	Type es) (m ⁻	C-Val in)	(in/	hr)	rea cfs	тс )	(	cfs)		(cfs)		Q 1	n No	ode	Di	sch.
(acre  A-1	Type es) (m [.] Curb Curb	in) 	ue (in/l 550 550	hr)	cfs	) 15	.00 .04	cfs) 8	39 .06	(cfs)	 )	Q 1	0.	ode  00 00	7	sch.  .203 .928
(acre  A-1 A-2 A-3	es) (m [.] Curb Curb Curb Curb	in) 0.! 0.!	(in/l 550 550 550 550	hr)	cfs 1.56 2.69 0.77	) 15 17 15	.00 .04 .00	cfs) 8 8 8	. 39 . 06 . 39	(cfs) 0.00 0.00 0.00	) ) )	Q 1	0. 0. 0.	00 00 00	 7 11 3	.203 .928 .555
(acre  A-1 A-2 A-3 A-4	es) (m [.] Curb Curb Curb Curb Curb	in) 0.! 0.! 0.!	(in/l 550 550 550 550 550	hr)	cfs 1.56 2.69 0.77 3.79	) 15 17 15 17	.00 .04 .00 .36	cfs) 8 8 8 8	.39 .06 .39 .01	(cfs) 0.00 0.00 0.00 0.00	) ) ) )	Q 1	0. 0. 0. 0.	00 00 00 00	7 11 3 16	.203 .928 .555 .700
(acre A-1 A-2 A-3 A-4 A-5 A-6	es) (m Curb Curb Curb Curb Curb Curb Curb	in) 0.! 0.! 0.! 0.! 0.!	(in/l 550 550 550 550 550	hr)	cfs 1.56 2.69 0.77 3.79 0.47	) 15 17 15 17 15 18	.00 .04 .00 .36 .00 .23	cfs) 8 8 8 8 8 8 7	.39 .06 .39 .01 .39 .88	(cfs) 0.00 0.00 0.00 0.00 0.00 0.00	) ) ) ) ) )	Q i	0. 0. 0. 0. 0.	00 00 00 00 00 00 00	7 11 3 16 2 26	.203 .928 .555 .700 .170 .094
(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.! 0.! 0.! 0.! 0.! 0.!	(in/l 550 550 550 550 550 550 550 550	hr)	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21	) 15 17 15 17 15 18 18	.00 .04 .00 .36 .00 .23 .31	cfs) 8 8 8 8 8 7 7	. 39 .06 .39 .01 .39 .88 .88	(cfs) 0.00 0.00 0.00 0.00 0.00 0.00 0.00	) ) ) ) ) )	Q i	0. 0. 0. 0. 0. 0.	00 00 00 00 00 00 00 00	7 11 3 16 2 26 31	.203 .928 .555 .700 .170 .094 .203
(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.! 0.! 0.! 0.! 0.! 0.! 1h 0.!	(in/l 550 550 550 550 550 550 550 550 550 55	hr)	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69 7.21	) 15 17 15 17 15 18 18 18 17 18	.00 .04 .00 .36 .00 .23 .31 .04 .31	cfs) 8 8 8 8 8 7 7 7 8 7	. 39 .06 .39 .01 .39 .88 .87 .06 .87	(cfs) 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.	) ) ) ) ) ) ) )	Q i	0. 0. 0. 0. 0. 0. 0. 0.	00 00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31	.203 .928 .555 .700 .170 .094 .203 .928 .203
(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.! 0.! 0.! 0.! 0.! 0.! 1h 0.!	(in/l 550 550 550 550 550 550 550 550 550	hr)	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69	) 15 17 15 17 15 18 18 18 17 18	.00 .04 .00 .36 .00 .23 .31 .04	cfs) 8 8 8 8 8 7 7 7 8 7	.39 .06 .39 .01 .39 .88 .87 .06	(cfs) 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.	) ) ) ) ) ) ) )	Q 1	0. 0. 0. 0. 0. 0. 0. 0.	00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31	.203 .928 .555 .700 .170 .094 .203 .928
(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2 OUT	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.! 0.! 0.! 0.! 0.! 0.! 10 0.!	(in/l 550 550 550 550 550 550 550 550 550 55	hr)	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69 7.21 7.21 7.21	) 15 17 15 17 15 18 18 18 17 18	.00 .04 .00 .36 .00 .23 .31 .04 .31	cfs) 8 8 8 8 8 7 7 7 8 7	. 39 .06 .39 .01 .39 .88 .87 .06 .87	(cfs) 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.	) ) ) ) ) ) ) )	Q i	0. 0. 0. 0. 0. 0. 0. 0.	00 00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31	.203 .928 .555 .700 .170 .094 .203 .928 .203
(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2 OUT 	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.1 0.2 0.2 0.2 0.2 0.2 0.2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1h 0.2 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	(in/l 550 550 550 550 550 550 550 550 550 55	hr) on Da	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69 7.21 7.21 7.21 7.21 7.21	) 15 17 15 18 18 18 17 18 18 17 18 18 27	(0 .00 .04 .00 .23 .31 .04 .31 .31	cfs) 8 8 8 7 7 7 7 7	. 39 .06 .39 .01 .39 .88 .87 .06 .87 .87 .87	(cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000			0. 0. 0. 0. 0. 0. 0.	00 00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31 31	. 203 . 928 . 555 . 700 . 170 . 094 . 203 . 928 . 203 . 203
A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2 OUT  Conve ===== Run#	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1	(in/l 550 550 550 550 550 550 550 550 550 55	hr) on Da owlin US (ft	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69 7.21 7.21 7.21 ta ta ta DS ) (f	) 15 17 15 18 18 18 17 18 18 18 17 18 18 2V.	(1 .00 .04 .00 .23 .31 .04 .31 .31 .31 .5hap (ft)	cfs) 8 8 8 7 7 8 7 7 7 7 7 7	. 39 .06 .39 .01 .39 .88 .87 .06 .87 .87 .87 .87 .87 .96 .87 .87 .06	(cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000			0. 0. 0. 0. 0. 0. 0. 0. 0.	00 00 00 00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31 31 31	.203 .928 .555 .700 .170 .094 .203 .928 .203 .203 .203
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(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2 OUT  Conve ===== Run# (ft)  1	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1	(in/l 550 550 550 550 550 550 550 550 550 55	on Da owlin US (ft 23.50	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69 7.21 7.21 ta ta bs ) (f 2.2 2.2 2.2 2.2 2.2 2.2 2.2 2.	) 15 17 15 18 18 18 18 18 18 18 28 29 20 3.44 3.27 3.24	(1 .00 .04 .00 .36 .00 .23 .31 .04 .31 .31 .31 .31 	cfs) 8 8 8 7 7 8 7 7 7 7 7 7	.39 .06 .39 .01 .39 .88 .87 .06 .87 .87 .87 .87 .87 .06 .87 .87 .00 .00 .000 0.00	(cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.0000 0.0000 0.0000 0.000000		engtl 280.0 45.0	0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0	00 00 00 00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31 31 31 	.203 .928 .555 .700 .170 .094 .203 .928 .203 .203 .203
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(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2 OUT Conve ===== Run# (ft)  1 2 3 4 5 6 7 8 9  Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve Conve	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.1 0.2 0.2 0.2 0.2 0.2 0.2 0.2 0.2	(in/l 550 550 550 550 550 550 550 550 550 55	hr) hr) on Da owlin US (ft 23.50 23.55 23.55 23.55 22.83 22.71 20.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 0.25 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(acre A-1 A-2 A-3 A-4 A-5 A-6 A-7 MH-1 MH-2 OUT  Conve ===== Run# (ft)  1 2 3 4 5 6 7 8 9  Conve ===== Run# (ft)  Conve ===== Run# Conve ===== Conve =====	es) (m Curb Curb Curb Curb Curb Curb Curb Curb	in) 0.9 0.9 0.9 0.9 0.9 0.9 0.9 0.9	(in/l 550 550 550 550 550 550 550 550 550 55	hr) hr) on Da owlin US (ft 23.50 23.55 23.55 23.55 23.27 23.55 22.83 22.71 20.25 omputa ine	cfs 1.56 2.69 0.77 3.79 0.47 6.02 7.21 2.69 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7.21 7	) 15 17 15 18 18 18 17 18 18 18 18 18 20 10 20 20 20 20 20 20 20 20 20 2	(1 .00 .04 .00 .23 .31 .04 .31 .31 .04 .31 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .04 .31 .31 .04 .31 .31 .04 .31 .31 .31 .04 .31 .31 .04 .31 .31 .31 .04 .31 .31 .04 .31 .31 .31 .04 .31 .31 .31 .31 .04 .31 .31 .31 .04 .31 .31 .04 .31 .31 .31 .31 .31 .04 .31 .31 .31 .04 .31 .31 .04 .31 .31 .31 .31 .31 .31 .31 .31 .31 .31	cfs) 8 8 8 8 7 7 7 7 7 7 7 7 7 7 7 7 7	.39 .06 .39 .01 .39 .88 .87 .06 .87 .87 .87 .87 .00 0.00 0.00 0.00 0.00	(cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.00000 0.00000 0.00000 0.00000 0.00000 0.00000 0.00000 0.00000 0.0000000 0.00000000		engtl 280.0 45.0 28.0 28.0 28.0 30.0 38.0 30.0	0 . 0 . 0 . 0 . 0 . 0 . 0 . 0 .	00 00 00 00 00 00 00 00 00 00 00 00 00	7 11 3 16 2 26 31 11 31 31 31 31 2 ( 8 ( 0) ( 9) ( 9) ( 9) ( 9) ( 9) ( 0) ( 9) ( 0) ( 9) ( 0) ( 9) ( 0) ( 1) ( 1) ( 1) ( 1) ( 1) ( 1) ( 1	.203 .928 .555 .700 .094 .203 .928 .203 .203 .203 .203 .203 .203 .013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013 0.013
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Inlet		Length/							-Slope					pth	Crit
ID	Туре	Perim.	Area			Frans	s Lon		Trans		Dep			owed	Elev
(ft)	(sf)	(%)	(%)	(%)	(%	%)		(	ft)	(ft)		(†	t)		
							·								
A-1	Curb	7.00	n/a			2.00			2.00					).50	28.0
A-2	Curb	5.00	n/a			2.00			2.00		1.			).50	28.0
A-3	Curb	4.00	n/a			2.00			2.00					).50	28.0
A-4	Curb	2.00	n/a			2.00			2.00					).50	28.0
A-5	Curb	3.00	n/a			2.00			2.00					0.50	28.0
A-6	Curb	8.00		0.5										).50	28.0
A-7	Curb	5.00	n/a	0.5	50 Z	2.00	0.5	0	2.00	0.014	1.	50	C	).50	28.0
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(ft)		(sf)				、 、	(ft)		apacit (ft)			L	ert	RTY	ΠL
(11)		(ST)	(())			) 	(11)	, 	(11)	(f	L) 				
A-1	Curb	7.00	) n/	'a r	1/a	-	7.203		7.888	0	.471	1	2.60	) 12	.60
A-1 A-2	Curb	5.00			1/a		5.217		6.261		.443		1.20		.20
A-2 A-3	Curb	4.00			1/a		3.555		5.448		. 376		9.70		
A-3 A-4		2.00			1/a 1/a		1.524		3.822		.271		7.05		
	Curb														
A-5	Curb	3.00			1/a		2.170		4.635		.301		8.05		
A-6	Curb	8.00			1/a		8.126		8.701		.478		3.20		.20
A-7	Curb	5.00	) n/	a r	1/a		5.494		6.261	0	.458	⊥ 	1.40	ν <u>11</u>	.40
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	ative Ju			=====											
Node		Weight					lat. I	nte		User	0		itio		Tota
I.D.		C-Value		Area		тс	1-	F~>		upply		υı	n No	Jue	Disch
(acre	sງ (m 	in) ( ⁻		C.	15)		(c1			(cfs)					
 ∧ 1	Curb	о гг		1 56		1 5 (	20		20		 า			.00	7 20
A-1	Curb			1.56		15.0			.39	0.00					7.20
A-2	Curb	0.55		2.69		17.0			.06	0.00				00	11.92
A-3	Curb	0.55		0.77		15.0			.39	0.00				00	3.55
A-4	Curb	0.55		3.79		17.3			.01	0.00				00	16.70
A-5	Curb			0.47		15.0			.39	0.00				00	2.17
A-6	Curb			6.02		18.2	23		.88	0.00	)			00	26.094
A-7	Curb	0.55	0	7.21	L	18.3	31	7	.87	0.00	C		0.	00	31.20
MH-1	CircM			2.69	)	17.0	)4	8	.06	0.000	)		0.	00	11.928
мн-2	Circ	۸h 0.55	0	7.21	Ĺ	18.3	31	7	. 87	0.000	)		0.	00	31.203
OUT	Outlt	t 0.55	0	7.21	L	18.3	31	7	.87	0.00	)		0.	00	31.203
Conve	yance Co	onfigura	tion D	ata											
===== Run#	Node I.	======= .D.	Flowl	ine E					======						
			US		DS		Shape	: #	Span	Ris	e Lo	engt	h s	lope	n_valu
(	US L	25													_
(†t)		DS	(f	-t) (	(ft)	)	(ft)		(%)						
(ft) 	(ft)		(f		(ft)		(ft)		(%)						
	(ft)	 A-2	(f  23.5		(ft) 23.		(ft)  Circ			2.00	) 2	280.	 00	0.02	0.01
1	(ft) A-1 A			 0 4	23. 23.	.44 .27			0.00	2.00		280. 45.		0.02	0.01
1 2	(ft) A-1 A A-2 M	۰۰۰۰۰ ۹-2	23.5	 0 4	23. 23.	.44	Circ	 1 1	0.00		)		00		
1 2 3	(ft) A-1 A A-2 M MH-1 A	 А-2 ИН-1	23.5 23.4	 0 4 5	23. 23. 23.	.44 .27	Circ Circ	1 1 1	0.00 0.00 0.00	2.00	)	45.	00 00	0.38	0.01
 1 2 3 4	(ft) A-1 A A-2 M MH-1 A A-3 A	 4-2 ИН-1 4-4 4-4	23.5 23.4 23.3 23.5	 0 4 5 5	23. 23. 23. 23.	44 27 27 44	Circ Circ Circ Circ Circ	1 1 1	0.00 0.00 0.00 0.00	2.00 2.00 1.50	) ) )	45. 40.	00 00 00	0.38 0.20 0.39	0.01 0.01 0.01
1 2 3 4 5	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A	 ИН-1 4-4 4-4 4-6	23.5 23.4 23.3 23.5 23.2	 0 4 5 5 7	23. 23. 23. 23. 23. 22.	44 27 27 44 83	Circ Circ Circ Circ Circ Circ	1 1 1 1 1	0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50	) ) ) 2	45. 40. 28. 20.	00 00 00 00	0.38 0.20 0.39 0.20	0.01 0.01 0.01 0.01
1 2 3 4 5 6	(ft) A-1 A A-2 N MH-1 A A-3 A A-4 A A-5 A	А-2 ИН-1 А-4 А-4 А-6 А-6 А-6	23.5 23.4 23.3 23.5 23.2 23.5	 0 4 5 5 7 5	23. 23. 23. 23. 23. 22. 23.	44 27 27 44 83 44	Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 1.50	) ) ) 2 )	45. 40. 28. 220. 28.	00 00 00 00 00	0.38 0.20 0.39 0.20 0.39	0.01 0.01 0.01 0.01
1 2 3 4 5 6 7	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A	А-2 ИН-1 А-4 А-4 А-6 А-6 А-7	23.5 23.4 23.3 23.5 23.2 23.5 23.5 22.8	 0 4 5 5 7 5 3	23. 23. 23. 23. 22. 23. 22. 23. 22.	44 27 27 44 83 44 71	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 1.50 2.50	) ) ) 2 ) )	45. 40. 28. 20. 28. 30.	00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40	0.01 0.01 0.01 0.01 0.01
 1 2 3 4 5 6 7 8	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M	А-2 ИН-1 А-4 А-4 А-6 А-6 А-7 ИН-2	23.5 23.4 23.3 23.5 23.2 23.5 23.5 22.8 22.8	 0 4 5 5 7 5 3 1	23 . 23 . 23 . 23 . 22 . 23 . 22 . 22 .	.44 .27 .27 .44 .83 .44 .71 .63	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 1.50 2.50 3.00	) ) ) 2 ) )	45. 40. 28. 20. 28. 30. 38.	00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21	0.01 0.01 0.01 0.01 0.01 0.01
 1 2 3 4 5 6 7 8	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M	А-2 ИН-1 А-4 А-4 А-6 А-6 А-7	23.5 23.4 23.3 23.5 23.2 23.5 23.5 22.8	 0 4 5 5 7 5 3 1	23. 23. 23. 23. 22. 23. 22. 23. 22.	.44 .27 .27 .44 .83 .44 .71 .63	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 1.50 2.50 3.00	) ) ) 2 ) )	45. 40. 28. 20. 28. 30.	00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40	0.01 0.01 0.01 0.01 0.01 0.01
1 2 3 4 5 6 7 8 9	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C	А-2 ИН-1 А-4 А-6 А-6 А-7 ИН-2 DUT	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2	0 4 5 7 5 3 1 5 	23. 23. 23. 22. 22. 22. 22. 20.	.44 .27 .44 .83 .44 .71 .63 .15	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00	) ) ) 2 ) ) )	45. 40. 28. 20. 28. 30. 38.	00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21	0.01 0.01 0.01 0.01 0.01 0.01
1 2 3 4 5 6 7 8 9 	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M	4-2 ИН-1 4-4 4-6 4-6 4-7 ИН-2 DUT 	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2	 0 4 5 5 7 5 3 1 5  tatic	23. 23. 23. 22. 22. 22. 22. 20.	.44 .27 .44 .83 .44 .71 .63 .15	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00	) ) ) 2 ) ) )	45. 40. 28. 20. 28. 30. 38.	00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21	0.01 0.01 0.01 0.01 0.01 0.01
1 2 3 4 5 6 7 8 9 	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	4-2 ИН-1 4-4 4-6 4-6 4-7 ИН-2 DUT 	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2	 0 4 5 5 7 5 3 1 5  tatic	23. 23. 23. 22. 22. 22. 22. 20.	. 44 27 27 .44 .83 .44 .71 .63 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 000 (*	) ) ) ) ) ft)	45. 40. 28. 20. 28. 30. 38.	00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21	
1 2 3 4 5 6 7 8 9 	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT  ydraulic =======	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 	 0 4 5 5 7 5 3 1 5  tatic	23. 23. 23. 23. 22. 23. 22. 22. 20.	. 44 27 27 .44 83 .44 .71 .63 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 000 (* eloci	) ) ) ) ) ft) =====	45. 40. 28. 20. 28. 30. 38. 30.	00 00 00 00 00 00 00 	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33	0.01 0.02 0.03 0.03 0.03 0.03 0.03 0.03
 1 2 3 4 5 6 7 8 9  Conve =====	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT  ydraulic ======== lic Grad	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 	 0 4 5 5 7 5 3 1 5  tatic	23. 23. 23. 23. 22. 23. 22. 22. 20. 	. 44 .27 .27 .44 .83 .44 .71 .63 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	: 1 : 1 : 1 : 1 : 1 : 1 : 1 : 1 : 1 : 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 3.00 3.00 000 (* eloci f. Act	) ) ) ) ) ft) ft) ty tual	45. 40. 28. 220. 28. 30. 38. 30.	00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33	0.01 0.01 0.01 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Conve =====	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT  ydraulic ======== lic Grad	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 	 0 4 5 5 7 5 3 1 5  tatic	23. 23. 23. 23. 22. 23. 22. 22. 20. 	. 44 .27 .27 .44 .83 .44 .71 .63 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	: 1 : 1 : 1 : 1 : 1 : 1 : 1 : 1 : 1 : 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 1.50 2.50 3.00 3.00 000 (* eloci	) ) ) ) ) ft) ft) ty tual	45. 40. 28. 220. 28. 30. 38. 30.	00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33	0.01 0.01 0.01 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT  Jic Grad ev DS E (%	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 	0 4 5 5 7 5 3 1 5  tatic r.slo (ft)	23. 23. 23. 23. 22. 23. 22. 20. 22. 20.	.44 .27 .27 .44 .83 .44 .71 .63 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	2.00 2.00 1.50 2.50 3.00 3.00 000 (* eloci f. Act	) ) ) ) ) ft) ty tual fs)	45. 40. 28. 20. 28. 30. 38. 30. 	00 00 00 00 00 00 00 00 	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33 Cap (ft)	0.01 0.01 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT Jic Grad ev DS E (% L5 26	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 	0 4 5 5 7 5 3 1 5  r.slo (ft) 	23. 23. 23. 22. 23. 22. 22. 20. 	. 44 .27 .27 .44 .83 .44 .71 .63 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 000 (* eloci f. Act	) ) ) ) ft) ft) ty tual fs) 2.29	45. 40. 28. 220. 30. 38. 30.  Q (cf	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.21 0.33 	0.01 0.01 0.01 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-6 A-7 MH-2 DUT Jic Grad ev DS E (% 15 26 37 26	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 	0 4 5 5 7 5 3 1 5  r.slo (ft)  .101 .278	23. 23. 23. 22. 23. 22. 22. 20. 	. 44 .27 .27 .44 .83 .44 .71 .63 .15 .15 	Circ Circ Circ Circ Circ Circ Circ Circ	: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 000 (* eloci f. Act ) (c	) ) ) ) ft) ty tual fs) 2.29 3.80	45. 40. 28. 220. 30. 38. 30.  Q (cf 7 11	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.21 0.33 	0.01 0.01 0.01 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2 3	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT Lic Grad ev DS E (% L5 26 37 26 74 26	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 20.2 20.2 20.2 20.2 20.2 20.2	0 4 5 5 7 5 3 1 5	23. 23. 23. 22. 23. 22. 22. 20. 	.44 .27 .27 .44 .83 .44 .63 .15 .15 	circ Circ Circ Circ Circ Circ Circ Circ	: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 000 (* eloci f. Act ) (c 29 29 30	) ) ) ) ) ft) ty tual fs) 2.29 3.80 3.80	45. 40. 28. 220. 30. 38. 30.  Q (cf 7 11 11	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33 	0.01 0.01 0.02 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2 3 4	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-6 A-7 MH-2 DUT Jic Grad ev DS E (% 15 26 37 26 74 26 57 26	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2  20.2  i.ev F 6)  5.87 0 5.74 0 5.63 0	0 4 5 5 7 5 3 1 5  (ft) .101 .278 .278 .115	23. 23. 23. 22. 23. 22. 22. 20.	.44 .27 .27 .44 .83 .44 .63 .15 .15 	circ Circ Circ Circ Circ Circ Circ Circ	: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 3.00 (***********************************	) ) ) ) ) ft) ty tual fs) 2.29 3.80 3.80 2.01	45. 40. 28. 220. 30. 38. 30.  Q (cf 7 11 11 3	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33 	0.01 0.01 0.02 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2 3 4 5	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT Jic Grad A-7 MH-2 DUT Jic Grad A-7 MH-2 DUT Jic Grad A-7 A-6 A-7 MH-2 DUT Jic Grad A-7 A-7 A-6 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-7 A-7 A-7 A-7 A-7 A-7 A-7	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2  20.2  20.2  20.2  20.2  20.2  20.2  20.2 	0 4 5 5 7 5 3 1 5  (ft) .101 .278 .278 .115 .166	23. 23. 23. 22. 23. 22. 22. 20. 	.44 .27 .27 .44 .83 .44 .71 .63 .15 .15 	circ Circ Circ Circ Circ Circ Circ Circ	: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 3.00 (	) ) ) ) ) ft) ty tual fs) 2.29 3.80 2.01 3.40	45. 40. 28. 220. 30. 38. 30.  Q (cf 7 11 11 3 16	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33 	0.01 0.01 0.02 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2 3 4 5 6 5 6 7 8 9 	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C yance Hy yance Hy US Ele (ft) 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT Jic Grad EV DS E (% 15 26 37 26 74 26 57 26 57 26 53 26 28 26	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2  20.2  20.2  20.2  20.2  20.2  20.2  20.2  20.2 	0 4 5 5 7 5 3 1 5  (r.slo (ft) .101 .278 .278 .115 .166 .043	23 . 23 . 23 . 23 . 22 . 23 . 22 . 20 . 	.44 .27 .27 .44 .83 .44 .63 .15 .15 	circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 3.00 (	) ) ) ) ) ) ft) ty tual fs) 2.29 3.80 2.01 3.80 2.01 3.40 L.23	45. 40. 28. 220. 30. 38. 30.  Q (cf 7 11 11 3 16 2	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.20 0.21 0.33 	0.01 0.01 0.02 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2 3 4 5 6 7 7 8 9 	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C yance Hy ryance Hy ryance Hy comparison (ft) 27.1 26.8 26.7 26.6 26.2 26.2 26.2	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT Jic Grad A-7 MH-2 DUT Jic Grad A-7 MH-2 DUT Jic Grad A-7 A-6 A-7 MH-2 DUT Jic Grad A-7 A-6 A-7 A-6 A-6 A-7 MH-2 DUT Jic Grad A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-6 A-7 A-7 A-7 A-7 A-7 A-6 A-7 A-7 A-7 A-7 A-7 A-7 A-7 A-7	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2  20.2  20.2  20.2  20.2  20.2  20.2  20.2  20.2  5.27 0 .63 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .27 0 .20 .27 0 .20 .20 .20 .20 .20 .20 .20 .20 .20	 0 4 5 5 7 5 3 1 5  tatic (ft) .101 .278 .101 .278 .115 .166 .043 .405	23. 23. 23. 22. 23. 22. 20. 	.44 .27 .27 .44 .83 .44 .63 .15 .15 .15 .15 .15 .15 .15 .15 .15 .15	circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 3.00 (	) ) ) ) ) ) ft) ft) fs) 2.29 3.80 2.29 3.80 2.01 3.80 2.01 3.40 L.23 5.32	45. 40. 28. 220. 28. 30. 38. 30.  7 11 11 316 2 26	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.39 0.40 0.21 0.33 	0.01 0.01 0.02 0.02 0.02 0.02 0.02 0.02
 1 2 3 4 5 6 7 8 9  Run# (ft)  1 2 3 4 5 6 5 6 7 8 9 	(ft) A-1 A A-2 M MH-1 A A-3 A A-4 A A-5 A A-6 A A-7 M MH-2 C yance Hy yance Hy US Ele (ft) 	A-2 MH-1 A-4 A-6 A-6 A-7 MH-2 DUT Jic Grad V DS E (% 15 26 37 26 57 26 57 26 57 26 53 26 54 56 56 56 56 56 56 56 56 56 56	23.5 23.4 23.3 23.5 23.2 23.5 22.8 22.7 20.2 20.2 20.2 20.2 20.2 20.2 20.2	0 4 5 5 7 5 3 1 5  (r.slo (ft) .101 .278 .278 .115 .166 .043	23. 23. 23. 22. 23. 22. 20. 	.44 .27 .27 .44 .83 .44 .63 .15 .15 	circ Circ Circ Circ Circ Circ Circ Circ	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	2.00 2.00 1.50 2.50 3.00 3.00 3.00 (	) ) ) ) ) ) ft) ty tual fs) 2.29 3.80 2.01 3.80 2.01 3.40 L.23	45. 40. 28. 220. 28. 30. 38. 30.  7 11 11 3 16 2 26 31	00 00 00 00 00 00 00 00 00 00 00 00 00	0.38 0.20 0.39 0.20 0.20 0.21 0.33 	0.01 0.01 0.01 0.02 0.02 0.02 0.02 0.02

WinStorm (STORM DRAIN DESIGN)

Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:12:54 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area B 10 - Year Storm DESIGN FREQUENCY : 10 Years

#### OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years

_____

# Runoff Computation for Analysis Frequency. ID C Value Area TC TC Used Intensity Supply Q Total Q (acre) (min) (min) (in/hr) (cfs) (cfs)

NORMAL TERMINATION OF WINSTORM.

ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH OUTPUT FOR DESIGN FREQUENCY of: 10 Years Runoff Computation for Design Frequency.

ID	C Value	Area	Tc	Tc Used	Intensity	Supply Q	Total Q
(acre)	(min)	(min)	(ii	n/hr)	(cfs)	(cfs)	
B-1 B-2 B-3 B-4 B-5 B-6	0.55 0.55 0.55 0.55 0.55 0.55 0.55	0.63 1.88 1.31 0.88 1.85 1.52	15.00 15.00 15.00 15.00 15.00 15.00	$     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\     15.00 \\    $	6.21 6.21 6.21 6.21 6.21 6.21 6.21 6.21	0.000 0.000 0.000 0.000 0.000 0.000 0.000	2.151 6.420 4.474 3.005 6.318 5.191
в-7	0.55	0.52	15.00	15.00	6.21	0.000	1.776
в-8	0.55	0.67	15.00	15.00	6.21	0.000	2.288

#### Sag Inlets Configuration Data.

Inlet ID (ft)	Inlet Type (sf)	Length/ Perim. (%)	Grate Area (%)	Left-Slope Long Trans (%) (%)	Right- Long T (f	rans		itter DeprW (	Depth Allowed ft)	Critic Elev.
В-1 В-2 В-3 В-4	Curb Curb Curb Curb	3.00 6.00 4.00 3.00	n/a n/a n/a n/a	$\begin{array}{ccccc} 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \\ 0.50 & 2.00 \end{array}$	0.50	2.00 0 2.00 0 2.00 0	.014 .014	1.50 1.50 1.50 1.50	0.50 0.50 0.50 0.50	28.00 28.00 28.00 28.00
B-5 B-6 B-7 B-8	Curb Curb Curb Curb	6.00 5.00 2.00 3.00	n/a n/a n/a n/a	0.50 2.00 0.50 2.00 0.50 2.00 0.50 2.00 0.50 2.00	0.50 0.50 0.50	2.00 0 2.00 0 2.00 0 2.00 0	.014 .014 .014	1.50 1.50 1.50 1.50	0.50 0.50 0.50 0.50	28.00 28.00 28.00 28.00

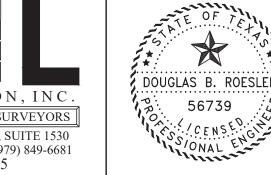
Inlet ID	Inlet Type	Lengt		te Area	Total Q	Inlet Capacity	Total Head	Ponded Left	Width Right
(ft)	(ft)	(sf)	(cfs)	(cfs)	(ft)	(ft)	(ft)		
 B-1	Curb	3.00	n/a	n/a	2.151	4.635	0.300	8.00	8.00
в-2	Curb	6.00	n/a	n/a	6.420	7.075	0.469	12.10	12.10
в-3	Curb	4.00	n/a	n/a	4.474	5.448	0.438	10.55	10.55
в-4	Curb	3.00	n/a	n/a	3.005	4.635	0.375	9.10	9.10
в-5	Curb	6.00	n/a	n/a	6.318	7.075	0.464	12.00	12.00
в-6	Curb	5.00	n/a	n/a	5.191	6.261	0.441	11.15	11.15
в-7	Curb	2.00	n/a	n/a	1.776	3.822	0.300	7.45	7.45
в-8	Curb	3.00	n/a	n/a	2.288	4.635	0.312	8.20	8.20

#### Cumulative Junction Discharge Computations

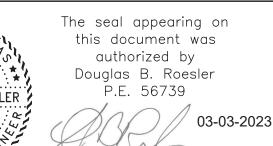
Node			Cumulat.		Intens.		Additional	Tota
I.D. (acres)	21	C-Value n) (in/h		тс )	(cfs)	Supply Q (cfs)	Q in Node	Disch
B-1	Curb	0.550	0.63	15.00	6.21	0.000	0.00	2.15
в-2	Curb	0.550	2.51	15.14	6.19	0.000	0.00	8.54
мн-3	CircMh	0.550	2.51	15.14	6.19	0.000	0.00	8.54
в-3	Curb	0.550	1.31	15.00	6.21	0.000	0.00	4.47
в-4	Curb	0.550	2.19	15.08	6.20	0.000	0.00	7.46
в-5	Curb	0.550	1.85	15.00	6.21	0.000	0.00	6.31
в-6	Curb	0.550	1.52	15.00	6.21	0.000	0.00	5.19
в-7	Curb	0.550	3.89	15.30	6.17	0.000	0.00	13.19
в-8	Curb	0.550	9.26	16.22	6.04	0.000	0.00	30.78
мн-4	CircMh	0.550	9.26	16.22	6.04	0.000	0.00	30.78
OUT	Outlt	0.550	9.26	0.00	0.00	0.000	0.00	0.00

Run#	Node	I.D.	Flowline	Elev.						
(ft)	US (ft)	DS	US (ft)	DS (ft)	Shape # (ft) (	Span (%)	Rise	Length	Slope	n_value
1	в-1	в-2	24.55	24.44	Circ 1	0.00	1.50	28.00	0.39	0.013
2	в-2	MH-3	24.44	24.24	Circ 1	0.00	2.00	100.00	0.20	0.013
3	MH-3	в-8	24.24	24.13	Circ 1	0.00	2.00	55.00	0.20	0.013
4	B-3	в-4	24.50	24.44	Circ 1	0.00	1.50	18.00	0.33	0.013
5	в-4	в-8	24.44	24.20	Circ 1	0.00	2.00	120.00	0.20	0.013
6	B-5	в-7	24.50	24.38	Circ 1	0.00	2.00	60.00	0.20	0.013
7	в-6	в-7	24.50	24.44	Circ 1	0.00	2.00	28.00	0.21	0.013
8	в-7	в-8	24.38	23.93	Circ 1	0.00	2.50	225.00	0.20	0.013
9	в-8	MH-4	23.93	23.63	Circ 1	0.00	3.00	130.00	0.23	0.013
10	мн-4	OUT	20.10	20.00	Circ 1	0.00	3.00	50.00	0.20	0.013

	Hydraulic	Gradelin	ie	Dep	th	Vel	ocity			Jun
Run# (ft)	US Elev (ft)	DS Elev (%)		pe Unif. (ft)		Unif. (f/s)	Actual (cfs)	Q (cfs)	Cap (ft)	Los
1	26.50	26.49	0.042	0.59	1.50	3.32	1.22	2.15	6.58	0.00
2	26.49	26.35	0.143	1.44	2.00	3.54	2.72	8.54	10.12	0.00
3	26.35	26.27	0.143	1.44	2.00	3.54	2.72	8.54	10.12	0.00
4	26.43	26.40	0.181	0.96	1.50	3.74	2.53	4.47	6.07	0.00
5	26.40	26.27	0.109	1.28	2.00	3.51	2.38	7.47	10.12	0.00
6	26.51	26.46	0.078	1.16	2.00	3.36	2.01	6.32	10.12	0.00
7	26.47	26.46	0.053	1.00	2.00	3.30	1.65	5.19	10.47	0.00
8	26.46	26.27	0.103	1.56	2.34	4.09	2.76	13.20	18.35	0.00
9	26.27	25.43	0.213	2.34	2.34	5.20	5.20	30.78	32.05	0.00
10	25.11	25.00	0.213	2.63	3.00	4.69	4.35	30.78	29.83	0.00



X



OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:_ PROFILE: HORIZONTAL: VERTICAL:

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_____ Critic

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#### OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years

Runoff	Computation	for	Analysis	Frequency
RUNOTI	Computation	101	Allalysis	Frequency.

ID (acre)	C Value (min)	Area (min)	Tc (i	Tc Used n/hr)	Intensity (cfs)	Supply Q (cfs)	Total Q
в-1	0.55	0.63	15.00	15.00	8.39	0.000	2.909
в-2	0.55	1.88	15.00	15.00	8.39	0.000	8.680
в-3	0.55	1.31	15.00	15.00	8.39	0.000	6.048
в-4	0.55	0.88	15.00	15.00	8.39	0.000	4.063
в-5	0.55	1.85	15.00	15.00	8.39	0.000	8.542
в-6	0.55	1.52	15.00	15.00	8.39	0.000	7.018
в-7	0.55	0.52	15.00	15.00	8.39	0.000	2.401
в-8	0.55	0.67	15.00	15.00	8.39	0.000	3.094

Item 11.

#### Sag Inlets Configuration Data.

Inlet ID	Inlet Type	Length/ Perim.	Grate Area	Left-Slop Long Tran	5	-Slope Trans	Gi n	utter DeprW	Depth Allowed	Critic Elev.
(ft)	(sf)	(%)	(%)	(%) (%)		(ft)	(ft)	. (	ft)	
в-1	Curb	3.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
в-2	Curb	9.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
в-3	Curb	6.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
в-4	Curb	4.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
B-5	Curb	9.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
в-6	Curb	7.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
в-7	Curb	3.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00
в-8	Curb	3.00	n/a	0.50 2.00	0.50	2.00	0.014	1.50	0.50	28.00

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#### Sag Inlets Computation Data.

