

CITY OF ANGLETON PLANNING AND ZONING COMMISSION AGENDA 120 S. CHENANGO STREET, ANGLETON, TEXAS 77515 THURSDAY, MAY 01, 2025 AT 12:00 PM

Members Names

Chair | William Garwood

Commission Members | Deborah Spoor, Andrew Heston, Michelle Townsend,

Regina Bieri, Jeff Roberson, Will Clark

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PLANNING AND ZONING COMMISSION FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON THURSDAY, MAY 1, 2025, AT 12:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

<u>1.</u> Discussion and possible action on the minutes for the Planning and Zoning Commission meeting held on April 3, 2025.

PUBLIC HEARINGS AND ACTION ITEMS

- 2. Conduct a public hearing, discussion, and take possible action on a request for approval of an ordinance rezoning approximately 0.36 acres from the Single Family Residential 6.3 Zoning District to a Two-Family Residential (Duplex) Zoning District at 627 E. Locust St. and a Garage ADU located at 415 N. Rock Island, Angleton, TX, Brazoria County.
- 3. Conduct a public hearing, discussion, and take possible action on an ordinance approving a Specific Use Permit for a monthly Farmers/Community Market on approximately 6.20 acres in the Commercial General (C-G) Zoning District located at Tractor Supply Co., 2916 N. Velasco St., Angleton, TX, Brazoria County.

REGULAR AGENDA

- 4. Discussion and Director's Update on the Comprehensive Plan Update/CPAC Committee
- 5. Discussion and possible action on the Final Plat of Section IB of Austin Colony Subdivision, located west of the terminus of Tigner St.

ADJOURNMENT

CERTIFICATION

I, Otis Spriggs, Development Services Director, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Monday, April 28, 2025, by 12:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

<u>/S/ Otis Spriggs</u> Otis Spriggs Development Services Director

Public participation is solicited without regard to race, color, religion, sex, age, national origin, disability, or family status. In accordance with the Americans with Disabilities Act, persons with disabilities needing special accommodation to participate in this proceeding, or those requiring language assistance (free of charge) should contact the City of Angleton ADA Coordinator, Colleen Martin, no later than seventy-two (72) hours prior to the meeting, at (979) 849-4364 ext. 2132, email: cmartin@angleton.tx.us.



AGENDA ITEM SUMMARY FORM

MEETING DATE:	May 1, 2025
PREPARED BY:	Otis T. Spriggs, AICP, Development Services Director
AGENDA CONTENT:	Discussion and possible action on the minutes for the Planning and Zoning Commission meeting held on April 3, 2025.
AGENDA ITEM SECTION:	Declaration of a Quorum and Call to Order

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

Staff requests a discussion and possible action on the minutes of the Planning and Zoning Commission meeting on April 3, 2025.

RECOMMENDATION: Staff recommends that the Planning and Zoning approve the minutes with any noted corrections.



CITY OF ANGLETON PLANNING AND ZONING COMMISSION DRAFT MINUTES 120 S. CHENANGO STREET, ANGLETON, TEXAS 77515 THURSDAY, APRIL 03, 2025 AT 12:00 PM

Members Names

Chair | William Garwood

Commission Members | Deborah Spoor, Andrew Heston, Michelle Townsend,

Regina Bieri, Jeff Roberson, Will Clark

NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PLANNING AND ZONING COMMISSION FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON THURSDAY, APRIL 3, 2025, AT 12:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET, ANGLETON, TEXAS 77515.

DECLARATION OF A QUORUM AND CALL TO ORDER

Roll Call: Present were: Chair William Garwood, Commission Member Regina Bieri, Commission Member Jeff Roberson, and Commission Member Michelle Townsend; **Absent were:** Commission Member Will Clark, Commission Member Deborah Spoor, and Andrew Heston.

1. Discussion and possible action on the minutes for the Planning and Zoning Commission meeting held on March 6, 2025.

Commission Action:

The motion was made by Commission Member Regina Bieri, to approve the meeting minutes for March 6, 2025; Commission Member Michelle Townsend seconded the motion. The motion carried, and the minutes were approved (4-0).

PUBLIC HEARINGS AND ACTION ITEMS: None

REGULAR AGENDA

2. Discussion and possible action on the Final Plat of the Ashland Project Sapphire Springs Trail Street Dedication/Number 4.

DS Director Otis Spriggs presented this item, giving the following summary:

This is the final plat from Ashland Project. Sapphire Springs Trail St. Dedication. The vicinity map was shown of the sections that will be considered today. This particular plat was approved as a preliminary by City Council back in September of 2023 and was forwarded to the city engineer who has reviewed the plat. There were some minor

adjustments that needed to be corrected, and the applicant has since corrected those eight textual changes. The plat is ready to move forward to Council for final action. So our recommendation is for approval.

Commission Action:

The motion was made by Commission Member Rick Clark to approve the final plat, subject to any and all the engineering comments and concerns being addressed, and to forward it to the City Council for final action and consideration. Commission Member Deborah Spoor seconded the motion.

Roll Call Vote:

Commission Member Michelle Townsend - Aye; Commission Member Regina Bieri-Aye; Commission Member Jeff Roberson- Aye; and Chair William Garwood- Aye. (4-0) vote, the Final Plat was approved.

3. Discussion and possible action on the Final Plat of Ashland Section 3, located east of sections one and two off Aladeen Dr.

DS Director Otis Spriggs presented this item, giving the following summary:

This is a final plat of Section 3. The noted location is shon on the vicinity map we have 19.43 acres with the 75 lots that are situated in this particular section with the utility reserves at eight, for use for drainage and landscaping. This was forwarded to the city engineer for review and consideration of the textual changes, and the applicant has responded with the complete changes that will move on to Council. With your approval, we are recommending the final plat, Section 3 of Ashland Development.

Commission Action:

Commission Member Michelle Townsend made the motion to approve the Final Plat, subject to any outstanding engineering staff recommendations being cleared and satisfied by the applicants and forward it to the City Council for final consideration and approval; the motion was seconded by Commission Member Jeff Roberson.

Roll Call Vote:

Commission Member Michelle Townsend - Aye; Commission Member Regina Bieri-Aye; Commission Member Jeff Roberson- Aye; and Chair William Garwood- Aye. (4-0) vote, the Final Plat was approved.

4. Discussion and possible action on the Final Plat of Ashland Development , Section 4, located south of Section 3.

DS Director Otis Spriggs presented this item, giving the following summary:

This is Section 4 of Ashland, located just South of Section 3. In which this particular section has 19.38 acres with 88 lots and 6 Utility reserves, with landscaping and drainage, with six blocks. This section is also located off of Almaden Drive, just east of Sections 1 and 2. This section was approved as a preliminary back in July of 2024. The city engineer has reviewed this particular section. There are 11 textual changes that needed to be corrected by the applicants, who were responsive in getting all of those completely done and we are recommending approval to City Council for final action.

Commission Action:

Commission Member Michelle Townsend made the motion to approve the Final Plat, subject to any outstanding engineering staff recommendations being cleared and satisfied by the applicants and forward it to the City Council for final consideration and approval; the motion was seconded by Commission Member Regina Bieri.

Roll Call Vote:

Commission Member Michelle Townsend - Aye; Commission Member Regina Bieri-Aye; Commission Member Jeff Roberson- Aye; and Chair William Garwood- Aye. (4-0) vote, the Final Plat was approved.

5. Discussion and possible action on the Final Plat of Ashland Development Section 5, located directly east of Section 4.

DS Director Otis Spriggs presented this item, giving the following summary:

You have Section 5 Final plat, located directly east of section 4, which we just considered this plat has 102 lots on 22.75 acres, with the four reserves and five blocks being proposed. This plat was approved by City Council as a preliminary back in July of 2024.

Commission Action:

Commission Member Regina Bieri made the motion to approve the Final Plat, subject to any outstanding engineering staff recommendations being cleared and satisfied by the applicants and forward it to the City Council for final consideration and approval; the motion was seconded by Commission Member Michelle Townsend.

Roll Call Vote:

Commission Member Michelle Townsend - Aye; Commission Member Regina Bieri- Aye; Commission Member Jeff Roberson- Aye; and Chair William Garwood- Aye. (4-0) vote, the Final Plat was approved.

6. Discussion and possible action on the Final Plat of Ashland Section 6, located south of future Saphire Springs Trail.

DS Director Otis Spriggs presented this item, giving the following summary:

This is section 6. Located just South of that future set fire. Springs Trail that we consider. Comprised of 15.2 acres, 62 lots 3 reserves and four blocks. This application as a preliminary, was approved July of 2024 for the preliminary. The city engineer reviewed the final plat for section 6, came back with eight textual changes that needed to be made. The applicant responded accordingly and we do have those submitted corrections. The final plat is ready for consideration of City Council by your approval.

Commission Action:

Commission Member Michelle Townsend made the motion to approve the Final Plat, subject to any outstanding engineering staff recommendations being cleared and satisfied by the applicants and forward it to the City Council for final consideration and approval; the motion was seconded by Commission Member Jeff Roberson.

Roll Call Vote:

Commission Member Michelle Townsend - Aye; Commission Member Regina Bieri- Aye; Commission Member Jeff Roberson- Aye; and Chair William Garwood- Aye. (4-0) vote, the Final Plat was approved.

ADJOURNMENT: The meeting was adjourned at 12:17 PM.

The meeting minutes were approved by the Planning and Zoning Commission on this the 1^{st} day of May, 2025.

CITY OF ANGLETON, TEXAS

William Garwood Planning and Zoning Commission Chair



AGENDA ITEM SUMMARY REPORT

MEETING DATE:	May 1, 2025
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services
AGENDA CONTENT:	Conduct a public hearing, discussion, and take possible action on a request for approval of an ordinance rezoning approximately 0.36 acres from the Single Family Residential 6.3 Zoning District to a Two- Family Residential (Duplex) Zoning District at 627 E. Locust St. and a Garage ADU located at 415 N. Rock Island, Angleton, TX, Brazoria County.
AGENDA ITEM SECTION:	Public Hearing and Action Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

This is a request from Dennis Gafford to rezone 0.36 acres from Single Family Residential 6.3 to Two-Family Residential (Duplex) Zoning District. The applicant's primary purpose is to rezone the property for financial institution requirements only, and to follow up with a minor plat to consolidate the lots into one tract as demanded by said mortgage. Note that the owner has made vast improvements to the property and has no plans to remove or add additional density to the preexisting rental arrangement.

Property Location/Legal Description: Lots Six (6), Seven (7), and Eight (8), In Block One Hundred Twelve (112), of High School Addition to the City of Angleton, an addition in Brazoria County, Texas, according to the map or plat thereof recorded In Volume 2, Page 109, as corrected In Volume 2, Page 111, of the Plat Records of Brazoria County, Texas. Brazoria CAD shows that the original home was built in 1922.

Review Criteria and Findings of Fact:

In determining a requested zoning change, the Planning and Zoning Commission and the City Council shall consider the following factors:

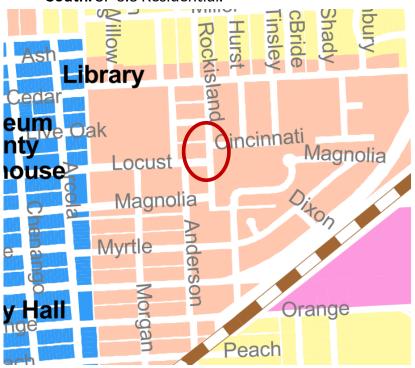
a. Whether the uses permitted by the proposed change will be appropriate in the immediate area concerned, and their relationship to the general area and to the city as a whole. (Staff concurs the property is more appropriate for the duplex zoning district being under the same ownership and used as an accessory dwelling unit arrangement has been in place for quite some time).

- b. Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area; (There will be no negative impact on said capacity of public improvements the accessory dwelling unit (ADU) is pre-existing).
- c. The amount of vacant land currently classified for similar development in the vicinity and elsewhere in the city, and any special circumstances which may make a substantial part of such vacant land unavailable for development. (*The structures are preexisting and would have no negative impact on public services and infrastructure*).
- d. The recent rate at which land is being developed in the same zoning classification as the request, particularly in the vicinity of the proposed change. The duplex district is one block removed where a number of rental properties seem to exist. How other areas designated for similar development will be, or are likely to be, affected if the proposed amendment is approved. (This rezoning will provide for infill commercial reinvestment, and pose no negative impact on the surrounding area if restrictions are placed and density is limited).
- e. Any other factors that will substantially affect the public health, safety, morals, or general welfare. (No factors will negatively affect the public health, safety, morals or general welfare if developed as proposed).

Surrounding Conditions:

Existing Land Use and Zoning

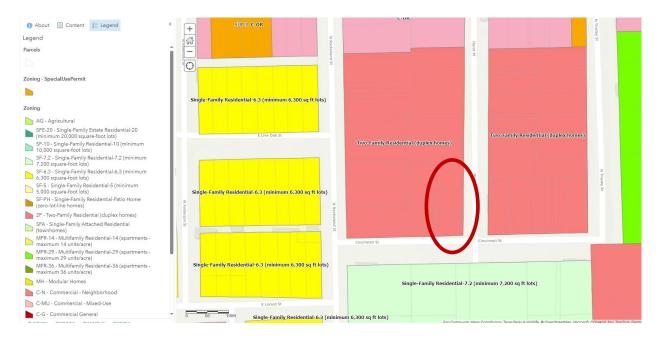
North: SF 6.3 Residential East: Two-Family Residential/SF 7.2 Residential. West: SF 6.3 Residential South: SF 6.3 Residential.



Future Land Use Map

The Future Land Use Plan from the City of Angleton Comprehensive Plan Update designates the subject property as an Office/Retail/Multifamily Residential Category.

Item 2.



Zoning Map



Aerial Map

STAFF REVIEW:

Staff cautions the Commission and Council that conditions should be placed that would restrict any creation of additional units or density in the future on the property. The proposed ordinance, as written, will limit the uses to the principal structure and the accessory dwelling in the rear only. The property will also be consolidated into "1" parcel at the request of the bank; therefore, the 2F-Zoning District will not allow for an increase in density of more duplexes on this one lot.

Current General Bulk Requirements for Two-Family Residential (Duplex) District are as follows: Size of lot:

Area regulations:

(1) Size of lots for two-family/duplex homes:

- Minimum lot area: 10,000 square feet per pair of dwelling units;5,000 square feet per dwelling unit.
- Minimum lot width: 80 feet.
- Minimum lot depth: 100 feet.

Size of yards for two-family/duplex homes:

- Minimum front yard: 35 feet; 35 feet to the garage door face for front-entry homes.
- Minimum side yard: Five feet required with 15 feet required on corner lots adjacent to a residential or collector street, and 20 feet required on corner lots adjacent to an arterial street; 25 feet for key corner lot on any street.
- Minimum rear yard: 25 feet for the main building and any accessory building(s); 25 feet for rear entry garage. (See section 28-103 for exceptions.)

STAFF RECOMMENDATION:

The Planning and Zoning Commission should adopt this as its final report and recommend approval of the ordinance rezoning 0.36 acres from the Single Family Residential 6.3 Zoning District to a Two-Family Residential (Duplex) Zoning District and forward this item to the City Council for final action with the following conditions:

- 1. The uses permitted on the property shall be restricted to one (1) single-family principal structure and one (1) accessory dwelling unit in the rear garage only.
- 2. The owner shall file a minor subdivision plat, consolidating the tracts into one (1) lot or parcel.

SUGGESTED MOTION:

I move we find that for the Review Criteria, findings of fact are established, and we approve the ordinance rezoning 0.36 acres from Single Family Residential 6.3 Zoning District to the Two-Family Residential (Duplex) Zoning District and forward this item to the City Council for the final action with the following conditions:

1. The uses permitted on the property shall be restricted to one (1) single-family principal structure and one (1) accessory dwelling unit in the rear garage only.

2. The owner shall file a minor subdivision plat, consolidating the tracts into one (1) lot or parcel.



YOU HAVE RECEIVED THIS NOTICE BECAUSE YOU ARE A PROPERTY OWNER WITHIN 200 FEET OF ONE OR MORE OF THE NOTICED PUBLIC HEARING.

City of Angleton Notice of Hearing

Notice is hereby given that the Planning & Zoning Commission of the City of Angleton, Texas will conduct a public hearing at 12:00 PM on Thursday, May 1, 2025, and the City Council will consider the same request on Tuesday, May 13, 2025, at 6:00 PM. The meetings will be held at Angleton City Hall in the City Council Chambers at 120 S. Chenango Street, Angleton, Texas 77515. At the meetings, the following hearings will be held:

Conduct a public hearing, discussion, and take possible action on a request for approval of an ordinance rezoning approximately 0.36 acres from the Single Family Residential 6.3 Zoning District to a Two-Family Residential (Duplex) Zoning District at 627 E. Locust St. and a Garage Accessory Dwelling (ADU) located at 415 N. Rock Island, Angleton, TX, Brazoria County.

The meeting agenda and agenda packet will be posted online at <u>https://angleton-tx.municodemeetings.com/</u>. The public will have the opportunity to offer comments on each agenda item by registering prior to the meeting.

For more information regarding these requests please contact Otis T. Spriggs, AICP, Development Services Director by email at <u>ospriggs@angleton.tx.us</u> or by phone at (979) 849-4364 x-2108 or Grace Garcia, Development Coordinator by email at <u>ggarcia@angleton.tx.us</u> or by phone at (979) 849-4364 x-2120.

City of Angleton Notice of Hearing

Notice is hereby given that the Planning & Zoning Commission of the gleton, Texas will conduct a public ltem 2. t 12:00 PM on Thursday, May 1, 2020, and the City Council will consider the same request on Tuesday, May 13, 2025, at 6:00 PM. The meetings will be held at Angleton City Hall in the City Council Chambers at 120 S. Chenango Street, Angleton, Texas 77515. At the meetings, the following hearings will be held:

Conduct a public hearing, discussion, and take possible action on a request for approval of an ordinance rezoning approximately 0.36 acres from the Single Family Residential 6.3 Zoning District to a Two-Family Residential (Duplex) Zoning District at 627 E. Locust St. and a Garage Accessory Dwelling (ADU) located at 415 N. Rock Island, Angleton, TX, Brazoria County.

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For more information regarding these requests please contact Otis T. Spriggs, AICP, Development Services Director by email at ospriggs@angleton.tx.us o (979) 849-4364 x-2108 or Gra velopment Coordinator by email at <u>ggarcia@</u> <u>angleton.tx.us</u> or by phone at (979) 849-4364 x-2120.



<u>APPLICATION</u> <u>REZONING/ FUTURE LAND USE MAP (FLUM)</u> AMENDMENT

Sec. 28-24 of the Code of Ordinances, Zoning Code

Submittal Instructions:

- Please check all the boxes. If an item is not applicable, please note that it is not applicable (NA).
- Please submit the completed application with all supporting documentation. Applications may be submitted in person or electronically (pdf format) by e-mail. Incomplete and partial applications will not be accepted.
- For electronic submittals, please include the address of the property and the type of application in the subject line of the e-mail.

Subject Line: Address of the project/Commercial or Residential/Type of application. Example: 1000 Main Street/Commercial/Fence Permit

• The City staff is available to assist you in person at City Hall or over the phone at 979-849-4364.

Requirement:

□Pre-Application Conference (DAWG Meeting). This is required prior to application submittal.

The application packet must be submitted with the following:

 \Box A completed application signed by the owner/s of the property.

- □Payment of all applicable fees. Refer to Appendix B of the Administrative Development Procedures Manual.
- \Box 8¹/₂ x 11 copy of the legal description (metes and bounds) of the area encompassing the request. If the property is platted, a copy of the plat shall be provided.
- □Location/vicinity map showing the location and boundaries of the proposed zoning. Indicate scale or not to scale (NTS) and provide north arrow.

□Tax certificate showing that all taxes and obligations have been paid regarding the subject property.

□Notarized statement verifying land ownership.

□Electronic copies of the required exhibits in "PDF" format and shapefile for property boundary where applicable should be submitted in a USB flash drive or via email. (Email us: planning@angleton.tx.us)

Item 2.



Item 2.

DEVELOPMENT INFORMATION

Project Nan	ne/Address/Location: _{Gafford Rezo}	ne / 627 E. Locust & 415 N Rock Island / Angleton	_Acreage: <u>0.36</u>
Brief Descr	iption of Project: <u>Bezone to Two-F</u> a	mily Residential (Dupley) for lending purposes. No a	dditional structures on property
Is property	platted? No Yes Subdivision	n name: Angleton S1310 (according to CAD)	No. of Lots: _{5 (6,7,8,7a,8a)}
Recordation	n #:	Parcel(s) Tax ID#: <u>82209 / 182210</u>	
Existing Us	e: Besidential House with Garage Ar	Proposed Use: Residential House with Ga Proposed Zoning:	rage Apt
Occupancy	Type: Sq. Ft: 2130 Besidential	ed #:4 Bath #: Car Gar one: □Yes ☑No Sewer System: □	age #:
Water Syste	$em \square Well \square Public Flood Z$	one: 🗌 Yes 🗹 No 🛛 Šewer System: 🗌	Septic Public
PROPERT	Y OWNER INFORMATION		
Owner:	ennis Gafford	Contact Name: Dennis Gafford	
Address:		City/State/ZIP:	
Phone:	,	Email:	
APPLICA	NT INFORMATION		
Applicant/I	Developer: <u>Dennis Gafford</u>	Contact Name: <u>Dennis Gafford</u>	
Address:	· · · · · · · · · · · · · · · · · · ·	••••••	
Phone:		Email:	
	TACT INFORMATION		
	e Individual:	Contact Name: Gaffor	rd
Address: _		City/State/ZIP:	}
Phone:		Email:	
<u>SIGNATU</u>	<u>REOF PROPERTY OWNER</u>	OR APPLICANT (SIGN AND PRINT O	<u>R TYPE NAME)</u>
/			
Signature:			Date: <u>4/9/2025</u>
(Signed lett	ter of authorization required if the	e application is signed by someone other th	an the property owner)
$\left(\right)$	****	****OFFICE USE ONLY*******	
	DATE REC'D:	BY:	
	FEES PAID:		
	APPROVED BY:	DATE APPROVED:	
	APPLICATION/PERMIT NO:	EXP DATE:	
)

Applications shall be processed based on the City's official submission dates. When a completed application packet has been accepted and reviewed, additional information may be required by staff as a result of the review, therefore it may be necessary to postpone the proposed project and remove it from the scheduled agenda and place it on a future agenda.

Application Fee Base fee: \$1000.00 + \$25.00/each zone - 0 to 5 acres. For Planned Unit Developments or Special Districts see additional deposit fees required on the Master Fee schedule.

TYPE OF APPLICATION Please check appropriate box	below:
Landuse, Policy, and Site Development	Other Permits/Licenses/Registration
Annexation	Commercial -New/Remodel/Addition
Rezoning/ FLUM Amendment	Residential Building Permit 1 & 2 Family
Specific Use Permit	(New, Remodel, Addition, Patio Cover, Carport, Foundation
Planned Development (PD)	Repair, House Leveling, Windows, New Mobile Home, Siding, Storage Building permits, Re-roof)
Amending Minor and Major Plat	Miscellaneous
☐ Minor Consolidation Plat	Fence
Development Plat	
Concept Plan	
Preliminary Plat	Demolition or Move
☐Final Plat	Backflow/Irrigation
Replat	Flatwork
Construction Plans	Electrical Permit
Special Exception	Plumbing Permit
Floodplain Development Permit	Mechanical Permit
□Variance/Appeal	Sign Permit
On-Site Sewage Facility Permit (OSSF)	Garage Sale Permit
Certificate of Occupancy (CO)	☐Master/ Common Signage Plan
Grading/Clearing Permit	Fire Prevention Permit Form
Site Development Permit/ Site Plan Review	Right-of-Way Construction
Interpretations/Verifications/Text Amendments	Pipeline Permit
Comprehensive Plan Amendment (Text)	Drainage Pipe/Culvert Permit
Land Development Code (LDC)/Zoning Text	Roadside Banner Permit
Amendment	Mobile Home Park Registration
Vested Rights Verification Letter	Game Room Permit Form
Letter of Regulatory Compliance	Grooming Facility License
Zoning Verification	Alcohol permit
Letter/Written Interpretation	Health Permit
Legal Lot Verification	Temporary Health Permit
	Alarm Permit

121 S. Velasco, Angleton, Texas 77515 979-849-4364 – Fax: 979-849-5561 http://www.angleton.tx.us Γ

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REV A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description) 627 E Locust St, Angleton TX (Lots 6, and portions of Lot 7 and Lot 8, block 112 of High Scho 415 N Rock Island St, Angleton TX (a portion of Lots 7 & 8 of block 112 of High School Addition)

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: Dennis Gafford

ADDRESS:

APPLICANT PHONE #_____E-MAIL: _____

PRINTED NAME OF OWNER: Dennis Gafford

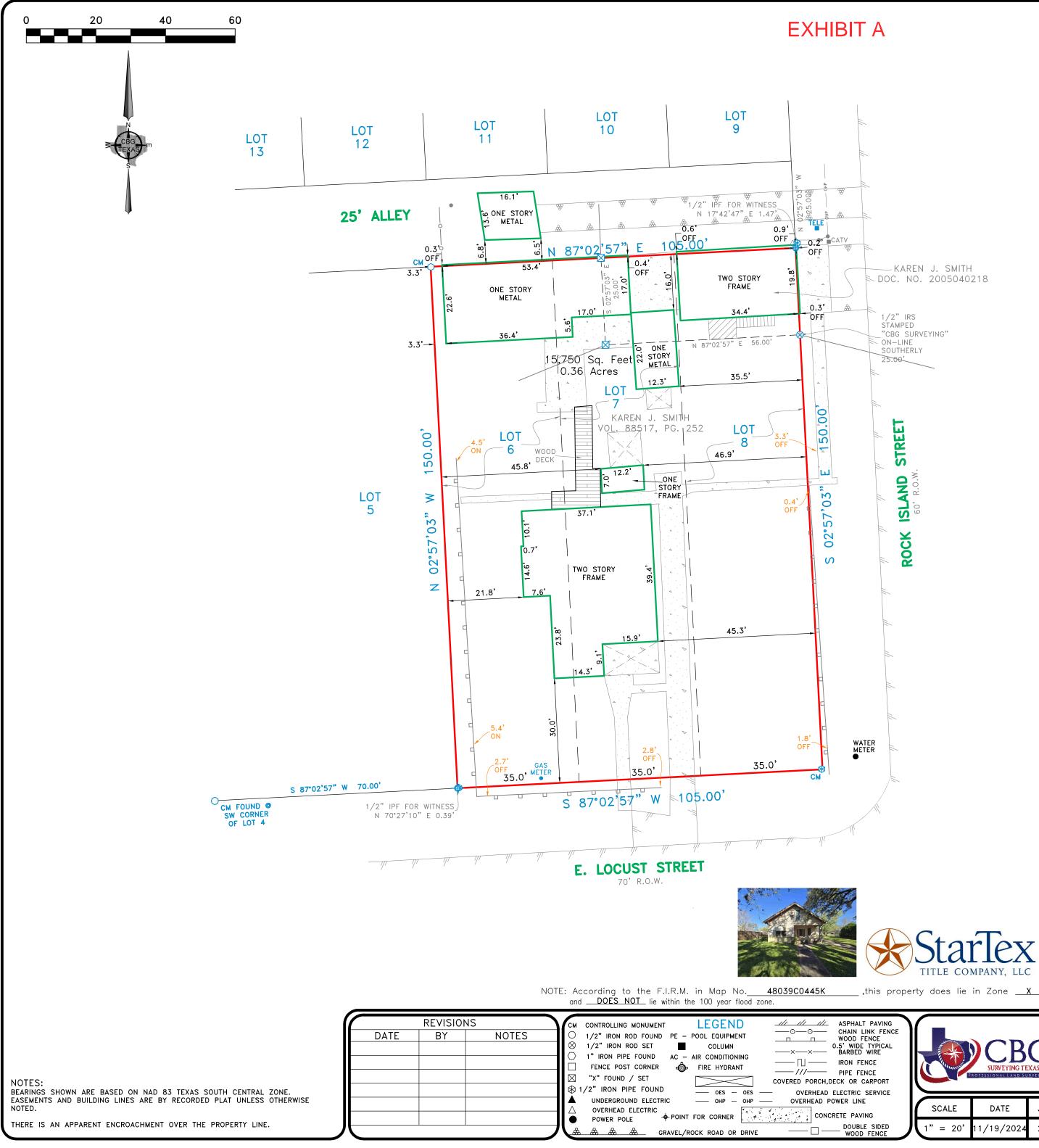
SIGNATURE OF OWNER: DATE:

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this ______ day of ______, 20____.

(SEAL)

Notary Public for the State of Texas Commission Expires:



627 E. Locust Street

Lots Six (6), Seven (7) and Eight (8), in Block One Hundred Twelve (112), of High School Addition to the City of Angleton, an addition in Brazoria County, Texas, according to the map or plat thereof recorded in Volume 2, Page 109, as corrected in Volume 2, Page 111, of the Plat Records of Brazoria County, Texas.



SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor hereby certifies to Legacy VIP Investments and Properties of Texas, LLC, and StarTex Title Company, in connection with the transaction described in G.F. No. ST-0321-4903212400668-CM that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 19th day of November, 2024

Wahr Imp

Registered Professional Land Surveyor

ACCEPTED BY: ____





								SIGNA	IURE			DATE			SIGNATURE		DATE	
SPHALT PAVING HAIN LINK FENCE YOOD FENCE ' WIDE TYPICAL ARBED WIRE			Su Ho	9 Century Pla ite 210 ouston, TX 770 214.349.9485)				С).3	36	AC	CR	ES			
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CTRIC SERVICE										BR/	170			гү -	TEXAS			
ER LINE	SCALE	DATE	JOB NO.	G.F. NO.	DRAWN						1201			,				
E PAVING										~ ~ ~			OUCT	ст	DEET			
DOUBLE SIDED WOOD FENCE	1" = 2	0'11/19/2024	2418831	SEE CERT.	MARIA	ノ				62	27 8	E. LO	0021	21	KEEI			

CIONATURE



AGENDA SUMMARY/STAFF REPORT

MEETING DATE:	May 1, 2025
PREPARED BY:	Otis T. Spriggs, AICP, Director of Development Services
AGENDA CONTENT:	Conduct a public hearing, discussion, and take possible action on an ordinance approving a Specific Use Permit for a monthly Farmers/Community Market on approximately 6.20 acres in the Commercial General (C-G) Zoning District located at Tractor Supply Co., 2916 N. Velasco St., Angleton, TX, Brazoria County.
AGENDA ITEM SECTION:	Public Hearing and Action Item

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY: Ms. April Stewart, agent for Tractor Supply Company, filed an application for a Specific Use Permit for a monthly Farmers/Community Market on approximately 6.20 acres in the Commercial General (C-G) Zoning District located at 2916 N. Velasco St., Angleton, TX, Brazoria County. Ms. Stewart created the farmer's community market to provide economic development incentives for small entrepreneurs in Angleton and surrounding areas.

The farmer's market operates once per month on the second Saturday of each month from 4:00 PM to 8:00 PM. This will allow coordination with vendors participating in other markets in Angleton and other communities.

The Zoning Ordinance permits farmers and Community markets as a Specific Use Permit in the C-G Commercial General District. The Zoning Map is below, showing the existing zoning of the project vicinity.



0 120 240 1

Location Map: Tractor Supply Community Market



Aerial Vicinity Map

STAFF ANALYSIS:

Section 28-63, 5 (e); SUP- Specific use permits, outlines the requirements and factors for consideration:

When considering applications for a specific use permit, the planning and zoning commission in making its recommendation and the city council in rendering its decision on the application shall, on the basis of the site plan and other information submitted, evaluate the impact of the specific use on, and the compatibility of the use with, surrounding properties and neighborhoods to ensure the appropriateness of the use at a particular location. The planning and zoning commission and the city council shall specifically consider the extent to which:

- *a*. The proposed use at the specified location is consistent with the goals, objectives and policies contained in the adopted comprehensive plan; *The use is permitted as a specific use permit.*
- **b.** The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations; **There are no issues of inconsistency.**
- c. The proposed use meets all supplemental standards specifically applicable to the use as set forth in this chapter; *All supplemental standards are met.*
- d. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhoods and as required by the particular circumstances, includes improvements or modifications either on-site or within the public rights-of-way to mitigate development-related adverse impacts, including but not limited to:
 - Adequate ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, and access in case of fire; *Access is adequate.*
 - Off-street parking and loading areas; **Parking is sufficient for the proposed use.** The applicant agrees to stay clear of any fire access lanes or areas.
 - Screening and buffering, features to minimize visual impacts, and/or setbacks from adjacent uses; No residential uses will abut the proposed market.
 - Control of signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district; *No issues apply. The area is suited for commercial activity and uses.*
 - Required yards and open space; No issues apply.
 - Height and bulk of structures; *No issues apply*.
 - Hours of operation; The market will operate 2nd Saturdays from 4-8PM. No issues apply.
 - Exterior construction material and building design; No issues apply.
 - Roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic may be needed to reduce or eliminate development-generated traffic on neighborhood streets. *Low volume use. No issues apply.*

e. The proposed use is not materially detrimental to the public health, safety, convenience and welfare, or results in material damage or prejudice to other property in the vicinity. *No issues apply.*

Staff has taken the above criteria into consideration when reviewing the proposed Farmers Community Market use within the Commercial-General property. The space adequately provides for the use and if approved, it will not be in conflict with the Zoning Resolution nor the Comprehensive Plan.

Public Notification

Staff sent public notices to the local newspaper, and to the property owners within 200 feet of the subject property under consideration for the SUP application.

Opposition to or Support of Proposed Request

To-date, Staff has not received any notices in opposition of the proposed SUP request.

SURROUNDING CONDITIONS:

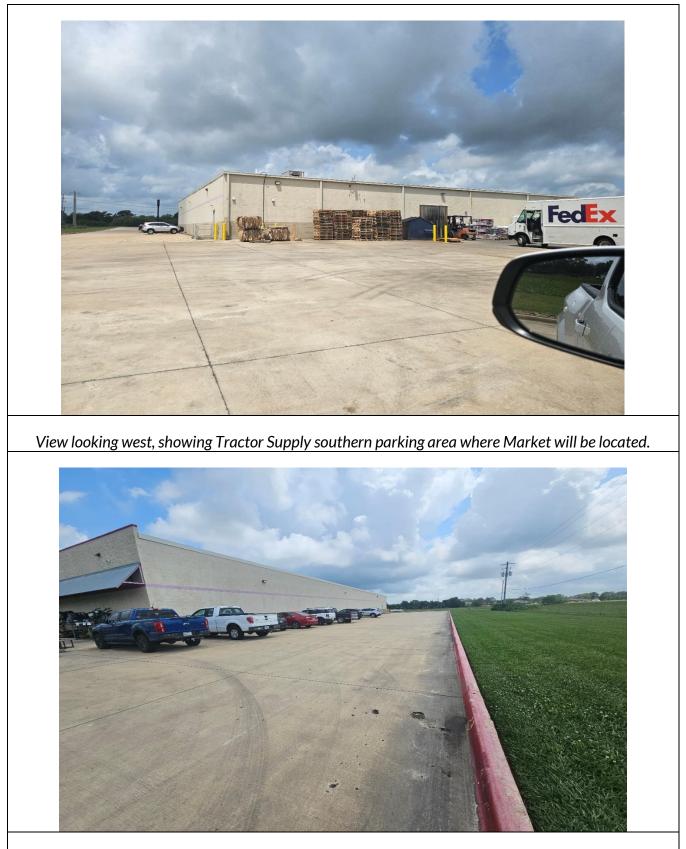
Location	Current Use	Zoning Classification/Use
North	Vacant, Future Commercial	C-G Commercial General
South	Vacant, Commercial	C-G Commercial General
West	Vacant, Future Commercial	C-G Commercial General
East	Vacant, Residential	Res. 7.2/Agricultural-Worship and Assembly Uses

Site Photographs



Item 3.





The view looking east at Tractor Supply Co. of southern parking area where the Market location

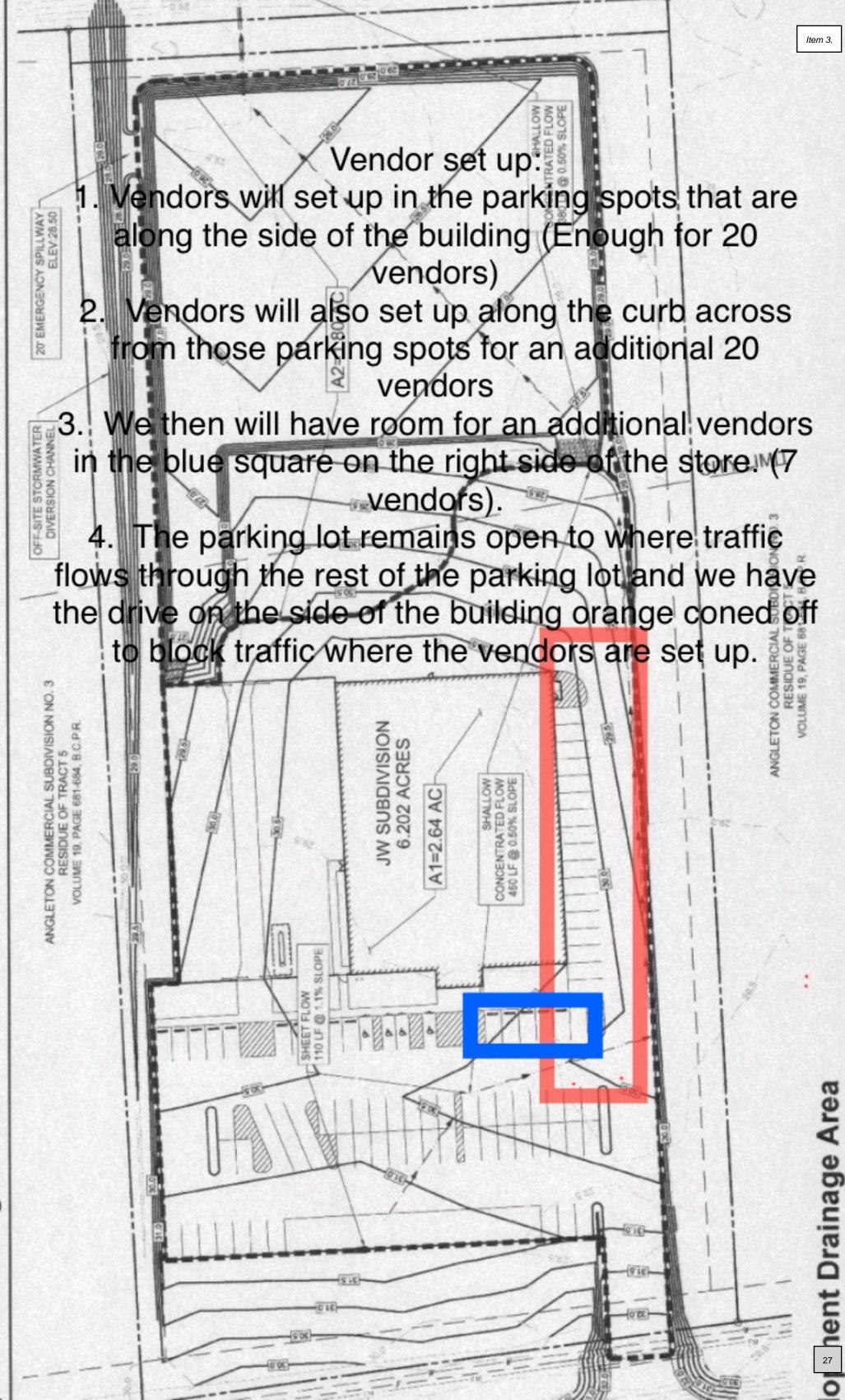
Recommended Action:

The Planning and Zoning Commission should adopt this Final Report and forward it to City Council with a positive recommendation of this Specific Use Permit (S.U.P.) application for a monthly Farmers/Community Market on approximately 6.20 acres in the Commercial General (C-G) Zoning District located at 2916 N. Velasco St., Angleton, TX, for approval consideration and appropriate action with the following conditions:

- 1. That the market shall be held no more than once per month between the hours of 4:00 PM until 8:00 PM.
- 2. All fire access areas and lanes shall always remain free and clear.
- 3. The granting of the SUP shall be limited to the applicant for a period of two years. However, if the City Council renews the SUP, the term of this SUP shall automatically be converted to become permanent.

Sample Motion:

I move that we the P&Z Commission have established findings of fact and adopt this Final Report and forward it to City Council with a positive recommendation of this Specific Use Permit (S.U.P.) for a monthly Farmers/Community Market on approximately 6.20 acres in the Commercial General (C-G) Zoning District located at 2916 N. Velasco St., Angleton, TX, for approval consideration and appropriate action with the noted conditions.



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	Item 3.
DEVELOPMENT INFORMATION Project Name/Address/Location: Reveat Free Town	ECK CCREDIT
Is property platted? No Ves Subdivision Vendor market at TSC Acreage: 6 200	
Kecordation #:	nthto
Owner: Car Garage #: No Car Garage #: No Sewer System: Septic	Small busiles In the
Address: Contact Name: Phone: City/State/ZIP: APPLICAST INFORMATION Email:	Community
Applicant/Developer: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applicant/Develope: Applican	
Address: 2916 N Velasco Contact Name: April Phone: City/State/ZIP: Angleton TV 77515	
Signature: Signature:	
(Signed letter of authorization required if the application is signed by someone other than the property owner)	
DATE REC'D: BY-	

Applications shall be processed based on the City's official submission dates. When a completed application packet
has been accepted and reviewed, additional information may be required by staff as a result of the review,
therefore it may be necessary to postpone the proposed project and remove it from the scheduled agenda and place
it on a future agenda.

DATE APPROVED:

EXP DATE:

APPLICATION FEE: Specific Use Permit NA Base fee \$1000.00 + \$25.00/each zone - 0 to 5 acres

 Base fee \$1000.00 + \$25.00/each zone - 5 to 25 acres

 Base fee \$1025.00 + \$25.00/each zone - 5 to 50 acres

 Base fee \$1050.00 + \$25.00/each zone - 50 to 75 acres

 Base fee \$1075.00 + \$25.00/each zone - 75 to 100 acre

 Page 23

FEES PAID:

APPROVED BY:__

APPLICATION/PERMIT NO:__

TYPE OF APPLICATION Please check appropriate box	holow
Landuse, Policy, and Site Development	
Annexation	Other Permits/Licenses/Registration
Rezoning/ FLUM Amendment	Commercial -New/Remodel/Addition
Specific Use Permit	Kesidential Building Permit 1 & 2 Family
Planned Development (PD)	(New, Remodel, Addition, Patio Cover, Carport, Foundation Repair, House Leveling, Windows, New Mabile House, 2011
Amending Minor and Major Plat	-totage banding permits, Re-root)
Minor Consolidation Plat	Miscellaneous
Development Plat	Fence
Concept Plan	Solar Panels
Preliminary Plat	Swimming Pool
Final Plat	Demolition or Move
Replat	Backflow/Irrigation
Construction Plans	Flatwork
Special Exception	Electrical Permit
[]Floodplain Development Permit	Plumbing Permit
[]Variance/Appeal	Mechanical Permit
On-Site Sewage Facility Permit (OSSF)	Sign Permit
Certificate of Occupancy (CO)	Garage Sale Permit
Grading/Clearing Permit	Master/ Common Signage Plan
	Fire Prevention Permit Form
Site Development Permit/ Site Plan Review	Right-of-Way Construction
Interpretations/Verifications/Text Amendments	Pipeline Permit
Comprehensive Plan Amendment (Text)	Drainage Pipe/Culvert Permit
Land Development Code (LDC)/Zoning Text	Roadside Banner Permit
Vested Rights Verification Letter	Mobile Home Park Registration
Letter of Regulatory Compliance	Game Room Permit Form
Zoning Verification	Grooming Facility License
Letter/Written Interpretation	Alcohol permit
Legal Lot Verification	Health Permit
	Temporary Health Permit
Loss and the second	Alarm Permit

121 S. Velasco, Angleton, Texas 77515 979-849-4364 - Fax: 979-849-5561 http://www.angleton.tr.us

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

razoria County, Texas.	plication for land platting	, and is shown in t	he records of
authorize the person named below to platting of the subject property.	act as my agent in the pu	rsuit of this applic	ation for the
NAME OF APPLICANT: Apr	1 Stewart		
ADDRESS: _2916 No			and the second
APPLICANT PHONE #	E-MAIL: Str	2110 @ tractor	Sunaly Gama
PRINTED NAME OF OWNER:			
SIGNATURE OF OWNER:			
	PERTY OWNER:		
NOTARIAL STATEMENT FOR PROI			
NOTARIAL STATEMENT FOR PROI	isday of	,	20

2

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ORDINANCE NO. XXXX

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, APPROVING SPECIFIC USE PERMIT FOR A MONTHLY COMMUNITY FARMERS' MARKET ON A 6.202 ACRE SITE, DECRIBED AS ANGLETON COMMERCIAL SUB NO 3 (A0380 J DE J VALDERAS) LOT 1 (JW SUBDIVISION), WITHIN THE "C-G", COMMERCIAL-GENERAL DISTRICT, LOCATED AT 1916 N. VELASCO ST., ANGLETON, TX 77515, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND EFFECTIVE DATE, AND FINDINGS OF FACT.

WHEREAS, on May 1, 2025, the City of Angleton Planning & Zoning Commission held a public hearing, considered and approved the Specific Use Permit (SUP) submitted by Tractor Supply Co. within a Commercial-General (C-G) District for a monthly Community Farmers' Market; and

WHEREAS, on May 1, 2025, the City of Angleton Planning & Zoning Commission, after conducting a public hearing, discussed and considered the written recommendation of staff, responses to questions of the applicant regarding the proposed Community Farmers' Market; and

WHEREAS, on May 13, 2025, the City of Angleton City Council conducted a public hearing, discussed and considered the written recommendation of the Planning and Zoning Commission and staff, responses to questions of the applicant regarding the proposed Community Farmers' Market; and

WHEREAS, the City considered the factors and provisions set forth in the City of Angleton Code of Ordinances, Chapter 28 Zoning, Sec. 28-63 Specific Use Permits, and considered the Community Farmers' Market, to be located at 2916 N. Velasco St./288 Bus., Angleton, TX; and

WHEREAS, the Planning and Zoning Commission and the City Council have made findings of fact that support the Community Farmers' Market, and desires to grant the Specific Use Permit (SUP) submitted by Tractor Supply Co., located at 2916 N. Velasco St., Angleton, TX., to allow a monthly Community Farmers' Market, with the conditions set forth below.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

Section 1. That all of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof, as if copied herein verbatim.

Section 2. City Council approves the Specific Use Permit in accordance with City of Angleton Code of Ordinances Sec. 28-63 Specific Use Permits (SUP),

A. The market shall be held no more than once per month between the hours of 4:00 PM and

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Item 3.

8:00 PM.

- B. All fire access areas and lanes shall always remain free and clear.
- C. The granting of the SUP shall be limited to the applicant for a period of two years. However, if the City Council renews the SUP, the term of this SUP shall automatically be converted to become permanent.

SECTION 3. <u>Penalty</u>. Any person who violates or causes, allows, or permits another to violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine of not more than Two Thousand and No/100 Dollars (\$2,000.00). Each occurrence of any such violation of this Ordinance shall constitute a separate offense. Each day on which any such violation of this Ordinance occurs shall constitute a separate offense.

Section 4. Repeal. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

Section 5. Severability. In the event any clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

Section 6. Effective date. That this Ordinance shall be effective and in full force immediately upon its adoption.

Section 7: Proper Notice & Meeting. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code.

PASSED, APPROVED and ADOPTED this 13th day of May, 2025.

John Wright, Mayor

ATTEST:



AFFIDAVIT OF PUBLICATION

The Brazosport Facts 720 S. Main St, Clute, TX 77531 (979) 237-0100

State of Florida, County of Orange, ss:

I, Edmar Corachia, of lawful age, being duly sworn upon oath depose and say that I am an agent of Column Software, PBC, duly appointed and authorized agent of the Publisher of The Brazosport Facts, a daily newspaper of general circulation, printed and published in Brazoria County, Texas; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:

Publication Dates:

• Apr 17, 2025

Notice ID: XTEQIMdSdgmU96q8gKHh Notice Name: REZONING SUP FARMER'S MARKET

Publication Fee: \$237.71

Edmar Corachia

Agent

VERIFICATION

State of Florida County of Orange

Signed or attested before me on this: 04/18/2025

Notary Public

Notarized remotely online using communication technology via Proof.

City of Angleton Notice of Hearing

Notice is hereby given that the Planning & Zoning Commission of the City of Angleton, Texas will conduct a public hearing at 12:00 PM on Thursday, May 1, 2025, and the City Council will consider the same request on Tuesday, May 13, 2025, at 6:00 PM. The meetings will be held at Angleton City Hall in the City Council Chambers at 120 S. Chenango Street, Angleton, Texas 77515. At the meetings, the following hearings will be held:

Conduct a public hearing, discussion, and take possible action on an ordinance approving a Specific Use Permit for a monthly Farmers/Community Market on approximately 6.20 acres in the Commercial General (C-G) Zoning District located at Tractor Supply Co., 2916 N. Velasco St., Angleton, TX. Brazoria County.

The meeting agenda and agenda packet will be posted online at https://angleton-tx.municodemeetings.com/. The public will have the opportunity to offer comments on each agenda item by registering prior to the meeting.

For more information regarding these requests, please contact Otis T. Spriggs, AICP, Development Services Director, by email at ospriggs@angleton.tx.us or by phone at (979) 849-4364 x-2108 or Grace Garcia, Development Coordinator, by email at <u>ggar-</u> cia@angleton.tx.us_ or by phone at (979) 849-4364 x-2120.

JESSICA GORDON-THO

Notary Public - State of

Commission # HH301 Expires on August 1 orida



AGENDA ITEM SUMMARY FORM

MEETING DATE: 5/1/2025

PREPARED BY: Otis T. Spriggs, AICP, Director of Development Services

AGENDA CONTENT: Discussion and Director's Update on the Comprehensive Plan Update/CPAC Committee

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

The GLO Contract NO. 23-160-039-E664, RESILIENT COMMUNITIES PROGRAM SUBRECIPIENT AGREEMENT and contract was executed on June 10, 2024. The grant award total is \$270,000. The Contract will terminate on August 31, 2027 or upon completion of the Comprehensive Plan Update and the Building Code Upgrade. On March 25, 2025 City Council voted unanimously to approve Ardurra/Gunda as the consultant to do the Comprehensive Plan update.

Staff is extending an invitation to the P&Z Commission to serve on the Comprehensive Plan Advisory Committee (CPAC). This committee will play a vital role in shaping the vision and future growth of our community through the upcoming update of the City's Comprehensive Plan.

With the support of the Texas General Land Office's Resilient Communities Program grant, the City is undertaking a major update to its 2007 Comprehensive Plan. This update will address critical topics such as land use, housing, infrastructure, transportation, parks and recreation, economic development, and long-term resilience.

The CPAC will consist of 14 members, including residents and representatives from key community stakeholders such as your organization. The committee will:

- Attend regular monthly meetings over an estimated 18-month period
- Collaborate with city staff and planning consultants to guide the plan development
- Serve as community advocates during public meetings and workshops

• Help ensure the plan reflects the values, needs, and priorities of our residents and institutions

Your voice and expertise are essential to this process, and we sincerely hope you will be able to commit to this vital initiative. Please submit your name and contact information using the online

form linked below or visit the City Clerk's webpage at www.angleton.tx.us under Boards and Commissions to apply.

RECOMMENDATION:

The P&Z Commission should receive this update from the Development Services Director.



April 25, 2025

Dear Planning & Zoning Commission Member,

Subject: Invitation to Participate in the Comprehensive Plan Advisory Committee (CPAC)

On behalf of the City of Angleton, I am pleased to extend an invitation to the P&Z Commission to designate a representative or two to serve on our **Comprehensive Plan Advisory Committee (CPAC)**. This committee will play a vital role in shaping the vision and future growth of our community through the upcoming update of the City's Comprehensive Plan.

With the support of the Texas General Land Office's Resilient Communities Program grant, the City is undertaking a major update to its 2007 Comprehensive Plan. This update will address critical topics such as land use, housing, infrastructure, transportation, parks and recreation, economic development, and long-term resilience.

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- Help ensure the plan reflects the values, needs, and priorities of our residents and institutions

Your voice and expertise are essential to this process, and we sincerely hope you will be able to commit to this important initiative. Please submit your name and contact information using the online form linked below or visit the City Clerk's webpage at <u>www.angleton.tx.us</u> under *Boards and Commissions*:

https://portal.laserfiche.com/q3869/forms/Volunteer-Application

Should you have any questions or require additional information, please do not hesitate to reach out to me directly at ospriggs@angleton.tx.us or 979-849-4364 ext. 2136.

Thank you for your continued partnership and support in shaping a thriving and resilient future for Angleton.

Sincerely,

Otis **†**. Spriggs Director of Development Services City of Angleton

EXHIBIT "A"

SCOPE OF SERVICES ANGLETON GLO RCP PROFESSIONAL SERVICES

Under contract to the City of Angleton, ARDURRA will provide professional consulting services for Angleton GLO RCP Professional Services (Project). ARDURRA will be assisted in this effort by two subconsultants (hereafter encompassed by references to "ARDURRA"):

- Community Development Services (CDS)
- SAFEbuilt Texas, LLC

The Project will focus on the current city limits and relevant extraterritorial areas around the City. ARDURRA's project involvement and facilitation will be conducted according to this Scope of Services and contingent upon the Client Support items below to make the best use of the available consultant budget. The City's Project Manager will manage the overall process and direct ARDURRA in performing the project services. ARDURRA will coordinate with recent and concurrent planning efforts and studies to complete these tasks. ARDURRA will coordinate with other agencies and entities, as appropriate, in conjunction with the City.

As indicated below under Project/Client Coordination, ARDURRA will coordinate with the City to establish a detailed and feasible project schedule for the execution and completion of this Scope of Services. The intent is to work toward official consideration of a final proposed Project within 28 months from the date ARDURRA receives Notice to Proceed from the City. ARDURRA will coordinate with City officials and staff to meet this timeline. This will require steady progress on the tasks in this Scope of Services; timely receipt of necessary data and information and other input; and prompt review and feedback on ARDURRA's interim and final work products. The client will assist in scheduling and completion of public hearings and final plan adoption, and these are not under ARDURRA's control.

Additional or Continuing Services

During the course of or at the conclusion of the project, the City may deem it necessary to schedule more meetings, request further background or issues research, or otherwise engage consultant personnel in additional work not anticipated at project initiation or outlined in this Scope of Services. Any such additional services shall be specifically authorized by the City and documented through a written amendment to the Scope of Services and approval of a corresponding increase in the compensation amount and, if necessary, extension of the time of performance of the original agreement.

