



NOTICE IS HEREBY GIVEN PURSUANT TO V.T.C.A., GOVERNMENT CODE, CHAPTER 551, THAT THE PLANNING AND ZONING COMMISSION FOR CITY OF ANGLETON WILL CONDUCT A MEETING, OPEN TO THE PUBLIC, ON THURSDAY, AUGUST 5, 2021, AT 12:00 P.M., AT THE CITY OF ANGLETON COUNCIL CHAMBERS LOCATED AT 120 S. CHENANGO STREET ANGLETON, TEXAS 77515.

This meeting will also be live-streamed:
City's website at <https://angleton.tx.us/445/Meeting-Videos>
Facebook at <https://www.facebook.com/cityofangleton/>

DECLARATION OF A QUORUM AND CALL TO ORDER

PUBLIC HEARINGS AND ACTION ITEMS

1. Conduct a public hearing, discussion and possible action on an ordinance to rezone an approximate 164.50 acres of land in the J. de J. Valderas Survey, Abstract No. 380, Brazoria County, Texas from the Agricultural District (AG) to a Planned Development (PD) District. The subject property is located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkens Street.
2. Conduct a public hearing, discussion, and possible action on a request for approval of an ordinance rezoning 2.669 acres from the Commercial-General District to the Single Family Residential 6.3 District. The subject property is located north of W. Mulberry Street between Murray Ranch Road to the west and Walker Street to the east.
3. Conduct a public hearing, discussion, and possible action on a request for approval of an ordinance rezoning Angleton Block 27, Lots 7 through 20 and portion of a closed alley located at 237 E. Locust Street, Angleton, TX 77515 from Commercial-General (C-G) to Central Business District (CBD). The subject property is located with Live Oak St to the north, Arcola St. to the east, E. Locust to the south, and Chenango St. to the west.
4. Conduct a public hearing, discussion, and possible action in a request to rezone an approximate 20.00 acres from the Commercial-General (C-G) District to the Single Family 6.3 (SF-6.3) District. The subject property is located north of Bastrop Street and east of Angleton Blvd.
5. Conduct a public hearing, discussion, and possible action on a request for approval of the Lot 16 Cannan Heights Subdivision Replat with a variance of Section 23.11.C.2 prohibiting new residential lots fronting on arterial streets. The subject property is a replat of Lots 16 Cannan Heights Subdivision and consists of an approximate 1.00 acres

in the Single Family Residential 7.2 (SF-7.2) District. The subject property is located on the southwest corner of Piney Way and Valderas Street.

6. Conduct a public hearing, discussion, and possible action on a request for approval of the preliminary replat of Riverwood Ranch Section 2. The proposed preliminary replat consists of approximately 85 single family residential lots on an approximate 20 acres located at the northeast corner of Downing Street and Hospital Drive in a Planned Development zoning district.

REGULAR AGENDA

7. Discuss, consider and act on the Preliminary Replat of the Century Coale Road Business Park. The subject property consists of 9.273 acres, is in the Light Industrial (LI) zoning district and is located on the north side of CR 220 approximately 500 feet west of Business 288.
8. Discuss, consider and act on a site plan for the proposed Angleton Warehouse project
9. Discuss, consider and act on a recommendation regarding the Heritage Tree Survey/Tree Preservation Plan (TPP) for Anderson Place
10. Presentation, discussion and possible comment on the Windmill Ridge project. The proposed project consists of approximately 90 acres north of FM 523 and west of SH 288 within the City's Extraterritorial Jurisdiction.

ADJOURNMENT

CERTIFICATION

I, Walter Reeves, Development Services Director, do hereby certify that this Notice of a Meeting was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times and to the City's website, www.angleton.tx.us, in compliance with Chapter 551, Texas Government Code. The said Notice was posted on the following date and time: Thursday, August 2, 2021, by 12:00 p.m. and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

/S/ Walter Reeves

Walter Reeves

Development Services Director

In compliance with the Americans with Disabilities Act, the City of Angleton will provide reasonable accommodations for persons attending City Council meetings. The facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary at 979-849-4364, extension 2115 or email faguilar@angleton.tx.us.



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Walter E. Reeves Jr., AICP, Development Services Director

AGENDA CONTENT: Conduct a public hearing, discussion and possible action on an ordinance to rezone an approximate 164.50 acres of land in the J. de J. Valderas Survey, Abstract No. 380, Brazoria County, Texas from the Agricultural District (AG) to a Planned Development (PD) District. The subject property is located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkens Street.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: None

FUNDS REQUESTED: None

FUND: None

EXECUTIVE SUMMARY:

This is a request from Texas Viejo Land Company on behalf of property owners: Leah Tigner, Individually and as Independent Executrix of the Estate of John Hughes Tigner, III Deceased; Williams Marshall Tigner, II with a reservation of Life Estate of Williams Marshall Tigner; Tiffany Aleece Tigner Schlensker with a reservation of Life Estate of Williams Marshall Tigner; and Williams Marshall Tigner; to rezone approximately 164.5 acres of land located on the north side of Anchor Road (CR 44) approximately 2,000 feet northwest of W. Wilkens Street.

A request to rezone the property from the AG district to the Single Family Residential 5 (SF-5) zoning district was recommended by the Commission at its March 4, 2021 meeting. The City Council tabled the rezoning request at its March 9, 2021 meeting. The rezoning was brought off the table on June 22, 2021 and the City Council directed that the existing application become a planned development. As a result of that action, the PD must go through the standard zoning change process.

The attached ordinance is a “draft” and at the time of preparation of this agenda summary was still being worked through with the developer. Included within the ordinance is the proposed land plan for the PD which provides the following details:

1. The project will be developed in five (5) phases.
2. Phase 5 is proposed to be marketed as commercial property (office/retail) for a period of four (4) years after which Phase 5 can be developed residentially.
3. There will be 533 total lots (including Section 5 if it does not develop as commercial use).

4. The proposed lot mix will consist of the following:

LOT SIZE	NUMBER	PERCENTAGE OF TOTAL
Minimum 50 ft wide	100	18.76%
Minimum 55 ft wide	219	41.09%
Minimum 60 ft. wide	214	40.15%
TOTAL	533	100%

The Land Plan identifies Section 5 as being developable with 55’60’ lot widths, and the draft ordinance allows Section 5 to be developed consistent with the SF-5 district rather than as laid out in the proposed PD ordinance.

The PD also proposes an entry monument and some private open space within the project. Tigner Road will be extended east/west across the property with 25 ft. of paving in each direction and a six-foot median. Landscaping and “premium” fencing is proposed along both streets although details regarding either are provided. Private open space is also proposed that will be developed as playgrounds although no details have been provided on how those will be developed. The developer has indicated that the parks fee-in-lieu of dedication of parkland will be paid.

The Future Land Use Plan from the Angleton Comprehensive Plan Update designates the subject property as being appropriate for single family residential use and office/retail/multi-family residential use. The proposed rezoning is further supported by Goals 1 & 2 of Chapter 3 Land Use as well as Goals 1 & 2 of Chapter 8 Housing of the Comprehensive Plan.

Chapter 3 – Land Use

Goal One: High quality development that promotes sensible growth patterns and respects the small-town atmosphere and image of the community.

Goal Two: A pattern of development that promotes livable neighborhoods, viable commercial centers, and economic prosperity.

Chapter 8 – Housing

Goal One: A community in which quality housing is attractive available and affordable to all residents.

Goal Two: A variety of housing options that meets the needs of an increasingly diverse population.

Existing Land Use and Zoning

North: Undeveloped land in the ETJ and further north largely undeveloped land in the Commercial General District (C-G).

East: Undeveloped land in the Commercial General District (C-G) and the Planned Development District (PD) and developed land in the Single Family 7.2 District (SF 7.2), and undeveloped

Multifamily Residential 29 (MFR-29) district for apartments having a maximum density of 29 dwelling units per acre.

South: Anchor Road (CR 44), Agricultural (AG) district with a church, single family residential development in the SF-7.2 district and Lakeside Park.

West: Some development the ETJ across Carr Road and then some development in the Planned Development District (PD) and Commercial General (C-G) districts along SH 288.

Anchor Road is designated as a Minor Collector on the Mobility Plan in this area. Carr Road is designated as a Minor Collector. Cannan/Tigner Drive is designated to extend into the property. Karankawa Lane (along the eastern property line) is designated in part as an existing Minor Collector and in-part as a proposed Minor Collector.

The proposed rezoning is consistent with the Future Land Use Plan and is supported by several goals of the Comprehensive Plan.

RECOMMENDATION:

Staff recommends approval of the proposed rezoning of 164.5 acres from the Agricultural (AG) District to a Planned Development (PD) District.

SUGGESTED MOTION:

I move we recommend approval of the proposed rezoning of 164.5 acres from the Agricultural (AG) District to a Planned Development (PD) District

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF ANGLETON, TEXAS, ZONING 164.5 ACRES OF LAND TO SECTION 28-62 PLANNED DEVELOPMENT OVERLAY DISTRICT OF THE ANGLETON CODE OF ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND EFFECTIVE DATE.

* * * * *

WHEREAS, Tejas-Angleton, L.L.C. is the owner of, or is under contract to purchase, an approximately 164.5-acre tract (the "Property") located in the corporate limits of the City of Angleton, Texas more particularly depicted in Exhibit "A"; and

WHEREAS, Tejas-Angleton, L.L.C. intends to develop the Property in five (5) Sections as shown in Exhibit "B"; and

WHEREAS, On _____, the Angleton Planning & Zoning Commission conducted a public hearing regarding a request by property owner Tejas-Angleton Development, L.L.C. to zone 164.5 acres of land to Chapter 28 Zoning Sec. 28-62 Planned Development Overlay District of the Angleton Code of Ordinances; and

WHEREAS, the Angleton Planning & Zoning Commission determined that the purpose and intent of the Planned Development Overlay District is as follows: to create a district which allows land utilization not permitted by other districts in the Zoning Ordinance of the City of Angleton, Texas and which ensures the compatibility of land uses, and allows for the adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes:

- a. To provide for a superior design on lots or buildings;
- b. To provide an appropriate balance between the intensity of development and the ability to provide adequate supporting public facilities and services; and
- c. To meet or exceed the standards of the zoning ordinance.

WHEREAS, after considering the public testimony received at such hearing, if any, the Planning and Zoning Commission considered the district which allows land utilization not permitted by other districts in the Zoning Ordinance of the City of Angleton, Texas and which ensures the compatibility of land uses, and the Planning & Zoning Commission has recommended that the request by Tejas-Angleton Development, L.L.C. to zone 164.5 acres of land to Chapter 28, Zoning, Article III Zoning Districts, Sec. 28-62 Planned Development Overlay District of the Angleton Code of Ordinances be approved; and

WHEREAS, On _____, City Council of the City of Angleton, Texas conducted a public hearing regarding a request by Tejas-Angleton Development, L.L.C. to zone 164.5 acres) to Chapter 28, Zoning, Article III Zoning Districts, Sec. 28-62 Planned Development Overlay District of the Angleton Code of Ordinances be approved; and

WHEREAS, On _____ City Council of the City of Angleton, Texas considered the Planning & Commission recommendation and decided to approve the zoning of 164.5 acres of land to Chapter 28 Zoning, Article III Zoning Districts, Sec. 28-62 Planned Development Overlay District of the Angleton Code of Ordinances be approved; and

WHEREAS, the City is authorized by Chapter 211 of the Texas Local Government Code to promulgate rules and regulations governing regulation of land use, structures, businesses, and related activities; and

WHEREAS, the City the City Council further finds that the rules and regulations governing land use, structures, and related activities within the territorial limits of the City promote the safe, orderly, and healthful development of the City; and

WHEREAS, each and every applicable requirement set forth in Chapter 211, Subchapter A, Texas Local Government Code, and the Code of Ordinances, City of Angleton, Texas, concerning public notices, hearings, and other procedural matters has been fully complied with; and

WHEREAS, the City Council desires to zone 164.5 acres of land to Chapter 28 Zoning, Article III Zoning Districts, Sec. 28-62 Planned Development Overlay District of the Angleton Code of Ordinances be approved; and

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS:

Section 1. That all of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof, as if copied herein verbatim.

Section 2. That the purpose and intent of the Planned Development Overlay District is as follows: to create a district which allows land utilization not permitted by other districts in the Zoning Ordinance of the City of Angleton, Texas and which ensures the compatibility of land uses, and allows for the adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes:

- a. To provide for a superior design on lots or buildings;
- b. To provide an appropriate balance between the intensity of development and the ability to provide adequate supporting public facilities and services; and
- c. To meet or exceed the standards of the zoning ordinance.

Section 3. That the request by property owners and Tejas-Angleton Development, L.L.C. to zone 164.5 acres of land to Chapter 28 Zoning, Article III Zoning Districts, Sec. 28-62 Planned Development Overlay District of the Angleton Code of Ordinances be approved; and are subject to the district regulations and graphic and pictorial representations as shown and as set forth in Exhibit "C" attached to this Ordinance and made a part hereof.

Section 4. Penalty. Any person who violates or causes, allows, or permits another to violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine of not more than Two Thousand and No/100 Dollars (\$2,000.00). Each occurrence of any such violation of this Ordinance shall constitute a separate offense. Each day on which any such violation of this Ordinance occurs shall constitute a separate offense.

Section 5. Repeal. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

Section 6. Severability. In the event any clause, phrase, provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

Section 7. Effective date. That this Ordinance shall be effective and in full force immediately upon its adoption.

Section 8: Proper Notice & Meeting It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code.

PASSED, APPROVED, and ADOPTED this, the ____ day of _____.

Jason Perez, Mayor

ATTEST:

Frances Aguilar, City Secretary

Exhibit A
The Property

pg.2



County: Brazoria
Project: 150 Acres Anchor Rd
Job No.: 14257

FIELD NOTES FOR 164.50 ACRE

Being a tract of land containing 164.50 acres (7,165,737 square feet), located within J. De J Valderas Survey, Abstract Number (No.) 380, in Brazoria County, Texas; Said 164.50 acre tract being all of Lots 74, 80, 81, 82 and 83 and a portion of Lots 73, 75, 76, 77 and 84 of the New York and Texas Land Company Subdivision recorded under Volume (Vol.) 26, Page 140 of the Brazoria County Deed Records (B.C.D.R.), being a 166.97 acre tract save and except a 2.472 acre tract recorded in the name of Thomas H. Journeay and Elizabeth Journeay under Brazoria County Clerk's File (B.C.C.F.) No. 2014047617; Said 164.50 acres being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System of 1983, (NAD83) South Central Zone, per GPS observations):

Overall 166.97 acre tract:

BEGINNING at a 1/2-inch iron rod with cap found on the northeast right-of-way (R.O.W.) line of Anchor Road (AKA County Road 44, one hundred ten feet wide), on the south line of said Lot 77, at the northwest corner of Lot 1 of the Angleton Meadows Business Park recorded under Plat No. 2005019895 of the Brazoria County Plat Records (B.C.P.R.), for the southwest corner of the herein described tract;

THENCE, with the northeast R.O.W. line of said Anchor Road, North 47 degrees 10 minutes 56 seconds West, a distance of 853.57 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set at the south corner of a called 1.50 acre tract recorded in the name of Williams M. Tigner, II under B.C.C.F. No. 2019055977, for an angle point of the herein described tract;

THENCE, with the easterly lines of said 1.50 acre tract the following four (4) courses:

1. North 43 degrees 09 minutes 58 seconds East, at a distance of 1.35 feet pass a 1/2-inch iron rod with cap found for reference, continue in all a distance of 122.66 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an interior corner of the herein described tract;
2. North 49 degrees 37 minutes 04 seconds West, a distance of 128.89 feet to a 1/2-inch iron rod with cap found for an angle point;
3. North 42 degrees 06 minutes 44 seconds East, a distance of 126.66 feet to a 1/2-inch iron rod with cap found for an interior corner of the herein described tract;
4. North 49 degrees 03 minutes 29 seconds West, a distance of 208.32 feet to a 1/2-inch iron rod with cap found at the north corner of said 1.50 acre tract, for an interior corner of the herein described tract;

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Texas Firm Registration No. 10052500

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Exhibit A
The Property
pg.3



THENCE, with the northwest line of said 1.50 acre tract, South 43 degrees 14 minutes 22 seconds West, at a distance of 235.10 feet pass a 1/2-inch iron rod with cap found for reference, continue in all a distance of 237.02 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set on the northeast R.O.W. line of said Anchor Road, at the west corner of said 1.50 acre tract, for an angle point;

THENCE, with the northeast R.O.W. line of said Anchor Road, North 47 degrees 10 minutes 56 seconds West, a distance of 329.32 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set on the east line of an undeveloped road (sixty feet wide per Vol. 26, Page 140 B.C.D.R.) on the west line of said Lot 76, for the southwest corner of the herein described tract;

THENCE, with the east line of said undeveloped road and the west lines of said Lots 76, 75, 74 and 73, North 02 degrees 57 minutes 24 seconds West, a distance of 1,941.54 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set at the southwest corner of a called 10 acre tract recorded in the name of Benjamin F. Gray under B.C.C.F. No. 1999047350, for the northwest corner of the herein described tract;

THENCE, with the south line of said 10 acre tract, North 87 degrees 11 minutes 18 seconds East, a distance of 1,320.08 feet to a 5/8-inch iron rod found at southwest corner of a called 10 acre tract recorded in the name of Benjamin F. Gray under B.C.C.F. No. 2006070636, at the southeast corner of said 10 acre tract recorded in B.C.C.F. No. 1999047350, for the northwest corner of a 60' X 1,320' strip recorded in the name of Benjamin F. Gray under B.C.C.F. No. 2003054771, for an angle point;

THENCE, with the west line of said a 60' X 1,320' strip, South 02 degrees 52 minutes 02 seconds East, a distance of 60.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set at the southwest corner of said a 60' X 1,320' strip, for an interior corner of the herein described tract;

THENCE, with the south line of said a 60' X 1,320' strip, North 87 degrees 07 minutes 58 seconds East, a distance of 1,321.11 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set on the west line of Karankawa Road (undeveloped sixty feet wide per Vol. 26, page 140 B.C.D.R.), at the southeast corner of said a 60' X 1,320' strip, for the northeast corner of the herein described tract;

THENCE, with the west R.O.W. line of said Karankawa Road, being the east line of Lots 84, 83, 82, 81 and 80, South 02 degrees 52 minutes 54 seconds East, a distance of 2,970.25 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set at the northeast corner of a twenty-foot drainage easement dedicated by the Second Replat of Angleton Meadows Subdivision recorded under Vol. 17, Page 263 of the B.C.P.R., for the southeast corner of said Lot 80 and the herein described tract;

THENCE, with the north line of said Angleton Meadows Subdivision and Angleton Meadows Business Park, and the south lines of said Lots 80 and 77, South 87 degrees 09 minutes 29 seconds West, a distance of 1,575.33 feet to the **POINT OF BEGINNING** and containing 166.97 acres of land.

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Texas Firm Registration No. 10052500

Exhibit A
The Property
pg.4



SAVE AND EXCEPT 2.47 ACRES:

COMMENCING at a 1/2-inch iron rod with cap found on the northeast right-of-way (R.O.W.) line of Anchor Road (AKA County Road 44, one hundred ten feet wide), on the south line of said Lot 77, at the northwest corner of Lot 1 of the Angleton Meadows Business Park recorded under Plat No. 2005019895 of the Brazoria County Plat Records (B.C.P.R.);

THENCE, with the northeast R.O.W. line of said Anchor Road, North 47 degrees 10 minutes 56 seconds West, a distance of 1,245.66 feet to an angle point;

THENCE, through and across said Lot 76 the following five (5) courses:

1. North 42 degrees 49 minutes 04 seconds East, a distance of 284.35 feet to a 5/8-inch iron rod found for the south corner and **POINT OF BEGINNING** of the herein described tract;
2. North 18 degrees 16 minutes 53 seconds West, a distance of 571.37 feet to a 5/8-inch iron rod found at the northwest corner of the herein described tract;
3. North 88 degrees 50 minutes 27 seconds East, a distance of 299.56 feet to a 5/8-inch iron rod found at the northeast corner of the herein described tract;
4. South 00 degrees 07 minutes 27 seconds West, a distance of 434.88 feet to a 5/8-inch iron rod found at the southeast corner of the herein described tract;
5. South 46 degrees 22 minutes 47 seconds West, a distance of 164.83 feet to the **POINT OF BEGINNING** and containing 2.47 acres of land.

OVERALL: 166.97 ACRES

SAVE AND EXCEPT: 2.47 ACRES

TOTAL: 164.50 ACRES

A land title survey of the herein described tract has been prepared by Baker & Lawson Inc. and accompanies this metes and bounds description.

Devin Royal 12-22-20
Devin R. Royal
Registered Professional Land Surveyor
Texas Registration No. 6667



300 E Cedar St, Angleton, Texas 77515 • Phone: (979) 849-6681
Texas Firm Registration No. 10052500

Exhibit B Property Sections

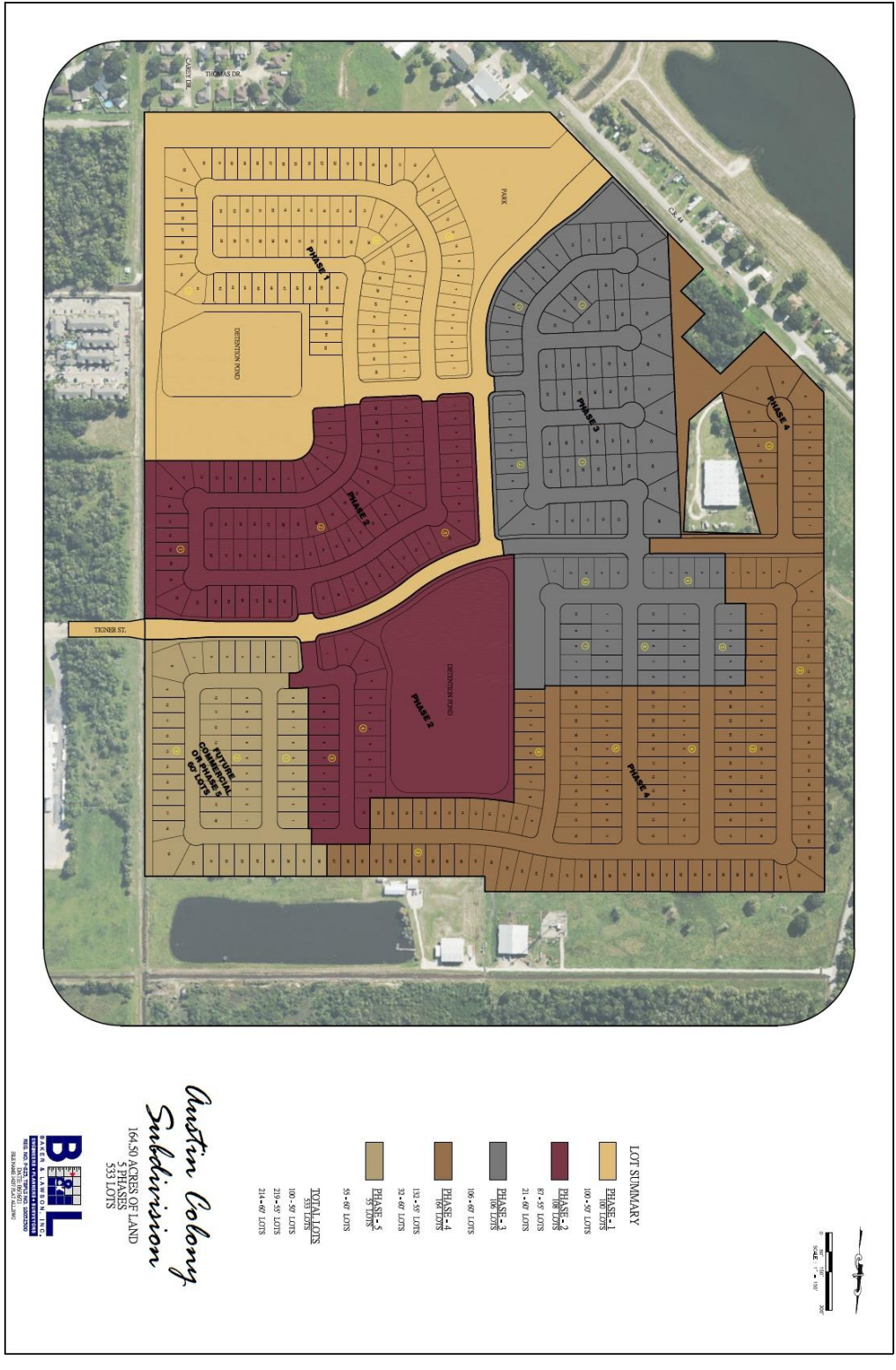


Exhibit C
Development Standards

DISTRICT REGULATIONS – Phases 1, 2, 3, and 4.

1. **Base District.** The provisions of Section 28-47 of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance shall apply to Phases 1, 2, 3, and 4 except as otherwise modified herein.
2. **Uses.** Those uses described for the SF-5 district in Section 28-81 shall be permitted for Phases 1, 2, 3, and 4.
3. **Lot Dimensions and Development.** The lots shall be the size depicted in Exhibit “B” and shall be approximately 120 feet in length, with the front width of each lot as set forth below:

SECTIONS AND LOT SUMMARY				
Section	Lot Width 50 Feet	Lot Width 55 Feet	Lot Width 60 Feet	Section Lot Total
1	100			100
2		87	21	108
3			106	106
4		132	32	164
5			55	55
Lot Size Total	100	219	214	533
Size %	19%	41%	40%	100%

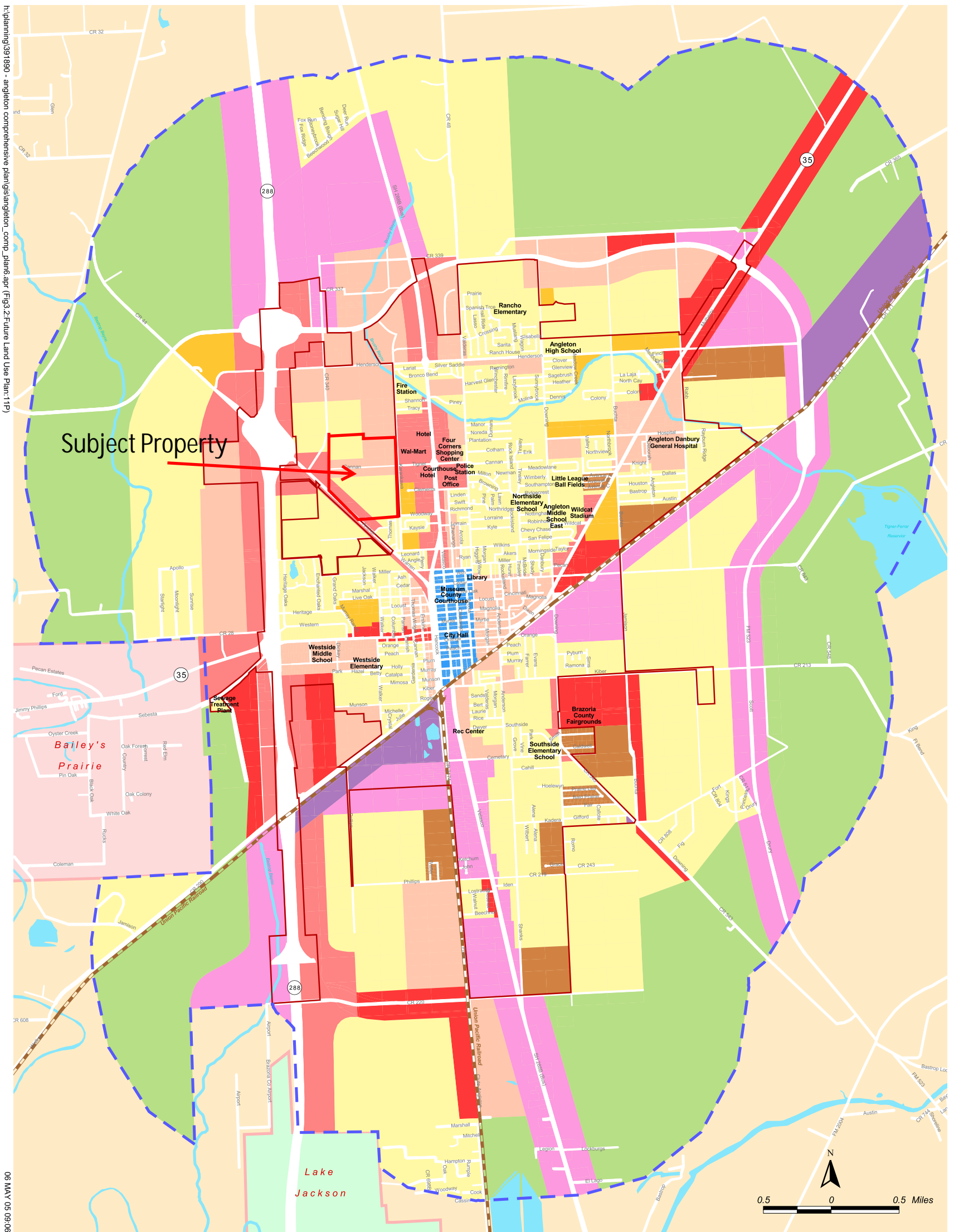
4. **Entry Monument.** An Entry Monument shall be placed at the corner of Austin Colony Boulevard and County Road 44, which is the entry to the Project off County Road 44. The Entry Monument shall be either brick or stone with landscaping, planted grass, shrubs, irrigation system and lighting.
5. OTHER REGULATIONS AS CONTAINED IN CHAPTER 28 OF THE ZONING ORDINANCE OF THE CITY OF ANGLETON ADOPTED UPON THE EFFECTIVE DATE OF THIS ORDINANCE.
 - A. Supplemental regulations. Section 28-106.
 - B. Lighting and glare standards. Section 28-108.
 - C. Home occupation standards. Section 28-109.
 - D. Special regulations for certain types of uses. Section 110.
 - E. Definitions. Section 112

DISTRICT REGULATIONS – Phase 5

1. **Base District.** The provisions of Section 28-58 of the City of Angleton Code of Ordinances, as adopted upon the effective date of this ordinance shall apply to Phase 5 of the Property subject to the provisions of this section.

2. **Contingency Zoning.** In the event, the then current owner of the property depicted as Phase 5 of Exhibit “B” hereof has not applied for a building permit for an office or retail use permitted by Section 28-81 of the City of Angleton Code of Ordinances (C-O/R – Commercial office-Retail District) within four (4) years of the effective date, the then current owner shall be automatically, and with no additional legislative action, be permitted to take all necessary steps to construct single family residential product consistent with the requirements of Section 28-47 SF-5 Single Family Residential District.

3. OTHER REGULATIONS AS CONTAINED IN CHAPTER 28 OF THE ZONING ORDINANCE OF THE CITY OF ANGLETON ADOPTED UPON THE EFFECTIVE DATE OF THIS ORDINANCE.
 - F. Supplemental regulations. Section 28-106.
 - G. Lighting and glare standards. Section 28-108.
 - H. Home occupation standards. Section 28-109.
 - I. Special regulations for certain types of uses. Section 110.
 - J. Definitions. Section 112



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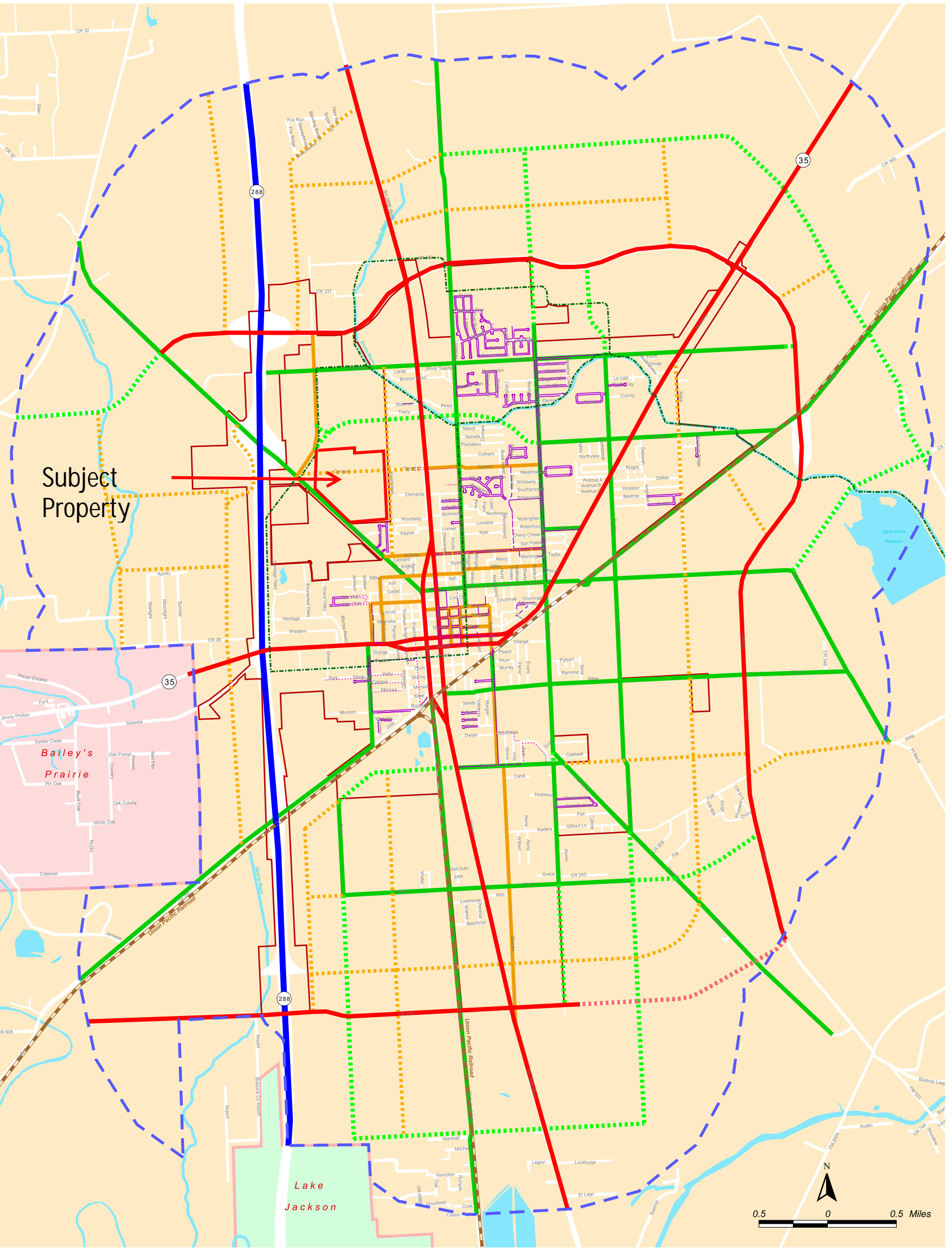
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Figure 3.2
Future Land Use Plan

- | | |
|--|-----------------------|
| Agricultural | Industrial/Commercial |
| Single Family Residential | Industrial |
| Multi-Family Residential | Downtown |
| Manufactured Housing | Right Of Way |
| Office/Retail/Multi-Family Residential | Angleton Study Area |
| Office/Retail | Angleton City Limits |
| Commercial | |

NOTE: A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.





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05 JAN 05 11:37

Figure 4.1
Mobility Plan

- | | | | |
|--|--------------------------|--|----------------------|
| | Existing Freeway | | Rail |
| | Existing Arterial | | Existing Sidewalk |
| | Existing Major Collector | | Proposed Sidewalk |
| | Existing Minor Collector | | Proposed Trail |
| | Proposed Arterial | | Angleton Study Area |
| | Proposed Major Collector | | Angleton City Limits |
| | Proposed Minor Collector | | |



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Lindsay Koskiniemi, CPM, CGFO, Asst. Director of Development Services

AGENDA CONTENT: Conduct a public hearing, discussion, and possible action on a request for approval of an ordinance rezoning 2.669 acres from the Commercial-General District to the Single Family Residential 6.3 District. The subject property is located north of W. Mulberry Street between Murray Ranch Road to the west and Walker Street to the east.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

This is a request from Corey Boyer, represented by Addico Consulting Engineers, to rezone approximately 2.669 acres of land located to the north of West Mulberry Street and situated between Murray Ranch Road to the west and Walker Street to the east, from the Commercial-General District to the Single Family Residential 6.3 District.

The portion of land requested to be rezoned is part of a larger, approximate 20.75-acre tract of the M.C. Tobin Survey Abstract 699. The portion requested to be rezoned is currently zoned as the Commercial-General District, and the larger portion is zoned Single Family Residential 6.3 District. The purpose of this request to rezone the southmost portion of the tract is to provide an access to a proposed residential subdivision that meets the City's requirement to provide to access points to a subdivision with more than thirty homes.

Future Land Use

The Future Land Use Plan from the Angleton Comprehensive Plan Update designates the portion of the subject property requested to be rezoned as appropriate for commercial activity. The commercial category is described in the plan as:

Commercial areas are designed to specifically promote heavier commercial uses and perhaps some retail and service activities. Common uses in the commercial area will include auto repair shops and warehouses.

While the Future Land Use Plan designates the portion requested to be rezoned as commercial, and not residential, the rezoning request is supported by the goals of Chapter 8 Housing of the Comprehensive Plan.

Goal One (1) “Provide affordable, available housing” proposes the following:

A community in which quality housing is attractive, available, and affordable to all residents.

Goal Three (3) “Creating and Keeping Neighborhoods” proposes the following:

Healthy, well designed neighborhoods that reflect the character and pride of Angleton

With the objective of:

Ensuring that quality neighborhoods are free of unkept vacant lots, unsafe structures, and other potential health and safety risks.

Existing Land Use and Zoning

North: Undeveloped land zoned Single Family Residential 6.3 (SF-6.3)

West: Tiny Treasures Learning Center, zoned Commercial-General (C-G)

South: Firewood business, zoned Commercial-General (C-G)

East: Waste Choice Freedom, zoned Commercial-General (C-G)

Mobility Plan

W. Mulberry St. (S.H. 35) is designated as an existing arterial in the Mobility Plan. Major arterials are described in Section 23-12 of Angleton Code of Ordinances as a public roadway with the following design features: 100'-200' right-of-way width, 48' – 60' pavement width, 4-6 lanes, lane width of 12' – 14', and designed speed of 45-55+ mph. Off-site traffic improvements, as determined by the recommendation of a traffic impact analysis, as set out in section 23-25 may be required, however, the proposed addition of approximately forty (40) homes is not anticipated to have a significant impact on W. Mulberry and surrounding streets.

Conclusion

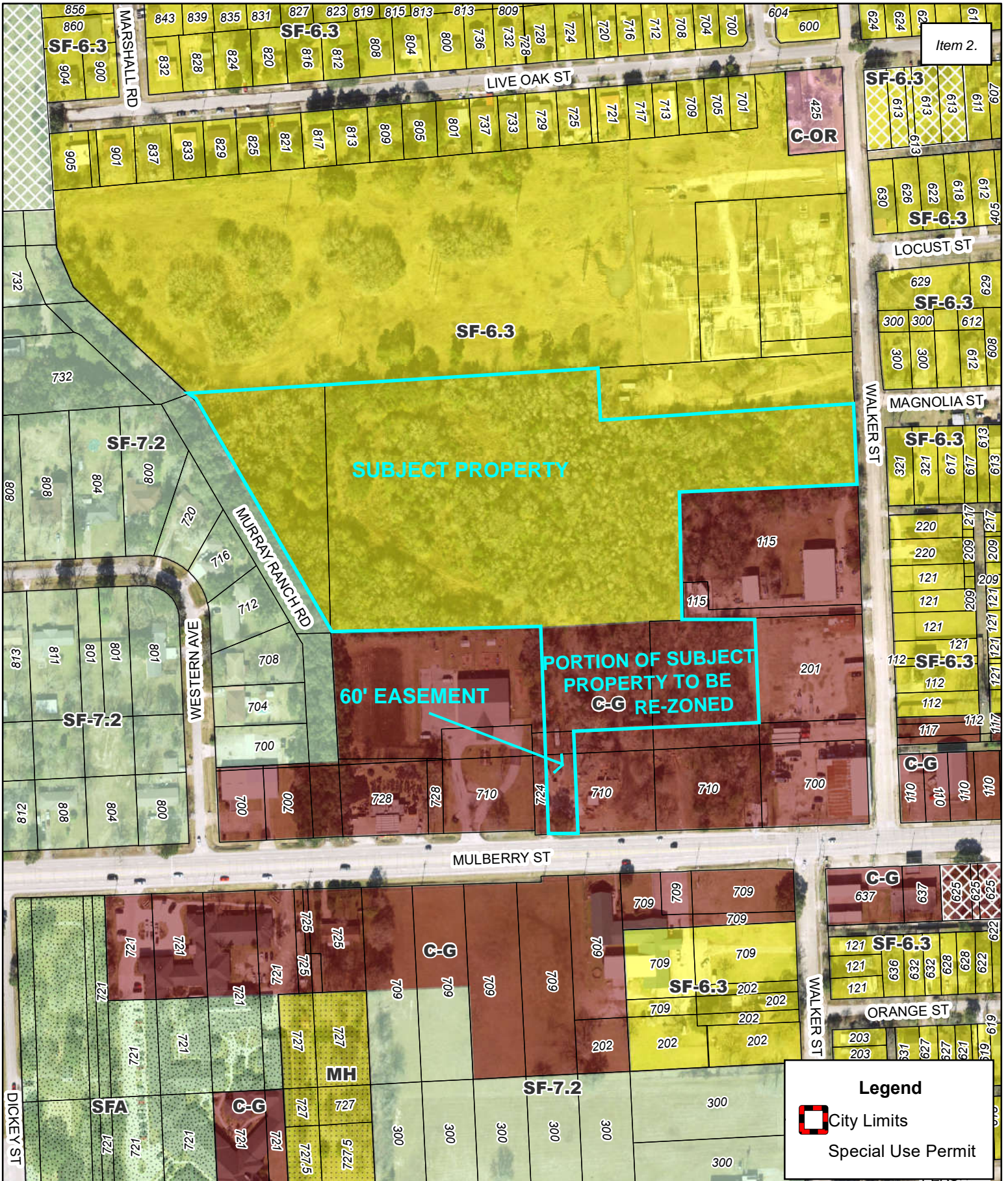
The proposed rezoning is inconsistent with the Future Land Use Plan but is supported by the Goals 1 and 3 of Chapter 8 Housing. The rezoning request is consistent with the City's Code of Ordinances, as it is intended to provide two access points to the proposed subdivision.

RECOMMENDATION:

Staff recommends approval of the ordinance rezoning an approximate 2.669 acres from the Commercial-General District to the Single Family Residential 6.3 District.



SUGGESTED MOTION:

I move we recommend approval of the ordinance rezoning an approximate 2.669 acres from the Commercial-general district to the Single Family Residential 6.3 District.



Item 2.

Legend

-  City Limits
-  Special Use Permit

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.



Operated by:
 City of Angleton
 121 S. Velasco St.
 Angleton, TX 77515
 979-849-4364

City of Angleton GIS Mapping

1" = 247'

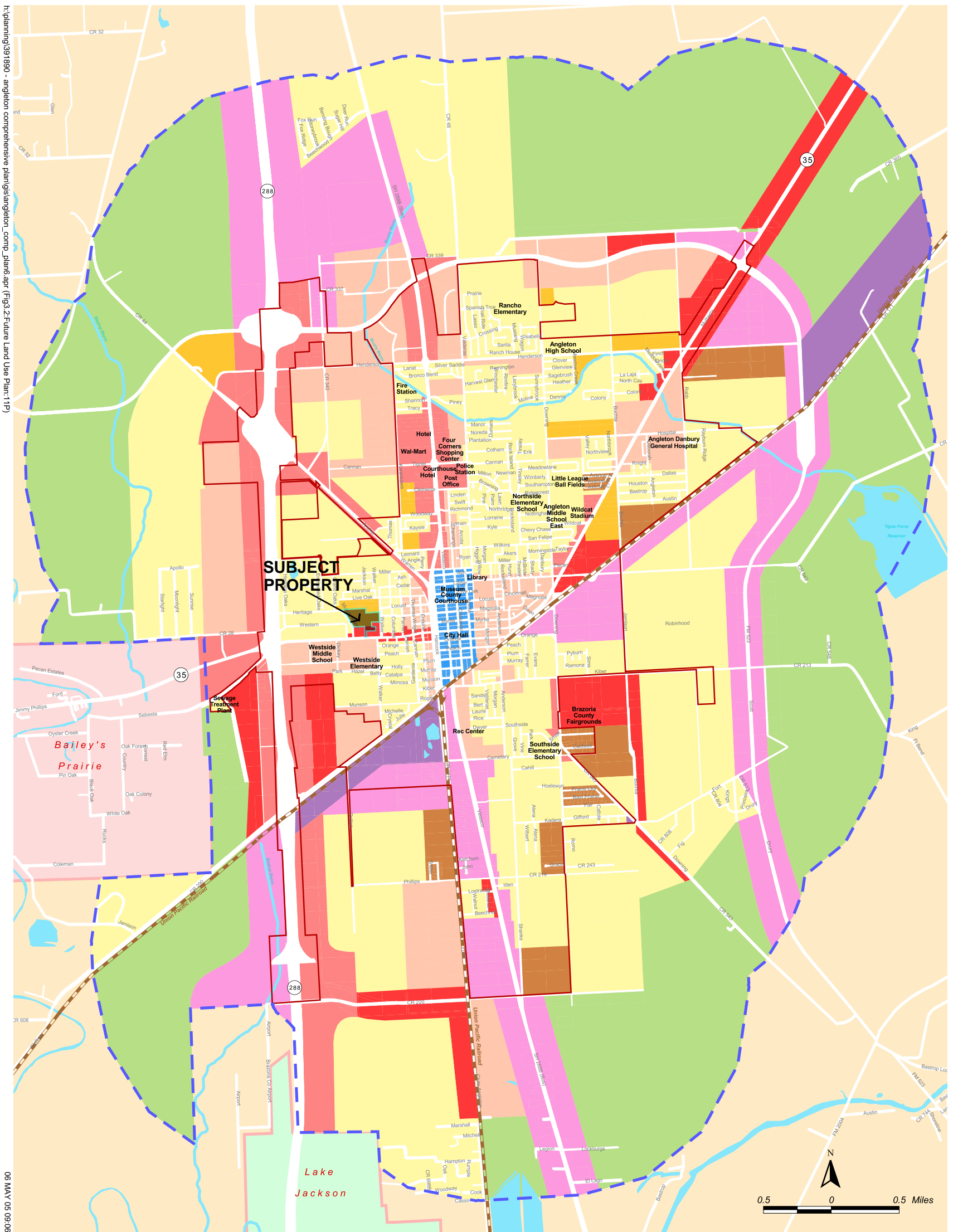















Figure 3.2
Future Land Use Plan

- | | |
|--|---|
|  Agricultural |  Industrial/Commercial |
|  Single Family Residential |  Industrial |
|  Multi-Family Residential |  Downtown |
|  Manufactured Housing |  Right Of Way |
|  Office/Retail/Multi-Family Residential |  Angleton Study Area |
|  Office/Retail |  Angleton City Limits |
|  Commercial | |

NOTE: A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



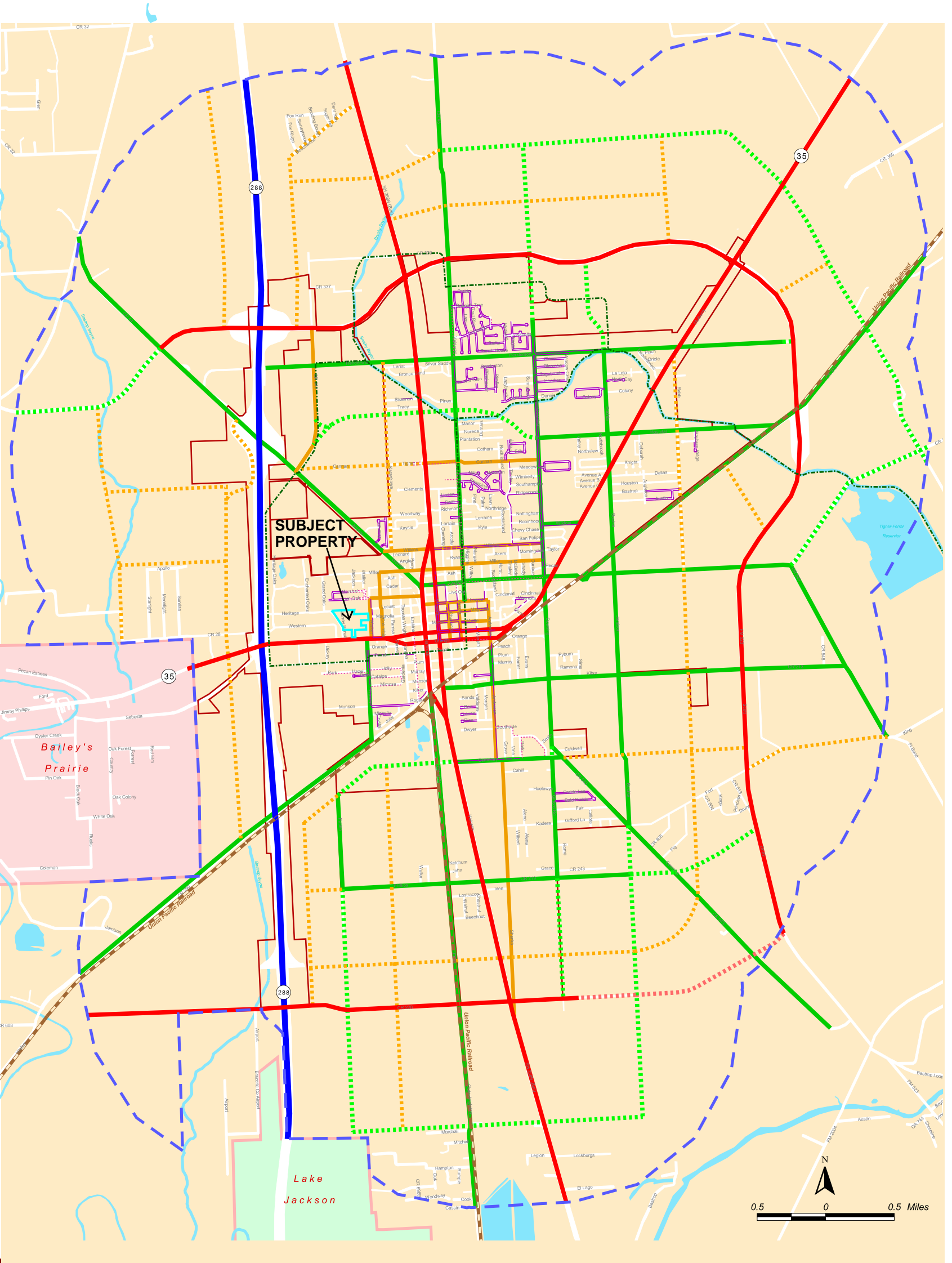















Figure 4.1
Mobility Plan

- | | |
|--|--|
|  Existing Freeway |  Rail |
|  Existing Arterial |  Existing Sidewalk |
|  Existing Major Collector |  Proposed Sidewalk |
|  Existing Minor Collector |  Proposed Trail |
|  Proposed Arterial |  Angleton Study Area |
|  Proposed Major Collector |  Angleton City Limits |
|  Proposed Minor Collector | |

ORDINANCE NO. 20210805-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS REZONING 2.669 ACRES FROM ARTICLE III ZONING DISTRICTS SECTION 28-57 C-G - COMMERCIAL-GENERAL DISTRICT TO ARTICLE III ZONING DISTRICTS SECTION 28-46 SF-6.3 – SINGLE FAMILY RESIDENTIAL 6.3 DISTRICT OF THE CODE OF ORDINANCES OF THE CITY OF ANGLETON, TEXAS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND AN EFFECTIVE DATE.

WHEREAS, the City is authorized by Chapter 211 of the Texas Local Government Code to promulgate rules and regulations governing regulation of land use, structures, businesses, and related activities; and

WHEREAS, the City Council further finds that the rules and regulations governing land use, structures, and related activities within the territorial limits of the City promote the safe, orderly, and healthful development of the City; and

WHEREAS, on August 5, 2021 the Angleton Planning and Zoning Commission conducted a public hearing regarding a request by Corey Boyer to rezone 2.669 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single Family Residential 6.3 District of the Code of Ordinances City of Angleton, Texas following lawful publication of the notice of said public hearing; and

WHEREAS, on August 5, 2021 after considering the public testimony received at such hearing, if any, the Planning and Zoning Commission has recommended that the request by Corey Boyer, to rezone 2.669 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single Family Residential 6.3 District be approved; and

WHEREAS, on August 24, 2021 the City Council of the City of Angleton conducted a public hearing regarding a request by Corey Boyer, to rezone 2.669 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 Single Family Residential 6.3 District of the Code of Ordinances City of Angleton, Texas; and

WHEREAS, on August 24, 2021 the City Council of the City of Angleton, Texas approved the request by Corey Boyer, to rezone 2.669 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 Single Family Residential 6.3 District of the Code of Ordinances City of Angleton, Texas; and

WHEREAS, each and every applicable requirement set forth in Chapter 211, Subchapter A, Texas Local Government Code and the Code of Ordinance of the City of Angleton, Texas, concerning public notices, hearings and other procedural matters have been fully met; and

WHEREAS, the City Council desires to rezone 2.669 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single Family Residential 6.3 District of the Code of Ordinances, City of Angleton, Texas;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS;

SECTION 1. All of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof as if copied herein verbatim.

SECTION 2. The request by Corey Boyer, to rezone 2.669 acres, as described in Exhibit “A,” from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single Family Residential 6.3 District of the Code of Ordinances, City of Angleton, Texas be approved.

SECTION 3. Any person who violates or causes, allows, or permits another to violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof, shall be punished by a fine of not more than Two Thousand and No/100 Dollars (\$2,000.00). Each occurrence of any such violation of this Ordinance shall constitute a separate offense. Each day on which any such violation of the Ordinance occurs shall constitute a separate offense.

SECTION 4. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

SECTION 5. In the event any clause, phrase provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be on or more parts.

SECTION 6. This ordinance shall be effective and in full force immediately upon its adoption.

SECTION 7. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code
PASSED AND APPROVED THIS THE 24TH DAY OF AUGUST 2021.

CITY OF ANGLETON, TEXAS

Jason Perez
Mayor

ATTEST:

Frances Aguilar, TRMC, CMC
City Secretary

EXHIBIT A
LOCATED IN THE
M.C. TOBIN SURVEY, A-699
BRAZORIA COUNTY, TEXAS

Being a tract or parcel of land containing 2.669 acres of land or 38,303 square feet, located in the M.C. Tobin Survey, Abstract 699, Brazoria County, Texas; Said 2.669 acre tract being out of and a part of a called 20.751 acre tract of record in the name of Howard and Marie Hill in Brazoria County Clerk's File (B.C.C.F.) Number 1971009521; Said 2.669 acre tract being more particularly described as follows (bearings based on said deed):

BEGINNING at the northeast corner of a called 2.97 acre tract of record in the name of Tiny Treasures Learning Center in B.C.C.F. Number 2000046058;

THENCE, through and across aforesaid 20.751 acre tract, North 88 degrees 47 minutes 02 seconds East, a distance of 309.74 feet to the southwest corner of a called 0.224 acre tract of record in the name of Wireless Properties, Inc. in B.C.C.F. Number 19970040105;

THENCE, coincident the south line of aforesaid 0.224 acre tract, South 89 degrees 57 minutes 11 seconds East, a distance of 141.97 feet to the northeast corner of the herein described tract and being the northwest corner of a called 1.0 acre tract of record in the name of BPI Real Estate Revocable Trust in B.C.C.F. Number 2000016702;

THENCE, coincident the east line of the herein described tract, South 00 degrees 03 minutes 51 seconds East, a distance of 232.72 feet to the most northerly southeast corner of the herein described tract;

THENCE, coincident the most northerly south line of the herein described tract, South 89 degrees 14 minutes 32 seconds West, a distance of 392.09 feet to an ell corner of the herein described tract;

THENCE, coincident the most westerly east line of the herein described tract, South 00 degrees 02 minutes 09 seconds West, a distance of 178.77 feet to the southeast corner of the herein described tract and being on the north Right-of-Way (R.O.W.) line of State Highway 35;

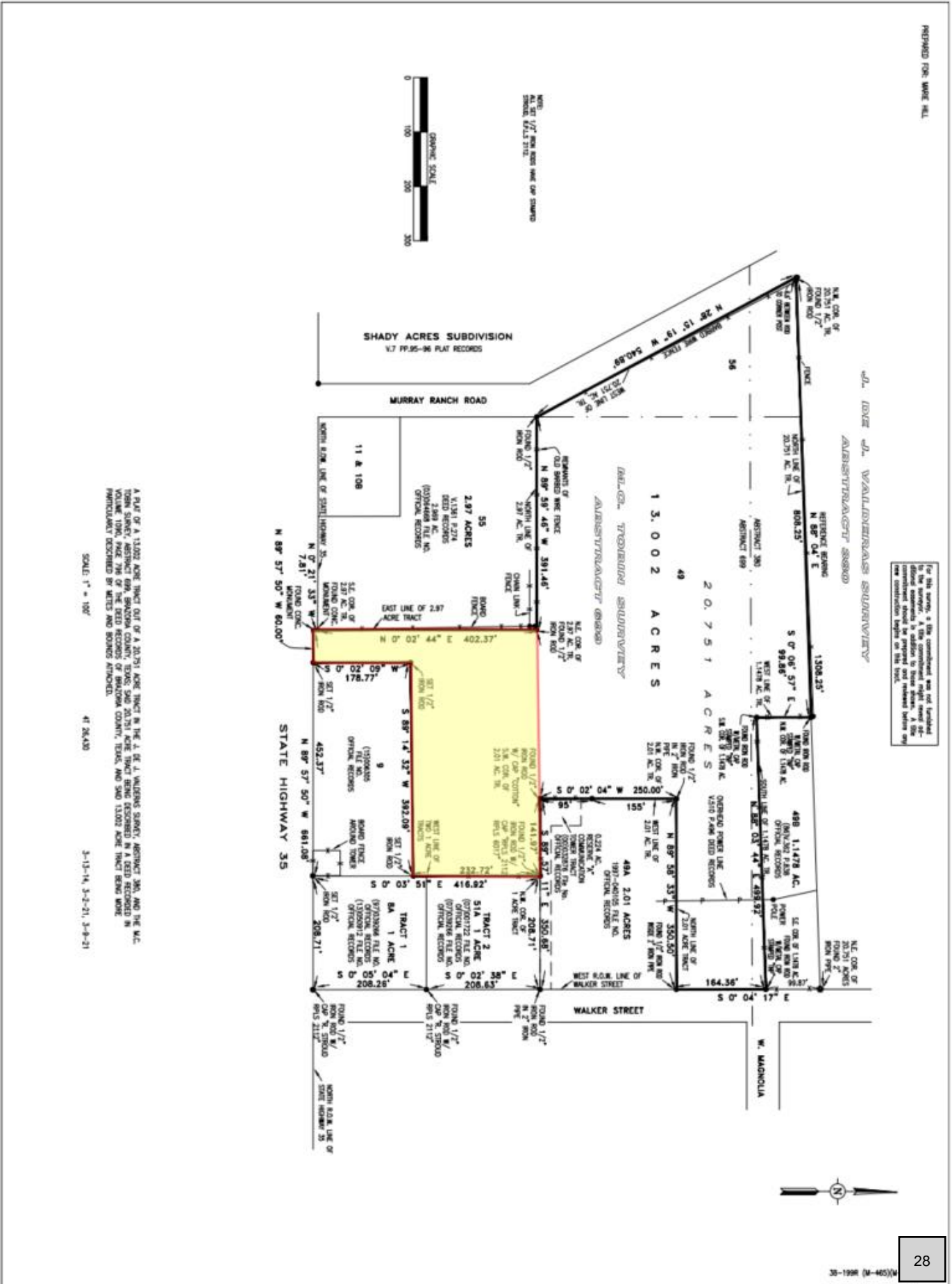
THENCE, coincident the south line of the herein described tract and the north R.O.W. line of aforesaid State Highway 35, North 89 degrees 57 minutes 50 seconds West, a distance of 60.00 feet to the southwest corner of the herein described tract;

THENCE, coincident the west line of the herein described tract, the following two (2) courses:

1. North 00 degrees 21 minutes 33 seconds West, a distance of 7.81 feet;
2. North 00 degrees 02 minutes 44 seconds East, a distance of 402.37 feet to the **POINT OF BEGINNING** and containing 2.669 acres of land.

PREPARED FOR: WADE HILL

For this survey, a title commitment was not furnished to the surveyor. A title commitment report should be prepared and submitted before the construction begins on this tract.



A PART OF A 11,000 ACRES TRACT OUT OF A 20,251 ACRES TRACT IN THE J. G. WALTONS GARRETT, ABSTRACT 300, AND THE N.E. CORNER OF SECTION 9, TOWNSHIP 69N, RANGE 20E, COUNTY OF BENTON, MISSISSIPPI, BEING DESCRIBED IN A DEED RECORDED IN VOLUME 1090, PAGE 796 OF THE DEED RECORDS OF BENTON COUNTY, MISSISSIPPI, AND SAID 11,000 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS ATTACHED.

SCALE: 1" = 100'

4/26/20

5-13-14, 5-2-21, 5-8-21



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Lindsay Koskiniemi, CPM, CGFO, Asst. Director, Development Services

AGENDA CONTENT: Conduct a public hearing, discussion, and possible action on a request for approval of an ordinance rezoning Angleton Block 27, Lots 7 through 20 and portion of a closed alley located at 237 E. Locust Street, Angleton, TX 77515 from Commercial-General (C-G) to Central Business District (CBD). The subject property is located with Live Oak St to the north, Arcola St. to the east, E. Locust to the south, and Chenango St. to the west.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: N/A

FUNDS REQUESTED: N/A

FUND: N/A

EXECUTIVE SUMMARY:

This is a request from Brazoria County, represented by Evan Duvall, AICP of TX BBG Consulting, Inc., to rezone approximately 1.7348 acres encompassing lots 7-20 and a portion of a closed alley of Block 27, from the Commercial-General district (C-G) to the Central Business District (CBD).

The purpose of this rezoning request is to facilitate the Brazoria County courthouse expansion project. The goal of this zone change is to have consistent zoning and regulations for the entirety of the Brazoria County Courthouse development. The subject properties are designated as the downtown land use category within the Future Land Use Plan for the City of Angleton. The CBD zoning district is compatible with this land use category and allows for the development of the proposed courthouse expansion.

Future Land Use

The Future Land Use Plan provides that downtown activity will be, “substantial mix of retail, office, and residential uses, serves as the hub for many public facilities including the Brazoria County Courthouse, Museum, and City Hall, and Pedestrian amenities that make downtown a dynamic place for visitors and residents of the community.”

Existing Land Use and Zoning:

North: Brazoria County Appraisal District, zoned CBD

East: North block – residential single-family homes, zoned Single-Family Residential 6.3 District (SF-6.3)

South block – legal office, zoned Commercial-Office Retail (C-OR) and single-family home, zoned SF-6.3

South: Parking lot, zoned CBD

West: Brazoria County Courthouse, zoned CBD.

Mobility Plan:

The roadway to the south of the subject property, E. Locust Street, is designated as a minor collector in the Mobility Plan. Minor collector streets are described in Section 23-12 of the Angleton Code of Ordinances as having a pavement width of 32', consisting of 2 lanes each 12' in width, with a designed speed of 30 miles per hour, and a right-of-way width of 60' to 70'. Section 28-59 of the Angleton Code of Ordinance specifies the parking requirements of the requested zoning district, CBD:

No on-site parking shall be required within this district. However, if on-site parking is provided, all parking areas shall conform to the requirements of subsection 28-101(c).

The subject property currently meets the parking requirements of subsection 28-101(c). There is no plan to change the existing parking lot, therefore, there is no anticipated increase to through traffic that would impact the surrounding streets.

RECOMMENDATION:

Staff recommends approval of an ordinance rezoning Angleton Block 27, Lots 7 through 20 and portion of a closed alley located at 237 E. Locust Street, Angleton, TX 77515 from Commercial-General (C-G) to Central Business District (CBD).



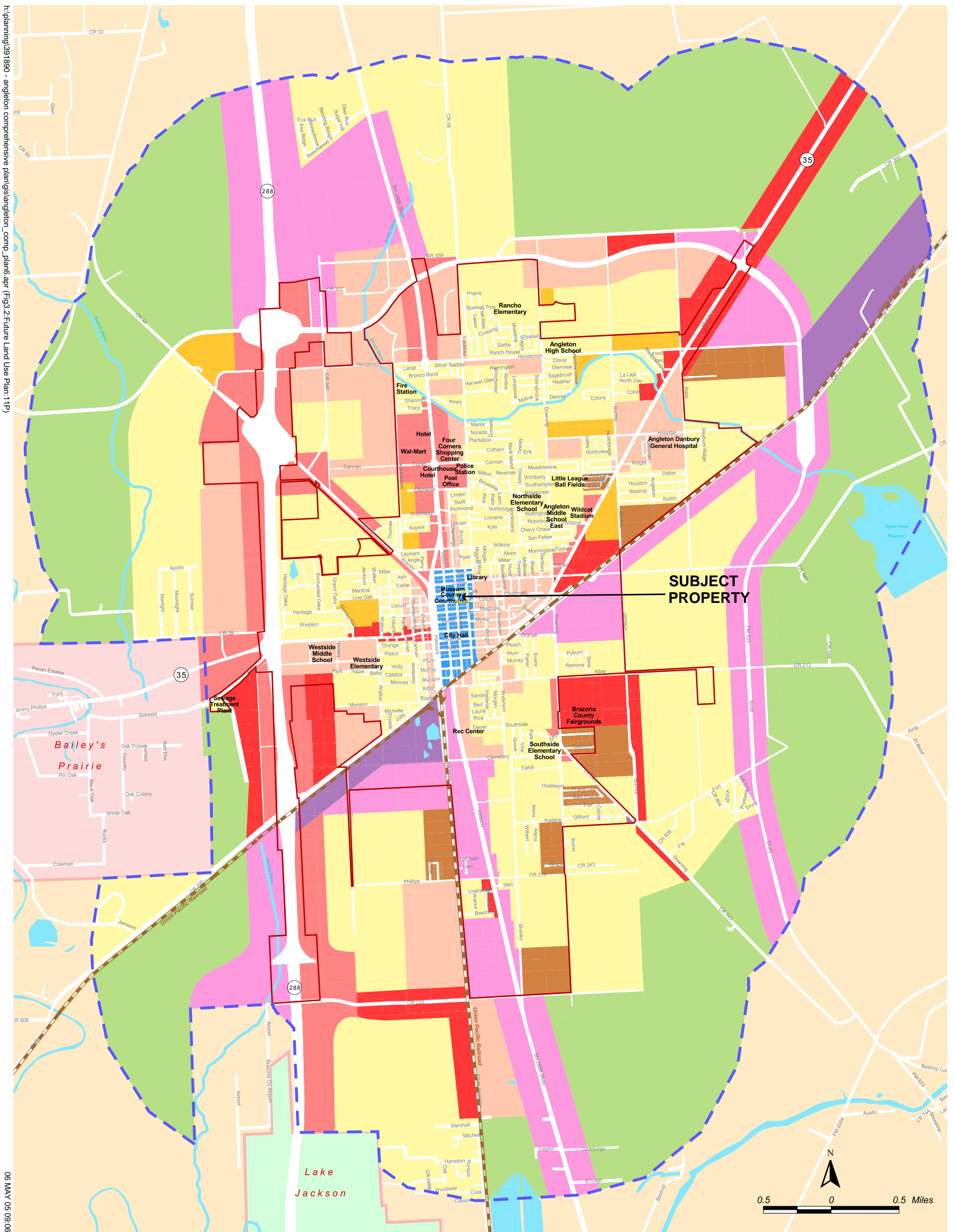
Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.



Operated by:
City of Angleton
121 S. Velasco St.
Angleton, TX 77515
979-849-4364

City of Angleton GIS Mapping

1" = 247'



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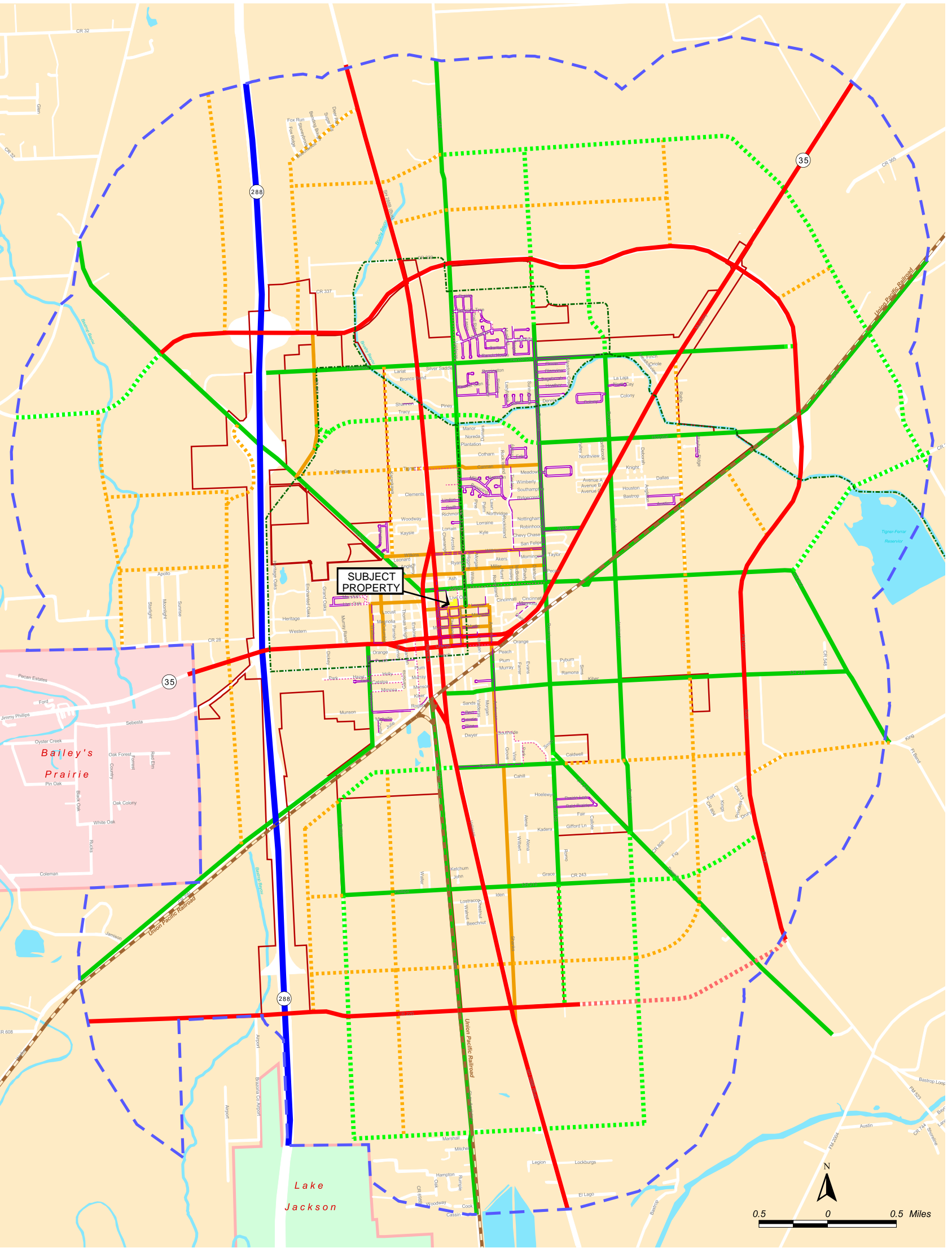
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Figure 3.2
Future Land Use Plan

- | | |
|--|-----------------------|
| Agricultural | Industrial/Commercial |
| Single Family Residential | Industrial |
| Multi-Family Residential | Downtown |
| Manufactured Housing | Right Of Way |
| Office/Retail/Multi-Family Residential | Angleton Study Area |
| Office/Retail | Angleton City Limits |
| Commercial | |

NOTE: A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.


















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Figure 4.1
Mobility Plan

- | | |
|--|--|
|  Existing Freeway |  Rail |
|  Existing Arterial |  Existing Sidewalk |
|  Existing Major Collector |  Proposed Sidewalk |
|  Existing Minor Collector |  Proposed Trail |
|  Proposed Arterial |  Angleton Study Area |
|  Proposed Major Collector |  Angleton City Limits |
|  Proposed Minor Collector | |

ORDINANCE NO. 20210805-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS REZONING APPROXIMATELY 1.7348 ACRES FROM ARTICLE III ZONING DISTRICTS SECTION 28-57 C-G - COMMERCIAL-GENERAL DISTRICT TO ARTICLE III ZONING DISTRICTS SECTION 28-59 CBD - CENTRAL BUSINESS DISTRICT OF THE CODE OF ORDINANCES OF THE CITY OF ANGLETON, TEXAS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND AN EFFECTIVE DATE.

WHEREAS, the City is authorized by Chapter 211 of the Texas Local Government Code to promulgate rules and regulations governing regulation of land use, structures, businesses, and related activities; and

WHEREAS, the City Council further finds that the rules and regulations governing land use, structures, and related activities within the territorial limits of the City promote the safe, orderly, and healthful development of the City; and

WHEREAS, on August 5, 2021 the Angleton Planning and Zoning Commission conducted a public hearing regarding a request by Brazoria County, represented by TX BBG Consulting, Inc., to rezone approximately 1.7348 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-59 CBD – Central Business District of the Code of Ordinances City of Angleton, Texas following lawful publication of the notice of said public hearing; and

WHEREAS, on August 5, 2021 after considering the public testimony received at such hearing, if any, the Planning and Zoning Commission has recommended that the request by Brazoria County, represented by TX BBG Consulting, Inc., to rezone approximately 1.7348 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-59 CBD – Central Business District be approved; and

WHEREAS, on August 24, 2021 the City Council of the City of Angleton conducted a public hearing regarding a request by Brazoria County, represented by TX BBG Consulting, Inc., to rezone approximately 1.7348 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-59 CBD – Central Business District of the Code of Ordinances City of Angleton, Texas; and

WHEREAS, on August 24, 2021 the City Council of the City of Angleton, Texas approved the request by Brazoria County, represented by TX BBG Consulting, Inc., to rezone approximately 1.7348 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-59 CBD – Central Business District of the Code of Ordinances City of Angleton, Texas; and

WHEREAS, each and every applicable requirement set forth in Chapter 211, Subchapter A, Texas Local Government Code and the Code of Ordinance of the City of Angleton, Texas, concerning public notices, hearings and other procedural matters have been fully met; and

WHEREAS, the City Council desires to rezone approximately 1.7348 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-59 CBD – Central Business District of the Code of Ordinances, City of Angleton, Texas;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS;

SECTION 1. All of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof as if copied herein verbatim.

SECTION 2. The request by Brazoria County, represented by TX BBG Consulting, Inc., to rezone approximately 1.7348 acres, as described in Exhibit “A,” from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-59 CBD – Central Business District of the Code of Ordinances, City of Angleton, Texas be approved.

SECTION 3. Any person who violates or causes, allows, or permits another to violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof, shall be punished by a fine of not more than Two Thousand and No/100 Dollars (\$2,000.00). Each occurrence of any such violation of this Ordinance shall constitute a separate offense. Each day on which any such violation of the Ordinance occurs shall constitute a separate offense.

SECTION 4. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

SECTION 5. In the event any clause, phrase provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be on or more parts.

SECTION 6. This ordinance shall be effective and in full force immediately upon its adoption.

SECTION 7. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place, and purpose of said

meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code
PASSED AND APPROVED THIS THE 24TH DAY OF AUGUST 2021.

CITY OF ANGLETON, TEXAS

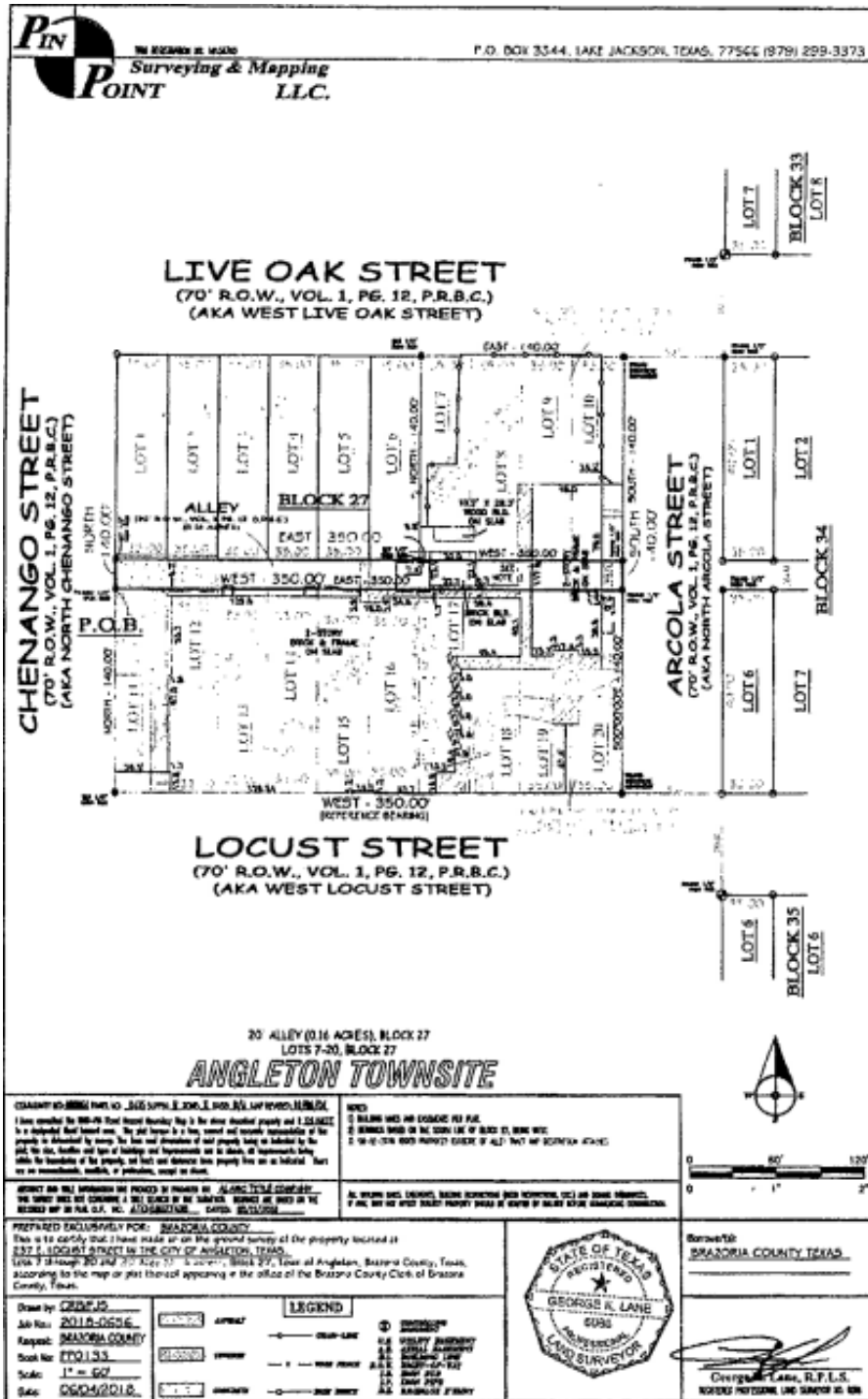
Jason Perez
Mayor

ATTEST:

Frances Aguilar, TRMC, CMC
City Secretary

EXHIBIT A

Angleton Block 27, Lots 7 – 20 and a closed alley



22576

DEED
VOL. 1719 PAGE 299

THE STATE OF TEXAS X
COUNTY OF BRAZORIA X

GENERAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS:

THAT I, SANDRA DORIS NORMAN, of the County of Brazoria, State of Texas, hereinafter called Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) cash and other good and valuable consideration, to me in hand paid by the COUNTY OF BRAZORIA hereinafter called Grantee, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto the said Grantee of 100 E. Locust, Brazoria County Courthouse, Angleton, Brazoria County, State of Texas, the following described lot, tract and parcel of land, situated in Brazoria County, Texas, to-wit:

The west 70 feet of Lots 5, 6, 7 & 8, Block 8, Angleton Townsite, Brazoria County, Texas, according to the map or plat of record in the office of the County Clerk of Brazoria County, Texas.

THIS CONVEYANCE is made subject to all exceptions, restrictions, agreements, reservations, covenants, mineral reservations, and any other instruments of record in the office of the County Clerk of Brazoria County, Texas, affecting the title to the said property.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its successors and assigns forever; and I do hereby bind myself, my heirs, executors, administrators and assigns, to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED THIS 5 day of July, 1983.


SANDRA DORIS NORMAN

DEED

VOL. 1719 PAGE 300

THE STATE OF TEXAS Y
COUNTY OF BRAZORIA Y

This instrument was acknowledged before me, the 5 day of July, 1983, by Sandra Doris Norman.



Gail Ransom
Notary Public, State of Texas

GAIL RANSOM
Notary Public, State of Texas
My Commission Expires 7-2-85

FILED FOR RECORD
JUL 6 3 39 PM '83

B. C. ...
COUNTY CLERK
BRAZORIA COUNTY, TEXAS

DEED

5820

VOL. 1896 PAGE 142

THE STATE OF TEXAS X
COUNTY OF BRAZORIA X

GENERAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, MARVIN LYNN MERCER AND GLENDA ANN MERCER, of the County of Brazoria, State of Texas, hereinafter called Grantors, for and in consideration of the sum of Ten Dollars (\$10.00) cash and other good and valuable consideration, to us in hand paid by the County of Brazoria hereinafter called Grantee, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto the said Grantee of 100 E. Locust, Brazoria County Courthouse, Angleton, Brazoria County, State of Texas, the following described lot, tract and parcel of land, situated in Brazoria County, Texas, to-wit:

The east 1/2 of Lots 5, 6, 7 and 8 and all of Lots 20 and 21, Block 8, City of Angleton, Brazoria County, Texas, according to the map or plat recorded in Vol. 1, page 12 of the Plat Records of Brazoria County, Texas.

THIS CONVEYANCE is made subject to all exceptions, restrictions, agreements, reservations, covenants, mineral reservations, and any other instruments of record in the office of the County Clerk of Brazoria County, Texas, affecting the title to the said property.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its successors and assigns forever; and we do hereby bind ourselves, our heirs, executors and administrators, to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED THIS 18 day of February, 1983.

Marvin Lynn Mercer
MARVIN LYNN MERCER

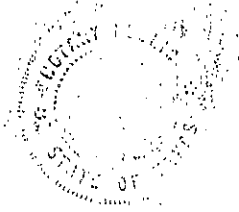
Glenda Ann Mercer
GLENDA ANN MERCER

DELO

VOL 1696 PAGE 143

THE STATE OF TEXAS I
COUNTY OF BRAZORIA I

This instrument was acknowledged before me, the 18th day of February, 1983 by Marvin Lynn Mercer and Glenda Ann Mercer.



James R. Koonce
Notary Public, State of Texas
JAMES R. KOONCE
Typed or printed name of Notary
My commission expires: 10-3-84

FILED FOR RECORD
AT 2:45 o'clock P.M.

FEB 22 1983
DOLLY BAILEY
CLERK COUNTY COURT, BRAZORIA CO., TEXAS
BY T. C. [Signature] DEPUTY

1490

DEED
VOL 1689 PAGE 395

GENERAL WARRANTY DEED

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, ROBERT D. HURST and wife, EVELYN V. HURST, of Brazoria County, Texas, hereinafter called Grantors, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, and other good and valuable consideration cash to us in hand paid by BRAZORIA COUNTY, TEXAS, a subdivision of the State of Texas, hereinafter called Grantee, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto the said Grantee, the following described tract or parcel of land, lying and being situated in Brazoria County, Texas, to-wit:

Lots 1, 2, 3, 4, 5 & 6, in Block 7, City of Angleton, in Brazoria County, Texas, according to map or plat thereof recorded in Volume 35, Page 364, of the Deed Records of Brazoria County, Texas, together with all improvements located thereon.

THIS CONVEYANCE is made and accepted subject to all restrictions, covenants, conditions, rights-of-way, easements, and oil, gas and other mineral reservations affecting the above-described property, that are of record in the Office of the County Clerk of Brazoria County, Texas.

TO HAVE AND TO HOLD the above-described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said Grantee, its successors and assigns, forever; and we do hereby bind ourselves, our heirs, executors and administrators to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said Grantee, its successors and assigns, against every person whomsoever, lawfully claiming or to claim the same, or any part thereof.

WITNESS our hands this the 14th day of January, 1983.

Grantees' Address:
County Judge's Office
Brazoria County Courthouse
Angleton, Texas 77515

Robert D. Hurst
ROBERT D. HURST

Evelyn V. Hurst
EVELYN V. HURST

DEED

VOL 1689 PAGE 396

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

THIS INSTRUMENT was acknowledged before me on the 14th day
of January, 1983, by the said ROBERT D. HURST and wife EVELYN V. HURST.



Linda Galyean
Notary Public - State of Texas

Linda Galyean
Notary Public in Brazoria County
for the State of Texas
My Commission expires September 13, 1984

FILED FOR RECORD
AT 4:03 O'CLOCK P M
JAN 14 1983
DOLLY BAILEY
CLERK COUNTY COURT BRAZORIA CO., TEXAS
BY [Signature] DEPUTY

D E E D

VOL 1639 PAGE 975

14805

WARRANTY DEED

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

KNOW ALL MEN BY THESE PRESENTS: That Carl E. Wachtstetter and wife, Pauline D. Wachtstetter of the County of Brazoria and State of Texas, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto Brazoria County of the County of Brazoria and State of Texas, all of the following described real property, together with all improvements situated thereon, in Brazoria County, Texas, to-wit:

Lots 7, 8, 15, 16 and the West 14 feet of Lot 17, Block 7, City of Angleton, Brazoria County, Texas, according to the recorded map or plat thereof in Volume 34, page 2 of the Deed Records of Brazoria County, Texas.

THIS CONVEYANCE IS MADE AND ACCEPTED SUBJECT to the following matters to the extent same are in effect at this time: Any and all restrictions, covenants, conditions, easements, mineral or royalty reservations and leases, if any, relating to the hereinabove described property, but only to the extent they are still in effect, shown of record in the public records of Brazoria County, Texas; and to all zoning laws, regulations and ordinances of municipal and/or other governmental authorities if any, but only to the extent that they are still in effect, relating to the hereinabove described property.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said grantee, its successors and assigns forever; and we do hereby bind ourselves, our heirs, executors and administrators forever; and it does hereby bind itself, its successors and assigns to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

DEED
VOL. 1639 PAGE 976

EXECUTED this 10th day of MAY, 1982.

Carl E. Wachtstetter
Carl E. Wachtstetter

Pauline D. Wachtstetter
Pauline D. Wachtstetter

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

BEFORE ME, the undersigned authority, on this day personally appeared Carl E. Wachtstetter and wife, Pauline D. Wachtstetter known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 10 day of May, 1982.

Jane Hanson
Notary Public in and for
Brazoria County, Texas.



JANE HANSON
Notary Public for the State of Texas
My Commission Expires 11-17-84

FILED FOR RECORD
AT 7:38 O'CLOCK P M.
MAY 10 1982
H. R. STEVENS, JR.
CLERK COUNTY COURT, BRAZORIA CO., TEXAS
BY *[Signature]* DEPUTY

DEED

6181

VOL. 1696 PAGE 587
WARRANTY DEED

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

KNOW ALL MEN BY THESE PRESENTS: That A.Brad Williamson and wife, Anita Sue Williamson of the County of Brazoria and State of Texas, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto Brazoria County of the County of Brazoria and State of Texas, all of the following described real property, together with all improvements situated thereon, in Brazoria County, Texas, to-wit:

Lots 9 and 10, Block 7, City of Angleton, Brazoria County, Texas, according to the map or plat thereof recorded in Volume 34, at Page 2 of the Deed Records of Brazoria County, Texas.

THIS CONVEYANCE IS MADE AND ACCEPTED SUBJECT to the following matters to the extent same are in effect at this time: Any and all restrictions, covenants, conditions, easements, mineral or royalty reservations and leases, if any, relating to the hereinabove described property, but only to the extent they are still in effect, shown of record in the public records of Brazoria County, Texas; and to all zoning laws, regulations and ordinances of municipal and/or other governmental authorities if any, but only to the extent that they are still in effect, relating to the hereinabove described property.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said grantee, its successors and assigns forever; and we do hereby bind ourselves, our heirs, executors and administrators to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

DEED
VOL 1696 PAGE 588

EXECUTED this 24 day of February, 1983.

A. Brad Williamson
A. Brad Williamson
Anita Sue Williamson
Anita Sue Williamson

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

BEFORE ME, the undersigned authority, on this day personally appeared A. Brad Williamson and wife, Anita Sue Williamson known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 24 day of February, 1983.

Jane Hanson
Notary Public in and for
Brazoria County, Texas.



Address of Grantee(s)

Court House
Angleton, Texas 77515

JANE HANSON
Notary Public for the State of Texas
My Commission Expires 11-17-84

FILED FOR RECORD
AT 3:29 O'CLOCK P M.

FEB 24 1983
DOLLY BAILEY
CLERK COUNTY COURT BRAZORIA CO., TEXAS
Dolly Bailey DEPUTY

DEED
VOL 1443 PAGE 785

5279

WARRANTY DEED

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

KNOW ALL MEN BY THESE PRESENTS: That THE FIRST NATIONAL BANK OF ANGLETON, Angleton, Texas, a Texas banking corporation, acting herein by and through its duly authorized officers, of the County of Brazoria and State of Texas, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged;

HAVE GRANTED, SOLD AND CONVEYED and by these presents do GRANT, SELL AND CONVEY unto COUNTY OF BRAZORIA, TEXAS, of the County of Brazoria and State of Texas, all of the following described real property in Brazoria County, Texas, to-wit:

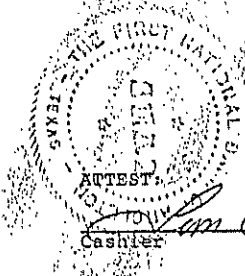
The East 21 feet of Lot 17, all of Lots 11, 18, 19, 20, and the West 15 feet of Lot 12, in Block 7, City of Angleton, Brazoria County, Texas, according to the recorded map or plat thereof in Volume 34, page 2 of the Deed Records of Brazoria County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all and singular, the rights and appurtenances thereto in anywise belonging unto the said GRANTEE, its successors and assigns forever, and Grantor does hereby bind itself, its successors and assigns, to WARRANT AND FOREVER DEFEND, all and singular, the said premises, unto the said GRANTEE, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this 7 day of February, 1979.

THE FIRST NATIONAL BANK OF ANGLETON, ANGLETON, TEXAS

BY: [Signature]
President



[Signature]
Cashier

DEED
VOL 1443 PAGE 786

THE STATE OF TEXAS)
COUNTY OF BRAZORIA)

BEFORE ME, the undersigned authority, on this day personally appeared L.R. GIESE, _____ President of THE FIRST NATIONAL BANK OF ANGLETON, ANGLETON, TEXAS, a corporation, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 7 day of February, 1979.