Inlet ID (ft)	Inlet Type (ft)	Lengt (sf)		te Area (cfs)	Total Q (ft)	Inlet Capacity (ft)	Total Head (ft)	Ponded Left	width Right
 B-1	Curb	3.00			2.909	4.635	0.366	9.00	9.00
			,	n/a					
в-2	Curb	9.00	n/a	n/a	8.680	9.514	0.470	13.55	13.55
в-3	Curb	6.00	n/a	n/a	6.048	7.075	0.450	11.80	11.80
B-4	Curb	4.00	n/a	n/a	4.063	5.448	0.411	10.20	10.20
в-5	Curb	9.00	n/a	n/a	8.542	9.514	0.465	13.45	13.45
в-6	Curb	7.00	n/a	n/a	7.018	7.888	0.463	12.50	12.50
в-7	Curb	3.00	n/a	n/a	2.401	4.635	0.322	8.35	8.35
в-8	Curb	3.00	n/a	n/a	3.094	4.635	0.382	9.20	9.20

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#### Cumulative Junction Discharge Computations

Node I.D. (acres)	туре С	weighted C -Value Dr ) (in/hr)	.Area	Тс	. Intens. (cfs)	User Supply Q (cfs)	Additional Q in Node	Total Disch.
в-1	Curb	0.550	0.63	15.00	8.39	0.000	0.00	2.909
в-2	Curb	0.550	2.51	15.13	8.37	0.000	0.00	11.558
MH-3	CircMh	0.550	2.51	15.13	8.37	0.000	0.00	11.558
B-3	Curb	0.550	1.31	15.00	8.39	0.000	0.00	6.048
B-4	Curb	0.550	2.19	15.08	8.38	0.000	0.00	10.096
B-5	Curb	0.550	1.85	15.00	8.39	0.000	0.00	8.542
в-6	Curb	0.550	1.52	15.00	8.39	0.000	0.00	7.018
в-7	Curb	0.550	3.89	15.28	8.35	0.000	0.00	17.858
в-8	Curb	0.550	9.26	16.18	8.20	0.000	0.00	41.754
MH-4	CircMh	0.550	9.26	16.18	8.20	0.000	0.00	41.754
OUT	Outlt	0.550	9.26	0.00	0.00	0.000	0.00	0.000

Conv	eyance	Configu	ration Data							
Run#			Flowline	-	-1 "	_			- 7	-
(6+)	US	DS	US	DS	Shape #	Span	Rise	Length	Slope	n_value
(ft)	(ft)		(ft)	(ft)	(ft) (	(%) 				
1	в-1	в-2	24.55	24.44	Circ 1	0.00	1.50	28.00	0.39	0.013
2	в-2	MH-3	24.44	24.24	Circ 1	0.00	2.00	100.00	0.20	0.013
3	MH-3	в-8	24.24	24.13	Circ 1	0.00	2.00	55.00	0.20	0.013
4	в-3	в-4	24.50	24.44	Circ 1	0.00	1.50	18.00	0.33	0.013
5	B-4	в-8	24.44	24.20	Circ 1	0.00	2.00	120.00	0.20	0.013
6	в-5	в-7	24.50	24.38	Circ 1	0.00	2.00	60.00	0.20	0.013
7	в-6	в-7	24.50	24.44	Circ 1	0.00	2.00	28.00	0.21	0.013
8	в-7	в-8	24.38	23.93	Circ 1	0.00	2.50	225.00	0.20	0.013
9	в-8	MH-4	23.93	23.63	Circ 1	0.00	3.00	130.00	0.23	0.013
10	MH-4	OUT	20.10	20.00	Circ 1	0.00	3.00	50.00	0.20	0.013

#### Conveyance Hydraulic Computations. Tailwater = 26.000 (ft)

	Hydraulic									Junc
Run# (ft)	US Elev (ft)	DS Elev (%)		pe Unif. (ft)	Actual (f/s)	Unif. (f/s)		Q (cfs)	Cap (ft)	Loss
1	27.36	27.33	0.077	0.70	1.50	3.58	1.65	2.91	6.58	0.000
2	27.33	27.07	0.261	2.00	2.00	3.68	3.68	11.56	10.12	0.000
3	27.07	26.93	0.261	2.00	2.00	3.68	3.68	11.56	10.12	0.000
4	27.23	27.17	0.331	1.22	1.50	3.93	3.42	6.05	6.07	0.000
5	27.17	26.93	0.199	1.63	2.00	3.69	3.21	10.10	10.12	0.000
6	27.44	27.36	0.143	1.44	2.00	3.53	2.72	8.54	10.12	0.000
7	27.38	27.36	0.096	1.19	2.00	3.61	2.23	7.02	10.47	0.000
8	27.36	26.93	0.189	2.03	2.50	4.18	3.64	17.86	18.35	0.000
9	26.93	26.20	0.392	3.00	3.00	5.91	5.91	41.75	32.05	0.000
10	26.20	26.00	0.392	3.00	3.00	5.91	5.91	41.75	29.83	0.000

NORMAL TERMINATION OF WINSTORM.

# **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

### WINDSTORM DATA RUN A & B

200

PROJECT NO. 14396

WinStorm (STORM DRAIN DESIGN)

Version 3.05, Jan. 25, 2002 Run @ 2/1/2023 4:19:37 PM

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 & 4 JOB NUMBER : 14396 PROJECT DESCRIPTION : Area C 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

> OUTPUT FOR DESIGN FREQUENCY of: 10 Years ______

	Runoff Computation for Design Frequency. 
	C-10.551.2415.0015.006.210.0004.235C-20.550.4615.0015.006.210.0001.571C-30.550.5215.0015.006.210.0001.776C-40.550.3115.0015.006.210.0001.059C-50.550.6015.0015.006.210.0002.049C-60.550.5715.0015.006.210.0001.947C-70.550.8515.0015.006.210.0002.903C-80.551.3515.0015.006.210.0004.610C-90.550.5615.0015.006.210.0001.912C-100.550.7415.0015.006.210.0002.527C-110.550.7715.0015.006.210.0002.630
	Sag Inlets Configuration Data. ===================================
	ID       Type       Perim.       Area       Long Trans       Long Trans       n       DeprW       Allowed       Elev.         (ft)       (sf)       (%)       (%)       (%)       (ft)       (ft)       (ft)         C-1       Curb       4.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00
	C-2       Curb       2.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-3       Curb       2.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-4       Curb       2.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-4       Curb       2.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-5       Curb       3.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-6       Curb       2.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-7       Curb       3.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-7       Curb       3.00       n/a       0.50       2.00       0.014       1.50       0.50       28.00         C-8       Curb       4.00       n/a       0.50       2.00       0.50       2.00       0.50       2.8.00         C-9       Curb       2.00<
	Sag Inlets Computation Data. ===================================
	ID Type Perim Area Capacity Head Left Right (ft) (ft) (sf) (cfs) (cfs) (ft) (ft) (ft)
	C-1Curb4.00n/an/a4.2355.4480.42310.3510.35C-2Curb2.00n/an/a1.5713.8220.2767.157.15C-3Curb2.00n/an/a1.7763.8220.3007.457.45C-4Curb2.00n/an/a1.0593.8220.2126.156.15C-5Curb3.00n/an/a2.0494.6350.2907.907.90C-6Curb2.00n/an/a1.9473.8220.3197.707.70C-7Curb3.00n/an/a2.9034.6350.3668.958.95C-8Curb4.00n/an/a1.9123.8220.3157.657.65C-9Curb2.00n/an/a1.9123.8220.3157.657.65C-10Curb3.00n/an/a2.5274.6350.3438.508.50C-11Curb3.00n/an/a2.6304.6350.3438.658.65
	Cumulative Junction Discharge Computations
	Node         Node Weighted Cumulat. Cumulat. Intens.         User         Additional         Total           I.D.         Type         C-Value         Dr.Area         Tc         Supply Q         Q in Node         Disch.           (acres)         (min)         (in/hr)         cfs)         (cfs)         (cfs)           C-1         Curb         0.550         1.24         15.00         6.21         0.000         0.00         4.235           C-2         Curb         0.550         1.70         15.49         6.14         0.000         0.00         5.742           C-3         Curb         0.550         2.22         15.63         6.12         0.000         0.00         7.475
	C-4Curb0.5500.3115.006.210.0000.001.059C-5Curb0.5503.1316.556.000.0000.0010.328C-6Curb0.5500.5715.006.210.0000.001.947C-7Curb0.5504.5516.965.950.0000.0014.883C-8Curb0.5501.3515.006.210.0000.004.610C-9Curb0.5501.9115.156.190.0000.002.527C-10Curb0.5507.9718.215.790.0000.0025.396MH-5CirCMh0.5507.9718.215.790.0000.0025.396OUTOutlt0.5507.9718.215.790.0000.0025.396
	Conveyance Configuration Data ===================================
	US DS US DS Shape # Span Rise Length Slope n_value (ft) (ft) (ft) (ft) (ft) (%) 1 C-1 C-2 23.00 22.82 Circ 1 0.00 2.00 90.00 0.20 0.013
	2       C-2       C-3       23.50       23.44       Circ 1       0.00       2.00       28.00       0.21       0.013         3       C-3       C-5       22.82       22.43       Circ 1       0.00       2.00       195.00       0.20       0.013         4       C-4       C-5       23.60       23.44       Circ 1       0.00       1.50       28.00       0.57       0.013         5       C-5       C-7       22.43       22.24       Circ 1       0.00       2.50       95.00       0.20       0.013         6       C-6       C-7       23.55       23.44       Circ 1       0.00       1.50       28.00       0.39       0.013         7       C-7       C-11       22.24       21.61       Circ 1       0.00       3.00       315.00       0.20       0.013         8       C-8       C-9       23.00       22.94       Circ 1       0.00       1.50       28.00       0.21       0.013         9       C-9       C-11       22.94       22.42       Circ 1       0.00       2.00       260.00       0.20       0.013         10       C-10       C-11       23.55       23.44
	Conveyance Hydraulic Computations. Tailwater = 25.000 (ft)
	Hydraulic Gradeline Depth Velocity Junc Run# US Elev DS Elev Fr.Slope Unif. Actual Unif. Actual Q Cap Loss (ft) (ft) (%) (ft) (ft) (f/s) (cfs) (cfs) (ft)
	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
	9       25.48       25.27       0.083       1.16       2.00       3.45       2.07       6.50       10.12       0.000         10       25.28       25.27       0.058       0.64       1.50       3.48       1.43       2.53       6.58       0.000         11       25.27       25.07       0.145       2.16       3.00       4.67       3.59       25.40       29.83       0.000         12       25.07       25.00       0.145       2.16       3.00       4.67       3.59       25.40       29.83       0.000
	DESIGNED DR
	DRAWN BT
DATE	DESCRIPTION APPROVED CHECKED

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(acre)	C Value (min				⊤c Used /hr)	I (cf	ntensi [.] s)		Supply fs)	Q	Total	Q
C-1	0.55	1.2		.00	15.00		8.39		0.000		5.7	
C-2 C-3	0.55 0.55	0.4 0.5		.00 .00	15.00 15.00		8.39 8.39		0.000		2.1 2.4	
2-4	0.55	0.3	1 15	.00	15.00		8.39		0.000	)	1.4	131
2-5 2-6	0.55 0.55	0.6 0.5		.00 .00	15.00 15.00		8.39 8.39		0.000		2.7	
2-7	0.55	0.8	5 15	.00	15.00		8.39		0.000	)	3.9	925
2-8 2-9	0.55 0.55	1.3 0.5		.00 .00	15.00 15.00		8.39 8.39		0.000		6.2 2.5	
2-10	0.55	0.7	4 15	.00	15.00		8.39		0.000	)	3.4	117
	0.55	0.7	7 15	.00	15.00		8.39		0.000		3.5	555
5ag In 		nfigurat ======									=====	
ID ID		_ength/ Perim.	Grate Area		Slope Trans		-Slope		tter DeprW	Dep Allo		Critic Elev.
(ft)	(sf)	(%) (	%) (	(%) (	(%)	(	ft)	(ft)		(ft) 		
2-1 2-2	Curb Curb	5.00 3.00	n/a n/a	0.50 0.50		0.50 0.50	2.00		$1.50 \\ 1.50$		50 50	28.00 28.00
2-3	Curb	3.00	n/a	0.50	2.00	0.50	2.00	0.014	1.50	0.	50	28.00
C-4 C-5	Curb Curb	2.00 3.00	n/a n/a	0.50 0.50		0.50 0.50	2.00		$1.50 \\ 1.50$		50 50	28.00 28.00
2-6	Curb	3.00	n/a	0.50		0.50	2.00		1.50		50	28.00
2-7	Curb	4.00	n/a	0.50		0.50	2.00		1.50		50	28.00
2-8 2-9	Curb Curb	6.00 3.00	n/a n/a	0.50 0.50		0.50 0.50	2.00		$1.50 \\ 1.50$		50 50	28.00 28.00
C-10 C-11	Curb Curb	4.00 4.00	n/a n/a	0.50 0.50	2.00	0.50	2.00	0.014	1.50 1.50	0.	50 50	28.00 28.00
-		nputatio										
===== [nlet ID		Length	Gr		Tota	1 Q		То	tal	Ponded	Widt	h
(ft) 		(sf) ( 5.00		(cfs	5) (	(ft)	(ft) 6.261	(ft		 11.60		
2-2	Curb	3.00	n/a	. n/a	ι 2.1	24	4.635	0.	297	8.00	8.	.00
2-3 2-4	Curb Curb	3.00 2.00	n/a n/a				4.635 3.822		322 260	8.35 6.90		. 35 . 90
2-4 2-5	Curb	2.00	n/a n/a				4.635		355	8.80		. 80
2-6	Curb	3.00	n/a	. n/a	u 2.6	32	4.635	0.	343	8.65	8.	65
C-7 C-8	Curb Curb	4.00 6.00	n/a n/a				5.448 7.075		402 460	10.05 11.95	10. 11.	
2-9	Curb	3.00	n/a	. n/a	ι 2.5	86	4.635	0.	339	8.60	8.	60
2-10 2-11	Curb Curb	4.00 4.00	n/a n/a		ι 3.4 ι 3.5		5.448 5.448		366 376			. 55 . 70
Cumula	tive Ju	nction D	ischar	ge Com	putatio	ns						
 Node	Node	nction D ====================================	===== d Cum	ulat.	Cumulat		ens.	User	Ac	dition	al	Total
Node I.D. (acres	Node Type ) (mi	Weighte C-Value n) (ir	d Cum Dr.A u/hr)	ulat. Area cfs	Cumulat Tc	. Int (cfs)	ens. S	User upply (cfs)	AC Q Q	dition in Noc	al le	Total Disch.
Node .D. (acres) 1	Node Type ) (mi Curb	Weighte C-Value n) (ir 0.550	d Cum Dr.A n/hr)	ulat. Area cfsj 1.24	Cumulat Tc ) 15.00	. Int (cfs) 8	ens. S 	User upply (cfs) 0.000	Ac Q Q	dition in Noc  0.0	a1 le 	Total Disch. 5.725
Node L.D. (acres)  C-1 C-2 C-3	Node Type ) (mi Curb Curb Curb Curb	weighte C-Value n) (ir 0.550 0.550 0.550	====== Dr.A n/hr)	ulat. area cfs) 1.24 1.70 2.22	Cumulat Tc 15.00 15.44 15.57	. Int (cfs) 8 8 8	ens. S .39 .32 .30	User upply (cfs) 0.000 0.000 0.000	Ac Q Q 	dition in Noc  0.0 0.0 0.0	a] le  0 0 0	Total Disch. 5.725 7.779 10.132
Node .D. (acres)  2-1 2-2 2-3 2-4	Node Type ) (mi Curb Curb Curb Curb Curb	weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550	====== Dr.A n/hr)	ulat. area cfs) 1.24 1.70 2.22 0.31	Cumulat Tc 15.00 15.44 15.57 15.00	. Int (cfs) 8 8 8 8 8	ens. S .39 .32 .30 .39	User upply (cfs) 0.000 0.000 0.000 0.000	Ac Q Q	dition in Noo 0.0 0.0 0.0 0.0	al le 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431
Node .D. (acres) 	Node Type ) (mi Curb Curb Curb Curb	weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550	===== Dr.A n/hr)	ulat. rea cfs 1.24 1.70 2.22 0.31 3.13 0.57	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. S .39 .32 .30 .39 .15 .39	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000	Ac Q Q	dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0	a1 de 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550	====== Dr.A n/hr)	1.24 1.70 2.22 0.31 3.13 0.57 4.55	Cumulat Tc ) 15.00 15.44 15.57 15.00 16.45 15.00 16.83	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. .39 .32 .30 .39 .15 .39 .09	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000	AC Q Q 	dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	a1 de 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255
Node .D. (acres) 	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb	weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550	====== Dr.A n/hr)	ulat. rea cfs 1.24 1.70 2.22 0.31 3.13 0.57	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. .39 .32 .30 .39 .15 .39 .09 .39 .39 .39 .39 .37	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000		dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0	a1 de 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632
Node L.D. (acres)    	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	====== Dr.A n/hr)	ulat. rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. .39 .32 .30 .39 .15 .39 .09 .39 .39 .39 .39 .39 .39 .39 .3	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000		dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	al de 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417
Node L.D. (acres)      	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	====== Dr.A n/hr)	ulat. rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7	ens. .39 .32 .30 .39 .15 .39 .09 .39 .39 .39 .39 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000		dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	a1 de 00 00 00 00 00 00 00 00 00 00 00 00 00	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694
Node L.D. (acres)      	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	====== Dr.A n/hr)	ulat. rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00	. Int (cfs) 88 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 7 7	ens. .39 .32 .30 .39 .15 .39 .09 .39 .39 .39 .39 .39 .39 .39 .3	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000		dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	al de 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417
Node L.D. (acres) (acres) C-1 C-2 C-3 C-4 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 MH-5 DUT Convey	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cum Dr.A h/hr)	ulat. rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 7 7 7 7	ens. 39 .32 .30 .39 .15 .39 .09 .39 .37 .39 .91 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.00000 0.00000 0.00000 0.000000 0.00000 0.00000000		dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	a1 de 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694
Node L.D. (acres)    	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cum Dr.A h/hr)  ion Da ======	ulat. (rea cfs) 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 ta ne Ele	Cumulat Tc 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00	. Int (cfs) 8 8 8 8 8 8 8 8 8 8 8 8 7 7 7 7	ens. S .39 .32 .30 .39 .15 .39 .09 .37 .39 .91 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.00000 0.0000 0.0000 0.0000 0.0000 0.00000 0.00000 0.00000		dition in Noc 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	a1 de 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694
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Node L.D. (acres) -1 -2 -3 -4 -5 -6 -7 -8 -9 -10 -11 4H-5 DUT  Convey Run# (ft) 	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 5.50	d Cum Dr.A n/hr) ion Da Flowli US	ulat. rea cfs 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7	Cumulat Tc ) 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00	<pre>. Int (cfs)</pre>	ens. s .39 .32 .30 .39 .15 .39 .09 .37 .39 .91 .91 .91 .91	User upply (cfs) 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.0000 0.00000 0.00000 0.0000 0.0000 0.00000000	Ac Q Q 	dition in Nod 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.	a1 de 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Total Disch. 5.725 7.779 10.132 1.431 14.039 2.632 20.255 6.233 8.795 3.417 34.694 34.694 34.694
Node L.D. (acres) C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 H-5 DUT Convey Run# (ft) Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey Convey	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550	d Cum Dr.A J/hr)  ion Da ====== Flowli US (ft  23.00 23.50 22.82	ulat. rea cfs 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7.97 7	Cumulat Tc ) 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 15.13 15.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 15.13 15.44 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.14 15.13 15.00 15.13 15.00 15.13 15.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 10.00 10.00	<pre>===== . 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Node L.D. 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(acres)         1         2-1         2-3         2-4         2-5         2-6         2-7         2-8         2-9         2-10         2-11         MH-5         DUT         Convey         Run#         (ft)         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0	d Cum Dr.A J/hr)  ion Da = Flowli US (ft  23.00 23.50 22.82 23.60 22.43 23.55 22.24	ulat. rea cfs 1.24 1.70 2.22 0.31 3.13 0.57 4.55 1.35 1.91 0.74 7.97 7.97 7.97 7.97 7.97 7.97 ta ne Ele DS 22 23 22 23 22 23 22 23 21	Cumulat Tc ) 15.00 15.44 15.57 15.00 16.45 15.00 16.83 15.00 16.83 15.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 15.13 15.13 15.00 15.14 15.13 15.00 15.44 15.57 15.00 15.44 15.57 15.00 15.44 15.57 15.00 15.44 15.57 15.00 15.44 15.57 15.00 15.45 15.00 15.45 15.00 15.13 15.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 18.00 10.00 10.00 10.00 10.00 10.00 10.00	<pre>. 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Node         I.D.         (acres)         1         2-1         2-3         2-4         2-5         2-6         2-7         2-8         2-9         2-10         2-11         MH-5         DUT         Convey         Run#         (ft)         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C         C	Node Type ) (mi Curb Curb Curb Curb Curb Curb Curb Curb	Weighte C-Value n) (ir 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 0.550 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Conve	yance Hydr	aulic Com	putatio	ns. Tai	lwater =	= 26.000	) (ft)			
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1 2 3 4* 5 6 7 8 9	27.38 27.29 26.91 26.90 26.81 26.79 26.99 26.89	27.33 27.29 26.90 26.90 26.79 26.79 26.50 26.89 26.50	0.064 0.118 0.201 0.019 0.117 0.063 0.092 0.352 0.151	1.06 1.28 1.63 0.43 1.64 0.66 1.83 1.50 1.44	2.00 2.00 1.50 2.50 1.50 3.00 1.50 2.00	3.38 3.66 3.71 3.41 4.11 3.54 4.49 3.53 3.64	1.82 2.48 3.23 0.81 2.86 1.49 2.87 3.53 2.80	5.73 7.78 10.13 1.43 14.04 2.63 20.25 6.23 8.80	$10.12 \\ 10.47 \\ 10.12 \\ 7.94 \\ 18.35 \\ 6.58 \\ 29.83 \\ 4.86 \\ 10.12 \\$	0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000
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NORMAL TERMINATION OF WINSTORM.

REG. NO. F-825

#### OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 WinStorm (STORM DRAIN DESIGN)

PROJECT NAME : Riverwood Ranch Subd. Sec. 3 &4 JOB NUMBER : 14396 PROJECT DESCRIPTION : D.A. D 10 - Year Storm DESIGN FREQUENCY : 10 Years ANALYSYS FREQUENCY : 100 Years MEASUREMENT UNITS: ENGLISH

### OUTPUT FOR DESIGN FREQUENCY of: 10 Years

ID	C Valu	e Are (acr		⊺c in)	Tc Use (min)	d	Intensi (in/hr	-	Supply (cfs)		Total (cfs	•
D-1 D-2 D-3	0.6 0.6 0.35	1.6 1.7 0.5	2 15	.00	15.00 15.00 15.00		6.21 6.21 6.21		0.000	)	6.2 6.4 1.2	80
		nfigurat	ion Dat	ca.								
===== Inlet ID	Inlet Type	======= Length/ Perim. (ft)	Grate Area (sf)				====== t-Slope Trans (%)		utter DeprW (ft)	A]	epth lowed t)	Criti Elev (ft)
D-1 D-2 D-3	Curb Curb Grate	6.00 6.00 7.34	n/a n/a 3.74	0.50 0.50 0.50	2.00	0.50 0.50 0.50	2.00	0.014 0.014 0.014	1.50 1.50 n/a	(	).50 ).50 ).50	28.0 28.0 28.0
Sag Ir	nlets Co	mputatio	n Data									
Inlet ID	Inlet Type	Length (ft)		n Area			Inlet Capacit (cfs)	су не	otal ead ft)	Ponde Left (ft)	ed Widt Rigł (ft)	nt
D-1 D-2 D-3	Curb Curb Grate	6.00 6.00 n/a	n/a n/a 7.34	n/a n/a 3.74	6.	296 408 217	7.075 7.075 8.011	5 0.	.463 .468 .142	12.00 12.10 6.50	) 12.	
Cumula	ative Ju	nction D	oischar	ge Com	putati	ons						
Node I.D.	Node Type	weighte C-Value	Dr.A		===== Cumula Tc (min)		tens. n/hr)	User Supply cfs	v Q Q	ditic in N (cfs	lode	Total Disch (cfs)
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		nfigurat										
====== Run#	Node I. US D	======= D. S	Flowlir US (ft)	ne Ele DS (ft)	v. S	hape	# Spar	n Rise		jth s	Slope	n_valu
1 [ 2 [ 3 [	D-1 D D-2 D D-3 0	 -2 -3 UT	19.78 19.74 19.57	19 19 19	.74 .57 .18	Circ Circ Circ	1 0.00 1 0.00 1 0.00	) 2.5( ) 2.5( ) 2.5(	) 27 ) 140 ) 326	.00 .00 .00	0.15 0.12 0.12	0.01 0.01 0.01
Convey	yance Hy	draulic	Computa	ations	. таі	lwate	r = 25.	.000 (1	ft)			
	Hydraul	ic Grade	eline		Dep	th	١	/eloci	ty		Сар	Jun Los
Run#	(ft)	(ft)	(%	%)	(ft)	(ft)	(f/	/s) ( [.]	f/s) (	(cfs)	(cfs)	) (ft

OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:__ PROFILE: HORIZONTAL: VERTICAL:

#### OUTPUT FOR ANALYSYS FREQUENCY of: 100 Years _____

Runoff Computation for Analysis Frequency.

ID	C Valı			TC in)	Tc Used (min)		ntensit (in/hr)		Supply (cfs)		Tota (cf:	
D-1 D-2 D-3	0.6 0.6 0.35	1.6 1.7 0.5	2 15	.00 .00 .00	15.00 15.00 15.00		8.39 8.39 8.39		0.000	)	8.9 8.0 1.0	663
Sag	Inlets Co	onfigurat	ion Da	ta.								
Inle ID	t Inlet Type	Length/ Perim. (ft)		Long	Trans	Long			tter DeprW (ft)	A	epth llowed (ft)	Criti Elev (ft)
D-1 D-2 D-3	Curb	9.00 9.00 7.34	n/a n/a 3.74	0.50		0.50	2.00 0 2.00 0 2.00 0	.014	1.50		0.50 0.50 0.50	28.0 28.0 28.0
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D-1 D-2 D-3	Curb Curb Grate	9.00 9.00 n/a	n/a n/a 7.34		a 8.6	63	9.514 9.514 8.011	0.	470	13.4 13.5 7.2	5 13	. 45 . 55 . 25
	lative Ju											
	Node		d Cum Dr. (ac	ulat. Area res)	Cumulat Tc (min)	. Int	ens.	User upply	Q C	) in	onal Node Fs)	Disch
==== Node	Node Type Curb Curb	Weighte C-Value 0.600 0.600 0.555	d Cum Dr., (ac	ulat. Area	Cumulat Tc (min) 15.00 15.14	 (in 8 8 8 8	ens. 5 /hr) .39 .37 .26	User upply	Q (	(cf (cf ( ( ( (	Node	Disch (cfs) 8.512 17.127 18.516
==== Node I.D. D-1 D-2 D-3 OUT	Node Type Curb Curb Grate Outli	Weighte C-Value 0.600 0.600 0.600 0.565	d Cum Dr., (ac	ulat. Area res) 1.69 3.41 3.97 3.97	Cumulat Tc (min) 15.00 15.14 15.81	 (in 8 8 8 8	ens. 5 /hr) .39 .37 .26	User upply cfs)  0.000 0.000 0.000	Q (	(cf (cf ( ( ( (	Node Fs) 	Disch (cfs) 8.512 17.127 18.516
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==== Node I.D. D-1 D-2 D-3 OUT  Run#  1 2 3 	Node Type Curb Curb Grate Outli eyance Co Node I US I D-1 [ D-2 [	Weighte C-Value 0.600 0.600 0.565 t 0.565 t 0.565 t 0.565 t 0.565	d Cum Dr., (ac 	ulat. Area res) 1.69 3.41 3.97 3.97 ta me Ele DS (ft) 19 19	Cumulat TC (min) 15.00 15.14 15.81 15.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 20.81 2	===== . Int (in 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	ens. /hr) .39 .37 .26 .26 .26 .26 	User upply cfs)  0.000 0.000 0.000 0.000 0.000  Rise (ft)  2.50 2.50 2.50	Q C	<pre>&gt; in (cf (cf (c) (c) (c) (c) (c) (c) (c) (c) (c) (c)</pre>	Node fs) 0.00 0.00 0.00 0.00 Slope (%) 0.15 0.12	Disch (cfs) 8.512 17.127 18.516 18.516 
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NORMAL TERMINATION OF WINSTORM.

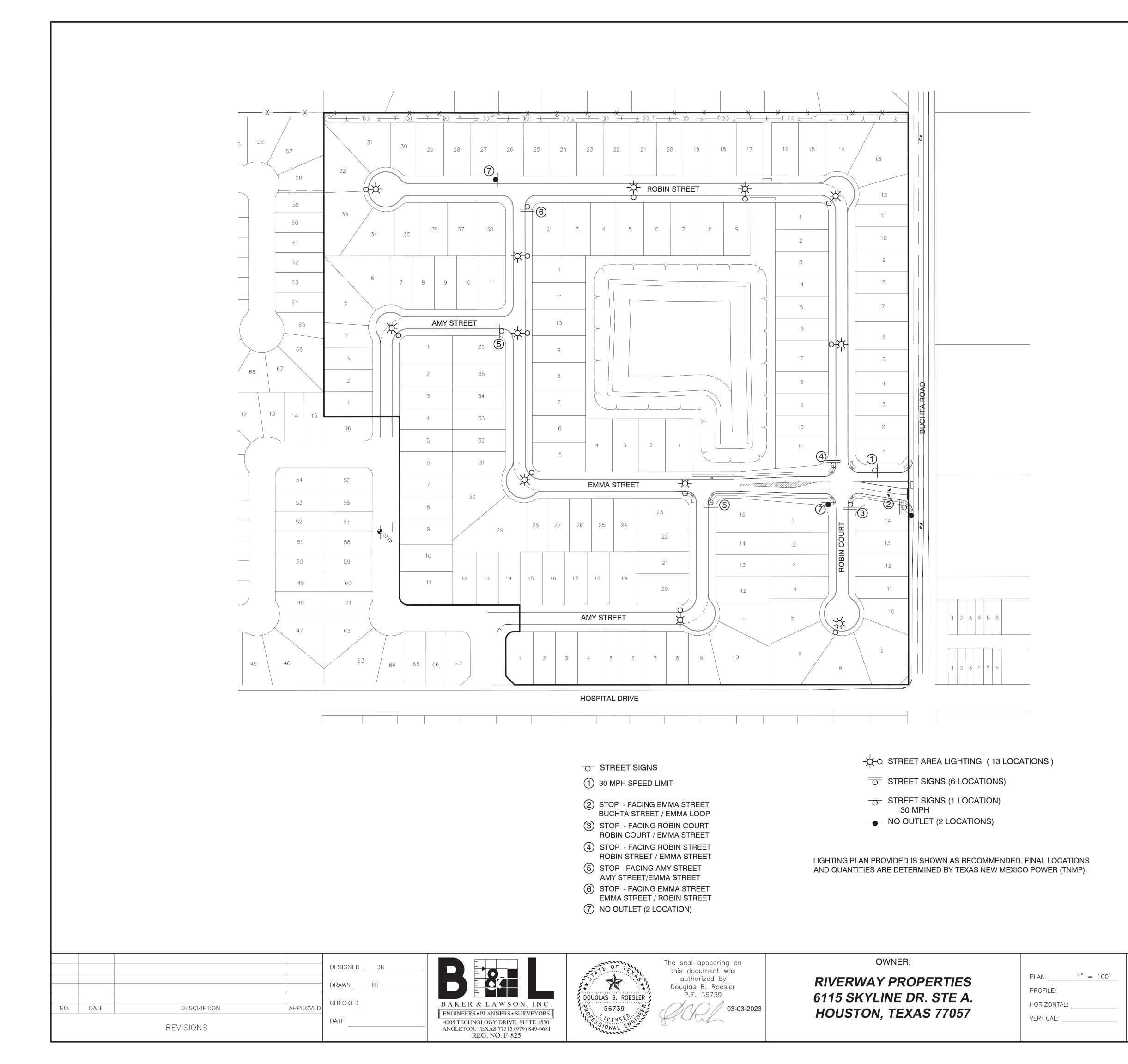
**RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

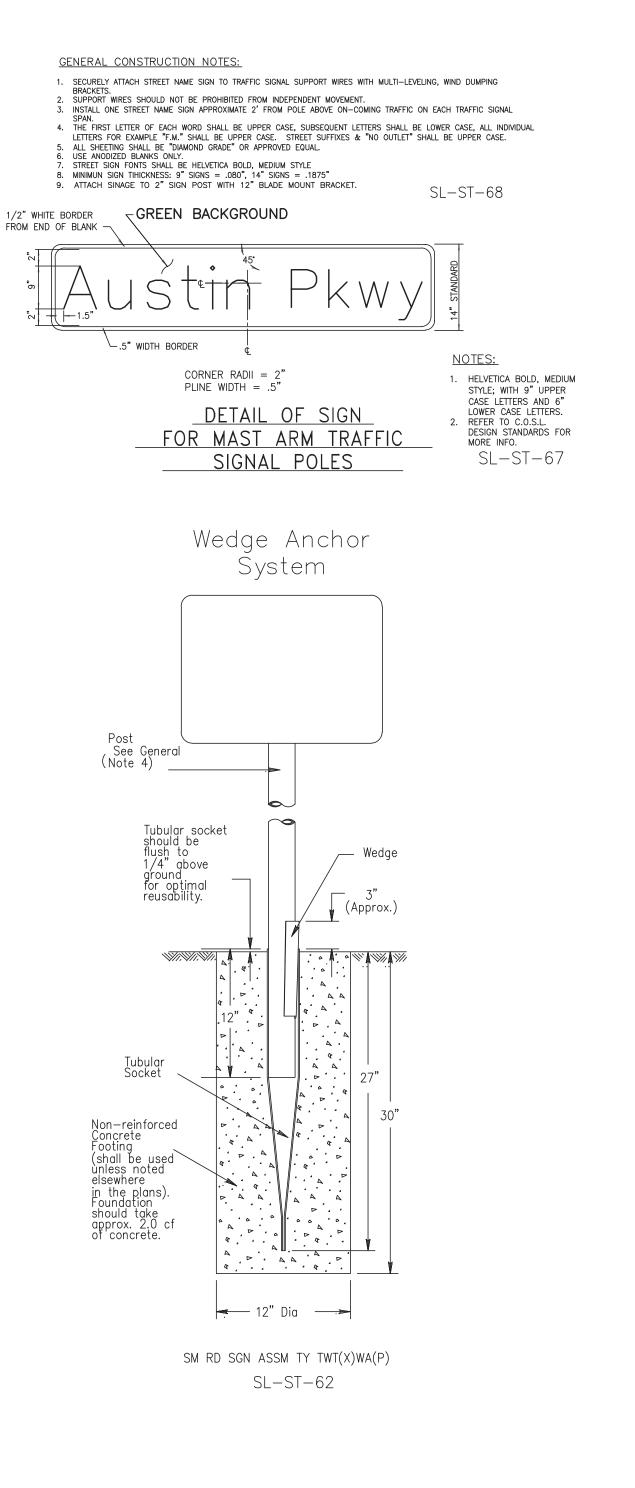
### WINDSTORM DATA RUN C & D

27 8 201

Item 11.

PROJECT NO. 14396





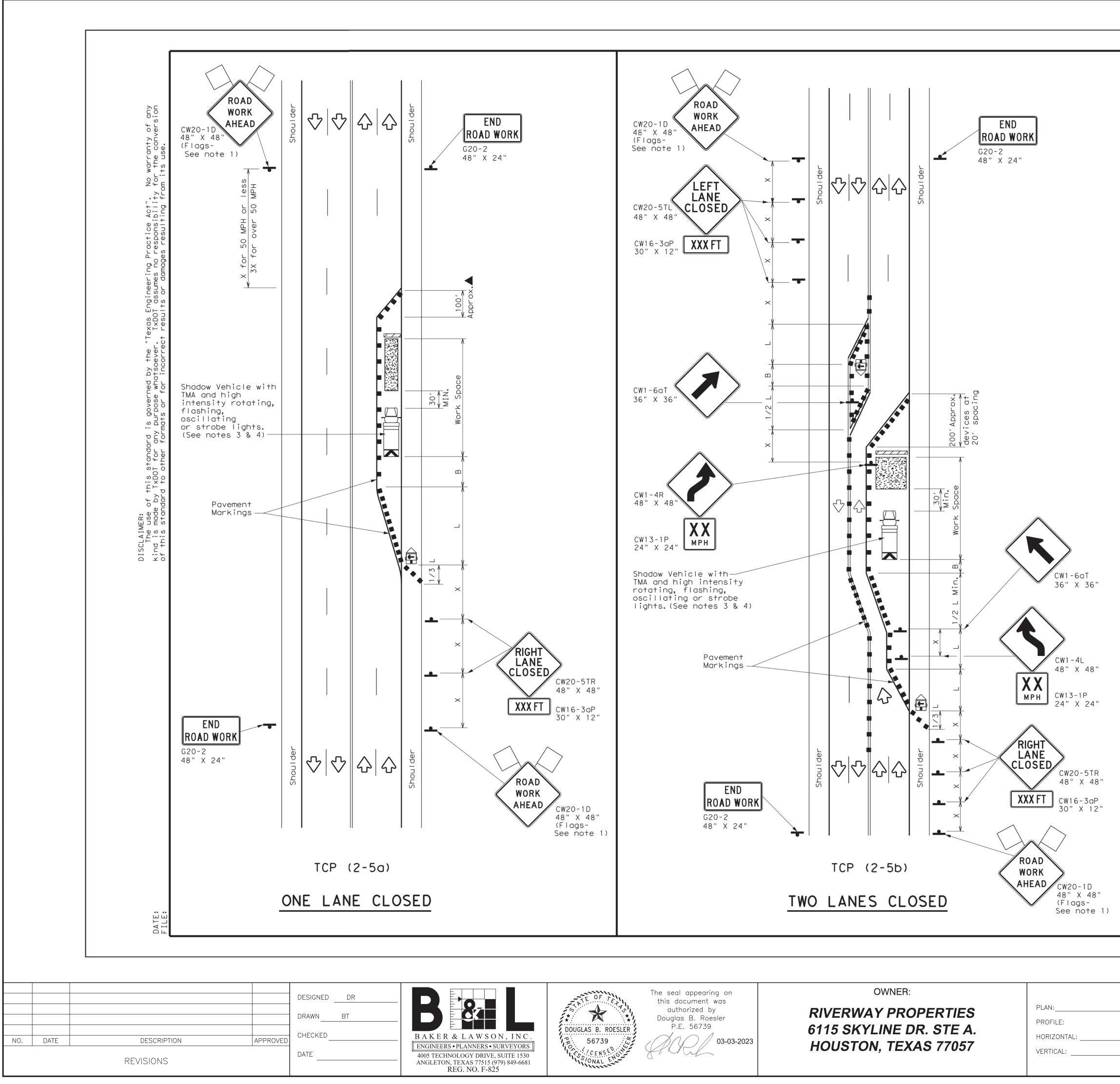
Item 11.

RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

PAVING MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT

> 2/1 % 202

PROJECT NO. 14396



PLAN:	
PROFILE:	
HORIZONTAL:	
VERTICAL:	

Type 3 Barriade         The channelizing Devices Artenuotor (TMA) Protable Changeable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable Prostable P	Type 3 Barri code       The Channel izing Devices         Type 4 Barri code       The Channel izing Devices         Trailer Mounted       Trailer Mounted         Trailer Mounted       Trailer Mounted         Flag       Trailer Mounted       Trailer Mounted         Flag       Trailer Mounted       Trailer Mounted       Suggested Mounted         Flag       Trailer Mounted       Trailer Mounted       Suggested Mounted         Flag       Trailer Mounted       Trailer Mounted       Suggested Mounted         Flag       Trailer Mounted       Suggested Mounted       Suggested Mounted         Flag       Suggested Mounted       Suggested Mounted       Mounte	Г				LE	GEN	)					
Heavy Work Vehicle       Attenuator (TMA)         Figh       Figh       Figh       Figh         Figh       Figh       Figh       Figh         Sign       Figh       Figh       Figh         Sign       Figh       Figh       Figh         State       Figh	Heary Work Vehicle       Attenuator       Ithenuator       Ithenuator         Image: Transing Arrow Board       Image: Torre Changedoli       Transing Arrow Board       Image: Changedoli         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Changedoli       Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Changedoli       Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board         Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Board       Image: Transing Arrow Boarrow Board       Image: Transing Ar			Туре З	Barri				Chann	elizing	Devices		
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Image: barrier barrier barrierImage: barrier barrierImage: barrier barrierImage: barrier barrierImage: barrier </td <td>Pricabing Arrow Boord       Minima resource Sign       Provide resource Sign         initial initinitial initinitialini initial initiali initial initialini initial</td> <td></td> <td></td> <td colspan="4"></td> <td>$\bigtriangleup$</td> <td></td> <td colspan="3"></td>	Pricabing Arrow Boord       Minima resource Sign       Provide resource Sign         initial initinitial initinitialini initial initiali initial initialini initial							$\bigtriangleup$					
	Image: bit is the start of the sta						ord						
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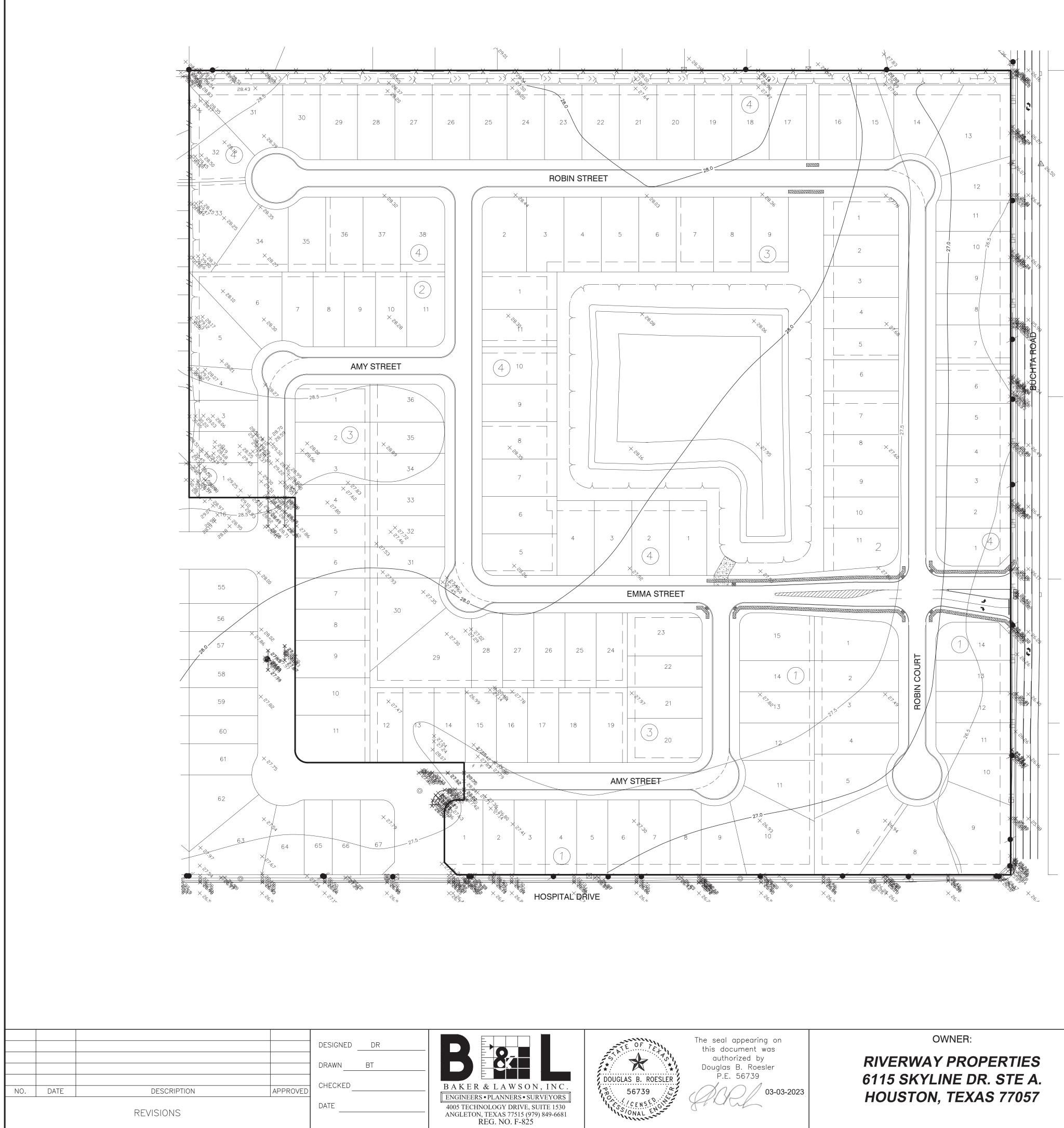
**RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

TRAFFIC CONTROL PLAN TCP (1-1)-18

PROJECT NO. 14396

25 I m

ltem 11.



PLAN: 1" = 80' PROFILE: HORIZONTAL: VERTICAL:

TREE	LEGEND
$\bigcirc$	HERITAGE TREE (PECAN & LIVE OAK)
$\odot$	SIGNIFICANT TREE (OAK & ELM)
¢	PROP CREPE MYRTLE
Q	PROP OAK TREE

<u>SITE TREE SUMMARY</u>

TOTAL NUMBER OF HERITAGE TREES = 0 TOTAL CALIPER OF HERITAGE TREES = 0 IN HERITAGE TREES TO BE REMOVED* = 0 CALIPER OF REMOVED HERITAGE TREES = 0 IN

HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 0CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 0 IN

REQUIRED REPLACEMENT CALIPER = N/AREQUIRED REPLACEMENT TREES (3"-CALIPER OAK TREES)= 0 TREES PER SECTION 23-60.H.7 OF THE ANGLETON LDC, THE HOMEOWNER WILL PROVIDE TWO TREES PER LOT IN ADDITION TO THE REQUIRED REPLACEMENT CALIPER.

**RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

HERITAGE TREE PRESERVATION PLAN

26 1% 204

				DESIGNED DR	
				DRAWN BT	BAKER & LAWSON, I
NO.	DATE	DESCRIPTION	APPROVED	DATE	4005 TECHNOLOGY DRIVE, SUITE ANGLETON, TEXAS 77515 (979) 849 REG. NO. F-825





The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 OWNER:

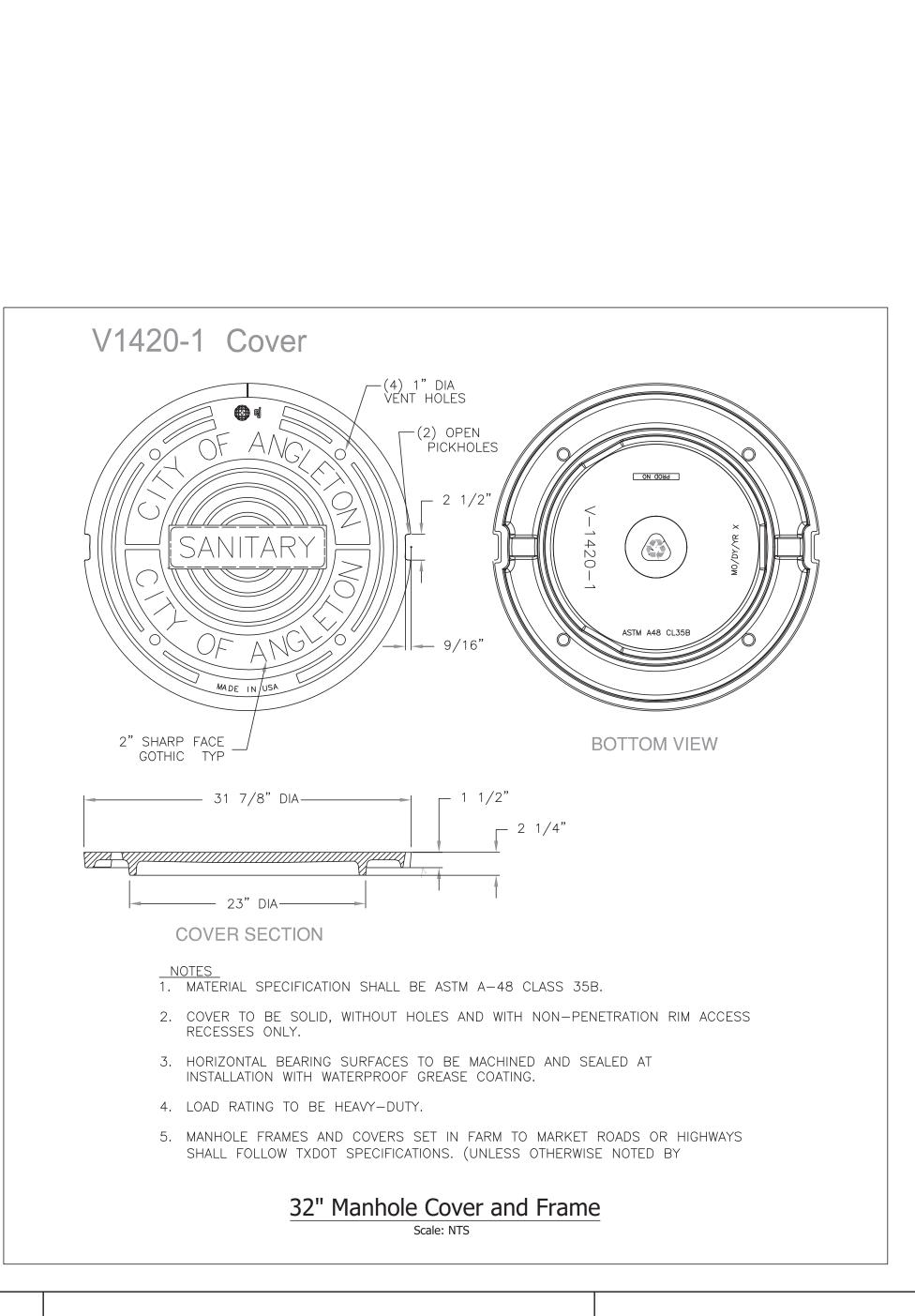
# *RIVERWAY PROPERTIES 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057*

PLAN:_____ PROFILE: HORIZONTAL: ____ VERTICAL: _____

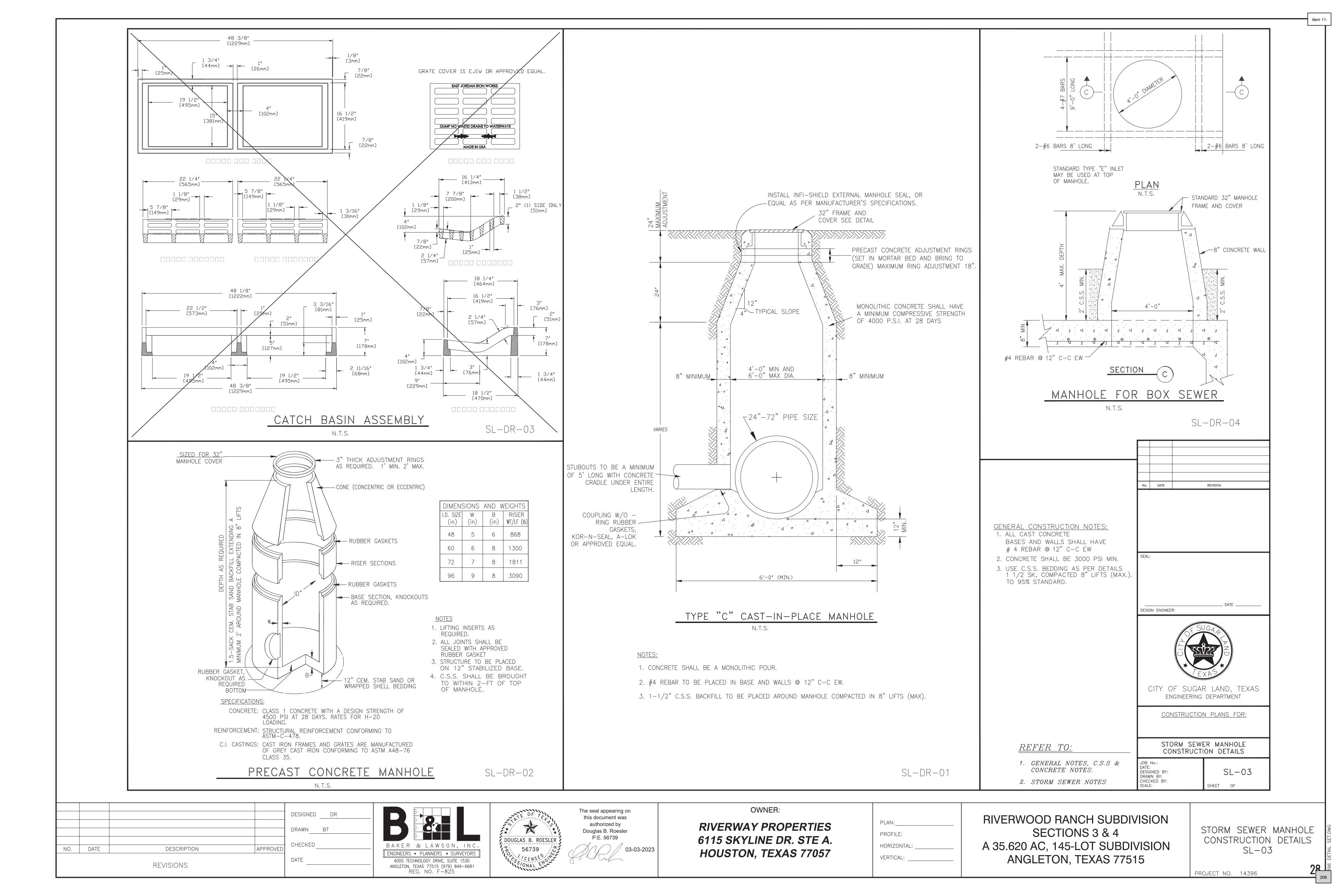
# RIVERWOOD RANCH SUBDIVISION SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

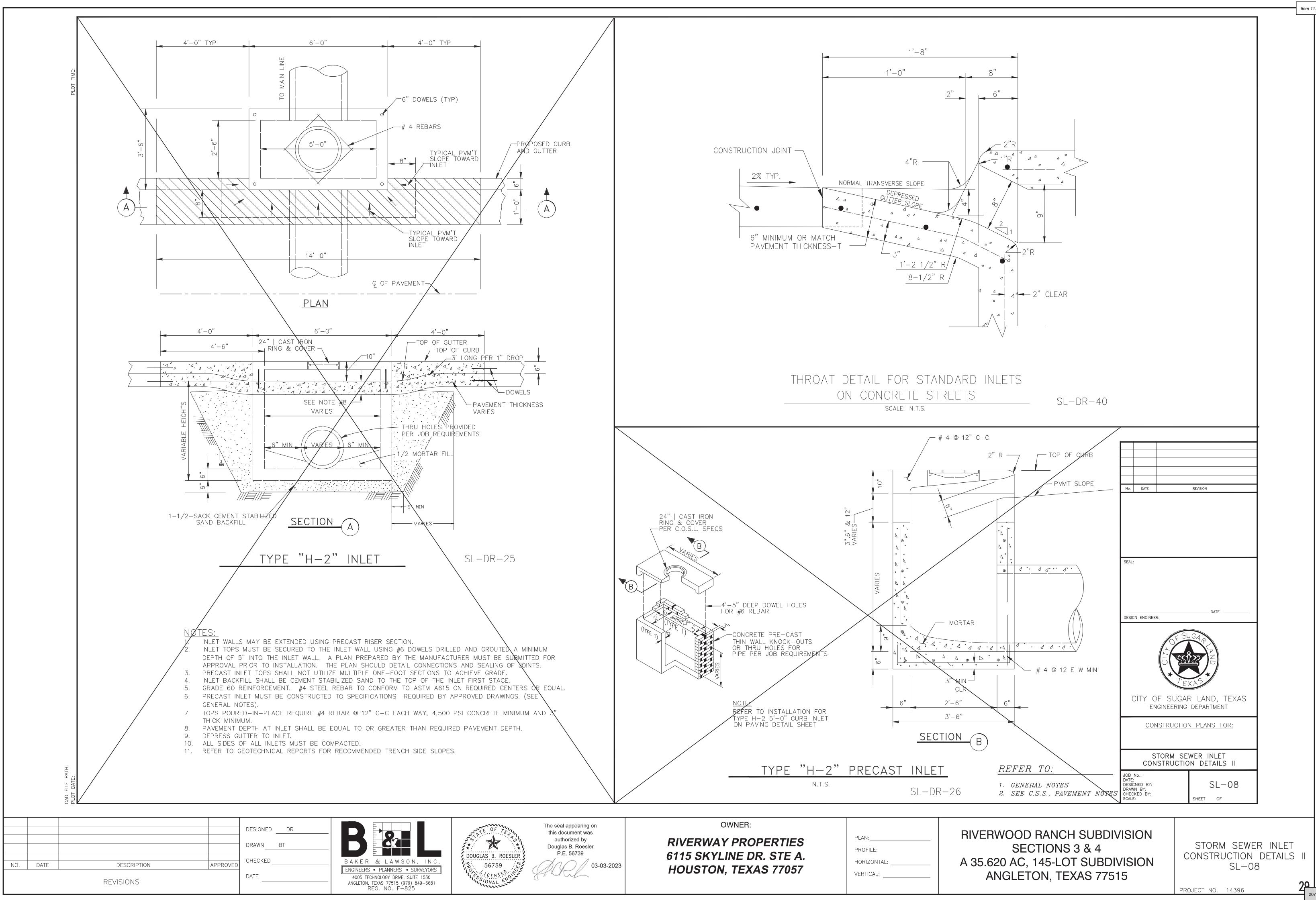
MISCELLANEOUS DETAILS

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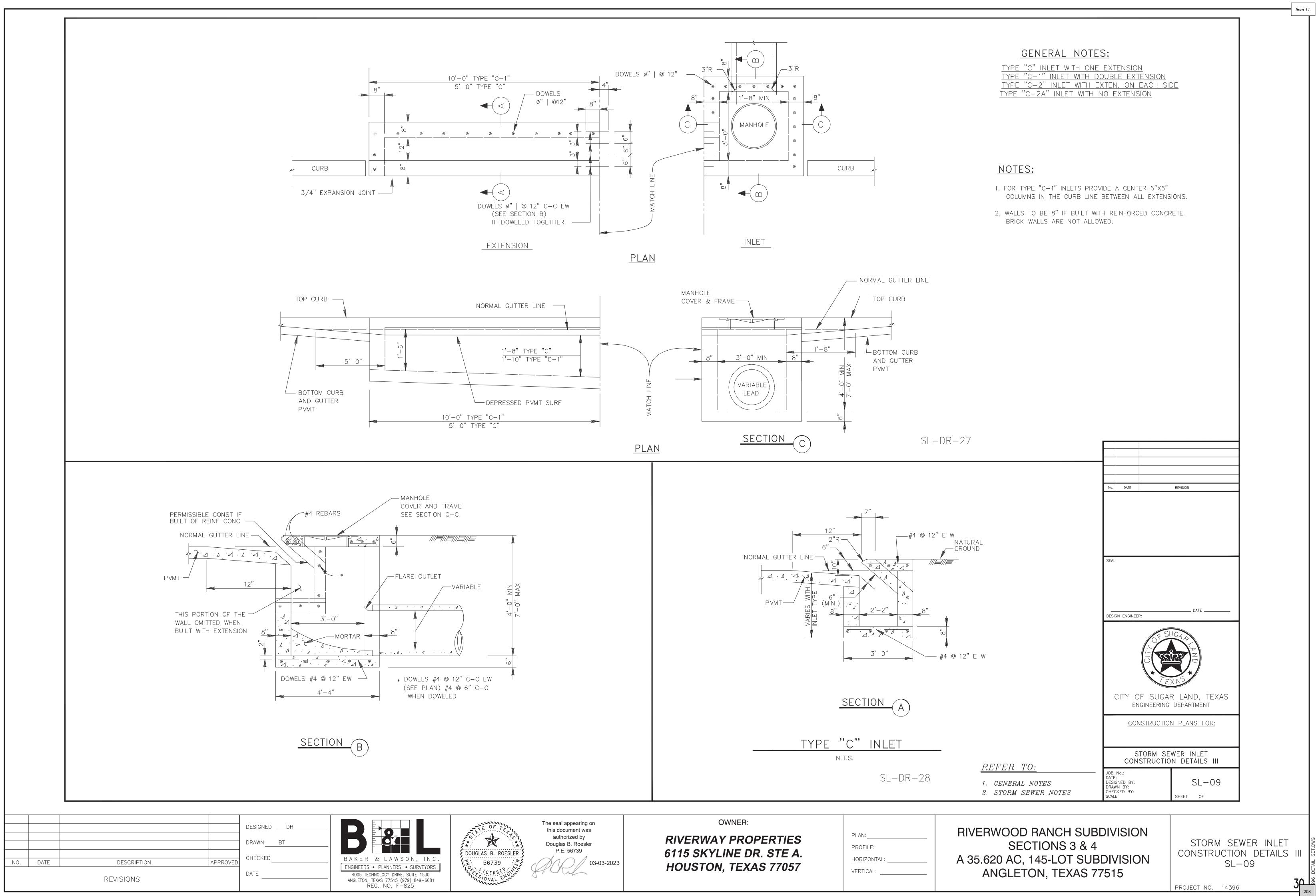


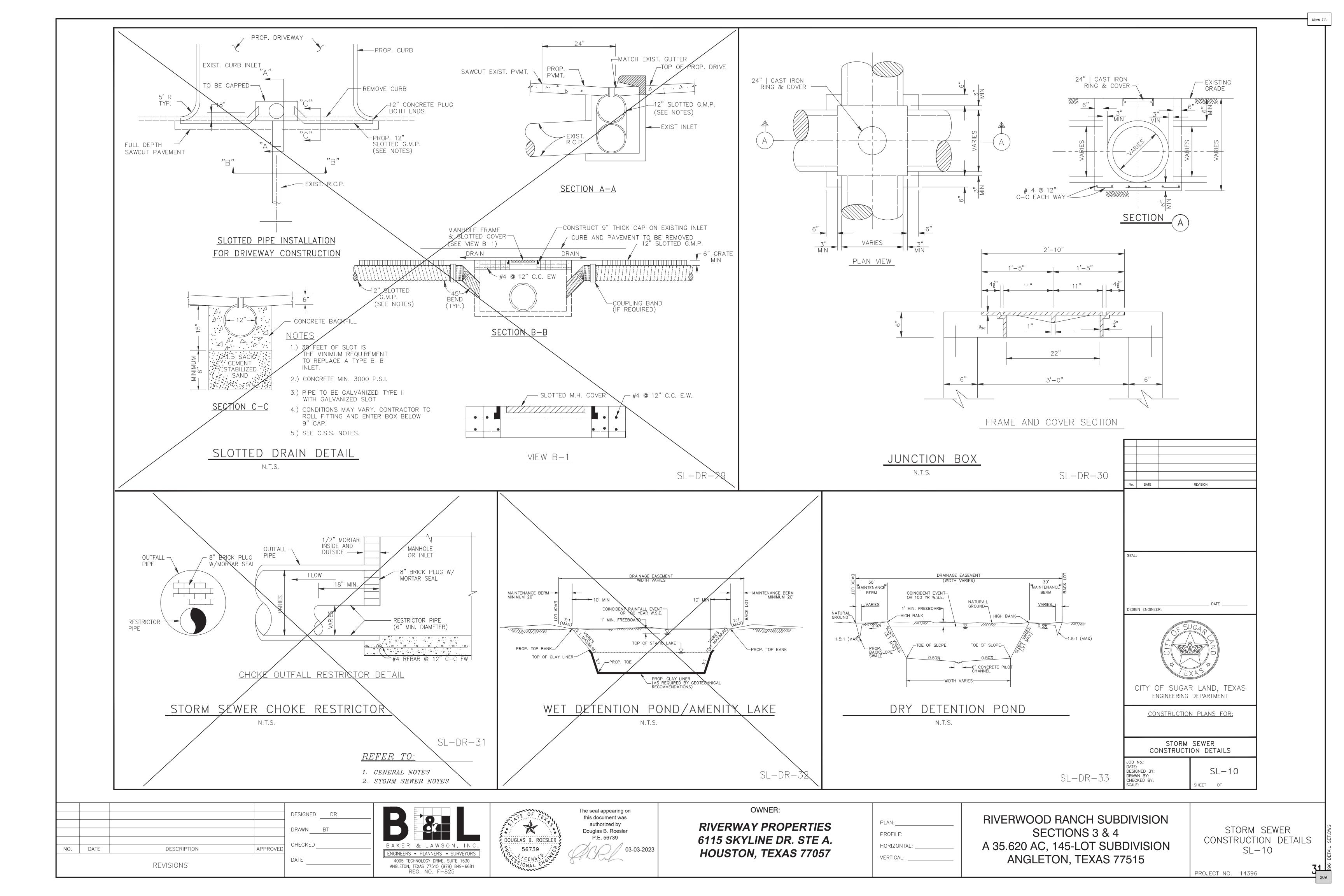
Item 11

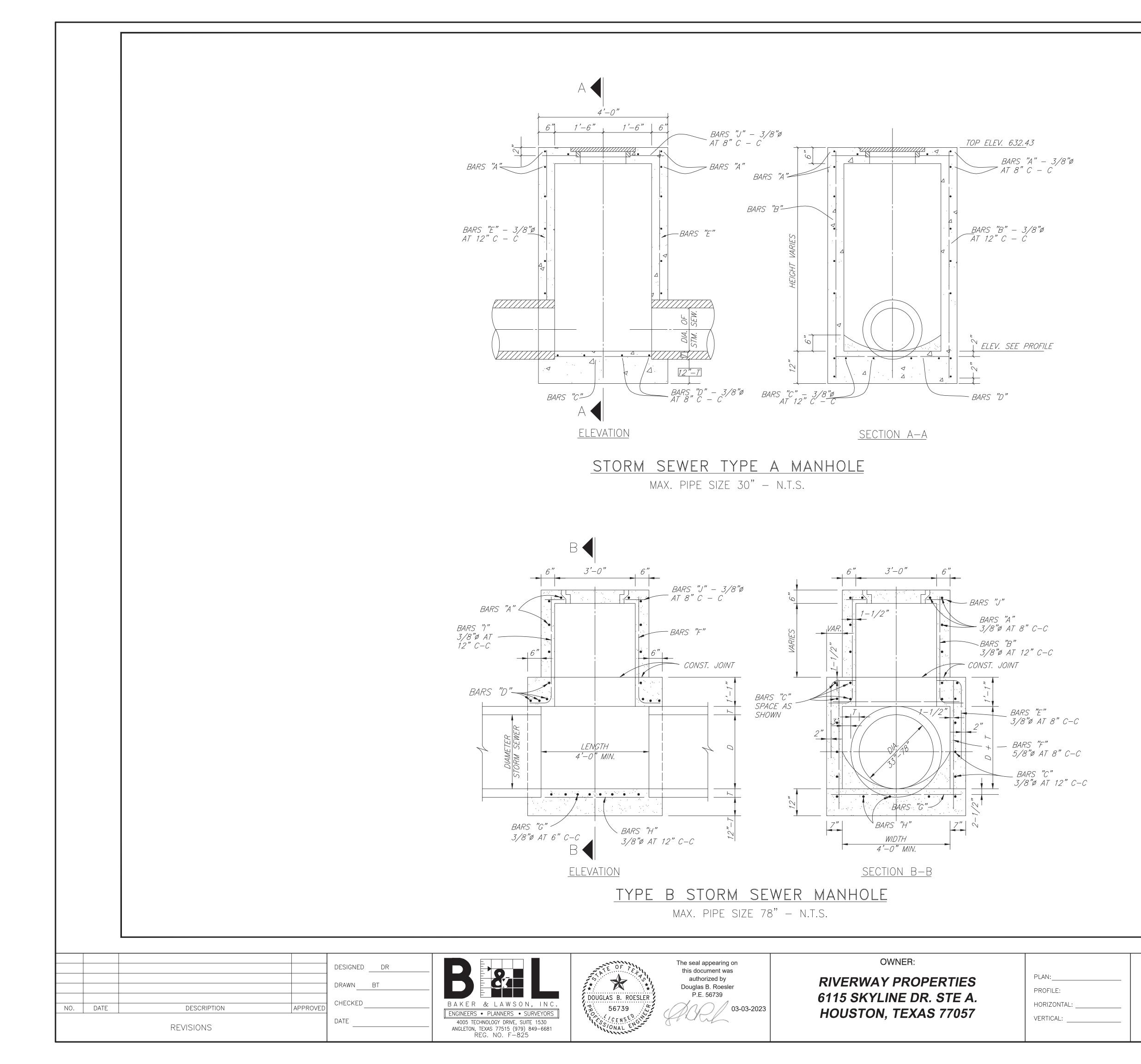




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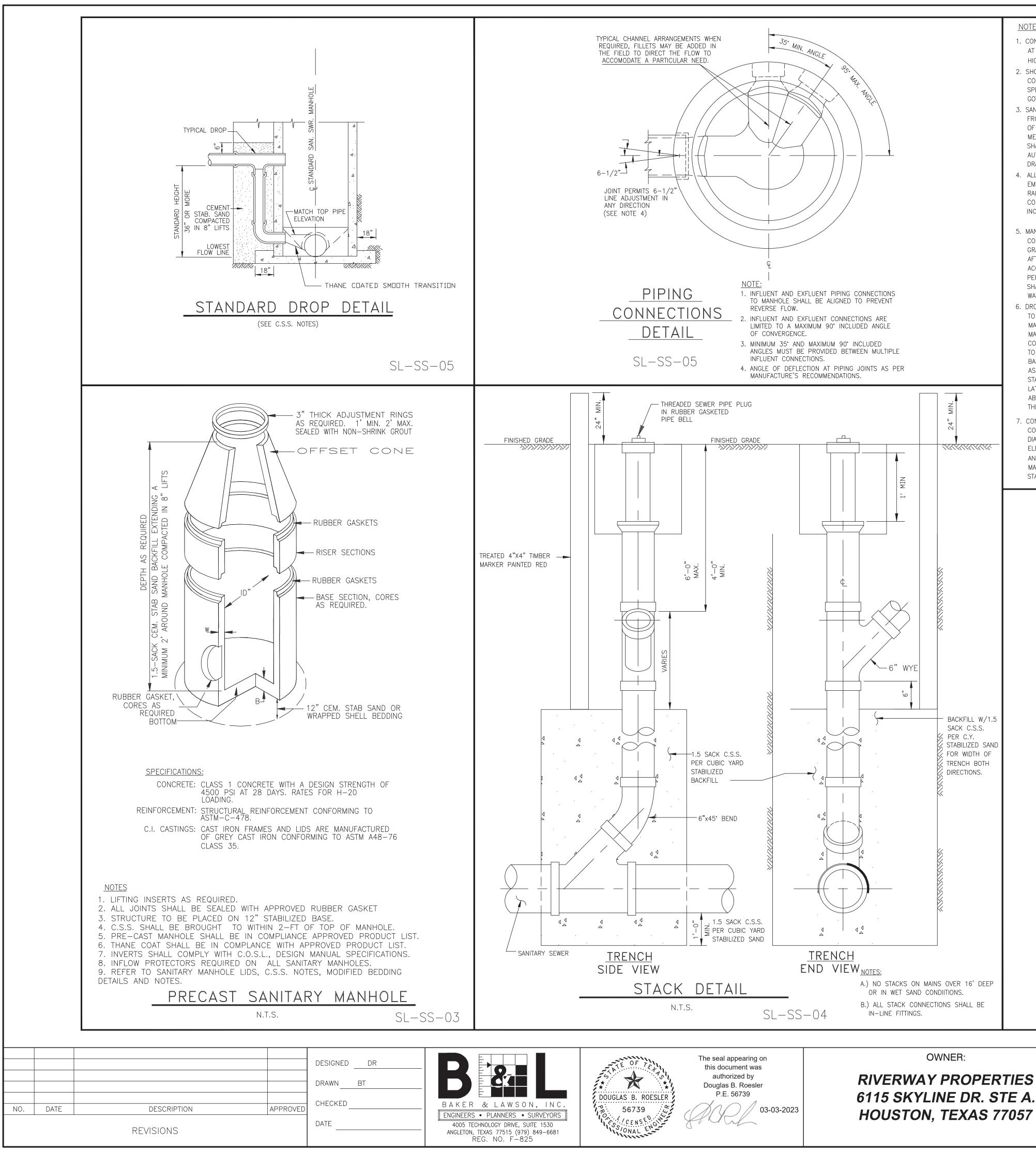
# **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

JUNCTION BOX MANHOLES SL-11

PROJECT NO. 14396

**32** 5 210

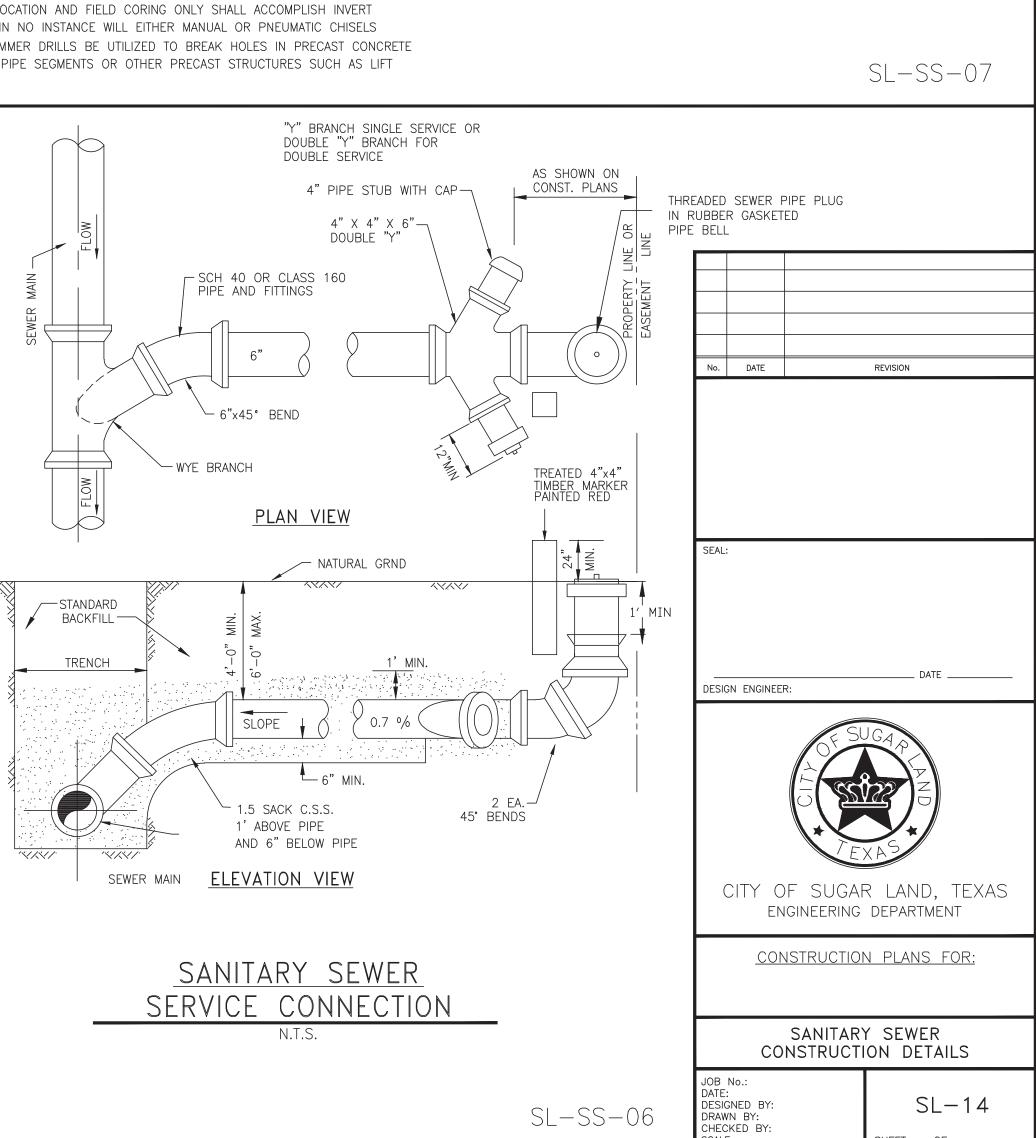
No.	DATE		REVISION	
SEAL:				
	N ENGINEEI	R٠	DATE	
CITY OF SUGAR LAND, TEXAS ENGINEEREING DEPARTMENT				
<u>CONSTRUCTION PLANS FOR:</u>				
JUNCTION BOX MANHOLES				
DRAW	NED BY: N BY: KED BY:		SL-11	