CLIENT SUPPORT

The **City of Angleton** will provide administrative and technical support services to assist ARDURRA in performing the Scope of Services in this Exhibit, including:

- Identifying a single individual as the City's Project Manager, who will serve as the City's primary
 point of contact and source of day-to-day work program direction for this collaborative effort of City
 and consultant personnel.
- Providing to ARDURRA all available data, maps, aerial imagery, previous reports/plans/studies and
 other relevant information, in digital or printed format, that is necessary for development of the
 necessary documents and reports. The City will reproduce all hard-copy materials, to the extent
 feasible, such that they will not require return upon project completion. PDFs or other electronic

files are preferred whenever available.

- Immediately upon project initiation, providing ARDURRA a detailed list of spatial data and mapping that the City can make available for the project, including data sets and layers/GIS coverages already developed/maintained by the City for its entire planning area or readily available to the City from other sources. (ARDURRA can also accept AutoCAD layers, as useful and appropriate, although GIS is preferred.)
- Ensuring that key City personnel, board/commission/committee members and elected officials will
 participate as needed in the planning process and be available upon request, through arrangements
 made by the City's Project Manager, to provide information and referrals and offer opinions, insights
 and suggestions that are necessary for the project. This will include potential formal or informal
 meetings and briefings with local officials as specified in this Scope of Services.
- Making initial contacts with agencies and organizations to facilitate data collection and coordination, to arrange meetings as needed, and make these entities aware of the planning process.
- Distributing draft plan content to advisory committee members, board/commission members, , key City staff members and other project participants as appropriate.
- Providing ongoing administrative support for the advisory committee (i.e., arranging meeting locations, preparing and distributing meeting notices, preparing and reproducing agendas and other handouts, providing three-ring binders with section dividers for members to maintain their project materials, etc.).
- Committing the necessary resources to adequately prepare for and promote attendance at and media coverage of any significant community outreach events. The City might consider inviting other key community organizations to co-sponsor or "co-host" the event and provide further logistical support. The City's responsibilities will include:
 - a. Securing a meeting location with adequate setup for large gatherings and presentations (sound system, screen or white wall, reduced lighting, extension cord and power strip for multiple three-prong plugs for laptop, projector, etc.);
 - b. Providing public and news media notification of the meeting;
 - c. Preparing and reproducing meeting and handout materials, including those prepared by ARDURRA;
 - d. Providing sign-in sheets and otherwise documenting meeting attendance;
 - e. Providing refreshments as appropriate; and
 - f. Inviting board/commission members and representatives of other key agencies and community organizations to attend public meetings related to the planning process.
- Providing such public notice of meetings and hearings as is required by law or deemed desirable by the City.
- Providing ARDURRA updates or written summaries, as available, from any project-related meetings not attended by ARDURRA, and copies of any handouts/materials.

PROJECT / CLIENT COORDINATION

ARDURRA will complete project management activities in coordination with the City's Project Manager to ensure schedule adherence, cost control and quality assurance. These activities will include:

- Monthly submittal of written progress reports in conjunction with each monthly invoice. These
 reports will describe the project status, document significant work accomplished, and activities
 scheduled for the next progress report period, and note any difficulties encountered and steps taken
 to address them.
- Preparation and maintenance throughout the project of a detailed project schedule, including due dates for all deliverables, anticipated meeting dates, plus specified review/comment timeframes to ensure adequate time for client review/approval of deliverables. The schedule will be set during the Project Start-Up phase below.
- Frequent communication and coordination with the City's Project Manager by email, phone, online conferencing, and written correspondence, as appropriate.

PHASES AND DELIVARABLES

The work plan envisioned for the project is outlined below. The phases and deliverables will be finalized with City's input, based on scope and contract funding.

PHASE 1 COMPREHENSIVE PLAN UPDATE

MONTHS 1-3 MOBILIZATION

- Project kick-off meeting and finalization of work program
- Work session with the City Council, Planning and Zoning Commission, & others
- Formation of Advisory Committee and Advisory Committee meeting 1
- Initialization of community engagement efforts

Deliverables:

- Work Plan and Schedule
- Community Engagement Plan and related items, including:
 - Website initialization
 - Online Community Engagement Questionnaire
 - Community notices
- □ Summary of work session with the City Council, Planning and Zoning Commission, & others
- Advisory Committee Members' invitation letter
- □ Summary of Advisory Committee meeting 1

MONTHS 3-5 CURRENT CITY

- Data collection and research
- Stakeholder interviews
- Listening sessions and Focus Group meetings
- Findings & analysis
- Draft summary of current conditions
- Community Engagement Questionnaire activation

Deliverables:

- □ Draft report summarizing the current conditions
- □ Summary of stakeholder interviews
- □ Summary of listening sessions and Focus Group meetings
- □ Summary of Community Engagement Questionnaire

MONTHS 5-6 VISIONING

- Townhall meeting (if desired by the City)
- Vision & guiding principles
- Advisory Committee meeting 2

Deliverables:

- □ Draft Vision statement and Guiding Principles
- □ Summary of Town Hall meeting
- □ Summary of Advisory Committee meeting 2

MONTHS 7-10 FUTURE CITY

- Summary of findings and issues
- Refinement of Vision statement and Guiding Principles
- Recommendations by key areas of the plan and specific action items
- Advisory Committee meetings 3 & 4
- Work session with City Council, Planning and Zoning Commission, & other boards
- Townhall meeting (if desired by the City)

Deliverables

- □ Draft report summarizing the findings and issues
- Draft recommendations, as developed through the previous steps
- Draft Future Land Use Map, Master Thoroughfare Plan, supporting graphs and charts
- Summary of Advisory Committee meetings -3 & 4

MONTHS 11-13 DRAFT PLAN & IMPLEMENTATION STRATEGY

- Recommendations by key areas of the plan and specific action items (if required)
- Draft Comprehensive Plan document
- Draft Implementation Strategy
- Advisory Committee meeting 5 (if required)

Deliverables

- Draft Comprehensive Plan document
- □ Draft Implementation Strategy
- □ Summary of Advisory Committee meeting 5 (if required)

MONTHS 14-18 FINALIZATION & ADOPTION

- Comprehensive Plan Public Hearing draft
- Work session with City Council, Planning and Zoning Commission, & other boards
- Public Hearing & adoption
- Final report (hard copies & online interactive version)

Deliverables

□ Comprehensive Plan Public Hearing draft

- □ Presentation materials for the Public Hearing
- □ One printed full-color master original of the final adopted Comprehensive Plan
- \Box Twenty-five (25) copies of the executive summary
- □ Electronic files for all elements of the final Comprehensive Plan document, including a master PDF file containing the entire final adopted plan with all electronic files in their native formats if desired by the City.

PHASE 2A BUILDING CODE UPDATES

MONTHS 10-12 KICK-OFF

- Finalize work program with staff
- Work Session with the City Council and other boards
- Formation of Building Code Advisory Committee and meeting 1
- Initialization of community engagement efforts

Deliverables:

- Work Plan and Schedule
- Community Engagement Plan and related items, including:
 - Website initialization
 - Online questionnaire
 - Community notices
- Summary of work session with the City Council and other boards
- Summary of Advisory Committee meeting 1

MONTHS 13-14 FINDINGS & DRAFT AMENDMENTS

- Data collection & background research
- Findings & analysis
- Draft amendments
- Advisory Committee meeting 2
- Stakeholder interviews

Deliverables:

- Draft Findings Report
- □ Summary of Advisory Committee meeting 2
- □ Summary of stakeholder interviews
- □ Draft amendments

MONTHS 15-18 FINALIZATION & ADOPTION

- Work Session with City Council and other boards
- Finalize Public Hearing draft
- Public review & stakeholder input
- Public Hearing & adoption
- Final version of the adopted Code

Deliverables:

- □ Summary of work session with the City Council and other boards
- □ Public Hearing draft report
- □ Presentation materials for the Public Hearing
- □ One printed full-color master original of the final adopted Code
- □ Electronic files

PHASE 2B ZONING ORDINANCE AND LAND DEVELOPMENT CODE UPDATE (ZONING CODE AMENDMENTS)

MONTHS 18-19 KICK-OFF

- Finalize work program with staff
- Work Session with the City Council, Planning and Zoning Commission, and others
- Advisory Committee meeting 1
- Initialization of community engagement efforts

Deliverables:

- □ Work Plan and Schedule
- □ Community Engagement Plan and related items, including:
 - Website initialization
 - Online questionnaire
 - Community notices
- Summary of work session with the City Council, Planning and Zoning Commission, & others
- □ Summary of Advisory Committee meeting 1

MONTHS 20-22 DIAGNOSTIC/FINDINGS

- Data collection & background research
- Findings & analysis
- Advisory Committee meeting 2
- Stakeholder interviews/Listening Sessions/Community Chats
- Townhall meeting

Deliverables:

- □ Draft Diagnostic Report
- □ Summary of Advisory Committee meeting 2
- □ Summary of stakeholder interviews/Listening Sessions/Community Chats
- □ Summary of Community Engagement questionnaire

MONTHS 22-25 CODE UPDATES

- Draft recommendations
- Advisory Committee meeting 3
- Work Session with Council, Planning and Zoning Commission, & other boards
- Finalize draft recommendations
- Townhall meeting

Deliverables:

- □ Draft recommendations report
- □ Summary of Advisory Committee meeting 3
- Summary of work session with the City Council, Planning and Zoning Commission, & others
- □ Summary of Townhall meeting

MONTHS 25-28 FINALIZATION & ADOPTION

- Final Public Hearing draft
- Public review & stakeholder input

Item 4.

- Advisory Committee meeting 4
- Work Session with the City Council, Planning and Zoning Commission, & other boards
- Public Hearing & adoption
- Final report (hard copies & online interactive version)

Deliverables:

- □ Public Hearing draft report
- □ Summary of Advisory Committee meeting 4
- Summary of work session with the City Council, Planning and Zoning Commission, & other boards
- □ Presentation materials for the Public Hearing
- One printed full-color master original of the final adopted Zoning Ordinance and Land Development Code
- □ Electronic files for all elements of the final Zoning Ordinance and Land development Code including a master PDF file containing the entire final adopted code with all electronic files in their native formats if the City desires.

APPROACH TO DELIVERABLES

Draft Deliverables

ARDURRA will provide draft deliverables through each phase of the project. These deliverables will facilitate workshop meetings, periodic releases of information to the media and public, and the orderly completion of the project. All such interim deliverables will be provided to the City in PDF format for ease of file transfer, reproduction and distribution. The PDF versions are also suitable for website posting. Graphics will be produced in color (except for black-and-white line sketches) in a format suitable for display during meetings and at public events/hearings.

Consolidated Review and Revision

Whenever ARDURRA submits draft deliverables, it will be the responsibility of the City's Project Manager to coordinate, compile and forward to ARDURRA, in a consolidated manner, all review comments on and requested/suggested revisions to such deliverables. As part of each review phase, guidance from the Project Manager should be included, as needed, on whether and how ARDURRA should address certain comments which may be for information only (e.g., comments from outside reviewers) versus those involving specific, client-recommended revisions.

The project budget assumes original drafting of each deliverable and one round of consolidated revision upon receipt of comments from the City's Project Manager. Only minor revisions will be made following plan adoption to produce the final as-adopted plan version. Extensive substantive revisions that arise at the final adoption phase may require additional services depending on their nature and the budget status at that final stage of the project.

Project Website and Online Interactive Plan

ARDURRA will aid City staff to design and publish the adopted plans on an interactive, citizen-friendly website, starting as a project website for the plan development process. During plan development, the site will be designed for public outreach, including education and information; to issue meeting invitations and notices; and to solicit input through polling, surveying or other methods. Interim deliverables will be posted

on the site during each phase.

EXHIBIT "B" BASIS OF COMPENSATION AND REIMBURSABLE EXPENSES ANGLETON GLO RCP PROFESSIONAL SERVICES

Total Fees	\$ 268,000.00
Comprehensive Plan & Zoning Ordinance -	
Total	\$ 248,000.00
Grant Administration	\$ 25,000.00
Comprehensive Plan Update	\$ 156,000.00
Zoning Code Amendments	\$ 67,000.00
Building Codes - Total	\$ 20,000.00
Grant Administration	\$ 2,000.00
Planning- Code Amendments	\$ 18,000.00
TOTAL (Not to exceed)	\$268,000.00

Workplan and invoicing will meet the GLO's milestones and deliverables.

If services beyond those specifically identified are determined necessary during the project, Consultants shall not proceed with those services until such time that the City approves written approval of the scope and any additional fees. Services that fall outside the regular scope and/or are not part of the proposed scope will be billed according to the hourly 2025 Rate Schedule defined in *Exhibit "B" Basis of Compensation and Reimbursable Expenses*.

2025 RATE SHEET	
Description	Rate
Principal-In-Charge	\$325.00
Project Manager	\$225.00
QA/QC Manager	\$194.00
Planning Manager	\$210.00
Senior Planner	\$157.00
Planner/ Public Engagement Assistance	\$100.00
Public Engagement Officer	\$210.00
Senior Engineer	\$189.00
Engineer	\$158.00
Engineer-In-Training	\$140.00
Graduate Engineer	\$126.00
Sr. CADD Tech/GIS Tech	\$126.00
CADD Tech	\$110.00
Clerical	\$90.00
Student Intern	\$65.00

Notes: Reimbursable expenses shall be included in each phase invoiced and paid based on the cost of service provided. These services include travel, deliveries, postage, graphical reproduction, etc.

Budget Assumptions

- City staff will assist with maintenance of the project website as part of the City of Angleton's website.
- The Ardurra team will attend public meetings as specified in the scope.
- Meetings will be scheduled the same day for multiple groups or virtually to limit trips Overnight trips are not included at this time, should they be necessary they will be approved by contract amendment.
- The City will provide appropriate meeting space for public and internal planning sessions.
- Refreshment costs for public meetings are not included.
- Printing costs are included for one (1) copy of the final document. Drafts will be electronic only.
- This scope does not include final design, construction documents, agency approval, bidding, or construction phase services.

EXHIBIT "C"

PERFORMANCE SCHEDULE FOR PROFESSIONAL PLANNING AND ENGINEERING SERVICES ANGLETON GLO RCP PROFESSIONAL SERVICES

I. Consultant understands that the Project Scope of Services outlined herein should be completed within 28 months from the effective date of the contract. Consultant proposes to initiate the Project after City's written authorization to proceed or the date the contract is signed. It is understood that Consultant's ability to complete the sequential tasks and phases within the established time frames is dependent, in large part, on the receipt of any existing, available, and necessary data from City at the beginning of the Project, and City's timely response to Consultant with review comments and input and community input.

EXHIBIT "D"

CITY'S DESIGNATED PROJECT REPRESENTATIVE ANGLETON GLO RCP PROFESSIONAL SERVICES

- I. Administrative Chris Whittaker City Manager City of Angleton 121 S. Velasco Angleton, TX 77515 Phone: (979) 849-4364
- II. On-site Representative Otis T. Spriggs, AICP Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515 Phone: (979)849-4364 ext. 2108



AGENDA ITEM SUMMARY FORM

MEETING DATE:	May 1, 2025
PREPARED BY:	Otis T. Spriggs, AICP, Development Services Director
AGENDA CONTENT:	Discussion and possible action on the Final Plat of Section IB of Austin Colony Subdivision, located west of the terminus of Tigner St.
AGENDA ITEM SECTION:	Regular Agenda

BUDGETED AMOUNT: None.

FUNDS REQUESTED: None.

FUND: None.

EXECUTIVE SUMMARY:

The subject property is located on the north side of CR 44 (Anchor Road), approximately 2,000 north of Wilkins Road. Section 1B consists of 10.680 acres, will have 50 residential lots, 3 blocks, and 2 reserve lots, and is in a Planned Development (PD) zoning district.

This is a request from the owner/developer of the Austin Colony Development, PD No. 3, for approval of Section 1B Final Plat. PD No. 3 was amended and adopted by City Council on January 10, 2023 under Ordinance No. 20230110-009. Due to the reconfiguration and reclassification of Austin Colony Blvd., the various sections were readjusted as a result. Austin Colony Drive will serve access to Section 1A, and the newly proposed internal streets (Crockett and Moses Austin Streets) will serve Section 1B, which will also tie into Tigner Street.

The Austin Colony Subdivision Amended and Restated Development and Public Improvement District (PID) Agreement between Tejas-Angleton Development, LLC. and the City of Angleton, Texas was approved on March 11, 2025 by the City Council.

City Engineer Review Comments:

Section 1 B-Final Plat

1. A temporary turnaround area will be required in accordance to Angleton LDC Sec. 23-12. -Streets and driveways, G. 2. B. Note that the plan review for the Section 1 B- Construction Plans are also attached.

Since the time of the agenda posting, the City Engineer's review of the Final Plat has been forwarded to the applicant with the noted comment. All comments must be addressed and cleared before City Council consideration and approval. Staff will provide an updated staff report to the P&Z Commission on May 1, 2025 at the meeting.

Recommendation: The Planning and Zoning Commission should approve the Austin Colony Section 1B Final Plat, subject to the clearing of any review comments by the City Engineer before any consideration by the City Council.



APPLICATION FOR PLAT REVIEW/APPROVAL

Date: <u>3/7/2025</u>				
TYPE OF PLAT APPLICATION				
ADMINISTRATIVEPRELIMINARYFINALMINORRESIDENTIALRESIDENTIALIAMENDING/REPLATCOMMERCIALCOMMERCIALI				
Address of property: Northeast Side of County Road 44 and 1,000' Southeast of CR 340 (Carr Road)				
Name of Applicant: Douglas B. Roesler, P.EPhone:				
Name of Company: Baker & Lawson, Inc Phone:Phone:				
E-mail:				
Name of Owner of Property: Tejas-Angleton Development LLC Address:				
Phone:E-mail:				
I HEREBY REQUEST approval of the preliminary and final plat of the subject property according to the plans which are submitted as a part of this application. I HEREBY AUTHORIZE the staff of the City of Angleton to inspect the premises of the subject property. I HEREBY SWEAR AND AFFIRM that all statements contained herein and attached hereto are true and correct to the best of my knowledge and belief. Signature of Owner or Agent for Owner (Applicant)				
(SEAL) Robin Ruth Crouch Notary Public, State of Texas Comm. Expires 02-16-2027 Notary ID 422233-5 Notary Public for the State of Texas Commission Expires: <u>2-16-21</u>				

52

Item 5.

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of 9.6 Acres out of the J De J Valderas Tract 73, 74, 75, 75A, 76, 7	F (indicate address and/or legal description) 76B, 77, 81, 82, 83, 84A A-380
which is the subject of the attached application Brazoria County, Texas.	for land platting and is shown in the records of
platting of the subject property.	ny agent in the pursuit of this application for the
NAME OF APPLICANT: Baker & Lawson, Inc.	
ADDRESS: 4005 Technology Drive, Suite 1530, Angle	eton, Texas 77515
APPLICANT PHONE #	_E-MAIL:
PRINTED NAME OF OWNER: Tejas-Angleton	Development LLC/Wayne (Sandy) Rea, n
SIGNATURE OF OWNER: Way	2 C RELI DATE: 2/6/2025
Strict JANET SANTA MARIA Notary Public, State of Texas Comm. Expires 05-06-2028 Notary ID 132466829	Notary Public for the State of Texas Commission Expires: 05-06-2028

PROJECT SUMMARY FORM

	or Road		
The subject property fronts	feet on the	side of	
Depth:	Area:	Acres:	square feet
INDICATE THE PURPOSE OF Development of Au			
s this platting a requirement for	obtaining a building permit?	YES <u>X</u> NO	
APPLICATION.	ORMATION THAT WILL .		
APPLICATION.			
APPLICATION.			
INDICATE ADDITIONAL INF			
APPLICATION.			

SUBMITTAL REQUIREMENTS Land Development Code, Chapter 23 §117 – Preliminary Plats

https://library.municode.com/tx/angleton/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADECO_APXAPLLASULI_SUBAPPEN DIX_A-1PLCE_S23-117PRPL

SUBMITTAL REQUIREMENTS. THE FOLLOWING INFORMATION SHALL BE FILED:

- 1. A completed application form and application fee;
- 2. One full size, 24-inch × 36-inch, paper copy of the plat (prepared consistent with \$117.B) and a .pdf file of the same and one paper copy and electronic copy of all items submitted in support of the plat;
- 3. A preliminary utility plan showing all existing and proposed utilities;
- 4. A TIA, if the development meets the threshold requirements set out in section 23-24, Traffic impact analysis (TIA). If a TIA is required, the applicant shall meet with the city engineer and a TXDOT representative (if applicable) in advance of the submittal to define the TIA parameters. An incomplete or deficient TIA shall constitute grounds to find a plat to be incomplete, or to deny the plat;
- 5. Utility and drainage reports with adequate information to determine conformity with the utility and drainage requirements of this LDC. Physical features, including the location and size of watercourses, 100-year floodplains per FIRM maps, proposed CLOMR boundaries, regulated wetlands and areas where water drains into and out of the subdivision;
- 6. A drainage report, as set out in section 23-15, Drainage and utilities;
- 7. A soil suitability report (geotechnical report), as set out in section 23-25, Drainage and utilities, subsection G., Soil suitability report;
- 8. A current tax certificate(s);
- 9. Construction plans may be submitted at the option of the applicant;
- 10. A certification of approval of the plat by planning and zoning commission and city council, as shown in section 23-118, Final plats, subsection C;
- 11. A statement if parkland will be dedicated or fees-in-lieu of parkland dedication will be paid;
- 12. Heritage tree survey and a tree preservation plan;
- 13. All other information necessary to demonstrate compliance with all requirements of the LDC and all other development codes of the city; and
- 14. Construction plans for any required public improvements may be submitted with the plat or after the approval of the plat but shall be filed and approved prior to the filing of a final plat.

PLAT FEES:

ADMINISTRATIVE PLAT

\$250.00 Plus Review Expense

REGULAR PLAT SUBMITTAL:

*RESIDENTIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)200 Lots or less\$800.00 plus \$6.00 per lotMore than 200 Lots\$4.00 per additional lot over 200Plan Review Fee by City Engineer\$1,000.00deposit (If cost of review exceeds deposit amount,
balance of cost will be billed at a later time).

*COMMERCIAL (Preliminary and Final Plat Fees are separate and calculated as detailed herein)

Less than two acres More than Two Acres Plan Review Fee by City Engineer deposit (If cost of review exceeds deposit amount, balance of cost will be billed at a later time) \$1,000.00 \$1,000.00 plus 25.00/additional acre \$1,000.00

OFFICE USE ONLY:

Date received:	_ <i>By</i> :
Type of Plat:	
Description of individual charges:	
Total Fee Received:	_By:
Proof of taxes received:Yes If no, explain:	
PRELIMINARY PLAT MEETINGS:	
Pre-submission conference/meeting date:	
Received Preliminary Plat on:	by
Preliminary plat staff meeting date:	
Planning & Zoning meeting date:	
City Council meeting date:	
FINAL PLAT MEETINGS:	
Received final plat onby	
Reviewed by Staff onby	
Planning & Zoning meeting date:	
City Council meeting date:	
Filed with County Clerk on:	
File-stamped copy to owner/developer on:	

April 25, 2025

Mr. Otis Spriggs Director of Development Services City of Angleton 121 S. Velasco Angleton, TX 77515

Re: On-Going Services Austin Colony Phase 1B Subdivision Improvement Plans – <u>1st Submittal Review</u> Angleton, Texas HDR Job No. 10420700

Dear Mr. Spriggs:

HDR Engineering, Inc. (HDR) has reviewed the plans for the above referenced subdivision and offers the following comments:

<u>Final Plat</u>

1. A temporary turnaround area will be required in accordance to Angleton LDC Sec. 23-12. - Streets and driveways, G.2.B.

Subdivision Improvement Plans

- 1. Reference if this is Final Plat. If Final Plat, will need to note as reference only with a Final Plat application to be made separately.
- Sheet 5 of 50 Phase 1b only includes 1 boring location as noted in the geotech report by Intertek PSI dated 3/28/21. Verify and include additional borings per spacing found in the Angleton Construction Manual (CoSL Design Manual 1.21)
- 3. Sheet 6 of 50 Street jogs (off-sets). Street off-sets less than 150 feet, measured centerline to centerline, are prohibited (Angleton LDC Sec. 23-12 F.4.
- 4. Sheet 6 of 50 No proposed information shown in Sections
- 5. Sheet 7 of 50 Fire hydrant placement/spacing to include intersections as noted in the Angleton ACM CoSL Des. Std. 2.8.1 Fire Hydrant Spacing, C.
- 6. Sheet 7 of 50 Label existing utilities and sizes
- 7. Sheet 8 of 50 Please include the cross sections for the proposed pond as noted
- 8. Sheet 9 of 50 Are these wall penetrations feasible at the inlets noted (I-10, I-5)
- 9. Sheet 9 of 50 Recommend updating to provide an alignment to avoid traversing pipe in the ROW.
- 10. Sheet 11 of 50 Information is missing on the plan. Please update accordingly
- 11. Sheet 12 of 50 Update plan to show location of silt fencing for the project

- 12. Sheet 12 of 50 Verify use of IPB here if construction vehicles and equipment will utilize access from this area
- 13. Sheet 14 of 50 If Phase 1b is being constructed first, a temporary No Outlet Sign shall be provided
- 14. Sheet 14 of 50 Striping and signage to be provided for beginning of boulevard section (e.g. gores, median ahead, do not enter,
- 15. Sheet 16 of 50 Verify and incorporate use of a pedestrian handrail along the culvert crossing area
- 16. Sheet 16 of 50 Provide junction box at this location or consider other option such as discharge to south
- 17. Sheet 16 of 50 Provide steel encasement for proposed sanitary sewer crossing under existing channel
- 18. Sheet 16 of 50 Reevaluate proposed water line offset and include steel casing for portion crossing within the culvert/channel crossing. Proposed pipe does not meet minimum cover requirements.
- 19. Sheet 16 of 50 Evaluate proposed water line (10"-12") for incorporation of air release valves
- 20. Sheet 16 of 50 Verify what the purpose of the bends are here near STA. 0+60 and remove if not needed.
- 21. Sheet 16 of 50 Street gradient is less than 0.35 %
- 22. Sheet 16 of 50 Provide symbol for sanitary sewer service (Typical)
- 23. Sheet 17 of 50 Show existing ditch highbank and flowline in plan
- 24. Sheet 18 of 50 Revise sewer layout to offset from proposed water meter (Example shown)
- 25. Sheet 18 of 50 Sanitary sewer minimum size to be 8-inch
- 26. Sheet 18 of 50 Street gradient is less than 0.35 % where noted.
- 27. Sheet 19 of 50 Fix overlapping text
- 28. Sheet 19 of 50 Place valves outside of curb ramp
- 29. Sheet 19 of 50 Verify if proposed inlet will allow for all pipe-wall penetrations shown may need to consider a junction box where noted by example
- 30. Sheet 19 of 50 Street gradient is less than 0.35%
- 31. Sheet 19 of 50 Notate gradient of curb returns
- 32. Sheet 19 of 50 Minimum sanitary sewer pipe size to be 8-inch
- 33. Sheet 20 of 50 A temporary turnaround and easement to be provided at the end of Moses Austin Street. Angleton LDC Sec. 23-12 G.2.
- 34. Sheet 20 of 50 Street gradient is less than 0.35%
- 35. Sheet 20 of 50 Sanitary sewer service graphic to follow direction of flow if intended to depict this graphically for single services (Typical)
- 36. Sheet 21 of 50 Street gradient is less than 0.35 % where noted
- 37. Sheet 21 of 50 Place valves outside of curb ramp where noted

The proposed construction plans are incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Austin Colony Phase 1B Subdivision Improvement Plans be Revised and Resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

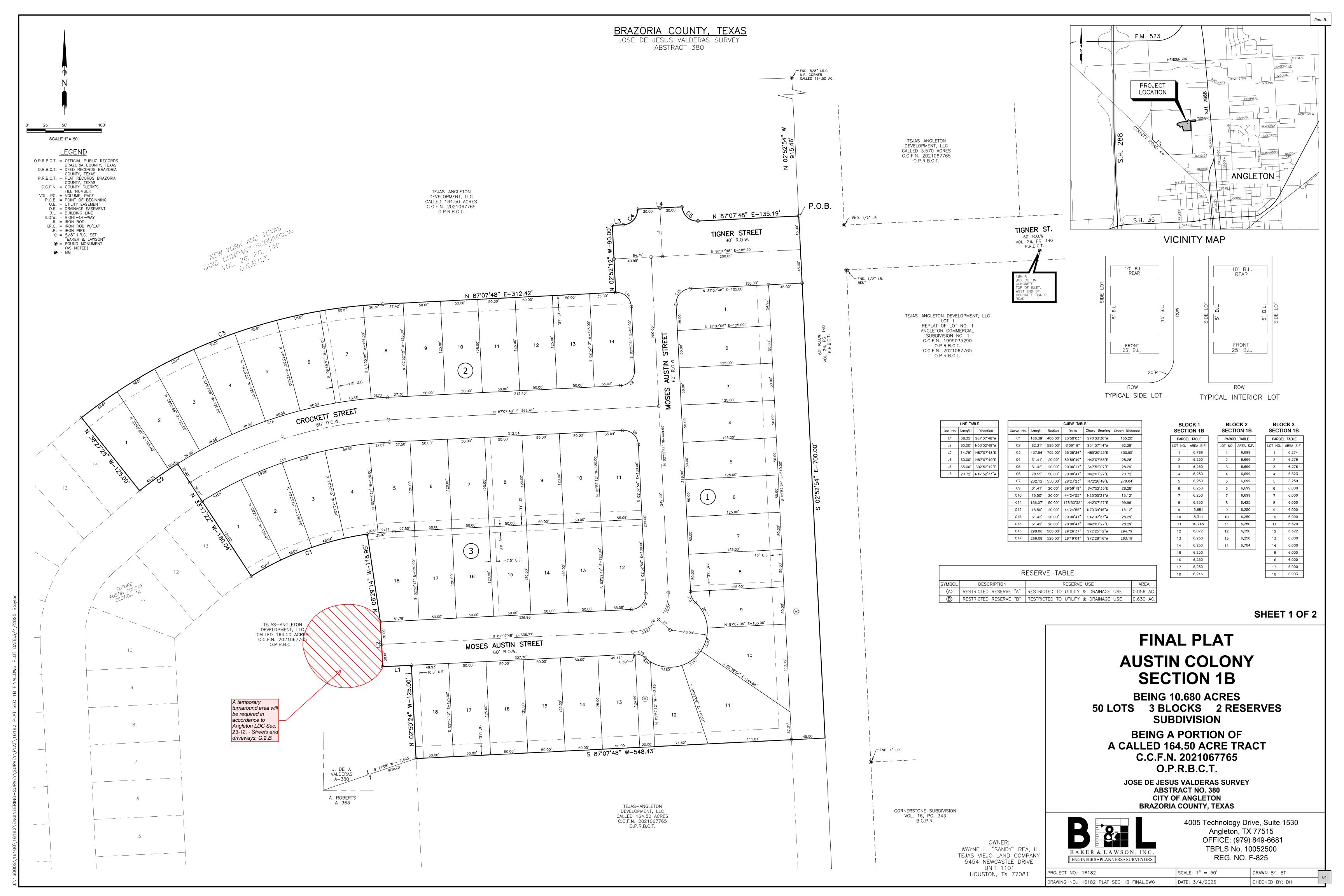
HDR Engineering, Inc.

R[[[[]]

Javier Vasquez, P.E., CFM Civil Engineer

cc: Files (10420700)

Attachments



PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

COMMISSION, CITY OF ANGLETON, TEXAS.

BILL GARWOOD, CHAIRMAN, PLANNING AND ZONING COMMISSION

MICHELLE PEREZ, CITY SECRETARY

_DAY OF ____, 20___, BY THE CITY COUNCIL, APPROVED THIS CITY OF ANGLETON, TEXAS.

JOHN WRIGHT, MAYOR

MICHELLE PEREZ, CITY SECRETARY

STATE OF TEXAS § COUNTY OF BRAZORIA §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF 20____, BY _____, CITY OF ANGLETON, ON BEHALF OF THE CITY.

NOTARY PUBLIC STATE OF TEXAS

MY COMMISSION EXPIRES

DRAINAGE AND DETENTION EASEMENT

THIS PLAT IS HEREBY ADOPTED BY THE OWNERS AND APPROVED BY THE CITY OF ANGLETON (CALLED "CITY") SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE OWNERS, THEIR HEIRS, GRANTEES AND SUCCESSORS: THE PORTION SHOWN ON THE PLAT IS CALLED "DRAINAGE AND DETENTION EASEMENT:" THE DRAINAGE AND DETENTION EASEMENT WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN OPEN AT ALL TIMES AND WILL BE MAINTAINED IN A SAFE AND SANITARY CONDITION BY THE OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND DETENTION EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID EASEMENT OR FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM CONDITIONS IN THE EASEMENT, OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE OF BUILDING, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND DETENTION EASEMENT AS HEREIN ABOVE DEFINED, UNLESS APPROVED BY THE CITY ENGINEER. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO ERECT OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE CITY SHALL HAVE THE RIGHT TO ENTER UPON THE DRAINAGE AND DETENTION EASEMENT AT ANY POINT, OR POINTS, TO INVESTIGATE, SURVEY OR TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE DRAINAGE AND DETENTION EASEMENT CLEAN AND FREE OF DEBRIS, SILT, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE THROUGH THE DRAINAGE AND DETENTION EASEMENT IS SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT WHICH CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, OR RESULTING FROM THE FAILURE OF ANY STRUCTURE, OR STRUCTURES, WITHIN THE EASEMENT.

ANGLETON DRAINAGE DISTRICT

ACCEPTED THIS THE ____ DAY OF _____, 20___, BY THE ANGLETON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.

2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON

DRAINAGE DISTRICT. 4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR

MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES. THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW. AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

BOARD MEMBER

BOARD MEMBER

CHAIRMAN, BOARD OF SUPERVISORS

ENGINEER.

DEDICATION STATEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT WAYNE L. REA II, OF TEJAS VIEJO LAND COMPANY, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS AUSTIN COLONY SECTION IB, A SUBDIVISION IN THE JURISDICTION OF THE CITY OF ANGLETON, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE, TO THE PUBLIC USE FOREVER, THE STREETS, ALLEYS AND PUBLIC PARKLAND SHOWN THEREON. THE STREETS. ALLEYS AND PARKLAND ARE DEDICATED FOR STREET PURPOSES. THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY OF ANGLETON. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLIC'S AND CITY OF ANGLETON'S USE THEREOF. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION. MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF ANGLETON AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

AND CONSIDERATION THEREIN EXPRESSED.

WAYNE L. REA II TEJAS VIEJO LAND COMPANY

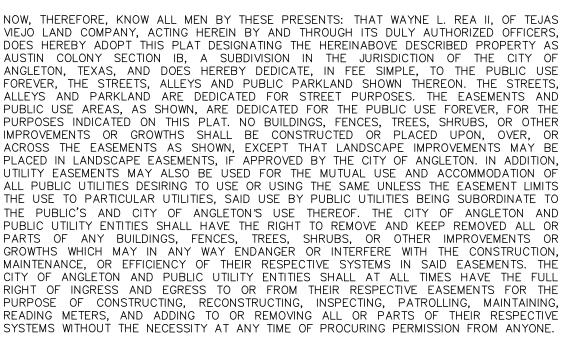
STATE OF TEXAS § COUNTY OF BRAZORIA §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED WAYNE L. REA II, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THE SAME WAS THE ACTING OWNER FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT. DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS. ALLEYS. PARKS. WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE

DESCRIPTION OF 10.680 ACRES

BEING A 10.680 ACRE TRACT OF LAND LOCATED WITHIN THE JOSE DE JESUS VALDERAS SURVEY, ABSTRACT NO. 380, BRAZORIA COUNTY, TEXAS, BEING A PORTION OF A CALLED 164.50 ACRE TRACT IN THE NAME OF TEJAS-ANGLETON DEVELOPMENT, LLC, AS RECORDED IN COUNTY CLERKS FILE NO. (C.C.F.N.) 2021067765 OF THE OFFICIAL PUBLIC RECORDS, BRAZORIA COUNTY, TEXAS (O.P.R.B.C.T.). ALSO BEING A PORTION OF THE NEW YORK AND TEXAS LAND COMPANY SUBDIVISION. AS RECORDED IN VOLUME 26, PAGE 140 OF THE DEED RECORDS, BRAZORIA COUNTY, TEXAS (D.R.B.C.T.), REFERRED TO HEREAFTER AS THE ABOVE REFERENCED TRACT OF LAND, SAID 10.680 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER, BEING ON THE EAST LINE OF THE ABOVE REFERENCED TRACT, SAME BEING ON THE WEST LINE OF A 60' PLATTED RIGHT-OF-WAY (R.O.W.), AS RECORDED IN VOLUME 26, PAGE 140 OF THE D.R.B.C.T., FROM WHICH A 5/8-INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" FOUND AT THE NORTHEAST CORNER OF THE ABOVE REFERENCED TRACT BEARS NORTH 02'52'54" WEST, A DISTANCE OF 915.46 FEFT:

THENCE SOUTH 02°52'54" EAST, ALONG THE EAST LINE OF THE ABOVE REFERENCED TRACT, SAME BEING THE WEST LINE OF SAID 60' PLATTED RIGHT-OF-WAY (R.O.W.), A DISTANCE OF 700.00 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER;

THENCE SOUTH 87"07'48" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 548.43 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE NORTH 02*50'24" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 125.00 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR

THENCE SOUTH 87'07'48" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 38.35 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE NORTH 03'02'49" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE NORTH 08'29'14" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 118.95 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE, OVER AND ACROSS THE ABOVE REFERENCED TRACT, ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 166.39 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID CURVE HAVING A RADIUS OF 400.00 FEET, A CENTRAL ANGLE OF 23°50'03", A CHORD WHICH BEARS SOUTH 70°03'36" WEST A DISTANCE OF 165.20 FEET;

THENCE NORTH 33'17'22" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 180.04 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR

THENCE, OVER AND ACROSS THE ABOVE REFERENCED TRACT, ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 62.31 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID CURVÉ HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 06'09'19", A CHORD WHICH BEARS SOUTH 54'37'14" WEST A DISTANCE OF 62.28 FEET;

THENCE NORTH 38'27'25" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 125.00 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE, OVER AND ACROSS THE ABOVE REFERENCED TRACT, ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 437.96 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID CURVE HAVING A RADIUS OF 705.00 FEET, A CENTRAL ANGLE OF 035'35'36", A CHORD WHICH BEARS NORTH 69'20'23" EAST A DISTANCE OF 430.95 FEET;

THENCE NORTH 87"07'48" EAST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 312.42 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER

THENCE NORTH 02*52'12" WEST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 90.00 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE NORTH 87'07'48" EAST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 14.79 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE, OVER AND ACROSS THE ABOVE REFERENCED TRACT, ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 31.41 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID CURVE HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 89'59'49" A CHORD WHICH BEARS NORTH 42°07'53" EAST A DISTANCE OF 28.28 FEET;

THENCE NORTH 87'07'40" EAST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH CAP, STAMPED "BAKER & LAWSON" SET FOR CORNER:

THENCE, OVER AND ACROSS THE ABOVE REFERENCED TRACT, ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 31.42 FEET TO A 5/8-INCH IRON ROD WITH CAP. STAMPED "BAKER & LAWSON" SET FOR CORNER, SAID CURVE HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 90'00'11", A CHORD WHICH BEARS SOUTH 47'52'07" EAST A DISTANCE OF 28.29 FEET:

THENCE NORTH 87'07'48" EAST, OVER AND ACROSS THE ABOVE REFERENCED TRACT, A DISTANCE OF 135.19 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND, AND CONTAINING 10.680 ACRES OF LAND, MORE OR LESS.

NOTES:

- 2 RESERVE SUBDIVISION.

- 5. SITE BENCHMARK:

- CODFS.
- CITY ENGINEER.

STATE OF TEXAS § COUNTY OF BRAZORIA § KNOWN ALL MEN BY THESE PRESENTS: THAT I, DARREL HEIDRICH, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

DARREL HEIDRICH LAND SURVEYOR NO. 5378

STATE OF TEXAS § COUNTY OF BRAZORIA § COUNCIL.

SIGNED:

1. THE PURPOSE OF THIS PLAT IS TO PLAT THE 10.680 ACRE TRACT INTO A 50 LOT, 3 BLOCK

2. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.

Item 5.

3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.

4. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HEREON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY: MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

TBM "A" BOX CUT IN CONCRETE, TOP OF INLET, SOUTH SIDE OF WEST END OF TIGNER ROAD. ELEVATION = 15.00' NAVD1988, REFERENCE BENCHMARK: NGS MONUMENT: TXAG REF MON 1 PID: DR8248, PUBLISHED ELEVATION: 32.0 FEET. TXDOT ANGLETON.

6. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.

7. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

8. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE. NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR

9. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.

10. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE

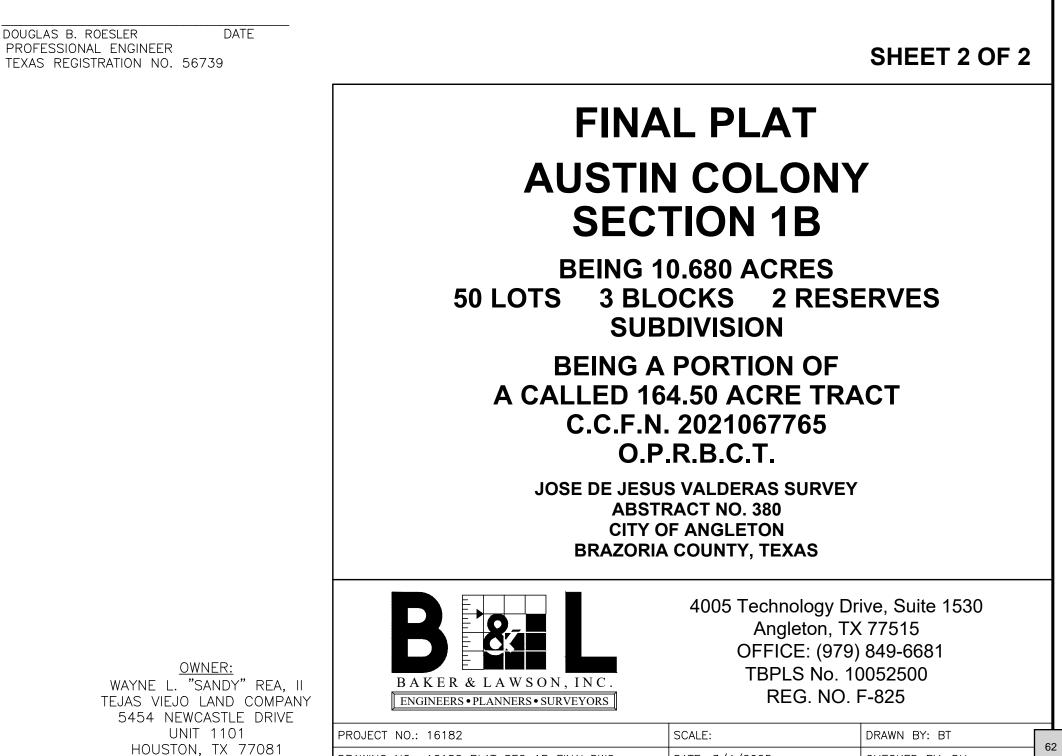
11. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.

12. IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THE MAINTENANCE OF THE RESERVES LOCATED ON THIS PLAT.

13. THE PLATTED PROPERTY LIES WITHIN A TRACT OF LAND (164.5 ACRE TRACT) ANNEXED BY THE CITY OF ANGLETON ON MARCH 9, 2021, CITY ORDINANCE NO. 20210309016

GISTERED PROFESSIONAL LAND SURVEYOR

KNOW ALL MEN BY THESE PRESENTS: THAT I, DOUGLAS B. ROESLER, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN PROVIDED IN THIS PLAT. TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE ANGLETON LDC, EXCEPT FOR ANY VARIANCES THAT WERE EXPRESSLY GRANTED BY THE CITY



DRAWING NO .: 16182 PLAT SEC 1B FINAL.DWG

DATE: 3/4/2025

CHECKED BY: DH

F	D
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N N O 1200 2400 3600 FT GRAPHIC SCALE

CITY OF ANGLETON

CITY COUNCIL

MAYOR JOHN WRIGHT

CITY MANAGER CHRIS WHITTAKER CHRISTIENE DANIEL CECIL BOOTH TERRY ROBERTS TRAVIS TOWNSEND TANNER SARTIN

"Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of their submittal, whether or not the application is reviewed for Code compliance by the City Engineer."

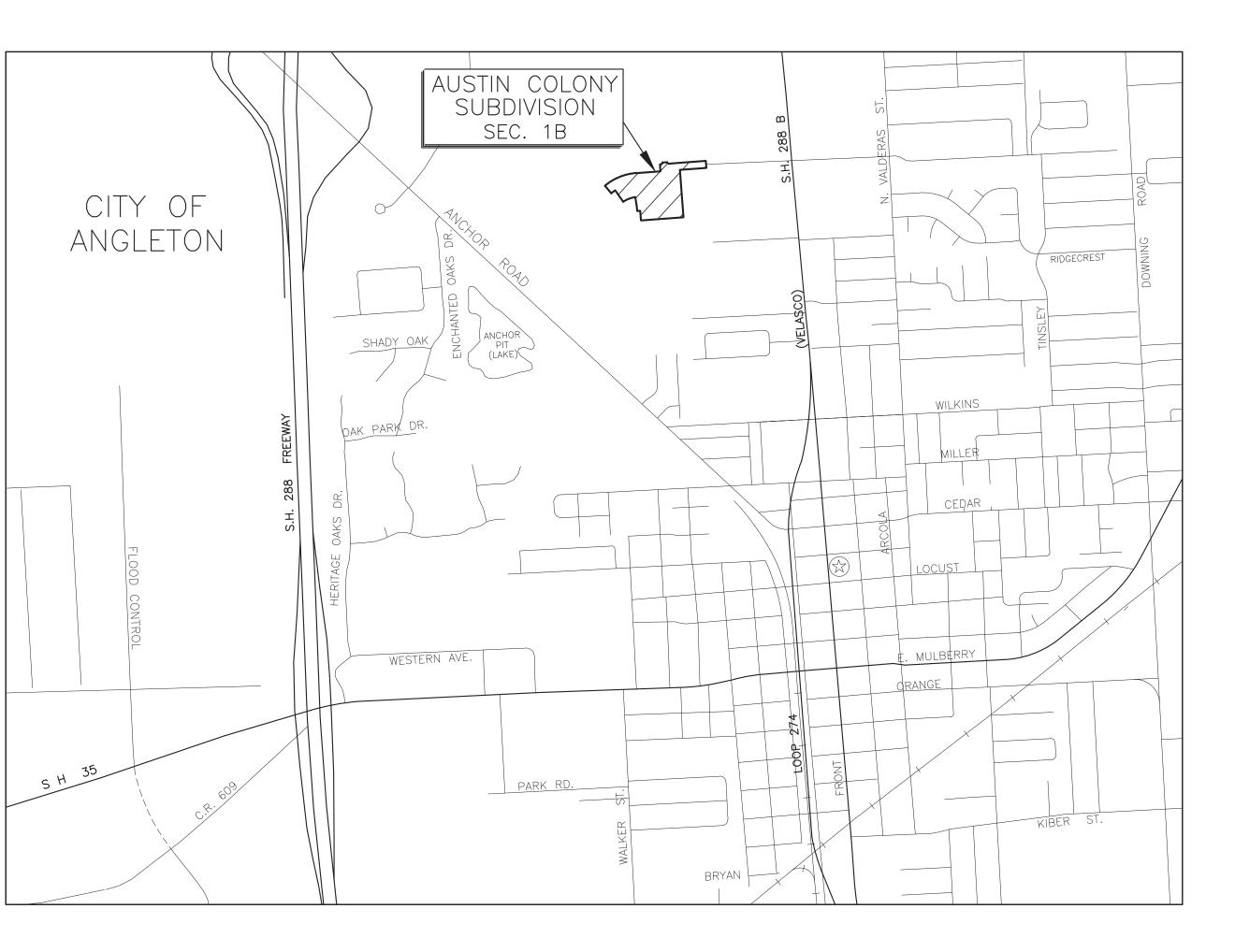
"All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the City of Angleton must rely on the adequacy of the work of the Design Engineer."

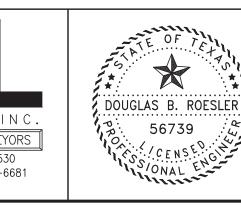
NOTES:

- 1. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
- 2. SITE BENCHMARK: TBM "A" BOX CUT IN CONCRETE, TOP OF INLET, SOUTH SIDE OF WEST END OF TIGNER ROAD. ELEVATION = 15.00' NAVD1988, REFERENCE BENCHMARK: NGS MONUMENT: TXAG REF MON 1 PID: DR8248, PUBLISHED ELEVATION: 32.0 FEET. TXDOT ANGLETON.
- 3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NO. 48039C0440K, REVISED DATE OF DECEMBER 30, 2020, THE SUBJECT TRACT LIES WITHIN ZONE "X" (UNSHADED).

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2 \ENGIN					DESIGNED	DR	
0\16182					DRAWN	BT	
3\16100	NO.	DATE	DESCRIPTION	APPROVED	CHECKED	DR	BAKER & LAWSON, I ENGINEERS • PLANNERS • SURVEY
J:\16000S			REVISIONS		DATE3/7	7/2025	4005 TECHNOLOGY DRIVE, SUITE 15 ANGLETON, TEXAS 77515 (979) 849–6 REG. NO. F–825

PLANS FOR CONSTRUCTION OF PAVING, DRAINAGE AND UTILITIES ON AUSTIN COLONY SUBDIVISION SECTION 1B FOR THE CITY OF ANGLETON BRAZORIA COUNTY B&L JOB No. 16182





The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025 OWNER: Wayne L. "Sandy" Rea, II Tejas Viejo Land Company 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN:
PROFILE:
HORIZONTAL:
VERTICAL:

INDEX OF DRAWINGS

SHEET NO.	SHEET NAME
$ \begin{array}{c} 1 \\ 2 \\ 3 \\ 4 \\ 5 \\ 6 \\ 7 \\ 8 \\ 9 \\ 10 \\ 11 \\ 12 \\ 13 \\ 14 \\ 15 \\ 16 \\ 17 \\ 18 \\ 19 \\ 20 \\ 20 \\ $	TITLE SHEET CONSTRUCTION NOTES HYDROLOGICAL CALCULATIONS WINDSTORM DATA I-1 THRU I-14 EXISTING CONDITIONS PROPOSED GRADING UTILITY LAYOUT DETENTION POND LAYOUT DRAINAGE AREA MAP OFF-SITE DRAINAGE AREA CALCULATIONS CUT AND FILL PLAN SWPPP LAYOUT SWPPP NARRATIVE PAVEMENT MARKING, STREET SIGN AND ROADWAY LIGHTING LAYOUT TRAFFIC CONTROL PLAN - TCP (1-1) - 18 PLAN & PROFILE - TIGNER STREET STA 0+00 TO 5+00 PLAN & PROFILE - TIGNER STREET STA 0+00 TO 5+60 PLAN & PROFILE - CROCKETT STREET STA 0+00 TO 5+00 PLAN & PROFILE - CROCKETT STREET STA 0+00 TO 5+00 PLAN & PROFILE - CROCKETT STREET STA 5+00 TO 7+50 PLAN & PROFILE - MOSES AUSTIN STREET STA 0+00 TO 5+20 PLAN & PROFILE - MOSES AUSTIN STREET STA 5+20 TO 10+40
DETAIL SHEETS	
$\begin{array}{c} 23 \ (\text{SL-02}) \\ 24 \ (\text{SL-03}) \\ 25 \ (\text{SL-04}) \\ 26 \ (\text{SL-05}) \\ 27 \ (\text{SL-06}) \\ 28 \ (\text{SL-09}) \\ 29 \ (\text{SL-10}) \\ 30 \ (\text{SL-11}) \\ 31 \ (\text{SL-12}) \\ 32 \ (\text{SL-13}) \\ 33 \ (\text{SL-14}) \\ 34 \ (\text{SL-15}) \\ 35 \ (\text{SL-16}) \\ 36 \ (\text{SL-16}) \\ 36 \ (\text{SL-19}) \\ 37 \ (\text{SL-20}) \\ 38 \ (\text{SL-21}) \\ 39 \ (\text{SL-22}) \\ 40 \ (\text{SL-23}) \\ 41 \ (\text{SL-25}) \\ 42 \ (\text{SL-26}) \\ 43 \ (\text{SL-27}) \\ 44 \ (\text{SL-32}) \\ 45 \ (\text{SL-33}) \end{array}$	JUNCTION BOX SLOPE END TREATMENT SANITARY SEWER MANHOLE CONSTR. DETAILS SANITARY SEWER CONSTR. DETAILS WATER LINE CONSTRUCTION DETAILS

PROJECT:

Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

TITLE SHEET

PROJECT NO. 16182

2 SHEET SET SEC 1B.DV

ltem 5.