Jean Gustavsen
Notary Public in and for
Brazoria County, Texas
JEAN GUSTAVSEN
Notary Public, in and for
Brazoria County, Texas

FILED FOR RECORD
AT 2:28 PM FEB 16 1979

FEB 16 1979
H. R. STEVENS, JR.
CLERK COUNTY CLERK, BRAZORIA CO., TEXAS
BY: Allen Mulka DEPUTY

11859

DEED
VOL 1766 PAGE 639
DEED

THE STATE OF TEXAS:
COUNTY OF BRAZORIA:

KNOW ALL MEN BY THESE PRESENTS:

That, James Edgar Davis and wife, Mary R. Davis, and James Earnest Davis, Trustee of the County of Brazoria and State of Texas, for and in consideration of the sum of One Hundred Twenty-two Thousand no/100 Dollars (\$122,000) and other good and valuable consideration to the undersigned paid by Brazoria County the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL and CONVEY unto Brazoria County the following described real property, together with all improvements situated thereon in Brazoria County, Texas, to-wit:

Lots 14, 13 and East 20 feet of Lot 12, Block 7, Angleton Townsite, Brazoria County, Texas, according to the map or plat of said townsite of record in the office of the County Clerk of Brazoria County, Texas.

THIS CONVEYANCE is made subject to easements, covenants, restrictions and mineral reservations of record in the County Clerk's office of Brazoria County, Texas, affecting the above described property.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said BRAZORIA COUNTY, its successors and assigns forever; and we do hereby bind ourselves, our heirs, executors and administrators to warrant and forever defend all and singular the said premises unto the said Brazoria County, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this the 30 day of March, 1984.

James Edgar Davis
James Edgar Davis
Mary R. Davis
Mary R. Davis
James Earnest Davis
James Earnest Davis, Trustee

DEED

VOL 1766 PAGE 640

THE STATE OF TEXAS:
COUNTY OF BRAZORIA

BEFORE ME, THE undersigned authority, on this day personally appeared James Edgar Davis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 30 day of March, 1984.

My commission expires: August 31, 1984

Lottie Dyson
Notary Public
State of Texas
Lottie Dyson

FILED FOR RECORD
APR 4 3 53 PM '84

Lottie Dyson
COUNTY CLERK
BRAZORIA COUNTY, TEXAS

THE STATE OF TEXAS:
COUNTY OF BRAZORIA

1881

BEFORE ME, the undersigned authority, on this day personally appeared Mary R. Davis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 30 day of March, 1984.

My commission expires:
August 31, 1984

Lottie Dyson
Notary Public
State of Texas
Lottie Dyson

THE STATE OF TEXAS:
COUNTY OF BRAZORIA

BEFORE ME, the undersigned authority on this day personally James Earnest Davis, Trustee, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 4 day of April, 1984.

My commission expires: August 31, 1984

Lottie Dyson
Notary Public
State of Texas

B/K 13

40/83

State of Texas }
 County of Brazoria } Known all men by these pres-
 ents that whereas D. K. Hiber
 by L. R. Bigham agent and at
 town of in fact Lewis R. Bigham and L. L. Foster, Jus-
 tice of the County of Brazoria and state of Texas
 on the 20th day of July 1896 for and in con-
 sideration of the sum of \$100 to them in hand paid
 and for the further consideration of the removal
 of the County seat of Brazoria County to the
 Town of Angleton and the benefits which will
 result to their property by the location of the
 County seat of Brazoria County at Angleton
 and for the purpose of aiding the removal of
 said County seat to Angleton have granted
 sold and conveyed to me as Trustee the follow-
 ing described property situated in Brazoria County
 State of Texas to wit all of block Numbered
 Thirteen (13) containing Twenty (20) Lots and
 an alley Twenty (20) feet wide in the Town of
 Angleton according to the map of same
 recorded Vol. 34 pp 12+3 Record of Deeds of Brazoria
 County Texas and whereas the deed to said
 above described property from said parties to
 me as Trustee and dated July 20th 1896 recor-
 ded in deed records of said County in Vol
 ume "36" on page 318, 319, + 320 to which said deed
 reference is here made containing the
 condition that "if the people Brazoria County
 shall locate the County seat at Angleton
 by their vote on or before the first day
 of April 1897 then the said J. D. Warman
 Trustee has full and authority to convey
 said property to the County of Brazoria
 to be used by said County for the purpose
 of a site for the Court House of Brazoria
 County also for County Jail if desired by
 the County and whereas the said deed above
 described also contained the condition
 that if said County seat is not located
 at the Town of Angleton by a popular vote
 on or before the date aforesaid or if the
 County of Brazoria shall refuse to accept this
 as a site for the Court House or Jail then

This instrument shall become null and void otherwise to remain in full force and effect, and whereas an Election was duly ordered by the County Judge of said County on the 15th day of September 1896, to determine by a vote of the electors of said County whether the County seat of said County shall be removed from the Town of Brazoria in said County to the Town of Angleton also of said County the last named town being within five miles of the Geographical Center of said County and reference is here made to said order of records in Minutes of Commissioners Courts Vol. 9, Brazoria County Texas Page 230, in which it is ordered that said Election take place on Monday 19th day of October 1896 and whereas the result of said Election is declared ^{and the town of Angleton is declared} to be the County seat of Brazoria County Texas in the following to wit: In Witness Whereof I, the undersigned County Judge of Brazoria County, Texas in the presence of the County Clerk of said County and other witnesses did proceed to open the returns and canvass the votes cast at an Election held at the various voting precincts of said County on the 19th day of October 1896 to determine the question whether the County seat of Brazoria County should be removed from the Town of Brazoria in said County to the Town of Angleton in said County, and upon the canvass of such vote cast at all the voting Precincts of said County, I found that the total Number of votes polled was 3312 of which 2073 votes were in favor of removal of the County seat from the Town of Brazoria to the Town of Angleton in said County and 1239 votes for the County seat of said County to remain at the Town of Brazoria in said County, I therefore declare the result of said Election is that the County seat of Brazoria County be removed from the Town of Brazoria to the Town of Angleton in said County, it appearing that the said

Town of Angleton is within five miles of the geographical center of said County,
 Witness my hand this the 24th day of October
 1896 (Signed) W.R. Masterson County Judge
 of Brazoria County Texas.
 The above being of record in minutes
 of Commissioners Court Vol 6 page 731
 of Brazoria County Texas and in deed re-
 cords of said County Vol 35 page 501 to which
 reference is here made, and whereas said block
 of land has been designated as the Court House
 site of said County by the following order
 to wit of the Commissioners Court of said
 County at Special December Term 1896.
 It is ordered that the donation of block
 13 in the Town of Angleton made by L.R. Bay-
 an et al. be accepted and said block is hereby
 designated as the Court House block of said
 County to be used as a County ^{Court} House the
 said order being of record in the minutes
 of Commissioners Court Vol 4 page 266 Braz-
 oria County Texas to which reference is here
 made. Now therefore in consideration
 of the foregoing premises and of the sum of
 One (\$1.00) Dollar to me in hand paid by
 Brazoria County Texas the receipt of which
 is hereby acknowledged J. F. D. Cannon of
 the County of Brazoria and State of Texas
 County Clerk has granted sold and conveyed and
 by these presents do grant sell and convey
 unto Brazoria County Texas all that certain
 tract or parcel of land situated in Braz-
 oria County Texas to wit all of block Num-
 bered Thirteen (13) containing Twenty (20)
 Lots and an Alley Twenty (20) feet wide
 in the Town of Angleton according to the
 map of same recorded in Vol 34 pages
 12 and 3 Records of Deeds of Brazoria County
 Texas to be used by said County for the
 purpose of a site for the Court House of
 Brazoria County Texas also for a County
 Jail if desired by the County Do here and to
 hold the above described property together

with all and singular the rights and appur-
 tenances thereto in anywise belonging unto
 the said Brazoria County Texas forever and
 I do hereby bind myself, my heirs, executors
 and administrators to warrant and forever
 defend all and singular the said premises
 unto the said Brazoria County against every
 person whatsoever lawfully claiming or
 to claim the same in any part thereof
 Witness my hand this at Angleton Texas this the
 25th day of February 1897. J.D. Cassman Trustee

State of Texas }
 County of Brazoria } Before me E. M. Brewer Clerk
 of the County Court of
 Brazoria County Texas
 on this day personally appeared J.D. Cassman known
 to me to be the person whose name is subscribed
 to the foregoing instrument and acknowledged
 to me that he executed the same
 for the purposes and considerations therein
 expressed and in the capacity as stated.
 Given under my hand and seal of office at
 Angleton Texas this the 25th day of February
 1897 E. M. Brewer Clerk of the
 County Court of Brazoria County Texas
 Filed for Record this the 25th day of Feb'y A.D. 1897
 at 9:30 o'clock A.M. E. M. Brewer County Clerk

The State of Texas }
 County of Brazoria } Whereas on the 4th day
 of January A.D. 1892 by deed
 of said date the Texas Land
 and Immigration Company conveyed to J.W. Brister
 of Childress County of the State of Texas
 the following described lot in the city of Velasco
 Brazoria County Texas to wit Lot number
 Seven (7) in Block Numbered
 Sixty Seven (67) in which said deed a ven-
 dors Lien was expressly reserved and retained
 by the said Grantor to secure the payment of the

the said premises unto the said Brazoria County ^{and} its heirs and assigns against every person whomsoever lawfully claiming or to claim the same on any part thereof,
 Witness my hand at Angleton this 9th day of August A.D. 1897. J. D. Carrman. Trustee,

The State of Texas, }
 County of Brazoria } Before me, R. B. Loggins
 a Notary Public in and for
 Brazoria County Texas on
 this day personally appeared J. D. Carrman known
 to me to be the person whose name is subscribed to
 the foregoing instrument and acknowledged
 to me that he executed the same for the purposes
 and consideration therein expressed and in the ca-
 pacity as stated,

Given under my hand and seal of office this
 9th day of August A.D. 1897.

read R. B. Loggins Notary Public
 in for Brazoria County Tex

Filed for Record this the next day of Aug A.D.
 1897. at 4 O'clock. P. M. E. M. Coombs, County Clerk B.C.

BK 14

12/22/97

The State of Texas, } Known all men by these
 County of Brazoria, } presents that J. D. Carr-
 man, Trustee of the County
 of Brazoria in the state aforesaid for and
 in consideration of the sum of One Dollar
 to me paid by Brazoria County Texas as
 follows in cash and for the further consid-
 eration of the removal of the County seat
 of said Brazoria County from the Town of
 Brazoria in said County to the Town of An-
 gleton in said County by popular vote on
 the 19th day of October 1896 have granted
 sold and conveyed and by these presents
 do grant sell and convey unto the said
 Brazoria County Texas all that certain

tract or parcel of land situated in Brazoria County state of Texas to wit all of Blocks Numbered front town (14) and one containing twenty (20) lots each and blocks Numbered fifty two (52) and sixty (60) containing eighteen (18) lots each. According to the map of said Town of Angleton recorded in vol 38 pp. 1, 2, 3 record of Deeds of Brazoria County Texas being the same land conveyed to me as trustee by deed of date July 20th 1896 and recorded in vol. 35 pp. 469 470 Deed records of Brazoria County Texas. I have and to hold the above described premises together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Brazoria County Texas its heirs and assigns forever and I do hereby bind myself, heirs executors and administrators to warrant and forever defend all and singular the said premises unto the said Brazoria County Texas heirs and assigns against every person whatsoever lawfully claiming or to claim the same or any part thereof.

Witness my hand at Angleton this 9th day of August A D. 1897. J. D. Carrman
Trustee.

The State of Texas }
County of Brazoria } Before me, R. B. Loggins a
Notary Public in and for
Brazoria County Texas, on
this day personally appeared J. D. Carrman known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this 9th day of August A D. 1897

(seal) R. B. Loggins Notary Public
in for Brazoria County Texas

Filed for Record this 24th day of Aug A D. 1897
at 4 o'clock P.M.
E. M. COMS County Clerk.

DEED
VOL 1162 PAGE 171

11150

ORDINANCE NO. 630

AN ORDINANCE ABANDONING AND CLOSING A PORTION OF LIVE OAK STREET, BEING THAT PORTION LYING BETWEEN THE INTERSECTION OF LIVE OAK STREET AND VELASCO STREET AND THE INTERSECTION OF LIVE OAK STREET AND CHENANGO STREET; PROVIDING THAT THE STREET OR PORTION OF STREET SO ABANDONED AND CLOSED IS RELEASED FROM AN EASEMENT HERETOFORE EXISTING FOR THE PUBLIC AS A PUBLIC STREET; AUTHORIZING AND DIRECTING THE MAYOR OF THE CITY OF ANGLETON TO EXECUTE A QUITCLAIM DEED TO ALL ABUTTING OWNERS AND/OR PERSONS ENTITLED THERETO UNDER CHAIN OF TITLE FROM ORIGINAL SOURCE; DIRECTING THAT A COPY OF SAID ORDINANCE BE FILED IN THE DEED RECORDS OF BRAZORIA COUNTY, TEXAS, AND AUTHORIZING THE COUNTY CLERK OF BRAZORIA COUNTY, TEXAS, TO MAKE NOTATION THEREOF ON THE APPROPRIATE PLAT BOOK OF SAID COUNTY; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, BRAZORIA COUNTY, TEXAS:

SECTION 1. There has been presented to the City Council of the City of Angleton, Brazoria County, Texas, a request to abandon and close a portion of Live Oak Street, said street or portion of street being located within the City of Angleton, said street or portion of street so requested to be abandoned and closed being more particularly described as follows, to-wit:

That portion of Live Oak Street lying between the intersection of Live Oak Street and Velasco Street and the intersection of Live Oak Street and Chenango Street, in the City of Angleton, Brazoria County, Texas.

SECTION 2. The City Council, after due and proper notice and public hearing, finds and hereby determines that all prerequisites of law have been complied with in requesting the abandoning and closing of the above described portion of Live Oak Street located in the City of Angleton, and that it will be in the public interest for the above described street or portion of street to be abandoned and closed.

SECTION 3. That the portion of Live Oak Street located in the City of Angleton, and above described in Section 1 of this Ordinance, is hereby abandoned and closed and the property lying within said above described street or portion of street in said City of Angleton is hereby released from the easement heretofore existing for the public use as a public street.

SECTION 4. The Mayor of the City of Angleton is hereby authorized and directed to execute a quitclaim deed to all abutting owners

DEED
VOL. 1162 PAGE 172

and/or persons entitled thereto under chain of title from the original source.

SECTION 5. That a copy of this Ordinance, duly acknowledged and certified to, shall be placed in the Deed Records of Brazoria County, Texas.

SECTION 6. That the County Clerk of Brazoria County, Texas, be and said Clerk is hereby authorized to make a notation of the volume and page of the recording of this Ordinance on the appropriate plat book of said county.

SECTION 7. That this Ordinance shall be effective from and after its passage and adoption.

PASSED, APPROVED AND ADOPTED this 22nd day of May, 1973.

W. Ligon Foster

Mayor, City of Angleton



Lisa W. White

City Secretary

FILED FOR RECORD
AT 2:57 O'CLOCK P. M.

MAY 31 1973

H. R. STEVENS, JR.
CLERK COUNTY COURT, BRAZORIA CO., TEXAS
BY *Richard L. ...* DEPUTY

I, the undersigned, City Secretary of the City of Angleton, Texas do hereby certify that the foregoing is a true and correct copy of Ordinance No. 630 passed and adopted by the City Council of said City at Regular Meeting held on the 22nd day of May, 1973. I further certify that a quorum of the Council's members was present and that said Ordinance No. 630 passed by affirmative vote of at least a majority of said Council.

Dated this the 22nd day of May, 1973.

Lisa W. White

City Secretary
City of Angleton, Texas.

250 144-51-14 4090 1150 00 0606 01-15-14

D E E D

VOL 1299 PAGE 877

17916

THE STATE OF TEXAS
COUNTY OF BRAZORIA


KNOW ALL MEN BY THESE PRESENTS

THAT GARY L. McCONNELL of Brazoria County, Texas, hereinafter called Grantor (whether one or more), for and in consideration of the sum of Ten Dollars (\$10.00) cash and other good and valuable considerations in hand paid by COUNTY OF BRAZORIA, TEXAS, hereinafter called Grantee (whether one or more), the receipt and sufficiency of which are hereby acknowledged and confessed; have GRANTED, SOLD and CONVEYED, and by these presents do GRANT, SELL and CONVEY unto Grantee, of Brazoria County, Texas, all that certain lot, tract or parcel of land, together with all improvements thereon, lying and being situated in the County of Brazoria, State of Texas, described as follows, to wit:

Lots One (1) through Six (6), Block Twenty Seven (27), City of Angleton, according to the plat of record in Volume 34, Page 2 of the Deed Records of Brazoria County, Texas and corrected plat recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in any wise belonging, unto Grantee, its successors or assigns forever; and, Grantor does hereby bind himself, his heirs and assigns to WARRANT AND FOREVER DEFEND, all and singular the said premises unto Grantee, its successors or assigns against every person whomsoever lawfully claiming, or to claim the same, or any part thereof. This conveyance is made subject to all easements, valid restrictions, mineral reservations and exceptions, if any, applicable to and enforceable against the above described property as reflected by the records of the County Clerk of Brazoria County, Texas.

EXECUTED this the 14th day of July, 1976.


Gary L. McConnell

DEED
VOL 1299 PAGE 878

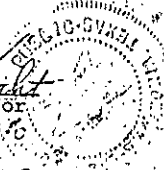
THE STATE OF TEXAS
COUNTY OF BRAZORIA

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared GARY L. McCONNELL, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 14th day of July, 19 76.

Cecil Fae Knight
Notary Public in and for
Brazoria County, Texas

CECIL FAE KNIGHT
Notary Public, in and For, Brazoria County, Texas
My Commission Expires June 1, 19 77



FILED FOR RECORD
AT 3:40 O'CLOCK P. M.

JUL 16 1976

H. R. STEVENS, JR.
CLERK COUNTY COURT, BRAZORIA CO., TEXAS
BY *H. R. Stevens, Jr.*

JUL 16 1976 4 39 71 08 17916 A REC 250

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

General Warranty Deed

Date: September 12, 2018

Grantor: First Baptist Church of Angleton

Grantor's Mailing Address:

237 E. Locust
Angleton, TX 77515

Grantee: Brazoria County, Texas.

Grantee's Mailing Address:

111 E. Locust, Ste. 102A
Angleton, TX 77515

Consideration:

Cash and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

Property (including any improvements):

TRACT 1: Lots 7 through 20, Block 27, Town of Angleton, Brazoria County, Texas, according to the map or plat recorded in Volume 1, page 12 of the Plat Records of Brazoria County, Texas thereof appearing in the office of the a County Clerk of Brazoria County, Texas.

TRACT 2: Being a 20' Alley (0.16 acres), out of Block 27, of Angleton Townsite, in Brazoria County, Texas being out of the same Block 27 of Angleton Townsite recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas and being more fully described by metes and bounds in Exhibit "A" attached here to and made a part hereof. (Bearings based on a South line of Block 27 - being West.)

Reservations from Conveyance:

None

FILED BY
ALAMO TITLE COMPANY
81-Atch18077435

Exceptions to Conveyance and Warranty:

Validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing instruments, other than conveyances of the surface fee estate, that affect the Property; and taxes for 2018, which Grantee assumes and agrees to pay, and subsequent assessments for that and prior years due to change in land usage, ownership, or both, the payment of which Grantee assumes.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural.

First Baptist Church of Angleton,

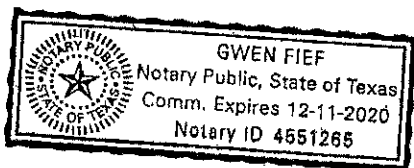
BY: Waldene Shuman
Waldene Shuman, Trustee

BY: Katherine Schultz
Katherine Schultz, Trustee

STATE OF TEXAS)

COUNTY OF BRAZORIA)

This instrument was acknowledged before me on September 12, 2018, by Waldene Shuman and Katherine Schultz, Trustees of First Baptist Church of Angleton.



Gwen Fief
Notary Public, State of Texas
My commission expires: _____

AFTER RECORDING RETURN TO:

Brazoria County, Texas.
111 E. Locust, Ste. 102A
Angleton, TX 77515

EXHIBIT "A"**TRACT II:**

Being a 20' Alley (0.16 acres), out of Block 27, of Angleton Townsite, in Brazoria County, Texas being out of the same Block 27 of Angleton Townsite recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas and being more fully described by metes and bounds as follows: (Bearings based on a South line of Block 27 - being West.)

BEGINNING at a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the South right-of-way line of the 20' Alley in Block 27 with the East right-of-way line of Chenango Street (aka North Chenango Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Northwest corner of Lot 11, Block 27 and the Southwest corner and **TRUE PLACE OF BEGINNING** of the herein described tract, said iron rod bears North - 140.00 feet from a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" 1/2" at the intersection of the East R.O.W. line of Chenango Street with the North right-of-way line of Locust Street (aka West Locust Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Southwest corner of Lot 11, Block 27;

THENCE North - 20.00 feet along the East R.O.W. line of Chenango Street to a 1/2" iron rod set marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the West R.O.W. line of Chenango Street with the North R.O.W. line of line of the 20' Alley for the Southwest corner of Lot 1, Block 27 and the Northwest corner of the herein described tract

THENCE East - 350.00 feet along the South line of Lots 1 through 10 same being the North line of the 20' Alley to a 1/2" iron rod set marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the North R.O.W. line of the 20' Alley with the West right-of-way line of Arcola Street (aka North Arcola Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Southeast corner of Lot 10, Block 27 and the Northeast corner and the herein described tract;

THENCE South - 20.00 feet along the West R.O.W. line of Arcola Street to a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the West R.O.W. line of Arcola Street with the South R.O.W. line of the 20' Alley for the Northeast corner of Lot 20, Block 27 and the Southeast corner of the herein described tract;

THENCE West - 350.00 feet along the North line of Lots 11 through 20 same being the South R.O.W. line of the 20' Alley to the **PLACE OF BEGINNING** and containing 0.16 acres of land, more or less.

NOTE: This Company does not represent that the above acreage or square footage calculations are correct.

FILED and RECORDED

Instrument Number: 2018047374

Filing and Recording Date: 09/13/2018 11:36:28 AM Pages: 5 Recording Fee: \$38.00

I hereby certify that this instrument was FILED on the date and time stamped hereon and RECORDED in the OFFICIAL PUBLIC RECORDS of Brazoria County, Texas.



A handwritten signature in cursive script, appearing to read "Joyce Hudman".

Joyce Hudman, County Clerk
Brazoria County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

DO NOT DESTROY - Warning, this document is part of the Official Public Record.

cclerk-regina

Quitclaim

Notice of confidentiality rights: If you are a natural person, you may remove or strike any or all of the following information from any instrument that transfers an interest in real property before it is filed for record in the public records: your Social Security number or your driver's license number.

Date: 8/28, 2018

Grantor: **City of Angleton**, a political subdivision of the State of Texas

Grantor's Mailing Address: 121 S. Velasco, Angleton, Brazoria County, Texas

Grantee: **The First Baptist Church of Angleton**, a non-profit Texas corporation

Grantee's Mailing Address: 237 E. Locust Street, Angleton, Brazoria County, Texas

Consideration: \$10.00 and other good and valuable consideration

The First Baptist Church of Angleton (the "Church") began occupying the property described below (the "Property") in 1911. The Church owns improvements and structures within and across said Property. The City of Angleton is not utilizing the Property as an alleyway.

This conveyance is subject to the continued use by the public utility or common carrier of utility infrastructure located on the Property and in existence prior to the date of this conveyance.

Property (including any improvements):

Being a 20' Alley (0.16 acres), out of Block 27, Angleton Townsite, in Brazoria County, Texas being out of the same Block 27 of Angleton Townsite recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas and being more fully described in Exhibit "A", attached hereto and incorporated by reference.

For the Consideration, Grantor quitclaims to Grantee all of Grantor's right, title, and interest in and to the Property, to have and to hold to Grantee and Grantee's successors and assigns forever. Neither Grantor nor Grantor's successors, or assigns will have, claim, or demand any right or title to the Property or any part of it.

When the context requires, singular nouns and pronouns include the plural.

RECORDER'S MEMORANDUM:

At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon, or photo-copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

EXECUTED as of the 28th day of August, 2018.

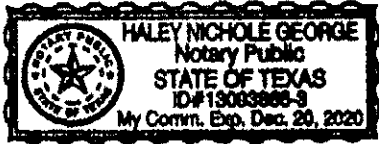
GRANTOR:

CITY OF ANGLETON, a body politic

By: Scott E. Albert
Name: Scott Albert
Title: City Manager

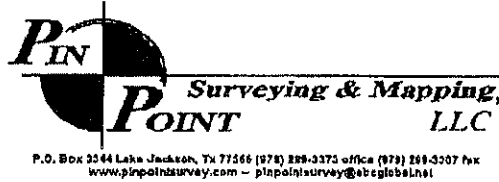
THE STATE OF TEXAS §
 §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on this 28 day of August, 2018, by Scott Albert, the City Manager of the City of Angleton, a body politic, on behalf of said City.



Haley George
Notary Public in and for the State of Texas

Return To:
Randy Anderson
121 S Velasco St.
Angleton, TX
77515

EXHIBIT A

20' Alley (0.16 Acres)
Of Block 27, Angleton Townsite
Brazoria County, Texas

Being a 20' Alley (0.16 acres), out of Block 27, of Angleton Townsite, in Brazoria County, Texas being out of the same Block 27 of Angleton Townsite recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas and being more fully described by metes and bounds as follows: (Bearings based on a South line of Block 27 - being West.)

BEGINNING at a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the South right-of-way line of the 20' Alley in Block 27 with the East right-of-way line of Chenango Street (aka North Chenango Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Northwest corner of Lot 11, Block 27 and the Southwest corner and **TRUE PLACE OF BEGINNING** of the herein described tract, said iron rod bears North - 140.00 feet from a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" 1/2" at the intersection of the East R.O.W. line of Chenango Street with the North right-of-way line of Locust Street (aka West Locust Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Southwest corner of Lot 11, Block 27;

THENCE North - 20.00 feet along the East R.O.W. line of Chenango Street to a 1/2" iron rod set marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the West R.O.W. line of Chenango Street with the North R.O.W. line of line of the 20' Alley for the Southwest corner of Lot 1, Block 27 and the Northwest corner of the herein described tract;

THENCE East - 350.00 feet along the South line of Lots 1 through 10 same being the North line of the 20' Alley to a 1/2" iron rod set marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the North R.O.W. line of the 20' Alley with the West right-of-way line of Arcola Street (aka North Arcola Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Southeast corner of Lot 10, Block 27 and the Northeast corner and the herein described tract;

THENCE South - 20.00 feet along the West R.O.W. line of Arcola Street to a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the West R.O.W. line of Arcola Street with the South R.O.W. line of the 20' Alley for the Northeast corner of Lot 20, Block 27 and the Southeast corner of the herein described tract;

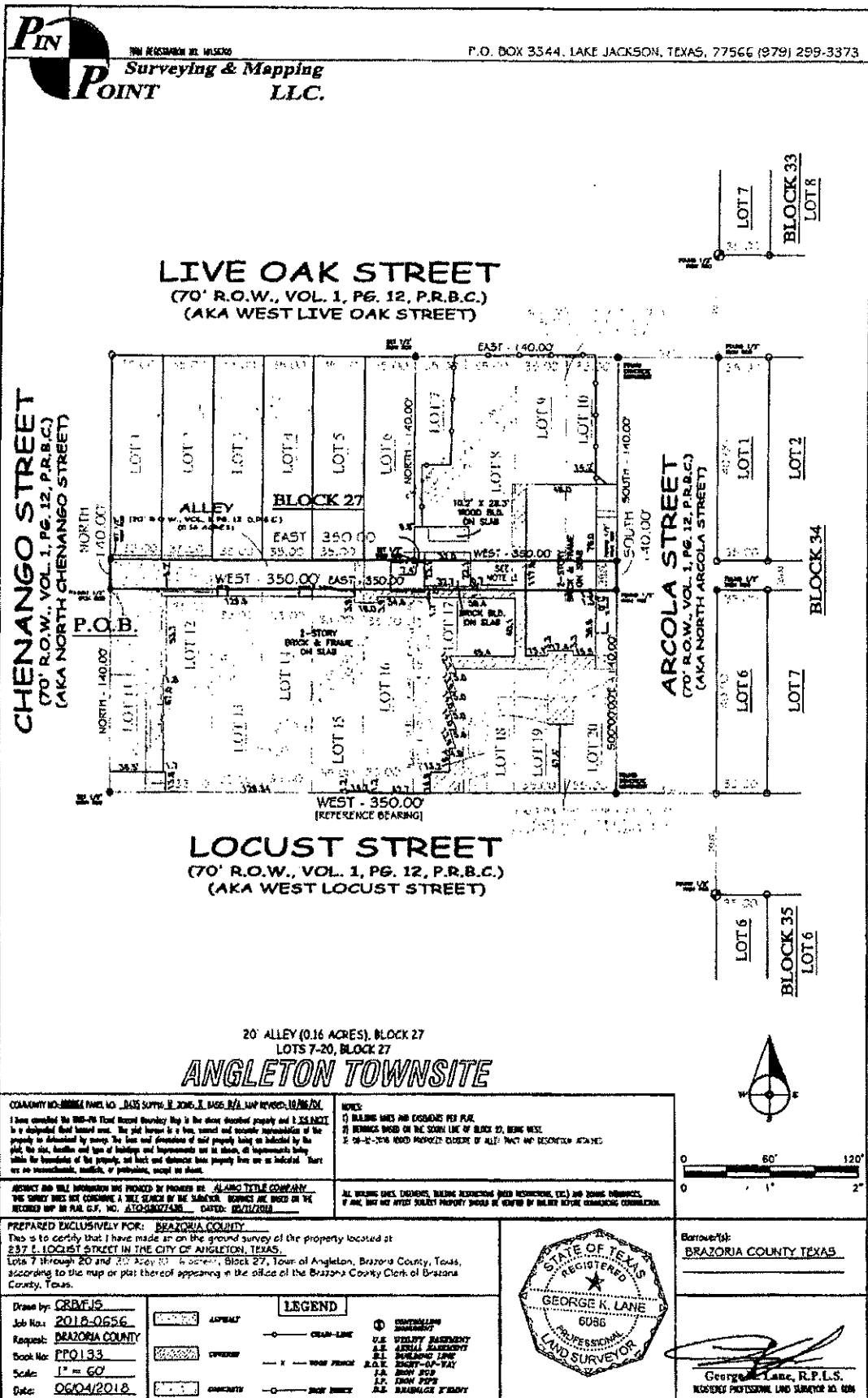
THENCE West - 350.00 feet along the North line of Lots 11 through 20 same being the South R.O.W. line of the 20' Alley to the **PLACE OF BEGINNING** and containing 0.16 acres of land, more or less. *This description is based on an actual survey made on the ground and is accompanied by a plat prepared under the direct supervision of George K. Lane, RPLS No. 6086 on June 4th, 2018.*

George K. Lane, R.P.L.S.
Registered Professional Land Surveyor No. 6086
Firm Registration No. 10156700
P.O. Box 3344 Lake Jackson, TX 77566
(979) 299-3373 - phone
pinpointsurvey@sbcglobal.net -- email



Item 3.

EXHIBIT A

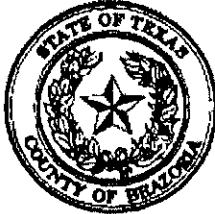


FILED and RECORDED

Instrument Number: 2018045599

Filing and Recording Date: 09/04/2018 01:19:30 PM Pages: 5 Recording Fee: \$0.00

I hereby certify that this instrument was FILED on the date and time stamped hereon and RECORDED in the OFFICIAL PUBLIC RECORDS of Brazoria County, Texas.



A handwritten signature in cursive script, appearing to read "Joyce Hudman".

Joyce Hudman, County Clerk
Brazoria County, Texas

ANY PROVISION CONTAINED IN ANY DOCUMENT WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE REAL PROPERTY DESCRIBED THEREIN BECAUSE OF RACE OR COLOR IS INVALID UNDER FEDERAL LAW AND IS UNENFORCEABLE.

DO NOT DESTROY - Warning, this document is part of the Official Public Record.

cclerk-jessie

GRANT OF EASEMENT

THE STATE OF TEXAS §

COUNTY OF BRAZORIA §

KNOW ALL MEN BY THESE PRESENTS:

That **THE FIRST BAPTIST CHURCH OF ANGLETON** ("Grantor") in consideration of TEN AND NO/100 DOLLARS (\$10.00) and other goods and valuable consideration to Grantor in hand paid by the **CITY OF ANGLETON**, a Texas municipal corporation ("Grantee"), the receipt and sufficiency of which are hereby acknowledged, does hereby GIVE, GRANT, and CONVEY unto Grantee a non-exclusive public utility easement and right to reconstruct, and perpetually maintain utility facilities and all necessary appurtenances thereto (the Facilities") in, on, under, over, and across the following described property:

BEING formerly a 20' alley. 0.16 acres, out of Block 27, Angleton Townsite, in Brazoria County, Texas being out of the same Block 27 of Angleton Townsite recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas and being more fully described in Exhibit "A" attached hereto and incorporated by reference.

The **GRANTEE**, and any assigns, shall have the right of ingress or egress in, across, or over the portion of the property described above for the limited purposes of accessing the Public Utility Easement described in this instrument, to provide maintenance to utilities in the said easement, and any other function as may be required for the provision of utility service in the easement. The **GRANTOR** shall retain the responsibility for the routine day to day maintenance of the surface of the easement.

The **GRANTOR** and its successors and assigns, shall have, and are hereby granted, the right of ingress and egress over and across the property described above being conveyed to the **GRANTEE** as a Public Utility Easement subject to compliance with all applicable development codes of the **GRANTEE**, but otherwise without any additional consent of **GRANTEE**.

This easement is for the benefit of and appurtenant to that land or any portion thereof of the **GRANTOR**, being more particularly described by metes and bounds on **Exhibit "A"**, attached

RECORDER'S MEMORANDUM:

At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon, or photo-copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

hereto and made a part hereof, and shall inure to the benefit of grantees, their legal representatives and assigns.

There is granted and conveyed unto the GRANTEE, and their assigns forever, subject to the conditions and reservations hereinabove, the right and privilege to use the above described easement as a public utility easement to provide utility service to the public.

The GRANTOR stipulates that there are no liens, attachments, or other encumbrances which will affect the title or right of the GRANTOR to convey this easement to the GRANTEE for the purposes described herein. If such a condition does exist, a signature with acknowledgement shall be included and made a part of this document conveying the rights and privileges contained herein and subordinating any such lien or encumbrances to the easement granted herein.

TO HAVE AND TO HOLD the above described Public Utility Easement unto the GRANTEE for the purposes herein set forth, GRANTOR hereby binds itself and the GRANTOR'S heirs, executors, administrators, successors, and assigns to warrant and forever defend the easement and all rights granted herein unto the GRANTEE, and its successors or assigns, against every person or entity whomsoever lawfully claiming or attempting to claim the same or any part thereof.

WITNESS THE GRANTOR'S HAND this 28th day of Aug., 2018.

EXECUTED this 29 day of August, 2018.

PROPERTY OWNER:

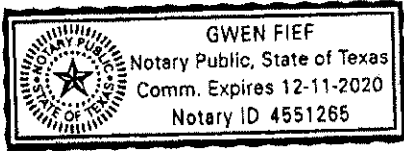
The First Baptist Church of Angleton

By: Waldene Shuman
Trustee, First Baptist Church of Angleton

THE STATE OF TEXAS §

COUNTY OF Orange §

This instrument was acknowledged before me by Waltere Shuman, Trustee, First Baptist Church of Angleton, on this the 29 day of August, 2018, on behalf of by THE FIRST BAPTIST CHURCH OF ANGLETON.



Gwen Fief
Notary Public, State of Texas

CITY OF ANGLETON

By: Jason Perez
Jason Perez, Mayor

THE STATE OF TEXAS §

COUNTY OF BRAZORIA §

This instrument was acknowledged before me by Jason Perez, Mayor, City of Angleton, on this the 28 day of August, 2018, on behalf of the City of Angleton, Texas.



Haley George
Notary Public, State of Texas

EXHIBIT A

P.O. Box 3344 Lake Jackson, Tx 77566 (979) 299-3373 office (979) 299-3307 fax
 www.pinpointsurvey.com -- pinpointsurvey@sbcglobal.net

20' Alley (0.16 Acres)
 Of Block 27, Angleton Townsite
 Brazoria County, Texas

Being a 20' Alley (0.16 acres), out of Block 27, of Angleton Townsite, in Brazoria County, Texas being out of the same Block 27 of Angleton Townsite recorded in Volume 1, Page 12 of the Plat Records of Brazoria County, Texas and being more fully described by metes and bounds as follows: (Bearings based on a South line of Block 27 - being West.)

BEGINNING at a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the South right-of-way line of the 20' Alley in Block 27 with the East right-of-way line of Chenango Street (aka North Chenango Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Northwest corner of Lot 11, Block 27 and the Southwest corner and **TRUE PLACE OF BEGINNING** of the herein described tract, said iron rod bears North - 140.00 feet from a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" 1/2" at the intersection of the East R.O.W. line of Chenango Street with the North right-of-way line of Locust Street (aka West Locust Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Southwest corner of Lot 11, Block 27;

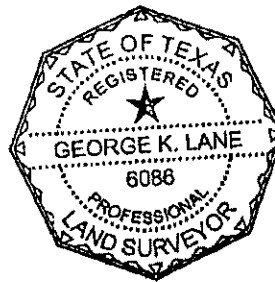
THENCE North - 20.00 feet along the East R.O.W. line of Chenango Street to a 1/2" iron rod set marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the West R.O.W. line of Chenango Street with the North R.O.W. line of line of the 20' Alley for the Southwest corner of Lot 1, Block 27 and the Northwest corner of the herein described tract;

THENCE East - 350.00 feet along the South line of Lots 1 through 10 same being the North line of the 20' Alley to a 1/2" iron rod set marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the North R.O.W. line of the 20' Alley with the West right-of-way line of Arcola Street (aka North Arcola Street, 70' R.O.W., Vol. 1, Pg. 12, P.R.B.C.) for the Southeast corner of Lot 10, Block 27 and the Northeast corner and the herein described tract;

THENCE South - 20.00 feet along the West R.O.W. line of Arcola Street to a 1/2" iron rod found marked with a plastic cap labeled "PINPOINT RPLS 6086" at the intersection of the West R.O.W. line of Arcola Street with the South R.O.W. line of the 20' Alley for the Northeast corner of Lot 20, Block 27 and the Southeast corner of the herein described tract;

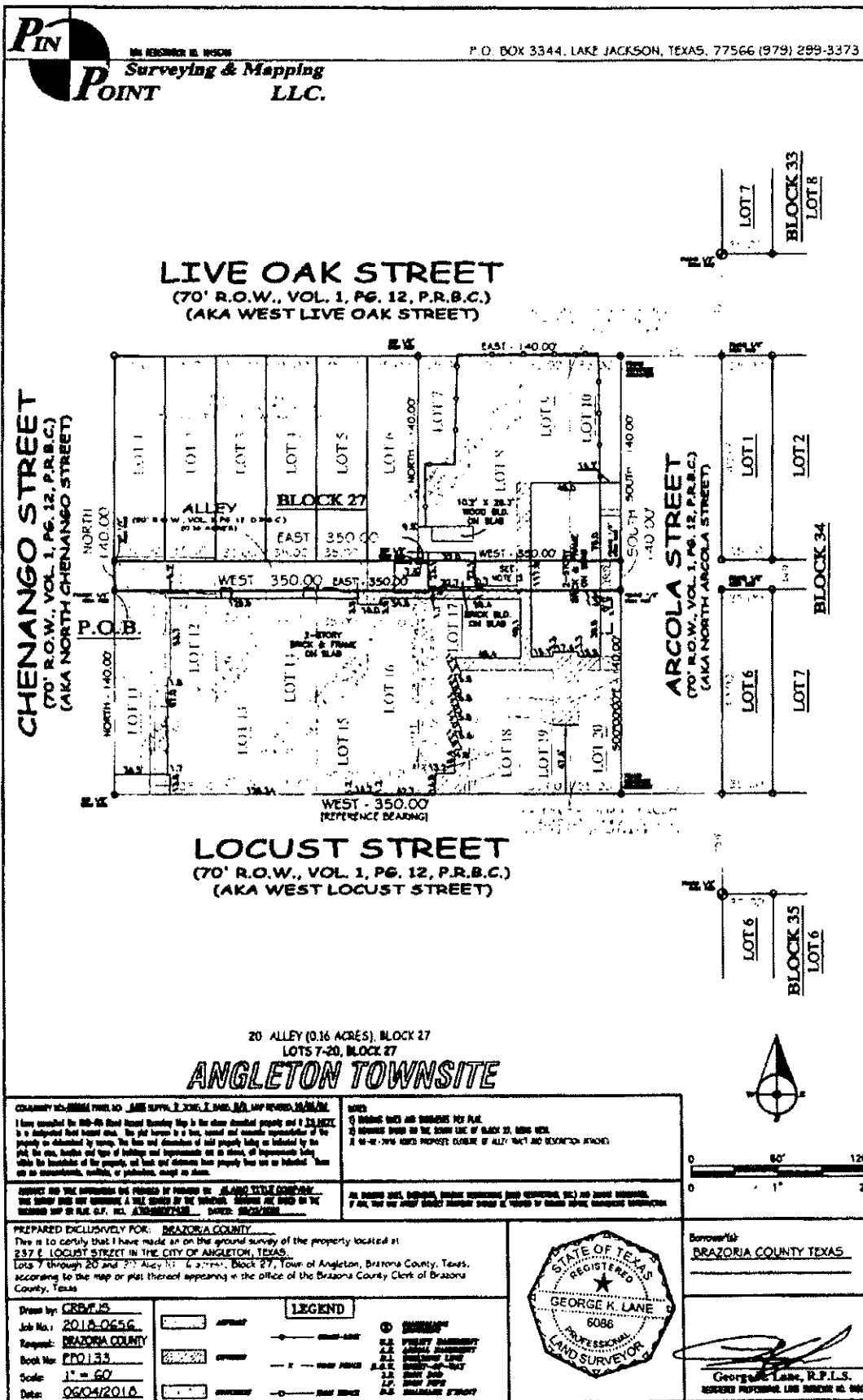
THENCE West - 350.00 feet along the North line of Lots 11 through 20 same being the South R.O.W. line of the 20' Alley to the **PLACE OF BEGINNING** and containing 0.16 acres of land, more or less. *This description is based on an actual survey made on the ground and is accompanied by a plat prepared under the direct supervision of George K. Lane, RPLS No. 6086 on June 4th, 2018.*

George K. Lane, R.P.L.S.
 Registered Professional Land Surveyor No. 6086
 Firm Registration No. 10156700
 P.O. Box 3344 Lake Jackson, TX 77566
 (979) 299-3373 - phone
 pinpointsurvey@sbcglobal.net -- email



Item 3.

EXHIBIT A



FILED and RECORDED

Instrument Number: 2018045600

Filing and Recording Date: 09/04/2018 01:19:30 PM Pages: 6 Recording Fee: \$0.00

I hereby certify that this instrument was FILED on the date and time stamped hereon and RECORDED in the OFFICIAL PUBLIC RECORDS of Brazoria County, Texas.



A handwritten signature in black ink, appearing to read "Joyce Hudman".

Joyce Hudman, County Clerk
Brazoria County, Texas

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DO NOT DESTROY - Warning, this document is part of the Official Public Record.

cclerk-jessie



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Lindsay Koskiniemi, CPM, CGFO, Asst. Director of Development Services

AGENDA CONTENT: Conduct a public hearing, discussion, and possible action in a request to rezone an approximate 20.00 acres from the Commercial-General (C-G) District to the Single Family 6.3 (SF-6.3) District. The subject property is located north of Bastrop Street and east of Angleton Blvd.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: N/A **FUNDS REQUESTED:** N/A

FUND: N/A

EXECUTIVE SUMMARY:

This is a request from Phillip D. Sherbrook represented by Beacon Land Services, LLC. to rezone approximately twenty (20.00) acres of land situated to the east of Angleton Blvd and north of Bastrop Street from the Commercial-General (C-G) zoning district to the Single Family 6.3 (SF-6.3) zoning district. The property owner wishes to rezone the property in order to allow for development and construction of homes.

The Future Land Use Plan from the Angleton Comprehensive Plan Update designates the subject property as being appropriate for single family residential use, therefore, the proposed rezoning is consistent with the Future Land Use Plan. The proposed rezoning is supported by Goal 1 of Chapter 3 Land Use as well as Goal 2 of Chapter 8 Housing of the Comprehensive Plan.

Chapter 3 – Land Use

Goals One: High quality development that promotes sensible growth patterns and respects the small-town atmosphere and image of the community.

Chapter 8 – Housing

Goal Two: A variety of housing options that meets the needs of an increasingly diverse population.

Existing Land Use and Zoning

North: Undeveloped land in the Commercial-General district.

East: Undeveloped land in the Single Family 7.2 (SF-7.2) district.

South: Bastrop Street consisting of homes in the Single Family 7.2 (SF-7.2) district.

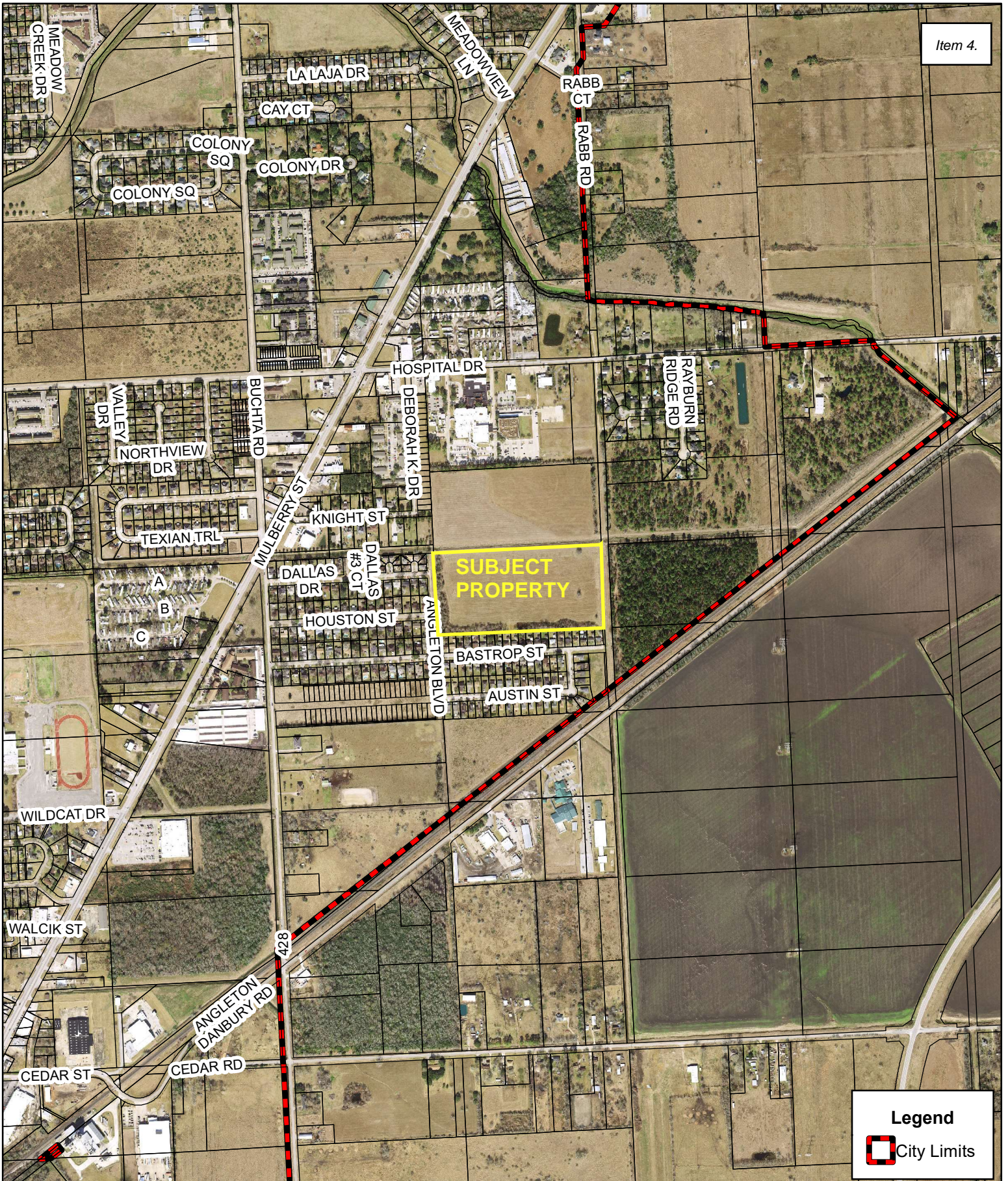
West: Dallas Drive, Houston Street, and Bastrop Street consisting of homes in the Single Family 7.2 (SF-7.2) district.

Angleton Boulevard borders the subject property to the west and is not designated in the Mobility Plan of the City's Comprehensive Plan Update as a throughfare or collector roadway. Because the property is not yet developed, the roadways have not yet been constructed, however, to the east of the proposed subdivision is a future roadway to be designated as a minor collector.

The proposed rezoning is consistent with the Future Land Use Plan, is supported by several goals of the Comprehensive Plan, is consistent with existing land use in the area, and is consistent with the Mobility Plan.

RECOMMENDATION:

Staff recommends approval of the rezoning from the (C-G) Commercial-General District to the (SF-6.3) Single Family 6.3 District.



Legend

 City Limits

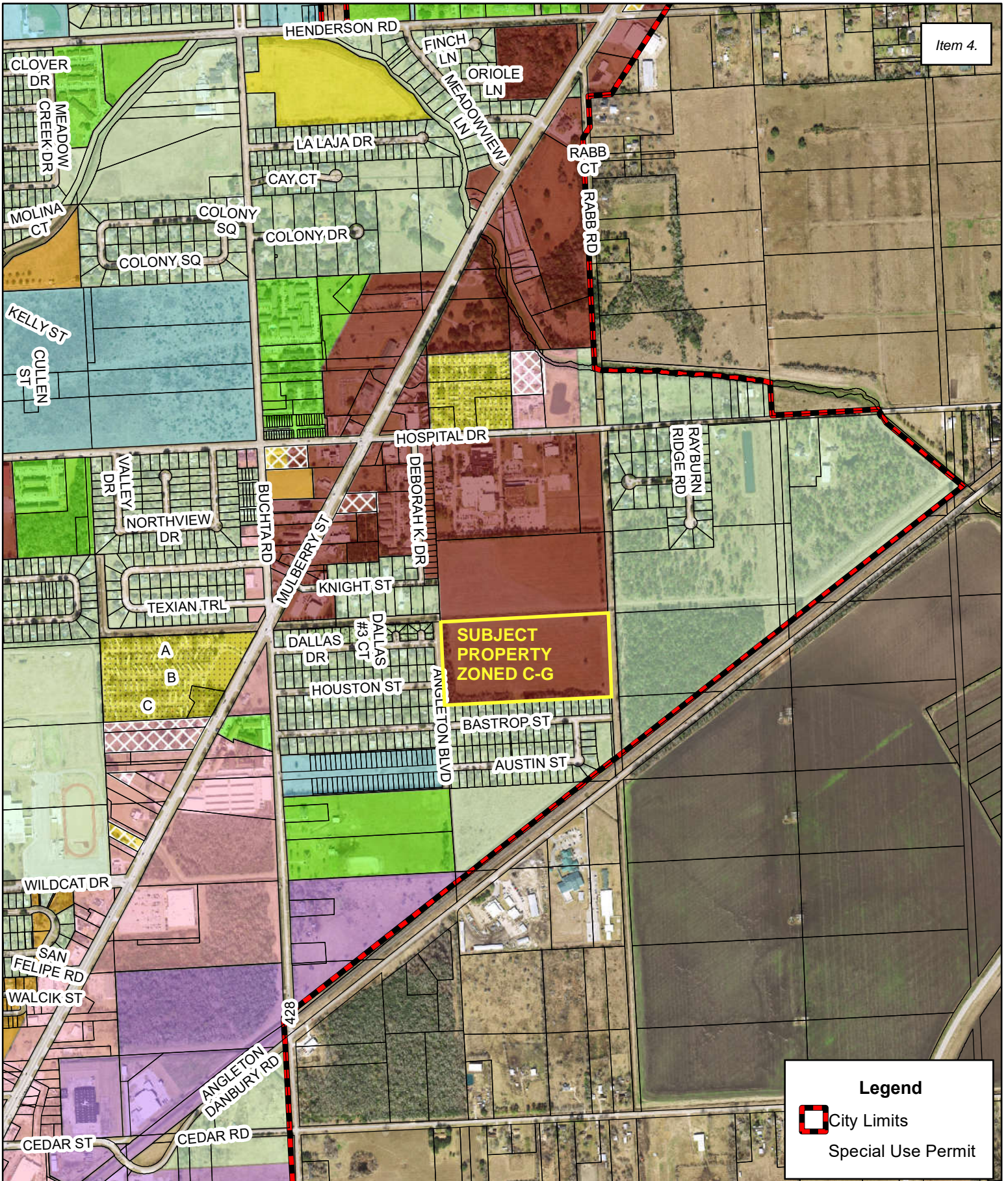
Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.



Operated by:
 City of Angleton
 121 S. Velasco St.
 Angleton, TX 77515
 979-849-4364

City of Angleton GIS Mapping

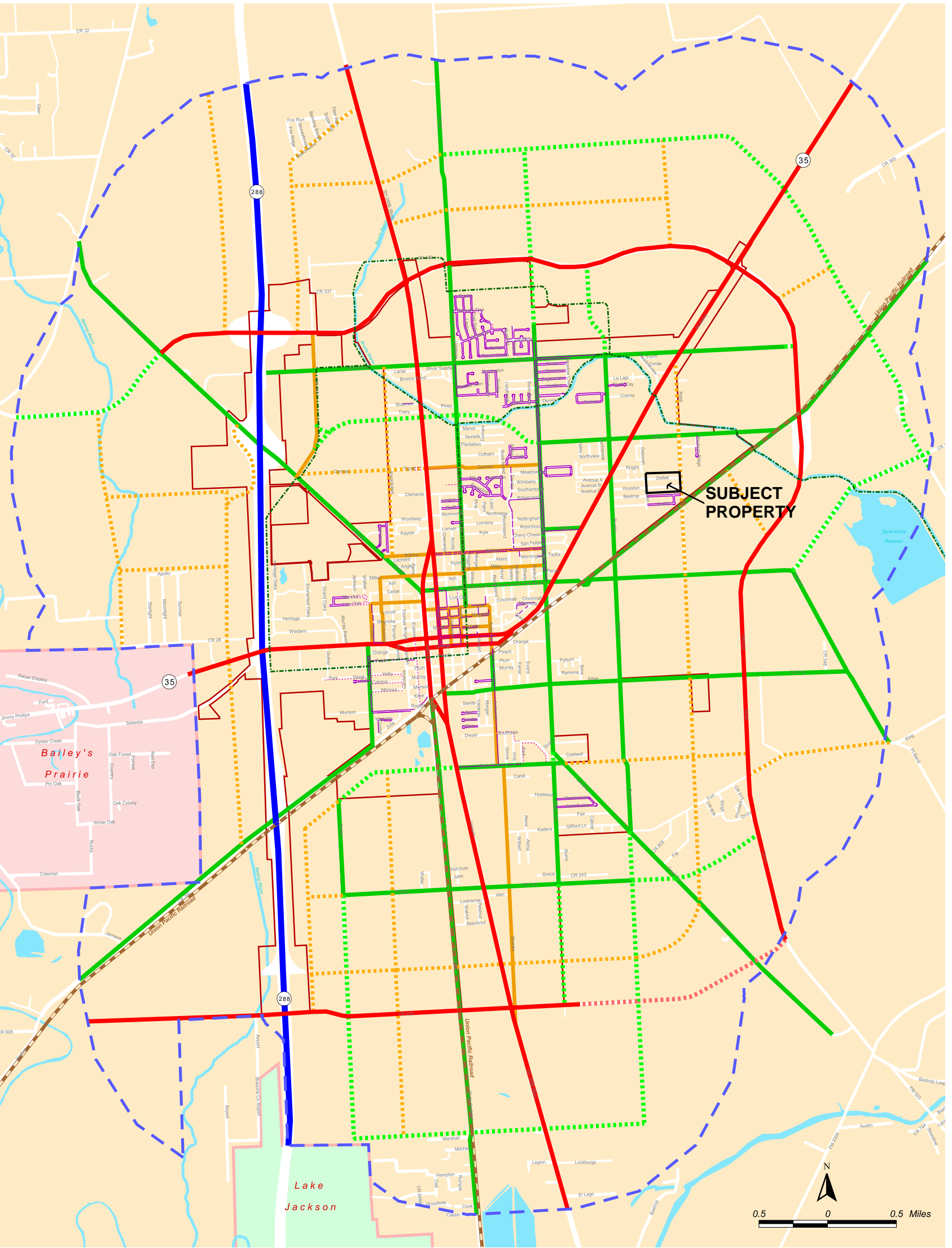
1" = 988'



Legend

- City Limits
- Special Use Permit














Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.

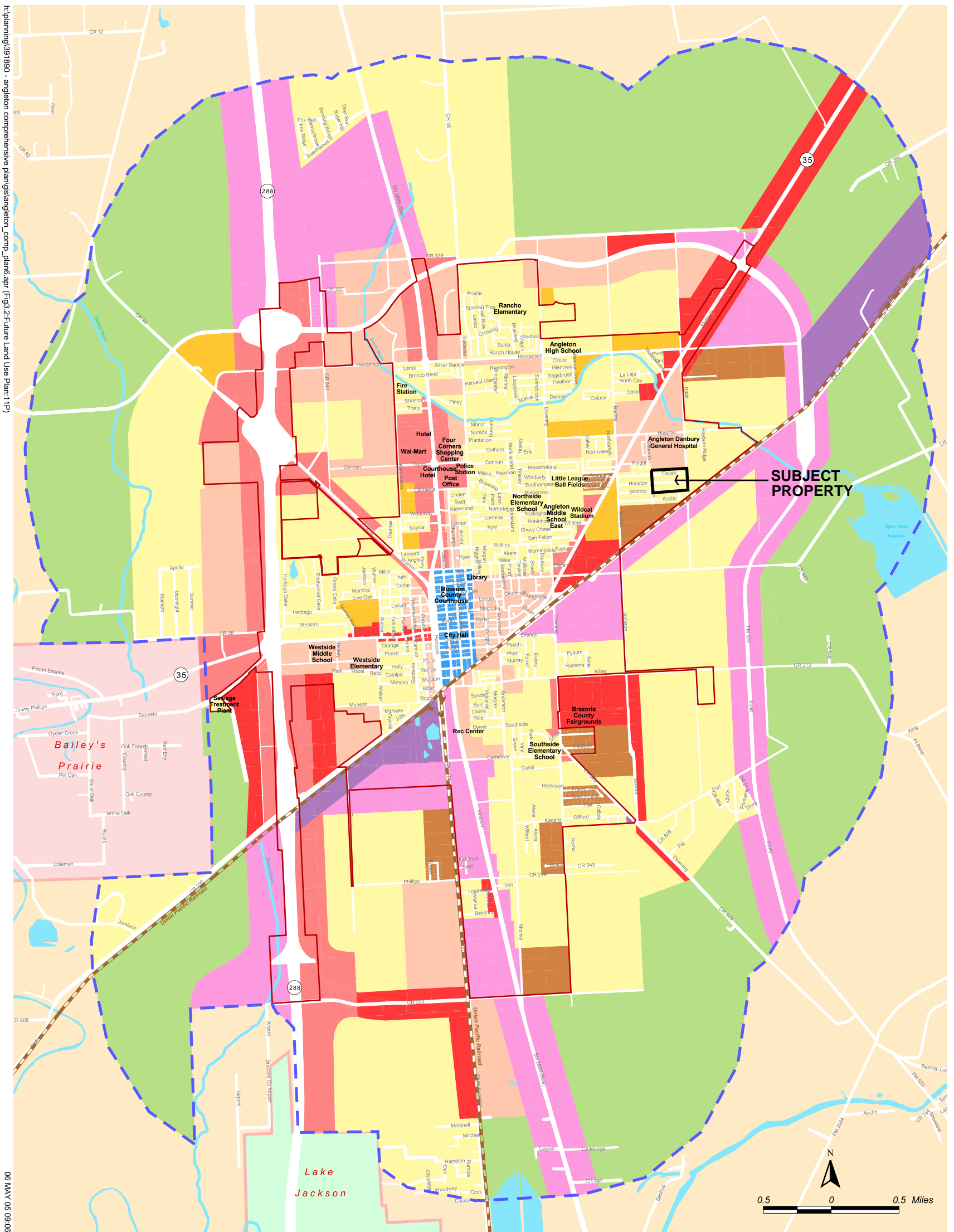


h:\planning\391890 - angleton comprehensive plan\angleton_comp_plan7.apr (Fig4.1:Mobility Plan:11P)

05 JAN 05 11:37

Figure 4.1
Mobility Plan

- | | |
|--|--|
|  Existing Freeway |  Rail |
|  Existing Arterial |  Existing Sidewalk |
|  Existing Major Collector |  Proposed Sidewalk |
|  Existing Minor Collector |  Proposed Trail |
|  Proposed Arterial |  Angleton Study Area |
|  Proposed Major Collector |  Angleton City Limits |
|  Proposed Minor Collector | |



h:\planning\391890 - angleton comprehensive plan\angleton_comp_plans\app (Fig3.2\Future Land Use Plan.1)P

06 MAY 05 09:06

Figure 3.2
Future Land Use Plan

- | | |
|--|-----------------------|
| Agricultural | Industrial/Commercial |
| Single Family Residential | Industrial |
| Multi-Family Residential | Downtown |
| Manufactured Housing | Right Of Way |
| Office/Retail/Multi-Family Residential | Angleton Study Area |
| Office/Retail | Angleton City Limits |
| Commercial | |

NOTE: A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



ORDINANCE NO. 20210805-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS REZONING APPROXIMATELY 20.00 ACRES FROM ARTICLE III ZONING DISTRICTS SECTION 28-57 C-G - COMMERCIAL-GENERAL DISTRICT TO ARTICLE III ZONING DISTRICTS SECTION 28-46 SF-6.3 – SINGLE-FAMILY RESIDENTIAL - 6.3 DISTRICT OF THE CODE OF ORDINANCES OF THE CITY OF ANGLETON, TEXAS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY; AND PROVIDING FOR REPEAL AND AN EFFECTIVE DATE.

WHEREAS, the City is authorized by Chapter 211 of the Texas Local Government Code to promulgate rules and regulations governing regulation of land use, structures, businesses, and related activities; and

WHEREAS, the City Council further finds that the rules and regulations governing land use, structures, and related activities within the territorial limits of the City promote the safe, orderly, and healthful development of the City; and

WHEREAS, on August 5, 2021 the Angleton Planning and Zoning Commission conducted a public hearing regarding a request by Phillip D. Sherbrook, represented by Beacon Land Services, LLC., to rezone approximately 20.00 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single-Family Residential-6.3 District of the Code of Ordinances City of Angleton, Texas following lawful publication of the notice of said public hearing; and

WHEREAS, on August 5, 2021 after considering the public testimony received at such hearing, if any, the Planning and Zoning Commission has recommended that the request by Phillip D. Sherbrook, represented by Beacon Land Services, LLC., to rezone approximately 20.00 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single-Family Residential-6.3 District be approved; and

WHEREAS, on August 24, 2021 the City Council of the City of Angleton conducted a public hearing regarding a request by Phillip D. Sherbrook, represented by Beacon Land Services, LLC., to rezone approximately 20.00 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single-Family Residential-6.3 District of the Code of Ordinances City of Angleton, Texas; and

WHEREAS, on August 24, 2021 the City Council of the City of Angleton, Texas approved the request by Phillip D. Sherbrook, represented by Beacon Land Services, LLC., to rezone approximately 20.00 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single-Family Residential-6.3 District of the Code of Ordinances City of Angleton, Texas; and

WHEREAS, each and every applicable requirement set forth in Chapter 211, Subchapter A, Texas Local Government Code and the Code of Ordinance of the City of Angleton, Texas, concerning public notices, hearings and other procedural matters have been fully met; and

WHEREAS, the City Council desires to rezone approximately 20.00 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single-Family Residential-6.3 District of the Code of Ordinances, City of Angleton, Texas;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANGLETON, TEXAS;

SECTION 1. All of the facts recited in the preamble to this Ordinance are hereby found by the City Council to be true and correct and are incorporated herein by this reference and expressly made a part hereof as if copied herein verbatim.

SECTION 2. The request by Phillip D. Sherbrook, represented by Beacon Land Services, LLC., to rezone approximately 20.00 acres from Article III Zoning Districts Section 28-57 C-G – Commercial General District to the Article III Zoning Districts Section 28-46 SF-6.3 – Single-Family Residential-6.3 District of the Code of Ordinances, City of Angleton, Texas be approved.

SECTION 3. Any person who violates or causes, allows, or permits another to violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof, shall be punished by a fine of not more than Two Thousand and No/100 Dollars (\$2,000.00). Each occurrence of any such violation of this Ordinance shall constitute a separate offense. Each day on which any such violation of the Ordinance occurs shall constitute a separate offense.

SECTION 4. All ordinances or parts of ordinances inconsistent with the terms of this ordinance are hereby repealed; provided, however, that such repeal shall be only to the extent of such inconsistency and in all other respects this ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered by this ordinance.

SECTION 5. In the event any clause, phrase provision, sentence or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Angleton, Texas declares that it would have passed each and every part of the same notwithstanding the omission of any part thus declared to be invalid or unconstitutional, or whether there be on or more parts.

SECTION 6. This ordinance shall be effective and in full force immediately upon its adoption.

SECTION 7. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapter 52 of the Texas Local Government Code

PASSED AND APPROVED THIS THE 24TH DAY OF AUGUST 2021.

CITY OF ANGLETON, TEXAS

Jason Perez
Mayor

ATTEST:

Frances Aguilar, TRMC, CMC
City Secretary

EXHIBIT A



DESCRIPTION OF 20.000 ACRES OR 871,200 SQ. FT.

A TRACT OR PARCEL CONTAINING 20.000 ACRES OR 871.200 SQUARE FEET OF LAND SITUATED IN THE ISAAC TINSLEY SURVEY, ABSTRACT NO. 375, BRAZORIA COUNTY, TEXAS, AND BEING ALL OF LOT 51 OF THE I.T. TINSLEY SURVEY SUBDIVISION AS RECORDED IN VOLUME 29, PAGE 75 OF THE BRAZORIA COUNTY, DEED RECORDS, BEING ALL OF LOTS 1 THROUGH 18, BLOCK 6, ALL OF LOTS 1 THROUGH 36, BLOCK 7 AND ALL OF LOTS 1-18, BLOCK 8 OF ANGLETON COUNTRY ESTATES AS RECORDED IN VOLUME 11, PAGE 48 OF THE BRAZORIA COUNTY PLAT RECORDS AS CONVEYED TO PHILLIP D. SHERBROOK AND KARL M. WRIGHT AS RECORDED IN DOCUMENT NO. 2004020687 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83):

BEGINNING AT A 5/8 INCH IRON ROD WITH CAP FOUND ON THE EAST RIGHT-OF-WAY LINE OF ANGLETON BOULEVARD (60' WIDE RIGHT-OF-WAY) AS RECORDED IN VOLUME 11, PAGE 48 OF THE BRAZORIA COUNTY PLAT RECORDS, THE SOUTHWEST CORNER OF A CALLED 20.018 ACRE TRACT OF LAND CONVEYED TO ANGLETON-DANBURY HOSPITAL DISTRICT AS RECORDED IN DOCUMENT NO. 2006004367 OF THE OFFICIAL PUBLIC RECORDS OF BRAZORIA COUNTY, TEXAS, THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 6 OF SAID ANGLETON COUNTRY ESTATES AND THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 87 DEG. 05 MIN. 53 SEC. EAST, ALONG THE SOUTHERLY LINE OF SAID 20.018 ACRE TRACT, A DISTANCE OF 1,320.00 FEET TO THE SOUTHEAST CORNER OF SAID 20.018 ACRE TRACT, BEING ON THE WEST RIGHT-OF-WAY LINE OF AN UNIMPROVED 60 FOOT WIDE COUNTY ROAD, RECORDED IN VOLUME 29, PAGE 75 OF THE BRAZORIA COUNTY PLAT RECORDS, FROM SAID POINT A 5/8 INCH IRON ROD WITH CAP FOUND BEARS NORTH 01 DEG. 21 MIN. 41 SEC. EAST, A DISTANCE OF 0.82 FEET;

THENCE, SOUTH 02 DEG. 55 MIN. 09 SEC. EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID UNIMPROVED RIGHT-OF-WAY, A DISTANCE OF 660.00 FEET TO THE NORTHEAST CORNER OF A 15 FOOT WIDE DRAINAGE EASEMENT AS SHOWN IN ANGLETON COUNTRY ESTATES SECTION 2, RECORDED IN VOLUME 15, PAGE 367 OF THE BRAZORIA COUNTY PLAT RECORDS;

THENCE, SOUTH 87 DEG. 05 MIN. 53 SEC. WEST, ALONG THE NORTH LINE OF SAID ANGLETON COUNTRY ESTATES SECTION 2, PASSING AT A DISTANCE OF 14.71 FEET, A 5/8 INCH IRON ROD WITH CAP STAMPED "RPK LAND SERVICES" SET FOR THE NORTHEAST CORNER OF LOT 21, BLOCK 1, OF SAID ANGLETON COUNTRY ESTATES SECTION 2, PASSING AT A DISTANCE OF 1,304.70 FEET, A 1/2 INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF LOT 1, BLOCK 1 OF SAID ANGLETON COUNTRY ESTATES SECTION 2, AND CONTINUING IN ALL A TOTAL DISTANCE OF 1,320.00 FEET TO A 5/8 INCH IRON ROD WITH CAP STAMPED "RPK LAND SERVICES" SET OF THE EAST RIGHT-OF-WAY LINE OF SAID ANGLETON BOULEVARD;

THENCE, NORTH 02 DEG. 55 MIN. 09 SEC. WEST, ALONG THE EAST RIGHT-OF-WAY LINE OF SAID ANGLETON BOULEVARD, A DISTANCE OF 660.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 20.000 ACRES OR 871,200 SQUARE FEET OF LAND.



RONALD PATRICK KELL
R.P.L.S. NO. 6424
STATE OF TEXAS
FRM REGISTRATION NO. 10194414

6/02/2021
DATE:



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Walter E. Reeves Jr., AICP, Development Services

AGENDA CONTENT: Conduct a public hearing, discussion, and possible action on a request for approval of the Lot 16 Cannan Heights Subdivision Replat with a variance of Section 23.11.C.2 prohibiting new residential lots fronting on arterial streets. The subject property is a replat of Lots 16 Cannan Heights Subdivision and consists of an approximate 1.00 acres in the Single Family Residential 7.2 (SF-7.2) District. The subject property is located on the southwest corner of Piney Way and Valderas Street.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: None

FUNDS REQUESTED: None

FUND: None

EXECUTIVE SUMMARY:

The subject property consists of an approximate 1.00-acre lot in the SF-7.2 zoning district which is proposed to be subdivided into two lots. Proposed Lot 16-A will consist of 0.348 acres and will be the location of the existing house on the property. Lot 16-B will consist of 0.654 acres and will front on Valderas Street (CR 48) which has 60 ft. of right-of-way. There is an existing driveway apron from the subject property to Valderas Street which lines up with the westbound side of the entrance to the Greystone Subdivision. Finally, there are numerous existing single-family residential lots on both sides of the street taking direct access to Valderas Street along its length.

Valderas Street is designated on the Mobility Plan as a Major Collector and pursuant to Section 23-11.C.2.a: "New residential lots shall only front on local and minor collector streets, and shall not front on major collector or arterial streets, or highways." ;. Habitat for Humanity is requesting a variance of Section 23-14.A. Sidewalks for the subject property.

Pursuant to Section 23-102 B. *Variance approval standards:* Variances may be granted when:

1. There are circumstances specific to the property that create an undue hardship that generally do not apply to surrounding properties; such as, but not limited to, its shape, or topography;

The existing lot is large enough to subdivide and meet the minimum requirements of the zoning district. Section 23-11.C.2.a would prevent subdivision of the property as the proposed new lot will take access to a major collector level street. There is no practical way to divide the property such that the new lot could take access from Piney Way. The hardship in this circumstance is the existing shape of the lot (long north/south) and the existing development on the property.

2. Special consideration is necessary to allow an applicant the same right of use enjoyed under the LDC by surrounding properties;

There are numerous existing single family residential lots taking access to Valderas Street. Valderas Street is constructed to Major Collector standards (one northbound lane, one southbound lane with a center turn lane) in this area which includes some existing single family lots having direct access to the street. Special consideration is necessary to allow the property owner the ability to subdivide the lot.

3. Consideration is unique to the subject property and would not generally set an adverse precedent for other applications;

The consideration is unique to the subject property. A variance would not generally set an adverse precedent for other applications.

4. The hardship was not created by the applicant; and

The hardship is not created by the applicant.

5. A variance would not be detrimental to any adjacent properties or to public health and safety.

It is hard to imagine how a variance would be detrimental to any adjacent properties or to public health and safety.

Finally, there will need to be corrections to the plat document itself (P&Z and Council signature blocks).

RECOMMENDATION:

Staff recommends approval of the variance to Section 23-11.C.2.a and approval of the proposed Lot 16 Cannan Heights Subdivision Replat subject to the condition that all corrections are made prior to recording.

SUGGESTED MOTION:

I move we recommend approval of the variance to Section 23-11.C.2.a and approval of the proposed Lot 16 Cannan Heights Subdivision Replat subject to the condition that all corrections are made prior to recording.

ANGLTON DRAINAGE DISTRICT

ACCEPTED THIS _____ DAY OF _____, 20____ BY THE ANGLTON DRAINAGE DISTRICT.

THE BOARD OF SUPERVISORS OF THE ANGLTON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLTON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLTON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN, THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS _____ BOARD MEMBER _____

BOARD MEMBER _____

DEDICATION STATEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT DOROTHY GENE SCHILLER ESTATE, acting herein by and through its duly authorized SURVIVOR TRUSTEE, GLENN SCHILLER, does hereby adopt this plat designating the hereinabove described property as LOT 16 CANNAN HEIGHTS SUBDIVISION, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

DOROTHY JEAN SCHILLER ESTATE
GLENN SCHILLER

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared GLENN SCHILLER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____, 20____.

Notary Public
State of Texas

APPROVED this _____ day of _____, 20____.

CITY MANAGER _____

CITY SECRETARY _____

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ____ day of _____, 20____, by
FRANCES AGUILAR, City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

KNOW ALL MEN BY THESE PRESENTS:
That I, Devin R. Royal, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision.

SIGNED: _____ DATE _____
DEVIN R. ROYAL REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6667

FIELD NOTES FOR 1.00 ACRE TRACT

Being a tract of land containing 1.00 acres (43,560 square feet), located within J. De J. Valderas Survey, Abstract Number (No.) 380, in Brazoria County, Texas; Said 1.00 acres being all of Lot 16 of Cannan Heights Subdivision, recorded under Volume 7, Page 27 of the Brazoria County Plat Records (B.C.P.R.); Said 1.00 acres being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System of 1983, (NAD83) South Central Zone, per GPS observations):

BEGINNING at a 1/2-inch iron pipe found on the south right-of-way (R.O.W.) line of Piney Way (sixty feet wide, Vol. 7, Pg. 27 B.C.P.R.) at the northeast corner of Lot 15 of said Block 1, for the northwest corner of said Lot 16 and the herein described tract;

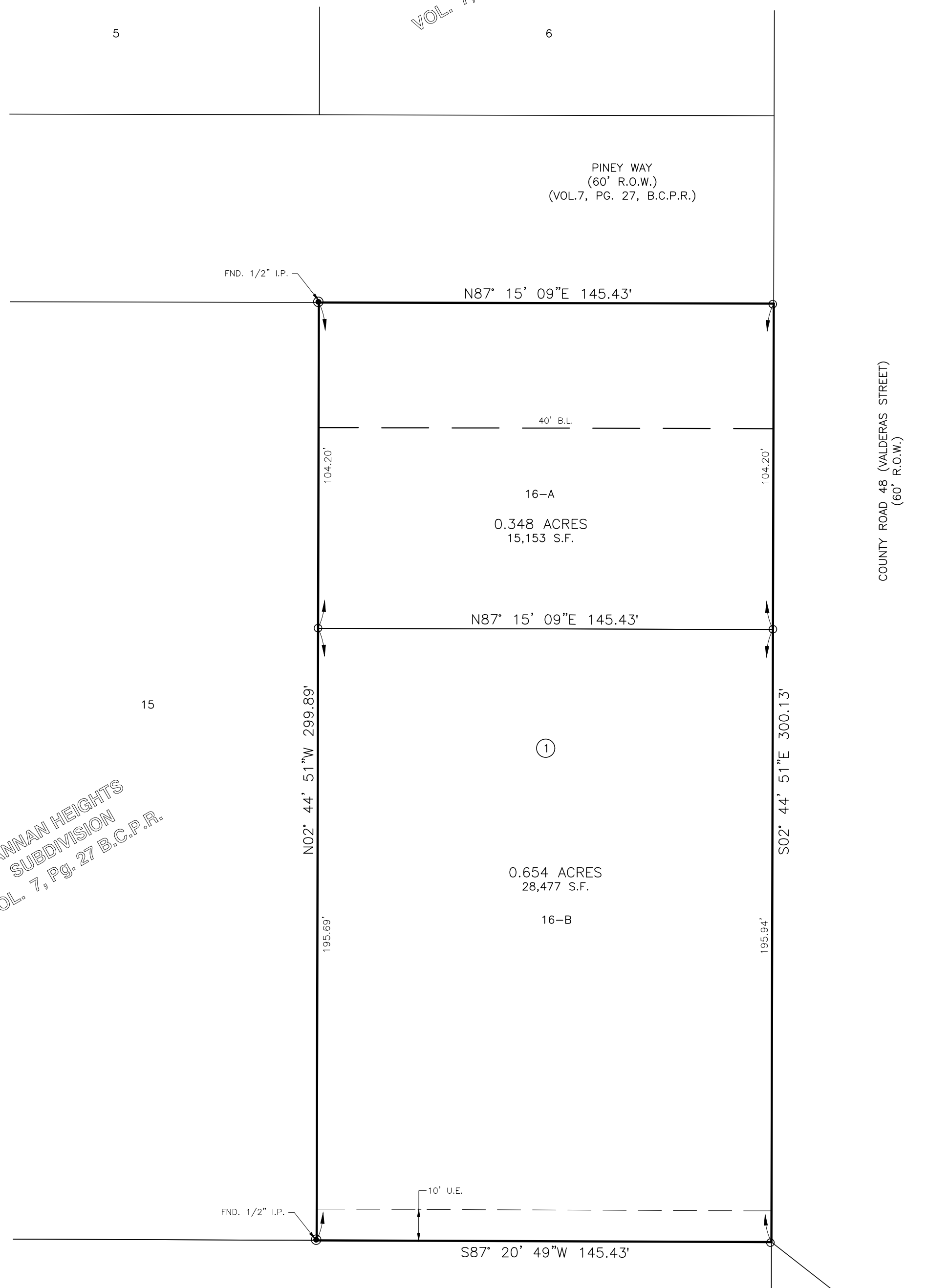
THENCE, with the south R.O.W. line of said Piney Way, North 87 degrees 15 minutes 09 seconds East, a distance of 145.43 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set on the west R.O.W. line of County Road 48 (AKA Valderas Street, sixty feet wide), at the northeast corner of said Lot 16 and the herein described tract;

THENCE, with the west R.O.W. line of County Road 48, South 02 degrees 44 minutes 51 seconds East, a distance of 300.13 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set at the northeast corner of a called 2.673 acre tract recorded in the name of Jonathan R. Jaso and Laura Jaso under B.C.C.F. No. 2019039852, for the southeast corner of said Lot 16 and the herein described tract;

THENCE, with the north line of said 2.673 acre tract, being the south line of said Lot 16, South 87 degrees 20 minutes 49 seconds West, a distance of 145.43 feet to a 1/2-inch iron pipe found at the southeast corner of said Lot 15, for the southwest corner of said Lot 16 and the herein described tract;

THENCE, with the common line of said Lots 15 and 16, North 02 degrees 44 minutes 51 seconds West, a distance of 299.89 feet to the POINT OF BEGINNING of the herein described tract.

CANNAN HEIGHTS SUBDIVISION VOL. 7, PG. 27 B.C.P.R.



CANNAN HEIGHTS SUBDIVISION VOL. 7, PG. 27 B.C.P.R.

CALLED 2.673 ACRES JONATHAN R. JASO AND LAURA JASO B.C.C.F. No. 2019039852

CALLED 38.53 ACRES GREYSTONE ANGLETON, LLC B.C.C.F. No. 2020039025

J.D.J. VALDERAS SURVEY A-380

T.S. LEE SURVEY A-318
I.T. TINSLEY SURVEY A-375

LEGEND

- A.D.D. = ANGLTON DRAINAGE DISTRICT
- B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
- B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
- B.C.P.R. = BRAZORIA COUNTY PLAT RECORDS
- B.L. = BUILDING LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- BM = BENCHMARK
- D.D.E. = DRAINAGE AND DETENTION EASEMENT
- G.B.L. = GARAGE BUILDING LINE
- FND = FOUND
- I.R. = IRON ROD
- I.P. = IRON PIPE
- P.O.B. = POINT OF BEGINNING
- R.O.W. = RIGHT-OF-WAY
- STM.S.E. = STORM SEWER EASEMENT
- VOL., Pg. = VOLUME, PAGE

SYMBOLS

- = SET 5/8" I.R. W/CAP "BAKER & LAWSON"
- = FOUND MONUMENT (AS NOTED)
- ⊕ = (TBM) TEMPORARY BENCHMARK

NOTES:

1. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
2. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0435K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES FULLY WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1171)
A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428.
ELEVATION = 26.31 FEET NGVD29
4. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
5. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNITED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
6. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
7. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
8. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
9. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
10. SIDEWALKS SHALL BE REQUIRED PER ANGLETON LDC SEC. 23.14 - SIDEWALKS AND ACCESSIBILITY.
11. A MINIMUM OF TWO PARKING SPACES ON THE SAME LOT AS THE MAIN STRUCTURE AND ON A PAVED DRIVEWAY HAVING A MINIMUM LENGTH OF 20 FEET AS MEASURED FROM THE STREET RIGHT-OF-WAY LINE.
13. THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS OUT OF 1 LOT.

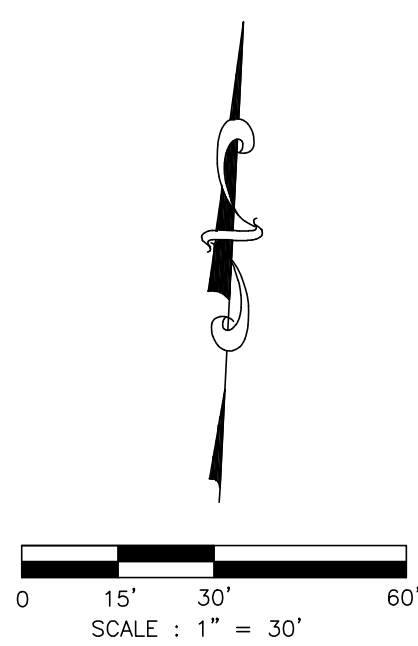
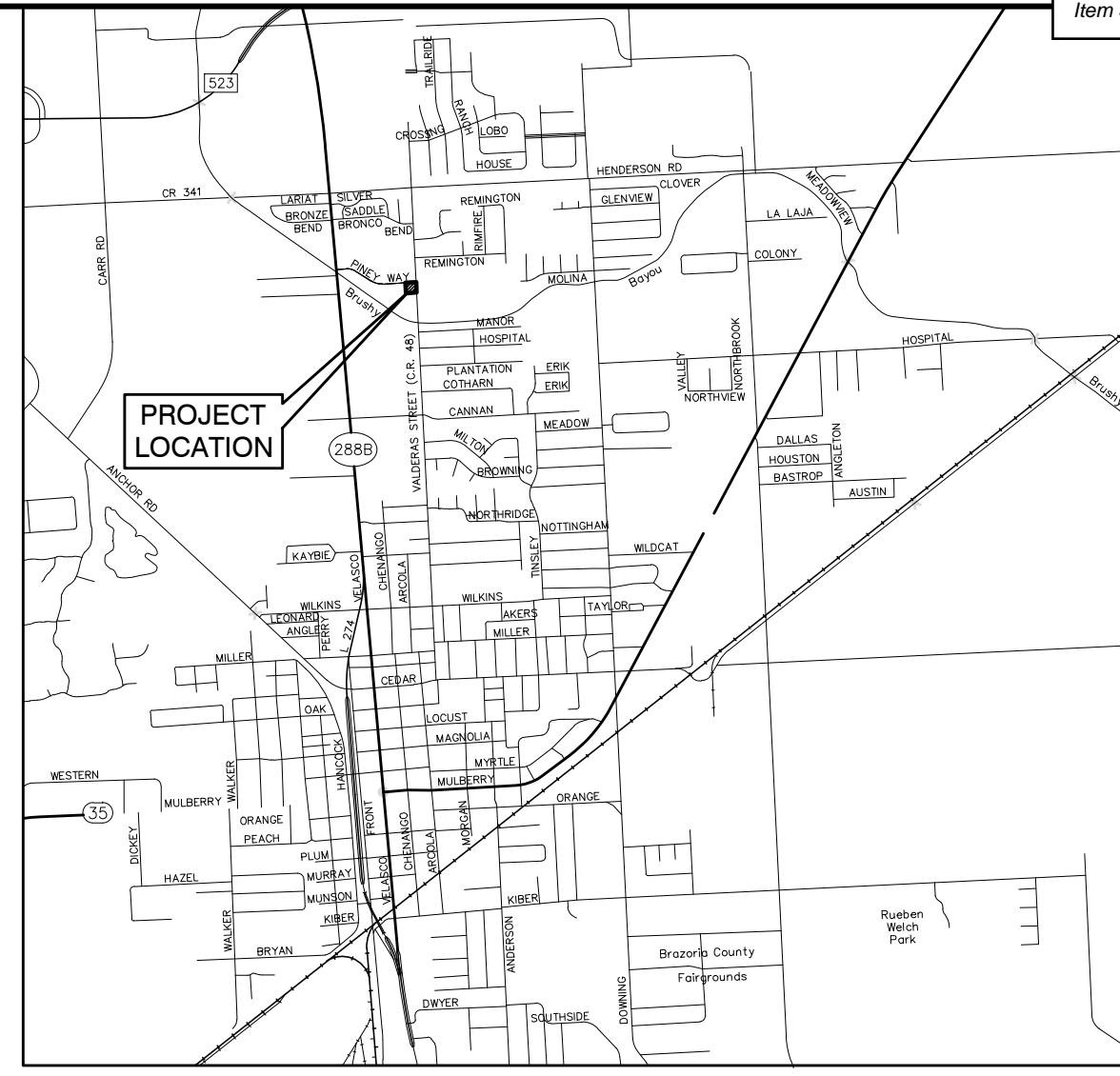
REVISED: 07/27/21 ADDRESS COMMENTS

MINOR REPLAT
LOT 16 CANNAN HEIGHTS SUBDIVISION
A 1.00 ACRE, 2-LOT 1 BLOCK SUBDIVISION
BEING A 1.00 ACRE TRACT
LOT 16, OF CANNAN HEIGHTS SUBDIVISION
VOL. 7, PG. 27, B.C.P.R.
IN THE J. DE J. VALDERAS SURVEY, ABSTRACT No. 380
IN BRAZORIA COUNTY, TEXAS

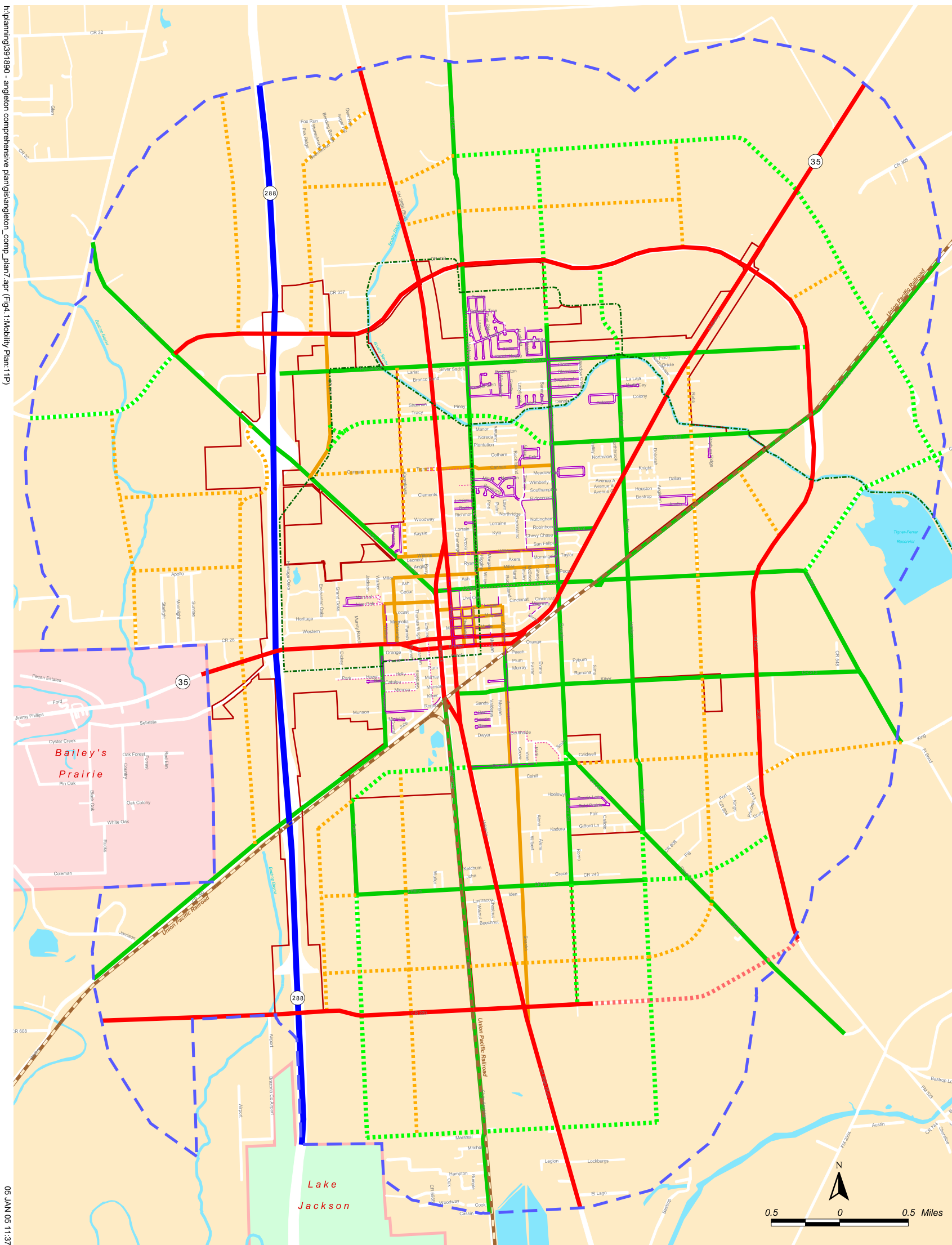
B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS

300 EAST CEDAR ST.
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPLS No. 10052500
REG. NO. F-825

PROJECT NO.: 14655	SCALE: 1" = 30'	DRAWN BY: CAP
DRAWING NO.: 14655-REPLAT LOT 16	DATE: 04/27/2021	CHECKED BY: DRR



ATTACHMENT 2



h:\planning\391890 - angleton comprehensive plan\angleton_comp_plan7.apr (Fig4.1:Mobility Plan:11P)

05 JAN 05 11:37

Figure 4.1
Mobility Plan

- | | | | |
|--|--------------------------|--|----------------------|
| | Existing Freeway | | Rail |
| | Existing Arterial | | Existing Sidewalk |
| | Existing Major Collector | | Proposed Sidewalk |
| | Existing Minor Collector | | Proposed Trail |
| | Proposed Arterial | | Angleton Study Area |
| | Proposed Major Collector | | Angleton City Limits |
| | Proposed Minor Collector | | |





AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Walter E. Reeves Jr., AICP, Development Services Director

AGENDA CONTENT: Conduct a public hearing, discussion, and possible action on a request for approval of the preliminary replat of Riverwood Ranch Section 2. The proposed preliminary replat consists of approximately 85 single family residential lots on an approximate 20 acres located at the northeast corner of Downing Street and Hospital Drive in a Planned Development zoning district.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: None

FUNDS REQUESTED: None

FUND: None

EXECUTIVE SUMMARY:

The subject property consists of 19.793 acres, is in a Planned Development (PD) district and is located at the northeast corner of N. Downing Street and Hospital Drive. The proposed preliminary replat is to subdivide the property into 108 single family residential lots and 4 reserve lots. As the Commission will recall, Riverwood Ranch Section 1 consisted of 96 single family residential lots on 22.691 acres.