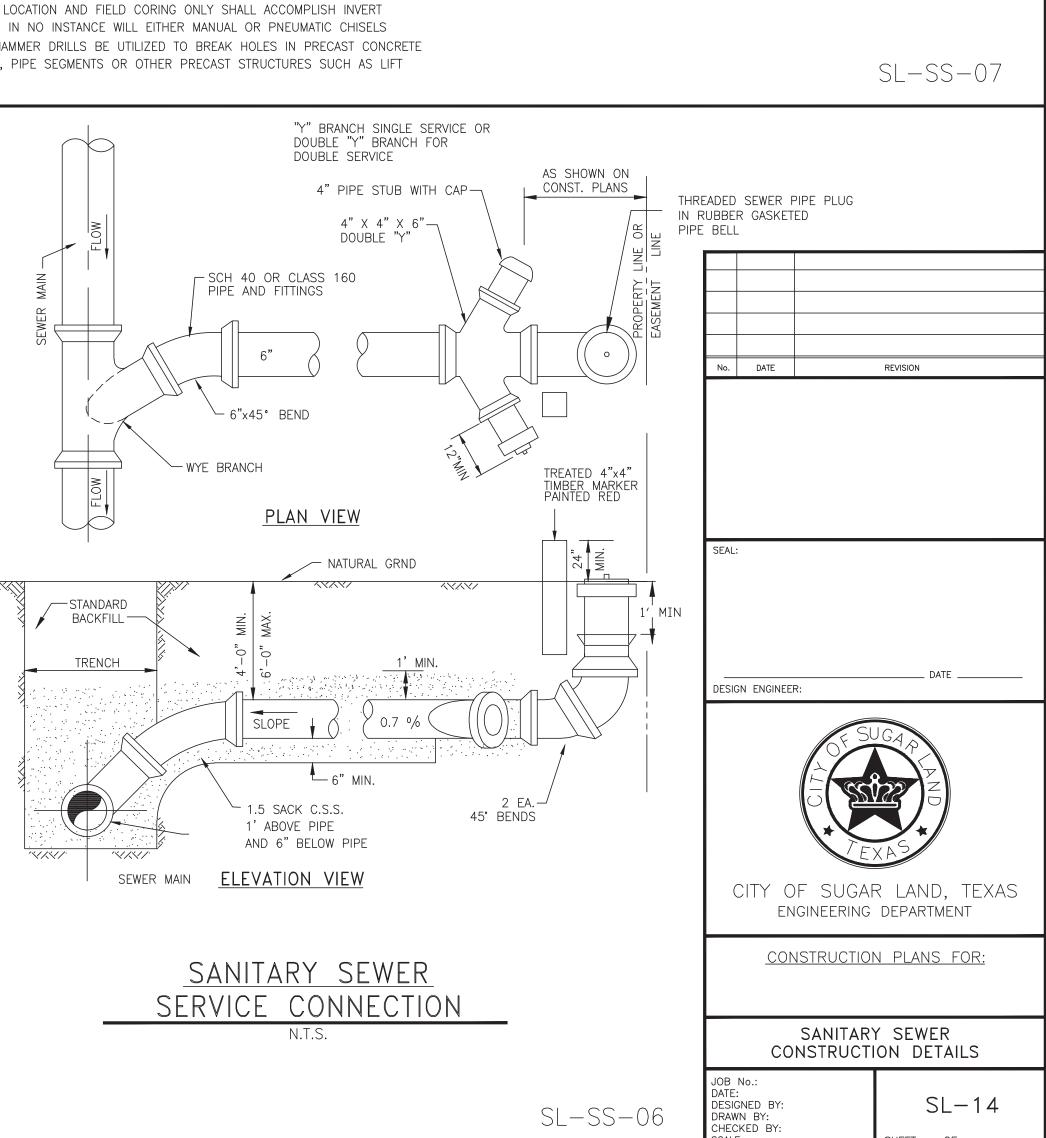


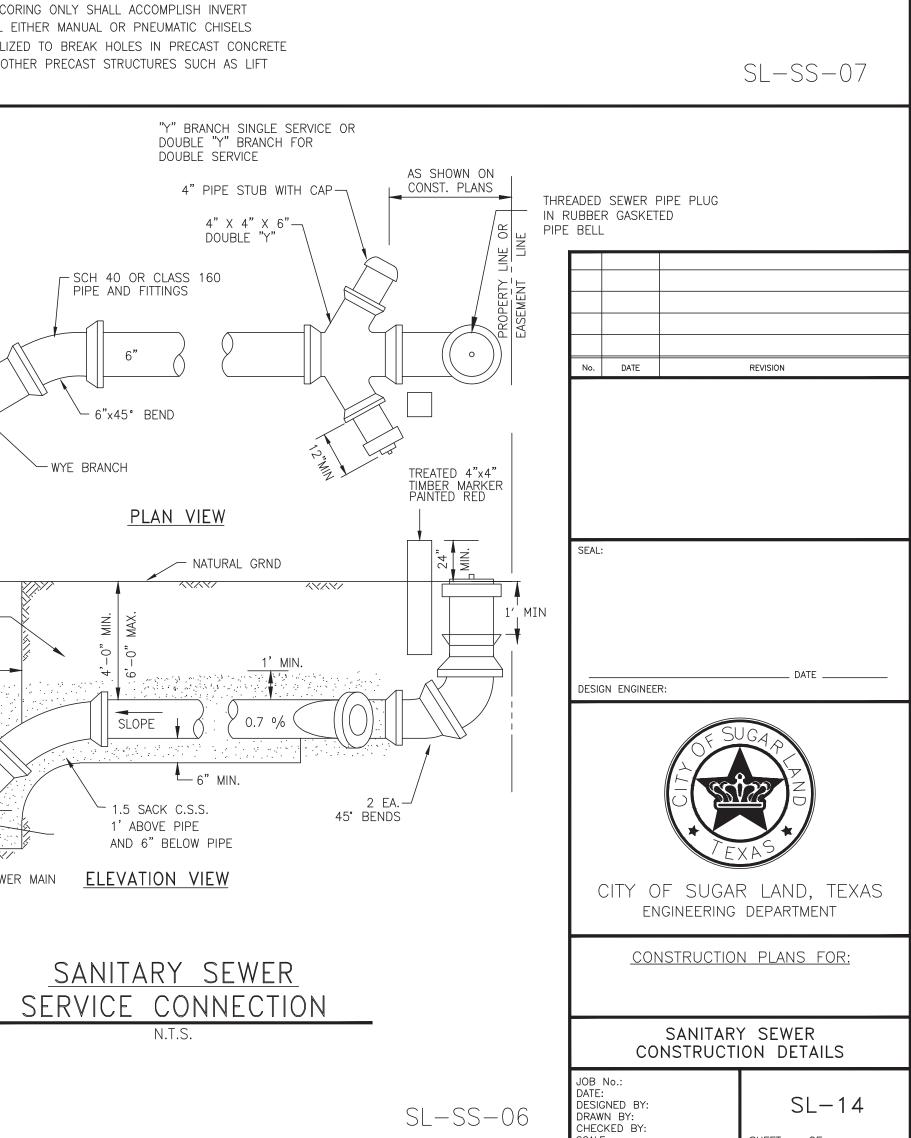
PLAN: PROFILE: HORIZONTAL VERTICAL:

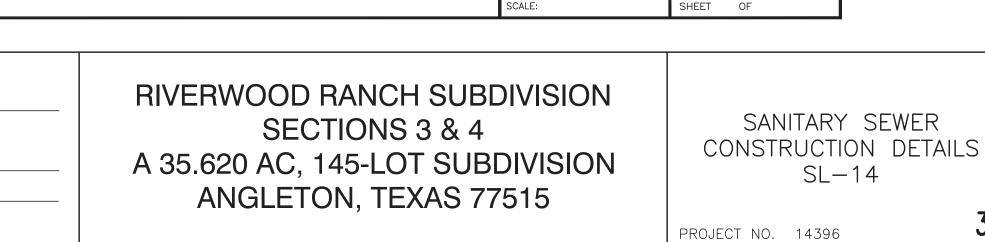
NOTES:

- 1. CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT
- AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED. 2. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN. 3. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF FOUR FOOT FROM BACK OF CURB ON CURB AND GUTTER ROADWAYS AND THREE FEET FROM EDGE
- OF TRAVELLED ROADWAY ON THOSE THOROUGHFARES HAVING NO CURBING. MEASURED FROM OUTSIDE DIAMETER OF MANHOLE. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE SPECIFICALLY AUTHORIZED BY CITY ENGINEER AND SO DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS.
- 4. ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF SUGAR LAND EMBLEM AND THE WORDS "SUGAR LAND" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS SHEETS. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS.
- 5. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER FINAL GRADING. ADJUSTMENTS TO MANHOLE RIM ELEVATIONS SHALL BE ACCOMPLISHED BY THE USE OF THROAT RINGS ONLY (MAX. OF 24 INCHES PERMITTED). THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM.
- 6. DROP CONNECTIONS ARE REQUIRED WHEN INVERT ELEVATION OF SEWER LINE TO BE CONNECTED EXCEEDS 36 INCHES DISTANCE ABOVE INVERT ELEVATION OF MANHOLE BASE. ALL DROP CONNECTIONS SHALL BE CONSTRUCTED OF SAME MATERIALS AS SEWER AND SHALL BE CONSTRUCTED EXTERIOR TO MANHOLE. PIPE CONNECTIONS TO MANHOLES SHALL BE SO CONSTRUCTED AS TO BE WATERTIGHT AND TO ALIGN UPPER INSIDE PIPE WALL ELEVATIONS OF ALL PIPING CONNECTED TO BASE OF MANHOLE UNIFORMLY, REGARDLESS OF PIPE DIAMETERS. DROP ASSEMBLIES SHALL BE BEDDED IN CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL EXTEND A MINIMUM OF SIX INCHES PAST PIPING LATERALLY FROM BASE OF MANHOLE UPWARD TO A POINT SIX INCHES (MINIMUM) ABOVE THE HORIZONTAL SEWER PIPING WHERE CONNECTED TO THE MANHOLE ABOVE THE VERTICAL DROP. 7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECORED HOLES OF CORRECT DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHISELS AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE
- MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT STATIONS.



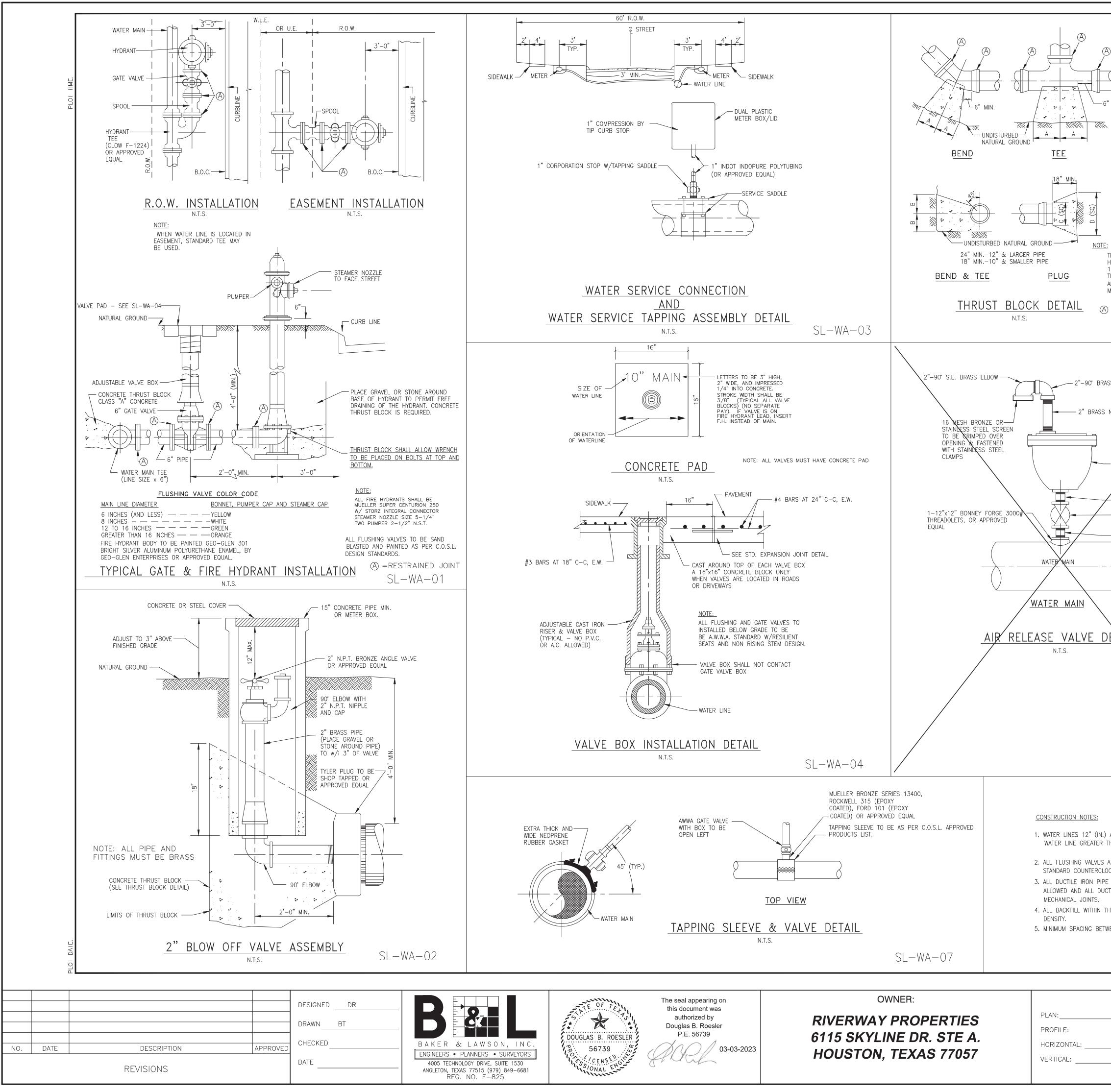






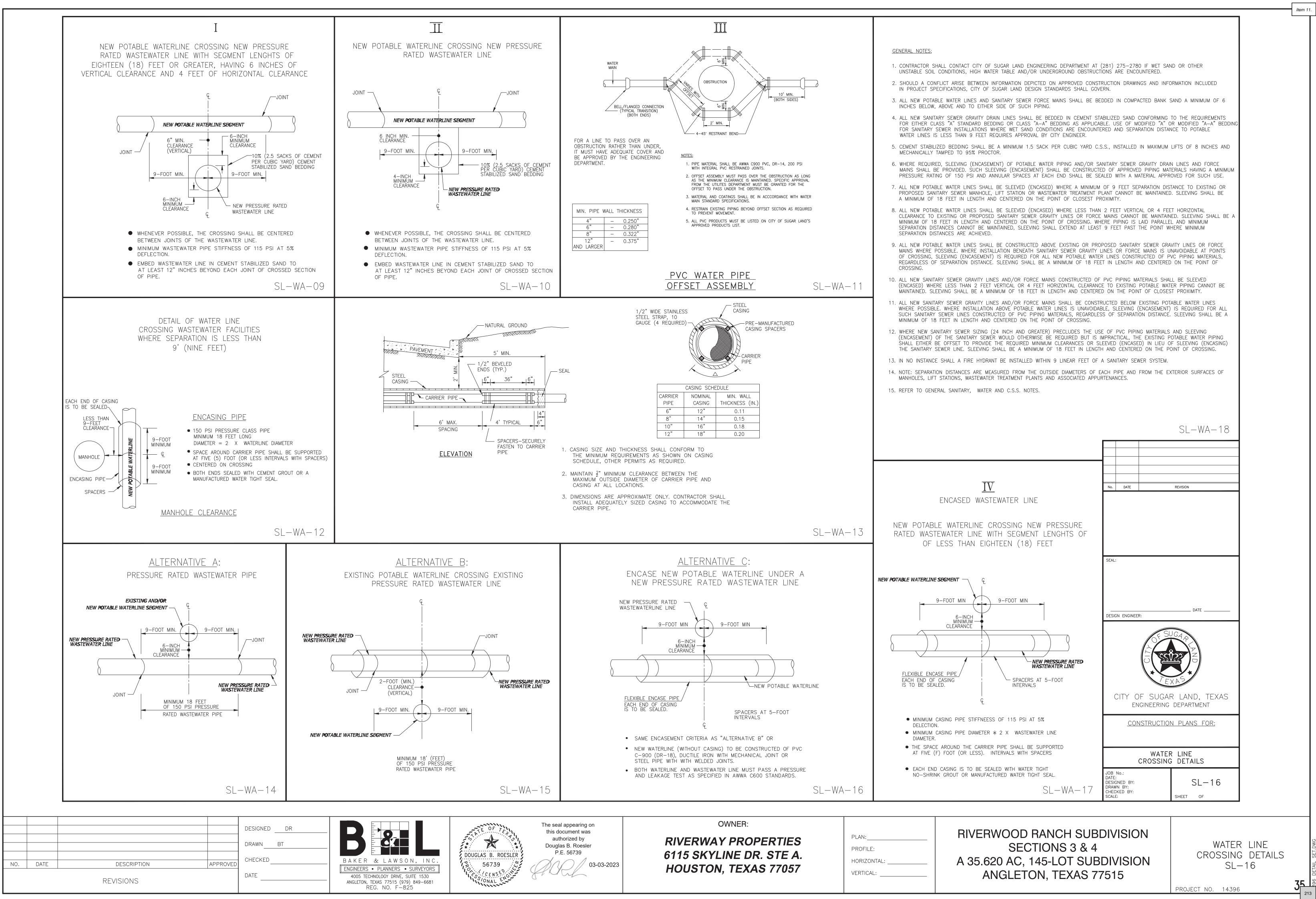
- 8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.
- 9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE
- INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
- 10. SANITARY SEWER SERVICE LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER
- POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE. 11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB",
- "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY
- SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND
- REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH
- POSITIVE DRAINAGE. 13. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY INFRASTRUCTURE STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY NOTIFY THE CITY OF ALL CONSTRUCTION ACTIVITIES AND TO CONFORM TO CITY OF
- SUGAR LAND PUBLIC WORKS DEPARTMENT INSPECTION POLICY.
- 14. C.S.S. 1' ABOVE PIPE AND 6" BELOW PIPE MINIMUM. 15. SEE GENERAL NOTES AND C.S.S. NOTES.

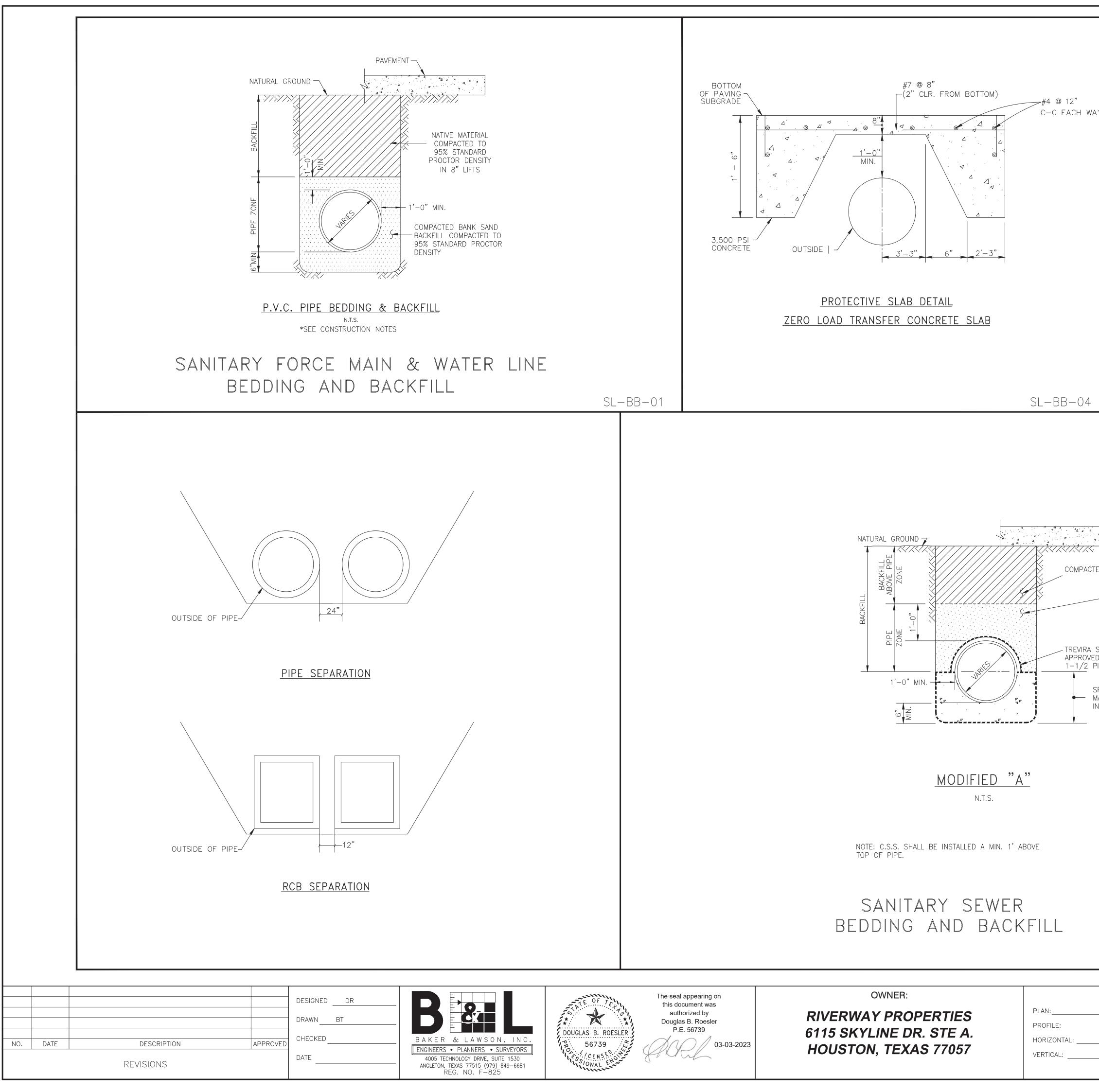
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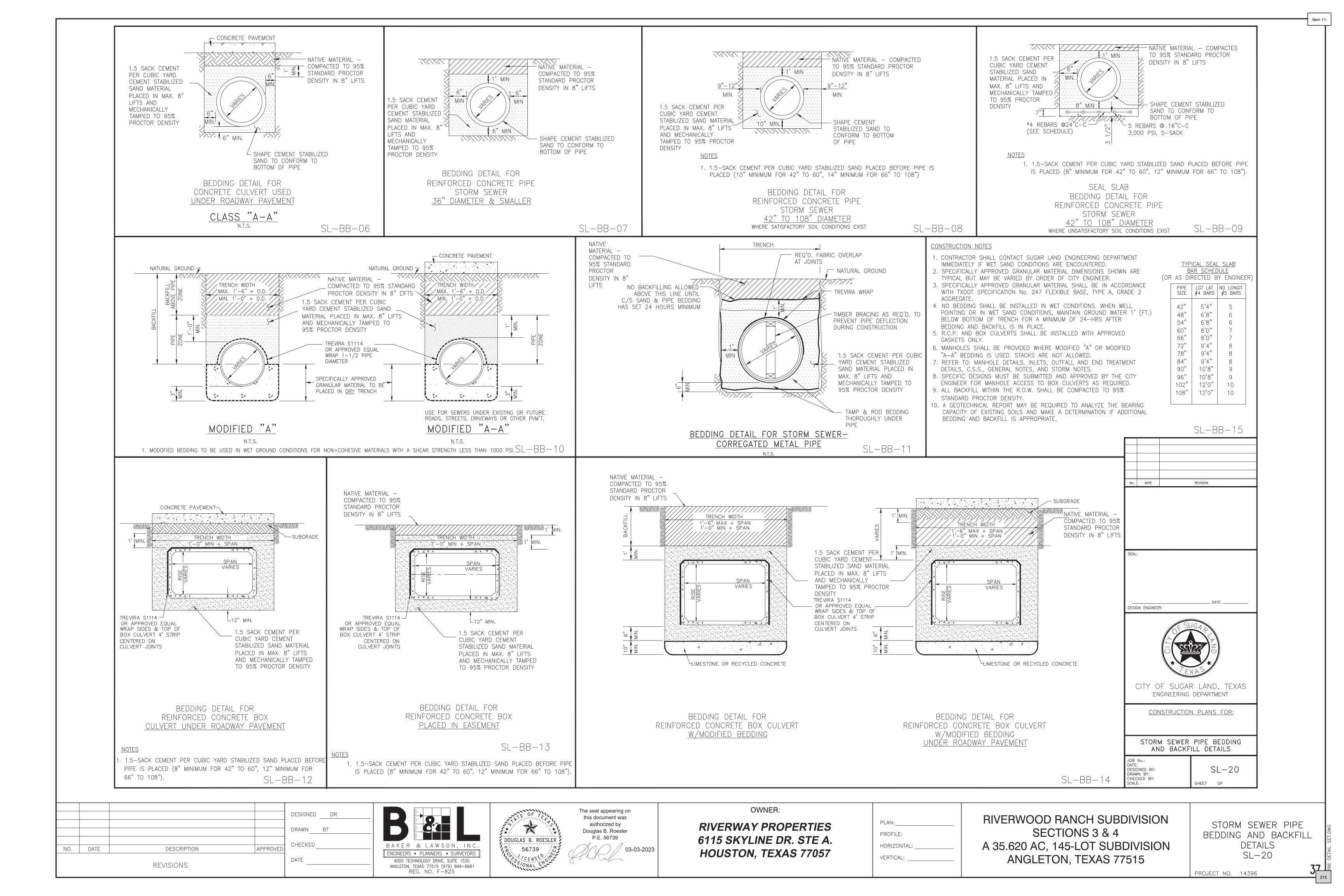
$\mathbb{D}$	POLYETHYLENE	<u>NOTES:</u> WRAP FOR IR	<u>on pipe</u>	
Ϋ́MIN.	4. POLYETHYLENE TUBE ENCA REQUIREMENTS OF "POLYET CAST—IRON PIPING FOR WA CURRENT REVISION. SOILS	OSIVE SOIL ENVIRONMENT. FILM WRAP SHALL BE REQUIR CEPT FIRE HYDRANTS). BE FURNISHED AND INSTALL THE PIPE IN TRENCH OR IN SEMENT SHALL CONFORM WITH THYLENE ENCASEMENT FOR GF ATER AND OTHER LIQUIDS", AN WITHIN A PROJECT SHALL BE DIX A OF ANSI/AWWA C105 TO ENTS FOR ENCASEMENT.	ED AROUND ALL METAL PIPE ED EITHER IN TUBULAR SHEET FORM. H THE MINIMUM RAY AND DUCTILE ISI/AWWA C105, TESTED IN O ADEQUATELY	
THRUST BLOCKS AT TRENCH FACE MUST HAVE A MINIMUM BEARING SURFACE OF 10 SQ. FEET AND SHALL BE NO SMALLER THAN 1.5 TIMES PIPE DIAMETER. ALL CONCRETE SHALL BE 5 SACK MIN., 3000 P.S.I. ) = RESTRAINED JOINT SL-WA-05 SS ELBOW NIPPLE - 2" APG0 COMBINATION	SIZE       A       B       A         2 1/2"       12"       7"       6         6"       16"       10"       9         8"       22"       13"       12         10"       26"       17"       14         12"       29"       21"       16         14"       35"       24"       19         16"       38"       27"       2         20"       50"       40"       30         24"       50"       40"       36         30"       60"       48"       36	"       10"       6"       12"       10"       12         2"       13"       8"       10"       13"       16         4"       17"       10"       13"       16"       20         6"       21"       11"       16"       18"       20         9"       24"       12"       20"       22"       21"         1"       27"       12"       24"       24"       30         0"       40"       18"       30"       30"       40	"8"       14"         2"       10"       21"         5"       12"       29"         0"       14"       36"         4"       16"       41"         7"       18"       48"         0"       20"       54"         0"       30"       *78"         0"       36"       *96"	
AIR & VACCUM RELEASE VALVE W/2" ORIFICE DIA. NO. 145-C OR APPROVED EQUAL 2" NIPPLE (RED BRASS) -2" BRASS GATE VALVE, HANDWHEEL OPERATED -2" NIPPLE (RED BRASS)		No.         DATE	REVISION	
SL-WA-06		SEAL: DESIGN ENGINEER:	DATE	
AND LESS SHALL BE AWWA C-900 DR18 THAN 12" (IN.) IN Ø SHALL BE AWWA C-90 AND GATE VALVES TO BE AMERICAN WATER OCKWISE OPENING WITH NON-RISING STEM D E SHALL BE CLASS 50 MORTAR LINED. NO CTILE IRON FITTINGS SHALL BE MORTAR LINE HE R.O.W. SHALL BE COMPACTED TO 95% S VEEN TAPS SHALL BE 2' AT ALTERNATING TA	WORKS ASSOC. (AWWA) DESIGN. A.C. PIPE WILL BE D PUSHON OR DTANDARD PROCTOR	ENGINEERING <u>CONSTRUCTIO</u> WATE	R LAND, TEXAS DEPARTMENT N PLANS FOR: R LINE ION DETAILS SL-15 SHEET OF	
A 35.620 /	DOD RANCH SUBE SECTIONS 3 & 4 AC, 145-LOT SUBI LETON, TEXAS 77	DIVISION	CONSTRUCT	R LINE ION DETAILS -15 34 212

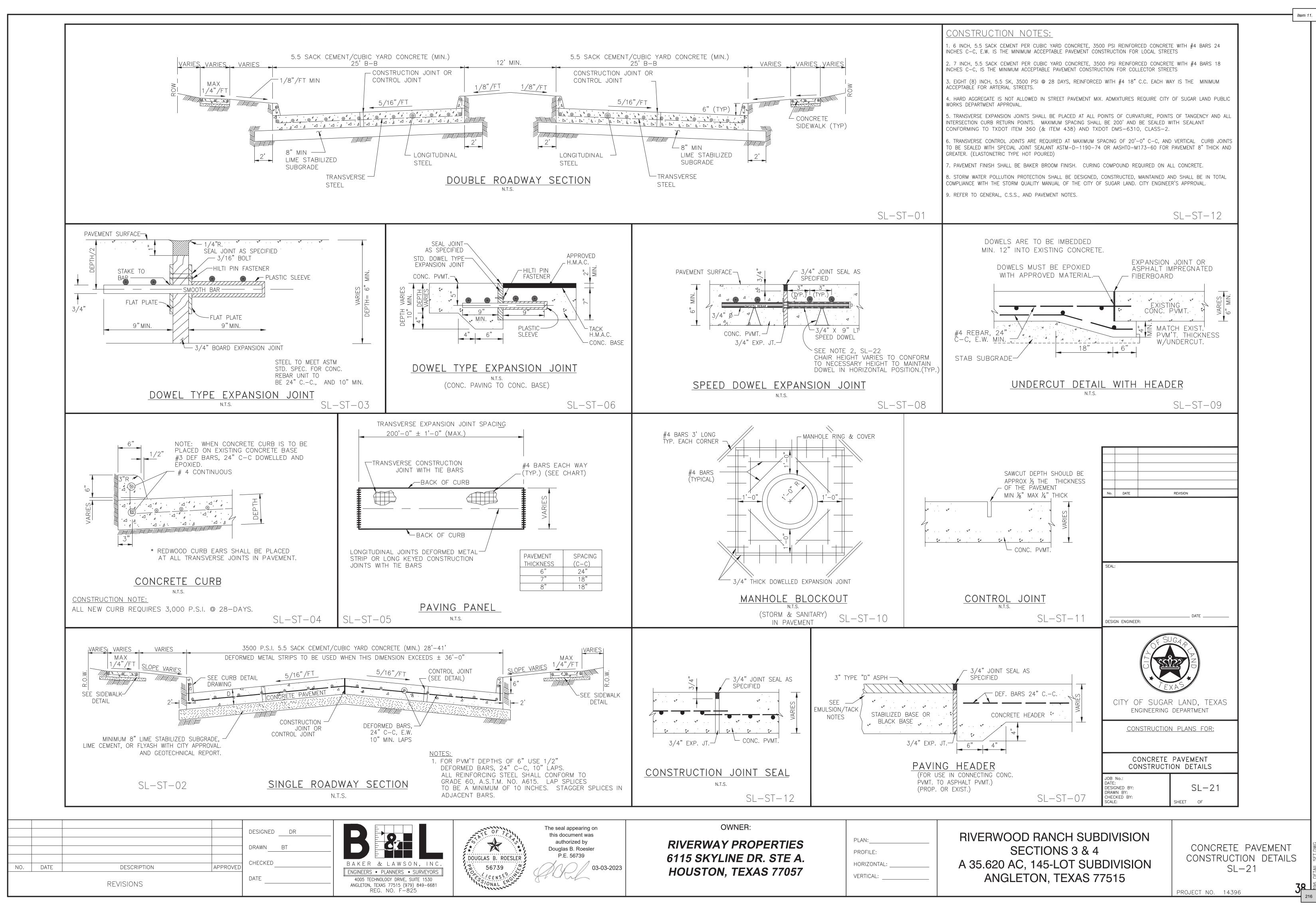
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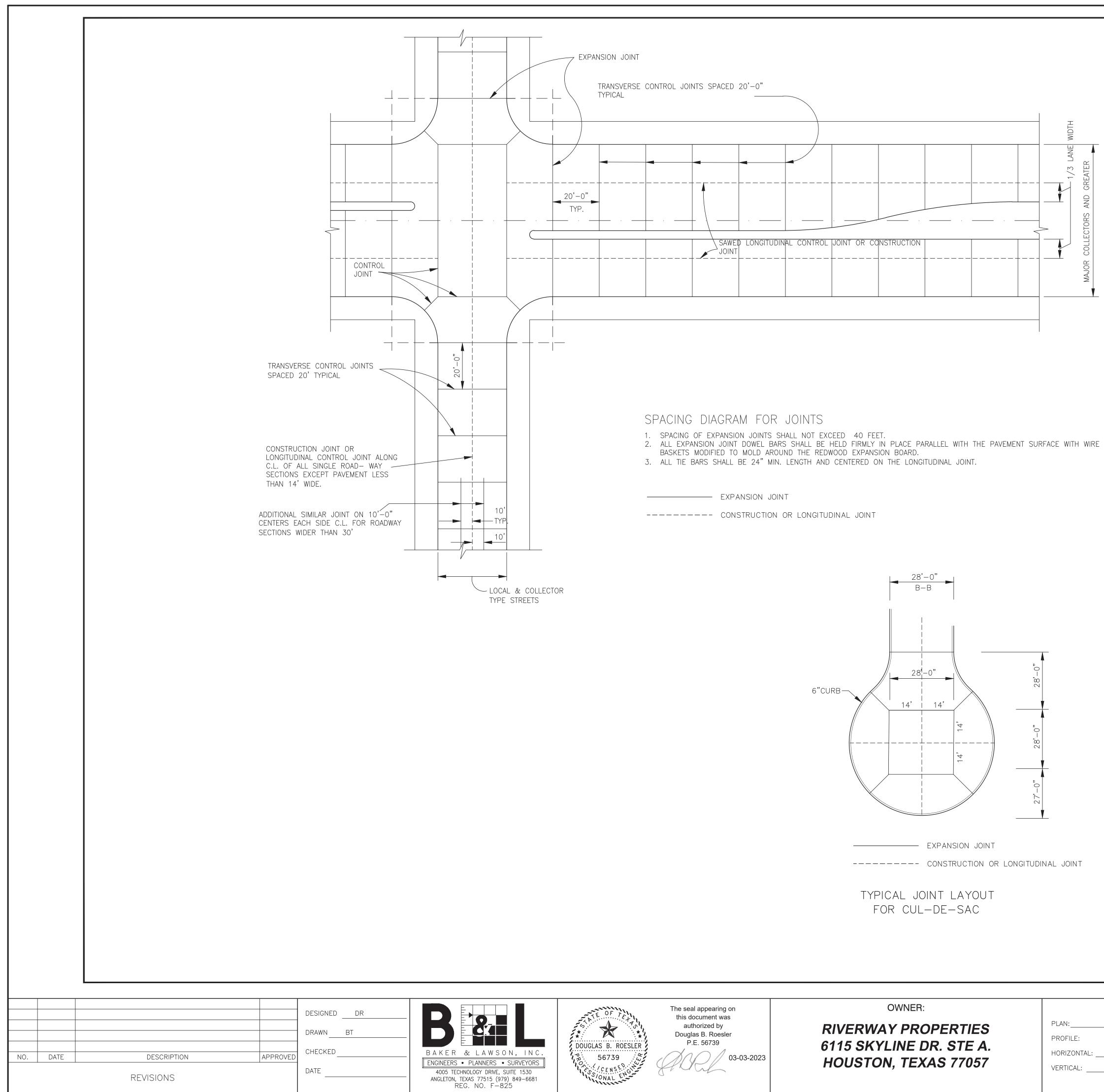




	<u>CONSTRUCTION_NOTES</u>			
	1. CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEE IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUN			
4Y	2. LIMESTONE AND RECYCLED CONCRETE DIMENSIONS S TYPICAL BUT MAY BE VARIED BY ORDER OF CITY EN	NGINEER.		
	3. LIMESTONE OR RECYCLED CONCRETE SHALL BE IN / TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPE AGGREGATE.			
	4. NO BEDDING SHALL BE INSTALLED IN WET CONDITIO POINTING OR IN WET SAND CONDITIONS, MAINTAIN G BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24- AND BACKFILL IS IN PLACE.	ROUND WATER 1 (FT)		
	5. ALL MATERIALS SHALL BE FROM THE APPROVED PROSECIFICALLY APPROVED BY THE CITY ENGINEER.	ODUCTS LIST UNLESS		
	6. SANITARY SEWER BEDDING FOR WET SAND CONDITION SHALL BE AS PER MODIFIED "A".	NS		
	<ol> <li>ALL SAND BEDDING FOR WATER LINES SHALL BE CL COMPACTED BANK SAND.</li> <li>REFER TO: MANHOLE DETAILS, SANITARY, C.S.S., GEN</li> </ol>		ING.	
	WATER DISTRIBUTION DETAILS AND NOTES. 9. ALL BEDDING WILL BE COMPACTED TO 95% STANDAR 10. A GEOTECHNICAL REPORT MAY BE REQUIRED TO AN SOILS AND MAKE A DETERMINATION IF ADDITIONAL BEDD	RD PROCTOR DENSITY NALYZE THE BEARING	CAPACITY OF EXISTING	
			SL-BB-05	
a. 4. 4				
DENSITY 1.5 SA	5% STANDARD PROCTOR / IN 8" LIFTS .CK CEMENT PER	No. DATE	REVISION	
SAND I AND M	YARD CEMENT STABILIZED MATERIAL PLACED IN MAX. 8" LIFTS ECHANICALLY TAMPED % PROCTOR DENSITY			
S1114 0	R			
D EQUAL PIPE DIAN		SEAL:		
	LLY APPROVED GRANULAR TO BE PLACED RENCH.			
		DESIGN ENGINEER:	DATE	
			SUGA P AND EXAS	
			GAR LAND, TEXAS ing department	
		<u>CONSTRUC</u>	TION PLANS FOR:	
	SL-BB-03	WATER LINE,	SANITARY SEWER	
	<u>REFER TO:</u>	JOB No.: DATE:	BEDDING DETAILS	
	1. GENERAL NOTES 2. C.S.S. NOTES	DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SL-19 SHEET OF	
	RIVERWOOD RANCH SUB	DIVISION	WATER LINE	, SANITARY g
	SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUB ANGLETON, TEXAS 77		SEWER FC BEDDING	DETAILS
			PROJECT NO. 14396	<b>36</b>