GENERAL	NOTES:

- CONTACT THE ENGINEERING INSPECTORS WITH THE CITY'S DEVELOPMENT SERVICES AT 979-849-4364 PRIOR TO STARTING WORK TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- CONTRACTOR IS RESPONSIBLE FOR HAVING ALL BURIED UTILITIES IDENTIFIED, PROTECTED, REPLACED AND/OR PROPERLY REPAIRED IF DAMAGED. REPAIRS/REPLACEMENT SHALL BE AT CONTRACTOR'S EXPENSE.
- . CONTRACTOR SHALL OBTAIN AND MAINTAIN ON SITE ALL APPLICABLE PERMITS AND AN APPROVED COPY OF THE PLANS AND SPECIFICATIONS. NOTIFY THE CITY'S ENGINEERING DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE CITY'S ENGINEERING DEPARTMENT 24 HOURS PRIOR TO WEEKDAY WORK REQUIRING INSPECTION INCLUDING, BUT NOT LIMITED TO, LIMING, PAVING OPERATIONS, CONCRETE PLACEMENT, FORMING AND SET-UP, DENSITIES, PIPE INSTALLATION, AND ANY TESTING BY LABORATORIES. ENGINEERING DEPARTMENT MAY BE REACHED AT 979-849-4364 OR BY CONTACTING THE ASSIGNED INSPECTOR.
- ALL SATURDAY WORK SHALL BE REQUESTED, IN WRITING, WITH THE CITY'S PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS IN ADVANCE. SUNDAY AND HOLIDAY WORK REQUIRES 72 HOUR WRITTEN REQUESTS AND MUST BE APPROVED BY THE CITY PUBLIC WORKS DIRECTOR. REQUIRED INSPECTIONS MAY BE SUBJECT TO INSPECTION FEES. NON-NOTIFICATIONS MAY RESULT IN NON-COMPLIANCE, WORK ORDERED STOPPAGE AND DOUBLE INSPECTION FEES.
- . FULL-TIME RESIDENT INSPECTION BY THE PROJECT ENGINEER'S REPRESENTATIVE SHALL BE PROVIDED AT ALL CRITICAL POINTS OF CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY OF ANGLETON.
- FOLLOW-UP INSPECTIONS OF ALL PUBLIC INFRASTRUCTURE SHALL BE SCHEDULED WITHIN 60 DAYS OF THE INITIAL INSPECTION. COMPLETE RE-INSPECTION AND A NEW PUNCH LIST MAY BE REQUIRED AFTER THE 60 DAY PERIOD.
- . DESIGN AND CONSTRUCTION SHALL CONFORM TO THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS LAND DEVELOPMENT CODE AND ANGLETON CONSTRUCTION MANUAL, CURRENT EDITION (ANGLETON LDC).
- D. ALL STATIONS ARE CENTERLINE OF STREET RIGHT-OF-WAY UNLESS OTHERWISE NOTED ON THE PLANS EXCEPT IN SIDE OR BACK LOT EASEMENTS WHERE CENTERLINE IS CENTER OF PIPE. IN EASEMENTS WHERE SANITARY AND STORM SEWER ARE PRESENT PARALLEL, STATIONS SHALL BE BASED ON CENTERLINE OF SEWER PIPING.
- . ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ANY DRAINAGE AREA OR STRUCTURE DISTURBED, DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF ANGLETON. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ANGLETON DESIGN STANDARDS. IF NON-COMPLIANCE OCCURS, CONTRACTOR SHALL REMEDY IMMEDIATELY AT THEIR OWN EXPENSE.
- 1. ANY POLLUTION CONTROL DEVICE, SOD, OR SEEDED AREA DAMAGED, DISTURBED, OR REMOVED SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR WATERING ANY SEED OR SOD WHICH THE CONTRACTOR HAS INSTALLED UNTIL ADEQUATE GROWTH IS ACHIEVED TO PREVENT
- 2. STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM WATER QUALITY MANUAL OF THE CITY OF ANGLETON.
- 13. ANY MATERIALS OR WORKMANSHIP NOT MEETING OR EXCEEDING CITY OF ANGLETON STANDARDS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- 14. THE CONTRACTOR SHALL KEEP THE STREETS, RIGHT OF WAY, AND WORK AREA CLEAN OF DIRT, MUD, AND DEBRIS. CLEAN DAILY OR AS REQUIRED BY CITY STAFF.
- 15. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL REQUIRED TRAFFIC SAFETY CONTROL DEVICES UP TO AND INCLUDING FLAGMEN OR POLICE OFFICERS, IF DEEMED NECESSARY BY THE CITY OF ANGLETON.
- 16. THE CONTRACTOR SHALL CONTACT THE CITY AS APPROPRIATE TO OPERATE EXISTING UTILITIES AND PRIOR TO MAKING TIE-INS. 17. ALL BACKFILL WITHIN PUBLIC RIGHTS OF WAY OR EASEMENTS SHALL BE COMPACTED
- TO 95% STANDARD PROCTOR DENSITY (IN 8 INCH LIFTS) AND TESTED FOR $\pm 3\%$ OPTIMUM MOISTURE BY AN APPROVED LAB. 18. IT IS PERMISSIBLE TO USE A BACKHOE FOR TRENCH EXCAVATION IN LIEU OF A
- TRENCHING MACHINE. 19. THE CONTRACTOR SHALL NEVER UNLOAD ANY TRACK TYPE VEHICLE OR EQUIPMENT
- ON ANY EXISTING PAVEMENT OR CROSS OVER ANY EXISTING PAVEMENT OR CURB. 20. ALL FINISH GRADES ARE TO CONFORM TO A MINIMUM SLOPE OF 1% POSITIVE DRAINAGE.
- 21. CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT ALL "POINT TIE-INS OR CROSSING" TO DETERMINE IF CONFLICTS EXIST BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICT.

22. ALL FINISHED GRADES SHALL VARY UNIFORMLY BETWEEN FINISHED ELEVATIONS.

- 23. ALL TESTING PROCEDURES SHALL CONFORM TO THE CITY OF ANGLETON STANDARDS. THE INITIAL TESTING EXPENSE SHALL BE BORNE BY THE OWNER. IF ANY OF THE TESTS DO NOT MEET THE TESTING STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE OR REPLACE SUCH MATERIAL SO THE TESTING STANDARDS CAN BE MET. ADDITIONAL TESTING TO MEET COMPLIANCE SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 24. CONTRACTOR SHALL PROVIDE SHEETING, SHORING, AND BRACING AS NECESSARY TO PROTECT WORKMEN AND EXISTING UTILITIES DURING ALL PHASES OF CONSTRUCTION AS PER OSHA REQUIREMENTS.
- 25. ALL MATERIALS AND WORKMANSHIP NOT GOVERNED BY CITY STANDARDS SHALL CONFORM TO THE LATEST VERSION OF THE TXDOT STANDARD SPECIFICATIONS AND THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND ANY REVISIONS
- 26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING AND PROTECTING ALL MATERIALS AND EQUIPMENT STORED ON THE JOBSITE IN A SAFE AND WORKMAN-LIKE MANNER (DURING AND AFTER WORKING HOURS), UNTIL JOB COMPLETION.
- THE LOADING AND UNLOADING OF ALL PIPE, VALVES, HYDRANTS, MANHOLES, AND OTHER ACCESSORIES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PRACTICES AND SHALL BE PERFORMED WITH CARE TO AVOID ANY DAMAGE TO THE MATERIAL. THE CONTRACTOR SHALL LOCATE AND PROVIDE THE NECESSARY STORAGE AREAS FOR MATERIAL AND EQUIPMENT.
- 28. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, AND LABOR FOR EXCAVATION, INSTALLATION, AND COMPLETION OF THE PROJECT AS SHOWN ON THE
- 29. PRIVATE UTILITIES (PHONE, CABLE TV, ELECTRICITY, ETC.) WILL BE INSTALLED WITHIN DEDICATED UTILITY EASEMENT. 30. PLANS DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE
- SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE REGISTERED PROFESSIONAL ENGINEER(S) HEREON DOES NOT EXTEND TO ANY SUCH SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THE PLANS. THE CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING CURRENT OSHA STANDARDS FOR TRENCH SAFETY SYSTEMS, SEALED BY A LICENSED PROFESSIONAL ENGINEER. APPROPRIATE TRENCH SAFETY PLANS SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO EXECUTION OF A CONTRACT FOR HIS WORK.
- CONCRETE/PAVING NOTES:
- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND AUTHORIZATION REQUIRED BY CITY OF ANGLETON. 2. CONTRACTOR IS RESPONSIBLE FOR HAVING ALL BURIED UTILITIES IDENTIFIED,
- PROTECTED, REPLACED AND/OR PROPERLY REPAIRED IF DAMAGED. REPAIRS/REPLACEMENT SHALL BE AT CONTRACTOR'S EXPENSE.
- 3. PAVING CONTRACTOR SHALL PROTECT WATER, SEWER, AND DRAINAGE FACILITIES AND WILL REPLACE ANY DAMAGED FACILITIES AT CONTRACTORS OWN EXPENSE. ALL MANHOLES AND VALVES WITHIN THE PAVEMENT AREA SHALL BE ADJUSTED TO FINISH GRADE BY THE PAVING CONTRACTOR WITH THE USE OF APPROVED BLOCKOUTS.
- 4. ALL PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF ANGLETON DESIGN STANDARDS, APPROVED PLANS AND SPECIFICATIONS WITH THE LATEST REVISIONS OR

DESCRIPTION

REVISIONS

- AMENDMENTS. IN THE EVENT OF A CONFLICT, THE CITY OF ANGLETON DESIGN STANDARDS SHALL GOVERN. 5. PAVING CONTRACTOR SHALL PROVIDE AND MAINTAIN SILT PROTECTION FENCES ON ALL
- STAGES OF CURB INLETS. 6. EXISTING PAVEMENTS, CURBS, SIDEWALKS, DRIVEWAYS, PERIMETER DITCHES & ADJOINING PROPERTIES ETC., DAMAGED OR REMOVED DURING CONSTRUCTION SHALL
- BE REPLACED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. 7. CONDITION OF THE WORK AREA (INCLUDING ROADS, RIGHT OF WAYS, ETC.) UPON COMPLETION OF THE JOB SHALL BE AS GOOD OR BETTER THAN THE CONDITION PRIOR TO STARTING THE WORK.
- 8. ALL DRIVEWAYS WILL BE LOCATED TO AVOID EXISTING CURB INLET STRUCTURES.
- 9. REDWOOD AND KEYWAYS SHALL NOT INTERSECT WITHIN 2 FEET OF AN INLET. 10. AT INITIAL AND FINAL INSPECTIONS THE PAVEMENT WILL BE FLOODED TO CHECK FOR
- BIRDBATHS AND CRACKS. FLOODING OF STREETS SHALL OCCUR 1 HOUR PRIOR TO INSPECTION. 11. ALL CONCRETE PLACED SHALL BE UNIFORMLY SPRAYED WITH A WHITE MEMBRANE
- CURING COMPOUND AT AN UNDILUTED RATE OF 200 SF/GALLON OR RATE NOTED PER MANUFACTURE RECOMMENDATIONS IF LESS THAN NOTED. DESCRIBED IN ITEM 526 IN THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. IMPROPER APPLICATION WILL RESULT IN THE REJECTION OF THE CONCRETE.
- 12. SIX INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH GRADE 60, #4 REBAR, 24 INCH C-C EACH WAY IS THE MINIMUM ACCEPTABLE CONSTRUCTION FOR LOCAL STREETS
- 13. SEVEN INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH GRADE 60, #4 REBAR. 18 INCH C-C EACH WAY IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS.
- 14. EIGHT INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH GRADE 60, #4 18 INCH C-C EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS."
- 15. ALL RETURNS SHALL HAVE A MINIMUM 25 FOOT RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
- 16. ALL INTERSECTIONS SHALL BE CONSTRUCTED WITH WHEELCHAIR RAMPS IN ACCORDANCE WITH THE TEXAS ACCESSIBILITY STANDARD, THE AMERICAN DISABILITIES ACT, AND THE CITY OF ANGLETON STANDARDS (LATEST REVISIONS). (NO BLOCKOUTS).
- 17. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITHIN EACH STREET RIGHT OF WAY IN ACCORDANCE WITH CITY OF ANGLETON, THE ADA, AND THE TAS STANDARDS (LATEST REVISIONS).
- 18. CRACKS LARGER THAN 1/16 INCH ARE NOT ACCEPTABLE IN NEW PAVEMENT. CRACKS 1/16 INCH OR LESS SHALL BE ADDRESSED ON AN INDIVIDUAL BASIS BY DRILL AND ÉPOXY INJECTION, SUBJECT TO APPROVAL OR REJECTION.
- 19. PROPER TESTING AND LAB DOCUMENTATION IS REQUIRED. FAILURE TO MEET THE MINIMUM PAVEMENT REQUIREMENTS WILL RESULT IN THE REJECTION OF SAID PAVEMENT. IMMEDIATE REMOVAL AND REPLACEMENT OF SUBSTANDARD PAVEMENT SECTIONS WILL BE NECESSARY TO SATISFY THESE REQUIREMENTS.
- 20. FOUR CONCRETE CYLINDERS, SLUMP, AND AIR ENTRAINMENT TESTS ARE REQUIRED FOR FACH 100 CUBIC YARDS OF CONCRETE PAVING WITH A MINIMUM OF ONE SE OF 4 PER PLACEMENT. THE CITY OF ANGLETON RESERVES THE RIGHT TO REQUEST ANY ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE, IF ANY MATERIAL APPEARS BELOW STANDARDS.
- 21. NO 3 REBAR, 18 INCH C-C EACH WAY IS THE MINIMUM ACCEPTABLE FOR SIDEWALKS. NUMBER 4 REBAR, 24 INCH C-C EACH WAY IS THE MINIMUM ACCEPTABLE FOR COMMERCIAL APPROACHES, WHEELCHAIR RAMPS, RESIDENTIAL APPROACHES AND DRIVEWAYS.
- 22. COLD WEATHER PRECAUTIONS. CONCRETE PAVEMENT SHALL NOT BE PLACED WHEN THE AMBIENT TEMPERATURE IS 40°F AND FALLING. CONCRETE MAY BE PLACED IF THE AMBIENT TEMPERATURE IS 35°F AND RISING. CONTRACTOR SHALL PROVIDE AN APPROVED COVERING MATERIAL (COTTON MATS, POLYETHYLENE SHEETING, ETC.) IN THE EVENT TEMPERATURE SHOULD FALL BELOW 32°F. NO SALT OR OTHER CHÉMICALS SHALL BE ADDED TO CONCRETE TO PREVENT FREEZING.
- 23. HOT WEATHER PRECAUTIONS. NO CONCRETE PAVEMENT MIXTURE SHALL BE PLACED IF THE MIXTURE TEMPERATURE IS ABOVE 95°F. AIR AND WATER REDUCER ARE REQUIRED IF MIXTURE TEMPERATURE REACHES 85°F OR ABOVE.
- 24. IF NO AIR AND WATER REDUCER HAS BEEN ADDED, NO CONCRETE SHALL BE PLACED IF MORE THAN 60 MINUTES PAST BATCH TIME. IF AIR AND WATER REDUCER HAS BEEN ADDED, NO CONCRETE SHALL BE PLACED IF MORE THAN 90 MINUTES PAST BATCH TIME
- 25. STRUCTURE TEMPERATURES AND TIMING FOR CONCRETE PLACEMENT MAY VARY. REFER TO CURRENT TXDOT STANDARDS ITEM 420 FOR DETAILS.
- 26. TRANSVERSE EXPANSION JOINTS AND STAKES SHALL BE OF SOUND REDWOOD AND PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 59 FEET 6 INCH. EXPANSION JOINTS SHALL BE CLEANED, WIRE BRUSHED, BLOWN OR FLAME DRIED SEALED WITH AN APPROVED LIST RUBBERIZED HOT LAID ASPHALT JOINT AND CRACK SEALANT OR A TWO (2) COMPONENT POLYMERIC SELINEAR FEET LEVELING COLD APPLIED SEALANT.
- 27. CONTROL JOINTS SHALL BE PLACED AT 20 FEET C-C.
- 28. EXPANSION JOINT LAYOUT FOR INTERSECTIONS SHALL BE PROVIDED BY ENGINEER FOR CITY APPROVAL.
- 29. NO WIRE MESH IS ALLOWED IN ANY CONCRETE.
- 30. ALL REBAR SHALL BE 100% TIED. OVERLAPS SHALL BE 36 TIMES BAR DIAMETERS, DOUBLE TIED MINIMUM. REINFORCED STEEL GRADE 60 WITH A MINIMUM 60% COVERAGE. USE PLASTIC CHAIRS TO SUPPORT REINFORCEMENT AT 24 INCH SPACING EACH WAY.
- 31. ALL NEW CURB REQUIRES 3,500 PSI @ 28 DAYS. 4 CONCRETE CYLINDERS, SLUMP, AND AIR ENTRAINMENT TESTS ARE REQUIRED FOR EACH 50 CUBIC YARDS OF CONCRETE CURB WITH A MINIMUM OF ONE SET OF 4 PER PLACEMENT.
- 32. A CITY APPOINTED INSPECTOR OR ENGINEER MUST BE PRESENT ON ALL PROOF ROLLS, LIME DEPTH CHECKS AND DENSITY TESTS AND MUST BE CONTACTED AT LEAST 24 HOURS PRIOR TO THE TEST. PRIOR TO CONCRETE PLACEMENT CONTRACTOR SHALL PRESENT A CERTIFIED COPY OF TOP OF FORM GRADES TO THE ENGINEER FOR REVIEW AND APPROVAL. ELEVATION OF FORMS SHALL BE RECORDED AT 10 FOOT INTERVALS. ADJUSTMENTS TO FORMS SHALL BE COMPLETE 12 HOURS PRIOR TO CONCRETE PLACEMENT. 33. CONCRETE MIX DESIGN MUST BE SENT TO THE ENGINEER FOR APPROVAL A MINIMUM
- 72 HOURS BEFORE THE FIRST CONCRETE POUR.
- 34. FOR A REGULAR MIX, SLUMP SHALL BE A MAXIMUM OF 5 INCHES. FOR A MIX WITH A WATER REDUCER, SLUMP SHALL BE A MAXIMUM OF 6 INCHES.
- 35. VEHICLES OF ALL TYPES ARE PROHIBITED FROM DRIVING ON NEW PAVEMENTS 7 DAYS AFTER THE CONCRETE POUR AND UNTIL THE CONCRETE HAS REACHED A MINIMUM OF 3.000 PSI. PAVEMENT PROTECTION SUCH AS A DIRT LAYER OF AT LEAST 12 INCHES IS REQUIRED FOR TRACK EQUIPMENT AT PAVEMENT CROSSINGS 36. IN LIEU OF MECHANICALLY CONTROLLED VIBRATORS CONTROLLED BY A SLIP FORM
- PAVING MACHINE, USE OF AN APPROVED VIBRATING SCREED WILL BE REQUIRED. AT INTERSECTIONS AND SMALL AREAS WHERE A VIBRATORY SCREED CAN NOT BE USED, A HAND VIBRATOR OR "JITTERBUG" SHALL BE REQUIRED.
- 37. ALL EXPOSED JOINTS SHALL BE EDGED AS NOTED ON DETAILS. SURFACE SHALL BE TYPICALLY A BELT FINISH OR BROOM FINISH (COARSE, MEDIUM OR LIGHT) AS REQUIRED BY THE APPLICATION AND DIRECTED BY THE ENGINEER.
- 38. ALL PAVEMENT MARKINGS TO BE DONE IN CONFORMANCE WITH THE LATEST VERSION OF TMUTCD AND TXDOT STANDARD SPECIFICATIONS AND ANY REVISIONS THERETO.
- 39. BB INDICATES ROAD WIDTH TO BACK OF CURB. CURB RADII ARE TO BACK OF CURB. T.C. INDICATES TOP OF CURB ELEVATIONS (BASED ON 4 INCH CURB UNLESS

CEMENT STABILIZED SAND:

OTHERWISE NOTED).

- 1. ALL STABILIZED SAND SHALL HAVE A MINIMUM CEMENT CONTENT OF 1.5 SK PER CUBIC
- 2. CEMENT STABILIZED SAND (CSS) SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 100 PSI WITHIN 48 HOURS

	DESIGNED DR	
	DRAWN BT	
APPROVED	CHECKED DR	BAKER & LAWSON, INC.
<u></u>	DATE	ENGINEERS • PLANNERS • SURVEYORS 4005 TECHNOLOGY DRIVE, SUITE 1530 ANGLETON, TEXAS 77515 (979) 849–6681 REG. NO. F-825

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- 3. ANY CSS THAT DOES NOT MEET THE MINIMUM COMPRESSIVE STRENGTH OR MINIMUM CEMENT CONTENT SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- 4. A MINIMUM OF 2 RANDOM SAMPLES SHALL BE TAKEN EACH WEEK. THE CITY ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL TESTS, AT THE OWNER'S EXPENSE, IF IT IS DEEMED NECESSARY
- 5. ALL CSS SHALL BE COMPACTED IN LIFTS NOT TO EXCEED 8-INCHES IN DEPTH. CSS SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95%.
- BANK SAND:
- 1. BANK SAND IS DEFINED AS A WELL-GRADED SAND, FREE OF SILT, CLAY, FRIABLE OR SOLUBLE MATERIALS AND ORGANIC MATER, MEETING THE UNIFIED SOILS CLASSIFICATIONS SYSTEM GROUP SYMBOL SW CRITERIA WITH A PLASTICITY INDEX OF LESS THAN 10. NO MORE THAN 12% OF MATERIAL CAN PASS THE No. 200 SIEVE.
- LIMING SUBGRADE:
- 1. LIME SHALL BE A "SLURRY" AS PER TXDOT 260 UNLESS SPECIFICALLY RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY ENGINEER.
- 2. ALL LIME SLURRIES SHALL BE FURNISHED AT OR ABOVE THE MINIMUM "DRY SOLIDS" CONTENTS AS APPROVED BY THE ENGINEER.
- 3. SUBGRADES SHALL BE STABILIZED WITH A MINIMUM 6% LIME BY WEIGHT, 8 INCH THICK FOR THE INITIAL MIX TO REDUCE PLASTICITY INDEX (PI) TO 20 OR LESS AS DETERMINED BY THE LIME SERIES. THE FINAL MIX SHALL BE AT 6 INCHES THICK. SUBGRADE TO BE STABILIZED 2 FOOT BACK OF EDGE OF PAVEMENT. SUBGRADE PREPARATION FOR PAVING SHALL INCLUDE PROOF ROLLING. SOFT AREAS TO BI EXCAVATED AND RE-COMPACTED TO ACHIEVE SOIL DENSITY TO PASS PROOF ROLLING.
- 4. LIME DRY SOLID CONTENT TESTS SHALL BE CONDUCTED ON SITE, ONCE PER ONE HUNDRED TONS OF MATERIAL DISTRIBUTED, UNLESS OTHERWISE NOTED.
- 5. THE SUBGRADE SHALL BE SHAPED AND GRADED TO CONFORM TO THE TYPICAL SECTIONS, AS SHOWN ON THE PLANS BY USE OF BLUE TOP STAKES. CITY TO INSPECT INSTALL OF BLUE TOPS & FINAL GRADING PRIOR TO LIME TREATMENT THE EXISTING MATERIAL
- 6. UNLESS APPROVED BY THE CITY ENGINEER, LIME OPERATIONS SHALL NOT BE STARTED WHEN THE AMBIENT AIR TEMPERATURE IS BELOW 40°F AND FALLING. LIMING MAY, WITH APPROVAL, BE STARTED WHEN THE AMBIENT AIR TEMPERATURE IS 35°F AND RISING. LIME SHALL NOT BE PLACED WHEN WEATHER CONDITIONS, IN THE ENGINEER'S OPINION, ARE UNSUITABLE.
- 7. THE SUBGRADE MATERIAL AND SLURRY SHALL BE THOROUGHLY MIXED. ADD WATER AS NECESSARY TO BRING MATERIAL TO THE PROPER MOISTURE CONTENT (±2%) OF OPTIMUM MOISTURE CONTENT AND LEAVE TO CURE USUALLY 3 DAYS (72 HOURS) MINIMUM AS APPROVED BY THE CITY ENGINEER. KEEP LIME TREATED SUBGRADE WATERED DURING CURE PERIOD.
- 8. AFTER CURING, THE SUBGRADE SHALL BE REMIXED UNTIL PULVERIZATION REQUIREMENTS ARE MET, AS PER TXDOT. TEX-101-E, PART III.
 - PERCENT MINIMUM PASSING 1-3/4 INCH SIEVE 100 PERCENT MINIMUM PASSING 3/4 INCH SIEVE 85 PERCENT MINIMUM PASSING NO 4 SIEVE 60
- 9. SIEVE TESTS SHALL BE CONDUCTED EVERY 150 LINEAR FEET ON ALTERNATING LANES OF TRAFFIC OR EVERY 300 LINEAR FEET ON SINGLE LANES AS REQUIRED. AT LEAST ONE TEST SHALL BE CONDUCTED ON EACH ROADWAY OR CUL-DE-SAC.
- 10. THE MATERIAL SHALL BE AERATED OR MOISTENED TO $\pm 2\%$ OPTIMUM PRIOR TO COMPACTION. COMPACTION TO A MINIMUM 95% DENSITY SHALL BEGIN IMMEDIATELY AFTER ALL PULVERIZATION AND MOISTURE REQUIREMENTS ARE MET. THROUGHOUT THIS ENTIRE OPERATION, THE SURFACE SHALL BE SMOOTH AND IN CONFORMITY WITH THE LINES AND GRADES ON THE PLANS.
- 11. WHEN THE SUBGRADE FAILS TO MEET DENSITY REQUIREMENTS OR SHOULD IT LOSE THE REQUIRED STABILITY, DENSITY OR FINISH, IT SHALL BE REWORKED IN ACCORDANCE WITH TXDOT SUBARTICLE 260.4 "REWORKING A SECTION", WHICH MAY REQUIRE AN ADDITIONAL 25% OF THE SPECIFIED LIME AMOUNT.
- 12. THE TREATED SUBGRADE SHALL BE KEPT MOIST AND PREVENTED FROM DRYING. IN THE EVENT OF A 1/2 INCH RAINFALL AND/OR IF THE MATERIAL BECOMES DRY AND IS NOT IN COMPLIANCE WITH THE $\pm 2\%$ OPTIMUM MOISTURE, DENSITY AND MOISTURE TESTS SHALL BE RETAKEN.
- 13. NO SUBGRADE SHALL BE COVERED WITH ANOTHER MATERIAL UNLESS APPROVED BY THE CITY OF ANGLETON AND LIME DEPTH TESTS HAVE BEEN COMPLETED.

STABILIZED CRUSHED CONCRETE:

- TEST AND ANALYSIS OF AGGREGATE AND BINDER MATERIALS WILL BE PERFORMED IN ACCORDANCE WITH ASTM D 1557 AND ASTM D 4318. CEMENT SHALL BE ASTM C 150 TYPF I.
- 2. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES CURRENT EDITION AND CITY OF ANGLETON STANDARDS.
- 3. PRIME COAT SHALL BE MC 30 OR EPR-1 PRIME.
- 4. DESIGN MIX FOR MINIMUM AVERAGE COMPRESSIVE STRENGTH OF 200 PSI IN 48 HOURS. PROVIDE MINIMUM CEMENT CONTENT OF 2 SACK PER TON OF MIX. CEMENT CONTENT MAY BE RAISED AT THE CONTRACTOR'S EXPENSE IF TESTS ON FIELD SAMPLES FALL BELOW 200 PSI.
- 5. THREE SAMPLES SHALL BE MOLDED EACH DAY FOR EACH 300 TONS OF PRODUCTION. COMPRESSIVE STRENGTH SHALL BE THE AVERAGE OF THREE TESTS FOR EACH PRODUCTION LOT. CONTRACTOR SHALL REPLACE, AT CONTRACTORS OWN EXPENSE, ANY MATERIAL BELOW MINIMUM REQUIREMENTS.
- CONTRACTOR SHALL VERIFY LINES, GRADES, AND COMPACTED SUBGRADE AS READY TO RECEIVE MATERIALS PRIOR TO ITS PLACEMENT.
- 7. CEMENT STABILIZED BASE MAY NOT BE PLACED IF AMBIENT TEMPERATURE IS 40°F AND FALLING. BASE MATERIAL MAY BE PLACED IF AMBIENT TEMPERATURE IS 35°F AND
- 8. MATERIAL MAY NOT BE PLACED IN LIFTS EXCEEDING 8 INCHES IN DEPTH. EACH LIFT SHALL HAVE DENSITIES TAKEN.
- 9. CEMENT STABILIZED BASE MAY NOT BE STORED BEYOND A MAXIMUM TIME ALLOWED OF 3 HOURS.
- 10. CEMENT STABILIZED BASE SHALL NOT BE INSTALLED IN WET OR SOFT AREAS.
- 11. COMPACT TO MINIMUM DENSITY OF 95% OF MAXIMUM DRY DENSITY. UNLESS OTHERWISE INDICATED ON DRAWINGS, MOISTURE SHALL BE BETWEEN ±2% OPTIMUM AS DETERMINED BY ASTM D 698.
- 12. AFTER COMPACTING FINAL COURSE, BLADE SURFACE TO FINAL GRADE. ANY IRREGULARITIES, WEAK SPOTS, AREAS OF EXCESSIVE WETNESS, OR SURFACE HAIR LINE CRACKING SHALL BE REPAIRED AND/OR REPLACED AT CONTRACTOR'S EXPENSE.
- 13. A CERTIFIED LAB SHALL BE ON SITE AT ALL TIMES TO TEST AND PROPERLY DOCUMENT THE CONSTRUCTION METHODS AND QUALITY OF MATERIALS.
- 14. COMPACTION TESTING WILL BE PERFORMED IN ACCORDANCE WITH ASTM D 1556 OR ASTM D 2922 AND ASTM D 3017 AT RANDOMLY SELECTED LOCATIONS AS DIRECTED BY CITY OF ANGLETON CONSTRUCTION INSPECTOR.
- 15. A MINIMUM OF ONE CORE SHALL BE TAKEN AT RANDOM LOCATIONS PER 300 LINEAR FEET PER LANE OF ROADWAY OR ONE PER 250 SQUARE YARD, WHICHEVER MAY APPLY AND SHALL BE STAGGERED RELATIVE TO TESTING SITES IN ABUTTING TRAFFIC LANES.
- 16. CURE FOR A MINIMUM OF 7 DAYS BEFORE ADDING ASPHALT PAVEMENT COURSES.
- 17. COVER SURFACE WITH CURING MEMBRANES AT THE FOLLOWING RATES: MC-30:0.15 GAL PER SQUARE YARD, OR EPR-1 PRIME: 0.15 GALLON PER SQUARE YARD. DO NOT USE CUTBACK ASPHALT APRIL 16 TO SEPTEMBER 15. PROTECT THE MEMBRANE
- X DOUGLAS B. ROESLER 56739

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- BY ALLOWING MEMBRANE TO FULLY CURE PRIOR TO PERMITTING TRAFFIC TO DRIVE ON IT
- 18. UNSTABILIZED CRUSHED CONCRETE MAY NOT BE USED ON PUBLIC STREETS, ROADS, OR RIGHTS OF WAY.
- 19. STABILIZED LIMESTONE BASE MAY BE SUBSTITUTED FOR STABILIZED CRUSHED CONCRETE IF SUBMITTED AND APPROVED BY THE ENGINEER.
- STORM SEWER NOTES:
- 1. STORM SEWERS SHALL BE DESIGNED AND CONSTRUCTED WITH CITY OF SUGAR LAND STANDARD CONSTRUCTION SPECIFICATIONS AND IN ACCORDANCE WITH CITY OF SUGAR LAND STANDARD DETAILS SHEET AND LATEST REVISIONS.
- 2. ALL PIPE STORM SEWERS SHALL BE INSTALLED, BEDDED, AND BACKFILLED IN ACCORDANCE WITH CITY OF SUGAR LAND STANDARD DETAIL DRAWINGS.
- 3. ALL CEMENT STABILIZED SAND (CSS) SHALL BE 1.5 SACK PER CUBIC YARD. AND MEET MINIMUM CSS STANDARDS COMPACTED TO 95%.
- 4. ALL PROPOSED PIPE STUB-OUTS FROM MANHOLES OR INLETS ARE TO BE PLUGGED WITH 8 INCH BRICK WALLS WITH FULL MORTAR HEAD AND BED JOINTS AND GROUTED WITH A MINIMUM OF 1/2 INCH NON-SHRINK GROUT INSIDE AND OUTSIDE, UNLESS OTHERWISE NOTED.
- 5. RIM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE THE FINISH GRADE AT EACH LOCATION AFTER CONTRACTOR HAS COMPLETED FINAL GRADING. SLOPED FILL SHALL BE ADDED FOR STORM WATER DRAINAGE AWAY FROM RIM.
- 6. RIM ELEVATIONS SHALL BE PROPERLY ADJUSTED TO GRADE IN PAVEMENT AND SIDEWALKS. APPROVED BLOCKOUTS SHALL BE USED IN PAVEMENT.
- 7. ALL STORM SEWER MANHOLE COVERS MUST INCLUDE "STORM SEWER" AND "DUMP NO WASTE", "DRAINS TO WATERWAYS" WITH CITY OF ANGLETON EMBLEM AS DEPICTED IN THE DETAIL SHEETS.
- 8. MINIMUM STORM SEWER SIZE SHALL BE 18 INCH DIAMETER. ALL STORM SEWER PIPES 18 INCH AND LARGER ARE TO BE REINFORCED CONCRETE PIPE ASTM C-76 CLASS III, INCLUDING INLET LEADS CROSSING UNDER EXISTING OR PROPOSED PAVEMENTS. ALL INLET LEADS SHALL BE 18 INCH RCP OR LARGER. ALL STORM SEWER PIPE SHALL BE RUBBER GASKETED. ALL CMP PIPE SHALL BE IN ACCORDANCE WITH COSL APPROVED PRODUCT LIST AND STANDARD DETAILS.
- 9. CONTRACTOR SHALL VERIFY FINAL GRADE PRIOR TO FINAL STAGE OF MANHOLE CONSTRUCTION.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY, STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS OF WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.
- 11. CONTRACTOR TO PROVIDE A MINIMUM OF 12 INCHES CLEARANCE AT UTILITY CROSSINGS UNLESS OTHERWISE SPECIFIED ON PLANS.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, MAINTAINING, AND RESTORING ANY DRAINAGE SYSTEM DISTURBED AS A RESULT OF CONTRACTORS WORK.
- 13. ALL DITCHES SHALL BE RESTORED TO PROPOSED ELEVATIONS TO INSURE PROPER DRAINAGE. ALL OUTFALLS SHALL BE COMPACTED AND ALL DISTURBED AREAS SHALL BE RE-SEEDED OR SODDED WITHIN 10 WORKING DAYS OF EACH OCCURRENCE (NO SEPARATE PAY).
- 14. THE UTILITY CONTRACTOR SHALL ROUGH CUT ALL ROADSIDE SWALES IN PROPER ALIGNMENT AND SLOPE TO WITHIN 0.2 FEET. OF FINISH GRADE. THE PAVING CONTRACTOR. UPON COMPLETION OF PAVING, SHALL COMPLETE FINAL GRADING ALIGNMENT OF SWALES AND RESTORE ALL AREAS WITHIN RIGHT-OF-WAY FOR SEEDING OR SODDING AND FERTILIZATION.
- 15. ALL STORM SEWERS MUST BE CLEAN/FREE OF DIRT AND DEBRIS BEFORE FINAL ACCEPTANCE.
- SANITARY SEWER NOTES:
- SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS SHALL BE DESIGNED AND CONSTRUCTED AS PER THE REQUIREMENTS OF THE CITY OF ANGLETON LDC AND CORRESPONDING STANDARD CONSTRUCTION DETAILS SHEETS AND AS PER THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY "DESIGN CRITERIA FOR SEWERAGE SYSTEMS". SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND/OR INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF ANGLETON LDC SHALL GOVERN.
- 2. ALL MATERIALS AND PRODUCTS USED IN THE CONSTRUCTION OF SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS SHAL COMPLY WITH THE CITY OF ANGLETON LDC AND THE CURRENT APPROVED PRODUCTS
- 3. STACKS SHALL BE BUILT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ANGLETON LDC. EXACT LOCATION OF THE STACK SHALL BE SUPPLIED BY THE PROJECT ENGINEER (BAKER & LAWSON) ON SEALED AS-BUILT DRAWINGS AT COMPLETION OF CONSTRUCTION.
- 4. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED IN ACCORDANCE WITH THE DETAILS AT THE TIME OF CONSTRUCTION. BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE.
- 5. LOCATION OF SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED PER DRAWINGS MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF 1 FOOT FROM BACK OF CURB, MEASURED FROM OUTSIDE DIAMETER OF MANHOLE RING. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS. BRICK MANHOLES AND FIBERGLASS MANHOLES ARE PROHIBITED. MANHOLES DEEPER THAN EIGHT FEET SHALL HAVE ECCENTRIC CONFS.

CITY OF ANGLETON STANDARD CONSTRUCTION DETAILS SHEETS.

RUNOFF TO THE SANITARY SEWER SYSTEM.

THAN NINE FEET CANNOT BE MAINTAINED.

CRITERIA FOR SEWERAGE SYSTEMS".

OWNER:

Wayne L. "Sandy" Rea, II

Tejas Viejo Land Company

5454 Newcastle Drive Unit# 1101

Houston, Texas 77081

waynerea@swbell.net (713) 993-6453

6. SANITARY SEWER MANHOLE COVERS SHALL BE MINIMUM OF 32 INCHES IN DIAMETER.

7. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. UTILITY

ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF ANGLETON EMBLEM AND THE

WORDS "ANGLETON" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN

CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE.

AND 0.5 FEET ABOVE NATURAL GROUND WITHIN RIGHTS OF WAY AND EASEMENTS AT

GRADING. THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE

EACH MANHOLE LOCATION AFTER PAVEMENT CONTRACTOR HAS COMPLETED FINAL

GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER

8. MINIMUM SEPARATION DISTANCES AS REQUIRED BY TCEQ SECTION 317.13, APPENDIX

E MUST BE MAINTAINED BETWEEN POTABLE WATER LINES AND SANITARY SEWERS.

INSTALLATION OF FIRE HYDRANTS WITHIN NINE FEET OF A SANITARY SEWER SYSTEM IS

REQUIREMENTS OF OTHER INSTALLATIONS WHERE SEPARATION DISTANCES OF GREATER

PLAN:

PROFILE:

VERTICAL:

HORIZONTAL:

FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS.

PROHIBITED. REFER TO THE ANGLETON LDC INFRASTRUCTURE STANDARDS AND

9. TESTING OF SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND

10. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY

CORRESPONDING STANDARD CONSTRUCTION DETAILS SHEETS FOR CONSTRUCTION

	O BACKFILLING OF PIPING IN TRENCH. CONTRACTOR SHALL NOT COVER PIPING UNTIL	Т	YPICAL ABBREVIATIONS
	SUCH TIME AS INSPECTOR HAS NOTIFIED CONTRACTOR THAT RESULTS OF PIPING NSPECTION ARE SATISFACTORY AND THAT BACKFILLING MAY BE ACCOMPLISHED. ANY	AC	ACRES
F	PIPING INSTALLED AND/OR BACKFILLED WITHOUT INSPECTOR'S SPECIFIC APPROVAL	ASPH BB	ASPHALT CURB BACK TO BACK
	SHALL BE UNCOVERED AT INSPECTOR'S DIRECTION AND INSPECTED ACCORDINGLY.	BC	BACK OF CURB
11 4	ALL COMMERCIAL DEVELOPMENTS WITH A FAR SIDE SANITARY SERVICE LEAD ACROSS	BCCF	BRAZORIA COUNTY CLERKS FILE BRAZORIA COUNTY DEED RECORDS
Т	THE STREET SHALL PROVIDE A 6 INCH RISER AND CLEAR OUT ON THE PROPERTY	BCPR	BRAZORIA COUNTY DEED RECORDS BRAZORIA COUNTY PLAT RECORDS
0	SIDE. PUBLIC MAINTENANCE OF THE FAR SIDE LEAD SHALL END AT THIS RISER.	BFE	BASE FLOOD ELEVATION
WAT	ER DISTRIBUTION NOTES:	BL BLVD	BUILDING LINE BOULEVARD
		BM	BENCHMARK
	VATER MAINS, WATER SERVICE LINES AND ASSOCIATED APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED AS PER REQUIREMENTS OF THE ANGLETON LDC DESIGN	BOV	BLOW-OFF VALVE
S	TANDARDS AND CORRESPONDING STANDARD CONSTRUCTION DETAILS SHEETS AND AS	CC CCEW	CENTER TO CENTER CENTER TO CENTER EACH WAY
	YER THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED	CCFN	COUNTY CLERK FILE NUMBER
	CONSTRUCTION DRAWINGS AND/OR INFORMATION INCLUDED IN PROJECT	CF CFS	CUBIC FEET CUBIC FEET PER SECOND
		CL	CENTERLINE
	ALL MATERIALS AND PRODUCTS USED IN THE CONSTRUCTION OF WATER MAINS, WATER	CO	CLEAN OUT
L	DC DESIGN STANDARDS AND THE CURRENT APPROVED PRODUCTS LIST AS	CONC	CONCRETE CEMENT STABILIZED SAND
N	IAINTAINED BY THE CITY'S ENGINEERING DEPARTMENT.	CY	CUBIC YARDS
3. A	ALL GATE VALVES INSTALLED BELOW GRADE SHALL BE OF NON-RISING STEM DESIGN.	DA	DRAINAGE AREA
4. A	ALL FIRE HYDRANTS SHALL BE PAINTED AND/OR REPAINTED WITH GREEN BONNET	DBL	DOUBLE DRAINAGE EASEMENT
F	POLYURETHANE ENAMEL MANUFACTURED BY GEO-GLEN ENTERPRISES, INC, SURFACE PREPARATION SHALL INCLUDE REMOVAL OF OIL, GREASE AND MOISTURE, FOLLOWED	DI	DUCTILE IRON
E	3Y MEDIA BLASTING TO SSPC-SP15-10-63 SPECIFICATIONS (NEAR WHITE METAL) AS	DIA	DIAMETER
F	PER MANUFACTURER'S RECOMMENDATIONS. PRIME BARE METAL WITH TP-251 EPÓXY PRIMER EPOXY PRIMER OR WITH TP-221, TP-231 OR TP-241 UNIVERSAL PRIMER.	E	EASTING/EAST
Т	EMP OF 80°F AND 50% RELATIVE HUMIDITY ARE OPTIMAL CONDITIONS FOR	EA	EDGE OF ASPHALT
A	APPLICATION OF PRIMER AND PAINT. DO NOT APPLY PRIMER AND/OR PAINT WHEN SURFACE TO BE PAINTED IS LESS THAN 5 FEET ABOVE THE DEW POINT IN ORDER	EL ESMT	ELEVATION
Т	O PREVENT MOISTURE FROM CONDENSING ON THE SURFACE TO BE PRIMED AND/OR	ETC	EXECTRA
	PAINTED. A BLUE TRAFFIC BUTTON SHALL BE INSTALLED ON THE STREET 12 INCHES	EW	EACH WAY
- ۲	ANIMI A SEPARATION DISTANCES AS DECLIDED BY THEN SECTION 317.17 200	EXIST OR EX	EXISTING FINISHED FLOOR
A	AND A REPARATION DISTANCES AS REQUIRED BY TCEQ SECTION 317.13, 290.	FG	FINISHED GRADE
	EWERS, FORCE MAINS, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS. NSTALLATION OF FIRE HYDRANTS WITHIN 9 FEET OF A SANITARY SEWER SYSTEM IS	FH	FIRE HYDRANT
F	PROHIBITED, REFER TO CITY OF ANGLETON STANDARDS FOR CONSTRUCTION REQUIREMENTS OF OTHER INSTALLATIONS WHERE DISTANCES ARE GREATER THAN 9	FL FM	FLOW LINE FORCE MAIN
	EQUIREMENTS OF OTHER INSTALLATIONS WHERE DISTANCES ARE GREATER THAN 9 EET CANNOT BE MAINTAINED.	FND	FOUND
<u>з</u> г	ACH WATER SERVICE LEAD STUB SHALL BE MARKED WITH A PRESSURE TREATED 4 X	FP FPS	FLOODPLAIN FEET PER SECOND
4	FIMBER OR PVC PIPE AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT	FPS	FLOODWAY
	LEVATION OF THE STUB AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH	GFL	GUTTER FLOW LINE
	SIZE NOTED.	GPM GUY	GALLON PER MINUTE GUY WIRE
7. T	ESTING OF WATER MAINS, WATER SERVICE LINES AND ASSOCIATED APPURTENANCES	GV	GATE VALVE
	SHALL BE CONDUCTED AS PER REQUIREMENTS OF AWWA C605-94.	GV&B	GATE VALVE AND BOX
3. C	DISINFECTION OF WATER MAINS, WATER SERVICE LINES AND ASSOCIATED	НВ	HIGH BANK HANDICAP
A	APPURTENANCES SHALL BE CONDUCTED AS PER REQUIREMENTS OF AWWA C651 AND CEQ. NO CONNECTIONS SHALL BE MADE TO EXISTING WATER LINES UNTIL NEWLY	HDPE	HIGH DENSITY POLYETHYLENE PIPE
C	CONSTRUCTED WATER LINES HAVE BEEN THOROUGHLY DISINFECTED, TESTED, FLUSHED,	HGL	HYDRAULIC GRADE LINE
A	AND SAMPLED AND CONNECTION HAS BEEN AUTHORIZED BY THE CITY ENGINEER.	HMAC ID	HOT MIX ASPHALT CONCRETE INSIDE DIAMETER
	ALL WATER PIPING AND BEDDING SHALL BE INSPECTED BY THE CITY INSPECTOR FOR	IN	INCHES
C	CONFORMANCE TO DESIGN STANDARDS PRIOR TO BACKFILLING OF PIPING IN TRENCH.	INT IP	INTERSECTION IRON PIPE
	IOTIFIED CONTRACTOR THAT RESULTS OF PIPING INSPECTION ARE SATISFACTORY AND THAT BACKFILLING MAY BE ACCOMPLISHED. ANY PIPING INSTALLED AND/OR	IR	IRON ROD
E	ACKFILLED WITHOUT INSPECTOR'S SPECIFIC APPROVAL SHALL BE UNCOVERED AT	JB	JUNCTION BOX
	NSPECTOR'S DIRECTION AND INSPECTED ACCORDINGLY. 24 HOUR NOTICE REQUIRED.	L	LENGTH LINEAR FEET
	ALL MECHANICALLY RESTRAINED FITTINGS MUST BE MEGALUG RESTRAINED JOINTS OR	LP	LOOP
A	APPROVED EQUAL.	LT	LEFT
11. T	HE CITY OF ANGLETON MUST HAVE A COPY OF THE BACTERIOLOGICAL TEST RESULTS	MAX	MAXIMUM MATCH EXISTING ELEVATION
	AT LEAST 24 HOURS PRIOR TO THE INITIAL INSPECTION. IF NOT, THEN THE NSPECTION WILL BE RESCHEDULED.	MEP	MATCH EXISTING PAVEMENT
		MH	MANHOLE
	TERPOINT ENERGY / ENTEX NOTES	MOD	MODIFIED
<u>CAU</u>	TION: UNDERGROUND GAS FACILITIES	N	NORTHING/NORTH
	TIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY,	NG NO	NATURAL GROUND NUMBER
	ASTATE PIPELINE, LLC (WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE TION ONLY. SERVICE LINES ARE NOT USUALLY SHOWN. OUR SIGNATURE ON THESE	NTS	NOT TO SCALE
PLAN	S ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT	OC OCEW	ON CENTER ON CENTER EACH WAY
CONT	NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE. THE CONTRACTOR SHALL ACT THE UTILITY COORDINATING COMMITTEE AT 979–849–4364 OR 811 A MINIMUM	OD	OUTSIDE DIAMETER
	8 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD TED. WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL	OFST	OFFSET
300-	-752–8036 OR 713–659–2111 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE	OHE	OVERHEAD ELECTRIC OFFICIAL PUBLIC RECORDS
NCH	TION REQUEST BEFORE EXCAVATION BEGINS. WHEN EXCAVATING WITHIN EIGHTEEN ES OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL	OSHA	OCCUPATIONAL SAFETY AND HEALTH
WHEN	VATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES. N CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE BE		
PROV	IDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING. FOR REGENCIES REGARDING GAS LINES CALL 800-659-2111 OR 713-659-2111. THE	POB POC	POINT OF BEGINNING POINT OF COMMENCEMENT
CONT	RACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO	PP	POWER POLE
ACRC	TLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES. ACTIVITIES ON OR ISS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY NO APPROVAL TO USE, CROSS	PPR	POLYPROPYLENE PIPE PROPOSED
	DCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE TERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT	PSI	POUNDS PER SQUARE INCH
	-207–5769.	PVC	POLYVINYL CHLORIDE PIPE
<u>wa</u> r	NING: OVERHEAD ELECTRICAL FACILITIES	PVI PVMT	POINT OF VERTICAL INTERSECTION PAVEMENT
		R	RADIUS
THOS	HEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK E LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR	RCP RED	REINFORCED CONCRETE PIPE REDUCER
TO E	BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE,	ROW	RIGHT OF WAY
IVE	OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING	RT	RIGHT
JNDE	RACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS R THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE	S SAN	SOUTH SANITARY SEWER
FOR	LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO ENERGY AT -866-7456.	SF	SQUARE FEET
		SHLDR	SHOULDER
<u>i EX</u> ,	AS NEW MEXICO POWER NOTES	SHT	SHEET SINGLE
	HEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK	STA	STATION
	E LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE	STM	STORM SEWER
FORE	BIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX FEET OF	SW SY	SIDEWALK SQUARE YARDS
CONT	OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING RACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS	TB OR TOB	TOP OF BANK
JNDE	R THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO POWER AT	TBM	TEMPORARY BENCHMARK
	-866-7456.	TC TEMP	TOP OF CURB TEMPORARY
		TG	TOP OF GRATE OR RIM
		TP	TOP OF PAVEMENT
		TOF	TREE DRECEDIVATION FACES INTO
		TPE TPZ	TREE PRESERVATION EASEMENT TREE PRESERVATION ZONE
		TPZ TS&V	TREE PRESERVATION ZONE TAP SLEEVE AND VALVE
		TPZ TS&V TY	TREE PRESERVATION ZONE TAP SLEEVE AND VALVE TYPE
		TPZ TS&V	TREE PRESERVATION ZONE TAP SLEEVE AND VALVE

WASTEWATER TREATMENT PLANTS SHALL BE CONDUCTED AS NOTED IN SANITARY SEWER CHAPTER OF THE ANGLETON LDC DESIGN STANDARDS AND AS PER THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY "DESIGN

CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY DESIGN STANDARDS PRIOR

PROJECT:

Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

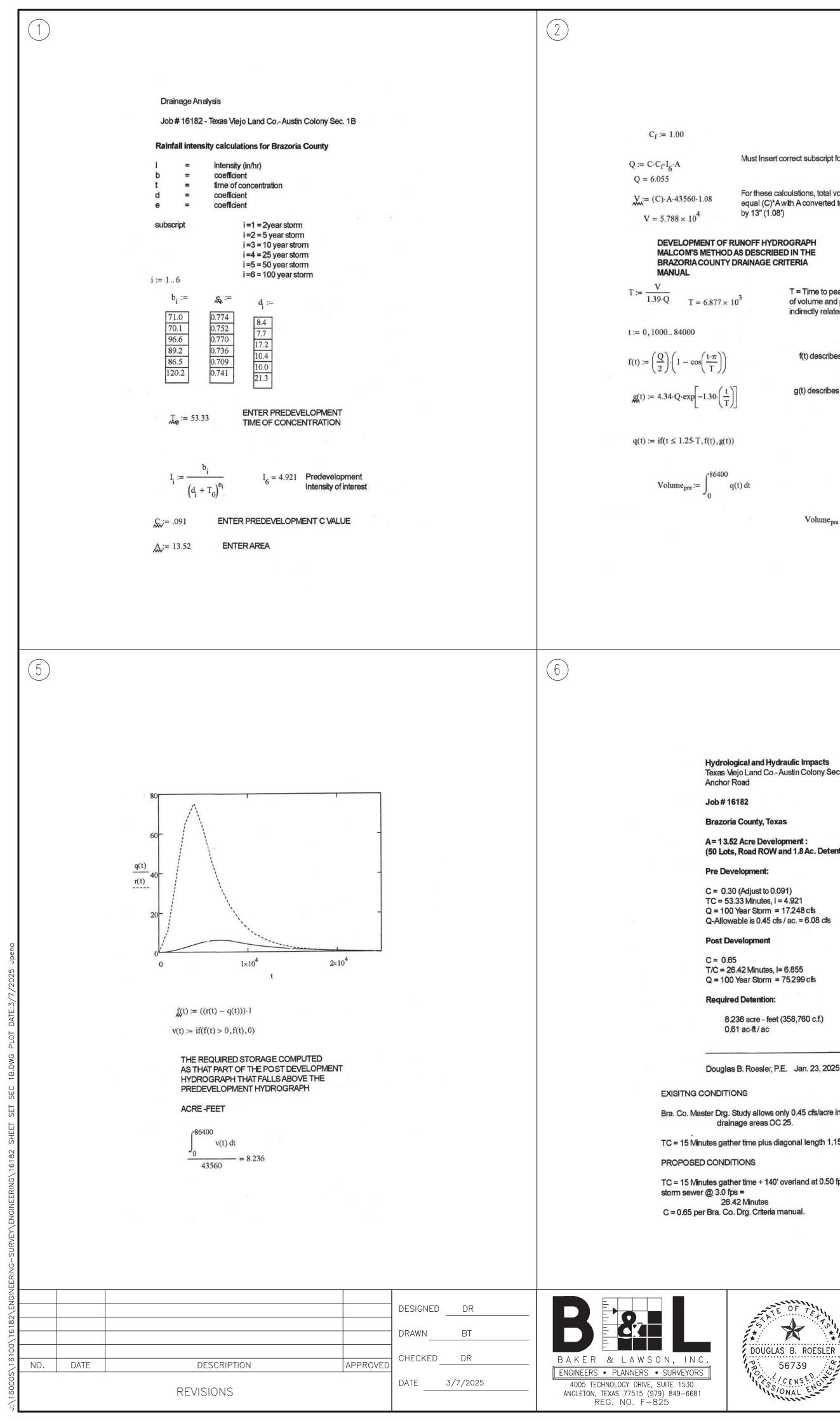
CONSTRUCTION NOTES

WATER LINE

Y-AXIS

YFAR

WATER SURFACE ELEVATION



Must Insert correct subscript for I to obtain the relevant Q

For these calculations, total volume storage is assumed to equal (C)*Awith A converted to square feet multiplied

T = Time to peak, presented as a function of volume and peak flow and therefore indirectly related to time of concentration

f(t) describes rising limb of hydrograph

g(t) describes descending limb of hydrograph

 $Volume_{pre} = 5.808 \times 10^4$

Texas Viejo Land Co.- Austin Colony Sec. 1B

(50 Lots, Road ROW and 1.8 Ac. Detention)

Douglas B. Roesler, P.E. Jan. 23, 2025

Bra. Co. Master Drg. Study allows only 0.45 cfs/acre in this area. This is Oyster Creek

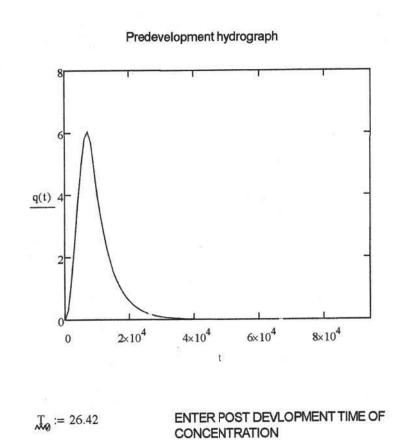
TC = 15 Minutes gather time plus diagonal length 1,150' overland at 0.50 fps = 53.33 Minutes

TC = 15 Minutes gather time + 140' overland at 0.50 fps + 320' gutter @ 2.0 fps + 735 l.f.