Attached is the City Engineer's memo. The permitted lot sizes and density for the Riverwood Ranch project were established as part of the ordinance (Ord. 20200609-006) approving the Planned Development zoning on the property. That ordinance was subsequently amended by Ordinance 20200112-014 to include agricultural uses to allow the property owner to obtain an agricultural exemption on the undeveloped portion of the property. Attached is Exhibit "A" from Ordinance 20200112-014. The maximum permitted overall density of this project is 4.5 units per acre. The density of Phase 1 was 4.23 dwelling units per acre. The proposed density of Phase 2 is 5.15 dwelling units per acre. The overall density of Phases 1 & 2 is 4.80. Staff will be monitoring the density as additional sections are submitted for review.

Finally, Local Government Code (LGC) Section 212.005 Approval by Municipality Required states: "The municipal authority responsible for approving plats must approve a plat or replat that is required to be prepared under this subchapter and that satisfies all applicable regulations."

The proposed preliminary replat meets all requirements of the Code of Ordinances of the City of Angleton except as otherwise noted in the City Engineer's memo.

RECOMMENDATION:

Staff recommends approval of the preliminary replat of Riverwood Ranch Section 2 subject to the condition that any remaining outstanding comments are cleared.

SUGGESTED MOTION

I move we recommend approval of the preliminary replat of Riverwood Ranch Section 2 subject to the condition that any remaining outstanding comments are cleared.

July 15, 2021

Mr. Walter Reeves
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Plat Review of Riverwood Ranch Section 2 Preliminary Plat – 2nd Submittal Review
Angleton, Texas
HDR Job No. 10283980

Dear Mr. Reeves:

HDR Engineering, Inc. (HDR) has reviewed the plat for the above referenced subdivision and offers the following comments:

Preliminary Plat Review:

1. Pending Planning and Zoning and City Council approval, a Final Plat and Construction Plans shall be prepared in accordance to the Developer's Agreement and in accordance to the Angleton Land Development Code (LDC) and processes.
2. The Angleton Drainage District (A.D.D.) provided a letter of approval at the time of the proposed Riverwood Ranch Section 1, dated August 13, 2019, with stipulations noted including that detention will need to be reviewed for each section to make sure the detention is adequate for the proposed development. As part of the Construction Plans and Final Plat approval, the A.D.D. detention review shall be reviewed accordingly for the Riverwood Ranch Section 2 development.
3. For the Final Plat, 15-ft corner clips will be provided at the driveway of Hospital Lane at Hospital Drive.
4. A TIA will not be required for this section per direction of City Council at the June 22, 2021 Regular City Council Meeting. This requirement shall be reviewed for subsequent sections submitted for platting and development.

HDR takes no objection to the Riverwood Ranch Section 2 Preliminary Plat with the exceptions noted. It is noted that this does not necessarily mean that the entire plat submittal set, including all supporting data and calculations, has been completely checked and verified; however, the drawings and supporting data were prepared and signed and sealed by a Registered Professional Land Surveyor licensed to practice in the State of Texas, which therefore conveys the planner's and surveyor's responsibility and accountability.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

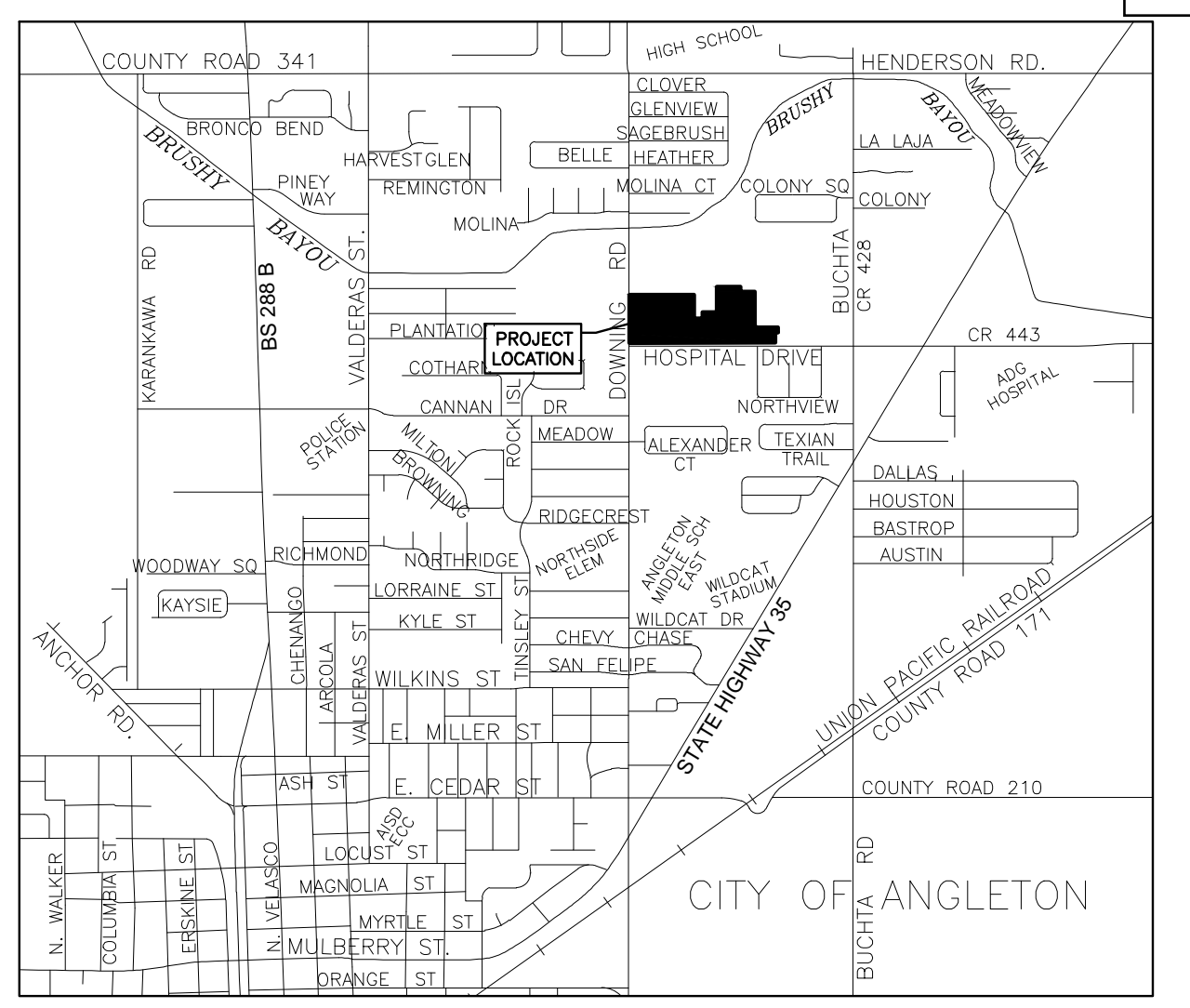
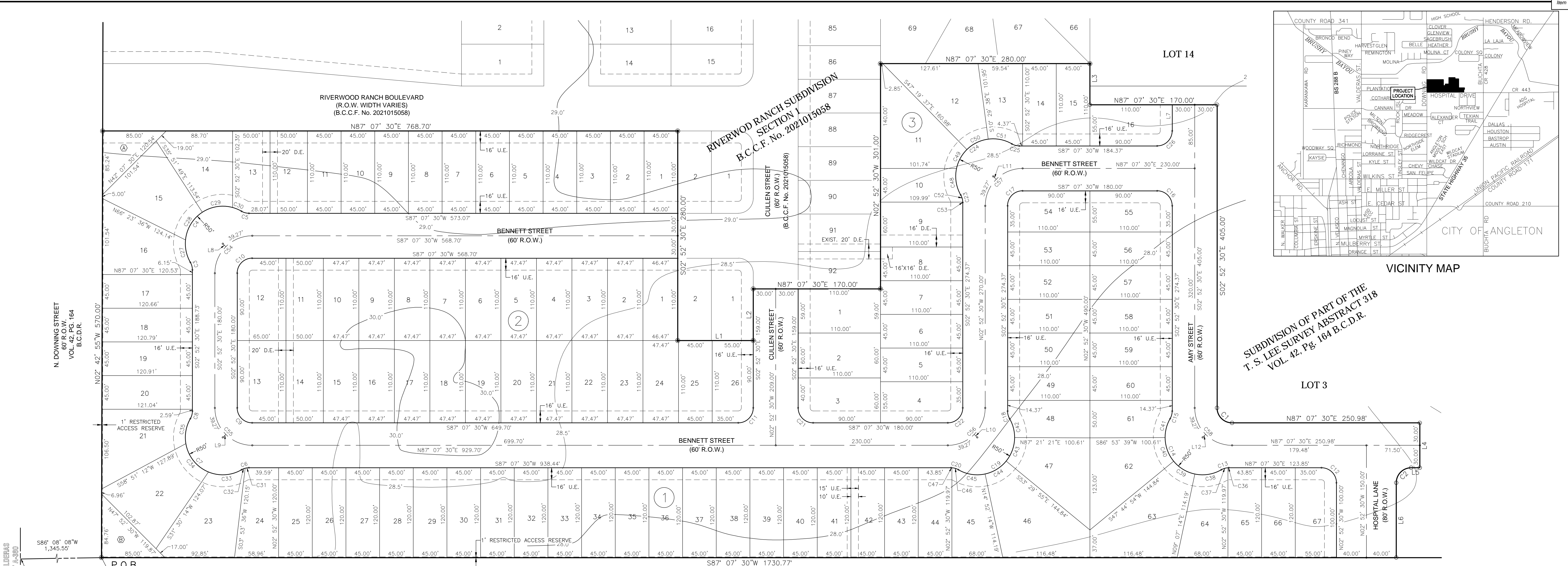
HDR Engineering, Inc.

A handwritten signature in black ink, appearing to read 'Javier Vasquez', written in a cursive style.

Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10283980)

Attachments



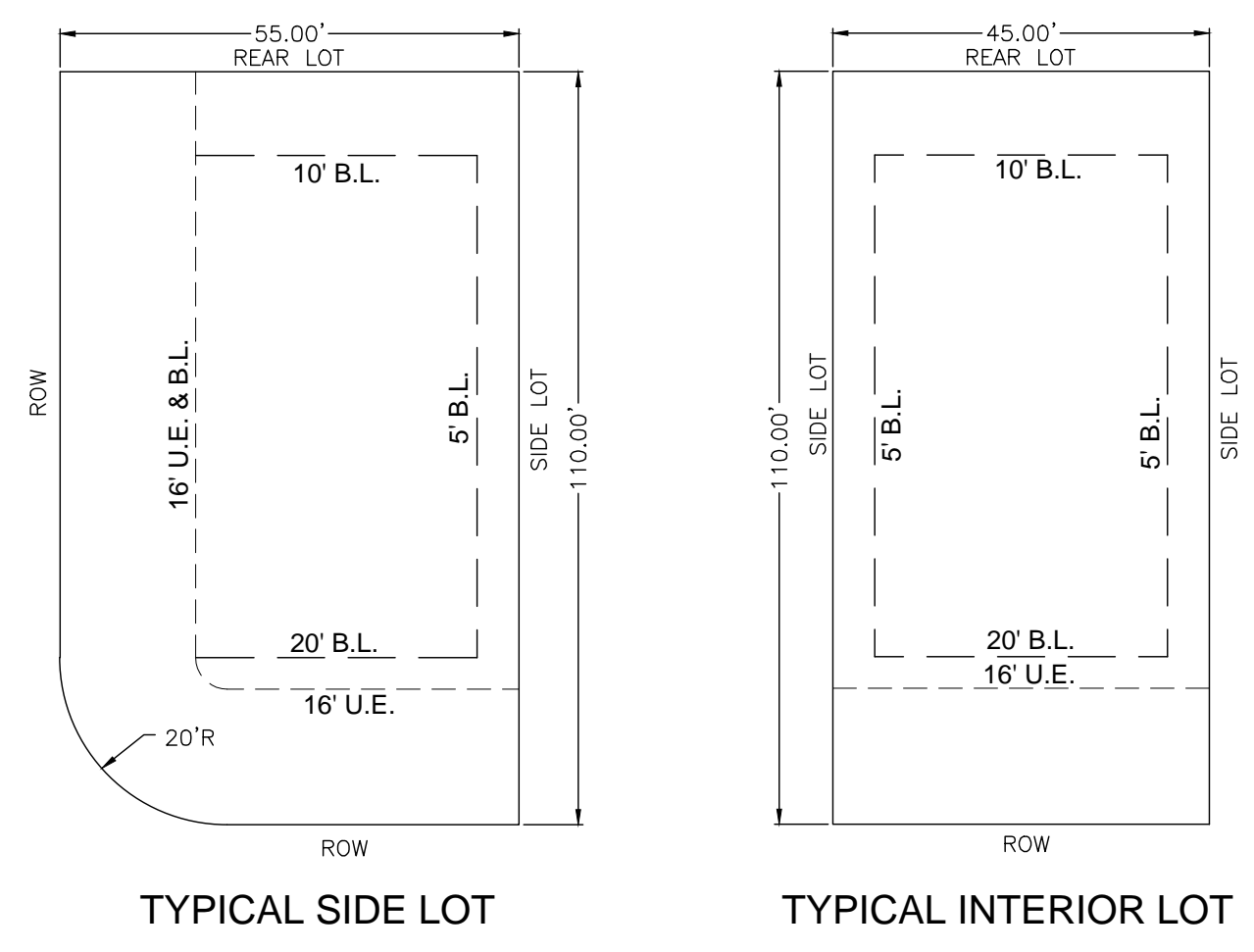
SUBDIVISION OF PART OF THE
T. S. LEE SURVEY ABSTRACT 318
VOL. 42, Pg. 164 B.C.D.R.

J.J. VALDEZ
SURVEY A-310
SOUTHWEST CORNER
OF T.S. LEE SURVEY A-318
I.T. TINSLEY
SURVEY A-375

Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'
C2	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C3	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'
C4	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C5	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'
C6	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'
C7	130.94'	50.00'	150°02'59"	S47°52'30"E	96.60'
C8	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'
C9	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'
C10	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C11	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'
C12	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'
C13	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'
C14	130.94'	50.00'	150°02'59"	S47°52'30"E	96.60'
C15	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'
C16	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'
C17	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C18	10.48'	20.00'	30°01'29"	S17°53'15"E	10.36'
C19	130.94'	50.00'	150°02'59"	N42°07'30"E	96.60'
C20	10.48'	20.00'	30°01'29"	N77°51'46"W	10.36'
C21	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'
C22	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'
C23	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'
C24	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C25	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'
C26	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'
C27	31.23'	50.00'	35°46'54"	N15°00'33"W	30.72'
C28	44.73'	50.00'	51°15'16"	N28°30'33"E	43.25'
C29	42.04'	50.00'	48°10'25"	N78°13'23"E	40.81'

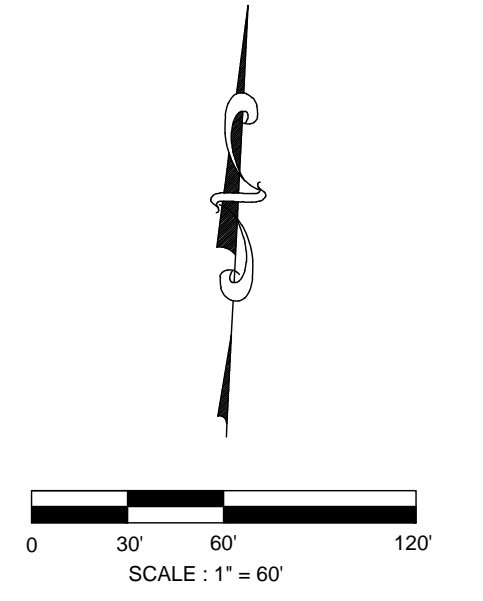
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C30	12.95'	50.00'	14°50'24"	S70°16'13"E	12.91'
C31	5.27'	20.00'	15°05'53"	S79°34'33"W	5.25'
C32	5.21'	20.00'	14°55'37"	S64°33'49"W	5.20'
C33	45.86'	50.00'	52°33'11"	N83°22'36"E	44.27'
C34	50.53'	50.00'	57°54'22"	S41°23'38"E	48.41'
C35	34.55'	50.00'	39°35'26"	S07°21'16"W	33.87'
C36	1.15'	20.00'	3°17'59"	S85°28'30"W	1.15'
C37	9.33'	20.00'	26°43'30"	S70°27'45"W	9.24'
C38	36.67'	50.00'	42°01'13"	N78°06'37"E	35.85'
C39	33.71'	50.00'	38°37'40"	S61°33'56"E	33.07'
C40	34.16'	50.00'	39°08'45"	S22°40'44"E	33.50'
C41	26.40'	50.00'	30°15'20"	S12°01'19"W	26.10'
C42	26.40'	50.00'	30°15'20"	N17°46'20"W	26.10'
C43	34.16'	50.00'	39°08'45"	N16°55'43"E	33.50'
C44	33.71'	50.00'	38°37'40"	N55°48'56"E	33.07'
C45	36.67'	50.00'	42°01'13"	S83°51'38"E	35.85'
C46	9.33'	20.00'	26°43'30"	N78°12'46"W	9.24'
C47	1.15'	20.00'	3°17'59"	S88°46'29"W	1.15'
C48	36.89'	50.00'	42°16'20"	N11°45'50"W	36.06'
C49	29.06'	50.00'	33°18'03"	N26°01'22"E	28.65'
C50	32.14'	50.00'	36°49'59"	N61°05'23"E	31.59'
C51	32.85'	50.00'	37°38'37"	S81°40'19"E	32.26'
C52	9.85'	20.00'	28°12'41"	N18°47'39"W	9.75'
C53	0.63'	20.00'	1°48'48"	N03°46'54"W	0.63'
C54	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'
C55	78.54'	50.00'	90°00'00"	S47°52'30"E	70.71'
C56	78.54'	50.00'	90°00'00"	N42°07'30"E	70.71'
C57	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'
C58	78.54'	50.00'	90°00'00"	S47°52'30"E	70.71'

Line No.	Length	Direction
L1	101.00'	N87°07'30"E
L2	69.00'	N02°52'30"W
L3	55.00'	S02°52'30"E
L4	60.00'	S02°52'30"E
L5	11.50'	S87°07'30"W
L6	100.00'	S02°52'30"E
L7	35.00'	N02°52'30"W
L8	5.71'	N47°52'30"W
L9	5.71'	S42°07'30"W
L10	5.71'	S47°52'30"E
L11	5.71'	N47°52'30"W
L12	5.71'	S42°07'30"W



LEGEND
 B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
 B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
 B.C.P.R. = BRAZORIA COUNTY PLAT RECORDS
 BL = BUILDING LINE
 BM = BENCHMARK
 D.E. = DRAINAGE EASEMENT
 FND = FOUND
 I.R. = IRON ROD
 C.I.R. = CAPPED IRON ROD
 P.O.B. = POINT OF BEGINNING
 R.O.W. = RIGHT-OF-WAY
 VOL., Pg. = VOLUME, PAGE
 W.L.E. = WATERLINE EASEMENT
 U.E. = UTILITY EASEMENT

SYMBOLS
 ○ = SET 5/8" C.I.R. "BAKER & LAWSON"
 ● = FOUND 5/8" C.I.R. "BAKER & LAWSON" (UNLESS NOTED)
 ⊕ = (TBM) TEMPORARY BENCHMARK



REVISED:

PRELIMINARY REPLAT RIVERWOOD RANCH SUBDIVISION SECTION 2

A 19.793 ACRE, 109-LOT, 3 BLOCK,
2 RESERVE SUBDIVISION

PORTION OF LOTS 2, 3, 14 AND 15, OF THE NEW YORK & TEXAS LAND
COMPANY SUBDIVISION OF THE T.S. LEE SURVEY,
VOL. 42, Pg. 164 B.C.D.R.

LOCATED IN THE THEODORE S. LEE SURVEY, ABSTRACT No. 318
BRAZORIA COUNTY, TEXAS

B & L
BAKER & LAWSON, INC.
ENGINEERS • PLANNERS • SURVEYORS

300 EAST CEDAR ST.
ANGLETON, TEXAS 77515
OFFICE: (979) 849-6681
TBPLS No. 10052500
REG. NO. F-825

OWNERS:
JOHN SANTASIERO
RIVERWAY PROPERTIES
6115 SKYLINE DR. STE A.
HOUSTON, TEXAS 77057

PROJECT NO.: 14395 SCALE: 1" = 60' DRAWN BY: BT
DRAWING NO.: 14395 PLAT DATE: 05/13/2021 CHECKED BY: DRR

DEDICATION STATEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, President And Managing Director of the Riverway Properties, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Riverwood Ranch Subdivision, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that, landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time of procuring permission from anyone.

Drainage Easements Maintained by a Homeowners' Association. STATE OF TEXAS § COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successor, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision by and through a lawfully created homeowners association to be created by the Owners. The Owners covenant and agree that such a homeowners' association (called "Association") shall be created prior to the final acceptance of the City. All Association documents shall be subject to the approval of the City and shall specifically contain covenants binding the Association to continuously maintain all Drainage Easements. Such covenants shall not relieve the individual lot owners of the responsibility to maintain the Drainage Easements should the Association default in the performance of its maintenance responsibility. The Association documents shall also contain provisions that they may not be amended with regard to the Drainage Easement maintenance responsibilities without the approval of the City. The fee simple title to all Drainage Easements shall always remain in the Association.

The City and Angleton Drainage District are not responsible for the maintenance and operation of said easements or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The City and Angleton Drainage District reserves the right, but not the obligation, to enter upon any Drainage Easement at any point, or points, with all rights of ingress and egress, to investigate, survey, erect, construct, or maintain any drainage facility deemed necessary by the City for drainage and safety purposes.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

PRESIDENT AND MANAGING DIRECTOR

STATE OF TEXAS § COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared JOHN SANTASIERO known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____, 20____.

Notary Public State of Texas

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

BILL GARWOOD, Chairman, Planning and Zoning Commission

FRANCES AGUILAR, City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

JASON PEREZ, Mayor

FRANCES AGUILAR, City Secretary

STATE OF TEXAS § COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the _____ day of _____, 20____, by _____.

FRANCES AGUILAR, City Secretary, City of Angleton, on behalf of the City.

Notary Public State of Texas

ANGLETON DRAINAGE DISTRICT

ANGLETON DRAINAGE DISTRICT ACCEPTED, THIS THE _____ DAY OF _____, 20____, THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

- 1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN. THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS BOARD MEMBER BOARD MEMBER

KNOW ALL MEN BY THESE PRESENTS:

That I, Douglas B. Roessler, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

SIGNED: DOUGLAS B. ROESSLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

KNOW ALL MEN BY THESE PRESENTS:

That I, Devin R. Royal, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision.

SIGNED: DEVIN R. ROYAL DATE REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 6667

FIELD NOTES FOR 19.793 ACRE

Being a tract of land containing 19.793 acre (861,753 square feet), located within T. S. Lee Survey, Abstract Number (No.) 318, in Brazoria County, Texas; Said 19.793 acre being a portion of Lots 2, 3, 14, and 15 of the subdivision of the T. S. Lee Survey, Abstract 318 recorded in Volume (Vol.) 42, Page (Pg.) 164 of the Brazoria County Deed Records (B.C.D.R.); Said 19.793 acres being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System of 1983, (NAD83) South Central Zone, per GPS observations):

BEGINNING at a 5/8-inch iron rod with cap stamped "BAKER & LAWSON" found at the northeast corner of the right-of-way (R.O.W.) intersection of North Downing Street (sixty feet wide) and Hospital Drive (sixty feet wide per Vol. 781, Pg. 204 B.C.D.R.), for the southwest corner of herein described tract;

THENCE, with the east R.O.W. line of said North Downing Street and the west line of said Lots 2 and 15, North 02 degrees 42 minutes 55 seconds West, a distance of 570.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found on the south R.O.W. line of Riverwood Ranch Boulevard (width varies per B.C.C.F. No. 2021015058) at the southwest corner of Riverwood Ranch Subdivision Section 1, a subdivision recorded under B.C.C.F. No. 2021015058, for the northwest corner of the herein described tract;

THENCE, with the south line of said Riverwood Ranch Subdivision Section 1 the following five (5) courses:

- 1. North 87 degrees 07 minutes 30 seconds East, a distance of 768.70 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an angle point;
2. South 02 degrees 52 minutes 30 seconds East, a distance of 280.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an interior corner of the herein described tract;
3. North 87 degrees 07 minutes 30 seconds East, a distance of 101.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an interior corner;
4. North 02 degrees 52 minutes 30 seconds West, a distance of 69.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an angle point;
5. North 87 degrees 07 minutes 30 seconds East, a distance of 170.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an angle point;
6. North 02 degrees 52 minutes 30 seconds West, a distance of 301.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an interior corner of the herein described tract;
7. North 87 degrees 07 minutes 30 seconds East, a distance of 280.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found at the southeast corner of said Riverwood Ranch Subdivision Section 1, for an angle point of the herein described tract;

THENCE, through and across said Lot 14 and 3, South 02 degrees 52 minutes 30 seconds East, a distance of 55.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an interior corner of the herein described tract;

THENCE, through and across said Lot 3, the following eight (8) courses:

- 1. North 87 degrees 07 minutes 30 seconds East, a distance of 170.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for the northeast corner of the herein described tract;
2. South 02 degrees 52 minutes 30 seconds East, a distance of 405.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for the beginning of a curve to the left;
3. 31.42 feet along the arc of said curve to the left, having a radius of 20.00 feet, a central angle of 90 degrees 00 minutes 00 seconds, a chord that bears South 47 degrees 52 minutes 30 seconds East, a distance of 28.28 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for a point of tangency;
4. North 87 degrees 07 minutes 30 seconds East, a distance of 250.98 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an angle point;
5. South 02 degrees 52 minutes 30 seconds East, a distance of 60.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an angle point;
6. South 87 degrees 07 minutes 30 seconds West, a distance of 11.50 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for the beginning of a curve to the left;
7. 31.42 feet along the arc of said curve to the left, having a radius of 20.00 feet, a central angle of 90 degrees 00 minutes 00 seconds, a chord that bears South 42 degrees 07 minutes 30 seconds West, a distance of 28.28 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for a point of tangency;
8. South 02 degrees 52 minutes 30 seconds East, a distance of 100.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set on the north line of said Hospital Drive, for the southeast corner of the herein described tract;

THENCE, with the north R.O.W. line of said Hospital Drive, South 87 degrees 07 minutes 30 seconds West, a distance of 1,730.77 feet to the POINT OF BEGINNING and containing 19.793 acres of land.

BLOCK 1

Table with 2 columns: Parcel Table (Lot No., Area S.F.) and Parcel Table (Lot No., Area S.F.) for Block 1.

BLOCK 2

Table with 2 columns: Parcel Table (Lot No., Area S.F.) and Parcel Table (Lot No., Area S.F.) for Block 2.

BLOCK 3

Table with 2 columns: Parcel Table (Lot No., Area S.F.) and Parcel Table (Lot No., Area S.F.) for Block 3.

LEGEND

- B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
B.C.P.R. = BRAZORIA COUNTY PLAT RECORDS
B.L. = BUILDING LINE
B.M. = BENCHMARK
D.M.E. = DRAINAGE/MAINTENANCE EASEMENT
FND = FOUND
I.R. = IRON ROD
P.O.B. = POINT OF BEGINNING
R.O.W. = RIGHT-OF-WAY
VOL., Pg. = VOLUME, PAGE

SYMBOLS

- = SET 5/8" I.R. W/CAP "BAKER & LAWSON"
● = FOUND MONUMENT (AS NOTED)
⊕ = (TBM) TEMPORARY BENCHMARK

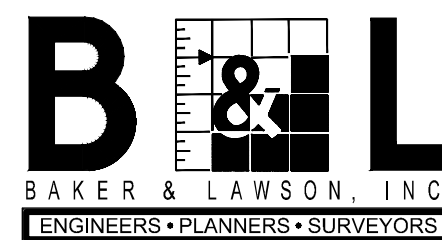
Table with 4 columns: SYMBOL, DESCRIPTION, RESERVE USE, AREA. Includes entries for RESTRICTED RESERVE "A" and "B".

NOTES:

- 1. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
2. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES FULLY WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1171) A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29
3. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
4. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
5. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
6. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
7. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
8. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
9. SIDEWALKS THAT CONFORM TO ACM SPECIFICATIONS AND ALL ACCESSIBILITY STANDARDS SHALL BE INSTALLED CONCURRENT WITH CONSTRUCTION OF DEVELOPMENT.
10. FRONT SETBACKS SHALL BE 20', REAR SETBACKS SHALL BE 10', SIDE SETBACKS SHALL BE 16' FOR LOTS ADJACENT TO THE R.O.W., 5' FOR INTERIORS, AND 5' FOR KEY CORNER LOTS.

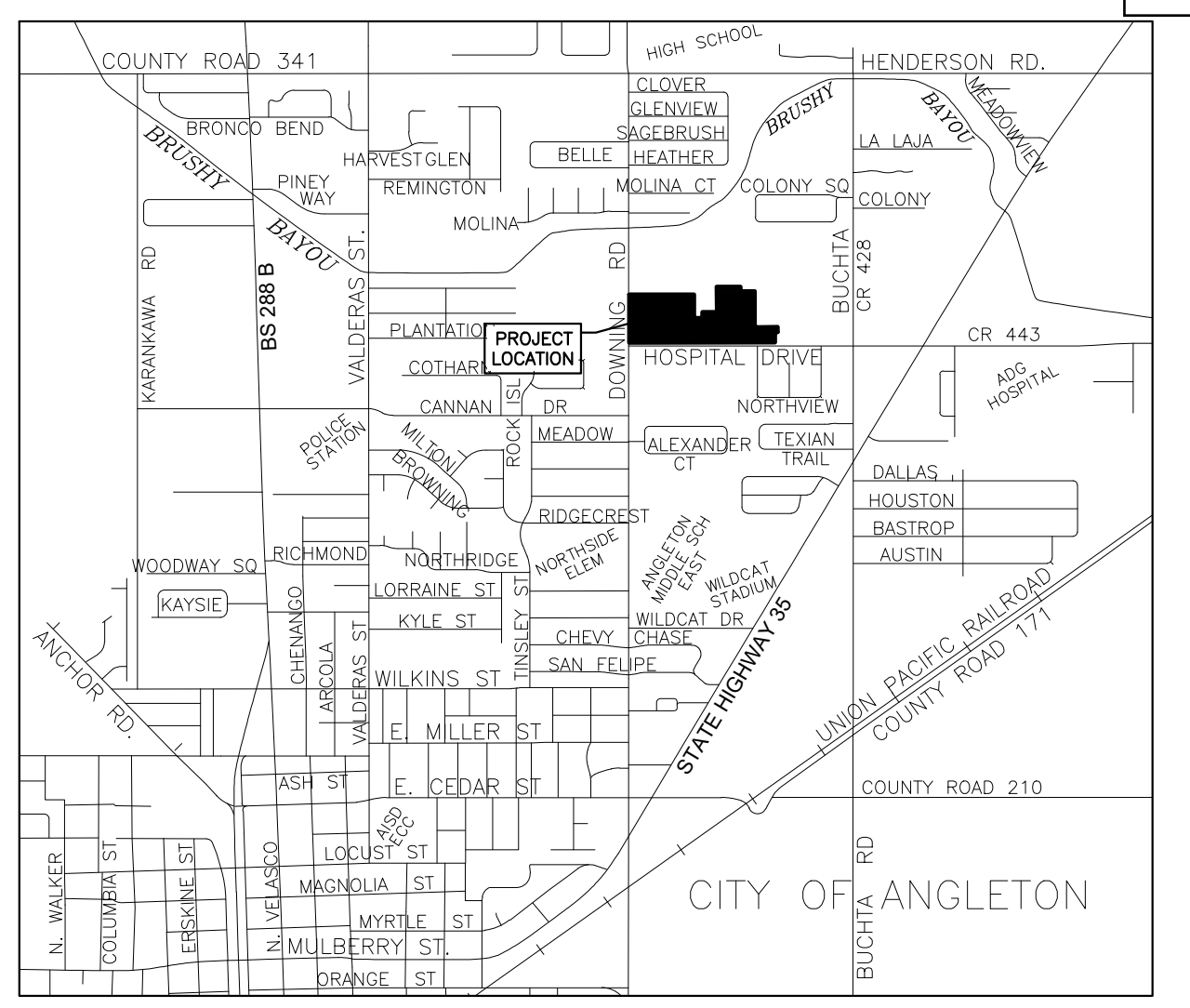
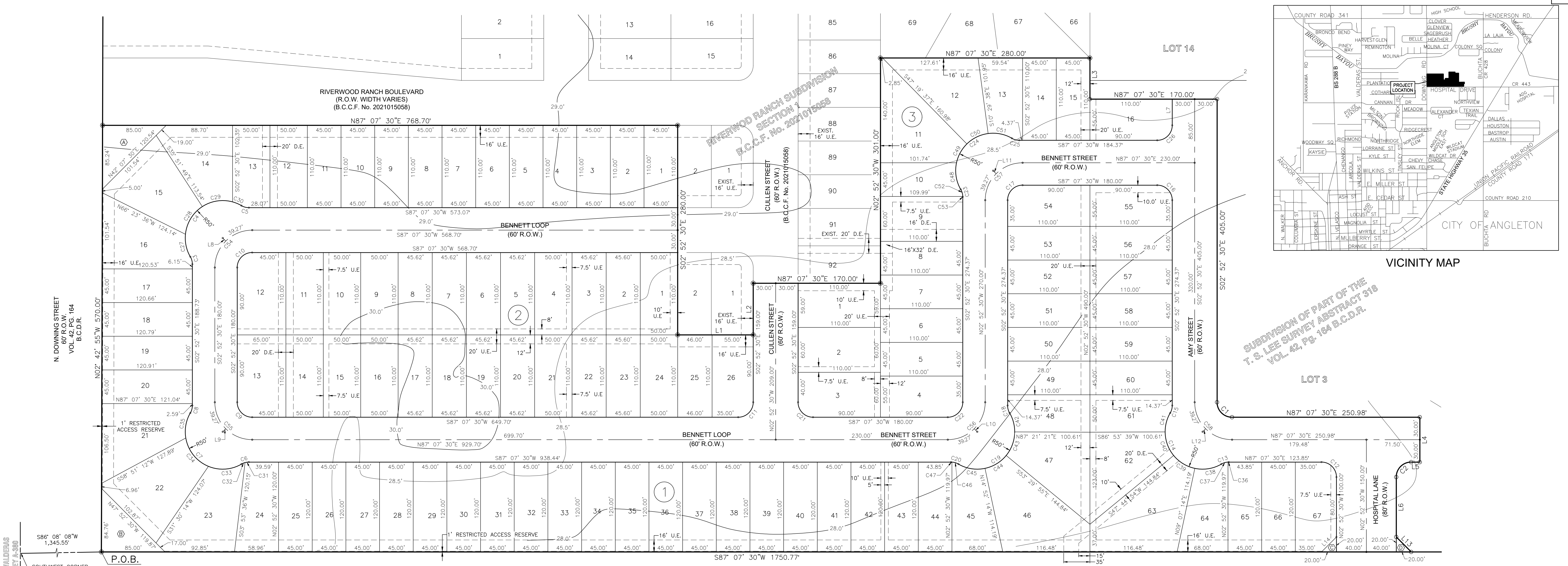
PRELIMINARY REPLAT RIVERWOOD RANCH SUBDIVISION SECTION 2 A 19.793 ACRE, 109-LOT, 3 BLOCK, 2 RESERVE SUBDIVISION PORTION OF LOTS 2, 14 AND 15, OF THE NEW YORK & TEXAS LAND COMPANY SUBDIVISION OF THE T.S. LEE SURVEY, VOL. 42, Pg. 164 B.C.D.R. LOCATED IN THE THEODORE S. LEE SURVEY, ABSTRACT No. 318 BRAZORIA COUNTY, TEXAS

OWNER: JOHN SANTASIERO RIVERWAY PROPERTIES 6115 SKYLINE DR., STE. A. HOUSTON, TEXAS 77057



300 EAST CEDAR ST. ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBP.LS No. 10052500 REG. NO. F-825

Table with 3 columns: PROJECT NO., DRAWING NO., DATE, SCALE, DRAWN BY, CHECKED BY.



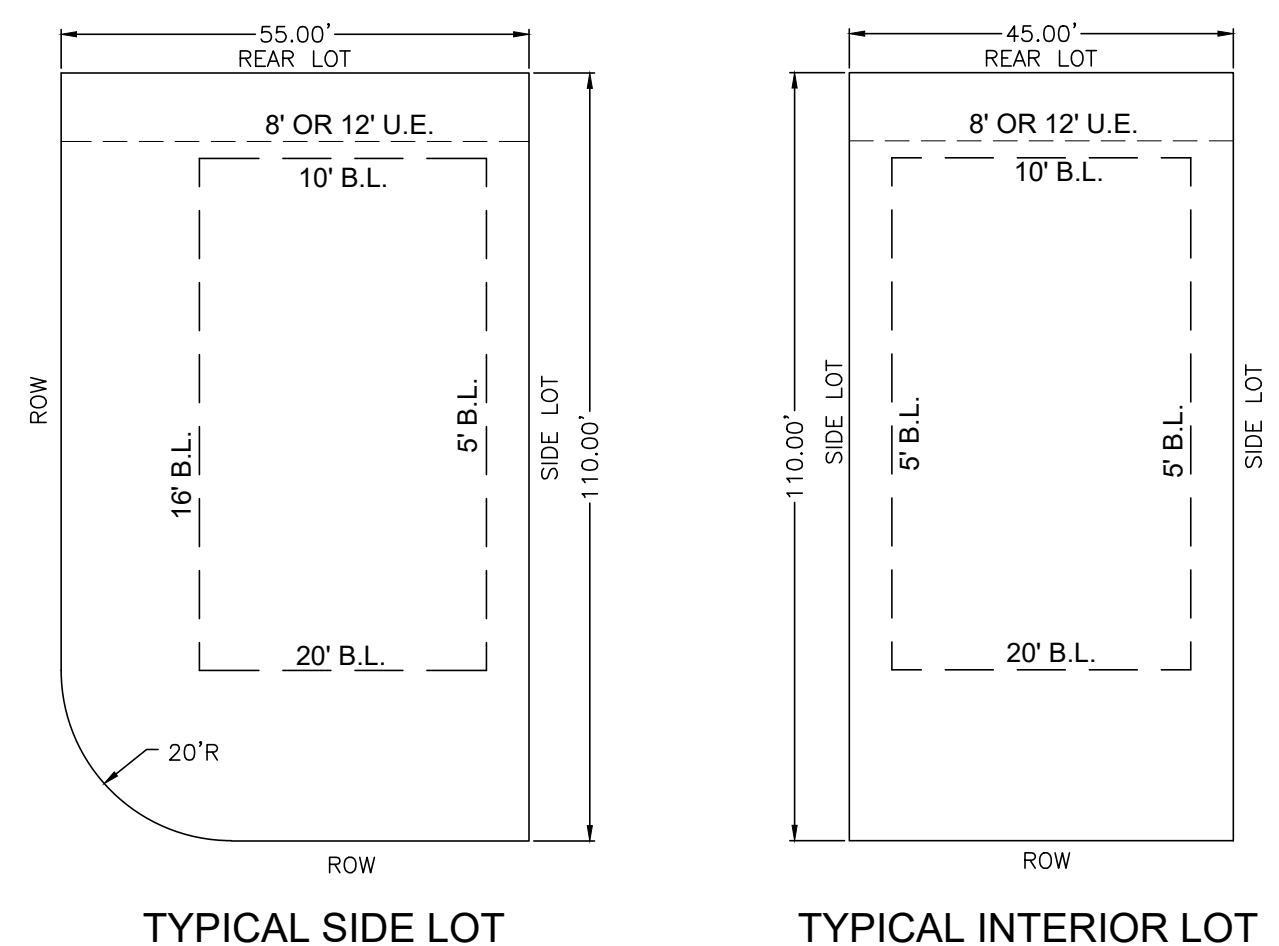
SUBDIVISION OF PART OF THE T.S. LEE SURVEY ABSTRACT 318 VOL. 42, Pg. 164 B.C.D.R.

J.J.J. VALDEZ SURVEY A-380
SOUTHWEST CORNER OF T.S. LEE SURVEY A-318
I.T. TINSLEY SURVEY A-375

Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'
C2	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C3	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'
C4	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C5	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'
C6	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'
C7	130.94'	50.00'	150°02'59"	S47°52'30"E	96.60'
C8	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'
C9	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'
C10	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C11	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'
C12	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'
C13	10.48'	20.00'	30°01'29"	S72°06'45"W	10.36'
C14	130.94'	50.00'	150°02'59"	S47°52'30"E	96.60'
C15	10.48'	20.00'	30°01'29"	N12°08'14"E	10.36'
C16	31.42'	20.00'	90°00'00"	N47°52'30"W	28.28'
C17	31.42'	20.00'	90°00'00"	S42°07'30"W	28.28'
C18	10.48'	20.00'	30°01'29"	S17°53'15"E	10.36'
C19	130.94'	50.00'	150°02'59"	N42°07'30"E	96.60'
C20	10.48'	20.00'	30°01'29"	N77°51'46"W	10.36'
C21	31.42'	20.00'	90°00'00"	S47°52'30"E	28.28'
C22	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'
C23	10.48'	20.00'	30°01'29"	N17°53'15"W	10.36'
C24	130.94'	50.00'	150°02'59"	S42°07'30"W	96.60'
C25	10.48'	20.00'	30°01'29"	S77°51'46"E	10.36'
C26	31.42'	20.00'	90°00'00"	N42°07'30"E	28.28'
C27	31.23'	50.00'	35°46'54"	N15°00'33"W	30.72'
C28	44.73'	50.00'	51°15'16"	N28°30'33"E	43.25'
C29	42.04'	50.00'	48°10'25"	N78°13'23"E	40.81'

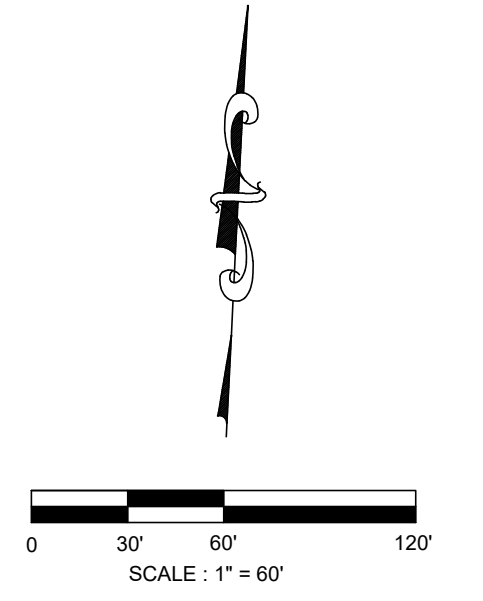
Curve No.	Length	Radius	Delta	Chord Bearing	Chord Distance
C30	12.95'	50.00'	14°50'24"	S70°16'13"E	12.91'
C31	5.27'	20.00'	15°05'53"	S79°34'33"W	5.25'
C32	5.21'	20.00'	14°55'37"	S64°33'49"W	5.20'
C33	45.86'	50.00'	52°33'11"	N83°22'36"E	44.27'
C34	50.53'	50.00'	57°54'22"	S41°23'38"E	48.41'
C35	34.55'	50.00'	39°35'26"	S07°21'16"W	33.87'
C36	1.15'	20.00'	3°17'59"	S85°28'30"W	1.15'
C37	9.33'	20.00'	26°43'30"	S70°27'45"W	9.24'
C38	36.67'	50.00'	42°01'13"	N78°06'37"E	35.85'
C39	33.71'	50.00'	38°37'40"	S61°33'56"E	33.07'
C40	34.16'	50.00'	39°08'45"	S22°40'44"E	33.50'
C41	26.40'	50.00'	30°15'20"	S12°01'19"W	26.10'
C42	26.40'	50.00'	30°15'20"	N17°46'20"W	26.10'
C43	34.16'	50.00'	39°08'45"	N16°55'43"E	33.50'
C44	33.71'	50.00'	38°37'40"	N55°48'56"E	33.07'
C45	36.67'	50.00'	42°01'13"	S83°51'38"E	35.85'
C46	9.33'	20.00'	26°43'30"	N76°12'46"W	9.24'
C47	1.15'	20.00'	3°17'59"	S88°46'29"W	1.15'
C48	36.89'	50.00'	42°16'20"	N11°45'50"W	36.06'
C49	29.06'	50.00'	33°18'03"	N26°01'22"E	28.65'
C50	32.14'	50.00'	36°49'59"	N61°05'23"E	31.59'
C51	32.85'	50.00'	37°38'37"	S81°40'19"E	32.26'
C52	9.85'	20.00'	28°12'41"	N18°47'39"W	9.75'
C53	0.63'	20.00'	1°48'48"	N03°46'54"W	0.63'
C54	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'
C55	78.54'	50.00'	90°00'00"	S47°52'30"E	70.71'
C56	78.54'	50.00'	90°00'00"	N42°07'30"E	70.71'
C57	78.54'	50.00'	90°00'00"	S42°07'30"W	70.71'
C58	78.54'	50.00'	90°00'00"	S47°52'30"E	70.71'

Line No.	Length	Direction
L1	101.00'	N87°07'30"E
L2	69.00'	N02°52'30"W
L3	55.00'	S02°52'30"E
L4	60.00'	S02°52'30"E
L5	11.50'	S87°07'30"W
L6	80.00'	S02°52'30"E
L7	35.00'	N02°52'30"W
L8	5.71'	N47°52'30"W
L9	5.71'	S42°07'30"W
L10	5.71'	S47°52'30"E
L11	5.71'	N47°52'30"W
L12	5.71'	S42°07'30"W
L13	28.28'	S47°52'30"E
L14	28.28'	S42°07'30"W



LEGEND
 B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
 B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
 B.C.P.R. = BRAZORIA COUNTY PLAT RECORDS
 BL = BUILDING LINE
 BM = BENCHMARK
 D.E. = DRAINAGE EASEMENT
 FND = FOUND
 I.R. = IRON ROD
 C.I.R. = CAPPED IRON ROD
 P.O.B. = POINT OF BEGINNING
 R.O.W. = RIGHT-OF-WAY
 VOL., Pg. = VOLUME, PAGE
 W.L.E. = WATERLINE EASEMENT
 U.E. = UTILITY EASEMENT

SYMBOLS
 ○ = SET 5/8" C.I.R. "BAKER & LAWSON"
 ● = FOUND 5/8" C.I.R. "BAKER & LAWSON" (UNLESS NOTED)
 ⊕ = (TBM) TEMPORARY BENCHMARK



REVISED:

PRELIMINARY REPLAT

RIVERWOOD RANCH SUBDIVISION SECTION 2

A 19.793 ACRE, 108-LOT, 3 BLOCK, 4 RESERVE SUBDIVISION

PORTION OF LOTS 2, 3, 14 AND 15, OF THE NEW YORK & TEXAS LAND COMPANY SUBDIVISION OF THE T.S. LEE SURVEY, VOL. 42, Pg. 164 B.C.D.R.
 LOCATED IN THE THEODORE S. LEE SURVEY, ABSTRACT No. 318 BRAZORIA COUNTY, TEXAS

B & L
 BAKER & LAWSON, INC.
 ENGINEERS • PLANNERS • SURVEYORS

300 EAST CEDAR ST.
 ANGLETON, TEXAS 77515
 OFFICE: (979) 849-6681
 TBPLS No. 10052500
 REG. NO. F-825

OWNERS:
 JOHN SANTASIERO
 RIVERWAY PROPERTIES
 6115 SKYLINE DR. STE A
 HOUSTON, TEXAS 77057

PROJECT NO.: 14395 SCALE: 1" = 60' DRAWN BY: BT
 DRAWING NO.: 14395 PLAT DATE: 07/28/2021 CHECKED BY: DRR

DEDICATION STATEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT JOHN SANTASIERO, President And Managing Director of the Riverway Properties, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Riverwood Ranch Subdivision, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time of procuring permission from anyone.

Drainage Easements Maintained by a Homeowners' Association. STATE OF TEXAS § COUNTY OF BRAZORIA §

This plat is hereby adopted by the owners (called "Owners") and approved by the City of Angleton, ("City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successor, and assigns:

"Drainage Easements" shown on the plat are reserved for drainage purposes forever, and the maintenance of the drainage easements shall be provided by all of the owners of lots in the subdivision by and through a lawfully created homeowners association to be created by the Owners. The Owners covenant and agree that such a homeowners' association (called "Association") shall be created prior to the final acceptance of the City. All Association documents shall be subject to the approval of the City and shall specifically contain covenants binding the Association to continuously maintain all Drainage Easements. Such covenants shall not relieve the individual lot owners of the responsibility to maintain the Drainage Easements should the Association default in the performance of its maintenance responsibility. The Association documents shall also contain provisions that they may not be amended with regard to the Drainage Easement maintenance responsibilities without the approval of the City. The fee simple title to all Drainage Easements shall always remain in the Association.

The City and Angleton Drainage District are not responsible for the maintenance and operation of said easements or for any damage or injury to private property or person that results from the flow of water along said easement or for the control of erosion, but reserves the right to use enforcement powers to ensure that drainage easements are properly functioning in the manner in which they were designed and approved.

The City and Angleton Drainage District reserves the right, but not the obligation, to enter upon any Drainage Easement at any point, or points, with all rights of ingress and egress, to investigate, survey, erect, construct, or maintain any drainage facility deemed necessary by the City for drainage and safety purposes.

The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. The Association hereby agrees to indemnify and hold harmless the City from any such damages and injuries.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS § COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

PRESIDENT AND MANAGING DIRECTOR

STATE OF TEXAS § COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared JOHN SANTASIERO known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ____ day of _____, 20____.

Notary Public State of Texas

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

BILL GARWOOD, Chairman, Planning and Zoning Commission

FRANCES AGUILAR, City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

JASON PEREZ, Mayor

FRANCES AGUILAR, City Secretary

STATE OF TEXAS § COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the _____ day of _____, 20____, by _____.

FRANCES AGUILAR, City Secretary, City of Angleton, on behalf of the City.

Notary Public State of Texas

ANGLETON DRAINAGE DISTRICT

ANGLETON DRAINAGE DISTRICT ACCEPTED, THIS THE _____ DAY OF _____, 20____, THE BOARD OF SUPERVISORS OF THE ANGLETON DRAINAGE DISTRICT DOES NOT WARRANT, REPRESENT OR GUARANTEE:

- 1. THAT DRAINAGE FACILITIES OUTSIDE THE BOUNDARIES OF THE SUBDIVISION PLAT ARE AVAILABLE TO RECEIVE RUNOFF FROM THE FACILITIES DESCRIBED IN THIS PLAT.
2. THAT DRAINAGE FACILITIES DESCRIBED IN THIS PLAT ARE ADEQUATE FOR RAINFALL IN EXCESS OF ANGLETON DRAINAGE DISTRICT MINIMUM REQUIREMENTS.
3. THAT BUILDING ELEVATION REQUIREMENTS HAVE BEEN DETERMINED BY THE ANGLETON DRAINAGE DISTRICT.
4. THAT THE DISTRICT ASSUMES ANY RESPONSIBILITY FOR CONSTRUCTION, OPERATION OR MAINTENANCE OF SUBDIVISION DRAINAGE FACILITIES.

THE DISTRICT'S REVIEW IS BASED SOLELY ON THE DOCUMENTATION SUBMITTED FOR REVIEW, AND ON THE RELIANCE ON THE REPORT SUBMITTED BY THE TEXAS REGISTERED PROFESSIONAL ENGINEER.

THE DISTRICT'S REVIEW IS NOT INTENDED NOR WILL SERVE AS A SUBSTITUTION OF THE OVERALL RESPONSIBILITY AND/OR DECISION MAKING POWER OF THE PARTY SUBMITTING THE PLAT OR PLAN HEREIN. THEIR OR ITS PRINCIPALS OR AGENTS.

CHAIRMAN, BOARD OF SUPERVISORS BOARD MEMBER

BOARD MEMBER

KNOW ALL MEN BY THESE PRESENTS:

That I, Douglas B. Roessler, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council.

SIGNED: DOUGLAS B. ROESSLER DATE PROFESSIONAL ENGINEER TEXAS REGISTRATION NO. 56739

KNOW ALL MEN BY THESE PRESENTS:

That I, Devin R. Royal, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision.

SIGNED: DEVIN R. ROYAL DATE REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 6667

FIELD NOTES FOR 19.793 ACRE

Being a tract of land containing 19.793 acre (861,753 square feet), located within T. S. Lee Survey, Abstract Number (No.) 318, in Brazoria County, Texas; Said 19.793 acre being a portion of Lots 2, 3, 14, and 15 of the subdivision of the T. S. Lee Survey, Abstract 318 recorded in Volume (Vol.) 42, Page (Pg.) 164 of the Brazoria County Deed Records (B.C.D.R.); Said 19.793 acres being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System of 1983, (NAD83) South Central Zone, per GPS observations):

BEGINNING at a 5/8-inch iron rod with cap stamped "BAKER & LAWSON" found at the northeast corner of the right-of-way (R.O.W.) intersection of North Downing Street (sixty feet wide) and Hospital Drive (sixty feet wide per Vol. 781, Pg. 204 B.C.D.R.), for the southwest corner of herein described tract;

THENCE, with the east R.O.W. line of said North Downing Street and the west line of said Lots 2 and 15, North 02 degrees 42 minutes 55 seconds West, a distance of 570.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found on the south R.O.W. line of Riverwood Ranch Boulevard (width varies per B.C.C.F. No. 2021015058) at the southwest corner of Riverwood Ranch Subdivision Section 1, a subdivision recorded under B.C.C.F. No. 2021015058, for the northwest corner of the herein described tract;

THENCE, with the south line of said Riverwood Ranch Subdivision Section 1 the following five (5) courses:

- 1. North 87 degrees 07 minutes 30 seconds East, a distance of 768.70 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an angle point;
2. South 02 degrees 52 minutes 30 seconds East, a distance of 280.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an interior corner of the herein described tract;
3. North 87 degrees 07 minutes 30 seconds East, a distance of 101.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an interior corner;
4. North 02 degrees 52 minutes 30 seconds West, a distance of 69.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an angle point;
5. North 87 degrees 07 minutes 30 seconds East, a distance of 170.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found for an angle point;
6. North 02 degrees 52 minutes 30 seconds West, a distance of 301.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an interior corner of the herein described tract;
7. North 87 degrees 07 minutes 30 seconds East, a distance of 280.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" found at the southeast corner of said Riverwood Ranch Subdivision Section 1, for an angle point of the herein described tract;

THENCE, through and across said Lot 14 and 3, South 02 degrees 52 minutes 30 seconds East, a distance of 55.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an interior corner of the herein described tract;

THENCE, through and across said Lot 3, the following eight (8) courses:

- 1. North 87 degrees 07 minutes 30 seconds East, a distance of 170.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for the northeast corner of the herein described tract;
2. South 02 degrees 52 minutes 30 seconds East, a distance of 405.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for the beginning of a curve to the left;
3. 31.42 feet along the arc of said curve to the left, having a radius of 20.00 feet, a central angle of 90 degrees 00 minutes 00 seconds, a chord that bears South 47 degrees 52 minutes 30 seconds East, a distance of 28.28 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for a point of tangency;
4. North 87 degrees 07 minutes 30 seconds East, a distance of 250.98 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an angle point;
5. South 02 degrees 52 minutes 30 seconds East, a distance of 60.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for an angle point;
6. South 87 degrees 07 minutes 30 seconds West, a distance of 11.50 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for the beginning of a curve to the left;
7. 31.42 feet along the arc of said curve to the left, having a radius of 20.00 feet, a central angle of 90 degrees 00 minutes 00 seconds, a chord that bears South 42 degrees 07 minutes 30 seconds West, a distance of 28.28 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set for a point of tangency;
8. South 02 degrees 52 minutes 30 seconds East, a distance of 100.00 feet to a 5/8-inch iron rod with cap stamped "Baker & Lawson" set on the north line of said Hospital Drive, for the southeast corner of the herein described tract;

THENCE, with the north R.O.W. line of said Hospital Drive, South 87 degrees 07 minutes 30 seconds West, a distance of 1,730.77 feet to the POINT OF BEGINNING and containing 19.793 acres of land.

BLOCK 1

Table with 2 columns: Parcel Table (Lot No., Area S.F.) and Parcel Table (Lot No., Area S.F.) for Block 1.

BLOCK 2

Table with 2 columns: Parcel Table (Lot No., Area S.F.) and Parcel Table (Lot No., Area S.F.) for Block 2.

BLOCK 3

Table with 2 columns: Parcel Table (Lot No., Area S.F.) and Parcel Table (Lot No., Area S.F.) for Block 3.

LEGEND

- B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
B.C.P.R. = BRAZORIA COUNTY DEED RECORDS
B.L. = BUILDING LINE
BM = BENCHMARK
D.M.E. = DRAINAGE/MAINTENANCE EASEMENT
FND = FOUND
I.R. = IRON ROD
P.O.B. = POINT OF BEGINNING
R.O.W. = RIGHT-OF-WAY
Vol., Pg. = VOLUME, PAGE

SYMBOLS

- = SET 5/8" LR. W/CAP "BAKER & LAWSON"
● = FOUND MONUMENT (AS NOTED)
⊕ = (TBM) TEMPORARY BENCHMARK

RESERVE TABLE

Table with 4 columns: SYMBOL, DESCRIPTION, RESERVE USE, AREA. Lists reserve areas A, B, C, and D.

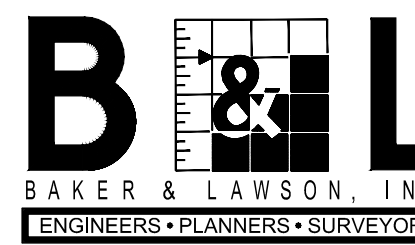
NOTES:

- 1. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
2. FLOOD ZONE STATEMENT: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY, MAP NUMBER 48039C0440K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, THE PROPERTY SURVEYED LIES FULLY WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
3. REFERENCE BENCHMARK: NGS MONUMENT R1182 (PID AW1177) A BRASS DISK STAMPED R1182, ON THE NORTH LINE OF CR 171, ON THE CURB OF A BRIDGE, APPROXIMATELY 275 SOUTHWEST OF INTERSECTION WITH CR 428. ELEVATION = 26.31 FEET NGVD29
3. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
4. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
5. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
6. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
7. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
8. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
9. SIDEWALKS THAT CONFORM TO ACM SPECIFICATIONS AND ALL ACCESSIBILITY STANDARDS SHALL BE INSTALLED CONCURRENT WITH CONSTRUCTION OF DEVELOPMENT.
10. FRONT SETBACKS SHALL BE 20', REAR SETBACKS SHALL BE 10', SIDE SETBACKS SHALL BE 16' FOR LOTS ADJACENT TO THE R.O.W., 5' FOR INTERIORS, AND 5' FOR KEY CORNER LOTS.

REVISED:

PRELIMINARY REPLAT RIVERWOOD RANCH SUBDIVISION SECTION 2 A 19.793 ACRE, 108-LOT, 3 BLOCK, 4 RESERVE SUBDIVISION

PORTION OF LOTS 2, 14 AND 15, OF THE NEW YORK & TEXAS LAND COMPANY SUBDIVISION OF THE T.S. LEE SURVEY, VOL. 42, Pg. 164 B.C.D.R. LOCATED IN THE THEODORE S. LEE SURVEY, ABSTRACT No. 318 BRAZORIA COUNTY, TEXAS



300 EAST CEDAR ST. ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBP.LS No. 10052500 REG. No. F-825

OWNER: JOHN SANTASIERO RIVERWAY PROPERTIES 6115 SKYLINE DR., STE. A. HOUSTON, TEXAS 77057

Table with 3 columns: PROJECT NO., DRAWING NO., DRAWING DATE, SCALE, DATE, DRAWN BY, CHECKED BY.

EXHIBIT A

Permitted Uses for Riverwood Ranch Planned Development Overlay District:

1. Single-Family Detached Dwelling Units and Accessory Structures
2. Farms, General (Livestock/Ranch)
3. Farms, General (Crops)

Development Requirements for Riverwood Ranch Planned Development Overlay District (“RWRPD”)

- (1). Density: The density for this development shall not exceed 4.5 units per acre.
- (2). Lot Area: The lot area shall not be less than 4,000 sq. ft.
- (3). Width: The lot width shall not be less than 45 linear feet.
- (4). Depth: The lot depth shall not be less than 115 linear feet.
- (5). Front Yard: The front yard shall not be less than 20 feet.
- (6). Rear Yard: The rear yard shall not be less than 20 feet.
- (7). Side Yard: The side yard shall not be less than 5 feet.
- (8). Building Height: The building height shall be no higher than 35 feet.
- (9). Garages: A two-car garage shall be provided for each dwelling unit which may be detached or attached. Garages shall be subject to the same setbacks and building heights as the dwelling unit. Garages must be maintained as garages and permanent enclosure and conversion to living space is prohibited. Carports are prohibited.
- (10). Lot Coverage: Lot coverage shall not exceed 70%.
- (11). Parking: Parking shall be limited to surfaces paved with concrete.
- (12). Landscaping: At least one tree for each lot shall be planted between the sidewalk and the back of curb and be placed to avoid utility lines and to have minimum effect on the sidewalk and street. At planting each tree shall be a minimum of 7 feet in height and 2” in diameter as measured 12” above soil level. Each tree shall be expected to have a canopy of a minimum of fifteen feet at maturity.
- (13). Sidewalks: Sidewalks shall be a minimum of 5’ in width and shall be placed in the right-of-way immediately adjacent to the property line. Sidewalks shall be provided on both sides of every street.
- (14). Overhead Power Lines: Overhead power lines are prohibited along any street.
- (15). Accessory Buildings: One accessory building is allowed in each rear yard but shall not be visible at ground level from adjoining properties.
- (16). Signs: One 32 square foot temporary entry sign may be placed at each entrance to the subdivision. In addition, one 6 square foot temporary sign may be placed in front of each model home if applicable. A 16 square foot, permanent sign may be placed at the entrance to each new section of the subdivision. Temporary subdivision entry signs shall be removed within one year of the date the first permit for construction is issued or when 80% of the lots in the subdivision have been sold whichever first occurs. Subdivision section entry signs shall be removed after one year or when 80% of the homes in that section have been sold. One 32 square foot permanent sign shall be permitted at each entrance to the subdivision.
- (17). Street Lighting: Street lighting shall be installed according to the cities’ lighting ordinances.
- (18). Outdoor Storage: Outdoor storage is prohibited.
- (19). No barbed wire, electrical or chain link fencing is permitted.

- (20). Homeowners Association (HOA): The developer will create deed restrictions and an HOA. The HOA will enforce restrictions and architectural guidelines for home construction and manage all common spaces, streetscape (including replacement, maintenance, safety pruning and health of street trees), screening walls, detention ponds, community trails and recreation/park areas, subject to city attorney review for form. The developer shall include in the restrictions a provision that should the HOA fail to operate and maintain common area spaces/open areas, such as detention ponds, the city has the option, but not the obligation, to assume the maintenance of such. Should the city assume maintenance, the City will have the right to impose and collect a fee on HOA, or upon each lot, to recover the city's costs. Deed restrictions should be drafted so as to not conflict with city ordinance.
- (21). Concept Plan: The subdivision plat and concept plan for Riverwood Ranch Subdivision are attached hereto and made a part hereof the ordinance governing the RWRPD. The terms concept plan, plat and subdivision plat are used interchangeably. No building permit shall be issued until the subdivision plat is recorded and all other required engineering/construction plans are first approved by the city. No certificates of occupancy shall be issued until all construction and development conforms to the concept plan and engineering/construction plans as approved by the city.
- (22). Minor Revisions: It is recognized that final architectural and engineering design may necessitate minor changes in the approved concept plan and RWRPD ordinance. In such cases, the city manager, or his designee, shall have the authority to approve minor modifications. Such minor modifications shall be made on the concept plan/subdivision plat in accordance with the Land Development Code (LDC) which shall be substantially conform to the previously approved concept plan.
- (23). Major Revisions: In the event of revisions that are more extensive in nature (i.e. do not conform to the rules for minor amendments contained in the Angleton Land Development Code), a new concept plan/subdivision plat must be resubmitted, reviewed, and approved in accordance with regular procedures for rezoning and replatting contained in the Angleton Land Development Code and the City of Angleton zoning ordinance.



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Walter E. Reeves Jr., AICP, Development Services Director

AGENDA CONTENT: Discuss, consider and act on the Preliminary Replat of the Century Coale Road Business Park. The subject property consists of 9.273 acres, is in the Light Industrial (LI) zoning district and is located on the north side of CR 220 approximately 500 feet west of Business 288.

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: None **FUNDS REQUESTED:** None

FUND: None

EXECUTIVE SUMMARY:

This is a request for approval of a preliminary replat of 9.273 acres in the LI zoning district. Staff comments were provided to the applicant on July 15, 2021, and at the time of preparation of this agenda summary no response to comments had been received. The proposed replat is part of the process of development of the property for an approximate 93,000 square feet of warehouse buildings.

Attached are the comments from the City Engineer. Development Services had the following comments on the preliminary replat:

1. Please provide Angleton Drainage District signature block, if applicable.
2. Please provide Angleton Drainage District notes, if applicable.

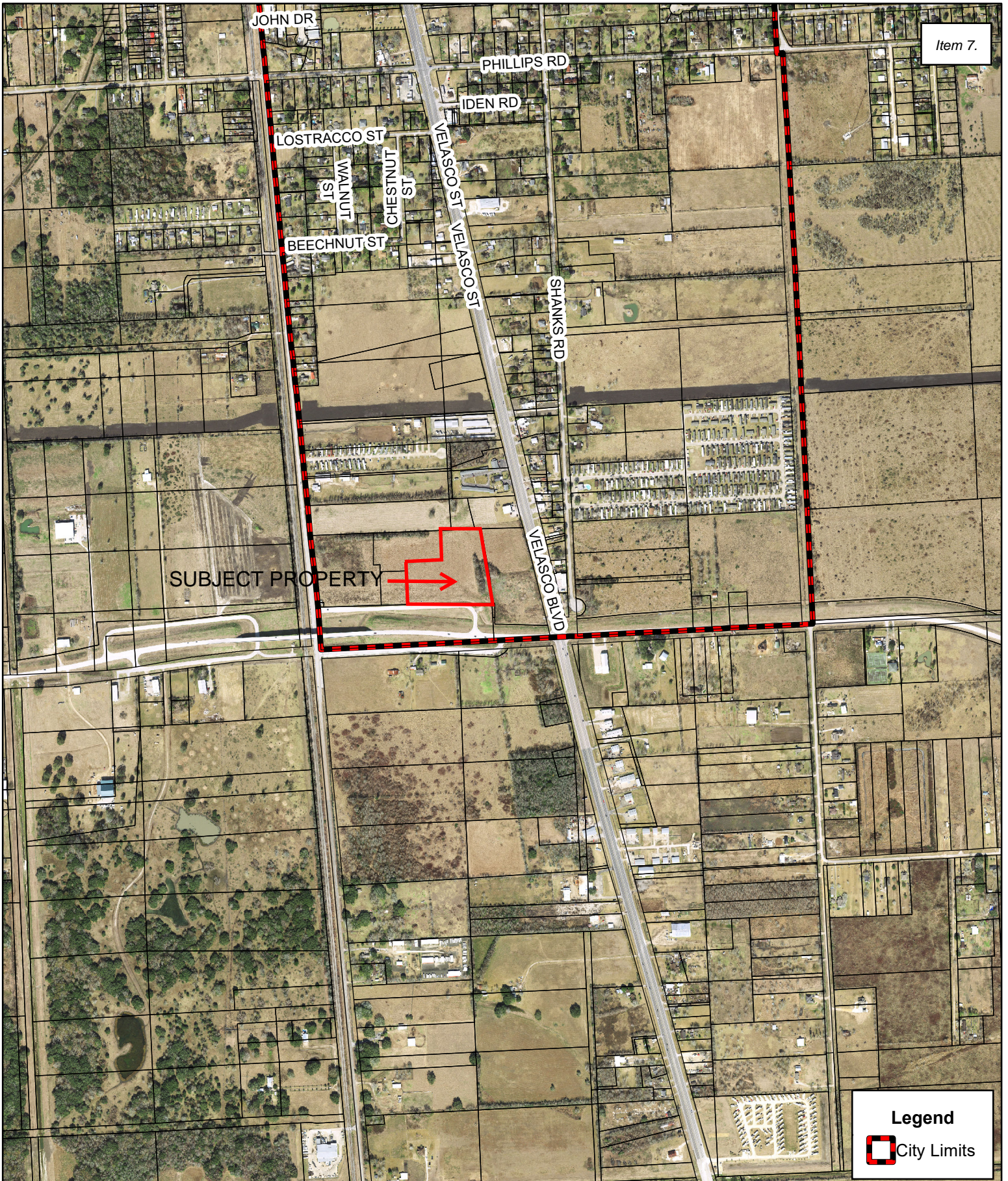
While there is a list of outstanding comments that need to be cleared, staff feels this can be accomplished prior to the City Council meeting on August 24, 2021.

RECOMMENDATION:

Staff recommends approval of the Preliminary Replat of the Century Coale Road Business Park subject to the condition that all comments are cleared prior to the August 24, 2021, City Council meeting.

SUGGESTED MOTION:

I move we recommend approval of the Preliminary Replat of the Century Coale Road Business Park subject to the condition that all comments are cleared prior to the August 24, 2021, City Council meeting.



Item 7.

Legend

 City Limits

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.



Operated by:
 City of Angleton
 121 S. Velasco St.
 Angleton, TX 77515
 979-849-4364

City of Angleton GIS Mapping

1" = 1,014'

July 13, 2021

Mr. Walter Reeves
Director of Development Services
City of Angleton
121 S. Velasco
Angleton, TX 77515

Re: On-Going Services
Preliminary Plat and Plan Review of Angleton Warehouse Development – 1st Submittal Review
Angleton, Texas
HDR Job No. 10283980 (2021)

Dear Mr. Reeves:

HDR Engineering, Inc. (HDR) has reviewed the plat and plans for the above referenced property and offers the following comments:

Preliminary Plat Review:

1. Remove additional language (indicated on the review plat drawing) in the engineer's certification block of the plat.
2. For the Owner's Acknowledgement certification, use the same full name of the Owner.
3. For the locations noted on the review drawings, verify if the areas on either side of the existing pipeline easement will be platted as open space reserves.
4. For the proposed sidewalk, verify if a pedestrian access easement will be required for the location of sidewalk shown along CR 220.
5. Provide an easement for the proposed detention pond outfall pipe.

Plan Review:

General Comments:

1. Provide a Cover Sheet for the Civil Drawings or overall project coversheet that provides a Sheet Index, Vicinity Map.
2. Verify private utilities have been contacted and will service the proposed subdivision.

Sheet C3 – Lot Grading Plan

1. For the paving information shown on the plan sheet, provide a reference to the Geotechnical Report prepared for the proposed development.

2. Provide proposed elevations for the driveway tie-in location to the CR 220 feeder/access road.
3. Label sidewalk width and provide hatching in sheet legend. Sidewalk to be 6-ft wide per Angleton LDC Sec. 23-14 a.

Sheet C4 – Detention Pond Layout

1. Notate the detention pond bottom slopes and the flow direction on the plan.
2. Reference the A.D.D. Drainage Study (Name, Date and Prepared By) on this sheet.
3. Provide design velocity information for the proposed force main.
4. Verify if there are any potential conflicts with the proposed outfall and the existing water line in the existing 20-ft easement.

Sheet C8 – Utility Plan

1. Label existing water line and sewer line with size on the plan.
2. Provide notation for utility crossing to meet TCEQ separation distances.
3. Provide an inset at a larger scale (i.e. 1"=10') on this sheet for the area noted on the review drawings to clearly show the connections and lines being proposed.
4. Verify location of 20-ft easement referenced. This should cover 20-ft from the property line to the north.
5. Provide cleanout and stack at the proposed connection.
6. Relocated fire hydrant shall be closer to property line.

The proposed plat and plans are incomplete. We are unable to complete the review until the recommended corrections/changes are made and the additional information requested is submitted. HDR recommends that the Angleton Warehouse Development plat and plans be revised and resubmitted.

If you have any questions, please feel free to contact us at our office (713)-622-9264.

Sincerely,

HDR Engineering, Inc.



Javier Vasquez, P.E., CFM
Civil Engineer

cc: Files (10283980 (2021))

Attachments

DEDICATION STATEMENT:

Now, therefore, know all men by these presents: that William W. Hall, Vice President of DBearden Investments-OP, LLC, Its General Partner, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as Century Coale Road Business Park, a subdivision in the jurisdiction of the City of Angleton, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, alleys and public parkland shown thereon. The streets, alleys and parkland are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over, or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Angleton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Angleton's use thereof. The City of Angleton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Angleton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time of procuring permission from anyone.

OWNER'S ACKNOWLEDGEMENT:

STATE OF TEXAS §
COUNTY OF BRAZORIA §

The owner of land shown on this plat, in person or through a duly authorized agent, dedicates to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.

STATE OF TEXAS §
COUNTY OF BRAZORIA §

Before me, the undersigned, personally appeared William W. Hall, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and, in the capacity, therein stated. Given under my hand and seal of office this ___ day of _____, 20__.

Notary Public
State of Texas

PLANNING AND ZONING COMMISSION AND CITY COUNCIL:

APPROVED this _____ day of _____, 20____, by the Planning and Zoning Commission, City of Angleton, Texas.

Bill Garwood, Chairman, Planning and Zoning Commission

Frances Aguilar, City Secretary

APPROVED this _____ day of _____, 20____, by the City Council, City of Angleton, Texas.

Jason Perez, Mayor

Frances Aguilar, City Secretary

STATE OF TEXAS §
COUNTY OF BRAZORIA §

This instrument was acknowledged before me on the ___ day of _____, 20____, by _____.

Frances Aguilar, City Secretary, City of Angleton, on behalf of the City.

Notary Public
State of Texas

FIELD NOTES FOR 9.273 ACRE

BEING A TRACT OF LAND CONTAINING 9.273 ACRE (403,935 SQUARE FEET), LOCATED WITHIN EDWIN WALLER SURVEY, ABSTRACT NUMBER (NO.) 134 IN BRAZORIA COUNTY, TEXAS, SAID 9.273 ACRE BEING THE REMAINDER OF LOT 1 OF AIRPORT MEADOWS SUBDIVISION, A SUBDIVISION OF RECORD IN VOLUME (VOL.) 21, PAGE (PG.) 235-236 OF THE BRAZORIA COUNTY PLAT RECORDS (B.C.P.R.), AND BEING THE REMAINDER OF A TRACT OF LAND RECORDED IN THE NAME OF THE SECOND BAPTIST CHURCH OF ANGLETON, UNDER BRAZORIA COUNTY CLERK'S FILE (B.C.C.F.) NO. 2002028127; SAID 9.273 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS):

BEGINNING AT 5/8-INCH IRON ROD WITH CAP STAMPED "GRUELLER" FOUND ON THE NORTH LINE OF COUNTY ROAD 220 (WIDTH VARIES PER B.C.C.F. NO. 2011020792 AND 2011011934), AT THE SOUTHEAST CORNER OF LOT 1, BLOCK 1 OF THE TEAL INDUSTRIAL ANGLETON BUSINESS PARK REPLAT, A SUBDIVISION OF RECORD UNDER PLAT NO. 2018047555 OF THE B.C.P.R., FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, THROUGH AND ACROSS SAID LOT 1 OF AIRPORT MEADOWS SUBDIVISION, WITH THE EAST LINE OF SAID LOT 1, BLOCK 1 AND RESTRICTED RESERVE "C" OF THE TEAL INDUSTRIAL ANGLETON BUSINESS PARK REPLAT, NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST, A DISTANCE OF 384.92 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "GRUELLER" FOUND AT AN INTERIOR CORNER OF SAID RESTRICTED RESERVE "C", FOR THE WESTERLY NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, CONTINUE THROUGH AND ACROSS SAID LOT 1 OF AIRPORT MEADOWS SUBDIVISION, WITH THE SOUTHERLY LINE OF SAID RESTRICTED RESERVE "C", NORTH 87 DEGREES 19 MINUTES 27 SECONDS EAST, A DISTANCE OF 256.00 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "GRUELLER" FOUND AT THE EAST SOUTHEAST CORNER OF SAID RESTRICTED RESERVE "C", FOR AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, CONTINUE THROUGH AND ACROSS SAID LOT 1 OF AIRPORT MEADOWS SUBDIVISION, WITH THE EAST LINE OF SAID RESTRICTED RESERVE "C", NORTH 02 DEGREES 40 MINUTES 33 SECONDS WEST, A DISTANCE OF 235.00 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "GRUELLER" FOUND ON THE SOUTH LINE OF A CALLED 6.172 ACRE TRACT RECORDED IN THE NAME OF L.A. PETERS CORPORATION UNDER VOL. 1356, PG. 431 OF THE BRAZORIA COUNTY DEED RECORDS (B.C.D.R.), AT THE NORTHEAST CORNER OF SAID RESTRICTED RESERVE "C", FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE NORTH LINE OF SAID LOT 1 OF AIRPORT MEADOWS SUBDIVISION, WITH THE SOUTH LINES OF SAID 6.172 ACRE TRACT AND A CALLED 2.890 ACRE TRACT RECORDED IN THE NAME OF L.A. PETERS CORPORATION UNDER VOL. 1356, PG. 428 OF THE B.C.D.R., NORTH 87 DEGREES 19 MINUTES 30 SECONDS EAST, A DISTANCE OF 462.19 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" SET AT THE NORTHWEST CORNER OF RESERVE "A" OF STRIPES ANGLETON, A SUBDIVISION OF RECORD UNDER PLAT NO. 2015009239 OF THE B.C.P.R., FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, THROUGH AND ACROSS SAID LOT 1 OF AIRPORT MEADOWS SUBDIVISION, WITH THE WEST LINE OF SAID RESERVE "A", THE FOLLOWING TWO (2) COURSES:

- 1. SOUTH 07 DEGREES 49 MINUTES 46 SECONDS EAST, A DISTANCE OF 441.44 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" SET FOR AN ANGLE POINT, FROM WHICH A FOUND 5/8-INCH IRON ROD WITH CAP STAMPED "HAGAN" BEARS NORTH 21 DEGREES 03 MINUTES WEST, A DISTANCE OF 0.8 FEET;
- 2. SOUTH 03 DEGREES 58 MINUTES 33 SECONDS EAST, A DISTANCE OF 187.25 FEET TO A 5/8-INCH IRON ROD WITH CAP STAMPED "BAKER & LAWSON" SET ON THE NORTH LINE OF SAID COUNTY ROAD 220, AT A SOUTHWESTERLY CORNER OF SAID RESERVE "A", FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH THE SOUTH LINE OF SAID LOT 1 OF AIRPORT MEADOWS SUBDIVISION, AND NORTH LINE OF SAID COUNTY ROAD 220, SOUTH 87 DEGREES 50 MINUTES 46 SECONDS WEST, A DISTANCE OF 762.12 FEET TO THE POINT OF BEGINNING AND CONTAINING 9.273 ACRES OF LAND.

DRAINAGE AND DETENTION EASEMENT:

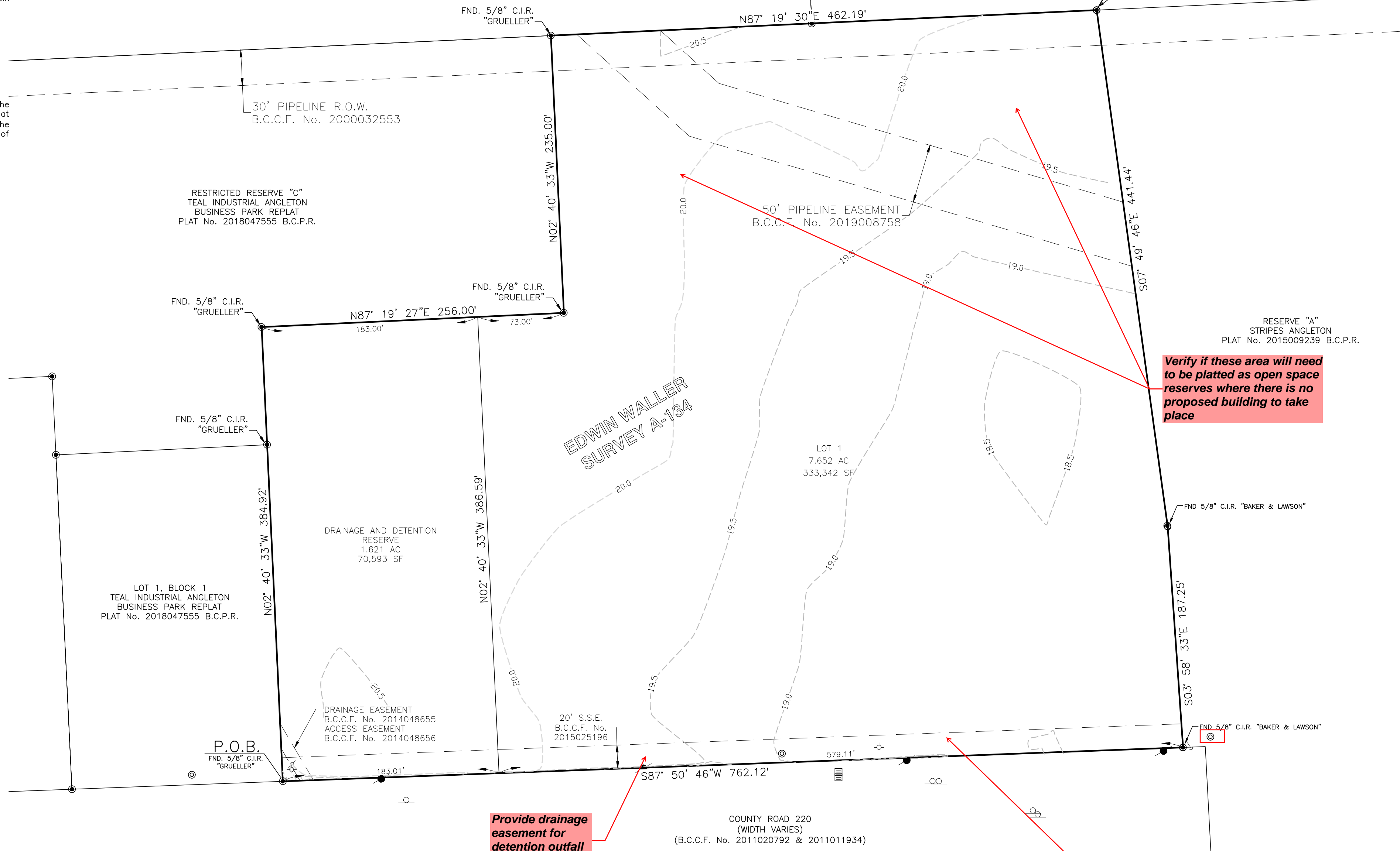
This plat submitted by the owners ("Owners") and approved by the City of Angleton ("City"), is subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors, and assigns: All Drainage Easements shown on the plat are hereby reserved for drainage purposes forever, and the maintenance of the said drainage easements shall be the responsibility of the Owners, or their assigns, in perpetuity. The City, and Angleton Drainage District, are not responsible for the maintenance and operation of any drainage easement or responsible for any damage or injury to private property or person that results from the flow of water along said drainage easement, but reserve the right to use enforcement power to ensure that drainage easement is properly functioning in the manner in which it was designed and approved. The construction of a fence, building, or any other structure in the drainage easement is prohibited without the expressed written consent of the City, subject to such an improvement not having a detrimental impact on the functionality of the drainage easement as it was designed and approved. The City and Angleton Drainage District reserves the right, but not the obligation, to enter upon any Drainage Easement at any point, or points, with all rights of ingress and egress, to investigate, survey, erect, construct, or maintain any drainage facility deemed necessary by for drainage and safety purposes. The Owners shall keep all Drainage Easements clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City of Angleton or Angleton Drainage District shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the Owners to alleviate any public health or safety issues. The Owners hereby agree to indemnify and hold harmless the City from any such damages and injuries.

FIRE LANE AND FIRE EASEMENT

That the undersigned does hereby covenant and agree that they shall construct upon the fire lane easements, as dedicated and shown hereon, a hard all-weather surface and that they shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of paving on the fire lane easements is the responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The police or his duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for Fire Department and emergency use.

Use the same name on all parts of the certificate.

Bill Hall



Provide drainage easement for detention outfall pipe

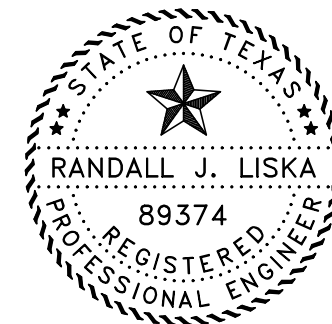
Verify if these area will need to be platted as open space reserves where there is no proposed building to take place

Provide a pedestrian access easement where proposed sidewalk will be placed

Remove text from certification

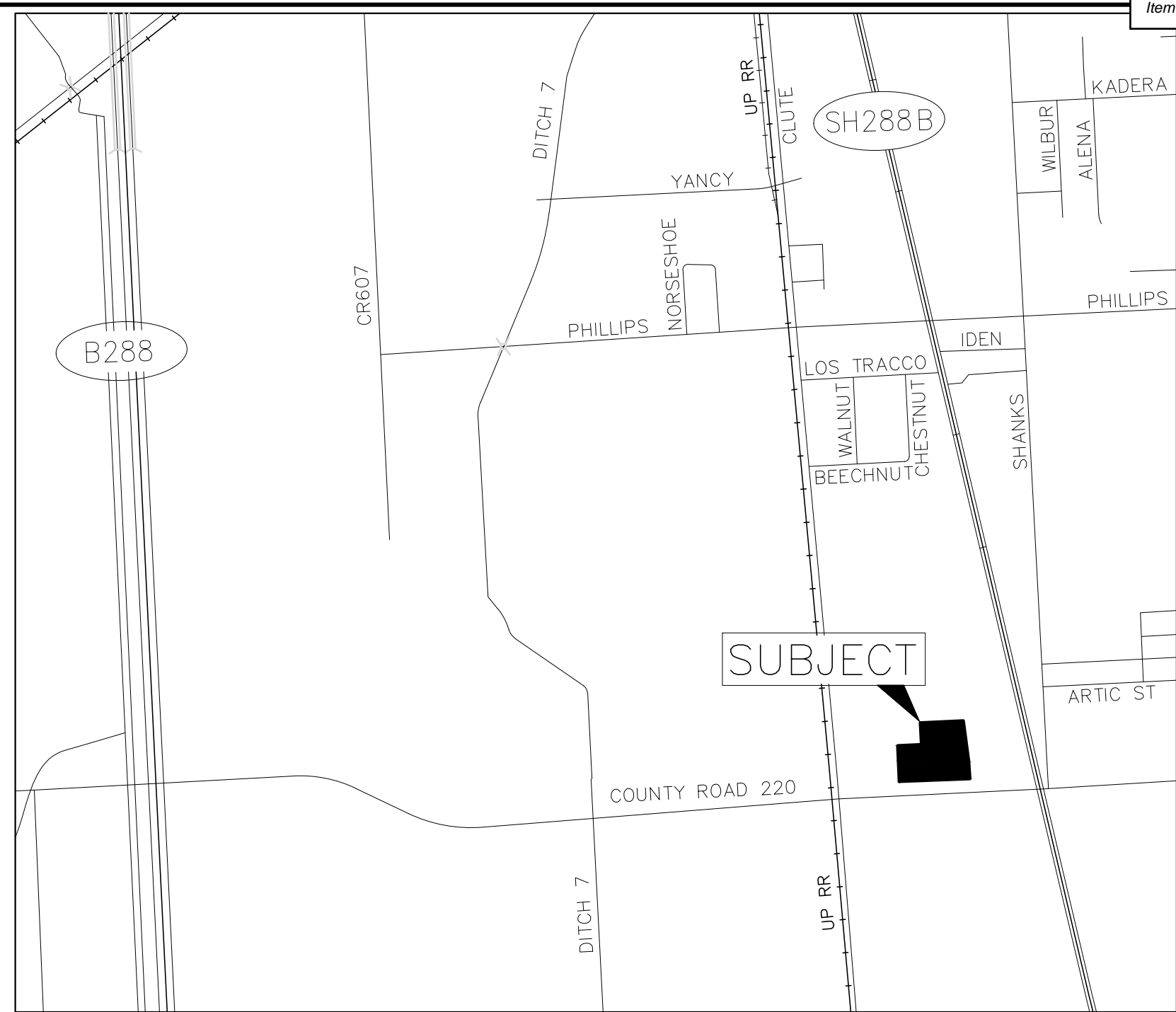
KNOW ALL MEN BY THESE PRESENTS: That I, Randall J. Liska, do hereby certify that proper engineering consideration has been provided in this plat. To the best of my knowledge, this plat conforms to all requirements of the Angleton LDC, except for any variances that were expressly granted by the City Council this plat from actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL DOCUMENT. FOR REVIEW: 05/10/2021
SIGNED: RANDALL J. LISKA, PROFESSIONAL ENGINEER, TEXAS REGISTRATION NO. 89374



KNOW ALL MEN BY THESE PRESENTS: That I, Devin R. Royal, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL DOCUMENT. FOR REVIEW: 05/10/2021
SIGNED: DEVIN R. ROYAL, REGISTERED PROFESSIONAL LAND SURVEYOR, TEXAS REGISTRATION NO. 6667



NOTES:

- 1. ALL BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD-83, U.S. SURVEY FEET.
- 2. FLOOD ZONE STATEMENT: THE SURVEYOR NAMED HERON HAS EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR BRAZORIA COUNTY: MAP NUMBER 48039C0445K, WITH EFFECTIVE DATE OF DECEMBER 30, 2020, AND THAT MAP INDICATES THAT THE PROPERTY SURVEYED IS WITHIN ZONE "X" (WHITE), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN. WARNING: THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, AND WILL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- 3. NGS MONUMENT (PID A1178) A BRASS DISK SET IN CONCRETE ON THE NORTH SIDE OF COUNTY ROAD 290, APPROXIMATELY 0.8 MILE NORTHEAST OF INTERSECTION OF SH 288 ELEVATION = 25.81 FEET NGVD29
- 4. THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES OR SUBSURFACE CONDITIONS OTHER THAN THOSE SHOWN MAY AFFECT THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHOWN HEREON.
- 5. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ANGLETON AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- 6. NOTICE: PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
- 7. NOTICE: THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE CITY OF ANGLETON IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
- 8. NOTICE: APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
- 9. NOTICE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF ANGLETON MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
- 10. NOTICE: IT IS THE RESPONSIBILITY OF THE DEVELOPER, OR PROPERTY OWNER(S), TO MAINTAIN THE DETENTION RESERVE TRACT PER ANGLETON LDC REQUIREMENTS (SEC. 23-19 RESERVATIONS).
- 11. THE PURPOSE OF THIS REPLAT IS TO ESTABLISH LIMITS OF A DETENTION RESERVE.