### **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

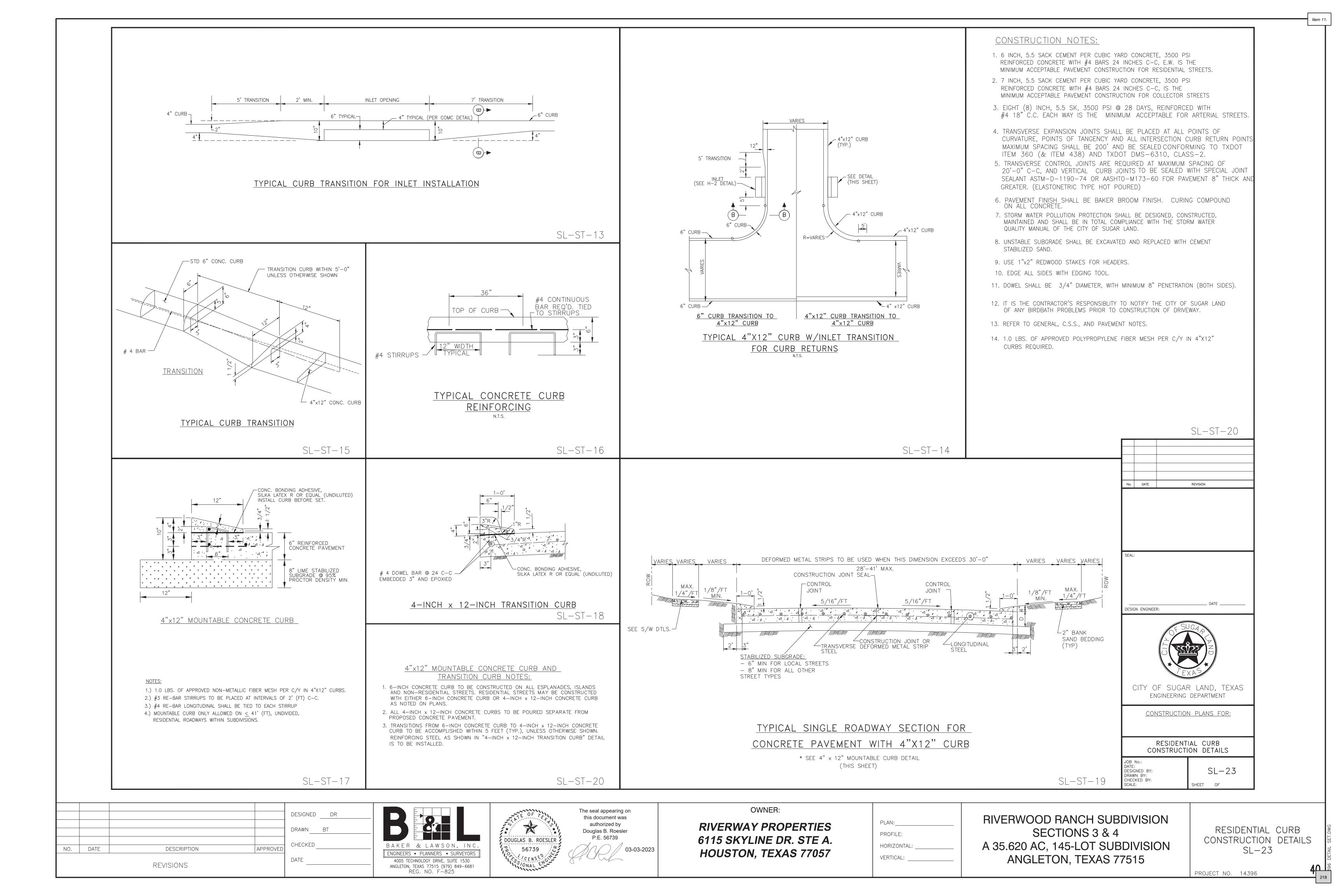
CONCRETE PAVEMENT CONSTRUCTION DETAILS SL-22

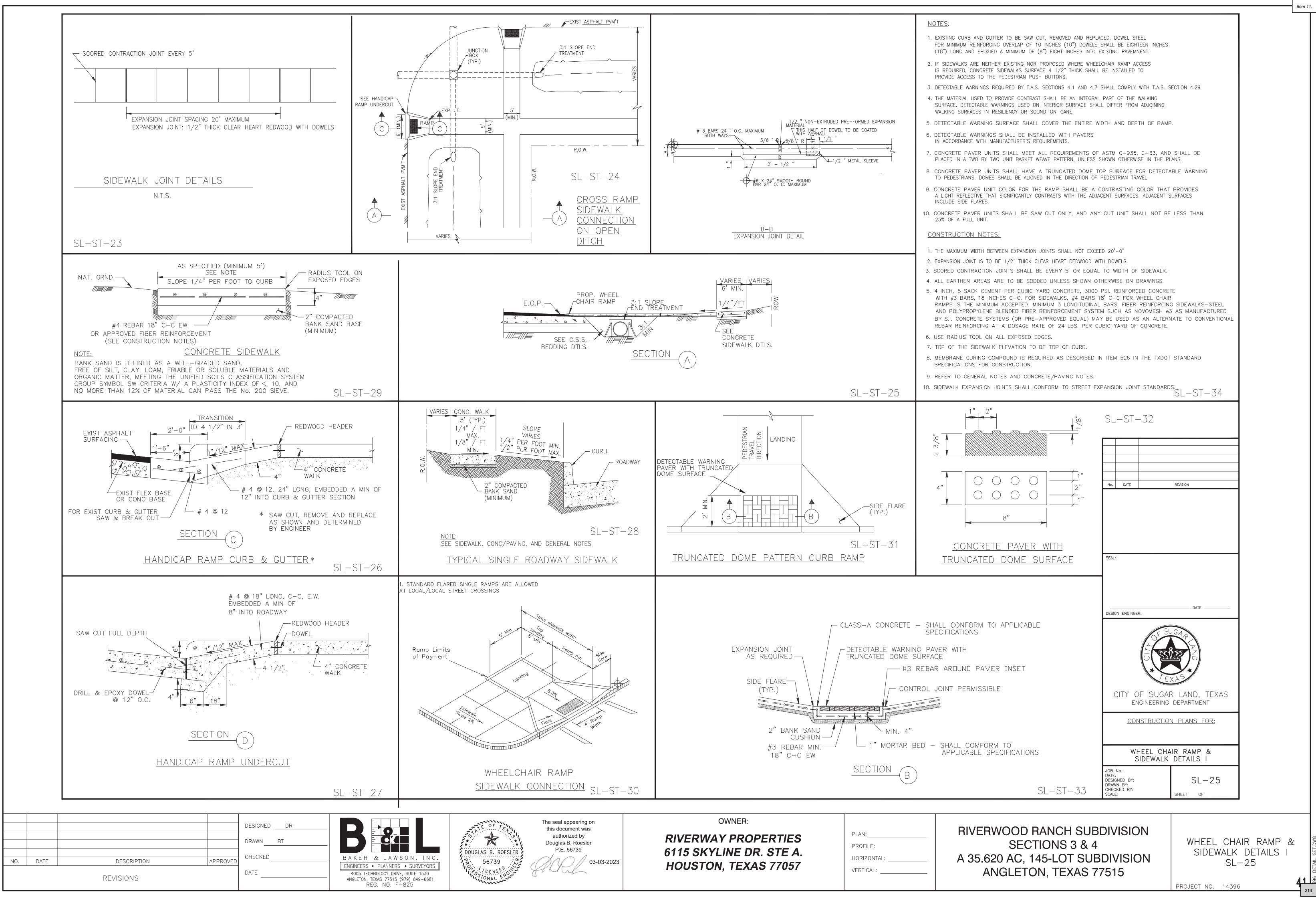
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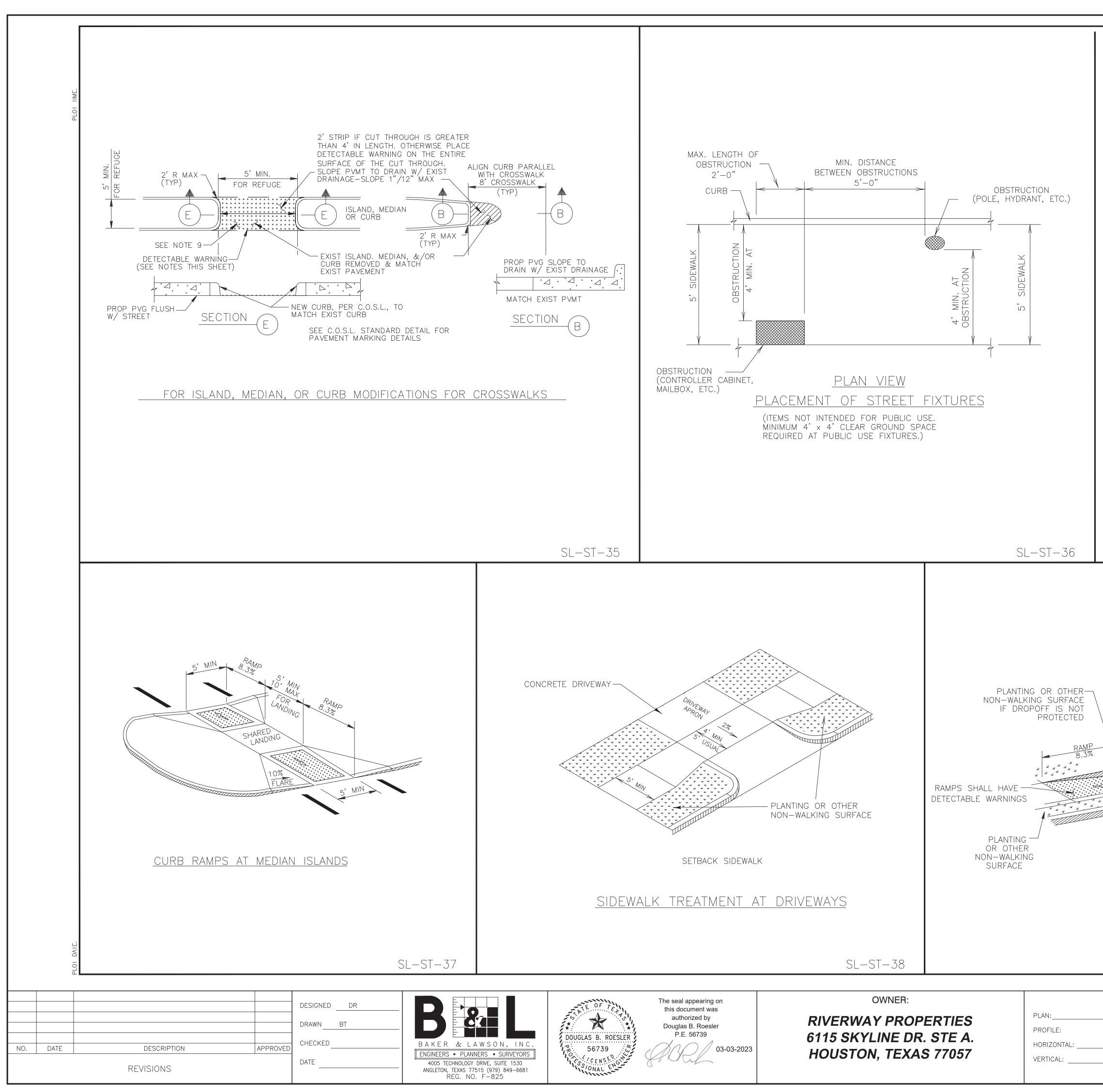
PROJECT NO. 14396

No.	No. DATE REVISION					
	DATE		REVISION			
SEAL						
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	DATE					
DESIGN ENGINEER:						
CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT						
CONSTRUCTION PLANS FOR:						
CONCRETE PAVEMENT						
CONSTRUCTION DETAILS						
CONSTRUCTION DETAILS						
JOB No.: DATE:						
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SCAL	E:		SHEET OF			

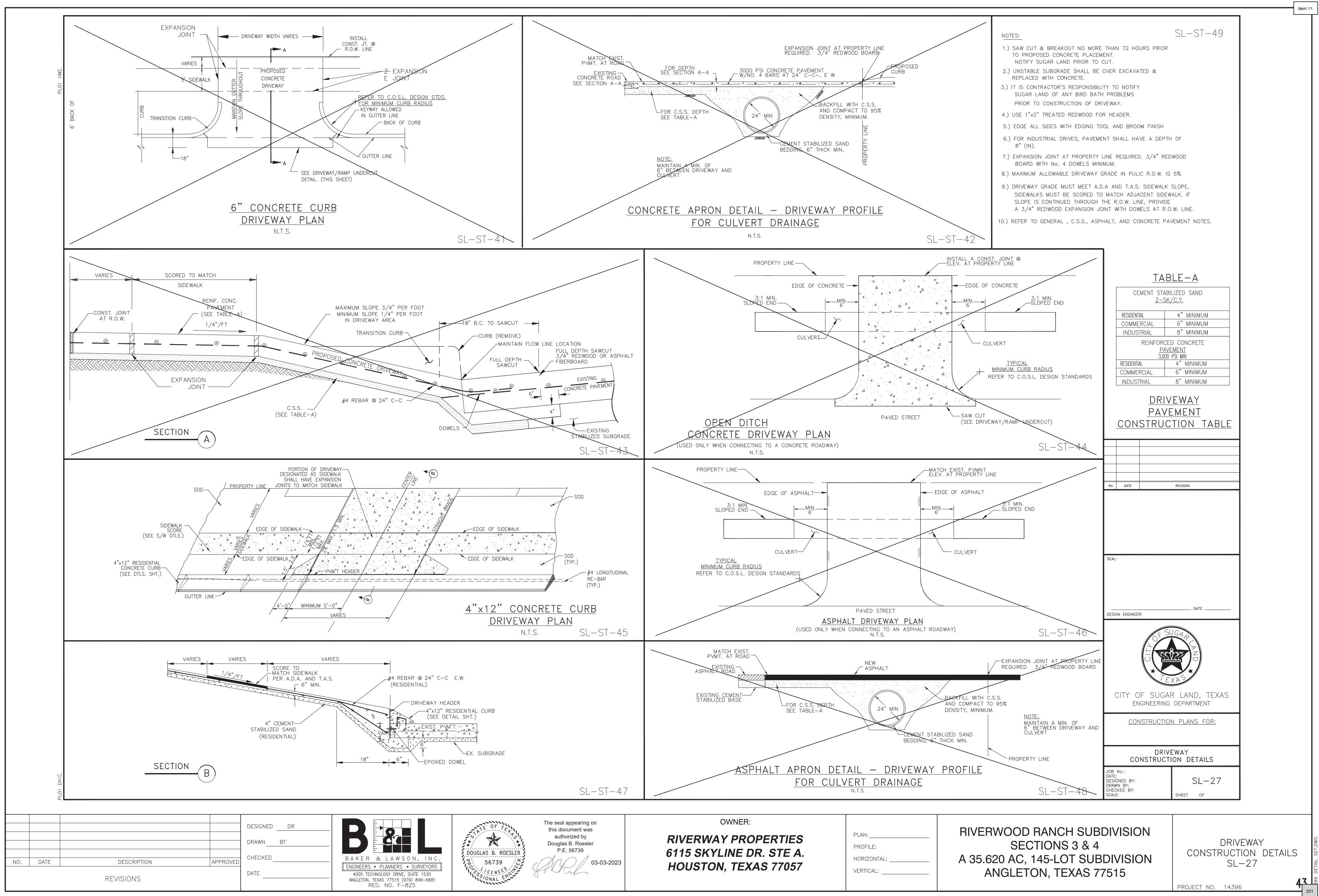
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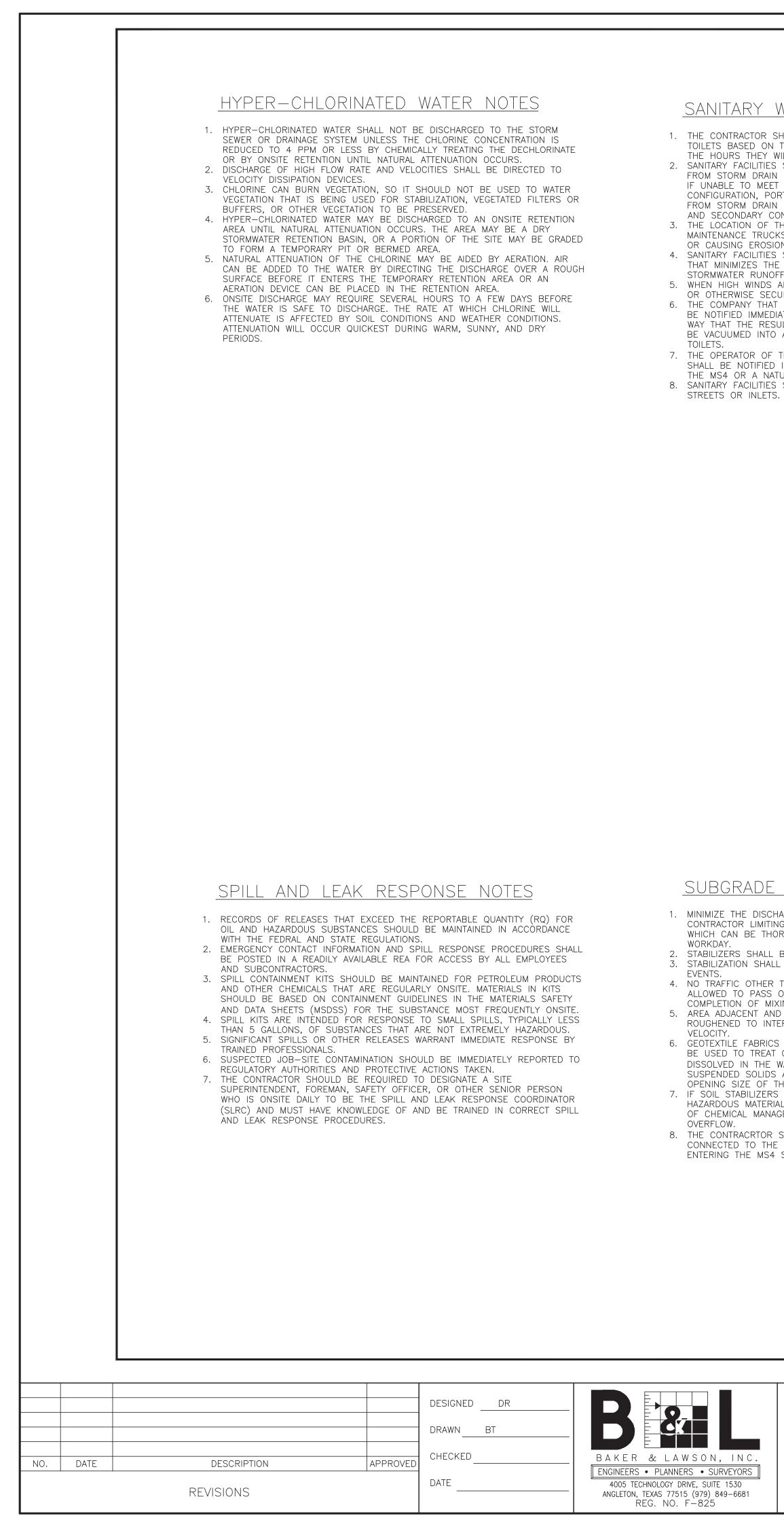






			Item 11.
NOTES:			
1. ALL SLOPES ARE MAXIMUM ALLOWABLE. THE LEAST POSSIBLE SLO SHOULD BE USED. RAMP LENGTH OR GRADE OF APPROACH SIDEW			
<ol> <li>THE MINIMUM SIDEWALK WIDTH IS 5' (FEET). THE LANDING SHALL IN ANY DIRECTION. MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEW. SIDEWALK CROSS SLOPE EQUALS 1.5%. CHANGES IN LEVEL GREAT</li> <li>MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE</li> </ol>	ALK AND RAMP SURFACES IS 2 ER THAN 1/4" (IN.) ARE NOT	2%. USUAL PERMITTED.	
WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEH 4. ANY PART OF THE ACCESSIBLE ROUTE WITH A SLOPE GREATER TH	HCULAR TRAVEL PATH.		
A RAMP. IF A RAMP HAS A RISE GREATER THAN 6" (IN.) OR A H $72$ INCHES, THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES, W	ORIZONTAL PROJECTION GREATE	ER THAN IS:	
<ul><li>A.) HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. CURB RAM ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.</li><li>B.) THE LEAST POSSIBLE GRADE SHOULD BE USED TO MAXIMIZE</li></ul>	ACCESSIBILITY. WHERE STRUCT		
IMPRACTICAL TO ACHIEVE TEXAS ACCESSIBILITY STANDARDS ( SLOPE OF SIDEWALKS AND CROSSWALKS, WITHIN THE PUBLIC THE PARALLEL ROADWAY WITHOUT INVOKING TEXAS ACCESSIB LANDINGS OR HANDRAILS. WHERE A CONTINUOUS GRADE GRE HANDRAILS MAY BE DESIRABLE ON ONE OR BOTH SIDES OF HANDRAILS MAY ALSO BE NEEDED TO PROTECT PEDESTRIANS	C R.OW., MAY FOLLOW THE GRA ILITY STANDARDS (TAS) VARIANO EATER THAN 5% MUST BE PROV THE SIDEWALK TO IMPROVE AC	DE OF CES FOR VIDED, CCESSIBILTY.	
5. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE WALK ACROSS THE RAMP. OTHERWISE, FLARED SIDES SHALL BE P RECEIVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE IN TH	PROVIDED. ALL CONCRETE SURF.		
6. RAMP TEXTURES MUST CONSIST OF TRUNCATED DOME SURF AND TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR), DETECTABLE UNDERFOOT. TEXTURES ALSO SHALL CONTRAST VISUAL SURFACES THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROH	TEXTURES ARE REQUIRED TO LLY WITH ADJOINING SURFACES.	BE	
7. ADDITIONAL INFORMATION ON CURB RAMP LOCATION, DESIGN TEXTURE MAY BE FOUND IN THE CURRENT EDITION OF THE TEXAS PREPARED AND ADMINISTERED BY THE TEXAS DEPARTMENT OF LIC	ACCESSIBILTIY STANDARDS (TA	AS)	
8. RAISED MEDIANS SEPARATE OPPOSING DIRECTIONS OF TRAF FOR PEDESTRIANS UNABLE TO CROSS THE ENTIRE ROADWAY IN TH AS A REFUGE AREA, THE MEDIAN SHALL BE A MINIMUM OF 5' (FI DESIGNED TO PROVIDE ACCESSIBLE PASSAGE OVER OR THROUGH	HE ALLOTTED SIGNAL PHASE. TO T.) WIDE. MEDIANS SHOULD BE		
9. SMALL CHANNELIZATION ISLANDS, WHICH CAN NOT PROVIDE THE TOP OF RAMPS, SHALL BE CUT THROUGH LEVEL WITH THE S	URFACE OF THE STREET.		
10. CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY TH	ARE NOT REQUIRED, RAMPS SH		
11. EXISTING FEATURES THAT COMPLY WITH T.A.S. MAY REMAIN SHOWN ON THE PLANS.	IN PLACE UNLESS OTHERWI	SE	
12. TRAFFIC SIGNAL OR ILLUMINATION POLES, GROUND BOXES, ( FACILITIES AND OTHER ITEMS SHALL BE PLACED SO NOT TO OBST		DRAINAGE	
		SL-ST-40	
	No. DATE	REVISION	
/LANDING	SEAL:		
5' MIN.			
SHARED LANDING *****		DATE	
	DESIGN ENGINEER:	JGA	
CURB RAMP 5' USUAL			
CURB RAMP/ 2' MIN. RUN AT 8.3% (SEE DETECTABLE WARNINGS)	CITY OF SUGA	R LAND, TEXAS	
PARALLEL CURB RAMP		DEPARTMENT	
	<u>CONSTRUCTIO</u>	<u>n plans for:</u>	
		AIR RAMP & DETAILS II	
	JOB No.: DATE: DESIGNED BY:	SL-26	
SL-ST-39	DRAWN BY: CHECKED BY: SCALE:	SHEET OF	
RIVERWOOD RANCH SUE SECTIONS 3 & 4		WHEEL CHAI	
A 35.620 AC, 145-LOT SU	BDIVISION	SIDEWALK	DETAILS II
ANGLETON, TEXAS 7	7515	PROJECT NO. 14396	<b>4</b> 2





### SANITARY WASTE NOTES

- 1. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE TOILETS BASED ON THE NUMBER OF EMPLOYEES USING THE TOILETS AND THE HOURS THEY WILL WORK.
- 2. SANITARY FACILITIES SHALL BE PLACED ON A MINIMUM OF 50 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE, CHANNELS OR SURFACE WATERS. IF UNABLE TO MEET THE 50 FOOT REQUIREMENT DUE TO SITE CONFIGURATION, PORTABLE TOILETS SHALL BE A MINIMUM OF 20 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE CHANNELS OR SURFACE WATER
- AND SECONDARY CONTAINMENT SHALL BE PROVIDE IN CASE OF SPILLS. 3. THE LOCATION OF THE PORTABLE TOILETS SHALL BE ACCESSIBLE TO MAINTENANCE TRUCKS WITHOUT DAMAGING EROSION AND SEDIMENT CONTROLS
- OR CAUSING EROSION OR TRACKING PROBLEMS. 4. SANITARY FACILITIES SHALL BE FULLY ENCLOSED AND DESIGNED IN A MANNER THAT MINIMIZES THE EXPOSURE OF SANITARY WASTE TO PRECIPITATION AND STORMWATER RUNOFF.
- 5. WHEN HIGH WINDS ARE EXPECTED, PORTABLE TOILETS SHALL BE ANCHORED OR OTHERWISE SECURED TO PREVENT THEM FROM BEING BLOWN OVER. 6. THE COMPANY THAT SUPPLIES AND MAINTAINS THE PORTABLE TOILETS SHALL BE NOTIFIED IMMEDIATELY IF A TOILET IS TIPPED OVER OR DAMAGED IN A WAY THAT THE RESULTS IN A DISCHARGE. DISCHARGED SOLID MATTER SHALL BE VACUUMED INTO A SEPTIC TRUCK BY THE COMPANY THAT MAINTAINS THE
- 7. THE OPERATOR OF THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL BE NOTIFIED IF A DISCHARGE FROM THE PORTABLE TOILETS ENTERS THE MS4 OR A NATURAL CHANNEL. 8. SANITARY FACILITIES SHALL NOT BE PERMITTED ON PUBLIC SIDEWALKS,

### DEBRIS AND TRASH NOTES

- 1. ALL WASTE SOURCES AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS, IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO. IN NO CASE SHALL MATERIAL AND WASTE SOURCES BE CLOSER THAN 20 FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS.
- 2. CONSTRUCTION WASTE AND TRASH SHALL BE STORED IN A MANNER THAT MINIMIZES ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.
- 3. WHENEVER POSSIBLE, MINIMIZE PRODUCTION OF DEBRIS AND TRASH. 4. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES.
- 5. SEGREGATE POTENTIAL HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE DEBRIS.
- 5. PROHIBIT LITTERING BY WORKERS AND VISITORS. 7. POLICE SITE DAILY FOR LITTER AND DEBRIS.
- 8. ENFORCE SOLID WASTE HANDLING AND STORAGE PROCEDURES. 9. IF FEASIBLE, RECYCLE CONSTRUCTION AND DEMOLITION DEBRIS SUCH AS
- WOOD, METAL, AND CONCRETE. 10. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN THEY ARE 90
- PERCENT FULL OR MORE FREQUENTLY.
- 11. GENERAL CONSTRUCTION DEBRIS MAY BE HAULED TO A LICENSED CONSTRUCTION DEBRIS LANDFILL.
- 12. USE WASTE AND RECYCLING HAULERS/FACILITIES APPROVED BY THE LOCAL MUNICIPALITY. 13. CHIPPING OF TREES AND BRUSH FOR USE SUCH AS MULCH IS PREFERRED
- ALTERNATIVE TO OFFSITE DISPOSAL. 14. NO WASTE, TRASH, OR DEBRIS SHALL BE BURIED, BURNED OR OTHER WISE
- DISPOSED OF ONSITE. 15. CLEARLY MARK ON ALL DEBRIS AND TRASH CONTAINERS WHICH MATERIALS ARE ACCEPTABLE. FOREMAN AND/OR CONSTRUCTION SUPERVISOR SHALL MONITOR ONSITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES DAILY.

### SUBGRADE STABILIZATION NOTES

1. MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH

. STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN NO RUN OFF. 3. STABILIZATION SHALL NOT OCCUR IMMEDIATELY BEFORE AND DURING RAINFALL

4. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE AREA BEING STABILIZED UNTIL AFTER COMPLETION OF MIXING THE CHEMICAL. 5. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE ROUGHENED TO INTERCEPT CHEMICAL RUNOFF AND REDUCE RUNOFF

6. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE DISSOLVED IN THE WATER AND WON'T BE AFFECTED BY A BARRIER AND THE SUSPENDED SOLIDS ARE SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

7. IF SOIL STABILIZERS ARE STORED ONSITE, THEY SHALL BE CONSIDERED HAZARDOUS MATERIAL AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LIME OR CHEMICAL

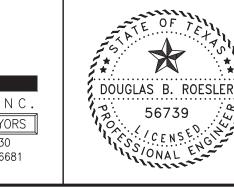
8. THE CONTRACRTOR SHALL INSTALL BMP'S TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEMS TO PREVENT LIME FROM ENTERING THE MS4 SYSTEM.

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### SANDBLASTING WASTE NOTES

- 1. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE THE SITE SUPERINTENDENT, FOREMAN, OR OTHER PERSON WHO IS RESPONSIBLE FOR SANDBLASTING TO ALSO BE RESPONSIBLE FOR SANDBLASTING WASTE MANAGEMENT.
- PROHIBIT THE DISCHARGE OF SANDBLASTING WASTE. 3. USE ONLY INERT, NON-DEGRADABLE SANDBLAST MEDIA.
- 4. USE APPROPRIATE EQUIPMENT FOR THE JOB; DO NOT OVER-BLAST.
- WHENEVER POSSIBLE. BLAST IN A DOWNWARD DIRECTION. CEASE BLASTING ACTIVITIES IN HIGH WINDS OR IF WIND DIRECTION COULD
- TRANSPORT GRIT TO DRAINAGE FACILITIES.
- INSTALL DUST SHIELDING AROUND SANDBLASTING AREAS. 8. COLLECT AND DISPOSE OF ALL SPENT SANDBLAST GRIT, USE DUST
- CONTAINMENT FABRICS AND DUST COLLECTION HOPPERS AND BARRELS.
- 9. NON-HAZARDOUS SANDBLAST GRIT MAY BE DISPOSED IN PERMITTED
- CONSTRUCTION DEBRIS LANDFILLS OR PERMITTED SANITARY LANDFILLS. 10. IF SANDBLAST MEDIA CANNOT BE FULLY CONTAINED, CONSTRUCT SEDIMENT
- TRAPS DOWNSTREAM FROM BLASTING AREA WHERE APPROPRIATE. 11. USE SAND FENCING WHERE APPRORIATE IN AREAS WHERE BLAST MEDIA
- CANNOT BE FULLY CONTAINED. 12. IF NECESSARY, INSTALL MISTING EQUIPMENT TO REMOVE SANDBLAST GRIT
- FROM THE AIR PREVENT RUNOFF FROM MISTING OPERATIONS FROM ENTERING DRAINAGE SYSTEMS. 13. USE VACUUM GRIT COLLECTION SYSTEMS WHERE POSSIBLE.
- 14. KEEP RECORDS OF SANDBLASTING MATERIALS, PROCEDURES, AND WEATHER CONDITIONS ON A DAILY BASIS.
- 15. TAKE ALL REASONABLE PRECAUTIONS TO ENSURE THAT SANDBLASTING GRIT IS CONTAINED AND KEPT AWAY FROM DRAINAGE STRUCTURES. 16. SAND BLASTING MEDIA SHOULD ALWAYS BE STORED UNDER COVER AWAY
- FROM DRAINAGE STRUCTURES. 17. ENSURE THAT STORED MEDIA OR GRIT IS NOT SUBJECTED TO TRANSPORT BY
- 18. ENSURE THAT ALL SANDBLASTING EQUIPMENT AND STORAGE CONTAINERS
- COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS. 19. CAPTURE AND TREAT RUNOFF, WHICH COMES INTO CONTACT WITH SANDBLASTING MATERIALS OR WASTE.



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-03-2023 OWNER:

**RIVERWAY PROPERTIES** 6115 SKYLINE DR. STE A. HOUSTON, TEXAS 77057

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:

	CONCRETE	SAWCUTTING	WASTE	NOTES
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1. DURING SAWCUTTING OPERATIONS, THE SLURRY AND CUTTINGS SHALL BE

- CONTINUOUSLY VACUUMED OR OTHERWISE RECOVERED AND NOT BE ALLOWED TO DISCHARGE FROM THE SITE. 2. IF THE PAVEMENT TO BE CUT IS NEAR A STORM DRAIN INLET, THE INLET SHALL BE BLOCKED BY SANDBAGS OR EQUIVALENT TEMPORARY MEASURES TO PREVENT THE SLURRY FROM ENTERING THE INLET. REMOVE THE SANDBAGS IMMEDIATELY AFTER COMPLETING SAWCUTTING OPERATIONS, SO THEY DO NOT
- CAUSE DRAINAGE PROBLEMS DURING STORM EVENTS. 3. SLURRY AND CUTTINGS SHALL NOT BE ALLOWED TO REMAIN ON THE PAVEMENT TO DRY OUT 4. DEVELOP PRE-DETERMINED, SAFE SLURRY DISPOSAL AREAS.
- 5. COLLECTED SLURRY AND CUTTINGS SHOULD BE IMMEDIATELY HAULED FROM THE SITE FOR DISPOSAL AT A WASTE FACILITY. IF THIS IS NOT POSSIBLE, THE SLURRY AND CUTTINGS SHALL BE DISCHARGED INTO ONSITE CONTAINMENT.
- 6. THE ONSITE CONTAINMENT MAY BE EXCAVATED OR BERMED PIT LINED WITH PLASTIC MINIMUM OF 10 MILIMETERS THICK. IF THE PROJECT INCLUDES PLACEMENT OF NEW CONCRETE, SLURRY FROM SAWCUTTING MAY BE DISPOSED OF IN FACILITIES DESIGNATED FOR THE WASHOUT OF CONCRETE TRUCKS INSTEAD CONSTRUCTING A SEPARATE CONTAINMENT.
- 7. THE CONTAINMENT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS, IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO. IN NO CASE SHALL THE COLLECTION AREA BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS.
- 8. SEVERAL, PORTABLE, PRE-FABRICATED, CONCRETE WASHOUT, COLLECTION BASINS ARE COMMERCIALLY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO AN ONSITE CONTAINMENT PIT.
- 9. REMOVE WASTER CONCRETE WHEN THE CONTAINMENT IS HALF FULL. ALWAYS MAINTAIN A MINIMUM OF ONE FOOT FREEBOARD. 10. ONSITE EVAPORATION OF SLURRY WATER AND RECYCLING OF THE CONCRETE WASTE IS THE PREFERRED DISPOSAL METHOD. WHEN THIS IS NOT FEASIBLE, DISCHARGE FROM THE COLLECTION AREA SHALL ONLY BE ALLOWED IF A PASSIVE TREATMENT SYSTEM IS USED TO REMOVE THE FINES. MECHANICAL MIXING IS REQUIRED IN THE COLLECTION AREA. THE pH MUST BE TESTED, AND DISCHARGED IS ALLOWED IN IF THE pH DOES NOT EXCEED 8.0. THE pH
- MAY BE LOWERED BY ADDING SULFURIC ACID TO THE SLURRY WATER. 11. CARE SHALL BE EXERCISED WHEN TREATING THE SLURRY WATER FOR DISCHARGE. MONITORING MUST BE IMPLEMENTED TO VERIFY THAT DISCHARGES FROM THE COLLECTION AREA DO NOT VIOLATE GROUNDWATER OR SURFACE
- WATER QUALITY STANDARDS. 12. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO CONTROL SAWCUTTING WASTE, SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

No.	DATE		REVISION	
SEAL: DESIG	N ENGINEEI	₹:	DATE	
(		F SUGAR	R LAND, TEXAS DEPARTMENT	
<u>CONSTRUCTION PLANS FOR:</u>				
GENERAL EROSION CONTROL NOTES				
DRAW	NED BY: N BY: KED BY:		SL-33	

## **RIVERWOOD RANCH SUBDIVISION** SECTIONS 3 & 4 A 35.620 AC, 145-LOT SUBDIVISION ANGLETON, TEXAS 77515

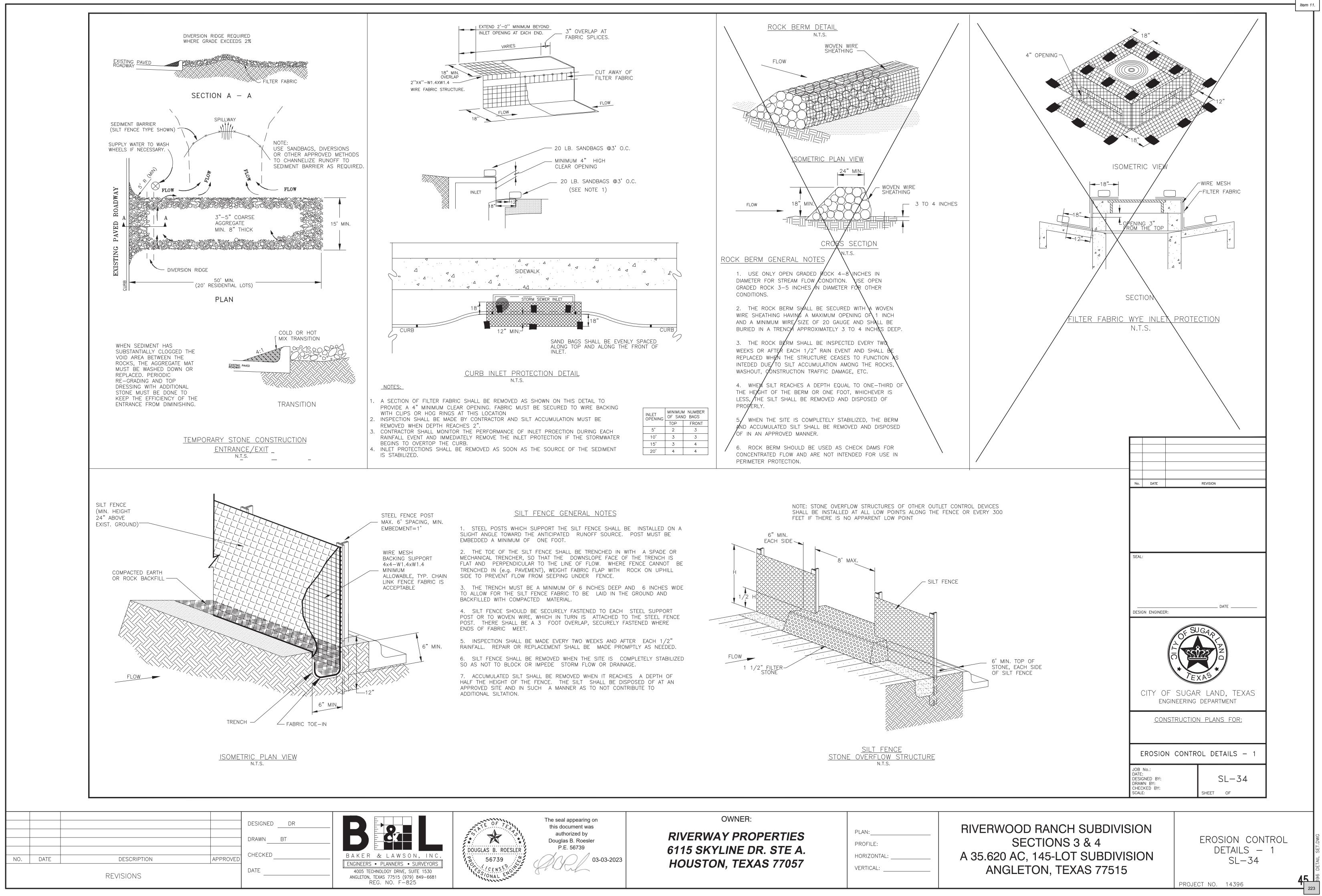
GENERAL EROS	ION
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PROJECT NO. 14396



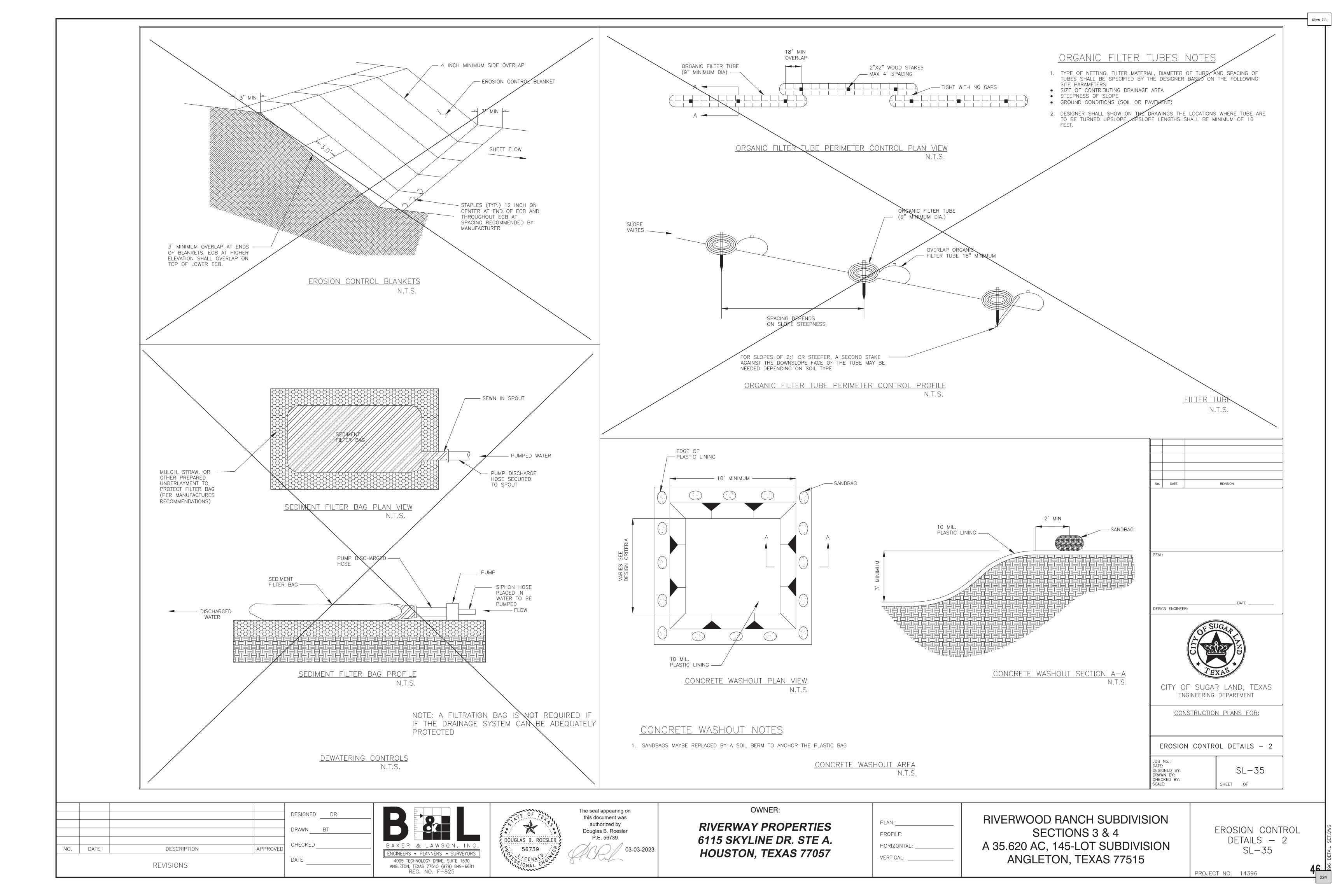
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Item 11



T MIN.	SILT FENCE GENERAL NOTES
WIII <b>N</b> .	1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALL SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUS EMBEDDED A MINIMUM OF ONE FOOT.
r Chain	2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SP. MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TREN FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CA TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON U SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
IC IS	3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INC

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:





### AGENDA ITEM SUMMARY FORM

MEETING DATE:	April 11, 2023
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services
AGENDA CONTENT:	Discussion of a Project Concept for the Mulberry Fields Subdivision site for consideration of a new concept, for approximately 13 acres of land located north of W. Mulberry St., West side of N. Walker St, and south of W. Live Oak St., within the SF-6.3 Zoning District. No action is required.
AGENDA ITEM SECTION:	Regular Agenda

### BUDGETED AMOUNT: \$0

FUNDS REQUESTED: \$0

FUND: N/A

### **EXECUTIVE SUMMARY:**

Mulberry Fields Subdivision is a proposed 13 acre, 44 lot, residential development bordered on the east by Walker Street, south of its intersection with an unnamed street that appears to be Magnolia Street. The land to be subdivided surrounds a CG zoned area consisting of commercial tower and a one-acre commercial tract. Reserve "A" will serve as the detention area for the development. The development will be served by 2 ingress/egress points: one on N. Walker St. and the other on West Mulberry St.