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 DOC 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II Tejas Viejo Land Company 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN: PROFILE: HORIZONTAL: VERTICAL:



 $\left(d_{i} + T_{0}\right)^{e_{i}}$

 $I_i := \frac{1}{1}$

3

 $I_c = 6.855$ Post development I of interest

ENTER POST DEVELOPMENT C FACTOR

REVISE CFAND AREA IF NECESSARY

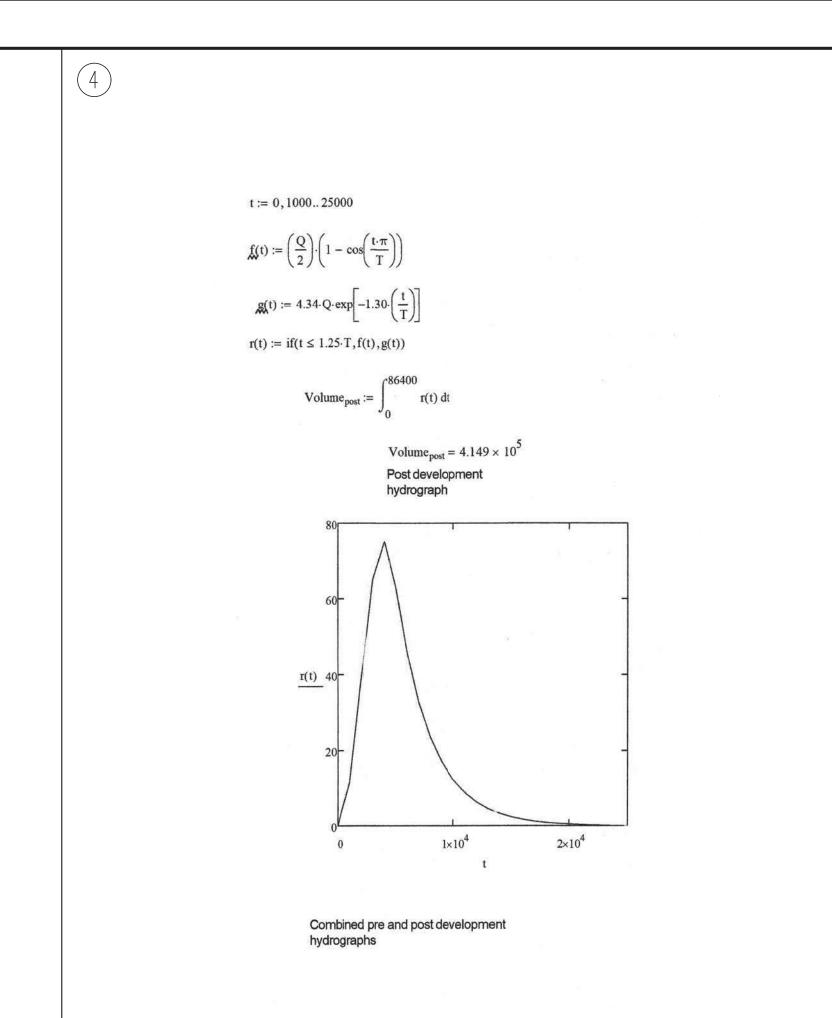
C:= 0.65 C_f:= 1.25 $Q := C \cdot I_6 \cdot A \cdot C_f$

Q = 75.299 $V := (C) \cdot A \cdot 43560 \cdot 1.08$ $V = 4.134 \times 10^5$

 $T := \frac{V}{1.39 \cdot Q} \qquad T = 3.95 \times 10^3$

ORIFICEEQUATION

Q=Cd*A* (2*G*H)^0.5 Where: Q= Varies (cfs) 12.76 (14.83 Acres in 1A + 13.52 Acres in 1B) * 0.45 cfs/acre Cd = Coefficient 0.8 A= Dia. (s.f.) G= Gravity (fps) 32.2 H= Varies (ft) A= 1.41 15"=1.23



Item 5.

PROJECT:

Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

HYDROLOGICAL CALCULATIONS

65

PROJECT NO. 16182

JOB NO:	6182											STOR	M SEWER C	ALCULATIONS (10-YEAR AN	ND 100-YEAR	FREQUE	NCY STORMS)					1	INTENSITY CO	DEFFICIENTS	b	d	e		
	ANGLETON	NAUSTINC	OLONY SE	C. 1B																					5-YEAR 10-YEAR	58.019 57.515	9.24 7.78	0.7120 0.6760		
													STORM	SEWER CALCUL	ATIONS (5-Y	YFAR FREQU	ENCY ST								100-YEAR	46.316	1.56	0.5330		
DRAINAG AREA	E FROM	то	AREA	CUM. AREA		FREQUENCY	Cf*C Cf*C*	SUM O		INLET THROAT	INTENSITY		ACH P	IPE DIAM	SPAN			MANNINGS			FALL	MH DROP	FLOWLINE			HYDRAULIC		HYD GRAD		
AREA			(12)		COEFF. C	CORRECTION FACTOR		A Cf*C*A		LENGTH	(in (h s)		NGTH CO	OR RISE	(in)	(-1)	(0/)	IN	2750423111 X22346-339484 05 30	(feed)	(ft)		STREAM	DOWN STREAM		GRADIENT	(ft)	UP STREAM (ft)	DOWN STREAM	UP STREAM
			(ac)	(ac)			C*Cf <= 1.0		(min)] ((1)	(in/hr)				("")	(sf)	(%)		(cfs)	(fps)	(17)	(11)	(1)	(ft)	(fps)	(%)	(19)	1.1	(1)	(ft)
SYSTEM (Column	Column5 💌	Column6 👻			r ⊤ Column I			Column I 3 👻	Column I 🝷 Colu	Imn I 🔽 Colu	imn 👻 Column I	Column		Column			olumn2. 🗲 C	columr <u></u> ⊂	;olumn, <mark>⊸</mark> (Column27 🝷			Jolumn q ∓	Column3 I 💌		Column33 🔽 Column34 🛛 🔽
	1.9	10	2.0000	2 0000	0.60	1.00	0.60 1.00	1.00	15.00	E E C	0.05	0.24	20	1 2	4 0	3.1416	0.00	0.012	10.61	2.20	0.07	0.00	24.52	24.46	2.66	0.14	0.04	27.70	27.65	
2	I-1 I-2	I-2 I-5	1.4500	2.0000 3.4500			0.60 1.20	000 1.20 700 2.07					32 294		0 0	4.9087	0.22		10.61	3.38 3.78	0.07	0.00	24.53 24.46	24.46	2.66	0.14	0.04	27.70		28.37 HGL OK 28.37 HGL OK
3	1-3	1-5	0.2600	0.2600			0.60 0.15						32		8 0	1.7671	0.22		4.93	2.79	0.07	0.00	24.53	24.46	0.61	0.01	0.00	27.30		28.70 HGL OK
4	1-4	1-5	0.3200	0.3200	0.60	1.00	0.60 0.19	020 0.19	20 15.00	0.89	6.95	1.33	60	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.12	0.00	24.55	24.43	0.76	0.02	0.01	27.30	27.29	28.37 HGL OK
5	1-5	MH-1	0.5500	4.5800	0.60	1.00	0.60 0.33	2.74	30 16.84	1.45	5 6.60	18.13	34	1 3	0 0	4.9087	0.18	0.013	17.28	3.52	0.06	0.00	23.26	23.20	3.69	0.19	0.07	27.29	27.22	28.37 HGL OK
MH-1	MH-1	1-7		ő.	0.60	1.00	0.60					18.13	208	1 3	0 0	4.9087	0.20	0.013	18.26	3.72	0.41	0.00	23.20	22.79	3.69	0.19	0.40	27.22	26.82	HGL OK
6	1-6	1-7	0.9400	0.9400			0.60 0.56		10.00				32		8 0	1.7671	0.22	1 11	4.93	2.79	0.07	0.00	24.53	24.46		0.14	0.04	26.82		28.47 HGL OK
7	1-7	I-10	0.2500	5.7700			0.60 0.15						78		6 0	7.0686	0.19	100 00 00 0000	29.33	4.15	0.15	0.00	22.79	22.64	3.12		0.08	26.77		28.47 HGL OK
8	I-8 I-9	1-9	1.1400	1.1400 2.2400			0.60 0.68			3.17			32		4 0 0 0	3.1416 4.9087	0.19	0.013	9.82	3.13	0.06	0.00	24.54 24.48	24.48 24.07	1.51	0.04	0.01	26.69 26.67		28.37 HGL OK 28.37 HGL OK
10	I-10	OUT	0.4300	8.4400			0.60 0.25	1-					175		2 0	9.6211	0.19	0.013	44.47	4.62	0.41	1.43	24.48	24.07	3.32	0.10	0.11	26.18		28.67 HGL OK
														• • • • • • • • •																
11	I-11	I-12	0.2600	0.2600	0.60	1.00	0.60 0.15	60 0.15	50 15.00	0.72	2 6.95	1.08	68	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.14	0.00	24.83	24.69	0.61	0.01	0.01	26.27	26.27	28.67 HGL OK
12	I-12	I-14	0.3800	0.6400	0.60	1.00	0.60 0.22	.38 0.38	40 15.33	1.05	5 6.88	2.64	98	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.20	0.39	24.30	24.10	1.50	0.06	0.06	26.27	26.20	28.67 HGL OK
13	I-13	I-14	0.3200	0.3200	0.60	1.00	0.60 0.19	0.19	20 15.00	0.89	6.95	1.33	68	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.14	0.00	24.83	24.69	0.76	0.02	0.01	26.20	26.19	28.67 HGL OK
14	I-14	OUT	0.6900	1.6500	0.60	1.00	0.60 0.41	40 0.99	00 15.83	1.87	6.79	6.72	137	1 2	4 0	3.1416	1.24	0.013	25.27	8.04	1.70	0.00	24.10	22.40	2.14	0.09	0.12	26.12	26.00	28.67 HGL OK
		0											STORM S	EWER CALCULA	TIONS (100-	-YEAR FREQ	UENCY S												L	
DRAINAG		то	AREA	CUM.				SUM O			INTENSITY		ACH P	IPE DIAM	SPAN			MANNINGS			FALL		FLOWLINE			HYDRAULIC				
AREA	МН	мн		AREA	COEFF. C	CORRECTION FACTOR	Cf*C Cf*C*	A Cf*C*A					221/10.0	OR RISE				N"		ELOCITY	2012/02/20	DROP	UP STREAM	DOWN STREAM	105.0 KK	GRADIENT	1000102	UP STREAM	DOWN STREAM	UP STREAM
			(ac)	(ac)		Cf C	C*Cf <= 1.0	5	(min)		(in/hr)	(cfs)	(ft)	(in)	(in)	(sf)	(%)		(cfs)	(fps)	(ft)	(ft)	(#)	(††)	(fps)	(%)	(ft)	(ft)	(ft)	(ft)
<u>SYSTEM (</u>	100 Year)	1.02	0.1221	0.1331			0.0		2.2 3.0	1	7.06773934	0.1801320	20			0.705200	0.25	0.019	1 70	0.07/0570	0.1705	0	10.75	40 5775	0.00055100	0.002	0.001014	44.5794139	44.5775	
1	I-1	1-2	2.0000	2.0000	0.60	1.00	0.60 1.20	002	00 15.00	8.30		0.1881432	32	1 2	2 0 4 0	0.785398 3.1416	0.22	0.013	10.61	3.38	0.07	0.00	24.53	43,5775 24,46	3.96	0.30	0.10	28.59	44.5775 28.49	48.5 HGL OK 28.37 HGL>GUTTER!
2	1-2	1-5	1.4500	3.4500			0.60 0.87			5.99			294		0 0	4.9087	0.20		18.58	3.78	0.60	0.00	24.46	23.86	4.35	0.27	0.79	28.49		28.37 HGL>GUTTER!
3	1-3	1-5	0.2600	0.2600			0.60 0.15				10 - 10 - 10 - 10 - 10 - 10 - 10 - 10 -	2	32		8 0	1.7671	0.22		4.93	2.79	0.07	0.00	24.53	24.46	0.92	0.02	0.01	27.70	27.69	28.70 HGL OK
4	-4	1-5	0.3200	0.3200	0.60	1.00	0.60 0.19	020 0.19	20 15.00	1.33	3 10.38	1.99	60	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.12	0.00	24.55	24.43	1.13	0.04	0.02	27.69	27.67	28.37 HGL OK
5	1-5	MH-1	0.5500	4.5800	0.60	1.00	0.60 0.33	2.74	30 16.84	2.16	9.81	26.96	34	1 3	0 0	4.9087	0.18	0.013	17.28	3.52	0.06	0.00	23.26	23.20	5.49	0.43	0.15	27.67	27.52	28.37 HGL OK
MH-1	MH-1	1-7		~	0.60	1.00	0.60					18.13	208	1 3	0 0	4.9087	0.20	0.013	18.26	3.72	0.41	0.00	23.20	22.79	3.69	0.19	0.40	27.52	27.12	HGL OK
6	I-6	1-7	0.9400				0.60 0.56						32		8 0	1.7671	0.22		4.93	2.79	0.07	0.00				0.31	0.10	27.12	india contac	28.47 HGL OK
7	1-7	I-10	0.2500				0.60 0.15				na n		78	100 U 10000	6 0	7.0686	0.19		29.33	4.15	0.15	0.00	22.79			0.24	0.19	27.02		28.47 HGL OK
8	I-8 I-9	I-9 I-10	1.1400	ADDRESS ADDRESSAL			0.60 0.68						32 207		4 0 0 0	3.1416 4.9087	0.19		9.82	3.13 3.75	0.06	0.00	24.54 24.48		2.26	0.10	0.03	26.83 26.80		28.37 HGL OK 28.37 HGL OK
10	I-9 I-10	OUT	0.4300	D-			0.60 0.25						175		2 0	9.6211	0.22		44.47	4.62	0.41	0.00				0.11	0.24	26.80		28.67 HGL OK
	6 6 6 6		2.1.000					0.00					a 1971			and the local sector of th	5.10		a Arestale								3.30	20.00		
11	I-11	I-12	0.4600	0.4600	0.60	1.00	0.60 0.27	60 0.27	50 15.00	1.91	10.38	2.86	68	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.14	-24.83	24.83	24.69	1.62	0.07	0.05	26.55	26.50	28.67 HGL OK
12	I-12	I-14	0.4200	0.8800	0.60	1.00	0.60 0.25	0.52	30 15.33	1.72	2 10.27	5.42	98	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.20	0.39	24.30	24.10	3.07	0.26	0.26	26.50	26.24	28.67 HGL OK
13	I-13	I-14	0.1700	0.1700	0.60	1.00	0.60 0.10	020 0.10	20 15.00	0.71	10.38	1.06	68	1 1	8 0	1.7671	0.22	0.013	4.71	2.67	0.14	0.00	24.83	24.69	0.60	0.01	0.01	26.24	26.24	28.67 HGL OK
14	I-14	OUT	0.5000	1.5500	0.60	1.00	0.60 0.30	000 0.93	00 15.83	2.02	2 10.11	9.40	137	1 2	4 0	3.1416	1.28	0.013	25.71	8.18	1.76	0.00	24.16	22.40	2.99	0.17	0.24	26.24	26.00	28.67 HGL OK
				. V.			d																							

NO. DATE

DESCRIPTION

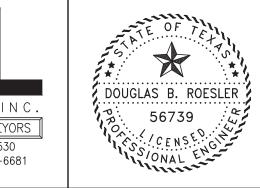
REVISIONS

B BAKER & LAWSON, INC. ENGINEERS • PLANNERS • SURVEYORS 4005 TECHNOLOGY DRIVE, SUITE 1530 ANGLETON, TEXAS 77515 (979) 849–6681 REG. NO. F-825

DESIGNED DR DRAWN APPROVED

BT CHECKED DR DATE 3/7/2025





The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II Tejas Viejo Land Company 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

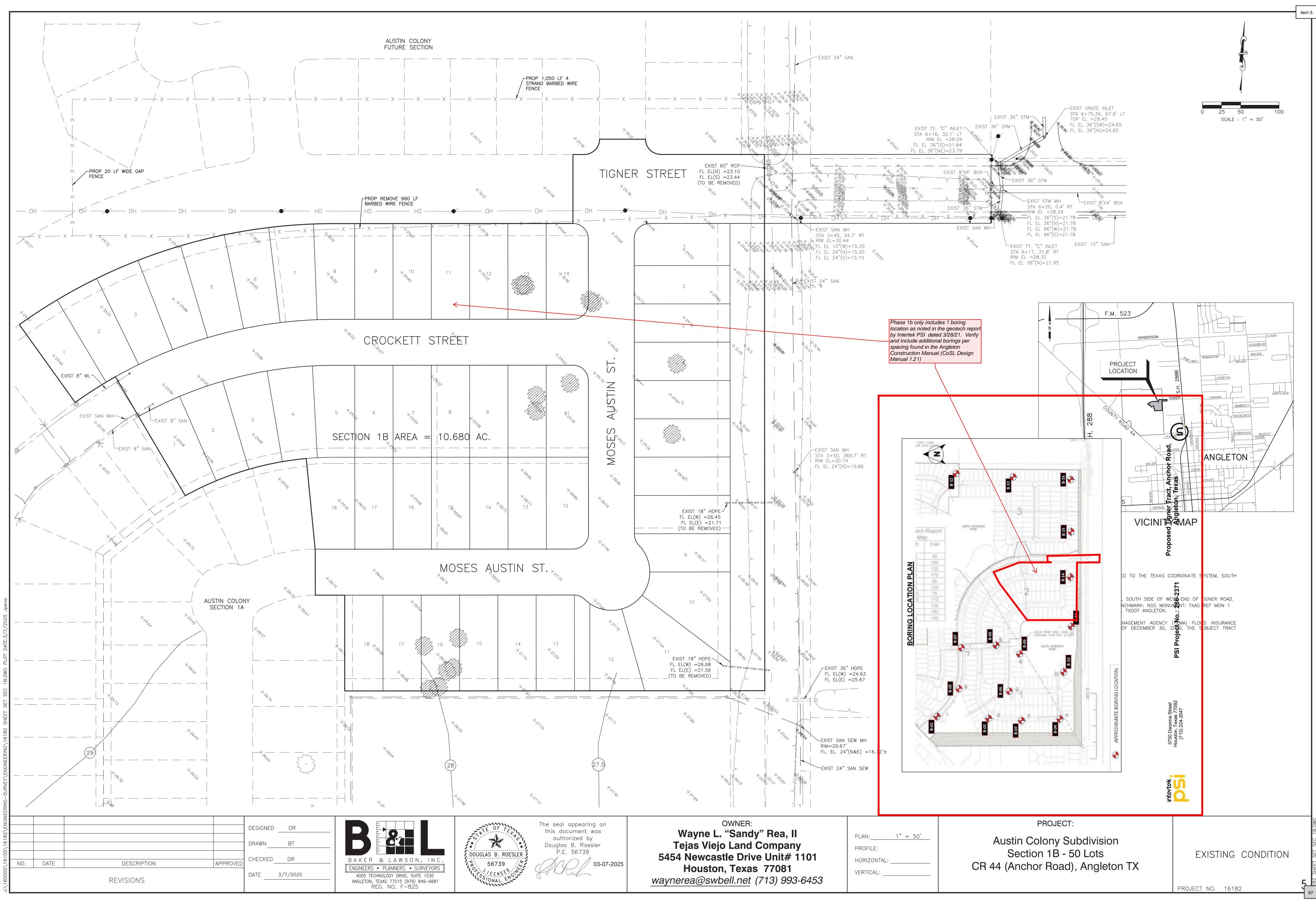
PLAN:	1" = 40'
PROFILE:	
HORIZONTAL:	
VERTICAL:	

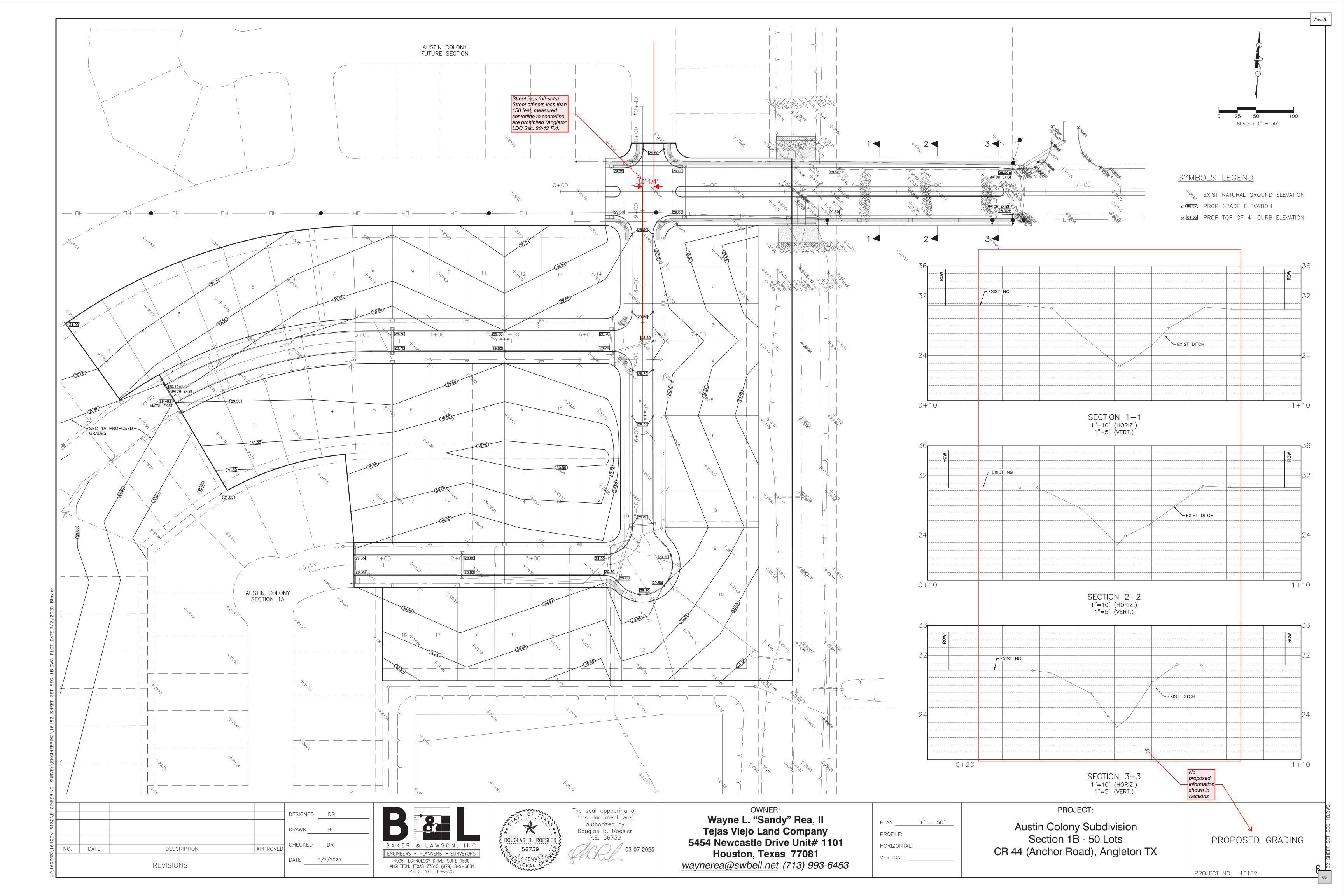
WINDSTORM DATA I—1 THRU I—14

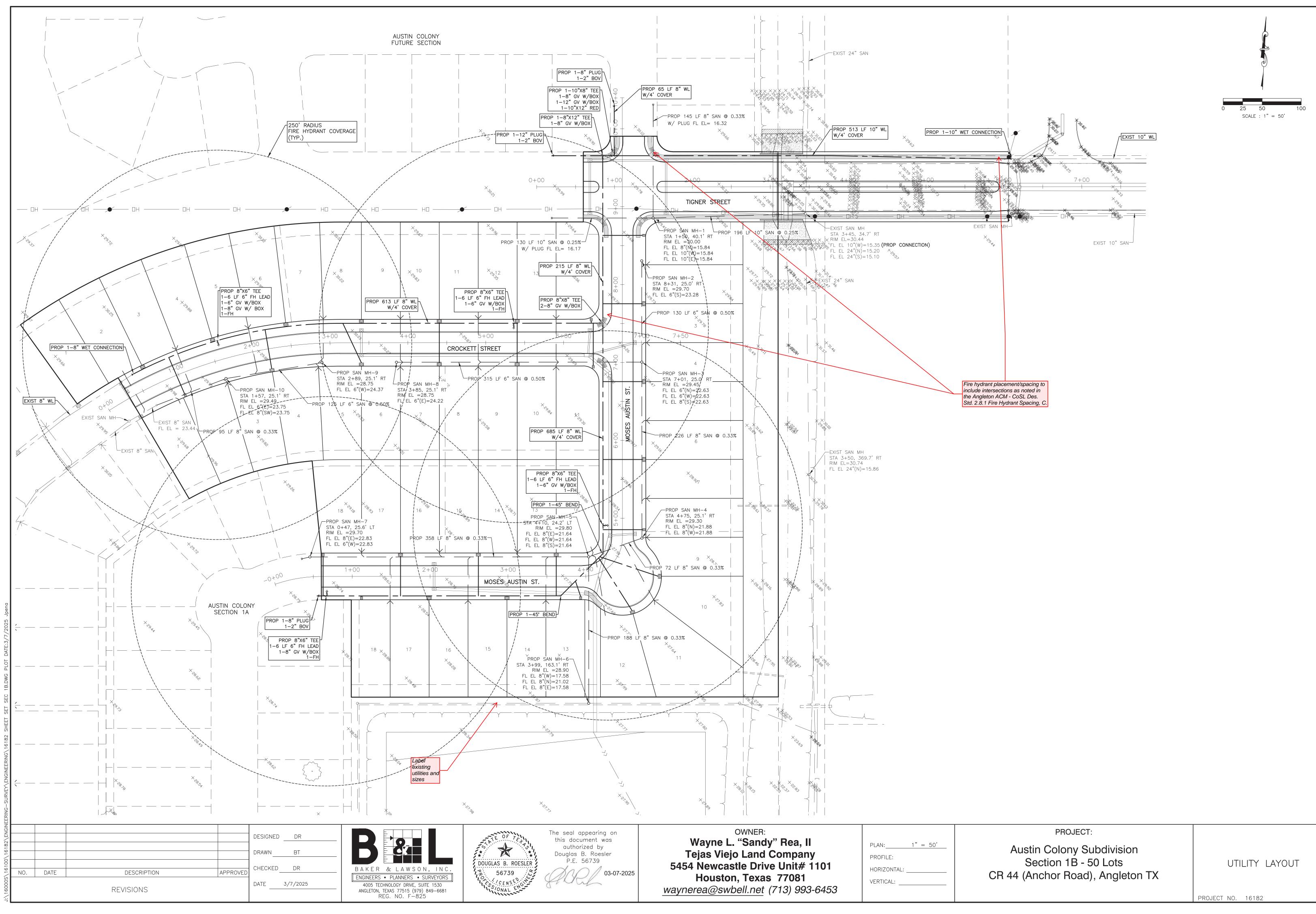
66

ltem 5.

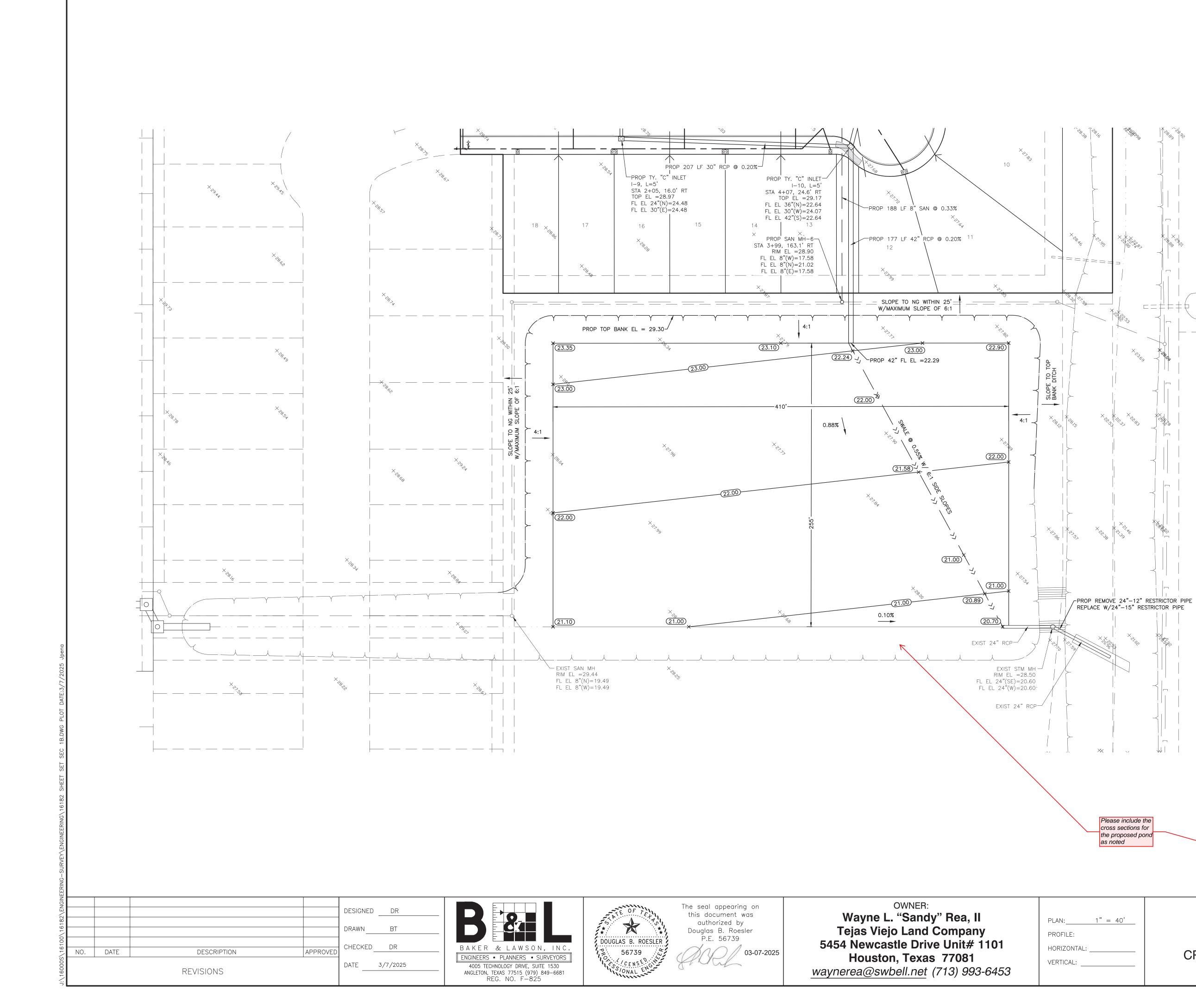
PROJECT NO. 16182







Item 5.



SEC 1A & 1B DETENTION VOLUME REQUIRED = 17.037 AC-FTDETENTION PROVIDED: TOP EL. 29.30 = $(306 \times 460) = 3.231 \text{ AC}$ TOP 12" FREEBOARD 28.30 = $(298 \times 452) = 3.029 \text{ AC}$ BOTTOM AVG. EL. 22.0 = $(255 \times 410) = 2.400 \text{ AC}$ AVG. AREA (28.3 TO 22) = 2.74 AC AVG. DEPTH = 6.3' STORAGE PROVIDED = 17.26 AC-FT Item 5.

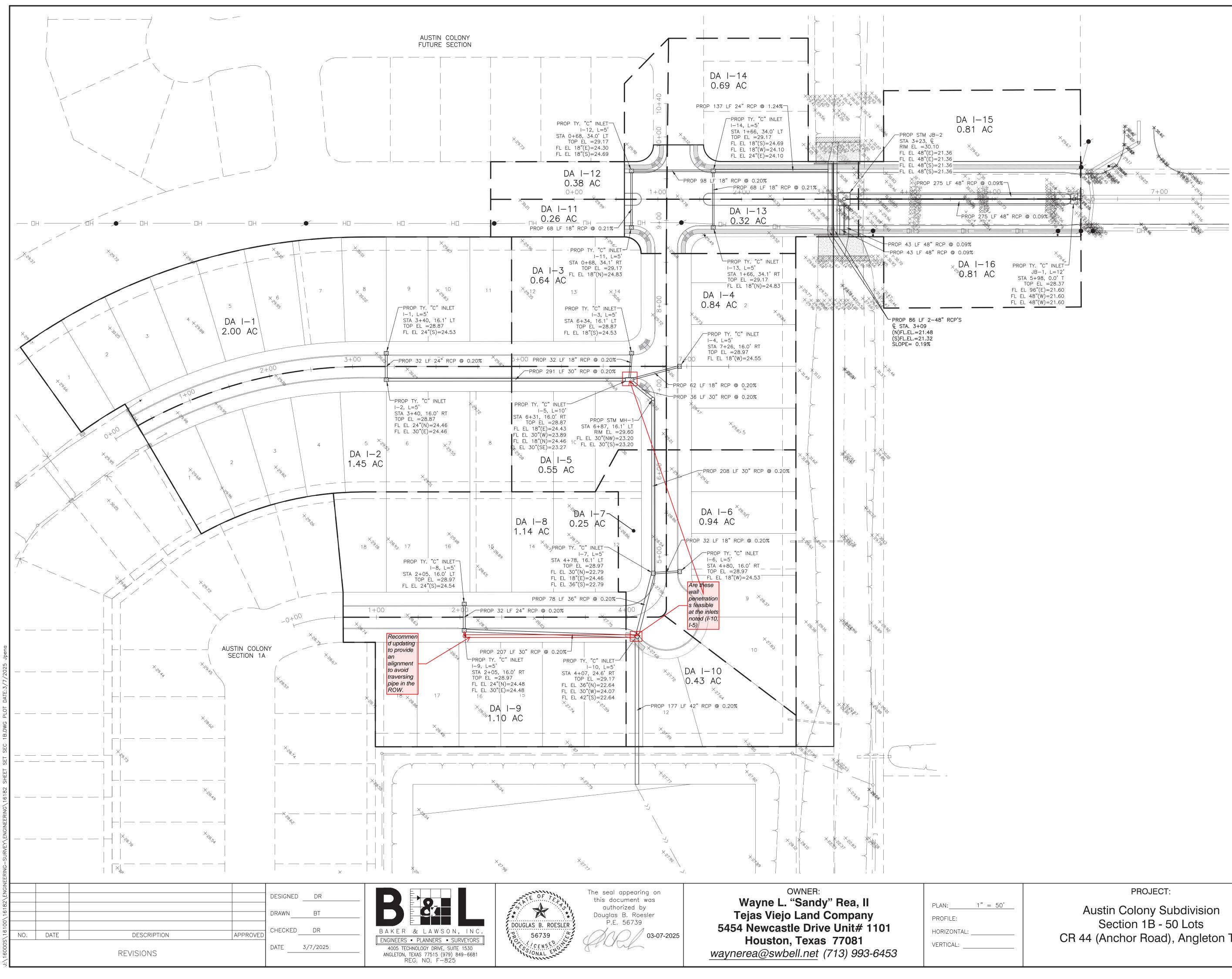
SCALE : 1" = 40'

PROJECT: Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

PROJECT NO. 16182

DETENTION POND LAYOUT

AND CROSS SECTIONS



SYMBOLS LEGEND

25 50

SCALE : 1" = 50'

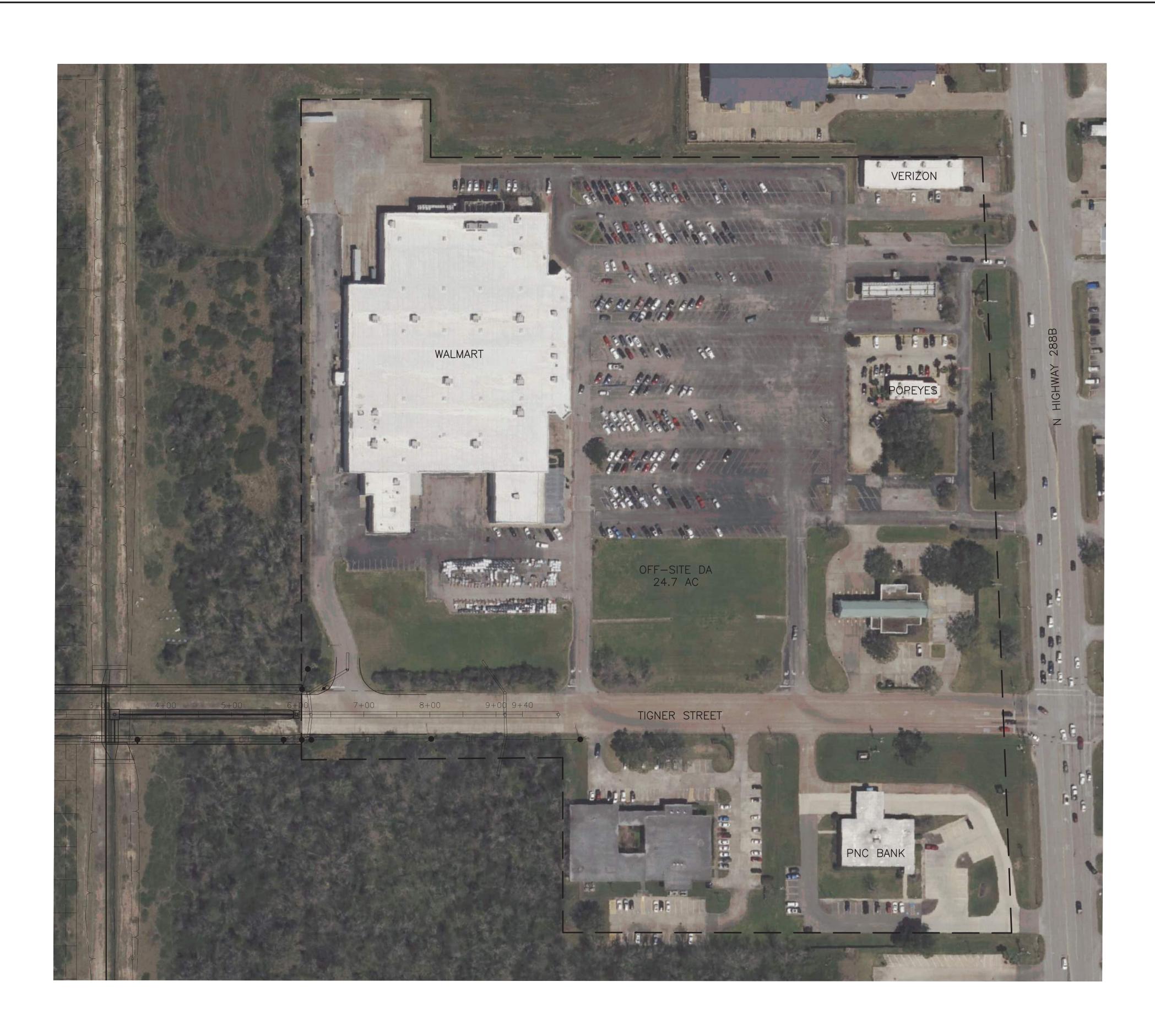
× ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	EXIST NATURAL GROUND ELEVATION
×80.20	PROP GRADE ELEVATION
×81.35	PROP TOP OF 4" CURB ELEVATION
×TC=81.00	PROP RIM ELEVATION OF CURB INLET
XGUT=81.50	PROP GUTTER LINE ELEVATION
×TG=81.50	PROP TOP OF GRATE INLET
00	DOUBLE WATER METER
0	SINGLE WATER METER
-\$-	FIRE HYDRANT
¢	WATER VALVE
\diamond	TAPPING SLEEVE AND VALVE
\Box	REDUCER
\bigcirc	STORM SEWER MANHOLE
0	SANITARY SEWER MANHOLE
	TOP BANK
	STORM SEWER LINE (REINFORCED CONCRETE PIPE, ASTM C76)
	SANITARY SEWER LINE (D3034, SDR 26, 160 PR)

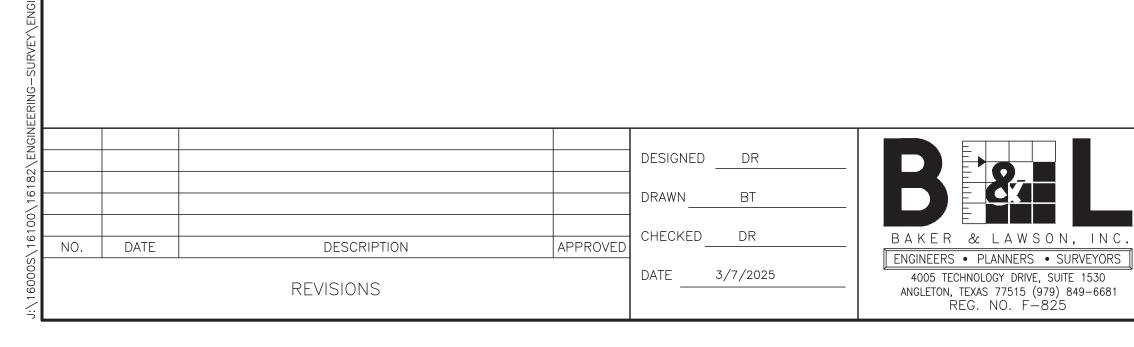
CR 44 (Anchor Road), Angleton TX

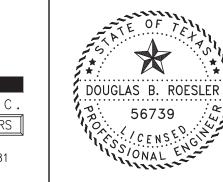
DRAINAGE MAP

WATERLINE (AWWA C900, CLASS 150, DR18)

Item 5.







The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025 OWNER: **Wayne L. "Sandy" Rea, II Tejas Viejo Land Company 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081** <u>waynerea@swbell.net</u> (713) 993-6453

PLAN:	1" = 80'
PROFILE:	
HORIZONTAL:	
VERTICAL:	

0	25 80	160	
0	SCALE : $1" = 80'$	100	

ltem 5.

Off-Site Walmart Area Drainage Calculations To Determine Size of Culvert to Extend the Exist. 8' x 4' Box Based on Atlas 14 Rainfall

10-Year Strom Calculations for 8' x 4' Box Oulvert Extension Q = C* I* Of* A Where: C= 0.90 Of = 1.0 A= 24.7 Ac I : e= 0.676, b=57.515, d=7.777 I = 6.154 for TC = 19.5 Minutes

Q - 10 Yr = 0.90*6.154*1.0*24.7 = 136.8 cfs Analysis is based on 6.154" of rain in one hour

ORIF	ICEEQUA	TION	
Q=Cd*/	A* (2* G* H)^	0.5	
Where:		,,	
Q=	Varies (cfs)	136.8	
Cd =	Coefficient	0.8	
A=	Area (s.f.)	?	
G=	Gravity (fps)	32.2	
H=	Varies (ft)	0.7	
A=	25.47	2-48''	2-48" Pipes = 25

 100 - Year Strom Calculations for 8' x 4' Box Oulvert Extension

 Q = C* I* Of* A
 Where:
 C= 0.90
 Of = 1.25
 A= 24.7 Ac

 I : e= 0.533, b=46.316, d=1.555

I = 9.128 for TC = 19.5 Minutes

Q - 100 Yr = 0.90* 9.128* 1.25* 24.7 = 253.6 cfs Analysis is based on 9.128" of rain in one hour

ORIF	FICE EQUA		
Q = Cd *	A* (2* G* H)^	0.5	
Where:			
Q=	Varies (cfs)	253.6	
Cd =	Coefficient	0.8	
A=	Area (s.f.)	?	
G=	Gravity (fps)	32.2	
H=	Varies (ft)	2.5	
A=	24.98	2 - 48''	2-48" Pipes = 25 s.1

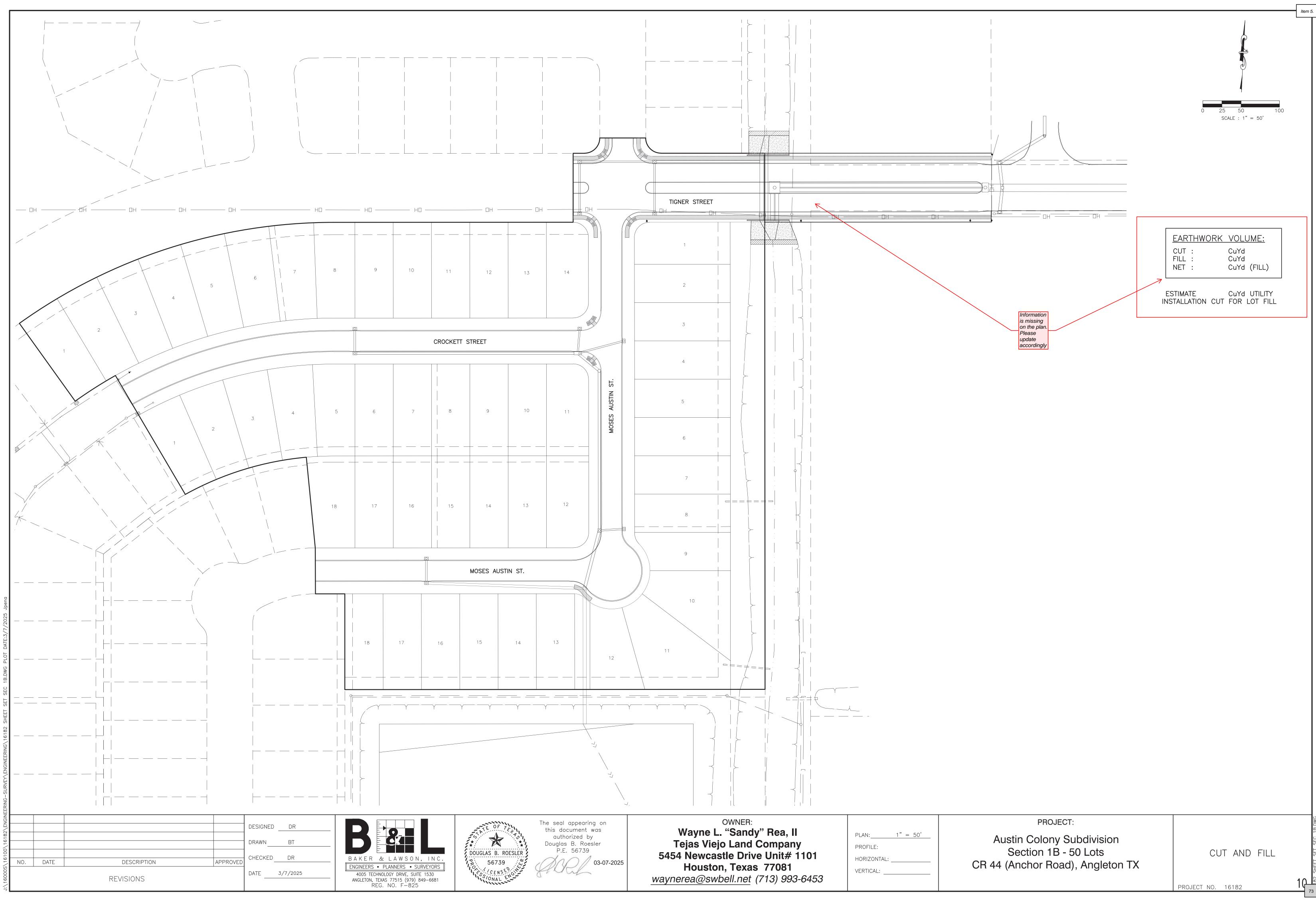
USE 2 - 48" RCP CULVERTS

PROJECT:

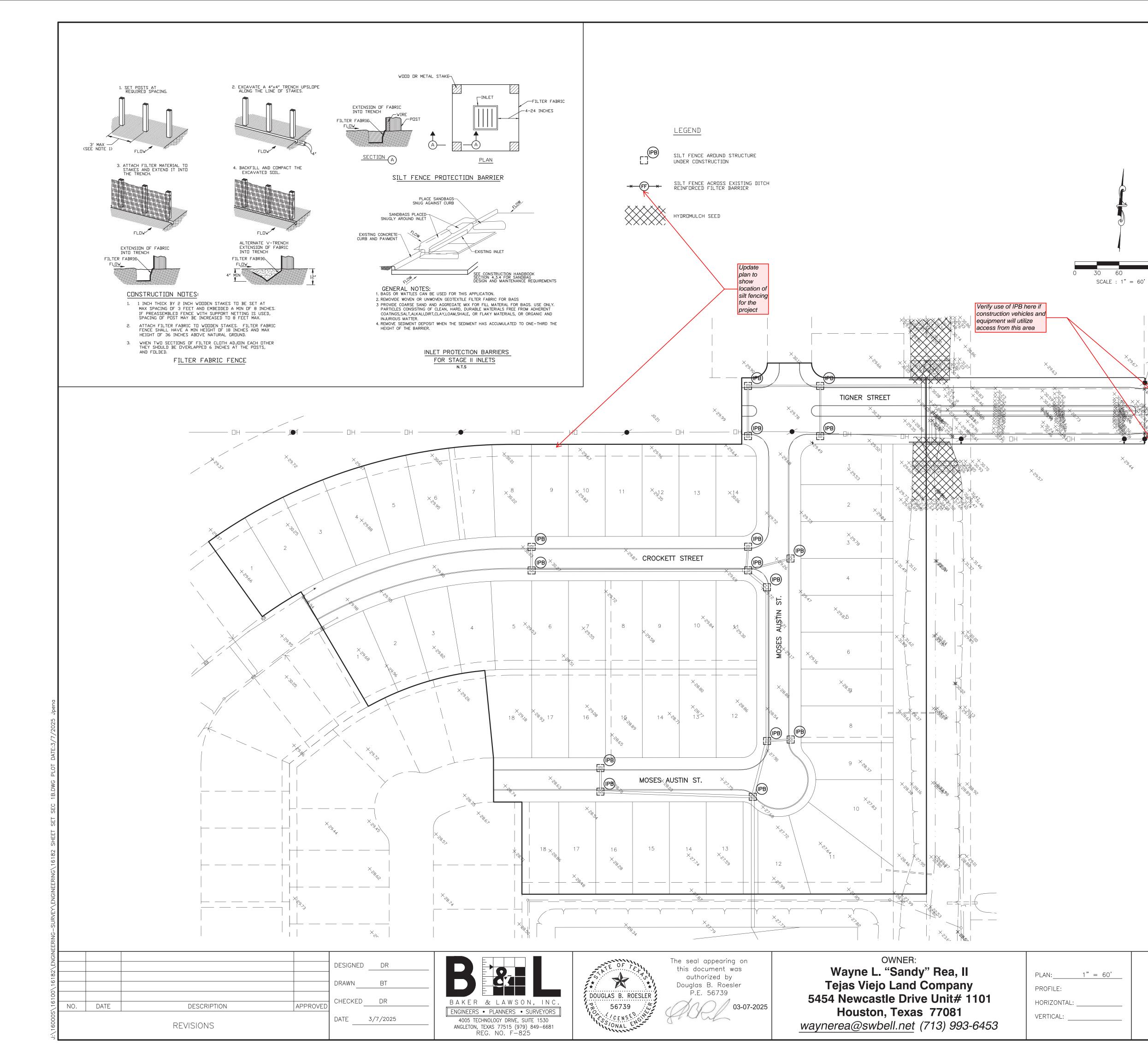
Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

OFF-SITE DRAINAGE AREA CALCULATIONS

> <u>9</u>, <u>∞</u> 72



	PROJECT:
_	Austin Colony Subdivision
	Section 1B - 50 Lots
_	CR 44 (Anchor Road), Angleton TX
-	



GENERAL LO	CATION MAP
288 288 288 288 35 WESTERN 35 WULBERRY 35 WULBERRY 35 WULBERRY 35 WULBERRY 35 WULBERRY 35 WULBERRY MULBERRY MILLER 35 WULBERRY MULBERRY MILLER MINOS	CANNAN MEADOW 288B Z SWIFT HAMPTON RICHMOND NOTTINGHAM RCHMOND LORRAINE RICHMOND KYLE SWIFT NOTTINGHAM ROBINHOOD CHEVY CHASE CHEVY CHASE CHEVY CHASE TAYLOR MILKINS MILLER ANGLERY MILLER ANGLERY MILLER ANGLERY MAGNOLIA MYRTLE SINT MYRTLE SINT MULBERRY ORANGE SUB SINT PLUM CEBAR MURRAY SINT MURRAY SINT SUB SINT MURRAY SINT
PROJECT NAME: <u>AUSTIN COLONY SUBE</u> PROJECT ADDRESS/LOCATION: <u>NE SID</u> <u>AND 1</u> CITY: <u>ANGLETON</u> STAT LATITUDE: <u>95°25'34.9"</u> LONGITUDE: <u>29</u> NAME OF RECEIVING WATERS: <u>GULF OF</u>	DE OF CR 44 (ANCHOR RD.) ,000' SE OF CR 340 (CARR RD.) E:
ARE THERE ANY LISTED ENDANGERED OR DESIGNATED CRITICAL HABITAT IN THE PRO □ YES	OJECT AREA? OF ENDANGERED SPECIES HAS BEEN
PROJECT: Ustin Colony Subdivision Section 1B - 50 Lots (Anchor Road), Angleton TX	SWPPP LAYOUT

SP EAD 34 ELD 34 ELD<	Α.	NATURE OF THE CONSTRUCTION ACTIVITY:AUSTIN COLONY SUBDIVISION SECTION 1B, ANGLETON, BRAZORIA COUNTY, TEXAS. BEING A15.9 ACRE WHICH WILL BE DEVELOPED INTO A RESIDENTIAL SUBDIVISION OF 50 Lots (50'& 60' WIDE). CONSTRUCTION WILL INCLUDE UNDERGROUND UTILITIES, STORM SEWERS,CONCRETE ROADWAYS WITH CURBS AND DETENTION POND EXCAVATION WITH MATERIAL
STRET SUM OF WAY AND COLORADA WAY AND THE STRATER ALL VARIENTS AND THE ADDRESS AND THE THAT DAYS ADDRESS AND CONSTRUCTES AND THE ADDRESS AND CONSTRUCTED AND THE ADDRESS AND CONSTRUCTION AND CONSTRUCTION AND THE ADDRESS AND CONSTRUCTION AND CONSTRUC		
LOLDE DI NUCLESCANTEN DI CALENCA VILLE ALCONTRUCTION DI CALENCIA UNI DI CONTRUE ENCONTRUE CALENCIA UNI DI	В.	STREET RIGHT OF WAY AND LOT AREAS WILL BE STRIPPED OF ALL VEGETATIVE MATTER.
PRETEX TO THE STREED OFTERS AND TO THE CONSTRUCTOR MATERIAL FROM STREAM CAN STORM STREAM OF THE TO THE CONSTRUCTOR MATERIAL FROM STORM STREAM OF THE THE ADDRESS AND STORM STREAM OF THE ADDRESS AND STREAM STREAM STREAM OF THE ADDRESS AND STREAM STRE		REQUIRE TRENCHING. EXCAVATION FOR ROADWAY SUBGRADE AND DETENTION POND WILL
ASSO JU DUCT OF TANLE CONSTRUCTION OF ANY LOCATION THE TILL TILLE, HOUSS WILL MERCHAE WILL PROVIDE POTENTIAL FOR TAX CANGE VUD ALCHG. THE ROUTE. MERCHAE WILL PROVIDE POTENTIAL FOR TAXCANG VUD ALCHG. THE ROUTE. TOTAL PROJECT AREA: 10.7 ACRES TOTAL AREA TO BE DISTURBED: 10.7 ACRES TOTAL AREA TO BE DISTURBED: 10.7 ACRES WEIGHTED RUNDEF COEFFICIENT (BEFORE CONSTRUCTION);		TRUCKS WILL BE USED TO DELIVER MATERIAL TO THE PROJECT INCLUDING LIME, CONCRETE,
0. TOTAL AREA TO BE DISTURBED: 10.7 ACRES. WEIGHTED RUNOFF OCEFFICIENT (BEFORE CONSTRUCTION): 0.25 (AFTER CONSTRUCTION): 0.20 C. REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROX STRUE SANTCHARD AFTER MADE (RANING STRUE EXPERTS) FOR DRAINAGE PATTERNS AND APPROX DICATION OF OTTON DUTLINER, LOWARD CARONG STRUE EXPERTS TO RANGE AREAS SUBPRACE WATERS (INCLUDING WEILANDS); AND LOCATIONS WHERE STORM WATER DISCHARC TO A SUBFACE WATER. (I. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION: PROVE WATERS (INCLUDING WEILANDS); AND LOCATIONS WHERE STORM WATER DISCHARC TO A SUBFACE WATER. (I. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION: PROVE THE PROVE DUTLING WATERS; (I. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION; (I. LOCATION AND DESCRIPTION OF WEILAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SUBPROVE DUTLING DUTLING AND CLEAR DISCHARGES FROM DISTURBED PROVE THE PROVECT. (I. NAME OF RECEIVING WATERS; (I. NAME OF RECEIVING WATERS; (I. NAME OF RECEIVING WATERS; (I. LOCATION AND DESCRIPTION OF WEILAND OR SPECIAL AQUATIC SITE AT OR NEAR THE SUBPROVE DISCHARGES FROM DISTURBED OR WHICH WILL RECEIVE DISCHARGES FROM DISTURBED AREAS OFTHE PROJECT. NOME NOME NOME I. DEEDE NAMEREMENTS OF NEEDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY: NOME NOME I. DISED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY: NOME I. DISED ENDANGERED OR THR		BE ROUTED ALONG CR 44 (ANCHOR RD.) FOR INGRESS AND EGRESS. RUTTING DURING WET
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36515 FOR REQUIREMENTS OF NPDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IN REGION 6. I. LISTED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY: NONE J. PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PL NONE	A	RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND ROUTED TO THE DETENTION POND. THE POND OUTFALLS INTO ANGLETON DRAINAGE DISTRICT DITCH 10 WHICH FLOWS TO OYSTER CREEK AND THEN TO THE GULF OF MEXICO.
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2. CONTROLS

NARRATIVE - SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION

THE ORDER OF CONSTRUCTION WILL BEGIN WITH STRIPPING OF ALL VEGETATION FROM THE WORK AREA.