LEGEND

- B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
- B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
- B.C.P.R. = BRAZORIA COUNTY PLAT RECORDS
- B.L. = BUILDING LINE
- BM = BENCHMARK
- D.A.D.E. = DRAINAGE AND DETENTION EASEMENT
- U.E. = UTILITY EASEMENT
- AC. = ACRES
- NO. = NUMBER
- FND. = FOUND
- C.I.R. = IRON ROD W/CAP
- I.R. = IRON ROD
- I.P. = IRON PIPE
- P.O.B. = POINT OF BEGINNING
- R.O.W. = RIGHT-OF-WAY
- VOL., PG. = VOLUME, PAGE

SYMBOLS

- = SET 5/8" I.R. W/CAP "BAKER & LAWSON"
- ⊙ = FOUND MONUMENT (AS NOTED)
- ⊕ = (TBM) TEMPORARY BENCHMARK

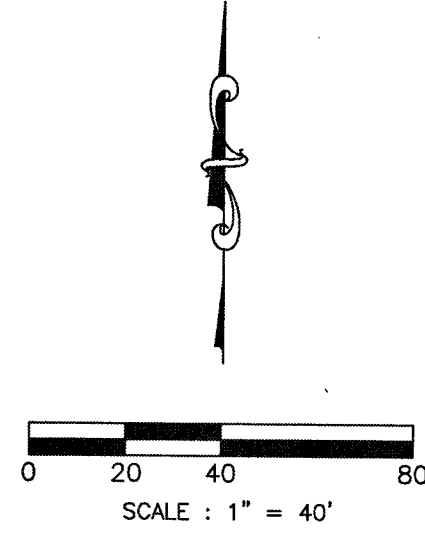
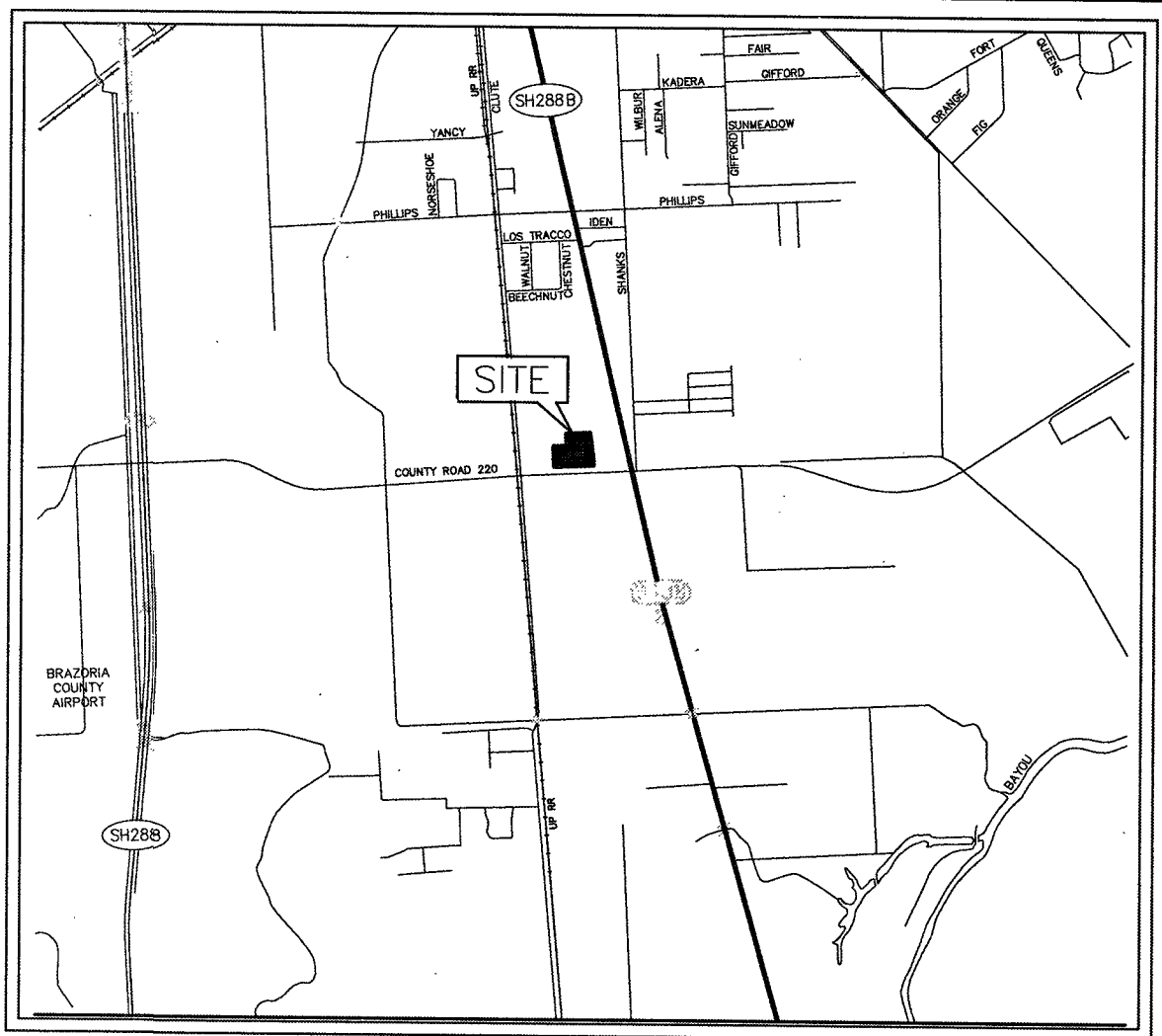
OWNER:
DBearden Investments-OP, LLC,
ITS GENERAL PARTNER
223 HULL LANE
SUGARLAND TX, 77498

REVISED: PRELIMINARY REPLAT CENTURY COALE ROAD BUSINESS PARK A 9.273 ACRE, 1-LOT, 1 RESERVE, 1 BLOCK SUBDIVISION REMAINDER OF LOT 1 OF AIRPORT MEADOWS SUBDIVISION VOL. 21, Pg. 235-236 B.C.P.R. LOCATED IN THE EDWIN WALLER SURVEY, ABSTRACT No. 134 IN BRAZORIA COUNTY, TEXAS

B & L BAKER & LAWSON, INC. ENGINEERS • PLANNERS • SURVEYORS

300 EAST CEDAR ST. ANGLETON, TEXAS 77515 OFFICE: (979) 849-6681 TBPLS No. 10052500 REG. NO. F-825

PROJECT NO.: 12943 SCALE: 1" = 60' DRAWN BY: MS
DRAWING NO.: 12943-PLAT DATE: 05/10/2021 CHECKED BY: DRR



1. REFERENCE BENCHMARK:
NGS MONUMENT ANGLETON (AW1178) - A BRASS DISK SET IN CONCRETE ON THE NORTH SIDE OF COUNTY ROAD 290. APPROXIMATELY 0.8 MILE NORTHEAST OF INTERSECTION OF SH 288. ELEVATION = 25.81 FEET, NGVD29
2. SITE BENCHMARK:
A 60D NAIL SET IN A POWERPOLE ON THE NORTH LINE OF COUNTY ROAD 220, APPROXIMATELY 300' EAST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT. ELEVATION = 20.59 FEET, NGVD29
3. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, G.F. No. 18000332276, EFFECTIVE DATE OF FEBRUARY 27, 2019, ISSUED DATE OF MARCH 12, 2019, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SURVEYED PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
4. ALL BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE, PER GPS OBSERVATIONS.
5. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP No. 48039C0445H, REVISED DATE OF JUNE 18, 2007, THE SURVEYED PROPERTY LIES WITHIN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LEGEND

- A.E. = AERIAL EASEMENT
- B.C.C.F. = BRAZORIA COUNTY CLERK'S FILE
- B.C.D.R. = BRAZORIA COUNTY DEED RECORDS
- B.C.P.R. = BRAZORIA COUNTY PLAT RECORDS
- B.L. = BUILDING LINE
- BM = BENCHMARK
- C.I.R. = CAPED IRON ROD
- E.E. = ELECTRIC EASEMENT
- FND = FOUND
- I.R. = IRON ROD
- I.P. = IRON PIPE
- MH = MANHOLE
- No. = NUMBER
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- R.O.W. = RIGHT-OF-WAY
- S.F. = SQUARE FEET
- S.S.E. = SANITARY SEWER EASEMENT
- STM.S.E. = STORM SEWER EASEMENT
- U.E. = UTILITY EASEMENT
- VOL., Pg. = VOLUME, PAGE
- W.L.E. = WATER LINE EASEMENT
- BXC = BOX CULVERT
- CONC = CONCRETE
- FL = FLOWLINE
- FO = FIBER OPTIC
- GT = GUTTER
- OHP = OVERHEAD ELECTRIC POWER
- RCP = REINFORCED CONCRETE PIPE
- SAN = SANITARY
- SEW = SEWER
- STM = STORM

SYMBOLS

- = FOUND MONUMENT AS NOTED
- = SET 5/8" C.I.R. "BAKER & LAWSON"
- = WATER VALVE
- ⊕ = FIRE HYDRANT
- = POWER POLE
- = SIGN
- = PIPELINE MARKER
- = MANHOLE
- = GRATE INLET

EXIST SHEET FLOW PATH

NOTE: THERE ARE NO HERITAGE OR SIGNIFICANT TREES LOCATED ON THE SITE

EXISTING CONDITIONS

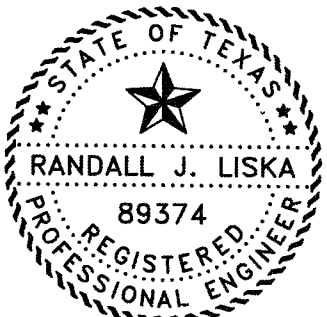
CONSULTANT revisions

ANGLETON WAREHOUSE DEVELOPMENT

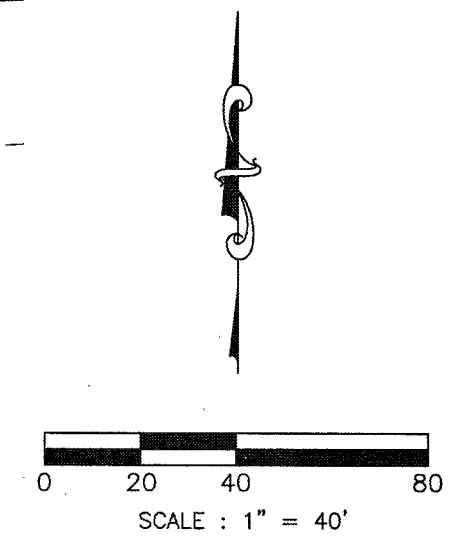
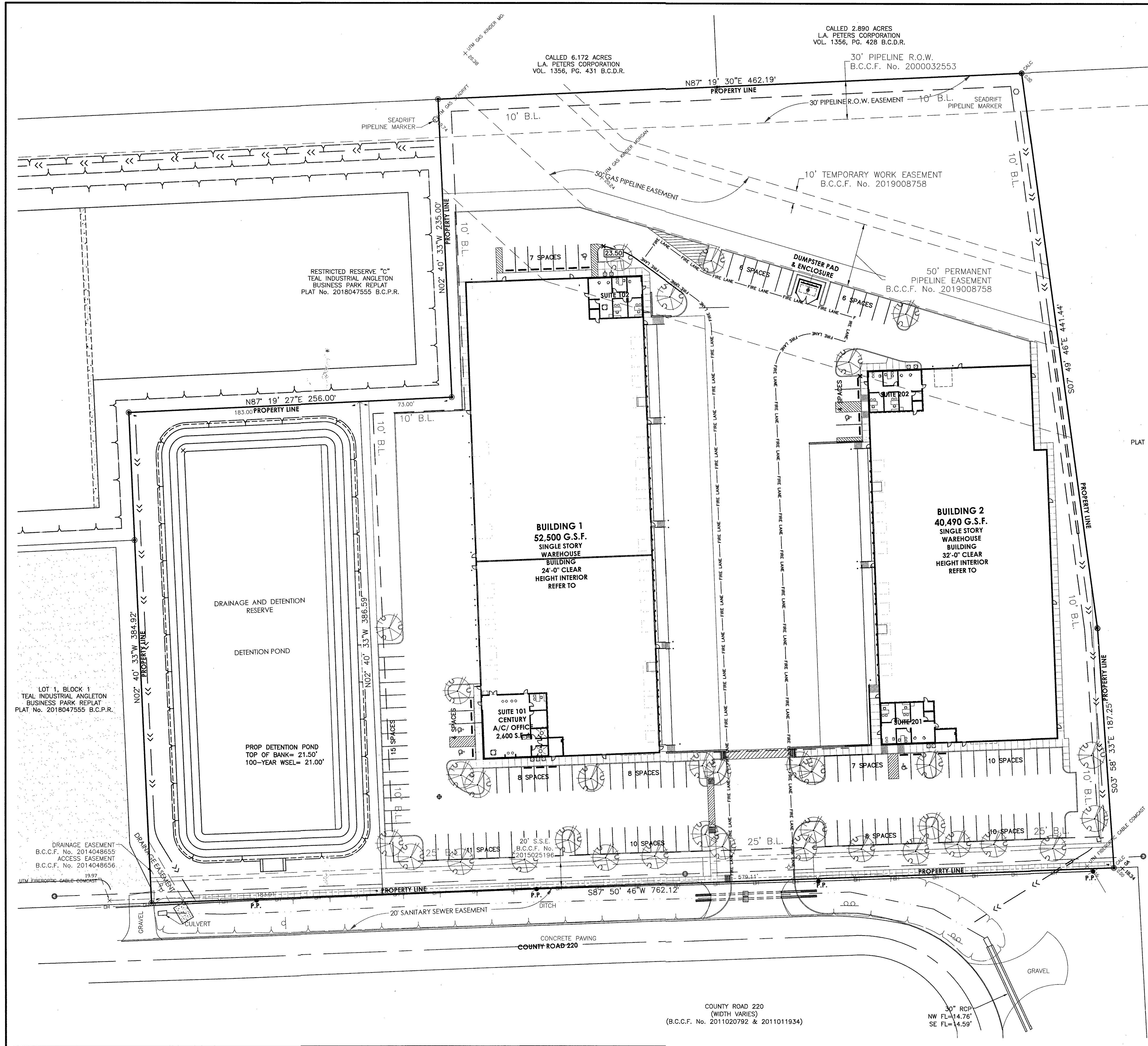
2151 County Road 220, Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
date 05-07-21
drawn by RL/BB
checked by RL
sheet number C1



The seal appearing on this document was authorized by
Randall J. Liska
P.E. 89374
Date: May 10, 2021



PROPOSED ZONING: LI
 MIN LOT AREA = 10,000 SF PER UNIT
 MIN LOT DEPTH = 100 FT
 MIN LOT WIDTH = 100 FT
 25' FRONT YARD
 10' SIDE YARD
 10' REAR YARD
 30' REAR YARD WHEN ADJACENT TO RESIDENTIAL
 30' SIDE YARD WHEN ADJACENT TO RESIDENTIAL

PARKING REQUIREMENT
 1 SPACE PER 300 SF OF OFFICE AREA
 1 SPACE PER 1,000 SF OF WAREHOUSE AREA

TOTAL OFFICE AREA = 6,950 SF
 TOTAL WAREHOUSE AREA = 86,040 SF

REQUIRED PARKING FOR OFFICE AREA = 6,950 / 300 = 23.1 SPACES
 REQUIRED PARKING FOR WAREHOUSE AREA = 86,040 / 1,000 = 86.0 SPACES
 REQUIRED HANDICAP PARKING = 5

PROPOSED PARKING LOT COUNT
 112 SPACES (107 REGULAR, & 5 HANDICAP)

RESERVE "A"
 STRIPES ANGLETON
 PLAT No. 2015009239 B.C.P.R.

NOTE:
 THERE ARE NO SIGNIFICANT TREES
 LOCATED ON THE SITE

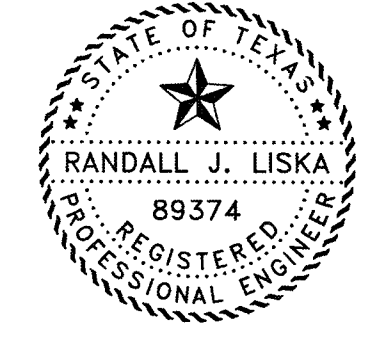
SITE PLAN

CONSULTANT revisions
B&L
 BAKER & LAWSON, INC.
 ENGINEERS - PLANNERS - SURVEYORS
 300 E. CEDAR ST. ANGLETON, TEXAS 77515
 PHONE: (979) 949-8881 FAX: (979) 949-4689
 REG. NO. F-825

ANGLETON WAREHOUSE DEVELOPMENT
 2151 County Road 220,
 Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
 date 05-07-21
 drawn by RL/BB
 checked by RL
 sheet number
C1A
 Beatty Palmer Architects, Inc.
 110 Broadway, Suite 600
 San Antonio, Texas 78205
 voice 210.212.8022
 fax 210.212.8018
 www.beatypalmer.com
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The seal appearing on
 this document was
 authorized by
 Randall J. Liska
 P.E. 89374
 Date: May 26, 2021

GENERAL CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL NOTIFY THE "UNDERGROUND UTILITY COORDINATING COMMITTEE" TELEPHONE NO. (979) 849-4364 AND THE CITY OF ANGLETON TELEPHONE NO. (979) 849-4364 48 HOURS BEFORE STARTING WORK IN STREET RIGHT-OF-WAYS OR EASEMENTS.
2. ALL EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED TO BE COMPLETE OR DEFINITE, BUT WERE OBTAINED FROM INFORMATION AVAILABLE, CONTRACTOR HAS SOLE RESPONSIBILITY FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS.
3. CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUBPART P AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989.
4. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD MOST RECENT EDITION AS REVISED) DURING CONSTRUCTION.
5. CONTRACTOR SHALL COVER OPEN EXCAVATIONS IN PUBLIC STREETS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS.
6. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY.
7. EXISTING PAVEMENTS, CURBS, SIDEWALKS, CULVERTS AND DRIVEWAYS (ADJACENT TO THE WORK) DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO EQUAL OR BETTER THAN THEIR ORIGINAL CONDITION AT CONTRACTOR EXPENSE.
8. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK.
9. ALIGNMENT, CENTERLINE CURVE DATA AND STATIONING TO BE VERIFIED BY ON-THE-GROUND SURVEY FROM APPROVED PLAT (OR APPROVED PLAT FOR OFF SITE EASEMENTS), AND ELEVATIONS OF ALL CONNECTIONS TO EXISTING FACILITIES TO BE CONFIRMED PRIOR TO WORK START.
10. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK.
12. ALL UTILITY TRENCHES TO BE BACK FILLED TO 90 PERCENT (90%) STANDARD PROCTOR DENSITY UNLESS OTHERWISE NOTED.
13. ALL SURVEY, LAYOUT, MEASUREMENT, AND GRADE STAKE WORK SHALL BE PERFORMED BY BAKER & LAWSON, INC. AS PART OF THE WORK UNDER THIS CONTACT.
14. BAKER & LAWSON, INC. WILL PROVIDE EXPERIENCED INSTRUMENT PERSONNEL, COMPETENT ASSISTANTS, AND SUCH INSTRUMENTS, TOOLS, STAKES, AND OTHER MATERIALS REQUIRED TO COMPLETE THE SURVEY, LAYOUT AND MEASUREMENT WORK.
15. CONSTRUCTION DEBRIS AND OTHER UNCLASSIFIED UNSUITABLE EXCESS MATERIAL SHALL BE HAULED TO A STATE APPROVED DISPOSAL SITE OR AS DIRECTED BY THE ENGINEER.
16. PLAN QUANTITIES WILL BE USED FOR FINAL PAYMENT UNLESS DESIGN CHANGES ARE MADE DURING CONSTRUCTION.

CONSTRUCTION NOTES FOR PAVING & DRAINAGE

- 1. GUIDELINES SET FORTH IN THE MANUAL ON UNIFORM CONTROL DEVICES SHALL BE OBSERVED.
2. FILL SHALL BE PLACED IN MAXIMUM 8" LOOSE LIFTS AND COMPACTED TO 95% OF OPTIMUM DENSITY AS DETERMINED USING TESTING METHOD ASTM D698.
3. CONTRACTOR RESPONSIBLE FOR MAINTAINING BARRICADES TO PREVENT TRAFFIC FROM USING NEW PAVEMENT UNTIL PROJECT IS COMPLETED AND ACCEPTED BY PROPER AUTHORITY OR AS AUTHORIZED BY ENGINEER.
4. B-B INDICATES ROAD WIDTH TO BACK OF CURB. CURB RADII ARE TO FACE OF CURB. T.C. INDICATES TOP OF CURB ELEVATIONS (BASED ON 4" CURB UNLESS OTHERWISE NOTED) T.P. INDICATES TOP OF PAVEMENT ELEVATION.
5. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT MAXIMUM SPACING OF 60-FOOT INTERVALS (SAWCUTS @ 2' (2 1/2" DEEP), LONGITUDINAL JOINTS SHALL BE AT MAXIMUM OF 14-FOOT SPACING. WOOD JOINT SHALL BE SOUND HEART REDWOOD.
6. 6-INCH CONCRETE PAVEMENT TO BE 5.5 SACK MIX MIN. (3,500 PSI) REINFORCING STEEL TO CONFORM TO ASTM A-615, GRADE 60. PROVIDE MINIMUM 18-INCH LAPS. (36 BAR DIA)
7. SAW CUT TO EXPOSE EXISTING LONGITUDINAL STEEL REQUIRED TO CREATE A MINIMUM TWELVE-INCH (12") OVERLAP OF PROPOSED AND EXISTING LONGITUDINAL REINFORCING STEEL WHEN MAKING A CONNECTION TO EXISTING CONCRETE PAVEMENT.
8. USE PLASTIC CHAIRS TO SUPPORT REINFORCEMENT AT 24-INCH SPACING EACH WAY.
9. SUBGRADE TO BE STABILIZED 2-FOOT BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. EXCESS LIME STABILIZED SOIL SHALL BE UTILIZED IN THE PREPARATION OF SUBGRADE FOR DRIVEWAYS.
10. USE CONTINUOUS LONGITUDINAL REINFORCING BAR IN CURB.
11. BACK FILL AND BEDDING FOR HEADWALL STRUCTURES, TYPE "C" INLETS, R.C.P. LEADS AND STORM SEWERS SHALL BE WITH 1.5 SACK CEMENT. STABILIZED SAND SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90% OF DENSITY DETERMINED BY STANDARD MOISTURE-DENSITY RELATION (ASTM D-998) AT OPTIMUM MOISTURE AND SHALL BE PLACED AND FINISHED WITHIN 3 HRS. OF MIXING.
12. THE SUBGRADE SHALL BE BROUGHT TO THE REQUIRED GRADE BY THE USE OF GRADE STAKES (BLUE TOPS) AND APPROVED BY THE ENGINEER BEFORE LIME IS APPLIED.

- 13. RATE OF APPLICATION FOR LIME SHALL BE SEVEN PERCENT (7%) OF THE DRY WEIGHT OF SOIL (QUALITY BASE ON 100 #/ C.F.) OR THIRTY ONE AND ONE HALF (31.5) POUNDS PER SQUARE YARD FOR SIX (6) INCH STABILIZED SUBGRADE.
14. FORMS SHALL BE EITHER WOOD OR STEEL, OF GOOD QUALITY, FREE OF WARP AND SUFFICIENTLY STAKED TO AVOID SHIFTING WHEN LOAD IS APPLIED.
15. REINFORCING SHALL BE SECURELY TIED AT ALL INTERSECTIONS AND SPLICES.
16. PRIOR TO CONCRETE PLACEMENT, CONTRACTOR SHALL PRESENT A CERTIFIED COPY OF TOP OF FORM GRADES TO THE ENGINEER FOR REVIEW AND APPROVAL.
17. CONCRETE FOR STREET PAVEMENTS SHALL BE "CLASS A" CONCRETE, SHALL NOT HAVE LESS THAN FIVE AND ONE HALF (5 1/2) SACKS OF CEMENT PER CUBIC YARD, AND SHALL NOT HAVE MORE THAN SIX AND ONE HALF (6 1/2) GALLONS OF WATER PER SACK OF CEMENT.
18. FLY ASH SHALL MAKE UP FROM 20-25% BY VOLUME OF THE SPECIFIED CEMENT VOLUME AND SHALL CONFORM TO ASTM C 618, CLASS C.
19. CURING COMPOUND SHALL BE TYPE II WITH WHITE PIGMENT.
20. EXPANSION JOINTS SHALL BE CLEANED, WIRE BRUSHED, BLOWN OR FLAME DRIED SEALED WITH AN APPROVED LIST RUBBERIZED JOINT SEALANT OR A TWO (2) COMPONENT POLYMERIC SELF-LEVELING COLD-APPLIED SEALANT.
21. CONTRACTOR WILL NOT PERMIT TRAFFIC ON NEW CONCRETE PAVEMENT UNTIL BOTH A MINIMUM OF SEVEN (7) CURING DAYS AND MODULUS OF RUPTURE STRENGTH OF THREE THOUSAND FIVE HUNDRED (3500) P.S.I. TAKES PLACE OR AS APPROVED BY THE ENGINEER/PUBLIC WORKS DEPARTMENT.
22. CONCRETE FOR CURB SHALL BE A 3000 P.S.I. PERFORMANCE STRENGTH CONCRETE WITH A MINIMUM FIVE (5) SACK CEMENT PER CUBIC YARD CONTENT.
23. A CONCRETE MIX DESIGN OF CONCRETE PLUS FLY ASH MAY BE SUBSTITUTED IN LIEU OF THE STANDARD CONCRETE BATCH DESIGN.
24. ALL PAVEMENT SAW CUT REQUIRED IN THE PLANS SHALL BE CONSIDERED SUBSIDIARY TO THE PAVING REMOVAL PAY ITEM REQUIRING IT.
25. BLOCK SOD SHALL BE PLACED 16" (ONE BLOCK WIDTH) WIDE ALONG THE EDGE OF ALL NEWLY CONSTRUCTED CURBS AND TO DRIVEWAY REPLACEMENT LIMITS.
26. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANALYZING WEATHER CONDITIONS AND TO SUSPEND OPERATIONS DURING PERIODS WHEN ADVERSE WEATHER CONDITIONS APPEAR LIKELY.

WASTEWATER CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL PROVIDE RECORD OF LOCATION OF ALL STACKS, STUBS, LEADS, ETC. TO CITY OF ANGLETON.
2. SEPARATION DISTANCES FOR ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS" SECTION 317.20, LATEST PRINTING.
3. MAINTAIN 12-INCH MINIMUM VERTICAL CLEARANCE AT CROSSINGS BETWEEN SANITARY SEWERS AND CULVERTS, UNLESS OTHERWISE NOTED.
4. WHERE SANITARY SEWER LINE CROSSES A WATER LINE WITH LESS THAN 9- FEET BUT MORE THAN 6-INCHES VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF PRESSURE RATED P.V.C. SANITARY SEWER (ASTM D2241, CLASS 150, SDR 26) CENTERED ON WATER LINE.
5. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY UNSUITABLE TRENCH CONDITIONS.
6. SANITARY SEWER LEADS UNDER OR WITHIN 1' OF EXISTING OR FUTURE PAVEMENT SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND UP TO WITHIN 1" OF TOP OF PAVING SUBGRADE.
7. LOW PRESSURE AIR TEST SHALL BE CONDUCTED PER TNRC TAC 317.2. HOLDING TIMES SHALL BE AS ESTABLISHED BY TNRC. CONTRACTOR TO PROVIDE TEST PLUGS AND RISERS. NO SEPARATE PAY.

- 8. CONTRACTOR TO OPEN CUT ALL SANITARY SEWER CONSTRUCTION UNLESS NOTE OTHER WISE, SEWER SERVICES TO BE INSTALLED FULL WIDTH OF ROADWAY-NO HALF STREET INSTALLATIONS.
9. CONTRACTOR SHALL AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED SERVICE AND SHALL AVOID OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.
10. ALL SINGLE AND DOUBLE SERVICE LEAD SHALL BE A MINIMUM SIX INCH (6") UNLESS OTHERWISE DIRECTED BY THE ENGINEER/PUBLIC WORKS AND/OR FIELD ADJUSTED BY THE UTILITY DEPARTMENT IN THE FUTURE.

WATER CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN CONTRACT DOCUMENTS.
2. SEPARATION DISTANCES OF ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWAGE SYSTEMS," SECTION 317.20, LATEST PRINTING.
3. ALL 4" THROUGH 12" WATER MAINS TO BE P.V.C. PIPE, AWWA C-900, CLASS 150, SDR 18, MEETING THE REQUIREMENTS OF ANSI/NSF 61 UNLESS OTHERWISE NOTED.
4. WATER LINES UNDER OR WITHIN 1 FEET OF NEW OR EXISTING PAVEMENTS (STREETS AND DRIVEWAYS) SHALL BE BACK FILLED WITH CEMENT STABILIZED SAND AS SPECIFIED IN THE CONSTRUCTION DETAIL.
5. PROVIDE A MINIMUM SIX-INCHES (6") OF CLEARANCE AT STORM SEWER AND WATER LINE CROSSINGS.
6. 4-INCH THROUGH 12-INCH LINES TO HAVE A MINIMUM OF 4"-0" COVER BELOW TOP OF CURB.
7. CENTERLINE OF FIRE HYDRANT TO BE LOCATED AT 3' FROM BACK OF CURB WITH CENTERLINE OF STEAMER NOZZLE 22 INCHES ABOVE FINISHED GRADE.
8. WHERE WATER LINE CROSSES SANITARY SEWER LINE OR LEAD WITH LESS THAN NINE FEET (9') VERTICAL SEPARATION, PROVIDE ONE MINIMUM 18-FOOT JOINT OF WATER LINE CENTERED ON LEAD.
9. THE CONTRACTOR AT ALL TIMES PROVIDE MAXIMUM UNINTERRUPTED FLOW TO ALL SERVICES AND MAINS AND SHALL AVOID OF ANY ROUTING METHOD AND EQUIPMENT TO ACCOMPLISH THIS.

CENTERPOINT ENERGY / ENTEX NOTES

CAUTION: UNDERGROUND GAS FACILITIES

LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY, INTRASTATE PIPELINE, LLC. WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE NOT USUALLY SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION, IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE.

- * WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (800) 752-8036 OR (713) 659-2111 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.
* WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, PROTECTION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
* WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
* FOR EMERGENCIES REGARDING GAS LINES CALL (800) 659-2111 OR (713) 659-2111.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN, IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-5769.

WARNING: OVERHEAD ELECTRICAL FACILITIES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH & SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW.

SBC NOTES

THE LOCATIONS OF SOUTHWESTERN BELL TELEPHONE CO. UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.

TEXAS NEW MEXICO POWER NOTES

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN SIX (6) FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS, ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED CALL TEXAS NEW MEXICO POWER AT (979) 345-5667.

GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ANGLETON CONSTRUCTION MANUAL (ACM) AND LAND DEVELOPMENT CODE, HEREAFTER REFERRED TO AS THE ACM AND THE LDC.
2. APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT.
3. ALL RESPONSIBILITY FOR DESIGN RESTS ON ENGINEER WHO PREPARED THEM, IN APPROVING THESE PLANS, THE CITY MUST RELY ON THE ADEQUACY AND ACCURACY OF THE DESIGN ENGINEER.
4. DESIGNS SHALL BE IN COMPLETE COMPLIANCE WITH THE LDC AND THE ACM, ANY WAIVER, DEVIATION, VARIANCE, OR EXCEPTION FROM ANY SPECIFIC REQUIREMENT(S) OF THE LDC OR ACM THAT WERE NOT EXPRESSLY REQUESTED WHEN PLANS ARE SUBMITTED, SHALL NOT BE CONSTRUED TO HAVE BEEN GRANTED IF PLANS ARE APPROVED.
5. A MINIMUM OF TWO EXISTING BENCHMARKS SHOULD BE SHOWN ON THE PLANS.
6. CAST BRONZE SURVEY MARKERS SHALL BE PLACED IN CONCRETE IN PERMANENT, ACCESSIBLE LOCATIONS AT THE TIME OF CONSTRUCTION.
7. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY, THE DEVELOPER'S CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES.
8. THE CONTRACTOR SHALL PROVIDE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
9. BARRICADES, BUILT TO CITY SPECIFICATIONS, SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB SAFETY.
10. IF BLASTING IS PLANNED, A BLASTING PERMIT MUST BE SECURED PRIOR TO COMMENCEMENT OF ANY BLASTING.
11. ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SUBDIVISION.
12. THE LOCATION OF ANY WATER OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE PUBLIC WORKS DEPARTMENT.
13. USE ONE CALL UTILITY SYSTEM: DIAL 1-800-344-8377, 48 HOURS BEFORE YOU DIG.
14. ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE. SPECIAL NOTES FOR PLANS, WHEN APPLICABLE.
15. CONSTRUCTED STREET SECTIONS SHALL SHOW THE FOLLOWING:
a. PROVIDE STREET NAMES, WIDTH OF R.O.W., OR OTHER METHODS TO IDENTIFY PROPOSED DESIGN OF DIFFERENT PAVEMENT THICKNESS.
b. MANHOLE FRAMES, COVERS, AND WATER VALVE COVERS WILL BE RAISED TO FINISHED PAVEMENT GRADE AT THE OWNER'S EXPENSE BY A QUALIFIED CONTRACTOR WITH CITY INSPECTION.
c. CROWNS OF INTERSECTING STREETS WILL CULMINATE IN A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED.
d. PRIOR TO FINAL ACCEPTANCE OF A STREET OUTSIDE THE CITY LIMITS, STREET NAME SIGNS CONFORMING TO COUNTY STANDARDS SHALL BE INSTALLED BY DEVELOPER.
e. SIDEWALK REQUIREMENTS (GIVE STREET NAME AND LOCATION OF REQUIRED SIDEWALK, I.E., NORTH, SOUTH, EAST, OR WEST SIDE).
f. A CURB LAY DOWN WHERE REQUIRED WHEN ALL POINTS OF SIDEWALKS INTERSECTS CURBS.
g. INSIDE THE CITY LIMITS, SIDEWALKS SHALL BE COMPLETED PRIOR TO ACCEPTANCE OF ANY DRIVEWAY APPROACHES AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
h. A LICENSE AGREEMENT FOR LANDSCAPING MAINTENANCE AND IRRIGATION IN STREET R.O.W. SHALL BE EXECUTED BY THE DEVELOPER IN PARTY WITH THE CITY PRIOR TO FINAL ACCEPTANCE.

- 16. CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

CONSTRUCTION SEQUENCING

CALL THE CITY 48 HOURS PRIOR TO BEGINNING ANY WORK AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY AND ALL AFFECTED UTILITY PROVIDERS, THE GENERAL CONTRACTOR, THE DEVELOPER AND THE DEVELOPER'S ENGINEER.

- PROVIDE THE CITY WITH EVIDENCE ALL TOCQ LICENSES AND REQUIREMENTS ARE UP TO DATE.
INSTALL TEMPORARY EROSION CONTROLS AND TREE PROTECTION FENCING PRIOR TO ANY CLEARING AND GRUBBING.
ROUGH-CUT ALL REQUIRED OR NECESSARY PONDS.
DELIVER APPROVED ROUGH-CUT SHEETS TO THE CITY ENGINEER PRIOR TO CLEARING AND GRUBBING.
ROUGH GRADE STREETS. NO DEVELOPMENT OF EMBANKMENT WILL BE PERMITTED AT THIS TIME.
INSTALL ALL UTILITIES TO BE LOCATED UNDER THE PROPOSED PAVEMENT OR WITHIN THE ROAD RIGHT-OF-WAY.
DELIVER STORM SEWER CUT SHEETS TO THE CITY ENGINEER.
BEGIN INSTALLATION OF STORM SEWER LINES.
DELIVER FINAL GRADE CUT SHEETS TO THE CITY ENGINEER.
RE-GRADE STREETS TO SUB-GRADE.
ENSURE THAT UNDERGROUND UTILITY CROSSINGS ARE COMPLETED.
INSTALL CURB AND GUTTER
LAY FINAL BASE COURSE ON ALL STREETS.
PLACE CONCRETE.
COMPLETE FINAL GRADING AND RESTORATION OF DETENTION, SEDIMENTATION/FILTRATION PONDS.
COMPLETE PERMANENT EROSION CONTROL AND RESTORATION OF SITE VEGETATION.
REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS.
COMPLETE ANY NECESSARY FINAL DRESS UP OF AREAS DISTURBED.

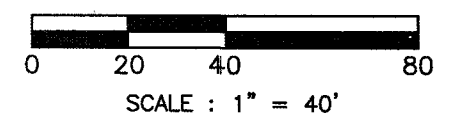
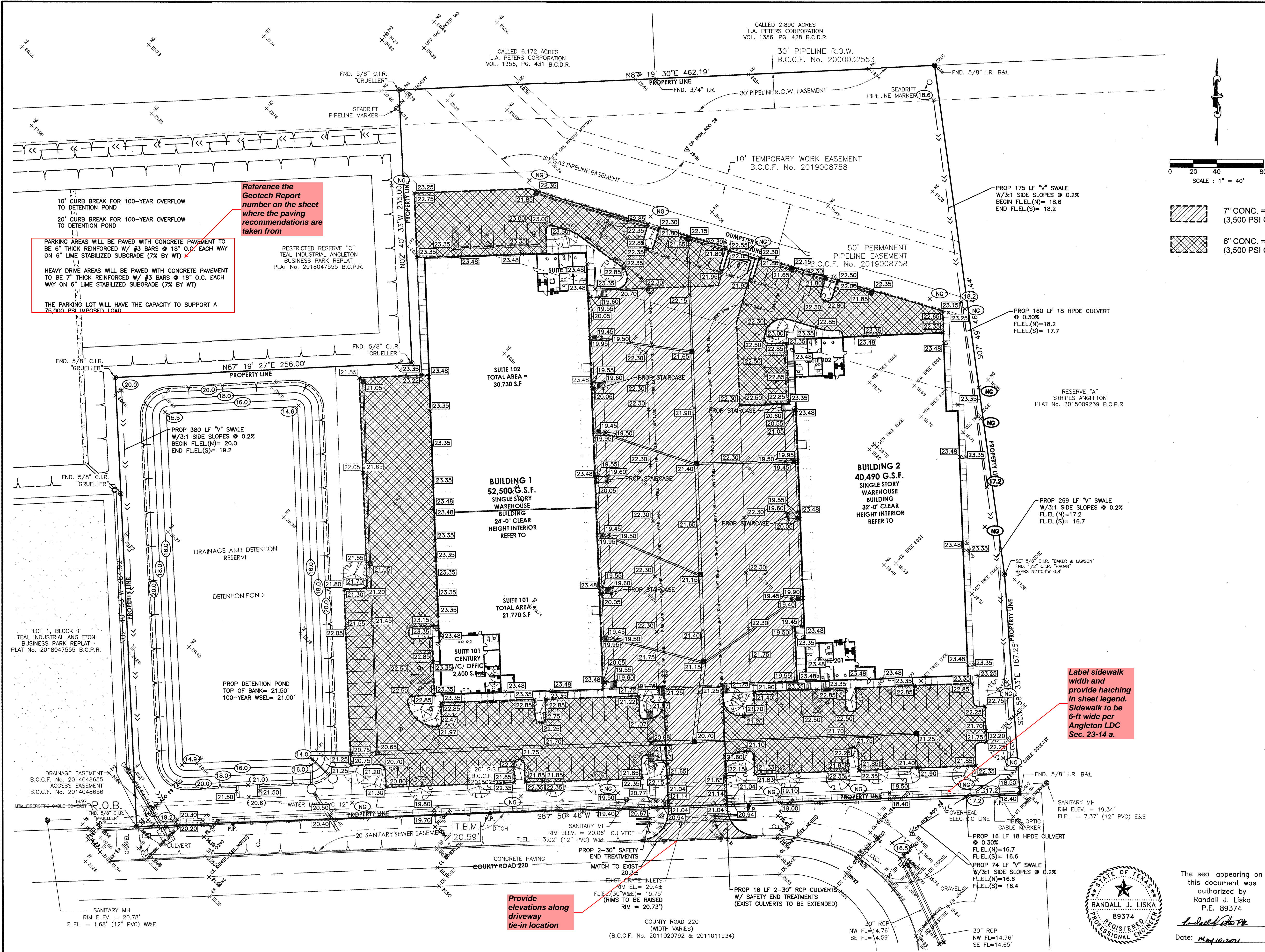
CONSTRUCTION NOTES

CONSULTANT revisions
Baker & Lawson, Inc.
ENGINEERS - PLANNERS - SURVEYORS
110 BROADWAY, SUITE 600
SAN ANTONIO, TEXAS 78205
PHONE (979) 849-4364 FAX (979) 849-4368
REG. NO. F-825

ANGLETON WAREHOUSE DEVELOPMENT
2151 County Road 220, Angleton Texas 77515

BEARDEN INVESTMENTS
project number 12943
date 05-07-21
drawn by RL/BB
checked by RL
sheet number C2
Beaty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice 210.212.8022
fax 210.212.8018
www.beatypalmer.com

THE SEAL OF THE STATE OF TEXAS
RANDALL J. LISKA
REGISTERED PROFESSIONAL ENGINEER
89374
The seal appearing on this document was authorized by Randall J. Liska P.E. 89374
Date: May 10, 2021



- 7" CONC. = 63,029 sqft
(3,500 PSI CONCRETE W/ No. 3 BARS 18" C-C E.W.)
- 6" CONC. = 71,332 sqft
(3,500 PSI CONCRETE W/ No. 3 BARS 18" C-C E.W.)

10' CURB BREAK FOR 100-YEAR OVERFLOW TO DETENTION POND
 20' CURB BREAK FOR 100-YEAR OVERFLOW TO DETENTION POND

PARKING AREAS WILL BE PAVED WITH CONCRETE PAVEMENT TO BE 6" THICK REINFORCED W/ #3 BARS @ 18" O.C. EACH WAY ON 6" LIME STABILIZED SUBGRADE (7% BY WT)

HEAVY DRIVE AREAS WILL BE PAVED WITH CONCRETE PAVEMENT TO BE 7" THICK REINFORCED W/ #3 BARS @ 18" O.C. EACH WAY ON 6" LIME STABILIZED SUBGRADE (7% BY WT)

THE PARKING LOT WILL HAVE THE CAPACITY TO SUPPORT A 75,000 PSI IMPOSED LOAD

Reference the Geotech Report number on the sheet where the paving recommendations are taken from

RESTRICTED RESERVE "C"
 TEAL INDUSTRIAL ANGLETON
 BUSINESS PARK REPLAT
 PLAT No. 2018047555 B.C.P.R.

Label sidewalk width and provide hatching in sheet legend. Sidewalk to be 6-ft wide per Angleton LDC Sec. 23-14 a.

Provide elevations along driveway tie-in location

LOT GRADING PLAN

CONSULTANT revisions

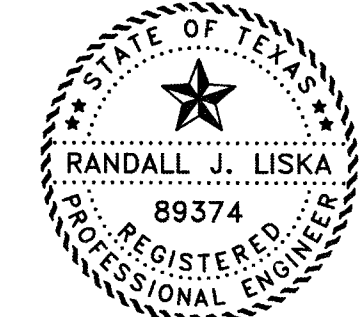
B&L
 BAKER & LAWSON, INC.
 ENGINEERS - PLANNERS - SURVEYORS
 300 E. CHASE ST. ANGLETON, TEXAS 77515
 PHONE (409) 841-6861 FAX (409) 841-6868
 REG. NO. F-825

ANGLETON WAREHOUSE DEVELOPMENT
 2151 County Road 220, Angleton Texas 77515

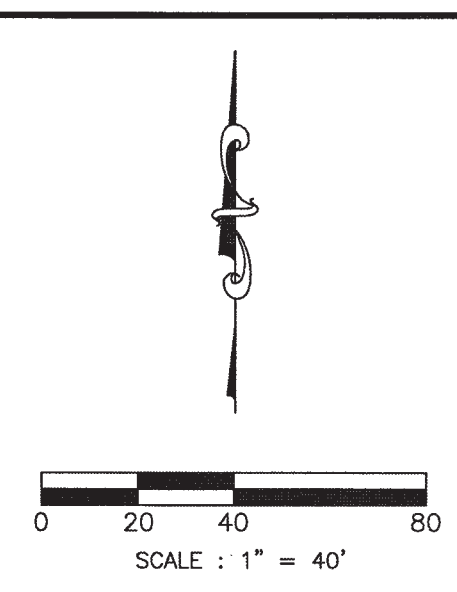
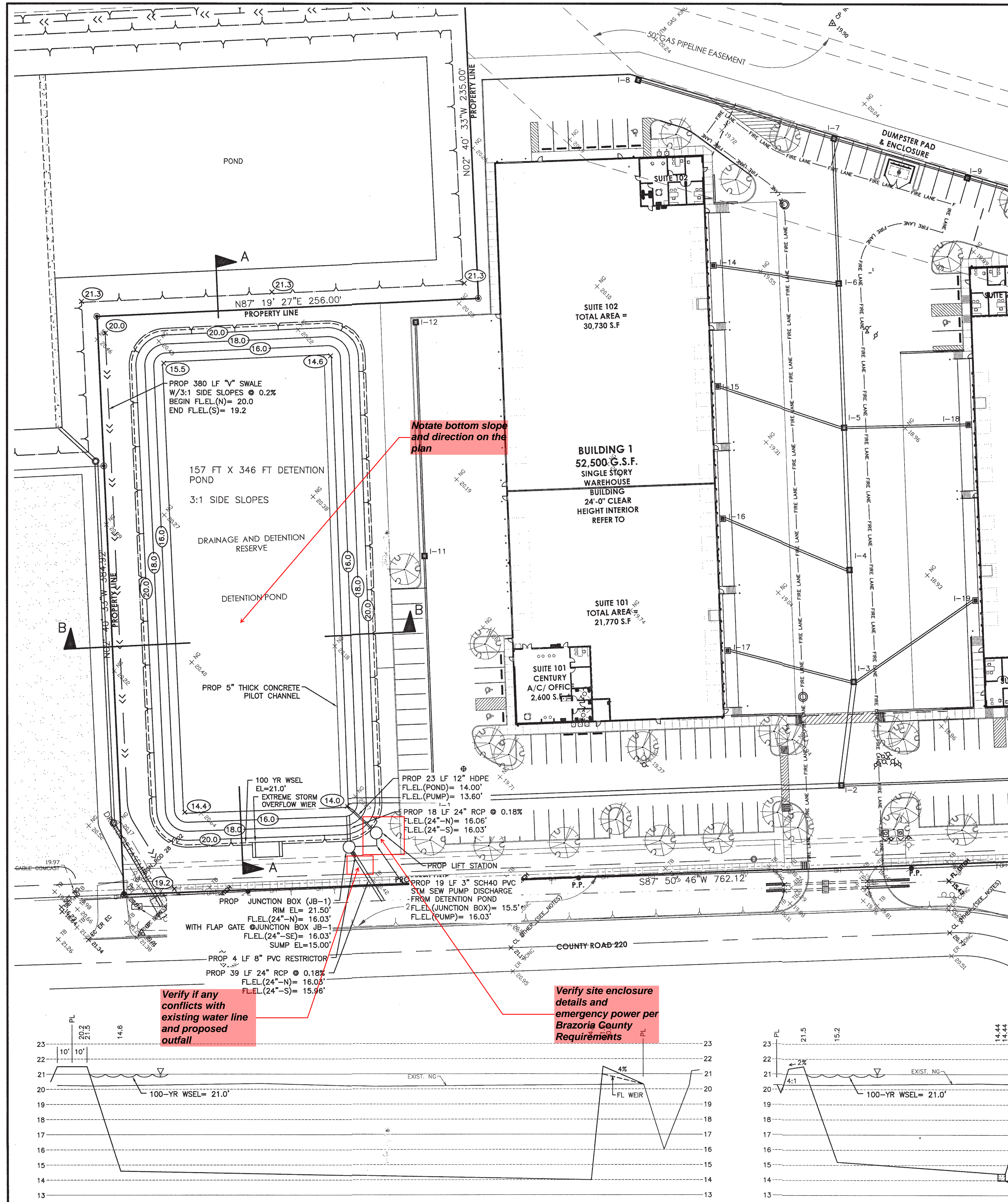
BEARDEN INVESTMENTS

project number 12943
 date 05-07-21
 drawn by RL/BB
 checked by RL

sheet number **C3**
 Beaty Palmer Architects, Inc.
 110 Broadway, Suite 600
 San Antonio, Texas 78205
 voice 210.212.8022
 fax 210.212.8018
 www.beatypalmer.com



The seal appearing on this document was authorized by Randall J. Liska P.E. 89374
 Date: May 10, 2021



DETENTION CALCULATIONS

PREDEVELOPMENT FLOW RATE CALCULATION (100-YEAR STORM)
 $Q_{100} = CIA \times 1.00 \text{ PK}$
 $A = 7.92 \text{ ACRES}$
 $C = 0.30$
 $TC = 15 \text{ MIN}$
 $+ 745 \text{ LF GRASS @ } 0.5 \text{ FPS}$
 $= 39.8 \text{ MIN}$
 $I_{100} = 5.708 \text{ IN/HR}$
 $Q_{100} = 7.92 \times 5.708 \times 0.3 \times 1.0 = 13.6 \text{ CFS}$
MAX ALLOWABLE PER ADD DRAINAGE STUDY = 0.73 X 7.92 = 5.78 CFS

PROPOSED CONDITION 100-YEAR STORM
 $Q = CIA \times 1.25 \text{ PK}$
 $A = 7.92 \text{ ACRES}$
 $C = 5.75 \text{ AC CONC @ } 0.95$
 $+ 0.98 \text{ AC POND @ } 0.7$
 $+ 1.19 \text{ AC GRASS @ } 0.3$
 $= 0.82$
 $TC = 15 \text{ MIN} + 600 \text{ LF STM SEW @ } 3.0 \text{ FPS}$
 $+ 45 \text{ LF PAVEMENT @ } 2.0 \text{ FPS}$
 $= 18.7 \text{ MIN}$
 $I_{100} = 7.812 \text{ IN/HR}$
 $Q_{100} = 0.82 \times 7.812 \times 7.92 \times 1.25 = 63.42 \text{ CFS}$
DETENTION REQUIRED = 260,400 CF = 5.978 AC-FT

POND INFORMATION
TOP BANK ELEVATION = 21.5'
ELEVATION TOP (WSEL = 21.0') = 52,309 SF
AVERAGE ELEVATION BOTTOM (EL = 14.6') = 33,677 SF
AVERAGE DETENTION AREA = 42,993 SF
DETENTION DEPTH = 6.4'
DETENTION = 275,155 CF = 6.317 AC-FT
DETENTION PROVIDED = 275,155 CF = 6.317 AC-FT

POND WILL GRAVITY DRAIN BETWEEN 100-YEAR WSEL @ 21.0' AND 24" RCP GRAVITY DRAIN EL = 16.1'
AREA OF POND AT 21.0' = 52,309.2 SF
AREA OF POND AT 16.1' = 38,717.6 SF
AVERAGE AREA = 45,513.4 SF
GRAVITY DRAINAGE DEPTH = 4.9'
TOTAL GRAVITY DRAINAGE VOLUME = 223,015.7 CF
TOTAL PUMPED VOLUME = 37,386 CF
PERCENTAGE OF TOTAL DETENTION PROVIDED = 85%

LIFT STATION INFORMATION
PROP STORM SEWER PUMP STATION 150 GPM (48" DIAMETER)
2-150 GPM SUBMERSIBLE PUMPS (ALTERNATING PUMPS)
TOP ELEV = 22.5'
BOTTOM ELEV = 11.50'
12" INCOMING ELEVATION = 16.1'
4" DISCHARGE ELEVATION = 13.0'

TOTAL HEAD ON LIFT STATION =
(16.0' OUTLET EL - 13.0' INLET EL) +
2.0' HEAD LOSS FOR FITTINGS +
0.5' FRICTION LOSS IN 12 LF 4" PIPE = 5.5'

TOTAL VOLUME OF WATER TO PUMP =
(106,120 CF)
PUMP FLOW RATE = 150 GPM = 24 CFM
TOTAL PUMP TIME = 4,421 MINS = 1.3 DAYS

Reference the Drainage Study (Name, Date and Prepared By) on this sheet

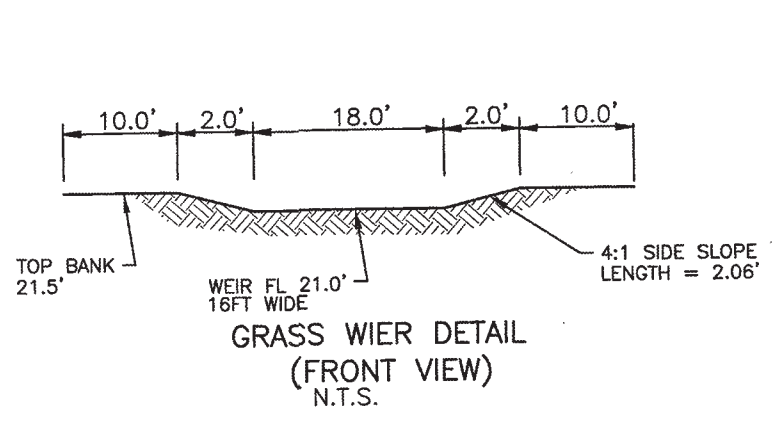
Provide design velocity information for the proposed force main.

Lift Station Rising WSEL Sequence		
Time (Relative)	WSEL (ft)	Activity
1	14	Pump Off; Dry Pond
2	14.5	Pump On (Lead Pump)
2	15.3	Pump On (Lag Pump)
5	16	Pump Off; Gravity Drainage Begins
6	21	Gravity Drainage; 100-YR WSEL
Lift Station Falling WSEL Sequence		
7	16	Gravity Drainage Stops; Pumps Start
8	14	Pump Off

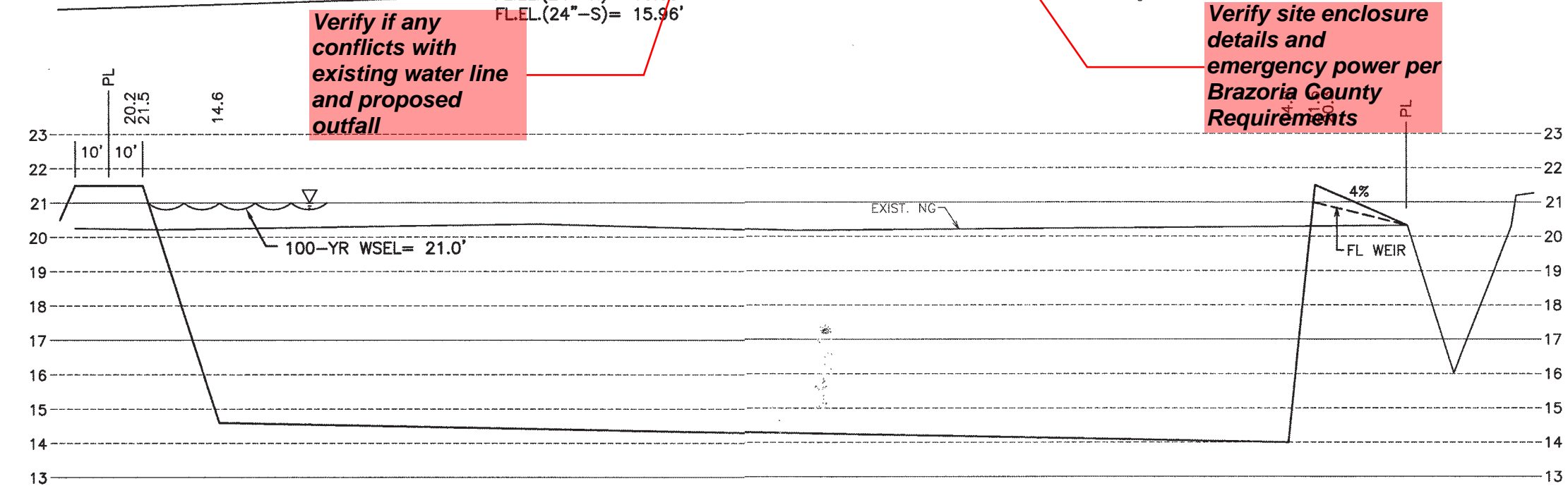
PROJECT: Bearden Investments
JOB NO: 12943

STORM SEWER CALCULATIONS (5-YEAR FREQUENCY STORM)

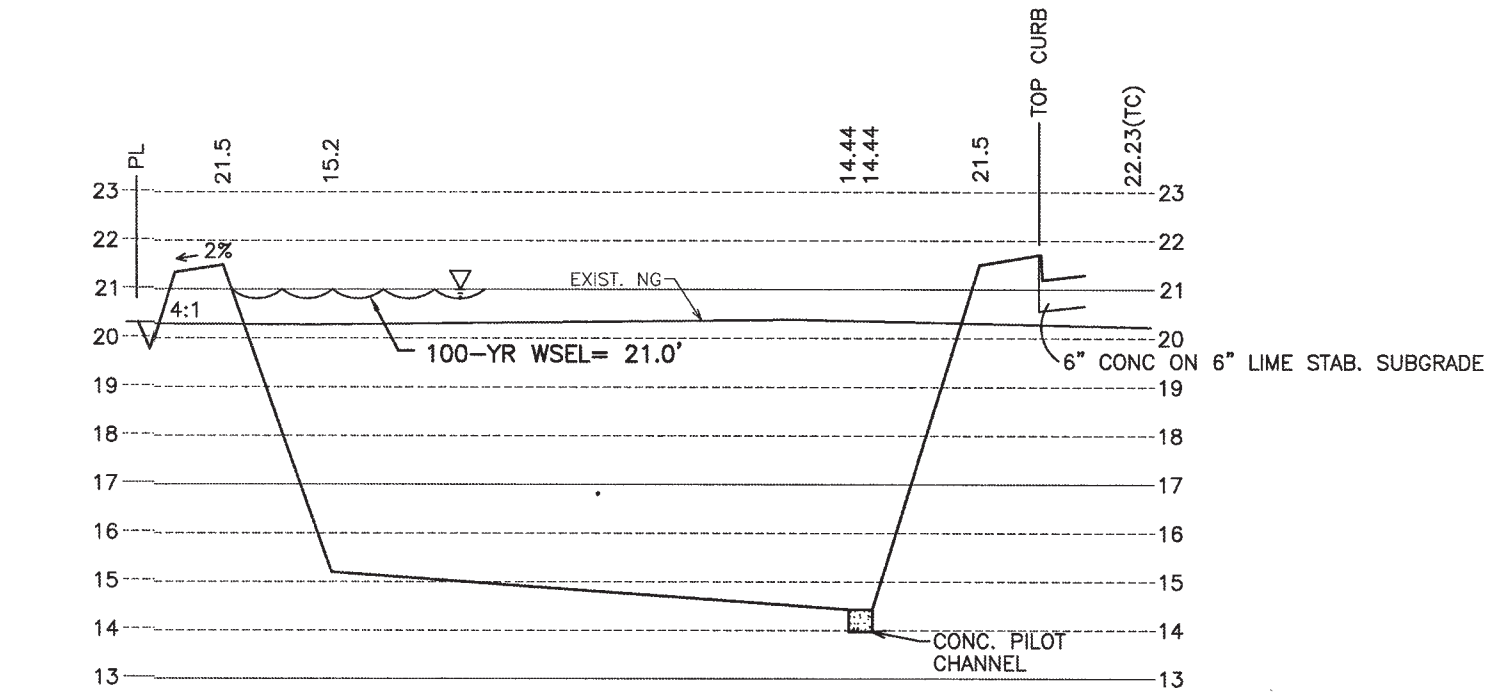
DRAINAGE AREA	FROM MH	TO MH	AREA (sq)	CUM AREA (sq)	RUNOFF COEFF. C	CVA	SUM OF CVA	TIME OF CONC. (min)	INTENSITY (in/hr)	SUM OF FLOWS (cfs)	REACH LENGTH (ft)	DIAM OR RISE (in)	SPAN (ft)	SLOPE (%)	MANNINGS 'N'	DESIGN CAPACITY (cfs)	DESIGN VELOCITY (fps)	FALL (ft)	MH DROP (ft)	FLOWLINE UP STREAM (ft)	FLOWLINE DOWN STREAM (ft)	ACTUAL VELOCITY (fps)	HYDRAULIC CHANGE IN HEAD (%)	HYD GRAD UP STREAM (ft)	HYD GRAD DOWN STREAM (ft)	GUTTER UP STREAM (ft)			
I-19	I-3		0.612	0.612	0.80	0.490	0.490	10.00	6.92	3.39	98	15	0	1.23	0.26	0.013	3.43	2.79	0.27	0.00	14.77	14.50	2.76	0.274	0.27	18.42	18.15	19.40	HGL OK
I-18	I-5		0.411	0.411	0.80	0.329	0.329	10.00	6.92	2.28	84	15	0	1.23	0.20	0.013	2.90	2.36	0.17	0.00	14.97	14.80	1.85	0.123	0.10	18.35	18.25	19.40	HGL OK
I-17	I-3		0.362	0.362	0.80	0.290	0.290	10.00	6.92	2.00	86	15	0	1.23	0.20	0.013	2.90	2.36	0.17	0.00	14.67	14.50	1.63	0.096	0.08	18.15	18.07	19.40	HGL OK
I-16	I-4		0.412	0.412	0.80	0.330	0.330	10.00	6.92	2.28	92	15	0	1.23	0.20	0.013	2.90	2.36	0.18	0.00	14.85	14.67	1.86	0.124	0.11	18.26	18.15	19.40	HGL OK
I-15	I-5		0.348	0.348	0.80	0.278	0.278	10.00	6.92	1.93	89	15	0	1.23	0.20	0.013	2.90	2.36	0.18	0.00	14.98	14.80	1.57	0.088	0.08	18.32	18.25	19.40	HGL OK
I-14	I-6		0.353	0.353	0.80	0.282	0.282	10.00	6.92	1.95	85	15	0	1.23	0.20	0.013	2.90	2.36	0.17	0.00	15.15	14.98	1.58	0.091	0.08	18.42	18.35	19.40	HGL OK
I-13	I-2		0.270	0.270	0.80	0.216	0.216	10.00	6.92	1.49	192	15	0	1.23	0.20	0.013	2.90	2.36	0.38	0.00	14.82	14.44	1.22	0.053	0.10	18.04	17.93	21.25	HGL OK
I-12	I-11		0.113	0.113	0.80	0.090	0.090	10.00	6.92	0.63	157	12	0	0.79	0.25	0.013	1.82	2.32	0.41	0.00	14.88	14.47	0.80	0.031	0.05	18.23	18.18	21.05	HGL OK
I-11	I-1		0.197	0.197	0.80	0.158	0.158	13.29	6.24	1.55	162	12	0	0.79	0.25	0.013	1.92	2.32	0.42	0.00	14.47	14.05	1.97	0.168	0.30	18.16	17.88	21.05	HGL OK
I-10	I-9		0.086	0.086	0.80	0.069	0.069	10.00	6.92	0.48	68	12	0	0.79	0.25	0.013	1.82	2.32	0.18	0.00	15.64	15.46	0.61	0.018	0.01	16.48	16.46	22.35	HGL OK
I-9	I-7		0.102	0.102	0.80	0.082	0.082	11.87	6.51	0.98	99	12	0	0.79	0.25	0.013	1.82	2.32	0.23	0.00	15.46	15.23	1.25	0.075	0.07	16.30	16.23	22.15	HGL OK
I-8	I-7		0.227	0.227	0.80	0.182	0.182	10.00	6.92	1.26	137	12	0	0.79	0.25	0.013	1.79	2.27	0.34	0.00	15.57	15.23	1.65	0.124	0.17	18.52	18.35	21.85	HGL OK
I-7	I-6		0.227	0.227	0.80	0.182	0.182	11.43	6.61	1.39	97	18	0	1.77	0.26	0.013	5.37	3.04	0.25	0.00	15.23	14.88	1.92	0.104	0.10	18.35	18.25	21.65	HGL OK
I-6	I-5		0.412	0.412	0.80	0.330	0.330	12.27	6.43	2.24	96	24	0	3.14	0.18	0.013	9.62	3.06	0.17	0.00	14.99	14.80	2.31	0.102	0.10	18.25	18.15	21.65	HGL OK
I-5	I-4		0.172	0.172	0.80	0.138	0.138	12.86	6.30	1.19	95	30	0	4.91	0.14	0.013	15.39	1.13	0.13	0.00	14.80	14.67	2.40	0.062	0.09	18.15	18.07	21.40	HGL OK
I-4	I-3		0.172	0.172	0.80	0.138	0.138	13.62	6.18	1.48	75	30	0	4.91	0.22	0.013	19.29	3.93	0.17	0.00	14.67	14.50	3.56	0.191	0.14	18.07	17.93	21.15	HGL OK
I-3	I-2		0.096	0.096	0.80	0.069	0.069	13.97	6.12	1.49	69	36	0	7.07	0.10	0.013	21.15	2.99	0.07	0.00	14.50	14.44	2.76	0.095	0.06	17.93	17.88	21.15	HGL OK
I-2	I-1		0.619	0.619	0.80	0.495	0.495	14.39	6.05	23.56	274	36	0	7.07	0.14	0.013	25.02	3.54	0.38	0.00	14.44	14.05	3.33	0.124	0.34	17.88	17.54	20.70	HGL OK
I-1	OUT		0.501	0.501	0.80	0.401	0.401	15.76	5.92	26.47	54	42	0	9.62	0.10	0.013	31.90	3.92	0.09	0.00	14.05	14.00	2.75	0.069	0.04	17.54	17.50	20.65	HGL OK



DEPTH (D) = 0.5 FT
CROSS-SECTION AREA (A) = 18 FT x D + 4 x D²
= 10 SF
WETTED PERIMETER (P) = 2.06 FT + 2.06 FT + 18 FT = 22.1 FT
HYDRAULIC RADIUS (R) = A/P = 10/22.1 = 0.45 FT
n = 0.025 (GRASS LINED CHANNEL)
S = 0.4FT/10FT = 0.04
MANNINGS EQUATION = 1.49/n x R^{2/3} x S^{1/2} x A
= 1.49/0.025 x (0.45)^{2/3} x (0.04)^{1/2} x 10
= 70.0 CFS
(EXCEED DEVELOPED 100 YEAR STORM FLOW RATE = 53.42 CFS)



SECTION A-A
SCALE: 1"=40'(H) 1"=4'(V)



SECTION B-B
SCALE: 1"=40'(H) 1"=4'(V)

DETENTION POND LAYOUT

CONSULTANT revisions

ANGLETON WAREHOUSE DEVELOPMENT
 2151 County Road 220, Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
 date 05-07-21
 drawn by RL/BB
 checked by RL
 sheet number **C4**



The seal appearing on this document was authorized by
 Randall J. Liska
 P.E. 89374
 Date: May 10, 2021

1

Drainage Analysis
Job # 12943 - CR220 WARHOUSES, Angleton TX

Rainfall intensity calculations for Brazoria County

i = intensity (in/hr)
b = coefficient
t = time of concentration
d = coefficient
e = coefficient

subscript i=1 = 2 year storm
i=2 = 5 year storm
i=3 = 10 year storm
i=4 = 25 year storm
i=5 = 50 year storm
i=6 = 100 year storm

i := 1..6

b _i :=	k _h :=	d _i :=
75.5	0.807	14.7
82.8	0.775	16.9
88.1	0.756	18.4
100.8	0.753	19.1
107.3	0.742	19.8
120.2	0.741	21.3

T₀ := 39.8 ENTER PREDEVELOPMENT TIME OF CONCENTRATION

I_i := $\frac{b_i}{(d_i + T_0)^{e_i}}$ I₆ = 5.708 Predevelopment Intensity of interest

C_w := 0.128 ENTER PREDEVELOPMENT C VALUE

A_w := 7.92 ENTER AREA

2

C_f := 1.00

Q := C · C_f · I₆ · A Must insert correct subscript for I to obtain the relevant Q
Q = 5.786

V_w := (C) · A · 43560 · 1.08 For these calculations, total volume storage is assumed to equal (C) · A with A converted to square feet multiplied by 13" (1.08')
V = 4.769 × 10⁴

DEVELOPMENT OF RUNOFF HYDROGRAPH MALCOM'S METHOD AS DESCRIBED IN THE BRAZORIA COUNTY DRAINAGE CRITERIA MANUAL

T := $\frac{V}{1.39 \cdot Q}$ T = 5.93 × 10³ T = Time to peak, presented as a function of volume and peak flow and therefore indirectly related to time of concentration

t := 0, 1000 .. 84000

f(t) := $\left(\frac{Q}{2}\right) \left(1 - \cos\left(\frac{t \cdot \pi}{T}\right)\right)$ f(t) describes rising limb of hydrograph

g(t) := 4.34 · Q · exp $\left[-1.30 \cdot \left(\frac{t}{T}\right)\right]$ g(t) describes descending limb of hydrograph

q(t) := if(t ≤ 1.25 · T, f(t), g(t))

3

Volume_{pre} := $\int_0^{86400} q(t) dt$

Volume_{pre} = 4.786 × 10⁴

Predevelopment hydrograph

T₀ := 39.8 ENTER POST DEVELOPMENT TIME OF CONCENTRATION

I_i := $\frac{b_i}{(d_i + T_0)^{e_i}}$ I₆ = 7.812 Post development I of interest

C_w := 0.82 ENTER POST DEVELOPMENT C FACTOR REVISE C_f AND AREA IF NECESSARY

C_f := 1.25

Q := C · I₆ · A · C_f
Q = 63.42

V_w := (C) · A · 43560 · 1.08

4

V = 3.055 × 10⁵

T := $\frac{V}{1.39 \cdot Q}$ T = 3.466 × 10³

t := 0, 1000 .. 25000

f(t) := $\left(\frac{Q}{2}\right) \left(1 - \cos\left(\frac{t \cdot \pi}{T}\right)\right)$

g(t) := 4.34 · Q · exp $\left[-1.30 \cdot \left(\frac{t}{T}\right)\right]$

r(t) := if(t ≤ 1.25 · T, f(t), g(t))

Volume_{post} := $\int_0^{86400} r(t) dt$

Volume_{post} = 3.066 × 10⁵
Post development hydrograph

5

Combined pre and post development hydrographs

f_h(t) := ((r(t) - q(t)) · 1)
v(t) := if(f_h(t) > 0, f_h(t), 0)

THE REQUIRED STORAGE COMPUTED AS THAT PART OF THE POST DEVELOPMENT HYDROGRAPH THAT FALLS ABOVE THE PREDEVELOPMENT HYDROGRAPH

ACRE - FEET

$\int_0^{86400} v(t) dt = 5.978$

6

Hydrological and Hydraulic Impacts
CR220 WAREHOUSES, Angleton TX
Job # 12943

Brazoria County, Texas

A = 7.92 Acre Development
(9.27 ACRES MINUS 1.32 ACRES PIPELINE EASEMENT)

Pre Development:
C = 0.128
TC = 39.8 Minutes, I = 5.708 in/hr
Q = 100 Year Storm = 5.78 cfs

Post Development
C = 0.82
T/C = 18.7 Minutes, I = 7.812 in/hr
Q = 100 Year Storm = 63.42 cfs

Required Detention:
5.978 acre - feet (260,400 c.f.)

Existing Conditions:
Brazoria County Master Drainage Study allows only 0.73 cfs/acre in this area. This is Bastrop Bayou drainage areas BB17.
TC = 15 MIN + 745 LF Overland flow @ 0.5 FPS = 39.8 min

Randall J. Liska, P.E. April 10, 2021

HYDROLOGICAL CALCULATIONS

CONSULTANT revisions

ANGLETON WAREHOUSE DEVELOPMENT
2151 County Road 220,
Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
date 05-07-21

drawn by RL/BB
checked by RL

sheet number
Beaty Palmer Architects, Inc.
110 Broadway, Suite 600
San Antonio, Texas 78205
voice: 210.212.8022
fax: 210.212.8018
www.beatypalmer.com

C5



Pump Company, Inc.
254-772-7623

Water & Sewage Pumps
Complete Systems
Sales & Service
301 Cotton, Waco 76712
Fax 254-772-2924

May 25, 2021

ENGINEERING ESTIMATE

Baker-Lawson
Attn: Randall Liska, P.E.

RE: County Road 220
Angleton, Texas

DUPLEX STORM WATER LIFT STATION
Rated Capacity: 160 GPM (Each Pump)
Rated Head: 6 Ft.

- Electrical Service: 230 Volt, 1PH
Wet Well Size: 60" Dia. X 9' Deep FRP
- 2 TP53M24/2/1, Submersible Pumps, 1.7 HP, 230 Volt, 1PH, 30" Power Cords, HOMA
 - 2 Auto Couplings, 3" Flanged
 - 1 60" Dia. X 9' Deep FRP Fiberglass Basin, Lifting Lugs, Pipe Sleeves and Pump Studs
 - 1 C1R86 Aluminum Cover Plate W/ 26" X 48" Hatch Opening, 3" Vent Coupling
 - 2 Upper Guide Rail Brackets, SST
 - 4 1 1/2" Dia. Guide Rails, SST
 - A/R 3" Pipe and Fittings, Sch 80 PVC
 - 2 3" Swing Check Valves
 - A/R Fasteners, SST
 - 2 2 1/2" X 10" Lifting Chains, SST
 - 16 Link Seals
 - 1 3" Vent W/ Screen
 - 1 Duplex Control Panel, Complete W/ Red Alarm Light, NEMA 4XFG
 - 4 GSE30ND Float Switch W/ 30' Cord and Weight
 - 1 Float Switch Bracket, SST
 - 1 Item of Factory Assembly and Test
 - 1 Item of Freight and Delivery

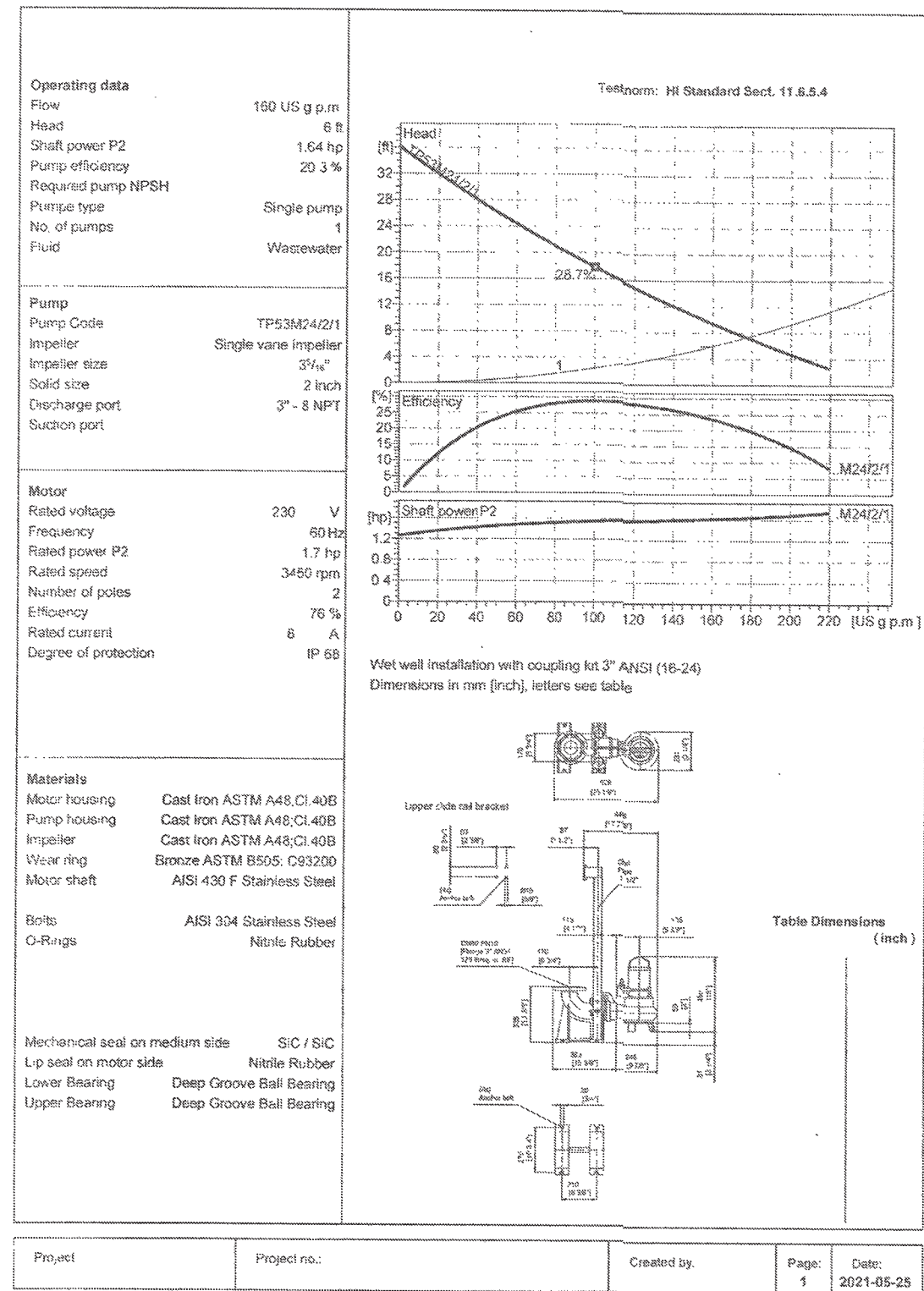
LOT NET F.O.B. ANGLETON, TEXAS \$19,700.00
Current Delivery 6 - 8 Weeks

Respectfully,

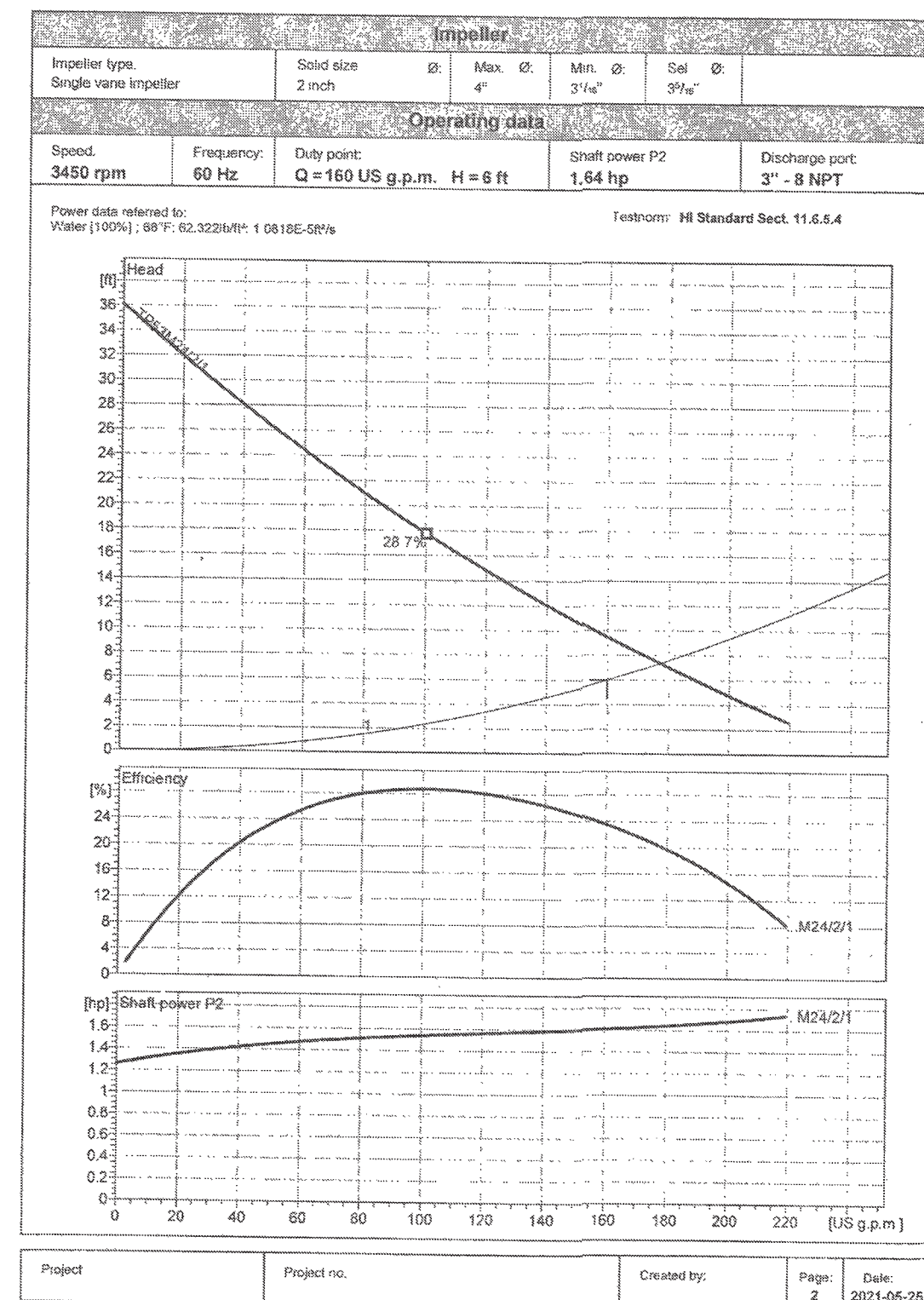
Jeff Luedeker
Jeff Luedeker

jbw2021tpcations/baker_lawson_angleton

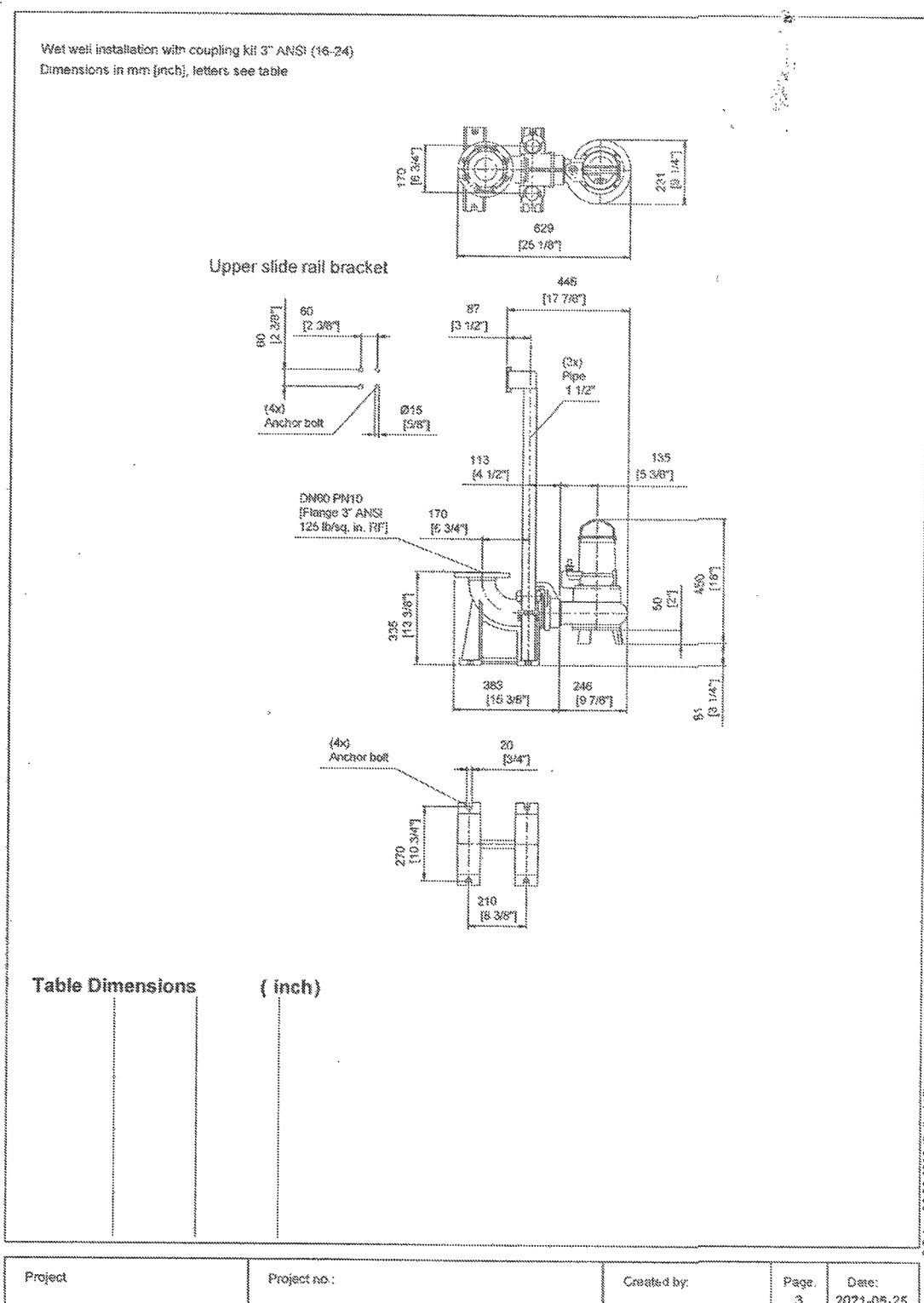
Technical Information
TP53M24/2/1



Performance Curve
TP53M24/2/1



Dimensions
TP53M24/2/1



Technical Data
TP53M24/2/1



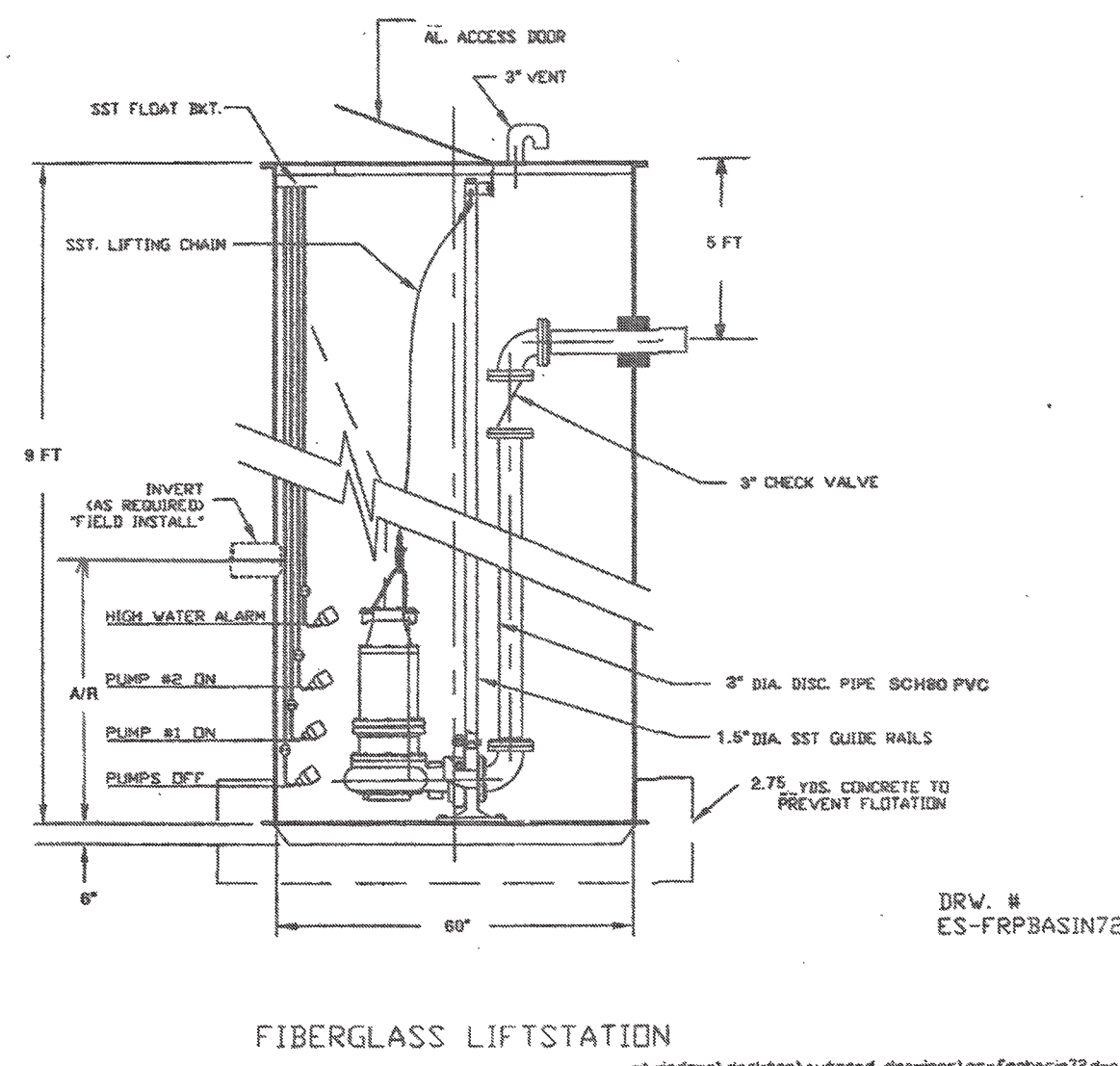
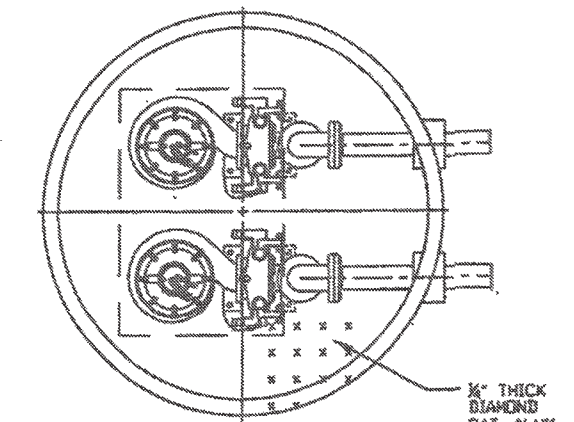
Operating data			
Flow	160 US g.p.m.	Head	6 ft
Shaft power P2	1.6 hp	Static head	0 ft
Pump efficiency	20.3 %	Required pump NPSH	ft
Pump type	Single pump	No. of pumps	1
Fluid	Wastewater	Temperature	68 °F
Density	62.31 lb/ft³	Kin. viscosity	1.077E-5 ft²/s

Pumps			
Pump Code	TP53M24/2/1	Speed	3450 rpm
Suction port		Head	Max. 36.1 ft
Discharge port	3" - 8 NPT	Min.	2.5 ft
Impeller type	Single vane impeller	Flow	Max. 219.3 US g.p.m.
Solid size	2 inch	Pump efficiency max.	28.7 %
Impeller dia.	3.51 inch	Required rated power max. P2	1.7 hp

Motor			
Motor design	Submersible motor	Insulation class	H
Motor name	AM120TM 2.4/2/1	Degree of protection	IP 68
Frequency	60 Hz	Temperature class	T4
Rated power P2	1.7 hp	NEMA code	F
Rated speed	3450 rpm	Explosion protection	
Rated voltage	230 V 1-∅	Efficiency	100% 76.0 %
Rated current	8.0 A	at % rated power	76% %
Starting current, direct starting	30.0 A	at % rated power	50% %
Starting current, star-delta		at % rated power	100% 0.97 %
Starting mode	Directly	at % rated power	76% %
Power cable	403	Control cable	50% %
Type of power cable	HCRHS-F-PLUS	Type of control cable	1.15
Cable length	10	Service factor	
Shaft seal	Mechanical seal on medium side	SIC / SIC	
Lip seal on motor side	Nitrile Rubber		
Bearing	Lower Bearing	Deep Groove Ball Bearing	
	Upper Bearing	Deep Groove Ball Bearing	

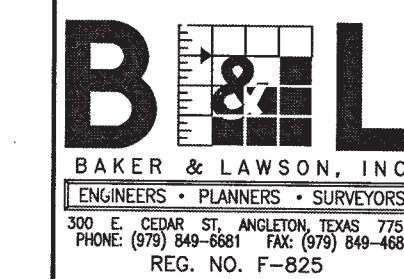
Materials - Weight			
Motor housing	Cast Iron ASTM A48, Cl.40B	Bolts	AISI 304 Stainless Steel
Pump housing	Cast Iron ASTM A48, Cl.40B	O-Rings	Nitrile Rubber
Impeller	Cast Iron ASTM A48, Cl.40B		
Wear ring	Brass ASTM B166, C12300		
Motor shaft	AISI 430 F Stainless Steel		
Weight assemblage	57.319 lb		

Project: _____ Project no.: _____ Created by: _____ Page: 4 Date: 2021-05-25



PUMP DETAILS

CONSULTANT revisions

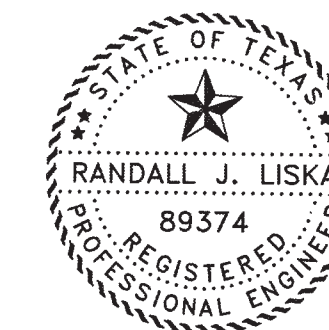


ANGLETON WAREHOUSE DEVELOPMENT

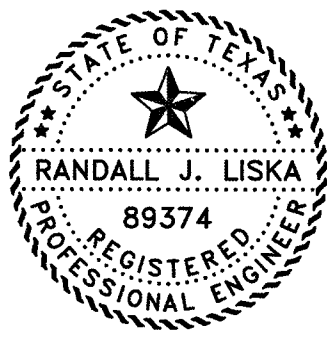
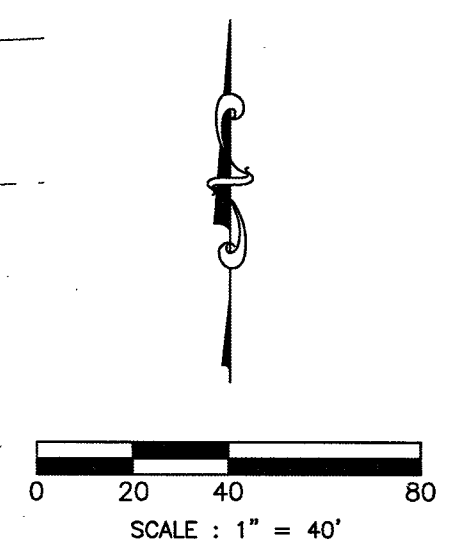
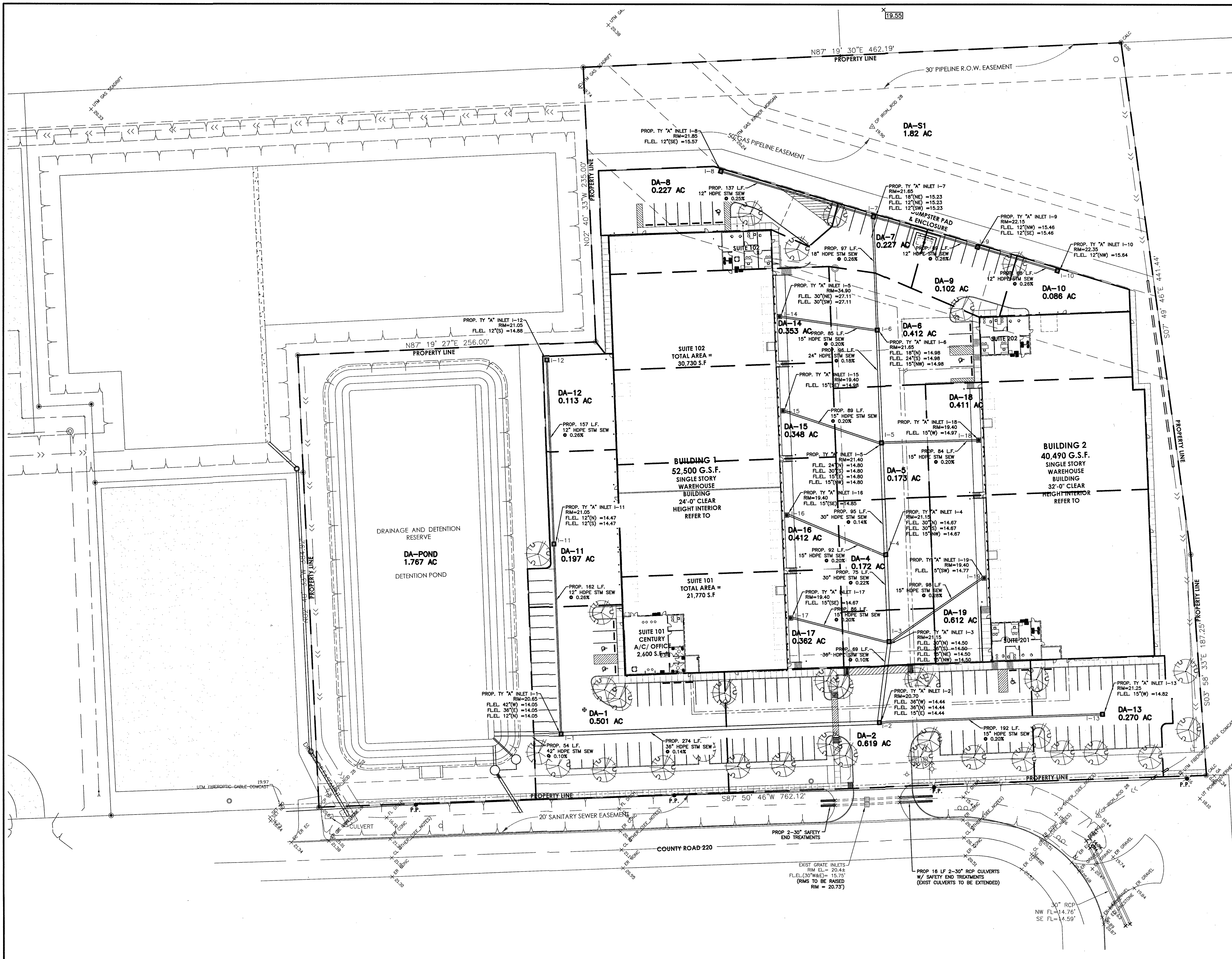
2151 County Road 220,
Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
date 05-07-21
drawn by RL/BB
checked by RL
sheet number C6



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Randall J. Liska
P.E. 89374
Date: May 10, 2021



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 Randall J. Liska
 P.E. 89374
 Date: *11/10/2021*

DRAINAGE ANALYSIS AND TRUNK SEWER CALLS

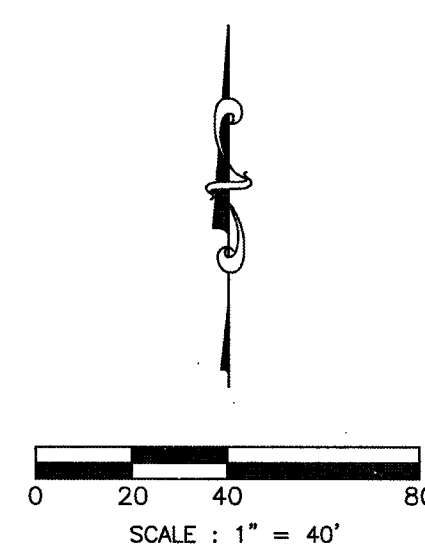
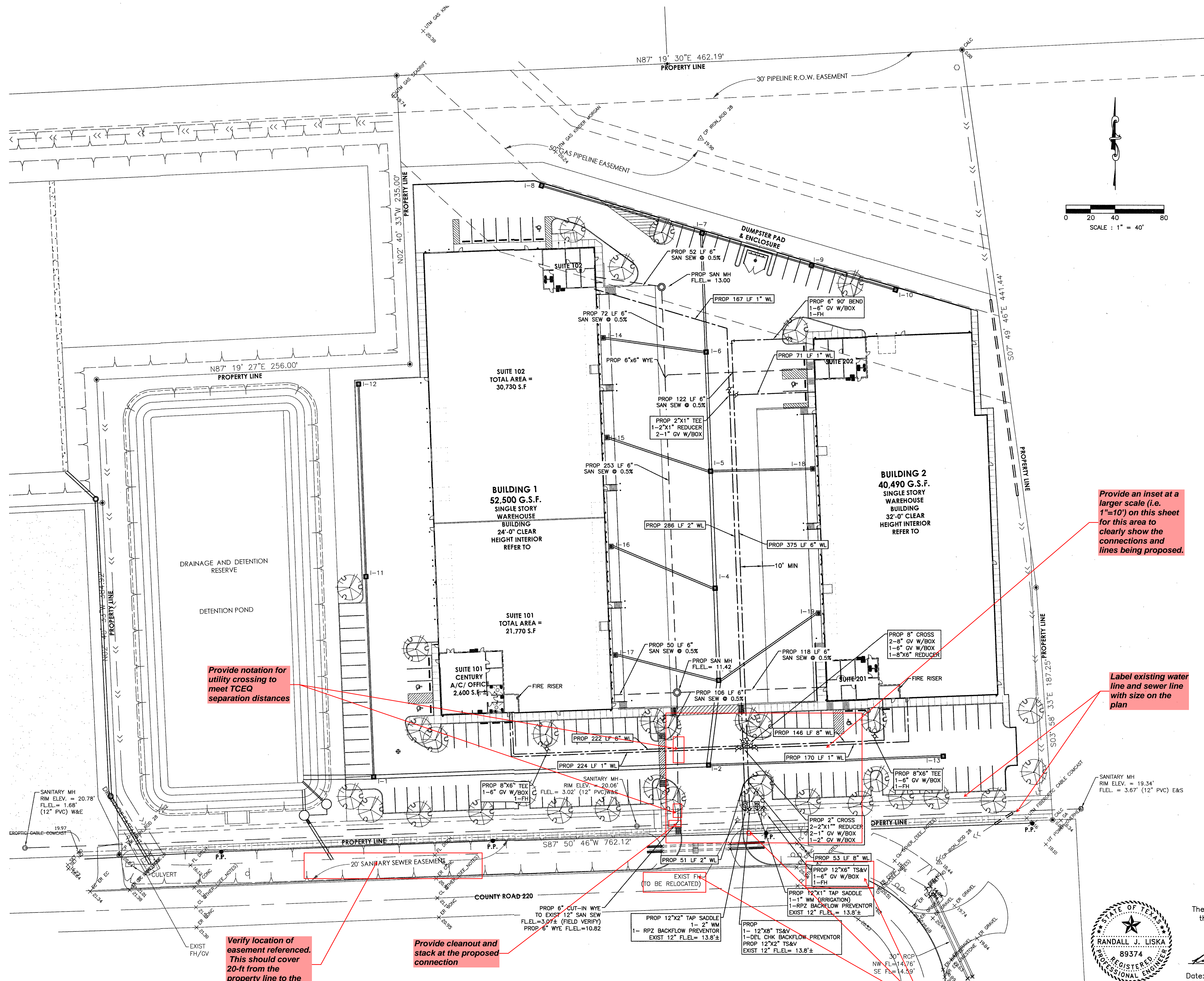
CONSULTANT revisions
B&L
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 300 E. GEORGE ST. ANGLETON, TEXAS 77515
 PHONE (979) 846-8661 FAX (979) 846-8669
 REG. NO. F-825

ANGLETON WAREHOUSE DEVELOPMENT
 2151 County Road 220,
 Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943	drawn by RL/BB
date 05-07-21	checked by RL
Beaty Palmer Architects, Inc. 110 Broadway, Suite 600 San Antonio, Texas 78205 voice: 210-212-8022 fax: 210-212-8018 www.beatypalmer.com	sheet number C7

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BEATY PALMER ARCHITECTS



Provide notation for utility crossing to meet TCEQ separation distances

Provide an inset at a larger scale (i.e. 1"=10') on this sheet for this area to clearly show the connections and lines being proposed.