Corey Boyer, Manager of Development of Texas, developer, hopes to discuss a new vision for the property to allow for a different product in response to the current market influences and interest rates. The applicant is proposing a rezoning of the property to SFA, Single-family attached residential district (Townhomes) (See attachment 1 for the related Code regulations). The proposed number of units would result in 88 doors, depending on net density once public improvements and setbacks are finally designed.

### **RECOMMENDATION:**

Staff recommends that the Planning and Zoning Commission receive the developer's presentation and hold discussion regarding the proposed development and provide the applicant with feedback. No formal action is required for this item.

# **CONSTRUCTION PLANS FOR** WATER, SEWER, PAVING AND DRAINAGE FACILITIES TO SERVE "MULBERRY FIELDS SUBDIVISION"

"RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THEIR SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER."

"ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.'

FLOODPLAIN:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48039-C-0440K EFFECTIVELY DATED DECEMBER 30, 2020, THE PROPERTY LIES IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

WATERSHED: LOWER OYSTER CREEK (12040205)

TxDOT ROADWAY: SH-35 (W MULBERRY ST)

### STOP - CALL BEFORE YOU DIG!!

CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITY LINES BY CONTACTING "TEXAS ONE CALL" AT 1-800-245-4545 AT LEAST 48 HOURS BEFORE YOU DIG. DRILL OR BLAST. EXISTING, WATER, SANITARY, GAS, ELECTRICAL, TELECOMMUNICATIONS AND ALL OTHER UTILITY LINES ARE SHOWN PER RECORD DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION AT THE SITE PRIOR TO CONSTRUCTION.

AUTHORIZATION NOTICE ISSUED BY BRAZORIA COUNTY ENGINEERING DEPARTMENT, PERMIT OFFICE, REQUIRED PRIOR TO CONSTRUCTION OF UTILITIES OR LEFT TURN LANES WITHIN BRAZORIA COUNTY PUBLIC RIGHTS-OF-WAY.

CONTRACTOR AND OWNER SHALL COMPLY WITH THE REGULATIONS OF CITY OF ANGLETON AND BRAZORIA COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT.

**48 HOUR NOTICE:** 

CONTRACTOR(S) SHALL NOTIFY CITY OF ANGLETON PERMIT AND INSPECTION OFFICE AT (979) 849-4364, PRIOR TO COMMENCING CONSTRUCTION AND/OR BACKFILLING ANY UTILITIES.



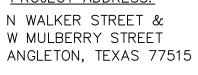


A 13.0044 ACRE TRACT OF LAND

IN THE J. DE J. VALDERAS SURVEY, ABSTRACT NO. 380, IN THE M. C. TOBIN SURVEY, ABSTRACT NO. 699, AND IN THE H. H. CORNWALL SURVEY, ABSTRACT NO. 180, CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS 77515

PROJECT NO.: 21015-01 DATE: February 2023

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### SHEET TITLE

COVER SHEET

PLAT

TOPOGRAPHIC SURVEY

**GENERAL NOTES** 

CLEARING PLAN

WATER & SANITARY SEWER LAYOUT

STORM SEWER LAYOUT

**PAVING & SIGNAGE LAYOUT** 

GEOMETRIC LAYOUT

GRADING PLAN

DRAINAGE AREA MAP

STORM SEWER CALCULATIONS

LILLY VIEW DRIVE PLAN & PROFILE STA 0+00 TO 5+00

LILLY VIEW DRIVE PLAN & PROFILE STA 5+00 TO 9+00

NICOLETTE DRIVE PLAN & PROFILE STA 0+00 TO 4+50

SUGARDALE DRIVE PLAN & PROFILE STA 4+50 TO 7+00

LINWOOD STREET PLAN & PROFILE STA 7+00 TO 12+00

LINWOOD STREET PLAN & PROFILE STA 12+00 TO 17+50

**DETENTION POND PLAN & DETAILS** 

STORM WATER LIFT STATION DETAILS

STORM WATER POLLUTION PREVENTION PLAN

STORM WATER POLLUTION PREVENTION DETAILS

WATER DETAILS

SANITARY SEWER DETAILS

STORM SEWER DETAILS

CONCRETE PAVEMENT CONSTRUCTION DETAILS

DRIVEWAY DETAILS

SIDEWALK & ADA RAMP DETAILS

CURB DETAILS

SIGNAGE DETAILS

MISCELLANEOUS DETAILS

CONFLICT STRUCTURE DETAILS

TRAFFIC CONTROL PLAN

**PAVEMENT REPLACEMENT & CHAIN LINK FENCE DETAILS** 

SAFETY END TREATMENT DETAIL

**EXCAVATION & BACKFILL DETAILS** 

DRIVEWAY DETAILS (TXDOT)



Item 12.

### METES AND BOUNDS

A FIELD NOTE DESCRIPTION of a 13.0044 acre (566,471 square feet) tract of land in the in the J. De J. Valderas Survey, Abstract No. 380, in the M. C. Tobin Survey, Abstract No. 699, and in the H. H. Cornwall Survey, Abstract No. 180, City of Angleton, Brazoria County, Texas; said 13.0044 acre tract being that same tract of land conveyed to Mulberry Field LLC, as recorded in Brazoria County Clerk's File No. 2021037827; said tract being more particularly described by metes—and—bounds as follows with the bearings being based on Texas State Plane Coordinate System, South Central Zone (NAD83) per GPS Observations using National Geodetic Survey Continuously Operating Reference Stations:

BEGINNING at a 1/2-inch iron rod found in the northeast right-of-way line of Heritage Drive (width varies), according to the map or plat recorded in Volume 20, Page 211 of the Brazoria County Plat Records for the northwest corner of an original 20.751 acre tract of land, as recorded in Volume 1090, Page 796 of the Brazoria County Deed Records, for the southwest corner of a 13.203 acre tract of land conveyed to Community Public Service Company, as recorded in Volume 1467, Page 234 of the Brazoria County Deed Records, and for the northwest corner of this tract; from which a 1/2—inch iron rod found bears North 46° 52' 31" West -332.07 feet (called North 45° 00' 18" West -332.03 feet per Volume 1467, Page 234 of the Brazoria County Deed Records);

THENCE, North 85° 46' 46" East - 807.91 feet (called North 88° 04' East -808.25 feet per Brazoria County Clerk's File No. 2021037827) with the north line of said 20.751 acre tract and with the south line of said 13.203 acre tract to a 5/8-inch iron rod with aluminum cap stamped "TNP" found for the northwest corner of a 1.1478 acre tract of land conveyed to Texas-New Mexico Power Company, as recorded in Volume 362, Page 838 of the Brazoria County Deed Records and for a northeast corner of this tract

THENCE, South 02° 26' 18" East — 99.83 feet (called South 00° 06' 57" East — 99.86 feet per Brazoria County Clerk's File No. 2021037827) (called South 00° 04' 00" East —100.05 feet per Volume 362, Page 838 of the Brazoria County Deed Records) with the west line of said 1.1478 acre tract to a 5/8—inch iron rod with aluminum cap stamped "TNP" found for the southwest corner of said 1.1478 acre tract and for an interior corner of this tract:

THENCE, North 85° 44' 50" East – 499.94 feet (called North 88° 03' 44" East – 499.92 feet per Brazoria County Clerk's File No. 2021037827) (called North 88° 04' 00" East – 500.00 feet per Volume 362, Page 838 of the Brazoria County Deed Records) with the south line of said 1.1478 acre tract to a 5/8—inch iron rod with aluminum cap stamped "TNP" found in the west right—of—way line of Walker Street (width varies) and in the east line of said 20.751 acre tract for the southeast corner of said 1.1478 acre tract and for a northeast corner of this tract:

THENCE, South 02° 20' 40" East - 164.41 feet (called South 00° 04' 17" East - 164.36 feet per Brazoria County Clerk's File No. 2021037827) with the west right-of-way line of said Walker Street and with the east line of said 20.751 tract to a 1/2—inch iron pipe found inside a 2—inch PVC pipe for the northeast corner of Reserve "B", Block 1, Short Form Plat Communication Tower, according to the map or plat recorded in Volume 21, Page 189 of the Brazoria County Plat Records and for a southeast corner of this tract:

THENCE, South 87° 41' 11" West — 350.24 feet (called North 89° 58' 33" West –350.50 feet per Brazoria County Clerk's File No. 2021037827) (called West –350.54 feet per Volume 21, Page 189 of the Brazoria County Plat Records) with the north line of said Reserve "B" to a 1/2—inch iron rod found for the northwest corner of said Reserve "B" and for an interior corner of this tract:

THENCE, South 02° 13' 37" East — 249.99 feet (called South 00° 02' 04" West -250.00 feet per Brazoria County Clerk's File No. 2021037827) (called South -249.96 feet per Volume 21, Page 189 of the Brazoria County Plat Records) with the west line of said Reserve "B" and with the west line of Reserve "A" (Communication Tower Tract) of said Short Form Plat Communication Tower to a 5/8-inch iron rod with cap stamped "COTTON" found for the southwest corner of said Reserve "A" and for an interior corner of

THENCE, North 87* 41' 44" East - 142.02 feet (called South 89* 57' 11" East - 141.97 feet per Brazoria County Clerk's File No. 2021037827) with the south line of said Reserve "A" to a 1/2—inch iron rod with cap stamped "PINPOINT" found for an interior corner of said 20.751 acre tract, for the northwest corner of a 1.00 acre tract of land conveyed to HED Properties, LLC, as recorded in Brazoria County Clerk's File No. 2010004582, and for a northeast corner of this tract:

THENCE, South 02° 20' 54" East - 233.55 feet (called South 00° 03' 51" East - 233.72 feet per Brazoria County Clerk's File No. 2021037827) with the east line of said 20.751 acre tract, with the west line of said 1.00 acre HED Properties, LLC tract, and with the west line of a 1.00 acre tract of land conveyed to J. Angel Hernandez, et ux, as recorded in Brazoria County Clerk's File No. 2013050912 to a 1/2—inch iron rod with cap stamped "RPLS 2112" found for a southeast corner of this tract; from which a 1/2—inch iron rod with cap stamped "RPLS 2112" found in the north right—of—way line of State Highway 35 (West Mulberry Street) (width varies) for a southeast corner of said 20.751 acre tract and for the southwest corner of said 1.00 acre Hernandez tract bears South 02° 20' 54" East -183.36 feet;

THENCE, South 87° 03' 34" West — 392.00 feet (called South 89° 14' 32" West — 392.09 feet per Brazoria County Clerk's File No. 2021037827) to a 1/2—inch iron rod with cap stamped "2112" found for an interior corner of this tract;

THENCE, South 02° 10' 40" East — 178.81 feet (called South 00° 02' 09" West — 178.77 feet per Brazoria County Clerk's File No. 2021037827) to a 1/2—inch iron rod with cap stamped "RPLS 2112" found in the north right-of-way line of said State Highway 35 and in the south line of said 20.751 acre tract for the southeast corner of this tract;

THENCE, South 87' 43' 31" West -60.00 feet (called North 89' 57' 50" West -60.00 feet per Brazoria County Clerk's File No. 2021037827) with the north right—of—way line of said State Highway 35 and with the south line of said 20.751 acre tract to a 4—inch by 4—inch concrete monument found for a southwest corner of said 20.751 acre tract and for a southwest corner of this tract;

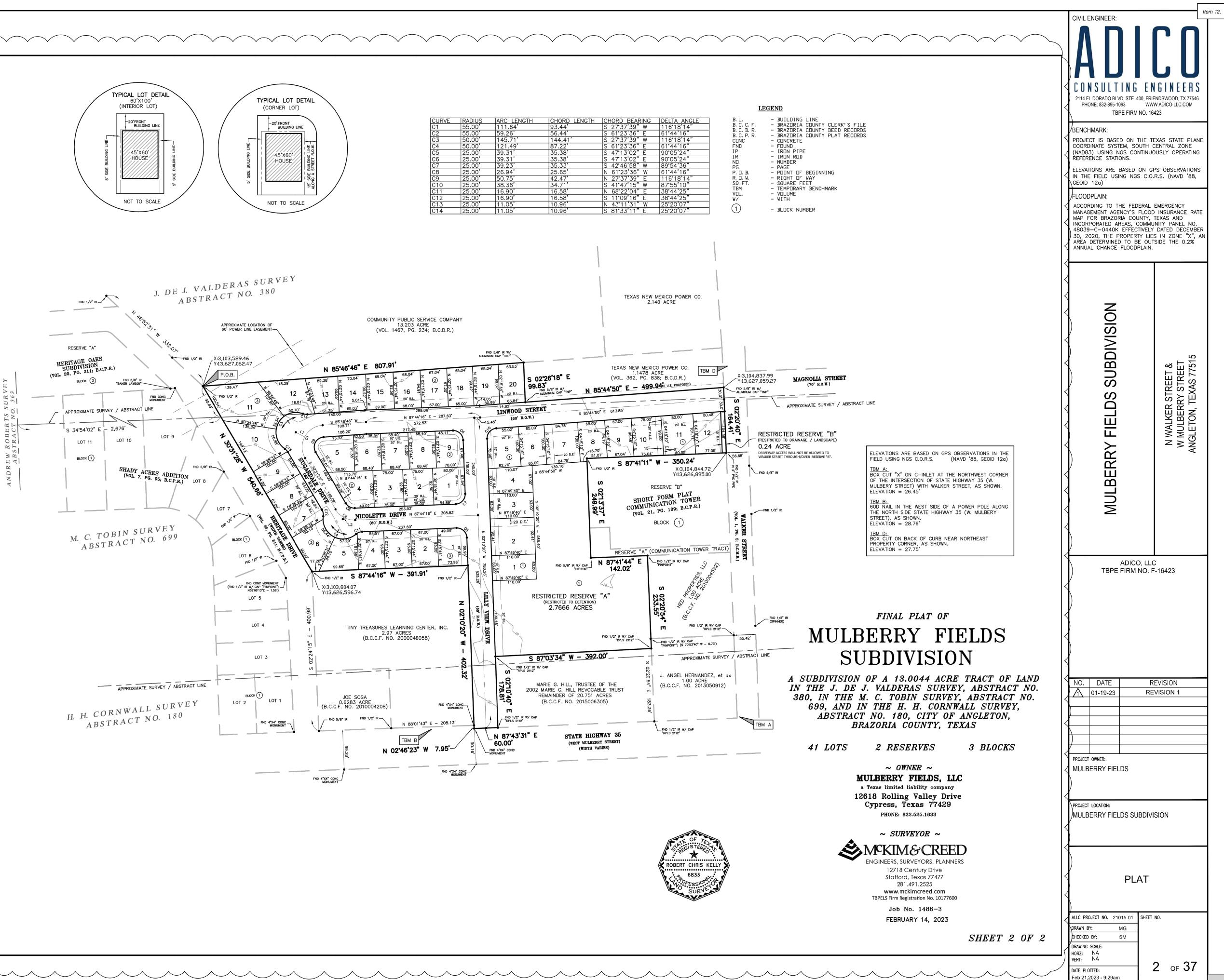
THENCE, North 02' 46' 23" West - 7.95 feet (called North 00' 21' 33" West - 7.81 feet per Brazoria County Clerk's File No. 2021037827) with a jog in the north right—of—way line of said State Highway 35 and with a west line of said 20.751 acre tract to a 4—inch by 4—inch concrete monument found for the southeast corner of a 2.97 acre tract of land conveyed to Tiny Treasures Learning Center, Inc., as recorded in Brazoria County Clerk's File No. 2000046058 and for an angle point of this tract; from which i iron rod found for corner of said 2.97 acre tract and for said 20.751 acre tract bears South 88° 01′ 43" West - 208.13 feet (called North 89° 36' 58" West - 208.35 feet per Brazoria County Clerk's File No. 2000046058) (called West -208.56 feet per Volume 1090, Page 796 of the Brazoria County Deed Records);

THENCE, North 02° 10' 20" West - 402.32 feet (called North 00° 02' 44" East - 402.37 feet per Brazoria County Clerk's File No. 2021037827) (called North 0° 02' 13" East - 402.41 feet per Brazoria County Clerk's File No. 2000046058) with the east line of said 2.97 acre tract to a 1/2-inch iron rod found for the northeast corner of said 2.97 acre tract and for an interior corner of this tract;

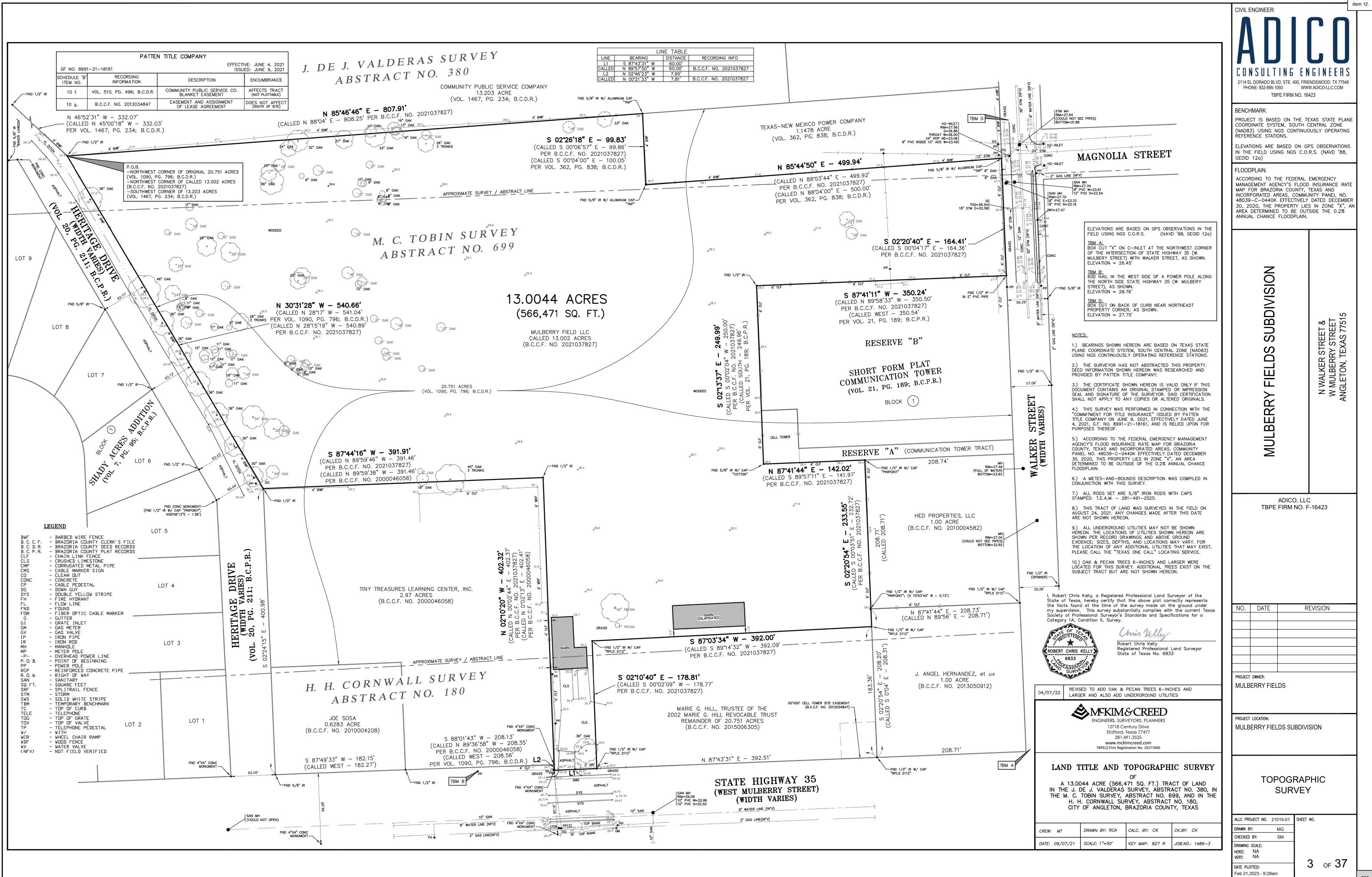
THENCE, South 87° 44' 16" West — 391.91 feet (called North 89° 59' 46" West — 391.46 feet per Brazoria County Clerk's File No. 2021037827) (called North 89° 59' 38" West — 391.46 feet per per Brazoria County Clerk's File No. 2000046058) with the north line of said 2.97 acre tract to a 1/2—inch iron rod found in the east right—of—way line of said Heritage Drive for an angle point of said 20.751 acre tract, for the northwest corner of said 2.97 acre tract, and for a southwest corner of this tract; from which a 5/8-inch iron rod found at the intersection of the east right-of-way line of said Heritage Drive with the north right-of-way line of said State Highway 35 bears South 02° 24' 15" East -400.98 feet;

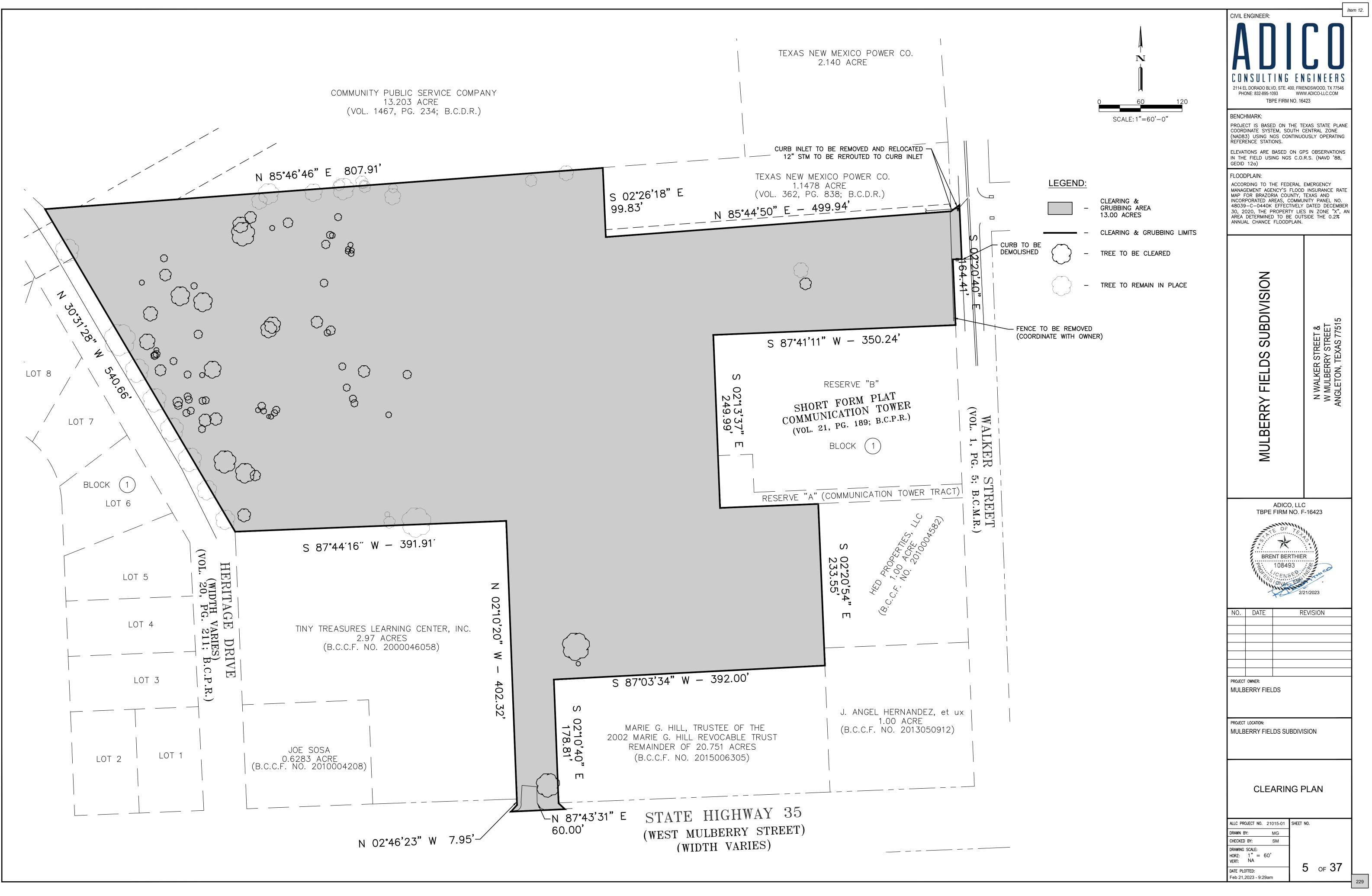
THENCE, North 30° 31' 28" West — 540.66 feet (called North 28° 17' West -541.04 feet per Volume 1090, Page 796 of the Brazoria County Deed Records) (called North 28° 15' 19" West -540.89 feet per Brazoria County Clerk's File No. 2021037827) with the northeast right—of—way line of said Heritage Drive and with the southwest line of said 20.751 acre tract to the POINT OF BEGINNING and containing 13.0044 acres (566,471 square feet) of land.

LOT AREA TABLE           LOT #         AREA         LOT #         AREA           LOT 1         7011 Sq. Feet         LOT 1         6900 Sq. Feet           LOT 2         6930 Sq. Feet         LOT 2         6365 Sq. Feet           LOT 3         6930 Sq. Feet         LOT 3         6365 Sq. Feet           LOT 4         6930 Sq. Feet         LOT 4         6365 Sq. Feet           LOT 5         10165 Sq. Feet         LOT 5         7217 Sq. Feet           LOT 6         6930 Sq. Feet         LOT 6         8246 Sq. Feet	
LOT 1         7011         Sq. Feet         LOT 1         6900         Sq. Feet           LOT 2         6930         Sq. Feet         LOT 2         6365         Sq. Feet           LOT 3         6930         Sq. Feet         LOT 3         6365         Sq. Feet           LOT 4         6930         Sq. Feet         LOT 4         6365         Sq. Feet           LOT 5         10165         Sq. Feet         LOT 5         7217         Sq. Feet	
LOT 17011 Sq. FeetLOT 16900 Sq. FeetLOT 26930 Sq. FeetLOT 26365 Sq. FeetLOT 36930 Sq. FeetLOT 36365 Sq. FeetLOT 46930 Sq. FeetLOT 46365 Sq. FeetLOT 510165 Sq. FeetLOT 57217 Sq. Feet	
LOT 36930Sq. FeetLOT 36365Sq. FeetLOT 46930Sq. FeetLOT 46365Sq. FeetLOT 510165Sq. FeetLOT 57217Sq. Feet	
LOT 46930 Sq. FeetLOT 46365 Sq. FeetLOT 510165 Sq. FeetLOT 57217 Sq. Feet	
LOT 5 10165 Sq. Feet LOT 5 7217 Sq. Feet	
LOT 6 6930 Sq. Feet LOT 6 8246 Sq. Feet	
LOT 7 7150 Sq. Feet LOT 7 6300 Sq. Feet	
BLOCK 1- LOT 8 7971 Sq. Feet LOT 8 6300 Sq. Feet	
LOT 9 6500 Sq. Feet LOT 9 6911 Sq. Feet	
LOT 10 8478 Sq. Feet LOT 10 10657 Sq. Feet	
LOT 11 6459 Sq. Feet LOT 11 19619 Sq. Feet	
LOT 12 6387 Sq. Feet LOT 12 8466 Sq. Feet	_
LOT 13 7330 Sq. Feet LOT 13 6473 Sq. Feet BLOCK	3
LOT 14 8029 Sq. Feet LOT 14 6304 Sq. Feet	
LOT 15 7072 Sq. Feet LOT 15 6307 Sq. Feet	
LOT 1 7260 Sq. Feet LOT 16 6375 Sq. Feet	
LOT 2 6938 Sq. Feet LOT 17 6436 Sq. Feet	
LOT 3 6938 Sq. Feet LOT 18 6390 Sq. Feet	
LOT 4 8180 Sq. Feet LOT 19 6490 Sq. Feet	
BLOCK 2 – LOT 5 7899 Sq. Feet LOT 20 6356 Sq. Feet	
LOT 6 6309 Sq. Feet	
LOT 7 6327 Sq. Feet	
LOT 8 6327 Sq. Feet	
LOT 9 6347 Sq. Feet	









# DEVELOPMENT of TEXAS

# NULBERRY ELLOS

Item 12.

4.6.2023



# INTRODUCTION

DEVELOPMENT OF TEXAS

Development of Texas is a real estate company that specializes in acquisition and investment solutions that add value and vision to communities in Texas.

We are committed to discovering and realizing new opportunities in demanded areas while creating functional and desirable developments.

# PROJECT SUMMARY

### MULBERRY FIELDS

Item 12.

# **CURRENT APPROVED DEVELOPMENT**



Item 12.

# WHAT WE ARE PROPOSING

**Current Approved Plan** 

Zoned SF 6.3

Proposed SFA Plan Re-Zoned SFA

41 Single Family Homesites

Why Change? Economic Feasibility has shifted due to Cost of Construction Interest Rates Insurance Rates Approx. 82 Single Family Attached Homesites

No additional Water, Traffic or Density Concerns



# SFA SITE PLAN CONCEPT



Item 12.

# WHAT IS SFA?

### Sec. 28-50. - SFA—Single-family attached residential district (Townhomes).

(a) General purpose and description: The SFA—Single-Family Attached Residential, district is intended to promote stable, quality, attached-occupancy residential development on individual lots at higher residential densities. Individual ownership of each lot and dwelling unit is encouraged. This district may be included within certain areas of neighborhoods or, when in accordance with the intent of the comprehensive plan, may provide a "buffer" or transition district between lower density residential areas and multifamily or nonresidential areas or major thoroughfares. Areas zoned for the SFA district shall have, or shall make provision for, City of Angleton water and sewer services. They shall be designed to adequately accommodate storm drainage; they shall have paved streets with logical and efficient vehicular circulation patterns which discourage non-local traffic; they shall be properly buffered from nonresidential uses; and they shall be protected from pollution and undesirable environmental and noise impacts.

### (c) Height regulations:

- (1) Maximum height:
  - a. Two and one-half stories, and not to exceed 35 feet, for the main building or house.
  - b. One story for other accessory buildings, including detached garage, carports, garden shed, gazebo, clubhouse, mail kiosks, etc.
  - c. Other requirements (see section 28-106).

### (d) Area regulations:

- (1) Size of lots:
  - a. Minimum lot area: 2,500 square feet.
  - b. Maximum density: Ten units per gross acre of land area within the development.
  - c. Maximum project size: The maximum size of a single-family attached residential development shall be 25 acres.
  - d. Minimum lot width: 20 feet.
  - e. Minimum lot depth: 100 feet.



# WHAT IS SFA?

### (2) Size of yards:

- a. Minimum front yard: 15 feet; front yard setbacks shall be staggered in at least four-foot increments such that no more than two units have the same front setback in a row; no front-entry garages permitted unless the garage door or carport access opening is set back at least 20 feet from the property line (i.e., the right-of-way or street easement line).
- b. Minimum side yard:
  - 1. Single-family attached dwellings shall not have an interior side yard; however, a minimum ten-foot side yard is required for a corner lot adjacent to a residential street or alley that only serves lots within the SFA subdivision, a minimum 15-foot side yard is required for a corner lot adjacent to a residential or collector street serving lots outside the SFA subdivision, a minimum 20-foot side yard is required for a corner lot adjacent to an arterial street. The ends of any two adjacent building complexes or rows of buildings shall be at least 15 feet apart.
  - A complex or continuous row of attached single-family dwellings shall have a minimum length of four dwelling units (quadriplex), a maximum length of eight dwelling units.
- c. Minimum rear yard: 15 feet for the main building and any accessory building(s); 20 feet for rear entry garage.
- (3) Maximum lot coverage: 70 percent by main and accessory buildings on each individual lot.
- (4) Parking regulations:
  - a. A minimum of two parking spaces for each dwelling unit, located in front, behind, beside or incorporated into the dwelling unit and located on the same lot as each dwelling unit (see section 28-101, off-street parking and loading requirements).
  - b. Designated visitor parking spaces shall be provided in off-street, common areas at a ratio of one guest/visitor space per four units. SFA developments that include a two-car garage or carport and driveway area equivalent to two additional parking spaces on each lot are not required to provide visitor parking spaces.
  - c. Additional parking shall be required for any recreational uses, clubhouse, office, sales offices and other similar accessory structures and uses.
  - 5) Minimum floor area per dwelling unit: 800 square feet of air-conditioned floor area.
  - Minimum exterior construction standards: See section 28-105.