INSTALL SILT FENCE AROUND THE PERIMETER OF THE AREA TO BE DISTURBED. THE ORDER OF ACTIVITIES WILL BEGIN WITH THE COMPLETE STRIPPING OF ALL AREAS TO RECEIVE FILL MATERIAL. REMOVED VEGETATION TO BE STOCKPILED ADJACENT TO THE WORK TO BE SPREAD AFTER LOT GRADING IS COMPLETE TO FACILITATE VEGETATIVE GROWTH.

INSTALL WATER LINES, SANITARY SEWER LINES AND MANHOLES AND STORM SEWER PIPES, INLETS AND MANHOLES. INSTALL INLET PROTECTION BARRIERS AROUND ALL INLETS.

ROADWAY EXCAVATION, LIME STABILIZATION AND CONCRETE PAVING WILL FOLLOW UNDERGROUND UTILITY AND STORM SEWER CONSTRUCTION. DURING ROADWAY WORK, THE DETENTION POND WILL BE EXCAVATED AND MATERIAL SPREAD ON LOTS. INSTALL SILT FENCE IN THE BOTTOM OF THE POND UPSTREAM OF THE RESTRICTIVE OUTFALL CULVERT.

4. AS SOON AS CONCRETE CURBS ARE INSTALLED, PLACE 16" WIDE SOLID SOD BEHIND ALL CURBS.

THE DETENTION POND SHALL BE SEEDED AND FERTILIZED UPON COMPLETION OF THE EXCAVATION. ALL SEEDED AND FERITLIZED AREAS TO BE IRRIGATED TO ENSURE GROWTH.

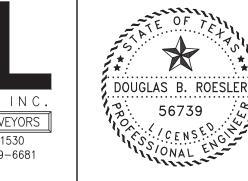
A. EROSION AND SEDIMENT CONTROLESCOSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/ DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING				
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED		X		
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/ DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES				
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT				
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION				
STONE OUTLET STRUCTURES				
OTHER:				

B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION: CURBS & GUTTERS STORM SEWERS



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II **Tejas Viejo Land Company** 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.

WASTE MATERIALS: _____ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.

AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

PLAN:	
PROFILE:	
HORIZONTAL:	
VERTICAL:	

C. OTHER CONTROLS

HAZARDOUS WASTE (INCLUDING SPILL REPORTING) AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.

SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY: HAUL ROADS DAMPENED FOR DUST CONTROL LOADED X HAUL TRUCKS TO BE COVERED WITH TARPAULIN X EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED ____ CONSTRUCTION ENTRANCE

OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPAULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.

REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION

5. NON-STORMWATER DISCHARGES

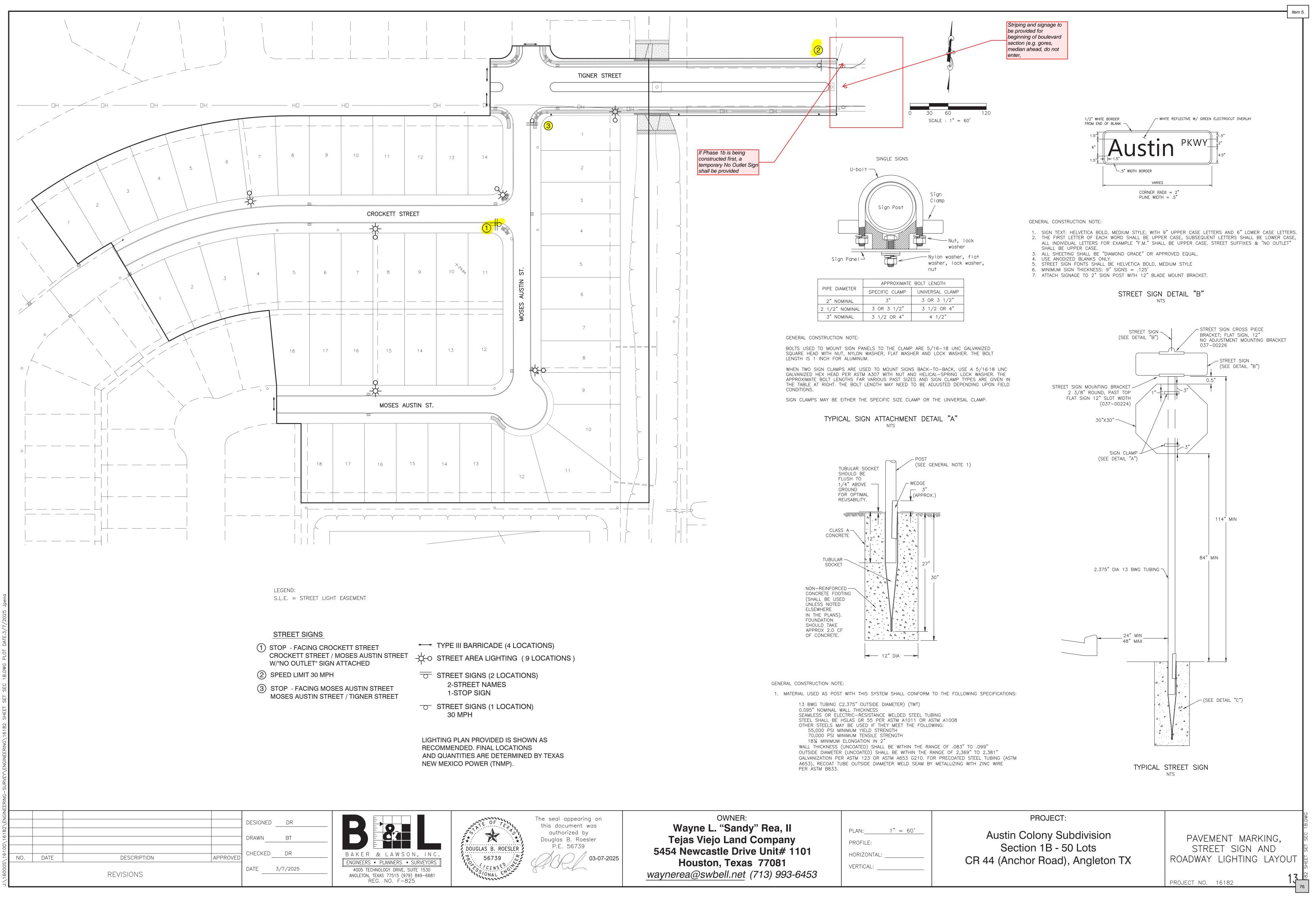
FIRE HYDRANT FLUSHING X BUILDING WASHDOWN WITHOUT DETERGENTS X PAVEMENT WASHDOWN WITHOUT DETERGENTS X CONDENSATE UNCONTAMINATED GROUNDWATER

____ UNCONTAMINATED FOUNDATION DRAINS

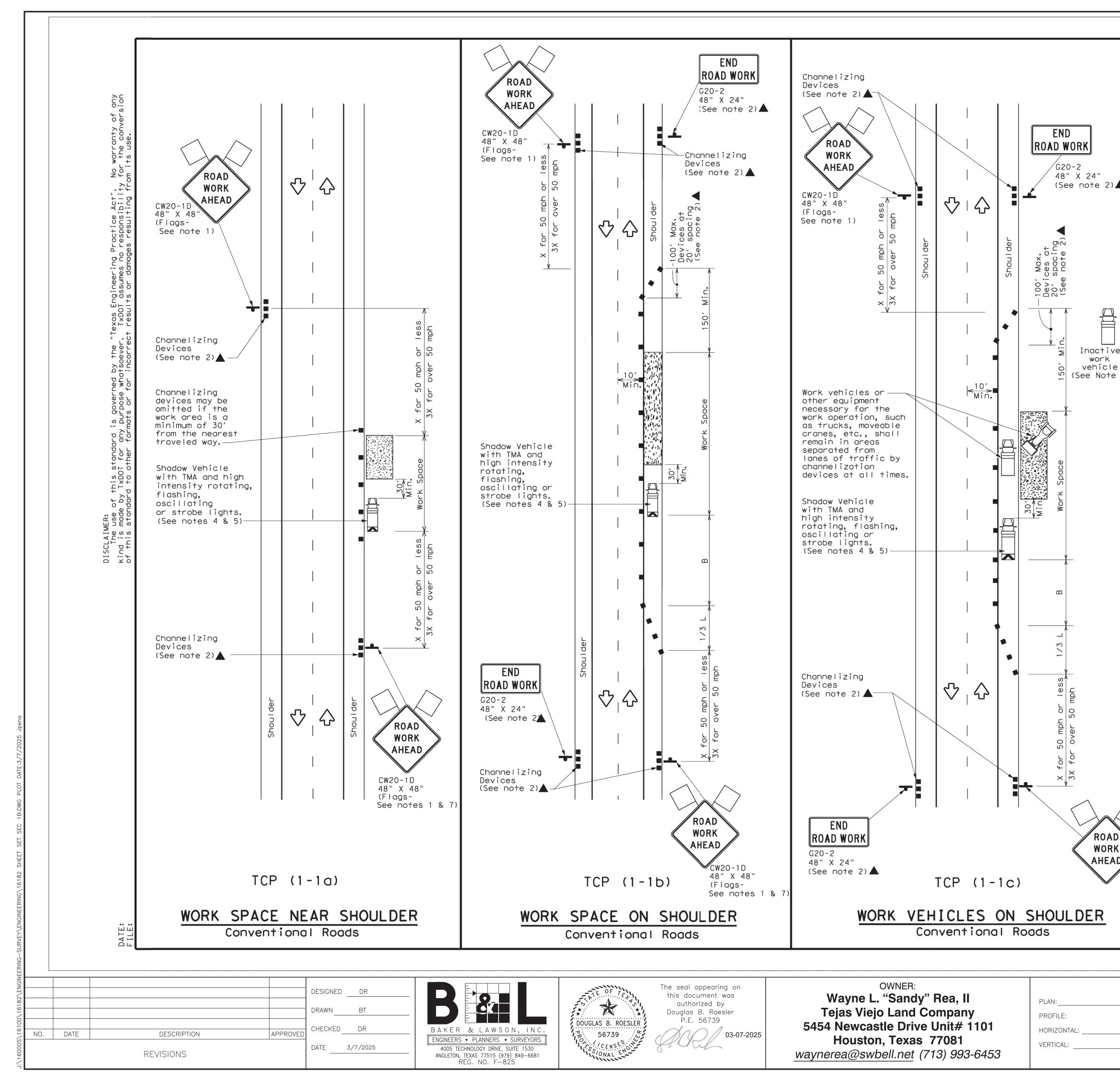
PROJECT:
Austin Colony Subdivision
Section 1B - 50 Lots

CR 44 (Anchor Road), Angleton TX

SWPPP NARRATIVE

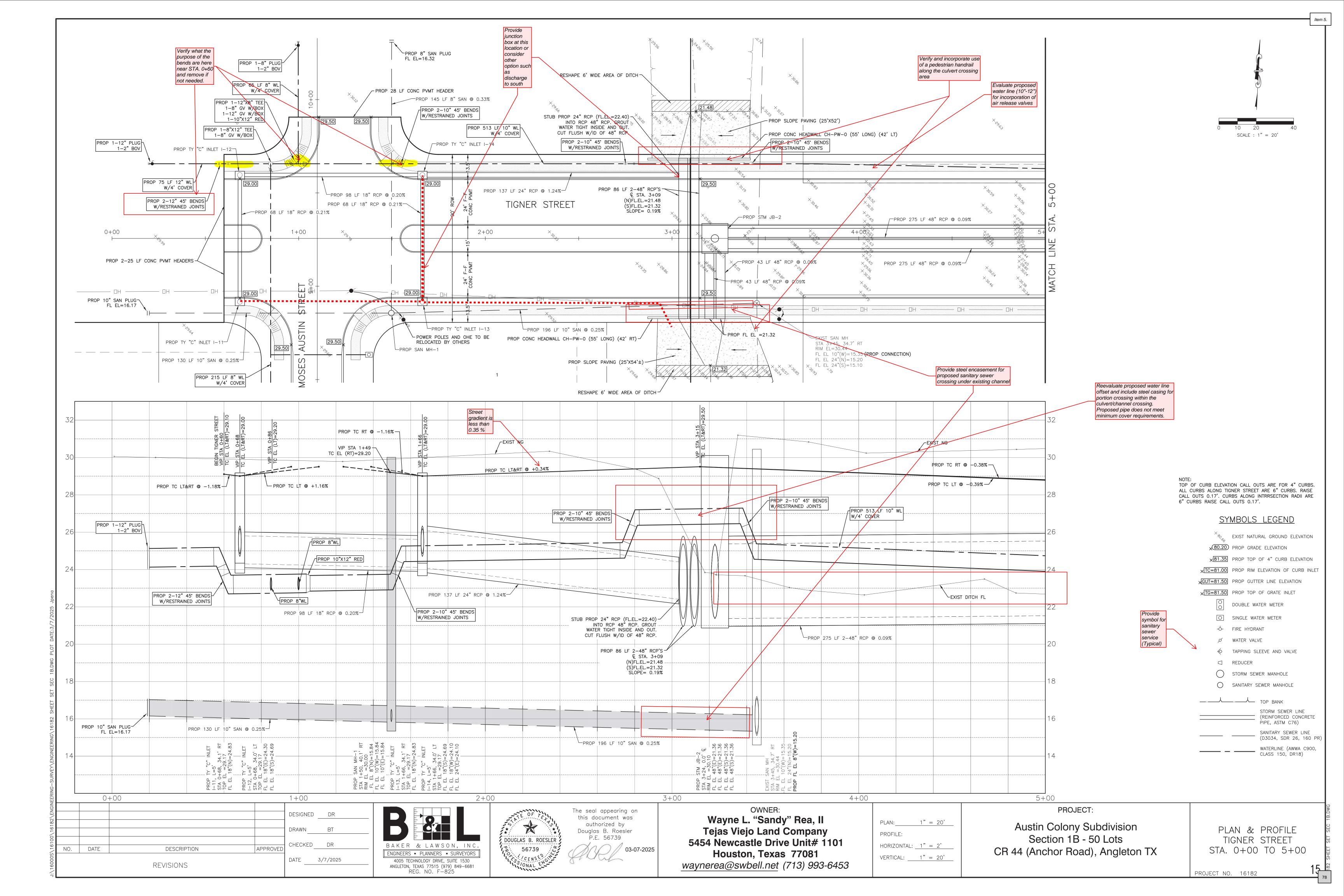


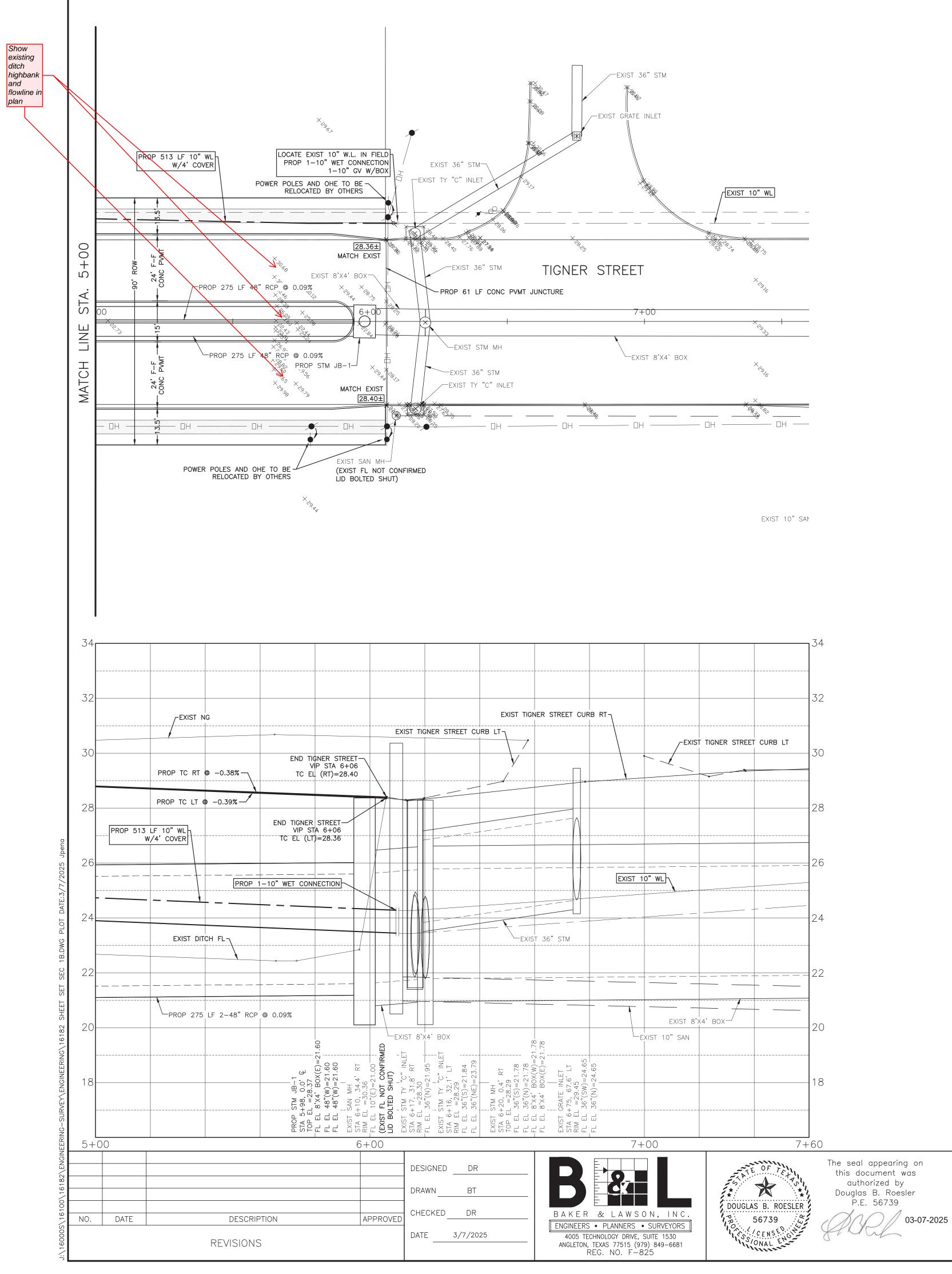
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40 6	()	265′	295′	320′	40)'	80′	240′	155′	
45		450′	495′	540′	45		90'	320′	195'	
50 55		500' 550'	550' 605'	600' 660'	50 55		100' 110'	400' 500'	240' 295'	
60 L = W	5 F	600'	660'	720'	60		120'	600'	350'	
65		650′	715′	780′	65	5'	130′	700′	410′	
70 75	- H	700′ 750′	770' 825'	840′ 900′	70 75		140′ 150′	800′ 900′	475' 540'	
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Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX TRAFFIC CONTROL PLAN TCP (1–1)–18





OWNER: Wayne L. "Sandy" Rea, II **Tejas Viejo Land Company** 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN:____ 1" = 20' PROFILE: HORIZONTAL: <u>1" = 2'</u> VERTICAL: <u>1" = 20'</u>



PROJECT NO. 16182

PROJECT:

Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

NOTE:

TOP OF CURB ELEVATION CALL OUTS ARE FOR 4" CURBS. ALL CURBS ALONG TIGNER STREET ARE 6" CURBS. RAISE CALL OUTS 0.17'. CURBS ALONG INTRRSECTION RADII ARE 6" CURBS RAISE CALL OUTS 0.17'.

SCALE : 1" = 20'

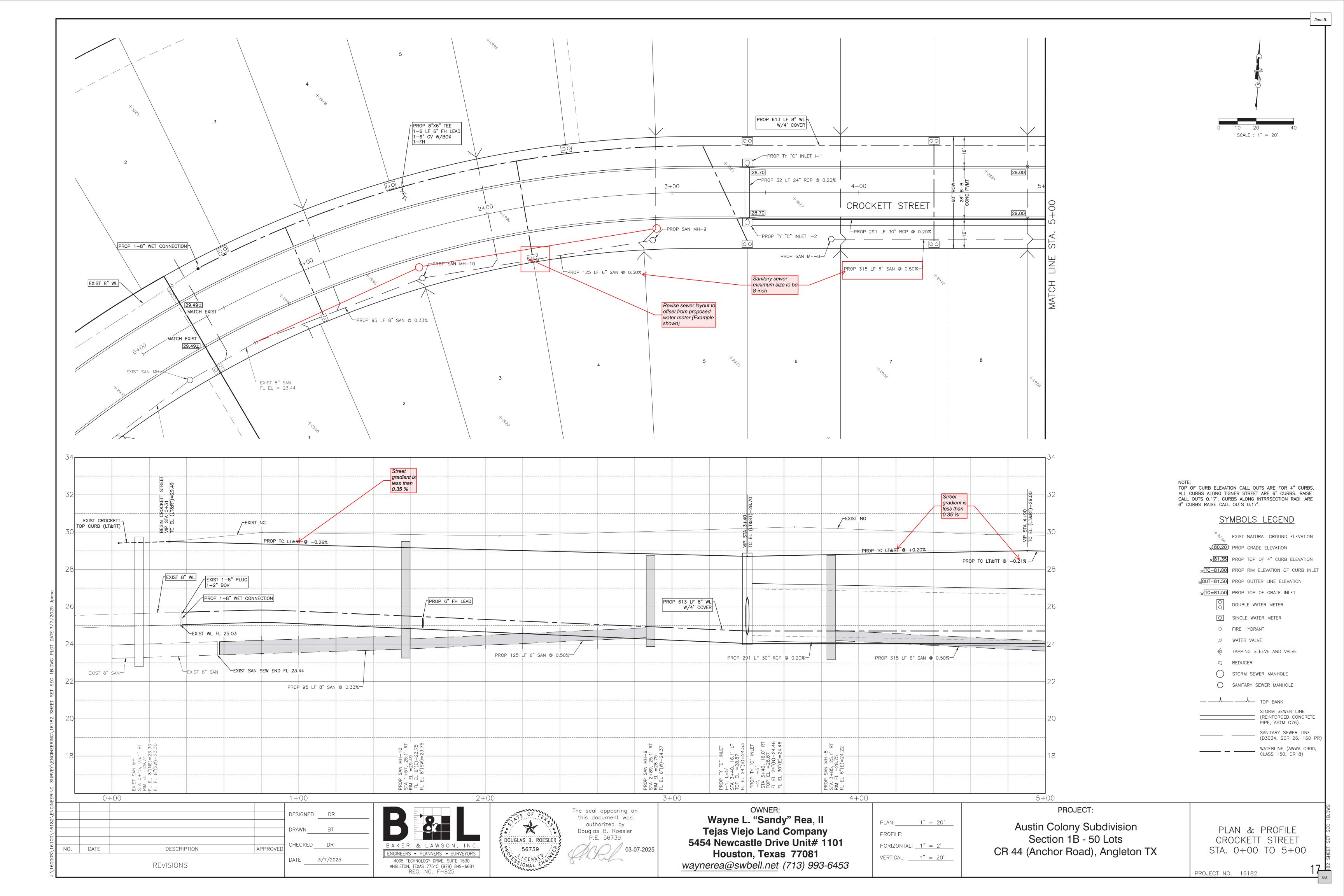
Item 5.

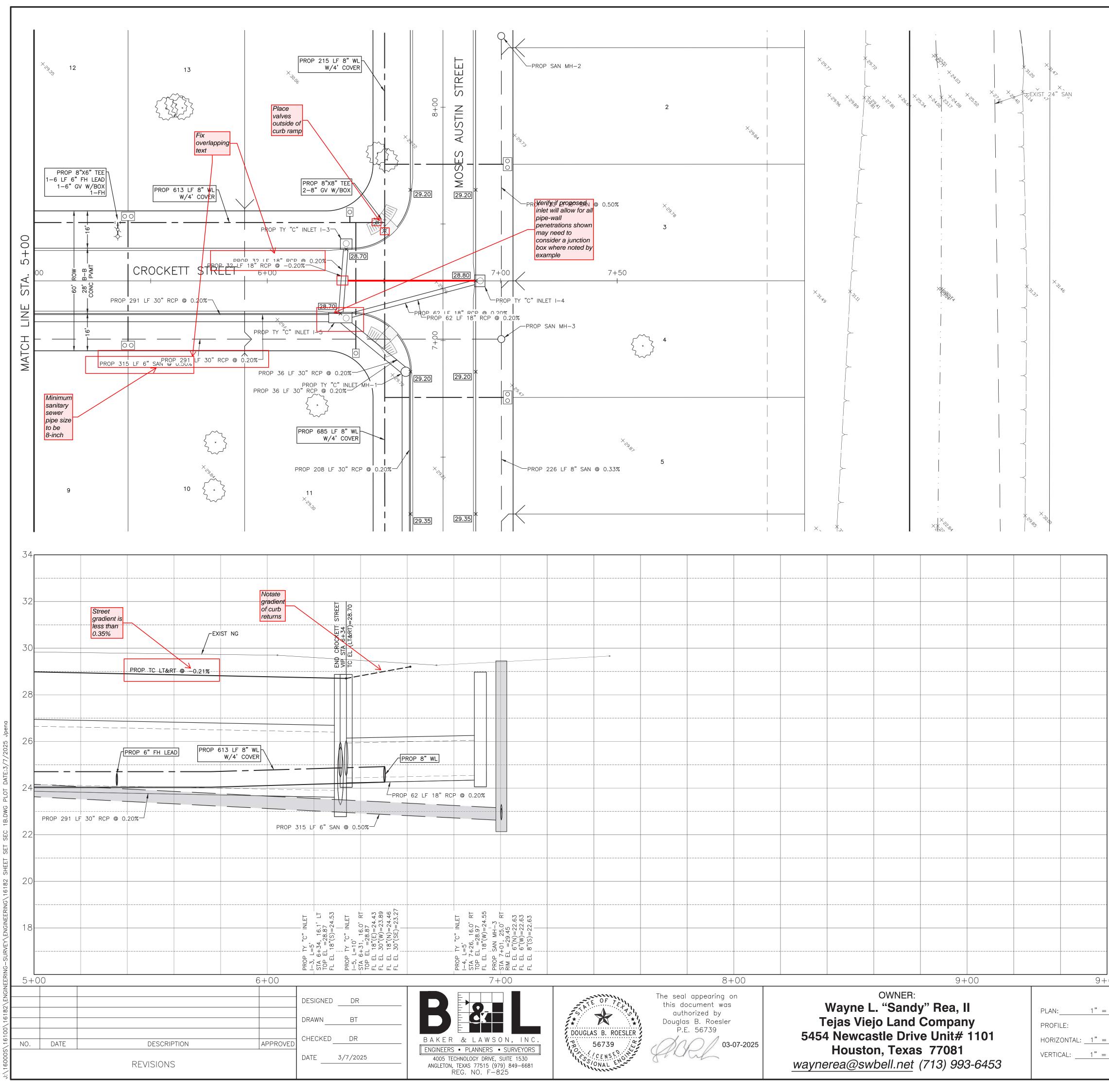
SYMBOLS LEGEND 。 EXIST NATURAL GROUND ELEVATION ×80.20 PROP GRADE ELEVATION x81.35 PROP TOP OF 4" CURB ELEVATION xTC=81.00 PROP RIM ELEVATION OF CURB INLET **GUT=81.50** PROP GUTTER LINE ELEVATION ×TG=81.50 PROP TOP OF GRATE INLET O DOUBLE WATER METER O SINGLE WATER METER -Ó- FIRE HYDRANT Ø WATER VALVE ♦ TAPPING SLEEVE AND VALVE ☐ REDUCER STORM SEWER MANHOLE O SANITARY SEWER MANHOLE STORM SEWER LINE (REINFORCED CONCRETE

PIPE, ASTM C76)

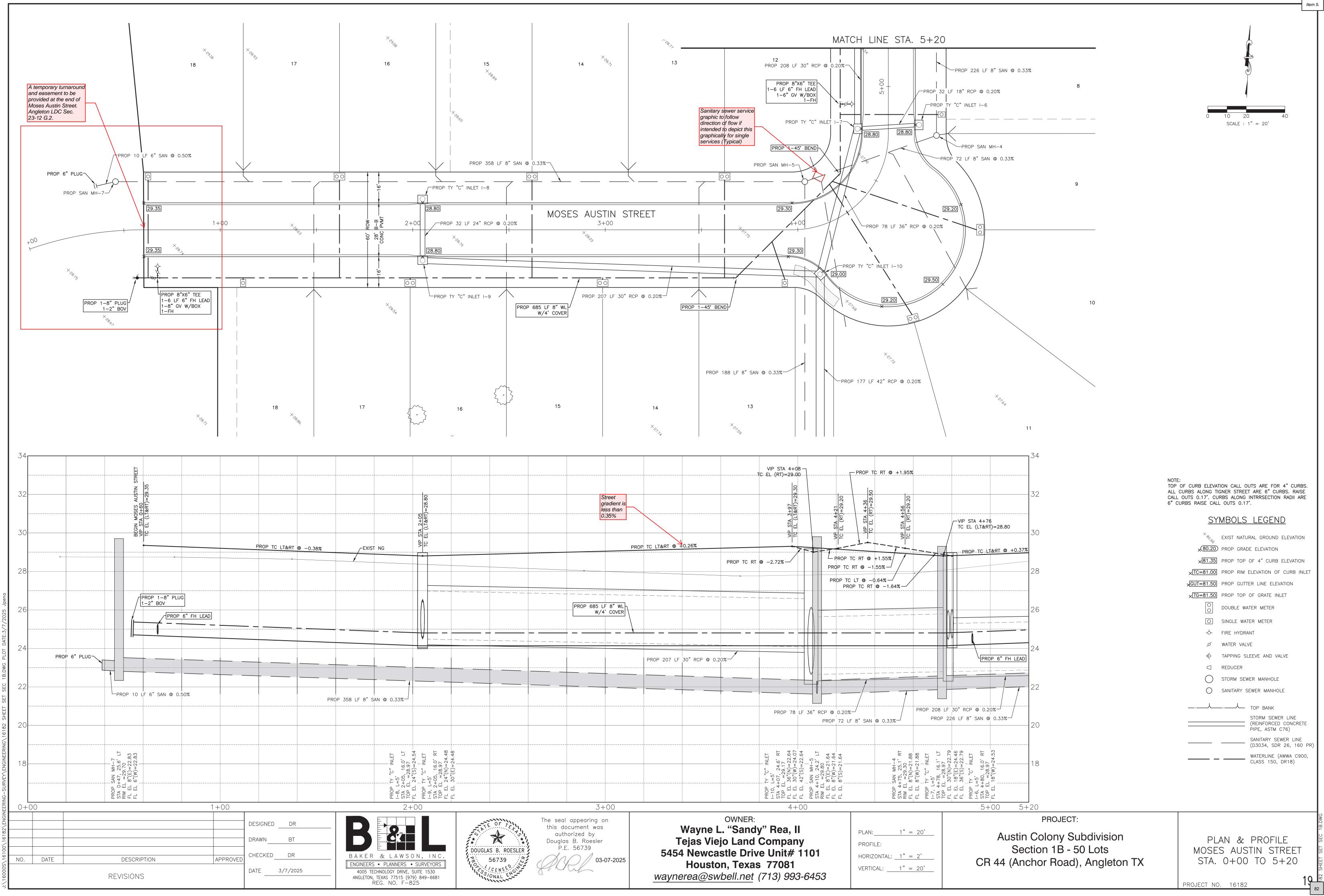
SANITARY SEWER LINE (D3034, SDR 26, 160 PR

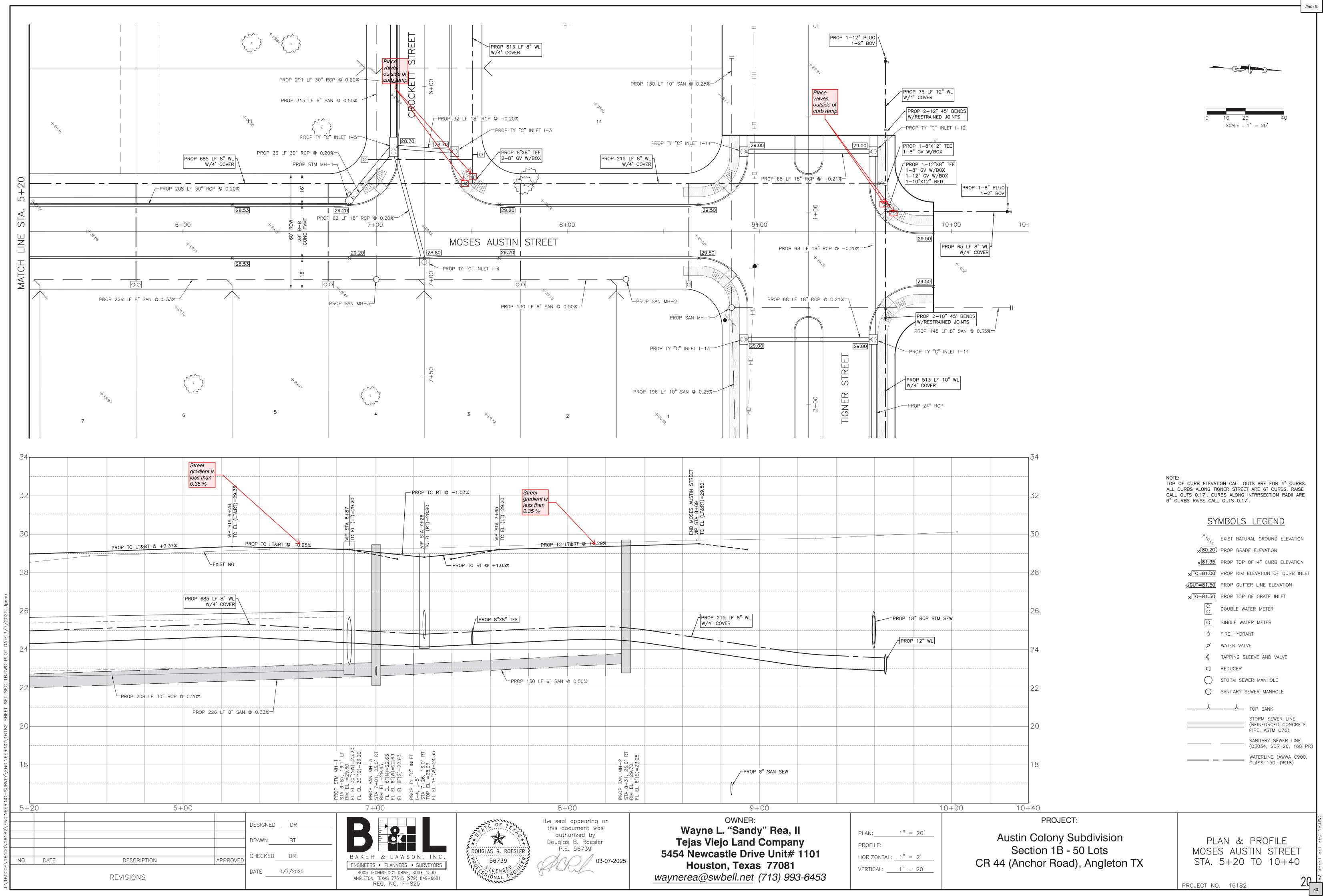
WATERLINE (AWWA C900, CLASS 150, DR18)

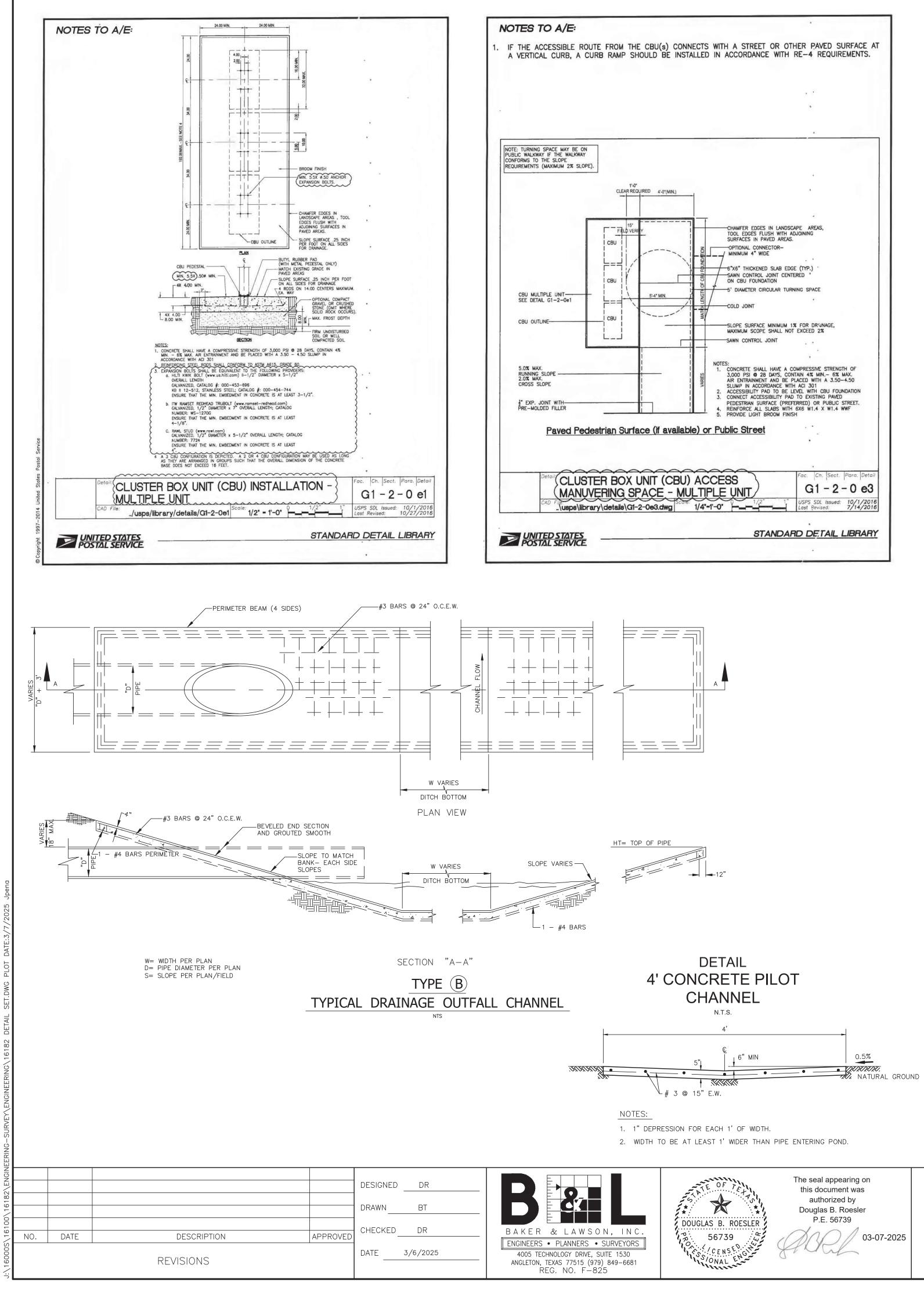




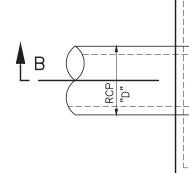
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34		NOTE: TOP OF CURB ELEVATION CALL OUTS ARE FOR 4" CURBS. ALL CURBS ALONG TIGNER STREET ARE 6" CURBS. RAISE
32 30 28		CALL OUTS 0.17'. CURBS ALONG INTRRSECTION RADII ARE 6" CURBS RAISE CALL OUTS 0.17'. <u>SYMBOLS LEGEND</u> <u>X</u> <u>Symbols Legend</u> <u>Symbols Legend</u> <u>S</u>
26		CUT=81.50PROP GUTTER LINE ELEVATIONTG=81.50PROP TOP OF GRATE INLETODOUBLE WATER METEROSINGLE WATER METER-Ò-FIRE HYDRANT✓WATER VALVE✓TAPPING SLEEVE AND VALVE
22		REDUCER STORM SEWER MANHOLE SANITARY SEWER MANHOLE
18 9+60 1" = 20'	PROJECT:	WATERLINE (AWWA C900, CLASS 150, DR18)
1" = 2' 1" = 20'	Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX	PLAN & PROFILE CROCKETT STREET STA. 5+00 TO 7+50 PROJECT NO. 16182

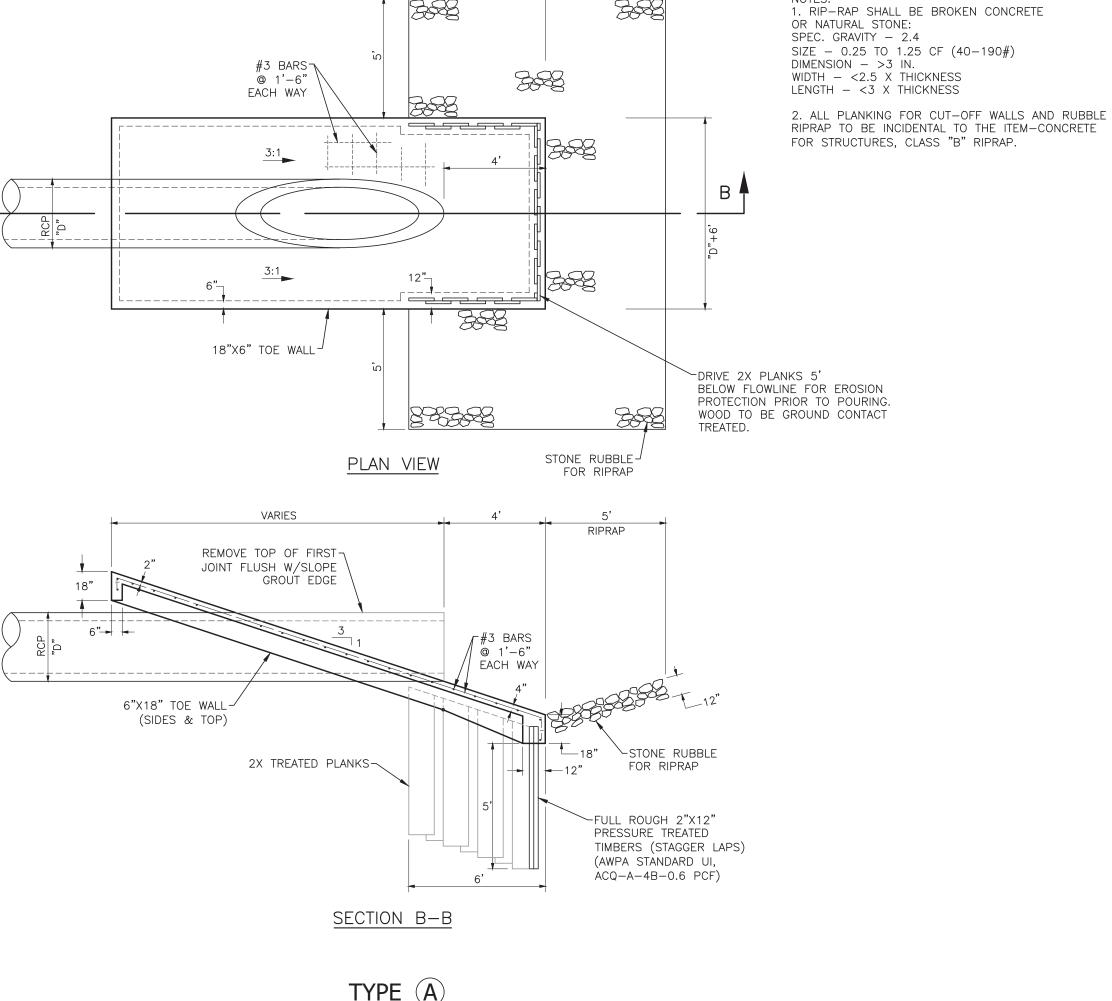






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NOTES:

PLAN:	
PROFILE:	
HORIZONTAL:	
VERTICAL:	

MISCELLANEOUS DETAILS

PROJECT NO. 16182

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Item 5.

PROJECT: Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX





CONCRETE/PAVING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND AUTHORIZATION REQUIRED BY CITY OF SUGAR LAND. 2. CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO CONSTRUCTION AND WILL REPAIR OR
- REPLACE ANY DAMAGE AT CONTRACTOR'S EXPENSE. PAVING CONTRACTOR SHALL PROTECT WATER, SEWER, AND DRAINAGE FACILITIES AND WILL REPLACE ANY DAMAGED FACILITIES AT HIS OWN EXPENSE. ALL MANHOLES AND VALVES WITHIN THE PAVEMENT AREA SHALL BE ADJUSTED TO FINISH GRADE BY THE PAVING CONTRACTOR WITH THE USE OF APPROVED BLOCKOUTS
- WHEN THE TOP OF CURB OR BOTTOM OF SIDEWALK SLAB ELEVATION VARIES FROM THE NATURAL GROUND, THE PAVING CONTRACTOR SHALL BACKFILL IN LAYERS NOT EXCEEDING 8-INCHES IN DEPTH. EACH LAYER WILL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. THE DISTURBED AREA SHALL BE SEEDED, SODDED, FERTILIZED, AND/OR SILT BARRIER FENCED WITHIN 10 WORKING DAYS. THE TYPE OF POLLUTION CONTROL WILL BE DETERMINED BY THE APPROVED PLANS AND/OR THE CITY OF SUGAR LAND CITY ENGINEER. 5. ALL PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF SUGAR LAND DESIGN STANDARDS.
- APPROVED PLANS AND SPECIFICATIONS WITH THE LATEST REVISIONS OR AMENDMENTS. IN THE
- EVENT OF A CONFLICT, THE CITY OF SUGAR LAND DESIGN STANDARDS GOVERNS. PAVING CONTRACTOR SHALL PROVIDE AND MAINTAIN SILT PROTECTION FENCES ON ALL STAGE I CURB INLETS. THE PAVING CONTRACTOR SHALL MAINTAIN ANY OTHER POLLUTION CONTROLS ESTABLISHED. I.E., ADDITIONAL SILT BARRIERS, SAND BAGS, ETC., FOR THE DURATION OF THE PROJECT. ANY DAMAGED OR MISSING DEVICES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING PAVEMENTS, CURBS, SIDEWALKS, DRIVEWAYS, ETC., DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO THE CITY OF SUGAR LAND STANDARDS AT THE CONTRACTOR'S EXPENSE.
- 8. CONDITION OF THE WORK AREA (INCLUDING ROADS, RIGHT-OF-WAYS, ETC.) UPON COMPLETION OF THE JOB SHALL BE AS GOOD OR BETTER THAN THE CONDITION PRIOR TO STARTING THE WORK ALL DRIVEWAYS WILL BE LOCATED TO AVOID EXISTING CURB INLET STRUCTURES.
- . REDWOOD AND KEYWAYS SHALL NOT INTERSECT WITHIN 2 FEET OF AN INLET. 11. AT INITIAL AND FINAL INSPECTIONS THE PAVEMENT WILL BE FLOODED TO CHECK FOR BIRDBATHS AND CRACKS. FLOODING OF STREETS SHALL OCCUR 1 HOUR PRIOR TO INSPECTION. 12. ALL CONCRETE PLACED SHALL BE UNIFORMLY SPRAYED WITH A MEMBRANE CURING COMPOUND AS
- DESCRIBED IN ITEM 526 IN THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. IMPROPER APPLICATION WILL RESULT IN THE REJECTION OF THE CONCRETE. 13. SIX (6) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 REBAR, 24" C.C. EACH WAY IS
- THE MINIMUM ACCEPTABLE CONSTRUCTION FOR LOCAL STREETS 14. SEVEN (7) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 REBAR, 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR COLLECTOR STREETS. 15. EIGHT (8) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #4 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR ARTERIAL STREETS.
- 16. WHEN CONCRETE PAVEMENT INTERSECTS THICKER PAVEMENT, THE THICKER PAVEMENT SHALL BE CONSTRUCTED TO THE ENDS OF ALL CURB RETURNS. 17. ALL RETURNS SHALL HAVE A MIN. 25 FT. RADIUS AT THE FACE OF CURB UNLESS OTHERWISE NOTED. 18. ALL INTERSECTIONS SHALL BE CONSTRUCTED WITH WHEELCHAIR RAMPS IN ACCORDANCE WITH THE TEXAS ACCESSIBILITY STANDARD, THE AMERICAN DISABILITIES ACT, AND THE CITY OF SUGAR LAND
- STANDARDS (LATEST REVISIONS). (NO BLOCKOUTS) 19. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITHIN EACH STREET RIGHT-OF-WAY IN ACCORDANCE WITH CITY OF SUGAR LAND, THE A.D.A., AND THE T.A.S. STANDARDS (LATEST REVISIONS). 20. CRACKS LARGER THAN 1/16-INCH ARE NOT ACCEPTABLE IN NEW PAVEMENT. CRACKS 1/16-INCH OR LESS SHALL BE ADDRESSED ON AN INDIVIDUAL BASIS BY DRILL AND EPOXY INJECTION, SUBJECT
- 21. PROPER TESTING AND LAB DOCUMENTATION IS REQUIRED. FAILURE TO MEET THE MINIMUM PAVEMENT LIMING SUBGRADE: REQUIREMENTS WILL RESULT IN THE REJECTION OF SAID PAVEMENT. IMMEDIATE REMOVAL AND REPLACEMENT OF SUBSTANDARD PAVEMENT SECTIONS WILL BE NECESSARY TO SATISFY THESE
- REQUIREMENTS. 22. 4-CONCRETE CYLINDERS, SLUMP, AND AIR ENTRAINMENT TESTS ARE REQUIRED FOR EACH 100 CUBIC YARDS OF CONCRETE PAVING WITH A MINIMUM OF ONE SET OF 4 PER PLACEMENT. CITY OF SUGAR LAND RESERVES THE RIGHT TO REQUEST ANY ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE, IF ANY MATERIAL APPEARS BELOW STANDARDS.
- 23. NO. 3 REBAR, 18-INCH C.C. E.W. IS THE MINIMUM ACCEPTABLE FOR SIDEWALKS. NUMBER 4-REBAR. 24-INCH C-C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR COMMERCIAL APPROACHES, HANDICAP RAMPS, RESIDENTAL APPROACHES AND DRIVEWAYS.
- 24. COLD WEATHER PRECAUTIONS. CONCRETE PAVEMENT SHALL NOT BE PLACED WHEN THE AMBIENT TEMPERATURE IS 40°F AND FALLING. CONCRETE MAY BE PLACED IF THE AMBIENT TEMPERATURE IS 35' AND RISING. CONTRACTOR SHALL PROVIDE AN APPROVED COVERING MATERIAL (COTTON MATS, POLYFTHYLENE SHEETING, ETC.) IN THE EVENT TEMPERATURE SHOULD FALL BELOW 32'F. NO SALT OR OTHER CHEMICALS SHALL BE ADDED TO CONCRETE TO PREVENT FREEZING. 25. HOT WEATHER. NO CONCRETE PAVEMENT MIXTURE SHALL BE PLACED IF THE MIXTURE TEMPERATURE
- IS ABOVE 95'F. AIR AND WATER REDUCER ARE REQUIRED IF MIXTURE TEMPERATURE REACHES 85'F OR ABOVE. 26. IF NO AIR AND WATER REDUCER HAS BEEN ADDED, NO CONCRETE SHALL BE PLACED IF MORE THAN
- 60 MINUTES PAST BATCH TIME. IF AIR AND WATER REDUCER HAS BEEN ADDED, NO CONCRETE SHALL BE PLACED IF MORE THAN 90 MINUTES PAST BATCH TIME 27. STRUCTURE TEMPERATURES AND TIMING FOR CONCRETE PLACEMENT MAY VARY. REFER TO TXDOT STANDARDS ITEM 420 FOR DETAILS. 28. TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF
- TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 200' AND BE SEALED WITH SEALANT CONFORMING TO TXDOT ITEM 360 (& ITEM 438) AND TXDOT DMS-6310, CLASS-2 29. CONTROL JOINTS SHALL BE PLACED AT 20' C-C.
- 30. EXPANSION JOINT LAYOUT FOR INTERSECTIONS SHALL BE PROVIDED BY ENGINEER FOR CITY APPROVAL
- 31. NO WIRE MESH IS ALLOWED IN ANY CONCRETE WITHIN THE CITY LIMITS OR ETJ. 32. ALL REBAR SHALL BE 100% TIED. OVERLAPS SHALL BE DOUBLE TIED MINIMUM. REINFORCED STEEL BE A MINIMUM 60% COVERAGE. 33. ALL NEW CURB REQUIRES 3,000 P.S.I. @ 28-DAYS. 4 CONCRETE CYLINDERS, SLUMP, AND AIR
- ENTRAINMENT TESTS ARE REQUIRED FOR EACH 50 CUBIC YARDS OF CONCRETE CURB WITH A MINIMUM OF ONE SET OF 4 PER PLACEMENT. 34. A CITY INSPECTOR MUST BE PRESENT ON ALL PROOF ROLLS, LIME DEPTH CHECKS AND DENSITY TESTS AND MUST BE CONTACTED AT LEAST 24 HOURS PRIOR TO THE TEST.
- 35. CONCRETE MIX DESIGN MUST BE SENT TO THE CITY FOR APPROVAL A MINIMUM 72 HOURS BEFORE THE FIRST CONCRETE POUR 36. FOR A REGULAR MIX, SLUMP SHALL BE A MAXIMUM OF 5". FOR A MIX WITH A WATER REDUCER,
- SLUMP SHALL BE A MAXIMUM OF 6". 37. VEHICLES OF ALL TYPES ARE PROHIBITED FROM DRIVING ON NEW PAVEMENTS SEVEN (7) DAYS AFTER THE CONCRETE POUR AND UNTIL THE CONCRETE HAS REACHED A MINIMUM OF 3,000 PSI. PAVEMENT PROTECTION SUCH AS A DIRT LAYER OF AT LEAST 12" IS REQUIRED FOR TRACK EQUIPMENT AT PAVEMENT CROSSINGS.
- 38. IN LIEU OF MECHANICALLY CONTROLLED VIBRATORS CONTROLLED BY A SLIP-FORM PAVING MACHINE, HAND MANIPULATED MECHANICAL VIBRATORS SHALL BE USED FOR PROPER CONSOLIDATION OF CONCRETE IN ALL PAVEMENT AREAS (ALONG FORMS, AT JOINTS, ETC.)
- 39. ALL CONCRETE STREETS AND BRIDGE SURFACES SHALL HAVE A "BAKER BROOM" FINISH, WHILE ALL OTHER CONCRETE PLACEMENT SHALL HAVE A MEDIUM BROOM FINISH. 40. ALL PAVEMENT MARKINGS TO BE DONE IN CONFORMANCE WITH THE LATEST VERSION OF TMUTCD AND TXDOT STANDARD SPECIFICATIONS AND ANY REVISIONS THERETO. 41. REFER TO GENERAL NOTES.