Label existing water line and sewer line with size on the plan

Verify location of easement referenced. This should cover 20-ft from the property line to the north.

Provide cleanout and stack at the proposed connection

Relocated fire hydrant shall be closer to property line.

UTILITY PLAN

CONSULTANT revisions

B&L
 BAKER & LAWSON, INC.
 ENGINEERS - PLANNERS - SURVEYORS
 300 E. OLIVE ST. ANGLETON, TEXAS 77510
 PHONE (775) 848-5881 FAX (775) 848-4028
 REG. NO. F-825

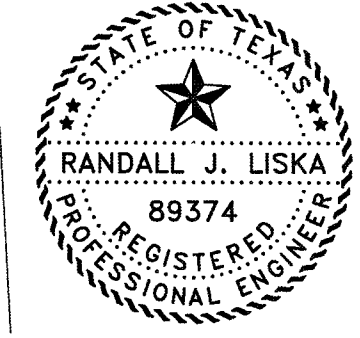
ANGLETON WAREHOUSE DEVELOPMENT

2151 County Road 220, Angleton Texas 77515

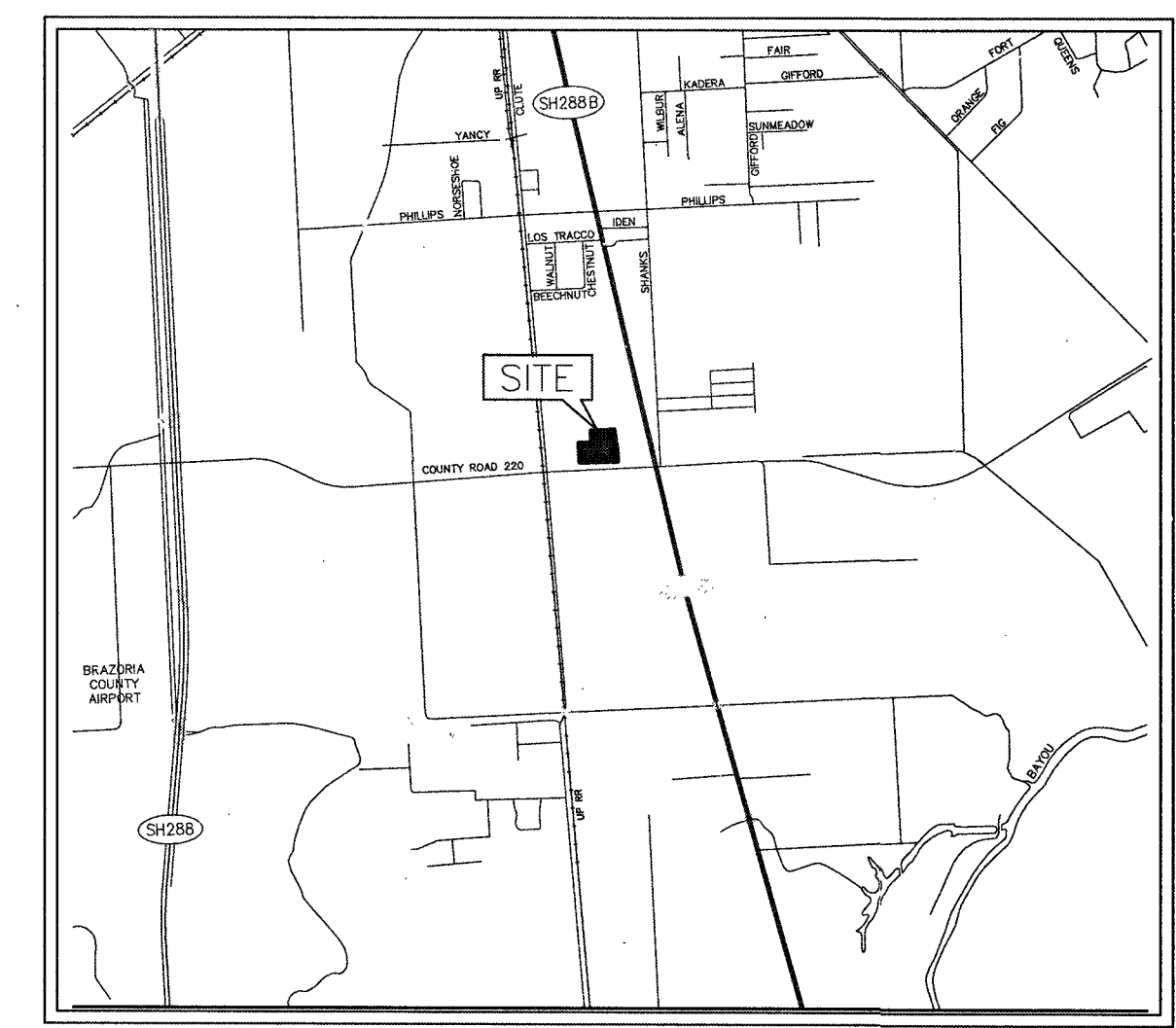
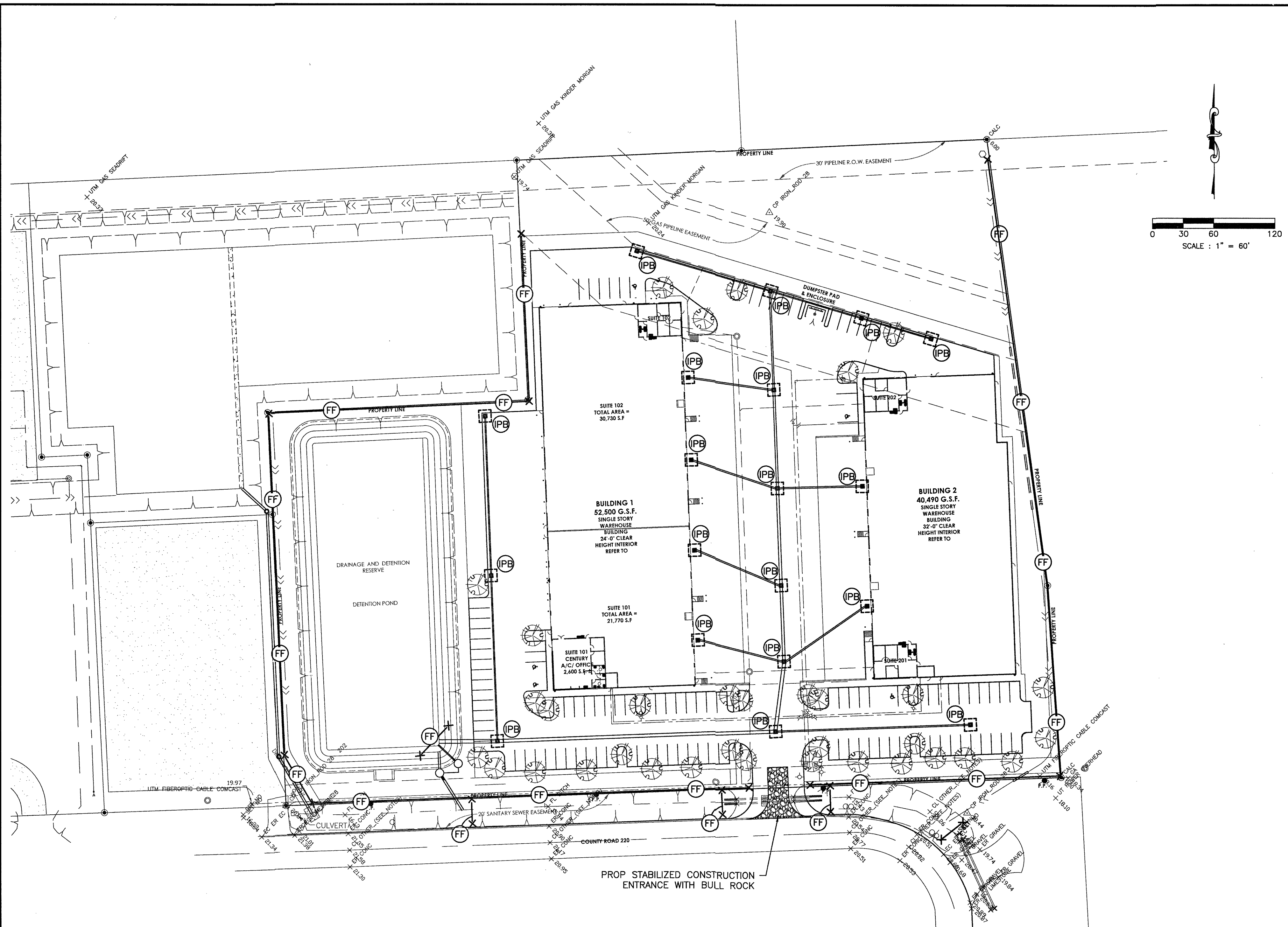
BEARDEN INVESTMENTS

project number: 12943
 date: 05-07-21
 drawn by: RL/BB
 checked by: RL

sheet number: **C8**
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 voice 210.212.8022
 fax 210.212.8018
 www.beatypalmer.com



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 Randall J. Liska
 P.E. 89374
 Date: May 10, 2021



PROJECT/SITE INFORMATION

PROJECT NAME: CR 220 WAREHOUSES
 PROJECT ADDRESS/LOCATION: NORTH SIDE OF CR 220 WEST OF SH 288B
 CITY: ANGLETON STATE: TX ZIP CODE: 77515
 LATITUDE: 29°07'34.74" LONGITUDE: 95°25'38.50" COUNTY: BRAZORIA
 NAME OF RECEIVING WATERS: GULF OF MEXICO

09/01/2021 MONTH/DAY/YEAR ESTIMATED CONSTRUCTION START DATE
 03/01/2022 MONTH/DAY/YEAR ESTIMATED COMPLETION DATE
 ESTIMATE OF AREA TO BE DISTURBED: 8.073 ACRES
 ESTIMATE OF LIKELIHOOD OF DISCHARGE:

- UNLIKELY
- ONCE PER WEEK
- CONTINUAL
- ONCE PER MONTH
- ONCE PER DAY

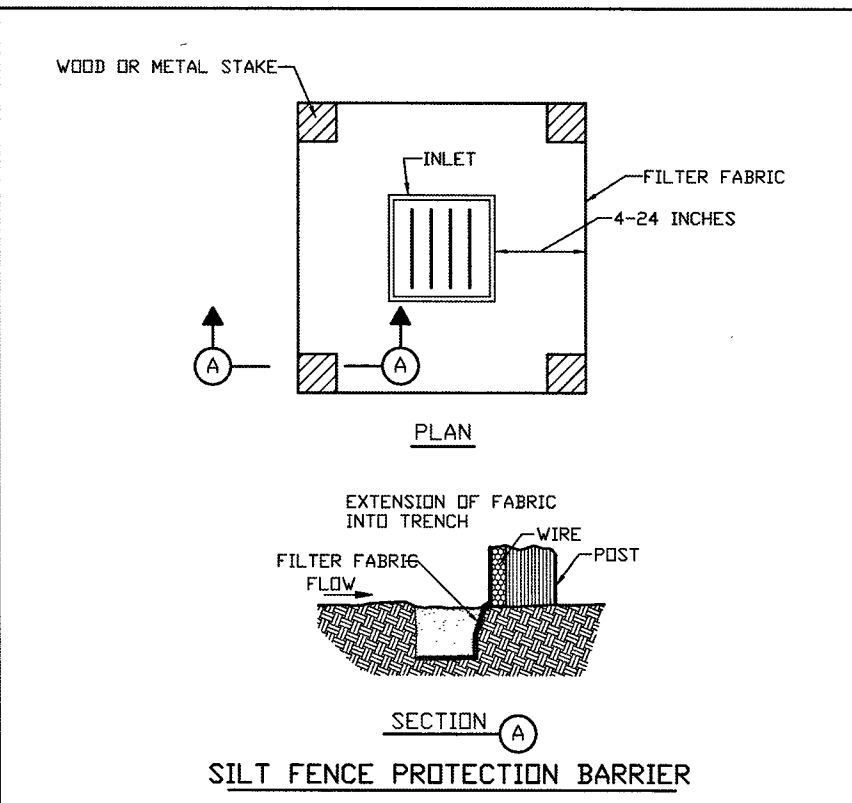
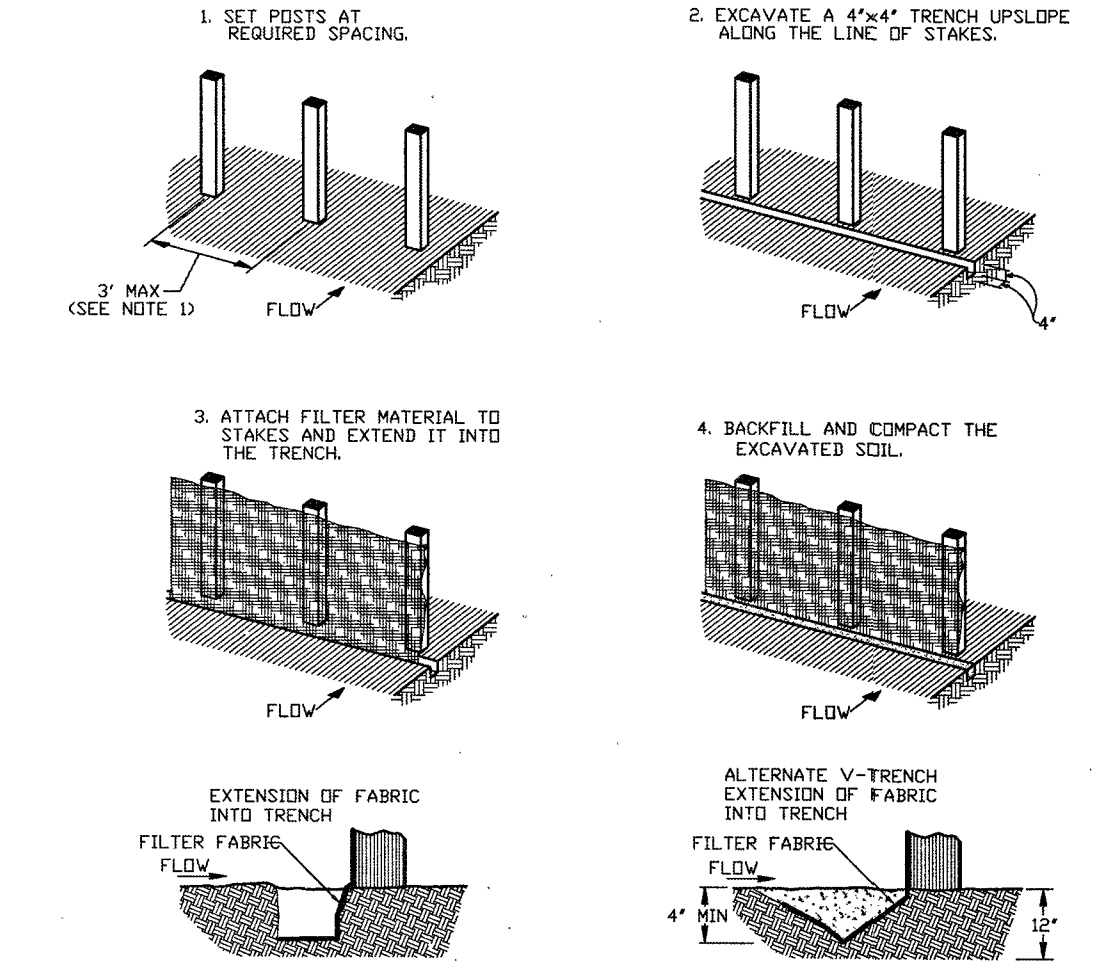
ARE THERE ANY LISTED ENDANGERED OR THREATENED SPECIES, OR DESIGNATED CRITICAL HABITAT IN THE PROJECT AREA?

- YES
- NO

ELIGIBILITY WITH REGARD TO PROTECTION OF ENDANGERED SPECIES HAS BEEN SATISFIED THROUGH THE INDICATED SECTION OF PART 1.B.3.e.(2) OF THE PERMIT.

- (a)
- (b)
- (c)
- (d)

SWPPP LAYOUT



- LEGEND**
- SILT FENCE AROUND STRUCTURE UNDER CONSTRUCTION
 - SILT FENCE ACROSS EXISTING DITCH REINFORCED FILTER BARRIER
 - HYDROMULCH SEED

- CONSTRUCTION NOTES**
- 1 INCH THICK BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED A MIN OF 8 INCHES. IF PREASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MAX.
 - ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC FENCE SHALL HAVE A MIN HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE PISTS, AND FOLDED.

FILTER FABRIC FENCE

CONSULTANT

B&L
 BAKER & LAWSON, INC.
 ENGINEERS - PLANNERS - SURVEYORS
 300 E. GEORGE ST. ANGLETON, TEXAS 77515
 PHONE (409) 844-8861 FAX (409) 844-4668
 REG. NO. F-825

ANGLETON WAREHOUSE DEVELOPMENT

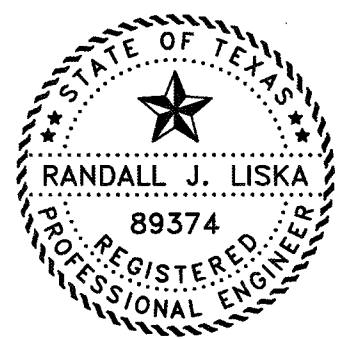
2151 County Road 220, Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
 date 05-07-21
 drawn by RL/BB
 checked by ???

sheet number **C9**
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BEATY PALMER ARCHITECTS



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 P.E. 89374
 Date: May 10, 2021

1. SITE DESCRIPTION

- A. NATURE OF THE CONSTRUCTION ACTIVITY: THE ANGLETON WAREHOUSE DEVELOPMENT WILL CONSIST OF A 52,500 SF WAREHOUSE BUILDING, A 42,490 SF WAREHOUSE BUILDING, CONCRETE PARKING LOT, DRIVE AND TRUCK WELLS, UNDERGROUND UTILITIES, STORM SEWERS, DRAINAGE SWALES AND DETENTION POND. THE SITE HAS UNDEVELOPED COMMERCIAL NORTH AND EAST, CR 220 TO THE SOUTH AND COMMERCIAL AND UNDEVELOPED COMMERCIAL TO THE WEST.
- B. INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES: SOIL TO BE STRIPPED OF ALL VEGETATION. UTILITY CONSTRUCTION WILL INVOLVE EXCAVATION OF TRENCHES. FILL WILL BE PROVIDED FROM THE PROPOSED DETENTION POND. EXCESS FILL WILL BE REMOVED FROM THE SITE. TRUCKS WILL BE USED TO DELIVER MATERIALS TO THE SITE. SOME TRUCKS WILL BE USED TO HAUL AWAY DEBRIS AND WASTE MATERIALS FROM THE PROJECT LOCATION. THESE TRUCKS WILL BE ROUTED ALONG CR 220 AFTER COMPLETION OF THE NEW DRIVE FOR INGRESS AND EGRESS. RUTTING, DURING WET WEATHER, WILL PROVIDE POTENTIAL FOR TRACKING MUD ALONG THE HAUL ROUTES. CR 220 WILL BE CLEANED DAILY.
- C. TOTAL PROJECT AREA: 9.273 ACRE
- D. TOTAL AREA TO BE DISTURBED: 8.073 ACRE
WEIGHTED RUNOFF COEFFICIENT (BEFORE CONSTRUCTION): 0.30 (AFTER CONSTRUCTION): 0.8
- E. REFER TO GENERAL LOCATION MAP AND SITE MAP FOR DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES; AREAS OF SOIL DISTURBANCE; AREAS WHICH WILL NOT BE DISTURBED; LOCATIONS OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS; LOCATIONS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR; LOCATION OF OFF-SITE MATERIAL, WASTE, BORROW OR EQUIPMENT STORAGE AREAS; SURFACE WATERS (INCLUDING WETLANDS); AND LOCATIONS WHERE STORM WATER DISCHARGES TO A SURFACE WATER.
- F. LOCATION AND DESCRIPTION OF ANY DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION:
NONE
- G. NAME OF RECEIVING WATERS: DRAINAGE WILL BE COLLECTED IN THE PROPOSED DETENTION POND. WATER IN THE POND WILL BE PUMPED INTO THE ROADSIDE DITCHES ON CR 220. WATER WILL DISCHARGE TO BASTROP BAYOU VIA ROADSIDE DITCHES AND EVENTUALLY INTO THE GULF OF MEXICO.
- H. REFER TO FEDERAL REGISTER, VOLUME 63, NO.128, MONDAY JULY 6, 1998, PAGES 36497 TO 36515 FOR REQUIREMENTS OF NPDES GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES IN REGION 6.
- I. LISTED ENDANGERED OR THREATENED SPECIES OR CRITICAL HABITAT FOUND IN PROXIMITY TO THE CONSTRUCTION ACTIVITY:
NONE
- J. PROPERTY LISTED OR ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES:
NONE

2. CONTROLS

- NARRATIVE - SEQUENCE OF CONSTRUCTION ACTIVITIES AND APPROPRIATE CONTROL MEASURES DURING CONSTRUCTION
- INSTALL SILT FENCE ALONG THE PERIMETER OF THE WORK AREA. CONSTRUCT THE STABILIZED CONSTRUCTION ENTRANCE AND INSTALL INLET PROTECTION ON EXISTING CURB INLETS AND TYPE "A" INLETS ALONG ANDERSON AND SOUTHSIDE ROAD.
 - AFTER CLEARING IS COMPLETE, CONSTRUCTION OF THE DETENTION POND, STORM SEWER AND UNDERGROUND UTILITIES MAY BEGIN.
 - LOT GRADING WILL FOLLOW UTILITY CONSTRUCTION.
 - ALL SEEDED AND SODDED AREAS ARE TO BE FERTILIZED AND IRRIGATED TO ENSURE GROWTH.
- A. EROSION AND SEDIMENT CONTROLS:
EROSION AND SEDIMENT CONTROLS SHALL RETAIN SEDIMENT ON SITE TO THE EXTENT PRACTICABLE. CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (WHERE APPLICABLE) AND GOOD ENGINEERING PRACTICES. OFFSITE SEDIMENT ACCUMULATIONS MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS WHEN CAPACITY HAS BEEN REDUCED BY 50%. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WALL SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.

SOIL STABILIZATION PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
TEMPORARY SEEDING		X		
PERMANENT PLANTING, SODDING, OR SEEDING		X		
MULCHING- WHERE INDICATED				
SOIL RETENTION BLANKET				
VEGETATIVE BUFFER STRIPS				
PRESERVATION OF NATURAL RESOURCES				
OTHER:				

THE FOLLOWING RECORDS SHALL BE MAINTAINED AND ATTACHED TO THIS SWPPP:
DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, DATES WHEN STABILIZATION MEASURES ARE INITIATED.

STRUCTURAL PRACTICES:	OWNER/DEVELOPER	GENERAL CNTRTR.	BUILDER	OTHER
SILT FENCES		X		
HAY BALES				
ROCK BERMS				
DIVERSION, INTERCEPTOR, OR PERIMETER DIKES				
DIVERSION, INTERCEPTOR, OR PERIMETER SWALES		X		
DIVERSION DIKE AND SWALE COMBINATIONS				
PIPE SLOPE DRAINS				
ROCK BEDDING AT CONSTRUCTION EXIT		X		
TIMBER MATTING AT CONSTRUCTION EXIT				
SEDIMENT TRAPS				
SEDIMENT BASINS				
STORM INLET PROTECTION		X		
STONE OUTLET STRUCTURES				
OTHER: GRASS WEIR SODDING				

- B. STORM WATER MANAGEMENT MEASURES INSTALLED DURING CONSTRUCTION TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION:
DETENTION POND

C. OTHER CONTROLS

- NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE UNITED STATES, EXCEPT AS AUTHORIZED BY A PERMIT ISSUED UNDER SECTION 404 OF THE CLEAN WATER ACT.
- WASTE MATERIALS: ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL CONTAINER. THE CONTAINER SHALL MEET ALL STATE AND CITY SOLID WASTE MANAGEMENT REGULATIONS. THE CONTAINER SHALL BE EMPTIED AS NECESSARY AND THE TRASH HAULED TO AN APPROPRIATE DUMP SITE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON SITE.
- HAZARDOUS WASTE (INCLUDING SPILL REPORTING): AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES ARE CONSIDERED TO BE HAZARDOUS: PAINT, CLEANING SOLVENTS, ASPHALT PRODUCTS, PETROLEUM PRODUCTS, CHEMICAL ADDITIVES FOR SOIL STABILIZATION, AND CONCRETE CURING COMPOUNDS AND ADDITIVES. IN THE EVENT OF A SPILL WHICH MAY BE HAZARDOUS, THE SPILL COORDINATOR SHOULD BE CONTACTED IMMEDIATELY.
- SANITARY WASTE: PORTABLE SANITARY FACILITIES WILL BE PROVIDED BY THE CONTRACTOR. ALL SANITARY WASTES WILL BE COLLECTED FROM PORTABLE UNITS AND SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
- OFFSITE VEHICLE TRACKING SHALL BE MINIMIZED BY:
 HAUL ROADS DAMPENED FOR DUST CONTROL LOADED
 HAUL TRUCKS TO BE COVERED WITH TARPULIN
 EXCESS DIRT ON ROAD REMOVED DAILY STABILIZED
 CONSTRUCTION ENTRANCE
- OTHER: TRUCKS HAULING VEGETATION AND DEBRIS WILL BE MONITORED AND SHALL BE COVERED WITH TARPULINS IF REQUIRED TO PREVENT DUST OR OTHER PARTICLES FROM BLOWING OR FALLING FROM TRUCK.
- REMARKS: ALL OPERATIONS WILL BE CONDUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNTS OF SEDIMENT THAT MAY ENTER THE RECEIVING WATERS. DISPOSAL AREAS SHALL NOT BE LOCATED IN ANY WETLAND, WATERBODY, OR STREAMBED. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS.

3. MAINTENANCE

ALL EROSION AND SEDIMENT CONTROLS WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF A REPAIR IS NECESSARY IT SHALL BE DONE AT THE EARLIEST TIME POSSIBLE, BUT NO LATER THAN SEVEN CALENDAR DAYS AFTER THE GROUND HAS DRIED SUFFICIENTLY TO PREVENT FURTHER DAMAGE FROM HEAVY EQUIPMENT. THE AREAS ADJACENT TO DRAINAGE WAYS SHALL HAVE PRIORITY, FOLLOWED BY DEVICES PROTECTING STORM SEWER INLETS. MAINTENANCE SHALL BE PERFORMED BEFORE THE NEXT ANTICIPATED STORM EVENT OR AS SOON AS PRACTICABLE.

4. INSPECTION


AN INSPECTION WILL BE PERFORMED BY THE PERMITEE EVERY FOURTEEN DAYS AS WELL AS AFTER EVERY ONE-HALF INCH OR GREATER RAINFALL EVENT. AN INSPECTION AND RAINFALL REPORT WILL BE MADE AFTER EACH INSPECTION. ANY DEFICIENCIES WILL BE NOTED AND APPROPRIATE CHANGES SHALL BE MADE TO THE SYSTEM TO COMPLY WITH REQUIREMENTS.

5. NON-STORMWATER DISCHARGES

- FIRE HYDRANT FLUSHING
- BUILDING WASHDOWN WITHOUT DETERGENTS
- PAVEMENT WASHDOWN WITHOUT DETERGENTS
- CONDENSATE
- UNCONTAMINATED GROUNDWATER
- UNCONTAMINATED FOUNDATION DRAINS

SWPPP NARRATIVE

CONSULTANT revisions



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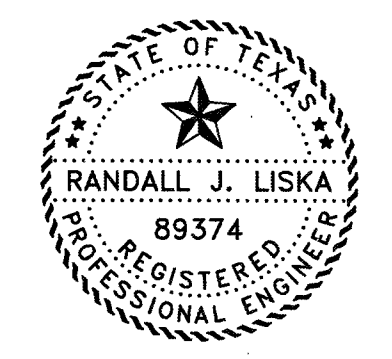
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BEARDEN INVESTMENTS

project number 12943
date 05-07-21
drawn by RL/BB
checked by ???

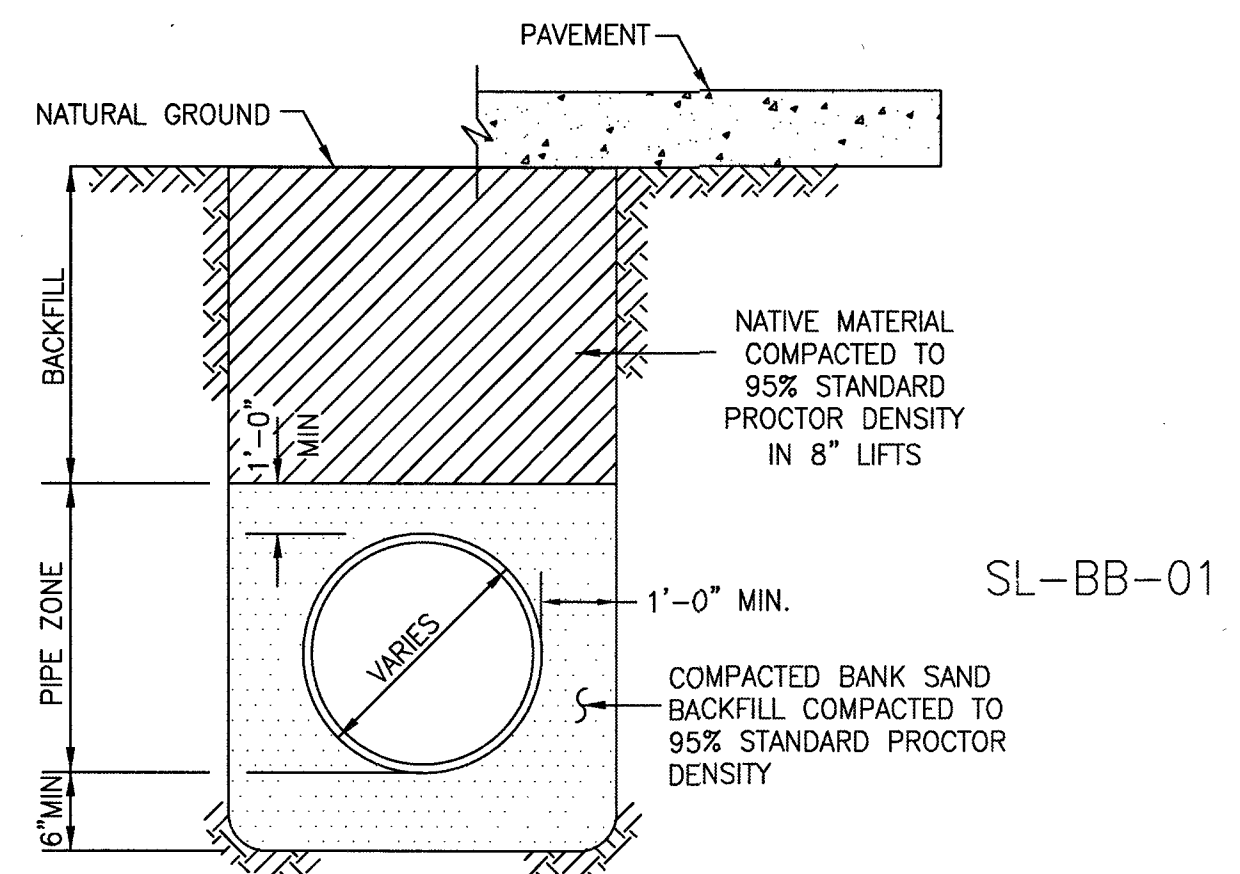
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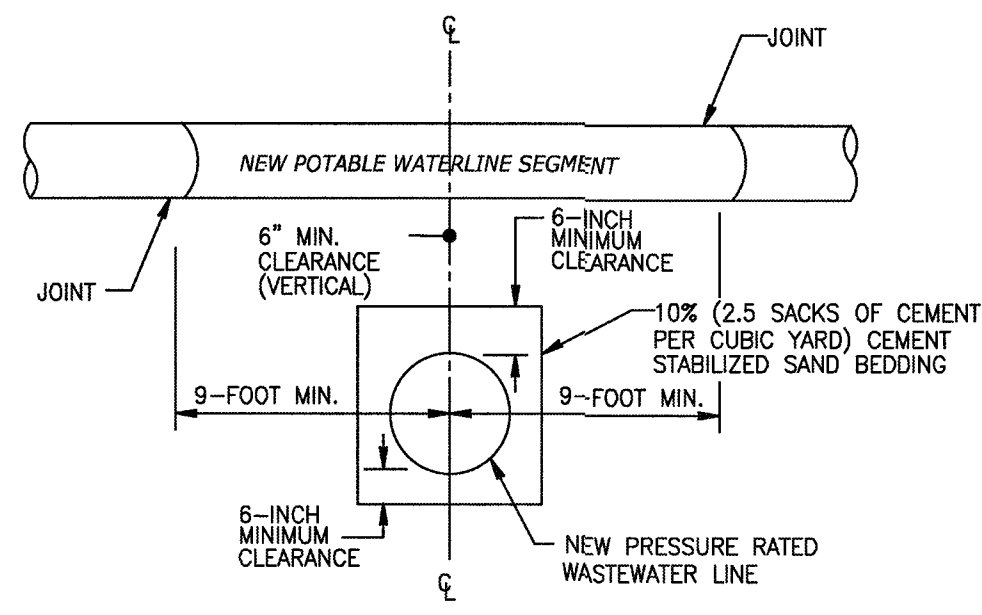
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Date: May 10, 2021



P.V.C. PIPE BEDDING & BACKFILL
N.T.S.
*SEE CONSTRUCTION NOTES

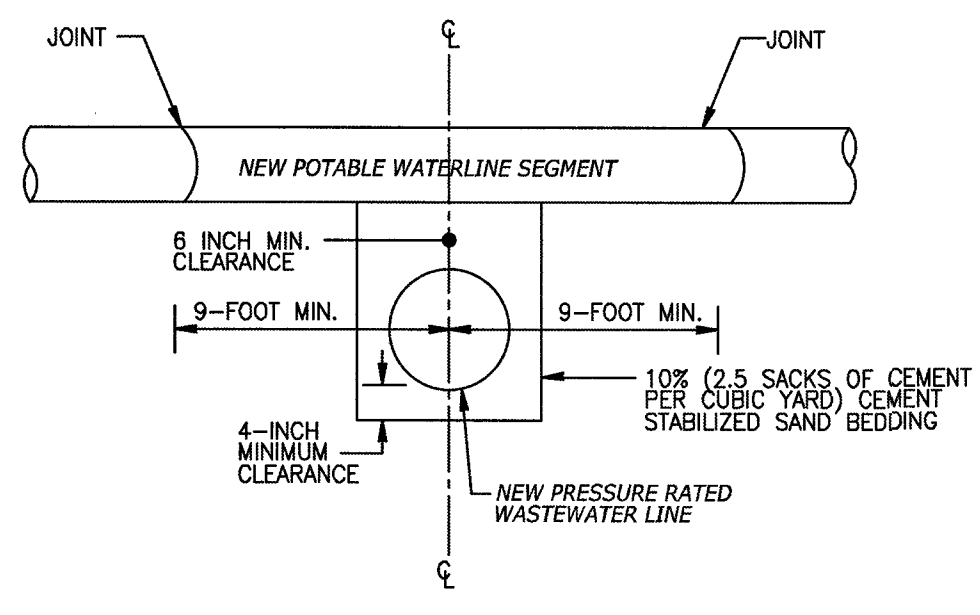
I
NEW POTABLE WATERLINE CROSSING NEW PRESSURE RATED WASTEWATER LINE WITH SEGMENT LENGTHS OF EIGHTEEN (18) FEET OR GREATER, HAVING 6 INCHES OF VERTICAL CLEARANCE AND 4 FEET OF HORIZONTAL CLEARANCE



- WHENEVER POSSIBLE, THE CROSSING SHALL BE CENTERED BETWEEN JOINTS OF THE WASTEWATER LINE.
- MINIMUM WASTEWATER PIPE STIFFNESS OF 115 PSI AT 5% DEFLECTION.
- EMBED WASTEWATER LINE IN CEMENT STABILIZED SAND TO AT LEAST 12" INCHES BEYOND EACH JOINT OF CROSSED SECTION OF PIPE.

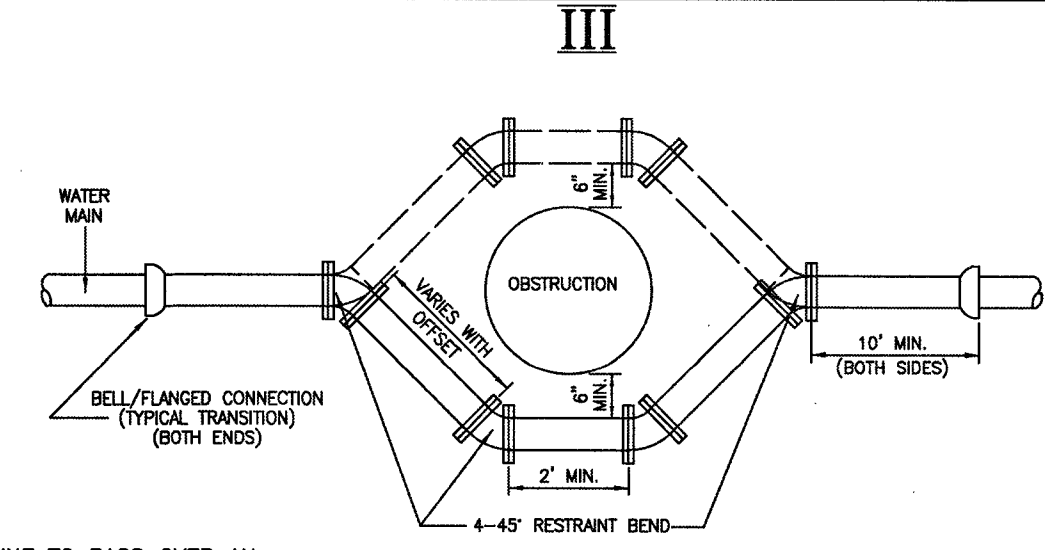
SL-WA-09

II
NEW POTABLE WATERLINE CROSSING NEW PRESSURE RATED WASTEWATER LINE



- WHENEVER POSSIBLE, THE CROSSING SHALL BE CENTERED BETWEEN JOINTS OF THE WASTEWATER LINE.
- MINIMUM WASTEWATER PIPE STIFFNESS OF 115 PSI AT 5% DEFLECTION.
- EMBED WASTEWATER LINE IN CEMENT STABILIZED SAND TO AT LEAST 12" INCHES BEYOND EACH JOINT OF CROSSED SECTION OF PIPE.

SL-WA-10



FOR A LINE TO PASS OVER AN OBSTRUCTION RATHER THAN UNDER, IT MUST HAVE ADEQUATE COVER AND BE APPROVED BY THE ENGINEERING DEPARTMENT.

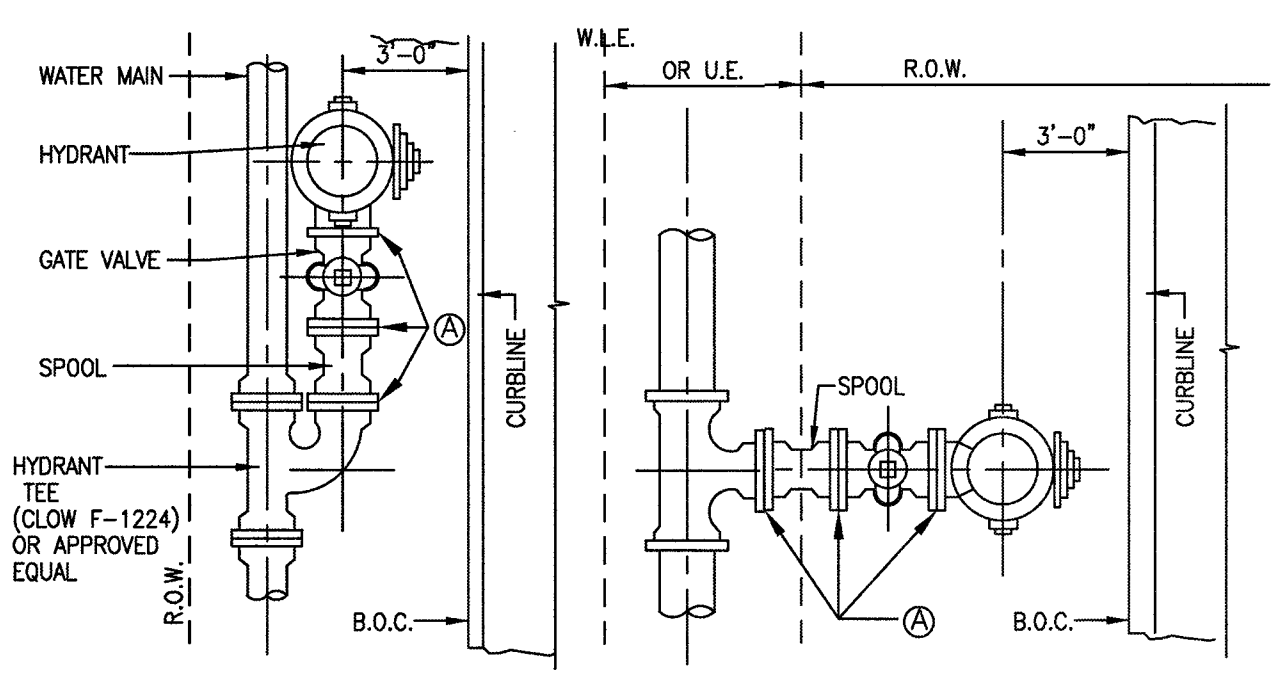
- NOTES:**
1. PIPE MATERIAL SHALL BE AWWA C900 PVC, DR-14, 200 PSI WITH INTEGRAL PVC RESTRAINED JOINTS.
 2. OFFSET ASSEMBLY MUST PASS OVER THE OBSTRUCTION AS LONG AS THE MINIMUM CLEARANCE IS MAINTAINED. SPECIFIC APPROVAL FROM THE UTILITIES DEPARTMENT MUST BE GRANTED FOR THE OFFSET TO PASS UNDER THE OBSTRUCTION.
 3. MATERIAL AND COATINGS SHALL BE IN ACCORDANCE WITH WATER MAIN STANDARD SPECIFICATIONS.
 4. RESTRAIN EXISTING PIPING BEYOND OFFSET SECTION AS REQUIRED TO PREVENT MOVEMENT.
 5. ALL PVC PRODUCTS MUST BE LISTED ON CITY OF SUGAR LAND'S APPROVED PRODUCTS LIST.

MIN. PIPE WALL THICKNESS	
4"	0.250"
6"	0.280"
8"	0.322"
12"	0.375"
AND LARGER	

PVC WATER PIPE OFFSET ASSEMBLY

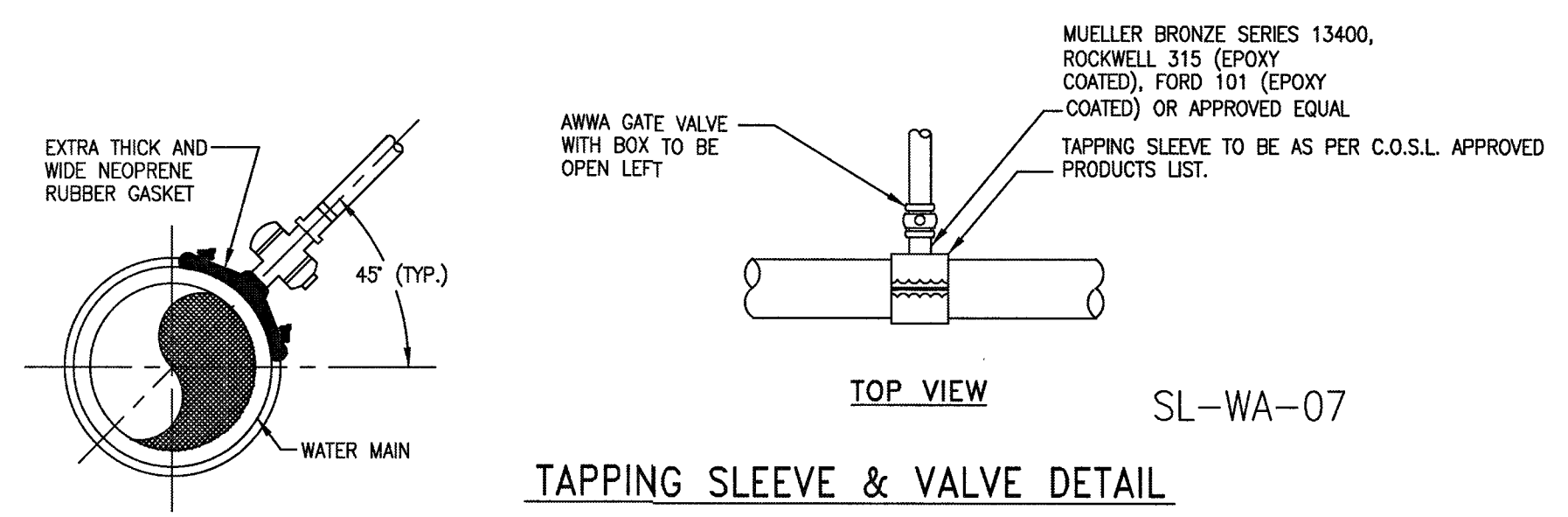
SL-WA-11

SANITARY FORCE MAIN & WATER LINE BEDDING AND BACKFILL



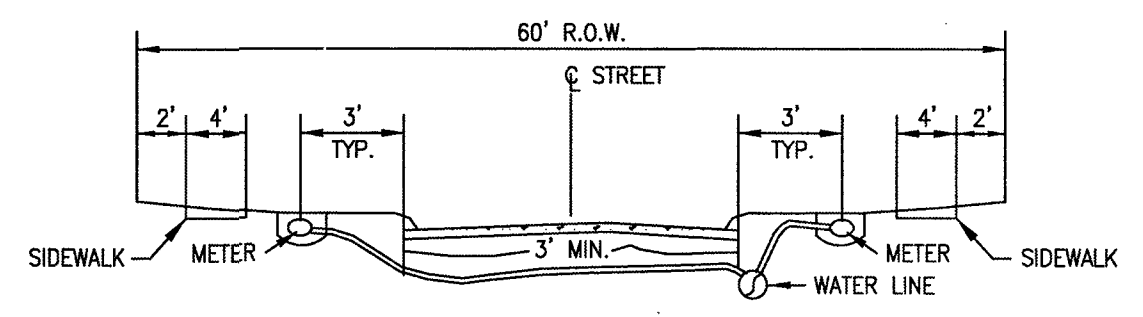
R.O.W. INSTALLATION N.T.S.
EASEMENT INSTALLATION N.T.S.

NOTE: WHEN WATER LINE IS LOCATED IN EASEMENT, STANDARD 100 MAN BE USED.



TAPPING SLEEVE & VALVE DETAIL
N.T.S.

SL-WA-07



WATER SERVICE CONNECTION AND WATER SERVICE TAPPING ASSEMBLY DETAIL
N.T.S.

SL-WA-03

POLYETHYLENE WRAP FOR IRON PIPE

- NOTE:**
1. POLYETHYLENE FILM SHALL BE USED AS A WRAP TO PROTECT CAST IRON AND OTHER METALS IN A CORROSIVE SOIL ENVIRONMENT.
 2. AN 8 MIL POLYETHYLENE FILM WRAP SHALL BE REQUIRED AROUND ALL METAL PIPE AND APPURTENANCES (EXCEPT FIRE HYDRANTS).
 3. POLYETHYLENE FILM SHALL BE FURNISHED AND INSTALLED EITHER IN TUBULAR FORM PRIOR TO LOWERING THE PIPE IN TRENCH OR IN SHEET FORM.
 4. POLYETHYLENE TUBE ENCASUREMENT SHALL CONFORM WITH THE MINIMUM REQUIREMENTS OF "POLYETHYLENE ENCASUREMENT FOR GRAY AND DUCTILE CAST-IRON PIPING FOR WATER AND OTHER LIQUIDS", ANSI/AWWA C105, CURRENT REVISION. SOILS WITHIN A PROJECT SHALL BE TESTED IN ACCORDANCE WITH APPENDIX A OF ANSI/AWWA C105 TO ADEQUATELY DETERMINE THE REQUIREMENTS FOR ENCASUREMENT.
 5. ALL FITTINGS AND PIPE JOINTS WITHIN 10' OF A FITTING SHALL HAVE RESTRAINT JOINTS

SIZE	90° BEND		45° BEND		22 1/2° BEND		TEES		PLUGS	
	A	B	A	B	A	B	A	B	A	B
2 1/2"	12"	7"	6"	7"	6"	7"	8"	8"	14"	
6"	16"	10"	9"	10"	6"	12"	10"	12"	10"	21"
8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
10"	26"	17"	14"	17"	10"	13"	16"	20"	14"	36"
12"	29"	21"	16"	21"	11"	16"	18"	24"	16"	41"
14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"
20"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
24"	50"	40"	30"	40"	18"	30"	30"	40"	30"	*78"
30"	60"	48"	36"	48"	20"	36"	36"	48"	36"	*96"

BENDS, TEES & PLUGS FOR PIPE OF VARIOUS SIZES
SL-WA-08

WATER LINE CONSTRUCTION DETAILS

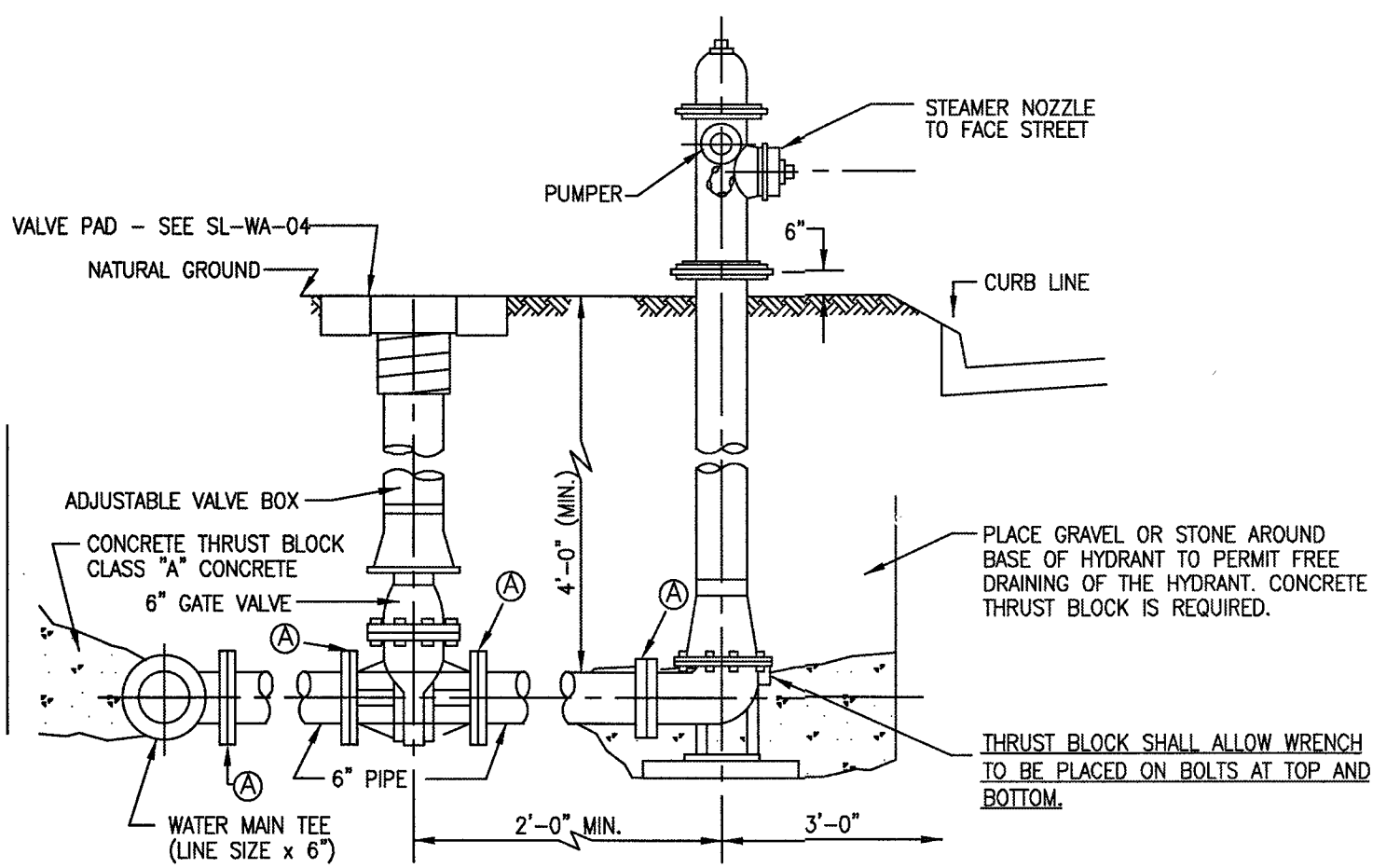
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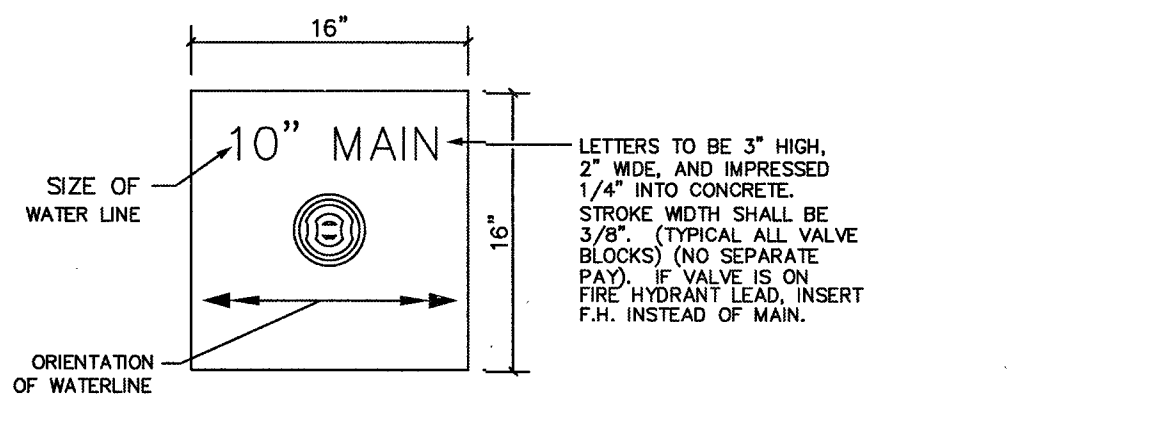
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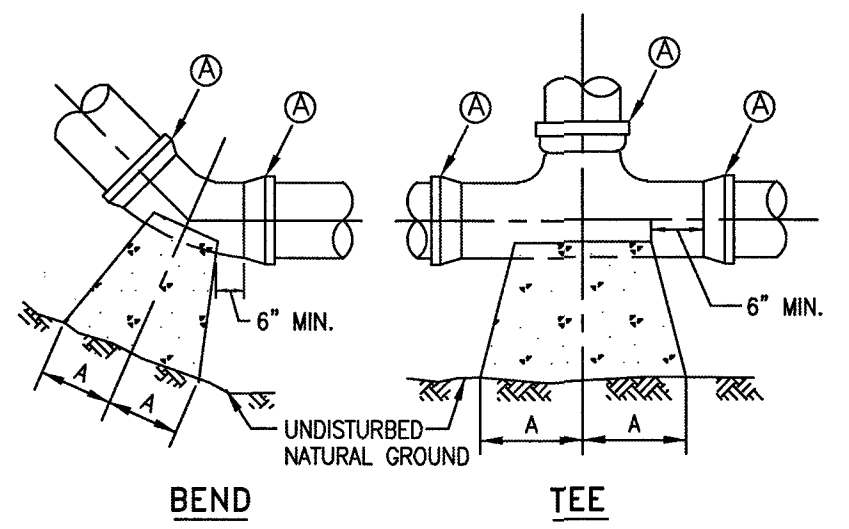
BEATY PALMER ARCHITECTS



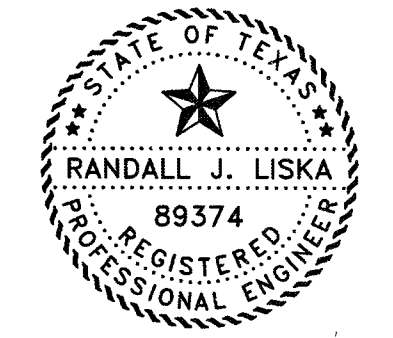
TYPICAL GATE & FIRE HYDRANT INSTALLATION N.T.S.
FLUSHING VALVE COLOR CODE
MAIN LINE DIAMETER: 6 INCHES (AND LESS) - YELLOW; 8 INCHES - WHITE; 12 TO 16 INCHES - GREEN; GREATER THAN 16 INCHES - ORANGE.
BONNET, PUMPER CAP AND STEAMER CAP: 6 INCHES (AND LESS) - YELLOW; 8 INCHES - WHITE; 12 TO 16 INCHES - GREEN; GREATER THAN 16 INCHES - ORANGE.
FIRE HYDRANT BODY TO BE PAINTED GEO-GLEN 301 BRIGHT SILVER ALUMINUM POLYURETHANE ENAMEL, BY GEO-GLEN ENTERPRISES OR APPROVED EQUAL.
ALL FLUSHING VALVES TO BE SAND BLASTED AND PAINTED AS PER C.O.S.L. DESIGN STANDARDS.
② = RESTRAINED JOINT
SL-WA-01



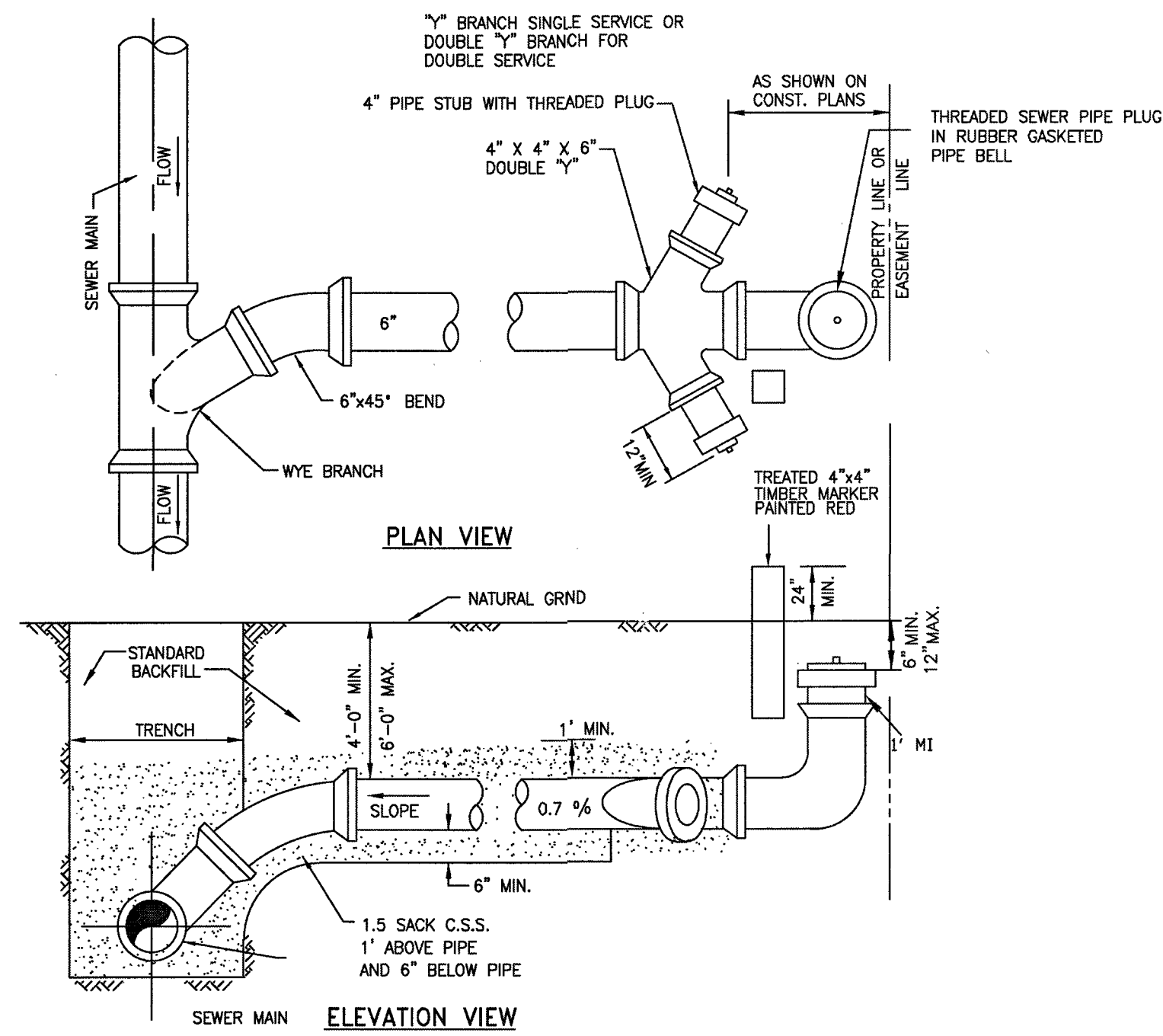
CONCRETE PAD N.T.S.
VALVE BOX INSTALLATION DETAIL N.T.S.
NOTE: ALL VALVES MUST HAVE CONCRETE PAD.
NOTE: ALL FLUSHING AND GATE VALVES TO BE INSTALLED BELOW GRADE TO BE A.W.W.A. STANDARD W/RESILIENT SEATS AND NON RISING STEM DESIGN.
VALVE BOX SHALL NOT CONTACT GATE VALVE BOX.
SL-WA-04



BEND & TEE N.T.S.
THRUST BLOCK DETAIL N.T.S.
NOTE: THRUST BLOCKS AT TRENCH FACE MUST HAVE A MINIMUM BEARING SURFACE OF 10 SQ. FEET AND SHALL BE NO SMALLER THAN 1.5 TIMES PIPE DIAMETER. ALL CONCRETE SHALL BE 5 SACK MIN., 3000 P.S.I.
② = RESTRAINED JOINT
SL-WA-05

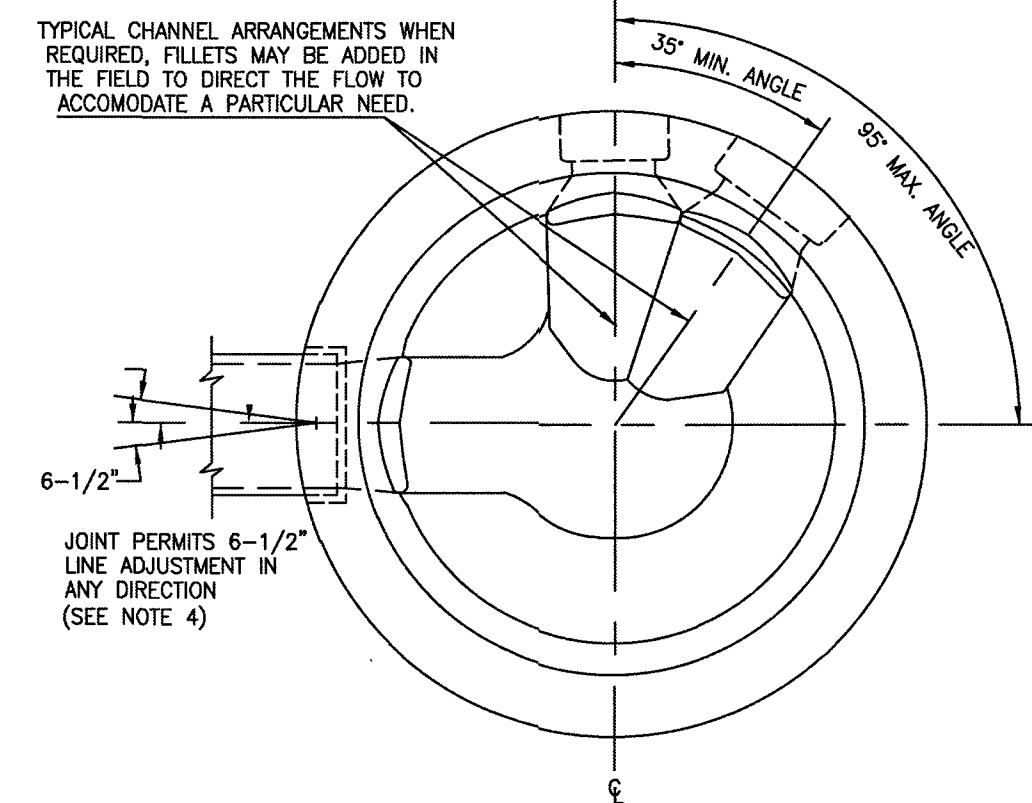


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Date: May 10, 2021



SL-SS-06

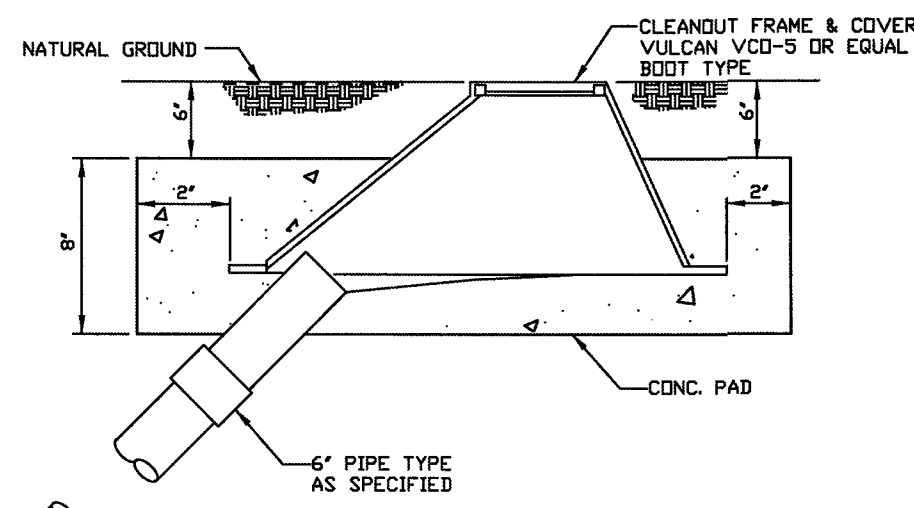
SANITARY SEWER SERVICE CONNECTION
N.T.S.



PIPING CONNECTIONS DETAIL
SL-SS-05

- NOTE:
1. INFLUENT AND EXFLUENT PIPING CONNECTIONS TO MANHOLE SHALL BE ALIGNED TO PREVENT REVERSE FLOW.
 2. INFLUENT AND EXFLUENT CONNECTIONS ARE LIMITED TO A MAXIMUM 90° INCLUDED ANGLE OF CONVERGENCE.
 3. MINIMUM 35° AND MAXIMUM 90° INCLUDED ANGLES MUST BE PROVIDED BETWEEN MULTIPLE INFLUENT CONNECTIONS.
 4. ANGLE OF DEFLECTION AT PIPING JOINTS AS PER MANUFACTURER'S RECOMMENDATIONS.

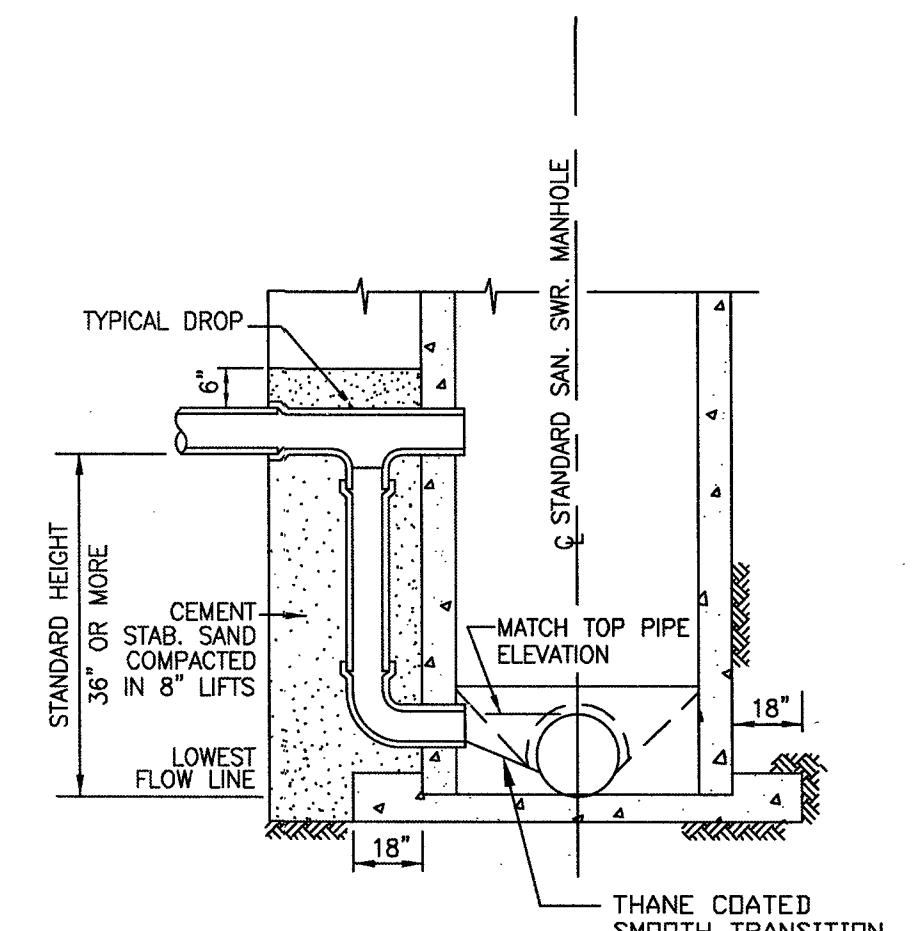
- NOTES:
1. CONTRACTOR SHALL CONTACT CITY OF SUGAR LAND ENGINEERING DEPARTMENT AT (281) 275-2780 IF WET SAND OR OTHER UNSTABLE SOIL CONDITIONS, HIGH WATER TABLE AND/OR UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED.
 2. SHOULD A CONFLICT ARISE BETWEEN INFORMATION DEPICTED ON APPROVED CONSTRUCTION DRAWINGS AND INFORMATION INCLUDED IN PROJECT SPECIFICATIONS, CITY OF SUGAR LAND DESIGN STANDARDS SHALL GOVERN.
 - 3-4 N/A
 5. MANHOLE RIM ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY. CONTRACTORS SHALL ADJUST RIM ELEVATIONS TO 0.4 FEET ABOVE FINISHED GRADE WITHIN RIGHTS-OF-WAY AND EASEMENTS AT EACH MANHOLE LOCATION AFTER FINAL GRADING. ADJUSTMENTS TO MANHOLE RIM ELEVATIONS SHALL BE ACCOMPLISHED BY THE USE OF THROAT RINGS ONLY (MAX. OF 24 INCHES PERMITTED). THE AREA ADJACENT TO SANITARY SEWER MANHOLE LOCATIONS SHALL BE GRADED AWAY FROM SUCH MANHOLES SO AS PREVENT ENTRY OF STORM WATER RUNOFF TO THE SANITARY SEWER SYSTEM.
 - 6 N/A
 7. CONNECTIONS TO EXISTING AND/OR NEW SANITARY SEWER MANHOLES CONSTRUCTED OF PRECAST CONCRETE NOT HAVING PRECURED HOLES OF CORRECT DIAMETER, LOCATION AND FIELD CORING ONLY SHALL ACCOMPLISH INVERT ELEVATION. IN NO INSTANCE WILL EITHER MANUAL OR PNEUMATIC CHSELS AND/OR HAMMER DRILLS BE UTILIZED TO BREAK HOLES IN PRECAST CONCRETE MANHOLES, PIPE SEGMENTS OR OTHER PRECAST STRUCTURES SUCH AS LIFT STATIONS.



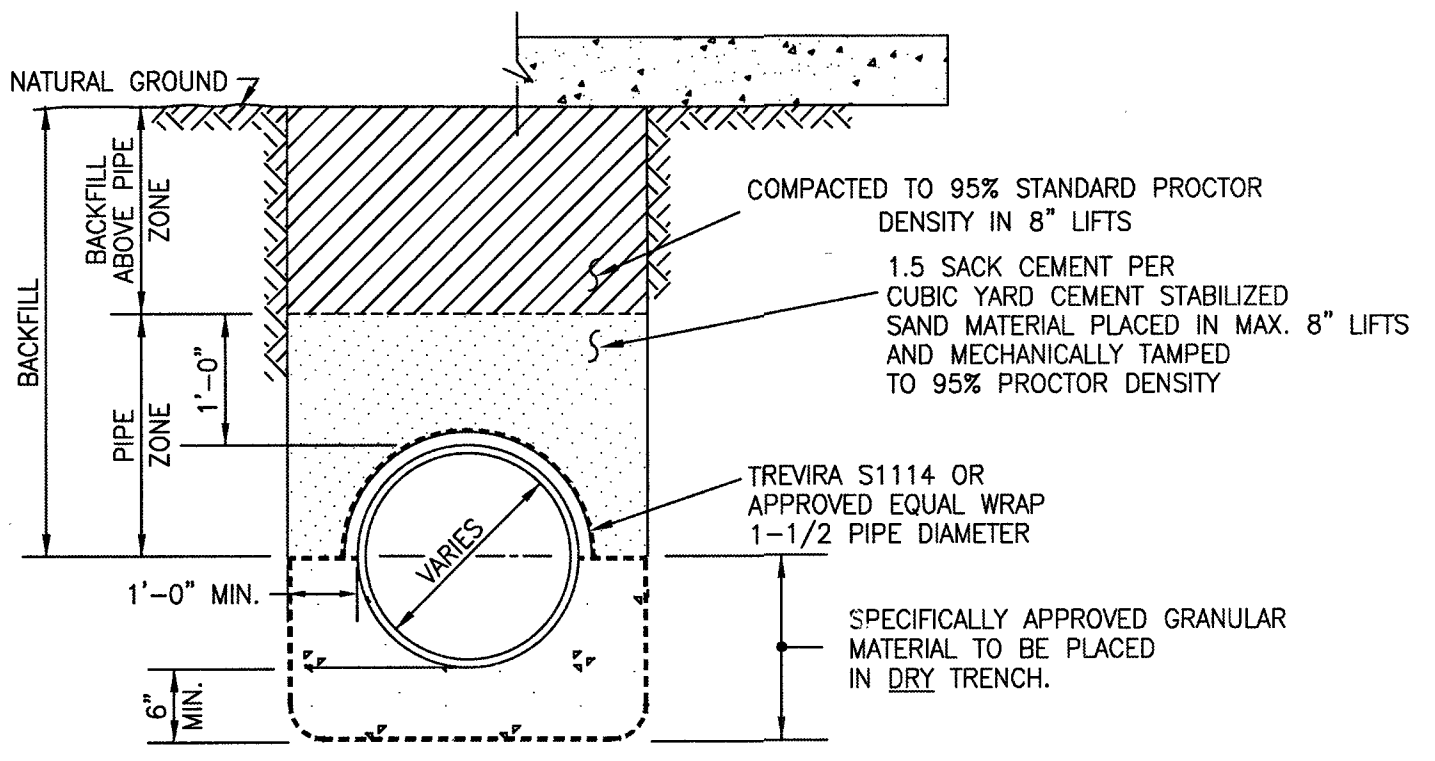
SANITARY SEWER CLEANOUT DETAIL
N.T.S.

8. BEDDING AND BACKFILL OF SANITARY SEWER PIPING AND MANHOLES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CITY OF SUGAR LAND DESIGN STANDARDS. A 1.5-SACK MIX IS REQUIRED FOR ALL CEMENT STABILIZED SAND BEDDING AND SUCH BEDDING SHALL BE INSTALLED IN LIFTS OF EIGHT INCHES MAXIMUM.
9. SOLVENT WELDED JOINTS ARE NOT AN ACCEPTABLE JOINING METHOD FOR SANITARY SEWERS CONSTRUCTED OF PVC PIPING MATERIALS AND LOCATED WITHIN RIGHTS-OF-WAY OR EASEMENTS. RUBBER GASKETED BELL AND SPIGOT SANITARY SEWER JOINTS ARE MANDATORY. BELL (FEMALE) ENDS OF PIPE SHALL BE INSTALLED ON UPSTREAM SIDE WITH SPIGOT (MALE) ENDS ORIENTED DOWNSTREAM.
10. SANITARY SEWER LEADS SHALL BE EXTENDED TO RIGHTS-OF-WAY AND/OR EASEMENT LINES AS APPLICABLE AND CAPPED/PLUGGED FOR FUTURE CONNECTIONS. SERVICE LEADS ARE TO BE INSTALLED SO AS TO PASS UNDER POTABLE WATER PIPING AT CROSSINGS WHERE POSSIBLE.
11. EACH SANITARY SEWER SERVICE LEAD STUB, PLUGGED WYE BRANCH OUTLET AND STACK SHALL BE MARKED WITH A PRESSURE TREATED 4 X 4 TIMBER AT THE TIME OF CONSTRUCTION, BEGINNING AT THE INVERT ELEVATION OF THE STUB OR WYE AND AT AN ELEVATION TWO FEET BELOW THE CAPPED TERMINATION POINT OF THE STACK AND EXTENDING TWO FEET ABOVE FINISHED GRADE. EACH TIMBER MARKER SHALL BE PAINTED RED AND LABELED "SANITARY SEWER STUB", "SANITARY SEWER WYE" OR "SANITARY SEWER STACK" AS APPROPRIATE WITH STUB, WYE BRANCH OUTLET OR STACK SIZE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. DURING THE COURSE OF ANY AND ALL CLEARING, GRUBBING, FILL, GRADING, EXCAVATION OR OTHER CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT STORM DRAINAGE PATHWAYS ARE MAINTAINED AND REMAIN OPEN TO ENSURE POSITIVE DRAINAGE AND THAT SUCH CONVEYANCES ARE NOT IMPEDED OR BLOCKED IN ANY WAY. STORM SEWER INLETS SHALL BE PROTECTED FROM ENTRY OF SILT, TRASH, DEBRIS AND ANY SUBSTANCES DELETERIOUS TO THE STORM SEWER SYSTEM AND/OR WATERWAYS RECEIVING STORM WATER RUNOFF. CONTRACTOR SHALL AT COMPLETION OF WORK, FILL LOW SPOTS AND GRADE ALL RIGHTS-OF-WAY AND UTILITY EASEMENTS AND REGRADE/RESTORE DITCHES AS NECESSARY TO MAINTAIN AND/OR ESTABLISH POSITIVE DRAINAGE.