# WHY SFA FOR MULBERRY FIELDS Item 12.



Option that best aligns with City Needs

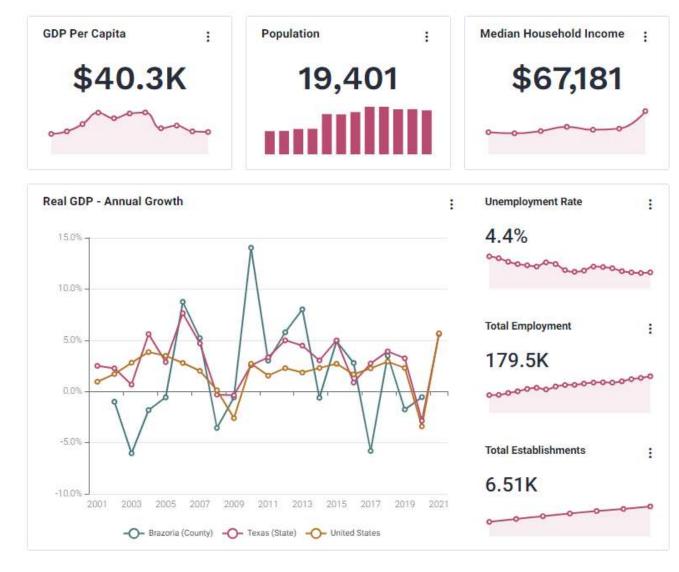


# SURROUNDED BY COMMERCIAL



Item 12.

# NEED FOR AFFORDABLE HOUSING Inter 12.



Median household can afford a home mortgage of \$236,865 (Per Wells Fargo Loan Assumptions)

Anticipated Sales Price \$200,000-\$220,000







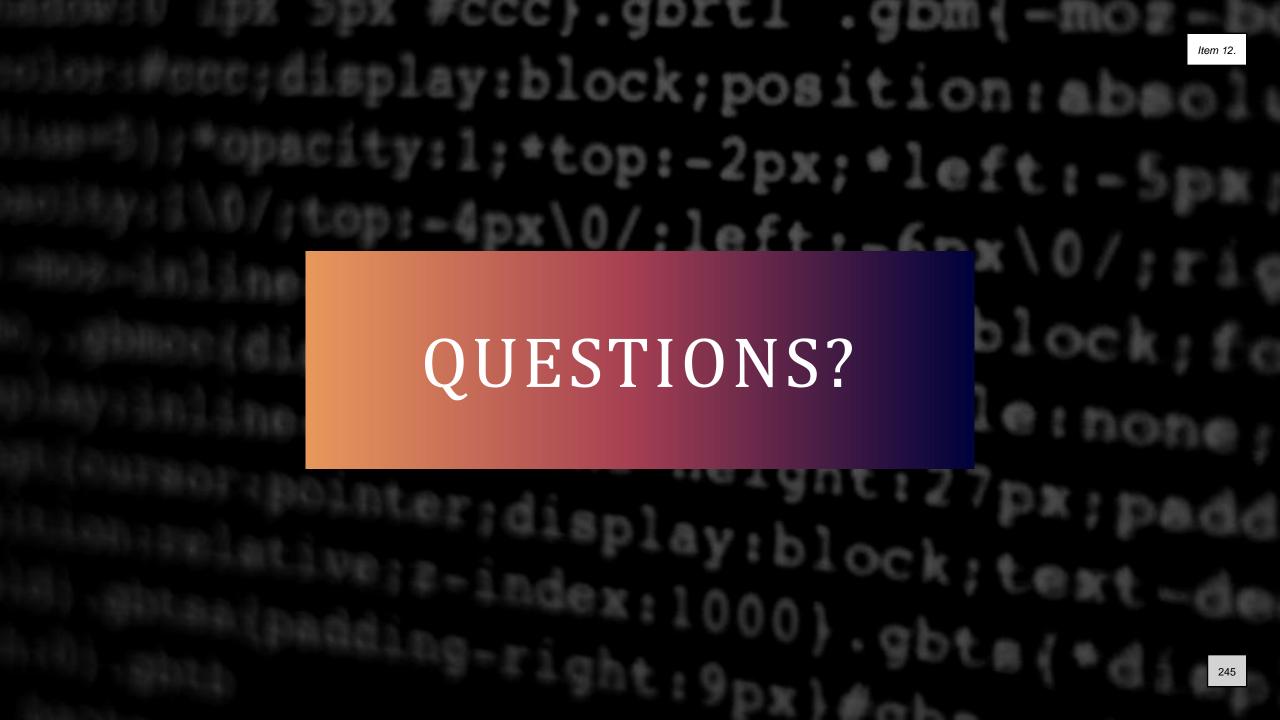
# **OTHER POSSIBLE OPTIONS**



# MULTIFAMILY

# **COMMERCIAL USE**

Item 12.





# **CONTACT US**



+1 (832) 525-1633

Corey Boyer

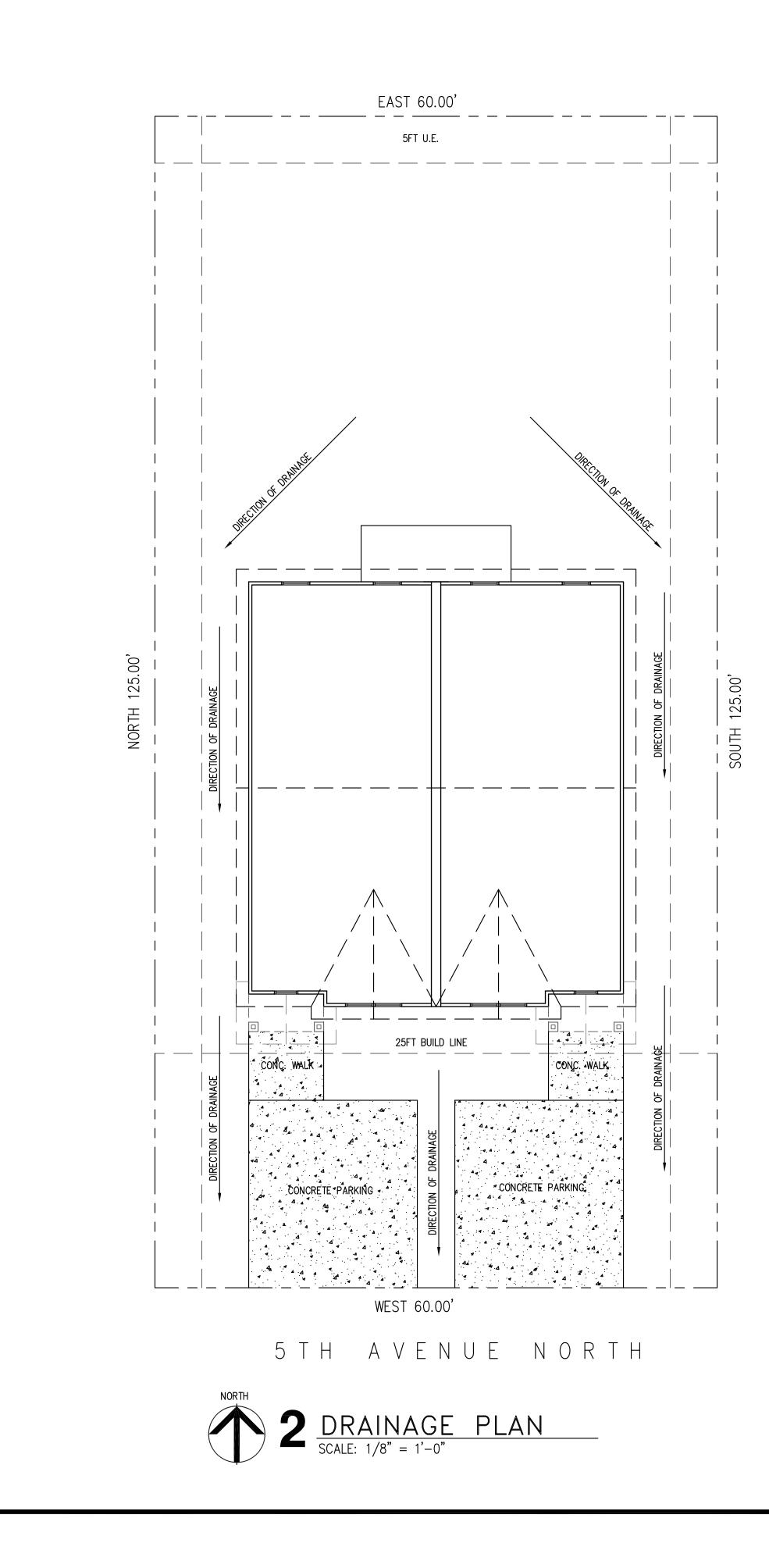


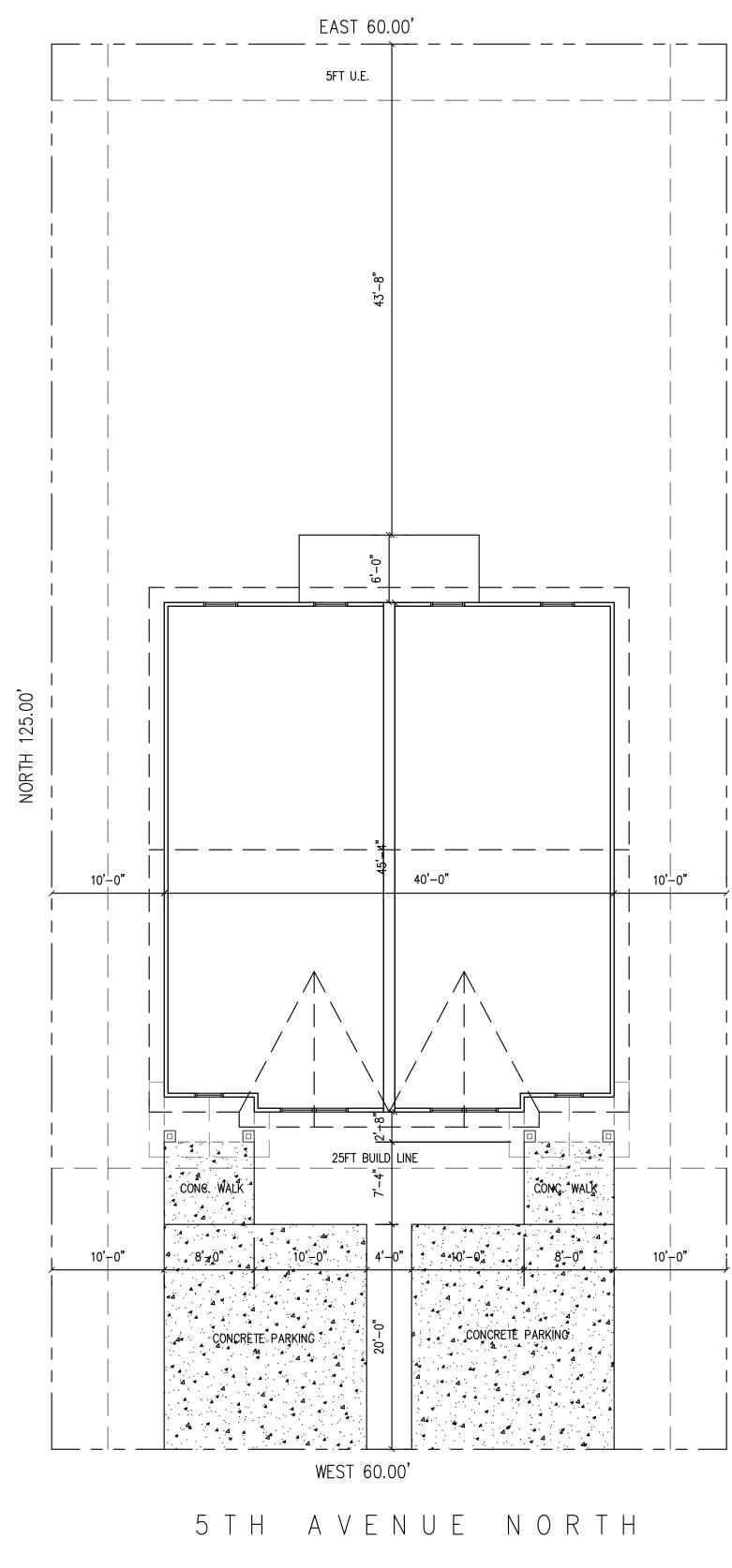
corey@developmentoftexas.com

### www.developmentoftexas.com



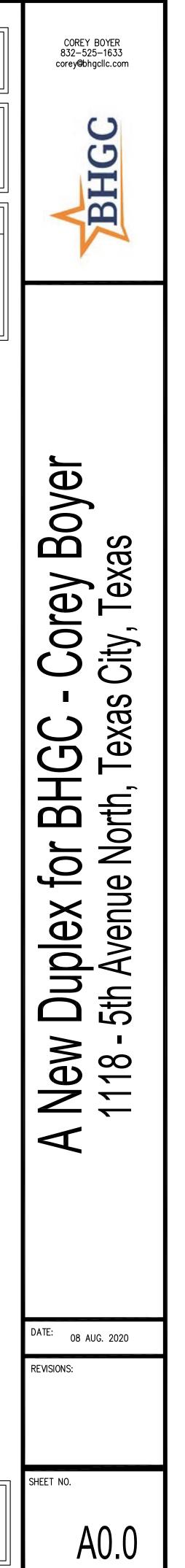
A New Duplex for BHGE - Corey Boyer 1118 - 5th Avenue North Texas City, Texas







Item 12.



<u>GENERAL NOTE:</u>

LEGAL DESCRIPTION

GALVESTON COUNTY, TEXAS.

ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH IRC 2018 AND ALL REGULATIONS FOR THE CITY OF TEXAS CITY, TEXAS.

LOT 31, BLOCK 2, OF CHELSEA MANOR, AS SUBDIVISION IN GALVESTON

COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT RECORD 3, MAP NUMBER 49, OF THE MAP/PLAT RECORDS OF

LEVEL 1:

LEVEL 2:

SQUARE FOOTAGE (PER UNIT)

LIVING AREA (AC SPACE) = 578 SQFT GARAGE = 242 SQFT

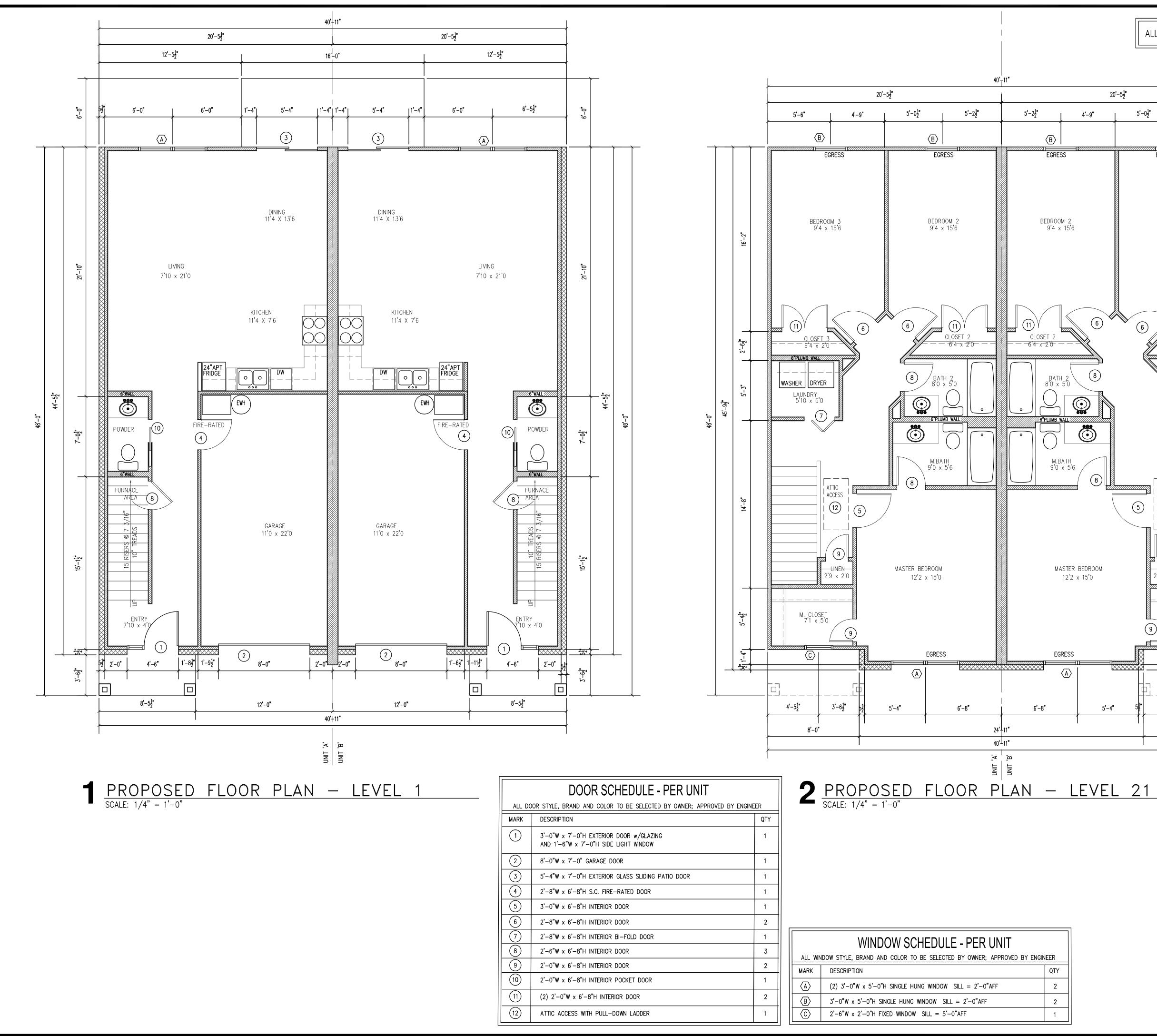
LIVING AREA (AC SPACE) = 866 SQFT

FRONT PORCH = 30 SQFT REAR PATIO = 48 SQFT

SITE NOTES:

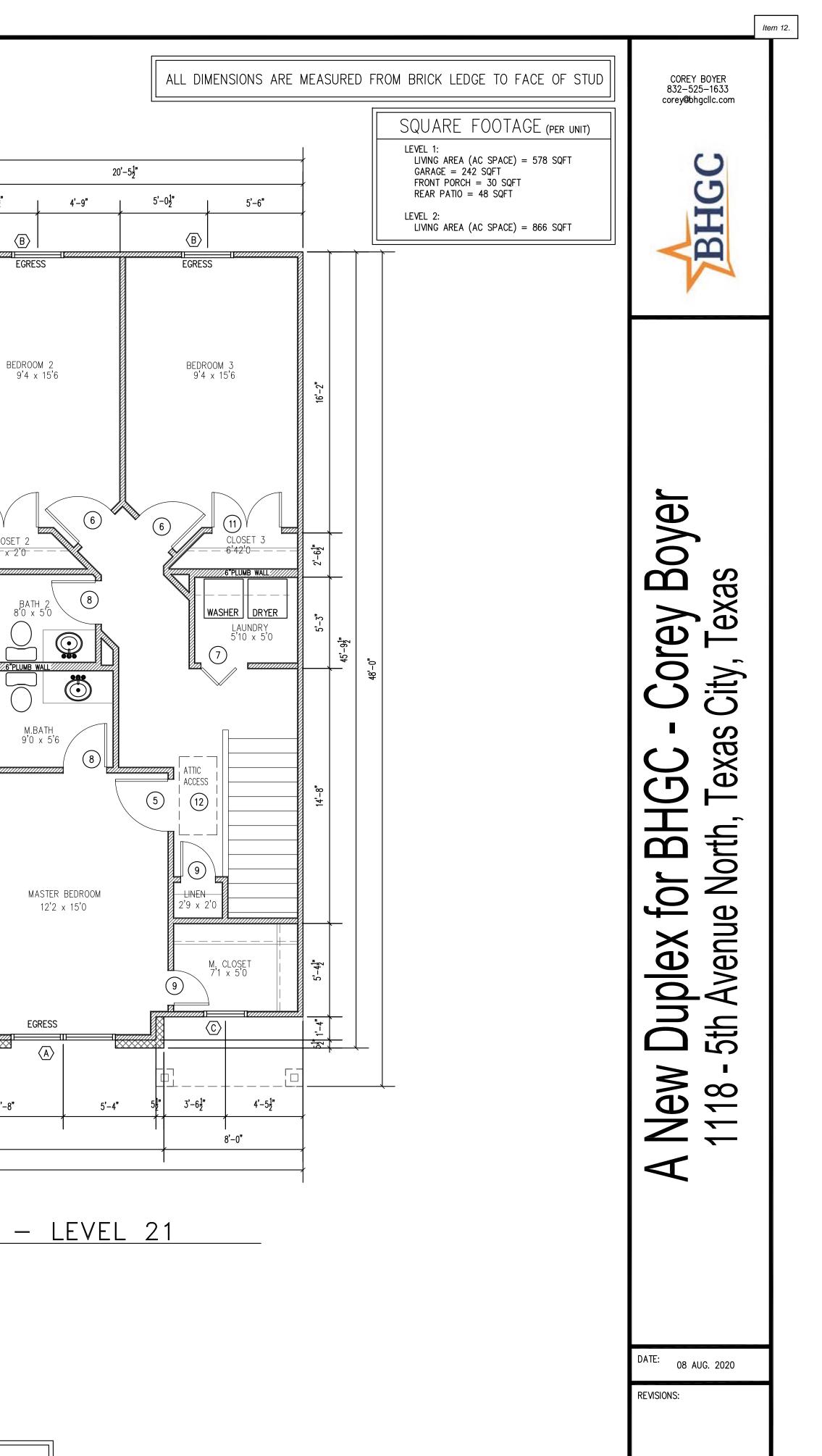
CONTRACTOR SHALL SET FINISH FLOOR OF HOUSE AT NO LESS THAN 12" ABOVE THE NEAREST SANITARY SEWER MANHOLE RIM. IF MANHOLE DOES NOT EXIST THE FINISH FLOOR SHALL NOT BE LESS THAN 4 INCHES ABOVE CROWN OF THE STREET.





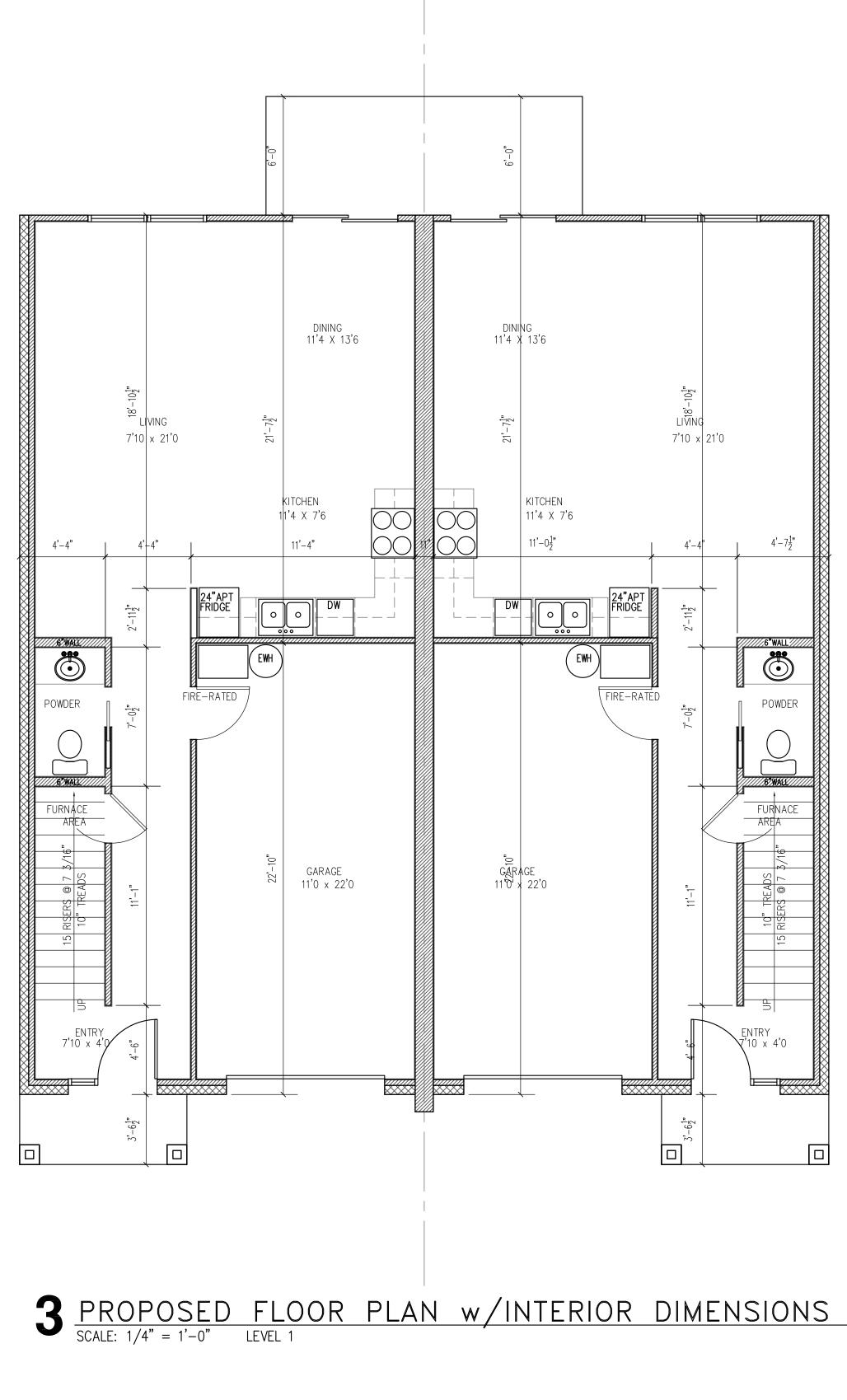
ALL DOOR STYLE, BRAND AND COLOR TO BE SELECTED BY OWNER; APPROVED BY ENGINEER			
MARK	DESCRIPTION		
1	3'-0"W x 7'-0"H EXTERIOR DOOR w/GLAZING AND 1'-6"W x 7'-0"H SIDE LIGHT WINDOW	1	
2	8'-0"W x 7'-0" GARAGE DOOR	1	
3	$5'-4"W \times 7'-0"H$ EXTERIOR GLASS SLIDING PATIO DOOR	1	
4	2'-8"W x 6'-8"H S.C. FIRE-RATED DOOR	1	
5	3'-0"W x 6'-8"H INTERIOR DOOR	1	
6	2'-8"W x 6'-8"H INTERIOR DOOR	2	
7	2'-8"W x 6'-8"H INTERIOR BI-FOLD DOOR	1	
8	$2'-6"W \times 6'-8"H$ INTERIOR DOOR	3	
9	2'-0"W x 6'-8"H INTERIOR DOOR	2	
10	2'-0"W x 6'-8"H INTERIOR POCKET DOOR	1	
(11)	(2) 2'-0"W x 6'-8"H INTERIOR DOOR	2	
(12)	ATTIC ACCESS WITH PULL-DOWN LADDER	1	

ALL WINDOW STILE, BRAND AND COLOR TO BE SELECTED BY OWNER; APPROVED BY ENGINEER			
MARK	DESCRIPTION	QTY	
$\langle A \rangle$	(2) $3'-0''W \times 5'-0''H$ SINGLE HUNG WINDOW SILL = $2'-0''AFF$	2	
B	$3'-0"W \times 5'-0"H$ SINGLE HUNG WINDOW SILL = $2'-0"AFF$	2	
$\langle 0 \rangle$	$2'-6"W \times 2'-0"H$ FIXED WINDOW SILL = $5'-0"AFF$	1	

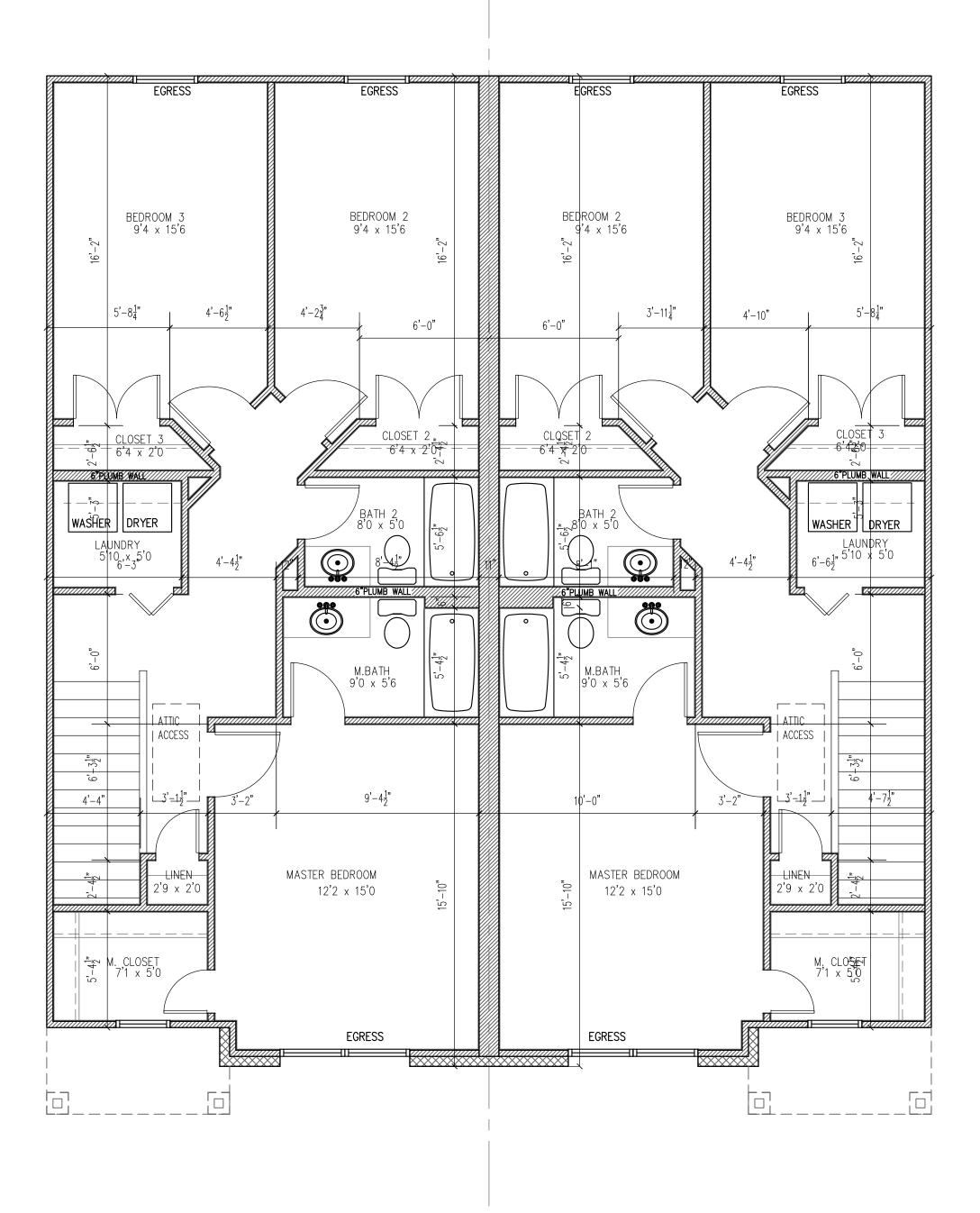


SHEET NO.

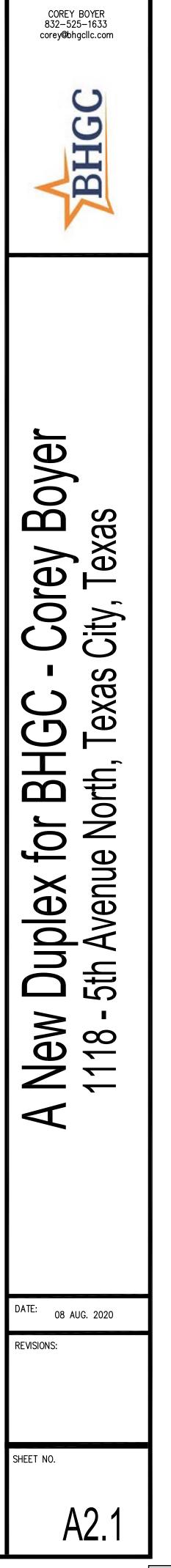
A2.0



# 4 PROPOSED FLOOR PLAN w/INTERIOR DIMENSIONS SCALE: 1/4" = 1'-0" LEVEL 2



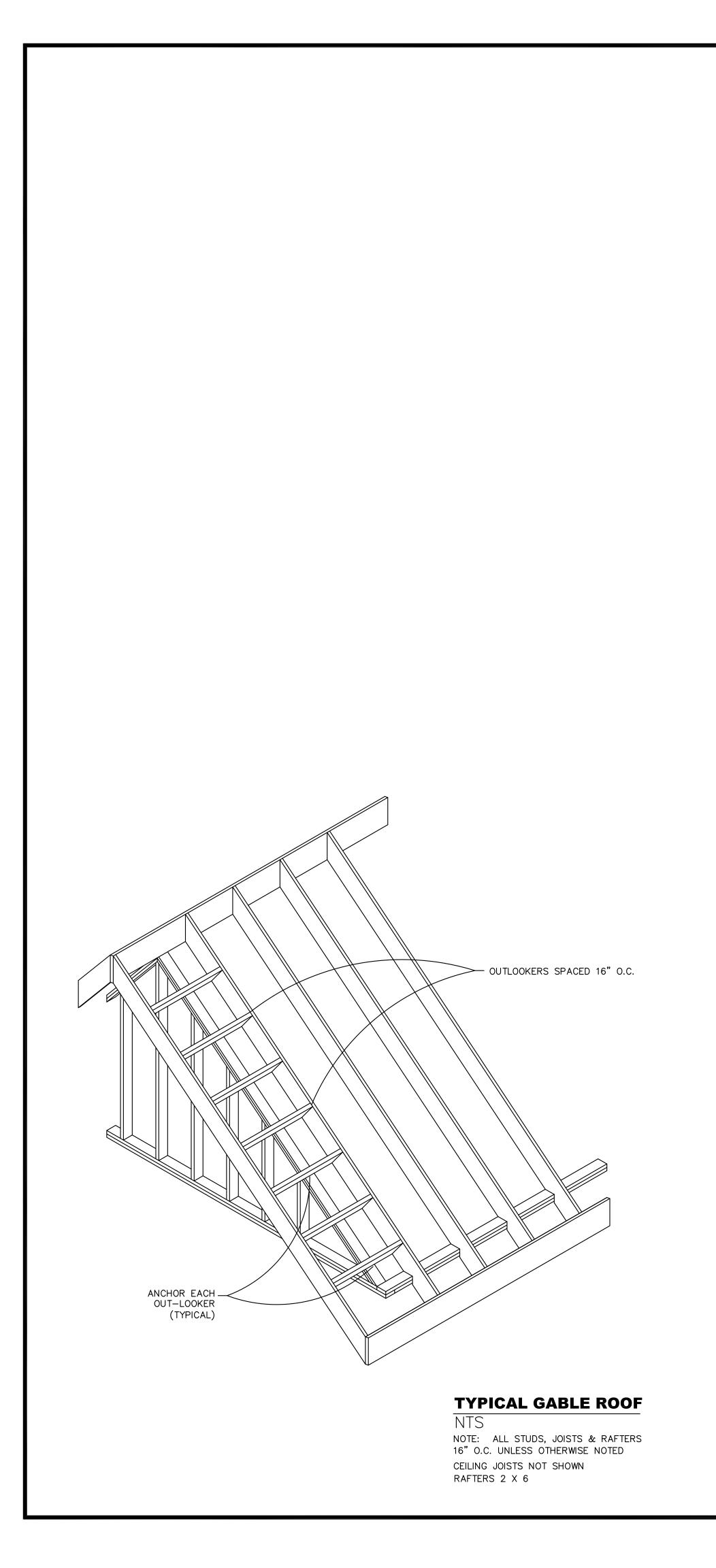
Item 12.