CEMENT STABILIZED SAND:

- ALL STABILIZED SAND SHALL BE A MINIMUM OF 1.5 SK PER CUBIC YARD.
- 2. CEMENT STABILIZED SAND (C.S.S.) SHALL ACHIEVE A MINIMUM OF 100 PSI WITHIN 48 HOURS. 3. A MINIMUM OF 2 RANDOM SAMPLES SHALL BE TAKEN EACH WEEK. (FOR SMALLER PROJECTS, ONE SAMPLE MAY SUFFICE WITH CITY OF SUGAR LAND APPROVAL.) THE CITY OF SUGAR LAND RESERVES THE RIGHT TO REQUIRE ADDITIONAL TESTS, AT THE CONTRACTORS EXPENSE IF IT IS DEEMED NECESSARY. 4. ANY C.S.S. NOT MEETING CITY OF SUGAR LAND STANDARDS SHALL BE REMOVED AND REPLACED
- AT THE CONTRACTOR'S EXPENSE. BOTH CEMENT CONTENT AND COMPRESSIVE TESTS SHALL BE CONDUCTED ON C.S.S. SAMPLES. ALL C.S.S. SHALL BE COMPACTED IN MAXIMUM OF 8-INCH LIFTS AND REQUIRED TO REACH A MINIMUM DENSITY OF 95%. 7. REFER TO GENERAL NOTES.

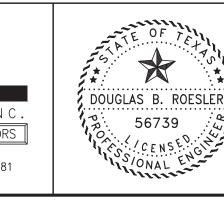
BANK SAND:

BANK SAND IS DEFINED AS A WELL-GRADED SAND, FREE OF SILT, CLAY, FRIABLE OR SOLUBLE MATERIALS AND ORGANIC MATER, MEETING THE UNIFIED SOILS CLASSIFICATIONS SYSTEM GROUP SYMBOL SW CRITERIA WITH A PLASTICITY INDEX OF LESS THAN 10. NO MORE THAN 12% OF MATERIAL CAN PASS THE No. 200 SIEVE.

ASPHALT – OILS AND EMULSIONS:

- CONTRACTOR SHALL VERIFY LINES AND GRADES AND THAT COMPACTED BASE IS READY TO SUPPORT LOADS.
- BASE MATERIAL SHALL BE DRY AND THOROUGHLY CLEAN OF LOOSE MATERIAL PRIOR TO
- APPLICATION. OILS & EMULSION SHALL BE DISTRIBUTED EVENLY AND SMOOTHLY UNDER PRESSURE NECESSARY FOR PROPER DISTRIBUTION. MAINTAIN REQUIRED SURFACE CONDITIONS UNTIL ACCEPTED BY THE CITY OF SUGAR LAND.
- PRIME COAT SHALL BE M.C.-30, M.C.-70 OR E.P.R.1 PRIME AND SHALL COMPLY WITH TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES (1993) AND ITS LATEST REVISIONS. 6. TACK COAT SHALL BE SS-1 AND SHALL COMPLY TO TXDOT, S.S.C.H.S. & B. (1993) AND ITS
- LATEST REVISIONS. M.C.-30 AND M.C.-70 AND EPR-1 PRIME SHALL BE DISTRIBUTED AT A RATE OF .25 TO .35 GALLONS PER SQUARE YARD. AND MAY NOT BE APPLIED WHEN AMBIENT TEMPERATURE IS 50°F AND FALLING. (NOTICE: CUTBACK ASPHALTS MAY NOT BE USED DURING THE PERIOD OF APRIL
- 16 THROUGH SEPT. 15 AS PER ASTM D-244). 8. EPR-1 MAXIMUM WATER DILUTION IS 3 PARTS WATER TO ONE PART EPR-1. SS-1 TACK COAT SHALL BE APPLIED AT A RATE NOT TO EXCEED 0.06 GAL. PER SQUARE YARD SURFACE AREA. CONTACT JOINTS, CURBS, ETC. SHALL BE PAINTED WITH AN EVEN THIN COAT APPLIED BY BRUSH OR BROOM. COATING MATERIAL SHALL BE HEATED TO 125'F TO 180'F WHEN APPLIED. TACK COAT MAY BE APPLIED WHEN AMBIENT TEMPERATURES ARE 40°F AND RISING. TACK COAT MAY NOT BE APPLIED IF AMBIENT AIR IS 50°F AND FALLING.

- LIME SHALL BE A "SLURRY" AS PER TXDOT 260 UNLESS SPECIFICALLY RECOMMENDED BY THE
- GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY ENGINEER. 2. ALL LIME SLURRIES SHALL BE FURNISHED AT OR ABOVE THE MINIMUM "DRY SOLIDS" CONTENTS
- AS APPROVED BY THE ENGINEER. 3. SUBGRADES SHALL BE STABILIZED WITH A MINIMUM SIX PERCENT (6%) LIME BY WEIGHT, EIGHT INCHES (8") THICK THE INITIAL MIX TO REDUCE PLASTICITY INDEX (PI) TO 20 OR LESS AS DETERMINED BY THE LIME SERIES. THE FINAL MIX SHALL BE AT SIX INCHES (6") THICK.
- LIME DRY SOLID CONTENT TESTS SHALL BE CONDUCTED ON SITE, ONCE PER ONE-HUNDRED (100) TONS OF MATERIAL DISTRIBUTED, UNLESS OTHERWISE NOTED.
- THE SUBGRADE SHALL BE SHAPED AND GRADED TO CONFORM TO THE TYPICAL SECTIONS. AS SHOWN ON THE PLANS, PRIOR TO TREATING THE EXISTING MATERIAL.
- UNLESS APPROVED BY THE CITY ENGINEER, LIME OPERATIONS SHALL NOT BE STARTED WHEN THE AMBIENT AIR TEMPERATURE IS BELOW 40°F. AND FALLING. LIMING MAY, WITH APPROVAL. STARTED WHEN THE AMBIENT AIR TEMPERATURE IS 35°F AND RISING. LIME SHALL NOT BE PLACED WHEN WEATHER CONDITIONS. IN THE ENGINEER'S OPINION, ARE UNSUITABLE. THE SUBGRADE MATERIAL AND SLURRY SHALL BE THOROUGHLY MIXED, BROUGHT TO THE
- PROPER MOISTURE CONTENT (±2) AND LEFT TO CURE USUALLY 3 DAYS (72 HRS.) MINIMUM AS APPROVED BY THE CITY ENGINEER. 8. AFTER CURING, THE SUBGRADE SHALL BE REMIXED UNTIL PULVERIZATION REQUIREMENTS ARE MET, AS PER TXDOT.
- TEX-101-E, PART III.
- SIEVE TESTS SHALL BE CONDUCTED EVERY 150 LF ON ALTERNATING LANES OF TRAFFIC OR EVERY 300 LF ON SINGLE LANES AS REQUIRED. AT LEAST ONE TEST SHALL BE CONDUCTED ON EACH ROADWAY OR CUL-DE-SAC. 10. THE MATERIAL SHALL BE AERATED OR MOISTENED TO + OR -2% OPTIMUM PRIOR TO
- COMPACTION. COMPACTION TO A MINIMUM 95% DENSITY SHALL BEGIN IMMEDIATELY AFTER ALL PULVERIZATION AND MOISTURE REQUIREMENTS ARE MET. THROUGHOUT THIS ENTIRE OPERATION. THE SURFACE SHALL BE SMOOTH AND IN CONFORMITY WITH THE LINES AND GRADES ON THE PI ANS
- 11. WHEN THE SUBGRADE FAILS TO MEET DENSITY REQUIREMENTS OR SHOULD IT LOSE THE REQUIRED STABILITY, DENSITY OR FINISH, IT SHALL BE REWORKED IN ACCORDANCE WITH TXDOT SUBARTICLE 260.4(7) "REWORKING A SECTION", WHICH MAY REQUIRE AN ADDITIONAL 25% OF THE
- SPECIFIED LIME AMOUNT 12. THE TREATED SUBGRADE SHALL BE KEPT MOIST AND PREVENTED FROM DRYING. IN THE EVENT OF A ONE-HALF (1/2) INCH RAINFALL AND/OR IF THE MATERIAL BECOMES DRY AND IS NOT IN COMPLIANCE WITH THE ±2% OPTIMUM MOISTURE, DENSITY AND MOISTURE TESTS SHALL BE RETAKEN.
- 13. LIME DEPTH DETERMINATIONS WILL BE CONDUCTED AT EACH LOCATION OF DENSITY TESTING, LIME-STABILIZED SUBGRADE SHALL BE A MINIMUM OF 6% AT 8" UNLESS OTHERWISE DIRECTED BY CITY ENGINEER. DENSITY TESTING SHALL BE DONE IMMEDIATELY PRIOR TO PLACEMENT OF REINFORCING STEEL, AND SHALL BE COMPACTED TO A MINIMUM OF 95%. LIME DEPTH TESTS SHALL BE CONDUCTED AT EVERY 150 LF OF ROADWAY ON ALTERNATING LANES OR EVERY 300 LF OF SINGLE LANE. AT LEAST ONE TEST SHALL BE CONDUCTED ON EACH ROADWAY AND/OR
- CUL-DE-SAC 14. NO SUBGRADE SHALL BE COVERED WITH ANOTHER MATERIAL UNLESS APPROVED BY THE CITY OF SUGAR LAND AND LIME DEPTH TESTS HAVE BEEN COMPLETED.



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II **Tejas Viejo Land Company** 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN:	
PROFILE:	
HORIZONTAL:	
VERTICAL:	

HOT MIX ASPHALTIC BASE COURSE: 1. NO HOT MIX ASPHALTIC BASE MAY BE INSTALLED UNTIL THE SUBGRADE HAS BEEN PROPERLY PREPARED AND TESTED AS PER THE PLANS AND SPECIFICATIONS. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY THE CITY OF SUGAR LAND BEFORE ANY BASE MATERIALS ARE INSTALLED. 2. HOT MIX ASPHALTIC BASE MATERIALS, HANDLING, AND INSTALLATION SHALL COMPLY WITH TXDOT STANDARDS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES 1995 (SECTION 02711) AND ITS LATEST REVISIONS. 3. HOT MIX ASPHALTIC MATERIALS SHALL BE AT TEMPERATURES BETWEEN 250°F AND 325°F. WHEN PLACED. 4. MATERIALS MAY NOT BE PLACED IN WET CONDITIONS OR IF THE AMBIENT TEMPERATURE IS BELOW 50°F AND FALLING. MATERIALS MAY BE INSTALLED IF THE AMBIENT TEMPERATURE IS TAKEN IN THE SHADE AND IS 40°F AND RISING. 5. PLACE BASE COURSES 4 INCHES OR GREATER IN THICKNESS IN TWO OR MORE LAYERS, EACH HAVING A COMPACTED THICKNESS OF NOT GREATER THAN 4 6. BASE MATERIAL MAY ONLY BE PLACED AGAINST CLEAN, STRAIGHT EDGES. SAW CUTTING, FULL DEPTH, IS REQUIRED IF EXISTING EDGES ARE ROUGH OR UNEVEN. COMPACTION SHALL BEGIN WHILE MATERIAL IS STILL HOT AND AS SOON AS IT WILL BEAR THE ROLLER OR COMPACTOR WEIGHT WITHOUT UNDUE DISPLACEMENT OR HAIR CRACKING. 8. COMPACT SURFACE UNIFORMLY WITH ROLLERS OR TAMPERS IN LOCATIONS NOT READILY ACCESSIBLE (I.E., ALONG CURBS, WALLS, ETC.). 9. UNLESS OTHERWISE SPECIFIED, COMPACT DENSITY TO NOT LESS THAN 95% OF MAXIMUM POSSIBLE DENSITY 10. A CERTIFIED LAB SHALL BE ON SITE AT ALL TIMES TO TEST AND PROPERLY DOCUMENT THE CONSTRUCTION METHODS AND QUALITY OF MATERIALS. 11. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY TO A.S.T.M. ASPHALT INSTITUTE AND CITY OF SUGAR LAND REQUIREMENTS. FAILURE TO COMPLY WILL RESULT IN REJECTION OF SAID MATERIALS AND SUCH SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. 12. DO NOT OPEN BASE TO TRAFFIC UNTIL IT CAN BE MAINTAINED IN GOOD CONDITION AND IS CAPABLE OF SUPPORTING VEHICLE WEIGHT WITHOUT DAMAGE OR DEGRADATION. 13. DENSITIES SHALL BE TAKEN AT A MINIMUM OF AT LEAST ONCE PER 300 LF OF DRIVE LANE OR ONCE PER 250 SQ. YD., WHICHEVER MAY APPLY AND SHALL BE STAGGERED RELATIVE TO TESTING SITES IN ABUTTING TRAFFIC LANES. FAILURE TO MEET MINIMUM REQUIREMENTS SHALL RESULT IN THE REPLACEMENT OF SAID MATERIAL AT CONTRACTOR'S EXPENSE. No. DATE REVISION DESIGN ENGINEER: CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT

GENERAL CONSTRUCTION NOTES JOB No.:

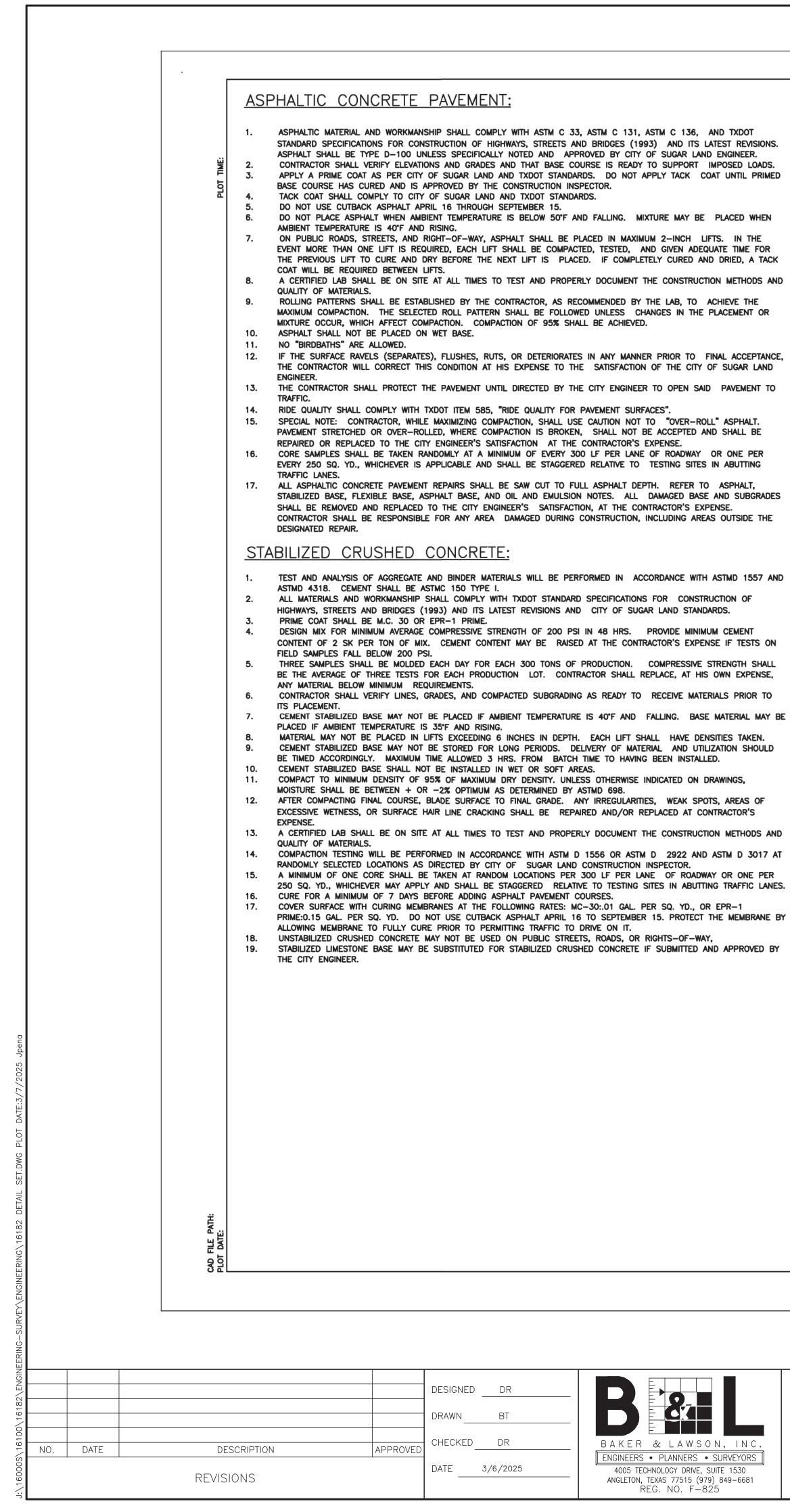
CONSTRUCTION PLANS FOR:

DESIGNED BY: DRAWN BY: SL-01 CHECKED BY: SHEET OF

PROJECT: Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

GENERAL CONSTRUCTION NOTES -SL-01

Item 5.



STORM SEWER NOTES:

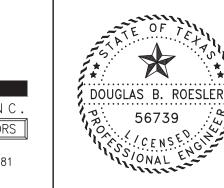
- 1. STORM SEWERS SHALL BE DESIGNED AND CONSTRUCTED WITH CITY OF SUGAR LAND'S STANDARD CONSTRUCTION SPECIFICATIONS AND IN ACCORDANCE WITH CITY OF SUGAR LAND STANDARD DETAILS SHEET AND LATEST REVISIONS
- 2. ALL PIPE STORM SEWERS SHALL BE INSTALLED, BEDDED, AND BACKFILLED IN ACCORDANCE WITH CITY OF SUGAR LAND STANDARD DETAIL DRAWINGS.
- 3. ALL CEMENT STABILIZED SAND (C.S.S.) SHALL BE 1-1/2 SK PER CUBIC YD. AND MEET MINIMUM C.S.S. STANDARDS COMPACTED TO 95%.
- 4. ALL STORM SEWERS UNDER AND WITHIN TWO (2) FOOT OF PROPOSED OR FUTURE PAVEMENTS SHALL BE BACKFILLED AND COMPACTED WITH 1-1/2 SK C.S.S. TO BOTTOM OF SUBGRADE. 5. ALL PROPOSED PIPE STUB-OUTS FROM MANHOLES OR INLETS ARE TO BE PLUGGED WITH 8" BRICK WALLS WITH FULL MORTAR HEAD AND BED JOINTS AND GROUTED WITH A MINIMUM OF 1/2-INCH NON-SHRINK GROUT
- INSIDE AND OUTSIDE, UNLESS OTHERWISE NOTED. 6. AVOID TO MAXIMUM EXTENT. MANHOLES IN HANDICAP RAMPS. 7. ALL STORM SEWER MANHOLES SHALL BE OF SUGAR LAND TYPE "C" UNLESS OTHERWISE NOTED AND SHALL BE LOCATED A MINIMUM OF THREE (3) FEET BACK OF CURB. IF CONFLICT EXISTS, RACK OVER MANHOLE TO MISS
- PROPOSED CURB. 8. RIM ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. UTILITY CONTRACTOR SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE THE FINISH GRADE AT EACH LOCATION AFTER CONTRACTOR HAS COMPLETED
- FINAL GRADING. SLOPED FILL SHALL BE ADDED FOR STORM WATER DRAINAGE AWAY FROM RIM. 9. RIM ELEVATIONS SHALL BE PROPERLY ADJUSTED TO GRADE IN PAVEMENT AND SIDEWALKS. APPROVED
- BLOCKOUTS SHALL BE USED IN PAVEMENT 10. ALL STORM SEWER MANHOLE COVERS MUST INCLUDE "STORM SEWER" AND "DUMP NO WASTE", "DRAINS TO WATERWAYS" WITH CITY OF SUGAR LAND EMBLEM AS DEPICTED IN THE DETAIL SHEETS.
- 11. MINIMUM STORM SEWER SIZE SHALL BE 24-INCH DIAMETER. ALL STORM SEWER PIPES 24" AND LARGER ARE TO BE REINFORCED CONCRETE PIPE ASTM C-76 CLASS III, INCLUDING INLET LEADS CROSSING UNDER EXISTING OR PROPOSED PAVEMENTS. ALL INLET LEADS SHALL BE 24" R.C.P. OR LARGER. ALL STORM SEWER PIPE SHALL BE RUBBER GASKETED. ALL CMP PIPE SHALL BE IN ACCORDANCE WITH C.O.S.L. APPROVED PRODUCT LIST AND STANDARD DETAILS.
- 12. CONTRACTOR SHALL VERIFY NATURAL GROUND SHOTS PRIOR TO MANHOLE CONSTRUCTION. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.
- 11. CONTRACTOR TO PROVIDE A MINIMUM OF 6-INCHES CLEARANCE AT UTILITY CROSSINGS AND A MINIMUM OF TWELVE (12) INCHES AT SANITARY SEWER CROSSING. 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, MAINTAINING, AND RESTORING ANY BACKSLOPE
- DRAINAGE SYSTEM DISTURBED AS A RESULT OF HIS WORK. 13. ALL DITCHES SHALL BE RESTORED TO PROPOSED ELEVATIONS TO INSURE PROPER DRAINAGE. ALL OUTFALLS SHALL BE COMPACTED AND ALL DISTURBED AREAS SHALL BE RESEEDED OR RESODDED WITHIN 10 WORKING
- DAYS OF EACH OCCURRENCE (NO SEPARATE PAY). 14. THE UTILITY CONTRACTOR SHALL ROUGH CUT ALL ROADSIDE SWALES IN PROPER ALIGNMENT AND SLOPE TO WITHIN 0.2 FT. OF FINISH GRADE. THE PAVING CONTRACTOR, UPON COMPLETION OF PAVING, SHALL COMPLETE FINAL GRADING ALIGNMENT OF SWALES AND RESTORE ALL AREAS WITHIN RIGHT-OF-WAY FOR SEEDING OR SODDING AND FERTILIZATION
- 15. ALL STORM SEWERS MUST BE CLEAN/FREE OF DIRT AND DEBRIS AT THE TIME AND INITIAL AND FINAL ACCEPTANCE 16. REFER TO GENERAL NOTES AND C.S.S. NOTES.

SANITARY SEWER NOTES:

- SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS SHALL BE DESIGNED AND CONSTRUCTED AS PER THE REQUIREMENTS OF THE CITY OF SUGAR LAND DESIGN STANDARDS AND CORRESPONDING STANDARD CONSTRUCTION DETAILS SHEETS AND AS PER THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY "DESIGN CRITERIA FOR SEWERAGE SYSTEMS". SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND/OR
- INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN. 2. ALL MATERIALS AND PRODUCTS USED IN THE CONSTRUCTION OF SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS SHALL COMPLY WITH THE CITY OF SUGAR LAND DESIGN STANDARDS AND THE CURRENT APPROVED PRODUCTS LIST.
- STACKS SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF SUGAR LAND STANDARD DETAIL DRAWING REQUIREMENTS. EXACT LOCATION OF THE STACK SHALL BE SUPPLIED TO THE CITY ENGINEER OF SUGAR LAND BY THE PROJECT ENGINEER ON SEALED AS-BUILT DRAWINGS AT COMPLETION OF CONSTRUCTION. ALL STACKS SHALL BE INSTALLED WITHIN 3% OF PLUMB RELATIVE TO VERTICAL PLANE AND WILL BE CAPPED AND TERMINATED AT A DEPTH OF 4 FEET BELOW FINISHED GRADE, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER
- 4. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED IN ACCORDANCE WITH THE DETAILS AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE BELOW THE CAPPED TERMINATION POINT OF THE STACK AN STUB OR WYE AND AT AN ELEVATION TWO FEET EXTENDING TWO FEET ABOVE FINISHED GRADE.
- 5. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED AS PER DRAWINGS INCORPORATED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS SHEETS. SUCH MANHOLES SHALL BE CONSTRUCTED A MINIMUM OF ONE FOOT FROM BACK OF CURB ON CURB AND GUTTER ROADWAYS AND THREE FEET FROM EDGE OF TRAVELLED ROADWAY ON THOSE THOROUGHFARES HAVING NO CURBING, MEASURED FROM OUTSIDE DIAMETER OF MANHOLE. ALL SANITARY SEWER MANHOLES SHALL INCORPORATE INFLOW PROTECTORS. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED BENEATH STREET PAVING EXCEPT WHERE SPECIFICALLY AUTHORIZED BY CITY ENGINEER AND SO DESIGNATED ON APPROVED CONSTRUCTION DRAWINGS. BRICK MANHOLES AND
- FIBERGLASS MANHOLES ARE PROHIBITED. MANHOLES DEEPER THAN EIGHT FEET SHALL HAVE ECCENTRIC CONES. 6. SANITARY SEWER MANHOLE COVERS SHALL BE MINIMUM OF 32 INCHES IN DIAMETER. ALL SUCH MANHOLE COVERS SHALL HAVE THE CITY OF SUGAR LAND EMBLEM AND THE WORDS "SUGAR LAND" AND "SANITARY SEWER" CAST IN RAISED RELIEF AS DEPICTED IN CITY OF SUGAR LAND STANDARD CONSTRUCTION DETAILS
- MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. UTILITY CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE, AND 0.5 FEET ABOVE NATURAL GROUND WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER PAVEMENT CONTRACTOR HAS COMPLETED FINAL GRADING. THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM. MINIMUM SEPARATION DISTANCES AS REQUIRED BY TCEQ SECTION 317.13, APPENDIX E MUST BE MAINTAINED
- BETWEEN POTABLE WATER LINES AND SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS, INSTALLATION OF FIRE HYDRANTS WITHIN NINE FEET OF A SANITARY SEWER SYSTEM IS PROHIBITED. REFER TO THE CITY OF SUGAR LAND INFRASTRUCTURE STANDARDS AND CORRESPONDING STANDARD CONSTRUCTION DETAILS SHEETS FOR CONSTRUCTION REQUIREMENTS OF OTHER INSTALLATIONS WHERE SEPARATION DISTANCES OF GREATER THAN NINE FEET CANNOT BE MAINTAINED.
- 9. TESTING OF SANITARY SEWERS, FORCE MAINS, MANHOLES, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS SHALL BE CONDUCTED AS NOTED IN SANITARY SEWER CHAPTER OF THE CITY OF SUGAR LAND DESIGN STANDARDS AND AS PER THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY "DESIGN CRITERIA FOR SEWERAGE SYSTEMS".
- 10. ALL SANITARY SEWER PIPING AND BEDDING SHALL BE INSPECTED BY CITY CONSTRUCTION INSPECTOR FOR CONFORMANCE WITH CITY DESIGN STANDARDS PRIOR TO BACKFILLING OF PIPING IN TRENCH. CONTRACTOR SHALL NOT COVER PIPING UNTIL SUCH TIME AS INSPECTOR HAS NOTIFIED CONTRACTOR THAT RESULTS OF PIPING INSPECTION ARE SATISFACTORY AND THAT BACKFILLING MAY BE ACCOMPLISHED. ANY PIPING INSTALLED AND/OR BACKFILLED WITHOUT INSPECTOR'S SPECIFIC APPROVAL SHALL BE UNCOVERED AT INSPECTOR'S DIRECTION AND INSPECTED ACCORDINGLY. CONTRACTOR SHALL NOTIFY INSPECTOR 24-HOURS PRIOR TO
- 11. ALL COMMERCIAL DEVELOPMENTS WITH A FAR SIDE SANITARY SERVICE LEAD ACROSS THE STREET SHALL PROVIDE A SIX (6) INCH RISER AND CLEARNOUT ON THE PROPERTY SIDE. PUBLIC MAINTENANCE OF THE FAR SIDE LEAD SHALL END AT THIS RISER.

WATER DISTRIBUTION NOTES:

- ENGINEERING DEPARTMENT.
- SSPC-SP15-10-63 SPECIFICATIONS (NEAR WHITE METAL) AS PER MANUFACTURER'S
- REQUIREMENTS OF OTHER INSTALLATIONS WHERE DISTANCES ARE GREATHER THAN 9' (NINE) FT. CANNOT BE MAINTAINED.
- LABELED "POTABLE WATER" WITH PIPE SIZE NOTED.
- CONDUCTED AS PER REQUIREMENTS OF AWWA C605-94. DISINFECTION OF WATER MAINS, WATER SERVICE LINES AND ASSOCIATED APPURTENANCES SHALL BE CITY ENGINEER.
- INSPECTOR'S DIRECTION AND INSPECTED ACCORDINGLY. 24-HOUR NOTICE REQUIRED. 10.
- FOUAL 11.



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II **Tejas Viejo Land Company** 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN: PROFILE: HORIZONTAL: VERTICAL:

WATER MAINS, WATER SERVICE LINES AND ASSOCIATED APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED AS PER REQUIREMENTS OF THE CITY OF SUGAR LAND DESIGN STANDARDS AND CORRESPONDING STANDARD CONSTRUCTION DETAILS SHEETS AND AS PER THE REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND/OR INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN. ALL MATERIALS AND PRODUCTS USED IN THE CONSTRUCTION OF WATER MAINS, WATER SERVICE

LINES AND ASSOCIATED APPURTENANCES SHALL COMPLY WITH THE CITY OF SUGAR LAND DESIGN STANDARDS AND THE CURRENT APPROVED PRODUCTS LIST AS MAINTAINED BY THE CITY'S

ALL GATE VALVES INSTALLED BELOW GRADE SHALL BE OF NON-RISING STEM DESIGN. ALL FIRE HYDRANTS SHALL BE PAINTED AND/OR REPAINTED WITH GEO-GLEN 301 BRIGHT SILVER POLYURETHANE ENAMEL MANUFACTURED BY GEO-GLEN ENTERPRISES, INC. SURFACE PREPARATION SHALL INCLUDE REMOVAL OF OIL, GREASE AND MOISTURE, FOLLOWED BY MEDIA BLASTING TO

RECOMMENDATIONS. PRIME BARE METAL WITH TP-251 EPOXY PRIMER EPOXY PRIMER OR WITH TP-221, TP-231 OR TP-241 UNIVERSAL PRIMER. 80°F AND 50% RELATIVE HUMIDITY ARE OPTIMAL CONDITIONS FOR APPLICATION OF PRIMER AND OF PAINT. DO NOT APPLY PRIMER AND/OR PAINT WHEN SURFACE TO BE PAINTED IS LESS THAN 5" ABOVE THE DEW POINT IN ORDER TO PREVENT MOISTURE FROM CONDENSING ON THE SURFACE TO BE PRIMED AND/OR PAINTED. A BLUE TRAFFIC BUTTON SHALL BE INSTALLED ON THE STREET 12" OFF THE CENTER LINE FOR EACH HYDRANT MINIMUM SEPARATION DISTANCES AS REQUIRED BY TCEQ SECTION 317.13, 290. APPENDIX E MUST BE MAINTAINED BETWEEN POTABLE WATER LINES AND SANITARY SEWERS, FORCE MAINS, LIFT STATIONS AND WASTEWATER TREATMENT PLANTS. INSTALLATION OF FIRE HYDRANTS WITHIN 9' (FT) OF A SANITARY SEWER SYSTEM IS PROHIBITED. REFER TO C.O.S.L. STANDARDS FOR CONSTRUCTION

EACH WATER SERVICE LEAD STUB SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER OR PVC PIPE AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED BLUE AND

TESTING OF WATER MAINS, WATER SERVICE LINES AND ASSOCIATED APPURTENANCES SHALL BE

CONDUCTED AS PER REQUIREMENTS OF AWWA C651 AND TCEQ. NO CONNECTIONS SHALL BE MADE TO EXISTING WATER LINES UNTIL NEWLY CONSTRUCTED WATER LINES HAVE BEEN THOROUGHLY DISINFECTED, TESTED, FLUSHED, AND SAMPLED AND CONNECTION HAS BEEN AUTHORIZED BY THE

ALL WATER PIPING AND BEDDING SHALL BE INSPECTED BY THE CITY INSPECTOR FOR CONFORMANCE TO DESIGN STANDARDS PRIOR TO BACKFILLING OF PIPING IN TRENCH. CONTRACTOR SHALL NOT COVER PIPING UNTIL SUCH TIME AS INSPECTOR HAS NOTIFIED CONTRACTOR THAT RESULTS OF PIPING INSPECTION ARE SATISFACTORY AND THAT BACKFILLING MAY BE ACCOMPLISHED. ANY PIPING INSTALLED AND/OR BACKFILLED WITHOUT INSPECTOR'S SPECIFIC APPROVAL SHALL BE UNCOVERED AT ALL MECHANICALLY RESTRAINED FITTINGS MUST BE MEGALUG RESTRAINED JOINTS OR APPROVED

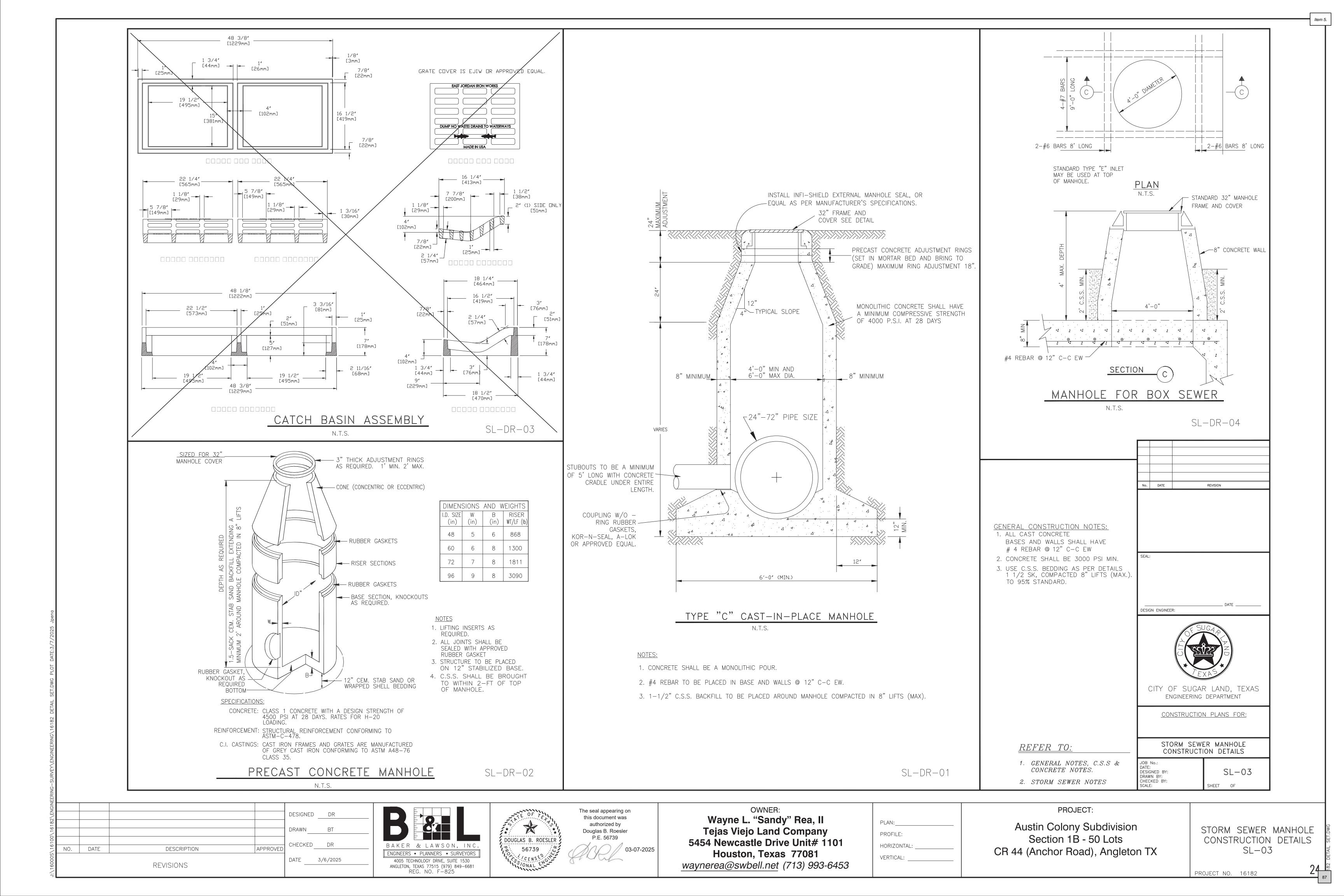
THE CITY OF SUGAR LAND MUST HAVE A COPY OF THE BACTERIALOGICAL TEST RESULTS AT LEAST 24 HOURS PRIOR TO THE INITIAL INSPECTION. IF NOT, THEN THE INSPECTION WILL BE RESCHEDULED.

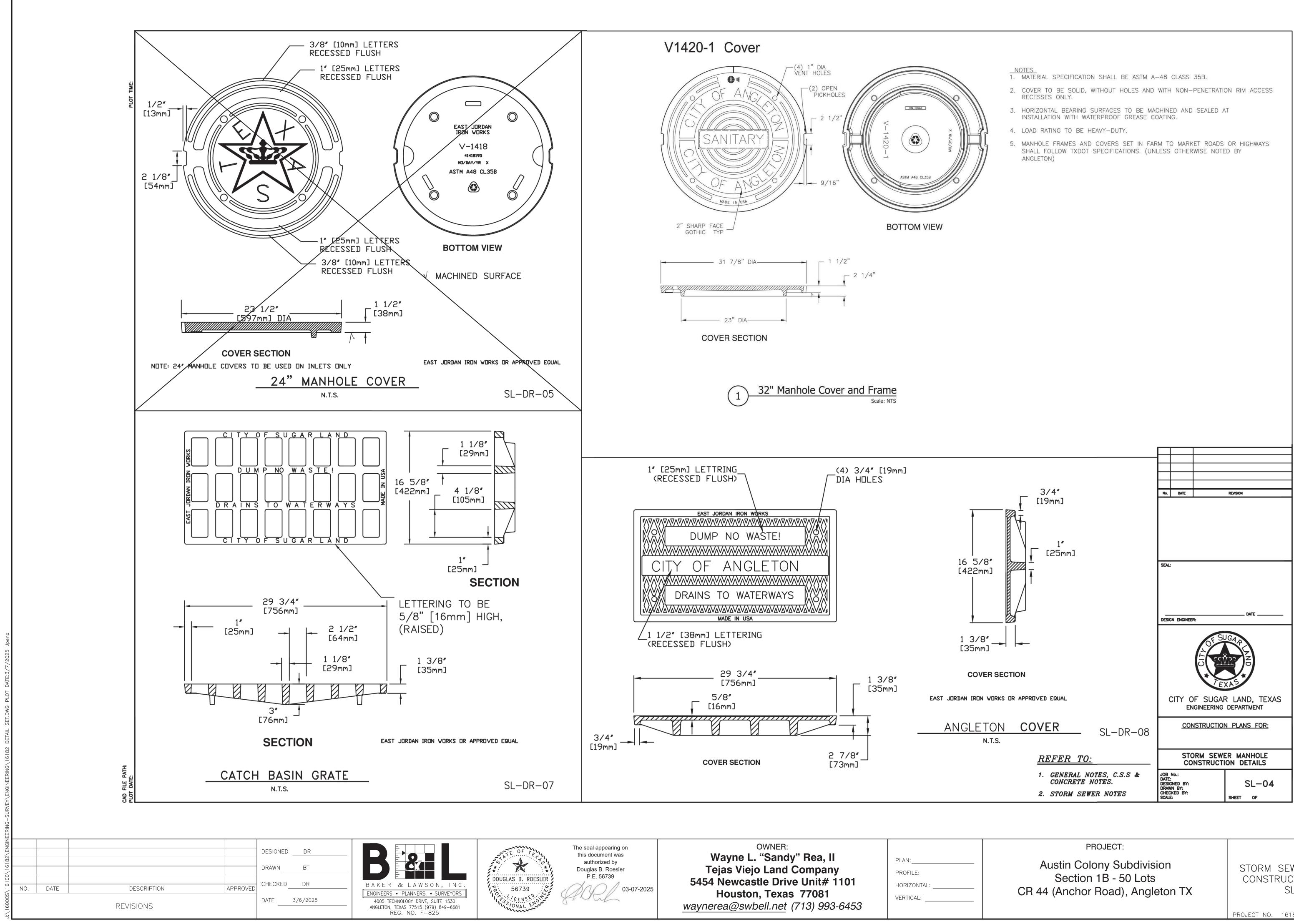
No.	DATE		REVISION			
	SEAL:					
	CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT					
CONSTRUCTION PLANS FOR:						
G	GENERAL CONSTRUCTION NOTES II					
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PROJECT: Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

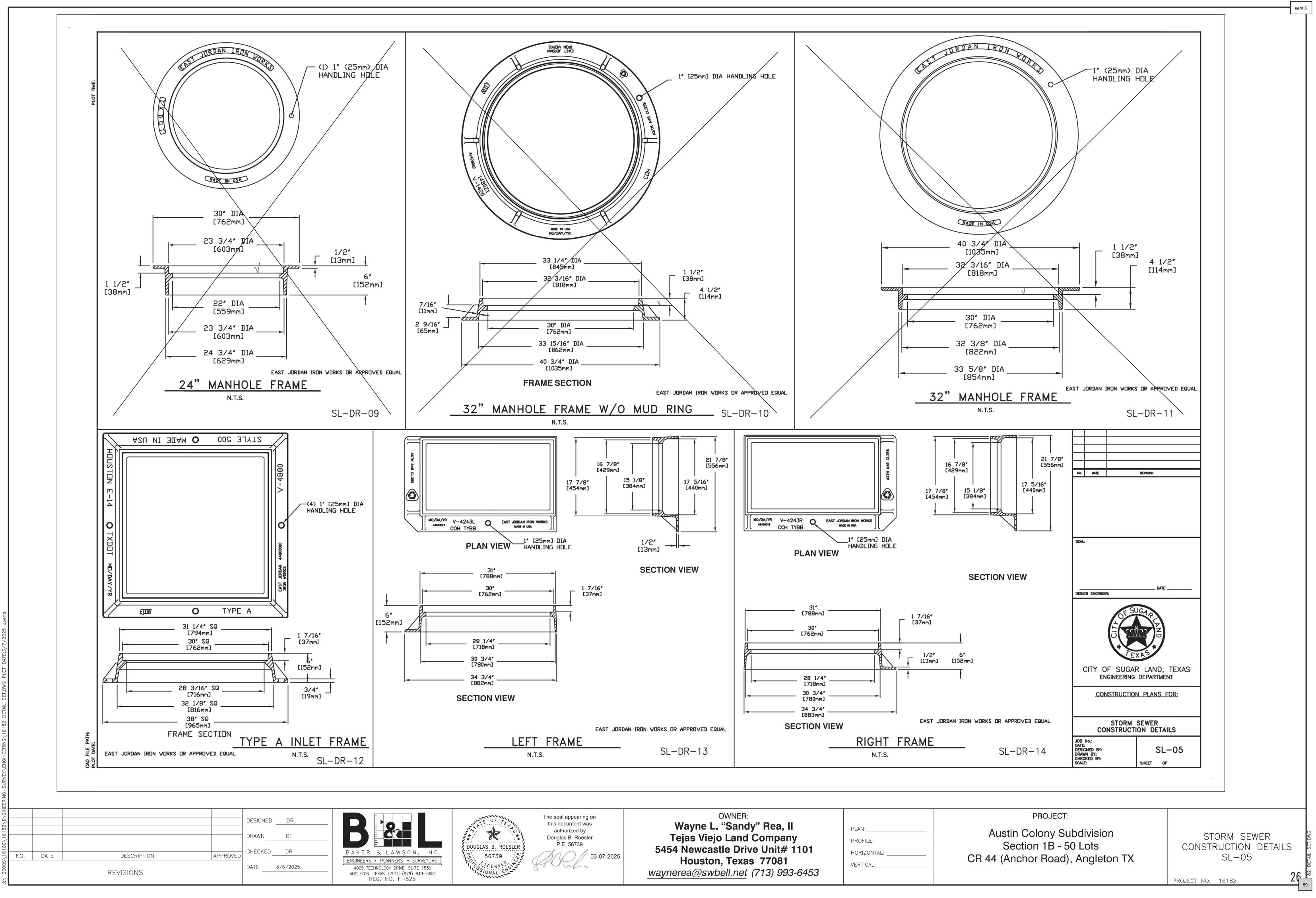
GENERAL CONSTRUCTION NOTES - II SL-02

Item 5



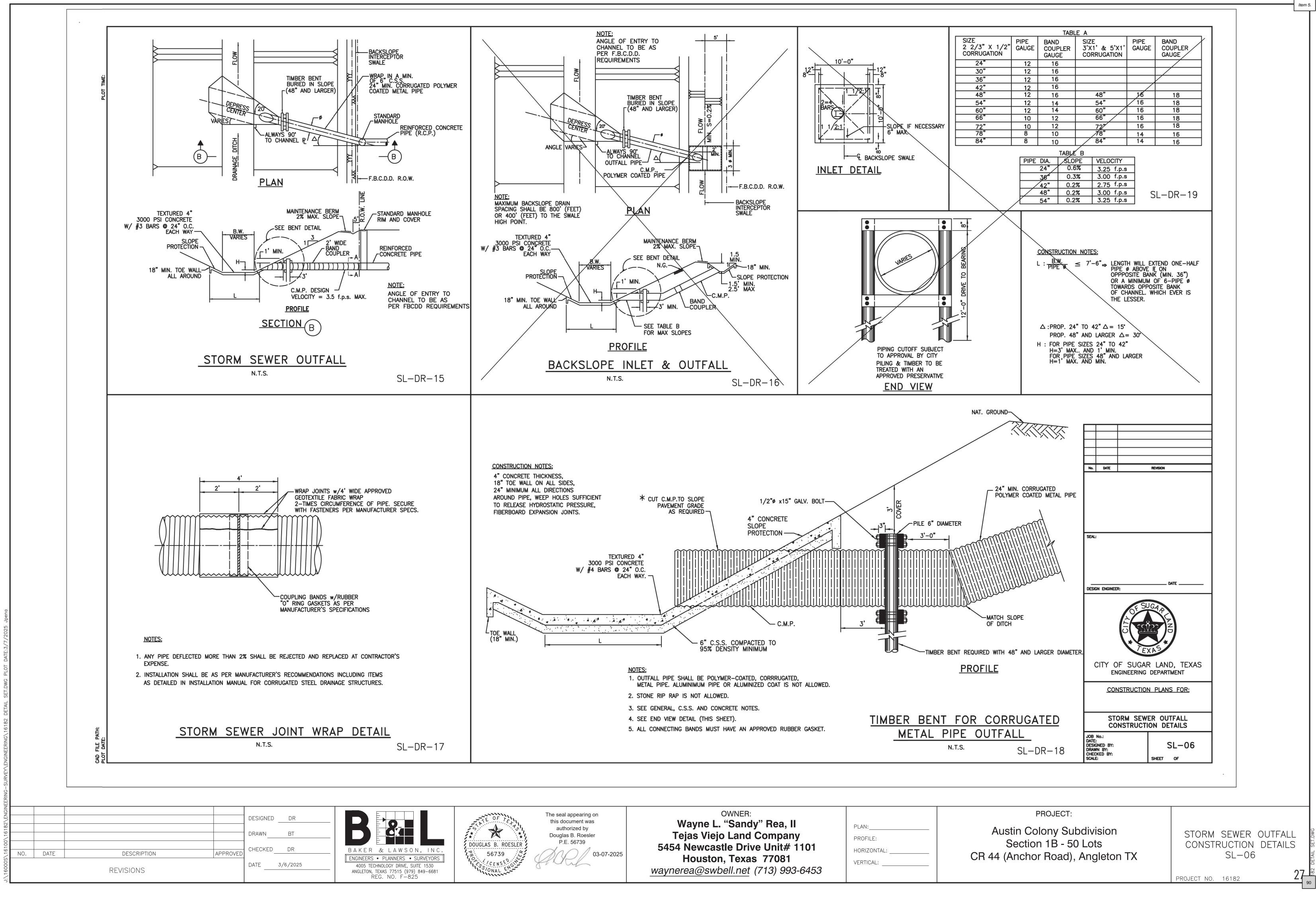


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PLAN: PROFILE: HORIZONTAL: VERTICAL:	Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX	STORM SEWER MANHOLE CONSTRUCTION DETAILS SL-04	DETAIL SET.DWG
		PROJECT NO. 16182 25	182 182 88