SL-SS-07



STANDARD DROP DETAIL
(SEE C.S.S. NOTES)

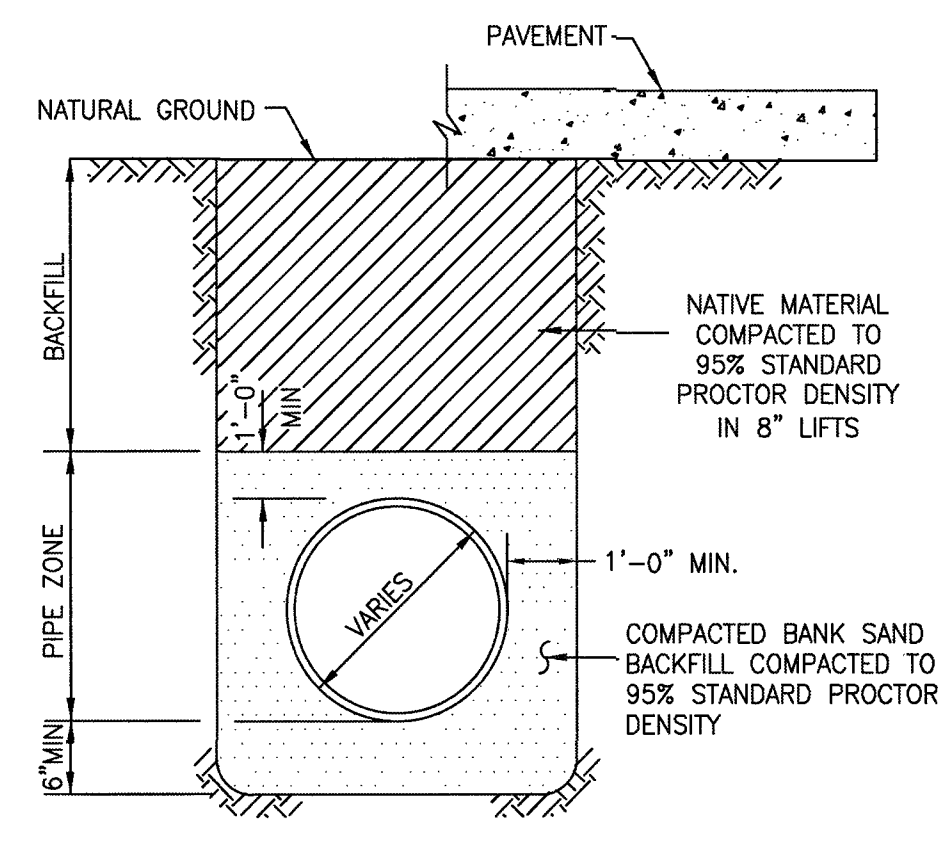


MODIFIED "A"
N.T.S.

NOTE: C.S.S. SHALL BE INSTALLED A MIN. 1' ABOVE TOP OF PIPE.

SANITARY SEWER BEDDING AND BACKFILL

SL-BB-03

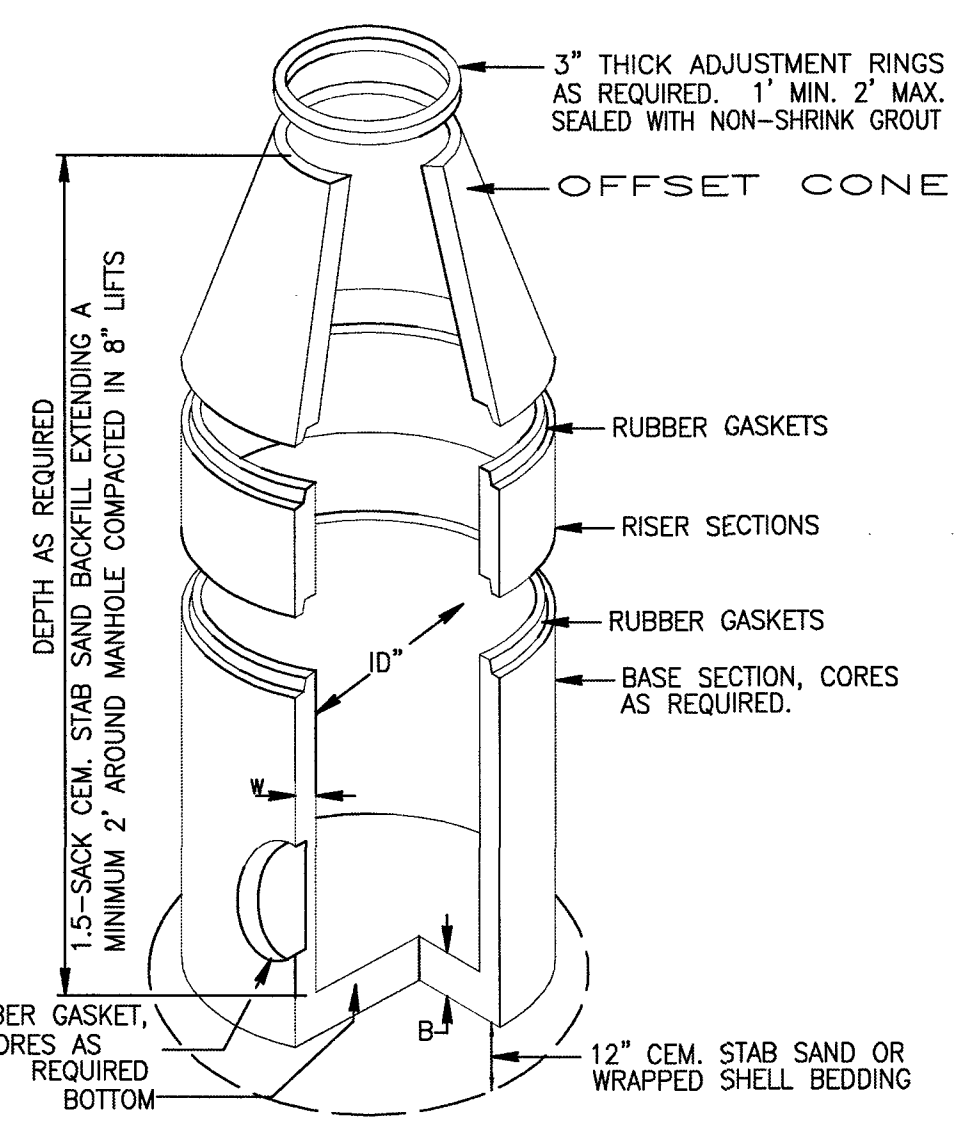


P.V.C. PIPE BEDDING & BACKFILL
N.T.S.

*SEE CONSTRUCTION NOTES

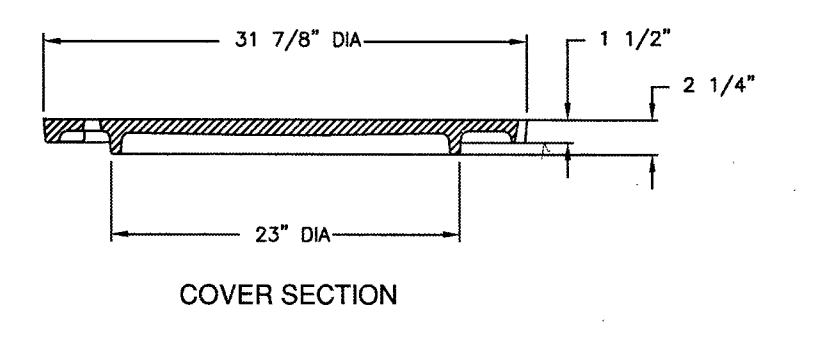
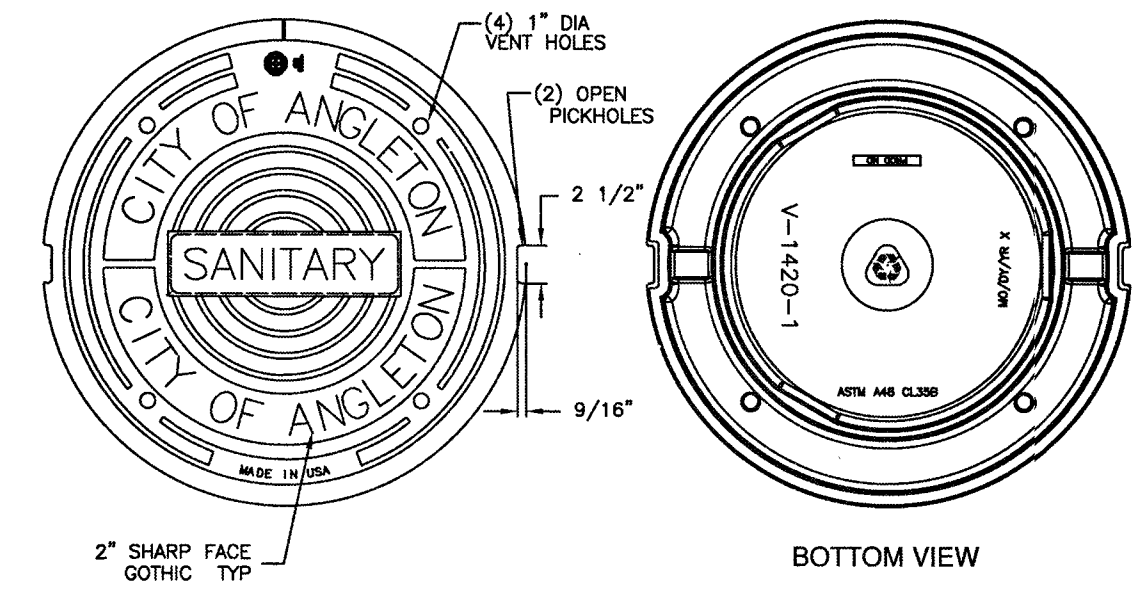
SL-BB-01

SANITARY FORCE MAIN & WATER LINE BEDDING AND BACKFILL



- SPECIFICATIONS:
- CONCRETE: CLASS 1 CONCRETE WITH A DESIGN STRENGTH OF 4500 PSI AT 28 DAYS. RATES FOR H-20 LOADING.
- REINFORCEMENT: STRUCTURAL REINFORCEMENT CONFORMING TO ASTM-C-478.
- C.I. CASTINGS: CAST IRON FRAMES AND LIDS ARE MANUFACTURED OF GREY CAST IRON CONFORMING TO ASTM A48-76 CLASS 35.

V1420-1 Cover



32\"/>

- NOTES:
1. LIFTING INSERTS AS REQUIRED.
 2. ALL JOINTS SHALL BE SEALED WITH APPROVED RUBBER GASKET
 3. STRUCTURE TO BE PLACED ON 12\"/>
 - 4. C.S.S. SHALL BE BROUGHT TO WITHIN 2'-FT OF TOP OF MANHOLE.
 - 5. PRE-CAST MANHOLE SHALL BE IN COMPLIANCE WITH APPROVED PRODUCT LIST.
 - 6. THANE COAT SHALL BE IN COMPLIANCE WITH APPROVED PRODUCT LIST.
 - 7. INVERTS SHALL COMPLY WITH C.O.S.L. DESIGN MANUAL SPECIFICATIONS.
 - 8. INFLOW PROTECTORS REQUIRED ON ALL SANITARY MANHOLES.
 - 9. REFER TO SANITARY MANHOLE LIDS, C.S.S. NOTES, MODIFIED BEDDING DETAILS AND NOTES.

PRECAST SANITARY MANHOLE
N.T.S.

SL-SS-03

- NOTES:
1. MATERIAL SPECIFICATION SHALL BE ASTM A-48 CLASS 35B.
 2. COVER TO BE SOLID, WITHOUT HOLES AND WITH NON-PENETRATION RIM ACCESS RECESSES ONLY.
 3. HORIZONTAL BEARING SURFACES TO BE MACHINED AND SEALED AT INSTALLATION WITH WATERPROOF GREASE COATING.
 4. LOAD RATING TO BE HEAVY-DUTY.
 5. MANHOLE FRAMES AND COVERS SET IN FIRM TO MARKET ROADS OR HIGHWAYS SHALL FOLLOW TxDOT SPECIFICATIONS. (UNLESS OTHERWISE NOTED BY ANGLETON)

SANITARY SEWER CONSTRUCTION DETAILS

CONSULTANT revisions

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BEARDEN INVESTMENTS

project number 12943
date 05-07-21

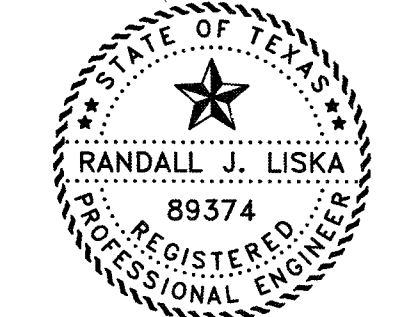
drawn by RL/BB
checked by RL

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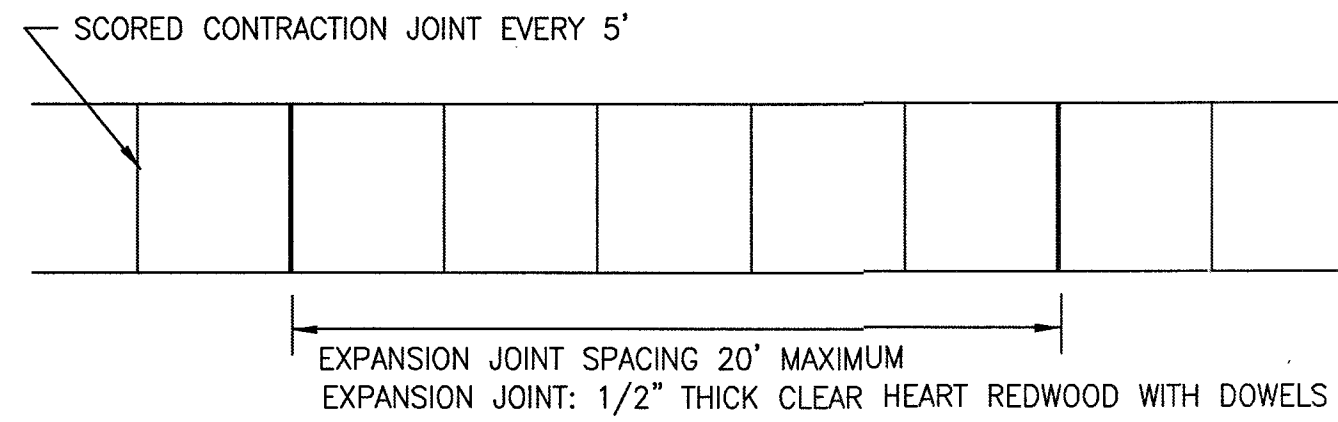
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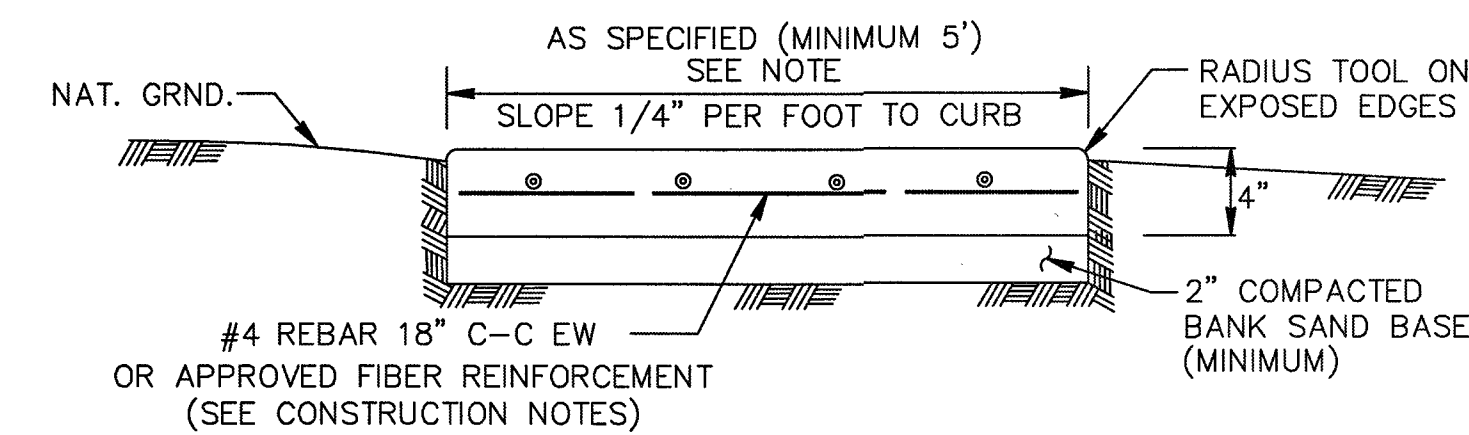
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SIDEWALK JOINT DETAILS

N.T.S.

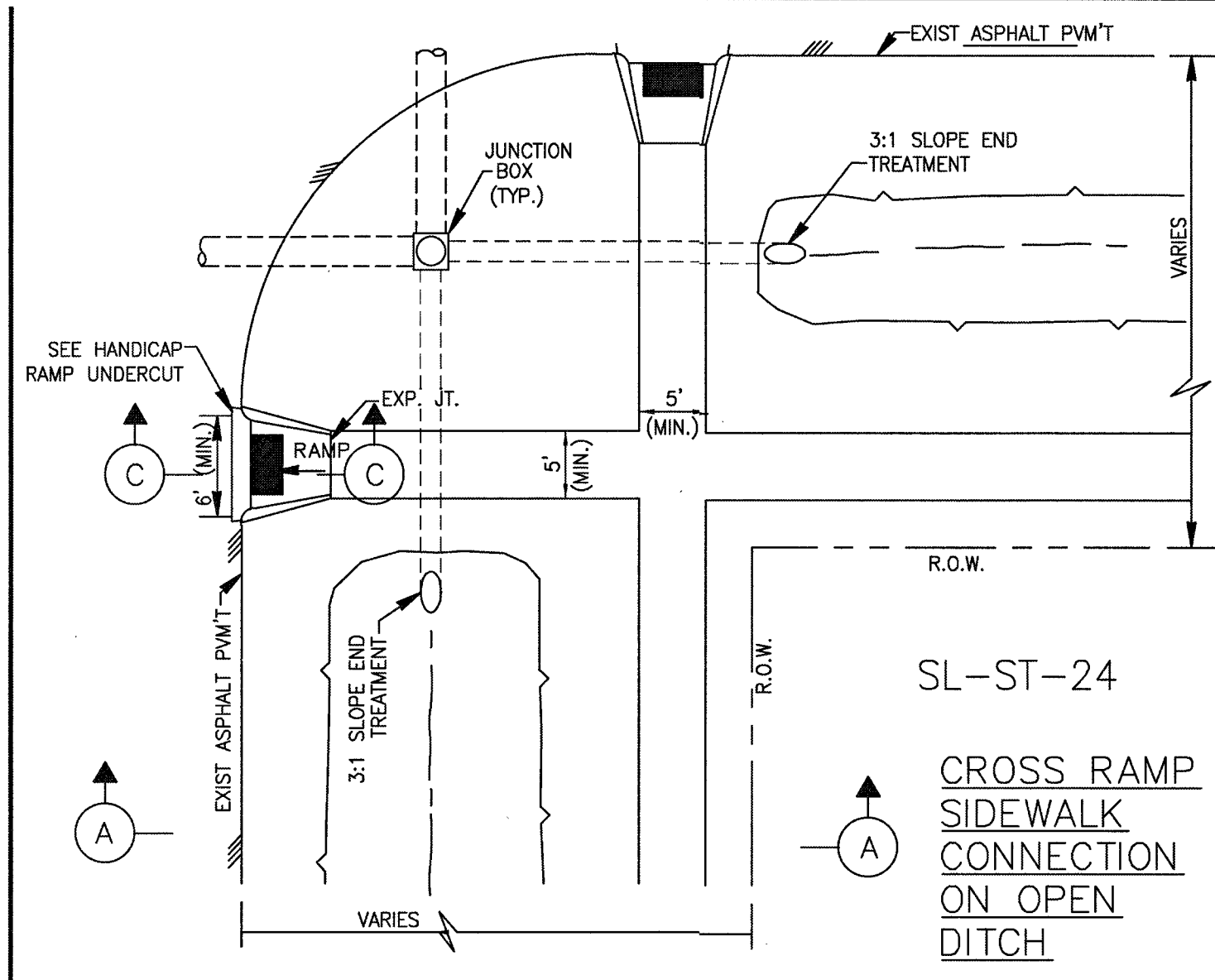
SL-ST-23



CONCRETE SIDEWALK

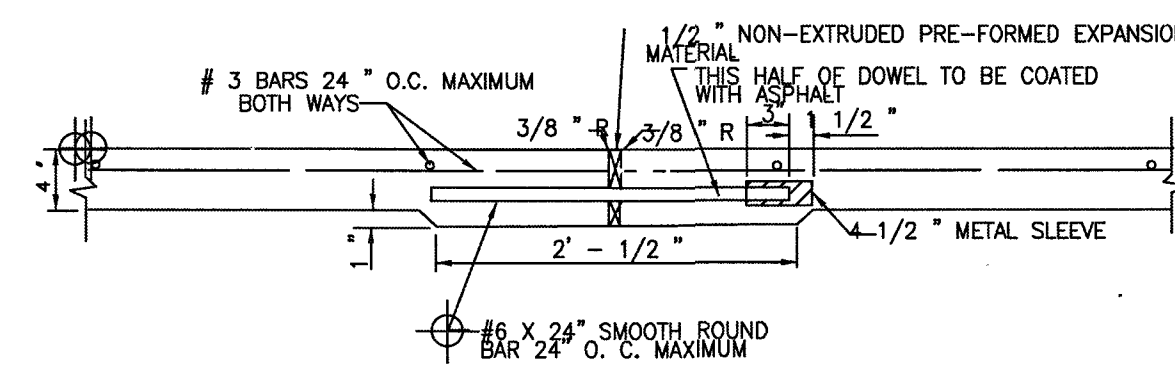
NOTE:
BANK SAND IS DEFINED AS A WELL-GRADED SAND, FREE OF SILT, CLAY, LOAM, FRIABLE OR SOLUBLE MATERIALS AND ORGANIC MATTER, MEETING THE UNIFIED SOILS CLASSIFICATION SYSTEM GROUP SYMBOL SW CRITERIA W/ A PLASTICITY INDEX OF ≤ 10 . AND NO MORE THAN 12% OF MATERIAL CAN PASS THE No. 200 SIEVE.

SL-ST-29



SL-ST-24

CROSS RAMP SIDEWALK CONNECTION ON OPEN DITCH



B-B EXPANSION JOINT DETAIL

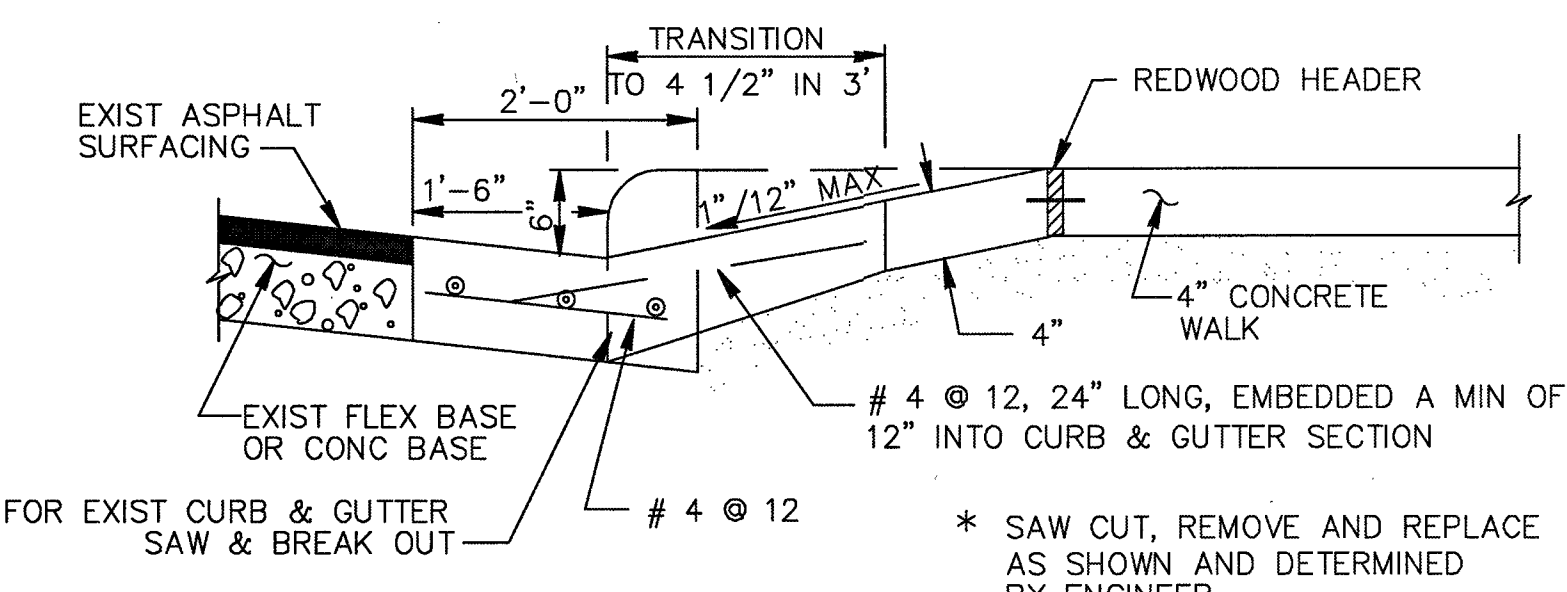
NOTES:

- EXISTING CURB AND GUTTER TO BE SAW CUT, REMOVED AND REPLACED. DOWEL STEEL FOR MINIMUM REINFORCING OVERLAP OF 10 INCHES (10") DOWELS SHALL BE EIGHTEEN INCHES (18") LONG AND EPOXYED A MINIMUM OF (8") EIGHT INCHES INTO EXISTING PAVEMENT.
- IF SIDEWALKS ARE NEITHER EXISTING NOR PROPOSED WHERE WHEELCHAIR RAMP ACCESS IS REQUIRED, CONCRETE SIDEWALKS SURFACE 4 1/2" THICK SHALL BE INSTALLED TO PROVIDE ACCESS TO THE PEDESTRIAN PUSH BUTTONS.
- DETECTABLE WARNINGS REQUIRED BY T.A.S. SECTIONS 4.1 AND 4.7 SHALL COMPLY WITH T.A.S. SECTION 4.29
- THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACE SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE.
- DETECTABLE WARNING SURFACE SHALL COVER THE ENTIRE WIDTH AND DEPTH OF RAMP.
- DETECTABLE WARNINGS SHALL BE INSTALLED WITH PAVERS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- CONCRETE PAVER UNITS SHALL MEET ALL REQUIREMENTS OF ASTM C-935, C-33, AND SHALL BE PLACED IN A TWO BY TWO UNIT BASKET WEAVE PATTERN, UNLESS SHOWN OTHERWISE IN THE PLANS.
- CONCRETE PAVER UNITS SHALL HAVE A TRUNCATED DOME TOP SURFACE FOR DETECTABLE WARNING TO PEDESTRIANS. DOMES SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- CONCRETE PAVER UNIT COLOR FOR THE RAMP SHALL BE A CONTRASTING COLOR THAT PROVIDES A LIGHT REFLECTIVE THAT SIGNIFICANTLY CONTRASTS WITH THE ADJACENT SURFACES. ADJACENT SURFACES INCLUDE SIDE FLARES.
- CONCRETE PAVER UNITS SHALL BE SAW CUT ONLY, AND ANY CUT UNIT SHALL NOT BE LESS THAN 25% OF A FULL UNIT.

CONSTRUCTION NOTES:

- THE MAXIMUM WIDTH BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 20'-0"
- EXPANSION JOINT IS TO BE 1/2" THICK CLEAR HEART REDWOOD WITH DOWELS.
- SCORED CONTRACTION JOINTS SHALL BE EVERY 5' OR EQUAL TO WIDTH OF SIDEWALK.
- ALL EARTHEN AREAS ARE TO BE SODDED UNLESS SHOWN OTHERWISE ON DRAWINGS.
- 4 INCH, 5 SACK CEMENT PER CUBIC YARD CONCRETE, 3000 PSI. REINFORCED CONCRETE WITH #3 BARS, 18 INCHES C-C, FOR SIDEWALKS, #4 BARS 18" C-C FOR WHEEL CHAIR RAMP IS THE MINIMUM ACCEPTED. MINIMUM 3 LONGITUDINAL BARS, FIBER REINFORCING SIDEWALKS-STEEL AND POLYPROPYLENE BLENDED FIBER REINFORCEMENT SYSTEM SUCH AS NOVOMESH #3 AS MANUFACTURED BY S.I. CONCRETE SYSTEMS (OR PRE-APPROVED EQUAL) MAY BE USED AS AN ALTERNATE TO CONVENTIONAL REBAR REINFORCING AT A DOSAGE RATE OF 24 LBS. PER CUBIC YARD OF CONCRETE.
- USE RADIUS TOOL ON ALL EXPOSED EDGES.
- TOP OF THE SIDEWALK ELEVATION TO BE TOP OF CURB.
- MEMBRANE CURING COMPOUND IS REQUIRED AS DESCRIBED IN ITEM 526 IN THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- REFER TO GENERAL NOTES AND CONCRETE/PAVING NOTES.
- SIDEWALK EXPANSION JOINTS SHALL CONFORM TO STREET EXPANSION JOINT STANDARDS.

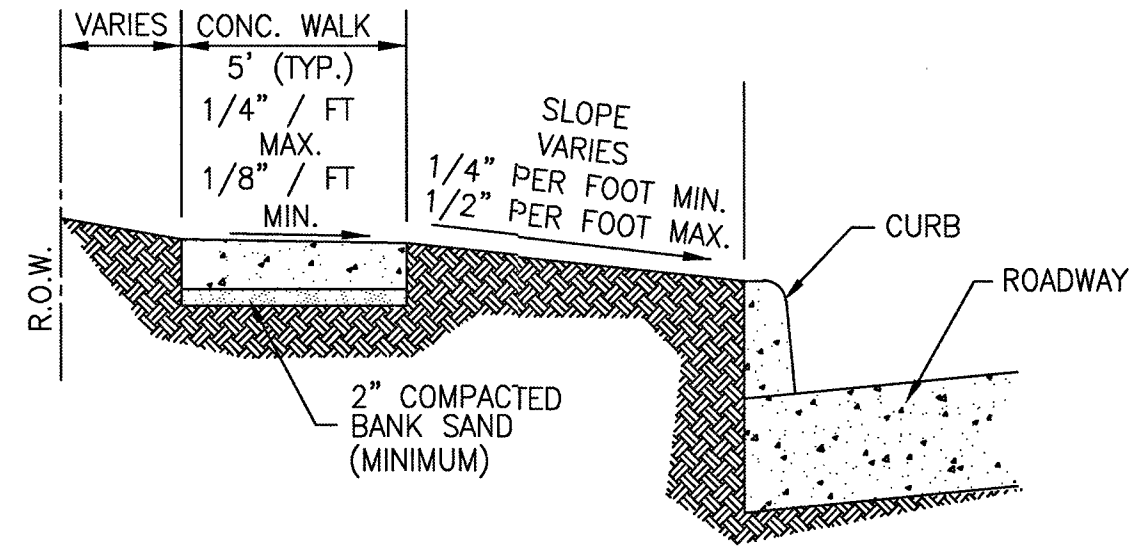
SL-ST-34



SECTION C

HANDICAP RAMP CURB & GUTTER*

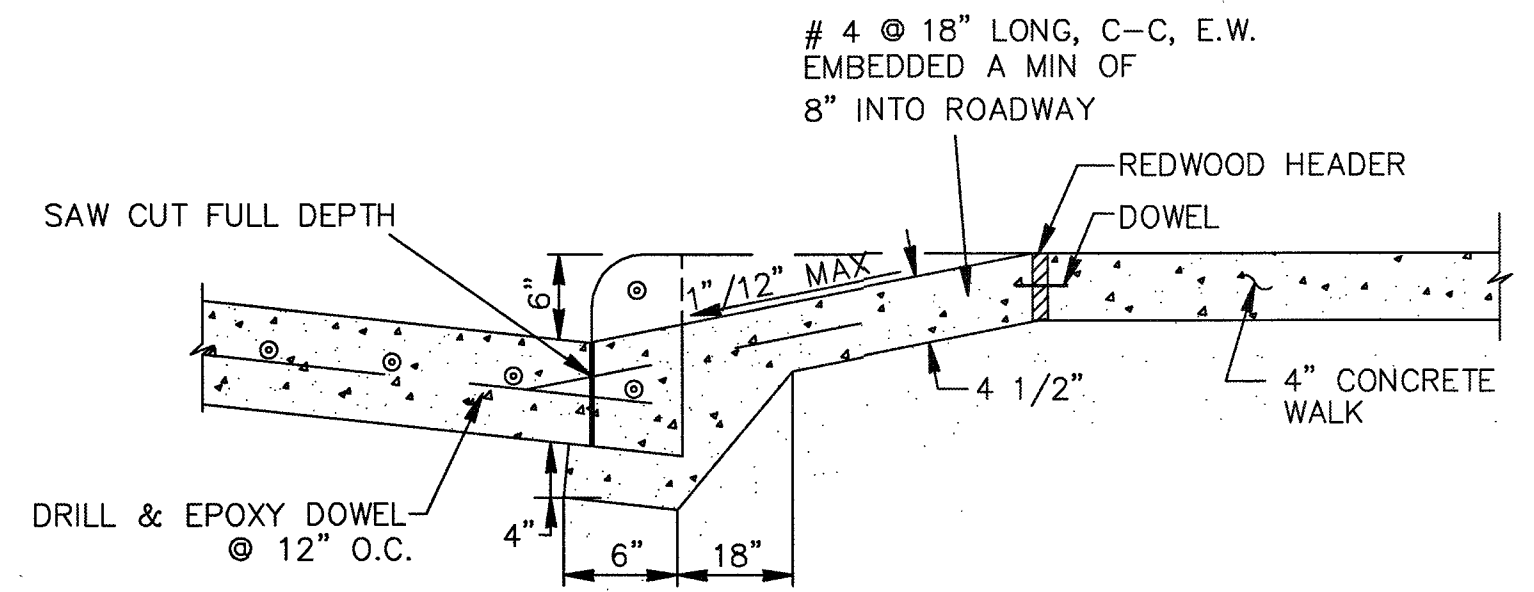
SL-ST-26



NOTE: SEE SIDEWALK, CONG/PAVING, AND GENERAL NOTES

TYPICAL SINGLE ROADWAY SIDEWALK

SL-ST-28

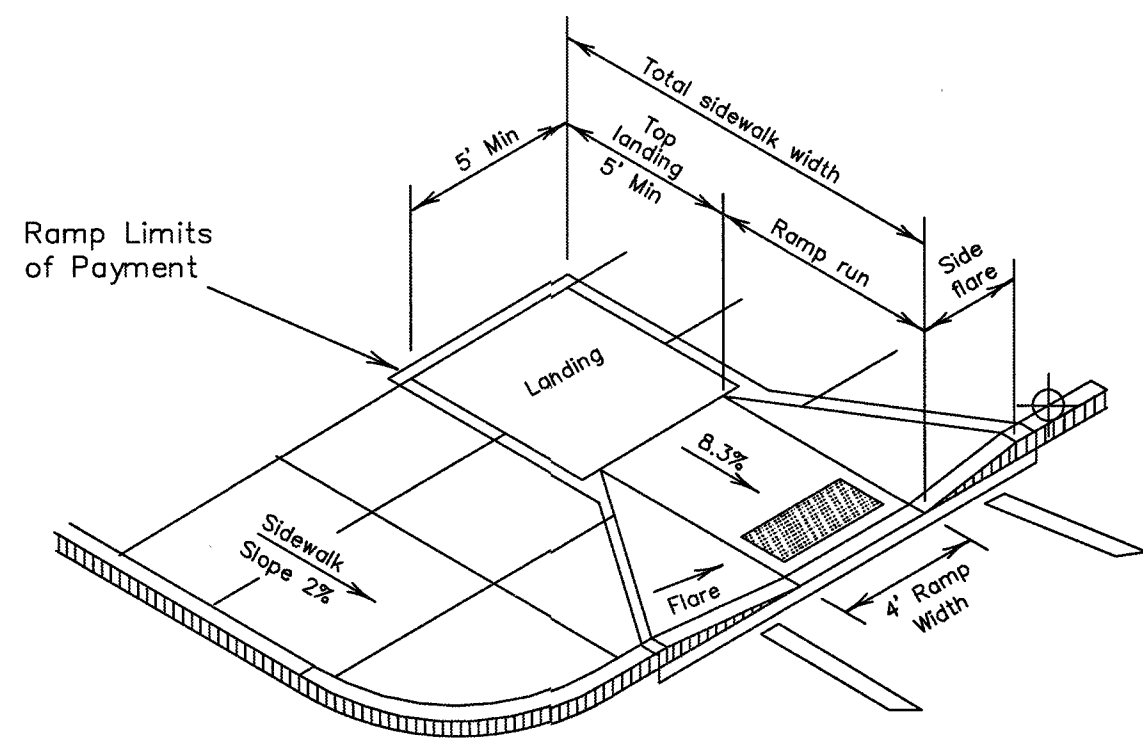


SECTION D

HANDICAP RAMP UNDERCUT

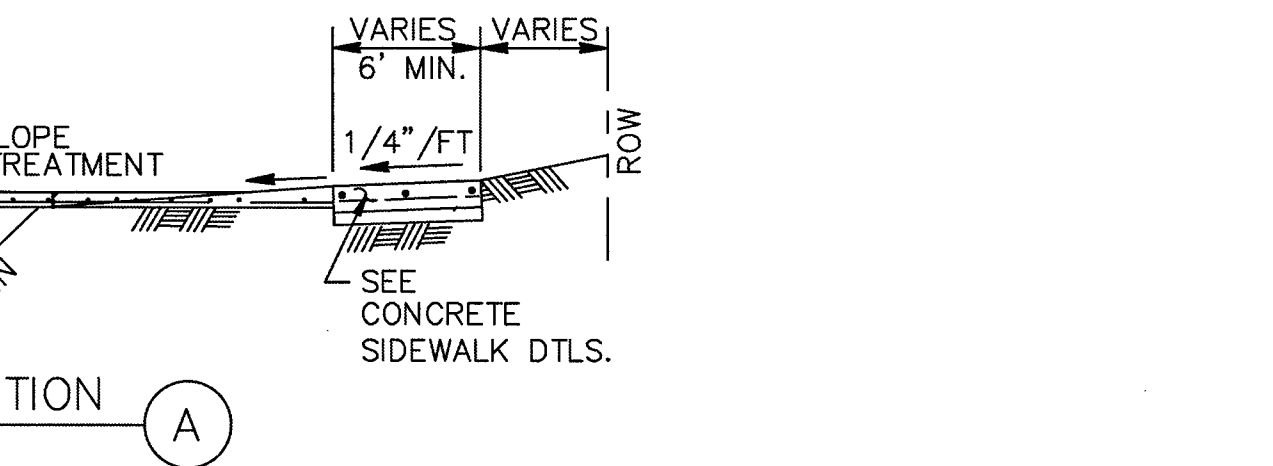
SL-ST-27

- STANDARD FLARED SINGLE RAMPS ARE ALLOWED AT LOCAL/LOCAL STREET CROSSINGS



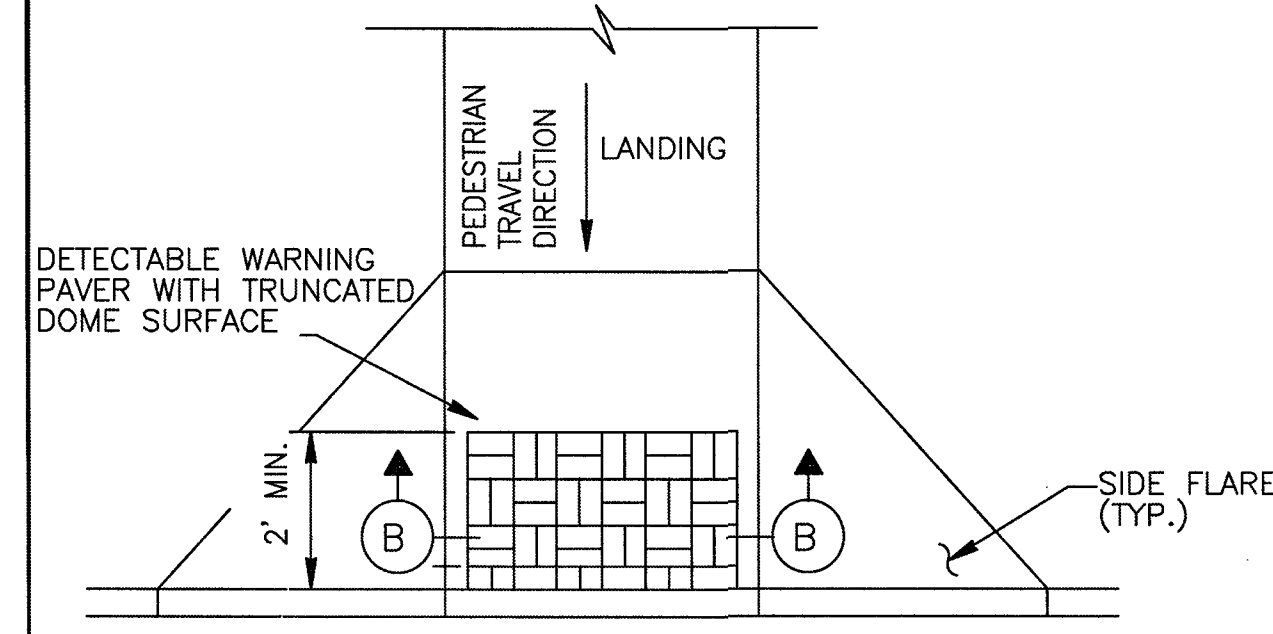
WHEELCHAIR RAMP SIDEWALK CONNECTION

SL-ST-30



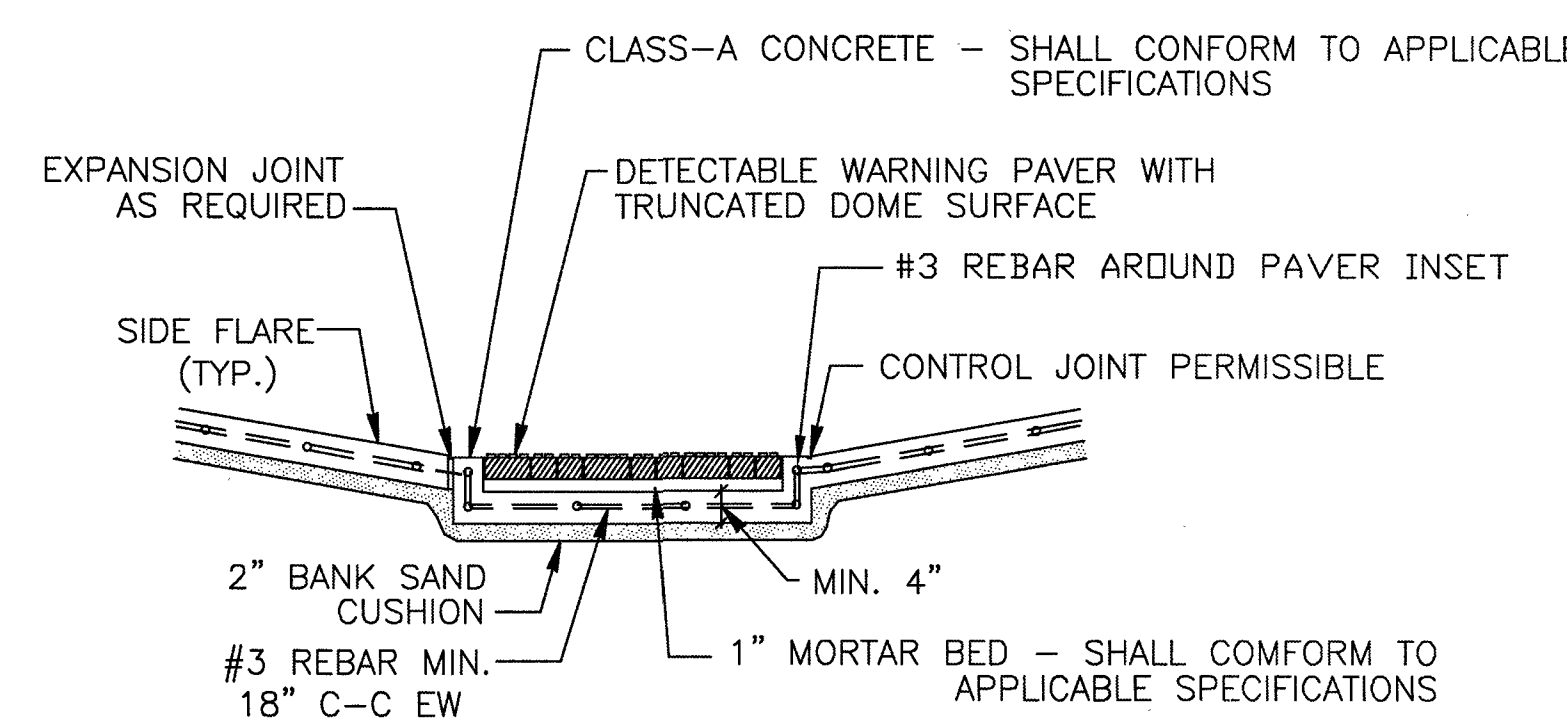
SECTION A

SL-ST-25



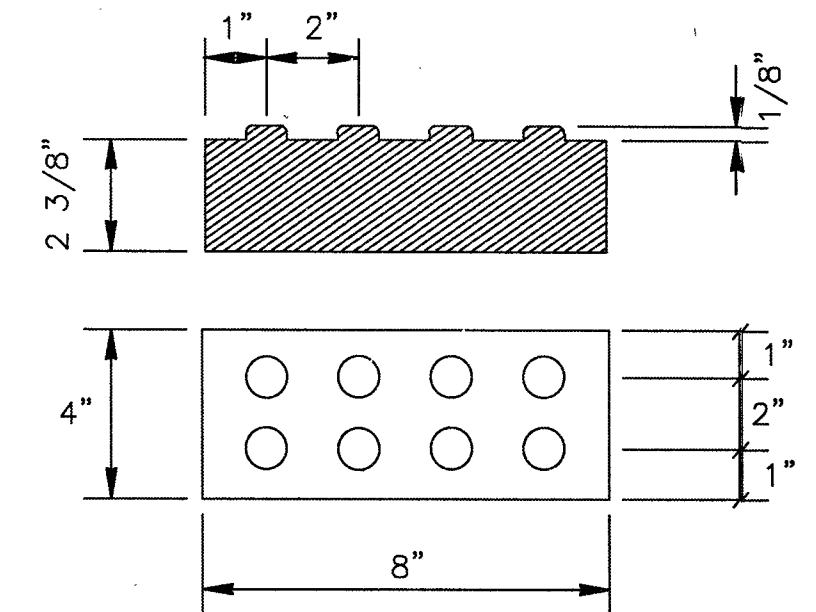
TRUNCATED DOME PATTERN CURB RAMP

SL-ST-31



SECTION B

SL-ST-33



CONCRETE PAVER WITH TRUNCATED DOME SURFACE

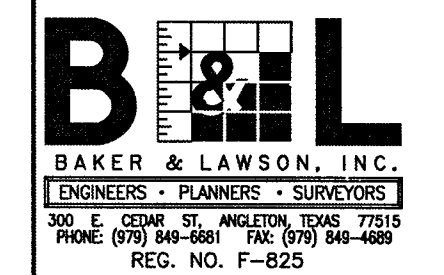
SL-ST-32



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT
SL-25

WHEEL CHAIR RAMP AND SIDEWALK DETAILS

CONSULTANT revisions



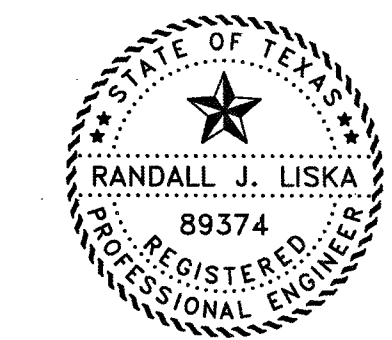
ANGLETON WAREHOUSE DEVELOPMENT
2151 County Road 220, Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
date 05-07-21
drawn by RL/BB
checked by RL

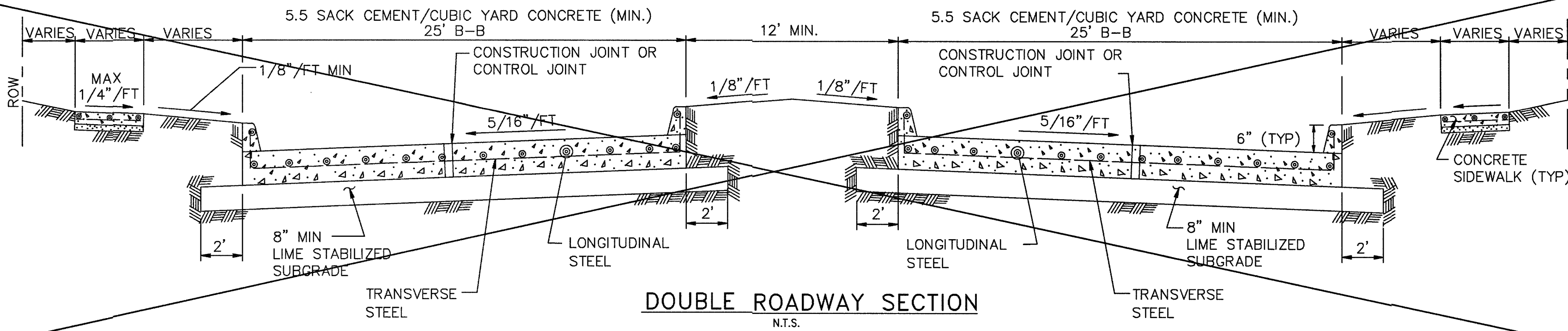
sheet number
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P.E. 89374

Date: 04/10/2021

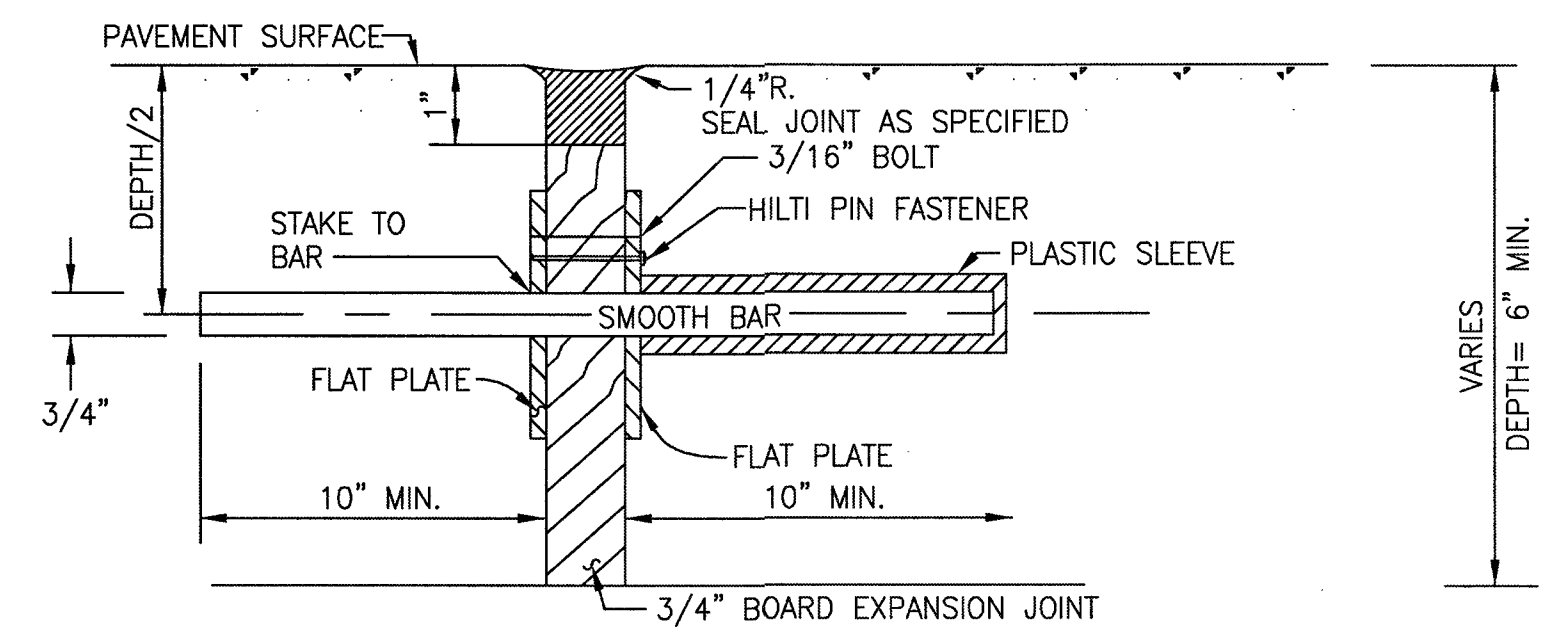


SL-ST-01

CONSTRUCTION NOTES:

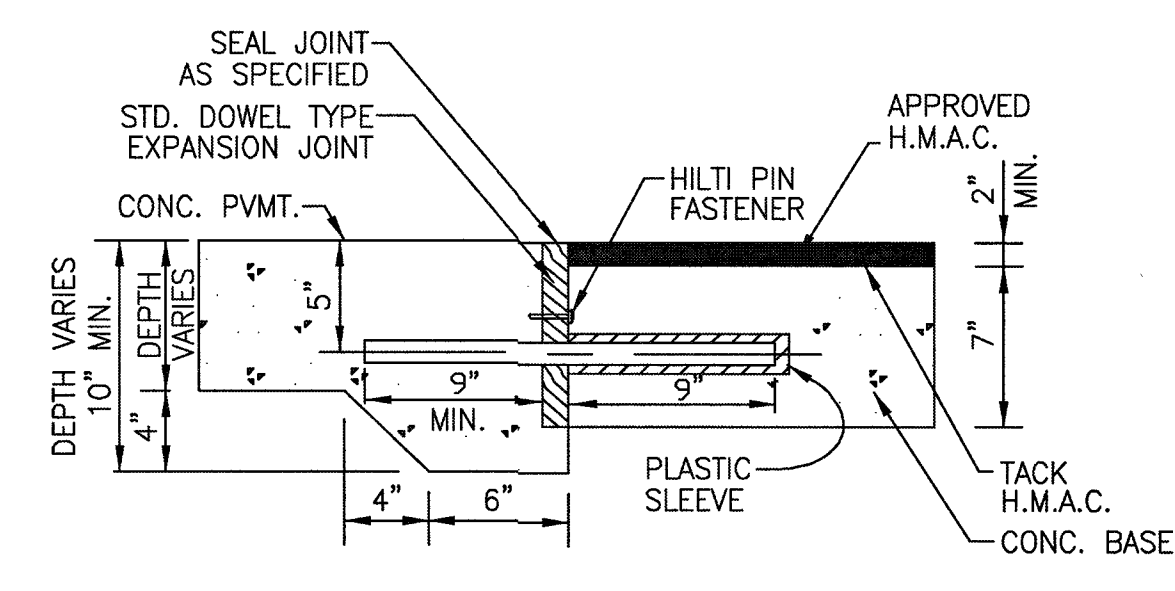
- 5 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #3 BARS 24 INCHES C-C, E.W. IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR PARKING AREAS FOR LIGHT AUTOMOBILES AND TRUCKS
- 6 INCH, 5.5 SACK CEMENT PER CUBIC YARD CONCRETE, 3500 PSI REINFORCED CONCRETE WITH #3 BARS 18 INCHES C-C IS THE MINIMUM ACCEPTABLE PAVEMENT CONSTRUCTION FOR DRIVE LANES AND AREAS SUBJECT TO LIGHT TO MEDIUM TRUCKS
- SEVEN(7) INCH, 5.5 SK, 3500 PSI @ 28 DAYS, REINFORCED WITH #3 18" C.C. EACH WAY IS THE MINIMUM ACCEPTABLE FOR AREAS RECEIVING HEAVY TRUCKS AND DUMPSTERS
- HARD AGGREGATE IS NOT ALLOWED IN STREET PAVEMENT MIX. ADMIXTURES REQUIRE CITY OF SUGAR LAND PUBLIC WORKS DEPARTMENT APPROVAL.
- TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY AND ALL INTERSECTION CURB RETURN POINTS. MAXIMUM SPACING SHALL BE 60' AND BE SEALED WITH SEALANT CONFORMING TO TXDOT ITEM 360 (& ITEM 436) AND TXDOT DMS-6310, CLASS-2.
- TRANSVERSE CONTROL JOINTS ARE REQUIRED AT MAXIMUM SPACING OF 15'-0" C-C, AND VERTICAL CURB JOINTS TO BE SEALED WITH SPECIAL JOINT SEALANT ASTM-D-1190-74 OR AASHTO-M173-60 FOR PAVEMENT 8" THICK AND GREATER. (ELASTONETRIC TYPE HOT Poured)
- PAVEMENT FINISH SHALL BE BAKER BROOM FINISH. CURING COMPOUND REQUIRED ON ALL CONCRETE.
- STORM WATER POLLUTION PROTECTION SHALL BE DESIGNED, CONSTRUCTED, MAINTAINED AND SHALL BE IN TOTAL COMPLIANCE WITH THE STORM QUALITY MANUAL OF THE CITY OF SUGAR LAND. CITY ENGINEER'S APPROVAL.
- REFER TO GENERAL, C.S.S., AND PAVEMENT NOTES.

SL-ST-12



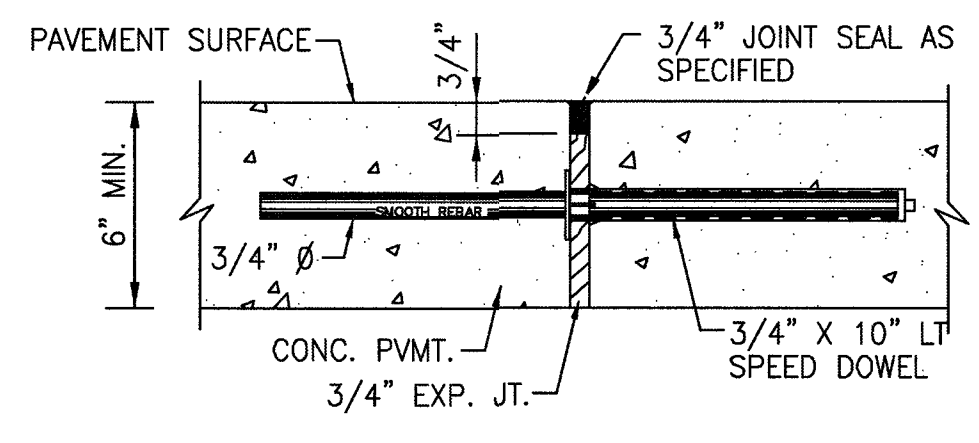
STEEL TO MEET ASTM STD. SPEC. FOR CONC. REBAR UNIT TO BE 24" C-C., AND 10" MIN.

DOWEL TYPE EXPANSION JOINT N.T.S. SL-ST-03



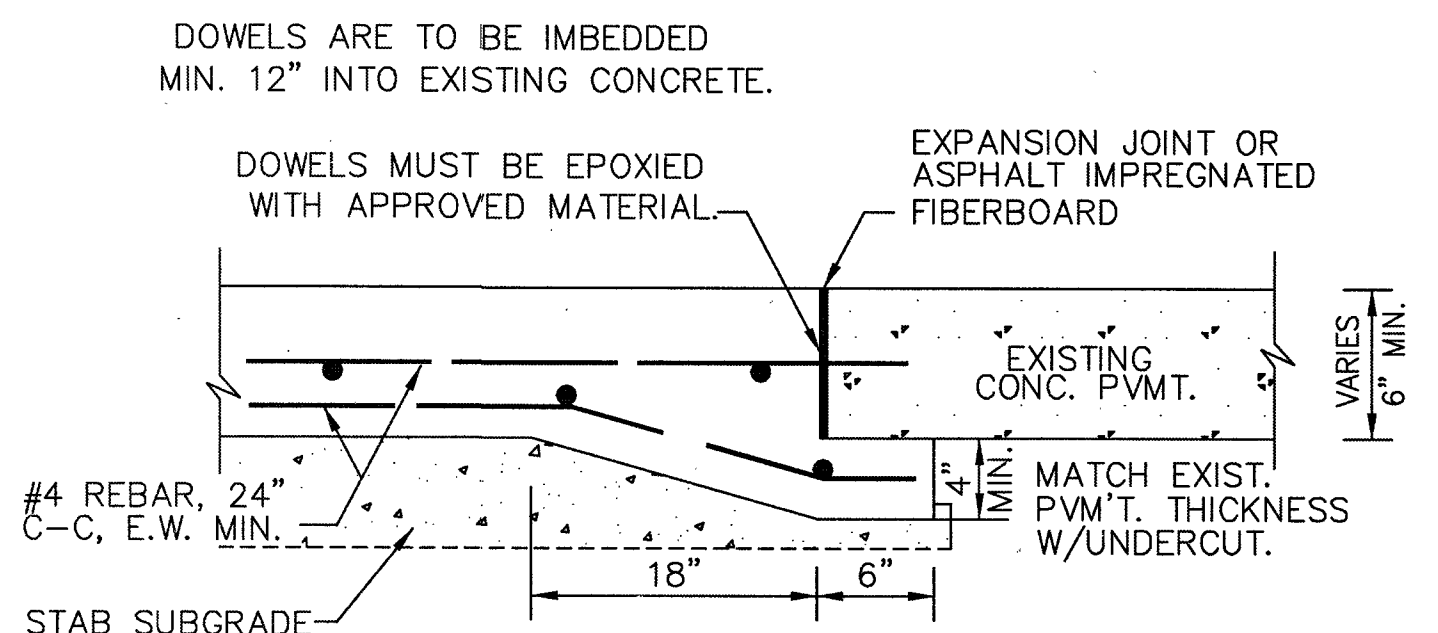
DOWEL TYPE EXPANSION JOINT N.T.S. (CONC. PAVING TO CONC. BASE)

SL-ST-06



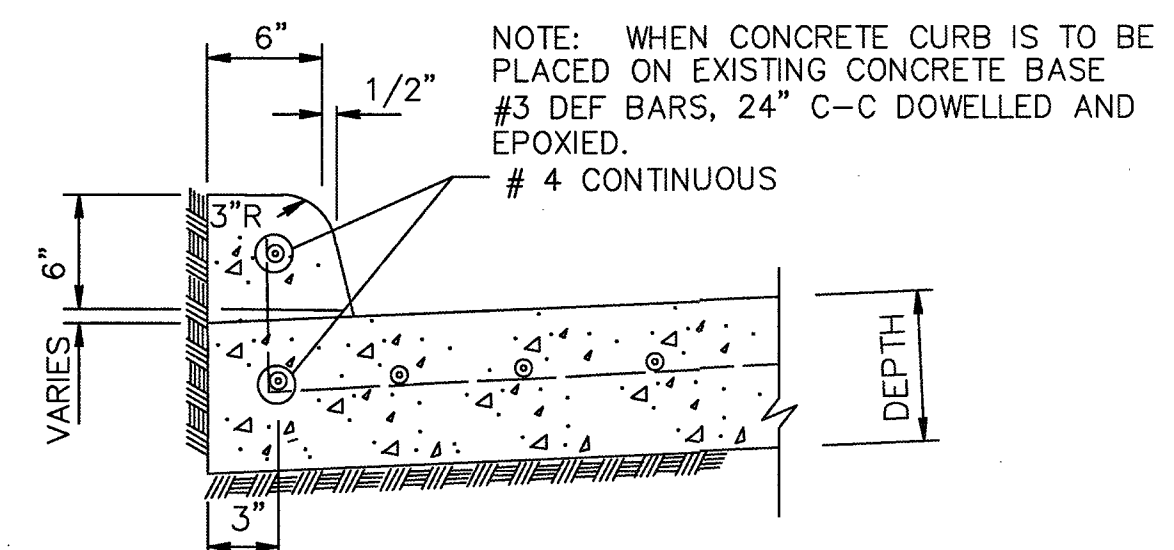
SPEED DOWEL EXPANSION JOINT N.T.S.

SL-ST-08



UNDERCUT DETAIL WITH HEADER N.T.S.

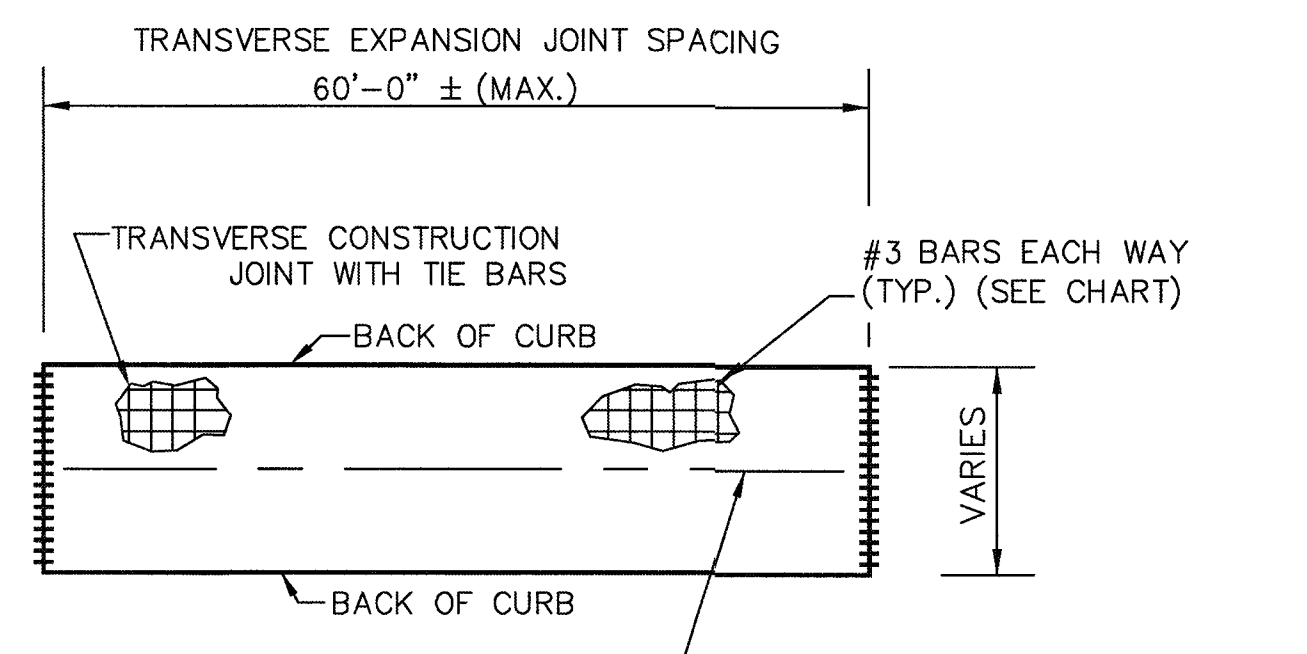
SL-ST-09



CONCRETE CURB N.T.S.

CONSTRUCTION NOTE:
ALL NEW CURB REQUIRES 3,000 P.S.I. @ 28-DAYS.

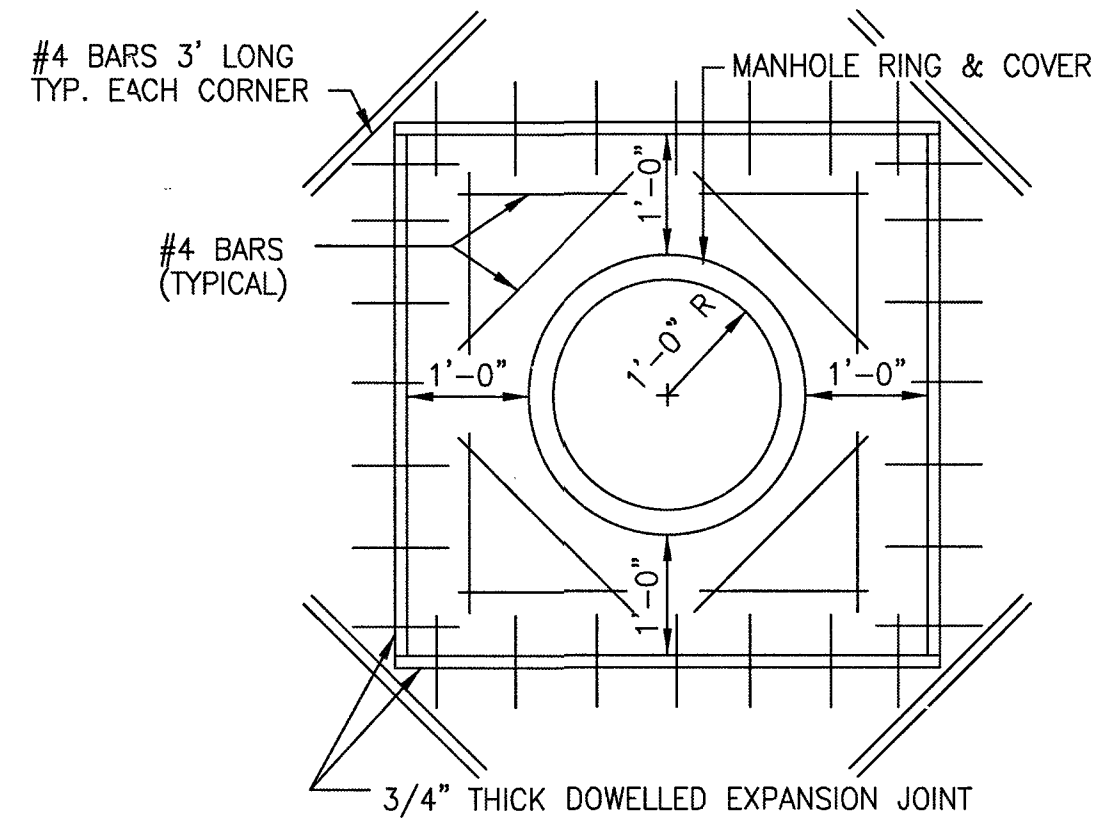
SL-ST-04



PAVING PANEL N.T.S.

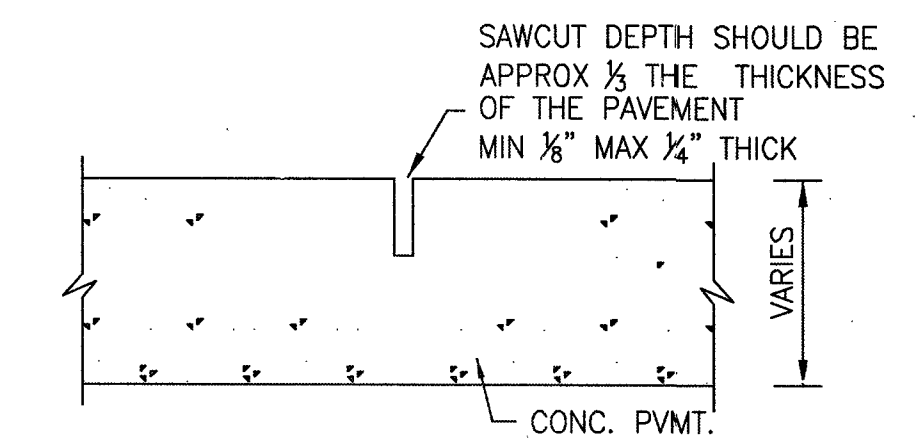
SL-ST-05

PAVEMENT THICKNESS	SPACING (C-C)
5"	24"
6"	18"
7"	18"



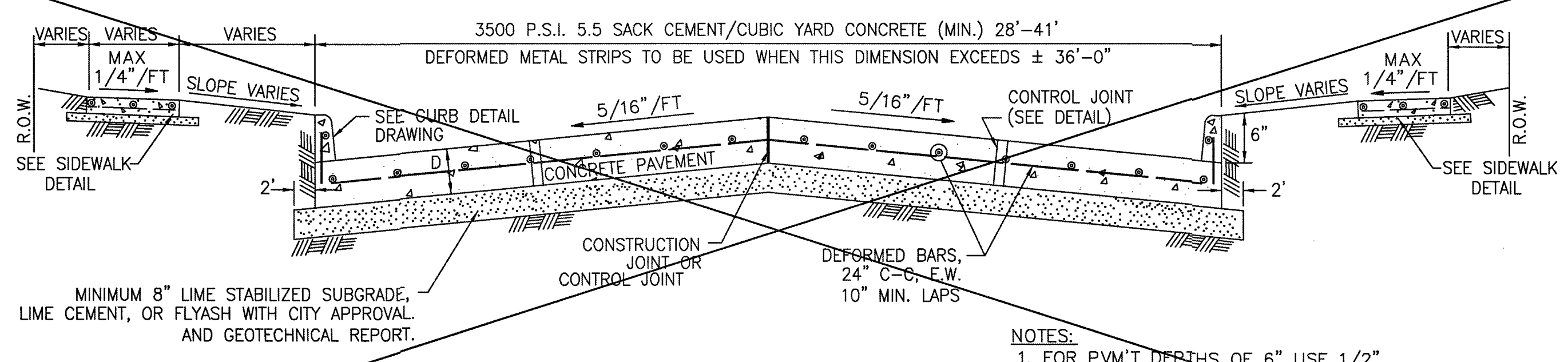
MANHOLE BLOCKOUT N.T.S. (STORM & SANITARY) IN PAVEMENT

SL-ST-10



CONTROL JOINT N.T.S.

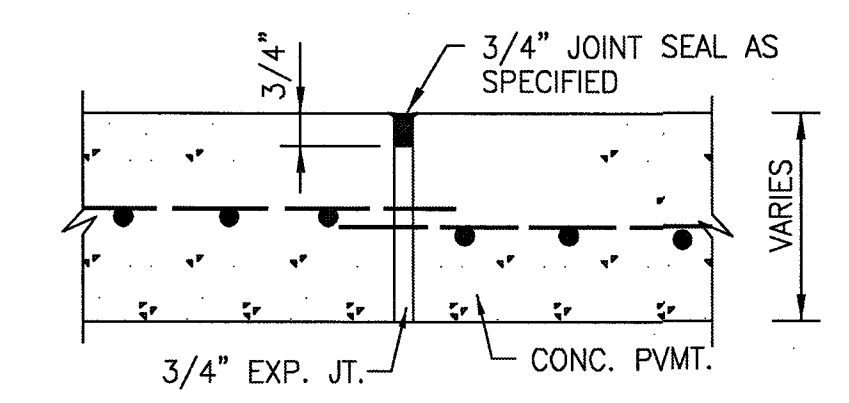
SL-ST-11



SL-ST-02

SINGLE ROADWAY SECTION N.T.S.

NOTES:
1. FOR P.V.M.T DEPTHS OF 6" USE 1/2" DEFORMED BARS, 24" C-C, 10" LAPS. ALL REINFORCING STEEL SHALL CONFORM TO GRADE 60, A.S.T.M. NO. A615. LAP SPLICES TO BE A MINIMUM OF 10 INCHES. STAGGER SPLICES IN ADJACENT BARS.



CONSTRUCTION JOINT SEAL N.T.S.

SL-ST-12



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT
SL-21

CONSULTANT revisions

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2151 County Road 220, Angleton Texas 77515

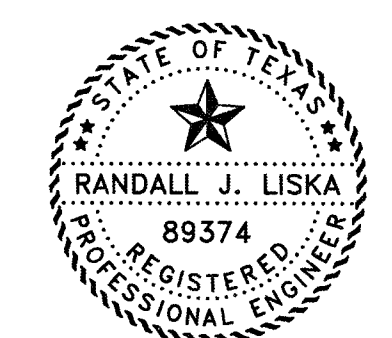
BEARDEN INVESTMENTS

project number 12943
date 05-07-21
drawn by RL/BB
checked by RL

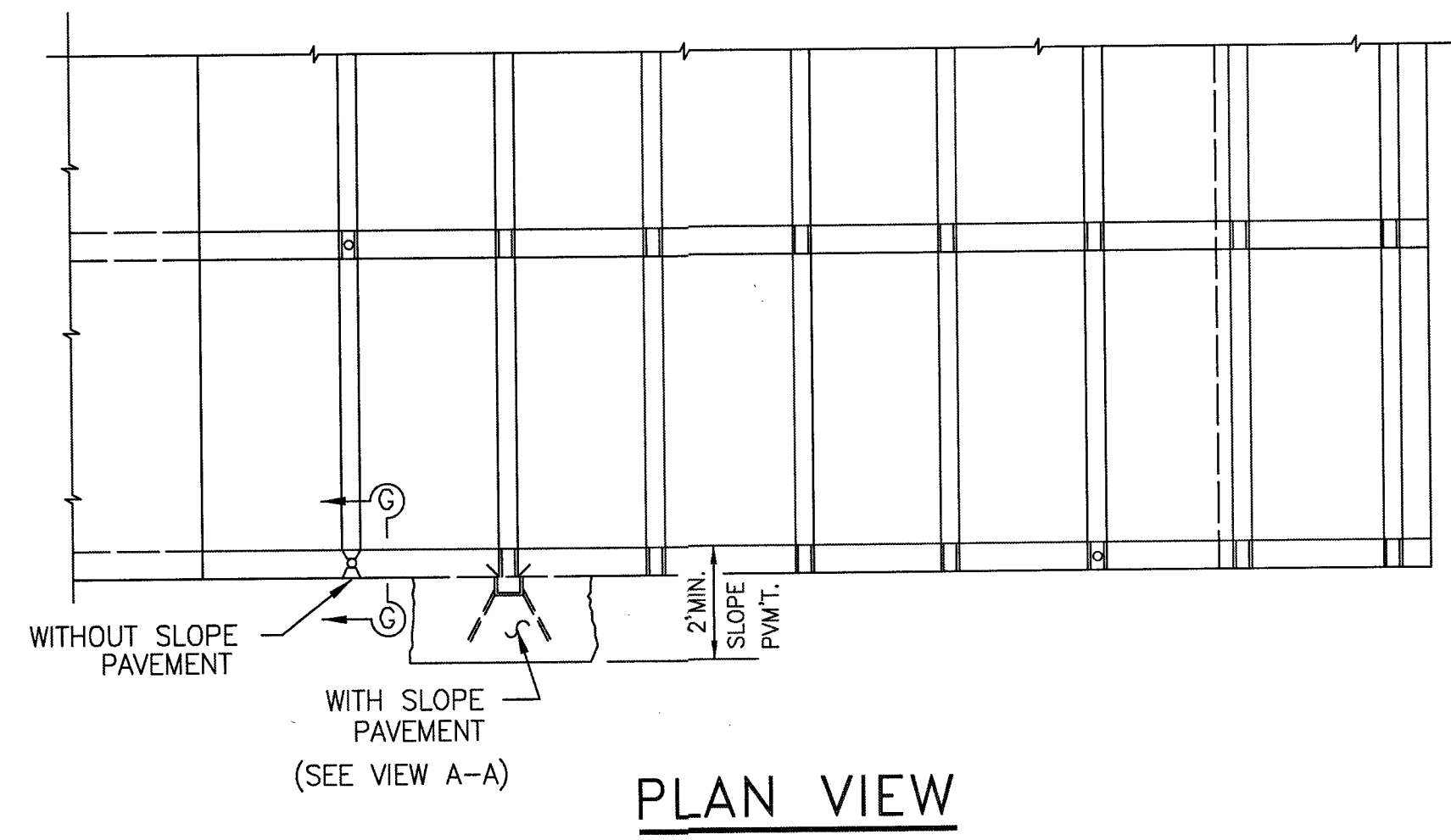
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www.beatypalmer.com

C15

BEATY PALMER ARCHITECTS

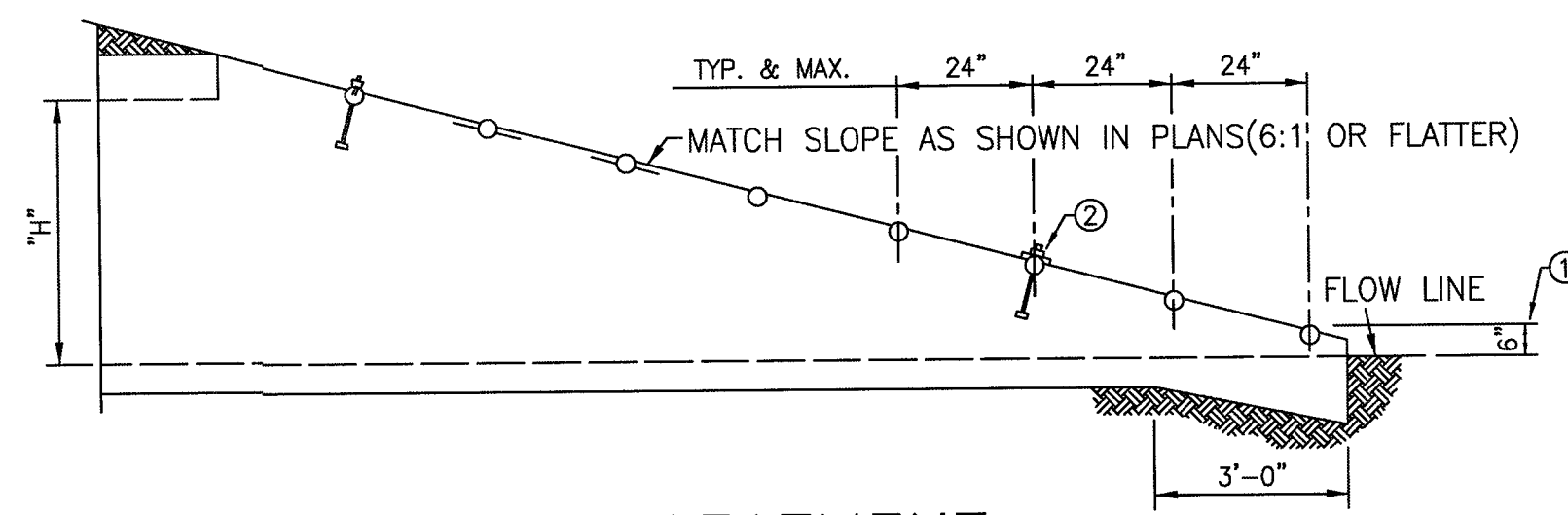


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P.E. 89374
Date: May 10, 2021



PLAN VIEW

SL-DR-34



END TREATMENT SINGLE & MULTIPLE BOX CULVERTS

N.T.S.

SL-DR-36

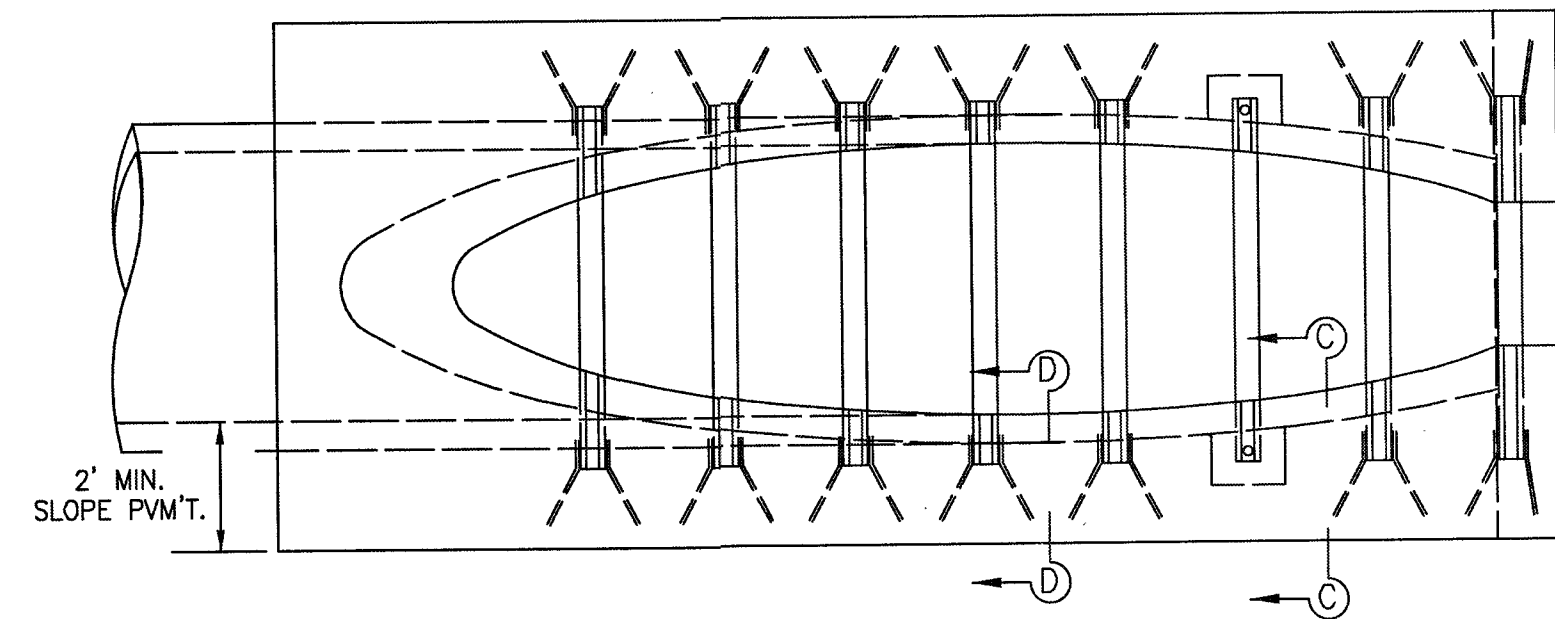
- ① TOP OF SAFETY PIPE RUNNER (TYP.)
- ② THIRD PIPE RUNNER TO HAVE BOLTED CONNECTION FOR CLEANOUT ACCESS.

NOTES:

1. THESE DETAILS ARE TO BE USED AS A GUIDE FOR INSTALLATION OF SAFETY PIPE RUNNERS FOR CROSS-DRAINAGE STRUCTURES WHERE OUT OF CONTROL VEHICLES MAY TRAVERSE THE OPENING APPROXIMATELY PERPENDICULAR TO THE SAFETY PIPE RUNNER. SOME INSTALLATIONS MAY REQUIRE THE PREPARATION OF SPECIAL DETAILS. IN GENERAL, SAFETY PIPE RUNNERS ARE INSTALLED ON CROSS-DRAINAGE STRUCTURES AT MAXIMUM SPACINGS OF APPROXIMATELY 24 INCHES. SINGLE AND MULTIPLE 24" (IN.) OR SMALLER DIAMETER PIPES ARE PERMISSIBLE WITHOUT PIPE RUNNERS. SINGLE OR MULTIPLE BOX CULVERTS WITH SPANS OF 24" OR LESS ARE ALSO PERMISSIBLE WITHOUT SAFETY PIPE RUNNERS. DESIGN: SAFETY PIPE RUNNERS ARE DESIGNED FOR A TRAVERSING LOAD OF 1,800 POUNDS AT YIELD AS RECOMMENDED BY RESEARCH REPORT 280-J, SAFETY TREATMENT OF ROADSIDE CROSS-DRAINAGE STRUCTURES, TEXAS TRANSPORTATION INSTITUTE, MARCH 1981.
2. SEE STORM OUTFALL DETAILS FOR SLOPE PAVEMENT REQUIREMENTS.

DIA.	WALL	O.D.	SLOPE	PIPE LGTH	TYPE	A INCH	B INCH	C INCH	D INCH	L	LENGTH END SEC. FT.
24"	3"	30"	3:1	2-6"	2	3	9	36	54	7'-6"	11.27
			4:1	2-6"	2	3	9	24	48	5'-3"	12.33
			6:1	3-6"	3	3	9	36	72	12'-2"	18.23
36"	4"	44"	3:1	2-7"	2	4	10	36	54	10'-8"	14.75
			4:1	3-6"	3	4	10	26	60	13'-0"	18.21
			6:1	4-6"	4	4	10	36	72	18'-0"	25.36
42"	4"	51"	3:1	2-7"	2	4	10	27	45	11'-3"	15.81
			4:1	3-7"	3	4	10	51	75	16'-5"	21.9
			6:1	4-7"	4	4	10	54	90	22'-6"	30.41
48"	5"	58"	3:1	3-6"	3	5	11	36	54	13'-6"	18.44
			4:1	3-7"	3	5	11	39	63	17'-3"	23.27
			6:1	4-7"	4	5	11	36	72	24'-0"	32.44
54"	5"	65"	3:1	3-6"	3	5	11	27	45	14'-3"	19.5
			4:1	4-6"	4	5	11	36	60	19'-0"	25.43
			6:1	5-7"	5	5	11	63	99	29'-3"	38.27
60"	6"	72"	3:1	3-7"	3	6	12	45	63	17'-3"	22.64
			4:1	4-7"	4	6	12	60	84	23'-0"	29.98
			6:1	5-7"	5	6	12	45	81	30'-9"	40.28

SL-DR-39

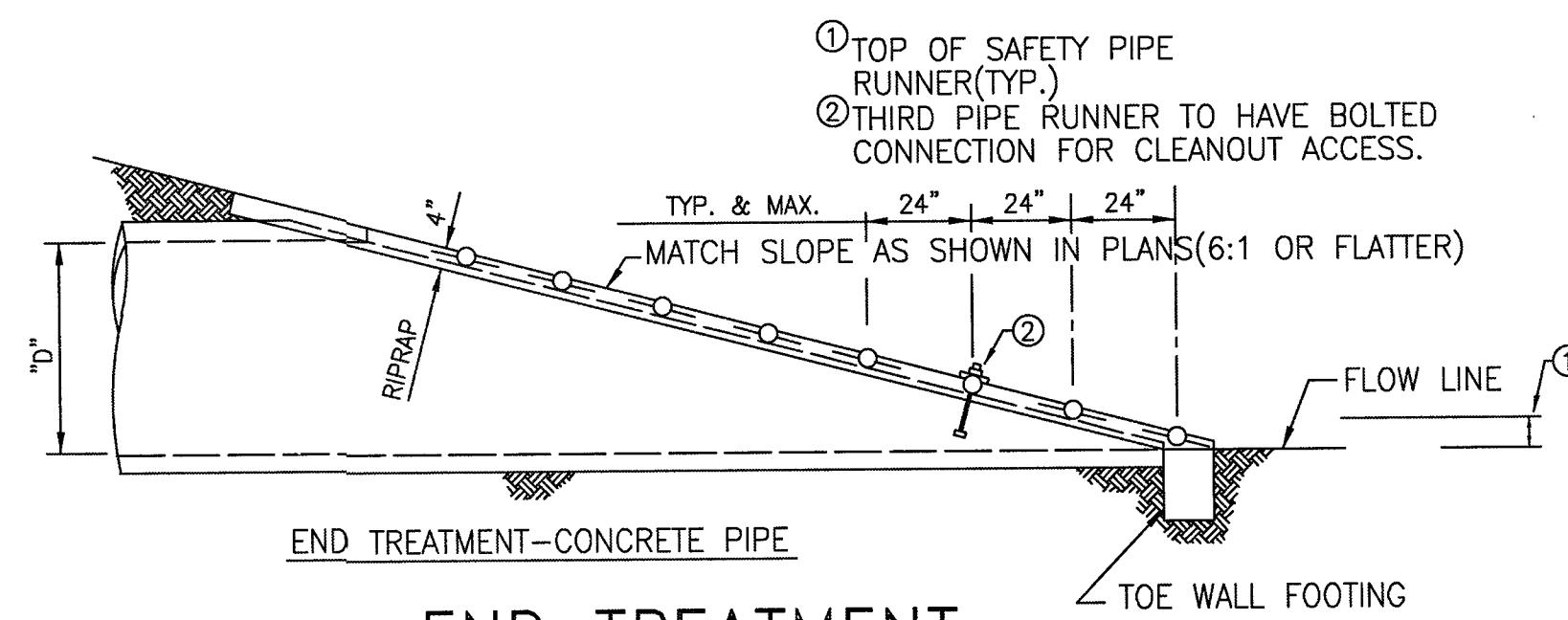


PLAN VIEW CONCRETE PIPE

SL-DR-34

NOTE:

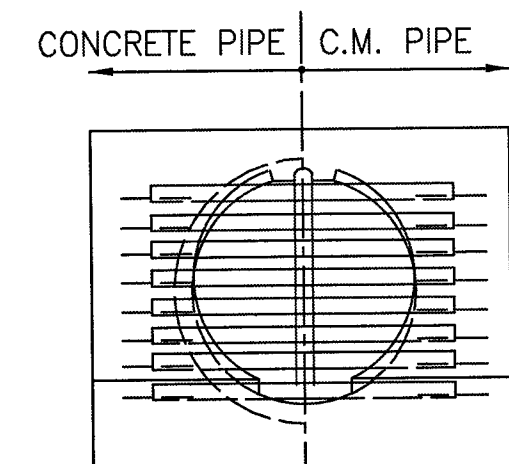
- 24" (IN.) TREATMENT REQUIRES NO BARS.
- 36" (IN.) AND LARGER REQUIRES BARS.
- ALL BOLTED BARS ARE ACCEPTABLE



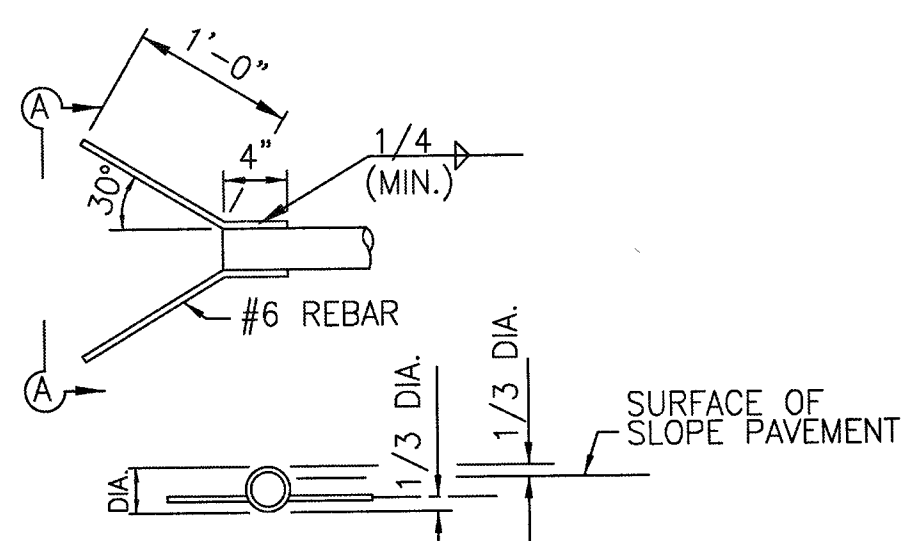
END TREATMENT CONCRETE PIPE

N.T.S.