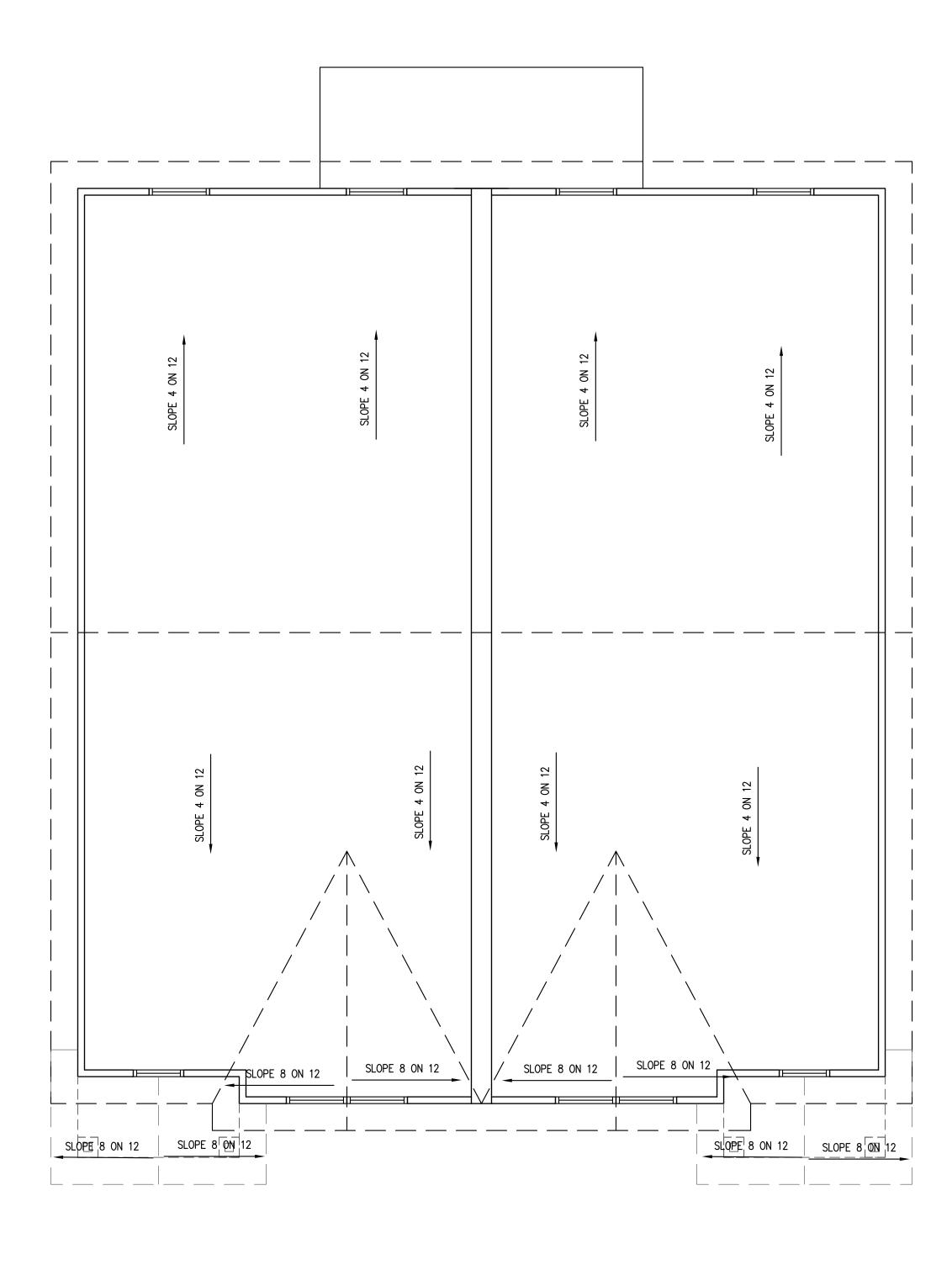


ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO FACE OF STUD

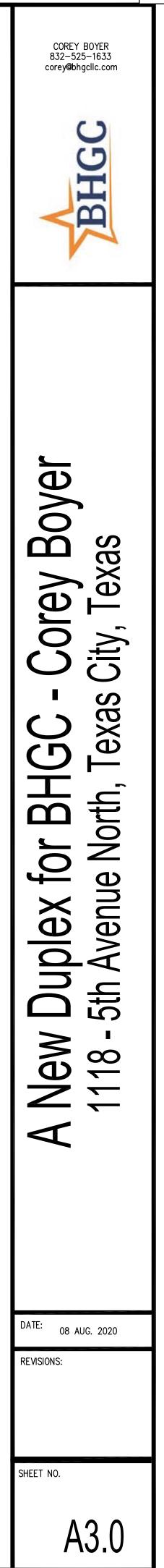
# SQUARE FOOTAGE (PER UNIT) LEVEL 1: LIVING AREA (AC SPACE) = 578 SQFT GARAGE = 242 SQFT FRONT PORCH = 30 SQFT REAR PATIO = 48 SQFT

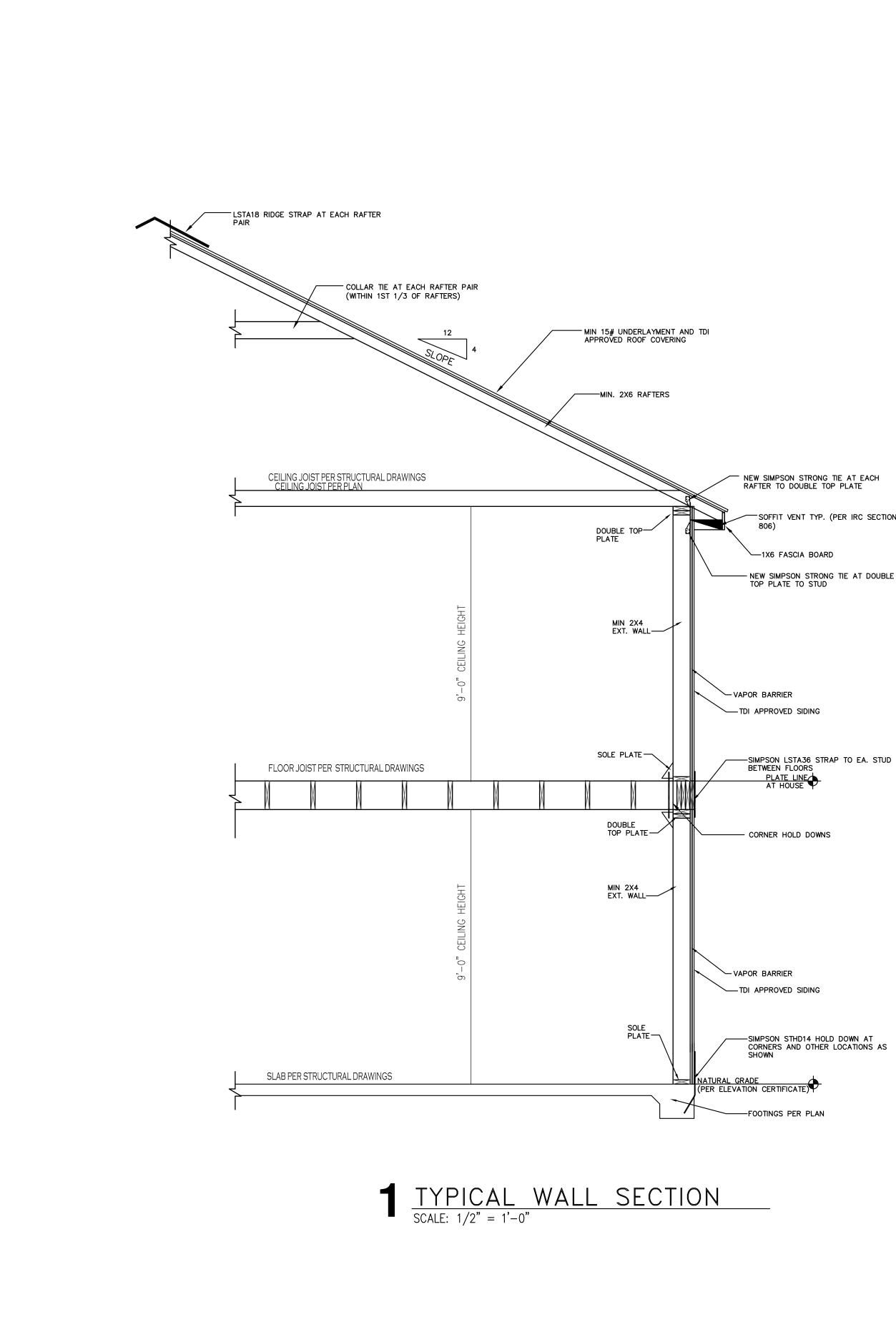
LEVEL 2: LIVING AREA (AC SPACE) = 866 SQFT

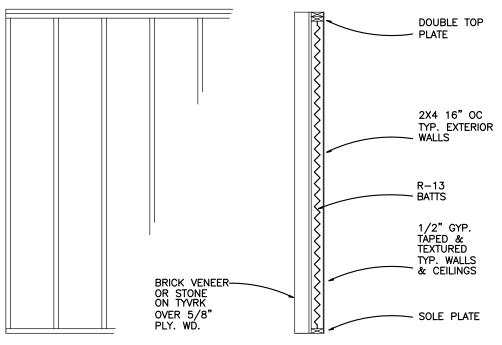




 $\frac{\mathsf{ROOF} \mathsf{PLAN}}{\mathsf{SCALE:} 1/4" = 1'-0"}$ 

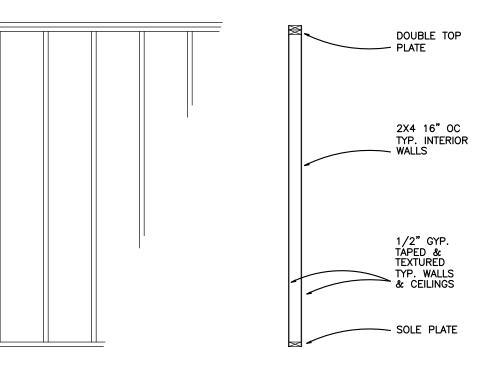






NOTE: 5 1/2" BRICK LEDGE IS PROVIDED FOR THIS BRICK OR STONE VENEER EXTERIOR WALL SECTION WITH BRICK OR STONE VENEER





TYPICAL INTERIOR WALL SECTION



NEW SIMPSON STRONG TIE AT EACH RAFTER TO DOUBLE TOP PLATE

806)

1X6 FASCIA BOARD

- NEW SIMPSON STRONG TIE AT DOUBLE TOP PLATE TO STUD

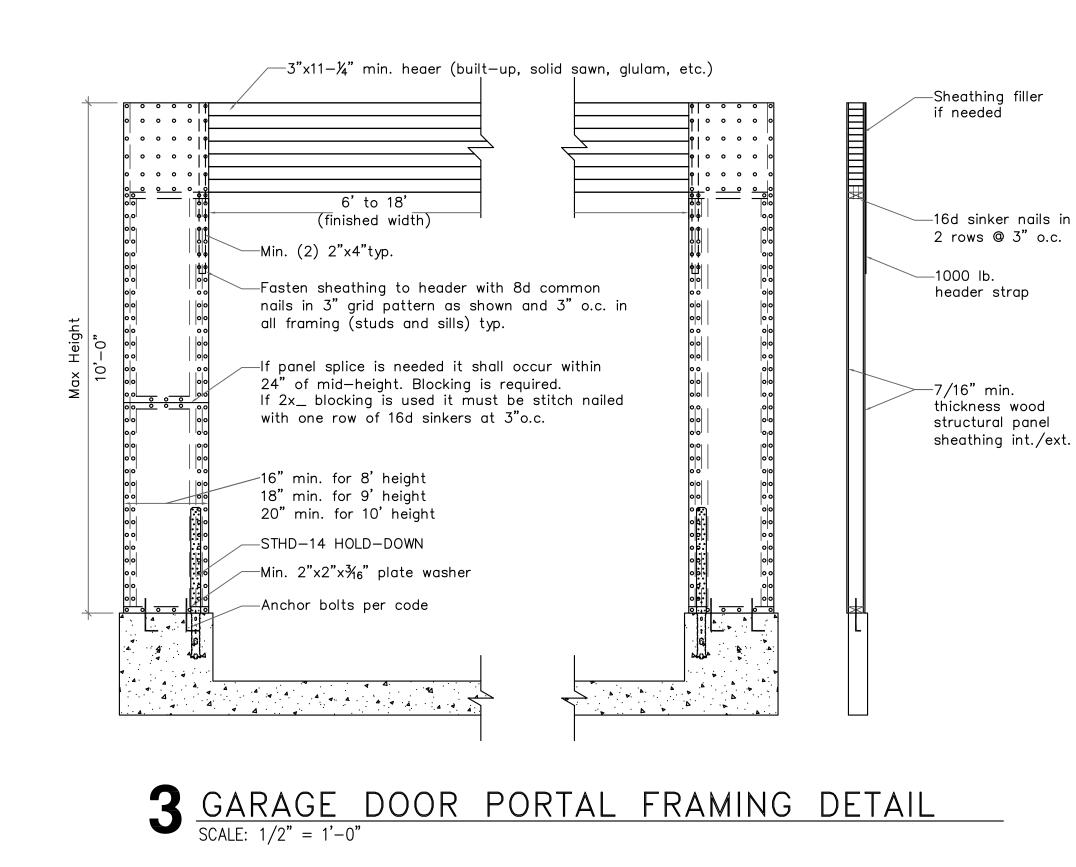
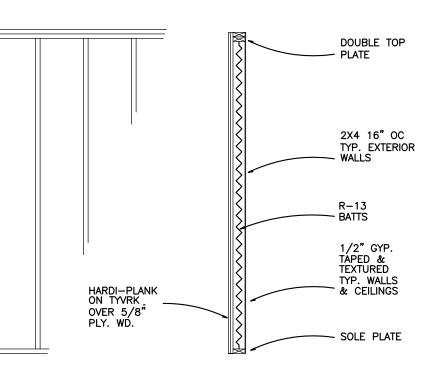


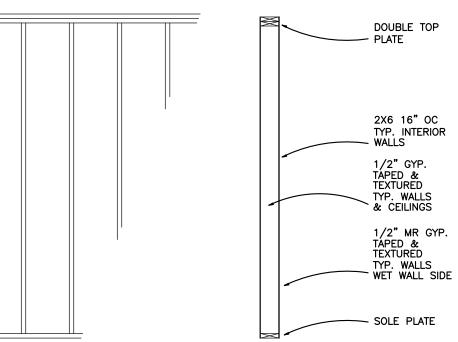
PLATE LINE AT HOUSE

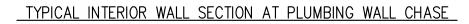
---SIMPSON STHD14 HOLD DOWN AT CORNERS AND OTHER LOCATIONS AS SHOWN

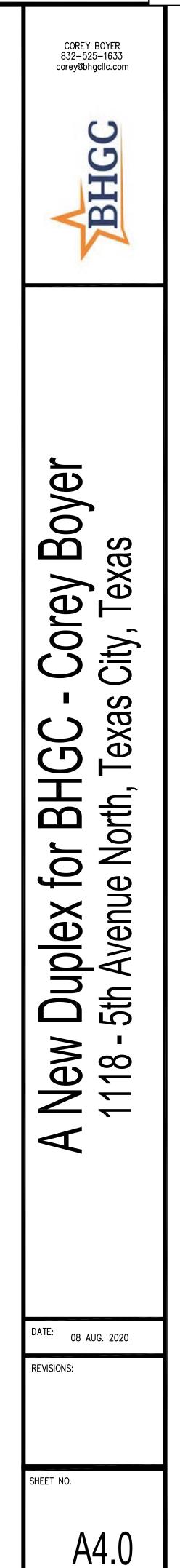
-FOOTINGS PER PLAN

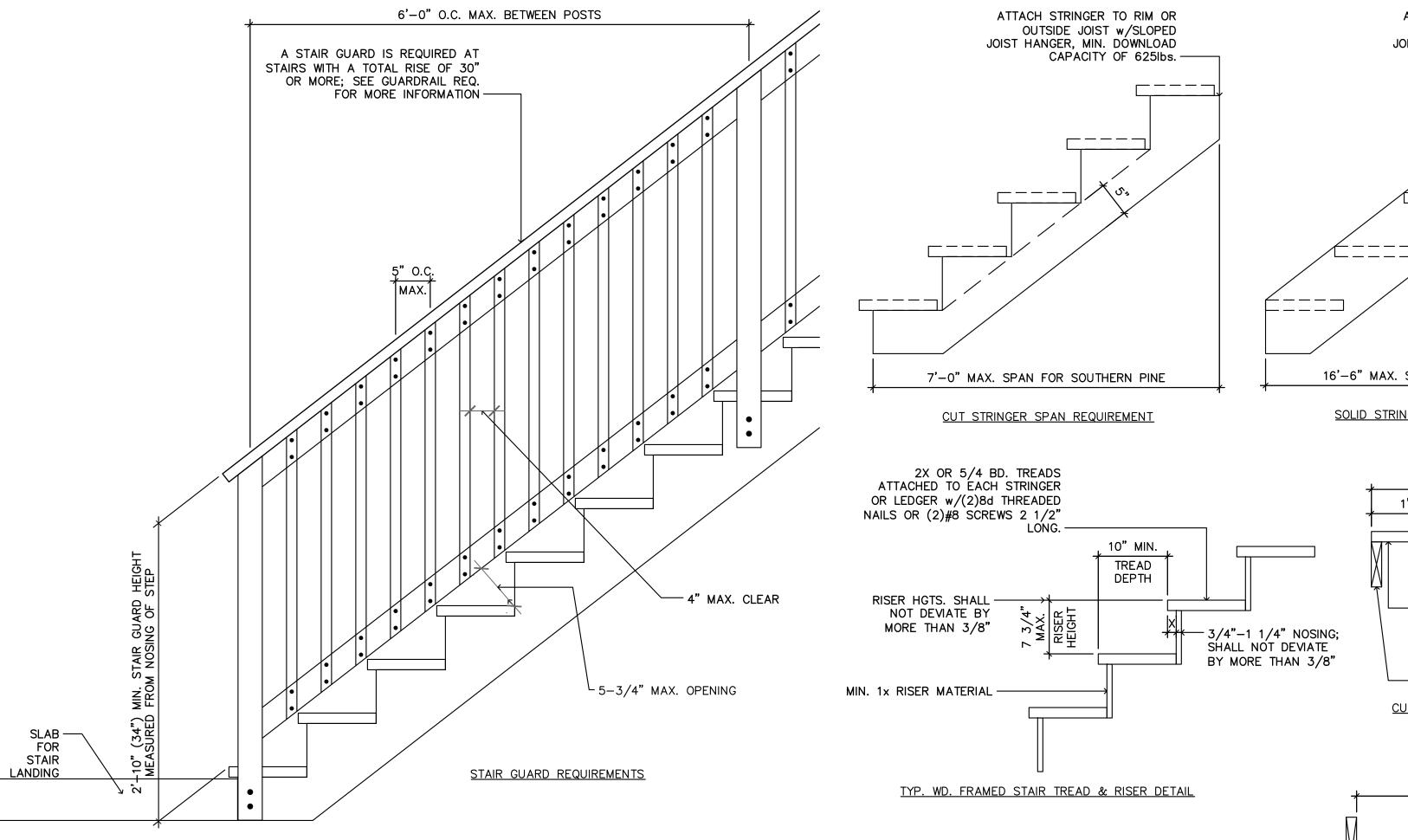












GENERAL STAIR NOTES:

1. PER R311.2.2 2018 IRC, PROVIDE UNDER STAIR PROTECTION TO ENCLOSED ACCESSIBLE SPACE WITH 1/2 INCH GYPSUM BOARD.

2. PER R312.2 EXCEPTION 1 2018 IRC, THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM OF RAIL OF GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152mm) CANNOT PASS THROUGH.

3. PER R312.2 2018 IRC, REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL ENCLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102mm) OR MORE IN DIAMETER.

4. PER 311.5.3 2018 IRC, STAIR MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM WIDTH FOR TREADS SHALL BE 10 INCHES.



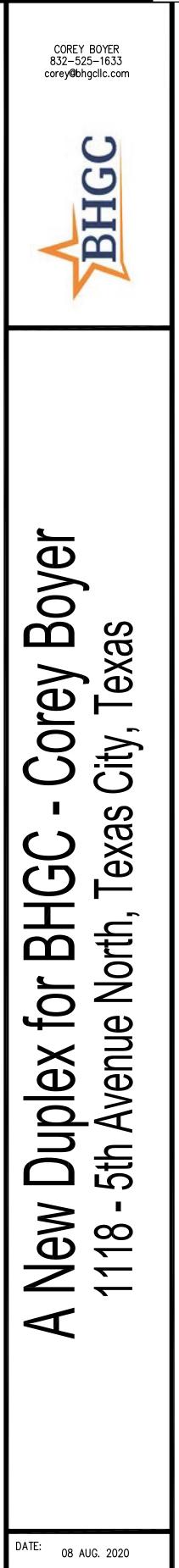
5. PER R311.5.6.1 2018 IRC, HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPE PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THA 34 INCHES (864mm) AND NOT MORE THAN 38 INCHES (965mm)

6. PER R311.5.6.2 2018 IRC, HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38mm) BETWEEN THE WALL AND THE HANDRAIL.

7. PER R311.5.6.3 2018 IRC, ALL REQUIRED HANDRAILS SHALL BE OF ON OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.

- A. TYPE I: HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32mm) AND NOT GREATER THAN 2 INCHES (51mm). IF THE HANDRAIL IS NOT CIRCULAR IS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102mm) AND NOT GREATER THAN 6 1/4 INCHES (160mm) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES (57mm).
- B. TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES (160mm) SHALL PROVIDE A GRASPABLE FINGER RISERS, RECESS AREAS ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITH A DISTANCE OF 3/4 INCH (19mm) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8mm) WITHIN 7/8 INCH (22mm) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH (10mm) TO A LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES (45mm) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4 INCHES (32mm) TO A MAXIMUM OF 2 3/4 INCHES (70mm). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25mm).

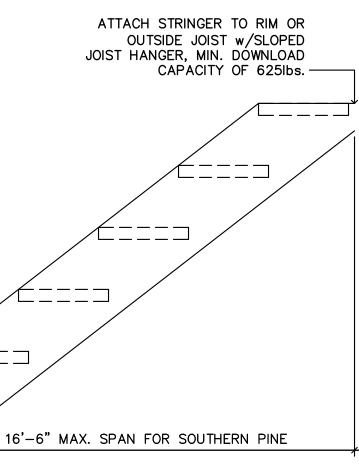
# $4 \frac{\text{TYPICAL STAIR DETAIL}}{\text{SCALE: 1" = 1'-0"}}$



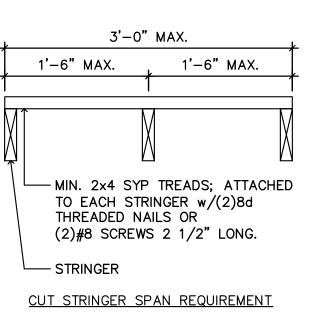
**REVISIONS:** 

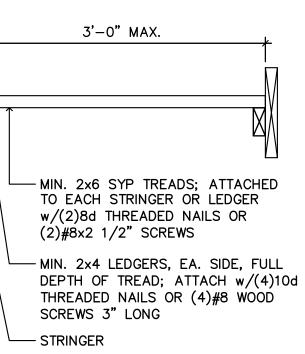
SHEET NO.

A4.1



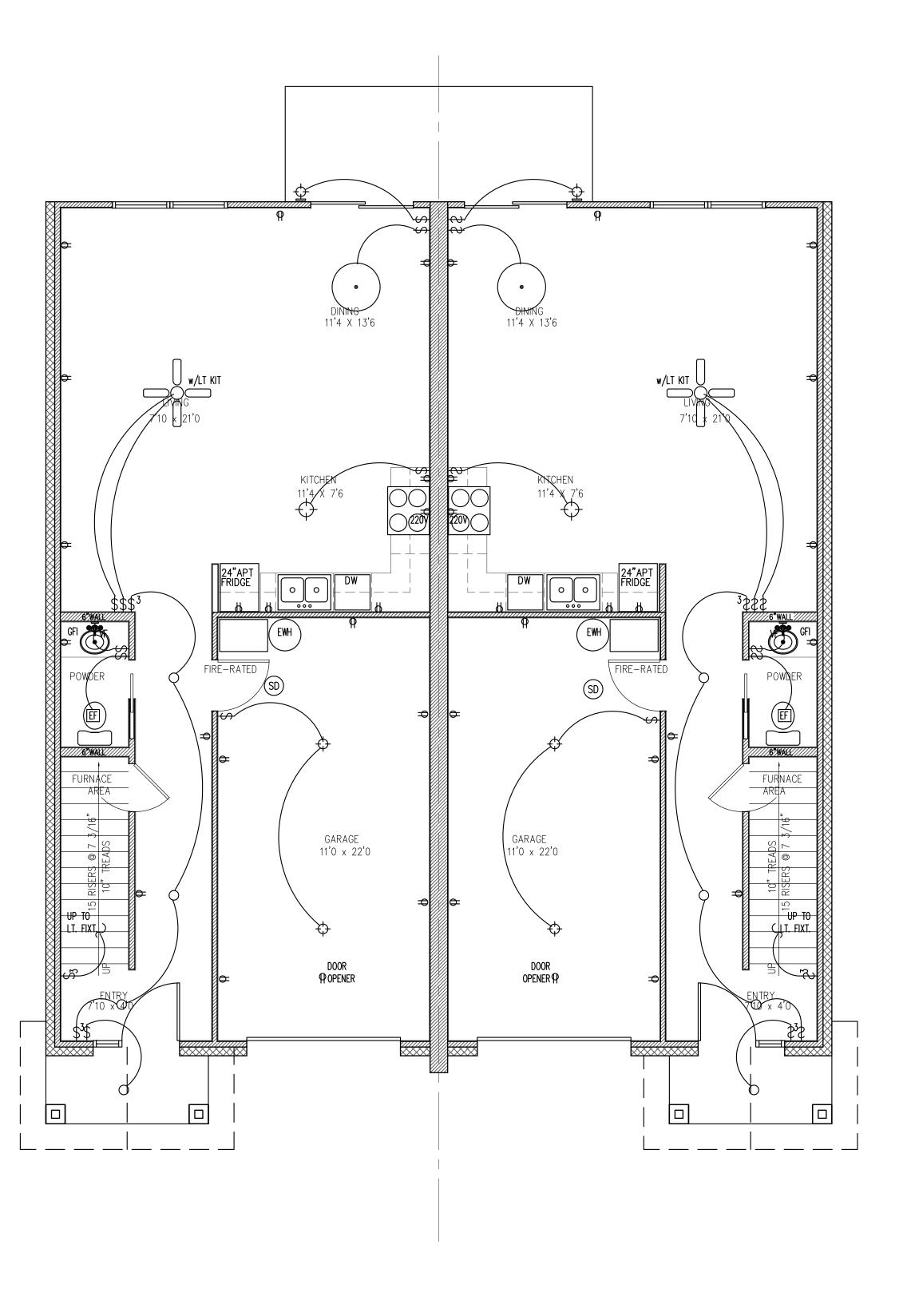
SOLID STRINGER SPAN REQUIREMENT





SOLID STRINGER SPAN REQUIREMENT

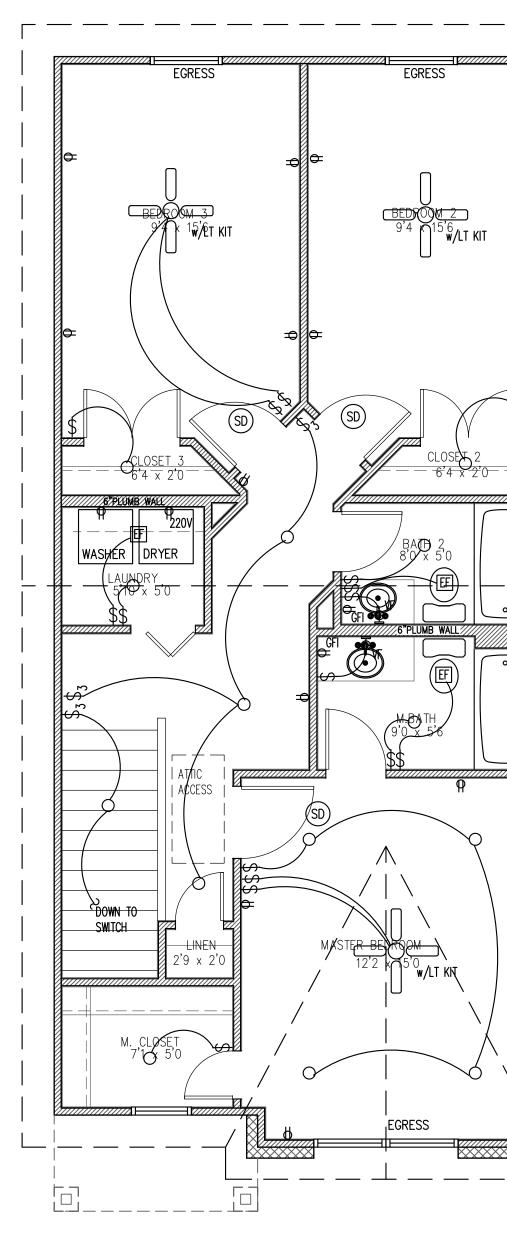
ELECTRICAL LEGEND			
w/Lite kit	CEILING FAN WITH LIGHT KTI		
	CEILING FAN		
UCL	UNDER CABINET LIGHTING		
	LARGE PENDANT LIGHT FIXTURE		
¢	SURFACE MOUNTED LIGHT FIXTURE		
EF	EXHAUST FAN		
	RECESSED CAN LIGHT FIXTURE WP=WATERPROOF OD=OUTDOOR		
₩	BATHROOM VANITY SCONCE LIGHT FIXTURE		
I¢-₀D	OUTDOOR SCONCE LIGHT FIXTURE		
\$	SWITCH		
Å.	3-WAY SWITCH		
С Ф	SWITCH WITH DIMMER		
¢	STANDARD DUPLEX RECEPTACLE		
220 <del>C</del>	RECEPTACLE 220V		
GFI <del>C</del>	RECEPTACLE WITH GROUND FAULT INTERCEPT		
œ WP GFI	OUTDOOR RECEPTACLE - WATERPROOF & WITH GROUND FAULT INTERCEPT		
SD	COMBO SMOKE/CARBON DIOXIDE DETECTOR		
DTD	CORNER OUTDOOR FLOOD LIGHT — DUSK TO DAWN SWITCHING		



(SD) = SMOKE/CARDON DIOXIDE DETECTER

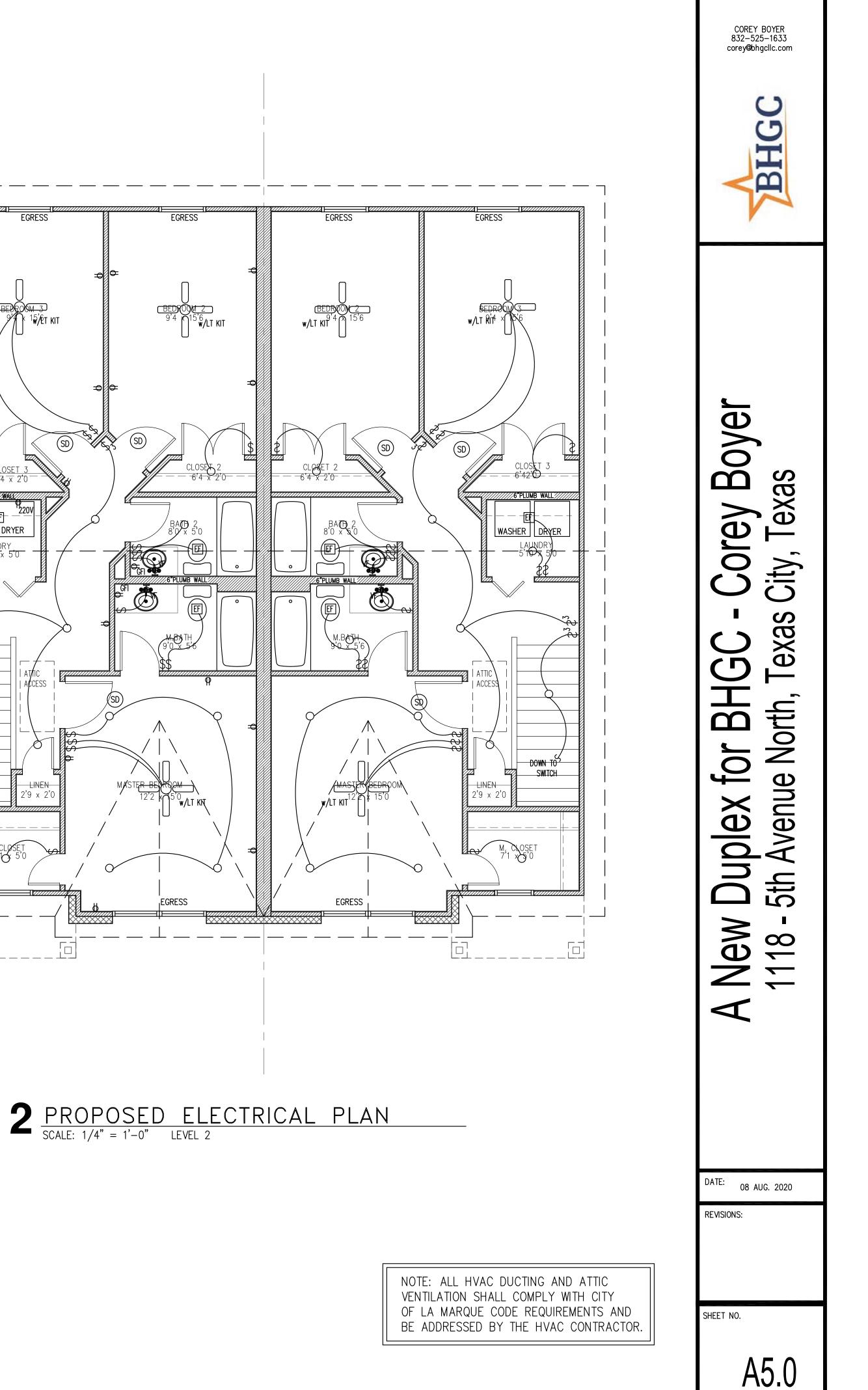
- PER R313.2 2018 IRC, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- A. IN EACH SLEEPING ROOM B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW
- THE UPPER LEVEL.

PER R313.3 2018 IRC, SMOKE DETECTORS SHALL BE HARD-WIRED AND INTER-CONNECTED WITH BATTERY BACKUP.

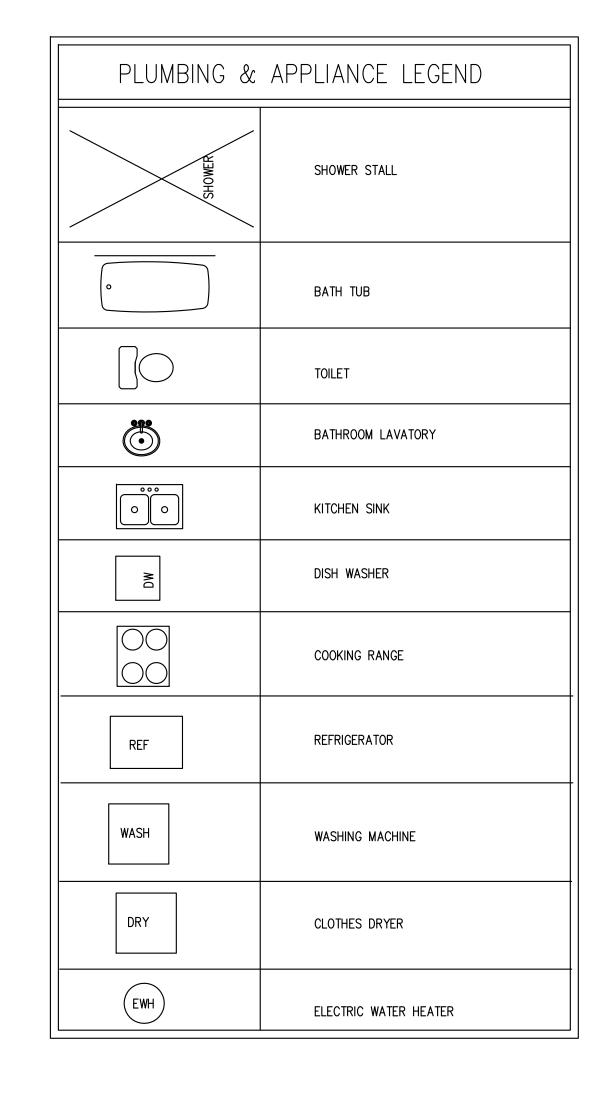


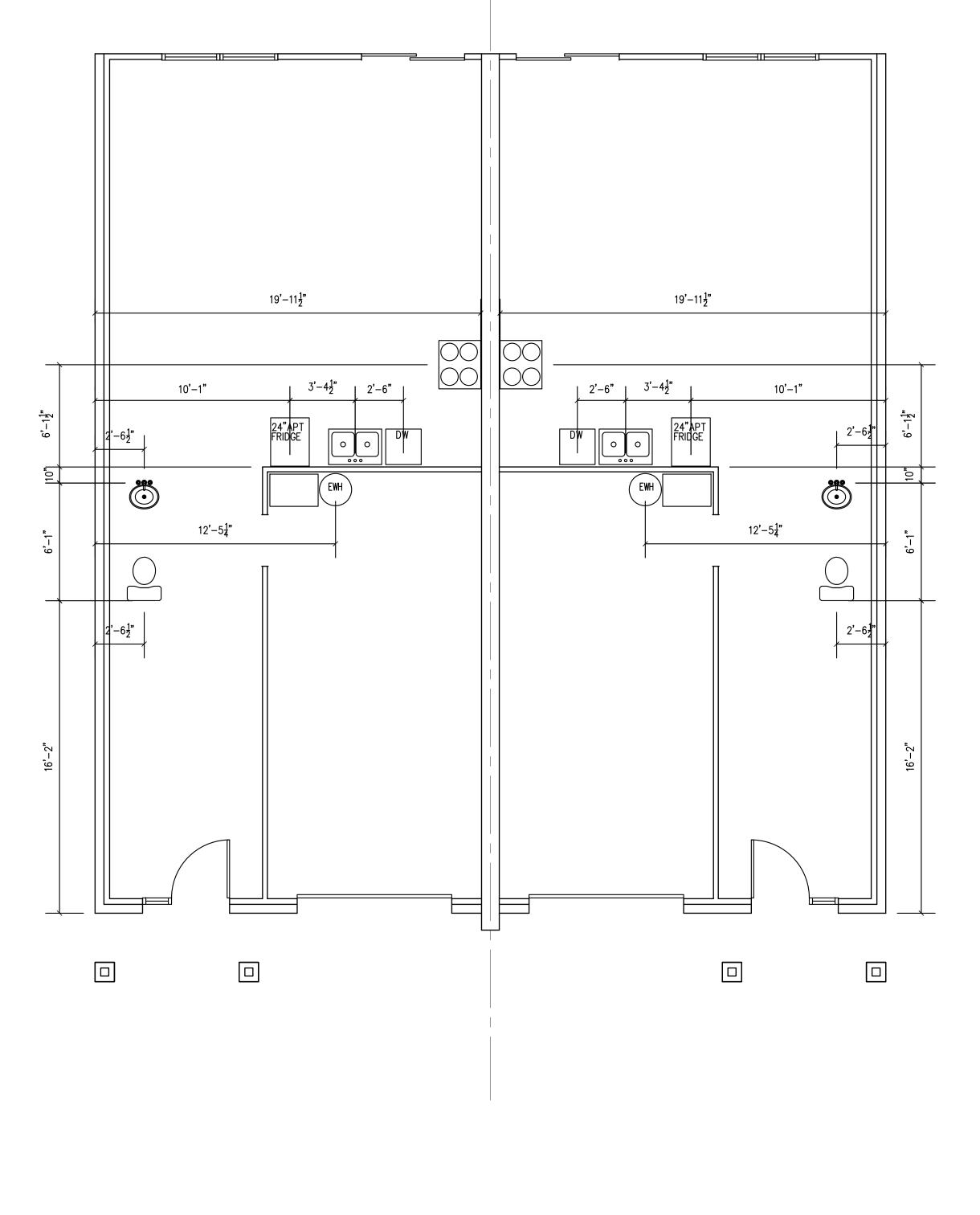
PROPOSED ELECTRICAL PLAN SCALE: 1/4" = 1'-0" LEVEL 1



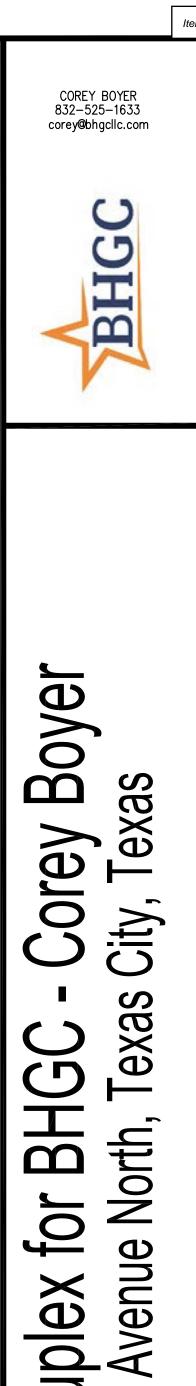


Item 12.





# PLUMBING – SLAB PENETRATIONS SCALE: 3/16" = 1'-0"



BHG( 5th Avenue North, Duplex for 1118 - $\triangleleft$ DATE: 08 AUG. 2020 **REVISIONS:** SHEET NO.

ALL DIMENSIONS ARE MEASURED FROM BRICK LEDGE TO PLUMBING FIXTURE

A6.0