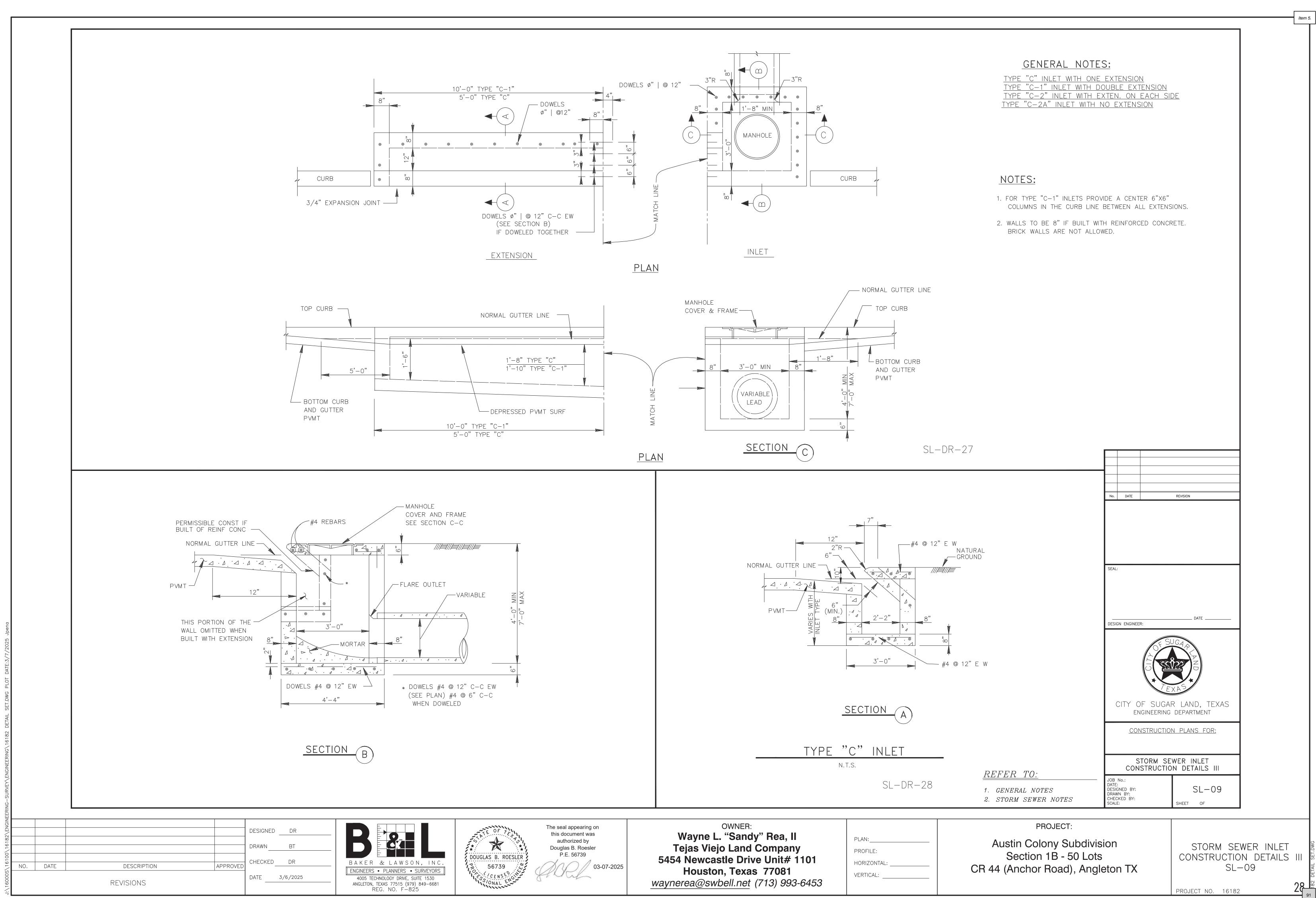


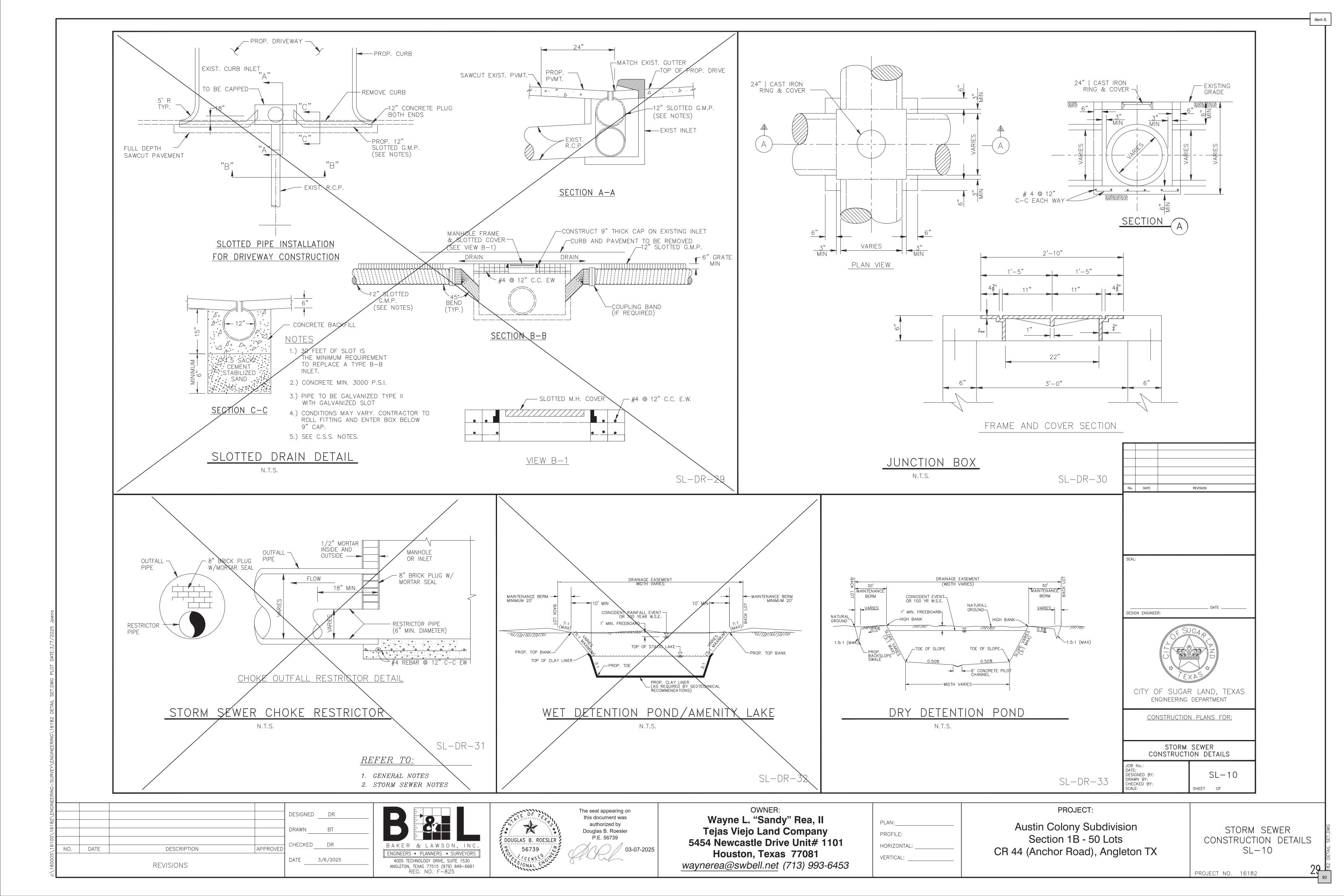
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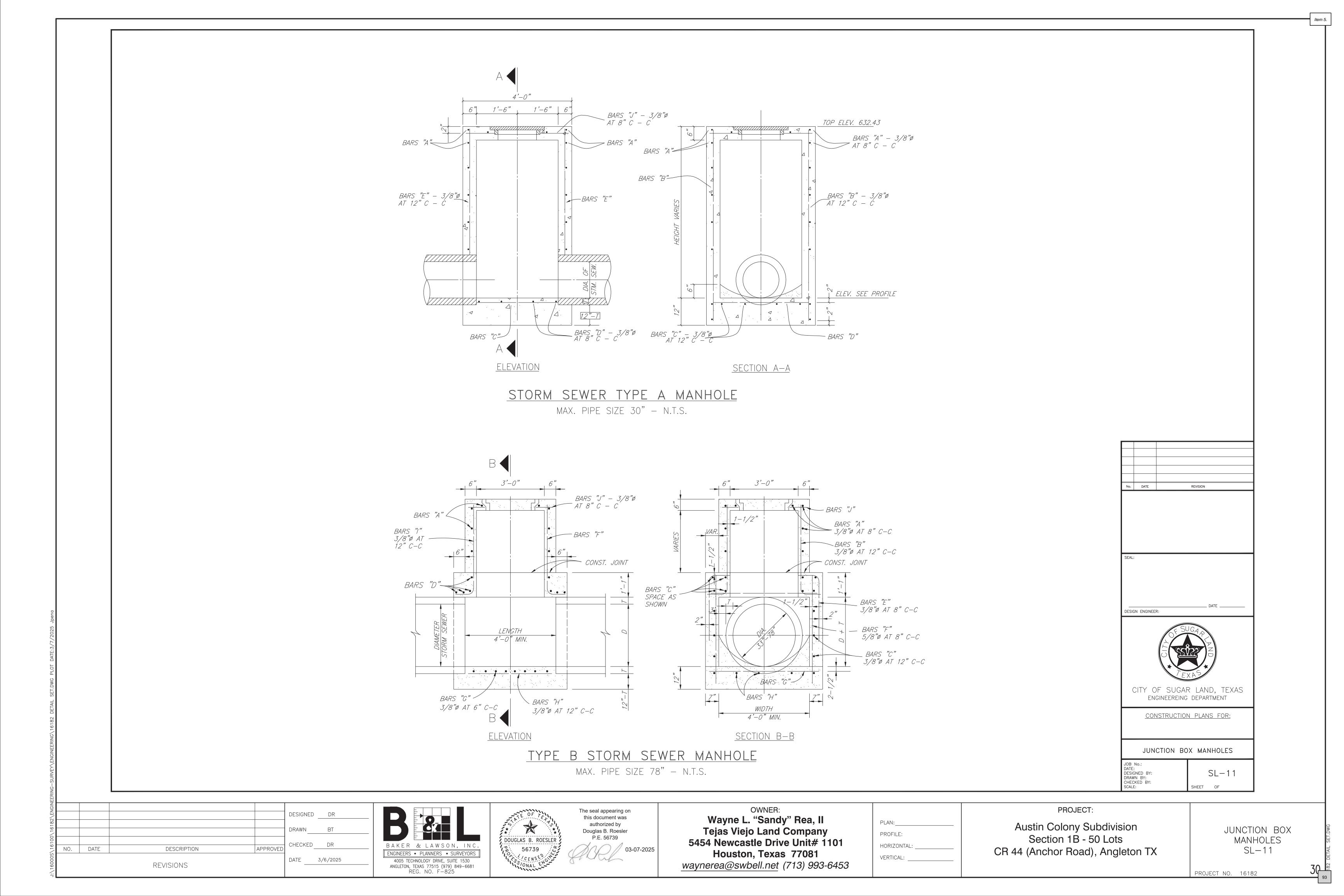
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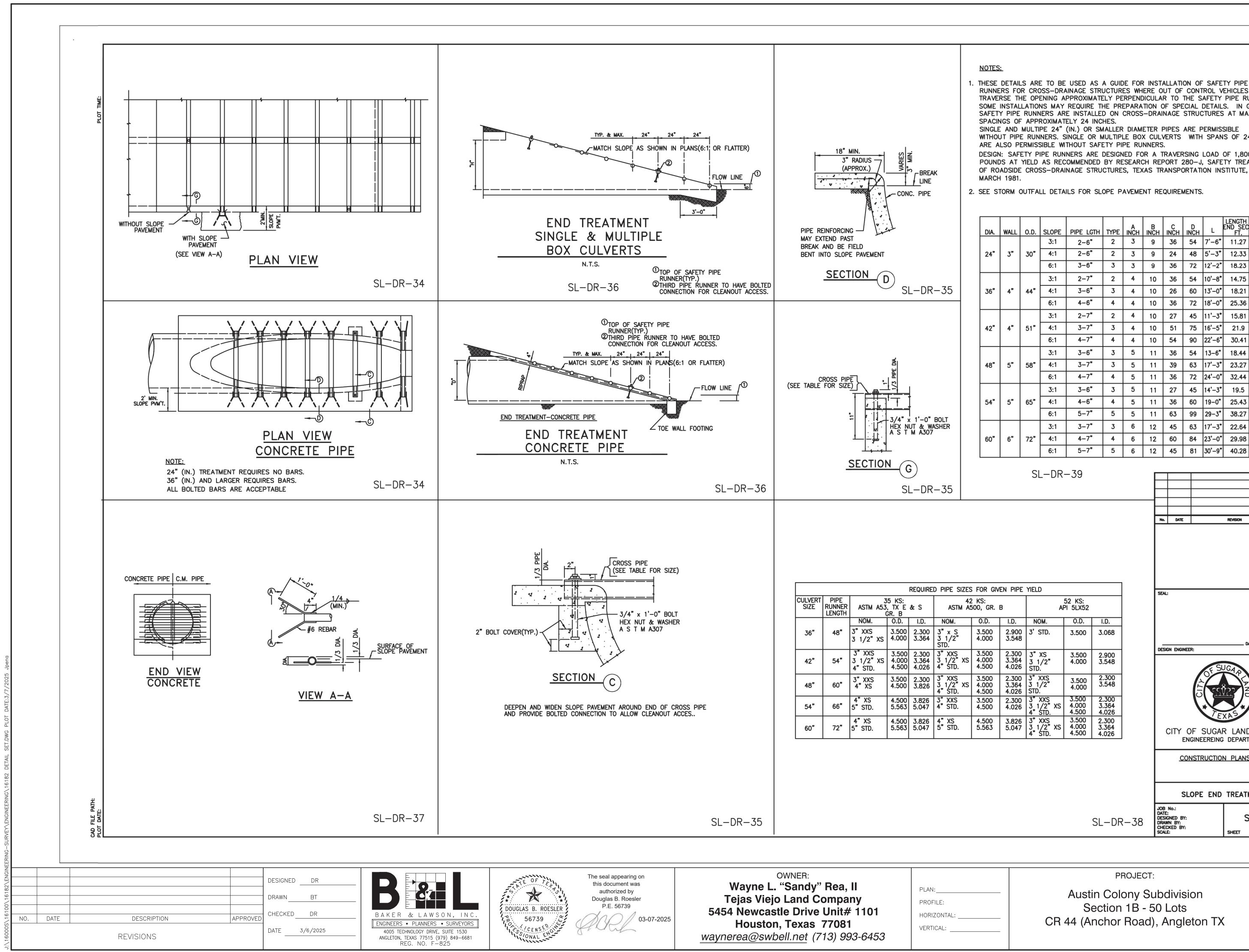


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NOTES:

RUNNERS FOR CROSS-DRAINAGE STRUCTURES WHERE OUT OF CONTROL VEHICLES MAY TRAVERSE THE OPENING APPROXIMATELY PERPENDICULAR TO THE SAFETY PIPE RUNNER. SOME INSTALLATIONS MAY REQUIRE THE PREPARATION OF SPECIAL DETAILS. IN GENERAL SAFETY PIPE RUNNERS ARE INSTALLED ON CROSS-DRAINAGE STRUCTURES AT MAXIMUM SPACINGS OF APPROXIMATELY 24 INCHES. SINGLE AND MULTIPE 24" (IN.) OR SMALLER DIAMETER PIPES ARE PERMISSIBLE WITHOUT PIPE RUNNERS. SINGLE OR MULTIPLE BOX CULVERTS WITH SPANS OF 24" OR LESS ARE ALSO PERMISSIBLE WITHOUT SAFETY PIPE RUNNERS. DESIGN: SAFETY PIPE RUNNERS ARE DESIGNED FOR A TRAVERSING LOAD OF 1,800 POUNDS AT YIELD AS RECOMMENDED BY RESEARCH REPORT 280-J, SAFETY TREATMENT OF ROADSIDE CROSS-DRAINAGE STRUCTURES, TEXAS TRANSPORTATION INSTITUTE, MARCH 1981. 2. SEE STORM OUTFALL DETAILS FOR SLOPE PAVEMENT REQUIREMENTS. LENGTH DIA. WALL O.D. SLOPE | PIPE LGTH TYPE INCH INCH INCH INCH 9 36 54 7'-6" 11.27 3:1 2-6" 3 | 24 | 24" 3" 30" 4:1 2-6" 48 5'-3" 12.33 9 3-6" 9 36 72 12'-2" 18.23 6:1 - 3 2-7" 3:1 10 | 36 | 54 |10'-8"| 14.75 36" 4" 44" 4:1 3–6" 10 26 | 60 |13'–0"| 18.21 6:1 4–6" | 10 | 36 | 72 |18'-0"| 25.36 4 2-7" 3:1 10 27 45 11'-3" 15.81 3–7" 4" | 51" 42" 4:1 10 | 51 | 75 |16'-5" 21.9 4-7" 90 22'-6" 30.41 6:1 10 54 3–6" 54 13-6" 18.44 3:1 36 11 5" 58" 3–7" 48" 4:1 | 11 | 39 | 63 |17'-3"| 23.27 - 5 4-7" 6:1 36 72 24'-0" 32.44 3-6" 11 27 3:1 45 14'-3" 19.5 54" 5" 65" 4–6" 4:1 11 | 36 | 60 |19-0" | 25.43 11 63 99 29-3" 38.27 5-7" 6:1 3–7" 12 | 45 | 63 |17'-3" 22.64 3:1 84 23'-0" 29.98 60" 6" 72" 4:1 4-7" 12 60 6:1 5–7" 12 | 45 | 81 | 30'-9" | 40.28 SL-DR-39 No. DATE REVISION 52 KS: API 5LX52 0.D. I.D. NOM. 0.D. | I.D. | 3.500 4.000 3.500 3.068 2.900 3' STD. 3.548 DESIGN ENGINEER: 2.300 3" XS 3.364 3 1/2" 4.026 STD. 3.500 4.000 2.900 3.548 2.300 3" XXS 3.364 3 1/2" 4.026 STD. 2.300 3.548 3.500 4.000
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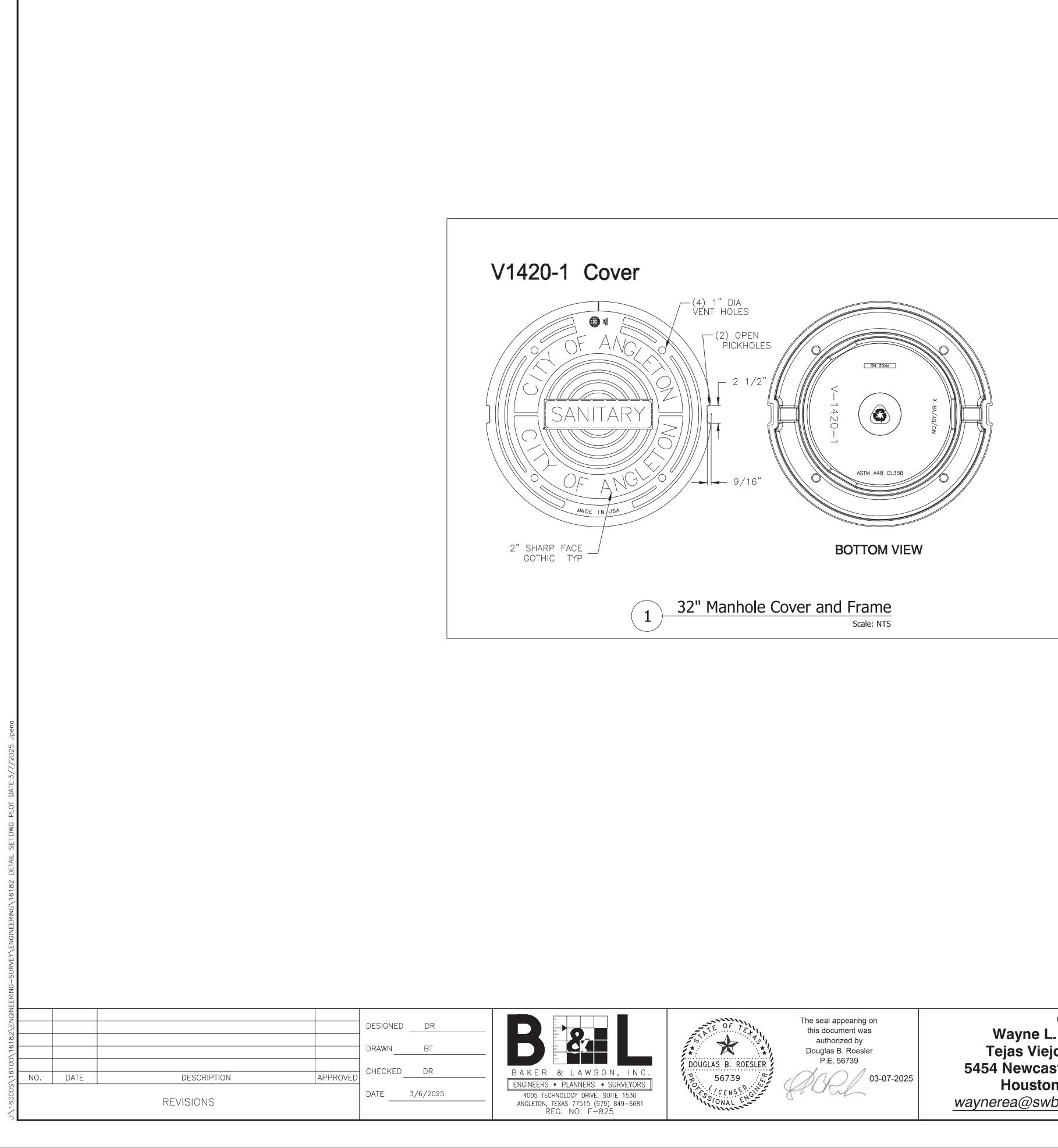
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 2.300 3.364 4.026 3.500 4.500 2.300 3.364 4.026 4.500 5.563 CITY OF SUGAR LAND, TEXAS ENGINEEREING DEPARTMENT CONSTRUCTION PLANS FOR: SLOPE END TREATMENT DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE: SL-12 SL-DR-38 SHEET OF PROJECT:

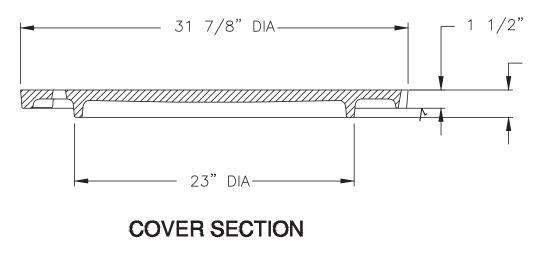
Austin Colony Subdivision SLOPE END TREATMENT Section 1B - 50 Lots SL-12 CR 44 (Anchor Road), Angleton TX

PROJECT NO. 16182

<u>31</u> 94

Item 5.





<u>NOTES</u> 1. MATERIAL SPECIFICATION SHALL BE ASTM A-48 CLASS 35B.

- 2. COVER TO BE SOLID, WITHOUT HOLES AND WITH NON-PENETRATION RIM ACCESS RECESSES ONLY.
- 3. HORIZONTAL BEARING SURFACES TO BE MACHINED AND SEALED AT INSTALLATION WITH WATERPROOF GREASE COATING.
- 4. LOAD RATING TO BE HEAVY-DUTY.
- 5. MANHOLE FRAMES AND COVERS SET IN FARM TO MARKET ROADS OR HIGHWAYS SHALL FOLLOW TXDOT SPECIFICATIONS. (UNLESS OTHERWISE NOTED BY ANGLETON)

OWNER: Wayne L. "Sandy" Rea, II Tejas Viejo Land Company 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN:
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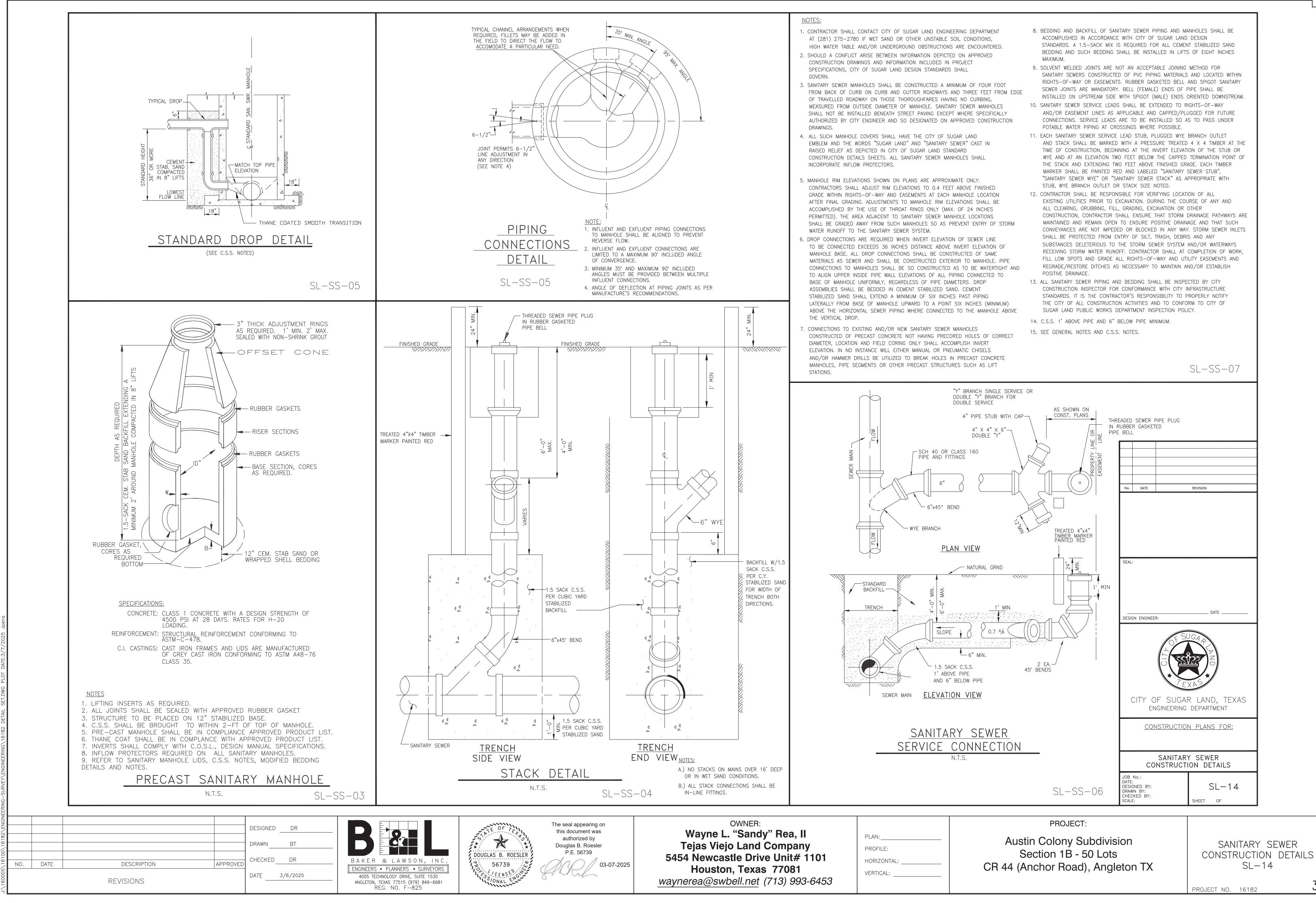
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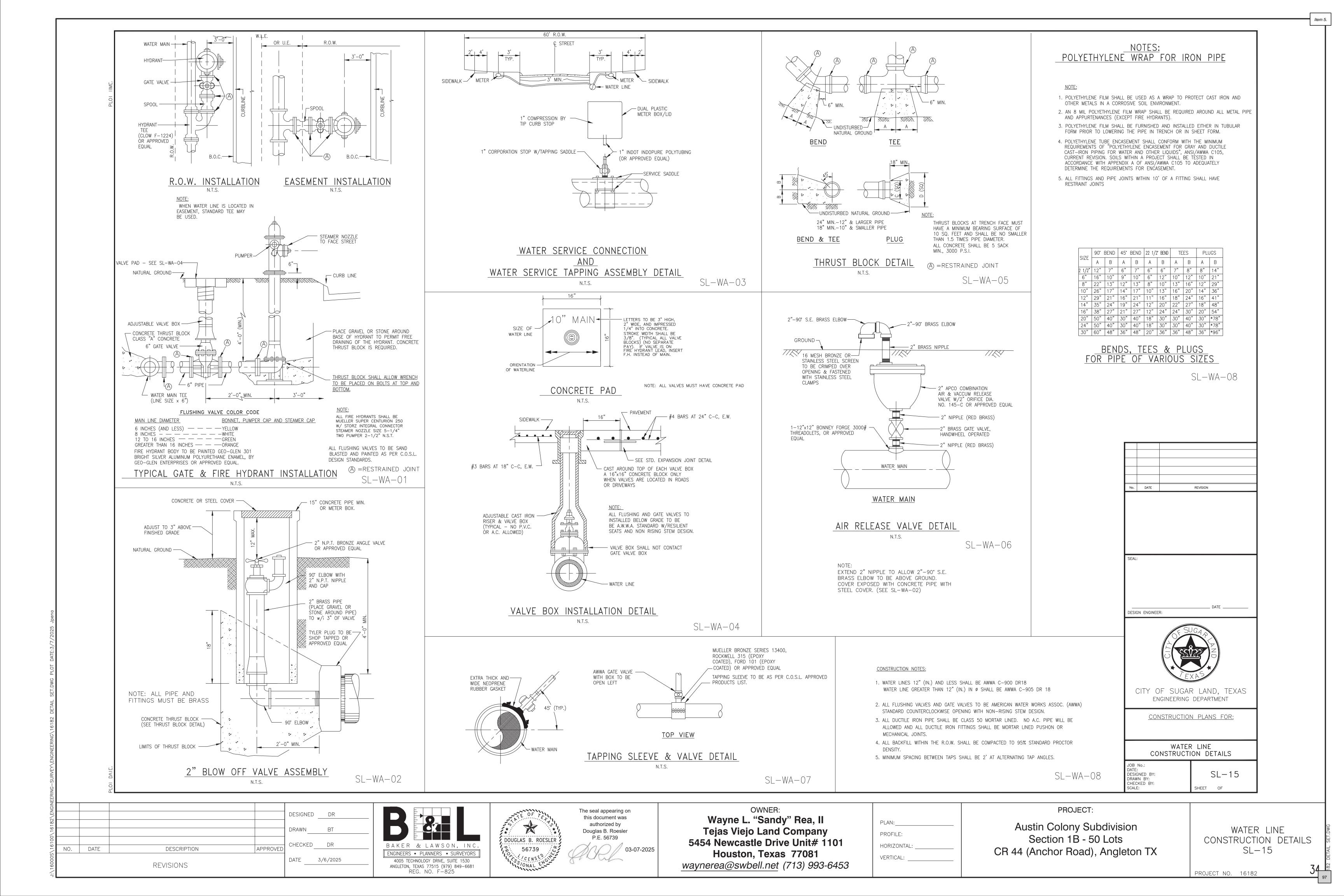
Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

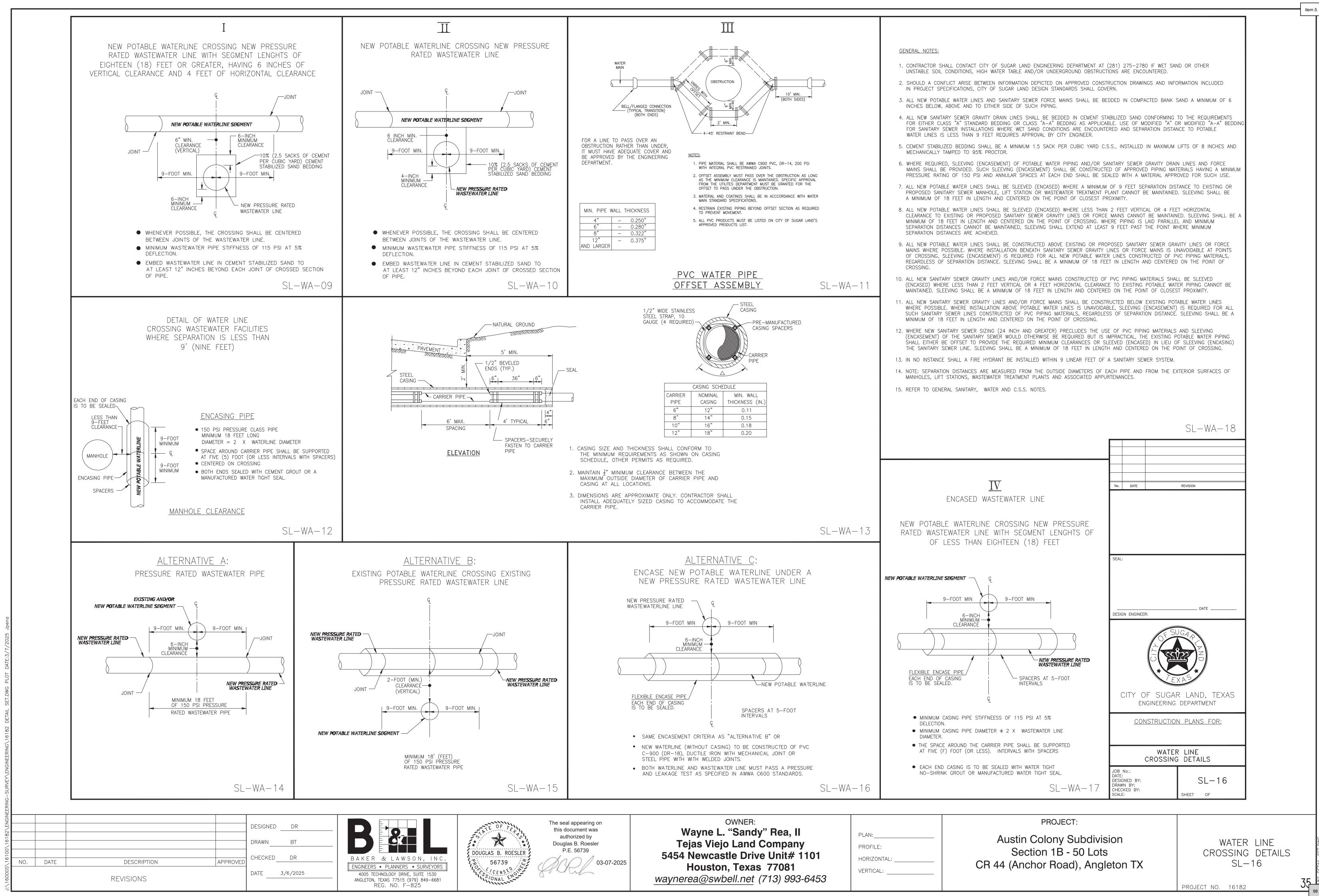
SANITARY SEWER MANHOLE CONSTRUCTION DETAILS

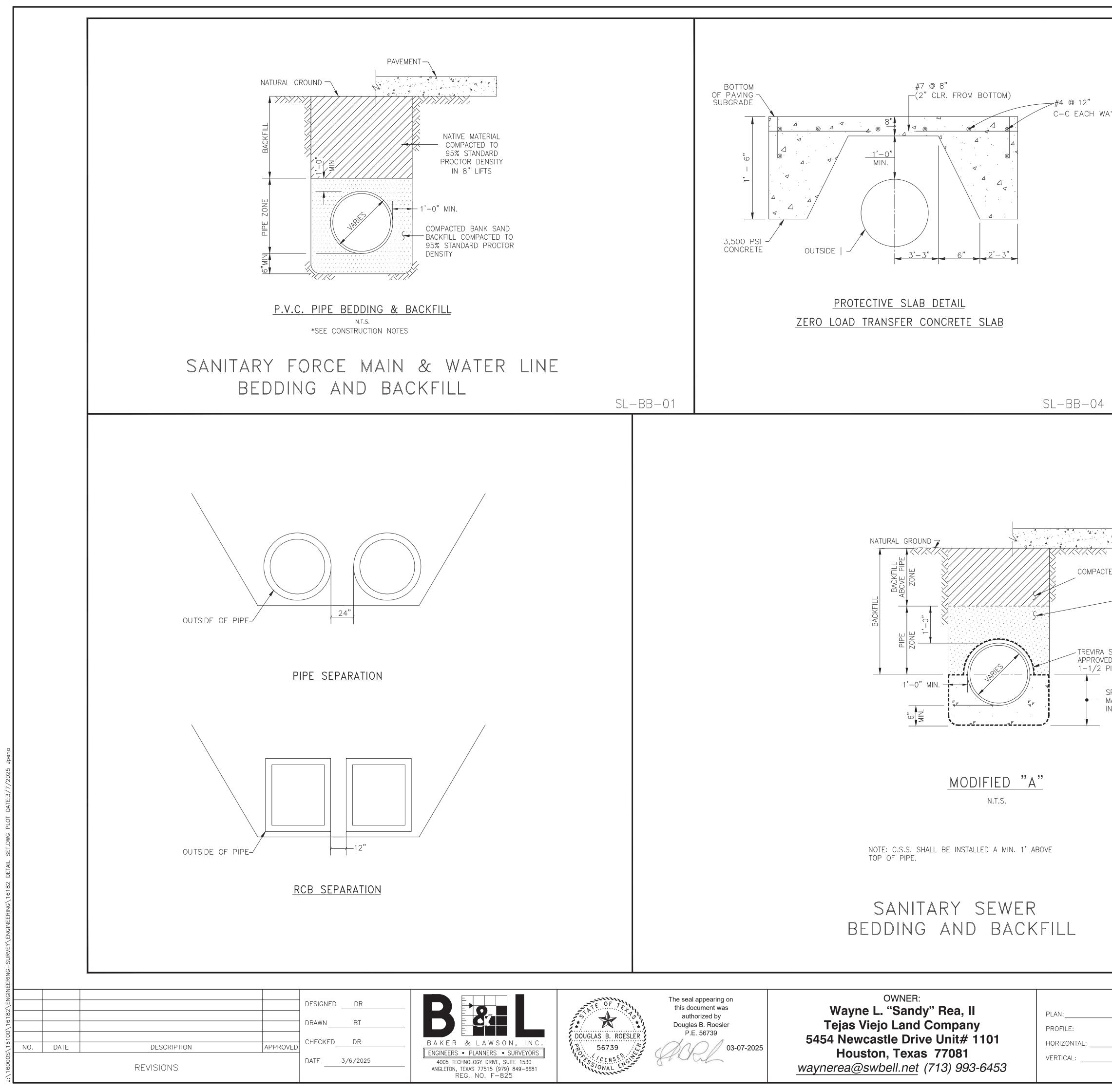
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Item 5.



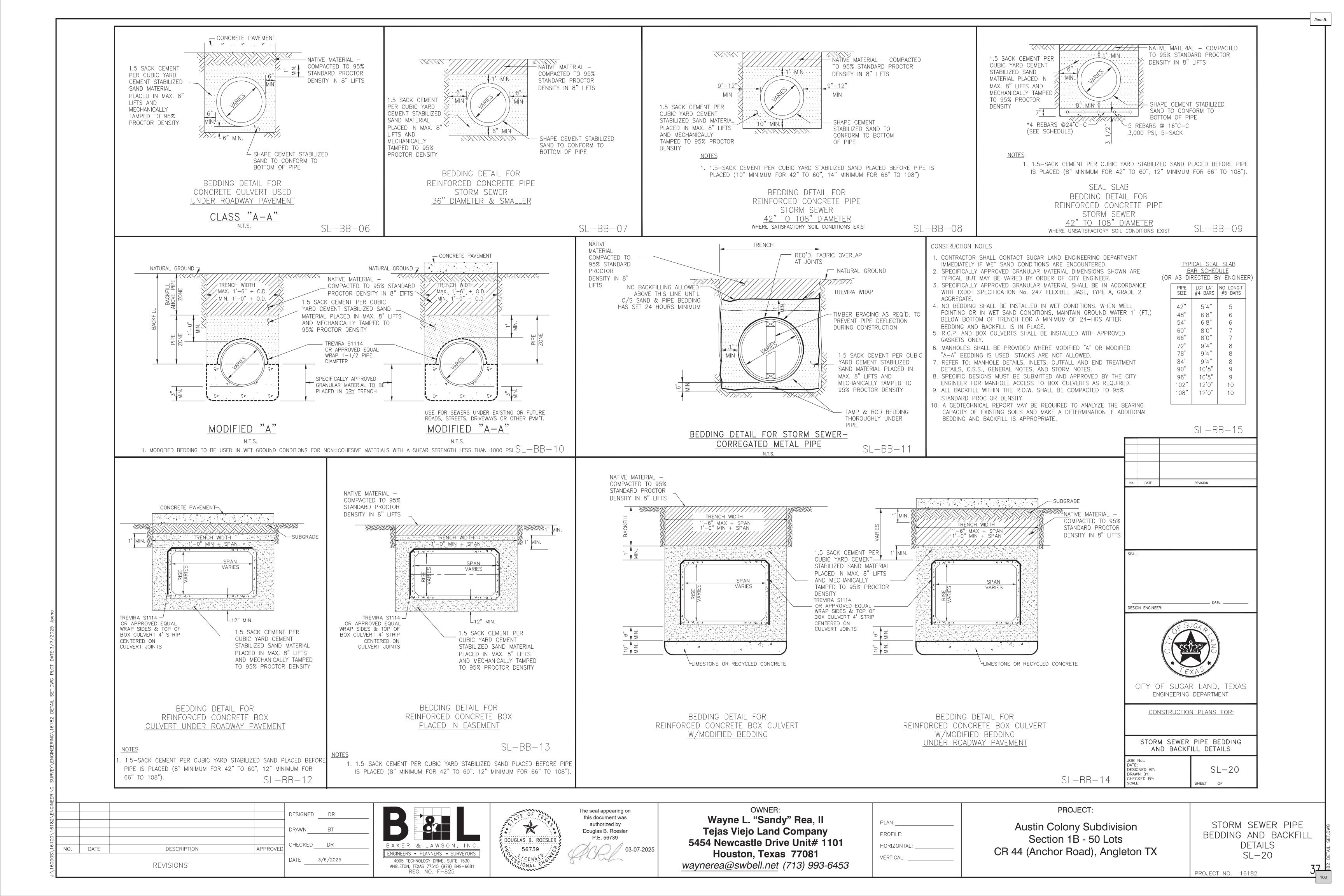


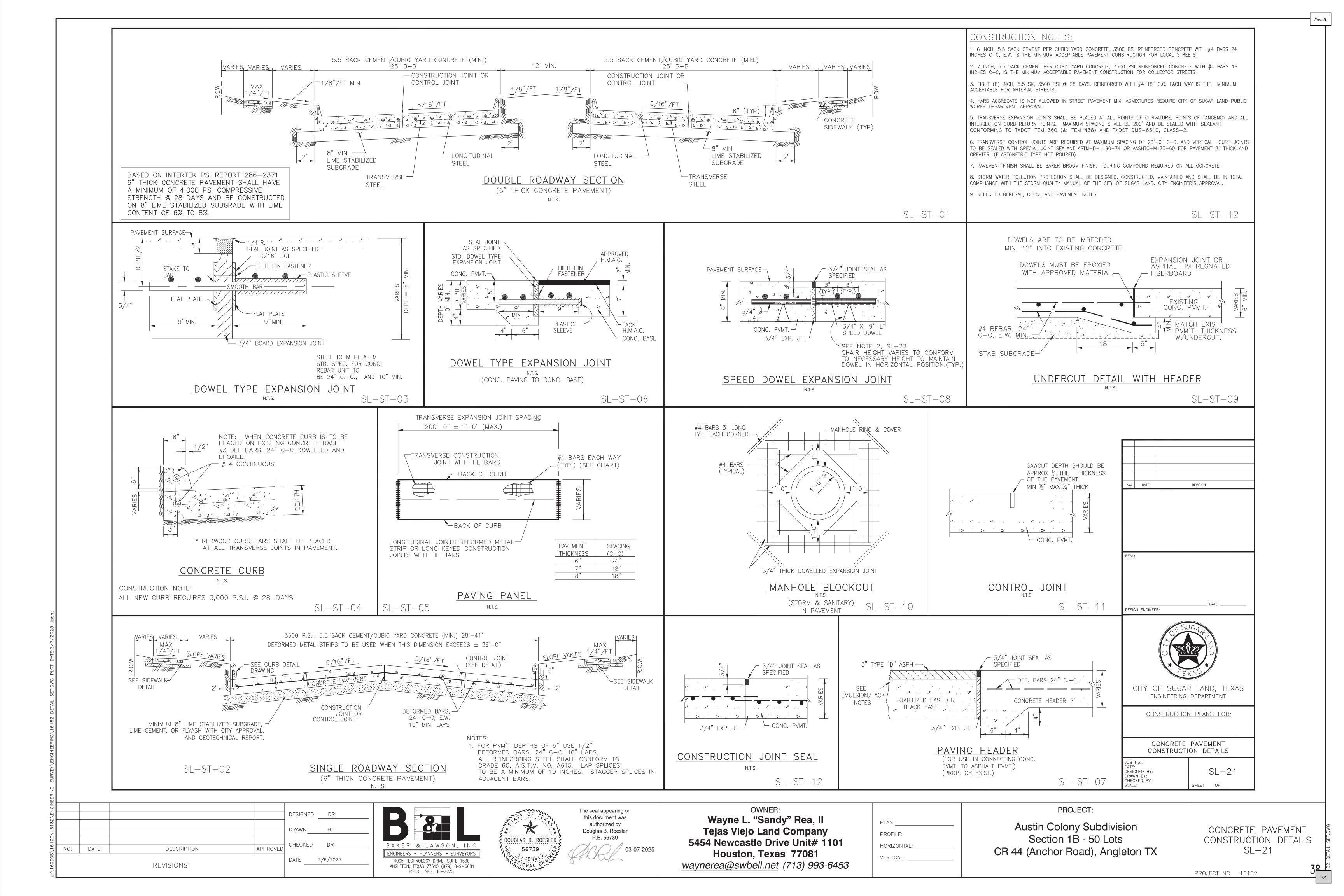


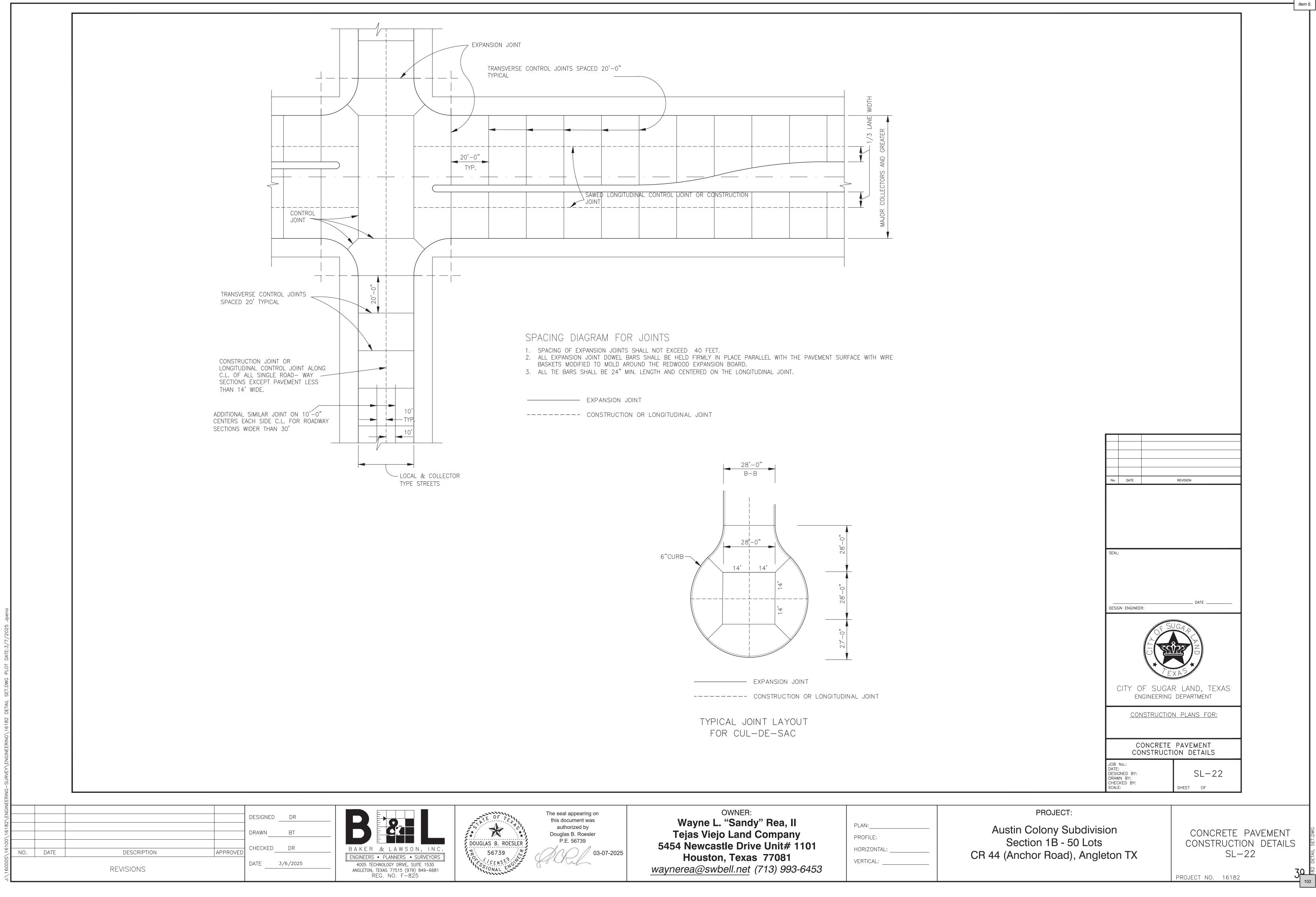


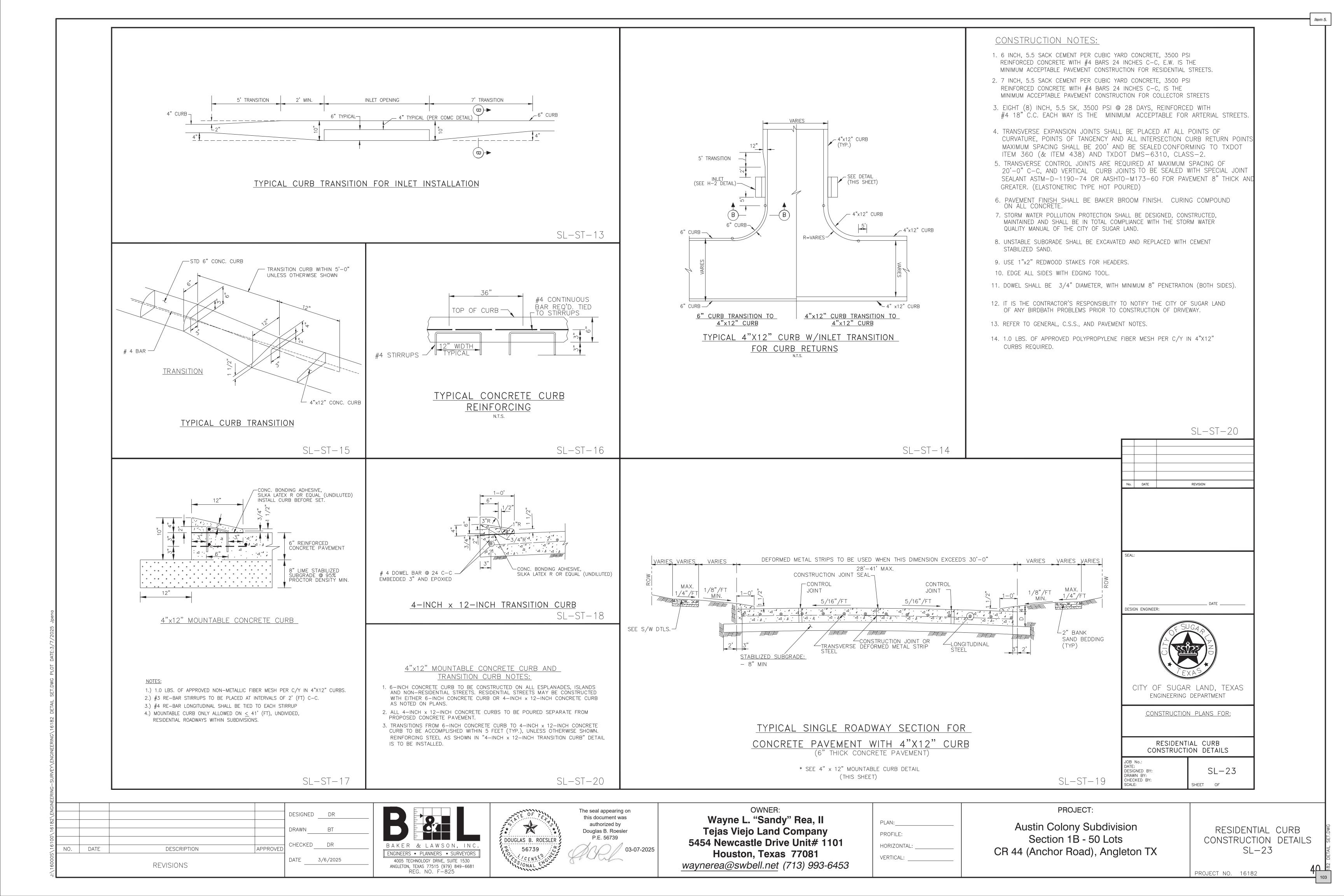
					·
ΑΥ <u>:</u>	 CONSTRUCTION NOTES CONTRACTOR SHALL CONTACT SUGAR LAND ENGINEE IMMEDIATELY IF WET SAND CONDITIONS ARE ENCOUN LIMESTONE AND RECYCLED CONCRETE DIMENSIONS S TYPICAL BUT MAY BE VARIED BY ORDER OF CITY EN LIMESTONE OR RECYCLED CONCRETE SHALL BE IN / TXDOT SPECIFICATION No. 248 FLEXIBLE BASE, TYPE AGGREGATE. NO BEDDING SHALL BE INSTALLED IN WET CONDITIO POINTING OR IN WET SAND CONDITIONS, MAINTAIN G BELOW BOTTOM OF TRENCH FOR A MINIMUM OF 24 AND BACKFILL IS IN PLACE. 	NTERED. SHOWN ARE NGINEER. ACCORDANCE WITH E A, GRADE 2 NNS. WHEN WELL GROUND WATER 1 (FT)			
			SL-BB-05		
DENSITY IN 1.5 SACK (CUBIC YARE SAND MATEI AND MECHA	TANDARD PROCTOR 8" LIFTS CEMENT PER D CEMENT STABILIZED RIAL PLACED IN MAX. 8" LIFTS NICALLY TAMPED COCTOR DENSITY	No. DATE	REVISION		
S1114 OR D EQUAL WRA PIPE DIAMETER SPECIFICALLY A MATERIAL TO E N <u>DRY</u> TRENCI	APPROVED GRANULAR BE PLACED	SEAL:	DATE		
		CITY OF SUGA ENGINEERING	R LAND, TEXAS BEPARTMENT		
	SL-BB-03 <u>REFER TO:</u> 1. GENERAL NOTES 2. C.S.S. NOTES	WATER LINE, S FORCE MAIN B JOB No.: DATE: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	SANITARY SEWER EDDING DETAILS SHEET OF		
	PROJECT: Austin Colony Subdivis Section 1B - 50 Lots CR 44 (Anchor Road), Angl	6	WATER LINE SEWER FC BEDDING SL- PROJECT NO. 16182	RCE MAIN DETAILS -19	66 182 DETAIL SET.DWG

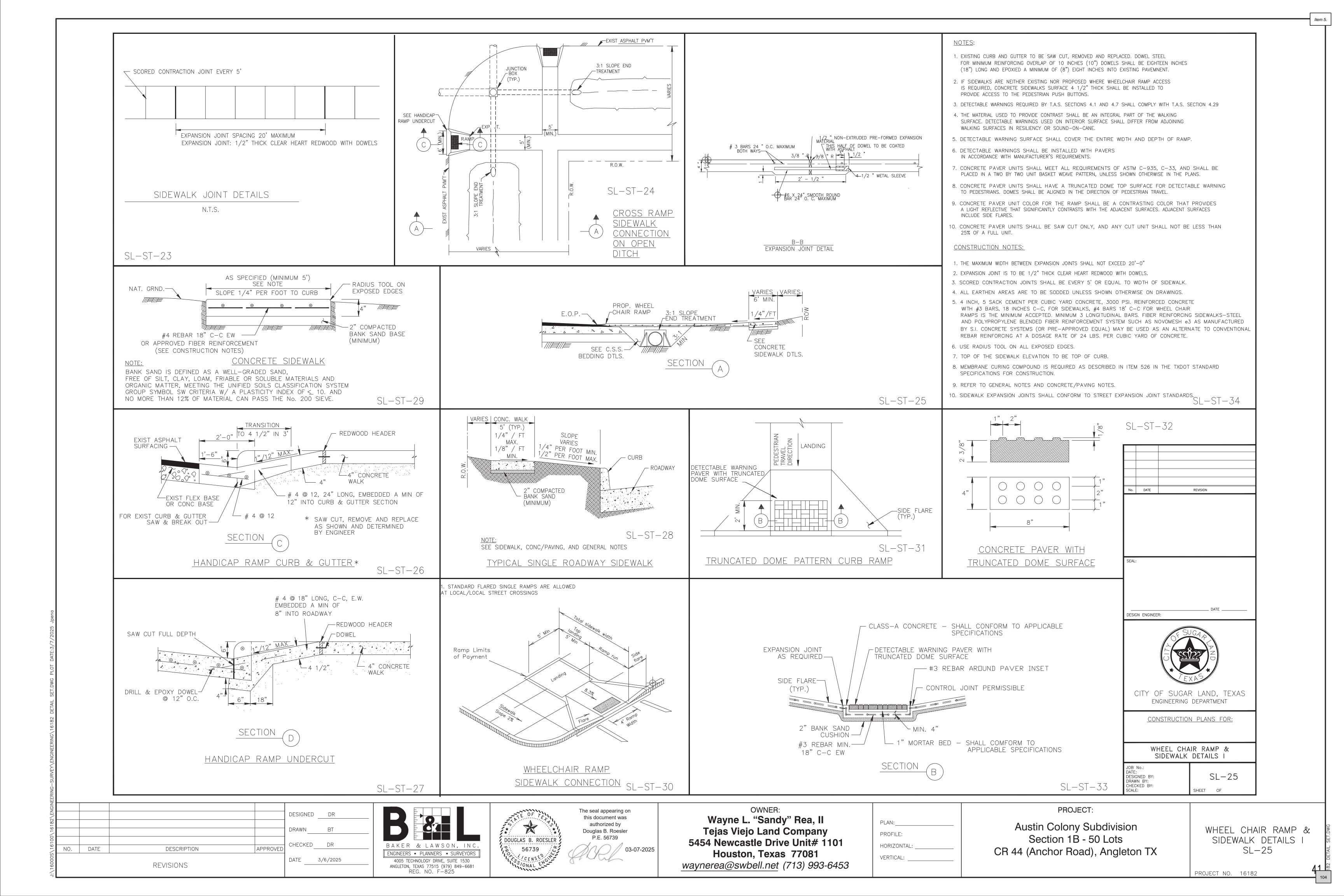
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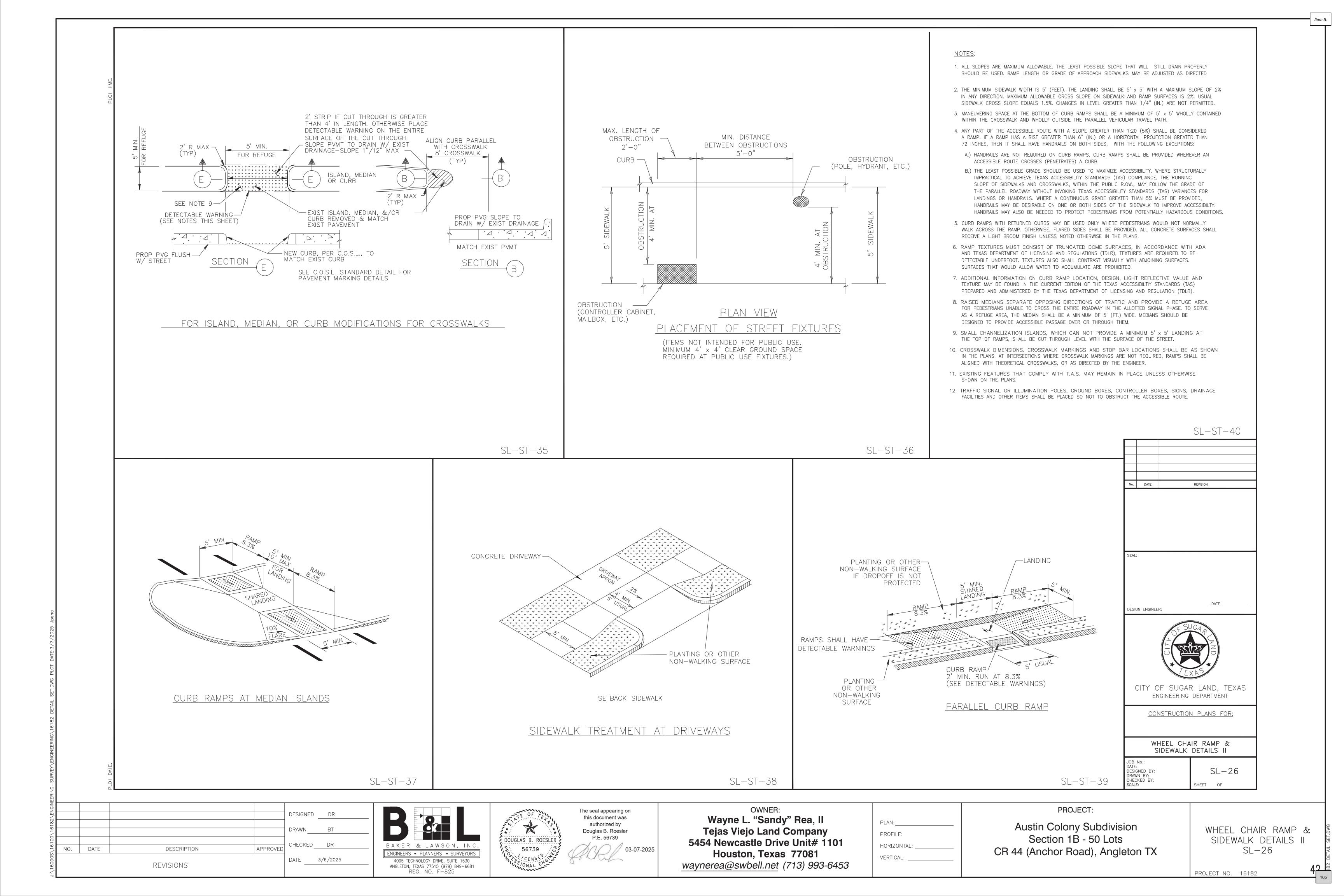