SL-DR-36



END VIEW CONCRETE



VIEW A-A

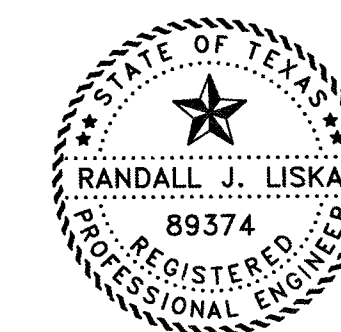
SL-DR-37

REQUIRED PIPE SIZES FOR GIVEN PIPE YIELD										
CULVERT SIZE	PIPE RUNNER LENGTH	35 KS: ASTM A53, TX E & S GR. B			42 KS: ASTM A500, GR. B			52 KS: API 5LX52		
		NOM.	O.D.	I.D.	NOM.	O.D.	I.D.	NOM.	O.D.	I.D.
36"	48"	3" XXS 3 1/2" XS	3.500 4.000	2.300 3.364	3" x S 3 1/2" STD.	3.500 4.000	2.900 3.548	3' STD.	3.500	3.068
42"	54"	3" XXS 3 1/2" XS 4" STD.	3.500 4.000 4.500	2.300 3.364 4.026	3" XXS 3 1/2" XS 4" STD.	3.500 4.000 4.500	2.300 3.364 4.026	3" XS 3 1/2" STD.	3.500 4.000	2.900 3.548
48"	60"	3" XXS 4" XS	3.500 4.500	2.300 3.826	3" XXS 3 1/2" XS 4" STD.	3.500 4.000 4.500	2.300 3.364 4.026	3" XXS 3 1/2" STD.	3.500 4.000	2.300 3.548
54"	66"	4" XS 5" STD.	4.500 5.563	3.826 5.047	3" XXS 4" STD.	3.500 4.500	2.300 4.026	3" XXS 3 1/2" XS 4" STD.	3.500 4.000 4.500	2.300 3.364 4.026
60"	72"	4" XS 5" STD.	4.500 5.563	3.826 5.047	4" XS 5" STD.	4.500 5.563	3.826 5.047	3" XXS 3 1/2" XS 4" STD.	3.500 4.000 4.500	2.300 3.364 4.026

SL-DR-38



CITY OF SUGAR LAND, TEXAS
ENGINEERING DEPARTMENT
SL-12



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P.E. 89374

Date: May 10, 2011

SLOPE END TREATMENT

CONSULTANT revisions
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ANGLETON WAREHOUSE DEVELOPMENT

2151 County Road 220, Angleton Texas 77515

BEARDEN INVESTMENTS

project number 12943
date 05-07-21
drawn by RL/BB
checked by RL
sheet number **C16**

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BEATY PALMER ARCHITECTS



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Walter E. Reeves Jr., AICP, Development Services Director

AGENDA CONTENT: Discuss, consider and act on a site plan for the proposed Angleton Warehouse project

AGENDA ITEM SECTION: Regular Agenda

BUDGETED AMOUNT: None **FUNDS REQUESTED:** None

FUND: None

EXECUTIVE SUMMARY:

The subject property is located on the north side of CR 220 approximately 500 feet west of S. Velasco Street (Bus. 288). The property consists of 9.273 acres and is in the Light Industrial (LI) zoning district.

Pursuant to Section 28-26.(a).(2).b.3 a site plan shall be required for all nonresidential, multifamily and single-family attached developments within any zoning district. After City staff review, Section 28-26.(c).(6).a.3 requires the City Manager to recommend approval, approval with conditions or denial of the site plan to the Planning and Zoning Commission. If the site plan is denied by the Planning and Zoning Commission, the denial may be appealed to the City Council.

Attached are a location map and site plan package for the proposed development of approximately 93,000 square feet of warehouse space. After review staff provided the following comments on July 15, 2021:

Pursuant to Sections 28-26.(a).(2).b.3 and b.5 a site plan is required to be reviewed and approved by the Planning and Zoning Commission.

1. Section 28-60.(d).(3) permits a maximum lot coverage (impervious surface) of 90%. Please provide the lot coverage calculation.
2. Section 28-101.(c).(4) requires off-street parking by provided by minimum 9' X 20' spaces. Please provide the typical dimensions of the proposed parking spaces.
3. Section 28-101.(d).(2) requires screening wingwalls for the loading dock area. Please provide the required screening wingwalls.

4. In the parking calculation the required number of office parking spaces is 24, not 23.1. Fractional spaces round up pursuant to Section 28-101.(f).(3). Please correct.
5. The total number of parking spaces is 114, not 112. Please correct.
6. Please identify the landscaping species on the site plan.
7. Section 28-105.(d).(1) are the minimum color and exterior design standards. Please provide color information for the buildings.
8. Please provide a lighting plan consistent with Section 28-108.(b) for all pole and on-building lighting. Please provide a detail of any pole lighting, the height of all proposed pole lighting, and the location of all lighting whether pole or on-building.
9. Please provide a detail of the dumpster enclosure.

At the time of preparation of this agenda summary, no response to comments or revisions had been received. Most of the staff comments are minor (parking count corrections, impervious surface calculation, identification of landscaping species) and can be handled administratively should the Commission decide to approve the proposed site plan. However, there are three comments that are not necessarily minor in nature. These are the screening wingwall requirement for the loading dock area, the color information for the buildings, and the lighting plan. The proposed site plan otherwise meets the requirements of the Code of Ordinances of the City of Angleton.

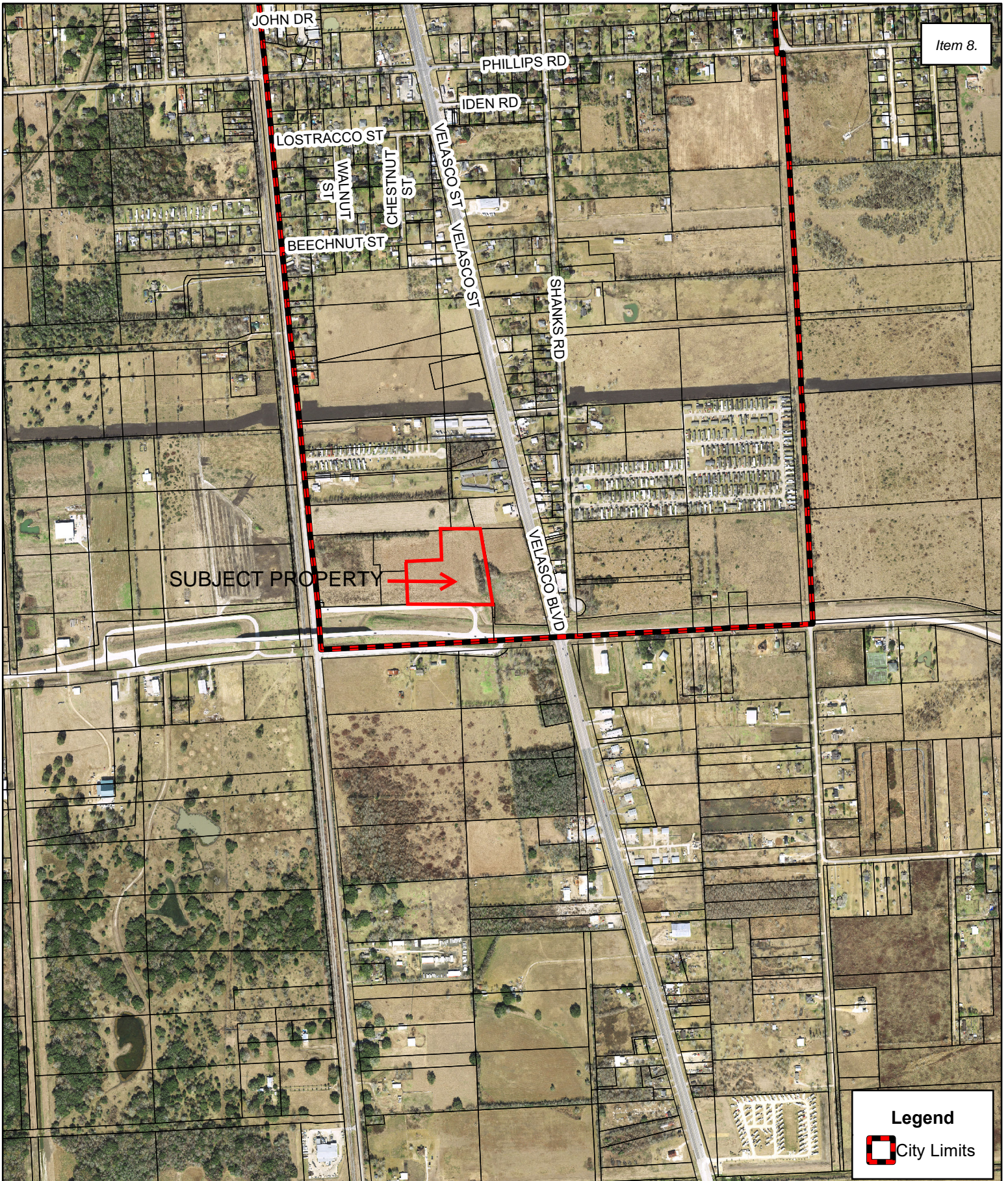
There are a number of approaches available to the Commission if the lack of revisions to comments causes the Commission concern. The Commission could deny the site plan and the developer could appeal the denial to City Council which may not result in the revisions being completed. The Commission could approve with the condition that all outstanding comments are cleared by the staff. The Commission could approve without condition(s). Finally, this item could be continued to the Commission's its September 2, 2021, regular meeting to allow the developer to provide revisions and a response to comments.

RECOMMENDATION:

Staff recommends approval of the proposed site plan subject to the condition that all comments are cleared prior to the issuance of any building permits.

SUGGESTED MOTION:

I move we approve the proposed site plan subject to the condition that all comments are cleared prior to the issuance of any building permits.



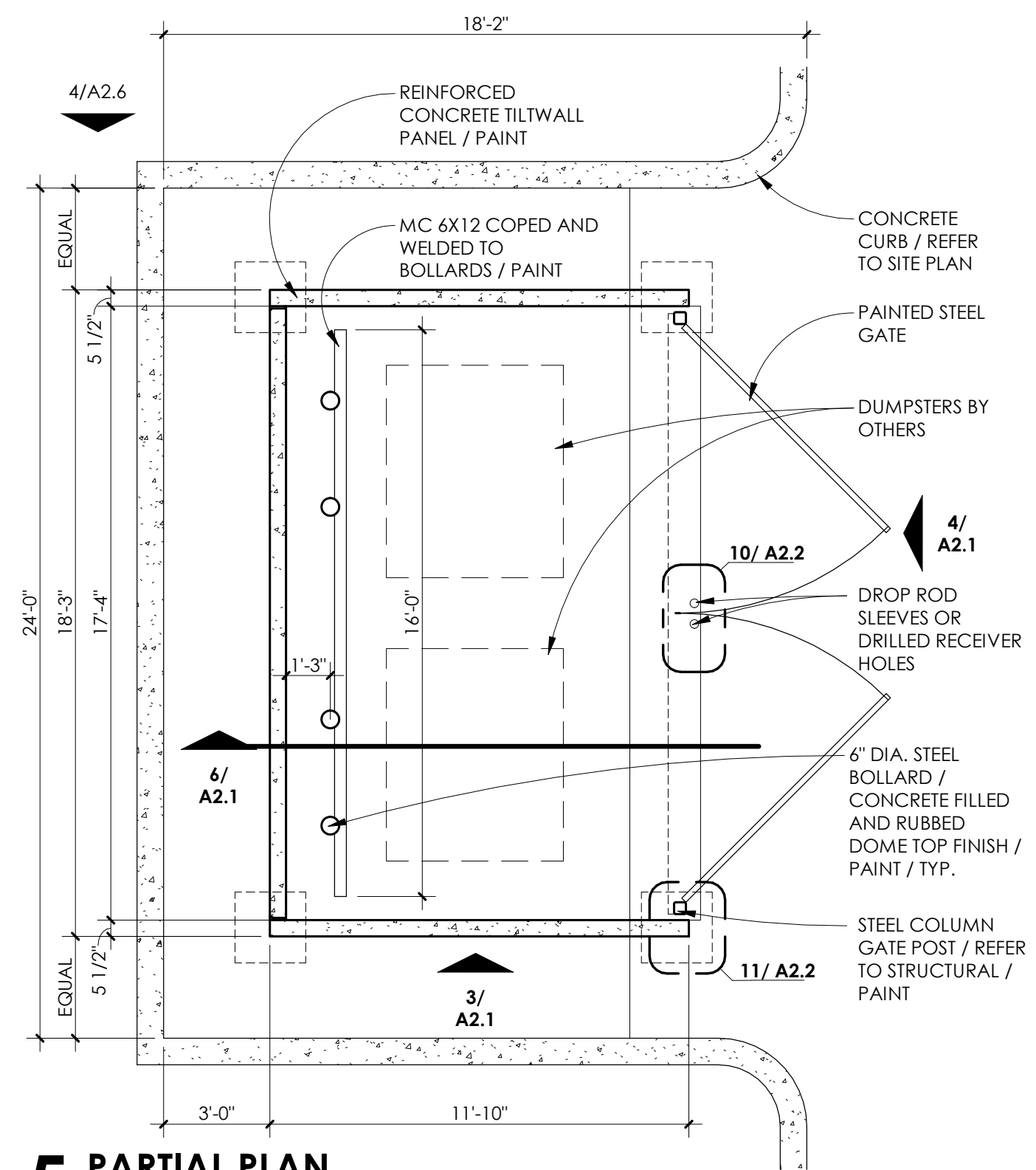
Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.



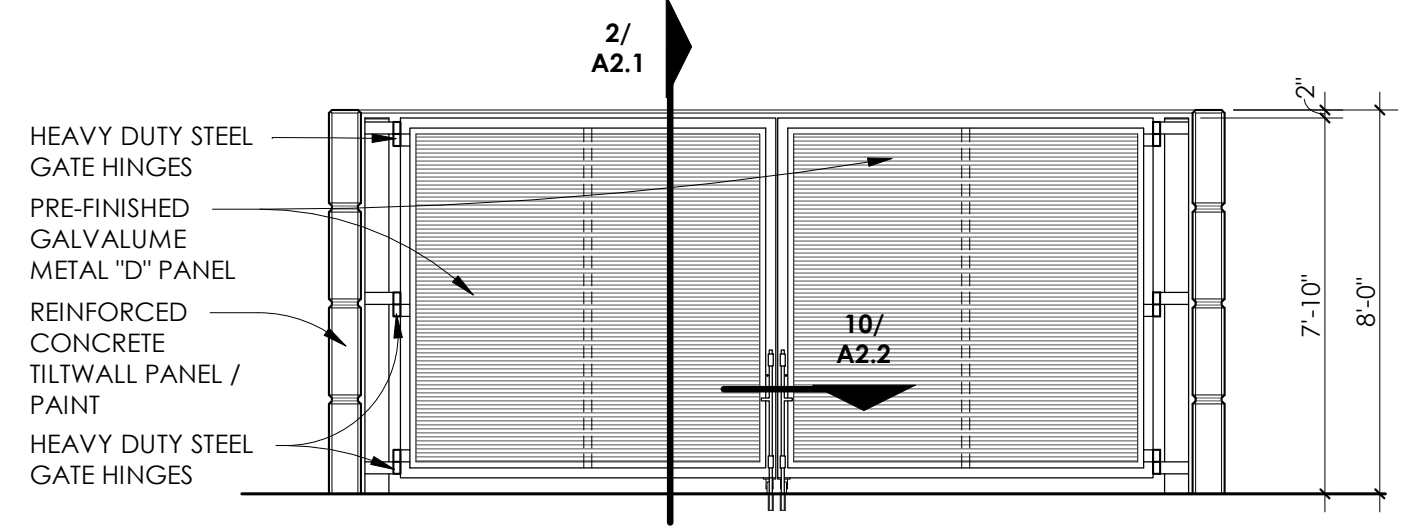
Operated by:
 City of Angleton
 121 S. Velasco St.
 Angleton, TX 77515
 979-849-4364

City of Angleton GIS Mapping

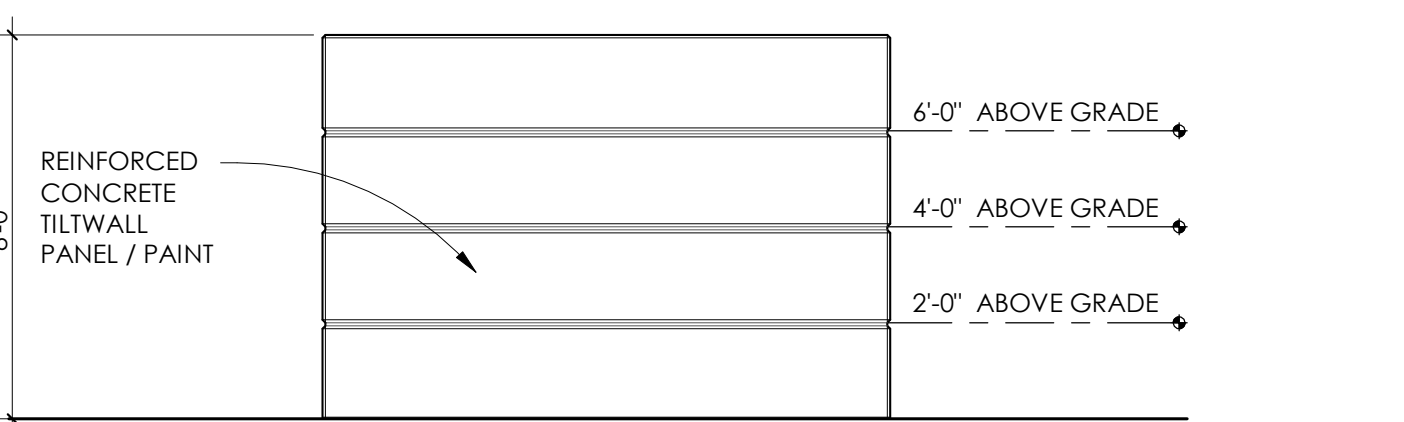
1" = 1,014'



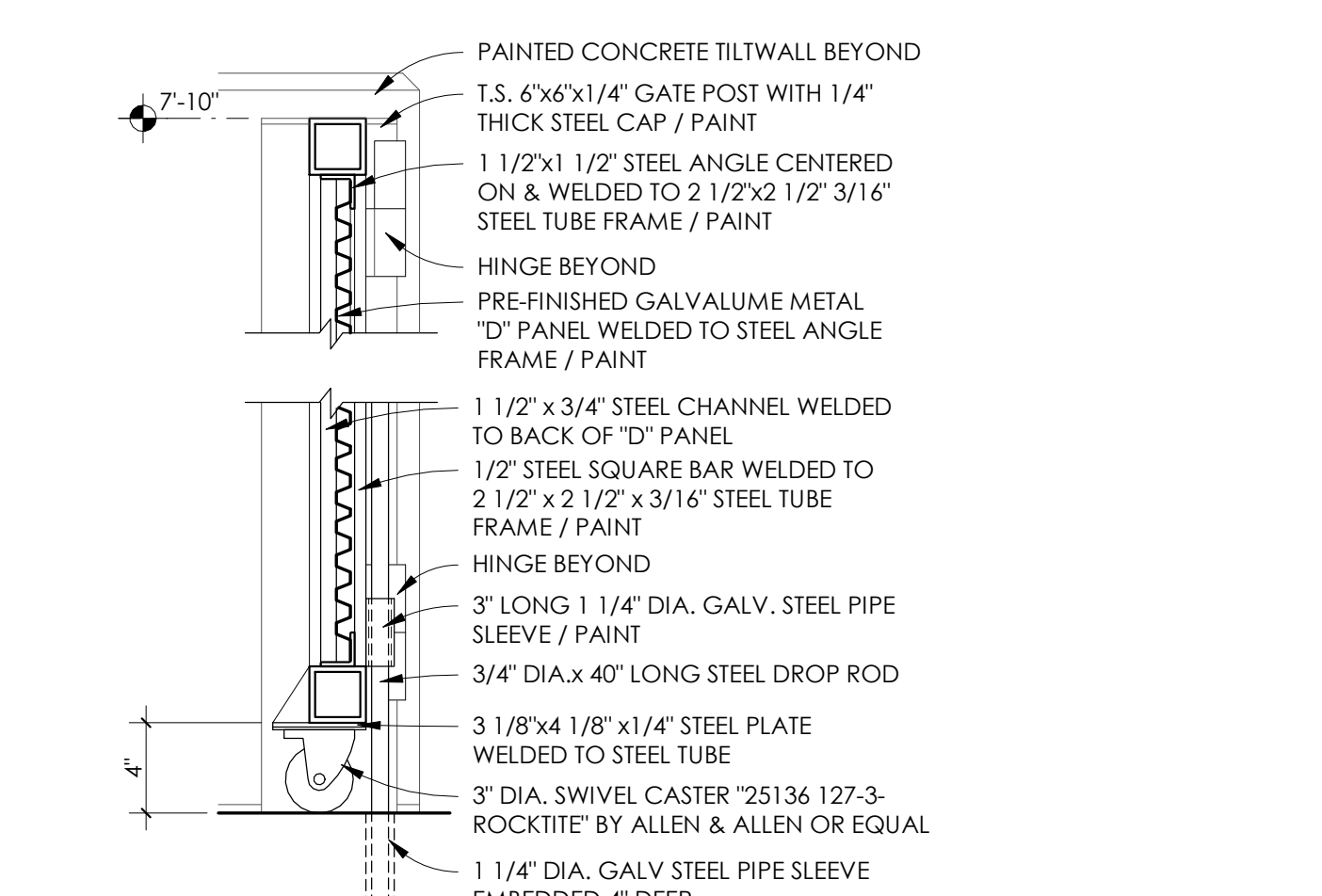
5 PARTIAL PLAN
1/4" = 1'-0" DUMPSTER ENCLOSURE



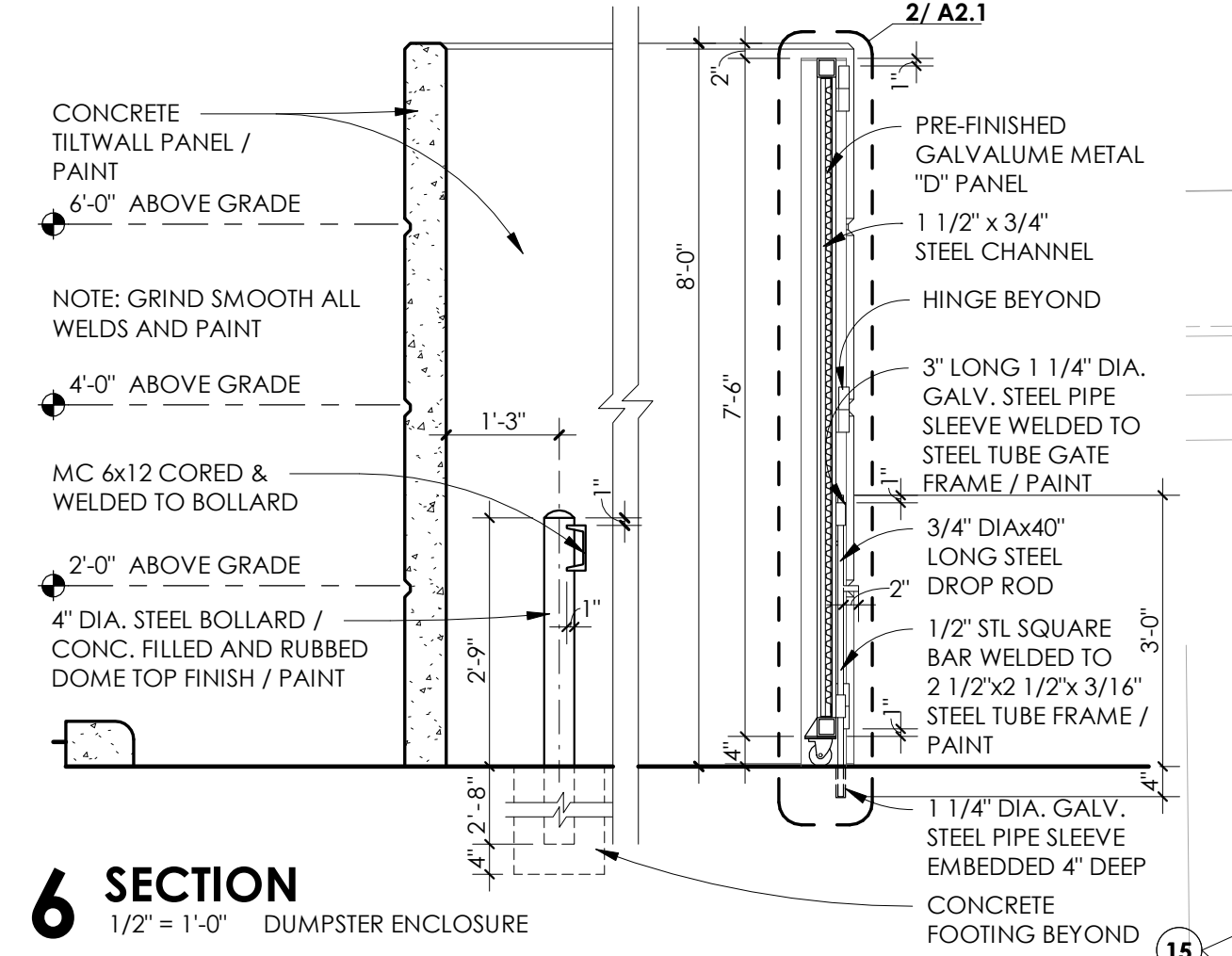
4 ELEVATION
1/4" = 1'-0" DUMPSTER ENCLOSURE



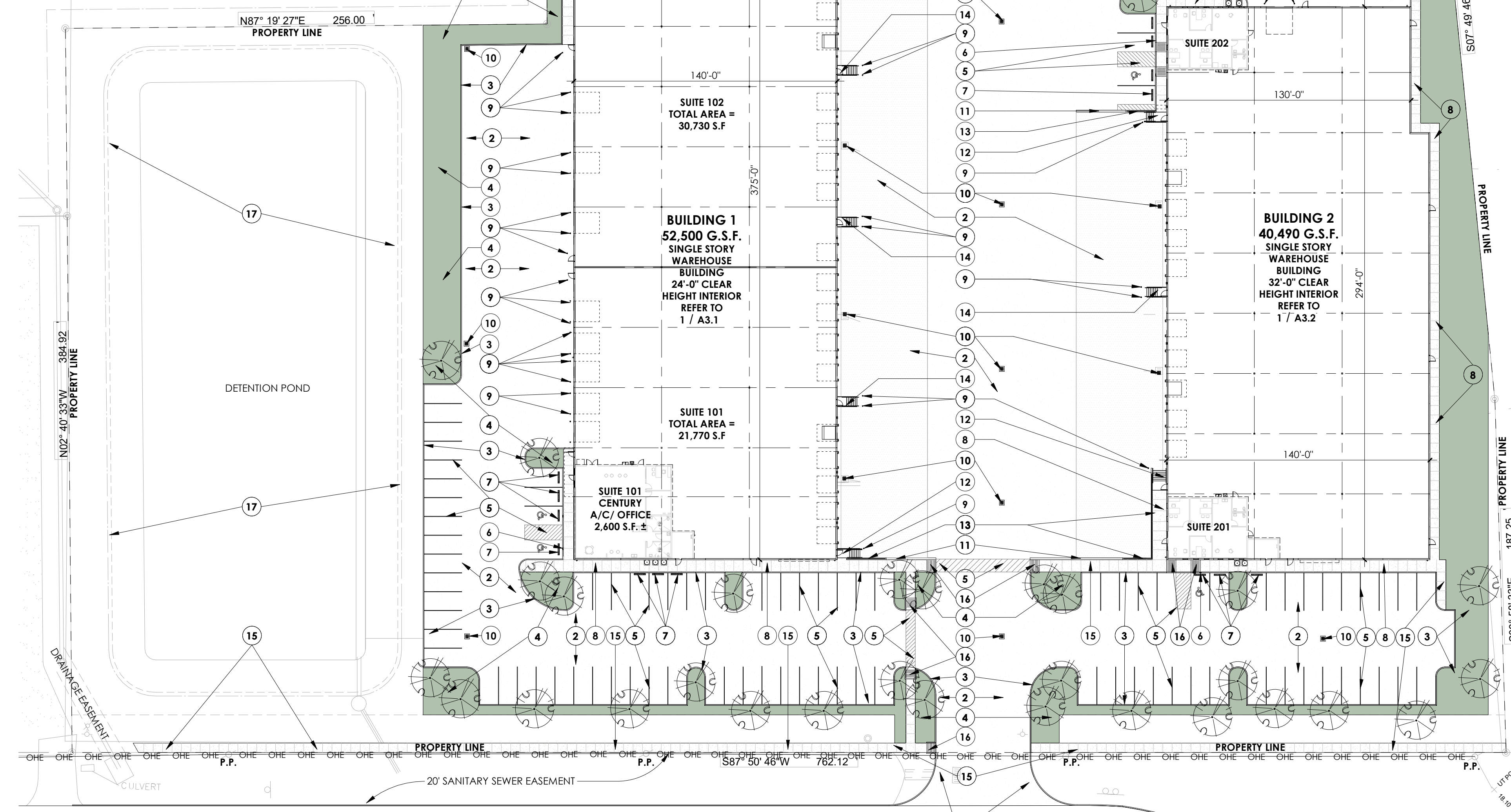
3 ELEVATION
1/4" = 1'-0" DUMPSTER ENCLOSURE



2 SECTION
1 1/2" = 1'-0" DUMPSTER ENCLOSURE



6 SECTION
1/2" = 1'-0" DUMPSTER ENCLOSURE



1 SITE PLAN
1" = 40'-0"

GENERAL NOTES

- A. SITE INFORMATION INCLUDING REQUIREMENTS FOR NEW CONSTRUCTION CONDITIONS, IS INCLUDED IN ARCHITECTURAL, LANDSCAPE ARCHITECTURAL, CIVIL AND MEP DOCUMENTS. CAREFULLY COORDINATE REQUIREMENTS FOR BOTH INTERIM CONDITIONS AND COMPLETED CONSTRUCTION.
- B. ALL NEW SIDEWALKS ARE TO COMPLY WITH THE FOLLOWING REQUIREMENTS: NO SIDEWALK SHALL HAVE A CROSS-SLOPE IN EXCESS OF 2%. SIDEWALKS SLOPES IN THE DIRECTION OF TRAVEL ARE LIMITED TO 5% MAXIMUM UNLESS OTHERWISE NOTED. LANDINGS REQUIRE NO SLOPE GREATER THAN 2% IN ANY DIRECTION. WORK FOUND IN NON-COMFORMANCE WITH THESE REQUIREMENTS MUST BE PROMPTLY REMOVED AND CORRECTED BY THE CONTRACTOR.
- C. EXISTING AND NEW GRADING INFORMATION IS DIAGRAMMATIC. THE CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND BRING TO THE ARCHITECT'S ATTENTION ANY SIGNIFICANT VARIATION FROM EXISTING CONDITIONS INDICATED PRIOR TO PROCEEDING WITH NEW CONSTRUCTION ACTIVITIES. TO FACILITATE FIELD VERIFICATION ACTIVITIES, THE CONTRACTOR IS REQUIRED TO SECURE THE SERVICES OF A REGISTERED PROFESSIONAL LAND SURVEYOR TO VERIFY EXISTING GRADING CONDITIONS AND TO ASSIST WITH SITE LAYOUT. REFER TO CIVIL FOR GRADING INFORMATION.
- D. REFER TO CIVIL DRAWINGS FOR PAVEMENT JOINT REQUIREMENTS
- E. HYDROMULCH SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND PROVIDE TEMPORARY IRRIGATION TO ESTABLISH PLANTING AT 95% COVERAGE / REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL PLANTING / IRRIGATION REQUIREMENTS

KEYNOTES

- 1 REINFORCED CONCRETE DRIVEWAY / APPROACH / REFER TO CIVIL
- 2 REINFORCED CONCRETE PAVING / REFER TO CIVIL / TYPICAL
- 3 REINFORCED CONCRETE CURB / REFER TO CIVIL / TYPICAL
- 4 LANDSCAPED AREA / REFER TO LANDSCAPE DRAWINGS / TYPICAL
- 5 PAVEMENT MARKING AND GRAPHICS / REFER TO CIVIL / TYPICAL
- 6 ACCESSIBLE PARKING SIGN / TYPICAL
- 7 REINFORCED CONCRETE WHEELSTOP / REFER TO CIVIL / TYPICAL
- 8 SIDEWALK WITH TOOLED CONTROL JOINTS AS INDICATED / EXPANSION JOINTS AT 20'-0" O.C. MAX / SLOPE 2% MAX AWAY FROM BUILDING / BROOM FINISH / REFER TO CIVIL / TYPICAL
- 9 STEEL BOLLARD / HOT DIPPED GALVANIZED / REFER TO DETAIL
- 10 GRATE INLET / REFER TO CIVIL
- 11 REINFORCED CONCRETE RETAINING CONDITION / REFER TO CIVIL
- 12 REINFORCED CONCRETE STAIR WITH HOT-DIPPED GALVANIZED RAILING
- 13 HOT-DIPPED GALVANIZED GUARDRAIL
- 14 HOT-DIPPED GALVANIZED STEEL STAIR W/ RAILING
- 15 REINFORCED CONCRETE SIDEWALK / BROOM FINISH / REFER TO CIVIL
- 16 TAS COMPLIANT CONCRETE CURB RAMP / REFER TO DETAILS
- 17 ON SITE DETENTION POND / REFER TO CIVIL / LANDSCAPE DRAWINGS
- 18 DUMPSTER PAD AND ENCLOSURE WITH GATE / REFER TO DETAILS

architect revisions
 PRELIMINARY DRAWING
 THESE PRELIMINARY DRAWINGS INDICATE THE GENERAL SCOPE OF PROJECT AND DESIGN CONCEPT. THEY DO NOT NECESSARILY DESCRIBE ALL THE WORK REQUIRED FOR FULL PERFORMANCE OF THE FINAL CONTRACT DOCUMENTS AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT OR CONSTRUCTION.
 CORY W. HAWKINS #20466

ANGLETON WAREHOUSE DEVELOPMENT
 2151 COUNTY ROAD 220
 ANGLETON, TEXAS 77515



project number 1949
 date 05.21.21
 drawn by GG
 checked by CWH

Bealy Palmer Architects, Inc. sheet number
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 San Antonio, Texas 78205
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 www.bealypalmer.com

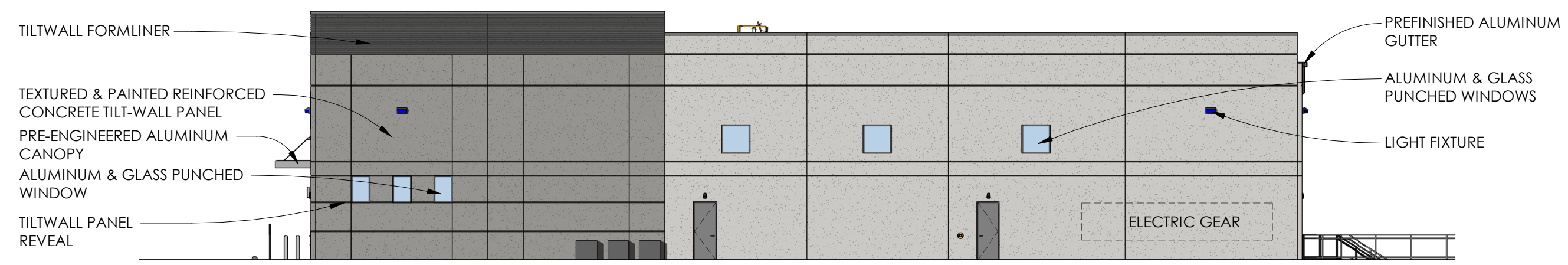
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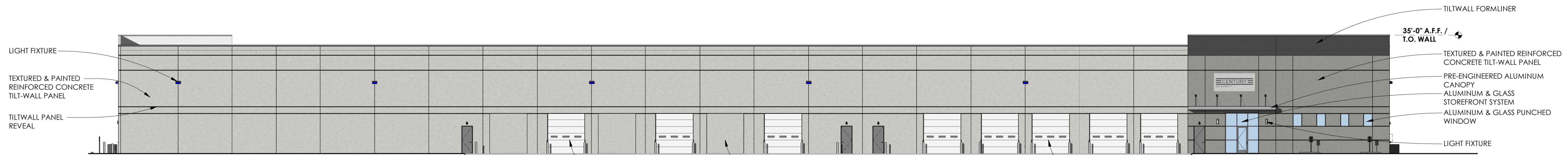
NORTH ELEVATION - BUILDING 01

0' 8' 16' 32'



SOUTH ELEVATION - BUILDING 01

0' 8' 16' 32'



WEST ELEVATION - BUILDING 01

0' 8' 16' 32'



EAST ELEVATION - BUILDING 01

0' 8' 16' 32'

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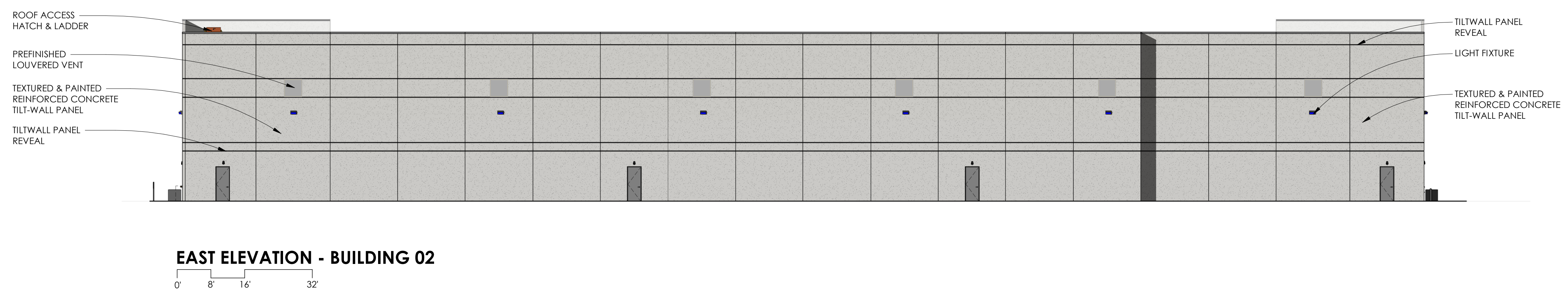
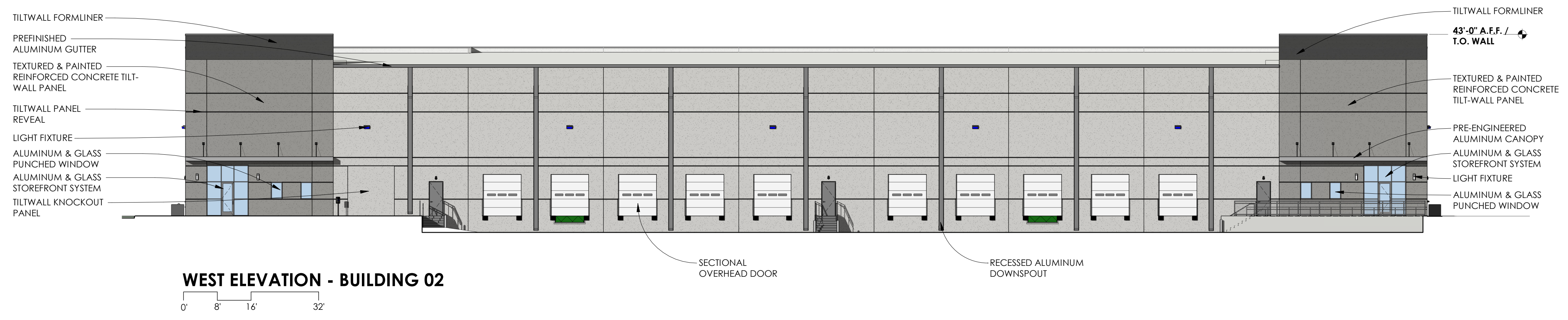
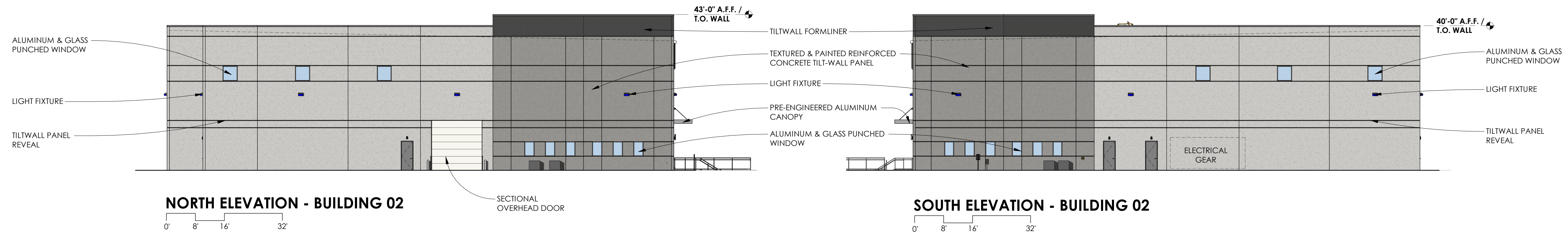
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ANGLETON WAREHOUSE DEVELOPMENT
 2151 COUNTY ROAD 220
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BEARDEN INVESTMENTS

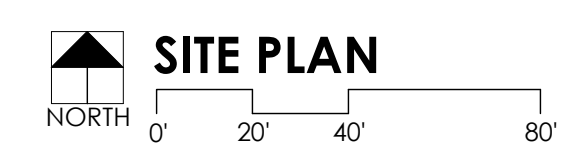
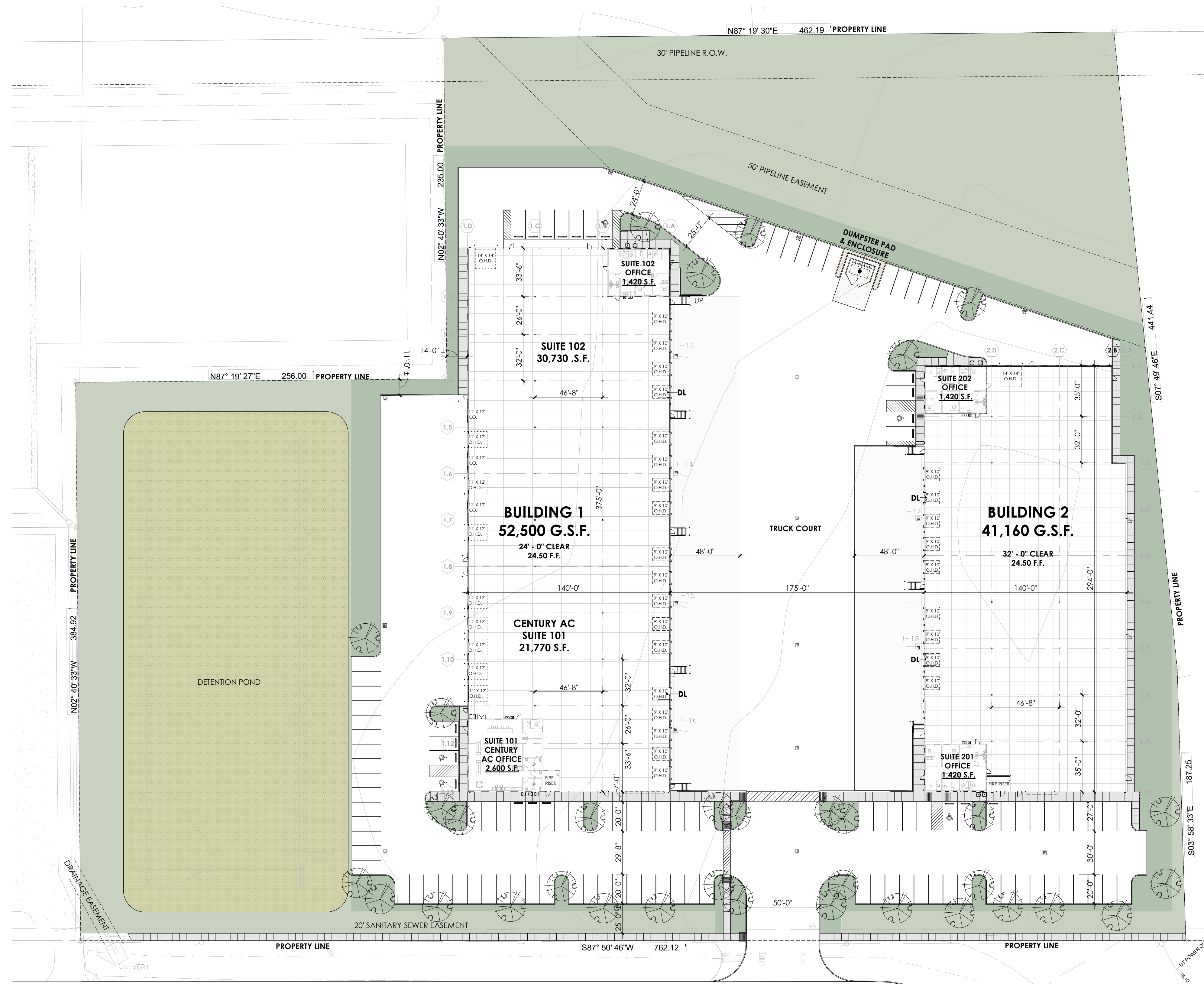
project number 1949
 date 05.28.21

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E.E.-2

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date
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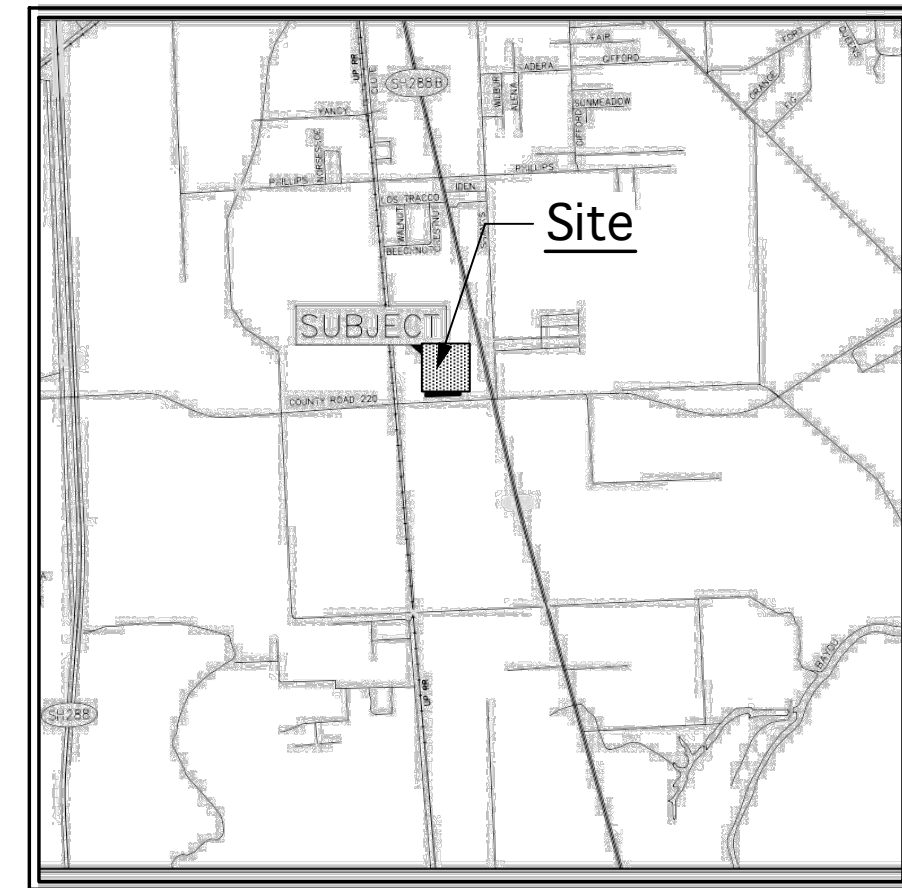
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S.P.

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Landscape Requirements & Tabulations

Vicinity Map



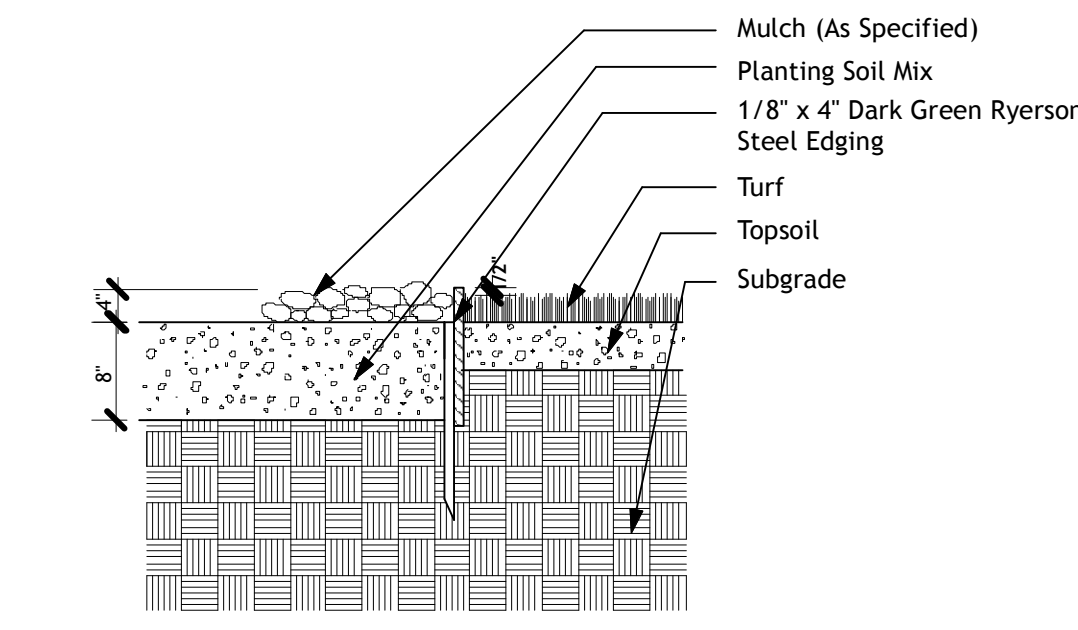
Property Description

Lot 1 Airport Meadows Subdivision
Vol. 21 PG 235-236 BCPR
9.273 Acres

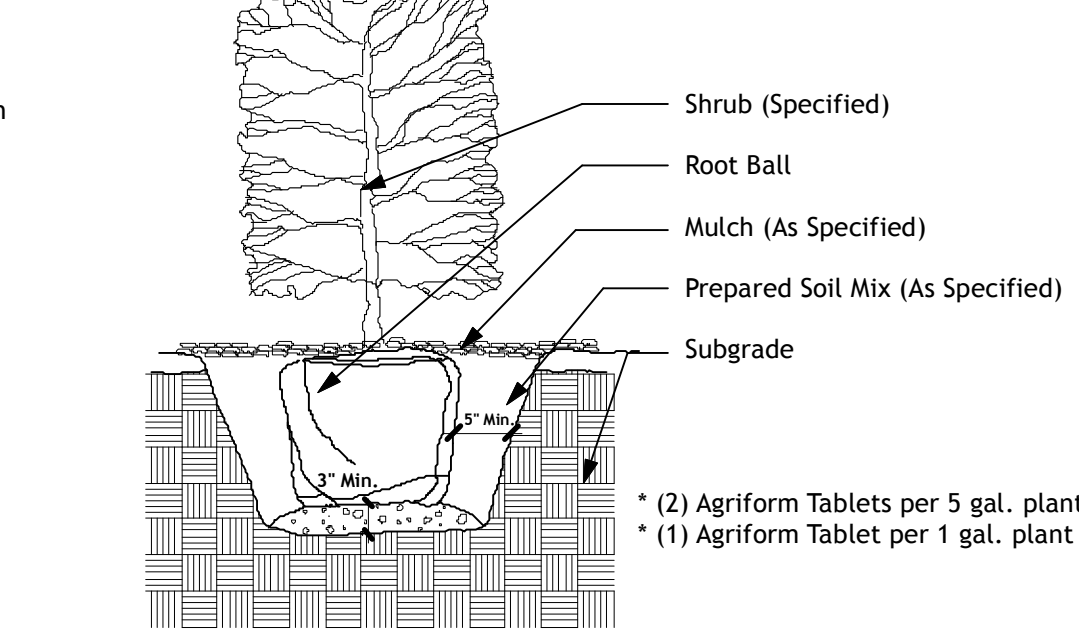
Prior to commencement of any construction activities, Contractor shall notify local utility location service to identify any underground utilities. Contractor shall immediately notify the Landscape Architect of any potential discrepancies, or obstacles. CALL 1-800-DIG-TESS for underground utility location at least two (2) days prior to excavation.

The Site Information shown on this plan has been provided by the Owner, Architect, or Civil Engineer. C2 Landgroup, Inc. is not responsible for the accuracy of that information and is using the information provided to prepare this Landscape Plan.

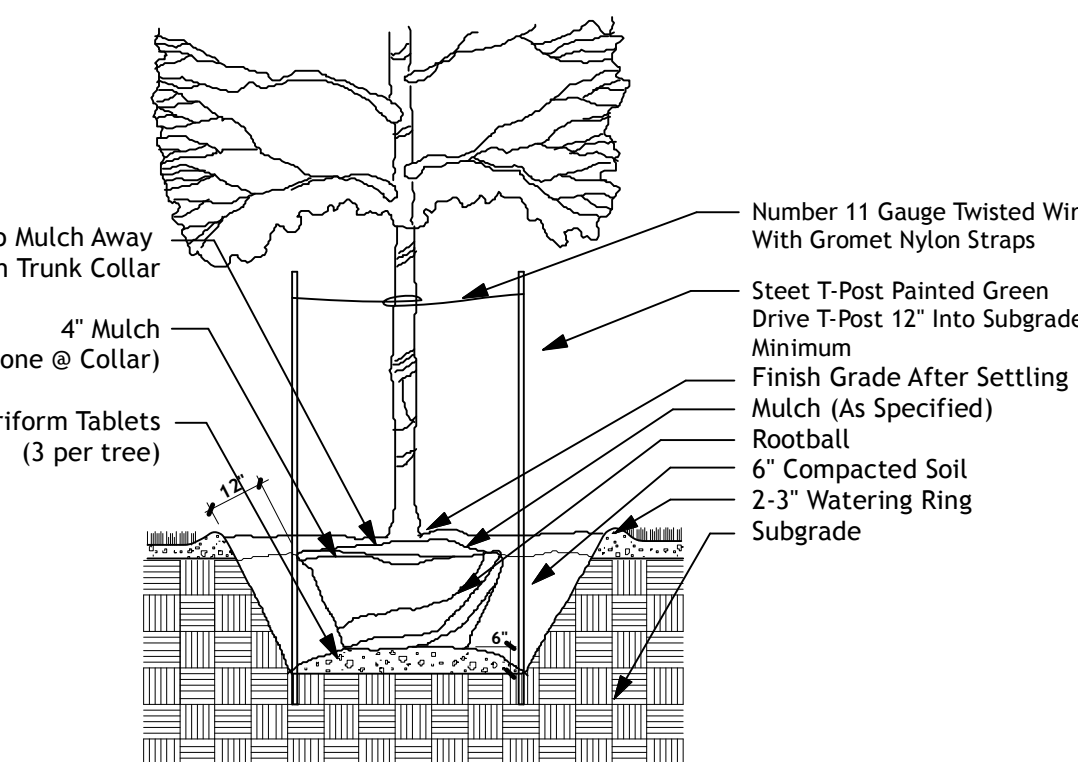
The Landscape Contractor shall verify all scales of the plans and quantities shown on the plan and is responsible for including in the bid the planting, or installation of all items shown. Any errors on the plan, or quantities should be brought to the attention of the Landscape Architect by the Contractor prior to submittal of any bid.



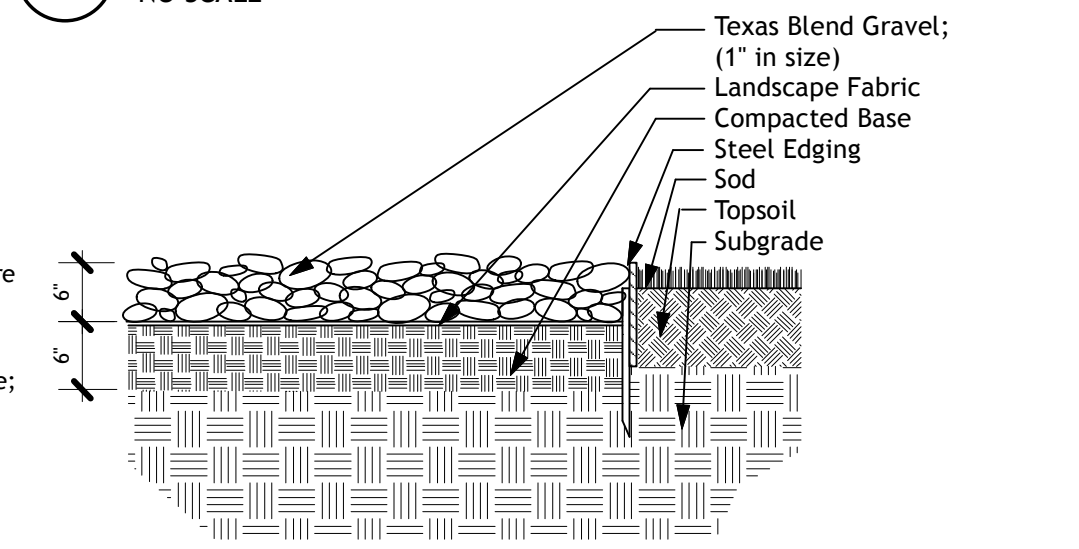
Steel Edging Detail
NO SCALE



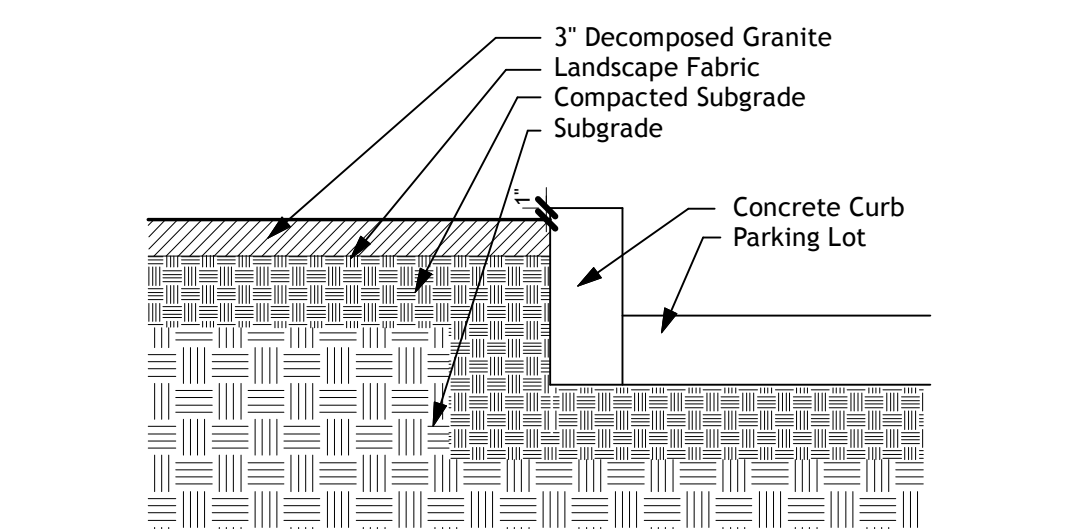
Shrub Planting Detail
NO SCALE



Tree Planting Detail
NO SCALE



Texas Blend Gravel Detail
No Scale



Decomposed Granite @ Curb Detail
No Scale

Plant List

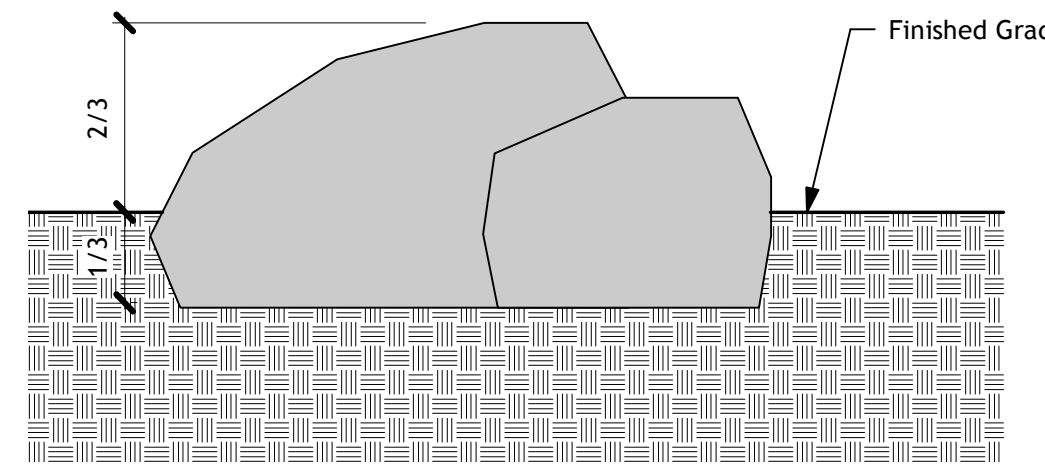
Key	Qty.	Common Name	Botanical Name	Size	Height	Spread	Remarks
AJ	710	Asian Jasmine	Trachelospermum asiaticum	4" Pot	6" Ht.	9" width	Full and Symmetrical; 10" o.c.
BW	11	Boxwood	Buxus microphylla	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36" o.c.
CM	20	Crape Myrtle	Lagerstroemia indica	30 Gal.	7-8' Ht.	6' width	Full and Symmetrical
DIA	35	Variiegated Flax Lily	Danella tasmanica 'Variegata'	3 Gal.	12" Ht.	12" width	Full and Symmetrical; 24" o.c.
DO	93	Dwarf Oleander	Nerium oleander 'Petite'	5 Gal.	24" Ht.	24" width	Full and Symmetrical; 60" o.c. Pink
DYH	23	Dwarf Yaupon Holly	Ilex vomitoria	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 24" o.c.
MOK	13	Monterrey Oak	Quercus polymorpha	3" Cal.	10-12' Ht.	4-5' width	Full, Symmetrical, Uniform Height and Spread 4' Maximum Clear Trunks
ROK	6	Red Oak	Quercus texana	3" Cal.	10-12' Ht.	4-5' width	Full, Symmetrical, Uniform Height and Spread
SGA	81	Society Garlic	Tulbaghia violacea	1 Gal.	9" Ht.	9" width	Full and Symmetrical; 12" o.c.
Boulders	42"x24"x24", Moss Rock						
SE	Steel Edging						1/8" x 4" Ryerson Steel Edging
Hydromulch	Common Bermuda						
SOD	Tiff 419 Bermuda			S.Y.			90% Purity Cut Prior to Shipment

Parking Lot Shading Calculations

(Mandatory Requirement)

Parking Stalls Proposed 114 ea
1 Large Tree / Per (20) Spaces
Trees Required 6
Trees Provided 16

Boulders To Be 1/3 Buried, 2/3 Above Grade And Have Relatively Flat Tops.



Boulder Detail
NO SCALE

Tree Inventory

No Existing Trees On Site

General Notes

- All quantities shown on plans to be verified by Landscape Contractor. Landscape Contractor shall be responsible for installing all labeled plant material.
- Landscape Contractor shall familiarize himself with the Landscape Plan and Specifications and shall be responsible for the requirements dictated there.
- Landscape Contractor shall familiarize himself with the location of all underground utilities and easements prior to the installation of any plant material.
- All plants must comply with the American Standards for Nursery Stock, by the American Association of Nurserymen, Inc.
- All final shaping and raking of the topsoil shall be approved by the Landscape Architect prior to application of Hydromulch or sod, shaping planting beds, installing trees and installing irrigation. Excessive slopes on berms which may cause maintenance problems shall be reviewed by the Landscape Architect. Berms shall be installed in 12" layers and compacted to 90% proctor.
- All topsoil shall be fine sandy loam, raked smooth to grade 2" below curbs, sidewalks, or edging.
- All beds to be mulched to a depth of 4" with BLACK dyed mulch from New Earth (210.661.5180). (7800 IH-10 East, 78219). Submit mulch sample to Landscape Architect prior to delivery and installation.
- All backfill to be sandy loam material and shall be the responsibility of the General Contractor. General Contractor shall allow for the installation of 2" of topsoil at hydroseeded areas, 6" of topsoil at lawn areas, and 8" of specified backfill (New Earth 4-way Mx) in shrub areas to be supplied by the Landscape Contractor. Any backfill material shall be compacted sufficiently to prevent excessive settling of topsoil that may effect the finished grade or drainage.
- Landscape Contractor shall notify the Landscape Architect of any questions regarding application of proposed plant material prior to installation-especially questions that may effect or alter the warranty of said material.
- Landscape Contractor shall maintain all trees, shrubs, groundcover and turf areas in a healthy state under the contract until acceptance by the owner. A 90 day maintenance period, after acceptance, shall be included in base bid.
- Trees shall be warrantied 1 year from acceptance of owner. Shrubs and groundcovers shall be warrantied 6 months in the same period.
- All container grown shrubs and groundcovers shall be healthy, vigorous, well-rooted and established in the container in which they are growing.
- Landscape Irrigation to be provided throughout project and shall provide 100% coverage at all landscape areas.

Hydroseed Notes

- Hydroseed Works:
 - Seed which has become wet, moldy and otherwise damaged in transit, or in storage will not be acceptable.
 - All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
 - Grass seed shall have the following minimum ration:
 - Summer Mix:**
Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed @ 75lbs Pu Live Seed (PLS) per acre.
 - Winter Mix:**
Cynodon Dactylon (Unhulled Common Bermuda Grass) 85% pure live seed @ 75lbs Pure Live Seed (PLS) per acre. Annual Rye Grass, or equal, 85% pure live seed @ 175lbs Pure Live Seed (PLS) per acre.
- Slurry Mx Component per acre shall be wood cellulose fiber mulch=2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
- Hydroseed on prepared finished grades:
 - Install and spread out a minimum of two inch layer of topsoil over all areas to be hydroseeded.
 - Bed Prep- Immediately after the finished grade has been approved, begin the hydroseeding operation to reduce excessive weed growth and erosion.
 - Apply seed, fertilizer, and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein.
 - Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
 - Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to the hydroseeding process.
- Maintenance:
 - Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
 - Guarantee growth and coverage of hydroseed planting shall be a minimum on ninety five percent (95% of the area planted will be covered with specified planting after sixty (60) days with no bare spots visible.
 - Watering-Coordinate with the Owner to properly operate irrigation system to assure a regular deep watering program.
- Inspection and Final Acceptance:
 - Final acceptance of the lawn establishment shall mean that hydroseed areas are ninety five (95%) uniform coverage of grass in excess of one inch height. No bare spots shall be acceptable.

Sod Notes

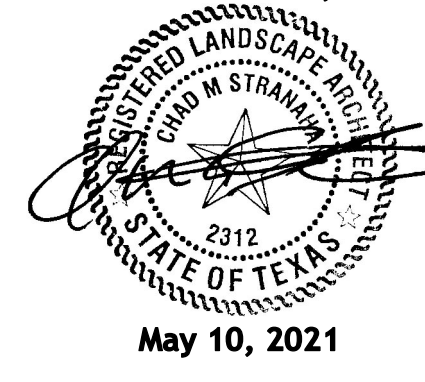
- Lawn installation shall not begin until the irrigation system has been completed and is operational.
- Before placing of topsoil, all areas shall be cultivated to a depth of four (4") inches, unless otherwise specified or ordered by the Landscape Architect. Cultivation of the soil may be done by disc, spring tooth harrow, rototiller, or similar equipment. This operation shall be done at right angles to the natural flow of water on the slopes.
- After the topsoil has been spread to the depth specified, the area shall be mechanically tilled to a depth of 6 inches, then roll raked and dragged to remove all large clods, rocks, debris, and litter over (1") one inch in any dimension which shall be disposed of by the Contractor in a lawful manner at an off site location. The roller shall be of a standard, lightweight, waterfilled type.
- Rake the area to make it smooth and level. Remove ridges and fill depressions. Add topsoil where necessary, or as directed by the Landscape Architect.
- The finished grade shall be two (2) inches below all curbs, sidewalks, and/or other appurtenances.
- Roll the area in one direction. Moisten prepared lawn areas before planting if soil is dry. Allow surface moisture to dry.
- Lay sod within 24 hours from time of stripping. Do not plant dormant sod. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- Water sod thoroughly within one (1) hour with a fine spray immediately after planting to ensure 4" to 6" penetration of water into the soil. Roll sod with roller to ensure good contact with soil.
- Continue watering sod similar penetration for ten (10) days.
- Erect a barrier of stakes and strings, and post warning signs where necessary, or as direct by the Landscape Architect.
- Apply water as required to keep the sod damp at all times through germination and initial growth period.
- Continued maintenance (mowing, fertilization, weeding, etc) of the sodded areas should be provided by a professional landscape maintenance contractor.



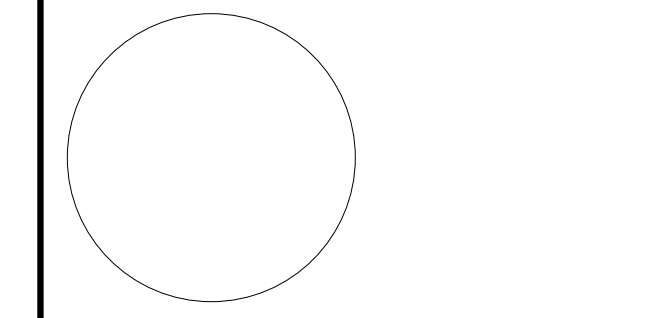
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ANGLETON WAREHOUSE DEVELOPMENT

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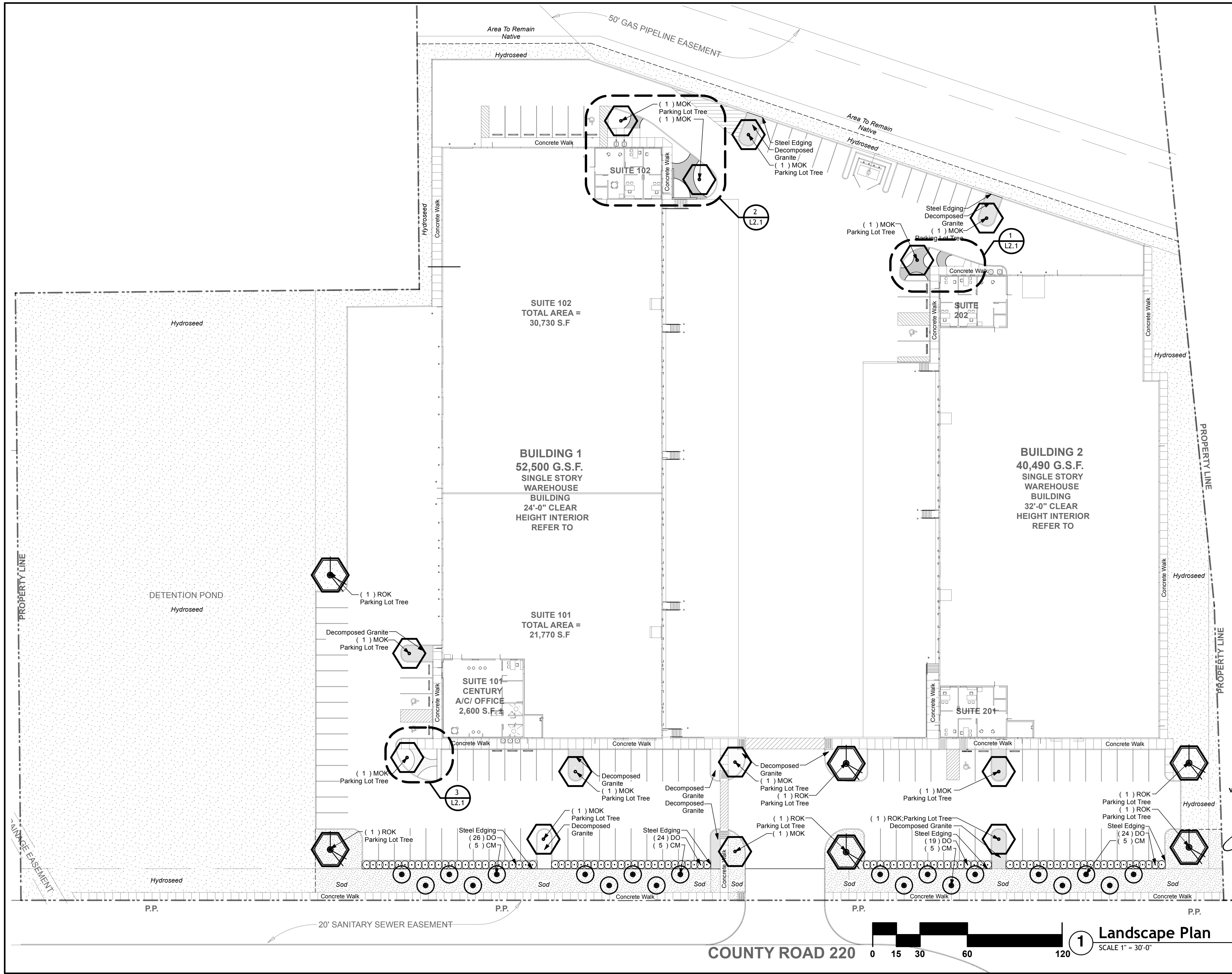
BEARDEN INVESTMENTS

project number 1949
date 05.10.21

drawn by
checked by
sheet number

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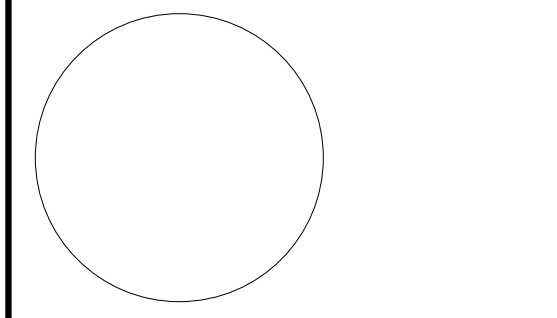
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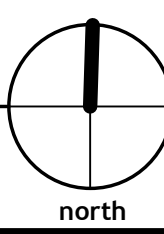
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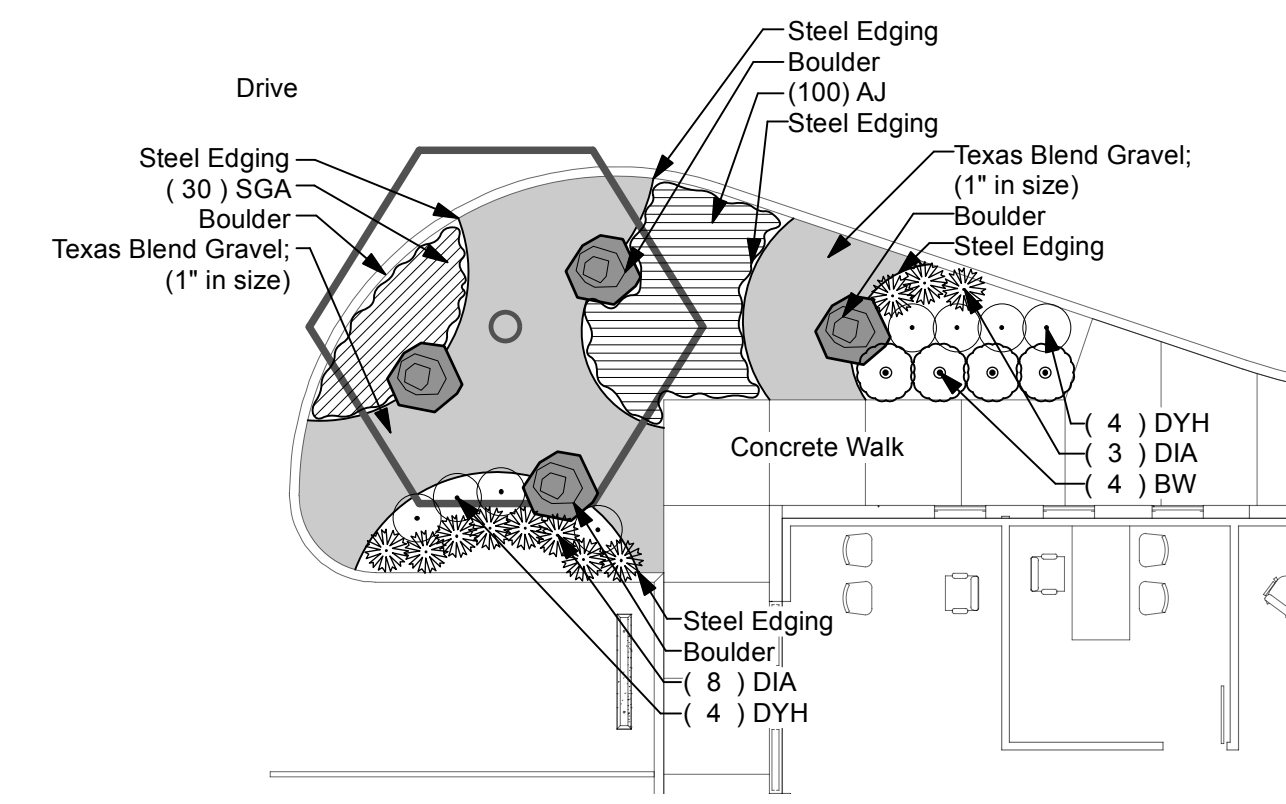
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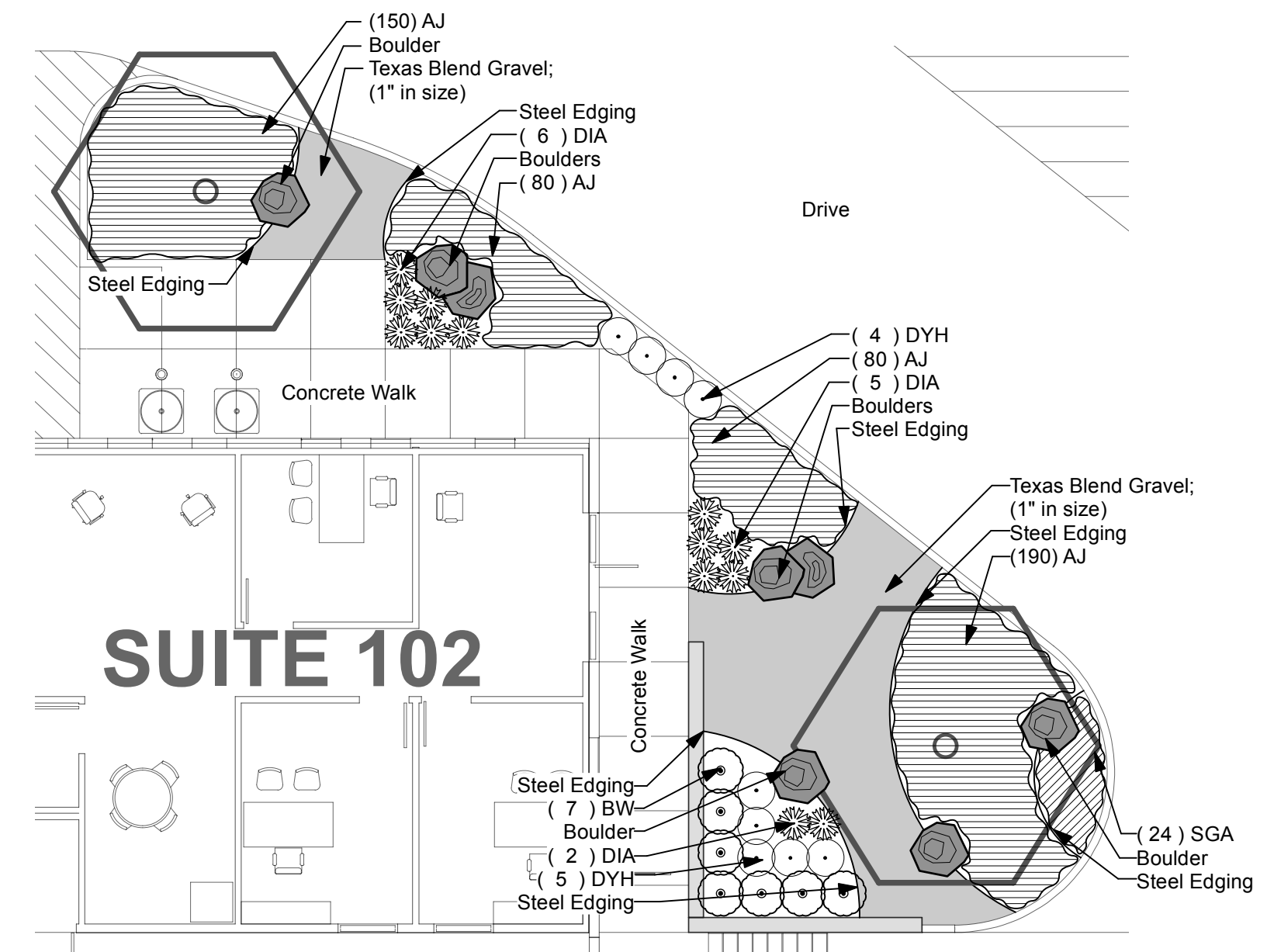


1 Landscape Plan
SCALE 1" = 30'-0"

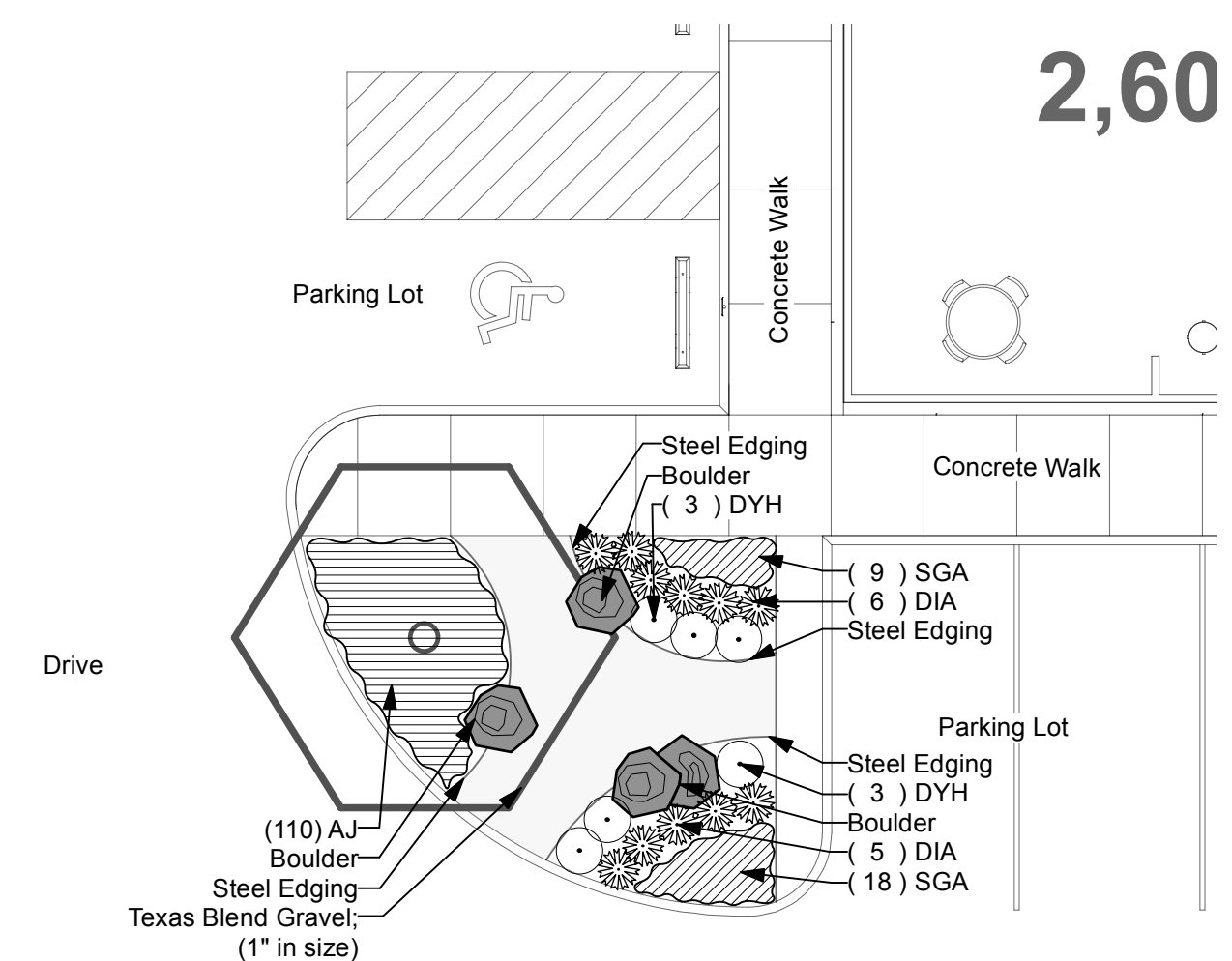




1 Landscape Plan Enlargement
 SCALE 1" = 10'-0"
 north



2 Landscape Plan Enlargement
 SCALE 1" = 10'-0"
 north



3 Landscape Plan Enlargement
 SCALE 1" = 10'-0"
 north

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 master planning / creative spaces
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 Angleton Texas 77515

BEARDEN INVESTMENTS

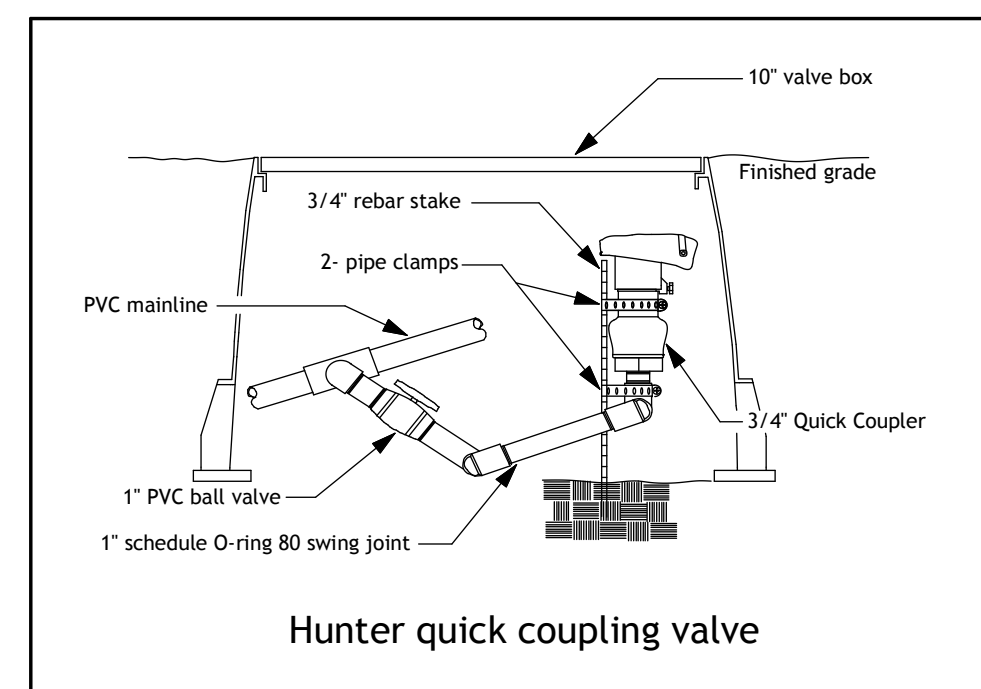
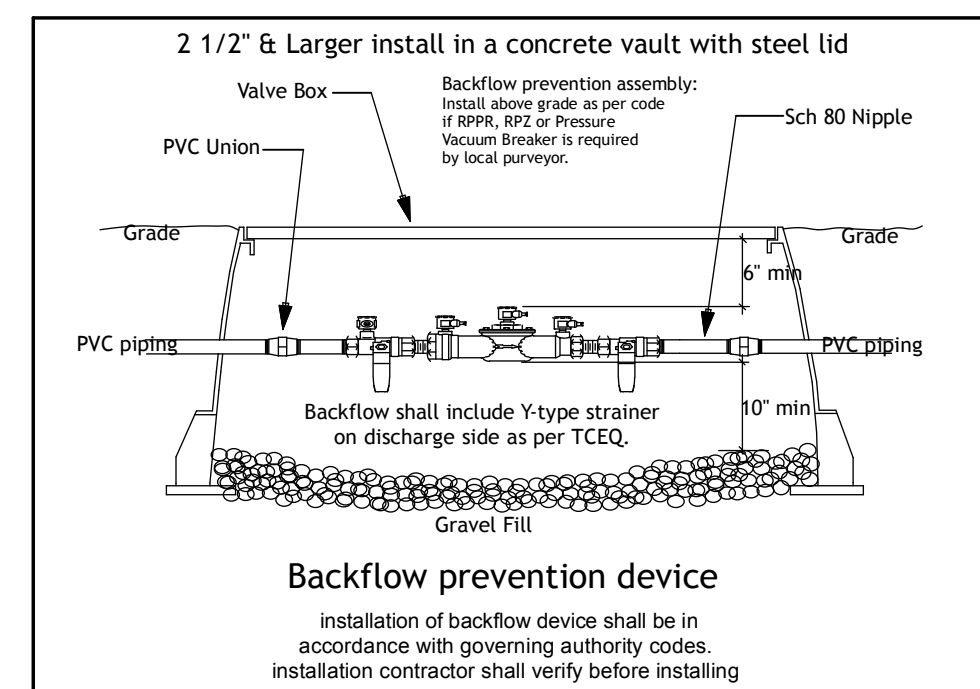
project number 1949
 date 05.10.21
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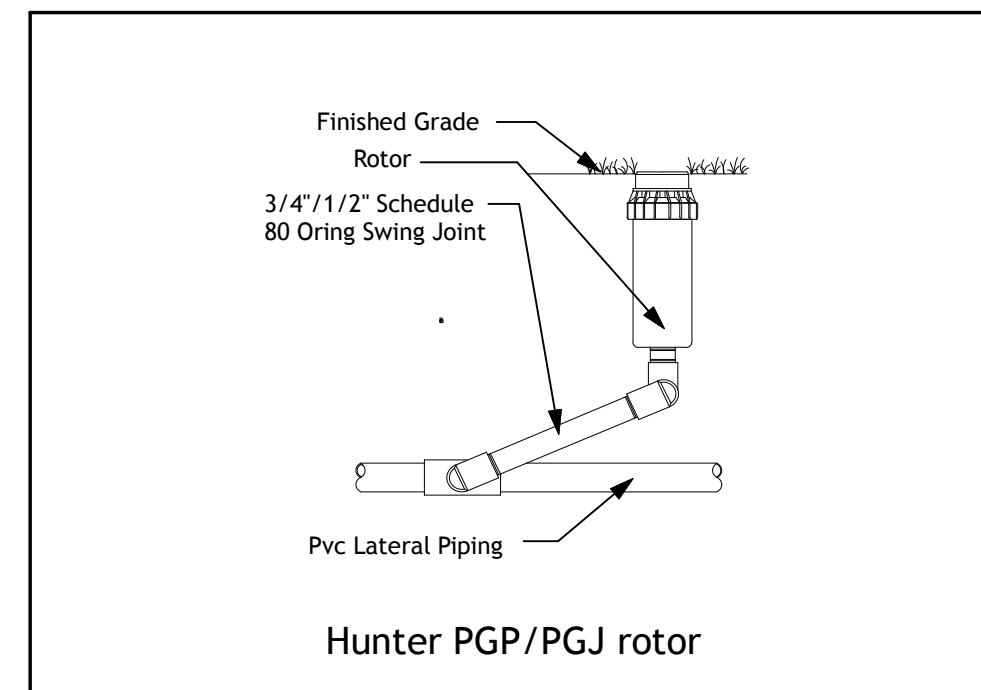
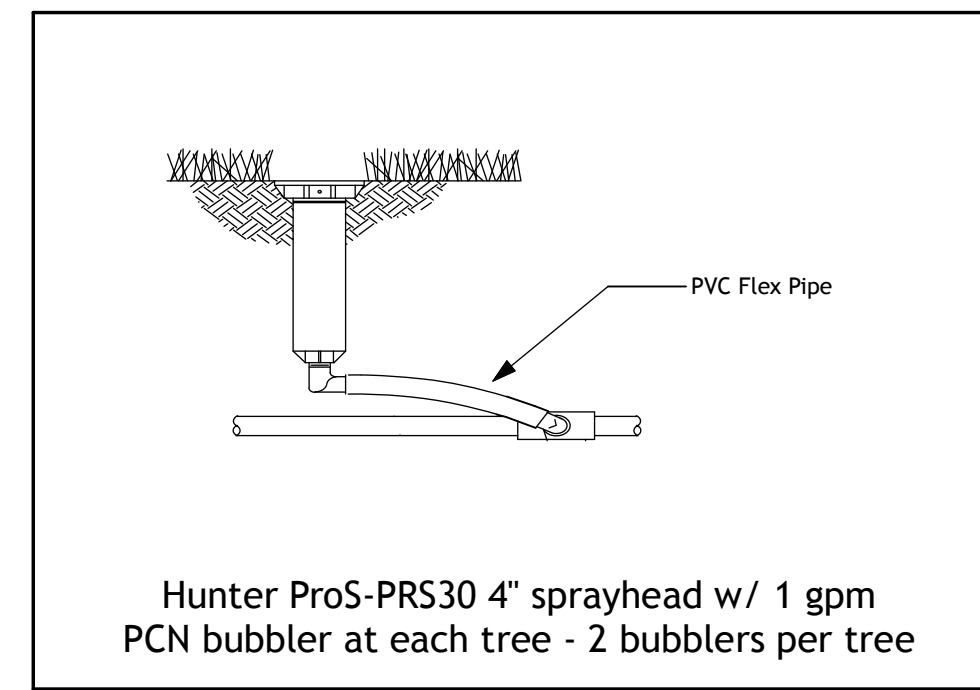
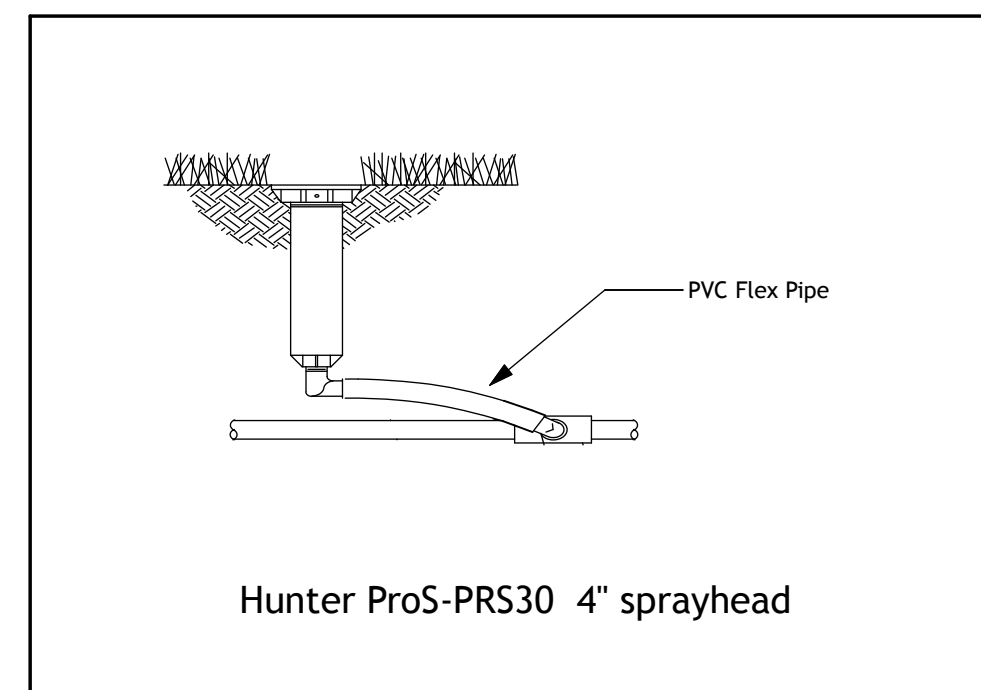
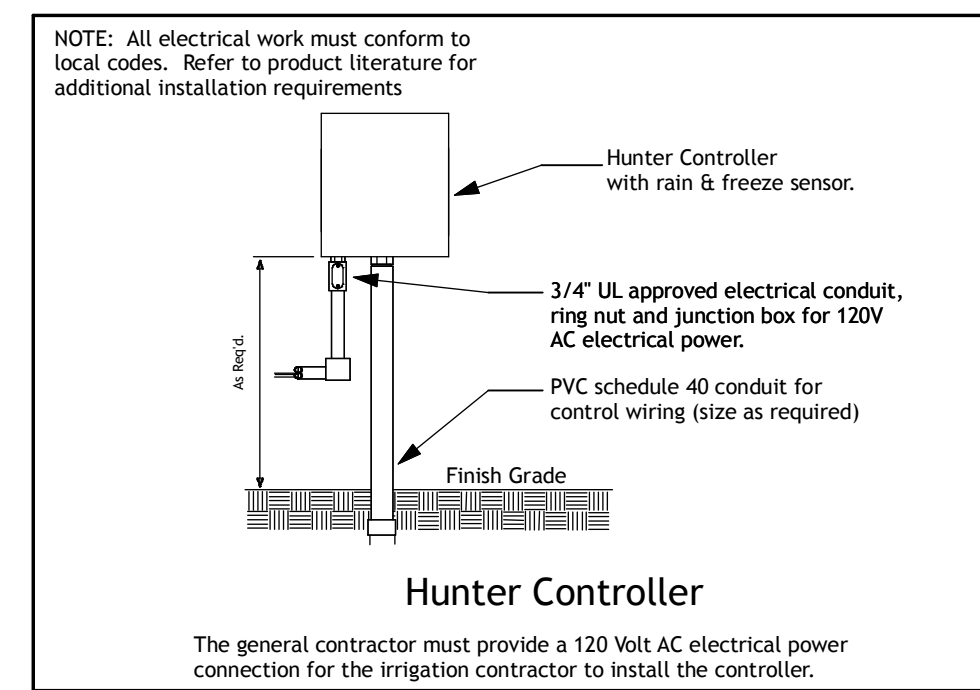
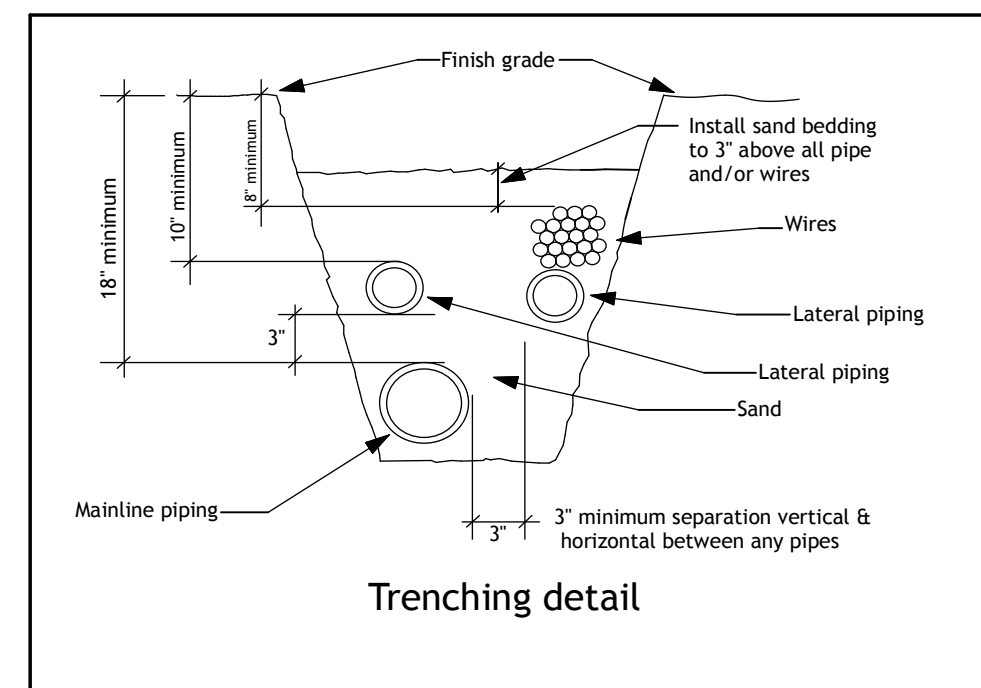
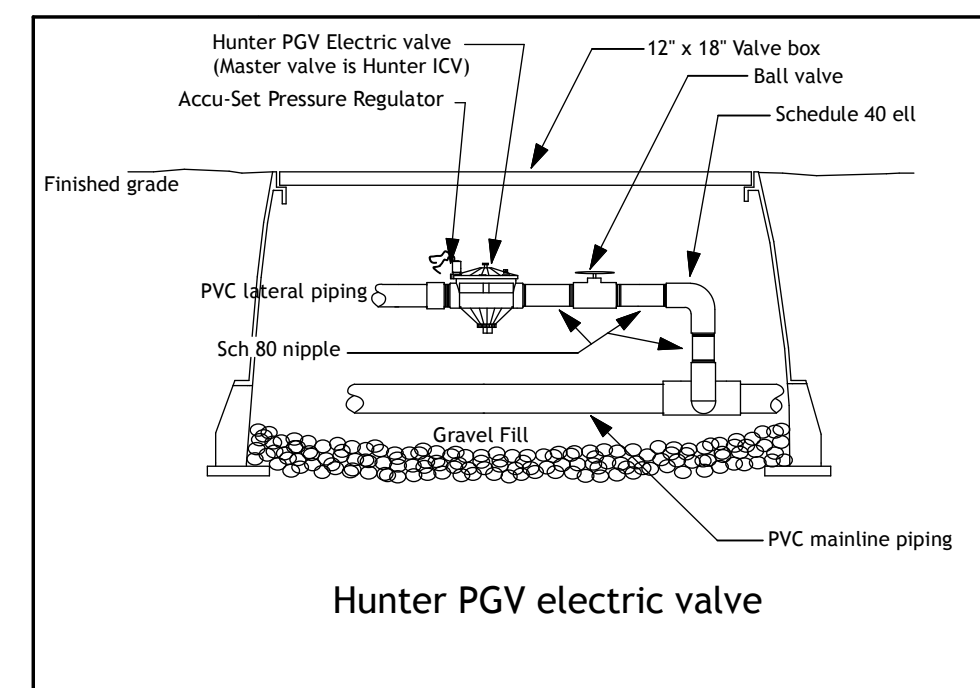
BEATY PALMER ARCHITECTS

Irrigation Requirements & Tabulations



I, STEPHEN COOK, LICENSED IRRIGATOR #8155, HEREBY CERTIFIES THAT THIS IRRIGATION DESIGN CONFORMS TO ALL CURRENT CITY OF ANGLETON AND STATE OF TEXAS DESIGN REGULATIONS

Stephen Cook
Stephen Cook LI 8155



IRRIGATION NOTES

- BACKFILL IN TRENCHES SHALL BE FREE OF LARGE ROCKS OVER 1". IF EXISTING SOIL IS DETERMINED UNACCEPTABLE BY THE IRRIGATION INSPECTOR THEN IMPORT BACKFILL MUST BE SUPPLIED. PROVIDE SAND BEDDING AS PER TRENCH DETAIL.
- ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN A LANDSCAPED AREA.
- ITEMS SHOWN IN ASPHALT OR CONCRETE ARE FOR CLARIFICATION ONLY. ITEMS THAT ACTUALLY CROSS UNDER ASPHALT OR CONCRETE MUST BE SLEEVED EVEN IF SLEEVE IS NOT SHOWN.
- ALL SPRINKLER HEADS SHALL HAVE A FLEXIBLE ATTACHMENT. SEE DETAILS.
- QUICK COUPLING VALVES MUST HAVE AN ISOLATION VALVE INSTALLED BETWEEN THE QCV & THE MAINLINE.
- IRRIGATION SLEEVES TO BE PROVIDED BY THE IRRIGATION CONTRACTOR. ALL SLEEVES SHALL BE SIZED TO ACCOMMODATE MAINLINE, WIRES, & LATERAL PIPING AS NECESSARY.
- ALL NEWLY PLANTED TREES SHALL RECEIVE A BUBBLER FOR SUPPLEMENTAL WATERING. BUBBLERS SHALL BE ZONED SEPARATELY. SEE THE LANDSCAPE PLAN FOR THE LOCATION OF TREES AND COORDINATE BUBBLER INSTALLATION WITH THE LANDSCAPE CONTRACTOR.
- IRRIGATION FINAL CONTROLLER LOCATION SHALL BE COORDINATE WITH OWNER & GENERAL CONTRACTOR. LOCATION SHOULD BE AGREED UPON BY ALL PARTIES PRIOR TO ANY IRRIGATION INSTALLATION.
- TXDOT R.O.W. INSTALLATION REQUIRES HEADS TO BE PLACED A MINIMUM OF 3 FEET OFF OF THE CURB.
- IF STATIC WATER PRESSURE IS LESS THAN MANDATED THEN IMMEDIATELY NOTIFY IRRIGATION DESIGNER. INADEQUATE PRESSURE NOTIFICATION MUST BE MINIMUM OF 4 WEEKS PRIOR TO ANY IRRIGATION INSTALLATION.
- IT IS THE IRRIGATION CONTRACTORS SOLE RESPONSIBILITY TO CONFIRM THE STATIC PRESSURE.
- IF A CONTRACT IS NOT IN PLACE FOR AN INSTALLATION CONTRACTOR WITHIN THE 4 WEEKS THEN THE GENERAL CONTRACTOR SHALL CONFIRM PRESSURE AND REPORT ANY INADEQUACY.
- THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION COMPONENTS IN ACCORDANCE WITH T.C.E.Q. AND ANY LOCAL GOVERNING REGULATIONS.
- ALL IRRIGATION PIPING OR WIRES THAT CROSS UNDER ASPHALT OR CONCRETE SHALL BE SLEEVED BY THE IRRIGATION CONTRACTOR.
- ANY IRRIGATION HEAD INSTALLED AT AN IMPERVIOUS SURFACE SHALL BE INSTALL 4" FROM SUCH SURFACE. INCLUDING CONCRETE, CONCRETE WALKS, ASPHALT, FENCES, WALLS, ETC.
- PIPING BETWEEN THE WATER METER AND THE MASTER VALVE SHALL BE SCHEDULE 40.
- USE PRIMER ON ALL JOINTS AND FITTINGS IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE. EVERY GLUED JOINT MUST BE PRIMERED.
- IRRIGATION DESIGN MUST BE KEPT ON SITE DURING ALL OF THE INSTALLATION AS PER TCEQ.
- ANY HOSE ATTACHED TO THE SPRINKLER SYSTEM MUST BE LABELED "NON-POTABLE" IN ENGLISH AND SPANISH
- ALL NOZZLES WITHIN ANY ZONE SHALL HAVE MATCHED PRECIPITATION RATES.
- CONTRACTOR WILL PERFORM A FINAL WALK THRU AND IT MUST BE PERFORMED WITH THE OWNER OR THE OWNERS REP TO EXPLAIN ALL FUNCTIONS OF THE IRRIGATION SYSTEM.
- IRRIGATOR WILL PROVIDE A MAINTENANCE CHECKLIST AND HAVE THE OWNER OR OWNERS REP SIGN. IF THE OWNER REFUSES TO SIGN THEN NOTE DATE AND TIME AND REFUSAL TO SIGN. SUPPLY TO THE OWNER OR OWNERS REP, AS PART OF THE CHECKLIST: CONTROLLER MANUAL, SEASONAL WATERING SCHEDULE, LIST OF PARTS THAT REQUIRE MAINTENANCE AND THE RECOMMENDED FREQUENCY OF MAINTENANCE. STATEMENT THAT ALL COMPONENTS HAVE BEEN INSTALLED IN ACCORDANCE WITH ALL RULES AND REGULATIONS AND HAS BEEN ADJUSTED FOR THE MOST EFFICIENT APPLICATION OF WATER.
- THE IRRIGATOR MUST ATTACH A "PERMANENT" STICKER TO EACH CONTROLLER SHOWING THE IRRIGATORS NAME, LICENSE NUMBER, TELEPHONE NUMBER AND DATES OF THE WARRANTY PERIOD.
- IRRIGATION CONTRACTOR WILL SUPPLY A COMPLETE AS-BUILT DRAWING TO INCLUDE EXACT LOCATION OF ALL MAINLINE, VALVES, CONTROLLERS, QUICK COUPLERS, P.O.C. & WIRE PATH.
- IRRIGATION CONTRACTOR WILL SUPPLY A COMPLETE OF OPERATION & MAINTENANCE MANUALS.
- PROVIDE A COLORED LAMINATED ZONE MAP AND INSTALL AT THE CONTROLLER

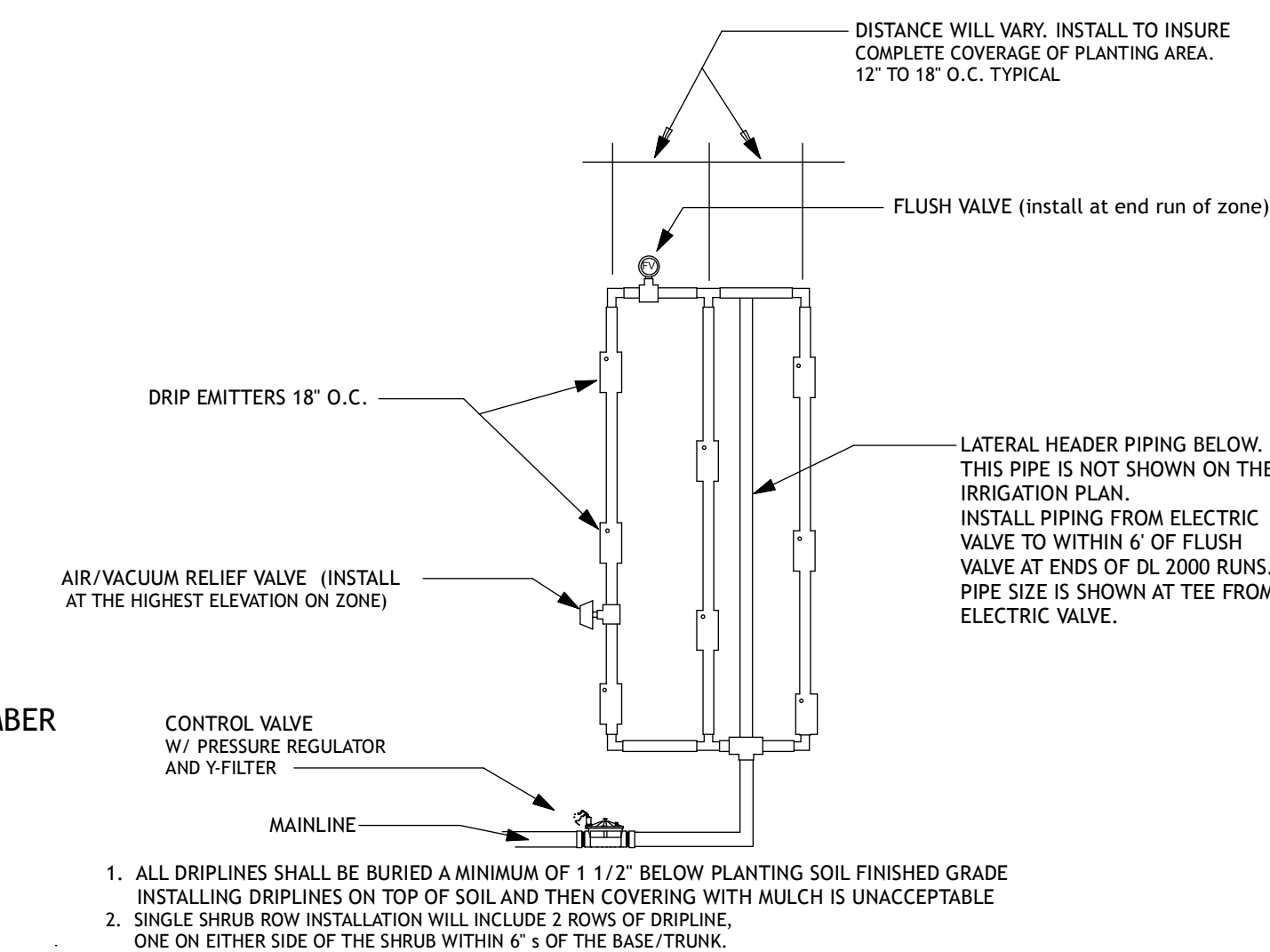
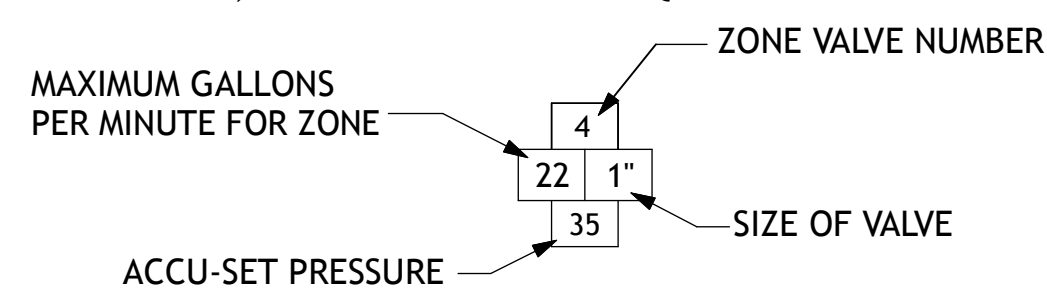
FRICTION LOSS FOR ZONE		5	@	21	GPM
STATIC PRESSURE:		PSI 65**			
1"	COPPER SERVICE				07.0
1"	WATER METER				02.8
1"	BACKFLOW PREVENTOR				04.5
1"	Y-STRAINER				01.0
1"	MASTER VALVE				03.0
1.50"	MAINLINE	200'			04.0
	MAINLINE LOOP				00.0
	MAINLINE				
1"	ELECTRIC ZONE VALVE				03.0
	LATERAL PIPING				04.0
	SPRAYHEAD PRESSURE				30.0
	DESIGN PRESSURE				TOTAL 59.3

** ACTUAL STATIC WATER PRESSURE WAS UNAVAILABLE AT THE TIME OF IRRIGATION DESIGN. 65 PSI IS USED AS A STANDARD PRESSURE FOR DESIGN. PRESSURE MUST BE CONFIRMED 65 OR GREATER BEFORE ANY INSTALLATION.

****It is the irrigation contractors sole responsibility to confirm a minimum 65 psi static water pressure is available at the highest elevation on site before any installation.**

ZONE	RUN TIME TO ACHIEVE 1" OF PRECIPITATION	RUN TIME TO ACHIEVE 1/2" OF PRECIPITATION
SHRUB SPRAY	38 MINUTES	19 MINUTES
LAWN SPRAY	38 MINUTES	19 MINUTES
LAWN ROTOR	99 MINUTES	50 MINUTES
DRIP LINE	37 MINUTES	18.5 MINUTES
TREE BUBBLER	30 MINUTES	15 MINUTES

IRRIGATION IN THE STATE OF TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY P.O. BOX 13087 AUSTIN, TEXAS 78711-3087 WWW.TCEQ.STATE.TX.US



SHRUB BED DRIP INSTALLATION DETAIL

ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN A NEWLY LANDSCAPED AREA. ITEMS SHOWN IN ASPHALT, CONCRETE OR OUTSIDE L.O.C. ARE FOR CLARIFICATION ONLY.

ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN A NEWLY LANDSCAPED AREA. ITEMS SHOWN IN ASPHALT, CONCRETE OR OUTSIDE L.O.C. ARE FOR CLARIFICATION ONLY.



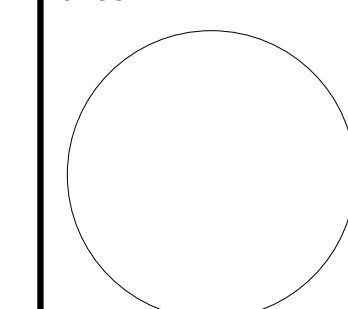
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CONSULTANT revisions



ANGLETON WAREHOUSE DEVELOPMENT

2151 County Road 220,
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BEARDEN INVESTMENTS

project number 1949
date 05.10.21
drawn by
checked by

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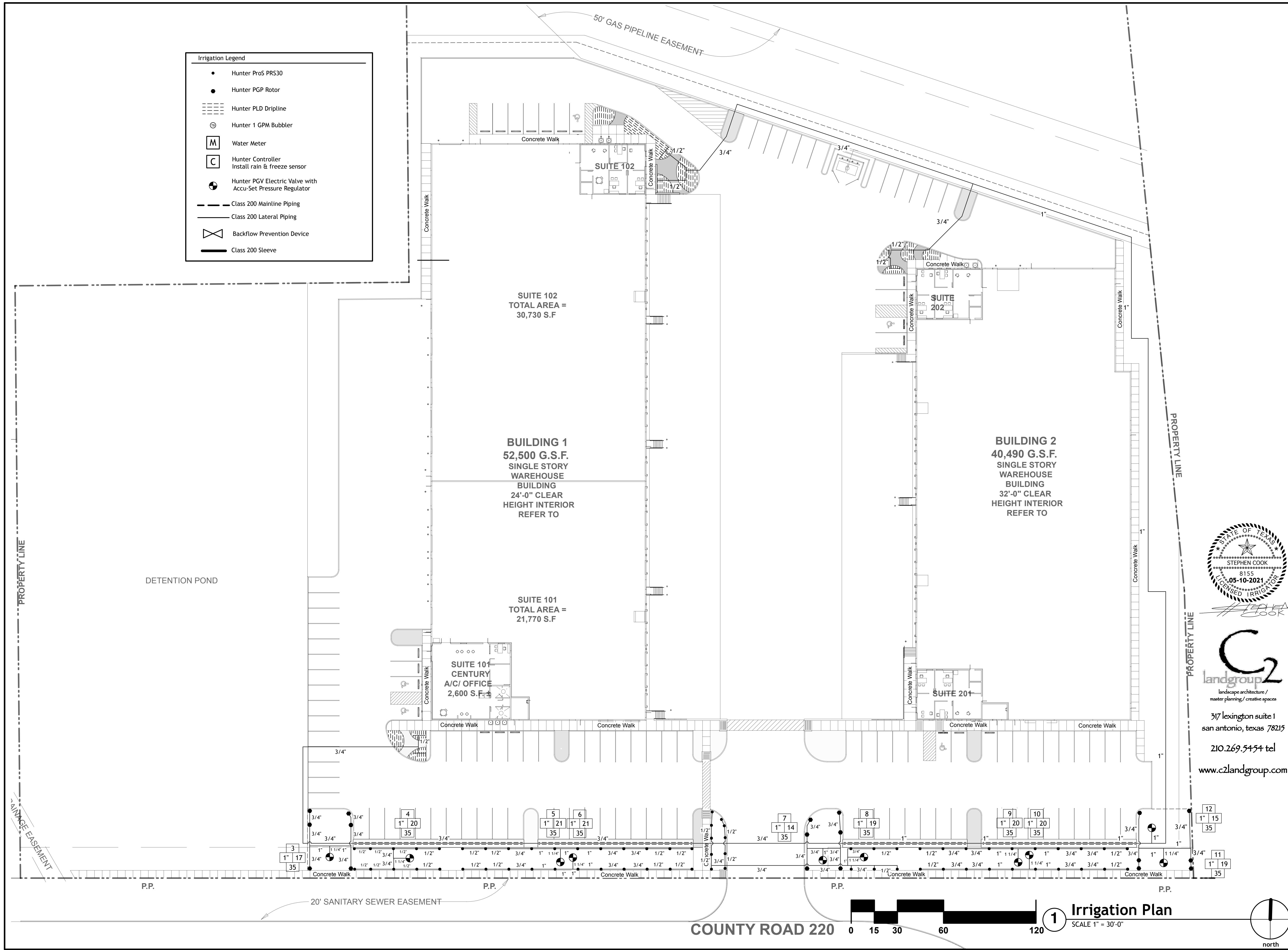
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BEATY PALMER ARCHITECTS

Irrigation Legend

- Hunter ProS PRS30
- Hunter PGP Rotor
- Hunter PLD Dripline
- ⊙ Hunter 1 GPM Bubblers
- M Water Meter
- C Hunter Controller
Install rain & freeze sensor
- ⊕ Hunter PGV Electric Valve with
Accu-Set Pressure Regulator
- Class 200 Mainline Piping
- Class 200 Lateral Piping
- ⊗ Backflow Prevention Device
- Class 200 Sleeve

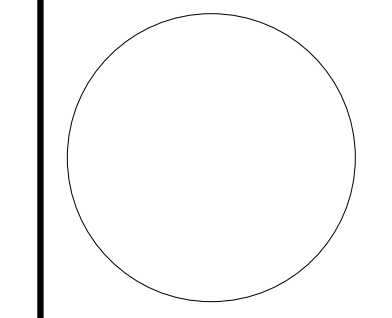


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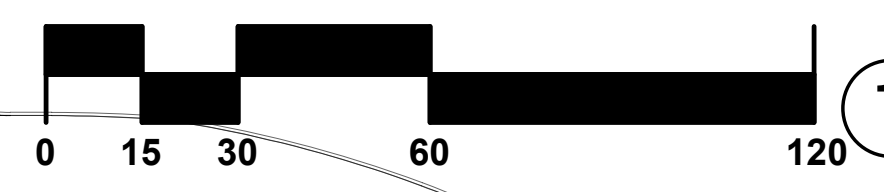
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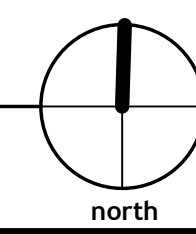
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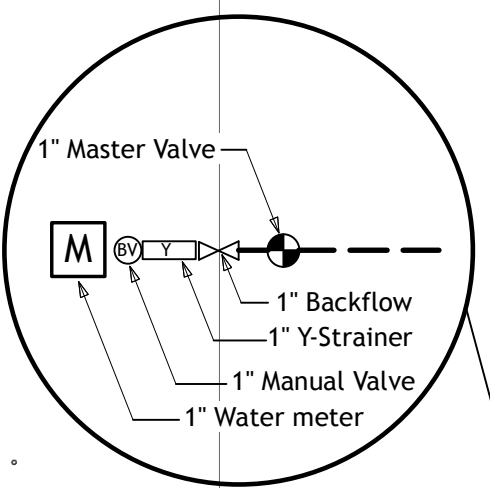
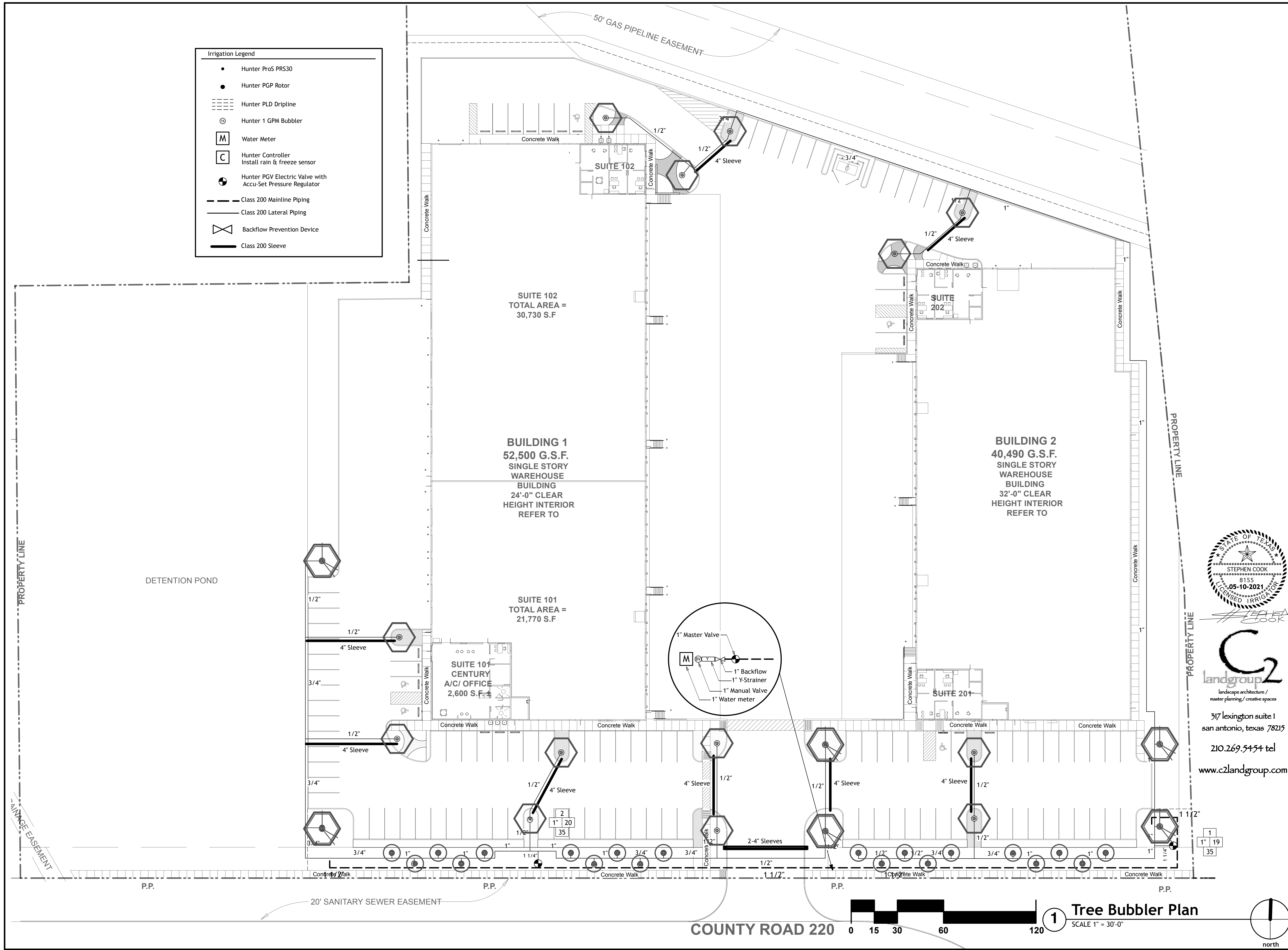


1 Irrigation Plan
SCALE 1" = 30'-0"



Irrigation Legend

- Hunter ProS PRS30
- Hunter PGP Rotor
- ⋮ Hunter PLD Dripline
- ⊕ Hunter 1 GPM Bubblers
- M Water Meter
- C Hunter Controller
Install rain & freeze sensor
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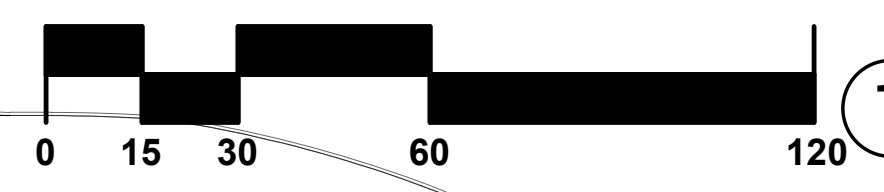
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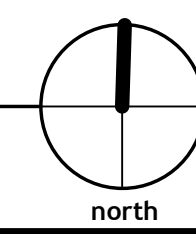
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1 Tree Bubbler Plan
 SCALE 1" = 30'-0"



L5.0

BEATY PALMER ARCHITECTS

the requirements of Section 23-60 resulted in a replacement requirement of 3,156 caliper inches. The replacement plan stated that it was “impossible” to provide all the required replacement caliper inches, leaving 3,156 required replacement caliper inches outstanding.

The revised proposed TPP (Attachment 3) proposes to rewrite Section 23-60 to redefine which trees are subject to the requirements of Section 23-60. As proposed, it effectively results in no replacement requirement caliper inches being required for the project, even though a significant amount of heritage trees as defined by Section 23-60 are being removed without replacement.

Staff cannot support either proposed plan as neither is consistent with the requirements of Section 23-60. Section 23-60 does not mandate where the replacement caliper inches shall be planted or the timeline for planting of the trees. Which opens up the possibility of alternate solutions. In this case, planting of the replacement caliper inches in City of Angleton parks and/or as part of the City’s street beautification plan.

RECOMMENDATION:

Staff recommends denial of both proposed Heritage Tree Preservation Plans for the Anderson Place project.

SUGGESTED MOTION:

I move we recommend denial of both proposed Heritage Tree Preservation Plans for the Anderson Place project.

Sec. 23-60. - Heritage tree protection.

Item 9.

- A. *Authority.* Based on the authority of TLGC Ch. 212, the requirements of this section shall apply to all plats and site plans proposing new development in the corporate limits of the city and the ETJ.
- B. *Purpose and intent.* The purpose of this section is to require subdividers and developers identify and document the location of heritage trees on properties where development for the following purposes:
- Promote responsible design decisions that will preserve as many heritage trees as possible;
 - Prohibit the indiscriminate clearing of property;
 - Preserve protected trees during construction;
 - Protect and increase the value of properties by preserving those trees that help to define the character of the city and region;
 - Maintain a positive image of the city as a place to live and locate a business;
 - Protect the natural ecological environmental and aesthetic qualities of the city; and
 - Provide shade to provide relief from the heat by reducing the ambient temperature.
- C. *Heritage trees classified.* The following tree species shall be designated as heritage trees:
- Live oak - *Quercus virginiana*;
 - Pecan - *Carya illinoensis*.
- D. *Significant tree species classified.* In the event that all heritage trees cannot be preserved, the following tree species, if present on a property, may be preserved and credits awarded, as specified in this section, to mitigate the loss of any heritage trees:
- Shumard Red Oak - *Quercus shumardii*;
 - Burr Oak - *Quercus macrocarpa*;
 - Chinquapin Oak - *Quercus muehlenbergii*;
 - Post Oak - *Quercus stellata*;
 - Water Oak - *Quercus nigra*;
 - Willow Oak - *Quercus phellos*;
 - Bald Cypress - *Taxodium distichum*;
 - Tulip Tree (Yellow Poplar) - *Liriodendron tulipifera*;
 - American Elm - *Ulmus americana*;
 - Redbud - *Cercis canadensis*;
 - Dogwood - *Cornus florida*.
- E. *Exceptions.* The requirements of this section shall not be applicable when:
1. Plans or plats approved prior to the adoption of the LDC;
 2. Property is zoned or used for agricultural purposes, which includes the harvesting of timber;
 3. The owner of any residence used as a homestead;
 4. Damaged or diseased trees that are beyond the point of recovery, in danger of falling, or endangering public health, welfare, property, or safety;
 5. Trees damaged from an act of nature that interrupts utility service. Removal shall be limited, if possible, to the portion of the tree reasonably necessary to re-establish utility service; and

6. Golf courses to the extent necessary to accommodate the golf course improvements.

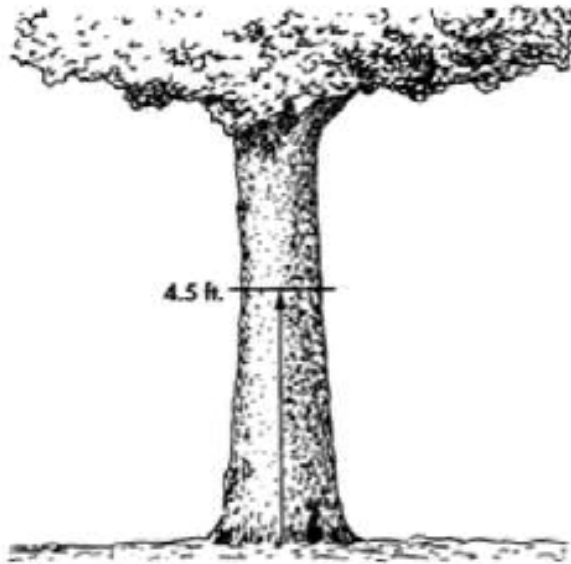
F. *Deferral.* The development administrator, or upon appeal the planning and zoning commission, may:

- 1. Consider a deferral request to maintain a heritage tree when the literal enforcement of this requirement would result in the creation of an unnecessary hardship on impractical application of the plan considering the physical characteristics of the lot or parcel of land in question; and
- 2. Consider a waiver or a deviation from any other development requirements in order to preserve a heritage tree.

G. Tree trunk measurement. When documenting existing heritage trees, or existing protected trees that may be used to mitigate the loss of heritage trees, the following criteria shall be applied:

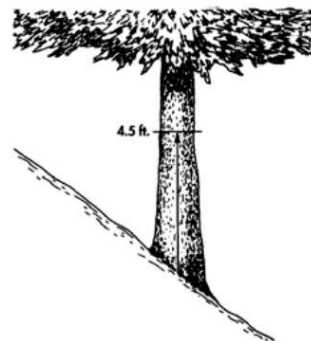
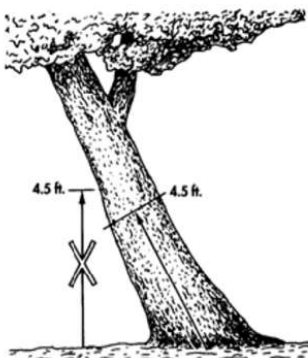
- 1. *Straight trunk:* Trees with fairly straight, upright trunks shall be measured 4.5 feet above the ground, as shown below:

Figure 23-60.1
Straight Tree Trunk Measurement



- 2. *Trunk on an angle or slope:* The trunk is measured at a right angle to the trunk 4.5 feet along the center of the trunk axis, so the height is the average of the shortest and the longest sides of the trunk, as shown below:

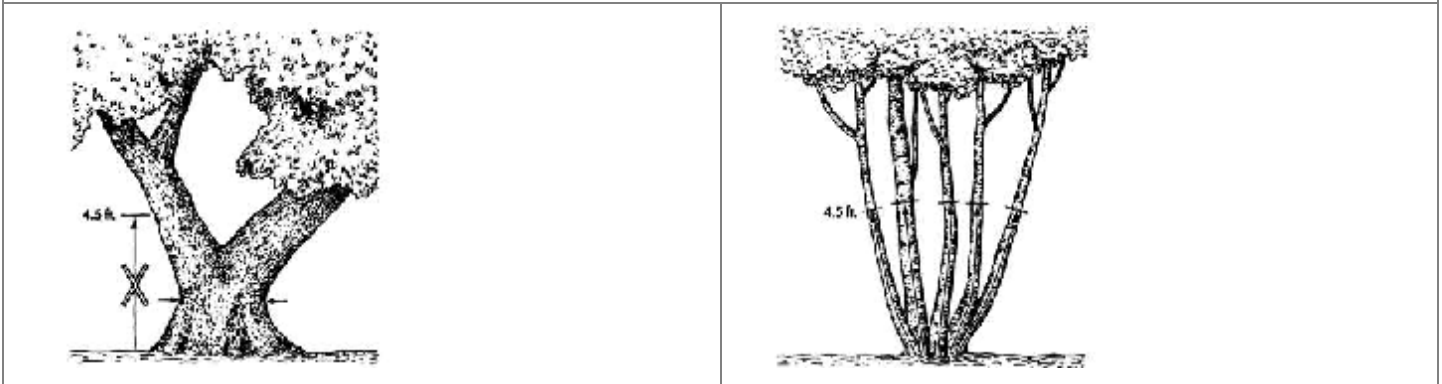
Figure 23-60.2
Angular and Slope Tree Measurement



3. *Multi-trunk trees.* To determine the diameter of a multi-trunk tree, measure each tree trunk larger than one inch. Determine the diameter of the largest tree trunk. The diameter of the multi-trunk tree is then computed as the diameter of the largest tree trunk plus one-half of the composite diameters of each smaller tree trunk greater than one inch. A multi-trunked tree is differentiated from individual trees growing from a common root stock if there is a visible connection between the trunks above ground.

Figure 23-60.3

Multi-Trunk Tree Measurement

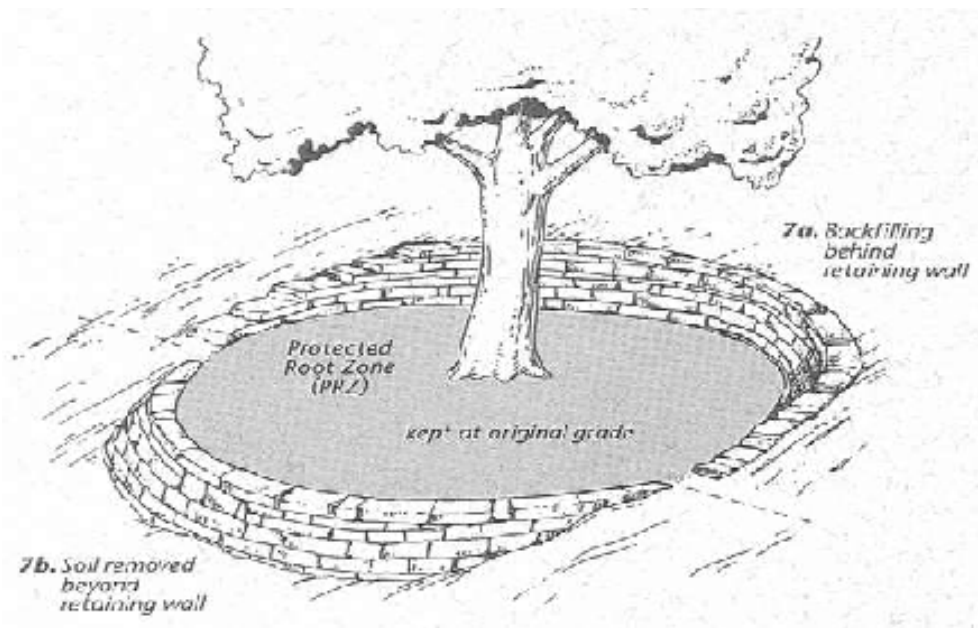
H. *Replacement and protection of heritage trees.*

1. Developers and subdividers shall submit a tree preservation plan with plats and site plans that identifies the name, location, DBH at 4.5 feet above the natural grade of heritage trees, and any significant tree species that will be preserved for credits against lost heritage trees.
2. The developer or subdivider must identify the heritage trees to be preserved or removed, and which existing significant tree species will be retained for credit for removed heritage trees.
3. When a heritage tree is proposed to be removed, staff may relax any development requirement to preserve the tree. Staff reserves the right to refer a relaxed design solution to the planning and zoning commission for approval. Relaxed design solutions may only be approved by staff or the commission upon finding that the preservation of the tree is in the public interest and that the relaxed standard would not result in any health or safety issues.
4. If design solutions are not available to preserve heritage trees, the developer shall be required to determine the collective caliper of the heritage trees proposed to be removed and multiply that figure by three, to determine the aggregate amount of tree caliper that must be provided to replace removed heritage trees. Heritage trees may be replaced with another heritage tree or a tree on the significant tree species classified list. This requirement can be satisfied with the planting of many trees, a few trees, or one tree; provided that the aggregate replacement caliper is equal the existing aggregate proposed to be replaced times three.
5. In lieu of planting young trees to mitigate lost heritage trees, the applicant may also propose to preserve existing mature healthy trees not listed in significant tree species classified list, but that are listed in the large tree section of "Recommended Ornamental Plants for Southeast Texas Including Houston and

Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees. Item 9.

6. For site plans, the aggregate caliper for replacement trees shall be in addition to the normal landscaping requirements of the zoning ordinance.
 7. For residential subdivisions, the aggregate caliper of replacement protected trees shall be in addition to the normal requirement of this ordinance, which is two trees per residential lot. The locations of where replacement trees will be planted shall be identified in a tree replacement plan filed with the preliminary plat, final plat or site plan, with trees identified as an existing heritage/significant tree species.
 8. No person, directly or indirectly, shall cut down, destroy, remove or move, or effectively destroy through damaging, any heritage tree located on property regulated by this section unless such removal is expressly "excepted" by this section.
 9. When using a retaining wall where the natural grade must be raised or lowered, the tree well shall be designed in accordance with the design concepts depicted in Figure 23-60.4, Retaining Wall and Tree RPZ Protection.
- I. *Tree preservation plan required.* When heritage trees are located on a property for which development is proposed, which shall include site clearing, grubbing, earth movement, or the removal of any vegetation, a tree preservation plan shall be submitted that demonstrates compliance with the all of the requirements set out in this section.
- J. Tree protection and planting.
1. Tree protection will be installed before any site work is initiated and maintained for the duration of the construction work. Tree protection will consist of the following:
 - a. It will consist of fencing (orange mesh or chain link) placed around the RPZ.
 - b. No vehicles or construction materials/debris will be allowed in the RPZ.
 - c. No equipment shall be cleaned or other liquids deposited within the limits of the dripline of any protected tree. This includes, but is not limited to, paint, oil, solvents, asphalt, concrete, mortar, or other materials;
 - d. No signs, wires, or other attachments, other than those of a protective nature, which have been approved in the tree disposition plan, shall be attached to any protected tree;
 - e. Trespassing or throwing trash into a protective fence area is prohibited.

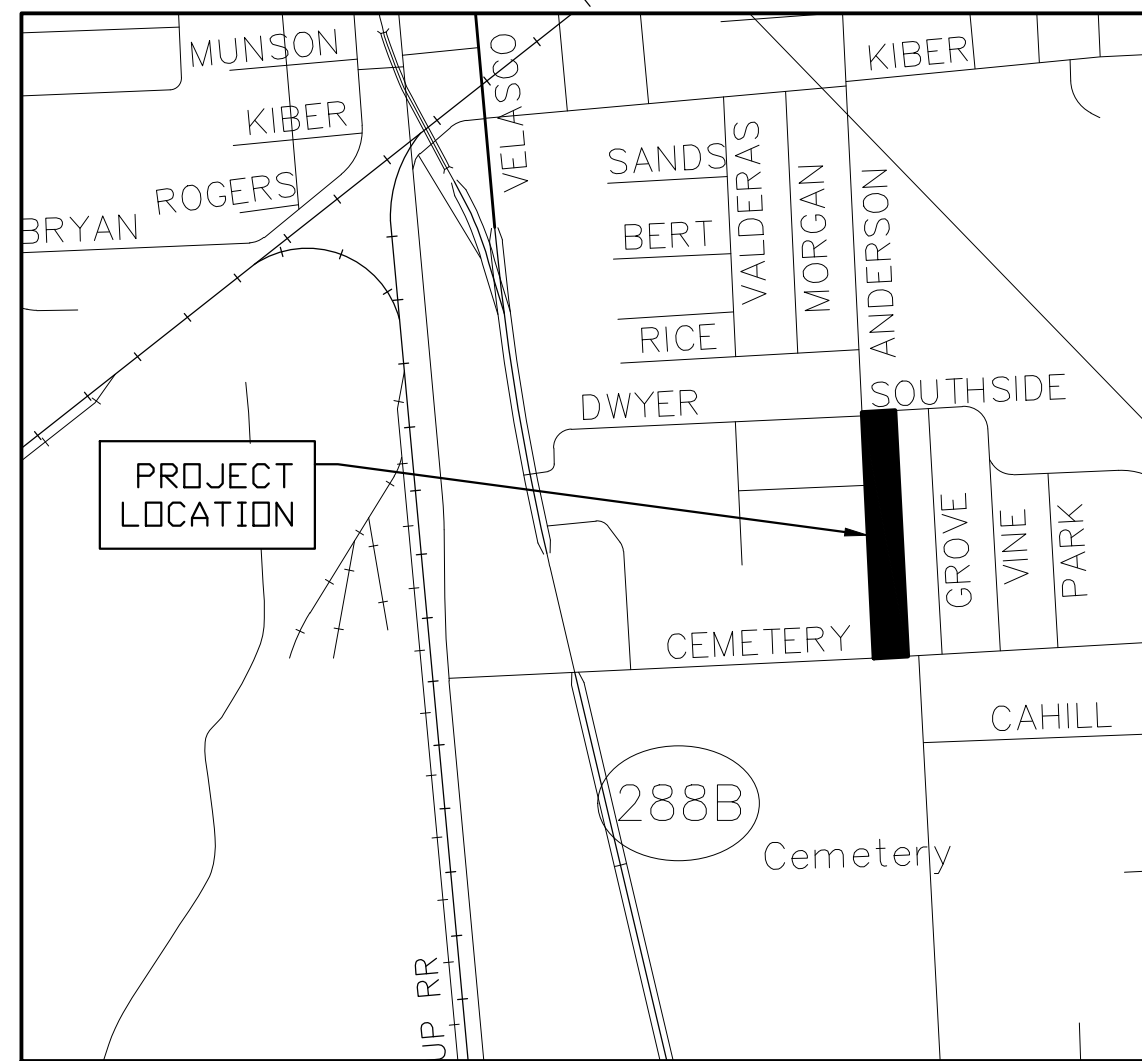
Figure 23-60.4
Retaining Walls and Tree RPZ Protection



- f. Any damage done to tree crowns or roots will be repaired immediately and any wounds on live oaks will be painted with pruning paint within 60 minutes to prevent oak wilt.
 - g. Wells or retaining walls around the RPZ will be used if proposed finished grades will raise or lower the natural RPZ grade by more than six inches.
 - h. The finished RPZ will be pervious.
 - i. For commercial, multifamily and other developments; a minimum of 25 percent of the total DBH must be preserved.
 - j. For single-family residential development of single or contiguous lots; contiguous lots include three or more lots, a minimum of 50 percent of total DBH must be preserved.
 - k. For individual lots, 45 percent of total DBH must be preserved.
 - l. Utility and flatwork per the original builder's plan are exempt for up to 45 percent of the RPZ.
2. New single-family residential lots shall have two trees per lot. These trees may be:
 - a. A preserved heritage tree;
 - b. A tree on the specific trees species list that is replacing a heritage tree that was removed; or
 - c. A tree listed in the "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees, provided that the tree, when mature, will have an average crown greater than 15 feet in diameter, have a three-inch DBH and height of ten feet at the time of planting;
 - d. If an existing heritage tree or a specific trees species that was preserved to comply with this section is located on a residential building lot, it shall be designated on the plat, or another suitable document, to ensure that it is properly protected during construction and is not removed by the property owner, unless an exception listed in the section becomes applicable.
 - e. Existing heritage trees preserved specific trees species may be located in the public right-of-way and may not be removed by the property owner.
 3. New single-family residential lots shall have two trees per lot. These trees may be:
 - a. A preserved heritage tree;

- b. A tree on the specific trees species List that is replacing a heritage tree that was removed; or
- c. A tree listed in the "Recommended Ornamental Plants for Southeast Texas Including Houston and Beaumont", by the Texas A&M Agri-Life Extension Service, with the exception of hackberry and Arizona ash trees, provided that the tree, when mature, will have an average crown greater than 15 feet in diameter, have a three-inch DBH and height of ten feet at the time of planting;
- d. If an existing heritage tree or a specific trees species that was preserved to comply with this section is located on a residential building lot. It shall be designated as such to ensure that it is properly protected during construction and is not removed by the property owner, unless one of the exceptions listed in the section should become applicable.
- e. Existing heritage trees preserved specific trees species may be located in the public right-of-way and may not be removed by the property owner.

(Ord. No. 1-12-2018, § 1(Exh. A), 12-11-2018)



VICINITY MAP

Point Table			Point Table			Point Table			Point Table			Point Table		
POINT No.	TYPE	SIZE	POINT No.	TYPE	SIZE	POINT No.	TYPE	SIZE	POINT No.	TYPE	SIZE	POINT No.	TYPE	SIZE
601	PECAN	8"	624	PECAN	18"	U.E. 644	PECAN	10"	U.E. 664	PECAN	24"	684	OAK	18"
602	PECAN	6"	625	OAK	72"	U.E. 645	PECAN	22"	U.E. 665	TALLOW	11"	685	PECAN	30"
603	PECAN	8"	626	PECAN	14"	U.E. 646	SYCAMORE	30"	U.E. 666	OAK	11"	686	PECAN	28"
604	PECAN	10"	627	OAK	20"	U.E. 647	PECAN	14"	U.E. 667	PECAN	10"	687	PECAN	14"
605	PECAN	4"	U.E. 628	ASH	18"	648	LIVE-OAK	48"	U.E. 668	PECAN	16"	688	PECAN	30"
606	PECAN	4"	629	PECAN	12"	649	ORNAMENTAL	24"	669	SYCAMORE	30"	689	PECAN	30"
607	PECAN	24"	630	PECAN	12"	650	OAK	22"	670	PECAN	11"	690	PECAN	24"
608	PECAN	15"	U.E. 631	HACKBERRY	12"	651	PECAN	20"	671	PECAN	25"	691	PECAN	32"
609	PECAN	12"	632	TALLOW	20"	652	PECAN	22"	672	PECAN	24"	692	PECAN	28"
610	LIVE-OAK	30"	633	PECAN	12"	U.E. 653	PECAN	20"	673	PECAN	32"	693	PECAN	26"
611	PECAN	12"	634	PECAN	10"	U.E. 654	PECAN	16"	674	PECAN	28"	694	OAK	12"
612	PECAN	10"	635	PECAN	10"	U.E. 655	PECAN	22"	675	PECAN	32"			
613	PECAN	6"	636	PECAN	11"	656	PECAN	16"	676	PECAN	30"			
614	PECAN	14"	637	PECAN	11"	657	PECAN	20"	677	PECAN	30"			
618	PECAN	22"	638	PECAN	10"	658	PECAN	28"	678	OAK	28"			
619	PECAN	24"	639	PECAN	10"	659	PECAN	24"	679	PECAN	30"			
620	PECAN	22"	640	PECAN	14"	660	PECAN	22"	680	PECAN	22"			
U.E. 621	PECAN	26"	641	PECAN	10"	661	PECAN	10"	681	PECAN	36"			
U.E. 622	PECAN	24"	642	LIVE-OAK	36"	662	PECAN	24"	682	PECAN	30"			
623	PECAN	5"	U.E. 643	PECAN	10"	663	PECAN	12"	683	ORNAMENTAL	20"			

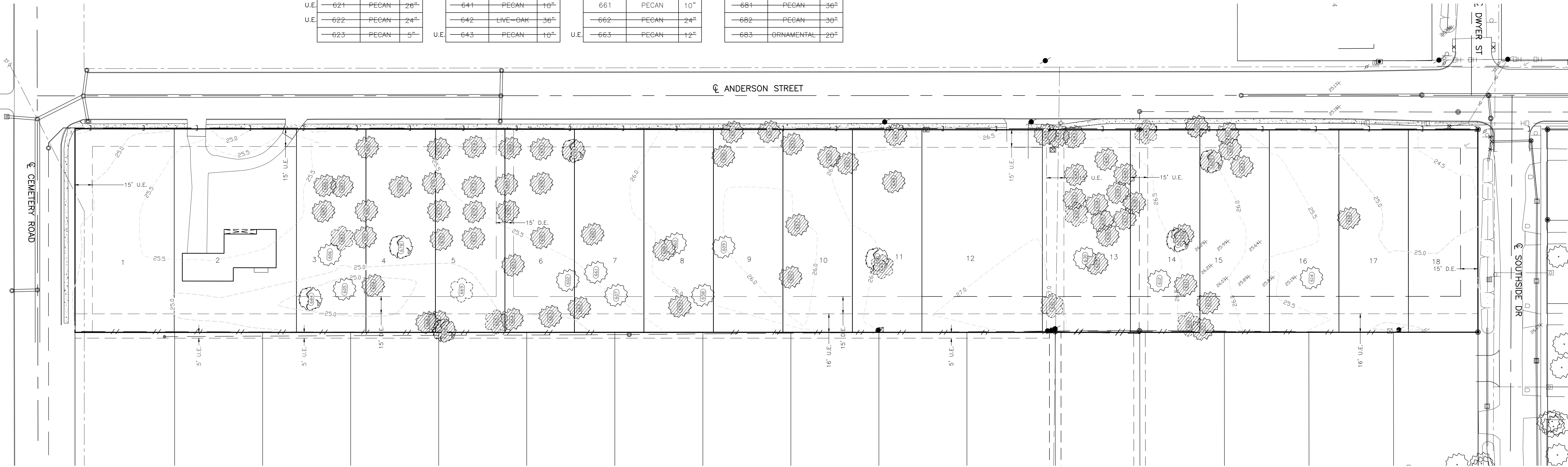
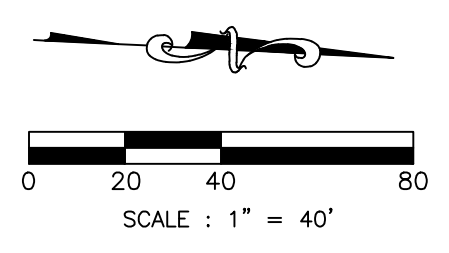
ATTACHMENT 2

TREE LEGEND

- HERITAGE TREE (PECAN & LIVE OAK)
- SIGNIFICANT TREE (OAK & ELM)
- INSIGNIFICANT TREE (ALL OTHER TYPES)

LEGEND

- = FND IMPLEMENT AS NOTED
-
- = BENCHMARK
- = GAS VALVE
- = GAS METER
- = IRRIGATION CONTROL
- = WATER VALVE
- = WATER METER
- = FIRE HYDRANT
- = GUY WIRE
- = POWER POLE
- = SIGNAL POLE
- = LIGHT POLE
- = LIGHT BOLLARD
- = BOLLARD
- = MONITOR WELL
- = CLEANOUT
- = SIGN
- = TELE PEDESTAL
- = MANHOLE
- = INLET
- = FENCE LINE
- = EXIST FLOW PATH
- = SURFACE ELEVATION
- = 32 LF CURB REMOVAL AND 20 LF SIDEWALK REMOVAL FOR DRIVEWAY (SEE SHEET 8C)



TOTAL NUMBER OF HERITAGE TREES = 76
 TOTAL CALIPER OF HERITAGE TREES = 1460 IN

HERITAGE TREES TO BE REMOVED* = 65
 CALIPER OF REMOVED HERITAGE TREES = 1300 IN

HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 15
 CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 248 IN

REQUIRED REPLACEMENT CALIPER = (1300 - 248) X 3 = 3,156 IN

APPROXIMATELY 1,052 3" DIAMETER TREES WOULD BE REQUIRED TO MEET THE PRESERVATION REQUIREMENTS OF THE LDC SECTION 23-60. THE PRESERVATION CRITERIA CAN NOT BE MET.

*TREES PROPOSED FOR REMOVAL WERE DONE SO UNDER THE FOLLOWING CRITERIA.

- THE TREE IS LOCATED IN AN EXISTING U.E.
- THE TREE IS LOCATED ON THE PROPERTY LINE.
- THE TREE IS LOCATED IN THE VICINITY OF A PROPOSED HOUSE, APPROXIMATELY 25'-110' FROM FRONT PROPERTY LINE.
- THE TREE IS LOCATED WITHIN 5' OF ANOTHER TREE TO BE PRESERVED.

THE PROPOSED PRESERVATION PLAN IS PROVIDED ONLY FOR LOTS OWNED BY THE DEVELOPER (LOTS 1, 3-11, 13-18)

NOTE:
 BECAUSE THE EXISTING SUBDIVISION HAD BEEN AN OLD PECAN ORCHARD, THE OWNER CANNOT MEET THE REQUIREMENTS OF THE HERITAGE TREE ORDINANCE. OF THE EXISTING 84 HERITAGE TREES, THE OWNER CAN PRESERVE 15 OF THEM. THE LDC REQUIRES 2 TREES PER LOT, AND THE OWNER WILL ENSURE TO PLANT UP TO 2 TREES PER LOT TO MEET THE REQUIREMENT. THE OWNER REQUEST A VARIANCE OF THE HERITAGE TREE ORDINANCE BY ALLOWING THE PRESERVATION THE 18 HERITAGE TREES OBSERVED ON THE 16 LOTS TO BE DEVELOPED (LOTS 1, 3-11, 13-18). ANY LOTS THAT DO NOT HAVE THE REQUIRED TWO HERITAGE TREES, THE OWNER WILL PLANT UP TO TWO TO MEET THE CITY HERITAGE TREE ORDINANCE.

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED MS
 DRAWN
 CHECKED
 DATE

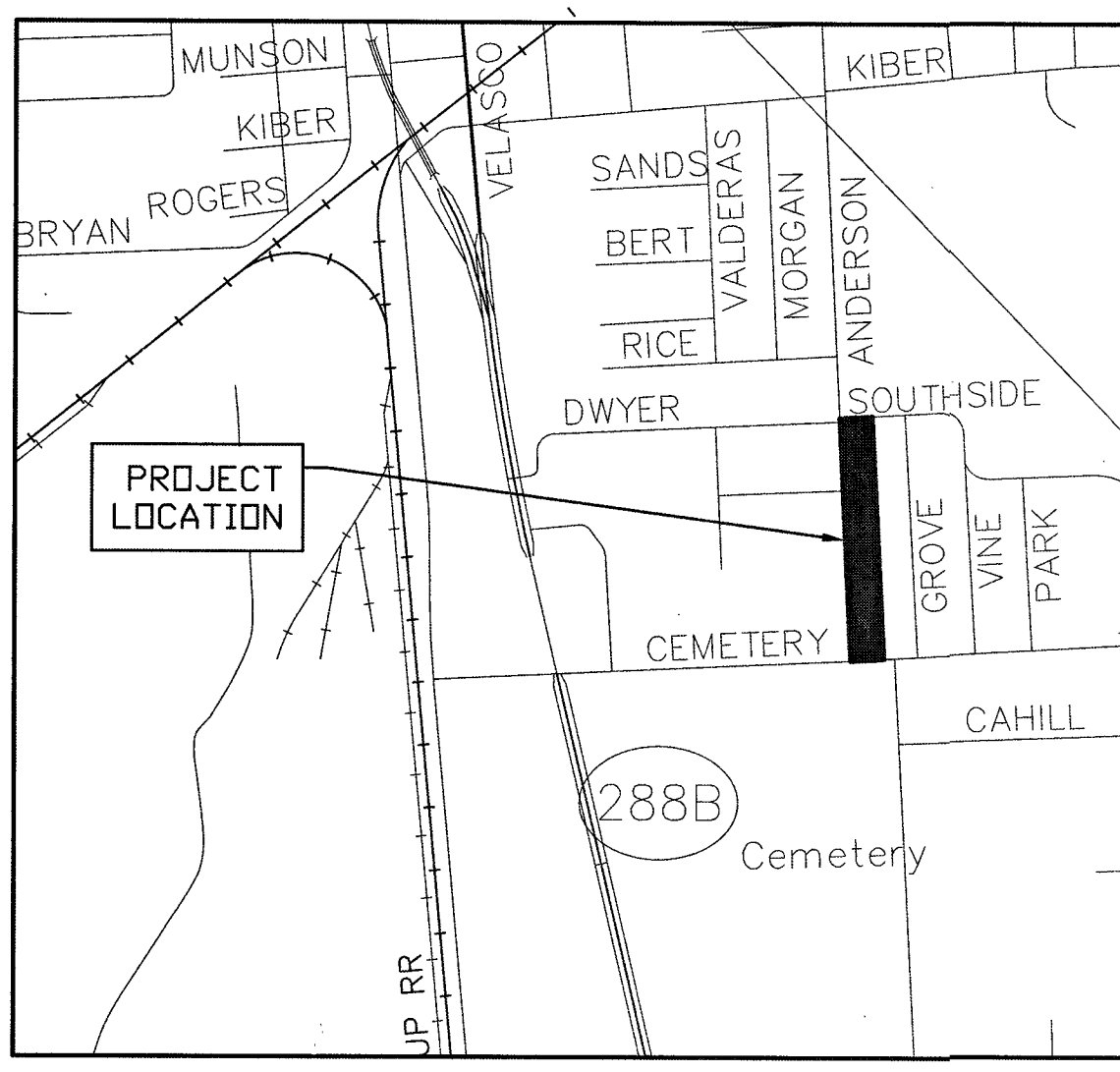
The seal appearing on this document was authorized by Miguel Saucedo P.E. 121992
 Date: _____

OWNER:
JOHN WEAVER
HERITAGE RESIDENTIAL SOLUTIONS, LLC
JOHNWEAVER62@GMAIL.COM
979-236-4393

PLAN: _____ 1" = 40'
 PROFILE: _____
 HORIZONTAL: _____
 VERTICAL: _____

ANDERSON PLACE
A 4.46 AC, 18-LOT SUBDIVISION
ANGLETON, TEXAS 77515

HERITAGE TREE
 PRESERVATION PLAN
 PROJECT NO. 14287



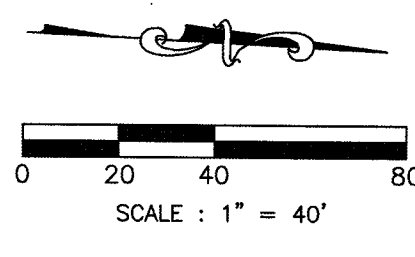
VICINITY MAP

TREE LEGEND

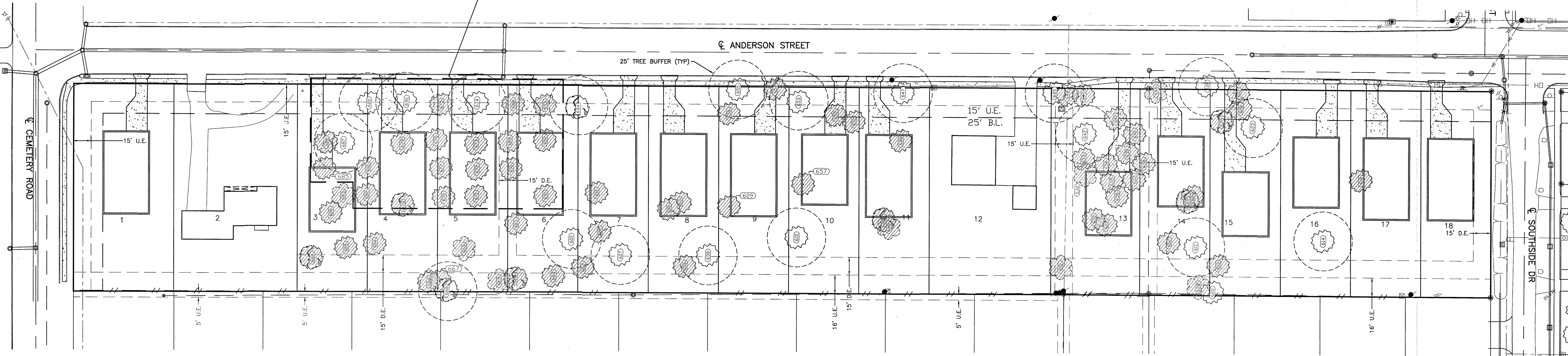
- HERITAGE TREE (PECAN & LIVE OAK)
- SIGNIFICANT TREE (OAK & ELM)
- INSIGNIFICANT TREE (ALL OTHER TYPES)
- TREE TO BE REMOVED

LEGEND

- = FENCE LINE
- = SET 5/8" IRON ROD
- = BENCHMARK
- = GAS VALVE
- = GAS METER
- = IRRIGATION CONTROL
- = WATER VALVE
- = WATER METER
- = FIRE HYDRANT
- = GUY WIRE
- = POWER POLE
- = SIGNAL POLE
- = LIGHT POLE
- = LIGHT BOLLARD
- = BOLLARD
- = MONITOR WELL
- = CLEANOUT
- = SIGN
- = TELE PEDESTAL
- = MANHOLE
- = INLET



TREES WITHIN BOUNDARY ARE PART OF THE OLD OBERHELMEN PECAN ORCHID. THESE TREES WERE PLANTED FOR HARVESTING AND WILL NOT BE CONSIDERED AS HERITAGE TREES.



HERITAGE TREE PROTECTION SUMMARY

- THE FOLLOWING CRITERIA IS PROPOSED FOR CLASSIFICATION OF A HERITAGE TREES:
1. PECAN AND LIVE OAK TREES OUTSIDE PECAN ORCHID
 2. PECAN AND LIVE OAK TREES WITH DIAMETERS LARGER THAN 12"
 3. PECAN AND LIVE OAK TREES THAT A NOT DEAD
- THE FOLLOWING CRITERIA IS PROPOSED FOR CLASSIFICATION OF SIGNIFICANT TREES
4. ALL OAK TREES EXCEPT LIVE OAK
 5. ALL ELM TREES
 6. PECAN AND LIVE OAK TREES WITH DIAMETERS SMALLER THAN 12"

TOTAL NUMBER OF HERITAGE TREES = 28
 TOTAL CALIPER OF HERITAGE TREES = 567 IN

HERITAGE TREES TO BE REMOVED* = 16
 CALIPER OF REMOVED HERITAGE TREES = 307 IN

HERITAGE & SIGNIFICANT TREES TO BE PRESERVED = 18
 CALIPER OF HERITAGE/SIGNIFICANT TREES TO BE PRESERVED = 334 IN

REQUIRED REPLACEMENT CALIPER = (307 - 334) X 3 = 0 IN

NO REPLACEMENT TREES ARE REQUIRED UNDER THIS ALTERNATE PRESERVATION PLAN.

THE PROPOSED PRESERVATION PLAN IS PROVIDED ONLY FOR LOTS OWNED BY THE DEVELOPER (LOTS 1, 3-11, 13-18)

NOTE: THE DEVELOPER WILL PROVIDE THE FOLLOWING RESTRICTIONS ON THE SUBDIVISION TO AID IN THE ALTERNATE PRESERVATION PLAN. THIS INCLUDES:

1. Deed restriction: the minimum front setback will be increased to 40', from 25', with the following modification.
 - 1.1. Lots 3, 13 and 15 will have a stricter front setback of 70'.
 2. Deed restriction: the minimum rear setback will be 65', from 20', with the following modification.
 - 2.1. Lots 3, 13, and 15 will have a minimum rear setback of 50'.
 - 2.2. Lots 10, 14, and, 16 will have a will have a minimum rear setback of 75'.
 3. Deed restriction: driveways shall have a maximum 10' wide throat. Driveways width may increase to 20' wide within 40' of the garage door.
- The driveway restriction will minimize impervious cover placed on the root zone.
4. Deed restriction: no fences shall be placed in the front of the building.
- The fence restriction will aid in preservation of trees located in the front yard near the property line.

TREE SUMMARY BY LOT

TREE ID	TYPE	DBH (INCHES)	LOT #	NOTE1	NOTE2
605	PECAN	4	3	REMOVE	SIGNIFICANT
606	PECAN	4	3	REMOVE	SIGNIFICANT
682	PECAN	30	3	REMOVE	ORCHID
683	ORNAMENTAL	20	3	REMOVE	
684	OAK	18	3	REMOVE	SIGNIFICANT
685	PECAN	30	3	REMOVE	ORCHID
686	PECAN	28	3	REMOVE	ORCHID; DEAD
687	PECAN	14	3	PRESERVE	ORCHID
604	PECAN	10	4	REMOVE	SIGNIFICANT
668	PECAN	10	4	REMOVE	SIGNIFICANT
676	PECAN	30	4	REMOVE	ORCHID
678	OAK	28	4	REMOVE	SIGNIFICANT
679	PECAN	38	4	REMOVE	ORCHID
680	PECAN	22	4	REMOVE	ORCHID
681	PECAN	36	4	REMOVE	ORCHID; DEAD
690	PECAN	14	4	PRESERVE	ORCHID
665	TALLOW	11	5	REMOVE	
666	OAK	11	5	PRESERVE	SIGNIFICANT
667	PECAN	10	5	PRESERVE	SIGNIFICANT
669	SYCAMORE	30	5	REMOVE	
670	PECAN	11	5	REMOVE	ORCHID
671	PECAN	25	5	REMOVE	ORCHID
672	PECAN	24	5	REMOVE	ORCHID
673	PECAN	32	5	REMOVE	ORCHID
674	PECAN	28	5	PRESERVE	ORCHID
675	PECAN	32	5	REMOVE	ORCHID
677	PECAN	30	5	REMOVE	ORCHID

TREE ID	TYPE	DBH (INCHES)	LOT #	NOTE1	NOTE2
602	PECAN	6	6	PRESERVE	SIGNIFICANT
603	PECAN	8	6	REMOVE	DEAD
663	PECAN	12	6	REMOVE	HERITAGE
664	ELM	24	6	REMOVE	SIGNIFICANT
688	PECAN	30	6	REMOVE	ORCHID
689	PECAN	30	6	REMOVE	ORCHID
690	PECAN	24	6	REMOVE	ORCHID
691	PECAN	32	6	REMOVE	ORCHID
692	PECAN	28	6	REMOVE	ORCHID; DEAD
693	PECAN	26	6	REMOVE	ORCHID; DEAD
694	OAK	12	6	PRESERVE	
601	PECAN	8	7	REMOVE	SIGNIFICANT
607	PECAN	24	7	PRESERVE	HERITAGE
661	PECAN	10	7	REMOVE	SIGNIFICANT
662	PECAN	24	7	REMOVE	HERITAGE
608	PECAN	15	8	REMOVE	HERITAGE
658	PECAN	28	8	PRESERVE	HERITAGE
659	PECAN	24	8	REMOVE	HERITAGE
660	PECAN	22	8	REMOVE	HERITAGE
609	PECAN	12	9	REMOVE	HERITAGE
654	PECAN	16	9	REMOVE	HERITAGE
655	PECAN	22	9	PRESERVE	HERITAGE
656	PECAN	16	9	REMOVE	HERITAGE

TREE ID	TYPE	DBH (INCHES)	LOT #	NOTE1	NOTE2
610	LIVE OAK	30	10	PRESERVE	HERITAGE
651	PECAN	20	10	REMOVE	HERITAGE
652	PECAN	22	10	REMOVE	HERITAGE
653	PECAN	20	10	PRESERVE	HERITAGE
657	PECAN	20	10	REMOVE	HERITAGE
647	PECAN	14	11	PRESERVE	HERITAGE
648	LIVE-OAK	48	11	REMOVE	HERITAGE
649	ORNAMENTAL	24	11	REMOVE	
650	OAK	22	11	REMOVE	SIGNIFICANT
629	PECAN	12	13	REMOVE	HERITAGE
630	PECAN	12	13	REMOVE	HERITAGE
631	HACKBERRY	12	13	REMOVE	
632	TALLOW	20	13	REMOVE	
633	PECAN	12	13	REMOVE	HERITAGE
634	PECAN	10	13	REMOVE	SIGNIFICANT
635	PECAN	10	13	REMOVE	SIGNIFICANT
636	PECAN	11	13	REMOVE	SIGNIFICANT
637	PECAN	11	13	REMOVE	SIGNIFICANT
639	PECAN	10	13	REMOVE	SIGNIFICANT
640	PECAN	14	13	REMOVE	HERITAGE
641	PECAN	10	13	REMOVE	SIGNIFICANT
642	LIVE-OAK	36	13	PRESERVE	HERITAGE
643	PECAN	10	13	REMOVE	DEAD
644	PECAN	10	13	REMOVE	DEAD
645	PECAN	22	13	PRESERVE	HERITAGE

TREE ID	TYPE	DBH (INCHES)	LOT #	NOTE1	NOTE2
611	PECAN	12	14	PRESERVE	HERITAGE
612	PECAN	10	14	REMOVE	SIGNIFICANT
620	PECAN	22	14	REMOVE	HERITAGE
626	PECAN	14	14	REMOVE	DEAD
627	OAK	20	14	REMOVE	DEAD
628	ASH	18	14	REMOVE	
638	PECAN	10	14	REMOVE	SIGNIFICANT
646	SYCAMORE	38	14	REMOVE	
613	PECAN	6	15	REMOVE	SIGNIFICANT
621	PECAN	26	15	REMOVE	DEAD
622	ELM	24	15	REMOVE	SIGNIFICANT
623	PECAN	5	15	PRESERVE	SIGNIFICANT
624	PECAN	18	15	REMOVE	DEAD
625	OAK	72	15	REMOVE	SIGNIFICANT
614	PECAN	14	16	PRESERVE	HERITAGE
618	PECAN	22	17	REMOVE	HERITAGE

NO.	DATE	DESCRIPTION	APPROVED

DESIGNED MS
 DRAWN
 CHECKED
 DATE

OWNER:
JOHN WEAVER
HERITAGE RESIDENTIAL SOLUTIONS, LLC
JOHNWEAVER62@GMAIL.COM
979-236-4393

PLAN: 1" = 40'
 PROFILE:
 HORIZONTAL:
 VERTICAL:

ANDERSON PLACE
A 4.46 AC, 18-LOT SUBDIVISION
ANGLETON, TEXAS 77515

HERITAGE TREE PRESERVATION PLAN



AGENDA ITEM SUMMARY FORM

MEETING DATE: August 5, 2021

PREPARED BY: Walter E. Reeves Jr., AICP, Development Services Director

AGENDA CONTENT: Presentation, discussion and possible comment on the Windmill Ridge project. The proposed project consists of approximately 90 acres north of FM 523 and west of SH 288 within the City's Extraterritorial Jurisdiction.

AGENDA ITEM SECTION: Public Hearing

BUDGETED AMOUNT: None **FUNDS REQUESTED:** None

FUND: None

EXECUTIVE SUMMARY:





Section 28-26 provides a process whereby developers can present projects to the Planning and Zoning Commission and City Council and receive actionable comments from both bodies. The Windmill Ridge project consists of approximately north of FM 523 and west of SH 288 within the City's Extraterritorial Jurisdiction. As currently envisioned, the project will be either a manufactured home subdivision or manufactured home park and also proposes boats and RV storage on a portion of the property. The most critical issue is extension of City water and sewer service to the property. Annexation as part of any extension of services to the property would be necessary, provided that extension of services is something the City wishes to pursue.

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission provide comment on the proposed project.

Subject Property

Legend

- Streets
-  City Limits
-  ETJ
-  Wells
-  Raw Water Transfer Lines

Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Angleton makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Angleton from any damage, loss, or liability arising from such use.



Operated by:
 City of Angleton
 121 S. Velasco St.
 Angleton, TX 77515
 979-849-4364

City of Angleton GIS Mapping

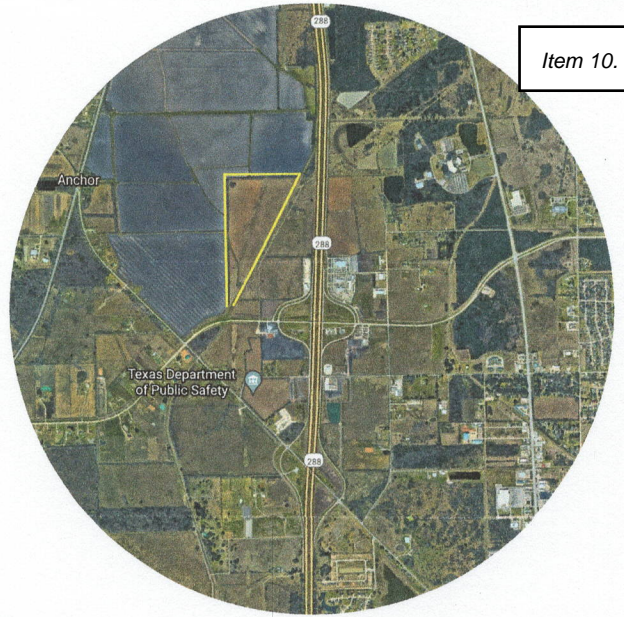
1" = 2,027'



WINDMILL RIDGE



92.81 FM 523
Angleton, TX 77515



Newer Model Homes



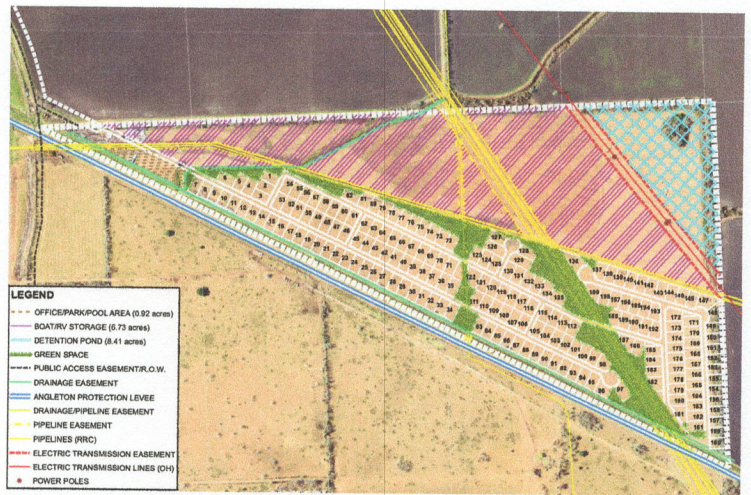
New Residents & Tax Base



Boat & RV Storage

• Windmill Ridge Highlights

- 199 Lots (60 ft)
- Green Space / Park
- Country Living Atmosphere
- Nice, newer Manufactured Homes
- Over 55 Living Section
- Boat & RV Storage (6.73 acres)
 - additional Tax Revenue
- City Annexation

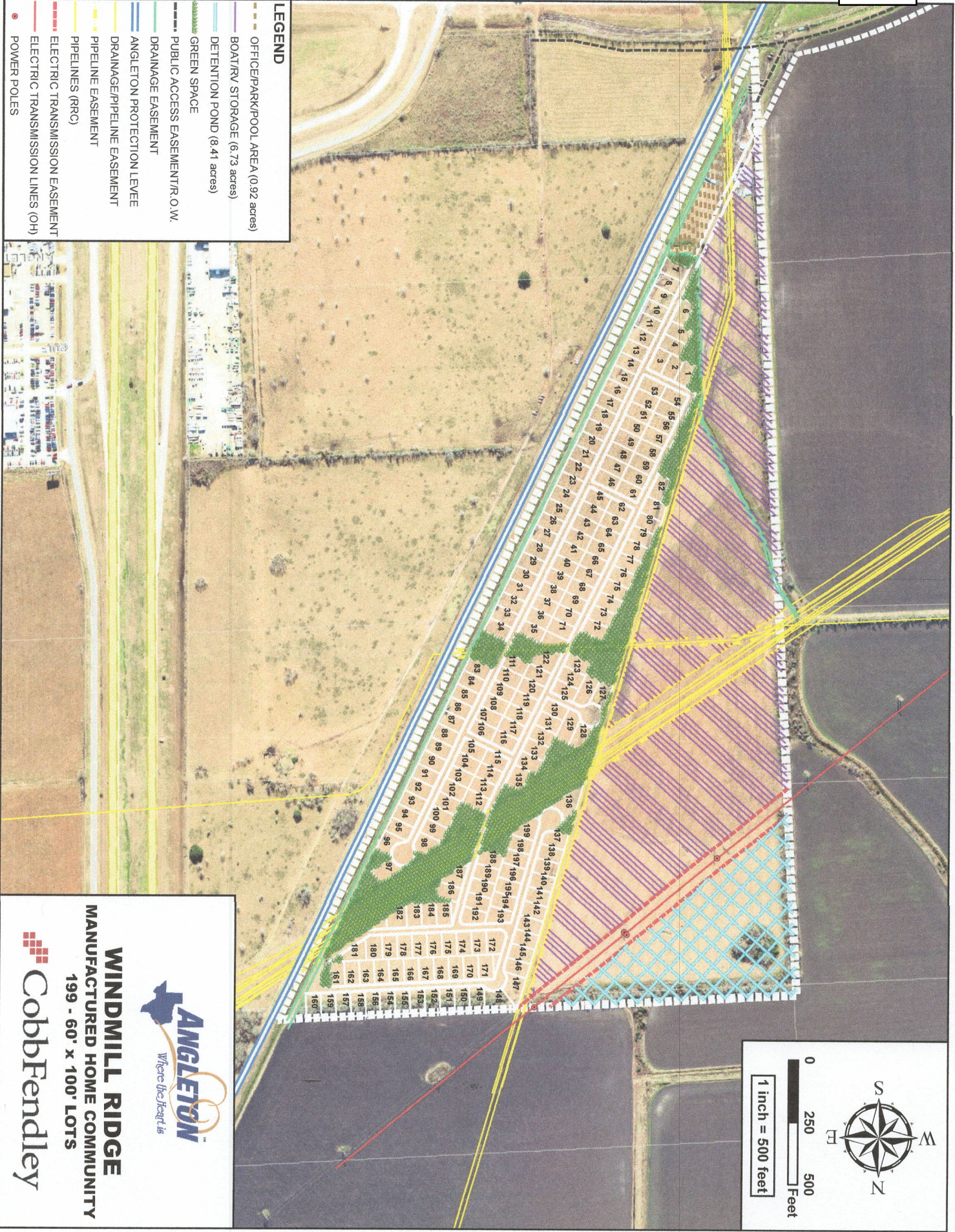


◦ Generate tax dollars by bringing tax paying families from Houston & other areas

Supply Shortage:
Supply of Entry-Level Housing Nears Five-Decade Low

Windmill Ridge is a solution to the entry level Housing Crisis and a way to grow the Angleton community and tax base





LEGEND

- OFFICE/PARK/POOL AREA (0.92 acres)
- BOAT/RV STORAGE (6.73 acres)
- DETENTION POND (8.41 acres)
- GREEN SPACE
- PUBLIC ACCESS EASEMENT/R.O.W.
- DRAINAGE EASEMENT
- ANGLETON PROTECTION LEVEE
- DRAINAGE/PIPELINE EASEMENT
- PIPELINE EASEMENT
- PIPELINES (RRC)
- ELECTRIC TRANSMISSION EASEMENT
- ELECTRIC TRANSMISSION LINES (OH)
- POWER POLES

0 250 500 Feet

1 inch = 500 feet

ANGLETON
Where the Heart is

WINDMILL RIDGE
MANUFACTURED HOME COMMUNITY
199 - 60' x 100' LOTS

CobbFendley