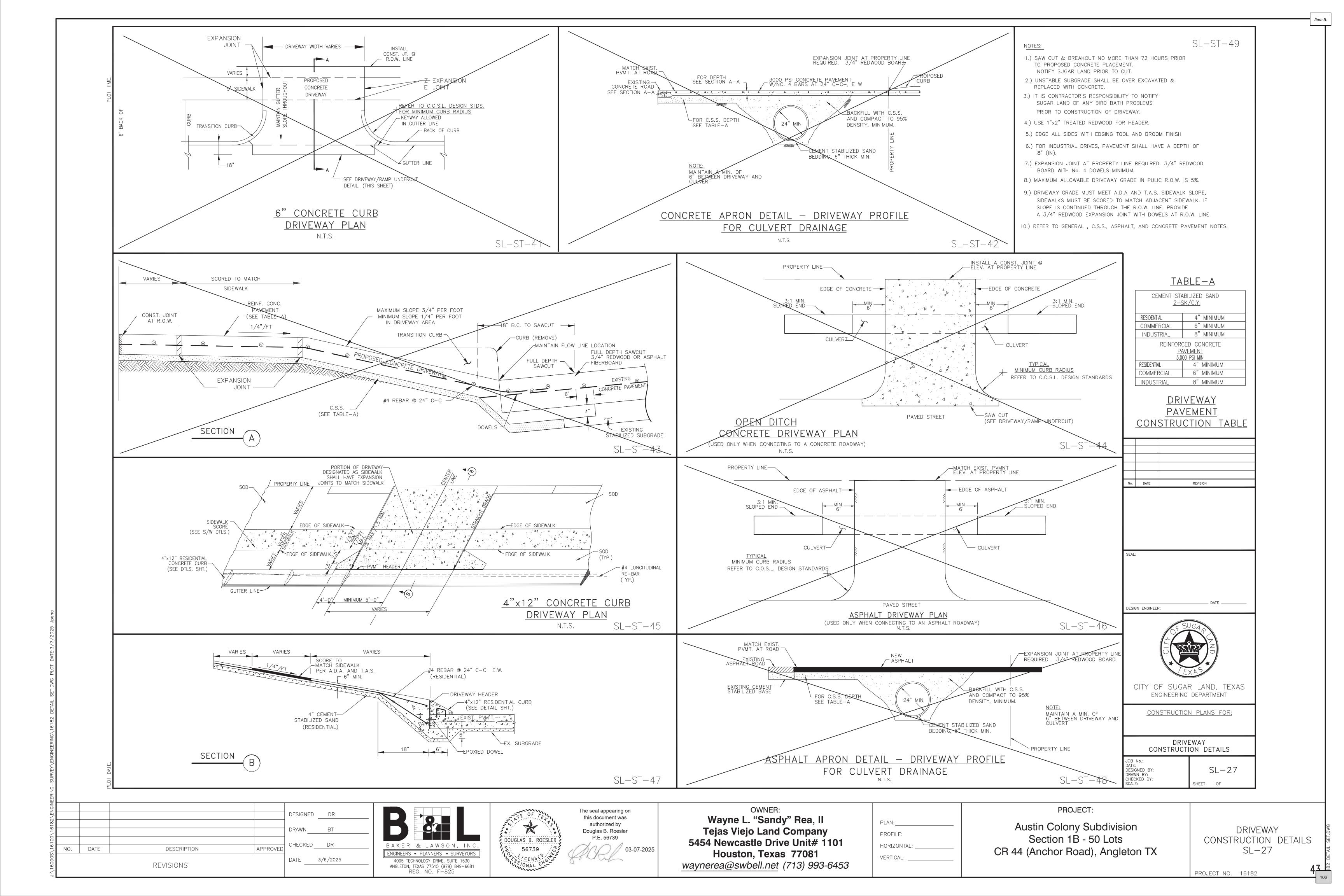


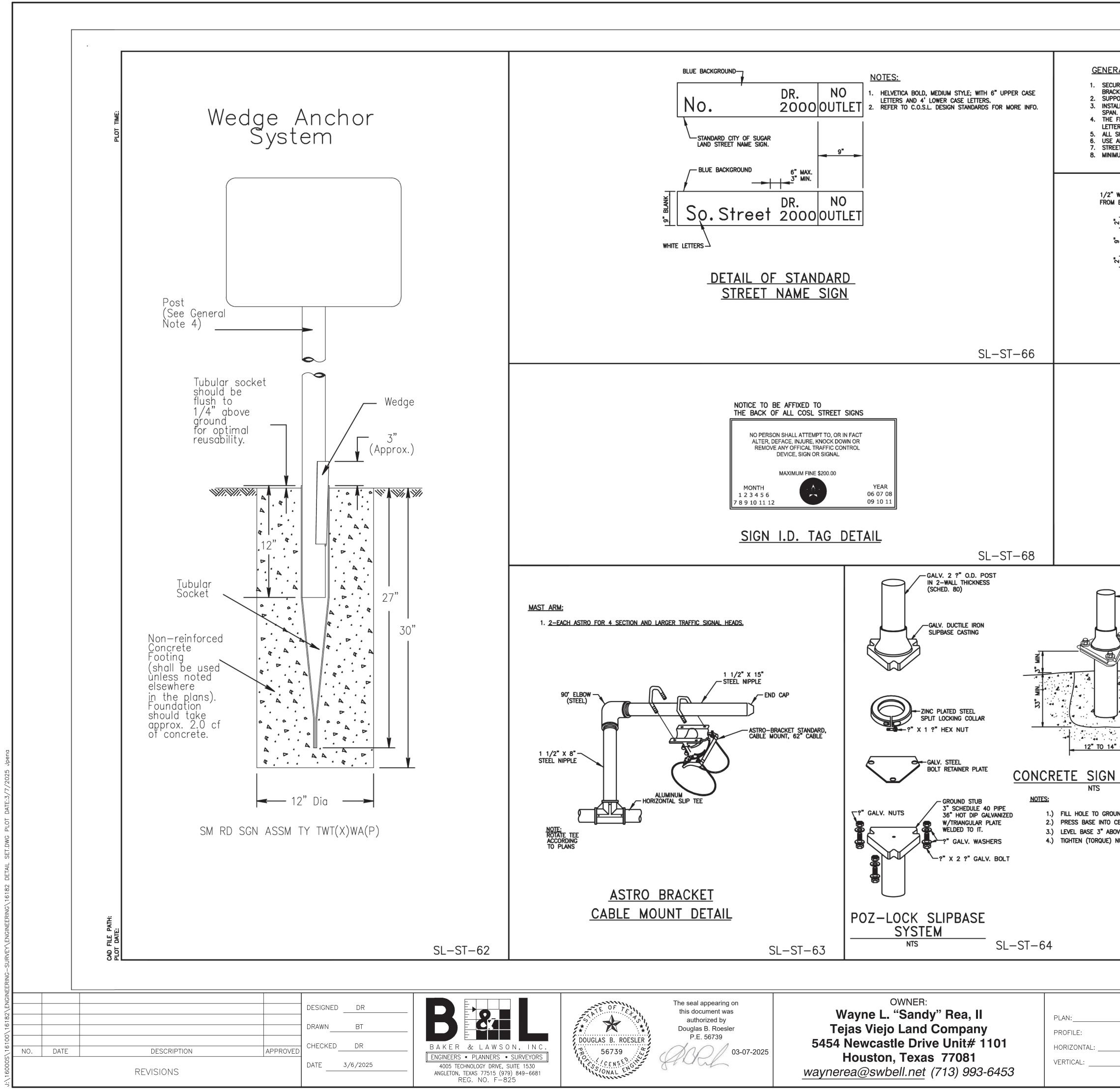




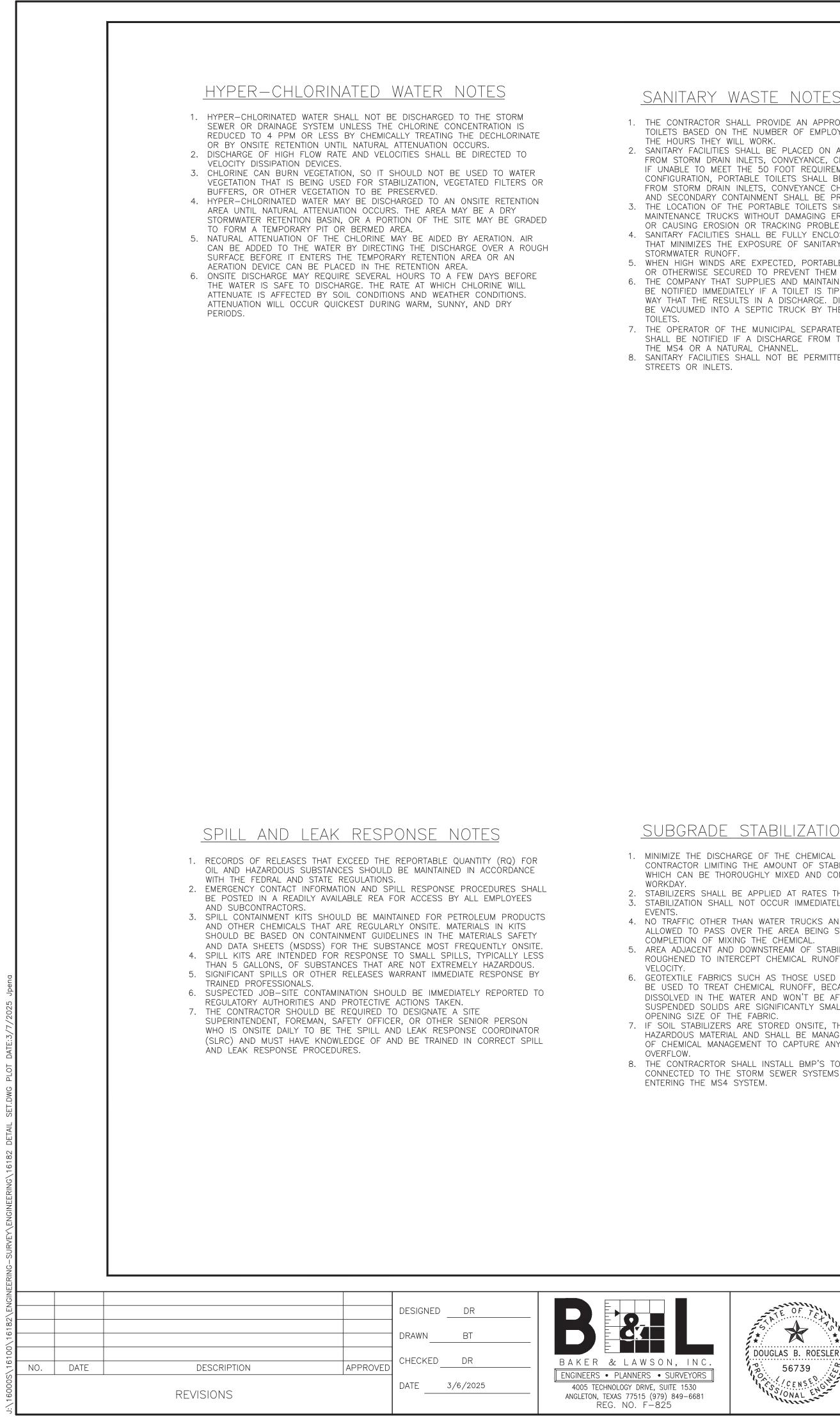








		Item 5	5.
	GENERAL CONSTRUCTION NOTES: 9 SECURELY ATTACH STREET INME SIGN TO TRAFFIC SIGNAL SUPPORT WRES WITH MULTI-LEVELING, WIND DUMPING BRACKETS. 9 SUPPORT WRES SHOULD NOT BE PROHIBITED FROM INDEPENDENT MOVEMENT. 1 NISTAL DRE STRATE SIGN APPROXIME 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL SUPPORT MORE SHALL BE UNER COSE. 9 SUPPORT WRES SHOULD NOT BE FORHIBITED FROM INDEPENDENT MOVEMENT. 9 SUPPORT WRES SIGN APPROXIME 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL. 9 SUPPORT WRES SIGN APPROXIME 2' FROM POLE ABOVE ON-COMING TRAFFIC ON EACH TRAFFIC SIGNAL. 9 SUBJECT ENTROPE SIGNAL BE UNER COSE. 9 SUBJECT ENTROPES SIGNAL BE UNER COSE. 9 SUBJECT ENTROPES AT NO TRAFFIC SIGNAL SUPPORT 9 SUBJECT ENTROPES SIGNAL BE UNER COSE. 9 SUBJECT ENTROPES SIGNAL BE UNER COSE. 9 SUBJECT ENTROPES SIGNAL BE UNER COSE. 9 SUBJECT ENTROPES SHOLD BOLD STATE 9 SUBJECT ENTROPES SIGNAL SUPPORT 9 SUBJECT ENTROPES SIGNAL SUPPORT 10 STALL BE UNERCOSE. 9 SUBJECT ENTROPES SIGNAL SUPPORT 10 STALL BE UNERCOSE. 10 STALL SE UNERCOSE. NOTES: <td>Item 5</td> <td>j.</td>	Item 5	j.
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.) .) .)	PILL HOLE TO GROUND LEVEL PPELL HOLE TO GROUND LEVEL PELL HOLE TO GROUND LEVEL PELL HOLE TO GROUND LEVEL PELL HOLE TO GROUND LEVEL PERFERSION DEDESTAL SL-ST-65 NTS Durit To GROUND LEVEL PERFERSION DEDESTAL SL-ST-65 NTS CITY OF SUGAR LAND, TEXAS ENGINEERING DEPARTMENT CITY OF SUGAR LAND, TEXAS CONSTRUCTION PLANS_FOR:		
	Image: Sign construction details JOB No:: DESENDED FF: DESENDEF DESENDEF PROJECT: PLAN: PROFILE: Austin Colony Subdivision Section 1B - 50 Lots CONSTRUCTION DETAILS SIGN CONSTRUCTION DETAILS VERTICAL:		182 DETAIL SET.DWG
	PROJECT NO. 16182	4 107	



SANITARY WASTE NOTES

- 1. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE TOILETS BASED ON THE NUMBER OF EMPLOYEES USING THE TOILETS AND
- 2. SANITARY FACILITIES SHALL BE PLACED ON A MINIMUM OF 50 FEET AWAY FROM STORM DRAIN INLETS, CONVEYANCE, CHANNELS OR SURFACE WATERS. IF UNABLE TO MEET THE 50 FOOT REQUIREMENT DUE TO SITE CONFIGURATION. PORTABLE TOILETS SHALL BE A MINIMUM OF 20 FEET AWAY
- FROM STORM DRAIN INLETS, CONVEYANCE CHANNELS OR SURFACE WATER AND SECONDARY CONTAINMENT SHALL BE PROVIDE IN CASE OF SPILLS. 3. THE LOCATION OF THE PORTABLE TOILETS SHALL BE ACCESSIBLE TO
- MAINTENANCE TRUCKS WITHOUT DAMAGING EROSION AND SEDIMENT CONTROLS OR CAUSING EROSION OR TRACKING PROBLEMS. 4. SANITARY FACILITIES SHALL BE FULLY ENCLOSED AND DESIGNED IN A MANNER THAT MINIMIZES THE EXPOSURE OF SANITARY WASTE TO PRECIPITATION AND
- 5. WHEN HIGH WINDS ARE EXPECTED, PORTABLE TOILETS SHALL BE ANCHORED OR OTHERWISE SECURED TO PREVENT THEM FROM BEING BLOWN OVER. 6. THE COMPANY THAT SUPPLIES AND MAINTAINS THE PORTABLE TOILETS SHALL BE NOTIFIED IMMEDIATELY IF A TOILET IS TIPPED OVER OR DAMAGED IN A WAY THAT THE RESULTS IN A DISCHARGE. DISCHARGED SOLID MATTER SHALL BE VACUUMED INTO A SEPTIC TRUCK BY THE COMPANY THAT MAINTAINS THE
- 7. THE OPERATOR OF THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL BE NOTIFIED IF A DISCHARGE FROM THE PORTABLE TOILETS ENTERS
- 8. SANITARY FACILITIES SHALL NOT BE PERMITTED ON PUBLIC SIDEWALKS,

DEBRIS AND TRASH NOTES

- 1. ALL WASTE SOURCES AND STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS, IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO. IN NO CASE SHALL MATERIAL AND WASTE SOURCES BE CLOSER THAN
- 20 FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS. 2. CONSTRUCTION WASTE AND TRASH SHALL BE STORED IN A MANNER THAT MINIMIZES ITS EXPOSURE TO PRECIPITATION AND STORMWATER RUNOFF.
- 3. WHENEVER POSSIBLE, MINIMIZE PRODUCTION OF DEBRIS AND TRASH. 4. INSTRUCT CONSTRUCTION WORKERS IN PROPER DEBRIS AND TRASH STORAGE AND HANDLING PROCEDURES.
- 5. SEGREGATE POTENTIAL HAZARDOUS WASTE FROM NON-HAZARDOUS
- CONSTRUCTION SITE DEBRIS. 6. PROHIBIT LITTERING BY WORKERS AND VISITORS.
- 7. POLICE SITE DAILY FOR LITTER AND DEBRIS.
- 8. ENFORCE SOLID WASTE HANDLING AND STORAGE PROCEDURES. 9. IF FEASIBLE, RECYCLE CONSTRUCTION AND DEMOLITION DEBRIS SUCH AS WOOD, METAL, AND CONCRETE.
- 10. TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS THAT ARE SCHEDULED TO EMPTY CONTAINERS WHEN THEY ARE 90 PERCENT FULL OR MORE FREQUENTLY. 11. GENERAL CONSTRUCTION DEBRIS MAY BE HAULED TO A LICENSED
- CONSTRUCTION DEBRIS LANDFILL.
- 12. USE WASTE AND RECYCLING HAULERS/FACILITIES APPROVED BY THE LOCAL MUNICIPALITY.
- 13. CHIPPING OF TREES AND BRUSH FOR USE SUCH AS MULCH IS PREFERRED ALTERNATIVE TO OFFSITE DISPOSAL.
- 14. NO WASTE, TRASH, OR DEBRIS SHALL BE BURIED, BURNED OR OTHER WISE DISPOSED OF ONSITE.
- 15. CLEARLY MARK ON ALL DEBRIS AND TRASH CONTAINERS WHICH MATERIALS ARE ACCEPTABLE. FOREMAN AND/OR CONSTRUCTION SUPERVISOR SHALL MONITOR ONSITE SOLID WASTE STORAGE AND DISPOSAL PROCEDURES DAILY.

SUBGRADE STABILIZATION NOTES

1. MINIMIZE THE DISCHARGE OF THE CHEMICAL STABILIZERS BY THE CONTRACTOR LIMITING THE AMOUNT OF STABILIZING AGENT ONSITE TO THAT WHICH CAN BE THOROUGHLY MIXED AND COMPACTED BY THE END OF EACH

. STABILIZERS SHALL BE APPLIED AT RATES THAT RESULT IN NO RUN OFF. . STABILIZATION SHALL NOT OCCUR IMMEDIATELY BEFORE AND DURING RAINFALL

4. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL BE ALLOWED TO PASS OVER THE AREA BEING STABILIZED UNTIL AFTER COMPLETION OF MIXING THE CHEMICAL 5. AREA ADJACENT AND DOWNSTREAM OF STABILIZED AREAS SHALL BE

ROUGHENED TO INTERCEPT CHEMICAL RUNOFF AND REDUCE RUNOFF 6. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO TREAT CHEMICAL RUNOFF, BECAUSE THE CHEMICALS ARE

DISSOLVED IN THE WATER AND WON'T BE AFFECTED BY A BARRIER AND THE SUSPENDED SOLIDS ARE SIGNIFICANTLY SMALLER THAN THE APPARENT 7. IF SOIL STABILIZERS ARE STORED ONSITE, THEY SHALL BE CONSIDERED

HAZARDOUS MATERIAL AND SHALL BE MANAGED ACCORDING TO THE CRITERIA OF CHEMICAL MANAGEMENT TO CAPTURE ANY ACCIDENTAL LIME OR CHEMICAL

8. THE CONTRACRTOR SHALL INSTALL BMP'S TO ALL INLETS AND OPENINGS CONNECTED TO THE STORM SEWER SYSTEMS TO PREVENT LIME FROM

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SANDBLASTING WASTE NOTES

- 1. THE CONTRACTOR SHOULD BE REQUIRED TO DESIGNATE THE SITE SUPERINTENDENT, FOREMAN, OR OTHER PERSON WHO IS RESPONSIBLE FOR SANDBLASTING TO ALSO BE RESPONSIBLE FOR SANDBLASTING WASTE MANAGEMENT.
- PROHIBIT THE DISCHARGE OF SANDBLASTING WASTE. . USE ONLY INERT, NON-DEGRADABLE SANDBLAST MEDIA.
- . USE APPROPRIATE EQUIPMENT FOR THE JOB; DO NOT OVER-BLAST.
- WHENEVER POSSIBLE, BLAST IN A DOWNWARD DIRECTION. CEASE BLASTING ACTIVITIES IN HIGH WINDS OR IF WIND DIRECTION COULD TRANSPORT GRIT TO DRAINAGE FACILITIES.
- INSTALL DUST SHIELDING AROUND SANDBLASTING AREAS.
- 8. COLLECT AND DISPOSE OF ALL SPENT SANDBLAST GRIT, USE DUST
- CONTAINMENT FABRICS AND DUST COLLECTION HOPPERS AND BARRELS. 9. NON-HAZARDOUS SANDBLAST GRIT MAY BE DISPOSED IN PERMITTED
- CONSTRUCTION DEBRIS LANDFILLS OR PERMITTED SANITARY LANDFILLS. 10. IF SANDBLAST MEDIA CANNOT BE FULLY CONTAINED, CONSTRUCT SEDIMENT
- TRAPS DOWNSTREAM FROM BLASTING AREA WHERE APPROPRIATE. 11. USE SAND FENCING WHERE APPRORIATE IN AREAS WHERE BLAST MEDIA
- CANNOT BE FULLY CONTAINED. 12. IF NECESSARY, INSTALL MISTING EQUIPMENT TO REMOVE SANDBLAST GRIT FROM THE AIR PREVENT RUNOFF FROM MISTING OPERATIONS FROM ENTERING DRAINAGE SYSTEMS.
- 13. USE VACUUM GRIT COLLECTION SYSTEMS WHERE POSSIBLE. 14. KEEP RECORDS OF SANDBLASTING MATERIALS, PROCEDURES, AND WEATHER
- CONDITIONS ON A DAILY BASIS. 15. TAKE ALL REASONABLE PRECAUTIONS TO ENSURE THAT SANDBLASTING GRIT IS
- CONTAINED AND KEPT AWAY FROM DRAINAGE STRUCTURES. 16. SAND BLASTING MEDIA SHOULD ALWAYS BE STORED UNDER COVER AWAY FROM DRAINAGE STRUCTURES.
- 17. ENSURE THAT STORED MEDIA OR GRIT IS NOT SUBJECTED TO TRANSPORT BY WIND
- 18. ENSURE THAT ALL SANDBLASTING EQUIPMENT AND STORAGE CONTAINERS COMPLY WITH CURRENT LOCAL, STATE, AND FEDERAL REGULATIONS. 19. CAPTURE AND TREAT RUNOFF, WHICH COMES INTO CONTACT WITH
- SANDBLASTING MATERIALS OR WASTE.

The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II **Tejas Viejo Land Company** 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN:
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HORIZONTAL:
VERTICAL:

CONCRETE SAWCUTTING WASTE NOTES

1. DURING SAWCUTTING OPERATIONS, THE SLURRY AND CUTTINGS SHALL BE CONTINUOUSLY VACUUMED OR OTHERWISE RECOVERED AND NOT BE ALLOWED TO DISCHARGE FROM THE SITE.

ltem 5.

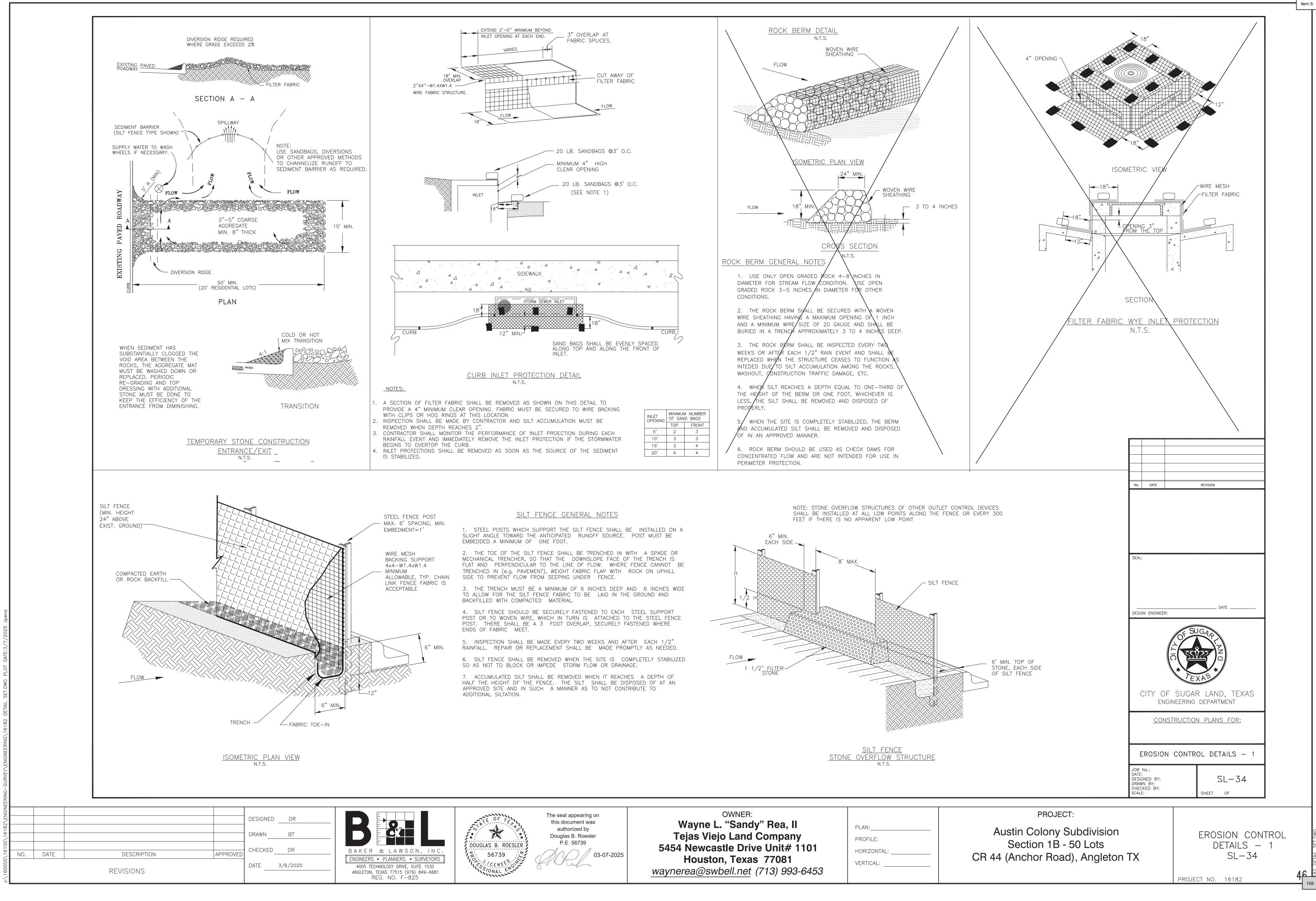
- 2. IF THE PAVEMENT TO BE CUT IS NEAR A STORM DRAIN INLET. THE INLET SHALL BE BLOCKED BY SANDBAGS OR EQUIVALENT TEMPORARY MEASURES TO PREVENT THE SLURRY FROM ENTERING THE INLET. REMOVE THE SANDBAGS IMMEDIATELY AFTER COMPLETING SAWCUTTING OPERATIONS, SO THEY DO NOT CAUSE DRAINAGE PROBLEMS DURING STORM EVENTS. 3. SLURRY AND CUTTINGS SHALL NOT BE ALLOWED TO REMAIN ON THE
- PAVEMENT TO DRY OUT
- 4. DEVELOP PRE-DETERMINED, SAFE SLURRY DISPOSAL AREAS. 5. COLLECTED SLURRY AND CUTTINGS SHOULD BE IMMEDIATELY HAULED FROM THE SITE FOR DISPOSAL AT A WASTE FACILITY. IF THIS IS NOT POSSIBLE, THE SLURRY AND CUTTINGS SHALL BE DISCHARGED INTO ONSITE CONTAINMENT.
- 6. THE ONSITE CONTAINMENT MAY BE EXCAVATED OR BERMED PIT LINED WITH PLASTIC MINIMUM OF 10 MILIMETERS THICK. IF THE PROJECT INCLUDES PLACEMENT OF NEW CONCRETE, SLURRY FROM SAWCUTTING MAY BE DISPOSED OF IN FACILITIES DESIGNATED FOR THE WASHOUT OF CONCRETE
- TRUCKS INSTEAD CONSTRUCTING A SEPARATE CONTAINMENT. 7. THE CONTAINMENT SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS, AND OTHER WATERS, IF THE SITE CONFIGURATION PROVIDES SUFFICIENT SPACE TO DO SO. IN NO CASE SHALL THE COLLECTION AREA BE CLOSER THAN 20 FEET FROM INLETS, SWALES, DRAINAGE WAYS, CHANNELS AND OTHER WATERS.
- 8. SEVERAL, PORTABLE, PRE-FABRICATED, CONCRETE WASHOUT, COLLECTION BASINS ARE COMMERCIALLY AVAILABLE AND ARE AN ACCEPTABLE ALTERNATIVE TO AN ONSITE CONTAINMENT PIT. 9. REMOVE WASTER CONCRETE WHEN THE CONTAINMENT IS HALF FULL. ALWAYS
- MAINTAIN A MINIMUM OF ONE FOOT FREEBOARD. 10. ONSITE EVAPORATION OF SLURRY WATER AND RECYCLING OF THE CONCRETE WASTE IS THE PREFERRED DISPOSAL METHOD. WHEN THIS IS NOT FEASIBLE, DISCHARGE FROM THE COLLECTION AREA SHALL ONLY BE ALLOWED IF A PASSIVE TREATMENT SYSTEM IS USED TO REMOVE THE FINES. MECHANICAL MIXING IS REQUIRED IN THE COLLECTION AREA. THE PH MUST BE TESTED, AND DISCHARGED IS ALLOWED IN IF THE pH DOES NOT EXCEED 8.0. THE pH MAY BE LOWERED BY ADDING SULFURIC ACID TO THE SLURRY WATER.
- 11. CARE SHALL BE EXERCISED WHEN TREATING THE SLURRY WATER FOR DISCHARGE. MONITORING MUST BE IMPLEMENTED TO VERIFY THAT DISCHARGES FROM THE COLLECTION AREA DO NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
- 12. GEOTEXTILE FABRICS SUCH AS THOSE USED FOR SILT FENCE SHOULD NOT BE USED TO CONTROL SAWCUTTING WASTE, SINCE THE GRAIN SIZE IS SIGNIFICANTLY SMALLER THAN THE APPARENT OPENING SIZE OF THE FABRIC.

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	 No.	DATE		REVISION	-
	SEAL	:			
		GN ENGINEE		DATE	
		EN	IGINEERING	N PLANS FOR:	
	GE	INERAL	EROSION	CONTROL NOTES	
	DRAV	: GNED BY: VN BY: CKED BY:		SL-33 Sheet of	
PROJECT:					
Austin Colony Subdivis	sing	h			
Section 1B - 50 Lots		1			_ EROSION DL NOTES

CONTROL NOTES SL-33 CR 44 (Anchor Road), Angleton TX

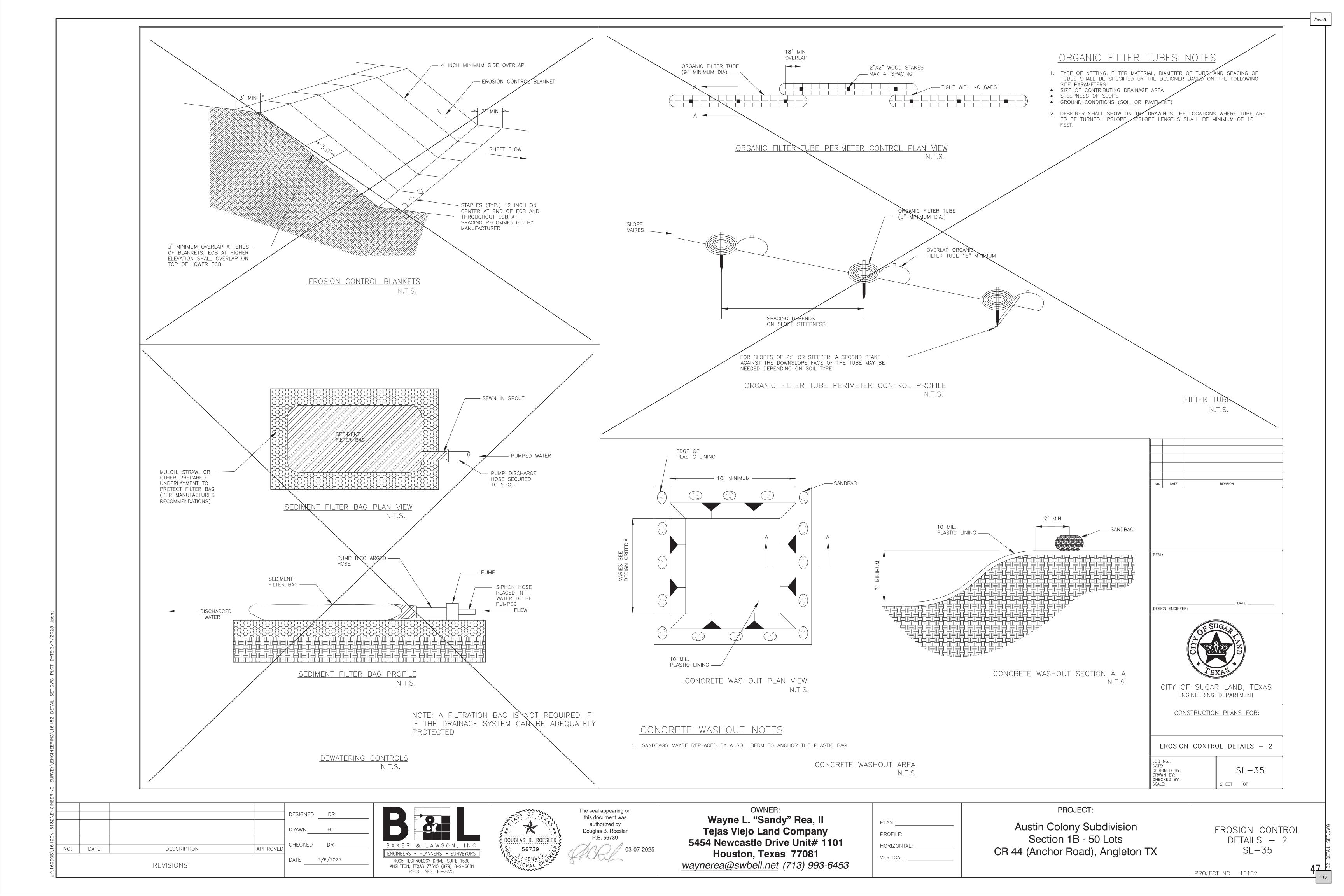
PROJECT NO. 16182

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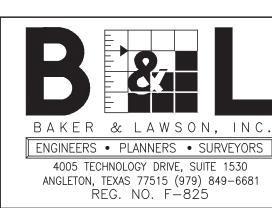


ST	SILT FENCE GENERAL NOTES					
, MIN.	1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLE SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST EMBEDDED A MINIMUM OF ONE FOOT.					
RT	2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPAI MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENC FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANI					
. CHAIN	TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UI SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.					

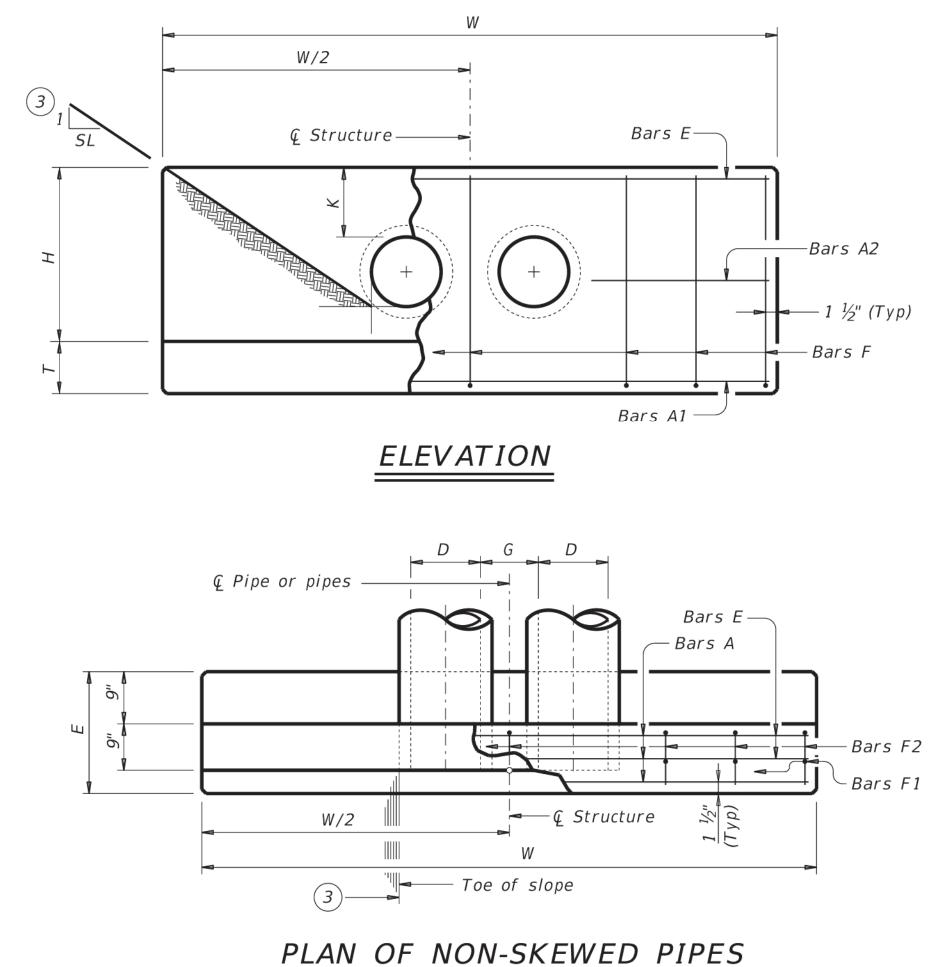
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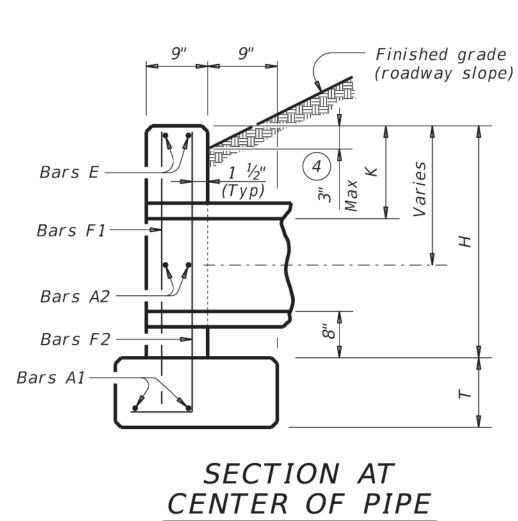


	ND	QUANT	ITIES	FOR	DIMEN ONE HI	EADW	/ ALL
Slope	a of Pipe	Values f	for One P Reinf (Lbs)	Conc (CY)	for Each	Addt'l F Reinf (Lbs)	Conc Conc (CY)
	Dia (D)			2	11 011		2
	12" 15"	<u>9' - 0''</u> <u>10' - 3''</u>	122 136	1.1 1.3	1' - 9'' 2' - 2''	15 16	0.2 0.2
	18"	11' - 6''	163	1.5	2' - 8''	19	0.3
	21"	12' - 9''	200	1.8	3' - 1''	31	0.4
	24"	14' - 0''	217	2.1	3' - 7" 3' - 11"	34	0.4
	27'' 30''	15' - 3'' 16' - 6''	254 272	2.4 2.7	3' - 11'' 4' - 4''	37 40	0.5 0.6
2:1	33"	17' - 9''	314	3.1	4' - 8''	43	0.6
	36"	19' - 0''	371	3.9	5' - 1''	46	0.8
	42"	21' - 6''	442	4.9	5' - 10''	52	1.0
	48'' 54''	<u>25' - 0''</u> <u>27' - 6''</u>	569 701	6.4 7.5	6' - 7'' 7' - 6''	59 82	1.3 1.6
	60"	30' - 0''	794	8.8	8' - 3''	90	1.8
	66"	32' - 6''	894	10.2	8' - 9''	96	2.0
⊢	72"	35' - 0''	1,055	11.7	9' - 4'' 1' - 9''	103	2.3
	12" 15"	13' - 0'' 14' - 9''	175 193	1.6 1.9	1' - 9'' 2' - 2''	14 17	0.2 0.2
	18"	16' - 6''	228	2.2	2' - 8''	19	0.3
	21"	18' - 3''	299	2.6	3' - 1''	31	0.4
	24"	20' - 0''	323	3.0	3' - 7''	33	0.4
	27'' 30''	21' - 9'' 23' - 6''	371 415	3.5 4.0	3' - 11'' 4' - 4''	37 40	0.5 0.5
3:1	33"	25' - 3''	415	4.6	4' - 4''	40	0.5
	36"	27' - 0''	556	5.7	5' - 1''	46	0.8
	42"	30' - 6''	675	7.1	5' - 10''	52	1.0
	48''	35' - 6''	837	9.2	6' - 7''	59	1.3
	54" 60"	39' - 0'' 42' - 6''	1,015 1,171	11.0 12.9	7' - 6'' 8' - 3''	84 91	1.6 1.8
	66"	46' - 0''	1,298	14.9	8' - 9''	98	2.0
	72"	49' - 6''	1,561	17.1	9' - 4''	103	2.3
	12"	17' – 0''	229	2.0	1' - 9''	15	0.2
	15" 18"	19' - 3''	266	2.4	2' - 2'' 2' - 8''	17	0.2
	21"	21' - 6'' 23' - 9''	308 382	2.9 3.5	2 - 0 3' - 1''	19 31	0.3 0.3
	24"	26' - 0''	430	3.9	3' - 7''	34	0.4
	27"	28' - 3''	486	4.7	3' - 11''	37	0.5
1	30"	30' - 6''	539	5.2	4' - 4''	40	0.6
4:1	33'' 36''	32' - 9'' 35' - 0''	603 738	6.0 7.5	4' - 8'' 5' - 1''	42 47	0.6 0.8
	42"	39' - 6''	881	9.3	5' - 10''	52	1.0
	48"	46' - 0''	1,102	12.1	6' - 7''	61	1.3
	54"	50' - 6''	1,364	14.4	7' - 6''	84	1.6
	60" 66"	55' - 0'' 59' - 6''	1,547	16.9 19.5	8' - 3'' 8' - 9''	91 98	1.8 2.0
	66" 72"	64' - 0''	1,741 2,077	19.5 22.4	9' - 9'' 9' - 4''	98 102	2.0
⊢	12"	25' - 0''	336	3.0	1' - 9''	14	0.2
	15"	28' - 3''	384	3.6	2' - 2''	17	0.2
	18" 21"	31' - 6''	452	4.2	2' - 8'' 3' - 1''	19 31	0.3
	21" 24"	34' - 9'' 38' - 0''	581 644	5.1 5.8	3' - 1'' 3' - 7''	31 34	0.4 0.4
	27"	41' - 3''	737	6.9	3' - 11''	37	0.5
	30"	44' - 6''	807	7.7	4' - 4''	39	0.6
6:1	33"	47' - 9''	912	8.9	4' - 8''	44	0.6
	36" 42"	51' - 0'' 57' - 6''	1,108 1,318	11.0 13.7	5' - 1'' 5' - 10''	48 54	0.8 1.0
	42	67' - 0''	1,516	17.9	6' - 7''	59	1.3
	54"	73' - 6''	2,072	21.3	7' - 6''	83	1.6
	60"	80' - 0''	2,351	24.9	8' - 3''	89	1.8
	66" 7 <i>2</i> "	86' - 6'' 93' - 0''	2,643 3,121	28.9 33.1	8' - 9'' 9' - 4''	96 101	2.0 2.3
	, 2		5,121				
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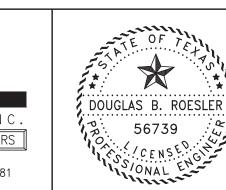


BARS F2





- 1 Total quantities include one 3'-1" lap for bars over 60' in length.
- 2 Quantities shown are for concrete pipe and will increase slightly for metal pipe installations.
- (3) Indicated slope is perpendicular to centerline pipe or pipes.
- 4 For vehicle safety, construct curbs no more than 3" above finished grade. Reduce curb heights, if necessary, to meet these requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
- 5 Dimensions shown are usual and maximum.
- 6 Quantities shown are for one structure end only (one headwall).



The seal appearing on this document was authorized by Douglas B. Roesler P.E. 56739 RL 03-07-2025

OWNER: Wayne L. "Sandy" Rea, II **Tejas Viejo Land Company** 5454 Newcastle Drive Unit# 1101 Houston, Texas 77081 waynerea@swbell.net (713) 993-6453

PLAN:	
PROFILE:	
HORIZONTAL: _	
VERTICAL:	



E – 12"

TABLE OF CONSTANT DIMENSIONS

Dia of Pipe (D)	G	к (5)	Н	Т	Е
12"	0' - 9''	1' - O''	2' - 8''	0' - 9''	1' - 9"
15"	0' - 11''	1' - O''	2' - 11"	0' - 9''	1' - 9"
18''	1' - 2''	1' – O''	3' - 2"	0' - 9''	1' - 9"
21"	1' - 4''	1' - O''	3' - 5"	0' - 9''	2' - 0"
24''	1' - 7''	1' - O''	3' - 8''	0' - 9''	2' - 0"
27"	1' - 8''	1' - O''	3' - 11"	0' - 9''	2' - 3''
30''	1' - 10''	1' – O''	4' - 2''	0' - 9''	2' - 3''
33''	1' - 11''	1' - 0''	4' - 5''	0' - 9''	2' - 6"
36"	2' - 1''	1' - O''	4' - 8''	1' - O''	2' - 6"
42"	2' - 4''	1' - O''	5' - 2"	1' - O''	2' - 9"
48''	2' - 7''	1' - 3''	5' - 11"	1' - O''	3' - 0"
54''	3' - 0''	1' - 3''	6' - 5"	1' - 0''	3' - 3''
60''	3' - 3''	1' - 3''	6' - 11''	1' - O''	3' - 6"
66"	3' - 3''	1' - 3''	7' - 5"	1' - O''	3' - 9"
72''	3' - 4''	1' - 3''	7' - 11"	1' - O''	4' - 0''

TABLE OF 6 REINFORCING STEEL

ltem 5.

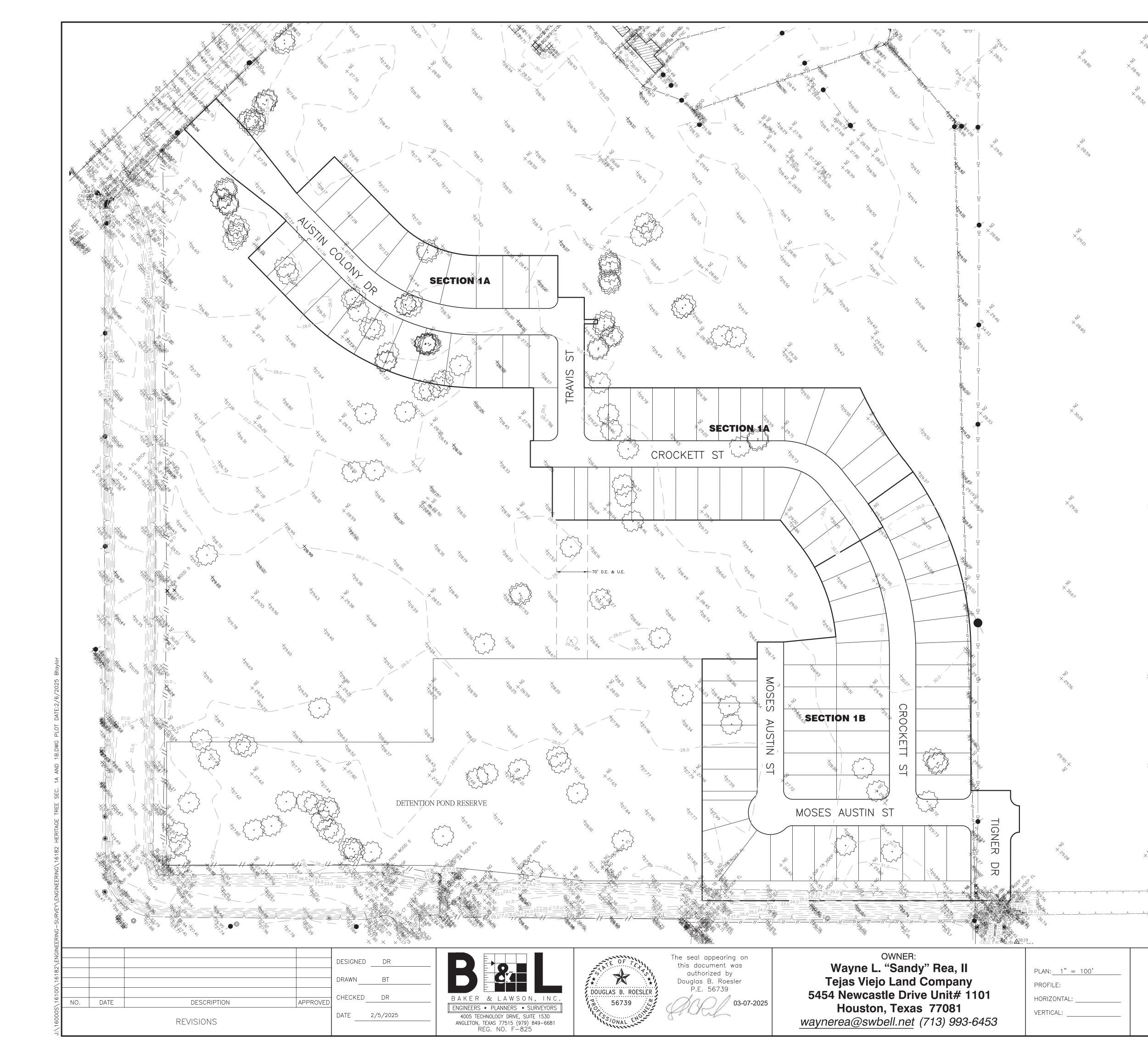
Bar	Size	Spa	No.
A1	#5	~	2
A2	#5	1' - 6"	~
E	#5	~	2
F	#5	1' – O''	~

MATERIAL NOTES: Provide Grade 60 reinforcing steel. Provide Class C concrete (f'c = 3,600 psi). GENERAL NOTES: Designed according to AASHTO LRFD Bridge Design Specifications. Do not mount bridge rails of any type directly to these culvert headwalls. This standard may not be used for wall heights, H, exceeding the values shown. *Cover dimensions are clear dimensions, unless noted otherwise. Reinforcing dimensions are out-to-out of bars.* · · · · · Bridge Division Texas Department of Transportation Standard CONCRETE HEADWALLS WITH PARALLEL WINGS FOR NON-SKEWED PIPE CULVERTS CH-PW-0 DN: TXDOT CK: TXDOT DW: TXDOT CK: TXDOT TLE: CD-CH-PW0-20.dgn C)TxDOT February 2020 CONT SECT HIGHWAY JOB REVISIONS SHEET NO. DIST COUNTY

PROJECT: Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

CONCRETE HEADWALLS CH-PW-0

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PROJECT: Austin Colony Subdivision Section 1B - 50 Lots CR 44 (Anchor Road), Angleton TX

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HERITAGE TREE PRESERVATION PLAN